

# 6 Palm Road

**452**

**PATIO & GARAGE**

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Permit No. 452

**ISSUED** Date 3-4-74

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable)

Owner LEWIS REYNOLDS Present Address CEAR POINT Apt 116 Ph 283-6451

General Contractor C.F. SHAWVER CONST. INC Address 1500 E. OCEAN BLVD. Ph 283-7977

Where licensed ST LUCIE & MARTIN License No. 191

Plumbing Contractor DAVES PLUMB License No. 30

Electrical Contractor NEWHOUSE ELECT License No. 55

Street building will front on PALM ROW

Subdivision ↙ Lot No. 3 Area \_\_\_\_\_

Building area, inside walls (excluding garage, carport, porches) Sq ft 1588

Other Construction (Pools, additions, etc.) 10' X 28' PATIO & DOUBLE CAR GARAGE

Contract Price (excluding land, rugs, appliances, landscaping) \$ 34000

Total cost of permit \$ 190.<sup>00</sup>

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

C.F. Shawver  
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

Lewis E. Reynolds  
Signed by Owner

*all as marked  
C.F. Shawver  
3-4-74*

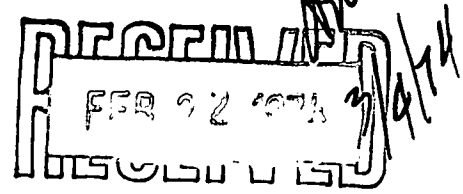
Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted \_\_\_\_\_

Date approved \_\_\_\_\_

Certificate of Occupancy issued \_\_\_\_\_ Date \_\_\_\_\_



452

DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES  
DIVISION OF HEALTH  
Application and Permit  
of  
Individual Sewage Disposal Facilities

Section I - Instructions:

1. Percolation test data, soil profile and water table elevation information must be attached. (Note: Test must be made at proposed location of system).
2. Existing building and proposed buildings on lot must be shown and drawn to scale at their location or proposed location. (Use block on this sheet or attach plot plan).
3. Proposed location of septic tank must be shown on plan.
4. Any pond or stream areas must be indicated on the plan.
5. Indicate name and date of recording of subdivision. If not recorded, attach metes and bounds description.
6. Complete the following information section.

Notes:

1. Not valid if sewer is available.
2. Individual well must be 75 feet from any part of system.
3. Call 287 2277 and give this office a 24-hour notice when ready for inspection.

Section II - Information:

1. Property Address (Street & House No.)  
Lot 3 Block — Subdivision PALM ROW  
Date Recorded 1959 Directions to Job East on East Ocean Blvd to Sewall's Point Rd. Turn right on Sewall's Point Rd - to Palm Rd & site
2. Owner or Builder G.F. SHAWVER CONSTRUCTION, INC.  
P.O. Address 2301 City STUART
3. Specifications  
3 BEDROOMS

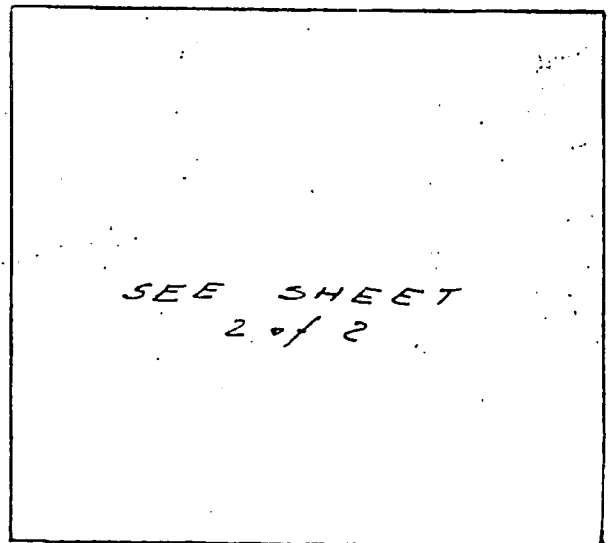
- Tank Drainfield  
900 Gals. 400 ft. of 6" clay tile or 5" perforated plastic drain in a 3' trench or  
900 Gals. \_\_\_\_\_ ft. of 4" clay drain or 4" perforated plastic drain in an 18" trench

Scale 1" = 50'

(Rear)

4. House to be constructed:  
Check one: \_\_\_\_\_ FHA  
\_\_\_\_\_ VA  Conventional

(Name of Street or State Rd.) (Side)



(Name of Street or State Rd.) (Side)

(Front)

(Name of Street or State Road)

Applicant: G.F. SHAWVER  
Please Print

Signature: [Signature] Date: FEB. 10, 1974

\*\*\*\*\* DO NOT WRITE BELOW THIS LINE \*\*\*\*\*

Section III - Application Approval & Construction Authorization

Installation subject to following special conditions: \_\_\_\_\_

The above signed application has been found to be in compliance with Chapter 17-13, Florida Administrative Code, and construction is hereby approved, subject to the above specifications and conditions.

By: [Signature] County Health Dept. [Signature] Date 2/19/74

Section IV - Final Construction Approval

Construction of installation approved: \_\_\_\_\_ Yes \_\_\_\_\_ No

Date: \_\_\_\_\_ By: \_\_\_\_\_

FHA No. \_\_\_\_\_ VA No. \_\_\_\_\_

\*\*\*\*\*



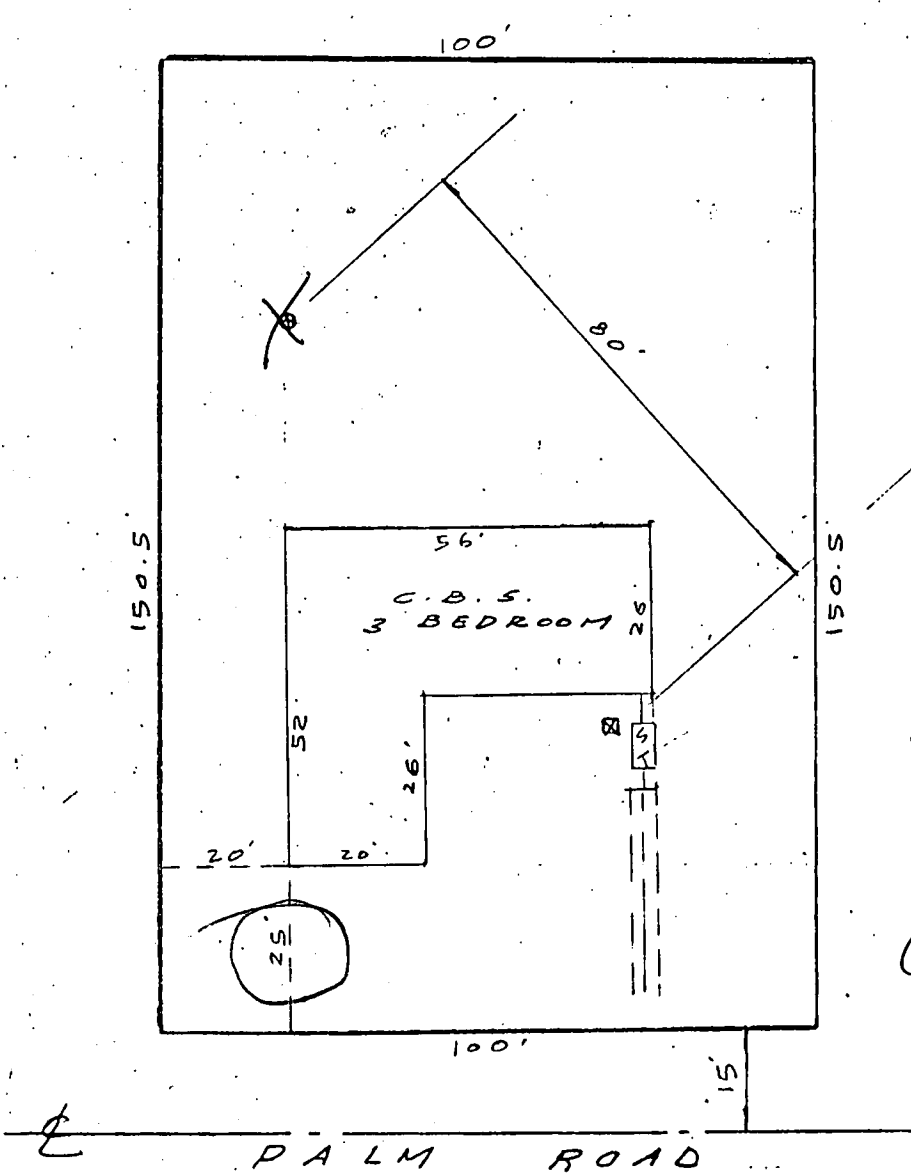
FLORIDA DEPARTMENT OF POLLUTION CONTROL

S. E. Subregion  
 806 South 6th Street  
 Fort Pierce, Florida 33450  
 Tel. (305) 464-8525

INDIVIDUAL SEWAGE DISPOSAL FACILITIES

Location: LOT 3, PALM ROW DATA SHEET  
 Applicant: C.F. SHAWVER CONSTRUCTION  
 County: MARTIN

**NOTE:** This septic tank system is not located within 50 feet of the high water line of a lake, stream, canal or other waters, nor within 75 feet of any private well; nor within 100 feet of any public water supply; nor within 10 feet of water supply pipes; nor within 100 feet of any public sewer system.



NOTE:  
No Well  
CITY WATER

SOIL DATA

PLAN  
 Scale: 1" = 30'

SOIL BORING LOG

Soil Identification: CLASS 1 GROUP SP  
 Soil Characteristics \_\_\_\_\_

Percolation Rate 1 min/inch

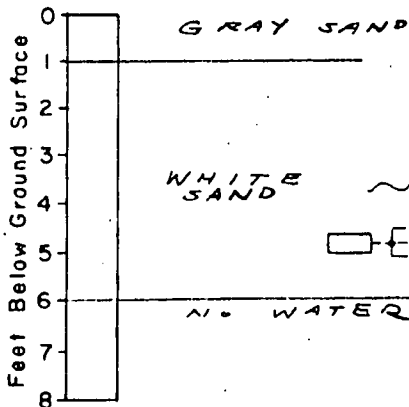
Water Table Depth 6'

Water Table Depth During Wet Season 6'

Compacted Fill Of \_\_\_\_\_ Req'd

Compacted Fill Checked By: \_\_\_\_\_

Date \_\_\_\_\_



LEGEND

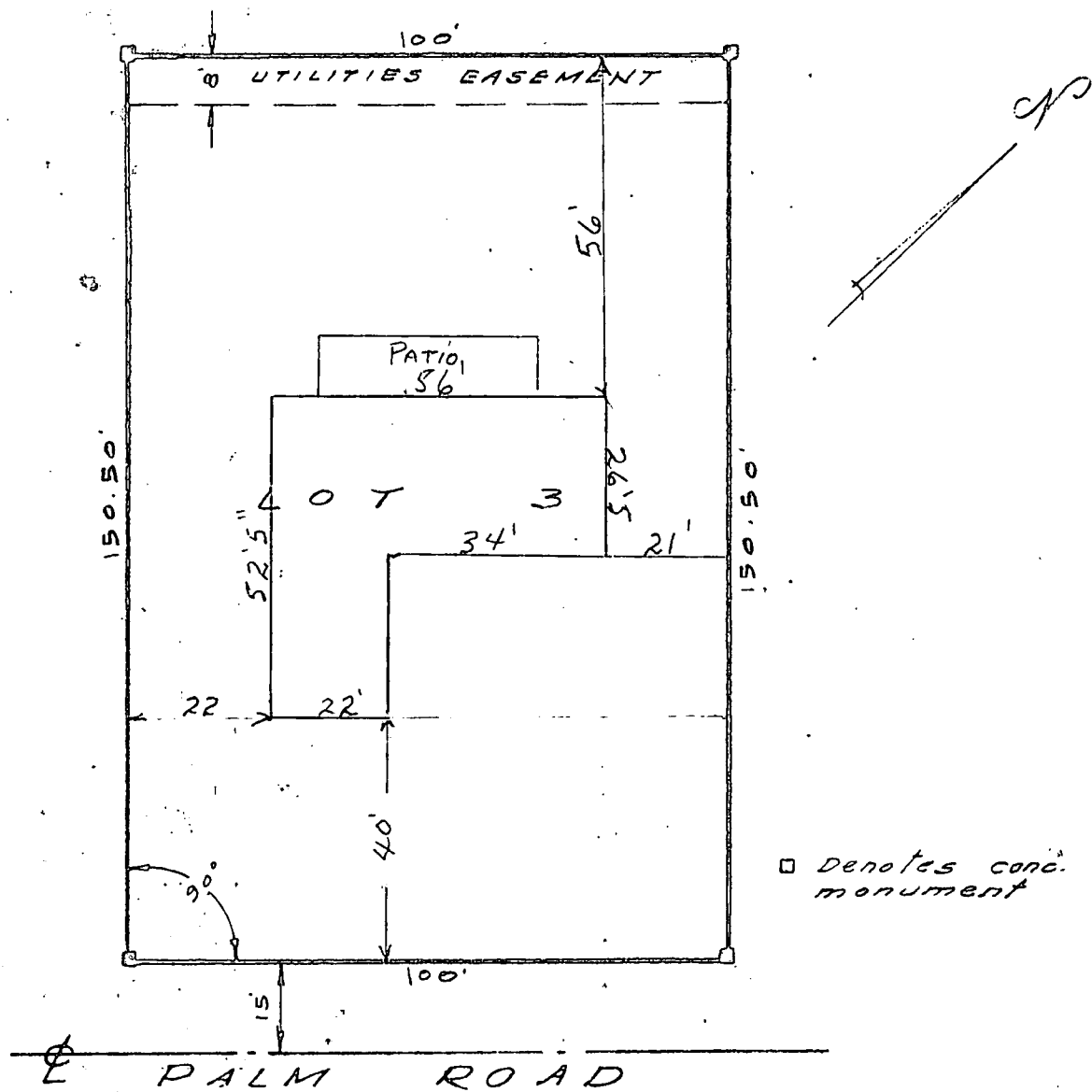
- Drainage Pattern
- Proposed Septic Tank and Drainfield
- Proposed Water Supply Well
- Existing Water Supply Well
- Soil Boring and Percolation Test Location

CERTIFIED BY: W. L. Williams

FLORIDA PROFESSIONAL No. 1272

Date 2-18-74

Job No. \_\_\_\_\_



A SURVEY OF  
 Lot 3, Palm Row  
 Martin County, Florida  
 public records  
 for  
 G. F. Shawver Construction, Inc.

SCALE: 1" = 30'

DATE: FEB. 15, 1974

PLAT BOOK: 3

PAGE: 115

I Heroby Certify that the sketch shown hereon is a correct representation of a survey done under my direction and is true and correct to the best of my knowledge and belief.

*W. L. Williams*

W. L. WILLIAMS  
 P. L. S. FLA. REG. NO 1272

DON WILLIAMS & ASSOCIATES, INC.

LAND SURVEYORS  
 P. O. BOX 2301, STUART

F. B. \_\_\_\_\_ PAGE \_\_\_\_\_

TOWN OF SEWALL'S POINT  
CERTIFICATE OF OCCUPANCY

DATE May 2, 1974

This Certificate of Occupancy is issued for Lewis Reynolds  
 on Lot No: 352, Block \_\_\_\_\_, 6 Palm Road Street,  
Palm Row Sub.S/D, constructed under Building Permit  
 No. 452 on record in the Town of Sewall's Point Town Hall.

Construction of this building conforms to all Ordinances of  
 the Town.

\*\*\*\*\*

RECORD OF INSPECTIONS

ITEM	DATE	APPROVED BY
FOOTINGS <i>slab.</i>	3-12-74	C. Knoelle
ROUGH PLUMBING	3-11-74	C. Knoelle
PERIMETER BEAM		
ROUGH ELECTRIC	3-22-74	C. Knoelle
CLOSE IN		
FINAL PLUMBING	4-30-74	C. Knoelle
FINAL ELECTRIC	4-30-74	C. Knoelle
PROOF OF SEPTIC TANK APPROVAL BY OTHERS, ie (COUNTY HEALTH DEPT.)		

Approved by Building Inspector *C. Knoelle*

Approved by Town Commission: *C. Knoelle*

Utilities notified: \_\_\_\_\_ Date \_\_\_\_\_

*Give to Mr. Shaver - 5/2/74 - @ office*

**696**

**POOL**

RECEIVED  
MAY 5 1977  
REGISTERED

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Permit No. 696

Date 5/6/77

(This application must be accompanied by 3 sets of complete plans, to p scale, including plot plan, foundation plan, floor plans, wall and roof sections, plumbing and electrical layouts, and at least, two elevations applicable)

Owner Paul Dederer Present Address 6 Palm Rd Ph \_\_\_\_\_

General Contractor Louden Constr. Address Ft Pierce Ph 283-4040

Where licensed Martin Co. License No. 245

Plumbing Contractor na License No. \_\_\_\_\_  
Electrical Contractor na License No. \_\_\_\_\_

Street building will front on Palm Road

Subdivision Palm Row Lot No. 3 Area \_\_\_\_\_

Building area, inside walls(excluding garage, carport, porches) Sq ft 307

Other Construction(Pools, additions, etc.) pool 307 sf +-

Contract Price(excluding land, rugs, appliances, landscaping) \$5,000.00

Total cost of permit \$ 45.00

Plans approved as submitted \_\_\_\_\_ Plans approved as marked 25  
20  
45

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month pe

Robert J. Harvey  
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

Paul Dederer by [Signature]  
Signed by Owner

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted 5/6/77 [Signature]

Date approved 5/6/77 [Signature]

Certificate of Occupancy issued 7/14/77 Date \_\_\_\_\_

7696

**716**

**POOL ENCLOSURE**

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

**RECEIVED**  
JUL 5 1977

Permit No. 716  
Date 7/11/77 *7/5/77*

.....(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable) Copy of property Deed required for new home construction.

Owner MR. PEDERER Present Address 6 PALM Rd. Ph \_\_\_\_\_

General Contractor BHT IMPROVEMENTS Address 219 SE MADISON ST Ph 283-2580

Where licensed MARTIN License No. 292

Plumbing Contractor \_\_\_\_\_ License No. \_\_\_\_\_

Electrical Contractor \_\_\_\_\_ License No. \_\_\_\_\_

Street building will front on 6 Palm Road

Subdivision Palm Road Lot No. 3 Area \_\_\_\_\_

Building area, inside walls (excluding garage, carport, porches) Sq ft \_\_\_\_\_

Other Construction (Pools, additions, etc.) POOL ENCLOSURE

Contract Price (excluding land, rugs, appliances, landscaping) \$ 3150.00

Total cost of permit \$ 15.00

Plans approved as submitted  Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

Robert D. Schenck  
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

\_\_\_\_\_  
Signed by Owner

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted 7/5/77 *J. Paul*

Date approved 7/5/77 *Robert D. Schenck*

Certificate of Occupancy issued 8/15/77 Date

716

TOWN OF SEWALL'S POINT

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 7/1/77

This is to request that a Certificate of Approval for Occupancy be issued to DEDEBER

For property built under Permit No. 716 Dated \_\_\_\_\_

when completed in conformance with the Approved Plans.

\_\_\_\_\_  
Signed

\*\*\*\*\*

RECORD OF INSPECTIONS

<u>Item</u>	<u>Date</u>	<u>Approved by</u>
Footings	7/26/77	
Rough plumbing		
Perimeter beam		
Rough electric	8/15/77	
Close in		
Final plumbing		
Final <u>electric</u>		

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector \_\_\_\_\_ date

Approved by Town Commission \_\_\_\_\_ date

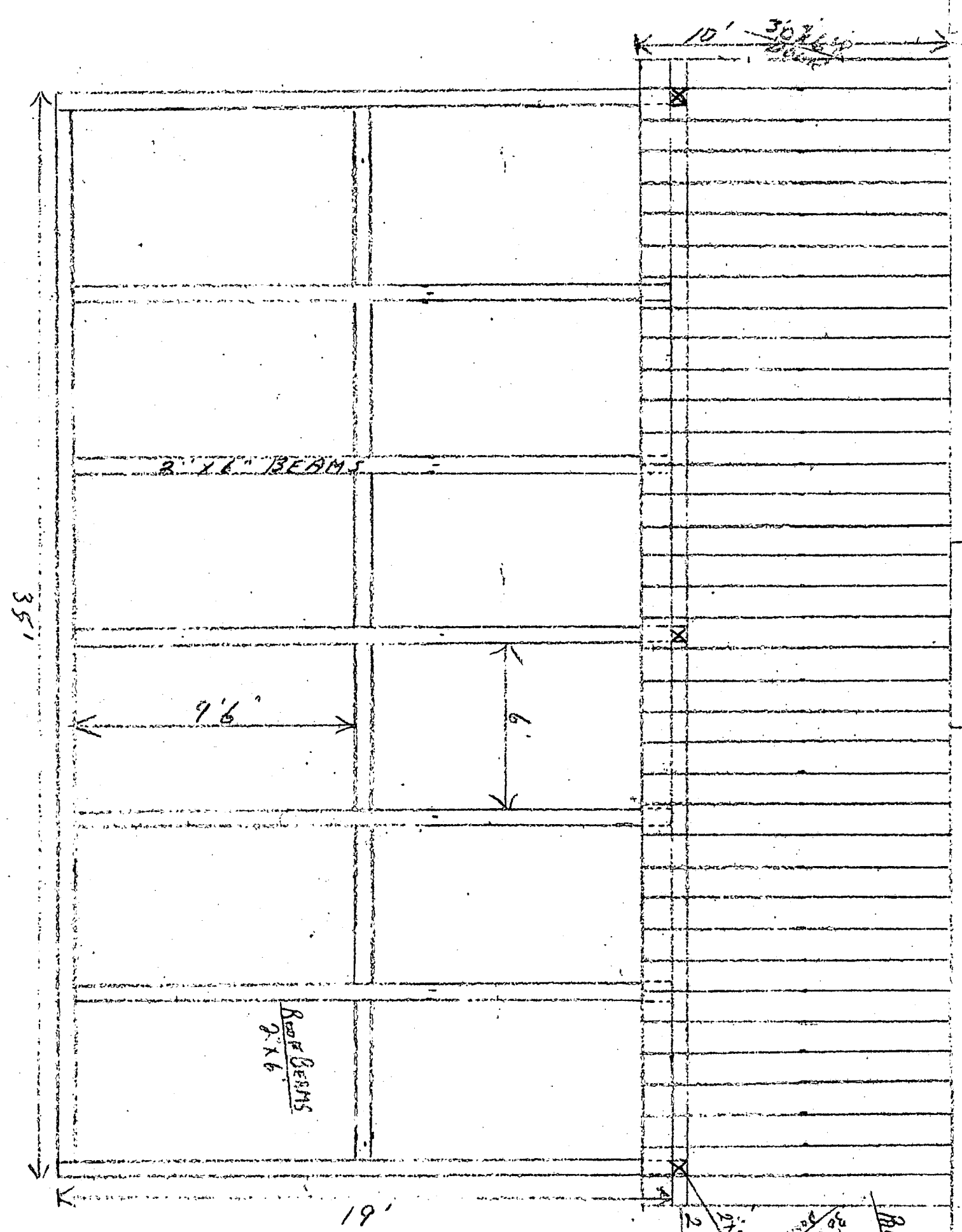
Utilities notified \_\_\_\_\_ date

Original Copy sent to \_\_\_\_\_

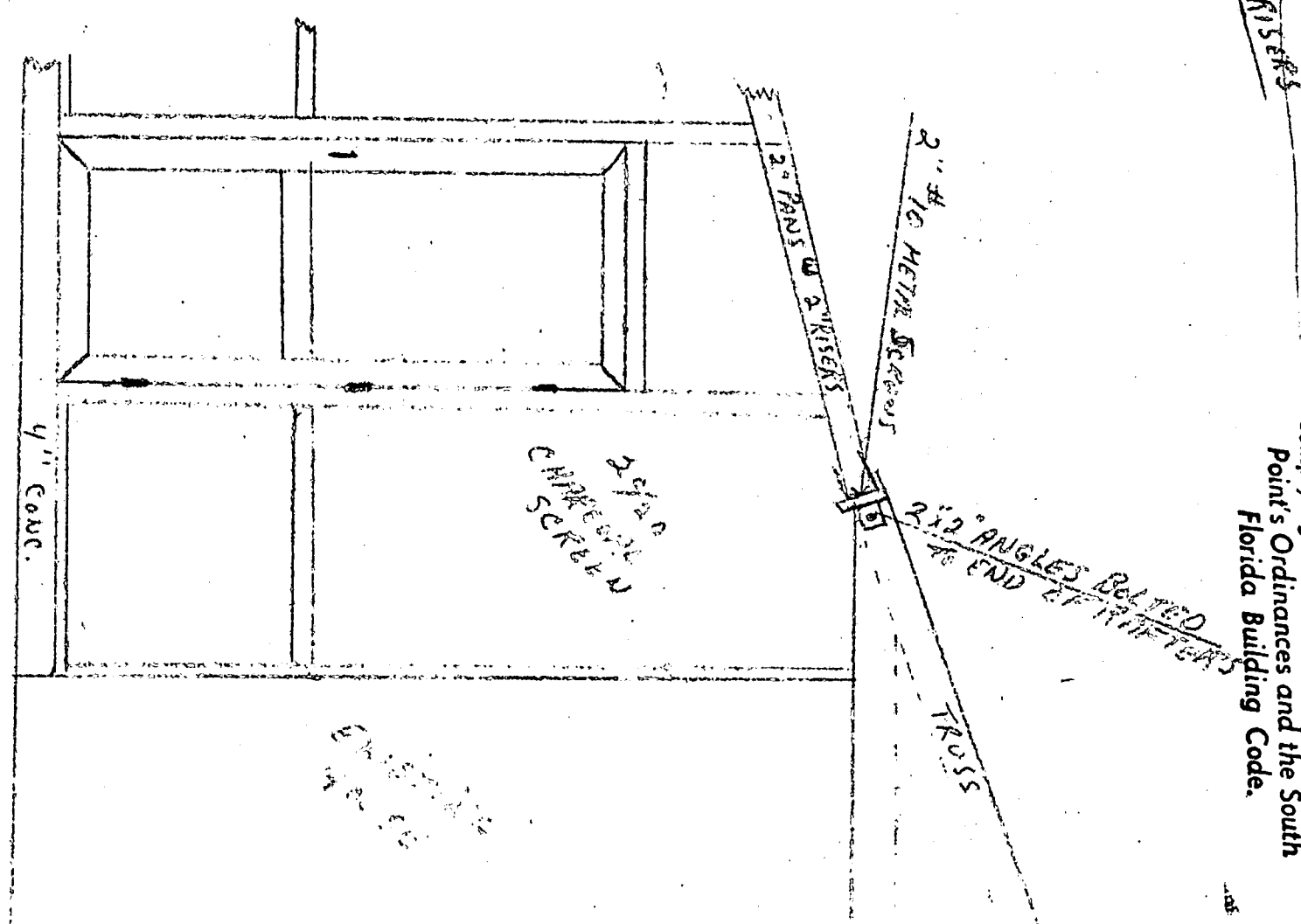
(Keep carbon copy for Town files)



Existing House



TOP VIEW



Approval of these plans in NO-WAY  
 relieves the contractor or builder of  
 complying with the Town of Sewall's  
 Point's Ordinances and the South  
 Florida Building Code.

RECEIVED  
 JUL 5 1977

15/10/1977  
 Paul DeDerer

MR PAUL DEDERER 6 PALM DR. SEWALLS PT.

BTH IMPROVEMENTS LIC # 292

# 716 TOWN HALL COPY

# 116 DEDERER POOL ENCL.

**2189**

**REPAIRS**

Permit No. 2189

Date \_\_\_\_\_

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner George Chase Present Address 6 Palm Rd

Phone 287-2174

Contractor ROBERT FERRIS Address 492 SW Fuge Rd.

Phone 287-2626

Where licensed Stat Florida License number CBC 002951

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Residence - Repairs

6 Palm Rd  
State the street address at which the proposed structure will be built:

Subdivision \_\_\_\_\_ Lot number \_\_\_\_\_ Block number \_\_\_\_\_

Contract price \$ 550. Cost of permit \$ \_\_\_\_\_

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "~~red-tagging~~" the construction project.

Contractor Robert Ferris

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner \_\_\_\_\_

TOWN RECORD  
Approved: Dale Brown  
Building Inspector Date \_\_\_\_\_

Date submitted \_\_\_\_\_

Approved: \_\_\_\_\_ Commissioner Date Final Approval given: \_\_\_\_\_ Date

Certificate of Occupancy issued (if applicable) \_\_\_\_\_ Date \_\_\_\_\_

SP1282

Permit No. \_\_\_\_\_

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

**2791**

**ADDITION, ROOF,**

**POOL PATIO**

Permit No. **2791**

Date

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner DR EVAN COLLINS Present Address 6 PALM ROAD

Phone \_\_\_\_\_ SEWALLS PT FLA

Contractor WILSON BUILDERS INC Address 450 S. FED HWY

Phone 407-288-2000 STUART FLA 34994

Where licensed STATE OF FLORIDA License number CGC 18396

Electrical contractor HOFF ELEC License number ME00201

Plumbing contractor DYKUSKI PLUMB License number 00089

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: ADD INL 12' X 12' ADDITION TO MASTER BATH, ADD ROOF O.H.

AT PORCH, INCREASE POOL PATIO  
State the street address at which the proposed structure will be built:

FLORIDA 6 PALM ROAD SEWALLS POINT

Subdivision PALM ROAD Lot number 6 Block number \_\_\_\_\_

Contract price \$ 43,000 Cost of permit \$ \_\_\_\_\_

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor F. X. Wil

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

Date submitted 6-6-90 Approved: Dale Brown 6/6/90  
Building Inspector Date

Approved: \_\_\_\_\_ Final Approval given: \_\_\_\_\_  
Commissioner Date Date

Certificate of Occupancy issued (if applicable) \_\_\_\_\_  
Date

SP1282

Permit No. \_\_\_\_\_

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

**2805**

**SPA**

Permit No. \_\_\_\_\_

**2805**

Date **6-21-90**

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner EVAN COLLINS Present Address 450 S. Fed Hwy

Phone 288-2000 STUART 3499A

Contractor DESTEFANO CUSTOM POOLS Address 2900 SE WAACER ST

Phone 288-7447

Where licensed MARTIN License number SP00807

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: SPA

State the street address at which the proposed structure will be built:

#6 PALM RD. SEWALLS POINT

Subdivision PALM ROSEBROW Lot number 6 Block number \_\_\_\_\_

Contract price \$ 8,900.00 Cost of permit \$ 100XX

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature] G.O.

TOWN RECORD

Date submitted \_\_\_\_\_ Approved: [Signature] 6/25/90 Date \_\_\_\_\_  
Building Inspector

Approved: \_\_\_\_\_ Commissioner Date Final Approval given: \_\_\_\_\_ Date

Certificate of Occupancy issued (if applicable) \_\_\_\_\_ Date \_\_\_\_\_

1282

Permit No. **2805**

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

**2826**

**POOL ENCLOSURE**



Permit No. \_\_\_\_\_

Date \_\_\_\_\_

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner ~~Wilson~~ <sup>Michael Cirrito</sup> Present Address 450 S FEDERAL Hwy 101

Phone 288-2000

Contractor L & K ALUMINUMING Address 3110 SLATER ST STUART FLA

Phone 283-1297

Where licensed MARTIN COUNTY License number SPA-00122

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: SCREEN POOL ENCL

6 PALM Rd SEWELLS POINT  
State the street address at which the proposed structure will be built:

PLAT BOOK 3 PAGE 115

Subdivision PALM ROW Lot number 3 Block number \_\_\_\_\_

Contract price \$ 2100 Cost of permit \$ \_\_\_\_\_

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

Date submitted \_\_\_\_\_ Approved: Dale Brown 8/6/98  
Building Inspector Date

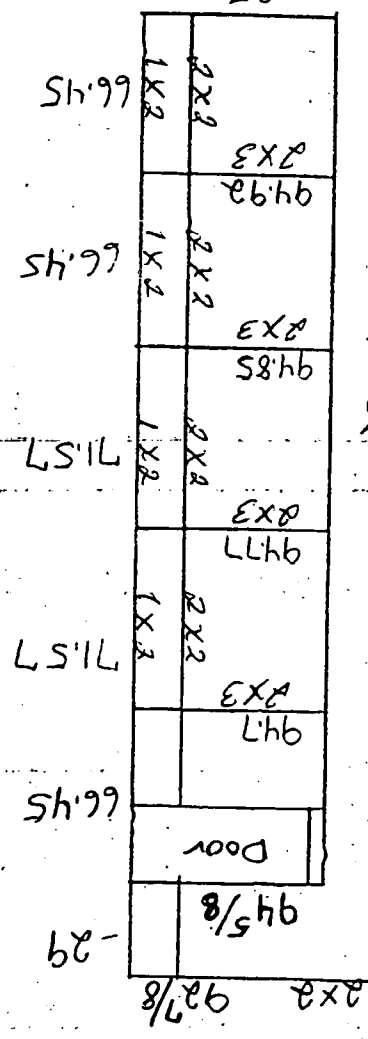
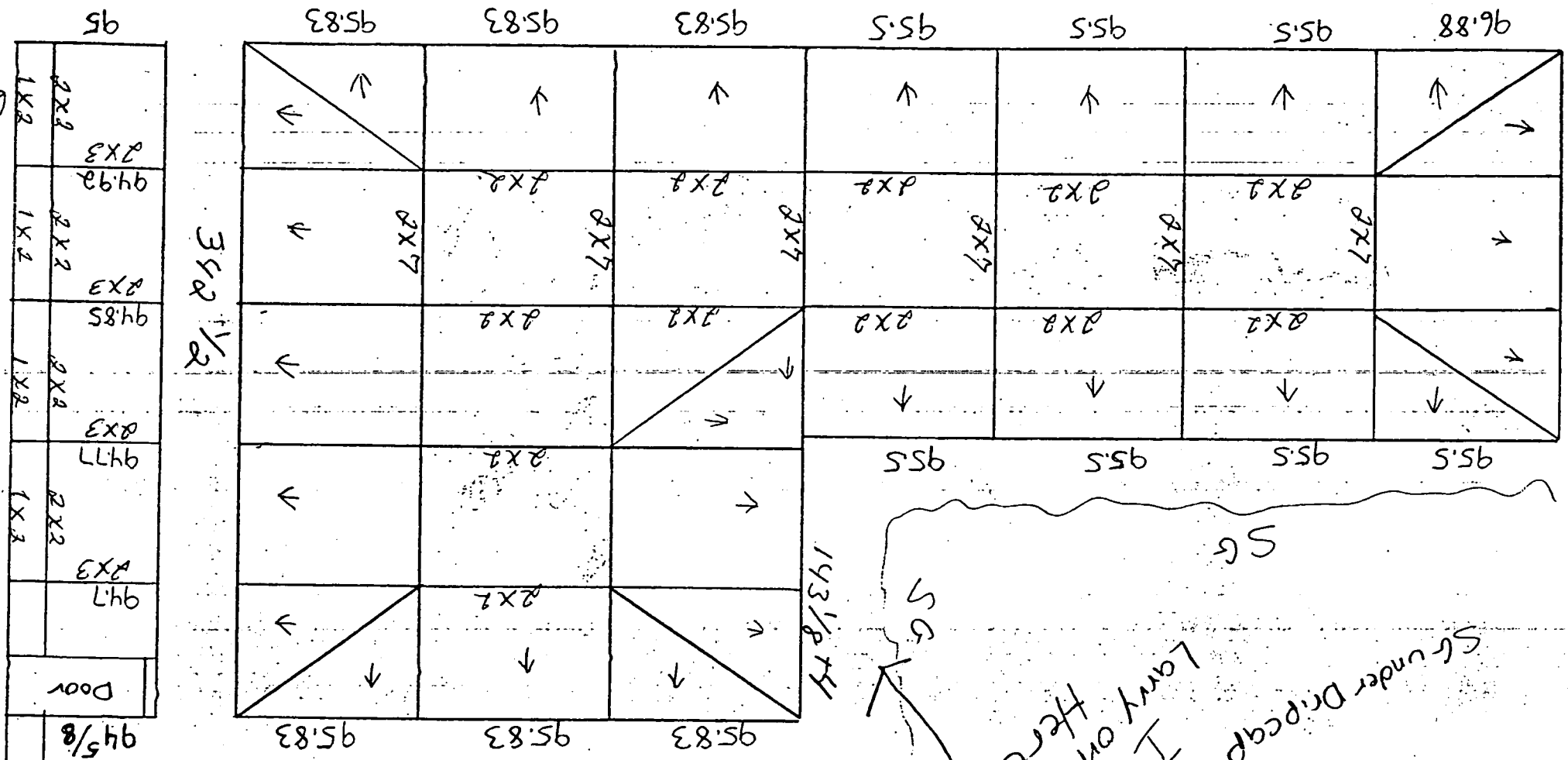
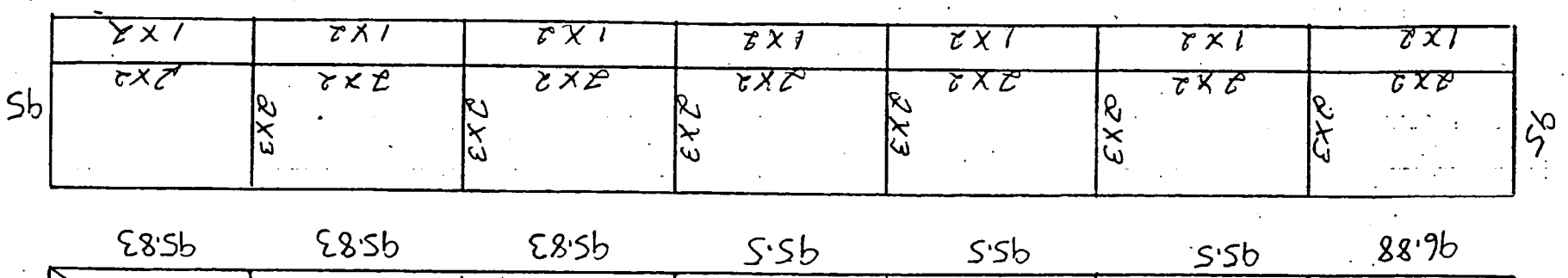
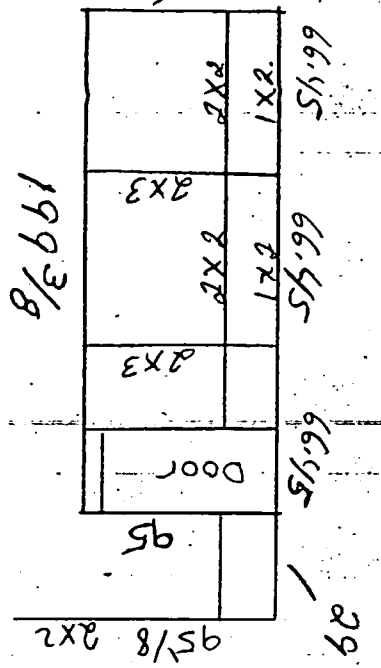
Approved: \_\_\_\_\_ Commissioner Date Final Approval given: \_\_\_\_\_ Date

Certificate of Occupancy issued (if applicable) \_\_\_\_\_  
Date

SP1282

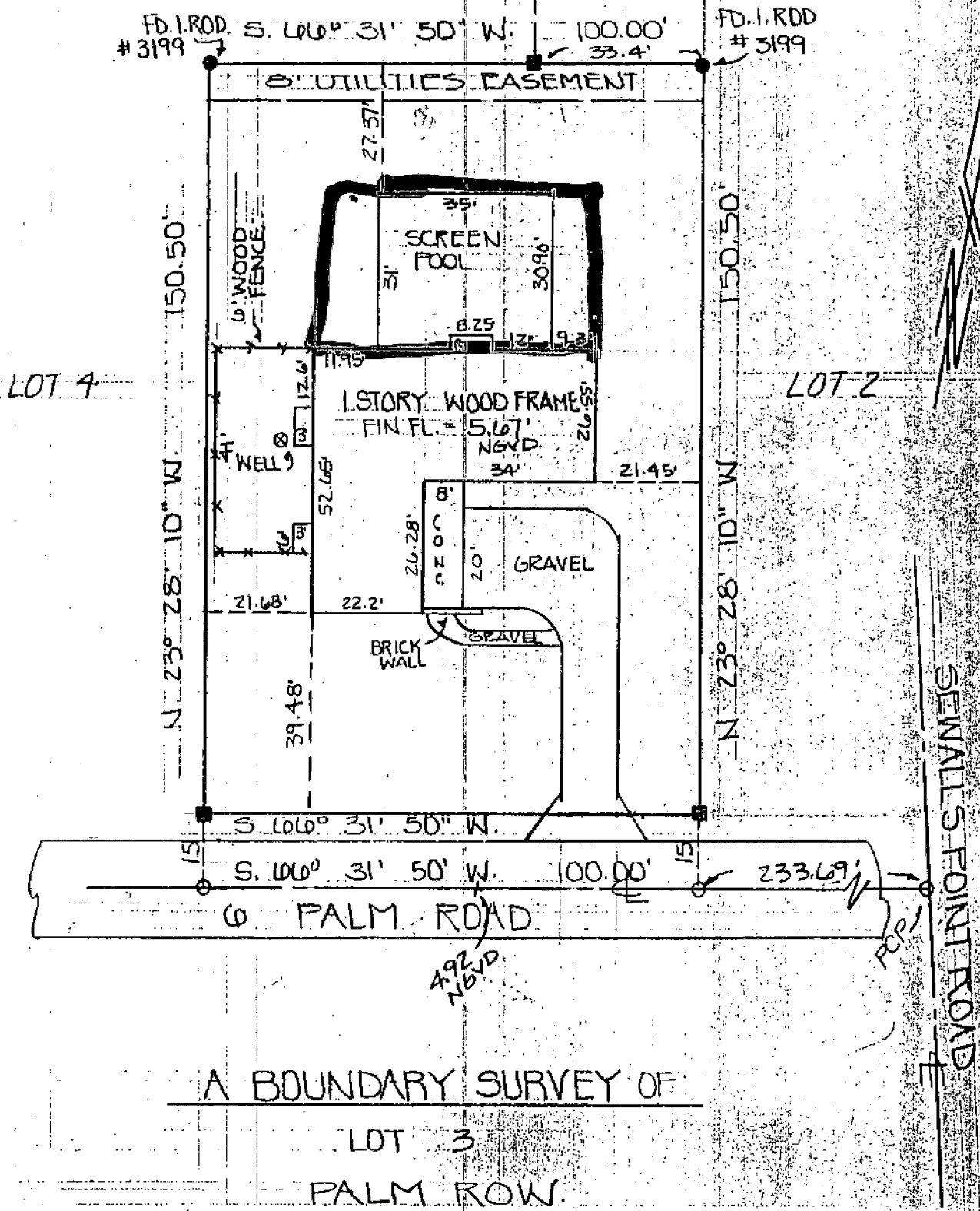
Permit No. \_\_\_\_\_

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.



SG Under Drip Cap  
 Rise 1/2"  
 SG Under Drip Cap  
 Installer see Larry on SG Installation  
 SG Under Drip Cap  
 SG Facing  
 WILSON BID

LOCATED IN FLOOD ZONE "A-8" (elev 9)  
■ DENOTES FOUND CONC MON  
BEARING ARE ASSUMED  
○ DENOTES SET NAIL + BRASS TAG



A BOUNDARY SURVEY OF  
LOT 3  
PALM ROW.

ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 115,  
AND ACCORDING TO THE REVISED AND AMENDED PLAT OF PALM ROW AS  
RECORDED IN PLAT BOOK 4, PAGE 68, BOTH OF THE PUBLIC RECORDS OF  
MARTIN COUNTY, FLORIDA.

FOR  
MICHAEL J. CIRRITO & CAROLINE CIRRITO

REVISED: 3-4-89

This survey meets the minimum technical standards for Land Surveying in Florida, as prescribed in Chapter 21HH-6, F.A.C. I hereby certify to Tilton & Woods, P.A. and Michael J. Cirrito and Caroline Cirrito, and Attorneys' Title Insurance Fund, and McManus, Stewart, Ferraro & Schwarz, P.A. that the sketch shown hereon is a correct representation of a survey done under my direction and is true and correct to the best of my knowledge and belief. There are no encroachments unless otherwise shown. No search of the public records made for errors or omissions of said description. Easements of record not shown unless furnished.

**DON WILLIAMS & ASSOCIATES, INC.**  
LAND SURVEYORS  
1115 E. OCEAN BLVD. STUART, FLA. 34996  
(305) 283-2977

*W.L. Williams*  
W.L. WILLIAMS  
R.L.S. FLA. REG. No. 1272  
W.O. # 169

SCALE: 1" = 30'

DATE 2-13-89 (Drawn)  
2-13-89 (Field)

PLAT BOOK:

3

PAGE:

115

SEPTEMBER 1987

TREASURE COAST CHAPTER, INC  
OF THE ALUMINUM ASSOCIATION  
OF FLORIDA



PREPARED BY:

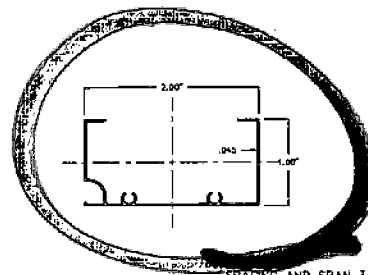
NASH ENGINEERING, INC.  
810 SATURN ST. SUITE 16  
JUPITER, FLORIDA 33477  
(305)747-7254

ROOF PAN (ALLOY 3003 H-16)	PAN THICKNESS	Sx	MAX. SPAN @ WIND VELOCITIES SHOWN		
			100MPH	110MPH	120MPH
1.75" PAN W/ .032 CLEAT 	.032	.238in <sup>3</sup>			10'
CLEAT ALTERNATIVES FOR 1-3/4" PAN					
T-BAR 	.032				11'
T-BAR 	.032				11'
EXTRUDED "T" CLEAT 	.032				13'

NOTE:  
PANS MAY OVERHANG 1/3 OF SIMPLE SPAN. SPANS MAY BE INCREASED 2% FOR EACH 12" OF OVERHANG UP TO 3'-0". CONSULT AN ENGINEER FOR GREATER OVERHANG.

ROOF PAN (ALLOY 3003 H-16)	PAN THICKNESS	Sx	MAX. SPAN @ WIND VELOCITIES SHOWN		
			100MPH	110MPH	120MPH
3" INTERLOCKING PANEL 	.024	.450in <sup>3</sup>			13'-4"
3" INTERLOCKING PANEL 	.032	.608in <sup>3</sup>			15'-6"
3" INTERLOCKING PANEL 	.032	.346in <sup>3</sup>			11'-0"

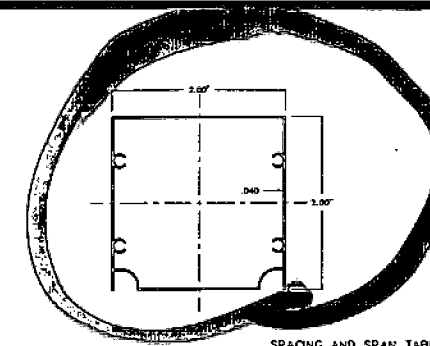
NOTE:  
PANS MAY OVERHANG 1/3 OF SIMPLE SPAN. SPANS MAY BE INCREASED 2% FOR EACH 12" OF OVERHANG UP TO 3'-0". CONSULT AN ENGINEER FOR GREATER OVERHANG.



1"x2" OPEN BACK  
ALLOY 6063-T5  
A = 0.233in<sup>2</sup>  
WT = 0.280#/L.F.  
I = 0.1425in<sup>4</sup>  
Sx = 0.1425in<sup>3</sup>

SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 10# PER S.F.	SOLID WALL 25# PER S.F.	SOLID ROOF 30# PER S.F.
3'	8'-6"	7'-4"	4'-6"	4'-0"
4'	7'-4"	6'-2"	3'-10"	3'-6"
5'	6'-7"	5'-2"	3'-6"	3'-2"
6'	6'-0"	5'-0"	3'-2"	2'-10"
7'	5'-6"	4'-8"	2'-11"	2'-8"
8'	5'-2"	4'-4"	2'-9"	2'-6"
9'	4'-10"	4'-2"	2'-6"	2'-4"
10'	4'-8"	3'-10"	2'-5"	2'-3"

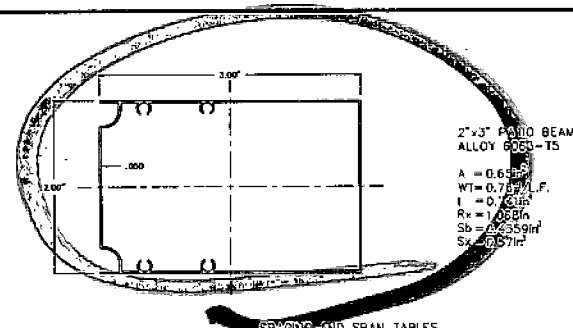


2"x2" PATIO BEAM  
ALLOY 6063-T5  
A = 0.412in<sup>2</sup>  
WT = 0.494#/L.F.  
I = 0.2133in<sup>4</sup>  
Sx = 0.2133in<sup>3</sup>

SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 10# PER S.F.	SOLID WALL 25# PER S.F.	SOLID ROOF 30# PER S.F.
3'	10'-5"	8'-8"	5'-6"	5'-0"
4'	9'-0"	7'-6"	4'-9"	4'-4"
5'	8'-0"	6'-8"	4'-3"	3'-10"
6'	7'-4"	6'-2"	3'-10"	3'-6"
7'	6'-10"	5'-8"	3'-8"	3'-4"
8'	6'-4"	5'-4"	3'-4"	3'-0"
9'	6'-0"	5'-0"	3'-2"	2'-11"
10'	5'-8"	4'-9"	3'-0"	2'-9"

CLEATED ROOF PANS

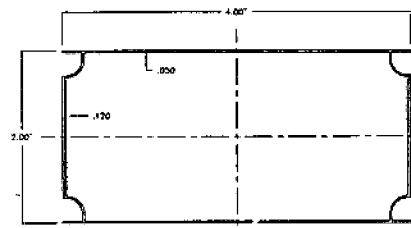


2"x3" PATIO BEAM  
ALLOY 6063-T5  
A = 0.65in<sup>2</sup>  
WT = 0.75#/L.F.  
I = 0.31in<sup>4</sup>  
Rk = 0.82in  
Sx = 0.359in<sup>3</sup>  
Sy = 0.57in<sup>3</sup>

SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 10# PER S.F.	SOLID WALL 25# PER S.F.	SOLID ROOF 30# PER S.F.
3'	16'-5"	13'-9"	8'-8"	8'-0"
4'	14'-3"	11'-11"	7'-6"	6'-11"
5'	12'-9"	10'-8"	6'-9"	5'-2"
6'	11'-8"	9'-9"	6'-2"	5'-7"
7'	10'-9"	9'-1"	5'-8"	5'-2"
8'	10'-1"	8'-5"	5'-4"	4'-10"
9'	9'-6"	7'-11"	5'-0"	4'-7"
10'	9'-1"	7'-6"	4'-9"	4'-4"

INTERLOCKING ROOF PANS

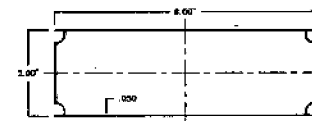


2"x4" SELF MATING BEAM  
ALLOY 6063-T6  
WALL = .050  
FLANGE = .120  
A = 0.950in<sup>2</sup>  
WT = 1.14#/L.F.  
I = 2.45in<sup>4</sup>  
Sx = 1.25in<sup>3</sup>

SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 10# PER S.F.	SOLID WALL 25# PER S.F.	SOLID ROOF 30# PER S.F.
3'	25'-0"	20'-11"	13'-3"	12'-0"
4'	21'-8"	18'-1"	11'-5"	10'-5"
5'	19'-4"	16'-2"	10'-3"	9'-4"
6'	17'-8"	14'-9"	9'-4"	8'-6"
7'	16'-4"	13'-8"	8'-8"	7'-11"
8'	15'-3"	12'-10"	8'-0"	7'-4"
9'	14'-4"	12'-0"	7'-8"	7'-0"
10'	13'-8"	11'-5"	7'-3"	6'-7"

1"x2" OPEN BACK

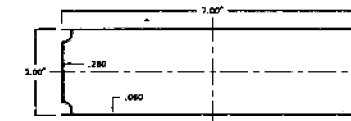


2"x6" SELF MATING BEAM  
ALLOY 6063-T6  
A = 1.396in<sup>2</sup>  
WT = 1.67#/L.F.  
I = 6.46in<sup>4</sup>  
Sx = 2.82in<sup>3</sup>

SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 10# PER S.F.	SOLID WALL 25# PER S.F.	SOLID ROOF 30# PER S.F.
3'	37'-10"	31'-8"	20'-0"	18'-3"
4'	32'-9"	27'-5"	17'-4"	15'-10"
5'	29'-4"	24'-6"	15'-6"	14'-2"
6'	26'-9"	22'-5"	14'-2"	12'-11"
7'	24'-9"	20'-8"	13'-1"	12'-0"
8'	23'-2"	19'-5"	12'-3"	11'-2"
9'	21'-10"	18'-3"	11'-8"	10'-6"
10'	20'-9"	17'-4"	11'-0"	10'-0"

2"x2" PATIO BEAM



2"x7" SELF MATING BEAM  
ALLOY 6063-T6  
A = 1.782in<sup>2</sup>  
WT = 2.14#/L.F.  
I = 17.13in<sup>4</sup>  
Sx = 4.89in<sup>3</sup>

SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 10# PER S.F.	SOLID WALL 25# PER S.F.	SOLID ROOF 30# PER S.F.
3'	49'-4"	41'-4"	26'-2"	23'-10"
4'	42'-9"	35'-9"	22'-8"	20'-8"
5'	38'-3"	32'-0"	20'-3"	18'-5"
6'	35'-0"	29'-2"	18'-5"	16'-10"
7'	32'-4"	27'-0"	17'-1"	15'-7"
8'	30'-8"	25'-3"	16'-0"	14'-7"
9'	28'-6"	23'-10"	15'-0"	13'-9"
10'	27'-0"	22'-8"	14'-4"	13'-0"

2"x3" PATIO BEAM

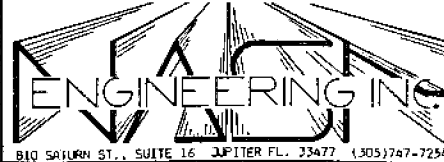
2"x4" SELF MATING BEAM

2"x6" SELF MATING BEAM

2"x7" SELF MATING BEAM

DATE	BY	DESCRIPTION

TREASURE COAST CHAPTER, INC.  
OF THE ALUMINUM ASSOCIATION  
OF FLORIDA

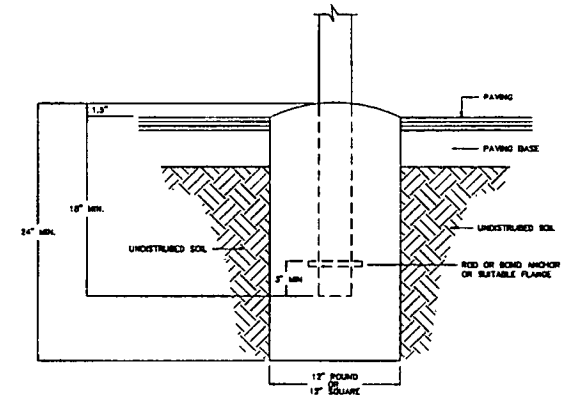
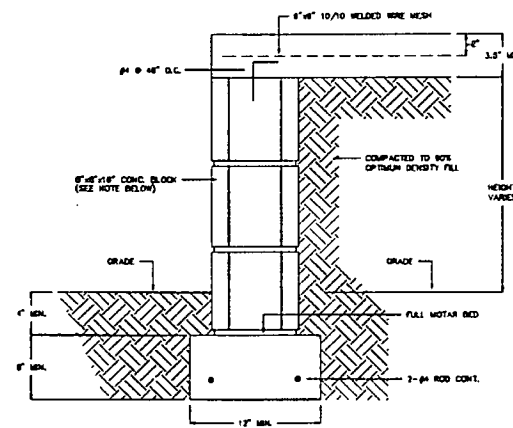
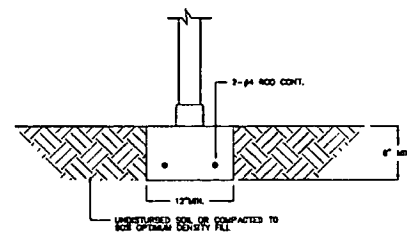
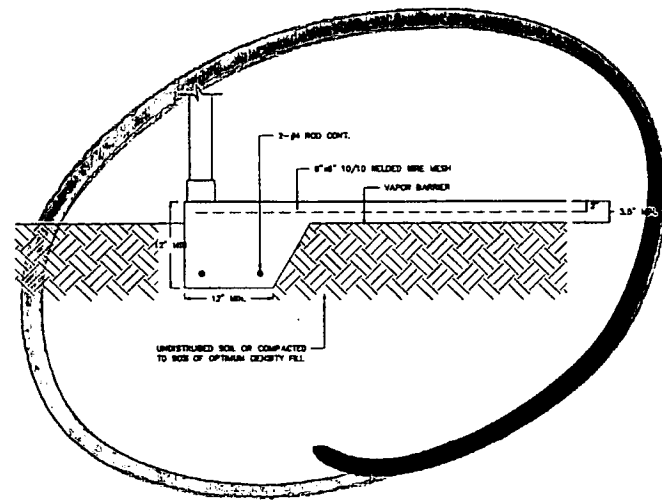


ALUMINUM CONSTRUCTION  
DETAILS

DRAWN	COMPTON
CHECKED	NASH
SCALE	NT.S.
DATE	SEPTEMBER 1987
JOB NO.	87-031

*John Nash*  
9/18/87

SHEET  
1  
OF FIVE SHEETS



**SLAB ON GRADE**

ALUMINUM SCREEN ROOMS, GLASS ROOMS, PATIO COVERS AND CARPORTS

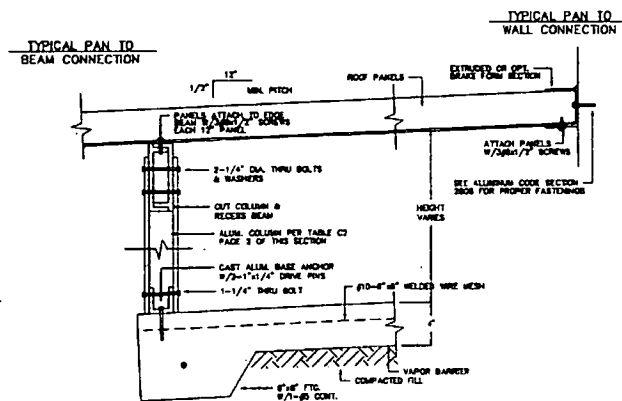
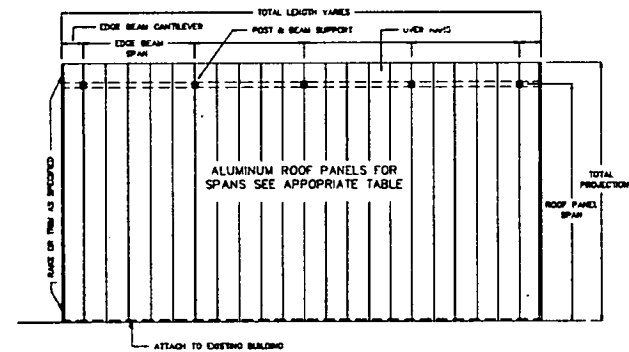
**CONTINUOUS WALL FOOTING**

FOR ALUMINUM ENCLOSURES WITH SOLID ALUMINUM ROOFS

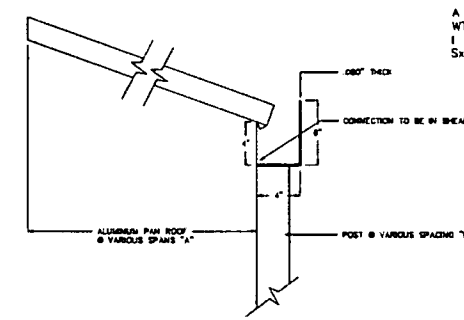
**RAISED SLAB**

WITH 8" CONC. BLOCK FOR ALUMINUM SCREEN ROOMS, GLASS ROOMS AND PATIO COVERS

**PIER TYPE FOOTING**

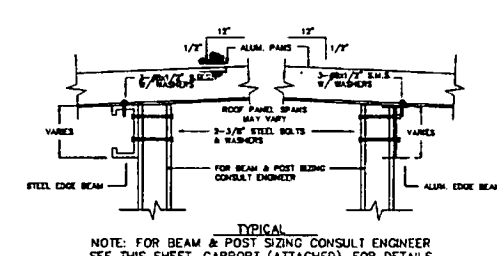
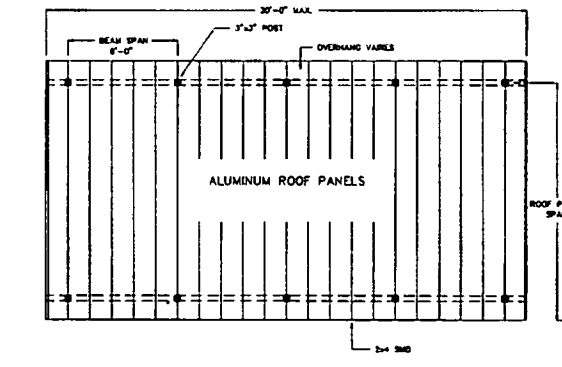


BEAM SIZE AND SHAPE	MAXIMUM CLEAR BEAM SPANS CONT. EDGE BEAM FOR ROOF SPANS BELOW					TYPICAL POST SIZE & NO. OF BASE ANCHORS
	10'	12'	14'	15'	16'	
2"x2"x.040"	4'-10"	4'-5"	4'-0"	3'-11"	3'-10"	2"x2"x.040" POST W/2.25" DIA. ANCHORS
2"x2"x.030"	5'-4"	5'-10"	5'-4"	5'-5"	5'-0"	FLAT POST W/2.25" DIA. ANCHORS
1.5"x2"x.030"	5'-8"	5'-0"	4'-8"	4'-5"	4'-3"	
2"x4" S.L. BEAM	10'-0"	8'-1"	8'-8"	8'-5"	8'-0"	2"x2"x.030" OR 2"x2"x.040" POST W/MIN. OF 2-3/8" ANCHOR BOLTS OR 4-1/2" ANCHOR BOLTS
2"x4" S.L. BEAM W/INVERT	12'-0"	11'-0"	10'-1"	9'-8"	9'-6"	
2"x6" S.L. BEAM	15'-3"	13'-1"	11'-3"	10'-3"	10'-0"	
2"x6" S.L. BEAM	20'-0"	18'-3"	17'-0"	16'-4"	15'-8"	2"x2"x.030" POST W/MIN. OF 2-3/8" ANCHOR BOLTS 4-1/2" ANCHOR BOLTS
2"x6" S.L. BEAM W/INVERT	23'-8"	20'-10"	18'-3"	18'-8"	18'-0"	
2"x8" S.L. BEAM	17'-8"	16'-0"	14'-10"	14'-4"	14'-0"	
1 BEAM W/DIAP	18'-3"	16'-8"	15'-8"	15'-3"	14'-8"	
1 BEAM W/DIAP	20'-0"	18'-1"	16'-10"	16'-3"	15'-8"	



SPAN TABLE - FOR SUPER GUTTER AS EDGE BEAM

GUTTER/EDGE BEAM SPAN B	VARIOUS SPANS OF PAN ROOF A				
	8'	10'	12'	14'	18'
	13'-9"	12'-4"	11'-3"	10'-5"	9'-9"



**CARPORT (ATTACHED)**

**EDGE BEAM & POST SPAN TABLE C-1 (ATTACHED ROOFS ONLY)**

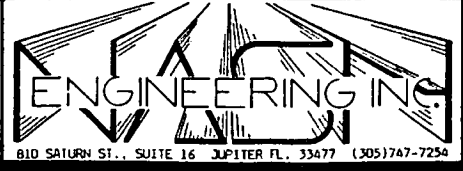
**SUPER GUTTER AS EDGE BEAM SPAN TABLE C-2**

**CARPORT (FREE STANDING)**

DATE	BY	DESCRIPTION

REVISIONS

TREASURE COAST CHAPTER, INC.  
OF THE ALUMINUM ASSOCIATION  
OF FLORIDA

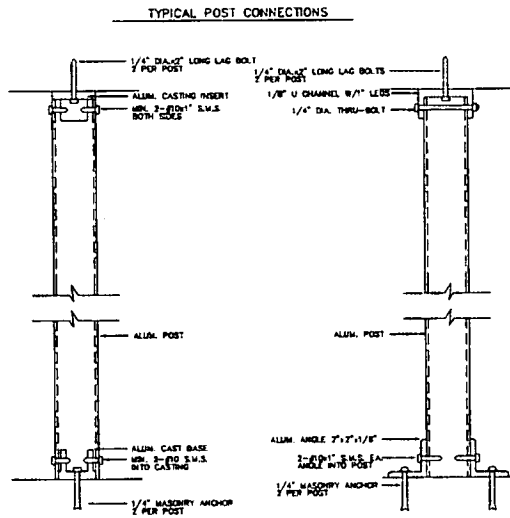


ALUMINUM CONSTRUCTION  
DETAILS

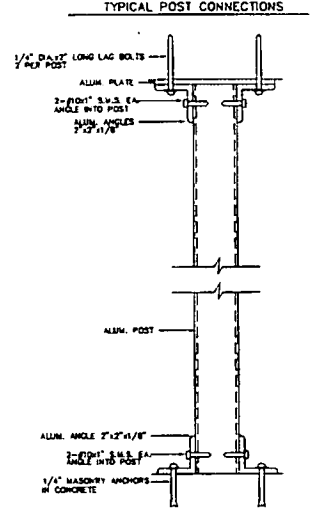
DRAWN	COMPTON
CHECKED	NASH
SCALE	NT.S.
DATE	SEPTEMBER 1987
JOB NO.	87-031

SEAL  
9/23/87

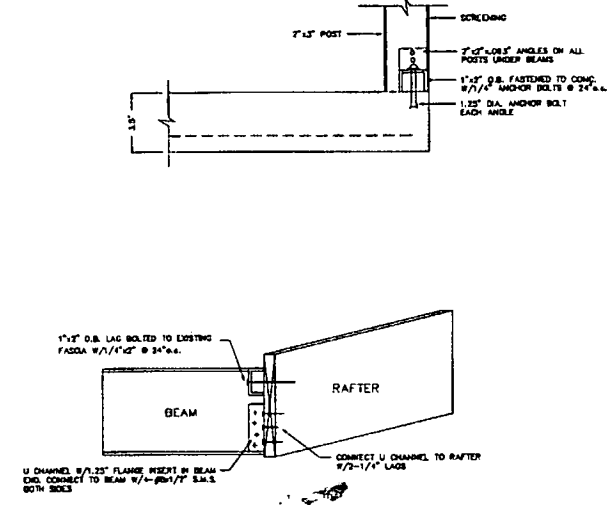
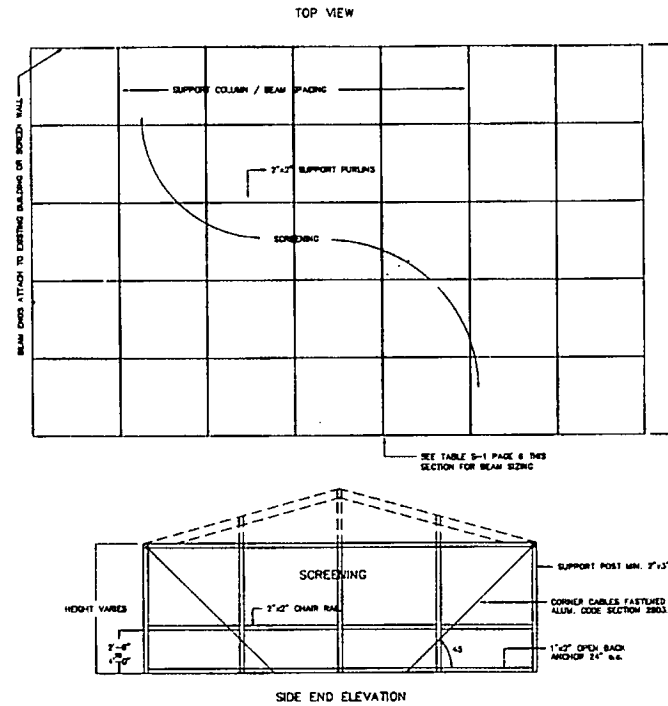
SHEET  
**2**  
OF FIVE SHEETS



NOTE: ANGLES MAY HAVE 1 LEG INSIDE POST



NOTE: ANGLES MAY HAVE 1 LEG INSIDE POST

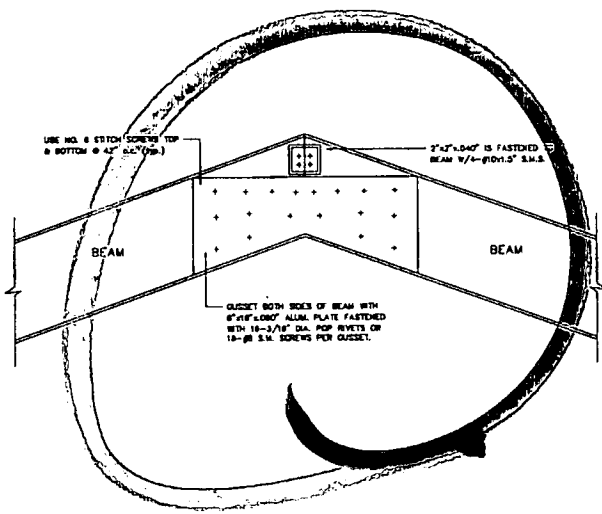


SCREEN ROOM  
(UNDER WOOD ROOF)

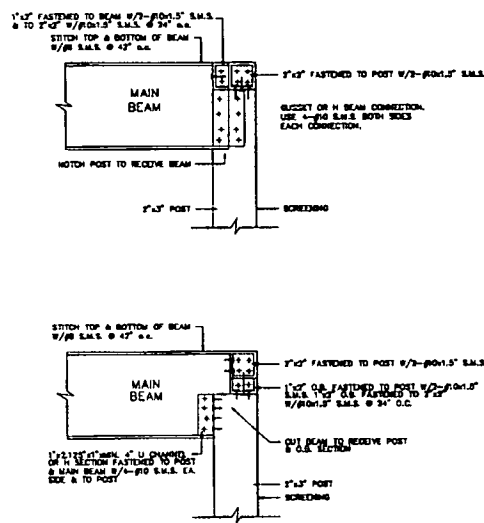
SCREEN ROOM  
(UNDER WOOD ROOF)

POOL ENCLOSURE  
(TYPICAL)

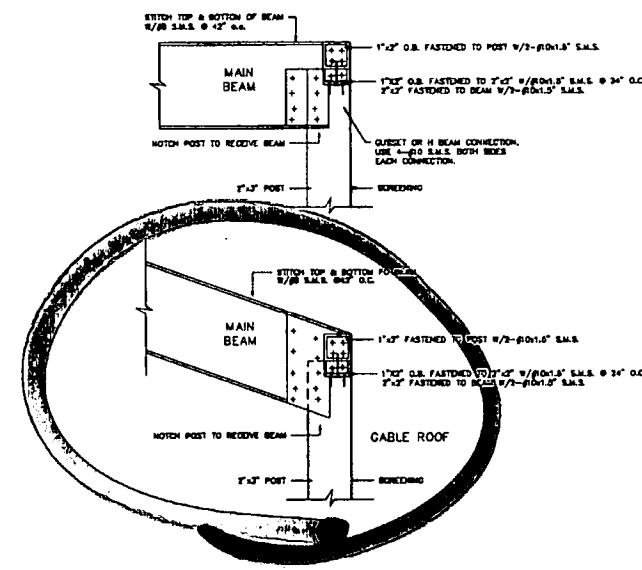
POOL ENCLOSURE  
(CONNECTION TYPICALS)



POOL ENCLOSURE  
(CONNECTION TYPICALS)



POOL ENCLOSURE  
(POST TO BEAM TYPICALS)



POOL ENCLOSURE  
(GABLE ROOF TO BEAM TYPICALS)

BEAM SIZE	MAXIMUM CLEAR SPAN FOR SCREENED ROOF BEAMS @ VARIOUS SPACING							
	4'-0" O-C	5'-0" O-C	6'-0" O-C	8'-0" O-C	10'-0" O-C	12'-0" O-C	14'-0" O-C	16'-0" O-C
2"x4" S.M. BEAM EI = 1.28	21'-8"	19'-4"	18'-6"	17'-8"	17'-0"	16'-4"	15'-10"	15'-3"
2"x4" S.M. BEAM W/ INSERT EI = 1.78	25'-5"	22'-9"	21'-9"	20'-9"	20'-0"	19'-3"	18'-8"	18'-0"
2"x6" S.M. BEAM EI = 3.0	32'-9"	29'-4"	28'-0"	26'-9"	25'-9"	24'-9"	24'-0"	23'-2"
2"x7" S.M. BEAM EI = 4.8	42'-9"	38'-3"	36'-7"	35'-0"	33'-8"	32'-4"	31'-4"	30'-3"
2"x7" S.M. BEAM EI = 6.8	48'-2"	44'-0"	42'-0"	40'-2"	38'-8"	37'-2"	36'-0"	34'-9"
3"x7" I BEAM W/ SNAP EI = 3.0	25'-10"	25'-0"	24'-3"	23'-7"	23'-0"	22'-5"	21'-11"	21'-5"
3"x7" I BEAM W/ SNAP EI = 3.18	34'-10"	31'-1"	29'-10"	28'-6"	27'-5"	26'-4"	25'-5"	24'-8"
4"x8" I BEAM W/ SNAP EI = 4.8	42'-10"	38'-4"	36'-8"	35'-0"	33'-9"	32'-5"	31'-5"	30'-4"

NOTE: THIS TABLE IS BASED ON:  
 WINDLOAD OF 120 MPH    LIVELOAD = 7 LBS/SQ. FT.    SCREEN MESH 18x14

SCREEN ROOF BEAM -- SPAN TABLE S-1

DATE	BY	DESCRIPTION

REVISIONS

TREASURE COAST CHAPTER, INC.  
OF THE ALUMINUM ASSOCIATION  
OF FLORIDA

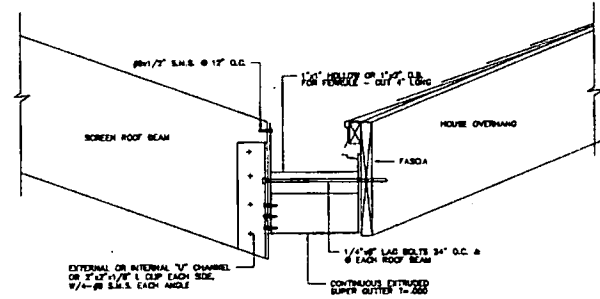
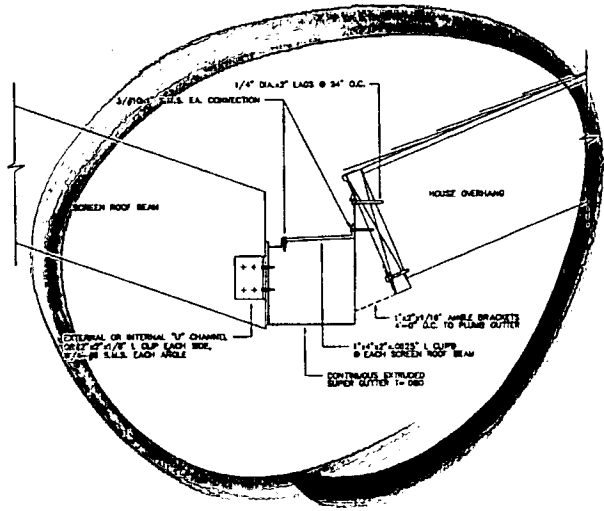


ALUMINUM CONSTRUCTION  
DETAILS

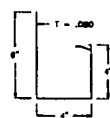
DRAWN	COMPTON
CHECKED	NASH
SCALE	N.T.S.
DATE	SEPTEMBER 1987
JOB NO.	67-031

*John Nash*  
9/18/87

SHEET  
**3**  
OF FIVE SHEETS



SUPER GUTTER  
ALLOY 6063-T6  
A = 1.20in<sup>2</sup>  
WT = 1.44#/L.F.  
I = 3.946in<sup>4</sup>  
Sx = 1.973in<sup>3</sup>



2"x6" S.M.B.  
ALLOY 6063-T6  
A = 1.398in<sup>2</sup>  
WT = 1.67#/L.F.  
I = 8.465in<sup>4</sup>  
Sx = 2.82in<sup>3</sup>



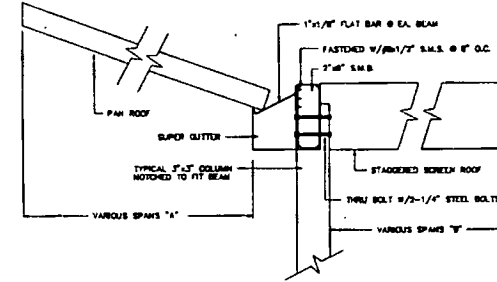
SUPER GUTTER  
ALLOY 6063-T6  
A = 1.20in<sup>2</sup>  
WT = 1.44#/L.F.  
I = 3.946in<sup>4</sup>  
Sx = 1.973in<sup>3</sup>



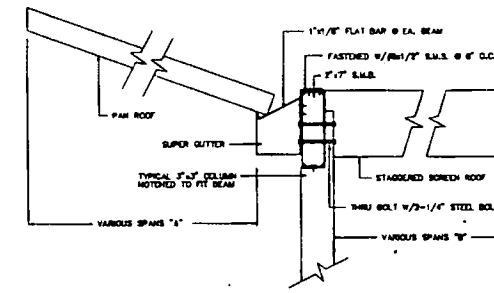
2"x7" S.M.B.  
ALLOY 6063-T6  
A = 1.782in<sup>2</sup>  
WT = 2.14#/L.F.  
I = 17.139in<sup>4</sup>  
Sx = 4.89in<sup>3</sup>



COMBINATION Sx = 4.80in<sup>3</sup>



COMBINATION Sx = 6.87in<sup>3</sup>



SPAN TABLE - FOR COMBINATION - SUPER GUTTER + 2"x6" S.M.B.

VARIOUS SPANS OF ROOF PANS "A"	VARIOUS SPANS OF SCREEN ROOFS "B"												
	18'	20'	22'	24'	26'	28'	30'	32'	34'	36'	38'	40'	42'
4'-0"	20'-8"	18'-10"	18'-4"	18'-10"	18'-4"	17'-10"	17'-4"	17'-11"	18'-5"	18'-9"	18'-10"	18'-10"	18'-4"
6'-0"	18'-8"	18'-0"	17'-4"	17'-8"	18'-10"	18'-4"	18'-8"	18'-10"	18'-4"	18'-11"	18'-5"	18'-10"	18'-4"
8'-0"	17'-8"	18'-0"	18'-3"	18'-0"	18'-8"	18'-3"	18'-3"	18'-11"	18'-8"	18'-5"	18'-3"	18'-10"	18'-0"
10'-0"	18'-8"	18'-0"	18'-3"	18'-0"	18'-8"	18'-3"	18'-3"	18'-11"	18'-8"	18'-5"	18'-3"	18'-10"	18'-0"
12'-0"	18'-10"	18'-7"	18'-4"	18'-3"	18'-8"	18'-4"	18'-4"	18'-11"	18'-8"	18'-5"	18'-3"	18'-10"	18'-0"
14'-0"	18'-10"	18'-7"	18'-4"	18'-3"	18'-8"	18'-4"	18'-4"	18'-11"	18'-8"	18'-5"	18'-3"	18'-10"	18'-0"

SPAN TABLE - FOR COMBINATION - SUPER GUTTER + 2"x7" S.M.B.

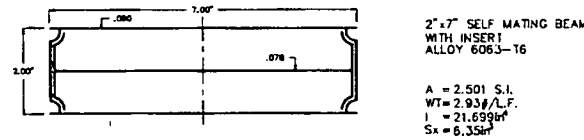
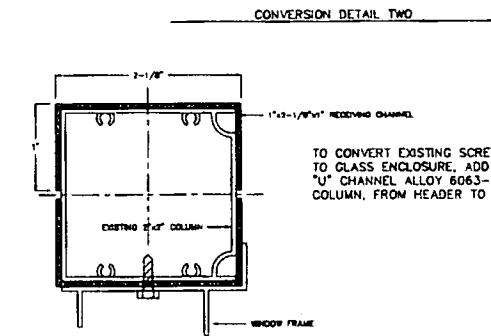
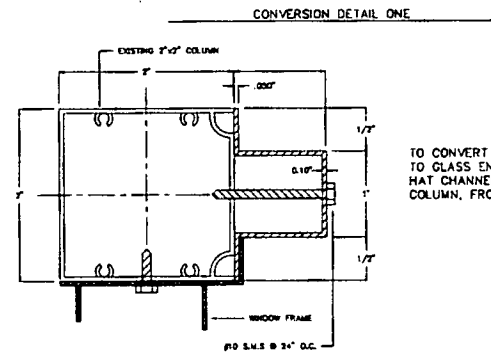
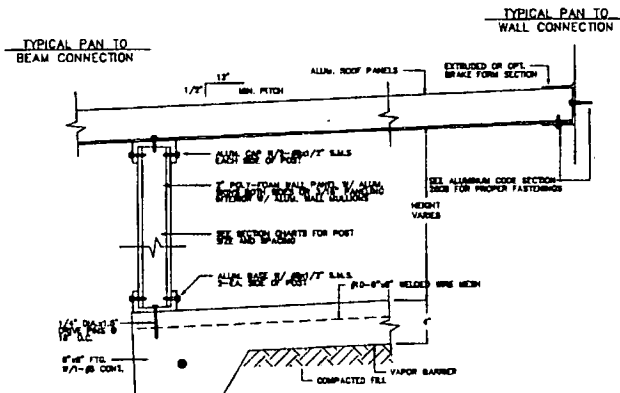
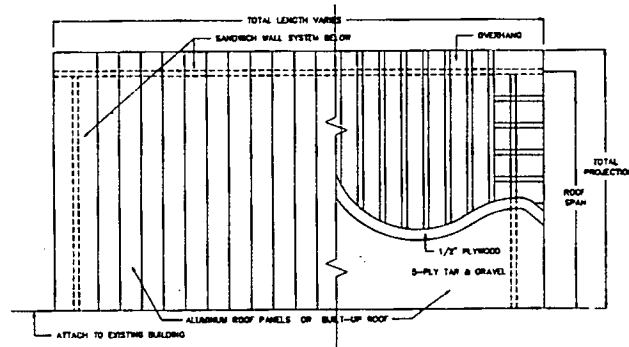
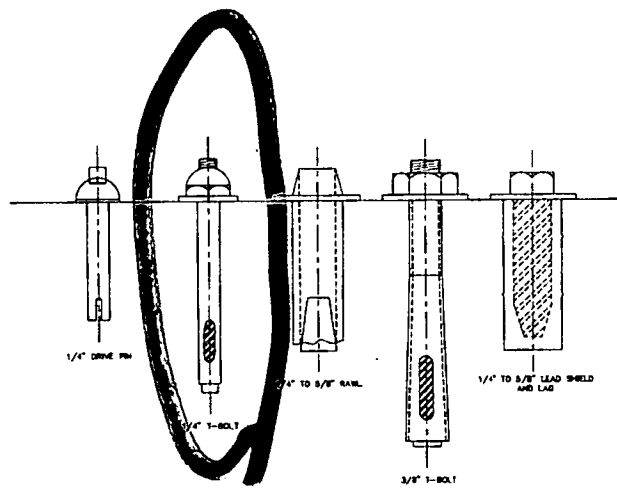
VARIOUS SPANS OF ROOF PANS "A"	VARIOUS SPANS OF SCREEN ROOFS "B"												
	18'	20'	22'	24'	26'	28'	30'	32'	34'	36'	38'	40'	42'
4'-0"	24'-8"	23'-0"	23'-0"	22'-4"	22'-0"	21'-8"	21'-0"	20'-8"	20'-0"	19'-8"	19'-0"	18'-8"	18'-0"
6'-0"	22'-0"	21'-0"	21'-0"	20'-7"	20'-7"	19'-8"	19'-8"	19'-0"	18'-8"	18'-0"	18'-0"	17'-8"	17'-8"
8'-0"	20'-3"	19'-11"	19'-8"	19'-3"	18'-10"	18'-8"	18'-11"	18'-5"	18'-11"	18'-5"	18'-11"	18'-5"	18'-8"
10'-0"	18'-10"	18'-7"	18'-3"	18'-0"	17'-8"	18'-0"	17'-8"	17'-11"	18'-5"	18'-11"	18'-5"	18'-11"	18'-0"
12'-0"	17'-8"	17'-5"	17'-1"	16'-11"	16'-8"	16'-8"	17'-4"	17'-8"	17'-10"	17'-4"	17'-8"	17'-4"	17'-11"
14'-0"	18'-8"	18'-4"	18'-3"	18'-0"	18'-0"	18'-5"	18'-8"	18'-11"	18'-8"	18'-5"	18'-3"	18'-10"	18'-0"

**SUPER GUTTER - FASCIA ATTACHMENT**  
(\*CANTED\* FASCIA TYPICAL)

**SUPER GUTTER - FASCIA ATTACHMENT**  
(\*PLUMB\* FASCIA TYPICAL)

**CARRIER BEAM - SPAN TABLE S-2**  
(SUPER GUTTER & 2"x6" S.M.B.)

**CARRIER BEAM - SPAN TABLE S-3**  
(SUPER GUTTER & 2"x7" S.M.B.)



SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 10# PER S.F.	SOLID WALL 25# PER S.F.	SOLID ROOF 30# PER S.F.
3'	56'-9"	47'-6"	30'-0"	27'-5"
4'	49'-2"	41'-2"	26'-0"	23'-9"
5'	44'-0"	36'-10"	24'-3"	21'-3"
6'	40'-2"	33'-6"	21'-3"	19'-4"
7'	37'-2"	31'-1"	19'-8"	17'-11"
8'	34'-9"	29'-0"	18'-5"	16'-0"
9'	32'-8"	27'-5"	17'-4"	15'-10"
10'	31'-0"	26'-0"	16'-5"	15'-0"

**MASONRY - CONCRETE FASTENERS**

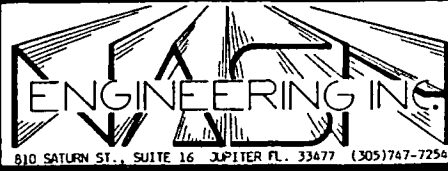
**GLASS ROOMS**  
(SANDWICH SYSTEM)

**GLASS ROOM "HAT"**  
(REINFORCEMENT OF .040 POST)

**2"x7" S.M.B. WITH INSERT**

DATE	BY	DESCRIPTION

TREASURE COAST CHAPTER, INC.  
OF THE ALUMINUM ASSOCIATION  
OF FLORIDA



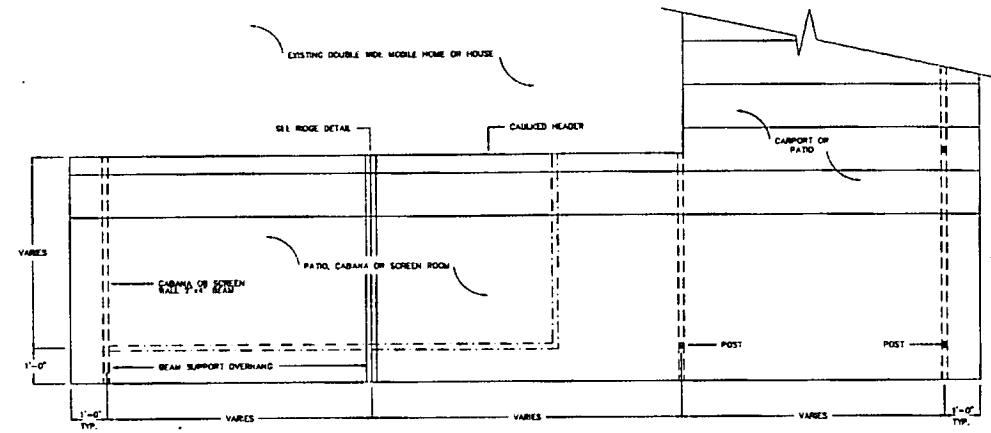
ALUMINUM CONSTRUCTION  
DETAILS

DRAWN	COMPTON
CHECKED	NASH
SCALE	N.T.S.
DATE	SEPTEMBER 1987
JOB NO.	87-031

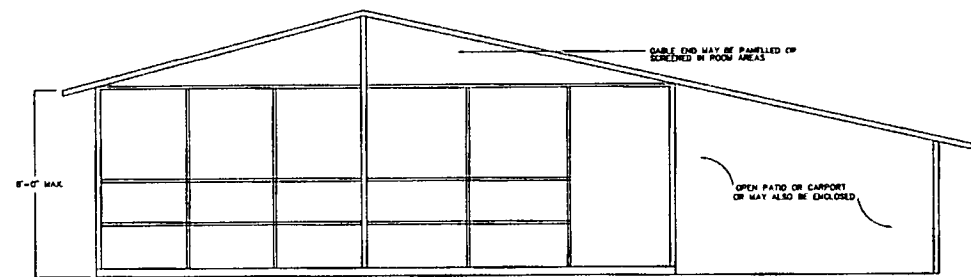
*John Nash*  
9/23/87

SHEET  
**4**  
OF FIVE SHEETS



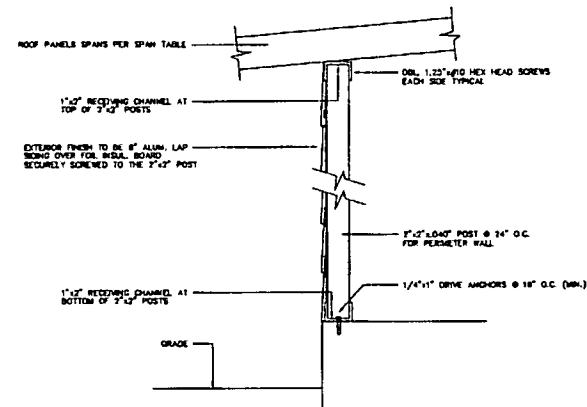


TYPICAL PLAN VIEW



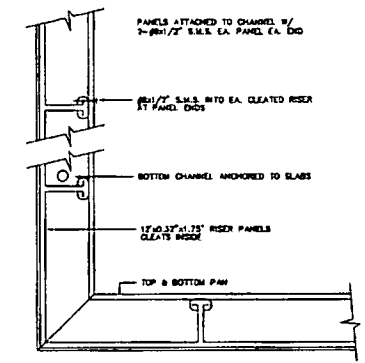
TYPICAL ELEVATION

ATTACHED A-FRAME COMBINATION PATIO-CABANA OR CARPORT



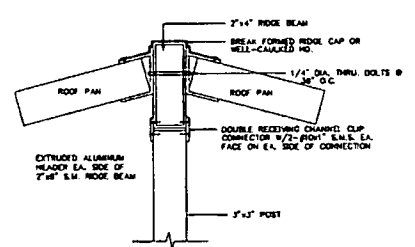
TYPICAL SECTION

TYPICAL UTILITY ROOM



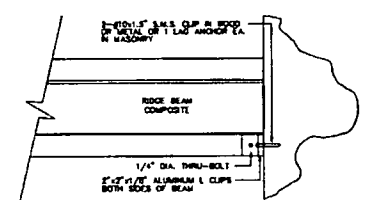
WALL DETAIL

TYPICAL UTILITY ROOM



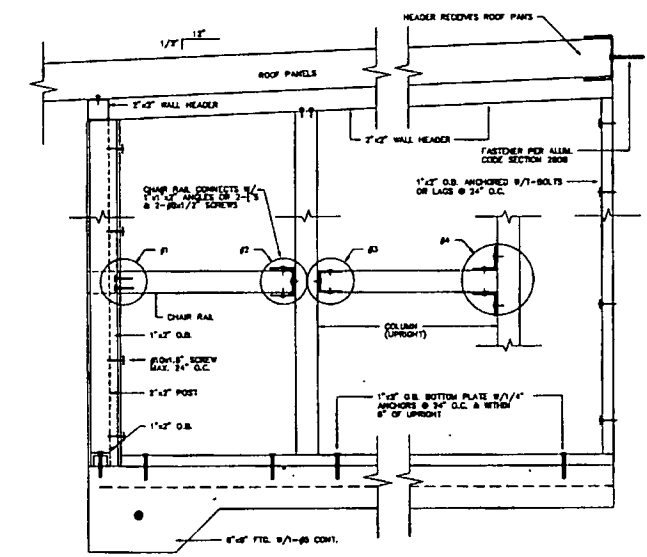
TYPICAL DETAIL

RIDGE BEAM



END CONNECTION

RIDGE BEAM

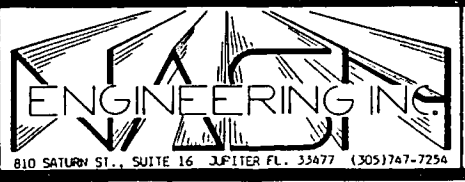


CHAIR RAIL CONNECTION ALTERNATIVES (PER CHAP. XXVII SECTION 2803.)  
 1. INTERNAL SCREWS  
 2. EXTERNAL SCREWS  
 3. INTERNAL "U" CHANNEL  
 4. EXTERNAL ANGLES

SCREEN ROOM (WITH ALUMINUM ROOF)

DATE	BY	DESCRIPTION

TREASURE COAST CHAPTER, INC.  
 OF THE ALUMINUM ASSOCIATION  
 OF FLORIDA



ALUMINUM CONSTRUCTION  
 DETAILS

DRAWN	COMPTON
CHECKED	NASH
SCALE	NT.S.
DATE	SEPTEMBER 1987
JOB NO.	87-031

*John Nash*  
 9/23/87

SHEET  
 5  
 OF FIVE SHEETS

**6524**

**DEMO PRIVACY**

**WALL**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 12/5/03

BUILDING PERMIT NO. 6524

Building to be erected for HAYNES

Type of Permit Demo Privacy Wall

Applied for by O/B

(Contractor) Building Fee 35.00

Subdivision Palm Row Lot 3 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 60 Palm Road

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Electrical Fee \_\_\_\_\_

Parcel Control Number:

1 338410050000003060000

Plumbing Fee \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Amount Paid 35.00 Check # \_\_\_\_\_ Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 100.00

TOTAL Fees 35.00

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

## PERMIT

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL            | <input type="checkbox"/> MECHANICAL    |
| <input type="checkbox"/> PLUMBING         | <input type="checkbox"/> ROOFING               | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input checked="" type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE         |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE   | <input type="checkbox"/> GAS           |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS    | <input type="checkbox"/> RENOVATION    |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL              | <input type="checkbox"/> ADDITION      |

## INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

RECEIVED

DEC 04 2003

Date: 12/4/03

BY: Town of Sewall's Point

Permit Number: \_\_\_\_\_

BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME: Jeff Haynes Phone (Day) 220-0388 (Fax) 220-0388

Job Site Address: 6 Palm Rd City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Lot 3, Palm Row Parcel Number: 133841005 000000306

Owner Address (if different): Same City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: 0000

Description of Work To Be Done: Remove decorative, external wall w/Arch to ready for roof job

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: \_\_\_\_\_

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 100 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_
Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_
Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_
Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_
Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) Jeffrey D. Haynes

State of Florida, County of: MARTIN

This the 4th day of December, 2003

by Jeffrey D. Haynes who is personally

known to me or produced by \_\_\_\_\_ as identification.

My Commission Expires \_\_\_\_\_

CONTRACTOR SIGNATURE (required)

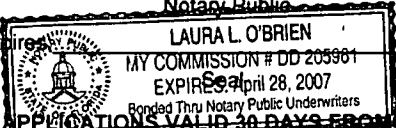
On State of Florida, County of: \_\_\_\_\_

This the \_\_\_\_\_ day of \_\_\_\_\_, 200\_\_

by \_\_\_\_\_ who is personally

known to me or produced \_\_\_\_\_ as identification.

My Commission Expires: \_\_\_\_\_



Prepared by and Return to:  
Bauer & Twohey, P.A.  
319 SE Osceola Street  
Stuart, Florida 34994

Parcel ID Number: 13-38-41-005-000-0003.0-60000

Grantor #1 TIN:

Grantor #2 TIN:

# Warranty Deed

This Indenture, Made this 4th day of December, 2003 A.D., Between Joseph V. Schoppe, a married man joined by his wife Alison B. Schoppe

of the County of Martin, State of Florida, grantors, and Jeffrey D. Haynes and Sandra L. Haynes, husband and wife

whose address is: 6 Palm Road, Stuart, FL 34996

of the County of Martin, State of Florida, grantees.

Witnesseth that the GRANTORS, for and in consideration of the sum of

-----TEN DOLLARS (\$10)----- DOLLARS, and other good and valuable consideration to GRANTORS in hand paid by GRANTEEES, the receipt whereof is hereby acknowledged, have granted, bargained and sold to the said GRANTEEES and GRANTEEES' heirs, successors and assigns forever, the following described land, situate, lying and being in the County of Martin, State of Florida, to wit: Lot 3, REVISED & AMENDED PLAT OF PALM ROW, according to the map or plat thereof as recorded in Plat Book 4, Page(s) 68, Public Records of Martin County, Florida.

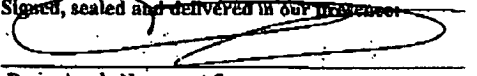
**SUBJECT TO:**

- 1. Taxes for the year 2004 and all subsequent years;
- 2. Zoning restrictions, prohibitions and other requirements imposed by governmental authority;
- 3. Restrictions, and matters appearing on the plat or otherwise common to the subdivision; and
- 4. Public utility easements of record, if any.

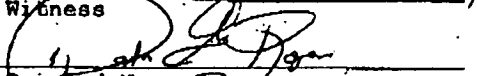
and the grantors do hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantors have hereunto set his hands and seals the day and year first above written.

Signed, sealed and delivered in our presence:

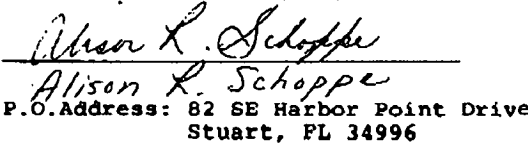


Printed Name: CHRISTOPHER J. TWOHEY  
Witness



Printed Name: PATRICIA T. ROGERS  
Witness

 (Seal)  
Joseph V. Schoppe  
P.O. Address: 82 SE Harbor Point Drive, Stuart, FL 34996

  
Alison R. Schoppe  
P.O. Address: 82 SE Harbor Point Drive  
Stuart, FL 34996


STATE OF Florida  
COUNTY OF Martin

The foregoing instrument was acknowledged before me this 4th day of December, 2003 by Joseph V. Schoppe, a married man joined by his wife Alison B. Schoppe

he is personally known to me or he has produced his Florida driver's license as identification.



Christopher J. Twohey  
MY COMMISSION # CC951017 EXPIRES  
July 28, 2004  
BONDED THROUGH TROY FARM INSURANCE, INC.

  
CHRISTOPHER J. TWOHEY  
Notary Public  
My Commission Expires: 07/28/04

# TOWN OF SEWALL'S POINT

ONE SOUTH SEWALL'S POINT ROAD

SEWALL'S POINT, FLORIDA 34996

## TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT

(To be submitted if permit is to be pulled by Owner/Builder)

### DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: Jeffrey D. Haynes Date: 12/4/03

Signature: Jeffrey D. Haynes

Address: 60 Palm Rd.

City & State: Stuart, FL 34996

Permit No. \_\_\_\_\_

This form is for all permits except electrical.

RIVERVIEW SUBDIVISION  
PLAT BOOK 6, PAGE 86,  
PUBLIC RECORDS OF  
MARTIN COUNTY, FLORIDA.

LOT 21

LOT 22

FND. I.B./C.  
5/8" BETHAM  
N. 0.15  
E. 0.09

FND. C.M.  
(4"x4")

FND. I.B./C.  
5/8" BETHAM  
N. 0.07  
E. 0.13

66.72'(P)

N. 56° 00' 00" E. 100.00'(P)

8' UTILITY EASEMENT

FILE COPY  
TOWN OF SEWALL'S POINT  
THESE PLANS HAVE BEEN  
REVIEWED FOR CODE COMPLIANCE

DATE: 12/4/03

BUILDING OFFICIAL  
Gene Simmons

LOT 3

CONC. PAD  
& POOL HEATER

CONC. PAD  
& POOL EQUIP.

17PA  
CONC. DECK

POOL

LAVA  
ROCK

SCREEN  
ENCLOSURE

LAVA  
ROCK

1-STORY  
C.B.S.

N. 23° 59' 15" W. 150.50'(P)

N. 23° 59' 15" W. 150.50'(P)

6' WOOD  
FENCE

6' WOOD  
FENCE

PAVERS

ROCK  
DRIVE

ROCK  
WALK

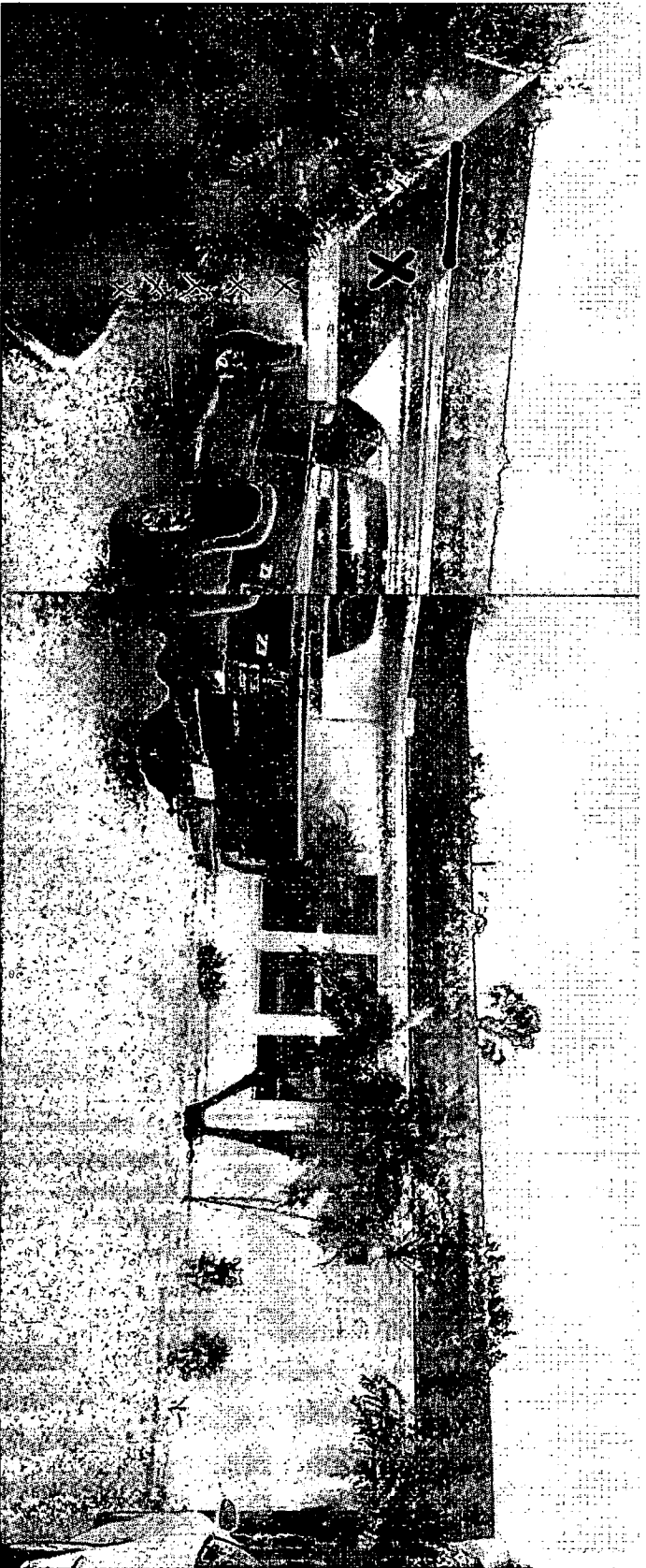
- Remove Block wall up to corner of house.
- Remove 10'x3' roof (supported by wall)
- Install new 3' wide fascia board

FND. I.B./C.  
1/8" #4049

FND. C.M.  
(4"x4")  
N. 0.07  
E. 0.18

N. 66° 00' 00" E. 100.00'(P)

PALM ROAD  
(30' R/W)



- 1) Cut Roof and block wall to separate from structure.
- 2) Knock down wall and remove on 12/8 when shingle removal takes place for entire roof.
- 3) Install new fascia board and gutter
- 4) Patch structure corner where wall was removed.



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 9/1, 2004 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>6524</del>	<del>HAYNES</del>	<del>DEMOPRVACY WALL</del>	<del>PASS</del>	
4	6 PALM ROAD O/B			INSPECTOR: <i>[Signature]</i>
6567	HAYNES	HARDI PLANK	PASS	
4	6 PALM ROAD O/B			INSPECTOR: <i>[Signature]</i>
6858	POTSDAM	A/C CARGOUT	—	RESCHEDULE -
5	50 RIO VISTA FYNNS A/C			CULD NOT GET ACCESS TO HOUSE INTERIOR INSPECTOR: <i>[Signature]</i>
6845	MCDOWALL	A/C CARGOUT	PASS	
7	23 N. RIVER RD FYNNS A/C			INSPECTOR: <i>[Signature]</i>
6819	MANGAN	ROOSTEEL	PASS	
8	16 PEERWINKLE LA HARBOR BAY POOLS			INSPECTOR: <i>[Signature]</i>
TREE	JACOBI	TREE	PASS	
11	4 BANYAN			INSPECTOR: <i>[Signature]</i>
6792	RAPPAPOET	STRAP (REINSF)	FAIL	
10	9 RIVER CREST GULICK+McLAUREN			INSPECTOR: <i>[Signature]</i>

OTHER: \_\_\_\_\_

**6525**

**REROOF**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 12/8/03

BUILDING PERMIT NO. 6525

Building to be erected for HAYNES

Type of Permit RE ROOF

Applied for by DAN BUTCHER ROOFING (Contractor)

Building Fee \_\_\_\_\_

Subdivision Palm Row Lot 3 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 6 Palm Road

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Electrical Fee \_\_\_\_\_

Parcel Control Number:

Plumbing Fee \_\_\_\_\_

1338410050000003060000

Roofing Fee 120.00

Amount Paid 120.00 Check # 3030 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ )

Total Construction Cost \$ 1,400.00

TOTAL Fees 120.00

Signed Dan E Butcher

Signed Jane Simmons (RHS)

Applicant

Town Building Official

## PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

## INSPECTIONS

- UNDERGROUND PLUMBING \_\_\_\_\_
- UNDERGROUND MECHANICAL \_\_\_\_\_
- STEMWALL FOOTING \_\_\_\_\_
- SLAB \_\_\_\_\_
- ROOF SHEATHING \_\_\_\_\_
- TRUSS ENG/WINDOW/DOOR BUCKS \_\_\_\_\_
- ROOF TIN TAG/METAL \_\_\_\_\_
- PLUMBING ROUGH-IN \_\_\_\_\_
- MECHANICAL ROUGH-IN \_\_\_\_\_
- FRAMING \_\_\_\_\_
- FINAL PLUMBING \_\_\_\_\_
- FINAL MECHANICAL \_\_\_\_\_
- FINAL ROOF \_\_\_\_\_

- UNDERGROUND GAS \_\_\_\_\_
- UNDERGROUND ELECTRICAL \_\_\_\_\_
- FOOTING \_\_\_\_\_
- TIE BEAM/COLUMNS \_\_\_\_\_
- WALL SHEATHING \_\_\_\_\_
- LATH \_\_\_\_\_
- ROOF-IN-PROGRESS \_\_\_\_\_
- ELECTRICAL ROUGH-IN \_\_\_\_\_
- GAS ROUGH-IN \_\_\_\_\_
- EARLY POWER RELEASE \_\_\_\_\_
- FINAL ELECTRICAL \_\_\_\_\_
- FINAL GAS \_\_\_\_\_
- BUILDING FINAL \_\_\_\_\_

RECEIVED  
DEC 05 2003

Permit Number: \_\_\_\_\_

### Town of Sewall's Point BUILDING PERMIT APPLICATION

OWNER/TENANT/HOLDER NAME: JEFFREY D. HAYNES Phone (Day) 220-0388 (Fax) 220-0388

Job Site Address: 6 Palm Rd City: Stuart State: FL Zip: 34994

Legal Description of Property: X Lot 3 Revised and Amended Parcel Number: X 13-38-41-005-000-00030-60  
Plat of Palm Row

Owner Address (if different): Same City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: Remove Asphalt Shingles, Re-roof w/ 5-V crimp metal

WILL OWNER BE THE CONTRACTOR?: Yes  No  (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: DAN Butcher Phone: 283-5952 Fax: 223-1012

Street: 3904 SE Dixie Ross St City: Stuart State: FL Zip: 34997

State Registration Number: RC 0067242 State Certification Number: \_\_\_\_\_ Martin County License Number: SP00858

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 11,400 (Notice of Commencement needed over \$2500)

#### SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: DAN Butcher Roofing, Inc. State: FL License Number: SP00858

ARCHITECT \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: 1910 Garage: 450 Covered Patios: 150 Screened Porch: \_\_\_\_\_

Carpport: \_\_\_\_\_ Total Under Roof 2510 Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

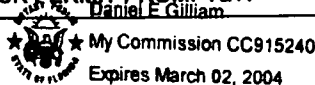
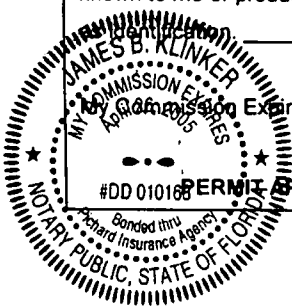
I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)  
X Jeffrey D. Haynes  
State of Florida, County of: MARTIN  
This the 1 day of DECEMBER, 2003  
by Jeffrey D Haynes who is personally  
known to me or produced drivers license

CONTRACTOR SIGNATURE (required)  
Danny S Butcher  
On State of Florida, County of: MARTIN  
This the 3 day of DEC, 2003  
by Danny S Butcher who is personally  
known to me or produced \_\_\_\_\_  
As identification: \_\_\_\_\_

Notary Public  
James B. Klinker  
Seal  
James B. Klinker

Notary Public  
My Commission Expires: March 02 2004  
Daniel F. Gilliam  
Seal



PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS  
FOR RE-ROOFING**

**IMPORTANT NOTICE:** All items listed below must accompany your permit application. No application will be accepted unless all items that are applicable are submitted.

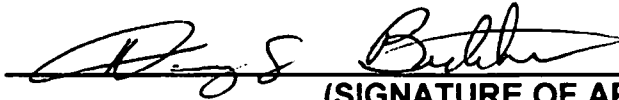
**Application form must contain the following information:**

1. Property Appraisers Parcel Number or Property Control Number
2. Legal Description of property (Can be found on your deed survey or Tax Bill)
3. Contractors name, address, phone number and license numbers.
4. Name all sub-contractors (properly licensed)
5. Estimated cost of construction.
6. Original signature of owner and notarized
7. Original signature of Contractor and notarized.

**Submittals (2 copies)**

1. Product approvals from Miami/Dade for the following items:
  - a. Roofing
2. Statement of Fact (owner/builder affidavit)
3. Proof of ownership (deed or tax recpt.)
4. A certified copy of the Notice of Commencement for any work over \$2500.00
5. Copy of License (either Martin County Certificate of Competency or State Certified or Registered Contractor License)
6. Copy of Workmen's Compensation
7. Copy of Liability Insurance

**ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE  
ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE**



(SIGNATURE OF APPLICANT)

DATE SUBMITTED:

Dec. 5, 2003

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # \_\_\_\_\_ TAX FOLIO # 13-38-41-005-000-00030-6

**NOTICE OF COMMENCEMENT**

STATE OF FLA COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

\* LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE): Parcel #  
Lot 3 Revised and Amended Plat of Palm Row 13-38-41-005-000-00030-6

GENERAL DESCRIPTION OF IMPROVEMENT: Remove asphalt shingles and re-roof metal

OWNER: JEFFREY D. HAYNES

ADDRESS: 6 PALM RD STUART, FL 34990

PHONE #: (772) 220-0388 FAX #: (772) 220-0388

CONTRACTOR: DAW Butler Roofing, Inc.

ADDRESS: 3904 SE Dixie Cross St Stuart 34997

PHONE #: 253-5452 FAX #: 223-1012

SURETY COMPANY (IF ANY) \_\_\_\_\_

ADDRESS: \_\_\_\_\_ STATE OF FLORIDA

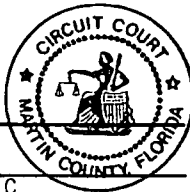
PHONE # \_\_\_\_\_ FAX #: \_\_\_\_\_ MARTIN COUNTY

BOND AMOUNT: \_\_\_\_\_ THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGE(S) IS A TRUE AND CORRECT COPY OF THE ORIGINAL.

LENDER: \_\_\_\_\_ MARSHA EWING, CLERK

ADDRESS: \_\_\_\_\_ BY: [Signature] D.C.

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_ DATE: 12-5-03



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

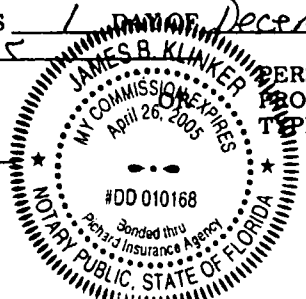
EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_ THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

[Signature]  
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 1 DAY OF December 2003 BY Jeffrey D Haynes

[Signature]  
NOTARY SIGNATURE

James B Klinker  
/data/gmd/bzd/bldg\_forms/Noc.aw



PERSONALLY KNOWN  
PRODUCED ID DRIVERS LICENCE  
TYPE OF ID \_\_\_\_\_

<b>ACORD CERTIFICATE OF LIABILITY INSURANCE</b>		DATE (MM/DD/YY) 12/05/2003
PRODUCER (772)546-5600      FAX (772)546-1008 Campbell-Wilson Ins. Agency 8882 SE Bridge Road Hobe Sound, FL 33455	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
<b>INSURERS AFFORDING COVERAGE</b>		
INSURED  Dan Butcher Roofing, Inc. 3904 SE Dixie Ross Street Stuart, FL 34997 281-54-2949      License #SP00858	INSURER A:	Essex Insurance Co./Absolute
	INSURER B:	
	INSURER C:	
	INSURER D:	
	INSURER E:	

**COVERAGES**  
 THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSTR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A.	GENERAL LIABILITY	BAQ5294	06/26/2003	06/26/2004	EACH OCCURRENCE \$ 300,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				FIRE DAMAGE (Any one fire) \$ Excluded
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Accy one person) \$ Excluded
					PERSONAL & ADV INJURY \$ Excluded
					GENERAL AGGREGATE \$ 300,000
					PRODUCTS - COMPROP AGG \$ 300,000
					GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PROJ-ECT <input type="checkbox"/> LOC
	AUTOMOBILE LIABILITY	NONE			COMBINED SINGLE LIMIT (Ea accident) \$
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident) \$
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident) \$
	<input type="checkbox"/> HIRED AUTOS				
	<input type="checkbox"/> NON-OWNED AUTOS				
	GARAGE LIABILITY	NONE			AUTO ONLY - EA ACCIDENT \$
	<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC \$
					AUTO ONLY: AGG \$
	EXCESS LIABILITY	NONE			EACH OCCURRENCE \$
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE \$
	<input type="checkbox"/> DEDUCTIBLE				\$
	<input type="checkbox"/> RETENTION \$				\$
	WORKERS COMPENSATION AND EMPLOYERS LIABILITY	NONE			<input type="checkbox"/> WL STATUTORY LIMITS <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
	OTHER				

DESCRIPTION OF OPERATIONS, LOCATIONS, VEHICLES, EXCLUSIONS ADDED BY ENDORSEMENTS, SPECIAL PROVISIONS  
 State of Florida - Roofing contractor

<b>CERTIFICATE HOLDER</b>  Town of Sewall's Point 1 S Sewalls Point Road Sewalls Point, FL 34996	<b>ADDITIONAL INSURED; INSURER LETTER</b>	<b>CANCELLATION</b>  SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT. BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.  AUTHORIZED REPRESENTATIVE: <i>Joanne Wilson</i> Joanne Wilson/JO
--	---	---

STATE OF FLORIDA  
DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY  
DIVISION OF WORKERS' COMPENSATION

CERTIFICATE OF EXEMPTION FROM FLORIDA WORKERS' COMPENSATION LAW


CONSTRUCTION INDUSTRY EXEMPTION

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation Law .

EFFECTIVE	04/07/2002	EXPIRATION DATE	04/06/2004
PERSON	BUTCHER	DANNY	S
SSN	281-54-2949		
FEIN			
BUSINESS	DAN BUTCHER ROOFING INC 3904 SE DIXIE ROSS STREET STUART FL 34997		

NOTE: Pursuant to Chapter 440.10(1),(g),2,F.S., a sole proprietor, partner, or an officer of a corporation who elects exemption from the Florida Workers' Compensation Law may not recover benefits or compensation under Chapter 440.

PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

<p>STATE OF FLORIDA DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY DIVISION OF WORKERS' COMPENSATION</p>  <p>CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION FROM FLORIDA WORKERS' COMPENSATION LAW</p> <p>EFFECTIVE: 04/07/2002 EXPIRATION: 04/06/2004</p> <p>PERSON: BUTCHER DANNY SSN: 281-54-2949 FEIN: BUSINESS: DAN BUTCHER ROOFING INC 3904 SE DIXIE ROSS STREET STUART FL 34997</p>	<p style="text-align: center;">F O L D  H E R E</p> <p>NOTE: Pursuant to chapter 440.10(1),(g),2, F.S., a sole proprietor, partner, or officer of an corporation who elects exemption from the Florida Woerks' Compensation Law may not recover benefits or compensation under Chapter 440.</p>
--	---

CUT HERE

\* Carry bottom portion on the job, keep upper portion for your records .





## Martin County Building Department

2401 SE Monterey Road  
Stuart, FL 34996  
(772) 288-5916

BUTCHER, DANNY S  
DAN BUTCHER ROOFING INC  
3904 SE DIXIE ROSS ST  
STUART, FL 34997

### NOTICE TO ALL CONTRACTORS

PLEASE BE ADVISED THAT MARTIN COUNTY, FLORIDA SECTION 43.42 REQUIRES COMPLIANCE WITH THE FOLLOWING EXERPT FROM THE GENERAL ORDINANCES OF THE MARTIN COUNTY CODE:

#### PROHIBITED ACTIVITIES:

43.42 R Advertising contracting work in any advertisement to the public in a newspaper or telephone directory without including in the advertisement the number of the contractor license issued to the person or business being advertised.

43.42 S Operating any commercial vehicle in the course of conducting the practice of contracting that fails to display the contractor license number of the contractor.

If you have any questions relating to the information in this letter , please contact the Martin County Contractor's Licensing Division of the Martin County Building Department.



MARTIN COUNTY, FLORIDA  
Construction Industry Licensing Board  
Certificate of Competency

#### ROOFING CONTRACTOR

License Number SP00858 Expires: 30-SEP-05

BUTCHER, DANNY S  
DAN BUTCHER ROOFING INC  
3904 SE DIXIE ROSS ST  
STUART, FL 34997

AC# 1023297

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L03082501980

DATE	BATCH NUMBER	LICENSE NBR
08/25/2003	030121330	RC0067242

The ROOFING CONTRACTOR  
Named below HAS REGISTERED  
Under the provisions of Chapter 499ARS  
Expiration date: AUG 31, 2005  
(INDIVIDUAL MUST MEET ALL LOCAL LICENSING  
REQUIREMENTS PRIOR TO CONTRACTING IN AN AREA)

BUTCHER, DANNY STEPHEN  
DAN BUTCHER ROOFING INC  
3904 S E DIXIE ROSS  
STUART

FL 34997



JEB BUSH  
GOVERNOR

DIANE CARR  
SECRETARY

DISPLAY AS REQUIRED BY LAW

Prepared by and Return to:  
Bauer & Twohey, P.A.  
319 SE Osceola Street  
Stuart, Florida 34994

Parcel ID Number: 13-38-41-005-000-0003.0-60000

Grantor #1 TIN:

Grantor #2 TIN:

# Warranty Deed

This Indenture, Made this 4th day of December, 2003 A.D., Between Joseph V. Schoppe, a married man joined by his wife Alison B. Schoppe

of the County of Martin, State of Florida, grantors, and Jeffrey D. Haynes and Sandra L. Haynes, husband and wife

whose address is: 6 Palm Road, Stuart, FL 34996

of the County of Martin, State of Florida, grantees.

Witnesseth that the GRANTORS, for and in consideration of the sum of

TEN DOLLARS (\$10) DOLLARS, and other good and valuable consideration to GRANTORS in hand paid by GRANTEEES, the receipt whereof is hereby acknowledged, have granted, bargained and sold to the said GRANTEEES and GRANTEEES heirs, successors and assigns forever, the following described land, situate, lying and being in the County of Martin, State of Florida, to wit: Lot 3, REVISED & AMENDED PLAT OF PALM ROW, according to the map or plat thereof as recorded in Plat Book 4, Page(s) 68, Public Records of Martin County, Florida.

### SUBJECT TO:

1. Taxes for the year 2004 and all subsequent years;
2. Zoning restrictions, prohibitions and other requirements imposed by governmental authority;
3. Restrictions, and matters appearing on the plat or otherwise common to the subdivision; and
4. Public utility easements of record, if any.

and the grantees do hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantors have hereunto set his hands and seals the day and year first above written.

Signed, sealed and delivered in our presence:

*[Signature]*  
Printed Name: CHRISTOPHER J. TWOHEY  
Witness

*[Signature]* (Seal)  
Joseph V. Schoppe  
P.O. Address: 82 SE Harbor Point Drive, Stuart, FL 34996

*[Signature]*  
Printed Name: TRACIA T. ROGERS  
Witness

*[Signature]*  
Alison B. Schoppe  
P.O. Address: 82 SE Harbor Point Drive  
Stuart, FL 34996

STATE OF Florida  
COUNTY OF Martin

The foregoing instrument was acknowledged before me this 4th day of December, 2003 by Joseph V. Schoppe, a married man joined by his wife Alison B. Schoppe

he is personally known to me or he has produced his Florida driver's license as identification.



Christopher J. Twohey  
MY COMMISSION # C075017 EXPIRES  
July 28, 2004  
BOND&O OMBU TRUST FARM INSURANCE, INC.

*[Signature]*  
Christopher J. Twohey  
Notary Public  
My Commission Expires: 07/28/04



MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

**J.M. Metals**  
1505 Cox Road  
Cocoa, FL 32926

CONTRACTOR LICENSING SECTION  
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT DIVISION  
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION  
(305) 375-2902 FAX (305) 372-6339

Your application for Notice of Acceptance (NOA) of:  
**JM "SV" Crimp Architectural Metal Roof System**  
under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 01-0622-02  
EXPIRES: 08/16/2006

Raul Rodriguez  
Chief Product Control Division

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS**  
**BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.

**WARNING**

THIS DOCUMENT CONTAINS PROPRIETARY INFORMATION OWNED BY J.M. METALS. IT IS INTENDED FOR SPECIFIC USE BY J.M. METALS AND ITS AUTHORIZED DEALERS ONLY WHEN PROVIDED IN CONJUNCTION WITH CERTIFIED J.M. METALS MATERIAL. OTHER PRODUCTS MAY NOT PERFORM THE SAME, AND ARE SPECIFICALLY OMITTED FROM COVERAGE FROM THIS DOCUMENT AND WARRANTIES AVAILABLE THRU J.M. METALS.

APPROVED: 08/16/2001

ONLY TRUE CERTIFIED COPIES OF THIS DOCUMENT BEAR THE RAISED SEAL OF J. MILA ENTERPRISES, INC. (THE PARENT COMPANY OF J.M. METALS)

MIAMI-DADE COUNTY  
BUILDING CODE COMPLIANCE OFFICE  
FILE COPY

**TOWN OF SEWALL'S POINT**  
THESE PLANS HAVE BEEN  
REVIEWED FOR CODE COMPLIANCE

DATE: 12/5/03

**BUILDING OFFICIAL**  
Gene Simmons

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 12/10, 2003 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
TREE	GAIL	TREE	Pass	
(11)	135 S. RIVER			INSPECTOR: [Signature]
6476	CINIELLO	WINDOW BUGS		
(2)	31 FIELDWAY	E/Plumbing Rough	Pass	
	O/B	Rough		INSPECTOR: [Signature]
6525	HAYNES	SHEDDING	Pass	
(6)	6 PALM ROAD	FEN TAG		
	DAN BUTCHER POOL INC			INSPECTOR: [Signature]
6327	PFEIFFER	POOL DECK	Pass	
(9)	104 HENRY SEWALL			
	ADVANTAGE POOL			INSPECTOR: [Signature]
6429	ROBERTS	DRY IN	Pass	
(12)	42 N. RIDGEVIEW			
	PACIFIC			INSPECTOR: [Signature]
6406	PELICAN GROUP	POWER RELEASE	Pass	
(8)	142 S. SEWALL'S PT			
	OLIVER ELECTEK			INSPECTOR: [Signature]
TREE	UTRATA	TREES	Pass	
(10)	117 N. SEWALL'S PT RD			INSPECTOR: [Signature]
OTHER:				

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 12/12, 20013 Page 1 of     




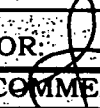
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6185	MEEKIN	FINAL GAS	Passed	→ close
(4)	95 N. Sewall's Pt			2 dead gas pipes
	FERRER GAS			INSPECTOR: <i>[Signature]</i>
<del>6525</del>	<del>HAYNES</del>	<del>TIN ROOFING</del>	<del>Passed</del>	
(2)	6 PALM ROAD			
	BUTCHER ROOFING			INSPECTOR: <i>[Signature]</i>
6533	KLOSE	REP. COND UNIT	Passed	Side window!
(2)	2 BALU STREET	FINAL	Close	replacement
	TREASURE COAST AIR	(also structural)		INSPECTOR: <i>[Signature]</i>
5636	FRANCIS	FINAL C/O	Failed	900
(1)	55. RIVER ROAD			
	WILBERDING			INSPECTOR: <i>[Signature]</i>
6402	KING	FINAL DOCK	Passed	
(5)	30 RIO VISTA		Close	
	DREDGE + MARINE			INSPECTOR: <i>[Signature]</i>
6478	KING	FINAL DOCK ELEC	Passed	
(6)	30 RIO VISTA		Close	
	FIRST QUALITY ELEC			INSPECTOR: <i>[Signature]</i>
6755	Paradise	Door Buds	Passed	
(7)	11 Ridgeland			
	TOdd Homes			INSPECTOR: <i>[Signature]</i>
<b>OTHER:</b> _____				



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 12/15, 2008 3 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
TREE	KIPLINGER	TREE	Passed	
	143 S. RIVER RD			
				INSPECTOR: 
6391	WHITWELL	TIE BEAM	Passed	(aka collector!)
	1 MARGUERITA			
	HEMMINGWAY HOMES			INSPECTOR: 
<del>1525</del>	<del>HOMES</del>	<del>IN PROGRESS</del>	<del>Passed</del>	
	6 PALM ROAD	ROOF		
	BUTCHER ROOFING			INSPECTOR: 
		Tree	Passed	
	5 Oakhill Way			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:
OTHER:	Baby: siding + window @			

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 12/1, 2003 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
4975	STENHOJ	POOL FINAL	Passed	→ close
(11)	106 HILLCREST			OF 15!
		→ meas dist to pool equip		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
Tree	ELDER	TREE		
(6)	4 MARGUERITA?			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
5875	MAX M.	BLDG FINALS	Failed	
(3)	9 S. RUEL RD. KNEPPER	ELEC PLUMB, HVAC		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
<del>6525</del>	<del>HAYNES</del>	<del>ROOF FINAL</del>	<del>Failed</del>	<del>→ close</del>
(5)	6 PALM ROAD BUTCHER ROOFING			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6350	Paradise	Tap pole	Passed	
(12)	11 Ridgeland Todd Homes			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR: <i>[Signature]</i>

OTHER: 5 Oakhill way Tap Pole



**6567**

**REPLACE SIDING**

**WITH**

**HARDIPLANK**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 1/14/04

BUILDING PERMIT NO. 6567

Building to be erected for HAYNES

Type of Permit REPLACE SIDING W/ HARDI PLANK

Applied for by O/B (Contractor)

Building Fee 35.00

Subdivision Palm Row Lot 3 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 6 PALM ROAD

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Parcel Control Number:  
1338410050000003060000

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Amount Paid 35.00 Check # \_\_\_\_\_ Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ )

Total Construction Cost \$ 2500.00 TOTAL Fees 35.00

Signed Andra Haynes  
Applicant

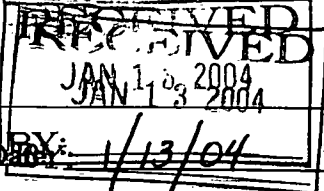
Signed Gene Summers  
Town Building Official

## PERMIT

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL                |
| <input type="checkbox"/> PLUMBING         | <input type="checkbox"/> ROOFING             | <input type="checkbox"/> POOL/SPA/DECK             |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE                     |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS                       |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION                |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL            | <input checked="" type="checkbox"/> ADDITION       |
|   |  | <input checked="" type="checkbox"/> REPLACE SIDING |

## INSPECTIONS

- |                                   |                              |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____        | UNDERGROUND GAS _____        |
| UNDERGROUND MECHANICAL _____      | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____            | FOOTING _____                |
| SLAB _____                        | TIE BEAM/COLUMNS _____       |
| ROOF SHEATHING _____              | WALL SHEATHING _____         |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____                   |
| ROOF TIN TAG/METAL _____          | ROOF-IN-PROGRESS _____       |
| PLUMBING ROUGH-IN _____           | ELECTRICAL ROUGH-IN _____    |
| MECHANICAL ROUGH-IN _____         | GAS ROUGH-IN _____           |
| FRAMING _____                     | EARLY POWER RELEASE _____    |
| FINAL PLUMBING _____              | FINAL ELECTRICAL _____       |
| FINAL MECHANICAL _____            | FINAL GAS _____              |
| FINAL ROOF _____                  | BUILDING FINAL _____         |



Sandy Haynes 341-1213\*

DATE: 1/13/04

Permit Number: \_\_\_\_\_

Town of Sewall's Point BUILDING PERMIT APPLICATION

cell: 341-4061

OWNER/TITLEHOLDER NAME: Jeff Haynes Phone (Day) 220-0388 (Fax) 220-0388

Job Site Address: Co Palm Rd City: Stuart State: FL Zip: 34994

Legal Desc. Property (Subd/Lot/Block) Lot 3, Palm Row Parcel Number: 1338410050000003060000

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: Replace wood Siding with Hardiplank (7-1/2") Replace some studs

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: \_\_\_\_\_

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 2500 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_
Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_
Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_
Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001 National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) Jeff Haynes Sandra Haynes

State of Florida, County of: Martin

This the 13th day of JANUARY, 2004

by SANDRA LYNNE HAYNES who is personally

known to me or produced by FLOR #520-792-68-663-0

as identification by Sandra J. O'Brien \*5/3/9

My Commission Expires \_\_\_\_\_

CONTRACTOR SIGNATURE (required) \_\_\_\_\_

On State of Florida, County of: \_\_\_\_\_

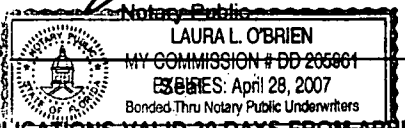
This the \_\_\_\_\_ day of \_\_\_\_\_ 2004

by \_\_\_\_\_ who is personally

known to me or produced \_\_\_\_\_

As identification. \_\_\_\_\_

My Commission Expires: \_\_\_\_\_



Notary Public

Seal

**TOWN OF SEWALL'S POINT**  
**ONE SOUTH SEWALL'S POINT ROAD**  
**SEWALL'S POINT, FLORIDA 34996**

**TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT**  
**(To be submitted if permit is to be pulled by Owner/Builder)**

**DISCLOSURE STATEMENT**

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

**I have read the above and agree to comply with the provisions as stated.**

**Name:** Andrea Haynes **Date:** 1/13/04

**Signature:** Andrea Haynes

**Address:** 6 Palm Rd

**City & State:** Stuart, FL

**Permit No.** \_\_\_\_\_

**This form is for all permits except electrical.**



BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

**NOTICE OF ACCEPTANCE (NOA)**

James Hardie Building Product, Inc.  
10901 Elm Avenue  
Fontana, CA 92337

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION: Hardiplank, Hardipanel and Hardisoffit**

**APPROVAL DOCUMENT:** Drawing No. HPNL-8X, HPLK-4X8 & HSOFFIT-8X, titled "Hardipanel, Hardiplank, & Hardisoffit Installation Details", sheets 1 through 3, prepared, signed and sealed by Ronald Ogawa, P.E., dated 4/13/99, bearing the Miami-Dade County Product Control Renewal stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING: Large and Small Missile Impact**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

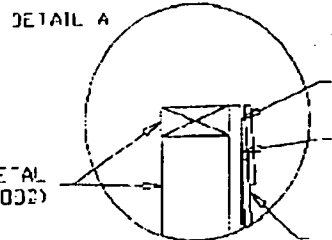
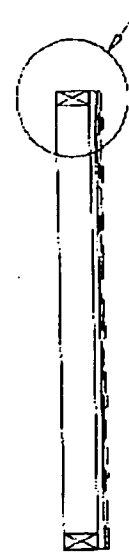
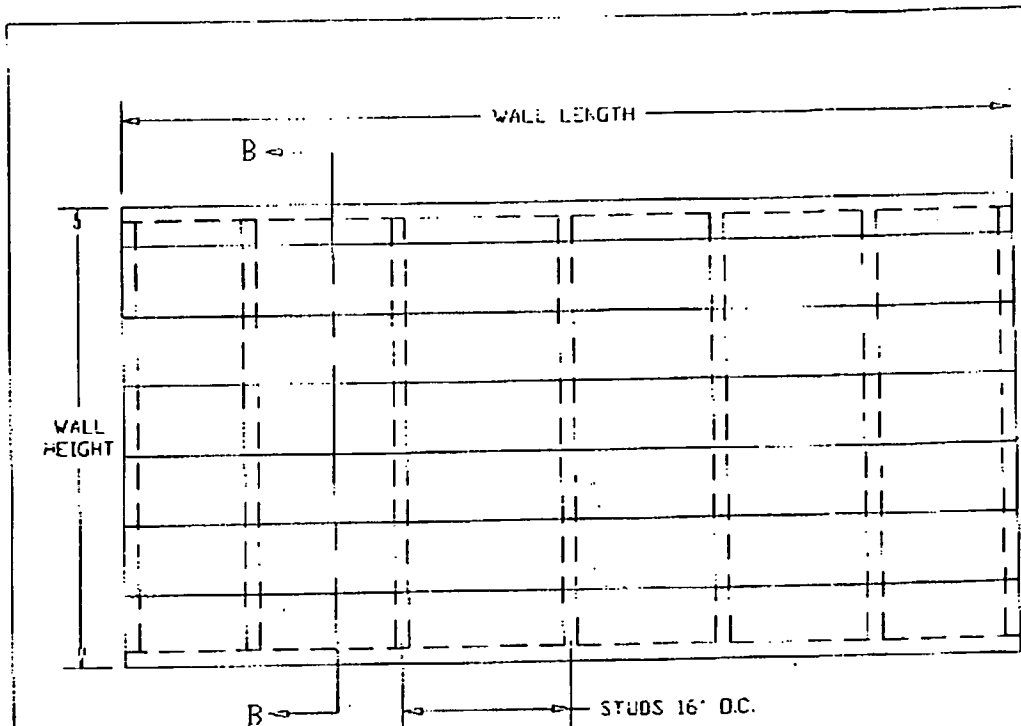
**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 99-0223.07 and, consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Raul Rodriguez.



FILE COPY  
 TOWN OF SEWALL'S POINT  
 THESE PLANS HAVE BEEN  
 REVIEWED FOR CODE COMPLIANCE  
 REVIEWED FOR CODE COMPLIANCE  
 DATE: 11/14/02  
 DATE: \_\_\_\_\_  
 BUILDING OFFICIAL  
 Gene Simmons  
 Gene Simmons

NOA No 02-0318.08  
Expiration Date: May 1, 2007  
Approval Date: May 23, 2002  
Page 1



**HARDPLANK SIDING INSTALLATION DETAILS**  
 The planks are applied horizontally commencing from the bottom course of a wall with 1/4" wide lapp at top of the plank. The optional PVC cover molding 1/2" wide is applied to the bottom plate under the bottom plank course. The vertical joints must be over framing members. Optional PVC butt joints inserts are used for on-stud jointing. The planks are to be installed over 5/8" (3 ply) APA rated plywood supported by a maximum of 24" wood studs or 20 ga. x 3 5/8" x 1 3/8" steel studs spaced a maximum of 16" o.c. The siding shall be fastened through overlapping planks with 8d x 2 1/2" long galvanized box nails over wood studs or with #8 x 2 1/4" long x 6315' corrosion resistance H.B. ribbed toggle screws over steel studs. The fasteners shall be placed in the over-lapping area 16" o.c. vertically and 16" o.c. horizontally into the studs through the 5/8" plywood sheathing. A distance of 3/4" from the edges shall always be observed.

STUDS (METAL OR WOOD)

SECTION 3-B

5/8" PLYWOOD SHEATHING WATERPROOFING PER 2704.6b OF S.F.B.C.

HARDPLANK SIDING

PERSON AND  
 REV. 17/02

DETAIL A

**DESCRIPTION:**  
 Hardplank siding material is a non asbestos fiber cement product tested in accordance with ASTM C-1185 and meeting the requirements of the South Florida Building Code.

**PLANK DIMENSIONS**  
 Width 12 & 14" Thickness 5/16"

**DESIGN PRESSURE RATING**  
 Installation Design Pressure  
 Wood frame -92 PSF  
 Metal frame -92 PSF

**PRODUCT REVIEWED**  
 as complying with the Florida Building Code  
 Acceptance No. E. - 0 111.00  
 Expiration Date 03/31/07  
 By: *[Signature]*  
 Alfred Under Product Control

**NOTES**  
 1) ALL INSTALLATION SHALL BE DONE IN CONFORMANCE WITH THIS NOTICE OF ACCEPTIONS, THE MANUFACTURERS INSTALLATION RECOMMENDATIONS, AND THE APPLICABLE SECTIONS OF THE SOUTH FLORIDA BUILDING CODE.  
 2) STUDS OF METAL OR WOOD WHERE HARDPLANK WILL BE INSTALLED SHALL BE DESIGNED BY AN ENGINEER OR ARCHITECT PER THE S.F.B.C. AND THE REQUIREMENTS OF THIS M.O.A.

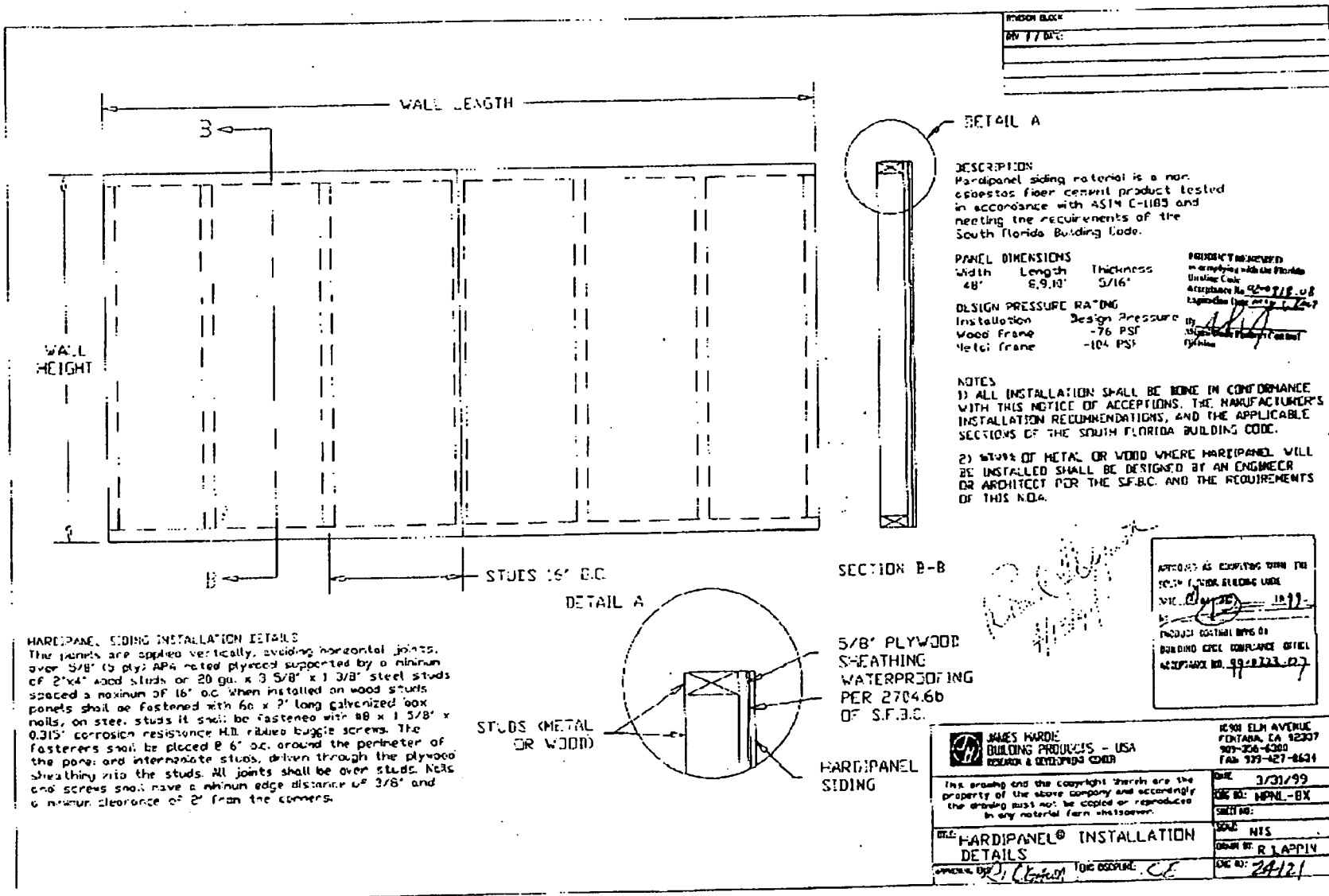


APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE  
 DATE: *[Signature]* 3.0.1999  
 PROJECT: SCHOOL OFFSHORE  
 BUILDING CODE COMPLIANCE REVIEW  
 ACCEPTANCE NO. 99-0111-07

**JAMES HARVEY BUILDING PRODUCTS - USA**  
 RESEARCH & DEVELOPMENT CENTER  
 1001 ELA AVENUE  
 FONTANA, CA 92337  
 909-350-6388  
 FAX 909-427-8534

DATE: 3/31/99  
 DRAWING: HAPLK-4XB  
 SHEET NO.:  
 SCALE: HFS  
 DRAWN BY: R. LAPPIN  
 CHECKED BY: *[Signature]* (S) DATE: 04/11

THE HARDPLANK® INSTALLATION DETAILS  
 APPROVED BY: *[Signature]* (S) DATE: 04/11



PROJECT BLOCK
REV 17 DATE

**DESCRIPTION**  
 Hardipanel siding material is a non-  
 asbestos fiber cement product tested  
 in accordance with ASTM C-1183 and  
 meeting the requirements of the  
 South Florida Building Code.

**PANEL DIMENSIONS**  
 Width 48"  
 Length 8.9.10'  
 Thickness 5/16"

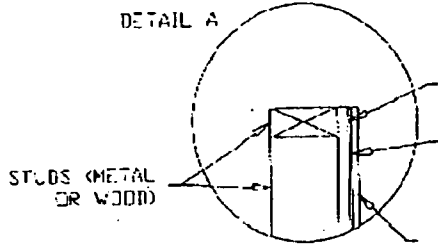
**PRUDENT REQUIRED**  
 in compliance with the Florida  
 Building Code  
 Acceptance No. 99-0118-08  
 Inspection Date 04/11/82

**DESIGN PRESSURE RATING**  
 Installation Design Pressure  
 Wood Frame -76 PSF  
 Metal Frame -104 PSF

- NOTES**
- 1) ALL INSTALLATION SHALL BE DONE IN CONFORMANCE WITH THIS NOTICE OF ACCEPTIONS, THE MANUFACTURER'S INSTALLATION RECOMMENDATIONS, AND THE APPLICABLE SECTIONS OF THE SOUTH FLORIDA BUILDING CODE.
  - 2) STUDS OF METAL OR WOOD WHERE HARDIPANEL WILL BE INSTALLED SHALL BE DESIGNED BY AN ENGINEER OR ARCHITECT FOR THE S.F.B.C. AND THE REQUIREMENTS OF THIS N.O.A.

APPROVED AS EXEMPT FROM THE  
 SOUTH FLORIDA BUILDING CODE  
 DATE 12/1/82  
 BY [Signature]  
 PRODUCT COMPLIANCE DIVISION  
 BUILDING CODE COMPLIANCE OFFICE  
 ACCEPTANCE NO. 99-2223-07

**HARDIPANEL SIDING INSTALLATION DETAILS**  
 The panels are applied vertically, avoiding horizontal joints, over 5/8" (5 ply) APA rated plywood supported by a minimum of 2"x4" wood studs or 20 ga. x 3 5/8" x 1 3/8" steel studs spaced a maximum of 16" o.c. When installed on wood studs panels shall be fastened with 60 x 2" long galvanized box nails, on steel studs it shall be fastened with 48 x 1 5/8" x 0.315" corrosion resistance H.B. raised buggie screws. The fasteners shall be placed @ 6" o.c. around the perimeter of the panel and intermediate studs, driven through the plywood sheathing into the studs. All joints shall be over studs. Nails and screws shall have a minimum edge distance of 3/8" and a minimum clearance of 2" from the corners.



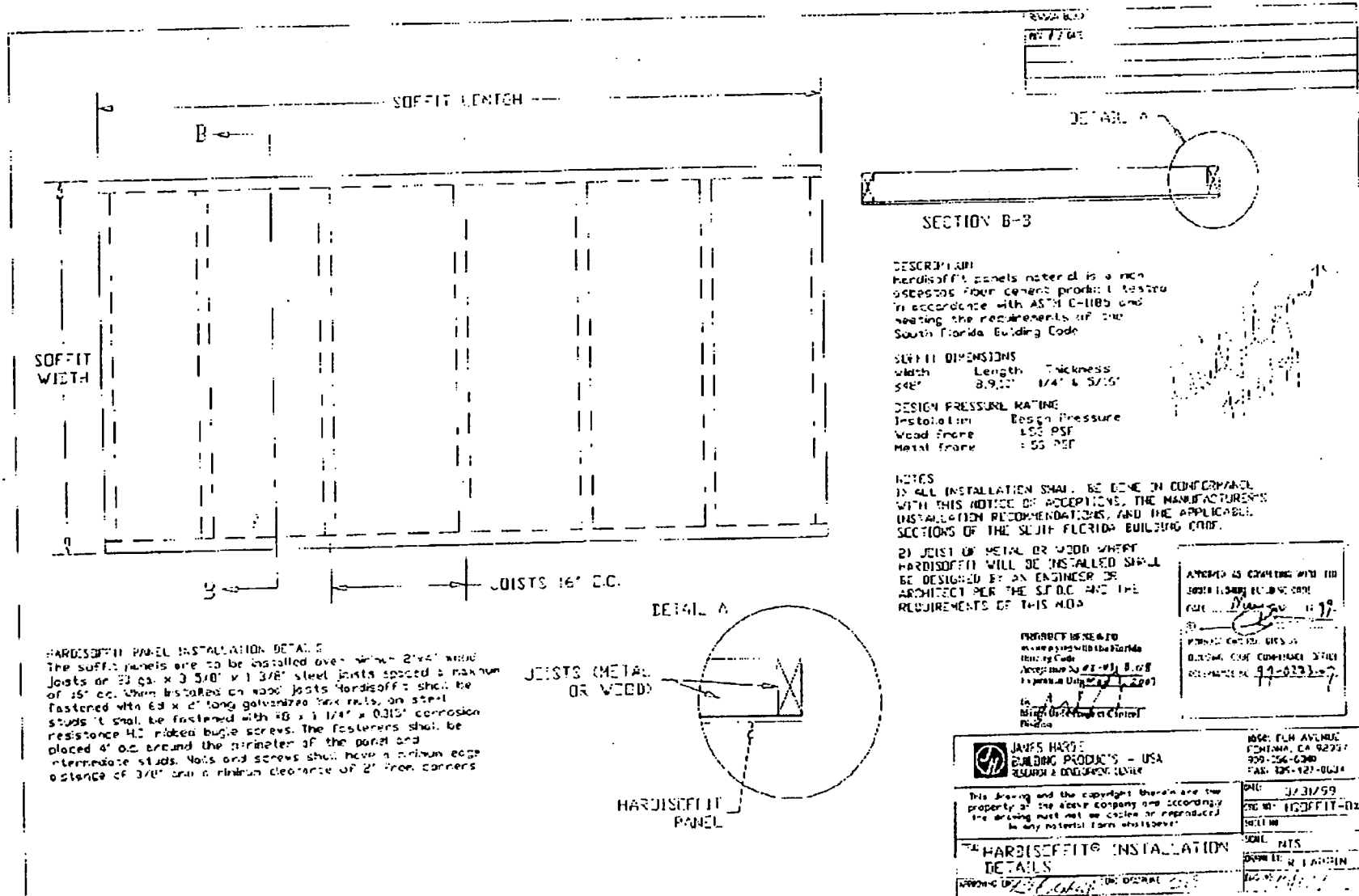
SECTION B-B

5/8" PLYWOOD  
 SHEATHING  
 WATERPROOFING  
 PER 2704.6b  
 OF S.F.B.C.

JAMES HARDIE BUILDING PRODUCTS - USA RESEARCH & DEVELOPMENT CENTER	15301 ELN AVENUE FORTNA, CA 92307 909-256-6300 FAX 909-427-8634
	DATE 3/31/99 JOB NO: MPNL-BX SHEET NO:
TITLE: HARDIPANEL® INSTALLATION DETAILS	SCALE: NTS DRAWN BY: R. J. APPLIN ENG. NO: 24121

This drawing and the copyright therein are the property of the above company and accordingly the drawing must not be copied or reproduced in any material form whatsoever.

APPROVED BY: [Signature] TITLE: [Signature]



**HARDSOFFIT PANEL INSTALLATION DETAIL B**  
The soffit panels are to be installed over either 2"x4" wood joists or 2" sq. x 3 5/8" x 1 3/8" steel joists spaced a maximum of 16' o.c. When installed on wood joists Hardsoffit shall be fastened with 6d x 2" long galvanized hex nuts, on steel studs it shall be fastened with #6 x 1 1/4" x 0.010" corrosion resistance HD ribbed bugle screws. The fasteners shall be placed 4" o.c. around the perimeter of the panel and intermediate studs. Nails and screws shall have a minimum edge distance of 3/8" and a minimum clearance of 2" from corners.



# HARDIPLANK® LAP SIDING INSTALLATION INSTRUCTIONS



**James Hardie®**

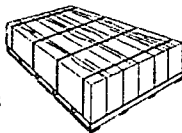
JANUARY 2003

**RUSTIC • SELECT CEDARMILL® • SMOOTH • COLONIAL SMOOTH™ • COLONIAL ROUGHSAWN™ • BEADED CEDARMILL • BEADED SMOOTH**

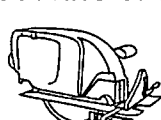
IMPORTANT: FAILURE TO INSTALL AND FINISH HARDIPLANK® IN ACCORDANCE WITH APPLICABLE BUILDING CODE COMPLIANCE REPORTS AND JAMES HARDIE'S WRITTEN APPLICATION INSTRUCTIONS, MAY AFFECT SYSTEM PERFORMANCE, VIOLATE LOCAL BUILDING CODES REQUIREMENTS, AND VOID THE PRODUCT ONLY WARRANTY.

## HANDLING & STORAGE:

Store flat and keep dry prior to installation. Installing siding wet or saturated may result in shrinkage at butt joints. Carry planks on edge.



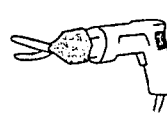
## CUTTING OPTIONS:



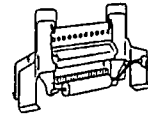
Circular saw with dust collector



Circular saw blade with carbide-tipped teeth



Electric or pneumatic hand shear



Pneumatic shear



Carbide score and snap knife



- ▲ JH recommends Makita® #5044KB 4" or #5057KB 7-1/4" saw with dust collection. Call 800-4MAKITA.
- ▲ Hitachi® HARDIBLADE™ w/4 PCD Diamond Teeth. Call Hitachi® at 800-546-1666 for nearest dealer.
- ▲ SNAPPER SHEAR™ electric, pneumatic, or hand shear. Call 800-297-7487 for tool information.

Always wear safety glasses and dust protection when operating power tools. For more information on avoiding inhalation refer to the MATERIAL SAFETY DATA SHEET available wherever James Hardie fiber-cement products are sold.

## FRAMING REQUIREMENTS:

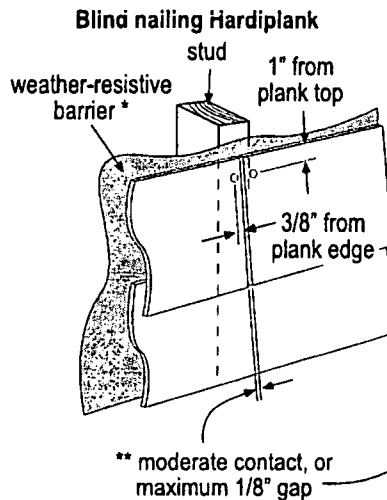
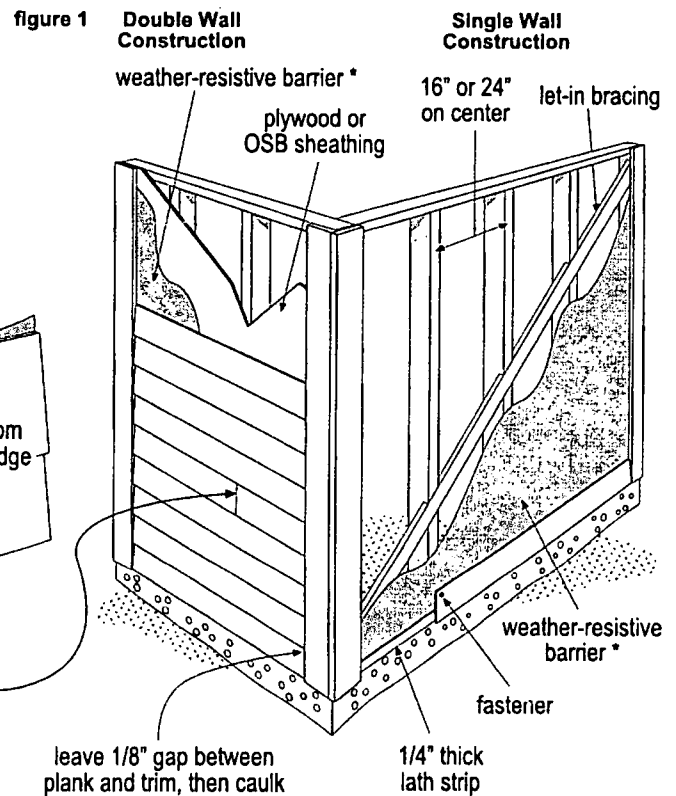
Hardiplank lap siding can be installed over braced wood or steel studs spaced a maximum of 24" o.c. or directly to minimum 7/16" thick OSB sheathing. Hardiplank lap siding can also be installed over foam insulation up to 1" thick.† Irregularities in framing, sheathing, and/or foam insulation can mirror through the finished application. A weather-resistant barrier is required\*. Install Hardiplank siding with joints butted in moderate contact. Optionally, install the lap siding with a maximum 1/8" gap and caulk the joint\*\* (see detail at right).

The first course of any wall should be installed over a 1/4" lath strip to ensure a consistent plank angle (see figure 1).

†For application over foam insulation, the length of the specified fastener shall be increased by the thickness of the foam insulation.

\* Use a weather-resistant barrier in accordance with: BOCA National Building Code Section 1403.3; SBCCI Standard Building Code Section 2303.3; ICBO Uniform Building Code Section 1402.1; or CABO One-and-Two Family Dwelling Code Section 703.2.1.

NOTE: Some Building Codes exempt the use of weather-resistant barriers over "water-repellent panel sheathing" or exterior panels classified as "weather-resistant barriers". James Hardie recommends the use of "building paper type" weather-resistant barriers with all siding products. James Hardie will assume no responsibility for water infiltration within the wall.



leave 1/8" gap between plank and trim, then caulk

1/4" thick lath strip



James Hardie's seal of approval indicates products recommended for use by James Hardie Building Products

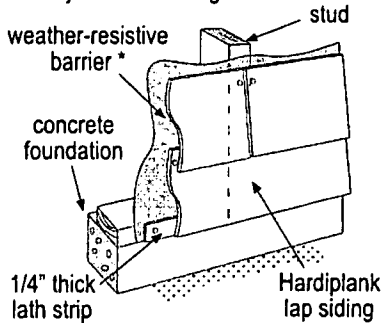
## WARNING: AVOID BREATHING SILICA DUST

Product contains Silica. Inhalation of respirable silica dust can cause silicosis a potentially disabling lung disease, and is known to the State of California to cause lung cancer. When drilling, cutting, or abrading product during installation or handling. (1) Work outdoors where feasible, otherwise use mechanical ventilation, (2) Wear a dust mask or, if dust may exceed PEL, use NIOSH approved respirator, (3) Warn others in area. For further information, refer to material safety data sheet or consult employer.

FAILURE TO ADHERE TO WARNINGS, MSDS, AND INSTALLATION INSTRUCTIONS MAY LEAD TO SERIOUS PERSONAL INJURY.

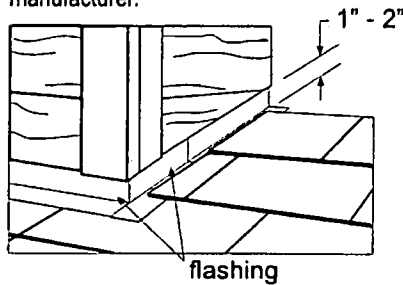
**GRADE CLEARANCE** figure 2

Install Hardiplank/Hardi plank in compliance with local Building Code requirements for clearance between the bottom edge of panel/framing and the adjacent finished grade.



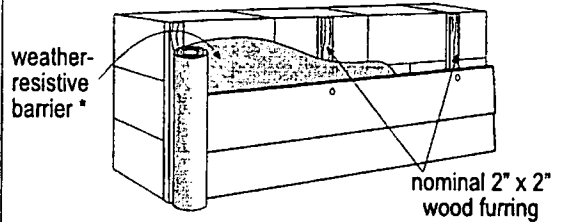
**ROOF CLEARANCE** figure 3

At the juncture of the roof and vertical surfaces, flashing and counterflashing shall be provided per the roofing manufacturer's instructions. Provide a 1" - 2" clearance between the roofing and bottom edge of siding or as recommended by the roofing manufacturer.



**CONCRETE CONSTRUCTION** figure 4

Hardiplank siding can be installed directly to masonry block. Hardiplank siding can also be installed to concrete construction, when the wall is furred out with wood framing or minimum No. 20 gauge steel framing anchored to the wall. Framing can be spaced up to 24" OC. Consult National Evaluation Service report NER-405 for recognized applications to masonry block and wood or metal framing. A weather-resistive barrier\* is recommended between the framing and the siding.



**FACE NAIL** figure 5

**Corrosion Resistant Nails (galvanized or stainless steel)**

- 6d (0.118" shank x 0.267" HD x 2" long)
- Siding nail (0.089" shank x 0.221" HD x 2" long) \*\*
- Siding nail (0.091" shank x 0.221" HD x 1 1/2" long) ‡
- ET & F pin (0.100" shank x 0.25" HD x 1 1/2" long)\*\*

**Corrosion Resistant Screws**

- Ribbed Bugle-head or equivalent (No. 8-18 x 0.323" HD x 1 5/8" long) Screws must penetrate 1/4" or 3 threads into metal framing.

**BLIND NAIL** figure 6

**Corrosion Resistant Nails (galvanized or stainless steel)**

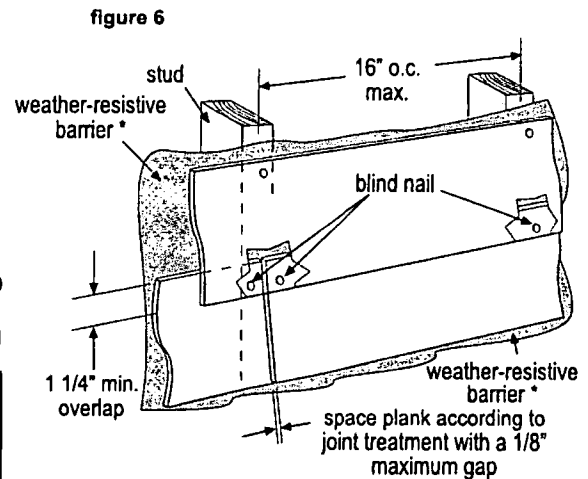
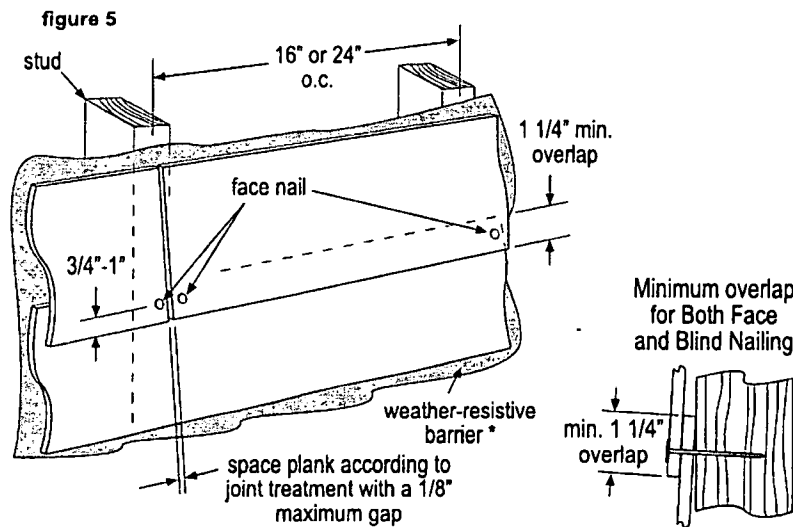
- Siding nail (0.089" shank x 0.221" HD x 2" long) \*\*
- 11ga. roofing nail (0.121" shank x 0.371" HD x 1 1/4" L)
- ET & F Panelfast™ (0.100" shank x 0.25" HD x 1 1/2" long)\*\*

**Corrosion Resistant Screws**

- Ribbed Bugle-head or equivalent (No. 8-18 x 0.323" HD x 1 5/8" long) Screws must penetrate 1/4" or 3 threads into metal framing.

‡ For face nail application of 9 1/2" wide or less siding to OSB, fasteners are spaced a maximum of 12" o.c.

\*\* The use of a siding nail or roofing nail may not be applicable to all installations where greater windloads or higher exposure categories of wind resistance is required by the Local Building Code. Consult the applicable Building Code Compliance Report.



**PNEUMATIC FASTENING:**

Hardiplank can be hand nailed or fastened with the use of a pneumatic tool. Set your air pressure so that the fastener is driven snug with the shingle surface.

**RECOMMENDED:**

Use a flush mount attachment on pneumatic tool. This will help control the depth that the nail is driven. This will be especially helpful when more than one pneumatic tool is driven off the same compressor.



**FASTENING REQUIREMENTS:**

- Drive fasteners perpendicular to siding and framing.
- Fastener heads should fit snug against siding (no air space). (Fig. A & B)
- Do not over-drive nail heads or drive nails at an angle.
- If nail is countersunk, caulk nail hole and add a nail. (Fig. C)



figure A



figure B



figure C



do not under drive nails

**NAIL TYPE:**

Fasteners must be corrosion resistant, galvanized or stainless steel. Electro-galvanized nails are acceptable for use with James Hardie Siding Products, but may exhibit premature corrosion. James Hardie recommends the use of quality, hot-dipped galvanized nails. (James Hardie is not responsible for the corrosion resistance of fasteners.)

**COVERAGE CHART/ESTIMATING GUIDE**

1. Figures shown are in pieces - all 12' long 2. 5% cutting and fitting waste factor included 3. Computations based on minimum overlap of 1-1/4" 4. Actual usage subject to variables such as building design and installers

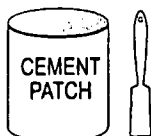
COVERAGE AREA LESS OPENINGS		HARDIPLANK® WIDTH									
		(exposure)	5-1/4" (4")	6-1/4" (5")	7-1/4" (6")	7-1/2" (6-1/4")	8" (6-3/4")	8-1/4" (7")	9-1/4" (8")	9-1/2" (8-1/4")	12" (10-3/4")
100 sf	1 SQ	26	21	18	17	16	15	13	13	10	
200 sf	2 SQ	53	42	35	34	31	30	26	25	20	
300 sf	3 SQ	79	63	53	50	47	45	39	38	29	
400 sf	4 SQ	105	84	70	67	62	60	53	51	39	
500 sf	5 SQ	131	105	88	84	78	75	66	64	49	
600 sf	6 SQ	158	126	105	101	93	90	79	76	59	
700 sf	7 SQ	184	147	123	118	109	108	92	89	68	
800 sf	8 SQ	210	168	140	134	124	120	105	102	78	
900 sf	9 SQ	236	189	158	151	140	135	118	115	88	
1000 sf	10 SQ	263	210	175	168	156	150	131	127	98	
1100 sf	11 SQ	289	231	193	185	171	165	144	140	107	
1200 sf	12 SQ	315	252	210	202	187	180	158	153	117	
1300 sf	13 SQ	341	273	228	218	202	195	171	165	127	
1400 sf	14 SQ	368	294	245	235	218	210	184	178	137	
1500 sf	15 SQ	394	315	263	252	233	225	197	191	147	
1600 sf	16 SQ	420	336	280	269	249	240	210	204	156	
1700 sf	17 SQ	446	357	298	286	264	255	223	216	166	
1800 sf	18 SQ	473	378	315	302	280	270	236	229	176	
1900 sf	19 SQ	499	399	333	319	296	285	249	242	186	
2000 sf	20 SQ	525	420	350	336	311	300	263	255	195	
2100 sf	21 SQ	551	441	368	353	327	315	276	267	205	
2200 sf	22 SQ	578	462	385	370	342	330	289	280	215	
2300 sf	23 SQ	604	483	403	386	358	345	302	293	225	
2400 sf	24 SQ	630	504	420	403	373	360	315	305	234	
2500 sf	25 SQ	656	525	438	420	389	375	328	318	244	
2600 sf	26 SQ	683	546	455	437	404	390	341	331	254	
2700 sf	27 SQ	709	567	473	454	420	405	354	344	264	
2800 sf	28 SQ	735	588	490	470	436	420	368	356	273	
2900 sf	29 SQ	761	609	508	487	451	435	381	369	283	
3000 sf	30 SQ	788	630	525	504	467	450	394	382	293	

NOTES AND CALCULATIONS: ((sq ft + exposure) x 1.05 = number of boards)

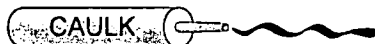
*Assume 1400 SF = 235 Boards*

**FINISHING HARDIPLANK:**

**Patching:**  
Dents, chips and cracks can be filled with a cementitious patching compound.



**Caulking:**  
A high quality, paintable caulk is recommended. For best results use caulks that comply with either ASTM C 834 or ASTM C 920. Caulking should be applied in accordance with caulking manufacturers written instructions. (Leave 1/8" gap at trim for caulk. Caulking at butt joints is optional.)



**Painting:**  
James Hardie products must be painted. For best results install Hardiplank siding with our exclusive Prime Plus™ factory priming system and a 100% acrylic topcoat (s). \* If our Prime Plus™ factory priming is not being used, Hardie recommends the application of an alkali-resistant primer along with 100% acrylic topcoat (s). (For paint manufacturer's paint specifications, refer to JH Technical Bulletin No. S-100.) \*Note: Please refer to paint manufacturers' specifications for application rates.



APPROVALS: HARDIPLANK lap siding is recognized as an exterior wall cladding in National Evaluation Report No. NER405: City of Los Angeles, Research Report No. 24862; Dade County, Florida, Acceptance No. 99-0223.07, US Dept. of HUD Materials Release 1263a, California DSA PS-019 and City of New York MEA 223-93-M. These documents should also be consulted for additional information concerning the suitability of this product for specific applications.

Corporate Headquarters  
26300 La Alameda, Suite 250  
Mission Viejo, CA 92691  
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Printed in USA

For Technical Assistance, MSDS,  
and Product Information  
Call 1-800-9HARDIE  
(1-800-942-7343)  
www.jameshardie.com



**James Hardie®**

JH91513SL 2/03

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 9/11, 2004 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6524	HAYNES	DemoprivacyWall	PASS	
4	6 PALM ROAD O/B			INSPECTOR:
6567	<del>HAYNES</del>	<del>HARDIPLANK</del>	<del>PASS</del>	
4	6 PALM ROAD O/B			INSPECTOR:
6858	POTSDAM	A/C CAGOUT	---	RESCHEDULE -
5	50 RIO VISTA FYNNS A/C			COULD NOT GET ACCESS TO HOUSE INTERIOR INSPECTOR:
6845	MCDUGALL	A/C CAGOUT	PASS	
7	23 N. RIVER RD FYNNS A/C			INSPECTOR:
6819	MANGAN	ROOSTEEL	PASS	
8	16 PEERWINKLE LA HARBOUR BAY POOLS			INSPECTOR:
TREE	JACOBI	TREE	PASS	
11	4 BANYAN			INSPECTOR:
6792	RAPPAPORT	STRAP (REINSF)	FAIL	
10	9 RIVER CREST GULLICK+MCLAUGHLIN			INSPECTOR:
OTHER: _____				

**7020**

**REPAIR FENCE**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 11/5/04

BUILDING PERMIT NO. 7020

Building to be erected for HAYNES

Type of Permit REPAIR FENCE

Applied for by O/B (Contractor)

Subdivision Palm Row Lot 3 Block \_\_\_\_\_

Address 6 Palm Road

Type of structure SFR

Building Fee \_\_\_\_\_

Radon Fee \_\_\_\_\_

Impact Fee \_\_\_\_\_

A/C Fee \_\_\_\_\_

Electrical Fee HURRICAN

Plumbing Fee DAMAGE

Roofing Fee \_\_\_\_\_

Parcel Control Number:

1338410050000003060000

Amount Paid - Check # - Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ )

Total Construction Cost \$ 400.00

TOTAL Fees \_\_\_\_\_

Signed Andie Haynes  
Applicant

Signed Gene Simmons  
Town Building Official

## PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

## INSPECTIONS

- UNDERGROUND PLUMBING \_\_\_\_\_
- UNDERGROUND MECHANICAL \_\_\_\_\_
- STEMWALL FOOTING \_\_\_\_\_
- SLAB \_\_\_\_\_
- ROOF SHEATHING \_\_\_\_\_
- TRUSS ENG/WINDOW/DOOR BUCKS \_\_\_\_\_
- ROOF TIN TAG/METAL \_\_\_\_\_
- PLUMBING ROUGH-IN \_\_\_\_\_
- MECHANICAL ROUGH-IN \_\_\_\_\_
- FRAMING \_\_\_\_\_
- FINAL PLUMBING \_\_\_\_\_
- FINAL MECHANICAL \_\_\_\_\_
- FINAL ROOF \_\_\_\_\_

- UNDERGROUND GAS \_\_\_\_\_
- UNDERGROUND ELECTRICAL \_\_\_\_\_
- FOOTING \_\_\_\_\_
- TIE BEAM/COLUMNS \_\_\_\_\_
- WALL SHEATHING \_\_\_\_\_
- LATH \_\_\_\_\_
- ROOF-IN-PROGRESS \_\_\_\_\_
- ELECTRICAL ROUGH-IN \_\_\_\_\_
- GAS ROUGH-IN \_\_\_\_\_
- EARLY POWER RELEASE \_\_\_\_\_
- FINAL ELECTRICAL \_\_\_\_\_
- FINAL GAS \_\_\_\_\_
- BUILDING FINAL \_\_\_\_\_

RECEIVED

NOV 04 2004

Date: 11/4/04

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: Jeff & Sandy Haynes Phone (Day) 220-0388 (Fax) 220-0388

Job Site Address: 6 Palm Road City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Lot 3 Palm Row Parcel Number: 133841005000003060000

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: repair/replace fence

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 400
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: \_\_\_\_\_

(If no, fill out the Contractor & Subcontractor sections below)
(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: \_\_\_\_\_

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_
Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_
Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_
Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic.# \_\_\_\_\_ Phone Number: \_\_\_\_\_
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_
Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

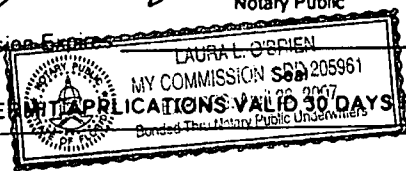
CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: National Electrical Code: 2002 Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
Sandra Haynes
State of Florida, County of: MARTIN
This the 4TH day of November, 2004
by SANDRA HAYNES who is personally known to me or produced as identification
Notary Public

CONTRACTOR SIGNATURE (required)
On State of Florida, County of: \_\_\_\_\_
This the \_\_\_\_\_ day of \_\_\_\_\_ 200\_\_\_\_
by \_\_\_\_\_ who is personally known to me or produced
As identification: \_\_\_\_\_
Notary Public

My Commission Expires: \_\_\_\_\_



Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**TOWN OF SEWALL'S POINT**  
ONE SOUTH SEWALL'S POINT ROAD  
SEWALL'S POINT, FLORIDA 34996

**TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT**  
(To be submitted if permit is to be pulled by Owner/Builder)

**DISCLOSURE STATEMENT**

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: Sandra Haynes Date: 11/4/04

Signature: Sandra Haynes

Address: 6 Palm Road

City & State: Stuart FL 34996

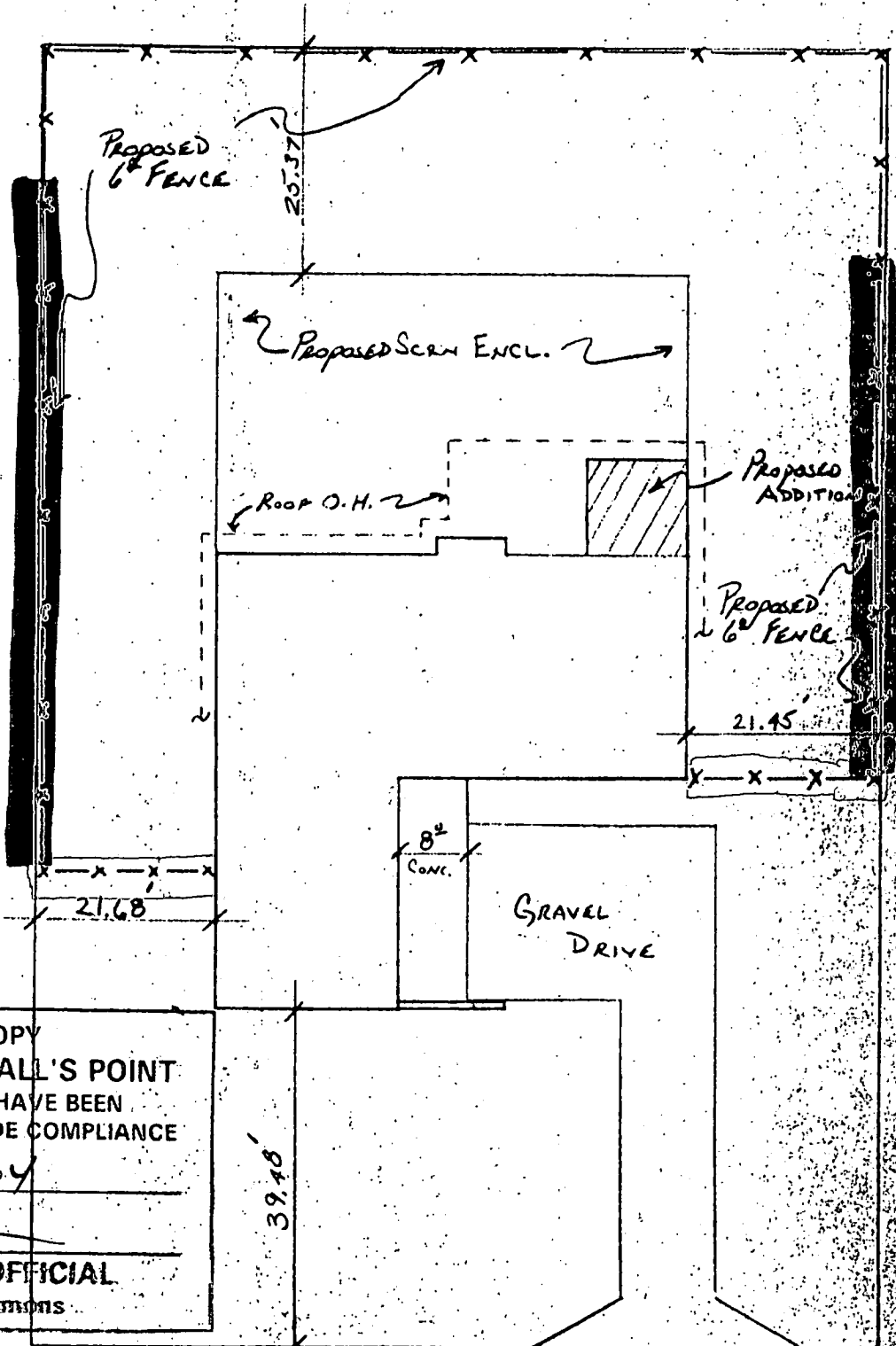
Permit No. \_\_\_\_\_



TYPICAL WALL SECTION  
3/4" = 1'-0"

repair 6' wood shadowbox fence

replace damaged 6' wood shadowbox fence/gates with 6' white U.S. fence (extruded PVC vinyl fence)



FILE COPY  
TOWN OF SEWALL'S POINT  
THESE PLANS HAVE BEEN  
REVIEWED FOR CODE COMPLIANCE  
DATE: 11/15/04  
[Signature]  
BUILDING OFFICIAL  
Gene Simmons

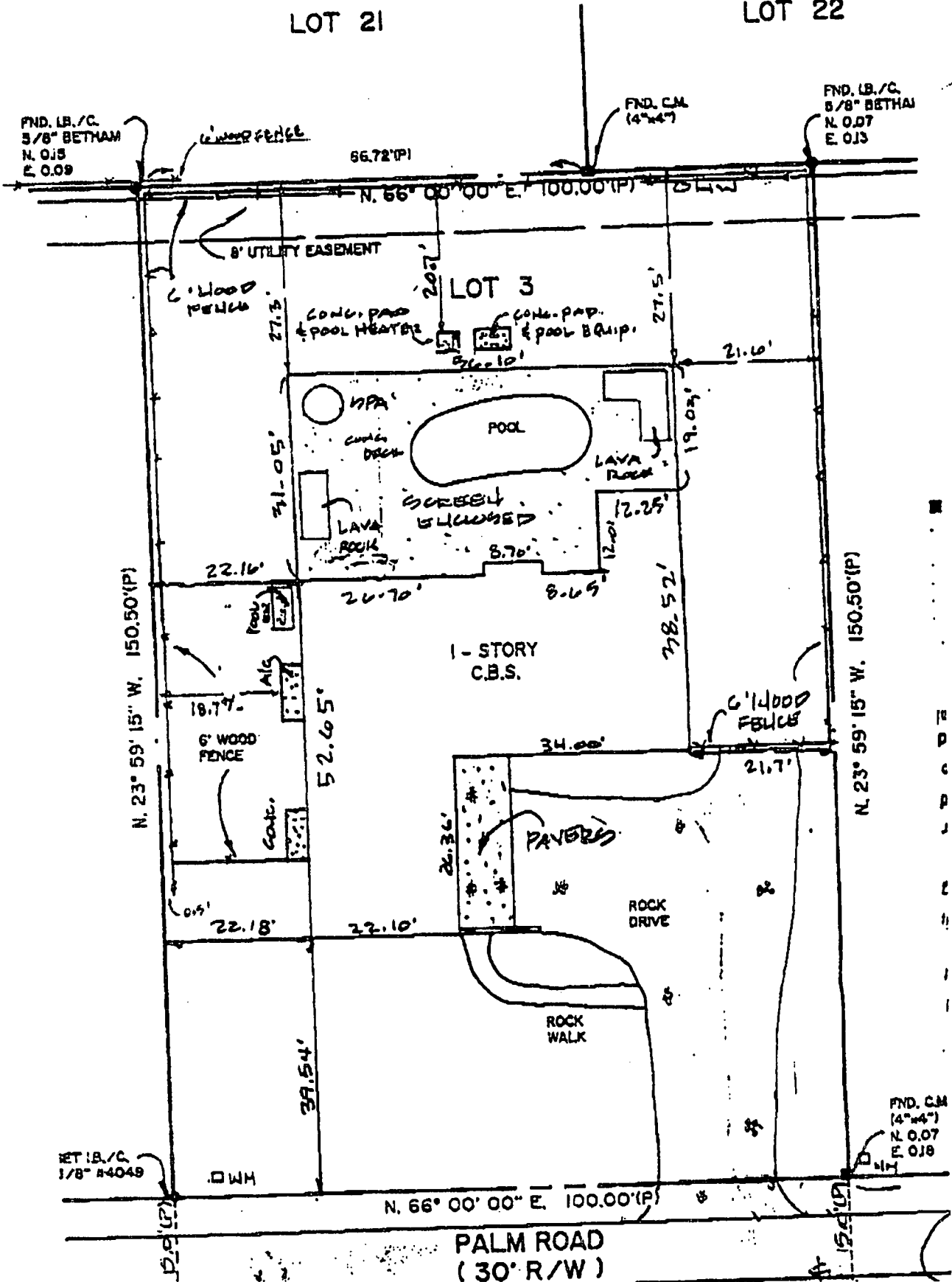
REPAIR WORK FOR  
HURRICANE DAMAGE

SITE PLAN  
1" = 20'

RIVERVIEW SUBDIVISION  
PLAT BOOK 6, PAGE 86,  
PUBLIC RECORDS OF  
MARTIN COUNTY, FLORIDA.

LOT 21

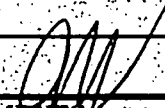
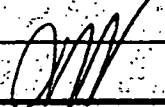
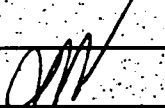
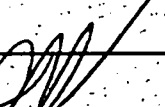
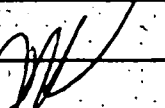
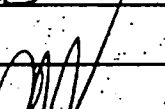
LOT 22



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri FEB 7, 2005 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>7020</del>	<del>HAYNES</del>	<del>FENCE</del>	<del>PASS</del>	<del>CLOSE</del>
7	6 Palm Road O/B		11:30 PLEASE	INSPECTOR: 
7160	HAYNES	Demolition Wall	PASS	CLOSE
7	6 Palm Road O/B			INSPECTOR: 
7108	WINSLOW	TIN TAG METAL	PASS	
6	10 S. Sewalls Pt PACIFIC ROOFING	ROOF SHEATH.	PASS	INSPECTOR: 
6705	ANDERSON	WINDOW &	PASS	
5	9 PALMETO PALM BEACH CREATIVE	DOOR INSTALLATION		INSPECTOR: 
6891	ZAMBO	Doors	PASS	
3	46 S. Sewall			INSPECTOR: 
7239	KENDALL	FENCE	PASS	CLOSE
4	8 KINGSTON CT O/B			INSPECTOR: 
<del>7177</del>	<del>BRAND</del>	<del>FINAL ROOF</del>		<del>Reschedule</del>
	4 E. High Point Rd LYNN TITUS			INSPECTOR:

OTHER: \_\_\_\_\_

**7160**

**DEMO INTERIOR**

**NON LOAD**

**BEARING WALL**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 12/21/04

BUILDING PERMIT NO. 7.160

Building to be erected for HAYNES

Type of Permit REMOVE NON-LOADBEARING WALLS

Applied for by O/B (Contractor)

Building Fee 35.00

Subdivision Palm Row Lot 3 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 6 Palm Road

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Parcel Control Number:

1338410050000003060000

Plumbing Fee \_\_\_\_\_

Amount Paid 35.00 Check # 2050 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Total Construction Cost \$ 50.00

TOTAL Fees 35.00

Signed Andria Haynes  
Applicant

Signed Gene Summers (S)  
Town Building Official

## PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

## INSPECTIONS

- UNDERGROUND PLUMBING \_\_\_\_\_
- UNDERGROUND MECHANICAL \_\_\_\_\_
- STEMWALL FOOTING \_\_\_\_\_
- SLAB \_\_\_\_\_
- ROOF SHEATHING \_\_\_\_\_
- TRUSS ENG/WINDOW/DOOR BUCKS \_\_\_\_\_
- ROOF TIN TAG/METAL \_\_\_\_\_
- PLUMBING ROUGH-IN \_\_\_\_\_
- MECHANICAL ROUGH-IN \_\_\_\_\_
- FRAMING \_\_\_\_\_
- FINAL PLUMBING \_\_\_\_\_
- FINAL MECHANICAL \_\_\_\_\_
- FINAL ROOF \_\_\_\_\_

- UNDERGROUND GAS \_\_\_\_\_
- UNDERGROUND ELECTRICAL \_\_\_\_\_
- FOOTING \_\_\_\_\_
- TIE BEAM/COLUMNS \_\_\_\_\_
- WALL SHEATHING \_\_\_\_\_
- LATH \_\_\_\_\_
- ROOF-IN-PROGRESS \_\_\_\_\_
- ELECTRICAL ROUGH-IN \_\_\_\_\_
- GAS ROUGH-IN \_\_\_\_\_
- EARLY POWER RELEASE \_\_\_\_\_
- FINAL ELECTRICAL \_\_\_\_\_
- FINAL GAS \_\_\_\_\_
- BUILDING FINAL \_\_\_\_\_

RECEIVED

Date: NOV 04 2004  
11/4/04  
BY:

Permit Number: \_\_\_\_\_

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME: Jeff & Sandy Haynes Phone (Day) 220-0388 (Fax) 220-0388

Job Site Address: Lo Palm Road City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Palm Row Lot 3 Parcel Number: 133841005000003060000

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: remove non-loadbearing walls ~~remodel~~ per plan

WILL OWNER BE THE CONTRACTOR?:  Yes  No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

Street: \_\_\_\_\_ City: N/A State: \_\_\_\_\_ Zip: \_\_\_\_\_

State Registration Number: \_\_\_\_\_ State Certification Number: 43,000 Martin County License Number: 50.00

COST AND VALUES: Estimated Cost of Construction or Improvements: \$15,000.00 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Phone Number: \_\_\_\_\_  
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Phone Number: \_\_\_\_\_  
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_  
Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)  
Sandra Haynes  
State of Florida, County of: MARTIN  
This the 4TH day of November, 2004  
by SANDRA HAYNES who is personally  
known to me or produced  
as identification. \_\_\_\_\_  
Notary Public

CONTRACTOR SIGNATURE (required)  
\_\_\_\_\_  
On State of Florida, County of: \_\_\_\_\_  
This the \_\_\_\_\_ day of \_\_\_\_\_, 200  
by \_\_\_\_\_ who is personally  
known to me or produced \_\_\_\_\_  
as identification. \_\_\_\_\_  
Notary Public

My Commission Expires: \_\_\_\_\_  
LAURA L. O'BRIEN  
MY COMMISSION # DD 205961  
EXPIRES: April 28, 2007

My Commission Expires: \_\_\_\_\_  
Seal

TED SCHOPPE, A.I.A.  
ARCHITECT – PLANNER  
717 EAST OSCEOLA STREET  
STUART, FLORIDA 34994  
PHONE 772 475 1776

October 21, 2004

Town of Sewall's Point  
One South Sewall's Point Road  
Sewall's Point, Florida 34996

Attn.: Gene Simmons, CBO  
Building Official

Dear Mr. Simmons,

I have examined the construction of the Haynes residence located at 6 Palm Road in Sewall's Point and determined that certain interior walls are non-load bearing. They may be removed without concern for the general structural integrity of the home. I have highlighted the walls intended for removal on the enclosed drawing (2 copies) for your records.

Please feel free to contact me if you have any questions.

A handwritten signature in black ink, appearing to read "Ted Schoppe", with a long horizontal flourish extending to the right.

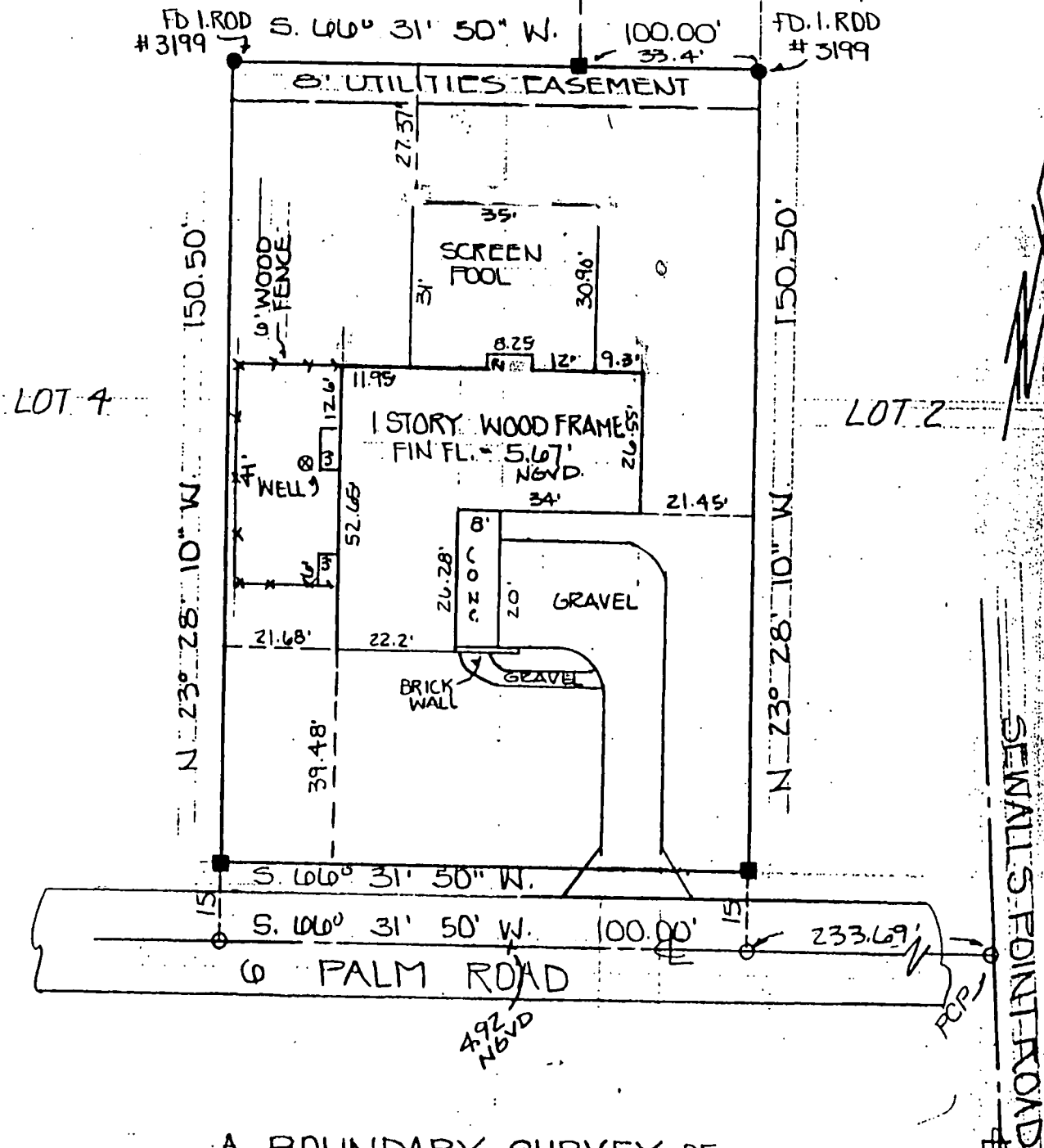
Ted Schoppe, A.I.A.

Encl. Marked-up plan  
Site Survey

Copy: Mr. & Mrs. Haynes

Florida Registration Number - 7130

ATED IN FLOOD ZONE "A-8" (elev 9)  
 DENOTES FOUND CONC. MON.  
 BEARING ARE ASSUMED.  
 O DENOTES SET NAIL + BRASS TAG



A BOUNDARY SURVEY OF  
LOT 3  
PALM ROW.

ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 115,  
 AND ACCORDING TO THE REVISED AND AMENDED PLAT OF PALM ROW, AS  
 RECORDED IN PLAT BOOK 4, PAGE 68, BOTH OF THE PUBLIC RECORDS OF  
 MARTIN COUNTY, FLORIDA.

FOR  
 MICHAEL J. CIRRITO & CAROLINE CIRRITO

REVISED: 3-4-89

This survey meets the minimum technical standards for Land Surveying in Florida, as prescribed in Chapter 21HH-6, F.A.C. I hereby certify to Tilton & Woods, P.A. and Michael J. Cirrito and Caroline Cirrito, and Attorneys' Title Insurance Fund, and McManus, Stewart, Ferraro & Schwarz, P.A. that the sketch shown hereon is a correct representation of a survey done under my direction and is true and correct to the best of my knowledge and belief. There are no encroachments unless otherwise shown. No search of the public records made for errors or omissions of said description. Easements of record not shown unless furnished.

**DON WILLIAMS & ASSOCIATES, INC.**  
 LAND SURVEYORS

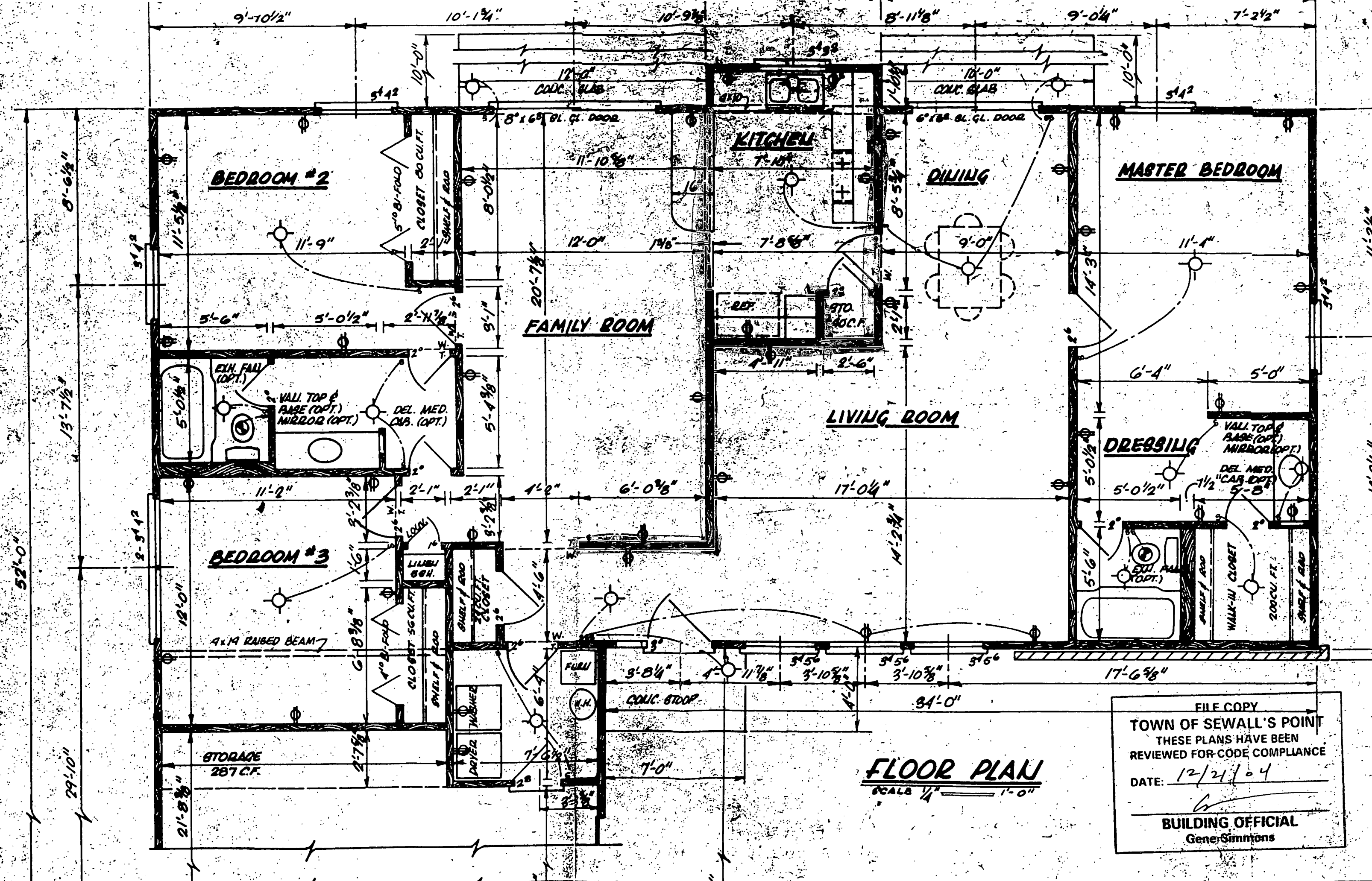
1115 E. OCEAN BLVD. STUART, FLA. 34996  
 (305) 283-2977

*W.L. Williams*  
 W.L. WILLIAMS

R.L.S. FLA. REG. No. 1272

SCALE: 1" = 30'	DATE 2-13-89 (Drawn) 2-13-89 (Field)	PLAT BOOK: 3	PAGE: 115
F.B. _____	Page _____	W.O. # 169	






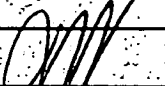
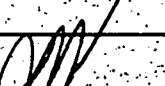
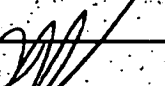
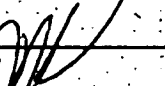
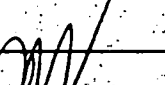

**FLOOR PLAN**  
SCALE 1/4" = 1'-0"

FILE COPY  
 TOWN OF SEWALL'S POINT  
 THESE PLANS HAVE BEEN  
 REVIEWED FOR CODE COMPLIANCE  
 DATE: 12/21/04  
 BUILDING OFFICIAL  
 Gene Simmons

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri FEB 7, 20015 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
7020	HAYNES	FENCE	PASS	CLOSE
7	6 PALM ROAD O/B		11:30 PLEASE	INSPECTOR: 
<del>7160</del>	<del>HAYNES</del>	<del>Demolish Wall</del>	<del>PASS</del>	<del>CLOSE</del>
7	6 Palm Road O/B			INSPECTOR: 
7108	WINSLOW	TIN TAG METAL	PASS	
6	10 S. Sewall's Pt PACIFIC ROOFING	ROOF SHEATH.	PASS	INSPECTOR: 
6705	ANDERSON	WINDOW &	PASS	
5	9 PALMETTO PALM BEACH CREATIVE	DOOR INSTALLATION		INSPECTOR: 
6891	ZAMBO	Doors	PASS	
3	46 S. Sewall			INSPECTOR: 
7239	KENDALL	FENCE	PASS	CLOSE
4	8 KINGSTON CT O/B			INSPECTOR: 
<del>7177</del>	<del>BRAND</del>	<del>FINAL ROOF</del>		<del>Reschedule</del>
	4 E. High Point Rd LYNN TITUS			INSPECTOR: 

OTHER: \_\_\_\_\_

**7163**

**INTERIOR**

**REMODEL**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 12/29/04

BUILDING PERMIT NO. 7.163

Building to be erected for HAYNES

Type of Permit INTERIOR REMODEL

Applied for by O/B

(Contractor) Building Fee  $\$43,500 \times 9.60/1000 = 417.60$

Subdivision Palm Row Lot 3 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 6 PALM ROAD

Impact Fee \_\_\_\_\_

Type of structure ~~SFR~~ SFR

A/C Fee \_\_\_\_\_

Parcel Control Number:

1338400500000030660000

Electrical Fee 35.00

Plumbing Fee 35.00

Amount Paid 670.45 Check # \_\_\_\_\_ Cash \_\_\_\_\_

Roofing Fee \_\_\_\_\_  
10% PLAN REVIEW 48.76  
Other Fees (25% O/B) 131.09

Total Construction Cost \$ 43,500.

TOTAL Fees 670.45

Signed Judy Haynes  
Applicant

Signed Gene Summers (RD)  
Town Building Official

## PERMIT

- |  |  |  |
|--|--|--|
| <input checked="" type="checkbox"/> BUILDING | <input checked="" type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL    |
| <input checked="" type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING               | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT      | <input type="checkbox"/> DEMOLITION            | <input type="checkbox"/> FENCE         |
| <input type="checkbox"/> SCREEN ENCLOSURE    | <input type="checkbox"/> TEMPORARY STRUCTURE   | <input type="checkbox"/> GAS           |
| <input type="checkbox"/> FILL                | <input type="checkbox"/> HURRICANE SHUTTERS    | <input type="checkbox"/> RENOVATION    |
| <input type="checkbox"/> TREE REMOVAL        | <input type="checkbox"/> STEMWALL              | <input type="checkbox"/> ADDITION      |

## INSPECTIONS

- |                                   |                              |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____        | UNDERGROUND GAS _____        |
| UNDERGROUND MECHANICAL _____      | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____            | FOOTING _____                |
| SLAB _____                        | TIE BEAM/COLUMNS _____       |
| ROOF SHEATHING _____              | WALL SHEATHING _____         |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____                   |
| ROOF TIN TAG/METAL _____          | ROOF-IN-PROGRESS _____       |
| PLUMBING ROUGH-IN _____           | ELECTRICAL ROUGH-IN _____    |
| MECHANICAL ROUGH-IN _____         | GAS ROUGH-IN _____           |
| FRAMING _____                     | EARLY POWER RELEASE _____    |
| FINAL PLUMBING _____              | FINAL ELECTRICAL _____       |
| FINAL MECHANICAL _____            | FINAL GAS _____              |
| FINAL ROOF _____                  | BUILDING FINAL _____         |

RECEIVED

DEC 28 2004

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

BY: \_\_\_\_\_
Date: 12/28/04

OWNER/TITLEHOLDER NAME: Jeff & Sandy Haynes Phone (Day) 220-0388 (Fax) 220-0388

Job Site Address: 6 Palm Road City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Palm Row Revised Plat Lot 3 Parcel Number: 1338400500000030166

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: Remodel interior great room/kitchen area

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$43,500.00
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$450,000.00

Is Improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: real estate sales

(If no, fill out the Contractor & Subcontractor sections below)
(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: \_\_\_\_\_

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic.# \_\_\_\_\_ Phone Number: \_\_\_\_\_
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_
Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: National Electrical Code: 2002 Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) Sandra Haynes

State of Florida, County of: MARTIN

This the 28th day of December, 2004

by SANDRA HAYNES who is personally

known to me or produced as identification.

CONTRACTOR SIGNATURE (required)

On State of Florida, County of: \_\_\_\_\_

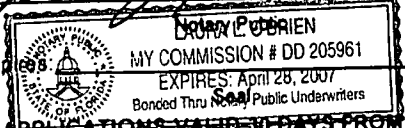
This the \_\_\_\_\_ day of \_\_\_\_\_, 2004

by \_\_\_\_\_ who is personally

known to me or produced \_\_\_\_\_

As identification. \_\_\_\_\_ Notary Public

My Commission Expires: \_\_\_\_\_



Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!



**TOWN OF SEWALL'S POINT**  
**ONE SOUTH SEWALL'S POINT ROAD**  
**SEWALL'S POINT, FLORIDA 34996**

**TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT**  
**(To be submitted if permit is to be pulled by Owner/Builder)**

**DISCLOSURE STATEMENT**

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: Sandra Haynes, Date: 11/4/04

Signature: Sandra Haynes

Address: 16 Palm Road

City & State: Stuart, FL

Permit No. \_\_\_\_\_



Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
1338410050000003066	PALM RD	27808	Address	0	1

**Property Location** 6 PALM RD  
**Tax District** 2200 Sewall's Point  
**Account #** 27808  
**Land Use** 101 0100 Single Family  
**Neighborhood** 120400  
**Acres**

**Property Information**  
 PALM ROW REVISED & AMENDED  
 PLAT LOT 3 OR 360/181

**Owner Information**  
 HAYNES, JEFFREY D & SANDRA L

**Mail Information**  
 6 PALM RD  
 STUART FL 34996

**Front Ft.** 0.00

**Market Land Value** \$154,000  
**Market Impr Value** \$135,330  
**Market Total Value** \$289,330

**Sale Amount** \$350,000

**Sale Date** 12/4/2003  
**Book/Page** 1626/ 0546



Date: MARCH 24, 2005

Job #: \_\_\_\_\_

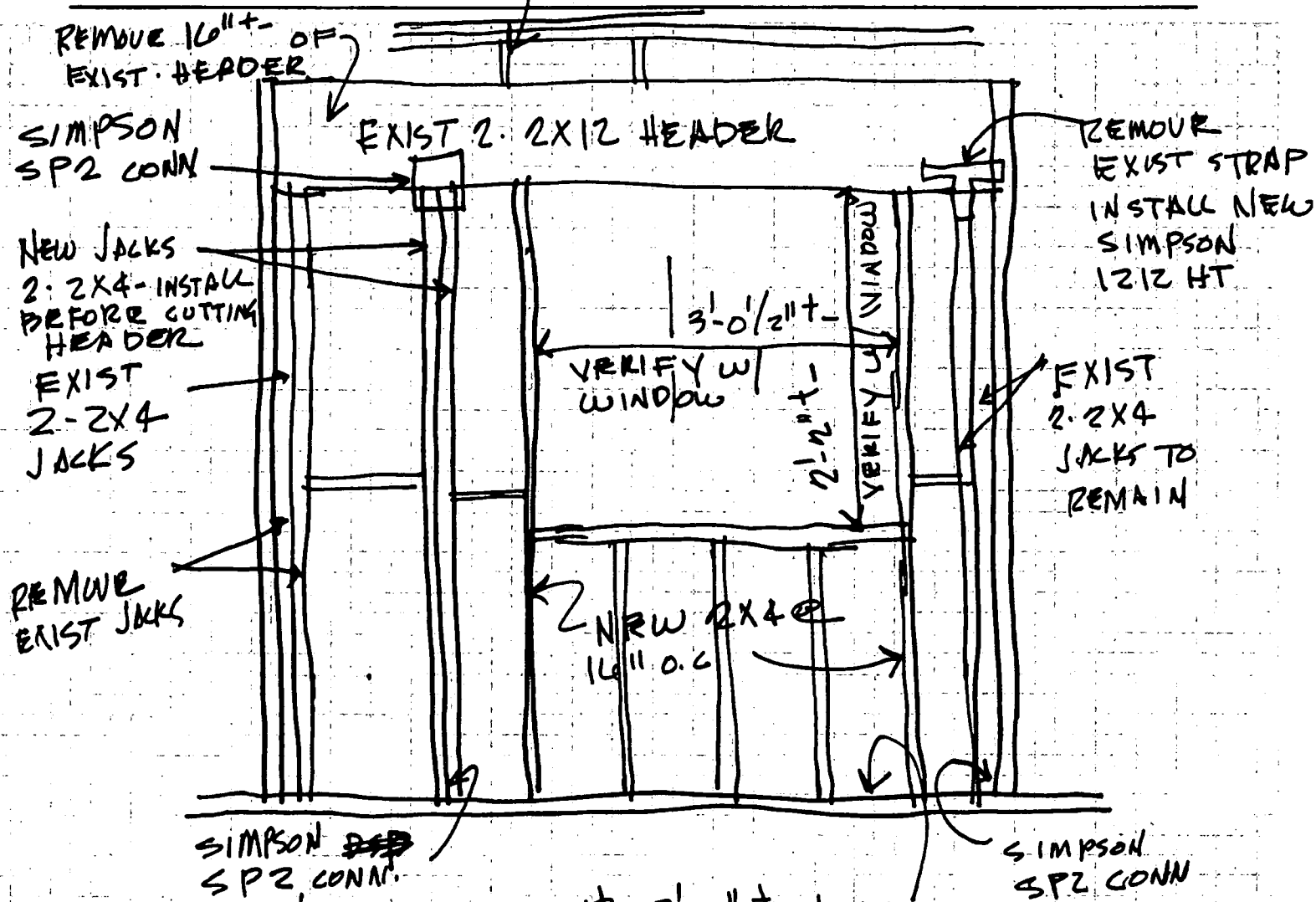
Project: HAYNES RESIDENCE  
6 PALM ROAD STUART

Subject: \_\_\_\_\_

By: \_\_\_\_\_

**TED SCHOPPE & ASSOCIATES**  
ARCHITECTS ■ PLANNERS

ADD SIMPSON 1212  
HT @ 16" O.C



NEW 2x4 P.T. @ 7'-0" + LONG  
ANCHOR TO EXIST SLAB W/ 5/8"  $\phi$

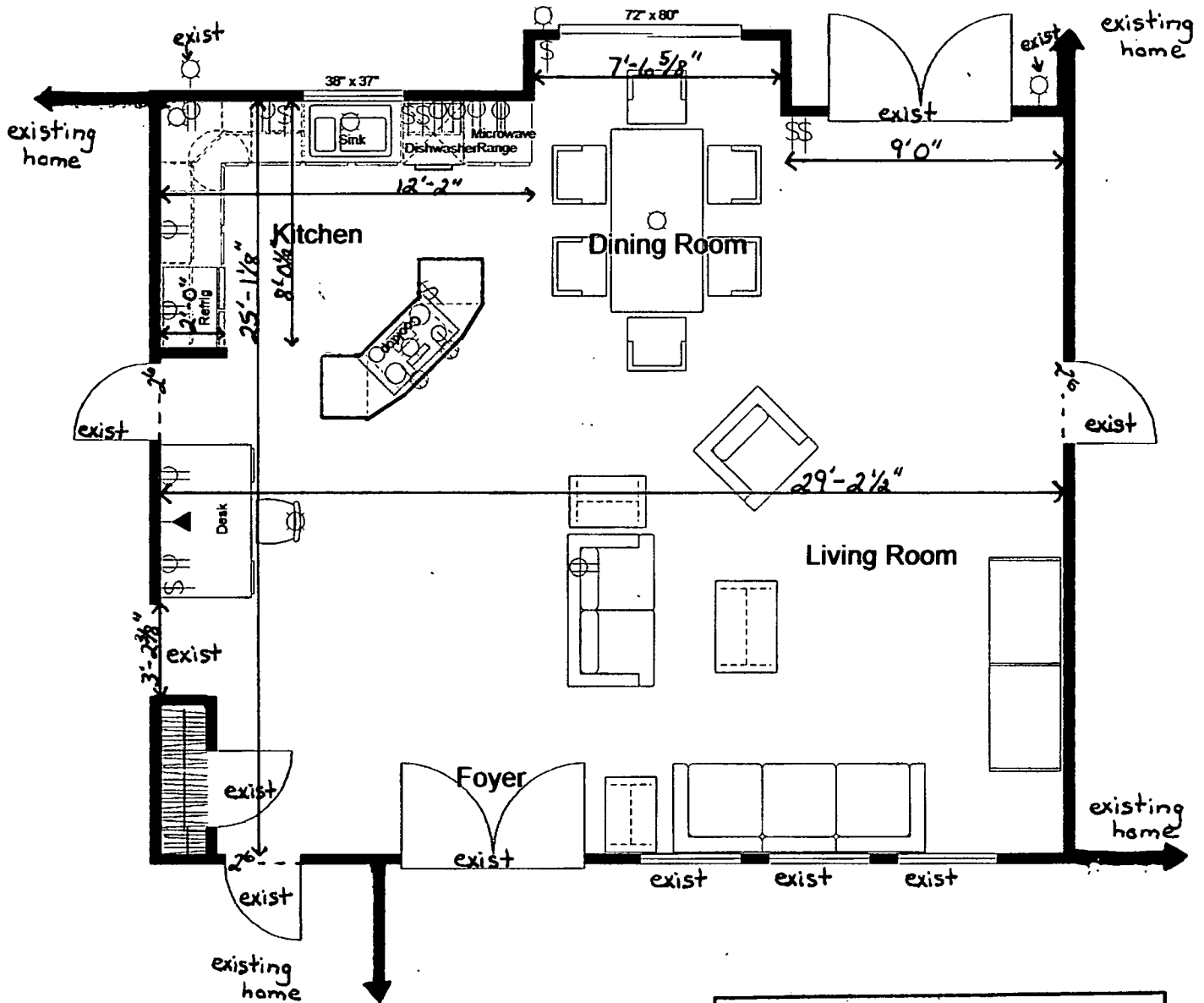
A.P. @ FILE COPY O.C.  
 TOWN OF SEWALL'S POINT  
 THESE PLANS HAVE BEEN  
 REVIEWED FOR CODE COMPLIANCE  
 DATE: 3/24/05  
 \_\_\_\_\_  
 BUILDING OFFICIAL  
 Gene Simmons

FULL NAIL ALL CONNECTORS  
W/ 8<sup>d</sup> NAILS

Ted Schoppe  
3/26/05  
AR 7130

REVISION

# 6 Palm Road Residence



Scale 3/16" = 1'

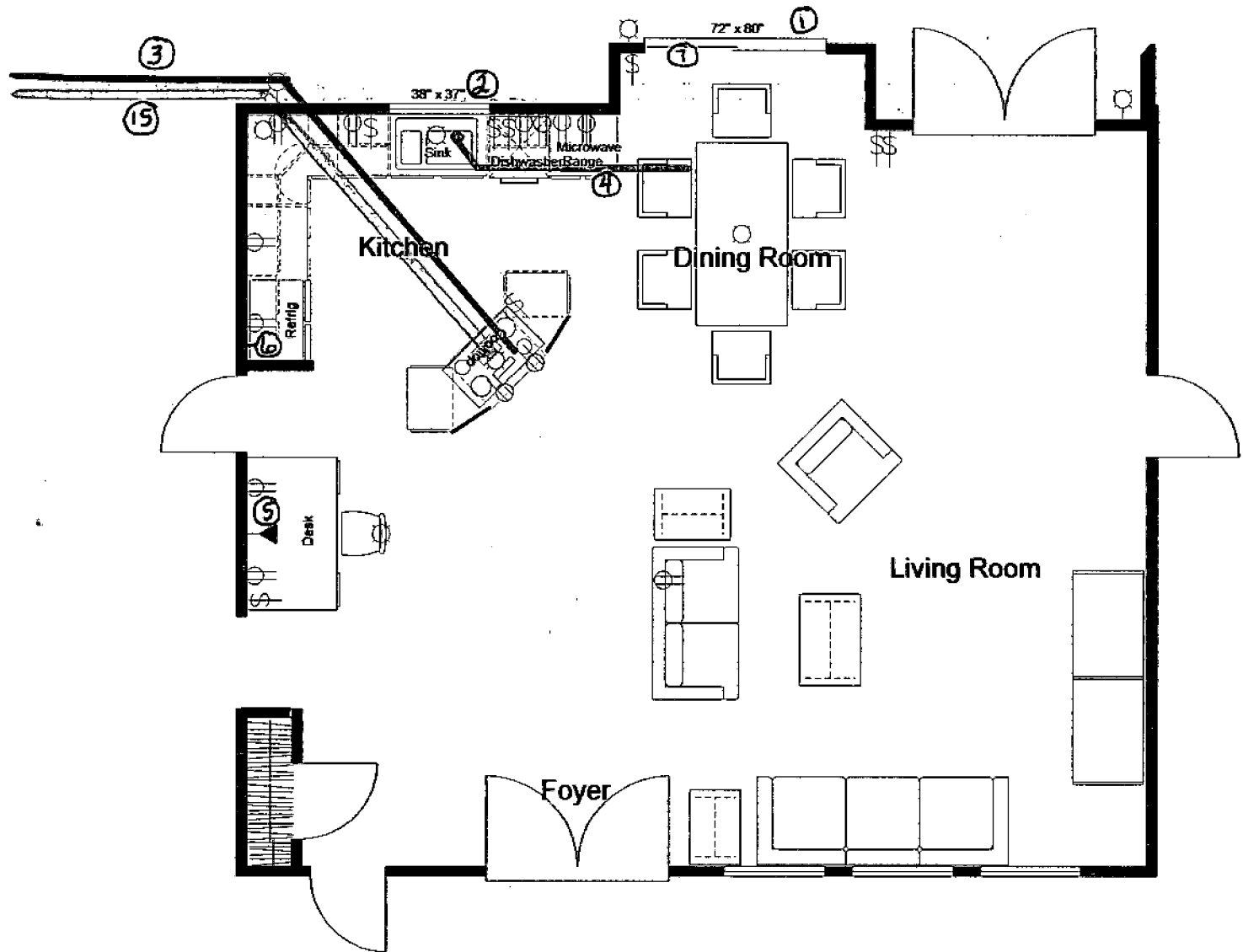
FILE COPY  
 TOWN OF SEWALL'S POINT  
 THESE PLANS HAVE BEEN  
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 DATE: 12/30/04  
 \_\_\_\_\_  
 BUILDING OFFICIAL  
 Gene Simmons

## 6 Palm Road Residence

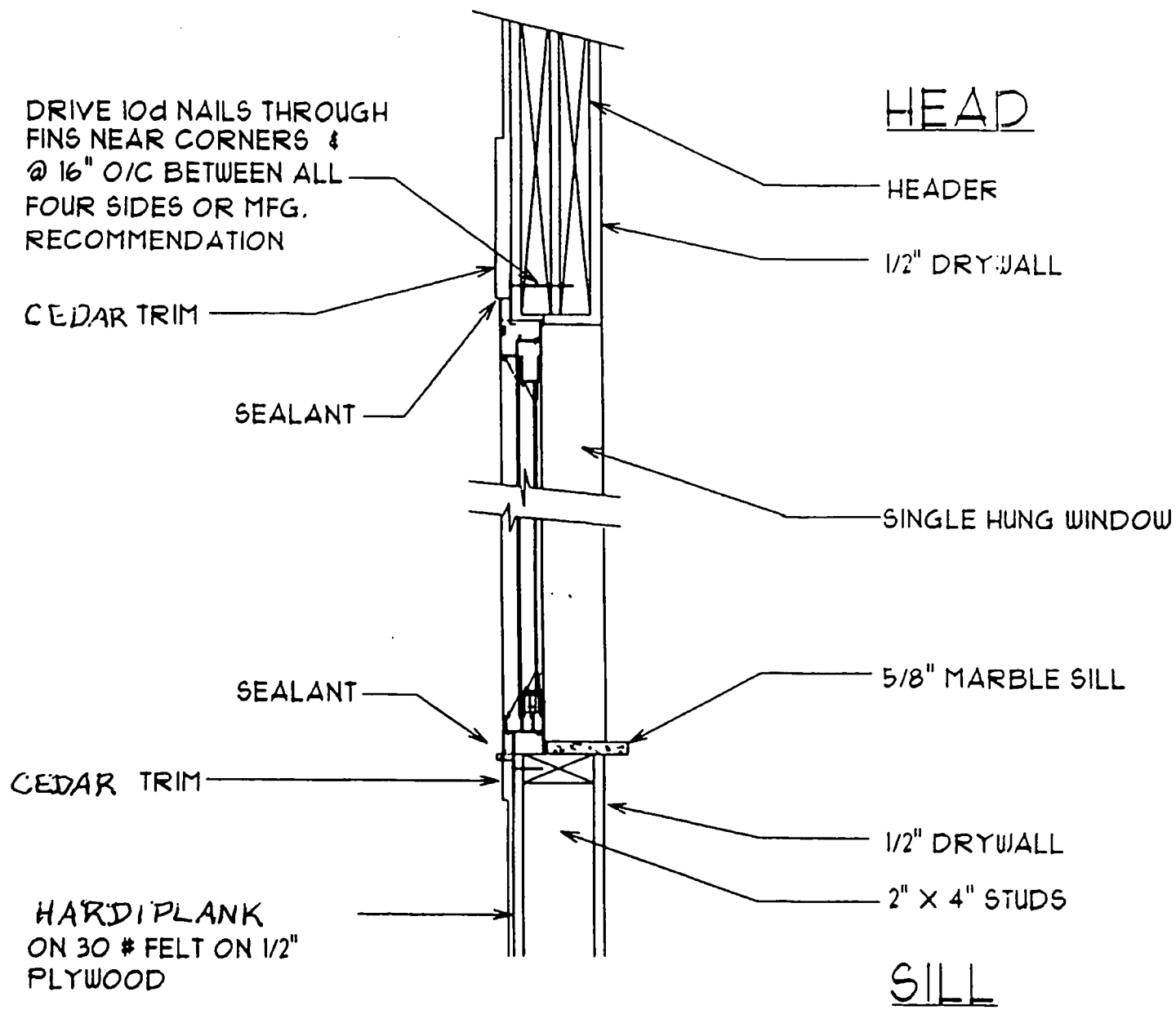
### Building Specifications:

1. Remove existing window and wall below and install new pair of 3'0" sliding glass doors per attached header drawing.
2. New 38" x 37" window installed using existing French door header. (see attached)
3. Install 6" pipe below slab to terminate outside pool deck on west side, for downdraft for cook top.
4. New plumbing for double sink, in 8" trench under slab, to tie into existing wasteline with auto vent under sink.
5. Relocate existing phone jack, in interior wall in family room, to new desk location.
6. Relocate water line for refrigerator, from interior kitchen wall, to new location in remodeled kitchen.
7. Cut back and cap old sink plumbing to allow for sliding glass door installation.
8. Install KraftMaid cabinetry in kitchen and desk locations.
9. Install SileStone countertops in kitchen and desk locations.
10. Install undermounted double stainless steel sink in remodeled kitchen location.
11. Install new travertine tile flooring in entire remodeled area.
12. Install new 5 1/4" base wood molding in entire remodeled area.
13. Install new door molding to cover any door casements.
14. Patch, float, and apply California knockdown texture coating to all ceilings in remodeled area.
15. Gas line for new gas cooktop to be run under slab and permitted by gas company.

# 6 Palm Road Residence



Scale 3/16" = 1'



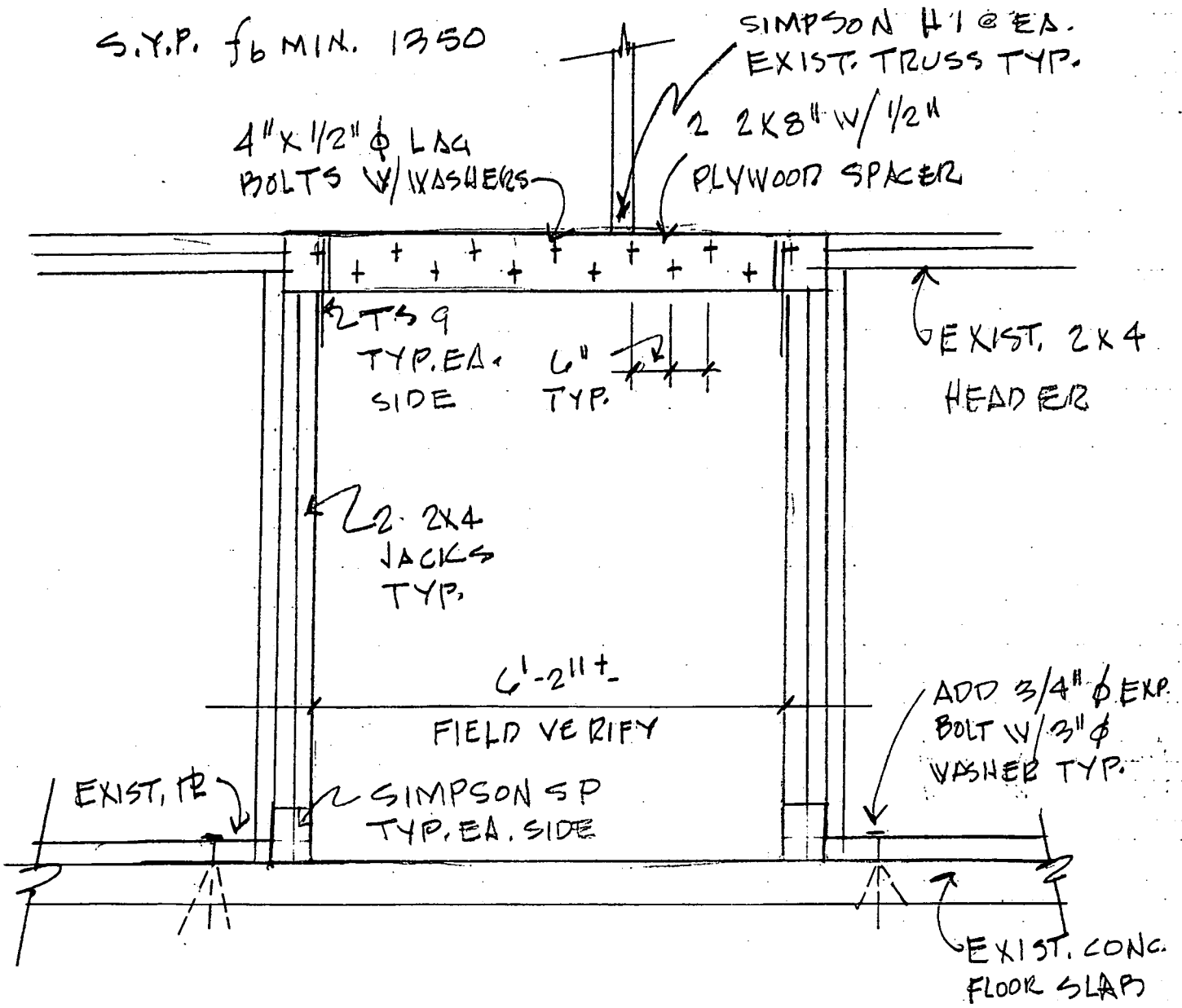
WINDOW DETAIL  
 3" = 1'-0"

Date: 12/20/04  
Job #:  
Project: HAYNES RESIDENCE

Subject: HEADER @ NEW SLIDING  
By: GLASS DOOR

**TED SCHOPPE & ASSOCIATES**  
ARCHITECTS ■ PLANNERS

2x8 HEADER TO BE #2 DENSE  
S.Y.P.  $f_b$  MIN. 1350



NOTE - ALL TIES REFER TO SIMPSON STRONG-TIE NUMBERS

Ted Schoppe  
12/22/04



MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

TRACO Security Windows & Doors, Inc.  
5100 NW 72 Avenue  
Miami, FL 33166

BUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

CONTRACTOR LICENSING SECTION  
(305) 375-2527 FAX (305) 375-2528

CONTRACTOR ENFORCEMENT DIVISION  
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION  
(305) 375-2902 FAX (305) 375-6134

Your application for Notice of Acceptance (NOA) of:  
**Series 140 (248) Aluminum Sliding Glass Door Impact**  
under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 01-1003.02  
EXPIRES: 01/24/2007

Raul Rodriguez  
Chief Product Control Division

**THIS IS THE COVERSHEET. SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL  
CONDITIONS  
BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.  
Director  
Miami-Dade County  
Building Code Compliance Office

APPROVED: 01/24/2002

TRACO Security Windows & Doors, Inc.ACCEPTANCE No.: 01-1003.02APPROVED: January 24, 2002EXPIRES: January 24, 2007**NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS****1. SCOPE**

- 1.1 This Notice of Acceptance (NOA) approves the series 140 (248) aluminum sliding glass door, as described in Section 2 of this NOA, designed to comply with the South Florida Building Code (SFBC), 1994 Edition for Miami-Dade County, for the locations where the pressure requirements, as determined by SFBC Chapter 23, do not exceed the Design Pressure Rating values indicated in the approved drawings.

**2. PRODUCT DESCRIPTION**

- 2.1 The Series 140(248) Aluminum Sliding Glass Doors and its components shall be constructed in strict compliance with the following document: Drawing No W01-59, Sheets 1 through 5 of 5, titled "Series 140(248) Alum. Sliding Glass Door," prepared by Al Farooq Corporation, dated 8/30/01 and revised on 12/20/01, signed and sealed by Humayoun Farooq, P.E., bearing the Miami-Dade County Product Control approval stamp with the NOA number and approval date by the Miami-Dade County Product Control Division. This document shall hereinafter be referred to as the approved drawings.

**3. LIMITATIONS**

- 3.1 This approval applies to the configurations shown in approved drawings.

**4. INSTALLATION**

- 4.1 The Series 140(248) Aluminum Sliding Glass Doors and its components shall be installed in strict compliance with the approved drawings.
- 4.2 The installation of this product will not require a hurricane protection system

**5. LABELING**

- 5.1 Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved".

**6. BUILDING PERMIT REQUIREMENTS**

- 6.1 Application for building permit shall be accompanied by copies of the following:
- 6.1.1 This Notice of Acceptance
- 6.1.2 Duplicate copies of the approved drawings, as identified in Section 2 of this Notice of Acceptance, clearly marked to show the components selected for the proposed installation.
- 6.1.3 Any other documents required by the Building Official or the South Florida Building Code (SFBC) in order to properly evaluate the installation of this system.



Raul Rodriguez, Chief  
Product Control Division



TRACO Security Windows & Doors, Inc.

ACCEPTANCE No.: 01-1003.02


APPROVED: January 24, 2002

EXPIRES: January 24, 2007

**NOTICE OF ACCEPTANCE: STANDARD CONDITIONS**

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
  - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
  - b) The product is no longer the same product (identical) as the one originally approved;
  - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
  - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
  - a) Unsatisfactory performance of this product or process.
  - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purpose.
6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engineer need not reseal the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Notice of Acceptance consists of pages 1, 2 and this last page 3.

**END OF THIS ACCEPTANCE**

  
 \_\_\_\_\_  
 Raul Rodriguez, Chief  
 Product Control Division



**BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908**

## **NOTICE OF ACCEPTANCE (NOA)**

**TRACO Security Windows & Doors, Inc.  
5100 N.W. 73<sup>rd</sup> Avenue  
Miami, FL 33166**

### **SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (in Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION: Series "Coastal-240" Aluminum Single Hung Window - Impact Resistant**

**APPROVAL DOCUMENT:** Drawing No. W99-62, dated 01/13/03, titled "Coastal-240 Impact Single Hung Window", sheets 1 through 3, prepared by Frank L. Bennardo, P.E. Consulting Engineer, signed and sealed by Frank L. Bennardo, P.E., bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING: Large and Small Missile Impact Resistant**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.


**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises and renews NOA # 99-1028.06 and consists of this page 1 as well as approval document mentioned above.

The submitted documentation was reviewed by Manuel Perez, P.E.



**NOA No 02-1126.03  
Expiration Date: March 17, 2008  
Approval Date: February 6, 2003  
Page 1**

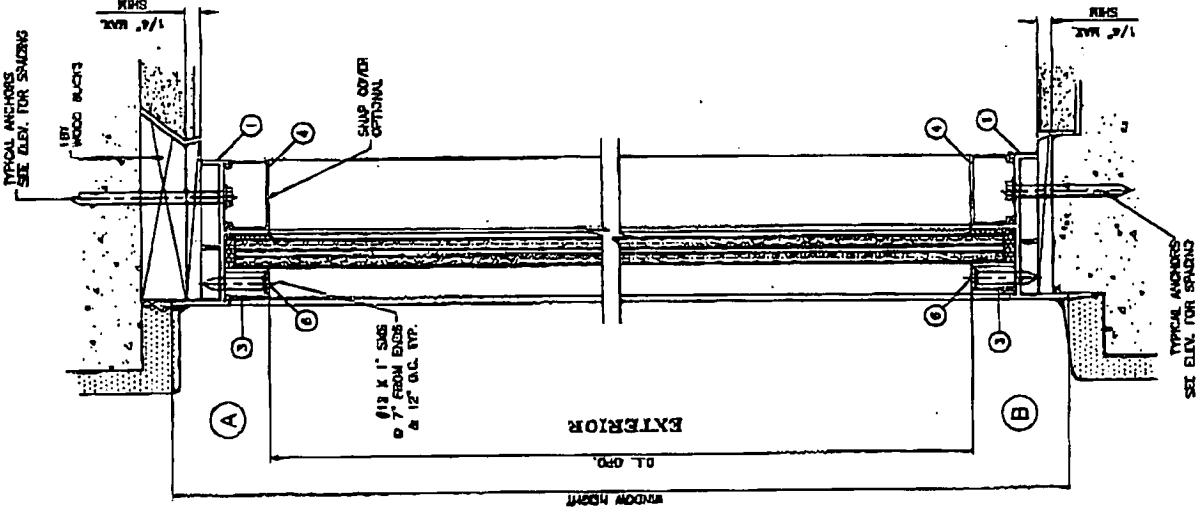
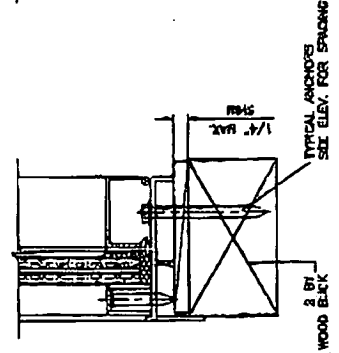
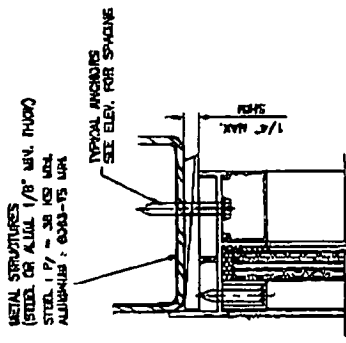
 <p><b>AT-FAROOD CORPORATION</b> ENGINEERS, PLANNERS &amp; PRODUCT DESIGN</p> <p>1239 SW 87 AVE MIAMI, FLORIDA 33174 TEL (305) 284-8100 FAX (305) 282-0970 CORP. AM. #02-60600</p>	<p><b>SERIES-510 ALUM. FIXED WINDOW (IMPACT)</b></p> <p>7450 N.W. 41 STREET MIAMI, FL 33188 TEL (305) 282-2088 FAX (305) 477-0992</p>	<p>DATE: 01-20-00 SCALE: 1/2" = 1'-0" BY: [Signature] CHECKED BY: [Signature] APPROVED BY: [Signature]</p>
	<p>DRAWING NO. <b>W02-50</b> SHEET 1 OF 4</p>	

WOOD BUCKS NOT BY GORP GLASS CORP., MUST SUSTAIN LOADS IMPOSED BY GLAZING SYSTEM AND TRANSFER THEM TO THE BUILDING STRUCTURE.

- TYPICAL ANCHORS: SEE ELEV. FOR SPACING**
- 3/16" TAPPERS INTO 2BY WOOD BUCKS OR WOOD STRUCTURE
  - 1-3/8" MIN. PENETRATION INTO WOOD
  - THRU 1BY WOOD BUCKS INTO MASONRY OR DIRECTLY INTO MASONRY
  - 1-1/4" MIN. EMBED INTO MASONRY OR CONC.
  - 3/16" DRILL PEX OR EQUIV. SELF-DRILLING BOLTERS (GRADE 5) INTO METAL STRUCTURES (1/8" MIN. THICKNESS)
  - 410 X 3/4" SWS (MIN. GRADE 2 SWS) INTO APPROVED MULLIONS (NO SHM SPACE)

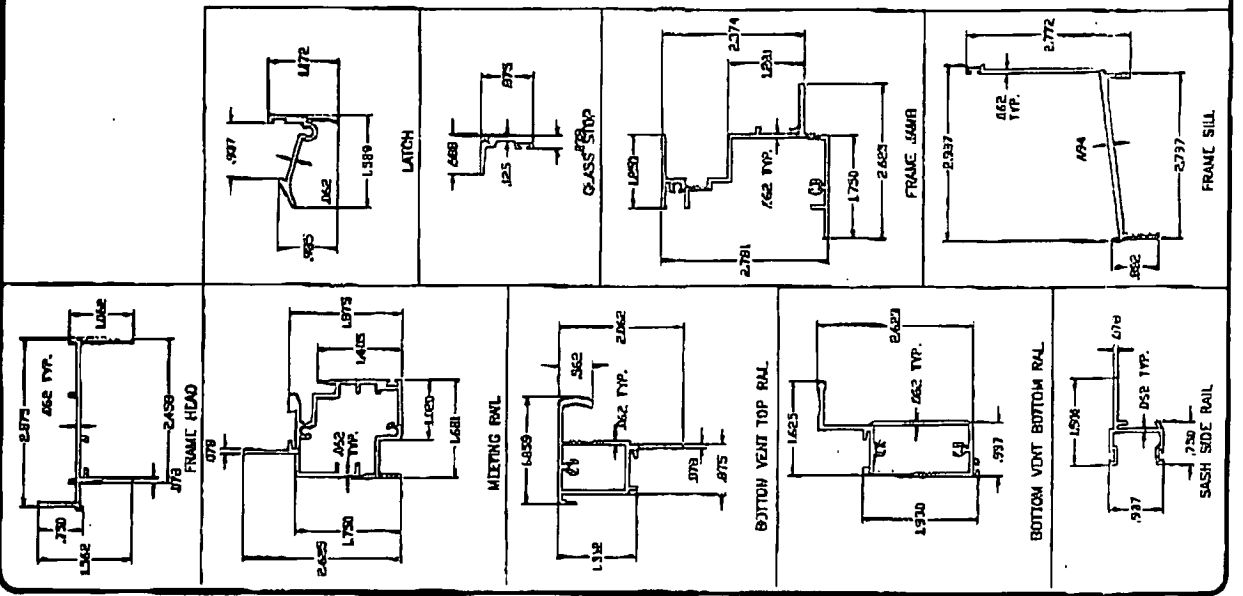
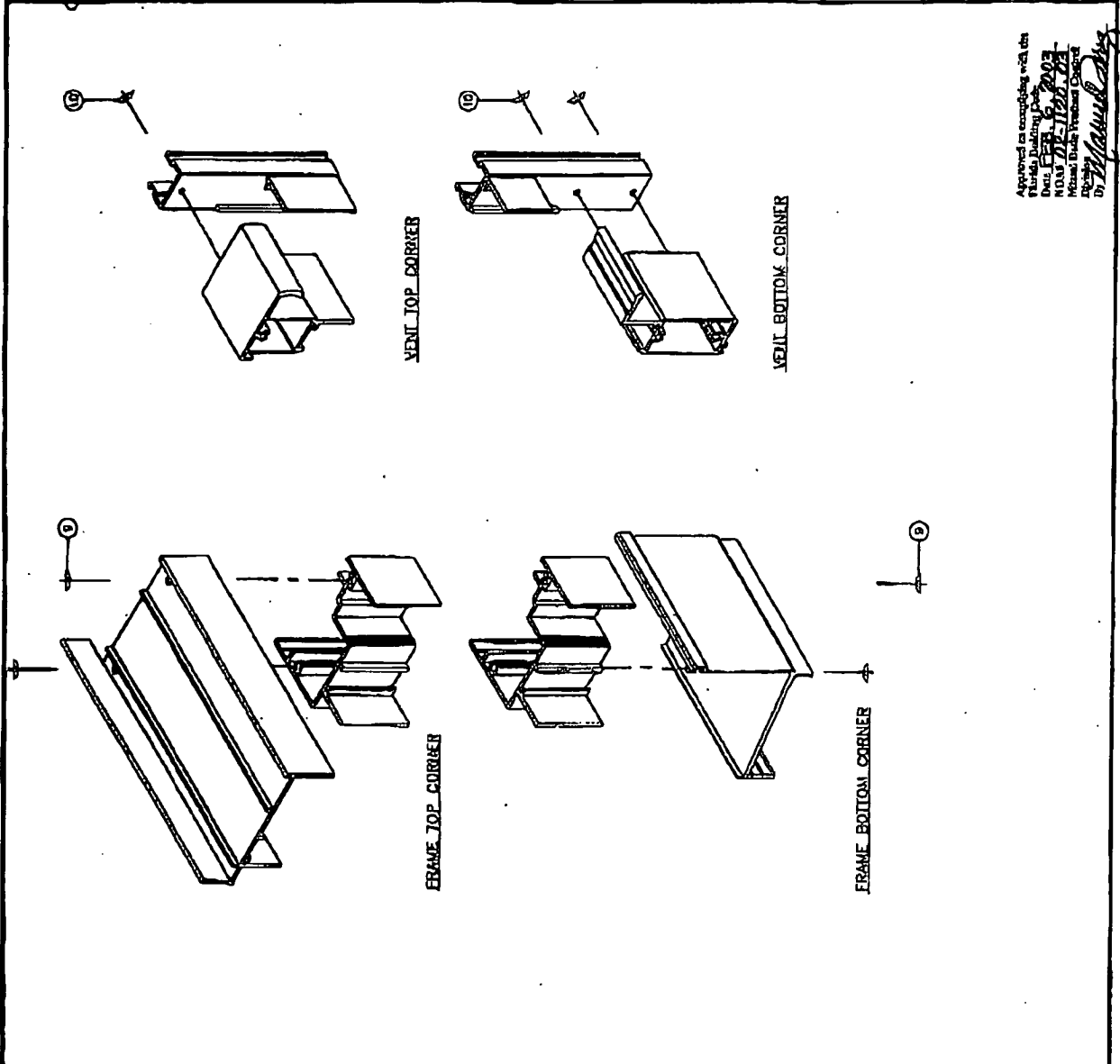
**SEALANTS:**  
FRAME CORNERS AND INSTALLATION SCREWS AT SILL SEALED WITH SEALANT.

Approved as complying with the Florida Building Code, Chapter 6, Part 905.2.01, 905.2.02, 905.2.03, 905.2.04, 905.2.05, 905.2.06, 905.2.07, 905.2.08, 905.2.09, 905.2.10, 905.2.11, 905.2.12, 905.2.13, 905.2.14, 905.2.15, 905.2.16, 905.2.17, 905.2.18, 905.2.19, 905.2.20, 905.2.21, 905.2.22, 905.2.23, 905.2.24, 905.2.25, 905.2.26, 905.2.27, 905.2.28, 905.2.29, 905.2.30, 905.2.31, 905.2.32, 905.2.33, 905.2.34, 905.2.35, 905.2.36, 905.2.37, 905.2.38, 905.2.39, 905.2.40, 905.2.41, 905.2.42, 905.2.43, 905.2.44, 905.2.45, 905.2.46, 905.2.47, 905.2.48, 905.2.49, 905.2.50, 905.2.51, 905.2.52, 905.2.53, 905.2.54, 905.2.55, 905.2.56, 905.2.57, 905.2.58, 905.2.59, 905.2.60, 905.2.61, 905.2.62, 905.2.63, 905.2.64, 905.2.65, 905.2.66, 905.2.67, 905.2.68, 905.2.69, 905.2.70, 905.2.71, 905.2.72, 905.2.73, 905.2.74, 905.2.75, 905.2.76, 905.2.77, 905.2.78, 905.2.79, 905.2.80, 905.2.81, 905.2.82, 905.2.83, 905.2.84, 905.2.85, 905.2.86, 905.2.87, 905.2.88, 905.2.89, 905.2.90, 905.2.91, 905.2.92, 905.2.93, 905.2.94, 905.2.95, 905.2.96, 905.2.97, 905.2.98, 905.2.99, 905.2.100.



GROUP OF TRANSPARENT FABRIC STRUCTURES TO BE SUBMITTED FOR APPROVAL BY THE BOARD OF BUILDING REGULATIONS  
JAN 20 2000

	FRANK L. BERNARDO & ASSOCIATES, INC. CONSULTING ENGINEER 441 NORTH DIXIE HIGHWAY BOCA RATON, FL 33431 TEL: 954-288-7400 FAX: 954-288-7401 WWW.FLBENGINEERING.COM E-MAIL: FRANK@FLBENGINEERING.COM	TRACO SECURITY WINDOWS & DOORS INC. 71 PROGRESS AVENUE CRANBERRY TOWNSHIP, PA 16166-3596 TEL: (724) 778-7000
COASTAL-240 IMPACT SINGLE HUNG WINDOW		SHEET: 3 OF 3 Dwg: W99-62



**FRANK L. DENNARD & ASSOCIATES**  
CONSULTING ENGINEER  
441 NORTH DIXIE HIGHWAY  
BOCA RATON, FL 33491  
(561) 361-8888 FAX (561) 361-2862  
EMAIL: FRANK@FRANKDENNARD.COM

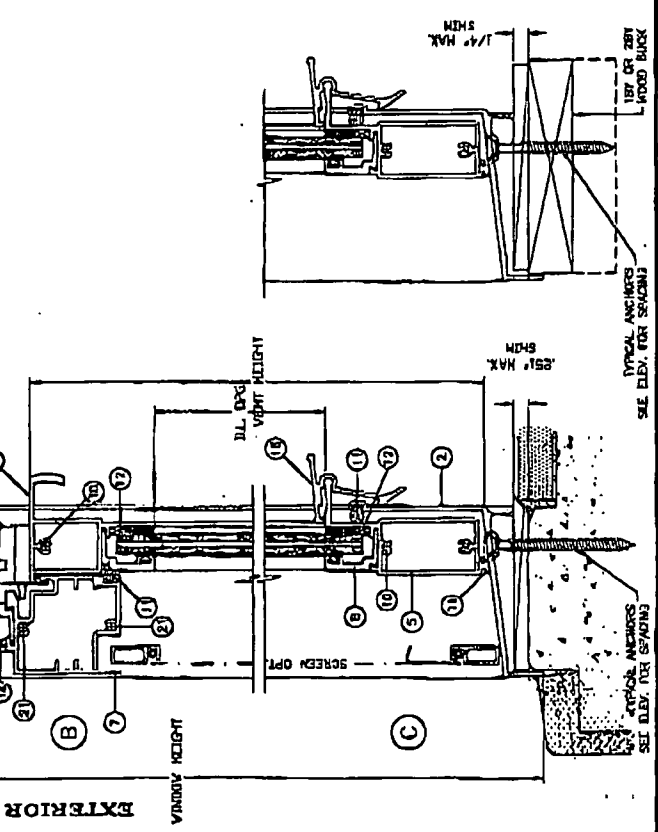
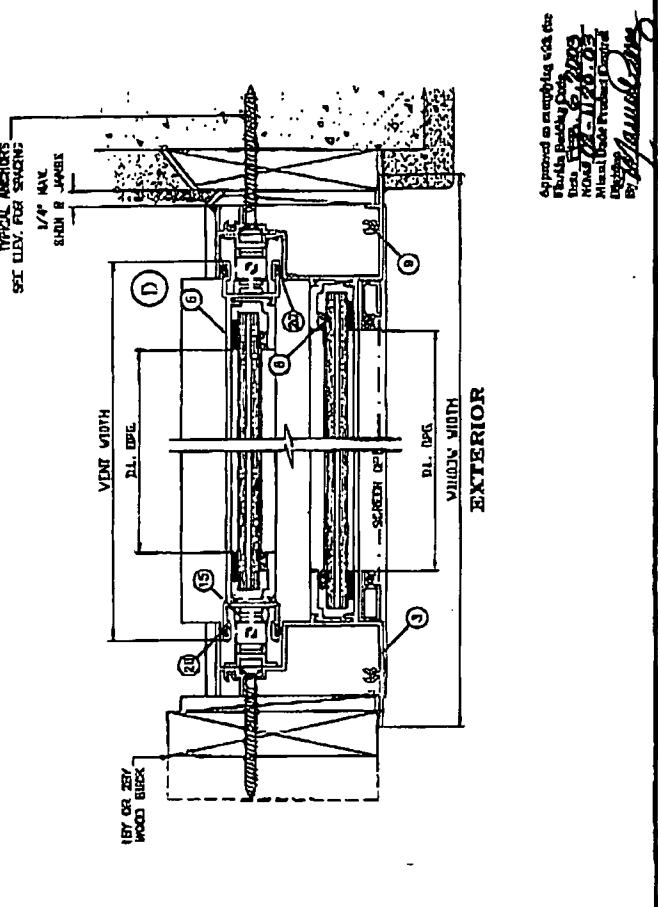
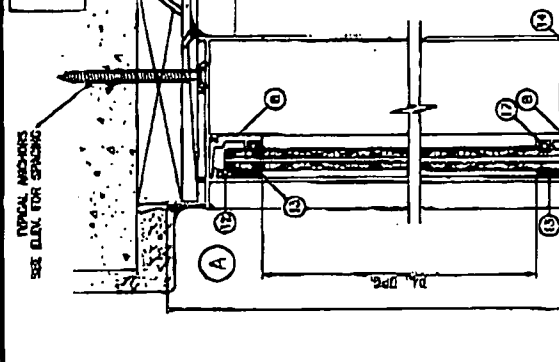
**TRACO SECURITY WINDOWS & DOORS INC.**  
71 PROGRESS AVENUE  
CRANBERRY TOWNSHIP, PA 16166-3596  
TEL. (724) 776-7000

REVISIONS: \_\_\_\_\_ DATE: \_\_\_\_\_

2 OF 3  
DRG: W99-67

ITEM NO.	PART NUMBER	QUANTITY	DESCRIPTION	MATERIAL	UNIT / PROFILES / DIMENSIONS
1	050-00-573	1	FRAME HEAD	6063-T6	-
2	050-00-308	1	FRAME SILL	6063-T6	-
3	050-00-368	2	FRAME JAMB	6063-T6	-
4	021-00-371	1	VENT TOP	6063-T6	-
5	051-00-348	1	VENT BOTTOM	6063-T6	-
6	050-00-370	2	VENT SIDE	6063-T6	-
7	051-00-373	1	FIXED MEETING RAIL	6063-T6	-
8	050-00-369	4 / LITE	GLASS STOP	6063-T6	-
9	012-00-435	AS REQD.	FRAME ASSEMBLY SCREW	Ø 10 X 1" PHRF. S&S	-
10	012-00-435	AS REQD.	VENT ASSEMBLY SCREW	Ø 10 X 1" PHRF. S&S	-
11	046-00-098	AS REQD.	W/STRENGTH FABRIC COATED (DM)	SCHERILL Q-COR J15 X .100	-
12	046-18-102	12	SETTING BLOCK .107 X .307 X 4-3/8" LONG	5" FROM ENDS & AT MIDSPAN	-
13	-	AS REQD.	GLAZING COMPOUND	009 1190	-
14	007-10-016	2	SNAP LOCK (AT 6-3/4" FROM ENDS)	ZINC CAST	MARBOLLO INTL.
15	046-18-030	2	BLOCK AND TACKLE BALANCE	WOOD	WOODRUM COMPONENTS (5/8" Ø 800)
16	050-00-718	1	SNAP LATCH 3" LONG W/ SPRING	Ø 10 X 1" PHRF. S&S	AT MID WIDTH
17	046-00-010	AS REQD.	BULB VALVE	Ø 10 X 1" PHRF. S&S	WOODRUM
18	-	-	-	-	-
19	-	-	-	-	-
20	047-00-015	AS REQD.	FN SEAL FILL	NECESSARY (Ø 10 X 1" PHRF. S&S)	-
21	012-00-180	6	MTC. BAL. ASSEMBLY SCREW	Ø 10 X 1" PHRF. S&S	-

WOOD BUCKS NOT BY SECURITY WINDOWS, MUST SUSTAIN LOADS IMPOSED BY GLAZING SYSTEM AND TRANSFER THEM TO THE BUILDING STRUCTURE.



Approved as submitted with the  
Florida Building Code  
Book FBC 6-2009  
Minimum Code Provisions  
Minimum Code Provisions  
By: *Frank L. Dennard*

**TRACO SECURITY WINDOWS & DOORS INC.**  
 71 PROGRESS AVENUE  
 CRANBERRY TOWNSHIP, PA 16166-3596  
 TEL (724) 778-7000

**OSULTING ENGINEERING**  
 441 NORTH DIKE HIGHWAY  
 7000  
 7000  
 7000  
 7000

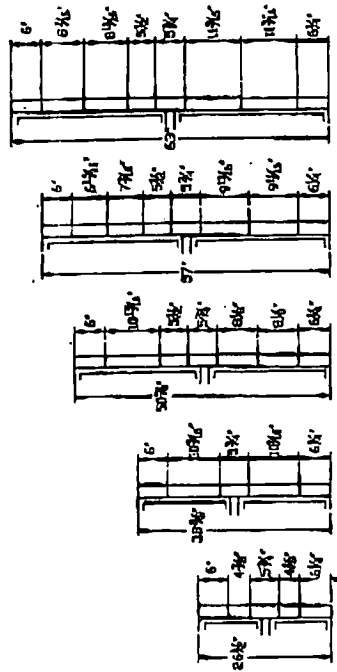
**TRACO SECURITY WINDOWS & DOORS INC.**  
 71 PROGRESS AVENUE  
 CRANBERRY TOWNSHIP, PA 16166-3596  
 TEL (724) 778-7000

**OSULTING ENGINEERING**  
 441 NORTH DIKE HIGHWAY  
 7000  
 7000  
 7000  
 7000

**TRACO SECURITY WINDOWS & DOORS INC.**  
 71 PROGRESS AVENUE  
 CRANBERRY TOWNSHIP, PA 16166-3596  
 TEL (724) 778-7000

MINIMUM HOLD CAPACITY - PSF			
WINDOW DIMS.	5/16" LAMINATED ANOT. GLASS	UNT. (1)	UNT. (2)
19-1/8"	28"	62.0	62.0
20-1/2"	37"	62.0	62.0
23-1/8"	37"	62.0	62.0
19-1/8"	39-5/8"	62.0	62.0
20-1/2"	37"	62.0	62.0
23-1/8"	37"	62.0	62.0
19-1/8"	39-5/8"	62.0	62.0
20-1/2"	37"	62.0	62.0
23-1/8"	37"	62.0	62.0
19-1/8"	39-5/8"	62.0	62.0
20-1/2"	37"	62.0	62.0
23-1/8"	37"	62.0	62.0
19-1/8"	39-5/8"	62.0	62.0
20-1/2"	37"	62.0	62.0
23-1/8"	37"	62.0	62.0

\* NUMBER IN PARENTHESES INDICATES # OF ANCHORS PER JAMB



**ANCHOR SPACING AT JAMBS FOR VARIOUS HEIGHTS**  
 NOTE: ANCHOR SPACING MAY BE ROUNDED TO THE NEAREST FULL INCH

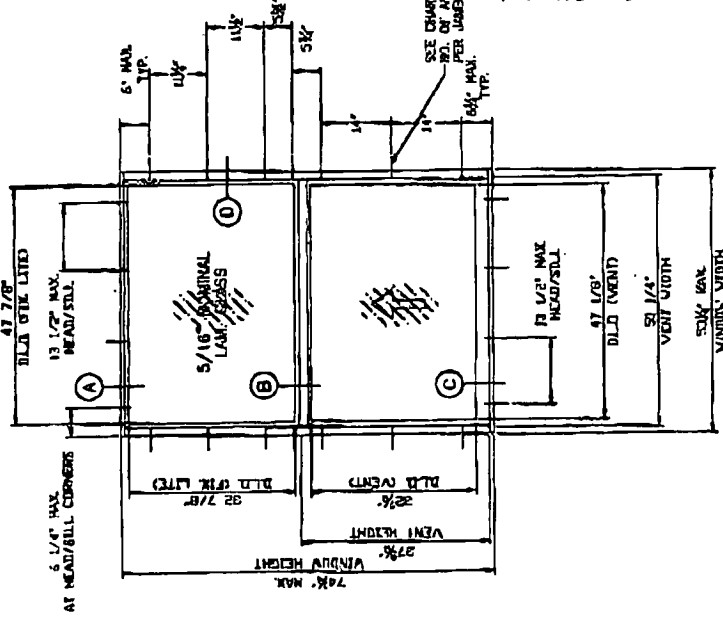
**TYPICAL ANCHORS:**

- #10 SWS INTO 2BY WOOD BUCKS OR WOOD STRUCTURE 1-3/8" MIN. PENETRATION INTO WOOD
- 3/16" TAPCONS (BY ELCO) OR EQUIV. CONC. ANCHOR HOLDING CURRENT NOTICE OF ACCEPTANCE INTO 2BY WOOD BUCKS OR WOOD STRUCTURE 1-3/8" MIN. PENETRATION INTO WOOD
- 3/16" TAPCONS (BY ELCO) OR EQUIV. CONC. ANCHOR HOLDING CURRENT NOTICE OF ACCEPTANCE INTO 2BY WOOD BUCKS OR WOOD STRUCTURE 1-3/8" MIN. PENETRATION INTO WOOD
- THRU 1 BY WOOD BUCKS INTO MASONRY OR DIRECTLY INTO MASONRY 1-1/4" MIN. EMBED INTO CONC. OR MASONRY

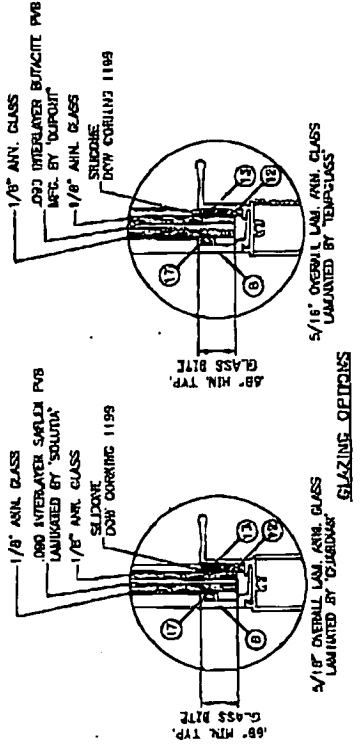
**LARGE MISSILE IMPACT RESISTANT WINDOWS**  
 SHUTTERS NOT REQUIRED

- NOTES:**
- THIS STRUCTURE IS DESIGNED AS PER THE FLORIDA BUILDING CODE 2001 EDITION. ALSO FOR WIND LOADS AS PER ASCE 7-89 USING CORRESPONDING LOADS.
  - WOOD BUCKS BY OTHERS MUST BE APPROVED PROPERLY TO TRANSFER LOADS TO THE STRUCTURE.
  - ANCHORS SHALL BE AS LISTED, SPACED AS SHOWN ON DETAILS. ANCHOR EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR STUCCO.

Approved complying with the Florida Building Code 2001 Edition ASCE 7-89  
 2009  
 2009  
 2009  
 2009



**TYPICAL ELEVATION TESTED UNIT**



5/16" OVERALL LAM. ANOT. GLASS LAMINATED BY TRACOGLASS  
 5/16" OVERALL LAM. ANOT. GLASS LAMINATED BY TRACOGLASS

OSULTING ENGINEERING  
 441 NORTH DIKE HIGHWAY  
 7000  
 7000  
 7000  
 7000

TRACO SECURITY WINDOWS & DOORS INC.  
 71 PROGRESS AVENUE  
 CRANBERRY TOWNSHIP, PA 16166-3596  
 TEL (724) 778-7000

SHEET 1 OF 3  
 DRG: W99-62



MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2918

**NOTICE OF ACCEPTANCE (NOA)**

James Hardie Building Product, Inc.  
10901 Elm Avenue  
Fontana, CA 92337

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION: Hardiplank, Hardipanel and Hardisoffit**

**APPROVAL DOCUMENT:** Drawing No. HPNL-8X, HPLK-4X8 & HSOFFIT-8X, titled "Hardipanel, Hardiplank, & Hardisoffit Installation Details", sheets 1 through 3, prepared, signed and sealed by Ronald Ogawa, P.E., dated 4/13/99, bearing the Miami-Dade County Product Control Renewal stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING: Large and Small Missile Impact**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

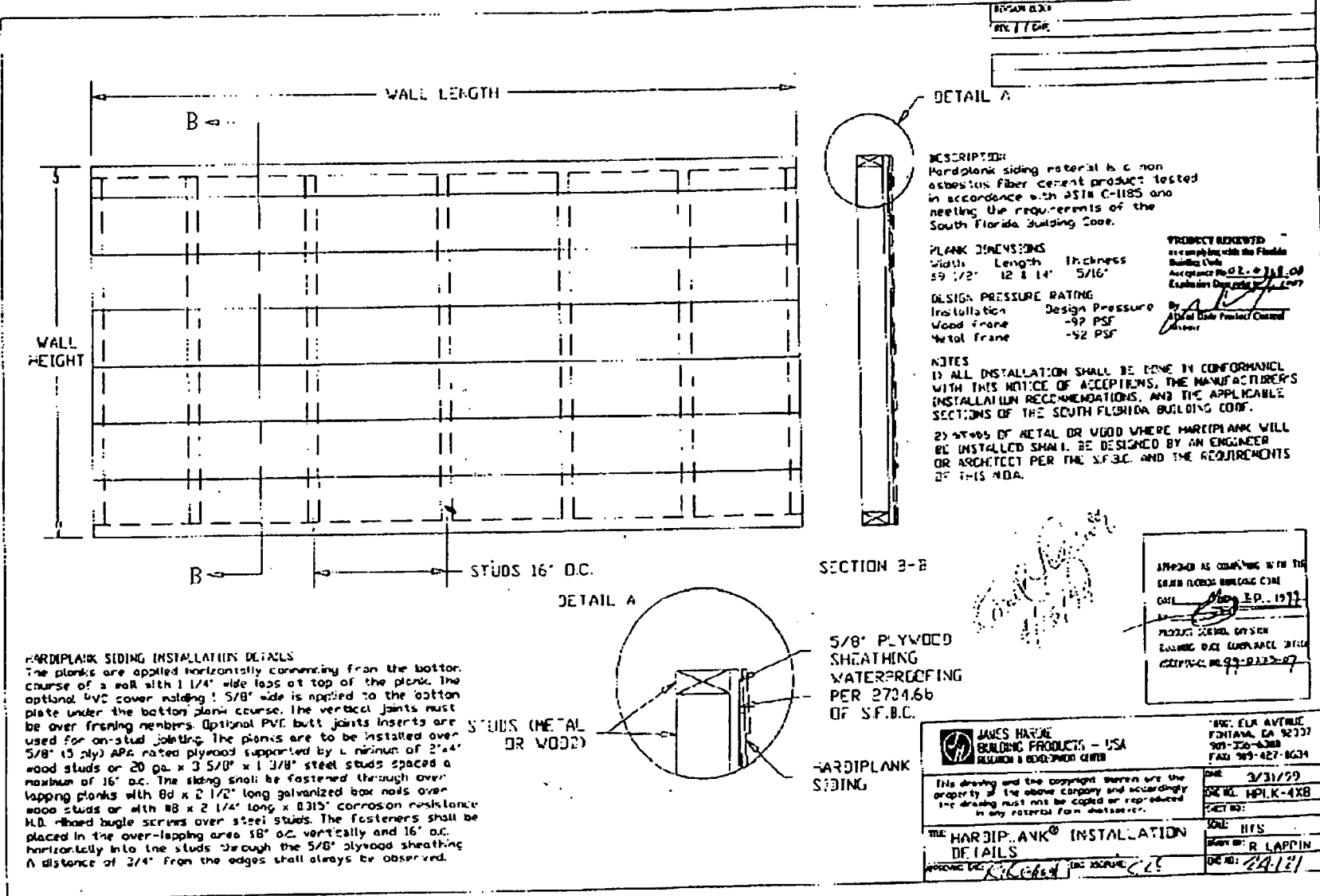
**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official. This NOA renews NOA # 99-0223.07 and, consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Raul Rodriguez.



FILE COPY  
FILE COPY  
TOWN OF SEWALL'S POINT  
THESE PLANS HAVE BEEN  
THESE PLANS HAVE BEEN  
REVIEWED FOR CODE COMPLIANCE  
REVIEWED FOR CODE COMPLIANCE  
DATE: 11/14/02  
DATE: \_\_\_\_\_  
BUILDING OFFICIAL  
Gene Simmons  
Gene Simmons

NOA No 02-0318.08  
Expiration Date: May 1, 2007  
Approval Date: May 23, 2002  
Page 1



SECTION B-B  
 DETAIL A

**DESCRIPTION:**  
 Hardiplank siding material is a non asbestos fiber cement product tested in accordance with ASTM C-1185 and meeting the requirements of the South Florida Building Code.

**PLANK DIMENSIONS**  
 Width Length Thickness  
 59 1/2" 12 x 14" 5/16"

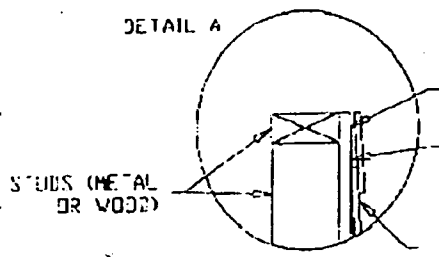
**PRODUCT REVIEWED**  
 as complying with the Florida Building Code Acceptance No. 02-0318-00 Evaluation Date: 04/11/02

**DESIGN PRESSURE RATING**  
 Installation Design Pressure  
 Wood frame -92 PSF  
 Metal frame -52 PSF

By: [Signature]  
 Attest: [Signature]

**NOTES**  
 1) ALL INSTALLATION SHALL BE DONE IN CONFORMANCE WITH THIS NOTICE OF ACCEPTIONS, THE MANUFACTURER'S INSTALLATION RECOMMENDATIONS, AND THE APPLICABLE SECTIONS OF THE SOUTH FLORIDA BUILDING CODE.  
 2) STUDS OF METAL OR WOOD WHERE HARDIPLANK WILL BE INSTALLED SHALL BE DESIGNED BY AN ENGINEER OR ARCHITECT PER THE S.F.B.C. AND THE REQUIREMENTS OF THIS MDA.

**HARDIPLANK SIDING INSTALLATION DETAILS**  
 The planks are applied horizontally commencing from the bottom course of a wall with 1/4" wide laps at top of the plank. The optional PVC cover molding 1/2" wide is applied to the bottom plate under the bottom plank course. The vertical joints must be over framing members. Optional PVC butt joints inserts are used for on-stud jointing. The planks are to be installed over 5/8" (5 ply) APA rated plywood supported by a minimum of 2"x4" wood studs or 20 ga. x 3 5/8" x 1 3/8" steel studs spaced a maximum of 16" o.c. The siding shall be fastened through overlapping planks with 8d x 2 1/2" long galvanized box nails over wood studs or with 18 x 2 1/4" long x 0.315" corrosion resistance H.D. ribbed bugle screws over steel studs. The fasteners shall be placed in the over-lapping area 18" o.c. vertically and 16" o.c. horizontally into the studs through the 5/8" plywood sheathing. A distance of 3/4" from the edges shall always be observed.



SECTION B-B

5/8" PLYWOOD SHEATHING WATERPROOFING PER 2704.66 OF S.F.B.C.

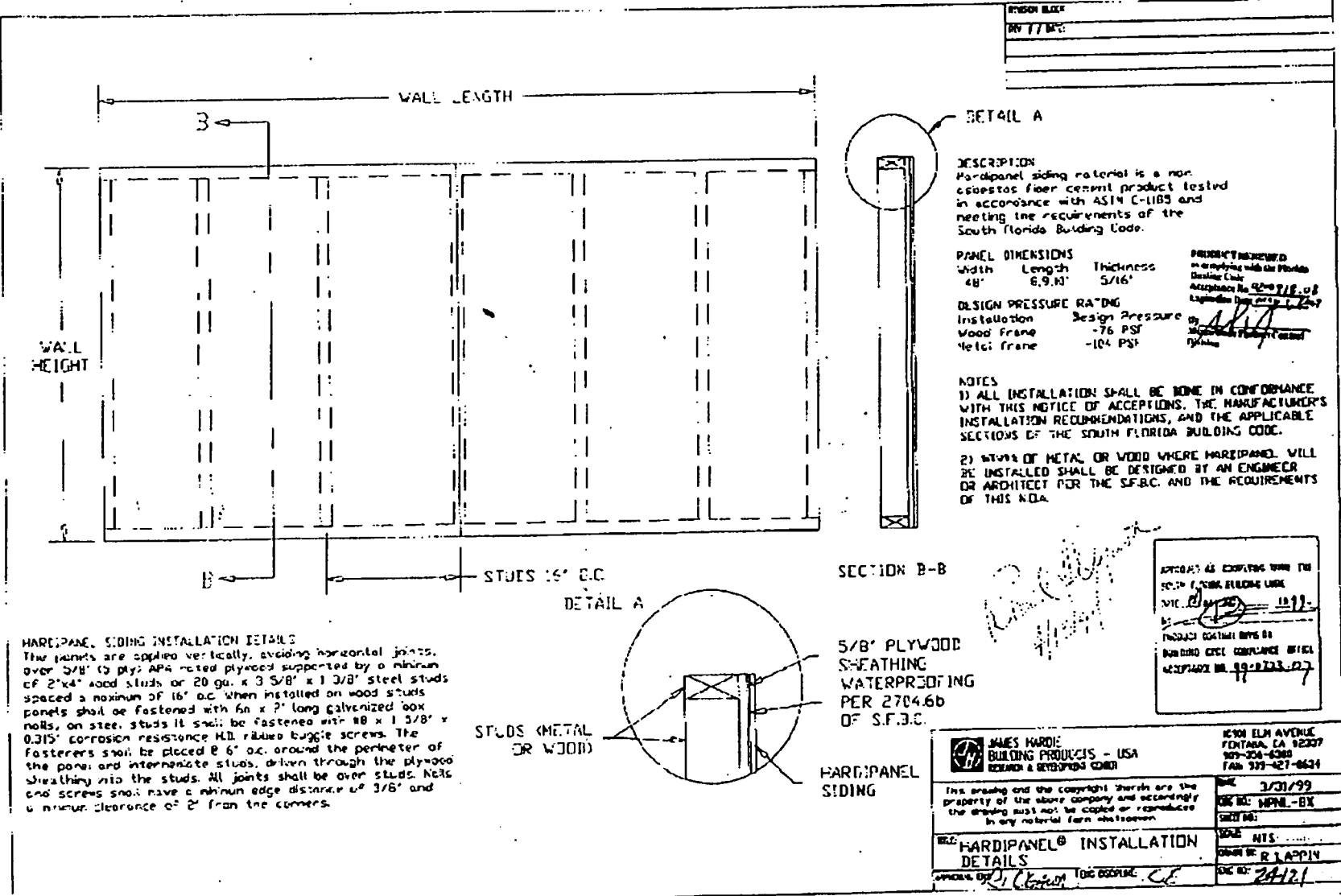
HARDIPLANK SIDING

*Handwritten notes:*  
 1/2" PVC cover molding  
 1/2" PVC butt joints inserts

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE  
 DATE: 04/11/02  
 PROJECT: [Signature]  
 ENGINEER: [Signature]  
 ACCEPTANCE NO. 02-0318-00

	800 ELK AVENUE FONTANA, CA 92337 951-226-6200 FAX 951-427-8634
	DATE: 3/31/99 DRAWING NO: HPI-K-4XB PROJECT:
THE HARDIPLANK® INSTALLATION DETAILS	DRAWN BY: R LAPPIN DATE: 2/9/97





**HARDIPANEL SIDING INSTALLATION DETAILS**  
 The panels are applied vertically, avoiding horizontal joints, over 3/8" (3 ply) APA rated plywood supported by a minimum of 2"x4" wood studs or 20 ga. x 3 5/8" x 1 3/8" steel studs spaced a maximum of 16' o.c. When installed on wood studs panels shall be fastened with 6n x 2" long galvanized oak nails, on steel studs it shall be fastened with 18 x 1 3/8" x 0.315" corrosion resistance H.U. ribbed bugle screws. The fasteners shall be placed @ 6" o.c. around the perimeter of the panel and intermediate studs, driven through the plywood sheathing into the studs. All joints shall be over studs. Nails and screws shall have a minimum edge distance of 3/8" and a minimum clearance of 2" from the corners.

**DESCRIPTION**  
 Hardipanel siding material is a non-asbestos fiber cement product tested in accordance with ASTM C-1185 and meeting the requirements of the South Florida Building Code.

**PANEL DIMENSIONS**  
 Width 48"  
 Length 6.9 ft  
 Thickness 5/16"

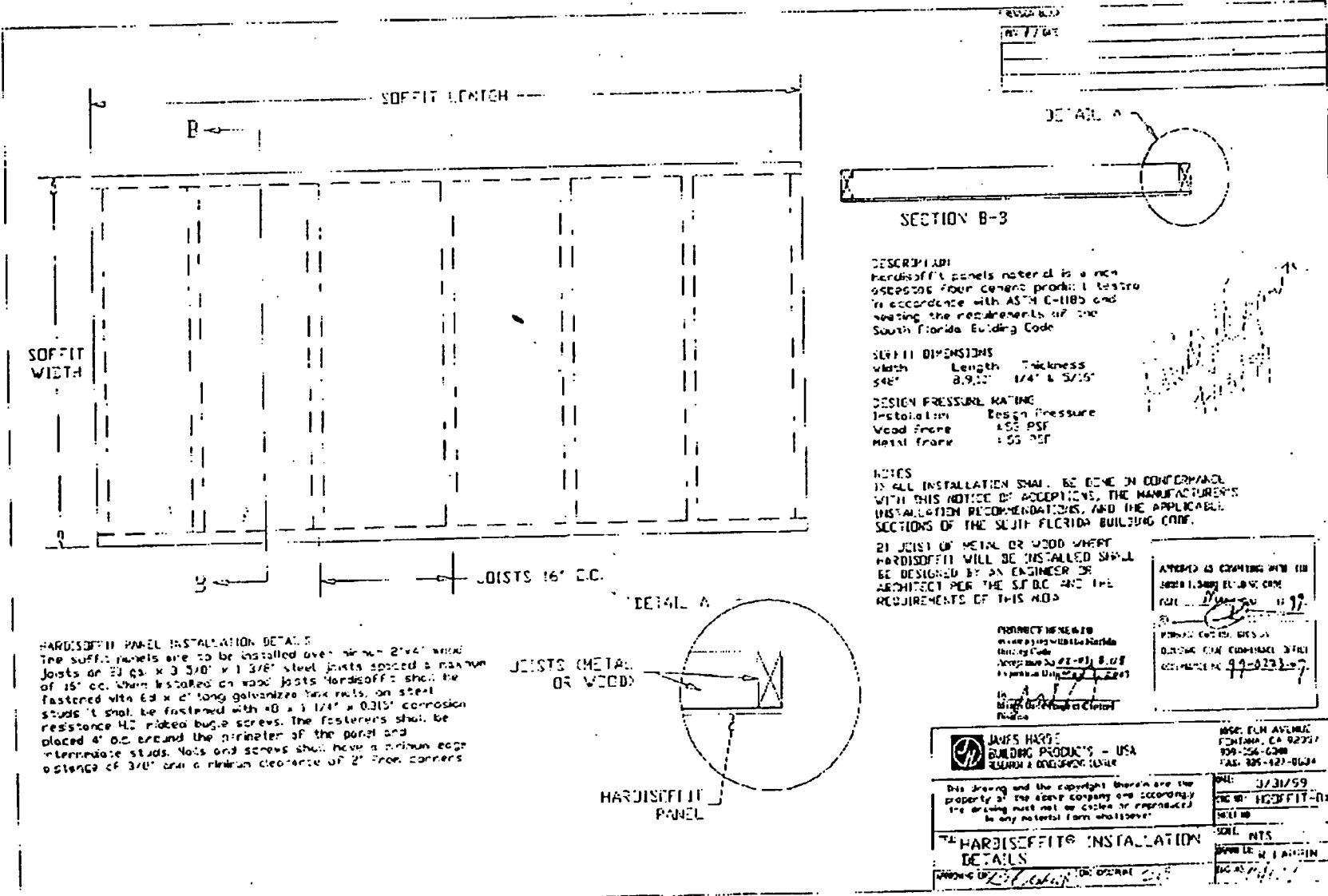
**PRODUCT INFORMATION**  
 Manufactured in compliance with the Florida Building Code  
 Acceptance No. 99-0118-08  
 Expiration Date 12/31/07

**DESIGN PRESSURE RATING**  
 Installation Design Pressure  
 Wood frame -76 PSF  
 Metal frame -104 PSF

- NOTES**
- 1) ALL INSTALLATION SHALL BE DONE IN CONFORMANCE WITH THIS NOTICE OF ACCEPTATIONS, THE MANUFACTURER'S INSTALLATION RECOMMENDATIONS, AND THE APPLICABLE SECTIONS OF THE SOUTH FLORIDA BUILDING CODE.
  - 2) DETAILS OF METAL OR WOOD WHERE HARDIPANEL WILL BE INSTALLED SHALL BE DESIGNED BY AN ENGINEER OR ARCHITECT PER THE S.F.B.C. AND THE REQUIREMENTS OF THIS NDA.

APPROVED AS EXHIBIT TO THE SOUTH FLORIDA BUILDING CODE  
 DATE 11/22/02  
 PRODUCT CONTROL DEPT. OF BUILDING CODE COMPLIANCE OFFICE  
 CERTIFICATE NO. 99-0118-08

<b>JAMES HARDIE BUILDING PRODUCTS - USA</b> RESEARCH & DEVELOPMENT CENTER	1501 ELIJAH AVENUE FONTANA, CA 92337 951-308-6300 FAX 951-327-8634
	DATE: 1/31/99 DRG NO: HDPNL-BX SHEET NO:
TITLE: HARDIPANEL® INSTALLATION DETAILS DRAWN BY: R. LAPPIN CHECKED BY: J. [unclear]	DATE: N/A DATE: R. LAPPIN DATE: 2/12/01

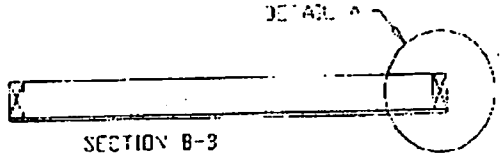


**HARDSOFFIT PANEL INSTALLATION DETAILS**  
 The soffit panels are to be installed over a minimum 2"x4" wood joists or 20 ga. x 3 3/8" x 1 3/8" steel joists spaced a maximum of 16" o.c. When installed on wood joists Hardsoffit shall be fastened with Ed x 2" long galvanized hex nails on steel studs. It shall be fastened with #8 x 1 1/4" x 0.315" corrosion resistance HD ricked bugle screws. The fasteners shall be placed 4" o.c. around the perimeter of the panel and intermediate studs. Nails and screws shall have a minimum edge distance of 3/8" and a minimum clearance of 2" from corners.

JOISTS (METAL OR WOOD)

HARDSOFFIT PANEL

PROJECT NO.	
DATE	11/22/02
REVISION	
BY	
CHECKED	



**DESCRIPTION**  
 Hardsoffit panels material is a non-organic fiber cement product tested in accordance with ASTM C-1185 and meeting the requirements of the South Florida Building Code.

**SOFFIT DIMENSIONS**

Width	Length	Thickness
54"	8,9,10"	1/4" & 5/16"

**DESIGN PRESSURE RATING**

Installation	Design Pressure
Wood Frame	+55 PSF
Metal Frame	+55 PSF

**NOTES**  
 1. ALL INSTALLATION SHALL BE DONE IN CONFORMANCE WITH THIS NOTICE OF ACCEPTANCE, THE MANUFACTURER'S INSTALLATION RECOMMENDATIONS, AND THE APPLICABLE SECTIONS OF THE SOUTH FLORIDA BUILDING CODE.

2. JOISTS OF METAL OR WOOD WHERE HARDSOFFIT WILL BE INSTALLED SHALL BE DESIGNED BY AN ENGINEER OR ARCHITECT PER THE S.F.B.C. AND THE REQUIREMENTS OF THIS M.O.A.

ATTESTED AS CORRECTING WITH THE SHEET I, SIGNATURE AND DATE  
 DATE: 11/22/02  
 PROJECT NO. 5612194874  
 DRAWING NO. HARDSOFFIT-01  
 SCALE: AS SHOWN

**INDIRECT WIND LOAD**  
 Designing with Hardsoffit Building Code  
 Acceptance 2001-03, B.U.B.  
 11/22/02  
 In: [Signature]  
 Building Code Inspector  
 Florida

**JAMES HARDIE BUILDING PRODUCTS - USA**  
 RETURN A DESIGNER'S LETTER  
 10000 ELM AVENUE  
 FORT WORTH, TX 76117  
 817-256-0200  
 FAX: 817-427-0604

This drawing and the copyright therein are the property of the above company and accordingly the drawing must not be copied or reproduced in any material form whatsoever.

**HARDSOFFIT® INSTALLATION DETAILS**  
 DATE: 11/21/99  
 DRAWING NO: HARDSOFFIT-01  
 SCALE: NTS  
 DRAWN BY: J. J. JENSEN  
 CHECKED BY: [Signature]

# HARDIPLANK® LAP SIDING INSTALLATION INSTRUCTIONS



**James Hardie®**

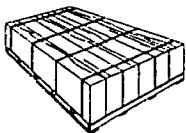
JANUARY 2003

**RUSTIC • SELECT CEDARMILL® • SMOOTH • COLONIAL SMOOTH™ • COLONIAL ROUGHSAWN™ • BEADED CEDARMILL • BEADED SMOOTH**

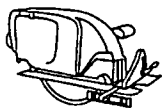
**IMPORTANT: FAILURE TO INSTALL AND FINISH HARDIPLANK® IN ACCORDANCE WITH APPLICABLE BUILDING CODE COMPLIANCE REPORTS AND JAMES HARDIE'S WRITTEN APPLICATION INSTRUCTIONS, MAY AFFECT SYSTEM PERFORMANCE, VIOLATE LOCAL BUILDING CODES REQUIREMENTS, AND VOID THE PRODUCT ONLY WARRANTY.**

## HANDLING & STORAGE:

Store flat and keep dry prior to installation. Installing siding wet or saturated may result in shrinkage at butt joints. Carry planks on edge.



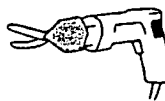
## CUTTING OPTIONS:



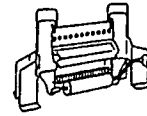
Circular saw with dust collector



Circular saw blade with carbide-tipped teeth



Electric or pneumatic hand shear



Pneumatic shear



Carbide score and snap knife



- ▲ JH recommends Makita® #5044KB 4" or #5057KB 7-1/4" saw with dust collection. Call 800-4MAKITA.
- ▲ Hitachi® HARDIBLADE™ w/4 PCD Diamond Teeth. Call Hitachi® at 800-546-1666 for nearest dealer.
- ▲ SNAPPER SHEAR™ electric, pneumatic, or hand shear. Call 800-297-7487 for tool information.

Always wear safety glasses and dust protection when operating power tools. For more information on avoiding inhalation refer to the MATERIAL SAFETY DATA SHEET available wherever James Hardie fiber-cement products are sold.

## FRAMING REQUIREMENTS:

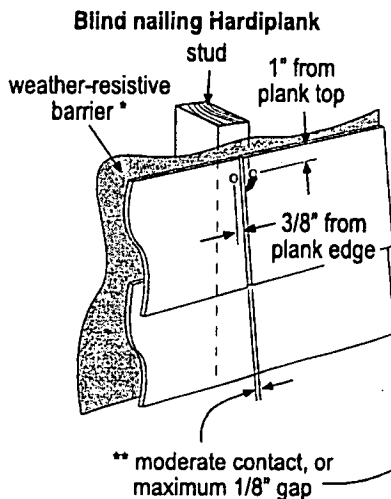
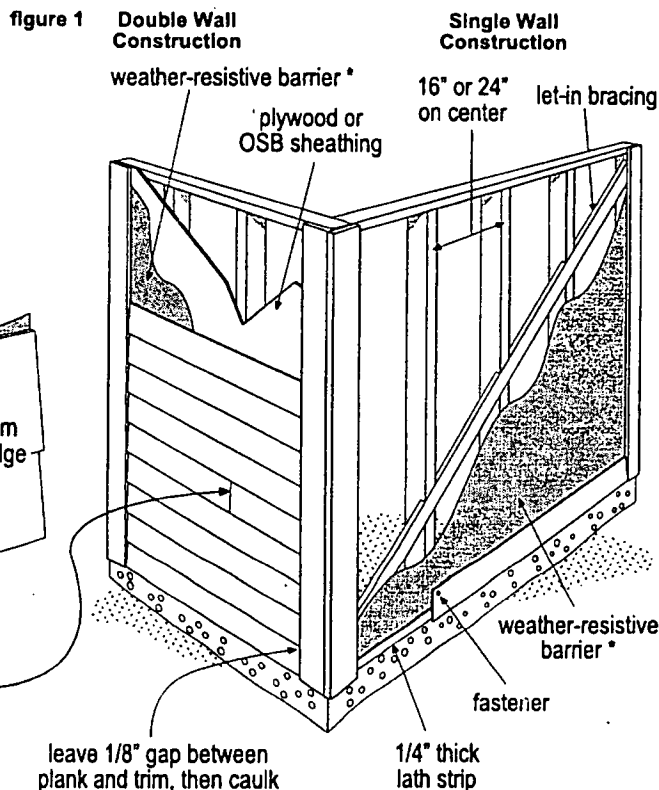
Hardiplank lap siding can be installed over braced wood or steel studs spaced a maximum of 24" o.c. or directly to minimum 7/16" thick OSB sheathing. Hardiplank lap siding can also be installed over foam insulation up to 1" thick. † Irregularities in framing, sheathing, and/or foam insulation can mirror through the finished application. A weather-resistant barrier is required \*. Install Hardiplank siding with joints butted in moderate contact. Optionally, install the lap siding with a maximum 1/8" gap and caulk the joint \*\* (see detail at right).

The first course of any wall should be installed over a 1/4" lath strip to ensure a consistent plank angle (see figure 1).

† For application over foam insulation, the length of the specified fastener shall be increased by the thickness of the foam insulation.

\* Use a weather-resistant barrier in accordance with: BOCA National Building Code Section 1403.3; SBCCI Standard Building Code Section 2303.3; ICBO Uniform Building Code Section 1402.1; or CABO One-and-Two Family Dwelling Code Section 703.2.1.

NOTE: Some Building Codes exempt the use of weather-resistant barriers over "water-repellent panel sheathing" or exterior panels classified as "weather-resistant barriers". James Hardie recommends the use of "building paper type" weather-resistant barriers with all siding products. James Hardie will assume no responsibility for water infiltration within the wall.



leave 1/8" gap between plank and trim, then caulk

1/4" thick lath strip



James Hardie's seal of approval indicates products recommended for use by James Hardie Building Products

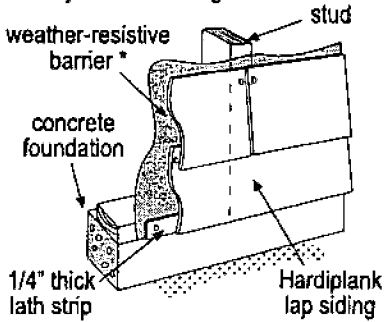
## WARNING: AVOID BREATHING SILICA DUST

Product contains Silica. Inhalation of respirable silica dust can cause silicosis a potentially disabling lung disease, and is known to the State of California to cause lung cancer. When drilling, cutting, or abrading product during installation or handling, (1) Work outdoors where feasible, otherwise use mechanical ventilation, (2) Wear a dust mask or, if dust may exceed PEL, use NIOSH approved respirator, (3) Warn others in area. For further information, refer to material safety data sheet or consult employer.

**FAILURE TO ADHERE TO WARNINGS, MSDS, AND INSTALLATION INSTRUCTIONS MAY LEAD TO SERIOUS PERSONAL INJURY.**

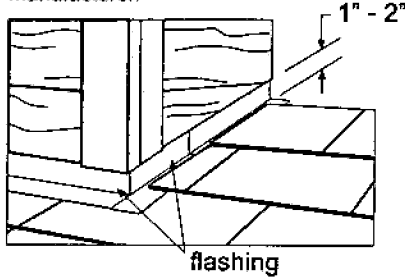
**GRADE CLEARANCE** figure 2

Install Hardipanel/Hardiplank in compliance with local Building Code requirements for clearance between the bottom edge of panel/framing and the adjacent finished grade.



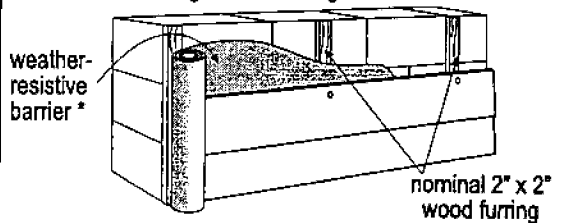
**ROOF CLEARANCE** figure 3

At the juncture of the roof and vertical surfaces, flashing and counterflashing shall be provided per the roofing manufacturer's instructions. Provide a 1" - 2" clearance between the roofing and bottom edge of siding or as recommended by the roofing manufacturer.



**CONCRETE CONSTRUCTION** figure 4

Hardiplank siding can be installed directly to masonry block. Hardiplank siding can also be installed to concrete construction, when the wall is furred out with wood framing or minimum No. 20 gauge steel framing anchored to the wall. Framing can be spaced up to 24" OC. Consult National Evaluation Service report NER-405 for recognized applications to masonry block and wood or metal framing. A weather-resistive barrier\* is recommended between the framing and the siding.



**FACE NAIL** figure 5

**Corrosion Resistant Nails (galvanized or stainless steel)**

- 6d (0.118" shank x 0.267" HD x 2" long)
- Siding nail (0.089" shank x 0.221" HD x 2" long) \*\*
- Siding nail (0.091" shank x 0.221" HD x 1 1/2" long) ‡
- ET & F pin (0.100" shank x 0.25" HD x 1 1/2" long)\*\*

**Corrosion Resistant Screws**

- Ribbed Bugle-head or equivalent (No. 8-18 x 0.323" HD x 1 5/8" long) Screws must penetrate 1/4" or 3 threads into metal framing.

**BLIND NAIL** figure 6

**Corrosion Resistant Nails (galvanized or stainless steel)**

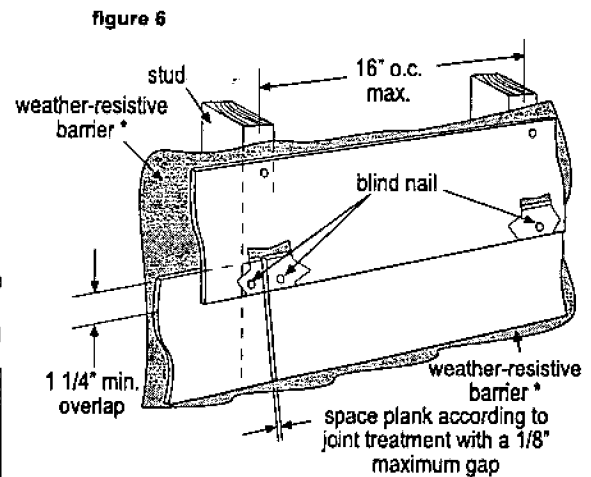
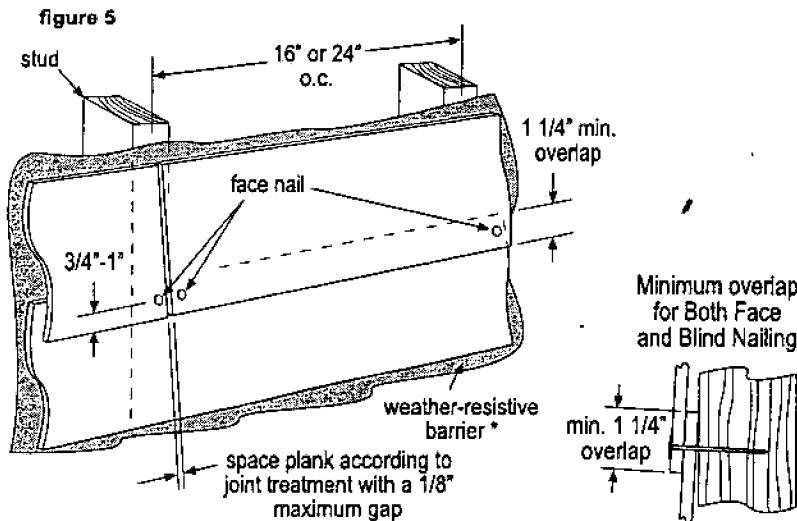
- Siding nail (0.089" shank x 0.221" HD x 2" long) \*\*
- 11ga. roofing nail (0.121" shank x 0.371" HD x 1 1/4" L)
- ET & F Panelfast™ (0.100" shank x 0.25" HD x 1 1/2" long)\*\*

**Corrosion Resistant Screws**

- Ribbed Bugle-head or equivalent (No. 8-18 x 0.323" HD x 1 5/8" long) Screws must penetrate 1/4" or 3 threads into metal framing.

‡ For face nail application of 9 1/2" wide or less siding to OSB, fasteners are spaced a maximum of 12" o.c.

\*\* The use of a siding nail or roofing nail may not be applicable to all installations where greater windloads or higher exposure categories of wind resistance is required by the Local Building Code. Consult the applicable Building Code Compliance Report.



**PNEUMATIC FASTENING:**

Hardiplank can be hand nailed or fastened with the use of a pneumatic tool. Set your air pressure so that the fastener is driven snug with the shingle surface.

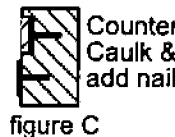
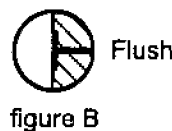
**RECOMMENDED:**

Use a flush mount attachment on pneumatic tool. This will help control the depth that the nail is driven. This will be especially helpful when more than one pneumatic tool is driven off the same compressor.



**FASTENING REQUIREMENTS:**

- Drive fasteners perpendicular to siding and framing.
- Fastener heads should fit snug against siding (no air space). (Fig. A & B)
- Do not over-drive nail heads or drive nails at an angle.
- If nail is countersunk, caulk nail hole and add a nail. (Fig. C)



**NAIL TYPE:**

Fasteners must be corrosion resistant, galvanized or stainless steel. Electro-galvanized nails are acceptable for use with James Hardie Siding Products, but may exhibit premature corrosion. James Hardie recommends the use of quality, hot-dipped galvanized nails. (James Hardie is not responsible for the corrosion resistance of fasteners.)

## COVERAGE CHART/ESTIMATING GUIDE

1. Figures shown are in pieces - all 12' long 2. 5% cutting and fitting waste factor included 3. Computations based on minimum overlap of 1-1/4" 4. Actual usage subject to variables such as building design and installers

COVERAGE AREA LESS OPENINGS		HARDIPLANK® WIDTH								
		(exposure)	5-1/4" (4")	6-1/4" (5")	7-1/4" (6")	7-1/2" (6-1/4")	8" (6-3/4")	8-1/4" (7")	9-1/4" (8")	9-1/2" (8-1/4")
100 sf	1 SQ	26	21	18	17	16	15	13	13	10
200 sf	2 SQ	53	42	35	34	31	30	26	25	20
300 sf	3 SQ	79	63	53	50	47	45	39	38	29
400 sf	4 SQ	105	84	70	67	62	60	53	51	39
500 sf	5 SQ	131	105	88	84	78	75	66	64	49
600 sf	6 SQ	158	126	105	101	93	90	79	76	59
700 sf	7 SQ	184	147	123	118	109	108	92	89	68
800 sf	8 SQ	210	168	140	134	124	120	105	102	78
900 sf	9 SQ	236	189	158	151	140	135	118	115	88
1000 sf	10 SQ	263	210	175	168	156	150	131	127	98
1100 sf	11 SQ	289	231	193	185	171	165	144	140	107
1200 sf	12 SQ	315	252	210	202	187	180	158	153	117
1300 sf	13 SQ	341	273	228	218	202	195	171	165	127
1400 sf	14 SQ	368	294	245	235	218	210	184	178	137
1500 sf	15 SQ	394	315	263	252	233	225	197	191	147
1600 sf	16 SQ	420	336	280	269	249	240	210	204	156
1700 sf	17 SQ	446	357	298	286	264	255	223	216	166
1800 sf	18 SQ	473	378	315	302	280	270	236	229	176
1900 sf	19 SQ	499	399	333	319	296	285	249	242	186
2000 sf	20 SQ	525	420	350	336	311	300	263	255	195
2100 sf	21 SQ	551	441	368	353	327	315	276	267	205
2200 sf	22 SQ	578	462	385	370	342	330	289	280	215
2300 sf	23 SQ	604	483	403	386	358	345	302	293	225
2400 sf	24 SQ	630	504	420	403	373	360	315	305	234
2500 sf	25 SQ	656	525	438	420	389	375	328	318	244
2600 sf	26 SQ	683	546	455	437	404	390	341	331	254
2700 sf	27 SQ	709	567	473	454	420	405	354	344	264
2800 sf	28 SQ	735	588	490	470	436	420	368	356	273
2900 sf	29 SQ	761	609	508	487	451	435	381	369	283
3000 sf	30 SQ	788	630	525	504	467	450	394	382	293

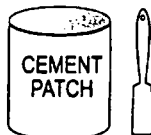
NOTES AND CALCULATIONS: ((sq ft + exposure) x 1.05 = number of boards)

*Assume 1400 SF = 235 boards*

### FINISHING HARDIPLANK:

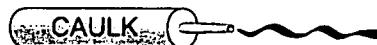
#### Patching:

Dents, chips and cracks can be filled with a cementitious patching compound.



#### Caulking:

A high quality, paintable caulk is recommended. For best results use caulks that comply with either ASTM C 834 or ASTM C 920. Caulking should be applied in accordance with caulking manufacturers written instructions. (Leave 1/8" gap at trim for caulk. Caulking at butt joints is optional.)

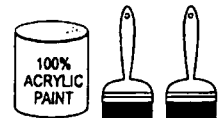


#### Painting:

James Hardie products must be painted. For best results install Hardiplank siding with our exclusive Prime Plus™ factory priming system and a 100% acrylic topcoat (s). \* If our Prime Plus™ factory priming is not being used, Hardie recommends the application of an alkali-resistant primer along with 100% acrylic topcoat (s).

(For paint manufacturer's paint specifications, refer to JH Technical Bulletin No. S-100.)

\*Note: Please refer to paint manufacturers' specifications for application rates.



APPROVALS: HARDIPLANK lap siding is recognized as an exterior wall cladding in National Evaluation Report No. NER405: City of Los Angeles, Research Report No. 24862; Dade County, Florida, Acceptance No. 99-0223.07, US Dept. of HUD Materials Release 1263a, California DSA PS-019 and City of New York MEA 223-93-M. These documents should also be consulted for additional information concerning the suitability of this product for specific applications.

Corporate Headquarters  
26300 La Alameda, Suite 250  
Mission Viejo, CA 92691  
© 2003 James Hardie Building Products  
Printed in USA

For Technical Assistance, MSDS,  
and Product Information  
Call 1-800-9HARDIE  
(1-800-942-7343)  
www.jameshardie.com



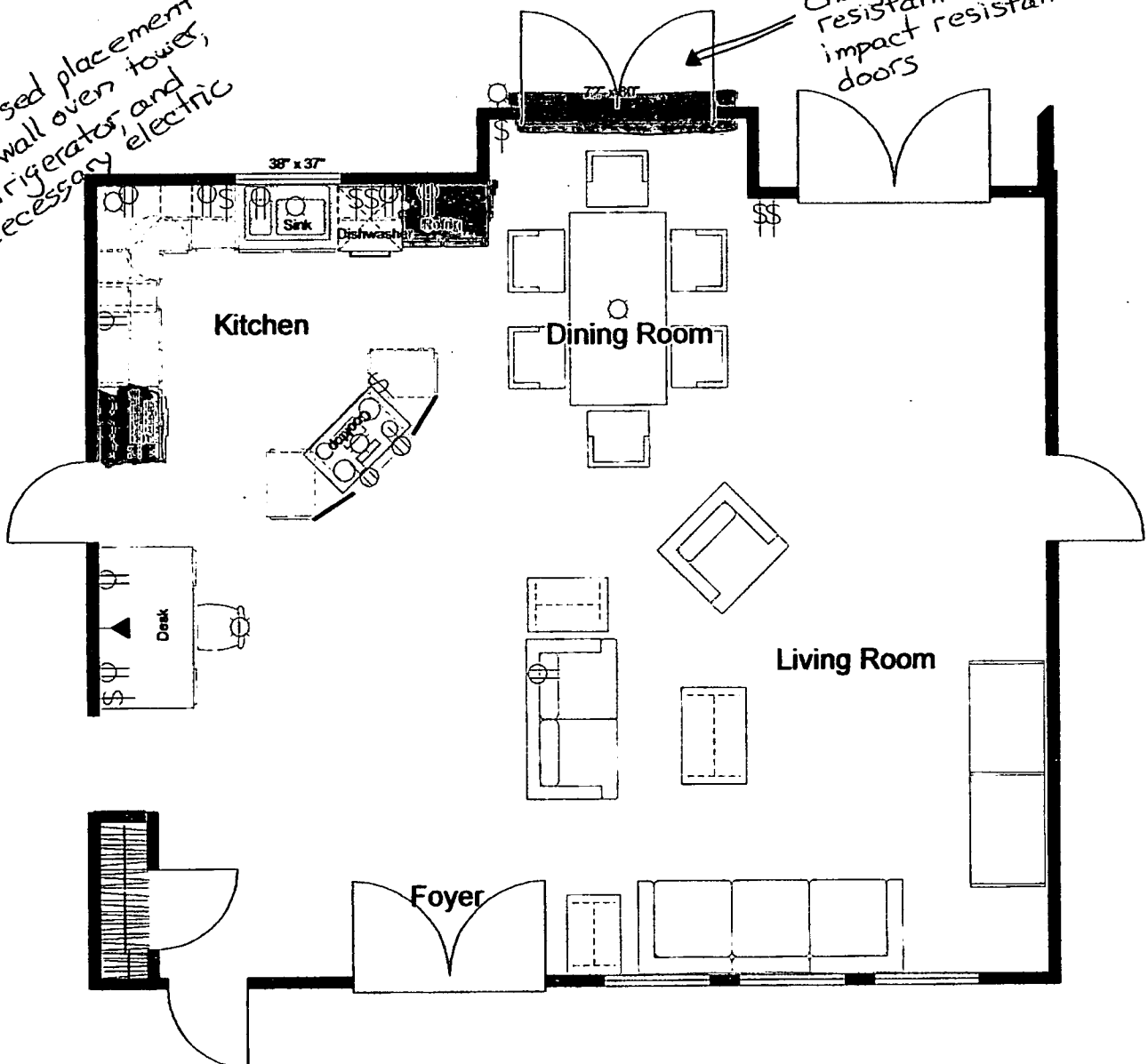
**James Hardie®**

JH91513SL 2/03

# 6 Palm Road Residence

reversed placement of wall oven, refrigerator, and necessary electric

Changed from TRACO impact resistant slider to TRACO impact resistant swinging doors



Scale 3/16" = 1'

Revision 7163

FILE COPY  
TOWN OF SEWALL'S POINT  
THESE PLANS HAVE BEEN  
REVIEWED FOR CODE COMPLIANCE

DATE: 4/4/05

*[Signature]*  
BUILDING OFFICIAL  
Gene Simmons



**MIAMI-DADE**  
**BUILDING CODE COMPLIANCE OFFICE (BCCO)**  
**PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA**  
**METRO-DADE FLAGLER BUILDING**  
**140 WEST FLAGLER STREET, SUITE 1603**  
**MIAMI, FLORIDA 33130-1563**  
**(305) 375-2901 FAX (305) 375-2908**

**NOTICE OF ACCEPTANCE (NOA)**

**Traco Windows & Doors**  
**71 Progress Avenue**  
**Cranberry Township, PA 16066**

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

**DESCRIPTION: Series "Doral 3" Outswing Aluminum Patio Door (L.M.I.)**

**APPROVAL DOCUMENT:** Drawing No. 04-113-001A, dated 1/21/04, titled "Series "Doral 3" Outswing Aluminum Patio Door -L.M.I.", sheets 1 through 6 of 6, prepared by Traco Windows & Doors Inc., signed and sealed by Frank L. Bennardo, P.E., bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING: Large Missile Impact**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.


**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of this page 1 and evidence page E-1 and E-2, as well as approval document mentioned above. The submitted documentation was reviewed by **Theodore Berman, P.E.**

3/31/2004 

**NOA No 04-0122.17**  
**Expiration Date: April 22, 2009**  
**Approval Date: April 22, 2004**  
**Page 1**

**Traco Windows & Doors Inc.**

**NOTICE OF ACCEPTANCE: EVIDENCE PAGE**

**A. DRAWINGS**

1. Manufacturer's die drawings and sections.
2. Drawing No. 04-113-001A, 1/21/04, titled "Series Doral 3 Outswing Aluminum Patio Door -L.M.I.", sheets 1 through 6 of 6, prepared by Traco Windows & Doors Inc., signed and sealed by Frank L. Bennardo, P.E.

**B. TESTS**

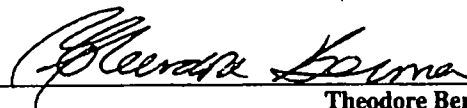
1. Test reports on
  - 1) Air Infiltration Test, per FBC, TAS 202-94
  - 2) Uniform Static Air Pressure Test, Loading per FBC, TAS 202-94
  - 3) Water Resistance Test, per FBC, TAS 202-94
  - 4) Large Missile Impact Test per FBC, TAS 201-94
  - 5) Cyclic Wind Pressure Loading per FBC, TAS 203-94
  - 6) Forced Entry Test, per FBC 2411 3.2.1 and TAS 202-94Along with installation diagram of an outswinging aluminum patio door, prepared by Hurricane Test Laboratory, Inc., Test Report No.0021-1007-03 with specimen number 2, 4, 6, dated 10/29-11/25/03, signed and sealed by Vinu J. Abraham, P.E.
2. Test reports on
  - 1) Uniform Static Air Pressure Test, Loading per FBC, TAS 202-94
  - 2) Cyclic Wind Pressure Loading per FBC, TAS 203-94
  - 3) Small Missile Impact Test per FBC, TAS 201-94Along with installation diagram of an outswinging aluminum patio door, prepared by Hurricane Test Laboratory, Inc., Test Report No.0021-1007-03 with specimen number 5, dated 11/18-19/03, signed and sealed by Vinu J. Abraham, P.E.
3. Test reports on
  - 1) Uniform Static Air Pressure Test, Loading per FBC, TAS 202-94
  - 2) Cyclic Wind Pressure Loading per FBC, TAS 203-94
  - 3) Large Missile Impact Test per FBC, TAS 201-94Along with installation diagram of an outswinging aluminum patio door, prepared by Hurricane Test Laboratory, Inc., Test Report No.0021-1007-03 with specimen number 1, dated 10/14-16/03, signed and sealed by Vinu J. Abraham, P.E.

**C. CALCULATIONS**

1. Anchor Calculations, ASTM-E 1300, and structural analysis, prepared signed and sealed by Frank L. Bennardo, P.E., dated 1/16/04.

**D. QUALITY ASSURANCE**

1. Miami Dade Building Code Compliance Office (BCCO).



Theodore Berman, P.E.

Deputy Director, Product Control Division

NOA No 04-0122.17

Expiration Date: April 22, 2009

Approval Date: April 22, 2004



**Traco Windows & Doors Inc.**

**NOTICE OF ACCEPTANCE: EVIDENCE PAGE**

**E. MATERIAL CERTIFICATIONS**

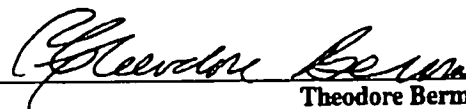
1. Notice of Acceptance No. **01-0205.02** issued to "Solutia Inc." for "SaflexIIG PVB Interlayer for Laminated Glass" dated 05/17/01, expiring on 05/21/06.

**F. STATEMENTS**

1. Statement letter of code compliance, dated January 16, 2004, signed and sealed by Frank L. Bennardo, P.E.
2. Statement letter of no financial interest, dated January 16, 2004, signed and sealed by Frank L. Bennardo, P.E.

**G. STATEMENTS**

1. Letter from consultant stating that the product is in compliance with the Florida Building Code (FBC).

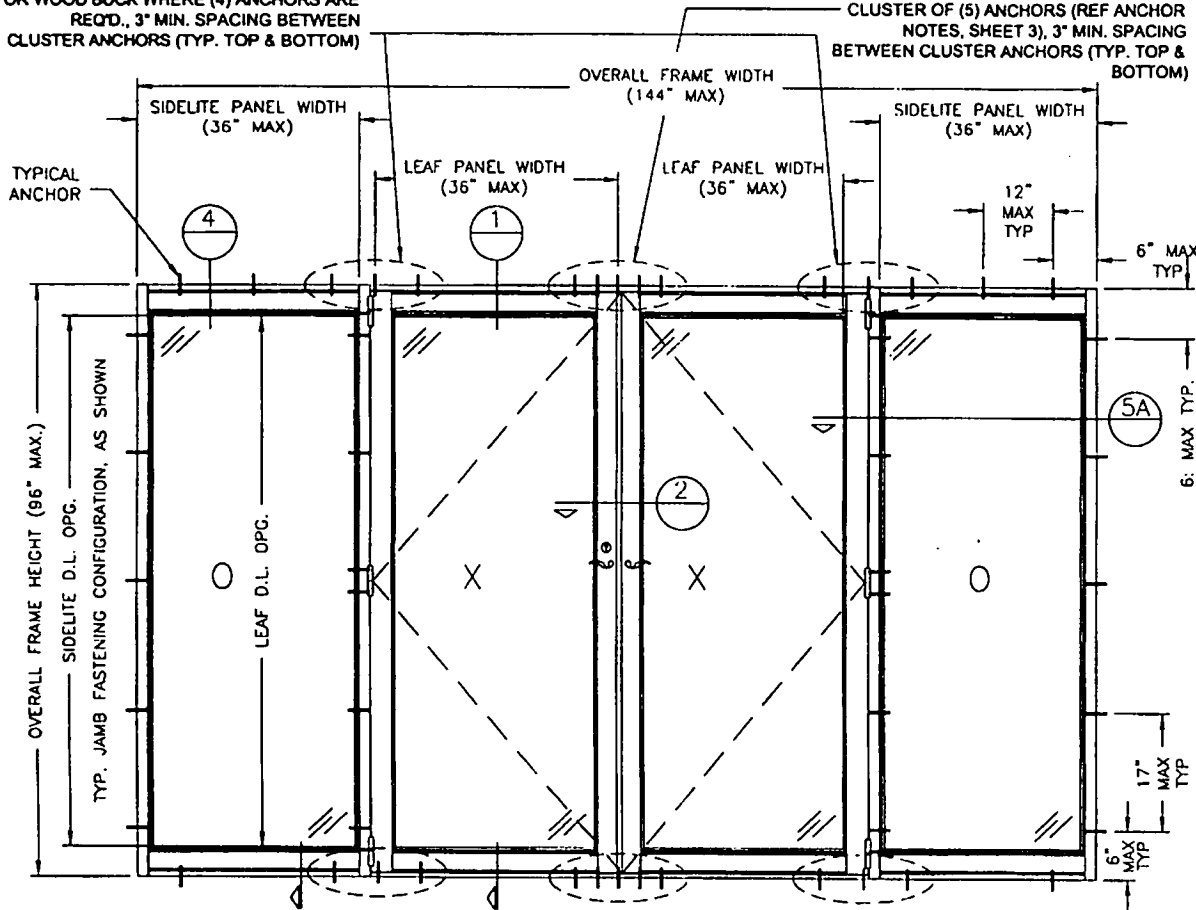


Theodore Berman, P.E.  
Deputy Director, Product Control Division  
NOA No 04-0122.17  
Expiration Date: April 22, 2009  
Approval Date: April 22, 2004

CLUSTER OF (3) ANCHORS (REF ANCHOR NOTES, SHEET 3), AS SHOWN, EXCEPT FOR #12 SCREW OR 3/16" TAPCON INTO WOOD OR WOOD BUCK WHERE (4) ANCHORS ARE REQ'D., 3" MIN. SPACING BETWEEN CLUSTER ANCHORS (TYP. TOP & BOTTOM)

### LARGE MISSILE IMPACT RESISTANT OUTSWING DOOR WITH SIDELITES

CLUSTER OF (5) ANCHORS (REF ANCHOR NOTES, SHEET 3), 3" MIN. SPACING BETWEEN CLUSTER ANCHORS (TYP. TOP & BOTTOM)



#### GENERAL NOTES:

1. THE SWING DOOR SYSTEM DESCRIBED HEREIN HAS BEEN DESIGNED AND TESTED IN COMPLIANCE WITH THE FLORIDA BUILDING CODE 2001 (HIGH VELOCITY HURRICANE ZONE) AND MIAMI-DADE COUNTY PROTOCOLS TAS 201, 202 & 203.
2. A 33-1/3% INCREASE IN ALLOWABLE STRESS HAS BEEN USED IN THE DESIGN OF THIS DOOR SYSTEM.
3. POSITIVE AND NEGATIVE DESIGN PRESSURES CALCULATED FOR USE WITH THIS DOOR SYSTEM SHALL BE DETERMINED BY OTHERS ON A JOB-SPECIFIC BASIS IN ACCORDANCE WITH THE GOVERNING CODE.
4. THE DOOR SYSTEM DETAILED HEREIN HAS BEEN TESTED PER MIAMI-DADE COUNTY PROTOCOLS TAS-201, TAS-202, & TAS-203 AS REFERENCED IN TEST REPORT #0021-1007-03 BY HURRICANE TEST LABORATORY (HTL).
5. THE DOOR SYSTEM DETAILED HEREIN IS GENERIC AND DOES NOT PROVIDE INFORMATION FOR A SPECIFIC SITE. FOR SITE CONDITIONS DIFFERENT FROM THE CONDITIONS DETAILED HEREIN, A LICENSED ENGINEER OR REGISTERED ARCHITECT SHALL APPLY FOR ONE-TIME APPROVAL AND PREPARE SITE SPECIFIC DOCUMENTS FOR USE IN CONJUNCTION WITH THIS DOCUMENT.
6. PERMIT HOLDER SHALL VERIFY THE ADEQUACY OF THE EXISTING STRUCTURE TO WITHSTAND SUPERIMPOSED LOADS. WOOD BUCKS (NOT BY TRACO) SHALL BE ANCHORED PROPERLY TO TRANSFER LOADS TO THE EXISTING STRUCTURE.
7. DOORS PANELS GLAZED WITH 7/16" LAMINATED GLASS ARE LARGE MISSILE IMPACT APPROVED. NO PROTECTION REQUIRED FOR ALL INSTALLATIONS.
8. ALL STEEL IN CONTACT WITH ALUMINUM SHALL BE PAINTED OR PLATED.

Approved as existing with the  
 Plans by reference to  
 Date: 01/22/04  
 Name: [Signature]  
 Title: [Signature]  
 By: [Signature]

**A** EXTERIOR ELEVATION: SNAP-MULLION SIDELITES  
 AS SHOWN, OR OXX, XXO, OXO, XO, OX, or XX CONFIG  
 USE TYP. JAMB FASTENING CONFIGURATION FOR ALL CASES, AS SHOWN  
 (N.T.S.)

**DESIGN PRESSURES:**  
 +55 PSF / -60 PSF

MAR 25 2004

FRANK L. BERNARDO, P.E.  
 CONSULTING ENGINEER  
 4441 NORTH DIXIE HIGHWAY  
 BOCA RATON, FL 33431  
 (954) 391-2800 FAX: (561) 391-2862  
 WWW.FLENGINEERING.COM  
 EMAIL: FRANK@FLENGINEERING.COM

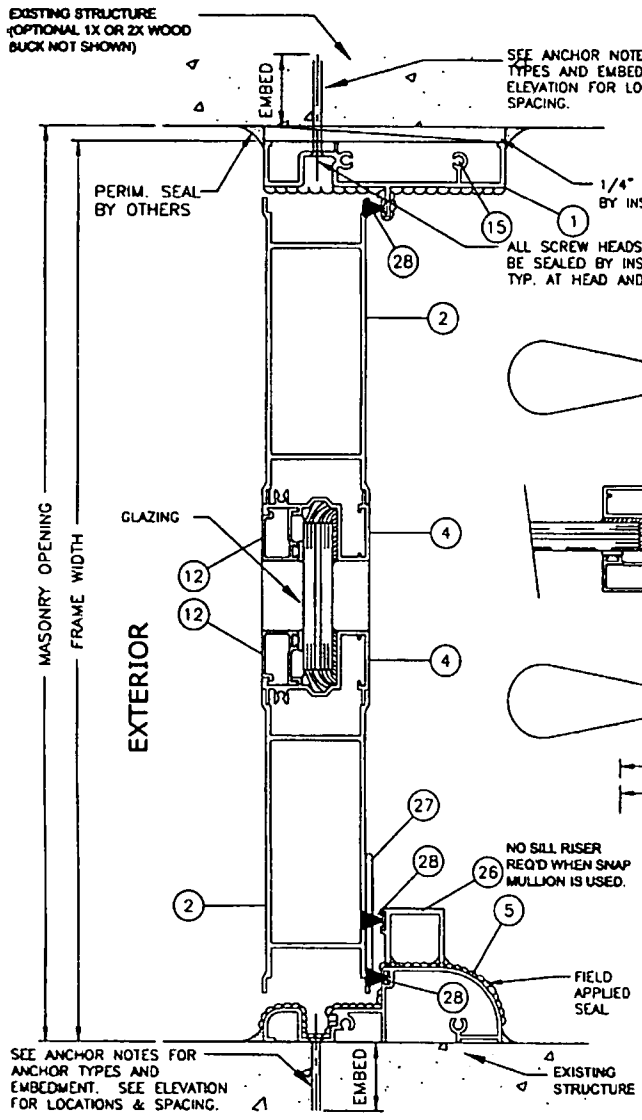
71 Progress Avenue,  
 Cranberry Township, PA 16166  
 Tel: (724) 776-1000

**TRACO**  
 Windows & Doors Inc.  
 SERIES DORAL 3 OUTSWING ALUMINUM  
 PATIO DOOR (LARGE MISSILE)

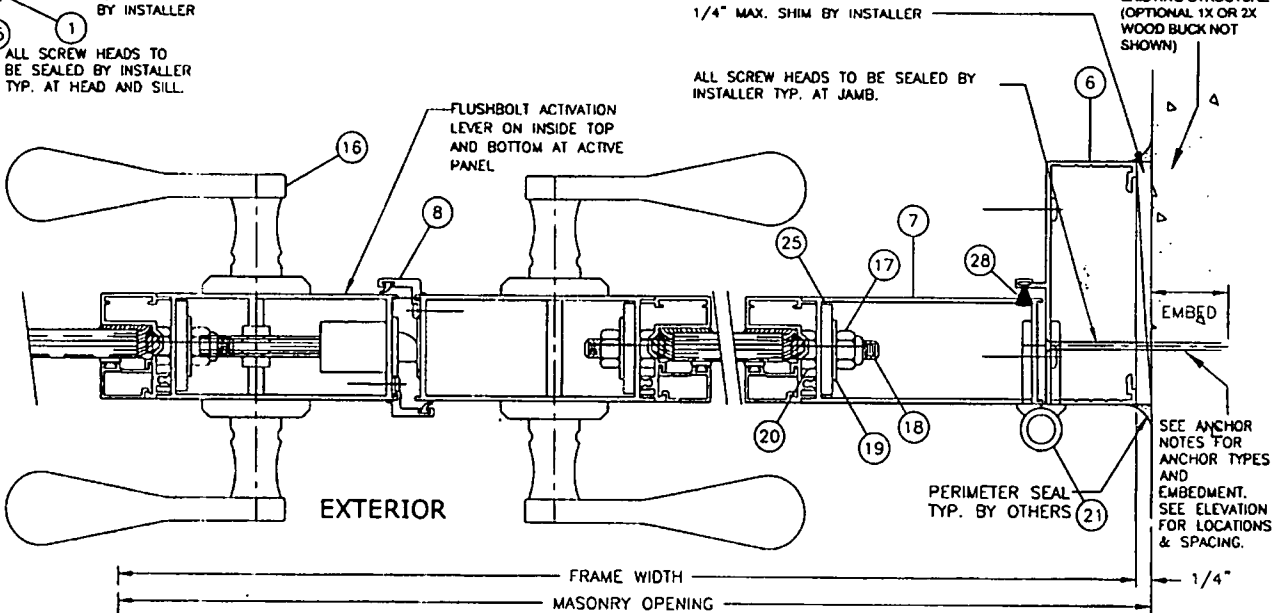
REVISIONS	DESCRIPTION	DATE

SHEET:  
 1 OF 6





**NOTE:**  
EXTERIOR AND INTERIOR FINISHES,  
BREAK METALS AND FLASHING  
BY OTHERS.



**2** ASTRAGAL DETAIL  
HALF SCALE

**3** JAMB DETAIL  
HALF SCALE

**ANCHOR NOTES:**

1. ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
2. ANCHOR EMBEDMENT SHALL BE INTO BASE MATERIAL, EXCLUDING STUCCO OR OTHER WALL FINISH.
3. BASE MATERIAL SHALL BE WOOD (G=0.55 OR GREATER SPECIFIC GRAVITY), GROUT-FILLED BLOCK (MIN 2000 PSI COMPRESSIVE STRENGTH FOR GROUT), OR CONCRETE (MIN 3000 PSI).
4. SEE EXTERIOR ELEVATIONS FOR ANCHOR LOCATIONS AND SPACING.
5. ENSURE MINIMUM OF 2-1/2" EDGE DISTANCE FOR ALL ANCHORS INTO GROUT-FILLED BLOCK OR CONCRETE, AND MINIMUM OF 1-1/2" EDGE DISTANCE FOR ALL WOOD ANCHORS.
6. ANCHOR OPTIONS FOR INSTALLATION ARE AS FOLLOWS:

TO 2x WOOD BUCK OR WOOD STRUCTURE  
#12 SMS, 3/16" OR 1/4" TAPCONS (ITW OR ELCO) WITH 1-1/2" MINIMUM EMBEDMENT.

TO CONC OR GROUT-FILLED BLOCK  
(DIRECTLY OR THRU 1x OR 2x WOOD BUCK)  
3/16" OR 1/4" TAPCONS (ITW OR ELCO)  
WITH 1-1/4" MINIMUM EMBEDMENT TO  
CONC OR GROUT-FILLED BLOCK.

Approved as complying with the  
Provisions of the  
Code of Pennsylvania  
by  
*Frank L. Bennardo*

**1** SECTION OF RESIDENTIAL DOOR  
HALF SCALE

MAR 23 2008

FRANK L. BENNARDO, P.E.  
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4441 NORTH DIXIE HIGHWAY  
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(561) 991-2000 FAX: (561) 991-2062  
WWW.FLBENGINEERING.COM  
EMAIL: FRANK@FLBENGINEERING.COM

71 Progress Avenue  
Cannary Cove, PA 16166  
Tel: (724) 716-7000

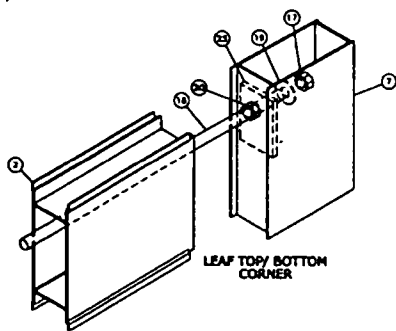
**TRACO**  
Windows & Doors Inc.  
SERIES DORAL 3 OUTSWING ALUMINUM  
PATIO DOOR (LARGE MISSILE)



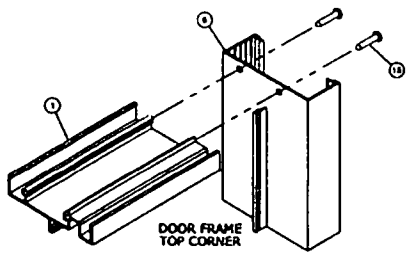
REVISIONS	DATE

SHEET:  
3 OF 6

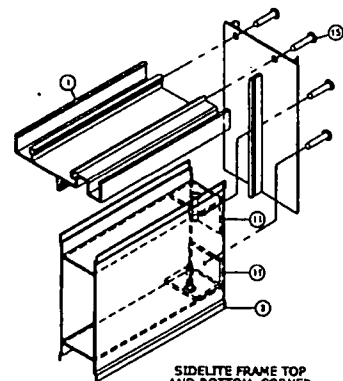




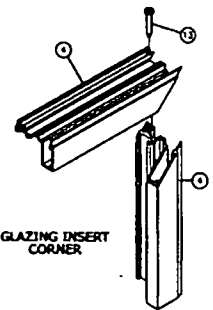
LEAF TOP/ BOTTOM CORNER



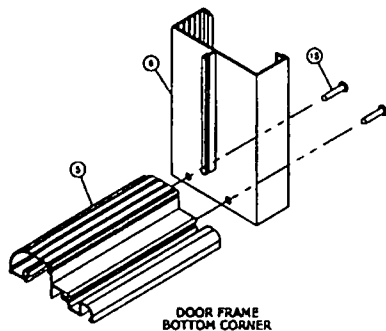
DOOR FRAME TOP CORNER



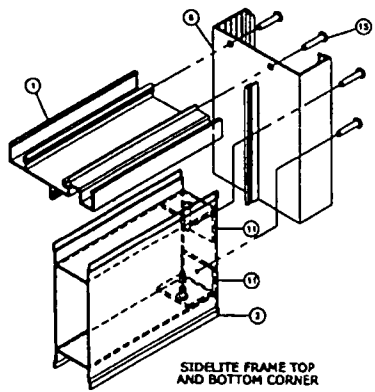
SIDELITE FRAME TOP AND BOTTOM CORNER AT MULLION



GLAZING INSERT CORNER



DOOR FRAME BOTTOM CORNER



SIDELITE FRAME TOP AND BOTTOM CORNER

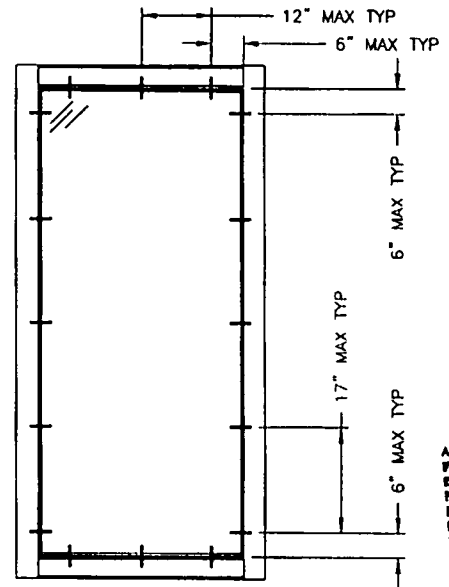
**SEALANTS:**  
ALL FRAME AND LEAF CORNERS, INSTALLATION SCREWS AT SILL AND JAMBS AND BOTTOM GLAZING BEAD SHALL BE SEALED WITH SCHEE MOREHEAD 5504 SEALANT.

**HINGES:**  
4" LONG ALUM. BUTT HINGES WITH .312 DIA X 2-1/2" ALUM PIN, BRASS SPACER AND NYLON CAPS AT 3 1/2" FROM TOP & BOTTOM AND AT MIDSPAN

**LOCKS:**  
STANDARD STEEL THROW BOLT LOCK, KEY OPERATED ON EXTERIOR AND THUMB TURN ON INTERIOR 39 1/2" FROM BOTTOM AT ACTIVE LEAF LOCK STILE

CONVENTIONAL LOCKSET WITH LEVER TYPE OPERATOR HANDLE AT ACTIVE LEAF LOCK STILE NEAR MIDSPAN

STANDARD FLUSH BOLTS, MANUALLY OPERATED AT TOP AND BOTTOM OF EACH ACTIVE AND INACTIVE LEAF



GLAZING INSERT FASTENER SPACING

Approved as complying with the Florida Building Code  
 Date: 03/22/04  
 Project: 04-0122-10  
 Prepared by: [Signature]  
 Checked by: [Signature]

MAR 25 2004

FRANK L. BENNARDO, P.E.  
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71 Progress Avenue,  
 Cranberry Township, PA 16166  
 Tel. (724) 716-7000

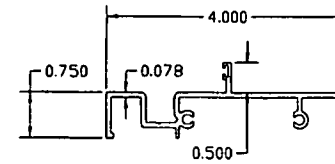
**TRACO**  
 Windows & Doors Inc.  
 SERIES DORAL 3 OUTSWING ALUMINUM  
 PATIO DOOR (LARGE MISSILE)



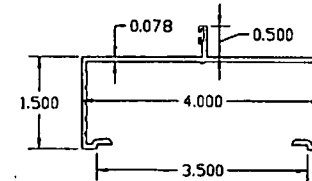
REVISIONS	DESCRIPTION	DATE

SHEET:  
 5 OF 6

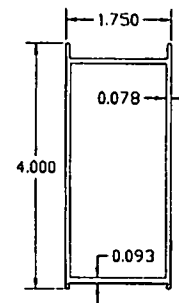
MATERIAL LIST					
ITEM NO.	PART NUMBER	QUANTITY	DESCRIPTION	MATERIAL	MANF./SUPPLIER/REMARKS
1	050-338	1/DOOR 2/SIDELITE	ATRIUM FRAME HEAD ATRIUM FRAME HEAD OR SILL	6063-T6	TIFTON OR EQUIV.
2	050-389	2/ LEAF	DOOR LEAF TOP & BOTTOM RAIL	6063-T5	ALUMAX OR EQUIV.
3	050-002	1/ SIDELITE	SNAP CANTILEVER	6063-T5	-
4	050-763	4/ CLASS LITE	GLAZING SUB FRAME	6063-T6	TIFTON OR EQUIV.
5	050-138	1 ● DOOR	THREASHOLD	6063-T5	ALUMAX OR EQUIV.
6	050-292	2/ DOOR 1/ SIDELITE	ATRIUM FRAME JAMB	6063-T5	TIFTON OR EQUIV.
7	051-394	2/ LEAF	RESIDENTIAL DOOR PANEL VERTICAL STILE	6063-T5	TIFTON OR EQUIV.
8	050-455	1/ LEAF	GAP CLOSURE	6063-T5	TIFTON OR EQUIV.
9	-	-	-	-	-
10	H-1006	AS REQD.	2" X 4" TUBE MULLION	6063-T5	TRECO OR EQUIV.
11	050-124	AS REQD.	1" x 1 1/4" x 1/8" ANGLE	ALUMINUM	-
12	050-764	AS REQD.	GLAZING BEAD	6063-T6	TIFTON OR EQUIV.
13	012-00-401	AS REQD.	#10 X 1/2" FLAT HEAD SCREW	-	-
14	AS REQD.	-	1/8" SHIM	PLASTIC	-
15	-	8/ FRAME	#10 X 1" DOOR FRAME ASSEMBLY SCREW	-	-
16	007-14-039A	AS REQD.	DOOR HANDLE	-	MARBOLLO
17	-	4/ LEAF	1/2" SELF LOCK NUT	STEEL	-
18	-	2/ LEAF	1/2" ROD (2 X PANELS)	STEEL	-
19	-	4/ LEAF	1/2" FLAT WASHER	STEEL	-
20	-	4/ LEAF	1/2" REGULAR NUT	-	-
21	051-181	3/ LEAF	HINGES	-	-
22	007-10-051	2/ LEAF	STANDARD FLUSH BOLT	-	-
23	-	4	#8 X 1/2" SMS	-	-
24	20-4164	AS REQD.	BULB VINYL	VINYL	-
25	-	4/ LEAF	BLOCK ROD GUIDE	-	-
26	050-10-765	1	SILL RISER	ALUMINUM	SILL RISER
27	-	1/ LEAF	1 X .050 ALUM BAR (BETWEEN VERTICALS)	ALUMINUM	-
28	047-10-014	AS REQD.	FIN SEAL WEATHER-STRIPPING	-	-



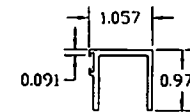
ATRIUM FRAME HEAD/SILL



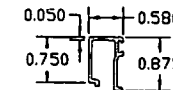
DOOR FRAME JAMB



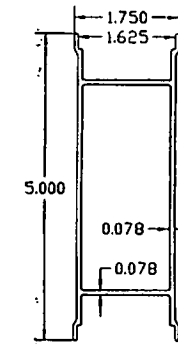
DOOR STILE



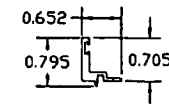
SILL RISER



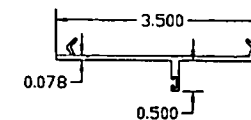
GLAZING BEAD



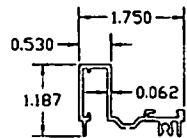
DOOR TOP/  
BOTTOM RAIL



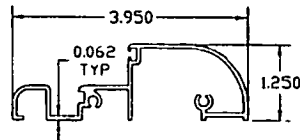
GAP CLOSURE



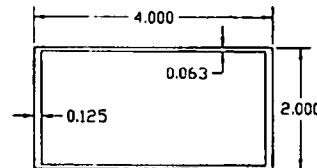
DOOR STOP



GLAZING  
SUBFRAME



THRESHOLD



H-1006 TUBE MULLION

Approved as complying with the  
Florida Building Code  
Date: 08/28/04  
Name: [Signature]  
Title: [Signature]  
By: [Signature]

DATE: 08/28/04

FRANK L. BERNARDO, P.E.  
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Tel: (724) 776-7000

**TRACO**  
Windows & Doors Inc.  
SERIES DORAL 3 OUTSWING ALUMINUM  
PATIO DOOR (LARGE MISSILE)

REVISION	DESCRIPTION	DATE

SHEET:  
6 OF 6

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 3/30 20015 Page 1 of   

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6753	RADER	TRUSS ENG	PASS	
1	5 HERITAGEWAY ADP CONSTR.	(FIRST PLEASE)		INSPECTOR: <i>[Signature]</i>
6741	OSTEEN	TIN TAG & METAL	FAIL	
8	1 RIDGEVIEW RD ANGUS ENT.			\$40 INSPECTOR: <i>[Signature]</i>
7282	SHORT	BUCK WINDOWS & DOOR BUCKS	PASS	
18	10 N. RIVER			INSPECTOR: <i>[Signature]</i>
7418	SHORT	WINDOW + DOOR BUCKS	PASS	CLOSE
18	10 N. RIVER O/B			INSPECTOR: <i>[Signature]</i>
7030	MUFSON	INGETANGLINE	PASS	
15A	17 S. RIVER RD FERRELL			INSPECTOR: <i>[Signature]</i>
7406	LIZANO	FINAL SOFFIT & SIDING	PASS	CLOSE
9	16 CRANE'S NEST MATTHEW'S ROOFING			INSPECTOR: <i>[Signature]</i>
7163	HAYNES	UG PUMBING	PASS	
19	6 Palm Road O/B	(AFTER 11:30 PLEASE)		INSPECTOR: <i>[Signature]</i>
<b>OTHER:</b>				
6983	DOCK FINAL 18 ISLAND RD.	CLOSE	<i>[Signature]</i>	3/30



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4/8, 2005 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
233	BERG/CLEMENTS	FINAL PATIO PAD	PASS	CLOSE
7	6 MIDDLE			INSPECTOR: <i>[Signature]</i>
	OB			
7429	LAMB	DRY-IN	PASS	
12	110 S. Sewall St			INSPECTOR: <i>[Signature]</i>
	ROOFING			
7440	CHONTOS	FINAL ROOF REPAIR	PASS	CLOSE
13	83 S. Sewall St			INSPECTOR: <i>[Signature]</i>
	START ROOF REPAIR			
7320	BEATTIE	DRY IN		RESCHEDULE FOR MONDAY
10	ADMIRAL'S WALK			INSPECTOR: <i>[Signature]</i>
	START ROOFING			
7163	HANNES	PUMPING PAD	PASS	
7364	6 PALM ROAD	ALCOHOL	PASS	CLOSE
8	OB	(AFTER 11:30 P.M.)		INSPECTOR: <i>[Signature]</i>
7420	JENKINS	FINAL FENCE		RESCHEDULE FOR LATER DATE
15	4 SABAL COURT			INSPECTOR: <i>[Signature]</i>
	O/B			
6581	LARKY	TEMP ELEC	PASS	CALL F.P.U.
2	27 W. High Point	POWER RELEASE		INSPECTOR: <i>[Signature]</i>
	SEWAGE	(END RELEASE)		

OTHER: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4/22, 2008 5 Page 4 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
743	HAYNES	UG GAS	PASS	
22	6 Palm Road AMERICAS	Plumbing Patch (11:30+ PLEASE)	PASS	INSPECTOR: <i>[Signature]</i>
<del>743</del>	<del>HAYNES</del>	<del>Plumbing Rough</del>	<del>PASS</del>	
22	6 Palm Road elb			INSPECTOR: <i>[Signature]</i>
6705	ANDERSON	ROOFING	PASS	
15	9 PALMETTO PALM BEACH CREAT.			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>

OTHER: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 6/29, 2005 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7520	MAREK	IN Prog ROOF	—	CANCEL - RAINY
16	1 FIELDWAY			WEATHER
	FEAZEL ROOFING			INSPECTOR: <i>[Signature]</i>
6771	ALLMAN	FINAL ADD'N + WINDOWS	FAIL	
10	106 S. RIVER RD			INSPECTOR: <i>[Signature]</i>
7563	ALLMAN	PAVER DRIVE/WALK FINAL	PASS	CLOSE
10	106 S. RIVER RD D/B			INSPECTOR: <i>[Signature]</i>
7469	NORDGREN	POOL DECK	FAIL	
9	5 KINGSTON CT OLYMPIC POOLS			INSPECTOR: <i>[Signature]</i>
TREE	DUNN	TREE	PASS	
18	LOT 12 INDIANUCIE 31 N. RIVER RD			INSPECTOR: <i>[Signature]</i>
<del>7163</del>	<del>HAYNES</del>	<del>J.G. MEEHAN</del>	<del>PASS</del>	
<del>6</del>	<del>6 PALM ROAD</del> <del>O/B</del>			INSPECTOR: <i>[Signature]</i>
7054	TAPPER	BEAM	PASS	
6	22 ISLAND WINCHIP CONST			INSPECTOR: <i>[Signature]</i>
OTHER:	ANDREWS Backhoe 33 N. <del>    </del> Tree Removal permit (end of N. River Rd at 39 N. River)			



7163

# TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

## CORRECTION NOTICE

ADDRESS: 6 PALM RD.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

ELEC. ROUGH/UG PASSED

WALL SHEATH PASSED

WINDOW/DOOR

INSTALL WOOD SHIMS AT ALL  
FASTERS -

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 6/24

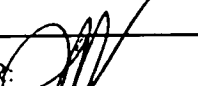
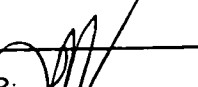
[Signature]  
INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 6/24, 2005 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7535	DILLARD	DRY IN		RESCHEDULE FOR 6/27
X	8 EMARITAWAY TITTLE ROOFING			INSPECTOR: 288-6860
7623	SANDS	<del>DRY</del> SHEATHING	WILL	RESCHEDULE
5	82 S. RIVER RD PACIFIC ROOFING			INSPECTOR:
7290	KRANSOE	SHEATHING	WILL	RESCHEDULE
9	112 HILLCREST TR PACIFIC ROOFING			INSPECTOR:
7298	PALTER	TINTAGIMENTS	WILL	RESCHEDULE
4	91 S. RIVER PACIFIC ROOFING			INSPECTOR:
<del>7163</del>	<del>HAYNES</del>	<del>WINDOW/DOOR</del>	<del>FAIL</del>	
3	6 PALM ROAD OIB	UG ELECTRIC WALL SHEATHING	PASS	INSPECTOR: 
⊖	DONOHUE	FOOTER		<del>CXL</del>
X	163 S. SENALIST P HALL SAMMONS	*LATE AM PL*		INSPECTOR:
TREE	MERRILL	TREE	PASS	
11	24 FIELDWAY DR			INSPECTOR: 

OTHER:

IBAKU Renovation w/o permit?

NO WORK IN THE INTERIOR.

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

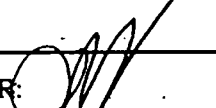


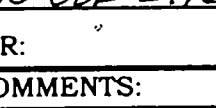

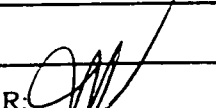
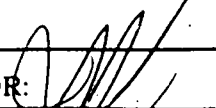
Date of Inspection:  Mon  Wed  Fri 6/27, 2005 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7535	DILLARD	DEY IN	FAIL	
2A	8 EMARITA WAY TUTTLE ROOFING			INSPECTOR: <i>OM</i>
<del>7163</del>	<del>HAYNES</del>	<del>WINDOW + DOOR</del>	<del>PASS</del>	
4	6 PALM ROAD O/B			INSPECTOR: <i>OM</i>
<del>7362</del>	<del>BUTLER</del>	<del>FINAL ROOF</del>	<del>---</del>	<del>CANCEL</del>
1	6 EMARITA WAY WESTERN	(8:30) BILL JOHNSON 561-902-9069		INSPECTOR:
6972	QUINN	FINAL ROOF	FAIL	
3	98 S. SEWALL ST PACIFIC ROOFING			INSPECTOR: <i>OM</i>
6576	CIVIELLO	STORM SHUTTERS	PASS	CLOSE
5	31 FIELDWAY O/B	FINAL RENOVATION		CLOSE INSPECTOR: <i>OM</i>
7643	MERRILL	PRE-DRY WALL	PASS	
6	24 FIELDWAY DR O/B			INSPECTOR: <i>OM</i>
7623	SANDS	SHEATHING	PASS	
4C	82 S. RIVER RD PACIFIC ROOFING			INSPECTOR: <i>OM</i>
OTHER: 2	Armstrong 41 W. Hill Pt	Courtesy Insp		ADVISED OWNER METHODS TO CONTROL MINIMAL EROSION PROBLEM. <i>OM</i>

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 7/6, 2005 Page 1 of    

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7572	NAEGLE	<del>DRY-IN</del>	PASS	LAURA WILL CALL
4	23 S. RIDGEVIEW	SHEATHING		
	COCO BUILDERS			INSPECTOR: 
7268	H B ASSOC - TIM MARR	EVER WALKER	FAIL	
6	3758 SE OCEAN	MECH. " "		\$40
	KIRCHMAN	DUMB " "		INSPECTOR: 
7567	HICKS	FINAL ROOF	<del>FAIL</del>	SHEATHING ONLY.
1	7 MANDALAY RD	DRY-IN	PASS	<del>\$40</del>
	PACIFIC ROOFING			INSPECTOR: 
7289	KLOSE	FINAL ROOF	—	RESCHEDULE W/
2	2 BAKU			ROB. ON JOB SITE
	PACIFIC ROOFING			INSPECTOR: 
7638	MONZON	DRY-IN	—	WILL RESCHEDULE
5	118 HILLCREST			
	PACIFIC ROOFING			INSPECTOR: 
TRIE	LYDON	TREE	PASS	
3	73 S SEWALL ST			
				INSPECTOR: 
<del>7</del>	<del>HAYNES</del>	<del>SIDING</del>	<del>PASS</del>	
	6 PALM			
	O/B			INSPECTOR: 
OTHER:	<del>LUCAS</del>	<del>FINAL ROOF</del>	<del>PASS</del>	<del>CLOSE</del>
7367	<del>MANDALAY</del>			
	<del>SHIRAZ ROOFING</del>			

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri DEC 19, 2005 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7957	MORRIS	FOOTINGS-WALL	FAIL	
2	120 HILLCREST O/B	(POOL) FIRST PLEASES		INSPECTOR: <i>OM</i>
7488	KUHNS	FINAL SC. ENCL.	FAIL	
4	94 S. RIVER RD PIONEER SCREEN			INSPECTOR: <i>OM</i>
7952	COWAN	DRY-IN	PASS	NEEDS SUBMITTAL FOR NEW SKYLIGHTS-
3	100 HILLCREST DR COOPER ROOFING			INSPECTOR: <i>OM</i>
719	SCHOPPE	TIE BEAM	PASS	
1	9 PALM ROAD A&P CONSTR.	*FIRST PLEASES*		INSPECTOR: <i>OM</i>
6812	MADER	FOOTER	PASS	
5	106 ABBIE COURT O/B	FIREPLACE <sup>LAST</sup> LIFT WINDOW REVISION	PASS PASS	INSPECTOR: <i>OM</i>
7904	MORRIS	FINAL DEMO SC ENCL.	PASS	CLOSE
2	120 HILLCREST O/B			INSPECTOR: <i>OM</i>
7163	HAYNES	FINAL INT. REMODEL	PASS	WILL CLOSE WHEN FINAL GAS IS DONE
2A	6 PALM ROAD O/B			INSPECTOR: <i>OM</i>
OTHER: _____				



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri DEC 21, 2005 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7957	MORRIS	FOOTER - Pool Deck	PASS	
1	120 HULLCROFT O/B	* FIRST PLEASE		INSPECTOR:
7949	MARTIN	FINAL FENCE	<del>FAIL</del>	CLOSE
11	25 PERIWINKLE STUART FENCE		PASS	<del>#40</del> INSPECTOR:
7413	HAYNES	FINAL GAS	FAIL	
3	6 PALM ROAD AMERIGAS			INSPECTOR:
7163	HAYNES	FINAL INT REMODEL	PASS	CLOSE
3	6 PALM ROAD O/B			INSPECTOR:
7913	MORROW	Pre-DRAINAGE	PASS	
8	24 S. SEWALLS Pt O/B			INSPECTOR:
7380	BONIFACE	TUB	PASS	
7	63 S. RIVER RD WILSON BLDGS			INSPECTOR:
7777	CATHEY	ROOF SHEATHING	PASS	
12	47 S. SEWALLS Pt <del>DEERWOOD HOMES</del>			INSPECTOR:

OTHER: \_\_\_\_\_

**7364**

**AC CHANGEOUT**

**REPLACE DUCTS**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 3/4/05  
 Building to be erected for HAYNES  
 Applied for by OIB (Contractor)  
 Subdivision Palm Row Lot 3 Block \_\_\_\_\_  
 Address 6 Palm Road  
 Type of structure SFR

BUILDING PERMIT NO. 7364  
 Type of Permit A/C CHANGEOUT  
REPLACE DUCKS  
 Building Fee \_\_\_\_\_  
 Radon Fee \_\_\_\_\_  
 Impact Fee \_\_\_\_\_  
 A/C Fee 35.00  
 Electrical Fee \_\_\_\_\_  
 Plumbing Fee \_\_\_\_\_  
 Roofing Fee \_\_\_\_\_  
 TOTAL Fees 35.00

Parcel Control Number:  
1338410050000003060000  
 Amount Paid 35.00 Check # 2097 Cash \_\_\_\_\_ Other Fees (\_\_\_\_\_) \_\_\_\_\_  
 Total Construction Cost \$ 3900.00

Signed Sandy Haynes Applicant  
 Signed [Signature] Town Building Official

## PERMIT

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL          | <input checked="" type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING         | <input type="checkbox"/> ROOFING             | <input type="checkbox"/> POOL/SPA/DECK         |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE                 |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS                   |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION            |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL            | <input type="checkbox"/> ADDITION              |

## INSPECTIONS

- |                                   |                              |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____        | UNDERGROUND GAS _____        |
| UNDERGROUND MECHANICAL _____      | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____            | FOOTING _____                |
| SLAB _____                        | TIE BEAM/COLUMNS _____       |
| ROOF SHEATHING _____              | WALL SHEATHING _____         |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____                   |
| ROOF TIN TAG/METAL _____          | ROOF-IN-PROGRESS _____       |
| PLUMBING ROUGH-IN _____           | ELECTRICAL ROUGH-IN _____    |
| MECHANICAL ROUGH-IN _____         | GAS ROUGH-IN _____           |
| FRAMING _____                     | EARLY POWER RELEASE _____    |
| FINAL PLUMBING _____              | FINAL ELECTRICAL _____       |
| FINAL MECHANICAL _____            | FINAL GAS _____              |
| FINAL ROOF _____                  | BUILDING FINAL _____         |

BY:

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: 03/10/08

OWNER/TITLEHOLDER NAME: Sandra Haynes Phone (Day) 220-0388 (Fax) \_\_\_\_\_

Job Site Address: 6 Palm Road City: Sewalls Pt State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) \_\_\_\_\_ Parcel Number: \_\_\_\_\_

Owner Address (if different): same as above City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: Remove existing air handler + Condenser and replace with new

WILL OWNER BE THE CONTRACTOR?:

YES  NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 3900.00  
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

Is Improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: \_\_\_\_\_

(if no, fill out the Contractor & Subcontractor sections below)

(if yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: Damas Air Conditioning Phone: 561-746-8015 Fax: 561-746-1156

Street: 1312 Commerce Ln. 15-B City: Jupiter State: FL Zip: 33458

State Registration Number: CACD41194 State Certification Number: \_\_\_\_\_ Martin County License Number: \_\_\_\_\_

SUBCONTRACTOR INFORMATION:

Electrical: N/A State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: same as above contractor State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: N/A State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: N/A State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic.# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)  
Sandra Haynes

State of Florida, County of: Martin

This the 10th day of March, 2008

by Sandra Haynes who is personally

known to me or produced Daniel I. Kiesel

as identification. Pamela Sue Patch

My Commission Expires: March 15, 2008  
Notary Public Seal

CONTRACTOR SIGNATURE (required)  
John Morgan

On State of Florida, County of: Martin

This the 10th day of March, 2008

by John Morgan who is personally

known to me or produced Pamela Sue Patch

As identification. Pamela Sue Patch

My Commission Expires: March 15, 2008  
Notary Public Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!



Pamela Sue Patch  
My Commission DD300582  
Expires March 15, 2008



Pamela Sue Patch  
My Commission DD300582  
Expires March 15, 2008

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4/8, 2005 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
233	BERG/CLEMENTS	FINAL PATO PAD	PASS	CLOSE
7	6 MIDDLE O/B			INSPECTOR:
729	LAMB	DRY-IN	PASS	
12	110 S. SEWALL ST TILE ROOFING			INSPECTOR:
7440	CHONTOS	FINAL ROOF REPAIR	PASS	CLOSE
13	83 S. SEWALL ST START ROOFING			INSPECTOR:
7320	<del>BEATTIE</del>	<del>DRY IN</del>	<del>PASS</del>	<del>RESCHEDULE FOR MONDAY</del>
10	ADMIRAL'S WALK START ROOFING			INSPECTOR:
7163	HAYNES	PUMING CAN	PASS	
<del>7364</del>	<del>6 PALM ROAD</del>	<del>ADJUDICAL</del>	<del>PASS</del>	<del>CLOSE</del>
8	O/B	(After 11:30 please)		INSPECTOR:
7420	JENKINS	FINAL FENCE		RESCHEDULE FOR LATER DATE
15	4 SABAL COURT O/B			INSPECTOR:
6581	LARKY	TEMP ELEC	PASS	CALL F.P.C.
2	27 W. High Point SEWAGE PUMP	POWER RELEASE		INSPECTOR:

OTHER: \_\_\_\_\_

**7413**

**GAS LINES**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 3/22/05

BUILDING PERMIT NO. 7413

Building to be erected for HAYNES

Type of Permit GAS LINES

Applied for by AMERICAS

(Contractor)

Building Fee 35.00

Subdivision Palm Row Lot 3 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 6 PALM ROAD

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Parcel Control Number:

1338410050000003060000

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Amount Paid 35.00 Check # 0120464 Cash \_\_\_\_\_

Other Fees ( \_\_\_\_\_ )

Roofing Fee \_\_\_\_\_

Total Construction Cost \$ 400.00

TOTAL Fees 35.00

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

## PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

## INSPECTIONS

- UNDERGROUND PLUMBING \_\_\_\_\_
- UNDERGROUND MECHANICAL \_\_\_\_\_
- STEMWALL FOOTING \_\_\_\_\_
- SLAB \_\_\_\_\_
- ROOF SHEATHING \_\_\_\_\_
- TRUSS ENG/WINDOW/DOOR BUCKS \_\_\_\_\_
- ROOF TIN TAG/METAL \_\_\_\_\_
- PLUMBING ROUGH-IN \_\_\_\_\_
- MECHANICAL ROUGH-IN \_\_\_\_\_
- FRAMING \_\_\_\_\_
- FINAL PLUMBING \_\_\_\_\_
- FINAL MECHANICAL \_\_\_\_\_
- FINAL ROOF \_\_\_\_\_

- UNDERGROUND GAS \_\_\_\_\_
- UNDERGROUND ELECTRICAL \_\_\_\_\_
- FOOTING \_\_\_\_\_
- TIE BEAM/COLUMNS \_\_\_\_\_
- WALL SHEATHING \_\_\_\_\_
- LATH \_\_\_\_\_
- ROOF-IN-PROGRESS \_\_\_\_\_
- ELECTRICAL ROUGH-IN \_\_\_\_\_
- GAS ROUGH-IN \_\_\_\_\_
- EARLY POWER RELEASE \_\_\_\_\_
- FINAL ELECTRICAL \_\_\_\_\_
- FINAL GAS \_\_\_\_\_
- BUILDING FINAL \_\_\_\_\_

MAR 15 2005

BY:

Town of Sewall's Point BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: 3-15-05

OWNER/TITLEHOLDER NAME: Sandra Haynes Phone (Day) \_\_\_\_\_ (Fax) \_\_\_\_\_

Job Site Address: 6 Palm Rd City: Stuart State: FL Zip: \_\_\_\_\_

Legal Desc. Property (Subd/Lot/Block) Palm Row Parcel Number: \_\_\_\_\_

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: GAS Tie into existing line run to BBQ & Cook Top

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 400.00 (Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: \_\_\_\_\_

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: Amenga Phone: 772 465 7886 Fax: 465 8448

Street: 3301 Oleander Ave City: FT Pierce State: FL Zip: 34982

State Registration Number: 02707 State Certification Number: 02707 Martin County License Number: \_\_\_\_\_

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_
Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_
Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_
Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic# \_\_\_\_\_ Phone Number: \_\_\_\_\_
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_
Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: National Electrical Code: 2002 Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) Sandra Haynes

State of Florida, County of: MARTIN

This the 15th day of MARCH 2005

by SANDRA HAYNES who is personally known to me or produced as identification.

Notary Public LAURA L. O'BRIEN

My Commission Expires: APRIL 28, 2007

CONTRACTOR SIGNATURE (required) Michael Gene Miley

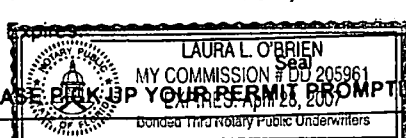
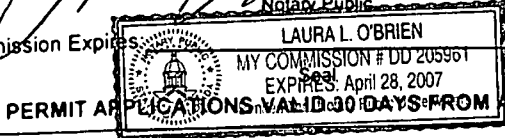
On State of Florida, County of: MARTIN

This the 15th day of MARCH 2005

by MICHAEL GENE MILEY who is personally known to me or produced as identification.

Notary Public LAURA L. O'BRIEN

My Commission Expires: APRIL 28, 2007



PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!



# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)  
06/28/04

**PRODUCER**  
Aon Risk Services, Inc. of Pennsylvania  
One Liberty Place  
1650 Market Street  
Suite 1000  
Philadelphia PA 19103

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**COMPANIES AFFORDING COVERAGE**

COMPANY A ACE American Insurance Company

PHONE - (866) 266-7475 FAX - (866) 467-7847

**INSURED**  
AmeriGas Propane LP and Subsidiaries  
PO Box 858  
Valley Forge PA 19482 USA

COMPANY B  
COMPANY C  
COMPANY D

**COVERAGES**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A	GENERAL LIABILITY	HDOG21707478 04-05 General Liability/Prod	07/01/04	07/01/05	GENERAL AGGREGATE	\$2,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				PRODUCTS - COMP/OP AGG	\$2,000,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				PERSONAL & ADV INJURY	\$1,000,000
	<input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT				EACH OCCURRENCE	\$1,000,000
					FIRE DAMAGE (Any one fire)	\$1,000,000
					MED EXP (Any one person)	\$10,000
A	AUTOMOBILE LIABILITY	ISAH07842600 04-05 Automobile - All States	07/01/04	07/01/05	COMBINED SINGLE LIMIT	\$1,000,000
	<input checked="" type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	
	<input checked="" type="checkbox"/> HIRED AUTOS				PROPERTY DAMAGE	
	<input checked="" type="checkbox"/> NON-OWNED AUTOS					
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	
	<input type="checkbox"/> ANY AUTO				OTHER THAN AUTO ONLY:	
					EACH ACCIDENT	
					AGGREGAT	
	EXCESS LIABILITY				EACH OCCURRENCE	
	<input type="checkbox"/> UMBRELLA FORM				AGGREGATE	
	<input type="checkbox"/> OTHER THAN UMBRELLA FORM					
A	WORKER'S COMPENSATION AND EMPLOYERS' LIABILITY	WLRC43983076 04-05 workers Comp. - AOS	07/01/04	07/01/05	<input checked="" type="checkbox"/> WC STATUTORY LIMITS	OTH-ER
A	THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE:	SCFC43983155 04-05 WC Non-Deductible: WI	07/01/04	07/01/05	EL EACH ACCIDENT	\$1,000,000
	<input type="checkbox"/> INCL <input type="checkbox"/> EXCL				EL DISEASE-POLICY LIMIT	\$1,000,000
					EL DISEASE-EA EMPLOYEE	\$1,000,000

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

**CERTIFICATE HOLDER**  
TOWN OF SEWELLS POINT  
ONE SOUTH SEWELLS POINT ROAD  
SEWELLS POINT FL 34996 USA

**CANCELLATION**  
SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.  
AUTHORIZED REPRESENTATIVE Aon Risk Services, Inc. of Pennsylvania

Florida Department of Agriculture and Consumer Services  
Bureau of Liquefied Petroleum Gas  
P.O. Box 6720  
Tallahassee, Florida 32399-6720

License Number: 02707

Business Mailing Address

Licensed Location Address

AMERIGAS PROPANE LP & SUBSIDIARIES  
3301 OLEANDER AVE  
FORT PIERCE, FL 34982

AMERIGAS PROPANE LP & SUBSIDIARIES  
3301 OLEANDER AVE  
FORT PIERCE, FL 34982-6535

The liquefied petroleum gas license at the bottom of this form is valid ONLY for the company located at the address on the license. Each business location of a company must be licensed. All LP Gas licenses must be renewed annually. Any license allowed to expire shall become inactive because of failure to renew. The fee for restoration of a license is equal to the original license fee and must be paid before the licensee may resume operations.

Pursuant to Chapter 527, Florida Statutes, LP Gas licensees must present proof of licensure to any consumer, owner, or end user upon request when engaged in the business of servicing, testing, repairing, maintaining or installing LP Gas systems and/or equipment.

For future correspondence, please make any needed corrections or changes to your business mailing address and/or your licensed location address and return the UPPER PORTION with corrections to:

Florida Department of Agriculture and Consumer Services  
Bureau of Liquefied Petroleum Gas  
P.O. Box 6720  
Tallahassee, Florida 32399-6720



Cut Here



State of Florida  
Department of Agriculture and Consumer Services

Division of Standards  
Bureau of Liquefied Petroleum Gas  
(850) 921-8001  
Tallahassee, Florida

License Number: 02707  
Expiration Date: August 31, 2005  
Date of Issue: September 1, 2004  
License Fee: \$425.00  
Type and Class: 0601

**Liquefied Petroleum Gas License**

**CATEGORY I LP GAS DEALER**

GOOD FOR ONE LOCATION

This license is issued under authority of Section 527.02, Florida Statutes, to:

AMERIGAS PROPANE LP & SUBSIDIARIES  
3301 OLEANDER AVE  
FORT PIERCE, FL 34982-6535

*Charles H. Bronson*  
CHARLES H. BRONSON  
COMMISSIONER OF AGRICULTURE

**2004-2005 MARTIN COUNTY ORIGINAL  
COUNTY OCCUPATIONAL LICENSE**

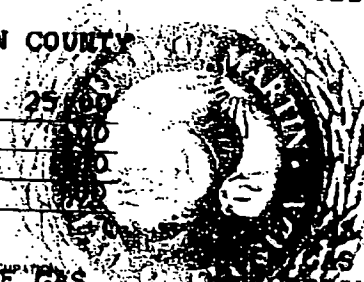
Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995  
(772) 288-5804

LICENSE 1998-249-000 CERT \_\_\_\_\_  
ENGINE (561)465-7886 SIG NO 004932

LOCATION: 3301 OLEANDER AVE SLC

**CHARACTER COUNTS IN MARTIN COUNTY**

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>0.00</u>
\$	<u>.00</u>	CCL. FEE \$	<u>0.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>0.00</u>
TOTAL			<u>25.00</u>



13. THESE LICENSES TO ENGAGE IN THE BUSINESS, TRADE, PROFESSION OR OCCUPATION OF  
**DEALER/INSTALLER PROPANE GAS**

**RICKY BELLERESH, RICKY**  
**L.P.**  
**3301 OLEANDER AVE**  
**FT PIERCE FL 34982**

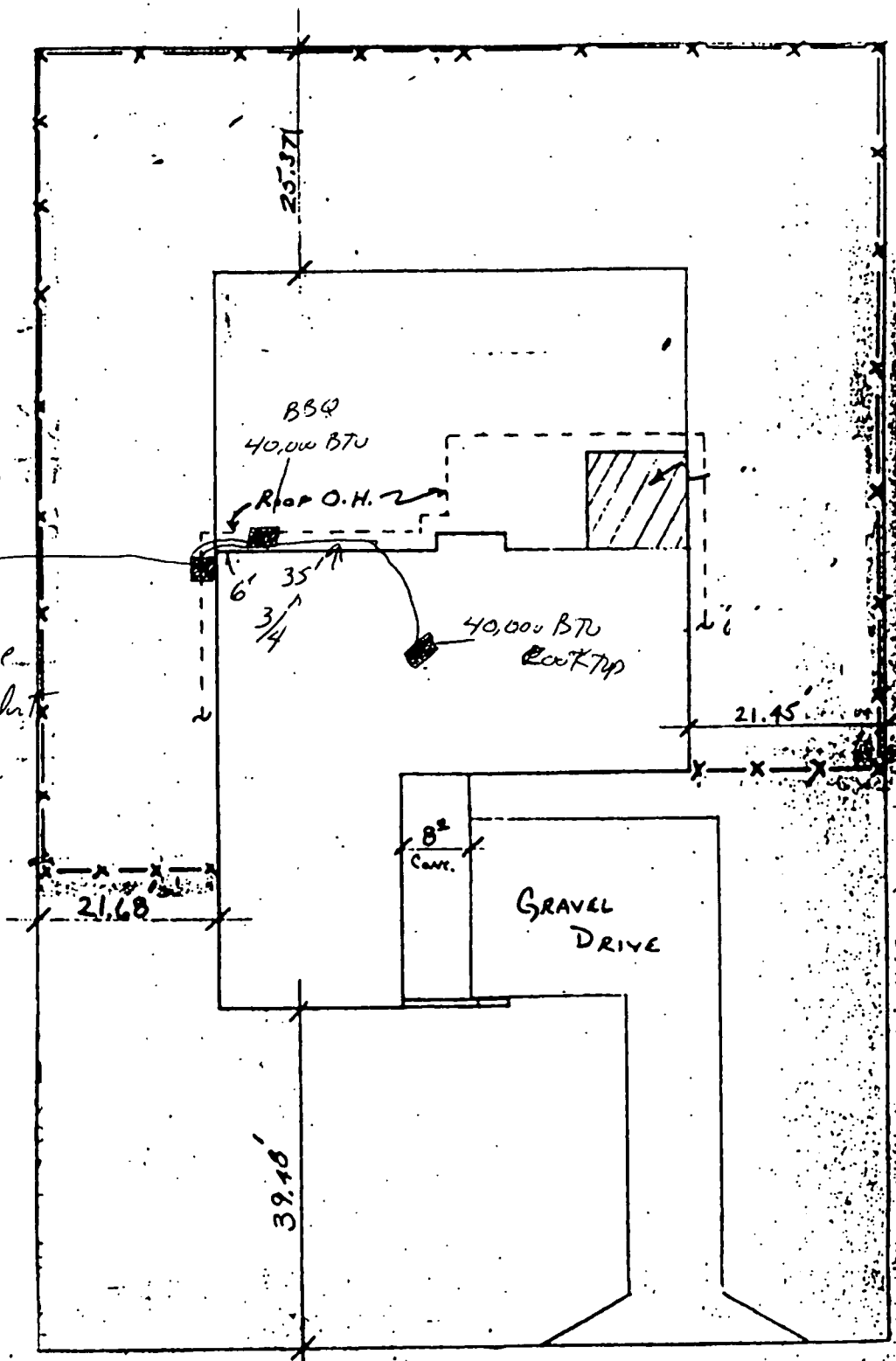
AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

26 DAY OF AUGUST 04  
AND ENDING SEPTEMBER 30, 2005

12 04082501 000405

TIE INTO  
gas line to  
pool heater

gas line will be  
steamed in conduit  
in concrete



FILE COPY  
TOWN OF SEWALL'S POINT  
THESE PLANS HAVE BEEN  
REVIEWED FOR CODE COMPLIANCE  
DATE: 3/16/06  
  
BUILDING OFFICIAL  
Gene Simmons

SITE PLAN  
1" = 20'

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4/22, 2005 Page 4 of     

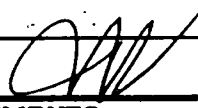
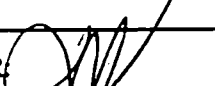
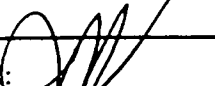
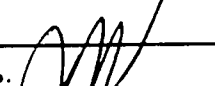
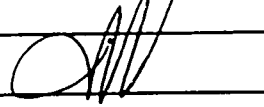
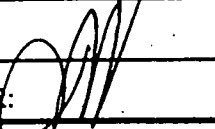
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>7113</del>	<del>HAYNES</del>	<del>UG GAS</del>	<del>PASS</del>	
22	6 Palm Road AMERICAS	PUMBINA PATH (11:30+ PLEASE)	PASS	INSPECTOR: <i>[Signature]</i>
7163	HAYNES	PUMB. ROUGH	PASS	
22	6 Palm Road elb			INSPECTOR: <i>[Signature]</i>
6705	ANDERSON	ROOFING	PASS	
15	9 PALMETTO PALM BEACH CREAT.			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>

**OTHER:** \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri July 1, 2005 Page 2 of 3

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6406 6273	Pomencich	Final Remodel	PASS	CLOSE
3	14255 PR Construction Connection			INSPECTOR: 
7520	<del>Marek</del>	In progress	DUPLICATE	
	<del>ifredburg</del>			
	<del>Feazet Robing</del>			INSPECTOR:
7113	<del>Hagros</del>	<del>Gas Piping</del>	PASS	
4	6 Palm Rd Americas			INSPECTOR: 
7064	Botwinick	Sewall-final	PASS	CLOSE
7	27 Emarita Way O/B			INSPECTOR: 
7386	McCormick	Footing	FAIL	
11	59 N River Rd Pine Orchard Bldrs			INSPECTOR: 
7535	Dinnard	Dry-in	PASS	
6	8 Emarita Way Tuthe			INSPECTOR: 
TREE	Osteen	TREE	PASS	
9	1 S. Ridgeview O/B			INSPECTOR: 

OTHER: \_\_\_\_\_



**TOWN OF SEWALL'S POINT**

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

**CORRECTION NOTICE**

ADDRESS: 6 PALM COURT

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FINAL GAS

GAS PIPING UNDER COAL TOP  
IS UNSUPPORTED

GAS PIPING AT 15150  
DRILL IS UNSUPPORTED

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 12/21

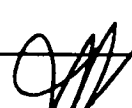
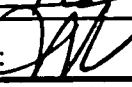

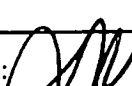
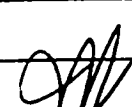
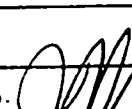
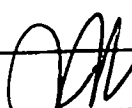
[Signature]  
INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri DEC 21, 2005 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7957	MORRIS	FOOTER-POOL DECK	PASS	
1	120 HILLCREST			INSPECTOR: 
	O/B	* FIRST PLEASE		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7949	MARTIN	FINAL FENCE	<del>FAIL</del>	CLOSE
11	25 PERRIWINKLE		PASS	<del>#40</del>
	STUART FENCE			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7413	HAYNES	FINAL GAS	FAIL	
3	6 PALM ROAD			INSPECTOR: 
	AMERIGAS			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7163	HAYNES	FINAL INT REMOVE	PASS	CLOSE
3	6 PALM ROAD			INSPECTOR: 
	O/B			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7913	MORROW	PRE-DRY WALL	PASS	
8	24 S. SEWALLS PT			INSPECTOR: 
	O/B			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7380	BONIFACE	TUB	PASS	
7	63 S. RIVER RD			INSPECTOR: 
	WILSON BLDGS			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7777	CATHEY	ROOF SHEATHING	PASS	
12	47 S. SEWALLS PT			INSPECTOR: 
	DEERWOOD HOMES			

OTHER: \_\_\_\_\_



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri Dec 28, 2005 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7863	DESANTIS	FINAL POOL DECK	—	CANCEL —
511	82 S. SEWALL'S PT O/B	CONC. STEPS		INSPECTOR: <i>[Signature]</i>
7390	GOLDMAN	ELEC POULTRY	PASS	
7	4 SUMMER LA O/B	FRAMING LATHES	PASS FAIL	INSPECTOR: <i>[Signature]</i>
7390	GOLMAN	WINDOW DOOR BUCKS	PASS	
7	4 SUMMER LANE O/B			INSPECTOR: <i>[Signature]</i>
7488	KUHNS	FINAL SEC. ENCL	FAIL	\$40 FEE
4	94 S. RIVER RD PIONEER SCREEN			INSPECTOR: <i>[Signature]</i>
7413	HAYNES	FINAL GAS	PASS	CLOSE
	6 PALM ROAD	LAST		INSPECTOR: <i>[Signature]</i>
<del>7873</del>	<del>NOTICE</del>	<del>ELECTRIC</del>	<del>DUPLICATION</del>	
	<del>26 W. HIGHT PT</del>			
	<del>O/B</del>			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: \_\_\_\_\_

**7914**

**FENCE**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 11-28-05

BUILDING PERMIT NO. 7914

Building to be erected for HAYNES

Type of Permit Fence

Applied for by O/B (Contractor)

Building Fee \_\_\_\_\_

Subdivision Dawn Row Lot \_\_\_\_\_ Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 6 Dawn Road

Impact Fee \_\_\_\_\_

Type of structure Fence

A/C Fee NK

Electrical Fee HURRICANE

Plumbing Fee DAMAGE

Parcel Control Number:  
133841005000003060000

Roofing Fee \_\_\_\_\_

Amount Paid NK Check # \_\_\_\_\_ Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 200.

TOTAL Fees \_\_\_\_\_

Signed Audy Haynes  
Applicant

Signed Gene Simmons  
Town Building Official

## PERMIT

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL       |
| <input type="checkbox"/> PLUMBING         | <input type="checkbox"/> ROOFING             | <input type="checkbox"/> POOL/SPA/DECK    |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION          | <input checked="" type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS              |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION       |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL            | <input type="checkbox"/> ADDITION         |

## INSPECTIONS

- |                                   |                              |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____        | UNDERGROUND GAS _____        |
| UNDERGROUND MECHANICAL _____      | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____            | FOOTING _____                |
| SLAB _____                        | TIE BEAM/COLUMNS _____       |
| ROOF SHEATHING _____              | WALL SHEATHING _____         |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____                   |
| ROOF TIN TAG/METAL _____          | ROOF-IN-PROGRESS _____       |
| PLUMBING ROUGH-IN _____           | ELECTRICAL ROUGH-IN _____    |
| MECHANICAL ROUGH-IN _____         | GAS ROUGH-IN _____           |
| FRAMING _____                     | EARLY POWER RELEASE _____    |
| FINAL PLUMBING _____              | FINAL ELECTRICAL _____       |
| FINAL MECHANICAL _____            | FINAL GAS _____              |
| FINAL ROOF _____                  | BUILDING FINAL _____         |

RECEIVED  
11/21/05

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: 11/21/05

OWNER/TITLEHOLDER NAME: Sandra Haynes

Phone (Day) 341-1213 (Fax) 220-0388

Job Site Address: 6 Palm Road City: SWART State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Palm Row Lot Parcel Number: \_\_\_\_\_

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: repair fence

WILL OWNER BE THE CONTRACTOR?:

YES  NO

(If no, fill out the Contractor & Subcontractor sections below)  
(If yes, Owner Builder Affidavit must accompany application)

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 200,00  
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: \_\_\_\_\_

CONTRACTOR/Company: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: \_\_\_\_\_

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic.# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004  
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

Sandra Haynes  
State of Florida, County of: MARTIN

This the 21st day of NOVEMBER, 2005

by Sandra Haynes who is personally

known to me or produced

as identification. [Signature]

Notary Public

My Commission Expires: \_\_\_\_\_

CONTRACTOR SIGNATURE (required)

On State of Florida, County of: \_\_\_\_\_

This the \_\_\_\_\_ day of \_\_\_\_\_, 200  

by \_\_\_\_\_ who is personally

known to me or produced \_\_\_\_\_

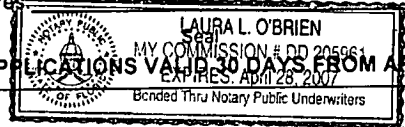
As identification. \_\_\_\_\_

Notary Public

My Commission Expires: \_\_\_\_\_

Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

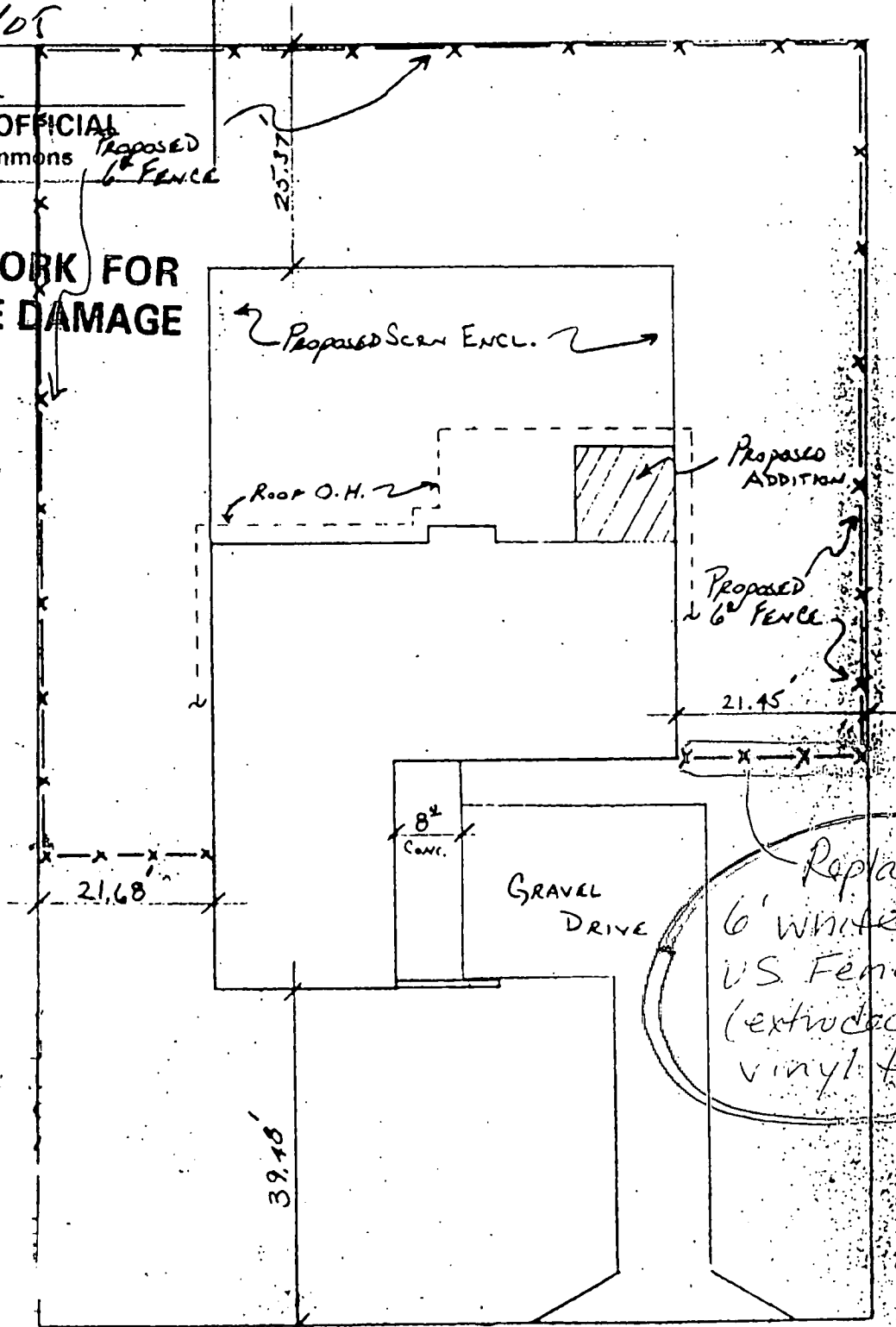


FILE COPY  
TOWN OF SEWALL'S POINT  
THESE PLANS HAVE BEEN  
REVIEWED FOR CODE COMPLIANCE

DATE: 11/28/05

BUILDING OFFICIAL  
Gene Simmons

REPAIR WORK FOR  
HURRICANE DAMAGE



REPAIR WORK FOR  
HURRICANE DAMAGE

SITE PLAN

1" = 20'

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 1/23, 2006 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7941	KENDRIGAN	FINAL RELOCATE	PASS	CLOSE
2	12 RIO VISTA DR O/B	BECM		INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
Trees	NEWLY	TREE	PASS	
1	7 N VIA LUCINDIA			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7503	LADD	FINAL INT/EXT	FAIL	
4	21 SIMONA ST HARTLEY CAULFIELD	REPAIR/RENDER		INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7984	LEWIS	STEEL TIE BEAM	PASS	
3	43 RIO VISTA COMM CONTRACTING	PRIVACY WALL		INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7727	SLATER	TIN TAG	PASS	
5	4 LAGOON ISL CONWAY	BREEZEWAY		INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>7914</del>	<del>HANNES</del>	<del>FENCE FINAL</del>	<del>PASS</del>	<del>CLOSE</del>
4A	6 PALM ROAD O/B			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: \_\_\_\_\_

**7979**

**PAVER DRIVE**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 12/29/05

BUILDING PERMIT NO. 7979

Building to be erected for HAYNES

Type of Permit PAVE DRIVE

Applied for by O/B

(Contractor) Building Fee 8900 x 9.60/1000 = 85.44

Subdivision Palm Row Lot 3 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address Le Palm Road

Impact Fee \_\_\_\_\_

Type of structure DRIVE

A/C Fee \_\_\_\_\_

Electrical Fee \_\_\_\_\_

Parcel Control Number:  
1338410050000003060000

Plumbing Fee \_\_\_\_\_

Amount Paid 117.48 Check # 2304 Cash \_\_\_\_\_

Other Fees 10% of 23.50 = 23.50 8.54

Total Construction Cost \$ 8900.00

TOTAL Fees 117.48

Signed Sandy Haynes  
Applicant

Signed Gene Sumner (RB)  
Town Building Official

## PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION
- DRIVEWAY

## INSPECTIONS

- UNDERGROUND PLUMBING \_\_\_\_\_
- UNDERGROUND MECHANICAL \_\_\_\_\_
- STEMWALL FOOTING \_\_\_\_\_
- SLAB \_\_\_\_\_
- ROOF SHEATHING \_\_\_\_\_
- TRUSS ENG/WINDOW/DOOR BUCKS \_\_\_\_\_
- ROOF TIN TAG/METAL \_\_\_\_\_
- PLUMBING ROUGH-IN \_\_\_\_\_
- MECHANICAL ROUGH-IN \_\_\_\_\_
- FRAMING \_\_\_\_\_
- FINAL PLUMBING \_\_\_\_\_
- FINAL MECHANICAL \_\_\_\_\_
- FINAL ROOF \_\_\_\_\_

- UNDERGROUND GAS \_\_\_\_\_
- UNDERGROUND ELECTRICAL \_\_\_\_\_
- FOOTING \_\_\_\_\_
- TIE BEAM/COLUMNS \_\_\_\_\_
- WALL SHEATHING \_\_\_\_\_
- LATH \_\_\_\_\_
- ROOF-IN-PROGRESS \_\_\_\_\_
- ELECTRICAL ROUGH-IN \_\_\_\_\_
- GAS ROUGH-IN \_\_\_\_\_
- EARLY POWER RELEASE \_\_\_\_\_
- FINAL ELECTRICAL \_\_\_\_\_
- FINAL GAS \_\_\_\_\_
- BUILDING FINAL \_\_\_\_\_



RECEIVED  
12/29/05

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: 12/29/05

OWNER/TITLEHOLDER NAME: Sandy Haynes Phone (Day) 220-0388 (Fax) 220-0388

Job Site Address: 16 Palm Road City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Palm Row Lot 3 Parcel Number: \_\_\_\_\_

Owner Address (if different): same City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: paver driveway

WILL OWNER BE THE CONTRACTOR?:

YES  NO

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 8900.00  
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

Is improvement cost 50% or more of Fair Market Value? YES  NO

Method of Determining Fair Market Value: \_\_\_\_\_

CONTRACTOR/Company: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: \_\_\_\_\_

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004  
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)  
Sandy Haynes

State of Florida, County of: MARTIN

This the 29th day of December, 2005

by SANDRA HAYNES who is personally

known to me or produced

as identification. [Signature]

My Commission Expires: \_\_\_\_\_



CONTRACTOR SIGNATURE (required)

On State of Florida, County of: \_\_\_\_\_

This the \_\_\_\_\_ day of \_\_\_\_\_, 200  

by \_\_\_\_\_ who is personally

known to me or produced \_\_\_\_\_

As identification. \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

Notary Public

Seal

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # \_\_\_\_\_

TAX FOLIO # Parcel ID 133841005000000306

**NOTICE OF COMMENCEMENT**

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

**LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):**

Palm Row Lot 3, 6 Palm Road Sewals Point, FL

**GENERAL DESCRIPTION OF IMPROVEMENT:** exterior upgrades

**OWNER:** Sandra Haynes

**ADDRESS:** 6 Palm Road Sewals Point, FL 34996

**PHONE #:** 270-0388

**FAX #:** \_\_\_\_\_

**CONTRACTOR:** owner/builder

**ADDRESS:** \_\_\_\_\_

**PHONE #:** \_\_\_\_\_

**SURETY COMPANY (IF ANY):** \_\_\_\_\_

**ADDRESS:** \_\_\_\_\_

**PHONE #:** \_\_\_\_\_

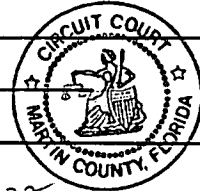
**BOND AMOUNT:** \_\_\_\_\_

**LENDER:** \_\_\_\_\_

**ADDRESS:** \_\_\_\_\_

**PHONE #:** \_\_\_\_\_

STATE OF FLORIDA  
MARTIN COUNTY  
FAX THIS IS TO CERTIFY THAT THE  
FOREGOING \_\_\_\_\_ PAGES IS A TRUE  
AND CORRECT COPY OF THE ORIGINAL.



MARSHA EWING CLERK

FAX BY: T. COPUS

DATE: 12/29/05

INSTR # 1899543 DR BK 02097 PG 1501 RECD 12/29/2005 02:03:03 PM  
MARSHA EWING MARTIN COUNTY DEPUTY CLERK T Copus (asst mpr)

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

**NAME:** \_\_\_\_\_

**ADDRESS:** \_\_\_\_\_

**PHONE #:** \_\_\_\_\_

**FAX #:** \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

**PHONE #:** \_\_\_\_\_

**FAX #:** \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_  
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Sandra L Haynes  
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 29th DAY OF December 2005 BY Sandra Haynes

OR PERSONALLY KNOWN   
PRODUCED ID \_\_\_\_\_  
TYPE OF ID \_\_\_\_\_

[Signature]  
NOTARY SIGNATURE  
MY COMMISSION # DD 205961  
EXPIRES: April 28, 2007  
Bonded Thru Notary Public Underwriters

**TOWN OF SEWALL'S POINT**  
**ONE SOUTH SEWALL'S POINT ROAD**  
**SEWALL'S POINT, FLORIDA 34996**

**TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT**  
**(To be submitted if permit is to be pulled by Owner/Builder)**

**DISCLOSURE STATEMENT**

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

**I have read the above and agree to comply with the provisions as stated.**

Name: Sandy Haynes Date: 12/29/05  
Signature: Sandy Haynes  
Address: 6 Palm Rd  
City & State: Stuart, FL  
Permit No. \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 3/24, 2006 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7557	LUTZ	FINAL SCR ENCL	PASS	CLOSE
2	6 RIVERVIEW	ELEC, RECP.T.	FAIL	INSPECTOR: <i>AM</i>
	PIONEER SCR			
<del>7979</del>	<del>HAINES</del>	<del>DRIVEWAY</del>	<del>PASS</del>	<del>CLOSE</del>
4	6 PALM ROAD	FINAL		INSPECTOR: <i>AM</i>
	O/B			
7871	HODDER	FINAL DOOR REPAIR	PASS	CLOSE
10	63 N. RIVER RD			INSPECTOR: <i>AM</i>
	O/B			
8122	WILCOX	FINAL SCR ENCL	FAIL	
3	11 RIVERVIEW			INSPECTOR: <i>AM</i>
	ALUMINUM PRODUCTS			
TREE	ROBERT SHAW	TREE	PASS	
1	15 ISLAND RD			INSPECTOR: <i>AM</i>
8054	MCCARTHY	FINAL GARAGE DOOR	PASS	CLOSE
	3 KINGSTON CT			INSPECTOR: <i>AM</i>
	O/B			
7833	BEISCOE	POWER RELEASE	PASS	CALL FPL FOR METER
6	5 GUMBO LIMBO WY			INSPECTOR: <i>AM</i>
	O/B			

OTHER: \_\_\_\_\_

**8055**

**STORM SHUTTERS**

### TOWN OF SEWALL'S POINT

Date 2/14/06

BUILDING PERMIT NO. 8055

Building to be erected for HAYNES

Type of Permit HURRICANE SHUTTERS

Applied for by STORM DEPOT

(Contractor) Building Fee 3500

Subdivision PAUM ROW Lot 3 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 6 PALM ROAD

Impact Fee \_\_\_\_\_

Type of structure SFR - PARTIAL

A/C Fee \_\_\_\_\_

Parcel Control Number:

1338410050000003060000

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Amount Paid 35.00 Check # 3082 Cash \_\_\_\_\_

Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 3153.

TOTAL Fees 35.00

Signed Ellie Hyon  
Applicant

Signed Gene Sumner  
Town Building Official

## PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

## INSPECTIONS

- UNDERGROUND PLUMBING \_\_\_\_\_
- UNDERGROUND MECHANICAL \_\_\_\_\_
- STEMWALL FOOTING \_\_\_\_\_
- SLAB \_\_\_\_\_
- ROOF SHEATHING \_\_\_\_\_
- TRUSS ENG/WINDOW/DOOR BUCKS \_\_\_\_\_
- ROOF TIN TAG/METAL \_\_\_\_\_
- PLUMBING ROUGH-IN \_\_\_\_\_
- MECHANICAL ROUGH-IN \_\_\_\_\_
- FRAMING \_\_\_\_\_
- FINAL PLUMBING \_\_\_\_\_
- FINAL MECHANICAL \_\_\_\_\_
- FINAL ROOF \_\_\_\_\_

- UNDERGROUND GAS \_\_\_\_\_
- UNDERGROUND ELECTRICAL \_\_\_\_\_
- FOOTING \_\_\_\_\_
- TIE BEAM/COLUMNS \_\_\_\_\_
- WALL SHEATHING \_\_\_\_\_
- LATH \_\_\_\_\_
- ROOF-IN-PROGRESS \_\_\_\_\_
- ELECTRICAL ROUGH-IN \_\_\_\_\_
- GAS ROUGH-IN \_\_\_\_\_
- EARLY POWER RELEASE \_\_\_\_\_
- FINAL ELECTRICAL \_\_\_\_\_
- FINAL GAS \_\_\_\_\_
- BUILDING FINAL \_\_\_\_\_

RECEIVED  
2/14/06

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Date: 2/07/06 Permit Number: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: Sandy Haynes Phone (Day) 220-0388 (Fax) \_\_\_\_\_

Job Site Address: 6 Palm Rd City: Sewalls Pt State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) PALM ROW REVISED PLAT LOT 3 Parcel Number: 13-38-41-005-000-00030-6

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: Hurricane Shutters

WILL OWNER BE THE CONTRACTOR?:

YES  NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 3153.00  
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

Is improvement cost 50% or more of Fair Market Value? YES  NO

Method of Determining Fair Market Value: \_\_\_\_\_

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: Stormdepot Phone: 344-2299 Fax: 344-1546

Street: 562 NW Interpark Place 1 City: PSL State: FL Zip: 34986

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: SP02746

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER Walter Tillet Lic# PE 44167 Phone Number: \_\_\_\_\_

Street: 6545 West Road City: WPB State: FL Zip: 32910

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carpport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004  
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)  
Sandra Haynes

State of Florida, County of: MARTIN

This the 14th day of FEBRUARY, 2006

by SANDRA HAYNES who is personally

known to me or produced \_\_\_\_\_

as identification. \_\_\_\_\_

CONTRACTOR SIGNATURE (required)  
Ellis Hyers

On State of Florida, County of: MARTIN

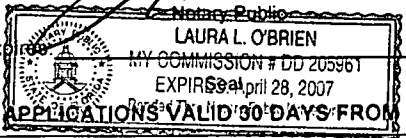
This the 14th day of FEBRUARY, 2006

by ELLIS CRAIG HYERS who is personally

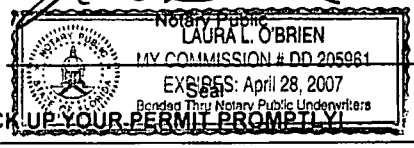
known to me or produced FDL H620 203-53-335-0

As identification. \_\_\_\_\_ k9/15/08

My Commission Expires \_\_\_\_\_



My Commission Expires \_\_\_\_\_



PERMIT APPLICATIONS VALID 90 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY

PRODUCER: A Better Deal Auto Ins.  
1026 SW Bayshore Blvd.  
Port St. Lucie, FL 34983  
(772)871-7764

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE	NAIC #
INSURER A: CANAL INDEMNITY COMPANY	
INSURER B:	
INSURER C:	
INSURER D:	
INSURER E:	
INSURER F:	

INSURED STORM DEPOT  
362 NW INTERPARK PLACE  
PORT ST LUCIE, FL 34986

COVERAGES

THE POLICIES OF INSURANCE LISTED HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INBR LTR	ADDL INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A		<b>GENERAL LIABILITY</b> <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC	GL90947	03/31/05	03/31/06	EACH OCCURRENCE	500,000
						DAMAGE TO RENTED PREMISES (Ea occurrence)	100,000
						MED EXP (Any one person)	5,000
						PERSONAL & ADV INJURY	500,000
						GENERAL AGGREGATE	500,000
						PRODUCTS - COMP/OP AGG	500,000
		<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident)	
						BODILY INJURY (Per person)	
						BODILY INJURY (Per accident)	
						PROPERTY DAMAGE (Per accident)	
		<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT	
						OTHER THAN AUTO ONLY: EA ACC	
						AGG	
		<b>EXCESS LIABILITY</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION				EACH OCCURRENCE	
						AGGREGATE	
		<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR / PARTNER / EXECUTIV OFFICER / MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below OTHER				<input type="checkbox"/> WC STATUTORY LIMITS... <input type="checkbox"/> OTHER E.L. EACH ACCIDENT E.L. DISEASE - EA EMPLOYEE E.L. DISEASE - POLICY LIMIT	

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS  
HURRICANE SHUTTER SALES, INSTALLATION

CERTIFICATE HOLDER

TOWN OF SEWALL'S POINT  
1 SOUTH SEWALL'S PT RD  
SEWALL'S POINT, FL 34996

FAX 220-4765

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE





# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)  
11/16/2005

**PRODUCER** (407)788-3000 FAX (407)788-7933  
Insurance Office of America, Inc.  
P.O. Box 162207  
Altamonte Springs, FL 32716-2207

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**INSURERS AFFORDING COVERAGE**

**INSURED** AYS Group, Inc.  
DBA AYS Employee Leasing  
2145 14th Avenue, Suite 6  
Vero Beach, FL 32960  
Alt Employer: Stormdepot Sales, Inst/Supply Inc.

INSURER A: 22 Guarantee Insurance Co. 2300  
INSURER B: Essex Ins. Co. 39020  
INSURER C:  
INSURER D:  
INSURER E:

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INBR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
	<b>GENERAL LIABILITY</b>				EACH OCCURRENCE \$
	<input type="checkbox"/> COMM GENERAL LIABILITY				FIRE DAMAGE (Any one fire) \$
	<input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR				MED EXP (Any one person) \$
					PERSONAL & ADV INJURY \$
					GENERAL AGGREGATE \$
	GEN'L AGG LIMIT APPLIES PER:				PRODUCTS-COMP/OP AGG \$
	<input type="checkbox"/> POL <input type="checkbox"/> PROJ <input type="checkbox"/> LOC				
	<b>AUTOMOBILE LIABILITY</b>				COMBINED SINGLE LIMIT (Ea accident) \$
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident) \$
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident) \$
	<input type="checkbox"/> HIRED AUTOS				
	<input type="checkbox"/> NON-OWNED AUTOS				
	<b>GARAGE LIABILITY</b>				AUTO ONLY - EA ACCIDENT \$
	<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC \$
					AUTO ONLY: AGG \$
	<b>EXCESS LIABILITY</b>				EACH OCCURRENCE \$
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE \$
	<input type="checkbox"/> DEDUCTIBLE				\$
	<input type="checkbox"/> RETENTION \$				\$
A	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b>	GPEO0800788-00	08/15/2005	08/15/2006	WC Statute Only OTH-ER Limits
	<b>COMPANY B- EMPLOYERS LIABILITY: 3CL3586</b>		08/15/2005	08/15/2006	E.L. EACH ACCIDENT \$ 1,000,000
					E.L. DISEASE-EA EMPLOYEE \$ 1,000,000
					E.L. DISEASE-POLICY LIMIT \$ 1,000,000
	<b>OTHER</b>				

**DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS**

Coverage is provided for only those employees leased to but not subcontractors of AYS Employee Leasing/ Stormdepot Sales, Installations & Supply, Inc. for any job, operation or project performed during the above policy period.  
\* 10 Day Notice for non-payment of premium.

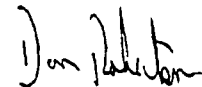
<b>CERTIFICATE HOLDER</b>	ADDITIONAL INSURED: INSURER LETTER	<b>CANCELLATION</b>
---------------------------	------------------------------------	---------------------

Town of Sewall's Point  
  
One South Sewall's Point Road  
Sewall's Point, FL 34996  
  
Fax - 772-220-4765

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

Authorized Representative

Dan Robertson



If you have any questions relating to the information in this letter, please contact the Martin County Contractor's Licensing Division of the Martin County Building Department.



**MARTIN COUNTY, FLORIDA**  
**Construction Industry Licensing Board**  
**Certificate of Competency**

***ALUMINUM/CONCRETE CONTRACTOR***

License Number SP02740 Expires: 30-SEP-06

HYERS, ELLIS C

STORM DEPOT

562 NW INTERPARK PL

PSL, FL 34982

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # \_\_\_\_\_

TAX FOLIO # Parcel ID 133841005000000306

**NOTICE OF COMMENCEMENT**

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

Palm Row Lot 3, 6 Palm Road Sewall's Point, FL

GENERAL DESCRIPTION OF IMPROVEMENT: exterior upgrades

OWNER: SANDRA HAYNES

ADDRESS: 6 Palm Road Sewall's Point, FL 34996

PHONE #: 270-0388 FAX #: \_\_\_\_\_

CONTRACTOR: owner/builder

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

SURETY COMPANY (IF ANY) \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

BOND AMOUNT: \_\_\_\_\_

LENDER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1XA)7., FLORIDA STATUTES:

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1XB), FLORIDA STATUTES.


PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_ THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Sandra L Haynes  
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 29th DAY OF December 2005 BY SANDRA HAYNES

OR PERSONALLY KNOWN   
PRODUCED ID \_\_\_\_\_  
TYPE OF ID \_\_\_\_\_

[Signature]  
NOTARY SIGNATURE  


INSTR 4 1899543 DR BK 0207 PG 1501 RECD 12/29/2005 02:03:03 PM  
MARSHA ENING MARTIN COUNTY DEPUTY CLERK T Cpous (asst mpr)



- SITE NAVIGATION**
- Home
- Course Accreditation
- Florida Building Code
- Manufact. Buildings
- Prototype Building
- Surcharges
- Training
- Product Approval
- License Search
- Mailing List
- Florida Building Commission

**PRODUCT APPROVAL** Product Type Detail

Overview    Product Search    Organization Search    Product Application

User: Public User - Not Associated with Organization -

[Need Help ?](#)

Application #: FL419-R1  
 Date Submitted: 09/15/2005  
 Code Version: ~~2004~~

Product Manufacturer: Eastern Metal Supply  
 Address/Phone/email: 4268 Westroads Drive  
 West Palm Beach, FL 33407  
 (561) 841-5480

**FILE COPY**  
**TOWN OF SEWALL'S POINT**  
 THESE PLANS HAVE BEEN  
**REVIEWED FOR CODE COMPLIANCE**

Category: Shutters  
 Subcategory: Storm Panels  
 DATE: 2/14/06  
 Evaluation Method:   
**BUILDING OFFICIAL**  
**Gene Simmons**

Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer

Referenced Standards from the Florida Building Code: 

Section	Standard	Year
1606.1.4	SSTD 12-99	2001

Florida Engineer or Architect Name: Walter A. Tillit, Jr.  
 Florida License: PE-44167  
 Quality Assurance Entity: National Accreditation and Management Institute  
 Validation Entity: John Henry Kampmann Jr.  
 Authorized Signature: Bill Feeley  
 bfeeley@easternmetal.com

Evaluation/Test Reports Uploaded: [PTID\\_419\\_R1\\_T\\_Certification of Independence.pdf](#)  
[PTID\\_419\\_R1\\_T\\_Drawing No05-271.pdf](#)

[PTID\\_419\\_R1\\_T\\_Dwg\\_05-270.pdf](#)  
[PTID\\_419\\_R1\\_T\\_Dwg\\_No.05-276.pdf](#)  
[PTID\\_419\\_R1\\_T\\_Product\\_Evaluation\\_No.05-0907.04.pdf](#)  
[PTID\\_419\\_R1\\_T\\_Product\\_Evaluation\\_Report\\_No.05-0907.03.pdf](#)  
[PTID\\_419\\_R1\\_T\\_Report\\_No.05-0907.01.pdf](#)

Installation Documents Uploaded:

Product Approval Method:

Method I Option D

Application Status:

Approved

Date Validated:

09/23/2005

Date Approved:

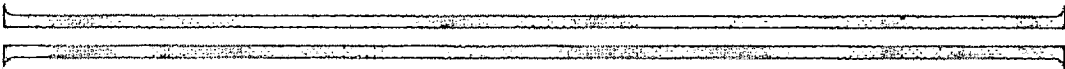
10/11/2005

Date Certified to the 2004 Code:

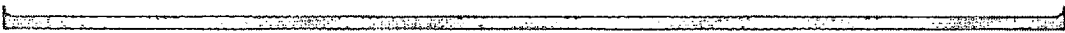
Page:

Page 1 / 1

App/Seq #	Product Model # or Name	Model Description	Limits of Use
419.1	05-270	0.050 Bertha Aluminum Storm Panel	Product to be installed only within NON HIGH VELOCITY HURRICANE ZONES as defined on section 1619.2 of the Florida Building Code.
419.2	05-271	24ga. Galvanized Bertha Steel Panel	Product to be installed only within NON HIGH VELOCITY HURRICANE ZONES as defined on section 1619.2 of the Florida Building Code.
419.3	05-276	Clear Bertha Storm Panel	Product to be installed only within NON HIGH VELOCITY HURRICANE ZONES as defined on section 1619.2 of the Florida Building Code.



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**GENERAL NOTES:**

1. STORM PANELS SHOWN ON THIS PRODUCT EVALUATION DOCUMENT (P.E.D.) HAS BEEN VERIFIED FOR COMPLIANCE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE. THIS STORM PANEL SHALL NOT BE INSTALLED AT HIGH VELOCITY HURRICANE ZONES (MIAMI-DADE / BROWARD COUNTIES). DESIGN WIND LOADS SHALL BE DETERMINED AS PER SECTION 1609 OF THE ABOVE MENTIONED CODE, FOR A BASIC WIND SPEED AS REQUIRED BY THE JURISDICTION WHERE STORM PANEL WILL BE INSTALLED, AND FOR A DIRECTIONALITY FACTOR  $K_d=0.85$ , IN ACCORDANCE WITH ASCE 7-98 STANDARD. IN ORDER TO VERIFY THAT COMPONENTS AND ANCHORS ON THIS P.E.D. AS TESTED WERE NOT OVER STRESSED, A 33% INCREASE IN ALLOWABLE STRESS FOR WIND LOADS WAS NOT USED IN THEIR ANALYSIS. A DURATION FACTOR  $C_D=1.80$  WAS USED FOR VERIFICATION OF FASTENERS IN WOOD.

STORM PANEL'S ADEQUACY FOR IMPACT AND FATIGUE RESISTANCE HAS BEEN VERIFIED IN ACCORDANCE WITH SECTION 1609.1.4 OF THE ABOVE MENTIONED CODE AS PER ATL REPORTS # 0121.01-98R, # 0329.01-00, # 0525.01-00 AND #0512.01-03 AND #0617.02-04, AS PER SSTD 12-89 STANDARD.

2. ALL ALUMINUM SHEET METAL PANELS SHALL HAVE 5052-H32 OR 3004-H34 ALLOY.
3. ALL ALUMINUM EXTRUSIONS SHALL BE ALUMINUM ASSOCIATION 6063-T6 ALLOY & TEMPER UNLESS OTHERWISE NOTED. STORM PANEL COMPONENTS (1) STUDDED PLATE AND (2) SNAP CAP ARE PATENT PENDING.
4. ALL SCREWS TO BE STAINLESS STEEL 304 OR 316 AISI SERIES OR CORROSION RESISTANT COATED CARBON STEEL AS PER QW 50018 W/ 50 ksi YIELD STRENGTH AND 90 ksi TENSILE STRENGTH.
5. BOLTS TO BE ASTM A-307 GALVANIZED STEEL OR AISI 304 SERIES STAINLESS STEEL WITH 35 ksi MINIMUM YIELD STRENGTH.
6. ANCHORS TO WALL SHALL BE AS FOLLOWS: (UNLESS OTHERWISE NOTED)

- (A) TO EXISTING POURED CONCRETE:
- 1/4" # TAPCON ANCHORS AS MANUFACTURED BY I.T.W. BULDEX.
  - 1/4" # CF TAP-GRIP ANCHORS (BERTHA STUD-CON), AS MANUFACTURED BY TRU-FAST CORPORATION.
  - 1/4" # ZAMAC NAILIN ANCHORS AS MANUFACTURED BY POWER FASTENERS, INC.
  - 1/4" # x 7/8" CALK-IN ANCHORS OR ELCO male & female "PANELMATE" AS MANUFACTURED BY POWER FASTENERS, INC. AND ELCO TEXTRON, RESPECTIVELY.
  - 1/4" # x 3/4" ALL POINTS SOLID-SET ANCHORS AS DISTRIBUTED BY ALL POINTS SCREW, BOLT & SPECIALTY COMPANY.
  - 1/4" # RED HEAD DYNABOLT SLEEVE ANCHORS AS MANUFACTURED BY I.T.W. BULDEX/RAMSET.

**NOTES:**

- A.1) MINIMUM EMBEDMENT INTO POURED CONCRETE OF TAPCON ANCHORS IS 1 3/4"; FOR ZAMAC NAILIN ANCHORS IS 1 3/8"; FOR ELCO PANELMATE ANCHORS IS 1 3/4"; FOR RED HEAD DYNABOLT SLEEVE ANCHORS IS 1 1/8", AND FOR CF TAP-GRIP ANCHORS IS 1 1/4".
- A.2) 7/8" CALK-IN ANCHORS SHALL BE ENTIRELY EMBEDDED INTO THE POURED CONCRETE. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" #-20 SCREWS USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.
- A.3) MINIMUM EMBEDMENT OF 1/4" # x 3/4" ALL POINTS SOLID-SET ANCHORS SHALL BE 7/8" INTO THE POURED CONCRETE. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" #-20 S.S. MACHINE SCREW USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.
- A.4) IN CASE THAT PRECAST STONE, PRECAST CONCRETE PANELS, OR PAVERS BE FOUND ON THE EXISTING WALL OR FLOOR, ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SUCH PANELS, ANCHORAGE SHALL BE AS INDICATED ON NOTES A.1) & A.2) ABOVE.

- (B) TO EXISTING CONCRETE BLOCK WALL:
- 1/4" # TAPCON ANCHORS AS MANUFACTURED BY I.T.W. BULDEX.
  - 1/4" # CF TAP-GRIP ANCHORS (BERTHA STUD-CON), AS MANUFACTURED BY TRU-FAST CORPORATION.
  - 1/4" # ZAMAC NAILIN ANCHORS AS MANUFACTURED BY POWER FASTENERS, INC.
  - 1/4" # x 7/8" CALK-IN ANCHORS OR ELCO male & female "PANELMATE" AS MANUFACTURED BY POWER FASTENERS, INC. AND ELCO TEXTRON, RESPECTIVELY.
  - 1/4" # x 3/4" ALL POINTS SOLID-SET ANCHORS AS DISTRIBUTED BY ALL POINTS SCREW, BOLT & SPECIALTY COMPANY.
  - 1/4" # RED HEAD DYNABOLT SLEEVE ANCHORS AS MANUFACTURED BY I.T.W. BULDEX.

**NOTES:**

- B.1) MINIMUM EMBEDMENT OF TAPCON, ELCO PANELMATE, AND CF TAP-GRIP ANCHORS INTO CONCRETE BLOCK UNIT SHALL BE 1 1/4"; 1 3/8" FOR ZAMAC NAILIN ANCHORS AND 1 1/8" FOR RED HEAD DYNABOLT SLEEVE ANCHORS
  - B.2) 7/8" CALK-IN ANCHORS SHALL BE ENTIRELY EMBEDDED INTO THE CONCRETE BLOCK UNIT. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" #-20 SCREWS USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.
  - B.3) MINIMUM EMBEDMENT OF 1/4" # x 3/4" ALL POINTS SOLID-SET ANCHORS SHALL BE 7/8" INTO THE CONCRETE BLOCK. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" #-20 S.S. MACHINE SCREW USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.
  - B.4) IN CASE THAT PRECAST STONE OR PRECAST CONCRETE PANELS BE FOUND ON THE EXISTING WALL, ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SUCH PANELS. ANCHORAGE SHALL BE AS INDICATED ON NOTES IN B.1) AND B.2) ABOVE.
- (C) ANCHORS SHALL BE INSTALLED FOLLOWING ALL OF THE RECOMMENDATIONS AND SPECIFICATIONS OF THE ANCHOR'S MANUFACTURER.

7. PANELS MAY ALSO BE INSTALLED HORIZONTALLY FOLLOWING INSTALLATION DETAILS SHOWN ON SECTIONS 1 THRU 8 (SHEET 3 & 4 OF 9) EXCEPT THAT HEADERS 3, 4 & 5 SHALL NOT BE USED.

8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SOUNDNESS OF THE STRUCTURE WHERE SHUTTER IS TO BE ATTACHED TO INSURE PROPER ANCHORAGE. THIS SHUTTER SHALL ONLY BE ATTACHED TO CONCRETE, BLOCK OR WOOD FRAME BUILDINGS.

9. THE INSTALLATION CONTRACTOR IS TO SEAL/CAULK ALL SHUTTER COMPONENT EDGES WHICH REMAIN IN CONTINUOUS CONTACT WITH THE BUILDING TO PREVENT WIND/RAIN INTRUSION. CAULK AND SEAL SHUTTER TRACKS ALL AROUND FULL LENGTH.

10. (a) THIS P.E.D. PREPARED BY THIS ENGINEER IS GENERIC AND DOES NOT PROVIDE INFORMATION FOR A SITE SPECIFIC PROJECT; I.e. WHERE THE SITE CONDITIONS DEVIATE FROM THE P.E.D.

(b) CONTRACTOR TO BE RESPONSIBLE FOR THE SELECTION, PURCHASE AND INSTALLATION INCLUDING LIFE SAFETY OF THIS PRODUCT, BASED ON THIS P.E.D. PROVIDED HE/SHE DOES NOT DEVIATE FROM THE CONDITIONS DETAILED ON THIS DOCUMENT. CONSTRUCTION SAFETY AT SITE IS THE CONTRACTOR'S RESPONSIBILITY.

(c) THIS P.E.D. WILL BE CONSIDERED INVALID IF ALTERED BY ANY MEANS.

(d) SITE SPECIFIC PROJECTS SHALL BE PREPARED BY A FLORIDA REGISTERED ENGINEER OR ARCHITECT WHICH WILL BECOME THE ENGINEER OF RECORD (E.O.R.) FOR THE PROJECT AND WHO WILL BE RESPONSIBLE FOR THE PROPER USE OF THE P.E.D. ENGINEER OF RECORD, ACTING AS A DELEGATED ENGINEER TO THE P.E.D. ENGINEER, SHALL SUBMIT TO THIS LATTER THE SITE SPECIFIC DRAWINGS FOR REVIEW.

(e) THIS P.E.D. SHALL BEAR THE DATE AND ORIGINAL SEAL AND SIGNATURE OF THE PROFESSIONAL ENGINEER OF RECORD THAT PREPARED IT.

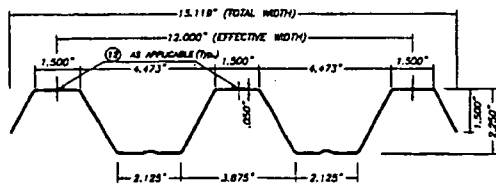
11. SHUTTER MANUFACTURER'S LABEL SHALL BE PLACED ON A READILY AND VISIBLE LOCATION AT PANEL. ONE LABEL SHALL BE PLACED FOR EVERY OPENING.

LABEL SHALL READ AS FOLLOWS:  
EASTERN METAL SUPPLY, INC.  
WEST PALM BEACH, FL.  
FLORIDA STATEWIDE PRODUCT APPROVED.

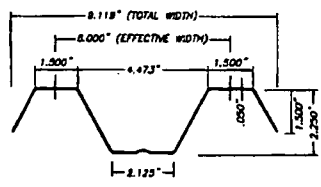


<p>TILECO Inc. TILT TESTING &amp; ENGINEERING COMPANY 2200 N.W. 20th St., Ft. Lauderdale, FL 33309 Phone: (561) 531-1830 Fax: (561) 531-1831 EQ-0008718 WALTER A. TILLIT, P. E. FLORIDA Lic. # 44187</p>		0.050" BERTHA ALUMINUM STORM PANEL		L.G. DRAWN BY:																		
		<p><b>EASTERN METAL SUPPLY, INC</b> 4108 WEST ROADS DRIVE WEST PALM BEACH, FL 33407</p>		9/9/03 DATE																		
<table border="1"> <thead> <tr> <th>REV. NO.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>REV. NO.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>OLD DWG 04-001</td> <td>9/7/03</td> <td>2</td> <td></td> <td></td> </tr> <tr> <td>2</td> <td>OLD DWG 03-053</td> <td>9/18/03</td> <td>2</td> <td></td> <td></td> </tr> </tbody> </table>		REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE	1	OLD DWG 04-001	9/7/03	2			2	OLD DWG 03-053	9/18/03	2			05-270 DRAWING No		SHEET 1 OF 9
REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE																	
1	OLD DWG 04-001	9/7/03	2																			
2	OLD DWG 03-053	9/18/03	2																			

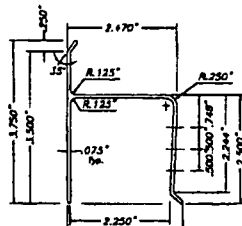
F.B.C. (Non High Velocity Hurricane Zone)



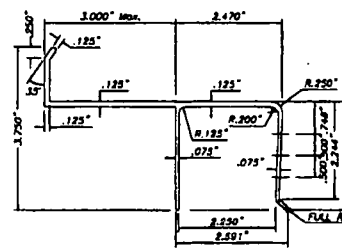
① ALUMINUM PANEL  
SCALE: 1/4" = 1"



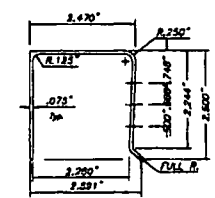
①A ALUMINUM HALF PANEL  
SCALE: 1/4" = 1"



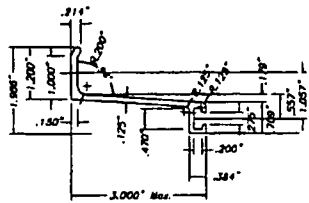
③ "h" HEADER  
SCALE: 3/8" = 1"



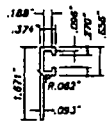
④ 3" Max. "U" BUILD OUT  
SCALE: 3/8" = 1"



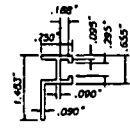
⑤ "U" HEADER  
SCALE: 3/8" = 1"



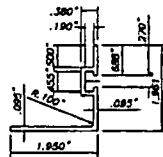
⑥ 3" ANGLE BUILD OUT BRACKET  
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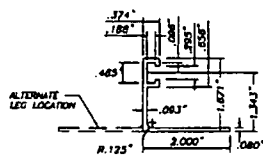
⑦ 3/8" B. O. "F" TRACK  
SCALE: 3/8" = 1"



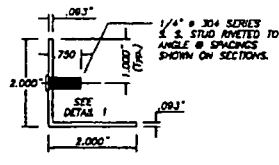
⑦A 3/4" B. O. "F" TRACK  
SCALE: 3/8" = 1"



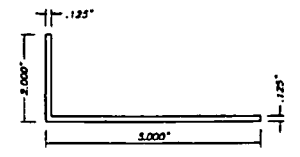
⑧ REVERSED "F" ANGLE TRACK  
SCALE: 3/8" = 1"



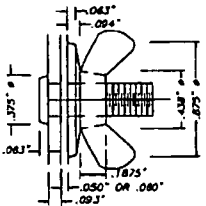
⑨ "F" TRACK ANGLE  
SCALE: 3/8" = 1"



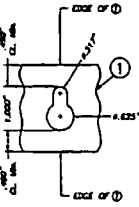
⑩ STUDDED ANGLE  
8063-T5 ALUM. ALLOY  
SCALE: 3/8" = 1"



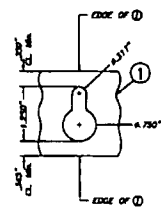
⑪ 2" x 5" (Max.) x .125" ANGLE  
SCALE: 3/8" = 1"



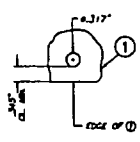
DETAIL 1: STUD W/ DIE CAST ZINC NICKEL PLATED WING NUT



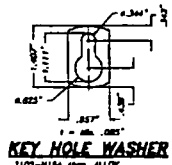
OPTION 1  
⑫ KEY HOLE AT PANEL



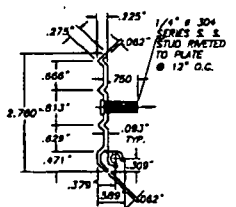
OPTION 2



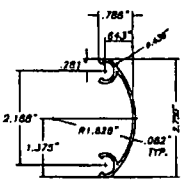
⑫A ROUND HOLE AT PANEL (OPTION TO 12)



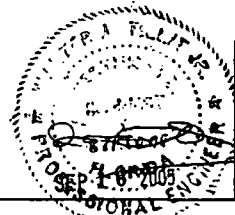
⑬ KEY HOLE WASHER  
3103-H184 ALUM. ALLOY  
SCALE: 3/8" = 1"



⑭ STUDDED PLATE  
8063-T5 ALLOY  
SCALE: 1" = 1"



⑮ SNAP CAP  
8063-T5 ALLOY  
SCALE: 1" = 1"

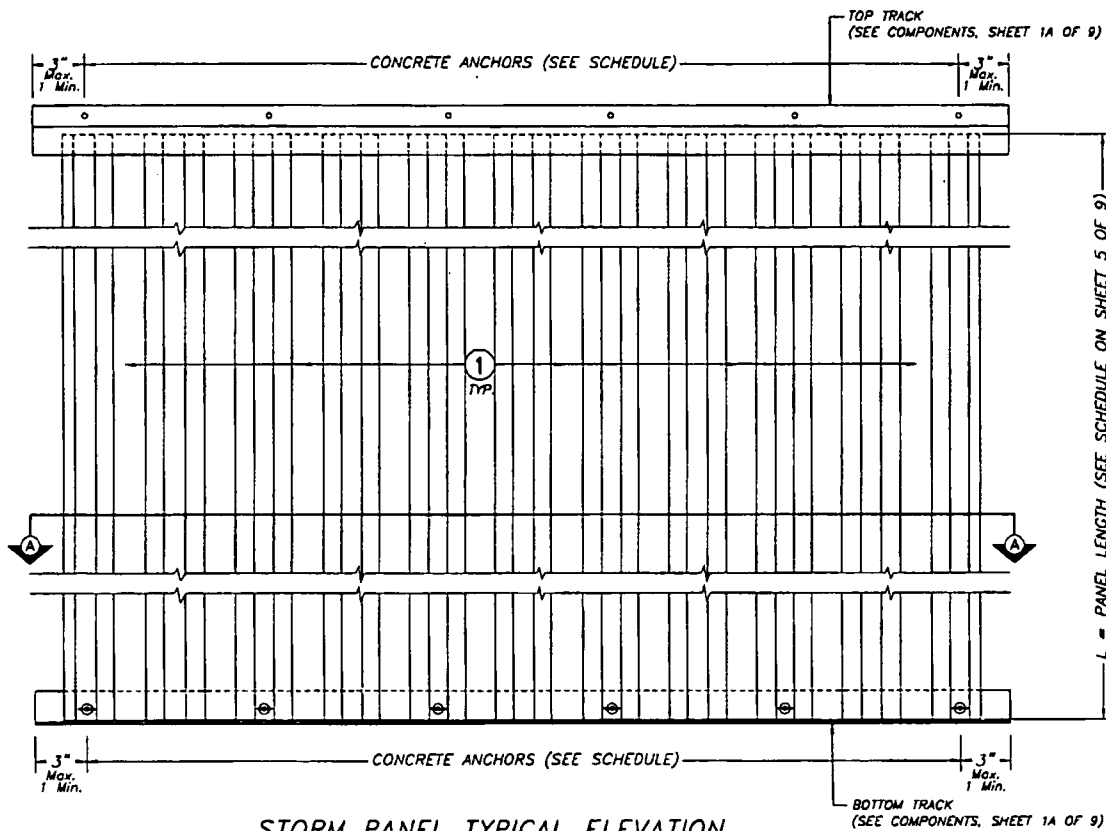


**TILECO Inc.**  
TILLIT TESTING & ENGINEERING COMPANY  
2009 N.W. 8th St., 2nd. FLOOR MIAMI, FL 33136  
Phone: (305) 771-1330 Fax: (305) 771-1331  
EQ-0008718  
WALTER A. TRUITT, P. E.  
FLORIDA LIC. # 44187

F.B.C. (Non High Velocity Hurricane Zone)

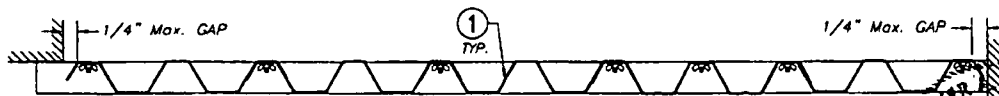
0.050" BERTHA ALUMINUM STORM PANEL		L.C.
EASTERN METAL SUPPLY, INC 4208 WEST ROADS DRIVE WEST PALM BEACH, FL 33407		9/8/03 DATE
		05-270 DRAWING No
REV. No	DESCRIPTION	DATE
1	OLD DWG 04-088 9/7/03	2
2	KEY HOLE OPTION 1 2/10/03	2

SHEET 1A OF 8



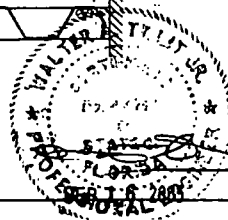
**STORM PANEL TYPICAL ELEVATION**

SCALE : 1/8" = 1"



**SECTION A-A**

SCALE : 1/8" = 1"

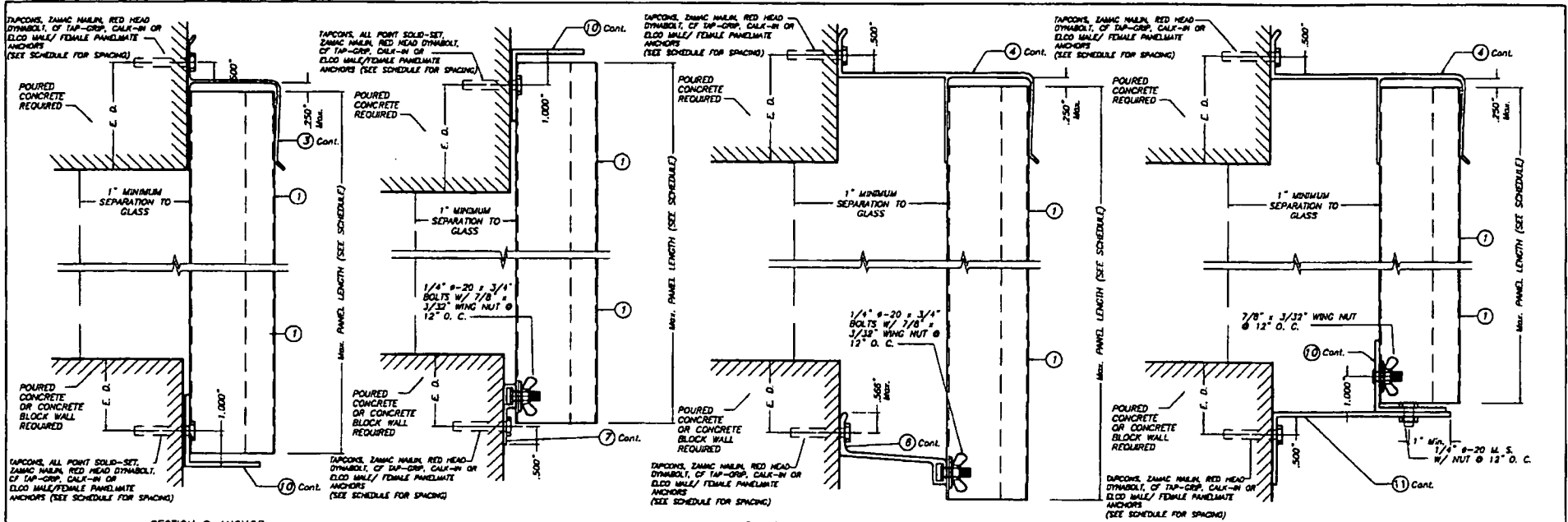


F.B.C. (Non High Velocity Hurricane Zone)

<b>TILECO inc.</b> <small>TILLIT TESTING &amp; ENGINEERING COMPANY          4252 N.W. 32nd St., Ste. 205, Hialeah, FL 33140          Phone: (305) 711-1330 Fax: (305) 711-1331          ED-0008718          WALTER A. TRITT, P. E.          FLORIDA LIC. # 2887</small>		0.050" BERTHA ALUMINUM STORM PANEL		L.C. DRAWN BY:	
		<b>EASTERN METAL SUPPLY, INC</b> <small>4268 WEST ROADS DRIVE          WEST PALM BEACH, FL 33407</small>		8/9/05 DATE	
				05-270 DRAWING No	
REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	OLD DWG 04-288	9/4/05	1		
2	OLD DWG 03-653	11/13/04	2		

SHEET 2 OF 9



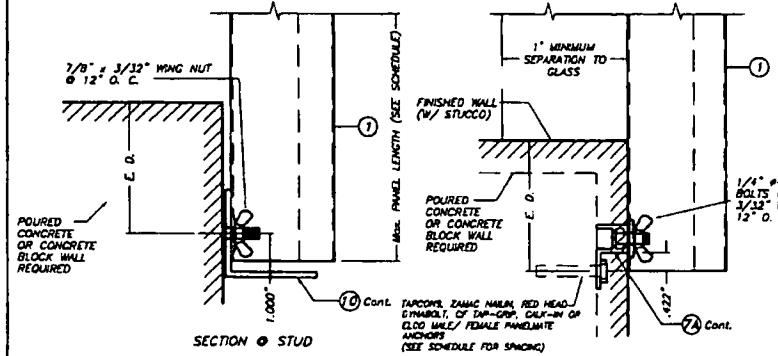


SECTION 2 ANCHOR

**WALL MOUNTING INSTALLATION**  
**SECTION 2** SCALE: 3/8" = 1"

**BUILD OUT INSTALLATION**  
**SECTION 3** SCALE: 3/8" = 1"

**BUILD OUT INSTALLATION**  
**SECTION 4** SCALE: 3/8" = 1"



SECTION 1 STUD

**WALL MOUNTING INSTALLATION**  
**SECTION 1** SCALE: 3/8" = 1"

**WALL MOUNTING INSTALLATION**  
**SECTION 2A** SCALE: 3/8" = 1"

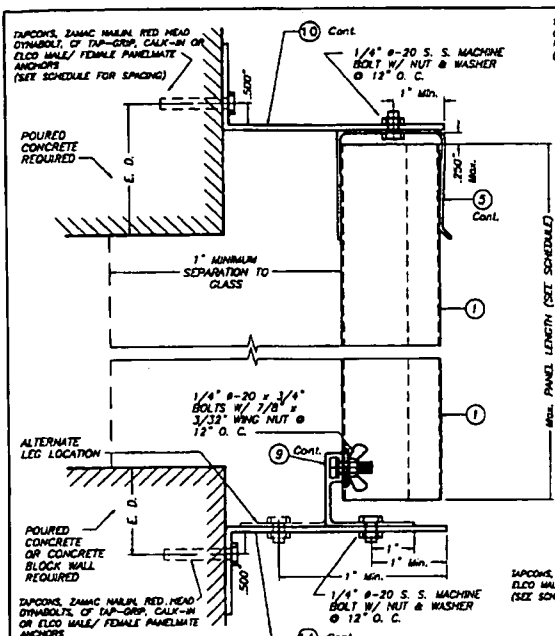
NOTE: DETAIL OF SECTION 1 STUD VALID ALSO FOR WALL MOUNTING INSTALLATION - SECTION 2 (TOP)

E. D. = EDGE DISTANCE (SEE SCHEDULE ON SHEETS 6 & 7 OF 9)

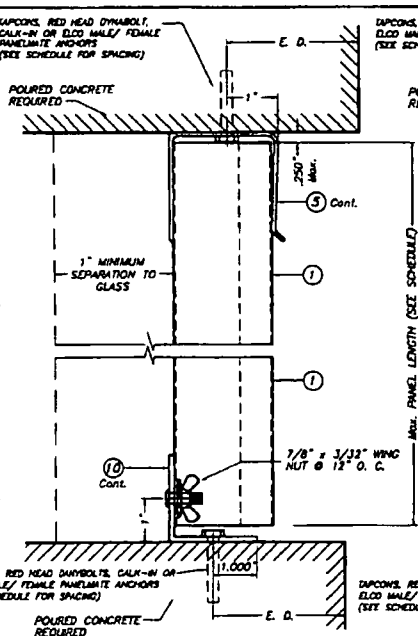
NOTE FOR COMBINATION OF SECTIONS:  
WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.



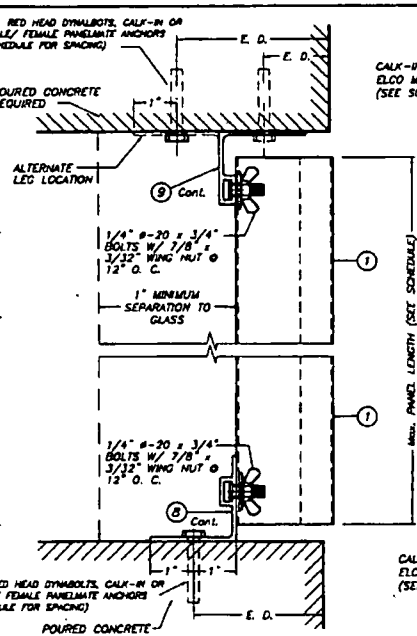
<p>TILECO INC. TILIT TESTING &amp; ENGINEERING COMPANY 4250 W. JETA BL, STE. 205 WINDY OAKS, P. 33146 Phone: (305) 871-1830 Fax: (305) 871-1831 ED-0008719 WALTER A. TILIT, P. E. FLORIDA Lic. # 44187</p>		F.B.C. (Non High Velocity Hurricane Zone)	
		0.050" BERTHA ALUMINUM STORM PANEL	L.C. DRAWN BY:
EASTERN METAL SUPPLY, INC. 4205 WEST ROADS DRIVE WEST PALM BEACH, FL 33407		1/8/03 DATE	05-270 DRAWING No
1 OLD DWG 04-554 9/1/03	2	1 OLD DWG 01-031 7/1/04	SHEET 3 OF 8



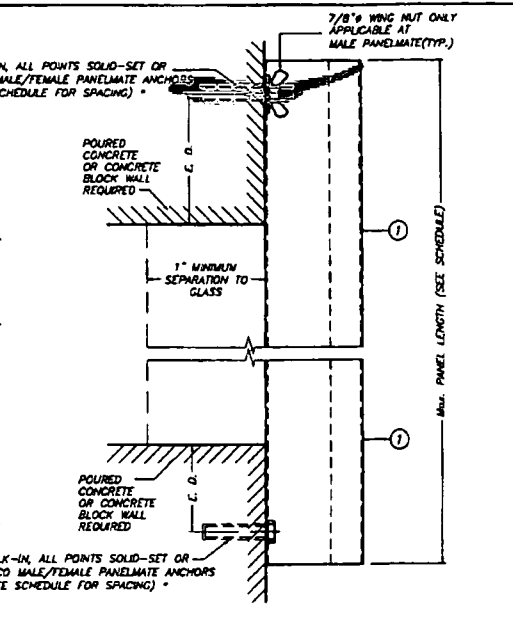
**BUILD OUT INSTALLATION**  
- SECTION 5 SCALE: 3/8" = 1"



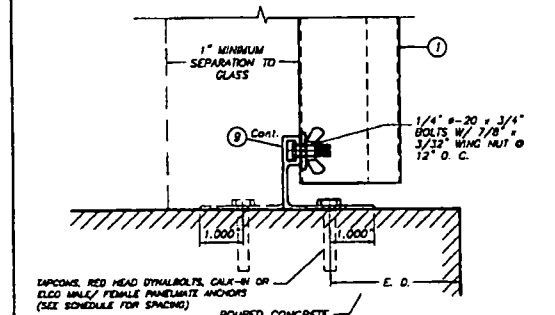
**CEILING & FLOOR MOUNTING INSTALLATION - SECTION 6**  
SCALE: 3/8" = 1"



**CEILING & FLOOR MOUNTING INSTALLATION - SECTION 7**  
SCALE: 3/8" = 1"



**WALL MOUNTING INSTALLATION (D. 12) - SECTION 8**  
SCALE: 3/8" = 1"



**FLOOR MOUNTING INSTALLATION - SECTION 5A**  
SCALE: 3/8" = 1"

E. D. = EDGE DISTANCE  
(SEE SCHEDULE ON SHEET 6 & 7 OF 9)

**NOTE FOR COMBINATION OF SECTIONS:**  
WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

- SCREWS USED AT ANCHORS MAY BE 1/4" x 20 SIDE WALK BOLT W/ (3) OR 1/4" x 20 TRUSS HEAD BOLT W/ (3) & (1)
- SIDE WALK BOLTS ARE 3/4" x 3/32" THICK HEAD MACHINE SCREW W/ LENGTH AS PER NOTES A.2 & B.2 (SHEET 1).
- TRUSS HEAD BOLTS ARE 1/2" x 1/8" THICK HEAD MACHINE SCREW W/ LENGTH AS PER NOTES A.2 & B.2 (SHEET 1)

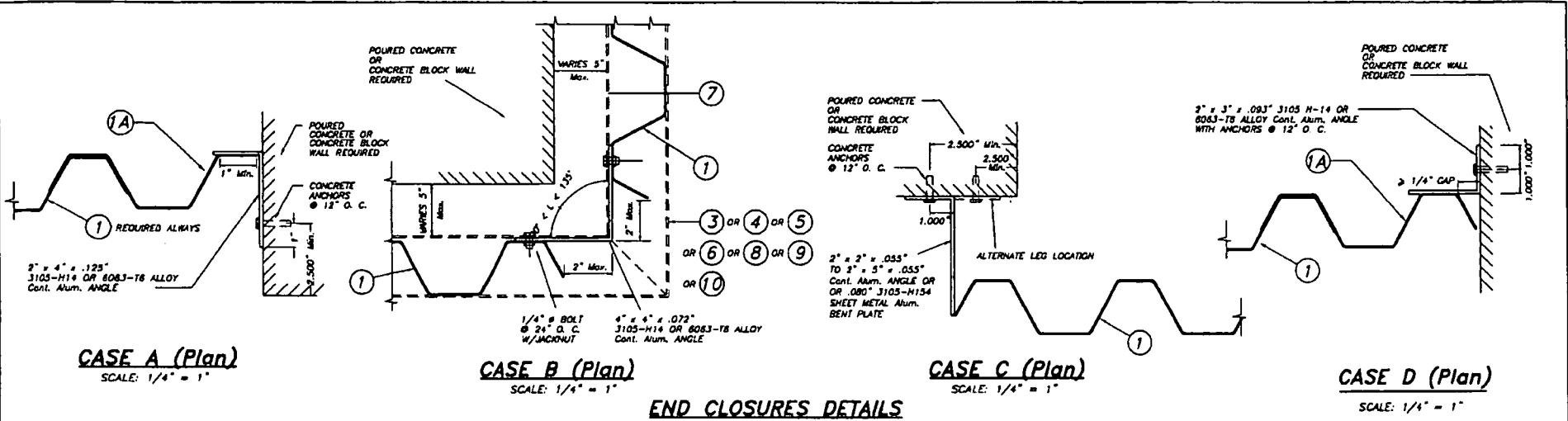


**TILECO INC.**  
TILLY TESTING & ENGINEERING COMPANY  
4328 W. 10th St., Ft. Lee, Volusia County, FL 32146  
Phone: (407) 717-1500 Fax: (407) 717-1511  
ED-000719  
WALTER A. TILLY, P. E.  
FLORIDA LIC. # 44187

F.B.C./ (Non High Velocity Hurricane Zone)

0.050" BERTHA ALUMINUM STORM PANEL		LC DRAWN BY:
EASTERN METAL SUPPLY, INC		8/8/03 DATE
4288 WEST ROADS DRIVE WEST PALM BEACH, FL 33407		05-270 DRAWING No
REV. No	DESCRIPTION	DATE
1	OLD DWG 04-268 9/1/83	2
2	OLD DWG 04-268 10/24/83	2

SHEET 4 OF 8

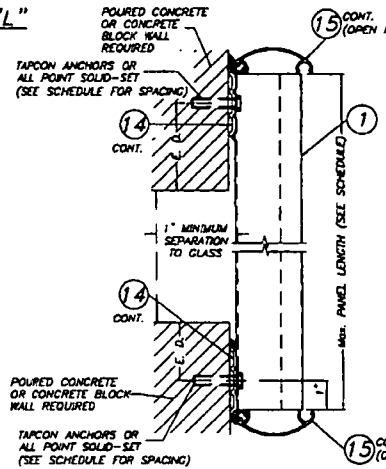


**END CLOSURES DETAILS**

**MAXIMUM DESIGN PRESSURE RATING "W" (p.s.f.) AND CORRESPONDING MAXIMUM PANEL LENGTH "L" SCHEDULE FOR A GIVEN PANEL SYSTEM**

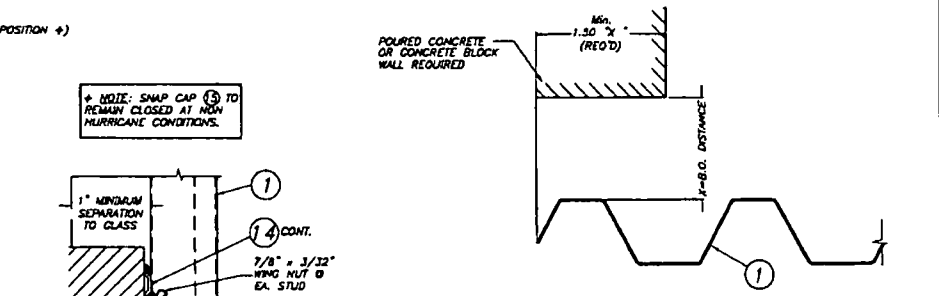
MAXIMUM DESIGN PRESSURE RATING W (p.s.f.)	Max. PANEL LENGTH L (ft.)		
	MOUNTING W/O 7/8" HEADER (1)	MOUNTING W/ 7/8" HEADER (2)	WALL MOUNTING W/ COMPONENT (1) & (2)
+30.0, -30.0	12'-11"	12'-11"	12'-11"
+30.0, -35.0	12'-11"	12'-11"	12'-11"
+35.0, -40.0	12'-0"	12'-0"	12'-0"
+40.0, -45.0	11'-2"	11'-2"	11'-2"
+45.0, -50.0	10'-7"	10'-4"	10'-7"
+50.0, -55.0	10'-0"	9'-4"	10'-0"
+55.0, -60.0	9'-7"	8'-6"	9'-7"
+60.0, -65.0	9'-2"	7'-9"	9'-2"
+65.0, -70.0	8'-9"	7'-2"	8'-9"
+70.0, -75.0	8'-5"	6'-8"	8'-5"
+75.0, -80.0	8'-2"	6'-3"	8'-2"

NOTE: MINIMUM PANEL LENGTH IS 3'-0".

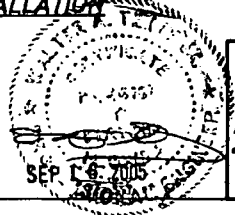


**WALL MOUNTING INSTALLATION SECTION 9**

SCALE: 3/8" = 1"



**SECTION @ STUD TYP. TOP/BOTTOM**



**TILECO INC.**  
 TILLOT TESTING & ENGINEERING COMPANY  
 4208 W. ROAD DR. BLDG. 202 WEST PALM BEACH, FL 33407  
 Phone: (561) 777-1530 Fax: (561) 777-1511  
 ED-0008718  
 WALTER A. TILLY, P. E.  
 FLORIDA LIC. # 44187

F.B.C./Non High Velocity Hurricane Zone

0.050" BERTHA ALUMINUM STORM PANEL L.C. DRAWN BY

**EASTERN METAL SUPPLY, INC.**  
 4208 WEST ROAD DRIVE  
 WEST PALM BEACH, FL 33407

9/8/05 DATE  
 05-270 DRAWING NO.  
 SHEET 5 OF 9

REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	OLD DWG 04-268	9/8/05	1		
1	OLD DWG 02-251	10/13/04	1		

THIS SCHEDULE INDICATES REQUIRED ANCHOR SPACING FOR A GIVEN DESIGN LOAD AND PANEL LENGTH. HOWEVER, MAXIMUM PANEL LENGTH FOR A GIVEN DESIGN LOAD MUST BE VERIFIED AS PER SCHEDULE ON SHEET # OF 8.

**MAXIMUM DESIGN PRESSURE RATING "W" (p.s.f.) AND CORRESPONDING MAXIMUM ANCHOR SPACING SCHEDULE FOR INSTALLATIONS INTO CONCRETE AND CONCRETE BLOCK STRUCTURES \***

E. D. = EDGE DISTANCE

MAXIMUM DESIGN LOAD W (p.s.f.)	MAXIMUM ANCHORS SPACING FOR E. D. = 3 1/2" **												APPLICABLE TO SECTIONS # & ANY COMBINATION OF THEM	MAXIMUM PANEL LENGTH L' (ft.)	
	TAPCONS		ZAMAC MASONRY/RED HD. DYNAMBOLT		CALK-IN		SOLID-SET		PANELMATES		OF TAP-GRIP				
	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY			
+35.0 -40.0 OR LESS	12"	-	12"	-	12"	-	-	-	12"	-	12"	-	1	(TOP)	8'-0" OR LESS
	12"	10"	12"	12"	12"	8"	12"	12"	12"	12"	12"	10 1/2"	1, 9"	(BOTTOM)	
	12"	-	12"	-	12"	12"	12"	12"	12"	-	12"	-	2, 9"	(TOP)	
	12"	10"	12"	12"	12"	8"	-	-	12"	12"	12"	10 1/2"	2	(BOTTOM)	
	12"	10"	12"	12"	12"	8"	-	-	12"	12"	12"	10 1/2"	2A	(BOTTOM)	
	12"	-	12"	-	12"	-	-	-	12"	-	12"	-	3 & 4	(TOP)	
	12"	10"	12"	12"	12"	8"	-	-	12"	12"	12"	10 1/2"	3	(BOTTOM)	
	12"	10"	12"	12"	12"	8"	-	-	12"	12"	12"	10 1/2"	4	(BOTTOM)	
	12"	-	12"	-	12"	-	-	-	12"	-	12"	-	5	(TOP)	
	12"	10"	12"	12"	12"	8"	-	-	12"	12"	12"	10 1/2"	5	(BOTTOM)	
	12"	-	12"	-	12"	-	-	-	12"	-	12"	-	6	(TOP)	
	12"	-	12"	-	12"	-	-	-	12"	-	12"	-	6	(BOTTOM)	
11"	-	12"	-	11"	-	-	-	12"	-	12"	-	5A	(BOTTOM) 7 (TOP)		
11"	-	12"	-	12"	-	-	-	12"	-	12"	-	7	(BOTTOM)		
-	-	-	-	12"	8"	12"	12"	12"	12"	12"	-	8	(TOP/BOTTOM)		
+35.0 -40.0 OR LESS	12"	-	12"	-	12"	-	-	-	12"	-	12"	-	1	(TOP)	>8'-0" TO 10'-0"
	12"	8"	12"	12"	12"	8"	12"	12"	12"	12"	8 1/2"	1, 9"	(BOTTOM)		
	12"	-	12"	-	12"	12"	12"	12"	12"	-	12"	-	2, 9"	(TOP)	
	12"	8"	12"	12"	12"	8"	-	-	12"	12"	12"	8 1/2"	2	(BOTTOM)	
	12"	8"	12"	12"	12"	8"	-	-	12"	12"	12"	8 1/2"	2A	(BOTTOM)	
	12"	-	12"	-	12"	-	-	-	12"	-	12"	-	3 & 4	(TOP)	
	12"	8"	12"	12"	12"	8"	-	-	12"	12"	12"	8 1/2"	3	(BOTTOM)	
	12"	8"	12"	12"	12"	8"	-	-	12"	12"	12"	8 1/2"	4	(BOTTOM)	
	12"	-	12"	-	12"	-	-	-	12"	-	12"	-	5	(TOP)	
	12"	8"	12"	12"	12"	8"	-	-	12"	12"	12"	8 1/2"	5	(BOTTOM)	
	12"	-	12"	-	12"	-	-	-	12"	-	12"	-	6	(TOP)	
	10"	-	12"	-	10"	-	-	-	12"	-	12"	-	6	(BOTTOM)	
8"	-	10"	-	9"	-	-	-	12"	-	12"	-	5A	(BOTTOM) 7 (TOP)		
8"	-	11"	-	9"	-	-	-	12"	-	12"	-	7	(BOTTOM)		
-	-	-	-	12"	8"	12"	12"	12"	12"	12"	-	8	(TOP/BOTTOM)		

MAXIMUM DESIGN LOAD W (p.s.f.)	MAXIMUM ANCHORS SPACING FOR E. D. = 3 1/2" **												APPLICABLE TO SECTIONS # & ANY COMBINATION OF THEM	MAXIMUM PANEL LENGTH L' (ft.)	
	TAPCONS		ZAMAC MASONRY/RED HD. DYNAMBOLT		CALK-IN		SOLID-SET		PANELMATES		OF TAP-GRIP				
	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY			
+35.0 -40.0 OR LESS	12"	-	12"	-	12"	-	-	-	12"	-	10"	-	1	(TOP)	>10'-0" TO 12'-11"
	12"	6"	12"	12"	12"	5"	12"	12"	12"	12"	11 1/2"	6 1/2"	1, 9"	(BOTTOM)	
	12"	6"	11"	-	12"	12"	12"	12"	12"	-	11 1/2"	-	2, 9"	(TOP)	
	12"	6"	12"	12"	12"	5"	-	-	12"	12"	11 1/2"	6 1/2"	2	(BOTTOM)	
	12"	6"	12"	12"	12"	5"	-	-	12"	12"	11 1/2"	6 1/2"	2A	(BOTTOM)	
	12"	-	12"	-	12"	-	-	-	12"	-	12"	-	3 & 4	(TOP)	
	12"	6"	12"	12"	12"	5"	-	-	12"	12"	11 1/2"	6 1/2"	3	(BOTTOM)	
	12"	6"	12"	12"	12"	5"	-	-	12"	12"	11 1/2"	6 1/2"	4	(BOTTOM)	
	12"	-	12"	-	12"	-	-	-	12"	-	11 1/2"	-	5	(TOP)	
	12"	6"	12"	12"	12"	5"	-	-	12"	12"	11 1/2"	6 1/2"	5	(BOTTOM)	
	10"	-	12"	-	10"	-	-	-	12"	-	12"	-	6	(TOP)	
	8"	-	9"	-	8"	-	-	-	11"	-	-	-	6	(BOTTOM)	
7"	-	8"	-	7"	-	-	-	9 1/2"	-	-	-	5A	(BOTTOM) 7 (TOP)		
7"	-	8"	-	7"	-	-	-	10"	-	-	-	7	(BOTTOM)		
-	-	-	-	12"	-	12"	12"	12"	12"	12"	-	8	(TOP/BOTTOM)		

- + ONLY TAPCON ANCHORS OR ALL POINT SOLID-SET ALLOWED FOR MOUNTING SECTION 9.
- ++ ANCHORS SPACING ONLY VALID FOR RED HEAD DYNAMBOLT ANCHORS.
- \* SEE SHEET 8 & 9 OF 9 FOR ANCHORS TYPE & SPACING FOR INSTALLATIONS INTO WOOD FRAME BUILDINGS.
- \*\* MAXIMUM ANCHOR SPACINGS ARE VALID FOR 3 1/2" EDGE DISTANCE. FOR E. D. LESS THAN 3 1/2"; REDUCE ANCHOR SPACING BY MULTIPLYING SPACINGS SHOWN ON SCHEDULE BY THE FOLLOWING FACTORS. (MIN. E. D. FOR CALK-IN ANCHORS & ELCO PANELMATE IS 2 1/2", AND 3 1/2" FOR SOLID-SET ANCHORS).

ACTUAL E. D.	FACTOR			
	TAPCON/ZAMAC MASONRY/RED HD. DYNAMBOLT/PANELMATES	CALK-IN	SOLID-SET	OF TAP-GRIP
3"	.86	.75	.78	1.00
2 1/2"	.71	.50	-	.80
2"	.50	-	-	-



**TILECO Inc.**  
TILTECO TESTING & ENGINEERING COMPANY  
4208 WEST ROADS DRIVE  
WEST PALM BEACH, FL 33407  
TEL: 561-833-1100 FAX: 561-833-1101  
E: 561-833-1102  
WALTER A. TILLY & P. E.  
FLORIDA LIC # 44187

F.B.C. (Non High Velocity Hurricane Zone)

0.050" BERTHA ALUMINUM STORM PANEL

**EASTERN METAL SUPPLY, INC**  
4208 WEST ROADS DRIVE  
WEST PALM BEACH, FL 33407

L.C. DRAWN BY:  
9/16/05 DATE  
OS-270 DRAWING NO.  
SHEET 6 OF 9

REV. NO.	DESCRIPTION	DATE	BY	CHECKED	DATE
1	OLD DWG 04-291	9/16/05	J		
2	REVISED 03-281	10/12/05	J		

THIS SCHEDULE INDICATES REQUIRED ANCHOR SPACING FOR A GIVEN DESIGN LOAD AND PANEL LENGTH. HOWEVER MAXIMUM PANEL LENGTH FOR A GIVEN DESIGN LOAD MUST BE VERIFIED AS PER SCHEDULE ON SHEET 4 OF 8.

**MAXIMUM DESIGN PRESSURE RATING "W" (p.s.f.) AND CORRESPONDING MAXIMUM ANCHOR SPACING SCHEDULE FOR INSTALLATIONS INTO CONCRETE AND CONCRETE BLOCK STRUCTURES \***

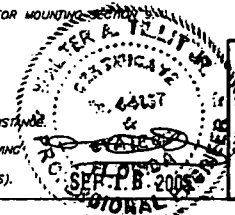
E. D. = EDGE DISTANCE

MAXIMUM DESIGN LOAD W (p.s.f.)	MAXIMUM ANCHORS SPACING FOR E. D. = 3 1/2" **												APPLICABLE TO SECTIONS # & ANY COMBINATION OF THEM	MAXIMUM PANEL LENGTH L' (ft.)		
	TAPCONS		ZIMAC WELDY RED HD. DYNABOLT		CALK-IN		SOLID-SET		PANELMATES		CF TAP-GRP					
	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY				
>+35.0 -60.0 TO +55.0 -60.0	8"	-	8"	-	12"	-	-	-	8"	-	12"	-	1	(TOP)	8'-0" OR LESS	
	8"	6"	8"	12"	12"	5"	12"	12"	8"	12"	12"	7"	1, 9"	(BOTTOM)		
	8"	-	8"	-	12"	-	12"	12"	8"	-	12"	-	2, 9"	(TOP)		
	8"	6"	8"	12"	12"	5"	-	-	8"	12"	12"	7"	2	(BOTTOM)		
	8"	6"	8"	12"	12"	5"	-	-	8"	12"	12"	7"	2A	(BOTTOM)		
	8"	-	8"	-	12"	-	-	-	8"	-	12"	-	3 & 4	(TOP)		
	8"	6"	8"	12"	12"	5"	-	-	8"	12"	12"	7"	3	(BOTTOM)		
	8"	6"	8"	12"	12"	5"	-	-	8"	12"	12"	7"	4	(BOTTOM)		
	8"	-	8"	-	12"	-	-	-	8"	-	12"	-	5	(TOP)		
	8"	6"	8"	12"	12"	5"	-	-	8"	12"	12"	7"	5	(BOTTOM)		
>+35.0 -60.0 TO +55.0 -60.0	10"	-	10"	-	10"	-	-	-	10"	-	-	-	6	(TOP)	>8'-0" TO 12'-0"	
	8"	-	8"	-	8"	-	-	-	8"	-	-	-	6	(BOTTOM)		
	7"	-	8"***	-	7"	-	-	-	10 1/2"	-	-	-	5A	(BOTTOM)		
	8"	-	8"***	-	8"	-	-	-	11"	-	-	-	7	(BOTTOM)		
	-	-	-	-	12"	12"	12"	12"	-	-	-	-	8	(TOP/BOTTOM)		
	8"	-	8"	-	8"	-	-	-	8 1/2"	-	-	-	6	(TOP)		
	5"	-	5"***	-	5"	-	-	-	7"	-	-	-	6	(BOTTOM)		
	4"	-	5"***	-	4"	-	-	-	6 1/2"	-	-	-	5A	(BOTTOM)		
	5"	-	6"***	-	5"	-	-	-	6 1/2"	-	-	-	7	(BOTTOM)		
	-	-	-	-	6"	-	12"	12"	12"	8"	-	-	-	8		(TOP/BOTTOM)
>+35.0 -60.0 TO +55.0 -60.0	8"	-	5"	-	6"	-	-	-	9 1/2"	-	4"	-	1	(TOP)	>8'-0" TO 12'-0"	
	11"	4"	9"	8"	11"	3"	12"	12"	12"	8"	7 1/2"	4"	1, 9"	(BOTTOM)		
	12"	-	9"	-	11"	-	12"	12"	12"	-	7 1/2"	-	2, 9"	(TOP)		
	11"	4"	9"	8"	11"	3"	-	-	12"	8"	7 1/2"	4"	2	(BOTTOM)		
	11"	4"	9"	8"	11"	3"	-	-	12"	8"	7 1/2"	4"	2A	(BOTTOM)		
	11"	-	9"	-	11"	-	-	-	12"	-	7 1/2"	-	3 & 4	(TOP)		
	11"	4"	9"	8"	11"	3"	-	-	12"	8"	7 1/2"	4"	3	(BOTTOM)		
	11"	4"	9"	8"	11"	3"	-	-	12"	8"	7 1/2"	4"	4	(BOTTOM)		
	11"	-	9"	-	11"	-	-	-	12"	-	7 1/2"	-	5	(TOP)		
	11"	4"	9"	8"	11"	3"	-	-	12"	8"	7 1/2"	4"	5	(BOTTOM)		
>+35.0 -60.0 TO +55.0 -60.0	8"	-	8"***	-	8"	-	-	-	8 1/2"	-	-	-	6	(TOP)	>8'-0" TO 9'-7"	
	5"	-	6"***	-	5"	-	-	-	7"	-	-	-	6	(BOTTOM)		
	4"	-	5"***	-	4"	-	-	-	6 1/2"	-	-	-	5A	(BOTTOM)		
	5"	-	6"***	-	5"	-	-	-	6 1/2"	-	-	-	7	(BOTTOM)		
	-	-	-	-	6"	-	12"	12"	12"	8"	-	-	-	8		(TOP/BOTTOM)
	10"	-	7"	-	10"	-	12"	12"	12"	-	6 1/2"	-	2, 9"	(TOP)		
	10"	3"	8"	7"	10"	3"	-	-	12"	7"	6 1/2"	3 1/2"	2	(BOTTOM)		
	10"	4"	8"	7"	10"	3"	-	-	12"	7"	6 1/2"	3 1/2"	2A	(BOTTOM)		
	10"	-	8"	-	10"	-	-	-	12"	-	6 1/2"	-	3 & 4	(TOP)		
	10"	3"	8"	7"	10"	3"	-	-	12"	7"	6 1/2"	3 1/2"	3	(BOTTOM)		
>+35.0 -60.0 TO +55.0 -60.0	10"	3"	8"	7"	10"	3"	-	-	12"	7"	6 1/2"	3 1/2"	4	(BOTTOM)	>8'-0" TO 9'-7"	
	10"	-	8"	-	10"	-	-	-	12"	-	6 1/2"	-	5	(TOP)		
	9"	3"	8"	7"	9"	3"	-	-	12"	6 1/2"	6 1/2"	3 1/2"	5	(BOTTOM)		
	8"	-	7"***	-	8"	-	-	-	7 1/2"	-	-	-	6	(TOP)		
	5"	-	5"***	-	5"	-	-	-	6 1/2"	-	-	-	6	(BOTTOM)		
	4"	-	5"***	-	4"	-	-	-	5 1/2"	-	-	-	5A	(BOTTOM)		
	4"	-	5"***	-	4"	-	-	-	5 1/2"	-	-	-	7	(BOTTOM)		
	4"	-	5"***	-	4"	-	-	-	6"	-	-	-	7	(BOTTOM)		
	-	-	-	-	6"	-	12"	12"	12"	8"	-	-	-	8		(TOP/BOTTOM)

MAXIMUM DESIGN LOAD W (p.s.f.)	MAXIMUM ANCHORS SPACING FOR E. D. = 3 1/2" **												APPLICABLE TO SECTIONS # & ANY COMBINATION OF THEM	MAXIMUM PANEL LENGTH L' (ft.)		
	TAPCONS		ZIMAC WELDY RED HD. DYNABOLT		CALK-IN		SOLID-SET		PANELMATES		CF TAP-GRP					
	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY				
>+35.0 -60.0 TO +55.0 -60.0	8"	-	7"	-	9"	-	-	-	12"	-	6"	-	1	(TOP)	8'-0" OR LESS	
	12"	5"	11"	10"	12"	6"	12"	12"	12"	9 1/2"	9"	5"	1, 9"	(BOTTOM)		
	12"	-	9"	-	12"	-	12"	12"	12"	-	9"	-	2, 9"	(TOP)		
	12"	5"	11"	10"	12"	6"	-	-	12"	9 1/2"	9"	5"	2	(BOTTOM)		
	12"	5"	11"	10"	12"	6"	-	-	12"	9 1/2"	9"	5"	2A	(BOTTOM)		
	12"	-	11"	-	12"	-	-	-	12"	-	9"	-	3 & 4	(TOP)		
	12"	5"	11"	10"	12"	6"	-	-	12"	9 1/2"	9"	5"	3	(BOTTOM)		
	12"	5"	11"	10"	12"	6"	-	-	12"	9 1/2"	9"	5"	4	(BOTTOM)		
	12"	-	11"	-	12"	-	-	-	12"	-	9"	-	5	(TOP)		
	12"	5"	11"	10"	12"	6"	-	-	12"	9 1/2"	9"	5"	5	(BOTTOM)		
>+35.0 -60.0 TO +55.0 -60.0	8"	-	10"***	-	8"	-	-	-	10 1/2"	-	-	-	6	(TOP)	8'-0" TO 9'-7"	
	8"	-	8"***	-	8"	-	-	-	8"	-	-	-	6	(BOTTOM)		
	8"	-	8"***	-	8"	-	-	-	8"	-	-	-	6	(BOTTOM)		
	5"	-	6"***	-	5"	-	-	-	7 1/2"	-	-	-	5A	(BOTTOM)		
	8"	-	7"***	-	8"	-	-	-	8"	-	-	-	7	(BOTTOM)		
	-	-	-	-	12"	12"	12"	12"	12"	8"	-	-	-	8		(TOP/BOTTOM)
	5"	-	4"	-	5"	-	-	-	8"	-	3"	3 1/2"	1	(TOP)		
	10"	3"	8"	7"	10"	3"	12"	12"	12"	7"	6 1/2"	-	1, 9"	(BOTTOM)		
	10"	-	7"	-	12"	-	12"	12"	12"	-	6 1/2"	-	2, 9"	(TOP)		
	10"	3"	8"	7"	10"	3"	-	-	12"	7"	6 1/2"	3 1/2"	2	(BOTTOM)		
>+35.0 -60.0 TO +55.0 -60.0	10"	4"	8"	7"	10"	3"	-	-	12"	7"	6 1/2"	3 1/2"	2A	(BOTTOM)	8'-0" TO 9'-7"	
	10"	-	8"	-	10"	-	-	-	12"	-	6 1/2"	-	3 & 4	(TOP)		
	10"	3"	8"	7"	10"	3"	-	-	12"	7"	6 1/2"	3 1/2"	3	(BOTTOM)		
	10"	4"	8"	7"	10"	3"	-	-	12"	7"	6 1/2"	3 1/2"	3A	(BOTTOM)		
	10"	-	8"	-	10"	-	-	-	12"	-	6 1/2"	-	5	(TOP)		
	9"	3"	8"	7"	9"	3"	-	-	12"	6 1/2"	6 1/2"	3 1/2"	5	(BOTTOM)		
	8"	-	7"***	-	8"	-	-	-	7 1/2"	-	-	-	6	(TOP)		
	5"	-	5"***	-	5"	-	-	-	6 1/2"	-	-	-	6	(BOTTOM)		
	4"	-	5"***	-	4"	-	-	-	5 1/2"	-	-	-	5A	(BOTTOM)		
	4"	-	5"***	-	4"	-	-	-	5 1/2"	-	-	-	7	(BOTTOM)		
-	-	-	-	6"	-	12"	12"	12"	8"	-	-	-	8	(TOP/BOTTOM)		

ACTUAL E. D.	FACTOR			
	TAPCON/ZIMAC WELDY RED HD. DYNABOLT/PANELMATES	CALK-IN	SOLID-SET	CF TAP-GRP
3"	.85	.75	.78	1.00
2 1/2"	.71	.50	-	.80
2"	.50	-	-	-

- + ONLY TAPCON ANCHORS OR ALL POINT SOLID-SET ALLOWED FOR MOUNTING SECTIONS # 1 & 2.
- ++ ANCHORS SPACING ONLY VALID FOR RED HEAD DYNABOLT ANCHORS.
- \* SEE SHEET 8 & 9 OF 9 FOR ANCHORS TYPE & SPACING FOR INSTALLATIONS INTO WOOD FRAME BUILDINGS.
- \*\* MAXIMUM ANCHOR SPACINGS ARE VALID FOR 3 1/2" EDGE DISTANCE. FOR E. D. LESS THAN 3 1/2", REDUCE ANCHOR SPACING BY MULTIPLYING SPACINGS SHOWN ON SCHEDULE BY THE FOLLOWING FACTORS. (MIN. E. D. FOR CALK-IN ANCHORS & ELCO PANELMATE IS 2 1/2", AND 3 1/2" FOR SOLID-SET ANCHORS).



**TILECO INC.**  
 QUALITY TESTING & ENGINEERING COMPANY  
 1411 EAST A.M. ST., SUITE 200, WEST PALM BEACH, FL 33411  
 Phone: (561) 837-1830 Fax: (561) 837-1811  
 E-mail: info@tileco.com  
 WALTER A. TILLY, P.E.  
 FLORIDA LIC. # 44187

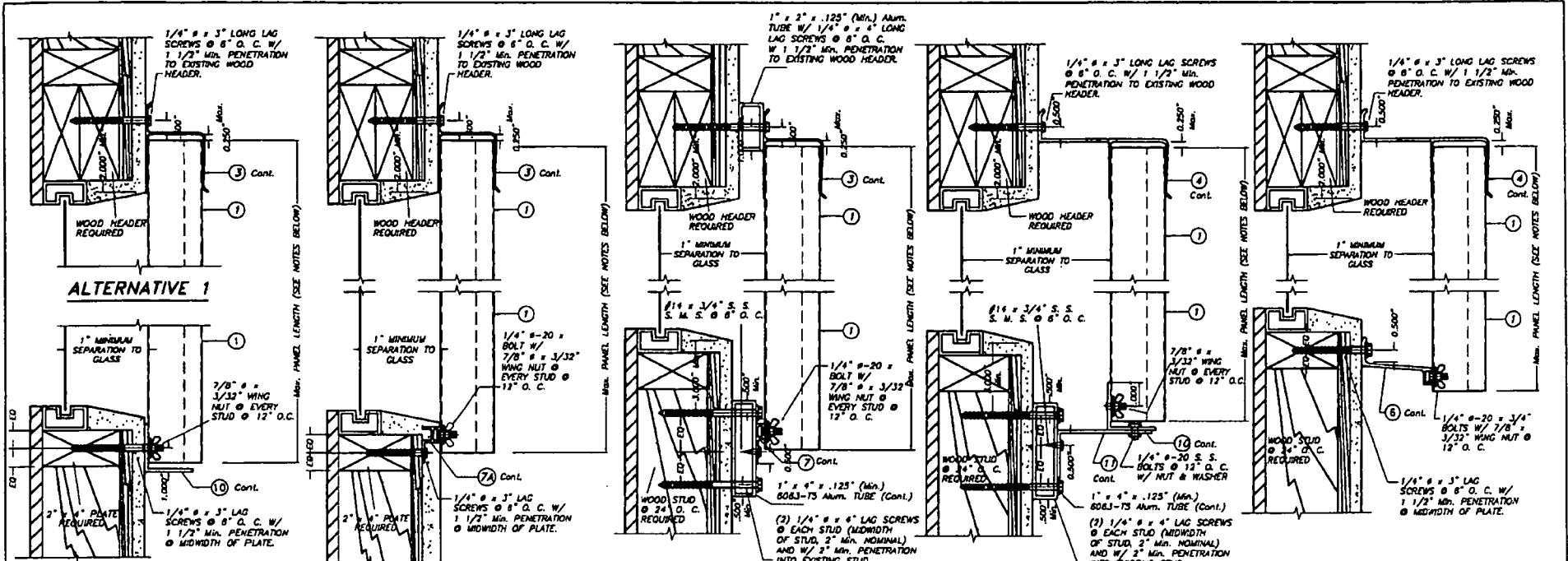
F.B.C./Non High Velocity Hurricane Zone

**0.050" BERTHA ALUMINUM STORM PANEL**

**EASTERN METAL SUPPLY, INC.**  
 4288 WEST ROADS DRIVE  
 WEST PALM BEACH, FL 33407

L.C. DRAWING BY: 9/8/05 DATE: 05-270 DRAWING NO. SHEET 7 OF 8

REV. NO.	DESCRIPTION	DATE	BY	CHECKED	DATE
1	OLD Dwg 04-091	9/8/05	J		
1	OLD Dwg 02-051	1/24/04	J		



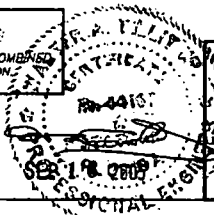
**WALL MOUNTING INSTALLATIONS  
 SECTIONS A**

SCALE: 1/4" = 1"

**INSTALLATION DETAILS ON  
 EXISTING WOOD BUILDINGS**

**NOTES:**  
 1. INSTALLATIONS ARE ONLY VALID FOR DESIGN WIND LOADS UP TO +65.0, -72.0 psf AND PANEL'S LENGTHS UP TO 9'-0".  
 2. FOR WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL.

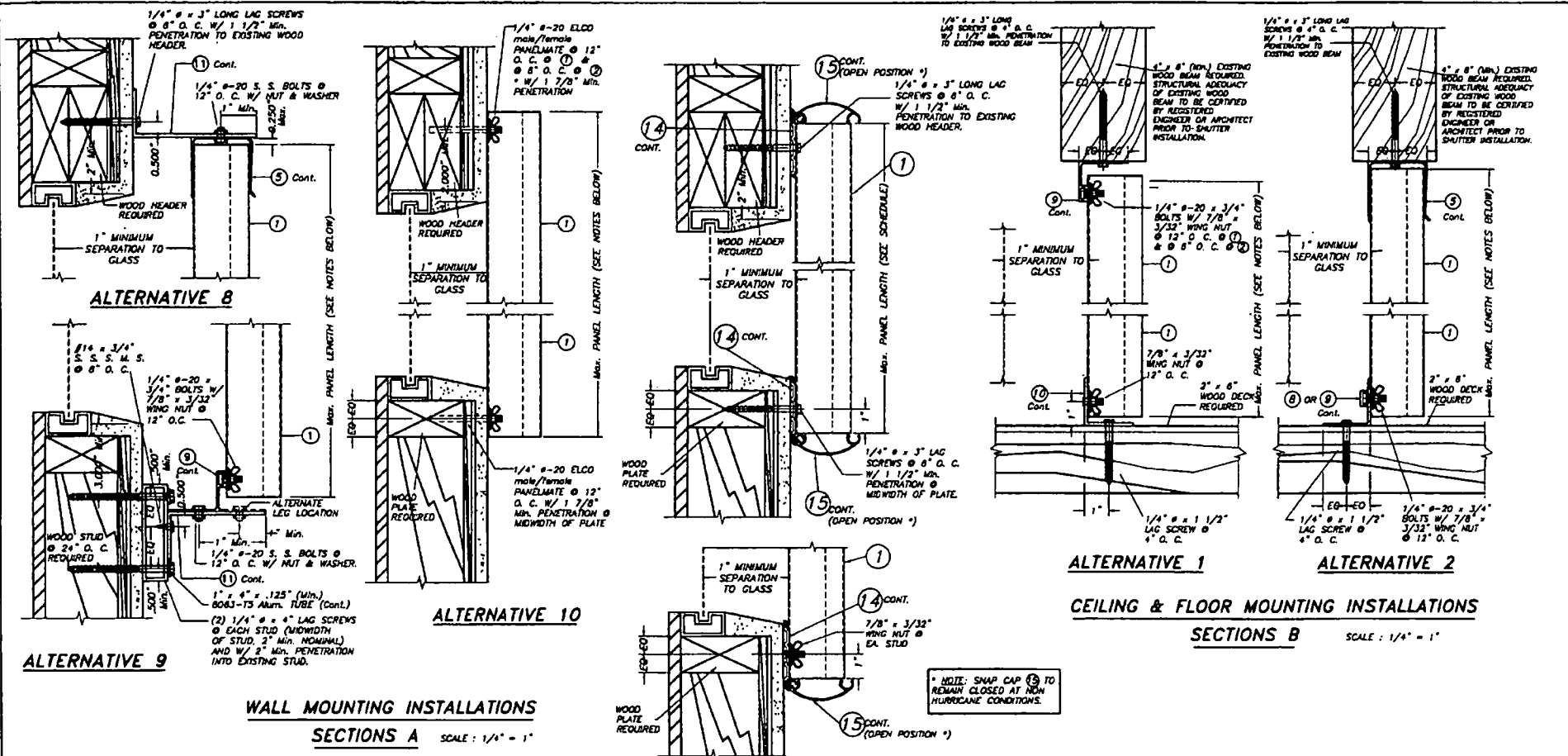
**NOTE FOR COMBINATION OF SECTIONS:**  
 WALL MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.



**TILCO INC.**  
 TILLET TESTING & ENGINEERING COMPANY  
 4208 W. W. SIMS, JR. RD. 255 WINDY CREEK, FL 33148  
 Phone 1 (305) 871-1830 Fax 1 (305) 871-1831  
 EG-0008718  
 WALTER A. TILLET, P. E.  
 FLORIDA Lic. # 44187

0.050" BERTHA ALUMINUM STORM PANEL		L.C.
EASTERN METAL SUPPLY, INC.		9/8/03
4258 WEST ROADS DRIVE WEST PALM BEACH, FL 33407		DATE
		05-270
		DRAWING No.
REV. No.	DESCRIPTION	DATE
1	OLD DWG 04-088 9/4/03	
2	OLD DWG 04-088 9/4/03	
3	OLD DWG 04-088 9/4/03	
		SHEET 8 OF 9

F.B.C. / (Non High Velocity Hurricane Zone)



**ALTERNATIVE 8**

**ALTERNATIVE 9**

**ALTERNATIVE 10**

**WALL MOUNTING INSTALLATIONS**  
**SECTIONS A** SCALE: 1/4" = 1"

**ALTERNATIVE 1**

**ALTERNATIVE 2**

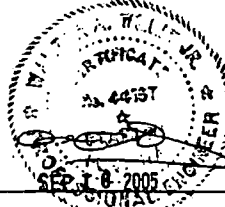
**CEILING & FLOOR MOUNTING INSTALLATIONS**  
**SECTIONS B** SCALE: 1/4" = 1"

**SECTION C STUD TYP. TOP/BOTTOM**  
**ALTERNATIVE 11**

**INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS**

**NOTE FOR COMBINATION OF SECTIONS:**  
 FLOOR/ WALL/ CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

- NOTES:**
- INSTALLATIONS ARE ONLY VALID FOR DESIGN WIND LOADS UP TO +65.0, -72.0 psf AND PANEL LENGTHS UP TO 9'-0".
  - FOR WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.53 OR EQUAL.



**TILECO INC.**  
 TILT TESTING & ENGINEERING COMPANY  
 4101 N.W. 10TH BL. BLDG. 202 WINDWARD GARDENS, FL 33148  
 Phone: (407)771-1510 Fax: (407)771-1511  
 ID-0008718  
 WALTER A. TILLEY, P. E.  
 FLORIDA LIC. # 44187

F.B.C./Non High Velocity Hurricane Zone

0.050" BERTHA ALUMINUM STORM PANEL		L.C. DRAWN BY:
EASTERN METAL SUPPLY, INC		9/8/05
4268 WEST ROADS DRIVE WEST PALM BEACH, FL 33407		DATE
		05-270
		DRAWING No
REV. No	DESCRIPTION	DATE
1	OLD Dwg 04-268	9/8/05
2	OLD Dwg 01-251	8/18/04
		SHEET 9 OF 9

Customer - SANDY HAYNES

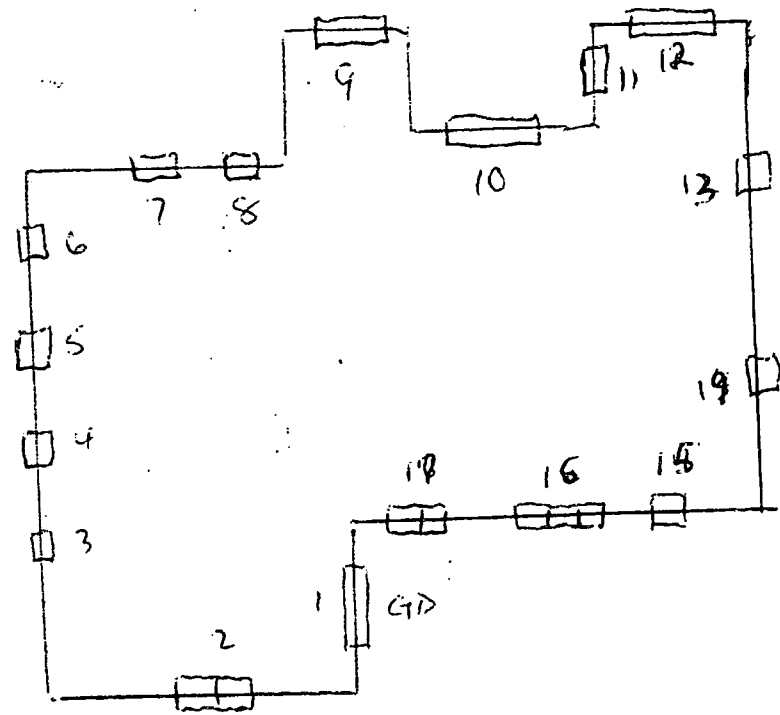
Address - 06 PALM RD  
STUART

HOUSE MAP

Phone #

Opening

- 1) \_\_\_\_\_
- 2) \_\_\_\_\_
- 3) \_\_\_\_\_
- 4) \_\_\_\_\_
- 5) \_\_\_\_\_
- 6) \_\_\_\_\_
- 7) \_\_\_\_\_
- 8) \_\_\_\_\_
- 9) \_\_\_\_\_
- 10) \_\_\_\_\_
- 11) \_\_\_\_\_
- 12) \_\_\_\_\_
- 13) \_\_\_\_\_
- 14) \_\_\_\_\_
- 15) \_\_\_\_\_
- 16) \_\_\_\_\_
- 17) \_\_\_\_\_
- 18) \_\_\_\_\_
- 19) \_\_\_\_\_
- 20) \_\_\_\_\_





# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 8-23, 2006

Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>8055</del>	<del>Haynes</del>	<del>Final</del>	<del>FAIL</del>	<del>NO ACCESS</del>
3	6 Palm Rd Storm Depot			<del>TO REPAIR OF HOUSE</del> INSPECTOR: <i>OM</i>
None	Steck	lawns??	OK	
9	32 Fieldway Dr			INSPECTOR:
1990	Ristyle	Final-	PASS	CLOSE
8	121 Periwinkle Cir Sunside Rockscapes			INSPECTOR: <i>OM</i>
8123	Lulet	Tie beam	PASS	
1	20E High Pt Seagate			INSPECTOR: <i>OM</i>
8193	Cobello	Final roof	FAIL	
7	8 N Sewall Pt Charot			INSPECTOR: <i>OM</i>
8160	Wallengust	Final-gen	PASS	CLOSE
6	3 Copaire Rd OB			INSPECTOR: <i>OM</i>
MC 0040	Wander	Final 4G tank + line	FAIL	
4	26 Smera St MC Propane			INSPECTOR: <i>OM</i>

OTHER: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 8-23, 2006 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8055	Haynes	Final		
3	6 Palm Rd			
	Storm Depot -	Notes 344-2299		INSPECTION.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE		
	Stark			



**TOWN OF SEWALL'S POINT**

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

**CORRECTION NOTICE**

ADDRESS: 6 PALM RD.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

SHUTTERS

NO PROVISIONS FOR SHUTTERS @  
WINDOW / DOOR # 3, 5, 9, 10, 11

SHUTTERS / PANES @ WINDOW # 4  
DO NOT FIT.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 8/28

INSPECTOR

**DO NOT REMOVE THIS TAG**



~~Wed 8/30~~ or Fri 9/1

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 9/1, 2006 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8147	Lulo	windows	PASS	CLOSE
4	27 Sumara SDH call Scott 260-3151 to meet you there			INSPECTOR: <i>QW</i>
8193	Cobiella	final roof	PASS	CLOSE
11	8 N. Sewall Pt Chabot - 283-1505 Katie	11:00 P.M.		INSPECTOR: <i>QW</i>
<del>8051</del>	<del>Haynes</del>	<del>Final</del>	<del>PASS</del>	<del>CLOSE</del>
3	6 Palm Rd Storm Depot			INSPECTOR: <i>QW</i>
Tree	Heckenberg	Tree	PASS	
12	5 Lagoon Isl.			INSPECTOR: <i>QW</i>
8123	Lulo	partial roof making	PASS	
2	20 E High Pt Seagote			INSPECTOR: <i>QW</i>
MC 0100	Hochstetler	reinspect	FAIL	
1	92 S River Rd O/B	1st Please 288-2232		INSPECTOR: <i>QW</i>
				INSPECTOR:

OTHER:

**10891**

**SOLAR HOT**

**WATER HEATER**

**SYSTEM**



VOID  
8/19/14

TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

### BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	10891	DATE ISSUED:	6/2/2014
SCOPE OF WORK:	SOLAR HOT WATER HEATER SYSTEM		
CONTRACTOR:	LSCI, INC		
PARCEL CONTROL NUMBER:	133841005000000306	SUBDIVISION	Palm Row revised & amended plat Lot 3
CONSTRUCTION ADDRESS:	6 PALM ROAD		
OWNER NAME:	HAYNES		
QUALIFIER:	RAYMOND MEAD	CONTACT PHONE NUMBER:	727-571-4141

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
CALL 287-2455 - 8:00AM TO 4:00PM**

INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

#### INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**BUILDING PERMIT RECEIPT**

<b>PERMIT NUMBER:</b>	10891		
<b>ADDRESS:</b>	6 PALM ROAD		
<b>DATE ISSUED:</b>	6/2/2014	<b>SCOPE OF WORK:</b>	SOLAR HOTE WATER HEATER SYSTEM

<b>SINGLE FAMILY OR ADDITION /REMODEL</b>	Declared Value	\$	
---	----------------	----	--

Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)	\$	
(No plan submittal fee when value is less than \$100,000)		
Total square feet air-conditioned spa @ \$ 121.75 per sq. ft. s.f.	\$	-
Total square feet non-conditioned space, or interior remodel: @ \$ 59.81 per sq. ft. s.f.	\$	-
Total square feet remodel with new trusses: \$ 90.78 per sq. ft. s.f.	\$	-
Total Construction Value:	\$	\$ -
Building fee: (2% of construction value SFR or >\$200K)	\$	n/a
Building fee: (1% of construction value < \$200K + \$100 per insp.)	\$	-
Total number of inspections (Value < \$200K) \$ 100.00 per insp. # insp		n/a
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)	\$	n/a
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)	\$	n/a
Road impact assessment: (.04% of construction value - \$5 min.)		n/a
Martin County Impact Fee:	\$	
<b>TOTAL BUILDING PERMIT FEE:</b>	\$	\$ -

<b>ACCESSORY PERMIT</b>	Declared Value:	\$	\$ 11,987.00
Total number of inspections: @ \$ 100.00 per insp. # insp	\$	1.00	\$ 100.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)	\$		\$ 2.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)	\$		\$ 2.00
Road impact assessment: (.04% of construction value - \$5 min.)			\$ 5.00

<b>TOTAL ACCESSORY PERMIT FEE:</b>	\$	<b>109.00</b>
------------------------------------	----	---------------

*Pa 6/5/14  
 OK# 9991*



NOTES

# RECEIPT

DATE 6-5-14

NO. 550246

RECEIVED FROM LSC, Inc.

ADDRESS Clearwater Fl

~~One Hundred Nine 00/ \$ 109.~~

FOR Permit 10891 - Hayes

ACCOUNT		HOW PAID	
AMT. OF ACCOUNT		CASH	
AMT. PAID		CHECK	
BALANCE DUE		MONEY ORDER	

BY

Christine Bergeron

©2001 REDIFORM® 8L802

VOID  
8/17/14

# Town of Sewall's Point

## BUILDING PERMIT APPLICATION

Permit Number: 10891

Date: \_\_\_\_\_

OWNER/LESSEE NAME: Jeffrey & Sandra Haynes Phone (Day) 772-220-0388 (Fax) \_\_\_\_\_

Job Site Address: 6 Palm Rd City: Stuart State: FL Zip: 34996

Legal Description Palm Row Revised & Amended Plat Lot 3 Parcel Control Number: 13-38-41-005-000-00030-6

Fee Simple Holder Name: \_\_\_\_\_ Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Telephone: \_\_\_\_\_

\*SCOPE OF WORK (PLEASE BE SPECIFIC): Solar hot water heater system

**WILL OWNER BE THE CONTRACTOR?**  
(If yes, Owner Builder questionnaire must accompany application)  
YES \_\_\_\_\_ NO   
**Has a Zoning Variance ever been granted on this property?**  
YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
(Must include a copy of all variance approvals with application)

**COST AND VALUES:** (Required on ALL permit applications)  
Estimated Value of Improvements: \$ 11987  
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
Is subject property located in flood hazard area? VE10 \_\_\_\_\_ AE9 \_\_\_\_\_ AE8   
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
(Fair Market Value of the Primary Structure only, Minus the land value)  
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: LSCI, Inc Phone: 727-571-4141 Fax: 727-683-9958

Qualifiers name: Raymond Mead Street: 19321-C US Hwy 19 N Ste 500 City: Clearwater State: FL Zip: 33764

State License Number: CVC056656 OR: Municipality: \_\_\_\_\_ License Number: \_\_\_\_\_

LOCAL CONTACT: \_\_\_\_\_ Phone Number: \_\_\_\_\_

DESIGN PROFESSIONAL: Allen Gezelman Fla. License# PE59180

Street: 16502 Hanna Rd. City: Lutz State: FL Zip: 33549 Phone Number: 813-650-7246

AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/ Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_

Carport: \_\_\_\_\_ Total under Roof \_\_\_\_\_ Elevated Deck: \_\_\_\_\_ Enclosed area below BFE\*: \_\_\_\_\_  
\* Enclosed non-habit

CODE EDITIONS IN EFFECT TH  
National Electrical Code: 2008, I

# LET'S ELIMINATE AGGRESSIVE DRIVING

### WARNINGS TO OWN

1. YOUR FAILURE TO RECORD PROPERTY. WHEN FINANCING, NOTICE OF COMMENCEMENT M
2. IT IS YOUR RESPONSIBILITY APPLICABLE TO THIS PROPERTY MAY BE ADDITIONAL PERMITS I AGENCIES, OR FEDERAL AGEN
3. BUILDING PERMITS FOR SIN A PERIOD OF 24 MONTHS. RENE
4. THIS PERMIT WILL BECOME WORK IS SUSPENDED OR ABAN BE ASSESSED ON ANY PERMIT

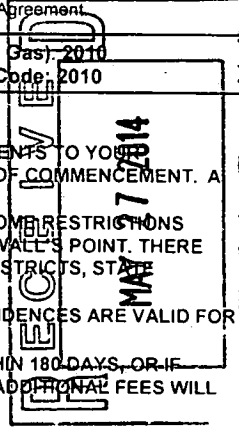
Sandy Haynes  
6 Palm Rd  
341-1213  
sandysplans@  
bellsouth.net

10891

anical, Plumbing, Existing, Gas) 2010  
, Florida Fire Prevention Code, 2010

NG TWICE FOR IMPROVEMENTS TO YOU  
ECORDING YOUR NOTICE OF COMMENCEMENT. A  
.THE FIRST INSPECTION.  
Y DEED RESTRICTIONS. SOME RESTRICTIONS  
NTY OR THE TOWN OF SEWALL'S POINT. THERE  
S WATER MANAGEMENT DISTRICTS, STA

IS TO SINGLE FAMILY RESIDENCES ARE VALID FOR  
'N ORDINANCE 50-95.  
IS NOT COMMENCED WITHIN 180 DAYS, OR IF  
E WORK IS COMMENCED. ADDITIONAL FEES WILL  
1, 105.4.1.1 - .5.



\*\*\*\* A FINA

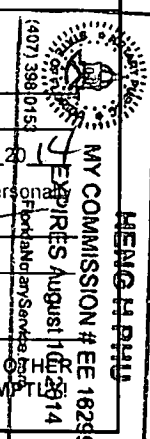
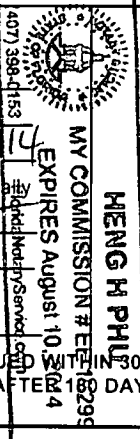
### BUILDING PERMITS\*\*\*\*\*

AFFIDAVIT: APPLICATION IS H THAT NO WORK OR INSTALLA Funding provided by the Florida Department of Transportation.  
FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER/AGENT/LESSEE - NOTARIZED SIGNATURE:  
X Mark Gross  
State of Florida, County of: Pinellas  
On This the 23rd day of May, 2014  
by Mark Gross who is personally known to me or produced DL as identification.  
Notary Public  
My Commission Expires: EE16299

CONTRACTOR/LICENSEE/NOTARIZED SIGNATURE:  
X Raymond Mead  
State of Florida, County of: Pinellas  
On This the 23rd day of May, 2014  
by Raymond Mead who is personally known to me or produced \_\_\_\_\_ as identification.  
Notary Public  
My Commission Expires: EE16299

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 30 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY



19321C US HWY 19 N #500  
Clearwater, FL 33764  
727-571-4141

### LSCI, INC. DBA SUN-TEC Agreement

1030 Wallace Dr. #C  
Delray Beach, FL 33444  
877-834-7868

Certified Solar Lic.#CVC056656

Certified Electrical Lic.#EC0000539

Certified Air Conditioning Lic.#CAC009274

Purchaser's Name <b>JEFF &amp; SANDY HAYNES</b>		Date <b>5-17-2014</b>	DOB <b>4/10/1966</b>	Page 1 of _____
Street <b>6 PALM RD</b>		Phone # <b>H: (772) 220-0888 (772) 341-1213</b>		
City <b>STUART</b>	Zip <b>34996</b>	County <b>MARTIN</b>	SSN <b>2666-53-9762</b>	

This agreement and the worksheet agreement(s) attached hereto (the "Agreement"), by and between LSCI, Inc., a Florida corporation doing business as Sun-Tec ("LSCI"), and the purchaser listed above (the "Purchaser"), specify the terms for the materials to be provided and services to be performed by LSCI in the residence located at the address listed above (the "Property"). LSCI shall furnish, deliver and arrange for installation (the "Services") of all materials necessary to improve the Property (the "Products") according to the following specifications, including all worksheets and forms attached hereto:

Solar Domestic Hot Water  Solar Pool  Solar Air Conditioner  Solar Fan  Insulation  Other: \_\_\_\_\_

Bank Y/N Deposit \$ \_\_\_\_\_ Permit \$ \_\_\_\_\_ Balance \$ 11987 Total \$ 11987.00

Cash \_\_\_\_\_ Check No. \_\_\_\_\_ CC Type \_\_\_\_\_ CC No. \_\_\_\_\_ DOE \_\_\_\_\_ SC No. \_\_\_\_\_

LSCI and Purchaser agree as follows:

- Services.** LSCI shall perform all Services and install all Products in a professional and workmanlike manner, and comply with existing government codes and regulations. All changes, alterations, or additional demands by Purchaser shall be accomplished pursuant to a change order signed by both parties. Additional Services may require additional charges, which if in excess of \$100, shall be paid by Purchaser at the time of such change. Products or alterations requested by Purchaser subsequent to Products being specifically ordered by LSCI may require an up charge, such charge due upon the change.
- Warranty.** All Products are warranted as per the individual Product manufacturer guidelines for replacement, repair, and manufacturing defects, provided that Purchaser complies with all manufacturer requirements associated with those warranties. LSCI solely warrants those Services performed by LSCI in installing Products, and all other claims must be made to the Products' manufacturer(s).
- Payment.** Purchaser shall pay LSCI for the Products and Services in accordance with the payment schedule attached to this Agreement. Purchaser shall pay LSCI, on demand, a late fee equal to five percent (5%) of any installment due under this Agreement that is more than 10 days delinquent, and returned checks shall carry an additional fee of \$100, due immediately. If any payments due require the use of collection services, Purchaser will be liable for costs of collection, including reasonable attorneys' fees. Title to the Products will remain with LSCI until all sums due have been paid, and LSCI reserves the right to pick up any Products if payments as set forth herein are not made when due. Additionally, LSCI can stop work if payment is not made when due. Except as otherwise stated herein, any deposits are non-refundable.
- Risk of Loss for Products.** Once Products have been delivered to the Property, it is Purchaser's responsibility to care for them. LSCI bears no responsibility for theft or damage to Products once such Products have been delivered to the Property.
- Liquidated Damages.** Purchaser acknowledges and agrees that actual damages for breach of this Agreement before commencement of work may be difficult to determine, and accordingly, Purchaser agrees to pay to LSCI ten percent (10%) of the price stated in this Agreement as liquidated damages for a breach of Agreement by Purchaser occurring before commencement of Services. Once LSCI furnishes Services or Products under this Agreement, LSCI will be entitled to actual damages, plus 20%, if Purchaser breaches this Agreement. Purchaser shall not have to pay liquidated damages if this Agreement is voided by LSCI management or if financing approval is not obtained.
- No Liability for Damages.** In performing the Services, LSCI bears no responsibility for any water damage, paint damage, framing damage, or any other damage to the Property unless such damage is the direct result of the gross negligence or willful misconduct of LSCI. LSCI will not be held liable for loss or damage, consequential or direct, arising from the operation or failure of Products, or for work done on existing air conditioning units or components thereof. LSCI shall use reasonable precaution to protect against any damage to the Property, provided however, that Purchaser shall be responsible for protecting any valuable object or items, or removing such items from the area in which Services are being performed. Purchaser agrees that while LSCI is performing Services, Purchaser shall keep the working area free and clear of third parties to avoid any kind of personal injury.
- Authorization of Credit Check.** The Purchaser authorizes LSCI to verify and review Purchaser's credit score with an independent credit reporting agency, and releases LSCI from any inadvertent omissions or errors in obtaining such credit scores.
- Permits.** By executing this Agreement, Purchaser authorizes LSCI to apply for and sign for permits on Purchaser's behalf. This authorization is only valid for permits obtained relevant to Services performed pursuant to this Agreement.
- Purchaser's Right to Cancel.** If this Agreement is a home solicitation sale, and Purchaser does not want LSCI's Services or Products, Purchaser may cancel the Agreement in person, by telegram or by mail. The notice must indicate that Purchaser does not want the Products or Services and must be delivered or postmarked before midnight of the third business day after execution of this Agreement. If Purchaser cancels this Agreement in accordance with the terms of this paragraph 9, LSCI shall return any deposits made by Purchaser.
- Entire Agreement.** Except for loan documents executed by the parties in conjunction with this Agreement, the Agreement and the exhibits attached hereto constitute the entire understanding of the parties with respect to the subject matter hereof, and no amendment, modification or alteration of the terms hereof shall be binding unless the same be in writing, dated subsequent to the date hereof and duly approved and executed by each of the parties.
- Assignability.** Neither this Agreement nor any right or interest hereunder shall be assignable by the Purchaser without LSCI's prior written consent.
- Enforceability.** If any term or condition of this Agreement shall be invalid or unenforceable to any extent or in any application, then the remainder of this Agreement, and such term or condition except to such extent or in such application, shall not be affected thereby and each and every term and condition of this Agreement shall be valid and enforced to the fullest extent and in the broadest application permitted by law.
- Binding Effect.** This Agreement is not binding on LSCI unless approved and accepted by an officer of LSCI. Upon acceptance by LSCI, each of the provisions and agreements herein contained shall be binding upon and inure to the benefit of the personal representatives, devisees, heirs, successors, transferees and assigns of the respective parties hereto.
- Legal Fees and Costs.** If a legal action is initiated by any party to this Agreement against another, arising out of or relating to the alleged performance or non-performance of any right or obligation established hereunder, or any dispute concerning the same, any and all fees, costs and expenses reasonably incurred by each successful party or his or its legal counsel in investigating, preparing for, prosecuting, defending against, or providing evidence, producing documents or taking any other action in respect of, such action shall be paid or reimbursed by the unsuccessful party.
- Governing Law, Venue.** This Agreement shall be governed in accordance with Florida law. The parties to this Agreement irrevocably and unconditionally consent to the jurisdiction and venue of the state and Federal courts located in Pinellas County, Florida in connection with any action related to this Agreement.

To perform properly, all Products must be installed pursuant to applicable code, manufacturer's instructions, and within limitations of the building structure. Under NO circumstances will Product engineering, site specific specifications, warranty requirements, Building Department requirements, installation requirements, manufacturer tests and recommendations of application/installation be altered. Purchaser shall not have the authority to alter, change, or release liability from the above requirements for any reason. Should any third party other than LSCI's technicians alter, change, relocate, or damage Products, or portions of LSCI installed Products, all warranties shall be null and void, and Purchaser bears all responsibility and liability and releases all vendors, suppliers, manufacturers, engineers, test facilities and LSCI from such liabilities. Verbal understandings and agreements with LSCI representatives are not binding on LSCI. Any understanding not set forth in this Agreement is not binding on LSCI.

Rep (print) TIM WARTENA Purchaser Sandy Haynes Date 5-17-2014  
 LSCI Officer \_\_\_\_\_ Purchaser Jeff Haynes Date 5-17-2014

ORIGINAL - OFFICE

COPY - CUSTOMER



**STATE OF FLORIDA  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION**

**CONSTRUCTION INDUSTRY LICENSING BOARD  
1940 NORTH MONROE STREET  
TALLAHASSEE FL 32399-0783**


**(850) 487-1395**

**MEAD, RAYMOND J  
LSCI, INC  
19321-C US HWY 19 N  
CLEARWATER FL 33764**

**Congratulations! With this license you become one of the nearly one million Floridians licensed by the Department of Business and Professional Regulation. Our professionals and businesses range from architects to yacht brokers, from boxers to barbeque restaurants, and they keep Florida's economy strong.**

**Every day we work to improve the way we do business in order to serve you better. For information about our services, please log onto [www.myfloridallicense.com](http://www.myfloridallicense.com). There you can find more information about our divisions and the regulations that impact you, subscribe to department newsletters and learn more about the Department's initiatives.**

**Our mission at the Department is: License Efficiently, Regulate Fairly. We constantly strive to serve you better so that you can serve your customers. Thank you for doing business in Florida, and congratulations on your new license!**



**STATE OF FLORIDA  
DEPARTMENT OF BUSINESS AND  
PROFESSIONAL REGULATION**

**CVC056656      ISSUED 10/29/2013**

**CERTIFIED SOLAR CONTRACTOR  
MEAD, RAYMOND J  
LSCI, INC**

**IS CERTIFIED under the provisions of Ch. 489 FS.  
Expiration date : AUG 31, 2014      L1310290001253**



**The Department of State is leading the commemoration of Florida's 500th anniversary in 2013. For more information, please go to [www.VivaFlorida.org](http://www.VivaFlorida.org).**

**DETACH HERE**

**STATE OF FLORIDA  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD**

<b>LICENSE NUMBER</b>	
CVC056656	

**The SOLAR CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2014**



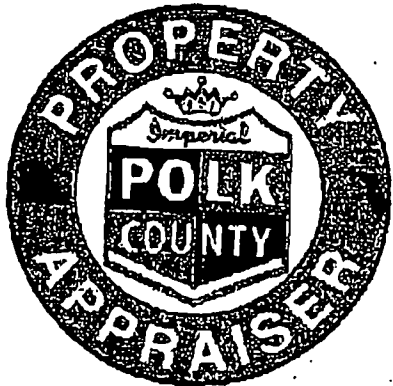
**MEAD, RAYMOND J  
LSCI, INC  
19321-C US HWY 19 N  
CLEARWATER FL 33764**



**RICK SCOTT  
GOVERNOR**

**ISSUED: 10/29/2013    SEQ# L1310290001253  
DISPLAY AS REQUIRED BY LAW**

**KEN LAWSON  
SECRETARY**



# IMPORTANT!

Nov 06, 2013 15:16 Carpentiers  
CallertC.

All businesses are required to file an annual Tangible Personal Property Tax Return (Form DR 405).

Go to [www.PolkPA.org](http://www.PolkPA.org) and check to see if you have already filed! If you have not already filed, do so right away and see if you qualify for up to \$25,000 exemption!

For more information contact the Property Appraiser's Office at (863) 534-4777.

POLK COUNTY LOCAL BUSINESS TAX RECEIPT  
ACCOUNT NO. 158743

CLASS: B

EXPIRES: 9/30/2014

OWNER NAME PHU, HENG	LOCATION POLK COUNTY POLK COUNTY
-------------------------	--

BUSINESS NAME AND MAILING ADDRESS

LSCI INC  
19321-C US HWY 19 N  
CLEARWATER, FL 33764

CODE 230270 ACTIVITY TYPE CONTRACTOR SOLAR

PROFESSIONAL LICENSE (IF APPLICABLE)  
CVC058858  
EC0000829



OFFICE OF JOE G. TEDDER, CFC * TAX COLLECTOR	THIS POLK COUNTY LOCAL BUSINESS TAX RECEIPT MUST BE CONSPICUOUSLY DISPLAYED AT THE BUSINESS LOCATION
--	--

PAID-1703798.0001-0001 09/27/2013 09/27/2013 PLR 17 57.75 HENG PHU



# ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID RE DATE (MM/DD/YYYY)  
LSCII-1 01/30/14

**PRODUCER**  
Mitchell Agency, Inc.  
14290 Walsingham Rd.  
Largo FL 33774  
Phone: 727-595-2529 Fax: 727-596-6982

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**INSURED**  
LSCI, Inc.  
dba SunTec  
19321-C US Hwy 19 N #500  
Clearwater FL 33764

INSURERS AFFORDING COVERAGE	NAIC #
INSURER A: WESTERN HERITAGE INS. CO.	
INSURER B:	
INSURER C:	
INSURER D:	
INSURER E:	

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'D LTR INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	<b>GENERAL LIABILITY</b> <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	SCP0918117	12/22/13	12/22/14	EACH OCCURRENCE \$ 1,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 50,000
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				MED EXP (Any one person) \$ 1,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 1,000,000
	<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	<b>EXCESS/UMBRELLA LIABILITY</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE  DEDUCTIBLE RETENTION \$				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY EA ACC \$ AGG \$ EACH OCCURRENCE \$: AGGREGATE \$ \$ \$ \$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below OTHER				WC STATU-TORY LIMITS <input type="checkbox"/> OTH-ER <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS  
Raymond Mead #CVC056656

**CERTIFICATE HOLDER**  
  
Town of Sewall's Point  
One Sewall's Point Rd  
Sewall's Point FL 34996

**CANCELLATION**  
SEWALLS  
SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.  
AUTHORIZED REPRESENTATIVE: *[Signature]*  
Mitchell Agency, Inc.

**Christine Bergeron**

---

**From:** Christine Bergeron  
**Sent:** Friday, May 30, 2014 11:21 AM  
**To:** permits@suntecsolarenergy.com  
**Cc:** Christine Bergeron  
**Subject:** Items needed for Permit for 6 Palm Road, Town of Sewall's Point

Mark -

RE: CVC Lic 056656 - LSCI

I got your voicemail. Yes we need a copy of your License, Insurances and Business Tax Receipt for each permit you put in with us. I will also need a Notice of Commencement recorded with Martin County for this permit before you have your first inspection.

Christine

Christine Bergeron  
Office Manager  
One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

[cbergeron@sewallspoint.org](mailto:cbergeron@sewallspoint.org)  
[www.sewallspoint.org](http://www.sewallspoint.org)

PERMITS@SUNTEC  
SolarEnergy.com  
LC.  
RE: CVC 056656  
LSCI



**Martin County, Florida  
Laurel Kelly, C.F.A**

*generated on 6/2/2014 2:19:30 PM EDT*

**Summary**

<b>Parcel ID</b>	<b>Account #</b>	<b>Unit Address</b>	<b>Market Total Value</b>	<b>Website Updated</b>
13-38-41-005-000-00030-6	27808	6 PALM RD, SEWALL'S POINT	\$257,630	5/31/2014

**Owner Information**

<b>Owner(Current)</b>	HAYNES JEFFREY D & SANDRA L (TR)
<b>Owner/Mail Address</b>	6 PALM RD STUART FL 34996
<b>Sale Date</b>	3/31/2006
<b>Document Book/Page</b>	2128 0346
<b>Document No.</b>	1922289
<b>Sale Price</b>	0

**Location/Description**

<b>Account #</b>	27808	<b>Map Page No.</b>	SP-05
<b>Tax District</b>	2200	<b>Legal Description</b>	PALM ROW REVISED & AMENDED PLAT LOT 3 OR 360/181
<b>Parcel Address</b>	6 PALM RD, SEWALL'S POINT		
<b>Acres</b>	.3460		

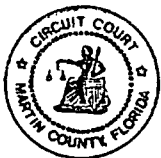
**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120200 Heritage P, Palmtto Pk,RdgInd,

**Assessment Information**

<b>Market Land Value</b>	\$175,000
<b>Market Improvement Value</b>	\$82,630
<b>Market Total Value</b>	\$257,630

THIS IS TO CERTIFY THAT THE  
FOREGOING PAGE(S) IS A TRUE  
AND CORRECT COPY OF THE ORIGINAL  
DOCUMENT AS FILED IN THIS OFFICE



INSTR # 2459473  
OR BK 2722 PG 796  
(1 Pgs)  
RECORDED 06/05/2014 07:59:36 AM  
CAROLYN TIMMANN  
MARTIN COUNTY CLERK

Case File Number: \_\_\_\_\_  
BY: Parcel ID Number 13-38-41-005-000-00030-6

DATE **NOTICE OF COMMENCEMENT**

State of Florida  
County of Pinellas

THIS AREA IS RESERVED FOR CLERK OF THE COURT OFFICE USE ONLY.

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

- 1. Description of property (legal description): Palm Row Revise & Amend Plat Lot 3 or 360/181
  - a) Street (job) Address: 6 Palm Rd. Stuart, FL. 34996
- 2. General description of improvements: Install solar hot water heater system

- 3. Owner information or Lessee information if the Lessee contracted for the improvement:
  - a) Name and address: Jeffrey & Sandra Haynes 6 Palm Rd. Stuart, FL. 34996
  - b) Name and address of fee simple titleholder (if different than Owner listed above) \_\_\_\_\_
  - c) Interest in property: \_\_\_\_\_

- 4. Contractor Information
  - a) Name and address: LSCI, Inc 19321-C US Hwy 19 N, Suite 500, Clearwater, FL 33764
  - b) Telephone No.: 727-571-4141 Fax No.: (optional) 727-540-0804

- 5. Surety (if applicable, a copy of the payment bond is attached)
  - a) Name and address: \_\_\_\_\_
  - b) Telephone No.: \_\_\_\_\_
  - c) Amount of Bond: \$

- 6. Lender
  - a) Name and address: \_\_\_\_\_
  - b) Telephone No.: \_\_\_\_\_

- 7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7., Florida Statutes:
  - a) Name and address: \_\_\_\_\_
  - b) Telephone No.: \_\_\_\_\_ Fax No.: (optional) \_\_\_\_\_

- 8. a. In addition to himself or herself, Owner designates \_\_\_\_\_ of \_\_\_\_\_ to receive a copy of the Lienor's Notice as provided in Section 713.13(1) (b), Florida Statutes.
  - b) Phone Number of Person or entity designated by Owner: \_\_\_\_\_

- 9. Expiration date of notice of commencement (the expiration date may not be before the completion of construction and final payment to the contractor, but will be 1 year from the date of recording unless a different date is specified): \_\_\_\_\_, 20\_\_\_\_

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

Under penalty of perjury, I declare that I have read the foregoing notice of commencement and that the facts stated therein are true to the best of my knowledge and belief.

Maudee Haynes (Signature of Owner or Lessee, or Owner's or Lessee's (Authorized Officer/ Director/ Partner/ Manager))  
Sandra Haynes (Print Name and Provide Signator's Title/Office)  
 The foregoing instrument was acknowledged before me this 17th day of May, 2014  
 by Sandra Haynes as Owner (type of authority, e.g. officer, trustee, attorney in fact)  
 for \_\_\_\_\_, as \_\_\_\_\_ (Name of Person)  
 for \_\_\_\_\_ (type of authority, e.g. officer, trustee, attorney in fact)  
 \_\_\_\_\_ (name of party on behalf of whom instrument was executed).

Personally Known  Produced ID   
Type of ID DL

Notary Signature \_\_\_\_\_  
Print name Heng H Phu



LSCI, Inc. d.b.a. SunTec  
19321-C US Hwy 19 N Ste. 500  
Clearwater, FL 33764



Solar License #CVC056656  
HVAC License # CAC009274  
Electrical License #EC0000539

### SINGLE-USE PERMITTING AUTHORIZATION

I, Sandra Haynes, owner of the property located at 16 Palm Rd  
Stuart, FL 34996, do hereby authorize LSCI, Inc. to sign and  
apply for a building permit on my behalf. This authorization is valid ONLY for the purpose of  
obtaining a permit to perform the solar installation work contracted for. The ONLY permit(s)  
which may be applied for under the terms of this letter are those which the appropriate  
jurisdiction (City or County) deem(s) necessary under the current Florida Building Code, given  
the scope of the attached contract for work. Contractor (LSCI, Inc.) will be responsible for any  
and all fees associated with this permit application. This authorization will remain valid until  
said permit is issued by the respective Building Department, or until thirty (30) calendar days  
from the date listed below have transpired, whichever is less.

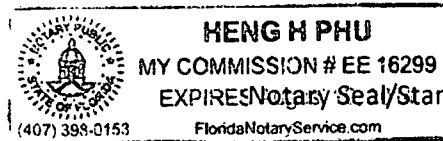
**Attention Building Department Permit Technician:** A signed contract is to accompany **ALL** homeowner  
authorizations. **DO NOT** accept this letter if not accompanied by a signed contract.

Sandra Haynes  
Homeowner Signature

Sandra Haynes  
Printed Name

5-17-2014  
Date

[Signature]  
Notary as to Owner



5/17/14.  
Date

Sworn and subscribed before me this 17th day  
of May, 2014 and [ ] is personally  
known or ~~is~~ produced DL as identification

**Current Permit Dept:**

Mark Gross—Permit Manager

Randy Maharaj—Permit Runner

Greg Smith—Permit Runner

## Sandy Haynes

---

**From:** Abel Echemendia <abel@suntecsolarenergy.com>  
**Sent:** Monday, August 18, 2014 4:39 PM  
**To:** sandysplans@bellsouth.net  
**Subject:** Cancellation

P/N  
10891  
FWP "VOID"  
MARK

Mr. and Mrs. Haynes,

We greatly appreciate your interest in our solar products and in helping to reduce our global use of fossil fuels. It is unfortunate that we could not work out a way for the installation to meet all requirements from both parties. The contract between Mr. and Mrs. Haynes and Sun-Tec Solar Energy is at this point canceled. No further action is necessary, this message is a formal notification.

If you ever have any questions about other products or services in the future, please feel free to call us back!

Have a wonderful day,

Abel Echemendia  
Regional Manager  
Sun-Tec Solar Energy

561-906-6019  
[abel@suntecsolarenergy.com](mailto:abel@suntecsolarenergy.com)  
[www.suntecsolarenergy.com](http://www.suntecsolarenergy.com)



Solar Water Heater - Solar Pool Heater - Solar AC - Photovoltaic

**Christine Bergeron**

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**From:** Christine Bergeron  
**Sent:** Wednesday, June 04, 2014 9:17 AM  
**To:** Mark Gross  
**Subject:** RE: Items needed for Permit for 6 Palm Road, Town of Sewall's Point

Mark

Your insurances, license and business tax receipt arrived but when I went to issue the permit I found that the Property Owner did not sign the Permit Application nor is there a copy of the signed contract in the package. I cannot take your signature for the owner and will need you to fax me a copy of the signed contract before this permit can be issued.

For future reference – The homeowner must sign the permit application and have their signature notarized or we can use a copy of the signed contract in place of that.

Don't forget that we must have the Notice of Commencement, signed and notarized by the home owner, that has been recorded with Martin County before any inspection will be made.

If you have any questions, please let me know.

Christine

Christine Bergeron  
Office Manager  
One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

[cbergeron@sewallspoint.org](mailto:cbergeron@sewallspoint.org)  
[www.sewallspoint.org](http://www.sewallspoint.org)

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**From:** Mark Gross [mailto:permits@suntecsolarenergy.com]  
**Sent:** Tuesday, June 03, 2014 3:36 PM  
**To:** Christine Bergeron  
**Subject:** RE: Items needed for Permit for 6 Palm Road, Town of Sewall's Point

Good afternoon Christine,

I just wanted to verify that the Town has received our insurance and license information safe and sound. Also confirming whether or not the permit is ready for pickup. Thank you very much.

Sincerely,  
Mark

---

**From:** Christine Bergeron [mailto:CBergeron@sewallspoint.org]  
**Sent:** Friday, May 30, 2014 11:21 AM  
**To:** permits@suntecsolarenergy.com  
**Cc:** Christine Bergeron  
**Subject:** Items needed for Permit for 6 Palm Road, Town of Sewall's Point

Mark –

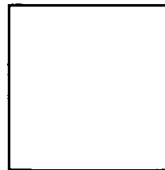
RE: CVC Lic 056656 – LSCI

I got your voicemail. Yes we need a copy of your License, Insurances and Business Tax Receipt for each permit you put in with us. I will also need a Notice of Commencement recorded with Martin County for this permit before you have your first inspection.

Christine

Christine Bergeron  
Office Manager  
One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

[cbergeron@sewallspoint.org](mailto:cbergeron@sewallspoint.org)  
[www.sewallspoint.org](http://www.sewallspoint.org)



Solar Water Heater - Solar Pool Heater - Solar AC - Photovoltaic



FLORIDA SOLAR ENERGY CENTER\*

TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
**FILE COPY**

**Approved Solar Energy System**

FSEC # S1175

Approval Date: April 1983  
Revision Date: July 2011

DISTRIBUTOR	SYSTEM
Solar Hydronics Corp. 1423 Gunn Highway Odessa, Florida 33556	O-80-40

This system was evaluated by the Florida Solar Energy Center (FSEC) in accordance with the Florida Standards Program for Solar Domestic Water and Pool Heating Systems (FSEC Standard 104-05) and was found to meet the minimum standards established by FSEC.

	North	Central	South
The calculated Florida Energy Factors for this system are:	2.1	2.2	2.2

**DESCRIPTION**

Collector Manufacturer	FSEC Number	Model	Units
→ 1. Alternate Energy Technologies	00090N	AE-40	1
2. Alternate Energy Technologies	00215N	MSC-40	1
3. Solar Hydronics Corp.	00333N	SHC-40	1
4. Alternate Energy Technologies	00081N	AE-21	2
5. Alternate Energy Technologies	00213N	MSC-21	2
6. Solar Hydronics Corp.	00444N	SHC-21	2

Tank Manufacturer	Model Number	Capacity (gal)	Type: Direct
→ 1. American Water Heater	SE-62/112-80H-045S	80	
2. Any Equivalent UL Listed Tank		80	
3.			

Pump Manufacturer	Model Number	Power Draw (Watts)	Rated Power
→ 1. Taco	003-BC4	51.75	1/40 H.P.
2. Solar Hydronics Corp.	003-BC4	51.75	1/40 H.P.
3. Solar Hydronics Corp.	003 VTBC4 Pump /Control	51.75	1/40 H.P.

Controller Manufacturer	Model Number	Type: Differential
→ 1. Independent Energy/Goldline	CM30/C-30/GL-30LCO	AC
2. Solar Hydronics Corp.	SHC-30-LCO/GL-30LCO	AC
3. Stecca	TRO-301-1-B-00	AC
4. IMC	SOLR-2ELC-10	AC
5. Resol	DeltaSol BS/1	AC

Freeze Protection
1. Manual drain down
2. Freeze protection valve
3. Automatic Recirculation





SUPPLIER:  
 Alternate Energy Technologies  
 1345 Energy Cove Court  
 Green Cove Springs, FL 32043 USA  
 www.aetsolar.com

**CERTIFIED SOLAR COLLECTOR**

BRAND: Alternate Energy  
 MODEL: AE-40  
 COLLECTOR TYPE: Glazed Flat Plate  
 CERTIFICATION #: 2002001F  
 Original Certification: November 22, 2002  
 Expiration Date: October 29, 2014

The solar collector listed below has been evaluated by the Solar Rating & Certification Corporation™ (SRCC™), an ANSI accredited and EPA recognized Certification Body, in accordance with SRCC OG-100, Operating Guidelines and Minimum Standards for Certifying Solar Collectors, and has been certified by the SRCC. This award of certification is subject to all terms and conditions of the Program Agreement and the documents incorporated therein by reference. This document must be reproduced in its entirety.

COLLECTOR THERMAL PERFORMANCE RATING							
Kilowatt-hours (thermal) Per Panel Per Day				Thousands of Btu Per Panel Per Day			
Climate -> Category (Ti-Ta)	High Radiation (6.3 kWh/m <sup>2</sup> .day)	Medium Radiation (4.7 kWh/m <sup>2</sup> .day)	Low Radiation (3.1 kWh/m <sup>2</sup> .day)	Climate -> Category (Ti-Ta)	High Radiation (2000 Btu/ft <sup>2</sup> .day)	Medium Radiation (1500 Btu/ft <sup>2</sup> .day)	Low Radiation (1000 Btu/ft <sup>2</sup> .day)
A (-5 °C)	15.2	11.5	7.8	A (-9 °F)	51.9	39.2	26.6
B (5 °C)	13.8	10.1	6.4	B (9 °F)	47.2	34.5	21.9
C (20 °C)	11.6	7.9	4.3	C (36 °F)	39.6	27.1	14.8
D (50 °C)	7.0	3.7	0.8	D (90 °F)	23.7	12.6	2.8
E (80 °C)	2.7	0.4	0.0	E (144 °F)	9.2	1.3	0.0

A- Pool Heating (Warm Climate) B- Pool Heating (Cool Climate) C- Water Heating (Warm Climate)  
 D- Space & Water Heating (Cool Climate) E- Commercial Hot Water & Cooling

COLLECTOR SPECIFICATIONS					
Gross Area:	3.696 m <sup>2</sup>	39.79 ft <sup>2</sup>	Dry Weight:	69 kg	153 lb
Net Aperture Area:	3.481 m <sup>2</sup>	37.47 ft <sup>2</sup>	Fluid Capacity:	6.1 liter	1.6 gal
Absorber Area:	0.000 m <sup>2</sup>	0.00 ft <sup>2</sup>	Test Pressure:	1103 kPa	160 psi

TECHNICAL INFORMATION			Tested in accordance with:		
ISO Efficiency Equation (NOTE: Based on gross area and (P)=Ti-Ta)					
SI UNITS:	$\eta = 0.691 - 3.39600(P/G) - 0.01968(P^2/G)$	Y Intercept:	0.706	Slope:	-4.910 W/m <sup>2</sup> .°C
IP UNITS:	$\eta = 0.691 - 0.59852(P/G) - 0.00193(P^2/G)$	Y Intercept:	0.706	Slope:	-0.865 Btu/hr.ft <sup>2</sup> .°F

Incident Angle Modifier								Test Fluid:		Water	
θ	10	20	30	40	50	60	70	Test Mass Flow Rate:	0.0201 kg/(s m <sup>2</sup> )	14.75 lb/(hr ft <sup>2</sup> )	
K <sub>τα</sub>	1.00	0.99	0.97	0.94	0.89	0.80	0.61	Impact Safety Rating:			

REMARKS:

*Jim Higgins*

Technical Director







**CERTIFIED SOLAR COLLECTOR**

**SUPPLIER:**  
 Alternate Energy Technologies  
 1345 Energy Cove Court  
 Green Cove Springs, FL 32043 USA  
 www.aetsolar.com

**BRAND:** Alternate Energy  
**MODEL:** AE-40  
**COLLECTOR TYPE:** Glazed Flat Plate  
**CERTIFICATION #:** 2002001F  
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ADDITIONAL INFORMATION (click here to return to the rating page)			
Test Lab:	Bodycote	Test Report Date:	October 29, 2002
Test Report Number:	02-08-0513	Test Location:	

SOLAR COLLECTOR CONSTRUCTION DETAILS					
Gross Length:	0.000 m	Gross Width:	0.000 m	Gross Depth:	0.000 mm

COLLECTOR MATERIALS					
Outer Cover:	Other	Enclosure back:	Aluminum	Back Insulation:	Foam, None
Inner Cover:	None	Enclosure side:	Aluminum	Side Insulation:	Foam, None
Absorber Description:		Flow Pattern:			
Riser Tube:	Copper	Fin:			
Absorber Coating:	Selective	Tube to fin connection			

GLAZING	Outer Cover	Inner Cover
Material:	Other	None
Surface Characteristics:		
Thickness:	0.0 mm	N/A
Transmissivity:		
Length:	0.000 m	
Width:	0.000 m	
Tube Glazing to Header Enclosure Seal:		

<b>ABSORBER:</b>		<b>Absorber Coating:</b>		Selective
Header Material:		Header OD:		Header Wall:
Riser Tube Material:	Copper	Riser Tube OD:		Riser Tube Wall Thickness:
Fin Material:		Fin Thickness:	0.00 mm	





Certification #: 2002001F  
 Supplier: Alternate Energy Technologies  
 Brand Name: Alternate Energy  
 Model Number: AE-40

Flow Pattern:					
Number of Riser Tubes:	0	Tube Spacing:		Number of times each riser crosses the absorber:	0
Length of Flow Path:	0.00 m	Riser to Fin/Plate Bond:			

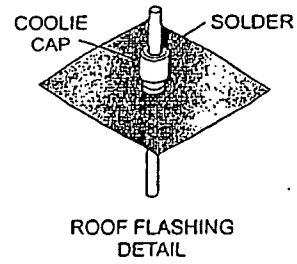
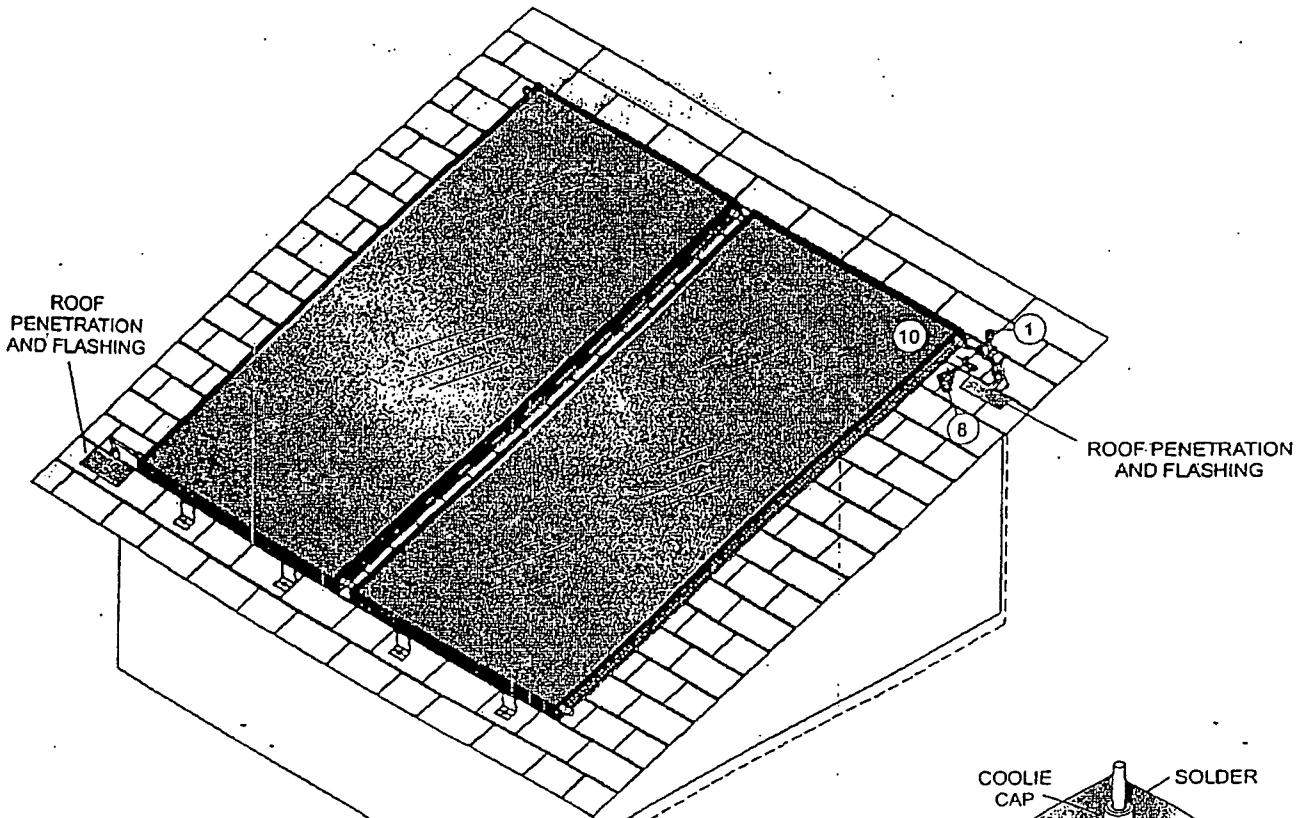
INSULATION:					
Location	Type	Thickness	Location	Type	Thickness
Back - Top Layer:	Foam		Sides - Inner Layer:	Foam	
Back - Bottom Layer:	None		Sides - Outer Layer:	None	
Enclosure Fastening Methods:					

Power Output per Collector(W) [ Tl-Ta, G = 1000 W/m² ]				
0	10	30	50	70

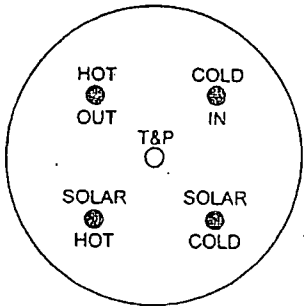
PRESSURE DROP				
Flow	$\Delta P$		Flow	$\Delta P$
m/s	Pa		gpm	In H <sub>2</sub> O
20			0.32	
50			0.79	
80			1.27	



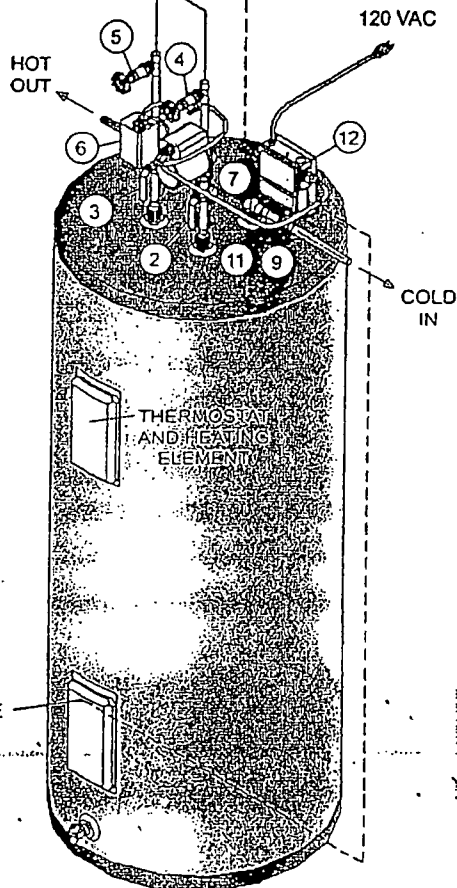
# SOLAR WATER HEATING SYSTEM



TOP VIEW OF SOLAR WATER HEATER

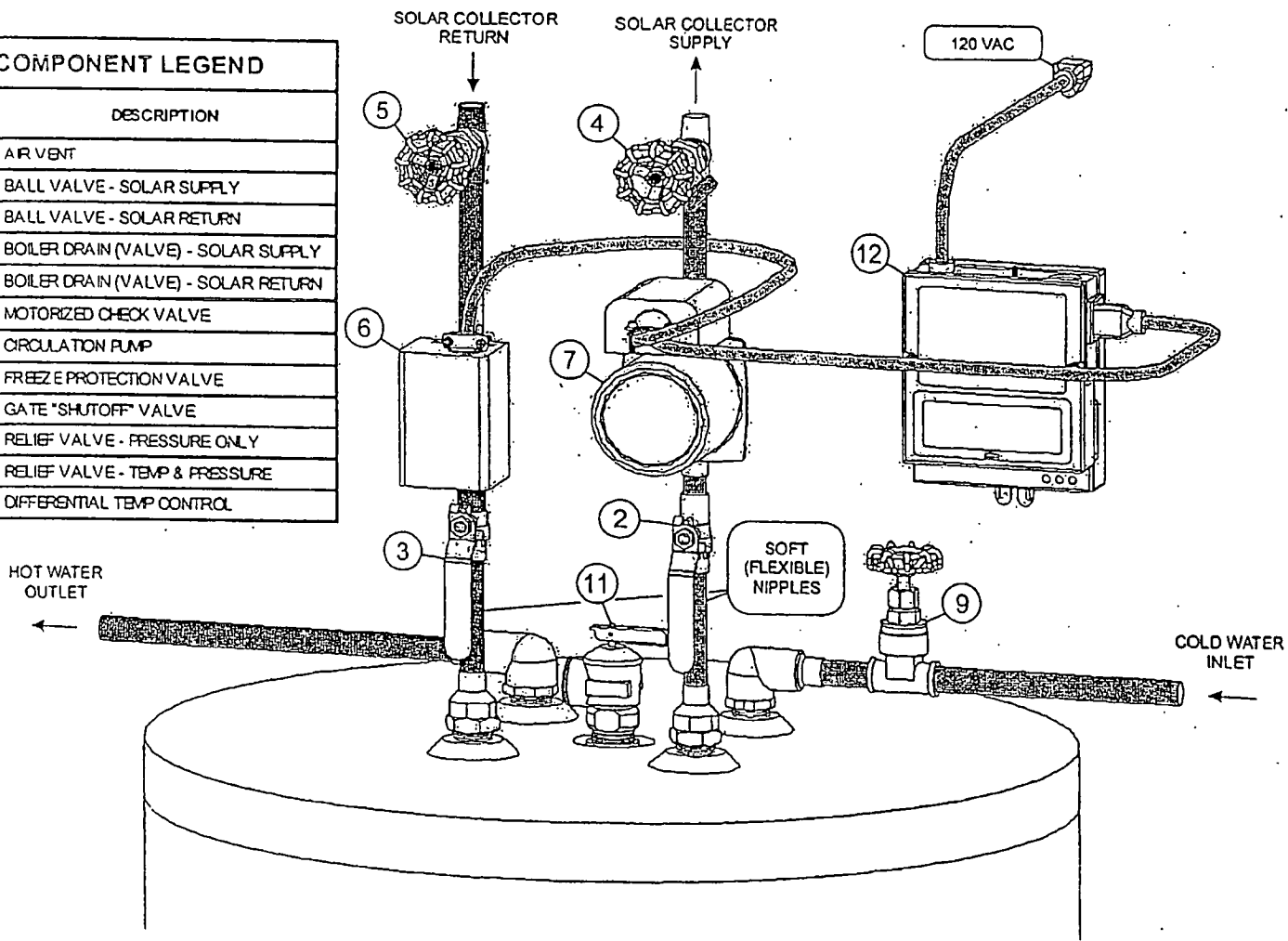


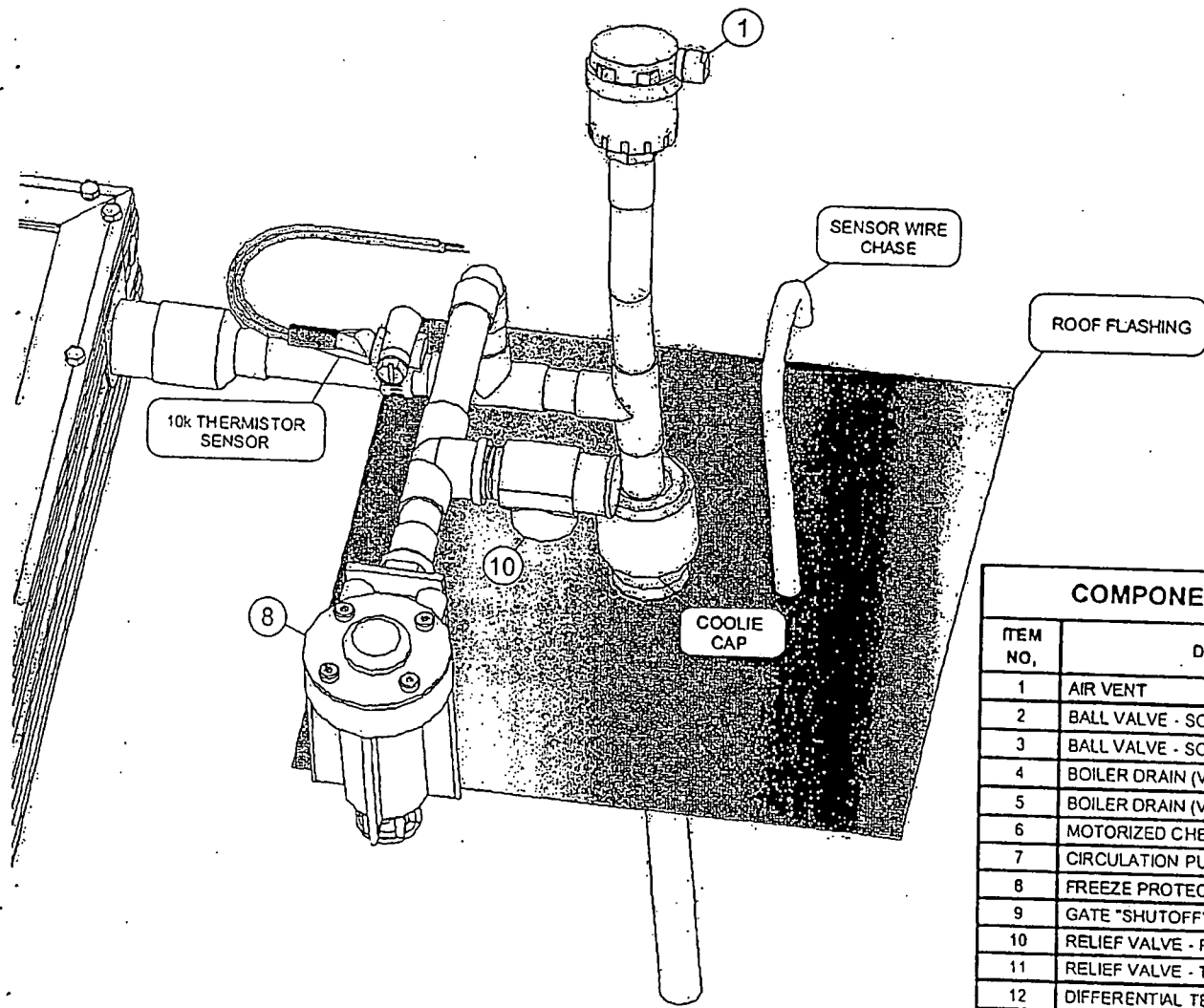
SYSTEM DIAGRAM



COMPONENT LEGEND	
ITEM NO.	DESCRIPTION
1	AIR VENT
2	BALL VALVE - SOLAR SUPPLY
3	BALL VALVE - SOLAR RETURN
4	BOILER DRAIN - SOLAR SUPPLY
5	BOILER DRAIN - SOLAR RETURN
6	MOTORIZED CHECK VALVE
7	CIRCULATION PUMP
8	FREEZE PROTECTION VALVE
9	GATE "SHUTOFF" VALVE
10	RELIEF VALVE - PRESSURE ONLY
11	RELIEF VALVE - TEMP & PRESSURE
12	DIFFERENTIAL TEMP CONTROL

COMPONENT LEGEND	
ITEM NO.	DESCRIPTION
1	AIR VENT
2	BALL VALVE - SOLAR SUPPLY
3	BALL VALVE - SOLAR RETURN
4	BOILER DRAIN (VALVE) - SOLAR SUPPLY
5	BOILER DRAIN (VALVE) - SOLAR RETURN
6	MOTORIZED CHECK VALVE
7	CIRCULATION PUMP
8	FREEZE PROTECTION VALVE
9	GATE "SHUTOFF" VALVE
10	RELIEF VALVE - PRESSURE ONLY
11	RELIEF VALVE - TEMP & PRESSURE
12	DIFFERENTIAL TEMP CONTROL





COMPONENT LEGEND	
ITEM NO.	DESCRIPTION
1	AIR VENT
2	BALL VALVE - SOLAR SUPPLY
3	BALL VALVE - SOLAR RETURN
4	BOILER DRAIN (VALVE) - SOLAR SUPPLY
5	BOILER DRAIN (VALVE) - SOLAR RETURN
6	MOTORIZED CHECK VALVE
7	CIRCULATION PUMP
8	FREEZE PROTECTION VALVE
9	GATE "SHUTOFF" VALVE
10	RELIEF VALVE - PRESSURE ONLY
11	RELIEF VALVE - TEMP & PRESSURE
12	DIFFERENTIAL TEMP CONTROL



## Steca TR 0301 U

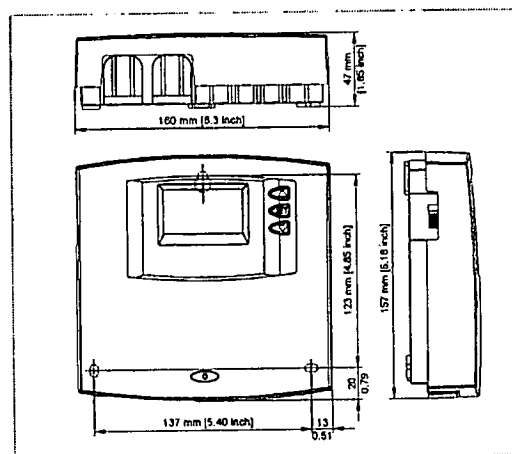
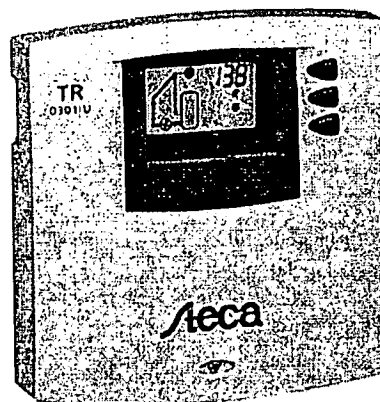
3 inputs,  
1 output

The Steca TR 0301 U controller was specially developed for the North American market based on the Steca TR 0301 basic controller. With its special certification (ETL label) from a Nationally Recognized Testing Laboratory (NRTL) in the US, the controller meets the safety standards and minimum requirements of the North American market.

A feature of the Steca TR 0301 series of controllers is the animated graphic display, which offers a complete visualisation of the solar energy system's operating status and solar circuit.

The clearly arranged display ensures easy operation using pictograms. The controller was jointly designed with an internationally renowned design centre. The controller is used for monitoring and controlling solar thermal systems with one collector array and one storage tank. In addition, the controller performs important system monitoring and safety functions to ensure safe and long-lasting operation of the entire system. The numerous additional functions of the Steca TR 0301 U also include a maximum storage tank temperature function, a tube collector function, an anti-freeze function, a holiday and storage recool function as well as a choice of temperature indications in either degrees Celsius (°C) or Fahrenheit (°F). The operational safety of the system is supported by a sophisticated fault diagnosis. The multi-coloured LCD backlighting ensures quick and safe location of occurring errors and facilitates quick troubleshooting.

The Steca TR 0301 U controller is supplied with a pre-fitted US mains connection cable and a preinstalled, pluggable pump output.



### Product features

- Compact, multipart designer casing
- Maximum storage tank temperature
- High level of operational safety through fault diagnosis
- Temperature display °C / °F
- Collector overtemperature disconnection
- Spring clamp terminals allow rapid and easy installation

### Displays

- Graphical LCD display with backlighting
- Animated representation of the systems and operating states

### Operation

- Non-verbal menu navigation
- Side switch for manual, auto, off

### Functions

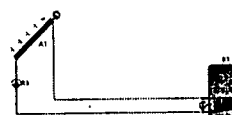
- Holiday (storage tank recooling)
- Interval / tube collector
- Anti-freeze
- Display storage tank top

TR 0301 U	
System voltage	120 V AC, 60 Hz optional 240 V AC, 60 Hz
Own consumption	≤ 1 W [≤ 0.001 HP]
Inputs	3 3 x temperature (Pt1000)
Output	1 1 x switch output relay (R1), max. 400 W / 0.5 HP (120 V AC) or 800 W / 1 HP (240 V AC)
Line cord	75 inch, 3 x 18 AWG at 221 °F
Turn-on temperature difference	8 K [46.4 °F]
Turn-off temperature difference	4 K [39.2 °F]
Ambient temperature	0 °C [+32 °F] ... +45 °C [+113 °F]
Degree of protection	IP 20 / DIN 40050
Dimensions (X x Y x Z)	160 x 157 x 47 mm [6.3 x 6.18 x 1.85 inch]
Weight	350 g [12.35 oz]
Temperature sensors 2 x Pt1000	Collector sensor: 1.5 m [59 inch] silicone cable with bushing (Measuring range up to +180 °C [+356 °F]); Storage tank sensor: 0.3 m [11.8 inch] twisted single conductor flat surface sensors with compression cable lug (Measuring range up to +105 °C [222 °F])

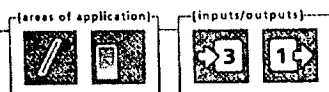
Technical data at 25 °C / 77 °F

### System with one storage tank

1. collector array



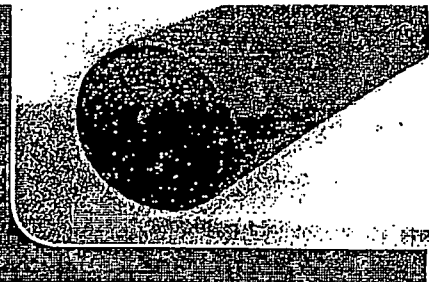
Internal heat exchanger, intelligent pump control



SOLAR THERMAL SYSTEMS

# INSUL-TUBE®

Flexible, Closed-Cell Pipe Insulation  
Designed for the HVAC/R Industry



## DESCRIPTION

INSUL-TUBE® pipe insulation is an environmentally-friendly, CFC-free, flexible elastomeric thermal insulation. It is black in color and is available in unslit tubular form in wall thicknesses of 3/8", 1/2", 3/4", 1", 1-1/4", 1-1/2" or 2" in sizes ranging from 3/8" I.D. to 8" IPS. (Available in 6' lengths and coils). INSUL-TUBE® key physical properties are approved through supervision by Factory Mutual Research Corporation.

INSUL-TUBE® is non-porous, fiber-free and resists mold growth. An EPA-registered antimicrobial agent is incorporated into the product providing additional protection against mold, fungal and bacterial growth.

INSUL-TUBE® is GREENGUARD® certified as a low VOC material, meeting the requirements of the "Children & Schools" and "Indoor Air Quality" classifications.

## APPLICATIONS

INSUL-TUBE® is used to retard heat gain and prevent condensation or frost formation on refrigerant lines, cold water plumbing, and chilled water systems. It also retards heat flow for hot water plumbing, liquid heating, dual temperature piping, and many solar systems. INSUL-TUBE® is designed for the HVAC and Refrigeration industry.

INSUL-TUBE® is recommended for applications ranging from -297°F to 220°F (-182°C to 104°C). The expanded closed-cell structure makes INSUL-TUBE® an efficient insulator and provides effective moisture vapor resistance. INSUL-TUBE® can be used with heat tracing/heat tapes.

INSUL-TUBE® has a tough skin that withstands tearing, rough handling, and severe environmental conditions, yet is flexible for easy installation. INSUL-TUBE® has superior cold weather flexibility.

## INSTALLATION

With a factory-applied coating of talc on the smooth inner surface, INSUL-TUBE® slides easily over pipe or tubing for quick installation. When applied to existing lines, tubing is slit lengthwise and fitted into place. (Slitting can be done on the job with a sharp knife or pre-slit INSUL-TUBE® is available on request). All seams and butt joints should be sealed with an approved contact adhesive, making sure both surfaces to be joined are coated with adhesive. Fittings are fabricated from miter-cut tubular sections, and cover, flanges, etc., from INSUL-SHEET®. K-Fit® factory fabricated fittings are also available. ASTM C1710, *Installation Guide for Flexible Closed Cell Foams*, should be used as an installation guide.

## OUTDOOR APPLICATIONS

INSUL-TUBE® is made from a UV-resistant elastomeric blend. For moderate UV exposure (residential applications), no additional protection is needed. For severe UV exposure (rooftop applications) or for optimum performance, K-FLEX® 374 Protective Coating, approved jacketing or K-FLEX Clad® is required.

## UNDERGROUND

For buried lines above the water table, use a clean fill such as sand (3"-5" layer) to protect INSUL-TUBE® before backfilling. It is recommended that materials to be buried are properly sealed at all seams and butt joints with an approved contact adhesive. For optimum performance, the lines should be encased in a conduit to protect them from problems associated with ground water intrusion and compaction.

## RESISTANCE TO MOISTURE VAPOR FLOW

The closed-cell structure and unique formulation of INSUL-TUBE® effectively retards the flow of moisture vapor, and is considered a low transmittance vapor retarder. For most indoor applications, INSUL-TUBE® needs no additional protection. Additional vapor barrier protection may be necessary for INSUL-TUBE®

when installed on low temperature surfaces that are exposed to continuous high humidity.

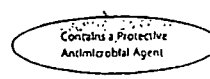
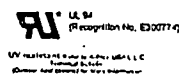
## FLAME AND SMOKE RATING

INSUL-TUBE® in wall thicknesses of 2" (50 mm) and below has a flame spread rating of 25 or less and a smoke development rating of 50 or less as tested by ASTM E84, "Surface Burning Characteristics of Building Materials". INSUL-TUBE® is acceptable for duct/plenum applications, meeting the requirements of NFPA 90A/B.

Numerical flammability ratings alone may not define the performance of products under actual fire conditions. They are provided only for use in the selection of products to meet limits specified when compared to a known standard.

## SPECIFICATION COMPLIANCE

- ASTM C 534 Type I (Tubing), Grade 1
- ASTM D 1056-00-2B1
- New York City (NYC) 185-86-N Vol. V
- USDA Compliant
- RoHS Compliant
- UL-94-5V Flammability Classification (Recognition No. E300774)
- ASTM E 80 2" 25/50-Tested according to UL-723 and NFPA 255
- FAVSS302
- Complies with requirements of CAR/ULC S102-03
- FMRC Approval Guide Chapter 14 Pipe Insulation
- NFPA No. 101, Class A Rating
- Meets requirements of NFPA 90A Sect. 2.3.3 for Supplementary Materials for Air Distribution Systems
- Meets requirements of ASTM C 411 (Test Method for Hot Surface Performance of High Temperature Thermal Insulation)
- Meets requirements of UL 181 sections 11.0 and 16.0 (Mold Growth/Air Emission)
- MIL-P-15280 For I (Tubing)
- Meets residential and non-residential requirements for California Energy Commission Building Energy Efficient Standards Title 24
- GREENGUARD® certified under Children & Schools and Indoor Air Quality classifications
- Meets energy code requirements of ASHRAE 90.1 and 189.1



PHYSICAL PROPERTIES	INSUL-TUBE®	TEST METHODS
Thermal Conductivity (K)	0.256 (0.0372) 0.245 (0.0353)	ASTM C 177/C 518 ASTM C 177/C 518
Density	3.6 PCF	ASTM D 1622/D 3575
Water Vapor Permeability Dry Cup, Perm-In	0.03	ASTM E 96
Flame Spread / Smoke Developed (up to 2" wall)	<25/50	ASTM E 84
Chemical/Solvent Resistance	Pass Good	ASTM D 1171
UV Weather Resistance	Pass	QUV Chamber Test

**THICKNESS RECOMMENDATIONS - TO CONTROL CONDENSATION**

PIPE SIZE	50°F (10°C)	35°F (2°C)	0°F (-18°C)	-20°F (-29°C)
Normal Conditions (Max 85°F, 29°C - 70% R.H.)				
3/8" I.D. thru 1-3/8" I.D.	3/8" (10 mm)	1/2" (13 mm)	3/4" (19 mm)	1" (25 mm)
Over 3" IPS thru 4" IPS	1/2" (13 mm)	1/2" (13 mm)	1" (25 mm)	1-1/2" (38 mm)
Mild Conditions (Max 80°F, 26°C - 50% R.H.)				
Over 2-1/8" thru 3" IPS	3/8" (10 mm)	3/8" (10 mm)	1/2" (13 mm)	3/4" (19 mm)
Over 4" IPS	1/2" (13 mm)	1/2" (13 mm)	3/4" (19 mm)	3/4" (19 mm)
Severe Conditions (Max 80°F, 26°C - 80% R.H.)				
3/8" I.D. thru 1-1/8" I.D.	3/4" (19 mm)	3/4" (19 mm)	1-1/2" (38 mm)	1-1/2" (38 mm)
Over 4" IPS	3/4" (19 mm)	1" (25 mm)	2" (50 mm)	2" (50 mm)

INSUL-TUBE® in thickness noted within the specified temperature ranges will prevent condensation on indoor piping under design conditions defined below. Thickness recommendations above 2" can be sleeved to achieve thickness desired. Normal: Maximum severity of indoor conditions rarely exceed 85°F (29°C) and 70% R.H. in United States. Mild: Typical conditions are most air-conditioned spaces and arid climates. Severe: Generally found in areas where excessive moisture is introduced or in poorly ventilated areas where the temperature may be depressed below the ambient. Under conditions of high humidity, additional thickness of insulation may be required. NOTE: Thickness recommendations calculated using 0.2575 K-factor (0.245 plus 5% test error allowance).

PIPE "R" VALUES PER SQUARE FOOT	3/8" WALL	1/2" WALL	3/4" WALL	1" WALL	1-1/4" WALL	1-1/2" WALL	2" WALL
3/8" NOMINAL INSULATION I.D.	2.7	3.6	5.6	8.5	12.0	14.6	20.4
5/8"	2.5	3.3	5.4	7.5	10.5	12.8	17.8
7/8"	2.3	3.2	5.4	7.2	9.5	11.6	16.1
1-3/8"	2.2	3.2	5.3	7.3	8.4	10.2	14.9
1-1/2" IPS	2.3	3.0	4.9	6.7	7.7	9.3	13.8
2" IPS	2.3	2.9	4.8	6.5	7.4	9.0	13.3
2-5/8"	2.3	3.1	4.7	6.4	7.3	8.8	12.9
3" IPS	2.3	3.2	4.6	6.1	7.0	8.3	12.2
4-1/8"	2.3	3.1	4.6	6.0	6.8	8.1	11.7
5" IPS	—	3.2	4.5	5.9	6.6	7.8	11.1
8" IPS	—	3.1	4.4	5.6	—	7.4	—

Note: "R" factors were calculated using a K factor of 0.245 (at 75°F, 24°C mean temp.) and nominal wall thickness in each case. Lower operating temperatures will result in improved R values. Contact Technical Services for specific recommendations.



K-FLEX USA - 100 Nomaco Drive - Youngsville, NC 27596 - Toll free 800-765-6475 - Fax 800-765-6474 - www.kflexusa.com  
 ©May 2010 K-FLEX USA. INSUL-TUBE® is a registered trademark of K-FLEX USA. The GREENGUARD® INDOOR AIR QUALITY CERTIFIED mark is a registered certification mark used under license through the GREENGUARD® Environmental Institute. INDS-0001-1211





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Cleveland, Ohio 44135  
Ph: (800) 321-9532  
Fax: (800) 321-9535  
www.oatey.com

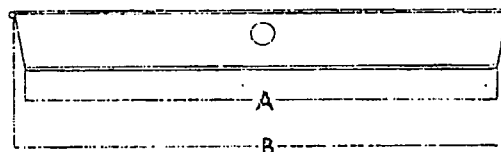
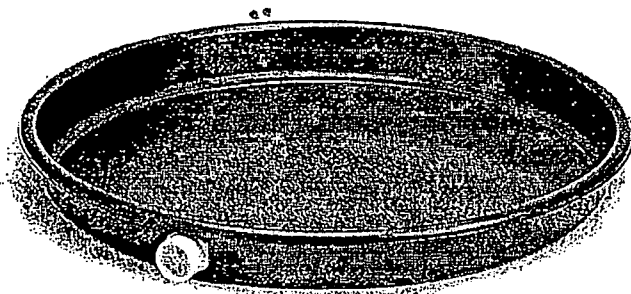
SUBMITTAL SPECIFICATION

**PLASTIC  
WATER HEATER PANS**



**Engineering Specification:** Oatey Plastic Water Heater Pans can be installed under electric water heaters to protect from water damage. Available with 1" PVC or 1" CPVC drain fittings to allow for connection to indirect drain.

**Job Reference**



(All dimensions in inches)

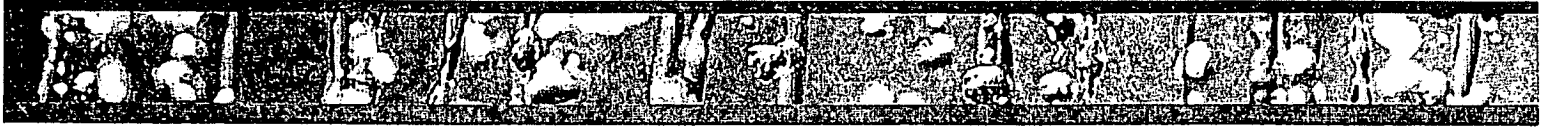
- ◆ Manufactured from 0.0625" plastic polymer
- ◆ 1" PVC or 1" CPVC drain fitting provided
- ◆ Pre-cut side opening accommodates drain fitting
- ◆ For use with Electric Water Heater Tanks
- ◆ Meets requirements of Southern Building Code
- ◆ Pan depth is 2.50"
- ◆ Vicat Softening Temperature is 180° F

✓	Product No.	Description	Qty	Inside Diameter (A)	Outside Diameter (B)
		<b>WATER HEATER PANS WITH 1" CPVC FITTING</b>			
	34160	18" Plastic Water Heater Pan - Bulk	12	18	18.75
	34161	20" Plastic Water Heater Pan - Bulk	12	20	21.25
	34162	22" Plastic Water Heater Pan - Bulk	12	22	23.25
	34163	24" Plastic Water Heater Pan - Bulk	12	24	24.50
	34164	26" Plastic Water Heater Pan - Bulk	12	26	26.75
	34168	28" Plastic Water Heater Pan - Bulk	12	28	29.75
	34165	30" Plastic Water Heater Pan - Bulk	12	30	31.00
		<b>WATER HEATER PANS WITH 1" PVC FITTING</b>			
	34060	18" Plastic Water Heater Pan - Bulk	12	18	18.75
	34061	20" Plastic Water Heater Pan - Bulk	12	20	21.25
	34062	22" Plastic Water Heater Pan - Bulk	12	22	23.25
	34063	24" Plastic Water Heater Pan - Bulk	12	24	24.50
	34058	24" Plastic Water Heater Pan - Bagged	6	24	24.50
	34064	26" Plastic Water Heater Pan - Bulk	12	26	26.75
	34072	28" Plastic Water Heater Pan - Bulk	12	28	29.75
	34065	30" Plastic Water Heater Pan - Bulk	12	30	31.00
		<b>WATER HEATER PAN ADAPTERS</b>			
	34086	1-1/2" PVC Adapter	12		
	34088	1" PVC Adapter	12		
	34089	1" CPVC Adapter	12		

Data is subject to manufacturing tolerances.



# Residential Electric Direct Solar Water Heaters



## 6-Year Limited Tank/6-Year Limited Parts Warranty\*

American direct solar water heaters are designed for installation as a part of a direct (open loop) solar water heating system or for use with external heat exchangers in closed loop systems. Available in 65, 80 and 119-gallon capacities these models provide storage for the hot water produced by the solar collectors and a supplementary electric heating element that maintains consistent water temperature during periods when solar energy is not available.

### Multiple Connection Options for Installation Flexibility

- Side and top connections for open loop systems or closed loop systems using an external heat exchanger

### Electrical

- 4500 watt heating element - long lasting low-watt density design spreads wattage over larger surface area to prolong element life and maximize efficiency
- Pre-wired for surface mount temperature sensor (sensor supplied separately)

### Tank Construction

- Glasslined Steel Tank – glasslining protects against corrosion to maximize tank life
- 2-inch thick "Environmentally-Friendly" Non-CFC Foam insulation (R16 Value) reduces standby heat loss

### Anode Rod

- Aluminum anode rod with stainless steel core protects tank against corrosion

### CSA Certified and ASME Rated T&P Relief Valve

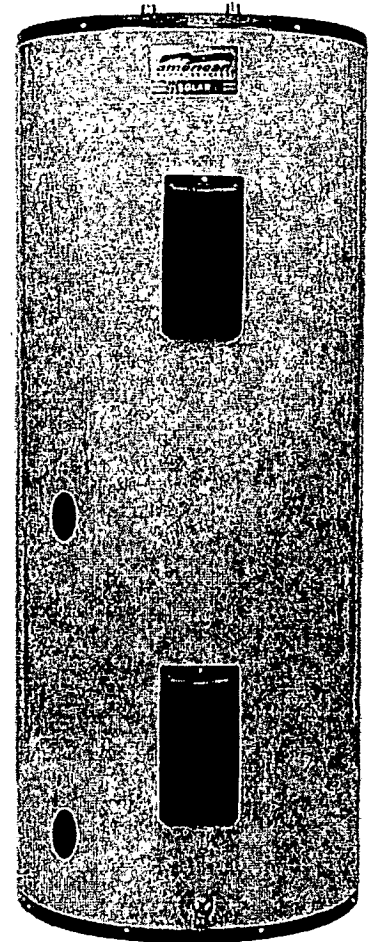
### Durable Tamper-Resistant Brass Drain Valve

### Compliance

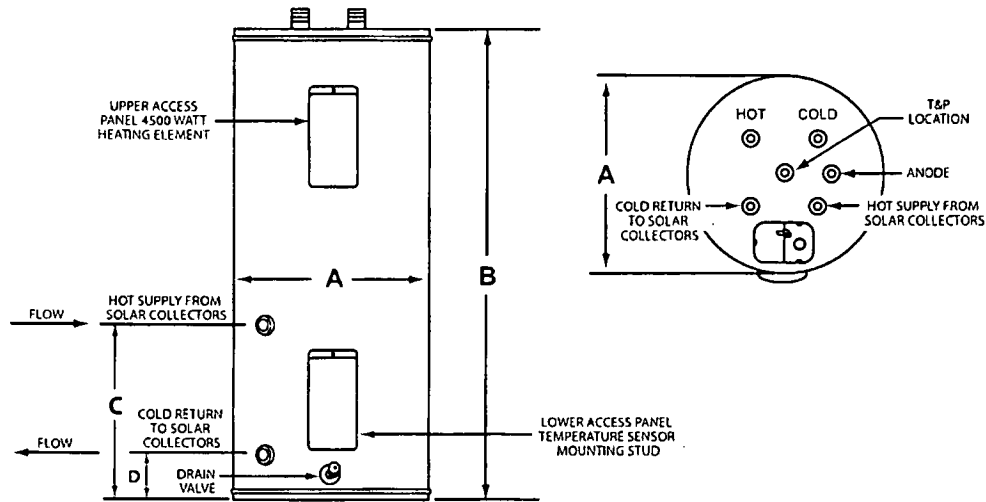
- Units are UL and cUL listed to UL 174 Standard for Household Electric Storage Tank Water Heaters and CAN/CSA-C22.2 No. 110-M90; Complies with California legislation AB 1953 and Vermont legislation Act 193 that limits the lead content in plumbing fixtures that come into contact with drinking water to a maximum of 0.25%.

### Standard 6-Year Limited Tank and Parts Warranty

- Optional 10-year extension on tank warranty when used in a residential application
- 3-year tank and 1-year parts warranty when installed in a commercial application
- For complete warranty information consult written warranty supplied with the product, online at [www.americanwaterheater.com](http://www.americanwaterheater.com), or call American Water Heaters at 800.456.9805



Eligible for a 30% federal tax credit when installed as part of a complete solar water heating system. For more information visit [www.americanwaterheater.com](http://www.americanwaterheater.com)



MODEL NUMBER	GALLON CAPACITY	NUMBER OF HEATING ELEMENTS	ELEMENT WATTAGE (240 VOLT)	RECOVERY GALLONS PER HOUR (90°F RISE)	INSULATION R VALUE	HEIGHT WATER CONNECTION	JACKET DIAMETER A	HEIGHT TOP OF TANK B	OPTIONAL SOLAR IN/DOWN C	OPTIONAL SOLAR OUT/UP D	APPROX. SHIPPING WEIGHT
SE62-65H-0455	65	1	4500	21	16	60-1/4	22	59-1/4	20-1/2	7-1/2	152
SE62-80H-0455	80	1	4500	21	16	60-1/4	24	59-1/4	20-1/2	7-1/2	191
SE62-119R-0455	119	1	4500	21	16	62	28	61-1/2	20-1/2	7-1/2	278

\*Limited warranty on tank and parts. See written warranty supplied with the water heater for complete details.

\*\* All solar loop and domestic water connections are 3/4" NPT. Top solar loop and domestic water connections are male NPT with factory-installed dielectric pipe nipples. Side solar loop connections are female NPT and are plugged from the factory.

## Specification

Furnish and install, where indicated, in accordance with manufacturer's instructions and in compliance with all rules and regulations of authorities having jurisdiction.

Storage tank(s) shall be American® Model \_\_\_\_\_ as manufactured by American Water Heaters or equivalent. Storage tank(s) shall have a nominal storage capacity of \_\_\_\_\_ gallons, recovery of \_\_\_\_\_ GPH at \_\_\_\_\_ °F temperature rise and supplied with auxiliary heating elements rated at 4.5 KW, \_\_\_\_\_ volt. Storage tank(s) are hydrostatic tested at 300 PSI having a working pressure of 150 PSI and shall have a Fused Ceramic Shield internally lined tank applied under pressure and fired at 1600° F allowing for maximum protection. Storage tank(s) shall be equipped with an approved pressure and temperature relief valve. The outer jacketing shall have a baked enamel finish. The tank shall be foam insulated with an EPA-approved, non-CFC material 2" in thickness. Storage tank(s) shall have a 6-year limited warranty against corrosion as outlined in the written warranty.

## Distributed By:

**Order Entry and Sales**  
500 Princeton Road (FEDEX, UPS)  
Johnson City, TN 37601-2030  
P.O. Box 4808 (Mailing)  
Johnson City, TN 37602-4808  
(800) 937-1037  
FAX (800) 581-7224

**Warranty and Service**  
500 Princeton Road (FEDEX, UPS)  
Johnson City, TN 37601-2030  
P.O. Box 1597 (Mailing)  
Johnson City, TN 37605-1597  
(800) 456-9805  
FAX (800) 999-5210

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 PERMIT VERSION OF THIS PLAN PROVIDES MINIMUM INFORMATION NEEDED BY USERS.  
 ELECTRONIC VERSION (EV) PROVIDES MAGNIFIED VIEWING UP TO 600% EV.  
 ALSO PROVIDES HYPERLINK ACCESS TO OEM MANUALS AND ABUNDANT OTHER SUPPLEMENTARY INFORMATION.  
 EV MAY BE ACCESSED AT: <http://www.gezelmanpe.com/generic>

**SCOPE OF WORK:**  
 INSTALLATION OF A SOLAR WATER HEATING SYSTEM WITH A ROOF TOP COLLECTOR

**DESIGNED PER:**  
 ASCE 7-10

**WIND LOAD:**  
 DESIGNED FOR 200 MPH

**WIND: RISK CATEGORY II**  
**EXPOSURE CATEGORY D**

**SOLAR SYSTEM COLLECTOR:**  
 MODEL: AE-21/AE-24/AE-26/AE-28/AE-32/AE-40/  
 MSC21 / MSC-32 / MSC-40/SHC-21/SHC-32/SHC-40

**APPLICABLE CODE:**  
 2010 FLORIDA BUILDING CODE


VOID WITHOUT RAISED OR ELECTRONIC SEAL, MAY NOT BE USED FOR PLANS ON FILE, EVERY PERMIT PULLED REQUIRES A SEALED ELECTRONIC PLAN OR SEALED ORIGINAL PAPER COPY OF THIS PLAN

I CERTIFY THAT THIS DESIGN & SPECIFICATIONS MEET THE REQUIREMENTS OF THE CURRENT FLORIDA BUILDING CODE.

ALLEN GEZELMAN  
 16502 HANNA RD.  
 LUTZ, FLORIDA 33549

PH. 813 650 7246  
 Allen@GezelmanPE.COM  
 www.GezelmanPE.com

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 Tampa FL 33629  
 PH. 813 919 9154  
 FX. 866 694 7251  
 mail@cAdvice.us // www.cAdvice.us

INSTALLATION OF A ROOF TOP SOLAR WATER HEATER

SYSTEM:  
  
 1423 GUNN HIGHWAY  
 ODESSA, FL 33566  
 REV.03/21/12-TM

PUBLISHED:04/09/12 7:02:56 PM  
 THIS IS A SINGLE SHEET PLAN  
 SHEET NAME:  
**PERMIT SET**  
 DRAWN:SB CHECKED:AG  
 SHEET NO:  
**A.1.3-10**  
 AS.1.3.WH-10.dwg

**The LeverEdge DOMESTIC HOT WATER (DHW) INSTALLATION NOTES:**

GENERAL: THIS DRAWING AND THE SPECIFICATIONS HEREON ESTABLISH THE MINIMUM REQUIREMENTS FOR DHW EQUIPMENT ON BUILDINGS IN FLORIDA 60 FEET OR LESS IN HEIGHT AND AT ROOF ANGLES FROM FLAT UP TO 45 DEGREES. PER THIS PARTICULAR INSTALLATION DOCUMENT, THE LeverEdge DHW SOLAR PANELS MAY BE INSTALLED PARALLEL TO THE ROOF PLANE WITH HOLD DOWNS FLUSH ON TOP OF THE UPPER SURFACE OF THE ROOF COVERING OR TILTED UP TO ACHIEVE BETTER SOLAR COLLECTION. **FLUSH-MOUNT SHALL REQUIRE 4 ANCHORS\* 3/8-INCH DIAMETER CRS, CORROSION RESISTANT STEEL IN PZ-1 & PZ-2, EXPOSURES B, C, D IN ALL WIND ZONES UP TO AND INCLUDING 200 MPH.** \*ANCHORS CAN EITHER BE: AT CONTRACTOR'S CHOICE, 4 ANCHORS FOR A SINGLE COLLECTOR OR 2 ANCHORS FOR TWO COLLECTORS THRU USE OF APPROVED RACKING TO TIE THE TWO COLLECTORS TOGETHER. SEE FIGURE 2. TILT-UP IS PERMITTED ONLY WITH THE FOLLOWING STIPULATIONS: A) NO INSTALLATIONS OUTSIDE OF PRESSURE ZONE 1; B) USE ONLY OEM HARDWARE, EXCEPT #14 TIE'S PER FIGURE 2; C) COLLECTOR LONG AXIS HORIZONTAL AND 30 DEGREE MAXIMUM TILT ANGLE; D) WIND ZONE 140 MPH AND LESS REQUIRE 4 ANCHORS PER TILT-UP COLLECTOR; F) WIND ZONES GREATER THAN 140 MPH REQUIRE 6 ANCHORS PER TILT-UP COLLECTOR AND MINIMUM TILT POLE WALL THICKNESS OF 1/8TH-INCH. CONTRACTOR SHALL KEEP LAG BOLT LOADING TO UNDER 528 POUNDS OF UPLIFT. REFER TO WIND LOAD CALCULATIONS AT [HTTP://WWW.CADVICE.US/5V/WINDLOADCALCULATIONS.PDF](http://www.cadvice.us/5v/windloadcalculations.pdf) WHEN LAG LIMIT IS EXCEEDED CONTRACTOR SHALL USE MORE LAGS. 1-BOLTS OR ALL-THREAD ROD, FOUR 1-BOLTS OR ALL-THREAD RODS CAN HANDLE THE LOAD OF 2-EACH. 40SP SOLAR COLLECTORS IN ALL LOADING CASES ON THE CHART, WHEN STRAYING INTO PZ2, INCREASE ANCHORS 50% ON THE PORTION OF THE COLLECTOR IN PZ2. ABSOLUTELY NO INSTALLATIONS IN PZ3.

TESTING: The LeverEdge DHW COLLECTORS HAVE PASSED MIAMI TESTING LABS WIND LOAD TESTING OF -102 PSF PER ASTM C-330 (MTL FILE NUMBER 95-1249). THIS ENGINEER HAS EVALUATED THE INSTALLATION COMPONENTS AND HARDWARE CURRENTLY PROVIDED BY THE LeverEdge AS OEM INSTALLATION KITS AND FOUND THEM TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE CURRENT AS OF THE DATE OF THIS PLAN. THERE SHALL BE NO SUBSTITUTION OF OTHER VENDOR MATERIALS WITHOUT PRIOR APPROVAL OF THIS ENGINEER THRU THE LeverEdge.

HARDWARE: THIS ENGINEER HAS DETERMINED THAT THE HOLD-DOWN HARDWARE AND FASTENERS SUPPLIED BY THE LeverEdge WILL WITHSTAND HURRICANE FORCE WINDS UP TO AND INCLUDING 200 MPH 3-SECOND GUSTS. THE ONLY REMAINING VARIABLE OF SIGNIFICANCE IS THE ATTACHMENT OF THE HOLD-DOWNS TO THE UNDERLYING ROOF SYSTEM USING OEM HARDWARE. LAGGING OF THE DHW COLLECTORS FOR FLUSH MOUNT INSTALLATION (PARALLEL WITH THE ROOF SURFACE AND AS CLOSE THERETO AS PERMITTED BY OEM HARDWARE) SHALL BE ALLOWED IN EXPOSURE CATEGORY B AND C AND IN BOTH PZ1 AND PZ2 AT MEAN ROOF HEIGHTS OF 60-FT OR LESS AND IN ALL WIND ZONES THRU 200 MPH SO LONG AS THE FOLLOWING CAUTIONARY RULES ARE OBSERVED: LAGS SHALL BE CORROSION RESISTANT STEEL, 3/8 INCH DIAMETER MINIMUM OR BETTER, LAGS SHALL ACHIEVE AT LEAST 3-INCHES OF THREAD EMBEDMENT IN RAFTER OR BLOCKING. MEASUREMENTS MUST BE CAREFULLY MADE AND PILOT HOLES SHALL BE DRILLED TO ENSURE HITTING UNDERLYING RAFTERS OR TRUSSES AND TO AVOID WOOD SPLITTING. SPECIAL PROCEDURES TO USE WHEN, IN THE INSTALLER'S OPINION, HITTING THE TRUSS/RAFTER OR 3/8 INCH DIAMETER (MIN) ALL-THREAD ROD PLUS STANDARD FENDER & LOCK WASHERS AND NUT THRU MINIMUM 4" BY 4" BY 9" BLOCKING ON THE UNDERSIDE OF THE ROOF SHEETING, WHERE BLOCKING METHOD IS USED, INSTALLER SHALL APPLY A GENEROUS BEAD OF CONSTRUCTION ADHESIVE FOR MINIMUM OF 1 FT ALONG THE REAR EDGES OF THE ROOF TRUSS AND SHEETING ON EACH TRUSS ON BOTH SIDES OF THE BLOCKING - SET FIGURE 2 ON THIS SHEET. PLUMBING SHALL BE PER FIGURE 1. FLORIDA PLUMBING CODE SHALL BE ADHERED TO. PARTICULAR ATTENTION SHALL BE GIVEN TO PROTECTION AGAINST OVER PRESSURE AND FREEZING - PER FLORIDA MECHANICAL CODE, CHAPTER 14, AND PER THE LeverEdge INSTALLATION INSTRUCTIONS. THIS DRAWING SHOWS THE "D" VERSION OF PLUMBING. HOWEVER, THERE ARE OTHER VARIANTS (PHOTO-VOLTAIC PUMP, INDIRECT, AND/OR DRAIN-BACK) WHICH, ALTHOUGH NOT SPECIFICALLY SHOWN HEREON, ARE COVERED BY THIS SEALED DRAWING - SO LONG AS INSTALLED PER THE LeverEdge INSTALLATION INSTRUCTIONS. WATERPROOFING INSTALLER SHALL ADHERE TO REQUIREMENTS OF FBC CHAPTER 15 (ROOFING) AND BEST PRACTICES OF THE ROOF ROOFING & WATERPROOFING MANUAL TO ENSURE THAT THE SOLAR INSTALLATION DOES NOT CAUSE ROOF LEAKS AT INITIAL INSTALLATION OR AS THE SYSTEM AGES. QUESTIONS: INSTALLERS, AUTHORITIES HAVING JURISDICTION, OR OTHERS HAVING QUESTIONS OR DIFFERING CONDITIONS, MAY CONTACT THIS ENGINEER DIRECTLY - CELL: 813 650 7246, E-MAIL: ALLEN@GEZELMANPE.COM

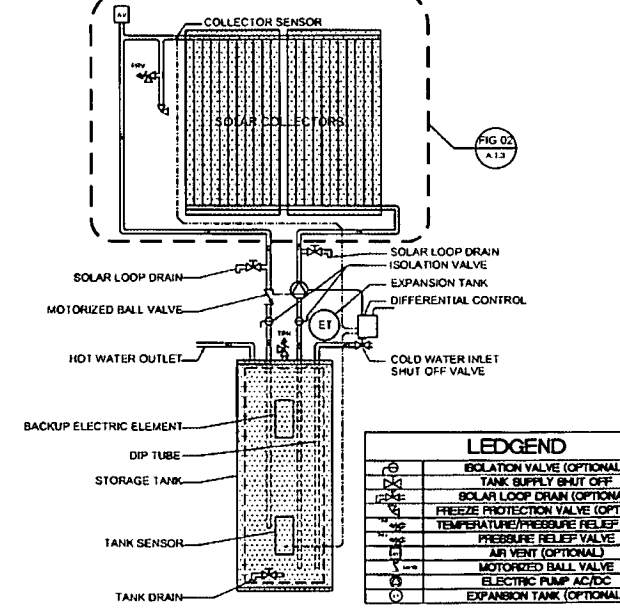
**NOTICE TO AHJ, CONTRACTOR, OWNER, & OTHER INTERESTED PARTIES (OIP):** THIS PLAN PROVIDES ENGINEER SEALED DETAILS & SPECIFICATIONS FOR INSTALLATION OF BOTH AE & MORNING STAR CORPORATION (MSC) SOLAR DOMESTIC HOT WATER SYSTEMS. AE & MSC ARE MADE IN THE SAME PLANT BY THE SAME MANUFACTURER, WHILE THERE ARE SLIGHT PHYSICAL DIFFERENCES, THESE SYSTEMS ARE EQUIVALENT STRUCTURALLY, HYDRAULICALLY, & THERMALLY. AE DETAILS ARE SHOWN ON THIS PLAN SHEET, BECAUSE AE IS THE VOLUME LEADER. MSC DETAILS MAY BE VIEWED AT: <http://www.aesolar.com/>

**EJCDC C-700**

ALL AFFIDAVITS, DESIGNS, OPINIONS, CALCULATIONS & OTHER ENGINEERING SERVICES PROVIDED BY ALLEN GEZELMAN PE AND HIS ASSOCIATES ON ANY AND ALL PROJECTS ARE SUBJECT TO THE PROVISIONS OF EJCDC C-700 (ENGINEERS JOINT CONSTRUCTION DOCUMENT COMMITTEE - STANDARD GENERAL CONDITIONS OF THE CONSTRUCTION CONTRACT) CURRENT AT THE TIME, THOSE OBJECTING TO SAID EJCDC C-700 OR PROVISIONS THEREOF ARE DIRECTED NOT TO USE THE DRAWING, DESIGN, OPINION, CALCULATION OR OTHER ENGINEERING SERVICE OFFERED BY ALLEN GEZELMAN PE AND HIS ASSOCIATES ON THE PROJECT. EJCDC C-700 MAY BE VIEWED AT: [HTTP://WWW.EJCDCC.COM/REFERENCE/EJCDCC-700.PDF](http://www.ejcdcc.com/reference/ejcdcc-700.pdf)

**TOWN OF SEWALL'S POINT BUILDING DEPARTMENT**  
**FILE COPY**

DIRECT TO SYSTEM  
 THIS DRAWING SHOWS THE LeverEdge Direct To System.  
 "D" (DIRECT) SYSTEM AND THIS PARTICULAR SYSTEM'S PLUMBING. THERE ARE OTHER, SLIGHTLY DIFFERENT, THE LeverEdge DHW SYSTEM VARIANTS WHICH ARE ALSO COVERED BY THIS SEALED DRAWING. THIS IS BECAUSE THE CRITICAL ELEMENT - THE COLLECTORS) AND ROOF MOUNTING DETAILS REMAIN THE SAME WHETHER THE LeverEdge DHW SYSTEM IS INSTALLED AS A DIRECT, IN-DIRECT OR DRAIN-BACK MODELS WHICH CAN BE CONFIGURED WITH EITHER AN AC OR PHOTO-VOLTAIC PUMP OR D/C CONTROLLED ELECTRIC PUMP

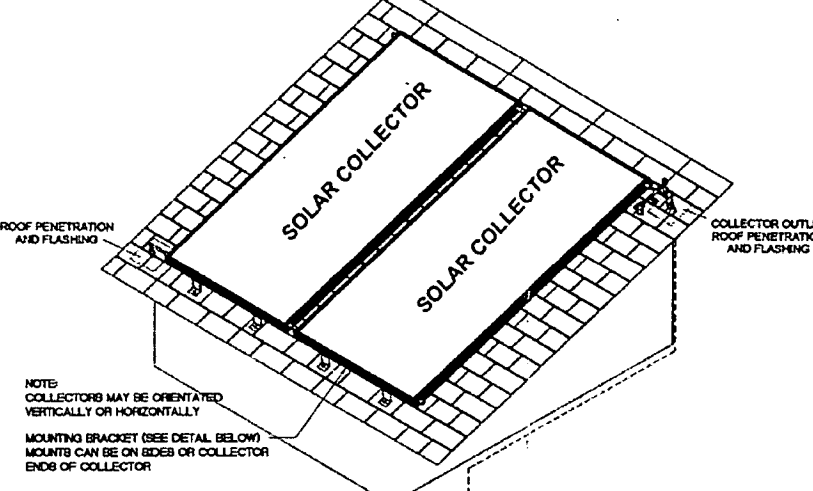


**01** FIGURE 1  
 SCALE: 1/2" = 1'-0"

**SOLAR UNIT (THERMAL OR PV) WIND FORCES**

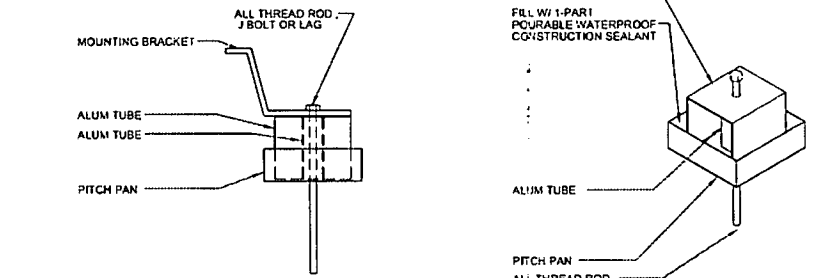
SOLAR UNITS INSTALLED PER THIS PLAN SHALL NOT FORM PART OF THE BUILDING ENVELOPE LIKE A WINDOW, DOOR, SKYLIGHT, OR BIPV. SOLAR UNITS SHALL BE MOUNTED ABOVE ROOF SURFACE LIKE AN AC CONDENSER. THEREFORE, SOLAR UNITS THUS INSTALLED DO NOT REQUIRE A PRESSURE RATING AS DO ENVELOPE COMPONENTS SUCH AS WINDOWS, DOORS, & SKYLIGHTS. SOLAR UNITS SHALL BE MOUNTED VERY CLOSE TO THE ROOF SURFACE. THIS PROVIDES PRESSURE EQUALIZATION BETWEEN THE ROOF SURFACE AND THE BACK OF THE SOLAR UNITS. THIS RESULTS IN NO SIGNIFICANT CHANGE IN THE LOADS ON THE ROOF FRAMING FOR A PARALLEL WIND AND MODST CHANGES IF TILT-UP. HOWEVER, THE INTERNAL AND EXTERNAL COMPONENTS OF WIND PRESSURE DISCOUPLE E.G. THE ROOF RESISTS THE INTERNAL WIND PRESSURES AND THE SOLAR UNITS RESIST THE EXTERNAL WIND PRESSURES. THE EXTERNAL WIND FORCES ARE THEN TRANSFERRED TO THE ROOF FRAMING THRU THE SOLAR ATTACHMENT HARDWARE. WIND CALCULATIONS LINK HERE: [HTTP://WWW.GEZELMANPE.COM/GENERIC/2010BC\\_WINDCALCS.HTM](http://www.gezelmanpe.com/generic/2010bc_windcalcs.htm)

**NO PZ3 IN HVHZ**



**ROOF INSTALLATION DIAGRAM**

SCALE: 1/2" = 1'-0"



**ALTERNATE. TILE ROOF MOUNTING DETAIL**

SCALE: 3/4" = 1'-0"

**02** FIGURE 2  
 SCALE: VARIES

**EXPLANATORY INFORMATION**

ENLARGED VIEWING & HYPERLINKS:  
 PERMIT VERSION OF THIS PLAN PROVIDES MINIMUM INFORMATION NEEDED BY USERS.  
 ELECTRONIC VERSION (EV) PROVIDES MAGNIFIED VIEWING UP TO 600% EV ALSO PROVIDES HYPERLINK ACCESS TO OEM MANUALS AND AS UNDAINT OTHER SUPPLEMENTARY INFORMATION.  
 EV MAY BE ACCESSED AT: [HTTP://WWW.GEZELMANPE.COM/GENERIC/AS.1.3.WH-10.PDF](http://www.gezelmanpe.com/generic/as.1.3.wh-10.pdf)

THERE ARE THREE PROPRIETARY RACK SYSTEMS APPROVED FOR USE WITH THIS PLAN. THESE MAY BE USED TO SUPPLEMENT OR TO REPLACE THE DETAILS SHOWN IN FIGURE 2. IN ALL CASES REFER TO OEM INSTRUCTIONS FOR DETAILS/SYSTEM BEING USED. IN THE EVENT OF A CONFLICT BETWEEN OEM INSTRUCTIONS AND THIS PLAN, OEM INSTRUCTIONS SHALL PREVAIL.

OEM MANUALS MAY BE ACCESSED ELECTRONICALLY USING THE FOLLOWING HYPERLINKS:  
[HTTP://WWW.LINSTRUT.COM/LITERATURE/INDEX.PHP?DOC=ND148PG1](http://www.linstrut.com/literature/index.php?doc=ND148pg1)  
[HTTP://WWW.INHRIDGE.COM/FILES/HR5/INHBRIDGE\\_HRS\\_3\\_RAIL\\_SYSTEM.PDF](http://www.inhridge.com/files/hrs/inhridge_hrs_3_rail_system.pdf)  
[HTTP://WWW.LINTRAC.COM/PDF/1127.PDF](http://www.lintrac.com/pdf/1127.pdf)

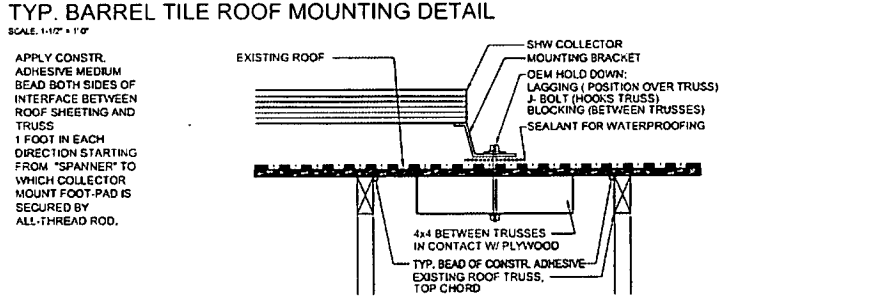
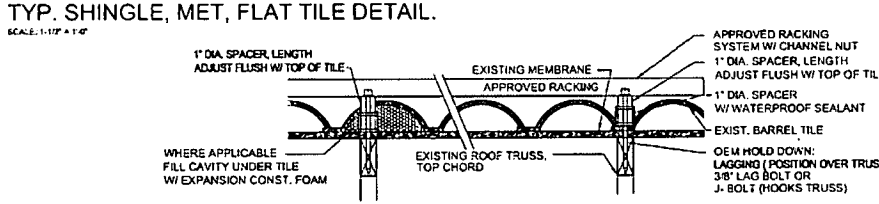
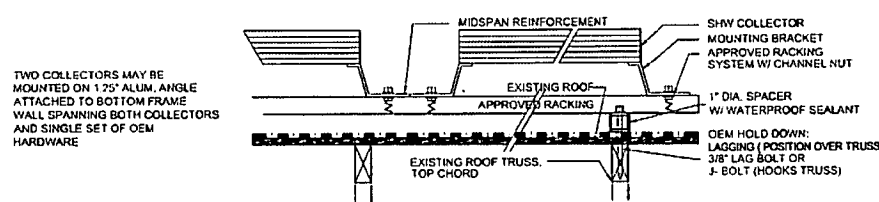
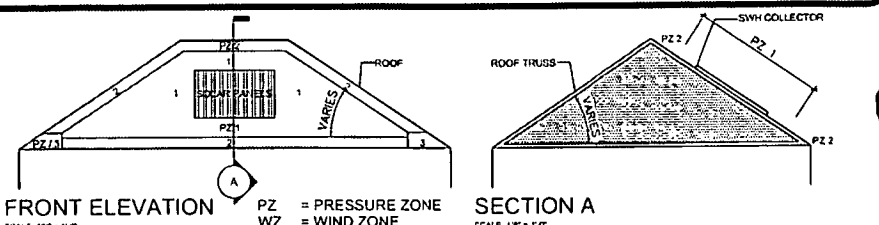
STRUCTURAL LOADING:  
 THIS PLAN WAS ENGINEERED FOR THE ENTIRE STATE OF FLORIDA INCLUDING HVHZ. THE SOLAR EQUIPMENT REPRESENTED ON THIS PLAN IMPOSES A POSITIVE LOAD UPON THE ROOF STRUCTURE OF LESS THAN 4-PSF. MY UPLIFT PRESSURE CALCULATIONS MAY BE VIEWED AT: [HTTP://WWW.GEZELMANPE.COM/GENERIC/2010BC\\_WINDCALCS.HTM](http://www.gezelmanpe.com/generic/2010bc_windcalcs.htm)

QUESTIONS REGARDING ROOF PRESSURE ZONES ARE REFERRED TO THE ASCE 10 DIAGRAM FOUND ON PAGE 5 AT THE ABOVE LINRAC HYPERLINK.

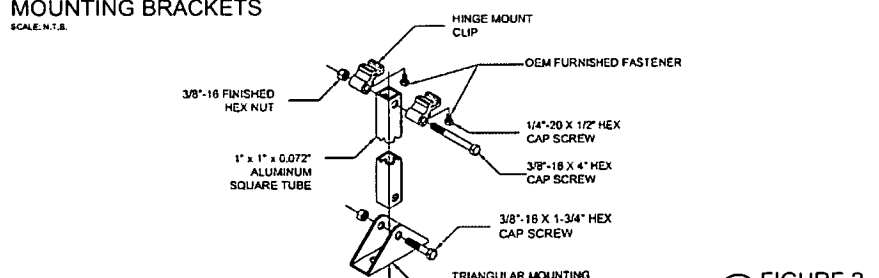
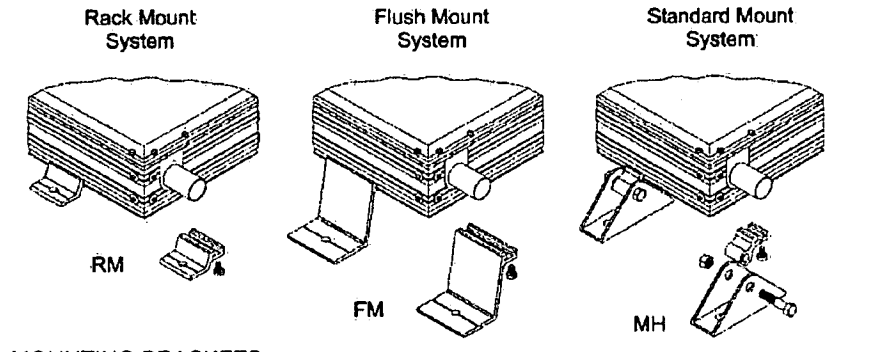
**03** FIGURE 3  
 SCALE: 1/2" = 1'-0"

**GENERAL NOTE:**

ALL HOT WATER SOLAR COLLECTORS SOLD IN THIS STATE ARE REQUIRED TO HAVE BEEN TESTED BY THE FLORIDA SOLAR ENERGY CENTER AND BEAR ITS CERTIFICATION LABEL. THE COLLECTORS LISTED ON THIS PLAN COMPLY WITH THOSE REQUIREMENTS. FURTHER INFORMATION MAY BE ACCESSED ON LINE AT: [HTTP://WWW.FSEC.UCF.EDU/EN/INDUSTRY/TESTING/STCOLLECTORS/HOT\\_WATER\\_RATINGS/INDEX.HTM](http://www.fsec.ucf.edu/en/industry/testing/stcollectors/hot_water_ratings/index.htm)



NOTE -THERE SHALL BE AT LEAST 4 HOLD-DOWN ATTACHMENTS FOR EACH SOLAR COLLECTOR ON A ROOF.



**02** FIGURE 2  
 SCALE: VARIES