

# 14 Palm Road

**2322**

**SFR**

THIS PERMIT MUST BE DISPLAYED IN FRONT OF JOB

DO NOT REMOVE UNTIL JOB IS COMPLETED

OWNER T. McGlynn

CONTRACTOR J. Hill

LOT 7 BLOCK - SUB Palm Road

NO. 14 Palm Road St. of Ave.

NO. 2322 Date Issued 6-23-88

Call 287-2455 From 8:00 A.M. - 12:00 Noon and 1:00 P.M. - 4:00 P.M. For Inspections of Items 1 thru 13.

# TOWN OF SEWALL'S POINT BUILDING PERMIT

- \* REQUESTS FOR INSPECTIONS REQUIRE AT LEAST 24 HOURS NOTICE.
- \* ALL WORK MUST BE IN COMPLIANCE WITH THE TOWN OF SEWALL'S POINT ORDINANCES, THE SOUTH FLORIDA BUILDING CODE, THE STATE OF FLORIDA ENERGY EFFICIENCY BUILDING CODE AND ELEVATIONS BASED ON THE LATEST FLOOD INSURANCE RATE MAP.
- \* WORKING HOURS ARE FROM 8:00 to 5:00 P.M. MONDAY THRU SATURDAY. PORTABLE TOILET FACILITIES MUST BE ON JOB SITE BEFORE INITIAL INSPECTION.

REQUIRED INSPECTIONS	INSPECTOR'S FINDING	INSPECTOR'S SIGNATURE
1. LOT STAKES/SET BACKS		
2. TERMITE PROTECTION	ABSOLUTE PEST 7-5-88	[Signature]
3. FOOTING - SLAB	OK 7/7/88	[Signature]
4. ROUGH PLUMBING	OK 8/29/88	[Signature]
5. ROUGH ELECTRIC	OK 9/12/88	[Signature]
6. LINTEL		
7. ROOF		
8. FRAMING	OK 9/12/88	[Signature]
9. INSULATION	OK 9/16/88	[Signature]
10. A/C DUCTS	OK 9/12/88	[Signature]
11. FINAL ELECTRIC		
12. FINAL PLUMBING		
13. FINAL CONSTRUCTION	OK 12/2/88	[Signature]

TO CONSTRUCT residence

REMARKS:  
C.O.

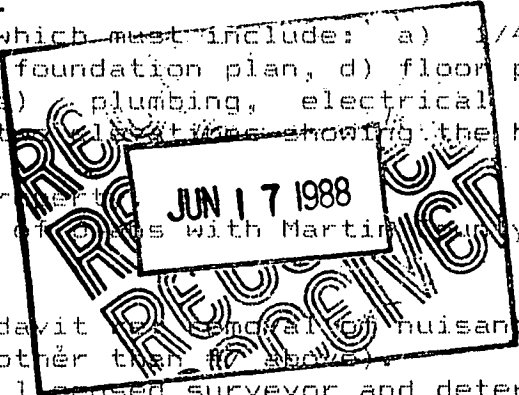
*absolute pest control 8-10-88 PB*

TOWN OF SEWALL'S POINT, FLORIDA  
 APPLICATION FOR PERMIT TO BUILD A HOUSE OR COMMERCIAL BUILDING

PERMIT NUMBER **2322** DATE OF APPLICATION 6-15-88

To obtain a permit the following are required:

1. Florida certification of builder and sub-contractors.
2. Certification of insurance from contractor or owner/builder re: liability and workers' compensation.
3. Two sets of building plans which must include: a) 1/4" scale building drawings, b) plot plan, c) foundation plan, d) floor plans, e) wall and roof cross-sections, f) plumbing, electrical and air conditioning layouts, g) at least two elevations showing the height of building from finished floor.
4. Recorded warranty deed to the property.
5. Septic tank permit and one set of plans with Martin County Health Department seal.
6. Energy code calculations.
7. Notarized copy of attached affidavit re removal of nuisance trees.
8. Tree removal permit (for trees other than those shown).
9. Certification of elevation from licensed surveyor and determination of flood zone.
10. Amount of fill anticipated - rough sketch showing extent of fill on lot.
11. Manufacturer's schedule of windows.



Owner Timothy W & Carolyn H McGlynn Current Address 9500 S. AIA #1002,  
 Telephone 407-229-1965 Jensen Beach, FL 34957  
 General Contractor John J. Hill Construction Address 416 Balboa Avenue  
 Telephone 407-287-9307 Stuart, FL 34994  
 Where Licensed Florida License Number CGC024800  
 Plumbing Contractor Tropic Plumbing License Number CFC032565  
 Electrical Contractor South Star Electrical License Number MC7747  
 Roofing Contractor Turner Roofing License Number SP00230  
 A/C Contractor Personalized A/C License Number MC160

Describe the building or alterations new single family residence  
 Name the street on which the building, its front building line and its front yard will face 14 Palm Road

Subdivision Palm Road Row Lot 7 Block 962  
 Building area (inside walls) 2,117 Garage, porch, carport area 962  
 Contract price (excluding carpet, land, appliances, landscaping) \$ 144,768.00  
 Cost of permit \$760.00 Plans approved as submitted as marked 151,905

- In addition, the following are understood by owner and contractor:
1. Building area inside walls must be a minimum of 1,500 square feet.
  2. Building permit fees are \$5. per \$1,000. of the cost of the building, plus \$10. each for plumbing, electric, a.c. and roof. For example a \$100,000. building x \$5. = \$500. plus \$40. (a.c., pl., el., roof) = \$540. cost of permit + \$365. impact fee = \$905. total.
  3. If no contract is submitted as proof as cost, the permit will be based on \$60. per square foot (inside walls) and \$25. per square foot (other areas).
  4. The Town has adopted the South Florida Building Code as a part of its ordinances.
  5. Building permits are issued for one year's duration.
  6. Construction must be started within 180 days or permit will be subject to revocation and forfeiture of fee.
  7. ALL changes in plans must be approved by the Building Department.
  8. Work hours are 8:AM to 5:PM Monday through Friday. NO SUNDAY WORK
  9. Portable toilets must be on all construction sites.
  10. Inspections are made Monday through Friday, 8:AM to Noon, 1:PM to 4:PM. 24 hour notice is required prior to all inspections.
  11. String lines along property lines to facilitate set back inspections.
  12. Before a certificate of occupancy is issued, the following are required:
    - a. An owner's affidavit of building cost (form available) any discrepancy between the original fee and final fee (based on affidavit) will be adjusted.
    - b. Approval of septic tank installation by Martin Co. Health Dept.
    - c. Rough grading and clean up of grounds.
    - d. Affidavit from licensed surveyor showing slab elevation (if in "A" zone).
    - e. Certification by a qualified engineer or architect of the structural adequacy of the building.

13. THIS SUMMARY IS NOT A SUBSTITUTE FOR TOWN ORDINANCES. APPROVAL OF THE BUILDING PLANS IN NO WAY RELIEVES THE OWNER OR CONTRACTOR FROM COMPLIANCE WITH TOWN ORDINANCES.

Contractor's Signature John J. Hill Owner's Signature Timothy McGlynn  
 Approval by Building Inspector [Signature] Date 6/18/88  
 Approval by Building Commissioner \_\_\_\_\_ Date \_\_\_\_\_  
 Certificate of Occupancy issued \_\_\_\_\_ Date \_\_\_\_\_

**#2322**

hereinafter called the grantor, to  
TIMOTHY W. MCGLYNN and CAROLYN H. MCGLYNN, his wife

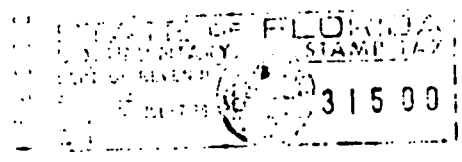
whose postoffice address is  
hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

**Witnesseth:** That the grantor, for and in consideration of the sum of \$ 10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, releases, conveys and confirms unto the grantee, all that certain land situate in Martin County, Florida, viz:

Lot 7, PALM ROW, according to the Plat thereof, recorded in Plat Book 4, Page 68, Public Records of Martin County, Florida.

Subject to taxes--Subsequent to December 31, 1985 and restrictions, reservations, easements and covenants of record.



**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in any-wise appertaining.

**To Have and to Hold,** the same in fee simple forever.

**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 1985.

**In Witness Whereof,** the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

*Henry C. Needles*  
*Nancy W. Needles*

*Henry C. Needles*  
HENRY C. NEEDLES  
*Nancy W. Needles*  
NANCY W. NEEDLES

STATE OF New Jersey  
COUNTY OF *CANON*

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, personally appeared

Henry C. Needles and Nancy W. Needles, his wife  
to me known to be the persons described in and who executed the foregoing instrument and have acknowledged before me that they executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this *1st* day of *July*, A. D. 19-86.

July  
*Doris L. Williams*  
Notary Public -- My Commission Expires

This instrument prepared by:  
Address  
STEWART TITLE OF MARTIN COUNTY  
409 E. Osceola Ave.  
Stuart, FL 33494

SPACE BELOW FOR RECORDERS USE

*J.S.*

681 PAGE 191

681 PAGE 191

**DORIS L. WILLIAMS**  
Notary Public of New Jersey  
My Comm. Exp. April 1, 1990

Return to →



STATE OF FLORIDA  
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

W56

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM

PERMIT NUMBER HD88-346  
NAME OF APPLICANT TIMOTHY & CAROLYN McGLYNN HOME PHONE \_\_\_\_\_  
MAILING ADDRESS OF APPLICANT 295 FA. STREET WORK PHONE 287-0525  
STUART, FLA. ZIP CODE 34994  
LOT 7 BLOCK N/A SUBDIVISION "PALM ROW"  
IF NOT SUBDIVIDED, ATTACH A COMPLETE LEGAL DESCRIPTION  
PLAT BOOK 4 PAGE 60 DATE SUBDIVIDED MAY 1968  
RESIDENTIAL: NUMBER DWELLING UNITS 1 NUMBER BEDROOMS 3  
LOT SIZE 14,782 ± FT² HEATED OR COOLED AREA OF HOME 2800 ± FT²  
COMMERCIAL: TYPE OF BUSINESS PROPOSED \_\_\_\_\_  
BUILDING SIZE \_\_\_\_\_ FT²

X Job.No. 874-01-02

-----AFFIDAVIT-----

I HAVE REVIEWED THIS PERMIT AND I CERTIFY THAT ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT AND ANY APPLICABLE STATE OR COUNTY REGULATIONS.

SIGNATURE OF PROPERTY OWNER OR OWNER'S LEGALLY AUTHORIZED REPRESENTATIVE

-----INSTALLATION SPECIFICATIONS-----

SEPTIC TANK CAPACITY 1050 GALLONS  
DRAINFIELD SIZE 400 SQUARE FEET

DRAINFIELD ROCK MUST BE 5 FEET FROM FRONT OR REAR PROPERTY LINES AND 5 FEET FROM SIDE PROPERTY LINES. EXCAVATION CAN NOT EXTEND MORE THAN FIVE FEET FROM APPROVED INSTALLATION AREA.

TOP OF BUILDING STUB OUT IS REQUIRED TO BE A MINIMUM ELEVATION OF

FINISH b/d GRADE

\* Not to exceed 18" of cover over drainfield rock \*

ISSUED BY: Jerry Cuello DATE 6-12-88  
MARTIN COUNTY PUBLIC HEALTH UNIT

PLEASE NOTE:

- (1) IF BUILDING CONSTRUCTION DOES NOT START WITHIN ONE YEAR FROM DATE OF ISSUANCE, THIS PERMIT EXPIRES. IF BUILDING CONSTRUCTION STARTS WITHIN 1 YEAR FROM DATE OF ISSUANCE, THE DATE OF EXPIRATION WILL BE EXTENDED AN ADDITIONAL 90 DAYS.
- (2) APPLICANT IS RESPONSIBLE FOR REPLACING EXCAVATED SOILS WITH A GOOD GRADE OF SAND.
- (3) N/A REINSPECTION FEE IF WELL NOT INSTALLED AT TIME OF ONSITE SEWAGE DISPOSAL SYSTEM INSPECTION.
- (4) INSPECTION RESULTS WILL BE POSTED ON BUILDING PERMIT OR ON ELECTRICAL BOX.
- (5) IF BUILDING STUBOUT IS PLACED MORE THAN 20 FEET FROM SEPTIC TANK OR DRAINFIELD, A HIGHER STUBOUT ELEVATION THAN SHOWN ABOVE WILL BE REQUIRED.
- (6) IF FILL IS REQUIRED, CONTACT MARTIN COUNTY BUILDING DIVISION.
- (7) IF ANY INFORMATION ON THIS PERMIT CHANGES, AN UPDATED APPLICATION IS REQUIRED.
- (8) IF WELL OR MOUND DRAINFIELD IS PROPOSED, SEE ATTACHED SKETCH OF ADDITIONAL SPECIAL REQUIREMENTS.

-----FINAL INSPECTION-----

CONSTRUCTION APPROVED BY: \_\_\_\_\_ DATE \_\_\_\_\_  
MARTIN COUNTY PUBLIC HEALTH UNIT

AN APPROVED SYSTEM DOES NOT GUARANTEE PERFORMANCE



PREPARED BY: Stephen J. Brown, Inc.  
Professional Land Surveyor  
295 Florida Street, Stuart, Fla. 34994  
407-287-0525

APPLICANT TIMOTHY & CAROLYN McGLYNN

LEGAL DESCRIPTION "Palm Row" 9/10. LOT 7

-----SITE INFORMATION-----

1. IS THERE A SEPTIC SYSTEM OR OTHER INTERFERENCE WITHIN 75 FEET OF THE PROPOSED PRIVATE WELL? No
2. IS THERE A POTABLE PRIVATE WELL WITHIN 75 FEET OF THE PROPOSED AVAILABLE AREA FOR THE PROPOSED SEPTIC SYSTEM? No
3. IS THERE AN IRRIGATION WELL WITHIN 50 FEET OF THE AVAILABLE AREA FOR THE PROPOSED SEPTIC SYSTEM? No
4. IS THERE A PUBLIC WELL THAT SERVES LESS THAN 25 PEOPLE OR LESS THAN 15 HOMES WITHIN 100 FEET OF THE PROPOSED SEPTIC SYSTEM? No
5. IS THERE A PUBLIC WELL WHICH SERVES MORE THAN 25 PEOPLE OR MORE THAN 15 HOMES WITHIN 200 FEET OF THE PROPOSED SEPTIC SYSTEM? No
6. IS THERE A GRAVITY SEWER LINE OR LIFT STATION WITHIN 100 FEET OF THE PROPOSED LOT? No
7. IS THERE A LAKE, STREAM, WETLAND, OR SURFACE WATER WITHIN 75 FEET OF THE PROPOSED AVAILABLE AREA FOR THE PROPOSED SEPTIC SYSTEM? No
8. IS THERE A PROPOSED OR EXISTING PUBLIC DRINKING WATER LINE WITHIN 10 FEET OF THE PROPOSED SEPTIC SYSTEM? No
9. IS THERE A STORM WATER RETENTION AREA OR DRAINAGE EASEMENT WITHIN 15 FEET OF THE PROPOSED SEPTIC SYSTEM? No
10. IS THE SEPTIC SYSTEM IN AN AREA PROPOSED FOR PAVING OR VEHICULAR TRAFFIC? No
11. ARE ALL PRIVATE WELLS, SEPTIC SYSTEMS AND SURFACE WATER ON ADJACENT OR CONTIGUOUS LAND WITHIN 75 FEET OF THE APPLICANT'S LOT, IF PRESENT, SHOWN ON PLOT PLAN? No
12. ARE ALL PUBLIC WELLS WITHIN 200 FEET OF THE APPLICANT'S LOT, IF PRESENT, SHOWN ON PLOT PLAN? YES
13. DOES THE PLOT PLAN INCLUDE A PLAT OF THE LOT OR TOTAL SITE OWNERSHIP DRAWN TO SCALE, BOUNDARIES WITH DIMENSIONS, LOCATIONS OF BUILDING OR RESIDENCES, SWIMMING POOLS, RECORDED EASEMENTS, THE PROPOSED SEPTIC SYSTEM, ANY PROPOSED OR EXISTING WELLS, PUBLIC WATER LINES, PAVED AREAS OR DRIVEWAYS, AND SURFACE WATERS SUCH AS LAKES, PONDS, STREAMS, CANALS, OR WETLANDS? YES
14. THERE IS 1250+ SQUARE FEET OF AVAILABLE LAND TO INSTALL THE SEPTIC SYSTEM. THIS AREA EXCLUDES INTERFERENCES. SHADE THIS AVAILABLE AREA ON PLOT PLAN.

-----ELEVATIONS-----

1. CROWN OF ROAD ELEVATION 12.49 NGVD SHOW LOCATION ON PLOT PLAN. IF ROAD IS NOT PAVED, BENCHMARK ELEVATION N/A NGVD SHOW LOCATION ON PLOT PLAN.
2. NATURAL GRADE ELEVATION IN AREA OF PROPOSED SEPTIC SYSTEM 11.75 NGVD SHOW LOCATION ON PLOT PLAN.
2. IS BUILDING LOCATED IN FLOOD HAZARD AREA "A" OR "V" AS IDENTIFIED ON FEMA MAPS? No IF YES, WHAT IS THE MINIMUM REQUIRED FLOOD HAZARD FLOOR ELEVATION OF BUILDING? \_\_\_\_\_ NGVD.

NOTE: MUST BE CERTIFIED BY A FLORIDA REGISTERED SURVEYOR OF ENGINEER.

CERTIFIED BY: STEPHEN J. BROWN  
FL. PROFESSIONAL NO. 4049  
DATE: 6/2/88 JOB NO. 894-01-02

JUN 15 1988

FLA. 1967 LAWS  
FS 713.13

# NOTICE OF COMMENCEMENT

(PREPARE IN DUPLICATE)

State of Florida  
County of Martin

The undersigned hereby informs all concerned that improvements will be made to certain real property, and in accordance with section 713.13 of the Florida Statutes, the following information is stated in this NOTICE OF COMMENCEMENT.

Description of property..... Lot 7, PALM ROW, according to the Plat thereof  
..... recorded in Plat Book 4, page 68, Public Records of Martin  
..... County, Florida.

General description of improvements..... single family dwelling

Owner..... TIMOTHY W. McGLYNN AND CAROLYN H. McGLYNN, his wife

Address..... 9500 South Ala #1002 Jensen Beach, Florida 34957

Owner's interest in site of the improvement..... Fee Simple

Fee Simple Title holder (if other than owner)  
Name.....

Address.....

Contractor..... JOHN J. HILL CONSTRUCTION

Address..... 736 N.W. Buck Hendry Way Stuart, Florida 34994

Surety (if any)..... none

Address..... Amount of bond \$.....

Name of person within the State of Florida designated by owner upon whom notices or other documents may be served:

Name..... First National Bank and Trust Company of the Treasure Coast

Address..... P.O. Box 9012 Stuart, Florida 34995-9012

In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (F), Florida Statutes. (Fill in at Owner's option).

Name.....

Address.....

THIS SPACE FOR RECORDER'S USE ONLY

*Timothy W. McGlynn Carolyn H. McGlynn*  
Owner

Sworn to and subscribed before me this 9th  
day of June 19 88

*Paul [Signature]*  
Notary Public

NOTARY PUBLIC STATE OF FLORIDA  
BY COMMISSION EXP. JAN 30, 1990  
ISSUED UNDER GENERAL 185, 0489

STATE OF FLORIDA  
COUNTY OF MARTIN

THIS IS TO CERTIFY THAT THIS IS A  
TRUE AND CORRECT COPY OF THE  
ORIGINAL

BY *[Signature]*  
DATE 6/10/88



MARTIN COUNTY PUBLIC HEALTH UNIT  
131 East 7th Street  
Stuart, Florida, 34997  
287-2277

STUBOUT ELEVATION AND EXCAVATION CERTIFICATION

APPLICANT: Timothy + Carolyn McGlynn.  
LEGAL DESCRIPTION: Lot 7 Palm Row  
SEPTIC TANK PERMIT NUMBER: HD 83-346

The items noted below must be certified by a surveyor or engineer and returned to the Health Department prior to the first plumbing inspection by the Building Department.

Building Permit Number: \_\_\_\_\_

   2. I certify that the elevation of the top of the lowest plumbing stubout is \_\_\_\_\_ inches above benchmark elevation as indicated on septic tank permit.

   3. I certify that the top of the lowest building plumbing stubout is \_\_\_\_\_ inches above crown of road elevation shown on septic tank permit.

   4. I certify that all severe limited soil has been removed from an area of \_\_\_\_\_ feet by \_\_\_\_\_ feet to a minimum depth of six (6) feet below top of required stubout elevation. Submit plot plan to scale of excavated area.

Date Observed: \_\_\_\_\_

- NOTE: a. Severe limited soil includes but is not limited to hardpan, clay, silt, marl or muck.
- b. Drainfield must be centered in the excavated area. Please set stakes to identify the excavated area boundaries. Drainfield will not be approved if severe limited soils are not removed.

CERTIFIED BY: \_\_\_\_\_

As applicant or applicant's representative, I understand the above requirements.

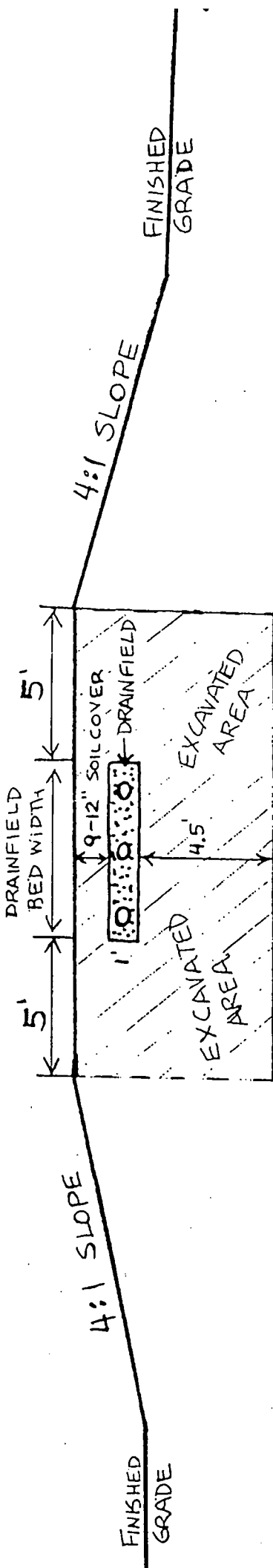
Date: \_\_\_\_\_ Job Number: \_\_\_\_\_

*Debra Futo*  
(Signature)

FOR MARTIN COUNTY PUBLIC HEALTH UNIT USE ONLY

\_\_\_\_\_  
(Signature of Environmental Health Specialist) (Date)

# DRAINFIELD MOUND REQUIREMENTS

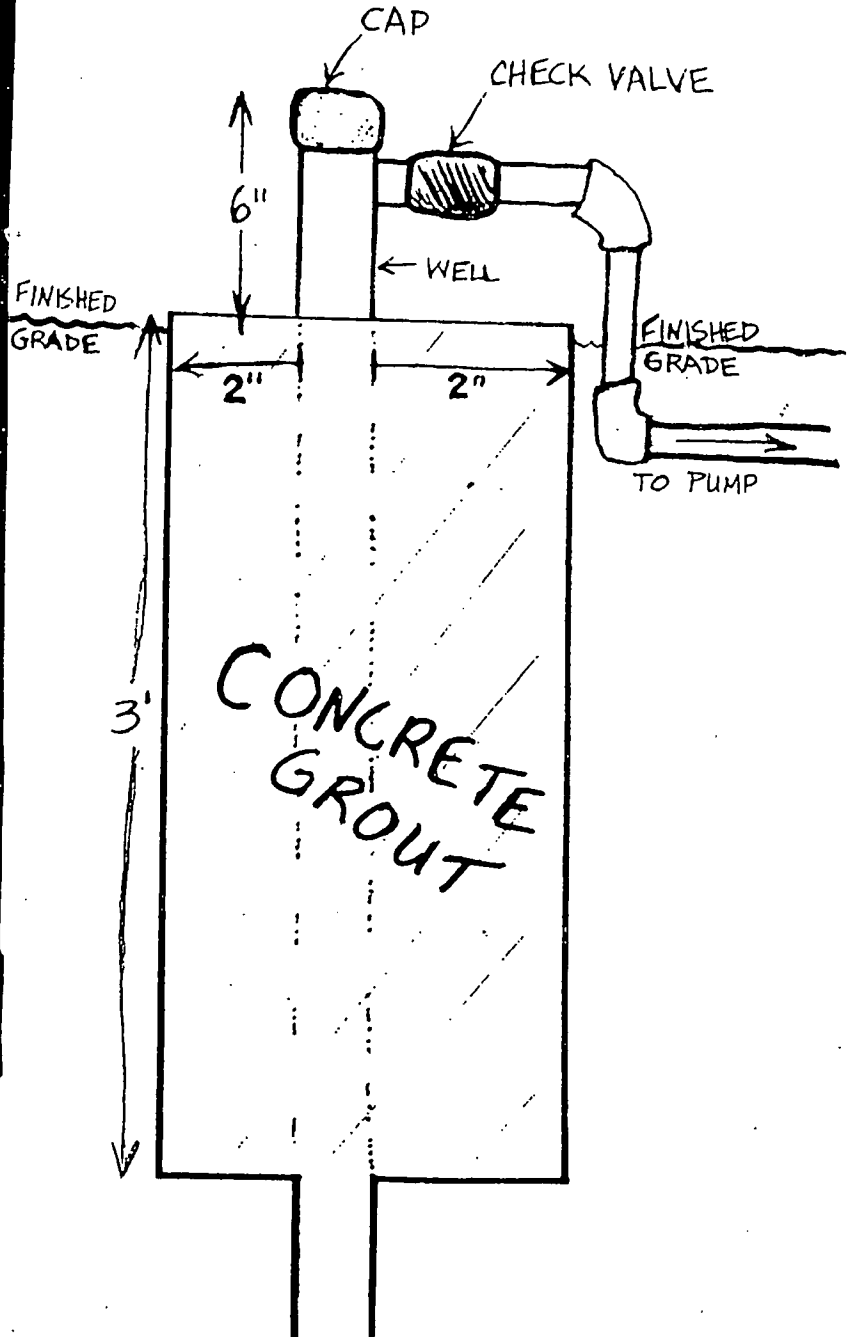


**NOTE:** THESE REQUIREMENTS MUST BE MET PRIOR TO FINAL APPROVAL.

MMC 4/85

# WELL REQUIREMENTS

**NOTE:** ALL WELLS MUST BE GROUTED AT LEAST 2" AROUND WELL CASING TO A DEPTH OF 3'. WELL CASING MUST EXTEND 6" ABOVE FINISHED GRADE AS SHOWN BELOW. NOTE LOCATION OF CHECK VALVE.

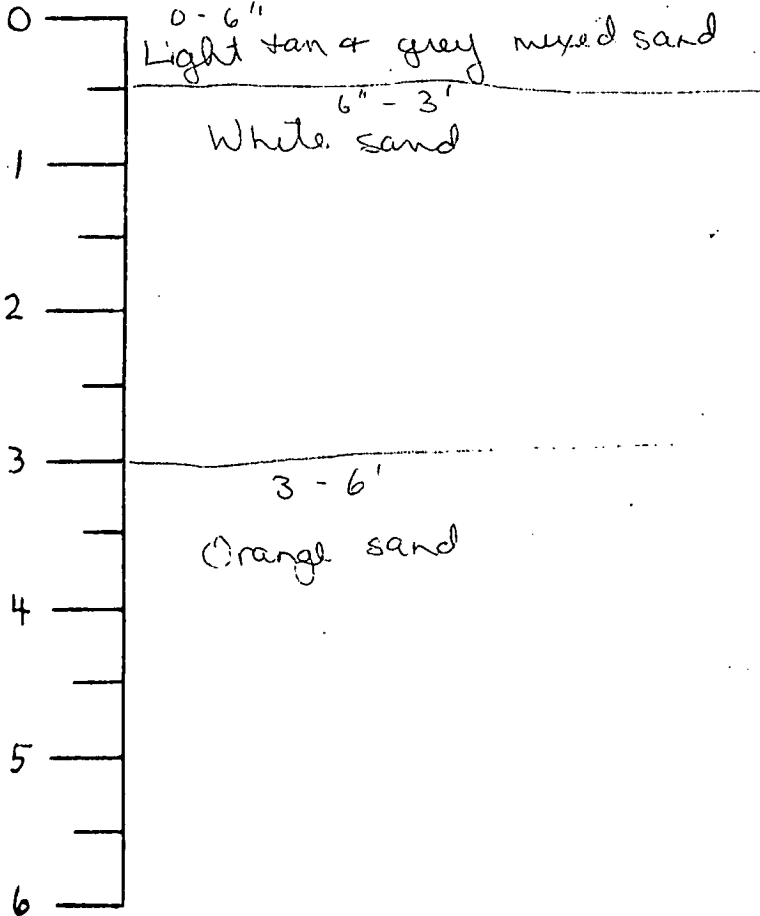


MARTIN COUNTY PUBLIC HEALTH UNIT  
131 East 7th Street  
Stuart, Florida 34997  
287-2277  
SITE EVALUATION

APPLICANT: Timothy + Carolyn McClynn

LEGAL DESCRIPTION: LOT 7 Palm Row

SOIL PROFILE



USDA SOIL TYPE Paola

USDA SOIL NUMBER 6

Impervious soils are present at > 6 below natural grade.

Present Water Depth Below Natural Grade > 6'

Wet Season Range Per Soil Survey > 72"

Estimated Wet Season Water Depth Below Natural Grade > 72"

Indicator Vegetation Present oak, periwinkle

Is Benchmark Located on Plot Plan and Present on Site? yes

Approximate Amount of Fill on Neighboring Lots 0

Other Findings:

Several to numerous large trees on ~~so~~ west side of property on west edge of available area.

EVALUATION BY: Deanna J. Pick

DATE: 6/8/88

RECORD OF INSPECTIONS

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 2/2/88

This is to request that a Certificate of Approval for Occupancy be issued to T. McGLYNN  
 For property built under Permit No. 2372 Dated 6-23-88 when completed in  
 conformance with the Approved Plans.

Item	
1. LOT STAKES/SET BACKS	
2. TERMITE PROTECTION	<u>7-5-88</u>
3. FOOTING - SLAB	<u>7-7-88</u>
4. ROUGH PLUMBING	<u>6-29-88</u>
5. ROUGH ELECTRIC	<u>9-12/88</u>
6. LINTEL	
7. ROOF	
8. FRAMING	<u>9-12-88</u>
9. INSULATION	<u>9-16-88</u>
10. A/C DUCTS	<u>9-12-88</u>
11. FINAL ELECTRIC	<u>12-2-88</u>
12. FINAL PLUMBING	<u>12-2-88</u>
13. FINAL CONSTRUCTION	<u>12-2/88</u>

John J. Hill  
 Signed

Approved by  
Wale Brown

N. S. Stambler - Declarer

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector \_\_\_\_\_ date \_\_\_\_\_

Approved by Building Commissioner Wale Brown 12-2-88 date \_\_\_\_\_

Utilities notified 1-30-88 date \_\_\_\_\_

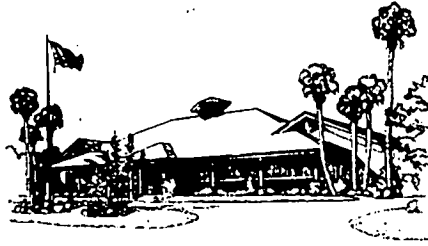
Original Copy sent to John Hill

(Keep carbon copy for Town files)

# TOWN of SEWALL'S POINT

## COMMISSIONERS

ROBERT R. AUNE, MAYOR  
DOLORES delC. CLARKE, VICE MAYOR  
IRENE E. O'BRIEN, COMMISSIONER  
RUSSELL A. MacDONNELL, COMMISSIONER  
CLARK T. DONLIN, COMMISSIONER



TELEPHONE: (407) 287-2455

TOWN CLERK  
JOAN H. BARROW

CHIEF OF POLICE  
LOUIS SAVINI

July 26, 1988

RE: Lot #7, Corner Palm Road & South River Road  
Timothy & Carolyn McGlynn  
Building Permit #2322

To Whom It May Concern:

According to the Sewall's Point Building Code, the setback on Lot #7, corner of Palm Road and South River Road -- Timothy and Carolyn McGlynn -- should be 15 feet. Because of a surveying error on the part of STEPHEN J. BROWN, INC. and the fact that the building of the house was already in progress when the error was discovered, the Town of Sewall's Point hereby approves the amended setback of 14.25' and 14.39', on advice of Gary Sweet, Town Attorney.

Dolores delC. Clarke  
Building Commissioner

Dale Brown  
Building Inspector

State of Florida, County of Martin. Before me personally appeared Dolores delC. Clarke, Building Commissioner, and Dale Brown, Building Inspector, to me well known and known to me to be the persons described in & who executed the foregoing instrument.

Witness my hand and official seal, this 26th day of July, A.D. 1988.

Notary Public, State of Florida  
My Commission Expires Feb. 9, 1992  
Bonded Thru Troy Fuin - Insurance Inc.

Emma-jane Russo  
Notary

**2548**

**FENCE**

Permit No. \_\_\_\_\_

Date 2548

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Tim McGlynn Present Address 141 Palm RD

Phone 287-1121 - 286-2413

Contractor OWNER - Builder Address \_\_\_\_\_

Phone \_\_\_\_\_

Where licensed \_\_\_\_\_ License number \_\_\_\_\_

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Fence

141 Palm RD.  
State the street address at which the proposed structure will be built:

Subdivision \_\_\_\_\_ Lot number \_\_\_\_\_ Block number \_\_\_\_\_

Contract price \$ 2,000 Cost of permit \$ \_\_\_\_\_

Plans approved as submitted on plan Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor \_\_\_\_\_

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner \_\_\_\_\_

TOWN RECORD

Date submitted \_\_\_\_\_ Approved: Dale Be... 5/10/89  
Building Inspector \_\_\_\_\_ Date \_\_\_\_\_

Approved: \_\_\_\_\_ Commissioner \_\_\_\_\_ Date \_\_\_\_\_ Final Approval given: \_\_\_\_\_ Date \_\_\_\_\_

Certificate of Occupancy issued (if applicable) \_\_\_\_\_ Date \_\_\_\_\_

SP1282

Permit No. \_\_\_\_\_

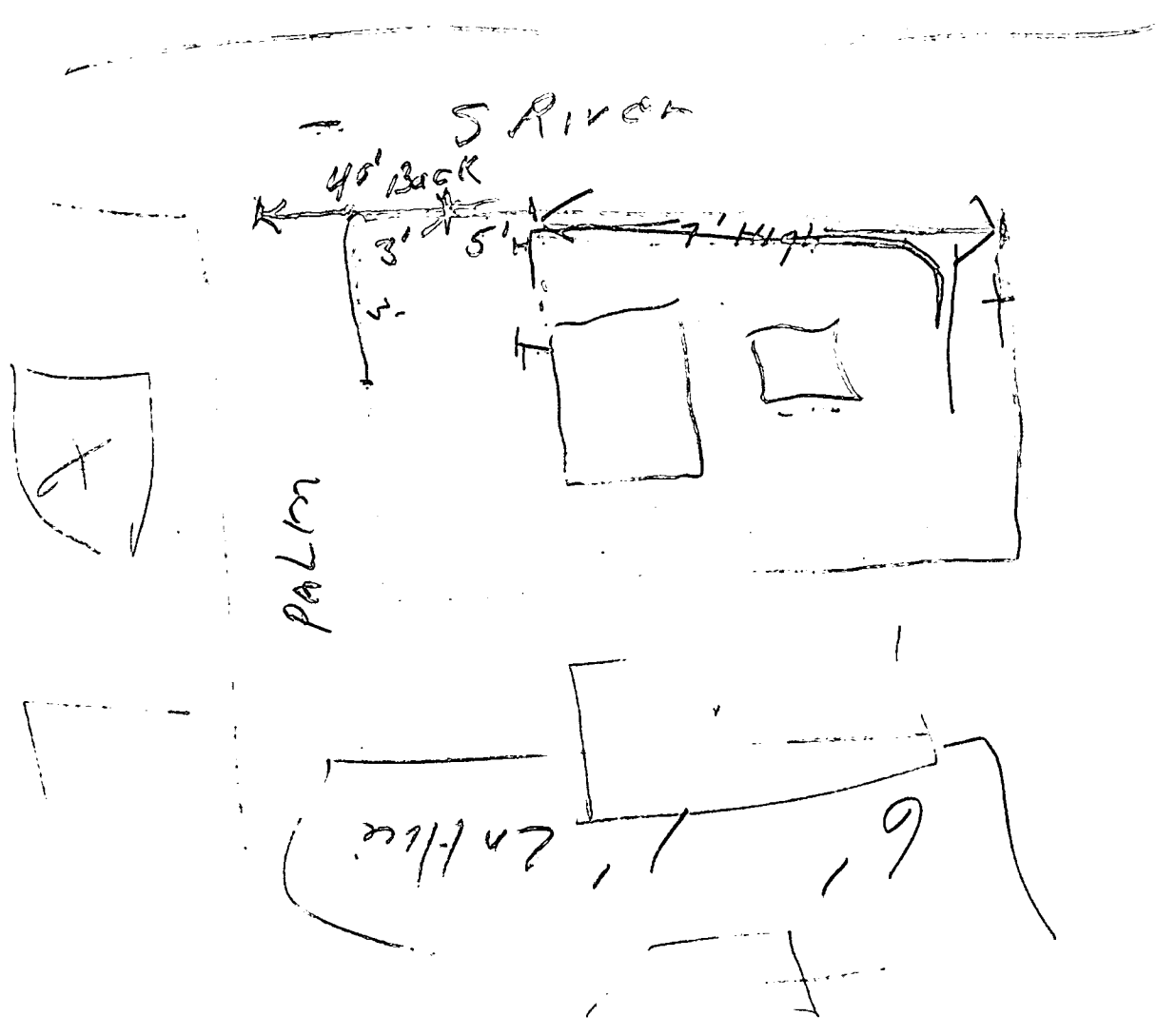
Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

Handwritten scribbles at the top of the page.

30'

15' 6"

from edge of Rd.



Palms

6' 1' 2 in thick



**2807**

**CONCRETE**

**DRIVEWAY**

Permit No. 2807

Date

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Tim McElroy Present Address 14 Palm Rd

Phone \_\_\_\_\_ Stunt, Fla.

Contractor ESTER Concrete Inc. Address 7054 SW Wisteria Terr.

Phone 287-9044 Palm City Fla 34990

Where licensed Harris Co. License number SP 00161

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Replace rock drive with concrete

State the street address at which the proposed structure will be built:

14 Palm Road, Stunt, Fla

Subdivision \_\_\_\_\_ Lot number \_\_\_\_\_ Block number \_\_\_\_\_

Contract price \$ 2000.00 Cost of permit \$ 15xx

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

Date submitted \_\_\_\_\_ Approved: \_\_\_\_\_ Building Inspector \_\_\_\_\_ Date \_\_\_\_\_

Approved: \_\_\_\_\_ Commissioner \_\_\_\_\_ Date \_\_\_\_\_ Final Approval given: \_\_\_\_\_ Date \_\_\_\_\_

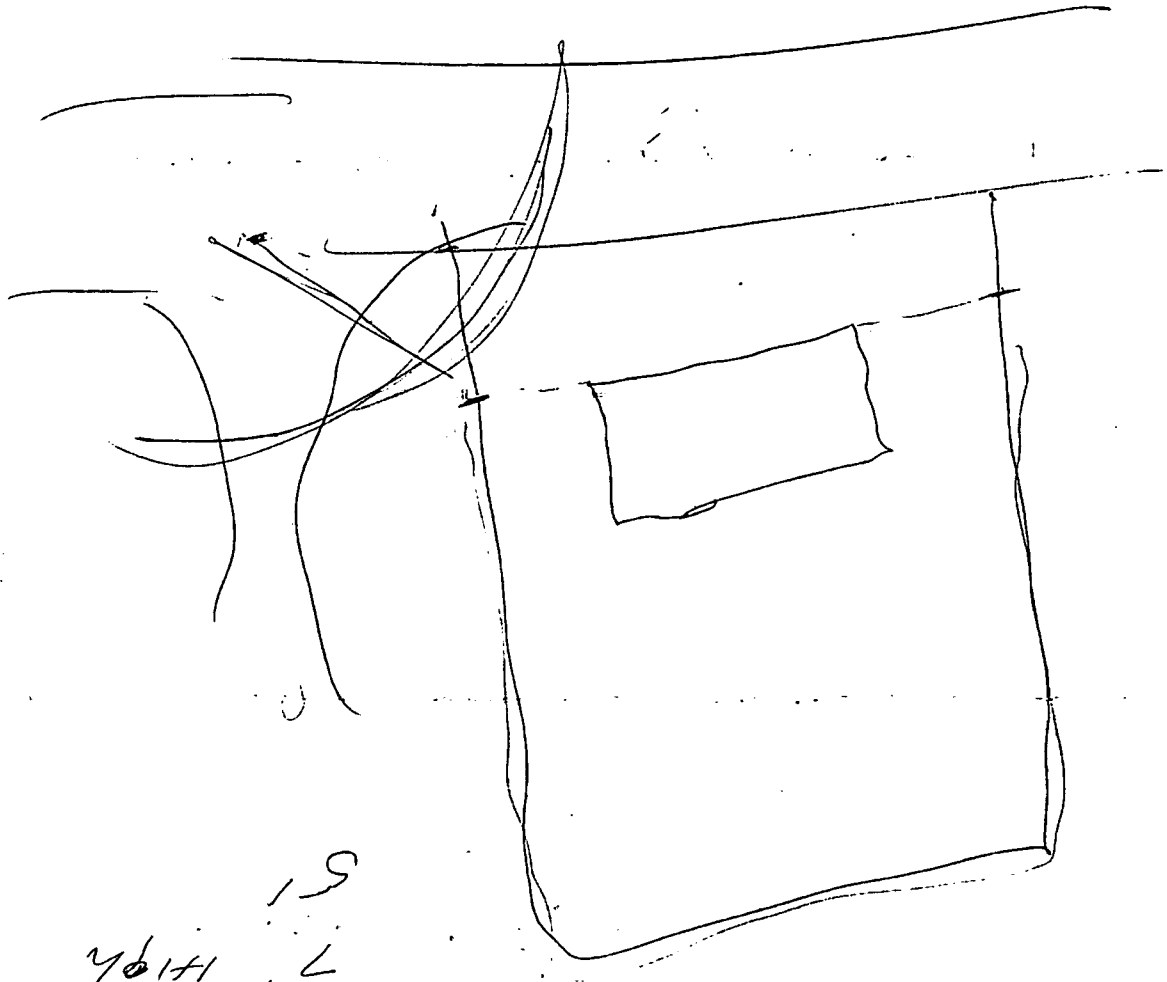
Certificate of Occupancy issued (if applicable) \_\_\_\_\_ Date \_\_\_\_\_

SP1282

Permit No. 2807

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code,

5805



7' High  
51

5805

**2863**

**FENCE**

Permit No. \_\_\_\_\_

Date 10/1/90

APPLICATION FOR PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Tim McGlynn Present Address 14 PALM RD

Phone 220-8109 Sewall's Pt. FL.

Contractor All American Fence Address 1622 SE FALLON Dr.

Phone 878-1650 Pt. St. Lucie, FL.

Where licensed MARTIN License number SP 00872

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: 5' High WOOD FENCE

State the street address at which the proposed structure will be built:

14 PALM RD Sewall's Pt.

Subdivision Palm Rd. Lot number \_\_\_\_\_ Block number \_\_\_\_\_

Contract price \$ 995.00 Cost of permit \$ \_\_\_\_\_

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Michael J. Dempsey

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Tim McGlynn

TOWN RECORD

Date submitted \_\_\_\_\_ Approved: \_\_\_\_\_ Building Inspector \_\_\_\_\_ Date \_\_\_\_\_

Approved: \_\_\_\_\_ Commissioner \_\_\_\_\_ Date \_\_\_\_\_ Final Approval given: \_\_\_\_\_ Date \_\_\_\_\_

Certificate of Occupancy issued (if applicable) \_\_\_\_\_ Date \_\_\_\_\_

SP1282 Permit No. \_\_\_\_\_

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.



# All American Fence Contractors Inc.

554 N.W. Marion Ave • Port St. Lucie, FL 34983  
(407) 335-0928 / 878-1650

LICENSES  
St. Lucie County #2151  
Indian River County #1060  
Martin County #00872  
State of Florida #RX0054663

Date 10-2-90

Name <u>Tim McGlynn</u>		Job Name	
Address <u>14 Palm Rd.</u>		Job Address	
City <u>Sewall's Pt.</u>			
Phones		Job Phone	Installation Date Week of:

### LEGAL DESCRIPTION

Lot	Block	Section	Plat	Subdivision
-----	-------	---------	------	-------------

### SPECIFICATIONS

Top Rail Straight  Follow Contour  Split  Knuckle Up  Barb Up  Lines Clear of Obstruction

### CHAIN LINK

Total Footage \_\_\_\_\_

Height \_\_\_\_\_

Gauge Wire \_\_\_\_\_

Dia. Top Rail \_\_\_\_\_

Dia. Line Post \_\_\_\_\_

Dia. Terminal Post \_\_\_\_\_

Dia. Gate Post \_\_\_\_\_

Gates \_\_\_\_\_

Sizes \_\_\_\_\_

Tension Wire \_\_\_\_\_

Specialty Items \_\_\_\_\_

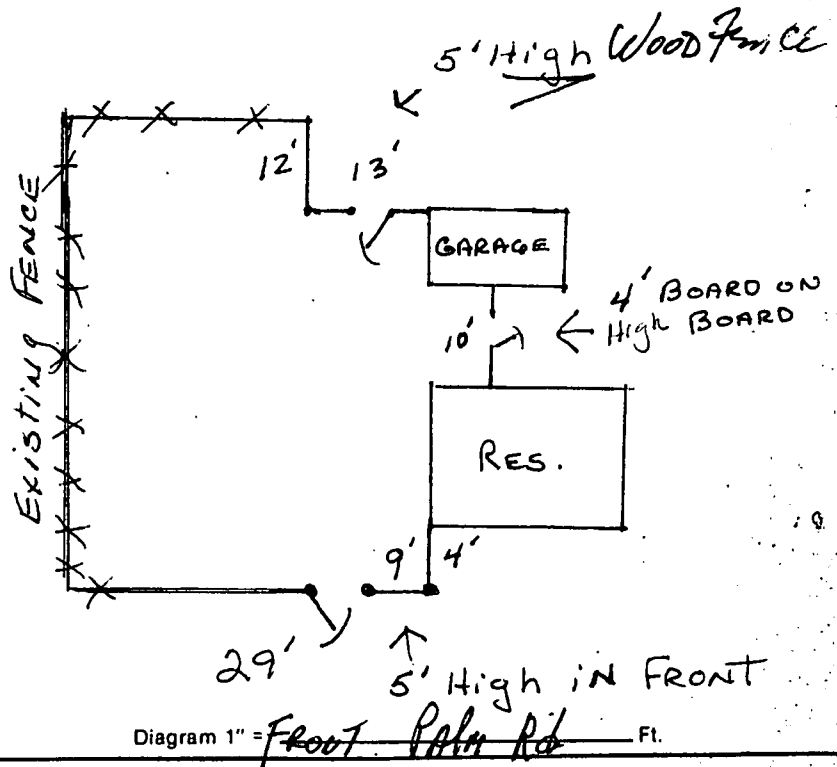
### WOOD

Style 5' High Wood Fence

Height \_\_\_\_\_

Stain \_\_\_\_\_

# Sections \_\_\_\_\_  In  Out



Total Price \_\_\_\_\_

Deposit \_\_\_\_\_

Balance Due on Completion \_\_\_\_\_

Authorized Signature \_\_\_\_\_

ACCEPTED: The above prices, specifications and conditions are satisfactory and are hereby accepted, you are authorized to do the work as specified. Payment will be made as outlined above.

Date \_\_\_\_\_

All material is guaranteed to be as specified. All work is to be completed in a workmanlike manner according to standard practice. Any alteration or deviation from specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry Fire, Tornado and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance.

THE FENCE REMAINS THE PROPERTY OF ALL AMERICAN FENCE CONTRACTORS INC. UNTIL CHARGES ARE COMPLETELY PAID.

ALL AMERICAN FENCE CONTRACTORS INC. IS NOT RESPONSIBLE FOR PROPERTY LINES OR UNDERGROUND UTILITIES, INCLUDING SPRINKLER SYSTEMS.



# All American Fence Contractors Inc.

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(407) 335-0928 / 878-1650

LICENSES  
St. Lucie County #2151  
Indian River County #1060  
Martin County #00872  
State of Florida #RX0054663

Date 10-2-90

Name <u>Tim McGlynn</u>		Job Name	
Address		Job Address	
City			
Phones		Job Phone	Installation Date Week of

### LEGAL DESCRIPTION

Lot	Block	Section	Plat	Subdivision
-----	-------	---------	------	-------------

### SPECIFICATIONS

Top Rail Straight  Follow Contour  Split  Knuckle Up  Barb Up  Lines Clear of Obstruction

**CHAIN LINK**

Total Footage \_\_\_\_\_

Height \_\_\_\_\_

Gauge Wire \_\_\_\_\_

Dia. Top Rail \_\_\_\_\_

Dia. Line Post \_\_\_\_\_

Dia. Terminal Post \_\_\_\_\_

Dia. Gate Post \_\_\_\_\_

Gates \_\_\_\_\_

Sizes \_\_\_\_\_

Tension Wire \_\_\_\_\_

Specialty Items \_\_\_\_\_

**WOOD**

Style 5' High Wood Fence

Height \_\_\_\_\_

Stain \_\_\_\_\_

# Sections \_\_\_\_\_  In  Out

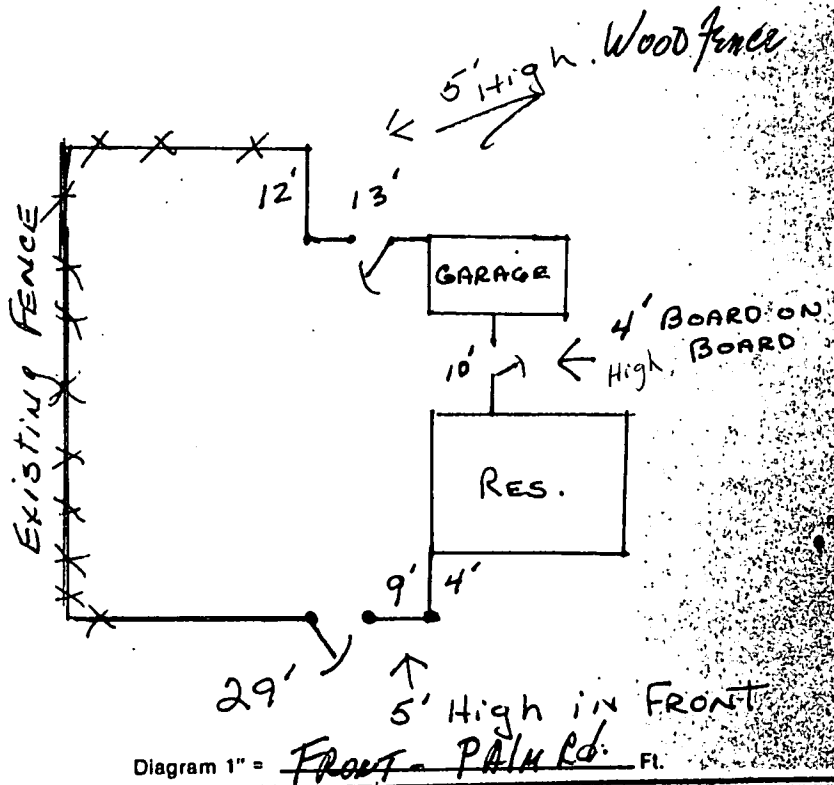


Diagram 1" = FRONT - PALM Rd. Ft.

Total Price \_\_\_\_\_

Deposit \_\_\_\_\_

Balance Due on Completion \_\_\_\_\_

Authorized Signature \_\_\_\_\_

ACCEPTED: The above prices, specifications and conditions are satisfactory and are hereby accepted, you are authorized to do the work as specified. Payment will be made as outlined above.

Date \_\_\_\_\_

All material is guaranteed to be as specified. All work is to be completed in a workmanlike manner according to standard practice. Any alteration or deviation from specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry Fire, Tornado and other necessary insurance. Our workers are fully covered by Workmen's Compensation insurance.

THE FENCE REMAINS THE PROPERTY OF ALL AMERICAN FENCE CONTRACTORS INC. UNTIL CHARGES ARE COMPLETELY PAID.

ALL AMERICAN FENCE CONTRACTORS INC. IS NOT RESPONSIBLE FOR PROPERTY LINES OR UNDERGROUND UTILITIES, INCLUDING SPRINKLER

**3746**

**POOL, SPA, DECK**



Permit No. \_\_\_\_\_

Date 2/17/95

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Tim McGlynn Present Address 14 Palm Rd  
 Phone 286-2413 / 220-8109 Stuart Fla 34991  
 Contractor Olympic Pools of Stuart Address 1565 SW Martin Hwy  
 Phone 286-6070 Palm City, Fla 34990  
 Where licensed Florida License number CPC039881  
 Electrical contractor DJ Herman Elect License number \_\_\_\_\_  
 Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Swimming Pool w/ Spa + Deck

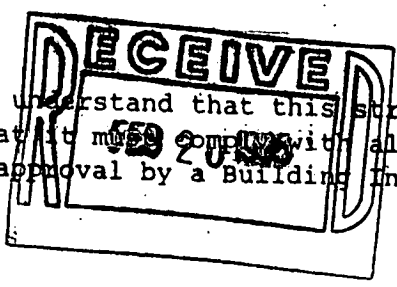
State the street address at which the proposed structure will be built: 14 Palm Rd

Subdivision Sewall's Pt / Palm Bay Lot number 7 Block number \_\_\_\_\_

Contract price \$ 16,000 Cost of permit \$ 200.00

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.



Contractor RSJ

Owner Tim McGlynn

TOWN RECORD Approved: Dale Brown 2/20/95  
Building Inspector Date

Date submitted \_\_\_\_\_ Approved: [Signature]  
Commissioner Date Final Approval given: \_\_\_\_\_ Date

Certificate of Occupancy issued (if applicable) \_\_\_\_\_ Date

SP1282

Permit No. \_\_\_\_\_

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

RECEIVED FEB 16 1995

01102928

95 FEB -9 PM 1:21

NO CONSTRUCTION MAY BEGIN UNTIL  
NOTICE OF COMMENCEMENT  
POSTED ON JOB SITE

Handwritten initials and "File" written vertically.

Permit No. \_\_\_\_\_ Tax ID No. \_\_\_\_\_

# NOTICE OF COMMENCEMENT

State Of Florida  
County Of Martin

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Legal Description of property and street address, if available

Lot 2, Semilla Pt  
14 Palm Rd, Stuart, Fla.

General description improvements Swimming Pool w/ Spa

Owner Tim McGlynn  
Address 14 Palm Rd, Stuart, Fla 34996  
Owner's interest in site of improvement \_\_\_\_\_

Fee Simple Title holder (if other than owner) \_\_\_\_\_

Address \_\_\_\_\_

Contractor Olympic Pools of Stuart Corp  
Address 1565 S.W. Martin Hwy, Palm Bay, Fla 34990

Surety \_\_\_\_\_  
Address \_\_\_\_\_  
Amount of Bond \$ \_\_\_\_\_

Lender \_\_\_\_\_  
Address \_\_\_\_\_

Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7., Florida Statutes:

Name \_\_\_\_\_  
Address \_\_\_\_\_

In addition to himself, owner designates \_\_\_\_\_ of \_\_\_\_\_ to receive a copy of the Lienor's Notice as provided in Section 713.12 (1) (b), Florida Statutes.

Expiration date of notice of commencement (the expiration date is one year from the date of recording unless a different date is specified). \_\_\_\_\_

THIS SPACE FOR RECORDING ONLY

X Tim McGlynn  
OWNERS NAME  
STATE OF FLORIDA  
COUNTY OF Martin  
The foregoing instrument was acknowledged before me this 8 day of Feb, 1995, by Tim McGlynn, who is personally known to me or who has produced \_\_\_\_\_ as identification.

(seal) John K. Davis, Jr  
SIGNATURE OF NOTARY  
TYPE OR PRINT NAME OF NOTARY  
NOTARY PUBLIC TITLE

COMMISSION NUMBER \_\_\_\_\_  
NOTARY PUBLIC STATE OF FLORIDA AT LARGE  
MY COMMISSION EXPIRES ON \_\_\_\_\_ 1995  
BONDED THRU AGENT'S NOTARY BROKERAGE

ORBKI 108 PGI 949

LAST PAGE

Knowl As: # 1A Palm Road

Flood Zone: "C"

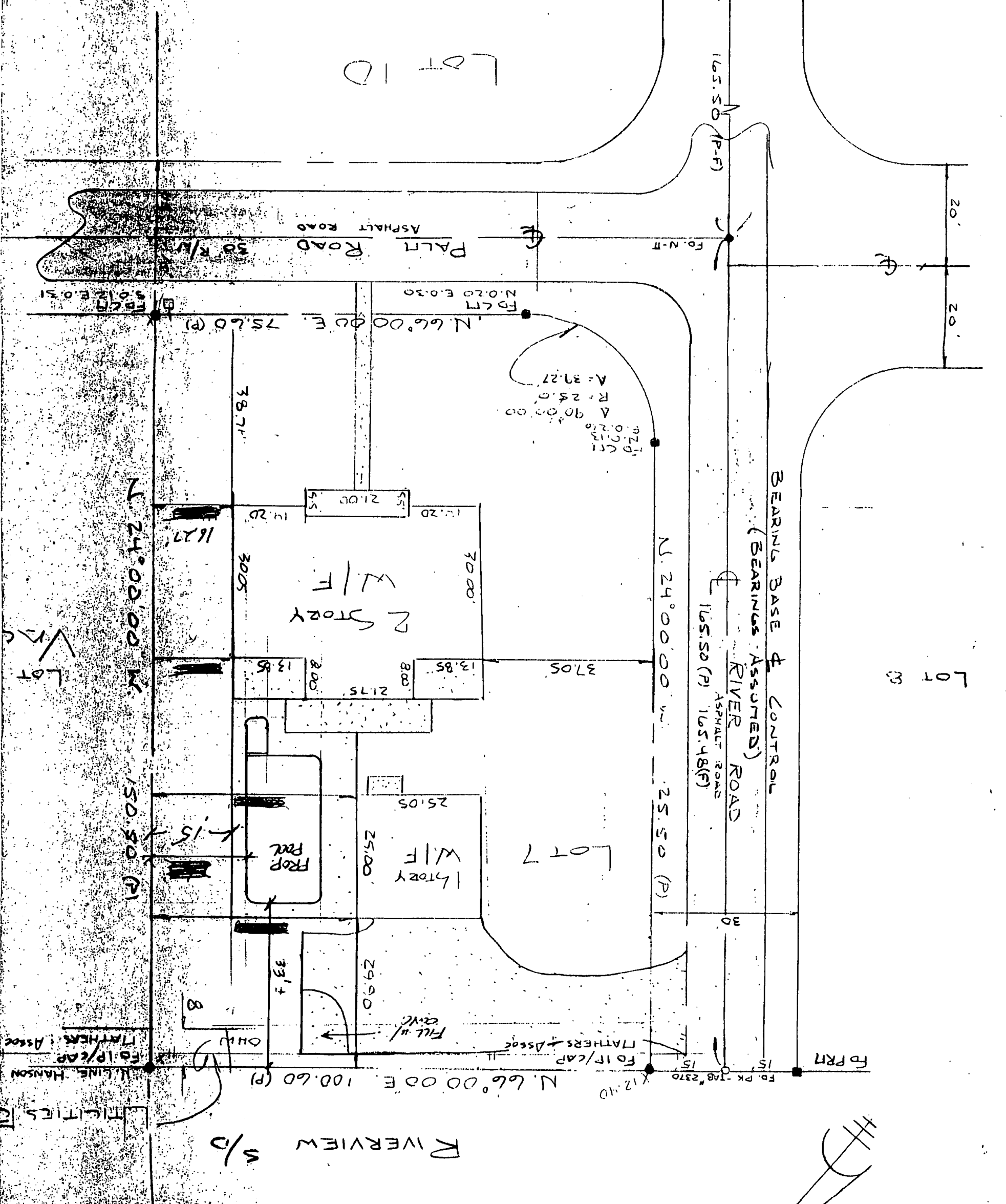
TITLE OF MARTIN COUNTY

CO. OF THE TREASURE COAST, STEWART  
MCGLYNN, FIRST NATIONAL BANK & TRUST

CERTIFIED TO: TIMOTHY & CAROLYN

NOTES:  
1. Survey of description as furnished by Client  
2. Lands shown hereon were not abstracted for  
and/or rights-of-way of record.  
(P) Denotes distance or bearing by description  
(F) Denotes measured distance or bearing

- SPT 1/8" SET 5/8" IRON BAR & CAP 14019
- FIND - FOUND OBJECT
- I.P. - IRON PIPE
- C.M. - CONCRETE MONUMENT
- I.D. - IRON BAR
- P.K. - P.K. NAIL
- R.R.S. - RAILROAD SPIKE
- N. & W. - NAIL & WASTER
- N. & T.F. - NAIL & TIN NAIL
- P.P. - POWER POLE
- C.B. - CATCH BASIN



RIVERVIEW S/D

L. LINE HANSON  
F.O.I.P./CAP  
LATHERS & Assoc

Lot 7  
Lot 8

2 STORY W/F  
1 STORY W/F  
PROP.

PALM ROAD  
ASPHALT ROAD

BEARINGS BASE & CONTROL  
(BEARINGS ASSUMED)  
RIVER ROAD  
ASPHALT ROAD

**3803**

**SCREEN ENCLOSURE**

# #3803

TAX FOLIO NO. \_\_\_\_\_ DATE \_\_\_\_\_

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner TIM MCGLYNN Present address 14 Palm Rd.Phone 220-8109Contractor PIONEER SCREEN Address 3121 SE WAATEN ST.Phone 283-9197Where licensed Marion County License number SCC046064

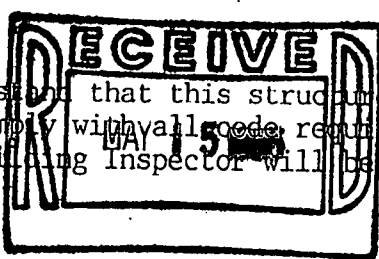
Electrical Contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing Contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: INSTALL SCREEN ENCLOSURE ON EXISTING Slab.State the street address at which the proposed structure will be built: 14 Palm Rd.Subdivision Palm Row Lot Number 7 Block Number PG-68 <sup>PP-4</sup>Contract price \$ 2400.00 Cost of permit \$ 100.00

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "R&amp;d-Tagging" the construction project.

Contractor Craig Rice

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Carolyn McGlynn

TOWN RECORD

Approved: Dale Brown Building Inspector DateDate submitted \_\_\_\_\_  
Approved: [Signature] Commissioner Date

Final approval given: \_\_\_\_\_ Date

CERTIFICATE OF OCCUPANCY issued (if applicable) \_\_\_\_\_ Date

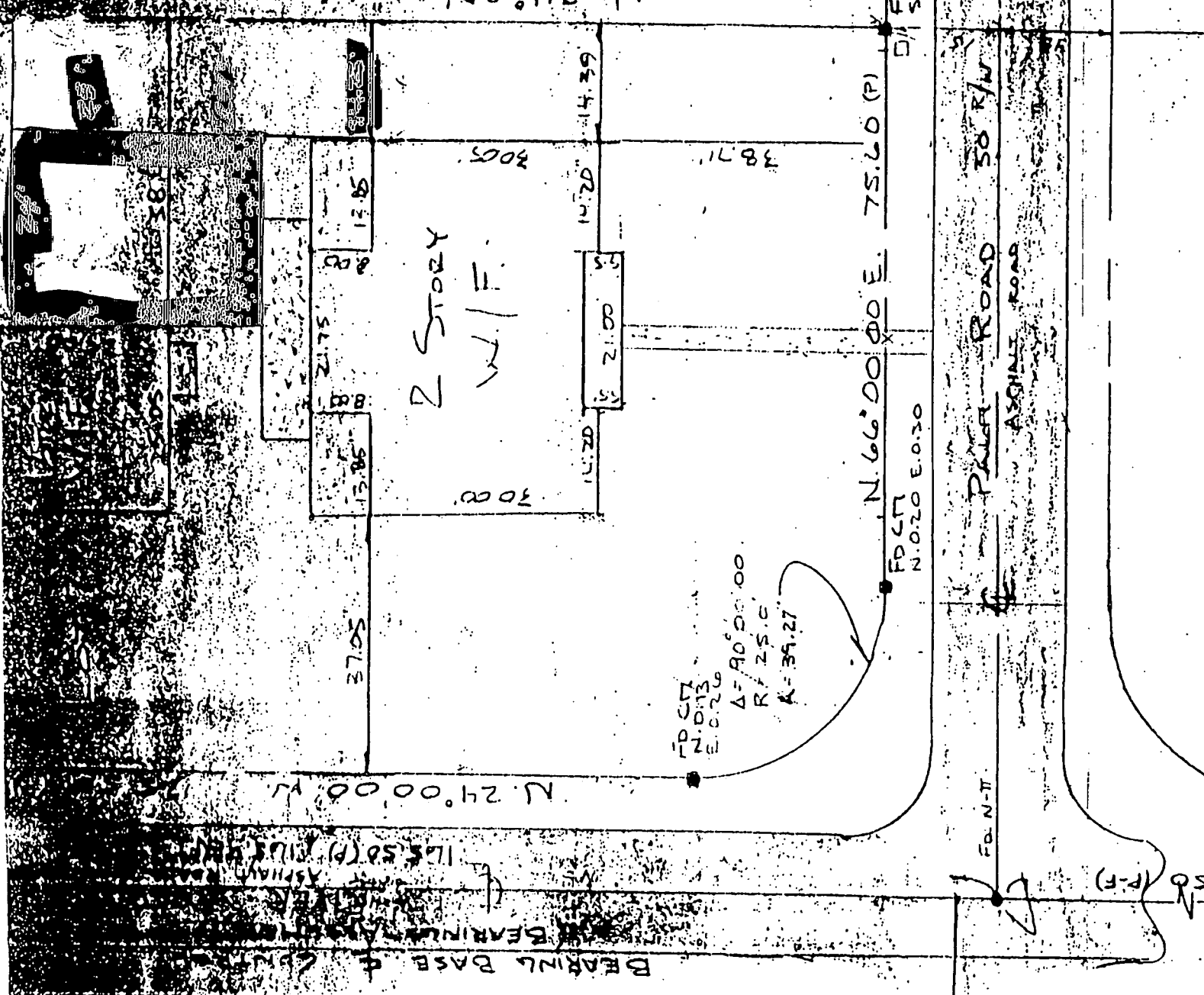
PERMIT NO. #3803

**LEGAL DESCRIPTION**

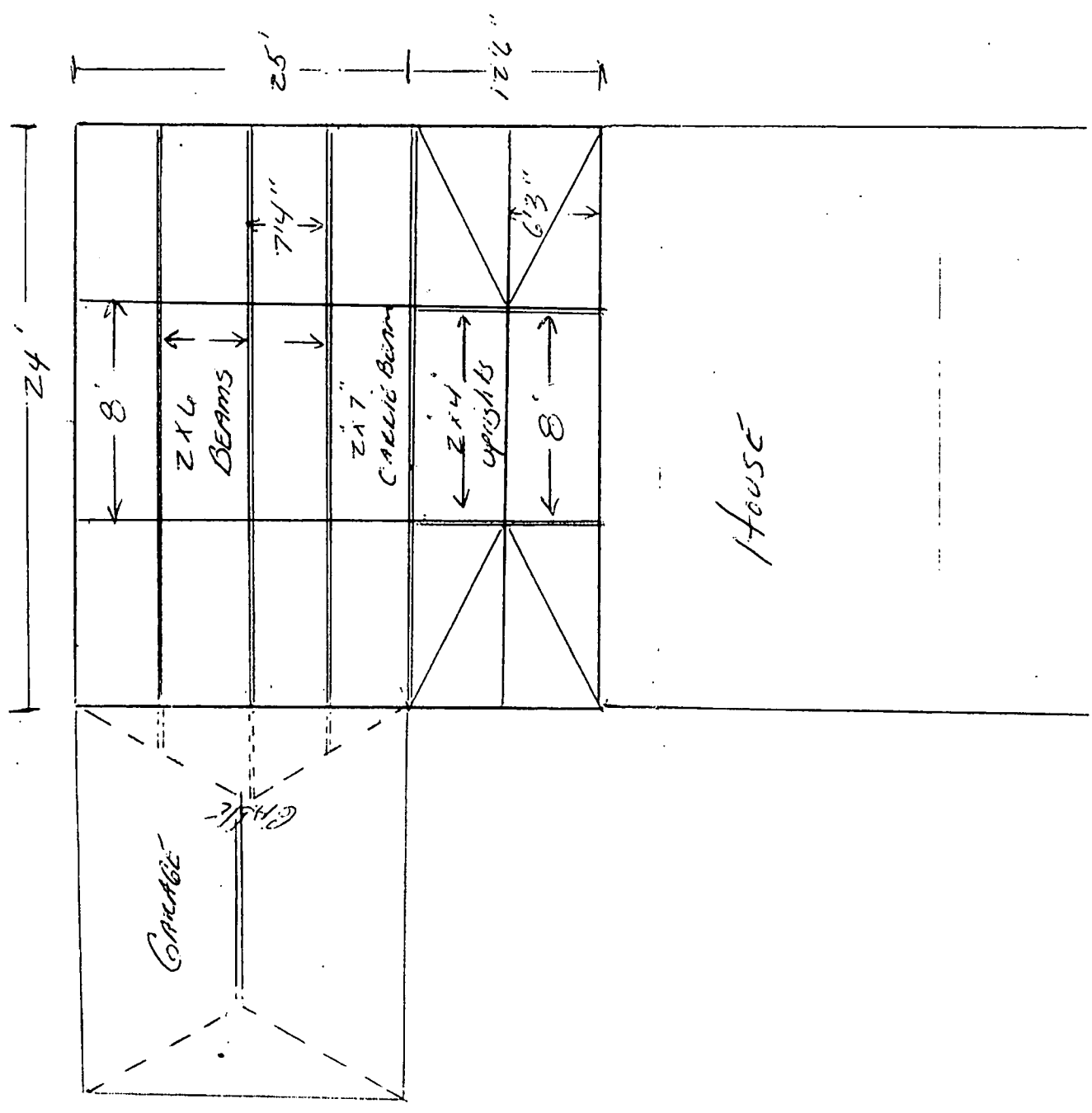
BEING KNOWN AS LOT 7 REVISE  
 PLAT OF "PALM ROW" AS RECORDED  
 BOOK 4, PAGE 68, PUBLIC RECORDS  
 COUNTY, FLORIDA

LOT 6  
 VACANT

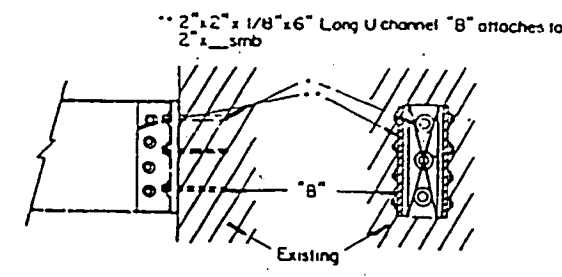
N. 24° 00' 00" W



Roof Style - Gable A-Frame  
 2x6 BEAMS / 2x4 UPRIGHTS  
 18/14 Chaucer / Scedon  
 width of ROOF to match walls.

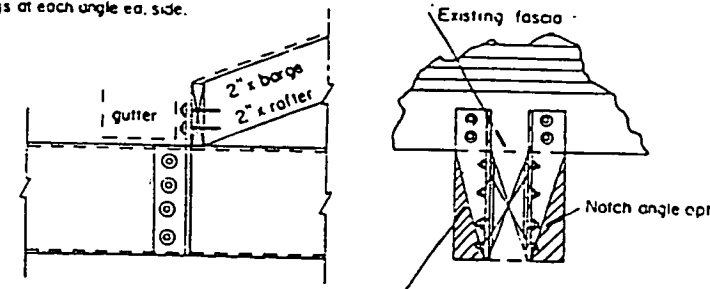


2"x2"x1/8"x6" Long U channel "B"  
Attaches to existing building with 4-3/8"  
lugs of wood with 3-1/4" anchors  
of concrete.

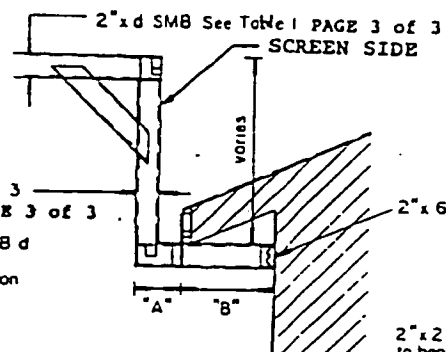


DOWN BEAM CONNECTION TO WALL

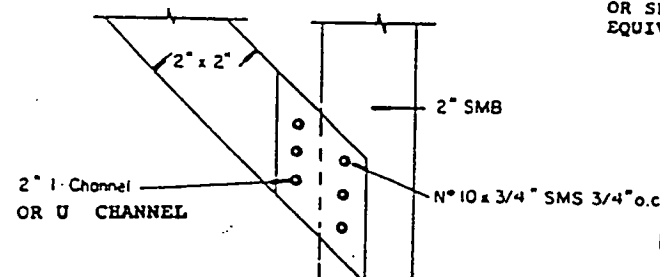
2"x2"x1/8"x8" long angles "A"  
Attach to fascia with 2-3/8"  
lags at each angle ea. side.



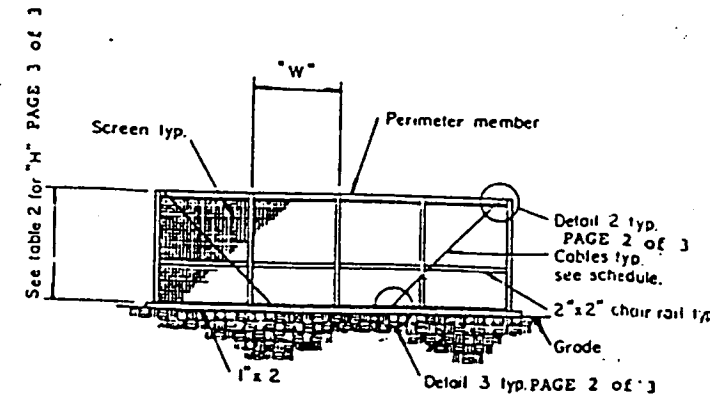
DOWN BEAM CONNECTION ENLARGED



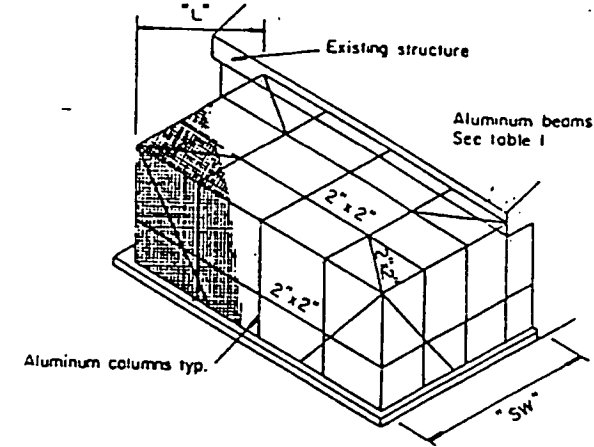
2"x d SMB See Table 3  
PAGE 3 of 3  
"A" = Super Gutter + SMB d  
"B" = Overhang dimension



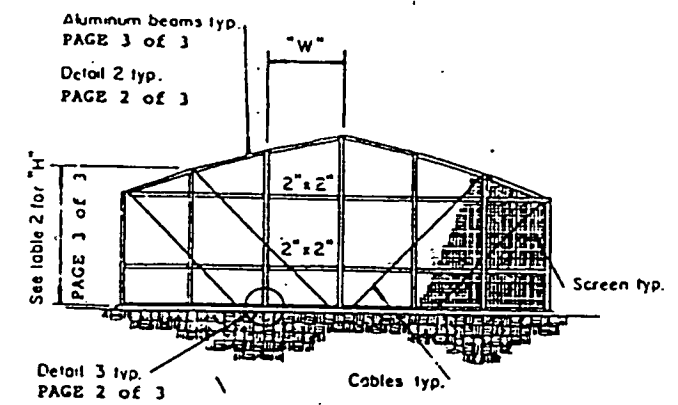
2"x2" AND 2"x3" KNEE BRACE CONNECTION DETAIL



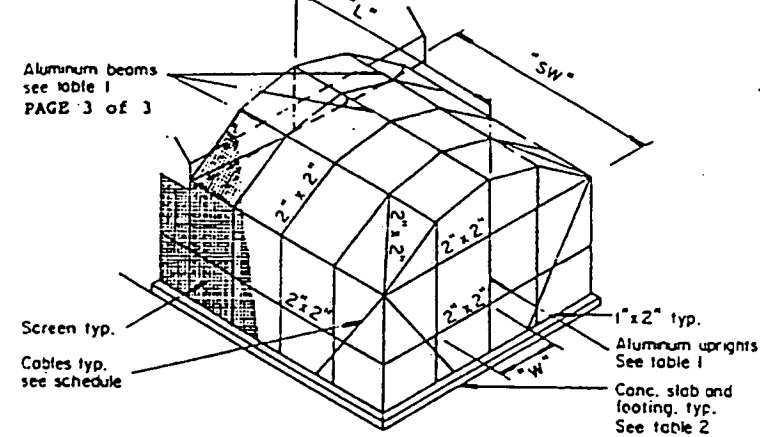
TYPICAL FLAT ROOF ELEVATION N.T.S.



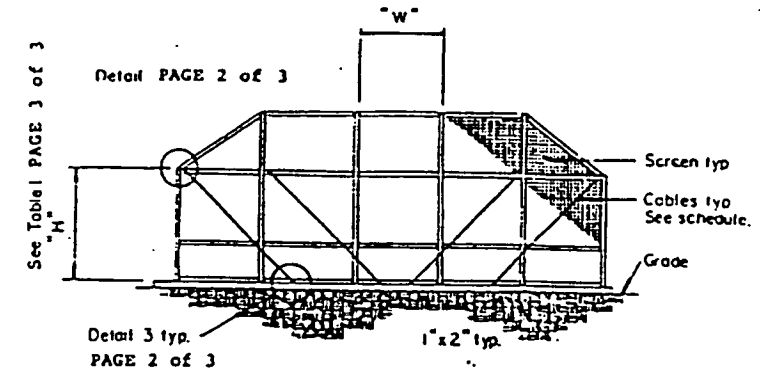
TYPICAL FLAT ROOF ISOMETRIC N.T.S.



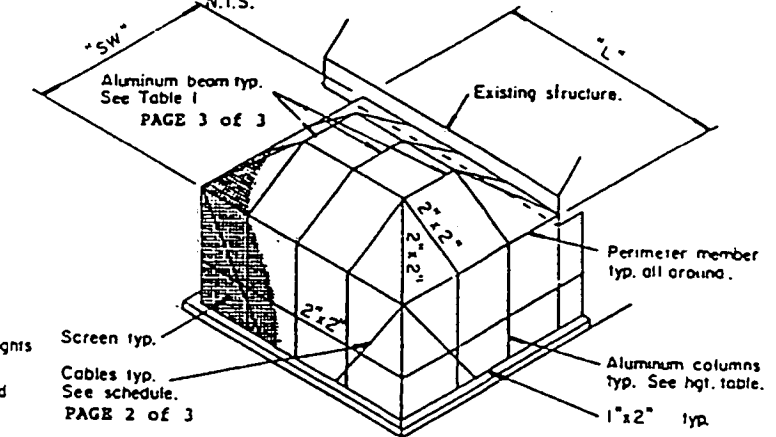
TYPICAL DOME ROOF ELEVATION N.T.S.



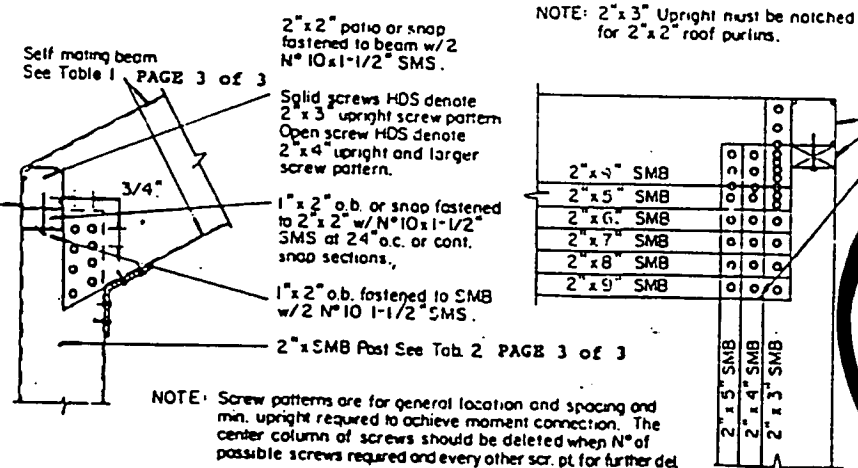
TYPICAL DOME ROOF ISOMETRIC N.T.S.



TYPICAL MANSARD ROOF ELEVATION N.T.S.

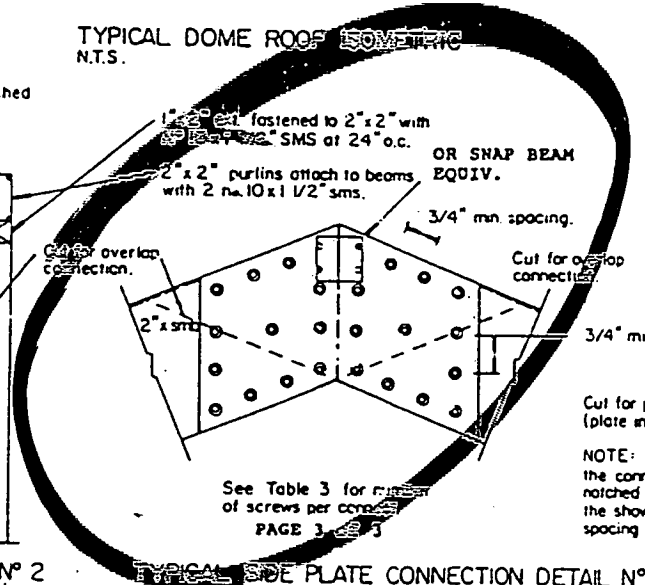


TYPICAL MANSARD ROOF ISOMETRIC N.T.S.



NOTE: 2"x3" Upright must be notched for 2"x2" roof purlins.

2"x4" SMB	0	0	0	0	0
2"x5" SMB	0	0	0	0	0
2"x6" SMB	0	0	0	0	0
2"x7" SMB	0	0	0	0	0
2"x8" SMB	0	0	0	0	0
2"x9" SMB	0	0	0	0	0



TYPICAL SIDE PLATE CONNECTION DETAIL NO 3

NOTES:  
"W" = Screen panel spacing  
"L" = Maximum beam span without knee brace add length of knee brace to span from span tables.  
"H" = Maximum upright heights.  
"SW" = Side walls can be framed without top beam and can be smallest extrusions allowed in span tables (min 2"x2"x0.04")  
TABLE 1 PG 3 of 3

NOTES FOR RIGID CONNECTION OF DETAIL NO 1, 2, 3

- 2"x3" Upright must be notched to reach top of beam to achieve rigid connection.
- N# of screws must be as shown spacing 3/4"x3/4" min. spacing and pattern may vary.
- See Table 3 for N# of screws and minimum size of upright/beam connection
- Hex head self tapping screws are an acceptable substitute for SMS
- IF BEAM IS NOTCHED TO RECEIVE UPRIGHT ADDITIONAL SCREWS ARE NOT REQUIRED FOR 2"x3" UPRIGHT.

TABLE 1: MINIMUM SIZES FOR POOL ENCLOSURE KNEE BRACES AND ANCHORING REQ'D ALUMINUM 6063 T-6 ALLOY

BRACE L	EXTRUSION	ANCHOR SYSTEM
3'-4"	2"x 3"x 0.030"	2" H-CHANNEL W/ 3-# 10/ 1-1/2" EACH SIDE
3'-6"	2"x 3"x 0.030"	2" H-CHANNEL W/ 3-# 10/ 1-1/2" EACH SIDE
TO 4'-6"	2"x 4"x 0.030"	NOTCH JMB OVER BEAM & UPRIGHT SEE TABLE 3 FOR # & SIZE OF SCREWS
TO 5'-6"	2"x 6"x 0.030"	SAME AS ABOVE NOTE

JOB NAME \_\_\_\_\_  
ADDRESS \_\_\_\_\_

ALL INFORMATION AND DETAILS CONTAINED ON THIS DRAWING IS THE PROPERTY OF LAWRENCE E. BENNETT AND MAY NOT BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT HIS WRITTEN PERMISSION. INFORMATION IS NOT VALID WITHOUT Mr. BENNETT'S SIGNATURE AND EMBOSSED SEAL-ON-A-MASTER FILE COPY BELONGING TO THE PERSON USING A COPY OF THIS.

**LAWRENCE E BENNETT**  
CIVIL ENGINEER & DEVELOPMENT CONSULTANT  
P.O. Box 4368 South Daytona, FL 32121-4368  
Phone no.: (904) 253-9960

MEETS THE REQUIREMENTS OF CHAPTER 1205 SBC 1991 ED 8 CHAPTER 1606 1994 Ed

J. Lawrence Bennett

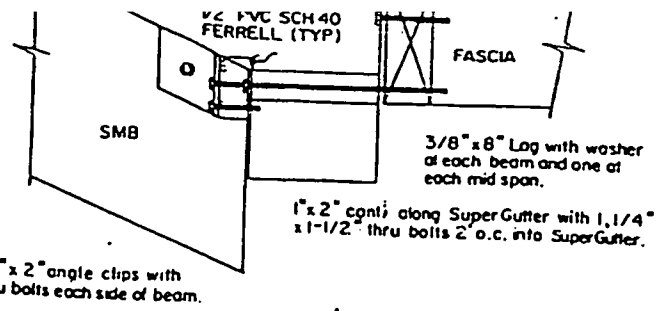
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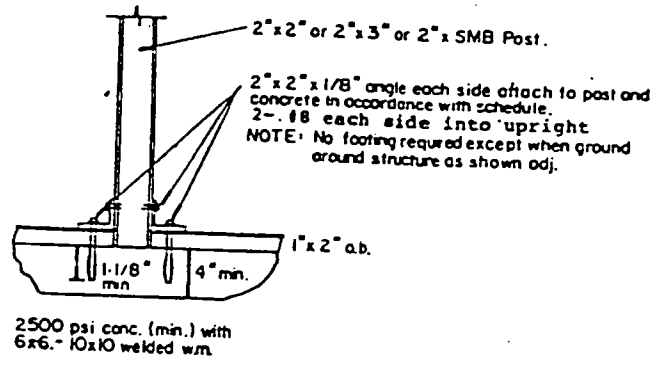
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SHEET 1 OF 3  
SCREENED ENCLOSURES

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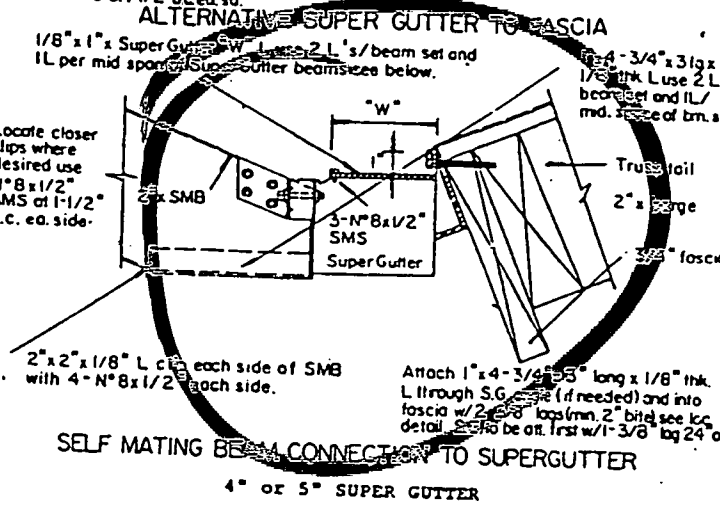
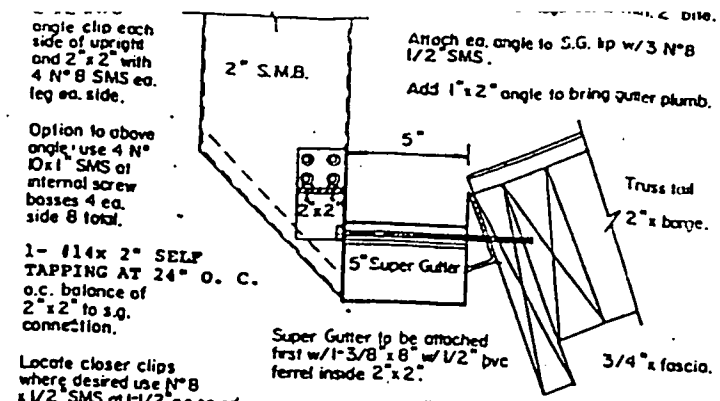




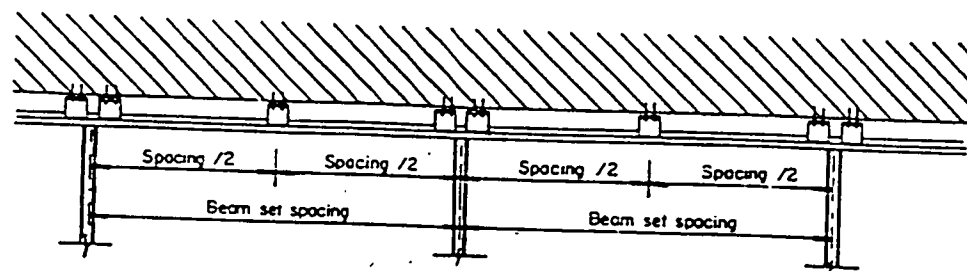
SMB CONNECTION TO SUPERGUTTER



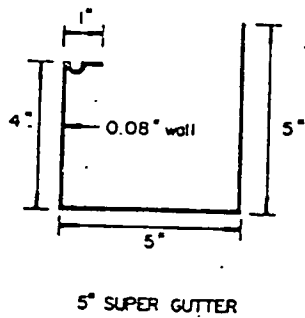
POST TO CONCRETE DETAIL



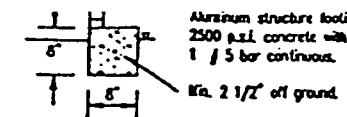
SELF MATING BEAM CONNECTION TO SUPERGUTTER  
4" or 5" SUPER GUTTER



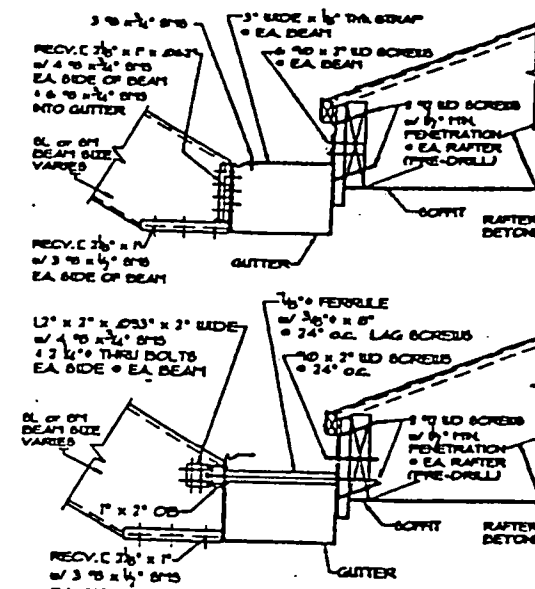
ANGLE LOCATION FOR 5" SUPER GUTTER REINFORCEMENT



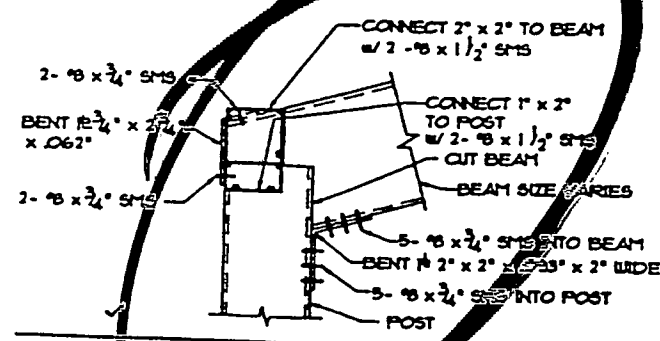
5" SUPER GUTTER



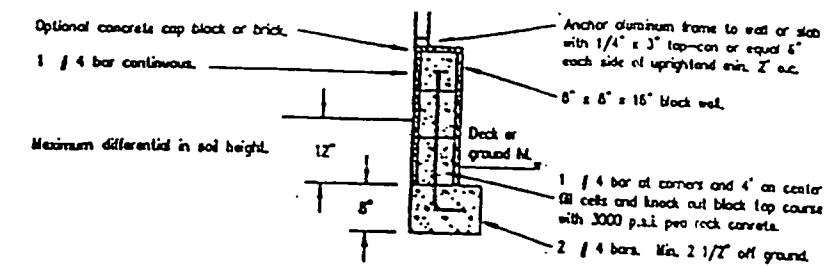
RIBBON FOOTING FOR SCREENED ENCLOSURES



TYPICAL SL OR SM BEAM & GUTTER CONNECTION

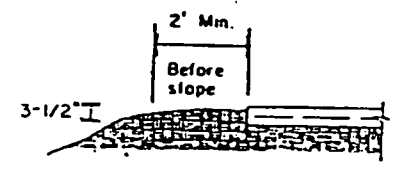


TYPICAL BEAM & POST CONNECTIONS

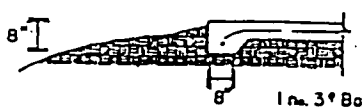


KNEE WALL FOOTING FOR SCREENED ENCLOSURES

SLAB DETAILS ADDRESSING EROSION

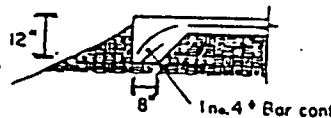


FLAT SLOPE/NO FOOTING  
0 - 2 7/12"



MODERATE SLOPE FOOTING  
2 7/12" - 1'-10"

NOTE: Fiber mesh conc. does not require wire mesh.



STEEP SLOPE FOOTING  
12" - 10"

NOTE: All spans and capacities are based on worst case of uplift loads due to wind velocities.

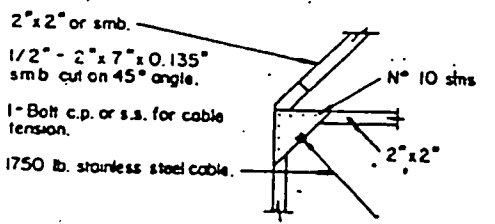
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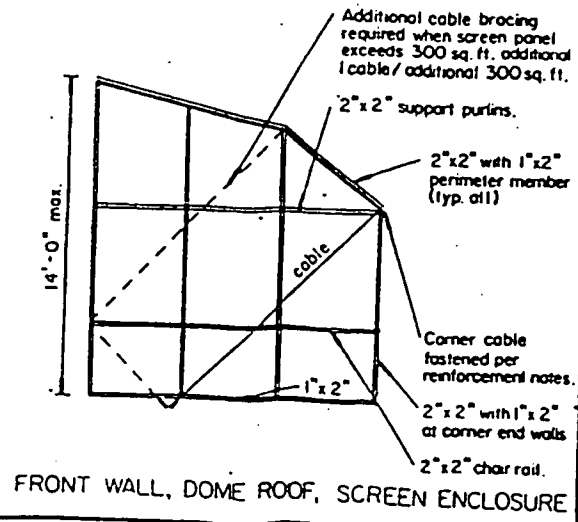
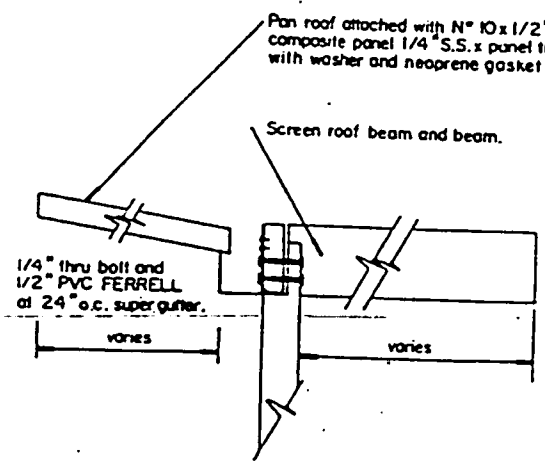
MEETS THE REQUIREMENTS OF CHAPTER 1205 SBC 1991 ED  
CHAPTER 1606 SBC 1994 ED  
*Lawrence E. Bennett*  
MAR 27 1995  
SEAL

SP  
DRAWN LWB  
SHEET 2 OF 3

3 TYPICAL CABLE CONNECTION AT SLAB



2 TYPICAL CABLE CONNECTION AT CORNER



FRONT WALL, DOME ROOF, SCREEN ENCLOSURE

**TABLE 1: MAXIMUM SPANS FOR POOL ROOF MEMBERS ALUMINUM 6063 T-6 ALLOY**  
USING SCREEN PANEL WIDTH "W" FROM DRAWING SELECT SPAN "L" ON DRAWING

WIDTH "W" = EXTRUSIONS	MAXIMUM SPAN "L"						
	3'	4'	5'	6'	7'	8'	9'
1"x2"x0.044"	9'-4"	8'-1"	7'-3"	6'-7"	6'-1"	5'-9"	5'-5"
2"x2"x0.044"	12'-6"	10'-10"	9'-8"	8'-11"	8'-2"	7'-8"	7'-1"
2"x2"x0.05"	13'-6"	11'-9"	10'-7"	9'-8"	9'-0"	8'-5"	7'-11"
2"x2"x0.05" OR 2"x3"x0.093"							
SELF MATING BEAMS 2"x4"x0.044"x0.12"	16'-11"	14'-9"	13'-3"	12'-2"	11'-3"	10'-7"	10'-0"
2"x5"x0.05x0.12"	27'-4"	23'-10"	21'-4"	19'-7"	17'-0"	16'-0"	
2"x5"x0.05x0.12"	33'-6"	29'-9"	27'-11"	25'-1"	23'-7"	22'-5"	21'-5"
2"x7"x0.05x0.12"	40'-9"	35'-11"	32'-3"	29'-7"	27'-5"	26'-1"	24'-3"
2"x8"x0.07x0.22"	55'-3"	48'-0"	43'-3"	39'-9"	36'-1"	35'-4"	34'-8"
2"x9"x0.07x0.22"	59'-10"	51'-10"	46'-9"	42'-11"	39'-11"	37'-6"	35'-5"
2"x9"x0.07x0.31"	66'-5"	58'-2"	52'-4"	48'-0"	44'-7"	41'-10"	40'-1"
SNAP EXTRUSIONS 2"x2"x0.044"	14'-0"	12'-3"	10'-11"	10'-0"	9'-2"	8'-8"	8'-2"
2"x3"x0.045"	18'-5"	16'-1"	14'-5"	13'-2"	12'-3"	11'-5"	10'-10"
2"x4"x0.045"	23'-2"	20'-0"	18'-1"	16'-6"	15'-3"	14'-4"	13'-6"
2"x6"x0.064"	37'-2"	32'-10"	29'-6"	27'-0"	25'-1"	23'-6"	22'-2"
2"x7"x0.078"	43'-2"	37'-9"	34'-0"	31'-2"	29'-0"	27'-2"	25'-8"

DOES NOT INCLUDE LENGTH OF KNEE BRACE. ADD HORIZONTAL LENGTH OF KNEE BRACE TO ABOVE SPANS FOR TOTAL SPAN.

**TABLE 1a: MAXIMUM HEIGHTS FOR POOL WALL MEMBERS ALUMINUM 6063 T-6 ALLOY**  
FOR AREAS SUBJECT TO ICE AND WIND LOADS. SUGGESTED FOR AREAS NORTH OF THE LATITUDE OF JACKSONVILLE, FL.

USING SCREEN PANEL WIDTH "W" FROM DRAWING SELECT SPAN "L" ON DRAWING

WIDTH "W" = EXTRUSIONS	MAXIMUM SPAN "L"						
	3'	4'	5'	6'	7'	8'	9'
1"x2"x0.044"	6'-2"	5'-3"	4'-10"	4'-5"	4'-1"	3'-7"	3'-4"
2"x2"x0.044"	8'-3"	7'-3"	6'-5"	5'-11"	5'-6"	6'-1"	4'-10"
2"x3"x0.05" OR 2"x2"x0.093"							
SELF MATING BEAMS 2"x4"x0.044"x0.12"	11'-7"	10'-1"	9'-0"	8'-3"	7'-8"	7'-2"	6'-9"
2"x5"x0.05x0.12"	18'-6"	16'-1"	14'-6"	13'-3"	12'-3"	11'-6"	10'-11"
2"x5"x0.05x0.12"	22'-11"	19'-1"	17'-1"	15'-8"	14'-6"	13'-7"	12'-9"
2"x6"x0.05x0.12"	25'-9"	22'-5"	20'-0"	18'-4"	17'-0"	15'-11"	15'-1"
2"x7"x0.05x0.12"	28'-3"	24'-7"	22'-0"	20'-7"	18'-8"	17'-6"	16'-6"
2"x8"x0.07x0.22"	38'-2"	33'-3"	29'-11"	27'-4"	25'-4"	23'-9"	22'-5"
2"x9"x0.07x0.22"	41'-5"	36'-1"	32'-5"	29'-7"	27'-6"	25'-9"	24'-3"
2"x9"x0.07x0.22"	45'-11"	40'-0"	35'-5"	32'-11"	30'-6"	28'-6"	28'-6"
SNAP EXTRUSIONS 2"x2"x0.044"	9'-6"	8'-3"	7'-5"	6'-9"	6'-3"	5'-11"	5'-6"
2"x3"x0.045"	12'-6"	10'-10"	9'-9"	8'-11"	8'-3"	7'-9"	7'-3"
2"x4"x0.045"	17'-8"	15'-4"	13'-9"	12'-7"	11'-8"	10'-11"	10'-4"
2"x6"x0.064"	25'-8"	22'-5"	20'-1"	18'-4"	17'-0"	15'-11"	15'-5"
2"x7"x0.078"	29'-11"	26'-0"	23'-4"	21'-4"	19'-9"	18'-6"	17'-9"

DOES NOT INCLUDE LENGTH OF KNEE BRACE. ADD HORIZONTAL LENGTH OF KNEE BRACE TO ABOVE HEIGHTS FOR TOTAL SPAN.

**TABLE 2: MAXIMUM HEIGHTS FOR POOL WALL MEMBERS ALUMINUM 6063 T-6 ALLOY**  
USING SCREEN PANEL WIDTH "W" FROM DRAWING SELECT SPAN "L" ON DRAWING

WIDTH "W" = EXTRUSIONS	MAXIMUM SPAN "L"						
	3'	4'	5'	6'	7'	8'	9'
1"x2"x0.044"	6'-10"	5'-11"	5'-4"	4'-10"	4'-6"	4'-2"	3'-11"
2"x2"x0.044"	9'-2"	7'-11"	7'-1"	6'-6"	6'-0"	5'-7"	5'-3"
2"x3"x0.05" OR 2"x2"x0.093"							
SELF MATING BEAMS 2"x4"x0.044"x0.12"	12'-10"	11'-1"	9'-11"	9'-1"	8'-5"	7'-10"	7'-5"
2"x5"x0.05x0.12"	20'-6"	17'-9"	15'-11"	14'-6"	13'-5"	12'-6"	11'-10"
2"x5"x0.05x0.12"	25'-2"	20'-10"	18'-10"	17'-6"	16'-4"	14'-5"	13'-9"
2"x6"x0.05x0.12"	28'-6"	24'-8"	22'-1"	20'-2"	18'-8"	17'-5"	16'-5"
2"x7"x0.05x0.12"	31'-2"	27'-1"	24'-3"	22'-1"	20'-6"	19'-2"	18'-1"
2"x8"x0.07x0.22"	42'-5"	36'-8"	32'-1"	30'-0"	27'-9"	25'-11"	24'-5"
2"x9"x0.07x0.22"	45'-11"	39'-10"	35'-7"	32'-6"	30'-11"	28'-2"	26'-6"
2"x9"x0.07x0.22"	51'-0"	44'-2"	39'-6"	36'-0"	33'-4"	31'-3"	29'-5"
SNAP EXTRUSIONS 2"x2"x0.044"	10'-6"	9'-1"	8'-2"	7'-5"	6'-10"	6'-5"	6'-1"
2"x3"x0.045"	13'-10"	12'-0"	10'-8"	9'-7"	9'-0"	8'-5"	8'-0"
2"x4"x0.045"	17'-5"	15'-1"	13'-6"	12'-3"	11'-8"	10'-8"	10'-0"
2"x6"x0.064"	28'-6"	24'-8"	22'-1"	20'-2"	18'-8"	17'-5"	16'-5"
2"x7"x0.078"	33'-1"	28'-8"	25'-8"	23'-5"	21'-8"	20'-3"	19'-1"

DOES NOT INCLUDE LENGTH OF KNEE BRACE. ADD VERTICAL LENGTH OF KNEE BRACE TO ABOVE HEIGHTS FOR TOTAL HEIGHT.

**TABLE 3: MINIMUM # SCREWS FOR CONNECTING BEAMS TO UPRIGHTS**  
ALUMINUM 6063 ALLOY T-6

BEAM SIZE	MIN. UPRIGHT SIZE	MIN. #	SIZE OF SCREWS REQ'D*
2"x3"	2"x3"	4	# 10 x 1/2" DOUBLE SHEAR
2"x4"	2"x3"	5	# 10 x 1/2" DOUBLE SHEAR
2"x5"	2"x3"	6	# 10 x 1/2" DOUBLE SHEAR
2"x6"	2"x4"	8	# 10 x 1/2" DOUBLE SHEAR
2"x7"	2"x4"	12	# 10 x 1/2" DOUBLE SHEAR
2"x8"	2"x4"	14	# 10 x 1/2" DOUBLE SHEAR
2"x9"	2"x5"	16	# 10 x 1/2" DOUBLE SHEAR

\* REFERS TO BOTH SIDES OF THE CONNECTION OF THE BEAM & UPRIGHT

**TABLE 4: MINIMUM SIZES FOR POOL ENCLOSURE KNEE BRACES**  
AND ANCHORING REQ'D ALUMINUM 6063 T-6 ALLOY

BRACE L.	EXTRUSION	ANCHOR SYSTEM
0'-2"-6"	2"x 2"x 0.044"	2" B-CANNEL W/ 3# 10/ 1/2" EA. SIDE
TO- 3'-6"	2"x 3"x 0.050"	2" B-CANNEL W/ 3# 10/ 1/2" EA. SIDE
TO- 4'-6"	2"x 4"x 0.044" x 0.12"	NOTCH SHD OVER BEAM & UPRIGHT. SEE TABLE 3 FOR #/S SIZE OF SCREWS
TO- 5'-6"	2"x 6"x 0.044" x 0.12"	NOTCH SHD OVER BEAM & UPRIGHT. SEE TABLE 3 FOR #/S SIZE OF SCREWS

NOTE: All spans and capacities are based on worst case of uplift loads due to wind velocities.

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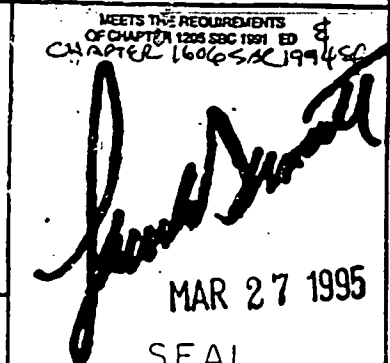
**LAWRENCE E. BENNETT**

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Phone no.: (904) 253-9960

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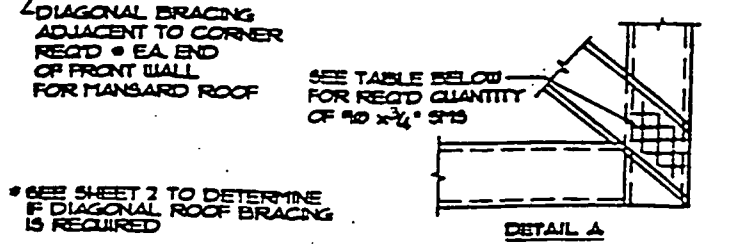
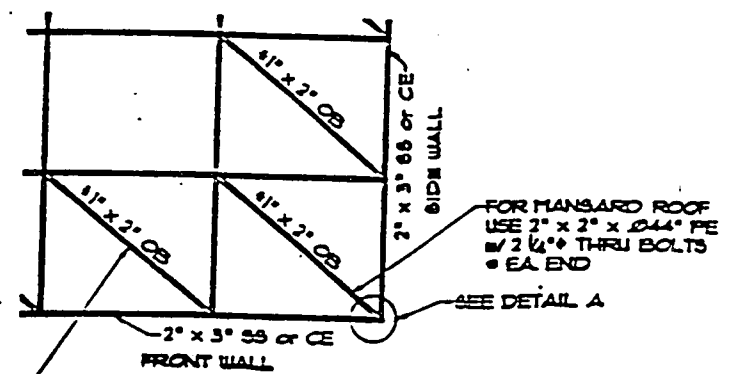
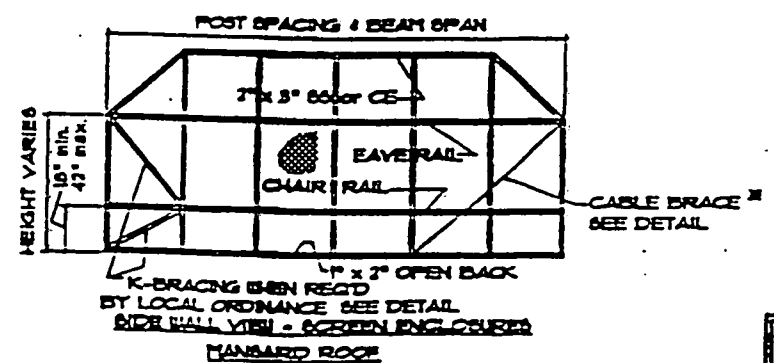
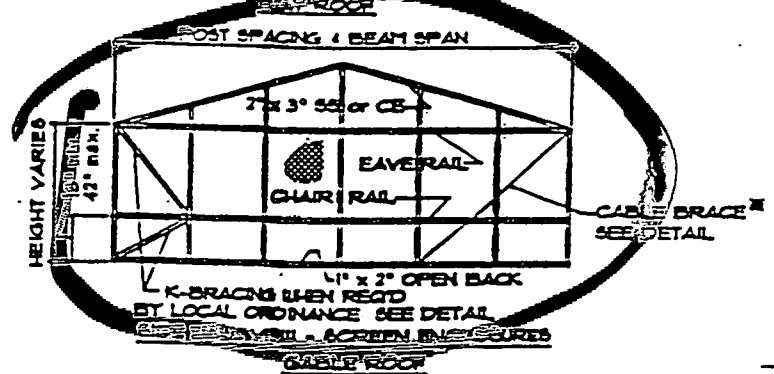
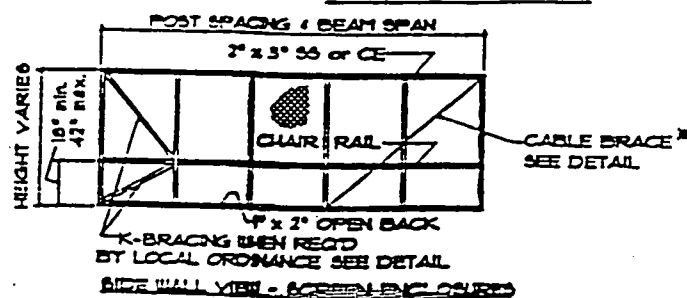
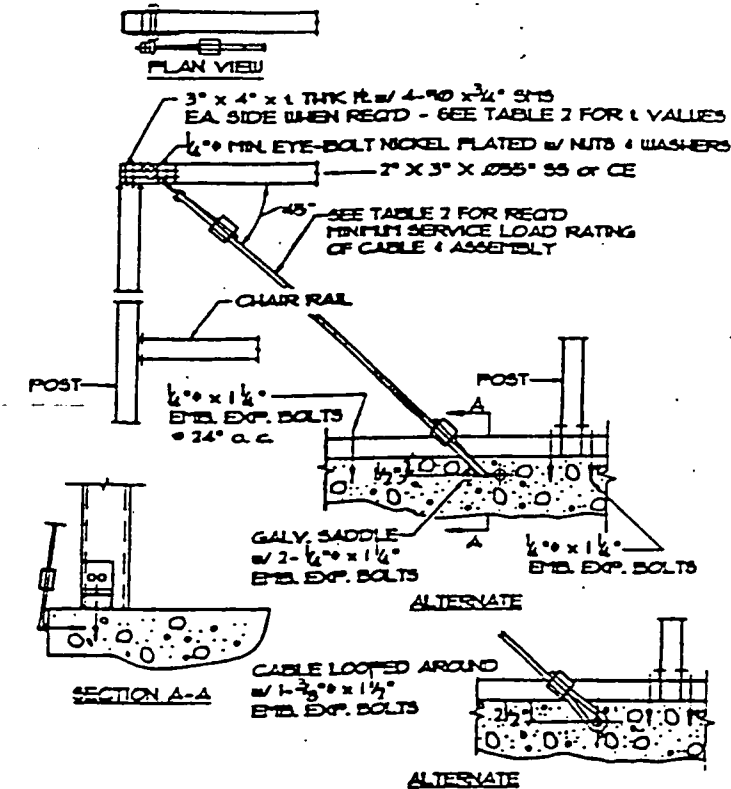
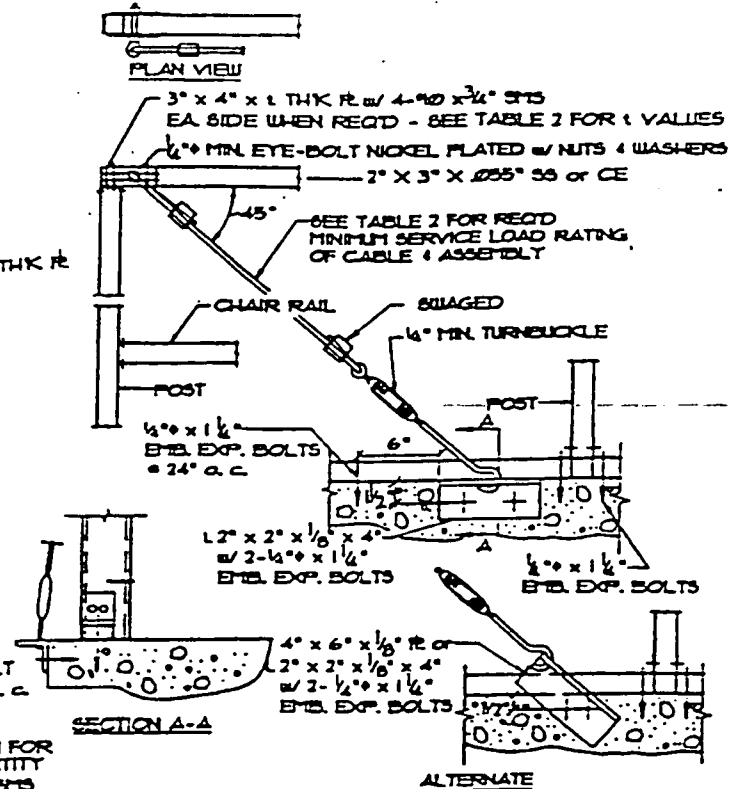
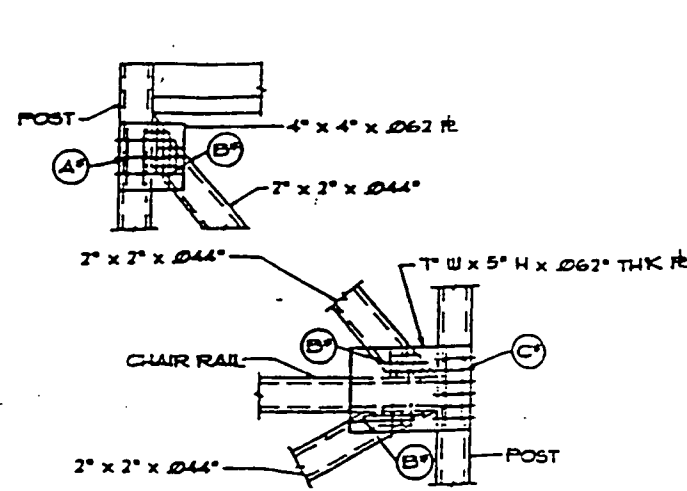
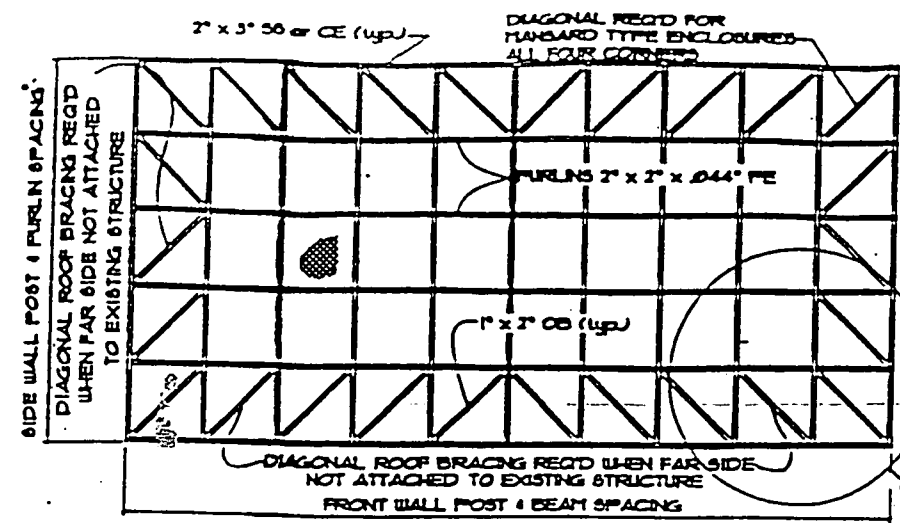
MAR 27 1995

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DRAWN  
LWB

SHEET 3 OF 3



DIAGONAL ROOF BRACING

VALL WIDTH	No. OF #10 x 3/4\" SWS REQUIRED
20'	2
30'	4
40'	5
50'	7
60'	9

K - BRACING

CABLE BRACING

TABLE 1

USE FRONT WALL WIDTH WHEN DETERMINING No. OF SWS FOR THE SIDE WALL K-BRACING  
USE SIDE WALL WIDTH WHEN DETERMINING No. OF SWS FOR THE FRONT and/or BACK WALL K-BRACING

MAXIMUM WALL WIDTH =	No. of #10 x 3/4\" SWS REQUIRED				
	(A)	(B)	(C)	(D)	(E)
20'	2	2	4	2	2
30'	2	2	4	2	2
40'	3	4	6	2	2
50'	4	5	8	3	3
60'	6	7	12	3	3

MAXIMUM FRONT WALL HEIGHT = 10'-0"

TABLE 2

USE FRONT WALL WIDTH WHEN SIZING CABLES FOR THE SIDE WALLS  
USE SIDE WALL WIDTH WHEN SIZING CABLES FOR THE FRONT and/or BACK WALLS

MAXIMUM WALL WIDTH =	REQ'D MINIMUM SERVICE LOAD RATING OF CABLE & ASSEMBLY	SIDE PLATE THICKNESS t	MINIMUM CABLE SIZE #
25'	860 lbs.	NOT REQ'D	1/8"
30'	1035 lbs.	0.062"	3/16"
40'	1379 lbs.		
50'	1724 lbs.	0.093"	1/4"
60'	2069 lbs.		

MORE THAN ONE CABLE MAY BE UTILIZED TO PROVIDE THE REQUIRED SERVICE LOAD RATING  
SEE GENERAL NOTES

BRACING TABLES

MEETS THE REQUIREMENTS OF AAF STANDARDS 5-90

NOTE: All spans and capacities are based on worst case of upst' loads due to wind velocities.

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DATE	DESCRIPTION

**LAWRENCE E. BENNETT**  
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P.O. BOX 4368 S. DAYTONA, FL 32121-4368  
PHONE: (904) 253-9960

MEETS THE REQUIREMENTS OF CHAPTER 1205 SBC 1991 ED & CHAPTER 1606 SBC 1994 ED

DRAWN: lb  
CHECKED: LEB  
SCALE: 1/4" = 1'  
DATE: 6/18/92  
JOB #

SEAL

SHEET # 3 a  
MAR. 27 1995  
OF 3

**3815**

**FENCE**

TAX FOLIO NO. 13-38-41-005-000-00070-7

DATE 6-20-95

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Tim & Carolyn McGlynn Present address 14 Palm Rd.

Phone (407) 220-8109 Stuart, Fla.

Contractor Adron Fence Co. Address 2762 N.W. 4th STREET

Phone 800-282-5172 OKEECHOBEE, FL 34972-2337

Where licensed OKEECHOBEE Co. License number 1154 (FE-1535)

Electrical Contractor MARTIN Co. License number CC# SPO0300

Plumbing Contractor — License number —

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: 72" wood fence Board on Board with lattice

State the street address at which the proposed structure will be built:

14 Palm Rd.

Subdivision \_\_\_\_\_ Lot Number \_\_\_\_\_ Block Number \_\_\_\_\_

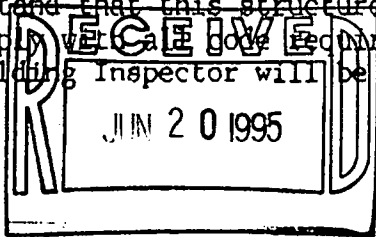
Contract price \$ 2490.00 Cost of permit \$ 28.00

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-Tagging" the construction project.

Contractor Pamela Alchoulias

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.



Owner Tim Chambers

TOWN RECORD

Date submitted \_\_\_\_\_

Approved: Rale Bro  
Building Inspector Date

Approved: [Signature]  
Commissioner Date

Final approval given: \_\_\_\_\_  
Date

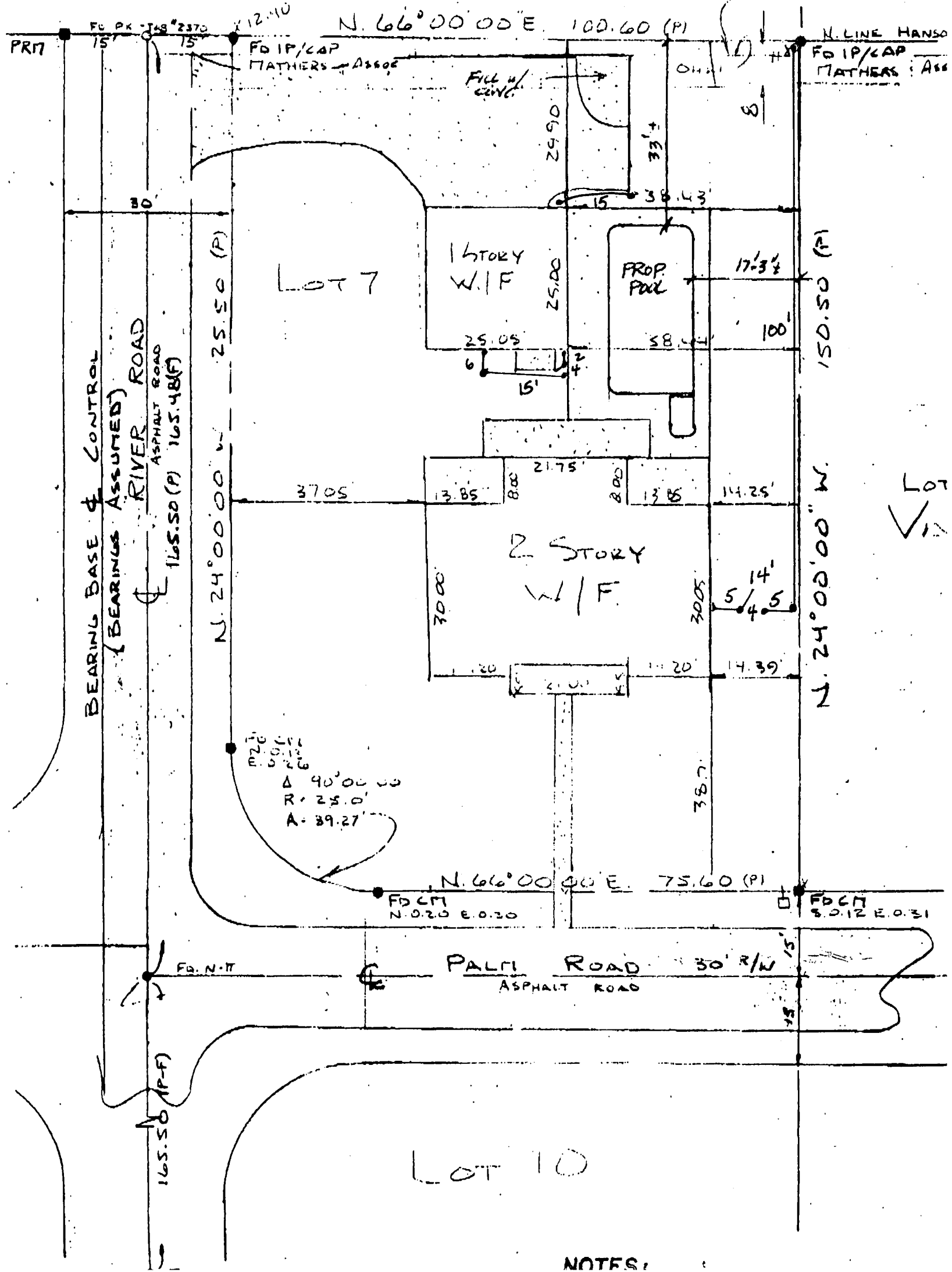
CERTIFICATE OF OCCUPANCY issued (if applicable) \_\_\_\_\_  
Date

PERMIT NO. \_\_\_\_\_

Tim McGlynn  
14 Palm Rd  
Stuart, Fla  
Lot 10

RIVERVIEW S/D

UTILITIES



NOTES:

**7485**

**RE-ROOF**

MASTER PERMIT NO. \_\_\_\_\_

**TOWN OF SEWALL'S POINT**

Date 4/14/05

BUILDING PERMIT NO. 7485

Building to be erected for ENGLE

Type of Permit REROOF

Applied for by PHOENIX COMETA GROUP (Contractor)

Building Fee \_\_\_\_\_

Subdivision PALM ROW Lot 7 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 14 PALM ROAD

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Parcel Control Number:

1338410050000007070000

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Amount Paid 120.00 Check # 1328 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Roofing Fee 120.00

Total Construction Cost \$ 22,000

TOTAL Fees 120.00

Signed Victoria L. Salente  
Applicant

Signed Gene Simmons  
Town Building Official

**PERMIT**

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

**INSPECTIONS**

- UNDERGROUND PLUMBING \_\_\_\_\_
- UNDERGROUND MECHANICAL \_\_\_\_\_
- STEMWALL FOOTING \_\_\_\_\_
- SLAB \_\_\_\_\_
- ROOF SHEATHING \_\_\_\_\_
- TRUSS ENG/WINDOW/DOOR BUCKS \_\_\_\_\_
- ROOF TIN TAG/METAL \_\_\_\_\_
- PLUMBING ROUGH-IN \_\_\_\_\_
- MECHANICAL ROUGH-IN \_\_\_\_\_
- FRAMING \_\_\_\_\_
- FINAL PLUMBING \_\_\_\_\_
- FINAL MECHANICAL \_\_\_\_\_
- FINAL ROOF \_\_\_\_\_

- UNDERGROUND GAS \_\_\_\_\_
- UNDERGROUND ELECTRICAL \_\_\_\_\_
- FOOTING \_\_\_\_\_
- TIE BEAM/COLUMNS \_\_\_\_\_
- WALL SHEATHING \_\_\_\_\_
- LATH \_\_\_\_\_
- ROOF-IN-PROGRESS \_\_\_\_\_
- ELECTRICAL ROUGH-IN \_\_\_\_\_
- GAS ROUGH-IN \_\_\_\_\_
- EARLY POWER RELEASE \_\_\_\_\_
- FINAL ELECTRICAL \_\_\_\_\_
- FINAL GAS \_\_\_\_\_
- BUILDING FINAL \_\_\_\_\_



APR 11 2005

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date BY: \_\_\_\_\_  
OWNER/TITLEHOLDER NAME: Peter & Laura Engle Phone (Day) \_\_\_\_\_ (Fax) \_\_\_\_\_

Job Site Address: 14 PALM Road City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) PALM Row, LOT 7 Parcel Number: 13-38-41-005-000-00070-7

Owner Address (if different): 14 PALM Rd. City: Stuart State: FL Zip: 34996

Description of Work To Be Done: RE-ROOF - Hurricane DAMAGE

WILL OWNER BE THE CONTRACTOR?:

YES

NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 22,000.  
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

Is Improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: \_\_\_\_\_

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: Phoenix Cometa Group Phone: 772-692-4400 Fax: 772-692-4401

Street: 755 N. US 1 City: Stuart State: FL Zip: 34994

State Registration Number: \_\_\_\_\_ State Certification Number: CC1325757 Martin County License Number: \_\_\_\_\_

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic.# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

State of Florida, County of: MARTIN

This the 5th day of June 2005

by Peter Engle who is personally known to me or produced as identification. Victoria L. Galentine

Notary Public - State of Florida  
My Commission Expires: 2/24/09  
Victoria L. Galentine  
Commission # DD399634  
Expires: FEB 24, 2009  
Seal of Notary Public - State of Florida

CONTRACTOR SIGNATURE (required)

Kurt Hair  
On State of Florida, County of: St Lucie

This the 7 day of APRIL 2005

by KURT HAIR who is personally known to me or produced as identification. Diane Cole

Notary Public - State of Florida  
My Commission Expires: \_\_\_\_\_  
Diane Cole  
Commission # DD028879  
Expires: 2/9/2008  
Bonded thru (800)432-4254  
Florida Notary Assn., Inc.

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY

Diane Cole  
Comm# DD028879  
Expires 2/9/2008  
Bonded thru (800)432-4254  
Florida Notary Assn., Inc.

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # \_\_\_\_\_

TAX FOLIO # 13-38-41-005-000-00070-7

**NOTICE OF COMMENCEMENT**

STATE OF FLORIDA

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

**LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):**

Palm Row revised Plat Lot 7 14 Palm Road

**GENERAL DESCRIPTION OF IMPROVEMENT:** Re-Roof Hurricane DAMAGE

**OWNER:** Peter & Laura Engle

**ADDRESS:** 14 Palm Road Stuart FL 34994

**PHONE #:** 288-1084 **FAX #:** \_\_\_\_\_

**CONTRACTOR:** Phoenix Cometa Group

**ADDRESS:** 755 NW US 1 Stuart FL 34994

**PHONE #:** 692-4400 **FAX #:** 692-4401

**SURETY COMPANY (IF ANY)**

**ADDRESS:** \_\_\_\_\_

**PHONE #:** \_\_\_\_\_ **FAX #:** \_\_\_\_\_

**BOND AMOUNT:** \_\_\_\_\_

**LENDER:** \_\_\_\_\_

**ADDRESS:** \_\_\_\_\_

**PHONE #:** \_\_\_\_\_ **FAX #:** \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1XA)7., FLORIDA STATUTES:

**NAME:** \_\_\_\_\_

**ADDRESS:** \_\_\_\_\_

**PHONE #:** \_\_\_\_\_ **FAX #:** \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1XB), FLORIDA STATUTES.

**PHONE #:** \_\_\_\_\_ **FAX #:** \_\_\_\_\_

**EXPIRATION DATE OF NOTICE OF COMMENCEMENT:** \_\_\_\_\_  
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE

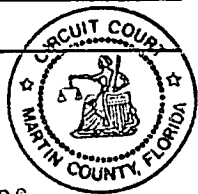
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 17th DAY OF April 2005 BY Peter Engle

PERSONALLY KNOWN   
PRODUCED ID \_\_\_\_\_  
TYPE OF ID \_\_\_\_\_

NOTARY SIGNATURE  
Victoria L. Galentine  
NOTARY PUBLIC-STATE OF FLORIDA  
Commission # DD399634  
Expires: FEB. 24, 2009  
Bonded Thru Atlantic Bonding Co., Inc.

INSTR # 1829155 OR BK 02001 PG 0180 RECD 04/11/2005 09:09:58 AM  
MARSHA EWING MARTIN COUNTY DEPUTY CLERK J Greisen



# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
04/06/2005

**PRODUCER (305)822-7800 FAX**  
Collinsworth, Alter, Fowler, Dowling & French  
P. O. Box 9315  
Miami Lakes, FL 33014-9315

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**INSURED The Phoenix Cometa Group Inc**  
1551 SE Niemeyer Circle  
Port St. Lucie, FL 34952

INSURERS AFFORDING COVERAGE	NAIC #
INSURER A: <b>Scottsdale Insurance Company</b>	
INSURER B: <b>Commerce and Industry Ins Co</b>	
INSURER C:	
INSURER D:	
INSURER E:	

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR INSR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	CLS0975376	03/11/2005	03/11/2006	EACH OCCURRENCE \$ <b>1,000,000</b>
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ex occurrence) \$ <b>50,000</b>
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person) \$ <b>1,000</b>
					PERSONAL & ADV INJURY \$ <b>1,000,000</b>
					GENERAL AGGREGATE \$ <b>2,000,000</b>
					PRODUCTS - COMP/OP AGG \$ <b>2,000,000</b>
					GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC
	AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT (Ex accident) \$
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident) \$
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$
	<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC \$ AUTO ONLY: AGG \$
	EXCESS/UMBRELLA LIABILITY				EACH OCCURRENCE \$
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE \$
	<input type="checkbox"/> DEDUCTIBLE				\$
	<input type="checkbox"/> RETENTION \$				\$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	WC6642367	01/20/2005	01/20/2006	<input checked="" type="checkbox"/> WC STATU-TORY LIMITS <input type="checkbox"/> OTH-ER
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				E.L. EACH ACCIDENT \$ <b>100,000</b>
	If yes, describe under SPECIAL PROVISIONS below				E.L. DISEASE - EA EMPLOYEE \$ <b>100,000</b>
	OTHER				E.L. DISEASE - POLICY LIMIT \$ <b>500,000</b>

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

**CERTIFICATE HOLDER**

Town of Sewalls Point  
One South Sewalls Point Road  
Sewalls Point, FL 34996

**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE  
Lee Fowler/AU *[Signature]*

AC#1567008

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L04082603470

DATE	BATCH NUMBER	LICENSE NBR
08/26/2004	040189299	CCC1325757

The ROOFING CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2006

HAIR, KURT LEMUEL  
THE PHOENIX COMETA GROUP INC  
1418 GARFIELD STREET  
HOLLYWOOD FL 33020

JEB BUSH  
GOVERNOR

DIANE CARR  
SECRETARY

DISPLAY AS REQUIRED BY LAW

AC#1562288

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L04082402070

DATE	BATCH NUMBER	LICENSE NBR
08/24/2004	040179073	CGC1505569

The GENERAL CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2006

HAIR, KURT LEMUEL  
THE PHOENIX COMETA GROUP INC  
1418 GARFIELD STREET  
HOLLYWOOD FL 33020

JEB BUSH  
GOVERNOR

DIANE CARR  
SECRETARY

DISPLAY AS REQUIRED BY LAW

121 SW PORT ST. LUCIE BOULEVARD  
PORT ST. LUCIE, FLORIDA 34954-5099

THIS LICENSE VALID WHEN ALL STATE AND LOCAL  
REGULATED TRADE LICENSES / COMPETENCY  
CARDS ARE VALID FOR THE CURRENT FISCAL YEAR.

TERM: October 1, 2004 to September 30, 2005

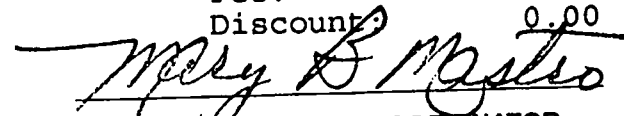
This license does not warrant or hold that the licensee is competent to perform in the business(es) as licensed, but that the licensee has paid the required fee(s) and provided the necessary documentation (if required) to be licensed in this business.  
LICENSE MUST BE EXHIBITED CONSPICUOUSLY AT YOUR PLACE OF BUSINESS.

VALID AT THIS BUSINESS ADDRESS ONLY.

Business/Lic. 119443/05-1023351

Business Address: 1551 SE NIEMEYER CIR  
Classification: CONT CONTRACTOR  
Issued to: PHOENIX COMETA GROUP INC  
1551 SE NIEMEYER CIR

Fee: 115.77  
Discount: 0.00



BUSINESS LICENSE COORDINATOR  
190/051 YB BUSINESS COPY

PORT ST LUCIE FL 34952

Fees: 115.77 Late Fees: 0.00 Total this payment : 115.77



**BUILDING CODE COMPLIANCE OFFICE (BCCO)**  
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

**NOTICE OF ACCEPTANCE (NOA)**

Elk Corporation of Alabama  
4600 Stillman Blvd.  
Tuscaloosa, AL 35401

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by the BCCO and accepted by the Building Code and Product Review Committee to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The BCCO (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BCCO reserves the right to revoke this acceptance, if it is determined by BCCO that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County or Florida Building Code.

**DESCRIPTION:** Prestique 25, Prestique 30, Elk Raised Profile, or Prestique

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of pages 1 through 3.  
The submitted documentation was reviewed by Frank Zuloaga, RRC



FILE COPY  
TOWN OF SEWALL'S POINT  
THESE PLANS HAVE BEEN  
REVIEWED FOR CODE COMPLIANCE  
DATE: 4/12/05  
  
BUILDING OFFICIAL  
Gene Simmons

NOA No.: 01-1226.04  
Expiration Date: 07/12/06  
Approval Date: 02/14/02  
Page 1 of 3

**ROOFING SYSTEM APPROVAL**

**Category:** Roofing  
**Sub Category:** Shingles  
**Materials:** Laminate

**1. SCOPE**

This revises Elk Prestique 25, Prestique 30, Elk Raised Profile, or Prestique Fiberglass manufactured by Elk Corporation of Alabama described in Section 2 of this Notice of Acceptance, designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County.

**2. PRODUCT DESCRIPTION**

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Elk Prestique 25, Prestique 30, Elk Raised Profile, or Prestique	13 1/4" x 38 3/4"	PA 110	A heavy weight laminated asphalt shingle with a proprietary profile.

**3. LIMITATIONS**

- 3.1 Fire classification is not part of this acceptance; refer to a current Approved Roofing Materials Directory for fire ratings of this product.
- 3.2 Shall not be installed on roof mean heights in excess of 33 ft.

**4. INSTALLATION**

- 4.1 Shingles shall be installed in compliance with Miami-Dade County Product Control Shingle Installation Procedure No. 115.
- 4.2 Flashing shall be in accordance with Section 9.3 Option "B" (Step-flashing) of Miami-Dade County Product Control Shingle Installation Procedure No. 115.
- 4.3 The manufacturer shall provide clearly written application instructions.
- 4.4 Exposure and course layout shall be in compliance with Detail 'A', attached.
- 4.5 Nailing shall be in compliance with Detail 'B', attached.

**5. LABELING**

- 5.1 Shingles shall be labeled with the Miami-Dade Logo or the wording "Miami-Dade County-Dade Product Control Approved".

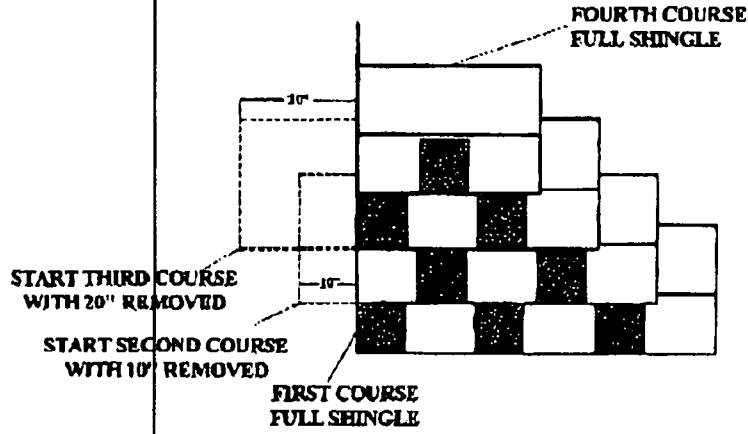
**6. BUILDING PERMIT REQUIREMENTS**

- 6.1 Application for building permit shall be accompanied by copies of the following:
  - 6.1.1 This Notice of Acceptance.
  - 6.1.2 Any other documents required by the Building Official or the Applicable Building Code in order to properly evaluate the installation of this system



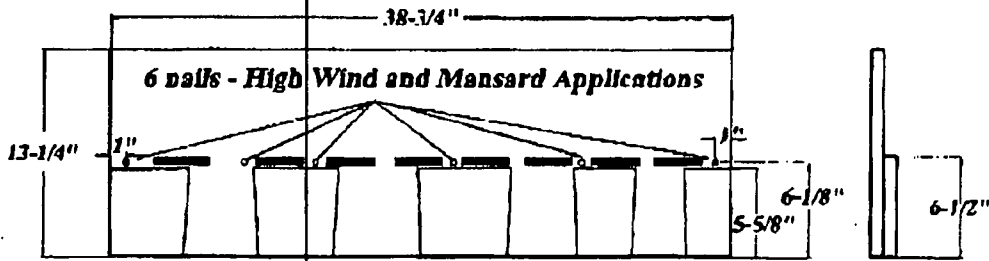
NOA No.: 01-1226.04  
Expiration Date: 07/12/06  
Approval Date: 02/14/02  
Page 2 of 3

**DETAIL A**



**DETAIL B**

*Elk Prestique 25, Prestique 30, Elk Raised Profile, and Prestique*



**4 Fasteners - Standard Slope**

**END OF THIS ACCEPTANCE**



NOA No.: 01-1226.04  
Expiration Date: 07/12/06  
Approval Date: 02/14/02  
Page 3 of 3



**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**  
*(For File ONLY. Not part of NOA.)*

**EVIDENCE SUBMITTED**

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Center for Applied Engineering	PA 100	Uplift and wind driven rain resistance.	06/30/94
Underwriters Laboratories, Inc.	PA 107 ASTM 3462	Wind uplift resistance Material Properties	12/20/93 08/20/97

**C. CALCULATIONS:** <enter calculations received for use of coefficients>

**D. MATERIAL CERTIFICATIONS:** NONE

**E. STATEMENTS:** NONE

**F. OTHER**

1. Association member <enter name of association and its approval document number>  
Notice of Acceptance number 00-0720.03



7485

**TOWN OF SEWALL'S POINT**

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

**CORRECTION NOTICE**

ADDRESS: 14 PALM ROAD

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

DPV - IN

DRIP EDGE MISSING IN  
MANY AREAS

NOT READY FOR INSPECTION

\$40

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 4/22

INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4/22, 2005 Page 2 of    

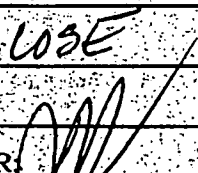
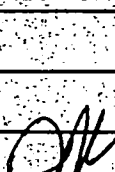
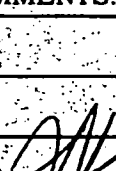
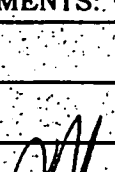
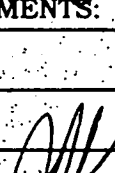
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
7316	ELWOOD	FULL FINAL	PASS	CLOSE
2	15 MIDDLE RD ALPHA ZETA			INSPECTOR: <i>[Signature]</i>
<del>7485</del>	<del>EVANS</del>	<del>DOOR</del>	<del>FAIL</del>	
4	14 PALM ROAD PHOENIX COMETA			#43 INSPECTOR: <i>[Signature]</i>
7262	HB ASSOC - SABOURIN	ELEC WALL PART	PASS	
21	3760 SE OCEAN KIRCHMAN	FRAMING MECHANICAL	PASS PASS	INSPECTOR: <i>[Signature]</i>
TREE	CONROY	TREE	PASS	
8	126 S. SEWALL'S			INSPECTOR: <i>[Signature]</i>
7195	THOMPSON	FRAMING	PASS	
6	179 S. RIVER R FLORIDA'S FINEST			INSPECTOR: <i>[Signature]</i>
7352	MESSARD	FENCE FINAL	PASS	CLOSE
20	11 OAK HILL WAY STUART FENCE			INSPECTOR: <i>[Signature]</i>
7446	MACCALLUM	FINAL GARAGE	PASS	CLOSE
19	3 QUAIL RUN LA BROTEN GARAGE	1000		INSPECTOR: <i>[Signature]</i>

OTHER: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4/27, 2005 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7318	HOWENBECK	FENCE FINAL	PASS	CLOSE
1	10 MIDDLE RD O/B			INSPECTOR: 
7469	NORGREEN	POOL STEEL DRAIN	FAIL	
4	5 KINGSTON CT OLYMPIC POOLS			INSPECTOR: 
6812	MADER	SCAB		
2	106 ABBIE COURT FLORIDA EVERGLADE DURUCKEL HOMES	V6 ELEC.	PASS	INSPECTOR: 
<del>7435</del>	<del>ENGLE</del>	<del>FINISH ROOF</del>		
5	14 PALM ROAD PHOENIX COMETA	DRY-IN	PASS	INSPECTOR: 
7427	HOLLY	DRY IN	PASS	
8	41 S. RIVER RD DENNIS CONST.			INSPECTOR: 
				INSPECTOR: 
				INSPECTOR: 

OTHER: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

# INSPECTION LOG FOR ABANDONED/EXPIRED PERMITS

PERMIT #	OWNER'S NAME	ADDRESS	DESCRIPTION	APPROVED BY & DATE
6285	Harte	3 E. High Pt	Driveway	AW 7/12
7661	Litchey	5 Middle Rd	AC changeout	
6313		5 Middle Rd	Fence	AW 7/12
7254	Carelli	4 Middle Rd	Fence repair	AW 7/12
6730	Carelli	4 Middle Rd	Fence	AW 7/12
7603	Becker	16 E High Pt	Reroof	AW 7/12
7061	Taylor	22 E High Pt	Dock repair - <sup>one</sup> piling	AW 7/12
7531	Granfield	15 W. High Pt	Int & ext. gas lines	NO ACCESS
7124	McKeige	31 W. High Pt	Panel driveway	AW 7/12
7194	Greiner	37 E. High Pt	Reroof.	AW 7/12
7125	McCartney	45 W High Pt	Dock repair	WORK NOT DONE
7142	Shaughnessy	3 Delano La	Lowers on pool deck + patio	AW 7/12
7033	Tidikis	6 Kingston Ct	Fence repair	AW 7/12
7212	Kimmelman	108 Abbie Ct	Fence	AW 7/12
7633	Thomas	10 Palm Rd	Replace windows	NO ACCESS
<del>7485</del>	<del>Engle</del>	<del>14 Palm Rd</del>	<del>Reroof (final)</del>	<del>AW 7/12</del>
7086	Kohloff	20 Buenvision	Repair retaining wall	
7007	Analer	3 Simara St	Water repair	
1959A	Pudlinski	20 Buenvision	Repair dock	

**7635**

**FENCE**

MASTER PERMIT NO. \_\_\_\_\_

**TOWN OF SEWALL'S POINT**

Date 6/22/05

BUILDING PERMIT NO. 7635

Building to be erected for ENGLE Type of Permit FENCE

Applied for by ADRON FENCE Co. (Contractor) Building Fee 30.00

Subdivision Palm Row Lot 7 Block \_\_\_\_\_ Radon Fee \_\_\_\_\_

Address 14 Palm Road Impact Fee \_\_\_\_\_

Type of structure SFR A/C Fee \_\_\_\_\_

Parcel Control Number:

1338410050000007070000 Electrical Fee \_\_\_\_\_

Amount Paid 30.00 Check # 8083 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_ Plumbing Fee \_\_\_\_\_

Total Construction Cost \$ 10,883 Roofing Fee \_\_\_\_\_ TOTAL Fees 30.00

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

**PERMIT**

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

**INSPECTIONS**

- UNDERGROUND PLUMBING \_\_\_\_\_
- UNDERGROUND MECHANICAL \_\_\_\_\_
- STEMWALL FOOTING \_\_\_\_\_
- SLAB \_\_\_\_\_
- ROOF SHEATHING \_\_\_\_\_
- TRUSS ENG/WINDOW/DOOR BUCKS \_\_\_\_\_
- ROOF TIN TAG/METAL \_\_\_\_\_
- PLUMBING ROUGH-IN \_\_\_\_\_
- MECHANICAL ROUGH-IN \_\_\_\_\_
- FRAMING \_\_\_\_\_
- FINAL PLUMBING \_\_\_\_\_
- FINAL MECHANICAL \_\_\_\_\_
- FINAL ROOF \_\_\_\_\_

- UNDERGROUND GAS \_\_\_\_\_
- UNDERGROUND ELECTRICAL \_\_\_\_\_
- FOOTING \_\_\_\_\_
- TIE BEAM/COLUMNS \_\_\_\_\_
- WALL SHEATHING \_\_\_\_\_
- LATH \_\_\_\_\_
- ROOF-IN-PROGRESS \_\_\_\_\_
- ELECTRICAL ROUGH-IN \_\_\_\_\_
- GAS ROUGH-IN \_\_\_\_\_
- EARLY POWER RELEASE \_\_\_\_\_
- FINAL ELECTRICAL \_\_\_\_\_
- FINAL GAS \_\_\_\_\_
- BUILDING FINAL \_\_\_\_\_



Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: PETER ENGLE Phone (Home) 772 283-2000 (Work)

Job Site Address: 14 Palm Rd City: Stuart State: Fla Zip: 34996

Legal Description of Property: Palm Row REVISED & AMENDED Parcel Number: 13-38-41-005-000-00070.7
PLAT LOT 7 OR 363/228

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: INSTALL 2 1/4" of 5 1/2" TONGUE & GROOVE PVC Fence

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company Name: ADRON FENCE Co Doreen Phone Number: 800 282-5172

Street: 2762 NW 4 ST. City: Okeechobee State: FL Zip: 34972

State Registration Number: N/A State Certification Number: N/A Martin County License Number: SP03127

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 10,863.00 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_
Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_
Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_
Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Phone Number: \_\_\_\_\_
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Phone Number: \_\_\_\_\_
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_
Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

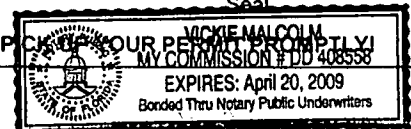
I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
ROSS A. CHAMBERS
State of Florida, County of: Okeechobee
This the 4th day of May, 2005
by ROSS A. CHAMBERS who is personally known to me or produced as identification.

Notary Public
My Commission Expires: \_\_\_\_\_

CONTRACTOR SIGNATURE (required)
ROSS A. CHAMBERS
On State of Florida, County of: Okeechobee
This the 4th day of May, 2005
by ROSS A. CHAMBERS who is personally known to me or produced as identification.

Notary Public
My Commission Expires: \_\_\_\_\_



PERMIT APPLICATIONS ARE VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT



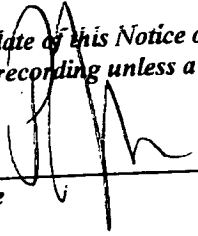
NOTICE OF COMMENCEMENT

PERMIT NO: \_\_\_\_\_ TAX FOLIO NO: 13-38-41-005-000-00070-7

STATE OF FLORIDA COUNTY OF MARTIN COUNTY

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Chapter 713, Florida Statutes., the following information is provided in this Notice of Commencement.

1. Legal description of property and street address: 14 PALM RD  
STUART, FLA. 34996  
PALM ROW REVISED & AMENDED , PLAT LOT 7, OR 363/228
2. Description of improvements: INSTALL 2 1/4" OF 5' + 1' TONGUE/GROOVE WITH LATTICE FENCE
3. Owner(s) name and address: PETER ENGLE  
14 PALM RD  
STUART, FLA. 34996
4. Contractor: ADRON FENCE CO. 2762 NW 4<sup>TH</sup> ST. OKEECHOBEE, FL. 34972
5. Surety: payment bond required by owner from contractor if any): N/A
6. Lender's name and address: N/A
7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statute.
8. In addition to himself, Owner designates the following persons(s) to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.
9. Expiration date of this Notice of Commencement: (the expiration date is 1 year from the date of recording unless a different date is specified) \_\_\_\_\_

signature & title 

PETER ENGLE, OWNER  
print name & title

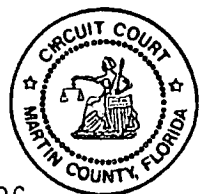
The foregoing instrument was acknowledged before me this 2 day of MAY 2005 by PETER ENGLE who is personally known to me or who has produced as identification and who did (did not) take an oath.

Notary Public Diane Krasula  
Print Notary's Name DIANE KRASULA (stamp)  
My Commission Expires: 1/12/2009

Prepared by VICKIE MALCOLM & Return to:  
Adron Fence Co.,  
2762 N.W. 4<sup>th</sup> St  
Okeechobee, FL 34972  
JOB NAME ENGLE



STATE OF FLORIDA  
MARTIN COUNTY  
THIS IS TO CERTIFY THAT THE  
FOREGOING 1 PAGES IS A TRUE  
AND CORRECT COPY OF THE ORIGINAL.  
MARSHA EWING, CLERK  
BY: Marsha Ewing D.C.  
DATE: 5/13/05



INSTR # 1839091 DR BK 02013 PG 1820 RECD 05/13/2005 09:20:39 AM  
MARSHA EWING MARTIN COUNTY DEPUTY CLERK C Malsh

# PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR A FENCE

**IMPORTANT NOTICE:** All items listed below must accompany your permit application.  
No application will be accepted unless all items that are applicable are submitted.

**Application form must contain the following information:**

1. Property Appraisers Parcel Number or Property Control Number
2. Legal Description of property (Can be found on your deed survey or Tax Bill)
3. Contractors name, address, phone number and license numbers.
4. Name all sub-contractors (properly licensed)
5. Architects or Engineers name, address, & phone number.
6. Estimated cost of construction.
7. Original signature of owner and notarized
8. Original signature of Contractor and notarized.

## **Submittals (2 copies)**

1. Current survey (boundary & topographic) containing the following information:
  - a. Legal Description of Lot
  - b. Lot dimensions and bearings
  - c. Street and Waterway names
  - d. Easements
  - e. ROW's
  - f. Canals, Ponds, or Riverfront locations
  - g. Location of existing and proposed fences
  - h. Description of type and height of fence at all locations
2. Statement of Fact (owner/builder affidavit)
3. Proof of ownership (deed or tax recpt.)
4. Letter from Home Owners or Subdivision Associations stating design is per their deed restriction or covenants
5. Application for tree removal or relocation (attach tree survey and removal or relocation plan)
6. A certified copy of the Notice of Commencement for any work over \$2500.00
7. Copy of License (either Martin County Certificate of Competency or State Certified or Registered Contractor License)
8. Copy of Workmen's Compensation
9. Copy of Liability Insurance

**ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE  
ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE**



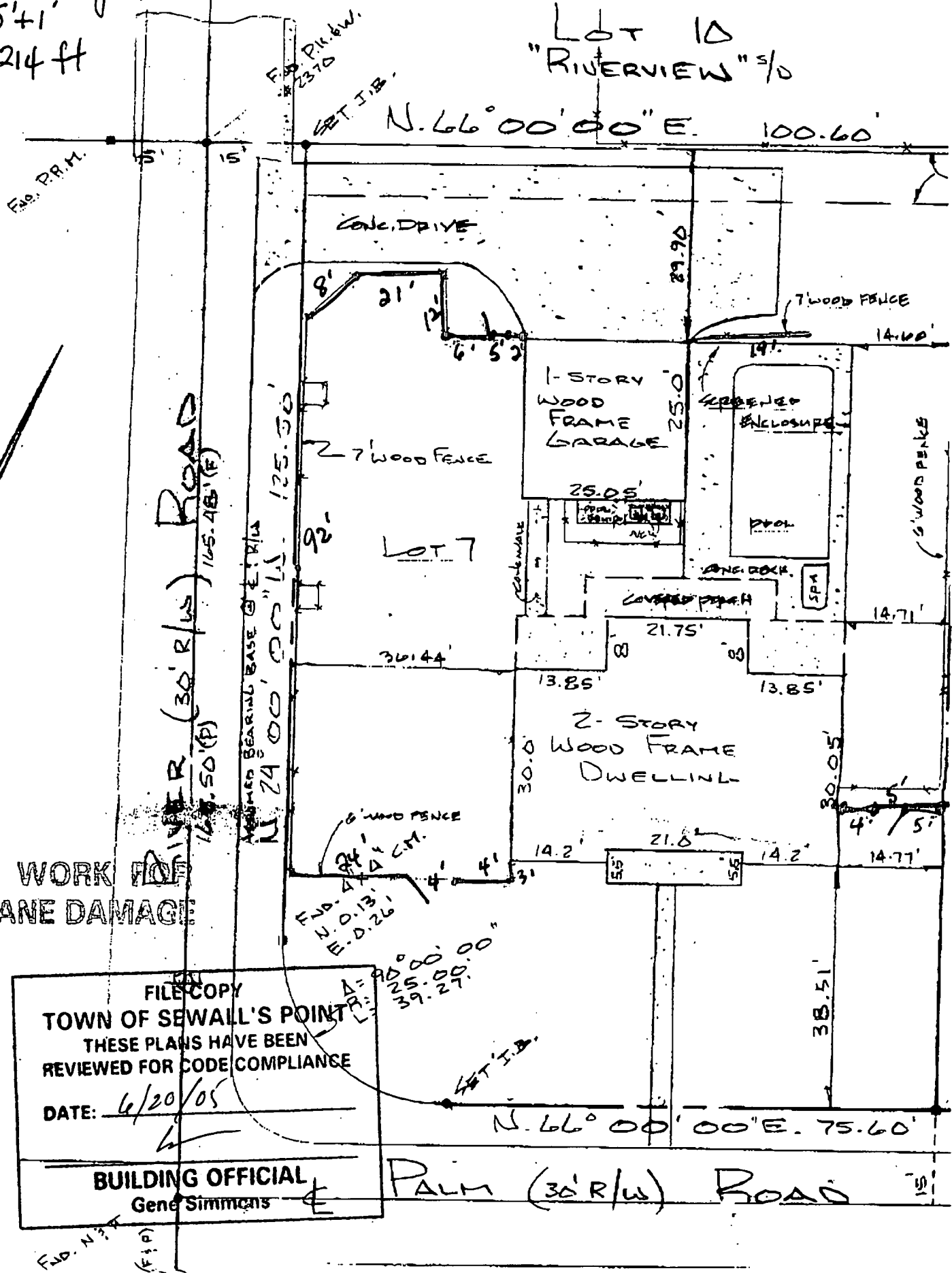
(SIGNATURE OF APPLICANT)

DATE SUBMITTED: \_\_\_\_\_

5/16/05

Type: PVC Tongue & Groove  
Height: 5'+1"  
Length: 214 ft

LOT 10  
"RIVERVIEW" 5/10



*KCH*

REPAIR WORK FOR  
HURRICANE DAMAGE

FILE COPY  
**TOWN OF SEWALL'S POINT**  
 THESE PLANS HAVE BEEN  
 REVIEWED FOR CODE COMPLIANCE  
 DATE: 6/20/05  
**BUILDING OFFICIAL**  
 Gene Simmons

Palm (30' R/W) Road

# ADRON FENCE;

FROM- louis m

JOB#

Job name:	height	section size	caps	style of p.v.c.	gates	footage	
engle	5x1	8	flat	tongue/grove with lattice	1-4 2-5	214	

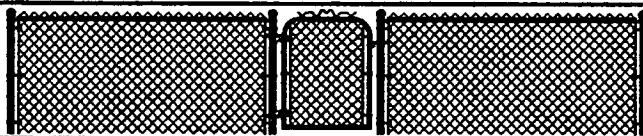
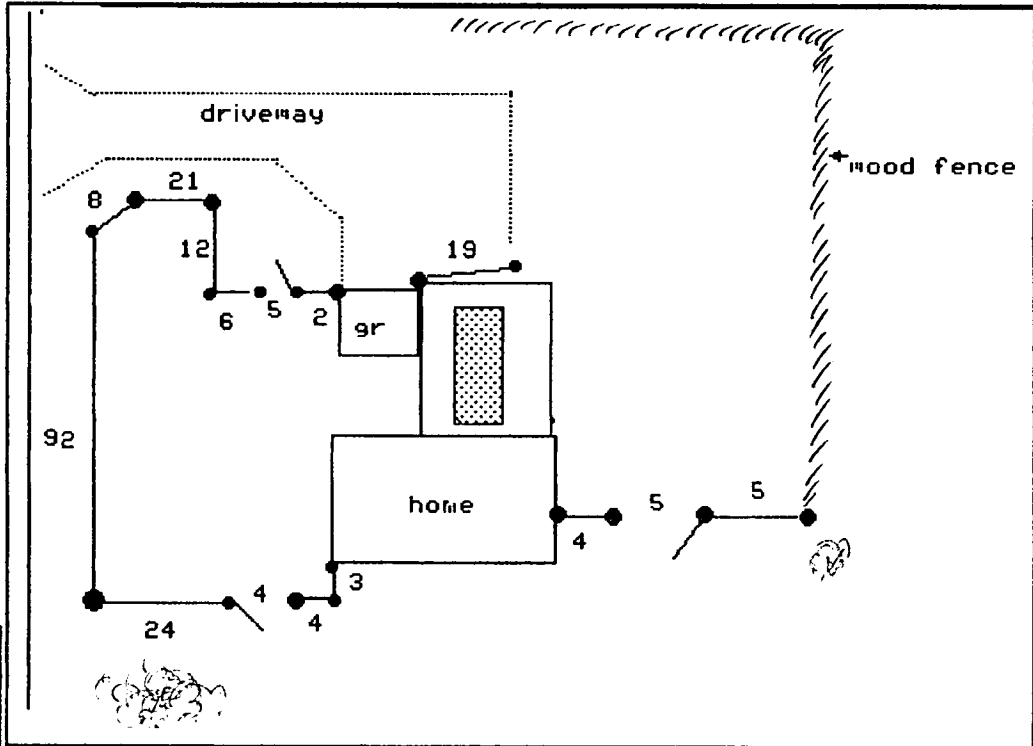
special notes

any questions call me

fax date:

4-11-05

## JOB LAYOUT



ADRON FENCE CO., INC.  
 2762 N. W. 4th STREET  
 OKEECHOBEE, FLORIDA 34972-2337  
 (800) 282-5172

pvc spec sheet  
 5x1

DRAWN BY: JMO 02-05-1995	SCALE: NONE	PAGE:
REVISED: JMO 3/31/03	FILE: pvc spec	1 of 1

# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

12/22/2004

PRODUCER (863)467-0600 FAX (863)467-5142  
 Lawrence Insurance Agency, Inc  
 P. O. Box 549  
 2020 S Parrott Ave  
 Okeechobee, FL 34973-0549

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED **ADRON FENCE CO**  
 2762 NW 4TH STREET  
 OKEECHOBEE, FL 34972-2337

**INSURERS AFFORDING COVERAGE**

NAIC #

INSURER A: **Maryland Casualty Co**

19356

INSURER B:

INSURER C:

INSURER D:

INSURER E:

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR / NSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	<b>GENERAL LIABILITY</b> <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	PPS037313591	12/31/2004	12/31/2005	EACH OCCURRENCE \$ 1,000,000
	DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 1,000,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000				
A	<b>AUTOMOBILE LIABILITY</b> <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS	PPS037313591	12/31/2004	12/31/2005	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000
	BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$				
	<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
	<b>EXCESS/UMBRELLA LIABILITY</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE \$ RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				WC STATUTORY LIMITS   OTHER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
	OTHER				

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

Fence Erection

**CERTIFICATE HOLDER**

Town of Sewell's Point  
 1 South Sewell Point  
 Stuart, FL 34996

**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE *[Signature]*  
 Ronnie Lawrence

**ACORD™ CERTIFICATE OF LIABILITY INSURANCE** Date  
4/7/2005

**Producer:** Lion Insurance Company  
2739 U.S. Highway 19 N.  
Holiday, FL 34691  
Phone: 727-938-5562 Fax: 727-937-2138

This Certificate is issued as a matter of information only and confers no rights upon the Certificate Holder. This Certificate does not amend, extend or alter the coverage afforded by the policies below.

**Insured:** South East Personnel Leasing, Inc.  
2739 U.S. Highway 19 N.  
Holiday, FL 34691  
Phone : (727)938-5562

Insurers Affording Coverage		NAIC #
Insurer A:	Lion Insurance Company	11075
Insurer B:		
Insurer C:		
Insurer D:		
Insurer E:		

**Coverages**

The policies of insurance listed below have been issued to the insured named above for the policy period indicated. Notwithstanding any requirement, term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the policies described herein is subject to all the terms, exclusions, and conditions of such policies. Aggregate limits shown may have been reduced by paid claims.

INSR LTR	ADDL INSRD	Type of Insurance	Policy Number	Policy Effective Date (MM/DD/YY)	Policy Expiration Date (MM/DD/YY)	Limits	
		<b>GENERAL LIABILITY</b> <input type="checkbox"/> Commercial General Liability <input type="checkbox"/> Claims Made <input type="checkbox"/> Occur <hr/> General aggregate limit applies per: <input type="checkbox"/> Policy <input type="checkbox"/> Project <input type="checkbox"/> LOC				Each Occurrence	\$
						Damage to rented premises (EA occurrence)	\$
						Med Exp	\$
						Personal Adv Injury	\$
						General Aggregate	\$
						Products - Comp/Op Agg	\$
		<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> Any Auto <input type="checkbox"/> All Owned Autos <input type="checkbox"/> Scheduled Autos <input type="checkbox"/> Hired Autos <input type="checkbox"/> Non-Owned Autos				Combined Single Limit (EA Accident)	\$
						Bodily Injury (Per Person)	\$
						Bodily Injury (Per Accident)	\$
						Property Damage (Per Accident)	\$
		<b>GARAGE LIABILITY</b> <input type="checkbox"/> Any Auto				Auto Only - Ea Accident	\$
						Other Than EA Acc.	\$
						Autos Only. AGG	\$
		<b>EXCESS/UMBRELLA LIABILITY</b> <input type="checkbox"/> Occur <input type="checkbox"/> Claims Made <input type="checkbox"/> Deductible <input type="checkbox"/> Retention				Each Occurrence	
						Aggregate	
A		<b>Workers Compensation and Employers' Liability</b> Any proprietor/partner/executive officer/member excluded? If Yes, describe under special provisions below.	WC 71949	01/01/2005	01/01/2006	<input checked="" type="checkbox"/> WC Statutory Limits <input type="checkbox"/> OTH-ER	
						E.L. Each Accident	\$1000000
						E.L. Disease - Ea Employee	\$1000000
						E.L. Disease - Policy Limits	\$1000000

**Other** 0945188 Adron Fence Co. **COVERAGE APPLIES ONLY TO THOSE EMPLOYEES LEASED, NOT TO SUBCONTRACTORS.**

Descriptions of Operations/Locations/Vehicles/Exclusions added by Endorsement/Special Provisions: ADD ON DATE: 11/21/2002  
**COVERAGE APPLIES ONLY IN THE STATE OF FLORIDA TO THOSE EMPLOYEES LEASED TO BUT NOT SUBCONTRACTORS OF Adron Fence Co. \* FAX: 863-763-8404 & 772-220-4765 / ISSUE 4-7-05 (JOM)**

CERTIFICATE HOLDER	CANCELLATION
TOWN OF SEWELL'S POINT  1 SOUTH SEWELL POINT RD STUART FL 34996	Should any of the above described policies be cancelled before the expiration date thereof, the issuing insurer will endeavor to mail 30 days written notice to the certificate holder named to the left, but failure to do so shall impose no obligation or liability of any kind upon the insurer, its agents or representatives.  <i>John A. ...</i>



**MARTIN COUNTY, FLORIDA**  
**Construction Industry Licensing Board**  
**Certificate of Competency**

***FENCE ERECTION***

License Number SP03127 Expires: 30-SEP-05

CHAMBERS, ROSS A  
ADRON FENCE COMPANY INC  
2762 NW 4 ST  
OKEECHOBEE, FL 34972

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 10/5, 2005 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6753	RADER	FINAL SFR	RE-SCHEDULE FOR	
12	5 HERITAGE Ad P CONSTRUCTION	LAST POWER RELEASE	10/7	FRIDAY PER THINGS INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7764	RUCKS	FOOTERS	FAIL	RE-INSPECTED
11	20 N. SEWALL ST MASTERPIECE	FIRST PLEASE	PASS	LATE MORNING INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7447	DIMITRIOU	WINDOWS FINAL		NO ACCESS
2	6 BANYAN OAK SYSTEMS	8:30 Please		INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	TAYLOR	TREE	PASS	
3A	22 E. HIGHPOINT			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7699	COOPER	GENERATOR + Elec	PASS	CLOSE
4	33 W. HIGH POINT DIETZ ELECTRIC			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7635	ENGLE	FENCE FINAL	PASS	CLOSE
7	14 PALM ROAD ADRON FENCE			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7774	MALONE	RE-ROOF FINAL	PASS	CLOSE
10	14 S. VIA LUCINDIA SWARTZ ROOFING			INSPECTOR: <i>OM</i>

OTHER: \_\_\_\_\_





**TOWN OF SEWALL'S POINT BUILDING DEPARTMENT**

One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

**APPLICATION FOR TREE REMOVAL, RELOCATION OR  
REPLACEMENT PERMIT ON DEVELOPED RESIDENTIAL PROPERTY**

**No permit required for:**

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Removal of trees with a diameter of less than two inches.
3. Removal of citrus or non-native fruit trees.

**Sec. 70-22. Permit required for tree removal.**

A permit as provided for in this chapter shall be required for the removal (or transplant) of any tree with a two-inch caliber or more upon any parcel upon which there is a residence under a validly issued permit. Permit requirements are outlined under article V Town Ordinances. If the town has to procure the services of a suitable professional licensed in the State of Florida to ascertain the state or type of a tree(s) prior to or after removal of the tree(s) then the cost of such will be borne by the property owner. (Ord. No. 303, 7-20-04)

**Application procedures:**

1. Complete application information including sketch below.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and posted on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

**Permit Fee:**

1. Tree permits are \$15.00.
2. Permit - No fees are assessed for tree which is dead, diseased, injured, hazardous to life or property, or listed as a prohibited species by the Florida Department of Environmental Protection.

**NOTICE:**

**A PERMIT WILL NOT BE ISSUED FOR THE REMOVAL ANY NATIVE SPECIES TREES UNLESS ONE OR MORE OF THE FOLLOWING CONDITIONS EXIST: (SEC. 70-87. PERMIT ISSUANCE OR DENIAL TOWN ORDINANCES).**

- A. THE VEGETATION IS LOCATED IN AN AREA WHERE STRUCTURES, UTILITIES OR IMPROVEMENTS MAY BE PLACED ACCORDING TO THE TOWN CODE; AND TO PRESERVE THE VEGETATION WOULD UNREASONABLY RESTRICT THE ECONOMIC ENJOYMENT OF THE PROPERTY; AND THE VEGETATION CANNOT BE RELOCATED ON THE SITE BECAUSE OF AGE, TYPE OR SIZE.
- B. THE VEGETATION IS DISEASED, INJURED, LOCATED TOO CLOSE TO THE EXISTING OR PROPOSED STRUCTURES, INTERFERES WITH EXISTING UTILITY SERVICE, OR CREATES UNSAFE VISUAL OBSTRUCTION.
- C. THE VEGETATION IS TO BE MOVED TO ANOTHER LOCATION ON THE OWNER'S PROPERTY OR IS TO BE REPLACED BY ANOTHER TREE OR SHRUB ON THE OWNER'S PROPERTY, REGARDLESS OF LOCATION.

IF THE PERMIT IS DENIED, THE DEPARTMENT SHALL NOTIFY THE APPLICANT IN WRITING OF THE BASIS FOR DENIAL USING THE CRITERIA LISTED IN THIS SECTION.

**\*\*\*THE FOLLOWING SPECIES ARE CONSIDERED NATIVE, PROTECTED SPECIES\*\*\*:**

BLACK IRONWOOD, BLACK MANGROVE, BLOLLY, BUTTONWOOD, CABBAGE (SABLE) PALM, COCOPLUM (RED TIP AND GREEN TIP), CORAL BEAN, DEER MOSS, GRAY TWIG, GOPHER APPLE, GUMBO LIMBO, INKWOOD, LAUREL OAK, LEATHER FERN, LIVE OAK, MAHOGANY, MARLBERRY, MASTIC, MULBERRY, MYRTLE OAK, PARADISE TREE, PIGEON PLUM, POND APPLE, PRICKLY PEAR, RED MANGROVE, RED MAPLE, RED BAY, SAFFRON PLUM, SAND PINE, SCRUB PINE, SATINLEAF, SAW PALMETTO, SCRUB HICKORY, SEA GRAPE, SEA OXEYE, SLASH PINE, STOPPERS, WILD LIME, SUMAC (SOUTHERN), SUGAR BERRY (HACKBERRY), TORCHWOOD, WILD COFFEE, VARNISH LEAF, WATER OAK, WAX MYRTLE, WEST INDIAN CHERRY, WHITE MANGROVE.

TOWN OF SEWALL'S POINT, FLORIDA

Date MAY 10 ~~18~~ 2004 TREE REMOVAL PERMIT No 2254

APPLIED FOR BY ENGLE (Contractor or Owner)

Owner 14 PALM ROAD

Sub-division \_\_\_\_\_, Lot \_\_\_\_\_, Block \_\_\_\_\_

Kind of Trees \_\_\_\_\_

No. Of Trees: REMOVE 1 UNKNOWN-DEAD

No. Of Trees: RELOCATE \_\_\_\_\_ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE \_\_\_\_\_ WITHIN 30 DAYS

REMARKS \_\_\_\_\_

\_\_\_\_\_ FEE \$ 0

Signed, \_\_\_\_\_ Applicant Signed, Gene Simmons (GOS) Town Clerk

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspectio  
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Large empty rectangular box with horizontal lines, likely for a site plan or drawing.

PROJECT DESCRIPTION \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
REMARKS \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**TOWN OF SEWALL'S POINT  
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

**Tree Defined:** Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

**No permit required for:**

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than one inch.

**Permit Fee:**

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

**No removal permits will be issued for native species trees:** Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

**Application procedures:**

1. Fill out application information below to include:
  - a. applicant information
  - b. written statement giving reasons for removal, relocation, or replacement if necessary
  - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
  - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner PETER J ENGLE Address 14 PALM RD Phone 486-5766

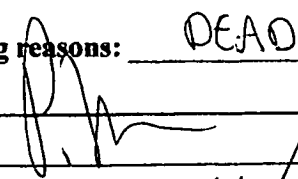
Contractor UNKNOWN Address \_\_\_\_\_ Phone \_\_\_\_\_

No. of Trees: REMOVE 1 Type: UNKNOWN

No. of Trees: RELOCATE \_\_\_\_\_ WITHIN 30 DAYS Type: \_\_\_\_\_

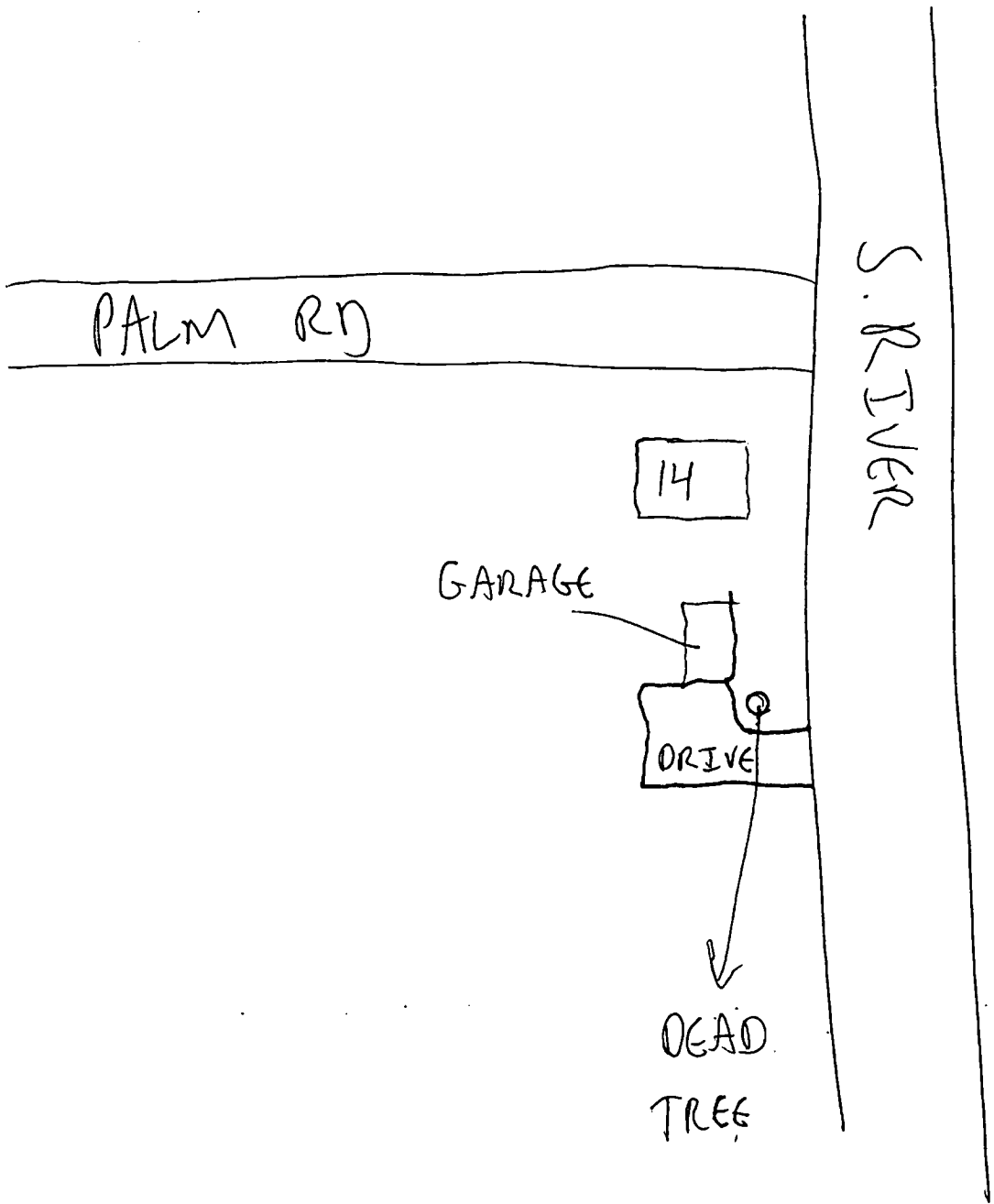
No. of Trees: REPLACE \_\_\_\_\_ WITHIN 30 DAYS Type: \_\_\_\_\_

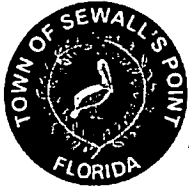
Written statement giving reasons: DEAD. LOCATED AT REAR OF PROPERTY

Signature of Applicant  Date 5/10/04

Approved by Building Inspector:  Date 5/10 Fee: -0-

Plans approved as submitted \_\_\_\_\_ Plans approved as revised/marked: \_\_\_\_\_





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

ok

**TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT**

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner [Redacted] Address [Redacted] Phone 486-5766

Contractor Burgin Stump + Tree Address 4838 SE Chiles Ct Phone 834-0044

No. of Trees: REMOVE 8 Species: LAUREL OAK, ROYAL PALM, SABAL PALM

No. of Trees: RELOCATE \_\_\_\_\_ Species: \_\_\_\_\_

No. of Trees: REPLACE \_\_\_\_\_ Species: \_\_\_\_\_

\*\*\*ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION\*\*\*

Reason for tree removal/relocation (See notice above) Protect foundation root damage. protect house and family safely during hurricane season. allow sunlight to Eastern side

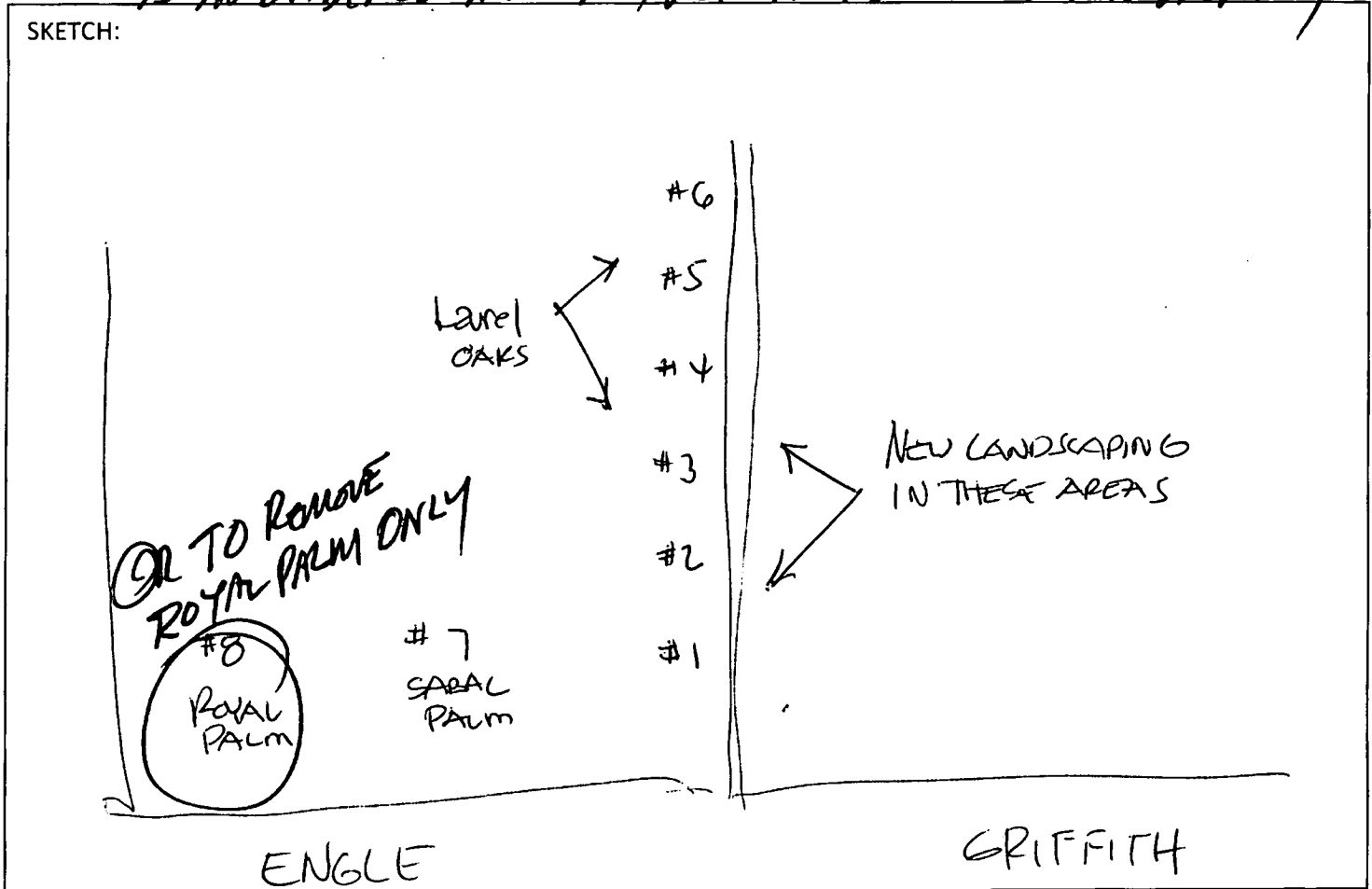
Signature of Property Owner [Signature] Date 1-21-11

Approved by Building Inspector: [Redacted] Date 1-24-11 Fee: \$15

NOTES: LAUREL OAK & SABAL PALM ARE PROTECTED SPECIES. THERE IS NO EVIDENCE THAT THEY POSE ANY DANGER TO THIS PROPERTY

PA  
 CCH  
 8283

SKETCH:



ENGLE

GRIFFITH



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

**TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT**

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner PETE ENGLE Address [REDACTED] Phone 406-5766

Contractor Burgin Stump & Tree Address 4838 SE Philips Ct Phone 834-0044

No. of Trees: REMOVE 8 Species: LAUREL OAK, ROYAL PALM, SABAL PALM

No. of Trees: RELOCATE \_\_\_\_\_ Species: \_\_\_\_\_

No. of Trees: REPLACE \_\_\_\_\_ Species: \_\_\_\_\_

\*\*\*ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION\*\*\*

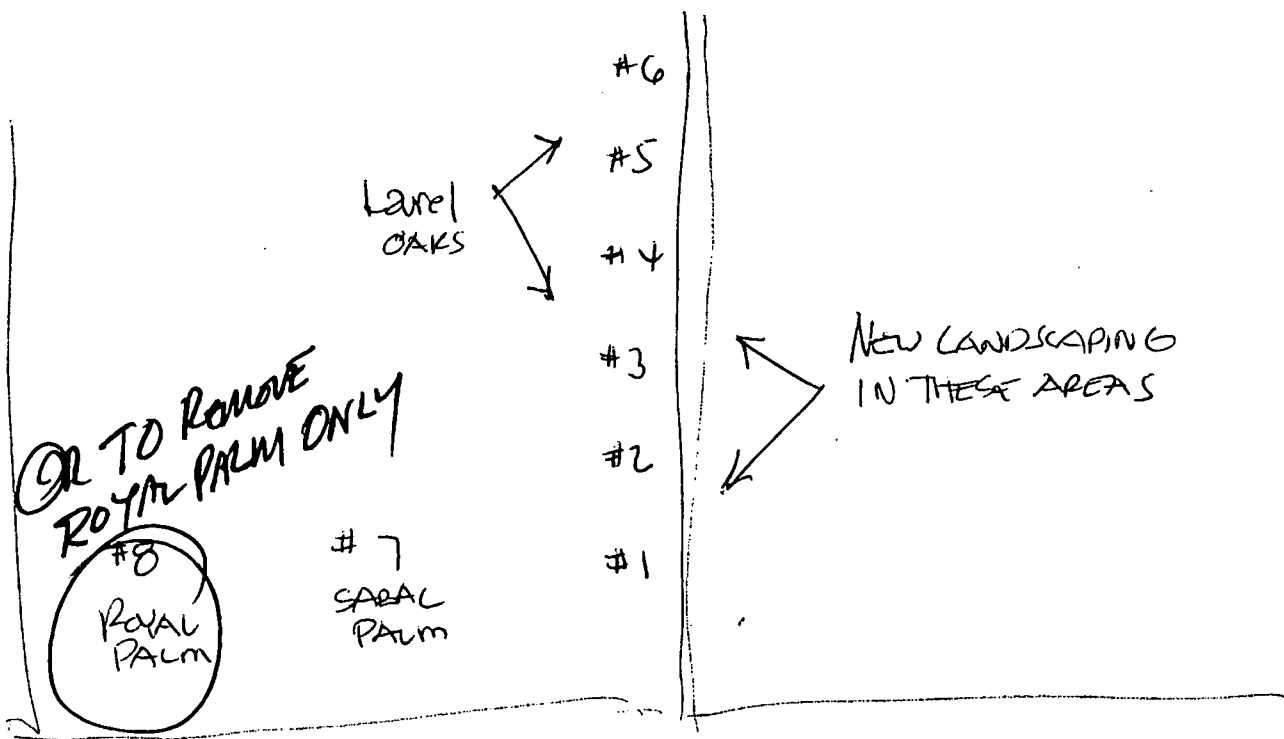
Reason for tree removal/relocation (See notice above) Protect foundation root damage. Protect house and family safely during hurricane season. allow sunlight to Eastern side

Signature of Property Owner [Signature] of property Date 1-21-11

Approved by Building Inspector: 7 DENIED - SEE BELOW Date 1-24-11 Fee: \$15

NOTES: LAUREL OAK & SABAL PALM ARE PROTECTED SPECIES. THERE IS NO EVIDENCE THAT THEY POSE ANY DANGER TO THIS PROPERTY

SKETCH:



ENGLE

GRIFFITH