

17 Palm Road

2636

SFR

PERMIT NUMBER

DATE OF APPLICATION

2636

To obtain a permit the following are required:

1. Florida certification of builder and sub-contractors.
2. Certification of insurance from contractor or owner/builder re: liability and workers' compensation.
3. Two sets of building plans which must include: a) 1/4" scale building drawings, b) plot plan, c) foundation plan, d) floor plans, e) wall and roof cross-sections, f) plumbing, electrical and air conditioning layouts, g) at least two elevations showing the height of building from finished floor. Plans must be sealed by a Florida registered architect or engineer.
4. Recorded warranty deed to the property.
5. Septic tank permit and one set of plans with Martin County Health Department seal.
6. Energy code calculations.
7. Tree removal permit (for trees other than nuisance trees)
8. Certification of elevation from licensed surveyor and determination of flood zone.
9. Amount of fill anticipated - rough sketch showing location of fill
10. Manufacturer's schedule of windows.

Owner Cynthia Gustafson + CRAIG Willert Current Address 1001 East Ocean BLVD. STUART FL.
 Telephone 288-7337

General Contractor PANAVOLA Brothers Address 1850 SW Hackmaster ST. STUART FL.
 Telephone 283-6743

Where Licensed Martin County License Number MC00002

Plumbing Contractor ARROW Plumbing License Number CFC 029692

Electrical Contractor STUART ELECT. License Number 00066

Roofing Contractor PANACHE Const 287-5103 License Number 160

A/C Contractor Personalized AirCon. License Number 160

Describe the building or alterations
 Name the street on which the building, its front building line and its front yard will face 19 Palm Road

Subdivision Lot 9-A Block Block

Building area (inside walls) 4046 Garage, porch, carport area 1368

Contract price (excluding carpet, land, appliances, landscaping) \$1,347,000 \$325,000.00

Cost of permit \$1,347.00 Plans approved as submitted _____ as marked _____

In addition, the following are understood by owner and contractor:

1. Building area inside walls must be a minimum of 1,500 square feet.
2. Building permit fees are \$5. per sq. ft. of the cost of the building, plus \$50. each for plumbing, electric, a.c. and roof. For example a \$100,000. building = \$500. plus \$200. (a.c., pl., el., roof) = \$700. cost of permit + \$365 impact fee = \$1,065. total. Also there is a charge of 1 cent per square foot for radon gas trust fund.
3. If no contract is submitted as proof as cost, the permit will be based on \$60. per square foot (inside walls) and \$25. per square foot (other areas). Owner-builder cost is 25% higher than the regular fee.
4. The Town has adopted the South Florida Building Code.
5. Building permits are issued for one year's duration.
6. Construction must be started within 180 days or permit will be subject to revocation and forfeiture of fee.
7. ALL changes in plans must be approved by the Building Department.
8. Work hours are 8:AM to 3:PM Monday through Friday. NO SUNDAY WORK
9. Portable toilets must be on all construction sites.
10. Inspections are made Monday through Friday, 8:AM to Noon, 1:PM to 4:PM. 24 hour notice is required prior to all inspections.
11. String lines along property lines to facilitate set back inspections.
12. Before a certificate of occupancy is issued, the following are required:

- a. An owner's affidavit of building cost (form available) any discrepancy between the original fee and final fee (based on affidavit) will be adjusted.
- b. Approval of septic tank installation by Martin Co. Health Dept.
- c. Rough grading and clean up of grounds.
- d. Affidavit from licensed surveyor showing slab elevation (if in "A" zone).

13. THIS SUMMARY IS NOT A SUBSTITUTE FOR TOWN ORDINANCES. APPROVAL OF THE BUILDING PLANS IN NO WAY RELIEVES THE OWNER OR CONTRACTOR FROM COMPLIANCE WITH TOWN ORDINANCES.

14. In addition to the requirements of this permit there may be additional restrictions applicable to this property that may be found in the public records of this County.

Contractor's Signature Bill Panavola Owner's Signature Cynthia Gustafson
 Approval by Building Inspector Wade Brown Date 10/25/89
 Approval by Building Commission Wade Clarke Date 10/18/89
 Certificate of Occupancy issued _____ Date 5/7/90

2636

701251

This instrument was prepared by:

ALLEN K. McCORMICK
Attorney at Law
217 North Eola Drive
ORLANDO, FLORIDA 32801

Warranty Deed

 (STATUTORY FORM—SECTION 689.02 F.S.)

This Indenture, Made this 26th day of January 1988, Between
PHILIP BAROUDI

of the County of Warren, State of New York

CRAIG WILLERT and CYNTHIA GUSTAFSON, his wife

whose post office address is 1001 East Ocean Blvd., Stuart, Florida 34994

of the County of Martin, State of Florida

Witnesseth, That said grantor, for and in consideration of the sum of \$10.00----

-----Dollars,

and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida, to-wit:

Lot 9-A, REVISED & AMENDED PLAT OF PALM ROW according to the plat thereof filed May 16, 1968 and recorded in Plat Book 4, Page 68, Martin County, Florida public records.

Together with an easement over present drive that extends westward from road known as Palm Road, and said easement is for ingress and egress and shall only be transferred when Lot 9A is sold or disposed of, and shall be from the northwest corner of Lot 9A Eastward to Palm Road.

Subject to easements and restrictions of record, however, this reference shall not operate to reimpose the same.

This property is not the homestead of the Grantor who is a permanent resident of the State of New York.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

* "Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof, Grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Hilda L. Miller

Philip Baroudi (Seal)
PHILIP BAROUDI

Jessie Baroudi

(Seal)

(Seal)

(Seal)

STATE OF NEW YORK
COUNTY OF WARREN

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments, personally appeared PHILIP BAROUDI

BY
ALLEN K. McCORMICK
ATTORNEY AT LAW
COUNTY OF MARTIN
FLORIDA
RECORDED FOR PUBLIC RECORDS
MAY 10 AM 10:22
GRANTEE*

20
1968
JAN 22
1968

Witnesseth, That said grantor, for and in consideration of the sum of \$10.00-----

-----Dollars,

and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Martin** County, Florida, to-wit:

Lot 9-A, REVISED & AMENDED PLAT OF PALM ROW according to the plat thereof filed May 16, 1968 and recorded in Plat Book 4, Page 68, Martin County, Florida public records.

Together with an easement over present drive that extends westward from road known as Palm Road, and said easement is for ingress and egress and shall only be transferred when Lot 9A is sold or disposed of, and shall be from the northwest corner of Lot 9A Eastward to Palm Road.

Subject to easements and restrictions of record, however, this reference shall not operate to reimpose the same.

This property is not the homestead of the Grantor who is a permanent resident of the State of New York.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

* "Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof,

Grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Hilda L. Miller

Philip Baroudi (Seal)
PHILIP BAROUDI

J. J. [Signature]

(Seal)

(Seal)

(Seal)

STATE OF NEW YORK
COUNTY OF WARREN

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments, personally appeared PHILIP BAROUDI

to me known to be the person described in and who executed the foregoing instrument and acknowledged before me that he executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 26th day of January

1988.

FLA. DOC. PAID

\$ 495⁰⁰

Hilda L. Miller

Notary Public

My commission expires: 10/31/89

Marsha Stiller
Clerk of Circuit Court
Martin Co., Fla.
By [Signature] D.C.

HILDA L. MILLER
NOTARY PUBLIC, STATE OF NEW YORK
NO. 1-2765525
RESIDING IN WARREN COUNTY
TERM EXPIRES 10/31/89

U R BOOK 756 PAGE 1109



Ardaman & Associates, Inc.

CITY COPY



P.O. BOX 8687
Port St. Lucie, Florida 34985
(305) 337-1200

BP #2636

FIELD DENSITY TEST REPORT

PROJECT: Lot 9A, Palm Road
Sewells Point

FILE NO.: 89-5523

REPORTED TO: Paavola Brothers

REPORT NO.: 8

PAGE NO.: 1 OF 1

DATE: October 24, 1989

Table with 8 columns: TEST NO., LOCATION, TEST DATE, MDR. NO., DRY DENSITY (PCF), MOISTURE (%), DEPTH/ELEVATION, PERCENT COMPACTION. Contains 4 rows of test data.

FIELD TEST: ASTM D2937 [X] D2922 [] D2167 [] D1556 []
MINIMUM COMPACTION REQUIRED: 95 PERCENT

LABORATORY MOISTURE - DENSITY RELATIONSHIPS table with columns: MDR NO., TEST METHOD, MAXIMUM DENSITY @ OPTIMUM MOISTURE. Row 1: 1, ASTM D-1557, 121.3 PCF @ 11.0 %.

MSL = MEAN SEA LEVEL FS = FLOOR SLAB SUBGRADE
LR = LIMEROCK BASE GR = GRADE
SG = STABILIZED SUBGRADE NG = NATURAL GROUND
FFG = FINISH FLOOR GRADE PR = PENETROMETER READING
BOF = BOTTOM OF FOUNDATION PD = PROBE DEPTH

By [Signature]



Ardaman & Associates, Inc.

P. O. Box 8687
Port St. Lucie, Florida 34985
(407) 337-1200

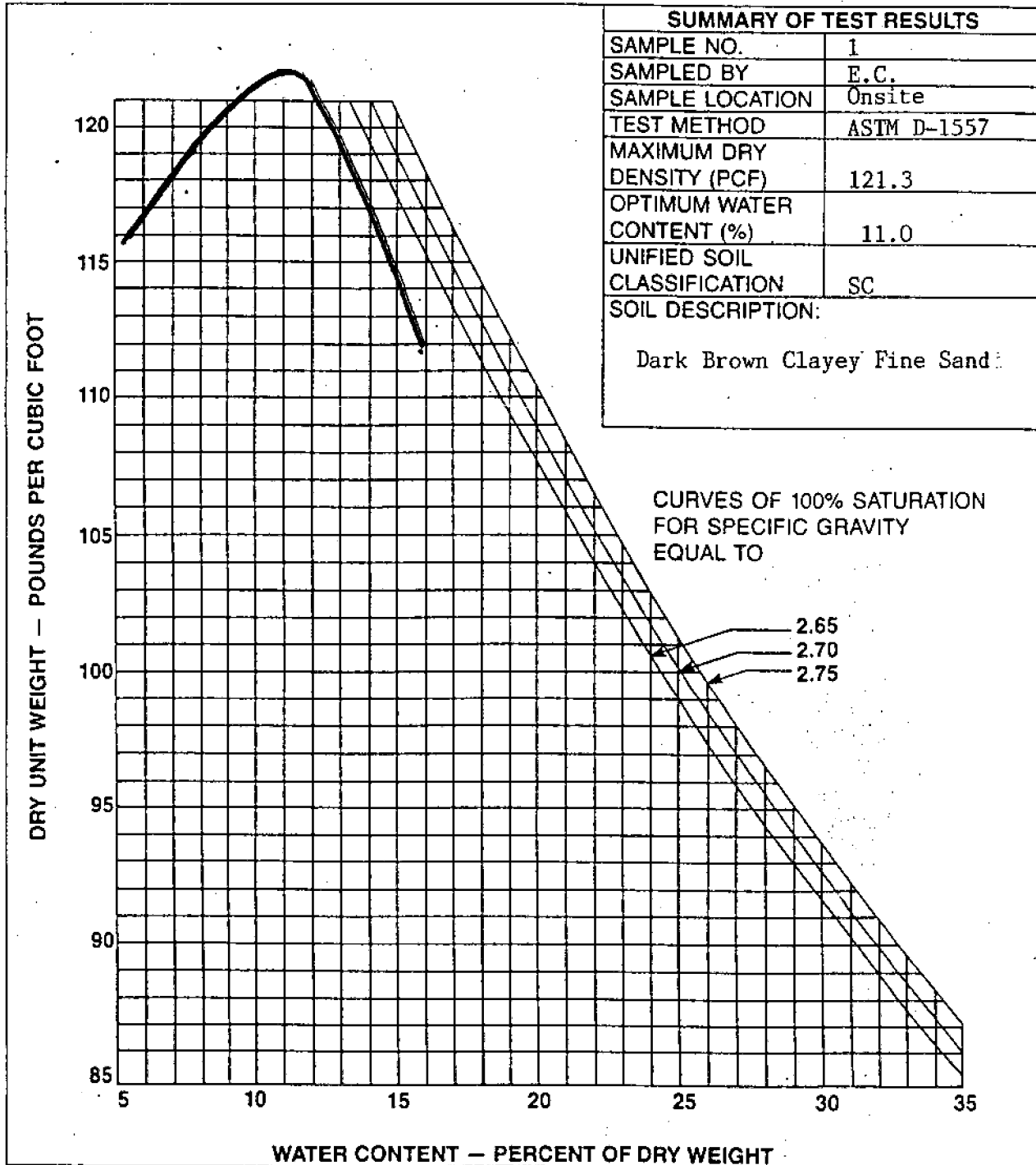


MOISTURE - DENSITY RELATIONSHIP

BP #2636

PROJECT: Lot 9A, Palm Road
Sewells Point
REPORTED TO: Paavola Brothers

FILE NO.: 89-5523
DATE: October 24, 1989



FORM 407 (Rev. 4/86)

By *[Signature]*

CONSTRUCTION CONTRACT

This contract is contingent upon securing of a mortgage loan by the Owners, Craig Willert and Cynthia Gustafson.

This contract entered into by CUSTOM HOMES BY PAAVOLA BROTHERS herein-after called the Contractor and Craig Willert and Cynthia Gustafson, herein-after called the Owners. Entered into this 8 day of October, 1989.

Contractor estimates his work will commence within seven days of issuance of the building permit and will continue for approximately six months.

The Contractor shall carry Workmen's Compensation Insurance providing compensation for accidental injuries or death of any of his employees occurring in the course of employment on this work, and shall compel each of his Sub-Contractors to carry similar insurance, all in strict compliance with State laws, and fully to protect the Owner from any claims arising out of accident to workmen occurring during any and all operations under this contract. The contractor shall also carry Public Liability Insurance acceptable to the Owner and in sufficient amount fully to protect the Owner from any claims due to injuries or death to persons not employed on this work which may arise out of accident occurring during any and all operations under this Contract. Such insurance shall not be less than \$100,000/\$300,000 per person per occurrence respectively, bodily injury, and \$100,000 property damage, including automobile and non-owned automobile.

The contractor shall obtain any and all building permits and licenses which may be required, and pay for same, and shall give all required notices and shall pay all fees and taxes which are required in connection with this work.

The Contractor shall guarantee all materials and workmanship against original defects or against injury from proper and usual wear when used for the purpose intended, for one year, except as otherwise noted, from date of payment of final requisition and shall maintain all items in first-class condition within such time. Defects appearing within this period shall be made good by the Contractor.

The General Contractor shall assume liability for any damage done to adjoining properties or persons whether same be caused by ordinary progress of the building construction or by carelessness, or by accidental handling of materials, or by any acts of his employees. He shall not utilize these adjoining properties to place or store any materials, without the express consent of the adjoining property owners or their duly authorized agents.

CONTRACTOR WILL SUPPLY BUILDERS RISK INSURANCE
1
AN E.P. V.P.
CM

Contract price . \$325,000

The contract price includes lot clearing, preparation, fill for the lot, sod, 1 well, septic, concrete, framing, painting, utilities (water, electric, and sewer hookup), cabinet and vanity installation and all other work and material specified in the architectural drawing, except for the items specified below b).

Allowances:

Stairway \$15,000
lighting fixtures and fans \$5000
Floor covering \$16,000
Fireplace \$2500
plumbing fixtures \$6100
Windows and exterior doors \$35,000
Bathroom wall tiles \$1,500
Security system and vacuum \$2,000
ROOF TILE ALLOWANCE \$ 15,000 E.P.V.P.
CW (4)

b) not included in contract price:

Pool and enclosure
appliances
cabinets, tops, and vanities (Installation is included)
Bank costs and architect fees
Sprinkler system and landscaping (sod is included)
privacy wall

If allowances are exceeded, Gustafson/Willert will pay the excess. If the allowances are not attained, either the money will be refunded to Gustafson/Willert or that money will be applied to another allowance.

The quality of materials not specified will be in keeping with the overall quality of the house.

Esko Paavola
Esko Paavola

Veili Paavola
Veili Paavola

Craig S. Willert
Craig Willert

Cynthia Gustafson
Cynthia Gustafson



STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

STUBOUT ELEVATION AND EXCAVATION CERTIFICATION



APPLICANT: Kelly + Kelly SEPTIC TANK PERMIT NO. H1089-519
LEGAL DESCRIPTION: Lot 19-A Palms Row

The items which are checked off below must be certified by a surveyor or engineer and returned to the Martin County Health Unit prior to the first plumbing inspection by the Building Department.

- 1. Building Permit Number: _____ .(Certification not required for this item).
- 2. I certify that the elevation of the top of the lowest plumbing stubout is _____ inches above benchmark elevation as indicated on septic tank permit.
- 3. I certify that the top of the lowest building plumbing stubout is _____ inches above crown of road elevation shown on septic tank permit.
- 4. I certify that all severe limited soil has been removed from an area of _____ feet by _____ feet to a minimum depth of six(6) feet below top of required stubout elevation. Submit plot plan to scale of excavated area.

Date Observed: _____

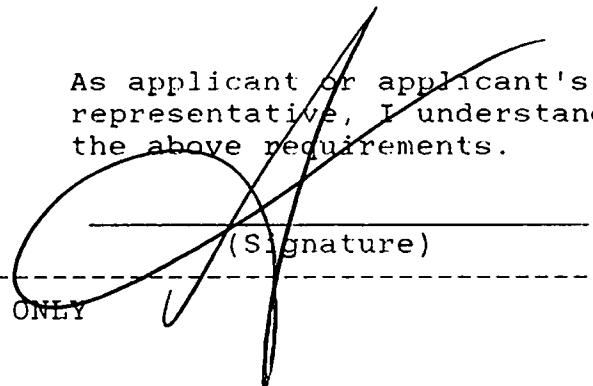
- 5. I certify that the top of the drainfield pipe elevation is _____ .

NOTE: a. Severe limited soil includes but is not limited to hardpan, clay, silt, marl or muck.
b. Drainfield must be centered in the excavated area. Drainfield will not be approved if severe limited soils are not removed.

CERTIFIED BY: _____

As applicant or applicant's representative, I understand the above requirements.

Date: _____ Job Number: _____



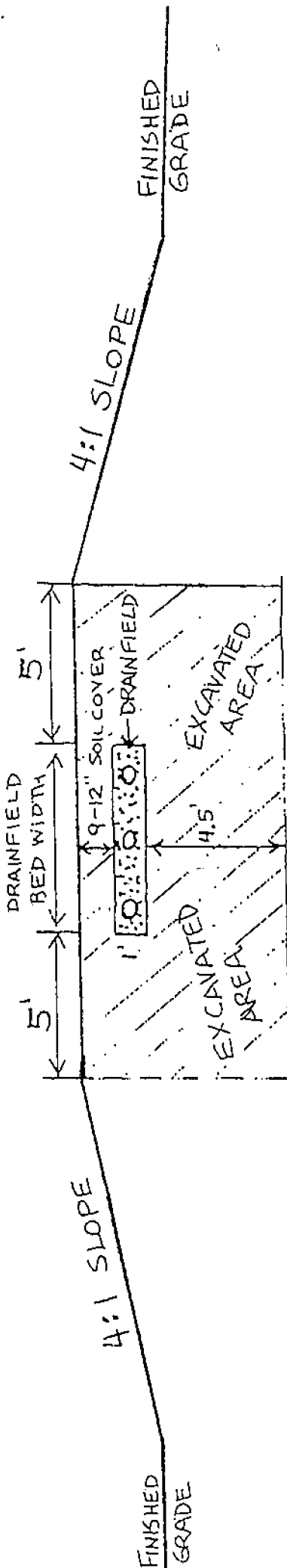
(Signature)

FOR MARTIN COUNTY PUBLIC HEALTH UNIT USE ONLY

Martin County Health Unit Approval Signature

(Date)

DRAINFIELD MOUND REQUIREMENTS

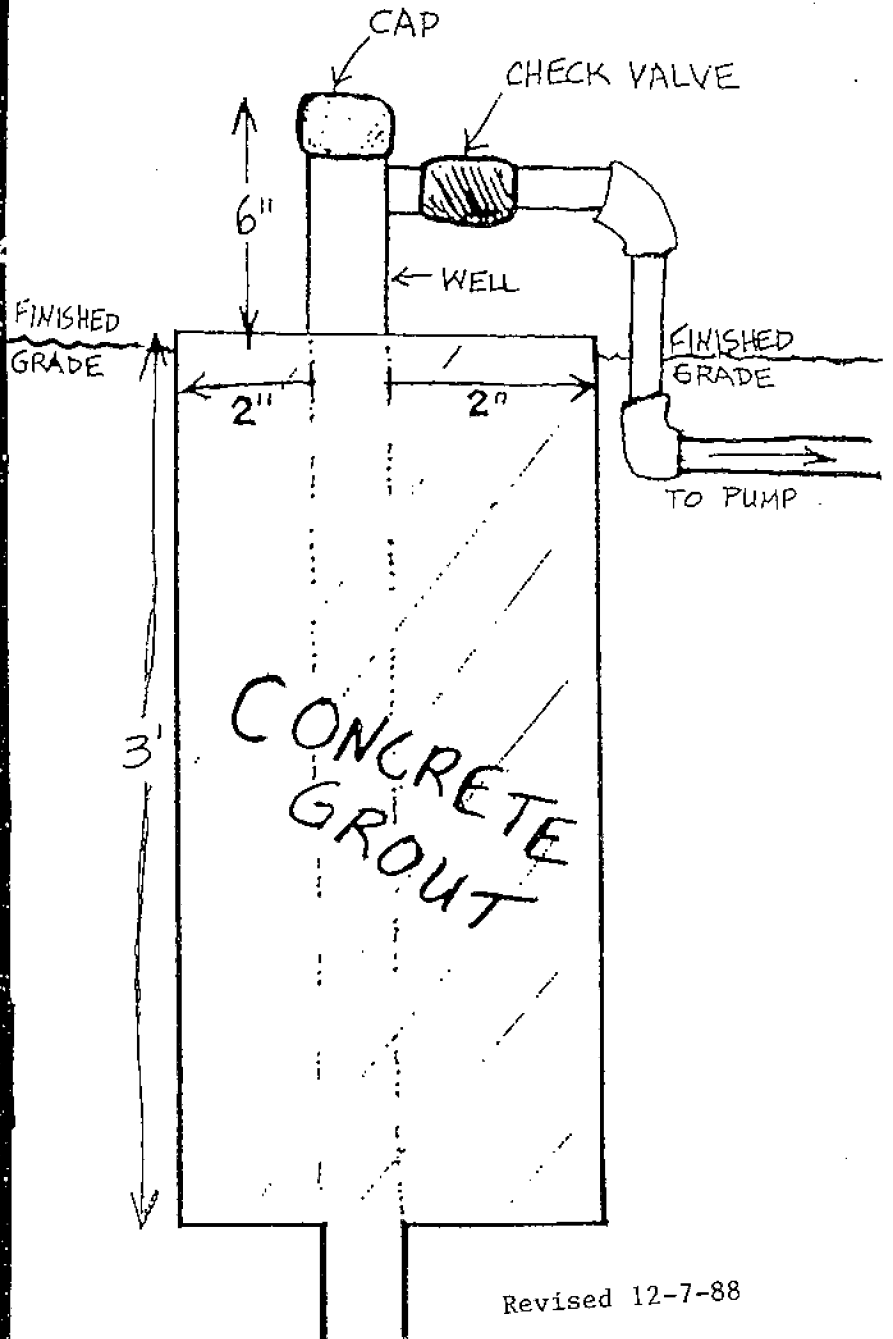


NMC 4185

WELL REQUIREMENTS

NOTE:
 ALL WELLS MUST BE GROUTED AT LEAST 2" AROUND WELL CASING TO A DEPTH OF 3'. WELL CASING MUST EXTEND 6" ABOVE FINISHED GRADE AS SHOWN BELOW. NOTE LOCATION OF CHECK VALVE.

NOTE: THESE REQUIREMENTS MUST BE MET PRIOR TO FINAL APPROVAL.



Revised 12-7-88



STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM

PERMIT NUMBER HD89-519 HOME PHONE 283-3492
NAME OF APPLICANT KELLY & KELLY WORK PHONE 288-7176
MAILING ADDRESS OF APPLICANT 118 W. 6TH STREET
STUART, FL. ZIP CODE 34994
LOT 9-A BLOCK _____ SUBDIVISION Palm Row
IF NOT SUBDIVIDED, ATTACH A COMPLETE LEGAL DESCRIPTION
PLAT BOOK 4 PAGE 68 DATE SUBDIVIDED MAY, 1968
RESIDENTIAL: NUMBER DWELLING UNITS 1 NUMBER BEDROOMS 5
LOT SIZE 16,500 FT² HEATED OR COOLED AREA OF HOME 4046 FT²
COMMERCIAL: TYPE OF BUSINESS PROPOSED _____
BUILDING SIZE _____ FT²

JOB NO. 1285-04-01

-----AFFIDAVIT-----

I HAVE REVIEWED THIS PERMIT AND I CERTIFY THAT ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT AND ANY APPLICABLE STATE OR COUNTY REGULATIONS.

SIGNATURE OF PROPERTY OWNER OR OWNER'S LEGALLY AUTHORIZED REPRESENTATIVE

STEPHEN J. BROWN

-----INSTALLATION SPECIFICATIONS-----

SEPTIC TANK CAPACITY 1350 GALLONS
DRAINFIELD SIZE 600 SQUARE FEET
DRAINFIELD ROCK MUST BE 5 FEET FROM FRONT OR REAR PROPERTY LINES AND 5 FEET FROM SIDE PROPERTY LINES. EXCAVATION CAN NOT EXTEND MORE THAN FIVE FEET FROM APPROVED INSTALLATION AREA.

SEPTIC TANK IS REQUIRED TO BE AT FINISHED SOIL GRADE, DO NOT EXCEED 18 INCHES OF COVER OVER DRAINFIELD ROCK.

ISSUED BY: A. Copert DATE 10/3/89
MARTIN COUNTY PUBLIC HEALTH UNIT

PLEASE NOTE:

- (1) IF BUILDING CONSTRUCTION DOES NOT START WITHIN ONE YEAR FROM DATE OF ISSUANCE, THIS PERMIT EXPIRES. IF BUILDING CONSTRUCTION STARTS WITHIN 1 YEAR FROM DATE OF ISSUANCE, THE DATE OF EXPIRATION WILL BE EXTENDED AN ADDITIONAL 90 DAYS.
- (2) APPLICANT IS RESPONSIBLE FOR REPLACING EXCAVATED SOILS WITH A GOOD GRADE OF SAND.
- (3) \$60 REINSPECTION FEE IF WELL NOT INSTALLED AT TIME OF ONSITE SEWAGE DISPOSAL SYSTEM INSPECTION.
- (4) INSPECTION RESULTS WILL BE POSTED ON BUILDING PERMIT OR ON ELECTRICAL BOX.
- (5) IF BUILDING STUBOUT IS PLACED MORE THAN 20 FEET FROM SEPTIC TANK OR DRAINFIELD, A HIGHER STUBOUT ELEVATION THAN SHOWN ABOVE WILL BE REQUIRED.
- (6) IF FILL IS REQUIRED, CONTACT MARTIN COUNTY BUILDING DIVISION.
- (7) IF ANY INFORMATION ON THIS PERMIT CHANGES, AN UPDATED APPLICATION IS REQUIRED.
- (8) IF WELL OR MOUND DRAINFIELD IS PROPOSED, SEE ATTACHED SKETCH OF ADDITIONAL SPECIAL REQUIREMENTS.

-----FINAL INSPECTION-----

CONSTRUCTION APPROVED BY: _____ DATE _____
MARTIN COUNTY PUBLIC HEALTH UNIT

AN APPROVED SYSTEM DOES NOT GUARANTEE PERFORMANCE



STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

Prepared By: Stephen J. Brown, Inc. Prof. Land Surveyor
290 Florida Street, Stuart, FL. 34994
407-288-7176

APPLICANT KELLY & KELLY
LEGAL DESCRIPTION lot 9-A, Palm Row

-----SITE INFORMATION-----

1. IS THERE A SEPTIC SYSTEM OR OTHER INTERFERENCE WITHIN 75 FEET OF THE PROPOSED PRIVATE WELL? NO
2. IS THERE A POTABLE PRIVATE WELL WITHIN 75 FEET OF THE PROPOSED AVAILABLE AREA FOR THE PROPOSED SEPTIC SYSTEM? NO
3. IS THERE AN IRRIGATION WELL WITHIN 50 FEET OF THE AVAILABLE AREA FOR THE PROPOSED SEPTIC SYSTEM? NO
4. IS THERE A PUBLIC WELL THAT SERVES LESS THAN 25 PEOPLE OR LESS THAN 15 HOMES WITHIN 100 FEET OF THE PROPOSED SEPTIC SYSTEM? NO
5. IS THERE A PUBLIC WELL WHICH SERVES MORE THAN 25 PEOPLE OR MORE THAN 15 HOMES WITHIN 200 FEET OF THE PROPOSED SEPTIC SYSTEM? NO
6. IS THERE A GRAVITY SEWER LINE OR LIFT STATION WITHIN 100 FEET OF THE PROPOSED LOT? NO
7. IS THERE A LAKE, STREAM, WETLAND, OR SURFACE WATER WITHIN 75 FEET OF THE PROPOSED AVAILABLE AREA FOR THE PROPOSED SEPTIC SYSTEM? NO
8. IS THERE A PROPOSED OR EXISTING PUBLIC DRINKING WATER LINE WITHIN 10 FEET OF THE PROPOSED SEPTIC SYSTEM? NO
9. IS THERE A STORM WATER RETENTION AREA OR DRAINAGE EASEMENT WITHIN 15 FEET OF THE PROPOSED SEPTIC SYSTEM? NO
10. IS THE SEPTIC SYSTEM IN AN AREA PROPOSED FOR PAVING OR VEHICULAR TRAFFIC? NO
11. ARE ALL PRIVATE WELLS, SEPTIC SYSTEMS AND SURFACE WATER ON ADJACENT OR CONTIGUOUS LAND WITHIN 75 FEET OF THE APPLICANT'S LOT, IF PRESENT, SHOWN ON PLOT PLAN? YES
12. ARE ALL PUBLIC WELLS WITHIN 200 FEET OF THE APPLICANT'S LOT, IF PRESENT, SHOWN ON PLOT PLAN? YES
13. DOES THE PLOT PLAN INCLUDE A PLAT OF THE LOT OR TOTAL SITE OWNERSHIP DRAWN TO SCALE, BOUNDARIES WITH DIMENSIONS, LOCATIONS OF BUILDING OR RESIDENCES, SWIMMING POOLS, RECORDED EASEMENTS, THE PROPOSED SEPTIC SYSTEM, ANY PROPOSED OR EXISTING WELLS, PUBLIC WATER LINES, PAVED AREAS OR DRIVEWAYS, AND SURFACE WATERS SUCH AS LAKES, PONDS, STREAMS, CANALS, OR WETLANDS? YES
14. THERE IS 1290 SQUARE FEET OF AVAILABLE LAND TO INSTALL THE SEPTIC SYSTEM. THIS AREA EXCLUDES INTERFERENCES. SHADE THIS AVAILABLE AREA ON PLOT PLAN.

-----ELEVATIONS-----

1. CROWN OF ROAD ELEVATION 17.89 NGVD SHOW LOCATION ON PLOT PLAN. IF ROAD IS NOT PAVED, BENCHMARK ELEVATION NONE NGVD SHOW LOCATION ON PLOT PLAN.
2. NATURAL GRADE ELEVATION IN AREA OF PROPOSED SEPTIC SYSTEM 16.84 ~~30.28~~ NGVD SHOW LOCATION ON PLOT PLAN.
2. IS BUILDING LOCATED IN FLOOD HAZARD AREA "A" OR "V" AS IDENTIFIED ON FEMA MAPS? No IF YES, WHAT IS THE MINIMUM REQUIRED FLOOD HAZARD FLOOR ELEVATION OF BUILDING? _____ NGVD.

NOTE: MUST BE CERTIFIED BY A FLORIDA REGISTERED SURVEYOR OF ENGINEER.

CERTIFIED BY: STEPHEN J. BROWN
FL PROFESSIONAL NO. 4049
DATE: 9/26/89 JOB NO. 1885-04-01

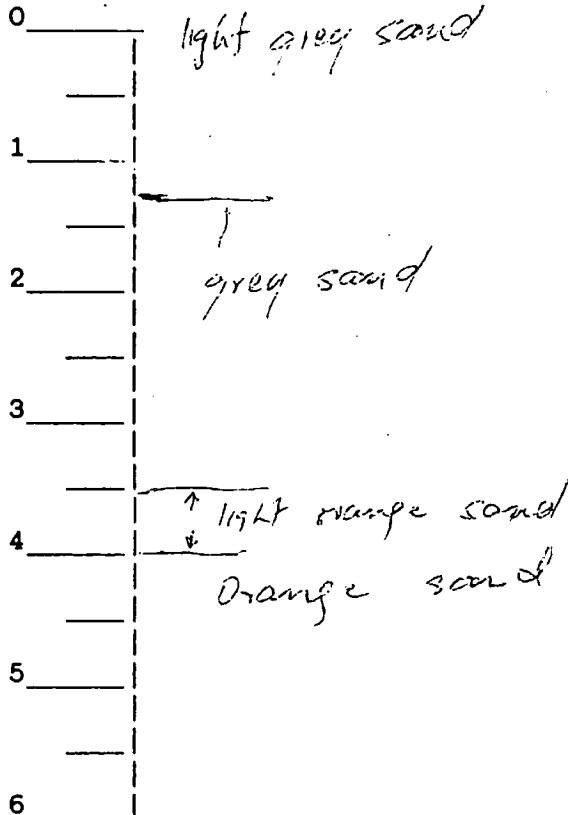


STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

SITE EVALUATION

APPLICANT: Kelly + Kelly
LEGAL DESCRIPTION: Lot 9-A Palm Row

SOIL PROFILE



USDA SOIL TYPE Paola
USDA SOIL NUMBER 6

Restrictive soils are present
at >6' below the
surface.

Present Water Depth Below Surface >6'
Wet Season Range per Soil Survey >6'
Estimated Wet Season Water Depth Below Surface >6'
Indicator Vegetation Present Cabbage Palm ; Oak
Is Benchmark Located on Plot Plan and Present on Site? yes
Approximate Amount of Fill on Neighbor Lots 0'-1'
Depth of Fill in Soil Profile 0
How Long Has Fill Been Present old
Evaluation by: W. Richards Date: 10-2-89

MARCH 1988

TREASURE COAST CHAPTER, INC
OF THE ALUMINUM ASSOCIATION
OF FLORIDA



PREPARED BY:

NASH ENGINEERING, INC.
810 SATURN ST. SUITE 16
JUPITER, FLORIDA 33477
(305)747-7254

ROOF PAN (ALLOY 3003 H-16)	PAN THICKNESS	Sx	MAX. SPAN @ WIND VELOCITIES SHOWN		
1.75" PAN #/032 CLEAT	.032	.238in ³	100MPH	110MPH	120MPH
					10'
CLEAT ALTERNATIVES FOR 1-3/4" PAN					
T-BAR	.032				11'
T-BAR	.032				11'
EXTRUDED "T" CLEAT	.032				13'

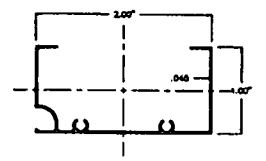
NOTE:
PANS MAY OVERHANG 1/3 OF SIMPLE SPAN. SPANS MAY BE INCREASED 2% FOR EACH 12" OF OVERHANG UP TO 3'-0". CONSULT AN ENGINEER FOR GREATER OVERHANG.

CLEATED ROOF PANS

ROOF PAN (ALLOY 3003 H-16)	PAN THICKNESS	Sx	MAX. SPAN @ WIND VELOCITIES SHOWN		
2" INTERLOCKING PANEL	.024	.450in ³	100MPH	110MPH	120MPH
					13'-4"
	.032	.608in ³			15'-8"
	.032	.346in ³			11'-0"

NOTE:
PANS MAY OVERHANG 1/3 OF SIMPLE SPAN. SPANS MAY BE INCREASED 2% FOR EACH 12" OF OVERHANG UP TO 3'-0". CONSULT AN ENGINEER FOR GREATER OVERHANG.

INTERLOCKING ROOF PANS

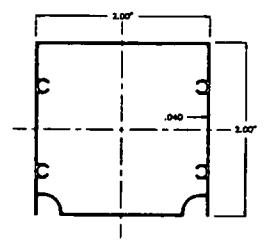


1"x2" OPEN BACK
ALLOY 6063-T5
A = 0.233in²
WT = 0.280#/L.F.
I = 0.1425in⁴
Sx = 0.1425in³

SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 10# PER S.F.	SOLID WALL 25# PER S.F.	SOLID ROOF 30# PER S.F.
3'	8'-8"	7'-4"	4'-8"	4'-0"
4'	7'-4"	6'-2"	3'-10"	3'-8"
5'	6'-7"	5'-2"	3'-8"	3'-2"
6'	6'-0"	5'-0"	3'-2"	2'-10"
7'	5'-8"	4'-8"	2'-11"	2'-8"
8'	5'-2"	4'-4"	2'-9"	2'-6"
9'	4'-10"	4'-2"	2'-8"	2'-4"
10'	4'-8"	3'-10"	2'-5"	2'-3"

1"x2" OPEN BACK

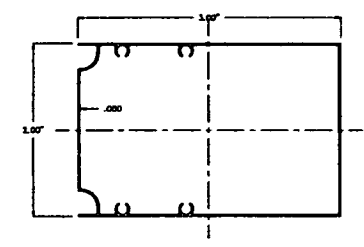


2"x2" PATIO BEAM
ALLOY 6063-T5
A = 0.412in²
WT = 0.494#/L.F.
I = 0.2133in⁴
Sx = 0.2133in³

SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 10# PER S.F.	SOLID WALL 25# PER S.F.	SOLID ROOF 30# PER S.F.
3'	10'-5"	8'-8"	5'-8"	5'-0"
4'	9'-0"	7'-8"	4'-9"	4'-4"
5'	8'-0"	6'-9"	4'-3"	3'-10"
6'	7'-4"	6'-2"	3'-10"	3'-8"
7'	6'-10"	5'-8"	3'-8"	3'-4"
8'	6'-4"	5'-4"	3'-4"	3'-0"
9'	6'-0"	5'-0"	3'-2"	2'-11"
10'	5'-8"	4'-9"	3'-0"	2'-9"

2"x2" PATIO BEAM

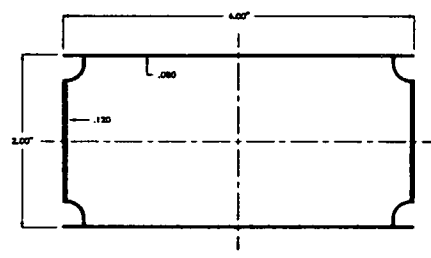


2"x3" PATIO BEAM
ALLOY 6063-T5
A = 0.65in²
WT = 0.78#/L.F.
I = 0.741in⁴
Rx = 1.088in
Sb = 0.4359in³
Sx = 0.57in³

SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 10# PER S.F.	SOLID WALL 25# PER S.F.	SOLID ROOF 30# PER S.F.
3'	16'-5"	13'-9"	8'-8"	8'-0"
4'	14'-3"	11'-11"	7'-8"	6'-11"
5'	12'-9"	10'-8"	6'-9"	6'-2"
6'	11'-8"	9'-9"	6'-2"	5'-7"
7'	10'-9"	9'-1"	5'-8"	5'-2"
8'	10'-1"	8'-5"	5'-4"	4'-10"
9'	9'-6"	7'-11"	5'-0"	4'-7"
10'	9'-1"	7'-8"	4'-9"	4'-4"

2"x3" PATIO BEAM

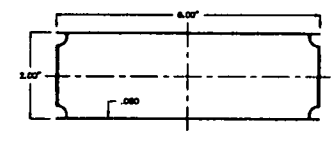


2"x4" SELF MATING BEAM
ALLOY 6063-T6
WALL = .050
FLANGE = .120
A = 0.950in²
WT = 1.14#/L.F.
I = 2.45in⁴
Sx = 1.25in³

SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 10# PER S.F.	SOLID WALL 25# PER S.F.	SOLID ROOF 30# PER S.F.
3'	25'-0"	20'-11"	13'-3"	12'-0"
4'	21'-8"	18'-1"	11'-5"	10'-5"
5'	19'-4"	16'-2"	10'-3"	9'-4"
6'	17'-8"	14'-9"	9'-4"	8'-8"
7'	16'-4"	13'-8"	8'-8"	7'-11"
8'	15'-3"	12'-10"	8'-0"	7'-4"
9'	14'-4"	12'-0"	7'-8"	7'-0"
10'	13'-8"	11'-5"	7'-3"	6'-7"

2"x4" SELF MATING BEAM

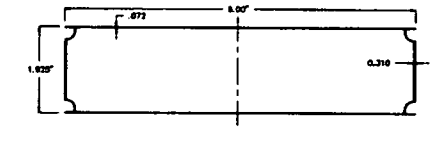


2"x6" SELF MATING BEAM
ALLOY 6063-T6
A = 1.386in²
WT = 1.67#/L.F.
I = 8.46in⁴
Sx = 2.82in³

SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 10# PER S.F.	SOLID WALL 25# PER S.F.	SOLID ROOF 30# PER S.F.
3'	37'-10"	31'-8"	20'-0"	18'-3"
4'	32'-9"	27'-5"	17'-4"	15'-10"
5'	29'-4"	24'-8"	15'-8"	14'-2"
6'	26'-9"	22'-5"	14'-2"	12'-11"
7'	24'-9"	20'-8"	13'-1"	12'-0"
8'	23'-2"	19'-5"	12'-3"	11'-2"
9'	21'-10"	18'-3"	11'-6"	10'-8"
10'	20'-9"	17'-4"	11'-0"	10'-0"

2"x6" SELF MATING BEAM

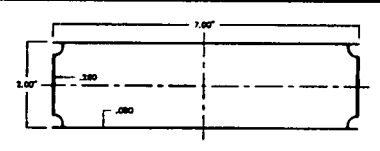


2"x9" SELF MATING BEAM
ALLOY 6063-T6
A = 2.630 S.I.
WT = 1.578#/L.F.
Sx = 7.21in³

MAXIMUM CLEAR SPAN FOR SCREENED ROOF BEAMS AT VARIOUS BEAM SPACING

5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
---	---	52'-8"	50'-0"	48'-8"	47'-0"	45'-8"

2"x9" SELF MATING BEAM



2"x7" SELF MATING BEAM
ALLOY 6063-T6
A = 1.782in²
WT = 2.14#/L.F.
I = 17.139in⁴
Sx = 4.89in³

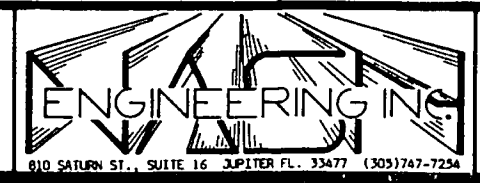
SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 10# PER S.F.	SOLID WALL 25# PER S.F.	SOLID ROOF 30# PER S.F.
3'	49'-4"	41'-4"	26'-2"	23'-10"
4'	42'-9"	35'-9"	22'-8"	20'-8"
5'	38'-3"	32'-0"	20'-3"	18'-5"
6'	35'-0"	29'-2"	18'-5"	18'-10"
7'	32'-4"	27'-0"	17'-1"	15'-7"
8'	30'-3"	25'-3"	16'-0"	14'-7"
9'	28'-6"	23'-10"	15'-0"	13'-9"
10'	27'-0"	22'-8"	14'-4"	13'-0"

2"x7" SELF MATING BEAM

DATE	BY	DESCRIPTION
4-8-88	JC	MOVED DETAILS AROUND ON ALL 5 PAGES
4-25-88	JC	ADDED SPAN DEFINITION SHOTS

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OF THE ALUMINUM ASSOCIATION
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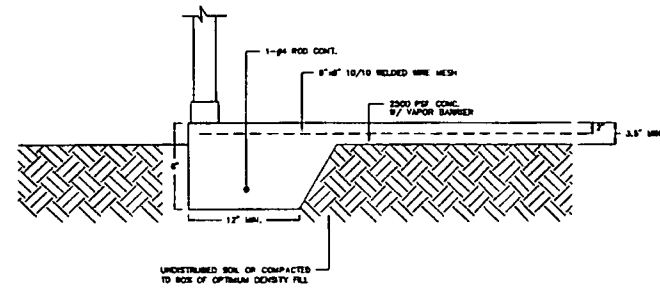


ALUMINUM CONSTRUCTION
DETAILS

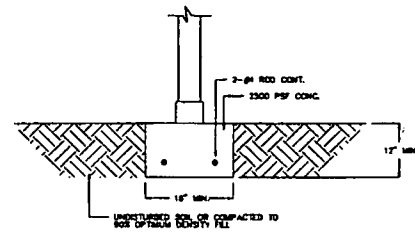
DRAWN	COMPTON
CHECKED	NASH
SCALE	NT.S.
DATE	MARCH 1988
JOB NO.	8801D

[Signature]
SEAL

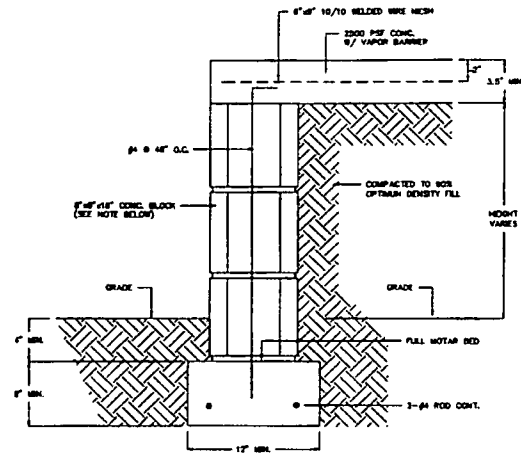
SHEET
1
OF FIVE SHEETS



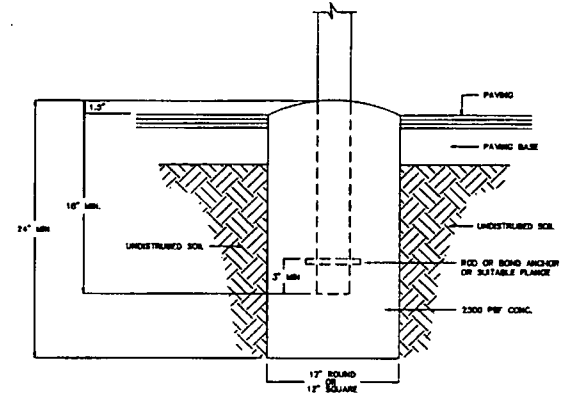
(NEW) SLAB ON GRADE
ALUMINUM SCREEN ROOMS, GLASS ROOMS, PATIO COVERS AND CARPORTS



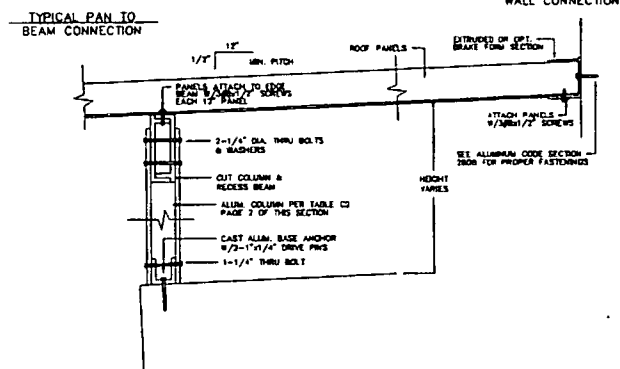
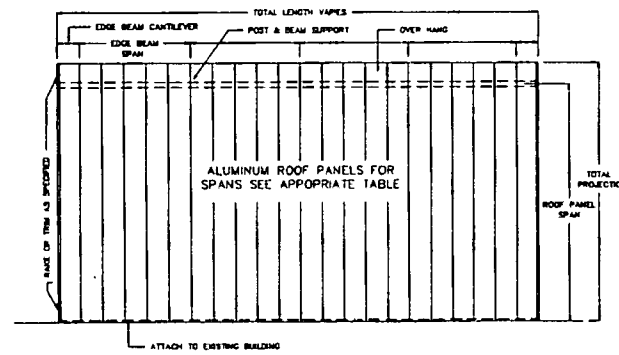
CONTINUOUS WALL FOOTING
FOR ALUMINUM ENCLOSURES WITH SOLID ALUMINUM ROOFS



RAISED SLAB
WITH 6" CONC. BLOCK FOR ALUMINUM SCREEN ROOMS, GLASS ROOMS AND PATIO COVERS



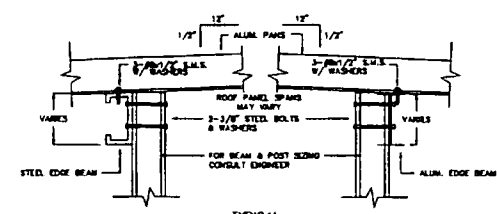
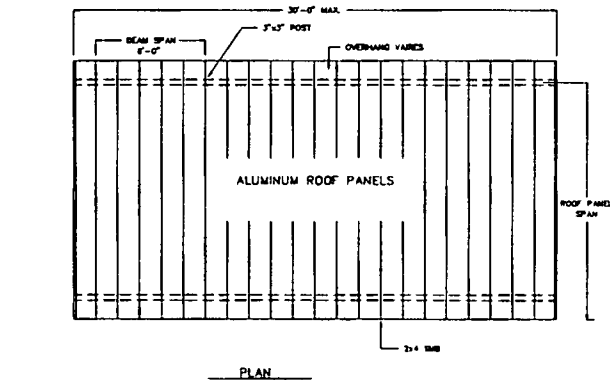
PIER TYPE FOOTING



CARPORT
(ATTACHED)

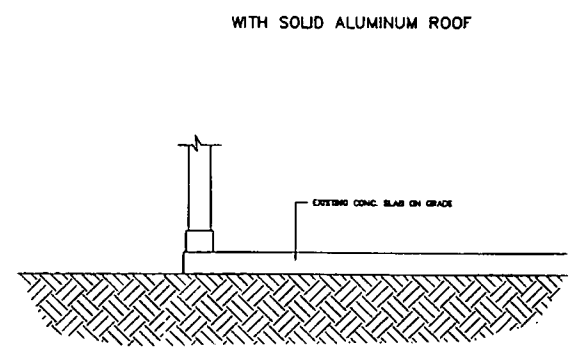
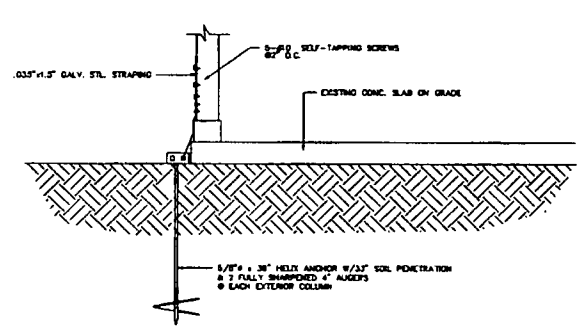
BEAM SIZE AND SHAPE	MAXIMUM CLEAR BEAM SPANS CONT. EDGE BEAM FOR ROOF SPANS BELOW					TYPICAL POST SIZE & NO. OF BASE ANCHORS
	10'	12'	14'	15'	16'	
1" x 4" x .040"	4'-10"	4'-5"	4'-0"	3'-11"	3'-10"	1" x 4" x .040" POST 9/16" DIA. ANCHORS
1" x 3" x .040"	8'-6"	5'-10"	5'-4"	5'-2"	5'-0"	FLAG POST 9/16" DIA. ANCHORS
1.5" x 3" x .063"	3'-5"	3'-0"	4'-8"	4'-5"	4'-3"	
2" x 4" S.W. BEAM	12'-0"	8'-1"	8'-4"	8'-3"	8'-0"	
2" x 3" S.W. BEAM W/USER1	17'-0"	11'-0"	10'-1"	8'-8"	8'-8"	2" x 3" POST W/ANCH. OF 2-3/8" BOLTS (OR) 4-25" BOLTS
2" x 4" S.W. BEAM	15'-3"	12'-1"	11'-3"	10'-3"	10'-0"	
2" x 3" S.W. BEAM	20'-0"	18'-3"	17'-0"	16'-4"	15'-8"	2" x 3" POST W/ANCH. OF 2-3/8" BOLTS (OR) 4-25" ANCHOR BOLTS
2" x 3" S.W. BEAM W/USER1	22'-8"	20'-10"	19'-3"	18'-8"	18'-0"	
2" x 2" I BEAM	17'-8"	16'-0"	14'-10"	14'-4"	14'-0"	
2" x 3" I BEAM W/SHAP	18'-3"	14'-8"	13'-8"	13'-3"	12'-8"	
2" x 4" I BEAM W/SHAP	20'-0"	18'-1"	18'-10"	18'-3"	15'-8"	

EDGE BEAM & POST SPAN TABLE C-1
(ATTACHED ROOFS ONLY)



NOTE: FOR BEAM & POST SIZING CONSULT ENGINEER
SEE THIS SHEET, CARPORT (ATTACHED), FOR DETAILS

CARPORT
(FREE STANDING)



EXISTING SLAB ON GRADE
(ALL ALUMINUM CONSTRUCTION ENCLOSURE)

DATE	BY	DESCRIPTION
3-24-88	JC	DETAILS 2-1, 2-2, 2-3, 2-4 UPDATED
4-8-88	JC	MOVED DETAILS AROUND ON ALL 5 PAGES
4-25-88	JL	ADDED SPAN DEFINITION SHITS
REVISIONS		

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OF FLORIDA

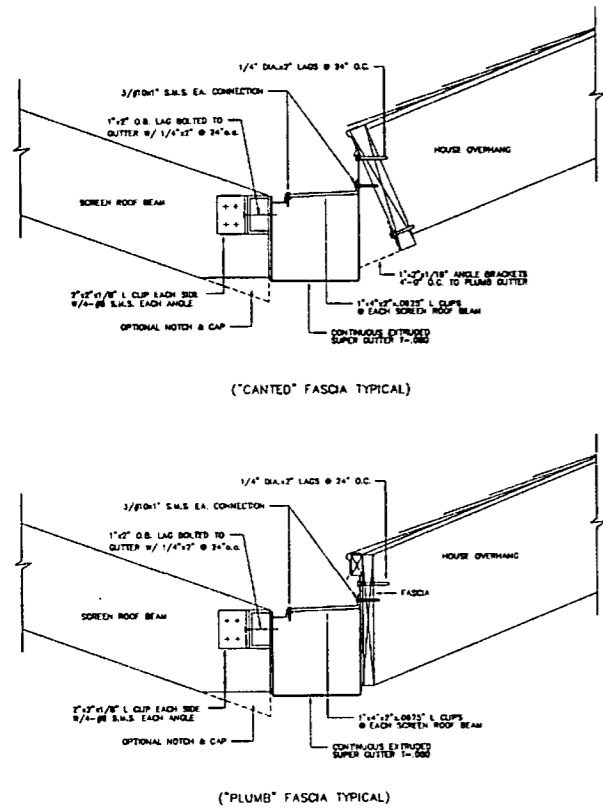


ALUMINUM CONSTRUCTION
DETAILS

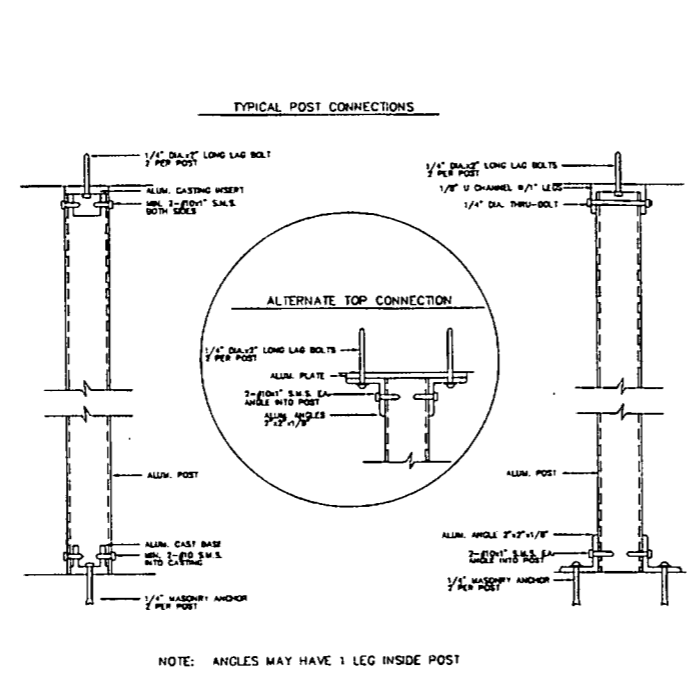
DRAWN	COMPTON
CHECKED	NASH
SCALE	N.T.S.
DATE	MARCH 1988
JOB NO.	88018

J. Nash
SEAL

SHEET
2
OF FIVE SHEETS

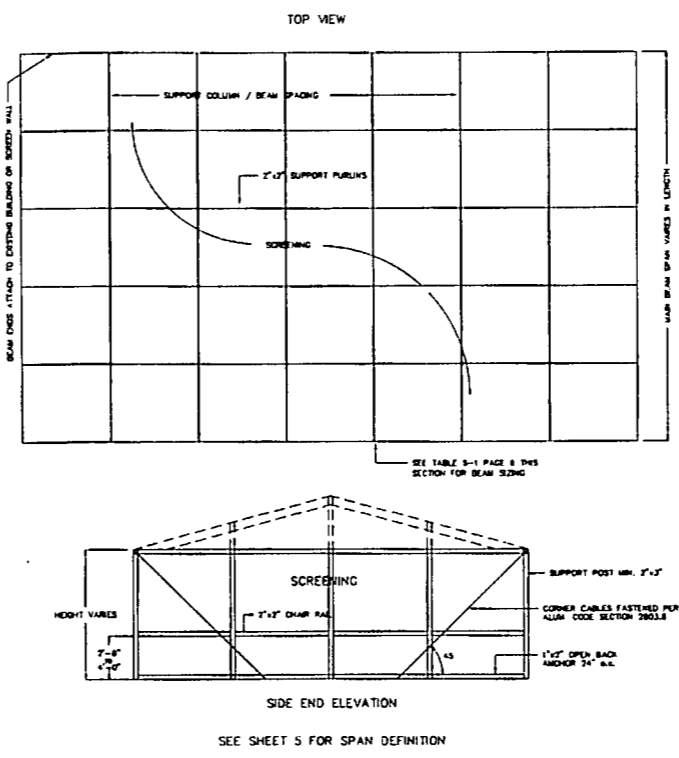


SUPER GUTTER - FASCIA ATTACHMENT



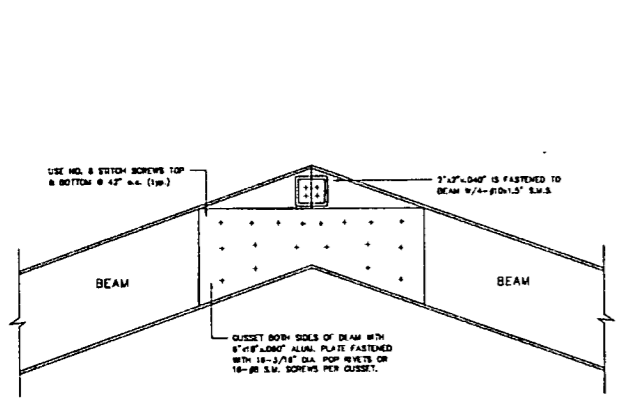
NOTE: ANGLES MAY HAVE 1 LEG INSIDE POST

SCREEN ROOM (UNDER WOOD ROOF)

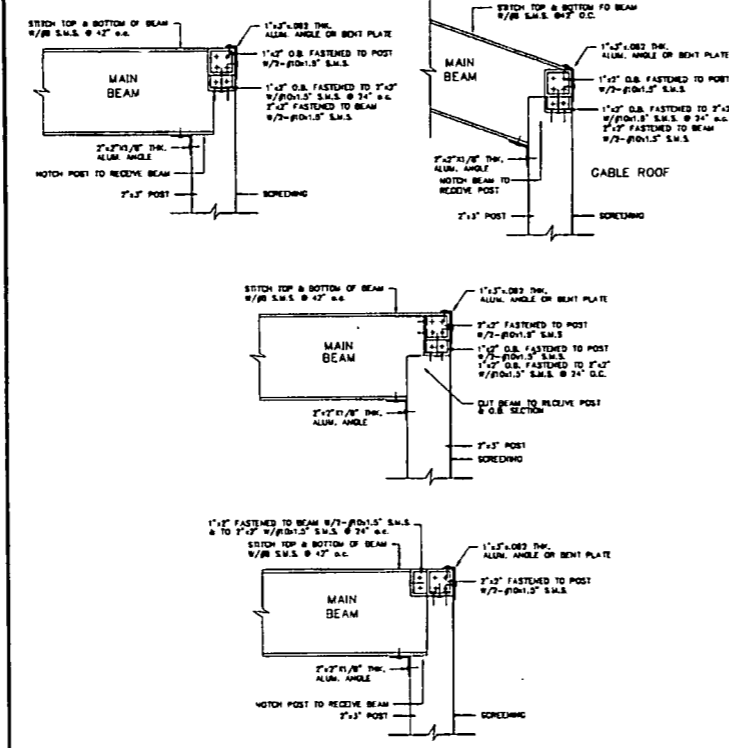


POOL ENCLOSURE (TYPICAL)

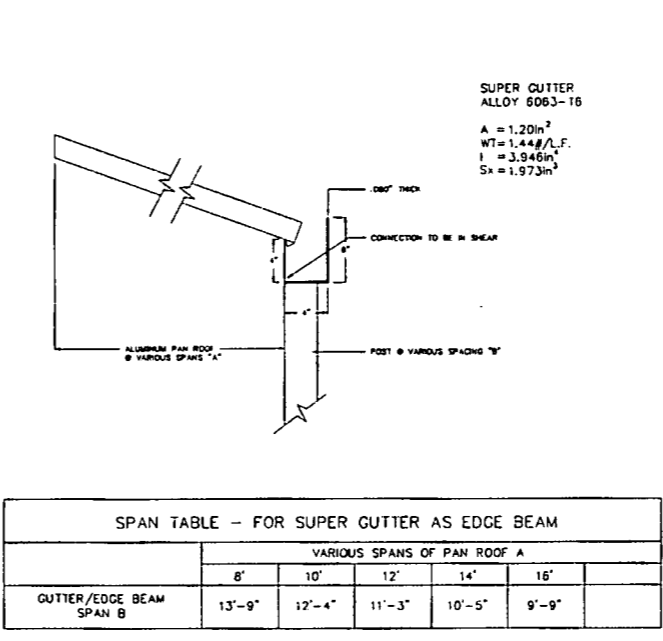
POOL ENCLOSURE & SCREEN ROOM WITH SCREEN ROOF



POOL ENCLOSURE (CONNECTION TYPICALS)



POOL ENCLOSURE (POST TO BEAM TYPICALS)



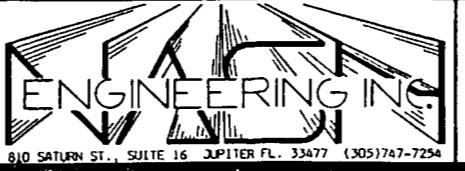
SUPER GUTTER AS EDGE BEAM SPAN TABLE C-2

BEAM SIZE	MAXIMUM CLEAR SPAN FOR SCREENED ROOF BEAMS @ VARIOUS SPACING							
	1'-0" C-C	2'-0" C-C	3'-0" C-C	4'-0" C-C	5'-0" C-C	6'-0" C-C	7'-0" C-C	8'-0" C-C
2"x4" S.W. BEAM Sx = 1.75	21'-8"	19'-4"	18'-6"	17'-8"	17'-0"	16'-4"	15'-10"	15'-3"
2"x4" S.W. BEAM Sx = 1.765	25'-5"	22'-9"	21'-9"	20'-9"	20'-0"	19'-3"	18'-8"	18'-0"
2"x6" S.W. BEAM Sx = 3.82	32'-9"	29'-4"	28'-0"	26'-9"	25'-9"	24'-9"	24'-0"	23'-2"
2"x7" S.W. BEAM Sx = 4.89	42'-9"	38'-3"	36'-7"	35'-0"	33'-8"	32'-4"	31'-4"	30'-3"
2"x7" S.W. BEAM W/ INSERT Sx = 6.83	49'-2"	44'-0"	42'-0"	40'-2"	38'-8"	37'-2"	36'-0"	34'-9"
3"x7" I BEAM W/ SNAP Sx = 3.04	25'-10"	25'-0"	24'-3"	23'-7"	23'-0"	22'-5"	21'-11"	21'-5"
3"x7" I BEAM W/ SNAP Sx = 3.19	34'-10"	31'-1"	29'-10"	28'-8"	27'-5"	26'-4"	25'-5"	24'-8"
4"x8" I BEAM W/ SNAP Sx = 4.83	42'-10"	38'-4"	36'-8"	35'-0"	33'-9"	32'-5"	31'-5"	30'-4"
2"x9" S.W. BEAM Sx = 1.31	--	--	--	52'-6"	50'-0"	48'-8"	47'-0"	45'-8"

SCREEN ROOF BEAM - SPAN TABLE S-1

DATE	BY	DESCRIPTION
3-24-88	JC	DETAIL 3-4 UPDATED
4-8-88	JC	MOVED DETAILS AROUND ON ALL 5 PAGES
4-25-88	JC	ADDED SPAN DEFINITION TO SHT. 5

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OF FLORIDA



ALUMINUM CONSTRUCTION
DETAILS

DRAWN	COMPTON
CHECKED	NASH
SCALE	NT.S.
DATE	MARCH 1988
JOB NO.	88017

SEAL
4/28/88

SHEET
3
OF FIVE SHEETS

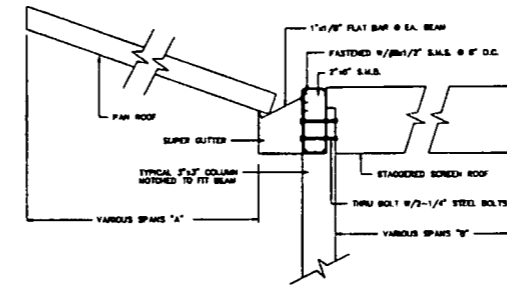
SUPER GUTTER
ALLOY 6063-T6
A = 1.20in²
WT = 1.44#/L.F.
I = 3.946in⁴
Sx = 1.973in³



2"x6" S.M.B.
ALLOY 6063-T6
A = 1.398in²
WT = 1.87#/L.F.
I = 8.46in⁴
Sx = 2.82in³



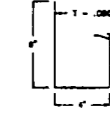
COMBINATION Sx = 4.80in³



SPAN TABLE - FOR COMBINATION - SUPER GUTTER + 2"x6" S.M.B.

VARIOUS SPANS OF ROOF PANS "A"	VARIOUS SPANS OF SCREEN ROOFS "B"												
	18'	20'	22'	24'	26'	28'	30'	32'	34'	36'	38'	40'	42'
4'-0"	30'-0"	18'-10"	18'-4"	18'-10"	18'-4"	17'-10"	17'-4"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"
5'-0"	18'-0"	18'-0"	17'-4"	17'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"
5'-0"	17'-0"	18'-0"	18'-3"	18'-0"	18'-0"	18'-3"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"
10'-0"	15'-0"	15'-0"	15'-0"	15'-0"	15'-0"	15'-0"	15'-0"	15'-0"	15'-0"	15'-0"	15'-0"	15'-0"	15'-0"
12'-0"	14'-0"	14'-0"	14'-0"	14'-0"	14'-0"	14'-0"	14'-0"	14'-0"	14'-0"	14'-0"	14'-0"	14'-0"	14'-0"
14'-0"	14'-0"	13'-10"	13'-7"	13'-5"	13'-0"	13'-0"	13'-0"	13'-0"	13'-0"	13'-0"	13'-0"	13'-0"	13'-0"

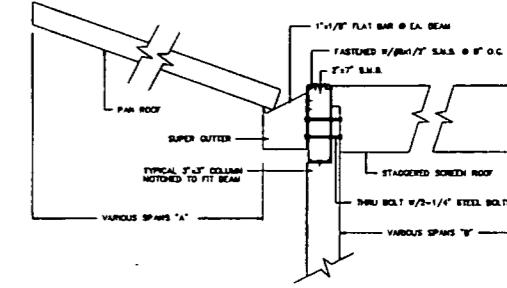
SUPER GUTTER
ALLOY 6063-T6
A = 1.20in²
WT = 1.44#/L.F.
I = 3.946in⁴
Sx = 1.973in³



2"x7" S.M.B.
ALLOY 6063-T6
A = 1.782in²
WT = 2.14#/L.F.
I = 17.139in⁴
Sx = 4.89in³



COMBINATION Sx = 6.87in³

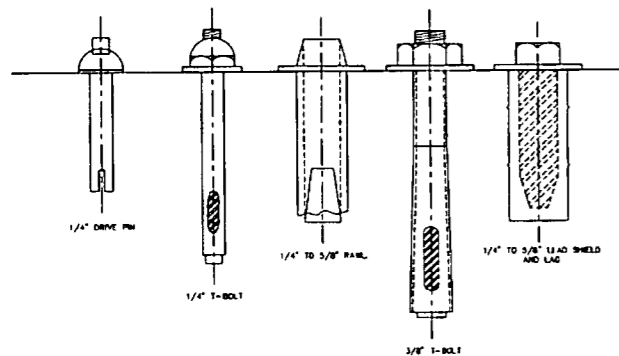


SPAN TABLE - FOR COMBINATION - SUPER GUTTER + 2"x7" S.M.B.

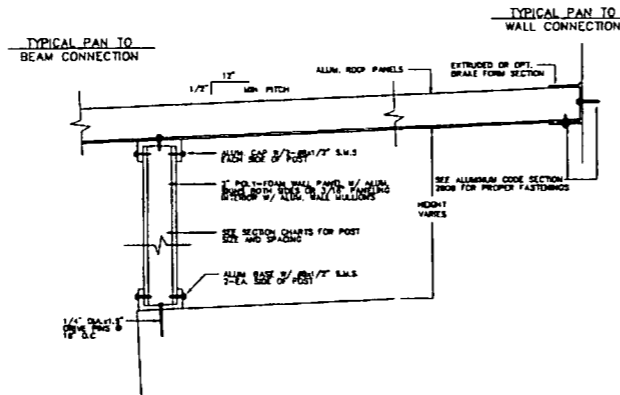
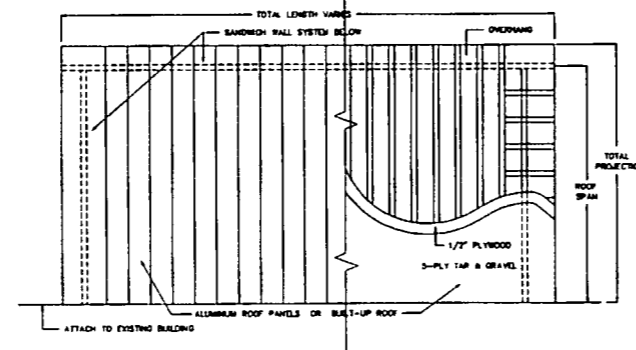
VARIOUS SPANS OF ROOF PANS "A"	VARIOUS SPANS OF SCREEN ROOFS "B"												
	18'	20'	22'	24'	26'	28'	30'	32'	34'	36'	38'	40'	42'
4'-0"	34'-0"	23'-0"	22'-0"	22'-0"	22'-0"	21'-0"	21'-0"	20'-0"	20'-0"	19'-0"	18'-0"	18'-0"	18'-0"
5'-0"	22'-0"	21'-0"	21'-0"	20'-0"	20'-0"	19'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"
5'-0"	20'-0"	19'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"
10'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"
12'-0"	17'-0"	17'-0"	17'-0"	17'-0"	17'-0"	17'-0"	17'-0"	17'-0"	17'-0"	17'-0"	17'-0"	17'-0"	17'-0"
14'-0"	16'-0"	16'-0"	16'-0"	16'-0"	16'-0"	16'-0"	16'-0"	16'-0"	16'-0"	16'-0"	16'-0"	16'-0"	16'-0"

CARRIER BEAM - SPAN TABLE S-2
(SUPER GUTTER & 2"x6" S.M.B.)

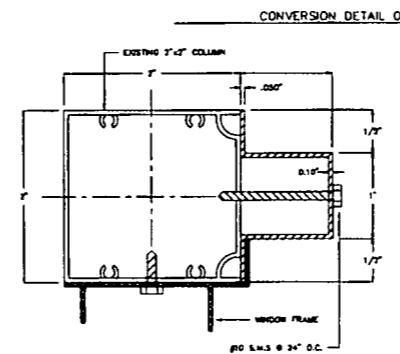
CARRIER BEAM - SPAN TABLE S-3
(SUPER GUTTER & 2"x7" S.M.B.)



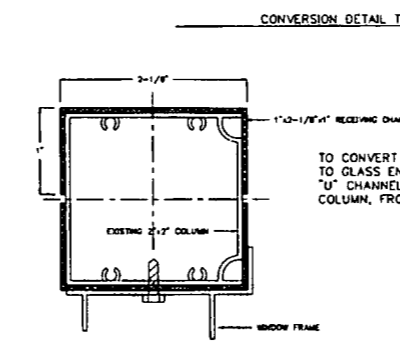
MASONRY - CONCRETE FASTENERS



GLASS ROOMS
(SANDWICH SYSTEM)

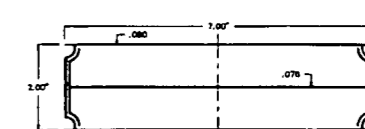


TO CONVERT EXISTING SCREEN ROOM TO GLASS ENCLOSURE, ADD ALUMINUM HAT CHANNEL (A.A.F.-1) TO EXISTING COLUMN, FROM HEADER TO BASE.



TO CONVERT EXISTING SCREEN ROOM TO GLASS ENCLOSURE, ADD ALUMINUM \"U\" CHANNEL ALLOY 6063-T6 TO EXISTING COLUMN, FROM HEADER TO BASE.

GLASS ROOM \"HAT\"
(REINFORCEMENT OF .040 POST)



2"x7\" SELF-MATING BEAM WITH INSERT ALLOY 6063-T6
A = 2.501 S.I.
WT = 2.93#/L.F.
I = 21.699in⁴
Sx = 6.35in³

SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 10# PER S.F.	SOLID WALL 25# PER S.F.	SOLID ROOF 30# PER S.F.
3'	56'-9"	47'-6"	30'-0"	27'-5"
4'	49'-2"	41'-2"	26'-0"	23'-9"
5'	44'-0"	36'-10"	24'-3"	21'-3"
6'	40'-2"	33'-6"	21'-3"	19'-4"
7'	37'-2"	31'-1"	19'-8"	17'-11"
8'	34'-9"	29'-0"	18'-5"	16'-0"
9'	32'-9"	27'-5"	17'-4"	15'-10"
10'	31'-0"	26'-0"	16'-5"	15'-0"

2"x7" S.M.B. WITH INSERT

DATE	BY	DESCRIPTION
3-23-88	JC	DETAILS 4-1, 4-2, 4-6 UPDATED
4-8-88	JC	MOVED DETAILS AROUND ON ALL 5 PAGES
4-15-88	X	ADDED SPAN DEFINITION SHEET 5
REVISIONS		

TREASURE COAST CHAPTER, INC.
OF THE ALUMINUM ASSOCIATION
OF FLORIDA

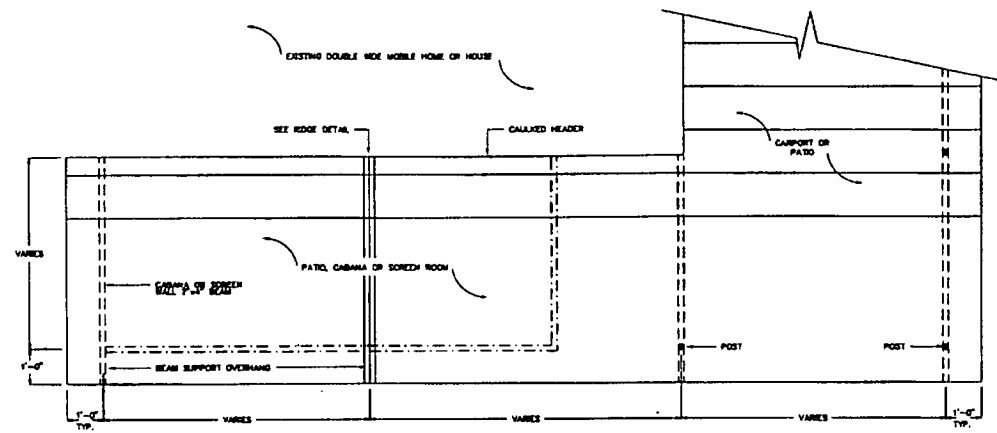


ALUMINUM CONSTRUCTION
DETAILS

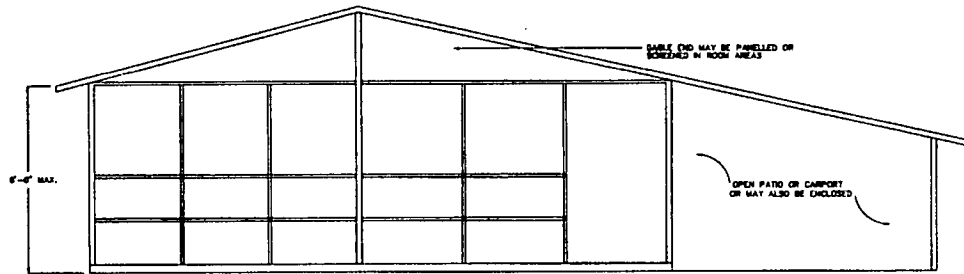
DRAWN	COMPTON
CHECKED	NASH
SCALE	N.T.S.
DATE	MARCH 1988
JOB NO.	880'S

SEAL
Tom Nash
4/27/88

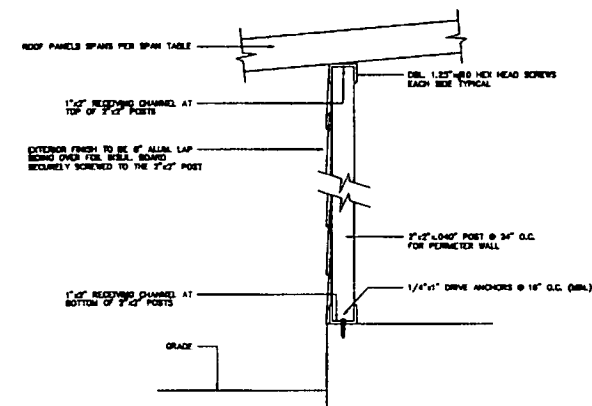
SHEET
4
OF FIVE SHEETS



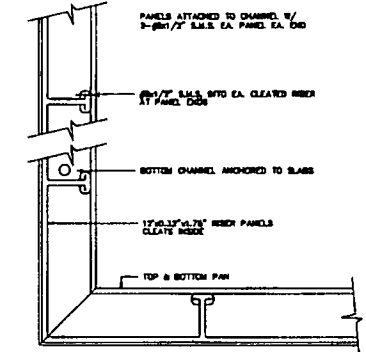
TYPICAL PLAN VIEW



TYPICAL ELEVATION



TYPICAL SECTION

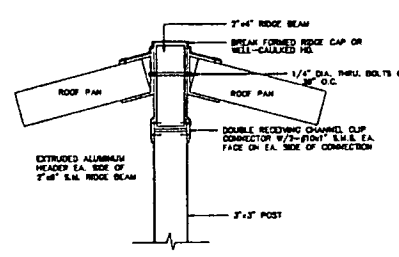


WALL DETAIL

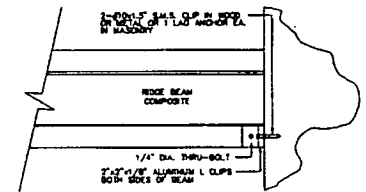
ATTACHED A-FRAME COMBINATION PATIO-CABANA OR CARPORT

TYPICAL UTILITY ROOM

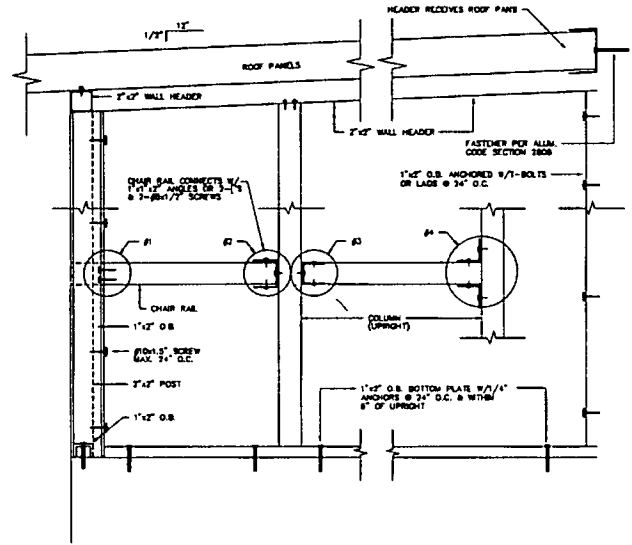
TYPICAL UTILITY ROOM



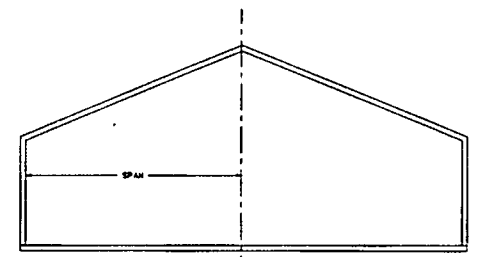
TYPICAL DETAIL



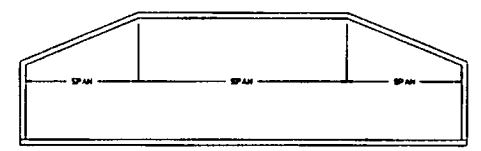
END CONNECTION



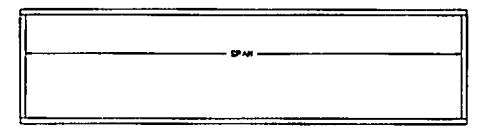
CHAIR RAIL CONNECTION ALTERNATIVES (PER CHAP. XXVII SECTION 2803.)
 1. INTERNAL SCREWS
 2. EXTERNAL SCREWS
 3. INTERNAL 'U' CHANNEL
 4. EXTERNAL ANGLES



A-FRAM ROOF



MANSARD ROOF



FLAT ROOF

RIDGE BEAM

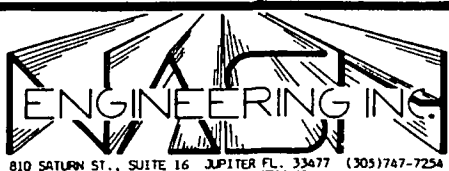
RIDGE BEAM

SCREEN ROOM (WITH ALUMINUM ROOF)

SPAN DEFINITION

DATE	BY	DESCRIPTION
3-23-88	JC	DETAIL 5-6 UPDATED & DETAIL 5-7 ADDED
4-8-88	JC	MOVED DETAILS AROUND ON ALL 3 PAGES
4-25-88	JC	ADDED SPAN DEFINITION TO SH. 5
REVISIONS		

TREASURE COAST CHAPTER, INC.
 OF THE ALUMINUM ASSOCIATION
 OF FLORIDA



ALUMINUM CONSTRUCTION
 DETAILS

DRAWN	COMPTON
CHECKED	NASH
SCALE	NT.S.
DATE	MARCH 1988
JOB NO.	88018

John Nash
 4/27/88
 SEAL

SHEET
 5
 OF FIVE SHEETS

SEWALLS POINT

FUTURE 23 KV

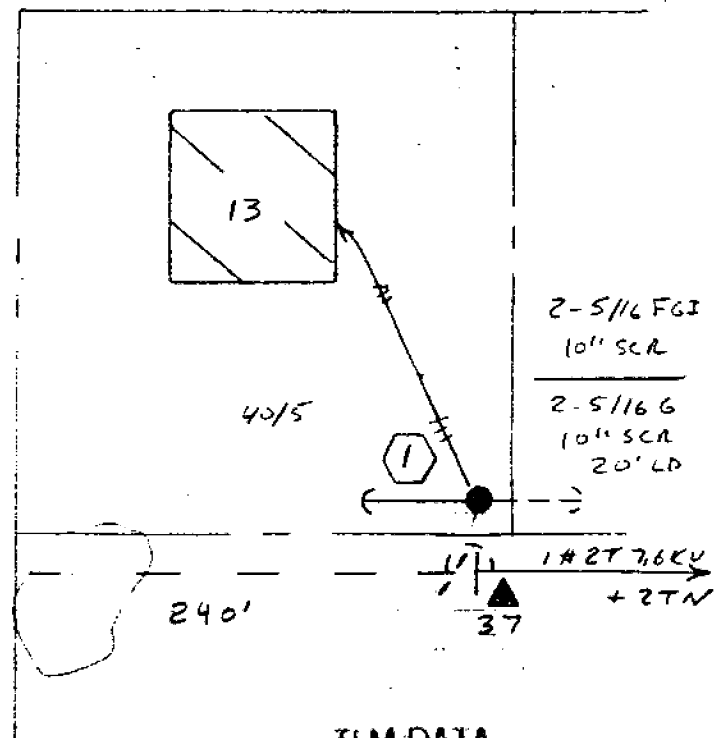
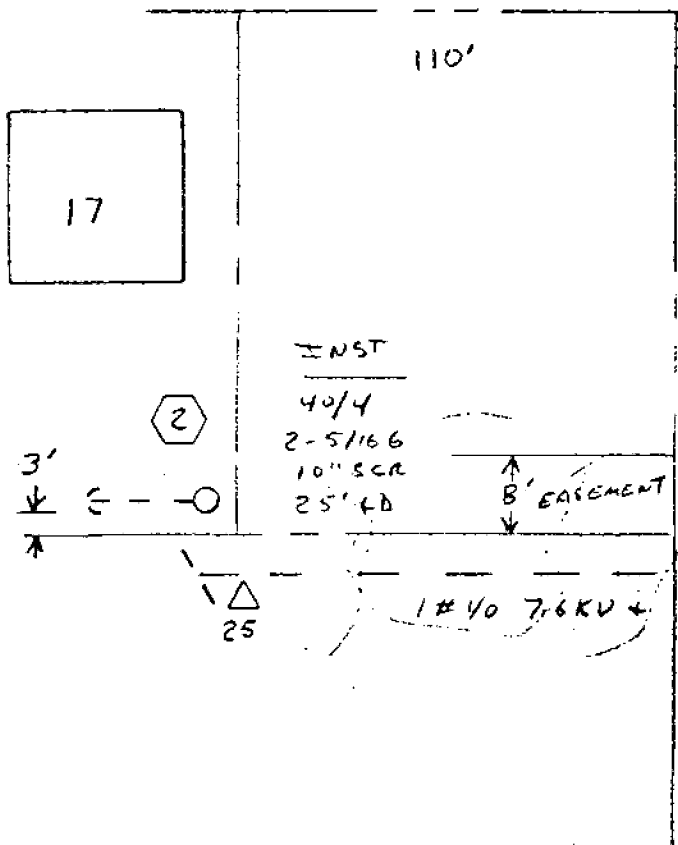
INDICATE NORTH



SVC ON 5357-7-440
TWA 90671
LOC 1 IN ACCESSABLE

PALM RD

RIVER RD



LAT 99 KVA 30 KS

TLM DATA

LOCN	TWZAT LSC NO.
2	6-7257-4046-0-2
TLM UPDATE NO: BCU 03	

Easement Req'd. Yes No Survey/Stakes Req'd. Yes No
 Tree Work Req'd. Yes No Permission Req'd. Yes No

PERMIT REQ'D. City FDC County Rd. RR Xing County Air Dr. Dist. State Rd. Transm. NONE FAA
 Request Tel. Co. Set Poles Yes No Tel. Attachment Per Request Tel. Co. Transfer Yes No
 Request CATV Transfer Yes No

POLE LINE FEET + 240		TRENCH FT.	
POLE LINE FT. ON TRANSM. POLES		DUCT BANK FT.	
BURIED	600V	15KV	KV
SUBMARINE	KV	15KV	KV
OTHER	600V	15KV	KV
NEUTRAL CABLE FEET			

Map Posting Req'd. Yes No Posted by

FLORIDA POWER & LIGHT COMPANY

TC STUART
120/240 V 1 PH SVC
17 PALM RD

Engineer ZBOROWSKI / RODRIGUEZ Date 1-23-90

ASZ DRAWN BY [Signature] CHECKED BY [Signature] Dwg. No.

Rural Location Sec. TWP. S. R. E.

Scale: NTS St. Lt. Map No. Pri. Map No. C2220

(RWO) SIO/TWO No. 8988 ER No. 1 440

SEWALLS POINT

FUTURE 23 KV

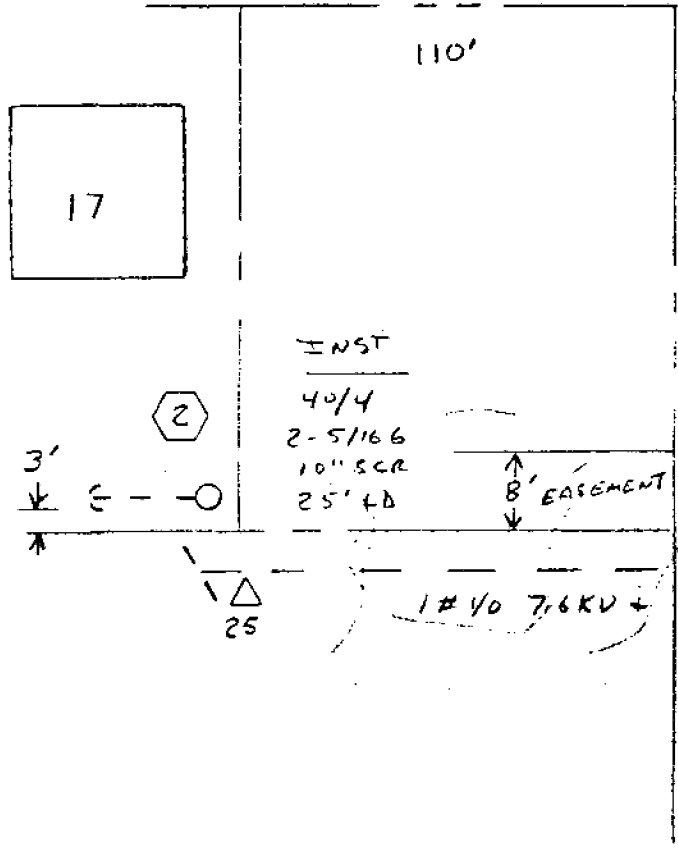


SVC ON 5357-7-440

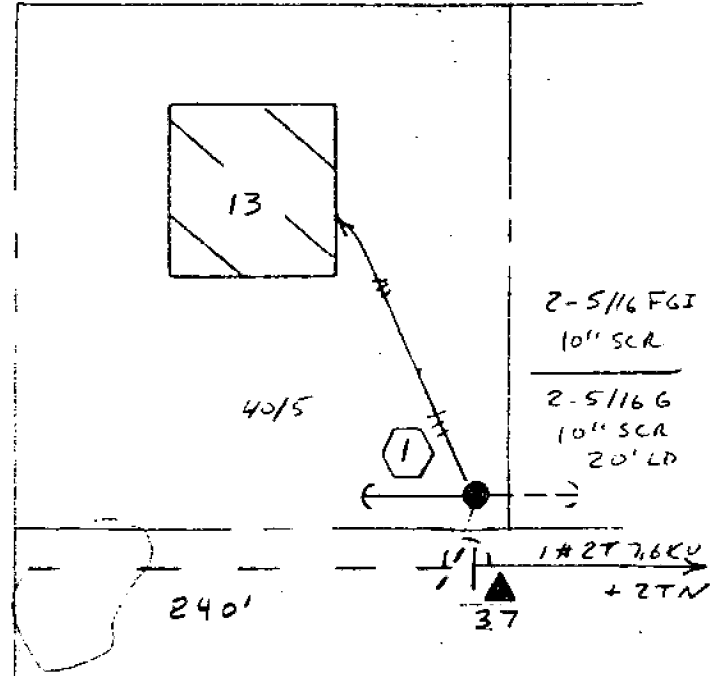
TWA 90671

LOC 1 IN ACCESSABLE

PALM RD



RIVER RD



LAT 99 KVA 30 KS

TLM DATA

LOCN	TWZAT LOC NO
2	6-7257-4046-0-2
TLM UPDATE NO: Bcu 03	

Easement Req'd. Yes No Survey/Stakes Req'd. Yes No
 Tree Work Req'd. Yes No Permission Req'd. Yes No

PERMIT REQ'D.	CITY	COUNTY RD.	COUNTY AIR	STATE RD.	FAA
	FDC	RR XING	DR. DIST.	TRANS.	NONE

Request Tel. Co. Set Poles Yes No Tel. Attachment Per
 Request Tel. Co. Transfer Yes No
 Request CATV Transfer Yes No

POLE LINE FEET + 240	TRENCH FT.
POLE LINE FT. ON TRANSM. POLES	DUCT BANK FT.

BURIED	600V	15KV	KV	NEUTRAL CABLE FEET
SUBMARINE	KV	15KV	KV	
OTHER	600V	15KV	KV	

Map Posting Req'd. Yes No Posted by

FLORIDA POWER & LIGHT COMPANY

TC STUART
 120/240 V 1 PH SVC
 17 PALM RD

Engineer ZBOROWSKI / RODRIGUEZ Date 1-23-90
 ASZ DRAWN BY [Signature] CHECKED BY [Signature] Dwg. No.
 Rural Location Sec. _____ TWP. _____ S, R. _____ E.
 Scale: NTS St. Lt. Map No. _____ Pri. Map No. C 2220
 RW/SIO/TWO No. 8988 ER No. 1 440
 LOC'N CODE

TOWN OF SEWALL'S POINT, FLORIDA
CERTIFICATE OF APPROVAL FOR OCCUPANCY

RECORD OF INSPECTIONS

Date 5/4/90

This is to request a Certificate of Approval for Occupancy to be issued to GUSTAFSON + WILLET for a structure built under Permit # 2636
(Owner of Property)

Subdivision Palm Lot 9-A Street Address 19 Palm Road

when completed in conformance with the approved plans.

Signed (Owner)

1. Lot Stakes/Set Backs _____
2. Termite Protection _____
3. Footing - Slab 11/3/89
4. Rough Plumbing 10/5/89
5. Rough Electric 1/22/90
6. Lintel 11/21/89
7. Roof 4/5/90
8. Framing 1/22/90
9. Insulation 1/25/90
10. A/C Ducts 1/22/90
11. Final Electric 5/4/90
12. Final Plumbing 5/4/90
13. Final Construction 5/4/90

Final Inspection for Issuance of Certificate of Occupancy.

Approved by Building Inspector Dale Broer 5/4/90 date

Approved by Building Commissioner [Signature] date 5/8/90

Utilities notified _____ date

Distribution:
original - owner
copies - Town Building Inspector, Deputy Clerk

2703

POOL & PATIO

Permit No. _____

Date _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner GUSTAFSONE WILLET Present Address _____

Phone 288-7144

Contractor Charles D Pettit Address 1016 E. 16th Ct. STUART

Phone 288-4447

Where licensed MARTIN Co. License number SP00064

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Pool & PATIO

State the street address at which the proposed structure will be built: 19 PALM RD Sewells Pt.

Subdivision Sewells Pt. Lot number 9-A Block number _____

Contract price \$ 13,200 Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Charles D Pettit

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Gustafsone Willet

TOWN RECORD

Date submitted _____ Approved: Dale Brown 1/30/90
Building Inspector Date

Approved: _____ Commissioner Date Final Approval given: _____ Date

Certificate of Occupancy issued (if applicable) _____ Date

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

Lot 9A Sub - Palm Row

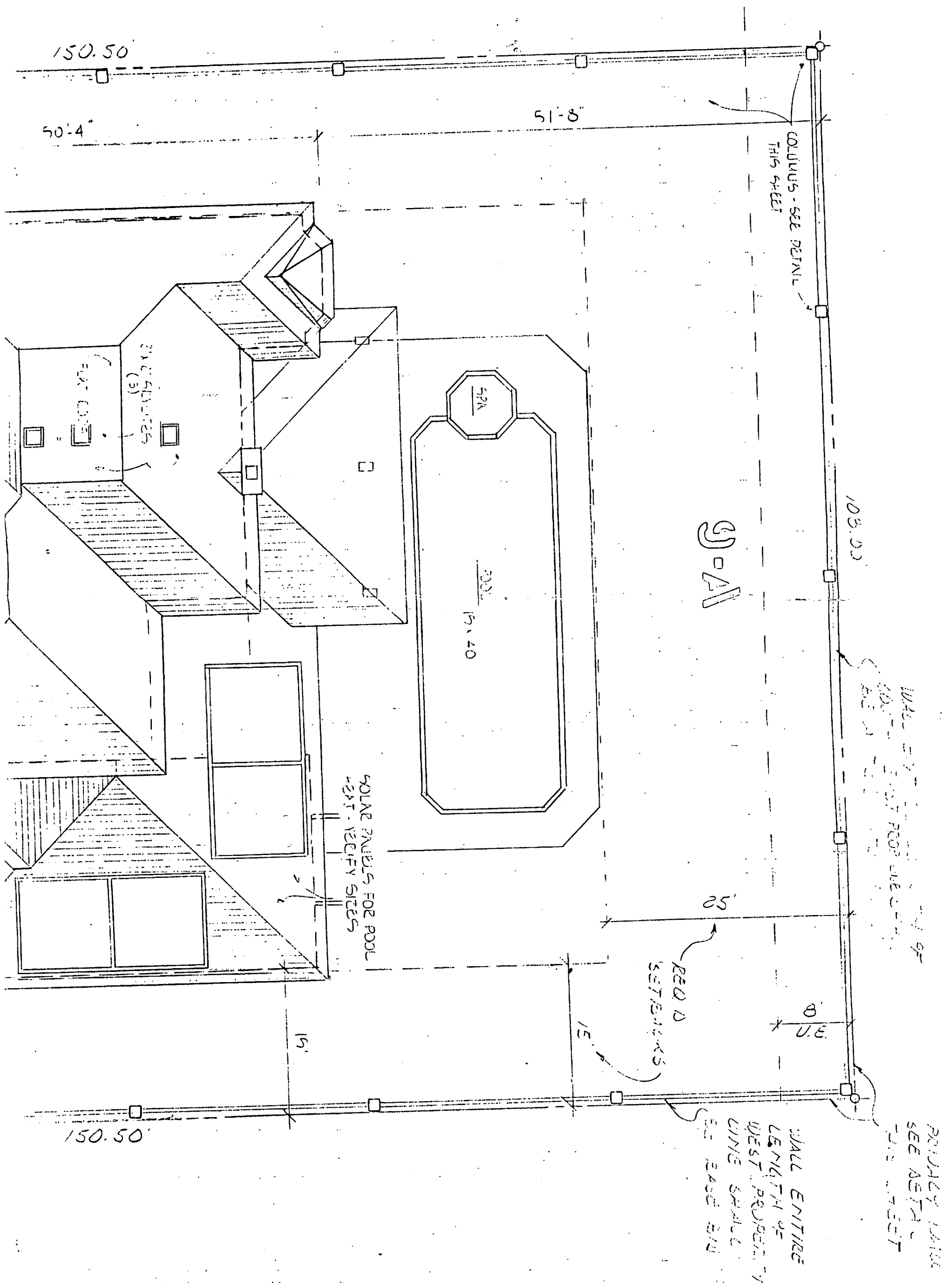
BLOCK

100

20.0% MAX
3D CELL -
1 U-BLOCK

FTG.

3/4" = 1'0"



KELLY & KELLY ARCHITECTS

118 W. SIXTH STREET, STUART, FLORIDA 34994, 283-3492

ICE

2773

POOL ENCLOSURE

Permit No. **2773**

Date **3/15/90**

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Cynthia Gustafson, Craig Willett Present Address 1701 SE Hillmar Dr, Stuart
Phone 288-1712

Contractor Dolphin Aluminum Inc Address 2750 N. Federal Hwy
Phone 407 692-1454 Stuart FL

Where licensed Martin County License number SP 00861

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Screened Pool Enclosure

State the street address at which the proposed structure will be built:

17 Palm Road, Sewalls Point

Subdivision Palm Row Lot number 9-A Block number _____

Contract price \$ 3700 Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Craig Moore / Dolphin Aluminum

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

Date submitted _____ Approved: Dale Brown
Building Inspector Date _____

Approved: _____ Commissioner Date _____ Final Approval given: _____ Date _____

Certificate of Occupancy issued (if applicable) _____ Date _____

SP1282

Permit No. **2773**

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

MARTIN COUNTY CONTRACTORS
CERTIFICATE OF COMPETENCY

MOORE, GREGORY H.
DOLPHIN ALUMINUM
2750 N. FEDERAL HWY.
STUART, FL 34994

EXPIRES SEPTEMBER 30, 1990

AUDIT CONTROL NUMBER: 10995
CERTIFICATE NUMBER: SP00861

CERTIFIED CONTRACTOR
ALUMINUM

SIGNATURE

ATTEST: *Valerie Amessier*
LICENSING ADMINISTRATOR
CK #1826 11/9/89

ins. on file

06/17/89 AUDIT CONTROL NO. 0506210
LICENSE NO. BATCH NO. FEE AMOUNT
RX 0053985 12575 \$104.00

CONSTRUCTION INDUSTRY LICENSING BD
POST OFFICE BOX 2
JACKSONVILLE, FL 32201

[Signature]
LICENSEE SIGNATURE

WALLET CARD — FOLD HERE

STATE OF FLORIDA
DEPARTMENT OF PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY
LICENSING BOARD

SPECIALTY CONTRACTOR

MOORE, GREGORY HERBERT
DOLPHIN ALUMINUM INC
(INDIV. MUST MEET LOCAL LICENSING
REQ. PRIOR TO CONTR. IN ANY AREA)
HAS PAID THE FEE REQUIRED BY CHAPTER 489 F.S.
FOR THE YEAR EXPIRING JUNE 30, 1991

[Signature]
BOB MARTINEZ
GOVERNOR

[Signature]
LARRY GONZALEZ
SECRETARY, D.P.R.

3907

REMOVE &

REPLACE EXISTING

DRIVEWAY

DATE 12/20/95

TAX FOLIO NO. _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

3907

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner CYNTHIA GUSTAFSON Present address #17 Palm Rd.

Phone 1(407) 288-1712

Contractor W. D. Adelmy Inc. Address 1201 OMAR RD.

Phone (407) 832-6305

Where licensed MARTIN CTY. License number _____

Electrical Contractor _____ License number N/A

Plumbing Contractor _____ License number N/A

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: R & R EXISTING DRIVEWAY

State the street address at which the proposed structure will be built: _____

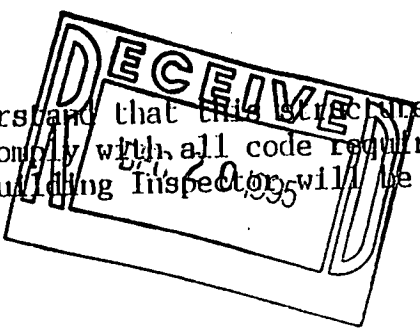
Subdivision PALMETTO Lot Number 9A Block Number _____

Contract price \$ 9,000 Cost of permit \$ 72,00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-Tagging" the construction project.

Contractor Wm Adelmy



I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Cynthia Gustafson

TOWN RECORD

Approved: Dale Brown 12/20/95
Building Inspector Date

Date submitted _____

Approved: [Signature]
Commissioner Date

Final approval given: _____ Date

CERTIFICATE OF OCCUPANCY issued (if applicable) _____ Date

PERMIT NO. _____

6518

SECOND FLOOR

ADDITION

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 12/2/03

BUILDING PERMIT NO. 6518
SECOND FLOOR PERM
Type of Permit ADDITION

Building to be erected for GUTTAERSON

\$17K x \$9.60/1000 = 163.20
(Contractor) Building Fee 163.20

Applied for by O/B

Subdivision Palm Row Lot 9A Block _____ Radon Fee _____

Address 17 PALM ROAD Impact Fee _____

Type of structure ADDITION SFR AC Fee _____

Parcel Control Number: _____ Plumbing Fee _____

133841005000009120000 Roofing Fee 35.00

Amount Paid 249.52 Check # 1863 Cash _____ Other Fees (10% PLAN REVIEW) 16.32

Total Construction Cost \$ 17,000.00 TOTAL Fees 249.52

Signed C. [Signature]
Applicant

Signed Gene Simmons [Signature]
Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 12/2/03

BUILDING PERMIT NO. 6518
SECOND FLOOR PERCH
Type of Permit ADDITION

Building to be erected for GUSTAFSON

\$17K * \$9.60/1000 =
(Contractor) Building Fee 163.20

Applied for by O/B

Subdivision Palm Row Lot 9A Block _____ Radon Fee _____

Address 17 PALM ROAD Impact Fee _____

Type of structure ADDITION SFR A/C Fee _____

Electrical Fee 35.00

Parcel Control Number:

Plumbing Fee _____

1338410050000009120000

Roofing Fee 35.00

Amount Paid 249.52 Check # 1863 Cash _____ Other Fees (10% PLAN REVIEW) 16.32

Total Construction Cost \$ 17,000.00

TOTAL Fees 249.52

Signed C. J. J.
Applicant

Signed Gene Simmons
Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

UNDERGROUND PLUMBING _____

UNDERGROUND MECHANICAL _____

STEMWALL FOOTING _____

SLAB _____

ROOF SHEATHING _____

TRUSS ENG/WINDOW/DOOR BUCKS _____

ROOF TIN TAG/METAL _____

PLUMBING ROUGH-IN _____

MECHANICAL ROUGH-IN _____

FRAMING _____

FINAL PLUMBING _____

FINAL MECHANICAL _____

FINAL ROOF _____

UNDERGROUND GAS _____

UNDERGROUND ELECTRICAL _____

FOOTING _____

TIE BEAM/COLUMNS _____

WALL SHEATHING _____

LATH _____

ROOF-IN-PROGRESS _____

ELECTRICAL ROUGH-IN _____

GAS ROUGH-IN _____

EARLY POWER RELEASE _____

FINAL ELECTRICAL _____

FINAL GAS _____

BUILDING FINAL _____

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 1/16/04

BUILDING PERMIT NO. 657.1

Building to be erected for GUSTAFSON Type of Permit FLAT ROOF

Applied for by ALL AMERICAN ROOFING (Contractor) Building Fee _____

Subdivision PALM ROW Lot 1079A Block _____ Radon Fee _____

Address 17 PALM ROAD Impact Fee _____

Type of structure SFR A/C Fee _____

Electrical Fee _____

Parcel Control Number:

Plumbing Fee _____

1338410050000009120000

Roofing Fee 120.00

Amount Paid 120.00 Check # 1891 Cash _____ Other Fees (_____) _____

Total Construction Cost \$ 1800.00

TOTAL Fees 120.00

Signed Ferdia A. Buehle

Signed Gene Simmons

Applicant

Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

TOWN OF SEWALL'S POINT

JON E. CHICKY
Mayor

RICHARD L. BARON
Vice Mayor

E. DANIEL MORRIS
Commissioner

THOMAS P. BAUSCH
Commissioner

PAMELA M. BUSHA
Commissioner



JOSEPH C. DORSKY
Town Manager

JOAN H. BARROW
Town Clerk

LARRY E. McCARTY
Chief of Police

GENE SIMMONS
Building Official

JOSE TORRES, JR.
Maintenance

TO: Joan Barrow

FROM: Gene Simmons

DATE: April 19, 2004

RE: Refund Partial Permit Fee – Gustafson – 17 Palm Road

Please refund Cynthia Gustafson \$35.00, part of permit fee for permit# 6518. The roofing fee charged as a minor roof repair for the second floor porch addition, should be encompassed within the \$120 roofing permit fee, charged for a flat roof permit #6571.



Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (772) 287-2455 • Fax (772) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (772) 781-3378 • Fax (772) 286-7669 • E-Mail: police@sewallspoint.org

RECEIVED

NOV 24 2003

Permit Number: _____

BY: **Town of Sewall's Point**
BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME: Cynthia Gustafson Craig Willett Phone (Home) 288-1712 (Work) 288-7344 220-8912 ✓

Job Site Address: 17 Palm Road City: Sewall's Point State: FL Zip: 34996

Legal Description of Property: Lot 9A, Palm Row Amended and Revised Parcel Number: 13-38-41-005-000-0009 1-20000

Owner Address (if different): Same City: _____ State: _____ Zip: _____

Description of Work To Be Done: addition of upstairs porch

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company Name: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: #17,000 Martin County License Number: _____

COST AND VALUES: Estimated Cost of Construction or Improvements: \$20,000 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: Barlsey Electric State: FL License Number: _____

Mechanical: Carpenters -> Paavola Brothers State: _____ License Number: _____

Plumbing: N/A State: _____ License Number: _____

Roofing: Pacific Roofing State: FL License Number: _____

ARCHITECT Gary Kelly Phone Number: 283-3492

Street: 118 W. Sixth St. City: Stuart State: FL Zip: 34994

ENGINEER _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carpport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

Cynthia Gustafson

State of Florida, County of: Martin

This the 20 day of November 2003

by Cynthia Gustafson who is personally

known to me or produced _____

as identification. _____

My Commission Expires: _____

Notary Public

Terry Seyffart

Seal

CONTRACTOR SIGNATURE (required)

Cynthia Gustafson

On State of Florida, County of: Martin

This the 20 day of November 2003

by Cynthia Gustafson who is personally

known to me or produced _____

as identification. Terry Seyffart

My Commission Expires: _____



Notary Public

Seal

Atlantic Bonding Co., Inc.



Terry Seyffart

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

Expires: Nov 06, 2004

Bonded Thru Atlantic Bonding Co., Inc.

X

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # _____

NOTICE OF COMMENCEMENT

STATE OF FL

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY(INCLUDE STREET ADDRESS IF AVAILABLE):

Lot 9A, Palm Row Amended and Revised

GENERAL DESCRIPTION OF IMPROVEMENT: addition of upstairs porch

OWNER: Cynthia Gustafson and Craig Willert

ADDRESS: 17 Palm Road Sewalls Point, FL 34996

PHONE #: 772/288-1712 FAX #: _____

CONTRACTOR: owner

ADDRESS: _____

PHONE #: _____ FAX #: _____

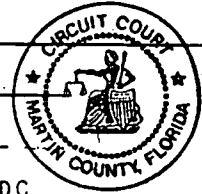
SURETY COMPANY(IF ANY) _____ STATE OF FLORIDA

MARTIN COUNTY

ADDRESS: _____

PHONE # _____

THIS IS TO CERTIFY THAT THE
FAX FOLIO GOING 1 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.



BOND AMOUNT: _____

MARSHA BIVING, CLERK

LENDER: none

BY [Signature] D.C.

ADDRESS: _____

DATE 12-2-03

PHONE #: _____ FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____

OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____ FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

[Signature]
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 20 DAY OF November
19 2003 BY Cynthia Gustafson

PERSONALLY KNOWN

OR PRODUCED ID

Terry Seybold ID

Commission #DD146022

Expires: Nov 06, 2004

Bonded Thru

Atlantic Bonding Co., Inc.

NOTARY SIGNATURE



Marsha Ewing
Clerk of the Circuit Court
Martin County, FL
100 E Ocean Blvd.
Stuart FL, 34994
Ph (561)288-5551

DATE:12/02/2003
TIME:01:20:42 PM
RECEIPT:147200

GUSTAFSON CYNTHIA

ITEM -01 NOC 01:20:26 PM
FILE:1711655 BK/PG:1843/2533
GUSTAFSON CYNTHIA
PUBLIC

RECORDING FEE	6.00
COPIES	1.00
CERTIFICATION	1.00
POSTAGE REIMBURSEMENT	0.40
Sub. Total	8.40

AMOUNT DUE:	\$8.40
PAID CASH:	\$8.40
TOTAL PAID:	\$8.40

REC BY:SPHOENIX
DEPUTY CLERK

PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR ADDITION TO SINGLE FAMILY RESIDENCE

IMPORTANT NOTICE: All items listed below must accompany your permit application.
No application will be accepted unless all items that are applicable are submitted.

Application form must contain the following information:

1. Property Appraisers Parcel Number or Property Control Number
2. Legal Description of property (can be found on your deed, survey or Tax Bill)
3. Contractors name, address, phone, fax and license numbers.
4. Name all sub-contractors (properly licensed)
5. Architects or Engineers name, address, & phone number.
6. Scope of Work
7. Estimated cost of construction.
8. Original signature of owner and notarized
9. Original signature of Contractor and notarized

Submittals (2 copies)

1. Current survey (within one year) containing the following information:

- a. Legal Description of Lot
- b. Lot dimensions and bearings
- c. Street and Waterway names
- d. Grade elevations (proposed and existing)
- e. Proposed Swale and/or drainage arrows
- f. Existing and proposed structures, decks, pads, etc.
- g. Finish floor elevations (proposed and existing)
- h. Crown of road(s)
- i. Adjacent occupied/unoccupied
- j. Easements
- k. Setbacks
- l. Road Right-Of-Ways
- m. Well locations (proposed and existing)
- n. Septic drainfield(s) (proposed and existing)
- o. Canals, Ponds, or Riverfront locations
- p. Retention areas (proposed and existing)
- q. Impervious/Pervious Calculations
- r. Certified to the Town of Sewall's Point

2. Wind Load Certification Form (signed and sealed by Architect/Engineer)

3. Energy Calculations and Compliance Certification.

4. Product approvals from Miami/Dade for the following items:

- a. Windows
- (b) Exterior Doors
- c. Roof System
- d. Garage Door
- (e) Hurricane Shutters

- f. Skylights
- g. Glass blocks
- h. Siding
- 5. Health Department Approval for septic system or information on existing system.
- 6. Health Department Well permit or information on existing system.
- ~~7.~~ Statement of Fact (owner/builder affidavit)
- ~~8.~~ Proof of ownership (deed or tax recpt.)
- 9. Application for tree removal or relocation (attach tree survey and removal or relocation plan)
- 10. Manufacturers specifications or shop drawings for fireplaces, stairs, etc.
- 11. A certified copy of the Notice of Commencement for any work over \$2500.00
- 12. Copy of License (either Martin County Certificate of Competency or State Certified or Registered Contractor License)
- 13. Copy of Workmen's Compensation
- 14. Copy of Liability Insurance

The following documents must be signed and sealed by a registered Architect or Engineer. (2 copies)

- ① **Floor Plan containing the following information:**
 - a. Square footage calculations for existing and proposed
 - b. Scale – minimum ¼" per foot
 - c. All proposed and existing structures with dimension off property lines
 - d. Location of all pads/porches and patios
 - e. All dimensions exterior and interior to define design and construction
 - f. Room callouts
 - g. Elevations, steps, ramps, curbs, dashed outline for second story outline
 - h. Location of all windows and doors with egress requirements
 - i. Tempered glass locations
 - j. Door and window sizes
 - k. Location of all bathroom fixtures
 - l. Location of all kitchen fixtures
 - m. Water heater location
 - n. Hose bib locations
 - o. Attic access with side of opening
 - p. Beam callouts
 - q. All through wall or ceiling ventilation such as garage vents, dryer vent etc.
- ② **Elevation Plan containing the following information:**
 - a. Front, Rear, and Side Elevations
 - b. All beam heights and changes in beams heights
 - c. Building heights from finish floor to top of roof (maximum 27 feet)
 - d. Height of chimney from top of roof to top of chimney max. 3 feet
 - e. Location of all windows and doors
 - f. Roof slope
 - g. Wall finishes
 - h. Vertical features and horizontal projections with dimensions

3.

Foundation Plan containing the following information:

- a. Proposed bearing walls exterior and interior
- b. Dimensions of all bearing walls exterior and interior
- c. All footings and pad locations
- d. Dimensions of all footing and pads
- e. Step downs (minimum for residence to garage 7 inches)
- f. Footing and Pad call outs for size (width and depth), steel (size, lap and placement)
- g. Any underslab mechanical duct work or gas piping
- h. Location of any in slab receptacle locations
- i. Column Layout
- j. Columns Schedule

4.

Electrical Plan containing the following information:

- a. Show all receptacle, switch, and fixture locations
- b. Show all WPGFI's and GFI's locations
- c. Ceiling fan locations
- d. Attic or roof top receptacles and fixtures
- e. Service entrance
- f. Panel layout with circuits, loads, wire, breaker and conduit sizes
- g. Riser diagram with size of service, meter, ground, disconnects feeders and panels
- h. Any specialty lighting requirements
- i. Disconnect locations for residence, pool, pumps, etc.
- j. Load calculations or letter from electrician stating existing panel large enough to carry additional loads
- k. Panel and sub-panel locations
- l. Meter can location

5.

Heating/Air Conditioning Plan containing the following information:

- a. Air Handler locations showing kw rating
- b. Condensing unit locations
- c. Duct layout showing sizes of duct and size of diffusers
- d. CFM per outlet
- e. Distribution box locations
- f. Equipment callouts with name of equipment, model numbers and sizes
- g. If current equipment is large enough to carry additional volume then letter from air conditioning contractor stating such

6.

Plumbing Plan containing the following information:

- a. Plumbing riser diagram

7.

Truss Layout containing the following information:

- a. Show location of all trusses
- b. Show location of all girders
- c. Uplift quantities for all trusses

- d. Connectors schedule for all trusses and girders
- e. Location of roof mounted equipment
- f. Location of all structural elements size and reinforcing

8. **Second Floor Framing Plan**

- a. Location of all floor trusses or joists
- b. Size of all structural members and spacing dimensions
- c. Location of all girders

9. **Section/Detail Drawings and Schedules showing the following information:**

- a. Wall section drawings for single and two story sections
- b. Show footings, slab, wall, ceiling and roof construction and insulation
- c. Window and door schedules showing design pressures (+ and -)
- d. Stair details showing riser height and tread width also handrail with baluster and newel post design showing distance between balusters and height of handrail from leading edge of tread
- e. Garage door buck detail showing type, size, length and spacing of connectors to be used
- f. Window buck detail showing type, size, length and spacing of connectors to be used
- g. Framing details of cupolas with connector callouts

MOST OF THE INFORMATION ABOVE IS FOR THE ADDITION AND NOT FOR THE EXISTING STRUCTURE.

ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE



(SIGNATURE OF APPLICANT)

DATE SUBMITTED: 11 - 19 - 03

OWNER'S AFFIDAVIT OF BUILDING COSTS
(To be submitted at time of final inspection for Certificate of Occupancy)

**STATE OF FLORIDA
MARTIN COUNTY**

BEFORE ME, the undersigned authority, personally appeared the undersigned Affidavit, who, being first duly sworn, under penalty of perjury, deposes and says:

1. That Affidavit is the owner or the authorized agent of the owner of certain real estate (the Property) located within the municipal limits of the Town of Sewall's Point, Florida (the Town), having the street address set forth below Affidavit's signature.
2. That all of the improvements on the Property under current building permit(s) issued by the Town have been completed in substantial conformity with the plans and specifications on file with the Town and in accordance with all applicable state and local building codes.
3. That the total cost paid or to be paid by the owner for the complete construction of the improvements under the building permit(s), including the cost of all improvements shown on the plans and specifications filed with the Town and all machinery and equipment not shown thereon required to be installed as a condition for a certificate of occupancy under state and local law, is \$ 10,000 -.
4. That this Affidavit is made for the purpose of inducing the Building Official of the Town to issue a Certificate of Occupancy for the improvements, with the intention that it be relied upon for that purpose.

Affidavit's Signature:

Cynthia Gustafson
Property Address:

17 Palm Road

Stuart, FL 34996

SWORN TO and subscribed before me this 20 day of Nov, 2003, by Cynthia Gustafson, who is personally known to me or produced _____ as identification.

Terry Seyffart
Notary Public
My commission expires: _____

(Notary Seal)



Terry Seyffart
Commission #DD146022
Expires: Nov 06, 2004
Bonded Thru
Atlantic Bonding Co., Inc.

X

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: Cynthia Gustafson and Craig **Date:** 11-18-03
Signature: C. Gustafson / C. Gustafson
Address: 17 Palm Rd
City & State: Sewall's Point, FL 34996
Permit No. _____



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**Caradco Windows & Doors
201 Evans Road
Rantoul, IL 61866**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Series "French View" Aluminum Clad Wood Outswing Patio Door

APPROVAL DOCUMENT: Drawing No. W01-41, titled " 'French View' Outswing Patio Door", sheets 1 through 5 of 5, prepared by Al Farooq Corporation, dated 8/30/02, signed and sealed by Humayoun Farooq, P.E., bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of this page 1 as well as approval document mentioned above.

The submitted documentation was reviewed by **Theodore Berman, P.E.**

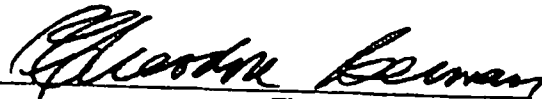


**NOA No 02-1003.05
Expiration Date: December 05, 2007
Approval Date: December 05, 2002
Page 1**

Caradco Windows & Doors

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED
(For File ONLY. Not part of NOA)

- A. DRAWINGS**
1. Manufacturer's die drawings and sections.
 2. Drawing No. W01-41, titled " 'French View' Outswing Patio Door", sheets 1 through 5 of 5, prepared by Al Farooq Corporation, dated 8/30/02, signed and sealed by Humayoun Farooq, P.E.
- B. TESTS**
1. Test reports on 1) Large Missile Impact Test per FBC, TAS 201-94
2) Uniform Static Air Pressure Test, Loading per FBC, TAS 202-94
3) Cyclic Wind Pressure Loading per FBC, TAS 203-94
along with marked-up drawings and installation diagram of a French view outswing double door, prepared by Twin City Testing Corporation, Test Report No. TCTCW102007, dated 7/24/02, signed and sealed by Derrick Swanson, P.E.
 2. Test reports on 1) Air Infiltration Test, per FBC, TAS 202-94
2) Uniform Static Air Pressure Test, Loading per FBC, TAS 202-94
3) Water Resistance Test, per FBC, TAS 202-94
4) Large Missile Impact Test per FBC, TAS 201-94
5) Cyclic Wind Pressure Loading per FBC, TAS 203-94
6) Forced Entry Test, per SFBC 3603.2 (b) and TAS 202-94
along with marked-up drawings and installation diagram of an aluminum single hung window, prepared by National Certified Testing Laboratories, Test Report No. NCTL-210-2341-1,2,3, dated 8/7/00, signed and sealed by Barry D. Portnoy, P.E.
- C. CALCULATIONS**
1. Anchor Calculations and structural analysis, prepared by Al Farooq Corporation, dated 8/22/02, signed and sealed by Humayoun Farooq, P.E.
- D. MATERIAL CERTIFICATIONS**
1. Notice of Acceptance No. 01-0206.22 issued to Cardinal LG for "Cradinal Sea Storm Type B" dated 4/5/01, expiring on 12/30/02.



Theodore Berman, P.E.
Deputy Director, Product Control Division

NOA No 02-1003.05

Expiration Date: December 05, 2007

Approval Date: December 05, 2002

Caradco Windows & Doors

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED
(For File ONLY. Not part of NOA)

E. STATEMENTS

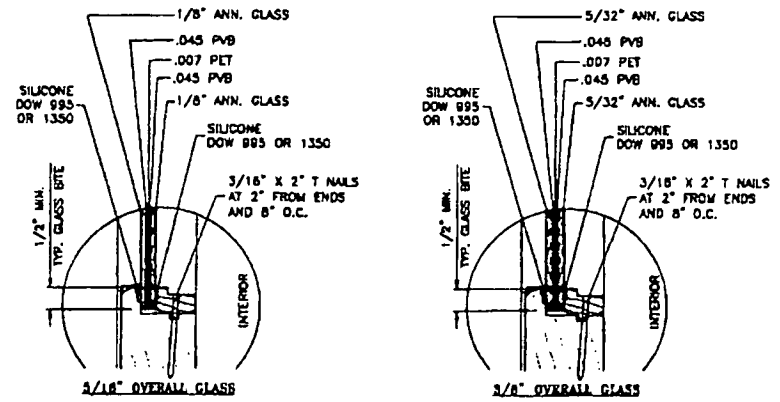
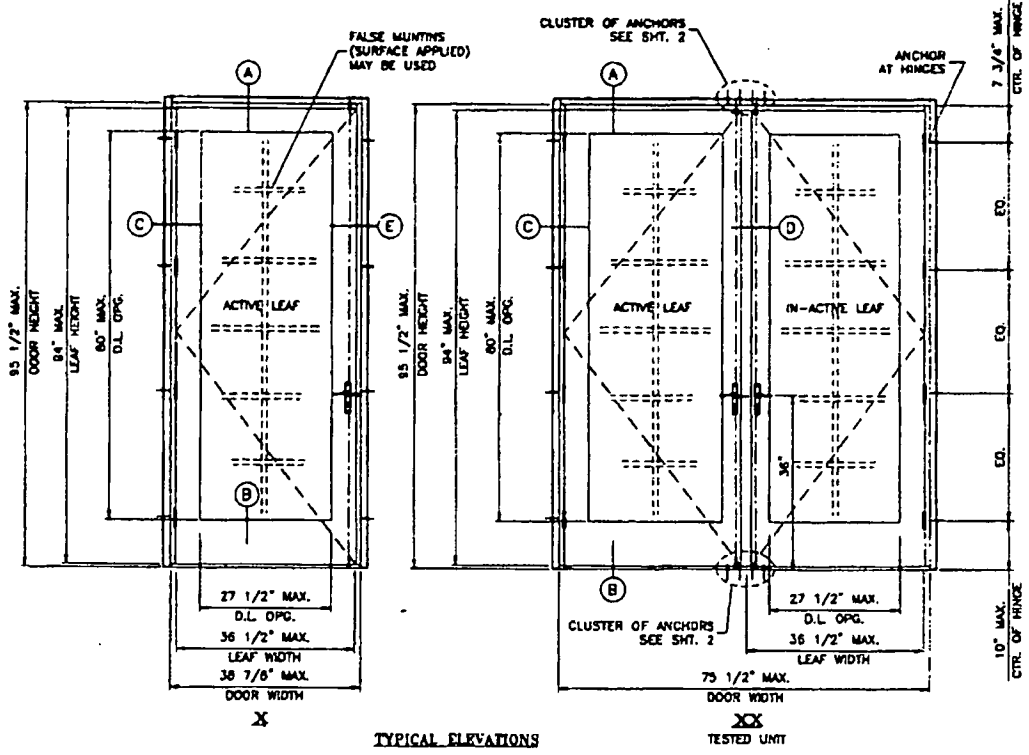
1. Statement letter of conformance, dated 8/14/02, signed and sealed by Humayoun Farooq, P.E.
2. Statement letter of no financial interest, dated 8/30/02, signed and sealed by Humayoun Farooq, P.E.
3. Laboratory compliance letter for Test Report no. NCTL-210-2341-1,2,3, issued by National Certified Testing Laboratories, dated 8/8/00, signed and sealed by Barry D. Portnoy, P.E.

F. OTHER

1. Letter from Pistorino & Alam Consulting Engineers, Inc.



Theodore Berman, P.E.
Deputy Director, Product Control Division
NOA No 02-1003.05
Expiration Date: December 05, 2007
Approval Date: December 05, 2002



'SEA-STORM IMPACT GLASS' BY 'CARDINAL LG'
LARGE MISSILE IMPACT RESISTANT

HEIGHTS:

NOMINAL HEIGHT	FRAME HEIGHT
6/8	76-1/2"
6/11	82-1/2"
6/0	85-1/2"

WIDTHS:

NOMINAL WIDTH	FRAME WIDTH
2/0 (X)	24-3/4"
2/6 (X)	30-3/4"
2/8 (X)	32-3/4"
3/0 (X)	36-3/4"
3/2 (X)	38-3/4"
4/0 (XX)	47-1/2"
5/0 (XX)	58-1/2"
5/6 (XX)	63-1/2"
6/0 (XX)	71-1/2"
6/4 (XX)	75-1/2"

DESIGN LOAD CAPACITY - PSP
SINGLE OR DUAL LEAF DOORS

DOOR HEIGHT FT./IN.	DOOR WIDTH FT./IN.		5/16\" OVERALL GLASS		3/8\" OVERALL GLASS	
	X (DOOR)	XX (DOOR)	EXT. (+)	INT. (-)	EXT. (+)	INT. (-)
6/8	2/0	4/0	65.0	65.0	65.0	65.0
	2/6	5/0	65.0	65.0	65.0	65.0
	2/8	5/4	64.1	64.1	65.0	65.0
	3/0	6/0	50.2	50.2	65.0	65.0
	3/2	6/4	43.7	43.7	65.0	65.0
6/11	2/0	4/0	65.0	65.0	65.0	65.0
	2/6	5/0	66.0	65.0	65.0	65.0
	2/8	5/4	65.0	65.0	65.0	65.0
	3/0	6/0	48.2	48.2	65.0	65.0
	3/2	6/4	42.0	42.0	65.0	65.0
6/0	2/0	4/0	65.0	65.0	65.0	65.0
	2/6	5/0	65.0	65.0	65.0	65.0
	2/8	5/4	60.8	60.8	65.0	65.0
	3/0	6/0	44.2	44.2	65.0	65.0
	3/2	6/4	37.2	37.2	61.9	61.9

'FRENCH VIEW' OUTSWING PATIO DOOR

APPROVAL APPLIES TO SINGLE (X) AND DOUBLE (XX) LEAF DOORS, SEE CHART ABOVE FOR CAPACITY.

DOORS GLAZED WITH LAMINATED GLASS RATED FOR LARGE MISSILE IMPACT AND REQUIRE NO SHUTTERS.

THIS PRODUCT IS DESIGNED TO COMPLY WITH THE HIGH VELOCITY HURRICANE ZONE OF THE 2001 FLORIDA BUILDING CODE, ALSO FOR WIND LOADS AS PER ASCE 7 USING CORRESPONDING LOADS.

WOOD BUCKS BY OTHERS, MUST BE ANCHORED PROPERLY TO TRANSFER LOADS TO THE STRUCTURE.

ANCHORS SHALL BE AS LISTED, SPACED AS SHOWN ON DETAILS. ANCHOR EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR STUCCO.

ANCHORING OR LOADING CONDITIONS NOT SHOWN IN THESE DETAILS ARE NOT PART OF THIS APPROVAL.

Eng: DR. HUSAYIN FAROOQ
STRUCTURES
FLA. PE # 18367

1/OCT 9 1 2002

Approved in compliance with the Florida Building Code
Date: 12/05/02
FROM: 112-1003, 112
Miami Dade Product Control
City of
By: *Flouris Brown*

AL-FAROOQ CORPORATION
ENGINEERS, PLANNERS & PRODUCT DESIGN
1235 SW 87 AVE
MIAMI, FLORIDA 33174
TEL. (305) 264-8100 FAX. (305) 282-8878
COMP-AM-1901-11CAR

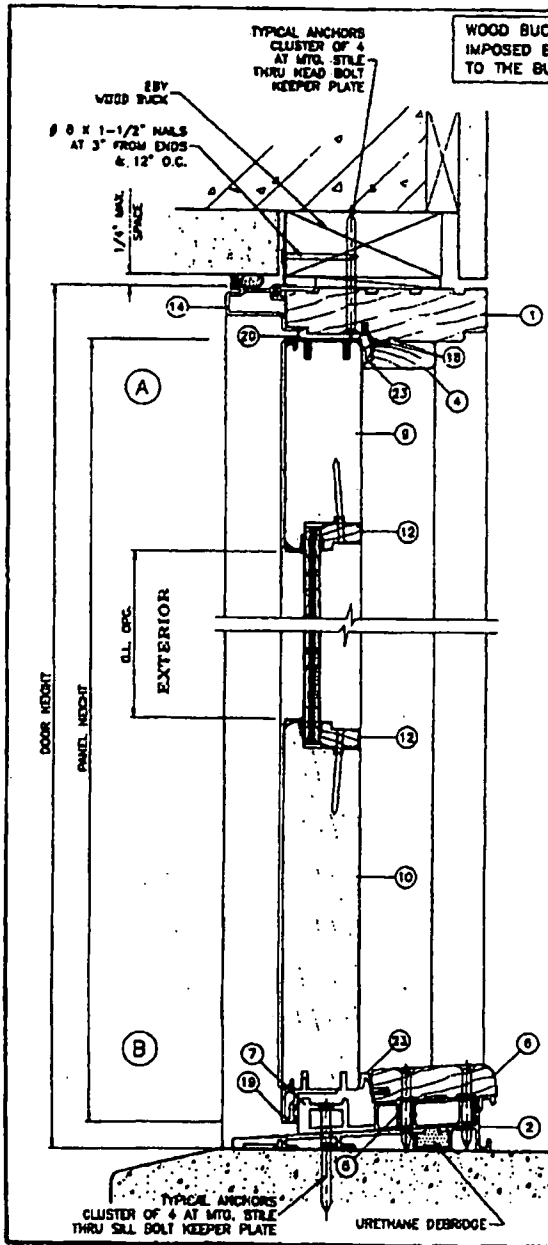
'FRENCH VIEW' OUTSWING PATIO DOOR

CARDINAL WOOD WINDOWS & PATIO DOORS
201 EVANS ROAD
RANTOUL, ILLINOIS 61866
TEL. (317) 893-4444 FAX (317) 893-0921

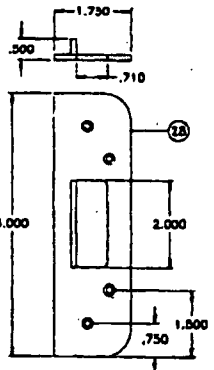
DATE	BY	DESCRIPTION

drawing no. **W01-41**

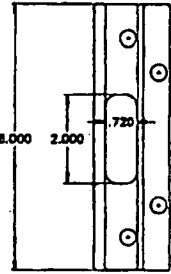
sheet 1 of 5



WOOD BUCKS NOT BY CARADCO, MUST SUSTAIN LOADS IMPOSED BY GLAZING SYSTEM AND TRANSFER THEM TO THE BUILDING STRUCTURE.



HEAD SHOOT BOLT KEEPER PLATE



SILL SHOOT BOLT KEEPER PLATE

ITEM NO.	NUMBER	QTY.	DESCRIPTION	MATERIAL	MANF./SUPPLIER/REMARKS
1	MD-11	1	FRAME HEAD	WOOD	CARADCO
2	MFD004	1	FRAME SILL	6063-T5	-
3	MD-07	2	FRAME JAMB	WOOD	CARADCO
4	MD-05/08	AS RECD.	INTERIOR STOP	WOOD	CARADCO
5	MFD044	1	SILL THRESHOLD	RIGID PVC	-
6	MFD014	1	OMN THRESHOLD	WOOD	CARADCO
7	MFD084	1	SILL KEEPER	6063-T5	-
8	MD-03	1/ LEAF	HINGE STILE	WOOD	CARADCO
9	-	1/ LEAF	TOP RAIL	WOOD	CARADCO
10	MD-02	1/ LEAF	BOTTOM RAIL	WOOD	CARADCO
11	MD-03	1/ LEAF	LOCK STILE	WOOD	CARADCO
12	CA-17	AS RECD.	GLASS STOP (IMPACT)	WOOD	CARADCO
13	-	-	-	-	-
14	MFD017	1	HEAD EXTRUSION	6063-T5	-
15	MFD015A	2	JAMB EXTRUSION	6063-T5	-
16	MFD003	1	ALUMINUM ASTRAGAL	6063-T5	-
17	MFD009	1	ASTRAGAL KEEPER	STEEL	-
18	Q2D32D	AS RECD.	FOAM FILLED COMPRESSION W/STRIPPING	VMYL	Q-LON
19	MFD030	1/ LEAF	BOTTOM RAIL WEATHERSTRIP CARRIER	PVC	-
20	Q3599	1/ LEAF	PANEL CAP WITH SEAL	PVC	-
21	PP1144	AS RECD.	DOOR W/STRIPPING, FLEXIBLE LEAF	PVC	AMESBURY
22	Q3586	AS RECD.	ASTRAGAL W/STRIPPING	PVC	FLEXIBLE LEAF
23	12103	AS RECD.	FRAME W/STRIPPING, FOAM TIP	PVC	AMESBURY
24	-	-	-	-	-
25	-	-	AS RECD. 4" HINGES	BRASS	LAWRENCE BROTHERS
26	-	-	SHOOT BOLT KEEPER	NYLON	AT SILL
27	-	-	SHOOT BOLT STRIKE	BRASS	AT HEAD

TYPICAL ANCHORS: SEE ELEV. FOR SPACING

3/16" TAPCONS
 INTO 2BY WOOD BUCKS OR WOOD STRUCTURE
 1-3/8" MIN. PENETRATION INTO WOOD
 THRU 1BY WOOD BUCKS INTO MASONRY OR DIRECTLY INTO MASONRY
 1-1/4" MIN. EMBED INTO MASONRY

LOCKS: **LOCATION:**
ACTIVE LEAF
 3 POINT LOCKING MECHANISM BY 'ASHLAND' WITH ONE LEVER HANDLE AT ACTIVE LOCK STILE
 1" THROW HARDENED STEEL SHOOT BOLTS AT 36" FROM BOTTOM.
 TOP & BOTTOM OF LEAF AND 1" THROW HARDENED DEAD BOLT AT 36" FROM BOTTOM
IN-ACTIVE LEAF
 2 POINT LOCKING MECHANISM BY 'ASHLAND' WITH ONE LEVER HANDLE AT INACTIVE LOCK STILE
 1" THROW HARDENED STEEL SHOOT BOLTS AT 36" FROM BOTTOM.
 TOP & BOTTOM OF LEAF.

HINGES: 4" X 4" HINGE
 3 PER LEAF UPTO 6/11 HIGH DOORS, EQUALLY SPACED
 4 PER LEAF OVER 6/11 HIGH DOORS, EQUALLY SPACED

SEALANT:
 FRAME AND LEAF CORNERS INSTALLATION SCREWS AT
 SILL SEALED WITH SCHNEE-MOREHEAD SMB400 SEALANT.

Engr. DR. HUSSEIN FAROQ
 STRUCTURES
 P.L.A. PE # 18557
 OCT 9 1 2002

Approved as complying with the Florida Building Code
 Date 12/03/02
 MOAB 02-1003.03
 Manual Door Product Control
 By: [Signature]

a j c

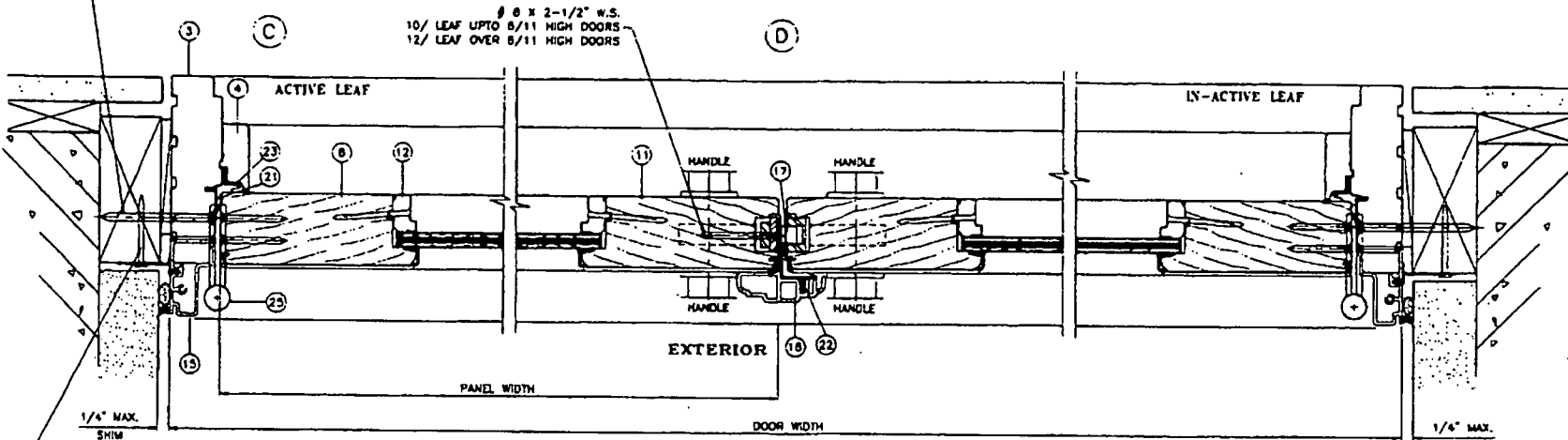
AL-FAROQ CORPORATION
 ENGINEERS, PLANNERS & PRODUCT DESIGN
 1235 SW 87 AVE.
 MIAMI, FLORIDA 33174
 TEL. (305) 264-8100 FAX. (305) 262-8078
 COMP-INTL W01-41049

'FRENCH VIEW' OUTSWING PATIO DOOR
 CARADCO wood windows & patio doors
 201 EVANS ROAD
 RANTOULA, ILLINOIS 61866
 TEL. (217) 803-4444 FAX (217) 893-0821

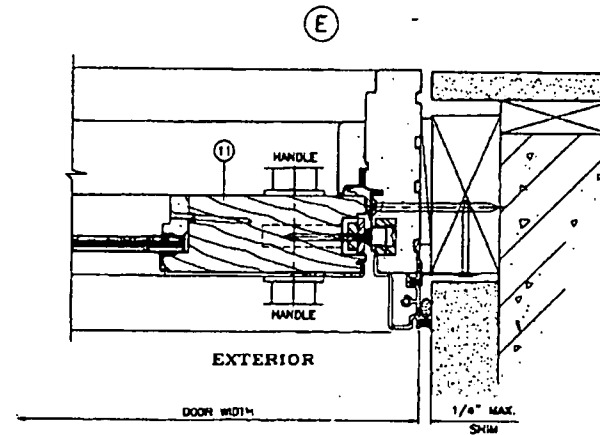
DATE: 08-09-02
 DRAWN BY: HUSSEIN FAROQ
 CHECKED BY: [Signature]
 SCALE: 3/4" = 1'
 DWG. NO: W01-41
 SHEET NO: 2 OF 5

(1) TAPCON PER HINGE ENGAGING BLDG. STRUCTURE
 SEE NOTE @ HINGE DETAIL, SHEET 4
 (2) HINGES UP TO 6'/11 HIGH DOORS
 (4) HINGES OVER 6'/11 HIGH DOORS
 (USE EQUAL NO. OF ANCHORS ON LOCK SIDE JAMB)

Ø 8 X 2-1/2" W.S.
 10/ LEAF UP TO 6'/11 HIGH DOORS
 12/ LEAF OVER 6'/11 HIGH DOORS



Ø 8 X 1-1/2" NAILS
 AT 3" FROM ENDS
 & 12" O.C.



Eng. DR. HUSAYOUN FAROOQ
 STRUCTURES
 FLA. PE # 18337
 OCT 21 2002

Approved as complying with the
 Florida Building Code
 Date: 12/23/02
 NOA# 02-1008-03
 Miami-Dade Product Control
 Div. By: *[Signature]*

a f c

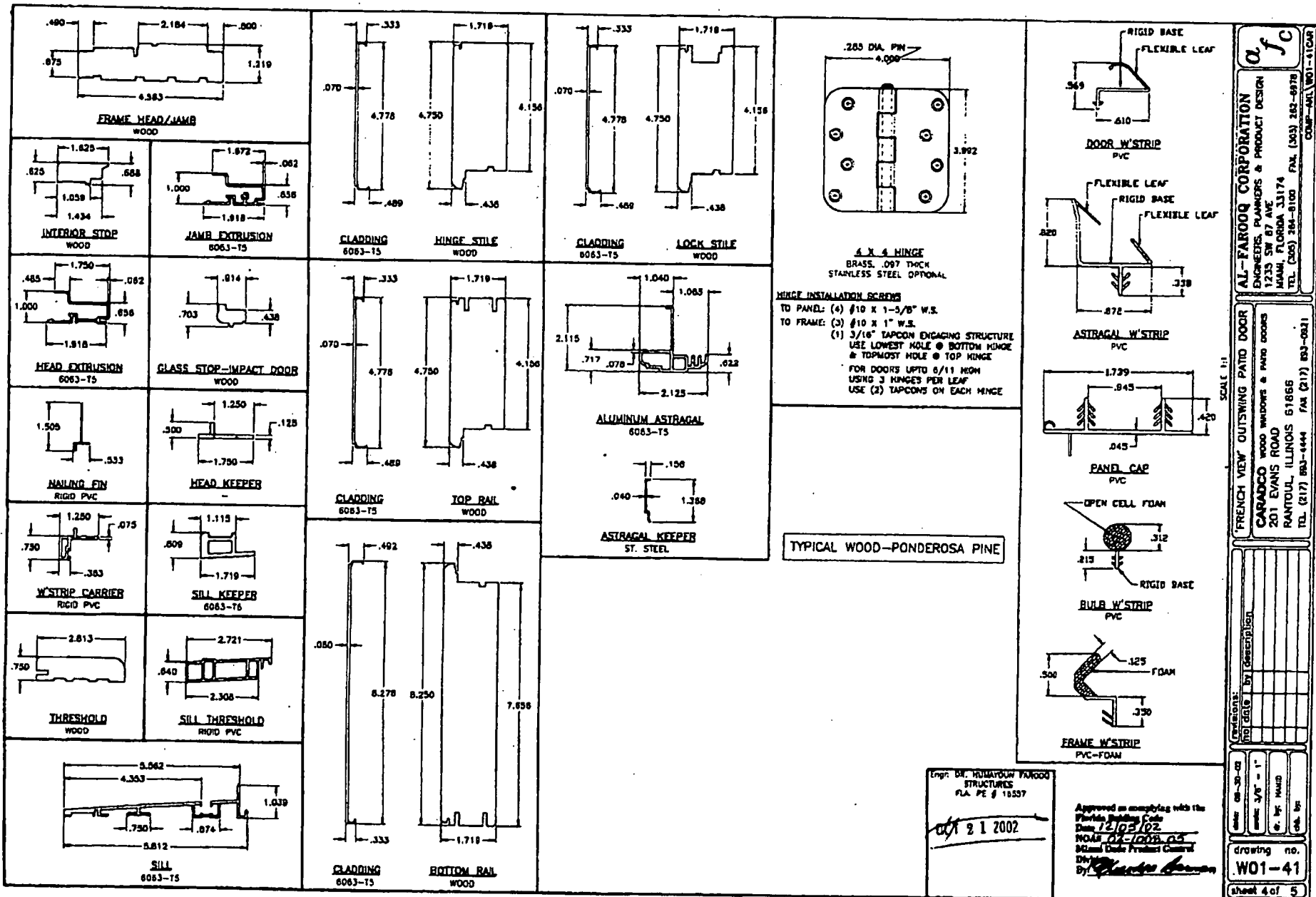
AL-FAROOQ CORPORATION
 ENGINEERS, PLANNERS & PRODUCT DESIGN
 1233 SW 87 AVE
 MIAMI, FLORIDA 33174
 TEL. (305) 264-8100 FAX. (305) 262-8078
 CORP. # 90014001 W01-41CAR

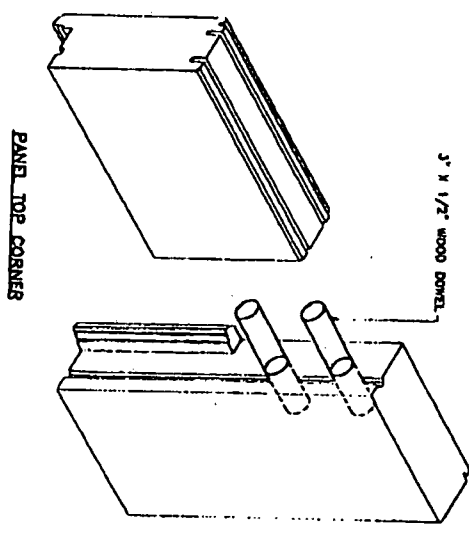
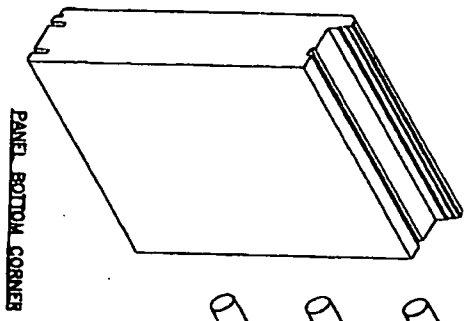
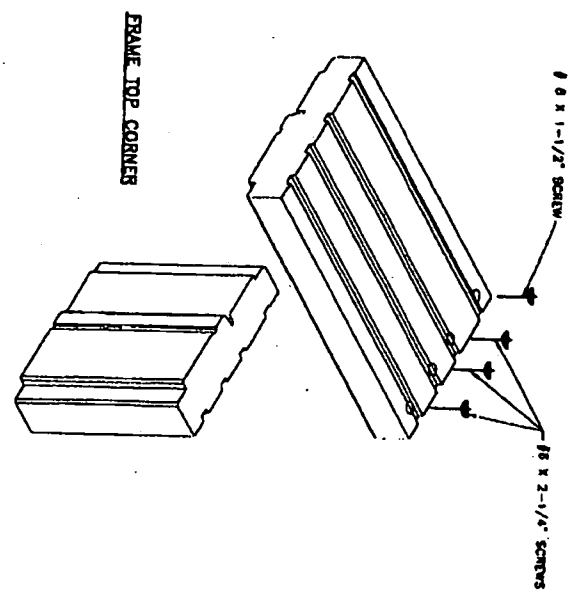
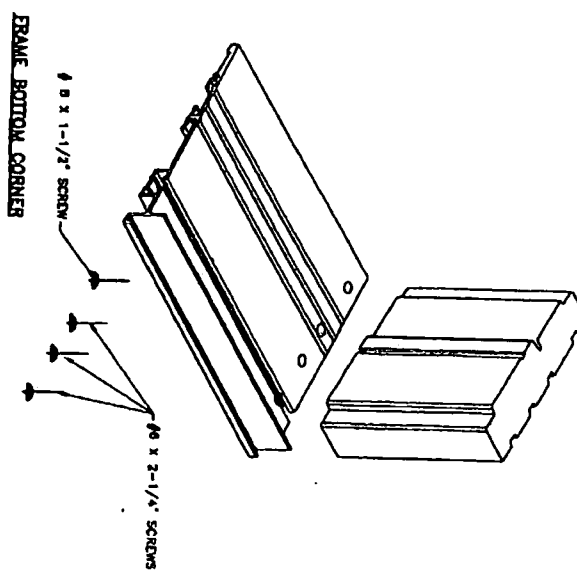
'FRENCH VIEW' OUTSWINGING PATIO DOOR
 CARADOO WOOD WINDOWS & PATIO DOORS
 201 EVANS ROAD
 BANTON, ILLINOIS 61866
 TEL. (217) 893-4444 FAX (217) 893-0821

REV. NO. DATE BY DESCRIPTION

06-20-02	1"	
06-20-02	3/8"	
06-20-02	1/2"	

drawing no. **W01-41**
 sheet 3 of 5





USE JET WELD 200 HOT MELT POUR
BY 3/4\"/>

Sign. DR. INDEPENDENT FABRIC
STRUCTURE
PLA. BY 8/18/07

Approved on company with the
initials of
DATE 10/25/07
BY [Signature]
NICKEL DESIGN PRODUCTS COMPANY
BY [Signature]

Sheet 3 of 5	drawing no. W01-41	DATE: 08-11-07	REVISIONS: NO. DATE BY DESCRIPTION	"FRENCH VIEW" OUTSWING PATIO DOOR CARADCO WOOD WINDOWS & PATIO DOORS 201 EVANS ROAD RANTOUL, ILLINOIS 61866 TEL. (217) 863-4444 FAX (217) 863-0921	AL-FAROQ CORPORATION ENGINEERS, PLANNERS & PRODUCT DESIGN 1235 SW 87 AVE MIAMI, FLORIDA 33174 TEL. (305) 294-8100 FAX. (305) 242-6878 COMP-AMELW01-41CAR	
		SCALE: 1/8" = 1"				



6518

TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 17 PALM ROAD

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

ROOF / FRAMING / ELEC.
PROTECT ALL WIRING WITH NAIL
SHIELDS.

REVISED DRAWINGS SHOWN
AS BUILT CONDITIONS.

2ND FLOOR WOOD FRAMING MISSING
BACK STUD -

CORRECT WOOD FASTENERS AS
PER PRODUCT APPROVAL.

COPPER FLASHING MUST USE
COPPER NAILING.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 1/21/04

PHIL

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 1/21, 20014 Page 3 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
16510	GUSTAFSSON	FRAMING	FAILED	
X	17 PALM ROAD	ELEC. ROUGH	FAILED	
	O/B			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:
OTHER: _____				

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 1/23, 2004 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6539	KLOSE	FINAL WINDOW	PASS	
12	2 BAKU	SHUTTER		INSPECTOR: <i>MW</i>
6480	WADG	TIE BEAM	FAIL	
2	9 E. HIGH POINT		PASS	
	PINE OCEANO BLDG	(2ND FLOOR)		INSPECTOR: <i>MW</i>
6355	PARADISE	TIN TAG	FAIL	NO PERMIT POSTED
3	11 RIDGELAND			
	LUX HOMES			INSPECTOR: <i>MW</i>
6111	GREENE	SVC RECONNECT	PASS	
10	26 ISLAND RD			
	O/B - ARUEUEK			INSPECTOR: <i>MW</i>
6557	CIVIELLO	FINAL GAS	PASS	
8	31 FIELDWAY DR			
	MC PROPANE			INSPECTOR: <i>MW</i>
TREE	PALTER	TREE	PASS	
5	91 S. RIVER RD			
				INSPECTOR: <i>MW</i>
6518	GUSPAINSON	ELECTRICAL	PASS	
48	17 PALM ROAD	FRAMING		
	O/B	(RETRACT)		INSPECTOR: <i>MW</i>
OTHER:				

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 4/19, 2004 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6391	WHITWELL	ROUGH PLUMBING	PASS	BATH DUCT TO OUTSIDE
6	1 MARGUERITA	ROUGH A/C	PASS	INSPECTOR: <i>[Signature]</i>
	HEMMINGWAY HOMES	FRAMING	FAIL	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6073	FALCO	ELEC ROUGH	PASS	
5	15 N. RIVER RD	PLUMBING RGH		INSPECTOR: <i>[Signature]</i>
	DENNIS PROCTOR			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6518	GUSTAFSON	2ND FL PORCH FINAL	PASS	NO ONE HOME (CLOSE)
2	17 PALM ROAD			NO PERMIT POSTED
	O/B			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6571	GUSTAFSON	FLAT ROOF FINAL	PASS	(CLOSE)
2	17 PALM ROAD			INSPECTOR: <i>[Signature]</i>
	ALL AMERICAN ROOFING			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6646	RONIN	SHEATHING		WILL RESCHEDULE.
4	14 COPAIRE ROAD			INSPECTOR: <i>[Signature]</i>
	CARDINAL ROOFING			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TEEE	COOK	TREE	PASS	
3	22 N. RIDGEVIEW			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6232	MOORE	FRAMING	FAIL	
7	5 OAK HILL WAY	LATH	FAIL	INSPECTOR: <i>[Signature]</i>
	AR HOMES			

OTHER:

CHECK SILT SCREEN ON LOT ON S. SEWALLS ACROSS FROM COVINS

6571

FLAT ROOF

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 1/16/04

BUILDING PERMIT NO. 657.1

Building to be erected for GUSTAFSON Type of Permit FLAT ROOF

Applied for by ALL AMERICAN ROOFING (Contractor) Building Fee _____

Subdivision Palm Row Lot 1079A Block _____ Radon Fee _____

Address 17 PALM ROAD Impact Fee _____

Type of structure SFR A/C Fee _____

Electrical Fee _____

Parcel Control Number: _____ Plumbing Fee _____

1338410050000009120000 Roofing Fee 120.00

Amount Paid 120.00 Check # 1891 Cash _____ Other Fees (_____) _____

Total Construction Cost \$ 1800.00 TOTAL Fees 120.00

Signed [Signature] Applicant Signed [Signature] Town Building Official

PERMIT

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input checked="" type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL _____ |

Town of Sewall's Point

BUILDING PERMIT APPLICATION WILLERT, CRAIG & GUSTAFSON, CYNTHIA Building Permit Number:
Owner or Titleholder Name: GUSTAFSON, CYNTHIA City: STUART State: FL Zip: 34997
Legal Description of Property: PALM ROW REVISED & AMENDED Parcel Number: 13.38.41.005.000.0091.2
Location of Job Site: 17 PALM ROAD Type of Work To Be Done: NEW ROOF FLAT

CONTRACTOR/Company Name: ALL AMERICAN ROOFING Phone Number: 463-8056
Street: 3006 SE WAALEX ST City: STUART State: 34997 Zip:
State Registration Number: State Certification Number: CC058118 Martin County License Number:

ARCHITECT: Phone Number:
Street: City: State: Zip:

ENGINEER: Phone Number:
Street: City: State: Zip:

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: Garage: Covered Patios: ScreenedPorch:
Carpport: Total Under Roof Wood Deck: Accessory Building:
Type Sewage: Septic Tank Permit Number From Health Dept. Well Permit Number:

FLOOD HAZARD INFORMATION Flood Zone: Minimum Base Flood Elevation (BFE): NGVD
Proposed First Floor Habitable Floor Finished Elevation: NGVD (Minimum 1 Foot Above BFE)

COST AND VALUES Estimated Cost of Construction or Improvements: \$1,800.00 Estimated Fair Market Value (FMV) Prior
To Improvements: If Improvement, Is Cost Greater Than 50% Of Fair Market Value YES NO

SUBCONTRACTOR INFORMATION

Electrical: State: License Number:
Mechanical: State: License Number:
Plumbing: State: License Number:
Roofing: ALL AMERICAN ROOFING OF THE TREASURE COAST, INC. State: FLORIDA License Number: CC058118

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNANCE, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION

Florida Building Code (Structural, Mechanical, Plumbing, Gas) South Florida Building Code (Structural, Mechanical, Plumbing, Gas)
National Electrical Code Florida Energy Code
Florida Accessibility Code

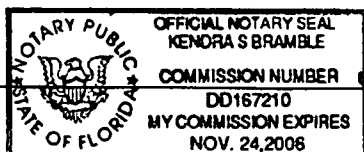
THEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (Required)
State of Florida, County of: MARTIN
This the 16th day of JANUARY, 2004
by who is personally
known to me or produced FL DL
as identification.

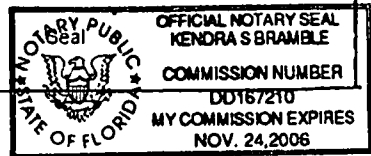
CONTRACTOR SIGNATURE (Required)
On State of Florida, County of:
This the 15th day of JANUARY, 2004
by PAUL D. WILKINS who is personally
known to me or produced
As identification.

Notary Public
My Commission Expires: 11/24/04

Notary Public
My Commission Expires: 11/24/06



Kendra S. Bramble Kendra S. Bramble



TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # _____

NOTICE OF COMMENCEMENT

STATE OF FL

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

Lot 9A, Palm Row Amended and Revised

GENERAL DESCRIPTION OF IMPROVEMENT: addition of upstairs porch

OWNER: Cynthia Gustafson and Craig Willert

ADDRESS: 17 Palm Road Seawalls Point, FL 34996

PHONE #: 772/288-1712 **FAX #:** _____

CONTRACTOR: owner

ADDRESS: _____

PHONE #: _____ **FAX #:** _____

SURETY COMPANY (IF ANY): _____ **STATE OF FLORIDA**

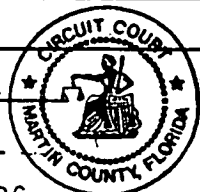
MARTIN COUNTY

ADDRESS: _____

PHONE #: _____

THIS IS TO CERTIFY THAT THE
FAX FOLIO GOING 1 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.

MARSHA SWING, CLERK



BOND AMOUNT: _____

LENDER: none

BY [Signature] D.C.

ADDRESS: _____

DATE 12-2-03

PHONE #: _____ **FAX #:** _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1XA)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ **FAX #:** _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1XB), FLORIDA STATUTES.

PHONE #: _____ **FAX #:** _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

[Signature]
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 20 DAY OF November
19 2003 BY Cynthia Gustafson

PERSONALLY KNOWN

OR PRODUCED ID
Iddy Sevilal
Commission #DD146022
Expires: Nov 06, 2004
Bonded Thru
Atlantic Bonding Co., Inc.

[Signature]
NOTARY SIGNATURE




ACORD CERTIFICATE OF LIABILITY INSURANCE		OP ID CB ALLA002	DATE (MM/DD/YYYY) 10/16/03
PRODUCER Huckleberry Sibley & Harvey Commercial Ins of Brevard LLC 5005 Wickham Road Melbourne FL 32940 Phone: 321-751-3737 Fax: 321-751-3738		THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
INSURED		INSURERS AFFORDING COVERAGE	NAIC #
All American Roofing of The Treasure Coast, Inc. 3006 SE Waaler Street Stuart FL 34991		INSURER A: Canal Indemnity Company	
		INSURER B:	
		INSURER C:	
		INSURER D:	
		INSURER E:	

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'LTR INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A	<input type="checkbox"/> GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	BINDER 2003570	10/16/03	10/16/04	EACH OCCURRENCE	\$ 500,000
					DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 50,000
					MED EXP (Any one person)	\$ 5,000
					PERSONAL & ADV INJURY	\$ 500,000
					GENERAL AGGREGATE	\$ 1,000,000
					PRODUCTS - COMP/OP AGG	\$ 1,000,000
					(CENT. AGGREGATE LIMIT APPLIES PER: POLICY <input type="checkbox"/> PRO. <input type="checkbox"/> SECT <input type="checkbox"/> LOC <input type="checkbox"/>	
	<input type="checkbox"/> AUTOMOBILE LIABILITY ANY AUTO ALL OWNED AUTOS SCHEDULED AUTOS HIRED AUTOS NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$	
	<input type="checkbox"/> GARAGE LIABILITY ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$	
	<input type="checkbox"/> EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$	
	<input type="checkbox"/> WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				WC STATUTORY LIMITS OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$	
	OTHER:					

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

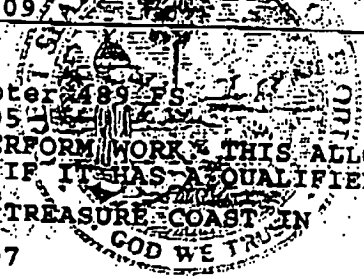
CERTIFICATE HOLDER SEWALLS Town of Sewall's Point One South Sewall's Point Rd. Stuart FL 33494	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE  Thomas Co. Officer
---	---

STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L03082502230

DATE	BATCH NUMBER	LICENSE NBR
08/25/2003	030123269	QB0020109

The BUSINESS ORGANIZATION
Named below IS QUALIFIED
Under the provisions of Chapter 489 FS
Expiration date: AUG 31, 2005
(THIS IS NOT A LICENSE TO PERFORM WORK THIS ALLOWS
COMPANY TO DO BUSINESS ONLY IF IT HAS A QUALIFIER.)
ALL AMERICAN ROOFING OF THE TREASURE COAST INC
3006 WAALER STREET
STUART FL 34997



JEB BUSH
GOVERNOR

DIANE CARR
SECRETARY

DISPLAY AS REQUIRED BY LAW

AC# 0731963

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L02122400114

DATE	BATCH NUMBER	LICENSE NBR
12/24/2002	200245128	CCC058118

The ROOFING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS
Expiration date: AUG 31, 2004

WILKINS PAUL D
ALL AMER ROOF OF THE TREASURE COAST INC
3006 SE WAALER ST
STUART FL 34997



JEB BUSH
GOVERNOR

KIM BINKLEY-SEYER
SECRETARY

DISPLAY AS REQUIRED BY LAW

2003-2004 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(772) 288-5604

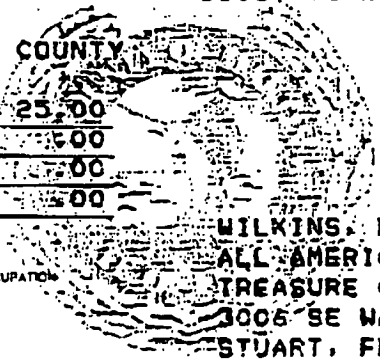
LICENSE 2002-513-008 CERT CC-C058118

PHONE (772) 463-8055 SIC NO 023561

LOCATION:
3006 SE WAALER ST STU

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	-00	LIC. FEE \$	25.00
\$	-00	PENALTY \$	0.00
\$	-00	COL. FEE \$	0.00
\$	-00	TRANSFER \$	0.00
TOTAL			25.00



WILKINS PAUL D (QUALIFIER)
ALL AMERICAN ROOFING OF THE
TREASURE COAST, INC.
3006 SE WAALER STREET
STUART, FL 34997

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS PROFESSION OR OCCUPATION
OF ROOFING CONTRACTOR

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

25 DAY OF SEPTEMBER 03

AND ENDING SEPTEMBER 30, 2004

12 03092501 005271



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33135-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

CertainTeed Corporation (PA)
1400 Union Meeting Road, P.O. Box 1100
Blue Bell, PA 19422

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by the BCCO and accepted by the Building Code and Product Review Committee to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The BCCO (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BCCO reserves the right to revoke this acceptance, if it is determined by BCCO that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: CertainTeed Modified Bitumen Roofing Systems Over Wood Decks

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

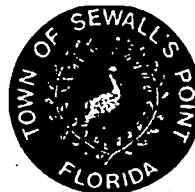
ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of pages 1 through 30.
The submitted documentation was reviewed by Frank Zuloaga, RRC

MIAMI-DADE COUNTY
BUILDING OFFICIAL
Gene Simmons
DATE: 6/16/04
REVIEWED FOR CODE COMPLIANCE
THESE PLANS HAVE BEEN
TOWN OF SEWALL'S POINT
FILE COPY

NOA No.: 02-1205.02
Expiration Date: 06/19/2008
Approval Date:
Page 1 of 30



6571

TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 17 PALM ROAD

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

- ROOF / FRAMING / ELEC.
- PROTECT ALL WIRING WITH NAIL SHIELDS.
- REVISED DRAWINGS STATING AS BUILT CONDITIONS.
- 2ND FLOOR WOOD FRAMING MISSING BACK STUD -
- CORRECT WOOD FASTENERS AS PER PRODUCT APPROVAL.
- COPPER FLASHING MUST USE COPPER NAILING.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made call for an inspection.

DATE: 1/21/04 PHIL

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 1/21, 2004 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6011	GREENE	TEMP DISC/RO		OK'd
	26 ISLAND			CW 1/20/04
	O/B - Arc Elec			INSPECTOR:
6330	BUSSEY	ALC PAD x2		CANCELLED
10	1 PALMETTO			
	WORRELL			INSPECTOR:
6335	TWOHEY	Pump Room		
9	119 HILLCREST	Mech Room		
	SEAGATE	Elec Room		INSPECTOR:
6335	TWOHEY	FRAMING		
9	119 HILLCREST			
	SEAGATE			INSPECTOR:
6416	POWERS	U-GR PLUMBING		
1	70 S. SEWALL'S Pt			
	FLORIDA'S FINEST			INSPECTOR:
TREE	SMITH	TREE		
3	95 S. RIVER			
				INSPECTOR:
6571	GUSTAFSON	ROOFING	FAILED	
X	17 PALM ROAD	FLAT ROOF		
	ALL AMERICAN ROOFING (first place)			INSPECTOR: <i>OW</i>
OTHER:				

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 4/19, 2004 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6391	WHITWELL	ROUGH PLUMBING	PASS	BATH DUCT TO OUTSIDE
6	1 MARGUERITA	ROUGH A/C	PASS	
	HENNINGWAY HOMES	FRAMING	FAIL	INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6073	FALCO	ELEC ROUGH	PASS	
5	15 N. RIVER RD	PLUMBING RGH		
	DENNIS PROCTOR			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6518	GUSTAFSON	2ND FL PORCH FINAL	PASS	NO ONE HOME (CLOSE)
2	17 PALM ROAD			NO PERMIT POSTED
	O/B			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6571	GUSTAFSON	FLAT ROOF FINAL	PASS	(CLOSE)
2	17 PALM ROAD			
	ALL AMERICAN ROOFING			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6046	RONIN	SHEATHING	---	WILL RESCHEDULE
4	14 COPAIRE ROAD			
	CARDINAL ROOFING			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREES	COOK	TREE	PASS	
3	22 N. RIDGEVIEW			
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6232	MOORE	FRAMING	FAIL	
7	5 OAK HILL WAY	LATH	FAIL	
	AR HOMES			INSPECTOR: <i>[Signature]</i>

OTHER:

CHECK SILT SCREEN ON LOT ON S. SEWALLS ACROSS FROM COOPING

6747

POOL DECK

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 5/13/04

BUILDING PERMIT NO. 6747

Building to be erected for GUSTAFSON

Type of Permit POOL DECK

Applied for by THOMAS ADELMY (Contractor)

Building Fee 35.00

Subdivision DALM ROW Lot 9A Block _____

Radon Fee _____

Address 17 DALM ROAD

Impact Fee _____

Type of structure POOL DECK

A/C Fee _____

Electrical Fee _____

Plumbing Fee _____

Roofing Fee _____

Other Fees (_____) _____

TOTAL Fees 35.00

Parcel Control Number:
1338410050000009126000

Amount Paid 35.00 Check # 2832 Cash _____

Total Construction Cost \$ 248590

Signed G. R. Ademy
Applicant

Signed Gene Simmons (SOS)
Town Building Official

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input checked="" type="checkbox"/> POOL SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

RECEIVED

APR 28 2004

Permit Number: 6747

Town of Sewall's Point
BUILDING PERMIT APPLICATION 7344

OWNER/TITLE HOLDER NAME: CINDY GUSTAFSON Phone (Day) (1877) 288-XXXX (Fax) (712) 220-8913

Job Site Address: 17 PALM RO. City: _____ State: _____ Zip: _____

Legal Description of Property: _____ Parcel Number: _____

Owner Address (if different): STUART, FL 34996 City: SEWALL'S PT. State: FL Zip: 3

Description of Work To Be Done: POOL DECK

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: THOMAS ADEIMY Phone (561) 624-1340 Fax (561) 624-0922

Street: 4521 P.G.A. BLVD. City: P.B.G. State: FL Zip: 33418

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 2485.90 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____
Mechanical: _____ State: _____ License Number: _____
Plumbing: _____ State: _____ License Number: _____
Roofing: _____ State: _____ License Number: _____

ARCHITECT N/A Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER N/A Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: National Electrical Code: 2002 Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
C. D. Gustafson

State of Florida, County of: MARTIN

This the 22ND day of APRIL, 2004

by CINDY GUSTAFSON who is personally known to me or produced as identification [Signature]

My Commission Expires _____
LAURA L O'BRIEN
MY COMMISSION # DD 205961
EXPIRES April 28, 2007
Bonded Thru Notary Public Underwriters

CONTRACTOR SIGNATURE (required)
Thomas David Adeimy

On State of Florida, County of: MARTIN

This the 22ND day of APRIL, 2004

by THOMAS DAVID ADEIMY who is personally known to me or produced as identification [Signature]

My Commission Expires _____
LAURA L O'BRIEN
MY COMMISSION # DD 205961
EXPIRES April 28, 2007

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
4/22/2004

PRODUCER

EASTON INSURANCE INC.
P.O. BOX 2025
JUPITER, FL 33468
561-746-1244

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

NAIC#

INSURED

ARTISTIC CONCRETE PRODUCTS, INC.
TOM ADEIMY
4521 PGA BLVD. STE 288
PALM BEACH GARDENS, FL 33418

INSURER A: AMERICAN VEHICLE INS. CO
INSURER B:
INSURER C:
INSURER D:
INSURER E:

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSURANCE LTR	ADDITIONAL CODES	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YYYY)	POLICY EXPIRATION DATE (MM/DD/YYYY)	LIMITS
A		GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMSMADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC	B-33400978-1	6/10/03	6/10/04	EACH OCCURRENCE \$ 500,000
		DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 500,000 GENERAL AGGREGATE \$ 1,000,000 PRODUCTS - COMP/OP AGG \$ 500,000				
		AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
		GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMSMADE DEDUCTIBLE \$ RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				WC STATUTORY LIMITS OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
		OTHER				

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

CERTIFICATE HOLDER

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FX: 772-220-4765

FX: 624-0732

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE
Douglas R. Easton

Certificate of Insurance

This certificate is issued as a matter of information only and confers no rights upon you the certificate holder. This certificate is not an insurance policy and does not amend, extend, or alter the coverage afforded by the policies listed below.

Named Insured(s):

Gevity HR, Inc and its wholly owned subsidiaries including but not limited to Gevity HR, LP; Gevity HR II, LP; Gevity HR III, LP; Gevity HR IV, LP; Gevity HR V, LP; Gevity HR VI, LP; Gevity HR VII, LP; Gevity HR VIII, LP; Gevity HR IX, LP; Gevity HR X, LP; Gevity HR XI, LLC; Gevity HR XII Corp.
600 301 Boulevard West
Bradenton, Florida 34205

RECEIVED
JAN 04 2004
BY: **MARSH**

Insurer Affording Coverage

American Home Assurance Co.,
Member of American International Group, Inc. (AIG)

Coverages:

The policy(ies) of insurance listed below have been issued to the insured named above for the policy period indicated. The insurance afforded by the policy(ies) described herein is subject to all the terms, exclusions and conditions of such policy(ies).

Type of Insurance	Certificate Exp. Date <input type="checkbox"/> Continuous <input type="checkbox"/> Extended <input checked="" type="checkbox"/> Policy Term	Policy Number	Limits	
			Employers Liability	
Workers' Compensation	1-1-2005	RMWC2633886 RMWC2633892 RMWC2633912 RMWC2633913 RMWC2633920	Bodily Injury By Accident	Each Accident
			\$ 2,000,000	
			Bodily Injury By Disease	Policy Limit
			\$ 2,000,000	
			Bodily Injury By Disease	Each Person
			\$ 2,000,000	

Other:

Employees Leased To: 12724 Wm D. Adeimy Jr. Inc. **Effective Date:** 1/1/04

The above referenced workers' compensation policy(ies) provide(s) statutory benefits only to the employees of the Named Insured(s) on such policy(ies), not to the employees of any other employer.

*If the certificate expiration date is continuous or extended term, you will be notified if coverage is terminated or reduced before the certificate expiration date. However, you will not be notified annually of the continuation of coverage.

Notice of Cancellation: Should any of the policies described herein be cancelled before the expiration date thereof, the insurer affording coverage will endeavor to mail 30 days written notice to the certificate holder named herein, but failure to mail such notice shall impose no obligation or liability of any kind upon the insurer affording coverage, its agents or representatives.

Certificate Holder:

Town of Sewall Point
1 S Sewalls Point Rd
Stuart, FL 34996-6736

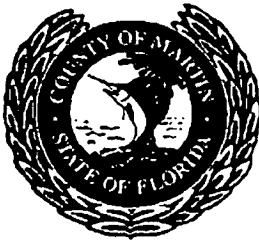


Michael C. Weiss

Michael C. Weiss
Authorized Representative of Marsh USA Inc.

(866) 443-8489
Phone

1/1/2004
Date Issued



Martin County Building Department

2401 SE Monterey Road
Stuart, FL 34996
(772) 288-5916

ADEIMY, THOMAS D

4521 PGA BLVD SUITE 288
PALM BEACH GARDENS, FL 33418

NOTICE TO ALL CONTRACTORS

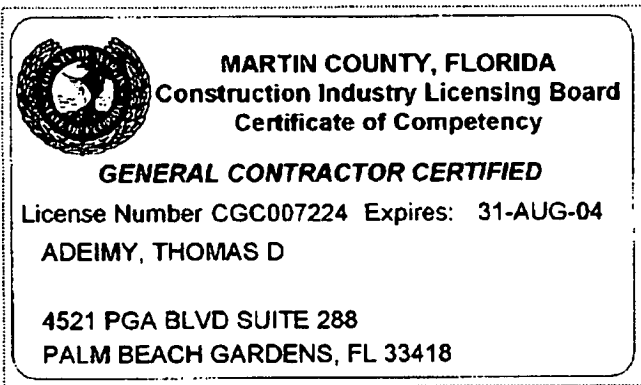
PLEASE BE ADVISED THAT MARTIN COUNTY, FLORIDA SECTION 43.42 REQUIRES COMPLIANCE WITH THE FOLLOWING EXERPT FROM THE GENERAL ORDINANCES OF THE MARTIN COUNTY CODE:

PROHIBITED ACTIVITIES:

43.42 R Advertising contracting work in any advertisement to the public in a newspaper or telephone directory without including in the advertisement the number of the contractor license issued to the person or business being advertised.

43.42 S Operating any commercial vehicle in the course of conducting the practice of contracting that fails to display the contractor license number of the contractor.

If you have any questions relating to the information in this letter , please contact the Martin County Contractor's Licensing Division of the Martin County Building Department.



State Certified
↙



STATE OF FLORIDA

AC# 0536126

DEPARTMENT OF BUSINESS AND
PROFESSIONAL REGULATION

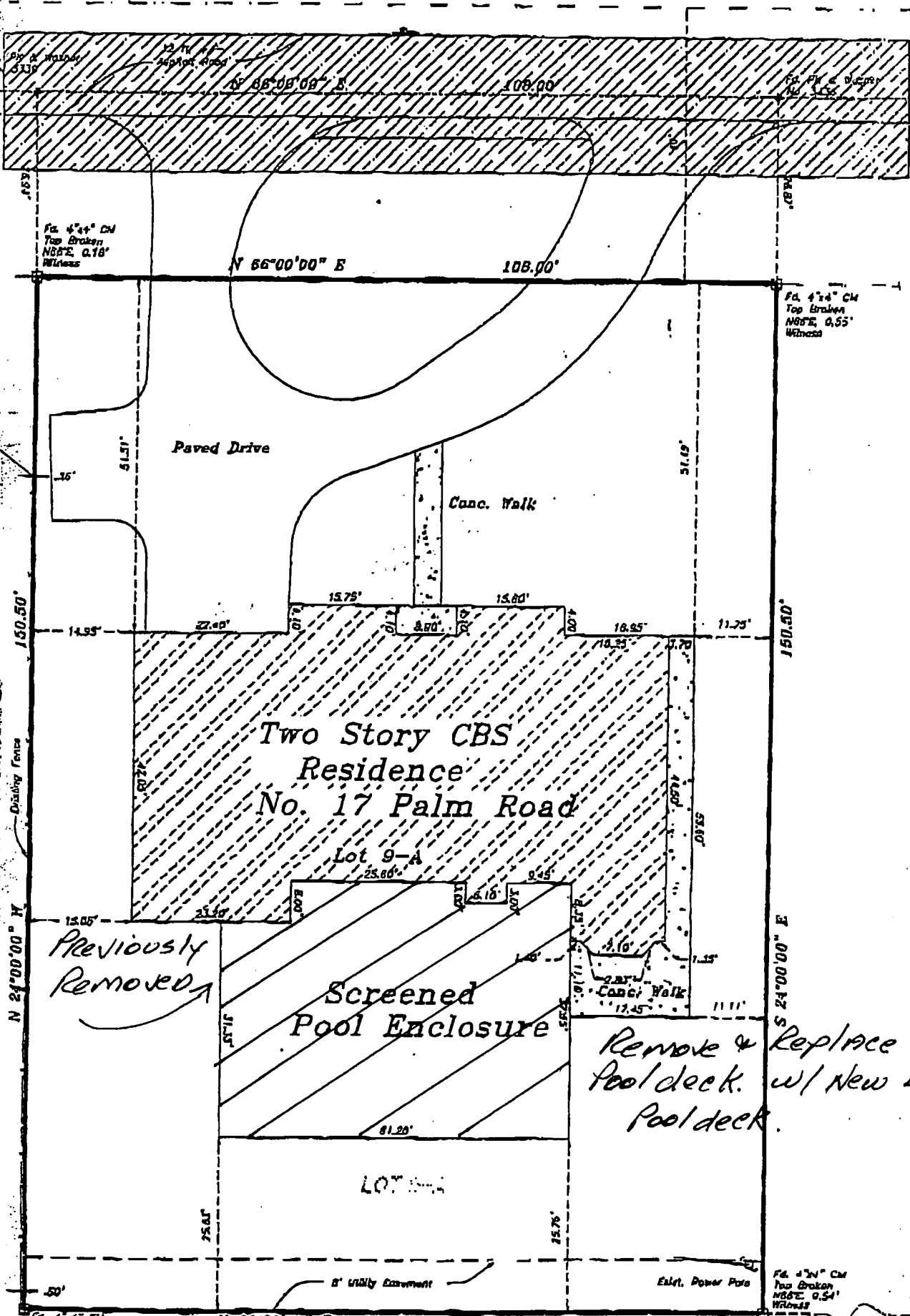
CGC007224 08/16/02 200038587

CERTIFIED GENERAL CONTRACTOR
ADEIMY THOMAS D
INDIVIDUAL



IS CERTIFIED under the provisions of Ch. 489 FS.
Expiration date: AUG 31, 2004 SEQ # L02081600813

11/20'



Two Story CBS
Residence
No. 17 Palm Road

Screened
Pool Enclosure

Remove & Replace Exist. Conc.
Pool deck. w/ New 4" Th. Conc.
Pool deck.

South Line of the North 100 of Lot 9, MANSON TRACT

CRITIQUE

Owner: Cindy Gustafson

Date: April 23, 2004

Contractor: Thomas Adeimy

Contractor's Phone Number: 561-624-0732 Plan Reviewer: Gene Simmons

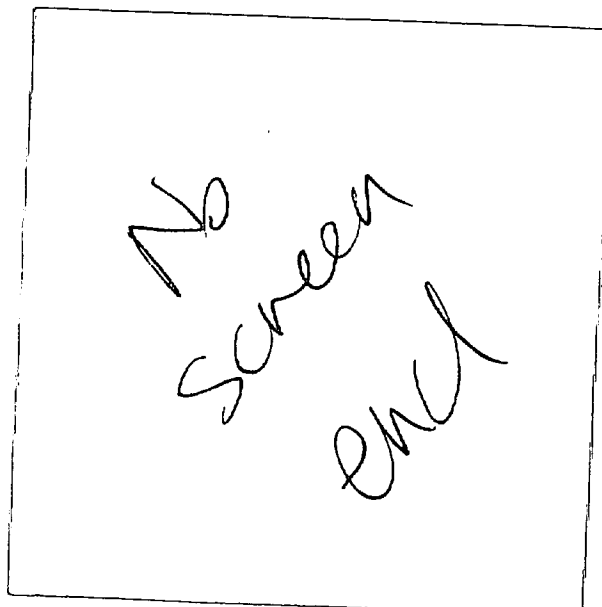
PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITALS FOR POOL DECK LOCATED AT 17 PALM ROAD

Submittals (2 copies)

1. Current survey (**within one year**) containing the following information:
 - a. Two clear copies of survey showing size of pool deck with dimension to property lines.
 - b. Certification to the Town Of Sewall's Point
2. Proof of Ownership
3. Notice of Commencement
4. Copy of State, Martin County Licenses
5. Copy of Liability Insurance
6. Copy of Workmen's Compensation

The following documents must be signed and sealed by a registered Architect or Engineer. (2 copies)

1. Section/Detail Drawings and Schedules showing the following information:
 - a. Need section of pool deck with footer if screen enclosure is to be installed later.



HP Fax K1220

Log for
Town of Sewall's Point
(561)220-4765
Apr 23 2004 8:15am

Last Transaction

<u>Date</u>	<u>Time</u>	<u>Type</u>	<u>Identification</u>	<u>Duration</u>	<u>Pages</u>	<u>Result</u>
Apr 23	8:14am	Fax Sent	15616240732	1:07	1	OK

FILE

KSM

KELLER, SCHLEICHER & MacWILLIAM ENGINEERING AND TESTING, INC.
 P.O. BOX 78-1377, SEBASTIAN, FL 32978-1377
 E.B.: 5693 P.E.: 37293 S.I.: 860

MARTIN (772) 337-7755 SEBASTIAN (772) 589-0712
 PALM BEACH (561) 845-7445 MELBOURNE (321) 768-8488
 FAX (772) 589-6469 ST. LUCIE (772) 229-9093

SOIL COMPACTION REPORT

ASTM D 1557 and ASTM D 2922

DATE TESTED : May 21, 2004 JOB # : 44909-1d/BJ/ley

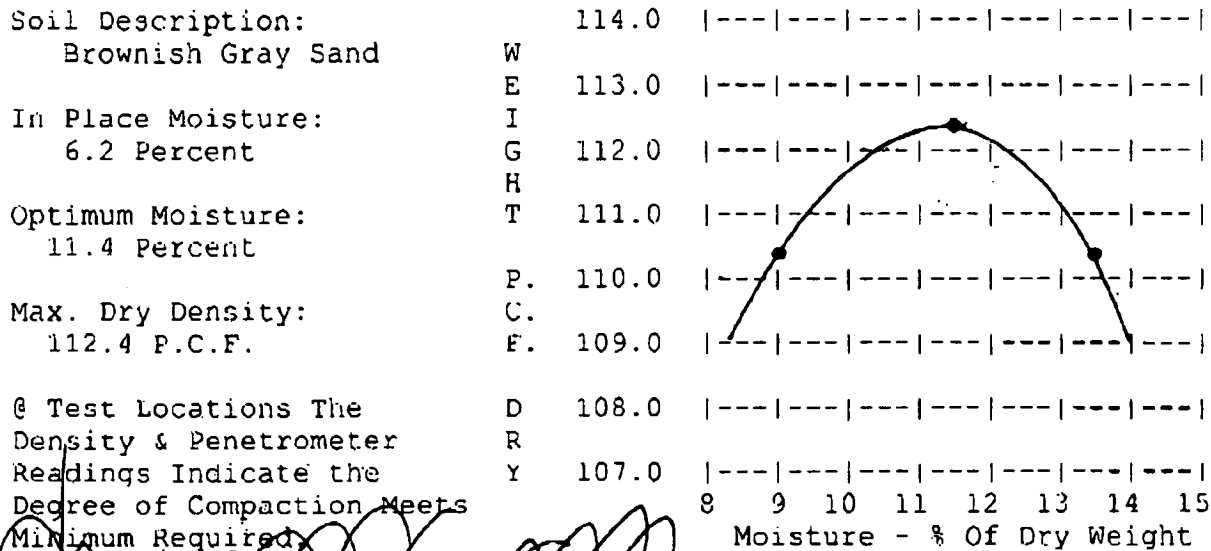
PERMIT # : 6747

CONTRACTOR : Gustafson

JOB LOCATION: 17 Palm Road
Sewall's Point, Florida

ITEM TESTED : Backfill Around Swimming Pool Deck

TEST LOCATION OF SAMPLE	DEPTH	PENETROMETER READING	DRY DENSITY	MAX. DRY PROCTOR VALUE	PERCENT COMPACTION
1 East	0'-1'	40	109.8	112.4	97.7
2	1'-2'	54			95+
3	2'-3'	71			95+
4	3'-4'	70+			95+
5 North	0'-1'	45	110.1	112.4	98.0
6	1'-2'	59			95+
7	2'-3'	50			95+
8	3'-4'	40			95+
9 West	0'-1'	40	110.9	112.4	98.7
10	1'-2'	40			95+
11	2'-3'	40			95+
12	3'-4'	40			95+



Ronald G. Keller, P.E. *5-21-04*
 Fax To: Sewall's Point Building Department 772-220-4765

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5/24, 2004 Page 1 of


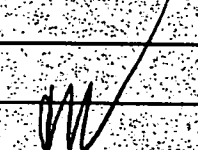

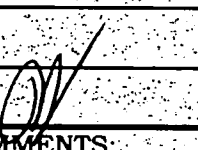
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6698	LICKER	CBS FENCE	PASS	CLOSE
3	8 N. RIVER			INSPECTOR:
	O/B			
6747	GUSTAFSON	POOL DECK	PASS	RECEIVED DENSITY
7	17 PALM ROAD	FREE POUR		REPORT
	ADEMY	LATE MORN		INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
4	TREHALL	TREE	PASS	
4	6 KNOWES			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6748	REICH	FOOTER	FAIL	
1	22 MIDDLE RD	POOL DECK		INSPECTOR:
	IANIERO			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6682		PARTIAL FOUNDATION	PASS	WILL NEED SURVEY
6	10 N. SEWALLS			WHEN CONCRETE
	MILFORD	LATE MORN		COLUMNS ARE PAURED.
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6551	LANGER	FOOTER	PASS	SEE CORRECTION NOTICE
5	3 LOFTING WAY			INSPECTOR:
	FLORIDA FINEST.			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6419	MENDOZA	ELECTRICAL RUGH	PASS	
2	144 S. SEWALLS PT RD			INSPECTOR:
	MASTER PLAN			

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri TUES 6/11, 2004 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6719	DONAHUE	Ge Rough Plumbing	PASS	
1	163 S. SEWALL'S PT			
	HALL-SAMMONS			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
TREE	BEUSH	TREE	PASS	
2	2 MINDORO			
				INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6747	GUSTAFSON	FINAL POOL DECK	PASS	CLOSE
3	17 PALM ROAD			
	ADEIMY			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6632	SCHERLENG	UNDERG. PLUMBING	FAIL	
4	110 ABBIE COURT	" ELEC.	PASS	
	OIB			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:
OTHER:				

9339

FENCE



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9339	DATE ISSUED:	01/18/2010
SCOPE OF WORK:	FENCE		
CONDITIONS :			
CONTRACTOR:	STUART FENCE		
PARCEL CONTROL NUMBER:	13484100500000912 133841-005-00000912	SUBDIVISION	PALM ROW Lot 9A
CONSTRUCTION ADDRESS:	17 PALM POAD		
OWNER NAME:	GUSTAFSON		
QUALIFIER:	CHESTER RICHMOND	CONTACT PHONE NUMBER:	KATIE 288-1151

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9339		
ADDRESS	17 PALM ROAD		
DATE:	01/18/2010	SCOPE:	FENCE

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K) (No plan submittal fee when value is less than \$100,000)		\$	
Total square feet air-conditioned space: (@ \$110.25 per sq. ft.)		s.f.	
Total square feet non-conditioned space: (@ \$51.60 per sq. ft.)		s.f.	
Total Construction Value:		\$	
Building fee: (2% of construction value SFR or >\$200K)		\$	
Building fee: (1% of construction value < \$200K + \$75 per insp.)			
Total number of inspections (Value < \$200K) @\$75 ea.		\$	
Radon Fee (\$.005 per sq. ft. under roof):		\$	
DBPR Licensing Fee: (\$.005 per sq. ft. under roof)		\$	
Road impact assessment: (.04% of construction value - \$5.00 min.)			
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	

ACCESSORY PERMIT	Declared Value:	\$	
			4630
Total number of inspections @ \$75.00 each	1	\$	75.00
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5.00
TOTAL ACCESSORY PERMIT FEE:		\$	80.00

RECEIVED
1-13-10

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: 9339

Date: 1-8-10

OWNER/TITLEHOLDER NAME: Cynthia Gustafson Phone (Day) 214-6917 (Fax) 419-0155

Job Site Address: 17 Palm Road City: Stuart State: FL Zip: 34996

Legal Description: Palm Row Revised Parcel Control Number: 13.38.41.005.000.00091.2

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Scope of work (please be specific): 103' of 4' high Green CL w 6' Gate + 84' of 5' Green alum + (2) 4' gates

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO

Has a Zoning Variance ever been granted on this property?

YES _____ (YEAR) _____ NO
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 4630.00

(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:

Estimated Fair Market Value prior to improvement: \$
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: Stuart Fence Company Inc Phone: 288-1151 Fax: 288-3035

Street: PO Box 2636 City: Stuart State: FL Zip: 34995

State License Number: _____ OR: Municipality: Martin Cty License Number: MCFE3584

LOCAL CONTACT: Katie Phone Number: 288-1151

DESIGN PROFESSIONAL: _____ Lic# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE*: _____

* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)
Cynthia Gustafson

State of Florida, County of: Martin

This the 5 day of January, 20 10

by Cynthia Gustafson who is personally

known to me or produced DL# G-231-110-53762-0

as identification. Kathryn Pereny

Notary Public: KATHRYN PERENY
MY COMMISSION #DD518590

My Commission Expires: EXPIRES FEB 14 2010

CONTRACTOR SIGNATURE: (required)
Chester Richmond

On State of Florida, County of: Martin

This the 8 day of January, 20 10

by Chester Richmond who is personally

known to me or produced

As identification. Kathryn Pereny

Notary Public: KATHRYN PERENY
MY COMMISSION #DD518590

My Commission Expires: EXPIRES FEB 14 2010

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



Martin County, Florida

Laurel Kelly, C.F.A

Site Provided by...
governmentmax.com T1.13

Summary

print Address
1 of 28

Parcel Info

Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Parcel ID **Unit Address**
 13-38-41-005-
 000-00091-2 17 PALM RD

Serial Index ID Order	Commercial Residential	
	Commercial	Residential
27816Address	0	1

Summary

Property Location 17 PALM RD
Tax District 2200 Sewall's Point
Account # 27816
Land Use 101 0100 Single Family
Neighborhood 120400
Acres 0.373

Legal Description
Property Information
 PALM ROW REVISED & AMENDED LOT 9A

Search By

- Parcel ID
- Owner
- Address**
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

Owner Information
Owner Information
 WILLERT, CRAIG &
 GUSTAFSON, CYNTHIA (H/W)

Mail Information
 17 PALM RD
 STUART FL 34996

Assessment Info
Front Ft. 0.00

Market Land Value \$229,500
Market Impr Value \$421,080
Market Total Value \$650,580

Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Recent Sale
Sale Amount \$90,000

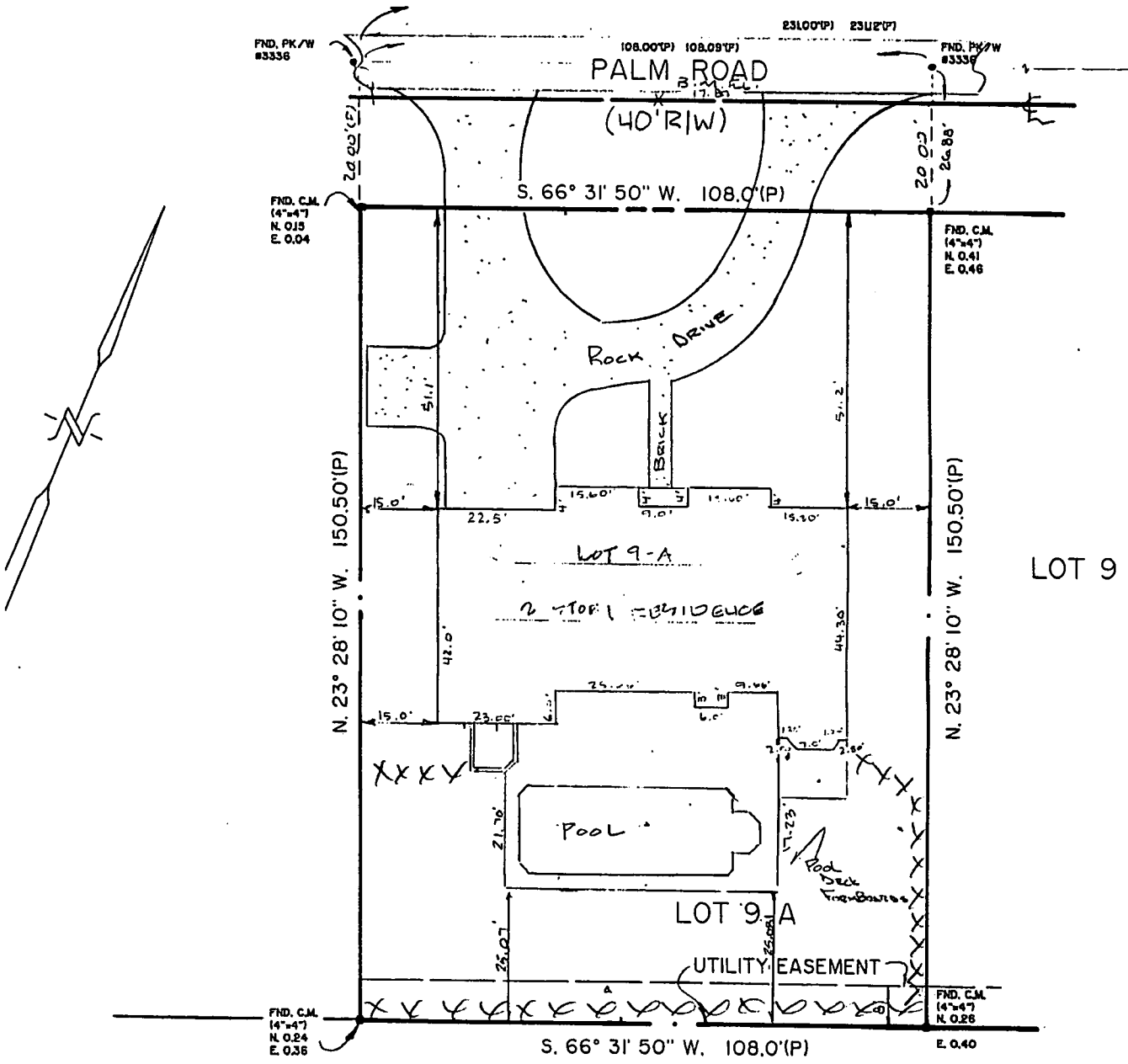
Sale Date 3/10/1988
Book/Page 0756 1109

Print | Back to List | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 01/05/2010





PROPERTY LOCATED WITHIN FLOOD ZONE: X
 PROPERTY ADDRESS: 17 PALM ROAD

CERTIFIED TO: CYNTHIA GUSTAFSON

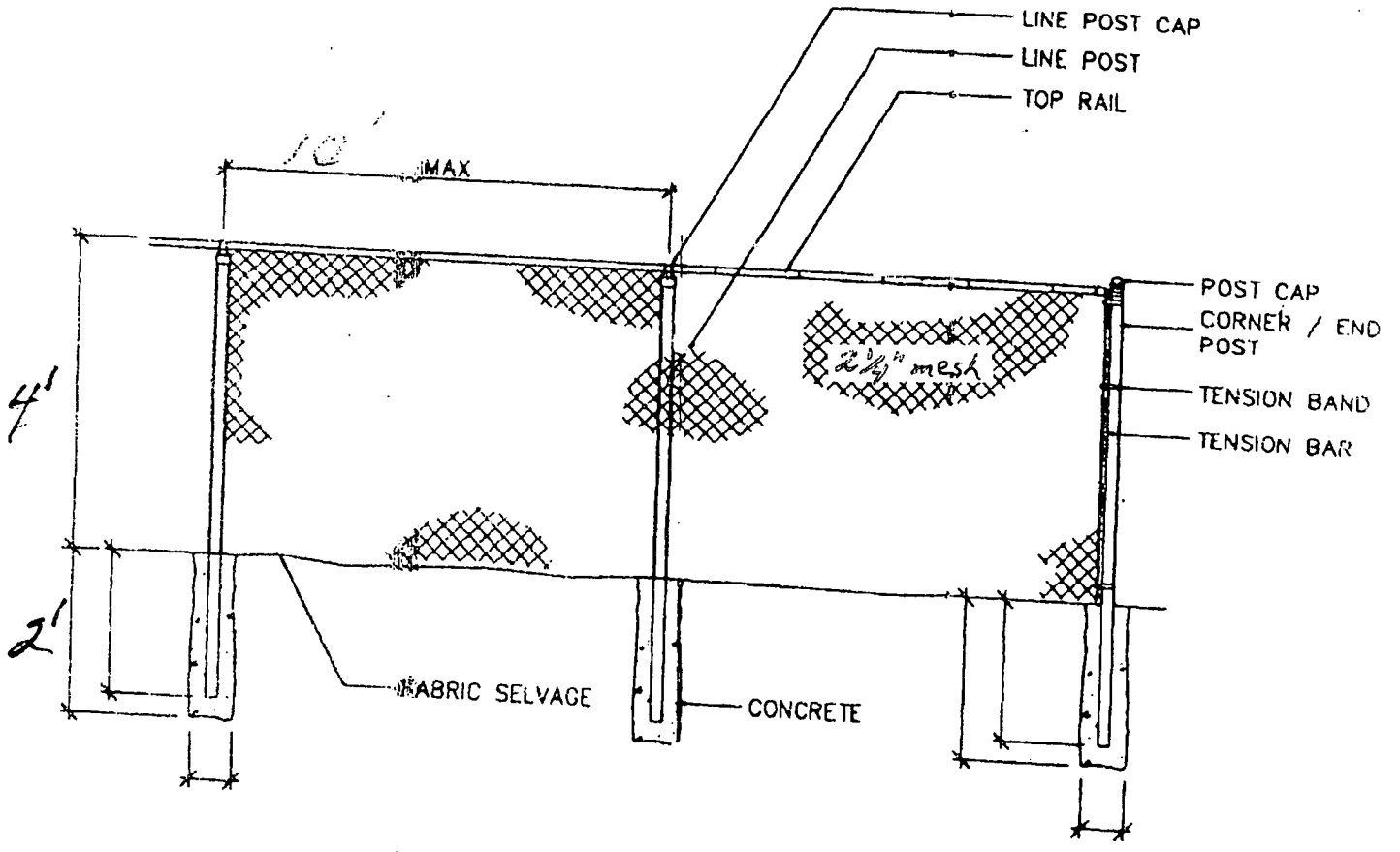
**TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY**

NOTES:

1. Survey of description as furnished by Client
2. Lands shown hereon were not abstracted for easement and/or rights-of-way of record.
- (P) Denotes distance or bearing by description as furnished
- (F) Denotes measured distance or bearing.
- (C) Denotes calculated distance or bearing.
3. All bearings are referenced to the instrument of record as shown hereon, unless otherwise noted.
4. Elevations shown hereon are relative to National Geodetic Vertical Datum of 1929, and are based on bench mark.
5. There are no above ground encroachments, unless otherwise shown.

SET I.B. - SET 5/8 IRON BAR & CAP #4049
 FND. - FOUND OBJECT
 I.P. - IRON PIPE
 C.M. - CONCRETE MONUMENT
 I.B. - IRON BAR
 P.K. - P.K. NAIL
 R.R.S. - RAILROAD SPIKE
 N. & W. - NAIL & WASHER
 N. & TT - NAIL & TIN TAB

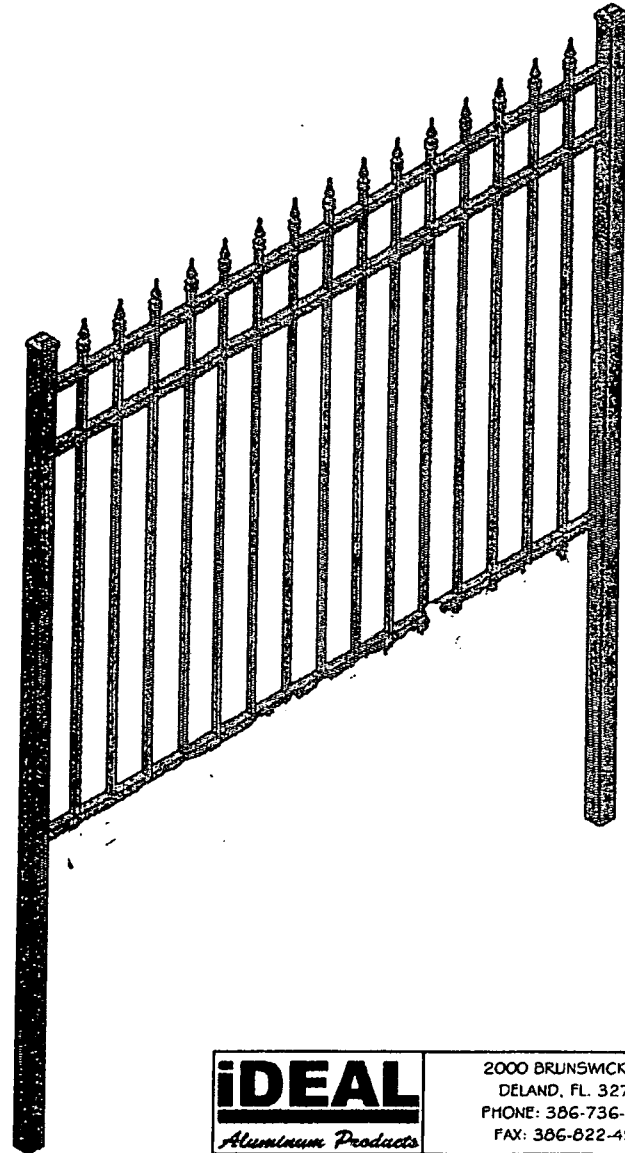
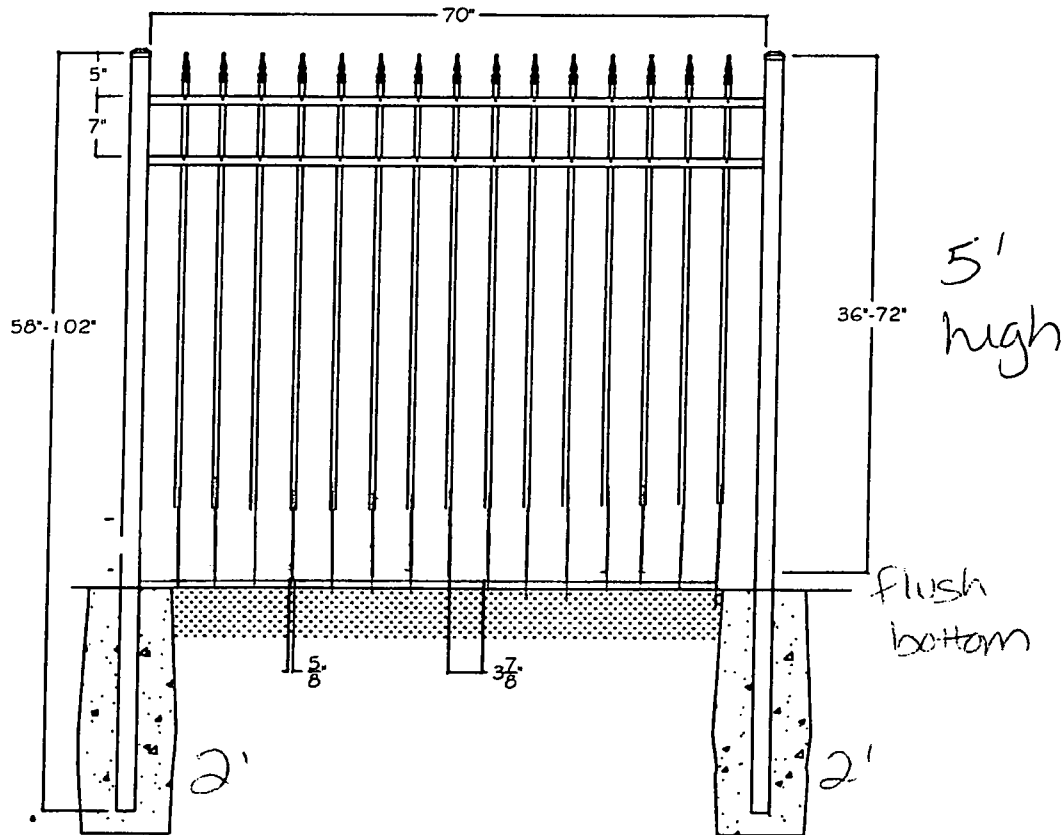
DRAINAGE FLOW
 MANHOLE
 POWER POLE
 CATCH BASIN
 8.50
 EXISTING ELEVATION



CHAIN LINK FENCING DETAIL
GREEN VINYL

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

FENCE PARTS		
ITEM	QTY	DESCRIPTION
1	15	5/8" PRESS POINT PICKET W/ .050" THICKNESS
2	3	1" X 1" HORIZONTAL RAIL W/ .062" X .072" THICKNESS
3	2	2" POST CAP
4	2	2" SQ. POST W/ .062" THICKNESS
5	45	SCREWS
6		
7		
8		



iDEAL
Aluminum Products

2000 BRUNSWICK LANE
DELAND, FL. 32724
PHONE: 386-736-1700
FAX: 386-822-4950

DRAWING: #600 RESIDENTIAL

DWG. NO: 600-72-60

REV: 01

SCALE: NTS

12/4/2007 8:55:07 AM



MARTIN COUNTY BUILDING DEPARTMENT
900 SE RICHIE STREET
STUART, FL 34994
(772) 288-5916
FAX (772) 288-5911

EASEMENT AGREEMENT

Date: 1-8-10

Gentlemen:

I propose to apply for a Martin County permit to erect a fence
to the (utility/drainage) easement on my property located at 17 Palm Road
Sawalls Point, FL

LEGAL DESCRIPTION: LOT , BLOCK , SUBDIVISION
(Brief description of dimensions and location from property lines)
see survey

In the event you have no objection to this project, please complete this form and return to me at:

Address: Fax to 772-288-3035
City: State: Zip:

I understand your company will not be responsible in any way for repair or replacement of any portion of
this fence and that any removal or replacement of such, necessary for your use of this
easement will be done at my expense.

I acknowledge that I will be responsible for any damage caused to your facilities in this (utility/drainage)
easement by the construction or maintenance of this structure.

Signed: [Signature] Phone: 772/214-6917

FOLLOWING TO BE COMPLETED BY UTILITY COMPANY

We agree to the proposed construction under the circumstances described above.

Company: Martin County Utilities
By: [Signature]
Title: Associate Planner

Company records indicate that a potential conflict DOES DOES NOT exist. The conflict consists of

1/11/2010 10:33 7722883035
02 000000 000000 7721190155
02 000000 000000 7722883035

STUART FENCE
EQUISHLEIGH, JUSTIN SUI
STUART FENCE

PAGE 02/03
PAGE 03/07
PAGE 02/02



MARTIN COUNTY BUILDING DEPARTMENT
500 SE RUDOLPH STREET
STUART, FL 34994
(772) 288-5916
FAX (772) 288-5911

EASEMENT AGREEMENT

Date: 1-8-10

Benefitmen:

I propose to apply for a Martin County permit to erect a fence
in the (utility/drainage) easement on my property located at 17 Palm Road
Sawalls Point, FL

LEGAL DESCRIPTION: LOT BLOCK SUBDIVISION
(Brief description of dimensions and location from property lines)
SEE SURVAY

If the event you have no objection to this project, please complete this form and return to the at:

Address: FOX TO 772-288-3035
City: _____ State: _____ Zip: _____

I understand your company will not be responsible in any way for repair or replacement of any portion of
the fence and that any removal or replacement of such, necessary for your use of the
easement will be done at my expense.

I do acknowledge that I will be responsible for any damage caused to your facilities in this (utility/drainage)
easement by the construction or maintenance of this structure.

Signature: [Signature] Phone: 772/214-6917

FOLLOWING TO BE COMPLETED BY UTILITY COMPANY

We agree to the proposed construction under the circumstances described above.

Company: Florida Power & Light Co
By: Shari Allore
Title: Tech Spec. II

Company records indicate that a potential conflict DOES DOES NOT exist. The conflict consists of

01/11/ 010 10:30

7722883035

STUART FENCE

PAGE 02/03

01/11/2011 16:51

7724100155

DAUGHTERY JUST-FENCE

PAGE 01/01

01/08/2010 15:14

7722883035

STUART FENCE

PAGE 02/02



MARTIN COUNTY BUILDING DEPARTMENT
900 SE RUMFICE STREET
STUART, FL 34994
(772) 288-5916
FAX (772) 288-5911

EASEMENT AGREEMENT

Date: 1-8-10

Gentlemen:

I propose to apply for a Martin County permit to erect a fence
to the (utility/drainage) easement on my property located at 17 Palm Road
Sawalls Point, FL

LEGAL DESCRIPTION: LOT , BLOCK , SUBDIVISION
(Brief description of dimensions and location from property lines)
SEE SURVEY

In the event you have no objection to this project, please complete this form and return to me at:

Address: FAx to 772 288 3035
City: State: Zip:

I understand your company will not be responsible in any way for repair or replacement of any portion of
this fence and that any removal or replacement of such, necessary for your use of this
easement will be done at my expense.

I acknowledge that I will be responsible for any damage caused to your facilities in this (utility/drainage)
easement by the construction or maintenance of this structure.

Signed: [Signature] Phone: 772/214-6917

FOLLOWING TO BE COMPLETED BY UTILITY COMPANY

We agree to the proposed construction under the circumstances described above.

Company: AT&T TELECOMMUNICATIONS INC.

By: LEROY WALKER [Signature] 1/12/2010

Title: ENGINEER

Company records indicate that a potential conflict DOES & DOES NOT exist. The conflict consists of

1-800-432-4770

DIGGING

48 HOURS BEFORE

SUNSHINE

CALL

We agree to the proposed construction under the circumstances described above.

FOLLOWING TO BE COMPLETED BY UTILITY COMPANY

Phone: 772/214-6417

Site: [Signature]

I acknowledge that I will be responsible for any damage caused to your facilities in this (utility/damage) easement by the construction or maintenance of this structure. I understand your company will not be responsible in any way for repair or replacement of any portion of this fence and that any removal or replacement of such, necessary for your use of this easement will be done at my expense.

City: State: Zip: Address: FOX TO 772-288-3035

In the event you have no objection to this project, please complete this form and return to the address above. (Brief description of dimensions and location from property lines) SEE SURVEY

LEGAL DESCRIPTION: LOT BLOCK SUBDIVISION Sewells Point, FL 17 Palm Road

I propose to apply for a Martin County permit to erect a fence to the (utility/damage) easement on my property located at [Signature]

EASEMENT AGREEMENT

MARTIN COUNTY BUILDING DEPARTMENT 900 SR RIVERS STREET STUART, FL 34994 (772) 288-5916 FAX (772) 288-5911



TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **2-16-10** Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9336	Watson 16 Riverview Dr Reamer Homes	Framing - w/iel email pictures	Pass	INSPECTOR <i>[Signature]</i>
9359	Krett 3 Miramar Eowater Sys.	Final Irrigation	Pass	CLOSE INSPECTOR <i>[Signature]</i>
9271	Hamton 102 N Sewalls Resort Const	Fasteners TRUSS STRAPPING & ENGINEERING	Pass	SEE LETTER ENG of Record INSPECTOR <i>[Signature]</i>
9337	Guadalupe H. Palm Rd Stuart Fence	Final Fence	Pass	CLOSE INSPECTOR <i>[Signature]</i>
Tree	12 Emarrita TREE 22 W H.P. E.E. 26 W. HIGH PT	Trees - ALL - STRUCTURE w/out permit	SEE PERMIT	NEEDS PERMIT INSPECTOR
9000	CO2 4 Fenwick Riverview	Gas final	FAIL	NEED ACCESSABLE ON/OFF AT RANGE INSPECTOR <i>[Signature]</i>
9329	Brutvan 23 WHPP WB Brown 260-1624	Steel	Pass	INSPECTOR <i>[Signature]</i>

9658

A/C CHANGEOUT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9658	DATE ISSUED:	DECEMBER 20, 2010
SCOPE OF WORK:	AC CHANGEOUT		
CONDITIONS :			
CONTRACTOR:	CENTURY A/C		
PARCEL CONTROL NUMBER:	133841005-000-000912	SUBDIVISION	PALM ROW-LOT9A
CONSTRUCTION ADDRESS:	17 PALM RD		
OWNER NAME:	WILLERT/GUSTAFSON		
QUALIFIER:	JOHN RILEY	CONTACT PHONE NUMBER:	781-3040

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point BUILDING PERMIT APPLICATION

Date: 12/15/10

Permit Number: 9658

OWNER/TITLEHOLDER NAME: CRAIG WILLERT ^{RYNTHIA} BUSTAFOS

Phone (Day) 214-6917 (Fax) _____

Job Site Address: 17 PALM RD

Legal Description: PALM ROW REVISED & AMENDED 9A City: STUART State: FL Zip: 34996

Parcel Control Number: 13-38-41-005-000-00091-227816

Owner Address (if different): SAME City: 11 State: 11 Zip: 11

SCOPE OF WORK (PLEASE BE SPECIFIC): AC CHANGE-OUT (2 SYSTEMS)

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO

Has a Zoning Variance ever been granted on this property?

YES _____ (YEAR) _____ NO
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 17490

(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10 _____ AEG _____ AEB _____ X _____

FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:

Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Century A/C

Phone: 781-3040 Fax: 781-3831

Qualifiers name: John M. Riley

Street: 3044 SE DOMINICAN TRAIL City: STUART State: FL Zip: 34994

State License Number: CAC057676

OR: Municipality: _____

License Number: _____

LOCAL CONTACT: _____

Phone Number: _____

DESIGN PROFESSIONAL: John 2486

Street: _____

City: _____

State: _____

Zip: _____

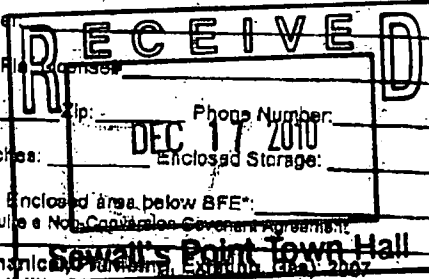
Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/Porches: _____

Carport: _____ Total under Roof _____ Elevated Deck _____

* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Compliance Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Electrical, Gas), 2007
National Electrical Code: 2008 (2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007



NOTICES TO OWNERS AND CONTRACTORS:

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
- THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 80-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS; OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER NOTORIZED SIGNATURE: (required per 713.136 F.S.)
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

X [Signature]
State of Florida, County of Martin
Or This the 16th day of December, 2010
by Cynthia Bustafos who is personally

known to me or produced to me by _____
As identification: [Signature] _____
Expires 7/1/2011
Florida Notary Assn., Inc.

CONTRACTOR NOTORIZED SIGNATURE: (required per 713.136 F.S.)

X [Signature]
State of Florida, County of Martin
Or This the 15th day of December, 2010
by [Signature] _____ who is personally

known to me or produced to me by _____
As identification: [Signature] _____
Expires May 1, 2011
Notary Public

My Commission Expires: _____

My Commission Expires: _____

SINGLE PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
 governmax.com 1.14

Summary

print Address 42 of 60

Tabs

- Summary**
- Print View
- Land
- Improvements
- Assessments & Exemptions
- Sales
- Taxes →
- Parcel Map →
- Trim Notice →

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
13-38-41-005-000-00091-2	27816	17 PALM RD, SEWALL'S POINT	\$575,790	12/11/2010

Searches

- Parcel ID
- Owner
- Address**
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Maps →

Owner Information	
Owner(Current)	WILLERT CRAIG & GUSTAFSON CYNTHIA
Owner/Mail Address	17 PALM RD STUART FL 34996
Sale Date	03/10/1988
Document Number	
Document Reference No.	0756 1109
Sale Price	90000

Location/Description			
Account #	27816	Map Page No.	SP-05
Tax District	2200	Legal Description	PALM ROW REVISED & AMENDED LOT 9A
Parcel Address	17 PALM RD, SEWALL'S POINT		
Acres	.3730		

Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Parcel Type	
Use Code	0100 Single Family
Neighborhood	120400 Hmwd,Palm Ro,Kngstn,Okwd, Pine

Assessment Information	
Market Land Value	\$195,800
Market Improvement Value	\$379,990
Market Total Value	\$575,790

Print Back to List First Previous Next Last

Legal Disclaimer / Privacy Statement





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

A/C PERMIT APPLICATION

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

Please make sure you have ALL required copies before submitting permit application

1 Copy Completed permit application

2 Copies of the following:

BOTH
SAME
SYSTEMS
3 1/2 TONS

- a. Manufacturer's data sheet to include make, model, seer/eer, tonnage, electrical requirements, refrigerant piping size, and AHRI listing page.
- b. Replacing ductwork requires Manual D layout plan with grille sizes
- c. Replacing entire system including ductwork requires Manual J and Energy calculations.
- d. Condenser tie down and Air Handler mounting details
- e. A/C change out affidavit

COMMERCIAL APPLICATIONS ADDITIONALLY REQUIRE

___ 2 Copies A/C Stand NOA or Engineers letter to retrofit to existing mounts.

___ Smoke Detectors in supply duct for units over 2000 CFM



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

Air Conditioning Change out Affidavit

Residential [] Commercial []

Package Unit Yes [] No [x] (Use Condenser side of form below for equipment listing)

Duct Replacement Yes [] No [x] Refrigerant line replacement Yes [] No [x]

Flushing Existing Refrigerant lines Yes [x] No [] Adding Refrigerant Drier Yes [x] No []

Rooftop A/C Stand Installation Yes [] No [x] Curb Installation Yes [] No [x]

Smoke Detector in Supply (over 2000 CFM) Yes [] No [x]

One form required for each A/C system installed

DOWNSTAIRS - 3 1/2 TON SAME FOR SAME

REPLACEMENT SYSTEM COMPONENTS

Air handler: Mfg: RHEEM/ROVP Model# RHLHM38

Volts 240 CFM's 1400 Heat Strip 10 Kw

Min. Circuit Amps 50 Wire gauge #6

Max. Breaker size 60 Min. Breaker size 50

Ref. line size: Liquid 3/8 Suction 7/8

Refrigerant type 410A

Location: Existing [x] New []

Attic/Garage/Closet (specify) CLOSET

Access: EASY

Condenser: Mfg: RHEEM/ROVP Model# RAKA042

Volts 240 SEER/EER 16/13 BTU's 42,000

Min. Circuit Amps 26 Wire gauge #11

Max. Breaker size 40 Min. Breaker size 30

Ref. line size: Liquid 3/8 Suction 7/8

Refrigerant type 410A

Location: Existing [x] New []

Left/Right/Rear/Front/Roof RIGHT REAR

Condensate Location GROUND

EXISTING SYSTEM COMPONENTS

Air handler: Mfg: AMERICAN STR. Model# TWE042

Volts 240 CFM's 1400 Heat Strip 10 Kw

Min. Circuit Amps 50 Wire gauge #6

Max. Breaker size 60 Min. Breaker size 50

Ref. line size: Liquid 3/8 Suction 7/8

Refrigerant type R-22

Location: Ext. [x] New []

Attic/Garage/Closet (specify) CLOSET

Access: OK

Condenser: Mfg: RHEEM Model# RAKA042

Volts 240 SEER/EER 10.2 BTU's 42,000

Min. Circuit Amps 32 Wire gauge #6

Max. Breaker size 45 Min. Breaker size 35

Ref. line size: Liquid 3/8 Suction 7/8

Refrigerant type R-22

Location: Ext. [x] New []

Left/Right/Rear/Front/Roof L

Condensate Location GROUND

Certification:

I herby certify that the information entered on this form accurately represents the equipment installed and further that this equipment is considered matched as required by FBC - R (N)1107 & 1108

Signature [Handwritten Signature]

Date 12/14/10

This combination qualifies for a Federal Energy Efficiency Tax Credit when placed in service between Feb 17, 2009 and Dec 31, 2010.

AHRI Certified Reference Number: 3849917

Date: 12/17/2010

Product: Split System: Air-Cooled Condensing Unit, Coil with Blower

Outdoor Unit Model Number: 14AJM42

Indoor Unit Model Number: RHLL-HM3821+RCSL-H*3821

Manufacturer: RUUD AIR CONDITIONING DIVISION

Trade/Brand name: RUUD 14AJM SERIES

Manufacturer responsible for the rating of this system combination is RUUD AIR CONDITIONING DIVISION

Rated as follows in accordance with AHRI Standard 210/240-2006 for Unitary Air-Conditioning and Air-Source Heat Pump Equipment and subject to verification of rating accuracy by AHRI-sponsored, independent, third party testing:

Cooling Capacity (Btuh):	40000
EER Rating (Cooling):	13.00
SEER Rating (Cooling):	16.00

* Ratings followed by an asterisk (*) indicate a voluntary rerate of previously published data, unless accompanied with a WAS, which indicates an involuntary rerate.

DISCLAIMER

AHRI does not endorse the product(s) listed on this Certificate and makes no representations, warranties or guarantees as to, and assumes no responsibility for, the product(s) listed on this Certificate. AHRI expressly disclaims all liability for damages of any kind arising out of the use or performance of the product(s), or the unauthorized alteration of data listed on this Certificate. Certified ratings are valid only for models and configurations listed in the directory at www.ahri.org.

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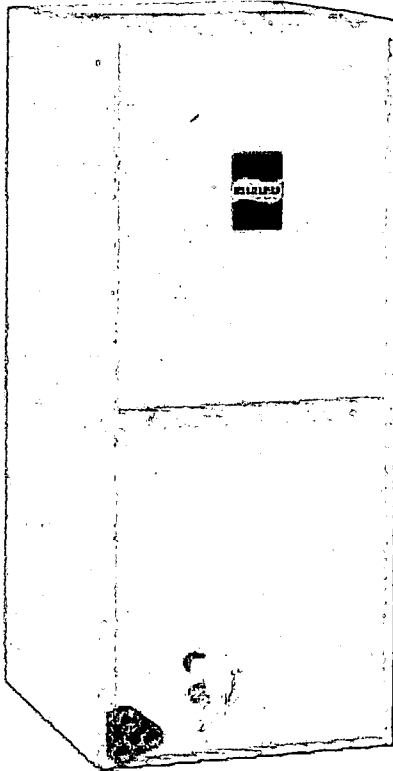
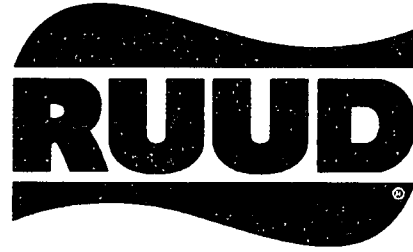
CERTIFICATE VERIFICATION

The information for the model cited on this certificate can be verified at www.ahri.org. click on "Verify" link and enter the AHRI Certified Reference Number and the date on which the certificate was issued, which is listed above, and the Certificate No., which is listed below.

©2010 Air-Conditioning, Heating, and Refrigeration Institute

CERTIFICATE NO.: 129370716244865833

AIR HANDLERS



AIR HANDLERS

RHLL- High Efficiency

featuring Industry Standard
R-410A Refrigerant

R-410A

RHSL- Standard Efficiency

featuring Industry Standard
R-410A Refrigerant

R-410A

Features

- RHLA/RHLL feature GE's new X-13 (ECM) motor which provides enhanced SEER performance with most Ruud outdoor units.
- 1 1/2 ton [5.3 kW] through 5 ton [17.6 kW] models are between 42 1/2 to 55 1/2 inches [1080 to 1410 mm] tall and 22 inches [559 mm] deep.
- Versatile 4-way convertible design for upflow, downflow, horizontal left and horizontal right applications.
- Factory-installed high efficiency indoor coil.
- All models meet or exceed 330 to 400 CFM [156 to 189 L/s] per ton at .3 inches [.7 kPa] of external static pressure.
- Enhanced airflow up to .7" external static pressure.
- Sturdy construction with 1.0 inch [.24 kPa] of reinforced foil faced jacket insulation for excellent thermal and sound insulation.
- Field-installed auxiliary electric heater kits provide exact heat for indoor comfort. Kits include circuit breakers which meet UL and cUL requirements for service disconnect.



Engineering Features

RHLL/RHSL- Series

- The most compact unit design available, all standard heat air handler models only 42½ to 55½ inches [1079 to 1409 mm] high.
- Attractive pre-painted cabinet exterior.
- Rugged wall steel cabinet construction, designed for added strength and versatility.
- 1.0" foil faced insulation mechanically retained in blower compartment for excellent thermal and sound performance.
- Four leg blower motor mount.
- Blower housing with controls, motor and blower. Slide out design for service and maintenance convenience.
- Traditional open wire element design for heat applications.
- Field convertible for vertical downflow, horizontal left hand or right hand air supply.
- 3 combustible floor base accessories fit all model sizes when required for downflow installations on combustible floors.
- Indoor coil design provides low air side pressure drop, high performance and extremely compact size.
- Expansion valve on indoor coil provides for operation with air conditioning or heat pump using the same coil.
- Coils are constructed of aluminum fins bonded to internally grooved copper tubing.
- Molded polymer corrosion resistant condensate drain pan is provided on all indoor coils.
- Supply duct flanges provided as standard on air handler cabinet.
- Provisions for field electrical, connections available from either side or top of the air handler cabinet.
- Connection point for high voltage wiring is inside the air handler cabinet. Low voltage connection is made on the outside of the air handler cabinet.
- Concentric knockouts are provided for power connection to cabinet. Installer may pull desired hole size up to 2 inches [51 mm] for 1½ inch [38 mm] conduit.
- Front refrigerant and drain connections.

[] Designates Metric Conversions



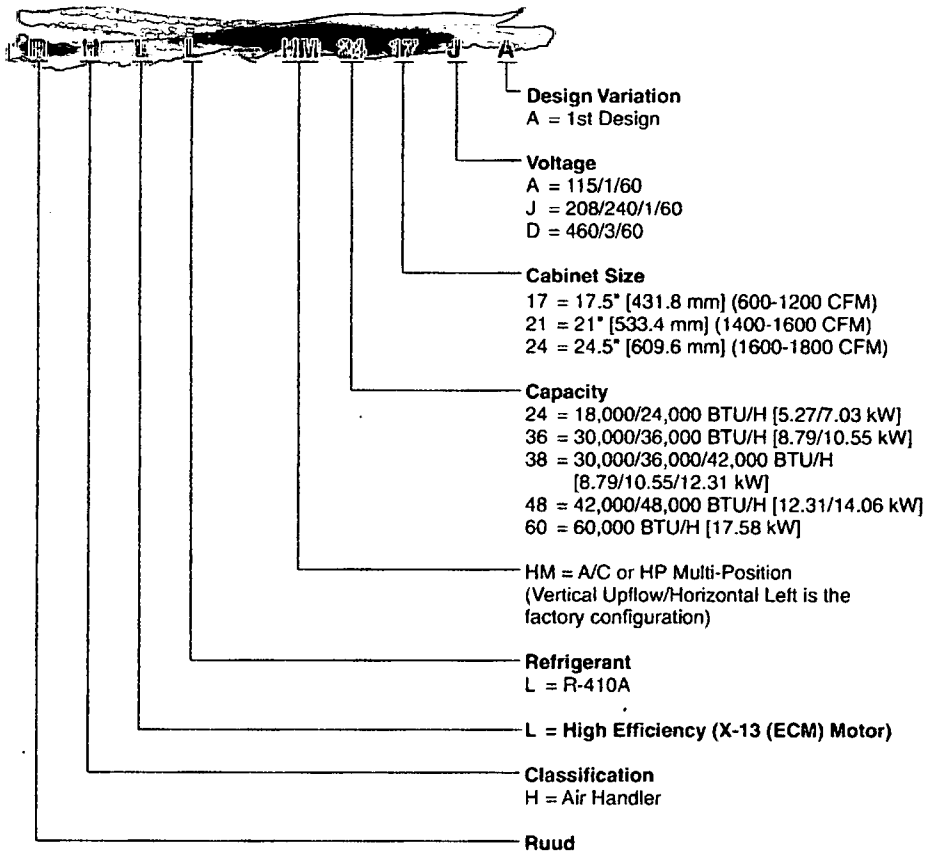
GENERAL TERMS OF LIMITED WARRANTY

Ruud will furnish a replacement for any part of this product which fails in normal use and service within the applicable periods stated, in accordance with the terms of the limited warranty.

Conditional Parts (Registration Required)Ten (10) Years

For Complete Details of the Limited Warranty, Including Applicable Terms and Conditions, See Your Local Installer or Contact the Manufacturer for a Copy.

Model Identification

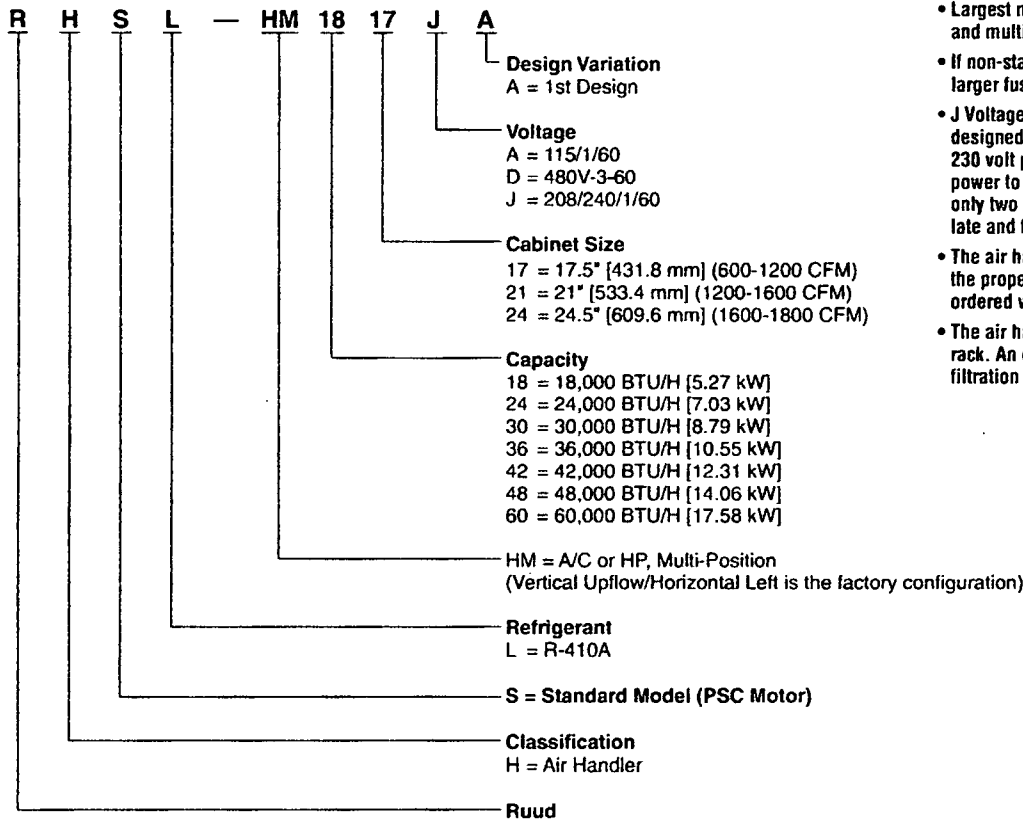


Available Models at 115V A Voltage	
RHSL-HM1817AA	RHLL-HM2417AA
RHSL-HM2417AA	RHLL-HM3617AA
RHSL-HM3017AA	RHLL-HM4821AA
RHSL-HM3617AA	RHLL-HM4824AA
RHSL-HM4221AA	RHLL-HM6024AA
RHSL-HM4821AA	RHLL-HM3821AA

Available Models at 218V J Voltage	
RHSL-HM1817JA	RHLL-HM2417JA
RHSL-HM2417JA	RHLL-HM3617JA
RHSL-HM3017JA	RHLL-HM4821JA
RHSL-HM3617JA	RHLL-HM4824JA
RHSL-HM3621JA	RHLL-HM6024JA
RHSL-HM4221JA	RHLL-HM3821JA
RHSL-HM4821JA	
RHSL-HM4824JA	
RHSL-HM6024JA*	

Available Models at D Voltage	
RHSL-HM3617DA	
RHSL-HM4221DA	
RHSL-HM4821DA	
RHSL-HM4824DA	
RHLL-HM6024DA	
RHSL-HM6024DA	

- Supply circuit protective devices may be fuses or "HACR" type circuit breakers.
- Largest motor load is included in single circuit and multiple circuit.
- If non-standard fuse size is specified, use the next larger fuse size.
- J Voltage (230V) single-phase air handler is designed to be used with single or three phase 230 volt power. In the case of connecting 3-phase power to the air handler terminal block, bring only two leads to the terminal block. Cap, insulate and fully secure the third lead.
- The air handlers are shipped from the factory with the proper indoor coil installed, and cannot be ordered without a coil.
- The air handlers do not have an internal filter rack. An external filter rack or other means of filtration is required.



[] Designates Metric Conversions

Unit Dimensions

ELECTRICAL CONNECTIONS
MAY EXIT TOP OR EITHER SIDE
HIGH VOLTAGE CONNECTION 7/8" [22.2 mm],
1 1/2" [27.8 mm], 1 1/2" [50 mm] DIA. KNOCKOUTS.

SUPPLY AIR ↑

NOTE: 24" CLEARANCE REQUIRED IN FRONT OF
UNIT FOR FILTER AND COIL MAINTENANCE.

LOW VOLTAGE CONNECTION
3/4" [15.9 mm] AND 7/8" [22.2 mm] KNOCKOUT

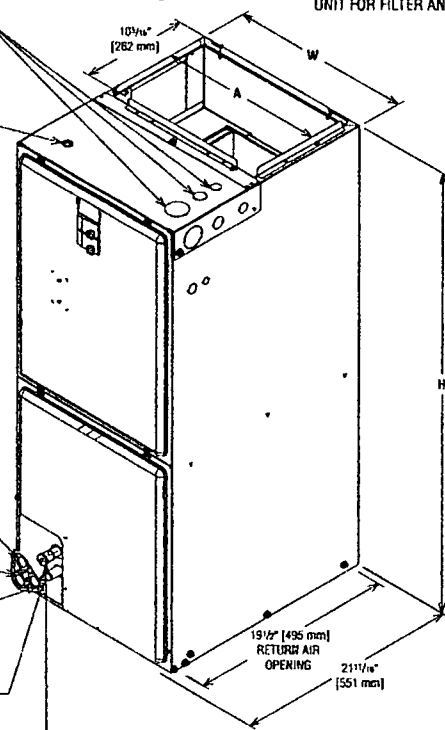
AUXILIARY DRAIN CONNECTION
3/4" [19.1 mm] FEMALE PIPE THREAD (NPT)
HORIZONTAL APPLICATION ONLY

PRIMARY DRAIN CONNECTION
3/4" [19.1 mm] FEMALE PIPE THREAD (NPT)

AUXILIARY DRAIN CONNECTION
3/4" [19.1 mm] FEMALE PIPE THREAD (NPT)
UPFLOW/DOWNFLOW APPLICATION ONLY

LIQUID LINE CONNECTION
COPPER (SWEAT)

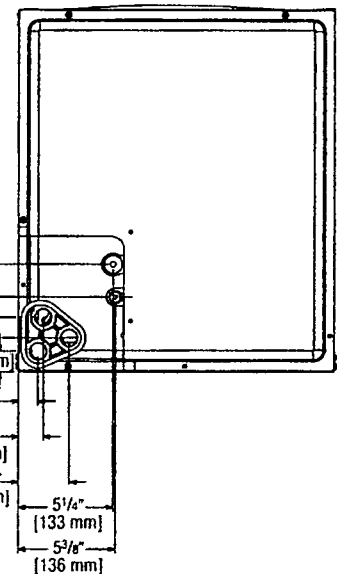
VAPOR LINE CONNECTION
COPPER (SWEAT)



UPFLOW UNIT SHOWN:
UNIT MAY BE INSTALLED UPFLOW, DOWNFLOW,
HORIZONTAL RIGHT OR LEFT AIR SUPPLY.

Return Air Opening Dimensions

Model Cabinet Size	Return Air Opening Width (Inches)	Return Air Opening Depth/Length (Inches)
17	15 7/8	19 3/4
21	19 3/8	19 3/4
24	22 7/8	19 3/4



HORIZONTAL ADAPTER KIT

VAPOR LINE CONNECTION

AUXILIARY HORIZONTAL DRAIN CONNECTION

PRIMARY DRAIN CONNECTION

AUXILIARY UPFLOW/DOWNFLOW DRAIN CONNECTION

LIQUID LINE CONNECTION

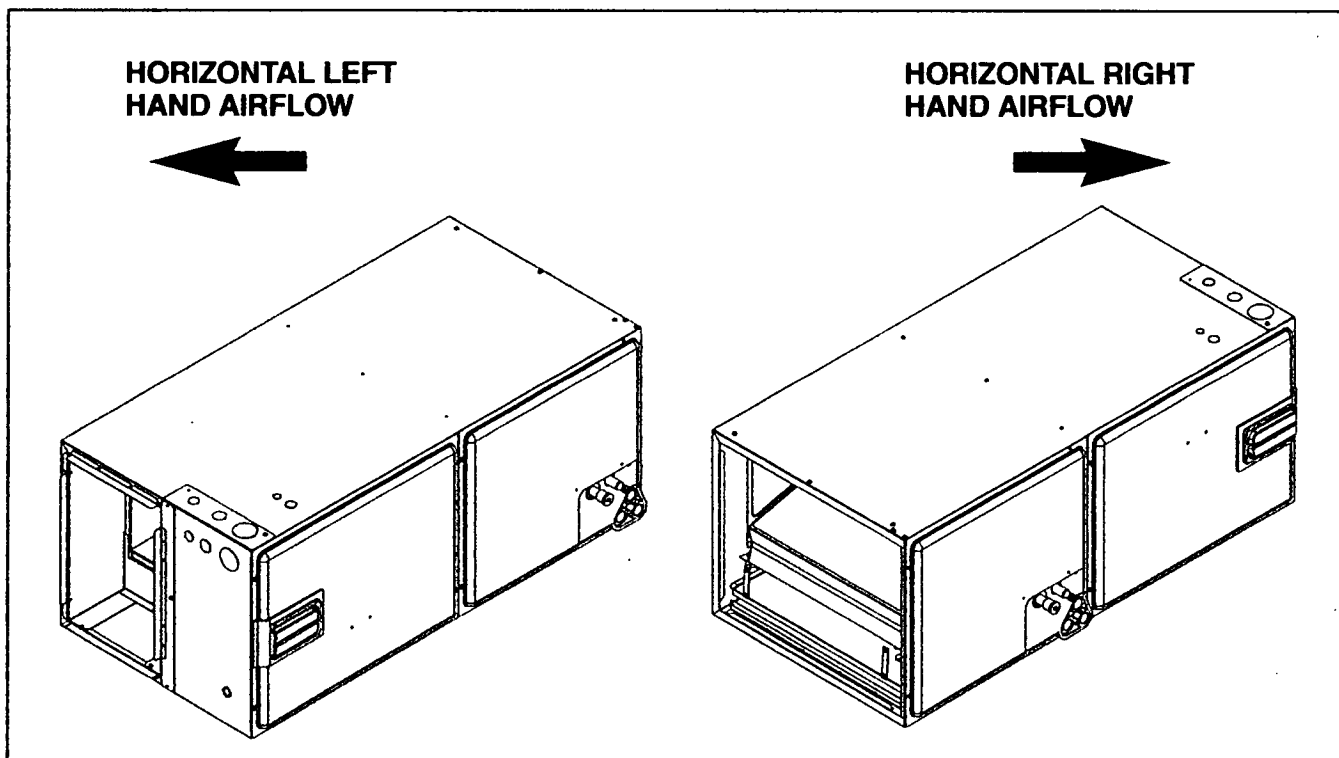
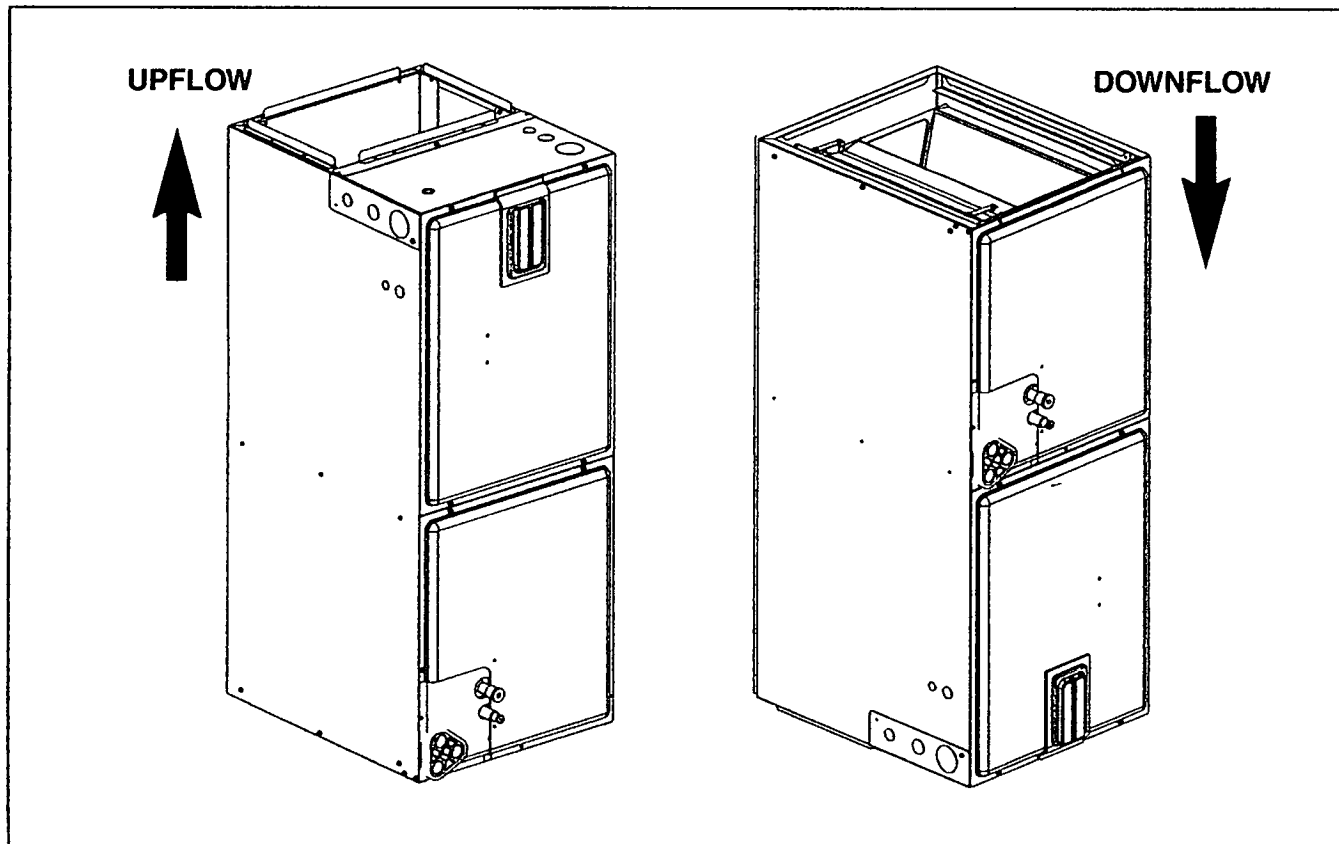
VERTICAL DRAIN PAN

[] Designates Metric Conversions
() Designates Unit with Double Coil Cabinet

Unit Dimensions & Weights

Model Size RHLL & RHSL	Unit Width "W" In. [mm]	Unit Height "H" In. [mm]	Supply Duct "A" In. [mm]	Air Flow CFM (Nom.) [L/s]		Unit Weight/Shipping Weight (Lbs.) [kg] Unit With Coil (Max. KW)
				Lo	Hi	
1817/2417	17 1/2 [445]	42 1/2 [1080]	16 [406]	600 [283]	800 [378]	82/96 [37/44]
3017/3617	17 1/2 [445]	42 1/2 [1080]	16 [406]	1000 [472]	1200 [566]	92/106 [37/48]
3621	21 [533]	42 1/2 [1080]	19 1/2 [495]	1200 [566]	—	97/112 [44/51]
3821	21 [533]	50 1/2 [1282]	19 1/2 [495]	1000 [472]	1200 [566]	150/166 [68/75]
4221/4821	21 [533]	50 1/2 [1282]	19 1/2 [495]	1000 [472]	1600 [755]	150/166 [68/75]
4824	24 1/2 [622]	55 1/2 [1410]	23 [584]	1600 [755]	—	162/180 [73/81]
6024	24 1/2 [622]	55 1/2 [1410]	23 [584]	—	1800 [850]	181/198 [82/90]

Airflow Directions



Airflow Performance

Airflow performance data is based on cooling performance with a coil and no filter in place. Select performance table for appropriate unit size, voltage and number of electric heaters to be used. Make sure external static applied to unit allows operation within the minimum and maximum limits shown in table

below for both cooling and electric heat operation. For optimum blower performance, operate the unit in the .3 [8 mm] to .7 inches [18 mm] W.C. external static range. Units with coils should be applied with a minimum of .1 inch [3 mm] W.C. external static range.

Airflow Operating Limits

Model Cabinet Size	17		17/21		21			24	
Cooling BTUH x 1,000	-018	-024	-030	-036	-038	-042	-048	-048	-060
Cooling Tons Nominal	1.5	2	2.5	3	3.5	3.5	4	4	5
Heat Pump or Air Conditioning Maximum Heat/Cool CFM [L/s] (37.5 CFM [18 L/s]/1,000 BTUH) (450 CFM [212 L/s]/Ton Nominal)	675 [319]	900 [425]	1125 [531]	1350 [637]	1350 [637]	1575 [743]	1800 [850]	1800 [850]	1930 [911]
Heat Pump or Air Conditioning Nominal Heat/Cool CFM [L/s] (33.3 CFM [16 L/s]/1,000 BTUH) (400 CFM [189 L/s]/Ton Nominal)	600 [283]	800 [378]	1000 [472]	1200 [566]	1200 [566]	1400 [661]	1600 [755]	1600 [755]	1800 [850]
Heat Pump or Air Conditioning Minimum Heat/Cool CFM [L/s] (30.0 CFM [14 L/s]/1,200 BTUH) (360 CFM [170 L/s]/Ton Nominal)	540 [255]	720 [340]	900 [425]	1080 [510]	1080 [510]	1260 [595]	1440 [680]	1440 [680]	1620 [765]
Maximum kW Electric Heating & Minimum Electric Heat CFM [L/s]	13 487 [230]	13 617 [291]	18 814 [384]	18 1054 [497]	18 1042 [492]	20 1171 [553]	25 1502 [709]	25 1502 [709]	30 1666 [786]
Maximum Electric Heat Rise °F [°C]	80 [26.7]	63 [17.2]	66 [18.9]	51 [10.6]	52 [11.1]	49 [9.4]	50 [10]	50 [10]	54 [12.2]

[] Designates Metric Conversions

115V/208V/240V/460V Airflow Performance Data—RHLL (X-13 (ECM) Motor) (con't.)

Model No. RHLL	Tonnage Application	Motor Speed From Factory	Manufacturer Recommended Air-Flow Range (Min/Max) CFM	Blower Size/ Motor HP [W] # of Speed	Motor Speed	PSC CFM [L/s] Air Delivery/RPM/Watts—115/208/240 Volts							
						External Static Pressure—Inches W.C. [kPa]							
						0.1 [.02]	0.2 [.05]	0.3 [.07]	0.4 [.10]	0.5 [.12]	0.6 [.15]	0.7 [.17]	
-3821 No Heater	2.5 Ton	4	854/1103 CFM [403/521 L/s]	10x10 3/4 HP [559] 5 Speed	2	CFM	1073 [506]	1016 [479]	963 [454]	906 [428]	854 [403]	—	—
						RPM	637	692	746	801	847	—	—
						Watts	130	142	153	165	176	—	—
					3	CFM	—	—	—	—	1103	1059	1000
						RPM	—	—	—	—	917	957	1001
						Watts	—	—	—	—	262	271	285
-3821 with 18 kW Heater	2.5 Ton	4	828/1016 CFM [391/479 L/s]	10x10 3/4 HP [559] 5 Speed	2	CFM	1044 [493]	988 [466]	936 [442]	880 [415]	828 [391]	—	—
						RPM	678	734	791	844	883	—	—
						Watts	141	155	158	171	182	—	—
					3	CFM	—	—	—	—	1016	961	904
						RPM	—	—	—	—	939	968	1015
						Watts	—	—	—	—	233	243	265
-3821 No Heater	3 Ton	4	1070/1288 CFM [505/608 L/s]	10x10 3/4 HP [559] 5 Speed	4	CFM	1264 [597]	1223 [577]	1171 [553]	1112 [525]	1070 [505]	—	—
						RPM	724	761	814	868	900	—	—
						Watts	198	208	222	237	245	—	—
					5	CFM	—	—	—	—	1288	1244	1200
						RPM	—	—	—	—	974	1012	1044
						Watts	—	—	—	—	345	362	371
-3821 with 18 kW Heater	3 Ton	4	1042/1257 CFM [492/593 L/s]	10x10 3/4 HP [559] 5 Speed	4	CFM	1233 [582]	1193 [563]	1142 [539]	1084 [512]	1042 [492]	—	—
						RPM	759	794	845	915	933	—	—
						Watts	219	215	227	251	261	—	—
					5	CFM	—	—	—	—	1257	1213	1169
						RPM	—	—	—	—	1020	1023	1054
						Watts	—	—	—	—	355	368	376

Notes: X-13 (ECM) motor speed changes.

All X-13 (ECM) motors have 5 speed tabs. Speed tab 1 is for continuous fan. Speed tab 2 (low static) and Speed tab 3 (high static) are for lower tonnage. Speed tab 4 (low static) and Speed tab 5 (high static) are for higher tonnage.

X-13 (ECM) air handlers are always shipped from factory at Speed tab 5, except for -4824, which is set at Speed tab 3. For instance, RHLL-HM2417JA is always shipped at high static 2-ton airflow (Speed tab 5). To change to 1.5-ton airflow, move the blue wire to Speed tab 2 or 3 on the X-13 (ECM) motor. The low static Speed tab 2 (lower tonnage) and 4 (higher tonnage) are used for external static below 0.5" WC. The high static Speed tab 3 (lower tonnage) and 5 (higher tonnage) are used for external static exceeding 0.5" WC. Move the blue wire to the appropriate Speed tab as required by the application needs.

- The airflow for continuous fan (Speed tab 1) is always set at 50% of the Speed tab 4.
- The above airflow table lists the airflow information for air handlers without heater and air handler with maximum heater allowed for each model.
- The following formula can be used to calculate the approximate airflow, if a smaller (N kW) than the maximum heater kit is installed.

$$\text{Approximate Airflow} = \text{Airflow without heater} - (\text{Airflow without heater} - \text{Airflow with maximum heater}) \times (\text{N kW}/\text{maximum heater kW})$$

[] Designates Metric Conversions

115V/208V/240V/460V Airflow Performance Data—RHLL (X-13 (ECM) Motor) (con't.)

Model No. RHLL	Tonnage Application	Motor Speed From Factory	Manufacturer Recommended Air-Flow Range (Min/Max) CFM	Blower Size/ Motor HP [W] # of Speed	Motor Speed	PSC CFM [L/s] Air Delivery/RPM/Watts—115/208/240 Volts									
						External Static Pressure—Inches W.C. [kPa]									
						0.1 [.02]	0.2 [.05]	0.3 [.07]	0.4 [.10]	0.5 [.12]	0.6 [.15]	0.7 [.17]			
-4821 No Heater	3.5 Ton	5	1337/1447 CFM [631/683 L/s]	10x10 3/4 HP [559] 5 Speed	2	CFM	1473 [695]	1442 [681]	1401 [661]	1373 [648]	1337 [631]	—	—		
						RPM	781	825	867	905	949	—	—		
						Watts	257	271	303	307	315	—	—		
					3	CFM	—	—	—	—	1447 [683]	1433 [676]	1402 [662]	—	—
						RPM	—	—	—	—	987	1034	1065	—	—
						Watts	—	—	—	—	394	406	405	—	—
-4821 with 20 kW Heater	3.5 Ton	5	1297/1333 CFM [612/629 L/s]	10x10 3/4 HP [559] 5 Speed	2	CFM	1433 [676]	1402 [662]	1361 [642]	1333 [629]	1297 [612]	—	—		
						RPM	831	875	919	954	989	—	—		
						Watts	277	295	313	319	325	—	—		
					3	CFM	—	—	—	—	1333 [629]	1300 [613]	1267 [598]	—	—
						RPM	—	—	—	—	1011	1046	1080	—	—
						Watts	—	—	—	—	350	364	377	—	—
-4821 No Heater	4 Ton	5	1535/1654 CFM [724/781 L/s]	10x10 3/4 HP [559] 5 Speed	4	CFM	1665 [786]	1631 [770]	1601 [756]	1572 [742]	1535 [724]	—	—		
						RPM	853	893	934	968	1015	—	—		
						Watts	351	387	401	406	422	—	—		
					5	CFM	—	—	—	—	1654 [781]	1624 [766]	1563 [738]	—	—
						RPM	—	—	—	—	1036	1078	1095	—	—
						Watts	—	—	—	—	500	513	523	—	—
-4821 with 25 kW Heater	4 Ton	5	1495/1614 CFM [706/762 L/s]	10x10 3/4 HP [559] 2 Speed	4	CFM	1625 [767]	1591 [751]	1561 [737]	1532 [723]	1495 [706]	—	—		
						RPM	894	932	970	1020	1052	—	—		
						Watts	389	400	410	430	450	—	—		
					5	CFM	—	—	—	—	1614 [762]	1584 [748]	1523 [719]	—	—
						RPM	—	—	—	—	1085	1090	1105	—	—
						Watts	—	—	—	—	514	520	530	—	—
-4824 No Heater	4 Ton	3	1545/1732 CFM [729/817 L/s]	11x11 3/4 HP [559] 5 Speed	2	CFM	1748 [825]	1669 [788]	1639 [773]	1599 [755]	1545 [729]	—	—		
						RPM	660	698	734	762	795	—	—		
						Watts	297	311	326	340	353	—	—		
					3	CFM	—	—	—	—	1732 [817]	1683 [794]	1630 [769]	—	—
						RPM	—	—	—	—	840	872	899	—	—
						Watts	—	—	—	—	448	467	480	—	—
-4824 with 25 kW Heater	4 Ton	3	1505/1692 CFM [710/798 L/s]	11x11 3/4 HP [559] 5 Speed	2	CFM	1708 [806]	1629 [769]	1599 [755]	1559 [736]	1505 [710]	—	—		
						RPM	680	736	760	790	820	—	—		
						Watts	305	330	341	350	361	—	—		
					3	CFM	—	—	—	—	1692 [798]	1643 [775]	1590 [750]	—	—
						RPM	—	—	—	—	865	890	1014	—	—
						Watts	—	—	—	—	460	470	481	—	—
-6024 No Heater	5 Ton	5	1517/1699 CFM [715/800 L/s]	11x11 3/4 HP [559] 5 Speed	2	CFM	1705 [800]	1661 [703]	1632 [770]	1572 [741]	1517 [915]	—	—		
						RPM	663	701	741	782	819	—	—		
						Watts	292	309	321	343	357	—	—		
					3	CFM	—	—	—	—	1699 [500]	1646 [776]	1601 [725]	—	—
						RPM	—	—	—	—	857	895	920	—	—
						Watts	—	—	—	—	447	466	473	—	—
-6024 with 30 kW Heater	5 Ton	5	1477/1655 CFM [687/785 L/s]	11x11 3/4 HP [559] 5 Speed	2	CFM	1665 [995]	1621 [965]	1592 [751]	1532 [723]	1477 [697]	—	—		
						RPM	701	739	779	820	857	—	—		
						Watts	313	330	342	364	378	—	—		
					3	CFM	—	—	—	—	1657 [787]	1606 [759]	1561 [735]	—	—
						RPM	—	—	—	—	895	933	958	—	—
						Watts	—	—	—	—	968	487	494	—	—

Notes: X-13 (ECM) motor speed changes.

All X-13 (ECM) motors have 5 speed tabs. Speed tab 1 is for continuous fan. Speed tab 2 (low static) and Speed tab 3 (high static) are for lower tonnage. Speed tab 4 (low static) and Speed tab 5 (high static) are for higher tonnage.

X-13 (ECM) air handlers are always shipped from factory at Speed tab 5, except for -4824, which is set at Speed tab 3. For instance, RHLL-HM2417JA is always shipped at high static 2-ton airflow (Speed tab 5). To change to 1.5-ton airflow (Speed tab 5). The low static Speed tab 2 (lower tonnage) and 4 (higher tonnage) are used for external static below 0.5" WC. The high static Speed tab 3 (lower tonnage) and 5 (higher tonnage) are used for external static exceeding 0.5" WC. Move the blue wire to the appropriate Speed tab as required by the application needs.

- The airflow for continuous fan (Speed tab 1) is always set at 50% of the Speed tab 4.
- The above airflow table lists the airflow information for air handlers without heater and air handler with maximum heater allowed for each model.
- The following formula can be used to calculate the approximate airflow, if a smaller (N kW) than the maximum heater kit is installed.

$$\text{Approximate Airflow} = \text{Airflow without heater} - (\text{Airflow without heater} - \text{Airflow with maximum heater}) \times (\text{N kW}/\text{maximum heater kW})$$

[] Designates Metric Conversions

RHLL Electrical Data – with Electric Heat

Installation of the U.L. Listed original equipment manufacturer provided heater kits listed in the table below is recommended for all auxiliary heating requirements.

Model	Heater Model No.	Heater KW 208/240V	PH/HZ	No. Elements - KW Per	Type Supply Circuit Single Circuit Multiple Circuit	Circuit Amps.	Motor Ampacity	Minimum Circuit Ampacity	Maximum Circuit Protection
RHLL 2417	RXBH-1724B03J/RXBH-17A03J	2.25/3.0	1/60	1 - 3.0	SINGLE	10.8/12.5	1.6	16/18	20/20
	RXBH-1724B05J/RXBH-17A05J	3.6/4.8	1/60	1 - 4.8	SINGLE	17.3/20.0	1.6	24/27	25/30
	RXBH-1724B07J/RXBH-17A07J	5.4/7.2	1/60	2 - 3.6	SINGLE	26.0/30.0	1.6	35/40	35/40
	RXBH-1724B10J/RXBH-17A10J	7.2/9.6	1/60	2 - 4.8	SINGLE	34.6/40.0	1.6	46/52	50/60
	RXBH-1724A13J	9.4/12.5	1/60	3-4-17	SINGLE	45.1/52.1	1.6	59/68	60/70
	RXBH-1724A13J	3.1/4.2	1/60	1-4-17	MULTIPLE CKT 1	15.0/17.4	1.6	21/24	25/25
		6.3/8.3	1/60	2-4-17	MULTIPLE CKT 2	30.1/34.7	0	38/44	40/45
	RXBH-1724A07C	5.4/7.2	3/60	3 - 2.4	SINGLE	15.0/17.3	1.6	21/24	25/25
RXBH-1724A10C	7.2/9.6	3/60	3 - 3.2	SINGLE	20.0/23.1	1.6	27/31	30/35	
RXBH-1724A13C	9.4/12.5	3/60	3 - 4.17	SINGLE	26.1/30.1	1.6	35/40	35/40	
RHLL 3617	RXBH-1724A03J	2.25/3.0	1/60	1 - 3.0	SINGLE	10.8/12.5	2.7	17/19	20/20
	RXBH-1724A05J	3.6/4.8	1/60	1 - 4.8	SINGLE	17.3/20.0	2.7	25/29	25/30
	RXBH-1724A07J	5.4/7.2	1/60	2 - 3.6	SINGLE	26.0/30.0	2.7	36/41	40/45
	RXBH-1724A10J	7.2/9.6	1/60	2 - 4.8	SINGLE	34.6/40.0	2.7	47/54	50/60
	RXBH-1724A13J	9.4/12.5	1/60	3-4-17	SINGLE	45.1/52.1	2.7	60/69	60/70
	RXBH-1724A13J	3.1/4.2	1/60	1-4-17	MULTIPLE CKT 1	15.0/17.4	2.7	23/26	25/30
		6.3/8.3	1/60	2-4-17	MULTIPLE CKT 2	30.1/34.7	0	38/44	40/45
	RXBH-1724A15J	10.8/14.4	1/60	3-4-8	SINGLE	51.9/60.0	2.7	69/79	70/80
	RXBH-1724A15J	3.6/4.8	1/60	1 - 4.8	MULTIPLE CKT 1	17.3/20.0	2.7	25/29	25/30
		7.2/9.6	1/60	2 - 4.8	MULTIPLE CKT 2	34.6/40.0	0	44/50	45/50
	RXBH-1724A18J	12.8/17.0	1/60	3-5-6.8	SINGLE	61.6/70.8	2.7	81/92	90/100
	RXBH-1724A18J	4.3/5.7	1/60	1-5-6.8	MULTIPLE CKT 1	20.5/23.6	2.7	29/33	30/35
		8.5/11.3	1/60	2 - 5.68	MULTIPLE CKT 2	41.1/47.2	0	52/59	60/60
	RXBH-1724A07C	5.4/7.2	3/60	3 - 2.4	SINGLE	15.0/17.3	2.7	23/25	25/25
	RXBH-1724A10C	7.2/9.6	3/60	3 - 3.2	SINGLE	20.0/23.1	2.7	29/33	30/35
	RXBH-1724A13C	9.4/12.5	3/60	3 - 4.17	SINGLE	26.1/30.1	2.7	36/41	40/45
	RXBH-1724A15C	10.8/14.4	3/60	3 - 4.8	SINGLE	30.0/34.6	2.7	41/47	45/50
	RXBH-1724A18C	12.8/17.0	3/60	3-5-6.8	SINGLE	35.5/41.0	2.7	48/55	50/60
RHLL 4821	RXBH-1724B05J/RXBH-24A05J	3.6/4.8	1/60	1 - 4.8	SINGLE	17.3/20.0	3.8	27/30	30/30
	RXBH-1724B07J/RXBH-24A07J	5.4/7.2	1/60	2 - 3.6	SINGLE	26.0/30.0	3.8	38/43	40/45
	RXBH-1724B10J/RXBH-24A10J	7.2/9.6	1/60	2 - 4.8	SINGLE	34.6/40.0	3.8	48/55	50/60
	RXBH-1724A15J	10.8/14.4	1/60	3-4-8	SINGLE	51.9/60.0	3.8	70/80	70/80
	RXBH-1724A15J	3.6/4.8	1/60	1 - 4.8	MULTIPLE CKT 1	17.3/20.0	3.8	27/30	30/30
		7.2/9.6	1/60	2 - 4.8	MULTIPLE CKT 2	34.6/40.0	0.0	44/50	45/50
	RXBH-1724A18J	12.8/17	1/60	4-4-26	SINGLE	61.6/70.8	3.8	82/94	90/100
	RXBH-1724A18J	6.4/8.5	1/60	2 - 4.26	MULTIPLE CKT 1	30.8/35.4	3.8	44/49	45/50
		6.4/8.5	1/60	2 - 4.26	MULTIPLE CKT 2	30.8/35.4	0.0	39/45	40/45
	RXBH-24A20J	14.4/19.2	1/60	4-4-8	SINGLE	69.2/80	3.8	92/105	100/110
	RXBH-24A20J	7.2/9.6	1/60	2 - 4.8	MULTIPLE CKT 1	34.6/40.0	3.8	48/55	50/60
		7.2/9.6	1/60	2 - 4.8	MULTIPLE CKT 2	34.6/40.0	0.0	44/50	45/50
	RXBH-24A25J	18.0/24.0	1/60	6-4-0	SINGLE	86.4/99.9	3.8	113/130	125/150
	RXBH-24A25J (4-ton only)	6.0/8.0	1/60	2 - 4.0	MULTIPLE CKT 1	28.8/33.3	3.8	41/47	45/50
		6.0/8.0	1/60	2 - 4.0	MULTIPLE CKT 2	28.8/33.3	0.0	36/42	40/45
		6.0/8.0	1/60	2 - 4.0	MULTIPLE CKT 3	28.8/33.3	0.0	36/42	40/45
	RXBH-1724A07C	5.4/7.2	3/60	3 - 2.4	SINGLE	15.0/17.3	3.8	24/27	25/30
	RXBH-1724A10C	7.2/9.6	3/60	3 - 3.2	SINGLE	20.0/23.1	3.8	30/34	30/35
	RXBH-1724A15C	10.8/14.4	3/60	3 - 4.8	SINGLE	30.0/34.6	3.8	43/48	45/50
	RXBH-1724A18C	12.8/17.0	3/60	3-2.84	SINGLE	35.6/41.0	3.8	50/56	50/60
	RXBH-24A20C*	14.4/19.2	3/60	3-3.2	SINGLE	40.0/46.2	3.8	55/63	60/70
	RXBH-24A20C	7.2/9.6	3/60	3 - 3.2	MULTIPLE CKT 1	20.0/23.1	3.8	30/34	30/35
		7.2/9.6	3/60	3 - 3.2	MULTIPLE CKT 2	20.0/23.1	0.0	25/29	25/30
	RXBH-24A25C*	18.0/24.0	3/60	6-4-0	SINGLE	50.0/57.8	3.8	68/77	70/80
	RXBH-24A25C (4-ton only)	9.0/12.0	3/60	3 - 4.0	MULTIPLE CKT 1	25.0/28.9	3.8	36/41	40/45
		9.0/12.0	3/60	3 - 4.0	MULTIPLE CKT 2	25.0/28.9	0.0	32/37	35/40

- * Values only. No single point kit available.
- Supply circuit protective devices may be fused or "HACR" type circuit breakers.
- If non-standard fuse size is specified, use next size larger standard fuse size.
- If the kit is listed under both single and multiple circuits, the kit is shipped from factory as multiple circuits. For single phase application, Jumper bar kit RXBJ-A21 and RXBJ-A31 can be used to convert multiple circuits to a single supply circuit. Refer to Accessory Section for details.
- Largest motor load is included in single circuit or circuit 1 of multiple circuit.
- Heater loads are balanced on 3 PH. models with 3 or 6 heaters only.
- Electric heater BTUH - (heater watts + motor watts) x 3.414 (see airflow table for motor watts).
- No electrical heating elements are permitted to be used with "A" voltage (115V) air handler.
- J voltage (208/240V) single phase air handler is designed to be used with single or three phase 208/240V volt electric heaters. In the case of connecting 3 phase power to air handler terminal block without the heater, bring only two leads to terminal block. Cap, insulate and fully secure the third lead.
- Do not use 480V electrical heaters on 208/240V air handlers.
- Do not use 208/240V electrical heaters on 480V air handlers.

RHLL Electrical Data – with Electric Heat (con't.)

Installation of the U.L. Listed original equipment manufacturer provided heater kits listed in the table below is recommended for all auxiliary heating requirements.

Model	Heater Model No.	Heater KW 208/240V	PH/HZ	No. Elements - KW Per	Type Supply Circuit Single Circuit Multiple Circuit	Circuit Amps.	Motor Ampacity	Minimum Circuit Ampacity	Maximum Circuit Protection
RHLL 3621 3821	RXBH-1724B05J/RXBH-24A05J	3.6/4.8	1/60	1 - 4.8	SINGLE	17.3/20.0	3.8	27/30	30/30
	RXBH-1724B07J/RXBH-24A07J	5.4/7.2	1/60	2 - 3.6	SINGLE	26.0/30.0	3.8	38/43	40/45
	RXBH-1724B10J/RXBH-24A10J	7.2/9.6	1/60	2 - 4.8	SINGLE	34.6/40.0	3.8	48/58	50/60
	RXBH-1724A15J	10.8/14.4	1/60	3 - 4.8	SINGLE	51.9/60.0	3.8	70/80	70/80
		3.6/4.8	1/60	1 - 4.8	MULTIPLE CKT 1	17.3/20.0	3.8	27/30	30/30
		7.2/9.6	1/60	2 - 4.8	MULTIPLE CKT 2	34.6/40.0	0.0	44/50	45/50
	RXBH-1724A18J	12.8/17	1/60	4 - 4.26	SINGLE	61.6/70.8	3.8	82/94	90/100
		6.4/8.5	1/60	2 - 4.26	MULTIPLE CKT 1	30.8/35.4	3.8	44/49	45/50
		6.4/8.5	1/60	2 - 4.26	MULTIPLE CKT 2	30.8/35.4	0.0	39/45	40/45
	RXBH-1724A07C	5.4/7.2	3/60	3 - 2.4	SINGLE	15.0/17.3	3.8	24/27	25/30
RXBH-1724A10C	7.2/9.6	3/60	3 - 3.2	SINGLE	20.0/23.1	3.8	30/34	30/35	
RXBH-1724A15C	10.8/14.4	3/60	3 - 4.8	SINGLE	30.0/34.6	3.8	43/48	45/50	
RXBH-1724A18C	12.8/17.0	3/60	3 - 2.84	SINGLE	35.6/41.0	3.8	50/56	50/60	
RHLL 4824 6024	RXBH-172405J	3.6/4.8	1/60	1 - 4.8	SINGLE	17.3/20.0	3.8	27/30	30/30
	RXBH-172407J	5.4/7.2	1/60	2 - 3.6	SINGLE	26.0/30.0	4.6	39/44	40/45
	RXBH-172410J	7.2/9.6	1/60	2 - 4.8	SINGLE	34.6/40.0	4.6	49/56	50/60
	RXBH-172415J	10.8/14.4	1/60	3 - 4.8	SINGLE	51.9/60.0	4.6	71/81	80/90
	RXBH-172415J	3.6/4.8	1/60	1 - 4.8	MULTIPLE CKT 1	17.3/20.0	4.6	28/31	30/35
		3.6/4.8	1/60	1 - 4.8	MULTIPLE CKT 1	17.3/20.0	4.6	28/31	30/35
	RXBH-172415J	7.2/9.6	1/60	2 - 4.8	MULTIPLE CKT 2	34.6/40.0	0	44/50	45/50
		7.2/9.6	1/60	2 - 4.8	MULTIPLE CKT 2	34.6/40.0	0	44/50	45/50
	RXBH-172418J	12.8/17	1/60	4 - 4.26	SINGLE	61.6/70.8	4.6	83/95	90/100
		6.4/8.5	1/60	2 - 4.26	MULTIPLE CKT 1	30.8/35.4	4.6	45/50	45/50
		6.4/8.5	1/60	2 - 4.26	MULTIPLE CKT 2	30.8/35.4	0	39/45	40/45
	RXBH-24A20J	14.4/19.2	1/60	4 - 4.8	SINGLE	69.2/80	4.6	93/106	100/110
	RXBH-24A20J	7.2/9.6	1/60	2 - 4.8	MULTIPLE CKT 1	34.6/40.0	4.6	49/56	50/60
		7.2/9.6	1/60	2 - 4.8	MULTIPLE CKT 2	34.6/40.0	0	44/50	45/50
	RXBH-24A25J	18.0/24.0	1/60	6 - 4.0	SINGLE	86.4/99.9	4.6	114/131	125/150
		6.0/8.0	1/60	2 - 4.0	MULTIPLE CKT 1	28.8/33.3	4.6	42/48	45/50
		6.0/8.0	1/60	2 - 4.0	MULTIPLE CKT 2	28.8/33.3	0	36/42	40/45
	RXBH-24A25J	6.0/8.0	1/60	2 - 4.0	MULTIPLE CKT 3	28.8/33.3	0	36/42	40/45
		21.6/28.8	1/60	6 - 4.8	SINGLE	103.8/120.	4.6	136/156	150/175
		7.2/9.6	1/60	2 - 4.8	MULTIPLE CKT 1	34.6/40.0	4.6	49/56	50/60
	RXBH-24A30J (5-ton only)	7.2/9.6	1/60	2 - 4.8	MULTIPLE CKT 2	34.6/40.0	0	44/50	45/50
		7.2/9.6	1/60	2 - 4.8	MULTIPLE CKT 3	34.6/40.0	0	44/50	45/50
		7.2/9.6	1/60	2 - 4.8	MULTIPLE CKT 3	34.6/40.0	0	44/50	45/50
	RXBH-172407C	5.4/7.2	3/60	3 - 2.4	SINGLE	15.0/17.3	4.6	25/28	25/30
	RXBH-172410C	7.2/9.6	3/60	3 - 3.2	SINGLE	20.0/23.1	4.6	31/35	35/35
	RXBH-172415C	10.8/14.4	3/60	3 - 4.8	SINGLE	30.0/34.6	4.6	44/49	45/50
	RXBH-172418C	12.8/17.0	3/60	3 - 2.84	SINGLE	35.6/41.0	4.6	51/57	60/60
	RXBH-24A20C*	14.4/19.2	3/60	3 - 3.2	SINGLE	40.0/46.2	4.6	56/64	60/70
		7.2/9.6	3/60	3 - 3.2	MULTIPLE CKT 1	20.0/23.1	4.6	31/35	35/35
		7.2/9.6	3/60	3 - 3.2	MULTIPLE CKT 2	20.0/23.1	0	25/29	25/30
RXBH-24A25C*	18.0/24.0	3/60	6 - 4.0	SINGLE	50.0/57.8	4.6	69/78	70/80	
RXBH-24A25C	9.0/12.0	3/60	3 - 4.0	MULTIPLE CKT 1	25.0/28.9	4.6	37/42	40/45	
	9.0/12.0	3/60	3 - 4.0	MULTIPLE CKT 2	25.0/28.9	0	32/37	35/40	
RXBH-24A30C*	21.6/28.8	3/60	6 - 4.8	SINGLE	60.0/69.4	4.6	81/93	90/100	
RHLL 6024	RXBH-24A07D	7.2	3/60	2 - 3.6	SINGLE	8.7	3.2	15	15
	RXBH-24A10D	9.6	3/60	3 - 3.2	SINGLE	11.6	3.2	19	20
	RXBH-24A15D	14.4	3/60	3 - 4.6	SINGLE	17.3	3.2	26	30
	RXBH-24A18D	17.0	3/60	3 - 5.68	SINGLE	20.4	3.2	30	30
	RXBH-24A20D	19.2	3/60	6 - 3.2	SINGLE	23.2	3.2	33	35
	RXBH-24A25D	24.0	3/60	6 - 4.0	SINGLE	28.8	3.2	40	40
	RXBH-24A30D	28.8	3/60	6 - 4.8	SINGLE	34.6	3.2	48	50

- * Values only. No single point kit available.
- Supply circuit protective devices may be fused or "HACR" type circuit breakers.
- If non-standard fuse size is specified, use next size larger standard fuse size.
- If the kit is listed under both single and multiple circuits, the kit is shipped from factory as multiple circuits. For single phase application, Jumper bar kit RXBJ-A21 and RXBJ-A31 can be used to convert multiple circuits to a single supply circuit. Refer to Accessory Section for details.
- Largest motor load is included in single circuit or circuit 1 of multiple circuit.
- Heater loads are balanced on 3 PH. models with 3 or 6 heaters only.
- Electric heater BTUH - (heater watts + motor watts) x 3.414 (see airflow table for motor watts.)
- No electrical heating elements are permitted to be used with "A" voltage (115V) air handler.
- J voltage (208/240V) single phase air handler is designed to be used with single or three phase

208/240V electric heaters. In the case of connecting 3 phase power to air handler terminal block without the heater, bring only two leads to terminal block. Cap, insulate and fully secure the third lead.

- Do not use 480V electrical heaters on 208/240V air handlers.
- Do not use 208/240V electrical heaters on 480V air handlers.

Performance Data @ ARI Standard Conditions—Cooling (con't.)

Model Numbers		80°F [26.5°C] DB/67°F [19.5°C] WB Indoor Air 95°F [35°C] DB Outdoor Air					Sound Rating dB	Indoor CFM [L/s]
Outdoor Unit 14AJM	Indoor Coil and/or Air Handler	Total Capacity BTU/H [kW]	Net Sensible BTU/H [kW]	Net Latent BTU/H [kW]	EER	SEER		
Rev. 4/28/09 48	RHLL-HM4821 (RCSL-H*4821)	49,000 [14.4]	34,650 [10.2]	14,350 [4.2]	13.00	15.00	77	1,600 [755]
	RHSL-HM4821 (RCSL-H*4821)	48,500 [14.2]	33,800 [9.9]	14,700 [4.3]	12.00	14.50	77	1,525 [720]
	RHSL-HM4824 (RCSL-H*4821)	48,000 [14.1]	33,150 [9.7]	14,850 [4.4]	12.00	14.50	77	1,500 [708]
	RHLL-HM4824 (RCSL-H*4824)	49,500 [14.5]	35,050 [10.3]	14,450 [4.2]	13.00	15.50	77	1,625 [767]
60	RCFL-H*6024+RXMD-C04 ①	59,500 [17.4]	40,950 [12.0]	18,550 [5.4]	12.00	14.50	77	1,600 [755]
	RCFL-A*6024+RXMD-C04	59,500 [17.4]	40,950 [12.0]	18,550 [5.4]	12.00	14.50	77	1,600 [755]
	RCHL-60A1	55,000 [16.1]	36,000 [10.5]	19,000 [5.6]	11.50	13.50	77	1,800 [849]
	RHKL-HM6024 (RCSL-H*6024)	61,500 [18.0]	44,450 [13.0]	17,050 [5.0]	13.00	15.00	77	1,800 [849]
	RHLL-HM6024 (RCSL-H*6024)	61,500 [18.0]	44,600 [13.1]	16,900 [5.0]	13.00	15.00	77	1,825 [861]
	RHSL-HM6024 (RCSL-H*6024)	60,000 [17.6]	42,850 [12.6]	17,150 [5.0]	11.50	13.50	77	1,750 [826]

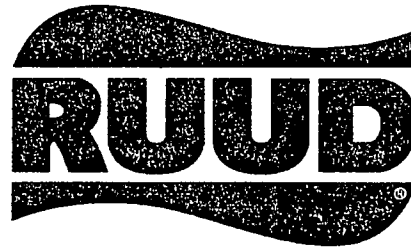
① Highest sales volume tested combination required by D.O.E. test procedures.

[] Designates Metric Conversions

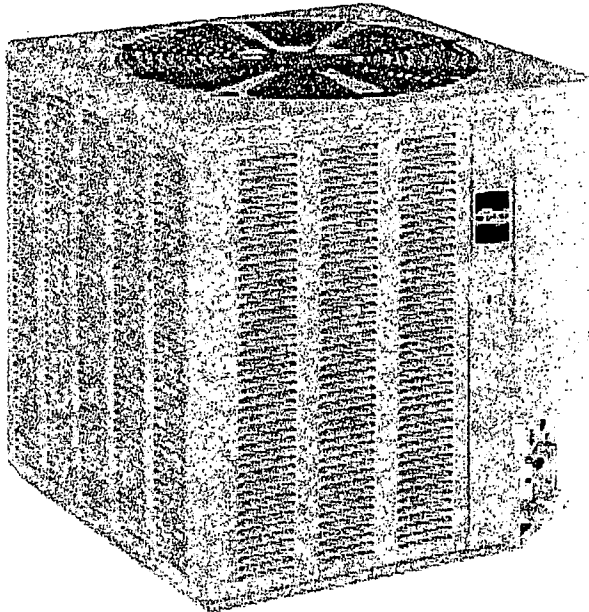


Featuring
Earth-Friendly
R-410A Refrigerant

R-410A
earth friendly refrigerant



14.5 SEER VALUE SERIES CONDENSING UNITS



Features

- Painted louvered steel cabinet
- Easily accessible control box
- Condenser coils constructed with copper tubing and enhanced aluminum fins
- Grille/Motor mount for quiet fan operation
- Filter Drier (shipped – not installed)

Applications

Outdoor condensing unit designed for ground level or rooftop installations. These units offer comfort and dependability for single, multi-family and light commercial applications.

Accessories

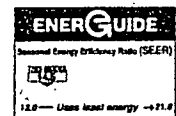
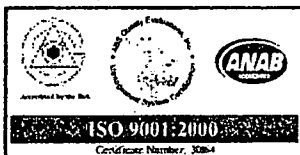
- Low Pressure Control (RXAC-A07)
- High Pressure Control (RXAB-A07)
- Low Ambient Control (RXAD-A08)
- Compressor Time Delay Control
- Crankcase Heater
- Sound Enclosure

14AJM-

14.5 SEER Models
Efficiencies up to 16.50 SEER/14 EER
Nominal Sizes 1½ to 5 Tons
[5.28 kW] to [17.6 kW]

Seven Models

Cooling Capacities
18,600 to 61,500 BTU/HR
[5.45 to 18.02 kW]



"Proper sizing and installation of equipment is critical to achieve optimal performance. Split system air conditioners and heat pumps must be matched with appropriate coil components to meet ENERGY STAR criteria. Ask your Contractor for details or visit www.energystar.gov."

Model Number Identification

14	A	J	M	18	A	01
14.5 SEER	A = AIR CONDITIONER	<u>VOLTAGE</u> J = 208-230 SINGLE PHASE	<u>DESIGN SERIES</u> M = 1ST DESIGN R-410A	<u>NOMINAL COOLING CAPACITY</u> 18 = 18,000 BTU/HR [5.28 kW] 24 = 24,000 BTU/HR [7.03 kW] 30 = 30,000 BTU/HR [8.79 kW] 36 = 36,000 BTU/HR [10.55 kW] 42 = 42,000 BTU/HR [12.31 kW] 48 = 48,000 BTU/HR [14.07 kW] 60 = 60,000 BTU/HR [17.58 kW]	<u>CABINET</u> A = FULL METAL JACKET	<u>RUUD VALUE SERIES</u>

Performance Data @ ARI Standard Conditions—Cooling

Outdoor Unit 14AJM	Indoor Coil and/or Air Handler	80°F [26.5°C] DB/67°F [19.5°C] WB Indoor Air 95°F [35°C] DB Outdoor Air					Sound Rating dB	Indoor CFM [L/s]
		Total Capacity BTU/H [kW]	Net Sensible BTU/H [kW]	Net Latent BTU/H [kW]	EER	SEER		
Rev. 4/28/09	RCFL-H*2417 Ⓞ	19,300 [5.7]	13,850 [4.1]	5,450 [1.6]	12.00	14.50	74	600 [283]
	RCFL-A*2414	19,300 [5.7]	13,850 [4.1]	5,450 [1.6]	12.00	14.50	74	600 [283]
	RCFL-A*2417	19,300 [5.7]	13,850 [4.1]	5,450 [1.6]	12.00	14.50	74	600 [283]
	RCFL-A*2417 (UGFD-06?MCK?)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	13.50	16.00	74	600 [283]
	RCFL-A*2417 (UGFD-07?MCK?)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	13.50	16.00	74	600 [283]
	RCFL-A*2417 (UGGD-06?MCK?)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	14.00	16.50	74	600 [283]
	RCFL-A*2417 (UGGD-07?MCK?)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	13.50	16.50	74	625 [295]
	RCFL-A*2417 (UGLR-07?AMK?)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	14.00	16.50	74	600 [283]
	RCFL-A*2417 (UGPR-05?BMK?)	19,700 [5.8]	14,150 [4.1]	5,550 [1.6]	13.50	16.00	74	600 [283]
	RCFL-A*2417 (UGPR-07?AMK?)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	14.00	16.50	74	600 [283]
	RCFL-H*2414	19,300 [5.7]	13,850 [4.1]	5,450 [1.6]	12.00	14.50	74	600 [283]
	RCFL-H*2417 (UGFD-06?MCK?)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	13.50	16.00	74	600 [283]
	RCFL-H*2417 (UGFD-07?MCK?)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	13.50	16.00	74	600 [283]
	RCFL-H*2417 (UGGD-06?MCK?)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	14.00	16.50	74	600 [283]
	RCFL-H*2417 (UGGD-07?MCK?)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	13.50	16.50	74	625 [295]
	RCFL-H*2417 (UGJD-06?MCK?)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	14.00	16.50	74	600 [283]
	RCFL-H*2417 (UGJD-07?MCK?)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	13.50	16.50	74	625 [295]
	RCFL-H*2417 (UGLR-07?AMK?)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	14.00	16.50	74	600 [283]
	RCFL-H*2417 (UGPR-05?BMK?)	19,700 [5.8]	14,150 [4.1]	5,550 [1.6]	13.50	16.00	74	600 [283]
	RCFL-H*2417 (UGPR-07?AMK?)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	14.00	16.50	74	600 [283]
18	RBHP-17 (RCHL-24A2)	19,200 [5.6]	13,450 [3.9]	5,750 [1.7]	13.00	16.00	74	650 [307]
	RCHL-24A2 (UGFD-06?MCK?)	18,900 [5.5]	13,050 [3.8]	5,850 [1.7]	13.00	15.50	74	600 [283]
	RCHL-24A2 (UGFD-07?MCK?)	18,900 [5.5]	13,050 [3.8]	5,850 [1.7]	13.00	15.50	74	600 [283]
	RCHL-24A2 (UGGD-06?MCK?)	19,000 [5.6]	13,150 [3.9]	5,850 [1.7]	13.50	16.00	74	600 [283]
	RCHL-24A2 (UGGD-07?MCK?)	18,900 [5.5]	13,050 [3.8]	5,850 [1.7]	13.00	16.00	74	625 [295]
	RCHL-24A2 (UGJD-06?MCK?)	19,000 [5.6]	13,150 [3.9]	5,850 [1.7]	13.50	16.00	74	600 [283]
	RCHL-24A2 (UGJD-07?MCK?)	18,900 [5.5]	13,050 [3.8]	5,850 [1.7]	13.00	16.00	74	625 [295]
	RCHL-24A2 (UGLR-07?AMK?)	19,000 [5.6]	13,150 [3.9]	5,850 [1.7]	13.50	16.00	74	600 [283]
	RCHL-24A2 (UGPR-05?BMK?)	18,900 [5.5]	13,100 [3.8]	5,800 [1.7]	13.00	15.50	74	600 [283]
	RCHL-24A2 (UGPR-07?AMK?)	19,000 [5.6]	13,150 [3.9]	5,850 [1.7]	13.00	16.00	74	600 [283]
	RCHL-24A2+RXMD-C04	18,600 [5.4]	12,900 [3.8]	5,700 [1.7]	11.50	14.00	74	600 [283]
	RHKL-HM2417 (RCSL-H*2417)	20,000 [5.9]	14,500 [4.2]	5,500 [1.6]	14.00	16.50	74	650 [307]
RHLL-HM2417 (RCSL-H*2417)	20,000 [5.9]	14,500 [4.2]	5,500 [1.6]	14.00	16.50	74	650 [307]	
RHSL-HM1817 (RCSL-H*2417)	19,500 [5.7]	14,000 [4.1]	5,500 [1.6]	12.50	15.00	74	600 [283]	
24	RCFL-H*2417+RXMD-C04 Ⓞ	23,600 [6.9]	16,800 [4.9]	6,800 [2.0]	12.00	14.50	74	800 [378]
	RCFL-A*2414+RXMD-C04	23,600 [6.9]	16,800 [4.9]	6,800 [2.0]	12.00	14.50	74	800 [378]
	RCFL-A*2417+RXMD-C04	23,600 [6.9]	16,800 [4.9]	6,800 [2.0]	12.00	14.50	74	800 [378]
	RCFL-H*2414+RXMD-C04	23,600 [6.9]	16,800 [4.9]	6,800 [2.0]	12.00	14.50	74	800 [378]

Ⓞ Highest sales volume tested combination required by D.O.E. test procedures.

[] Designates Metric Conversions

Performance Data @ AHRI Standard Conditions—Cooling (con't.)

Model Numbers		80°F [26.5°C] DB/67°F [19.5°C] WB Indoor Air 95°F [35°C] DB Outdoor Air					Sound Rating dB	Indoor CFM [L/s]
Outdoor Unit 14AJM	Indoor Coil and/or Air Handler	Total Capacity BTU/H [kW]	Net Sensible BTU/H [kW]	Net Latent BTU/H [kW]	EER	SEER		
Rev. 7/1/10	ROLA-070E03 (RCQD-4824)	39,500 [11.6]	29,800 [8.7]	9,700 [2.8]	11.50	13.50	77	1,175 [554]
	ROLA-070E04 (RCQD-4824)	39,500 [11.6]	29,800 [8.7]	9,700 [2.8]	11.50	13.50	77	1,175 [554]
	ROLA-115E05 (RCQD-4824)	40,000 [11.7]	30,450 [8.9]	9,550 [2.8]	11.50	13.50	77	1,200 [566]
	RHKL-HM3821 (RCSL-H*3821)	40,000 [11.7]	28,550 [8.4]	11,450 [3.4]	13.00	15.50	77	1,200 [566]
	RHLL-HM3821 (RCSL-H*3821)	40,000 [11.7]	28,350 [8.3]	11,650 [3.4]	13.00	16.00	77	1,225 [578]
	RHKL-HM4821 (RCSL-H*4821)	41,000 [12.0]	30,100 [8.8]	10,900 [3.2]	13.00	15.50	77	1,400 [661]
	RHLL-HM4821 (RCSL-H*4821)	41,000 [12.0]	30,100 [8.8]	10,900 [3.2]	13.00	15.50	77	1,400 [661]
	RHSL-HM4221 (RCSL-H*4821)	40,000 [11.7]	28,900 [8.5]	11,100 [3.3]	12.00	14.50	77	1,350 [637]
RHPN-HM3624 (RCSN-H*3624)	43,000 [12.6]	31,200 [9.1]	11,800 [3.5]	13.00	16.00	77	1,200 [566]	
42	RCFL-H*4821+RXMD-C04 Ⓞ	48,500 [14.2]	34,350 [10.1]	14,150 [4.1]	12.00	14.50	77	1,600 [755]
	RCFL-A*4821 (RGFE-09?ZCM?)	48,000 [14.1]	32,450 [9.5]	15,550 [4.6]	12.00	14.50	77	1,400 [661]
	RCFL-A*4821 (RGGD-09?ZCM?)	48,000 [14.1]	32,600 [9.6]	15,400 [4.5]	12.00	14.50	77	1,425 [672]
	RCFL-A*4821 (RGGD-10?ZCM?)	48,000 [14.1]	32,600 [9.6]	15,400 [4.5]	12.00	14.50	77	1,425 [672]
	RCFL-A*4821 (RGGE-09?ZCM?)	48,000 [14.1]	32,450 [9.5]	15,550 [4.6]	12.50	14.50	77	1,400 [661]
	RCFL-A*4821 (RGGE-10?ZCM?)	48,000 [14.1]	32,450 [9.5]	15,550 [4.6]	12.00	14.50	77	1,400 [661]
	RCFL-A*4821 (RGLL-10?BRM?)	48,500 [14.2]	32,800 [9.6]	15,700 [4.6]	13.00	15.10	77	1,400 [661]
	RCFL-A*4821 (RGLR-07?BRQ?)	48,500 [14.2]	33,000 [9.7]	15,500 [4.5]	12.50	15.00	77	1,425 [672]
	RCFL-A*4821 (RGLR-10?BRM?)	48,000 [14.1]	32,150 [9.4]	15,850 [4.6]	12.50	15.10	77	1,375 [649]
	RCFL-A*4821 (RGLT-07?BRQ?)	48,000 [14.1]	32,500 [9.5]	15,500 [4.5]	12.00	14.50	77	1,425 [672]
	RCFL-A*4821 (RGLT-10?BRM?)	48,000 [14.1]	32,350 [9.5]	15,650 [4.6]	12.00	14.50	77	1,400 [661]
	RCFL-A*4821 (RGPE-07?BRQ?)	48,000 [14.1]	32,350 [9.5]	15,650 [4.6]	12.50	15.00	77	1,400 [661]
	RCFL-A*4821 (RGPE-10?BRM?)	48,000 [14.1]	32,350 [9.5]	15,650 [4.6]	12.50	15.00	77	1,400 [661]
	RCFL-A*4821 (RGPR-07?BRQ?)	48,000 [14.1]	32,350 [9.5]	15,650 [4.6]	12.50	15.10	77	1,400 [661]
	RCFL-A*4821 (RGPR-10?BRM?)	48,000 [14.1]	32,550 [9.5]	15,450 [4.5]	12.00	14.50	77	1,425 [672]
	RCFL-A*4821 (RGPT-07?BRQ?)	48,500 [14.2]	33,000 [9.7]	15,500 [4.5]	12.00	14.50	77	1,425 [672]
	RCFL-A*4821 (RGPT-10?BRM?)	48,500 [14.2]	33,000 [9.7]	15,500 [4.5]	12.00	14.50	77	1,425 [672]
	RCFL-A*4821 (RGTM-07?RBM?)	48,000 [14.1]	32,900 [9.6]	15,100 [4.4]	12.00	14.50	77	1,475 [696]
	RCFL-A*4821 (RGTM-09?ZAJ?)	48,000 [14.1]	32,450 [9.5]	15,550 [4.6]	12.00	14.50	77	1,400 [661]
	ROCA-070E04 (RCFL-A*4821)	47,500 [13.9]	32,000 [9.4]	15,500 [4.5]	11.50	14.00	77	1,400 [661]
	ROLA-070E04 (RCFL-A*4821)	48,000 [14.1]	32,200 [9.4]	15,800 [4.6]	12.00	14.50	77	1,375 [649]
	RCFL-A*4821+RXMD-C04	48,500 [14.2]	34,350 [10.1]	14,150 [4.1]	12.00	14.50	77	1,600 [755]
	RCFL-A*4824 (RGFE-12?RCM?)	48,000 [14.1]	32,750 [9.6]	15,250 [4.5]	12.00	14.50	77	1,450 [684]
	RCFL-A*4824 (RGGD-09?ZCM?)	48,000 [14.1]	32,600 [9.6]	15,400 [4.5]	12.00	14.50	77	1,425 [672]
	RCFL-A*4824 (RGGD-10?ZCM?)	48,000 [14.1]	32,600 [9.6]	15,400 [4.5]	12.00	14.50	77	1,425 [672]
	RCFL-A*4824 (RGGE-09?ZCM?)	48,000 [14.1]	32,450 [9.5]	15,550 [4.6]	12.00	14.50	77	1,400 [661]
	RCFL-A*4824 (RGGE-10?ZCM?)	48,000 [14.1]	32,450 [9.5]	15,550 [4.6]	12.00	14.50	77	1,400 [661]
	RCFL-A*4824 (RGGE-12?RCM?)	48,000 [14.1]	32,200 [9.4]	15,800 [4.6]	12.50	15.00	77	1,375 [649]
	RCFL-A*4824 (RGLL-10?BRM?)	48,500 [14.2]	33,500 [9.8]	15,000 [4.4]	12.85	15.10	77	1,500 [708]
	RCFL-A*4824 (RGLL-12?ARM?)	48,500 [14.2]	33,700 [9.9]	14,800 [4.3]	12.85	15.10	77	1,525 [720]
	RCFL-A*4824 (RGLR-07?BRQ?)	48,500 [14.2]	33,000 [9.7]	15,500 [4.5]	12.50	15.00	77	1,425 [672]
	RCFL-A*4824 (RGLR-10?BRM?)	48,000 [14.1]	32,150 [9.4]	15,850 [4.6]	12.50	15.10	77	1,375 [649]
	RCFL-A*4824 (RGLT-07?BRQ?)	48,000 [14.1]	32,500 [9.5]	15,500 [4.5]	12.00	14.50	77	1,425 [672]
	RCFL-A*4824 (RGLT-10?BRM?)	48,000 [14.1]	32,350 [9.5]	15,650 [4.6]	12.00	14.50	77	1,400 [661]
	RCFL-A*4824 (RGPE-07?BRQ?)	48,000 [14.1]	32,350 [9.5]	15,650 [4.6]	12.80	15.00	77	1,400 [661]
	RCFL-A*4824 (RGPE-10?BRM?)	48,000 [14.1]	32,350 [9.5]	15,650 [4.6]	12.80	15.00	77	1,400 [661]
	RCFL-A*4824 (RGPE-12?ARM?)	48,500 [14.2]	33,000 [9.7]	15,500 [4.5]	12.95	15.10	77	1,425 [672]
	RCFL-A*4824 (RGPR-07?BRQ?)	48,000 [14.1]	32,350 [9.5]	15,650 [4.6]	12.50	15.10	77	1,400 [661]
	RCFL-A*4824 (RGPR-10?BRM?)	48,000 [14.1]	32,550 [9.5]	15,450 [4.5]	12.00	14.50	77	1,425 [672]
	RCFL-A*4824 (RGPT-07?BRQ?)	48,500 [14.2]	33,000 [9.7]	15,500 [4.5]	12.00	14.50	77	1,425 [672]
	RCFL-A*4824 (RGPT-10?BRM?)	48,000 [14.1]	32,350 [9.5]	15,650 [4.6]	12.00	14.50	77	1,400 [661]
	RCFL-A*4824 (RGTM-07?RBM?)	48,000 [14.1]	32,900 [9.6]	15,100 [4.4]	12.00	14.50	77	1,475 [696]
	RCFL-A*4824 (RGTM-09?ZAJ?)	48,000 [14.1]	32,450 [9.5]	15,550 [4.6]	12.00	14.50	77	1,400 [661]
	RCFL-A*4824 (RGTM-10?RBM?)	48,000 [14.1]	32,550 [9.5]	15,450 [4.5]	12.00	14.50	77	1,425 [672]

Ⓞ Highest sales volume tested combination required by D.O.E. test procedures.

[] Designates Metric Conversions

Electrical and Physical Data

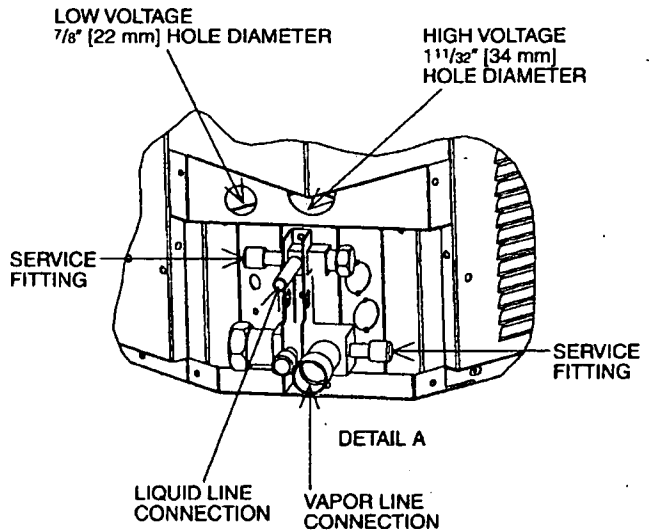
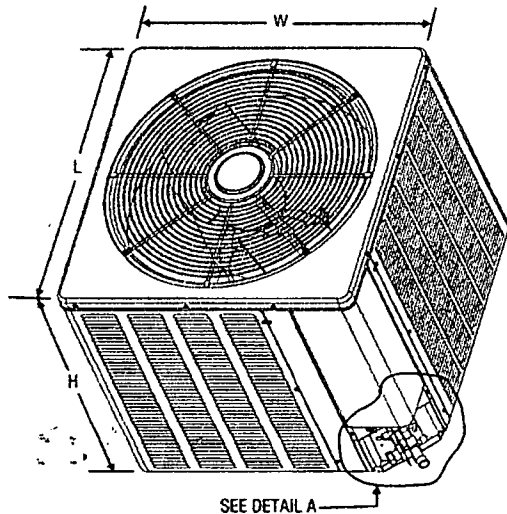
Model No. 14AJM	ELECTRICAL							PHYSICAL						
	Phase Frequency [HZ] Voltage [Volts]	Compressor		Fan Motor Full Load Amperes (FLA)	Minimum Circuit Ampacity Amperes	Fuse or HACR Circuit Breaker		Outdoor Coil			Refrigerant Per Circuit Oz. [g]	Weight		
		Rated Load Amperes (RLA)	Locked Rotor Amperes (LRA)			Minimum Amperes	Maximum Amperes	Face Area Sq. Ft. [m ²]	No. Rows	CFM [L/s]		Net Lbs. [kg]	Shipping Lbs. [kg]	
Rev. 4/28/09														
18	1-60-208/230	9/9	48	0.8	12/12	15/15	20/20	16.39 [1.52]	1	2805 [1324]	112.0 [3175]	154 [70.0]	171 [78.0]	
24	1-60-208/230	13.5/13.5	58.3	0.8	18/18	25/25	30/30	16.39 [1.52]	1	2805 [1324]	105.6 [2994]	154 [70.0]	171 [78.0]	
30	1-60-208/230	12.8/12.8	64	0.8	17/17	25/25	25/25	16.39 [1.52]	1	3000 [1416]	112.0 [3175]	157 [71.2]	175 [79.3]	
36	1-60-208/230	16.7/16.7	79	0.8	22/22	30/30	35/35	21.85 [2.03]	1	3570 [1685]	130.4 [3697]	181 [82.1]	201 [91.1]	
42	1-60-208/230	17.9/17.9	112	2.8	26/26	30/30	40/40	21.85 [2.03]	1	3060 [1414]	145.2 [4114]	205 [93.0]	225 [102.0]	
48	1-60-208/230	21.8/21.8	117	2.8	31/31	40/40	50/50	21.85 [2.03]	2	4105 [1937]	216.0 [6124]	249 [113.0]	269 [122.0]	
60	1-60-208/230	26.4/26.4	134	2.8	36/36	45/45	60/60	21.85 [2.03]	2	4105 [1937]	240.0 [6804]	254 [115.2]	274 [124.2]	

NOTE: Factory Refrigerant Charge includes refrigerant for 15 feet of standard line set.

Unit Dimensions

Model No. 14AJM	Unit Dimensions		
	Width "W" Inches [mm]	Length "L" Inches [mm]	Height "H" Inches [mm]
18, 24, 30	31 ⁵ / ₈ [803]	31 ⁵ / ₈ [803]	27 ³ / ₈ [695]
36, 42, 48, 60	31 ⁵ / ₈ [803]	31 ⁵ / ₈ [803]	35 ³ / ₈ [899]

[] Designates Metric Conversions



Condensing Unit Refrigerant Line Size Information

Liquid Line Sizing (R-410A)														
System Capacity	Liquid Line Connection Size (Inch I.D.)	Line Size (Inch O.D.) [mm]	Liquid Line Size – Outdoor Unit Above Indoor Coil (Cooling Only—Does not apply to Heat Pumps)						Liquid Line Size – Outdoor Unit Below Indoor Coil					
			Total Equivalent Length—Feet [m]						Total Equivalent Length—Feet [m]					
			25 [7.62]	50 [15.24]	75 [22.86]	100 [30.48]	125 [38.10]	150 [45.72]	25 [7.62]	50 [15.24]	75 [22.86]	100 [30.48]	125 [38.10]	150 [45.72]
			Minimum Vertical Separation—Feet [m]						Maximum Vertical Separation—Feet [m]					
1 1/2 Ton	3/8" [9.53]	1/4 [6.35]	0	0	0	0	8 [2.44]	24 [7.32]	25 [7.62]	40 [12.19]	25 [7.62]	9 [2.74]	N/A	N/A
		5/16 [7.94]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	62 [18.90]	58 [17.68]	53 [16.15]	49 [14.94]
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	75 [22.86]	72 [21.95]	70 [21.34]	68 [20.73]
2 Ton	3/8" [9.53]	1/4 [6.35]	0	3 [0.91]	29 [8.84]	55 [16.76]	81 [24.69]	108 [32.92]	23 [7.01]	N/A	N/A	N/A	N/A	N/A
		5/16 [7.94]	0	0	0	0	0	0	25 [7.62]	36 [10.97]	29 [8.84]	23 [7.01]	16 [4.88]	9 [2.74]
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	72 [21.95]	70 [21.34]	68 [20.73]	65 [19.81]
2 1/2 Ton	3/8" [9.53]	1/4 [6.35]	0	14 [4.27]	56 [17.07]	98 [29.87]	N/A	N/A	25 [7.62]	N/A	N/A	N/A	N/A	N/A
		5/16 [7.94]	0	0	0	0	0	0	25 [7.62]	49 [14.94]	38 [11.58]	27 [8.23]	17 [5.18]	6 [1.83]
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	68 [20.73]	65 [19.81]	62 [18.90]	58 [17.68]
3 Ton	3/8" [9.53]	5/16 [7.94]	0	0	0	0	0	9 [2.74]	25 [7.62]	50 [15.24]	37 [11.28]	22 [6.71]	7 [2.13]	N/A
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	68 [20.73]	63 [19.20]	58 [17.68]	53 [16.15]
3 1/2 Ton	3/8" [9.53]	5/16 [7.94]	0	0	0	16 [4.88]	35 [10.67]	54 [16.46]	25 [7.62]	23 [7.01]	4 [1.22]	N/A	N/A	N/A
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	43 [13.11]	36 [10.97]	30 [9.14]	24 [7.32]
4 Ton	3/8" [9.53]	3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	46 [14.02]	38 [11.58]	30 [9.14]	22 [6.71]	15 [4.57]
		1/2 [12.57]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	56 [17.07]	55 [16.76]	53 [16.15]	52 [15.85]
5 Ton	3/8" [9.53]	3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	56 [17.07]	44 [13.41]	32 [9.75]	20 [6.10]
		1/2 [12.57]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	75 [22.86]	81 [24.69]	79 [24.08]	76 [23.16]

NOTES: *Standard line size
N/A = Application not recommended.

Suction Line Length/Size versus Capacity Multiplier (R-410A)									
Unit Size	1 1/2 Ton	2 Ton	2 1/2 Ton	3 Ton	3 1/2 Ton	4 Ton	5 Ton		
Suction Line Connection Size	3/4" [19.05] I.D.				7/8" [22.23] I.D.				
Suction Line Run—Feet [m]	5/8" [15.88 mm] O.D. Optional 3/4" [19.05 mm] O.D. Standard*		5/8" [15.88 mm] O.D. Optional 3/4" [19.05 mm] O.D. Standard* 7/8" [22.23 mm] O.D. Optional		3/4" [19.05 mm] O.D. Optional 7/8" [22.23 mm] O.D. Standard*		7/8" [22.23 mm] O.D. Optional 1 1/8" [28.58 mm] O.D. Standard*		
25' [7.62]	Optional Standard Optional	1.00 1.00 —	1.00 1.00 —	1.00 1.00 1.00	1.00 1.00 —	1.00 1.00 —	1.00 1.00 —	1.00 1.00 —	1.00 1.00 —
50' [15.24]	Optional Standard Optional	.98 .99 —	.98 .99 —	.96 .98 .99	.98 .99 —	.99 .99 —	.99 .99 —	.99 .99 —	.99 .99 —
100' [30.48]	Optional Standard Optional	.95 .96 —	.95 .96 —	.94 .96 .97	.96 .97 —	.96 .98 —	.96 .98 —	.96 .98 —	.97 .98 —
150' [45.72]	Optional Standard Optional	.92 .93 —	.92 .94 —	.91 .93 .95	.94 .95 —	.94 .96 —	.95 .96 —	.95 .96 —	.94 .97 —

NOTES: *Standard line size
Using suction line larger than shown in chart will result in poor oil return and is not recommended.

[] Designates Metric Conversions

BEFORE PURCHASING THIS APPLIANCE, READ IMPORTANT ENERGY COST AND EFFICIENCY INFORMATION AVAILABLE FROM YOUR RETAILER.

GENERAL TERMS OF LIMITED WARRANTY

Ruud will furnish a replacement for any part of this product which fails in normal use and service within the applicable period stated, in accordance with the terms of the limited warranty.

For Complete Details of the Limited Warranty, Including Applicable Terms and Conditions, See Your Local Installer or visit www.Ruud.com.

Condenser Coil leaks caused by
factory defects Five (5) Years
Conditional Compressor* Ten (10) Years
Any Other Part..... Five (5) Years
*See Product Warranty Card for details. Registration Required.

THE METAL SHOP

Custom Metal Manufacturer

Consulting Engineer

Douglas W. Lowe, P.E.

FLA# 13355

1206 Millenium Parkway

Brandon, FL 33511

ANCHOR CLIPS Installer's Guide

WARNING: HAZARDOUS VOLTAGE - DISCONNECT POWER BEFORE SERVICING

PART NUMBER

#771 (4 pk)

#772 (100 box)

#770 (4 pk including hardware)

CONSTRUCTION

16 gauge galvanized steel, G-90 rated for corrosion coastal applications.

PACKAGING DETAILS

All anchor clips are supplied as per package quantities described above.

INSTALLATION

Minimum of 4 clips required per condenser unit.

Minimum of 2 #14 x 3/4" screws with neoprene washer required to fasten clip to condenser unit.

1/4" x 1 3/4" Tapcon screw required to fasten clip to condenser pad.

Locate the anchor clips to fit comfortably between condenser unit and pad.

Adjust clip accordingly to fit on condenser unit and screw together at the same time ensuring that the base of the clips is still in contact with the pad.

All hardware must be fastened prior to connecting refrigerant lines and electrical power to the unit. Suitable for ground mountless units.

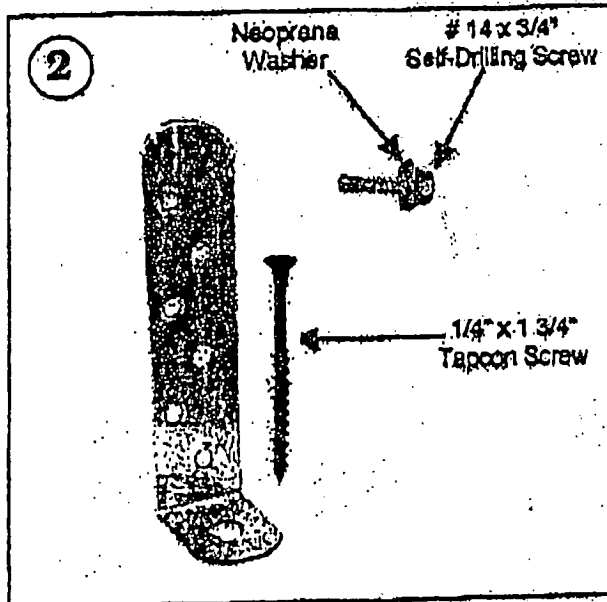
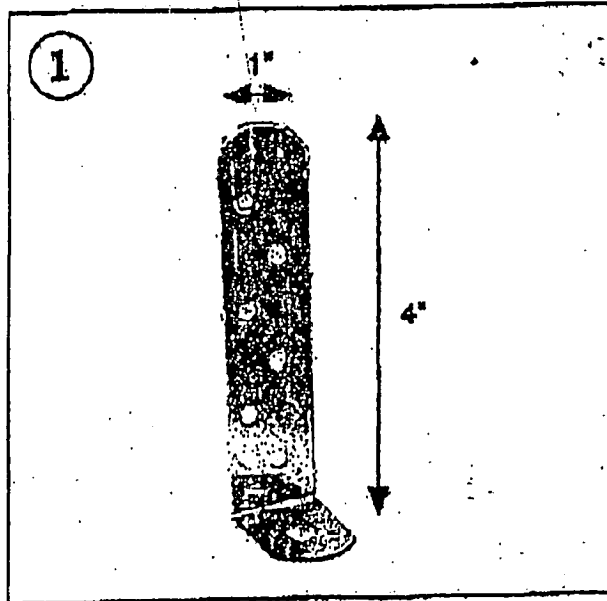
Anchor clip design meets requirements of The Florida Building Code 2007 (Building) chapter 301.12 for wind resistance up to 140 MPH.

FEATURES

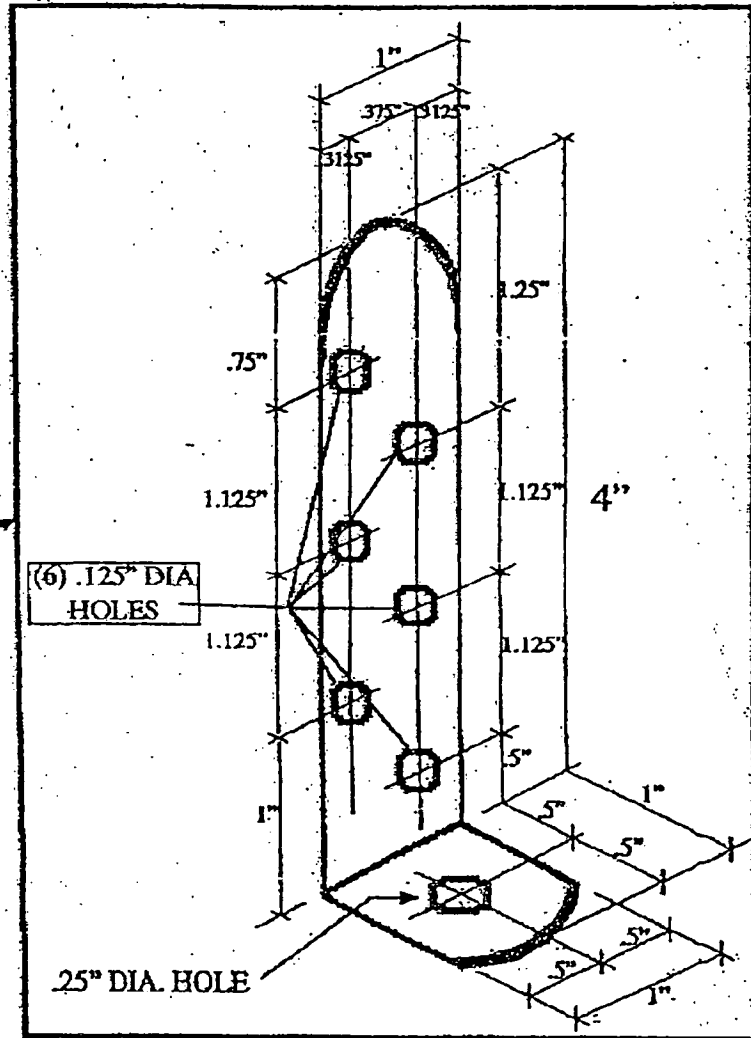
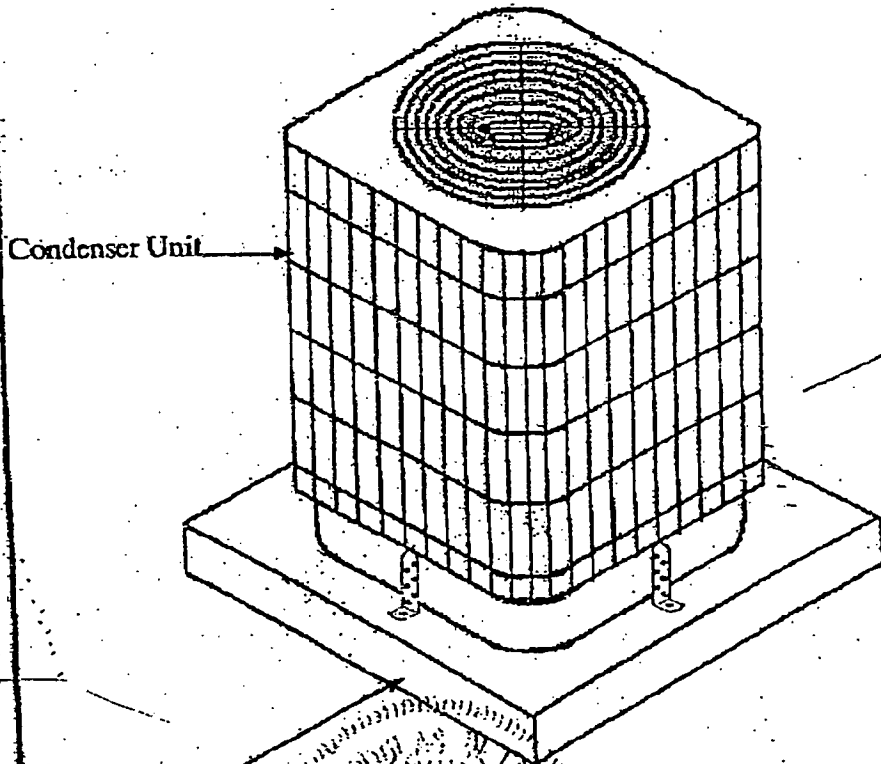
The use of "sized to fit" screw holes compared to slots means that security is never compromised. A tight, secure fit between pad and condenser ensures security for the condenser and offers great assurance during extreme weather conditions.

NOTE

Above installation instruction suitable for up to 5-ton units.



#771 (4 pk.) / #772 (100 box) Anchor Clip



Metal thickness = 16 gauge

The Metal Shop
1139 Eldridge Street
Clearwater
FL 33755

Ph: (727) 441-2492
Fax: (727) 442-8493
Web: www.metalsshop.org

Consulting Engineer:

Douglas W. Lowe, P.E.
FLA # 13355
1206 Millentum Parkway
Brandon, FL 33511

Revision Date:

2/14/08

Drawn by:

K.P.R.

Page:

1 of 1

Scale - Not to scale

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 2-3-2011 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9645	Gouge	Final AC		
<u>1PM</u>	6 Wendy Ln St Lucie Heat+AC		Pass	Close INSPECTOR <i>JF</i>
9681	NELRL 173 S. SPT RD ALL AREA ROOF	Roof repair FINAL	Cancel	INSPECTOR
9683	Shaufi 73 N Sewalls Mosley	Partial Pre pour driveway	Pass	INSPECTOR <i>JF</i>
9691	A. B Assoc 3754B St Ocean Gary Hofnagle	Rough work FRAME & ELEC	Pass	INSPECTOR <i>JF</i>
9693	Sustafon [unclear]	Final AC	Pass	INSPECTOR
<u>PM</u>	Century A.C.			INSPECTOR
9698	Bahner 17 W High Pt Flynn's AC	Final AC	Pass	Close INSPECTOR <i>JF</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

9733

REPLACE CIRCUIT

TO OVEN



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK. A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	9733	DATE ISSUED:	MARCH 9, 2011
SCOPE OF WORK:	REPLACE CIRCUIT TO OVEN		
CONDITIONS:			
CONTRACTOR:	ZANE CARTER ELECTRIC		
PARCEL CONTROL NUMBER:	133841-005-000-000912	SUBDIVISION	PALM ROW REV-LOT 9A
CONSTRUCTION ADDRESS:	17 PALM RD		
OWNER NAME:	WILLERT/GUSTAFSON		
QUALIFIER:	ZANE CARTER	CONTACT PHONE NUMBER:	692-2048

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE CALL 287-2455 - 8:00AM TO 4:00PM

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

Permit Number: 9733

Date: 3/4/11

OWNER/TITLEHOLDER NAME: Craig Willert & Cynthia Gustafson Phone (Day) _____ (Fax) _____

Job Site Address: 17 Palm Rd City: Sewall's Point State: FL Zip: 34996

Legal Description: Palm Row Revised & Amended Lot 9A Parcel Control Number: 13-38-41-005-000-00091-227816

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

SCOPE OF WORK (PLEASE BE SPECIFIC): Replace Circuit to Oven & Cook top if needed

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO
Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 800.00
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Zane Carter Electric Inc Phone: 772-692-2048 Fax: same

Qualifiers name: Zane Carter Street: 1143 NW Spruce Ridge Dr City: Stuart State: FL Zip: 34994

State License Number: EC13002342 OR: _____ Municipality: _____ License Number: _____

LOCAL CONTACT: Zane Carter Phone Number: 772-692-2048 / 772-370-9752

DESIGN PROFESSIONAL: _____ License# _____

Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/Porches: _____ Enclosed Storage: _____
Carport: _____ Total under Roof _____ Elevated Deck _____ Enclosed area below BFE: _____

* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING FINANCING OR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS; OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1. 105.4.1.1 - .5.

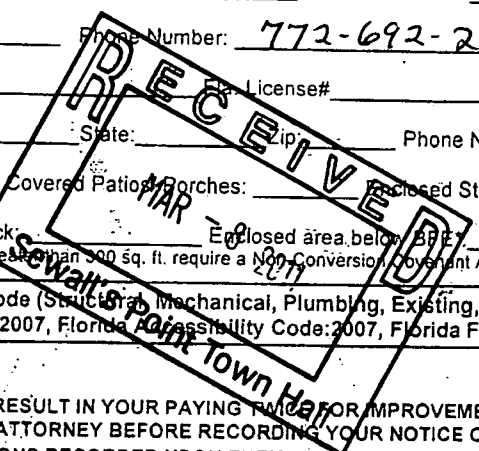
******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

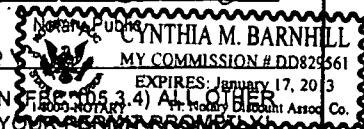
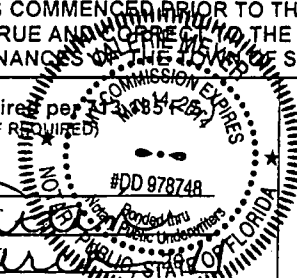
OWNER NOTORIZED SIGNATURE: (required per 713.135 F.S.) OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)
X Cynthia Gustafson
State of Florida, County of: Martin
On This the 8th day of March
by Cynthia Gustafson who is personally known to me or produced PN# 6231-110-53-7620
As identification: Valerie Sneyd
Notary Public
My Commission Expires: _____

CONTRACTOR NOTORIZED SIGNATURE: (required per 713.135 F.S.)
X Zane Carter
State of Florida, County of: Martin
On This the 8th day of March 20 11
by ZANE CARTER who is personally known to me or produced PERSONALLY KNOWN
As identification: Cynthia M. Barnhill
My Commission Expires: 01-17-2013

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY



Handwritten initials





Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
 governmax.com 1,11

Summary



Address
 24 of 24

Tabs

Summary

Print View

Land

Improvements

Assessments &

Exemptions

Sales

Taxes →

Parcel Map →

Trim Notice →

Searches

Parcel ID

Owner

Address

Account #

Use Code

Legal Description

Neighborhood

Sales

Maps →

Functions

Property Search

Contact Us

On-Line Help

County Home

Site Home

County Login

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
13-38-41-005-000-00091-2	27816	17 PALM RD, SEWALL'S POINT	\$575,790	3/5/2011 8

Owner Information	
Owner(Current)	WILLERT CRAIG & GUSTAFSON CYNTHIA
Owner/Mail Address	17 PALM RD STUART FL 34996
Sale Date	03/10/1988
Document Number	
Document Reference No.	0756 1109
Sale Price	90000

Location/Description			
Account #	27816	Map Page No.	SP-05
Tax District	2200	Legal Description	PALM ROW REVISED & AMENDED LOT 9A
Parcel Address	17 PALM RD, SEWALL'S POINT		
Acres	.3730		

Parcel Type	
Use Code	0100 Single Family
Neighborhood	120400 Hmwd,Palm Ro,Kngstn,Okwd, Pine

Assessment Information	
Market Land Value	\$195,800
Market Improvement Value	\$379,990
Market Total Value	\$575,790

Print Back to List First Previous Next Last

Legal Disclaimer / Privacy Statement





TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765



Electrical Load Calculations

Electrical Contractor: Zane Carter Elec. Inc. License No. EC13002342
 Phone #: 772-692-2048 Fax #: same
 Project: Gustafson Location: 17 palm Road
 Existing Service Feeder Size: 110 Existing Panel Size: 150
 Main Breaker Size: 150 x 2 Number of Breakers: 2

Existing Loads

<u>4268</u> Sq. Ft. X 3 watts per sq. ft.....	<u>12804</u> watts
<u>2</u> Appliance cir. @1500 watts each.....	<u>3000</u> watts
<u>1</u> Laundry cir. @ 1500 watts each.....	<u>1500</u> watts
<u>1</u> Range @ 8 kw.....	<u>8000</u> watts
<u>2</u> Dishwasher and disposal @ 1500 watts each.....	<u>3000</u> watts
<u>1</u> Microwave @ 2000 watts.....	<u>2000</u> watts
<u>1</u> Water heater @ 4.5 kw.....	<u>4500</u> watts
Tank less water heater.....	<u>0</u> watts
<u>1</u> Dryer @ 5 kw.....	<u>5000</u> watts
<u>1</u> Refrigerator @ 1500 watts.....	<u>1500</u> watts
<u>1</u> Bathroom 1 @ 1500 watts.....	<u>1500</u> watts
<u>1</u> Sprinkler Pump	<u>2400</u> watts
Other	_____ watts
Other	_____ watts
Other	_____ watts

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

43704 Subtotal Watts

New Loads

<u>2</u> Pool pump.....	<u>3680</u> watts
<u>2</u> Pool light.....	<u>400</u> watts
Heat pump.....	_____ watts
Chlorine generator.....	_____ watts
Blower.....	_____ watts
Boatlift.....	_____ watts
Other <u>Pool Heater</u>	<u>10000</u> watts
Other	_____ watts
Other	_____ watts

57784 Total Watts

_____ First 10 kw @ 100%.....	<u>10000</u> watts
_____ Remainder @ 40%.....	<u>19114</u> watts
_____ A/C heat @ 100%.....	<u>20000</u> watts

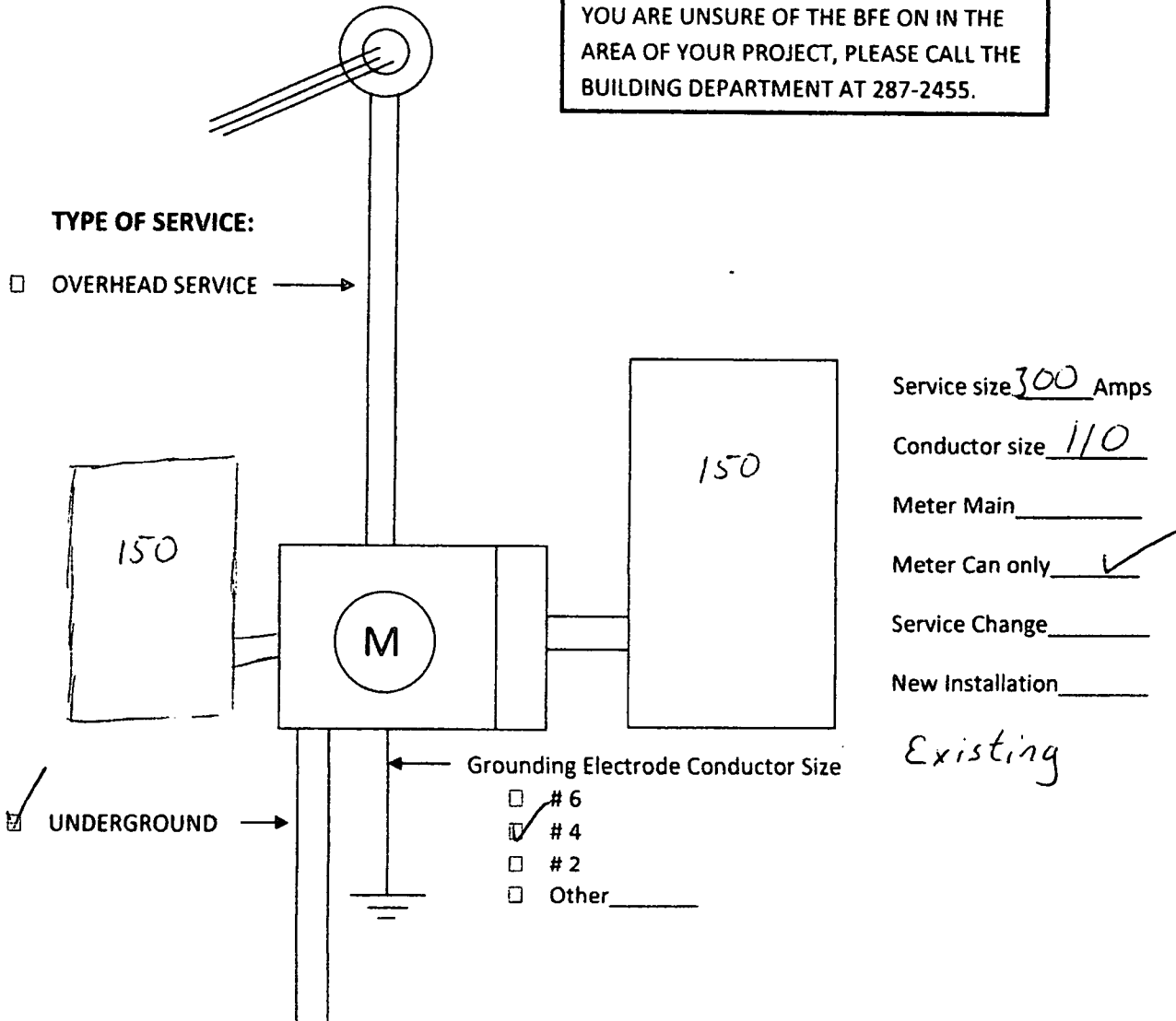
Total watts 49114 Divided by 240 volts = 205 Amps 300 Amp service provided existing

Prepared by: Zane Carter Date: 3/8/11

ELECTRICAL RISER PLAN

For Temporary Power Pole and Single Family Service Change Only

ALL NEW SERVICES (INCLUDING SERVICE CHANGES) MUST BE INSTALLED AT OR ABOVE THE BASE FLOOD ELEVATION. IF YOU ARE UNSURE OF THE BFE ON IN THE AREA OF YOUR PROJECT, PLEASE CALL THE BUILDING DEPARTMENT AT 287-2455.



TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **3-15-11** Page **1** of **2**

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9136	Almond	Final AC		
1ST	11 Oakwood Dr Honest Air		Pass	Close
				INSPECTOR <i>A</i>
	WILSON			215-5648-RON SVI
	49 N RIVER	ALANNY	FRIDAY	
	SVI	FINAL		INSPECTOR
9344	WOODS	PARTIAL		
	32 E H. POINT	FRAMING & TRAPES		CANCEL
	CARDAL AUTO	2ND FLOOR		INSPECTOR
9683	SWARFI	PARTIAL		
	73 N. S. Pt. Rd	PRE-POUR	Pass	
	MOSLEY & SON	DRIVEWAY		INSPECTOR <i>A</i>
9722	Lebo	Final		
	27 Simara	Fence	Pass	Close
	Street Fence			INSPECTOR <i>A</i>
9730	Terrano + Terrano	UNIT 201		
after 130	3601 SE Ocean	Final AC	Pass	Close
	Krauss + Crane			INSPECTOR <i>A</i>
9133	GUSTAFSON	Final Review		
	177 Palm	ACED	Pass	
	ERNE CARTER			INSPECTOR <i>A</i>

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **5-24-11** Page **1** of **1**

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9742	Aune	Final		
9AM	1 Michael Rd TC Solar	Solar Heat	Pass	CLOSE INSPECTOR <i>JA</i>
9745	Guatafson 17 Palm Rd Truine Roof	Final Roof	PASS	CLOSE INSPECTOR <i>JA</i>
9793	Koch 71 N River Rd Nisan	Final AC	Pass	CLOSE INSPECTOR <i>JA</i>
9733	Guatafson 17 Palm Rd ZANE PARTNER	Final	Pass	CLOSE INSPECTOR <i>JA</i>
9616	Vincenzo 4. River View ARK HOMES	FINAL Remodel	Pass	CLOSE INSPECTOR <i>JA</i>
	Monroe 10 N. RIDGEVIEW	TREE	OK	INSPECTOR
				INSPECTOR

9745

RE-ROOF &

SKYLIGHT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9745	DATE ISSUED:	MARCH 16, 2011
SCOPE OF WORK:	REROOF W/SKYLIGHT		
CONDITIONS :			
CONTRACTOR:	TRIUNE BUILDERS & TRIUNE ROOFING		
PARCEL CONTROL NUMBER:	133841005-000-000912	SUBDIVISION	PALM ROW REV-LOT 9A
CONSTRUCTION ADDRESS:	17 PALM RD		
OWNER NAME:	WILLERT/GUSTAFSON		
QUALIFIER:	ROBERT AUSTIN	CONTACT PHONE NUMBER:	287-1949

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9745		
ADDRESS	GUSTAFSON/WILLERT - 17 PALM RD		
DATE:	3/16/11	SCOPE:	REROOF W/SKYLIGHT

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K) (No plan submittal fee when value is less than \$100,000)		\$	
Total square feet air-conditioned space: (@ \$110.25 per sq. ft.)		s.f.	
Total square feet non-conditioned space: (@ \$51.60 per sq. ft.)		s.f.	
Total Construction Value:		\$	
Building fee: (2% of construction value SFR or >\$200K)		\$	
Building fee: (1% of construction value < \$200K + \$75 per insp.)		\$	
Total number of inspections (Value < \$200K) @\$75 ea.		\$	
Dept. of Comm. Affairs Fee:(1.5% of permit fee - \$2.00 minimum)		\$	
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 minimum)		\$	
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	

ACCESSORY PERMIT	Declared Value:	\$	
Total number of inspections @ \$75.00 each	5	\$	375.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 minimum)		\$	5.62
Dept. of Comm. Affairs Fee:(1.5% of permit fee - \$2.00 minimum)		\$	5.62
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	24.42
TOTAL ACCESSORY PERMIT FEE:		\$	410.66

pd
AK#1607

Town of Sewall's Point BUILDING PERMIT APPLICATION

9745

Date: 3/4/11 Permit Number: 9745
 OWNER/TITLEHOLDER NAME: Cynthia Gustafson + Craig Wilkert Phone (Day) 214.6917 (Fax) N/A
 Job Site Address: 17 Palm Road City: Stuart State: FL Zip: 34996
 Legal Description: Palm Row Revised + amended Lot 9A Parcel Control Number: 13.38.41.005.000.00091-2
 Owner Address (if different): Same City: same State: same Zip: same

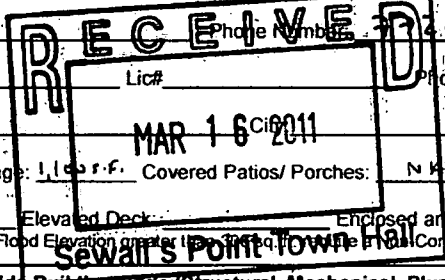
Scope of work (please be specific): RE-ROOF - REMOVE EXISTING CEMENT TILE. INSTALL NEW CLAY TILE & SKYLIGHT

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner Builder questionnaire must accompany application)
 YES _____ NO X
Has a Zoning Variance ever been granted on this property?
 YES _____ (YEAR) _____ NO _____
 (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
 Estimated Value of Improvements: \$ 62,965.00 61,063.00
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
 Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
 Estimated Fair Market Value prior to improvement: \$ 379,990.00
 (Fair Market Value of the Primary Structure only, Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: TRUWE Builders, Inc. (Roofing) Phone: 772.287.1949 Fax: 772.287.1948
 Street: P.O. Box 631, Hobbe Sound City: Hobbe Sound State: FL Zip: 33475
 State License Number: CC01327362 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: Rob Austin Phone Number: 772.260.7507
 DESIGN PROFESSIONAL: _____ Lic# _____ Phone Number: _____
 Street: _____ State: _____ Zip: _____
 AREAS SQUARE FOOTAGE: Living: 4300 s.f. Garage: 1100 s.f. Covered Patios/ Porches: NK Enclosed Storage: NA
 Carport: _____ Total under Roof _____ Elevated Deck _____ Enclosed area below BFE* _____
 * Enclosed non-habitable areas below the Base Flood Elevation greater than 1 foot. Town of Sewall's Point Conversion Covenant Agreement.



CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007
 National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

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APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

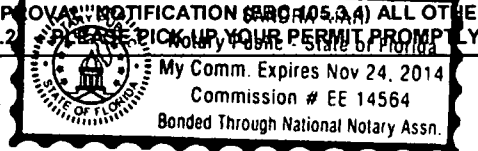
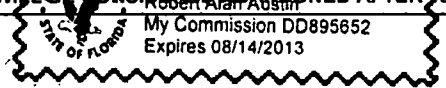
OWNER SIGNATURE: (required)
 OR OWNER'S LEGAL AUTHORIZED AGENT (PROOF REQUIRED)
 State of Florida, County of: MARTIN
 This the 4 day of MARCH, 2011
 by CYNTHIA GUSTAFSON who is personally
 known to me or produced
 as identification. Robert Alan Austin

CONTRACTOR SIGNATURE: (required)
 On State of Florida, County of: MARTIN
 This the 4th day of MARCH, 2011
 by Robert Austin who is personally
 known to me or produced
 As identification. Chandra Rich

Notary Public
 My Commission Expires: 8-14-13

Notary Public
 My Commission Expires: 11/24/14

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.1) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 90 DAYS (FBC 105.3.2) PLEASE PICK UP YOUR PERMIT PROMPTLY!



Martin County, Florida
Laurel Kelly, C.F.A

generated on 3/9/2011 1:12:32 PM EST

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
13-38-41-005-000-00091-2	27816	17 PALM RD, SEWALL'S POINT	\$575,790	3/5/2011 8

Owner Information

Owner(Current)	WILLERT CRAIG & GUSTAFSON CYNTHIA
Owner/Mail Address	17 PALM RD STUART FL 34996
Sale Date	03/10/1988
Document Number	
Document Reference No.	0756 1109
Sale Price	90000

Location/Description

Account #	27816	Map Page No.	SP-05
Tax District	2200	Legal Description	PALM ROW REVISED & AMENDED LOT 9A
Parcel Address	17 PALM RD, SEWALL'S POINT		
Acres	.3730		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120400 Hmwd,Palm Ro,Kngstn,Okwd, Pine

Assessment Information

Market Land Value	\$195,800
Market Improvment Value	\$379,990
Market Total Value	\$575,790

NOTICE OF COMMENCEMENT
TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: _____ TAX FOLIO #: 133841005.000.00091.2

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):

Palm Row Revised & amended Lot 9A

GENERAL DESCRIPTION OF IMPROVEMENT: Re roof, Tile to Tile

OWNER NAME: Cynthia Gustafson and ~~and~~ Craig Wilkert

ADDRESS: 17 Palm Road

PHONE NUMBER: 214.697

FAX NUMBER: NA

INTEREST IN PROPERTY: OWNER

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR: TRUWE Builders, Inc.

ADDRESS: PO Box 631 Hope Sound, FL 33475

PHONE NUMBER: 772.287.1949

FAX NUMBER: 772.287.1948

SURETY COMPANY (IF ANY):

ADDRESS:

PHONE NUMBER:

FAX NUMBER:

BOND AMOUNT:

LENDER/MORTGAGE COMPANY:

ADDRESS:

PHONE NUMBER:

FAX NUMBER:

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME:

ADDRESS:

PHONE NUMBER:

FAX NUMBER:

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____

TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE NUMBER:

FAX NUMBER:

EXPIRATION DATE OF NOTICE OF COMMENCEMENT:

(THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

C. J. D.
SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

SIGNATORY'S TITLE/OFFICE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 4 DAY OF MARCH, 2011.

BY: CYNTHIA GUSTAFSON

AS OWNER

FOR OWNER

NAME OF PERSON

TYPE OF AUTHORITY

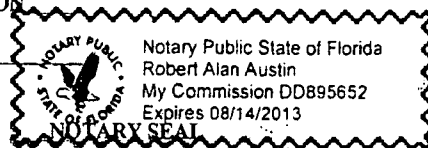
NAME OF PARTY ON BEHALF OF

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION

TYPE OF IDENTIFICATION PRODUCED

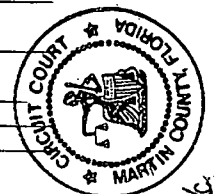
Robert Alan Austin

NOTARY SIGNATURE



UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

C. J. D.
Notary Public State of Florida



THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.

C. Ewing
MARSHA EWING, CLERK
DATE 3-4-11

INSTR # 2262400 OF BK 02505 PG 1767 RECD 03/04/2011 03:06:02 PM
Pg 1767 (Leg)
MARSHA EWING MARTIN COUNTY DEPUTY CLERK L. Bettineschi



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

RE-ROOF CHECKLIST

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included.

THIS REVIEW SHEET MUST ACCOMPANY THE APPLICATION SUBMITTAL.

Please make sure you have ALL required copies before submitting permit application

The following minimum requirements must be provided for permitting and inspections:

- 1 Copy Completed application
- 2 Copies Complete list of proposed materials
- 2 Copies Re-roof certification
- 1 Copy Re-roof Inspection affidavit if used, prior to final inspection.

RESIDENTIAL REROOFS:

- 2 Copies approved roofing manufacturer specifications for all products used.
 - Manufacturer specs/fastening schedule for roof shingles (must meet the minimum area wind load).
 - Manufacturer must have Florida Product Approval
- 2 Copies Re-roof windstorm loss mitigation certification (and affidavit if applicable)
 - Location of proposed re-roof (if only a partial re-roof) and area % calculation
 - Section/detail through hip and ridge tile caps per F.R.S.A. for tile roofs**

COMMERCIAL REROOFS:

- NA 2 Copies Roof Plan:
 - Show all features (pitch, drains, equipment, etc.)
 - Details: 3/4" = 1'.0" min. scale
 - Parapet or edge
 - Rooftop mounting or equipment expansion joints
 - Type of roofing (& insulation if any) being removed
 - Type of roof deck
- NA 2 Copies Approved roofing manufacturer specifications for all products used.
 - Manufacturers complete roofing system specifications & installation guidelines (Include fastening schedule meeting minimum area wind load).
- NA 1 Copy Verification of Contractor form
 - Contractor verification form (HVAC and/or electric) required if roof top HVAC equipment is removed/reinstalled and/or if HVAC electric is disconnected/reconnected.

****Concrete or Clay Tile Roof: Specify how the roof field tile will be attached to the deck (reference F.S.R.A Installation Manual). Provide section details showing the installation/attachment of ridge and hip cap tile. Demonstrate compliance with the 2007 FBC 1507.3. & 2007 FBC/Residential R905.3. Also provide Product Approval for all roof adhesives.**

**All Product Approval & Installation Spec's must be on the job site for inspection.
All tile re-roofs require an "in progress" tile installation inspection or certified pull test at final.**

RE-ROOF CERTIFICATION

PERMIT # _____

CONTRACTOR'S NAME: TRIUNE Builders, Inc. (roofing) PHONE #: 772.287.1949 FAX: 772.287.1948

OWNER'S NAME: Cynthia Gustafson + Craig Willeet

CONSTRUCTION ADDRESS: 17 Palm Road CITY Stuart STATE FL.

RE-ROOF: RESIDENTIAL(SINGLE FAMILY)

_____ COMMERCIAL **--REMOVE/REINSTALL ROOF TOP HVAC EQUIP _____ YES _____ NO

**...DISCONNECT/RECONNECT HVAC ELECTRIC _____ YES _____ NO

** REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

RE-ROOF DEEMED TO COMPLY WITH 553.844 F. S. _____ YES _____ NO - INSURED VALUE OF RESIDENCE _____

ROOF TYPE: HIP _____ BOSTON-HIP _____ GABLE _____ FLAT _____ OTHER _____

ROOF PITCH: 5 /12 SLOPE

ROOF DECK:* _____ SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED

_____ RE-SHEATH - (REMOVAL OF SPACED SHEATHING/PLYWOOD FOR APPLICATION OF NEW PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD AS PER FLORIDA BUILDING CODE "2004".

_____ SPACED SHEATH FILL-IN - SPACES BETWEEN EXISTING SPACED-SHEATHING BOARD MAY BE FILLED-IN WITH BOARDS OF THE SAME SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2004".

EXISTING DECK TO REMAIN/REPAIRED& RENAILED

EXISTING ROOF COVERING: Tile EXISTING COVERING TO BE REMOVED? YES NO _____

PROPOSED NEW ROOF COVERING: Tile

MANUFACTURER ANDALUSA PRODUCT NAME CLAY BARREL PRODUCT APPR # 07-1129.05

(APPROVED ROOF COVERING MATERIAL WITH CURRENT FLORIDA PRODUCT APPROVAL)
MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION.

PROPOSED FLASHING: _____ GALV/STEEL _____ ALUMINUM COPPER _____ OTHER _____

RIDGEVENT TO BE INSTALLED: _____ YES NO

DESCRIPTION OF WORK: Re-Roof, tile to tile

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

[Signature] DATE: 3/4/11
SIGNATURE OF CONTRACTOR



Certificate of Authorization #9503

EXTERIOR RESEARCH & DESIGN, LLC.

2 MATTOON ROAD
WATERBURY, CT 06488
PHONE: (203) 596-7884
FAX: (203) 596-7058

EVALUATION REPORT

**East Coast Metals
2301 West 8 Lane
Hialeah, FL 33010**

**ERD Evaluation Report 2005.E0960C.09.05
FL5374**

Date of Issuance: 09/21/2005

SCOPE:

This Evaluation Report is issued under Rule 9B-72 and the applicable rules and regulations governing the use of construction materials in the State of Florida. The documentation submitted has been reviewed by Robert Nieminen, P.E. for use of the product under the Florida Building Code. The product described herein has been designed to comply with the Florida Building Code.

→ **DESCRIPTION: Hip & Ridge Metal**

LABELING: Each unit shall bear a permanent label with the manufacturer's name, logo, city, state and logo of the Accredited Quality Assurance Agency noted herein.

CONTINUED COMPLIANCE: This Evaluation Report is valid until such time as the named product(s) changes, the referenced Quality Assurance documentation changes, or provisions of the Code that relate to the product change. Acceptance of this Evaluation Report by the named client constitutes agreement to notify ERD or Robert Nieminen, P.E. if the product changes or the referenced Quality Assurance documentation changes.

ADVERTISEMENT: The Evaluation Report number preceded by the words "ERD Evaluated" may be displayed in advertising literature. If any portion of the Evaluation Report is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire Evaluation Report shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This Evaluation Report consists of pages 1 through 3, plus five (5) pages of Appendices.

Prepared by:

Robert J.M. Nieminen, P.E.
Florida Registration No. 59166
Florida DCA ANE1983

CERTIFICATION OF INDEPENDENCE:

1. ERD East does not have, nor does it intend to acquire or will it acquire, a financial interest in any company manufacturing or distributing products it evaluates.
2. ERD East is not owned, operated or controlled by any company manufacturing or distributing products it evaluates.
3. Robert Nieminen, P.E. does not have nor will acquire, a financial interest in any company manufacturing or distributing products for which the evaluation reports are being issued.
4. Robert Nieminen, P.E. does not have, nor will acquire, a financial interest in any other entity involved in the approval process of the product.



Certificate of Authorization #9503

ROOFING COMPONENT EVALUATION:

1. SCOPE:

Product Category: Roofing
Sub-Category: Other – Hip and Ridge Metal
Compliance Statement: Hip & Ridge Metal, as produced by East Coast Metals, has demonstrated compliance with the intent of the Florida Building Code through testing in accordance with the Standards set forth herein. Compliance is subject to the Installation Requirements and Limitations / Conditions of Use set forth herein.

2. STANDARDS:

<u>Section</u>	<u>Property</u>	<u>Standard</u>	<u>Year</u>
1507.4.3	Physical properties	ASTM A653	2001
1715.2.1	Static Uplift	SSTD 11	1997

3. REFERENCES:

<u>Entity</u>	<u>Examination</u>	<u>Reference</u>	<u>Date</u>
PRI Asphalt Tech.	SSTD 11	ECM-001-02-01	09/21/2001
Architectural Testing	A653 & Quality Control	Participation Letter	09/21/2005
Miami-Dade BCCO	Attach Requirements	Roof Construction Methods	11/08/1999
Florida Building Code	Attach Requirements	RAS 118, 119 and 120	1995

4. PRODUCT DESCRIPTION:

Hip & Ridge Metal is a 26 ga., ASTM A653 (G-90) pre-formed metal channel available in 10 foot lengths designed for use as a hip and ridge base to which roof tiles are bonded in FBC Approved roof tile adhesive. Detail drawings for the product are provided as Appendix 1.

5. LIMITATIONS:

- 5.1 For HVHZ jurisdictions, refer to memo dated 11/08/1999 attached as Appendix 2 and FBC RAS 118, Drawing 13, Detail 3, RAS 119, Drawing 12, Detail 3 and RAS 120, Drawing 16, Detail 3.
- 5.2 Hip & Ridge Metal may be used with any approved roof tile adhesive which lists Hip & Ridge Metal as a component part of a hip & ridge tile installation in the Product Approval. If Hip & Ridge Metal is not listed, a request may be made to the AHJ for approval provided that appropriate wind load resistance data from an FBC Approved laboratory is submitted.
- 5.3 For wind resistance performance data, refer to roof tile adhesive manufacturer's Product Approval. Installations are limited to projects having an Aerodynamic Uplift Moment (M_a)¹ or Moment Resistance (M_r)² not greater than the values published in the roof tile adhesive Product Approval.
- 5.4 All products in the roof assembly shall have quality assurance audit in accordance with the Florida Building Code and F.A.C. Rule 9B-72.

¹ Determined in accordance with 2004 FBC Section 1609.7.3.

² Determined in accordance with RAS 127.



Certificate of Authorization #9503

6. INSTALLATION:

- 6.1 The roof deck shall be minimum 15/32-inch plywood attached in accordance with FBC Chapter 23 to the satisfaction of the AHJ.
- 6.2 Hip & Ridge Metal shall be installed using min. 11 ga. x 1¼-inch long x 3/8-inch head diameter galvanized annular ring shank nails spaced 6-inch o.c. along both deck-flanges. Fasteners shall be positioned ¾-inch from the outside edge of each deck-flange, set in a bed plastic roof cement.

7. LABELING:

Each unit shall bear a permanent label with the manufacturer's name, logo, city, state and logo of the Accredited Quality Assurance Agency noted herein.

8. BUILDING PERMIT REQUIREMENTS:

As required by the Building Official or Authority Having Jurisdiction in order to properly evaluate the installation of this product.

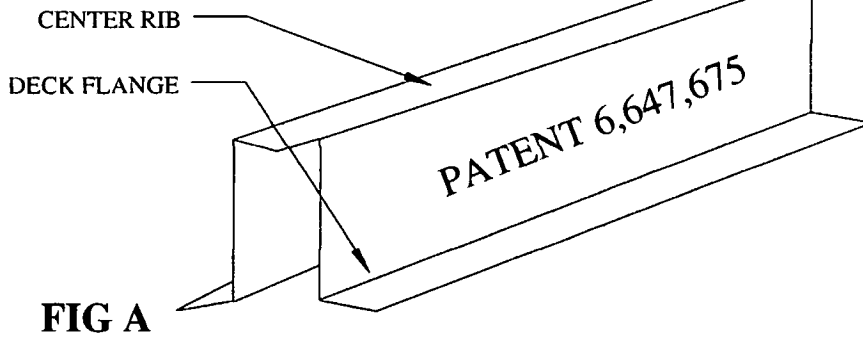
9. MANUFACTURING PLANTS:

Hialeah, FL

10. QUALITY ASSURANCE ENTITY:

Architectural Testing – QUA1844

- THE TWO (2) APPENDICES THAT FOLLOW FORM PART OF THIS EVALUATION REPORT -



DETAILS AND SPECIFICATIONS

LENGTH:
APPROXIMATE 10' L(FT)

CENTER RIB:
FIG A - APPROXIMATE 2 3/8" INCHES

DECKFLANGE:
FIG A - APPROXIMATE 1-1/2" INCHES

HEIGHT:
FIG B - LOW PROFILE 3" INCHES
FIG C - MEDIUM PROFILE 4" INCHES
FIG D - LARGE PROFILE 6" INCHES

GAUGE:
26 GAUGE GALVANIZED

INSTALLATION TIPS
CHOOSE THE RIGHT PROFILE
HEIGHT DEPENDING ON THE
TILE HEIGHT.

FOR MORE INSTALLATION DETAIL
PLEASE REFER TO YOUR LOCAL
COUNTY CODES

NOTES:
FOR MORE INFORMATION
PLEASE CONTACT THE
EAST COAST METALS SALES
DEPARTMENT AT 1-800-579-0944

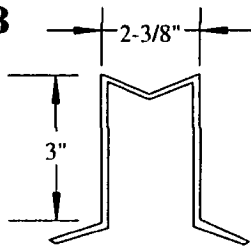
CHANNEL METAL - HIP & RIDGE METAL
PATENT 6,647,675

THIS INSTALLATION DOES NOT
CONSTITUTE THE USERS
OWN WORKPLACE RISK
ASSESSMENT, WHICH IS REQUIRED
UNDER OSHA (OCCUPATIONAL
SAFETY & HEALTH ADMINISTRATION)



PLEASE HANDLE WITH CAUTION

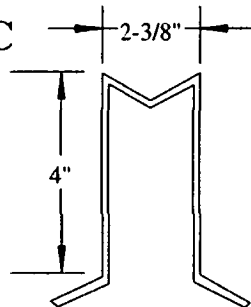
FIG B



LOW PROFILE 3" INCHES

RECOMMENDED TILE
FLAT TILE - CEDAR LITE - RUSTIC SHAKE
HACIENDA TILE

FIG C



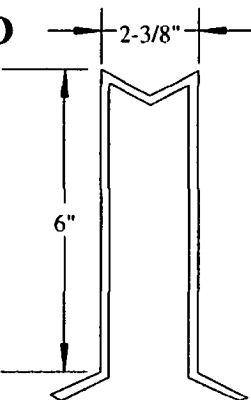
MEDIUM PROFILE 4" OR 5" INCHES
DEPENDIG ON THE HEIGHT YOU
WANT TO ACHIEVE

RECOMMENDED TILE
ALL OTHER ROLL TILES

- | | |
|-----------|-------------|
| CAPRI | PALEMA |
| VANGUARD | EUROPA WAVE |
| SPANISH S | CEE TILE |
| REGAL | VERONA |
| ESTATE | BOLD ROLL |

RIDGE
→

FIG D



HIGH PROFILE 6" INCHES

RECOMMENDED TILE

- ALTUSA
ESPANA
SANTA FE

HIP
→



2301 WEST 8 LANE, HIALEAH FL33010
TEL: 3058859991 FAX: 3058859008
WWW.EASTCOAST-METALS.COM

**HIP & RIDGE METAL (PATENT 6,647,675)
CHANNEL METAL
RECOMMENDED PROFILE**

NOT DRAWN TO SCALE

R230

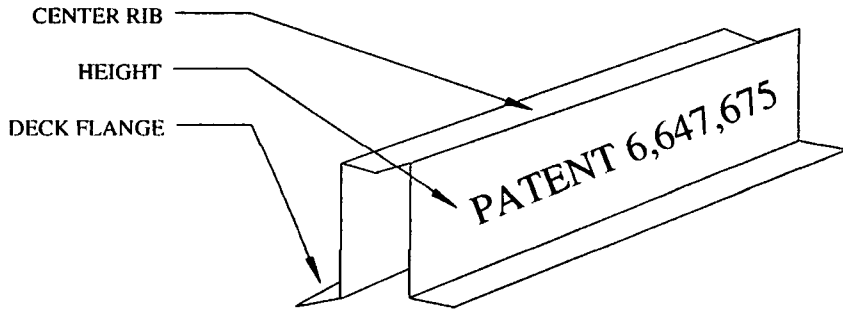


FIG A

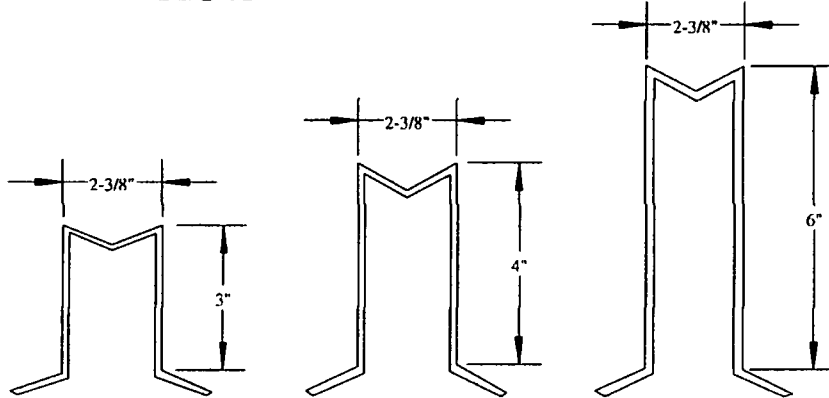


FIG B

FIG C

FIG D

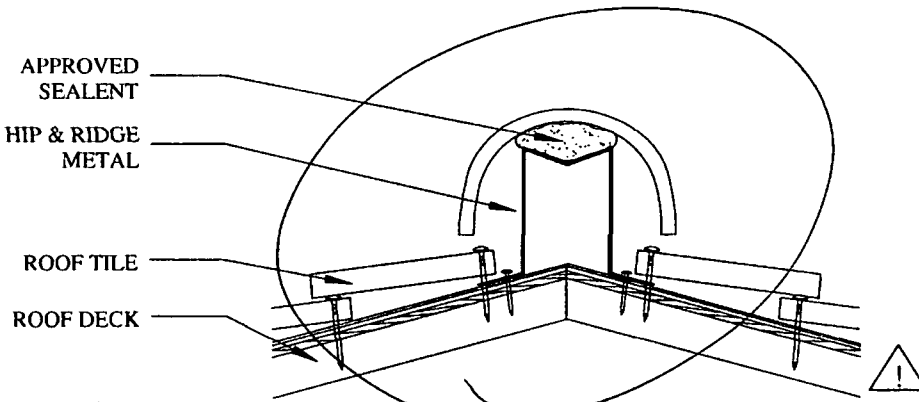


FIG E

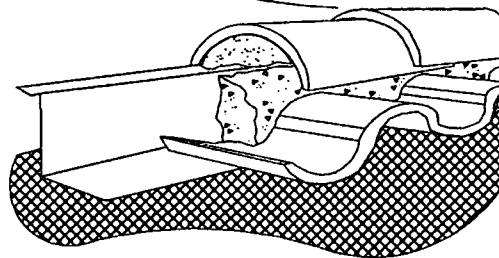


FIG F

DETAILS AND SPECIFICATIONS

LENGTH:

APPROXIMATE 10' L(FT)

GAUGE:

26 GAUGE GALVANIZED

DECK FLANGE:

APPROXIMATE 1-1/2" INCHES

HEIGHT:

FIG B - LOW PROFILE 3" INCHES

FIG C - MEDIUM PROFILE 4" INCHES

FIG D - HIGH PROFILE 6" INCHES

NOTES

THIS DETAIL IS SHOWN AS PER SOUTH FLORIDA BUILDING CODE APPROVAL

FOR MORE DETAIL PLEASE REFER TO YOUR LOCAL COUNTY CODES

INSTALLATION TIPS

FIG F: FASTENED 6-0" INCH O.C. WITH APPROVED 1-1/4" X 3/8" INCH HEAD RING SHANK ROOFING NAILS IN A BED OF APPROVED PLASTIC CEMENT

CHOOSE THE RIGHT PROFILE HEIGHT DEPENDING ON THE TILE HEIGHT. FOR MORE INFORMATION PLEASE CONTACT THE EAST COAST METALS SALES DEPARTMENT

CHANNEL METAL - HIP & RIDGE METAL PATENT 6,647,675

THIS INSTALLATION SHEET DOES NOT CONSTITUTE THE USERS OWN WORKPLACE RISK ASSESSMENT, WHICH IS REQUIRED UNDER OSHA (OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION)

PLEASE HANDLE WITH CAUTION

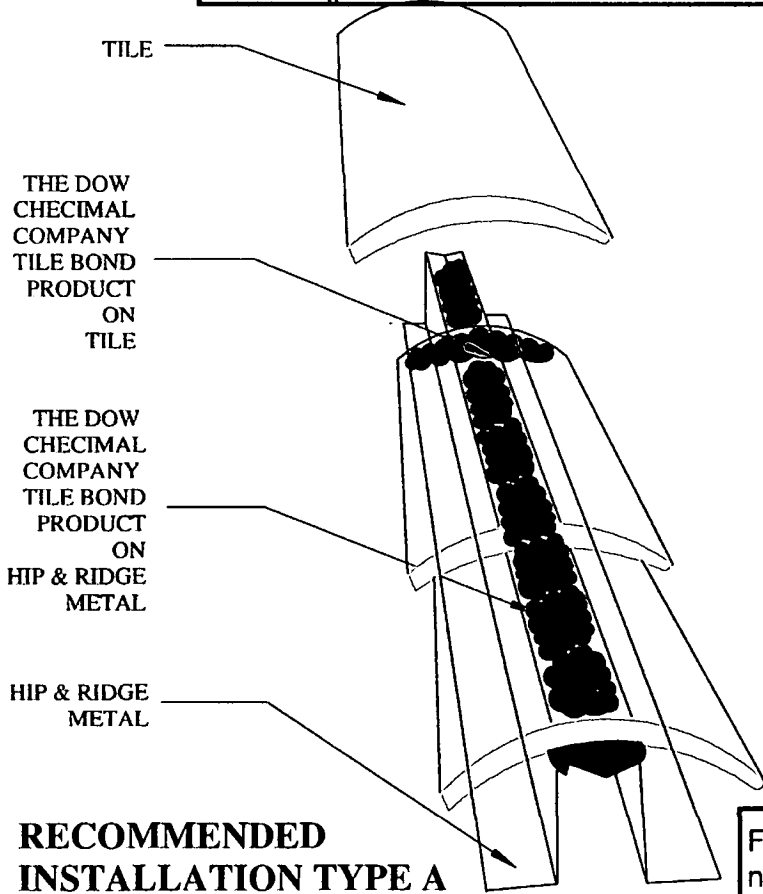


2301 WEST 8 LANE, HIALEAH FL 33010
 TEL: 3058859991 FAX: 3058859008
 WWW.EASTCOAST-METALS.COM

**HIP & RIDGE METAL (PATENT 6,647,675)
 CHANNEL METAL
 METAL SIZES**

NOT DRAWN TO SCALE

S230



RECOMMENDED INSTALLATION TYPE A

PATENT 6,647,675

DETAILS AND SPECIFICATIONS

RECOMMENDED INSTALLATION BY THE DOW CHEMICAL COMPANY

FOR MORE DETAILED INFORMATION ON LIMITATIONS AND INSTALLATION PLEASE CONTACT THE DOW CHEMICAL COMPANY DIRECT AT 1-800-800-3626

OR VISIT THEIR WEB SITE AT <http://www.getdow.com>

IMPORTANT

FOR MORE DETAIL PLEASE REFER TO YOUR LOCAL COUNTY BUILDING CODES

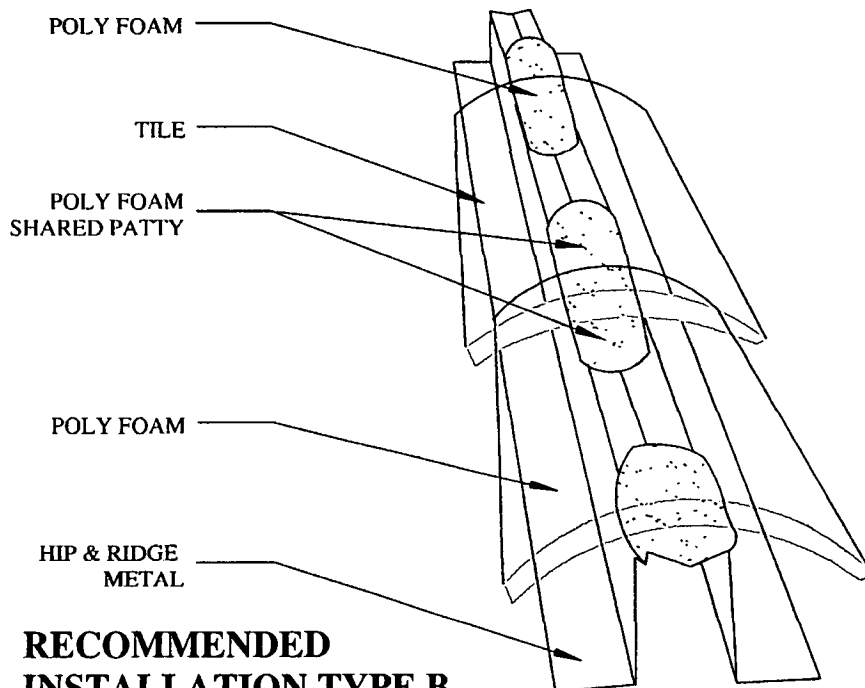
CHANNEL METAL - HIP & RIDGE METAL PATENT 6,647,675

THIS INSTALLATION DOES NOT CONSTITUTE THE USERS OWN WORKPLACE RISK ASSESSMENT, WHICH IS REQUIRED UNDER OSHA (OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION)



PLEASE HANDLE WITH CAUTION

FSE!OP UF;!Sf g slp! sppgyrhl!bei f t jw !
 n bovϕdvs f st !QspevduBqqspwbrϕpsqf spsn bodf
 ebb!boe!rjm jt !pgvt f lpwf sl' jq!' !Sjehf !Nf ubrn



RECOMMENDED INSTALLATION TYPE B

PATENT 6,647,675

DETAILS AND SPECIFICATIONS

RECOMMENDED INSTALLATION BY POLYFOAM

FOR MORE DETAILED INFORMATION ON LIMITATIONS AND INSTALLATION PLEASE CONTACT POLYFOAM DIRECT AT 1-888-774-1099

OR VISIT THEIR WEB SITE AT <http://www.polyfoam.cc>

IMPORTANT

FOR MORE DETAIL PLEASE REFER TO YOUR LOCAL COUNTY BUILDING CODES

CHANNEL METAL - HIP & RIDGE METAL PATENT 6,647,675

THIS INSTALLATION DOES NOT CONSTITUTE THE USERS OWN WORKPLACE RISK ASSESSMENT, WHICH IS REQUIRED UNDER OSHA (OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION)



PLEASE HANDLE WITH CAUTION



2301 WEST 8 LANE, HIALEAH FL33010
 TEL : 3058859991 FAX : 3058859008
 WWW.EASTCOAST-METALS.COM

**HIP & RIDGE METAL (PATENT 6,647,675)
 CHANNEL METAL
 FOAM INSTALLATION**

NOT DRAWN TO SCALE

F230



METROPOLITAN DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1565
(305) 375-2901
FAX (305) 375-2908

PRODUCT CONTROL SECTION
(305) 375-2902
FAX (305) 372-6339

MEMO

TO: All Building Officials in Dade County

FROM: Francisco J. Quintana, R.A. Director
Building Code Compliance Office

DATE: November 8, 1999

SUBJECT: Use of Roofing Construction Methods
Drawing #13 of Section 3.11 of -RAS 118
Drawing #12 of Section 3.12 of RAS 119

It has been brought to our attention that industry has significant concerns with the use of the above referenced construction methods.

The attached two approved details represent alternate methods of construction to address the condition. These have been approved by this office for use in lieu of the aforementioned details.

Subsequently, this issue will be presented to the Board Of Rules and Appeals (BORA) in their meeting of November 18, 1999. Our intention is to also submit these details to the Board of County Commissioners as code change as soon as possible.

FJQ/TB jfo'b

Attachments

S:\CODCOMPL\MUNICIPAL\INFOMUN\99\1105 Alternate Roofing Materials.doc

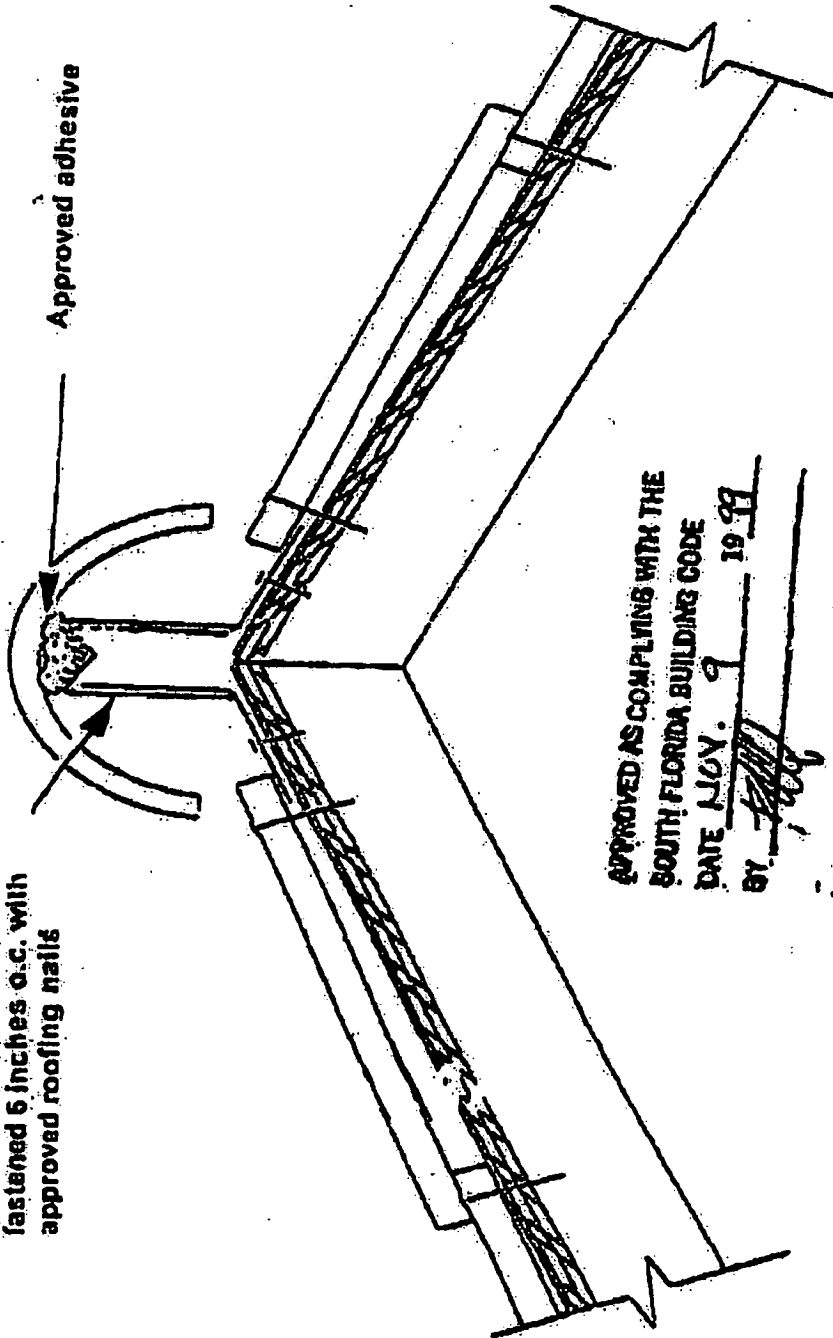
Internet mail address:
Postmaster@buildingcodeonline.com



Homepage
<http://www.buildingcodeonline.com>

Detail 3

26 gage G-90
preformed metal channel
fastened 6 inches o.c. with
approved roofing nails



APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE NOV. 9 19 99
 BY: *[Signature]*
 BUILDING CODE COMPLIANCE OFFICE



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**Polyfoam Products, Inc.
11715 Boudreaux Road
Tomball, TX 77375**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by the BCCO and accepted by the Building Code and Product Review Committee to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The BCCO (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BCCO reserves the right to revoke this acceptance, if it is determined by BCCO that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Polypro® AH160

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA No.01-0521.02 and consists of pages 1 through 7
The submitted documentation was reviewed by Jorge L. Acebo.



**NOA No.: 06-0201.02
Expiration Date: 05/10/11
Approval Date: 04/13/06
Page 1 of 7**

ROOFING ASSEMBLY APPROVAL:

Category: Roofing
Sub Category: Roof tile adhesive
Materials: Polyurethane

SCOPE:

This approves **Polypro® AH160** as manufactured by **Polyfoam Products, Inc.** as described in Section 2 of this Notice of Acceptance. For the locations where the design pressure requirements, as determined by applicable building code, does not exceed the design pressure values obtained by calculations in compliance with Roofing Application Standard RAS 127, for use with approved flat, low, and high profile roof tiles system using Polypro® AH 160. Where the attachment calculations are done as a moment based system for single patty placement, and as an uplift based system for double patty systems

PRODUCTS MANUFACTURED BY APPLICANT:

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Polypro® AH160	N/A	TAS 101	Two component polyurethane foam adhesive
Foampro® RTF1000	N/A		Dispensing Equipment
ProPack® 30 & 100	N/A		Dispensing Equipment

PRODUCTS MANUFACTURED BY OTHERS:

Any Miami-Dade County Product Control Accepted Roof Tile Assembly having a current NOA which list moment resistance values with the use of Polypro AH160 roof tile adhesive.

PHYSICAL PROPERTIES:

<u>Property</u>	<u>Test</u>	<u>Results</u>
Density	ASTM D 1622	1.6 lbs./ft. ³
Compressive Strength	ASTM D 1621	18 PSI Parallel to rise 12 PSI Perpendicular to rise
Tensile Strength	ASTM D 1623	28 PSI Parallel to rise
Water Absorption	ASTM D 2127	0.08 Lbs./Ft ²
Moisture Vapor Transmission	ASTM E 96	3.1 Perm / Inch
Dimensional Stability	ASTM D 2126	+0.07% Volume Change @ -40° F., 2 weeks +6.0% Volume Change @158°F., 100% Humidity, 2 weeks
Closed Cell Content	ASTM D 2856	86%

Note: The physical properties listed above are presented as typical average values as determined by accepted ASTM test methods and are subject to normal manufacturing variation.



NOA No.: 06-0201.02
Expiration Date: 05/10/11
Approval Date: 04/13/06
Page 2 of 7

EVIDENCE SUBMITTED:

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Center for Applied Engineering	#94-060	TAS 101	04/08/94
	257818-1PA	TAS 101	12/16/96
	25-7438-3	SSTD 11-93	10/25/95
	25-7438-4		
	25-7438-7	SSTD 11-93	11/02/95
	25-7492	SSTD 11-93	12/12/95
Miles Laboratories Polymers Division	NB-589-631	ASTM D 1623	02/01/94
Ramtech Laboratories, Inc.	9637-92	ASTM E 108	04/30/93
Southwest Research Institute	01-6743-011	ASTM E 108	11/16/94
	01-6739-062b[1]	ASTM E 84	01/16/95
Trinity Engineering	7050.02.96-1	TAS 114	03/14/96
Celotex Corp. Testing Services	528454-2-1	TAS 101	10/23/98
	528454-9-1		
	528454-10-1		
	520109-1	TAS 101	12/28/98
	520109-2		
	520109-3		
	520109-6		
	520109-7		
	520191-1	TAS 101	03/02/99
	520109-2-1		

LIMITATIONS:

1. Fire classification is not part of this acceptance. Refer to the Prepared Roof Tile Assembly for fire rating.
2. Polypro® AH160 shall solely be used with flat, low, & high tile profiles.
3. Minimum underlayment shall be in compliance with the Roofing Application Standard RAS 120.
4. Roof Tile manufactures acquiring acceptance for the use of Polypro® AH160 roof tile adhesive with their tile assemblies shall test in accordance with TAS 101.
5. Roof Tile manufactures acquiring acceptance for the use of HANDI-STICK roof tile adhesive with their tile assemblies shall test in accordance with TAS 101 with section 10.4 as modified herein.

$$F = \frac{F}{2} W$$
 MS



NOA No.: 06-0201.02
 Expiration Date: 05/10/11
 Approval Date: 04/13/06
 Page 3 of 7

INSTALLATION:

1. Polypro® AH160 may be used with any roof tile assembly having a current NOA that lists uplift resistance values with the use of Polypro® AH160.
2. Polypro® AH160 shall be applied in compliance with the Component Application section and the corresponding Placement Details noted herein. The roof tile assembly's adhesive attachment with the use of Polypro® AH160 shall provide sufficient attachment resistance, expressed as an uplift based system, to meet or exceed the uplift resistance determined in compliance with Miami-Dade County Roofing Application Standards RAS 127. The adhesive attachment data is noted in the roof tile assembly NOA
3. Polypro® AH160 roof tile adhesive and its components shall be installed in accordance with Roofing Application Standard RAS 120, and Polyfoam Products, Inc. Polypro® AH160 Operating Instruction and Maintenance Booklet.
4. Installation must be by a Factory Trained 'Qualified Applicator' approved and licensed by Polyfoam Products, Inc. Polyfoam Products Inc. shall supply a list of approved applicators to the authority having jurisdiction.
5. Calibration of the Foampro® dispensing equipment is required before application of any adhesive. The mix ratio between the "A" component and the "B" component shall be maintained between 1.0-1.15 (A): 1.0 (B). The dispense timer shall be set to deliver 0.0175 to 0.15 pounds per tile as determined at calibration. No other settings shall be approved.
6. Polypro® AH160 shall be applied with Foampro RTF1000 or ProPack® 30 & 100 dispensing equipment only.
7. Polypro® AH160 shall not be exposed permanently to sunlight.
8. Tiles must be adhered in freshly applied adhesive. Tile must be set within 2 to 3 minutes after Polypro® AH160 has been dispensed.
9. Polypro® AH160 placement and minimum patty weight shall be in accordance with the 'Placement Details' herein. Each generic tile profile requires the specific placement noted herein.

Table 1: Adhesive Placement For Each Generic Tile Profile

Tile Profile	Placement Detail	Single Paddy Weight Min. (grams)	Two Paddy Weight per paddy Min. (grams)
Flat, Low, High Profiles	#1	35	N/A
High Profile (2 Piece Barrel)	#1	17/side on cap and 34/pan	N/A
Flat, Low, High Profiles	#2	24	N/A
Flat, Low, High Profiles	#3		8

LABELING:

All Polypro® AH160 containers shall comply with the Standard Conditions listed herein.

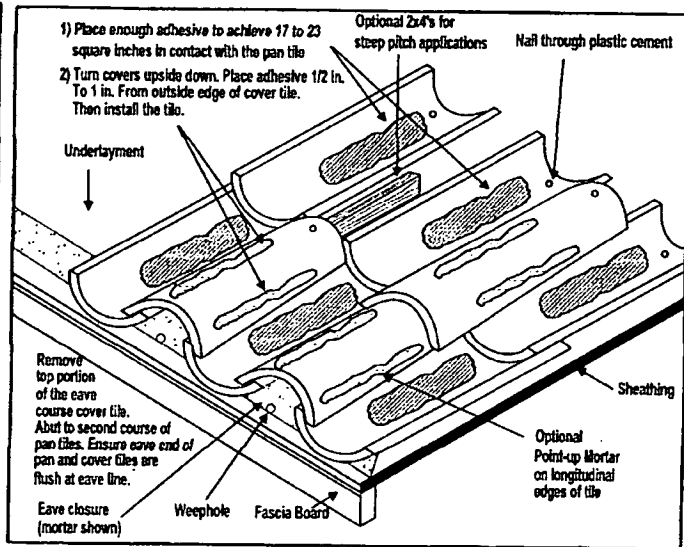
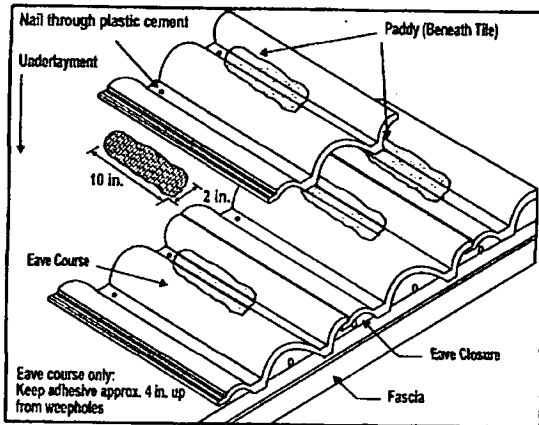
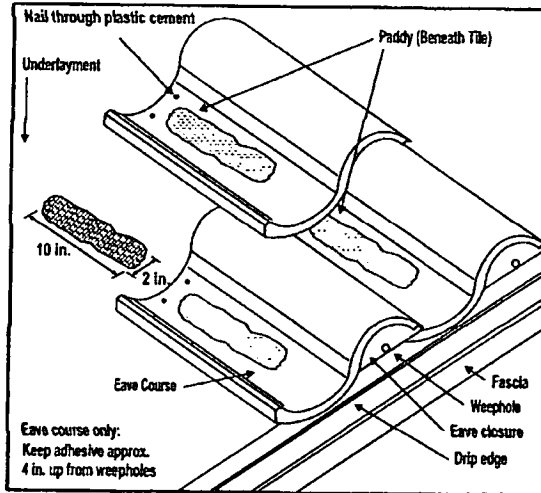
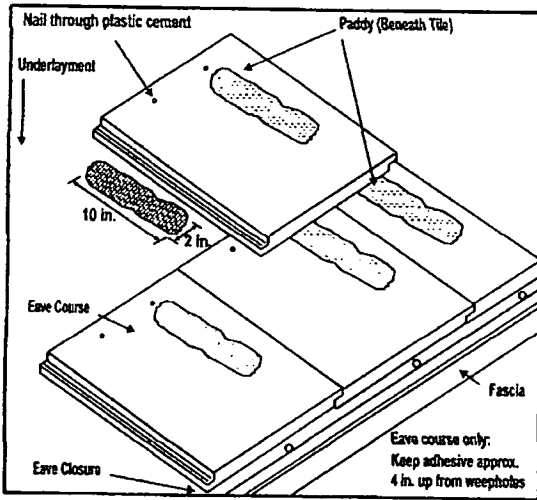
BUILDING PERMIT REQUIREMENTS:

As required by the Building Official or applicable building code in order to properly evaluate the installation of this system.

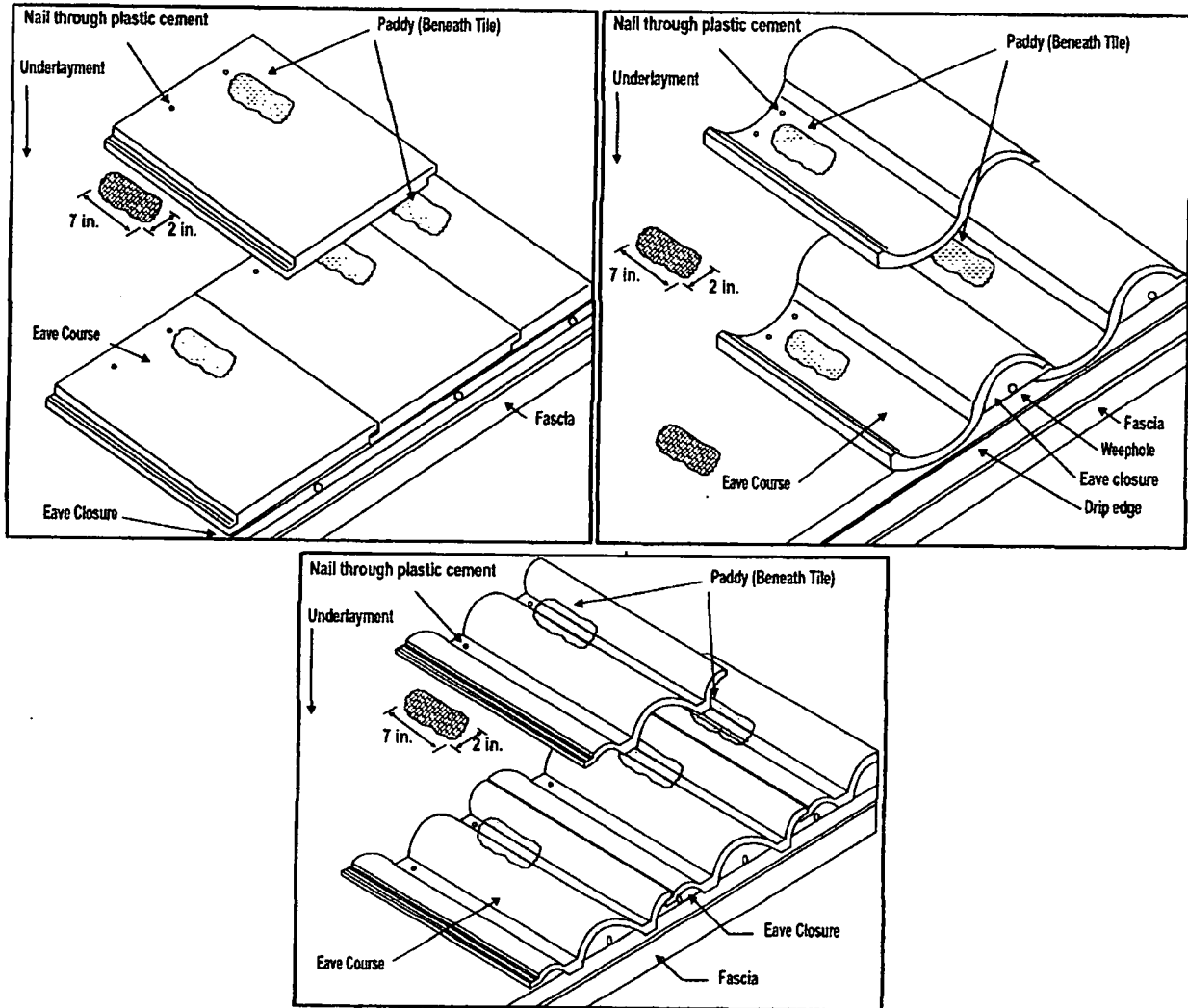


NOA No.: 06-0201.02
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ADHESIVE PLACEMENT DETAIL 1 SINGLE PATTY

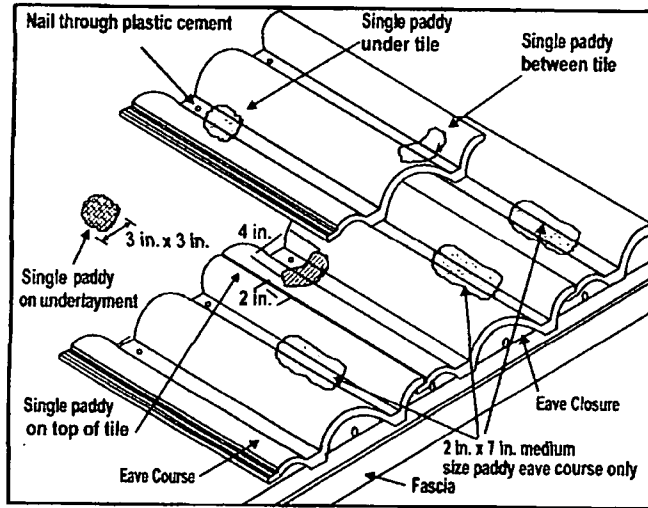
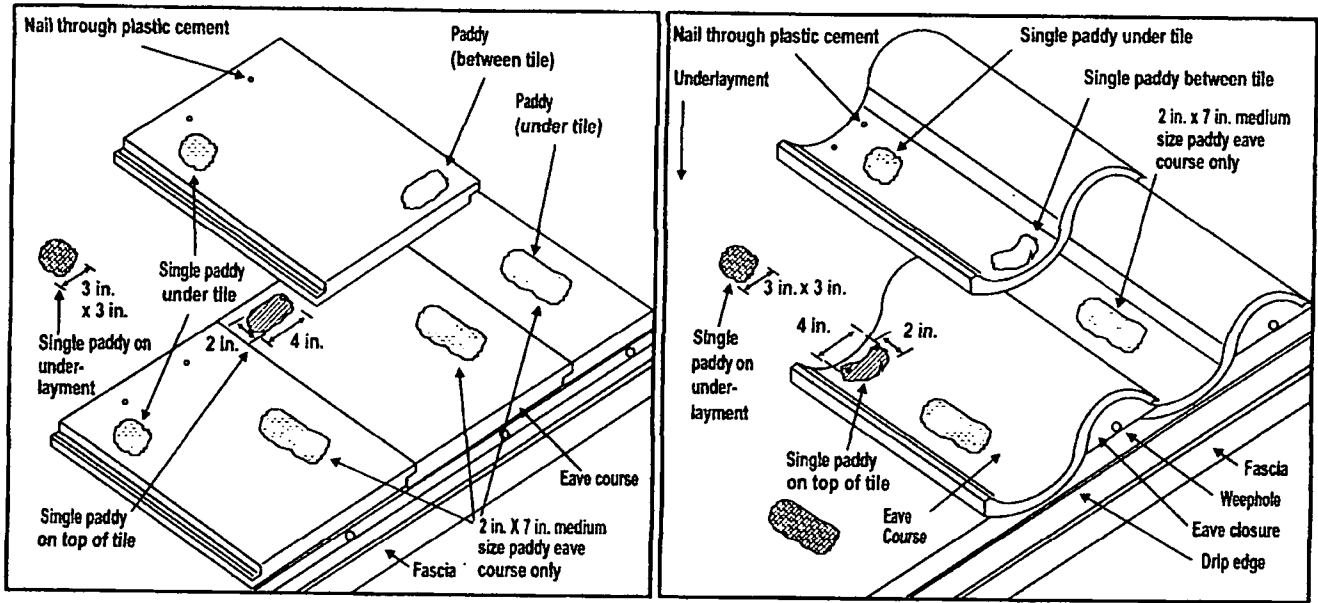


ADHESIVE PLACEMENT DETAIL 2 SINGLE PATTY



NOA No.: 06-0201.02
Expiration Date: 05/10/11
Approval Date: 04/13/06
Page 6 of 7

ADHESIVE PLACEMENT DETAIL 3 DOUBLE PATTY



END OF THIS ACCEPTANCE



NOA No.: 06-0201.02
 Expiration Date: 05/10/11
 Approval Date: 04/13/06
 Page 7 of 7



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Clay Forever, LLC
6801 NW 77th Avenue
Miami, FL 33166

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code including the High Velocity Hurricane Zone of the Florida Building Code.



DESCRIPTION: Andalusia Clay Barrel Roof Tile

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of pages 1 through 4.

The submitted documentation was reviewed by Alex Tigera.

NOA No.: 07-1129.05
Expiration Date: 03/20/13
Approval Date: 03/20/08



ROOFING ASSEMBLY APPROVAL

Category: Roofing
Sub-Category: Roofing Tiles
Material: Clay

1. SCOPE

This renews roofing system using **Andalusa Clay Barrel Clay Roof Tiles**, as manufactured by Sulacer S.A. de C.V. in Honduras and distributed by Clay Forever, LLC. and described in Section 2 of this Notice of Acceptance. For locations where the pressure requirements, as determined by applicable Building Code does not exceed the design pressure values obtained by calculations in compliance with RAS 127 using the values listed in section 4 herein. The attachment calculations shall be done as a moment based system.

2. PRODUCT DESCRIPTION

<u>Manufactured by Applicant</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Andalusa Clay Barrel Tile	L = 18.4" W = 7.1" ½" thick nominal	ASTM C 1167	High profile two-piece clay roof tile. For direct deck, adhesive set applications.
Trim Pieces	Length: varies Width: varies varying thickness	TAS 112	Accessory trim, clay roof pieces for use at hips, rakes, ridges and valley terminations. Manufactured for each tile profile.

2.1 SUBMITTED EVIDENCE:

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
PRI Construction Materials Technologies	SPC-040-02-02	TAS-101	09/28/07
PRI Construction Materials Technologies	SPC-040-02-01	TAS 101 (Adhesive Set)	10/10/07



NOA No.: 07-1129.05
Expiration Date: 03/20/13
Approval Date: 03/20/08
Page 2 of 4

3. LIMITATIONS

- 3.1 Fire classification is not part of this acceptance.
- 3.2 For mortar or adhesive set tile applications, a static field uplift test shall be performed in accordance with RAS 106.
- 3.3 Applicant shall retain the services of a Miami-Dade County Certified Laboratory to perform quarterly test in accordance with TAS 112, appendix 'A'. Such testing shall be submitted to the Building Code Compliance Office for review.
- 3.4 Minimum underlayment shall be in compliance with the applicable Roofing Applications Standards listed section 4.1 herein.
- 3.5 30/90 hot mopped underlayment applications may be installed perpendicular to the roof slope unless stated otherwise by the underlayment material manufacturers published literature.
- 3.6 This acceptance is for wood deck applications. Minimum deck requirements shall be in compliance with applicable building code.
- 3.7 May be installed on slopes 7:12 and greater.

4. INSTALLATION

- 4.1 'Andalusa Two Piece Barrel Clay Roof Tile and its components shall be installed in strict compliance with Roofing Application Standard RAS 120.
- 4.2 Data For Attachment Calculations

Table 1: Average Weight (W) and Dimensions (l x w)			
Tile Profile	Weight-W (lbf)	Length-l (ft)	Width-w (ft)
Andalusa Barrel Tile	4.3	1.5	0.58

Table 2: Aerodynamic Multipliers - λ (ft ³)		
Tile Profile	λ (ft ³) Batten Application	λ (ft ³) Direct Deck Application
Andalusa Barrel Tile	N/A	0.203

Table 3: Restoring Moments due to Gravity - M_g (ft-lbf)						
Tile Profile	2":12"	3":12"	4":12"	5":12"	6":12"	7":12" or Greater
Andalusa Barrel Tile	Direct Deck	Direct Deck	Direct Deck	Direct Deck	Direct Deck	Direct Deck
	3.4	3.3	3.2	3.1	3.0	2.9

Table 7: Attachment Resistance Expressed as a Moment - M_t (ft-lbf) for Single Patty Adhesive Set Systems		
Tile Profile	Tile Application	Minimum Attachment Resistance
Andalusa Barrel Tile	Polyfoam PolyPro™	152 ⁴

4 Place 39 grams per pan and 23 grams per cap of PolyPro™.



5. LABELING

All tiles shall bear the imprint or identifiable marking of the manufacturer's name or logo, or following statement: "Miami-Dade County Product Control Approved".

"ANDALUSA MADE IN HONDURAS"

**IDENTIFICATION MARK FOR ANDALUSA BARREL CLAY ROOF TILE
LOCATED UNDERNEATH TILE**

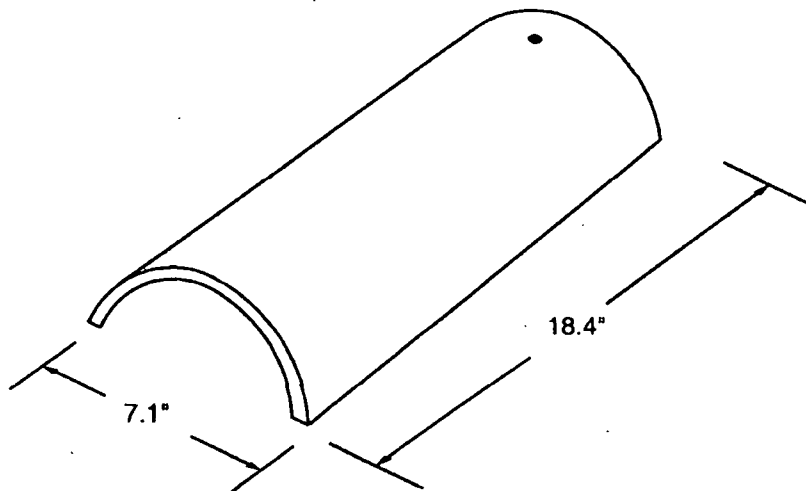
6. BUILDING PERMIT REQUIREMENTS

6.1 Application for building permit shall be accompanied by copies of the following:

6.1.1 This Notice of Acceptance.

6.1.2 Any other documents required by the Building Official or applicable building code in order to properly evaluate the installation of this system.

PROFILE DRAWINGS



ANDALUSA BARREL CLAY ROOF TILE

END OF THIS ACCEPTANCE



NOA No.: 07-1129.05
Expiration Date: 03/20/13
Approval Date: 03/20/08
Page 4 of 4



MIAMI-DADE COUNTY
BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

www.miamidade.gov

Maxim Industries, Inc.
1630 Terre Colony Court
Dallas, TX 75212

Scope: This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Dade Curb-Mount & Self-Flashing Skylight.

APPROVAL DOCUMENT: Drawing No. DCM-1 & DSF-1, titled "Dade Curb Mount & Dade Self Flashing", sheets No. 1 and 2 of 2, prepared by Maxim Industries, Inc., dated 04/01/03 with no revisions, signed and sealed by Richard Boyette, P.E. on 04/10/2003, bearing the Miami-Dade County Product Control Renewal stamp with the Notice of Acceptance number and the approval date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large & Small Missile Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein and the dome shall be properly marked by Sheffield Plastics.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 03-0224.11 and consists of this page 1, evidence submitted page E-1 as well as approval document mentioned above.

The submitted documentation was reviewed by **Helmy A. Makar, P.E., M.S.**



Helmy A. Makar
 04/24/2008

NOA No. 08-0219.02
Expiration Date: 05/15/2013
Approval Date: 04/24/2008

Maxim Industries, Inc.

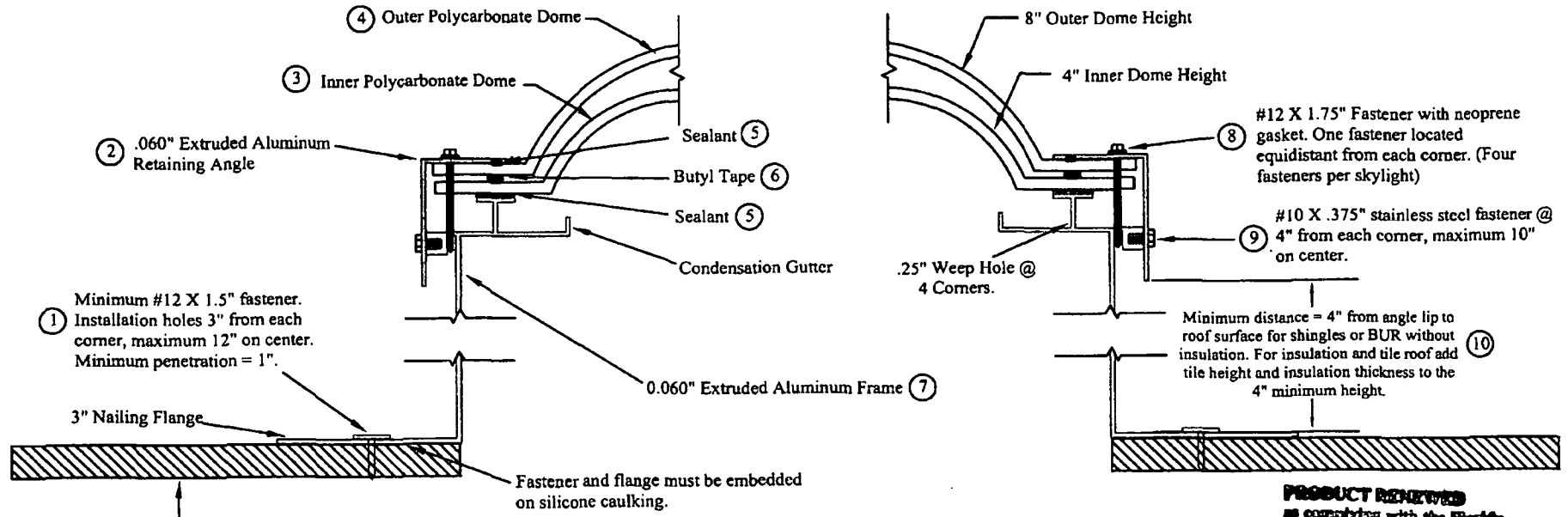
NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

- 1. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL #03-0224.11**
 - A. DRAWINGS**
 1. *Drawing No. DCM-1 & DSF-1, sheet 1 and 2 of 2, titled "Dade Curb Mount & Dade Self Flashing", prepared by Maxim Industries, Inc, dated 04/01/03, with no revision, signed and sealed by R. Boyette, P.E.*
 - B. TESTS**
 1. *Test report on Large Missile Impact Test per TAS 201, Cyclic Load Test per TAS 203 and Uniform Static air Pressure Test per TAS 202 on "Dade Self-Flashing, Dade Curb mount", prepared by Architectural Testing, Inc, report No. 01-43381.01 issued on 01/29/03, signed and sealed by S. M. Uric, P.E.*
 - C. CALCULATIONS**
 1. *Anchor calculations prepared by Richard Burette, signed and sealed by R. Burette on 02/11/03*
 - D. MATERIAL CERTIFICATIONS**
 1. *Notice of Acceptance No. 01-0709.07 issued to Sheffield Plastics, Inc. on 08/23/01, expiring on 08/27/06.*
 - E. STATEMENTS**
 1. *Code compliance letter issued by Richard Burette, P.E. on 02/11/03, signed and sealed by R. Boyette, P.E.*
- 2. NEW EVIDENCE SUBMITTED**
 - A. DRAWINGS**
 1. *None.*
 - B. TESTS**
 1. *None.*
 - C. CALCULATIONS**
 1. *None.*
 - D. QUALITY ASSURANCE**
 1. *By Miami-Dade County Building Code Compliance Office.*
 - E. MATERIAL CERTIFICATIONS**
 1. *None.*



Henry A. Makar, P.E., M.S.
Product Control Examiner
NOA No. 08-0219.02
Expiration Date: 05/15/2013
Approval Date: 04/24/2008

- ① Minimum #12 X 1.5" fastener by others. Pre-punched installation holes 3" from each corner, maximum 12" on center. Minimum penetration = 1".
- ② .060" X 1.5" X 1.75" 6063-T6 extruded aluminum retaining angle. Aluminum angle mitered and welded @ 4 corners.
- ③ 49" X 97" X .118" Hyzod inner polycarbonate dome @ 4" height. NOA: #01-0709-07.
- ④ 49" X 97" X .118" Hyzod outer polycarbonate dome @ 8" height. NOA: #01-0709-07.
- ⑤ OSI PR 256 urethane sealant: Located between aluminum angle retainer and top dome & between bottom dome and aluminum frame.
- ⑥ Butyl tape: 1" X .125" located between top and bottom domes.
- ⑦ 6063-T5 Extruded Aluminum Frame. 0.060" shape mitered and welded @ 4 corners.
- ⑧ #12 X 1.75" Fastener. One fastener located equidistant from each corner. (Four fasteners per skylight)
- ⑨ #10 X .375" stainless steel fastener @ 4" from each corner, maximum 10" on center.
- ⑩ Minimum distance = 4" from angle lip to roof surface for shingles or BUR without insulation. For insulation and tile roof add tile height and insulation thickness to the 4" minimum height.
- ⑪ All units equal to or less than 32 square feet will be accepted under this NOA.



Roof deck by others. Minimum thickness = 1" for 1" fastener penetration. All roof details shall comply with Chapter 15 of the Florida Building Code.

PRODUCT REVIEWED
 as complying with the Florida Building Code
 Acceptance No. 08-0219.02
 Expiration Date 03/15/2013
 By: *Richard Boyette*
 Miami Dade Product Control Division

Dade Self Flashing Model

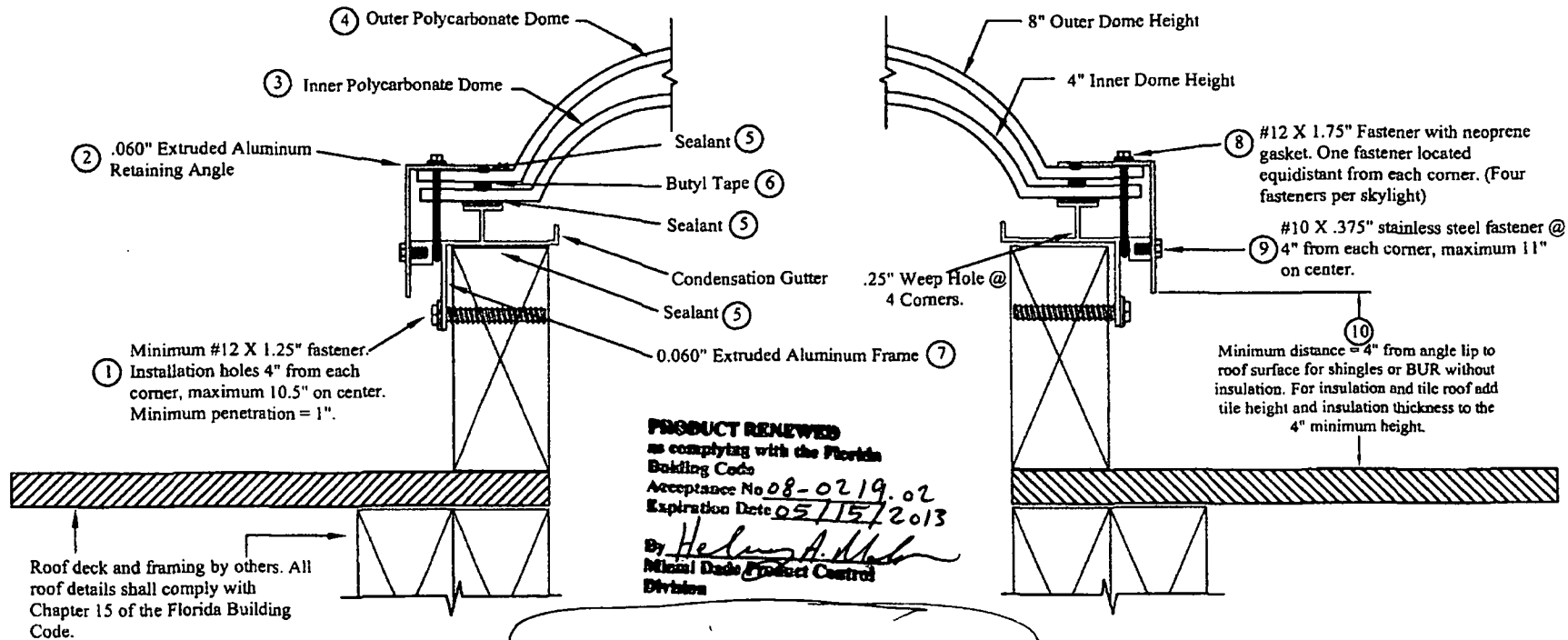
Date: 04/01/03 Draw. #DSF-1
 Drawing: Dade Self Flashing
 Sheet#: 2 of 2
 Design Pressure: 60psf +/-
 Max. Skylight ID: 48" X 96"

Approved as complying with the Florida Building Code
 Date: 03/15/03
 NOA#: 03-0224.11
 Miami Dade Product Control Division
 By: *[Signature]*

RICHARD BOYETTE
 FL PE # 42485
 4031 COCONUT BLVD
 ROYAL PALM BCH FL 334
 561-790-5766
[Signature]
[Signature]

MAXIM INDUSTRIES, INC
 6170 Vanderbilt Avenue Dallas, TX 75214
 Phone: 214.824.1557 Fax: 240.371.7345

- ① Minimum #12 X 1.25" fastener by others. Pre-punched installation holes 4" from each corner, maximum 10.5" on center. Minimum penetration = 1".
- ② .060" X 1.5" X 1.75" 6063-T6 extruded aluminum retaining angle. Aluminum angle mitered and welded @ 4 corners.
- ③ 52.5" X 100.375" X .118" Hyzod inner polycarbonate dome @ 4" height. NOA: #01-0709-07.
- ④ 52.5" X 100.375" X .118" Hyzod outer polycarbonate dome @ 8" height. NOA: #01-0709-07.
- ⑤ OSI PR 256 urethane sealant: Located between aluminum angle retainer and top dome & between bottom dome and aluminum frame.
- ⑥ Butyl tape: 1" X .125" located between top and bottom domes.
- ⑦ 6063-T5 Extruded Aluminum Frame. 0.060" shape mitered and welded @ 4 corners.
- ⑧ #12 X 1.75" Fastener. One fastener located equidistant from each corner. (Four fasteners per skylight)
- ⑨ #10 X .375" stainless steel fastener @ 4" from each corner, maximum 11" on center.
- ⑩ Minimum distance = 4" from angle lip to roof surface for shingles or BUR without insulation. For insulation and tile roof add tile height and insulation thickness to the 4" minimum height.
- ⑪ All units equal to or less than 32 square feet will be accepted under this NOA.



Dade Curb Mount Model

RICHARD BOYETTE

Date: 04/01/03 Draw. #DCM-1
 Drawing: Dade Curb Mount
 Sheet#: 1 of 2
 Design Pressure: 60psf +/-
 Max. Skylight ID: 51.75" X 99.75"

Approved as complying with the Florida Building Code
 Date 05/15/03
 NOA# 03-0224.11
 Miami Dade Product Control Division
 By *[Signature]*

FL PE # 42485
 4031 COCONUT BLVD
 ROYAL PALM BCH FL 33411
 561-790-5766

[Handwritten Signature]
 4/10/03

MAXIM INDUSTRIES, INC
 6170 Vanderbilt Avenue Dallas, TX 75214
 Phone: 214.824.1557 Fax: 240.371.7345

**RESIDENTIAL REROOF WINDSTORM LOSS
MITIGATION CERTIFICATION (FLORIDA STATUTE 553.844)**

The following information is to be provided by roofing contractor or owner/builder on all re-roof applications for the purpose of obtaining compliance with recent changes to State Statute and referenced "Hurricane Mitigation Manual". Effective date: October 1, 2007.

Note: These requirements apply to residential structures built prior to implementation of the FBC on March 1, 2002.

- Value: show proof of insured value of residential structure or a copy of the ad-valorem tax value.
- Provide copy of contract

All re-roofs regardless of value shall comply with the following:

Re-nailing: All sheathing and decking shall be re-nailed per section 201.1 and a secondary water barrier installed.

- Existing fasteners that are 8d clipped head, round head or ring shank and spaced 6 in. or less o.c. may be counted. Additional fasteners shall be 8d ring shank nails with round heads spaced at 6 in. o.c. along framing.
- Indicate below which method is to be used to satisfy the secondary water barrier requirements:

_____ All joints in roof sheathing shall be covered with a minimum of 4 in. strip of self-adhering polymer modified bitumen tape. Wood deck and self-adhering tape shall be covered by one layer of approved underlayment.

_____ Entire roof deck shall be covered with an approved self-adhering polymer modified bitumen cap sheet. No additional underlayment is required.

_____ Outside of the HVHZ, an underlayment complying with section 1507.2.3 of the Florida Building Code, Building fastened as described below or a layer of asphalt impregnated approved #30 felt shall be installed. The felt is to be fastened with 1" round plastic cap or metal cap nails, attached to a nailable deck in a grid pattern of 12 inches (305 mm) staggered between the overlaps, with 6-inch (152 mm) spacing at the overlaps. For slopes of 2:12 to 4:12 an additional layer of felt shall be installed in a single-fashion and lapped 19" and fastened as described above. (No additional underlayment shall be required over the top of this sheet.)

X _____ Exception: An approved 30# underlayment installed per HVHZ using nails and tin-tags and covered with an approved self-adhering polymer modified bitumen cap sheet or an approved cap sheet hot-mopped shall be deemed to meet the requirements for secondary water barrier.

Residential Structures valued at \$300,000 or more shall comply with the following:

- Roof to wall connections must be enhanced up to 15% additional cost of the re-roofing cost.
- A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
 1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
 2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
 - a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
 - b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
 - c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.

LICENSED GENERAL, BUILDING OR RESIDENTIAL CONTRACTORS' REROOF WINDSTORM LOSS MITIGATION COMPLIANCE AFFIDAVIT

A RESIDENTIAL STRUCTURE VALUED AT \$300,000 OR MORE SHALL COMPLY WITH THE FOLLOWING:

- Roof to wall connections must be enhanced up to 15% additional cost of the reroofing cost.
• A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.

A RESIDENTIAL STRUCTURE VALUED AT \$750,000 OR MORE SHALL COMPLY WITH THE FOLLOWING:

When any activity requiring a building permit that is applied for on or after July 1, 2008, and for which the estimated cost is \$50,000 or more for a building that is located in the wind borne debris region as defined in s. 1609.2 of the Florida Building Code, Building:

- a. Opening protections as required within the Florida Building Code, Building or Florida Building Code, Residential for new construction shall be provided.

TO BE COMPLETED IF INSURED VALUE OF SINGLE FAMILY IS OVER \$300,000.00 AND WAS PERMITTED PRIOR TO MARCH 1, 2002.

YEAR PERMITTED _____ INSURED OR P.A. IMPROVED VALUE \$ 379,990.00

DETAILS OF MITIGATION WORK TO BE PERFORMED (Add additional sheets if necessary):

FASTEN HGA 10KT SIMPSON STRONG TIE USING MANUFACTURERS SCREWS ATTACHED TO TOP PLATE, EXTERIOR, BOLTED TO CONCRETE BEAM FILLING ALL HOLES INTO HIP CORNERS, GARAGE ONLY. 3-16 PENNY NAILS STRAPPED TO TRUSS FRAMES WALL, SECOND FLOOR.

JOB SITE ADDRESS: 17 PALM ROAD STUART, FL 34996

QUALIFIER NAME: ROB AUSTIN LICENSE NO.: CRC1328017

COMPANY NAME: TRIONE BUILDERS INC PHONE NO.: 772-287-1949

Qualifier's Signature

Owner's Signature

Date: 3-15-11

Date: 3-15-11

Sworn to and subscribed before me this 15 day of MARCH 20 11

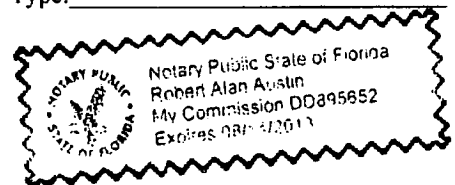
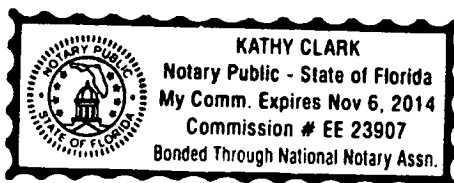
Sworn to and subscribed before me this 15 day of MARCH 20 11

By ROB AUSTIN

By CYNTHIA GUSTAFSON

Notary Public, State of Florida
Personally known to me
Produced ID
Type:

Notary Public, State of Florida
Personally known to me
Produced ID
Type:





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

on FWP

RE: Permit # 9745

Date 4-8-11

Inspection Affidavit

I ROB AUSTIN, licensed as a(n) Contractor* /Engineer/Architect,
 (please print name and circle Lic. Type) FS 468 Building Inspector*

License #; CCC1327362

On or about 4-6-11 11 AM, I did personally inspect the roof
 (Date & time)

deck nailing and/or secondary water barrier work at 17 PALM ROAD
 (circle one) (Job Site Address)
STUART, FL.

Based upon that examination I have determined the installation was done according to the Hurricane Mitigation Retrofit Manual (Based on 553.844 F.S.)

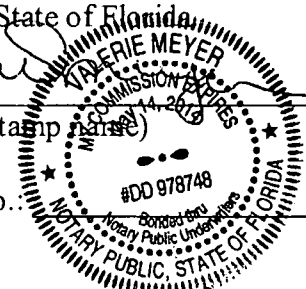
Signature _____

STATE OF FLORIDA
 COUNTY OF

Sworn to and subscribed before me this 8th day of April, 2011

By Robert A Austin

Notary Public, State of Florida
Valerie Meyer
 (Print, type or stamp name)
 Commission No. #DD 978748



Personally known _____ or
 Produced Identification

Type of identification produced. FDUT # A235-761-78-453-U

* General, Building, Residential, or Roofing Contractor or any individual certified under 468 F.S. to make such an inspection. Include photographs of each plane of the roof with the permit # or address # clearly shown marked on the deck for each inspection.

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection: Mon Tue Wed Thur Fri **4-11-11** Page 1 of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9745	<i>[Handwritten: 17 Palmetto]</i>	<i>[Handwritten: Pool water]</i>		
	<i>[Handwritten: 17 Palmetto]</i>	<i>[Handwritten: Pool water]</i>		
	<i>[Handwritten: Truene Cook]</i>			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
CE		Pool water		<i>[Handwritten: Pool water was Free from chlorine]</i>
	19 Riverview	in sewer		
				INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	<i>[Handwritten: Cassie Rivers]</i>			
	<i>[Handwritten: 286-5872]</i>			
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

4-19-11

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9745	Triune H. Palm Rd			INSPECTOR <i>[Signature]</i>
9755	Cune 1 Michael Rd Gulfstream	Final shutters	PASS	Close INSPECTOR <i>[Signature]</i>
9683	Sharfi 73 NSPR Mosley	Pre pour driveway	PASS	INSPECTOR <i>[Signature]</i>
	26 N. River Rd	Door INSULATION \$250 FINE		No permit INSPECTOR
				INSPECTOR
				INSPECTOR
				INSPECTOR
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

5-24-11

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9742	Aune	Final		
9AM	1 Michael Rd TC Solar	Solar Heat	Pass	CLOSE INSPECTOR <i>JA</i>
9742	Guadalupe 17 Palm Rd	Final	Pass	Close
	Trine Roof			INSPECTOR <i>JA</i>
9793	Koch	Final AC		
10AM	71 N River Rd Nisan		Pass	CLOSE INSPECTOR <i>JA</i>
9733	GUFSTASON			
	17 Palm Rd	Elec. FINAL	Pass	CLOSE
	ZANE PARTNER			INSPECTOR <i>JA</i>
9616	Vincenzo	FINAL		
9:30	4. Riverview ARK HOMES	Remodel	Pass	CLOSE INSPECTOR <i>JA</i>
	Monroe			
	10 N. Ridgeview	TREE	Ok	INSPECTOR
				INSPECTOR

447

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Permit # _____

Date Issued _____

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc..

Owner GUSTAFSON - WILLERT Address 1001 East Ocean Blvd Phone 288-7337
Contractor Paavola Brothers Address 1850 SW Hackman Ave Phone 283-6743

Number of trees to be removed (list kinds of trees) 14 Hickory palm
Orchard OAK

Number of trees to be relocated within 30 days (no fee) (list kinds of trees) None

Number of trees to be replaced within 30 days (list kinds of trees) None

Permit Fee: \$ 1518.00 (\$5. for first tree plus \$1. for each additional tree - not to exceed \$25.)

(No permit fee for trees which are relocated on property or lie within a utility easement and are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted YES Plans approved as marked YES

Permit good for one year. Fee for renewal of expired permit \$5.

Signature of applicant _____ Date submitted _____

Approved by Building Inspector Dale Brown Date 10/13/89

Approved by Building Commissioner _____ Date _____

Completed _____
Date _____ Checked by _____

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT OBTAINING A PERMIT: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSES OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner CRAIG WILSON Address 1 PALM ROAD Phone 288-1112

Contractor BENNETT Address _____ Phone _____

No. of Trees: REMOVE 1 Type: COCONUT PALM

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

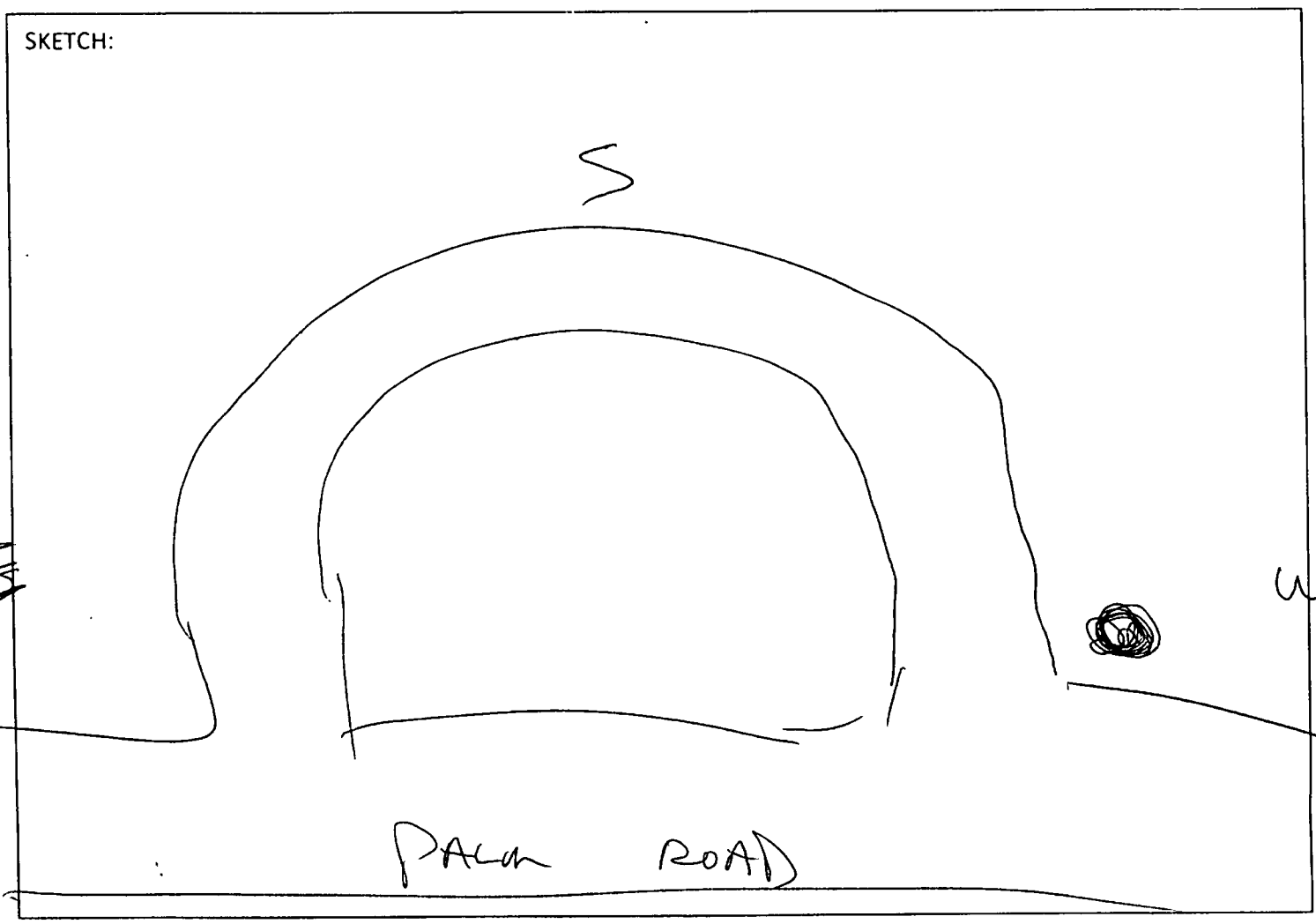
No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Reason for tree removal/relocation DEAD TREE

Signature of Property Owner [Signature] Date 9/17

Approved by Building Inspector: [Signature] Date 9/19 Fee: 0

NOTES: _____



ok



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

~~TREE REMOVAL~~ RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner ^{Craig Willett} ~~Cynthia Gustafson~~ Address ~~1722 Palmetto Ave~~ Phone 772-214-6917

Contractor Bernies Tree Service Address _____ Phone 772-219-2519

No. of Trees: REMOVE 1 Species: hickory

No. of Trees: RELOCATE _____ Species: _____

No. of Trees: REPLACE _____ Species: _____

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

Reason for tree removal/relocation (See notice above) tree is dead

Signature of Property Owner C. [Signature] Date 9-1-11

Approved by Building Inspector: [Signature] Date 9-1-11 Fee: N/E

NOTES: _____

SKETCH:

A hand-drawn sketch within a rectangular border. At the top center is an oval labeled 'house'. Below it is a curved line representing a tree, labeled 'Tree'. To the left of the tree is an 'X' mark.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Mrs. Syn Gustafson Address _____ Phone 214-6919

Contractor DHS Landscape Inc. Address 17 Palm Rd. Phone Same

No. of Trees: REMOVE 2 Species: Sabel

No. of Trees: RELOCATE _____ Species: _____

No. of Trees: REPLACE _____ Species: _____

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY

Reason for tree removal /relocation (See notice above) _____

Signature of Property Owner [Signature] Date 9-12-14

Approved by Building Inspector: [Signature] Date 9-15-14 Fee: N/C

NOTES: Home owner wants to remove palms to allow sun light to be more prevalent & allow more "Growth"

SKETCH:

