

11 Palmetto Drive

ADMINISTRATIVE VARIANCE

PAMELA BUSHA
Mayor

PAUL LUGER
Vice Mayor

JACQUI THURLOW-
LIPPISCH
Commissioner

THOMAS BAUSCH
Commissioner

VINCENT BARILE
Commissioner

TOWN OF SEWALL'S POINT BUILDING DEPARTMENT



PAMELA MAC'KIE
WALKER
Town Manager

JOHN R. ADAMS
Building & Facilities
Director

TINA
CIECHANOWSKI
Interim Chief of Police

ANN-MARIE
SULLIVAN BASLER
Town Clerk

ADMINISTRATIVE VARIANCE NOTICE OF STATUS

January 2, 2014
Anthony & Mary Smith
11 Palmetto Drive
Sewall's Point, FL 34996

REFERENCE: Application for an Administrative Variances for Anthony & Mary Smith, 11 Palmetto Drive, Sewall's Point, FL 34996 for the property located at the same address.

Dear Mr. & Mrs. Smith

Your application for administrative variances, more specifically:

1. Setback of 24.2 feet, measured at the southern side of the pool deck and screen room, in lieu of the required 25 feet.

Has been approved by the Building official.

Sec. 82-143: Upon approval of the administrative variance, the town clerk shall record the Building Official's approval in the Martin County, Florida public records. The applicant shall be responsible for the recording costs incurred by the Town, and shall pay the Town such costs prior to the recordation of any documents.

ANY ADDITIONAL RECORDING COSTS ARE TO BE PAID UPON RECEIPT OF APPROVAL

ADDITIONAL RECORDING COSTS: NONE

With best regards,

John R. Adams, C.B.O.
Building Official



One S. Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (772) 287-2455 • Fax (772) 220-4765 • E-Mail: clerk@sewallspoint.martin.fl.us
Building Department (772) 287-2455 • Fax (772) 220-4765 • E-Mail: jadams@sewallspoint.martin.fl.us

PAMELA BUSH
Mayor

PAUL LUGER
Vice Mayor

JACQUI THURLOW-
LIPPISCH
Commissioner

THOMAS BAUSCH
Commissioner

VINCENT BARILE
Commissioner

TOWN OF SEWALL'S POINT BUILDING DEPARTMENT



PAMELA MAC'KIE
WALKER
Town Manager

JOHN R. ADAMS
Building & Facilities
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CIECHANOWSKI
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ADMINISTRATIVE VARIANCE NOTICE OF STATUS

January 2, 2014
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11 Palmetto Drive
Sewall's Point, FL 34996

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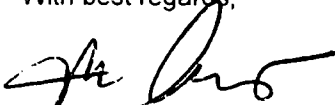
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ADDITIONAL RECORDING COSTS: **NONE**

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John R. Adams, C.B.O.
Building Official



One S. Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (772) 287-2455 • Fax (772) 220-4765 • E-Mail: clerk@sewallspoint.martin.fl.us
Building Department (772) 287-2455 • Fax (772) 220-4765 • E-Mail: jadams@sewallspoint.martin.fl.us

PAMELA M. BUSHA
Mayor

PAUL LUGER
Vice Mayor

VINCENT N. BARILE
Commissioner

THOMAS BAUSCH
Commissioner

JACQUI THURLOW-LIPPISCH
Commissioner

TOWN OF SEWALL'S POINT



PAMELA MAC'KIE WALKER
Town Manager

ANN-MARIE S. BASLER
Town Clerk

TINA CIECHANOWSKI
Interim Chief of Police

JOHN ADAMS
Building Official

JOSE TORRES
Maintenance

January 23, 2014

Anthony and Mary Smith
11 Palmetto Drive
Sewall's Point, FL 34996

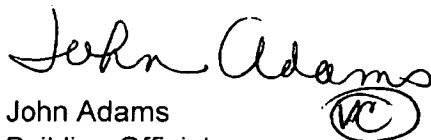
RE: Administrative Variance

Dear Mr. & Mrs. Smith,

Enclosed please find the original and one copy of the recorded Administrative Variance.

Should you have any questions, please feel free to contact us.

Very truly yours,


John Adams

John Adams
Building Official



One South Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (772) 287-2455 • Fax (772) 220-4765 • E-Mail: pwalker@sewallspoint.org
Police Department (772) 781-3378 • Fax (772) 286-7669 • E-Mail: sppd@sewallspoint.org

FINAL ORDER

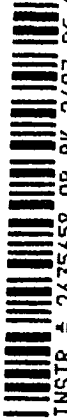
Anthony and Mary Smith are the owners of real property ("Owners") located at 11 Palmetto Drive, Sewall's Point, Florida ("subject property").

FINDINGS OF FACT

1. The required rear building setback for the subject property is twenty five (25') feet. However the Southern side, measured at the screened pool deck encroaches .8 feet into the required 25-foot setback.
2. Michael Alexander, as the agent of the Owner, has applied for administrative variance (the "Application"), pursuant to the Town of Sewall's Point ("Town") Code of Ordinances, Section 82-143.
3. The records of the Town's Building Department indicate that the original building plans for the Pool and Deck were approved by the Town on June 10, 2013, and the building plans for the Screen Room were approved by the Town on July 3, 2013. At that time, the submitted proposed site plans indicated compliance with the required 25 foot setback. A tie-in survey submitted by the builder prior to the installation of the pool deck and screen room also indicated the required 25 ft. setback. It is the opinion of the Town Building Official that the contractors who constructed the pool deck followed a plan based on a faulty survey that resulted in the encroachments cited above. The surveyor of record explains the error was caused by a monument that was later discovered to be out of place. The Town Building Official received and reviewed the Application, and considered to allow:
Southern side measured at the screened pool deck, an encroachment of .8 feet into the required 15-foot side setback.
The Applicant delivered by certified mail return receipt on December 17, 2013 to all record owners of property located adjacent to the property involved in the Variance a copy of the Application, and a notice of their right to object to the variance. The Applicant provided proof of the identity and address of the persons entitled to receive Application notice, and of the delivery of the application

INSTR # 2435458 OR BK 2697 PG 2527 RECD 01/15/2014 03:57:12 PM

CAROLYN TIMMANN MARTIN COUNTY CLERK
DEED DOC \$0.00, MTG DOC \$0.00, INTANGIBLE \$0.00

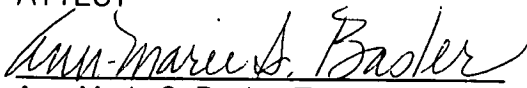


notice to those persons. 15 days have passed, and no objections have been filed by the adjacent property owners.

7. The pool deck and screen room, for which the variance is requested, were constructed under valid Town permits dated June 10, 2013, and July 3, 2013 respectively. The setback violations for the encroachments shown on the survey were good faith errors and were not intentional.
8. The Building Official also considered:
 - a. That the Applicant meets all the requirements for the variances requested as set forth in Town Code Section 82-143(3).
 - b. The encroachment is less than one foot into the required setback in effect at the time the encroachment was created.
 - c. No objections to the Administrative Variance request have been filed by the owners of the four (4) adjacent property owners within the allotted 15 day period.
9. The Town Building Official has jurisdiction over Administrative Variance Applications.
10. Based upon the Application of the variance criteria to the subject property, the Town Building Official finds that the Applicant has satisfied all of the variance criteria for the variances requested.
11. The Variances as set forth herein is hereby **GRANTED** by the Town Building Official of the Town of Sewall's Point, Florida.
12. This Variance is expressly conditioned upon the Applicant reimbursing the Town for all expenses of the Town incurred in connection with the Variance Application, pursuant to Section 82-143(1), Town of Sewall's Point Code of Ordinances. **DONE AND ORDERED** in Sewall's Point this 2ND day of

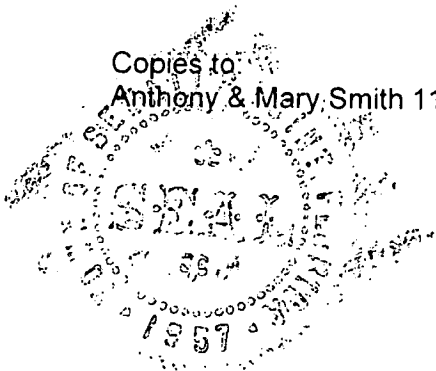
January, 2014.

ATTEST


Ann-Marie S. Basler, Town Clerk


John R. Adams, Building & Facilities Director

Copies to:
Anthony & Mary Smith 11 Palmetto Drive, Sewall's Point, FL 34996





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

ADMINISTRATIVE VARIANCE APPLICATION AND CHECKLIST

OWNER/APPLICANT(S) Anthony D. + Mary Edith Smith DATE 12/17/13

OWNER ADDRESS 11 Palmetto Dr.

PROPERTY ADDRESS (IF DIFFERENT THAN OWNERS ADDRESS) _____

PHONE NUMBER 772-288-1244 FAX/E-MAIL _____

APPLICANT MUST COMPLY WITH THE FOLLOWING REQUIREMENTS AND CONDITIONS TO QUALIFY FOR AN ADMINISTRATIVE VARIANCE AS DEFINED AND SET FORTH IN THE TOWN OF SEWALL'S POINT CODE OF ORDINANCES SECTION 82-141. ADMINISTRATIVE VARIANCES ARE LIMITED TO ENCROACHMENTS OF ONE (1) FOOT OR LESS.

APPLICANT TO INITIAL THE FOLLOWING CHECKLIST ITEMS:

- _____ \$400.00 MINIMUM FILING FEE (ADDITIONAL MONIES MAY BE REQUIRED TO BE PLACED IN ESCROW TO COVER ANY PROFESSIONAL FEES INCURRED BY THE TOWN IN PROCESSING THIS APPLICATION).
- _____ APPLICANT'S CERTIFICATION OF OWNERSHIP OF PROPERTY IN QUESTION AND VERIFIED LIST OF ALL ADJACENT PROPERTY OWNERS.
- _____ COPY OF ORIGINAL BUILDING PERMIT/APPLICATION, ALL ASSOCIATED PERMIT DRAWINGS AND SUBMITTED DOCUMENTS (REQUIRED FOR ALL APPLICANTS).
- _____ CURRENT (90 DAYS OR LESS) AS-BUILT SURVEY OF THE COMPLETE GROUNDS WITH ALL IMPROVEMENTS, INDICATING THE AREA(S) OF ENCROACHMENT. SURVEY MUST INCLUDE A CERTIFICATION TO THE TOWN OF SEWALL'S POINT.
- _____ LETTERS OF NO OBJECTION FROM ALL ADJACENT PROPERTY OWNERS OR PROOF THAT A COPY OF THIS APPLICATION WAS SENT TO ALL ADJACENT PROPERTY OWNERS BY CERTIFIED MAIL INCLUDING A NOTICE INFORMING THEM OF THEIR RIGHT TO FILE AN OBJECTION WITH THE TOWN CLERK WITHIN 15 DAYS OF THE DATE THE NOTICE WAS MAILED, AND THAT 15 DAYS HAS PASSED.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

ADMINISTRATIVE VARIANCE APPLICATION AND CHECKLIST

DESCRIBE IN DETAIL THE ENCROACHMENT(S) LENGTH AND LOCATION. IF MORE THAN ONE, PLEASE LIST EACH SEPARATELY.

The Pool Deck is encroaching by .8' in
the rear of the property

UPON APPROVAL OF THE ADMINISTRATIVE VARIANCE, THE TOWN CLERK SHALL RECORD THE BUILDING OFFICIAL'S APPROVAL IN THE MARTIN COUNTY, FLORIDA PUBLIC RECORDS. THE APPLICANT SHALL BE RESPONSIBLE FOR THE RECORDING COSTS INCURRED BY THE TOWN, AND SHALL PAY THE TOWN SUCH COSTS PRIOR TO THE RECORDATION OF ANY DOCUMENTS.

THE APPLICANT UNDER SECTION 82-101 OF THE CODE MAY TAKE AN ADMINISTRATIVE APPEAL FROM A DECISION OF THE BUILDING OFFICIAL UNDER THIS SECTION. THE ADMINISTRATIVE APPEAL MAY PROCEED CONCURRENTLY WITH AN APPLICATION FOR A VARIANCE BEFORE THE BOARD OF ZONING ADJUSTMENT, AT THE ELECTION OF THE APPLICANT

OWNER/APPLICANT(S) SIGNATURE Mary Edith Smith

SWORN TO AND SUBSCRIBED BEFORE ME THIS 17 DAY OF December

STATE OF Florida COUNTY OF Martin

2013 BY Mary E Smith

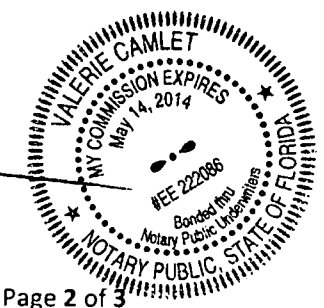
PERSONALLY KNOWN

OR PRODUCED ID _____

TYPE OF ID _____

Valerie Camlet

NOTARY





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

ADMINISTRATIVE VARIANCE LETTER OF NO OBJECTION

Building Official
 The Town of Sewall's Point
 One South Sewall's Point Road
 Sewall's Point, FL 34996

REFERENCE: Application for an Administrative Variance Pursuant to Section 82-141 Town of Sewall's Point Code of Ordinances.

Filed by: (Property Owner's name) _____

Located at: (Property address) _____

Dear Building Official:

I have received the above referenced Administrative Variance application filed with the Town of Sewall's Point. I am an adjacent property owner to the property that is the subject of the Administrative Variance. I have no objection to the Town Building Official granting the Administrative Variance.

Sincerely yours,

MAUREEN DEGHAN ✓
 Printed Name of Adjacent Property Owner

[Signature] ✓
 Signature of Adjacent Property Owner

14 EMARITA WAY
 Address of Adjacent Property Owner

SWORN TO AND SUBSCRIBED BEFORE ME THIS _____ DAY OF _____

STATE OF _____ COUNTY OF _____

20__ BY _____

PERSONALLY KNOWN _____

OR PRODUCED ID _____

TYPE OF ID _____

 NOTARY

witness: Daniel K. Weigher



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

ADMINISTRATIVE VARIANCE APPLICATION AND CHECKLIST

DESCRIBE IN DETAIL THE ENCROACHMENT(S) LENGTH AND LOCATION. IF MORE THAN ONE, PLEASE LIST EACH SEPARATELY.

The Pool deck is encroaching by 10"
in the rear of the property.

UPON APPROVAL OF THE ADMINISTRATIVE VARIANCE, THE TOWN CLERK SHALL RECORD THE BUILDING OFFICIAL'S APPROVAL IN THE MARTIN COUNTY, FLORIDA PUBLIC RECORDS. THE APPLICANT SHALL BE RESPONSIBLE FOR THE RECORDING COSTS INCURRED BY THE TOWN, AND SHALL PAY THE TOWN SUCH COSTS PRIOR TO THE RECORDATION OF ANY DOCUMENTS.

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OWNER/APPLICANT(S) SIGNATURE 

SWORN TO AND SUBSCRIBED BEFORE ME THIS 17 DAY OF December 2013

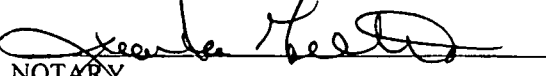
STATE OF Florida COUNTY OF Martin

2013 BY Michael C. Alexander

PERSONALLY KNOWN _____

OR PRODUCED ID _____

TYPE OF ID FDL A 425-543-80-143-0


 NOTARY

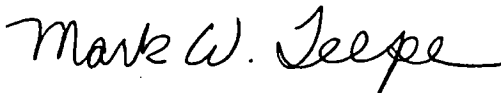


CORNERSTONE SURVEYING
13822 WELLINGTON TRACE E-4, #129
WELLINGTON, FLORIDA 33414

RE: ALEXANDER CUSTOM POOLS
SMITH RESIDENCE
11 PALMETTO DRIVE
SEWALL'S POINT, FLORIDA

AN UNINTENDED ERROR OCCURED IN THE VERIFICATION OF A REAR SETBACK ON FORMS FOR THE POOL DECK. THE INTENT OF THE BUILDER WAS TO MEET A 25.0 FOOT REAR TIE. THE SURVEYOR SET UP A TRANSIT ON THE FORM AND SIGHTED DUE WEST DOWN THE FORM. THE RIGHT REAR PROPERTY CORNER WAS COVERED UP BY A SHED, SO THE REAR TIE WAS VERIFIED BY A MONUMENT LOCATED FURTHER WEST. THIS MONUMENT IS NOT EXACTLY LOCATED ON THE LINE HELD BY THE REAR BARS. ALSO THE SURVEYORS RODMAN PULLED A MEASURING TAPE HOOKED ONTO A RANGE POLE DRIVEN IN BEHIND THE MONUMENT. THIS SIGHTING READ 25.0 FEET BUT THE DIFFERENCE OF THE SET ROD AND THE SLIGHTLY OUT MONUMENT WAS INADVERTENTLY OVER LOOKED, CAUSING THIS UNINTENDED ERROR.

THANK YOU,

A handwritten signature in black ink that reads "Mark W. Teepe". The signature is written in a cursive, flowing style.

MARK TEEPE, P.S.M.

Dear adjoining neighbor,

This letter is to inform you that we are requesting a variance at 11 Palmetto way, your adjoining neighbor. There is a 25' setback in the rear of the property and the pool deck is 24.2" from the property line. Attached is the explanation from the surveyor to how this happened. It is our duty to notify you of this and to let you know your right to file an objection with the town clerk within 15 days of the date the notice was mailed. We appreciate your understanding. If you have any questions you can call the Sewalls Pt. town hall or Mike Alexander with Alexander Custom Pools at 772 475 9740.

Thank you,

A handwritten signature in black ink, appearing to read 'Mike Alexander', written in a cursive style.

Mike Alexander

Alexander Custom Pools, LLC.

772 475 9740



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

ADMINISTRATIVE VARIANCE APPLICATION AND CHECKLIST

OWNER/APPLICANT(S) Michael Alexander DATE 12 / 13

OWNER ADDRESS 11 Palmetto Rd.

PROPERTY ADDRESS (IF DIFFERENT THAN OWNERS ADDRESS) _____
1290 NW Lakeside Tr Shrub, FL 34994

PHONE NUMBER 772-475-9740 FAX/E-MAIL 772 232-6068

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- ___ LETTERS OF NO OBJECTION FROM ALL ADJACENT PROPERTY OWNERS OR PROOF THAT A COPY OF THIS APPLICATION WAS SENT TO ALL ADJACENT PROPERTY OWNERS BY CERTIFIED MAIL INCLUDING A NOTICE INFORMING THEM OF THEIR RIGHT TO FILE AN OBJECTION WITH THE TOWN CLERK WITHIN 15 DAYS OF THE DATE THE NOTICE WAS MAILED, AND THAT 15 DAYS HAS PASSED.

LEGAL DESCRIPTION:

AS FURNISHED BY CLIENT
 LOT 8 PALMETTO PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 88 PUBLIC RECORD OF MARTIN COUNTY, FLORIDA.
 ADDRESS: 11 PALMETTO DRIVE
 GENUAL'S POINT, FLORIDA

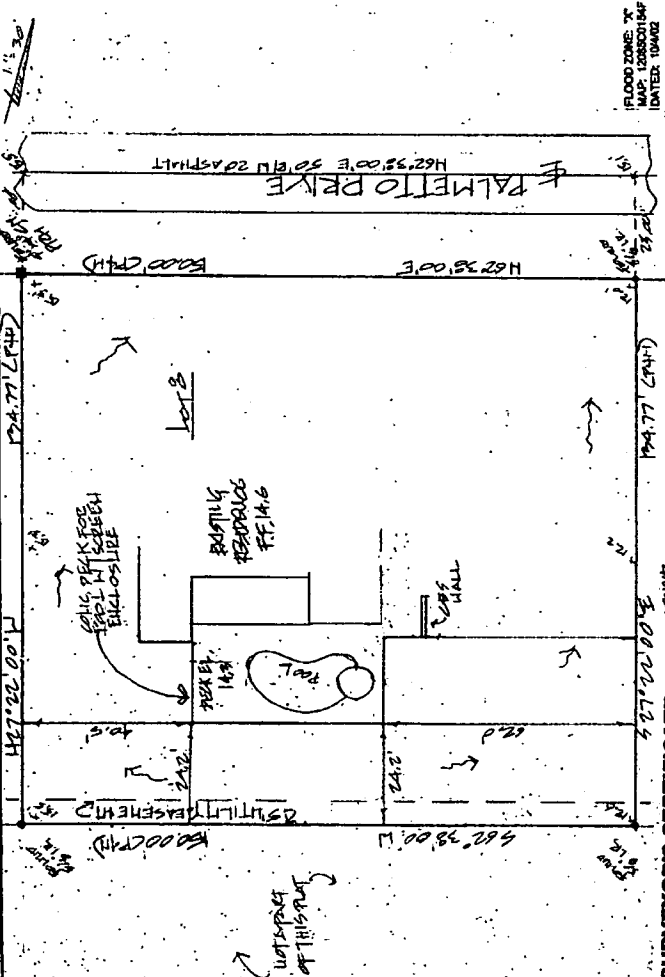
SURVEY NOTES:

1. NOT VALID UNLESS SEALED WITH AN ORDERED SEAL.
2. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OR DOWNSHOP.
3. THE SURVEY HEREON WAS PROVIDED BY THE CLIENT.
4. BEARING SHOWN HEREON ARE BASED ON THE NORTH SOUTHERN MERCATOR PROJECTION OBTAINING TITLE INSURANCE AND/OR FINANCING THROUGH THE FLORIDA TITLE INSURANCE CORPORATION PURSUANT TO THE FLORIDA TITLE INSURANCE ACT.
5. BEARING SHOWN HEREON ARE BASED UPON MEANS DATA.
6. DIMENSIONS MEASURED OVER SLOPE.
7. DIMENSIONS MEASURED OVER SLOPE OR MEASURED BY OTHER THAN THE SURVEY PARTY OR PARTY'S AS INDICATED WITHOUT WRITTEN CONSENT ARE NOT CONSIDERED BY PROFESSIONAL LIABILITY INSURANCE.
8. THIS SURVEY IS NOT TO BE USED AS EVIDENCE OF A COMMITMENT FOR TITLE INSURANCE.
9. UNDEVELOPED UTILITY INSTALLATIONS, UNRECORDED EASEMENTS, ENCROACHMENTS, OR UNRECORDED STRUCTURAL WARE NOT LOCATED BY THIS SURVEY UNLESS SPECIFICALLY NOTED.
10. PROPERTY LINES SHOWN HEREON ARE BASED ON THE IDENTIFICATION OF SAID IDENTIFICATION WAS MADE.
11. THIS SURVEY IS PREPARED FOR THE EXCLUSIVE USE AND BENEFIT OF ONLY THE PARTIES CERTIFIED TO HEREON AND IS NOT TO BE USED FOR ANY OTHER PURPOSE OR REASON UNLESS SO INDICATED BY AN ORDERED SEAL.

CERTIFIED TO:

TOOL PEAK FUEL TIE-IN	
REVISED IN THE FIELD BY	FILE NO.
SCALE	TRIMMED BY
11/30	214
PLotted	1 OF 1
DATE	
12/2/15	

CONCRETE STUMPS SURVEYING
 LB #7841
 1803 VOLLINGTON TRAIL E-4 REP
 VOLLINGTON, FLORIDA 32914
 0774204-900 (voice & fax)



SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS SURVEY MAP IS TRUE AND CORRECT IN ACCORDANCE WITH THE FLORIDA SURVEYING ACT AND THE RULES AND REGULATIONS AS SURVEYED IN THE FIELD PURSUANT TO CERTIFY THAT THIS SURVEY COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS SET FORTH IN CHAPTER 11417 BY THE FLORIDA BOARD OF SURVEYING AND MAPPING AND THAT THERE ARE NO ARCHAEOLOGICAL ENCROACHMENTS OTHER THAN SHOWN.

DATE: 12/10/15
 PROFESSIONAL SURVEYOR AND MAPPER
 MARK W. TEEPE, P.E.M.

FIELD WORK COMPLETED: 12/2/15

ALTIMETER CHECKED
 PAPER AND ELEVATION
 FROM LAST CHECKED
 DATE: 12/2/15
 TIME: 10:00 AM
 LOCATION: 1803 VOLLINGTON TRAIL E-4 REP
 VOLLINGTON, FLORIDA 32914
 0774204-900 (voice & fax)

FLOOD ZONE: X
 MAP: 12880214P
 DATE: 10/4/02



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10552	DATE ISSUED:	AUGUST 6, 2013
SCOPE OF WORK:	POOL & DECK		
CONTRACTOR:	ALEXANDER CUSTOM POOLS		
PARCEL CONTROL NUMBER:	013841010-000-000803	SUBDIVISION	PALMETTO PK-LOT 8
CONSTRUCTION ADDRESS:	11 PALMETTO DR		
OWNER NAME:	SMITH		
QUALIFIER:	MICHAEL ALEXANDER	CONTACT PHONE NUMBER:	475-9740

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: 10552

Date: _____
 OWNER/LESSEE NAME: Anthony & Mary Smith Phone (Day) 285 4205 (Fax) _____
 Job Site Address: 11 Palmetto Dr City: Sewells Pt State: FL Zip: _____
 Legal Description: Lot 8 Palmetto Park Parcel Control Number: 01384101000000803
 Fee Simple Holder Name: N/A Address: _____
 City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):** Pool & Deck

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner Builder questionnaire must accompany application)
 YES _____ NO
Has a Zoning Variance ever been granted on this property?
 YES _____ (YEAR) _____ NO _____
 (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
 Estimated Value of Improvements: \$ 40,895.00
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
 Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
 Estimated Fair Market Value prior to improvement: \$ _____
 (Fair Market Value of the Primary Structure only, Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Alexander Custom Pools Phone: 772 475 9740 Fax: 772 232 6068
 Qualifiers name: Michael Alexander Street: 1290 NW Lakeside Tr City: Stuart State: FL Zip: 34994
 State License Number: CPC 1457939 OR: Municipality: _____ License Number: CPC 1457939
 LOCAL CONTACT: Mike Alexander Phone Number: 772 475 9740

DESIGN PROFESSIONAL: _____ License# _____
 Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/Porches: _____ Enclosed Storage: _____
 Carport: _____ Total under Roof: _____ Elevated Deck: _____ Enclosed area below BFE*: _____
 * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

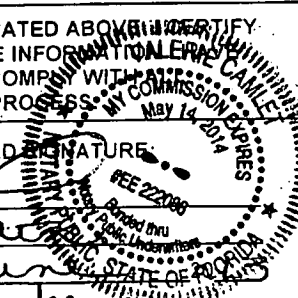
- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
- IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE AND TO CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER / AGENT / LESSEE - NOTARIZED SIGNATURE:
Mary Elizabeth Smith
 State of Florida, County of: MARTIN
 On This the 5 day of JUN, 2013
 by KIRK A. MONTER who is personally
 known to me or produced _____
 As identification: _____
 My Commission Expires: 9/20/2013

CONTRACTOR / LICENSEE NOTARIZED SIGNATURE:
Michael Alexander
 State of Florida, County of: Martin
 On This the 5 day of June
 by Michael Alexander who is personally
 known to me or produced PDL#A425-543-80-1430
 As identification: Valerie Camlet
 Notary Public
 My Commission Expires: _____



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

LEGAL DESCRIPTION:

(AS FURNISHED BY CLIENT)

LOT 8; PALMETTO PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 66, PUBLIC RECORD OF MARTIN COUNTY, FLORIDA.

ADDRESS: 11 PALMETTO DRIVE
SEWALL'S POINT, FLORIDA

SURVEY NOTES:

1. NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.
2. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OR OWNERSHIP.
3. LAND DESCRIPTION HEREON WAS PROVIDED BY THE CLIENT.
4. BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF ROAD.
5. THE PURPOSE OF THIS SURVEY IS FOR USE IN OBTAINING TITLE INSURANCE AND/OR FINANCING AND SHOULD NOT BE USED FOR DESIGN OR CONSTRUCTION PURPOSES UNLESS OTHERWISE STATED ON THE SURVEY.
6. ELEVATIONS SHOWN HEREON ARE BASED UPON N.G.V.D. 1929.
7. DIMENSIONS PREVAIL OVER SCALE.
8. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
9. SURVEY NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE.
10. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COMMITMENT FOR TITLE INSURANCE.
11. UNDERGROUND UTILITY INSTALLATIONS, UNDERGROUND IMPROVEMENTS, FOUNDATIONS AND/OR ANY OTHER UNDERGROUND STRUCTURE WERE NOT LOCATED BY THIS SURVEY UNLESS SPECIFICALLY NOTED.
12. UNLESS NOTED OR DEPICTED OTHERWISE, ALL PROPERTY CORNERS SHOWN WERE FOUND AND HAVE NO IDENTIFICATION OR SAID IDENTIFICATION WAS ILLEGIBLE.
13. THIS SURVEY IS PREPARED FOR THE EXCLUSIVE USE AND BENEFIT OF ONLY THE PARTIES CERTIFIED TO HEREIN, RIGHTS OR LIABILITY TO ANY THIRD PARTIES CANNOT BE TRANSFERRED OR ASSIGNED.

CERTIFIED TO:

FLOOD ZONE: "X"
MAP: 12085C0154F
DATED: 10/4/02

REV FINAL TIES 12/12/13
FIELD WORK COMPLETED 8/27/13

POOL, DECK & ENCLOSURE FINAL

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS SURVEY MAP IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED IN THE FIELD. I FURTHER CERTIFY THAT THIS SURVEY COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS SET FORTH IN CHAPTER 5J-17 BY THE FLORIDA BOARD OF LAND SURVEYORS PURSUANT TO CHAPTER 2009-86 FLORIDA STATUTES, AND THAT THERE ARE NO ABOVE GROUND ENCROACHMENTS OTHER THAN SHOWN.

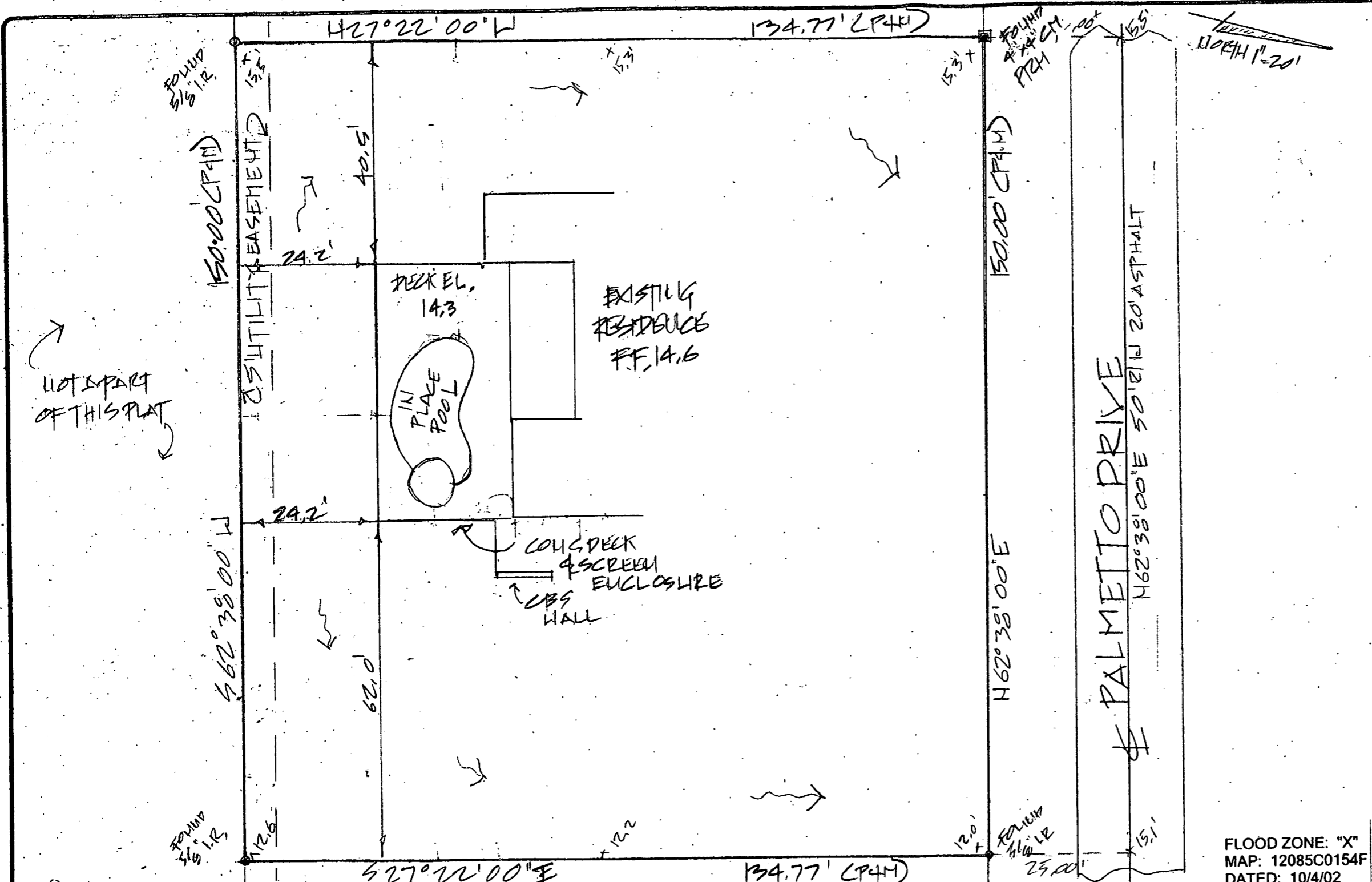
BY: *Mark W. Teepe* DATE: 12/17/13

PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION #4811
MARK W. TEEPE, P.S.M.

DL	DELTA	FND	-FOUND	ELEV	-ELEVATION
OH	-OVERHEAD WIRE	DIA	-DIAMETER	X 0.00	-TYPICAL ELEVATION
WF	-EXISTING WIRE FENCE	CN	-CONCRETE MONUMENT	FFE	-FINISH FLOOR ELEVATION
CL	-EXISTING CHAINLINK FENCE	IR	-IRON ROD	BM	-BENCHMARK
WF	-EXISTING WOOD FENCE	IP	-IRON PIPE	ORB	-OFFICIAL RECORDS BOOK
N&V	-EXISTING PVC FENCE	N&V	-NAIL & DISK	PB	-PLAT BOOK
C	-CENTER LINE	C	-CAP	DB	-DEED BOOK
RSW	-RIGHT-OF-WAY	CM	-CONCRETE MONUMENT	FB	-FIELD BOOK
ESMNT	-EASEMENT	M	-NAIL & DISK	PG	-PAGE
B/W	-DRIVEWAY	IR	-IRON ROD OR IRON PIPE	FND	-FOUND
S/W	-SIDEWALK OR WALKWAY	PC	-POINT OF COMMENCEMENT	PVMT	-PAVEMENT
ASPH	-ASPHALT	PB	-POINT OF BEGINNING	PLTR	-PLANTER
CNC	-CONCRETE	PRM	-PERMANENT REFERENCE MONUMENT	TYP	-TYPICAL
WF	-WOOD FRAME	PCP	-PERMANENT CONTROL POINT	WM	-WATER METER
PT	-POINT OF TANGENCY	OD	-MEASURED DISTANCE & BEARING	MNG	-MANGROVE
PC	-POINT OF CURVATURE	OB	-PLATTED DISTANCE & BEARING	FH	-FIRE HYDRANT
PC	-POINT OF REVERSE CURVATURE	OC	-CALCULATED DISTANCE & BEARING	LP	-LIGHT POLE
CH	-CHORD	OD	-DEEDED DISTANCE & BEARING	UP	-UTILITY POLE
CB	-CHORD BEARING	PSN	-PROFESSIONAL SURVEYOR AND MAPPER	RLS	-REGISTERED LAND SURVEYOR
DA	-DELTA ANGLE			LB	-LICENSED BUSINESS

CORNERSTONE SURVEYING
LB #7941
13833 WELLINGTON TRACE E-4 #129
WELLINGTON, FLORIDA 33414
(772)236-9305 (voice & fax)

PREPARED ON THE ORDER OF: <i>ALEXANDER POOLS</i>		
SCALE: 1"=20'	DRAWN BY: ZM	FILE NO.:
		8014
FB PKG	PG: 1 OF 1	DATE: 8/27/13





Martin County, Florida
Laurel Kelly, C.F.A

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Summary



Parcel ID
 1 of 1

Tabs

Summary

- Print View
- Land
- Improvements
- Assessments & Exemptions
- Sales
- Taxes →
- NEW: Navigator
- Parcel Map →
- Notice of Prop.
- Taxes →

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
01-38-41-005-000-00080-0	17623	18 EMARITA WY, SEWALL'S POINT	\$196,650	11/23/20

Owner Information

Owner(Current)	JONES BEVERLY BEVIS
Owner/Mail Address	18 EMARITA WAY STUART FL 34996
Sale Date	7/21/1995
Document Book/Page	1693 2751
Document No.	
Sale Price	0

Searches

Parcel ID

- Owner
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Navigator
- Maps →

		Location/Description	
Account #	17623	Map Page No.	SP-04
Tax District	2200	Legal Description	EMARITA LOT 8
Parcel Address	18 EMARITA WY, SEWALL'S POINT		
Acres	.3510		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120200 Heritage P, Palmtto Pk,Rdglnd,

Functions

Property Search

- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Assessment Information

Market Land Value	\$143,850
Market Improvement Value	\$52,800
Market Total Value	\$196,650

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Martin County, Florida
Laurel Kelly, C.F.A

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 governmax.com_{L13}

Summary



Parcel ID
 1 of 1

Tabs

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Parcel ID	Account #	Unit Address	Market Total Value	Websi Updat
01-38-41-010-000-00100-9	17763	9 PALMETTO DR, SEWALL'S POINT	\$388,140	11/23/

Owner Information

Owner(Current)	LAW DEBRA G
Owner/Mail Address	9 PALMETTO DR STUART FL 34996
Sale Date	9/2/2008
Document Book/Page	2348 1370
Document No.	2103709
Sale Price	625000

Searches

Parcel ID

- Owner
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Navigator
- Maps →

		Location/Description	Map Page No.
Account #	17763		
Tax District	2200		
Parcel Address	9 PALMETTO DR, SEWALL'S POINT		Legal Description PALME PARK I
Acres	.4640		10

Parcel Type

Use Code	0100 Single Family
Neighborhood	120200 Heritage P, Palmtto Pk,Rdglnd,

Functions

Property Search

- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Assessment Information

Market Land Value	\$150,000
Market Improvement Value	\$238,140
Market Total Value	\$388,140

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Martin County, Florida
Laurel Kelly, C.F.A

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Summary



Tabs

Summary

Print View

Land

Improvements

Assessments &

Exemptions

Sales

Taxes →

NEW: Navigator

Parcel Map →

Notice of Prop.

Taxes →

Parcel ID	Account #	Unit Address	Market Total Value	W/Up
01-38-41-010-000-00060-7	17759	15 PALMETTO DR, SEWALL'S POINT	\$239,410	11

Owner Information	
Owner(Current)	SKINNER ROBERT & SHERRY
Owner/Mail Address	15 SE PALMETTO DR STUART FL 34996
Sale Date	12/10/2001
Document Book/Page	1604 0462
Document No.	
Sale Price	0

Searches

Parcel ID

Owner

Address

Account #

Use Code

Legal Description

Neighborhood

Sales

Navigator

Maps →

Location/Description			
Account #	17759	Map Page No.	SP-04
Tax District	2200	Legal Description	PALM PARK LESS COR, N/LN ELY F RIVER ESTA IN OR 1604/1 ALG F 35.27, R/W C 46.04 SE AL CURV SW AI 30 M/I COR, W/LN
Parcel Address	15 PALMETTO DR, SEWALL'S POINT		
Acres	.4180		

Functions

Property Search

Contact Us

On-Line Help

County Home

Site Home

County Login

Parcel Type	
Use Code	0100 Single Family
Neighborhood	120200 Heritage P, Palmtto Pk,Rdglnd,

Assessment Information	
Market Land Value	\$165,000



Martin County, Florida
Laurel Kelly, C.F.A

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Summary



Parcel ID
 1 of 1

Tabs

Summary

- Print View
- Land
- Improvements
- Assessments & Exemptions
- Sales
- Taxes →
- NEW: Navigator
- Parcel Map →
- Notice of Prop. Taxes →

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
01-38-41-005-000-00070-2	17622	14 EMARITA WY, SEWALL'S POINT	\$317,800	11/23/20

Owner Information

Owner(Current)	DEIGHAN MAUREEN O'CONNOR (L/E) DEIGHAN MAUREEN O'CONNOR (TR)
Owner/Mail Address	14 EMARITA WAY STUART FL 34996
Sale Date	5/5/2006
Document Book/Page	2140 1943
Document No.	1931184
Sale Price	0

Searches

Parcel ID

- Owner
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Navigator
- Maps →

Account #		Location/Description	
17622	Map Page No.	SP-04	
2200	Legal Description	EMARITA	
14 EMARITA WY, SEWALL'S POINT		LOT 7	
.3510			

Parcel Type

Use Code	0100 Single Family
Neighborhood	120200 Heritage P, Palmtto Pk,Rdglnd,

Functions

Property Search

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- On-Line Help
- County Home
- Site Home
- County Login

Assessment Information

Market Land Value	\$143,850
Market Improvement Value	\$173,950
Market Total Value	\$317,800

[Print](#) [First](#) [Previous](#) [Next](#) [Last](#)

Legal Disclaimer / Privacy Statement



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10415	DATE ISSUED:	APRIL 10, 2013
SCOPE OF WORK:	NEW SFR		
CONTRACTOR:	ARK HOMES		
PARCEL CONTROL NUMBER:	013841010-000-000803	SUBDIVISION	PALMETTO PARK - LOT 8
CONSTRUCTION ADDRESS:	11 PALMETTO DR		
OWNER NAME:	SMITH		
QUALIFIER:	RONALD BRITTIAN	CONTACT PHONE NUMBER:	334-8379

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING	_____
UNDERGROUND MECHANICAL	_____
STEM-WALL FOOTING	_____
SLAB	_____
ROOF SHEATHING	_____
TIE DOWN /TRUSS ENG	_____
WINDOW/DOOR BUCKS	_____
ROOF DRY-IN/METAL	_____
PLUMBING ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____
FRAMING	_____
FINAL PLUMBING	_____
FINAL MECHANICAL	_____
FINAL ROOF	_____
UNDERGROUND GAS	_____
UNDERGROUND ELECTRICAL	_____
FOOTING	_____
TIE BEAM/COLUMNS	_____
WALL SHEATHING	_____
INSULATION	_____
LATH	_____
ROOF TILE IN-PROGRESS	_____
ELECTRICAL ROUGH-IN	_____
GAS ROUGH-IN	_____
METER FINAL	_____
FINAL ELECTRICAL	_____
FINAL GAS	_____
BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	
ADDRESS	11 Palmetto Rd.
DATE:	SCOPE OF WORK

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K) (No plan submittal fee when value is less than \$100,000)		\$	
Total square feet air-conditioned space: (@ \$121.75 per sq. ft.)	s.f.	3268 = 397,879	
Total square feet non-conditioned space, or interior remodel: (@ \$59.81 per sq. ft.)	s.f.	1394 = 83,375.14	
Total square feet remodel with new trusses: @ \$90.78 per sq. ft.	\$		
Total Construction Value:	\$	481,254.14	
Building fee: (2% of construction value SFR or >\$200K)	\$	9625.08	
Building fee: (1% of construction value < \$200K + \$75 per insp.)			
Total number of inspections (Value < \$200K) @\$75 ea.	\$	144	
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)	\$	144.37	
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)	\$	144.37	
Road impact assessment: (.04% of construction value - \$5.00 min.)		192.50	
Martin County Impact Fee:	\$	8035.86	10106.32
m.c			
TOTAL BUILDING PERMIT FEE:	\$	18142.18	

ACCESSORY PERMIT	Declared Value:	\$	
Total number of inspections @ \$75.00 each			
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)	\$		
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)	\$		
Road impact assessment: (.04% of construction value - \$5.00 min.)	\$		
TOTAL ACCESSORY PERMIT FEE:	\$		

⊛ School Board \$ 5756.13

Town of Sewall's Point BUILDING PERMIT APPLICATION

Permit Number: 10415

Date: 3/7/2013
 OWNER/LESSEE NAME: ANTHONY & MARY EDITH SMITH Phone (Day) (772) 285-7330 (Fax) (772) 225-6411
 Job Site Address: 11 PALMETTO DR City: SEWALLS POINT State: FL Zip: 34994
 Legal Description LOT 8 PALMETTO PARK Parcel Control Number: 013841010000000803
 Fee Simple Holder Name: _____ Address: _____
 City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):** SFR

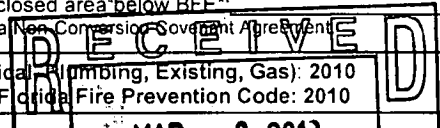
<p>WILL OWNER BE THE CONTRACTOR? (If yes, Owner Builder questionnaire must accompany application) YES _____ NO <u>X</u></p> <p>Has a Zoning Variance ever been granted on this property? YES _____ (YEAR) _____ NO <u>X</u> (Must include a copy of all variance approvals with application)</p>	<p>COST AND VALUES: (Required on ALL permit applications) Estimated Value of Improvements: \$ <u>481,254.14</u> (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out) Is subject property located in flood hazard area? VE10 <u>AE9</u> <u>AE8</u> <u>X</u> <u>X</u> FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY: Estimated Fair Market Value prior to improvement: \$ _____ (Fair Market Value of the Primary Structure only, Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION</p>
--	---

Construction Company: ARK HOMES CONSTRUCTION INC Phone: 772-334-8379 Fax: 772-334-6057
 Qualifiers name: RONALD A. BRITIAN Street: 2323 NE MARLBERRY LN City: JENSEN BEACH State: FL Zip: 34957
 State License Number: CGC 057270 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: KIRK A. HUNTER Phone Number: (772) 724-6471
 DESIGN PROFESSIONAL: R.C. DESIGNS LLC / JOSEPH P. McCARTY Fla. License# DPR REGISTRATION # 9639
 Street: 415 SW AKRON AVE. City: STUART State: FL Zip: 34994 Phone Number: 772-219-8334

AREAS SQUARE FOOTAGE: Living: 3,268 Garage: 1,002 Covered Patios/ Porches: 392 Enclosed Storage: _____
 Carport: _____ Total under Roof 4662 Elevated Deck: _____ Enclosed area below BFF: _____
 * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Competition Covenant Agreement

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010



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- IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS OR HOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
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AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE:
Anthony Smith
 State of Florida, County of: MARTIN
 On This the 7 day of MARCH, 2013
 by ANTHONY SMITH personally
 known to me or produced _____
 As identification: KIRK A. HUNTER
 My Commission Expires: 9/20/2016

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:
Ronald A. Britian, Pres.
 State of Florida, County of: MARTIN
 On This the 7 day of MARCH, 2013
 by RONALD A. BRITIAN who is personally
 known to me or produced _____
 As identification: KIRK A. HUNTER
 My Commission Expires: 9/20/2016

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.1) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**Martin County, Florida
Laurel Kelly, C.F.A**

generated on 3/8/2013 8:34:23 AM EST

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
01-38-41-010-000-00080-3	17761	UNASSIGNED, SEWALL'S POINT	\$142,500	3/2/2013

Owner Information

Owner(Current)	SMITH ANTHONY D & MARY EDITH WHEATO SMITH MARY EDITH WHEATON & ANTHONY
Owner/Mail Address	2400 SE FEDERAL HWY 4TH FL STUART FL 34994
Sale Date	12/3/2012
Document Book/Page	2615 2244
Document No.	2364482
Sale Price	200000

Location/Description

Account #	17761	Map Page No.	SP-04
Tax District	2200	Legal Description	PALMETTO PARK LOT 8 OR 340/868
Parcel Address	UNASSIGNED, SEWALL'S POINT		
Acres	.4640		

Parcel Type

Use Code	0000 Vacant Residential
Neighborhood	120200 Heritage P, Palmtto Pk,Rdglnd,

Assessment Information

Market Land Value	\$142,500
Market Improvement Value	
Market Total Value	\$142,500



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

IMPORTANT NOTICE

$$\begin{array}{l} \text{LIVING AREA} \quad 3,268 \times 121.75 = 397,879 \\ \text{GARAGE PORCH ETC} \quad 1,394 \times 59.81 = 83,375.14 \\ \hline \$481,254.14 \\ \hline \text{HOME VALUE.} \end{array}$$

MINIMUM CONSTRUCTION VALUE DETERMINATION METHOD

FEBURARY 2011

THE BUILDING DEPARTMENT COLLECTS PERMIT FEES BASED ON DECLARED CONSTRUCTION VALUE. IN ORDER TO STANDARDIZE THESE VALUES, THE METHOD USED TO DETERMINE THE MINIMUM VALUES WILL BE AN AVERAGE CALCULATION OF THE INTERNATIONAL CODE COUNCIL GUIDELINES EFFECTIVE FEBRUARY 2011. ANY UPDATES TO THIS METHOD WILL BE BASED ON FUTURE VERSIONS OF THE CODE AND THESE GUIDELINES.

SINCE THESE CALCULATIONS ARE BASED ON THE NINE CONSTRUCTION TYPES FOR RESIDENTIAL AND COMMERCIAL BUILDINGS AND THEIR OCCUPANCIES, IT IS NECESSARY FOR THE BUILDING DEPARTMENT TO STREAMLINE THIS PROCESS FOR RESIDENTIAL APPLICATIONS. COMMERCIAL APPLICATIONS HOWEVER, WILL NOT BE AVERAGED AND BASED ON ACTUAL CONSTRUCTION TYPES AND OCCUPANCY.

USING THE AVERAGE OF THE SIX CONSTRUCTION TYPE VALUES, ALL RESIDENTIAL PERMIT FEES ARE TO BE BASED ON THE FOLLOWING MINIMUM VALUES:

1. SINGLE FAMILY NEW CONSTRUCTION VALUE (AIR CONDITIONED SPACE) \$121.75/SQ. FT.
2. SINGLE FAMILY GARAGE, PORCHS, ETC. (UNCONDITIONED SPACE) \$59.81/SQ. FT.
3. COMPLETE REMODEL/GUT OF CONDITIONED SPACE \$59.81/SQ. FT.
4. COMPLETE REMODEL/GUT INCLUDING NEW TRUSSES \$90.78/ SQ. FT.
5. SINGLE FAMILY HOMES IN THE FLOOD HAZARD AREA ARE ASSESSED WITH A MULTIPLIER TO REFLECT INCREASED CONSTRUCTION COSTS (VE-ZONE x 1.15, AE-ZONE x 1.07)

ANY APPLICATIONS NOT COMPLYING WITH THE ABOVE FORMULA MUST BE ACCOMPANIED BY VERIFIABLE DATA TO JUSTIFY LOWER CONSTRUCTION VALUES. ALL OTHER APPLICATIONS BELOW THE MINIMUM WILL BE ADJUSTED BY THE BUILDING DEPARTMENT PRIOR TO PERMIT ISSUANCE.

THE INFORMATION USED FOR THE BASIS OF VALUE DETERMINATION IS AVAILABLE AT <http://www.iccsafe.org/cs/techservices>. A COPY OF THIS DOCUMENT IS ALSO AVAILABLE AT TOWN HALL.

Receipt for School Impact Fee

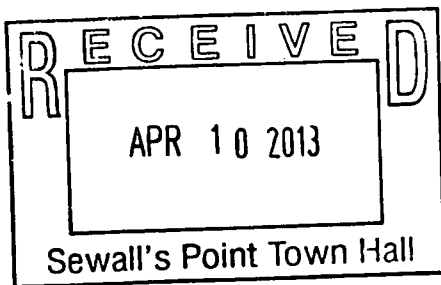
Date: April 10, 2013

From: Mary and Anthony Smith

For: School Impact Fees Lot 8, Palmetto Park
11 Palmetto Drive, Sewall's Point

Amount Paid: \$5,756.12

W. Falls



THOMAS P. BAUSCH
Mayor

PAMELA M. BUSHA
Vice Mayor

JACQUI THURLOW-
LIPPISCH
Commissioner

PAUL LUGER
Commissioner

VINCENT BARILE
Commissioner

TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

ROBERT KELLOGG
Town Manager

JOHN R. ADAMS
Building Official

JOHN DONADIO
Chief of Police

ANN-MARIE
SULLIVAN BASLER
Town Clerk

JOSE TORRES, JR.
Maintenance



CONDITIONS FOR PERMIT APPROVAL

DATE OF PERMIT APPLICATION: 03/08/2013

DATE: 03/15/2013

APPLICATION DESCRIPTION: SINGLE FAMILY RESIDENCE

FAX 334-6057

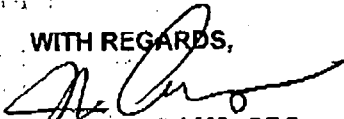
APPLICATION ADDRESS: 11 PALMETTO DRIVE, SEWALL'S POINT, FL

THE FOLLOWING ITEMS ARE NOTED FOR CORRECTION AND ARE CONDITIONS FOR APPROVAL FOR THE ABOVE REFERENCED PERMIT APPLICATION:

1. PROVIDE STORMWATER EROSION PLAN
2. TREE SURVEY MUST INCLUDE A LIST OF ALL TREES TO BE REMOVED, RELOCATED OR MITIGATED. QUALITY NATIVE SPECIES TREES REQUIRE MITIGATION
3. POOL, SCREEN ENCLOSURE AND GENERATOR REQUIRE SEPARATE PERMITS
4. COMBUSTION AIR REQUIRED FOR ALL FUEL BURNING APPLIANCES/DEVICES IN A/C SPACE
5. MAKE-UP AIR REQUIRED FOR DOWNDRAFT COOK TOP AND CLOTHES DRYER
6. IGNITION BARRIER REQUIRED FOR SPRAY FOAM INSULATION
7. ARC FAULT CI REQUIRED ON ALL NON-GFI 20A/120V BRANCH CIRCUITS OR WHERE SPECIFICALLY EXEMPTED BY CODE
8. SPECIFY WIRE SIZE OF GROUNDING ELECTRODE CONDUCTOR
9. RETURN AIR GRILL NOT PERMITTED IN KITCHEN AREA PER CODE
10. PROVIDE MANUAL J LOAD CALCULATIONS

IF YOU NEED FURTHER INFORMATION OR CLARIFICATION FOR THESE CONDITIONS, DO NOT HESITATE TO CONTACT ME.

WITH REGARDS,


JOHN R. ADAMS, CBO
BUILDING OFFICIAL



One S. Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (772) 287-2455 • Fax (772) 220-4765 • E-Mail: clerk@sewallspoint.martin.fl.us
Building Department (772) 287-2455 • Fax (772) 220-4765 • E-Mail: jadams@sewallspoint.martin.fl.us



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

**REVISIONS – CORRECTIONS REQUEST FORM
 MUST BE SUBMITTED FOR ALL CORRECTIONS AND REVISIONS**

DATE: 3-21-13 PERMIT NUMBER: _____

JOB ADDRESS: 11 PALMETTO DRIVE, SEWALL POINT, FL

PLEASE CHECK ONE OF THE FOLLOWING:

- CONDITION OF INSPECTION APPROVAL (Needed for an inspection)
- CONDITION OF PERMIT APPROVAL: (Corrections/Permit not issued, in review process)
- REVISIONS (Changes to an issued permit)

******ALL PLAN REVISIONS MUST BE HIGHLIGHTED OR CLOUDED ON DRAWING******

ALL REVISED PAGES ARE REQUIRED TO BE INSERTED IN FIELD PERMIT SET

DESCRIPTION OF REVISION(S): PER PLAN REVIEW COMMENTS.

DOES REVISION(S) CHANGE THE VALUE OF CONSTRUCTION? YES _____ NO VALUE \$ _____
 INCREASED CONSTRUCTION VALUE WILL INCREASE PERMIT FEES AND MUST BE PAID AT TIME OF APPROVAL

CONTACT NAME: REED COLLINS SIGNATURE: [Signature]

PHONE NUMBER: 772-341-2476 FAX NUMBER: _____

=====

FOR OFFICE USE ONLY:

Reviewed by: _____ Date: _____ Approve _____ Deny _____

Additional conditioned space _____ sq. ft. @ \$104.65 per sq. ft. _____ x 2% = _____

Additional non-conditioned space _____ sq. ft. @ \$ 48.90 per sq. ft. _____ x 2% = _____

Other declared value increase (must be based on value not cost) _____ x 2% = _____

Other additional fees: _____ Revision review fee: _____ Pages @ \$25.00/Page _____

Radon Fee _____ Professional Regulation Fee _____ Road impact assessment _____

TOTAL ADDITIONAL BUILDING PERMIT FEE \$ _____

Applicant notified by: _____ Date: _____

THOMAS P. BAUSCH
Mayor

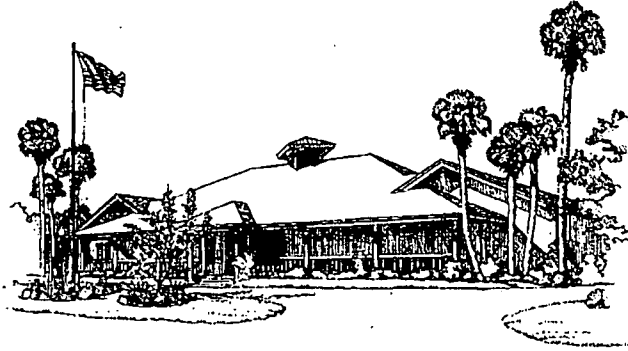
PAMELA M. BUSHA
Vice Mayor

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LIPPISCH
Commissioner

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Commissioner

TOWN OF SEWALL'S POINT BUILDING DEPARTMENT



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Town Manager

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ANN-MARIE
SULLIVAN BASLER
Town Clerk

JOSE TORRES, JR.
Maintenance

CONDITIONS FOR PERMIT APPROVAL

DATE OF PERMIT APPLICATION: 03/08/2013

DATE: 03/15/2013

APPLICATION DESCRIPTION: SINGLE FAMILY RESIDENCE

FAX 334-6057


APPLICATION ADDRESS: 11 PALMETTO DRIVE, SEWALL'S POINT, FL

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3. POOL, SCREEN ENCLOSURE AND GENERATOR REQUIRE SEPARATE PERMITS
4. COMBUSTION AIR REQUIRED FOR ALL FUEL BURNING APPLIANCES/DEVICES IN A/C SPACE
5. MAKE-UP AIR REQUIRED FOR DOWNDRAFT COOK TOP AND CLOTHES DRYER
6. IGNITION BARRIER REQUIRED FOR SPRAY FOAM INSULATION
7. ARC FAULT CI REQUIRED ON ALL NON-GFI 20A/120V BRANCH CIRCUITS OR WHERE SPECIFICALLY EXEMPTED BY CODE
8. SPECIFY WIRE SIZE OF GROUNDING ELECTRODE CONDUCTOR
9. RETURN AIR GRILL NOT PERMITTED IN KITCHEN AREA PER CODE
10. PROVIDE MANUAL J LOAD CALCULATIONS

IF YOU NEED FURTHER INFORMATION OR CLARIFICATION FOR THESE CONDITIONS, DO NOT HESITATE TO CONTACT ME.

WITH REGARDS,


JOHN R. ADAMS, CBO
BUILDING OFFICIAL



One S. Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (772) 287-2455 • Fax (772) 220-4765 • E-Mail: clerk@sewallspoint.martin.fl.us
Building Department (772) 287-2455 • Fax (772) 220-4765 • E-Mail: jadams@sewallspoint.martin.fl.us

11 Palmetto SPA 3/8/2013

1. ~~Proposed~~
2. STORMWATER EMISSION PLAN
3. SIZE SPECIES & LOCATION OF ALL TREES TO BE
REMOVED RELOCATE OR MITIGATED
4. POOL SCREEN ENCLOSURE SEPARATE PERMITS
5. COMBUSTION AIR FOR GAS FIRE PLACE
6. MAKE-UP AIR FOR DOWN DRAFT COOK TOP & DRYER
7. IGNITION BARRIER FOR SPRAY FOAM INSUL.
8. ARC FAULT PROVIDED ON ALL BRANCH^{20A/120V} CIRCUITS
EXCEPT RCB & GFI CIRCUITS AND WIRING SPECIFICALLY EXCEPTED
9. SPECIFY SIZE OF GROUNDING ELECTRODE CONDUCTOR
10. R/P GRILL NOT PERMITTED IN KITCHEN AREA
11. MANUAL J LOAD CALC

7/3 3/10/13 Reed - Joe McCarty
RC → Smith - 11 Palmetto
210-2938

NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00 (\$7,500 Mechanical)

PERMIT #: 10415 TAX FOLIO #: PARCEL ID# 01384101000000803

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):

LOT 8 PALMETTO PARK

GENERAL DESCRIPTION OF IMPROVEMENT: NEW CONSTRUCTION SINGLE FAMILY HOME

OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT

NAME: ANTHONY AND MARY EDITH SMITH

ADDRESS: P.O. Box 1505 JENSEN BEACH, FL 34958

PHONE NUMBER: 772 285 7330

FAX NUMBER:

INTEREST IN PROPERTY: OWNER

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR: ARK HOMES CONSTRUCTION INC

ADDRESS: 2323 N.E. MARLBERRY LN. JENSEN BEACH, FL 34957

PHONE NUMBER: 772 334-8379

FAX NUMBER:

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED)

ADDRESS: STATE OF FLORIDA

PHONE NUMBER: N/A

BOND AMOUNT: N/A

MARTIN COUNTY

FAX NUMBER:

THIS IS TO CERTIFY THAT THE

FOREGOING PAGE(S) IS A TRUE

AND CORRECT COPY OF THE ORIGINAL

DOCUMENT AS FILED IN THIS OFFICE

BAROLYN TIMMANN, CLERK



LENDER/MORTGAGE COMPANY:

ADDRESS: N/A

PHONE NUMBER: N/A

FAX NUMBER:

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICE OF OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (b), FLORIDA STATUTES

NAME: RONALD A. BRITIAN

ADDRESS: 2323 N.E. MARLBERRY LN JENSEN BEACH FL 34957

PHONE NUMBER: 772 334-8379

FAX NUMBER: 772 334-6057

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES RONALD A. BRITIAN OF ARK HOMES CONSTRUCTION INC TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:

PHONE NUMBER: FAX NUMBER: EXPIRATION DATE OF NOTICE OF COMMENCEMENT:

EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY-IN-FACT

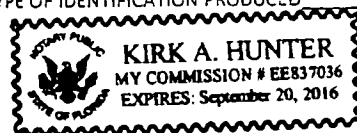
SIGNATORY'S TITLE/OFFICE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 10 DAY OF APRIL, 2013

BY: ANTHONY SMITH AS TYPE OF AUTHORITY FOR PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION TYPE OF IDENTIFICATION PRODUCED

NOTARY SIGNATURE/ SEAL



INSTR # 2327947 OR BR 2645 PG 43 RECD 04/10/2013 04:03:44 PM



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
CONSTRUCTION PERMIT

PERMIT #: 43-SS-1454452
APPLICATION #: AP1096765
DATE PAID: _____
FEE PAID: _____
RECEIPT #: _____

TOWN OF PALMETTO
BUILDING DEPARTMENT
FILE COPY

CONSTRUCTION PERMIT FOR: OSTDS New

APPLICANT: A. D. Smith

PROPERTY ADDRESS: 11 SE Palmetto St Stuart, FL 34994

LOT: 8 BLOCK: _____ SUBDIVISION: PALMETTO PARK

PROPERTY ID #: 01-38-41-010-000-00080-3 [SECTION, TOWNSHIP, RANGE, PARCEL NUMBER]
[OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF SECTION 381.0065, F.S., AND CHAPTER 64E-6, F.A.C. DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS, WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE, OR LOCAL PERMITTING REQUIRED FOR DEVELOPMENT OF THIS PROPERTY.

SYSTEM DESIGN AND SPECIFICATIONS

T [1,050] GALLONS / GPD Septic CAPACITY
A [] GALLONS / GPD N/A CAPACITY
N [] GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK:1250 GALLONS]
K [] GALLONS DOSING TANK CAPACITY [] GALLONS @ [] DOSES PER 24 HRS #Pumps []

D [667] SQUARE FEET Installed in a bed SYSTEM
R [500] SQUARE FEET Installed in trenches SYSTEM
A TYPE SYSTEM: [x] STANDARD [] FILLED [] MOUND []
I CONFIGURATION: [] TRENCH [x] BED []

F LOCATION OF BENCHMARK: NAIL/DISC IN ROAD, ELV. 15.41FT NGVD

I ELEVATION OF PROPOSED SYSTEM SITE [35.00] [INCHES] FT [] ABOVE [] BELOW BENCHMARK/REFERENCE POINT
E BOTTOM OF DRAINFIELD TO BE [65.00] [INCHES] FT [] ABOVE [] BELOW BENCHMARK/REFERENCE POINT
L 11.66 Toe Slope + 24" = 13.66'

D FILL REQUIRED: [0.00] INCHES EXCAVATION REQUIRED: [] INCHES

O The licensed contractor installing the system is responsible for installing the minimum category of tank and drainfield in accordance with s. 64E-6, FAC.
T See attached special conditions list.
H
E
R

SPECIFICATIONS BY: Nicholas L Clifton TITLE: Environmental Specialist II

APPROVED BY: Ray R Cross TITLE: Environmental Specialist 13.0902 Martin CHD

DATE ISSUED: 02/13/2013 EXPIRATION DATE: 08/13/2014

DH 4016, 08/09 (Obsoletes all previous editions which may not be used)
Incorporated: 64E-6.003, FAC



Martin County Health Department

SEPTIC SYSTEM GENERAL CONDITIONS LIST

PERMIT 43-SS- 1454452

- If the minimum finished floor foundation elevation (F.F.F.E.) is below the drainfield filled elevation of _____ inches (above original grade _____), please contact this office to determine possible setback changes from the drainfield (setback is calculated by adding 4:1 slope, 4-foot shoulder and possible berm). Additionally, if the driveway or sidewalk is proposed to be lower than the drainfield filled elevation, please contact the department to determine possible setback changes. Note: Local building authority determines minimum F.F.F.E. and stub out requirements. Health Department recommendations are used for drainfield fill and setback requirements only.
• For single-family homes, if the roof drip line is within 5 feet of the drainfield, shoulder or slope and the roof drains toward the septic system, gutters are required.
• Septic system must be installed in unobstructed area as shown on the approved site plan. Alteration of the information or conditions of this permit found to be in non-compliance will be sufficient cause for revocation of this permit. If any information on a permit changes, an amended application and \$50 review fee must be submitted to our office immediately.
• Future ponds or surface water created onsite must be greater than 75' from septic system.
• The mound area must be sodded prior to a request for final grade inspection.
• Non-potable irrigation lines must be separated from the drainfield by two feet unless an approved backflow prevention device is properly installed.
• A \$75.00 re-inspection fee is required if violations are found during the septic system inspection.
• If an inspector does not witness the work conducted during a septic abandonment, the contractor must submit a statement that the work was completed.
• If a professional engineer designs the septic system, the engineer must certify that the installed system complies with the design and installation requirements.
• For commercial operations, occupational approval will not be given until all requirements for an onsite public water system, food operation or institutional establishment are met.

ADDITIONAL CONDITIONS LIST Special conditions marked "X" are in effect

- 1. Driveway and sidewalk elevation must be at least 6" higher than the top of the drainfield elevation. The driveway cannot be constructed within 4 feet of the system's available area.
2. Prior to final construction approval, the property owner must apply for an operating permit and pay the \$_____ Annual Permit Fee (For ___ Indust./Manuf. ___ Aerobic System ___ Commercial System ___ Performance-Based).

Excavation requirements: (Note: Excavation refers to removal of natural or existing soils, not pad fill)

- 1. Excavate one foot beyond drainfield area to a depth of _____ inches below natural/ existing grade elevation of _____ feet N.G.V.D. / Assumed. In addition to item #1, 33% of unsuitable soils at depths greater than _____ inches below #1 elevation above must be removed to a depth of slightly limited soils.
2. If the proposed drainfield is to be installed within 10 feet of a building foundation or swimming pool structure, the four-foot drainfield shoulder must be filled with suitable soils prior to building construction.
3. If a mound or filled drainfield is proposed, see following sketch. An engineer's design is required if a retaining wall is proposed within the drainfield slope areas of a mound system. No boulders or trees are allowed within the drainfield or drainfield shoulder area. Applicant is responsible for replacing excavated soils with a good grade of soil suitable for drainfield installation.

Completed By: [Signature] Date: [Signature] See Reverse Side for Mound or Filled Drainfield Requirements



Martin County Health Department

SEPTIC SYSTEM SPECIAL CONDITIONS FOR PERMIT 43-SS- 145 4452

The licensed contractor installing the system is responsible for installing the minimum category of tank in accordance with s. 64E-6.013(3)(f), FAC.

- CONDUCT SOIL BORINGS DURING INSPECTION TO VERIFY SOIL TYPE AND WATER TABLE FROM OTHERS.
- FILL REQUIRED NOTED ABOVE MUST BE OF SLIGHTLY LIMITED QUALITY IN THE INSTALLATION AREA WITH A MINIMUM OF 4 FOOT SHOULDER BEYOND THE DRAINFIELD SIDE WALL (ANY UNSUITABLE PAD FILL IN THE SHOULDER AND UNDER THE DRAINFIELD MUST BE REMOVED AND REPLACED WITH SUITABLE SOIL).
- DRAINFIELD MUST BE A MINIMUM OF TEN FEET FROM BUILDING FOUNDATION.
- MAINTENANCE SERVICE AGREEMENT REQUIRED.
- ANNUAL OPERATING PERMIT FROM MARTIN CO. HEALTH DEPARTMENT IS REQUIRED.
- MAINTAIN A MINIMUM OF FEET FROM SURFACE WATER.
- THE DRAINFIELD MUST BE AT LEAST 5 FEET FROM PROPERTY LINES BUILDING FOUNDATION OTHER . (NOTE: For Mounded Drainfields Setback, Use four foot shoulder and 4:1 slope plus 1.5 foot Swale/ Berm Unless Applies to Repairs Using Shoulder Setback Reductions From Table V.)
- INSTALL AN APPROVED OUTLET FILTER DEVICE IN THE SEPTIC TANK.
- A MINIMUM OF 8 INCHES AND MAXIMUM OF 18 INCHES OF MODERATELY OR SLIGHTLY LIMITED SOIL CAP IS ALLOWED OVER DRAINFIELD.
- STATE CODE REQUIRES A MINIMUM DRAINFIELD SIZE OF SQUARE FEET.
- THE DRAINFIELD MUST BE PROPERLY GRADED AND STABILIZED PRIOR TO FINAL APPROVAL.
- POTABLE WATER LINES WITHIN 10 FEET OF THE SYSTEM MUST BE SLEEVED AND SEALED UNLESS THE WATER LINES THEMSELVES CONSIST OF SCHEDULE 40 PVC OR STRONGER MATERIAL AND NEVER LESS THAN 24 INCHES FROM THE SYSTEM.
- POTABLE WATER LINES WITHIN 5 FEET OF A DRAINFIELD SHALL NOT BE LOWER THAN THE DRAINFIELD ELEVATION.
- POTABLE WATER LINES MUST BE INSTALLED AND EXPOSED AT THE TIME OF THE INITIAL INSTALLATION INSPECTION.
- REPAIRED MOUND AND FILLED DRAINFIELDS MUST BE PROPERLY GRADED AND SODDED/ STABILIZED WITHIN 14 DAYS OF SYSTEM CONSTRUCTION APPROVAL.

- RECOMMEND DRAINAGE FEATURE PREVENT RUNOFF INTO FOUNDATIONS.
- P.E. SYSTEM DESIGN REQUIRED.
- MAXIMUM DOSE CYCLE = 6 TIMES PER DAY. ___ PUMP(S) REQUIRED. DOSE ENTIRE DRAINFIELD EACH CYCLE. PUMP(S) MUST BE CERTIFIED AS SUITABLE FOR DISTRIBUTION OF SEWAGE EFFLUENT.
- AN OPERATIONAL TEST OF THE PUMPS AND HIGH WATER ALARM (AUDIBLE AND VISUAL) IS REQUIRED PRIOR TO FINAL CONSTRUCTION APPROVAL.
- EFFLUENT TRANSMISSION LINES MUST BE 5 FEET AWAY FROM POTABLE WATER LINES UNLESS THE TRANSMISSION IS SCHEDULE 40 PVC OR STRONGER AND IT IS AT LEAST 12 INCHES LOWER THAN THE POTABLE WATER LINE.
- SEPTIC TANK MUST BE PUMPED PRIOR TO INSTALLION OF THE DRAINFIELD.
- AGGREGATE, SOIL, AND OTHER COMPONENTS OF SPOIL MATERIALS FROM DRAINFIELD REPAIRS CANNOT BE USED IN SYSTEM REPAIR IN ANY MANNER. CONTRACTORS MUST PROPERLY DISPOSE OF SPOILS MATERIAL BEFORE FINAL INSPECTION AND NEVER CREATE A SANITARY NUISANCE WITH STORAGE OF SPOILS (SEE HSES MEMO 05-010).
- SYSTEM REPAIRS MUST INSTALLATION MUST BE COMPLETED WITHIN 30 DAYS OF SYSTEM PERMITTING OR CONTRACT DATE UNLESS OTHERWISE EXTENDED BY THE APPLICANT.
- LANDSCAPE FEATURES SUCH AS BOULDERS OR TREES ARE NOT ALLOWED ON FILLED OR MOUNDED DRAINFIELDS OR SHOULDERS.
- VEGETATION COVER ON DRAINFIELDS OTHER THAN SOD MUST BE APPROVED BY THE STATE HEALTH OFFICE.
- PUMP SEPTIC TANK (DONE BY CERTIFED COMPANY), CRUSH OR RUPTURE TANK BOTTOM, SUBMIT TANK PUMPOUT RECEIPT, CONTACT DEPARTMENT FOR INSPECTION.
- ADDITIONAL FEES MAY APPLY. ___ \$ 50 2ND INSPECTION FEE.
- ALL ATTACHED GENERAL AND SPECIAL CONDITIONS MUST BE COMPLETED PRIOR TO FINAL INSPECTION AND APPROVAL
- OTHER: _____

NAME: Ray Cross DATE: 02/13/2013

038303275

43-55-1454452



STATE OF FLORIDA DEPARTMENT OF HEALTH ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM SITE EVALUATION AND SYSTEM SPECIFICATIONS

PERMIT #.

APPLICANT: Smith AGENT: SJB LOT: 8 BLOCK: SUBDIVISION: Palmetto Park PROPERTY ID #: 01-38-41-01-0000000-803 [Section/Township/Parcel No. or Tax ID Number]

TO BE COMPLETED BY ENGINEER, HEALTH DEPARTMENT EMPLOYEE, OR OTHER QUALIFIED PERSON. ENGINEERS MUST PROVIDE LICENSE NUMBER AND SIGN AND SEAL EACH PAGE OF SUBMITTAL. COMPLETE ALL ITEMS.

PROPERTY SIZE CONFORMS TO SITE PLAN: [X] YES [] NO NET USABLE AREA AVAILABLE: 46 ACRES TOTAL ESTIMATED SEWAGE FLOW: 400 GALLONS PER DAY [RESIDENCES-TABLE 1/OTHER-TABLE2] AUTHORIZED SEWAGE FLOW: 1150 GALLONS PER DAY [1500 GPD/ACRE OR 2500 GPD/ACRE] UNOBSTRUCTED AREA AVAILABLE: 1300 SQFT UNOBSTRUCTED AREA REQUIRED: 7000 SQFT

BENCHMARK/REFERENCE POINT LOCATION: 22 1/2" = Nail + Disk in Rd @ 15.41 NGVD = 22" ELEVATION OF PROPOSED SYSTEM SITE IS 35 [INCHES/FT] [ABOVE/BELOW] BENCHMARK/REFERENCE POINT

THE MINIMUM SETBACK WHICH CAN BE MAINTAINED FROM THE PROPOSED SYSTEM TO THE FOLLOWING FEATURES SURFACE WATER: FT DITCHES/SWALES: FT NORMALLY WET? [] YES [X] NO WELLS: PUBLIC: FT LIMITED USE: FT PRIVATE: FT NON-POTABLE: 80 FT BUILDING FOUNDATIONS: 5 FT PROPERTY LINES: 5 FT POTABLE WATER LINES: 2 FT

SITE SUBJECT TO FREQUENT FLOODING: [] YES [X] NO 10 YEAR FLOODING? [] YES [X] NO 10 YEAR FLOOD ELEVATION FOR SITE: FT MSL/NGVD SITE ELEVATION: 12.6 FT MSL/NGVD

SOIL PROFILE INFORMATION SITE 1 (57 1/2) Table with columns: MUNSELL #/COLOR, TEXTURE, DEPTH. Rows include 10YR 4/1 Lt Gray, 7/1 Lt Gray, 8/1 White, 6/6 Brn Yellow, 8/8 Yell Brn.

SOIL PROFILE INFORMATION SITE 2 (47") Table with columns: MUNSELL #/COLOR, TEXTURE, DEPTH. Rows include 10YR 4/1 Lt Gray, 7/1 Lt Gray, 8/1 White, 6/6 Brn Yellow, 8/8 Yell Brn.

OBSERVED WATER TABLE: +72 INCHES [ABOVE/BELOW] EXISTING GRADE. TYPE: [PERCHED / APPARENT] ESTIMATED WET SEASON WATER TABLE ELEVATION: +72 INCHES [ABOVE/BELOW] EXISTING GRADE HIGH WATER TABLE VEGETATION: [] YES [X] NO MOTTLING: [] YES [X] NO DEPTH: INCHES

SOIL TEXTURE/LOADING RATE FOR SYSTEM SIZING: 0.8/0.6 FS DEPTH OF EXCAVATION: INCHES DRAINFIELD CONFIGURATION: [X] TRENCH [] BED [] OTHER (SPECIFY) REMARKS/ADDITIONAL CRITERIA: M.F. Nail + Disk in Rd @ 15.41 NGVD. Elevation = 22 1/2". Site 1 = 57 1/2" + Site 2 = 47". SWMT estimated @ 7-72" below grade

SITE EVALUATED BY: Nick Clifton 12-1800 DATE: 2/12/13



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ON-SITE SEWAGE TREATMENT SYSTEMS
APPLICATION FOR CONSTRUCTION PERMIT

RECEIVED

FEB 07 2013

4355-145445-2

PERMIT NO.
DATE PAID: 2-7-13
FEE PAID: 45000
RECEIPT #: 2090023
AD1096765

APPLICATION FOR:

- New System Existing System Holding Tank Innovative
 Repair Abandonment Temporary

APPLICANT: SMITH
AGENT: STEPHEN J. BROWN, INC. TELEPHONE: 288-7176
MAILING ADDRESS: 619 E. 5TH STREET, STUART, FLA. 34994

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 8 BLOCK: N/A SUBDIVISION: PALMETTO PARK PLATTED: MAY 1957

PROPERTY ID #: 013841010600000803 ZONING: RES. I/M OR EQUIVALENT: [Y] N

PROPERTY SIZE: 0.46 ACRES WATER SUPPLY: [] PRIVATE PUBLIC [] <=2000GPD [X] >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? [Y] N DISTANCE TO SEWER: 10000 FT

PROPERTY ADDRESS: 11 S.E. PALMETTO STREET Palmetto Dr

DIRECTIONS TO PROPERTY: EAST TO SEWALL'S POINT, SOUTH SEWALLS POINT ROAD, WEST ON PALMETTO STREET TO SITE

BUILDING INFORMATION

RESIDENTIAL [] COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
---------	-----------------------	-----------------	--------------------	--

1	SINGLE FAMILY	3	8268	400 G.P.D.
2				
3				
4				

[] Floor/Equipment Drains [] Other (Specify)

SIGNATURE: STEPHEN J. BROWN DATE: 1/30/13

APPLICANT'S NAME: SMITH

LEGAL DESCRIPTION: LOT 3, PALMETTO PARK

PROPOSED SEPTIC SYSTEM SITE INFORMATION

I certify that there are no potable private wells within 75 feet of the available area for the proposed septic system, that there are no non-potable wells within 50 feet of the available area for the proposed septic system, that there are no wells within 25 feet of a pesticide-treated building foundation, that there are no public wells that serve less than 25 people or less than 15 homes or businesses within 100 feet of the proposed septic system, that there are no public wells that serve more than 25 people or more than 15 homes or businesses within 200 feet of the proposed septic system, that the water line from the water meter or well to the structure is at least 10 feet from the available area for the proposed septic system unless the plans show the line to be double sleeved, that there is not a gravity sewer line, low pressure sewer line or vacuum sewage line in a public easement or right-of-way that abuts the property, that there are no lakes, streams, wetlands, or surface water within 75 feet of the available area for the proposed septic system unless the property was created prior to 1972, that the septic system is proposed on the side of the lot farthest from surface water, that all private wells, septic systems and surface water on adjacent or contiguous land within 75 feet of the applicant's lot are shown on the site plan, that all public wells within 200 feet of the applicant's lot are shown on the site plan, and that the location of building or residences, swimming pools, recorded easements, paved areas or driveways, sidewalks, the general slope of the property, filled areas, drainage features, and surface waters such as lakes, ponds, streams, canals, or wetlands are shown on the applicants lot.

The natural grade elevation in the area of the proposed septic system and the benchmark must be shown on the site plan. Please locate the benchmark within 200 feet of the proposed septic system.

NOTE: MUST BE CERTIFIED BY A FLORIDA REGISTERED SURVEYOR OR ENGINEER.

CERTIFIED BY: STEPHEN J. Brown
FLORIDA PROFESSIONAL NO.: 4049
DATE: 1/30/13 JOB NO.: 444-70-01



STEPHEN J. BROWN, INC
Surveyors • Designers • Land Planners • Consultant

LEGAL DESCRIPTION

LOT 8, PALMETTO PARK, AS RECORDED IN
PLAT BOOK 3, PAGE 66, PUBLIC RECORDS OF
MARTIN COUNTY, FLORIDA.

I, ANTHONY D. SMITH, owner of the above referenced property have
authorized Stephen J. Brown, Inc. to act as my authorized representative and to act on my
behalf in all aspects of an application for a septic system.

Anthony D. Smith
Owner
JAN 29, 2013
Date



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
 governmax.com 1.11

Summary



Parcel ID
 1 of 1

Tabs
Summary

- Print View
- Land
- Improvements
- Assessments & Exemptions
- Sales
- Taxes →
- NEW: Navigator
- Parcel Map →
- Notice of Prop.
- Taxes →

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
01-38-41-010-000-00080-3	17761	UNASSIGNED, SEWALL'S POINT	\$142,500	2/9/2013

Owner Information

Owner(Current)	SMITH ANTHONY D & MARY EDITH WHEATO SMITH MARY EDITH WHEATON & ANTHONY			
Owner/Mail Address	2400 SE FEDERAL HWY 4TH FL STUART FL 34994			
Sale Date	12/3/2012			
Document Book/Page	2615 2244			
Document No.	2364482			
Sale Price	200000			

Searches

Parcel ID

- Owner
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Navigator
- Maps →

Account #	Tax District	Parcel Address	Acres	Location/Description	Map Page No.	Legal Description
17761	2200	UNASSIGNED, SEWALL'S POINT	.4640		SP-04	PALMETTO PARK LOT 8 OR 340/868

Parcel Type

Use Code	0000 Vacant Residential
Neighborhood	120200 Heritage P, Palmtto Pk,Rdglnd,

Functions

Property Search

- Contact Us
- On-Line Help
- County Home

Assessment Information

Market Land Value	\$142,500
Market Improvement Value	



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

form of
form of

AL	* LOW VOLTAGE BURGLAR ALARM	TOTAL LIFE SAFETY	EF0001238
VS	VACUUM SOUND	"	"
IR	* IRRIGATION	SOUTHERN IRRIGATION	NC155903 00734
SH	SHUTTERS	GULFSTREAM ALUMINUM	

* REQUIRES SEPARATE VERIFICATION FORMS.

I CERTIFY THAT THE INFORMATION STATED ON THE SUBCONTRACTORS' LIST IS ACCURATE AND THAT ALL WORK WILL BE PERFORMED BY MUNICIPAL OR STATE LICENSED CONTRACTORS. I UNDERSTAND THAT A COMPLETE NOTARIZED SUBCONTRACTORS LIST IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

Ronald A. Brittan

SIGNATURE OF CONTRACTOR
 (OR OWNER BUILDER IF APPLICABLE)

STATE OF FLORIDA
 COUNTY OF MARTIN

SWORN TO AND SUBSCRIBED before me this 17 day
 of APRIL, 20 13

[Signature]
 NOTARY PUBLIC

MY COMMISSION EXPIRES: SEPT 20, 2016





TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

DATE: June 21, 2013
TO: ARK HOMES CONSTRUCTION
FAX #: 334-6057
RE: Contractor Licensing

For: 11 Palmetto Dr - Smith Residence - PN 10415

STILL PENDING:

MEVUSA PAVERS - Gen'l Liability Insurance & Worker's Comp Insurance naming the Town of Sewall's Point as the Certificate Holder

SCOBORIA
LEON SCORBIA - Gen'l Liability Insurance & Worker's Comp Insurance naming the Town of Sewall's Point as the Certificate Holder

HIGGINS TILE - Gen'l Liability Insurance & Worker's Comp Insurance naming the Town of Sewall's Point as the Certificate Holder

DYNAMIC AIR - Contractor Verification form

OT TOTAL LIFESAFETY - Contractor Verification form

SOUTHERN IRRIGATION - Contractor Verification form

Did you change Electric Contractor from Cook Electric to Bellwether? If so, please update the Subcontractor list indicating the change and fax it back to me.

Thank you,

Valerie



TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

DATE: April 18, 2013
TO: ARK HOMES CONSTRUCTION
FAX #: 334-6057
RE: Contractor Licensing

For: 11 Palmetto Dr - Smith Residence - PN 10415

Please provide the following:

~~GARY VICKERS - Business Tax Receipt, Gen'l Liability Insurance & Worker's Comp Insurance naming the Town of Sewall's Point as the Certificate Holder~~ *Black bin not using*

~~BEAN DRYWALL - Gen'l Liability Insurance naming the Town of Sewall's Point as the Certificate Holder~~

~~KNIPPEL FIREPLACE - Gen'l Liability Insurance & Worker's Comp Insurance naming the Town of Sewall's Point as the Certificate Holder~~

~~MEVUSA PAVERS - Gen'l Liability Insurance & Worker's Comp Insurance naming the Town of Sewall's Point as the Certificate Holder~~

~~LEON SCORBIA - Gen'l Liability Insurance & Worker's Comp Insurance naming the Town of Sewall's Point as the Certificate Holder~~

~~HIGGINS TILE - Gen'l Liability Insurance & Worker's Comp Insurance naming the Town of Sewall's Point as the Certificate Holder~~

~~DYNAMIC AIR - Business Tax Receipt, Gen'l Liability Insurance & Worker's Comp Insurance naming the Town of Sewall's Point as the Certificate Holder and Contractor Verification form~~

~~COOK ELECTRIC - Contractor Verification form~~

~~TOTAL LIFESAFETY - Gen'l Liability Insurance & Worker's Comp Insurance naming the Town of Sewall's Point as the Certificate Holder and Contractor Verification form~~

~~SOUTHERN IRRIGATION - Contractor Verification form~~

Valerie



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

⁷⁻¹⁷⁻¹³
 Change from
 Cardinal to
Total

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: 10415

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Smith ARK Homes

CONSTRUCTION ADDRESS: 11 Palmetto Dr.

PERMIT TYPE: RESIDENTIAL COMMERCIAL

- ELECTRIC
- PLUMBING
- HVAC
- IRRIGATION
- FUEL GAS

TYPE OF SERVICE: NEW SERVICE EXISTING SERVICE OTHER

SCOPE OF WORK: Install TU Plus & 1" GulfLok metal panels

VALUE OF CONSTRUCTION \$ 19000-

LOW VOLTAGE

TYPE OF EQUIPMENT: SECURITY VACUUM SOUND SYSTEM LANDSCAPE OTHER

SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

SIGNATURE OF LICENSED CONTRACTOR: [Signature] ADDRESS OF CONTRACTOR: 2504 SE Wilbushby Blvd

COMPANY OR QUALIFIER'S NAME: Jesus Vasquez Jr.

TELEPHONE NO: 772-781-4410 FAX NO: 772-781-4408

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: CCC1329384

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: _____

PARCEL CONTROL #: _____

SUBDIVISION: _____ LOT: _____ BLK: _____ PHASE: _____

SITE ADDRESS: _____

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

OK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: 10415

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Smith

CONSTRUCTION ADDRESS: 11 Palmetto Dr

PERMIT TYPE: RESIDENTIAL COMMERCIAL

- ELECTRIC
- PLUMBING
- HVAC
- IRRIGATION
- FUEL GAS

Fuel Gas

TYPE OF SERVICE: NEW SERVICE EXISTING SERVICE OTHER

SCOPE OF WORK: Install a 500 gallon LP tank and line to service a generator, fireplace,

VALUE OF CONSTRUCTION \$ 2,300.

<input type="checkbox"/> LOW VOLTAGE
TYPE OF EQUIPMENT: <input type="checkbox"/> SECURITY <input type="checkbox"/> VACUUM <input type="checkbox"/> SOUND SYSTEM <input type="checkbox"/> LANDSCAPE <input type="checkbox"/> OTHER
SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

Dean L. Nicholson 3232 SE Dixie highway Stuart
 SIGNATURE OF LICENSED CONTRACTOR ADDRESS OF CONTRACTOR FL 34997

COMPANY OR QUALIFIER'S NAME: Dean L. Nicholson

TELEPHONE NO: 772-287-4130 PLEASE PRINT FAX NO: 287 3456

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: 01237

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: _____

PARCEL CONTROL #: _____

SUBDIVISION: _____ LOT: _____ BLK: _____ PHASE: _____

SITE ADDRESS: _____

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

OK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

Master Plumbing

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: 10415

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Tony + Mary Edith Smith

CONSTRUCTION ADDRESS: 11 Palmetto Dr. Sewall's Point, FL 34996

PERMIT TYPE: RESIDENTIAL COMMERCIAL

- ELECTRIC
- PLUMBING
- HVAC
- IRRIGATION
- FUEL GAS

TYPE OF SERVICE: NEW SERVICE EXISTING SERVICE OTHER

SCOPE OF WORK: Plumbing for new residence

VALUE OF CONSTRUCTION \$ _____

<input type="checkbox"/> LOW VOLTAGE TYPE OF EQUIPMENT: <input type="checkbox"/> SECURITY <input type="checkbox"/> VACUUM <input type="checkbox"/> SOUND SYSTEM <input type="checkbox"/> LANDSCAPE <input type="checkbox"/> OTHER SCOPE OF WORK: _____ VALUE _____
--

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

Adam Van Etten
SIGNATURE OF LICENSED CONTRACTOR

2551 SE Clayton St. Stuart, FL 34997
ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: Adam Van Etten

TELEPHONE NO: (772) 287-7366 FAX NO: (772) 287-0194
PLEASE PRINT

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: CFE 1428579

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: _____

PARCEL CONTROL #: _____

SUBDIVISION: _____ LOT: _____ BLK: _____ PHASE: _____

SITE ADDRESS: _____

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

OK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: 10415

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: SMITH, ANTHONY

CONSTRUCTION ADDRESS: 11 PALMETTO

PERMIT TYPE: RESIDENTIAL COMMERCIAL

- ELECTRIC
- PLUMBING
- HVAC
- IRRIGATION
- FUEL GAS

TYPE OF SERVICE: NEW SERVICE EXISTING SERVICE OTHER

SCOPE OF WORK: WIRING FOR NEW SPA

VALUE OF CONSTRUCTION \$ 25,000.00

LOW VOLTAGE

TYPE OF EQUIPMENT: SECURITY VACUUM SOUND SYSTEM LANDSCAPE OTHER

SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

[Signature]
SIGNATURE OF LICENSED CONTRACTOR

571 NW MERCANTILE PLACE #103 PORT ST. LUCIE, FL 34986
ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: BELLWETHER ELECTRIC CO

TELEPHONE NO: 772-621-9494 FAX NO: 772-621-9164
PLEASE PRINT

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: _____

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT. *****

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: _____

PARCEL CONTROL #: _____

SUBDIVISION: _____ LOT: _____ BLK: _____ PHASE: _____

SITE ADDRESS: _____

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

OK

ELECTRICAL



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: #10415

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: SMITH RESIDENCE

CONSTRUCTION ADDRESS: 11 PALMETTO DRIVE

PERMIT TYPE: RESIDENTIAL COMMERCIAL

- ELECTRIC
- PLUMBING
- HVAC
- IRRIGATION
- FUEL GAS

TYPE OF SERVICE: NEW SERVICE EXISTING SERVICE OTHER

SCOPE OF WORK: ELECTRIC @ NEW HOME & TEMPORARY POLE

VALUE OF CONSTRUCTION \$ 20,000

<input type="checkbox"/> LOW VOLTAGE
TYPE OF EQUIPMENT: <input type="checkbox"/> SECURITY <input type="checkbox"/> VACUUM <input type="checkbox"/> SOUND SYSTEM <input type="checkbox"/> LANDSCAPE <input type="checkbox"/> OTHER
SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

[Signature]
SIGNATURE OF LICENSED CONTRACTOR

4250 S.E. COMMERCE AVE, STUART
ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: COOK ELECTRIC INC.

TELEPHONE NO: 287-0938 PLEASE PRINT FAX NO: 287-9084

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: EC0002265

*** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT. *****

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: _____

PARCEL CONTROL #: _____

SUBDIVISION: _____ LOT: _____ BLK: _____ PHASE: _____

SITE ADDRESS: _____

MEVUSA Pavers

WC?
GL



Contractors List

(Reset)

Search mevusa

Display 15 (Go)

Name	License Type	Company	License & Exp	Status	Address	City	Phone Number	Liability & Exp	Wk Comp & Exp
SALMERON, MARGO W	PAVING COMMERCIAL - MC	MEVUSA PAVERS EXPRESS GEN SERV CORP	MCP5477 (30-SEP-13)	ACTIVE	1680 SW BAYSHORE BLVD	PSL FL 34984	772-871-7827 772-340-5948	DA YOUNG (20-APR-13)	EXEMPT (17-MAY-14)

[Download Spread Sheet](#)

1 - 1

Acrobat Flash Beach Cam Fire Rescue Scanner Sheriff's Scanner FHP Traffic FDOT 511 211

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*Some images courtesy of the Martin County Convention & Visitors Bureau
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Business Tax Receipt Details

[New Search](#) [Back to Search Results](#) [Help](#)

Business Tax Account	2008-000520-00401.000	Status	ACTIVE FULL
Business Name	MEVUSA PAVERS EXPRESS GEN SERV CORP	Current Amount Due	0.00
Business Category	PAVING COMMERCIAL		
Additional Description	ACCOUNT PAID IN FULL	New Business Date	09/24/2007
Business Address	OCCY	Date Closed	
Doing Business As			
Owner Name	SALMERON, MARGO W (QUALIFIER)		
Mailing Address	MEVUSA PAVERS EXPRESS GEN SERV CORP SALMERON, MARGO W (QUALIFIER) 1680 SW BAYSHORE BLVD #111-112 PORT ST LUCIE FL 34984		
		Update Business Details	

License Renewal History

Year	License Amount	Penalty	Fees	Transfer	Duplicato	Exempt	Amount Due	Paid
2013	26.25						26.25	PAID
2012	26.25						26.25	PAID
2011	26.25						26.25	PAID
2010	26.25						26.25	PAID
2009	26.25						26.25	PAID
2008	26.25						26.25	PAID



JEFF ATWATER, CHIEF FINANCIAL OFFICER
 FLORIDA DEPARTMENT OF FINANCIAL SERVICES

[WC Home](#) [WC Databases](#) [CFO Home](#)

Exemption Detail Page

This database was last updated Wednesday, April 17, 2013 12:10 AM.

[Return to Previous Page](#)

Exemption Details

Name	Title	Effective Date	*Termination Date	Exemption Type	**Business Activities	Employer Name
MARGO W SALMERON	VP	May 17 2012	May 17 2014	Construction	Click Here to View Activities Listed on Exemption	MEVUSA PAVERS EXPRESS GENERAL SERVICES CORP.
MARGO W SALMERON	VP	Jun 2 2010	May 17 2012	Construction	Click Here to View Activities Listed on Exemption	MEVUSA PAVERS EXPRESS GENERAL SERVICES CORP.
MARGO W SALMERON	VP	Jun 2 2008	Jun 2 2010	Construction	Click Here to View Activities Listed on Exemption	MEVUSA PAVERS EXPRESS GENERAL SERVICES CORP.
MARGO W SALMERON	VP	Jun 23 2006	Jun 2 2008	Construction	Click Here to View Activities Listed on Exemption	MEVUSA PAVERS EXPRESS GENERAL SERVICES CORP.

*Termination may be through the revocation of the exemption, or expiration of the exemption.

**The exemption only applies to the business activities listed on the exemption.

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JEFF ATWATER, CHIEF FINANCIAL OFFICER
FLORIDA DEPARTMENT OF FINANCIAL SERVICES

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Exemption Detail Page

This database was last updated Wednesday, April 17, 2013 12:10 AM.

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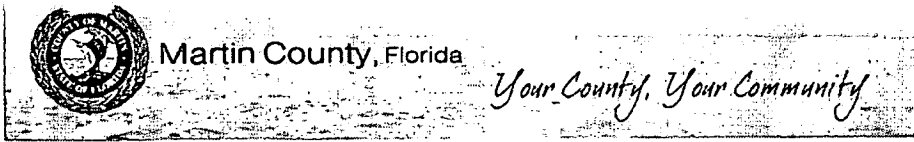
Exemption Details

Name	Title	Effective Date	*Termination Date	Exemption Type	**Business Activities	Employer Name
VALDIR GARCIA	PR	Jun 24 2012	Jun 24 2014	Construction	Click Here to View Activities Listed on Exemption	MEVUSA PAVERS DISTRIBUTORS CORP
VALDIR GARCIA	PR	Jun 25 2010	Jun 24 2012	Construction	Click Here to View Activities Listed on Exemption	MEVUSA PAVERS DISTRIBUTORS CORP

*Termination may be through the revocation of the exemption, or expiration of the exemption.

**The exemption only applies to the business activities listed on the exemption.

[Return to Search Page](#)



Contractors List

(Reset)

Search Display 15

Name	License Type	Company	License & Exp	Status	Address	City	Phone Number	Liability & Exp	Wk Comp & Exp
SCOBORIA, LEON F	PAINTING CONTRACTOR - MC	LEON SCOBORIA INC	MCPTG00487 (30-SEP-13)	ACTIVE	556 SW WOOD CREEK DR	PALM CITY FL 34990	772-283-6389 772-223-8131	PLASTRIDGE AGCY (01-MAR-14)	PLASTRIDGE AGCY INC (05-MAR-14)

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1 - 1

Acrobat
 Flash
 Beach Cam
 Fire Rescue Scanner
 Sheriff's Scanner
 FHP Traffic
 FDOT 511
 311

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Business Tax Receipt Details

[New Search](#) [Back to Search Results](#) [Help](#)

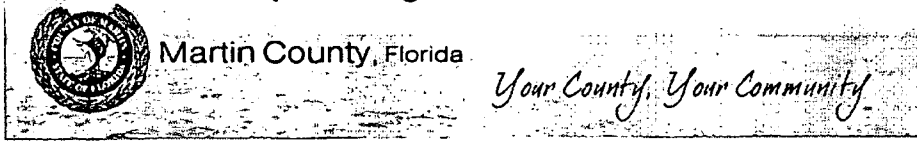
Business Tax Account	1982-000518-00655.000	Status	ACTIVE FULL
Business Name	LEON SCOBORIA, INC.	Current Amount Due	0.00
Business Category	MISC CONTR - PAINTING		
Additional Description	ACCOUNT PAID IN FULL	New Business Date	06/01/1982
Business Address	OCCY	Date Closed	
Doing Business As			
Owner Name	SCOBORIA, LEON		
Mailing Address	LEON SCOBORIA, INC. SCOBORIA, LEON 556 SW WOODCREEK DRIVE PALM CITY, FL 34990		
			Update Business Details

License Renewal History

Year	License Amount	Penalty	Fees	Transfer	Duplicate	Exempt	Amount Due	Paid
2013	26.25						26.25	PAID
2012	26.25						26.25	PAID
2011	26.25						26.25	PAID
2010	26.25						26.25	PAID
2009	26.25						26.25	PAID
2008	26.25						26.25	PAID

Higgins Tile

G.F.
WC



Contractors List

(Reset)

Search mctm02223

Display 15 (Go)

Name	License Type	Company	License & Exp	Status	Address	City	Phone Number	Liability & Exp	Wk Comp & Exp
HIGGINS, ROBERT A	TILE & MARBLE CONTRACTOR - MC	HIGGINS TILE & MARBLE INC	MCTM02223 (30-SEP-13)	ACTIVE	1050 NW 15TH ST	STUART FL 34994	772-692-0952	KEARNS AGY (24-JAN-14)	WC ASSOCIATES (23-JAN-14)

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1 - 1

MCTM 02223

9-30-13

Acrobat Flash Beach Cam Fire Rescue Scanner Sheriff's Scanner FHP Traffic FDOT 511 211

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Business Tax Receipt Details

[New Search](#) [Back to Search Results](#) [Help](#)

Business Tax Account	1995-000520-00024.000	Status	ACTIVE FULL
Business Name	HIGGINS TILE AND MARBLE INC.	Current Amount Due	0.00
Business Category	MISC CONTR - TILE/TERRAZZO/MARBLE		
Additional Description	ACCOUNT PAID IN FULL	New Business Date	12/05/1994
Business Address	OCCY	Date Closed	
Doing Business As			
Owner Name	HIGGINS, ROBERT A (QUAL)		
Mailing Address	HIGGINS TILE AND MARBLE INC. & MARBLE SERVICE HIGGINS, ROBERT A (QUAL) 1050 NW 15TH STREET STUART FL 34994		
			Update Business Details

License Renewal History

Year	License Amount	Penalty	Fees	Transfer	Duplicate	Exempt	Amount Due	Paid
2013	26.25						26.25	PAID
2012	26.25						26.25	PAID
2011	26.25	6.56	6.60				39.41	PAID
2010	26.25						26.25	PAID
2009	26.25	3.94	6.60				36.79	PAID
2008	26.25						26.25	PAID

ok



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: 10415

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Anthony Smith

CONSTRUCTION ADDRESS: 11 Palmetto Dr.

PERMIT TYPE: RESIDENTIAL COMMERCIAL

- ELECTRIC
- PLUMBING
- HVAC
- IRRIGATION
- FUEL GAS

TYPE OF SERVICE: NEW SERVICE EXISTING SERVICE OTHER

SCOPE OF WORK: _____

VALUE OF CONSTRUCTION \$ _____

<input checked="" type="checkbox"/> LOW VOLTAGE
TYPE OF EQUIPMENT: <input checked="" type="checkbox"/> SECURITY <input checked="" type="checkbox"/> VACUUM <input type="checkbox"/> SOUND SYSTEM <input type="checkbox"/> LANDSCAPE <input type="checkbox"/> OTHER
SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

[Signature]
SIGNATURE OF LICENSED CONTRACTOR

1025 NE Industrial Blvd
ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: Total Lifesafety Corp. / Scott Fowler

TELEPHONE NO: 772-334-0577 FAX NO: 772-334-0576

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: EF 0001238

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: _____

PARCEL CONTROL #: _____

SUBDIVISION: _____ LOT: _____ BLK: _____ PHASE: _____

SITE ADDRESS: _____

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

Project Information

For: SMITH

Notes: ZONE 2

Design Information

Weather: West Palm Beach, FL, US

Winter Design Conditions

Outside db 45 °F
 Inside db 70 °F
 Design TD 25 °F

Summer Design Conditions

Outside db 91 °F
 Inside db 75 °F
 Design TD 16 °F
 Daily range L
 Relative humidity 50 %
 Moisture difference 57 gr/lb

Heating Summary

Structure 14388 Btuh
 Ducts 0 Btuh
 Central vent (0 cfm) 0 Btuh
 Humidification 0 Btuh
 Piping 0 Btuh
 Equipment load 14388 Btuh

Sensible Cooling Equipment Load Sizing

Structure 17514 Btuh
 Ducts 0 Btuh
 Central vent (0 cfm) 0 Btuh
 Blower 0 Btuh
 Use manufacturer's data n
 Rate/swing multiplier 0.96
 Equipment sensible load 16813 Btuh

Infiltration

Method Simplified
 Construction quality Average
 Fireplaces 0

	Heating	Cooling
Area (ft ²)	1114	1114
Volume (ft ³)	2302	2302
Air changes/hour	4.00	4.00
Equiv. AVF (cfm)	153	153

Latent Cooling Equipment Load Sizing

Structure 6264 Btuh
 Ducts 0 Btuh
 Central vent (0 cfm) 0 Btuh
 Equipment latent load 6264 Btuh
 Equipment total load 23078 Btuh
 Req. total capacity at 0.70 SHR 2.0 ton

Heating Equipment Summary

Make
 Trade
 Model
 AHRI ref

Efficiency	100 AFUE
Heating input	13357 Btuh
Heating output	13357 Btuh
Temperature rise	15 °F
Actual air flow	800 cfm
Air flow factor	0.056 cfm/Btuh
Static pressure	0 in H2O
Space thermostat	

Cooling Equipment Summary

Make Trane
 Trade
 Cond 4TTX5024
 Coil 4TEC3F24
 AHRI ref
 Efficiency 12.5 EER, 16 SEER

Sensible cooling	16800 Btuh
Latent cooling	7200 Btuh
Total cooling	24000 Btuh
Actual air flow	800 cfm
Air flow factor	0.046 cfm/Btuh
Static pressure	0 in H2O
Load sensible heat ratio	0.74

TOWN OF SEV... S POINT
 BUILDING DEPARTMENT
FILE COPY

Calculations approved by ACCA to meet all requirements of Manual J 8th Ed.





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

PRODUCT APPROVAL CHECKLIST

Permit Type: BSFR Permit Number: _____ Date 2/25/13

Owner's Name: SMITH, TONY & MARY EDITH Job Site Location: 11 PALMETTO DRIVE

Design Professional Name A/E: JOSEPH P. McCARTY

Rule 9 B-72 requires the following information as promulgated by the Florida Building Commission. In the event that information required for product approval has been incorporated in to the plans, specifications or general notes; simply indicate page number on the affidavit.

Product	Model Number	Manufacturer	Evaluation Agency	Expiration Date
Windows	8100 S.H.	CUSTOM WINDOWS & DOORS	LUCAS A. TURNER, FL P.E. 58201	
Exit Doors	FD-750	PGT INDUSTRIES	MIAMI - DADE PRODUCT CONTRA	2-24-15
Garage Doors	#1200 HELITAGE 3000	AMARR GARAGE DOORS	THOMAS L. SHELMEPINE, P.E. 48679	
Ridge Vents	N/A			
Soffits	N/A			
Skylights	N/A			
Shutters	N/A			
Roofing Materials	JM 1.5 STANDING SEAM	INNOVATION DISTRIBUTION, LLC	JAMES L. BUCKNER, P.E.	
Panel Walls	N/A		31242	
Structural Components and Cladding	N/A			
New/Alternative Materials	N/A			

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

In accordance with the Florida Architects and Engineers product approval system, this affidavit certifies that I have performed the building envelope evaluation as required by the Florida Building Code.

Architect/Engineer Signature & Seal

9639
 FL Certification/Registration Number

ICC-ES Evaluation Report**ESR-1826**

Reissued February 1, 2013

This report is subject to renewal February 1, 2015.

www.icc-es.org | (800) 423-6587 | (562) 699-0543

A Subsidiary of the International Code Council®

DIVISION: 07 00 00—THERMAL AND MOISTURE PROTECTION

Section: 07 21 00—Thermal Insulation

REPORT HOLDER:

ICYNENE, INC.
6747 CAMPOBELLO ROAD
MISSISSAUGA, ONTARIO L5N 2L7
CANADA
(905) 363-4040
www.icynene.com

EVALUATION SUBJECT:**ICYNENE LD-C-50™ AND LD-C-50 VERSION 2 (v2)****1.0 EVALUATION SCOPE****Compliance with the following codes:**

- 2012 and 2009 *International Building Code*® (2009 IBC)
- 2012 and 2009 *International Residential Code*® (2009 IRC)
- 2012 and 2009 *International Energy Conservation Code*® (2009 IECC)
- Other Codes (see Section 8.0)

Properties evaluated:

- Surface burning characteristics
- Physical properties
- Thermal performance (R-values)
- Attic and crawl space installation
- Fire resistance
- Air permeability
- Noncombustible construction

2.0 USES

ICynene LD-C-50™ and LD-C-50 v2 are used to provide thermal insulation in buildings and to seal areas such as plumbing and wiring penetrations against air infiltration, in Types I, II, III, IV and Type V construction (IBC) and dwellings under the IRC. The insulations may be used in fire-resistance-rated construction when installed in accordance with Section 4.5 and in Types I through IV construction when installed in accordance with Section 4.6.

3.0 DESCRIPTION**3.1 General:**

ICynene LD-C-50™ and LD-C-50 v2 are low-density, open-cell, polyurethane foam plastic insulations and air barrier systems that are 100 percent water-blown with an installed nominal density of 0.5 pcf (8 kg/m³). The insulations are two-component, spray-applied products. The two components of the insulation are polymeric isocyanate (A-Component, also known as Base Seal®) and proprietary resin (B-Component, LD-C-50 or LD-C-50 v2 Resin, also known as, Gold Seal®). The A-Component must be stored at a temperature of 50°F (10°C) or greater, and has a shelf life of six months. The B-Component must be stored at temperatures below 100°F (37.8°C), and has a shelf life of six months.

3.2 Surface Burning Characteristics:

When tested in accordance with ASTM E84/UL 723, at a thickness of 6 inches (152 mm) and a nominal density of 0.5 pcf (8 kg/m³), ICynene LD-C-50 and LD-C-50 v2 have a flame spread index of 25 or less and a smoke-developed index of 450 or less. Thicknesses of up to 7 1/2 inches (190.5 mm) for wall cavities and 11 1/2 inches (292 mm) for ceiling cavities are recognized based on room corner fire testing in accordance with NFPA 286, when covered with minimum 1/2-inch-thick (13 mm) gypsum board or an equivalent thermal barrier complying with the applicable code.

3.3 Thermal Resistance:

ICynene LD-C-50 and LD-C-50 v2 have thermal resistance (R-values) at a mean temperature of 75°F (24°C) as shown in Table 1.

3.4 Air Permeability:

ICynene LD-C-50™ and LD-C-50 v2 spray-applied foam plastic insulations, at a minimum thickness of 3 1/2 inches (89 mm), are considered air-impermeable insulation in accordance with IRC Section R202, based on testing in accordance with ASTM E283.

3.5 Intumescent Coatings:

3.5.1 No Burn Plus XD: No Burn Plus XD intumescent coating is a latex-based coating supplied in 1-gallon (4L) and 5-gallon (19L) pails and 55-gallon (208 L) drums. The coating material has a shelf life of 12 months when stored in factory-sealed containers at temperatures between 40°F (4.4°C) and 90°F (32.2°C).

Patrick Exterminating, Inc.
3226 SE Gran Park Way, Stuart FL 34997
Fax 772-223-2114

RECEIVED
NOV 12 2013
Sewall's Point Town Hall

Stuart 772-286-6812
Jupiter 561-744-2681

Vero Beach 772-562-3700
Port St Lucie 772-335-7378

Certificate of Compliance for Termite Protection
(as required by Florida Building Code (FBC) 1816.1.7)

Treatment Address: 11 Palmexpo Rd

Builder: Esler Concrete Permit # _____

- Footing Slab Driveway Pool Deck Addition
 Other Equipment Pads

Final Perimeter Treatment - Initial and Date for Final: _____

Date: 9/19/13 Time: 8:00 Square Footage 50

Product Used: Cyflor TC Gallons: 5 % Used: 25

Chemical Name Cyflor TC Applicator: S. Cooper

Method of Treatment: Soil Barrier

The building has received a complete treatment for the prevention of Subterranean termites. Treatment is in accordance with rules and laws established by the Florida Department of Agriculture and Consumer Services.

Notice to Builder

It is the responsibility of the builder to notify Patrick Exterminating prior to the pouring of any slab that abuts the above structure so that treatment can be completed and the required paperwork for closing be submitted. Such slabs might be, but are not limited to: patios, porches, entryways, A/C slabs, stoops, additions, bay windows, driveway additions, etc.

Other areas that would require treatment would be:

1. Areas within the foundation that were disturbed after the initial treatment.
2. The foundation perimeter after final grade has been established.

Note: As per FBC 104.2.3 - If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

Note: WARRANTY WILL BE ISSUED UPON COMPLETION OF FINAL TREATMENT ONLY

WALLS

✓ #	Omt	Adjacent To	Wall Type	Space	Cavity R-Value	Width Ft	Height Ft	Area	Sheathing R-Value	Framing Fraction	Solar Absor	Below Grade%
1	N	Exterior	Concrete Block - Int Ins	RoomsInBloc	4	96	10	960 ft²	4	0	0.75	0
2	S	Exterior	Concrete Block - Int Ins	RoomsInBloc	4	96	10	960 ft²	4	0	0.75	0
3	E	Exterior	Concrete Block - Int Ins	RoomsInBloc	4	57	10	570 ft²	4	0	0.75	0
4	W	Exterior	Concrete Block - Int Ins	RoomsInBloc	4	57	10	570 ft²	4	0	0.75	0

DOORS

✓ #	Omt	Door Type	Space	Storms	U-Value	Width Ft	Height Ft	Area
1	S	Insulated	RoomsInBloc	Metal	0.460000	6	8	48 ft²
2	W	Insulated	RoomsInBloc	Metal	0.460000	6	8	24 ft²
3	S	Insulated	RoomsInBloc	Metal	0.460000	6	8	24 ft²
4	S	Insulated	RoomsInBloc	Metal	0.460000	6	8	24 ft²
5	N	Insulated	RoomsInBloc	Metal	0.460000	6	8	48 ft²
6	W	Insulated	RoomsInBloc	Metal	0.460000	6	8	80 ft²
7	W	Insulated	RoomsInBloc	Metal	0.460000	6	8	80 ft²
8	W	Insulated	RoomsInBloc	Metal	0.460000	6	8	64 ft²

WINDOWS

Orientation shown is the entered orientation (=>) changed to Worst Case.

✓ #	Omt	Wall ID	Frame	Panes	NFRC	U-Factor	SHGC	Storms	Area	Overhang Depth	Overhang Separation	Int Shade	Screening
1	S	2	Metal	Single (Tinted)	Yes	1.07	0.43	N	50 ft²	2 ft 6 in	0 ft 0 in	HERS 2006	None
2	S	2	Metal	Single (Tinted)	Yes	1.07	0.43	N	24 ft²	2 ft 6 in	0 ft 0 in	HERS 2006	None
3	S	2	Metal	Single (Tinted)	Yes	1.07	0.43	N	24 ft²	2 ft 6 in	0 ft 0 in	HERS 2006	None
4	S	2	Metal	Single (Tinted)	Yes	1.07	0.43	N	56 ft²	2 ft 6 in	0 ft 0 in	HERS 2006	None
5	W	4	Metal	Single (Tinted)	Yes	1.07	0.43	N	12 ft²	2 ft 6 in	0 ft 0 in	HERS 2006	None
6	S	2	Metal	Single (Tinted)	Yes	1.07	0.43	N	24 ft²	2 ft 6 in	0 ft 0 in	HERS 2006	None
7	E	3	Metal	Single (Tinted)	Yes	1.07	0.43	N	24 ft²	2 ft 6 in	0 ft 0 in	HERS 2006	None
8	E	3	Metal	Single (Tinted)	Yes	1.07	0.43	N	8 ft²	2 ft 6 in	0 ft 0 in	HERS 2006	None
9	N	1	Metal	Single (Tinted)	Yes	1.07	0.43	N	90 ft²	2 ft 6 in	0 ft 0 in	HERS 2006	None
10	N	1	Metal	Single (Tinted)	Yes	1.07	0.43	N	12 ft²	2 ft 2 in	0 ft 0 in	HERS 2006	None
11	N	1	Metal	Single (Tinted)	Yes	1.07	0.43	N	8 ft²	2 ft 6 in	0 ft 0 in	HERS 2006	None
12	N	1	Metal	Single (Tinted)	Yes	1.07	0.43	N	40 ft²	2 ft 6 in	0 ft 0 in	HERS 2006	None

GARAGE

✓ #	Floor Area	Ceiling Area	Exposed Wall Perimeter	Avg. Wall Height	Exposed Wall Insulation
1	1000 ft²	1000 ft²	105 ft	10 ft	4

INFILTRATION														
#	Scope	Method	SLA	CFM 50	ELA	EqLA	ACH	ACH 50						
1	BySpaces	Proposed SLA	0.000360	3085.9	169.41	318.60	0.2484	5.6657						
HEATING SYSTEM														
<input checked="" type="checkbox"/>	#	System Type	Subtype		Efficiency	Capacity	Block	Ducts						
<input type="checkbox"/>	1	Electric Strip Heat	None		COP: 1	67 kBtu/hr	1	sys#1						
COOLING SYSTEM														
<input checked="" type="checkbox"/>	#	System Type	Subtype		Efficiency	Capacity	Air Flow	SHR	Block	Ducts				
<input type="checkbox"/>	1	Central Unit	None		SEER: 16	96 kBtu/hr	2880 cfm	0.75	1	sys#1				
HOT WATER SYSTEM														
<input checked="" type="checkbox"/>	#	System Type	SubType	Location	EF	Cap	Use	SetPnt	Conservation					
<input type="checkbox"/>	1	Electric	None	Garage	0.97	80 gal	60 gal	120 deg	None					
SOLAR HOT WATER SYSTEM														
<input checked="" type="checkbox"/>	FSEC	Company Name	System Model #		Collector Area	Storage Volume	FEF							
<input type="checkbox"/>	None	None					ft ²							
DUCTS														
<input checked="" type="checkbox"/>	#	— Supply —			— Return —			Air Handler	CFM 25	Percent Leakage			HVAC #	
<input type="checkbox"/>	1	Attic	6	653.6 ft	Attic	163.4 ft	DSE=0.88	Garage	0.0 cfm	0.00 %	0.00	0.60	1	1
TEMPERATURES														
Programable Thermostat: Y							Ceiling Fans:							
Cooling	<input checked="" type="checkbox"/> Jan	<input checked="" type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input checked="" type="checkbox"/> Apr	<input checked="" type="checkbox"/> May	<input checked="" type="checkbox"/> Jun	<input checked="" type="checkbox"/> Jul	<input checked="" type="checkbox"/> Aug	<input checked="" type="checkbox"/> Sep	<input checked="" type="checkbox"/> Oct	<input checked="" type="checkbox"/> Nov	<input checked="" type="checkbox"/> Dec		
Heating	<input checked="" type="checkbox"/> Jan	<input checked="" type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input checked="" type="checkbox"/> Apr	<input checked="" type="checkbox"/> May	<input checked="" type="checkbox"/> Jun	<input checked="" type="checkbox"/> Jul	<input checked="" type="checkbox"/> Aug	<input checked="" type="checkbox"/> Sep	<input checked="" type="checkbox"/> Oct	<input checked="" type="checkbox"/> Nov	<input checked="" type="checkbox"/> Dec		
Venting	<input checked="" type="checkbox"/> Jan	<input checked="" type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input checked="" type="checkbox"/> Apr	<input checked="" type="checkbox"/> May	<input checked="" type="checkbox"/> Jun	<input checked="" type="checkbox"/> Jul	<input checked="" type="checkbox"/> Aug	<input checked="" type="checkbox"/> Sep	<input checked="" type="checkbox"/> Oct	<input checked="" type="checkbox"/> Nov	<input checked="" type="checkbox"/> Dec		

Florida Code Compliance Checklist

Florida Department of Business and Professional Regulations
Residential Whole Building Performance Method

ADDRESS: 11 PALMETTO DRIVE SEWALL'S POINT, FL,	PERMIT #:
---	-----------

MANDATORY REQUIREMENTS SUMMARY - See individual code sections for full details.

COMPONENT	SECTION	SUMMARY OF REQUIREMENT(S)	CHECK
Air leakage	402.4	To be caulked, gasketed, weatherstripped or otherwise sealed. Recessed lighting IC-rated as meeting ASTM E 283. Windows and doors = 0.30 cfm/sq.ft. Testing or visual inspection required. Fireplaces: gasketed doors & outdoor combustion air. Must complete envelope leakage report or visually verify Table 402.4.2.	
Thermostat & controls	403.1	At least one thermostat shall be provided for each separate heating and cooling system. Where forced-air furnace is primary system, programmable thermostat is required. Heat pumps with supplemental electric heat must prevent supplemental heat when compressor can meet the load.	
Ducts	403.2.2	All ducts, air handlers, filter boxes and building cavities which form the primary air containment passageways for air distribution systems shall be considered ducts or plenum chambers, shall be constructed and sealed in accordance with Section 503.2.7.2 of this code.	
	403.3.3	Building framing cavities shall not be used as supply ducts.	
Water heaters	403.4	Heat trap required for vertical pipe risers. Comply with efficiencies in Table 403.4.3.2. Provide switch or clearly marked circuit breaker (electric) or shutoff (gas). Circulating system pipes insulated to = R-2 + accessible manual OFF switch.	
Mechanical ventilation	403.5	Homes designed to operate at positive pressure or with mechanical ventilation systems shall not exceed the minimum ASHRAE 62 level. No make-up air from attics, crawlspaces, garages or outdoors adjacent to pools or spas.	
Swimming Pools & Spas	403.9	Pool pumps and pool pump motors with a total horsepower (HP) of = 1 HP shall have the capability of operating at two or more speeds. Spas and heated pools must have vapor-retardant covers or a liquid cover or other means proven to reduce heat loss except if 70% of heat from site-recovered energy. Off/timer switch required. Gas heaters minimum thermal efficiency=78% (82% after 4/16/13). Heat pump pool heaters minimum COP= 4.0.	
Cooling/heating equipment	403.6	Sizing calculation performed & attached. Minimum efficiencies per Tables 503.2.3. Equipment efficiency verification required. Special occasion cooling or heating capacity requires separate system or variable capacity system. Electric heat >10kW must be divided into two or more stages.	
Ceilings/knee walls	405.2.1	R-19 space permitting.	

Southern Irrigation, Inc.
5207 SW Moore Street
Palm City, FL 34990
772-288-1883
772-288-1894 fax



November 12, 2013

Town Of Sewalls Point
15 Sewalls Point Road
Sewalls Point, FL 34996

RE: 11 Palmetto Lane

To Whom It May Concern:

As per section 22-146, the irrigation is installed as a low volume irrigation system with a rain sensor devise.

Martin County Competency #MCIS00734

Sincerely,

Robin G. Henn
Sec. / Tres.

TRANSMISSION VERIFICATION REPORT

TO Valerie Thank you! Quetz

TIME : 11/04/2013 11:40
NAME : MARTIN CHD
FAX : 772-221-4967
TEL :
SER.# : BROK4J125524

Table with 2 columns: Field Name (DATE, TIME, FAX NO., etc.) and Value (11/04 11:40, 92284765, etc.)

Mission: To protect, promote & improve the health of all people in Florida through integrated state, county & community efforts.



Rich Scott Governor

John H. Armstrong, MD, FACG State Surgeon General & Secretary

Vision: To be the Healthiest State in the Nation

FOR FINAL APPROVAL TO BUILDING DEPARTMENT:

- MARTIN COUNTY: FAX 419-6934, PHONE 288-6489
CITY OF STUART: Fax 288-5368 Phone 288-5328
JUPITER ISLAND: Fax 545-0188 Phone 545-0150
X SEWALLS POINT: Fax 220-4785 Phone 2872455

FROM: Nick Clayton - EH DATE: 11/4/13

X SEPTIC SYSTEMS (SS) LIMITED USE PUBLIC WATER SYSTEM (57)

HEALTH DEPT. PERMIT #

BUILDING DEPT. PERMIT #

LOCATION

43-SS-1454452
43-57-
43-SS-
43-57-

10415
connected

11 SE Palmetto St
Stuart, FL 34994
11 Palmetto Rd.
Stuart FL 34996

Mission:

To protect, promote & improve the health of all people in Florida through integrated state, county & community efforts.



Rick Scott
Governor

John H. Armstrong, MD, FACO
State Surgeon General & Secretary

Vision: To be the Healthiest State in the Nation

FOR FINAL APPROVAL TO BUILDING DEPARTMENT:

___ MARTIN COUNTY: FAX 419-6934, PHONE 288-5489 ___ CITY OF STUART: Fax 288-5388 Phone 288-5326

___ JUPITER ISLAND: Fax 545-0188 Phone 545-0150 SEWALLS POINT: Fax 220-4765 Phone 2872455

FROM: Nick Clayton - EH DATE: 11/4/13

SEPTIC SYSTEMS (SS) ___ LIMITED USE PUBLIC WATER SYSTEM (57)

HEALTH DEPT. PERMIT #

BUILDING DEPT. PERMIT #

LOCATION

43-SS- 1454452

10415

^{S/B}
11 Palmetto DR
34996
11 SE Palmetto St
Stuart, FL 34994

43-57- _____

43-SS- _____

43-57- _____

43-SS- _____

43-57- _____

j:environmental health/ostds/forms/fax



--
Pam Mills
Rubin Custom Homes, LLC
office 772-283-0553
fax 866-480-7498

**Martin County, Florida
Laurel Kelly, C.F.A**

generated on 11/4/2013 12:17:45 PM EST

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
01-38-41-010-000-00080-3	17761	11 PALMETTO RD, SEWALL'S POINT <i>DR</i>	\$150,000	11/2/2013

Owner Information

Owner(Current)	SMITH ANTHONY D & MARY EDITH WHEATO SMITH MARY EDITH WHEATON & ANTHONY
Owner/Mail Address	2400 SE FEDERAL HWY 4TH FL STUART FL 34994
Sale Date	12/3/2012
Document Book/Page	2615 2244
Document No.	2364482
Sale Price	200000

Location/Description

Account #	17761	Map Page No.	SP-04
Tax District	2200	Legal Description	PALMETTO PARK LOT 8 OR 340/868
Parcel Address	11 PALMETTO RD, SEWALL'S POINT <i>DR</i>		
Acres	.4640		

Parcel Type

Use Code	0000 Vacant Residential
Neighborhood	120200 Heritage P, Palmito Pk,Rdglnd,

Assessment Information

Market Land Value	\$150,000
Market Improvement Value	
Market Total Value	\$150,000



HEARTH PRODUCTS

INSTALLATION INSTRUCTIONS

TOWN OF SEWALL'S POINT BUILDING DEPARTMENT FILE COPY

MERIT® SERIES

42" Wood Burning Fireplaces
P/N 850,047M REV. B 12/2008

MODELS

- RDI-42 HCI-42
RDI-42-H HCI-42-H

This installation manual will enable you to obtain a safe, efficient and dependable installation of your fireplace system. Please read and understand these instructions before beginning your installation.

Do not alter or modify the fireplace or its components under any circumstances. Any modification or alteration of the fireplace system, including but not limited to the fireplace, chimney components and accessories, may void the warranty, listings and approvals of this system and could result in an unsafe and potentially dangerous installation.

IMPORTANT! TO ASSURE PROPER ALIGNMENT OF GLASS DOORS: INSTALL THIS FIREPLACE IN A SQUARE AND PLUMB CONDITION, USING SHIMS AS NECESSARY AT SIDES AND/OR BOTTOM.



We suggest that our woodburning hearth products be installed and serviced by professionals who are certified in the U.S. by the National Fireplace Institute® (NFI) as NFI Woodburning Specialists or who are certified in Canada by Wood Energy Technical Training (WETT).



INSTALLER: Leave this manual with the appliance.
CONSUMER: Retain this manual for future reference.



OMNI Report No. 116-F-52-2

TABLE OF CONTENTS

Safety Rules	page 2
Tools and Building Supplies	page 2
Precautions	page 3
Introduction	page 3
Clearances/Height Requirements	page 3
Chimney System	page 3
Assembly Outline	page 4
Location of Fireplace	page 4
Assembly Steps	page 5
Preinstallation Notes	page 5
Clearances	page 5
Installing the Fireplace	page 5
Fireplace Specifications	page 6
Framing Specifications	page 7
Installing the Chimney System	page 8
30° Offset through Floor/Ceiling	page 9
Ten Foot Rule Summary	page 11
Multiple Terminations	page 11
Chimney Component Calculations	page 11
Special Offset Instructions	page 11
Vertical Elevation Chart	page 12
Offset Calculations	page 12
Offset Elevation Chart	page 13
Installing Offsets	page 14
Optional Equipment Considerations	page 14
Forced Air Kits	page 14
Combustion Air Kits	page 15
Gas Line Connection	page 15
Vent Free Appliances	page 15
Glass Doors	page 16
Cold Climate Insulation	page 16
Fireplace Finishes	page 16
Mantels and Trim	page 16
Hearth Extensions	page 16
Finish Requirements	page 18
Installation Components	page 19

This manual is part of a set of two supporting this product. Refer to manual 875,039M for Care And Operation Instructions.

IMPORTANT: PLEASE READ AND UNDERSTAND THESE RULES TO FOLLOW FOR SAFETY.

1. Before starting your fireplace installation, read these installation instructions carefully to be sure you understand them completely and in entirety. Failure to follow them could cause a fireplace malfunction resulting in serious injury and/or property damage.

2. Always check your local building codes. The installation must comply with all local, regional, state and national codes and regulations.

3. These fireplaces must be installed with Security Chimney's FTF8 (8" inside diameter) Chimney System only. These systems are intended for use in any application where a traditional masonry type fireplace would apply. The chimney system must always vent to the outside of the building.

4. To ensure a safe fireplace system and to prevent the build-up of soot and creosote, inspect and clean the fireplace and chimney prior to use and periodically during the heating season.

5. Use solid fuel only. DO NOT use artificial wax based logs, chemical chimney cleaners or flame colorants in your fireplace.

6. DO NOT use charcoal or coal under any circumstances.

7. NEVER use gasoline, gasoline-type lantern fuel, kerosene, charcoal lighter fluid, or similar liquids to start or "freshen up" a fire in this fireplace. Keep any flammable liquids a safe distance from the fireplace.

8. NEVER leave children unattended when there is a fire burning in the fireplace.

9. Always keep flue damper open when heat is present in the fireplace.

10. Before servicing, allow the fireplace to cool. Always shut off any electricity or gas to the fireplace while working on it. This will prevent any possible electrical shock or burns.

11. This fireplace is not intended to heat an entire home or be used as a primary heat source. It is designed to ensure homeowner comfort by providing supplemental heat to the room.

12. Always ensure an that adequate supply of replacement combustion air from the outside of the house is accessible to the fire to support normal combustion. Fireplaces consume large volumes of air during the normal combustion process. In the event the home is tightly sealed with modern energy efficient features, the optional combustion air kit may not provide all the air required to support combustion.

The manufacturer is not responsible for any smoking or related problems that may result from the lack of adequate combustion air. It is the responsibility of the builder/contractor to ensure that adequate combustion air has been provided for the fireplace.

13. DO NOT use a fireplace insert or any other products not specified herein by the manufacturer for use with this fireplace. All gas log sets must be operated with the damper clamped open, including unlisted "vent free" log sets. Listed "vent-free" log sets may be operated with the damper closed.

14. "Smoke free" operation is not warranted nor are we responsible for inadequate system draft caused by mechanical systems, general construction conditions, inadequate chimney heights, adverse wind conditions and/or unusual environmental factors or conditions beyond our control.

15. Never, under any circumstances, install a fireplace, chimney component or any accessories, that has visible or suspected physical damage as a result of handling or transportation. These items should be inspected by your distributor or qualified factory representative to ensure safe condition. When in doubt, consult your distributor.

16. For additional safety considerations and complete operating instructions, refer to the Care and Operation Manual provided with the fireplace.

TOOLS AND BUILDING SUPPLIES NORMALLY REQUIRED

Tools should include:

- Phillips screwdriver
- Hammer
- Saw and/or sabersaw
- Level
- Measuring tape
- Plumb line
- Electric drill and bits
- Pliers
- Square

Building supplies:

- Framing materials
- Wall finishing materials
- Caulking materials (noncombustible)
- Fireplace surround and hearth extension materials (noncombustible)

PRECAUTIONS

Note: These fireplace systems are not difficult to install. However, in the interest of safety, it is recommended that the installer be a qualified or certified "tradesman" familiar with commonly accepted fireplace installation and safety techniques as well as prevailing local codes.

The most important areas of concern dealing with the installation of factory-built fireplaces are clearances to combustible materials, proper assembly of component parts, height of the chimney system, the proper use of accessories supplied by the manufacturer and the techniques employed in using finishing materials applied to the wall surrounding the fireplace, hearth extensions and wall shields. Each of these topics will be covered in thorough detail throughout this manual. Please give each your special attention as you progress with your installation.

INTRODUCTION

General Information

These fireplaces are conventional radiant heat fireplaces with standard bar grates, optional outside combustion air kits and optional decorative glass doors.

The "C" models are designed as heat circulating fireplaces and may be fitted with accessory fans.

TYPICAL INSTALLATION

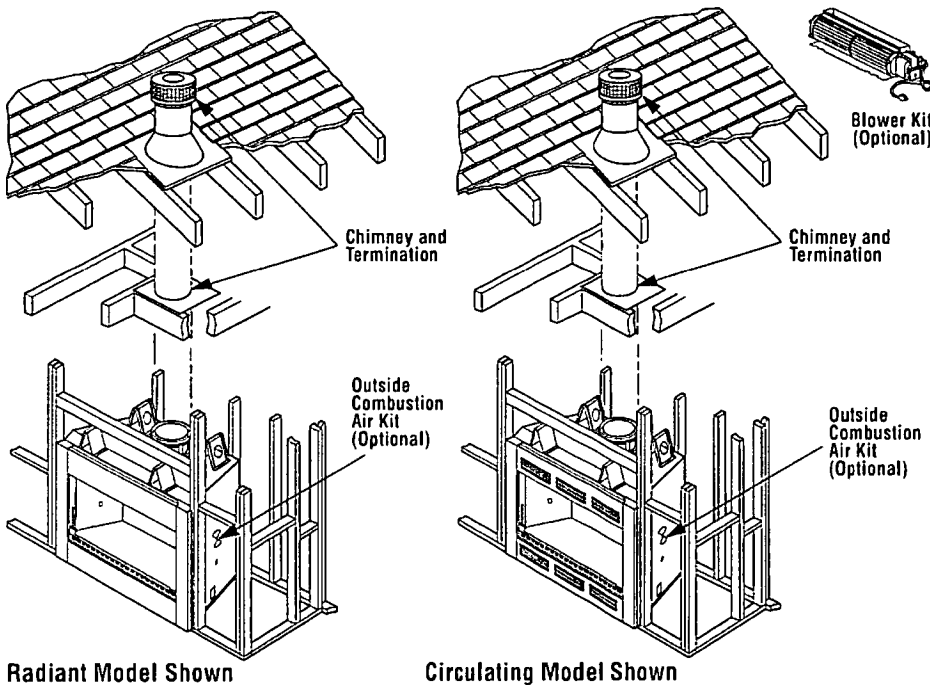


Figure 1

Note: Illustrations shown reflect "typical" installations with nominal dimensions and are for design and framing reference only. Actual installations may vary due to individual design preferences. However, always maintain minimum clearances to combustible materials and do not violate any specific installation requirements.

These fireplaces have been tested and listed by Omni-Test Laboratories (Report No. 116-F-52-2) to U.L. standard 127. These units are intended for installation in residential homes and other buildings of conventional construction including commercial, not in mobile homes.

These fireplaces have been tested for installation in Canada to ULC-S610. **For installations in Canada, the chimney clearance to combustibles must be 2 inches and the Cold Climate Kit must be installed.**

These fireplace systems are designed for installation in accordance with the National Fire Protection Standard for chimneys, fireplaces and solid fuel burning appliances; NFPA 211 and in accordance with codes such as the BOCA Basic/National Codes, the Standard Mechanical Code and the Uniform Building Codes.

WARNING: FAILURE TO USE MANUFACTURE PROVIDED PARTS, VARIATIONS IN TECHNIQUES AND CONSTRUCTION MATERIALS OR PRACTICES OTHER THAN THOSE DESCRIBED IN THIS MANUAL MAY CREATE A FIRE HAZARD AND VOID THE LIMITED WARRANTY.

When complete these fireplace systems consists of four basic "sub-systems":

1. The Fireplace
2. The Chimney and Termination
3. The Optional Glass Doors
4. The Optional Combustion Air Kits
5. Optional Cold Climate Kit (Mandatory in Canada).

CLEARANCES AND HEIGHT REQUIREMENTS

The fireplace may be placed on or near normal construction materials*. The combustion air kit, firestop spacer and roof flashing (not chase flashings) may be placed directly on or against normal construction materials.* **The chimney requires a minimum 2" air space clearance to combustibles. The fireplace outer wrapper requires a minimum 1" air space clearance to combustibles.** A combustible mantle may be installed 12" above the opening of the fireplace as per NFPA 211, Section 7-2.3.3. In Canada, the minimum is 18" above the fireplace opening.

The minimum installed height of the completed fireplace system is 15' 0". The maximum height is 60' 0".

The fireplace and chimney system must be enclosed when installed in or passing through a living area where combustibles or people may come in contact with it. This is important to prevent possible personal injury or fire hazard.

For questions, please call your distributor or the manufacturer. Special restrictions apply to the front and facing of the fireplace and nearby walls (See pages 16, 17 and 18).

CHIMNEY SYSTEM

These fireplaces are designed and code listed for use with Security Chimneys FTF8 chimney System only. Always use Security Chimneys FTF8 chimney components with these fireplaces. Do not modify or alter these components as this may cause a potential serious hazard and void the Warranty.

*Construction Materials:

- framing materials
- particle board
- dry wall
- plywood
- paneling
- flooring
- etc.

NOTE: DIAGRAMS & ILLUSTRATIONS NOT TO SCALE.

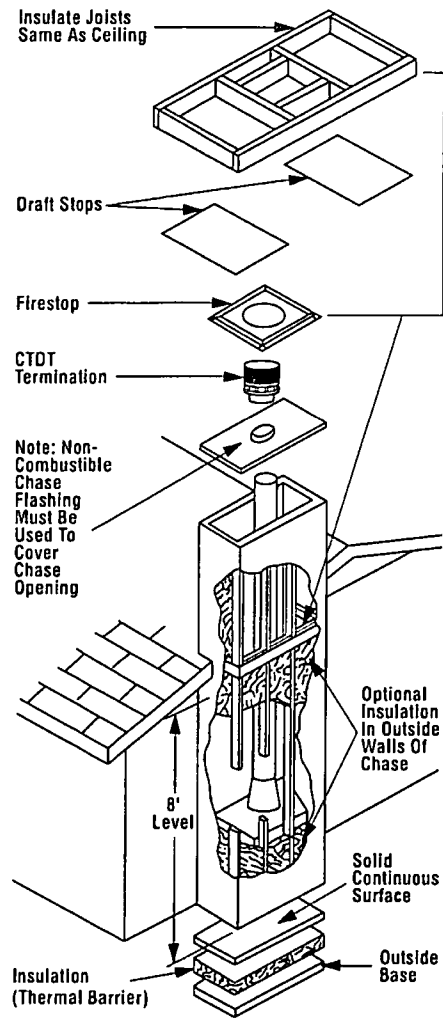


Figure 2

WARNING: IF INSULATION IS USED, THE FIREPLACE MUST NOT BE PLACED DIRECTLY AGAINST IT. INSULATION OR VAPOR BARRIERS, IF USED, MUST FIRST BE COVERED WITH GYPSUM BOARD, PLYWOOD, PARTICLE BOARD OR OTHER MATERIAL TO ASSURE INSULATION AND VAPOR BARRIERS REMAIN IN PLACE.

WARNING: DO NOT PACK OR FILL REQUIRED AIR SPACES WITH INSULATION OR OTHER MATERIAL. NO MATERIAL IS ALLOWED IN THESE AREAS.

Note: Do not insulate the chase cavity with blown or fill type insulation materials.

Note: Local codes may not require firestopping at the ceiling levels for outside chase installations. However, it is recommended for safety and the reduction of heat loss.

Chimney Height

The total height of your completed fireplace system from the surface the fireplace rests on to the chimney top must not exceed 60' and must also meet minimum height requirements. Refer to the minimum system height chart.

Minimum System Height

Security's FTF8 Pipe	
Vertical Installation	15' 0"
One Offset	15' 0"
Two Offsets	25' 0"

Chase Enclosure

A chase is a vertical box-like structure constructed to surround the fireplace and chimney. Refer to **Figure 2** for a typical chase configuration. As with all chimney installations, avoid overhead obstructions such as trees, power lines, etc. A chase should be constructed and insulated just like any outside wall. In a cold climate, we recommend the base of the chase should also be insulated between the solid continuous floor beneath the fireplace and the chase bottom. Chase insulation in a cold climate installation is not required for safety.

ASSEMBLY OUTLINE Before You Start

Check your inventory list to be sure you have all the necessary parts supplied in good usable condition. Check also for any concealed damage.

Check the operation of the damper. The damper is controlled through the use of a control lever located within the firebox opening at the top center just behind the firebox lintel (**Figure 3**). The control lever snaps into place at the extreme range of motion, up and back in the closed position. When pulled forward and down, the damper is open.

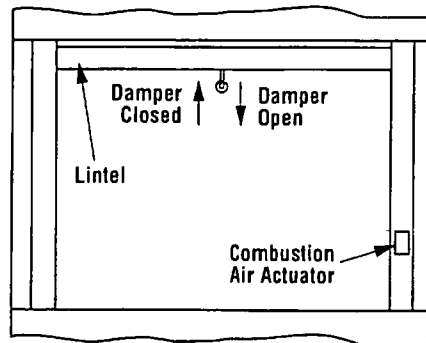


Figure 3

LOCATION OF FIREPLACE

Carefully select the proper location for heat circulation, aesthetics, chimney obstructions and clearance to side wall(s). With proper pre-planning, a slight adjustment of a few inches can save considerable time and expense later during construction and assembly.

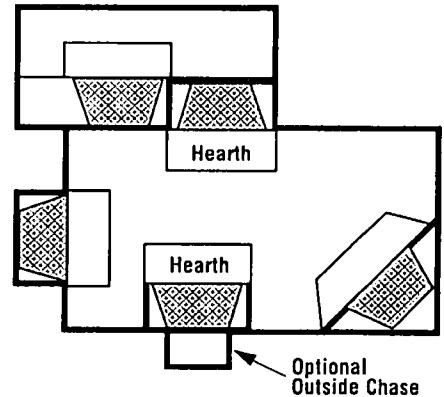


Figure 4

Carefully consider the position of the fireplace opening with respect to the location of adjacent or nearby stairwells, bath or kitchen exhaust fans and/or return air registers for forced air furnaces/air conditioners that could cause a smoking fireplace condition if the house is tightly insulated.

When locating the fireplace, consideration must be given to combustibles and final finishing. See **Figure 5** and confine the final location of combustible finish materials to the "Safe Zone".

DO NOT permanently place furniture or other items such as decorative pillows within 60" of the fireplace front face.

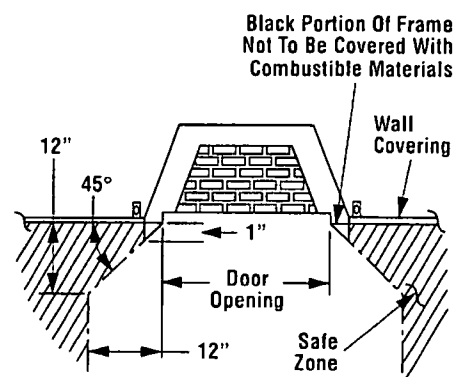


Figure 5

ASSEMBLY STEPS

Note: The following steps represent the normal sequence of installation. Each installation is unique, however, and might require a different sequence.

1. Position firebox prior to framing or into prepared framing.
2. Install the chimney system.
3. Connect house wiring to the fireplace for later attachment of optional blower.
4. Install optional outside combustion air kit.
5. Plumb gas line if a decorative gas appliance will be used. (Gas connections should only be performed by an experienced, licensed/certified tradesman.)
6. Complete the installation, finish wall material, surround and hearth extension to your individual taste.
7. Assemble and attach optional glass door assembly.

Study the three dimensional illustration (*Figure 1*) to get a general idea of each element of your fireplace system.

PRE-INSTALLATION NOTES

The fireplace may be installed directly on a combustible floor or raised on a platform of an appropriate height. Do not place fireplace on carpeting, vinyl or other soft floor coverings. It may, however, be placed on flat wood, plywood, particle board or other hard surfaces. Be sure fireplace rests on a solid continuous floor or platform with appropriate framing for support and so that no cold air can enter the room from under the fireplace.

The fireplace may be positioned and then the framing built around it, or the framing may be constructed and the fireplace positioned into the opening.

Usually, no special floor support is needed for the fireplace, however, to be certain:

1. Estimate the total weight of the fireplace system including chimney and surround materials such as brick, stone, etc., to be installed. Shipping weights for the fireplace may be found on page 18.

2. Measure the square footage of the floor space to be occupied by the system, surrounds and hearth extensions.

3. Note the floor construction, i.e. 2 x 6's, 2 x 8's or 2 x 10's, single or double joists, type and thickness of floor boards.

4. Use this information and consult your local building code to determine if you need additional support.

CAUTION: DO NOT BLOCK THE HEAT-CIRCULATING AIR INLET AND OUTLET PORTS ON CIRCULATING MODELS. DOING SO MAY RESULT IN A POTENTIAL FIRE HAZARD.

If you plan to raise the fireplace and hearth extension, build the platform assembly then position fireplace and hearth extension on top. Secure the platform to the floor to prevent possible shifting.

CLEARANCES

Minimum clearance to combustibles for the appliance is as follows: sides and back - 1" (25 mm), floor - 0" (0 mm), adjacent wall - 12" (305 mm), ceiling - 37-1/2" (953 mm).

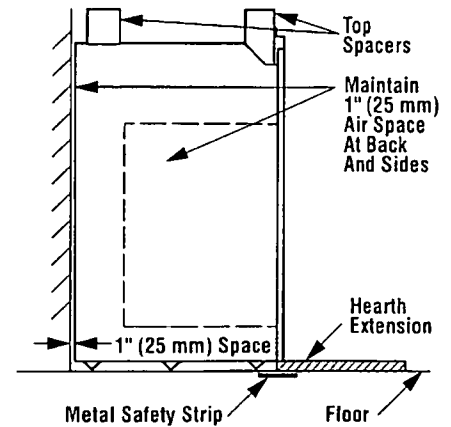
INSTALLING THE FIREPLACE

Step 1. Slide the fireplace into prepared framing or position fireplace in its final position and frame later.

The fireplace may not be recessed into a combustible floor. Maintain the floor to hearth clearance established by the fireplace lower front face.

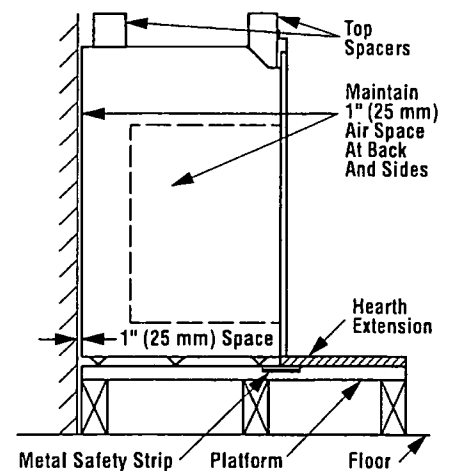
Step 2. Insert the provided metal safety strips, beneath the fireplace as illustrated (*Figures 6, 7 and 8*). The safety strips should overlap 1/2" for continual coverage of the floor.

Note: Safety strips are not required when fireplace rests on a noncombustible surface.



Note: Hearth extensions must not interfere with circulating grillwork

Figure 6



Note: Hearth extensions must not interfere with circulating grillwork

Figure 7

Note: Install the hearth extension only as illustrated.

The safety strips should extend from front of the fireplace at least 1-1/2" and should extend to be at least flush with the sides. In the event a wooden support is used to elevate the fireplace above the floor, a "Z" type safety strip should be fabricated and used to protect the front surface of the wood support as well as the floor beneath the hearth extension (*Figures 8 and 9*). The safety strips should be tacked down to prevent possible movement.

Note: The "Z" type safety strip is not supplied.

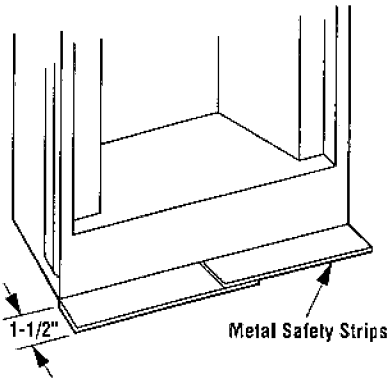


Figure 8

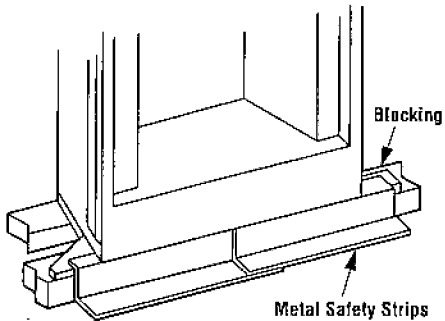


Figure 9

Step 3. Refer to fireplace drawings and specifications on pages 6 and 7 for framing dimensions and details. Frame appliance enclosure as illustrated in **Figures 11 through 14** on page 8.

IMPORTANT: UNDER NO CIRCUMSTANCES CAN THE FIREPLACE TOP SPACERS (FIGURE 10) BE REMOVED OR MODIFIED, NOR MAY YOU NOTCH THE HEADER TO FIT AROUND OR BE INSTALLED LOWER THAN THE SPACERS. THE HEADER MAY BE IN DIRECT CONTACT WITH THE TOP SPACERS BUT MAY NOT BE SUPPORTED BY THEM.

Note: The framed depth, 23-7/8" (606 mm) from a framed wall, must always be measured from a finished surface. If a wall covering such as drywall is to be attached to the rear wall, then the 23-7/8" (606 mm) must be measured from the drywall surface. It is important that this dimension be exact.

If the appliance is to be elevated above floor level, a solid continuous platform must be constructed.

The header may rest on the top metal spacers, but must not be notched to fit around them.

Consult all local codes.

FIREPLACE SPECIFICATIONS

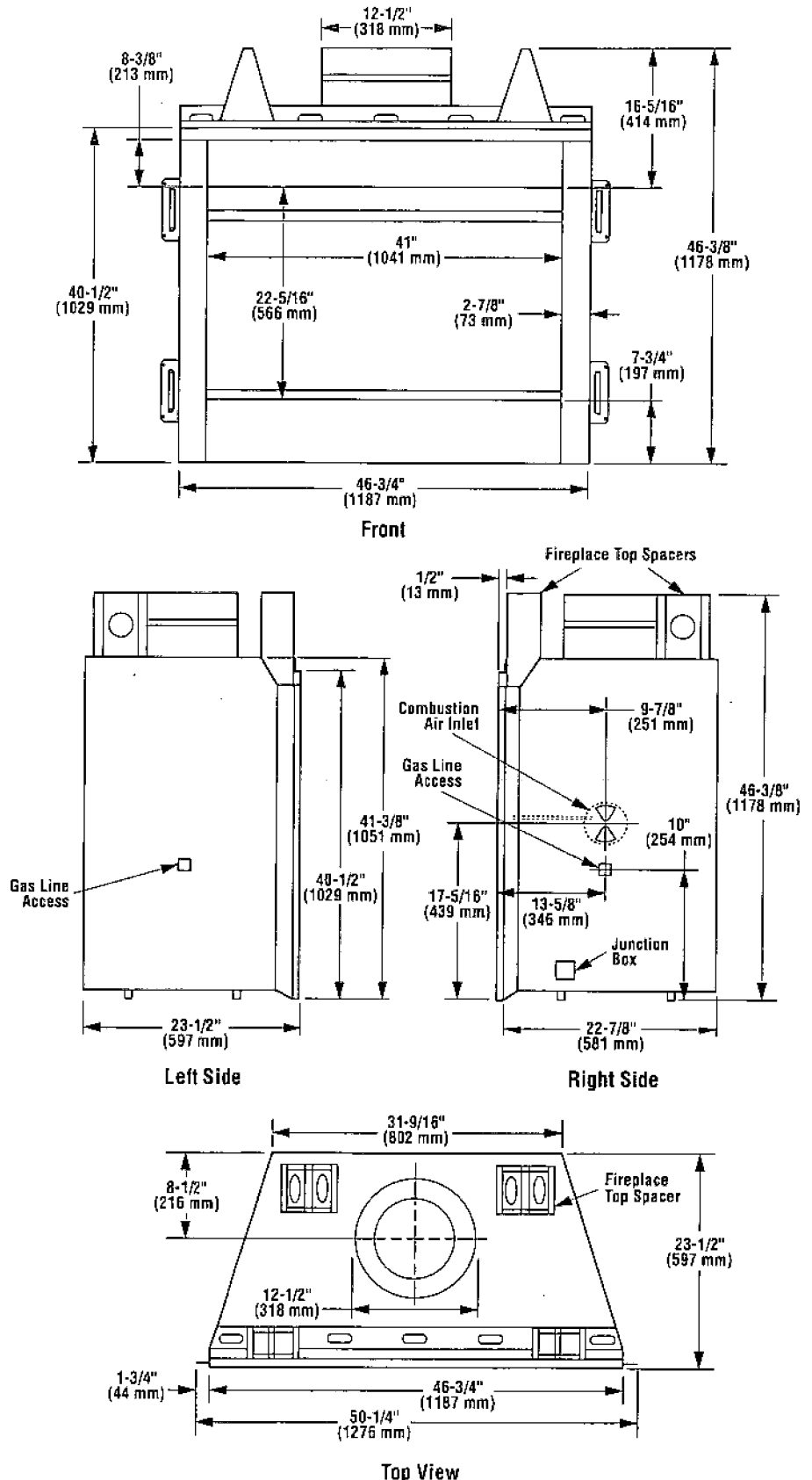


Figure 10

NOTE: DIAGRAMS & ILLUSTRATIONS NOT TO SCALE.

FRAMING SPECIFICATIONS

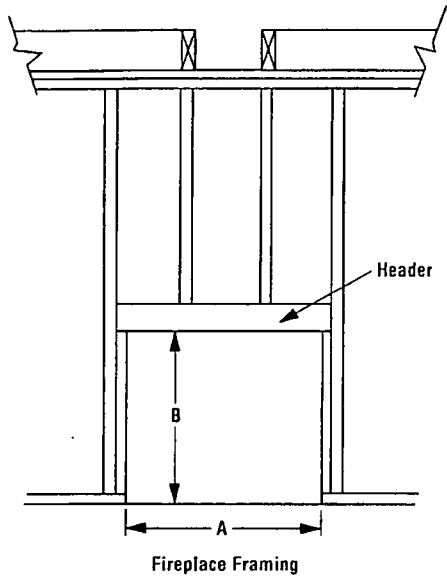


Figure 11

Framing Dimensions

A	49"	1245 mm
B	46-1/2"	1181 mm
C	33"	838 mm
D	17-1/2"	445 mm
E	81"	2057 mm
F	40-3/8"	1026 mm
G	24"	607 mm
H	23"	584 mm
J	57-1/4"	1454 mm

Note: All framing dimensions calculated for 5/8" nailing flange depth and 1/2" dry wall at the fireplace face. If sheathing the chase or finishing with other thickness materials, calculations will need to be made.

Note: A, C and G dimensions include 1" clearance to combustibles.

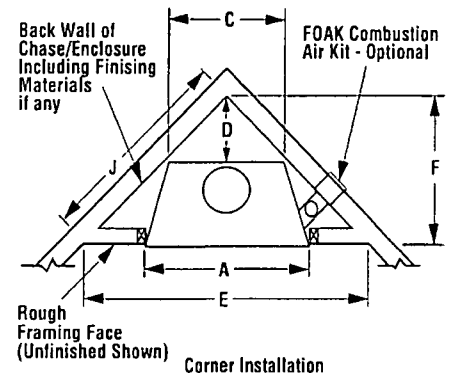


Figure 14

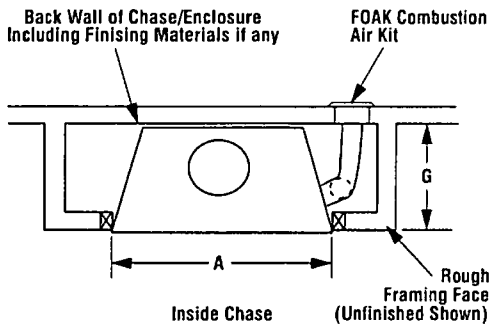


Figure 12

Framing Dimensions for Ceiling

Flue Type	A	B
FTF8 Vertical	16-1/2" (419 mm)	16-1/2" (419 mm)
FTF8 Offset 30°	16-1/2" (419 mm)	27" (686 mm)

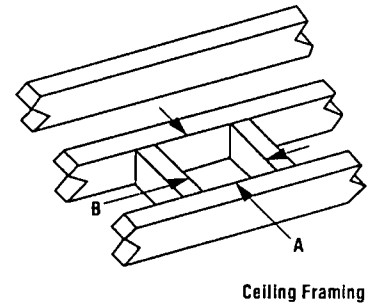


Figure 15

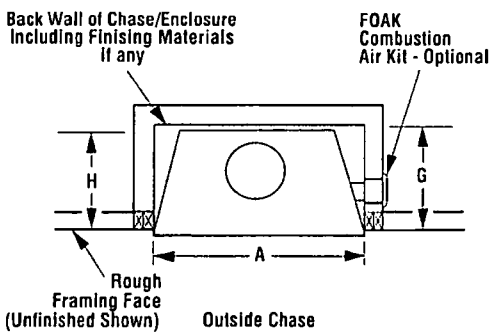


Figure 13

Framing Dimensions for Roof

Pitch	C	D*
0/12	16-1/2" (419 mm)	16-1/2" (419 mm)
6/12	16-1/2" (419 mm)	19" (483 mm)
12/12	16-1/2" (419 mm)	23-1/2" (597 mm)

* Perpendicular to roof ridge

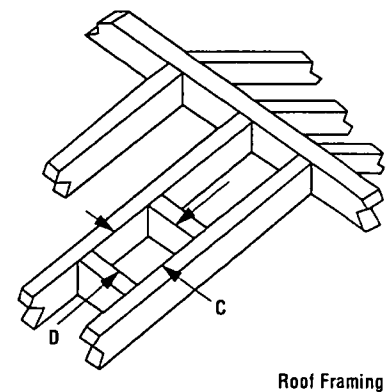


Figure 16

Step 4. Fireplace should be secured to side framing members using the nailing tabs at the top and bottom of the fireplace front face. Use 8d nails or equivalent (*Figure 17*).

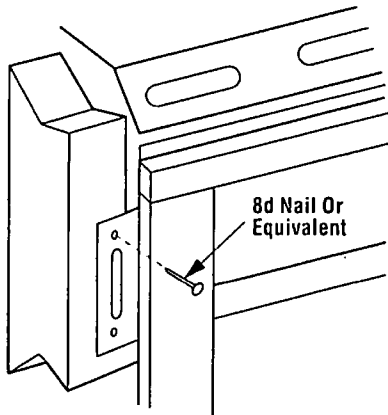


Figure 17

Note: The nailing tabs and the area directly behind the nailing tabs are exempt from the clearances described on page 5. Maintain at least 1" clearance from the firebox wrapper to the framing at the closest point of contact, directly adjacent to the flange.

For Canadian Installations Proceed with Steps 5 through 8

Step 5. Attach the cold climate kit, Model CCK-HCRD, around the chimney collar with the screws provided (see *Figure 18*).

Note: CCK-HCRD model requires a 6" diameter Class 0 metallic air duct, acquired locally by installer.

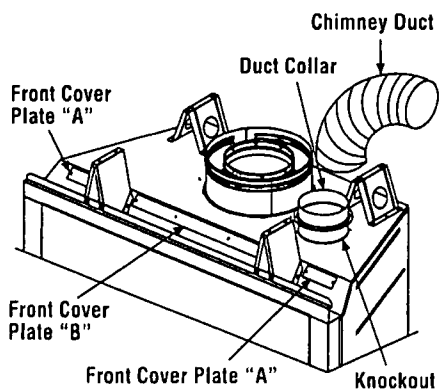


Figure 18

Step 6. Connect the 6" (152 mm) Class 0 metallic air duct to the collar on the chimney collar enclosure with the screws provided in the hardware kit.

Step 7. Route the Class 0 metallic air duct out the back wall or side wall, up through the ceiling or floor joists to an outside wall. The air duct's inlet should be located above any anticipated snow level.

Note: If the fireplace is installed against an inside wall, the Class 0 metallic air duct may be extended into a ventilated attic space at least 18" (457 mm) above the attic floor. Secure the duct hood to a vertical post with the inlet positioned downward. Ensure that nothing blocks the hood opening. This air duct must never terminate higher than the fireplace chimney.

Step 8. Cut or frame a hole through the outside wall for the installation of the duct inlet hood. A 6-1/2" (165 mm) diameter hole is required. Feed the loose end of the flexible duct through the hole cut for the inlet hood and attach to the collar on inlet hood using two (2) screws. Insert the hood into the opening. Secure in place with nails driven through the holes in hood flange. Seal with noncombustible waterproof silicon type caulking. If additional air duct is needed, use Class 0 metallic duct.

INSTALLING THE CHIMNEY SYSTEM

Step 1. Before continuing, check the operation of the damper, as described on page 4, (refer to *Figure 3*).

Step 2. Using standard construction framing techniques, construct opening for chimney route up through the ceiling(s) and roof or through an outside chase.

Framing must maintain adequate minimum air space clearance at all times.

CAUTION: ALLOW MINIMUM 2" CHIMNEY AIR SPACE TO COMBUSTIBLE FRAMING MEMBERS THROUGHOUT VERTICAL OR OFFSET CHIMNEY INSTALLATION.

A minimum 2" air space must be reserved for all combustible materials extending for any continuous length surrounding the chimney.

Reference *Figures 15 and 16* and charts Framing Dimensions for Ceiling and Roof, which specify minimum ceiling and roof dimensions.

In new construction, to determine chimney center line, use plumb line from roof or ceiling above fireplace to center of flue collar on fireplace.

For remodeling, plumb to center of flue collar from ceiling above, drive nail through ceiling from below to mark position, then mark and cut to passage from above ceiling (around nail) (see *Figure 19*). Then plumb from ceiling or roof level directly above hole which has just been completed.

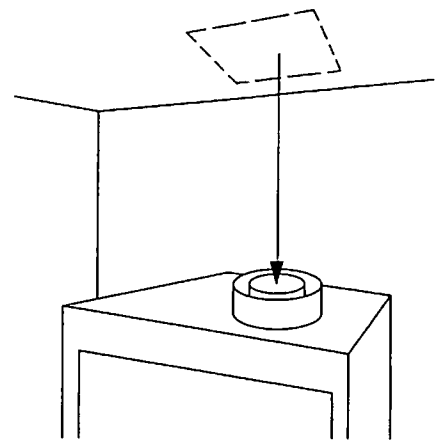


Figure 19

Step 3. Position appropriate firestop spacer at ceiling and fasten temporarily with two (2) 8d nails or equivalent. Use flat firestop spacer, Model F8FS-2, if chimney penetrates ceiling vertically. If chimney penetrates ceiling at 30° angle (offset chimney), use 30° firestop spacer, Model F8FS30-2. Use one nail on opposite sides to hold firestop spacer in position. Fasten permanently, using at least two (2) more 8d nails or equivalent, after chimney sections have been assembled through the firestop spacer and after any necessary adjustments have been made. Firestop spacer must be secured by at least four (4) 8d nails or equivalent when completely installed.

Note: If there is a room above ceiling level, firestop spacer must be installed on the bottom side of the ceiling. If an attic is above ceiling level, firestop spacer must be installed on top side of ceiling joist (*Figures 20 and 21*).

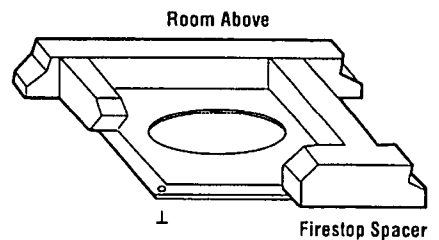


Figure 20

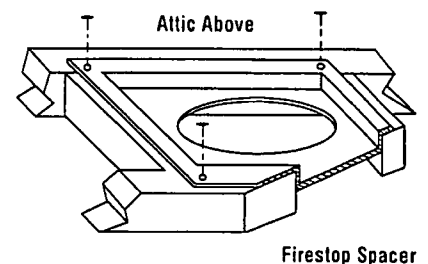


Figure 21

CHIMNEY 30° OFFSET THROUGH FLOOR OR CEILING

It may be necessary to assemble the chimney at 30° when passing through the floor or ceiling area. Use the F8FS30-2 firestop spacer as shown in **Figures 22 and 23**. Support the chimney at floor or ceiling penetration with a FTF8 stabilizer if distance of chimney below ceiling is 10' or more. Maintain 2" minimum air space to combustibles from chimney sections.

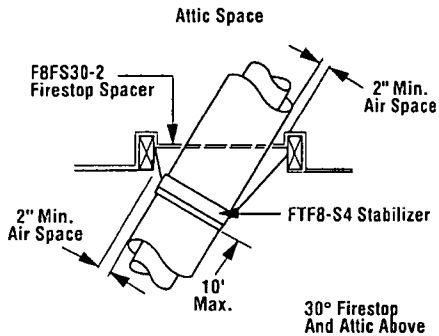


Figure 22

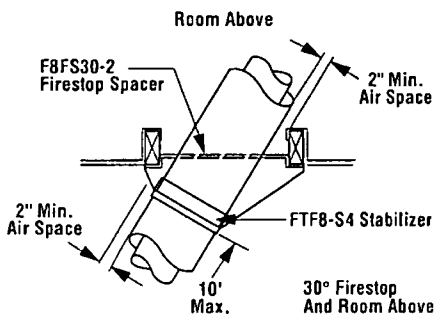


Figure 23

For Canada Only

When installing the chimney system through an open attic space, the attic shield assembly-firestop spacer must be used (**Figure 24**). This installation is required only for use in Canada.

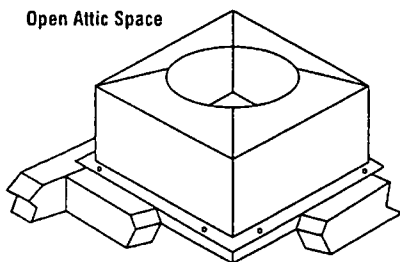


Figure 24

Note: For Canadian installations, all chimney installed outside the building must be constructed with galvalume (outer sections only) effective January 1, 1992. The appropriate model designations are located in the back of this manual.

Step 4. Note: Chimney sections are constructed with a unique locking tab design, which ensures an immediate, tight assembly between sections. Plan your chimney requirements carefully before assembly as chimney is difficult to disassemble after installation. If disassembled, the tabs might become damaged. Be certain tabs are properly formed to ensure locking tabs engage properly.

The Security FTF8 chimney system is a two piece chimney, which snap together from the fireplace up. Start with the inner flue section with the lanced end up, snap lock it in to the matching collar on top of the fireplace. At all subsequent joints, the upper flue section fits into the preceding flue section. Each piece snaps together by means of locking tabs (9 locking tabs per joint). Check each piece by pulling up slightly from the top to ensure proper engagement before installing the next section. If the flue has been installed correctly, it will not separate when you test it. Also, the inner flue joint where each section is joined should be tight and flat without gaps (**Figure 25**).

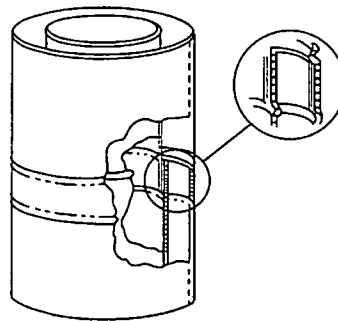


Figure 25

Outer pipe section installs in just the opposite way; the lanced end goes down and each new section goes OVER the outside of the previous section installed (**Figure 26**).

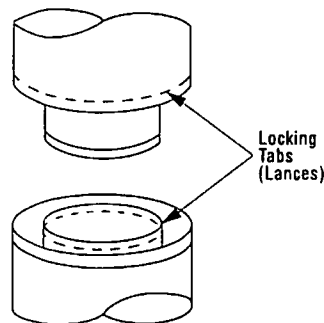


Figure 26

Note: Assemble one component of chimney at a time (inner section first, then outer section last) before proceeding with the next complete section.

Continue to assemble the chimney up through framed opening. Assemble just enough to penetrate the roof flashing openings (**Figure 27**). Always maintain 2" minimum air space to combustible materials and always check each chimney joint (inner and outer) to ensure proper engagement. Check vertical alignment of chimney so that it projects from the roof in true vertical position.

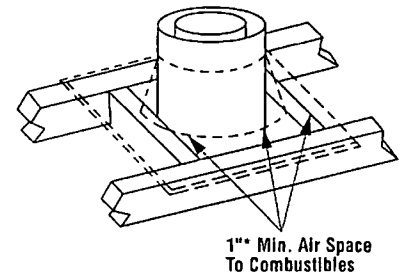


Figure 27

Security's chimney sections do not need to be screwed together. Additional reinforcement is not necessary except in certain offset conditions (refer to page 14, **Figure 38**).

Step 5. The height of vertical chimney pipe supported only by the fireplace must not exceed 30'. Chimney heights above 30' must be supported by a Model FTF8-S4 stabilizer installed at 30' intervals.

Note: The Model FTF8-S4 adds 3" net effective height to the total chimney system.

Install the Model FTF8-S4 stabilizer by fitting inner section down into respective section of proceeding flue pipe and locking outer stabilizer section into place over the outer chimney pipe. Position for proper clearance through framed opening and nail straps securely (under tension in "shear") into place on framing. Use 8d nails. Attach successive lengths of chimney pipe directly to stabilizer using same techniques as described in Step 4 (**Figure 28**).

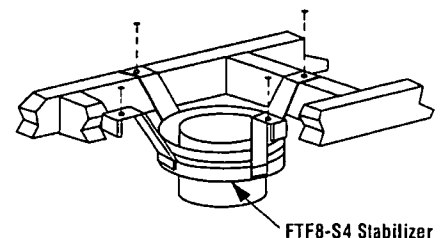


Figure 28

Note: Do not apply excessive pressure to any subsequent chimney sections following the stabilizer when installing. Ensure each subsequent chimney section is securely attached by testing as noted in Step 4.

Step 6. Select the proper Security roof flashing based on pitch of roof. Use chart below for selection:

Roof Pitch	Model
Flat to 6/12	F8F6
6/12 to 12/12	F8F12

Next, slide roof flashing over extended chimney section that previously has been installed above the roof opening in Step 4. FTF8 flashings require flashing spacers. Slide flashing all the way down until the flashing base rests flat on the roof (**Figure 29**). Again, check the vertical position of the chimney and the 2" minimum air space to combustibles.

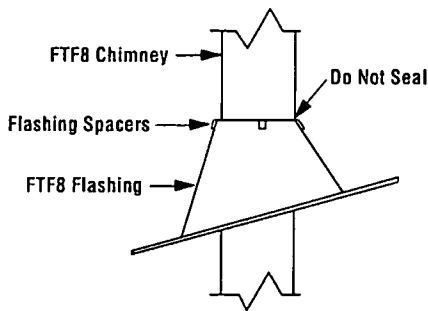


Figure 29

Note: Do not caulk or seal the ventilating openings.

Step 7. Secure flashing by nailing along the perimeter into roof using 8d nails or equivalent. If shingled roof, slide upper end and sides of roof flashing under shingles (trim if necessary), seal the top and both sides of the flashing to the roof with roof caulking. Cover nail heads with roof caulking (**Figure 30**).

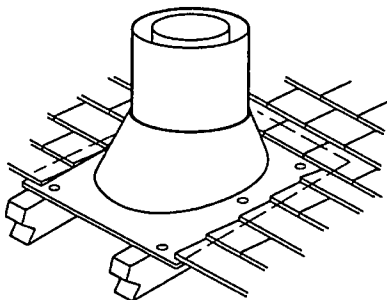


Figure 30

Step 8. Slide the FTF8 storm collar (ordered separately) over outer chimney, rest on flashing spacers and align with top surface of flashing. Insert tab in slot, pull tight and bend tab back over slot. Seal storm collar to outer chimney with roof caulking or mastic around entire circumference of pipe. Also add extra roof caulking to the tab/slot area to seal completely against water penetration (**Figure 31**). Check all joints very carefully to ensure no water intrusion can take place.

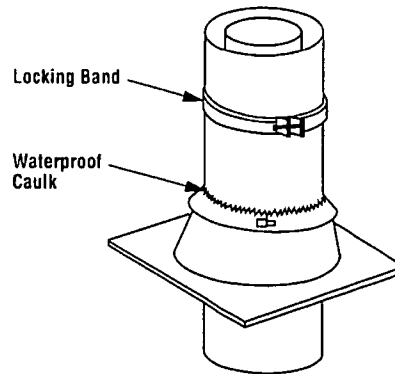


Figure 31

Step 9. Security Chimneys locking bands, Model FLB, may be required if the chimney extends too high above the roof flashing. As a general rule, if the chimney extends more than 6' above the roof flashing, the use of locking bands is advisable to strengthen the chimney assembly. Align the locking band at the chimney joint. Locking bands wrap around pipe joints equally covering the joints of both pipe sections. Use the nut provided and TIGHTEN snugly. Do not overtighten as this might damage the chimney section (refer to **Figure 31**).

Note: If chimney extends more than 8' above roof surface, guy wires are also recommended. Use three (3) guy wires, attach to locking band assembly, extend and secure to roof in a triangular pattern (**Figure 32**). Guy wires are not supplied by the manufacturer.

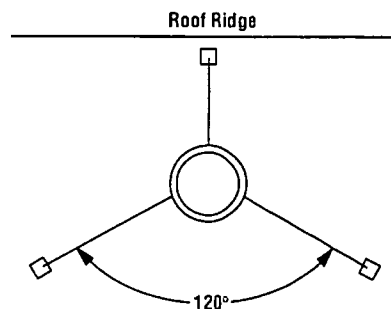


Figure 32

Step 10. Using a FTF8-CTD Round Termination:

1. Hold the FTF8-CTD over top of last chimney section (**Figure 33**).
2. Center inner slip section in inner flue pipe-slip down.
3. Center outer locking section over outer flue pipe. Push down until locking tabs are firmly engaged.

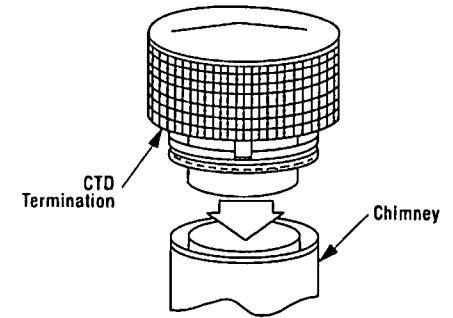


Figure 33

4. Pull up slightly on CTD to ensure locking joint has firmly engaged.

Using a FTF8-CTDT Chase Termination:

Refer to specific installation instructions included with the FTF8-CTDT chase termination for clearance and installation details.

Using a FTF8-CT1 Chase Termination:

Refer to specific installation instructions included with FTF8-CT1 chase terminations for clearance and installation details.

Using a FTF8-CT2 Chase Termination:

Refer to specific installation instructions included with FTF8-CT2 chase terminations for clearance and installation details.

Using a FTF8-CTT Chase Termination:

Refer to specific installation instructions included with FTF8-CTT chase terminations for clearance and installation details.

Using a FTF8-ATT Chase Termination:

Refer to specific installation instructions included with FTF8-ATT chase terminations for clearance and installation details.

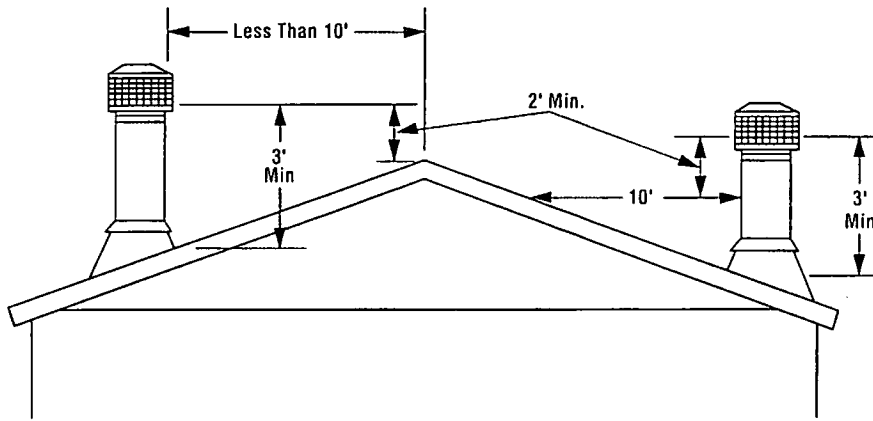


Figure 34

Note: It is recommended that all exterior exposed metal fireplace components; such as terminations, flashings, storm collars and/or flue be painted with a premium quality, high temperature, rust preventative paint designed for metal. This is especially important when installations are made in abnormally adverse or corrosive environments; such as near lakes, oceans or in areas with consistently high humidity conditions. Consult the paint manufacturers instructions for proper preparation and application.

TEN FOOT RULE SUMMARY

The minimum chimney height above the roof and/or to adjacent walls and buildings is specified by all major building codes.

If the horizontal distance from the peak of the roof is less than 10', the top of the chimney must be at least 2' above the peak of the roof.

If the horizontal distance from the chimney edge to the peak of the roof is more than 10' a chimney height reference point is established on the roof surface 10' horizontally from the chimney edge. The top of the chimney must be at least 2' above this reference point. In all cases, the chimney cannot be less than 3' above the roof at the edge of the chimney.

The 2' in 10' rule is necessary in the interest of safety but does not ensure smoke-free operation. Trees, buildings, adjoining roof lines, adverse wind conditions, etc., may require a taller chimney should the fireplace not draft properly (see **Figure 34**).

MULTIPLE TERMINATIONS

If more than one termination is located in the same chase or within the same general proximity, we suggest they should be separated in distance at least 24" horizontally from flue center to flue center and stacked vertically at least 18" apart, from the termination of one smoke exit to the termination of another smoke exit (**Figure 35**).

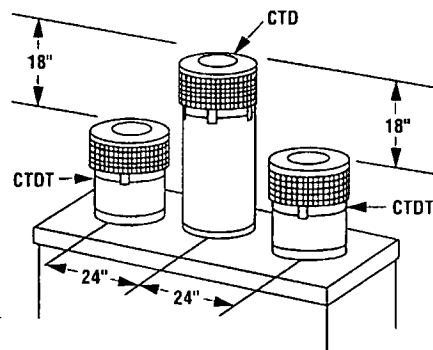


Figure 35

This suggestion is provided in the interest of better operation. If the terminations are located too close to each other, smoke may migrate from one flue into the other.

FTF8 CHIMNEY COMPONENT CALCULATIONS

The minimum installed height of the completed fireplace system is 15' 0". The maximum height is 60' 0".

To determine the number of chimney sections and chimney components required, follow these steps:

1. Determine total vertical height of the fireplace installation. This dimension is the distance from the surface the fireplace sets on to the point where smoke exits from the termination.
2. Determine the number of chimney components required, except chimney sections. This would include firestop spacers, stabilizers, roof flashing, etc.
3. The effective heights of the components are:

The Fireplace	=	45-3/8"
FTF8-12	=	10-1/4"
FTF8-18	=	16-1/4"
FTF8-36	=	34-1/4"
FTF8-48	=	46-1/4"
FTF8-CTD Termination	=	4"
FTF8-CT1 Termination	=	12" to 18"
FTF8-CT2 Termination	=	15" to 23"
FTF8-CTDT Termination	=	12" to 18"
FTF8-CTT Termination	=	6" to 14"
FTF8-ATT Termination	=	8" to 14"
FTF8-S4 Stabilizer *	=	3"

* Required for every 30' of vertical chimney and/or 10' of offset chimney.

4. Determine amount of chimney height required by subtracting total combined height of all pre-selected components (fireplace and chimney components from total desired height.)

Reference Vertical Elevation Chart and determine the number of chimney sections (quantity and length) required.

SPECIAL OFFSET INSTRUCTIONS

To clear any overhead obstructions, you may offset your chimney system using Security's 30° offset and return elbows. Use two elbows - an offset elbow to initiate the offset and a return elbow to terminate it. A 30° offset elbow, angling in any direction, may be the first component used off the top of the fireplace flue collar.

FTF8 VERTICAL ELEVATION CHART

The offset and return elbows may be attached together, or a section or sections of chimney may be used between, but do not exceed 20' in total length between elbows. If sections of pipe exceed 10' between elbows, a chimney stabilizer must be used at the midpoint (*Figure 36*). The stabilizer support straps must be attached under tension (in shear) to structural framing members above. When two sets of elbows are used, the maximum combined length of chimney used between elbows cannot exceed 20' (*Figure 37*). **Example:** If $C_1 = 10'$ then C_2 cannot exceed 10'.

If an offset exceeds 6' in length, each chimney joint beyond the first 6' of offset to the return elbow, must be secured by a No. 8 x 1/2" sheet metal screw located at the underside of the joint (*Figure 38*).

A 1/8" diameter hole must be drilled in the chimney joint using a 1/8" diameter drill. Hole should be drilled in center of joint overlap (*Figure 39*). Be sure to drill only through the outer chimney casting. Do not puncture the inner flue.

Maximum offset of chimney system is 30°. Two offsets must not be assembled to form a 60° offset. However, two sets of offset and return elbows may be used on a single flue system, provided the total height of the system exceeds 25'.

Return elbow support straps must be securely attached under tension (in shear) to structural framing members above. Do not substitute a FTF8-30 offset elbow in place of a FTF8-E30 return elbow.

OFFSET CALCULATIONS

Step 1. Use Offset Chart to determine amount of horizontal offset (A) and height (B) for various chimney section assemblies.

Step 2. Use "Height of Chimney Only" column in The Vertical Elevation Chart to determine combinations of chimney used above return elbow to achieve desired heights. Reference Components Effective Height Chart in vertical elevation chart section.

Step 3. Use Elevation Chart as job estimator only. Add necessary firestop spacers and stabilizers as required. Firestop spacers must be used as shown in *Figures 22 and 23* and stabilizers as shown in *Figure 28*.

Height Of Chimney Only		Number Of FTF8 Chimney Lengths				Height Of Chimney Only		Number Of FTF8 Chimney Lengths			
Inches	Feet/Inches	12"	18"	36"	48"	Inches	Feet/Inches	12"	18"	36"	48"
11	0 11	1	0	0	0	386 1/2	32 2 1/2	0	1	0	8
17	1 5	0	1	0	0	390 3/4	32 6 3/4	2	0	0	8
21 1/4	1 9 1/4	2	0	0	0	396 3/4	33 0 3/4	1	1	0	8
27 1/4	2 3 1/4	1	1	0	0	404 1/2	33 8 1/2	0	0	1	8
35	2 11	0	0	1	0	414 3/4	34 6 3/4	1	0	1	8
47	3 11	0	0	0	1	416 1/2	34 8 1/2	0	0	0	9
51 1/4	4 3 1/4	0	1	1	0	420 3/4	35 0 3/4	0	1	1	8
57 1/4	4 9 1/4	1	0	0	1	426 3/4	35 6 3/4	1	0	0	9
63 1/4	5 3 1/4	0	1	0	1	432 3/4	36 0 3/4	0	1	0	9
67 1/4	5 7 1/4	2	0	0	1	437	36 5	2	0	0	9
73 1/4	6 1 1/4	1	1	0	1	443	36 11	1	1	0	9
81 1/4	6 9 1/4	0	0	1	1	450 3/4	37 6 3/4	0	0	1	9
93 1/4	7 9 1/4	0	0	0	2	461	38 5	1	0	1	9
97 1/4	8 1 1/4	0	1	1	1	462 3/4	38 6 3/4	0	0	0	10
102 1/2	8 6 1/2	1	0	0	2	466 3/4	38 10 3/4	0	1	1	9
109 1/4	9 1 1/4	0	1	0	2	472	39 4 3/4	1	0	0	10
113 1/2	9 5 1/2	2	0	0	2	478 3/4	39 10 3/4	0	1	0	10
119 1/2	9 11 1/2	1	1	0	2	483	40 3	2	0	0	10
127 1/4	10 7 1/4	0	0	1	2	489	40 9	1	1	0	10
137 1/2	11 5 1/2	1	0	1	2	496 3/4	41 4 3/4	0	0	1	10
139 1/4	11 7 1/4	0	0	0	3	507	42 3	1	0	1	10
143 1/2	11 11 1/2	0	1	1	2	508 3/4	42 4 3/4	0	0	0	11
149 1/2	12 5 1/2	1	0	0	3	513	42 9	0	1	1	10
155 1/2	12 11 1/2	0	1	0	3	519	43 3	1	0	0	11
159 3/4	13 3 3/4	2	0	0	3	525	43 9	0	1	0	11
165 3/4	13 9 3/4	1	1	0	3	529 1/4	44 1 1/4	2	0	0	11
173 1/2	14 5 1/2	0	0	1	3	535 1/4	44 7 1/4	1	1	0	11
183 3/4	15 3 3/4	1	0	1	3	543	45 3	0	0	1	11
185 1/2	15 5 1/2	0	0	0	4	553 1/4	46 1 1/4	1	0	1	11
189 3/4	15 9 3/4	0	1	1	3	555	46 3	0	0	0	12
195 3/4	16 3 3/4	1	0	0	4	559 1/4	46 7 1/4	0	1	1	11
201 3/4	16 9 3/4	0	1	0	4	565 1/4	47 1 1/4	1	0	0	12
206	17 2	2	0	0	4	571 1/4	47 5 1/4	0	1	0	12
212	17 8	1	1	0	4	575 1/2	47 11 1/2	2	0	0	12
219 3/4	18 3 3/4	0	0	1	4	581 1/2	48 5 1/2	1	1	0	12
230	19 2	1	0	1	4	589 1/4	49 1 1/4	0	0	1	12
231 3/4	19 3 3/4	0	0	0	5	599 1/2	49 11 1/2	1	0	1	12
236	19 8	0	1	1	4	601 1/4	50 1 1/4	0	0	0	13
242	20 2	1	0	0	5	605 1/2	50 5 1/2	0	1	1	12
248	20 8	0	1	0	5	611 1/2	51 11 1/2	1	0	0	13
252	21 0	2	0	0	5	617 1/2	51 5 1/2	0	1	0	13
258	21 6	1	1	0	5	621 1/2	51 9 1/2	2	0	0	13
266	22 2	0	0	1	5	627 1/2	52 3 1/2	1	1	0	13
276	23 0	1	0	1	5	635 1/2	52 11 1/2	0	0	1	13
278	23 2	0	0	0	6	645 1/2	53 9 1/2	1	0	1	13
282	23 6	0	1	1	5	647 1/2	53 11 1/2	0	0	0	14
288	24 0	1	0	0	6	651 1/2	54 3 1/2	0	1	1	13
294 3/4	24 6 3/4	0	1	0	6	657 1/2	54 9 1/2	1	0	0	14
298 1/4	24 10 1/4	2	0	0	6	663 1/2	55 3 1/2	0	1	0	14
304 1/4	25 4 1/4	1	1	0	6	667 3/4	55 7 3/4	2	0	0	14
312	26 0	0	0	1	6	673 3/4	56 1 3/4	1	1	0	14
322 1/4	26 10 1/4	1	0	1	6	681 1/2	56 9 1/2	0	0	1	14
324	27 0	0	0	0	7	691 3/4	57 7 3/4	1	0	1	14
328 1/4	27 4 1/4	0	1	1	6	693 1/2	57 9 1/2	0	0	0	15
334 1/4	27 10 1/4	1	0	0	7	697 3/4	58 1 3/4	0	1	1	14
340 1/4	28 4 1/4	0	1	0	7	703 3/4	58 7 3/4	1	0	0	15
344 1/2	28 8 1/2	2	0	0	7	709 3/4	59 1 3/4	0	1	0	15
350 1/2	29 2 1/2	1	1	0	7	714	59 6	2	0	0	15
358 1/4	29 10 1/4	0	0	1	7	720	60 0	1	1	0	15
368 1/2	30 8 1/2	1	0	1	7	727 3/4	60 7 3/4	0	0	1	15
370 1/4	30 10 1/4	0	0	0	8	738	61 6	1	0	1	15
374 1/2	31 2 1/2	0	1	1	7	739 3/4	61 7 3/4	0	0	0	16
380 1/2	31 8 1/2	1	0	0	8	744	62 0	0	1	1	15

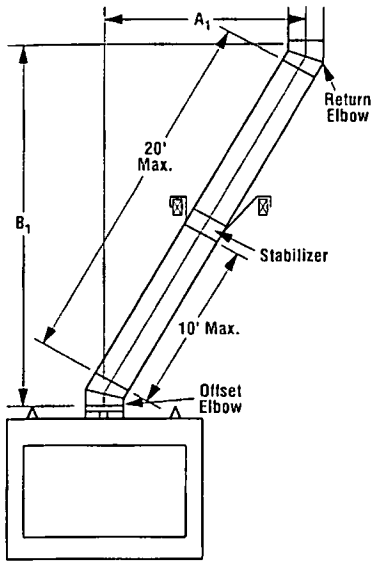


Figure 36

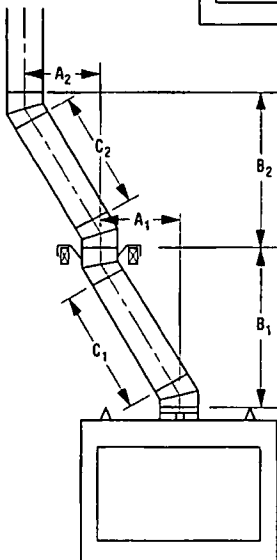
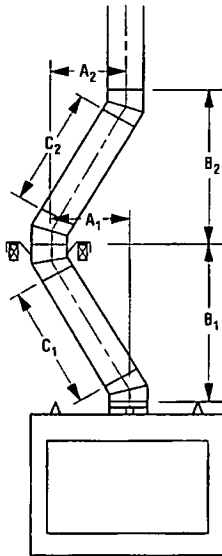


Figure 37

OFFSET ELEVATION CHART

A Offset (Inches)	B Height (Inches)	FTF8-ES3D Offset/Return Elbow	FTF8-S4 Stabilizer	Number of FTF8 Chimney Sections			
				12"	18"	36"	48"
4	15 3/4	1	0	0	0	0	0
9	24 1/2	1	0	1	0	0	0
12	29 3/4	1	0	0	1	0	0
14 1/4	33 1/2	1	0	2	0	0	0
17 1/4	38 1/2	1	0	1	1	0	0
20 1/4	43 3/4	1	0	0	2	0	0
21	45 1/4	1	0	0	0	1	0
22 1/4	47 1/2	1	0	2	1	0	0
25 1/4	52 1/2	1	0	1	2	0	0
26 1/4	54 1/4	1	0	1	0	1	0
27	55 3/4	1	0	0	0	0	1
28 1/4	57 3/4	1	0	0	3	0	0
29 1/4	59 1/4	1	0	0	1	1	0
31 1/4	63	1	0	2	0	1	0
32 1/4	64 1/2	1	0	1	0	0	1
34 1/4	68 1/4	1	0	1	1	1	0
35 1/4	69 3/4	1	0	0	1	0	1
37 1/4	73 1/4	1	0	0	2	1	0
38 1/4	75	1	0	0	0	2	0
39 1/4	77	1	0	2	1	1	0
41 1/2	80 1/2	1	0	1	4	0	0
43 1/4	83 3/4	1	0	1	0	2	0
44 1/4	85 1/4	1	0	0	0	1	1
45 1/4	87 1/2	1	0	0	3	1	0
46 1/4	89	1	0	0	1	2	0
48 1/4	91 1/2	1	0	2	0	2	0
49 1/4	94 1/4	1	0	1	0	1	1
50 1/4	95 3/4	1	0	0	0	0	2
51 1/4	97 3/4	1	0	1	1	2	0
54 1/4	103	1	0	0	2	2	0
55 1/4	104 1/2	1	0	1	0	0	2
56 1/2	106 1/2	1	0	2	1	2	0
58 1/4	109 3/4	1	0	0	1	0	2
61 3/4	116	1	1	1	0	3	0
64 3/4	121 1/4	1	1	0	1	3	0
67	124 3/4	1	1	2	0	3	0
68 3/4	128	1	1	0	0	1	2
70	130	1	1	1	1	3	0
73	135 1/4	1	1	0	2	3	0
74 3/4	138 1/4	1	1	0	0	0	3
79	145 1/2	1	1	1	0	4	0
80	147 1/4	1	1	1	0	0	3
82	150 3/4	1	1	0	1	4	0
82 1/4	152	1	1	0	1	0	3

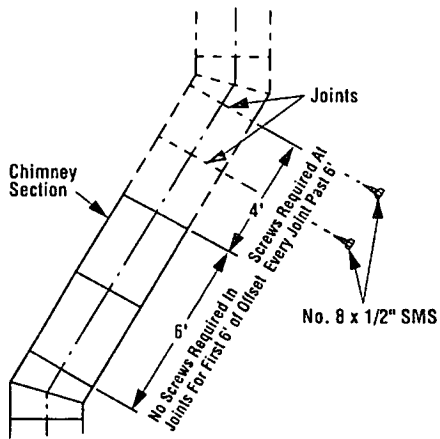


Figure 38

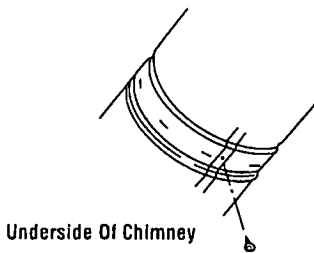
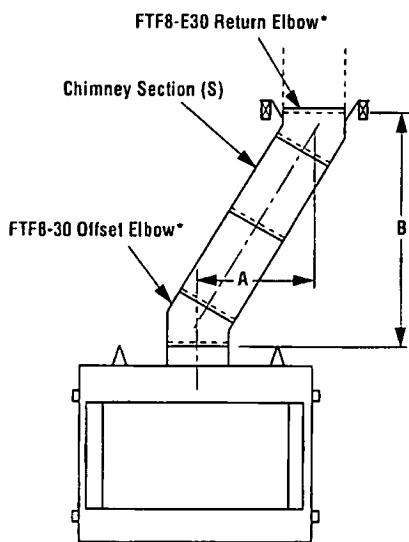


Figure 39



*Part of Offset/Return Package Model FTF8-ES30

Figure 40

INSTALLING OFFSETS

First, review the Offset Elevation Chart and Figure 38 for reference.

Step 1. Determine the offset distance where chimney is to pass through the first ceiling-dimension "A." To find this point on your ceiling, first determine the center point for a vertical chimney following the instructions for vertical installation.

Measure height to the ceiling from the top of fireplace-dimension "B." Use the appropriate Offset Elevation Chart to find dimension "A." Mark point where you will drive your nail to show the center point for your offset ceiling cut.

Step 2. Proceed by using the Straight Up Installation Instructions for cutting and framing ceiling and roof openings.

Note: See Framing and Dimension Chart for the sizes of the ceiling and roof openings. The size of the roof opening varies with the degree of pitch of the roof.

Offset Elbow Assembly

Offset elbows install the same as chimney sections. First, snap the inner section INTO the preceding inner section of flue. Check connection by pulling up slightly to ensure a tight fit. Next, the outer sections snap lock OVER the preceding outer section of chimney. Again, check outer section by pulling up slightly to ensure proper connection is made.

Return Elbow Assembly

Return elbows install the same way as round terminations and stabilizers:

Step 1. Hold return elbow over top of last chimney section.

Step 2. Center inner slip section into inner flue pipe-slip down.

Step 3. Center outer-locking section over outer chimney pipe. Push down until locking joint has firmly engaged.

Step 4. Pull up slightly on return elbow to ensure locking joint has firmly engaged.

Step 5. Secure support straps to framing members by nailing under tension in shear (Figure 41).

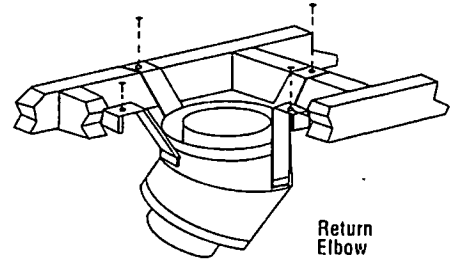


Figure 41

Note: The return elbow assembly performs the same function as a stabilizer. Consider this when determining the need for a stabilizer.

Note: Do not apply excessive pressure to any subsequent chimney section following return elbow assembly when installing. Ensure that each subsequent chimney section is securely attached by testing as noted above.

OPTIONAL EQUIPMENT CONSIDERATIONS

Blower Kits (Circulating Models Only)

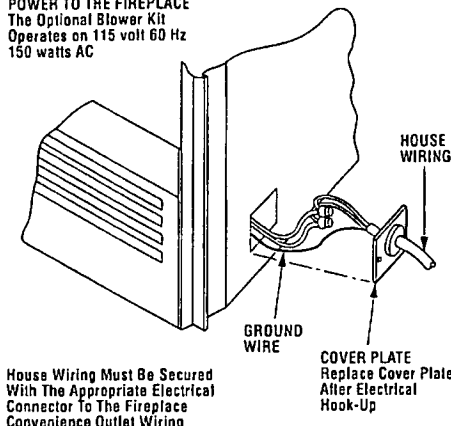
Blower Kits model FBK-100/200 are available for use with circulating models. The Blower Kit can be installed prior to or after installation of the fireplace.

Note: These fireplace models require a wall switch for fan operation. Refer to the installation instructions included with the Blower Kits for installation details.

THE FIREPLACE MUST BE WIRED TO THE HOUSE ELECTRICAL SYSTEM AT THE TIME OF INSTALLATION IN ORDER FOR THE OPTIONAL FANS TO OPERATE, (SEE FIGURES 42 AND 43).

Note: The utilization of fans will increase the air flow around the firebox. However, only a minimal increase in heat output should be anticipated.

POWER TO THE FIREPLACE
The Optional Blower Kit
Operates on 115 volt 60 Hz
150 watts AC



House Wiring Must Be Secured With The Appropriate Electrical Connector To The Fireplace Convenience Outlet Wiring

Figure 42

THIS FIREPLACE IS NOT INTENDED TO BE USED AS A SUBSTITUTE FOR A FURNACE TO HEAT AN ENTIRE HOME. USE FOR SUPPLEMENTARY HEATING ONLY.

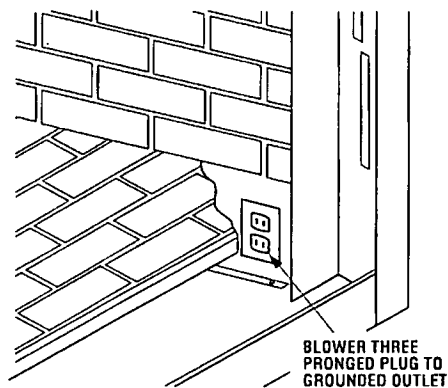


Figure 43

The FBK-100/200 Blower Kits are design certified by Warnock Hersey for use with these appliances.

Always check local building codes. Installation of the FBK Blower Kits must comply with local regulations as well as the National Electric Code.

Combustion Air Kits

These appliances are equipped with an outside (make-up) air door and integral actuator arm. If the appliance is to be installed with an outside air vent system, use only FireCraft Models FAOK-4 or FAOK-4LD Combustion Air Kits. These kits come complete with detailed installation instructions and all components necessary in completing a combustion air vent system.

After completing the installation of the optional combustion air vent system the actuator arm must be put in service and tested to ensure proper operation before completing any enclosure around the firebox. Failure to do so may result in extensive and costly rework.

Locate the actuator arm along the right side of the appliance firebox opening and refer to **Figure 44**.

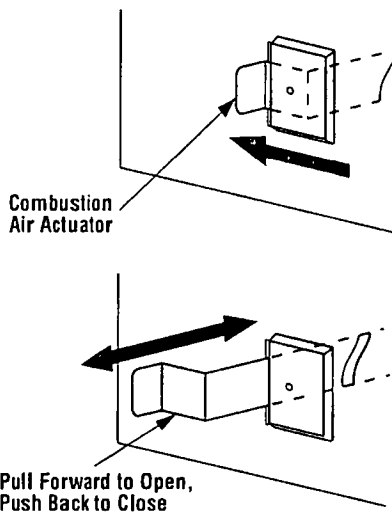


Figure 44

To operate, push the end of the actuator to the left as shown in **Figure 44**, until it "pops" free of its "locked" position. Pull the actuator forward to open the combustion air door, and push it back to close. To "lock" the combustion air door closed, ensure the actuator is pushed all the way back then push the end of the actuators to the right until the step in the actuator moves behind the appliance front face within the slotted opening.

Operate the actuator through several cycles including the "lock" position. Ensuring proper operation and freedom of movement. Return the actuator arm to the locked position.

Gas Line Connection

Install a 1/2" gas supply line through fireplace wall for connection to a decorative gas appliance inside the firebox. Outside, the gas supply line connects to a gas shut-off valve recessed flush into the wall or floor. The valve should be controlled by a removable valve key for safety.

Always plumb gas line installation per local codes. Check all connections and test for gas leaks, using a gas leak test solution (also referred to as bubble leak solution).

Note: Using a soapy water solution (50% dish soap, 50% water) is an effective leak test solution but it is not recommended, because the soap residue that is left on the pipes/fittings can result in corrosion over time. **Never use an open flame to check for leaks.**

This provision is intended for connection to a decorative gas appliance incorporating an automatic shut-off device and complying with the Standard for Decorative Gas Appliances for installation in vented fireplaces, ANSI Z21.60 (1991) or American Gas Association draft requirements for Gas-Fired Log Lighters for Wood Burning Fireplaces, Draft No. 4 dated August, 1993. Install in accordance with the National Fuel Gas Code, ANSI Z223.1. This complies with the revised U.L. 127 standard.

Vent Free Appliances

This unit has been tested and approved to ANSI/IAS/AGA Z21.11.2 for use with unvented gas appliances and complies with the standard for Factory-Built fireplaces, UL 127, when installed with unvented gas log sets. Special instructions with regards to mantle installations must be taken into consideration when installing such appliances.

The unit has been tested for use with any unvented log sets having a maximum rating of 32,000 BTU. The minimum mantle configuration for these log sets are outlined in **Figure 46**.

Log sets with 40,000 BTU may be installed provided that no combustible mantle projections are placed lower than 18 inches from the fireplace opening.

These fireplaces have been marked with a maximum rating of 32,000 BTU to assure that homeowners do not exceed the allowable limits for all allowed installations of mantles. That limit may be increased to 40,000 BTU, provided that the mantle installed complies with the 18-inch limitation and a copy of these instructions are available.

NEVER INSTALL AN UNVENTED GAS LOG SET WITH A BTU GREATER THAN 32,000 IF COMBUSTIBLE MANTLE PROJECTIONS ARE LOWER THAN 18 INCHES ABOVE THE FIREPLACE OPENING.

CAUTION: WHEN USING THE DECORATIVE GAS APPLIANCE, THE FIREPLACE DAMPER MUST BE SET IN THE FULLY OPEN POSITION.

CAUTION: PLUMBING CONNECTIONS SHOULD ONLY BE PERFORMED BY A QUALIFIED, LICENSED PLUMBER. MAIN GAS SUPPLY MUST BE OFF WHEN PLUMBING GAS LINE TO FIREPLACE OR PERFORMING SERVICE.

If you're installing a gas line, connect it before the fireplace is framed and enclosed in the finished wall. The gas knockout is determined by the indentation located at the bottom and slightly off center in the side refractories. **THE KNOCKOUT IS ALWAYS REMOVED FROM INSIDE THE FIREPLACE. DO NOT REMOVE THE KNOCKOUT UNLESS YOU ARE INSTALLING A GAS LINE.** If removal is attempted from the outer wrapper, side refractory damage may occur. With a medium-sized hammer, lightly tap the surface of the indentation. The refractory material is very thin in this area and is easily removed. Once a small hole has been made, continue tapping until you have reached sufficient diameter for the gas line to fit through. The entire knockout does not have to be removed. Remove insulation in the gas line channel.

IMPORTANT: REPACK INSULATION MATERIAL IN SQUARE HOLE AROUND GAS LINE, INTERIOR AND EXTERIOR OF FIREPLACE, TO SEAL.

Glass Doors

If glass doors are to be installed on these fireplaces, refer to specific installation instructions packed with the glass doors. Use only the doors that are listed for use with these fireplaces. Use of other non-listed glass door on these fireplaces may constitute a potential fire hazard and is not recommended.

CAUTION: CERTAIN GLASS DOORS OVERLAP THE BLACK METAL FACING OF THE FIREPLACE. IF THE FIREPLACE HAS BEEN FACED WITH NONCOMBUSTIBLE MATERIALS, THERE MIGHT NOT BE SUFFICIENT CLEARANCE TO INSTALL THE GLASS DOORS OF YOUR CHOICE. ENSURE ADEQUATE CLEARANCE IS MAINTAINED AT ALL TIMES SO AS NOT TO INTERFERE WITH THE INSTALLATION AND OPERATION OF GLASS DOORS.

COLD CLIMATE INSULATION

If you live in a cold climate, it is especially important to seal all cracks around the fireplace opening with noncombustible material and wherever cold air could enter the room. Surrounding materials must be caulked where it meets the black metal facing of the fireplace to avoid cold air intrusion. Use noncombustible caulking material only on fireplace facing to seal. Also, the outside air inlet duct should be wrapped with noncombustible insulation to minimize the formation of condensation. Do not place insulation materials on top of fireplace or against chimney sections.

Note: A 2" air space must be preserved for all combustible materials extending for any continuous length adjacent to the chimney.

It is especially important to insulate between the studs of an outside chase cavity and under the floor if the floor is above ground level. Do not place insulation directly against the fireplace or chimney system.

FIREPLACE FINISHES

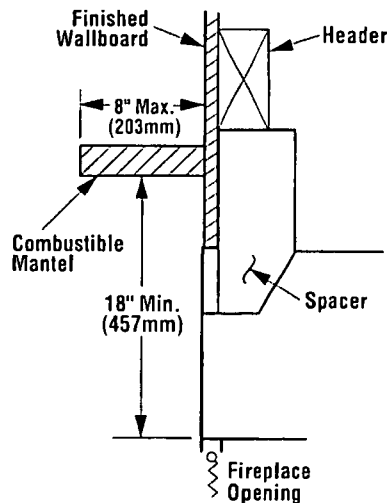
Mantels and Trim

It is sometimes best to frame your fireplace after it is positioned and the chimney is installed. Frame enclosure for chimney and fireplace with 2 x 4's (or heavier) lumber.

Note: The header may rest on the two (2) metal top spacers on top of the unit but the header must not be notched to fit around the spacers.

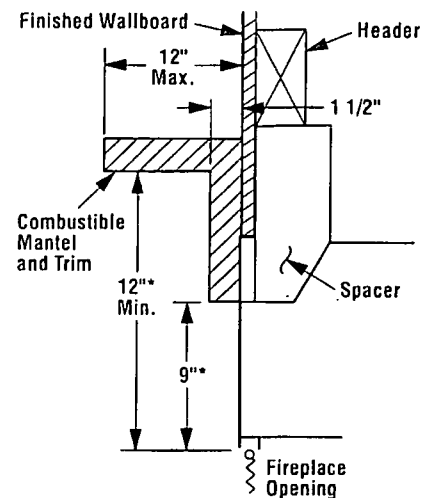
These fireplaces may sit directly on a combustible surface. A 2" air space is required between combustible framing and the chimney. A 1" air space is required between combustible framing and fireplace outer wrapper.

In Canada, the minimum height for a combustible mantel is 18" (457 mm) above the fireplace opening. **Figure 45** shows typical Canadian installations. For installations other than Canada, combustible mantels and trim may be installed 12" above the fireplace opening as per NFPA 211, Section 7-2.3.3. and **Figure 46**. If a mantel is of a noncombustible material, it is exempt from these requirements as long as it does not interfere with the installation or operation of glass doors.



Typical Canadian Installation

Figure 45



*Both Of These Dimensions Must Be At Least 18" When An Unvented Gas Log Set Rated At 32,000 BTU Or Higher Is Used. (Maximum 40,000 BTU)

Typical US Installation

Figure 46

Hearth Extensions and Wall Shields

A hearth extension must be installed with all fireplaces. It is to protect the combustible floor in front of the fireplace from both radiant heat and sparks. The hearth extension must extend 8" beyond both sides of the fireplace opening and 16" beyond the front (see **Figure 47**). Use a hearth extension constructed of a durable noncombustible material having an equal or better (lower k value) insulating value of $k = .43 \text{ BTU IN/FT}^2 \text{ HR } ^\circ\text{F}$ or a thermal resistance that equals or exceeds $r = 2.33 \text{ HR } ^\circ\text{F FT}^2/\text{BTU IN}$. With these values, determine the minimum thickness/material required using the formula and **Page 17**.

Note: Any noncombustible material whose k value is less than .43 or whose r value is more than 2.33 is acceptable.

If the fireplace is installed on a combustible floor, use the metal safety strips (provided) on the floor extending half under the fireplace and half under the hearth extension (refer to **Figures 6 & 7**).

A wall shield is required where a continuous perpendicular side wall is within 12" of the fireplace opening (**Figure 48**). Use a 36" W x 36" H wall shield constructed of a durable, noncombustible material having an equal or better (lower k value) insulating value than $k = .54 \text{ BTU IN/FT}^2 \text{ HR } ^\circ\text{F}$. At no time may a perpendicular side wall be located closer than 9" from the fireplace opening.

If fireplace is installed diagonally across a 90° corner; no wall shields are required.

Hearth Extension Dimensions

A	16"
B	38"
C	8"
D	54"

Note: To convert inches to millimeters divide by 0.03937

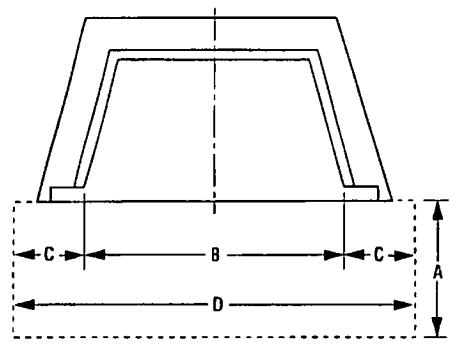


Figure 47

Methods of Determining Hearth Extension and Wall Shield

Equivalents - To determine the thickness required for the alternate material when either the "k" value or "r" value is known, use either the k formula or r formula.

Example: If Micore 160 is to be used for the hearth extension fireplace, how thick must this material be?

- k_m = k value per inch of *alternate* material
- r_m = r value per inch of *alternate* material
- T_m = minimum thickness required for *alternate* material
- T_s = standard thickness of the *alternate* material

- k_L = k value per inch of *listed* material
- r_L = r value per inch of *listed* material
- T_L = minimum thickness of *listed* material

Note: An asterisk "*" indicates, it is a value taken from Table 1. Using the k formula:

Minimum thickness of alternate material (T_m) = $\frac{\text{k-value (per Inch) of alternate material } (k_m) \times \text{k-value (per inch) of listed material } (k_L)}{*.43}$ x Specified min. thickness of listed material (T_L)

$$T_m \text{ (inches)} = \frac{k_m}{*.43} \times T_L$$

$$T_m \text{ (inches)} = \frac{*.35}{*.43} \times 1"$$

$$.875 \text{ (inches)} = .875 \times 1"$$

Answer - The minimum required thickness of the Micore 160 is .875", therefore round up to 7/8" and use the nearest standard thickness available which is 1".

Using the r formula:

Minimum thickness of alternate material = $\frac{\text{r-value (per Inch) of listed material } (r_L) \times \text{r-value (per inch) of alternate material } (r_m)}{*.43}$ x Specified min. thickness of listed material

$$T_m \text{ (inches)} = \frac{r_L}{r_m} \times T_L$$

$$T_m \text{ (inches)} = \frac{*2.33}{*2.86} \times 1"$$

$$.875 \text{ (inches)} = .875 \times 1"$$

Answer - The minimum required thickness of the Micore 160 is .875", therefore round up to 7/8" and use the nearest standard thickness available which is 1".

Listed Material			
	k (per inch)	r (per inch)	Listed Min. Thickness
Listed Material	0.43 k_L	2.33 r_L	1" T_L
** Approved Alternate Materials for Floor/Hearth Protection			
Alternative Materials	Thermal Values		Minimum Thickness (rounded to nearest 1/8 inch)
	k (per inch) k_m	r (per inch) r_m	Min. Thickness T_m
Kaowool M Board	.47	2.13	1.09" (1-1/8")
Micore 160™ U.S. Gypsum	.35	2.86	.81" (7/8")
Micore 300™ U.S. Gypsum	.46	2.17	1.07" (1-1/8")
Durock™ Cement Board U.S. Gypsum	1.92	.52	4.47" (4-1/2")
Hardibacker™	1.95	.513	4.53" (4-1/2")
Hardibacker 500™	2.30	.435	5.35" (5-3/8")
Cultered Stone Hearth-stone™	2.82	.355	6.56" (6-1/2")
Wonderboard	3.23	.31	7.51" (7-1/2")
Super Firetemp M Johns-Manville	.61	1.64	1.42" (1-3/8")
Super Firetemp L Johns-Manville	.54	1.85	1.26" (1-1/4")
Face brick	9.00	.111	20.93" (20-7/8")
Common brick	5.00	.20	11.63" (11-5/8")
Cement mortar	5.00	.20	11.63" (11-5/8")
Ceramic tile	12.5	.08	29.07" (29-1/8")
Marble	11.0	.09	25.58" (25-5/8")

Table 1

** If the hearth extension material(s) that is intended to be used is NOT listed on Table 1, the material can still be used if the material(s) is noncombustible. However, the manufacturer of the material must provide either the listed k-value per inch or r-value per inch with listed thickness so that the minimum thickness required for the hearth can be calculated (per instructions on this Page and/or as specified in the NFI Certification manuals).

Note: Also see NFI (National Fireplace Institute) Certification Manuals showing other acceptable calculation methods and acceptable alternate materials which can be used.

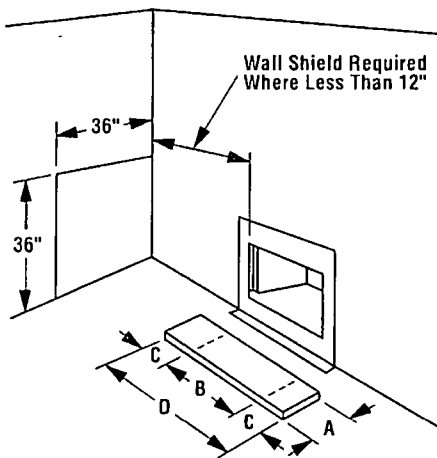


Figure 48

Calculating Minimum Thickness if Multiple Materials are Used

At times it is important to know what combination of materials are acceptable for use as floor protection. The "R values" are used to determine acceptable combinations of materials because "R values" are additive where r and k values are not.

"R value" = $1/k$ = "r" x thickness of material used

Example: Given that the required "R value" for a suitable floor protector used must be equal to or greater than:

$$"R" = r_L \times T_L = 2.33 \times 1" = 2.33."$$

If it is desired to elevate a marble hearth extension to a level of 5" or more above the floor surface. What combination of noncombustible materials can be used to accomplish this?

If common brick is used so that the 3 1/2" dimension is the height, "R" for the common brick becomes:

$$"R"_{M} = r_{M} \times T_{S} = 0.20 \times 3 \frac{1}{2}" = .70$$

Using 1/2" of mortar to set the brick, "R" for the mortar is calculated as follows:

$$"R"_{M} = r_{M} \times T_{S} = 0.20 \times \frac{1}{2}" = .10$$

Next, a 3/4" marble slab set in 1/2" mortar covers the brick, "R" for the marble and mortar becomes:

$$"R"_{M} = r_{M} \times T_{S} = 0.05 \times \frac{3}{4}" = .038$$

$$"R"_{M} = r_{M} \times T_{S} = 0.20 \times \frac{1}{2}" = .10$$

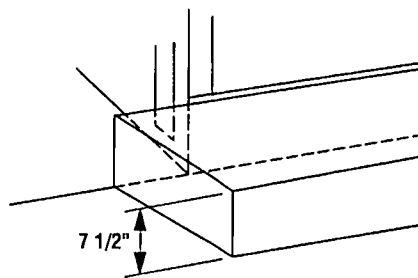
The sum of all "R values" is: $.70 + .10 + .038 + .10 = .938$

This would NOT be an acceptable combination of material for the hearth extension since the total calculated "R value" of the materials used is under the required "R value" of 2.33. An additional layer of insulating materials must be used.

Note: Also see NFI Certification Manuals for expanded explanation on calculating "R values" when multiple materials are used.

WARNING: THE CRACK BETWEEN THE FIREPLACE AND THE HEARTH EXTENSION MUST BE SEALED WITH A NON-COMBUSTIBLE MATERIAL.

WARNING: WHEN INSTALLING HEARTH EXTENSION IN FRONT OF A NON-CIRCULATING FIREPLACE MODEL, THE FIREPLACE MUST BE RAISED IF HEIGHT OF HEARTH EXTENSION EXCEEDS 7" ABOVE THE BOTTOM OF FIREPLACE (FIGURE 49).

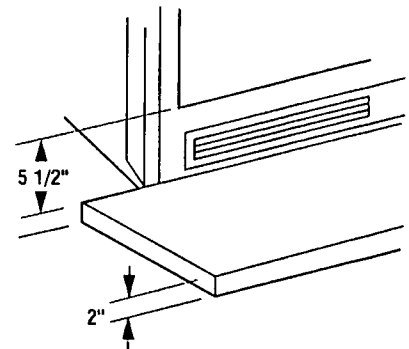


Max. Thickness Of Hearth Extension When Non-Circulating Models Are On The Floor

Figure 49

WARNING: WHEN INSTALLING THE HEARTH EXTENSION BE CAREFUL NOT TO BLOCK THE HEAT-CIRCULATING AIR INLET GRILL ON CIRCULATING MODELS.

WARNING: WHEN INSTALLING HEARTH EXTENSION IN FRONT OF A CIRCULATING FIREPLACE MODEL, THE FIREPLACE MUST BE RAISED IF HEIGHT OF HEARTH EXTENSION EXCEEDS 2" ABOVE BOTTOM OF FIREPLACE (FIGURE 50).



Max. Thickness Of Hearth Extension When Circulating Models Are On The Floor

Figure 50

Secure the hearth extension to the floor to prevent possible shifting.

FINISH TO YOUR TASTE

There are a wide variety of "finished looks" for these fireplaces, from formal wall decor with elaborate mantels to rustic wood paneling or warm brick facings.

Only noncombustible materials like stone, tile, brick, etc., may overlap the black front facing. Do not extend these materials beyond the black facing and into the firebox area. Be sure not to interfere with the installation and operation of glass doors or block the upper or lower grilles. Seal all joints between the black facing and wall surrounds to prevent air intrusion. Use non-combustible caulking material only to seal the black metal facing to the surround material on the finished wall.

Combustible materials may project beyond the sides of the fireplace opening as long as they are kept within the shaded areas illustrated in Figure 51.

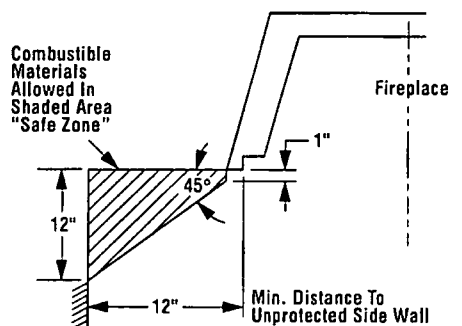
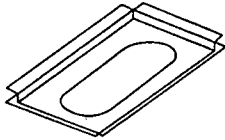


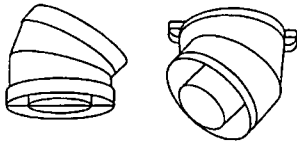
Figure 51

INSTALLATION COMPONENTS

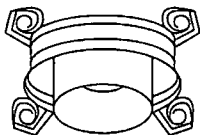
The following items are available for use in the installation of this appliance.



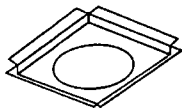
Firestop Spacer (30°) 63L32 F8FS30-2



Offset/ Return Package (30°) 63L22 FTF8-ES30



Stabilizer 63L25 FTF8-S4



Firestop Spacer (Flat) 63L31 F8FS-2

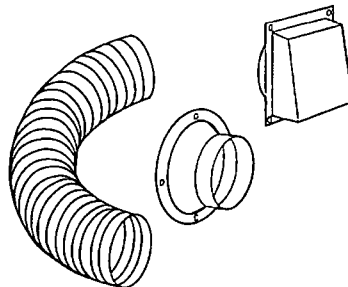


Storm Collar 63L59 FSC

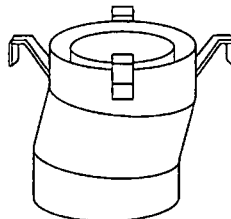
Shipping Weight 188 lbs.



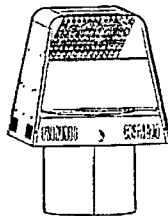
Chimney Section	63L10	FTF8-12
	63L13	FTF8-18
	63L14	FTF8-36
	63L15	FTF8-48
	62L92	FTF8-18C
Canadian Chimney Section	62L93	FTF8-36C



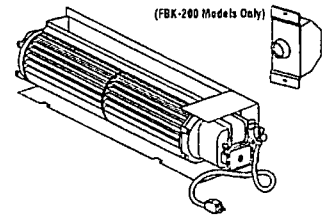
Outside Combustion Air Kits	(with duct)	81L87	FOAK
	(without duct)	81L88	FOAK-LD



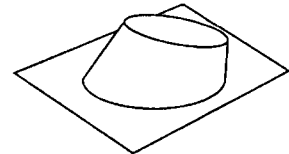
Combination Offset/Return Elbow	63L28	FTF8-OR15
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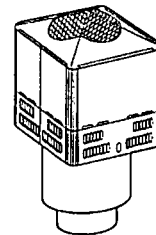
Chase Termination	96L22	FTF8-ATT
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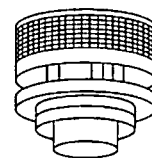
Forced Air Blower Kits	-Single Speed	80L84	FBK-100
	-Variable Speed	80L85	FBK-200



Flashing	63L38	F8F6
	63L39	F8F12



Chase Termination	96L20	FTF8-CTT
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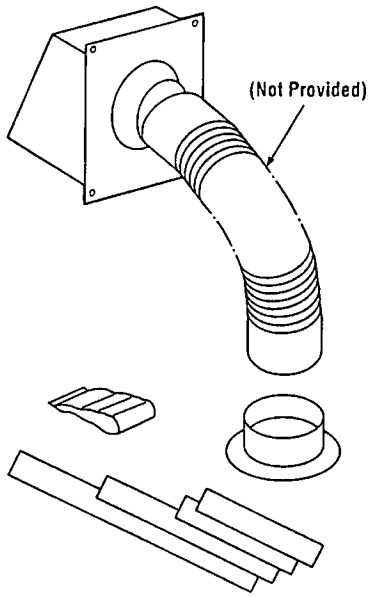


Round Termination	63L42	FTF8-CTD
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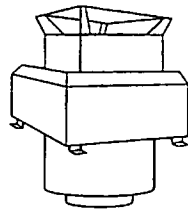


Locking Band	63L60	FLB
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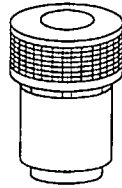
INSTALLATION COMPONENTS



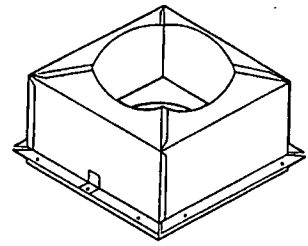
Cold Climate Kit H7412 CCK-HCRD



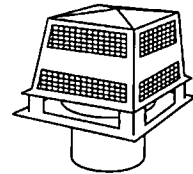
Chase Termination (Square) 63L51 FTF8-CT2



Chase Termination (Round) 63L45 FTF8-CTDT



Attic Shield Assembly 63L67 FTF8-FSAS



Chase Termination (Square) 63L48 FTF8-CT1

NOTE: DIAGRAMS & ILLUSTRATIONS NOT TO SCALE.

The manufacturer reserves the right to make changes at any time, without notice, in design, materials, specifications, prices and also to discontinue colors, styles and products. Consult your local distributor for fireplace code information.



HEARTH PRODUCTS

1110 West Taft Avenue
Orange, CA 92865



HEARTH PRODUCTS

CARE AND OPERATION INSTRUCTIONS

MERIT® SERIES

36" and 42" Wood Burning Fireplaces
P/N 875,039M REV. A 09/2008

MODELS

RDI-36/42

HCI-36/42

RDI-36/42-H

HCI-36/42-H

The information contained in this manual applies to all model fireplaces identified on this page. This information will help you obtain safe and dependable service from your Lennox fireplace system. Keep this document in a safe place for future reference.

Before you start your first fire, read this Care and Operations Manual carefully to be sure you understand your fireplace system completely. Failure to follow these suggestions could result in hazardous operation or fireplace malfunction, creating a serious potential for personal injury and/or property damage.

If you have any questions regarding the safe use or operation of your fireplace, contact your local Lennox distributor, your contractor/builder or Lennox Hearth Products.



(For RDI/HCI-36 Units)

WH Report No. J9902-5865C-231

INSTALLER: Leave this manual with the appliance.
CONSUMER: Retain this manual for future reference.



(For RDI/HCI-42 Units)

OMNI Report No. 116-F-52-2

TABLE OF CONTENTS

General Safety Precautions	page 2
General Information	page 2
Fuels	page 2
Gas Logs	page 2
Disposal of Ashes	page 3
Softwood vs Hardwood	page 3
Starting a Fire	page 4
Damper Control	page 4
Glass Door Operating Safety	
Precautions and Instructions	page 4
Combustion Air	page 5
Refractories	page 5
Maintenance Guidelines	page 6
Twice a Year Check-Up	page 6
Creosote Formation and Removal	page 6
Troubleshooting	page 6
Warranty	page 7
Product Reference Information	page 7
Replacement Parts	page 7
Accessory Components	page 7
Replacement Parts	page 8

This manual is part of a set of two supporting this product. Refer to manual 850,046M for Installation Instructions (36" models) and 850,047M for Installation Instructions (42" models).

GENERAL SAFETY PRECAUTIONS IMPORTANT! READ AND UNDER- STAND BEFORE YOUR FIRST FIRE.

1. Use SOLID WOOD only for fuel. It is best to use dry and well seasoned hardwood. Soft woods tend to burn very quickly. Solid scrap construction lumber produces excessive sparks. DO NOT use treated wood, artificial wax based logs, charcoal, coal, trash, driftwood or woods that have been dipped in tar, pitch, pine tar, creosote, etc. Wood products made with synthetic binders, such as plywood, produce abnormally high temperatures and sputtering, smoking fires.
2. NEVER use gasoline, gasoline-type lantern fuel, kerosene, charcoal lighter fluid, or similar liquids to start or "freshen up" a fire in this fireplace. Keep any flammable liquids a safe distance from the fireplace.
3. Keep the chimney damper open while any fire or smoldering embers are present .
4. Never block or restrict the room air intake grille across the bottom front or the warm air outlet grille across the top front of the fireplace.

5. Use care when selecting window treatments for windows located near the fireplace. Avoid using combustible flowing window treatments such as curtains on nearby windows that are of sufficient length to be blown in front of an open flame when the window is opened.

6. With the fire burning, close the protective mesh screens to keep sparks and embers INSIDE the firebox.

7. Keep any combustible furniture or decorative pillows at least 36" (914 mm) from the fireplace opening.

8. Never leave your fireplace unattended while it is burning.

9. Be careful adding wood fuel to the fire or handling fireplace tools such as shovels, tongs or pokers.

10. Never modify or alter your fireplace system in any way. To do so may create a potential fire hazard and void the Limited Warranty.

11. The bottom refractory can be cracked by excessive abuse such as tossing heavy logs onto the grate or gouging with fireplace tools. Exercise caution when adding wood to your fireplace.

12. DO NOT use a fireplace insert or any other product not specified by Superior for use with this fireplace.

13. If you are using your fireplace as a "decorative appliance," such as with a permanently installed gas log set, the fireplace damper must be permanently fixed in the open position. Listed "vent-free" gas log sets may be used with the damper closed.

14. Always ensure that an adequate supply of replacement combustion air from the outside of the house is accessible to the fire to support normal combustion. Fireplaces consume large volumes of air during the normal combustion process. In the event the home is tightly sealed with modern energy efficient features, the optional combustion air kit may not provide all the air required to support combustion. The manufacturer is not responsible for any smoking or related problems that may result from the lack of adequate combustion air. It is the responsibility of the builder/contractor to ensure that adequate combustion air has been provided for the fireplace.

15. Neither the manufacturer nor the seller warrants "smoke free" operation nor are we responsible for inadequate system draft caused by mechanical systems, general construction conditions, inadequate chimney heights, adverse wind conditions and/or unusual environmental factors or conditions beyond our control.

GENERAL INFORMATION

1. The all-steel, multi-wall firebox is the heat center of the system. It is well insulated for safe clearance to combustibles.

2. The hearth floor and sidewalls of the firebox are lined with a brick pattern reinforced refractory for the look of authenticity and to provide safety.

3. The metal chimney sections extending from the firebox top to beyond your roof are two walled and air-cooled. The inner passage, or flue, provides the exit for smoke and gases.

4. The flue damper is a two position (fully open or fully closed) mechanism operated by a handle found at the center top of the fireplace opening. It must be open when fire is present so smoke and gases can escape. It should be closed ONLY when the fire is completely out – keeping room air from being lost up the flue.

5. Closed screens prevent fire, sparks and embers from popping out of the firebox while a fire is burning. Pull screens back when adding wood to the firebox.

6. Why use a fuel grate? Besides positioning the firebed properly, it protects the refractory floor, back and sides of the fireplace. Further, it ensures a proper flow of combustion air into and around the firebed. The grate must be used at all times when burning. Your warranty may be voided without the use of this grate.

7. Remember, your fireplace is not intended to heat your entire home.

FUELS

Never Use Coal in Your Fireplace

Your fireplace system is not designed to be used with coal derivative products. The combustion process of certain types of coal can deposit corrosive materials in the fireplace and chimney system which can lead to premature product failure. Never use coal as a fuel in this fireplace system.

Gas Logs

If your fireplace system was installed with a gas line, you may wish to install one of two types of gas log sets.

This fireplace has been tested and approved for use with a decorative gas appliance incorporating an automatic shut-off device and complying with the Standard for Decorative Gas Appliances for installation in vented fireplaces, ANSI Z21.60 (1991) or American Gas Association draft requirements for Gas-Fired Log Lighters for Wood Burning Fireplaces, Draft No. 4 dated August, 1993.

Decorative gas appliances may be installed in these fireplaces. Installation must be in accordance with the National Fuel Gas Code, ANSI Z223.1 for compliance with the revised U.L. 127 Standard.

CAUTION: WHEN USING A DECORATIVE GAS APPLIANCE, THE FIREPLACE DAMPER MUST BE SET TO THE FULLY OPEN POSITION.

These fireplaces have been tested and approved to ANSI/IAS/AGA Z21.11.2 for use with an unvented gas appliance having a maximum rating of 26,000 BTU (36 Models) and 32,000 BTU (42 Models) and complies with the Standard for Factory-Built Fireplaces, U.L. 127, when installed with unvented gas log sets. The limit may be increased to 40,000 BTU providing that minimum combustible mantle heights were increased to at least 18 inches when the fireplace was installed.

Prior to installing any gas log set, (Vented or Unvented) refer to the fireplace installation instructions for verification of mantle heights and placement of combustible materials around the firebox opening. **NEVER INSTALL AN UNVENTED GAS LOG SET WITH A BTU RATING GREATER THAN 26,000 BTU (36 MODELS) AND 32,000 BTU (42 MODELS) IF THE COMBUSTIBLE MANTLE PROJECTIONS ARE LOWER THAN 18 INCHES ABOVE THE FIREPLACE OPENING.** Vented gas log sets do not have restrictions placed upon their BTU rating.

Wood Fuel Pointers

Wood is a wonderful renewable fuel source. Normally it burns clean, leaving only a minimum of waste ash, provides comforting heat and can provide a variety of aromas and visual images.

You will want to know which woods are best for use. Sometimes you may want a quick, short fire to offset a morning chill. Soft woods are preferable in this case. Other times you would want more slow burning and a uniform heat output. Hardwoods are preferable for this use.

The amount of heat available from the logs will be about equal on a weight basis. However, logs are generally not weighed so the amount of heat will depend on:

1. The type of wood used.
2. How dry it is.
3. How many logs you put in.
4. The size of the logs.

The last statement means that one big log weighing 10 pounds has as much heating potential as 10 pounds of twigs. However, air cannot get at the solid log to feed the fire so the solid log will burn slowly. While you would get the same amount of heat out of either fire, the smaller the pieces of wood and the more air space around them, the faster the fire will burn.

DISPOSAL OF ASHES

Ashes should be placed in a metal container with a tight fitting lid. The closed container of ashes should be placed on a noncombustible floor or on the ground, well away from all combustible materials, pending final disposal. If the ashes are to be disposed of by burial in soil or other wise locally dispersed, they should be retained in the closed container until all cinders have thoroughly cooled.

SOFTWOOD VS HARDWOOD

Softwoods contain about 15 percent highly flammable resin which generates creosote soot in the chimney flue. Burning softwood exclusively may not be as desirable nor as safe as burning denser hardwoods. Many experienced fire-builders use small amounts of softwood kindling and newspaper in conjunction with starting a fire with split hardwood logs. Here are some guidelines to remember:

1. Softwoods produce fast warming and shorter fires. Hardwoods burn less vigorously, have shorter flames and produce steady, glowing coals.
2. As a general rule, denser woods contain more potential heat per pound. Most softwoods offer moderate heat value per pound.
3. Different woods vary widely in flame heights, flame intensities, smoke characteristics and in sparking. Most hardwoods do not spark.
4. Most freshly cut "green" wood will not burn well and will smoke. Green wood can be from 10 to 40 percent less efficient than air-dried seasoned wood.
5. Moisture and resin found inside unseasoned wood cells will build up pressure under heat and explode as sparks.
6. Most wood needs to be seasoned 9 to 12 months to reduce the moisture content and produce good steady fires. When moisture content is reduced from 60 to 20%, the gain in heat potential is nearly 7%.

7. Proper storage of wood, especially during seasoning, is essential. We recommend that you:

- a. Never store wood on the ground. This will cause rotting and insect infiltration. Raise wood on flat rock or scrap wood.
 - b. Stack wood loosely to allow air circulation.
 - c. Store wood where it will not be excessively exposed to weather, such as under a tarp or under a roof.
 - d. Do not stack wood directly against the walls of your home.
8. Be a knowledgeable wood buyer. There is a difference in cord sizes. A standard cord stack of logs is 4 ft. high by 8 ft. long by 4 ft. deep or the equivalent of this cubic footage, (**Figure 1**).

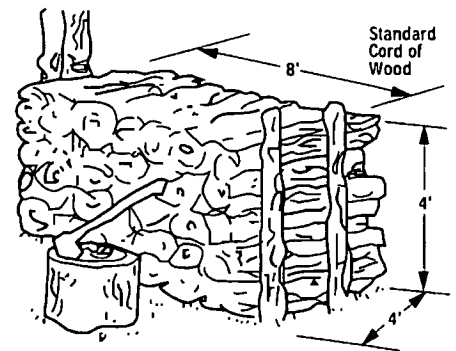


Figure 1

A face cord is the same height and length as a standard cord but the depth is only the length of the logs (12, 18 or 24 inches). A face cord can contain as little as 25% of the wood found in a standard cord.

If you buy by the ton, remember that wood becomes lighter as it dries. When buying green or wet wood, ask for some extra poundage to allow for the extra water you will be getting.

9. When comparing woods of the same moisture content and same species, we find most woods have approximately the same heating potential per pound.

However, most wood is sold by volume, not by weight. To determine the best heating source, look at the density of various wood types. (Density is the weight for a given size.) The higher the density, the more potential heat output. A standard cord has a volume of 128 cubic feet. This figure also includes the air space between and around the wood. The actual volume in a standard cord is between 60 and 100 cubic feet; depending on how tightly the wood is packed.

HARDWOODS	DENSITY
Alser, Red	.41
Ash	.49-.60
Aspen	.38-.39
Basswood, American	.37
Beech, American	.64
Birch	.55-.65
Butternut	.38
Cherry, Black	.50
Chestnut, American	.43
Cottonwood	.34-.40
Elm	.60.63
Hackberry	.53
Hickory, Pecan	.60.66
Hickory, True	.69-.75
Honey locust	.66 (est.)
Locust, Black	.69
Magnolia	.48-.50
Maple	.48-.63
Oak, Red	.59-.67
Oak, White	.64-.88
Poplar	.42
Sassafras	.42
Sweet gum	.52
Sycamore, American	.49
Tanoak	.64 (est.)
Tupelo	.50
Walnut, Black	.55
Willow, Black	.39
SOFTWOODS	DENSITY
Bald cypress	.46
Cedar	.31-.47
Douglas Fir	.46-.50
Fir	.32-.43
Hemlock	.40-.45
Larch, Western	.52
Pine	.39-.59
Redwood	.35-.40
Spruce	.35-.41
Tamarack	.53

Assuming that you are comparing two standard cords of different species but the same volume and moisture content, the denser species will provide more BTU's. The table of wood species/densities reveals more helpful guidelines.

STARTING A FIRE

1. To start a fire in the fireplace properly, first check the operation of the flue damper.
2. To prevent smoking at start-up, close any window located near the fireplace when first lighting a fire. The closed windows may be reopened once a chimney draft is drawn in the fireplace.

DAMPER CONTROL

This fireplace is fitted with a manually controlled chimney damper. The chimney damper should be closed when the fireplace is not in use to prevent cold air from entering the home through the chimney system.

The damper is controlled through the use of a control lever located within the firebox opening at the top center just behind the firebox lintel (Figure 2). The control lever snaps into place at the extreme range of motion, up and back in the closed position. When pulled forward and down, the damper is open.

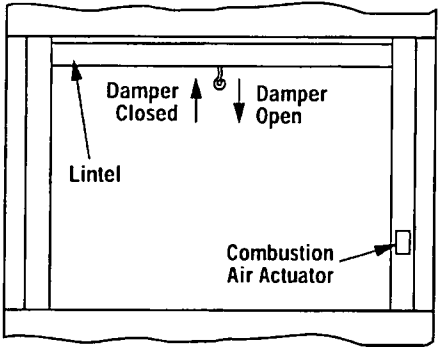


Figure 2

The appliance flue damper must always remain open when operating.

1. The grate in the firebox should be centered on or over the bottom hearth so your fire can breath properly. Crumble and twist plenty of newspapers UNDER the grate and criss-cross some small dry kindling sticks on top of the paper or on the bottom of the grate.
2. Build a pyramid of three split logs (split will start much faster). Arrange the uneven wood to provide plenty of air space between.
3. Now, light the paper at both sides of the firebox.
4. Close the screens to prevent the escape of sparks and embers.
5. Close the damper only when your fire is completely out and ashes are cold. Keep closed when fireplace is not in use to prevent unnecessary loss of heated or cooled air.

GLASS DOOR OPERATING SAFETY PRECAUTIONS AND INSTRUCTIONS

These fireplaces may be equipped with glass doors. Refer to the end of this document for a listing of the glass doors approved for use with these fireplaces.

WARNING: IF YOUR FIREPLACE IS EQUIPPED WITH GLASS DOORS, IT SHOULD BE OPERATED WITH THE DOORS FULLY OPEN OR FULLY CLOSED. IF THE DOORS ARE LEFT PARTIALLY OPEN, GAS AND FLAMES MAY BE DRAWN OUT OF THE OPENING, CREATING RISKS OF BOTH FIRE AND SMOKE. REFER TO FIGURES 3 AND 4 FOR PROPER OPERATING CONDITIONS.

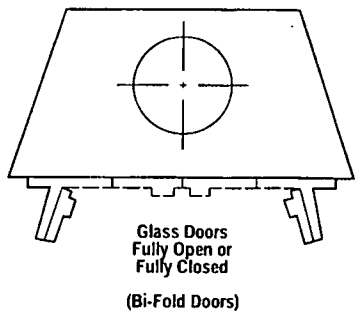


Figure 3

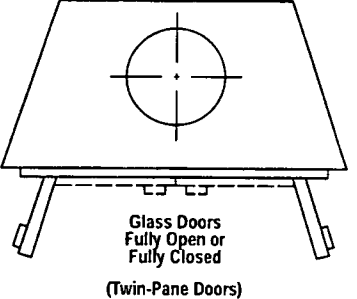


Figure 4

CAUTION: IF A SMOKING CONDITION EXISTS, GLASS DOORS SHOULD BE CLOSED DURING FIREPLACE OPERATION.

Care and Cleaning of Your Glass Doors

Never clean the glass when the doors are hot. Do not use ammonia or ammonia based glass or household cleaner to clean the glass or the door frame. An ammonia based cleaner will damage the finish of the glass door.

Clean the glass doors by wiping with a damp towel followed by a clean dry towel to remove streaks.

Remove stubborn stains from the glass with a mild soap solution and a towel dampened with clean water. Dry with a clean dry towel.

NOTE: DIAGRAMS & ILLUSTRATIONS NOT TO SCALE.

- The fire must always be confined within the boundaries of the fuel grate.
- The fireplace screens must always be closed whenever the fireplace is being used.
- Never slam the glass door since it could cause the glass to break.
- Do not build excessively large or hot fires — scorching or discoloring of the plated brass trim may occur.
- Extreme temperature changes can cause glass breakage — do not build a hot fire and close the glass doors if the doors are cold.
- If the tempered glass pane becomes scratched or chipped, it creates a weakness in the glass which can cause the glass to break when heated. Replace the pane of glass by contacting your nearest dealer.

CAUTION: GLASS AND METAL FRAMES GET HOT — ALWAYS USE HANDLES TO OPEN AND CLOSE THE DOORS.

WARNING: BE AWARE THAT SAFETY GLASS IS UNPREDICTABLE WHEN HOT AND MAY BREAK, EXPELLING HOT GLASS INTO THE ROOM. ADVISE ALL FAMILY MEMBERS TO REMAIN WELL AWAY FROM THE FIREPLACE WHEN OPERATING WITH DOORS CLOSED TO AVOID ANY POSSIBLE PERSONAL INJURY.

IMPORTANT: Plated polished brass glass doors may have a plastic covering over all brass pieces for protection during shipping and handling. The plastic covering should be removed before installation of the glass doors. Under the plastic covering is a protective lacquer coating which should not be removed. In some instances, if it is removed, irreversible damage to the brass finish could occur. Refer to the following for specific information on plated polished brass.

IMPORTANT: The lacquer coating on the polished brass glass doors and trim pieces can be damaged or removed causing corrosion and/or tarnish. Do not remove the protective lacquer coating from plated polished doors and trim. To help protect the finish; use a non-acidic wax and avoid the over-spray of acidic/alkali based glass cleaners on the brass pieces. Please understand that the heat of the fire will cause the protective lacquer finish to slightly change to a light caramel color. Do not be alarmed as this is a normal occurrence.

COMBUSTION AIR

A proper amount of combustion air is important for your fireplace. Fireplaces consume large amounts of oxygen. It is important to allow an adequate supply of air.

If the fireplace is not equipped with an outside air kit, it may not obtain sufficient amounts of combustion air from inside the house or structure in which it is installed. Therefore, the fire may draw from an outside air source and pull air in through the chimney. This may cause smoke spillage into the room.

Smoke spillage often occurs when a fire is first started, until the fireplace and the chimney has had the opportunity to "come up to temperature" and to begin to function normally. If smoke spillage problems persist, a window may be opened just a crack to allow the proper flow of combustion air to the fireplace.

If your fireplace is equipped with an outside combustion air kit, keep it open at all times when fire is burning and close when fire is out to prevent cold air intrusion.

Combustion Air Control

The actuator for combustion air system is standard on all fireplaces but must not be operated if the complete system is not installed. See *Figure 5* and refer to *Figure 2*.

If you have reason to believe that you do not have a complete outside combustion system, contact your distributor to have your fireplace inspected for the presence of the complete system before you use the combustion air actuator. DO NOT assume that you have this system in place because you have an actuating lever present on your fireplace front face.

WARNING: DO NOT OPERATE THE COMBUSTION AIR ACTUATOR UNLESS A COMPLETE OUTSIDE COMBUSTION AIR VENT SYSTEM HAS BEEN INSTALLED WITH YOUR FIREPLACE.

To provide outside combustion air to your fireplace while it is in operation, locate the combustion air actuator along the right side of the fireplace opening behind the screen.

To operate, push the end of the actuator to the left as shown in *Figure 5*, until it "pops" free of its "locked" position. Pull the actuator forward to open the combustion air door, and push it back to close.

To "lock" the combustion air door closed, ensure the actuator is pushed all the way back, then push the end of the actuators to the right until the step in the actuator moves behind the fireplace front face within the slotted opening.

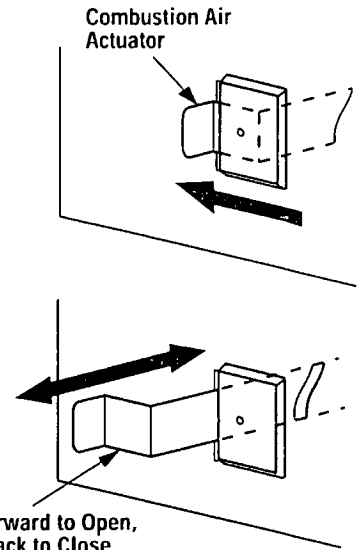


Figure 5

REFRACTORIES

All fireboxes contain a furnace refractory floor, sides and back. These refractories are reinforced with steel, but can be broken by improper use. Dropping logs on the bottom refractory and building fires directly against the refractories can cause premature burnout of these components. It may easily be repaired or replaced at costs far below repair and maintenance for masonry fireplaces.

Proper care and "burn-in" of the firebox will prolong the period of enjoyment without extensive maintenance. For the first few uses, build small fires — not roaring infernos. The materials used in the refractories contain and absorb moisture. It is important to "cure" the refractories by building only modest fires. Under normal usage, it is expected that hairline cracks will appear in the refractory surface. These hairline cracks do not affect the safe operation of the fireplace.

Refractories should be replaced when:

1. The crack opens more than 1/4" (19 mm).
2. Pitting in the surface is extensive and pits become deeper than 3/16" (4.76 mm).
3. Any piece of refractory larger than 2" (51 mm) in radius and 3/16" deep becomes dislodged.

If conditions 1, 2 or 3 occur, the refractory should be replaced.

MAINTENANCE GUIDELINES

Your fireplace is designed to operate trouble-free with minimum maintenance. However, like any fine appliance, it deserves and requires some housekeeping attention.

Your fireplace will perform better – and certainly look more attractive to family and friends – if it is cleaned before each use. Before the first seasonal use in Autumn and after the last fire in Spring, it is important to inspect the fireplace system carefully. We recommend at least two complete fireplace inspections a year.

Before Each Use

1. Clean the firebox of excessive ashes. Some owners prefer to leave a small layer to insulate the cold refractory below the grate which helps fire starting.

This fireplace has a factory supplied grate attached, it is permissible to remove the grate for cleaning; however, the grate must be re-attached to the fireplace before the next burn.

2. Keep the fireplace screens clean so combustion air flows freely.

3. Spot check the brick-like refractory for small cracks. Heat from the fire expands it slightly. When it cools, it contracts.

TWICE A YEAR CHECK-UP

Normally, twice a year, you should inspect your fireplace following this list:

1. Inspect the opening in your chimney top and remove any debris that could clog it. The cap is usually held in place by four (4) screws, which remove easily for checking or cleaning the full length of the flue from above. Remove the chimney top while wearing gloves to guard against any sharp metal edges.

2. Inspect the entire flue from the top down for obstructions such as birds nests, leaves, etc. This may be done by using a flexible handled chimney cleaning brush. If the chimney contains offset/return elbows; a soft brush cleaning from the top down to any elbow and then from the firebox up to the offset/return section is the proper method. The beam from a powerful flashlight will help in this inspection.

3. Look up from inside the fireplace (damper open) to see any obstructions in the lower flue area. If present, shut the damper and glass doors (if installed) to seal the firebox and contain any soot that might fall.

If you do not have glass doors installed, a damp sheet covering the fireplace opening and sealed with masking tape will do. Then clean the flue from the top down (if an offset system, clean per Step 2) using a proper size chimney brush with flexible pole sections. Don't open the doors or remove the sheet until all soot has settled. Vacuum, don't sweep.

4. Check the metal flashing and seals around your chimney. Seal any cracks or loose nail-head openings to prevent roof leaks.

5. Clean the firebox thoroughly by using a soft brush or equivalent.

WARNING: CONTINUED OVERFIRING CAN PERMANENTLY DAMAGE YOUR FIREPLACE SYSTEM. SOME EXAMPLES OF OVERFIRING ARE:

- BURNING QUANTITIES OF SCRAP LUMBER, PINE BRANCHES, PAPER OR CARDBOARD BOXES WHICH EXCEED THE VOLUME OF THE NORMAL LOG FIRE.

- USE OF ARTIFICIAL WAX BASE LOGS, TRASH OR OTHER CHEMICALS OR CHEMICALLY TREATED COMBUSTIBLES.

CREOSOTE FORMATION AND REMOVAL

When wood is burned slowly, it produces tar and other organic vapors, which combine with expelled moisture to form creosote. The creosote vapors condense in the relatively cool chimney flue of a slow-burning fire. As a result, creosote residue accumulates on the flue lining. When ignited, this creosote makes an extremely hot fire.

The chimney should be inspected at least twice yearly during the heating season to determine if a creosote build-up has occurred.

If creosote has accumulated, it should be removed to reduce the risk of a chimney fire.

If creosote build-up is found, do not use chemical chimney cleaners that are poured on a hot fire. The chemical cleaners can be dangerous and generally only work on the flue section nearest the fire, leaving the rest of the flue unaffected. It is best to take the time to clean the flue as previously described or have the chimney professionally cleaned by a qualified chimney sweep.

TROUBLESHOOTING

No Smoking Allowed

Your new fireplace is designed not to smoke if properly installed and operated per our instructions. If you do experience a problem, here are several things to check:

1. Remember – always check to ensure your flue damper is in the open position before lighting a fire!

2. When lighting your fire, a little smoke may escape into the room – more likely if the chimney is cold. To correct this, hold a lighted newspaper up inside the firebox near the open flue damper. This will turn around any downdraft and clear the flue of cold air. As your log fire burns below, the updraft will improve as the chimney heats up.

3. Is your fire too far forward? Move it toward the back with your poker. Keep the fire well within the confines of your fuel grate.

4. Keep your fire up on the grate and the refractory below free of excessive ashes. The fire needs plenty of air movement around the logs.

5. If smoking occurs an hour or two after lighting the fire, perhaps your well-insulated house is too airtight and there is scarcely any way for replacement air to enter and feed the fire. Check to see if your outside combustion air kit (if installed) is open. Check outside to ensure no obstructions are in front of exterior air entry. Open a window slightly, open doors to one or two rooms and see if this stops the smoking.

6. Is a vent fan, exhaust hood or central heating/cooling system stealing combustion air from your fireplace? If their volume is high enough, this can cause negative pressure and an unwanted downdraft – and smoking.

7. Is your wood fuel too wet or unseasoned? Or does it contain some chemical substance that causes sputtering, smoking and toxic fumes?

8. *Figure 6* illustrates the correct height of your chimney top. It is unlikely that your installation does not adhere to the installation instructions. However, if not correct, you could experience an unusual downdraft. Usually, the best solution is to increase the chimney height. This may also be necessary if nearby trees, adjoining roof lines or a hill is causing a downdraft condition.

9. Remember, your fireplace has been designed as a supplemental heating device only, it is not intended to heat your entire home.

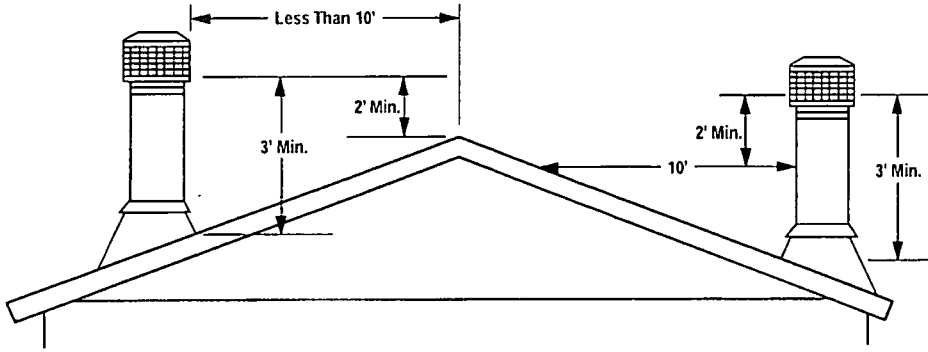


Figure 6

WARRANTY

This fireplace is covered by a limited warranty detailed separately from this document.

Retain this manual. File it with your other documents for future reference.

PRODUCT REFERENCE INFORMATION

We recommend that you record the following important information about your fireplace. Please contact your Lennox dealer for any questions or concerns. For the number of your nearest Lennox dealer, please call 1-800-9-LENNOX.

Your Fireplace's Model Number _____
Your Fireplace's Serial Number _____
The Date On Which Your Fireplace Was Installed _____
Your Dealer's Name _____

REPLACEMENT PARTS

A complete parts list is found at the end of this manual. Use only parts supplied from the manufacturer.

Normally, all parts should be ordered through your Lennox distributor or dealer. Parts will be shipped at prevailing prices at time of order.

When ordering repair parts, always give the following information:

1. The model number of the appliance.
2. The serial number of the appliance.
3. The part number.
4. The description of the part.
5. The quantity required.
6. The installation date of the appliance.

ACCESSORY COMPONENTS

Forced Air Blower Kits
 -Single Speed FBK-100
 -Variable Speed FBK-200

Blower Kit

The FBK-100 blower provides for a constant velocity forced air circulation feature for your appliance. The FBK-200 assembly with variable speed wall switch provides a forced air circulation feature for your appliance.

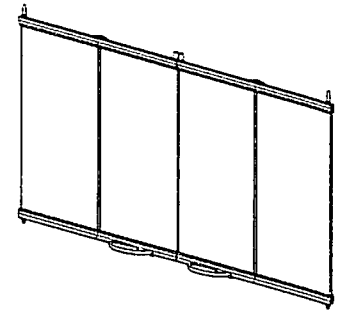
Louver Kits
 -Brass LK36-B/LK42-B
 -Brushed Stainless LK36-BS/LK42-BS

Louver Kits

Decorative louver kits are available to enhance and beautify the front face of your fireplace. These kits are designed to attach directly to the fireplace front face over the louvers of HC models. They are available in both bright brass and brushed stainless finishes. Use models LK36 with HCI-36 fireplaces and models LK42 with HCI-42 fireplaces.

NOTE: DIAGRAMS & ILLUSTRATIONS NOT TO SCALE.

ACCESSORY COMPONENTS



Bi-Fold Doors
 42 ABF/36 ABF
 42 ABF-BB/36 ABF-BB
 42 ABF-BS/36 ABF-BS

Bi-Fold Doors

Your fireplace can be fitted with beautiful bi-fold doors. Model ABF doors are available for use with these fireplace. Doors are easily fitted to the fireplace opening. Use Model 36 doors with 36 inch fireplaces and Model 42 doors with 42 inch fireplaces. Model ABF doors come with standard black finish. Model ABF-BB doors have a beautiful bright brass finish. Model ABF-BS doors have a brushed stainless finish.

Twin Pane Doors
 42 TPA-BB
 36 TPA-BB

Twin Pane Doors

Your fireplace can be fitted with beautiful twin pane doors. Model TPA doors are available for use with these fireplace. Use Model 36 doors with 36 inch fireplaces and Model 42 doors with 42 inch fireplaces. Model TPA doors are easily fitted to the fireplace opening. Model TPA-BB doors have a beautiful bright brass finish.

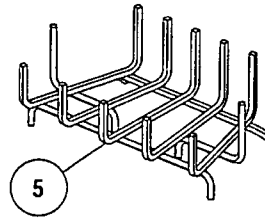
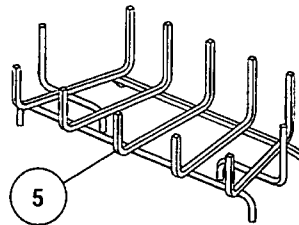
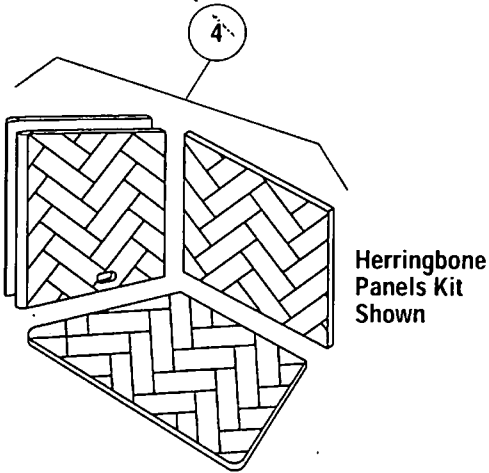
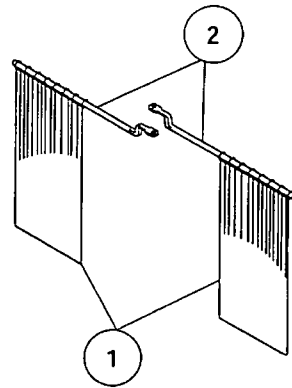
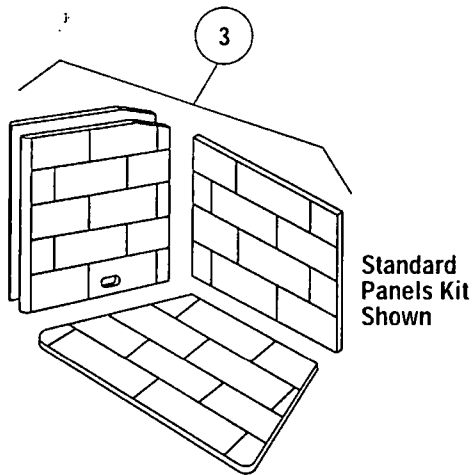
To ensure warranty and to prevent a potential fire hazard, do not use any other doors on these appliances.

Exterior Trim Kits
 -Brass ETK36-B/ETK42-B
 -Brushed Stainless ETK36-BS/ETK42-BS

Exterior Trim Kits

Decorative exterior trim kits are available for use with HC fireplace models only. These kits are designed to attach to the fireplace front face around the firebox opening. They are available in both beautiful bright brass and distinctive brushed stainless finishes to provide a dramatic enhancement to the appeal of the fireplace in the home. Use models ETK36 with HCI-36 fireplaces and models ETK42 with HCI-42 fireplaces.

REPLACEMENT PARTS



No.	DESCRIPTION	Models 36		Models 42	
		Part No.	Qty.	Part No.	Qty.
1.	Firescreen	36L89	2	36L99	2
2.	Rod, Screen	H4415	2	88L98	2
3.	Refractory Kit (Standard)	88L72	1	88L79	1
4.	Refractory Kit (Herringbone)	88L86	1	88L93	1
5.	Grate	87L26	1	87L27	1
	Grate Bracket Holder (not illustrated)	99L37	1	99L37	1
	Refractory Clip/Retainer, Rear (not illustrated)	H4535	1	H4535	1
	Touch Up Paint (not illustrated)	90L73	1	90L73	1

NOTE: DIAGRAMS & ILLUSTRATIONS NOT TO SCALE.

The manufacturer reserves the right to make changes at any time, without notice, in design, materials, specifications, prices and also to discontinue colors, styles and products. Consult your local distributor for fireplace code information.



EARTH PRODUCTS

HEARTH PRODUCTS
KITS AND ACCESSORIES

P/N 750028M
Rev. G 04/2013

BLOWER KIT
FBK-100 and FBK-200

**INSTALLATION INSTRUCTIONS FOR BLOWER KITS FBK-100 (80L84) AND FBK-200 (80L85)
FOR USE WITH LENNOX HEARTH PRODUCTS FIREPLACES**

	! WARNING
	<p>Hot glass will cause burns. Do not touch glass until cooled. Never allow children to touch glass.</p> <ul style="list-style-type: none"> • Install only when fireplace is OFF and COLD. • Fireplace surfaces get EXTREMELY HOT! • The glass on the front of the fireplace reaches EXTREMELY HIGH temperatures and can cause severe burns if touched. Even after the gas is turned off, fireplace surfaces remain extremely hot. • Keep children away from an operating fireplace. Closely supervise children in any room where a fireplace is operating to prevent contact with glass.

WOOD, B-VENT, AND DIRECT VENT (EXCLUDING LINEAR) FIREPLACES

NOTE: In Universal Vent-Free fireplace applications, refer to the fireplace Installation Instructions for additional information.

1. Turn OFF the fireplace and allow it to cool before proceeding.
2. If the appliance is connected to 120 volt power, disconnect the power.
3. If unit is a gas fireplace, shut OFF the gas supply to the fireplace.
4. Access the bottom compartment.

Wood-burning fireplaces with a louver panel

Push the two fireplace opening screens toward the middle of the unit to expose the louver panel retaining screw at each end of the panel. Remove the retaining screws and then pull the panel from the unit.

Wood-burning fireplaces with a grille

Remove the bottom grille by lifting it up near its outer support rods. It must be lifted high enough to clear the support rod retaining holes located in the cabinet bottom flange. Then pull the bottom of the grille away from the fireplace.

Elite-2 Series Gas Fireplaces

Remove the bottom door (panel or louvers) by sliding the hinge pin, located at the door's left side, to the right until it disengages from the left corner post hole. Pull the door diagonally to the left, away from the fireplace.

Remove the modesty panel by lifting the modesty panel by the tab on the right end, then pulling the right end of the panel away from cabinet. Pull the panel diagonally out of the corner post slots on the left side of the unit. Remove the modesty panel carefully, to make sure no wires become loose or disconnected.

Merit Gas Fireplaces

Remove the bottom panel or louvers by removing the screw at each end of the panel or louvers, retain the end spacers, and then pull the panel or the louvers from the unit.

All Other Gas Fireplaces (except Rhapsody Linear and Elite Linear View)

Open the lower panel (clean face models) or louver assembly (louvered models) by simultaneously pushing in the left and right side of the panel or louver assembly.

GENERAL INFORMATION

These blower kits may be used with the LENNOX HEARTH PRODUCTS fireplace models listed herein. The blower is installed beneath the firebox. Room air is drawn in through the bottom area of the fireplace, heated as it passes across the firebox, and discharged through the upper panel/louver area at the top of the fireplace.

FBK-100 Blower Kit

Use with wall-mounted ON/OFF blower switch or wall-mounted ON/OFF/REMOTE switch with remote control operation. Kit contains one blower, two Velcro strips, and these instructions.

FBK-200 Blower Kit

Use with wall-mounted variable speed blower control switch. Kit contains one blower, one speed control switch, two Velcro strips, and these instructions.

NOTE: Velcro strips are for use only when referenced herein for a specific application.

Refer to applicable instructions on the following pages:
Burning Fireplaces: Page 1

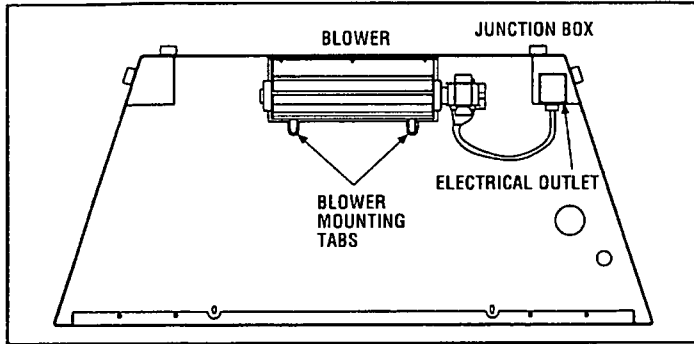
- Direct-Vent and B-Vent Gas Fireplaces (except Linear): Page 1
- Rhapsody Linear Direct-Vent Gas Fireplaces: Page 4
- Elite Linear Direct-Vent Gas Fireplaces: Page 6
- Universal Vent Free Fireplaces: Page 7

5. Place the blower.

Front-Open Direct-Vent and B-Vent Gas Fireplaces

Slide the blower assembly through the front opening to the middle rear area of the cabinet base. Position the blower assembly so the tabs in the cabinet base are seated in the notches of the blower bracket. Then bend the tabs over to secure the blower assembly (*Figure 1*).

Figure 1: Blower Installation in Front-Open Direct-Vent and B-Vent Gas Fireplaces



Multi-Open Direct-Vent Gas Fireplaces

Open all remaining bottom hinged-panels. Slide the blower assembly through the closest opening to the flue side of the cabinet base. Position the blower assembly so the tabs (on the cabinet base) are seated in the notches of the blower bracket. Bend the tabs over to secure the blower assembly (*Figure 2* or *Figure 3*).

Figure 2: Blower Installation in Multi-Open Direct-Vent Gas Fireplaces (See-Through, Peninsula, Corner Left)

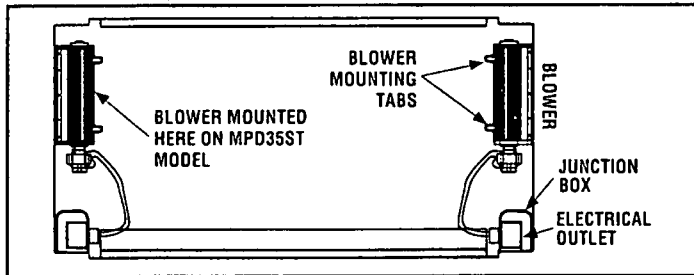
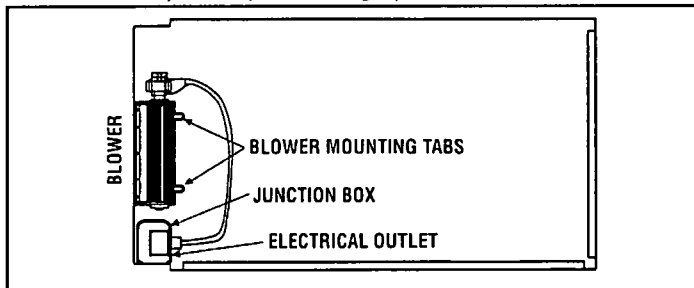


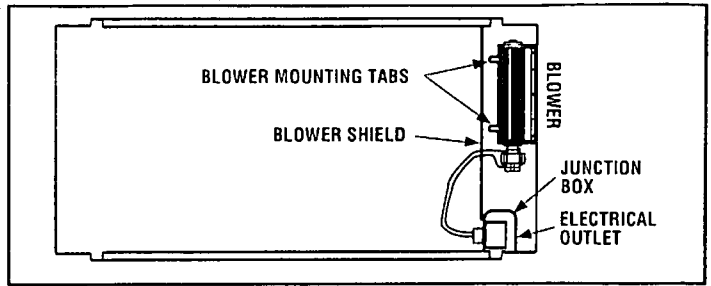
Figure 3: Blower Installation in Multi-Open Direct-Vent Gas Fireplaces (Corner Right)



Multi-Open Vent-Free Gas Fireplaces

Open all remaining bottom hinged-panels. Remove the blower shield located across the inside right section of the unit (*Figure 4*). Refer to the fireplace Installation Instructions for additional information on shield removal. Slide the blower assembly through the closest opening to the flue side of the cabinet base. Position the blower assembly so the tabs (on the cabinet base) are seated in the notches of the blower bracket. Bend the tabs over to secure the blower assembly. Reinstall the blower shield with the blower cord routed to the electrical outlet.

Figure 4: Blower Installation in Multi-Open Vent-Free Gas Fireplaces



Wood-Burning Fireplaces (other than Vent-Free)

Place the two mating halves of each of the two Velcro® sections together. Peel the backing from one side of both of the mating pairs and stick the pairs to the back of the blower housing (*Figure 5*).

Wipe the inside surface of the bottom of the unit of any excess oil or debris. Peel the backing from the other side of the two mated Velcro strips.

Slide the blower assembly through the front opening of the unit (avoiding any contact between the sticky blower bottom and the cabinet). Position the blower assembly as shown in *Figure 6*, pressing firmly down on the blower to securely attach it to the base.

Figure 5: Installing Velcro Strips to the Blower Base

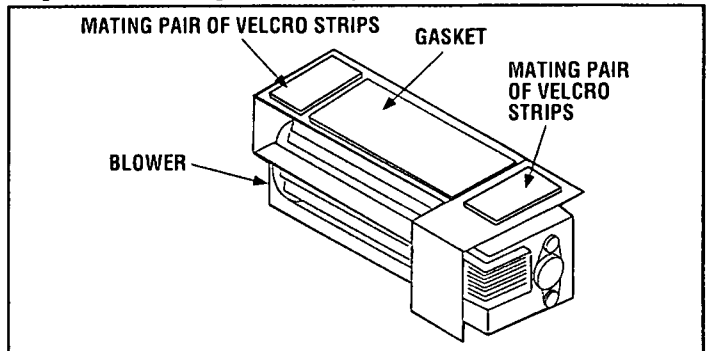
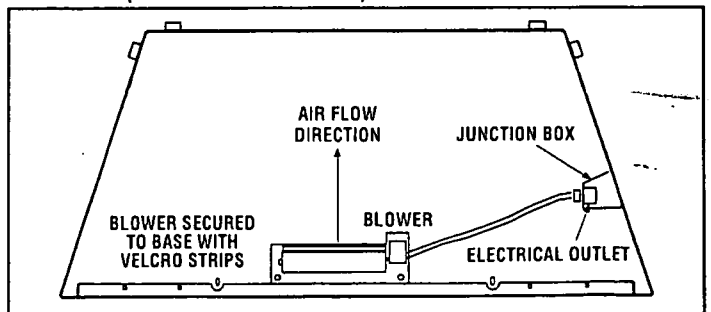


Figure 6: Blower Installation in Wood-Burning Fireplaces (other than Vent-Free)



6. Install the controls.

FBK-100 Kits, Multi-Open Direct-Vent Gas Fireplaces

Install a field-provided ON/OFF switch in a convenient location on a wall near the fireplace.

FBK-200 Kits, Multi-Open Direct-Vent Gas Fireplaces

Install the provided variable-speed control in a convenient location on a wall, near the fireplace.

7. Route the wiring.

Multi-Open Direct-Vent Gas Fireplaces

Route a 3-wire, 120Vac power line to the ON/OFF switch (FBK-100 kits) or variable speed control (FBK-200 kits) as shown in *Figure 7*. Then route the wires to the unit's junction box. Remove the receptacle by removing the two securing screws. Connect the supply wires to the receptacle (*Figure 7*), ensuring that the polarity (as determined by the colors of the wires) is exactly as shown. Reinstall the receptacle.

8. Plug the blower cord into the top receptacle.

9. Reinstall the modesty panel (if applicable).

Elite-2 Series Gas Fireplaces

Reinstall the modesty panel carefully, so that none of the wires become loose or disconnected.

10. Reinstall the bottom panel, louver assembly, bottom louver panel, or grille.

11. Restore electrical power to the fireplace.

12. Start the fireplace by following the procedure indicated in the lighting instructions section of the Care and Operation Instructions manual supplied with the fireplace.

13. Confirm blower operation (startup, shutdown, variable speed [if applicable], and running).

⚠ CAUTION

Ground lead must be connected to the green screw located on the junction box. Failure to do so will prevent the appliance from operating. The appliance must be electrically grounded in accordance with local codes or, in the absence of local codes, the National Electrical Code, ANSI/NFPA 70—latest edition (In Canada, the current CSA C22-1 Canadian Electrical Code.)

Figure 7: 120 V, 60 Hz, 1 PH Blower Control Circuit Wiring (Direct Vent Appliances)

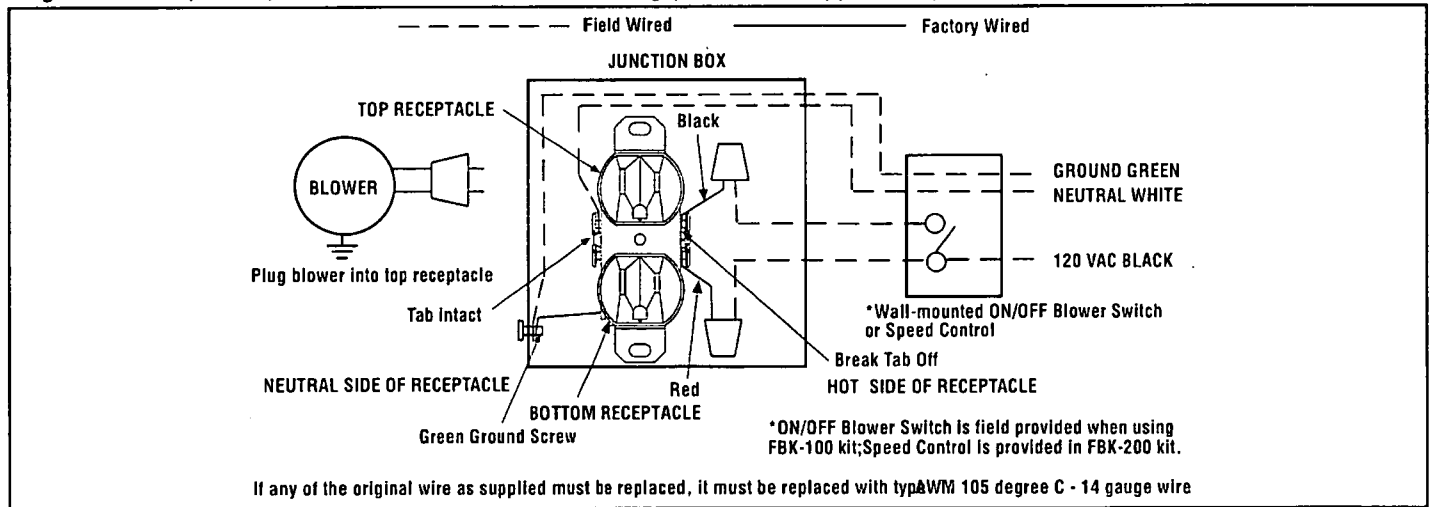
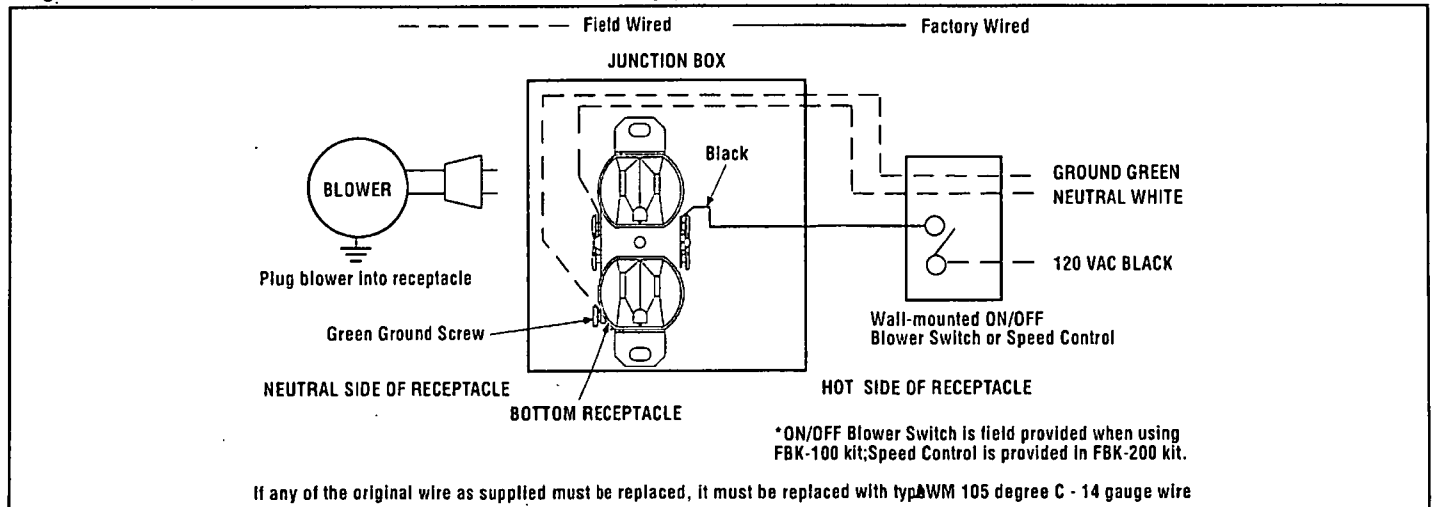


Figure 8: 120 V, 60 Hz, 1 PH Blower Control Circuit Wiring (Wood and B-Vent Appliances)



RHAPSODY LINEAR DIRECT-VENT GAS FIREPLACES



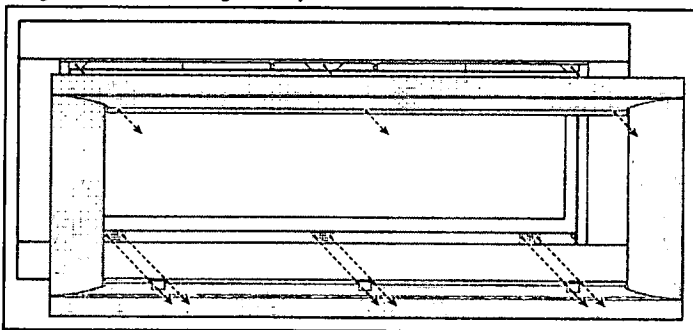
WARNING/AVERTISSEMENT

Burn hazard.
Risque de brûlure.

- Install only when fireplace is OFF and COLD.
- Installer seulement lorsque le foyer est ÉTEINT et FROID.

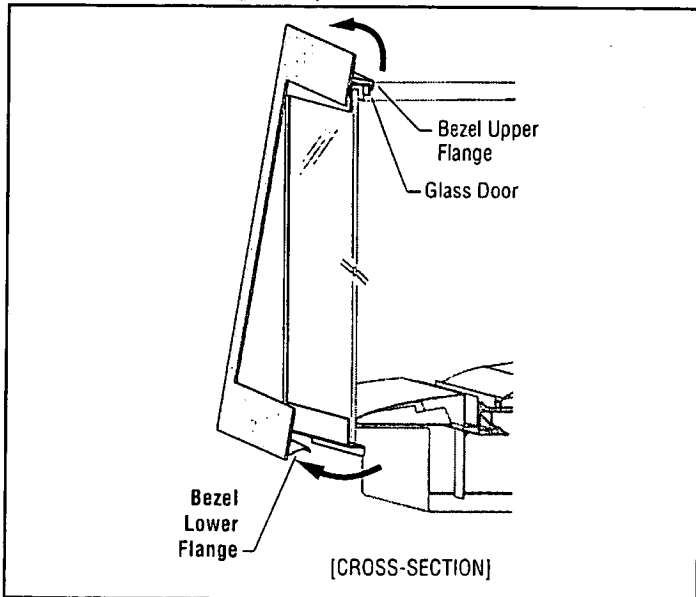
1. Shut OFF the gas supply to the appliance.
2. Disconnect the power supply at the circuit breaker.
NOTE: Make sure the appliance is COLD before starting installation.
3. Remove optional surround (if installed), by removing the nine (9) screws securing it (*Figure 9*).

Figure 9: Removing the Optional Surround



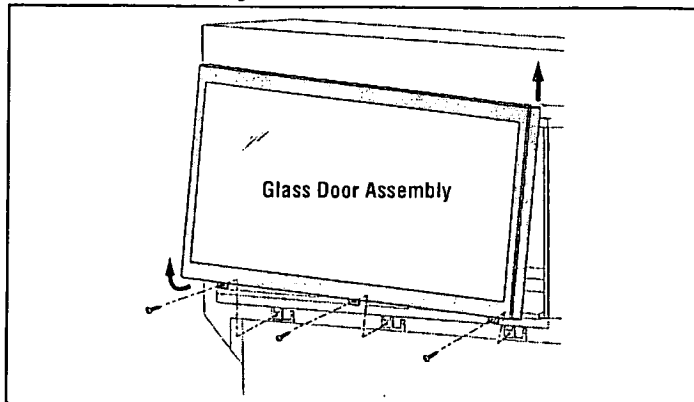
4. Remove the bezel (if installed). Gently pull out the lower edge of the bezel to detach it from the lower edge of the glass door frame (*Figure 10*). Swing the lower edge of the bezel away from the door, then lift up to unhook the bezel upper flange from the top edge of the glass door frame.

Figure 10: Removing the Optional Bezel



5. Remove the glass door by removing the three (3) screws securing the lower edge of the door to the fireplace (*Figure 11*). Grasp the door assembly by the side edges, swing out the lower edge, and then lift up to unhook it from the fireplace, taking care not to damage the glass. Set aside screws and door assembly in a secure location for later reinstallation.

Figure 11: Removing the Glass Door



6. Remove the media (if installed).
NOTE: Glass media can be removed using a clean, dry, empty shop vac. For all other types of media, follow the instructions provided with the Media Kit.
7. Remove the burner assembly with attached air shutter assembly, by removing the two 5/16 in. screws securing the burner to the burner brackets (*Figure 12*). Carefully slide the burner to the left, to clear the venturi from the orifice adjustment rod from the air shutter lever (*Figure 14*). Rotate the burner to release the air shutter adjustment rod from the air shutter lever (*Figure 14*). Set aside the screws and burner assembly in a secure location for later reinstallation.
8. Remove the control compartment access door and gasket (*Figure 12*), by removing the twelve (12) screws. Set them aside for later reinstallation.
9. Position the blower assembly so the tabs (on the cabinet base) are seated in the notches of the blower bracket. Bend the tabs over to secure the blower assembly. Reinstall the blower shield with the blower cord routed to the electrical outlet.
10. Plug the blower power cord into the Fan Control Module port marked FAN (*Figure 13* and *Figure 14*).
11. Test the blower operation. Reconnect the power supply. Slide the wall switch to the REMOTE position. Repeatedly press MODE on the handheld remote control until the BLOWER icon displays. Press the UP/DOWN ARROW key to adjust the blower speed through six levels (1–5 and OFF). Turn OFF the blower, using the remote control before turning OFF the fireplace with the wall switch.
NOTE: On Rhapsody Linear fireplaces, the blower is operated with the handheld remote control ONLY. Turning off the fireplace (flame) with the wall switch will NOT turn off the blower.
12. After confirming proper blower operation, replace all removed components, as applicable (control compartment access door and gasket, burner assembly with attached air shutter assembly, optional media, glass door, optional bezel, and optional surround).

Figure 12: Accessing the Control Compartment on Rhapsody Linear Fireplaces

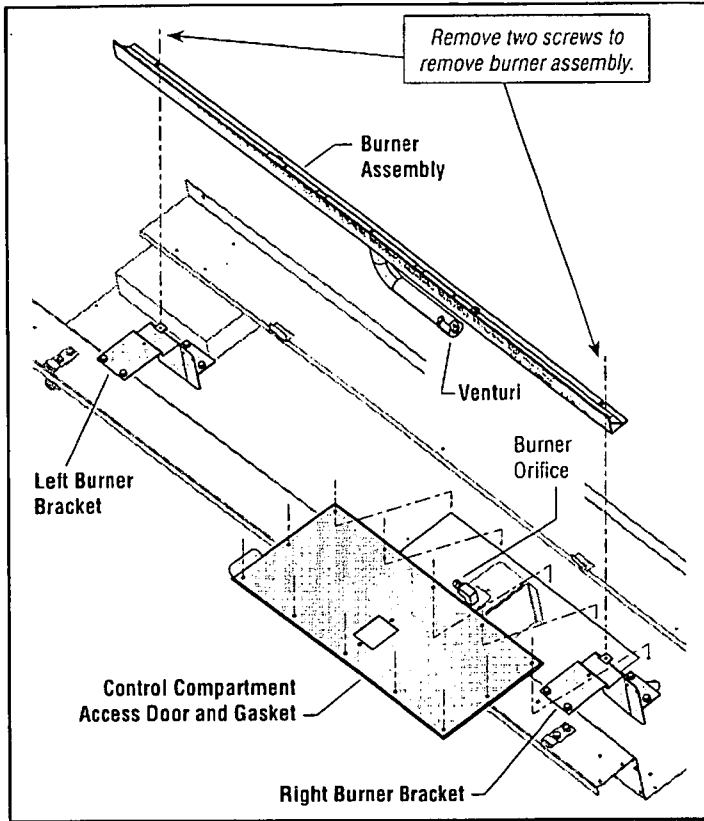


Figure 14: Removing the Burner from Rhapsody Linear Fireplaces

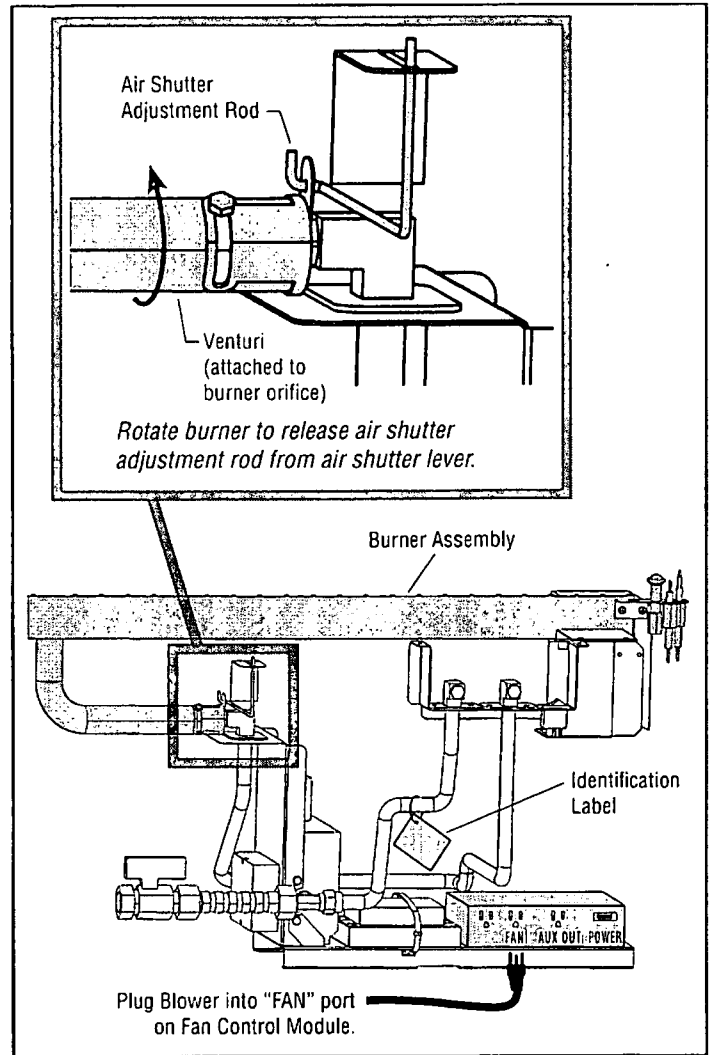
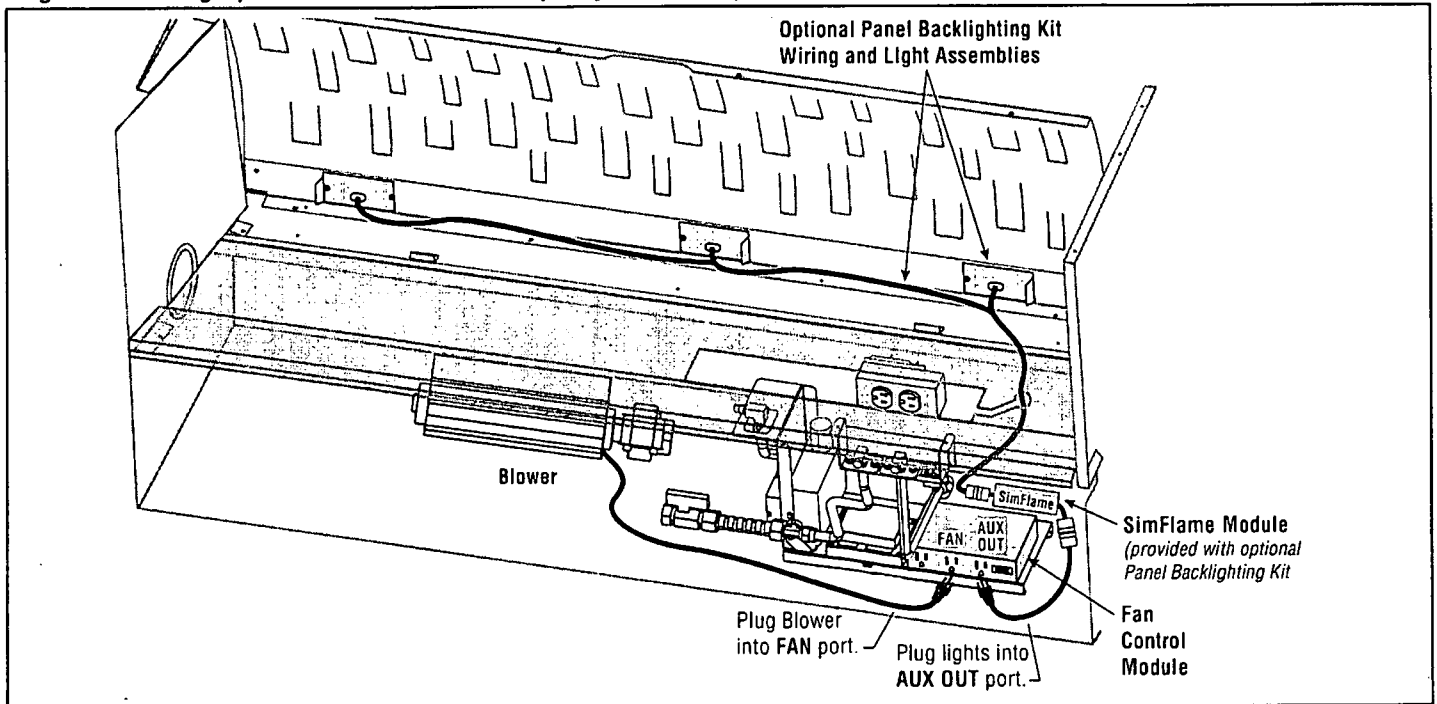


Figure 13: Wiring Optional Accessories on Rhapsody Linear Fireplaces

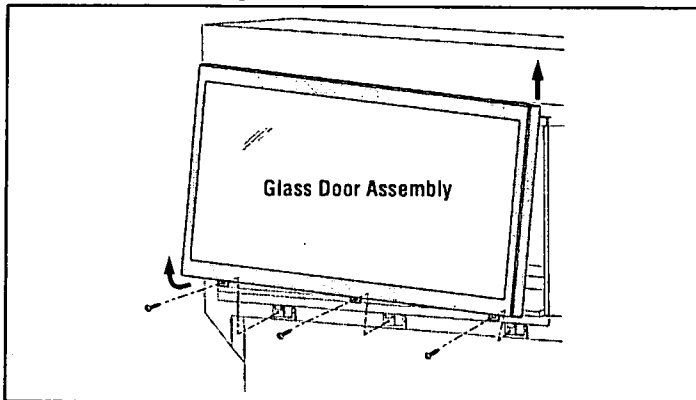


ELITE LINEAR DIRECT-VENT GAS FIREPLACES

	WARNING/AVERTISSEMENT
	Burn hazard. Risque de brûlure.
<p>• Install only when fireplace is OFF and COLD. • Installer seulement lorsque le foyer est ÉTEINT et FROID.</p>	

1. Shut OFF the gas supply to the appliance.
2. Disconnect the power supply at the circuit breaker.
NOTE: Make sure the appliance is COLD before starting installation.
3. Remove the glass door by removing the three (3) screws securing the lower edge of the door to the fireplace (*Figure 15*). Grasp the door assembly by the side edges, swing out the lower edge, and then lift up to unhook it from the fireplace, taking care not to damage the glass. Set aside screws and door assembly in a secure location for later reinstallation.

Figure 15: Removing the Glass Door



4. Remove the media.
NOTE: Glass media can be removed using a clean, dry, empty shop vac. For all other types of media, follow the instructions provided with the Media Kit.
5. Remove the fireplace floor, by removing the six (6) 5/16 in. screws securing it.

6. Remove the burner assembly with attached air shutter assembly, by removing the two (2) 5/16 in. screws securing the burner to the burner brackets (*Figure 16*). Carefully slide the burner to the left, to clear the venturi from the orifice (*Figure 17*). Rotate the burner to release the air shutter adjustment rod from the air shutter lever (*Figure 17*). Set aside the screws and burner assembly in a secure location for later reinstallation.
7. Remove the control compartment access door and gasket (*Figure 16*), by removing the twelve (12) screws. Set the door and screws aside for later reinstallation.
8. Position the blower assembly so the tabs (on the cabinet base) are seated in the notches of the blower bracket. Bend the tabs over to secure the blower assembly. Reinstall the blower shield with the blower cord routed to the electrical outlet.
9. Route a 3-wire, 120 Vac power line to the ON/OFF switch (FBK-100 kits) or variable speed control (FBK-200 kits) as shown in *Figure 7*. Then route the wires to the fireplace junction box. Remove the receptacle by removing the two (2) securing screws. Connect the supply wires to the receptacle (*Figure 7*), ensuring that the polarity (as determined by the colors of the wires) is exactly as shown. Reinstall the receptacle.
10. Plug the blower cord into the switched (black wire) receptacle (*Figure 7*).
11. Confirm blower operation (startup, shutdown, variable speed [if applicable], and running).
12. Replace all removed components, as applicable (control compartment access door and gasket, burner assembly with attached air shutter assembly, media, glass door, and modesty panel).

CAUTION

Ground lead must be connected to the green screw located on the junction box. Failure to do so will prevent the appliance from operating. The appliance must be electrically grounded in accordance with local codes or, in the absence of local codes, the National Electrical Code, ANSI/NFPA 70—latest edition (In Canada, the current CSA C22-1 Canadian Electrical Code.)

Figure 16: Accessing the Control Compartment on Elite Linear Fireplaces

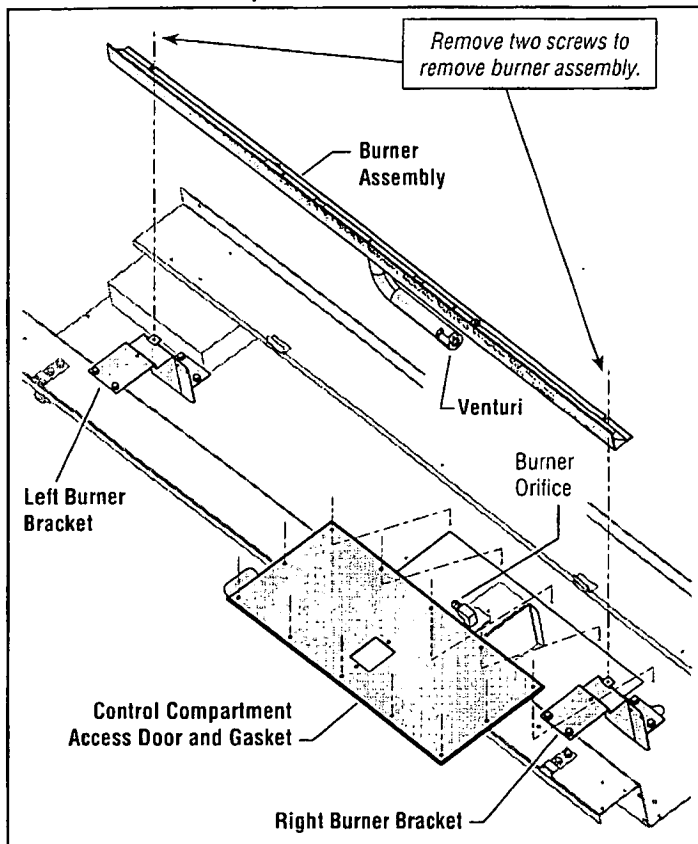
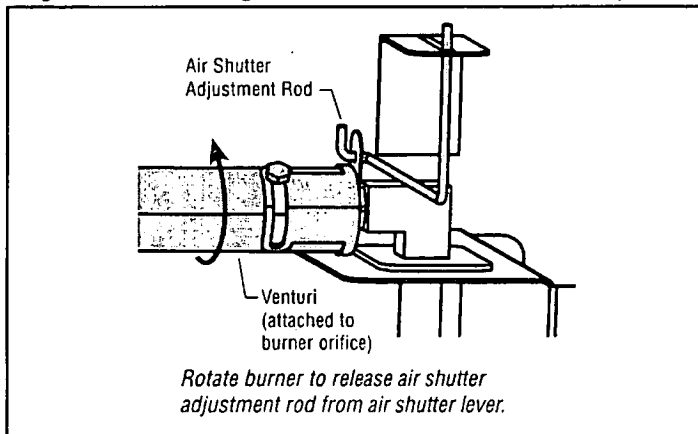


Figure 17: Removing the Burner from Elite Linear Fireplaces



UNIVERSAL VENT-FREE FIREBOXES

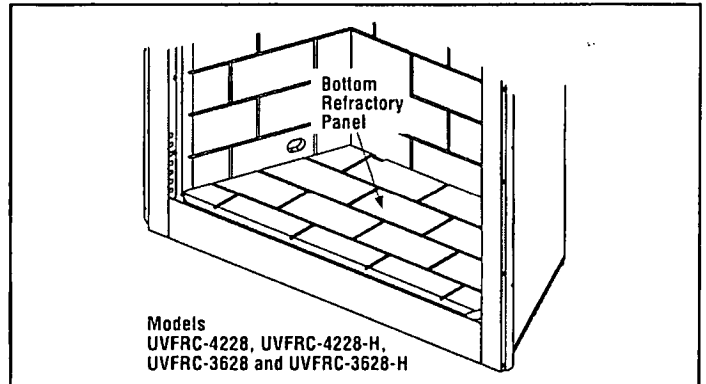
- Blower Kit FBK-100 or FBK-200
- Junction Box Kit JBK

1. Access the bottom compartment.

Models UVFRC-4228, UVFRC-4228-H, UVFRC-3628, UVFRC-3628-H

Lift out the bottom firebox liner panel (Figure 18).

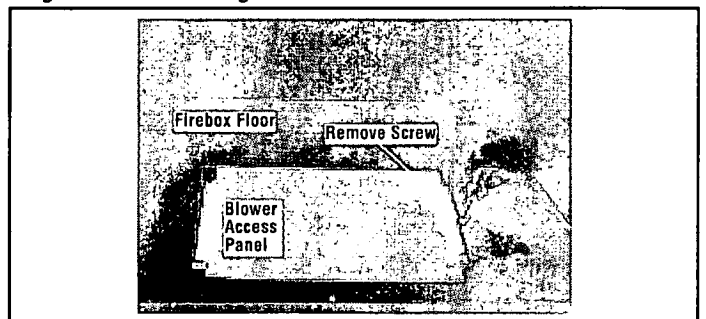
Figure 18: Removing the Bottom Firebox Liner Panel



Model UVF-36

Using a screwdriver, remove the screw from the blower access panel (Figure 19). Slide the panel to the right until the flange clears the opening. Remove the panel and set aside.

Figure 19: Removing the Blower Access Panel



- Remove the rectangular junction box knock-out on the right side of the unit. Install the junction box and electrical outlet below the firebox floor into the rectangular opening on the right side cabinet panel (with the removed knock-out) (*Figure 20* and *Figure 21*). The junction box/electrical kit is sold separately.

NOTE: Pass the wires through the hole, then squeeze the junction box flanges together to fit into opening.

Figure 20: Installing the Junction Box

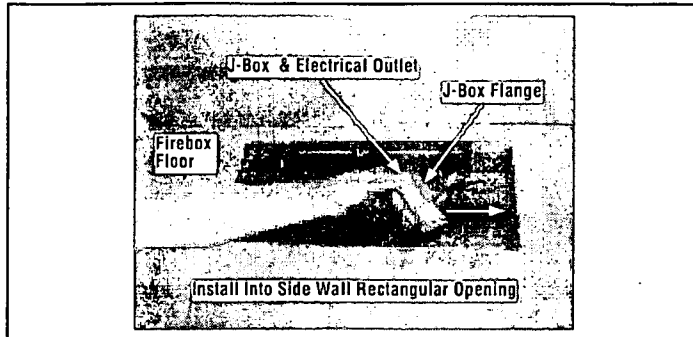
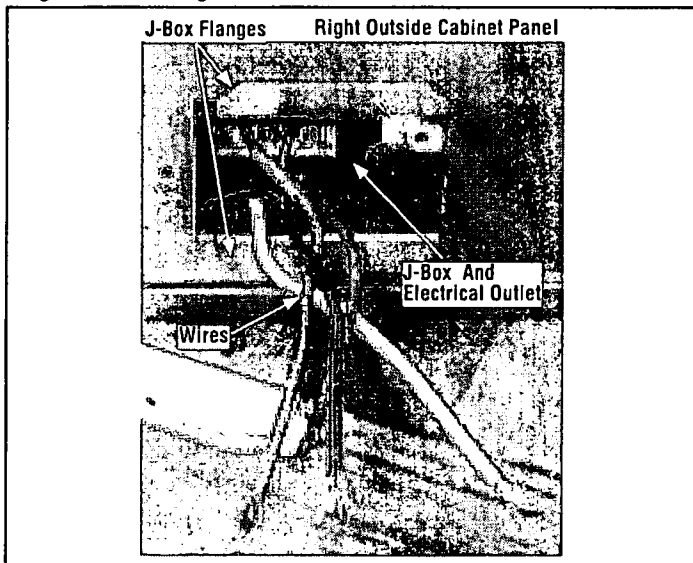
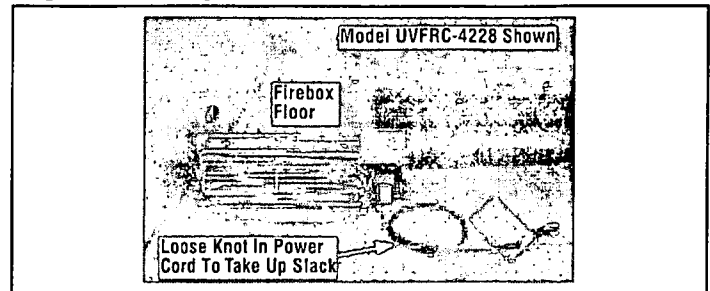


Figure 21: Wiring the Junction Box



- Loosely tie a knot in the power cord to take up slack (*Figure 22*).

Figure 22: Wiring



- Locate the tabs (*Figure 23*). Position the blower assembly so that the tabs (located on the cabinet base) are seated in the notches of the blower bracket. Bend the tabs over to secure the blower assembly (*Figure 24*).

Figure 23: Locating the Blower Installation Tabs

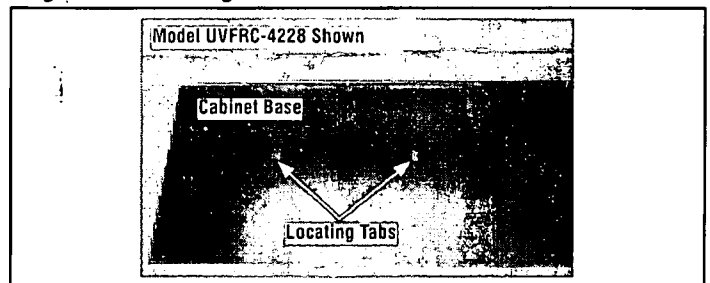
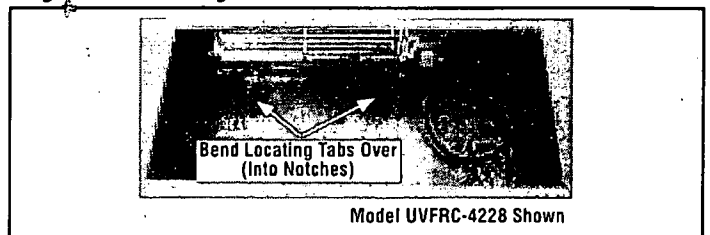


Figure 24: Bending the Blower Installation Tabs



- Plug blower power cord into the junction box electrical outlet.
- Connect the electrical outlet and switch wires to the power supply; 3-wire, 120 VAC, 60 Hz, 1 ph power supply (*Figure 8*).

FBK-100 Kits

Install a field-provided ON/OFF wall switch (or P/N 85L87) in a convenient location on a wall, near the fireplace.

FBK-200 Kits

Install the provided variable speed control (rheostat) in a convenient location on a wall, near the fireplace.

Lennox Hearth Products reserves the right to make changes at any time, without notice, in design, materials, specifications, prices and also to discontinue colors, styles, and products. Consult your local distributor for fireplace code information.

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P/N 750028M Rev. G 04/2013

LENNOX
HEARTH PRODUCTS

1508 Elm Hill Pike, Suite 108 • Nashville, TN 37210



HEARTH PRODUCTS

FIREPLACE
KITS AND ACCESSORIES

750,100M
Rev. B 01/2008

NAILING FLANGE KIT

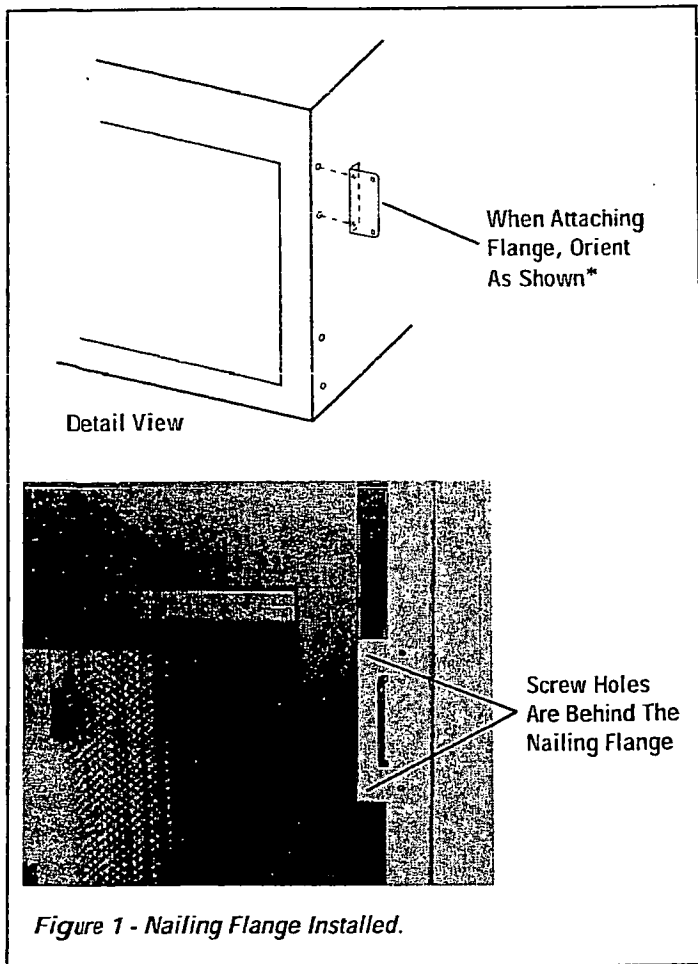
INSTALLATION INSTRUCTIONS FOR THE NAILING FLANGE KIT LNFK (96L95)

INSTALLATION OF NAILING FLANGES

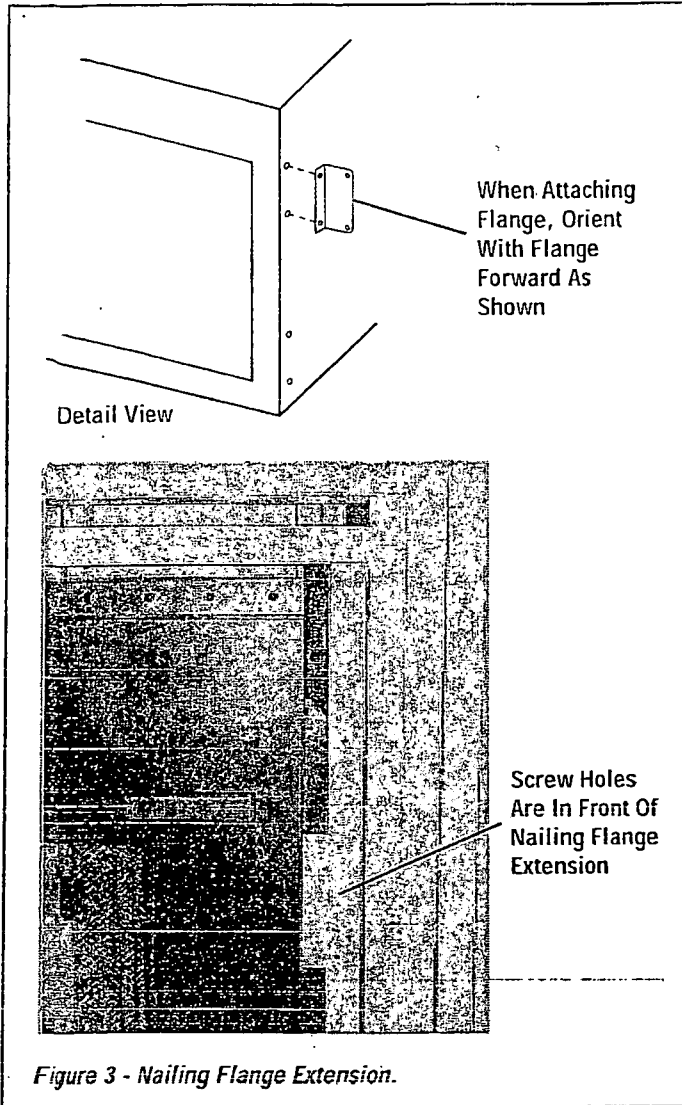
Four (4) Nailing Flanges and eight (8) sheet metal screws are furnished with each kit.

Attach two (2) Nailing Flanges as illustrated in *Figure 1*, two to each side of the fireplace. Use the screws provided in the existing holes, located on the side of the fireplace near the fireplace front edge, to attach the Nailing Flanges to the fireplace.

Secure the fireplace to the framing by nailing or screwing the Nailing Flanges to the framing.



*Note: When attaching flange to units equipped with a continuous nailing flange, orient the extended flanges as shown in *Figure 3*.



NOTE: DIAGRAMS & ILLUSTRATIONS NOT TO SCALE.

The manufacturer reserves the right to make changes at any time, without notice, in design, materials, specifications, prices and also to discontinue colors, styles and products. Consult your local distributor for fireplace code information.

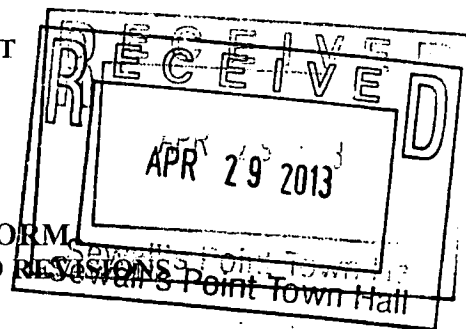


HEARTH PRODUCTS

1110 West Taft Avenue
Orange, CA 92865



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765



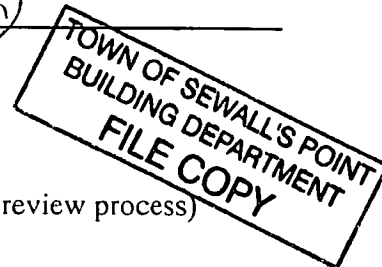
REVISIONS - CORRECTIONS REQUEST FORM
 MUST BE SUBMITTED FOR ALL CORRECTIONS AND REVISIONS

DATE: 4-24-13 PERMIT NUMBER: 10415

JOB ADDRESS: 11 PALMETTO DRIVE (Smith)

PLEASE CHECK ONE OF THE FOLLOWING:

- CONDITION OF INSPECTION APPROVAL (Needed for an inspection)
- CONDITION OF PERMIT APPROVAL: (Corrections/Permit not issued, in review process)
- REVISIONS (Changes to an issued permit)



****ALL PLAN REVISIONS MUST BE HIGHLIGHTED OR CLOUDED ON DRAWING****

ALL REVISED PAGES ARE REQUIRED TO BE INSERTED IN FIELD PERMIT SET

DESCRIPTION OF REVISION(S): REMOVED TRANSOM WINDOW OVER FRONT DOOR.
CHANGED FIRE PLACE + CHIMNEY FROM CBS TO FRAMED.

DOES REVISION(S) CHANGE THE VALUE OF CONSTRUCTION? YES NO X VALUE \$ 0
 INCREASED CONSTRUCTION VALUE WILL INCREASE PERMIT FEES AND MUST BE PAID AT TIME OF APPROVAL

CONTACT NAME: ARK HOMES SIGNATURE: [Signature]

PHONE NUMBER: 772-284-1766 FAX NUMBER: 772-334-6057

FOR OFFICE USE ONLY:

Reviewed by: [Signature] Date: 5-1-13 Approve Deny

Additional conditioned space _____ sq. ft. @ \$104.65 per sq. ft. _____ x 2% = _____

Additional non-conditioned space _____ sq. ft. @ \$ 48.90 per sq. ft. _____ x 2% = _____

Other declared value increase (must be based on value not cost) _____ x 2% = _____

Other additional fees: _____ Revision review fee: 4 Pages @ \$25.00/Page 100

Radon Fee _____ Professional Regulation Fee _____ Road impact assessment _____

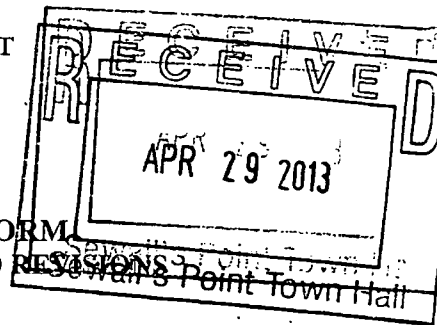
TOTAL ADDITIONAL BUILDING PERMIT FEE \$ 100

Applicant notified by: Valerie 5-2-13 Date: _____

Paid CK#2919 5/3/13



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765



REVISIONS - CORRECTIONS REQUEST FORM
 MUST BE SUBMITTED FOR ALL CORRECTIONS AND REVISIONS

DATE: 4-24-13 PERMIT NUMBER: 10415

JOB ADDRESS: 11 PALMETTO DRIVE (Smith)

PLEASE CHECK ONE OF THE FOLLOWING:

- CONDITION OF INSPECTION APPROVAL (Needed for an inspection)
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FOR OFFICE USE ONLY:

Reviewed by: [Signature] Date: 5-1-13 Approve Deny

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Other additional fees: _____ Revision review fee: 4 Pages @ \$25.00/Page 100

Radon Fee _____ Professional Regulation Fee _____ Road impact assessment _____

TOTAL ADDITIONAL BUILDING PERMIT FEE \$ 100 DD ✓ \$ 2919

Applicant notified by: Valerie 5-2-13 Date: _____

per 5.3.13

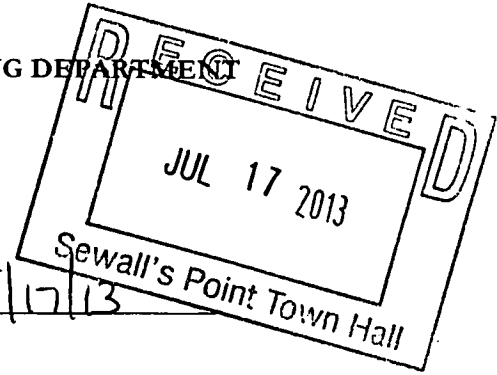
V# 2919

\$100.00

OK: 5/3/2013
[Signature]



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765



RE: Permit # 10415

Date 7/17/13

Inspection Affidavit

I Jesus Vasquez Jr., licensed as a(n) Contractor* /Engineer/Architect,
 (please print name and circle Lic. Type) FS 468 Building Inspector* *Am Full*

License #; CCC1329384

On or about July 17, 2013, I did personally inspect the roof
 (Date & time)

Dry-In Metals & deck nailing and/or secondary water barrier work at 11 Palmetto Dr,
 (circle one) (Job Site Address)

Based upon that examination I have determined the installation was done according to the Hurricane Mitigation Retrofit Manual (Based on 553.844 F.S.)

Signature *[Handwritten Signature]*

STATE OF FLORIDA
 COUNTY OF

Sworn to and subscribed before me this 17 day of July, 2013

By Jesus Vasquez Jr. Notary Public, State of Florida

[Handwritten Signature]
 (Print, type or stamp name)

Commission No.: FF015925

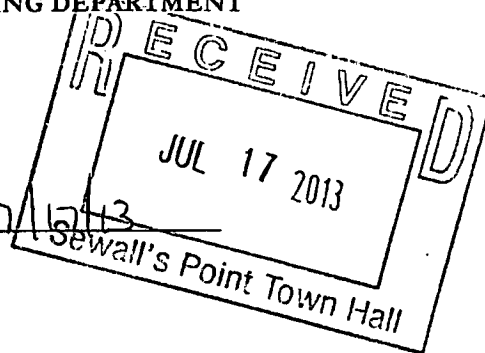
Personally known [initials] or
 Produced Identification [initials]
 Type of identification produced. _____



* General, Building, Residential, or Roofing Contractor or any individual certified under 468 F.S. to make such an inspection. Include photographs of each plane of the roof with the permit # or address # clearly shown marked on the deck for each inspection.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765



RE: Permit # 10415

Date 7/17/13

Inspection Affidavit

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Signature [Handwritten Signature]

STATE OF FLORIDA
COUNTY OF

Sworn to and subscribed before me this 17 day of July, 2013

By Jesus Vasquez Jr. Notary Public, State of Florida

[Handwritten Signature]
(Print, type or stamp name)

Commission No.: FF015925

Personally known or
Produced Identification
Type of identification produced.



* General, Building, Residential, or Roofing Contractor or any individual certified under 468 F.S. to make such an
inspection. Include photographs of each plane of the roof with the permit # or address # clearly shown marked on the
deck for each inspection.

Smith
RN10415
11 Palmetto



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

RECEIVED

JUL 17 2013

Sewall's Point Town Hall

ROOFING MATERIAL LIST

NO	MATERIAL	QUANTITY	UNIT	REMARKS
0	GAF Timberline 30 shingles	25	SQ	EXAMPLE
	1" 24 g. Gultlok Panels ^{16" wide}	48	sq	
	Cap metal	480	ft	
	W - Valley	240	ft	
	Drip Edge	400	ft	
	L. Metal	40	ft	
	Z - metal	1000	ft	
	Valley Cleat	480	ft	
	pancake headscrews ^{#10 1"}	9750	pieces	
	Polyglas Tuffus	35	rolls	
	gray caulking	1	bat	

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

RE-ROOF CERTIFICATION

PERMIT # _____

CONTRACTOR'S NAME: All American Roofing & Coating of Florida Inc. PHONE #: 772-781-4460 FAX: 772-781-4468

OWNER'S NAME: Smith ARK Homes

CONSTRUCTION ADDRESS: 11 Palmetto Dr CITY Sewall's Pt STATE FL

RE-ROOF: RESIDENTIAL (SINGLE FAMILY)
 COMMERCIAL **--REMOVE/REINSTALL ROOF TOP HVAC EQUIP YES NO

**...DISCONNECT/RECONNECT HVAC ELECTRIC YES NO

** REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

RE-ROOF DEEMED TO COMPLY WITH 553.844 F. S. YES NO - INSURED VALUE OF RESIDENCE: \$ _____

ROOF TYPE: HIP BOSTON-HIP GABLE FLAT OTHER

ROOF PITCH: 6 /12 SLOPE

ROOF DECK:* SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED

RE-SHEATH - (REMOVAL OF SPACED SHEATHING/PLYWOOD FOR APPLICATION OF NEW PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD AS PER FLORIDA BUILDING CODE "2004".

SPACED SHEATH FILL-IN - SPACES BETWEEN EXISTING SPACED-SHEATHING BOARD MAY BE FILLED-IN WITH BOARDS OF THE SAME SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2004".

New Roof

EXISTING DECK TO REMAIN/REPAIRED & RENAILED

EXISTING ROOF COVERING: _____ EXISTING COVERING TO BE REMOVED? YES NO

PROPOSED NEW ROOF COVERING: Metal

MANUFACTURER Gulf Coast PRODUCT NAME 1" Gultlok 2430 PRODUCT APPR # FL11651 R1-9

(APPROVED ROOF COVERING MATERIAL WITH CURRENT FLORIDA PRODUCT APPROVAL)
 MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION.

PROPOSED FLASHING: GALV./STEEL ALUMINUM COPPER OTHER _____

RIDGEVENT TO BE INSTALLED: YES NO

DESCRIPTION OF WORK: New Roof Tu Plus, Polyglass direct deck and 1" 24ga Gulf-Lok metal Panels

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

SIGNATURE OF CONTRACTOR _____ DATE: 7/17/13



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

**RESIDENTIAL REROOF WINDSTORM LOSS
MITIGATION CERTIFICATION (FLORIDA STATUTE 553.844)**

ALL RE-ROOFS REGARDLESS OF VALUE SHALL COMPLY WITH THE FOLLOWING:

Re-nailing: All sheathing and decking shall be re-nailed per section 201.1 and a secondary water barrier installed.

- Existing fasteners that are 8d clipped head, round head or ring shank and spaced 6 in. or less o.c. may be counted. Additional fasteners shall be 8d ring shank nails with round heads spaced at 6 in. o.c. along framing.
- Indicate below which method is to be used to satisfy the secondary water barrier requirements:

_____ All joints in roof sheathing shall be covered with a minimum of 4 in. strip of self-adhering polymer modified bitumen tape. Wood deck and self-adhering tape shall be covered by one layer of approved underlayment.

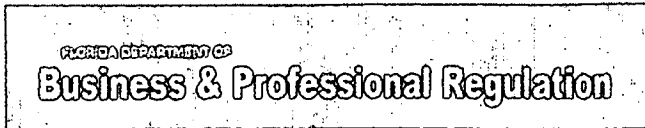
✓
_____ Entire roof deck shall be covered with an approved self-adhering polymer modified bitumen cap sheet. No additional underlayment is required.

_____ Outside of the HVHZ, an underlayment complying with section 1507.2.3 of the Florida Building Code, Building fastened as described below or a layer of asphalt impregnated approved #30 felt shall be installed. The felt is to be fastened with 1" round plastic cap or metal cap nails, attached to a nailable deck in a grid pattern of 12 inches (305 mm) staggered between the overlaps, with 6-inch (152 mm) spacing at the overlaps. For slopes of 2:12 to 4:12 an additional layer of felt shall be installed in a single-fashion and lapped 19" and fastened as described above. (No additional underlayment shall be required over the top of this sheet.)

_____ Exception: An approved 30# underlayment installed per HVHZ using nails and tin-tags and covered with an approved self-adhering polymer modified bitumen cap sheet or an approved cap sheet hot-mopped shall be deemed to meet the requirements for secondary water barrier.

Residential Structures valued at \$300,000 or more shall comply with the following:

- Roof to wall connections must be enhanced up to 15% additional cost of the re-roofing cost.
- A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
 1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
 2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
 - a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
 - b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
 - c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.



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Business & Professional Regulation

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Product Approval
USER: Public User

License efficiently. Regulate fairly.

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > [Application Detail](#)



FL # FL5259-R18
Application Type Revision
Code Version 2010
Application Status Approved
Comments
Archived

Product Manufacturer POLYGLASS USA
Address/Phone/Email 150 Lyon Drive
Fernley, NV 89408
(570) 384-1230 Ext 242
jakins@polyglass.com

Authorized Signature James Akins
jakins@polyglass.com

Technical Representative Steve Wadding
Address/Phone/Email 150 Lyon Drive
Fernley, NV 98408
(602) 363-7139
steveuw@polyglass.com

Quality Assurance Representative James Akins
Address/Phone/Email 555 Oakridge Road
Humboldt Industrial Pkwy
Hazleton, PA 18201
(800) 894-4563
jakins@polyglass.com

Category Roofing
Subcategory Underlayments

Compliance Method Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer
 Evaluation Report - Hardcopy Received

Florida Engineer or Architect Name who developed the Evaluation Report Robert Nieminen
Florida License PE-59166
Quality Assurance Entity UL LLC
Quality Assurance Contract Expiration Date 08/08/2015
Validated By John W. Knezevich, PE
 Validation Checklist - Hardcopy Received

Certificate of Independence [FL5259 R18 COI Trinity ERD CI - Nieminen - 2013.pdf](#)

Referenced Standard and Year (of Standard)	Standard	Year
	ASTM D1970	2001
	ASTM D226	2006
	ASTM D6164	2005

TU Plus
Direct Deck

ASTM D6222	2002
ASTM G154	2005
ASTM G155	2005
FM 4474	2004
FRSA/TRI 07320	2005
TAS 103	1995

Equivalence of Product Standards
Certified By

Sections from the Code

Product Approval Method Method 1 Option D

Date Submitted 04/26/2013
Date Validated 04/26/2013
Date Pending FBC Approval 05/03/2013
Date Approved 06/11/2013

Summary of Products		
FL #	Model, Number or Name	Description
5259.1	Polyglass Roof Underlayments	Roofing underlayments
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-622.5 Other: 1.) The design pressure in this application relates to one particular underlayment system for use under foam-on tile systems. Refer to ER Section 5.5.2 for other systems and maximum design pressures. 2.) Refer to ER Section 5 for other limits of use.		Installation Instructions FL5259 R18 II er042613FINAL POLYGLASS UNDERLAYMENTS FL5259-R18.pdf Verified By: Robert Nieminen PE-59166 Created by Independent Third Party: Yes Evaluation Reports FL5259 R18 AE er042613FINAL POLYGLASS UNDERLAYMENTS FL5259-R18.pdf Created by Independent Third Party: Yes

Contact Us :: [1940 North Monroe Street, Tallahassee FL 32399](#) Phone: 850-487-1824

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 *Pursuant to Section 455.275(1), Florida Statutes, effective October 1, 2012, licensees licensed under Chapter 455, F.S. must provide the Department with an email address if they have one. The emails provided may be used for official communication with the licensee. However email addresses are public record. If you do not wish to supply a personal address, please provide the Department with an email address which can be made available to the public. To determine if you are a licensee under Chapter 455, F.S., please click [here](#).

Product Approval Accepts:





EXTERIOR RESEARCH & DESIGN, LLC.
 Certificate of Authorization #9503
 353 CHRISTIAN STREET, UNIT #13
 OXFORD, CT 06478
 PHONE: (203) 262-9245
 FAX: (203) 262-9243

EVALUATION REPORT

Polyglass USA, Inc.
150 Lyon Drive
Fernley, NV 98408

Evaluation Report P12060.02.09-R13
FL5259-R18
Date of Issuance: 02/24/2009
Revision 13: 04/26/2013

SCOPE:

This Evaluation Report is issued under Rule 9N-3 and the applicable rules and regulations governing the use of construction materials in the State of Florida. The documentation submitted has been reviewed by Robert Nieminen, P.E. for use of the product under the Florida Building Code and Florida Building Code, Residential Volume. The products described herein have been designed to comply with the 2010 Florida Building Code sections noted herein.

DESCRIPTION: Polyglass Roof Underlayments

LABELING: Each unit shall bear labeling in accordance with the requirements the Accredited Quality Assurance Agency noted herein.

CONTINUED COMPLIANCE: This Evaluation Report is valid until such time as the named product(s) changes, the referenced Quality Assurance documentation changes, or provisions of the Code that relate to the product change. Acceptance of this Evaluation Report by the named client constitutes agreement to notify Robert Nieminen, P.E. if the product changes or the referenced Quality Assurance documentation changes. Trinity|ERD requires a complete review of this Evaluation Report relative to updated Code requirements with each Code Cycle.

ADVERTISEMENT: The Evaluation Report number preceded by the words "Trinity|ERD Evaluated" may be displayed in advertising literature. If any portion of the Evaluation Report is displayed, then it shall be done in its entirety.

INSPECTION: Upon request, a copy of this entire Evaluation Report shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This Evaluation Report consists of pages 1 through 10.

Prepared by:

Robert J.M. Nieminen, P.E.
 Florida Registration No. 59166, Florida DCA ANE1983



The facsimile seal appearing was authorized by Robert Nieminen, P.E. on 04/26/2013. This does not serve as an electronically signed document. Signed, sealed hardcopies have been transmitted to the Product Approval Administrator and to the named client.

CERTIFICATION OF INDEPENDENCE:

1. Trinity|ERD does not have, nor does it intend to acquire or will it acquire, a financial interest in any company manufacturing or distributing products it evaluates.
2. Trinity|ERD is not owned, operated or controlled by any company manufacturing or distributing products it evaluates.
3. Robert Nieminen, P.E. does not have nor will acquire, a financial interest in any company manufacturing or distributing products for which the evaluation reports are being issued.
4. Robert Nieminen, P.E. does not have, nor will acquire, a financial interest in any other entity involved in the approval process of the product.



ROOFING COMPONENT EVALUATION:

1. SCOPE:

Product Category: Roofing

Sub-Category: Underlayment

Compliance Statement: Roof Underlayments, as produced by Polyglass USA, Inc., have demonstrated compliance with the following sections of the Florida Building Code through testing in accordance with the following Standards. Compliance is subject to the Installation Requirements and Limitations / Conditions of Use set forth herein.

2. STANDARDS:

Section	Property	Standard	Year
1507.2.3, 1507.3.3, 1507.5.3, 1507.7.3, 1507.8.3, 1507.9.3 1507.2.4, 1507.2.9.2, 1507.3.3, 1507.5.3	Physical Properties	ASTM D226	2006
1507.11.2	Physical Properties	ASTM D1970	2001
1507.11.2	Physical Properties	ASTM D6164	2005
1504.6	Physical Properties	ASTM D6222	2002
1504.6	Accelerated Weathering	ASTM G154	2005
1504.3.1	Accelerated Weathering	ASTM G155	2005
1507.3.3	Wind Uplift	FM 4474	2004
1523.6.5.2.1	Installation Practice	FRSA/TRI 07320	2005
	Physical Properties	TAS 103	1995

3. REFERENCES:

Entity	Examination	Reference	Date
FM Approvals (TST 1867)	Wind Uplift	3004091	01/12/2000
PRI (TST 5878)	Physical Properties	PRI01111	04/08/2002
PRI (TST 5878)	Physical Properties	PUSA-005-02-01	01/31/2002
PRI (TST 5878)	Physical Properties	PUSA-013-02-01	12/23/2002
PRI (TST 5878)	Physical Properties	PUSA-013-02-02	12/23/2002
PRI (TST 5878)	Physical Properties	PUSA-013-02-03	12/23/2002
PRI (TST 5878)	Physical Properties	PUSA-018-02-01	07/14/2003
PRI (TST 5878)	Physical Properties	PUSA-028-02-01	07/13/2005
PRI (TST 5878)	Physical Properties	PUSA-033-02-01	01/12/2006
PRI (TST 5878)	Physical Properties	PUSA-035-02-01	09/29/2006
PRI (TST 5878)	Physical Properties	PUSA-055-02-02	12/10/2007
PRI (TST 5878)	Physical Properties	PUSA-061-02-02	01/28/2008
PRI (TST 5878)	Physical Properties	PUSA-076-02-01	02/22/2008
PRI (TST 5878)	Physical Properties	PUSA-083-02-01	04/14/2008
PRI (TST 5878)	Physical Properties	PUSA-088-02-01	07/29/2009
MTI (TST 2508)	Physical Properties	JX20H7A	04/01/2008
MTI (TST 2508)	Physical Properties	RX14E8A	01/29/2009
ERD (TST 6049)	Physical Properties	11752.09.99-1	02/08/2000
ERD (TST 6049)	Wind Uplift	11776.06.02	01/16/2003
ERD (TST 6049)	Physical Properties	02200.07.03	07/14/2003
ERD (TST 6049)	Wind Uplift	P1740.01.07	01/04/2007
ERD (TST 6049)	Physical Properties	P5110.04.07-1	04/11/2007
ERD (TST 6049)	Wind Uplift	P9260.03.08	03/21/2008
ERD (TST 6049)	Physical Properties	P13450.08.09	08/13/2009
ERD (TST 6049)	Wind Uplift	P30540.11.09-R1	11/30/2009
ERD (TST 6049)	Physical Properties	P11030.11.09-1	11/30/2009
ERD (TST 6049)	Wind Uplift	P11030.11.09-2	11/30/2009
ERD (TST 6049)	Physical Properties	P11030.11.09-3	11/30/2009
ERD (TST 6049)	Physical Properties	P33360.06.10	06/25/2010
ERD (TST 6049)	Physical Properties	P33370.03.11	03/02/2011
ERD (TST 6049)	Physical Properties	P33370.04.11	04/26/2011
ERD (TST 6049)	Physical Properties	P37300.10.11	10/19/2011
ERD (TST 6049)	Physical Properties	P40390.08.12-1	08/06/2012
ERD (TST 6049)	Physical Properties	P40390.08.12-2	08/07/2012
ERD (TST 6049)	Physical Properties	C41420.09.12-3	09/11/2012
ERD (TST 6049)	Physical Properties	P45370.04.13	04/26/2013
ICC-ES (EVL 2396)	IBC Compliance	ESR-1697	09/01/2012
Miami-Dade (CER 1592)	HVHZ Compliance	NOA 12-0713.02	02/14/2013
Polyglass USA	Manufacturing Affidavit	Products Current	02/18/2009
Polyglass USA	P/L Affidavit	Mule-Hide Cross Ltg	03/01/2008



Entity
Polyglass USA
UL, LLC. (QUA9625)

Examination
Materials Affidavit
Quality Control

Reference
Polystick SA Compound
Service Confirmation

Date
08/18/2011
Exp. 08/08/2015

4. PRODUCT DESCRIPTION:

4.1 **Mechanically Fastened Underlayments:**

- 4.1.1 Elastobase is a fiberglass reinforced, SBS modified bitumen base sheet.
- 4.1.2 Elastobase P is a polyester-reinforced, SBS modified bitumen base sheet.

4.2 **Self-Adhering Underlayments:**

- 4.2.1 Polystick MTS is a nominal 60-mil thick rubberized asphalt waterproofing membrane, glass fiber reinforced, surfaced with polyolefinic film surface; meets ASTM D1970 and TAS 103.
- 4.2.2 Polystick IR-Xe is a nominal 60-mil thick rubberized asphalt waterproofing membrane, glass fiber reinforced, with an aggregate surface; meets ASTM D1970.
- 4.2.3 Polystick TU is a nominal 100-mil thick rubberized asphalt waterproofing membrane, glass fiber reinforced, with a granular surface; meets ASTM D1970 and TAS 103.
- 4.2.4 Polystick TU Plus is a nominal 80-mil thick rubberized asphalt waterproofing membrane, glass fiber reinforced, with a polyester fabric surface; meets ASTM D1970 and TAS 103.
- 4.2.5 Polystick TU P is a nominal 130-mil thick rubberized asphalt waterproofing membrane, glass-fiber/polyester reinforced, with a granular surface; meets ASTM D1970 and TAS 103.
- 4.2.6 Polystick TU Max is a nominal 60-mil thick rubberized asphalt waterproofing membrane with a 170 g/m² polyester fabric surface; meets TAS 103.
- 4.2.7 Polyflex SAP, PolyFlex SAP FR, Mule-Hide SA-APP Cap Sheet and Mule-Hide SA-APP Cap Sheet (FR) are a polyester reinforced, APP modified bitumen cap sheets.
- 4.2.8 Dual Pro™ is a nominal 60-mil thick dual-layer rubberized asphalt waterproofing membrane, fiberglass reinforced, with a polyester fabric surface.
- 4.2.9 Tile Pro™ is a nominal 60-mil thick dual-layer rubberized asphalt waterproofing membrane, fiberglass reinforced, with a polyester fabric surface.

4.3 **Mechanically Fastened and/or Bonded Underlayments:**

- 4.3.1 Elastoflex S6 G and Elastoflex S6 G FR are polyester reinforced, SBS modified bitumen cap sheets.
- 4.3.2 Polyflex G and Polyflex G FR are polyester reinforced, APP modified bitumen cap sheets.

5. LIMITATIONS:

- 5.1 This Evaluation Report is not for use in the HVHZ.
- 5.2 Fire Classification is not part of this Evaluation Report; refer to current Approved Roofing Materials Directory for fire ratings of this product.
- 5.3 Polyglass Roof Underlayments may be used with any prepared roof cover where the product is specifically referenced within FBC approval documents. If not listed, a request may be made to the AHJ for approval based on this evaluation combined with supporting data for the prepared roof covering.
- 5.4 Allowable roof covers applied atop the underlayments are as follows:

Table 1: Roof Cover Options

Underlayment	Asphalt Shingles	Nail-On Tile	Foam-On Tile	Metal	Wood Shakes & Shingles	Slate
Elastobase	Yes	Yes	No	Yes	Yes	Yes
Elastobase P	Yes	Yes	No	Yes	Yes	Yes
Polystick MTS	Yes	Yes	No	Yes	Yes	Yes
Polystick IR-Xe	Yes	No	No	No	Yes	Yes
Polystick TU	Yes	Yes	Yes See 5.4.1	No	Yes	Yes
Polystick TU P	Yes	Yes	Yes See 5.4.1	No	Yes	Yes
Polystick TU Plus	Yes	Yes	Yes See 5.4.1	Yes	Yes	Yes
Polystick TU Max	No	Yes	Yes See 5.4.1	No	No	No
Dual Pro	Yes	Yes	No	Yes	Yes	Yes
Tile Pro	Yes	Yes	Yes See 5.4.1	Yes	Yes	Yes
Elastoflex S6 G	Yes	Yes	Yes See 5.4.1	No	Yes	Yes
Elastoflex S6 G FR	Yes	Yes	No	No	Yes	Yes
Polyflex G	Yes	Yes	Yes See 5.4.1	No	Yes	Yes
Polyflex G FR	Yes	Yes	No	No	Yes	Yes
Polyflex SAP or SAP FR	Yes	Yes	Yes See 5.4.1	No	Yes	Yes
Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR)	Yes	Yes	Yes See 5.4.1	No	Yes	Yes

- 5.4.1 "Foam-On Tile" is limited to use of the following Approved tile adhesives unless tensile adhesion / long term aging data from an accredited testing laboratory is provided.
- **Polyfoam PolyPro AH160:** Polystick TU, Polystick TU P, Polystick TU Plus, Elastoflex S6 G, Polyflex G, Polyflex SAP, Polyflex SA Cap FR, Mule-Hide SA-APP Cap Sheet or Mule-Hide SA-APP Cap Sheet (FR) or Tile Pro.
 - **3M™ 2-Component Roof Tile Adhesive AH-160:** Polystick TU Max
 - **Dow TileBond:** Polystick TU P, Polystick TU Plus, Polyflex SAP or Tile Pro
 - **Convenience Products' Touch 'n Seal StormBond Roof Tile Adhesive:** Polystick TU Plus, Polystick TU Max
- 5.4.2 For nail-on tile systems over Polystick MTS, battens are required for loading / staging of the tile.
- 5.4.3 A 2-ply underlayment system, consisting of Polystick MTS followed by Polystick MTS, TU, TU P, TU Plus or TU Max, or Polyflex SAP is allowable for use under mechanically attached prepared roof systems. This is not a requirement, but is allowable if a 2-ply underlayment system is desired.

5.5 Allowable substrates are noted below:

5.5.1 Direct-Bond to Deck:

Polystick (all variations), Dual Pro, Tile Pro, Polyflex SAP or SAP FR, Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR) self-adhered to:

- New untreated plywood;
- ASTM D41 primed new untreated plywood;
- Existing plywood;
- ASTM D41 primed existing plywood;
- New or existing, unprimed OSB;
- ASTM D41 primed OSB;
- Southern Yellow Pine;
- ASTM D41 primed Southern Yellow Pine;
- ASTM D41 primed structural concrete;
- Huber Engineered Woods "ZIP System" Panels (designed and installed to meet wind loads for project).

Note: Polyglass does not require priming of new or existing plywood or OSB sheathing. New or existing plywood or OSB sheathing should be cleaned of all dirt and debris prior to application of Polystick membranes.

Elastoflex S6 G or S6 G FR in hot asphalt to:

- ASTM D41 primed structural concrete.

Polyflex G or G FR torch-applied to:

- ASTM D41 primed structural concrete.

5.5.2 Wind Resistance for Underlayment Systems in Foam-On Tile Applications: FRSA/TRI 07320 does not address wind uplift resistance of all underlayment systems beneath foam-on tile systems, where the underlayment forms part of the load-path. The following wind uplift limitations apply to underlayment systems that are not addressed in FRSA/TRI 07320 and are used in foam-on tile applications. Maximum Design Pressure is the result of testing for wind load resistance based on allowable wind loads. Refer to FBC 1609.1.5 for determination of design wind pressures.

5.5.2.1 Maximum Design Pressure = -622.5 psf.

Deck: Structural concrete to meet project requirements to satisfaction of AHJ.

Primer: ASTM D41

Underlayment: Elastoflex S6 G, applied in full mopping of hot asphalt or Polyflex G, torch-applied.

5.5.2.2 Maximum Design Pressure = -315 psf.

Deck: Structural concrete to meet project requirements to satisfaction of AHJ.

Primer: ASTM D41

Underlayment: Polystick TU, Polystick TU P, Polystick TU Plus, Polystick TU Max, Tile Pro, Polyflex SAP, PolyFlex SAP FR, Mule-Hide SA-APP Cap Sheet and Mule-Hide SA-APP Cap Sheet (FR).

5.5.2.3 Maximum Design Pressure = -135 psf.

Deck: Min. 15/32-inch plywood to meet project requirements to satisfaction of AHJ.

Primer: (Optional) ASTM D41

Joints: Min. 4-inch wide strips of Elastoflex SA-V over all plywood joints.

Underlayment: Polystick TU, Polystick TU P, Polystick TU Plus, Polyflex SAP, PolyFlex SAP FR, Mule-Hide SA-APP Cap Sheet and Mule-Hide SA-APP Cap Sheet (FR)

5.5.2.4 Maximum Design Pressure = -90 psf.

- Deck: Min. 15/32-inch plywood to meet project requirements to satisfaction of AHJ.
Primer: (Optional) ASTM D41
Underlayment: Polystick TU, Polystick TU P, Polystick TU Plus, Polyflex SAP, PolyFlex SAP FR, Mule-Hide SA-APP Cap Sheet and Mule-Hide SA-APP Cap Sheet (FR)

5.5.2.5 All other direct-deck, adhered Polyglass underlayment systems beneath foam-on tile systems carry a Maximum Design Pressure of -45 psf.

5.5.3 Bond-to-Insulation:

- Polystick, Polyflex SAP or SAP FR, Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR) self-adhered to: ASTM C1289, Type II, Class 1 polyisocyanurate or Type V polyisocyanurate-composite insulation; DensDeck DuraGuard; DensDeck Prime; or SECUROCK Gypsum-Fiber Roof Board.
- Elastoflex S6 G or S6 G FR in hot asphalt to: DensDeck Prime or SECUROCK Gypsum-Fiber Roof Board.
- Polyflex G or G FR torch-applied to: ASTM D41 primed structural concrete; DensDeck Prime or SECUROCK Gypsum-Fiber Roof Board.

For installation under mechanically attached prepared roof coverings, insulation shall be attached per minimum requirements of the prepared roof covering manufacturer's Product Approval. For installations under foam-on tile systems, insulation attachment shall be designed by a qualified design professional and installed based on testing of the insulation/underlayment system in accordance with FM 4470, Appendix K or TAS 114, Appendix J.

5.5.4 Bond to Mechanically Attached Base Layer:

- Polystick, Polyflex SAP or SAP FR, Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR) Dual Pro or Tile Pro self-adhered to: ASTM D226, Type I or II felt; Elastobase; Elastobase P or Mule-Hide Nail Base.
- Elastoflex S6 G or S6 G FR in hot asphalt to: ASTM D226, Type I or II felt; Elastobase; Elastobase P or Mule-Hide Nail Base.
- Polyflex G or G FR torch-applied to: Elastobase; Elastobase P or Mule-Hide Nail Base.

For installations under mechanically attached prepared roof coverings, base layer shall be attached per minimum codified requirements. For installations under foam-on tile systems, base layer shall be attached per minimum requirements of FRSA/TRI 07320/8-05 or RAS 120.

5.6 Exposure Limitations:

- 5.6.1 Elastobase, Elastobase P, shall not be left exposed for longer than 30-days after installation.
- 5.6.2 Polystick IR-Xe, Polystick TU Max, Dual Pro or Tile Pro shall not be left exposed for longer than 90-days after installation.
- 5.6.3 Polystick MTS, TU, TU P or TU Plus shall not be left exposed for longer than 180-days after installation.
- 5.6.4 Polyflex SAP or SAP FR, or Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR) does not have an exposure limitation, unless the prepared roof covering is to be adhesive-set tile, in which case the maximum exposure is 30 days.
- 5.6.5 Elastoflex S6 G or S6 G FR or Polyflex G or G FR does not have an exposure limitation, unless the prepared roof covering is to be adhesive-set tile (Elastoflex S6 G or Polyflex G), in which case the maximum exposure is 180 days.



5.7 For tile roof installations governed by the FRSA/TRI 07320/8-05 Installation Manual, Fourth Edition, use is limited to the following. Reference is made to the FRSA/TRI Technical Brief titled "Florida High Wind Roof Tile Self-Adhered Underlayment Requirements as of 02/14/2011" for limitations for self-adhering underlayments used beneath tile roof systems.

Table 2: Tile System Options per FRSA/TRI 07320/8-05				
System	Underlay Option	Section	Reference	Product(s)
System One: Mechanically Fastened Tile, Unsealed or Sealed Underlayment System	1	3.02A Batten only	Modified Cap Sheet	Elastoflex S6 G or Elastoflex S6 G FR; Polyflex G or G FR
	2	3.02B	No. 30 / Modified Cap Sheet	Base Layer: Elastobase; Elastobase P Top Layer: Elastoflex S6 G or Elastoflex S6 G FR; Polyflex G or G FR
	4	3.02D	No. 30	Elastobase; Elastobase P
	5	3.02E	Self-Adhered Underlayment	Polystick MTS; TU; TU P; TU Plus; TU Max; Polyflex SAP or SAP FR; Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR); Dual Pro; Tile Pro
	6	3.02F	No. 30 / Self-Adhered Underlayment	Base Layer: ASTM D226, Type II; Elastobase; Elastobase P; Mule-Hide Nail Base Top Layer: Polystick MTS; TU; TU P; TU Plus; TU Max; Polyflex SAP or SAP FR, Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR); Dual Pro; Tile Pro
System Two: Mechanically Fastened Tile, Sealed Underlayment System	1	3.02A Batten only	Modified Cap Sheet	Elastoflex S6 G or Elastoflex S6 G FR; Polyflex G or G FR
	2	3.02B	No. 30 / Modified Cap Sheet	Base Layer: Elastobase; Elastobase P Top Layer: Elastoflex S6 G or Elastoflex S6 G FR; Polyflex G or G FR
	4	3.02D	Self-Adhered Underlayment	Polystick TU; TU P; TU Plus; TU Max; Polyflex SAP or SAP FR; Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR); Dual Pro; Tile Pro
	5	3.02E	No. 30 / Self-Adhered Underlayment	Base Layer: ASTM D226, Type II; Elastobase; Elastobase P; Mule-Hide Nail Base Top Layer: Polystick TU; TU P; TU Plus; TU Max; Polyflex SAP or SAP FR, Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR) Dual Pro; Tile Pro
System Four "A": Adhesive-Set Tile, Unsealed or Sealed Underlayment System	1	3.02A	Modified Cap Sheet	Elastoflex S6 G or Polyflex G
	2	3.02B	No. 30 / Modified Cap Sheet	Base Layer: Elastobase; Elastobase P Top Layer: Elastoflex S6 G or Polyflex G
	4	3.02D	Self-Adhered Underlayment	Polystick TU; TU P; TU Plus; TU Max; Polyflex SAP or SAP FR; Tile Pro; Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR)
	5	3.02E	No. 30 / Self-Adhered Underlayment	Base Layer: ASTM D226, Type II; Elastobase; Elastobase P; Mule-Hide Nail Base Top Layer: Polystick TU; TU P; TU Plus; TU Max; Polyflex SAP or SAP FR; Tile Pro; Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR)
System Four "B": Adhesive-Set Tile, Sealed Underlayment System	1	3.02A	No. 30 / Modified Cap Sheet	Base Layer: ASTM D226, Type II; Elastobase; Elastobase P Top Layer: Elastoflex S6 G or Polyflex G
	3	3.02C	Self-Adhered Underlayment	Polystick TU; TU P; TU Plus; TU Max; Polyflex SAP or SAP FR; Tile Pro; Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR)
	4	3.02D	No. 30 / Self-Adhered Underlayment	Base Layer: ASTM D226, Type II; Elastobase; Elastobase P; Mule-Hide Nail Base Top Layer: Polystick TU; TU P; TU Plus; TU Max; Polyflex SAP or SAP FR; Tile Pro; Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR)

6. INSTALLATION:

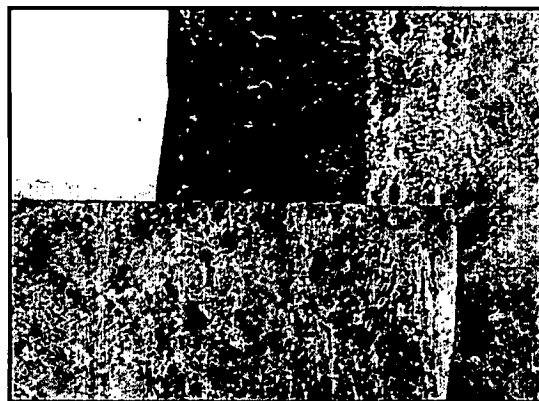
- 6.1 Polyglass Roof Underlayments shall be installed in accordance with Polyglass published installation requirements subject to the Limitations set forth in Section 5 herein and the specifics noted below.
- 6.2 Re-fasten any loose decking panels, and check for protruding nail heads. Sweep the substrate thoroughly to remove any dust and debris prior to application, and prime the substrate (if applicable).

6.3 Elastobase, Elastobase P or Mule-Hide Nail Base:

- 6.3.1 Shall be installed in compliance with the codified requirements for ASTM D226, Type II underlayment in FBC Sections 1507 for the type of prepared roof covering to be installed.
- 6.3.2 For use in non-tile applications:
 - 6.3.2.1 Reference is made to the current edition of the NRCA Steep-slope Roofing Manual and ARMA recommendations for installing shingle underlayments and flashings
 - 6.3.2.2 Elastobase, Elastobase P or Mule-Hide Nail Base may be covered with a layer of Polystick, Polyflex SAP or SAP FR, Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR), Dual Pro or Tile Pro, self-adhered, Elastoflex S6 G or S6 G FR in hot asphalt or Polyflex G or G FR, torch applied.
- 6.3.3 For use in tile applications, reference is made to Polyglass published installation instructions in conjunction with FRSA/TRI 07320/8-05 Installation Manual, Fourth Edition, and Table 2 herein.

6.4 Polystick MTS, IR-Xe, TU, TU P, TU Plus, TU Max Polyflex SAP or SAP FR, Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR), Dual Pro or Tile Pro:

- 6.4.1 Shall be installed in compliance with the codified requirements for ASTM D1970 underlayment in FBC Sections 1507 for the type of prepared roof covering to be installed.
- 6.4.2 For non-tile applications:
 - 6.4.2.1 All self-adhering materials, with the exception of Polystick TU Plus, Polyflex SAP or SAP FR and Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR) should be back-nailed in selvage edge seam in accordance with Polyglass / Mule-Hide Back Nailing Guide. Nails shall be corrosion resistant, 11 gauge ring-shank type with a minimum 1-inch diameter metal disk or Simplex-type metal cap nail, at a minimum rate of 12" o.c. Polystick TU Plus should be back-nailed using the above noted fasteners and spacing, in area marked "nail area, area para clavar" on the face of membrane. The head lap membrane is to cover the area being back-nailed
 - 6.4.2.2 All seal-lap seams (selvage laps) must be firmly rolled with a minimum 28 lb. hand roller to ensure full contact and adhesion. For Dual Pro and Tile Pro, align the edge of the top sheet to the end of the glue pattern (the sheet will overlap the fabric).



View of Overlap Seam of Dual Pro and Tile Pro



- 6.4.2.3 All over-fabric and over-granule end-laps shall have a 6-inch wide, uniform layer of Polyglass Polyplus 55 Premium Modified Flashing Cement, Polyglass Polyplus 50 Premium MB Flashing Cement, Polyglass PG500 MB Flashing Cement, Polystick TU Plus Tile Underlayment Flashing Cement, Mule-Hide 241 Premium Modified Flashing Cement, Mule-Hide 251 Premium Wet/Dry Electrometric Flashing Cement, or Mule-Hide 421 Mod Bit Flashing Adhesive Trowel Grade mastic, applied in between the application of the lap.
- 6.4.2.4 Polystick TU Plus, Dual Pro and Tile Pro may not be used in any exposed application such as crickets, exposed valleys, or exposed roof to wall details
- 6.4.2.5 Repair of Polystick membranes is to be accomplished by applying Polyglass Polyplus 55 Premium Modified Flashing Cement, Polyglass Polyplus 50 Premium MB Flashing Cement, Polyglass PG500 MB Flashing Cement, Polystick TU Plus Tile Underlayment Flashing Cement, Mule-Hide 241 Premium Modified Flashing Cement, Mule-Hide 251 Premium Wet/Dry Elastomeric Flashing Cement, or Mule-Hide 421 Mod Bit Flashing Adhesive Trowel Grade mastic to the area in need of repair, followed by a minimum 6 x 6 Inch patch of the Polystick material of like kind, set and hand rolled in place over the repair area. Patch laps, if needed, shall be installed in a water shedding manner.
- 6.4.2.6 All Polystick membranes shall be installed to ensure full contact with approved substrates. Polyglass requires a minimum of 40-lb weighted-roller or, on steep slopes, use of a stiff broom with approximately 40-lbs of load applied for the field membrane. Hand rollers are acceptable for rolling of patches, laps (min. 28 lb roller) or small areas of the roof that are not accessible to a large roller or broom.
- 6.4.3 For tile applications (*not allowed for Polystick IR-Xe*):
- 6.4.3.1 Reference is made to Section 6.4.2 herein in conjunction with FRSA/TRI 07320/8-05 Installation Manual, Fourth Edition, and Table 2 herein, using the instructions noted above as a guideline.
- 6.4.3.2 For nail-on tile systems over Polystick MTS, battens are required for loading / staging of the tile.
- 6.5 Elastoflex S6 G or S6 G FR:**
- 6.5.1 Elastoflex S6 G or S6 G FR shall be installed in compliance with current Polyglass published Installation requirements. For use in tile applications, reference is made to FRSA/TRI 07320/8-05 Installation Manual, Fourth Edition, and Table 2 herein.
- 6.5.2 Elastoflex S6 G or S6 G FR shall be fully asphalt-applied to the substrates noted in Section 5.5. Side laps shall be minimum 3-inch and end-laps minimum 6-inch wide, and off set end-laps minimum 3 feet from course to course. Side and end laps shall be fully adhered in a complete mopping of hot asphalt with asphalt extending approximately 3/8-inch beyond the lap edge.
- 6.6 Polyflex G or G FR:**
- 6.6.1 Polyflex G or G FR shall be installed in compliance with current Polyglass published Installation requirements. For use in tile applications, reference is made FRSA/TRI 07320/8-05 Installation Manual, Fourth Edition, and Table 2 herein.
- 6.6.2 Polyflex G or G FR shall be fully torch-applied to the substrates noted in Section 5.5. Side laps shall be minimum 3-inch and end-laps minimum 6-inch wide, and off set end-laps minimum 3 feet from course to course. Side and end laps shall be fully heat-welded and inspected to ensure minimum 3/8-inch flow of modified compound beyond the lap edge.

**6.7 Tile Staging:**

- 6.7.1 Tile shall be loaded and staged in a manner that prevents tile slippage and/or damage to the underlayment. Refer to Polyglass published requirements for tile staging.
- 6.7.2 Battens and/or Counter-battens, as required by the tile manufacturer and FRSA/TRI 07320/8-05 must be used on all roof slopes greater than 7:12. Precautions should be taken as needed, such as the use of battens or nail-boards, to prevent tile sliding and/or damage to the underlayment during the loading process.
- 6.7.3 For nail-on tile systems over Polystick MTS, battens are required for loading / staging of the tile.
- 6.7.4 The minimum cure time after installation of self-adhering membranes and before loading of roofing tiles is forty-eight (48) hours.

7. LABELING:

Each unit shall bear a permanent label with the manufacturer's name, logo, city, state and logo of the Accredited Quality Assurance Agency noted herein.

8. BUILDING PERMIT REQUIREMENTS:

As required by the Building Official or Authority Having Jurisdiction in order to properly evaluate the installation of this product.

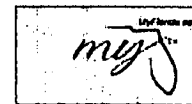
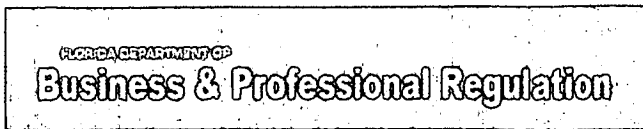
9. MANUFACTURING PLANTS:

Contact the noted QA agency for information on product locations covered for F.A.C. Rule 9N-3 QA requirements.

10. QUALITY ASSURANCE ENTITY:

UL, LLC - QUA9625; (314) 578-3406; k.chancellor@us.ul.com

- END OF EVALUATION REPORT -



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Florida Department of
**Business & Professional
Regulation**

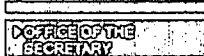
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Product Approval
USER: Public User

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FL #	FL11651-R1
Application Type	Revision
Code Version	2010
Application Status	Approved
Comments	
Archived	<input type="checkbox"/>
Product Manufacturer	Gulf Coast Supply & Manufacturing, LLC.
Address/Phone/Email	4020 S. W. 449th Street Horseshoe Beach, FL 32648 (352) 498-7852 ray@gulfcoastsupply.com
Authorized Signature	Ray Bowen ray@gulfcoastsupply.com
Technical Representative	
Address/Phone/Email	
Quality Assurance Representative	
Address/Phone/Email	
Category	Roofing
Subcategory	Metal Roofing
Compliance Method	Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer <input checked="" type="checkbox"/> Evaluation Report - Hardcopy Received
Florida Engineer or Architect Name who developed the Evaluation Report	Terrence E. Wolfe
Florida License	PE-44923
Quality Assurance Entity	Keystone Certifications, Inc.
Quality Assurance Contract Expiration Date	04/12/2014
Validated By	Locke Bowden <input checked="" type="checkbox"/> Validation Checklist - Hardcopy Received
Certificate of Independence	FL11651 R1 COI Letter of Certif.pdf FL11651 R1 COI Letter of Name change.pdf

24 ga Gulflok

Referenced Standard and Year (of Standard)	Standard	Year
	FM 4471	1995
	FM 4471	2010
	TAS 100	1995
	TAS 125	2003
	UL 1897	2004
	UL 580	2006

Equivalence of Product Standards

Certified By

Sections from the Code

Product Approval Method

Method 1 Option D

Date Submitted

02/15/2012

Date Validated

02/23/2012

Date Pending FBC Approval

02/29/2012

Date Approved

04/03/2012

Summary of Products		
Go to Page <input type="text" value="60"/>		Page 1 / 2
FL #	Model, Number or Name	Description
11651.1	0.032" Aluminum 5V Crimp	0.032" 5 V Crimp Aluminum Roof Panel over 15/32" Plywood
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-108.5PSF Other: -108.5 psf @ 12" o.c. Install per manufacturers details. Not for use in HVHZ Zones.		Installation Instructions FL11651 R1 II Alum 5 V Crimp Details.pdf Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Third Party: Yes Evaluation Reports FL11651 R1 AE Alum 5V Crimp Panel over .5 Plywood NONHVHZ Roof 2010 Format.pdf Created by Independent Third Party: Yes
11651.2	0.032" Aluminum Gulf Lok	0.032" Aluminum Gulf Lok 16" Wide Roof Panel over 15/32" Plywood
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-116.0PSF Other: -52.5 psf @ 5 3/16" o.c. fastener spacing. -116.0 psf @ 5 3/16" o.c. fastener spacing. Install per manufacturers details. Not for use in HVHZ Zones.		Installation Instructions FL11651 R1 II Alum. Gulf Lok over .5 plywood Non HVHZ detail.pdf Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Third Party: Yes Evaluation Reports FL11651 R1 AE Alum Gulf lock over 15-32 Plywood Roof 2010 format.pdf Created by Independent Third Party: Yes
11651.3	1" Mechanical Lock	1" Mechanical Lock 24 Ga. 16 1/2" Wide Roof over 15/32" Plywood
Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-138.5PSF Other: -71.0 psf @ 24" o.c. clip spacing. -138.5 psf @ 6" o.c. clip spacing. Install per manufacturers details. For use in HVHZ Zones.		Installation Instructions FL11651 R1 II 1 Mech Lock 24 gal over .5 ply HVHZ detail.pdf Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Third Party: Yes Evaluation Reports FL11651 R1 AE 1 Mech Lock 24 ga. over .5 Plywood HVHZ Roof 2010 format.pdf Created by Independent Third Party: Yes
11651.4	1" Mechanical Lock	1" Mechanical Lock 0.032" Aluminum 16" Wide Roof Panel over 15/32" Plywood
Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-101.0PSF Other: -63.5 psf @ 24" o.c. clip spacing. -101.0 psf @ 6" o.c. clip spacing. Install per manufacturers details. For use in HVHZ Zones.		Installation Instructions FL11651 R1 II 1 in Mech Lock Alum details.pdf Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Third Party: Yes Evaluation Reports FL11651 R1 AE 1 Mech Lock Alum over .5 Plywood HVHZ Roof 2010 format.pdf Created by Independent Third Party: Yes
11651.5	1" Snap Lock	1" Snap Lock 24 Ga. Roof over 15/32" Plywood
Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-131.0PSF Other: -67.3 psf @ 24" o.c. clip spacing. -131.0 psf @ 6" o.c. clip spacing. Install per manufacturers details. For use in HVHZ Zones.		Installation Instructions FL11651 R1 II 24 qa 1 in Snap lock over .5 plywood HVHZ details.pdf Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Third Party: Yes Evaluation Reports FL11651 R1 AE 1.0 Snap Lock 24 qa. over .5 Plywood HVHZ Roof 2010 format.pdf

		Created by Independent Third Party: Yes
11651.6	1.5" Mechanical Lock	1.5" Mechanical Lock 24 Ga. 16" Wide Roof Panel over 15/32" Plywood
Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-123.5PSF Other: -59.75 psf @ 24" o.c. clip spacing. -123.5 psf @ 6" o.c. clip spacing. Install per manufacturers details. For use in HVHZ Zones.		Installation Instructions FL11651 R1 II 24 ga. 1.5 in Mech Lock over .5 plywood HVHZ details.pdf Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Third Party: Yes Evaluation Reports FL11651 R1 AE 1.5 Mech Lock 24 ga. over .5 Plywood HVHZ Roof 2010 format.pdf Created by Independent Third Party: Yes
11651.7	1.5" Snap Lock	1.5" Snap Lock 24 Ga. Roof Panel over 15/32" Plywood
Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-116.0PSF Other: -86.0 psf @ 24" o.c. clip spacing. -108.5 psf @ 12" o.c. clips spacing. -116.0 psf @ 6" o.c. clips spacing. Install per manufacturers details. For use in HVHZ Zones.		Installation Instructions FL11651 R1 II 1.5 In Snap Lock 24 Ga. details.pdf Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Third Party: Yes Evaluation Reports FL11651 R1 AE 1.5 Snap Lock 24 ga. over .5 Plywood HVHZ Roof 2010 Format.pdf Created by Independent Third Party: Yes
11651.8	24 Ga. Gulf Coast Mechanical Seam	24 Ga. Gulf Coast Mechanical Seam 18" Wide over 15/32" Plywood
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-108.5PSF Other: -71.0 psf @ 24" o.c. clip spacing. -108.5 psf @ 12" o.c. clip spacing. Install per manufacturers details. Not for use in HVHZ Zones.		Installation Instructions FL11651 R1 II 24 Ga. Gulf Coast Mech Seam over .5 ply NONHVHZ details.pdf Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Third Party: Yes Evaluation Reports FL11651 R1 AE 2 Mech Lock 24 ga. over .5 Plywood Roof 2010 Format.pdf Created by Independent Third Party: Yes
11651.9	24 Ga. Gulf Lok	24 Ga. Gulf Lok 16" Wide over 15/32" Plywood
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-96.7PSF Other: -81.75 psf @ 10-1/4" o.c. fastener spacing. -96.76 psf @ 5-1/8" o.c. fastener spacing. Install per manufacturers details. Not for use in HVHZ Zones.		Installation Instructions FL11651 R1 II 24 Ga. Gulf Lock over .5 Plywood NonHVHZ Details.pdf Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Third Party: Yes Evaluation Reports FL11651 R1 AE 24 ga. Gulf lock over 15-32 Plywood Roof 2010.pdf Created by Independent Third Party: Yes
11651.10	24 Ga. Gulf Seam	24 Ga. Gulf Seam 16" Wide Roof Panel over 1x4 Wood Purlins over 15/32" Plywood
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-93.5PSF Other: -93.5 psf @ 18" o.c. Install per manufacturers details. Not for use in HVHZ Zones.		Installation Instructions FL11651 R1 II 24 Ga. 1.75 Gulf Seam over 1x4 details.pdf Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Third Party: Yes Evaluation Reports FL11651 R1 AE Gulf Seam 24 ga. over 1x4 purlins Roof 2010 format.pdf Created by Independent Third Party: Yes
11651.11	24 Ga. Gulf Seam	24 Ga. Gulf Seam, 1 3/4" Snap Lock, 18" Wide Roof Panel over 15/32" Plywood
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-108.5PSF Other: -69.25 psf @ 24" o.c. clip spacing. -108.5 psf @ 12" o.c. clip spacing. Install per manufacturers details. Not for use in HVHZ Zones.		Installation Instructions FL11651 R1 II 24 Ga. Gulf Seam over .5 Non HVHZ Details.pdf Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Third Party: Yes Evaluation Reports FL11651 R1 AE 1.75 Snap Lock 24 ga. over .5 Plywood Roof 2010 format.pdf Created by Independent Third Party: Yes
11651.12	26 Ga. 5V Crimp	26 Ga. 5V Crimp Roof Panel over 15/32" Plywood
Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-156.5PSF Other: -108.5 psf @ 12" o.c. fastener spacing. -156.5 psf @ 6" o.c. fastener spacing. Install per manufacturers		Installation Instructions FL11651 R1 II 26 Ga. 5V Crimp over .5 plywood HVHZdetails.pdf Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Third Party: Yes Evaluation Reports FL11651 R1 AE 26 Ga. 5V Panel over .5 Plywood HVHZ

details. For use in HVHZ Zones.		Roof 2010Format.pdf Created by Independent Third Party: Yes
11651.13	26 Ga. 5V Crimp	26 Ga. 5V Crimp over 15/32" Plywood
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-131.PSF Other: -94.25 psf @ 16" o.c. fastener pattern. -131.0 psf @ 16" o.c. fastener pattern. Install per manufacturers details. Not for use in HVHZ Zones.		Installation Instructions FL11651 R1 II 26 Ga. 5V Crimp over plywood detailsNON HVHZ.pdf Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Third Party: Yes Evaluation Reports FL11651 R1 AE 5V Crimp Panel over .5 Plywood NON HVHZ Roof 2010 format.pdf Created by Independent Third Party: Yes
11651.14	26 Ga. 5V Crimp	26 Ga. 5V Crimp Roof Panel over 1x4 Wood Purlins over 15/32" Plywood
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-149.2PSF Other: -149.25 psf @ 16" o.c. fastener pattern. Install per manufacturers details. Not for use in HVHZ Zones.		Installation Instructions FL11651 R1 II 26 Ga. 5V Crimp over 1x4 purlins NHVHZ details.pdf Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Third Party: Yes Evaluation Reports FL11651 R1 AE 5V Crimp Panel over 1x4 wood purlins NON HVHZ Roof 2010 Format.pdf Created by Independent Third Party: Yes
11651.15	26 Ga. Gulf Lok	26 Ga. Gulf Lok 16" Wide Roof Panel over 15/32" Plywood
Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-161.0PSF Other: -63.5 psf @ 5 3/16" o.c. fastener spacing. -161.0 psf @ 5 3/16" o.c. fastener spacing. Install per manufacturers details. For use in HVHZ Zones.		Installation Instructions FL11651 R1 II 26 Ga. Gulf Lock over .5 plywood details.pdf Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Third Party: Yes Evaluation Reports FL11651 R1 AE 26 ga. Gulf lock over 15-32 Plywood Roof format.pdf Created by Independent Third Party: Yes
11651.16	26 Ga. Gulf Lok	26 Ga. Gulf Lok 16" Wide Roof Panel over 15/32" Plywood
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-63.5PSF Other: -63.5 psf @ 5 3/16" o.c. fastener spacing. Install per manufacturers details. Not for use in HVHZ Zones.		Installation Instructions FL11651 R1 II 26 Ga. Gulf Lock 16 in over .5 plywood NHVHZ details.pdf Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Third Party: Yes Evaluation Reports FL11651 R1 AE 26 ga. Gulf lock over 15-32 Plywood Roof.pdf Created by Independent Third Party: Yes
11651.17	26 Ga. PBR	26 Ga. PBR 36" Wide over 15/32" Plywood
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-154.7PSF Other: -59.25 psf @ 24" o.c. fastener spacing. -154.75 psf @ 12" o.c. fastener spacing. Install per manufacturers details. Not for use in HVHZ Zones.		Installation Instructions FL11651 R1 II 26 Ga. PBR over .5 plywood NonHVHZ detail.pdf Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Third Party: Yes Evaluation Reports FL11651 R1 AE 26 Ga. PBR Panel over .5 plywood NONHVHZ Roof 2010 format.pdf Created by Independent Third Party: Yes
11651.18	26 Ga. PBR	26 Ga. PBR Roof Panel over 1 x 4 Wood Purlins over 15/32" Plywood
Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-151.7PSF Other: -100.5 psf @ 24" o.c. fastener spacing. -151.75 psf @ 12" o.c. fastener spacing. Install per manufacturers details. For use in HVHZ Zones.		Installation Instructions FL11651 R1 II 26 Ga. PBR over 1x4 purlins HVHZ details.pdf Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Third Party: Yes Evaluation Reports FL11651 R1 AE 26 Ga. PBR Panel over 1x4 HVHZ Roof 2010 format.pdf Created by Independent Third Party: Yes
11651.19	26 Ga. PBR	26 Ga. PBR Roof Panel over 15/32" Plywood
Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-154.7PSF		Installation Instructions FL11651 R1 II 26 ga. PBR over .5 plywood HVHZ detail.pdf Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Third Party: Yes

Other: -60.5 psf @ 24" o.c. fastener spacing. -154.75 psf @ 12" o.c. fastener spacing. Install per manufacturers details. For use in HVHZ Zones.		Evaluation Reports FL11651 R1 AE 26 Ga. PBR Panel over .5 Plywood HVHZ Roof 2010 format.pdf Created by Independent Third Party: Yes
11651.20	26 Ga. PBR	26 Ga. PBR Roof Panel 36" Wide over 1 x 4 Wood Purlins over 15/32" Plywood
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-151.7PSF Other: -94.25 psf @ 24" o.c. -151.75 psf @ 12" o.c. Install per manufacturers details. Not for use in HVHZ Zones.		Installation Instructions FL11651 R1 II 26 Ga PBR over 1x4 purlins NONHVHZ Details.pdf Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Third Party: Yes Evaluation Reports FL11651 R1 AE 26 Ga. PBR Panel over 1x4 NONHVHZ Roof 2010 format.pdf Created by Independent Third Party: Yes
Go to Page		Page 1 / 2

Contact Us :: 1940 North Monroe Street, Tallahassee FL 32399 Phone: 850-487-1824

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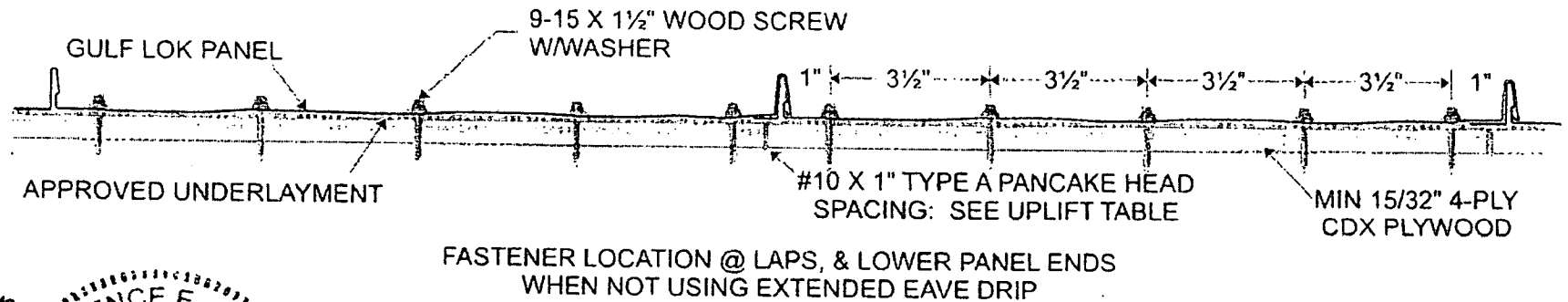
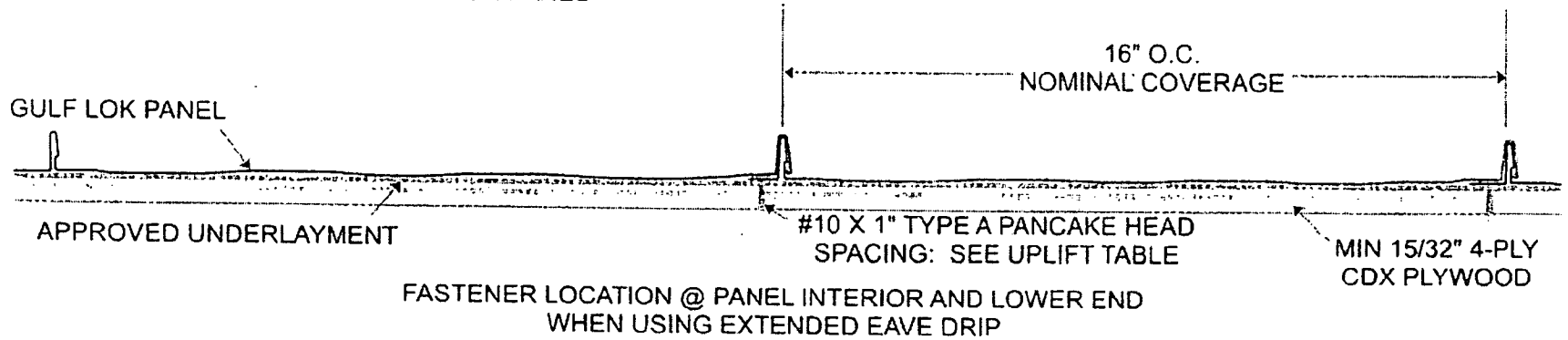
Under Florida law, email addresses are public records. If you do not want your e-mail address released in response to a public-records request, do not send electronic mail to this entity. Instead, contact the office by phone or by traditional mail. If you have any questions, please contact 850.487.1395.
 *Pursuant to Section 455.275(1), Florida Statutes, effective October 1, 2012, licensees licensed under Chapter 455, F.S. must provide the Department with an email address if they have one. The emails provided may be used for official communication with the licensee. However email addresses are public record. If you do not wish to supply a personal address, please provide the Department with an email address which can be made available to the public. To determine if you are a licensee under Chapter 455, F.S., please click [here](#).

Product Approval Accepts:

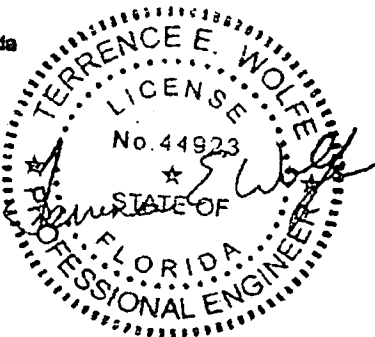


24 Ga. Gulf Lok 16" Wide over 15/32" Plywood

TYPICAL FASTENER PATTERN 16" X 7/8" GULF LOK PANEL



State of Florida
C.O.A.
26778



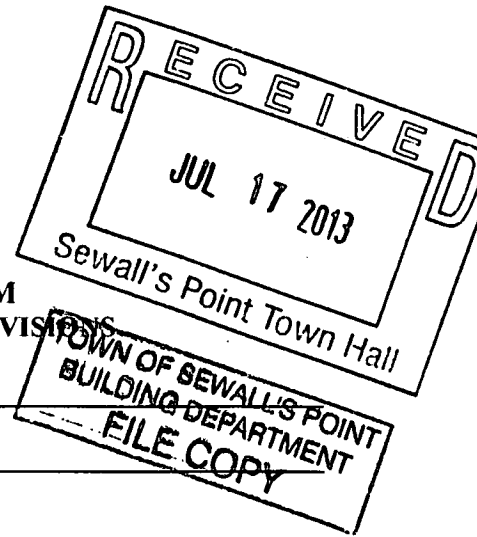
FEB 09 2012



GULF COAST SUPPLY & MFG., INC.
4020 SW 449 STREET
HORSESHOE BEACH, FL 32648
888-393-0335



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765



REVISIONS - CORRECTIONS REQUEST FORM
MUST BE SUBMITTED FOR ALL CORRECTIONS AND REVISIONS

DATE: 7/17/2013 PERMIT NUMBER: [REDACTED]

JOB ADDRESS: 11 Palmetto - Smith

PLEASE CHECK ONE OF THE FOLLOWING:

- CONDITION OF INSPECTION APPROVAL (Needed for an inspection)
- CONDITION OF PERMIT APPROVAL: (Corrections/Permit not issued, in review process)
- REVISIONS (Changes to an issued permit)

****ALL PLAN REVISIONS MUST BE HIGHLIGHTED OR CLOUDED ON DRAWING****

ALL REVISED PAGES ARE REQUIRED TO BE INSERTED IN FIELD PERMIT SET

DESCRIPTION OF REVISION(S): [REDACTED]

DOES REVISION(S) CHANGE THE VALUE OF CONSTRUCTION? YES NO VALUE \$ _____
 INCREASED CONSTRUCTION VALUE WILL INCREASE PERMIT FEES AND MUST BE PAID AT TIME OF APPROVAL

CONTACT NAME: KIRK A. HUNTER SIGNATURE: [Signature]
 ARK HOMES CONSTRUCTION INC.

PHONE NUMBER: 772-284-1766 FAX NUMBER: 772-334-6057

FOR OFFICE USE ONLY:

Reviewed by: [Signature] Date: 7-23-13 Approve Deny

Additional conditioned space _____ sq. ft. @ \$104.65 per sq. ft. _____ x 2% = _____

Additional non-conditioned space _____ sq. ft. @ \$ 48.90 per sq. ft. _____ x 2% = _____

Other declared value increase (must be based on value not cost) _____ x 2% = _____

Other additional fees: _____ Revision review fee: _____ Pages @ \$25.00/Page _____

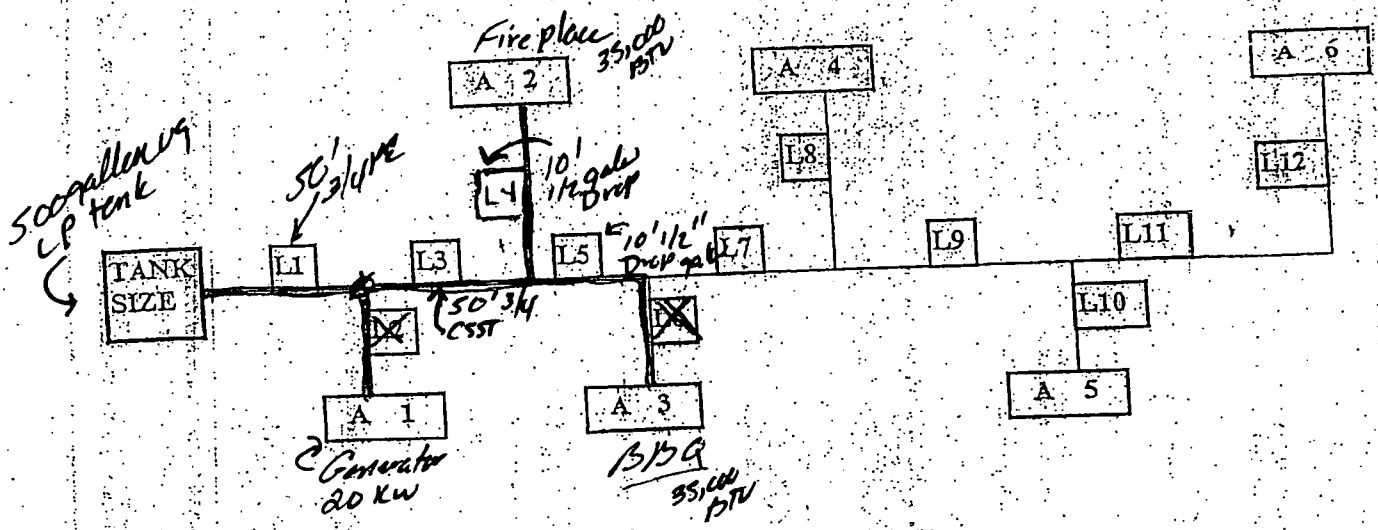
Radon Fee _____ Professional Regulation Fee _____ Road impact assessment _____

TOTAL ADDITIONAL BUILDING PERMIT FEE \$ N/E

Applicant notified by: _____ Date: _____

GAS PIPING SCHEMATIC

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY



TANK SIZE 500 GALS

APPLIANCE - TYPE/SIZE

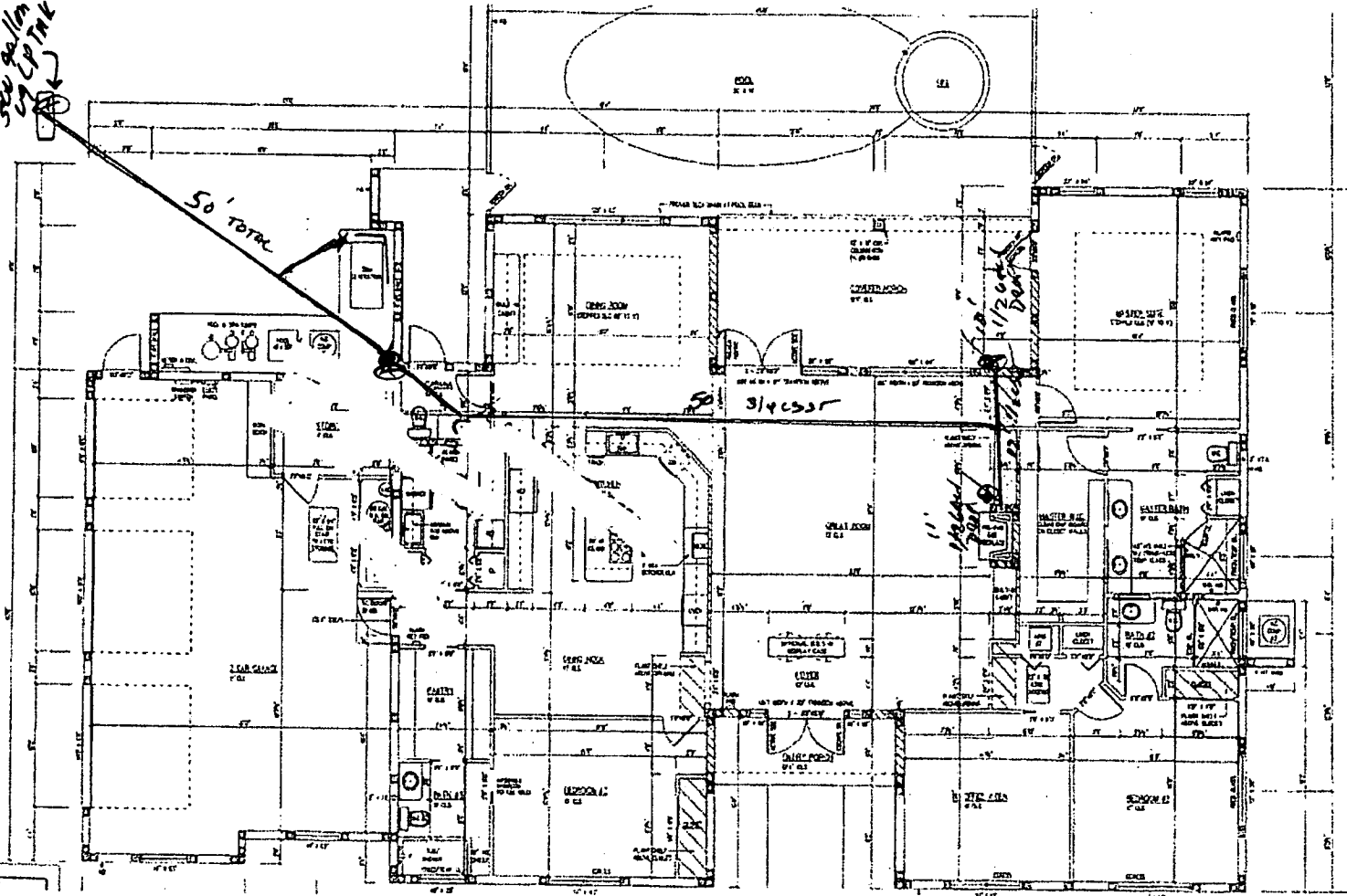
APPLIANCE	TYPE/SIZE	BTU
A1	Generator	20 kW
A2	Fire place	35,000
A3	BTR	35,000
A4		
A5		
A6		

PIPING LENGTH & SIZE

LINE	LENGTH (FT.)	PIPE SIZE
L1	50	3/4 INCH DIA. PE
L2		INCH DIA. CSST
L3	50	3/4 INCH DIA.
L4	10	1/2 INCH DIA. 9 gals Drop
L5	10	1/2 INCH DIA. 9 gals Drop
L6		INCH DIA.
L7		INCH DIA.
L8		INCH DIA.
L9		INCH DIA.
L10		INCH DIA.
L11		INCH DIA.
L12		INCH DIA.

PIPE SIZE WAS TAKEN FROM THE 2007
FBC FUEL GAS CODE - TABLE 402
()

see gallon
cup the



R.C. Design LLC
CUSTOM HOMES & OFFICE BUILDINGS
177-541-2424
NOTES: 10/11/14

REGISTERED ARCHITECT
SMITH RESIDENCE
BY ALLEY PORT, FL



11 Palmetto

SEWALL'S POINT BUILDING FINAL CHECKLIST

The following must be available to the inspector ON THE JOB SITE IN THE PERMIT BOX unless otherwise noted below at the time of final inspection. Please also find copies of the Florida Building Code governing these requests where indicated by "***", attached.

- OK* **A. Final Survey** (as built) *As per submittal*
From: surveyor
- X* **B. Elevation Certificate** (only required if property is in flood zone)
From: surveyor
- OK* **C. Height of Building Certification** (to be identified on final survey)
From: surveyor. V-Zone measured from NGVD, A-Zones from FFE
- X* **D. Insulation Certificate*** (only if blown insulation was used)
From: insulation company
Format: can be a letter or a form
- OK* **E. Final Termite Certification** ✓
Location: Posted near the water heater or electric panel & copy for return to Bldg. Dept.
From: pest control company
Format: can be a letter or a form
- F. Copy of Energy Performance Level Display Card Signed by Contractor**
OK Location: To be attached to the electrical panel or hot water heater
From: Page two of original "Florida Energy Efficiency Code for Building Construction" calculations prepared by architect/engineer submitted with original permit application
Format: See attached example.
- G. Copy of HVAC Efficiency Card* containing the following information**
OK Location: Posted on air handler
From: Typically done by HVAC Manufacturer, adhered to unit
Format: Durable, legible card containing the following information:
1. Manufacturer's Name
 2. Brand Name
 3. Model numbers of furnace, compressor unit and air handler
 4. Efficiency rating of combined equipment
 5. Name and address of heating/air conditioning contractor who installed equipment
 6. Signature line and date line, preceded by the statement "With the authorization of the installing contractor I certify that the information entered on this case accurately represents the system installed."
 7. Signature line and date line, preceded by the statement, "As Building Official or the representative of the building official, I certify that the information entered on this card accurately represents the system installed."
- OK* **H. Letter from Irrigation Contractor Verifying Use of Low Volume Heads**
From: Irrigation Contractor
Format: Letter
- OK* **I. Health Department Final Approval Certification**
Septic company should contact Health Department for a final inspection.
Location: At Building Department
From: Health Department
Format: Health Dept. will fax a form to our office. GC should verify receipt in our office.



On File 10415

IN-PLACE DENSITY AND WATER CONTENT OF SOIL AND SOIL AGGREGATE BY NUCLEAR METHODS (SHALLOW DEPTH) - ASTM 6938

Project: 11 Palmetto Drive Project ID: 13-0844.00
 Address: Sewall's Point, Martin County, Florida Report ID: D-0001
 Client: Ark Homes Construction, Inc. Date: 4/22/2013
 Permit No: N/A Field Tech: Brandon Leadley Test Mode: Direct Transmission

Area Tested: Foundation Pad
 Soil Description: Dark brown fine sand
 Proctor / LBR ID: P-0001 Max Density (PCF): 109.0 Opt Moisture (%): 12.0% Test Standard: D 1557
 Compaction Required (%): 95.0%

Location	Probe Depth (in)	Elev	Wet Density (PCF)	Dry Density (PCF)	Moist. (%)	Compaction	
						%	Results
1 Northwest Area	12	0 - 1	121.5	107.9	12.6%	99.0%	Pass
2 Center Area	12	0 - 1	121.5	108.6	11.9%	99.6%	Pass
3 Southeast Area	12	0 - 1	120.4	108.1	11.4%	99.2%	Pass
4							
5							
6							
7							
8							
9							
10							
11							
12							

RECEIVED
 APR 30 2013
 Sewall's Point Town Hall

Testing Gauge Information: Manufacturer: Troxler Model: 3430 S/N: 34784
 Density Standard (DS): 2571 Moisture Standard (MS): 621

Remarks: Depths are below bottom of slab.

Legend for Elevation:
 PR = Proofroll 1, 2, 3 = 1st, 2nd, 3rd Lift
 SL = Springline FL = Final Lift
 SG = Subgrade BG = Below Grade
 BC = Basecourse BOF = Bottom of Footing
 TOP = Top of Pipe FG = Finished Grade

Respectfully Submitted,
GFA International, Inc.
 FBPE CA # 4880
 D. NO. 4/26/13
 Donald W. Moler, P.E.
 Professional Engineer # 60675
 State of Florida

Test report shall not be reproduced, except in full, without the written approval of GFA International

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

4-30-13

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10415	Smith	UG plumbing	Pass	
	M Palmetto	UG Elec	Pass	
	Oak Homes			INSPECTOR <i>JA</i>
X	EA			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10412	Smith	Fernal AC	Pass	Close
	19 Banyan Rd			
	Service America			INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10427	Combs	Fernal AC	Pass	Close
980-930	140 S Sewalls			
	Nislin			INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10397	Krzepisz	Dry IN/ METAL	Pass	
	10 Rio Vista			
	On Shore	IN-PROGRESS		INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
	QUAIL RUN IRRIGATION			
	ROTTEN PANEL ELECTRICAL			INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 5-1-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10425	Bartels 3 St Lucie Ct JA Taylor	dry-in/metal	Pass	INSPECTOR <i>[Signature]</i>
10356	Kuhns 945 River State Cert ^{IF CANCEL} 561-798-1980 June-	ur-progers metal	Pass	INSPECTOR <i>[Signature]</i>
10415	Smuck	UG-electric	1	* E-MAIL FILE
fm	H Palmetto Ark Homes	footer SAC temp Power	Pass	Temp Pass INSPECTOR <i>[Signature]</i> ✓
10411	Fusoli 50 S Sewalls A Great Fence	Final fence	Pass	Close INSPECTOR <i>[Signature]</i>
10397	Krupisz 10 Riv Vista On Shore Roofing	Final Roof	Pass	Close INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

Valerie Camlet

From: Valerie Camlet
Sent: Wednesday, May 22, 2013 11:00 AM
To: 'FPL (tc_inspections@fpl.com)'
Subject: 11 Palmetto Dr

PN 10415

Inspection complete and passed – Please install temporary power for :

Smith residence
11 Palmetto Dr
Sewall's Pt, FL

Please call if you have any questions.

Thank you,

Valerie Camlet
BUILDING DEPT
TOWN OF SEWALL'S POINT
772-287-2455 EXT 13

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **5-7-13** Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10314	Pitch	R. ELEC		2ND FLOOR
	3 TIMOR	R. PLUMB	PASS	
	Seagate	R. AC & FRAMING		INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10315	Smith	R. AC	PASS	
17.30 10316	111 PINEWOOD Oak Homes	FRONT PORCH GLASS	PASS	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9991	BURKHARD			ISSUE C.O
	106 S.S. Pt Rd	CO FINN	PASS	
	Driftwood			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **6-7-13** Page 1 of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10415	Smith	reframing	Pass	
fm	Quik Homes			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10390	Ristaino 8 Periwinkle Cir Structure Con	Dock Final	Fail	ROPE RAIL NOT PER PLAN
				INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
tree	Sharfi 73 N River Rd	Trees	OK	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	Hoover 175 S Sewalls	investigate		
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 6-13-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10478	Morgan Palmkow 120 S Sewalls Arlington	Final light on dock	PASS	CLOSE INSPECTOR <i>[Signature]</i>
10415	SMI-T&E	Window Blinds	PASS	CANCEL #
1000	XXXXXXXXXX PARK HOMES	XXXXXXXXXX	PASS	XXXXXXXXXX INSPECTOR
10197	Armetong 41 W High Pt Complete Inc	Final irrigation	PASS	CLOSE INSPECTOR <i>[Signature]</i>
10176	Armetong 41 W High Pt Scott Holmes	Final Column	PASS	CLOSE INSPECTOR <i>[Signature]</i>
				INSPECTOR
				INSPECTOR
				INSPECTOR
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 6-17-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10415	Sm...	Outdoors back		
	11...			
	Ark Homes			INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10475	Burns	Final		
	11 Oak Hill Way	Shutters	Pass	CLOSE
	Advanced Hurricane			INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10390	Luger	Pool electric		
	9 Riverview		Pass	
	Schiller			INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10471	Campbell	Final		
	1 Oakwood Dr	Pool Encl.	Pass	CLOSE
	A Quality Const			INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10314	Filtch	rough electric +		
	3 Timor St	rough plumbing	Pass	
	Seagate	Kitchen & laundry		INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10440	Puchalski	tie beam /		No FOOTER
	6 Banyan Rd	column	FAIL	INSP
	Freedom Home			called Brad INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10451	Bellingham	Final solar		
	2 Via de Cristo	electric	Pass	CLOSE
	Solar Energy	all outside open area		INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 6-21-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10364	Fitch 3 Timor St On Shore	in-progress	Pass	INSPECTOR <i>[Signature]</i>
10027	Goudis 25 S River Team Parks	UG line ^{gas}	Pass	INSPECTOR <i>[Signature]</i>
TNP	Viner 10 Pineapple La	Tree	OK	INSPECTOR
10434	Saupe 33 W High Pt CDR	Fenal wall & basketball hoop	Pass	CLOSE INSPECTOR <i>[Signature]</i>
10415	Smart Ark Homes	Don Ducks	Pass	INSPECTOR <i>[Signature]</i>
Tree	19 N Va Lucinda	Trees	OK	INSPECTOR
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 7-11-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10415	Smart	FRAME		COASTAL NAS
	U. ARMETTO	ALL TRADES	FINAL	LIST
	APR HOMES			INSPECTOR <i>[Signature]</i>

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10483	20 GAY RD	FINAL		
	SIMPSON SERV.	SUBSTITUTION	CANCEL	
				INSPECTOR

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	17 RIVERVIEW	INVESTIGATE		
		BULLDOZER	DRAIN FIELD	
				INSPECTOR

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10482	Crawford	Window rough	- WINDOWS	1st Floor
	116 N Sewalls	garage door		
	OB	rough plumbing	master bath	INSPECTOR <i>[Signature]</i>

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

Mon

Tue

Wed

Thur

Fri

7-15-13

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10466	Christie 103 S Sewalls Heaton Roof.	sheathing dry-in		NOT READY WILL RESCHEDULE INSPECTOR <i>[Signature]</i>

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10314	SEABATE PILTCH #3 TIMOR SEABATE	U.G. GAS	PASS	INSPECTOR <i>[Signature]</i>

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10415	[Illegible] Ark	fireplace	FAIL	NEED MANU. INSTALLATION INSPECTOR <i>[Signature]</i>

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	<i>[Signature]</i> PALMETTO			INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 7-19-13 Page 3 of 3

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10415	...	dry - 1/2"	Pass	
	U. Palmetto Oak Homes	METAL		INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **7-23-13** Page of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10489	Guerrero 1301 Sewalls Aspen Air	Final		Reschedule for Wed INSPECTOR
10415	Palmetto Ark Homes	ROUGH	PASS	NOI INSPECTOR
10466	Christie 1035 Sewalls Heaton Roof	Final Roof	PASS	CLOSE INSPECTOR
	SPARFI 73 N. River Rd	ROUGH DRIPS	CANCEL	INSPECTOR
	10 COPAIRE	TRAIL	OK	INSPECTOR
	MANDALAY LANDSCAPE AREA	CALLED	T.C. IRRIGATION	INSPECTOR
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 7-30-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10502	Lerner 37 E High Pt JA Taylor	Final Roof	Pass	CLOSE INSPECTOR <i>[Signature]</i>
10526	Fitzsimmons 99 N Sewalls Capps	tin tag/metal	Pass	INSPECTOR <i>[Signature]</i>
10525	McPhee 8 Admirals Walk Natural Flow	SGD attachment	Pass	INSPECTOR <i>[Signature]</i>
10531	Guerrero 130 N Sewalls Alum. Concept	Final Fence	Pass	CLOSE INSPECTOR
10515	SPIN-TU 10:00 PREMETO ARK HOMES	WALK THROUGH		INSPECTOR
10314	Petch 3 TIMON SEA GATE	METER FINAL	Pass	* READY FOR FDL INSPECTOR
	PRISMA PRM G	WALK THROUGH IN PROGRESS	WILL CALL WHEN COMPLETE	INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 8-1-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10463	Perth 8 Morgan Cir A+G Pools	Rough plumbing	Pass	Scott 201-9688 INSPECTOR <i>[Signature]</i>
10477	Jansen 132 S River Robert Huselberges	Final siding	Pass	CLOSE INSPECTOR <i>[Signature]</i>
10530	SAARFI 73 N. RIVER RD FLORIDA GAS	TANK TIE-DOWN	Pass	INSPECTOR <i>[Signature]</i>
10518	Williams 24 Castle Hill Driftwood	slab FOOTER SLAB	Pass	INSPECTOR <i>[Signature]</i>
10494	Gill 34 Rio Vista Driftwood	in progress	Pass	INSPECTOR <i>[Signature]</i>
10415	████████████████████ ████████████████████ ████████████████████	████████████████████ ████████████████████	████████████████████	████████████████████
PM	████████████████████ ████████████████████ Oak Homes	████████████████████ ████████████████████	████████████████████	████████████████████ INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 9-19-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10586	Nunnelee 32 W High Pt AAA Accent Door	Final Garage Door	Pass	CLOSE INSPECTOR <i>JA</i>
10590	Robson 12 N Ridgeway Country Const.	Rough plumbing	Pass	INSPECTOR <i>JA</i>
10527	WESTON 30 S. St. Rd Western	ELEVATED BEAMS	RESET FOR FRIDAY	INSPECTOR
10415	Smuck 11 PRINCE TO	R.P. WILKES 9 CHAS	Pass	INSPECTOR <i>JA</i>
10560	McIlvane 20 CASTLE HILL Vero Beach Roofing	TILE IN PROGRESS	Pass	INSPECTOR <i>JA</i>
				INSPECTOR
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 10-4-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10588	Kly Simmons 99 N Sewalls Florida Gas Exp.	UG tank	Fail	TANK IS BURIED INSPECTOR <i>[Signature]</i>
10590	Robson 12 N Ridgewood County Const	framing rough plumbing rough electric	BATH MISC PASS	INSPECTOR <i>[Signature]</i>
10413	Smuck N Carmello Ark Homes	One Pour CURB	PASS	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 10-15-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10518	Williams	Framing		
1st	24 Castle Hill Driftwood	hold down engineer truss	Pass	
				INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10415	Smith	Individual		
	7 Palmetto Oak Homes		Pass	
				INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10060	Goudis	Retaining wall		
	25 S River Rd Team Parks		Pass	CLOSE
				INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10406	Goudis	Retaining wall		
	25 S River Rd Team Parks		Pass	CLOSE
				INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10082	Goudis	Final Pool & SPA		
	25 S River Rd O P Custom Pools		Pass	CLOSE
				INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	St Lucie Bldg & Ocean	Dirt Pile by sign	Pass	SEND TO FDL
				INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 10-16-13 Page 2 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
104	11 Palmetto	Roof	Pass	READY FOR
	11 Palmetto	Roof	Pass	FPL
	Ark Homes			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10522	Sharfi	WALL PRE		
	73 N. River Rd	Pour	Pass	
	Warrell			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

Valerie Camlet

From: Valerie Camlet
Sent: Thursday, October 17, 2013 9:08 AM
To: 'FPL (tc_inspections@fpl.com)'
Subject: 11 Palmetto Rd

Inspection complete and passed - Please install meter at the residence of:

SMITH
11 Palmetto Rd
Sewall's Pt, FL

If you have any questions, please feel free to contact us.

Thank you,

Valerie

Valerie Camlet
BUILDING DEPT
TOWN OF SEWALL'S POINT
772-287-2455 EXT 13

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **11-5-13** Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10601	Gill 34 Rio Vista Soft Custom Pools	Pool Piping Equipotential bond	Pass	INSPECTOR <i>[Signature]</i>
10577	Cantwell 34 Castle Hill Way All Am Air	Trial AC (in closet)	Pass - close PENDING check from owner	INSPECTOR <i>[Signature]</i>
10621	Hochstetter 72 S River Rd Horizon Pools	Piping Pool PIPING	Pass	INSPECTOR <i>[Signature]</i>
10656	Hoffmann 20 Palm Rd Brewee Heatler	Trial AC	Pass	close INSPECTOR
10416	Smith 11 Palmwood	Trial AC	Pass	INSPECTOR
	Ork Homes			INSPECTOR <i>[Signature]</i>
Light	Hilcrest Terr & Hilcrest Ct	light is out	FPL	POLE INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR



TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765



CERTIFICATE OF: OCCUPANCY COMPLETION

Single Family Residence Other _____
 Temporary: Expiration Date _____
 Partial (Area description) _____
 BUILDING PERMIT NO: 10415 DATE OF ISSUE: APRIL 10, 2013
 OWNER(S): Smith, Anthony + Mary Edith PROPERTY ADDRESS: 11 Palmetto DR
 LEGAL DESCRIPTION: LOT 8 BLOCK — SUBDIVISION PALMETTO PARK
 GENERAL CONTRACTOR: ARK HOMES CONSTRUCTION LIC/CERT NO: CGC 057270
 ARCHITECT OR ENGINEER: PC DESIGNS JOSEPH P MCCARTY LIC/CERT NO: 9639
 CODE EDITION: 2010 FBC CONST. TYPE: TIB USE: SFR OCCUPANCY: —
 OCCUPANT LOAD: — SPRINKLERS REQUIRED: — SPRINKLERS USED: —

INSPECTION RECORDS

Inspection Type	Date Approved	Inspection Type	Date Approved
UNDERGROUND PLUMBING	<u>4-30-13</u>	TEMP POWER	<u>5-1-13</u>
UNDERGROUND MECHANICAL	<u>4-30-13</u>	UNDERGROUND GAS	<u>5-1-13</u>
STEM-WALL FOOTING	<u>—</u>	UNDERGROUND ELECTRICAL	<u>5-1-13</u>
SLAB	<u>5-1-13, 5-7-13</u>	FOOTING	<u>—</u>
ROOF SHEATHING	<u>—</u>	TIE BEAM/COLUMNS	<u>5-20-13</u>
TIE DOWN /TRUSS ENG	<u>—</u>	WALL SHEATHING	<u>10-15-13</u>
WINDOW/DOOR BUCKS	<u>6-17-13, 6-21-13</u>	INSULATION	<u>8-1-13</u>
ROOF DRY-IN/METAL	<u>7-17-13</u>	LATH	<u>7-24-13</u>
PLUMBING ROUGH-IN	<u>7-23-13</u>	ROOF NAILING	<u>6-7-13</u>
MECHANICAL ROUGH-IN	<u>7-23-13</u>	ROOF TILE IN-PROGRESS	<u>—</u>
FRAMING	<u>7-23-13</u>	ELECTRICAL ROUGH-IN	<u>7-23-13</u>
FIREPLACE ROUGH-IN	<u>7-23-13</u>	GAS ROUGH-IN	<u>7-23-13</u>
FINAL PLUMBING	<u>11-5-13</u>	METER FINAL	<u>10-16-13</u>
FINAL MECHANICAL	<u>11-5-13</u>	FINAL ELECTRICAL	<u>11-5-13</u>
FINAL ROOF	<u>7-24-13</u>	FINAL GAS	<u>11-5-13</u>
PRE-FOUR FR+REAR PORCH	<u>5-7-13</u>	BUILDING FINAL	<u>11-5-13</u>
PRE-FOUR WALKS+PADS	<u>9-19-13</u>	PRE-FOUR CURB	<u>10-4-13</u>

The described structure (or portion thereof) has been inspected for compliance with the requirements of this code for occupancy and division of occupancy and the use for which the proposed occupancy is classified.

In accordance with the requirements of the Florida Building Code and the Codes and Ordinances of the Town of Sewall's Point, Florida, this Certificate is hereby issued for the foregoing described property.

Entered at Sewall's Point, Florida, this 13th day of NOVEMBER, 2013.

John R. Adams, CBO
 Building Official, Town of Sewall's Point

10519

POOL ENCLOSURE



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10519	DATE ISSUED:	JULY 9, 2013
SCOPE OF WORK:	POOL SCREEN ENCLOSURE		
CONTRACTOR:	CUSTOM CAGES		
PARCEL CONTROL NUMBER:	013841010-000-000803	SUBDIVISION	PALMETTO PK - L 8
CONSTRUCTION ADDRESS:	11 PALMETTO RD		
OWNER NAME:	SMITH		
QUALIFIER:	JAMES MC PETERS	CONTACT PHONE NUMBER:	626-0287

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point BUILDING PERMIT APPLICATION

Permit Number: _____

Date: 6/27/13

OWNER/LESSEE NAME: Smith Phone (Day) _____ (Fax) _____

Job Site Address: 11 Palmetto Rd City Sewall's Pt State: FL Zip: _____

Legal Description: LOT 8 Palmetto Park Parcel Control Number: 01384101000000803

Fee Simple Holder Name: N/A Address: _____

City: _____ State: _____ Zip: _____ Telephone: _____

*SCOPE OF WORK (PLEASE BE SPECIFIC):

SCREEN ENCLOSURE

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO

Has a Zoning Variance ever been granted on this property?

YES _____ (YEAR) _____ NO
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 6990.00

(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10 AE9 AE8 X

FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:

Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Custom Cages of the Treasure Coast Inc Phone: 772-626-0287 Fax: 772-878-1388

Qualifiers name: JAMES L. McPHETRES Street: 443 SE Langfield Ave City: Port St. Lucie State: FL Zip: 34984

State License Number: _____ OR: Municipality: MARTIN COUNTY License Number: MEAL 02970

LOCAL CONTACT: JAMES L. McPHETRES Phone Number: 772-626-0287

DESIGN PROFESSIONAL: SUNCOAST ARCHITECTURE + ENGINEERING INC Fla. License # 64609

Street: 13630 58th St N, Suite 101 City: CLEARWATER State: FL Zip: 33760 Phone Number: 727-532-9000

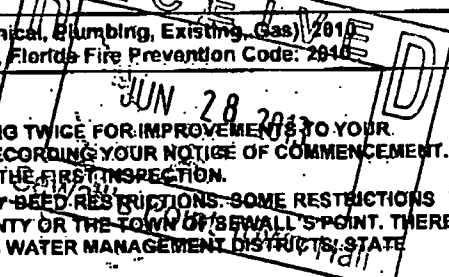
AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/Porches: 920 Enclosed Storage: _____

Carport: _____ Total under Roof: _____ Elevated Deck: _____ Enclosed area below BFE: _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Coverage Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas) 2010
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCLUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.



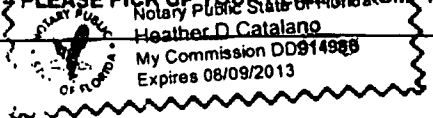
*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER / AGENT / LESSEE, NOTARIZED SIGNATURE:
M. P. Smith
 State of Florida, County of: Martin
 On This the 1 day of July, 2013
 by Mary E. Smith
 known to me or produced
 As identification: Valerie Combs
 Notary Public
 My Commission Expires: _____

CONTRACTOR / LICENSEE NOTARIZED SIGNATURE:
James L. McPhetres
 State of Florida, County of: St Lucie
 On This the 21 day of June, 2013
 by JAMES L. McPHETRES who is personally
 known to me or produced
 As identification: _____
 Notary Public: Heather D. Catalano
 My Commission Expires: 8/9/13

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL. NOTIFICATION FEES FOR ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) PLEASE PICK UP YOUR REBATE PROMPTLY!



**Martin County, Florida
Laurel Kelly, C.F.A**

generated on 6/28/2013 11:13:42 AM EDT

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
01-38-41-010-000-00080-3	17761	UNASSIGNED, SEWALL'S POINT	\$142,500	6/22/2013

Owner Information

Owner(Current)	SMITH ANTHONY D & MARY EDITH WHEATO SMITH MARY EDITH WHEATON & ANTHONY
Owner/Mail Address	2400 SE FEDERAL HWY 4TH FL STUART FL 34994
Sale Date	12/3/2012
Document Book/Page	2615 2244
Document No.	2364482
Sale Price	200000

Location/Description

Account #	17761	Map Page No.	SP-04
Tax District	2200	Legal Description	PALMETTO PARK LOT 8 OR 340/868
Parcel Address	UNASSIGNED, SEWALL'S POINT		
Acres	.4640		

Parcel Type

Use Code	0000 Vacant Residential
Neighborhood	120200 Heritage P, Palmtto Pk,Rdglnd,

Assessment Information

Market Land Value	\$142,500
Market Improvement Value	
Market Total Value	\$142,500

NOTICE OF COMMENCEMENT
To be completed when construction value exceeds \$2,500.00

PERMIT #: _____ TAX FOLIO #: 01384101000000803

STATE OF FLORIDA COUNTY OF MARTIN

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS, IF AVAILABLE):
Lot 8 Palmetto Park

GENERAL DESCRIPTION OF IMPROVEMENT: New Swimming Pool/Spa/Deck/Screen enclosure

OWNER INFORMATION OR LESSEE INFORMATION, IF THE LESSEE CONTRACTED FOR THE IMPROVEMENT:
Name: Anthony and Mary Edith Smith
Address: PO Box 1525 Jensen Beach, FL 34958
Interest in property: 772 285 7330 owner
Name and address of fee simple title holder (if different from Owner listed above): _____

CONTRACTOR'S NAME: Alexander Pools Phone No.: 772 475 9740
Address: 1290 NW Lakeside Tr Street, FL 34994

SURETY COMPANY (if applicable, a copy of the payment bond is attached):
Name and address: N/A
Phone No.: _____ Bond amount: _____

LENDER'S NAME: N/A Phone No.: _____
Address: _____

Persons within the State of Florida designated by owner upon whom notices or other documents may be served as provided by Section 713.13 (1); (a) 7, Florida Statutes:

Name: Mike Alexander Phone No.: 772 475 9740
Address: 1290 NW Lakeside Tr

in addition to himself or herself, owner designates Mike Alexander of Alexander Custom Pools to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.
Phone number of person or entity designated by Owner: _____

Expiration date of Notice of Commencement:
(the expiration date may not be before the completion of construction and final payment to the contractor, but will be 1 year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713 PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OF RECORDING YOUR NOTICE OF COMMENCEMENT.

Under penalty of perjury, I declare that I have read the foregoing and that the facts in it are true to the best of my knowledge and belief.

X Anthony D. Smith
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager/Attorney-in-fact

X Owner
Signatory's Title/Office

The foregoing instrument was acknowledged before me this 3rd day of MAY, 2013

By: Anthony D. Smith as _____ for _____
Name of person Type of authority (e.g. officer, trustee) Party on behalf of whom instrument was executed

[Signature]
Notary's Signature

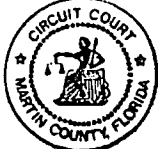
Personally known or produced identification
Type of identification produced _____

(Print, Type, or Stamp Commissioned Name of Notary)

10519
410552
02:58:51 PM
07/10/2013
REC'D PG 396
INSTR # 2404767 OR BK 2663
CAROLYN TIMMANN MARTIN COUNTY CLERK
DEED DOC \$0.00, MTG DOC \$0.00, INTANGIBLE \$0.00

STATE OF FLORIDA Forms New Applications Forms Notice Of Commencement Docs
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE FOREGOING (1) PAGE(S) IS A TRUE AND CORRECT COPY OF THE ORIGINAL DOCUMENT AS FILED IN THIS OFFICE.



Rev. 9/15/11

CAROLYN TIMMANN, CLERK
BY: [Signature] D.C.
DATE: 7/10/13



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

**SCREEN/POOL ENCLOSURE APPLICATION PACKAGE
2010 FLORIDA BUILDING CODE**

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

Please make sure you have ALL required copies before submitting permit application

- 1 Copy Completed permit application
- 1 Copy Notice of Commencement signed, notarized and recorded prior to first inspection.
(Only if construction value exceeds \$2500.00)
- 2 Copies Survey or site plan showing the following:
 - All existing structures on property
 - Location of proposed screen room
 - Setbacks from screen room to property lines
 - Location of all easements
 - Street & house number on site plans
 - All four building setbacks lines.

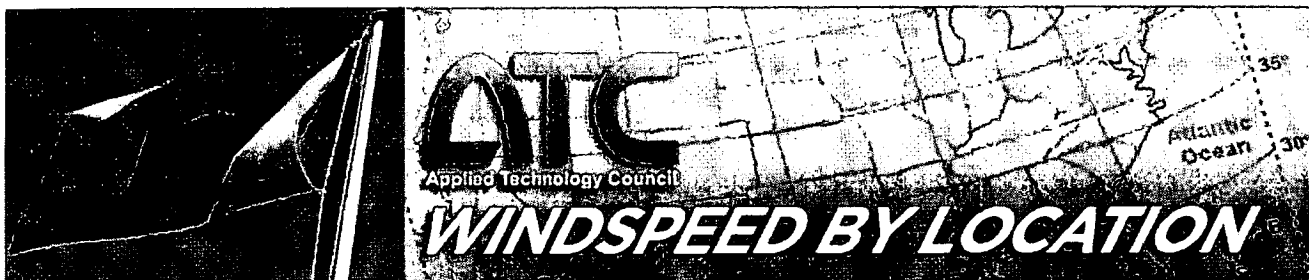
***DO NOT SUBMIT PREVIOUSLY STAMPED SITE PLANS.**

- 2 Copies Engineer certified plans & specifications including:
 - Wind Design Information per Section 1603.1.4 FBC. as it applies.
 - Complete floor plans/layouts for "Screen Enclosure", and rooms with emergency egress requirements (bedrooms) identified in the existing structure.
 - Foundation details (Including existing foundations). Existing foundations must comply with new engineering. Mark the required engineered foundation as existing on the plans.

**HIGHLIGHT OR CIRCLE ONLY APPLICABLE DETAILS.
DO NOT SUBMIT UNRELATED DRAWINGS.**

- 2 Copies Need 2 copies of structural elevations from all sides indicating all structural Component sizes and spacing matching the submitted engineering.

SITE SPECIFIC ENGINEERING IS REQUIRED FOR ALL TWO STORY SCREEN ROOMS AND ANY SPECIFIC CONDITION THAT CAUSES A DEVIATION FROM THE STANDARD ENGINEERED DETAILS SUBMITTED.



Home About This Site Lat/Long Finder Related Resources Sponsors About ATC Contact

Search Results

Latitude: 27.1962
Longitude: -80.1994

ASCE 7-10 Wind Speeds
(3-sec peak gust MPH*):

Risk Category I: 151
Risk Category II: 164
Risk Category III-IV: 175
MRI** 10 Year: 88
MRI** 25 Year: 109
MRI** 50 Year: 122
MRI** 100 Year: 134

ASCE 7-05: 142
ASCE 7-93: 100

*MPH(Miles per hour)
**MRI Mean Recurrence Interval (years)

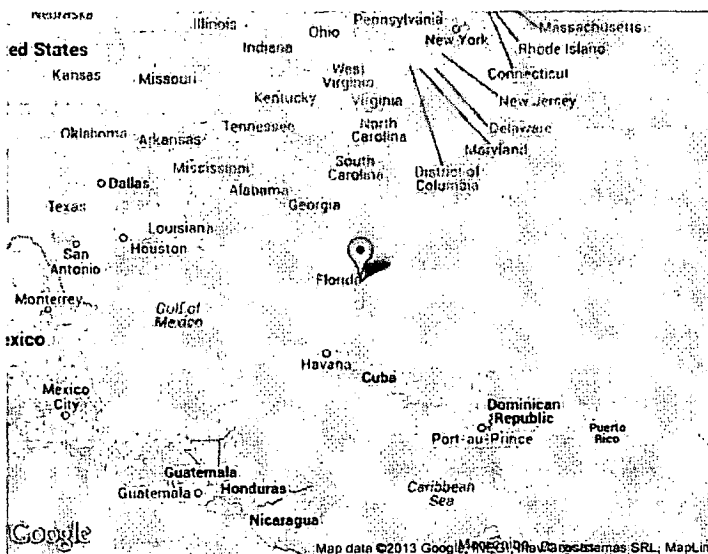
Users should consult with local building officials to determine if there are community-specific wind speed requirements that govern.



[Download a PDF of your results](#)



[Print your results](#)



WIND SPEED WEB SITE DISCLAIMER:

While the information presented on this web site is believed to be correct, ATC assumes no responsibility or liability for its accuracy. The material presented in the wind speed report should not be used or relied upon for any specific application without competent examination and verification of its accuracy, suitability and applicability by engineers or other licensed professionals. ATC does not intend that the use of this information replace the sound judgment of such competent professionals, having experience and knowledge in the field of practice, nor to substitute for the standard of care required of such professionals in interpreting and applying the results of the wind speed report provided by this web site. Users of the information from this web site assume all liability arising from such use. Use of the output of this web site does not imply approval by the governing building code bodies responsible for building code approval and interpretation for the building site(s) described by latitude/longitude location in the wind speed report.



Google earth



LEGAL DESCRIPTION:

(AS FURNISHED BY CLIENT)

LOT 8, PALMETTO PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 66, PUBLIC RECORD OF MARTIN COUNTY, FLORIDA.

ADDRESS: 11 PALMETTO DRIVE
SEWALL'S POINT FLORIDA

9/5/13

SURVEY NOTES:

1. NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.
 2. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OR OWNERSHIP.
 3. LAND DESCRIPTION HEREON WAS PROVIDED BY THE CLIENT.
 4. BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF ROAD.
 5. THE PURPOSE OF THIS SURVEY IS FOR USE IN OBTAINING TITLE INSURANCE AND/OR FINANCING AND SHOULD NOT BE USED FOR DESIGN OR CONSTRUCTION PURPOSES UNLESS OTHERWISE STATED ON THE SURVEY.
 6. ELEVATIONS SHOWN HEREON ARE BASED UPON N.G.V.D. 1929.
 7. DIMENSIONS PREVAIL OVER SCALE.
 8. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
 9. SURVEY NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE.
 10. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COMMITMENT FOR TITLE INSURANCE.
 11. UNDERGROUND UTILITY INSTALLATIONS, UNDERGROUND IMPROVEMENTS, FOUNDATIONS AND/OR ANY OTHER UNDERGROUND STRUCTURE WERE NOT LOCATED BY THIS SURVEY UNLESS SPECIFICALLY NOTED.
 12. UNLESS NOTED OR DEPICTED OTHERWISE, ALL PROPERTY CORNERS SHOWN WERE FOUND AND HAVE NO IDENTIFICATION OR SAID IDENTIFICATION WAS NOT AVAILABLE.
- TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
THIS SURVEY IS PREPARED FOR THE EXCLUSIVE USE AND BENEFIT OF ONLY THE PARTIES CERTIFIED TO HEREIN. RIGHTS OR LIABILITY TO ANY THIRD PARTIES CANNOT BE TRANSFERRED OR ASSIGNED.

FILE COPY

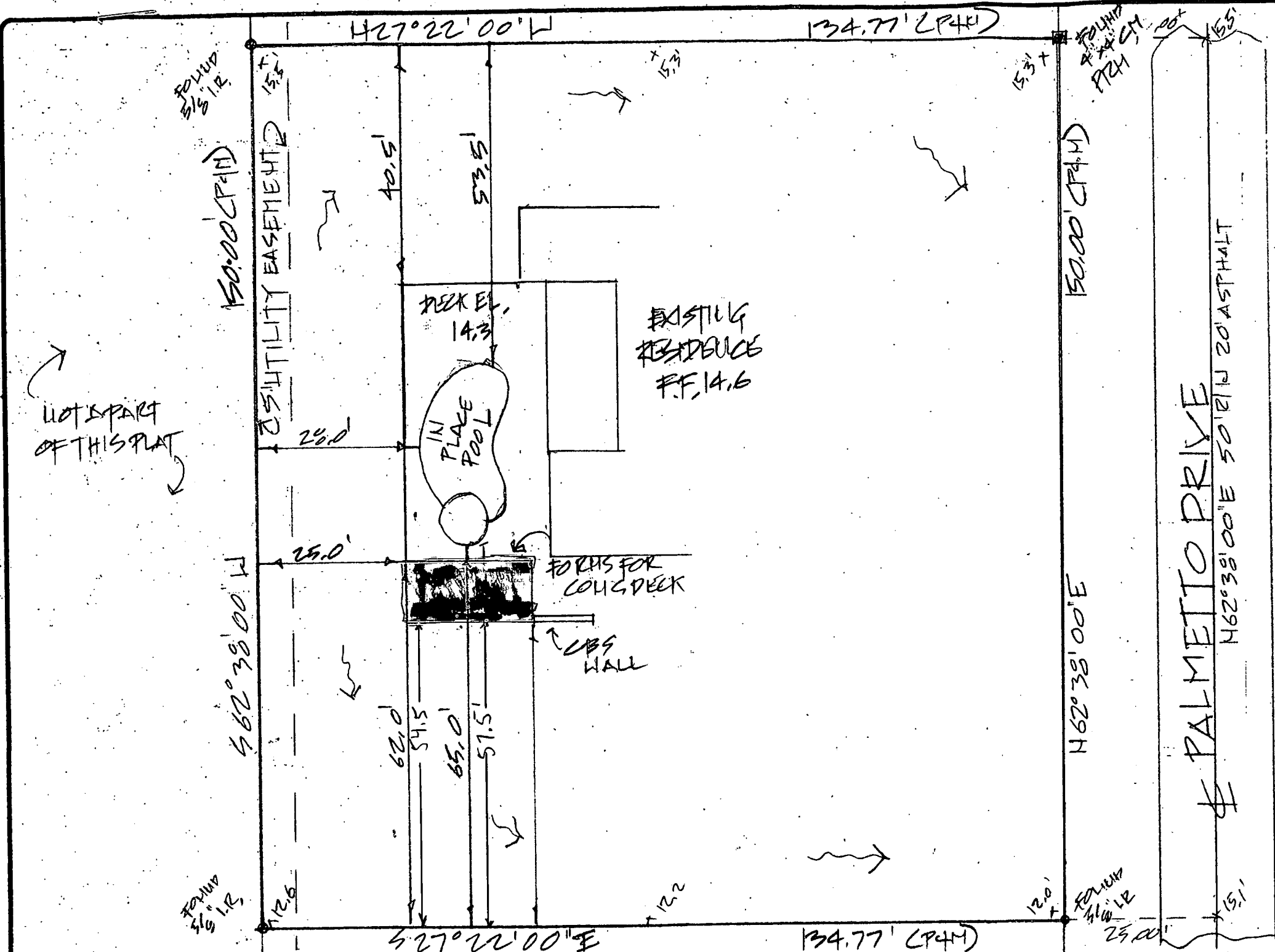
CERTIFIED TO:

FLOOD ZONE: "X"
MAP: 12085C0154F
DATED: 10/4/02

CORNERSTONE SURVEYING
LB #7941
13833 WELLINGTON TRACE E-4 #129
WELLINGTON, FLORIDA 33414
(772)236-9305 (voice & fax)

FIELD WORK COMPLETED: *8/27/13* POOL & DECK FORM BOARD

PREPARED ON THE ORDER OF: <i>ALEXANDER POOLS</i>		
SCALE: 1"=20'	DRAWN BY: <i>EM</i>	FILE NO.:
FB PKG	PAGE: 1 OF 1	DATE: <i>8/27/13</i>



SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS SURVEY MAP IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED IN THE FIELD. I FURTHER CERTIFY THAT THIS SURVEY COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS SET FORTH IN CHAPTER 5J-17 BY THE FLORIDA BOARD OF LAND SURVEYORS PURSUANT TO CHAPTER 2009-66 FLORIDA STATUTES, AND THAT THERE ARE NO ABOVE GROUND ENCROACHMENTS OTHER THAN SHOWN.

BY: *Mark W. Teepe* DATE: *8/30/13*

PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION #4811
MARK W. TEEPE, P.S.M.

<ul style="list-style-type: none"> -ARC LENGTH -OVERHEAD WIRE -EXISTING WIRE FENCE -EXISTING CHAINLINK FENCE -EXISTING WOOD FENCE -EXISTING PVC FENCE -CENTER LINE -RIGHT-OF-WAY -EASEMENT -DRIVEWAY -SIDEWALK OR WALKWAY -ASPHALT -CONCRETE -WOOD FRAME -POINT OF TANGENCY -POINT OF CURVATURE -POINT OF REVERSE CURVATURE -CHORD -CHORD BEARING -DELTA ANGLE 	<ul style="list-style-type: none"> -FOUND -DIAMETER -CONCRETE MONUMENT -IRON ROD -IRON PIPE -NAIL & DISK -CAP -CONCRETE MONUMENT -NAIL & DISK -IRON ROD OR IRON PIPE -POINT OF COMMENCEMENT -POINT OF BEGINNING -PERMANENT REFERENCE MONUMENT -PERMANENT CONTROL POINT -MEASURED DISTANCE & BEARING -PLATTED DISTANCE & BEARING -CALCULATED DISTANCE & BEARING -DEEDED DISTANCE & BEARING -PROFESSIONAL SURVEYOR AND MAPPER 	<ul style="list-style-type: none"> -ELEVATION -TYPICAL ELEVATION -FINISH FLOOR ELEVATION -BENCHMARK -OFFICIAL RECORDS BOOK -PLAT BOOK -DEED BOOK -FIELD BOOK -PAGE -FOUND -PAVEMENT -PLANTER -TYPICAL -WATER METER -HANDLE -FIRE HYDRANT -LIGHT POLE -UTILITY POLE -REGISTERED LAND SURVEYOR -LICENSED BUSINESS
--	--	---

**CONTRACTOR: Custom Gages of the Treasure Coast
DESIGN CRITERIA:**

- Applicable Codes, Regulations, and Standards**
1. The 2010 Florida Building Code specifically Chapter 16 Structural Design, Chapter 20 Aluminum, and Chapter 23 Wood.
 2. AA ASM 35 and Specifications for Aluminum Structures, Part 1-A of the Aluminum Design Manual prepared by The Aluminum Association, Inc. Washington, D.C., 2005 Edition
 3. ASCE 7-10.

- Wind Loads**
1. Building Occupancy Category, Paragraph 1604.5 and Table 1604.5: Risk Category 1.
 2. Basic Wind Speed, Table 1609C State of Florida Debris Region & Basic Wind Speed, Paragraph 1609.3.1 and Table 1609.3.1
V_{wr} = 160MPH, V_{asd} = 124MPH
 3. Exposure Category, Paragraph 1609.4.3: C
 4. Screen roof enclosure, Table 2002.4.

Foundation Design
Existing concrete. No additional concrete footing or slab is required to resist the loads imposed by the proposed construction if the existing slab is a minimum 4" thick with an 8" x 8" thickened slab edge and in sound condition, free from structural cracking, spalling, or other deterioration.

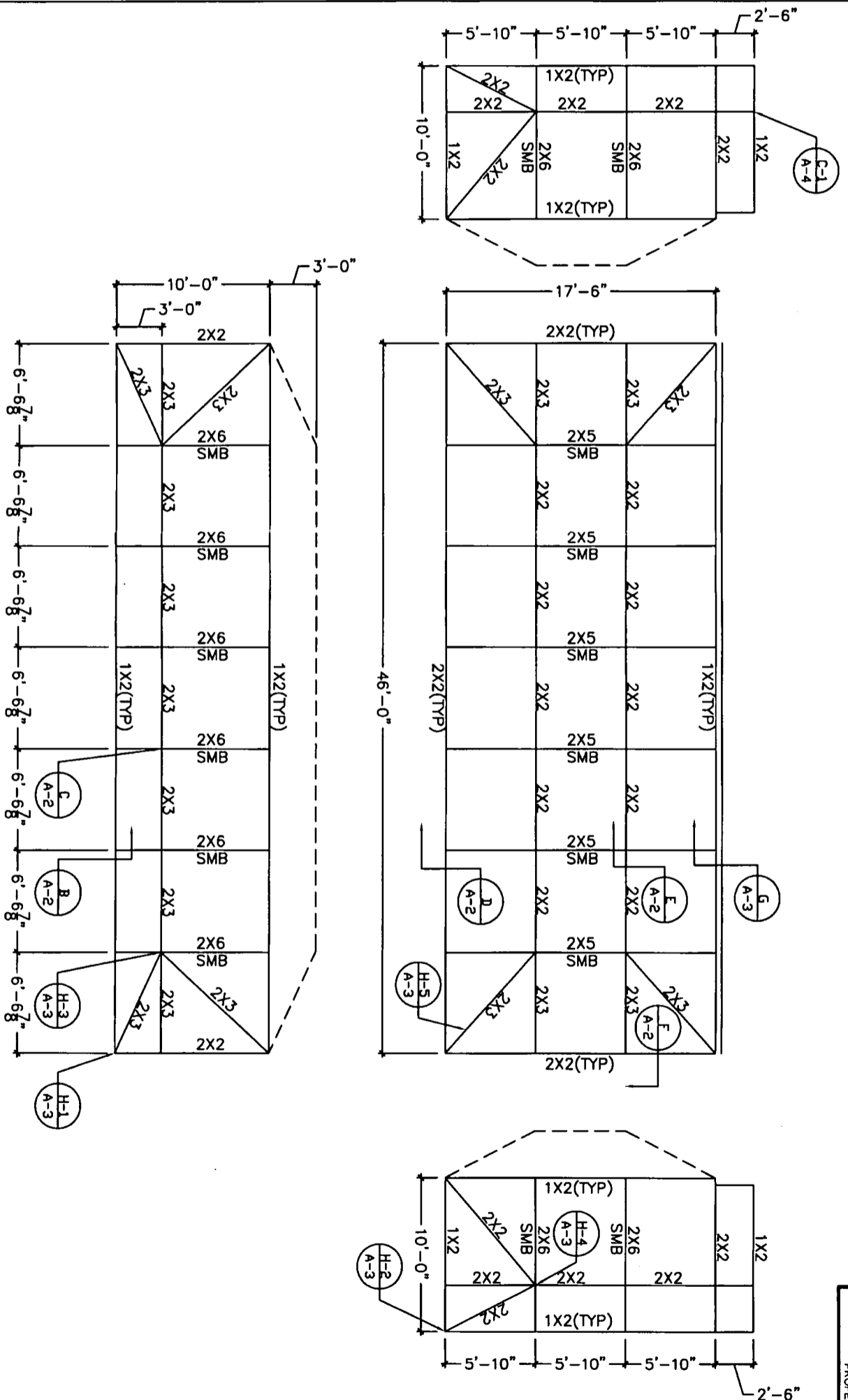
Specifications

The following specifications are applicable to this project:

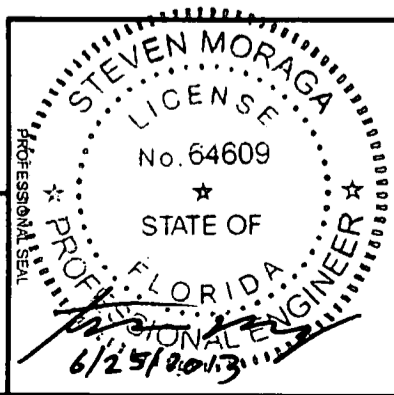
1. Where concrete specifications are required, whether in the screen enclosure scope or not, by one or more regulatory agency, the following specifications are applicable:
 - a. Concrete shall conform to ASTM C94 for the following components:
 - i. Portland Cement Type 1 - ASTM C 150
 - ii. Aggregates - Large Aggregate 3/4" max - ASTM C 33
 - iii. Air entraining +/- 1% - ASTM C 260
 - iv. Water reducing agent - ASTM C 494
 - v. Clean Potable water
 - vi. Other admixtures not permitted
 - b. Metal accessories shall conform to:
 - i. Reinforcing Bars - ASTM A615, grade 60
 - ii. Welded wire fabric - ASTM A185
 - c. Concrete slump at discharge chute not less than 3" or more than 5". Water added after batching is not permitted.
 - d. Prepare and place concrete per American Concrete Institute Manual of Standard Practice, Parts 1, 2, and 3 including hot weather recommendations.
 - e. Moist cure or polyethylene curing permitted.
 - f. Prior to placing concrete, treat the entire subsurface area for termites in compliance with the FBC.
 - g. Concrete shall be placed over a polyethylene vapor barrier
 - h. All aluminum components embedded within concrete shall be coated with a bituminous paint or epoxy.
2. Aluminum extrusions shall be 6005 T5 Alloy
3. Fasteners are required to be SAE Grade 2 or better zinc plated.
4. All Self Mating Beam Sections are to be stitched with either #14 screws 6" from ends and 24" center to center or #12 screws 6" from ends and 12" center to center.
5. The minimum nominal thickness of protector panels (kickplates) shall be an industry standard of 0.024 inches.
6. Screened enclosures containing swimming pools shall comply with the applicable requirements of FBC R4101.17 Residential Swimming Barrier requirements.
7. Screen material shall be 1/8" screen unless approved by Suncoast Architecture & Engineering, LLC.
8. Door location shall be determined by contractor in the field.
9. When installing pavers over concrete slab or footing which are supporting aluminum members, such as continuous screen tracks or upright, the pavers must be bonded to the concrete with an epoxy, thinset, or 3,000 PSI grout to ensure full positive contact with concrete.
10. Design shall be based upon "pinned" upright analysis unless approved by Suncoast Architecture & Engineering.

Roof Type
Roof Type **MANSARD**

WIND SPEED AND EXPOSURE HAVE
BEEN DETERMINED USING THE ADVANCED
TECHNOLOGY COUNCIL'S WEBSITE
AND GOOGLE EARTH.



TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY



PROFESSIONAL ENGINEER
STEVEN MORAGA, P.E.
FLORIDA LICENSE: 64609

SUNCOAST ARCHITECTURE
& ENGINEERING, LLC
13630 58TH STREET NORTH SUITE 101
CLEARWATER FL 33760
TEL: (727) 532-9000
FAX: (727) 532-9008
FLORIDA LICENSES: AA26001769 & CA #28841

PROJECT ADDRESS:
SMITH
11 PALMETTO DR.
SEWALL'S POINT, FL 34996

DRAWN BY	EL
DATE DRAWN	06/24/13
REVISION	

SHEET NO.
A-1

ALUMINUM MEMBERS DIMENSIONS

HOLLOW SECTIONS

- 2 x 2: 2" x 2" x 0.046"
- 2 x 3: 2" x 3" x 0.050"
- 2 x 4: 2" x 4" x 0.050"
- 2 x 5: 2" x 5" x 0.050"

OPEN BACK SECTIONS

- 1 x 2: 1" x 2" x 0.040"
- 1 x 3: 1" x 3" x 0.045"

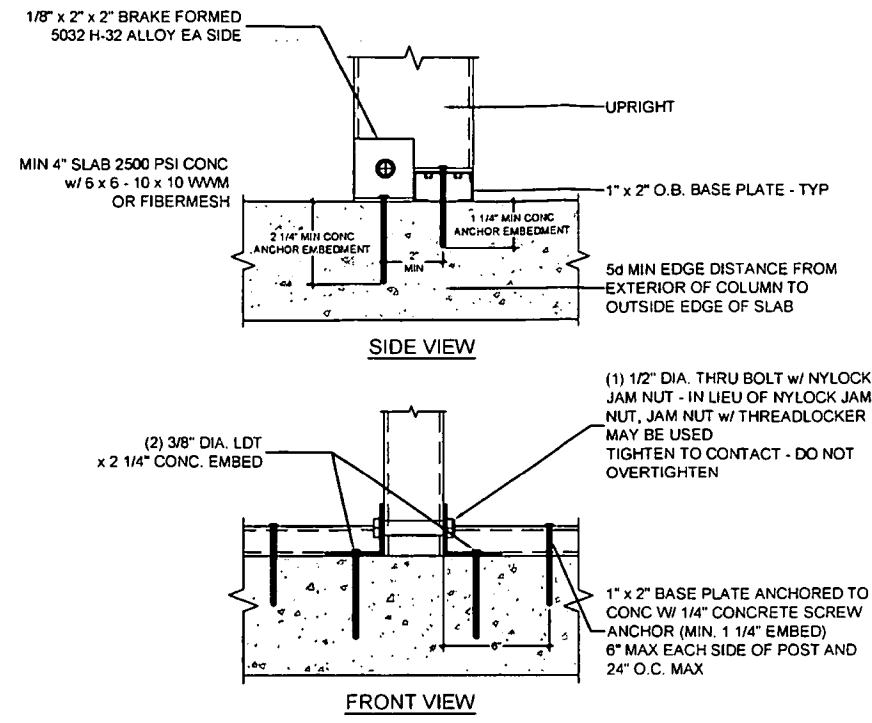
SNAP SECTIONS

- 2 x 2 Snap: 2" x 2" x 0.045"
- 2 x 3 Snap: 2" x 3" x 0.050"
- 2 x 4 Snap: 2" x 4" x 0.045"

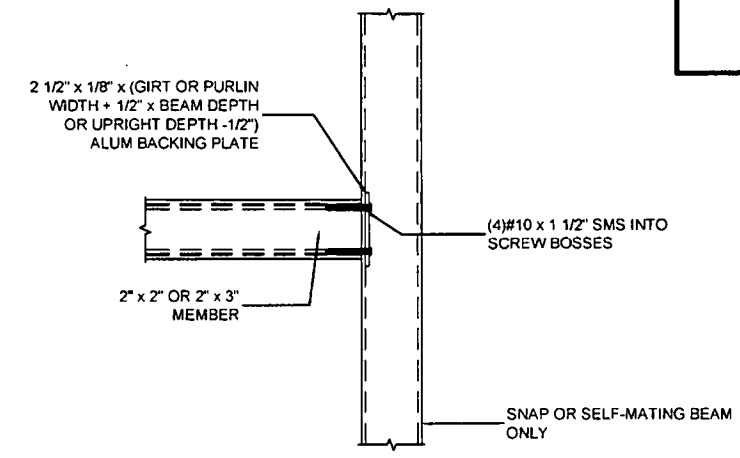
SELF MATING (SMB)

- 2 x 4 SMB: 2" x 4" x 0.044" x 0.100"
- 2 x 5 SMB: 2" x 5" x 0.050" x 0.100"
- 2 x 6 SMB: 2" x 6" x 0.050" x 0.120"
- 2 x 7 SMB: 2" x 7" x 0.057" x 0.120"
- 2 x 8 SMB: 2" x 8" x 0.072" x 0.124"
- 2 x 9 SMB: 2" x 9" x 0.072" x 0.124"
- 2 x 10 SMB: 2" x 10" x 0.092" x 0.398"

MINIMUM FASTENER EDGE DISTANCE: 1/2"
MINIMUM FASTENER SPACING: 3/4"

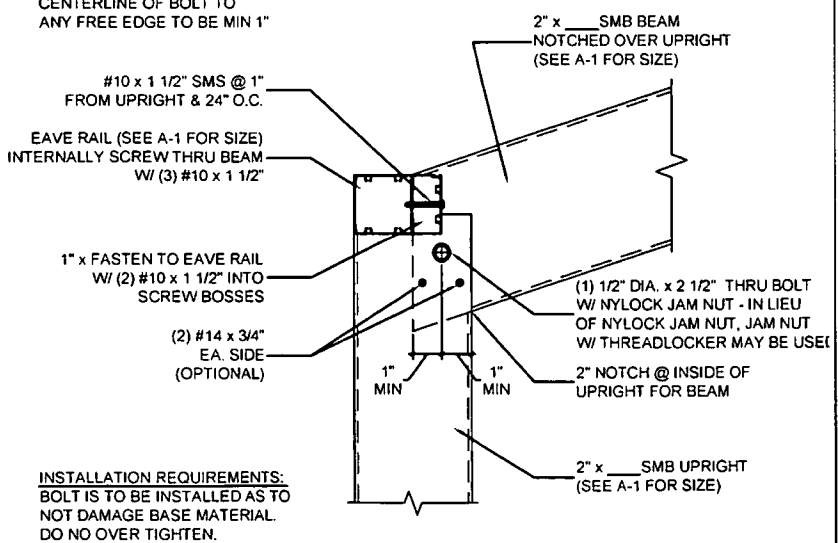


B
A-2 2" x 4" OR LARGER UPRIGHT TO DECK DETAILS
SCALE: NTS

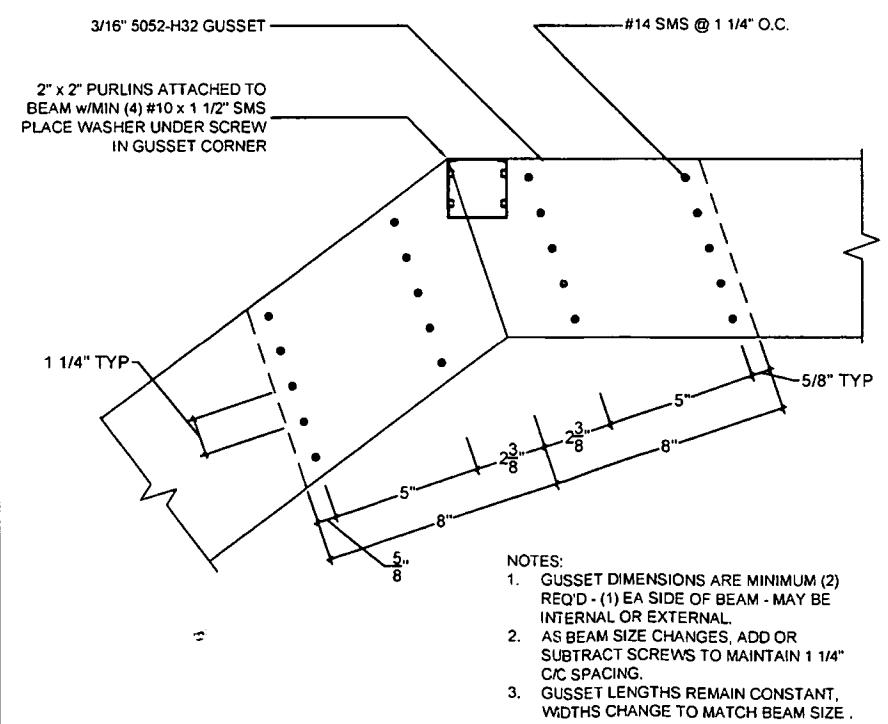


C
A-2 PURLIN OR GIRT TO BEAM OR POST DETAIL
SCALE: NTS

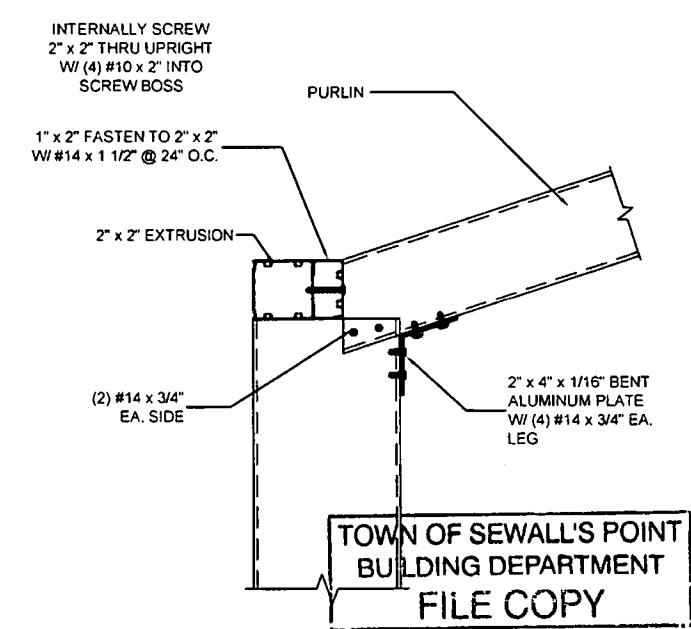
NOTE:
CENTERLINE OF BOLT TO ANY FREE EDGE TO BE MIN 1"



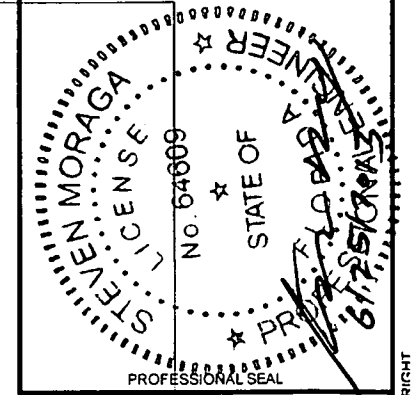
D
A-2 UPRIGHT TO BEAM CONNECTION
SCALE: NTS



E
A-2 TYPICAL INTERNAL OR EXTERNAL GUSSET DETAIL - RIGID MEDIUM
SCALE: NTS



F
A-2 SLOPED PURLIN TO UPRIGHT CONNECTION DETAIL
SCALE: NTS



PROFESSIONAL ENGINEER
STEVEN MORAGA, P.E.
FLORIDA LICENSE: 64609

SUNCOAST ARCHITECTURE
& ENGINEERING, LLC
13630 58TH STREET NORTH SUITE 101
CLEARWATER FL 33760
TEL: (727) 532-9000
FAX: (727) 532-9008
FLORIDA LICENSES: AA26001769 & CA #28841

PROJECT ADDRESS:
SMITH
11 PALMETTO DR.
SEWALL'S POINT, FL 34996

DRAWN BY
EL

DATE DRAWN
06/24/13

REVISION

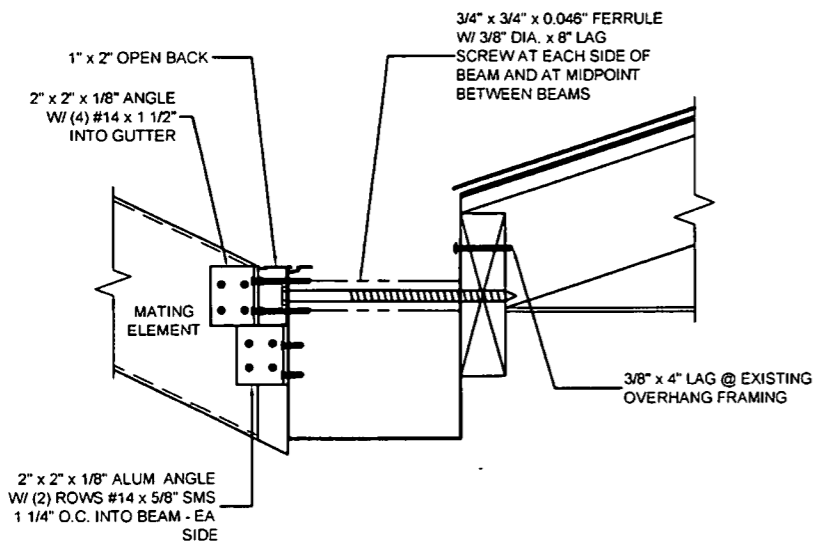
△ -
△ -

SHEET NO:

A-2

NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF SUNCOAST ARCHITECTURE & ENGINEERING, LLC. © COPYRIGHT

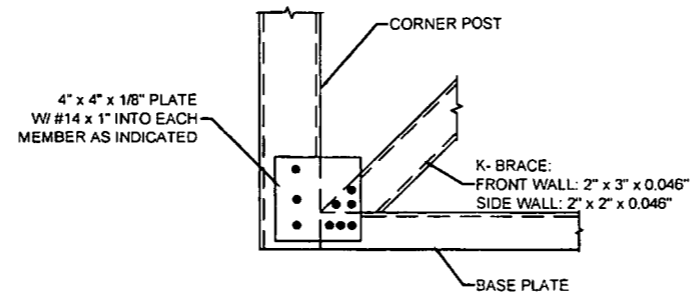
TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY



G
A-3 GUTTER BRACE & MATING ELEMENT ATTACHMENT DETAIL
SCALE: NTS

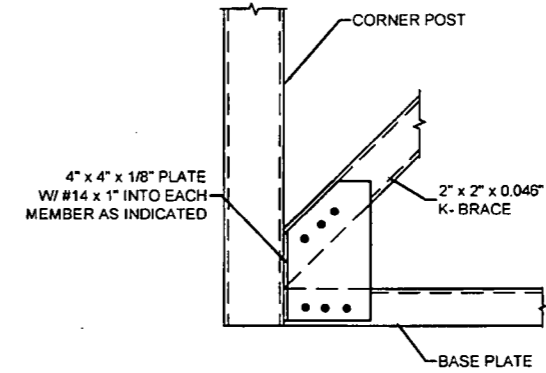
NOTES:
CONNECTION DETAIL
AT EAVE RAIL SIMILAR

SEE H2 / A-3 FOR
INTERIOR CORNER

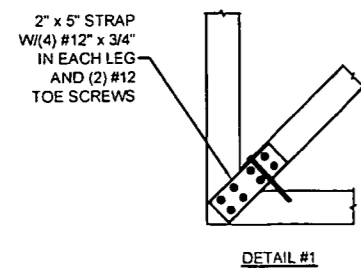
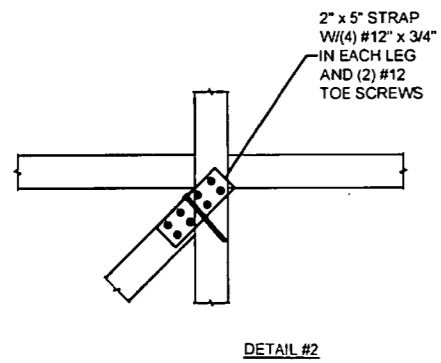


H-1
A-3 CORNER K-BRACE DETAIL
SCALE: NTS

NOTES:
CONNECTION DETAIL
AT EAVE RAIL SIMILAR

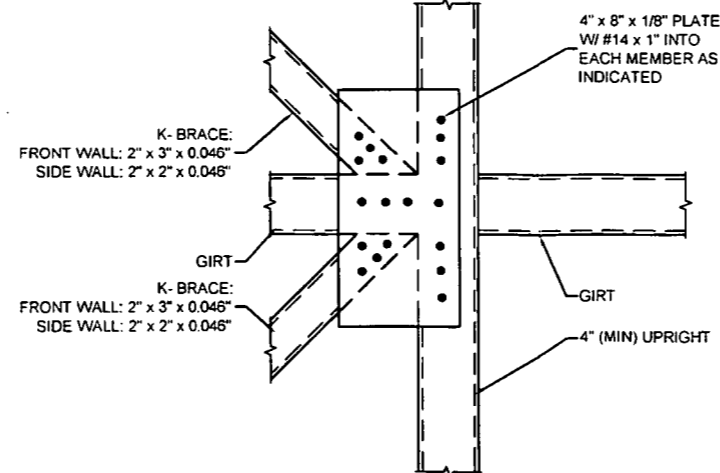


H-2
A-3 CORNER K-BRACE INSIDE DETAIL
SCALE: NTS

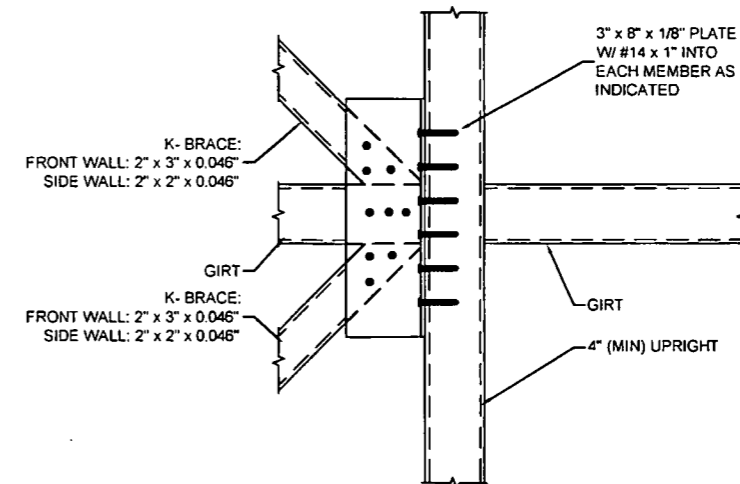


H-5
A-3 ROOF BRACING
SCALE: NTS

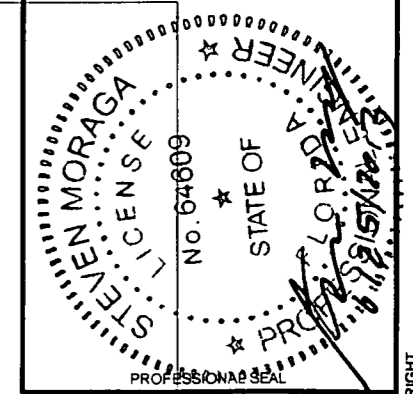
NOTE:
SEE H4/A-3 FOR
INTERIOR CORNER



H-3
A-3 INTERMEDIATE K-BRACE DETAIL
SCALE: NTS



H-4
A-3 INTERMEDIATE K-BRACE INSIDE DETAIL
SCALE: NTS



PROFESSIONAL ENGINEER
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CLEARWATER FL 33760
TEL: (727) 532-9000
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FLORIDA LICENSES: AA26001769 & CA #28841

PROJECT ADDRESS:
SMITH
11 PALMETTO DR.
SEWALL'S POINT, FL 34996

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EL

DATE DRAWN
06/24/13

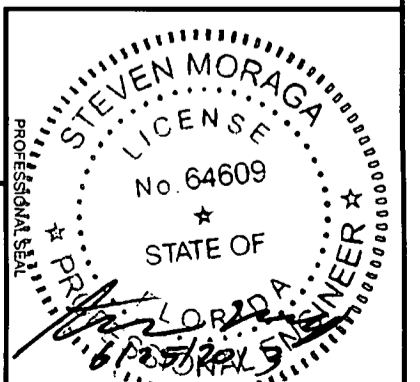
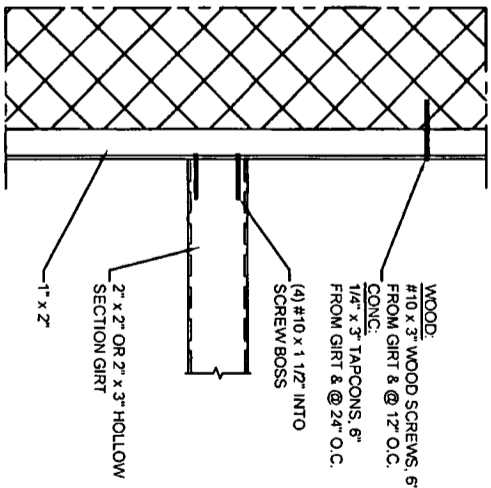
REVISION

△ -
△ -

SHEET NO:

A-3

C-1
A-4
1X2 TO HOST STRUCTURE DETAIL
SCALE: NTS



PROJECT ADDRESS:
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**SUNCOAST ARCHITECTURE
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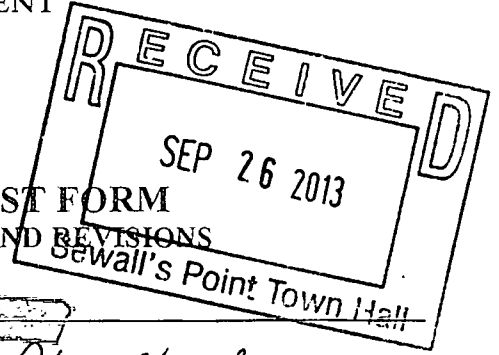
REVISION

SHEET NO.:

A-4



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765



REVISIONS - CORRECTIONS REQUEST FORM
 MUST BE SUBMITTED FOR ALL CORRECTIONS AND REVISIONS

DATE: 9/26/13 PERMIT NUMBER: [REDACTED]
 JOB ADDRESS: 11 Palmetto Dr. Sewall's Pt, Florida

PLEASE CHECK ONE OF THE FOLLOWING:

CONDITION OF INSPECTION APPROVAL (Needed for an inspection)

CONDITION OF PERMIT APPROVAL: (Corrections/Permit not issued, in review process)

REVISIONS (Changes to an issued permit)

ALL PLAN REVISIONS MUST BE HIGHLIGHTED OR CLOUDED ON DRAWING

ALL REVISED PAGES ARE REQUIRED TO BE INSERTED IN FIELD PERMIT SET

DESCRIPTION OF REVISION(S): Deck Added to pool screen enclosure
Deck to Decking (larger)

DOES REVISION(S) CHANGE THE VALUE OF CONSTRUCTION? YES NO VALUE \$ _____
 INCREASED CONSTRUCTION VALUE WILL INCREASE PERMIT FEES AND MUST BE PAID AT TIME OF APPROVAL

CONTACT NAME: JAMES McMETRES SIGNATURE: [Signature]

PHONE NUMBER: 772-626-0287 FAX NUMBER: _____

FOR OFFICE USE ONLY:

Reviewed by: [Signature] Date: 9-26-13 Approve Deny

Additional conditioned space _____ sq. ft. @ \$104.65 per sq. ft. _____ x 2% = _____

Additional non-conditioned space _____ sq. ft. @ \$ 48.90 per sq. ft. _____ x 2% = _____

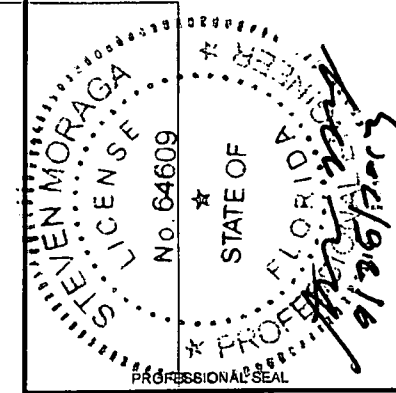
Other declared value increase (must be based on value not cost) _____ x 2% = _____

Other additional fees: _____ Revision review fee: _____ Pages @ \$25.00/Page _____

Radon Fee _____ Professional Regulation Fee _____ Road impact assessment _____

TOTAL ADDITIONAL BUILDING PERMIT FEE \$ N/C

Applicant notified by: _____ Date: _____



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 SMITH
 11 PALMETTO DR.
 SEWALL'S POINT, FL 34996

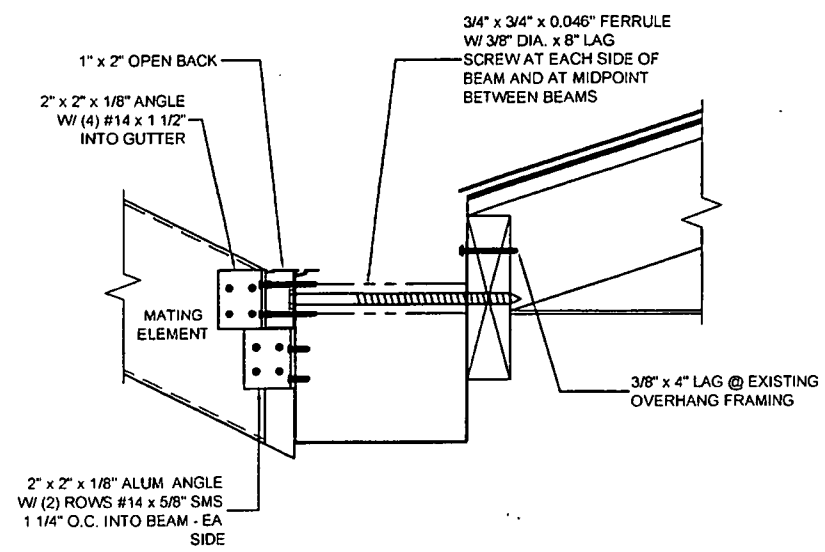
DRAWN BY
 EL

DATE DRAWN
 06/24/13

REVISION

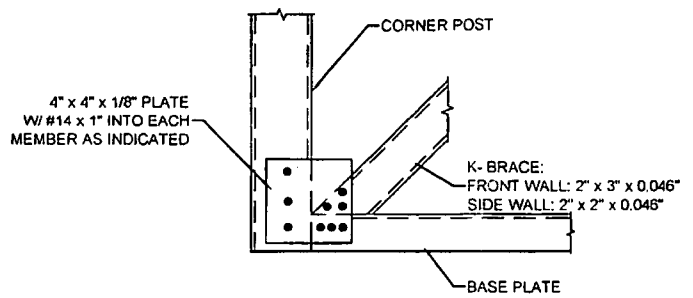
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A-3

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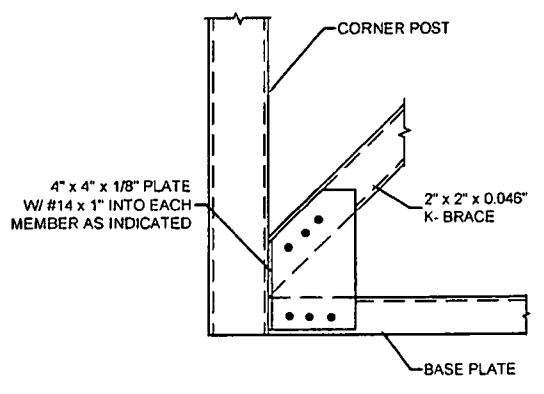
G
A-3 GUTTER BRACE & MATING ELEMENT ATTACHMENT DETAIL
 SCALE: NTS

NOTES:
 CONNECTION DETAIL
 AT EAVE RAIL SIMILAR
 SEE H2 / A-3 FOR
 INTERIOR CORNER

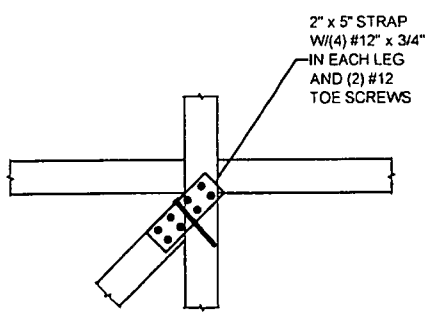


H-1
A-3 CORNER K-BRACE DETAIL
 SCALE: NTS

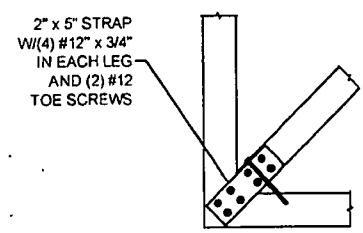
NOTES:
 CONNECTION DETAIL
 AT EAVE RAIL SIMILAR



H-2
A-3 CORNER K-BRACE INSIDE DETAIL
 SCALE: NTS



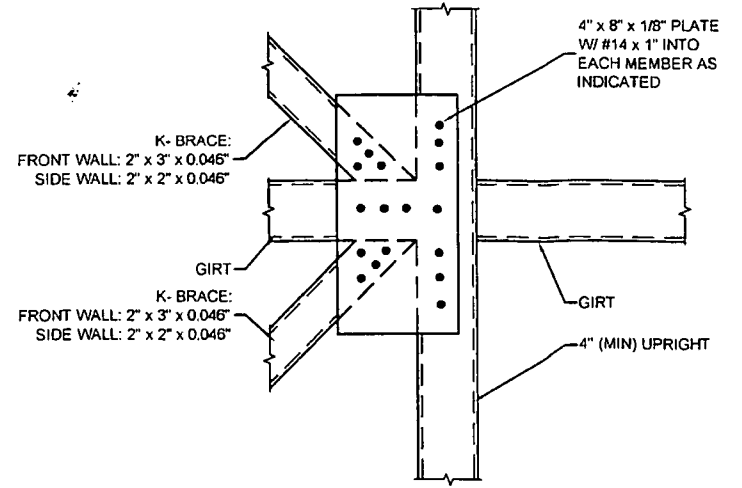
DETAIL #2



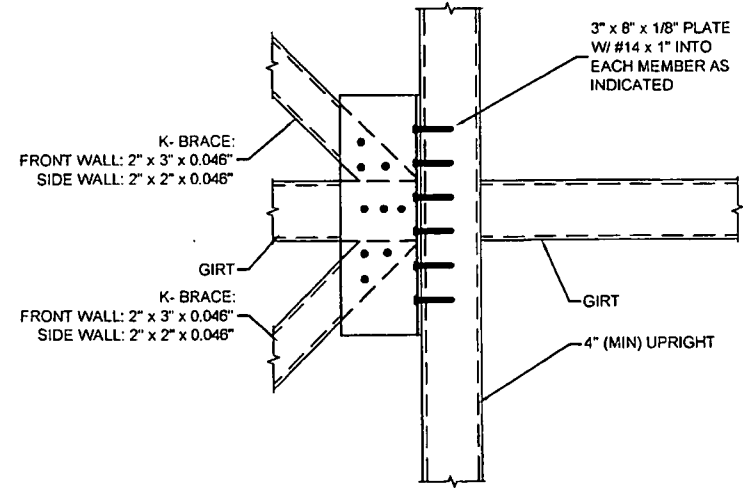
DETAIL #1

H-5
A-3 ROOF BRACING
 SCALE: NTS

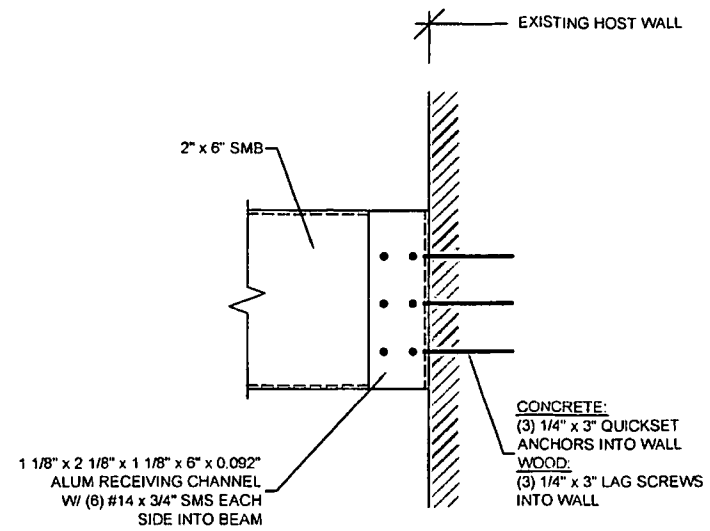
NOTE:
 SEE H4/A-3 FOR
 INTERIOR CORNER



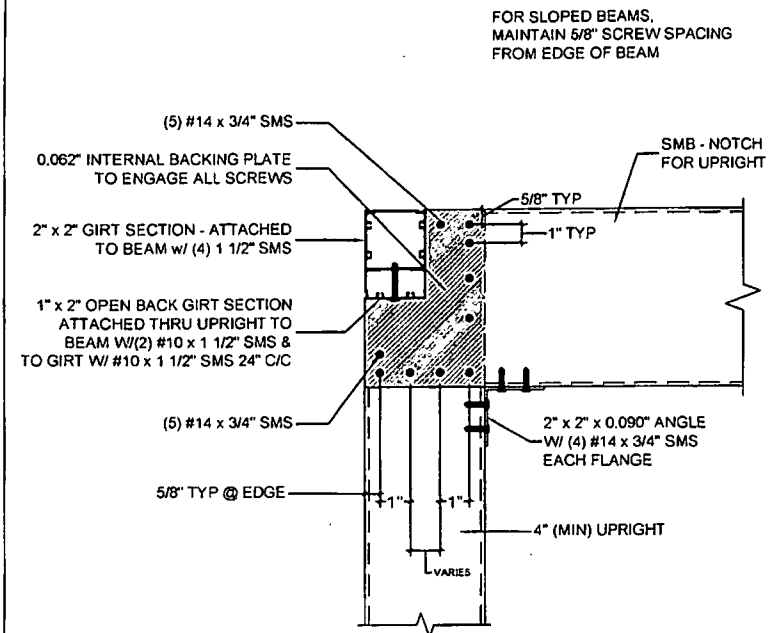
H-3
A-3 INTERMEDIATE K-BRACE DETAIL
 SCALE: NTS



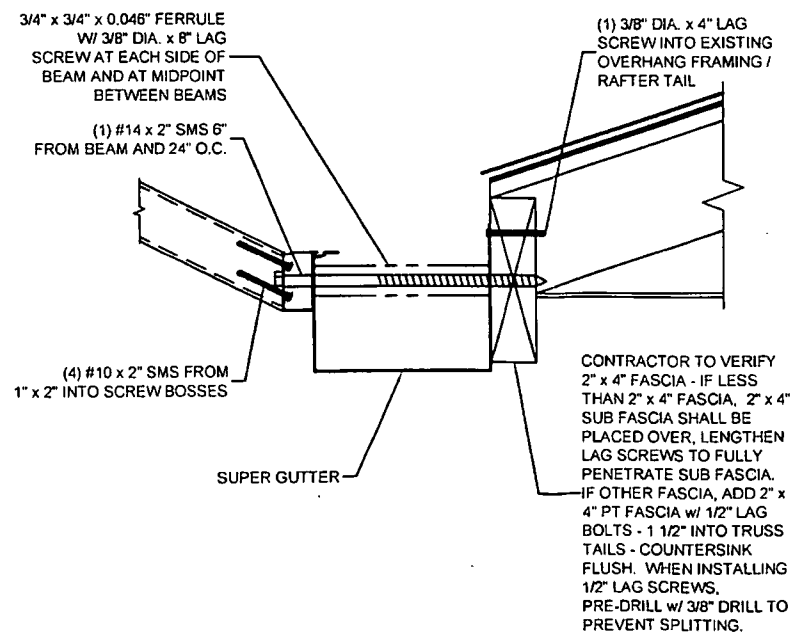
H-4
A-3 INTERMEDIATE K-BRACE INSIDE DETAIL
 SCALE: NTS



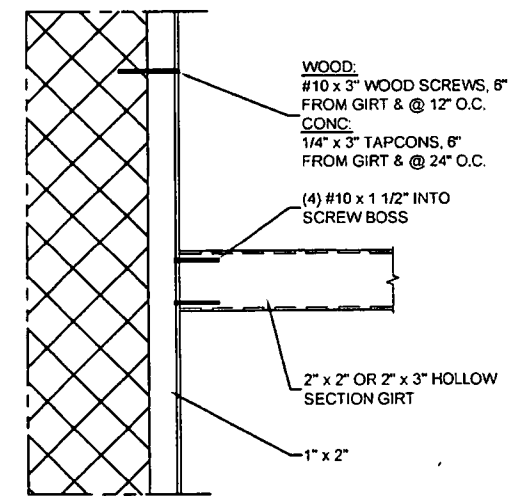
S
A-4 BEAM TO HOST STRUCTURE ATTACHMENT DETAIL
SCALE: NTS



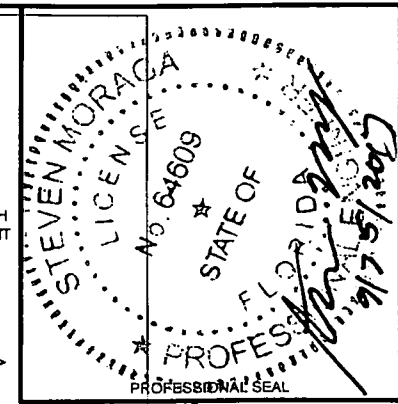
D-1
A-4 UPRIGHT TO BEAM CONNECTION
SCALE: NTS



G-1
A-4 GUTTER BRACE & PURLIN ATTACHMENT DETAIL
SCALE: NTS



C-1
A-4 1X2 TO HOST STRUCTURE DETAIL
SCALE: NTS



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SEWALL'S POINT, FL 34996

DRAWN BY
EL

DATE DRAWN
06/24/13

REVISION
A 09/23/13
B 09/25/13

SHEET NO:

A-4

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**CONTRACTOR: Custom Cages of the Treasure Coast
DESIGN CRITERIA:**

Applicable Codes, Regulations, and Standards

1. The 2010 Florida Building Code specifically Chapter 16 Structural Design, Chapter 20 Aluminum, and Chapter 23 Wood.
2. AA ASM 35 and Specifications for Aluminum Structures, Part 1-A of the Aluminum Design Manual prepared by The Aluminum Association, Inc. Washington, D.C., 2005 Edition
3. ASCE 7-10.

Wind Loads

1. Building Occupancy Category, Paragraph 1604.5 and Table 1604.5: **Risk Category 1.**
2. Basic Wind Speed, Table 1609C State of Florida Debris Region & Basic Wind Speed, Paragraph 1609.3.1 and Table 1609.3.1
VULT = 160MPH, VASD = 124MPH
3. Exposure Category, Paragraph 1609.4.3: **C**
4. Screen roof enclosure, Table 2002.4.

Foundation Design

Existing concrete. No additional concrete footing or slab is required to resist the loads imposed by the proposed construction if the existing slab is a minimum 4" thick with an 8" x 8" thickened slab edge and in sound condition, free from structural cracking, spalling, or other deterioration.

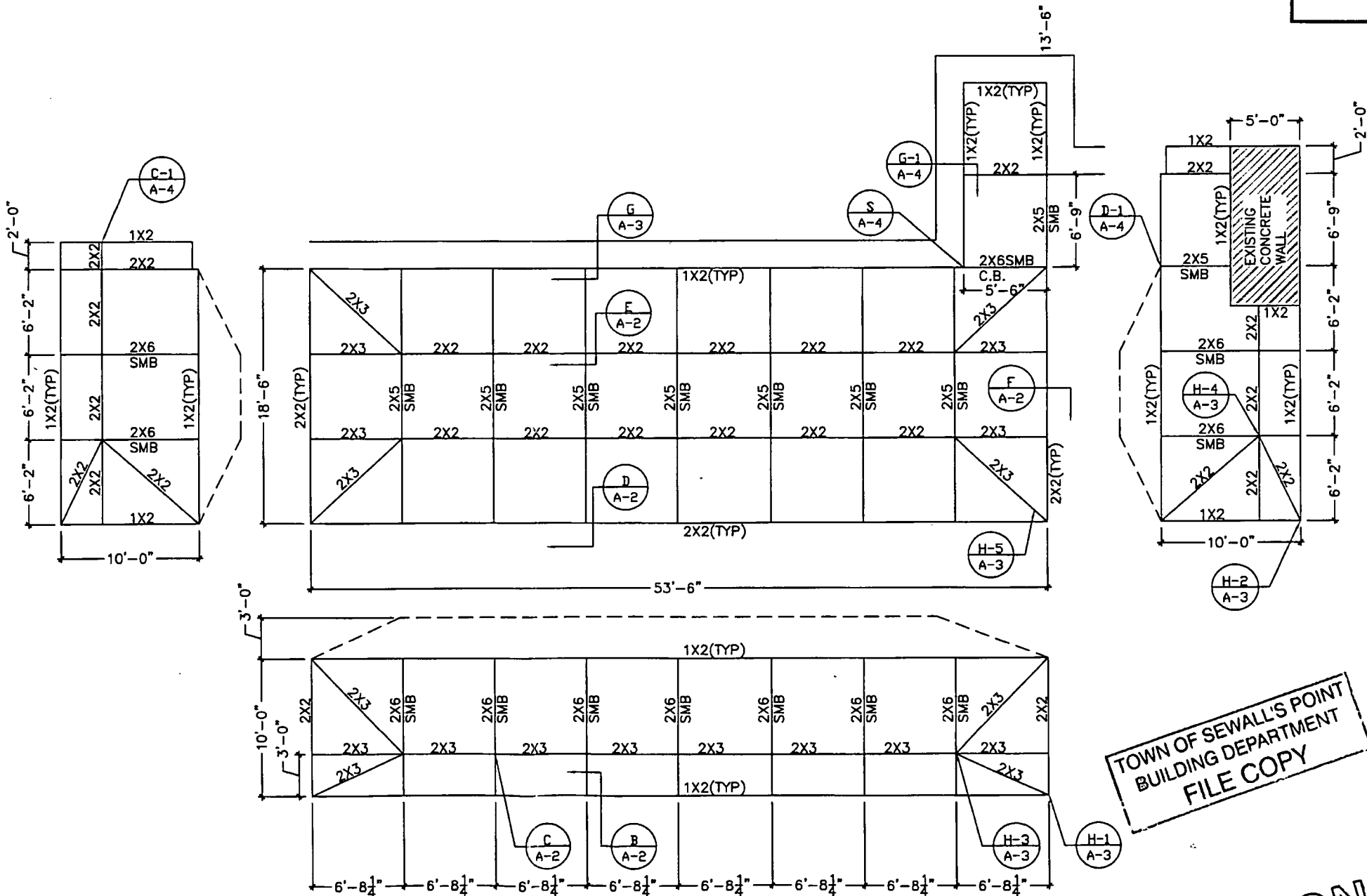
Specifications

The following specifications are applicable to this project:

1. Where concrete specifications are required, whether in the screen enclosure scope or not, by one or more regulatory agency, the following specifications are applicable:
 - a. Concrete shall conform to ASTM C94 for the following components:
 - i. Portland Cement Type 1, - ASTM C 150
 - ii. Aggregates - Large Aggregate 3/4" max - ASTM C 33
 - iii. Air entraining +/- 1% - ASTM C 260
 - iv. Water reducing agent - ASTM C 494
 - v. Clean Potable water
 - vi. Other admixtures not permitted
 - b. Metal accessories shall conform to:
 - i. Reinforcing Bars - ASTM A615, grade 60
 - ii. Welded wire fabric - ASTM A185
 - c. Concrete slump at discharge chute not less than 3" or more than 5". Water added after batching is not permitted.
 - d. Prepare and place concrete per American Concrete Institute Manual of Standard Practice, Parts 1, 2, and 3 including hot weather recommendations.
 - e. Moist cure or polyethylene curing permitted.
 - f. Prior to placing concrete, treat the entire subsurface area for termites in compliance with the FBC.
 - g. Concrete shall be placed over a polyethylene vapor barrier
 - h. All aluminum components embedded within concrete shall be coated with a bituminous paint or epoxy.
2. Aluminum extrusions shall be 6005 T5 Alloy
3. Fasteners are required to be SAE Grade 2 or better zinc plated.
4. All Self Mating Beam Sections are to be stitched with either #14 screws 6" from ends and 24" center to center or #12 screws 6" from ends and 12" center to center.
5. The minimum nominal thickness of protector panels (kickplates) shall be an industry standard of 0.024 inches.
6. Screened enclosures containing swimming pools shall comply with the applicable requirements of FBC R4101.17 Residential Swimming Barrier requirements.
7. Screen material shall be 18/14 screen unless approved by Suncoast Architecture & Engineering, LLC.
8. Door location shall be determined by contractor in the field.
9. When installing pavers over concrete slab or footing which are supporting aluminum members, such as continuous screen tracks or upright, the pavers must be bonded to the concrete with an epoxy, thinset, or 3,000 PSI grout to ensure full positive contact with concrete.
10. Design shall be based upon "pinned" upright analysis unless approved by Suncoast Architecture & Engineering.

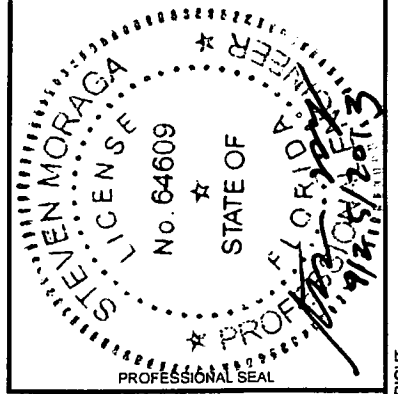
Roof Type
Roof Type MANSARD

WIND SPEED AND EXPOSURE HAVE BEEN DETERMINED USING THE ADVANCED TECHNOLOGY COUNCIL'S WEBSITE AND GOOGLE EARTH.



TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

REVISION
DATE 9-26-13 B.O. [Signature]



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EL
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06/24/13
REVISION
▲ 09/23/13
▲ 09/25/13

SHEET NO:
A-1

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ALUMINUM MEMBERS DIMENSIONS

HOLLOW SECTIONS

- 2 x 2: 2" x 2" x 0.046"
- 2 x 3: 2" x 3" x 0.050"
- 2 x 4: 2" x 4" x 0.050"
- 2 x 5: 2" x 5" x 0.050"

OPEN BACK SECTIONS

- 1 x 2: 1" x 2" x 0.040"
- 1 x 3: 1" x 3" x 0.045"

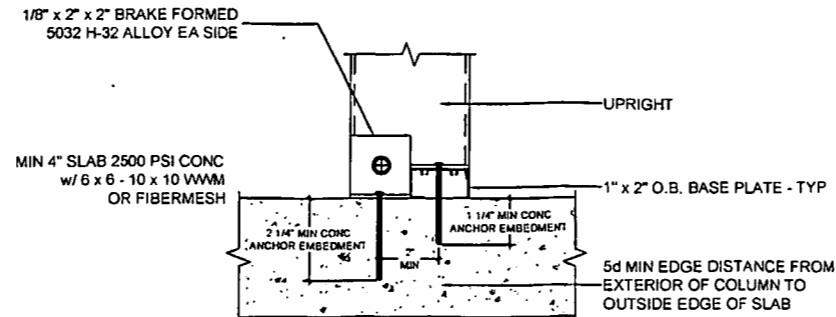
SNAP SECTIONS

- 2 x 2 Snap: 2" x 2" x 0.045"
- 2 x 3 Snap: 2" x 3" x 0.050"
- 2 x 4 Snap: 2" x 4" x 0.045"

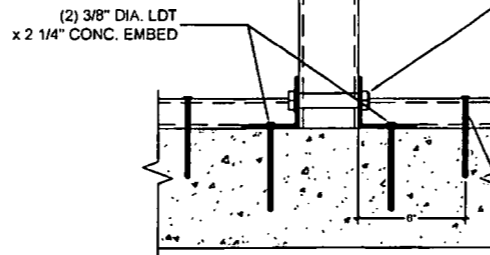
SELF MATING (SMB)

- 2 x 4 SMB: 2" x 4" x 0.044" x 0.100"
- 2 x 5 SMB: 2" x 5" x 0.050" x 0.100"
- 2 x 6 SMB: 2" x 6" x 0.050" x 0.120"
- 2 x 7 SMB: 2" x 7" x 0.057" x 0.120"
- 2 x 8 SMB: 2" x 8" x 0.072" x 0.124"
- 2 x 9 SMB: 2" x 9" x 0.072" x 0.124"
- 2 x 10 SMB: 2" x 10" x 0.092" x 0.398"

MINIMUM FASTENER EDGE DISTANCE: 1/2"
MINIMUM FASTENER SPACING: 3/4"

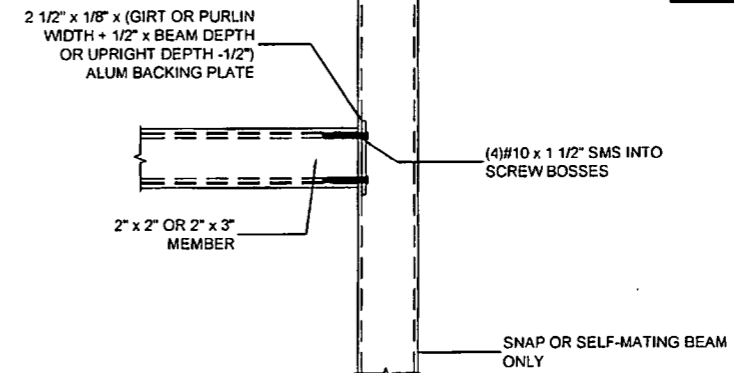


SIDE VIEW

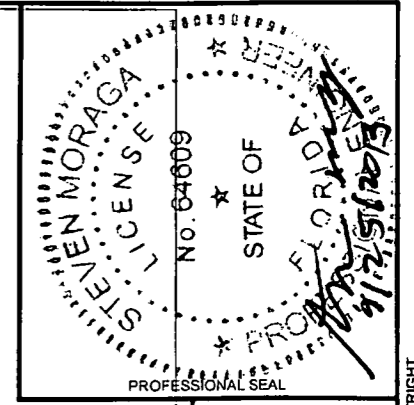


FRONT VIEW

B
A-2 2" x 4" OR LARGER UPRIGHT TO DECK DETAILS
SCALE: NTS



C
A-2 PURLIN OR GIRT TO BEAM OR POST DETAIL
SCALE: NTS



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PROJECT ADDRESS:
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SEWALL'S POINT, FL 34996

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EL

DATE DRAWN
08/24/13

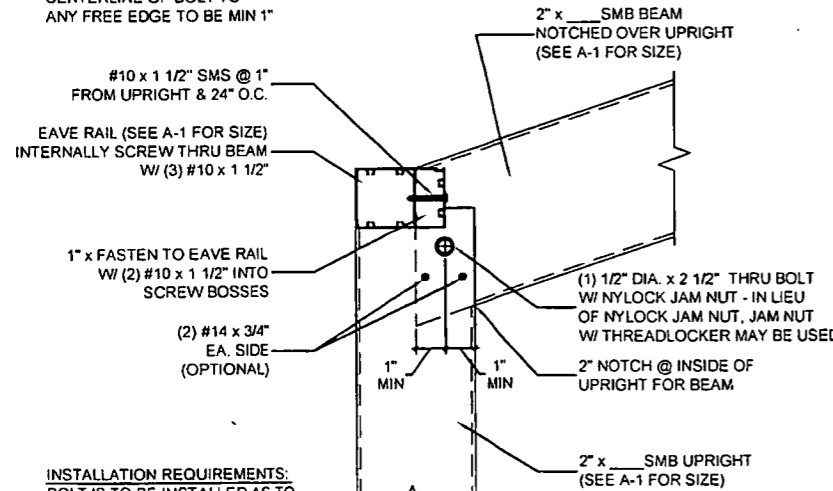
REVISION

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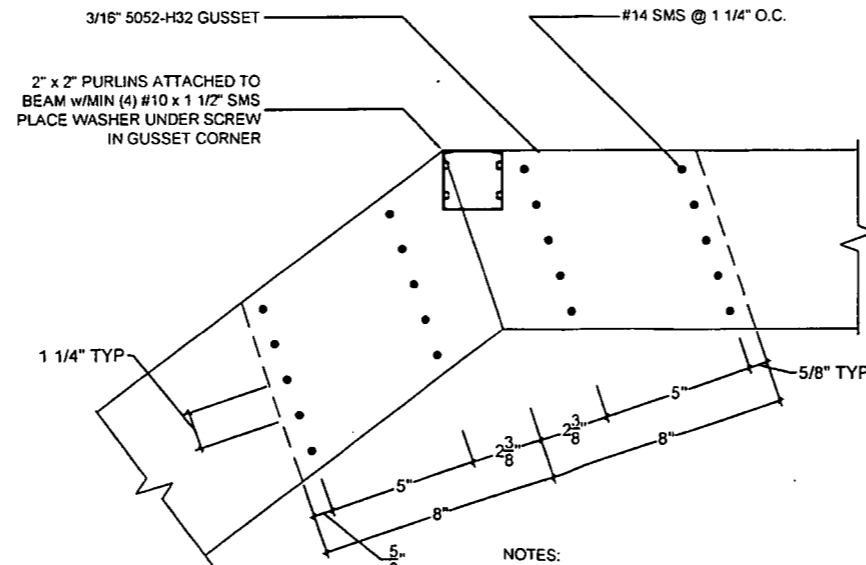
SHEET NO:

A-2

NOTE:
CENTERLINE OF BOLT TO
ANY FREE EDGE TO BE MIN 1"

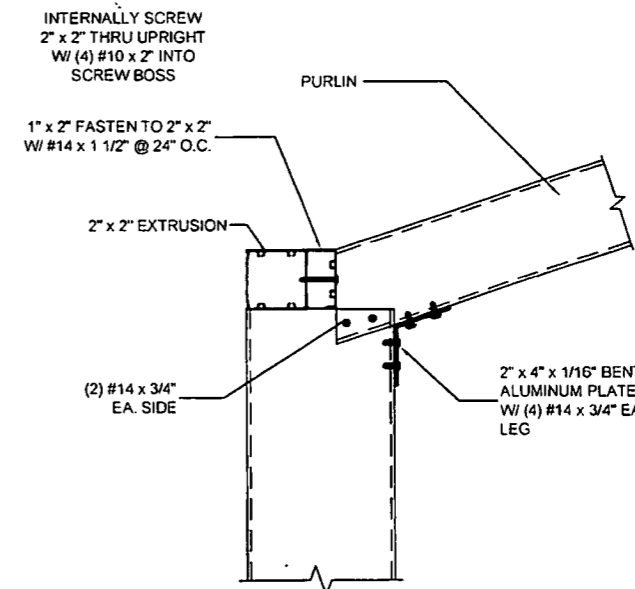


D
A-2 UPRIGHT TO BEAM CONNECTION
SCALE: NTS



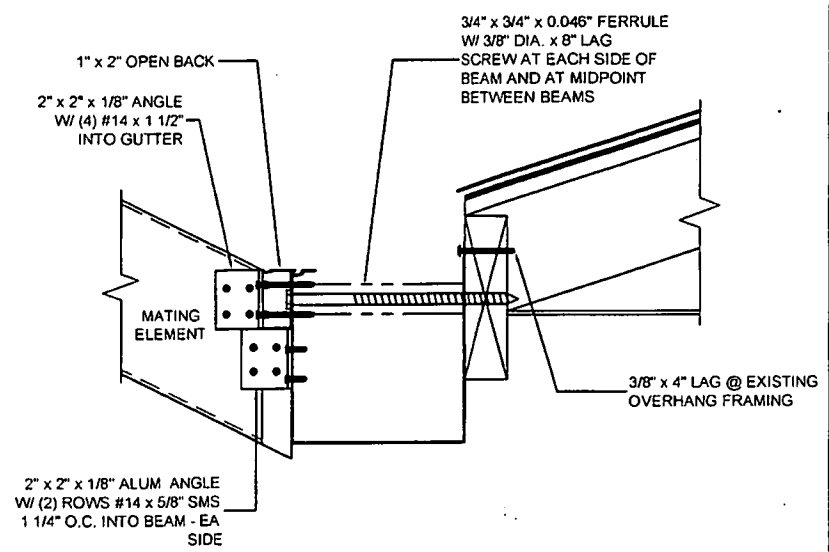
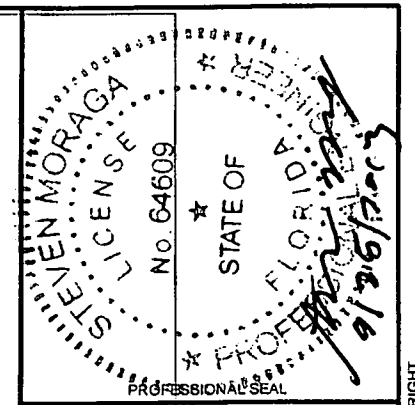
E
A-2 TYPICAL INTERNAL OR EXTERNAL GUSSET DETAIL - RIGID MEDIUM
SCALE: NTS

- NOTES:
- GUSSET DIMENSIONS ARE MINIMUM (2) REQ'D - (1) EA SIDE OF BEAM - MAY BE INTERNAL OR EXTERNAL.
 - AS BEAM SIZE CHANGES, ADD OR SUBTRACT SCREWS TO MAINTAIN 1 1/4" C/C SPACING.
 - GUSSET LENGTHS REMAIN CONSTANT, WIDTHS CHANGE TO MATCH BEAM SIZE.



F
A-2 SLOPED PURLIN TO UPRIGHT CONNECTION DETAIL
SCALE: NTS

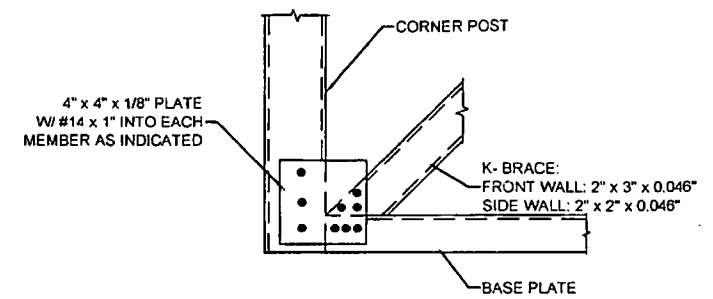
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G
A-3 GUTTER BRACE & MATING ELEMENT ATTACHMENT DETAIL
SCALE: NTS

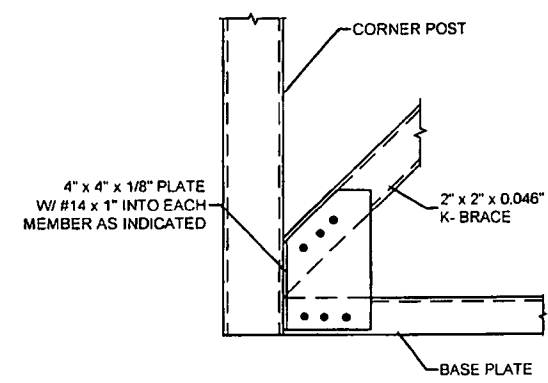
NOTES:
CONNECTION DETAIL
AT EAVE RAIL SIMILAR

SEE H2 / A-3 FOR
INTERIOR CORNER

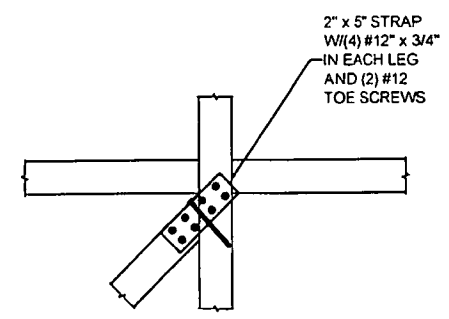


H-1
A-3 CORNER K-BRACE DETAIL
SCALE: NTS

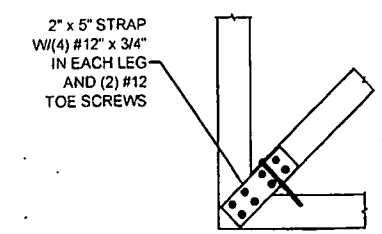
NOTES:
CONNECTION DETAIL
AT EAVE RAIL SIMILAR



H-2
A-3 CORNER K-BRACE INSIDE DETAIL
SCALE: NTS



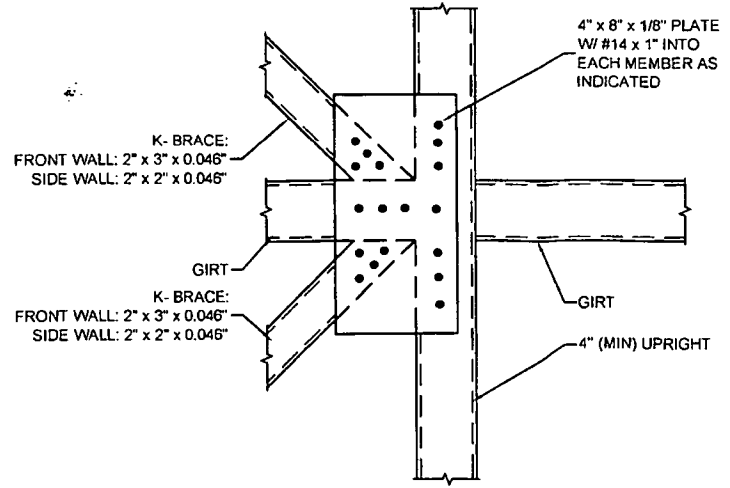
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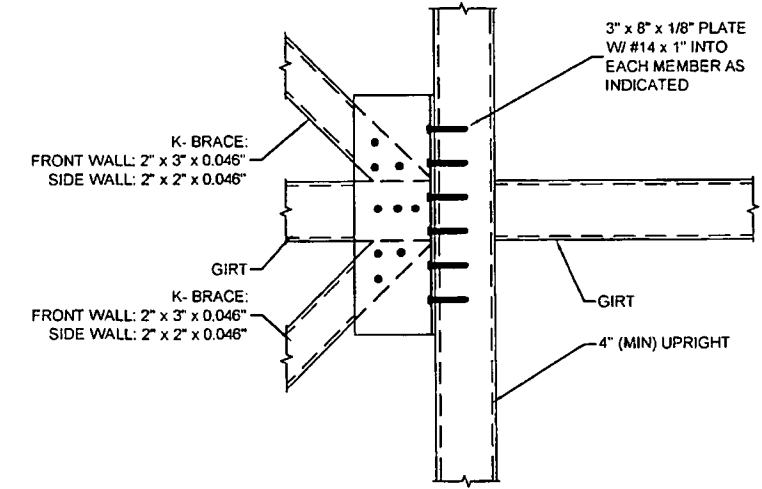
DETAIL #1

H-5
A-3 ROOF BRACING
SCALE: NTS

NOTE:
SEE H4/A-3 FOR
INTERIOR CORNER



H-3
A-3 INTERMEDIATE K-BRACE DETAIL
SCALE: NTS



H-4
A-3 INTERMEDIATE K-BRACE INSIDE DETAIL
SCALE: NTS

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DRAWN BY
EJ

DATE DRAWN
06/24/13

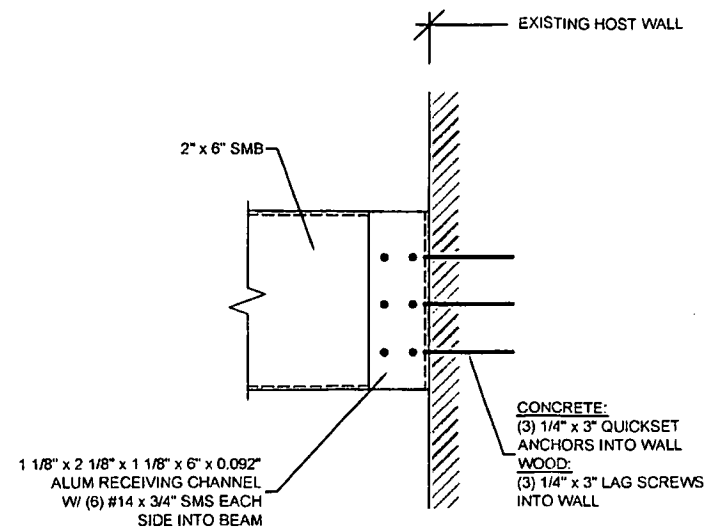
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REVISION

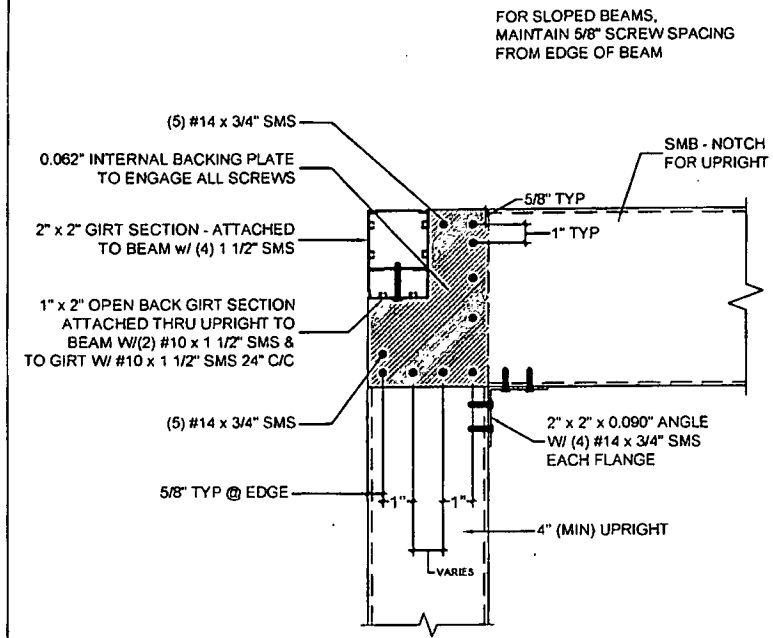
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A-3

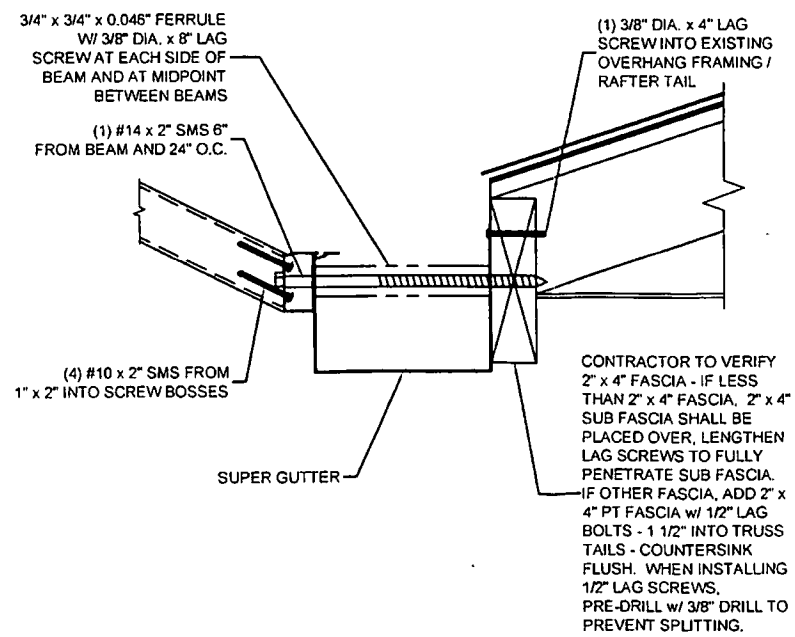
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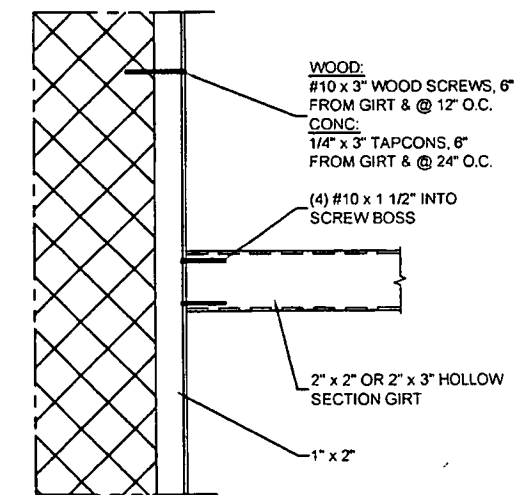
S
A-4 BEAM TO HOST STRUCTURE ATTACHMENT DETAIL
SCALE: NTS



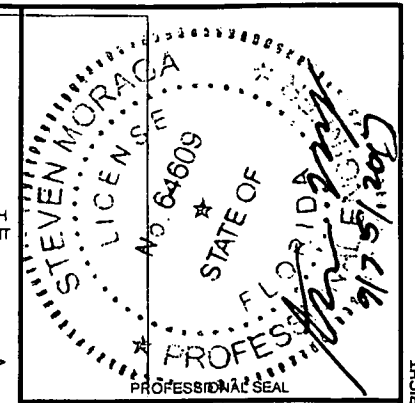
D-1
A-4 UPRIGHT TO BEAM CONNECTION
SCALE: NTS



G-1
A-4 GUTTER BRACE & PURLIN ATTACHMENT DETAIL
SCALE: NTS



C-1
A-4 1X2 TO HOST STRUCTURE DETAIL
SCALE: NTS



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STEVEN MORAGA, P.E.
FLORIDA LICENSE: 64609

SUNCOAST ARCHITECTURE
& ENGINEERING, LLC
13630 56TH STREET NORTH SUITE 101
CLEARWATER FL 33760
TEL: (727) 532-9000
FAX: (727) 532-9008

FLORIDA LICENSES: AA26001769 & CA #28841

PROJECT ADDRESS:
SMITH
11 PALMETTO DR.
SEWALL'S POINT, FL 34996

DRAWN BY
EF

DATE DRAWN
06/24/13

REVISION
A 09/23/13
B 09/25/13

SHEET NO:

A-4

NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF SUNCOAST ARCHITECTURE & ENGINEERING, LLC © COPYRIGHT

9:00 @ BERNIE LAWSON

CATTLE & SUNSHINE

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 10-16-13 Page 1 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10612	Rose	rough electric		
1st	4 Indialucie	" plumbing	Pass	
	Glenmark			INSPECTOR [Signature]
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10590	Robson	driveway		
	12 N Ridgerview	PRE pour	Pass	
	Country Const			INSPECTOR [Signature]
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10008	Price	Final		
	6 N Via Lucindia	windows & SGD	Pass	CLOSE
	OLB			INSPECTOR [Signature]
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10603	Price	Final		
	6 N Via Lucindia	mandoor in garage	Pass	CLOSE
	Creation Builders			INSPECTOR [Signature]
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10620	Price	Final		
	6 N Via Lucindia	Garage Door	Pass	CLOSE
	DAD Garage			INSPECTOR [Signature]
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10617	Lawson	Final		
	129 S Sewalls	Irrigation	Pass	CLOSE
	Controlled Irrigation			INSPECTOR [Signature]
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10519	Smuth	Final		
	A Palmatus	enclosure	Pass	CLOSE
	Custom Cages			INSPECTOR [Signature]

10552
POOL & DECK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10552	DATE ISSUED:	AUGUST 6, 2013
SCOPE OF WORK:	POOL & DECK		
CONTRACTOR:	ALEXANDER CUSTOM POOLS		
PARCEL CONTROL NUMBER:	013841010-000-000803	SUBDIVISION	PALMETTO PK-LOT 8
CONSTRUCTION ADDRESS:	11 PALMETTO DR		
OWNER NAME:	SMITH		
QUALIFIER:	MICHAEL ALEXANDER	CONTACT PHONE NUMBER:	475-9740

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: 10552

Date: _____

OWNER/LESSEE NAME: Anthony & Mary Smith Phone (Day) 285 4205 (Fax) _____

Job Site Address: 11 Palmetto Dr City: Sewalls Pt State: FL Zip: _____

Legal Description: Lot 8 Palmetto Park Parcel Control Number: 01384101000000803

Fee Simple Holder Name: N/A Address: _____

City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):** Pool & Deck

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO
Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 40,895.00
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Alexander Custom Pools Phone: 772 475 9740 Fax: 772 232 6008

Qualifiers name: Michael Alexander Street: 1290 NW Lakeside Tr City: Stuart State: FL Zip: 34994

State License Number: CPC 1457939 OR: Municipality: _____ License Number: CPC 1457939

LOCAL CONTACT: Mike Alexander Phone Number: 772 475 9740

DESIGN PROFESSIONAL: _____ License# _____
Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____
Carpport: _____ Total under Roof: _____ Elevated Deck: _____ Enclosed area below BFE*: _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE AND I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER / AGENT / LESSEE - NOTARIZED SIGNATURE:
Mary Smith
State of Florida, County of: MARTIN
On This the 5 day of June, 2013
by Kirk A. Hunter who is personally known to me or produced _____
As identification: _____
Notary Public
My Commission Expires: 9/20/2016

CONTRACTOR / LICENSEE NOTARIZED SIGNATURE:
Michael Alexander
State of Florida, County of: Martin
On This the 5 day of June, 2013
by Michael Alexander who is personally known to me or produced PDL#A425-513-80-1430
As identification: Valerie Camlet
Notary Public
My Commission Expires: _____

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**Martin County, Florida
Laurel Kelly, C.F.A**

generated on 6/7/2013 2:48:28 PM EDT

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
01-38-41-010-000-00080-3	17761	UNASSIGNED, SEWALL'S POINT	\$142,500	6/1/2013

Owner Information

Owner(Current)	SMITH ANTHONY D & MARY EDITH WHEATO SMITH MARY EDITH WHEATON & ANTHONY
Owner/Mail Address	2400 SE FEDERAL HWY 4TH FL STUART FL 34994
Sale Date	12/3/2012
Document Book/Page	2615 2244
Document No.	2364482
Sale Price	200000

Location/Description

Account #	17761	Map Page No.	SP-04
Tax District	2200	Legal Description	PALMETTO PARK LOT 8 OR 340/868
Parcel Address	UNASSIGNED, SEWALL'S POINT		
Acres	.4640		

Parcel Type

Use Code	0000 Vacant Residential
Neighborhood	120200 Heritage P, Palmtto Pk,Rdglnd,

Assessment Information

Market Land Value	\$142,500
Market Improvement Value	
Market Total Value	\$142,500

NOTICE OF COMMENCEMENT

To be completed when construction value exceeds \$2,500.00

PERMIT #: _____ TAX FOLIO # 0138 4101000000803

STATE OF FLORIDA COUNTY OF MARTIN

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS, IF AVAILABLE):
Lot 8 Palmetto Park

GENERAL DESCRIPTION OF IMPROVEMENT: New Swimming Pool/Spa/Deck/Screen enclosure

OWNER INFORMATION OR LESSEE INFORMATION, IF THE LESSEE CONTRACTED FOR THE IMPROVEMENT:
Name: Anthony and May Edith Smith
Address: PO Box 1565 Jensen Beach, FL 34958
Interest in property: 77 285 7330 owner
Name and address of fee simple title holder (if different from Owner listed above): _____

CONTRACTOR'S NAME: Alexander Parks Phone No.: 772 475 9740
Address: 1290 NW Lakeside Tr Street, FL 34994

SURETY COMPANY (if applicable, a copy of the payment bond is attached):
Name and address: N/A
Phone No.: _____ Bond amount: _____

LENDER'S NAME: N/A Phone No.: _____
Address: _____

Persons within the State of Florida designated by owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7, Florida Statutes:

Name: Mike Alexander Phone No.: 772 475 9740
Address: 1290 NW Lakeside Tr

In addition to himself or herself, owner designates Mike Alexander of Alexander Custom Parks to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.
Phone number of person or entity designated by Owner: _____

Expiration date of Notice of Commencement:
(the expiration date may not be before the completion of construction and final payment to the contractor, but will be 1 year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Under penalty of perjury, I declare that I have read the foregoing and that the facts in it are true to the best of my knowledge and belief.

X Anthony D. Smith
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager/Attorney-in-fact

X Owner
Signatory's Title/Office

The foregoing instrument was acknowledged before me this 3rd day of MAY, 2013

By: Anthony D. Smith as _____ for _____
Name of person: Type of authority (e.g. officer, trustee) Party on behalf of whom instrument was executed

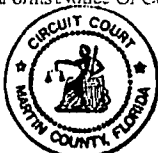
[Signature]
Notary's Signature

Personally known or produced identification
Type of identification produced _____

(Print, Type, or Stamp Commissioned Name of Notary)

STATE OF FLORIDA Forms New Applications Forms Notice Of Commencement Docx
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGE(S) IS A TRUE AND CORRECT COPY OF THE ORIGINAL DOCUMENT AS FILED IN THIS OFFICE.



Rev. 9/15/11

CAROLYN TIMMANN, CLERK
BY: [Signature] D.C.
DATE: 7/10/13

02:58:51 PM
07/10/2013
396 RECD
2404767 OR BK 2663 PG
INST # 2404767 OR BK 2663 PG 396 RECD 07/10/2013 02:58:51 PM
CAROLYN TIMMANN MARTIN COUNTY CLERK
DEED DOC \$0.00, MTG DOC \$0.00, INTANGIBLE \$0.00



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

**SWIMMING POOL, DECK, AND SPA CHECKLIST
2010 FLORIDA BUILDING CODE**

_____ 1 Copy completed permit application.

_____ 2 Copies complete sets of plans signed and sealed by an architect or engineer.
Maximum size plans are 24" x 36".

_____ 2 Copies survey showing the following:

- ALL EXISTING STRUCTURES ON PROPERTY
- LOCATION OF PROPOSED POOL AND POOL DECK
- SETBACKS FROM POOL AND DECK TO PROPERTY LINES
- LOCATION AND TYPE OF ANY EXISTING FENCING
- LOCATION OF ALL EASEMENTS
- LOCATION OF FLOOD ZONE LINES
- STREET & HOUSE NUMBER ON SITE PLANS
- LOCATION OF ANY OVERHEAD ELECTRICAL LINES
- ALL FOUR BUILDING SETBACKS LINES.
- INDICATE THE SIZE, SPECIES AND LOCATION OF ANY TREES TO BE REMOVED, RELOCATED OR PLANTED
- STORMWATER POLLUTION/EROSION PREVENTION PLAN

DO NOT SUBMIT PREVIOUSLY STAMPED SITE PLANS.

_____ 2 Copies Residential Swimming Pools, Spa & Hot Tub Safety Act
Certification Forms.

N/A 1 Copy Signed and Sealed V-ZONE Certification for Pools located in the VE-10 Flood Zone

_____ 1 Copy Pool subcontractors list with Municipal or State Certification
numbers. Must be signed and notarized by license holder.

_____ 1 Copy Compaction report and form board tie-in survey (for pool shell) prior to deck inspection
Pool and deck elevation must be indicated on all river front lots.

Pool only permits require a deck permit submittal or affidavit prior to issuance. Separate pool deck permits need to have a pool permit number before issuance. Failure to comply with the above and any other requirements will result in a delay of the issuance of the permit.

**POOLS THAT ARE DESIGNED TO BE 4' 11" DEEP MUST INDEPENDENTLY VERIFIED FOR
MAXIMUM WATER DEPTH BY AN ARCHITECT, ENGINEER OR LAND SURVEYOR
REGISTERED IN THE STATE OF FLORIDA PRIOR, TO FINAL INSPECTION.**

**APPLICATIONS, PLANS AND DOCUMENTS FOR FENCE, BARRIER, AND/OR SCREEN
ENCLOSURE MUST BE SUBMITTED PRIOR TO ISSUANCE OF POOL PERMIT.**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

N/A

V-ZONE DESIGN CERTIFICATE FOR IN-GROUND POOLS

Name of Property Owner _____
 Building Address _____
 Legal Description _____
 City _____ State _____ Zip Code _____

FLOOD INSURANCE RATE MAP INFORMATION

Community # _____ Panel # _____ Suffix _____
 Date of FIRM _____ Zone _____ Base Flood Elevation _____

ELEVATION INFORMATION

Base Flood Elevation _____
 Elevation of Lowest Adjacent Grade _____ Highest Adjacent Grade _____
 Depth of Anticipated Scour used for foundation design _____
 Embedment Of Piles/Footings/Columns Below Lowest Adjacent Grade _____
 Elevation of top edge of pool _____ Elevation of deck around pool _____

V-ZONE CERTIFICATION STATEMENT

I certify that I have developed or reviewed the structural design, specifications and location for construction. The design and methods of construction to be used are in accordance with accepted standards of practice for meeting the following provisions: ...The foundation and structure attached thereto is anchored to resist flotation, collapse and lateral movement due to the combined effects of wind and water loads acting simultaneously on all structural components. Water loading values used are those associated with the 100 year storm event. Wind loading values are those associated with a 160 mph (3 second gust) wind potential. The potential for scour and erosion at the foundation has been anticipated for conditions associated with the base flood.

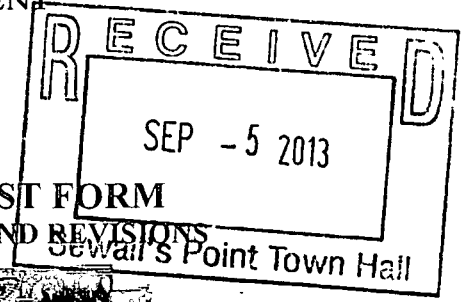
CERTIFIED BY

Certifiers Name _____ Title _____
 Company Name _____ License # _____
 Address _____ City _____
 State _____ Zip Code _____ Phone # _____

Signature _____ SEAL: _____
 Date: _____



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765



REVISIONS - CORRECTIONS REQUEST FORM
 MUST BE SUBMITTED FOR ALL CORRECTIONS AND REVISIONS

DATE: 9/5/13 PERMIT NUMBER: ~~10352~~
 JOB ADDRESS: 11 Palmetto Dr. Smith

PLEASE CHECK ONE OF THE FOLLOWING:

CONDITION OF INSPECTION APPROVAL (Needed for an inspection)

CONDITION OF PERMIT APPROVAL: (Corrections/Permit not issued, in review process)

REVISIONS (Changes to an issued permit)

****ALL PLAN REVISIONS MUST BE HIGHLIGHTED OR CLOUDED ON DRAWING****

ALL REVISED PAGES ARE REQUIRED TO BE INSERTED IN FIELD PERMIT SET

DESCRIPTION OF REVISION(S): [Redacted]

DOES REVISION(S) CHANGE THE VALUE OF CONSTRUCTION? YES NO VALUE \$ 500.00
 INCREASED CONSTRUCTION VALUE WILL INCREASE PERMIT FEES AND MUST BE PAID AT TIME OF APPROVAL

CONTACT NAME: Mike Alexander SIGNATURE: [Signature]
 PHONE NUMBER: (772) 475-9740 FAX NUMBER: (772) 232 6068

FOR OFFICE USE ONLY:

Reviewed by: [Signature] Date: 9-9-13 Approve Deny

Additional conditioned space _____ sq. ft. @ \$104.65 per sq. ft. _____ x 2% = _____

Additional non-conditioned space _____ sq. ft. @ \$ 48.90 per sq. ft. _____ x 2% = _____

Other declared value increase (must be based on value not cost) _____ x 2% = _____

Other additional fees: _____ Revision review fee: _____ Pages @ \$25.00/Page _____

Radon Fee _____ Professional Regulation Fee _____ Road impact assessment _____

TOTAL ADDITIONAL BUILDING PERMIT FEE \$ N/C

Applicant notified by: Valerie 9-10-13 Date: _____



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

THIS FORM MUST BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION

SWIMMING POOL AND SPA SUBCONTRACTORS LIST

Applicant's Name Michael Alexander Alexander Custom Pools Permit # _____

Mailing Address 1290 NW Lakeside Tr City Stuart State FL Zip 34994

Please provide a subcontractors list for verification. Any changes to this list must be provided prior to final inspection. Using unlicensed contractors or subcontractors may prevent you from being eligible for inspections. For further information, please contact the Town of Sewall's Point Building Department at 772-287-2455.

Please include all Competency Card or State Certification numbers. Do not use occupational license numbers.

<u>CONTRACTOR/TRADE</u>	<u>COMPANY NAME</u>	<u>LICENSE #</u>
<u>CONCRETE POOL DECK</u>	<u>Alexander Pools</u>	<u>CPC1457939</u>
<u>DECK FINISH</u>	<u>Alexander Pools</u>	<u>CPL 145 7939</u>
<u>MASTER ELECTRICIAN</u>	<u>Bob Payne</u>	<u>EC 13001275</u> <u>ME 00454</u>
<u>POOL GUNITE</u>	<u>Southern Gunite</u>	<u>CPC 056953</u>
<u>INTERIOR POOL FINISH</u>	<u>Alexander Pools</u>	<u>CPC 1457939</u>
<u>POOL STEEL</u>	<u>Alexander Pools</u>	<u>CPC 1457939</u>
<u>BARRIER/ALARM</u>	<u>Alexander Pools</u>	<u>CPC 1457939</u>

I certify that the above information is accurate and that all work will be performed by eligible competency card holders or State Certified contractors.

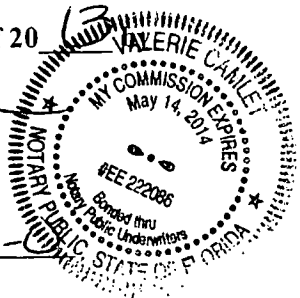
I understand that a complete notarized subcontractors list is required prior to final inspection.

[Signature]
 Signature of applicant MICHAEL C ALEXANDER

Sworn to and subscribed before me this 5 day of June 2013

[Signature]
 Notary Public, State of Florida, County of Martin
 Personally Known Produced Identification

Type of ID Produced: FLDL# A425-543-80-43-





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: _____

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Smith Res

CONSTRUCTION ADDRESS: 11 Palmetto Rd

PERMIT TYPE: _____ RESIDENTIAL _____ COMMERCIAL

- ELECTRIC
- _____ PLUMBING
- _____ HVAC
- _____ IRRIGATION
- _____ FUEL GAS
- _____ ROOFING

TYPE OF SERVICE: NEW SERVICE _____ EXISTING SERVICE _____ OTHER

SCOPE OF WORK: Wiring For Swimming Pool

VALUE OF CONSTRUCTION \$ 900.00

_____ LOW VOLTAGE
TYPE OF EQUIPMENT: _____ SECURITY _____ VACUUM _____ SOUND SYSTEM _____ LANDSCAPE _____ OTHER
SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

SIGNATURE OF LICENSED CONTRACTOR: [Signature] ADDRESS OF CONTRACTOR: 2501 Calusa ave Ft St Lucie

COMPANY OR QUALIFIER'S NAME: PAYUK ELECTRIC

TELEPHONE NO: 772-337-4197 FAX NO: 772-335-1639

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: EC13001275

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER Mary Edith &

OWNER'S FULL NAME AS STATED ON DEED: Anthony Smith

PARCEL CONTROL #: 6138410100000803

SUBDIVISION: Palmetto Park LOT: 8 BLK: _____ PHASE: _____

SITE ADDRESS: 11 Palmetto Dr

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

PERMIT # _____

**RESIDENTIAL SWIMMING POOLS, SPA AND HOT TUB SAFETY ACT
 AFFIDAVIT OF REQUIREMENT COMPLIANCE**

I (We) acknowledge that a new swimming pool, spa or hot tub has been constructed or installed at (**Print street address**) 11 Palmetto Dr, and hereby affirm that one of the following methods has been used to meet the requirements of Chapter 515, Florida Statutes and 2010 Florida Building Code. Please check your choice of compliance.

Residential swimming pool safety feature options:

In order to pass final inspection and receive a certificate of completion, a residential swimming pool must meet the following requirements relating to pool safety features:

PLEASE NOTE THAT IF THE ALARM OPTION IS SELECTED, THIS AFFIDAVIT MUST BE ACCOMPANIED BY A LETTER OF CERTIFICATION FROM A FLORIDA LICENSED ALARM CONTRACTOR, ARCHITECT, OR ENGINEER STATING FULL COMPLIANCE WITH 2010 FBC R4101.17.1.9. PLEASE INDICATE BY INITIALING THE FOLLOWING:

- (a) The pool/spa must be equipped with an approved safety pool cover (4101.17 exceptions, no other barrier feature required).
- (b) The pool/spa must be isolated from access by an enclosure that meets the pool barrier requirements of section (R4101.17.1 thru R4101.17.3;)
- (c) Where a wall of a dwelling serves as part of the barrier one (1) of the following shall apply: (R4101.17.1.9)
 - 1. All doors and windows providing direct access from the home to the pool shall be equipped with an exit alarm which produces an audible continuous warning when the door and its screen are opened. The alarm shall sound immediately after the door is opened and be capable of being heard **throughout the house during normal household activities**. The alarm shall be equipped with a manual means to temporarily deactivate the alarm for a single opening. Such deactivation shall last no more than 15seconds. The deactivation switch shall be located _____ inches above the threshold of the door.

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

Exceptions:

- a. Screened or protected windows having a bottom sill height of 48 inches or more measured from the interior finished floor at the pool access level.
- b. Windows facing the pool on floor above the first story.
- c. Screened or protected pass-through kitchen windows 42 inches or higher with a counter beneath. (R4101.17.1.9 (1))

- 2. All doors providing direct access from the home to the pool must be equipped with a self-closing, self-latching device with positive mechanical latching/locking installed a minimum of 54 inches above the threshold, which is approved by the authority having jurisdiction. (R4101.17.1.9 (2))



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

AFFIDAVIT OF REQUIREMENT COMPLIANCE

I understand that not having one of the above installed at the time of final inspection, or when the pool is completed for contract purposes, will constitute a violation of Chapter 515, F.S. and will be considered as committing a misdemeanor of the second degree, punishable as established in the Florida Statute.

[Handwritten Signature]
 CONTRACTOR'S SIGNATURE & DATE

[Handwritten Signature]
 OWNER'S SIGNATURE & DATE

NOTARY AS TO CONTRACTOR:

NOTARY AS TO OWNER:

STATE OF Florida

STATE OF FLORIDA

COUNTY OF Martin

COUNTY OF MARTIN

ON THIS 5 DAY OF June 2013

ON THIS 28th DAY OF MAY

BEFORE ME PERSONALLY APPEARED:

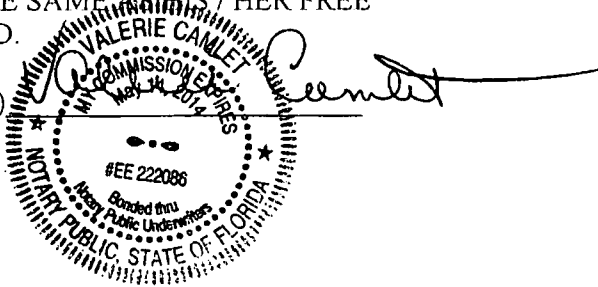
BEFORE ME PERSONALLY APPEARED:

[Handwritten Signature]

TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FORGOING INSTRUMENT AND ACKNOWLEDGED THAT HE / SHE EXECUTED THE SAME AS HIS / HER FREE ACT AND DEED.

TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FORGOING INSTRUMENT AND ACKNOWLEDGED THAT HE / SHE EXECUTED THE SAME AS HIS / HER FREE ACT AND DEED.

SEAL (SIGNED)



SEAL (SIGNED)

[Handwritten Signature]



THIS FORM MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO SCHEDULING THE FINAL INSPECTION.

TDH Calculator



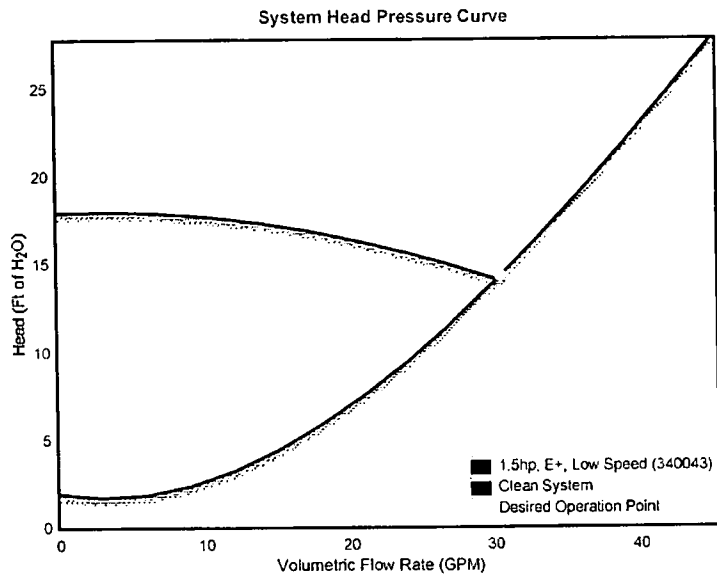
Pool Information

Pool Volume:	8228 Gal	Total Piping Lengths:	
Turn Over Time:	4.50 Hrs	Inlet Side:	42 Ft
Suction Lift:	2 Ft	Discharge Side:	70 Ft
Maximum Pipe Velocity Allowed: (consult your local code)		Piping Sizes:	
Branch Piping:	6 FVSec	Inlet Piping:	2.052 In
Inlet Piping:	8 FVSec	Discharge Piping:	2.052 In
Discharge Piping:	8 FVSec	Piping Head Loss at 30.47Gal/Min: (not including fittings or valves)	
		Inlet Piping:	0.67 Ft
		Discharge Piping:	1.12 Ft

For advanced pools that contain multiple suctions, this program may be inaccurate. Consult a hydraulics engineer. This program is for single pump systems with a single body of water.

Results: Your TDH Calculation

Flow Rate:	30.47 Gal/Min	Suggested Minimum Pipe Sizes:	
Your Head Loss:	14.34 Ft	Branch Piping:	1.5 In
Maximum Flow Rate at Maximum RPM:	30.20 Gal/Min	Inlet Piping:	1.5 In
Head Loss at Maximum Flow Rate:	14.12 Ft	Discharge Piping:	1.5 In



**TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY**

HARVEY E. KOEHNEN
Professional Engineer 32831
7205 Elyse Circle
Port St. Lucie, FL 34952-3212
(772) 489-3035 fax

Harvey Koehnen
5/13/13

Selected Components

Components

Name	Quantity	Head Loss at 30.47Gal/Min
IntelliChlor IC - 20	1	0.39
2" x 2.5" 3 way valve	2	0.10
Main Drain	1	0.32
Clean and Clear	1	0.51
UltraTemp	1	7.12
3/4 inch Return Skimmer 2"	3	0.88
	1	-0.43

Piping

Name	Inlet Quantity	Discharge Quantity	Head Loss at 30.47Gal/Min
90 degree elbow	5	12	1.56
Tee Through	0	2	0.13
Check Valve	0	0	0.00

Pumps

Name	Quantity
1.5hp, E+, Low Speed (340043)	1

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TDH Calculator



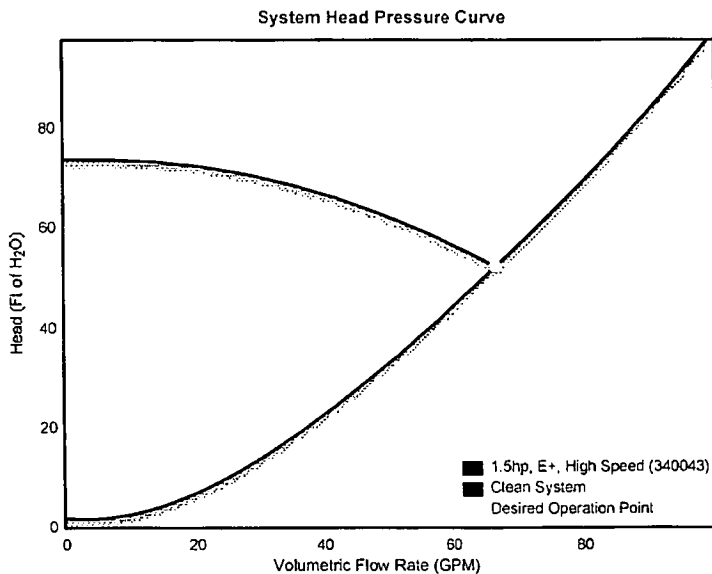
Pool Information

Flow Rate:	66.63 GPM	Total Piping Lengths:	
Suction Lift:	2 Ft	Inlet Side:	42 Ft
		Discharge Side:	70 Ft
Maximum Pipe Velocity Allowed: (consult your local code)		Piping Sizes:	
Branch Piping:	6 F/Sec	Inlet Piping:	2.052 In
Inlet Piping:	8 F/Sec	Discharge Piping:	2.052 In
Discharge Piping:	8 F/Sec	Piping Head Loss at 66.63Gal/Min: (not including fittings or valves)	
		Inlet Piping:	2.87 Ft
		Discharge Piping:	4.79 Ft

For advanced pools that contain multiple suctions, this program may be inaccurate. Consult a hydraulics engineer. This program is for single pump sytems with a single body of water.

Results: Your TDH Calculation

Flow Rate:	66.63 Gal/Min	Suggested Minimum Pipe Sizes:	
Your Head Loss:	52.37 Ft	Branch Piping:	2.5 In
Maximum Flow Rate at Maximum RPM:	66.63 Gal/Min	Inlet Piping:	2.0 In
Head Loss at Maximum Flow Rate:	52.37 Ft	Discharge Piping:	2.0 In



HARVEY E. KOEHNEN
 Professional Engineer 32831
 7205 Elyse Circle
 Port St. Lucie, FL 34952-3212
 (772) 489-3036 fax

Harvey Koehnen
5/13/13

Selected Components

Components

Name	Quantity	Head Loss at 66.63Gal/Min
IntelliChlor IC - 20	1	1.33
2" x 2.5" 3 way valve	2	1.41
Main Drain	1	0.93
Clean and Clear	1	2.81
UltraTemp	1	23.27
3/4 inch Return	3	4.07
Skimmer 2"	1	1.71

Piping

Name	Inlet Quantity	Discharge Quantity	Head Loss at 66.63Gal/Min
90 degree elbow	5	12	6.63
Tee Through	0	2	0.55
Check Valve	0	0	0.00

Pumps

Name	Quantity
1.5hp, E+, High Speed (340043)	1

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TDH Calculator



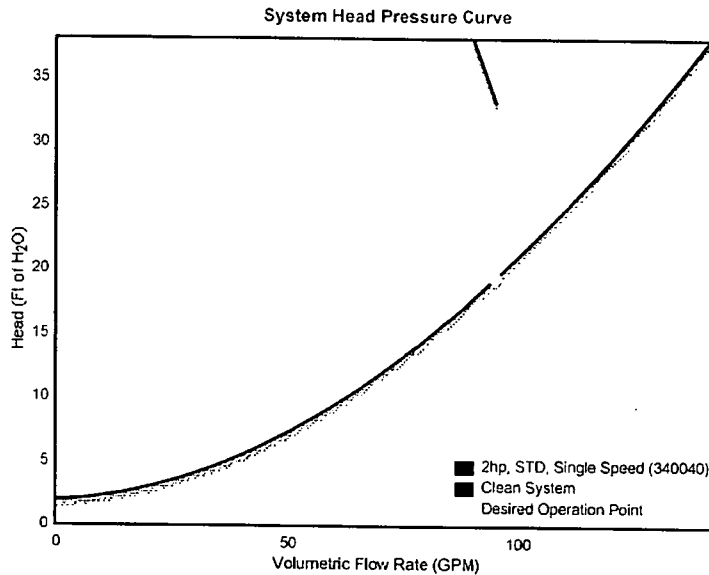
Pool Information

Flow Rate:	95 GPM	Total Piping Lengths:	
Suction Lift:	2 Ft	Inlet Side:	32 Ft
		Discharge Side:	40 Ft
Maximum Pipe Velocity Allowed: (consult your local code)		Piping Sizes:	
Branch Piping:	6 F/Sec	Inlet Piping:	2.445 In
Inlet Piping:	8 F/Sec	Discharge Piping:	2.445 In
Discharge Piping:	8 F/Sec	Piping Head Loss at 95.00Gal/Min: (not including fittings or valves)	
		Inlet Piping:	1.80 Ft
		Discharge Piping:	2.25 Ft

For advanced pools that contain multiple suctions, this program may be inaccurate. Consult a hydraulics engineer. This program is for single pump systems with a single body of water.

Results: Your TDH Calculation

Flow Rate:	95.00 Gal/Min	Suggested Minimum Pipe Sizes:	
Your Head Loss:	19.45 Ft	Branch Piping:	3.0 In
Maximum Flow Rate at Maximum RPM:	95.00 Gal/Min	Inlet Piping:	2.5 In
Head Loss at Maximum Flow Rate:	19.45 Ft	Discharge Piping:	2.5 In



HARVEY E. KOEHNEN
 Professional Engineer 32831
 7205 Elyse Circle
 Port St. Lucie, FL 34952-3212
 (772) 489-3035 fax

Harvey Koehnen
5/13/13

Selected Components

Components

Name	Quantity	Head Loss at 95.00Gal/Min
Main Drain	1	1.60
3/4 inch Return	6	2.08

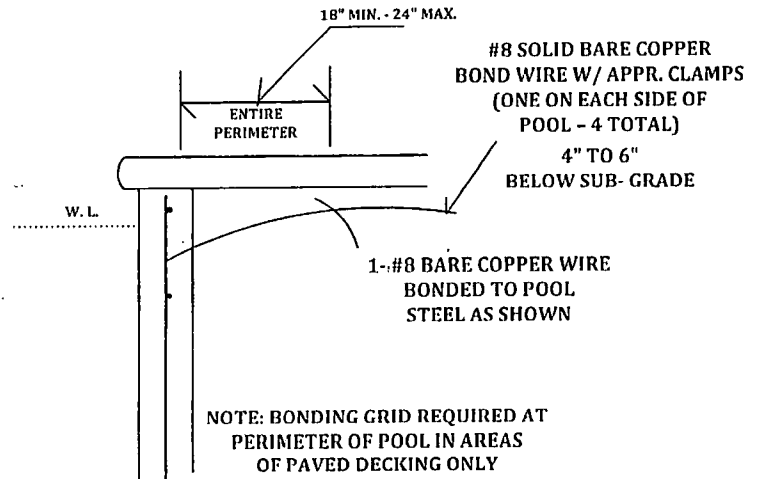
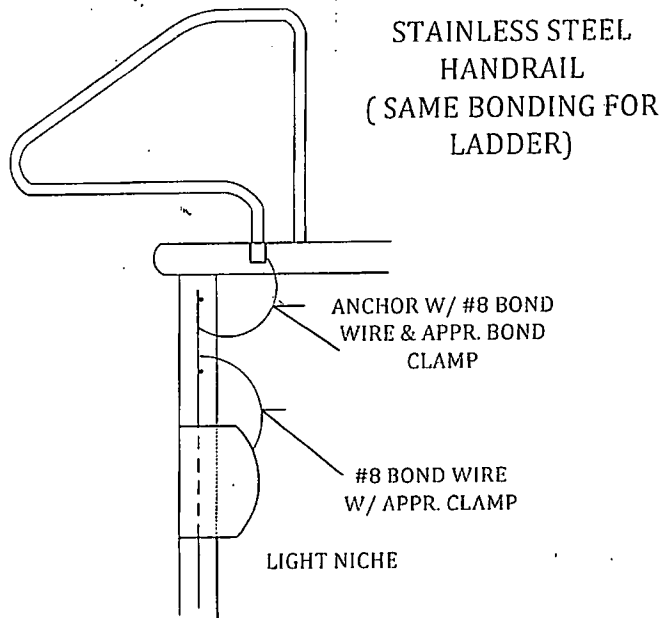
Piping

Name	Inlet Quantity	Discharge Quantity	Head Loss at 95.00Gal/Min
90 degree elbow	5	14	7.38
45 degree elbow	0	4	0.70
Tee Through	0	6	1.65
Check Valve	0	0	0.00

Pumps

Name	Quantity
2hp, STD, Single Speed (340040)	1

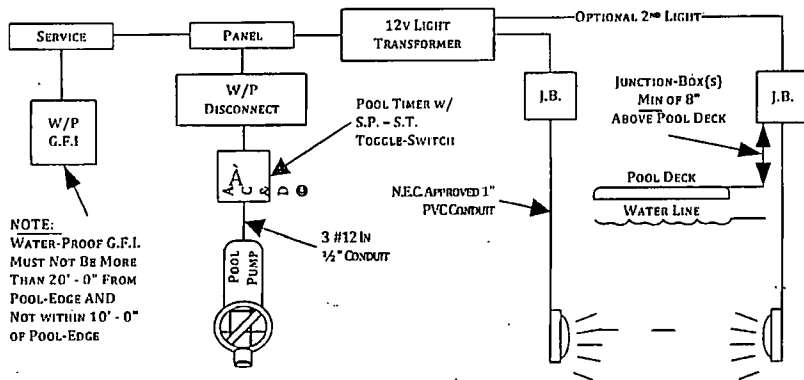
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EQUIPOTENTIAL BONDING DETAIL

PER FLORIDA BUILDING CODE ADAPTATION OF THE N.E.C. 2008 SEC.680.26

Electrical Equipment Wiring, Grounding and Installation must conform to the 2008 N.E.C. and applicable local codes



NOTE: WATER-PROOF G.F.I. MUST NOT BE MORE THAN 20' - 0" FROM POOL-EDGE AND NOT WITHIN 10' - 0" OF POOL-EDGE

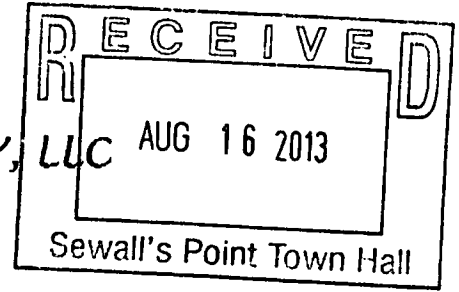
NOTE: ALL ELECTRICAL WORK SHALL CONFORM TO N.E.C. ARTICLE NO 680

ELECTRICAL DIAGRAM

Equipotential Bonding
Loop #8 copper around Pool
Bonded to pool steel in 4 Places N.E.C. 2008 sec. 680.26(C)



COASTAL TESTING LABORATORY, LLC
 Post Office Box 2023
 Palm City, FL 34991-2023
 772.220.6688



*OK A
FWP*

COMPACTION TEST REPORT

ASTM D 6938-10

DATE: August 16, 2013
 JOB NUMBER: 13-0821
 PERMIT NUMBER: **10552**
 CLIENT: Alexander Pools
 CONTRACTOR: Alexander Pools
 JOB LEGAL: N/A
 JOB ADDRESS: **11 Palmetto Drive**
 Sewalls Point, FL

SOIL CLASSIFICATION & REMARKS: A3 Fine brown sandy soil

TEST SAMPLE LOCATION: 10' IS LR Corner - Center of Pad - 10' IS RF Corner

	<u>In-Place Dry Density</u>	<u>Maximum Dry Density</u>	<u>%Compaction</u>
1)	102.6	104.2	98.4
2)	102.0	104.2	97.8
3)	103.0	104.2	98.8

Respectfully Submitted,
Ernesto Velasco
 Ernesto Velasco, P.E.

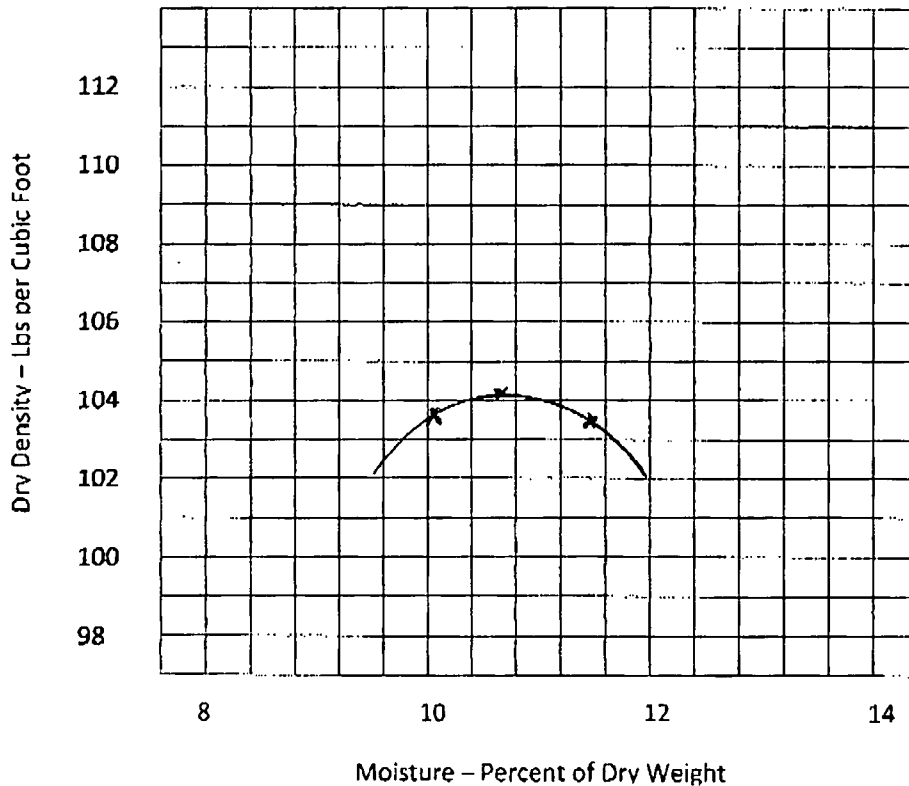


COASTAL TESTING LABORATORY, LLC
Post Office Box 2023
Palm City, FL 34991-2023
772.220.6688

MOISTURE DENSITY RELATIONSHIP

ASTM D 1557-09

DATE: August 16, 2013
CONTRACTOR: Alexander Pools
JOB NUMBER: 13-0821
PERMIT NUMBER: 10552



COASTAL TESTING LABORATORY
 P.O. BOX 2023
 PALM CITY, FL 34991-2023
 OFFICE 772 220-6688
 FAX 772 287-1591

FAX COVER SHEET

SEND TO	
CITY OF SEWALLS POINT	<i>From</i>
<i>Attention</i> BUILDING DEPT.	<i>Date</i>
<i>Office location</i>	<i>Office location</i>
<i>Fax number</i> 772 220-4765	<i>Phone number</i>

Urgent
 Reply ASAP
 Please comment
 Please review
 For your information

Total pages, including cover: _____

COMMENTS

772 - 286 7669 FAX

287 2455 OFC.

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **8-9-13** Page 1 of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10218	Birdsall	Final		
1st	49 N River Rd Just Solutions	Remodel	Pass	CLOSE
				INSPECTOR <i>[Signature]</i>
10552	Smith	Steel/bond		
1 PM	H Palmetto Alexander Pool	in a drain	Pass	MAIN DRAIN FOR SPA <i>[Signature]</i>
				INSPECTOR <i>[Signature]</i>
	Boland	Tree		
	97 N Sewalls		Open	
				INSPECTOR
10556	Ghivto	Final		
	1075 Sewalls Sanders	Screen End.	Pass	CLOSE
				INSPECTOR <i>[Signature]</i>
10448	Spenn	INSULATION		
	9 Lantana Ln Freedom		Pass	
				INSPECTOR <i>[Signature]</i>
10314	Fitch	Pre-final		
	3 Union St Seagate	walk thru	Pass	
				INSPECTOR <i>[Signature]</i>
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 8-21-13 Page 1 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10555	Higgins 30 Castle Hill Way Subnew	Final AC	Pass	Close INSPECTOR [Signature]
10527	Weston 30 S Sewalls Weston	grade beams	Pass	INSPECTOR [Signature]
10337	Robinson 173 S River Emil LaViola	Final returning walls decks	Pass	Close INSPECTOR [Signature]
10560	Mc Ivane 20 Castle Hill VB Roofing	At dry-in	Pass	INSPECTOR [Signature]
10526	J. Simmons 99 N Sewalls Capps	Final Roof		INSPECTOR
10559	VITALE 13 KNOWLES MILLER	FINAL A/C	CANCEL NO ONE HOME	INSPECTOR
10557	J. MITA 11 PALMETTO Alexander Pools	Pool PIPING	Pass	INSPECTOR [Signature]

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

Mon

Tue

Wed

Thur

Fri

9-6-13

Page 1 of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10576	Ziegler	Trial AC	Pass	CLOSE
930	71 S River Rd Aircon	521-5526-Louis		INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10552	Smeth...	Pool deck	Pass	
PM	Alexander Pools		Pass	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
Trees	Lippisch 18 Kennerwin	Trees	OK	INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
		224-6476		INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 10-21-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10552	Smith	pool barrier		
	17 Palmetto Dr	electric		
	Alexander Pool			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10623	DE STEPHAN	FINAL		
	18 PALM RD	FENCE	PASS	CLOSE
	CHAAPMAN FENCE			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10638	NOVINS	DECK		
	111 S. SEWALLS PT RD	FOOTERS	PASS	
	RJ Maddox			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10536	FITZGERALD	FINAL		
	22 W. HIGH PT RD	GARAGE	RESET	FOR TUES
	ACCOUNT GARAGE DOOR	DOOR		INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10472	AK Bride			
	19 N. VIA LUCINDA	FINAL	PASS	CLOSE
	0/13	FENCE		INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9003	DeStephan	FLR. Room		
	18 PALM	FINAL	PASS	CLOSE
	George Castle			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	LARGE			
	CLOCK ON			INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

 Date of Inspection Mon

 Tue

 Wed

 Thur

 Fri

11-4-13

Page 1 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10552	Smith	Final		
	M. Kalmel	Pool	PASS	Close
	Alexander Pools			INSPECTOR <i>JP</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10642	Stern	Steel Pond		
	9 Lantana	main drain	PASS	
	Alexander			INSPECTOR <i>JP</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10651	Vance	Window + SGO		
	12 Wendy Ln	R. ELOOR	PASS	
10:00	Adam Peters	FRAME		INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10476	Daugherty	Final		
	15 Oakhill Way	front steps	PASS	Close
	Adam Peters	+ screen around AC		INSPECTOR <i>JP</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
Tree	McKeige	Tree		
	31 W High Pt		OK	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10644	Reich	Final		
	22 Middle Rd	AC	PASS	Close
AM 9:30	Stuyker	Technician bring ladder		INSPECTOR <i>JP</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10549	Cronos	GRADE		
	83 S. SP7 Rd	Storm	PASS	
	Modern House			INSPECTOR <i>JP</i>

TREE PERMITS

TOWN OF SEWALL'S POINT, FLORIDA

Date 8/16/00 1900 11 PALMETTO DRIVE (VACANT)
TREE REMOVAL PERMIT No 0351

APPLIED FOR BY MONT'S TREE SERVICE
Owner CARY GUSTAFSON, 86 PARKVIEW DR., PALM CITY 347-2448 (Contractor or Owner)

Sub-division _____, Lot 8, Block _____

Kind of Trees NON-NATIVE FIGUS

No. Of Trees: REMOVE 1

No. Of Trees: RELOCATE 0 WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE 0 WITHIN 30 DAYS

PAID - LISP.
8/16/00

REMARKS LOCATION ON APPLICATION

Signed, Cary Gustafson Applicant Signed, [Signature] Town Clerk
FEE \$ 0

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Empty grid area for notes or details]

PROJECT DESCRIPTION _____

REMARKS _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 8-16, 2000; Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4769	Sadler	final roof	CANCEL	PAUSED TO ORDER
S X	12 Middle Rd. Altec KATZKY; 747-6900	CONTRACTOR TO CALL		REMOVING T/EMTC INSP. PRIOR TO COMMENCE
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4990	Elder	slab / GROUND RFTO	PASSED	POW. FORMED. SOW. / COMP. TO
S ①	4 Emarita Way		Σ	SOLICITATION.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4963	Jordan	sheathing	CANCEL	Contractor call
N ⑧	Shual Run Pacific			8/16 9:05 (POB) - will reschedule
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4999	Chico's	final	PASSED	
N ⑩	Harbour Bay Cecilio	shutters	Σ	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4651	DERMARK PLAD	FINAL TEMP. POWER	PAUSED	DISTR. PANEL LOCKS
N ⑥	19 CASTLE HILL WAY STRATHMORE	(WALK THRU)	Σ	REWORKED - KEYS 8/18 (IR SCREEN) - NO PER
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5051	Elliott	form board	PASSED	9: - 10: if
S ②	25 W. High Point Van Lynn	for steps	Σ	possible
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4857	Conway	ad, pl, ei	PASSED	
N ⑤	4 Oak Hill Way Carr	FRAMING	Σ	

OTHER: ST/P (VACANT - ady. b. IS PALMISTO; GUSTAFSSON - HONOR'S & PER SERVICE

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

RECEIVED
AUG 16 2000

SCHEP 8/16/00
WSP
AWK: 8/16
ISSUED 8/16

Permit BY: [Signature]
Date Issued 8/16/00

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner GARY GUSTAFSON Address 86 FAIRVIEW DR Phone 561-747-2448

Contractor Monte's Tree Service Address P.O. Box 523, Palm City 34991 Phone 561-283-8825

Number of trees to be removed (list kinds of trees) 1 Ficus in middle of lot

adjacent to 15 PALMETTO Dr. - Tree hit by lightning

Number of trees to be relocated within 30 days (no fee) (list kinds of trees):

NONE

Number of trees to be replaced (list kinds of trees):

Permit Fee \$ ~~1925.00~~ first tree plus \$10.00 - each additional tree - not to exceed ~~500.00~~ \$15.00

(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted Plans approved, as marked

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant [Signature] Date submitted 8/15/00

Approved by Building Inspector [Signature] Date 8/15/00

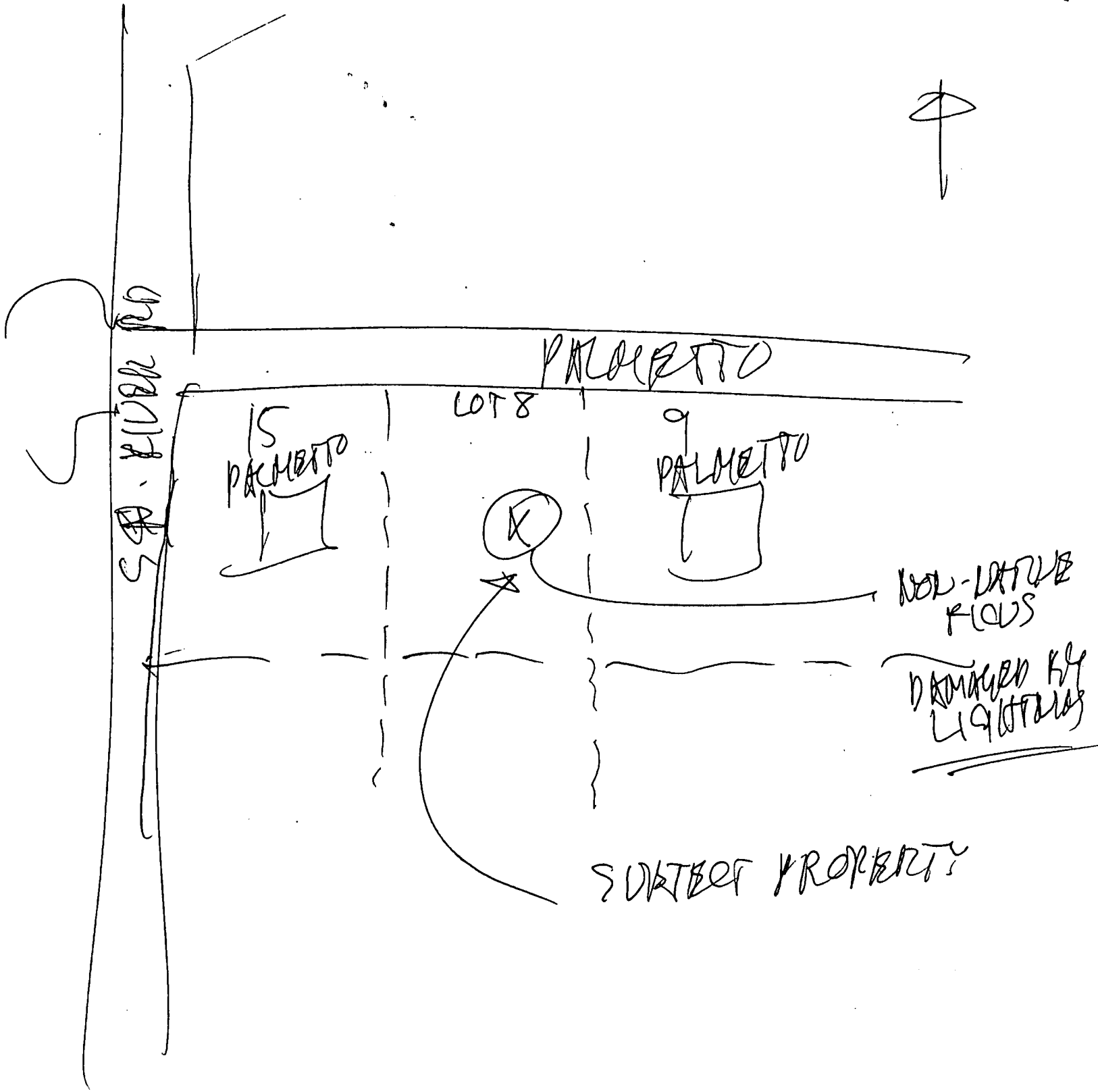
Approved by Building Commissioner _____ Date _____

Completed _____ Date _____ Checked by _____

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT ~~PERMIT~~ ^{FEE}. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?

Town Hall FAX 220-4765



S.P. RIVER RD

PALMETTO

15
PALMETTO

LOT 8

K

9
PALMETTO

NON-UTILITY
FLOWS

DAMAGED BY
LIGHTNING

SUBJECT PROPERTY



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM – 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM – NO SUNDAYS

Owner Anthony Smith & Mary Edith Address 11 Palmetto Dr. Phone 772-288-1244

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 1 Species: Oak

No. of Trees: RELOCATE _____ Species: _____

No. of Trees: REPLACE _____ Species: _____

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY

Reason for tree removal /relocation (See notice above) Bees

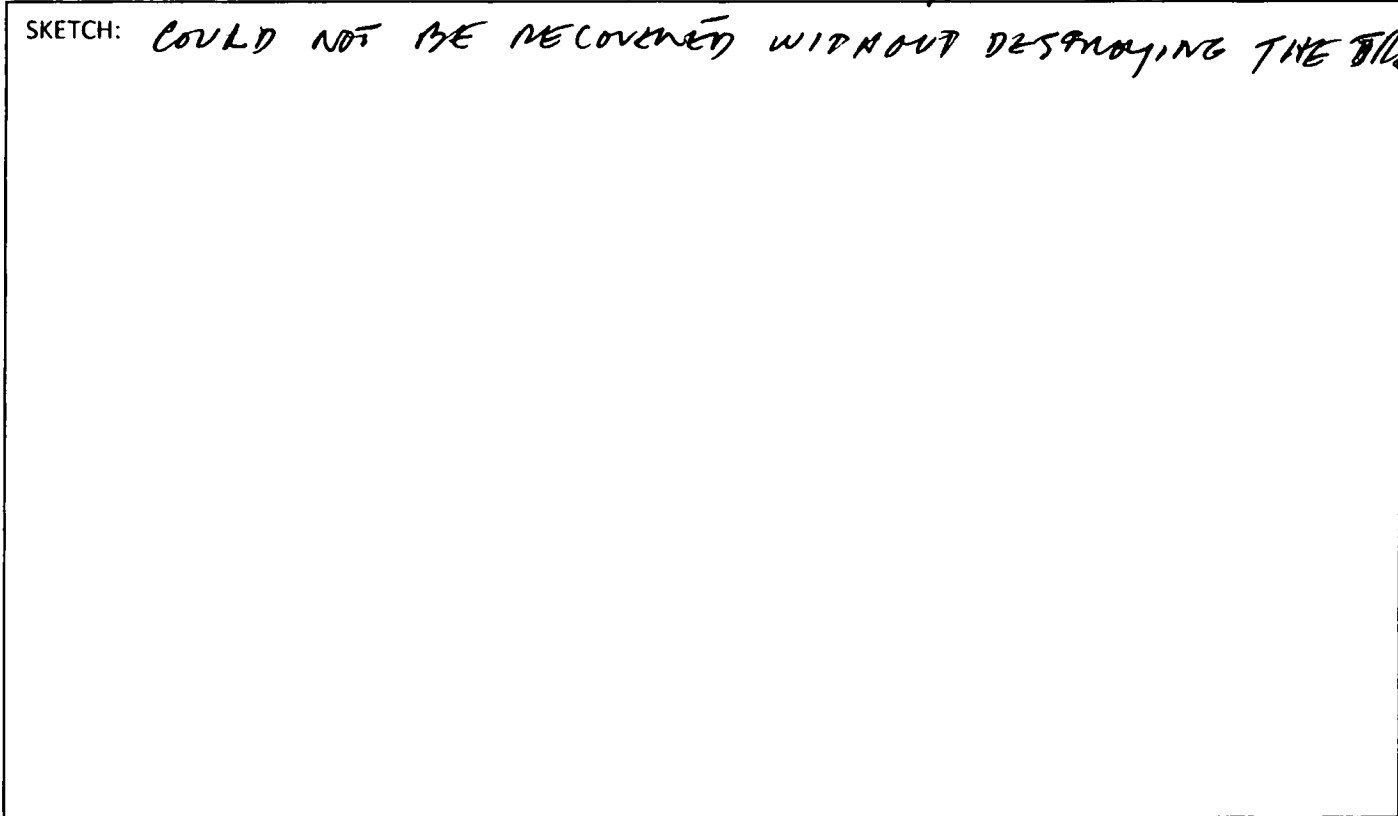
Signature of Property Owner Mary Edith Smith Date 5/9/14

Approved by Building Inspector: [Signature] Date 5/9/14 Fee: N/C

NOTES: TREE IS ROTTED FROM BASE + 3 FT TO + 25 FT ALONG MAIN TRUNK

THERE IS A LARGE ACTIVE HIVE THAT ALPINE FARMS SAID

SKETCH: COULD NOT BE RECOVERED WITHOUT DESTROYING THE BEE





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TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

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Owner Anthony Smith Address 11 PALMETTO DR Phone 285-1247 / Cell 285 7330

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 1 Species: (help) SAPIN LEAF

No. of Trees: RELOCATE _____ Species: _____

No. of Trees: REPLACE _____ Species: ADVISE

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY

Reason for tree removal /relocation (See notice above) ROOF STRUCTURAL

Signature of Property Owner Anthony Smith Date _____

Approved by Building Inspector: [Signature] Date 4-1-15 Fee: N/A

NOTES: TREE IS NATIVE SPECIES - SUGGEST RELOCATION TO

OPEN AREA IN YARD

