

# **22 Palmetto Drive**

1055

22 Palmetto

TOWN OF SEWALL'S POINT, FLORIDA

Application for a Permit to Build a House or Commercial Building

PERMIT NO. 1955

DATE 7/2/86

To obtain this permit, the following documents are necessary:

1. Florida certification of Builder and Sub-contractors.
2. Certificate of insurance from Contractor or owner builder for liability and workmen's compensation.
3. Three sets of building plans which include:  
 $\frac{1}{4}$ " scale for building drawings, plot plan, foundation plan, floor plans, wall and roof cross-sections; plumbing, electrical and air-conditioning layouts, and at least two elevations, as applicable.
4. Warranty deed to the property.
5. Septic tank permit and one set of plans with Health Dept. seal.
6. Energy code calculations.
7. Notorized copy of the attached affidavit which states that all Brazilian Pepper, Australian Pine, and Melaluca have been permanently removed from the property.
8. If trees other than in Item 7 are to be removed, a separate tree removal permit.
9. Designation of the Flood Control Zone in which the property is located as defined by the latest Flood Control Map. If the location is questionable, it must be certified by a licensed surveyor. If in "A" Zone, the proposed slab elevation should be specified. If in "V-13", the proposed elevation of the top of pier or piling is required.
10. A manufacturer's window schedule with symbols of sizes.

Owner WALTER Geisenhainer Present Address 2375 S.E. Ocean Blvd., Stuart  
 NORTHERN ADDRESS: Rt. #1, Box 469, Mashpee, Mass 02649

Phone 225-0575

General Contractor Ocean Gate Construction Co. Address 2854 South Federal Highway, Stuart,

Phone 283-6744 Florida 33497

Where Licensed State of Florida License No. 00083

Plumbing Contractor South Park Plumbing License No. 00049

Electrical Contractor Forward Electric License No. 00092

Roofing Contractor to be determined License No. \_\_\_\_\_

Air-Conditioning Contractor to be determined License No. \_\_\_\_\_

Describe the building, or alteration to existing building  
one-story single-family dwelling

Name the street on which the building, its front building line and its front yard will face  
Palmetto Drive

Subdivision Sewalls Point Palmetto Park Lot No. 22 Area \_\_\_\_\_

Building area, inside walls 3200 sq. ft.

Area of garage-carport-porch-square feet 866 sq. ft.

Contract price (excluding land, carpeting, appliances, landscaping, etc.) \$ 217,812<sup>XX</sup>

Cost of permit \$ ~~1089.00~~ Plans approved as submitted \_\_\_\_\_ or, as marked

1089.00  
 $\frac{00}{100}$

In addition, the following are understood by owner and contractor:

1. The building area inside walls is required to show conformance to the ordinance requiring a minimum of 155 sq. ft.
2. The contract price is the expected cost of the building including all but land, carpeting, appliances and landscaping. The permit fee is calculated at \$5.00 per thousand of this. If no contract is submitted as proof, it will be based on a cost of \$60.00 per sq.ft. for inside walls; \$25.00 per sq.ft. for any other area. In addition, a \$10.00 fee for each subcontractor is included in the permit fee.
3. Before a C.O. is issued the following are necessary:
  - a. An owner's affidavit of building cost. A standard form is available. Any discrepancy between original permitfee and new fee based on affidavit will be adjusted here.
  - b. If property is in "A" flood zone, an affidavit from a licensed surveyor showing slab elevation.  
If property is in "V" zone, an affidavit from a licensed surveyor showing elevation of top of piers or pilings.  
In addition, certification by a qualified engineer or architect of the structural adequacy of dwelling. Elevation is distance above mean sea level. A standard affidavit form is available.
  - c. Rough grading and clean-up of grounds.
  - d. Approval by the Health Dept. of Septic installation.
4. The South Florida Building Code latest revision is part of the Town's ordinance.
5. Building permits are issued for 1 year's duration. If construction takes longer, a full year's renewal fee is required. Construction must be started within 180 days of issuance or the permit is subject to revocation with the forfeiture of fee.
6. Any changes in plan must be approved by the Building Inspector.
7. Work hours are from 8:00 AM to 5:00 PM Monday through Saturday.
8. Portable toilet must be provided.
9. The grounds should be policed each day to clean up trash and scrap building material. A dumpster should be provided to contain these.
10. Inspections are performed from Monday through Friday from 8:00 AM to Noon. Twenty-four hours notice is required.
11. To facilitate set-back inspection at the start of the project, lines shall be strung along the property lines of the lot.
12. Within 90 days after a C.O. is issued, the grounds must be landscaped to be compatible with the neighborhood.
13. THIS SUMMARY IS NOT A SUBSTITUTE FOR TOWN ORDNANCES. APPROVAL OF THE BUILDING PLANS IN NO WAY RELIEVES THE OWNER OR BUILDER FROM COMPLIANCE WITH TOWN ORDNANCES.

Signed Contractor

Owner

Approved by Building Inspector

Approved by Commissioner

Certificate of Occupancy issued

*[Handwritten Signature]*  
 \_\_\_\_\_  
*[Handwritten Signature]*  
 \_\_\_\_\_

Date 7/1/86  
 Date 7/1/85  
 Date \_\_\_\_\_

**This Warranty Deed** Made and executed the <sup>19th</sup> ~~15th~~ day of May A. D. 19 86 by FAIRVIEW PROPERTIES, INC., a Virginia Corporation qualified to do business in the State of Florida as FAIRVIEW SOUTH, INC., a corporation existing under the laws of Florida, and having its principal place of business at Stuart, Florida hereinafter called the grantor, to

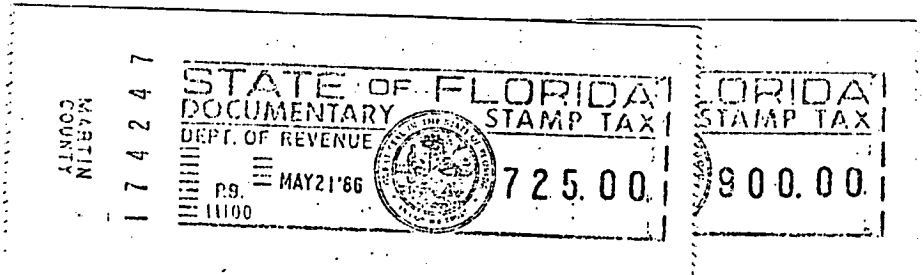
WALTER G. GEISENHAINER and ELIZABETH L. GEISENHAINER, his wife whose postoffice address is 2327 N.E. Ocean Blvd., Stuart, Florida 33494

hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

**Witnesseth:** That the grantor, for and in consideration of the sum of \$ 10.00--- and other valuable considerations, receipt whereof is hereby acknowledged, by these presents does grant, bargain, sell, alien, remise, release, convey and confirm unto the grantee, all that certain land situate in MARTIN County, Florida, viz:

See EXHIBIT "A", attached hereto and made a part hereof.



**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in any-wise appertaining.

**To Have and to Hold,** the same in fee simple forever.

**And** the grantor hereby covenants with said grantee that it is lawfully seized of said land in fee simple; that it has good right and lawful authority to sell and convey said land; that it hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances excepting taxes for 1986 and subsequent years.

FAIRVIEW SOUTH

(CORPORATE SEAL)

J.K.

**In Witness Whereof** the grantor has caused these presents to be executed in its name, and its corporate seal to be hereunto affixed, by its proper officers thereunto duly authorized, the day and year first above written. Fairview Properties, Inc., a VA.Corp. qualified t/d/b in Florida as FAIRVIEW SOUTH, INC.,

Signed, sealed and delivered in the presence of:

*[Handwritten signatures]*

By *Lloyd E. Dutcher*  
Lloyd E. Dutcher, Vice President

STATE OF FLORIDA }  
COUNTY OF Martin }

D R BOOK 675 PAGE 1524

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared

LLOYD E. DUTCHER,

well known to me to be the Vice President ~~XXXX~~ of the corporation named as grantor in the foregoing deed, and that ~~XXXX~~ acknowledged executing the same in the presence of two subscribing witnesses freely and voluntarily under authority duly vested in ~~XXXX~~ by said corporation and that the seal affixed thereto is the true corporate seal of said corporation.

WITNESS my hand and official seal in the County and State last aforesaid this 19th day of May A. D. 19 86

This Instrument Prepared by:  
This Instrument prepared by: WILLIAM F. CRARY  
Address CRARY, BUCHANAN, BOWDISH & BOVIE,  
Chartered Attorneys  
555 Colorado Avenue

*[Handwritten signature]*  
Notary Public:  
My Commission Expires:  
NOTARY PUBLIC STATE OF FLORIDA  
MY COMMISSION EXPIRES OCT 25 1987  
BONDED THRU GENERAL INSURANCE UND

Being a portion of Lot 1, Not included, according to the Plat of PALMETTO PARK, as recorded in Plat Book 3, at Page 66, Public Records of Martin County, Florida, more particularly described as follows:

Commence at the Northwestern corner of Lot 3, according to said Plat of Palmetto Park, thence South 62°38'00" West along the North line of said Lot 1 a distance of 170.00 feet to the point of intersection with a line 170.00 feet Westerly of, as measured at right angles to, and parallel with the West line of said Lot 3, for the point of beginning:

Thence South 27°22'00" East, along said parallel line 170.00 feet Westerly of, as measured at right angles to, and parallel with the East line of said Lot 1, a distance of 159.77 feet to the point of intersection with the South line of said Lot 1, thence South 62°38'00" West, along the South line of said Lot 1, a distance of 3240 feet more or less to the point of intersection with the Easterly shoreline of the St. Lucie River; thence meander Northerly along the Easterly shoreline of the St. Lucie River 175 feet more or less to the point of intersection with the Northerly line of said Lot 1; thence North 62°38'00" East, along the Northerly line of said Lot 1, a distance of 174 feet more or less to the point of beginning;

LESS AND EXCEPTING the Northerly 35 feet thereof.

TOGETHER WITH an easement for ingress and egress and utility purposes over, under and through the following described real property:

An 18 foot strip of land for the purpose of ingress and egress lying in Lots 1 and 3, Plat of PALMETTO PARK, as recorded in Plat Book 3, page 66, Public Records of Martin County, being more particularly described as follows:

Said parcel being bounded on the South by the Southerly lines of said Lots 1 and 3, and bounded on the North by a line lying 18 feet Northerly of and parallel with said South line of Lots 1 and 3, and being bounded on the West by a line lying 172 feet Westerly of and parallel with the East line of said Lot 1, and being bounded on the East by an arc formed by that cul-de-sac right-of-way as recorded in Official Records Book 188, page 487, Public Records of Martin County, Florida.

All of the above lying and being situated in the Town of Sewall's Point, Martin County, Florida.

SUBJECT TO easements, restrictions, reservations and road rights-of-way of record.

SUBJECT TO real property taxes for the year 1986 and subsequent years.

O. R. BOOK 675 PAGE 1525

EXH. B. 1 "A"

PLAT OF PALMETTO PARK  
BOOK 3 PAGE 66  
MAY 21 1986

MAY 21 1986

MAY 21 1986

A F F I D A V I T  
REGARDING  
OFFENSIVE PLANTS AND TREES

STATE OF FLORIDA  
COUNTY OF MARTIN

BEFORE ME, the undersigned authority personally appeared

Walter Geisenhainer of 2375 East Ocean Blvd., Stuart, Florida 33494

who, being duly sworn, deposes and states:

1. That he is the owner, or the duly authorized agent of the owner, of the property located at #22 <sup>PALMETTO</sup> Palm Drive, Sewalls Point, Stuart, FL.
2. That the undersigned, as owner or the owner's authorized agent, has applied for or intends to apply for the issuance of a building permit with respect to the property described above.
3. That, as of the date of this affidavit, the owner, or owner's agent, has permanently removed or caused to be permanently removed from the property described above and which shall be subject to the permit material hereto all Brazilian Pepper or Florida Holly, Australian Pine and Melaleuca plants or trees, as required by Town of Sewall's Point Ordinance No. 160.
4. That the undersigned has personal knowledge of the matters set forth within this affidavit and acknowledges that this affidavit is being executed to evidence performance of a condition precedent to the issuance of a valid building permit, and that the Town Building Inspector may rely on this affidavit in determining whether all applicable conditions to the issuance of a building permit have been fulfilled or satisfied.
5. That the undersigned acknowledges and understands that the execution of a false affidavit is unlawful, constitutes a separate criminal offense, and shall render invalid any building permit issued in reliance thereon.

Further the Affiant Sayeth Not.

Walter Geisenhainer  
Affiant Walter Geisenhainer

SWORN TO AND SUBSCRIBED BEFORE ME

this 25<sup>th</sup> day of June, 1986.

[Signature]  
Notary Public

(NOTARY SEAL)

My Commission Expires:

Notary Public, State of Florida  
My Commission Expires Dec. 10, 1987  
Bonded Thru Troy Fain Insurance, Inc.

OWNER'S AFFIDAVIT OF BUILDING COSTS

STATE OF FLORIDA  
COUNTY OF MARTIN


BEFORE ME, the undersigned notary public, personally appeared the undersigned Affiant, who, being first duly sworn, under penalties of perjury, deposes and says:

1. That Affiant is the owner or the authorized agent of the owner of certain real estate (the Property) located within the municipal limits of the Town of Sewall's Point, Florida (the Town), having the street address set forth below Affiant's signature.

2. That all of the improvements on the Property under current building permit(s) issued by the Town have been completed in substantial conformity with the plans and specifications on file with the Town and in accordance with all applicable state and local building codes.

3. That the total cost paid or to be paid by the owner for the complete construction of the improvements under the building permit(s), including the cost of all improvements shown on the plans and specifications filed with the Town and all machinery and equipment not shown thereon required to be installed as a condition for a certificate of occupancy under state and local law, is \$ 217,812<sup>00</sup>.

4. That this affidavit is made for the purpose of inducing the building official of the Town to issue a certificate of occupancy for the improvements, with the intention that it be relied upon for that purpose.

  
\_\_\_\_\_  
Affiant  
Property street address:  
Ocean Gate Builders  
287.4377

Sworn to and subscribed  
before me this \_\_\_\_\_ day of  
\_\_\_\_\_, 19\_\_\_\_.

\_\_\_\_\_  
Notary Public  
STATE OF FLORIDA AT LARGE  
My Commission Expires:

(NOTARY SEAL)

THE AMERICAN INSTITUTE OF ARCHITECTS



AIA Document A101

**Standard Form of Agreement Between  
Owner and Contractor**

where the basis of payment is a  
**STIPULATED SUM**

*Use only with the latest Edition of AIA Document A201, General Conditions of the Contract for Construction.  
This document has important legal consequences; consultation with an attorney is encouraged with respect to its  
completion or modification.*

**AGREEMENT**

made this 20th day of May in the year of Nineteen  
Hundred and Eighty-six

**BETWEEN** Mr. & Mrs. Walter Geisenhainer  
E304 Ocean View  
2375 N.E. Ocean Blvd.  
Stuart, Florida 33494

the Owner, and

Ocean Gate Construction Company  
2854 South Federal Highway  
Stuart, Florida 33497

the Contractor.

The Owner and the Contractor agree as set forth below.



ARTICLE 1

THE CONTRACT DOCUMENTS

The Contract Documents consist of this Agreement, Conditions of the Contract (General, Supplementary and other Conditions), Drawings, Specifications, all Addenda issued prior to execution of this Agreement and all Modifications issued subsequent thereto. These form the Contract, and all are as fully a part of the Contract as if attached to this Agreement or repeated herein. An enumeration of the Contract Documents appears in Article 8.

ARTICLE 2

THE WORK

The Contractor shall perform all the Work required by the Contract Documents for the construction of a single family residence located on owner's portion of lot 1, Palmetto Park, Sewalls Point, Martin County, Florida

*# 22 Palm Ave*

*(Insert above the caption descriptive of the Work as used on other Contract Documents.)*

ARTICLE 3

ARCHITECT

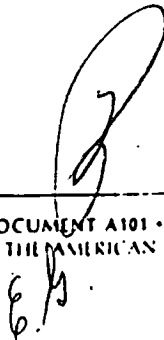
The Architect for this Project is Wessel/Tosch/Erickson, Inc., 1000 U.S. #1, Jupiter, Florida.

ARTICLE 4

TIME OF COMMENCEMENT AND COMPLETION

The Work to be performed under this Contract shall be commenced within ten (10) days following receipt of building permit & all related Sewalls Point approvals. and completed 210 days

*(Here insert any special provisions for liquidated damages relating to failure to complete on time.)*



**ARTICLE 5**  
**CONTRACT SUM**

The Owner shall pay the Contractor for the performance of the Work, subject to additions and deductions by Change Order as provided in the Conditions of the Contract, in current funds, the Contract Sum of \$296,748.00 (TWO HUNDRED NINETY-SIX THOUSAND SEVEN HUNDRED FORTY-EIGHT DOLLARS)

*(State here the lump sum amount, unit prices, or both, as desired.)*

The following allowance values are included in the above contract price (see Alt. 8.4 & 8.7)

APPLIANCES	\$ 5,300	DRIVEWAY	NOT IN CONTRACT
CABINETS	12,200	POOL, DECK, SPA, ENCLOSURE & HEAT	19,000
CARPET (\$20/yd.)	3,423	SHELVING	500
CERAMIC TILE, SIM. MARBLE & WINDOW SILLS	13,393	INTRUSION SYSTEM	2,000
LIGHTING FIXTURES & FANS	4,700	CITY WATER	NOT IN CONTRACT
FIREPLACE & FACADE	1,500	LANDSCAPING (see specs.)	15,000
GRADING, CLEARING, HAULING FILL & COMPACTION	10,000		
FINISH HARDWARE & BATH ACCES.	1,000		
MIRRORS	970		

**ARTICLE 6**  
**PROGRESS PAYMENTS**

Based upon Applications for Payment submitted to the Owner,  
Owner shall make progress payments on account of the Contract Sum to the Contractor as provided in the Conditions of the Contract as follows: \*\*

1) INITIAL PAYMENT	(10%)	\$29,674.80
2) UPON COMPLETION OF SLAB	(20%)	59,349.60
3) ROOF DRIED-IN	(20%)	59,349.60
4) UPON COMPLETION OF INTERIOR PARTITIONS & ROUGH MECHANICALS	(20%)	59,349.60
5) DRYWALL COMPLETION	(15%)	44,512.20
6) TRIM CARPENTRY & PAINTING	(05%)	14,837.40
7) UPON COMPLETION	(10%)	29,674.80

NOTE: Should owner fail to make any payment to contractor within ten (10) days following date of application, contractor may, upon seven (7) days written notice to owner, terminate contract and recover all amounts due him for work performed to date.

\*\* Contractor shall submit request for payment seven (7) days prior to payment so owner may subject jobsite to field verification.

ARTICLE 7

**FINAL PAYMENT**

Final payment, constituting the entire unpaid balance of the Contract Sum, shall be paid by the Owner to the Contractor fifteen (15) days after Substantial Completion of the Work & issuance of certificate of occupancy, and delivery of Contractor's Final Affidavit pursuant to Section 7.13 (06) (3) (d) (1), Fla. Statutes and Article 16.3 of the General Conditions of this agreement.

ARTICLE 8

**MISCELLANEOUS PROVISIONS**

8.1 Terms used in this Agreement which are defined in the Conditions of the Contract shall have the meanings designated in those Conditions.

8.2 The Contract Documents, which constitute the entire agreement between the Owner and the Contractor, are listed in Article 1 and, except for Modifications issued after execution of this Agreement, are enumerated as follows:

*(List below the Agreement, Conditions of the Contract (General, Supplementary, and other Conditions), Drawings, Specifications, Addenda and accepted Alternates, showing page or sheet numbers in all cases and dates where applicable.)*

8.3 Plans as drawn by Wessel/Tosch/Erickson, Inc.

8.4 All allowance values as stipulated herein in Article 5 are included at cost, any savings to the allowance amount will be reimbursed to the owner. The savings will consist of the difference between the actual invoice amount and the allowance value as noted herein of that particular item. Any increase to allowance or charge to the plans or specifications or change by owner, will be billed at actual invoice amount plus a 15% overhead fee.

8.5 Specifications as prepared by Ocean Gate Construction Company (attached hereto).

8.6 General Conditions (AIA Document #A107 "Small Construction Contract"), Article 8 of General Conditions will apply only if owner elects to pay all architectural fees direct to Architect. If owner does not elect to do so, the word "Architect" used throughout the General Conditions shall mean "Owner" or "Contractor".

8.7 All allowance values are determined by plans, specifications or direct conversation with the owner and are priced by good faith estimating. These values could vary to a higher or lower degree. It is agreed and understood that if these values increase in any way the Owner shall reimburse the Contractor according to Article 8.4 above.

8.8 It is agreed and understood that the site soil-bearing capacity will be in a condition to accept said structure, and any and all costs to bring the site to this condition shall be borne by the Owner and is in no way part of this contract.

8.9 In all cases the specifications as described on the following pages are those discussed and agreed upon by the Owner. In some cases specifications may vary from the plans, however, these specifications shall supercede the plans in all cases.

8.10 Items not included in this contract are: Dock, dock lighting & site lighting  
Dock Power, Stairs to dock, clearing of bank, etc.

8.11 Reference Base home on Lot #24, Sailfish Point Base-Price \$265,000.00

<u>INCREASES:</u>	<u>ADD:</u>		
1. change to air-conditioning system due to new energy code	\$ 2,520.00	8. pool package increase (to include oversized heated pool/spa, deck & enclosure)	4,440.00
2. appliance increase (for JennAir, Maytag, and icemaker)	1,560.00	9. addition of handshowers	720.00
3. carpet increase from \$15/yd. to \$20/yd.	1,200.00	10. roofing - concrete v/s wood	3,948.00
4. entry door increase	1,680.00	11. Septic tank (lot #24 S/P had city sewer)	1,420.00
5. lot improvements to include fill, compaction, clearing, hauling & grading	10,000.00	12. Shower enclosures	360.00
6. driveway to be pressed concrete v/s plain broom finish	N.I.C.	13. Sewalls Point water fee	N.I.C.
7. masonry stem wall due to slope in property	3,500.00	14. Windows - awning v/s horizontal slide	1,200.00
		<b>TOTAL REVISED CONTRACT:</b>	<b>\$ 296,748.00</b>

# GENERAL CONDITIONS

## ARTICLE 7 CONTRACT DOCUMENTS

7.1 The Contract Documents consist of this Agreement (which includes the General Conditions), Supplementary and other Conditions, the Drawings, the Specifications, all Addenda issued prior to the execution of this Agreement, all modifications, Change Orders, and written interpretations of the Contract Documents issued by the Architect. These form the Contract and what is required by any one shall be as binding as if required by all. The intention of the Contract Documents is to include all labor, materials, equipment and other items as provided in Paragraph 10.2 necessary for the proper execution and completion of the Work and the terms and conditions of payment therefor, and also to include all Work which may be reasonably inferable from the Contract Documents as being necessary to produce the intended results.

7.2 The Contract Documents shall be signed in not less than triplicate by the Owner and the Contractor. If either the Owner or the Contractor do not sign the Drawings, Specifications, or any of the other Contract Documents, the Architect shall identify them. By executing the Contract, the Contractor represents that he has visited the site and familiarized himself with the local conditions under which the Work is to be performed.

7.3 The term Work as used in the Contract Documents includes all labor necessary to produce the construction required by the Contract Documents, and all materials and equipment incorporated or to be incorporated in such construction.

## \*\* ARTICLE 8 ARCHITECT

8.1 The Architect will provide general administration of the Contract and will be the Owner's representative during construction and until issuance of the final Certificate for Payment.

8.2 The Architect shall at all times have access to the Work wherever it is in preparation and progress.

8.3 The Architect will make periodic visits to the site to familiarize himself generally with the progress and quality of the Work and to determine in general if the Work is proceeding in accordance with the Contract Documents. On the basis of his on-site observations as an architect, he will keep the Owner informed of the progress of the Work, and will endeavor to guard the Owner against defects and deficiencies in the Work of the Contractor. The Architect will not be required to make exhaustive or continuous on-site inspections to check the quality or quantity of the Work. The Architect will not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the Work, and he will not be responsible for the Contractor's

failure to carry out the Work in accordance with the Contract Documents.

8.4 Based on such observations and the Contractor's Applications for Payment, the Architect will determine the amounts owing to the Contractor and will issue Certificates for Payment in accordance with Article 16.

8.5 The Architect will be, in the first instance, the interpreter of the requirements of the Contract Documents. He will make decisions on all claims and disputes between the Owner and the Contractor. All his decisions are subject to arbitration.

8.6 The Architect will have authority to reject Work which does not conform to the Contract Documents.

## ARTICLE 9 OWNER

9.1 The Owner shall furnish all surveys.

9.2 The Owner shall secure and pay for easements for permanent structures or permanent changes in existing facilities.

9.3 The Owner shall issue all instructions to the Contractor through the Architect.

## ARTICLE 10 CONTRACTOR

10.1 The Contractor shall supervise and direct the work, using his best skill and attention. The Contractor shall be solely responsible for all construction means, methods, techniques, sequences and procedures and for coordinating all portions of the Work under the Contract.

10.2 Unless otherwise specifically noted, the Contractor shall provide and pay for all labor, materials, equipment, tools, construction equipment and machinery, water, heat, utilities, transportation, and other facilities and services necessary for the proper execution and completion of the Work.

10.3 The Contractor shall at all times enforce strict discipline and good order among his employees, and shall not employ on the Work any unfit person or anyone not skilled in the task assigned to him.

10.4 The Contractor warrants to the Owner and the Architect that all materials and equipment incorporated in the Work will be new unless otherwise specified, and that all Work will be of good quality, free from faults and defects and in conformance with the Contract Documents. All Work not so conforming to these standards may be considered defective.

10.5 The Contractor shall pay all sales, consumer, use and other similar taxes required by law and shall secure all permits, fees and licenses necessary for the execution of the Work.

10.6 The Contractor shall give all notices and comply with all laws, ordinances, rules, regulations, and orders of any public authority bearing on the performance of

\*\* ~~Upon request by owner & agreement to pay architectural fee the architect will...~~

the Work, and shall notify the Architect if the Drawings and Specifications are at variance therewith.

10.7 The Contractor shall be responsible for the acts and omissions of all his employees and all Subcontractors, their agents and employees and all other persons performing any of the Work under a contract with the Contractor.

10.8 The Contractor shall review, stamp with his approval and submit all samples and shop drawings as directed for approval of the Architect for conformance with the design concept and with the information given in the Contract Documents. The Work shall be in accordance with approved samples and shop drawings.

10.9 The Contractor at all times shall keep the premises free from accumulation of waste materials or rubbish caused by his operations. At the completion of the Work he shall remove all his waste materials and rubbish from and about the Project as well as his tools, construction equipment, machinery and surplus materials, and shall clean all glass surfaces and shall leave the Work "broom clean" or its equivalent, except as otherwise specified.

10.10 The Contractor shall indemnify and hold harmless the Owner and the Architect and their agents and employees from and against all claims, damages, losses and expenses including attorneys' fees arising out of or resulting from the performance of the Work, provided that any such claim, damage, loss or expense (1) is attributable to bodily injury, sickness, disease or death, or to injury to or destruction of tangible property (other than the Work itself) including the loss of use resulting therefrom, and (2) is caused in whole or in part by any negligent act or omission of the Contractor, any Subcontractor, anyone directly or indirectly employed by any of them or anyone for whose acts any of them may be liable, regardless of whether or not it is caused in part by a party indemnified hereunder. In any and all claims against the Owner or the Architect or any of their agents or employees by any employee of the Contractor, any Subcontractor, anyone directly or indirectly employed by any of them or anyone for whose acts any of them may be liable, the indemnification obligation under this Paragraph 10.10 shall not be limited in any way by any limitation on the amount or type of damages, compensation or benefits payable by or for the Contractor or any Subcontractor under workmen's compensation acts, disability benefit acts or other employee benefit acts. The obligations of the Contractor under this Paragraph 10.10 shall not extend to the liability of the Architect, his agents or employees arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, Change Orders, designs or specifications, or (2) the giving of or the failure to give directions or instructions by the Architect, his agents or employees provided such giving or failure to give is the primary cause of the injury or damage.

#### ARTICLE 11 SUBCONTRACTS

11.1 A Subcontractor is a person who has a direct contract with the Contractor to perform any of the Work at the site.

#### ARTICLE 13 ROYALTIES AND PATENTS

The Contractor shall pay all royalties and license fees. The Contractor shall defend all suits or claims for infringement of any patent rights and shall save the Owner harmless from loss on account thereof.

#### ARTICLE 15 TIME

15.1 All time limits stated in the Contract Documents are of the essence of the Contract.

15.2 If the Contractor is delayed at any time in the progress of the Work by changes ordered in the Work, by labor disputes, fire, unusual delay in transportation, unavoidable casualties, causes beyond the Contractor's control, or by any cause which the Architect may determine justifies the delay, then the Contract Time shall be extended by Change Order for such reasonable time as the Architect may determine.

**ARTICLE 16**  
**PAYMENTS**

16.1 Payments shall be made as provided in Article 4 of this Agreement.

16.2 Payments may be withheld on account of (1) defective Work not remedied, (2) claims filed, (3) failure of the Contractor to make payments properly to Subcontractors or for labor, materials, or equipment, (4) damage to another contractor.

16.3 Final payment shall not be due until the Contractor has delivered to the Owner a complete release of all liens arising out of this Contract or receipts in full covering all labor, materials and equipment for which a lien could be filed,

16.4 The making of final payment shall constitute a waiver of all claims by the Owner except those arising from (1) unsettled liens, (2) faulty or defective Work appearing after Substantial Completion, (3) failure of the Work to comply with the requirements of the Contract Documents, or (4) terms of any special guarantees required by the Contract Documents. The acceptance of final payment shall constitute a waiver of all claims by the Contractor except those previously made in writing and still unsettled.

**ARTICLE 17**  
**PROTECTION OF PERSONS AND PROPERTY**

The Contractor shall be responsible for initiating, maintaining, and supervising all safety precautions and programs in connection with the Work. He shall take all reasonable precautions for the safety of, and shall provide all reasonable protection to prevent damage, injury or loss to (1) all employees on the Work and other persons who may be affected thereby, (2) all the Work and all materials and equipment to be incorporated therein, and (3) other property at the site or adjacent thereto. He shall comply with all applicable laws, ordinances, rules, regulations and orders of any public authority having jurisdiction for the safety of persons or property or to protect them from damage, injury or loss. All damage or loss to any property caused in whole or in part by the Contractor, any Subcontractor, any Sub-subcontractor or anyone directly or indirectly employed by any of them, or by anyone for whose acts any of them may be liable, shall be remedied by the Contractor, except damage or loss attributable to faulty Drawings or Specifications or to the acts or omissions of the Owner or Architect or anyone employed by either of them or for whose acts either of them may be liable but which are not attributable to the fault or negligence of the Contractor.

**ARTICLE 18**  
**CONTRACTOR'S LIABILITY INSURANCE**

The Contractor and each separate Contractor shall purchase and maintain such insurance as will protect him from claims under workmen's compensation acts and

other employee benefit acts, from claims for damages because of bodily injury, including death, and from claims for damages to property which may arise out of or result from the Contractor's operations under this Contract, whether such operations be by himself or by any Subcontractor or anyone directly or indirectly employed by any of them. This insurance shall be written for not less than any limits of liability specified as part of this Contract, or required by law, whichever is the greater, and shall include contractual liability insurance as applicable to the Contractor's obligations under Paragraph 10.10. Certificates of such insurance shall be filed with the Owner and each separate Contractor.

**ARTICLE 19**  
**OWNER'S LIABILITY INSURANCE**

The Owner shall be responsible for purchasing and maintaining his own liability insurance and, at his option, may maintain such insurance as will protect him against claims which may arise from operations under the Contract.

**ARTICLE 20**  
**PROPERTY INSURANCE**

20.1 Unless otherwise provided, the Owner shall purchase and maintain property insurance upon the entire Work at the site to the full insurable value thereof. This insurance shall include the interests of the Owner, the Contractor, Subcontractors and Sub-subcontractors in the Work and shall insure against the perils of Fire, Extended Coverage, Vandalism and Malicious Mischief.

20.2 Any insured loss is to be adjusted with the Owner and made payable to the Owner as trustee for the insureds, as their interests may appear, subject to the requirements of any mortgagee clause.

20.3 The Owner shall file a copy of all policies with the Contractor prior to the commencement of the Work.

20.4 The Owner and Contractor waive all rights against each other for damages caused by fire or other perils to the extent covered by insurance provided under this paragraph. The Contractor shall require similar waivers by Subcontractors and Sub-subcontractors.

20.5 The owner shall secure insurance protection against any theft on the job site after delivery of any material.

**ARTICLE 21-CHANGES IN THE WORK:**

21.1 The Owner without invalidating the Contract may order Changes in the Work consisting of additions, deletions, or modifications, the Contract Sum and the Contract Time being adjusted accordingly. All such Changes in the Work shall be authorized by written Change Order signed by the Owner or the Architect as his duly authorized agent.

21.2 The Contract Sum and the Contract Time may be changed only by Change Order, or allowance changes.

21.3 The cost or credit to the Owner from a Change in the Work shall be determined by mutual agreement.

**ARTICLE 22**  
**CORRECTION OF WORK**

The Contractor shall correct any Work that fails to conform to the requirements of the Contract Documents where such failure to conform appears during the progress of the Work, and shall remedy any defects due to faulty materials, equipment or workmanship which appear within a period of one year from the Date of Substantial Completion of the Contract or within such longer period of time as may be prescribed by law or by the terms of any applicable special guarantee required by the Contract Documents. The provisions of this Article 22 apply to Work done by Subcontractors as well as to Work done by direct employees of the Contractor.

**ARTICLE 23**  
**TERMINATION BY THE CONTRACTOR**

If the Architect fails to issue a Certificate of Payment for a period of thirty days through no fault of the Contractor, or if the Owner fails to make payment thereon for a period of thirty days, the Contractor may, upon seven days' written notice to the Owner and the Architect, terminate the Contract and recover from the Owner

payment for all Work executed and for any proven loss sustained upon any materials, equipment, tools, and construction equipment and machinery, including reasonable profit and damages.

**ARTICLE 24**  
**TERMINATION BY THE OWNER**

If the Contractor defaults or neglects to carry out the Work in accordance with the Contract Documents or fails to perform any provision of the Contract, the Owner may, after seven days' written notice to the Contractor and without prejudice to any other remedy he may have, make good such deficiencies and may deduct the cost thereof from the payment then or thereafter due the Contractor or, at his option, may terminate the Contract and take possession of the site and of all materials, equipment, tools, and construction equipment and machinery thereon owned by the Contractor and may finish the Work by whatever method he may deem expedient, and if the unpaid balance of the Contract Sum exceeds the expense of finishing the Work, such excess shall be paid to the Contractor, but if such expense exceeds such unpaid balance, the Contractor shall pay the difference to the Owner.

**ARTICLE 25**  
**MISCELLANEOUS PROVISIONS**

This Agreement executed the day and year first written above.

OWNER (s) Mr. & Mrs. Walter Geisenhainer

CONTRACTOR  
OCEAN GATE CONSTRUCTION COMPANY

BY: Elizabeth Geisenhainer

BY: Walter Geisenhainer

WITNESS: Barbara Finn

George F. Thiel

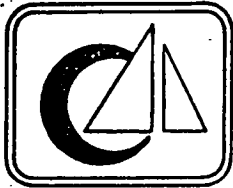
BY: [Signature]

WITNESS: Barbara Finn

George F. Thiel

E. B.





# Ocean Gate Construction Company

2854 SOUTH FEDERAL HIGHWAY • STUART, FLORIDA 33497 • (305) 283-6744

THE FOLLOWING SPECIFICATIONS WILL BE USED BY OCEAN GATE CONSTRUCTION COMPANY TO CONSTRUCT A PRIVATE RESIDENCE FOR MR. & MRS. WALTER GEISENHAINER ON THE LOT 1, PALMETTO PARK. (ADDRESS #22 Palmetto Dr., Sewalls Point, Stuart, 33494)

## PREPARING THE PROPERTY:

ALLOWANCE: \$10,000.00

All clearing, grubbing, hauling and fill to prepare site for structure. Every effort will be made to save all available trees, however, Ocean Gate Construction Company cannot be responsible if any trees die and have to be removed.

## FOUNDATION & SLAB:

House to have monolithic slab foundation with a 16" x 16" footing and 4" slab of concrete. Reinforcement will consist of (3) #5 rerods and 6 X 6 10/10 WWM. Waterproofing will consist of a 6 mil visqueen barrier. Prior to pouring the slab, all soil will be treated for Subterranean Termites. A certificate assuring this work has been completed will be given to you for your files.

## FRAMING:

Exterior walls to be 2 X 6 studding 16" on center with 2 X 6 pressure treated bottom plate. All interior partitions to be 2 X 4 studding with a 2 X 4 pressure treated bottom plate. All exterior walls shall be wrapped in 1/2" plywood, 15 pound building paper, paperbacked diamond mesh wire lath, then 3 coats of stucco with a skip trowelled finish. The garage shall receive a fold-down disappearing stairway.

## WINDOWS & SLIDING GLASS DOOR:

All windows and sliding glass doors shall consist of bronze painted aluminium frames with bronze tinted single-glazed glass. Sliding glass doors and windows shall be manufactured by Alcan or equal.

## ROOFING:

Shall consist of standard built-up roof with concrete shakes applied. Color and style to be selected by owner.

## PAINTING & DRYWALL: (guaranteed coverage)

All interior walls to receive two (2) coats of off-white flat paint. All doors and woodwork to receive two (2) coats of off-white semi-gloss enamel. Exterior wood to receive one (1) coat of semi-transparent stain. All stucco to receive two (2) coats of exterior masonry paint. All paint to be manufacture by Porter Paint or equal. All drywall to be 1/2" with slick walls and textured ceilings.

## CABINETS:

ALLOWANCE: \$12,200.00

As selected by owner to include kitchen cabinets and tops, bath vanities and tops, laundry cabinets and tops, and all built-ins within the above allowance value.

## LANDSCAPING, DESIGN, SPRINKLERS & SOD:

ALLOWANCE: \$15,000.00

Supply and installation of all plantings, sod, mulch, design fees, stepping stones, finish grading, burming, etc., within the above allowance value.

Mr. & Mrs. Geisenhainer

PAGE TWO

May 20, 1986

DRIVEWAY & ENTRY STEPS:

To be pressed concrete, color and pattern to be selected by owner.

CARPET & VINYL:

ALLOWANCE: \$3,423.00

All carpet and vinyl to be selected by owner within the above allowance value, to be installed in rooms as chosen by owner. Allowance is based upon \$20.00/yd carpet.

CERAMIC TILE:

ALLOWANCE: \$13,393.00

As selected by owner to include bathroom walls and floors, foyer, kitchen floor, window sills, porch and entry covering, etc., within the above allowance value.

ENTRY DOOR:

ALLOWANCE: \$2,000.00

As selected by owner based upon an Eldorado #161 "Leesville" entry door.

INTERIOR DOORS:

To be Masonite 6-panel "Elite" with custom casing and based on door similar to those of Model #U-6, Mariner Sands (w/rosettes).

INSULATION:

All exterior air-conditioned walls shall receive 6" batt insulation (R-19). All air-conditioned ceiling areas shall have 9" batt insulation (R-30). All bath partitions adjacent to living areas and garage/house partition shall receive 3½" batt (R-11).

ELECTRICAL & LIGHTING FIXTURES:

ALLOWANCE: \$4,700.00

Two 150 AMP services will be installed back to back with the meter panel located in the garage. All outlets and connectins shall be completed according to the plans. All switches to be rocker type. The lighting fixture allowance shall cover the cost of the following: All lighting fixtures, ceiling fans, dimmer switches, bath fans and heaters, all exterior lighting, etc.. It is acknowledged that due to the fact there is no exact fixture selection list, it is difficult to determine exactly how much the owner will spend, and that the above allowance amount is strictly a "good faith" estimate.

PLUMBING:

All plumbing to be supplied and installed according to all state and local codes by a licensed/certified plumbing contractor. The type and manufacturer of fixtures are as follows: toilets to be elongated (standard color) by American Standard or equal. Lavatories to be simulated marble. Two (2) 40 gallon electric hot water heaters/tanks shall be included. Faucets to be Delta. Laundry tray to be fiberglass. Bar sink to be stainless steel. Guest tubs to be cast iron. All water and sewer connectins and fees to be included in contract. Kitchen sink to be stainless steel Elkay Large bowl/small bowl. Each tub and shower shall have an Allison hand shower,

E. B.

AIR-CONDITIONING / HEATING SYSTEM:

Complete 8-ton air-conditioning and heating system with a total of 20 KW heat. Individual systems will be determined as per heat loss and gain factor and the complete tonnage is derived from a total of the heat gain and loss factor. The duct system in R-6 duct with all necessary supply drops as per heat gain and loss factor, with one return per unit. All grills and return grills including filter shall be installed as needed. Also included are all emergency drain pans with condensate lines, refrigerant lines and low voltage wiring with one thermostat per unit. All venting shall be included except for stove vent. The equipment shall be Carrier or equal with an S.E.E.R. rating of 9.0. Air-conditioning subcontractor shall supply all necessary permits and shall start-up equipment prior to owner taking occupancy. One heat recovery unit shall also be included. One heat pump hot water supplier will also be included.

APPLIANCES:

ALLOWANCE: \$5,300.00

To include Maytag washer & dryer. Triple JennAir w/ griddle, 25 foot Whirlpool refrigerator w/ water and ice in the door. Including Whirlpool RB270 double oven, KDS-21 dishwasher by Kitchen Aid, Insinkerator disposal HISE333SS, icemaker by U/Line Combo. 65A w/facing.

UTILITIES:

To be septic tank and city water

SPECIALTIES:

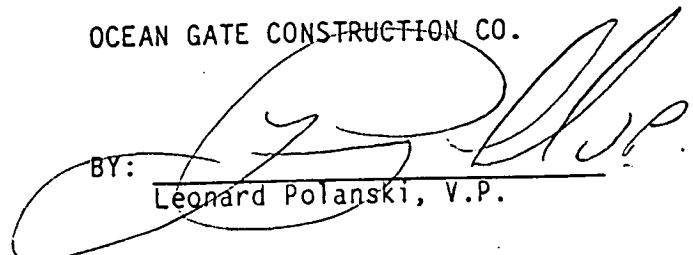
Built-in vacuum  
Intrusion system  
Intercom  
Shelving  
Shower enclosures  
Mirrors

ALLOWANCES:

\$ 585.00  
2,000.00  
505.00  
500.00  
800.00  
970.00

OCEAN GATE CONSTRUCTION CO.

DATE: May 21, 1986

BY:   
Leonard Polanski, V.P.

MR. & MRS. WALTER GEISENHAINER

DATE: May 21, 1986

BY: Elizabeth Geisenhainer  
BY: Walter Geisenhainer

E.B.

STUBOUT ELEVATION AND FILL CERTIFICATION

APPLICANT: LEN POLANSKI  
LEGAL DESCRIPTION: LOT 1 PALMETTO PARK  
SEPTIC TANK PERMIT NUMBER: HD86-353

The items noted below must be certified by a surveyor or engineer and returned to the Health Department prior to the first plumbing inspection by the Building Department.

- 1. Building Permit Number: \_\_\_\_\_
- 2. I certify that the elevation of the top of the lowest plumbing stubout is at or above the approved elevation as shown on septic tank permit application.  
Date elevation checked: \_\_\_\_\_
- 3. I certify that the top of the lowest building plumbing stubout is \_\_\_\_\_ feet above the crown of road.
- 4. I certify that all severe limited soil has been removed from an area of \_\_\_\_\_ feet by \_\_\_\_\_ feet to a minimum depth of six (6) feet below top of required stubout elevation. Submit plot plan to scale of excavated area.

Date observed: \_\_\_\_\_

- NOTE:
- a. Severe limited soil includes but is not limited to hardpan, clay, silt, marl or muck.
  - b. Drainfield must be centered in the excavated area. Please set stakes to identify the excavated area boundaries. Drainfield will not be approved if severe limited soils are not removed.

CERTIFIED BY: \_\_\_\_\_ As applicant or applicant's representative, I understand the above requirements.  
 Florida Professional Number: \_\_\_\_\_  
 Date: \_\_\_\_\_ Job Number: \_\_\_\_\_  
 \_\_\_\_\_  
 (Signature)

FOR MARTIN COUNTY PUBLIC HEALTH UNIT USE ONLY

\_\_\_\_\_  
 (Signature of Environmental Health Specialist) \_\_\_\_\_ (Date)

MARTIN COUNTY PUBLIC HEALTH UNIT  
131 East 7th Street  
Stuart, Florida 33497  
287-2277

SITE EVALUATION

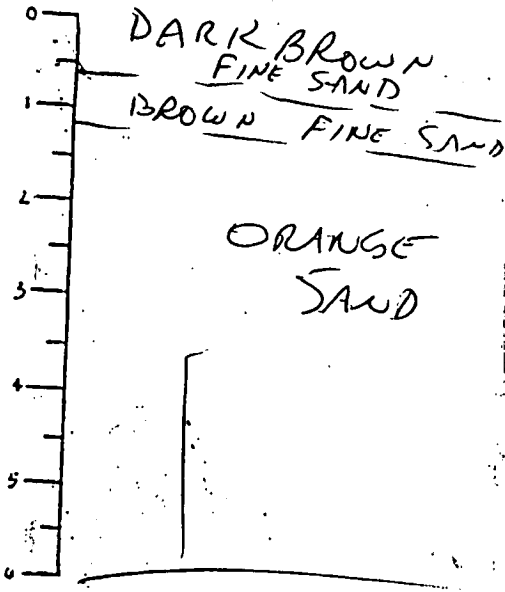
APPLICANT:

LEN POJANSKI

LEGAL DESCRIPTION:

LOT 1 PALMETTO PARK

SOIL PROFILE



USDA SOIL TYPE

PAUA

USDA SOIL NUMBER

6

Impervious soils are present at  
>6 feet below natural grade.

PRESENT WATER DEPTH BELOW NATURAL GRADE NONE ENCOUNTERED FEET.

WET SEASON RANGE PER SOIL SURVEY >6 FEET.

ESTIMATED WET SEASON WATER DEPTH BELOW NATURAL GRADE >6 FEET

INDICATOR VEGETATION PRESENT SUB-TROPICAL MARLWOODS

IS BENCHMARK LOCATED ON PLOT PLAN AND PRESENT ON SITE? YES

APPROXIMATE AMOUNT OF FILL ON NEIGHBORING LOTS N/A

OTHER FINDINGS:

EVALUATION BY:

Daniel M. Siskowski

DATE:

6-25-86

MARTIN COUNTY PUBLIC HEALTH UNIT  
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM

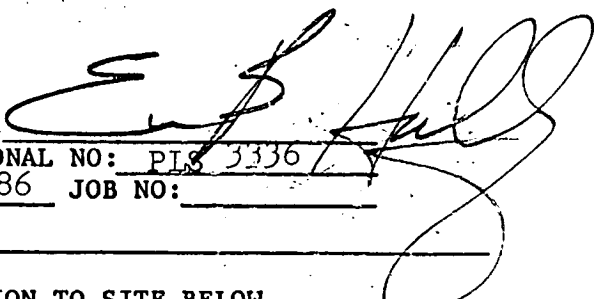
SITE INFORMATION

1. IS THERE A SEPTIC SYSTEM OR OTHER INTERFERENCE WITHIN 75 FEET OF THE PROPOSED PRIVATE WELL? NO
2. IS THERE A PRIVATE WELL WITHIN 75 FEET OF THE PROPOSED SEPTIC SYSTEM? NO
3. IS THERE A LIMITED USE NON-COMMUNITY OR OTHER PUBLIC WELL WITHIN 100 FEET OF PROPOSED SEPTIC SYSTEM? NO
4. IS THERE A PUBLIC WELL WITHIN 200 FEET OF THE PROPOSED SEPTIC SYSTEM? NO
5. IS THERE A PUBLIC SEWER WITHIN 100 FEET OF THE PROPOSED LOT? NO
6. IS THERE A LAKE, STREAM, WETLAND, OR OTHER BODY OF WATER WITHIN 75 FEET OF THE PROPOSED SEPTIC SYSTEM? NO
7. IS THERE A PROPOSED OR EXISTING PUBLIC WATER LINE WITHIN TEN FEET OF THE PROPOSED SEPTIC SYSTEM? NO
8. IS THERE A STORM WATER RETENTION AREA OR DRAINAGE EASEMENT WITHIN 15 FEET OF THE PROPOSED SEPTIC SYSTEM? NO
9. IS THE SEPTIC SYSTEM IN AN AREA PROPOSED FOR PAVING OR VEHICULAR TRAFFIC? NO
10. ARE ALL PRIVATE WELLS, SEPTIC SYSTEMS AND SURFACE WATER ON ADJACENT OR CONTIGUOUS LAND WITHIN 75 FEET OF THE APPLICANT'S LOT, IF PRESENT, SHOWN ON PLOT PLAN? YES
11. ARE ALL PUBLIC WELLS WITHIN 200 FEET OF THE APPLICANT'S LOT, IF PRESENT, SHOWN ON PLOT PLAN? YES
12. DOES THE PLOT PLAN INCLUDE A PLAT OF THE LOT OR TOTAL SITE OWNERSHIP DRAWN TO SCALE, BOUNDARIES WITH DIMENSIONS, LOCATIONS OF BUILDINGS OR RESIDENCES, SWIMMING POOLS, RECORDED EASEMENTS, THE PROPOSED SEPTIC SYSTEM, ANY PROPOSED OR EXISTING WELLS, PUBLIC WATER LINES, PAVED AREAS OR DRIVEWAYS, AND SURFACE WATERS SUCH AS LAKES, PONDS, STREAMS, CANALS, OR WETLANDS? YES
13. THERE IS 3150 SQUARE FEET OF AVAILABLE LAND TO INSTALL THE SEPTIC SYSTEM. THIS AREA EXCLUDES INTERFERENCES. SHADE THIS AVAILABLE AREA.

ELEVATIONS

1. CROWN OF ROAD ELEVATION 44.33' SHOW LOCATION ON PLOT PLAN.  
IF ROAD IS NOT PAVED, BENCHMARK ELEVATION \_\_\_\_\_ SHOW LOCATION ON PLOT PLAN.
2. NATURAL GRADE ELEVATION IN AREA OF PROPOSED SEPTIC SYSTEM 36.2  
SHOW LOCATION ON PLOT PLAN:
3. IS BUILDING LOCATED IN FLOOD HAZARD AREA "A" OR "V" AS IDENTIFIED ON FEMA MAPS? NO IF YES, WHAT IS THE MINIMUM REQUIRED FLOOD HAZARD FLOOR ELEVATION OF BUILDING? \_\_\_\_\_ NGVD 1929 (ELEVATION OPTIONAL)

NOTE: MUST BE CERTIFIED BY REGISTERED SURVEYOR OF ENGINEER IN THE STATE OF FLORIDA.

CERTIFIED BY:   
FL. PROFESSIONAL NO: PLS 3336  
DATE: 6/20/86 JOB NO: \_\_\_\_\_

SITE DIRECTIONS

ATTACH SITE LOCATION MAP OR EXPLAIN DIRECTION TO SITE BELOW

MARTIN COUNTY PUBLIC HEALTH UNIT  
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM

12 70  
DUA

PERMIT NUMBER: H086-353

NAME OF APPLICANT: Len Polanski HOME PHONE: \_\_\_\_\_

MAILING ADDRESS OF APPLICANT: 2854 South Federal Highway, Stuart, FL 33497

LOT 1 BLOCK \_\_\_\_\_ SUBDIVISION Palmetto Park

PLAT BOOK 3 PAGE 66 DATE SUBDIVIDED \_\_\_\_\_

RESIDENTIAL: NUMBER DWELLING UNITS 1 NUMBER BEDROOMS 3

HEATED OR COOLED AREA OF HOME 3153 SQUARE FEET

COMMERCIAL: TYPE OF BUSINESS PROPOSED NA NUMBER PEOPLE 2

AFFIDAVIT

I HAVE REVIEWED THIS PERMIT AND I CERTIFY THAT ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT AND ANY APPLICABLE STATE OR COUNTY REGULATIONS.

SIGNATURE OF PROPERTY OWNER OR OWNER'S LEGALLY AUTHORIZED REPRESENTATIVE:

INSTALLATION SPECIFICATIONS

SEPTIC TANK CAPACITY 1050 GALLONS

DRAINFIELD SIZE 400 SQUARE FEET

TOP OF SEPTIC TANK IS REQUIRED TO BE A MINIMUM ELEVATION OF

FINISHED SOIL GRADE  
NOT TO EXCEED 18" OF COVER OVER DRAINFIELD ROCK

MINIMUM SETBACK REQUIRED FROM PROPERTY LINES TO DRAINFIELD ROCK IS 5

THIS PERMIT EXPIRES ONE (1) YEAR FROM DATE OF ISSUANCE

ISSUED BY: Daniel M. Sarskowsky DATE: 6-27-86  
ENVIRONMENTAL HEALTH SPECIALIST

PLEASE NOTE:

Permit VOID if well or septic system is installed in a location other than area permitted. PRIOR HEALTH DEPARTMENT APPROVAL REQUIRED

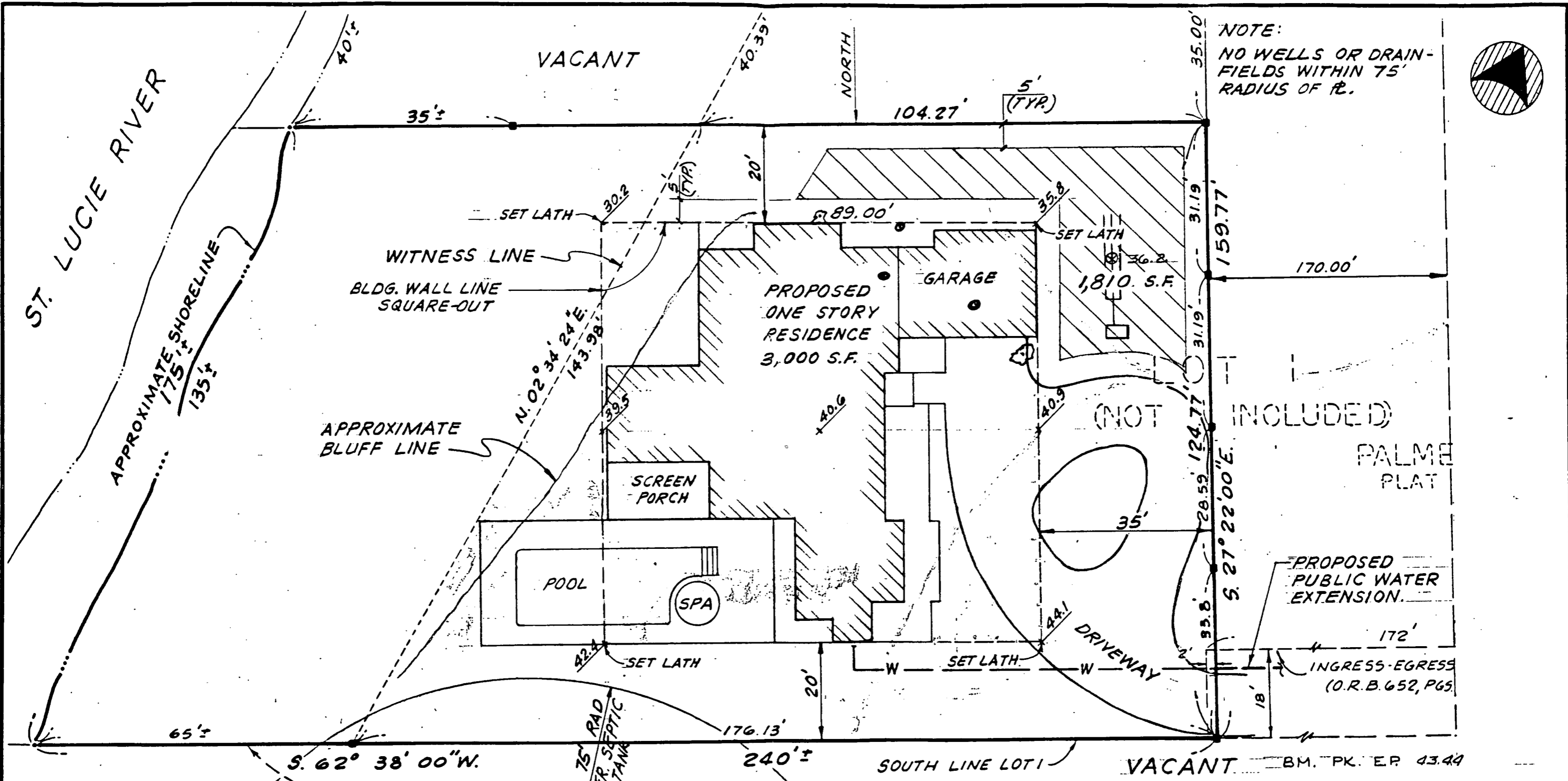
Inspection Results Will be Posted on Building Permit or on Electrical Box.

1. THIS PERMIT EXPIRES ONE YEAR FROM DATE OF ISSUANCE.
2. IF BUILDING STUBOUT IS MORE THAN 20 FEET FROM SEPTIC TANK AND DRAINFIELD, A HIGHER STUBOUT ELEVATION THAN SHOWN ABOVE WILL BE REQUIRED.
3. IF FILL IS REQUIRED, CONTACT MARTIN COUNTY BUILDING DIVISION.
4. IF ANY INFORMATION ON THIS PERMIT CHANGES, PLEASE SUBMIT AN UPDATED APPLICATION TO THIS OFFICE.
5. IF WELL OR MOUND DRAINFIELD IS PROPOSED, SEE ATTACHED SKETCH OF ADDITIONAL SPECIAL REQUIREMENTS.

FINAL INSPECTION

CONSTRUCTION APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
ENVIRONMENTAL HEALTH SPECIALIST

AN APPROVED SYSTEM DOES NOT GUARANTEE PERFORMANCE



NOTE:  
NO WELLS OR DRAIN-FIELDS WITHIN 75' RADIUS OF R.



NOTE:  
ELEVATIONS ARE ASSUMED N.G.V.D.  
*Eric B. Hall* PLS 3334

LOT 2 (NOT INCLUDED)-  
PALMETTO PARK  
PLAT BOOK 3, PAGE 66

**PRELIMINARY SITE SKETCH**  
H.R.S. SEPTIC TANK APPLICATION

SCALE: 1" = 20'	APPROVED BY	DRAWN BY G. H. R.
DATE: 5-30-86		
PREPARED FOR: <b>OCEAN GATE BUILDERS INC.</b>		
<b>GEISENHAINER</b>		DRAWING NUMBER 131-01-02

**PLANDEV INC.** ENGINEERS, PLANNERS, SURVEYORS.  
201 S.W. MONTEREY RD. STUART FLA. 33497 PH. 305-286-2020



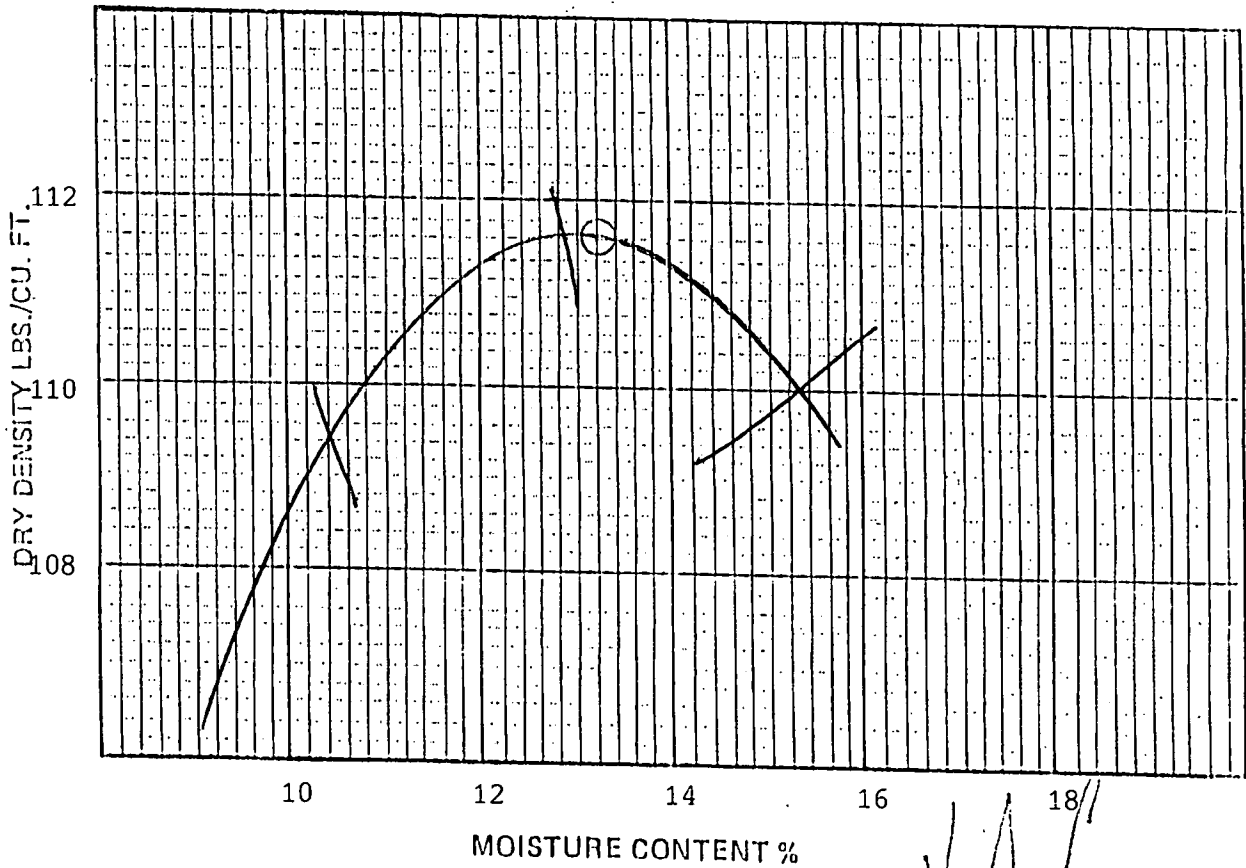
CONSTRUCTION TESTING SERVICES, INC.  
1666 S.E. VILLAGE GREEN DRIVE-UNIT I  
PORT ST. LUCIE, FL. 33452  
335-0724 P.S.L. 878-1702 Ft. P  
842-3536 W.P.B. 778-1924 Vero  
1-800-325-2978

**CITY COPY**

REPORT OF  
MOISTURE - DENSITY RELATIONSHIP OF SOIL

PROJECT GEISENHAINER RESIDENCE REPORT NO. 013-110-1  
LOCATION 22 PALMETTO RD DATE 8-13-86  
CLIENT OCEAN GATE CONSTRUCTION TYPE PROCTOR T-180  
SOIL DESCRIPTION DARK BROWN SAND WITH HARD PAN  
TO BE USED FOR HOUSE PAD  
MAXIMUM DENSITY OF MATERIAL 111.6 P.C.F. OPTIMUM MOISTURE 13.2 %

MOISTURE - DENSITY RELATIONSHIP CURVE



LAB TECHNICIAN T.C.  
PLOTTED BY T.C.  
CHECKED BY L.V.E.  
jae

APPROVED V. J. Gerley  
Victor J. Gerley, P.E.  
Larry V. Eardley  
Larry V. Eardley, President



**CONSTRUCTION  
TESTING  
SERVICES, INC.**

1666 S.E. Village Green Drive - Unit 1 • Port St. Lucie, Florida 33452  
 MATERIALS TESTING & INSPECTIONS  
 SOILS • CONCRETE • ENGINEERING SERVICES  
 (305) 335-0724 • 1-800-325-2978

**DAILY SOILS INSPECTION**

SEWALLS PT 1955

PROJECT GEISENHAINER RESIDENCE REPORT NO. 013-110-2  
 LOCATION 22 PALMETTO RD DATE 8-13-86  
 CLIENT OCEAN GATE CONSTRUCTION TYPE PROCTOR T-180  
 METHOD OF COMPACTION N/A DENSITY REQUIRED 95 %  
 SOIL DESCRIPTION DARK BROWN SAND WITH HARD PAN  
 MAXIMUM DENSITY OF MATERIAL 111.6 P.C.F. OPTIMUM MOISTURE 13.2 %

LOCATIONS AND TEST RESULTS				
TEST NUMBER	TEST LOCATION	DEPTH BELOW FINISHED GRADE	PERCENT MOISTURE	PERCENT COMPACTION
1.	CENTER OF NORTH WEST QUARTER OF BUILDING	0-1'	11.2	97.7
2.	CENTER OF NORTH WEST QUARTER OF BUILDING	1-2'	11.7	96.8
3.	CENTER OF NORTH WEST QUARTER OF BUILDING	2-3'	12.4	96.3
4.	CENTER OF NORTH EAST QUARTER OF BUILDING	0-1'	15.1	97.2

REMARKS: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

FIELD TECHNICIAN T.C. APPROVED Victor J. Gerley, P.E.  
 SHEET 1 OF 1  
Larry V. Eardley  
 Larry V. Eardley, President

jae

**RECORD OF INSPECTIONS**

**TOWN OF SEWALL'S POINT, FLORIDA**

**CERTIFICATE OF APPROVAL FOR OCCUPANCY**

Date 1/20/87

This is to request that a Certificate of Approval for Occupancy be issued to GEI Senhauer  
 For property built under Permit No. 1955 Dated 7/2/86 when completed in  
 conformance with the Approved Plans.

Dale Brown

Item		
1. LOT STAKES/SET BACKS	<u>8/4/86</u>	Signed
2. TERMITE PROTECTION		
3. FOOTING - SLAB	<u>8/21/86 DB</u>	<u>7/23/86 DB</u> Approved by
4. ROUGH PLUMBING	<u>8/18/86 DB</u>	
5. ROUGH ELECTRIC	<u>10/22/86 DB</u>	
6. LINTEL		
7. ROOF		
8. FRAMING	<u>10/22/86 DB</u>	
9. INSULATION	<u>11/3/86 DB</u>	
10. A/C DUCTS	<u>10/22/86 DB</u>	
11. FINAL ELECTRIC	<u>1/20/87 DB</u>	
12. FINAL PLUMBING	<u>1/20/87 DB</u>	
13. FINAL CONSTRUCTION	<u>1/20/87 DB</u>	

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector Dale Brown 1/20/87 date

Approved by Building Commissioner GC Strubell 1/29/87 date

Utilities notified FPL 1/20/87 date

Original Copy sent to \_\_\_\_\_

(Keep carbon copy for Town files)

Permit No. 1967

Date 7-11-86

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner W. GEISENHAINER Present Address ~~SEWALL'S POINT~~

Phone \_\_\_\_\_

Contractor LOUDEN CONSTRUCTION CO. Address 4306 S. US-1 FT. PIERCE

Phone 286-5760

Where licensed MARTIN CNTY License number CPCO 11421

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: CONSTRUCT SWIMMING POOL

State the street address at which the proposed structure will be built:

S. RIVER RD.

Subdivision PALMETTO PARK Lot number 1 Block number —

Contract price \$ 11,000 Cost of permit \$ 55XX

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Thomas H. Aubrey

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner W. Geisenhainer

TOWN RECORD

Date submitted 7/17/86 Approved: Dale B... Building Inspector 7/21/86 Date

Approved: SC Strubell Commissioner 7/21 Date Final Approval given: \_\_\_\_\_ Date

Certificate of Occupancy issued (if applicable) \_\_\_\_\_ Date

SP1282

Permit No. 1967

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

**FLORIDA ENERGY EFFICIENCY CODE  
FOR BUILDING CONSTRUCTION**

**FORM 900-A-86**

**SECTION 9 — RESIDENTIAL POINT SYSTEM METHOD  
DEPARTMENT OF COMMUNITY AFFAIRS**

**CLIMATE ZONES  
SOUTH 7 8 9**

This form may be used to demonstrate compliance with the Energy Code for new single-family detached or multifamily attached dwellings under Section 9. An alternative to this method for single-family detached dwellings, and multifamily attached dwellings of three stories or less, is provided in Section 10. Multifamily attached dwellings greater than three stories must comply under Section 9 or 5. Additions to existing residential buildings must comply under Section 9 or 10. Additional information may be obtained from your local building department or the Department of Community Affairs, Energy Code Program, 2571 Executive Center Circle East, Tallahassee, Florida 32301-8244.

<b>PROJECT NAME AND ADDRESS:</b>	<u>Home C</u>	<b>PERMITTING OFFICE:</b>	
<b>BUILDER:</b>		<b>CIRCLE CLIMATE ZONE:</b>	7    8    9
<b>OWNER:</b>		<b>PERMIT NO.:</b>	
		<b>JURISDICTION NO.:</b>	□ □ □ □ □ □

<input checked="" type="checkbox"/> <b>DETACHED</b> NEW <input type="checkbox"/> ADD.  <input type="checkbox"/> <b>ATTACHED</b> NEW <input type="checkbox"/> ADD.	CHECK IF WORST CASE CALCULATION: <input type="checkbox"/> IF MULTIFAMILY, NUMBER OF UNITS: □ □ □	<b>GLASS AREA AND TYPE</b>																		
	<table border="1"> <tr> <th>CONDITIONED FLOOR AREA</th> <th colspan="2">CEILING INSULATION</th> <th>CLEAR</th> <th>TINT FILM, SOLAR SCREEN</th> </tr> <tr> <td>□ □ □ □ □</td> <td>UNDER ATTIC</td> <td>SGL. ASSEMBLY</td> <td>□ □ □ □ □ SGL</td> <td>□ □ □ □ □ SGL</td> </tr> <tr> <td>□ □ □ □ □</td> <td>R = □ □ . □</td> <td>R = □ □ . □</td> <td>□ □ □ □ □ DBL</td> <td>□ □ □ □ □ DBL</td> </tr> </table>	CONDITIONED FLOOR AREA	CEILING INSULATION		CLEAR	TINT FILM, SOLAR SCREEN	□ □ □ □ □	UNDER ATTIC	SGL. ASSEMBLY	□ □ □ □ □ SGL	□ □ □ □ □ SGL	□ □ □ □ □	R = □ □ . □	R = □ □ . □	□ □ □ □ □ DBL	□ □ □ □ □ DBL	<table border="1"> <tr> <td>□ □ □ □ □</td> <td>□ □ □ □ □</td> </tr> <tr> <td>□ □ □ □ □</td> <td>□ □ □ □ □</td> </tr> </table>	□ □ □ □ □	□ □ □ □ □	□ □ □ □ □
CONDITIONED FLOOR AREA	CEILING INSULATION		CLEAR	TINT FILM, SOLAR SCREEN																
□ □ □ □ □	UNDER ATTIC	SGL. ASSEMBLY	□ □ □ □ □ SGL	□ □ □ □ □ SGL																
□ □ □ □ □	R = □ □ . □	R = □ □ . □	□ □ □ □ □ DBL	□ □ □ □ □ DBL																
□ □ □ □ □	□ □ □ □ □																			
□ □ □ □ □	□ □ □ □ □																			

NET WALL AREA AND INSULATION							
CBS	R=	FRAME	R=	STEEL STUD	R=	LOG	R=
□ □ □ □ □	□ □ . □	□ □ □ □ □	□ □ . □	□ □ □ □ □	□ □ . □	□ □ □ □ □	□ □ . □

DUCTS	COOLING SYSTEM	HEATING SYSTEM		HOT WATER SYSTEM	
IN UNCOND. SPACE R = □ □ . □ IN COND. SPACE R = □ □ . □	<input checked="" type="checkbox"/> CENTRAL <input type="checkbox"/> NONE <input type="checkbox"/> ROOM <input type="checkbox"/> PTAC SEER/EER = □ □ . □	<input type="checkbox"/> ELECTRIC STRIP <input checked="" type="checkbox"/> HEAT PUMP <input type="checkbox"/> NATURAL GAS <input type="checkbox"/> ROOM/PTHP <input type="checkbox"/> OTHER FUELS <input type="checkbox"/> NONE COP/AFUE = □ . □ □	<input type="checkbox"/> ELECTRIC <input type="checkbox"/> NATURAL GAS <input type="checkbox"/> OTHER FUELS EF = □ . □ □	<input type="checkbox"/> SOLAR <input checked="" type="checkbox"/> HEAT RECOVERY <input type="checkbox"/> DED. HEAT PUMP SF/EF = □ . □ □	NUMBER OF BEDROOMS = □ □

<b>INFILTRATION PRACTICE USED</b> <input type="checkbox"/> #1 <input checked="" type="checkbox"/> #2 <input type="checkbox"/> #3	<table border="1"> <tr> <td>58577.8</td> <td>÷</td> <td>63244.4</td> <td>×</td> <td>100</td> <td>=</td> <td>92.6</td> </tr> <tr> <td align="center" colspan="3">TOTAL AS-BUILT POINTS</td> <td align="center" colspan="3">TOTAL BASE POINTS</td> <td align="center">CALCULATED E.P.I.</td> </tr> </table>	58577.8	÷	63244.4	×	100	=	92.6	TOTAL AS-BUILT POINTS			TOTAL BASE POINTS			CALCULATED E.P.I.
58577.8	÷	63244.4	×	100	=	92.6									
TOTAL AS-BUILT POINTS			TOTAL BASE POINTS			CALCULATED E.P.I.									
<b>CALCULATED ENERGY PERFORMANCE INDEX MUST NOT EXCEED 100 POINTS.</b>															

In accordance with Section 553.907 F.S., I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code. OWNER/AGENT: <u>[Signature]</u> DATE: <u>5-31-86</u>	Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.908 F.S. BUILDING OFFICIAL: _____ DATE: _____
--	---

9A PRESCRIPTIVE MEASURES (Must be met or exceeded by all residences.)			
COMPONENTS	SECTION	REQUIREMENTS	CHECK
WINDOWS	904.1	MAXIMUM OF 0.5 CFM PER LINEAR FOOT OF OPERABLE SASH CRACK.	✓
EXTERIOR & ADJACENT DOORS	904.1	MAXIMUM OF 0.5 CFM PER SQ. FT. OF DOOR AREA. INCLUDES SLIDING GLASS DOORS, SOLID CORE, WOOD PANEL, INSULATED, OR GLASS DOORS ONLY.	✓
EXT. JOINTS & CRACKS	904.1	TO BE CAULKED, GASKETED, WEATHERSTRIPPED OR OTHERWISE SEALED.	✓
WATER HEATERS	904.2	MUST BEAR LABEL INDICATING COMPLIANCE WITH ASHRAE STANDARD 90 OR COMPLY WITH EFFICIENCY AND STANDBY LOSS REQUIREMENTS. SWITCH OR CLEARLY MARKED CIRCUIT BREAKER (ELECTRIC), OR CUT-OFF (GAS) MUST BE PROVIDED. AN EXTERNAL OR BUILT-IN HEAT TRAP MUST BE PROVIDED.	✓
SWIMMING POOLS & SPAS	904.3	SPAS & HEATED POOLS MUST HAVE COVERS (EXCEPT SOLAR HEATED). NON-COMMERCIAL POOLS MUST HAVE A PUMP TIMER. GAS SPA & POOL HEATERS MUST HAVE MINIMUM THERMAL EFFICIENCY OF 75%.	✓
HOT WATER PIPES	904.4	INSULATION IS REQUIRED ONLY FOR RECIRCULATING SYSTEMS. IN SUCH CASES, PIPING HEAT LOSS SHALL BE LIMITED TO 17.5 BTU/H/LINEAR FOOT OF PIPE.	✓
SHOWER HEADS	904.5	WATER FLOW MUST BE RESTRICTED TO NO MORE THAN 3 GALLONS PER MINUTE AT 20 TO 80 PSIG.	✓
HVAC DUCT CONSTRUCTION	903.2	CONSTRUCTED IN ACCORDANCE WITH INDUSTRY STANDARDS & LOCAL MECHANICAL CODES. DUCTS IN UNCONDITIONED SPACE MUST BE INSULATED TO MINIMUM R- 4.2 & JOINTS MUST BE SEALED.	✓
HVAC CONTROLS	904.7	SEPARATE READILY ACCESSIBLE MANUAL OR AUTOMATIC THERMOSTAT FOR EACH SYSTEM.	✓
CEILING INSUL.	904.9	MINIMUM R-19.	✓

# SUMMER CALCULATIONS

CLIMATE ZONES 7 8 9

OR	GLASS AREA	×	BASE SPM	=	BASE SUMMER POINTS
N	39		60.2		2347.8
NE			88.0		
E	128		127.0		16256
SE			135.0		
S	24		124.2		2980.8
SW			135.0		
W	64		127.0		8128
NW			88.0		
H*			124.2		
GLASS					
N	64		60.2		3852.8
N	30		60.2		1806
N	9		60.2		541.8
E	128		127.0		16256
E	56		127.0		7112
E	128		127.0		16256
S	50		124.2		6210
S	40		124.2		4968
W	32		127.0		4064
W	112		127.0		14224
W	24		127.0		3048
W	36		127.0		4572

OR	GLASS AREA	×	SINGLE SPM		OR	DOUBLE SPM		×	SOF (9B)	=	AS-BUILT GLASS SUM. PTS.
			CLEAR	TINT**		CLEAR	TINT**				
N	39		64.5	65.2		60.2	54.9		1.0		2542.8
NE			94.8	94.5		88.0	78.2				
E	128		136.3	133.9		127.0	109.5		.81		13882.8
SE			146.2	143.0		135.0	116.1				
S	24		135.6	132.5		124.2	107.7		.54		1717.2
SW			146.2	143.0		135.0	116.1				
W	64		136.3	133.9		127.0	109.5		.81		6941.4
NW			94.8	94.5		88.0	78.2				
H*			428.7	354.7		380.6	278.9				
GLASS											
N	64			65.2					.53		2211.6
N	30			65.2					.80		1564.8
N	9			65.2					.74		434.2
E	128			133.9					.59		10112.1
E	56			133.9					.41		3074.3
E	128			133.9					.93		15939.5
S	24			132.5					1.0		3180
S	40			132.5					.30		1590
W	32			133.9					.70		2999.4
W	112			133.9					.93		13947
W	24			133.9					.59		1896
W	36			133.9					.75		3615.3

.15	COND. FLOOR AREA	+	TOTAL GLASS AREA	=	BASE ADJ. FACTOR	×	BASE GLASS SUBTOTAL	=	ADJUSTED GLASS BASE SP
.15	3379		964		.5258		112623.2		59217.3

AS-BUILT GLASS SUBTOTAL	85648.4
-------------------------	---------

COMPONENT DESCRIPTION	AREA	×	BASE SUM. PT. MULT.	=	BASE SUMMER POINTS
WALL EXTERIOR	3265.4		1.6		5224.6
WALL ADJACENT	—		1.0		—

COMPONENT DESCRIPTION	AREA	×	SUM. PT. MULT. (9C THRU 9G)	=	AS-BUILT SUMMER POINTS
R19	3265.4		1.6		5224.6

COMPONENT DESCRIPTION	AREA	×	BASE SUM. PT. MULT.	=	BASE SUMMER POINTS
DOORS EXTERIOR	59.6		12.9		768.8
DOORS ADJACENT	—		4.9		—

COMPONENT DESCRIPTION	AREA	×	SUM. PT. MULT. (9C THRU 9G)	=	AS-BUILT SUMMER POINTS
WOOD	59.6		11.8		703.3

COMPONENT DESCRIPTION	AREA	×	BASE SUM. PT. MULT.	=	BASE SUMMER POINTS
CEIL UNDER ATTIC OR SINGLE ASSEMBLY	2491		.8		1992.8

COMPONENT DESCRIPTION	AREA	×	SUM. PT. MULT. (9C THRU 9G)	=	AS-BUILT SUMMER POINTS
R19	2491		1.5		3736.5

COMPONENT DESCRIPTION	AREA	×	BASE SUM. PT. MULT.	=	BASE SUMMER POINTS
FLOOR SLAB			-20.0		
FLOOR RAISED	1990		-2.16		-4298.4

COMPONENT DESCRIPTION	AREA	×	SUM. PT. MULT. (9C THRU 9G)	=	AS-BUILT SUMMER POINTS
R0	1990		.8		1592

FOR SLAB-ON-GRADE USE PERIMETER LENGTH ALONG CONDITIONED FLOOR IN PLACE OF AREA.

INFILTRATION	3379		14.7		49671.3
--------------	------	--	------	--	---------

#2	3379		14.7		49671.3
----	------	--	------	--	---------

USE FLOOR AREA OF CONDITIONED SPACE.

TOTAL COMPONENT BASE SUMMER POINTS	112576.4
------------------------------------	----------

TOTAL COMPONENT AS-BUILT SUMMER POINTS	147173.1
--	----------

COOLING SYSTEM	BASE CSM	×	TOTAL BASE SUM. PTS.	=	BASE COOLING POINTS
	.43		112576.4		48407.9

TOTAL AS-BUILT SUM. PTS.	AS-BUILT DM (9H)	×	AS-BUILT CSM (9K)	×	AS-BUILT CCM (9L)	=	AS-BUILT COOLING POINTS
147173.1	1.14		.34		.77		43924.1

HOT WATER SYSTEM	NUMBER OF BEDROOMS	×	BASE HWM	=	BASE HOT WATER POINTS
	5		3319		16595

AS-BUILT HOT WATER SYSTEM DESC.	NUMBER OF BEDROOMS	×	AS-BUILT HWM (9M)	×	AS-BUILT HWCM (9N)	=	AS-BUILT HOT WATER POINTS
.88	5		3319		.62		10288.9

\* H = Horizontal Glass (Skylights)

\*\* For glass with known Shading Coefficient, see sec. 903.2(a). Tint Multipliers may be used for glass with solar screens, film, or tint.

# WINTER CALCULATIONS

CLIMATE ZONES 7 8 9

OR	GLASS AREA	x	BASE WPM	=	BASE WINTER POINTS
N	39		2.2		85.8
NE			1.4		
E	128		-1.1		-140.8
SE			-3.3		
S	24		-3.1		-74.4
SW			-3.3		
W	64		-1.1		-70.4
NW			1.4		
H*			-3.1		
Z	64		2.2		140.8
ZZ	30		2.2		66
ZZ	9		2.2		19.8
FF	128		-1.1		-140.8
FF	56		-1.1		-61.6
FF	128		-1.1		-140.8
FF	50		-3.1		-155
FF	40		-3.1		-124
FF	32		-1.1		-35.2
FF	112		-1.1		-123.2
FF	24		-1.1		-26.4
FF	36		-1.1		-39.6

OR	GLASS AREA	x	SINGLE WPM		OR	DOUBLE WPM		x	WOF (9B)	=	AS-BUILT GLASS WIN. PTS.
			CLEAR	TINT**		CLEAR	TINT**				
N	39		3.7	3.7		2.2	2.4		1.0		144.3
NE			2.9	2.9		1.4	1.8				
E	128		.1	.2		-1.1	-.6		5.04		129
SE			-2.1	-2.0		-3.3	-2.5				
S	24		-2.0	-1.8		-3.1	-2.4		.26		-11.2
SW			-2.1	-2.0		-3.3	-2.5				
W	64		.1	.2		-1.1	-.6		5.04		64.5
NW			2.9	2.9		1.4	1.8				
H*			-8.9	-7.8		-7.3	-5.7				
Z	64			3.7					1.26		298.4
ZZ	30			3.7					1.09		121
ZZ	9			3.7					1.12		37.3
FF	128			.2					11.04		282.6
FF	56			.2					18.12		202.9
FF	128			.2					2.58		66
FF	50			-1.8					1.0		-98
FF	40			-1.8					-1.92		-138.2
FF	32			.2					7.92		50.7
FF	112			.2					2.58		57.8
FF	24			.2					11.04		53
FF	36			.2					6.54		47.1

.15	COND. FLOOR AREA	TOTAL GLASS AREA	BASE ADJ. FACTOR	BASE GLASS SUBTOTAL	ADJUSTED GLASS BASE WP
.15	3379	964	3.5051	-819.8	-2873.5

AS-BUILT GLASS SUBTOTAL
1591.6

COMPONENT DESCRIPTION	AREA	x	BASE WIN. PT. MULT.	=	BASE WINTER POINTS
WALL EXTERIOR	3265.4		.3		979.6
WALL ADJACENT			.5		

COMPONENT DESCRIPTION	AREA	x	WIN. PT. MULT. (9C THRU 9G)	=	AS-BUILT WINTER POINTS
R19	3265.4		.3		979.6

DOORS	EXTERIOR	AREA	x	BASE WIN. PT. MULT.	=	BASE WINTER POINTS
DOORS EXTERIOR		59.6		3.8		226.5
DOORS ADJACENT				2.5		

DOORS	EXTERIOR	AREA	x	WIN. PT. MULT. (9C THRU 9G)	=	AS-BUILT WINTER POINTS
WOOD		59.6		3.5		208.6

CEIL	UNDER ATTIC OR SINGLE ASSEMBLY	AREA	x	BASE WIN. PT. MULT.	=	BASE WINTER POINTS
CEIL UNDER ATTIC OR SINGLE ASSEMBLY		2491		.1		249.1

CEIL	UNDER ATTIC OR SINGLE ASSEMBLY	AREA	x	WIN. PT. MULT. (9C THRU 9G)	=	AS-BUILT WINTER POINTS
R19		2491		.3		747.3

FLOOR	SLAB RAISED	AREA	x	BASE WIN. PT. MULT.	=	BASE WINTER POINTS
FLOOR SLAB RAISED		1990		-2.1		-4179
FLOOR SLAB ON GRADE				-.28		

FLOOR	SLAB RAISED	AREA	x	WIN. PT. MULT. (9C THRU 9G)	=	AS-BUILT WINTER POINTS
RD		1990		1.0		1990

FOR SLAB ON GRADE USE PERIMETER LENGTH ALONG CONDITIONED FLOOR IN PLACE OF AREA.

INFILTRATION	3379	x	1.2	=	4054.8
--------------	------	---	-----	---	--------

2	3379	x	1.2	=	4054.8
---	------	---	-----	---	--------

USE FLOOR AREA OF CONDITIONED SPACE.

TOTAL COMPONENT BASE WINTER POINTS	-1542.5
------------------------------------	---------

TOTAL COMPONENT AS-BUILT WINTER POINTS	9571.9
--	--------

HEATING SYSTEM	BASE HSM	x	TOTAL BASE WIN. PTS.	=	BASE HEATING POINTS
HEATING SYSTEM	1.14		-1542.5		-1758.5

TOTAL AS-BUILT WIN. PTS.	AS-BUILT DM (9H)	x	AS-BUILT HSM (9I)	x	AS-BUILT HCM (9J)	=	AS-BUILT HEATING POINTS
9571.9	1.14		40		1.0		4364.8

TOTAL	BASE COOLING POINTS (From P.2)	+ BASE HEATING POINTS	+ BASE HOT WATER POINTS (From P.2)	=	TOTAL BASE POINTS (Enter on P.1)
TOTAL	48407.9	-1758.5	16595		63244.4

AS-BUILT COOLING POINTS (From P.2)	+ AS-BUILT HEATING POINTS	+ AS-BUILT HOT WATER POINTS (From P.2)	=	TOTAL AS-BUILT POINTS (Enter on P.1)
43924.1	4364.8	10288.9		58577.8

\* H = Horizontal Glass (Skylights)

\*\* For glass with known Shading Coefficient, see sec. 903.2(a). Tint Multipliers may be used for glass with solar screens, film, or tint.

SYSTEM TYPE		HEATING SYSTEM MULTIPLIERS						
Heat Pump	COP	2.5 - 2.69	2.7 - 2.89	2.9 - 3.09	3.1 - 3.29	3.3 - 3.49	3.5 - 3.69	3.7 - Up
	HSM	.53	.49	.46	.43	.40	.38	.36
Electric Strip	HSM	1.0						
Gas & Other Fuels	HSM	1.0 (See Table 9J for Credit Multipliers)						
PTHP & Room Units	HSM	HSM for COP 2.2 - 2.49 = .63. See above for COP >>2.49.						

Minimums: Central Units 2.5 COP. PTHP & Room Units 2.2 COP.  
COP means Coefficient of Performance.

9J HEATING CREDIT MULTIPLIERS (HCM)

SYSTEM TYPE		HEATING SYSTEM MULTIPLIERS						
Multizone	HCM	.90						
	AFUE	.60 - .64	.65 - .69	.70 - .74	.75 - .79	.80 - .84	.85 - .89	.90 - Up
Natural Gas	HCM	.41	.38	.35	.33	.31	.29	.27
Other Fuels	HCM	.63	.58	.54	.51	.48	.45	.42

Where more than one credit is claimed, multiply HCM's together. Enter product on page 4.  
AFUE means Annual Fuel Utilization Efficiency.

9K COOLING SYSTEM MULTIPLIERS (CSM)

SYSTEM TYPE		COOLING SYSTEM MULTIPLIERS									
Central Units	SEER	7.8 - 7.9	8.0 - 8.4	8.5 - 8.9	9.0 - 9.4	9.5 - 9.9	10.0 - 10.4	10.5 - 10.9	11.0 - 11.4	11.5 - 11.9	12.0 - & Up
	CSM	.44	.43	.40	.38	.36	.34	.32	.31	.30	.28
PTAC & Room Unit	CSM	CSM for EER 7.5 - 7.7 = .46. For EER's >>7.7 use multipliers above.									

Minimums: Central Units 7.8 SEER. Room Units 7.5 EER. PTAC under 13,000 BTU/H 7.5 EER, and over 13,000 BTU/H 7.0 EER.  
SEER means Seasonal Energy Efficiency Ratio. EER means Energy Efficiency Ratio.

9L COOLING CREDIT MULTIPLIERS (CCM)

SYSTEM TYPE		COOLING CREDIT MULTIPLIERS
Ceiling Fans	CCM	.86
Multizone	CCM	.90
Cross Ventilation or Whole House Fan (Credit for only one)	CCM	.95

Where more than one credit is claimed, multiply CCM's together. Enter product on page 2.

9M HOT WATER MULTIPLIERS (HWM)

SYSTEM TYPE		HOT WATER MULTIPLIERS							
Electric Resistance	EF	.80 - .81	.82 - .83	.84 - .85	.86 - .87	.88 - .90	.91 - .93	.94 - .96	.97 & UP
	HWM	3650	3561	3476	3395	3318	3208	3106	3010
Natural Gas	EF	.48 - .49	.50 - .51	.52 - .53	.54 - .55	.56 - .57	.58 - .59	.60 - .61	.62 & Up
	HWM	1495	1435	1380	1329	1282	1237	1196	1158
Other Fuels	HWM	2312	2220	2135	2056	1982	1914	1850	1790

Water heaters must comply with prescriptive measures of Table 9A. EF means Energy Factor.

9N HOT WATER CREDIT MULTIPLIERS (HWCM)

SYSTEM TYPE		HOT WATER CREDIT MULTIPLIERS									
Solar Water Heater	SF	.1	.2	.3	.4	.5	.6	.7	.8	.9	1.0
	HWCM	.9	.8	.7	.6	.5	.4	.3	.2	.1	.0
Heat Recovery Unit	With	Air-conditioner					Heat Pump				
	HWCM	.62					.58				
Dedicated Heat Pump	EF	2.0 - 2.49		2.5 - 2.99			3.0 - 3.49		3.5 & Up		
	HWCM	.44		.35			.29		.25		

A HWM must be used in conjunction with all HWCM. See Table 9M.  
SF means Solar Fraction. EF means Energy Factor.

9P INFILTRATION REDUCTION PRACTICE COMPLIANCE CHECKLIST (See Section 903.2(f))

COMPONENTS	REQUIREMENTS FOR EACH PRACTICE	CHECK
PRACTICE #1	COMPLY WITH ALL INFILTRATION PRESCRIPTIVES ON TABLE 9A.	
PRACTICE #2	COMPLY WITH PRACTICE #1 AND THE FOLLOWING:	
Exterior Walls and Floors	Top plate penetrations sealed. Infiltration barrier installed. Sole plate/floor joint caulked or sealed.	
Exterior Walls & Ceilings	Penetrations, joints and cracks on interior surface caulked, sealed or gasketed.	
Ductwork	Ductwork in unconditioned space must be sealed.	
Fireplaces	Equipped with outside combustion air, doors, and flue dampers.	
Exhaust Fans	Equipped with dampers. Combustion devices see 903.2(f).	
PRACTICE #3	COMPLY WITH PRACTICES #1 AND #2 AND THE FOLLOWING:	
Ceilings	Infiltration barrier installed.	
Interior Walls	Top plate penetrations sealed or joints & cracks on interior walls caulked, sealed or gasketed.	
Recessed Lights	Sealed from conditioned space & insulated from ventilated attic spaces.	
Ductwork	All ductwork located in conditioned space.	
Combustion Appliances	Be in unconditioned space (except direct vent), draw air from unconditioned space, exhaust by-products to outside. Stoves see 903.2(f).	



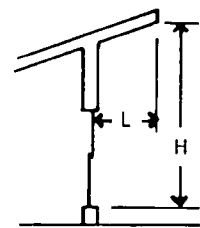
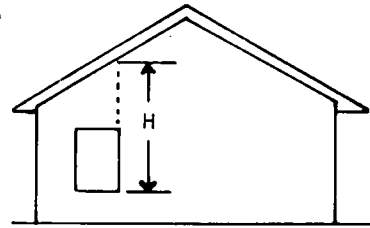
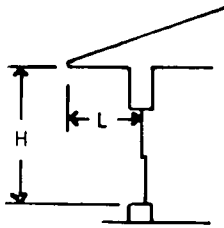
# WINTER POINT MULTIPLIERS

9B WINTER OVERHANG FACTORS (WOF)

CLIMATE ZONES 7 8 9

ORIENTATION	OVERHANG RATIO											
	0.0 - 0.17	0.18 - 0.26	0.27 - 0.35	0.36 - 0.46	0.47 - 0.57	0.58 - 0.70	0.71 - 0.83	0.84 - 1.18	1.19 - 1.72	1.73 - 2.73	2.74 - 5.66	5.67 - Up
<b>SINGLE PANE GLASS</b>												
N	1.0	1.04	1.06	1.07	1.09	1.11	1.12	1.14	1.18	1.22	1.26	1.30
NE/NW	1.0	1.08	1.13	1.17	1.21	1.24	1.27	1.30	1.37	1.45	1.51	1.56
E/W	1.0	2.58	3.78	5.04	6.54	7.92	9.43	11.04	14.42	18.12	22.04	24.38
SE/SW	1.0	.87	.76	.64	.48	.32	.15	-.03	-.43	-.91	-1.46	-1.79
S	1.0	.91	.79	.65	.47	.28	.26	-.34	-1.11	-1.68	-1.92	-2.03
<b>DOUBLE PANE GLASS</b>												
N	1.0	1.05	1.08	1.10	1.12	1.14	1.17	1.18	1.24	1.29	1.34	1.39
NE/NW	1.0	1.12	1.20	1.26	1.32	1.37	1.41	1.47	1.57	1.69	1.78	1.87
E/W	1.0	.74	.55	.34	.10	-.12	-.36	-.63	-1.17	-1.77	-2.41	-2.79
SE/SW	1.0	.92	.85	.77	.67	.57	.45	.34	.08	-.23	-.58	-.80
S	1.0	.94	.87	.78	.66	.54	.38	.15	-.34	-.70	-.86	-.92

OVERHANG RATIO = L/H



9C WALL WINTER POINT MULTIPLIERS (WPM)

FRAME			CONCRETE BLOCK						FACE BRICK		LOG	
WOOD			INTERIOR INSUL.			EXT. INSUL.			R-VALUE	WOOD FR	6 INCH	
R-VALUE	EXT	ADJ	R-VALUE	EXT	ADJ	EXT	NORM	LT WT	0 - 6.9	2.4	R-VALUE	EXT
0 - 6.9	2.5	1.7	0 - 2.9	1.9	.7	1.5	1.9	1.5	7 - 10.9	.6	0 - 2.9	.6
7 - 10.9	.8	.6	3 - 4.9	1.2	.5	.9	.6	.5	11 - 18.9	.5	3 - 6.9	.3
11 - 12.9	.6	.5	5 - 6.9	.9	.4	.7	.3	.3	19 - 25.9	.2	7 & Up	.2
13 - 18.9	.6	.5	7 - 10.9	.7	.4	.5	.2	.2	26 & Up	.1	<b>8 INCH</b>	
19 - 25.9	.3	.3	11 - 18.9	.4	.2	.3	0	0	0 - 2.9	.9	R-VALUE	EXT
26 & Up	.2	.2	19 - 25.9	.2	.1	.2			3 - 6.9	.6	0 - 2.9	.2
<b>STEEL</b>			26 & Up	.1	0	.1			7 - 9.9	.4	3 - 6.9	.1
R-VALUE	EXT	ADJ							10 & Up	.2	7 & Up	.1
0 - 6.9	3.4	2.2										
7 - 10.9	1.5	1.0										
11 - 12.9	1.1	0.8										
13 - 18.9	1.0	0.7										
19 - 25.9	0.9	0.6										
26 & Up	0.4	0.3										

9E CEILING WINTER POINT MULTIPLIERS (WPM)

UNDER ATTIC		SINGLE ASSEMBLY		CONCRETE DECK ROOF		
R-VALUE	WPM	R-VALUE	WPM	CEILING TYPE		
R-VALUE	WPM	R-VALUE	WPM	R-VALUE	DROPPED	EXPOSED
19 - 21.9	.3	5 - 6.9	1.5	10 - 13.9	.0	.1
22 - 25.9	.2	7 - 8.9	.9	14 - 20.9	.0	.0
26 - 29.9	.2	9 - 10.9	.6	21 & Up	.0	.0
30 - 37.9	.1	11 - 12.9	.5			
38 & Up	.1	13 - 18.9	.5			
		19 - 25.9	.3			
		26 & Up	.1			

CREDIT MULTIPLIER FOR ATTIC RADIANT BARRIER = .57

9D DOOR WINTER POINT MULTIPLIERS (WPM)

DOOR TYPE	EXT	ADJ
WOOD	3.5	2.3
INSULATED	3.8	2.5

9F FLOOR WINTER POINT MULTIPLIERS (WPM)

SLAB-ON-GRADE EDGE INSULATION		RAISED CONCRETE		RAISED WOOD (See 903.2(e))	
R-VALUE	WPM	R-VALUE	WPM	R-VALUE	WPM
0 - 2.9	-.2.1	0 - 2.9	1.0	0 - 6.9	.8
3 - 4.9	-.2.6	3 - 4.9	.3	7 - 10.9	.2
5 - 6.9	-.2.7	5 - 6.9	.1	11 - 18.9	.1
7 & Up	-.2.7	7 & Up	.0	19 & Up	.1

9G INFILTRATION WINTER POINT MULTIPLIERS

INFILTRATION PRACTICE (See Table 9P)	WPM
PRACTICE # 1	1.9
PRACTICE # 2	1.2
PRACTICE # 3	.6

9H DUCT MULTIPLIERS (DM)

R-VALUE	With Return Air Duct	W/O Return Air Duct
4.2 - 4.9	1.14	1.10
5.0 - 6.6	1.12	1.08
6.7 & Up	1.09	1.06
DUCTS IN CONDITIONED SPACE		1.00

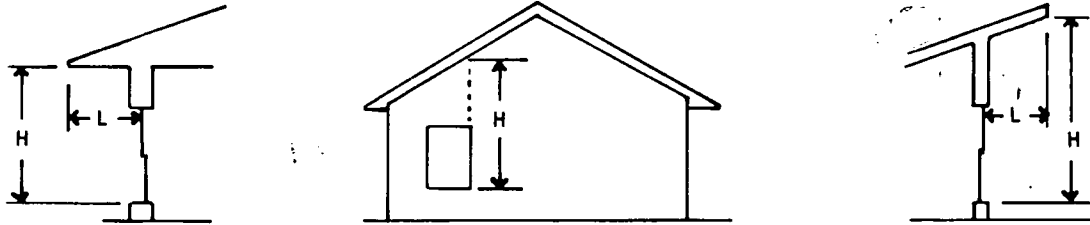
# SUMMER POINT MULTIPLIERS

9B SUMMER OVERHANG FACTORS (SOF) For single and double pane glass.

CLIMATE ZONES 7 8 9

ORIENTATION	OVERHANG RATIO											
	0.0 - 0.17	0.18 - 0.26	0.27 - 0.35	0.36 - 0.46	0.47 - 0.57	0.58 - 0.70	0.71 - 0.83	0.84 - 1.18	1.19 - 1.72	1.73 - 2.73	2.74 - 5.66	5.67 - Up
N	1.0	.91	.87	.84	.80	.77	.74	.70	.64	.58	.53	.48
NE/NW	1.0	.92	.86	.81	.76	.72	.68	.64	.56	.50	.44	.40
E/W	1.0	.93	.87	.81	.75	.70	.65	.59	.46	.41	.34	.28
SE/SW	1.0	.92	.85	.78	.70	.64	.58	.52	.42	.34	.28	.23
S	1.0	.91	.83	.75	.67	.60	.54	.48	.39	.33	.30	.27

OVERHANG RATIO = L/H



9C WALL SUMMER POINT MULTIPLIERS (SPM)

FRAME			CONCRETE BLOCK						FACE BRICK		LOG	
WOOD			INTERIOR INSUL.			EXT. INSUL.			R-VALUE	WOOD FR	6 INCH	
R-VALUE	EXT	ADJ	R-VALUE	EXT	ADJ	EXT	NORM	LT WT	0 - 6.9	4.6	R-VALUE	EXT
0 - 6.9	8.5	3.4	0 - 2.9	4.2	1.9	3.3	4.2	3.3	7 - 10.9	1.3	0 - 2.9	2.8
7 - 10.9	3.2	1.3	3 - 4.9	2.7	1.3	2.2	1.7	1.5	11 - 18.9	1.1	3 - 6.9	1.9
11 - 12.9	2.7	1.0	5 - 6.9	2.0	1.1	1.6	1.2	1.1	19 - 25.9	.6	7 & Up	1.5
13 - 18.9	2.4	.9	7 - 10.9	1.6	.8	1.3	.7	.7	26 & Up	.3	8 INCH	
19 - 25.9	1.6	.6	11 - 18.9	1.0	.6	.9	.3	.4	R-VALUE	BLOCK	R-VALUE	EXT
26 & Up	1.0	.3	19 - 25.9	.5	.3	.5			0 - 2.9	2.3	0 - 2.9	1.9
STEEL			26 & Up	.3	.2	.3			3 - 6.9	1.6	3 - 6.9	1.4
0 - 6.9	11.6	4.4							7 - 9.9	.9	7 & Up	1.2
7 - 10.9	5.5	2.1							10 & Up	.7		
11 - 12.9	4.2	1.6										
13 - 18.9	3.9	1.5										
19 - 25.9	3.4	1.3										
26 & Up	1.9	0.7										

9E CEILING SUMMER POINT MULTIPLIERS (SPM)

UNDER ATTIC		SINGLE ASSEMBLY		CONCRETE DECK ROOF		
R-VALUE	SPM	R-VALUE	SPM	R-VALUE	CEILING TYPE	
19 - 21.9	1.5	5 - 6.9	7.9	10 - 13.9	DROPPED	EXPOSED
22 - 25.9	1.3	7 - 8.9	5.4	14 - 20.9	4.1	4.6
26 - 29.9	1.0	9 - 10.9	4.3	21 & Up	2.9	3.1
30 - 37.9	.8	11 - 12.9	3.6		1.9	2.0
38 & Up	.6	13 - 18.9	3.3			
		19 - 25.9	2.5			
		26 & Up	1.6			

CREDIT MULTIPLIER FOR ATTIC RADIANT BARRIER = .55

9D DOOR SUMMER POINT MULTIPLIERS (SPM)

DOOR TYPE	EXT	ADJ
WOOD	11.8	4.5
INSULATED	12.9	4.9

9F FLOOR SUMMER POINT MULTIPLIERS (SPM)

SLAB-ON-GRADE EDGE INSULATION		RAISED CONCRETE		RAISED WOOD (See 903.2(e))	
R-VALUE	SPM	R-VALUE	SPM	R-VALUE	SPM
0 - 2.9	-20.0	0 - 2.9	.8	0 - 6.9	1.1
3 - 4.9	-17.4	3 - 4.9	.3	7 - 10.9	.1
5 - 6.9	-16.6	5 - 6.9	.4	11 - 18.9	.0
7 & Up	-16.0	7 & Up	.5	19 & Up	.0

9G INFILTRATION SUMMER POINT MULTIPLIERS

INFILTRATION PRACTICE (See Table 9P)	SPM
PRACTICE # 1	18.6
PRACTICE # 2	14.7
PRACTICE # 3	10.1

9H DUCT MULTIPLIERS (DM)

R-VALUE	With Return Air Duct	W/O Return Air Duct
4.2 - 4.9	1.14	1.10
5.0 - 6.6	1.12	1.08
6.7 & Up	1.09	1.06
DUCTS IN CONDITIONED SPACE		
	1.00	1.00

**FLORIDA ENERGY EFFICIENCY CODE  
FOR BUILDING CONSTRUCTION**

**FORM 900-B-86**

**SECTION 9 — RESIDENTIAL POINT SYSTEM METHOD  
DEPARTMENT OF COMMUNITY AFFAIRS**

**CLIMATE ZONES  
SOUTH 7 8 9**

PROJECT NAME AND ADDRESS:	PERMITTING OFFICE:
	CIRCLE CLIMATE ZONE: 7 8 9
BUILDER:	PERMIT NO.:
OWNER:	JURISDICTION NO.: <input type="text"/>

<input checked="" type="checkbox"/> DETACHED <input type="checkbox"/> NEW <input type="checkbox"/> ADD.  <input type="checkbox"/> ATTACHED <input type="checkbox"/> NEW <input type="checkbox"/> ADD.	CHECK IF WORST CASE CALCULATION: <input type="checkbox"/> IF MULTIFAMILY, NUMBER OF UNITS: <input type="text"/>	GLASS AREA AND TYPE	
	CEILING INSULATION UNDER ATTIC R = <input type="text"/> SGL. ASSEMBLY R = <input type="text"/>	CLEAR <input type="text"/> SGL <input type="text"/> DBL <input type="text"/>	TINT, FILM, SOLAR SCREEN <input type="text"/>

NET WALL AREA AND INSULATION							
CBS	R=	FRAME	R=	STEEL STUD	R=	LOG	R=
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>

DUCTS	COOLING SYSTEM	HEATING SYSTEM	HOT WATER SYSTEM	
IN UNCOND. SPACE R = <input type="text"/>	<input checked="" type="checkbox"/> CENTRAL <input type="checkbox"/> NONE <input type="checkbox"/> ROOM <input type="checkbox"/> PTAC SEER/EER = <input type="text"/>	<input type="checkbox"/> ELECTRIC STRIP <input checked="" type="checkbox"/> HEAT PUMP <input type="checkbox"/> NATURAL GAS <input type="checkbox"/> ROOM/PTHP <input type="checkbox"/> OTHER FUELS <input type="checkbox"/> NONE COP/AFUE = <input type="text"/>	<input type="checkbox"/> ELECTRIC <input type="checkbox"/> NATURAL GAS <input type="checkbox"/> OTHER FUELS EF = <input type="text"/>	<input type="checkbox"/> SOLAR <input checked="" type="checkbox"/> HEAT RECOVERY <input type="checkbox"/> DED. HEAT PUMP SF/EF = <input type="text"/>
IN COND. SPACE R = <input type="text"/>			NUMBER OF BEDROOMS = <input type="text"/>	

INFILTRATION PRACTICE USED <input type="checkbox"/> #1 <input checked="" type="checkbox"/> #2 <input type="checkbox"/> #3	$\frac{58577.8}{63244.4} \times 100 = 92.6$
	TOTAL AS-BUILT POINTS      TOTAL BASE POINTS      CALCULATED E.P.I.
CALCULATED ENERGY PERFORMANCE INDEX MUST NOT EXCEED 100 POINTS.	

In accordance with Section 553.907 F.S., I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code. OWNER/AGENT: <u>Andy Hudson</u> DATE: <u>5-31-86</u>	Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.908 F.S. BUILDING OFFICIAL: _____ DATE: _____
--	---

**2159**  
**DOCK**

2159

TOWN OF SEWALL'S POINT, FLORIDA

Permit Number \_\_\_\_\_

Date Jan. 12, 1987

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEARING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Walt Geisenhainer Present Address 2375 NE OCEAN

Phone 225-0575 BLVD. E304 Stuart FL

Contractor Doss Marine Construction Address P.O. BOX 1979 33494

Phone 287-5663 Stuart, FL 33495

Where licensed Martin License number 0050

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Roofing contractor \_\_\_\_\_ License number \_\_\_\_\_

Air conditioning contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: DOCK

22 Palmetto Dr. SEWELLS POINT, FL.

State the street address at which the structure will be built:

Subdivision \_\_\_\_\_ Lot number 00210 Block number 000

Contract price \$ 5250.00 Cost of permit \$ \_\_\_\_\_

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances, the State of Florida Model Energy Efficiency Building Code and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

X Contractor Jack Doss

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Walter G. Geisenhainer

TOWN RECORD

Date submitted \_\_\_\_\_ Approved Dale Brown 1/19/87  
Building Inspector Date

Approved G. C. Strubel 1/19/87 Final Approval given \_\_\_\_\_  
Commissioner Date Date

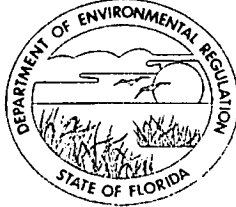
Certificate of Occupancy issued (if applicable) \_\_\_\_\_  
Date

STATE OF FLORIDA

DEPARTMENT OF ENVIRONMENTAL REGULATION

SOUTHEAST FLORIDA DISTRICT  
BRANCH OFFICE

2745 SOUTHEAST MORNINGSTAR BOULEVARD  
PORT ST. LUCIE, FLORIDA 33452



BOB GRAHAM  
GOVERNOR

VICTORIA J. TSCHINKEL  
SECRETARY

December 4, 1986

Walt Geisenhainer  
c/o Doss Marine Construction  
P.O. Box 1979  
Stuart, Florida 33495

DF - Martin County  
Dock  
St. Lucie River

Dear Mr. Geisenhainer:

This is to acknowledge receipt of your application, file number 431276988, for a permit to:

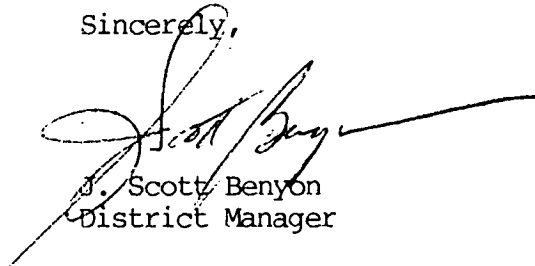
Construct a 500 sq. ft. dock measuring 4' by 125'. To be located at 22 Palmetto Drive, Lot #210, Class III waters, St. Lucie River, Section 1, Township 38 South, Range 41 East, Sewell's Point, Martin County.

At this time no permit is required for your project by this Department. Any modifications in your plans should be submitted for review, as changes may result in permits being required. This letter does not relieve you from the need to obtain any other permits (local, state or federal) which may be required. This project, as proposed, is exempt from permitting pursuant to 403.813(2)(b)(1), Florida Statutes, in accordance with the three (3) attached stamped drawings.

A copy of your application has also been sent to the Department of Natural Resources for review. Consent of use of State owned lands may be required from the Department of Natural Resources prior to construction. For further information, you may contact Mr. David Roach at (305) 686-1036.

If you have any questions, please contact Brad Rieck of this office. When referring to this project, please use the file number indicated.

Sincerely,

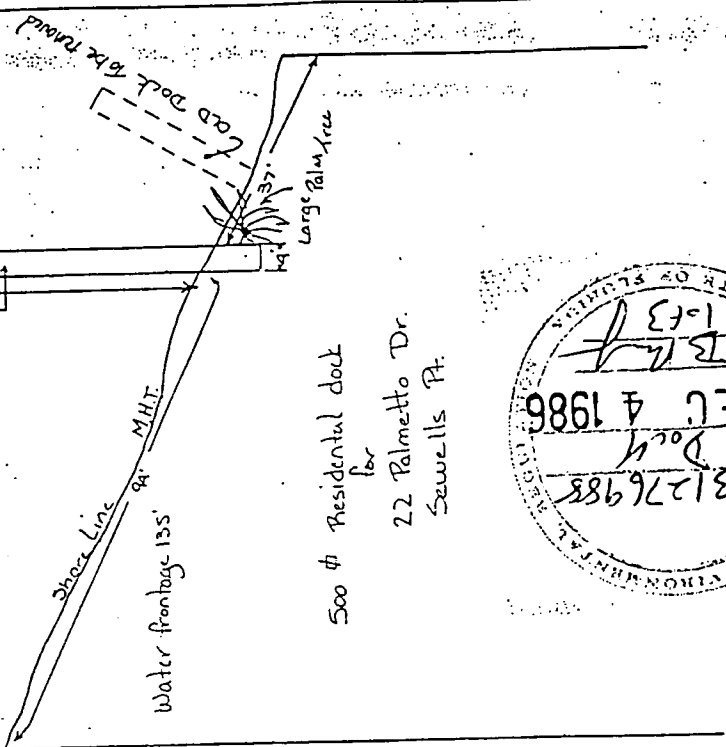
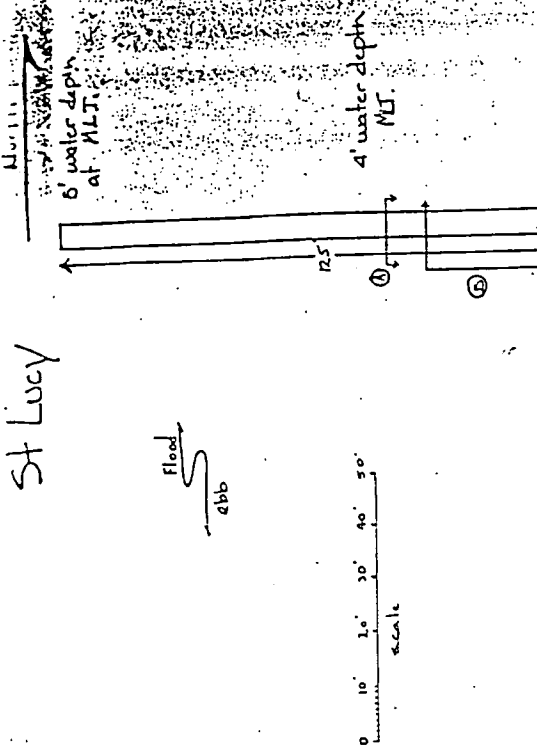


J. Scott Benyon  
District Manager

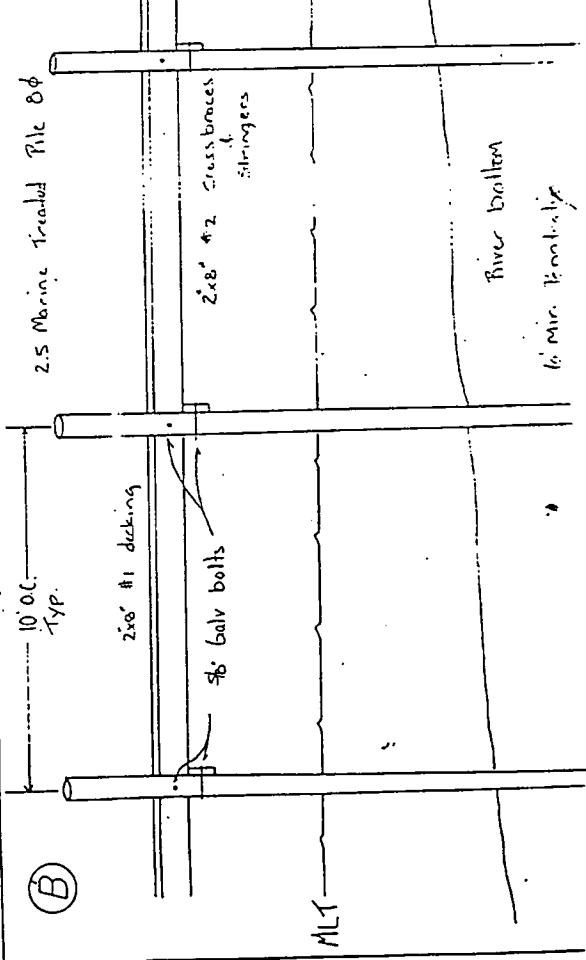
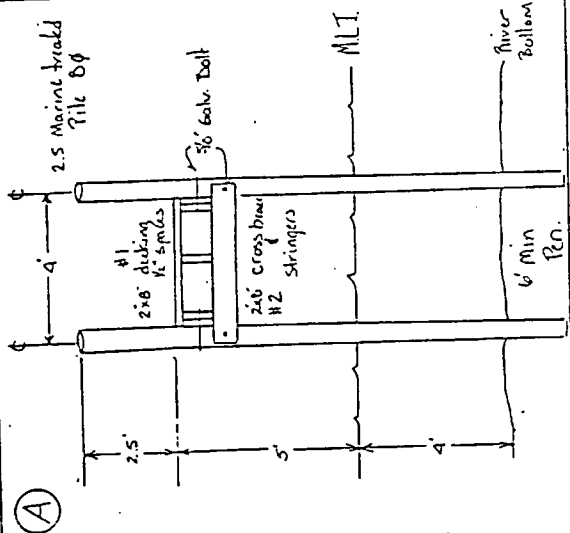
JSB:brt/l

cc: Army Corp's of Engineers, Miami  
David Roach, D.N.R. (with application)

St Lucy



Gelsenhainer Residence dock 22 Palmetto Dr. Sewells Point





State of Florida  
DEPARTMENT OF NATURAL RESOURCES

DR. ELTON J. GISSENDANNER  
Executive Director  
Marjory Stoneman Douglas Building  
3900 Commonwealth Boulevard, Tallahassee, Florida 32303

BOB GRAHAM  
Governor  
GEORGE FIRESTONE  
Secretary of State  
JIM SMITH  
Attorney General  
GERALD A. LEWIS  
Comptroller  
BILL GUNTER  
Treasurer  
DOYLE CONNER  
Commissioner of Agriculture  
RALPH D. TURLINGTON  
Commissioner of Education

January 6, 1987

Doss Marine Construction  
Post Office Box 1979  
Stuart, Florida 33498

Dear Sir:

File No. 431276988  
Applicant: Geisenhainer, Walt

Enclosed is the approved application for your proposed project, showing the location in the St. Lucie River adjacent to 22 Palmetto Drive, City of Stuart, Martin County. This approval is for the installation of a private single family dock consisting of a 4' X 125' access pier.

This constitutes the authority sought under Section 253.77, Florida Statutes, to pursue this project.

This letter in no way waives the authority and/or jurisdiction of any governmental entity nor does this letter disclaim any title interest that the State may have in this project site.

Sincerely,

David K. Roach  
Division of State Lands  
Southeast Florida Office

DKR/bs  
cc: DER /PSL





DEPARTMENT OF THE ARMY

SOUTH FLORIDA AREA OFC. JACKSONVILLE DISTRICT. CORPS OF ENGINEERS

P. O. BOX 1327

CLEWISTON, FLORIDA 33440-1327

January 6, 1987

REPLY TO  
ATTENTION OF

Regulatory Section  
Miami  
87GP30007  
SAJ-20

Walt Geisenhainer  
c/o DOSS MARINE CONSTRUCTION  
P. O. Box 1979  
Stuart, Florida 33495

Dear Mr. Geisenhainer:

Reference is made to your application for a Department of the Army permit concerning:

construction of a dock 125 by 4 feet wide in the St. Lucie River at 22 Palmetto Drive, Stuart, in Section 1, Township 38 South, Range 41 East, Martin County, Florida.

The project as proposed is authorized by General Permit SAJ-20, a copy of which is enclosed for your information and use. You are authorized to proceed with the project in accordance with the enclosed drawings subject to all conditions of the permit.

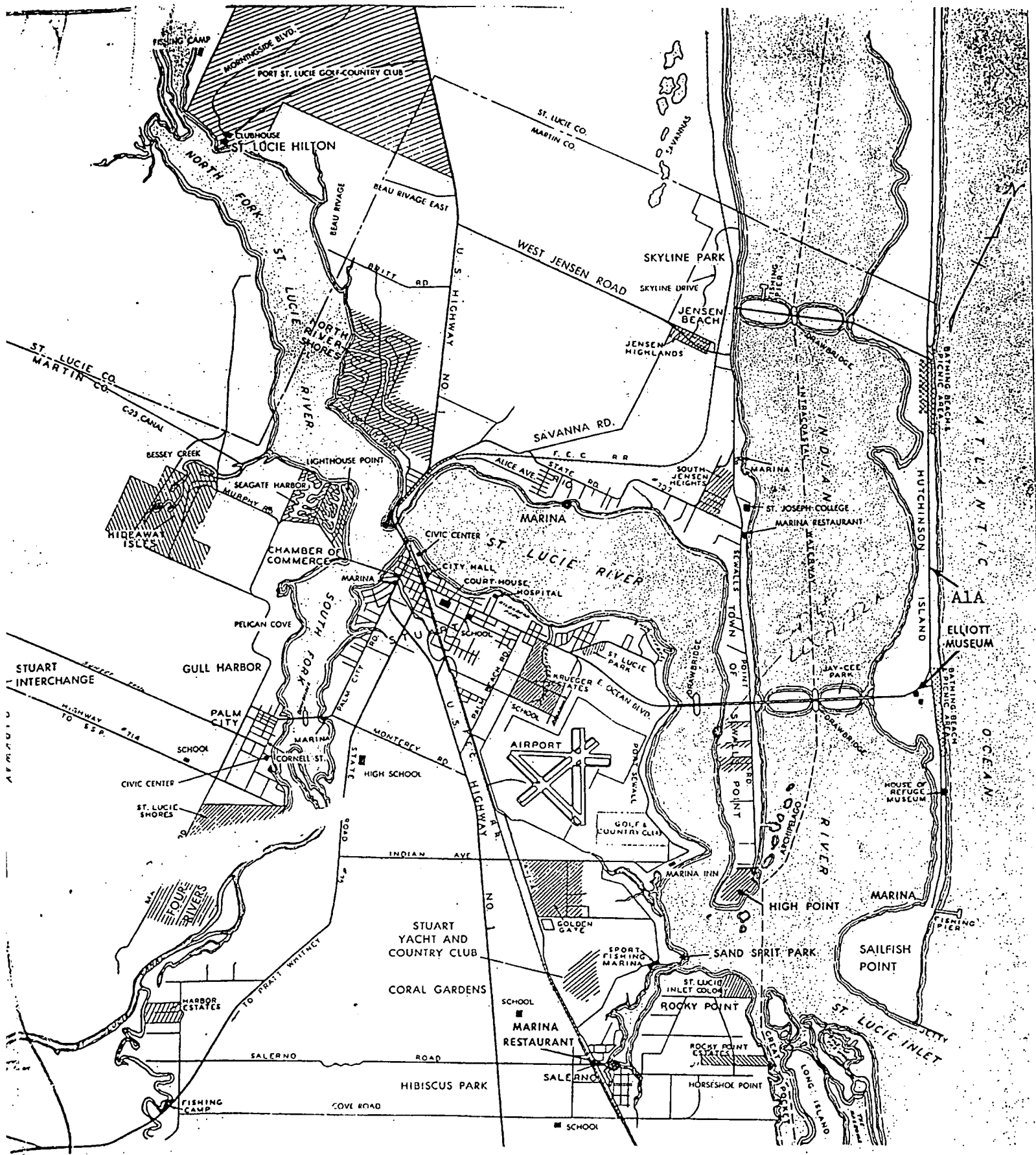
This letter of authorization does not obviate the necessity to obtain any other Federal, state or local permits which may be required.

Thank you for your cooperation with the Corps permit program.

Sincerely,

*Charles A. Schnepel*  
Charles A. Schnepel  
Chief, Regulatory Section

Enclosures



LETTER OF NO OBJECTION

~~we~~, I, Gladys M. Dickinson  
Being the Owner(s) of certain property adjacent to and abutting  
the property of Mr. Walt Geisenhainer  
located at 22 Palmetto Drive, Sewal's Point, Stuart, Fla 33494  
have reviewed the drawings of the dock and have no objections  
to the proposed dock.

Gladys M. Dickinson

STATE OF  
COUNTY OF

SWORN TO AND SUBSCRIBED BEFORE ME THIS 1<sup>st</sup> DAY OF December 1986

Jean H. Barrow  
Notary Public

My Commission expires

NOTARY PUBLIC STATE OF FLORIDA  
MY COMMISSION EXP. NOV 16, 1990  
BOEDED THRU GENERAL INS. UND.

LETTER OF NO OBJECTION

We, FAIRFIELD SOUTH, INC.

Being the Owner(s) of certain property adjacent to and abutting  
the property of 22 Palmetto Drive, The Walk

located at Seisenhaine.

have reviewed the drawings of the dock and have no objections  
to the proposed dock.

FAIRFIELD SOUTH, INC.

Lloyd E. Dutcher

Vice President

STATE OF Florida  
COUNTY OF Martin

SWORN TO AND SUBSCRIBED BEFORE ME THIS 14<sup>th</sup> DAY OF January, 1987

Alice C. Melville

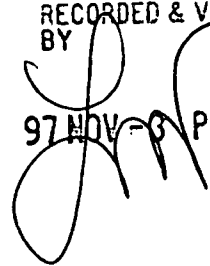
Notary Public

My Commission expires

Notary Public, State Of Florida At Large  
My Commission Expires Sept. 10, 1987  
Bonded By SAFECO Insurance Company of America

01262472

97 NOV 3 PH 2:17



Prepared by and return to:  
Town of Sewall's Point  
One South Sewall's Point Road  
Stuart Florida 34996

**TOWN OF SEWALL'S POINT ADMINISTRATIVE  
VARIANCE APPROVAL**

ELIZABETH L. GEISENHAINER, as trustee under the provisions of a certain Revocable Trust dated October 4, 1982, as amended and

1. **Owner of Property:** restated on June 4, 1991, whose I.D. No. is 065-10-3438

2. **Legal Description of Property:**

See legal description attached hereto and made a part hereof

3. **Date of Administrative Variance Application:** October, 1997

Whereas, the Town of Sewall's Point Building Commissioner (the "Building Commissioner") has authority under the Town of Sewall's Point Code of Ordinances to grant administrative variances upon making certain findings of fact; and

Whereas, the Building Commissioner has reviewed an Administrative Variance Application (the "Application") for the Property described above and determined that the Application is complete; and

Whereas, the Building Commissioner has made the appropriate findings of fact and finds that:

(1) The setback violation(s) for the encroachments shown on the survey attached as Exhibit "A" (the "Survey") was/were a good faith error(s) and was/were not intentional; and

(2) The encroachment(s) is/are less than or equal to five percent (5%) of the

setback requirement(s) in effect on the date that the encroachment was first created, or twenty inches (20"), whichever is less; and

(3) No letters of objection to the administrative variance application have been filed by adjacent owners with the Town Clerk; and

(4) The Application meets the conditions of the Town of Sewall's Point Code of Ordinances for an administrative variance.

NOW, THEREFORE, the Town of Sewall's Point hereby grants and approves the Application for an administrative variance for the encroachments shown on the Survey.

Dated this 30<sup>th</sup> day of October, 1997.

The Town of Sewall's Point, a  
Florida municipal corporation

By: [Signature]  
Its: Building Commissioner

STATE OF FLORIDA  
COUNTY OF MARTIN

Sworn to and subscribed before me this 30<sup>th</sup> day of October, 1997,  
by V.A. Vorraso, as Building Commissioner of the Town of Sewall's  
Point, a Florida municipal corporation, who is personally known to me or who has produced  
as identification and who did not take an oath.

(NOTARY SEAL)

OFFICIAL NOTARY SEAL  
JOAN H BARROW  
NOTARY PUBLIC STATE OF FLORIDA  
COMMISSION NO. CC423705  
MY COMMISSION EXP. NOV. 30, 1998

[Signature]  
Name: Joan H. Barrow  
I am a Notary Public of the  
State of Florida and my  
commission expires:  
11-30-98

**TOWN OF SEWALL'S POINT ADMINISTRATIVE  
VARIANCE APPLICATION FORM**

- ELIZABETH L. GISENHAINER, as trustee under the provisions of a
1. **Owner of Property:** certain Revocable Trust dated October 4, 1982, as amended and restated on June 4, 1991, whose I.D. No. is 065-10-3438
  2. **Address of Property:** 22 Palmetto Drive, Sewalls Point, Florida 34996
  3. **Address of Applicant:** Apartment D-306, 2375 NE Ocean Boulevard, Stuart, Florida 34996
  4. **Phone No. of Applicant:** 225-0851

5. **Length and Location (front, rear, side) of Encroachment (if more than one, please list separately):**


Length: 22.08 feet adjacent to front property line. Required set back is  
35 feet; survey shows setback of 34.953 feet on Northeast corner and 34.89 feet on Southeast corner.

6. **Have you included the following materials with your application?** Yes

- |                             |   |
|-----------------------------|---|
| A. \$250.00 Filing Fee      | B. \$250.00 Costs Deposit                             |
| C. Certificate of Ownership | D. Certificate of Adjacent Owners                     |
| E. Survey                   | F. Letters of No Objection or Proof of Mailing Notice |

7. **Does/do the encroachment(s) result from development under a permit for which a certificate of occupancy was issued prior to March 11, 1992?** Yes

I hereby certify that all of the information above and the application materials I have provided are true and correct:

  
**Applicant** Elizabeth L. Geisenhainer, as trustee

Dated this 23rd day of October, 1997.

41 S. River Road  
Stuart, Florida 34996

October 27, 1997


The Town of Sewall's Point  
One South Sewall's Point Road  
Stuart, Florida 34996

Re: Application for Administrative Variance Pursuant to  
Appendix B - Zoning, Section VIII.F, Town of Sewall's  
Point Code of Ordinances filed by Elizabeth L.  
Geisenhainer, as trustee

Dear Town of Sewall's Point:

I have reviewed the Administrative Variance Application filed by Elizabeth L. Geisenhainer, as trustee under the provisions of a certain Revocable Trust dated October 4, 1982, as amended and restated on June 4, 1991, whose I.D. No. is 065-10-3438 with the Town of Sewall's Point. I am an adjacent property owner to the property which is the subject of the Administrative Variance and I have no objection to the Town of Sewall's Point granting the Administrative Variance.

Sincerely,



Eric B. Holly, as trustee under the  
Dorothy W. Holly Irrevocable Trust  
Agreement dated March 18, 1992



Being a portion of Lot 1, not included, according to the Plat of PALMETTO PARK, as recorded in Plat Book 3, at page 66, Public Records of Martin County, Florida, more particularly described as follows:

Commence at the Northwesterly corner of Lot 3, according to said Plat of PALMETTO PARK, thence South  $62^{\circ}38'00''$  West along the North line of said Lot 1 a distance of 170.00 feet to the point of intersection with a line 170.00 feet Westerly of, as measured at right angles to, and parallel with the West line of said Lot 3, for the point of beginning:

Thence South  $27^{\circ}22'00''$  East, along said parallel line 170.00 feet Westerly of, as measured at right angles to, and parallel with the East line of said Lot 1, a distance of 159.77 feet to the point of intersection with the South line of said Lot 1, thence South  $62^{\circ}38'00''$  West, along the South line of said Lot 1, a distance of 240 feet more or less to the point of intersection with the Easterly shoreline of the St. Lucie River; thence meander Northerly along the Easterly shoreline of the St. Lucie River 175 feet more or less to the point of intersection with the Northerly line of said Lot 1; thence North  $62^{\circ}38'00''$  East, along the Northerly line of said Lot 1, a distance of 174 feet more or less to the point of beginning;

LESS AND EXCEPTING the Northerly 35 feet thereof.

TOGETHER WITH an easement for ingress and egress and utility purposes over, under and through the following described real property:

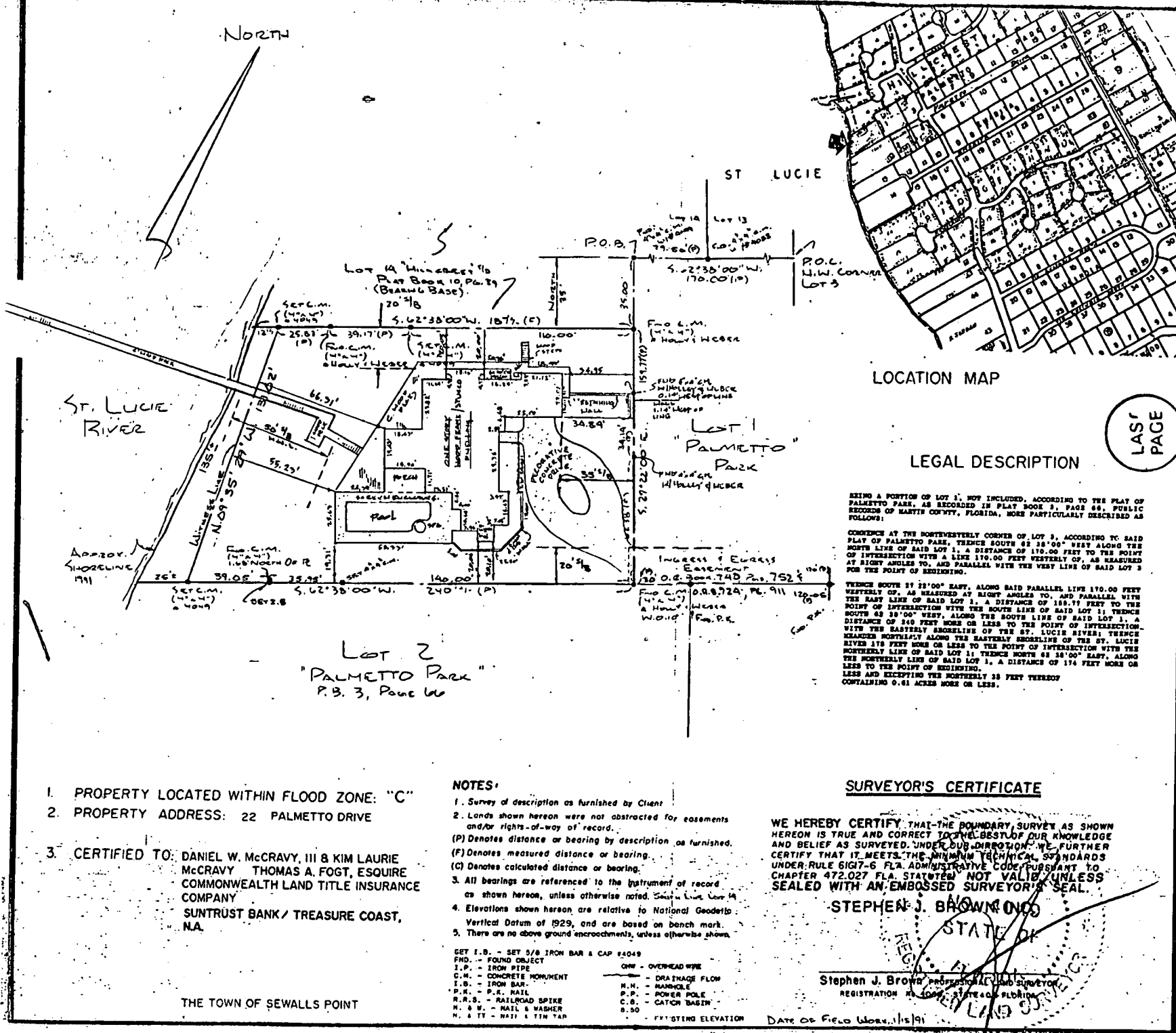
An 18 foot strip of land for the purpose of ingress and egress lying in Lots 1 and 3, Plat of PALMETTO PARK, as recorded in Plat Book 3, page 66, Public Records of Martin County, Florida, being more particularly described as follows:

Said parcel being bounded on the South by the Southerly lines of said Lots 1 and 3, and bounded on the North by a line lying 18 feet Northerly of and parallel with said South line of Lots 1 and 3, and being bounded on the West by a line lying 172 feet Westerly of and parallel with the East line of Said Lot 1, and being bounded on the East by an arc formed by that cul-de-sac right-of-way as recorded in Official Records Book 188, page 487, Public Records of Martin County, Florida.

All of the above lying and being situated in the Town of Sewall's Point, Martin County, Florida.

SUBJECT TO easements, restrictions, reservations and road rights-of-way of record.

SUBJECT TO real property taxes for the year 1997 and subsequent years.



LOCATION MAP

LEGAL DESCRIPTION

BEING A PORTION OF LOT 1, NOT INCLUDED, ACCORDING TO THE PLAT OF PALMETTO PARK, AS RECORDED IN PLAT BOOK 3, PAGE 66, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF LOT 3, ACCORDING TO SAID PLAT OF PALMETTO PARK, THENCE SOUTH 82° 28' 00\"/>

THENCE SOUTH 82° 28' 00\"/>

THENCE SOUTH 82° 28' 00\"/>

THENCE SOUTH 82° 28' 00\"/>

LESS AND EXCEPTING THE NORTHERLY 25 FEET THEREOF CONTAINING 0.61 ACRES MORE OR LESS.

LAST PAGE

- PROPERTY LOCATED WITHIN FLOOD ZONE: "C"
- PROPERTY ADDRESS: 22 PALMETTO DRIVE
- CERTIFIED TO: DANIEL W. McCRAVY, III & KIM LAURIE McCRAVY THOMAS A. FOGT, ESQUIRE COMMONWEALTH LAND TITLE INSURANCE COMPANY SUNTRUST BANK/ TREASURE COAST, N.A.

**NOTES:**

- Survey of description as furnished by Client
- Lands shown hereon were not abstracted for easements and/or rights-of-way of record. (P) Denotes distance or bearing by description as furnished. (F) Denotes measured distance or bearing. (C) Denotes calculated distance or bearing.
- All bearings are referenced to the instrument of record as shown hereon, unless otherwise noted.
- Elevations shown hereon are relative to National Geodetic Vertical Datum of 1929, and are based on bench mark.
- There are no above ground encroachments, unless otherwise shown.

KEY I.B. - SET 5/8 IRON BAR & CAP #2049  
 F.O. - FOUND OBJECT  
 I.P. - IRON PIPE  
 C.M. - CONCRETE MONUMENT  
 I.B. - IRON BAR  
 P.M. - P.A. NAIL  
 R.R.S. - RAILROAD SPIKE  
 N. & W. - NAIL & WASHER  
 N. & T. - NAIL & TIN TAP  
 O.W. - OVERHEAD WIRE  
 D.F. - DRAINAGE FLOW  
 H.W. - HANDHOLE  
 P.P. - POWER POLE  
 C.B. - CATCH BASIN  
 8.50 - EXISTING ELEVATION

SURVEYOR'S CERTIFICATE

WE HEREBY CERTIFY THAT THE BOUNDARY SURVEY AS SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF OUR KNOWLEDGE AND BELIEF AS SURVEYED UNDER OUR DIRECTION. WE FURTHER CERTIFY THAT IT MEETS THE MINIMUM TECHNICAL STANDARDS UNDER RULE 61G7-6 FLA. ADMINISTRATIVE CODE PURSUANT TO CHAPTER 472.027 FLA. STATUTES NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.

STEPHEN J. BROWN  
 STATE OF FLORIDA  
 SURVEYOR  
 REGISTRATION NO. 10064  
 DATE OF FIELD WORK: 11/15/91

THE TOWN OF SEWALLS POINT

REVISIONS	
TITLE	4/1/97
DATE	10/27/97
BY	CEC'S (SET BACK)

TITLE SURVEY

PREPARED FOR: McCRAVY

STEPHEN J. BROWN INC.  
 SURVEYORS • DESIGNERS • LANDPLANNERS • CONSULTANTS  
 200 FLORIDA STREET, SUITE 'C', STUART, FLORIDA: 34994

DRAWN	W. G. H.
CHECKED	S. J. B.
DATE	01-15-91
SCALE	1" = 30.00'
JOB NO.	1686-01-01
SHEET	ONE

OR BK 1 270 PGO 520

LAW OFFICES  
**THURLOW & SMITH, P.A.**  
17 MARTIN L. KING, JR. BLVD.  
POST OFFICE BOX 106  
STUART, FLORIDA 34995-0106

THOMAS H. THURLOW, JR.  
LAWRENCE S. SMITH

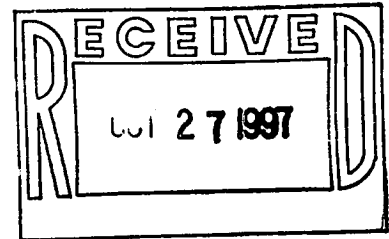
FAX  
(561) 220-0815  
TELEPHONE  
(561) 287-0980

October 27, 1997

Ms. Joan H. Barrow, Town Clerk  
Town of Sewall's Point  
1 South Sewall's Point Road  
Sewall's Point, Florida 34996

Re: Elizabeth L. Geisenhainer  
Application for Administrative Variance

Dear Ms. Barrow:



You will find enclosed the following:

1. Administrative Variance Application form signed by Elizabeth L. Geisenhainer, as trustee. *OK*
2. Check of Elizabeth Geisenhainer in the amount of \$500.00, representing the \$250.00 filing fee, and \$250.00 costs deposit. *OK*
3. Copy of Commonwealth Title Insurance Commitment effective September 29, 1997, showing Elizabeth L. Geisenhainer, as trustee under the provisions of a certain Revocable Trust dated October 4, 1982, as amended and restated on June 4, 1991, as the owner of the property. *OK*
4. Letter of No Objection from Eric B. Holly, as trustee under the Dorothy W. Holly Irrevocable Trust. *OK*
5. Survey prepared by Stephen J. Brown, Inc., certified to the Town of Sewall's Point. *OK*

The enclosed Title Insurance Commitment is intended as evidence that Elizabeth L. Geisenhainer, as trustee under the provisions of a certain Revocable Trust dated October 4, 1982, as amended and restated on June 4, 1991, is the current owner of the subject property. By this letter, I am also certifying that the Easterly boundary line of the Geisenhainer property is also the Westerly boundary line of the adjacent property owned by Eric B. Holly, as trustee under the Dorothy W. Holly Irrevocable Trust

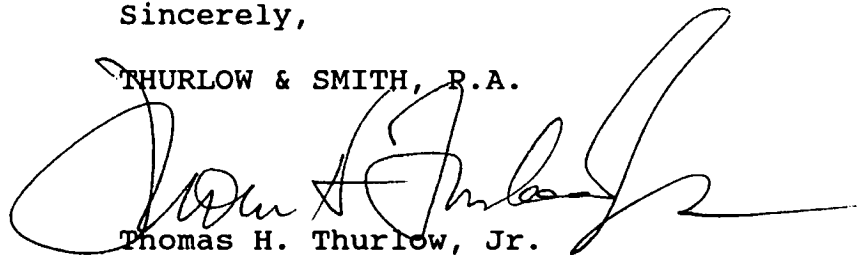
Ms. Joan H. Barrow, Town Clerk  
October 27, 1997  
Page 2

Agreement dated March 18, 1982.

We have also enclosed a proposed Variance Approval form, together with legal description, for execution by the Town of Sewall's Point. If you will require any further information or documentation, please contact me as soon as possible. We thank you for your assistance.

Sincerely,

THURLOW & SMITH, P.A.

A large, stylized handwritten signature in black ink, appearing to read 'Tom H. Thurlow, Jr.', is written over the typed name below it.

Thomas H. Thurlow, Jr.

THTjr:mf

cc: Thomas Fogt, Esq.

RECORD OF INSPECTIONS

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

This is to request that a Certificate of Approval for Occupancy be issued to Gel Senhauer Date 1/20/87  
 For property built under Permit No. 1955 Dated 7/2/86 when completed in  
 conformance with the Approved Plans.

Signed Dale Brown

Approved by

Item	Date	Inspector
1. LOT STAKES/SET BACKS	8/4/86	
2. TERMITE PROTECTION		
3. FOOTING - SLAB	8/21/86	DB
4. ROUGH PLUMBING	8/18/86	DB
5. ROUGH ELECTRIC	10/22/86	DB
6. LINTEL		
7. ROOF		
8. FRAMING		
9. INSULATION	10/22/86	DB
10. A/C DUCTS	11/3/86	DB
11. FINAL ELECTRIC	10/22/86	DB
12. FINAL PLUMBING	1/20/87	DB
13. FINAL CONSTRUCTION	1/20/87	DB

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector Dale Brown 1/20/87 date

Approved by Building Commissioner JC Stuebel 1/29/87 date

Utilities notified FPL 1/20/87 date

Original Copy sent to \_\_\_\_\_ date

(Keep carbon copy for Town files)



# Commonwealth

COMMITMENT NUMBER

864-522801

COMMONWEALTH LAND TITLE INSURANCE COMPANY, a Pennsylvania corporation, herein called the company, for a valuable consideration, hereby commits to issue its policy or policies of title insurance, as identified in Schedule A, in favor of the proposed Insured named in Schedule A, as owner or mortgagee of the estate or interest covered hereby in the land described or referred to in Schedule A, upon payment of the premiums and charges therefor; all subject to the provisions of Schedules A and B and to the Conditions and Stipulations hereof.

This Commitment shall be effective only when the identity of the proposed Insured and the amount of the policy or policies committed for have been inserted in Schedule A hereof by the Company, either at the time of the issuance of this Commitment or by subsequent endorsement.

This Commitment is preliminary to the issuance of such policy or policies of title insurance and all liability and obligations hereunder shall cease and terminate 120 days after the effective date hereof or when the policy or policies committed for shall be issued, whichever first occurs, provided that the failure to issue such policy or policies is not the fault of the company.

In Witness Whereof, the said Company has caused its Corporate Name and Seal to be hereunto affixed; this instrument, including Commitment, Conditions and Stipulations attached, to become valid when countersigned on Schedule A by an Authorized Officer or Agent of the Company.



COMMONWEALTH LAND TITLE INSURANCE COMPANY

Attest:

*David E. ...*

Secretary

By:

*[Signature]*

Chairman and Chief Executive Officer

# COPY

**Commitment For Title Insurance**  
**SCHEDULE A**

Commitment No.: 864-522801      Effective Date: September 29, 1997 @ 8:00 a.m.

File Number: 97-794F/eav

1. Policy or Policies to be issued:

OWNER'S: \$ 750,000.00

Proposed Insured: DANIEL W. MCCRAVY, III, and KIM LAURIE MCCRAVY, husband and wife.

LOAN: \$ 465,000.00

Proposed Insured: SUNTRUST BANK, SOUTH FLORIDA, NATIONAL ASSOCIATION, its successors and/or assigns.

2. The estate or interest in the land described or referred to in this Commitment and covered herein is a fee simple, and title thereto is at the effective date hereof vested in:

ELIZABETH L. GEISENHAINER, AS TRUSTEE UNDER THE PROVISIONS OF A CERTAIN REVOCABLE TRUST, DATED OCTOBER 4, 1982, AS AMENDED AND RESTATED ON JUNE 4, 1991.

3. The land referred to in this Commitment is described as follows:

SEE ATTACHED LEGAL DESCRIPTION

Countersigned: \_\_\_\_\_  
Authorized Officer or Agent

**SCHEDULE B - SECTION 1**

Commitment No.: 864-522801

File Number: 97-794F/eav

The following are requirements to be complied with:

1. Payment of the full consideration to or for the account of, the grantor's or mortgagors.
2. Payment of all taxes, charges, assessments, levied and assessed against subject premises, which are due and payable.
3. Instrument(s) creating the estate or interest to be insured must be approved, executed and filed for record:
  - a. Death Certificate for WALTER GEISENHAINER.
  - b. Proof of proper estate tax clearances must be recorded with respect to the Estate of WALTER GEISENHAINER, deceased.
  - c. Trustee's Deed from Elizabeth L. Geisenhainer, as Trustee under the provisions of her Revocable Trust, dated October 4, 1982, as amended and restated on June 4, 1991, to DANIEL W. MCCRAVY, III, and KIM LAURIE MCCRAVY, husband and wife.
  - d. Corrective Deed from Elizabeth L. Geisenhainer, as Successor Trustee to Walter G. Geisenhainer, of a certain Declaration of Trust created by Walter G. Geisenhainer, as Trustee under the provisions of a certain Revocable Trust dated October 4, 1982, as amended and restated on June 4, 1991, which will cure the defects found in that certain Warranty Deed to Trustee as recorded in O.R. Book 1118, Page 1604, Martin County, Florida public records.
  - e. Quit Claim Deed from Elizabeth L. Geisenhainer and all heirs at law of the late Walter G. Geisenhainer.
  - f. Affidavit from Elizabeth L. Geisenhainer establishing that the Walter G. Geisenhainer Revocable Trust dated October 4, 1982, as amended and restated on June 4, 1991, was not revoked, amended, and was in full force during the period of ownership of the real property to be insured, and further specifying that Elizabeth L. Geisenhainer is the surviving spouse of Walter G. Geisenhainer and establishing who Walter G. Geisenhainer's heirs at law are in order to comply with Florida Homestead Law.
  - g. Quit Claim Deed from Eric B. Holly, as Trustee under the Dorothy W. Holly Revocable Trust dated March 18, 1992, in order to cure that certain Warranty Deed recorded in O.R. Book 966, Page 1697, Martin County, Florida public records, which mistakenly conveyed the insured property.
4. Provide an affidavit by Seller: (a) that there are no liens against the insured land other than as disclosed by this commitment; (b) that there are no outstanding or pending claims against the affiant(s) that may constitute the basis for a lien against the insured land; (c) that other than as disclosed by this Commitment there are no matters which constitute defects in affiant(s)' title to the insured land, and (d) that there are no matters existing at this date which would adversely affect the ability of the affiant(s) to mortgage or convey the insured land.
5. Non-Foreign Affidavit from Seller.
6. A search commencing with the effective date of this commitment will be performed prior to the closing of this transaction. If this search reveals a title defect or other objectionable matters, an endorsement will be issued requiring that this defect or objection be cleared on or before closing.



Commitment No. 864-522801  
File No. 97-794F/eav

7. Satisfactory survey, in conformity with the minimum standards for land surveys made for title insurance purposes, certified to THOMAS A. FOGT, ESQ. and COMMONWEALTH LAND TITLE INSURANCE COMPANY, through a current date, disclosing the nature and extent of any encroachments, overlaps, boundary line discrepancies, or other matters adversely affecting title to the property to be insured. Additional requirements and/or exceptions will be made for any appropriate matters disclosed.

Commitment No.:  
File Number:

**SCHEDULE B-SECTION II**  
**EXCEPTIONS**

Schedule B of policy or policies to be issued will contain exceptions to the following matters unless the same are disposed of to the satisfaction of the Company:

1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed Insured acquires for value of record the estate or interest or mortgage thereon covered by this commitment.
2. Rights or claims of parties in possession not shown by the public records.
3. Easements or claims of easements not shown by the public records.
4. Encroachments, overlaps, boundary line disputes, and any other matters which would be disclosed by an accurate survey or inspection of the premises.
5. Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
6. Any claim that any part of said land is owned by the State of Florida by right of sovereignty, and riparian rights, if any. 1997
7. Taxes for the year \_\_\_\_\_ and taxes or special assessments which are not shown as existing liens by the public records or which may be levied or assessed subsequent to the date hereof.
8. Taxes for the year 1997 and any taxes and assessments levied or assessed subsequent to the date hereof. Said taxes become a lien as of January 1, 1997, but are not due and payable until November 1, 1997, pursuant to Section 197.333 F.S.  
  
NOTE: Gross amount of 1996 taxes are \$12,880.70 and shown PAID  
Tax I.D. #1-38-41-010-000-00211-50000
9. Riparian rights are neither guaranteed nor insured.
10. The rights, if any, of the public to use as a public beach or recreation area, any part of the land lying between the body of water abutting the subject property and the natural line of vegetation, bluff, extreme high water line or other apparent boundary line separating the publicly used area from the upland private area.
11. Resolution recorded in Official Records Book 675, Page 1289, Public Records of Martin County, Florida.
12. Easement Agreement recorded in Official Records Book 740, Page 752, and Corrective Easement Agreement recorded in Official Records Book 924, Page 911, Public Records of Martin County, Florida.

LEGAL DESCRIPTION

Being a portion of Lot 1, "Not Included", according to the Plat of PALMETTO PARK, as recorded in Plat Book 3, Page 66, Public Records of Martin County, Florida, more particularly described as follows:

Commence at the Northwesterly corner of Lot 3, according to said Plat of Palmetto Park; thence South 62 degrees 38' 00" West along the North line of said Lot 1 a distance of 170.00 feet to the point of intersection with a line 170.00 feet Westerly of, as measured as rights angles to, and parallel with the West line of said Lot 3, for the point of beginning:

Thence South 27 degrees 22' 00" East, along said parallel line 170.00 feet Westerly of, as measured at right angles to, and parallel with the East line of said Lot 1, a distance of 159.77 feet to the point of intersection with the South line of said Lot 1; thence South 62 degrees 38' 00" West, along the South line of said Lot 1, a distance of 240 feet more or less to the point of intersection with the Easterly shoreline of the St. Lucie River 175 feet more or less to the point of intersection with the Northerly line of said Lot 1; thence North 62 degrees 38' 00" East, along the Northerly line of said Lot 1, a distance of 174 feet more or less to the point of beginning;

LESS AND EXCEPTING the Northerly 35 feet thereof.

TOGETHER WITH an easement for ingress and egress and utility purposes over, under and through the following described real property:

An 18 foot strip of land for the purpose of ingress and egress lying in Lots 1 and 3, and bounded on the North by a line lying 18 feet Northerly of and parallel with said South line of Lots 1 and 3, and being bounded on the West by a line lying 172 feet Westerly of and parallel with the East line of said Lot 1, and being bounded on the East by an arc formed by that cul-de-sac right of way as recorded in Official Records Book 188, Page 487, Public Records of Martin County, Florida.

All of the above lying and being situated in the Town of Sewall's Point, Martin County, Florida.

**8364**

**REPAIR WOOD  
PLANTER WALL**

TOWN OF SEWALL'S POINT

Date 8-17-06  
Building to be erected for McCravy  
Applied for by O/B  
Subdivision Palmetto Pl Lot 1 Block \_\_\_\_\_  
Address 22 Palmetto Dr  
Type of structure SFR

*Receipt*  
BUILDING PERMIT NO. 8364  
Type of Permit Wood planter  
work w/o permit  
Building Fee 250  
Radon Fee \_\_\_\_\_  
Impact Fee \_\_\_\_\_  
A/C Fee \_\_\_\_\_  
Electrical Fee \_\_\_\_\_  
Plumbing Fee \_\_\_\_\_  
Roofing Fee \_\_\_\_\_  
TOTAL Fees 250

Parcel Control Number:  
013841-010-000-0021-150000  
Amount Paid \$250 Check # 1288 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_  
Total Construction Cost \$ 2000 -

Signed Ms K M'Cravy  
Applicant

Signed Valudney  
Town Building Official Dept Clerk

REC-14-06 D

Town of Sewall's Point BUILDING PERMIT APPLICATION

Cell# 285-7749 Permit Number:

Date: 8/4/06

OWNER/TITLEHOLDER NAME: Daniel W. McCravy Phone (Day) 772 692 0275 (Fax) 692 0278

Job Site Address: 22 Palmetto Dr City: STUART State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block): PALMETTO DR OF LOT 1 Parcel Number: 01-38-41-010-000-002-11-5

Description of Work To Be Done: REPAIR & REPLACE WOOD PLASTER WALL

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$2000

Estimated Fair Market Value prior to improvement: \$

Is Improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value:

(If no, fill out the Contractor & Subcontractor sections below) (If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: Phone: Fax:

Street: City: State: Zip:

State Registration Number: State Certification Number: Martin County License Number:

SUBCONTRACTOR INFORMATION:

Electrical: State: License Number: Mechanical: State: License Number: Plumbing: State: License Number: Roofing: State: License Number:

ARCHITECT Lic.#: Phone Number: City: State: Zip:

ENGINEER Lic# Phone Number: City: State: Zip:

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: Garage: Covered Patios: Screened Porch: Carport: Total Under Roof Wood Deck: Accessory Building:

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: National Electrical Code: 2002 Florida Energy Code: 2004 Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) State of Florida, County of: Martin This the 14th day of August, 2006 by Daniel W. McCravy who is personally known to me or produced PD# M-261-179-51-467-0 as identification.

CONTRACTOR SIGNATURE (required) On State of Florida, County of: This the \_\_\_ day of \_\_\_ 200 by \_\_\_ who is personally known to me or produced \_\_\_ as identification.

My Commission Expires: VALERIE MEYER Notary Public MY COMMISSION # DDS52119 EXPIRES: May 14, 2010

My Commission Expires: Notary Public Seal



# MARTIN COUNTY BUILDING PERMIT

**CARD MUST BE POSTED IN A CONSPICUOUS PLACE ON THE FRONT OF THE PREMISES WITHIN VIEW OF THE STREET BEFORE WORK IS STARTED.**

Permit Number: SP01 - 20060099  
 Permit Type: SEWALLS POINT  
 Date Issued: 01-AUG-06  
 Project:  
 Scope of Work: Repair & replace wood on existing planting wall

Applicant/Contact:	MCCRAVY, DANIEL W & KIM L	/ MCCRAVY, DANIEL W & KIM L
Parcel Control Number:	01-38-41-010-000-0021.1-50000	
Subdivision:	PALMETTO PARK	
Construction Address:	22 PALMETTO DR	
Location Description:		
Owner Name:	MCCRAVY, DANIEL W & KIM L	
Prime Contractor:	OWNER	CONTACT OWNER
		License No.:

In consideration of the granting of this permit, it is agreed that in all respects the work will be performed and completed in accordance with the permitted plans and the applicable codes for Martin County, Florida. This permit may be revoked at any time upon the violation of any of the provisions of said laws, ordinances or rules and regulations or upon any change in the plans and specifications unauthorized by this department. Permit expires one hundred eighty (180) days from the date of issuance if work is not started or if work is suspended for a period of six months. Per FBC Section 3305, sanitary facilities shall be provided during construction, remodeling, or demolition activities.

"NOTICE: IN ACCORDANCE TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES."

**"WARNING TO OWNER; YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."**  
**A CERTIFIED COPY OF RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE ISSUING AUTHORITY PRIOR TO THE FIRST INSPECTION.**

ALL REINSPECTIONS OR ADDITIONAL INSPECTIONS WILL BE CHARGED AT A RATE ESTABLISHED BY THE BOARD OF COUNTY COMMISSION. NOTICE: DO NOT ORDER CONCRETE UNTIL INSPECTION IS APPROVED.

UPON COMPLETION OF WORK, A FINAL INSPECTION MUST BE CALLED FOR BY THE CONTRACTOR. FAILURE TO DO SO WILL RESULT IN A DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR.

### INSPECTIONS

Phone 221-2364 (interactive voice) or 288-5489 for inspections. 24 hour notice is required.  
 The inspections listed below may not represent all necessary required inspections for the scope of work.

6099 Residential Final \_\_\_\_\_

RECEIVED

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: 7-21-06

OWNER/TITLEHOLDER NAME DANIEL W. Mc CRAVY Phone (Day) 772 2231030 (Fax) 772 662 0777

Job Site Address: 22 PALMETTO DR City: STUARTS State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Palmetto Pk. Pt of Lot 1, Parcel Number: 01-38-41-010-000-00211-5

Owner Address (if different): uninc. 1 Bay 170' W of NW Cor Lot 3, Sely 159.77' City: SWLY State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: Repair & Replace wood on existing flooring wall

WILL OWNER BE THE CONTRACTOR?:

YES  NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 2000<sup>00</sup>  
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ 1200<sup>00</sup>

Is Improvement cost 50% or more of Fair Market Value?  YES  NO

Method of Determining Fair Market Value: Cost of Material

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: Creative Landscaping Phone: 334-1843 Fax 335-7389

Street: 887 MEDIE Hwy Unit 3 City: Jensen Beach State: Fla. Zip: 34957

State Registration Number: \_\_\_\_\_ State Certification Number: 0946 Martin County License Number: 509

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Robert Sneider CELL 260 0946 334-1843

Owner

Complete Design & Installation

ARCHITECT \_\_\_\_\_ Number: \_\_\_\_\_

Street: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Number: \_\_\_\_\_

Street: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEW \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_



887 NE Dixie Hwy. Unit 3 Jensen Beach, FL 34957

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004  
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT'S SIGNATURE (required)

State of Florida, County of: Martin

This the 21 day of July, 2006  
by GAIL JARRACH who is personally

known to me, produced EXPIRES: Mar. 16, 2010

as identification (407) 398-0153 Florida Notary Service.com

Notary Public

My Commission Expires: 3/16/2010

Seal

CONTRACTOR SIGNATURE (required)

On State of Florida, County of: Martin

This the 21 day of July, 2006  
by GAIL JARRACH who is personally

known to me, produced EXPIRES: Mar. 16, 2010

As identification (407) 398-0153 Florida Notary Service.com

Notary Public

My Commission Expires: 3/16/2010

Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!



<b>ACORD. CERTIFICATE OF LIABILITY INSURANCE</b>		OP ID PS CREA-11	DATE (MM/DD/YYYY) 07/21/06
<b>PRODUCER</b>  Atlantic Pacific Insurance-PBG 11382 Prosperity Farms, #123 Palm Beach Gardens FL 33410 Phone: 800-538-0487 Fax: 561-626-3153	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.		
<b>INSURED</b>  Creative Landscaping; Robert Sneider DBA 887 NE Dixie Highway Jensen Beach FL 34957	<b>INSURERS AFFORDING COVERAGE</b>  INSURER A: <b>Old Dominion Insurance Co.</b> INSURER B: INSURER C: INSURER D: INSURER E:	<b>NAIC #</b>  40231	

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR	ADD'L	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A		<b>GENERAL LIABILITY</b> <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	MPG31858	08/18/05	08/18/06	EACH OCCURRENCE \$ 300,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 500,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 300,000 GENERAL AGGREGATE \$ 600,000 PRODUCTS - COMP/OP AGG \$ 600,000
		<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
		<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
		<b>EXCESS/UMBRELLA LIABILITY</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE  DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
		<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				<input type="checkbox"/> WC STATU-TORY LIMITS <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
		OTHER				
DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS <b>Landscape Gardening</b>						

**CERTIFICATE HOLDER**

**CANCELLATION**

Town of Seawalls Point Town Hall One S Seawalls Point Rd. Seawalls Point FL 34996	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE  EMS
--	--

<b>ACORD™ CERTIFICATE OF LIABILITY INSURANCE</b>		Date 7/21/2006
<b>Producer:</b> Lion Insurance Company 2739 U.S. Highway 19 N. Holiday, FL 34691 Phone: 727-938-5562 Fax: 727-937-2138	This Certificate is issued as a matter of information only and confers no rights upon the Certificate Holder. This Certificate does not amend, extend or alter the coverage afforded by the policies below.	
<b>Insured:</b> South East Personnel Leasing, Inc. 2739 U.S. Highway 19 N. Holiday, FL 34691 Phone : (727)938-5562	Insurers Affording Coverage	
	Insurer A: Lion Insurance Company	NAIC # 11075
	Insurer B:	
	Insurer C:	
	Insurer D:	
	Insurer E:	

**Coverages**

The policies of insurance listed below have been issued to the insured named above for the policy period indicated. Notwithstanding any requirement, term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the policies described herein is subject to all the terms, exclusions, and conditions of such policies. Aggregate limits shown may have been reduced by paid claims.

INSR LTR	ADDL INSRD	Type of Insurance	Policy Number	Policy Effective Date (MM/DD/YY)	Policy Expiration Date (MM/DD/YY)	Limits																
		<b>GENERAL LIABILITY</b> <input type="checkbox"/> Commercial General Liability <input type="checkbox"/> Claims Made <input type="checkbox"/> Occur <hr/> General aggregate limit applies per: <input type="checkbox"/> Policy <input type="checkbox"/> Project <input type="checkbox"/> LOC				Each Occurrence \$ Damage to rented premises (EA occurrence) \$ Med Exp \$ Personal Adv Injury \$ General Aggregate \$ Products - Comp/Op Agg \$																
		<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> Any Auto <input type="checkbox"/> All Owned Autos <input type="checkbox"/> Scheduled Autos <input type="checkbox"/> Hired Autos <input type="checkbox"/> Non-Owned Autos				Combined Single Limit (EA Accident) \$ Bodily Injury (Per Person) \$ Bodily Injury (Per Accident) \$ Property Damage (Per Accident) \$																
		<b>GARAGE LIABILITY</b> <input type="checkbox"/> Any Auto				Auto Only - Ea Accident \$ Other Than EA Acc. \$ Autos Only: AGG. \$																
		<b>EXCESS/UMBRELLA LIABILITY</b> <input type="checkbox"/> Occur <input type="checkbox"/> Claims Made <input type="checkbox"/> Deductible <input type="checkbox"/> Retention				Each Occurrence Aggregate																
A		<b>Workers Compensation and Employers' Liability</b> Any proprietor/partner/executive officer/member excluded? If Yes, describe under special provisions below.	WC 71949	01/01/2006	01/01/2007	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">X</td> <td style="font-size: x-small;">WVC Statutory Limits</td> <td style="text-align: center;">OTH-ER</td> <td></td> </tr> <tr> <td></td> <td>E.L. Each Accident</td> <td></td> <td style="text-align: right;">\$1000000</td> </tr> <tr> <td></td> <td>E.L. Disease - Ea Employee</td> <td></td> <td style="text-align: right;">\$1000000</td> </tr> <tr> <td></td> <td>E.L. Disease - Policy Limits</td> <td></td> <td style="text-align: right;">\$1000000</td> </tr> </table>	X	WVC Statutory Limits	OTH-ER			E.L. Each Accident		\$1000000		E.L. Disease - Ea Employee		\$1000000		E.L. Disease - Policy Limits		\$1000000
X	WVC Statutory Limits	OTH-ER																				
	E.L. Each Accident		\$1000000																			
	E.L. Disease - Ea Employee		\$1000000																			
	E.L. Disease - Policy Limits		\$1000000																			

Other 3401013  
Creative Landscaping

COVERAGE APPLIES ONLY TO THOSE EMPLOYEES LEASED, NOT TO SUBCONTRACTORS.

Descriptions of Operations/Locations/Vehicles/Exclusions added by Endorsement/Special Provisions: ADD ON DATE: 11/13/2003  
 COVERAGE APPLIES ONLY IN THE STATE OF FLORIDA TO THOSE EMPLOYEES LEASED TO BUT NOT SUBCONTRACTORS OF Creative Landscaping, FAX: 772-335-7389 & 772-220-4765 / ISSUE 7-21-06 (NM)

**Lion Insurance Company is A.M. Best Company rated A- (Excellent). A.M.B. # 12616**

<b>CERTIFICATE HOLDER</b>  TOWN OF SEWALL'S POINT TOWN HALL ONE SOUTH SEWALLS POINT ROAD SEWALLS POINT FL 34896	<b>CANCELLATION</b>  Should any of the above described policies be cancelled before the expiration date thereof, the issuing insurer will endeavor to mail 30 days written notice to the certificate holder named to the left, but failure to do so shall impose no obligation or liability of any kind upon the insurer, its agents or representatives.  <div style="text-align: right;"><i>John L. ...</i></div>
--	--

2005-2006 MARTIN COUNTY ORIGINAL  
COUNTY OCCUPATIONAL LICENSE

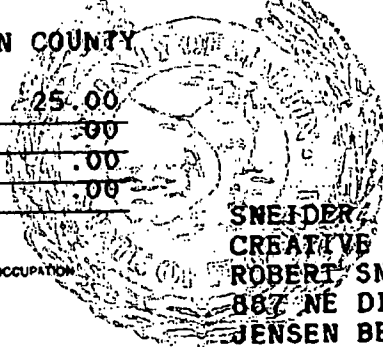
Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995  
(772) 288-5604

LICENSE 1978-267-509 CERT                       
PHONE (561)334-1843 SIC NO 561730

LOCATION: 887 NE DIXIE HWY MAR

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	<u>.00</u>	LIC FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>.00</u>
\$	<u>.00</u>	COL FEE \$	<u>.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>.00</u>
TOTAL			<u>25.00</u>



SNEIDER, ROBERT  
CREATIVE LANDSCAPING  
ROBERT SNEIDER  
887 NE DIXIE HWY UNIT #3  
JENSEN BEACH FL 34957

IS HEREBY RENEWED TO EXPIRE IN THE BUSINESS, PROFESSION OR OCCUPATION  
OF LANDSCAPING

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

31 DAY OF AUGUST 05  
AND ENDING SEPTEMBER 30, 2006 12 05083101 005197

# STOP WORK ORDER

DATE: 7-20-06

ADDRESS: 22 Palmetto

**OWNER/CONTRACTOR is hereby notified to STOP WORK immediately upon reading this notice.**

The work described below requires a permit:

Replacing retaining wall  
off dock

Creative Landscaping - JB

Continued work from the date of this notice will constitute additional fines and prosecution through the Sewall's Point Code Enforcement Board and/or the State Licensing Board.

Chris L. McCarty  
BUILDING OFFICIAL OR INSPECTOR

**DO NOT REMOVE THIS NOTICE  
UNTIL PERMIT IS OBTAINED!**



22 Palmetto

07/20/2006 @ 1100 hours

Reference: working without permit

Officer Leonard N. DeBellis, 037-47



# Martin County Conditions for Approval

08/01/06

Application Number: **SP01 - T103**  
 Application Type: **SEWALLS POINT**  
 Date Issued:  
 Project:  
 Scope of Work: **Repair & replace wood on existing planting wall**

Applicant/Contact:	/
Parcel Control Number:	01-38-41-010-000-0021.1-50000
Subdivision:	PALMETTO PARK
Construction Address:	22 PALMETTO DR
Location Description:	
Owner Name:	MCCRAVY, DANIEL W & KIM L
Prime Contractor:	

### Conditions:

PPCONTR - NEED CONTRACTOR

Contact: SHARYL MCCREARY

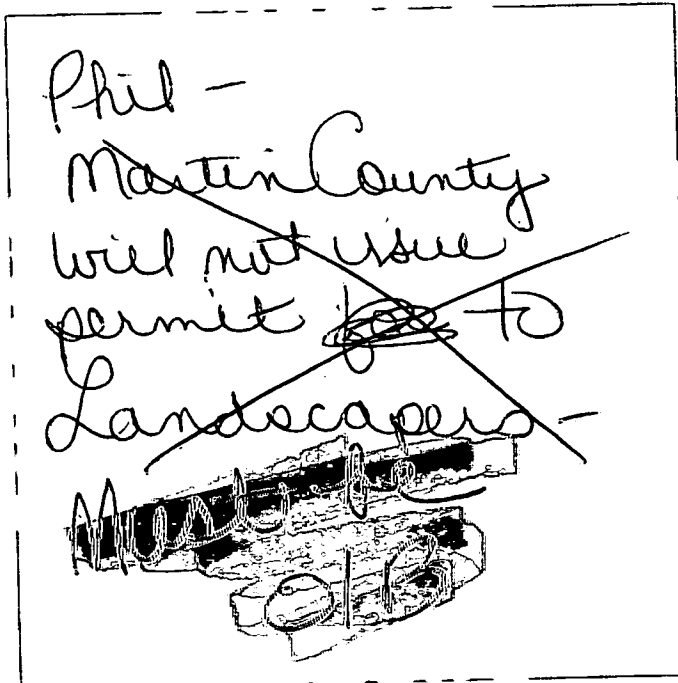
Creative Landscaping is not eligible for permits. Contact Contractor's Licensing at 772-288-5482 if questions.

8/4/06

Called owner 223-1030 -

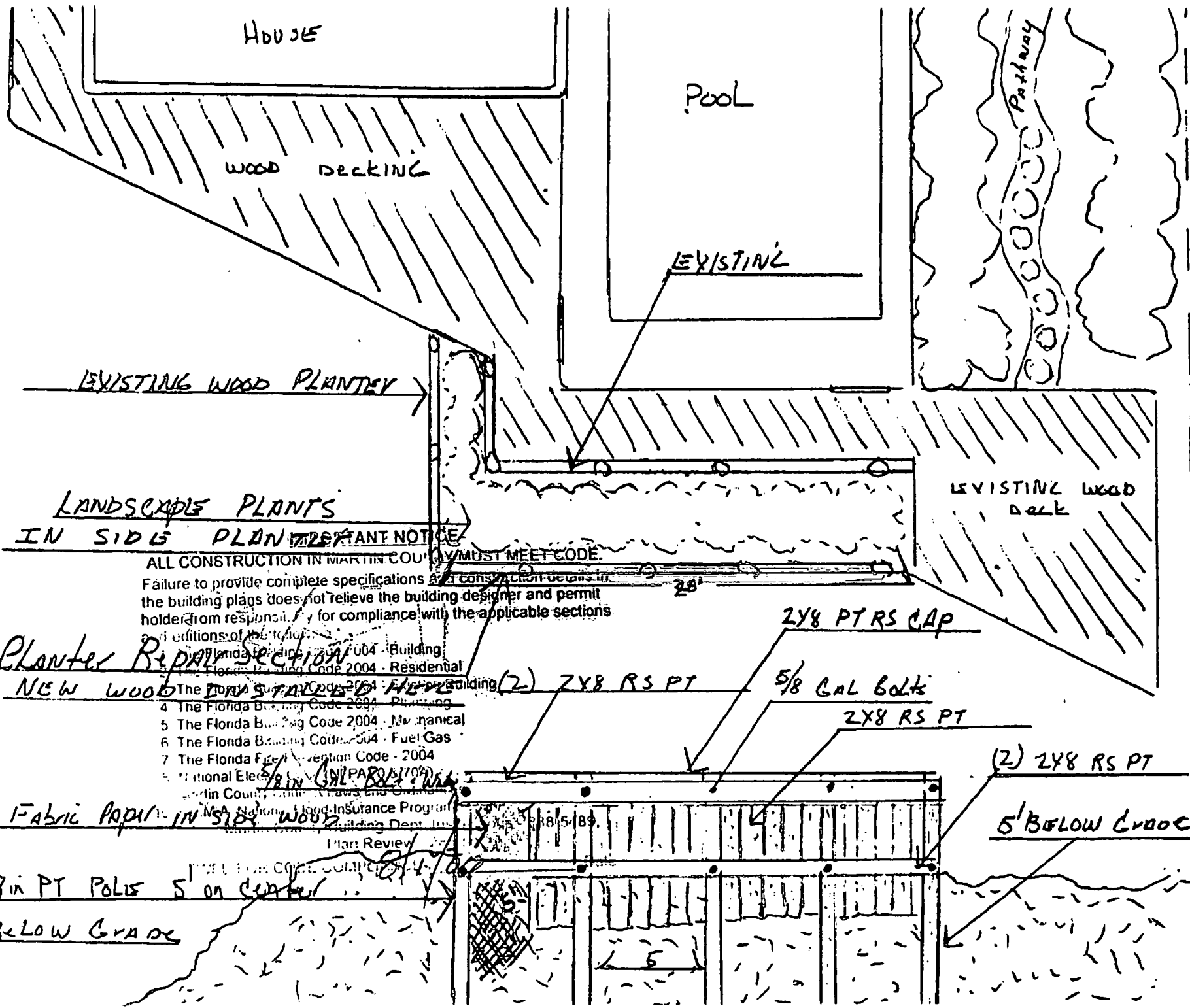
out of town until Tues 8/8

8/8 called again - left mess on ans mach



**No professional has been entered with a role of PRIME. You MUST enter a professional with a role of PRIME before you will be allowed to print the Building Permit.**

Have O/B



HOUSE

POOL

WOOD DECKING

EXISTING

Pathway

EXISTING WOOD PLANTER

LANDSCAPE PLANTS

IN SIDE PLANTER

EXISTING WOOD DECK

ALL CONSTRUCTION IN MARTIN COUNTY MUST MEET CODE.  
 Failure to provide complete specifications and construction details in the building plans does not relieve the building designer and permit holder from responsibility for compliance with the applicable sections of the Florida Building Code 2004 - Residential

Planter Repair Section

NEW WOOD DECKING

- 1 The Florida Building Code 2004 - Building
- 2 The Florida Building Code 2004 - Residential
- 3 The Florida Building Code 2004 - Plumbing
- 4 The Florida Building Code 2004 - Electrical
- 5 The Florida Building Code 2004 - Mechanical
- 6 The Florida Building Code 2004 - Fuel Gas
- 7 The Florida Fire Prevention Code - 2004
- 8 National Electrical Code (NEC) - 2004
- 9 Martin County Code, Rules and Ordinances
- 10 MA National Flood Insurance Program

Fabric Paper in Side Wood

2x8 PTRS CAP

(2) 2x8 RS PT

5/8 GAL BOLTS

2x8 RS PT

(2) 2x8 RS PT

5' BELOW GRADE

10" x 8" PT POLES 5' on center

5' BELOW GRADE

5'





Martin County Reports  
Permit List by Parcel

Permit Issue Date From: 03-JUL-2006	Permit Type: SP01	Permit Status: OPEN
Permit Issue Date To: 30-OCT-2006	Permit Number:	Subdivision ID/Parcel Number:

Permit No.	Permit Type	Address	Status	Issue Date	Subdivision ID/Parcel Number	Amount
20060089	SP01	SEWALLS POINT <i>No Insp.</i> Subdivision ID: 013841001 Subdivision Name: ARBELA Address: 1 RIDGELAND CT	OPEN	21-JUL-2006	01-38-41-001-011-0001.0-60000	\$4,000.00
20060111	SP01	SEWALLS POINT <i>No Insp.</i> Subdivision ID: 013841001 Subdivision Name: ARBELA Address: 54 SEWALLS POINT RD	OPEN	15-AUG-2006	01-38-41-001-011-0002.0-40000	\$3,000.00
<del>20060088</del>	SP01	SEWALLS POINT Subdivision ID: 013841001 Subdivision Name: ARBELA Address: 55 SEWALLS POINT RD	OPEN	19-JUL-2006	01-38-41-001-012-0003.0-00000	\$5,000.00
20060082	SP01	SEWALLS POINT <i>Incomp. Insp.</i> Subdivision ID: 013841001 Subdivision Name: ARBELA Address: 68 SEWALLS POINT RD	OPEN	17-JUL-2006	01-38-41-001-014-0002.0-80000	\$66,797.72
20060134	SP01	SEWALLS POINT <i>No Insp.</i> Subdivision ID: 013841005 Subdivision Name: EMARITA Address: 45 SEWALLS POINT RD	OPEN	26-SEP-2006	01-38-41-005-000-0001.0-50000	\$3,705.00
<del>20060109</del>	SP01	SEWALLS POINT Subdivision ID: 013841006 Subdivision Name: HOME WOOD (SEWALL'S PT) Address: 18 N RIDGEVIEW RD	OPEN	14-AUG-2006	01-38-41-006-002-0009.0-30000	\$2,100.00
20060100	SP01	SEWALLS POINT <i>Incomp. Insp.</i> Subdivision ID: 013841007 Subdivision Name: LUCINDIA Address: 72 SOUTH RIVER RD	OPEN	01-AUG-2006	01-38-41-007-000-0021.0-10000	\$12,000.00
20060097	SP01	SEWALLS POINT <i>Incomp. Insp.</i> Subdivision ID: 013841007 Subdivision Name: LUCINDIA Address: 14 S VIA LUCINDIA	OPEN	31-JUL-2006	01-38-41-007-000-0025.0-20000	\$30,000.00
20060108	SP01	SEWALLS POINT <i>Incomp. Insp.</i> Subdivision ID: 013841010 Subdivision Name: PALMETTO PARK Address: 8 PALMETTO DR	OPEN	14-AUG-2006	01-38-41-010-000-0011.0-70000	\$4,785.00
<del>20060099</del>	SP01	SEWALLS POINT Subdivision ID: 013841010 Subdivision Name: PALMETTO PARK Address: 22 PALMETTO DR	OPEN	01-AUG-2006	01-38-41-010-000-0021.1-50000	\$2,000.00
20060108	SP01	SEWALLS POINT <i>No Insp.</i> Subdivision ID: 013841011 Subdivision Name: RIDGELAND Address: 3 RIDGELAND DR	OPEN	14-AUG-2006	01-38-41-011-000-0002.0-50000	\$4,400.00
20060132	SP01	SEWALLS POINT <i>Incomp. Insp.</i> Subdivision ID: 013841011 Subdivision Name: RIDGELAND Address: 8 RIDGELAND DR	OPEN	25-SEP-2006	01-38-41-011-000-0030.0-60000	\$1,500.00

**8682**

**RE-ROOF**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	8682	DATE ISSUED:	AUGUST 10, 2007
SCOPE OF WORK:	REROOF		
CONDITIONS:			
CONTRACTOR:	LATITUDE 27		
PARCEL CONTROL NUMBER:	13841010000002115	SUBDIVISION	PALMETTO PARK-LOT 1
CONSTRUCTION ADDRESS:	22 PALMETTO DR		
OWNER NAME:	REROOF		
QUALIFIER:	RICHARD DESSEWFFY	CONTACT PHONE NUMBER:	772-873-8845

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

RECEIVED  
DATE: 8-6-07  
TOWN OF SEWALL'S POINT

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Date: \_\_\_\_\_ Permit Number: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: Daniel W & Kim McCravy Phone (Day) (772) 223-1030 (Fax) (772) 219-9099

Job Site Address: 22 Palmetto Drive City: Stuart State: Fla. Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Palmetto Park / Plot Lot 1 corner 1st 3 Parcel Number: 01384101000002115

Owner Address (if different): - same as above - City: - State: - Zip: -

Description of Work To Be Done: new roof

WILL OWNER BE THE CONTRACTOR?:

YES  NO

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 55800  
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ 2,276,230

Is improvement cost 50% or more of Fair Market Value? YES  NO

Method of Determining Fair Market Value: Property Appraiser

CONTRACTOR/Company: Latitude 27 Roofing Corp. Phone 772-873-8845 Fax 772-873-2142

Street: 2886 SE Pace Dr City: Port St. Lucie State: Fla. Zip: 34983

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: CRFG3686

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing Latitude 27 Roofing Corporation State: Florida License Number: CRFG3686

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic.# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof 6000 Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004  
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODE LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT'S SIGNATURE (required)

State of Florida, County of: Martin

This the 31 day of July, 2007

by Daniel W. McCravy who is personally

known to me or produced

as identification. Gail Jarrach Notary Public

My Commission Expires: \_\_\_\_\_

CONTRACTOR SIGNATURE (required)

On State of Florida, County of: Martin

This the 6 day of August, 2007

by Richard Ossewally who is personally

known to me or produced

as identification. Notary Public

My Commission Expires: 5/12/09

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

Seal  
GAIL JARRACH  
MY COMMISSION # DD529738  
EXPIRES: Mar. 16, 2010  
Florida Notary Service.com

GLENDA RUTH GREGORY  
MY COMMISSION # DD122948  
EXPIRES: May 12, 2008  
Florida Notary Service.com



**Martin County, Florida**  
Laurel Kelly, C.F.A

Site Provided by...  
governmentmax.com T1.12

### Summary

print | | | - / - / Address  
1 of 1

#### Parcel Info

- Summary**
- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	Serial ID	Index Order	Commercial	Residential
01-38-41-010-000-00211-5	22 PALMETTO DR	17775	Address	0	1

#### Summary

**Property Location** 22 PALMETTO DR  
**Tax District** 2200 Sewall's Point  
**Account #** 17775  
**Land Use** 101 0100 Single Family  
**Neighborhood** 193170  
**Acres** 0.617

#### Legal Description

**Property Information**  
 PALMETTO PARK, PT OF LOT 1,  
 UNINCLUDED, BEG 170' W OF NW  
 COR LOT 3, SELY 159.77', SWLY

#### Owner Information

**Owner Information**  
 MCCRAVY, DANIEL W & KIM L

#### Assessment Info

**Front Ft.** 1.00

#### Mail Information

22 PALMETTO DR  
 STUART FL 34996

**Market Land Value** \$1,750,000  
**Market Impr Value** \$526,230  
**Market Total Value** \$2,276,230

#### Recent Sale

**Sale Amount** \$0

**Sale Date** 10/30/1997  
**Book/Page** 1269 1477

#### Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Print | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 07/31/2007



# ACORD™ CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)  
06/08/07

**PRODUCER** A Better Deal Auto Ins.  
1026 SW Bayshore Blvd.  
Port St. Lucie, FL 34983  
Phone (772)871-7764 Fax (772)871-9134

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**INSURED** LATITUDE 27 ROOFING CORP  
2886 SE Pace Dr  
Pt St Lucie, FL 34984

INSURERS AFFORDING COVERAGE	NAIC #
INSURER A: AMERICAN SAFETY INSURANCE CO	
INSURER B:	
INSURER C:	
INSURER D:	
INSURER E:	
INSURER F:	

**COVERAGES**

THE POLICIES OF INSURANCE LISTED HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	ADDL INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	<input type="checkbox"/>	<b>GENERAL LIABILITY</b> <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> _____ <input type="checkbox"/> _____ GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC	00486901	11/30/06	11/30/07	EACH OCCURRENCE 300,000 DAMAGE TO RENTED PREMISES (Ea occurrence) 50,000 MED EXP (Any one person) 1,000 PERSONAL & ADV INJURY 300,000 GENERAL AGGREGATE 600,000 PRODUCTS - COMP/OP AGG 300,000
B	<input type="checkbox"/>	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON OWNED AUTOS <input type="checkbox"/> _____ <input type="checkbox"/> _____				COMBINED SINGLE LIMIT (Ea accident) BODILY INJURY (Per person) BODILY INJURY (Per accident) PROPERTY DAMAGE (Per accident)
C	<input type="checkbox"/>	<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> _____				AUTO ONLY - EA ACCIDENT OTHER THAN AUTO ONLY: EA ACC AGG
D	<input type="checkbox"/>	<b>EXCESS LIABILITY</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION				EACH OCCURRENCE AGGREGATE
E		<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR / PARTNER / EXECUTIVE OFFICER / MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				<input type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER E.L. EACH ACCIDENT E.L. DISEASE - EA EMPLOYEE E.L. DISEASE - POLICY LIMIT
F		OTHER				

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

**CERTIFICATE HOLDER**

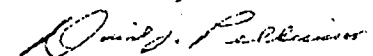
TOWN OF SEWALL'S POINT  
1 SOUTH SEWALL'S PT RD  
SEWALL'S POINT, FL 34996

FAX 220-4765

**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE



# ACORD CERTIFICATE OF LIABILITY INSURANCE

CERTIFICATE NO. / DATE  
AC07-6300331-361366  
8/7/2007 6:08:55AM

**PRODUCER**  
Highpoint Risk Services LLC  
14160 Dallas Parkway #500  
Dallas, TX 75254  
(800) 632-5096 (972) 715-0959  
Fax: (972) 404-4450

**THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.**

**INSURERS AFFORDING COVERAGE**

**INSURED:** AMS I/C/F:  
LATITUDE 27 ROOFING CORP  
2886 SE PACE DR.  
PORT ST. LUCIE, FL 34984  
(772) 873-8845 Fax: (772) 873-2142


INSURER A: Companion Property and Casualty Insurance Comp  
INSURER B:  
INSURER C:  
INSURER D:  
INSURER E:

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
	<b>GENERAL LIABILITY</b> <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC				EACH OCCURRENCE \$ FIRE DAMAGE (Any One Fire) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (EA accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$
	<b>EXCESS LIABILITY</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE  DEDUCTIBLE \$ RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
A	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b>	WC7777999J401	04/01/2007	04/01/2008	<input checked="" type="checkbox"/> WC STAT-L <input type="checkbox"/> TORY LIMITS <input type="checkbox"/> OTH- <input type="checkbox"/> ER E.L. EACH ACCIDENT \$ 1000000 E.L. DISEASE - EA EMPLOYEE \$ 1000000 E.L. DISEASE - POLICY LIMIT \$ 1000000
	<b>OTHER</b> _____				LIMITS \$ LIMITS \$

**DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS**  
 1. This certificate remains in effect, provided the client's account is in good standing with AMS. Coverage is not provided for any employee for which the client is not reporting wages to AMS. Applies to 100% of the employees of AMS leased to LATITUDE 27 ROOFING CORP, effective 04/01/2007.  
 \*\*\*PLEASE SEE ATTACHED EMPLOYEE ROSTER.\*\*\*

<b>CERTIFICATE HOLDER</b>	<b>ADDITIONAL INSURED; INSURER LETTER:</b>	<b>CANCELLATION</b>
TOWN OF SEWALLS POINT 1 SOUTH SEWALLS POINT ROAD  SEWALLS POINT, FL 349966736		SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE 





STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD  
1940 NORTH MONROE STREET  
TALLAHASSEE FL 32399-0783

(850) 487-1395

DESSEWFFY, RICHARD  
LATITUDE 27 ROOFING CORP  
2886 SE PACE DRIVE  
PORT ST. LUCIE FL 34984

STATE OF FLORIDA AC# 2118041  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

RC29027112 08/08/05 050110434

REGISTERED ROOFING CONTRACTOR  
DESSEWFFY, RICHARD  
LATITUDE 27 ROOFING CORP  
(INDIVIDUAL MUST MEET ALL LOCAL LICENSING REQUIREMENTS PRIOR TO CONTRACTING IN ANY AREA)

HAS REGISTERED under the provisions of Ch. 489  
Expiration date: AUG 31, 2007 L05080800513

DETACH HERE

AC# 2118041

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L05080800513

DATE	BATCH NUMBER	LICENSE NBR
08/08/2005	050110434	RC29027112

The ROOFING CONTRACTOR  
Named below HAS REGISTERED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2007  
(INDIVIDUAL MUST MEET ALL LOCAL LICENSING REQUIREMENTS PRIOR TO CONTRACTING IN ANY AREA)

DESSEWFFY, RICHARD  
LATITUDE 27 ROOFING CORP  
2886 SE PACE DRIVE  
PORT ST. LUCIE FL 34984

JEB BUSH  
GOVERNOR

DIANE CARR  
SECRETARY

DISPLAY AS REQUIRED BY LAW



### Martin County Building Department

2401 SE Monterey Road

Stuart, Fl 34996

(772) 288-5482

Fax (772) 288-5911

DESSEWFFY, RICHARD  
LATITUDE 27 ROOFING CORP  
2886 SE PACE DR  
PSL, FL 34984

#### NOTICE TO ALL CONTRACTORS

PLEASE BE ADVISED THAT MARTIN COUNTY, FLORIDA SECTION 43.42 REQUIRES COMPLIANCE WITH THE FOLLOWING EXERPT FROM THE GENERAL ORDINANCES OF THE MARTIN COUNTY CODE:

#### PROHIBITED ACTIVITIES:

43.42 R Advertising contracting work in any advertisement to the public in a newspaper or telephone directory without including in the advertisement the number of the contractor license issued to the person or business being advertised.

43.42 S Operating any commercial vehicle in the course of conducting the practice of contracting that fails to display the contractor license number of the contractor.

If you have any questions relating to the information in this letter , please contact the Martin County Contractor's Licensing Division of the Martin County Building Department.



**MARTIN COUNTY, FLORIDA**  
Construction Industry Licensing Board  
Certificate of Competency

#### ROOFING CONTRACTOR

License Number CRFG3688 Expires: 30-SEP-07

DESSEWFFY, RICHARD

LATITUDE 27 ROOFING CORP

2886 SE PACE DR

PSL, FL 34984



# CITY OF PORT ST. LUCIE LOCAL BUSINESS TAX RECEIPT

**TERM: October 1, 2007 to September 30, 2008**

This receipt does not warrant that the receipt holder is competent to perform in the business, but that the holder has paid the required tax. Valid only when all state and local regulated trade licenses / competency cards are valid for the current fiscal year as required by law.

**THIS RECEIPT MUST BE EXHIBITED CONSPICUOUSLY AT YOUR PLACE OF BUSINESS**

**VALID AT THIS BUSINESS ADDRESS ONLY**

**Business Address: 2886 SE PACE DRIVE**  
**Classification: CONT CONTRACTOR**  
**Issued to: LATITUDE 27 ROOFING CORP**  
**2886 SE PACE DRIVE**

**Business Tax 120028 / 08-1024278**  
**Fee: 121.55**  
**Discount: 0.00**

*May S. Mastio*  
**BUSINESS TAX AUTHORITY**

**PORT ST LUCIE FL 34984**

**THIS IS A RECEIPT FOR TAX PAID AND IS NOT REGULATORY IN NATURE**

**LOCAL BUSINESS TAX RECEIPT CITY OF PORT ST. LUCIE**  
Fees: 121.55 Late Fees: 0.00 Total this payment : 121.55

This receipt does not warrant that the receipt holder is competent to perform in the business, but that the holder has paid the required tax and provided the necessary documentation ( if required ) for this business. Valid only when all state and local regulated trade licenses / competency cards are valid for the current fiscal year as required by law.

**THIS RECEIPT MUST BE EXHIBITED CONSPICUOUSLY AT YOUR PLACE OF BUSINESS**  
**TERM: October 1, 2007 to September 30, 2008**

# RECEIPT FOR PAYMENT

**Business Address: 2886 SE PACE DRIVE**  
**Classification: CONT CONTRACTOR**

**Business Tax 120028 / 08-1024278**  
**Fee: 121.55**  
**Discount: 0.00**

**Issued to: THIS IS A RECEIPT FOR TAX PAID AND IS NOT REGULATORY IN NATURE**  
**2886 SE PACE DRIVE**

**PORT ST LUCIE FL 34984**

**LOCAL BUSINESS TAX RECEIPT CITY OF PORT ST. LUCIE**

Fees: 121.55 Late Fees: 0.00 Total this payment : 121.55

**RE-ROOF (Revised 12/28/05)**

**PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS  
FOR RE-ROOF**

**IMPORTANT NOTICE:** All items listed below must accompany your permit application. No application will be accepted unless all items that are applicable are submitted.

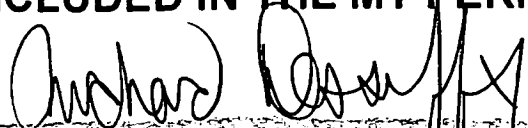
**Application form must contain the following information:**

1. Property Appraiser's parcel number or property control number
2. Legal description of property (can be found on your deed, survey or tax bill)
3. Contractor's name, address, phone, fax and license numbers.
4. Name all sub-contractors (properly licensed)
5. Architect or engineer name, address, & phone number.
6. Scope of work
7. Estimated cost of construction.
8. Original signature of owner, notarized
9. Original signature of contractor, notarized.

**Submittals (2 copies)**

1. Product approvals from Miami/Dade or from any testing institute approved by the Florida Building Code for the following items:
  - a. Roof System
2. Statement of fact (owner/builder affidavit)
3. Proof of ownership (deed or tax recpt.)
4. A certified copy of the Notice of Commencement for any work over \$2500.00
5. Copy of license (either Martin County Certificate of Competency or state certified or registered contractor license)
6. Copy of certificate of workmen's compensation insurance or exemption
7. Copy of certificate of liability insurance

**ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE  
ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE**

  
\_\_\_\_\_  
(SIGNATURE OF APPLICANT)

**DATE SUBMITTED:** \_\_\_\_\_

# TOWN OF SEWALL'S POINT RE-ROOF PERMIT CHECKLIST

THE FOLLOWING MINIMUM REQUIREMENTS MUST BE PROVIDED FOR PERMITTING AND INSPECTIONS:

## RESIDENTIAL RE-ROOFS:

- 1 COPY PERMIT APPLICATION
- 2 COPIES COMPLETE LIST OF PROPOSED MATERIALS
- 2 COPIES RE-ROOF CERTIFICATION FORM
- 2 COPIES FLA. PRODUCT APPROVAL FOR ALL PRODUCTS USED

- manufacturer specs/fastening schedule for roof shingles (must meet the minimum area wind load).
- location of proposed re-roof area (if only a partial re-roof)
- please use plain white paper

## COMMERCIAL RE-ROOFS:

- \_\_\_\_\_ 1 COPY PERMIT APPLICATION
- \_\_\_\_\_ 2 COPIES COMPLETE LIST OF PROPOSED MATERIALS
- \_\_\_\_\_ 2 COPIES RE-ROOF CERTIFICATION FORM
- \_\_\_\_\_ 2 COPIES ROOF PLAN:
  - show all features (pitch, drains, equipment, etc.)
  - details: 3/4" = 1'.0" min. scale
  - parapet or edge
  - rooftop mounting or equipment expansion joints
  - type of roofing (& insulation if any) being removed
  - type of roof deck
- \_\_\_\_\_ 2 COPIES FLA. PRODUCT APPROVALS FOR ALL PRODUCTS USED.
  - manufacturers complete roofing system specifications & installation guidelines (include fastening schedule meeting minimum area wind load).
- \_\_\_\_\_ 1 COPY CONTRACTOR VERIFICATION FORM (IF REQUIRED)
  - contractor verification form (HVAC and/or electric) required if roof top HVAC equipment is removed/reinstalled and/or if HVAC/electric is disconnected/reconnected.

- All Product Approval & Installation Spec's must be on the job site for inspection.

**CHECK SUBDIVISION DEED RESTRICTIONS**

# TOWN OF SEWALL'S POINT OWNER/BUILDER DISCLOSURE STATEMENT

## APPLICABLE ONLY TO OWNER-OCCUPIED SINGLE FAMILY RESIDENCES AND ACCESSORY STRUCTURES

PERMIT NUMBER \_\_\_\_\_

### OWNER/BUILDER DISCLOSURE STATEMENT

NOTICE: STATE LAW REQUIRES THAT ALL PERMITTING AGENCIES PROVIDE INDIVIDUALS SUBMITTING APPLICATIONS FOR OWNER/BUILDER PERMITS THE FOLLOWING INFORMATION:

1. THE TOWN OF SEWALL'S POINT CODE OF LAWS AND ORDINANCES REQUIRES THAT ANY PERSON DESIRING TO ENGAGE IN BUSINESS AS A CONTRACTOR IN THE TOWN OF SEWALL'S POINT BE A HOLDER OF A CERTIFICATE OF COMPETENCY.
2. FLORIDA STATUTES 489.103 (7) ALLOWS YOU, AS A PROPERTY OWNER, AN EXEMPTION TO CONSTRUCT OR IMPROVE A SINGLE FAMILY DWELLING AND ACCESSORY-USE STRUCTURES ON SAID PROPERTY FOR YOUR OWN USE OR OCCUPANCY WITHOUT HAVING A CERTIFICATE OF COMPETENCY.
3. AS AN OWNER/BUILDER, YOU MUST PHYSICALLY PERFORM OR MATERIALLY SUPERVISE ALL CONSTRUCTION/IMPROVEMENTS SPECIFIED ON YOUR OWNER/BUILDER PERMIT AND YOU ARE TOTALLY RESPONSIBLE FOR ALL ACTIVITIES ASSOCIATED THEREWITH. OWNER/BUILDERS WHO WISH TO DO ELECTRICAL OR PLUMBING WORK MUST PASS A SHORT OPEN BOOK QUIZ ADMINISTERED BY THE BUILDING DEPARTMENT.
4. IF YOU DO NOT PHYSICALLY PERFORM A SPECIFIC PHASE OF SAID CONSTRUCTION/IMPROVEMENT, BUT CHOOSE TO SUB-CONTRACT IT, THEN SUCH CONSTRUCTION/IMPROVEMENT MUST BE SUB-CONTRACTED TO A LOCALLY LICENSED OR STATE CERTIFIED CONTRACTOR.
5. YOU MAY NOT HIRE AN UNLICENSED INDIVIDUAL WHO IN ANY MANNER ACTS IN THE CAPACITY OF A GENERAL CONTRACTOR, THAT IS, ONE WHO FULFILLS YOUR DUTIES UNDER PARAGRAPH (3) ABOVE.
6. UNDER AN OWNER/BUILDER PERMIT YOU MAY NOT CONSTRUCT A BUILDING WHICH YOU INTEND TO SELL OR LEASE. THE SALE OR LEASE, OR OFFERING FOR SALE OR LEASE, OF ANY SUCH STRUCTURE BY THE OWNER-BUILDER WITHIN 1 YEAR AFTER COMPLETION OF SAME CREATES A PRESUMPTION THAT THE CONSTRUCTION WAS UNDERTAKEN FOR PURPOSES OF SALE OR LEASE WHICH IS A VIOLATION OF THIS EXEMPTION.
7. THIS EXEMPTION SHALL NOT APPLY TO ANY PERSON WHO HAS LEASED, SOLD, OR OFFERED FOR SALE MORE THAN 1 STRUCTURE BUILT UNDER AN OWNER-BUILDER PERMIT IN ANY JURISDICTION WITHIN THE 5 YEARS IMMEDIATELY PRECEDING THE APPLICATION FOR A PERMIT.
8. THERE MUST BE A THIRTY-SIX (36) MONTH PERIOD BETWEEN THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE INITIAL DWELLING AND THE SUBMITTAL OF AN OWNER/BUILDER APPLICATION FOR A SUBSEQUENT DWELLING. NO OTHER BUILDING PERMIT FOR A HOME SHALL BE ISSUED TO THAT OWNER/BUILDER, THE OWNER/BUILDER'S SPOUSE OR ANY MEMBER OF THE OWNER/BUILDER'S IMMEDIATE FAMILY UNDER EIGHTEEN YEARS OF AGE UNTIL THREE YEARS AFTER THE HOME BUILT UNDER THE FIRST BUILDING PERMIT HAS RECEIVED A CERTIFICATE OF OCCUPANCY.
9. ALL CONSTRUCTION IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDER PERMIT MUST BE IN STRICT COMPLIANCE WITH FLORIDA STATE STATUTE SECTION 489, SEWALL'S POINTS CODE OF LAWS AND ORDINANCES, ALL BUILDING & ZONING CODES AND REGULATIONS PERTAINING TO SINGLE FAMILY DWELLINGS, ACCESSORY USE STRUCTURES AS APPLICABLE.
10. YOUR OWNER/BUILDER EXEMPTION DOES NOT WAIVE ANY PERMIT CONDITIONS OR REQUIREMENTS OR WAIVE ANY PORTION OR PORTIONS OF ANY APPLICABLE BUILDING OR SWIMMING POOL CODES OR TOWN ORDINANCES.
11. ALL CONSTRUCTION/IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDING PERMIT MUST ALSO BE IN STRICT COMPLIANCE WITH ALL APPLICABLE ZONING REGULATIONS (QUESTIONS REGARDING ZONING REGULATIONS OR CODE SHOULD BE DIRECTED TO THE TOWN OF SEWALL'S POINT AT 772-287-2455.)
12. YOU MUST BE FAMILIAR WITH AND CALL FOR THE REQUIRED INSPECTIONS OF ALL CONSTRUCTION/IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDER PERMIT.
13. AS AN OWNER/BUILDER YOU MUST VERIFY THAT ALL INDIVIDUALS OR FIRMS ENGAGED IN CONSTRUCTION/IMPROVEMENTS ACTIVITIES UNDER YOUR OWNER/BUILDER PERMIT ARE PROPERLY LICENSED AS REQUIRED BY STATE LAW OR LOCAL ORDINANCE.
14. AS AN OWNER/BUILDER YOU MAY BECOME LIABLE TO AND RESPONSIBLE FOR THOSE PEOPLE HIRED TO ASSIST YOU. SUCH LIABILITY AND RESPONSIBILITY MAY INCLUDE, BUT IS NOT LIMITED TO, COMPLIANCE WITH APPLICABLE LAWS RELATING TO LIENS, WORKERS' COMPENSATION, SOCIAL SECURITY, UNEMPLOYMENT, FEDERAL WITHHOLDING TAX, AND PUBLIC LIABILITY.

15. I, AS AN OWNER/BUILDER, IN CONSIDERATION OF A BUILDING PERMIT ISSUED BY SEWALL'S POINT, FLORIDA, AGREE TO INDEMNIFY AND HOLD HARMLESS SAID SEWALL'S POINT, FLORIDA, ITS OFFICERS AND AGENTS FROM ANY AND ALL CLAIMS, DAMAGES, OR EXPENSES THAT SEWALL'S POINT MAY BE LIABLE FOR WHICH ARISE FROM THE CONSTRUCTION/IMPROVEMENTS ACCOMPLISHED IN CONNECTION WITH SAID BUILDING PERMIT.

I HEREBY ACKNOWLEDGE THAT I HAVE THOROUGHLY READ AND COMPLETELY UNDERSTAND THE PRECEDING PAGE OF THE OWNER/BUILDER DISCLOSURE STATEMENT ON THIS 6 DAY OF August, 2007.

PROPERTY ADDRESS 22 Palmetto Drive  
CITY Sewall's Pt STATE FL ZIP 34996

[Signature]  
SIGNATURE OF OWNER/BUILDER

SWORN TO AND SUBSCRIBED BEFORE ME THIS DAY OF ~~6th~~ August 6  
2007 BY Richard Desseffy

PERSONALLY KNOWN  
OR PRODUCED ID \_\_\_\_\_  
TYPE OF ID \_\_\_\_\_



[Signature]  
NOTARY SIGNATURE



MARTIN COUNTY BUILDING DEPARTMENT  
 900 SE RUHNKE STREET  
 STUART, FL 34994  
 (772) 288-5916  
 FAX (772) 288-5911

INSTR # 2031710  
 OR BK 02270 PG 1844  
 Pg 18447 (1pg)  
 RECORDED 08/10/2007 12:37:23 PM  
 MARSHA EWING  
 CLERK OF MARTIN COUNTY FLORIDA  
 RECORDED BY C Hunter

**NOTICE OF COMMENCEMENT**

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT #: \_\_\_\_\_ TAX FOLIO #: 01384101000002115

STATE OF Florida COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE): 22 Palmetto Dr Stuart  
Palmetto Park Pt of Lot 1, Unincluded, Beg 170' W of NW Cor Lot 3

GENERAL DESCRIPTION OF IMPROVEMENT: OWNER

OWNER: Daniel McCravy & Kim McCravy  
 ADDRESS: 22 Palmetto Dr Stuart, FL 34996  
 PHONE NUMBER: 772 692 0650 FAX NUMBER: \_\_\_\_\_

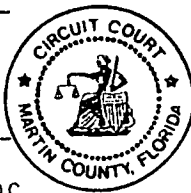
INTEREST IN PROPERTY: owner

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

CONTRACTOR: Latitude 27 Roofing Corp  
 ADDRESS: 2886 SE Pace Dr Palm Bay, FL 34984  
 PHONE NUMBER: 772 873 8845 FAX NUMBER: 772 873 2142

SURETY COMPANY (IF ANY): \_\_\_\_\_ STATE OF FLORIDA: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ MARTIN COUNTY: \_\_\_\_\_  
 PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_  
 BOND AMOUNT: \_\_\_\_\_

THIS IS TO CERTIFY THAT THE FOREGOING \_\_\_\_\_ PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.



LENDER/MORTGAGE COMPANY: \_\_\_\_\_ MARSHA EWING, CLERK  
 ADDRESS: \_\_\_\_\_ BY: C Hunter D.C.  
 PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

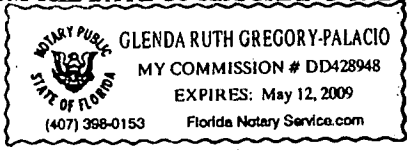
PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OF OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: \_\_\_\_\_ ADDRESS: \_\_\_\_\_  
 PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.  
 PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT:  
 THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

[Signature]  
 SIGNATURE OF OWNER



SWORN TO AND SUBSCRIBED BEFORE ME THIS 30 DAY OF July 2007

BY: Daniel McCravy

WHO IS PERSONALLY KNOWN TO ME \_\_\_\_\_ OR PRODUCED ID  TYPE OF ID DL

[Signature]  
 NOTARY SIGNATURE

NOTARY SEAL





BUILDING CODE COMPLIANCE OFFICE (BCCO)  
 PRODUCT CONTROL DIVISION

**TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY**

#8682

MIAMI-DADE COUNTY, FLORIDA  
 METRO-DADE FLAGLER BUILDING  
 140 WEST FLAGLER STREET, SUITE 1603  
 MIAMI, FLORIDA 33130-1563  
 (305) 375-2901 FAX (305) 375-2908

**NOTICE OF ACCEPTANCE (NOA)**

Maxim Industries, Inc.  
 6170 Vanderbilt Avenue  
 Dallas, TX 75214

Scope: This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (in Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION: Dade Curb-Mount & Self-Flashing Skylight.**

**APPROVAL DOCUMENT:** Drawing No. DCM-1 & DSF-1, titled "Dade Curb Mount & Dade Self Flashing", sheets No 1 and 2 of 2, prepared by Maxim Industries, Inc dated 04/01/03 with no revisions bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING: Large & Small Missile Impact**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein and the ~~dome shall be properly marked by Sheffield Plastics.~~

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of this page 1 & approval document mentioned above  
 The submitted documentation was reviewed by Candido F. Font, P.E.

*[Signature]*  
 8/15/03



NOA No 03-0224.11  
 Expiration Date: May 15, 2008  
 Approval Date: May 15, 2003  
 Page 1

Maxim Industries, Inc.

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

(For File ONLY. Not part of NOA)

**A. DRAWINGS**

1. Drawing No. DCM-1 & DSF-1, sheet 1 and 2 of 2, titled "Dade Curb Mount & Dade Self Flashing", prepared by Maxim Industries, Inc, dated 04/01/03, with no revision, signed and sealed by R. Boyette, P.E.

**B. TESTS**

1. Test report on Large Missile Impact Test per TAS 201, Cyclic Load Test per TAS 203 and Uniform Static air Pressure Test per TAS 202 on "Dade Self-Flashing Dade Curb mount", prepared by Architectural Testing, Inc, report No. 01-43381.01 issued on 01/29/03, signed and sealed by S. M. Uric, P.E.

**C. CALCULATIONS**

1. Anchor calculations prepared by Richard Burette, signed and sealed by R. Burette on 02/11/03

**D. MATERIAL CERTIFICATIONS**

1. Notice of Acceptance No. 01-0709.07 issued to Sheffield Plastics, Inc on 08/23/01, expiring on 08/27/06.

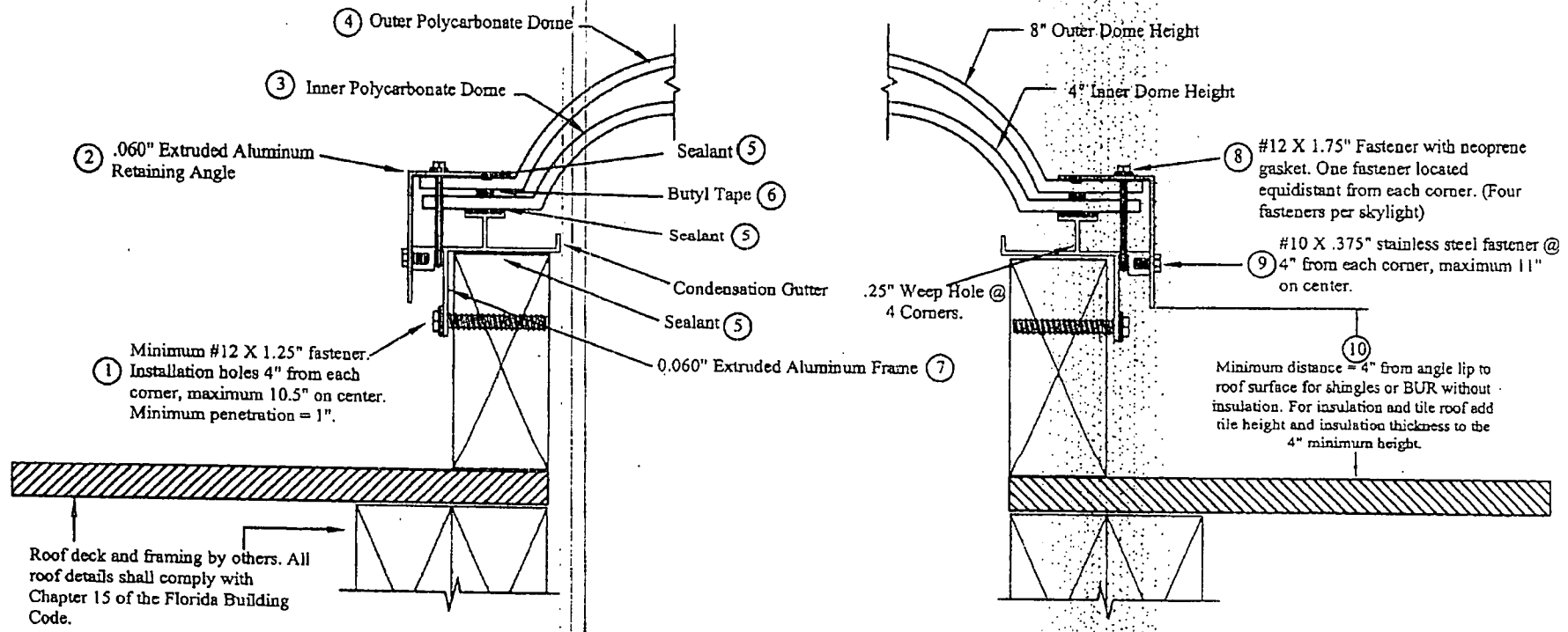
**E. STATEMENTS**

1. Code compliance letter issued by Richard Burette, PE on 02/11/03, signed and sealed by R. Boyette, PE.



Candido F. Font, P. E.  
Senior Product Control Examiner  
NOA No 03-0224.11  
Expiration Date: May 15, 2008  
Approval Date: May 15, 2003

- ① Minimum #12 X 1.25" fastener by others. Pre-punched installation holes 4" from each corner, maximum 10.5" on center. Minimum penetration = 1".
- ② .060" X 1.5" X 1.75" 6063-T6 extruded aluminum retaining angle. Aluminum angle mitered and welded @ 4 corners.
- ③ 52.5" X 100.375" X .118" Hyzod inner polycarbonate dome @ 4" height. NOA: #01-0709-07.
- ④ 52.5" X 100.375" X .118" Hyzod outer polycarbonate dome @ 8" height. NOA: #01-0709-07.
- ⑤ OSI PR 256 urethane sealant. Located between aluminum angle retainer and top dome & between bottom dome and aluminum frame.
- ⑥ Butyl tape: 1" X .125" located between top and bottom domes.
- ⑦ 6063-T5 Extruded Aluminum Frame. 0.060" shape mitered and welded @ 4 corners.
- ⑧ #12 X 1.75" Fastener. One fastener located equidistant from each corner. (Four fasteners per skylight)
- ⑨ #10 X .375" stainless steel fastener @ 4" from each corner, maximum 11" on center.
- ⑩ Minimum distance = 4" from angle lip to roof surface for shingles or BUR without insulation. For insulation and tile roof add tile height and insulation thickness to the 4" minimum height.
- ⑪ All units equal to or less than 32 square feet will be accepted under this NOA.



**Dade Curb Mount Model**

RICHARD BOYETTE

FL PE # 42485

4031 COCONUT BLVD

ROYAL PALM BCH FL 33411

561-790-5766

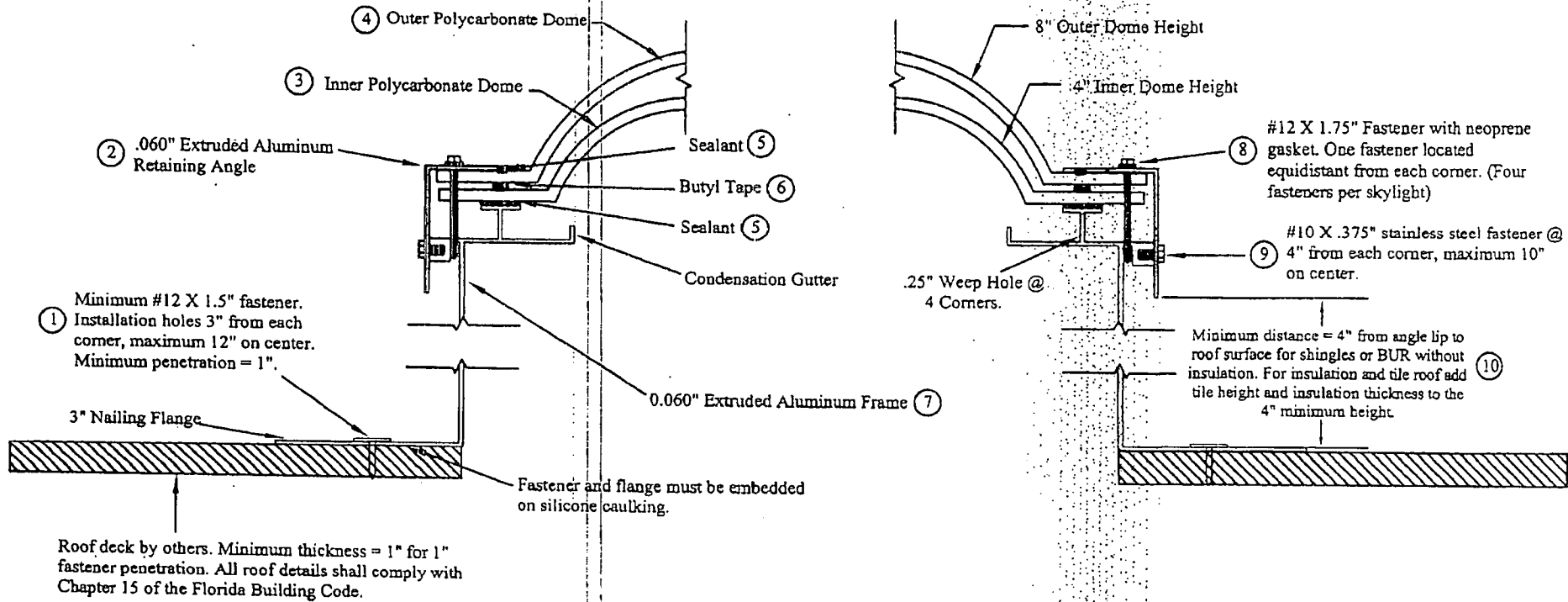
*Richard Boyette*  
4/10/03

Approved as complying with the  
Florida Building Code  
Date 05/15/03  
NOA# 03-00224 II  
Miami Dade District Control  
Division  
By *[Signature]*

**MAXIMI INDUSTRIES, INC**  
6170 Vanderbilt Avenue Dallas, TX 75214  
Phone: 214.824.1557 Fax: 240.371.7345

Date: 04/01/03 Draw. #DCM-1  
Drawing: Dade Curb Mount  
Sheet#: 1 of 2  
Design Pressure: 60psf +/-  
Max. Skylight ID: 51.75" X 99.75"

- ① Minimum #12 X 1.5" fastener by others. Pre-punched installation holes 3" from each corner, maximum 12" on center. Minimum penetration = 1".
- ② .060" X 1.5" X 1.75" 6063-T6 extruded aluminum retaining angle. Aluminum angle mitered and welded @ 4 corners.
- ③ 49" X 97" X .118" Hyzod inner polycarbonate dome @ 4" height. NOA: #01-0709-07.
- ④ 49" X 97" X .118" Hyzod outer polycarbonate dome @ 8" height. NOA: #01-0709-07.
- ⑤ OSI PR 256 urethane sealant: Located between aluminum angle retainer and top dome & between bottom dome and aluminum frame.
- ⑥ Butyl tape: 1" X .125" located between top and bottom domes.
- ⑦ 6063-T5 Extruded Aluminum Frame. 0.060" shape mitered and welded @ 4 corners.
- ⑧ #12 X 1.75" Fastener. One fastener located equidistant from each corner. (Four fasteners per skylight)
- ⑨ #10 X .375" stainless steel fastener @ 4" from each corner, maximum 10" on center.
- ⑩ Minimum distance = 4" from angle lip to roof surface for shingles or BUR without insulation. For insulation and tile roof add tile height and insulation thickness to the 4" minimum height.
- ⑪ All units equal to or less than 32 square feet will be accepted under this NOA.



## Dade Self Flashing Model

Date: 04/01/03 Draw. #DSF-1  
 Drawing: Dade Self Flashing  
 Sheet#: 2 of 2  
 Design Pressure: 60psf +/-  
 Max. Skylight ID: 48" X 96"

Approved as complying with the  
 Florida Building Code  
 Date: 05/13/03  
 NOA# 03-0002-VT  
 Miami Dade Product Control  
 Division  
 By: *[Signature]*

RICHARD BOYETTE  
 FL PE # 42485  
 4031 COCONUT BLVD  
 ROYAL PALM BCH FL 334  
 561-790-5766

*[Signature]*  
 4/13/03

**MAXIM**  
 INDUSTRIES, INC

6170 Vanderbilt Avenue Dallas, TX 75214  
 Phone: 214.824.1557 Fax: 240.371.7345

# TOWN OF SEWALL'S POINT RE-ROOF PERMIT CERTIFICATION

PERMIT # \_\_\_\_\_

CONTRACTOR'S NAME: Latitude 27 Roofing Corp PHONE #: 772 873 8845 FAX: 772 873 2142

OWNER'S NAME: Daniel & Kim McCravy

CONSTRUCTION ADDRESS: 22 Palmetto Dr CITY Sewall Pt STATE FL

RE-ROOF:  RESIDENTIAL (SINGLE FAMILY)

\_\_\_\_\_ COMMERCIAL \*\*--REMOVE/REINSTALL ROOF TOP HVAC EQUIP \_\_\_\_\_ YES \_\_\_\_\_ NO

\*\*...DISCONNECT/RECONNECT HVAC ELECTRIC \_\_\_\_\_ YES \_\_\_\_\_ NO

\*\* REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

ROOF TYPE:  HIP \_\_\_\_\_ BOSTON-HIP \_\_\_\_\_ GABLE \_\_\_\_\_ FLAT \_\_\_\_\_ OTHER \_\_\_\_\_

ROOF PITCH: 6 /12 SLOPE

ROOF DECK:\* \_\_\_\_\_ SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED SHEATHING) - REQUIRES A FLORIDA REGISTERED ENGINEER'S WRITTEN SPECIFICATIONS AND PLANS WITH DETAILS DESCRIBING ATTACHMENT REQUIREMENTS (NAIL OR SCREW LENGTH AND FASTENING PATTERN INTO FRAMING MEMBERS.) SPECIFICATIONS SHALL BE SUBMITTED AT TIME OF ROOFING PERMIT APPLICATION.

\_\_\_\_\_ RE-SHEATH - (REMOVAL OF SPACED SHEATHING/PLYWOOD FOR APPLICATION OF NEW PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD SPECIFIED IN FLORIDA BUILDING CODE "2004".

\_\_\_\_\_ SPACED SHEATH FILL-IN - SPACES BETWEEN EXISTING SPACED-SHEATHING BOARD MAY BE FILLED-IN WITH BOARDS OF THE SAME SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK. NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2004".

EXISTING DECK TO REMAIN/REPAIRED

EXISTING ROOF COVERING: tile EXISTING COVERING TO BE REMOVED? YES  NO \_\_\_\_\_

PROPOSED NEW ROOF COVERING: metal

MANUFACTURER South Florida Metal PRODUCT NAME 1" Nail Strip PRODUCT APPR # FL8068-1

(APPROVED ROOF COVERING MATERIAL WITH CURRENT FLORIDA PRODUCT APPROVAL)  
MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

\*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION.

PROPOSED FLASHING:  GALV./STEEL \_\_\_\_\_ ALUMINUM \_\_\_\_\_ COPPER \_\_\_\_\_ OTHER \_\_\_\_\_

RIDGEVENT TO BE INSTALLED: \_\_\_\_\_ YES  NO

DESCRIPTION OF WORK: Remove tile & replace with metal using 3x3 drip edge 30# ASTR D226 felt with 1/4" RS coil nails 1 5/8" tin tags with self adhered cap sheet

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

Richard McCravy DATE: 8/6/07  
SIGNATURE OF CONTRACTOR

**TOWN OF SEWALL'S POINT**  
THESE PLANS HAVE BEEN  
REVIEWED FOR COMPLIANCE  
DATE: 8.8.07  
[Signature]  
BUILDING OFFICIAL

# SEWALL'S POINT BUILDING DEPARTMENT

MUST BE SUBMITTED WITH PERMIT APPLICATION

	ROOFING MATERIAL LIST	QUANTITY	REMARKS
1	30# ASTM D226	60sq	
2	1 1/4" RS Coil Nails	8 bot	
3	1 5/8" Tin tags	8 bot	
4	1" Nail strip Metal	60sq	
5	3x3 drip edge	as needed	
6	<del>Polyglass</del> self adhered.	60sq	
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			
19			
20			



[HOME](#) / [ABOUT DCA](#) / [DCA PROGRAMS](#) / [CONTACT DCA](#)

[BCIS Home](#) [Log In](#) [Hot Topics](#) [Submit Surcharge](#) [Stats & Facts](#) [Publications](#) [FBC Staff](#) [BCIS Site Map](#) [Links](#) [Search](#)



**Product Approval**  
USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#)

- [COMMUNITY PLANNING](#)
- [HOUSING & COMMUNITY DEVELOPMENT](#)
- [EMERGENCY MANAGEMENT](#)
- [OFFICE OF THE SECRETARY](#)

Search Criteria		<a href="#">Refine Search</a>
Code Version	2004 FL#	ALL
Application Type	ALL Product Manufacturer	South Florida Metal Supply, Inc.
Category	ALL Subcategory	ALL
Application Status	ALL Compliance Method	ALL

Search Results - Applications				
FL#	Type	Manufacturer	Validated By	Status
<a href="#">FL6309-R1</a> History	Revision	South Florida Metal Supply, Inc. <b>Category:</b> Roofing <b>Subcategory:</b> Metal Roofing	Wendell W. Haney, P.E. (813) 659-9197	Approved
<a href="#">FL8068</a>	New	South Florida Metal Supply, Inc. <b>Category:</b> Roofing <b>Subcategory:</b> Metal Roofing	Do Yeon Kim, P.E. (813) 874-5900	Approved
<a href="#">FL8142</a>	New	South Florida Metal Supply, Inc. <b>Category:</b> Roofing <b>Subcategory:</b> Metal Roofing	Warren W. Schaefer, P.E. (561) 775-4902	Approved
<a href="#">FL8646</a>	New	South Florida Metal Supply, Inc. <b>Category:</b> Roofing <b>Subcategory:</b> Roofing Accessories that are an Integral Part of the Roofing System	Warren W. Schaefer, P.E. (561) 775-4902	Approved

[DCA Administration](#)

**Department of Community Affairs**  
**Florida Building Code Online**  
**Codes and Standards**  
2555 Shumard Oak Boulevard  
Tallahassee, Florida 32399-2100

(850) 487-1824, Suncom 277-1824, Fax (850) 414-8436

© 2000-2005 The State of Florida. All rights reserved. [Copyright and Disclaimer](#)

Product Approval Accepts:





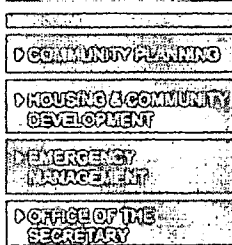
[GO HOME](#) [ABOUT DCA](#) [DCA PROGRAMS](#) [CONTACT DCA](#)

[BCIS Home](#) [Log In](#) [Hot Topics](#) [Submit Surcharge](#) [Stats & Facts](#) [Publications](#) [FBC Staff](#) [BCIS Site Map](#) [Links](#) [Search](#)



**Product Approval**  
USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > **Application Detail**



FL # FL8068  
 Application Type New  
 Code Version 2004  
 Application Status Approved  
 Comments  
 Archived

Product Manufacturer South Florida Metal Supply, Inc.  
 Address/Phone/Email 2783 S.E. Monroe Street  
 Stuart, FL 34997  
 (772) 223-4055  
 sflmetalsupply@bellsouth.net

Authorized Signature James L. Buckner, P.E. @ C-Buck, Inc.  
 jimmy@cbuckinc.net

Technical Representative  
 Address/Phone/Email

Quality Assurance Representative  
 Address/Phone/Email

Category Roofing  
 Subcategory Metal Roofing

Compliance Method Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer  
 Evaluation Report - Hardcopy Received

Florida Engineer or Architect Name who developed the Evaluation Report James L. Buckner, P.E. @ C-Buck, Inc.  
 Florida License PE-31242  
 Quality Assurance Entity Keystone Certifications, Inc.  
 Validated By Do Yeon Kim, P.E.

Certificate of Independence [FL8068\\_R0\\_COI\\_CertificateOfIndependence.pdf](#)

Referenced Standard and Year (of Standard)	<b>Standard</b>	<b>Year</b>
	UL580-94 With Revisions Thru February 1998	1994

Equivalence of Product Standards Certified By

Sections from the Code



Product Approval Method                      Method 1 Option D

Date Submitted                                      01/08/2007

Date Validated                                      01/13/2007

Date Pending FBC Approval                      01/16/2007

Date Approved                                      02/07/2007

Summary of Products		
FL #	Model, Number or Name	Description
8068.1	1" Nailstrip	Minimum 24 Gauge Steel, Max.16" Wide Panel Attached to Wood Deck
<b>Limits of Use</b> <b>Approved for use in HVHZ:</b> No <b>Approved for use outside HVHZ:</b> Yes <b>Impact Resistant:</b> No <b>Design Pressure:</b> +N/A /-114.25 <b>Other:</b> The required design wind loads shall be determined for each project per FBC, 2004, Section 1603.1.4. Any rational analysis computations shall be prepared by a qualified design professional, as required by FBC 2004, Section 105 or 106. The maximum fastener spacing listed herein shall not be exceeded. Any extrapolation shall address fastener spacing, panel interlock strength and adhesive strength. This product is not approved for use in the High Velocity Hurricane Zone.		<b>Installation Instructions</b> <a href="#">FL8068_RO_II_FL8068.1-1in Nail Strip_16_24GaSteelonWood INSTALLATION.pdf</a> Verified By: James L. Buckner, P.E. @ C-Buck, Inc. P.E. #31242 <b>Evaluation Reports</b> <a href="#">FL8068_RO_AE_FL8068.1-1in Nail Strip_16_24GaSteelonWood EVALREPORT.pdf</a>

DCA Administration  
**Department of Community Affairs**  
**Florida Building Code Online**  
**Codes and Standards**  
 2555 Shumard Oak Boulevard  
 Tallahassee, Florida 32399-2100  
 (850) 487-1824, Suncom 277-1824, Fax (850) 414-8436  
 © 2000-2005 The State of Florida. All rights reserved. [Copyright and Disclaimer](#)





# C-BUCK Engineering

Specialty Structural Engineering

C-Buck, Inc. Florida Certificate of Authorization # 8064

## Installation Report

*of*

South Florida Metals

"1" Nail Strip"

Metal Roof Assembly

*for*

Florida Product Approval

# FL 8068.1

Florida Building Code 2004

Method: 1 - D

Category: Roofing

Sub - Category: Metal Roofing (Non-Structural)

Product: 1" Nail Strip

Material: Steel

Panel Thickness: 24 Gauge Minimum

Net Panel Width: 16" Net Coverage

Support Type: Wood Deck

### Prepared for:

South Florida Metal Supply, Inc.

2783 S.E. Monroe Street

Stuart, FL 34997

### Prepared by:

James L. Buckner, P.E.

Florida Professional Engineer # 31242

Florida Evaluation ANE ID: 1916

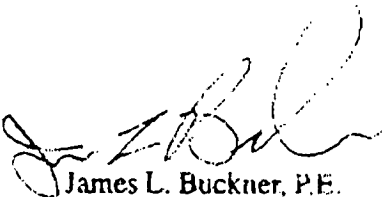
Engineer Assistant: Youry Demosthenes

Report No. 06-168-NS-16-S4W

Date: 11/30/06

### Contents:

Installation Method Pages 1 - 6



James L. Buckner, P.E.  
Florida P.E. # 31242  
1/2/07

1334 S. Killan Drive, Suite 4, West Palm Beach, Florida 33403  
Phone: (561)491-9927 Fax: (561)491-9928 Email: cbuck@cbuckinc.net



# C-BUCK Engineering

Specialty Structural Engineering

C-Buck, Inc. Florida Certificate of Authorization # 8064

## EVALUATED INSTALLATION METHOD

### ATTACHMENT:

**Fastener Description:** Panels shall be attached to the deck with #10 x minimum penetration through deck 3/16", pancake head, corrosion resistant, wood screws, per ANSI/ASME B18.6.4.

**Adhesive Description:** 3M Scotch-Seal™ Polyurethane Adhesive Sealant 560: One component, polyurethane adhesive sealant conforming to ASTM D 412.

### INSTALLATION:

#### Method 1:

**Method 1: 84.25 psf Design Pressure**

Install the "1" Nail Strip" panel to the deck with Fasteners spaced a maximum of 12" o.c. along the length of the panel and 3" from all ends. Panel ribs shall be fully engaged to form an integral snap-lock.

Apply a 3/8" minimum bead of 3M Scotch-Seal™ polyurethane adhesive sealant 560 atop the rear leg of the male joint, adjacent to the fasteners and along the entire length of the panel. Attach adjacent panel by placing the female rib over the adhesive and over the male rib.

#### Method 2:

**Method 2: 114.25 psf Design Pressure**

Install the "1" Nail Strip" panel to the deck with Fasteners spaced a maximum of 6" o.c. along the length of the panel and 3" from all ends. Panel ribs shall be fully engaged to form an integral snap-lock.

Apply a 3/8" minimum bead of 3M Scotch-Seal™ polyurethane adhesive sealant 560 atop the rear leg of the male joint, adjacent to the fasteners and along the entire length of the panel. Attach adjacent panel by placing the female rib over the adhesive and over the male rib.

Install the system in compliance with the attached installation method.

#### Manufacturer's Installation Instructions:

Refer to the manufacturer's installation instructions as a supplemental guide for attachment.

#### Evaluation Report:

Conditions and Limitations of the Evaluation Report Apply



# C-BUCK Engineering

Specialty Structural Engineering

*C-Buck, Inc. Florida Certificate of Authorization # 8064*

## DIRECTIONS FOR USE

### 3M Scotch-Seal™ Polyurethane Adhesive Sealant 560

#### Surface Preparation:

Surfaces to be sealed or bonded shall be clean and dry. Surfaces shall be free from grease, mold release, oil, water/condensation, and other contaminants that may affect the adhesion of the sealant. Abrading with 180 to 220 grit abrasive followed by a solvent wipe will improve the bond strength. Suitable solvents include 3M™ Citrus Based Adhesive Remover, 3M™ Scotch-Grip™ Solvent No. 3 or methyl ethyl ketone (MEK).

#### Note:

Alcohol will interfere with the curing process and extra care must be taken when using alcohol as a cleaning solvent to prevent any contact with the sealant.

#### Application:

Puncture seal in nozzle and knock out thin seal at cartridge bottom before placing in caulking gun. (For flex packs cut off the small crimp at the end and then place in caulking gun barrel with the open end up). Assemble tip and retaining ring on gun, cut tip to desired size. Product should be used within 24 hours after seal is punctured and should be pressed firmly into the joint to ensure adequate contact of the sealant with the substrate. Apply product when temperatures are between 40°F (4°C) and 100°F (38°C). Do not apply on frozen surfaces or wet surfaces. Do not apply over silicones or in the presence of curing silicones. Avoid contact with alcohol and solvents during curing. Sealants can be tooled immediately after applying to give desired appearance.

#### Storage:

3M™ Scotch-Seal™ Polyurethane Sealant 540 and 3M™ Scotch-Seal Polyurethane Adhesive Sealant 560 must be stored in the original, unopened containers below 90° F (32°C) for maximum shelf life. Rotate stock on a "first in-first out" basis.

#### Shelf Life:

When stored at the recommended conditions in original unopened containers, Scotch-Seal 540 and 560 have a shelf life of 12 months after date of manufacture.

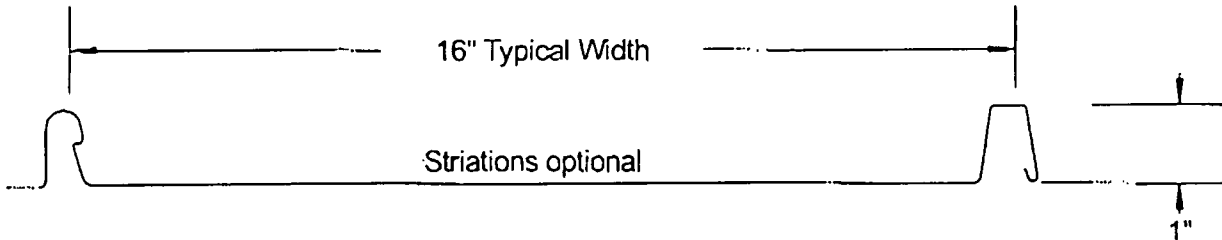
# C-BUCK Engineering

Specialty Structural Engineering

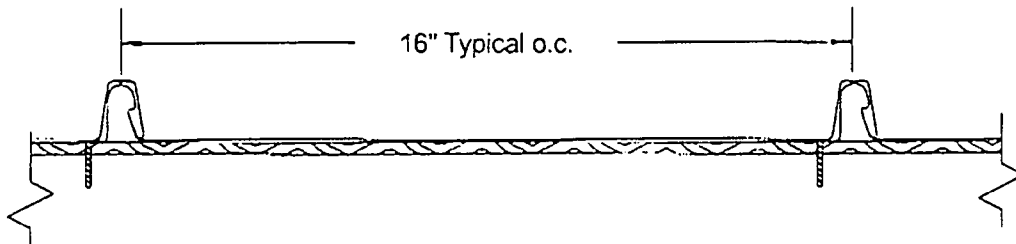
C-Buck, Inc. Florida Certificate of Authorization # 8064

## Installation Method South Florida Metal Supply, Inc. "1" Nail Strip" (24 Ga. Min.) Panel Attached to Wood Deck

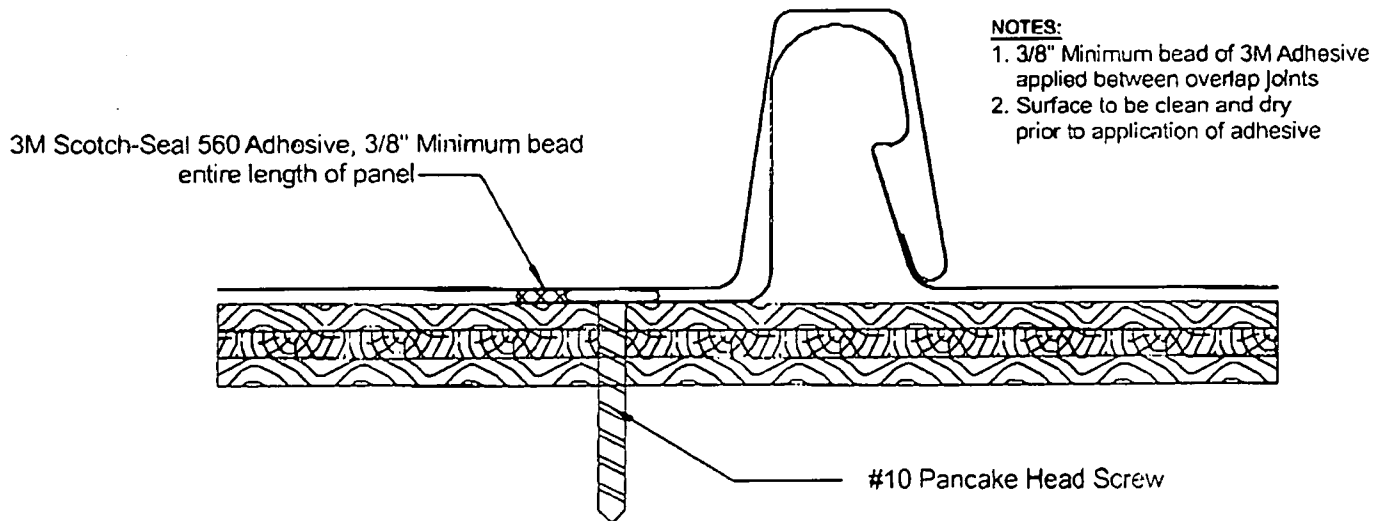
### Profile Drawings



### Panel Profile View



### Assembly Profile View (Typical Fastening Pattern Along Row - Interior)



### Fastener Detail View

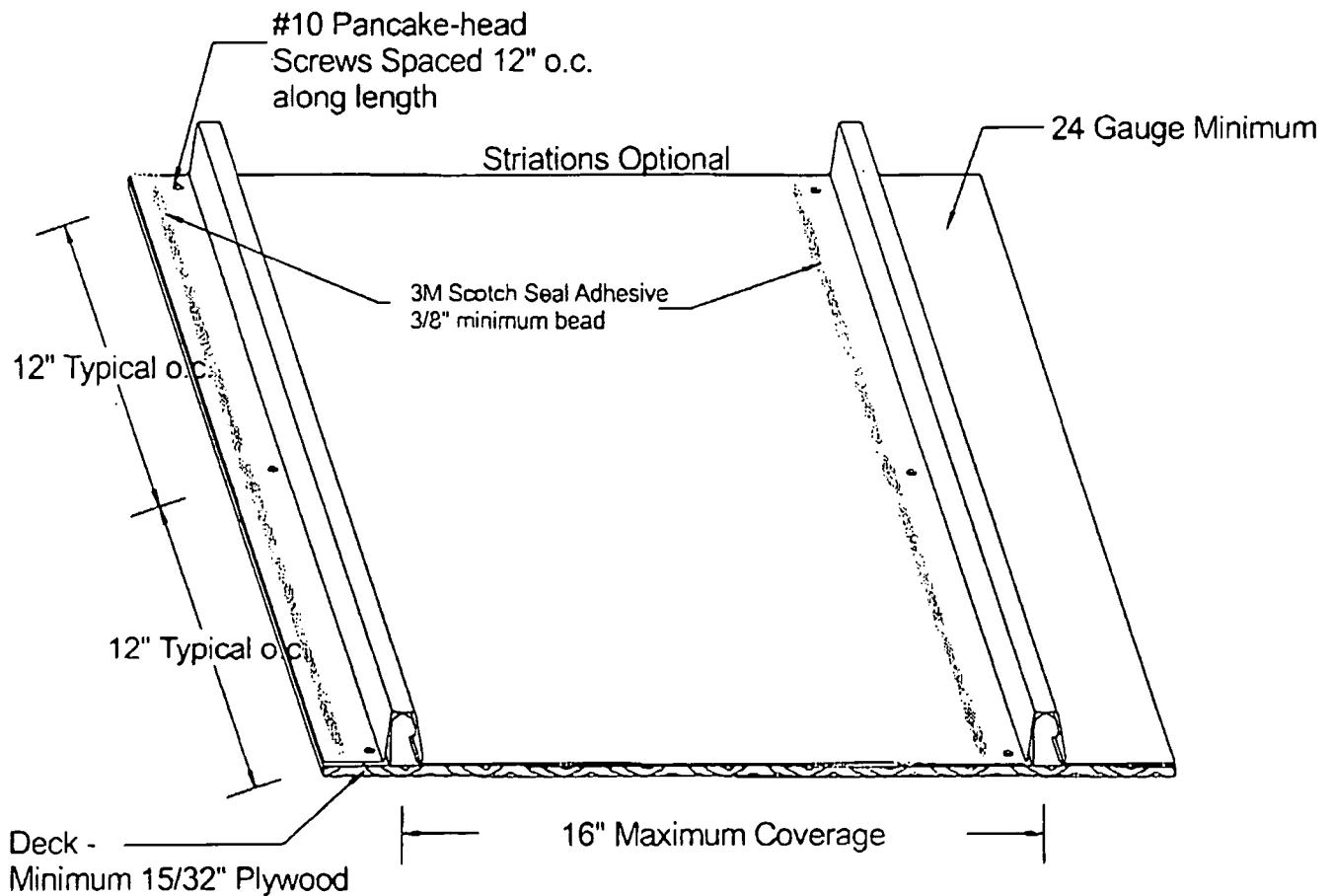
# C-BUCK Engineering

Specialty Structural Engineering

C-Buck, Inc. Florida Certificate of Authorization # 8064

## Installation Method (Continued) South Florida Metal Supply, Inc. "1" Nail Strip" (24 Ga. Min.) Panel Attached to Plywood Deck

### Method 1 (For 84.25 PSF Design Pressure)



Assembly Isometric View  
(Method 1)

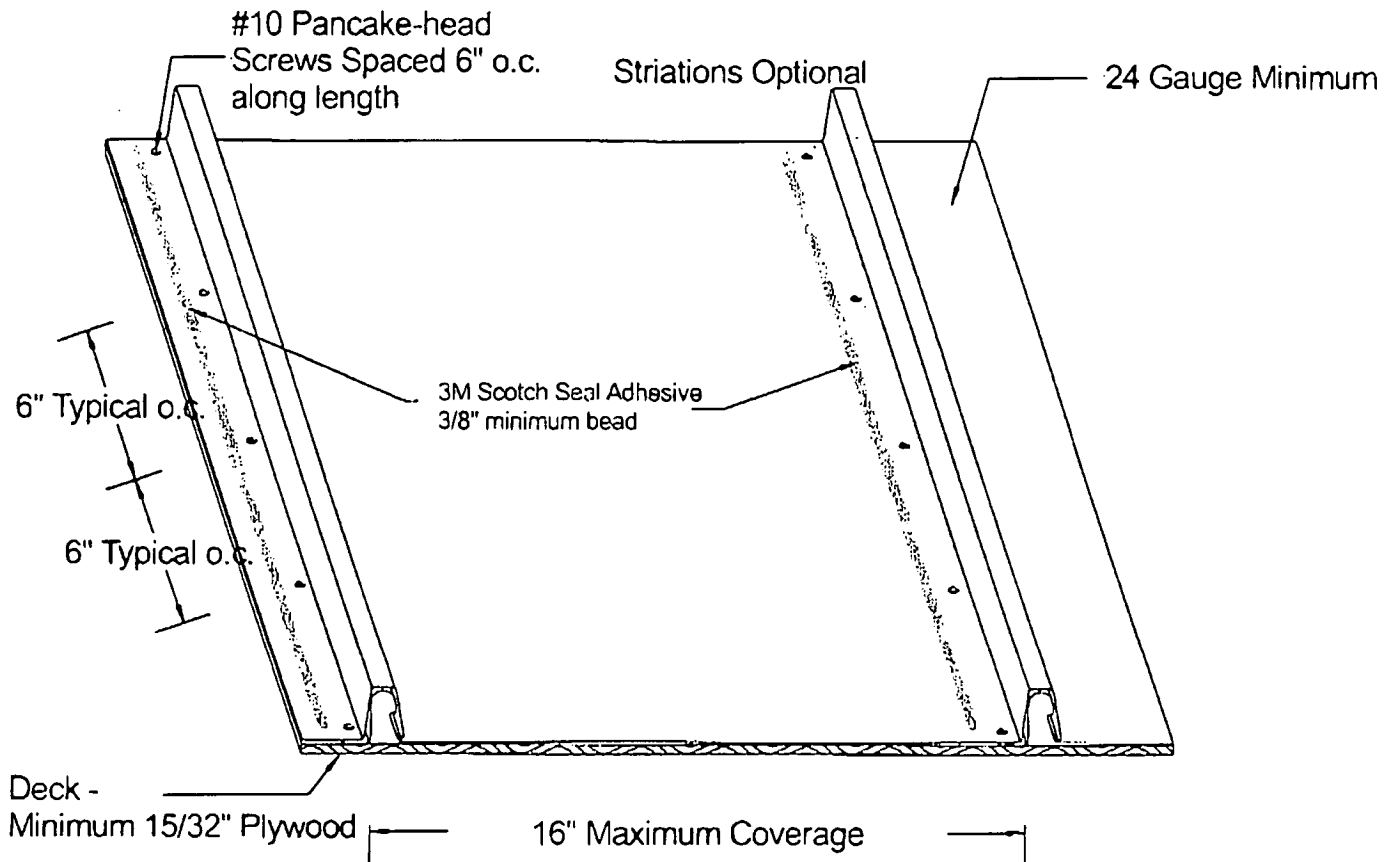
# C-BUCK Engineering

Specialty Structural Engineering

C-Buck, Inc. Florida Certificate of Authorization # 3064

## Installation Method (Continued) South Florida Metal Supply, Inc. "1" Nail Strip" (24 Ga. Min.) Panel Attached to Plywood Deck

### Method 2 (For 114.25 PSF Design Pressure)



**Assembly Isometric View  
(Method 2)**



# C-BUCK Engineering

Specialty Structural Engineering

C-Buck, Inc. Florida Certificate of Authorization # 8064

## Evaluation Report

*of*

**South Florida Metals**

**“1” Nail Strip”**

**Metal Roof Assembly**

*for*

**Florida Product Approval**

**# FL 8068.1**

**Florida Building Code 2004**

**Method: 1 - D**

**Category: Roofing**

**Sub - Category: Metal Roofing (Non-Structural)**

**Product: 1” Nail Strip**  
**Material: Steel**  
**Panel Thickness: 24 Gauge Minimum**  
**Net Panel Width: 16” Net Coverage**  
**Support Type: Wood Deck**

**Prepared for:**

**South Florida Metal Supply, Inc.**

2783 S.E. Monroe Street

Stuart, FL 34997

**Prepared by:**

**James L. Buckner, P.E.**

Florida Professional Engineer # 31242

Florida Evaluation ANE ID: 1916

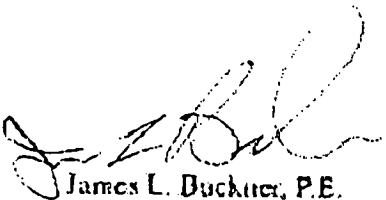
Engineer Assistant: Youry Demosthenes

Report No. 06-168-NS-16-S4W

Date: 11 / 30 / 06

Contents:

Evaluation Report      Pages 1 - 4  
Installation Method      Pages 5 - 7



James L. Buckner, P.E.

Florida P.E. # 31242

1/2/07

1334 S. Killian Drive, Suite 4, West Palm Beach, Florida 33403  
Phone: (561)491-9927 Fax: (561)491-9928 Email: cbuck@cbuckinc.net





# C-BUCK Engineering

Specialty Structural Engineering

C-Buck, Inc. Florida Certificate of Authorization # 8064

**Manufacturer:** South Florida Metals Supply, Inc.

**Product Name:** 1" Nail Strip

**Product Category:** Roofing

**Product Sub-Category:** Metal Roofing, (Non-Structural)

**Compliance Method:** 1-D

**Panel Type:** Standing Seam, Nail Strip

**Panel Material / Standards:** Steel, minimum 24 Gauge, minimum yield strength 50 ksi  
Material shall comply with Florida Building Code (FBC), 2004, Table 1507.4.3

**Panel Dimension(s):** Thickness: 24 Gauge Minimum  
Width: 16" (Net Coverage Width)  
Major Rib Height: 1"

**Support Type:** Wood Deck  
(Structural design of the deck and the attachment of the deck is not included in this evaluation)

**Support Description:**

- 15/32" or greater plywood,
- or Wood plank

**Slope Range:** Minimum slope shall be per FBC 2004, Section 1507.4.2, and in compliance with the Manufacturers recommendations.

**Design Uplift Pressure:**

- Method 1: 84.25 PSF ( Safety Factor of 2:1 )
- Method 2: 114.25 PSF ( Safety Factor of 2:1 )

**Underlayment:** Minimum underlayment shall be per FBC Section 1507.4.5

**Fire Classification:** Fire Classification is outside the scope of Rule 9B-72, and is therefore not included in this evaluation. Additional approved substrates may be added for Fire Classification purposes.



# C-BUCK Engineering

Specialty Structural Engineering

C-Buck, Inc. Florida Certificate of Authorization # 8064

## ATTACHMENT:

**Fastener Description:** Panels shall be attached to the deck with #10 x minimum penetration through deck 3/16", pancake head, corrosion resistant, wood screws, per ANSI/ASME B18.6.4.

**Adhesive Description:** 3M Scotch-Seal™ Polyurethane Adhesive Sealant 560: One component, polyurethane adhesive sealant conforming to ASTM D 412.

## INSTALLATION:

### Method 1:

#### Method 1: 84.25 psf Design Pressure

Install the "1" Nail Strip" panel to the deck with Fasteners spaced a maximum of 12" o.c. along the length of the panel and 3" from all ends. Panel ribs shall be fully engaged to form an integral snap-lock.

Apply a 3/8" minimum bead of 3M Scotch-Seal™ polyurethane adhesive sealant 560 atop the rear leg of the male joint, adjacent to the fasteners and along the entire length of the panel. Attach adjacent panel by placing the female rib over the adhesive and over the male rib.

### Method 2:

#### Method 2: 114.25 psf Design Pressure

Install the "1" Nail Strip" panel to the deck with Fasteners spaced a maximum of 6" o.c. along the length of the panel and 3" from all ends. Panel ribs shall be fully engaged to form an integral snap-lock.

Apply a 3/8" minimum bead of 3M Scotch-Seal™ polyurethane adhesive sealant 560 atop the rear leg of the male joint, adjacent to the fasteners and along the entire length of the panel. Attach adjacent panel by placing the female rib over the adhesive and over the male rib.

Install the system in compliance with the attached installation method.

### Quality Assurance:

The manufacturer has demonstrated compliance of roof panel products in accordance with the Florida Building Code and Rule 9B-72.070 (3) for manufacturing under a quality assurance program audited by an approved quality assurance entity through **Keystone Certifications, Inc.**



# C-BUCK Engineering

Specialty Structural Engineering

C-Buck, Inc. Florida Certificate of Authorization # 8064

**Performance Standards:** The roof assembly described herein has been tested in accordance with:

- **UL580-94 – Test for Uplift Resistance of Roof Assemblies—with Revisions through February 1998**

**Code Compliance:** The product described herein has demonstrated compliance with the **Florida Building Code 2004, (with 2005 and 2006 Supplements) Section 1504.3.2** based on the Uplift Test Report.

**Evaluation Report Scope:** This product evaluation is limited to compliance with the structural wind load requirements of the Florida Building Code, as related to Rule 9B-72.

**System Limitations:** The required design wind loads shall be determined for each project per FBC, 2004, Section 1603.1.4. Any rational analysis computations shall be prepared by a qualified design professional, as required by FBC 2004, Section 105 or 106. The maximum fastener spacing listed herein shall not be exceeded. Any extrapolation shall address fastener spacing, panel interlock strength and adhesive strength. This product is not approved for use in the High Velocity Hurricane Zone.

**Referenced Data:**

1. Uplift Test(s) UL580-94 (with 1998 Revisions) Uplift Test(s)  
By Hurricane Test Laboratory, LLC. (TST ID: 3892)  
Report #: 0412-0306-06; Test Date: 11 / 14 / 06
2. Quality Assurance  
By Keystone Certifications, Inc. (QUA ID: 1824)
3. Certification of Independence  
By James L. Buckner, P.E. @ C-Buck Engineering (ANP ID: 1916)
4. Engineering Calculations  
By C-Buck Engineering
  - Report #C06-168-NS-16-S4W-P1, Dated: 10/02/06
  - Report #C06-168-SL-16-S4W-P3, Dated: 10/02/06

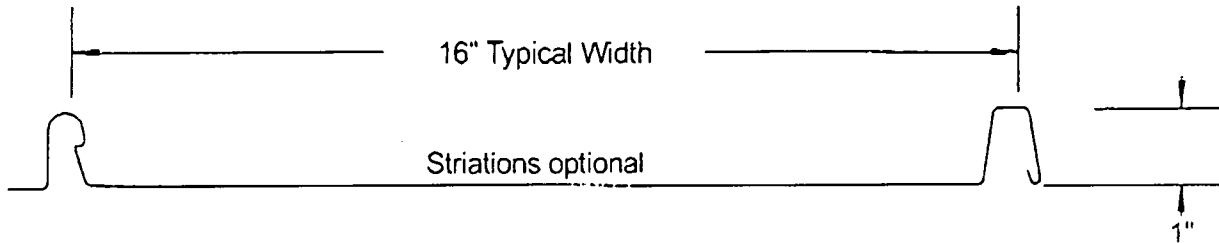
# C-BUCK Engineering

Specialty Structural Engineering

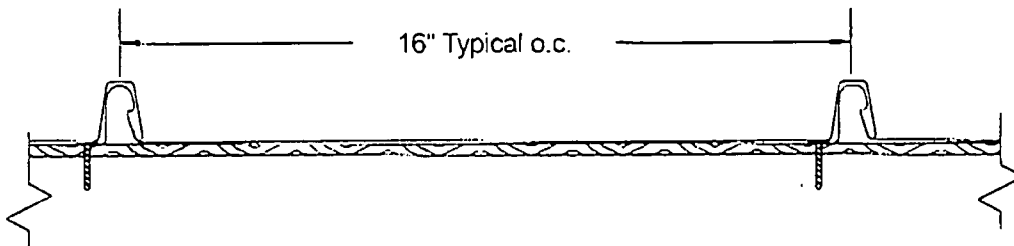
C-Buck, Inc. Florida Certificate of Authorization # 8064

## Installation Method South Florida Metal Supply, Inc. "1" Nail Strip" (24 Ga. Min.) Panel Attached to Wood Deck

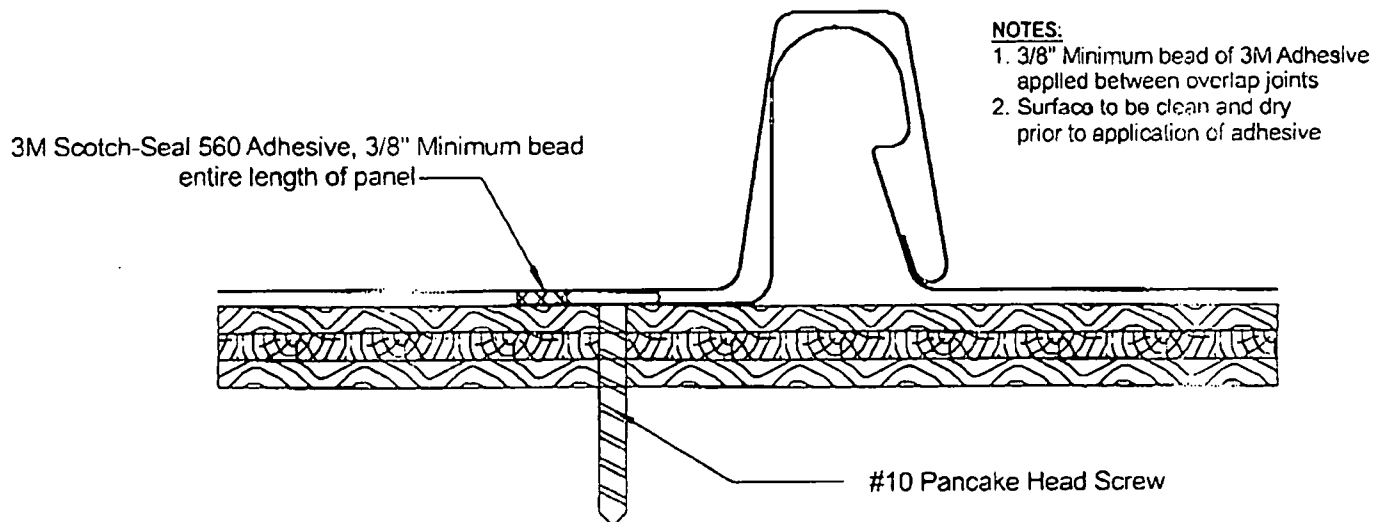
### Profile Drawings



### Panel Profile View



### Assembly Profile View (Typical Fastening Pattern Along Row - Interior)



### Fastener Detail View

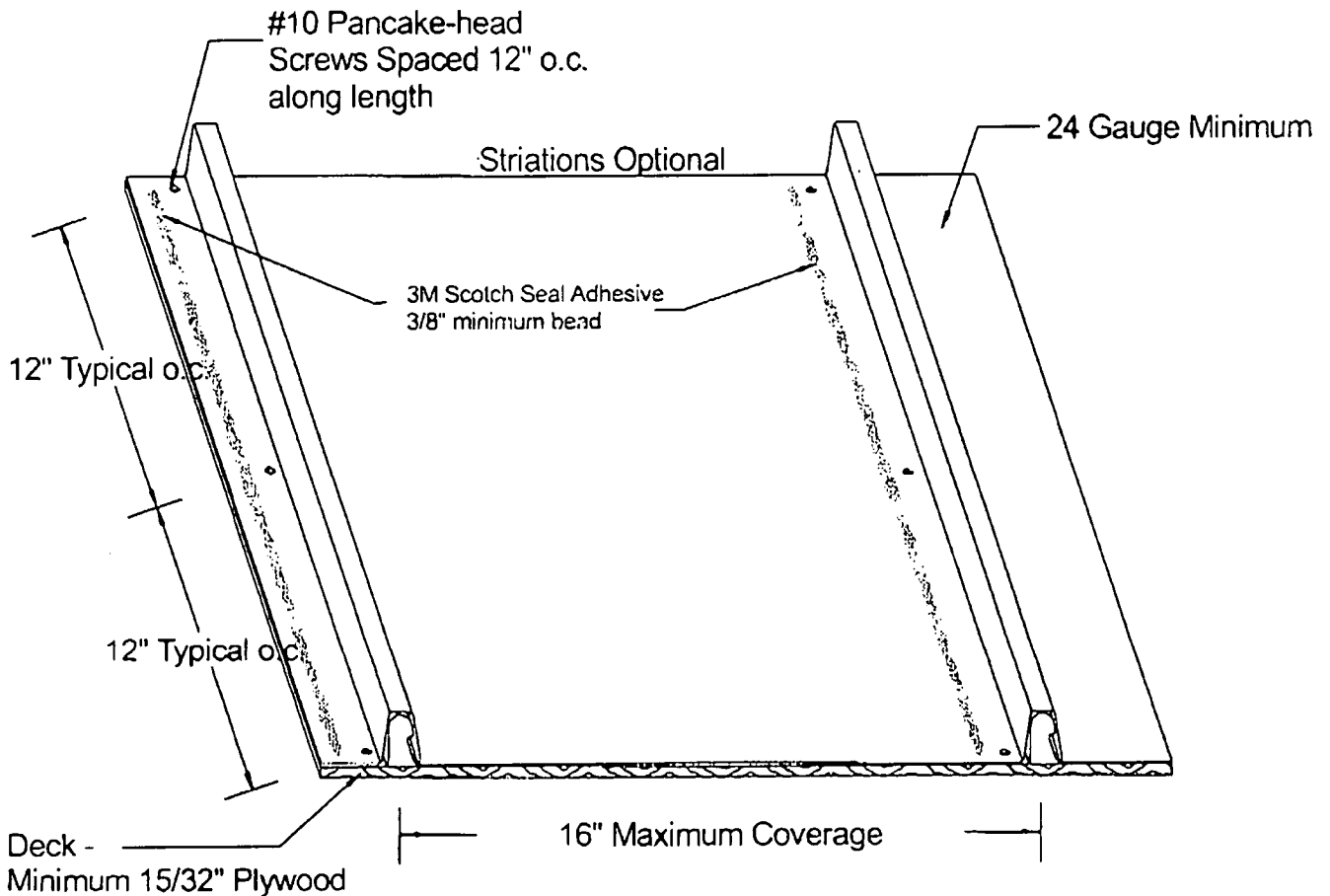
# C-BUCK Engineering

Specialty Structural Engineering

C-Buck, Inc. Florida Certificate of Authorization # 8064

## Installation Method (Continued) South Florida Metal Supply, Inc. "1" Nail Strip" (24 Ga. Min.) Panel Attached to Plywood Deck

### Method 1 (For 84.25 PSF Design Pressure)



Assembly Isometric View  
(Method 1)



**BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908**

**NOTICE OF ACCEPTANCE (NOA)**

**Polyglass USA Inc.  
150 Lyon Drive  
Fernley, NV 89408**

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION:** Polystick P, Basik, IR/IRX, TU, TU Plus and MU Underlayments

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA No. 06-0424.03 and consists of pages 1 through 6.

The submitted documentation was reviewed by Jorge L. Acebo.



**NOA No 06-0505.01  
Expiration Date: 09/13/11  
Approval Date: 11/30/06  
Page 1 of 6**

## ROOFING COMPONENT APPROVAL

**Category:** Roofing  
**Sub-Category:** Underlayment  
**Material:** SBS , APP Self-Adhering Modified Bitumen

### PRODUCTS DESCRIPTION:

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
Polystick P underlayment	Roll: 75' x 3' 40 mils thick	ASTM D 1970	A polyethylene top surface, self-adhering, SBS polymer modified bituminous sheet material for use as an underlayment in sloped roof assemblies. Designed as an ice & rain shield.
Polystick Basic underlayment	Roll: 65'8" x 3'3- <sup>3</sup> / <sub>8</sub> " 60 mils thick	ASTM D 1970	A homogeneous, rubberized asphalt waterproofing membrane, glass fiber reinforced with polyolefinic film on the upper surface for use an underlayment for metal roofing.
Polystick IR/IRX underlayment	Roll: 65'8" x 3'3- <sup>3</sup> / <sub>8</sub> " 80 mils thick	TAS 103 and ASTM D 1970	A fine granular/sand top surface self-adhering, APP polymer modified, fiberglass reinforced, bituminous sheet material for use as an underlayment in sloped roof assemblies. Designed as an ice & rain shield and as a flat roof tile underlayment.
Polystick TU underlayment	Roll: 32'10" x 3'3- <sup>3</sup> / <sub>8</sub> " 100 mils thick	TAS 103 and ASTM D 1970	A heavy granuled surface self adhering, APP polymer modified, fiberglass or polyester reinforced, bituminous sheet material for use as an underlayment in sloped roof assemblies. Designed as a a roof tile underlayment.
Polystick TU Plus underlayment (Facer of Membrane Labeled in Orange or Black Ink)	Roll: 65'8" x 3'3- <sup>3</sup> / <sub>8</sub> " 80 mils thick	TAS 103 and ASTM D 1970	A non-wicking fabric surfaced, self-adhering, APP polymer modified, fiberglass reinforced with a high strength polyester fabric, bituminous sheet material for use an an underlayment in sloped roof assemblies. Designed as a metal roofing and roof tile underlayment.
Polystick MU underlayment	Roll: 65'8" x 3'3- <sup>3</sup> / <sub>8</sub> " 80 mils thick	TAS 103 and ASTM D 1970	A non-wicking fabric surfaced, self-adhering, APP polymer modified, fiberglass reinforced, bituminous sheet material for use an an underlayment in sloped roof assemblies. Designed as a metal roofing and roof tile underlayment.



**EVIDENCE SUBMITTED:**

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Exterior Research & Design, LLC	#11756.04.01-1	TAS 103	04/27/01
	#11756.08.01-1	ASTM D 1970	08/14/01
	#02202.08.05	TAS 103	08/29/05
PRI Asphalt Technologies	PRI01111	ASTM D 4977	04/08/02
	PUSA-005-02-01	ASTM D 4977	01/31/02
	PUSA-018-02-01	ASTM D 2523	07/14/03
	PUSA-035-02-01	TAS 103	09/29/06
	PUSA-033-02-01	ASTM D 1970	01/12/06

**INSTALLATION PROCEDURES:**

- Deck Type 1:** Wood, non-insulated, new construction
- Base Sheet:** One or more plies of ASTM D 226 Type II or ASTM D 2626 or Polyprotector UDL or Polyprotector UDL AS.
- Fastening:** Nails and tin caps 12" grid, 6" o.c. at laps. (for base sheet only)
- Membrane:** Polystick membranes self-adhered.
- Surfacing:** None

- All nails in the deck shall be carefully checked for protruding heads. Re-fasten any loose decking panels, and sweep the deck thoroughly to remove any dust and debris prior to application.
- Place the underlayment over metal drip edge in accordance with RAS 111.
- Place the first course of membrane parallel to the eave, rolling the membrane to obtain maximum contact. Remove the release film as the membrane is applied. All side laps shall be a minimum of 3-1/2" and end laps shall be a minimum of 6." Roll the membrane into place after removing the release strip. Vertical strapping of the roof with Polystick is acceptable. Membrane shall be back nailed in accordance with applicable building code.
- When applying the membrane in the valley, start at the low point and work to the high point, rolling the membrane from the center outward in both directions.
- For ridge applications, center the membrane and roll from the center outward in both directions.
- Roll or broom the entire membrane surface so as to have full contact with the surface, giving special attention to lap areas. Polystick TU and TU Plus shall not be left exposed as a temporary roof for longer than 180 days after application. Polyglass reserves the right to revise or alter product exposure times; not to exceed the preceding maximum time limitations.
- Flash vent pipes, stacks, chimneys and penetrations in compliance with Roof Assembly current Product Control Notice of Acceptance.
- All protrusions or drains shall be initially taped with a 6" piece of underlayment. The flashing tape shall be pressed in place and formed around the protrusion to ensure a tight fit. A second layer of Polystick shall be applied over the underlayment.





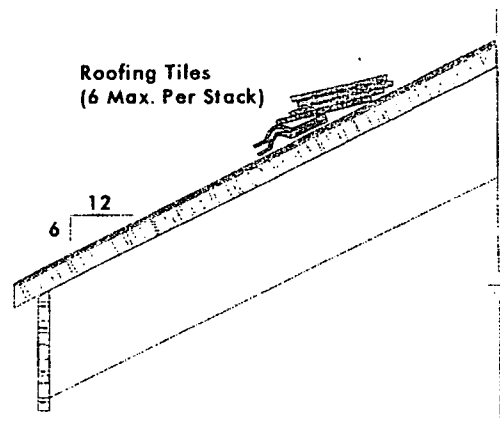
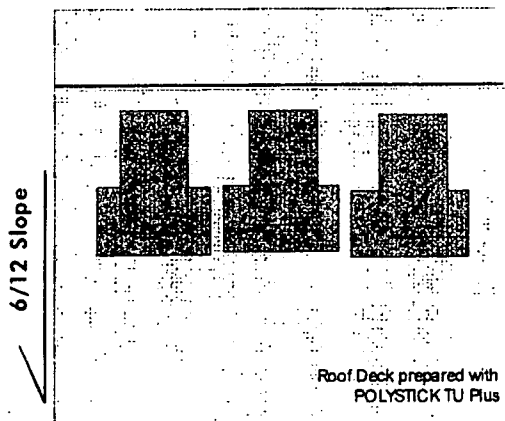
**GENERAL LIMITATIONS:**

1. Fire classification is not part of this acceptance.
2. Polystick P, Basik and IR/IRX may be used in asphaltic shingles, wood shakes and shingles, non-structural metal roofing, and quarry slate roof assemblies. Polystick P and Basik shall not be used as roof tile underlayment.
3. Deck requirements shall be in compliance with applicable building code.
4. Polystick membranes shall be applied to a smooth, clean and dry surface. The deck shall be free of irregularities.
5. Polystick membranes shall not be adhered directly over a pre-existing roof membrane as a recover system.
6. Polystick P and Basik shall not be left exposed as a temporary roof for longer than 30 days after application. Polystick IR/IRX, or MU shall not be left exposed as a temporary roof for longer than 90 days after application. Polystick TU and TU Plus shall not be left exposed as a temporary roof for longer than 180 days after application. Polyglass reserves the right to revise or alter product exposure times; not to exceed the preceeding maximum time limitations.
7. All products listed herein shall have a quality assurance audit in accordance with the Florida Building Code and Rule 9B-72 of the Florida Administrative Code.
8. In roof tile application, data for the attachment resistance of roof tiles shall be as set forth in the roof tile manufacturer's Notice. Polystick TU, TU Plus and MU may be used in both adhesive set and mechanically fastened roof tile applications. Polystick IR/IRX is limited to mechanically fastened roof tile applications. The maximum roof slope for use as roof tile underlayment for (direct-to-deck) tile assemblies shall be as described below:

Tile Profile	Polystick IR/IRX	Polystick MU	Polystick TU, TU Plus
Flat Tile	5:12	No limitation	No limitation
Profiled Tile	Prohibited	5:12	No limitation

The above slope limitations can be exceeded only by using battens and counter battens in accordance with the Approved Tile System Notice of Acceptance and applicable Florida Building Code requirements.

9. Care should be taken during the loading procedure to keep foot traffic to a minimum and to avoid dropping of tile directly on the underlayment. Refer to Polyglass Tile loading detail for loading procedure.



## **GENERAL LIMITATIONS: (CONTINUED)**

10. Refer to prepared roofing system Product Control Notice of Acceptance for listed approval of this product with specific prepared roofing products. Polystick P, Basik, IR/IRX, TU, TU Plus & MU may be used with any approved roof covering Notice of Acceptance listing Polystick P, Basik, IR/IRX, TU, TU Plus & MU as a component part of an assembly in the Notice of Acceptance. If Polystick P, Basik, IR/IRX, TU, TU Plus & MU is not listed, a request may be made to the Authority Having Jurisdiction (AHJ) or the Miami-Dade County Product Control Department for approval provided that appropriate documentation is provided to detail compatibility of the products, wind uplift resistance, and fire testing results.

## **LABELING:**

All membranes shall bear the imprint or identifiable marking of the manufacturer's name or logo, the Miami-Dade County logo or the following statement: "Miami-Dade County Product Control Approved".

## **BUILDING PERMIT REQUIREMENTS:**

Application for building permit shall be accompanied by copies of the following:

1. This Notice of Acceptance.
2. Any other documents required by the Building Official or applicable building code in order to properly evaluate the installation of this materials.

## **POLYGLASS GENERAL APPLICATION GUIDELINES FOR POLYSTICK MEMBRANES:**

1. Polyglass does accept the direct application of Polystick underlayment membranes to wood decks. Installers are cautioned to refer to applicable local building codes prior to direct deck installation to ensure this is acceptable. Please also refer to applicable Product Data Sheets of the corresponding products.
2. All rolls, with the exception of Polystick TU Plus and Polystick MU should be back-nailed in selvage edge seam as per Polyglass Back Nailing Guide. Nails shall be, 11 gauge ring shank type, applied with a minimum 1" metal disk as required in Dade County or simplex type nail as otherwise allowable in other regions, at a minimum rate of 12" o.c. Polystick TU Plus and Polystick MU should be back nailed in designated area marked "nail area, area para clavar" on the face of membrane, with the above stated nails and/or disks. The head lap membrane is to cover the area being back-nailed. (Please refer to applicable local building codes prior to installation.)
3. All seal lap seams (selvage laps) must be rolled with a hand roller to ensure full contact.
4. All fabric over fabric; and granule over granule end laps, shall have a 6" wide, uniform layer of Polyglass 2000 MB Plus trowel grade or other approved premium SBS modified trowel grade mastic, applied in between the application of the lap. The use of mastic between the laps does not apply to Polystick Basik.
5. A maximum of 6 tiles per stack are allowed when loading tile on the underlayments. Refer to the Polyglass Tile Loading Guidelines.
6. Battens and/or Counter-battens, as required by the tile manufacturers NOA's, must be used on all projects for pitch/slopes of 7"/12" or greater. It is suggested that on pitch/slopes in excess of 6 1/4"/12", precautions should be taken, such as the use of battens to prevent tile sliding during the loading process.



7. Minimum cure time after membrane installation & before loading of roofing tiles is Forty-Eight (48) Hours.
8. Polystick TU Plus, Polystick MU may not be used in any exposed application such as crickets, exposed valleys, or exposed roof to wall details.
9. Repair of Polystick membranes is to be accomplished by applying Polyglass MB 2000 Plus Trowel Grade Mastic or an approved premium SBS modified trowel grade mastic to the area in need of repair, followed by a patch of the Polystick material of like kind should be set and hand rolled in place over the area needing such repair. Patching membrane shall be a minimum of 6 inches in either direction. The repair should be installed in such a way so that water will run parallel to or over the top of all laps of the patch.
10. All self-adhered membranes must be rolled to ensure full contact with approved substrates. Polyglass requires a minimum of 40 lbs for a weighted roller for the rolling of the field membrane. Hand rollers are acceptable for rolling of patches or small areas of the roof.
11. All approved substrates should be dry, clean and properly prepared, before any application of Polystick membranes commences. An approved substrate technical bulletin can be furnished upon request. It is recommended to refer to applicable building codes prior to installation to verify acceptable substrates.
12. The Polyglass Miami-Dade Notice of Acceptance (NOA) approval for Polystick membranes and PolyProtector UDL can be furnished upon request by our Technical Services Department by calling 1 (800) 894-4563.
13. Polyglass offers a 10 year Limited Material Warranty on all properly installed Polystick self-adhered underlayments. Warranty must be requested and registered by Polyglass to be in force.
14. Questions in regards to the application of Polyglass products should be directed to our Technical Services Department at 1 (800) 894-4563.
15. Polyglass recommends that applicators follow good roofing practices and applicable procedures as outlined by the National Roofing Contractors Association (NRCA).

**PLEASE CHECK WITH LOCAL BUILDING CODES REGARDING LIMITATIONS OF SPECIFIC APPLICATIONS. LOCAL CODES MAY SUPERSEDE POLYGLASS REQUIREMENTS AND RECOMMENDATIONS.**

**END OF THIS ACCEPTANCE**



NOA No 06-0505.01  
Expiration Date: 09/13/11  
Approval Date: 11/30/06  
Page 6 of 6



## TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 22 PALMETTO

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

ROOF DRY IN

LADDER MUST BE ON SITE FOR INSPECTION

EXIST. COPPER FLASHING MUST BE ISOLATED FROM CONTACT W/ METAL ROOF PANELS & NEW STEEL FLASH

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 9/5

JAL  
INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 9-5, 2007 Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8655 6	Moscote 1 Worth Ct O/B	Interior gas (OFF RIDGECLAY)	PASS	INSPECTOR: <i>[Signature]</i>
Tree 2	Reich 22 Middle Rd Coastal Lands.	Tree	PASS	INSPECTOR: <i>[Signature]</i>
8672 4	Ferraro 4 Kingston Ct Gulick	Window + door	PASS	INSPECTOR: <i>[Signature]</i>
8606 7	Larsen 11 Lantana AdP	all trades	FAIL	INSPECTOR: <i>[Signature]</i>
<del>8680</del> 8	<del>McCrany</del> 22 Palmetto Latitude 27	<del>tin tag</del>	<del>FAIL</del>	INSPECTOR: <i>[Signature]</i>
8589 11	Hardin 27 S River Station	porch column	PASS	INSPECTOR: <i>[Signature]</i>
CE 13	 5 Sewalls	Lawn		INSPECTOR:
OTHER: 8643	BAKER 88 N. S.P.R.	FINAL GENERATOR	PASS	<i>[Signature]</i>



## TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 22 PALMETO

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FINAL ROOF

NEED (2) COPIES PRODUCT APPROVAL  
FOR NEW SKYLIGHTS, SUBMIT TO  
BLDG. DEPT.

Rec'd ROOF'S  
10/25/07

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 10/25

[Signature]

INSPECTOR

**DO NOT REMOVE THIS TAG**



**8762**

**RENOVATIONS**





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	8702	DATE ISSUED:	AUGUST 28, 2007
SCOPE OF WORK:	INTERIOR DEMO (TILE, CEILING, CABINETS)		
CONDITIONS:			
CONTRACTOR:	FINE DETAILS		
PARCEL CONTROL NUMBER:	13841010000002115	SUBDIVISION	PALMETTO PARK-LOT 1
CONSTRUCTION ADDRESS:	22 PALMETTO DR		
OWNER NAME:	MC CRAVY		
QUALIFIER:	WILLIAM STEFANSIC	CONTACT PHONE NUMBER:	772-285-0216

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

**RECEIVED**  
DATE: 8-23-07  
TOWN OF SEWALL'S POINT

**Town of Sewall's Point**

Date: 8/19/07 **BUILDING PERMIT APPLICATION** Permit Number: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: Kim & Dan McCravy Phone (Day) (772) 408-3257 (Fax) (772) 692-0278

Job Site Address: 22 PALMETTO City: Stuart State: Fla. Zip: 34994

Legal Desc. Property (Subd/Lot/Block) \_\_\_\_\_ Parcel Number: \_\_\_\_\_

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Scope of work: INTERIOR DEMO (TILE, POPCORN CEILING, KIT CABINETS)

**WILL OWNER BE THE CONTRACTOR?**  
(If yes, Owner Builder questionnaire must accompany application)  
YES \_\_\_\_\_ NO X

**COST AND VALUES:** (Required on ALL permit applications)  
Estimated Value of Improvements: \$ ~~2500~~ 2500 (Notice of Commencement required when over \$2500 prior to first inspection)

Has a Zoning Variance ever been granted on this property?  
YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
(Must include a copy of all variance approvals with application)

Is subject property located in flood hazard area? V A9 A8 X  
**FOR ADDITIONS AND REMODELS IN FLOOD HAZARD AREAS ONLY:**  
Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
(Fair Market Value of the Primary Structure only, Minus the land value)  
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: FINE DETAILS INC Phone: 772 285 0216 Fax: 561 835 3507

Street: 532 27th ST City: WPO State: FL Zip: 33407

State Registration Number: CA State Certification Number: CAC058313 Municipality License Number: \_\_\_\_\_

PROJECT SUPERINTENDANT: BLU STEFANIC CONTACT NUMBER: 772 285 0216

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic.# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQ. FOOTAGE (W/SEWER & ELECTRIC): Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004 (W/2006 Rev.)  
National Electrical Code: 2005 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

**NOTICES TO OWNERS AND CONTRACTORS:**  
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.  
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.  
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95

THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.  
I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*  
OWNER OR AUTHORIZED AGENT SIGNATURE (required)  
Kim & Dan McCravy  
State of Florida, County of: Martin  
This the 21st day of August, 2007  
by Kim Laurie McCravy who is personally known to me or produced FDL# M261-512-57-647-0 as identification.  
My Commission Expires: \_\_\_\_\_  
**VALERIE MEYER**  
Notary Public  
STATE OF FLORIDA  
MY COMMISSION # DD552119  
EXPIRES: May 14, 2010

CONTRACTOR SIGNATURE (required)  
William Alan Stefanski  
On State of Florida, County of: Martin  
This the 20th day of August, 2007  
by William Alan Stefanski who is personally known to me or produced FDL# S315-921-56-100 as identification.  
My Commission Expires: \_\_\_\_\_  
**VALERIE MEYER**  
Notary Public

STATE OF FLORIDA  
NOTARY PUBLIC  
VALERIE MEYER  
MY COMMISSION # DD552119  
EXPIRES: May 14, 2010  
Florida Notary Service.com  
(407) 256-2166

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 90 DAYS OF APPROVAL NOTIFICATION (FBC 105.90) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



**Martin County, Florida**  
**Laurel Kelly, C.F.A**

Site Provided by...  
 governmax.com T1.13

**Summary**

print | | | - / - | Owner  
 1 of 1

**Parcel Info**

**Summary**

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
01-38-41-010-000-00211-5	22 PALMETTO DR	17775	Owner	0	1

**Summary**

**Property Location** 22 PALMETTO DR  
**Tax District** 2200 Sewall's Point  
**Account #** 17775  
**Land Use** 101 0100 Single Family  
**Neighborhood** 193170  
**Acres** 0.617

**Legal Description**

**Property Information**  
 PALMETTO PARK, PT OF LOT 1,  
 UNINCLUDED, BEG 170' W OF NW  
 COR LOT 3, SELY 159.77', SWLY

**Owner Information**

**Owner Information**  
 MCCRAVY, DANIEL W & KIM L

**Mail Information**

22 PALMETTO DR  
 STUART FL 34996

**Assessment Info**

**Front Ft.** 1.00

**Market Land Value** \$1,750,000  
**Market Impr Value** \$526,230  
**Market Total Value** \$2,276,230

**Search By**

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

**Site Functions**

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

**Recent Sale**

**Sale Amount** \$0

**Sale Date** 10/30/1997  
**Book/Page** 1269 1477

[Print](#) | << First < Previous Next > Last >>

[Legal disclaimer / Privacy Statement](#)

Data updated on 08/20/2007



# ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID AL  
FINEDET

DATE (MM/DD/YYYY)  
07/12/07

<b>PRODUCER</b> Gallo Insurance Agency, Inc P. O. Box 10549 Riviera Beach FL 33419 Phone: 561-694-6666 Fax: 561-694-6986	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.												
<b>INSURED</b> Fine Details Inc. 532 27th St West Palm Beach FL 33407	<table border="1" style="width: 100%;"> <tr> <th style="width: 80%;">INSURERS AFFORDING COVERAGE</th> <th>NAIC #</th> </tr> <tr> <td>INSURER A: Auto-Owners Insurance Company</td> <td>18988</td> </tr> <tr> <td>INSURER B:</td> <td></td> </tr> <tr> <td>INSURER C:</td> <td></td> </tr> <tr> <td>INSURER D:</td> <td></td> </tr> <tr> <td>INSURER E:</td> <td></td> </tr> </table>	INSURERS AFFORDING COVERAGE	NAIC #	INSURER A: Auto-Owners Insurance Company	18988	INSURER B:		INSURER C:		INSURER D:		INSURER E:	
INSURERS AFFORDING COVERAGE	NAIC #												
INSURER A: Auto-Owners Insurance Company	18988												
INSURER B:													
INSURER C:													
INSURER D:													
INSURER E:													

## COVERAGES


THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR	ADD'L	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A		<b>GENERAL LIABILITY</b>	72541925	01/07/07	01/07/08	EACH OCCURRENCE
		<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> P&C add't ins exc GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 50,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 1,000,000 PRODUCTS - COMP/OP AGG \$ 1,000,000
		<b>AUTOMOBILE LIABILITY</b>				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
		<b>GARAGE LIABILITY</b>				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
		<b>EXCESS/UMBRELLA LIABILITY</b>				<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE \$ RETENTION \$
		<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b>				ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below
		<b>OTHER</b>				WC STATU-TORY LIMITS   OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

## CERTIFICATE HOLDER

## CANCELLATION

TOWNSEW  Town of Sewalls Point 1 Sewalls Point Road Sewalls Point FL 334996	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE 
---	---



11-29-2006

TOM GALLAGHER  
CHIEF FINANCIAL OFFICER

STATE OF FLORIDA  
DEPARTMENT OF FINANCIAL SERVICES  
DIVISION OF WORKERS' COMPENSATION

\* \* CERTIFICATE OF ELECTION TO BE EXEMPT FROM FLORIDA WORKERS' COMPENSATION LAW \* \*

CONSTRUCTION INDUSTRY EXEMPTION

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation law.

EFFECTIVE DATE: 01/16/2007                      EXPIRATION DATE: 01/15/2009

PERSON: STEFANSIC                                      WILLIAM                      A

FEIN: 650426115

BUSINESS NAME AND ADDRESS:

FINE DETAILS INC  
532 27TH ST  
WEST PALM BCH                      FL 33407

SCOPES OF BUSINESS OR TRADE:

1- CERTIFIED RESIDENTIAL CONTRACT

**IMPORTANT:** Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter. Pursuant to Chapter 440.05(12), F.S., Certificates of election to be exempt... apply only within the scope of the business or trade listed on the notice of election to be exempt. Pursuant to Chapter 440.05(13), F.S., Notices of election to be exempt and certificates of election to be exempt shall be subject to revocation if, at any time after the filing of the notice or the issuance of the certificate, the person named on the notice or certificate no longer meets the requirements of this section for issuance of a certificate. The department shall revoke a certificate at any time for failure of the person named on the certificate to meet the requirements of this section.

QUESTIONS? (850) 413-1609

DWC-252 CERTIFICATE OF ELECTION TO BE EXEMPT-REVISED 09-06

PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

STATE OF FLORIDA  
DEPARTMENT OF FINANCIAL SERVICES  
DIVISION OF WORKERS' COMPENSATION  
CONSTRUCTION INDUSTRY  
CERTIFICATE OF ELECTION TO BE EXEMPT FROM FLORIDA  
WORKERS' COMPENSATION LAW



EFFECTIVE: 01/16/2007                      EXPIRATION DATE: 01/15/2009

PERSON: WILLIAM A STEFANSIC

FEIN: 650426115

BUSINESS NAME AND ADDRESS:

FINE DETAILS INC  
532 27TH ST  
WEST PALM BCH, FL 33407

SCOPE OF BUSINESS OR TRADE:

- CERTIFIED RESIDENTIAL CONTRACT

**IMPORTANT**

**F** Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.

**H** Pursuant to Chapter 440.05(12), F.S., Certificates of election to be exempt... apply only within the scope of the business or trade listed on the notice of election to be exempt.

**R** Pursuant to Chapter 440.05(13), F.S., Notices of election to be exempt and certificates of election to be exempt shall be subject to revocation if, at any time after the filing of the notice or the issuance of the certificate, the person named on the notice or certificate no longer meets the requirements of this section for issuance of a certificate. The department shall revoke a certificate at any time for failure of the person named on the certificate to meet the requirements of this section.

QUESTIONS? (850) 413-1609

CUT HERE

\* Carry bottom portion on the job, keep upper portion for your records.

DWC-252 CERTIFICATE OF ELECTION TO BE EXEMPT REVISED 09-06

AC# 2678406

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L06072501241

DATE	BATCH NUMBER	LICENSE NBR
07/25/2006	068013982	CRC058313

The RESIDENTIAL CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489 F8.  
Expiration date: AUG 31, 2008

STEFANSIC, WILLIAM A  
FINE DETAILS INC  
4830 SE LONGLEAF PLACE  
HOBE SOUND FL 33455

JEB BUSH  
GOVERNOR

SIMONE MARSTILLER  
SECRETARY

DISPLAY AS REQUIRED BY LAW

2007-2008

MARTIN COUNTY ORIGINAL  
BUSINESS TAX RECEIPT

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34985  
(772) 288-5604

LICENSE 1992-513-0106      CRC058313  
PHONE (561) 835-3519      SIC NO. 233210

LOCATION:  
532 27TH ST PBC

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR. \$	_____	-.00	LIC. FEE \$	_____	26.00
\$	_____	-.00	PENALTY \$	_____	
\$	_____	-.00	COL FEE \$	_____	
\$	_____	-.00	TRANSFER \$	_____	26.25
TOTAL					26.25



IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION OF  
RESIDENTIAL CONTRACTOR

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

01 DAY OF AUGUST 07  
ENDING SEPTEMBER 30 2008

WILLIAM A.  
FINE DETAILS, INC.  
4830 SE LONGLEAF PLACE  
HOBE SOUND, FL 33455

11 2006 49323.0001 26.25

2004-08911

STATE OF FLORIDA  
PALM BEACH COUNTY  
LOCAL BUSINESS TAX RECEIPT  
EXPIRES: SEPTEMBER - 30 - 2008

OC-032  
CLASSIFICATION

FINE DETAILS INC  
STEFANSIC WILLIAM A

LOCATED AT  
532 27TH ST  
WEST PALM BEACH FL 33407

CNTY \$27.50  
TOTAL \$27.50

This receipt is hereby valid for the above address for the period beginning on the first day of October and ending on the thirtieth day of September to engage in the business, profession or occupation of:

RESIDENTIAL CONTRACTOR  
CR-C058313

THIS IS NOT A BILL - DO NOT PAY

PAID. PBC TAX COLLECTOR  
\$27.50 OCC 049 1508076 08-02-2007

ANNE M. GANNON

THIS DOCUMENT IS VALID ONLY WHEN RECEIPTED  
BY TAX COLLECTOR

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 9-7, 2007 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8145 5	Geisinger 8 Castle Hill OIB	A/C rough Electric rough	PASS FAIL	INSPECTOR: <i>[Signature]</i>
8683 1	Pope 124 S Sewalls Blue Water Marine	tie back	PASS	INSPECTOR: <i>[Signature]</i>
8684 1	Schnabel 1225 Sewalls Blue Water Marine	tie back	PASS	INSPECTOR: <i>[Signature]</i>
8686 3	Gesser 36 S River Rd Folding Shutter	Final <del>(<del>XXXXXXXXXXXXXXXXXXXX</del>)</del>	PASS	CLOSE INSPECTOR: <i>[Signature]</i>
8535 2	Stark 87 S River Rd Emil LaViola	slab wall	FAIL PASS	INSPECTOR: <i>[Signature]</i>
8513 7	Subin 8 Palm Rd Driftwood	Final - (porch) 223-0089	PASS	CLOSE 334-2577 INSPECTOR: <i>[Signature]</i>
8698 6	Sinton 33 N River Rd OIB	gas line U.G.	PASS	INSPECTOR: <i>[Signature]</i>
OTHER: 3703 4	<del>McGrady</del> 22 Palmetto Latitude 27	dry in	PASS	<i>[Signature]</i>

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 11-16-07, 2007

Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8757	Donaldson	ROOF FINAL	PASS	CLOSE
5	35 N. RIVER			
	H.P. BLOK COOP.			INSPECTOR:
8468	Mannano	Final	FAIL	
1	23 Middle Rd			
	Heaton Roof.			INSPECTOR: <i>AW</i>
8746	Notreil	Final	FAIL	
2	26 W High Pt			
	Nis Air			INSPECTOR: <i>AW</i>
Tree	Holland	Tree	PASS	
3	16 N Ridgview Rd			
	OB			INSPECTOR: <i>AW</i>
699	Donaldson	Final-dock repair	PASS	CLOSE
5	35 N River Rd			
	OB			INSPECTOR: <i>AW</i>
8148	McGovern	Stemwall footer	FAIL	NEED COMP. TEST
6	2 Tuscan La			
	Driftwood			INSPECTOR: <i>AW</i>
8762	<del>McGovern</del>	gas line rough	PASS	
4	<del>35 Palmers</del>	<del>interior memo</del>	<del>PASS</del>	<del>CLOSE</del>
	Fire Details			INSPECTOR: <i>AW</i>

OTHER:

20th  
30th



**8762**

**RENOVATIONS**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	8762	DATE ISSUED:	NOVEMBER 13, 2007
SCOPE OF WORK:	RENOVATIONS (SGD, WINDOWS, KITCHEN)		
CONDITIONS:			
CONTRACTOR:	FINE DETAILS		
PARCEL CONTROL NUMBER:	13841010000002115	SUBDIVISION	PALMETTO PK - LOT 1
CONSTRUCTION ADDRESS:	22 PALMETTO DR		
OWNER NAME:	MCCRAVY		
QUALIFIER:	WILLIAM STEFANSIC	CONTACT PHONE NUMBER:	285-0216

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

Submission fee \$175

RECEIVED  
DATE: 10-25-07  
TOWN OF SEWALL'S POINT

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: McCRARY, Kim Phone (Day) \_\_\_\_\_ (Fax) \_\_\_\_\_

Job Site Address: 22 PALMETTO DR City: SEWALLS PT State: FLA Zip: \_\_\_\_\_

Legal Desc. Property (Subd/Lot/Block) PALMETTO PK PT of LOT 1 Parcel Number: 01-38-41-010-000-00211-5

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Scope of work: FRONT SLIDING DOORS, WINDOW, KITCHEN CABINETS

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application)  
YES \_\_\_\_\_ NO X

Has a Zoning Variance ever been granted on this property?

YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO X

(Must include a copy of all variance approvals with application)

COST AND VALUES:

Estimated Value of Construction or Improvements: \$ 120,800  
(Notice of Commencement required over \$2500)

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
(FOR ADDITIONS AND REMODEL APPLICATIONS ONLY)

Method of Determining Fair Market Value: \_\_\_\_\_

CONTRACTOR/Company: FINE DETAILS INC Phone: 285 0216 Fax: 581 835 3507

Street: 532 27th ST City: WPB State: FL Zip: 33407

State Registration Number: \_\_\_\_\_ State Certification Number: CC008313 Municipality License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER OSCAR BERNARD Lic.# PE 55141 Phone Number: 772-708-7785

Street: 702 S. 7th ST City: FT PIERCE State: FL Zip: 34950

AREA SQUARE FOOTAGE (SEWER & ELECTRIC): Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004 (W/2006 Rev.)  
National Electrical Code: 2005 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

NOTICES TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.

THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - 5.

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*

OWNER OR AUTHORIZED AGENT SIGNATURE (required)

Kim McCrary

State of Florida, County of: Martin

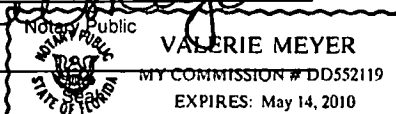
This the 2nd day of October, 2007

by Kim Laurie McCrary who is personally

known to me or produced FLD#MS261-512-57-647-0

as identification. Valerie Meyer

My Commission Expires: \_\_\_\_\_



CONTRACTOR SIGNATURE (required)

William A. Stefanec

On State of Florida, County of: Martin

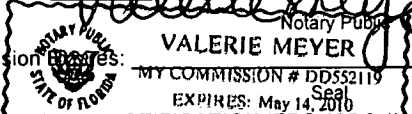
This the 25th day of Oct, 2007

by William A. Stefanec who is personally

known to me or produced FLD#PS 315 921-56-102-0

As identification. Valerie Meyer

My Commission Expires: \_\_\_\_\_



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 90 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



**Martin County, Florida**  
**Laurel Kelly, C.F.A**

Site Provided by...  
 governmax.com T1.13

**Summary**

print ||| - / - \ Owner 1 of 1

**Parcel Info**

**Summary**

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
01-38-41-010-000-00211-5	22 PALMETTO DR	17775	Owner	0	1

**Summary**

**Property Location** 22 PALMETTO DR  
**Tax District** 2200 Sewall's Point  
**Account #** 17775  
**Land Use** 101 0100 Single Family  
**Neighborhood** 193170  
**Acres** 0.617

**Legal Description**

**Property Information**  
 PALMETTO PARK, PT OF LOT 1,  
 UNINCLUDED, BEG 170' W OF NW  
 COR LOT 3, SELY 159.77', SWLY

**Search By**

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

**Owner Information**

**Owner Information**  
 MCCRAVY, DANIEL W & KIM L

**Mail Information**

22 PALMETTO DR  
 STUART FL 34996

**Assessment Info**

**Front Ft.** 1.00

**Market Land Value** \$1,575,000  
**Market Impr Value** \$442,180  
**Market Total Value** \$2,017,180

**Site Functions**

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

**Recent Sale**

**Sale Amount** \$0

**Sale Date** 10/30/1997  
**Book/Page** 1269 1477

[Print](#) | << First < Previous Next > Last >>

[Legal disclaimer](#) / [Privacy Statement](#)

Data updated on 10/17/2007



# CERTIFICATE OF LIABILITY INSURANCE

INSURER

llo Insurance Agency, Inc  
O. Box 10549  
iera Beach FL 33419  
one: 561-694-6666 Fax: 561-694-6986

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

NAIC #

INSURER A: Auto-Owners Insurance Company  
INSURER B:  
INSURER C:  
INSURER D:  
INSURER E:

18988

RED

Fine Details Inc.  
532 27th St  
West Palm Beach FL 33407

### VERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

ADD'L INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
	<b>GENERAL LIABILITY</b> <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> P&C add't ins exc GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	72541925	01/07/07	01/07/08	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 50,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 1,000,000 PRODUCTS - COMP/OP AGG \$ 1,000,000
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$
	<b>EXCESS/UMBRELLA LIABILITY</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				WC STATU- TORY LIMITS   OTH- ER E. L. EACH ACCIDENT \$ E. L. DISEASE - EA EMPLOYEE \$ E. L. DISEASE - POLICY LIMIT \$
	<b>OTHER</b>				

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

### CERTIFICATE HOLDER

TOWNSEW

Town of Sewalls Point  
1 Sewalls Point Road  
Sewalls Point FL 334996

### CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

*Cheryl Vandusen*



STATE OF FLORIDA  
DEPARTMENT OF FINANCIAL SERVICES  
DIVISION OF WORKERS' COMPENSATION

DOM GALLAGHER  
CHIEF FINANCIAL OFFICER

**\* \* CERTIFICATE OF ELECTION TO BE EXEMPT FROM FLORIDA WORKERS' COMPENSATION LAW \* \***

**CONSTRUCTION INDUSTRY EXEMPTION**

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation law.

EFFECTIVE DATE: 01/16/2007      EXPIRATION DATE: 01/15/2009

PERSON: STEFANSIC      WILLIAM      A

FEIN: 050426115

**BUSINESS NAME AND ADDRESS:**

FINE DETAILS INC  
532 27TH ST  
WEST PALM BCH      FL 33407

**SCOPES OF BUSINESS OR TRADE:**


1- CERTIFIED RESIDENTIAL CONTRACT

**IMPORTANT:** Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter. Pursuant to Chapter 440.05(12), F.S., Certificates of election to be exempt... apply only within the scope of the business or trade listed on the notice of election to be exempt. Pursuant to Chapter 440.05(13), F.S., Notices of election to be exempt and certificates of election to be exempt shall be subject to revocation if, at any time after the filing of the notice or the issuance of the certificate, the person named on the notice or certificate no longer meets the requirements of this section for issuance of a certificate. The department shall revoke a certificate at any time for failure of the person named on the certificate to meet the requirements of this section.

QUESTIONS? (850) 413-1609

DWC-252 CERTIFICATE OF ELECTION TO BE EXEMPT-REVISED 09-06

PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

<p>STATE OF FLORIDA DEPARTMENT OF FINANCIAL SERVICES DIVISION OF WORKERS' COMPENSATION <b>CONSTRUCTION INDUSTRY</b> CERTIFICATE OF ELECTION TO BE EXEMPT FROM FLORIDA WORKERS' COMPENSATION LAW</p>  <p>EFFECTIVE: 01/16/2007      EXPIRATION DATE: 01/15/2009 PERSON: WILLIAM A STEFANSIC FEIN: 050426115 BUSINESS NAME AND ADDRESS: FINE DETAILS INC 532 27TH ST WEST PALM BCH, FL 33407</p> <p>SCOPE OF BUSINESS OR TRADE: - CERTIFIED RESIDENTIAL CONTRACT</p>	<p><b>IMPORTANT</b></p> <p><b>F</b> Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.</p> <p><b>H</b> Pursuant to Chapter 440.05(12), F.S., Certificates of election to be exempt... apply only within the scope of the business or trade listed on the notice of election to be exempt.</p> <p><b>E</b> Pursuant to Chapter 440.05(13), F.S., Notices of election to be exempt and certificates of election to be exempt shall be subject to revocation if, at any time after the filing of the notice or the issuance of the certificate, the person named on the notice or certificate no longer meets the requirements of this section for issuance of a certificate. The department shall revoke a certificate at any time for failure of the person named on the certificate to meet the requirements of this section.</p> <p>QUESTIONS? (850) 413-1609</p>
---	--

CUT HERE

\* Carry bottom portion on the job, keep upper portion for your records.

DWC-252 CERTIFICATE OF ELECTION TO BE EXEMPT REVISED 09-06

2678406

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L06072501211

DATE	BATCH NUMBER	LICENSE NBR
07/25/2006	068013982	CRC058313

The RESIDENTIAL CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2008

STEFANSIC, WILLIAM A  
FINE DETAILS INC  
4830 SE LONGLEAF PLACE  
HOBE SOUND FL 33455

JEB BUSH  
GOVERNOR

SIMONE MARSTILLER  
SECRETARY

DISPLAY AS REQUIRED BY LAW

2007-2008

MARTIN COUNTY ORIGINAL  
BUSINESS TAX RECEIPT

Larry C. O'Steen, Tax Collector, P.O. Box 9012, Stuart, FL 34985  
(772) 288-5804

LICENSE 1992-513-0106 CERT CRC058313  
PHONE (561) 835-3519 SIC NO 233210  
LOCATION: 532 27TH ST PBC

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR. \$	.00	LIC. FEE \$	26.25
\$	.00	PENALTY \$	
\$	.00	COL. FEE \$	
\$	.00	TRANSFER \$	
TOTAL			26.25



WILLIAM A.  
FINE DETAILS, INC.  
STREET  
WEST PALM BEACH, FL 33407

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION  
OF RESIDENTIAL CONTRACTOR  
AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

01 DAY OF AUGUST 07  
AND ENDING SEPTEMBER 30 2008 20 11 2006 49323.0001 26.25

2004-08911

STATE OF FLORIDA  
PALM BEACH COUNTY  
LOCAL BUSINESS TAX RECEIPT  
EXPIRES: SEPTEMBER - 30 - 2008

OC-032  
CLASSIFICATION

FINE DETAILS INC  
STEFANSIC WILLIAM A

\*\* LOCATED AT  
532 27TH ST  
WEST PALM BEACH FL 33407

CNTY \$27.50  
TOTAL \$27.50

This receipt is hereby valid for the above address for the period beginning  
on the first day of October and ending on the thirtieth day of September  
to engage in the business, profession or occupation of:

RESIDENTIAL CONTRACTOR  
CR-C058313

THIS IS NOT A BILL - DO NOT PAY

PAID. PBC TAX COLLECTOR  
\$27.50 OCC 049 1508076 08-02-2007

ANNE M. GANNON

THIS DOCUMENT IS VALID ONLY WHEN RECEIPTED  
BY TAX COLLECTOR

form 104

# ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID SE  
AQUAD-1

DATE (MM/DD/YYYY)  
02/20/07

**PRODUCER:**  
Stuart Insurance, Inc.  
3070 S W Mapp  
Palm City FL 34990  
Phone: 772-286-4334 Fax: 772-286-9389

**INSURED:**  
Aqua Dimensions Plumbing  
Services Inc  
Robert Ludlum, Jr.  
1651 SW Macedo Blvd.  
Port St. Lucie FL 34984

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE	NAIC #
INSURER A: North Pointe Ins Co (27740)	
INSURER B:	
INSURER C:	
INSURER D:	
INSURER E:	

## COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	2094116022	02/28/07	02/28/08	EACH OCCURRENCE \$ 1,000,000
	<input checked="" type="checkbox"/> CONTRACTUAL LIAB				DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000
	GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				MED EXP (Any one person) \$ 10,000
					PERSONAL & ADV INJURY \$ 1,000,000
					GENERAL AGGREGATE \$ 2,000,000
					PRODUCTS - COMP/OP AGG \$ 2,000,000
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS	2094116022	02/28/07	02/28/08	COMBINED SINGLE LIMIT (Ea accident) \$ 500,000
					BODILY INJURY (Per person) \$
					BODILY INJURY (Per accident) \$
					PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$
					OTHER THAN EA ACC \$
					AUTO ONLY: AGG \$
	EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE \$
					AGGREGATE \$
					\$
					\$
					\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				WC STATU-TORY LIMITS   OTH-ER
					E.L. EACH ACCIDENT \$
					E.L. DISEASE - EA EMPLOYEE \$
					E.L. DISEASE - POLICY LIMIT \$
	OTHER				

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

Plumbing Residential

SE

**CERTIFICATE HOLDER**

TOWSC-1

Town of Sewalls Point  
1 South Sewalls Point Road  
Sewalls Point FL 34996

**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE  
*Joseph E. Coon*



# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)  
06/11/2007

**PRODUCER**

Serial # A30309

AON RISK SERVICES, INC. OF FLORIDA  
1001 BRICKELL BAY DRIVE, SUITE #1100  
MIAMI, FL 33131-4937  
PHONE: 800-743-8130 FAX: 800-522-7514

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**COMPANIES AFFORDING COVERAGE**

COMPANY A	AMERICAN HOME ASSURANCE COMPANY
COMPANY B	
COMPANY C	
COMPANY D	

**INSURED**

ADP TOTALSOURCE, INC.  
10200 SUNSET DRIVE  
MIAMI, FL 33173  
ALTERNATE EMPLOYER:  
AQUA DIMENSIONS PLUMBING SVCS, INC.

**COVERAGES**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES, LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
	<b>GENERAL LIABILITY</b> <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR <input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT				GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$ PERSONAL & ADV INJURY \$ EACH OCCURRENCE \$ FIRE DAMAGE (Any one fire) \$ MED EXP (Any one person) \$
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EACH ACCIDENT \$ AGGREGATE \$
	<b>EXCESS LIABILITY</b> <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$ \$
A	<b>WORKER'S COMPENSATION AND EMPLOYERS' LIABILITY</b> THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input type="checkbox"/> INCL <input type="checkbox"/> EXCL	WC 1106956 FL	07/01/2007	07/01/2008	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER EL EACH ACCIDENT \$ 1,000,000 EL DISEASE - POLICY LIMIT \$ 1,000,000 EL DISEASE - EA EMPLOYEE \$ 1,000,000
	<b>OTHER</b>				

**DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS**

ALL EMPLOYEES WORKING FOR THE ABOVE NAMED CLIENT COMPANY, PAID UNDER ADP/TOTALSOURCE, INC.'S PAYROLL, WILL BE COVERED UNDER THE ABOVE STATED POLICY. \*THE ABOVE NAMED CLIENT IS AN ALTERNATE EMPLOYER UNDER THIS POLICY.

FL

**CERTIFICATE HOLDER**

TOWN OF SEWALL'S BUILDING DEPT  
1 S. SEWALL'S POINT RD  
SEWALL'S POINT, FL 34996

**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

**AON RISK SERVICES INC. OF FLORIDA**

067123

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# 106090500345

DATE: 09/05/2005  
BATCH NUMBER: 050005976  
LICENSE NBR: CE0007118

THE BUSINESS ORGANIZATION  
Named below is QUALIFIED  
Under the provisions of Chapter 489, F.S.  
Expiration date: AUG 31, 2008  
(THIS IS NOT A LICENSE. NO PERFORMING WORK IS ALLOWED  
UNTIL THE COMPANY IS QUALIFIED.)

AQUA DIMENSIONS PLUMBING SERVICES, INC.  
1651 SW MACEDO BLVD FL 34984  
PORT ST LUCIE



DIANE CARR  
SECRETARY

DISPLAY AS REQUIRED BY LAW

JEB BUSH  
GOVERNOR

0671474

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# 106090500345

DATE: 09/05/2005  
BATCH NUMBER: 000000000  
LICENSE NBR: CFC05752877

THE PLUMBING CONTRACTOR  
Named below is CERTIFIED  
Under the provisions of Chapter 489, F.S.  
Expiration date: AUG 31, 2008

LUDDON ROBERT W PLUMBING SERVICES INC  
AQUA DIMENSIONS PLUMBING SERVICES, INC.  
1651 SW MACEDO BLVD FL 34984  
PORT ST LUCIE



SIMONE MARSTILLER  
SECRETARY

JEB BUSH  
GOVERNOR

DISPLAY AS REQUIRED BY LAW

Board of Fee Tax  
Town of Sewall's Point Building Department  
1 S. Sewall's Point Road  
Sewall's Point, FL 34988  
PAX 8 (772) 220-4765

VERIFICATION OF PARCEL CONTROL NUMBER  
OWNER'S FULL NAME AS STATED ON DEED  
PARCEL CONTROL # 1384101000000115  
SUBDIVISION Palmetto Parc  
LOT: 1 BLK: 1 PHASE:  
SITE ADDRESS: 22 Palmetto Drive

WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.  
MARTIN COUNTY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER:

Howt Dimensions

TELEPHONE NO. 772-347-8433 FAX NO. 772-343-7418

COMPANY OR QUALIFIER NAME: *Palmetto Parc*  
SIGNATURE OF LICENSED CONTRACTOR: *[Signature]*  
ADDRESS OF CONTRACTOR: *1015 S. Woodford Blvd. Fort St. Louis, MO 63102*

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

TYPE OF EQUIPMENT:  SECURITY  VACUUM  SOUND SYSTEM  LANDSCAPE  OTHER  
SCORE OF WORK: VALUE

TYPE OF SERVICE:  NEW SERVICE  EXISTING SERVICE  OTHER  
SCORE OF WORK: *100.00*  
VALUE OF CONSTRUCTION: *500.00*

PERMIT TYPE:  RESIDENTIAL  COMMERCIAL  
CONSTRUCTION ADDRESS: *22 Palmetto Drive*  
OWNER NAME: *Dan McCann*

IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT, THIS VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

BUILDING PERMIT NUMBER: *8762*  
TOWN OF SEWALL'S POINT  
VERIFICATION OF CONTRACTOR

*[Signature]*

OK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR PERMIT

BUILDING PERMIT NUMBER: 8762

OWNERS NAME: McCRAY

CONSTRUCTION ADDRESS: 22 Palmetto

PERMIT TYPE:  RESIDENTIAL  COMMERCIAL

ELECTRIC

ROOFING

PLUMBING

CONCRETE FORM AND PLACE

HVAC

MASONRY

IRRIGATION

CARPENTRY

FUEL GAS

OTHER (SPECIFY) \_\_\_\_\_

FOR GAS OR ELECTRIC: TYPE OF SERVICE:  NEW SERVICE  EXISTING SERVICE  OTHER

SCOPE OF WORK: ELECTRICAL For Remodel

VALUE OF CONSTRUCTION \$ 1500

<input type="checkbox"/> LOW VOLTAGE
TYPE OF EQUIPMENT: <input type="checkbox"/> SECURITY <input type="checkbox"/> VACUUM <input type="checkbox"/> SOUND SYSTEM <input type="checkbox"/> LANDSCAPE <input type="checkbox"/> OTHER
SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

*Handwritten signature of contractor*

SIGNATURE OF LICENSED CONTRACTOR

2884 S.E. PACE DRIVE PSL

ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: DE SIRO'S ELECTRICAL SERVICES, INC.

TELEPHONE NO: (772) 878-2643 FAX NO: (772) 336-5181

PLEASE PRINT

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: EC0002941

\*\* WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT. \*\*\*\*\*

\*\*\*VERIFICATION OF PARCEL CONTROL NUMBER\*\*\*

OWNER'S FULL NAME AS STATED ON DEED: \_\_\_\_\_

PARCEL CONTROL #: \_\_\_\_\_

SUBDIVISION: \_\_\_\_\_ LOT: \_\_\_\_\_ BLK: \_\_\_\_\_ PHASE: \_\_\_\_\_

SITE ADDRESS: \_\_\_\_\_

SEND OR FAX TO: TOWN OF SEWALL'S BUILDING DEPARTMENT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

**CONTRACTOR, OWNER /BUILDER ASBESTOS NOTIFICATION STATEMENT**

Date: 10/17/07

Building Permit # \_\_\_\_\_

Site Address: 72 PALMETTO DR

**FBC 104.1.10 Asbestos.** The enforcing agency shall require each building permit for the demolition or renovation of an existing structure to contain an asbestos notification statement which indicates the owner's or operator's responsibility to comply with the provisions of s. 469.003 Florida Statutes and to notify the Department of Environmental Protection of her or his intentions to remove asbestos, when applicable, in accordance with state and federal law. 469.003 License required.--

(1) No person may conduct an asbestos survey, develop an operation and maintenance plan, or monitor and evaluate asbestos abatement unless trained and licensed as an asbestos consultant as required by this chapter.

(2)(a) No person may prepare asbestos abatement specifications unless trained and licensed as an asbestos consultant as required by this chapter.

(b) Any person engaged in the business of asbestos surveys prior to October 1, 1987, who has been certified by the Department of Labor and Employment Security as a certified asbestos surveyor, and who has complied with the training requirements of s. 469.013(1)(b), may provide survey services as described in s. 255.553(1), (2), and (3). The Department of Labor and Employment Security may, by rule, establish violations, disciplinary procedures, and penalties for certified asbestos surveyors.

(3) No person may conduct asbestos abatement work unless licensed by the department under this chapter as an asbestos contractor, except as otherwise provided in this chapter.

**FBC 105.3.6 Asbestos removal. (Owner /Builder Exemption)**

Moving, removal or disposal of asbestos-containing materials on a residential building where the owner occupies the building, the building is not for sale or lease, and the work is performed according to the owner-builder limitations provided in this paragraph. To qualify for exemption under this paragraph, an owner must personally appear and sign the building permit application. The permitting agency shall provide the person with a disclosure statement in substantially the following form: **Disclosure Statement:** State law requires asbestos abatement to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own asbestos abatement contractor even though you do not have a license. You must supervise the construction yourself. You may move, remove or dispose of asbestos-containing materials on a residential building where you occupy the building and the building is not for sale or lease, or the building is a farm outbuilding on your property. If you sell or lease such building within 1 year after the asbestos abatement is complete, the law will presume that you intended to sell or lease the property at the time the work was done, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. Your work must be done according to all local, state and federal laws and regulations which apply to asbestos abatement projects. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances.

Contractor or  Owner/Builder Signature [Signature]

Subscribed and sworn to before me this 25 day of Oct, 2007, personally appeared

\_\_\_\_\_ who is personally known to me or produced \_\_\_\_\_ as

identification, and who did/did not take an oath.

Notary Public Signature \_\_\_\_\_

Seal



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

**DESIGN CERTIFICATION FOR WIND LOAD  
 COMPLIANCE BY ARCHITECT OR ENGINEER OF RECORD**

PROJECT NAME \_\_\_\_\_ BLDG. PERMIT# \_\_\_\_\_  
 ADDRESS \_\_\_\_\_ OCCUPANCY TYPE \_\_\_\_\_  
 \_\_\_\_\_ CONST. TYPE \_\_\_\_\_

**STATEMENT**

I certify that, to the best of my knowledge and belief, these plans and specifications have been designed to comply with the applicable structural portion of the Building Codes as amended, adopted, and enforced by The Town of Sewall's Point Building Department. I also certify that the structural components, systems, and related elements provide adequate resistance to the wind loads and forces specified by the current Code provisions. I herby accept responsibility for the structural design.

**DESIGN PARAMETERS AND ANALYSIS**

\*\*\*\*\*  
 CODE EDITIONS: 2004 FLORIDA BUILDING CODE W/ 2006 REVISIONS  
 CHAPTER 6 OF ASCE 7-02  
 BUILDING DESIGN AS: PARTIALLY ENCLOSED \_\_\_\_\_ ENCLOSED \_\_\_\_\_ OPEN \_\_\_\_\_  
 WIND TUNNEL TEST \_\_\_\_\_  
 BASIC WIND SPEED: EAST OF TURNPIKE 140 MPH 3 SECOND GUST \_\_\_\_\_  
 BUILDING CATEGORY I \_\_\_\_\_ II \_\_\_\_\_ III \_\_\_\_\_ IV \_\_\_\_\_  
 WIND IMPORTANCE/USE FACTOR \_\_\_\_\_  
 INTERNAL PRESSURE COEFFICIENT \_\_\_\_\_  
 GARAGE DOOR DESIGN PRESSURE \_\_\_\_\_ +psf (positive) \_\_\_\_\_ -psf (negative)  
 DOOR DESIGN PRESSURE (INT. ZONE) \_\_\_\_\_ +psf \_\_\_\_\_ -psf (END ZONE) \_\_\_\_\_ +psf \_\_\_\_\_ -psf  
 WINDOW DESIGN PRESSURE (INT. ZONE) \_\_\_\_\_ +psf \_\_\_\_\_ -psf (END ZONE) \_\_\_\_\_ +psf \_\_\_\_\_ -psf  
 EXPOSURE \_\_\_\_\_  
 IMPACT PROTECTION (EXTERIOR OPENINGS): APPROVED SHUTTERS \_\_\_\_\_ IMPACT RESIST. GLASS \_\_\_\_\_

NOTE: ACTUAL DESIGN PRESSURES FOR ALL EXTERIOR WINDOWS, DOORS, GARAGE DOORS, AND SIMILAR ENVELOPE ELEMENTS MUST ALSO BE INDICATED ON CONSTRUCTION PLANS.

As witnessed by my seal, I hereby certify that the above information is true and correct to the best of my knowledge.

NAME \_\_\_\_\_  
 CERTIFICATION # \_\_\_\_\_  
 DATE \_\_\_\_\_  
 DESIGN FIRM \_\_\_\_\_  
 OTHER \_\_\_\_\_

SEAL

INSTR # 2046580 OR BK 02287 PG 0975 RECD 10/25/2007 10:50:54 AM

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # \_\_\_\_\_

TAX FOLIO # \_\_\_\_\_

**NOTICE OF COMMENCEMENT**

STATE OF Florida

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE): 71-38-41-010-000-00211-5 22 PALMETO DR SEWELL PT FLA

GENERAL DESCRIPTION OF IMPROVEMENT: REPLACE WINDOWS, KITCHEN CABINETS, EXTENSION SLIDING DOORS

OWNER: DAN & Kim McCravy  
ADDRESS: 22 PALMETO SEWELL PT FLA  
PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

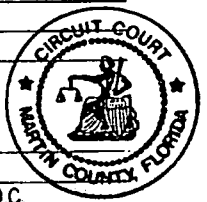
INTEREST IN PROPERTY: OWNERS

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

CONTRACTOR: FINE DETAILS INC  
ADDRESS: 532 27TH ST WPK FLA 33407  
PHONE #: 789 4903 FAX #: 561-835-3507

SURETY COMPANY (IF ANY) \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
PHONE # \_\_\_\_\_  
BOND AMOUNT: \_\_\_\_\_

STATE OF FLORIDA  
MARTIN COUNTY  
FAX # \_\_\_\_\_  
THIS IS TO CERTIFY THAT THE  
FOREGOING 1 PAGES IS A TRUE  
AND CORRECT COPY OF THE ORIGINAL.  
MARSHA EWING CLERK  
FAX # BY \_\_\_\_\_ D.C.  
DATE 10-25-07



LENDER/MORTGAGE COMPANY \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
PHONE #: \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.  
PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

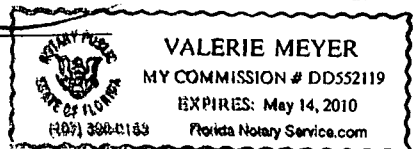
EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_  
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE

X Kim McCravy  
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 2nd DAY OF October 2007  
BY Kim Laurie McCravy

PERSONALLY KNOWN OR PRODUCED ID   
TYPE OF ID FLD# M261-51257-647-0

Valerie Meyer  
NOTARY SIGNATURE





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**SUBCONTRACTORS LIST**  
**RESIDENTIAL, ADDITIONS, COMMERCIAL**

APPLICANT'S NAME FINE DETAILS INC BLDG. PERMIT # \_\_\_\_\_

MAILING ADDRESS 532 27th ST WPS FL 33407

PLEASE PROVIDE A PRELIMINARY SUBCONTRACTORS LIST FOR VERIFICATION. THIS LIST WILL BE RETURNED TO YOU WHEN THE BUILDING PERMIT IS ISSUED TO ENABLE YOU TO COMPLETE AND RETURN TO THE BUILDING DEPARTMENT. WE REQUIRE, PRIOR TO STARTING WORK, UPDATES, CHANGES AND ADDITIONS THROUGHOUT CONSTRUCTION. USING UNLICENSED CONTRACTORS OR SUBCONTRACTORS MAY PREVENT YOU FROM BEING ELIGIBLE FOR INSPECTIONS AND OR A CERTIFICATE OF OCCUPANCY. FOR INFORMATION CONTACT THE CONTRACTOR'S LICENSING OFFICE AT (772) 288-5482 OR (772) 288-5917. PLEASE INCLUDE ALL MUNICIPAL COMPETENCY CARD NUMBERS OR STATE CERTIFICATION NUMBERS. (NOT OCCUPATIONAL LICENSE NUMBERS)

	TYPE	COMPANY NAME	LICENSE NUMBER
CFO	CONCRETE - FORM		
CFI	- FINISH		
BM	BLOCK MASON		
CB	COLUMNS & BEAMS		
CA	CARPENTRY ROUGH	FINE DETAILS INC	CRC 058313
GD	GARAGE DOOR		
DH	DRYWALL - HANG	FINE DETAILS INC	
DF	- FINISH		
IN	INSULATION		
LA	LATHING		
FI	FIREPLACE		
PAV	PAVERS		
AL	ALUMINUM		
LP	LP GAS		
PAV	PAINTING	FINE DETAILS INC	
PL	PLASTER & STUCCO	FINE DETAILS INC	
ST	STAIRS & RAILS		
RO	ROOFING		
TM	TILE & MARBLE	FINE DETAILS	
WD	WINDOWS & DOORS	FINE DETAILS	
PLU	* PLUMBING	AQUA DIMENSIONS PLUMBING	
AC	* HARV		
EL	* ELECTRICAL	DG SUDS ELECTRIC	





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

AL	* LOW VOLTAGE BURGLAR ALARM		
VS	VACUUM SOUND		
IR	* IRRIGATION		
SH	SHUTTERS		


\* REQUIRES SEPARATE VERIFICATION FORMS.

I CERTIFY THAT THE INFORMATION STATED ON THE SUBCONTRACTORS' LIST IS ACCURATE AND THAT ALL WORK WILL BE PERFORMED BY MUNICIPAL OR STATE LICENSED CONTRACTORS. I UNDERSTAND THAT A COMPLETE NOTARIZED SUBCONTRACTORS LIST IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

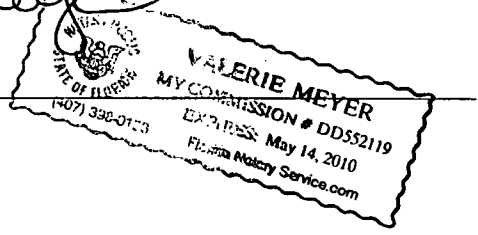
  
 WILLIAM A. STEFANSKI  
 SIGNATURE OF CONTRACTOR  
 (OR OWNER BUILDER IF APPLICABLE)

STATE OF Florida  
 COUNTY OF Martin

SWORN TO AND SUBSCRIBED before me this 25th day  
 of Oct, 2007

  
 NOTARY PUBLIC

MY COMMISSION EXPIRES:





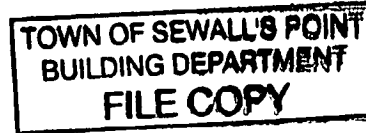
BCIS Home | Log In | Hot Topics | Submit Surcharge | Stats & Facts | Publications | FBC Staff | BCIS Site Map | Links | Search



**Product Approval**  
USER: Public User

Product Approval Menu > Product or Application Search > Application List > **Application Detail**

FL #	FL5482
Application Type	New
Code Version	2004
Application Status	Approved
Comments	
Archived	



Product Manufacturer	Window Incorporated
Address/Phone/Email	7500 Amsterdam Dr. Orlando, FL 32832 (407) 481-8400 ext 296 thoard@windowinc.com

Authorized Signature	Timothy Hoard thoard@windowinc.com
----------------------	---------------------------------------

Technical Representative	Bruce Jasewic
Address/Phone/Email	1978 Stanhome Way Orlando, FL 32804  bjasewic@windowinc.com

Quality Assurance Representative	Bruce Jasewic
Address/Phone/Email	1978 Stanhome Way Orlando, FL 32804  bjasewic@windoorinc.com
Category	Exterior Doors
Subcategory	Sliding Exterior Door Assemblies
Compliance Method	Certification Mark or Listing
Certification Agency	Keystone Certifications, Inc.

Referenced Standard and Year (of Standard)	<b><u>Standard</u></b> ANSI/AAMA/WDMA 101/IS2	<b><u>Year</u></b> 1997
--	--	----------------------------

Equivalence of Product Standards Certified By

Product Approval Method	Method 1 Option A
-------------------------	-------------------

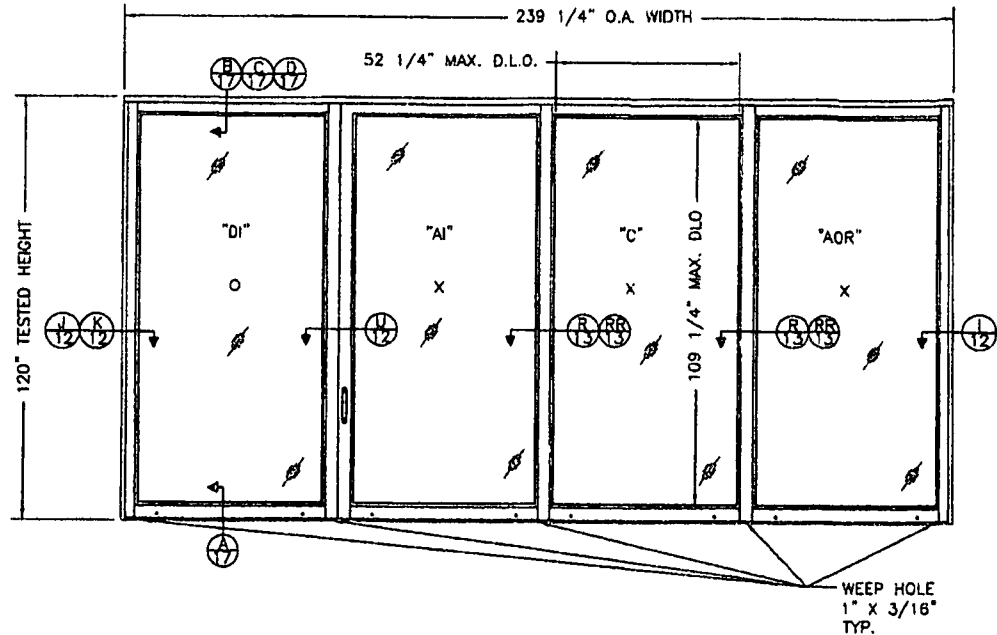
Date Submitted	09/23/2005
Date Validated	10/21/2005
Date Pending FBC Approval	10/01/2005
Date Approved	11/08/2005

<b>Summary of Products</b>
----------------------------



**GENERAL NOTES:**

- 1) THE PRODUCT SHOWN HEREIN IS DESIGNED AND MANUFACTURED TO COMPLY WITH THE 2004 FLORIDA BUILDING CODE.
- 2) ALL SUBSTRATES AND OPENINGS TO BE DESIGNED AND ANCHORED TO PROPERLY TRANSFER ALL LOADS TO STRUCTURE, ALL SUBSTRATES AND OPENINGS ARE RESPONSIBILITY OF ARCHITECT OR ENGINEER OF RECORD.
- 3) IMPACT PROTECTIVE SYSTEM IS REQUIRED ON THIS PRODUCT IN AREAS WITH IMPACT REQUIREMENTS.
- 4) SEE APPROVED CONFIGURATION TABLE ON THIS SHEET.
- 5) SEE APPROVED DESIGN PRESSURE CHARTS ON SHEET 20.



APPROVED CONFIGURATION TABLE	
2 TRACK	XO, OX, XX, OXO, OXXO, XXXX, PX, XP, PXX, PXXP, PXXXXP
3 TRACK	XXX, XXO, OXX, OXXX, XXXO, XXXXXX, OXXXXO, PXXX, XXXP, PXXXXXXP
4 TRACK	XXXX, XXXO, OXXX, XXXXXXXX, OXXXXXO, PXXXX, XXXP, PXXXXXXXP
ALL APPROVED CONFIGURATIONS CAN ALSO BE DONE IN 90' & 135' CONFIGURATIONS	
ALL POCKET & CORNER DOORS CAN BE DONE AS AN INSIDE OR OUTSIDE. ALL APPROVED CONFIGURATIONS CAN BE DONE AS A STANDARD OR REVERSED STACK UNIT.	

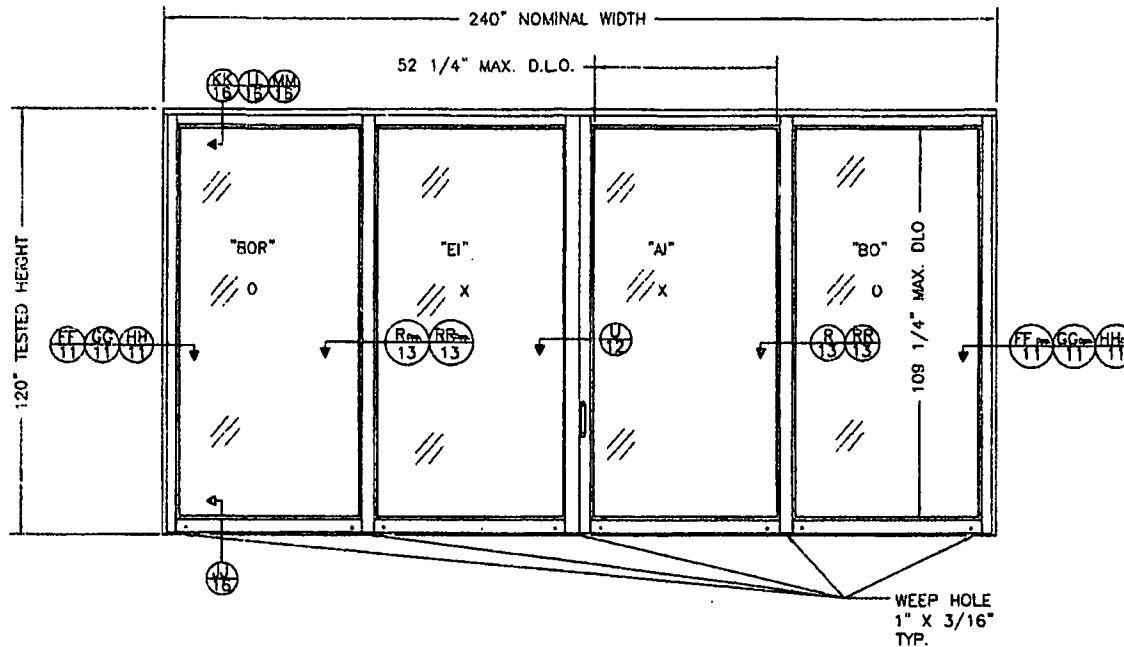
TABLE OF CONTENTS	
DRAWING NUMBER	DESCRIPTION
1 - 5	ELEVATIONS & GENERAL NOTES
6 - 9	ANCHORING LAYOUTS
10	BILL OF MATERIALS
11 - 15	HORIZONTAL CROSS SECTIONS & GLAZING DETAILS
16 - 19	VERTICAL CROSS SECTIONS
20	DESIGN PRESSURE CHARTS

**8000\_OXXX SLIDING GLASS DOOR**  
 "DI" PANEL (FIXED) = 61 5/16" X 118 5/16"  
 "AI" PANEL (ACTIVE) = 62 1/16" X 118 5/16"  
 "C" PANEL (ACTIVE) = 61 3/8" X 118 5/16"  
 "AOR" PANEL (ACTIVE) = 61 1/8" X 118 5/16"

SYMBOL	REVISION	DATE	BY
A	CHANGED DIMENSIONS TO MATCH KEYSTONE CDIT.	10/17/05	ORL

*Eric S. Nelson*  
 10/18/05  
 Eric S. Nelson  
 Florida P. E. No. 41323  
 Product Technology Corporation  
 1150 Louisiana Ave., Suite B  
 Winter Park, Florida 32789  
 FBPE Certificate of Authorization No. 8661

<b>WinDoor</b> INCORPORATED		1978 STANHOME WAY ORLANDO, FL 32804 Phone: 407.822.8334 Fax: 407.221.0515 www.winincorp.com	
TITLE: SERIES 8000 SGD 5'0" X 10'0" PANELS NON-IMP 3 TRACK ELEVATION & GENERAL NOTES			
PREPARED BY: <b>PTC</b> Product Technology Corporation	DATE: BB 09/14/05	DRAWN BY: NTS WIND0093	SHEET: A 1 OF 20
Phone: 407.822.8334	Fax: 407.822.8333		

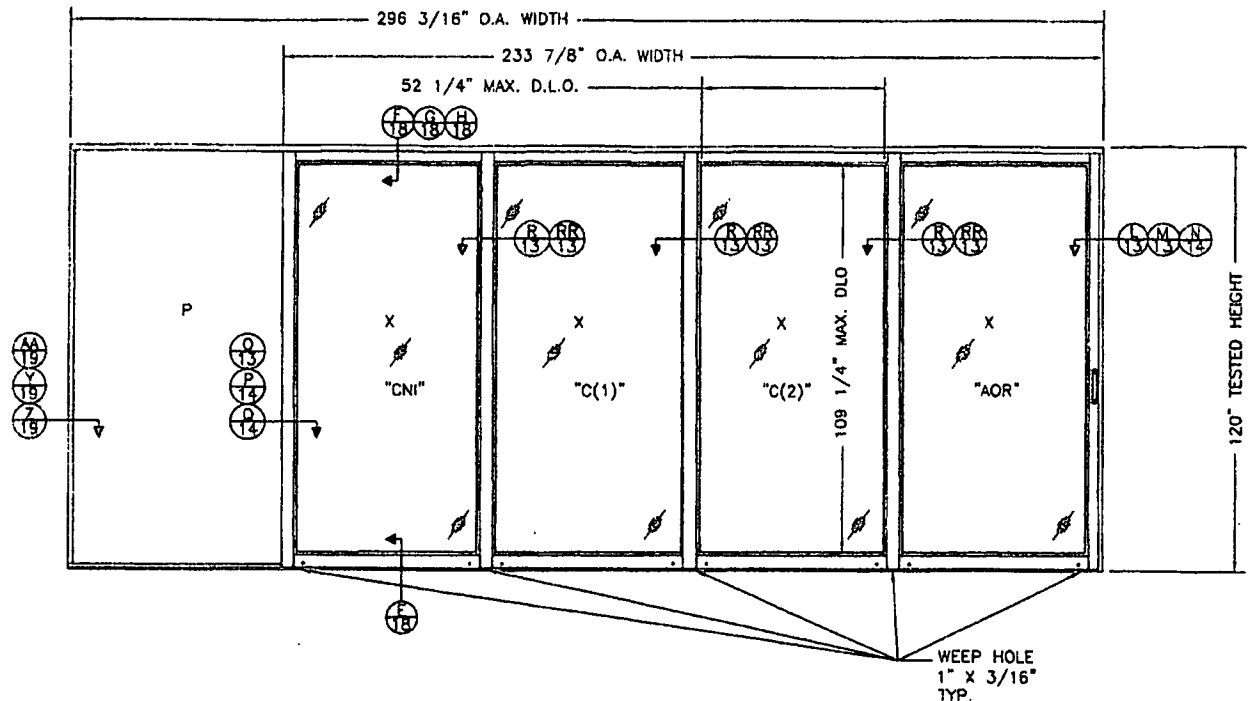


**8000 OXXO SLIDING GLASS DOOR**  
 "BOR" PANEL (FIXED) = 61 5/16" X 118-5/16"  
 "EI" PANEL (ACTIVE) = 62 1/16" X 118-5/16"  
 "AI" PANEL (ACTIVE) = 61 5/16" X 118-5/16"  
 "BO" PANEL (FIXED) = 61 5/16" X 118-5/16"

SYN	REVISION	DATE	BY
A	CHANGED DIMENSIONS TO MATCH KEYSTONE COPT.	10/17/05	ORL

*ESN*  
 10/18/05  
 Eric S. Nielsen  
 Florida P. E. No. 41323  
 Product Technology Corporation  
 1150 Louisiana Ave., Suite 6  
 Winter Park, Florida 32789  
 FBPE Certificate of Authorization NO. 8881

<b>WinDoor</b> INCORPORATED	1778 ST. ANHONY WAY ORLANDO, FL 32804 Phone: 407-822-6334 Fax: 407-822-6335 <a href="http://www.winwindow.com">www.winwindow.com</a>	
	TITLE: SERIES 8000 SGD 5'0" X 10'0" PANELS NON-IMP 2 TRACK ELEVATION	
PREPARED BY: <b>PIL</b> Product Technology Corporation Phone 407-822-6334 Fax 407-822-6335	DRN: BB SCALE: NTS REV: A	DATE: 09/14/05 Dwg. No.: WIND0093 SHEET: 2 OF 20

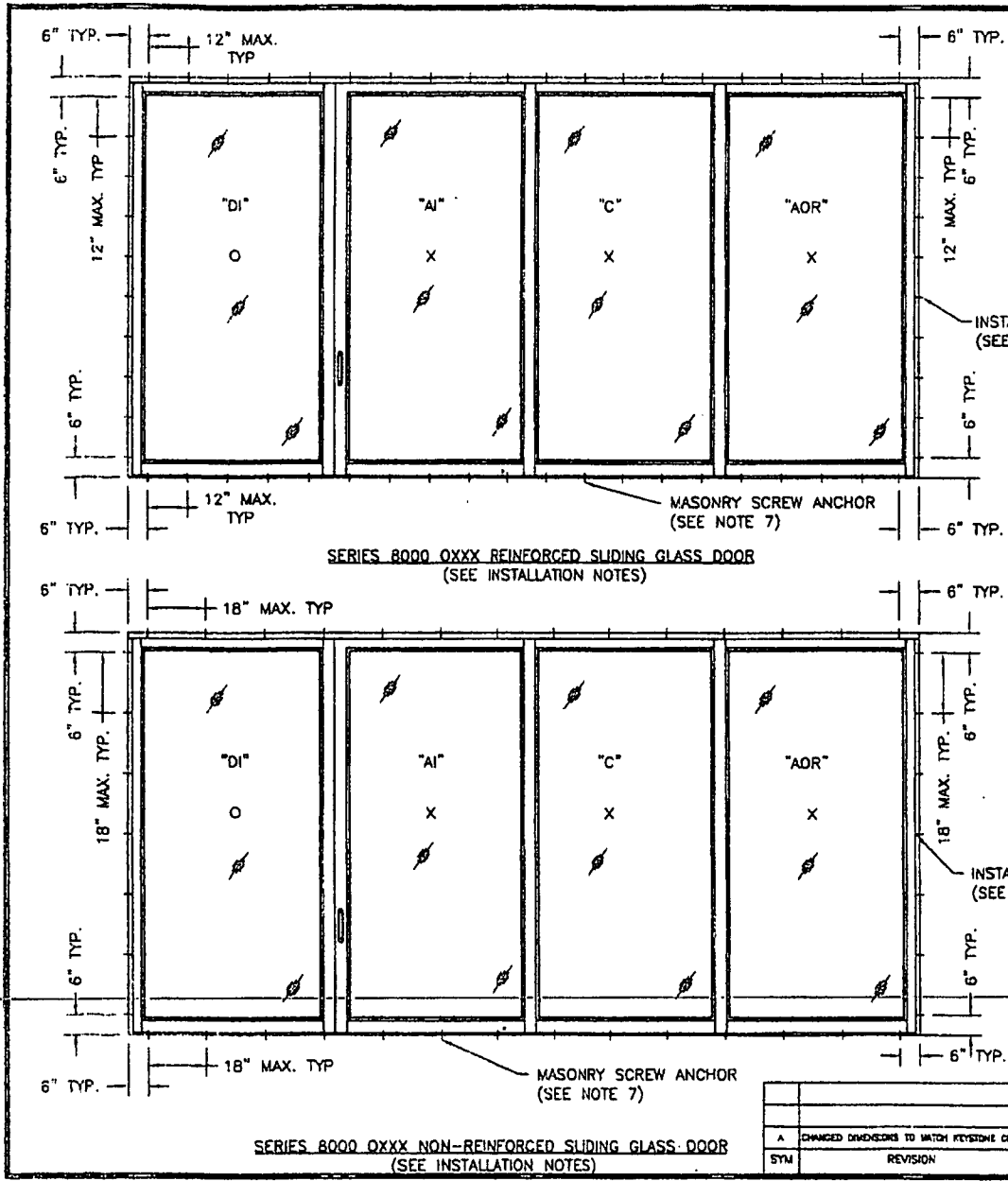


8000 PXXXX POCKET SLIDING GLASS DOOR  
 "CNI" PANEL (ACTIVE) = 61 3/8" X 118 5/16"  
 "C(1)" PANEL (ACTIVE) = 61 3/8" X 118 5/16"  
 "C(2)" PANEL (ACTIVE) = 61 3/8" X 118 5/16"  
 "AOR" PANEL (ACTIVE) = 61 1/8" X 118 5/16"

SYM	REVISION	DATE	BY
A	CHANGED DIMENSIONS TO MATCH KEYSTONE CRT.	10/17/05	DRL

*ESD*  
 10/18/05  
 Eric S. Nielsen  
 Florida P. E. No. 41323  
 Product Technology Corporation  
 1150 Louisiana Ave., Suite 6  
 Winter Park, Florida 32789  
 FBPE Certificate of Authorization NO. 8881

<b>WinDoor</b> INCORPORATED		1978 STANHOPE WAY ORLANDO, FL 32804 Phone: 407.822.6334 Fax: 407.822.6334	
TITLE: SERIES 8000 5'0" X 10'0" PANELS NON-IMP 4 TRACK POCKET ELEVATION			
PREPARED BY: <b>PTC</b> Product Technology Corporation	DATE: 09/14/05	DRN: BB	DWG. NO: WIND0093
SCALE: NTS	REV: A	SHEET: 3 OF 20	



**INSTALLATION NOTES:**

- 1) SHIM AS REQUIRED AT EACH SET OF INSTALLATION ANCHORS USING LOAD BEARING SHIMS FROM FRONT EDGE TO BACK EDGE TO FULLY SUPPORT FRAME. MAXIMUM ALLOWABLE SHIM STACK TO BE 1/4". USE SHIMS WHERE SPACE GREATER THAN 1/16" IS PRESENT.
- 2) USE BACKER ROD AND SEALANT BETWEEN SHIM LOCATIONS.
- 3) ON 2 TRACK FRAME TWO (2) ANCHORS ARE REQUIRED AT EACH ANCHOR LOCATION SHOWN. ON 3 TRACK FRAME THREE (3) ANCHORS ARE REQUIRED AT EACH ANCHOR LOCATION SHOWN. ON 4 TRACK FRAME FOUR (4) ANCHORS ARE REQUIRED AT EACH ANCHOR LOCATION SHOWN. POCKET DOOR HOOK STRIPS REQUIRE ONE (1) ANCHOR AT EACH ANCHOR LOCATION SHOWN.
- 4) CONCRETE OR MASONRY SUBSTRATE WHERE ONE BY, NON-STRUCTURAL, WOOD BUCKING IS EMPLOYED, USE 1/4" DIAMETER ELCO CRETE-FLEX SS4 TYPE MASONRY SCREW ANCHORS OF SUFFICIENT LENGTH TO ACHIEVE MINIMUM EMBEDMENT OF 1 1/4" WITH A MINIMUM EDGE DISTANCE OF 2 1/2" INTO CONCRETE OR MASONRY.
- 5) WOOD FRAME SUBSTRATE, USE #14 WOOD SCREWS OF SUFFICIENT LENGTH TO ACHIEVE MINIMUM EMBEDMENT OF 1 1/2" INTO WOOD FRAMING.
- 6) WOOD BACKED STEEL STUD FRAMING, USE #14 WOOD SCREW OF SUFFICIENT LENGTH TO ACHIEVE MINIMUM EMBEDMENT OF 1 1/2" INTO WOOD BACKING.
- 7) THE SILL IS ATTACHED TO THE MASONRY SLAB WITH 1/4" DIA. ELCO CRETE-FLEX SS4 TYPE MASONRY SCREW ANCHORS OF SUFFICIENT LENGTH TO ACHIEVE A MINIMUM EMBEDMENT OF 1 1/4" INTO SLAB.
- 8) THE HOOK STRIP IS ATTACHED TO THE MASONRY SUBSTRATE WITH 1/4" ELCO CRETE-FLEX MASONRY SCREWS OF SUFFICIENT LENGTH TO ACHIEVE MINIMUM OF 1 1/4" WITH A MINIMUM EDGE DISTANCE OF 2 1/2" INTO CONCRETE OR MASONRY.
- 9) THE HOOK STRIP IS ATTACHED TO THE WOOD FRAMED SUBSTRATE WITH #14 WOOD SCREWS OF SUFFICIENT LENGTH TO ACHIEVE MINIMUM EMBEDMENT OF 1 1/2" INTO WOOD FRAMING.
- 10) THE HOOK STRIP IS ATTACHED TO THE WOOD BACKED STEEL STUD FRAMING WITH #14 WOOD SCREW OF SUFFICIENT LENGTH TO ACHIEVE MINIMUM EMBEDMENT OF 1 1/2" INTO WOOD BACKING.

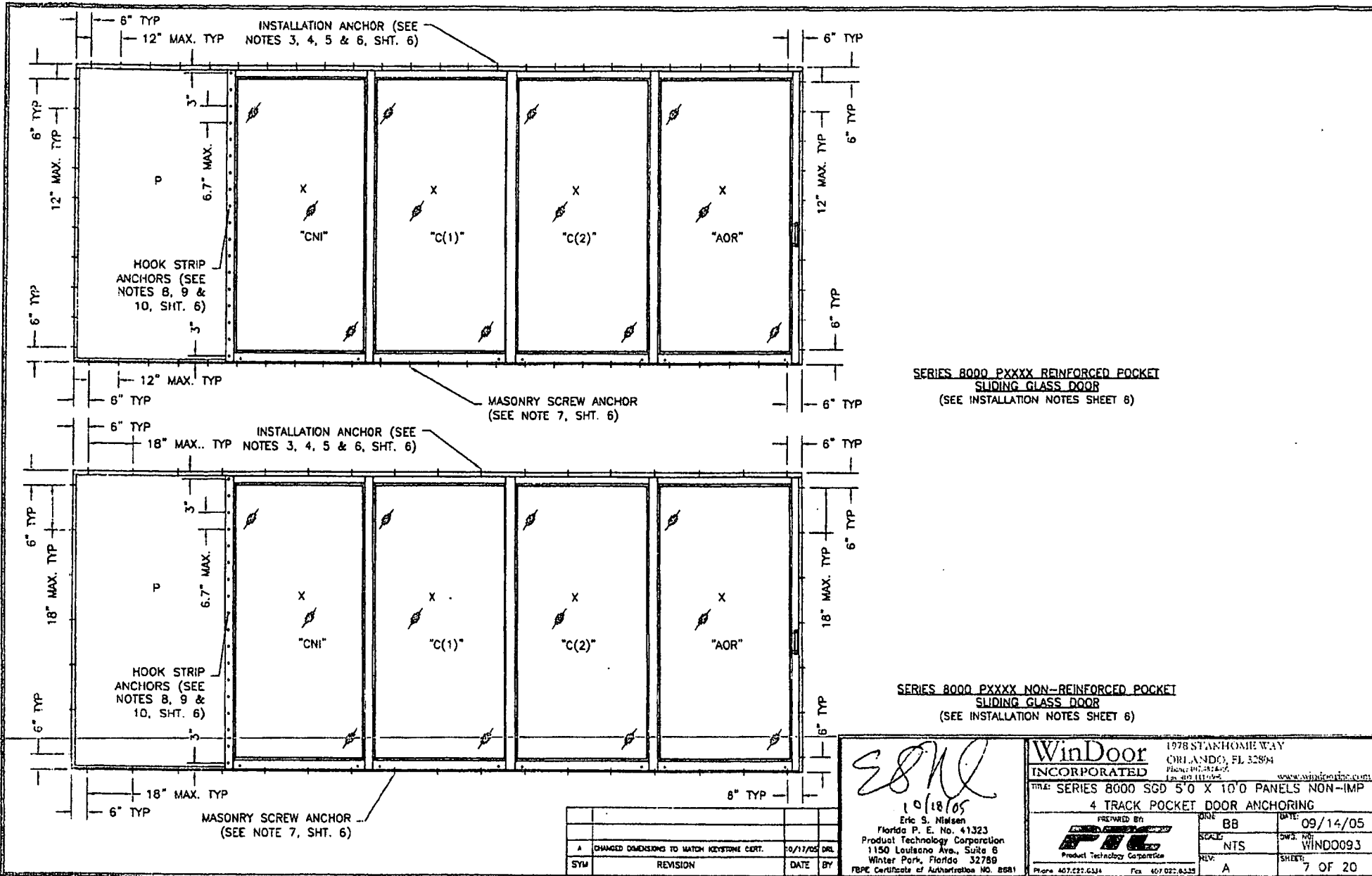
*ESPC*  
10/18/05

Eric S. Nielsen  
Florida P. E. No. 41323  
Product Technology Corporation  
1150 Louisiana Ave., Suite 6  
Winter Park, Florida 32789  
FBPE Certificate of Authorization No. 8681

<b>WinDoor</b> INCORPORATED		1978 STANHEIM WAY ORLANDO, FL 32834 Phone: 407-481-6100 Fax: 407-411-0924 www.winncor.com	
TITLE: SERIES 8000 SGD 5'0" X 10'0" PANELS NON-IMP 3 TRACK ANCHORING			
PREPARED BY: <b>PTC</b> Product Technology Corporation	DATE BB	DATE 09/14/05	
	SCALE NTS	Dwg. No. WIND0093	
	REV. A	SHEET 6 OF 20	
Phone 407.822.8334		Fax 407.822.8335	

SYM	REVISION	DATE	BY
A	CHANGED DIMENSIONS TO MATCH KEYSTONE CERT.	10/17/05	DRL





**SERIES 8000 PXXXX REINFORCED POCKET SLIDING GLASS DOOR**  
(SEE INSTALLATION NOTES SHEET 6)

**SERIES 8000 PXXXX NON-REINFORCED POCKET SLIDING GLASS DOOR**  
(SEE INSTALLATION NOTES SHEET 6)

SYM	REVISION	DATE	BY
A	CHANGED DIMENSIONS TO MATCH KEYSTONE CERT.	10/17/05	DRL

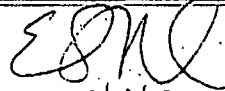
*SONE*  
10/18/05  
Eric S. Nielsen  
Florida P. E. No. 41323  
Product Technology Corporation  
1150 Louisiana Ave., Suite 8  
Winter Park, Florida 32789  
FBPC Certificate of Authorization NO. 8581


<b>WinDoor</b> INCORPORATED		1978 STANHOME WAY ORLANDO, FL 32804 Phone: 407-221-6334 Fax: 407-221-6335	
www.winincorp.com			
TITLE: SERIES 8000 SGD 5'0" X 10'0" PANELS NON-IMP 4 TRACK POCKET DOOR ANCHORING			
PREPARED BY:	DATE:	BB	DATE:
		NTS	DWG. NO. WINDO093
		A	SHEET: 7 OF 20

BILL OF MATERIAL			
NO.	PART NO.	DESCRIPTION	
1	FS02182	3 TRACK FRAME SILL PAN	BY KEYMARK A6063-T5
2	FS02183	3 TRACK FRAME SILL INSERT	BY KEYMARK A6063-T5
3	FS02180	3 TRACK FRAME HEAD	BY KEYMARK A6063-T6
4	FS02181	3 TRACK FRAME JAMB	BY KEYMARK A6063-T6
5	FS02069	4 TRACK SILL PAN	BY KEYMARK A6063-T6
6	FS02184	4 TRACK SILL INSERT	BY KEYMARK A6063-T6
7	FS02071	4 TRACK FRAME HEAD	BY KEYMARK A6063-T6
8	FS02070	4 TRACK FRAME JAMB	BY KEYMARK A6063-T6
9	FS02173	POCKET DOOR HOOK STRIP	BY KEYMARK A6063-T6
10	FS02301	POCKET DOOR HOOK STRIP BASE	BY KEYMARK A6063-T6
11	FS02172	POCKET DOOR HOOK STRIP BASE COVER	BY KEYMARK A6063-T6
12	FH02939	4 1/4" SILL RISER ADD ON	BY KEYMARK A6063-T6
13	FH02626	3 1/2" SILL RISER ADD ON	BY KEYMARK A6063-T6
14	FH02813	3" SILL RISER ADD ON	BY KEYMARK A6063-T6
15	FH02625	2 1/4" SILL RISER ADD ON	BY KEYMARK A6063-T6
16	FS1882	FRAME HEAD INSERT	BY KEYMARK A6063-T6
17	FS02726	STILE JAMB INSERT	BY KEYMARK A6063-T6
18	FH01869	TOP & BOTTOM RAIL	BY KEYMARK A6063-T5
19	FH01871	LOCK STILE	BY KEYMARK A6063-T5
20	FS1883	FRAME JAMB INSERT	BY KEYMARK A6063-T5
21	FH02491	PANEL INTERLOCK STILE	BY KEYMARK A6063-T6
22	FH02165	FEMALE BUTT STILE	BY KEYMARK A6063-T5
23	FH02025	90° CORNER STILE	BY KEYMARK A6063-T5
24	FH02026	90° CORNER STILE CLIP	BY KEYMARK A6063-T5
25	FH02157	135° CORNER STILE	BY KEYMARK A6063-T5
26	FH02158	135° CORNER STILE CLIP	BY KEYMARK A6063-T5
27	FH01876	1/4" HORIZONTAL GLASS STOP	BY KEYMARK A6063-T5
28	FH01875	1/4" VERTICAL GLASS STOP	BY KEYMARK A6063-T5
29	FH01879	1" HORIZONTAL GLASS STOP	BY KEYMARK A6063-T6
30	FF01880	1" VERTICAL GLASS STOP	BY KEYMARK A6063-T6
31	FH02641	REINFORCING BAR	BY KEYMARK A6063-T6
32	FS02643	ROLL BACKUP	
33	#1988-9000	TANDEM ROLLER	
34		3/8" FULLY TEMPERED GLASS	
35		1/4" FULLY TEMPERED GLASS	
36		1" INSULATED TEMP. GLASS 1/4" TEMP: 1/2" AIR: 1/4" TEMP	
37	NSB 3/16-3/4-2	GLASS SETTING BLOCK	
38	TP1051	GLASS STOP VINYL	
39		3/16" FULLY TEMPERED GLASS	
40	TP876	INTERLOCK BUMPER	
41	BF04122-1	WEEP HOLE BAFFLES	
42	NRAHP	PANEL HEIGHT ADJUSTMENT PLUGS	
43	NPG	NYLON PANEL GUIDE	
44	V998B	GLAZING TAPE 1/4" X 3/8"	
45	1414	OLYMPUS HANDLE SET	
46	2468	DUEL POINT MORTISE LOCK & KEEPER SET	

BILL OF MATERIAL		
NO.	PART NO.	DESCRIPTION
47	1413	OLYMPUS DUMMY HANDLE SET
48	SIKA 552	WET GLAZE
49	W33351NK0000	TOP & BOTTOM RAIL FINSEAL 0.187 X 0.350
50	W33221NK0000	INTERLOCK FINSEAL 0.187 X 0.220
51	W13131NK0000	CORNER STILE FINSEAL 0.187 X 0.130
52		PANEL STILE FINSEAL 0.187 X 0.220
53		SILL ASSY. SCREW #8 X 1/4 PH TYPE F SS
54		HOOK ATTACHMENT SCREW
55		ROLLER INSTALL. SCREWS #8 X 5/8 X 5/8 PH TYPE F SS
56		PANEL ASSEMBLY SCREW #10 X 1 1/4 TYPE F SS
57		FRAME ASSEMBLY SCREW #8 X 5/8 PH TYPE F SS
58		CORNER STILE INSERT SCREW #8 X 2" F.H. SMS TYPE A SS
59		1/4" DIA. ELCO CRETE- FLEX SS4 TYPE MASONRY SCREW W/1 1/4" MIN. EMBEDMENT & 2 1/2" MIN. EDGE DISTANCE
60		#14 INSTALLATION WOOD SCREW W/1 1/2" MIN. EMBED.
61		NOT USED
62		SILICONE CAULK
63	P7569AM	.750" HIGH X 1.50" X 2.25" DUAL FINNED DUST PAD
64	FS01884	2 TRACK FRAME SILL PAN BY KEYMARK A6063-T5
65	FS01885	2 TRACK FRAME SILL INSERT BY KEYMARK A6063-T5
66	FS01846	2 TRACK FRAME HEAD BY KEYMARK A6063-T6
67	FS01845	2 TRACK FRAME JAMB BY KEYMARK A6063-T6
68	FS01877	9/16" HORIZONTAL GLASS STOP BY KEYMARK A6063-T6
69	FS01878	9/16" VERTICAL GLASS STOP BY KEYMARK A6063-T6
70		LOCK STILE @ BUTT STILE FIN SEAL 0.187 X 0.140
71	FS02629	1 1/2" SILL RISER ADD ON BY KEYMARK A6063-T6

A	CHANGED DIMENSIONS TO MATCH KEYSTONE CERT.	10/17/05	DRL
SYM	REVISION	DATE	BY

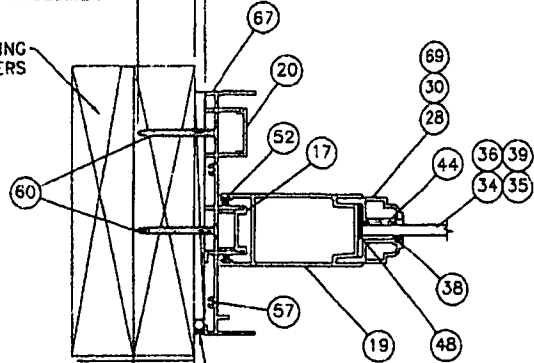
  
 10/18/05  
 Eric S. Nilsen  
 Florida P. E. No. 41323  
 Product Technology Corporation  
 1150 Louisiana Ave., Suite 6  
 Winter Park, Florida 32789  
 FBPE Certificate of Authorization NO. 8881

<b>WinDoor</b> INCORPORATED 1978 STANTHOMES WAY ORLANDO, FL 32804 Phone: 407-622-4334 Fax: 407-622-8334 www.winwindowinc.com	
TITLE: SERIES 8000 SGD 5'0" X 10'0" PANELS NON-IMP BILL OF MATERIALS	
PREPARED BY:  Product Technology Corporation	DATE: 09/14/05 SCALE: NTS REV: A SHEET: 10 OF 20

1/4" MAX. SHIM SPACE  
(SEE NOTES 1 & 2, SHEET 6)

1 1/2" MIN.  
EMBEDMENT

2X WOOD FRAMING  
BY OTHERS



BACKER ROD & SEALANT  
BY OTHERS  
(SEE NOTE 2, SHEET 6)

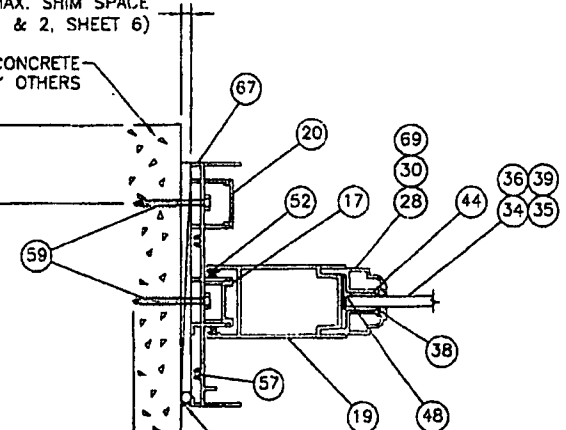
EXTERIOR

SECTION FF

1/4" MAX. SHIM SPACE  
(SEE NOTES 1 & 2, SHEET 6)

MASONRY/CONCRETE  
BY OTHERS

2 1/2" MINIMUM  
EDGE DISTANCE



BACKER ROD & SEALANT  
BY OTHERS  
(SEE NOTE 2, SHEET 6)

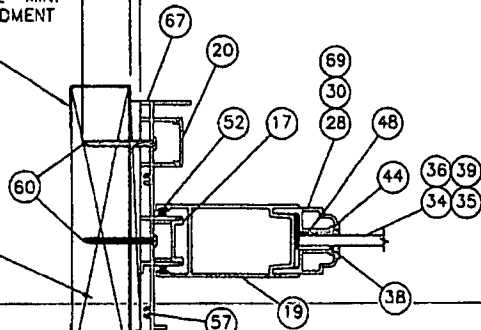
EXTERIOR

SECTION HH

1/4" MAX. SHIM SPACE  
(SEE NOTES 1 & 2, SHEET 6)

1 1/2" MIN.  
EMBEDMENT

20 ga. STEEL FRAMING  
BY OTHERS



WOOD BACKING  
BY OTHERS

EXTERIOR  
BACKER ROD & SEALANT  
BY OTHERS  
(SEE NOTE 2, SHEET 6)

SECTION GG

SYM	REVISION	DATE	BY
A	CHANGED DIMENSIONS TO MATCH KEYSTONE CENT.	10/17/05	ORL

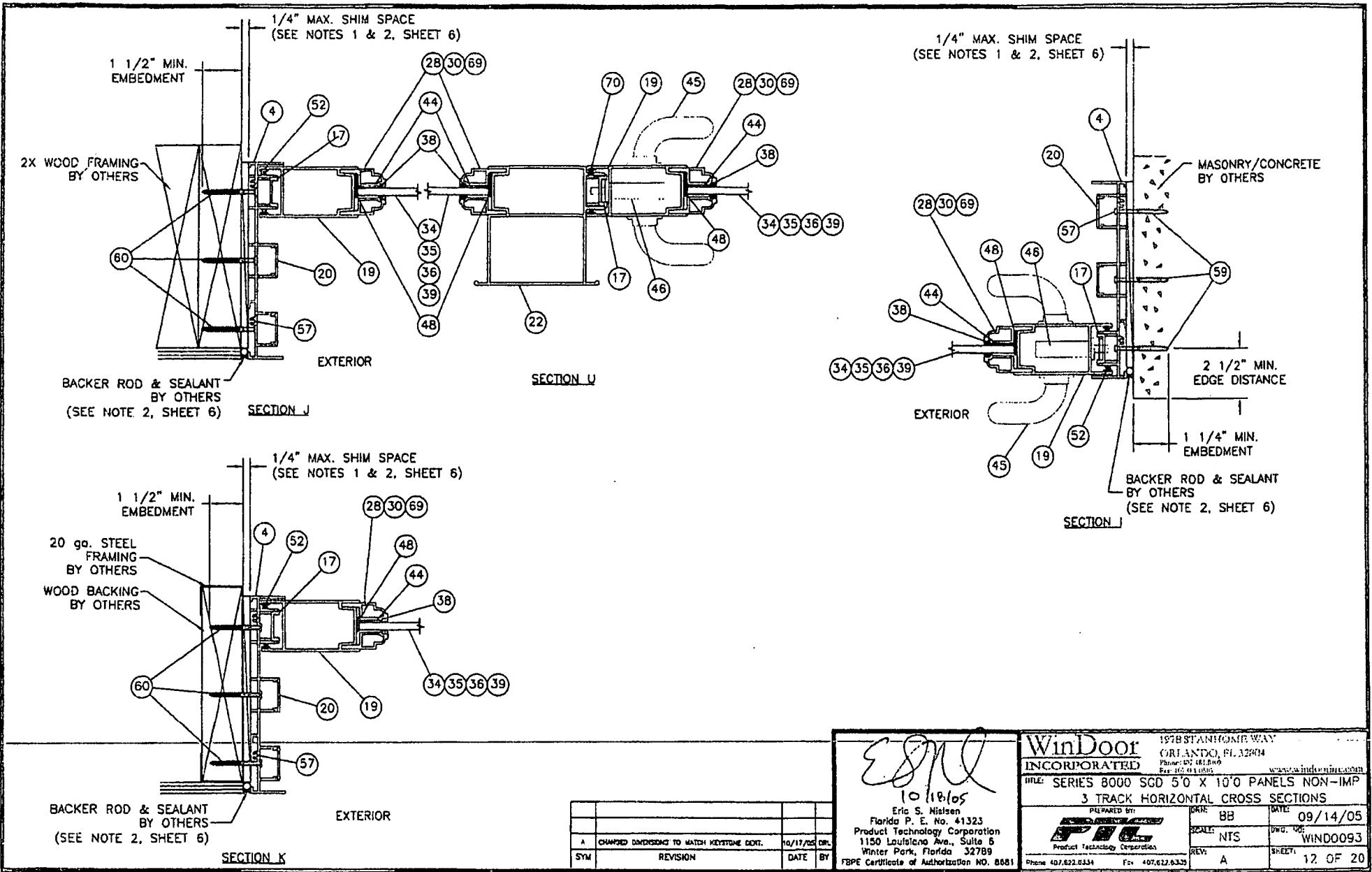
*ESM*  
10/18/05  
Eric S. Nielsen  
Florida P. E. No. 41323  
Product Technology Corporation  
1150 Louisiana Ave., Suite 6  
Winter Park, Florida 32789  
FBPE Certificate of Authorization NO. 8881

**WinDoor** INCORPORATED  
1978 ST. ANTHONY WAY  
ORLANDO, FL 32804  
PHONE: 407.622.5334 FAX: 407.622.5335  
WWW.WINDOOR.COM

TITLE: SERIES 8000 SGD 5'0" X 10'0" PANELS NON-IMP  
2 TRACK HORIZONTAL CROSS SECTIONS


PREPARED BY:	DATE:	DATE:
<b>PTE</b>	BB	09/14/05
Product Technology Corporation	SCALE:	DWG. NO.:
	NTS	WIND0093
	REV:	SHEET:
	A	11 OF 20

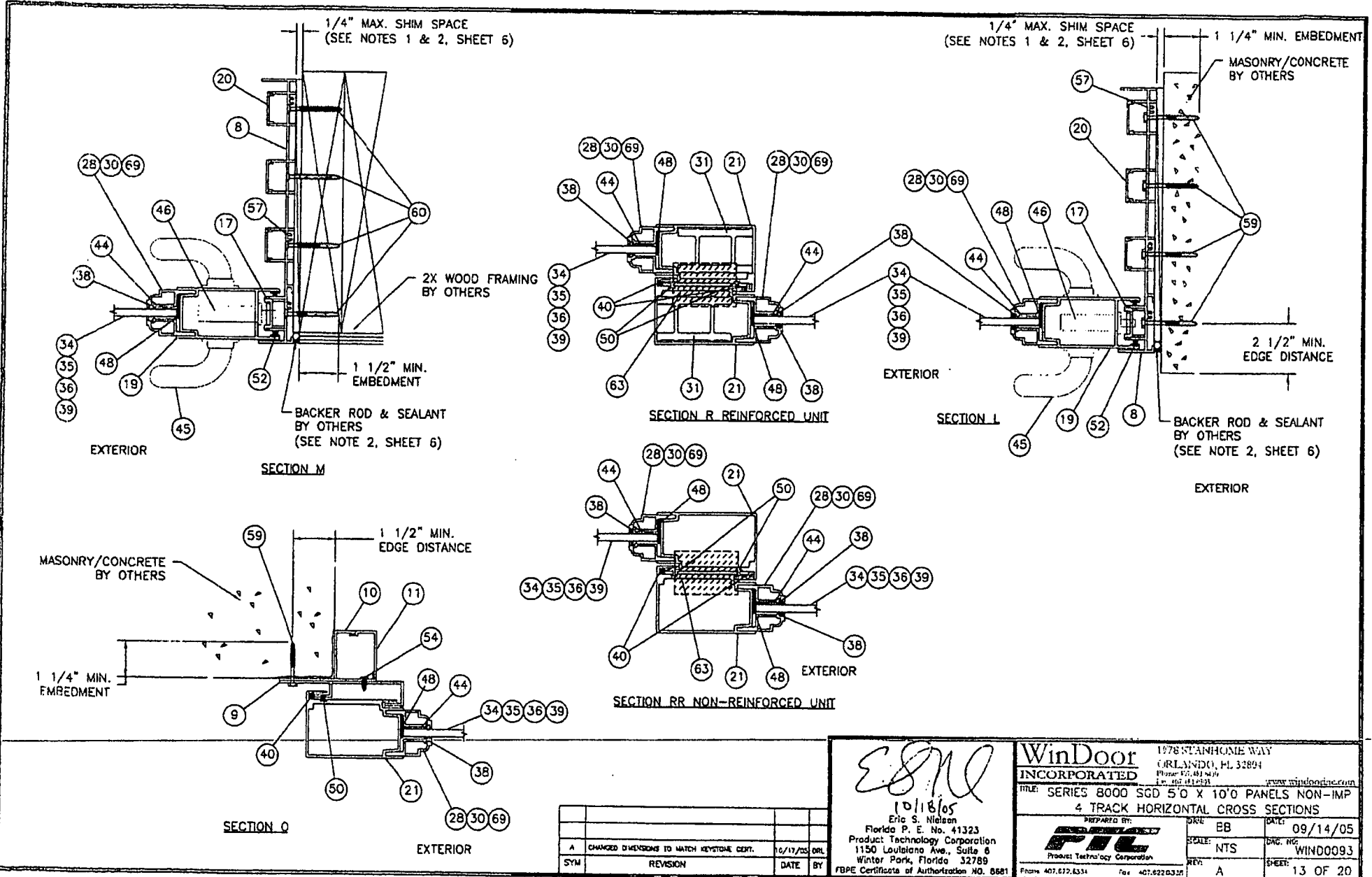
Phone 407.622.5334 Fax 407.622.5335



SYM	REVISION	DATE	BY
A	CHANGED DIMENSIONS TO MATCH KEYSTONE EXT.	10/17/05	DL

  
 10/18/05  
 Eric S. Nielsen  
 Florida P. E. No. 41323  
 Product Technology Corporation  
 1150 Louisiana Ave., Suite 5  
 Winter Park, Florida 32789  
 FBPE Certificate of Authorization NO. 8861

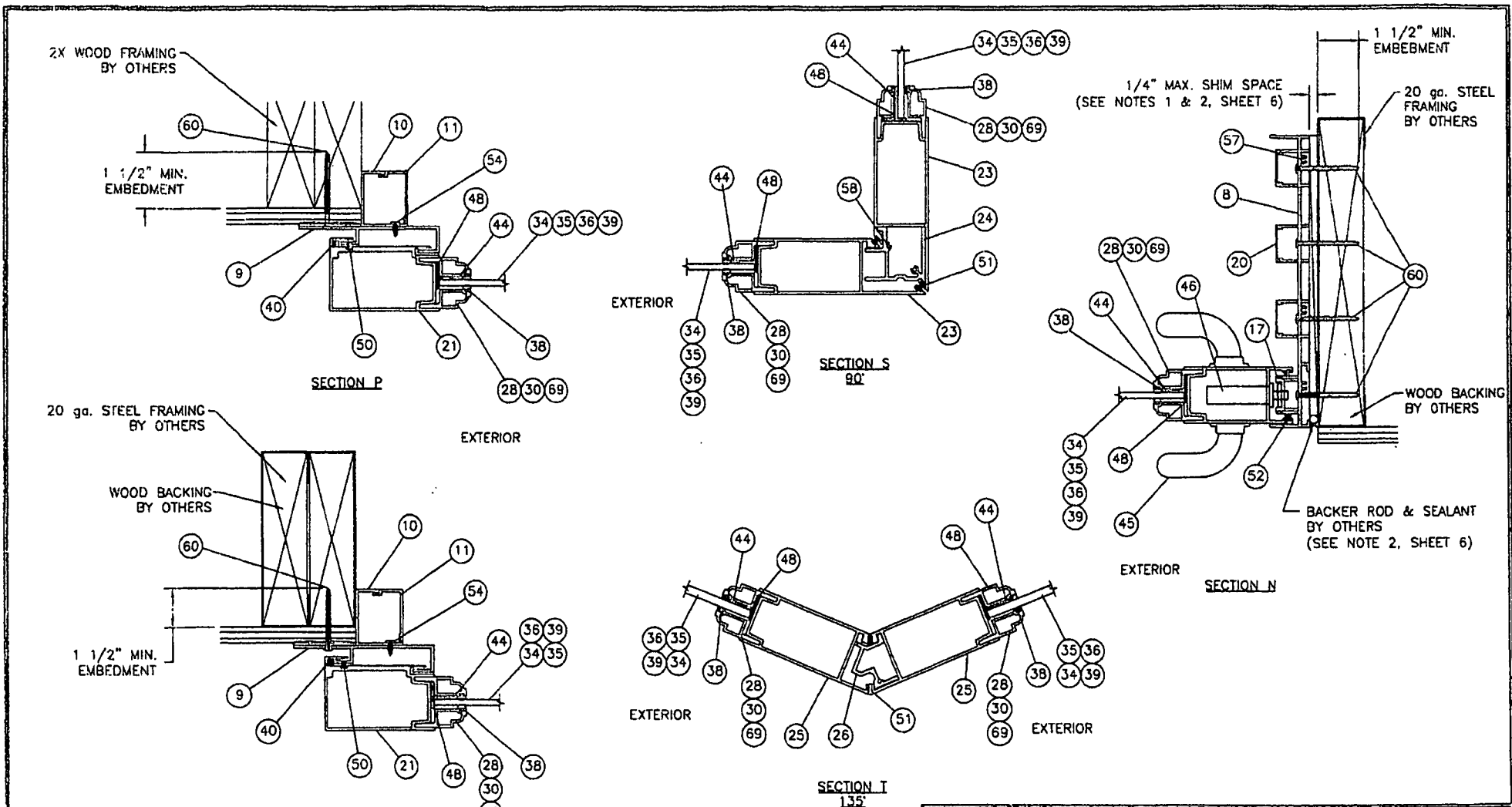
<b>WinDoor</b> INCORPORATED 1978 STANTHURME WAY GRIFFIN, FL 32044 Phone: 407.822.8334 Fax: 407.822.8335 <a href="http://www.windoorinc.com">www.windoorinc.com</a>	
TITLE: SERIES 8000 SCD 5'0" X 10'0" PANELS NON-IMP 3 TRACK HORIZONTAL CROSS SECTIONS	
PREPARED BY:  Product Technology Corporation	DATE: 09/14/05 SCALE: NTS REV: A
PHONE: 407.822.8334 FAX: 407.822.8335	DWG. NO.: WIND0093 SHEET: 12 OF 20



SYM	REVISION	DATE	BY
A	CHANGED DIMENSIONS TO MATCH KEYSTONE CERT.	10/17/05	ORL

*ESNL*  
 10/18/05  
 Eric S. Nelson  
 Florida P. E. No. 41323  
 Product Technology Corporation  
 1150 Louisiana Ave., Suite 6  
 Winter Park, Florida 32789  
 FBPE Certificate of Authorization NO. 05881

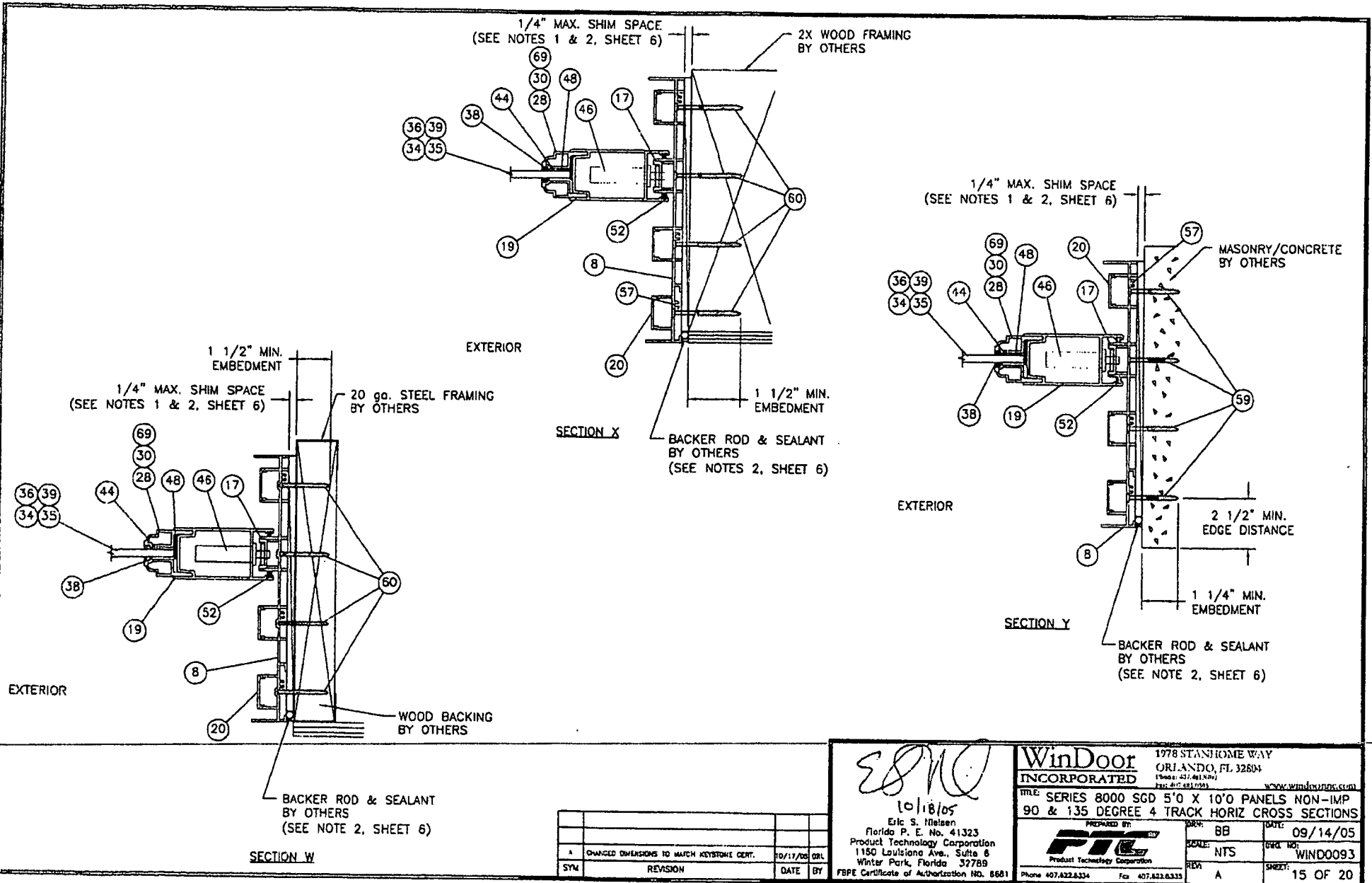
<b>WinDoor</b> INCORPORATED		1978 STEANHOME WAY ORLANDO, FL 32804 Phone: 407.481.9474 Fax: 407.481.9431 www.winwindow.com	
TITLE: SERIES 8000 SGD 5'0" X 10'0" PANELS NON-IMP 4 TRACK HORIZONTAL CROSS SECTIONS			
PREPARED BY:	DATE:	BB	DATE:
<b>PIC</b> Product Technology Corporation	SCALE:	NTS	DWG. NO.:
Phone 407.622.6334 Fax 407.622.6331	REV:	A	SHEET:
			13 OF 20



SYM	REVISION	DATE	BY
A	CHANGED DIMENSIONS TO MATCH KEYSTONE CORT.	10/17/05	DRL

*ESN*  
 10/19/05  
 Eric S. Nilsson  
 Florida P. E. No. 41323  
 Product Technology Corporation  
 1150 Louisiana Ave., Suite 8  
 Winter Park, Florida 32789  
 FBPE Certificate of Authorization NO. 8681

<b>WinDoor</b> INCORPORATED 1978 STANHOME WAY ORLANDO, FL 32804 Phone (407) 881-8400 Fax (407) 881-2601 <a href="http://www.win-door.com">www.win-door.com</a>	TITLE: SERIES 8000 SGD 5'0" X 10'0" PANELS NON-IMP HORIZONTAL CROSS SECTIONS	
	PREPARED BY: Product Technology Corporation Phone 407.622.6524 Fax 407.622.6325	DATE: 09/14/05 SCALE: NTS REV: A



SYN	REVISION	DATE	BY
A	CHANGED DIMENSIONS TO MATCH KEYSTONE CERT.	10/17/05	DEL

*ESM*

10/18/05

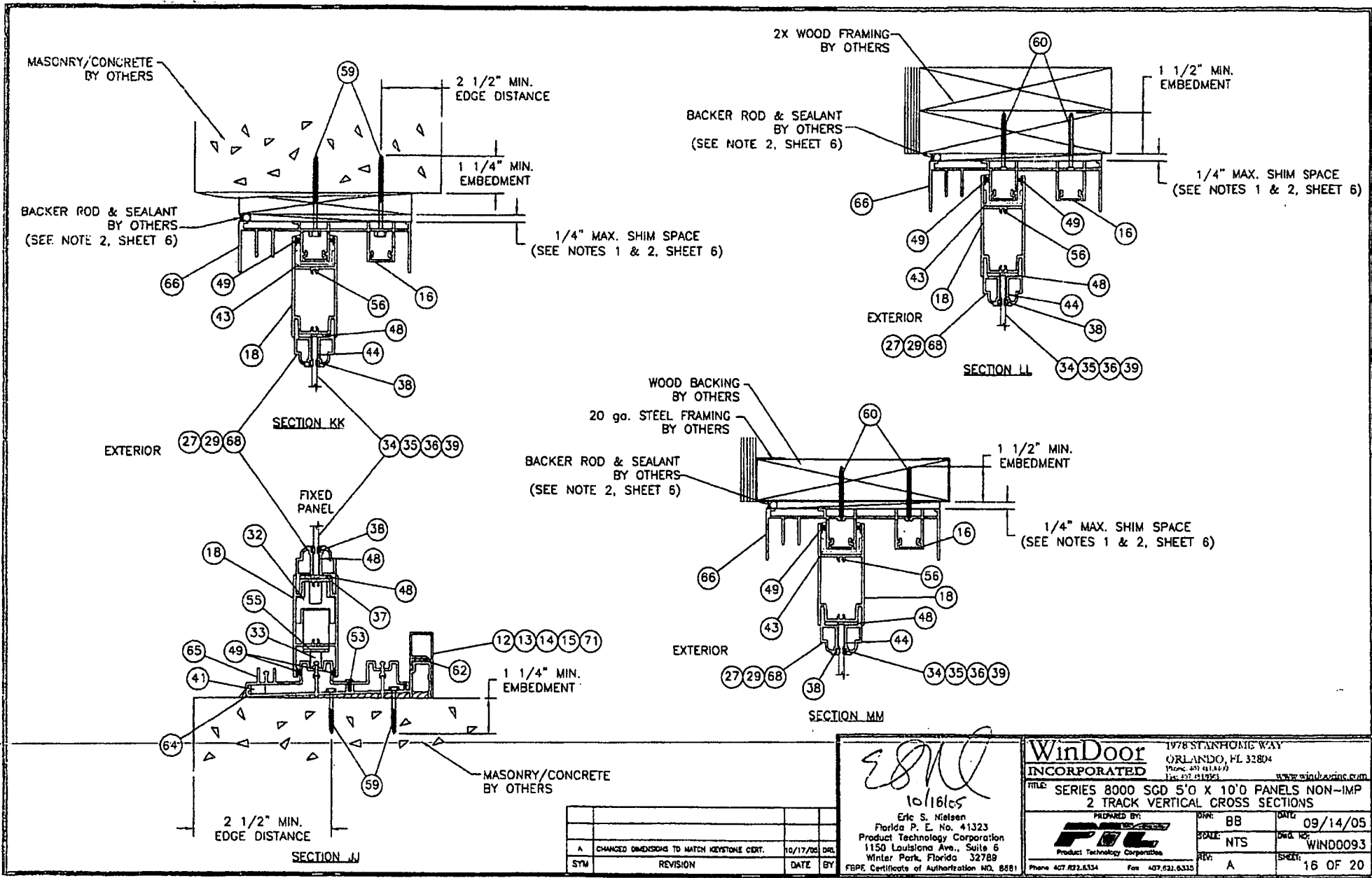
Eric S. Nielsen  
Florida P. E. No. 41323  
Product Technology Corporation  
1150 Louisiana Ave., Suite 6  
Winter Park, Florida 32789  
FBPE Certificate of Authorization NO. 6681

**WinDoor** 1978 STASHOME WAY  
INCORPORATED ORLANDO, FL 32804  
www.winwindow.com

PREPARED BY: **PTC** (Product Technology Corporation)  
DATE: 09/14/05  
SCALE: NTS  
REV: A  
SHEET: 15 OF 20

MODEL: SERIES 8000 SGD 5'0 X 10'0 PANELS NON-IMP  
90 & 135 DEGREE 4 TRACK HORIZ CROSS SECTIONS

PHONE: 407.822.6334 FAX: 407.822.6335



SYM	REVISION	DATE	BY
A	CHANGED DIMENSIONS TO MATCH KEYSTONE CRT.	10/17/05	DRL

*ESMC*  
10/16/05  
Eric S. Nielsen  
Florida P. E. No. 41323  
Product Technology Corporation  
1150 Louisiana Ave., Suite 6  
Winter Park, Florida 32789  
FBPE Certificate of Authorization NO. 8581

<b>WinDoor</b> INCORPORATED		1978 STANFORD WAY ORLANDO, FL 32804 Phone: 407.621.6334 Fax: 407.621.6335	
TITLE: SERIES 8000 SGD 5'0" X 10'0" PANELS NON-IMP 2 TRACK VERTICAL CROSS SECTIONS			
PREPARED BY: <b>PTE</b> Product Technology Corporation	DWG: BB	DATE: 09/14/05	
Phone 407.621.6334 Fax 407.621.6335	SCALE: NTS	DWG NO: WIND0093	
	REV: A	SHEET: 16 OF 20	



MASONRY OR CONCRETE BY OTHERS

2 1/2" MIN. EDGE DISTANCE

1 1/4" MIN. EMBEDMENT

1/4" MAX. SHIM SPACE (SEE NOTES 1 & 2, SHEET 6)

BACKER ROD & SEALANT BY OTHERS (SEE NOTE 2, SHEET 6)

EXTERIOR

SECTION B

FIXED PANEL

1 1/4" MIN. EMBEDMENT

MASONRY/CONCRETE BY OTHERS

SECTION A

2 1/2" MIN. EDGE DISTANCE

2X WOOD FRAMING BY OTHERS

1 1/2" MIN. EMBEDMENT

1/4" MAX. SHIM SPACE (SEE NOTES 1 & 2, SHEET 6)

BACKER ROD & SEALANT BY OTHERS (SEE NOTE 2, SHEET 6)

EXTERIOR

SECTION C

20 ga. STEEL FRAMING BY OTHERS

WOOD BACKING BY OTHERS

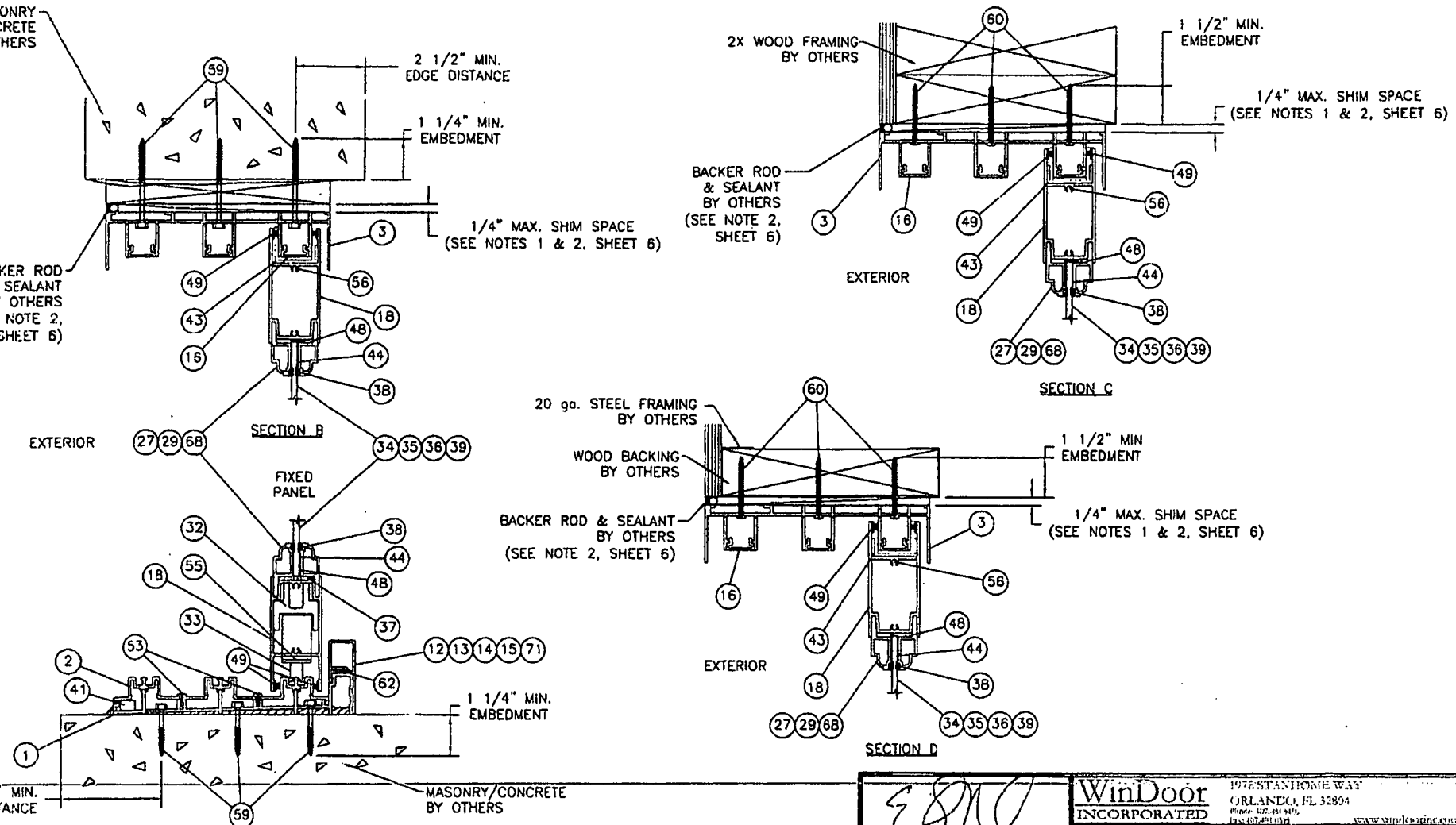
1 1/2" MIN. EMBEDMENT

BACKER ROD & SEALANT BY OTHERS (SEE NOTE 2, SHEET 6)

1/4" MAX. SHIM SPACE (SEE NOTES 1 & 2, SHEET 6)

EXTERIOR

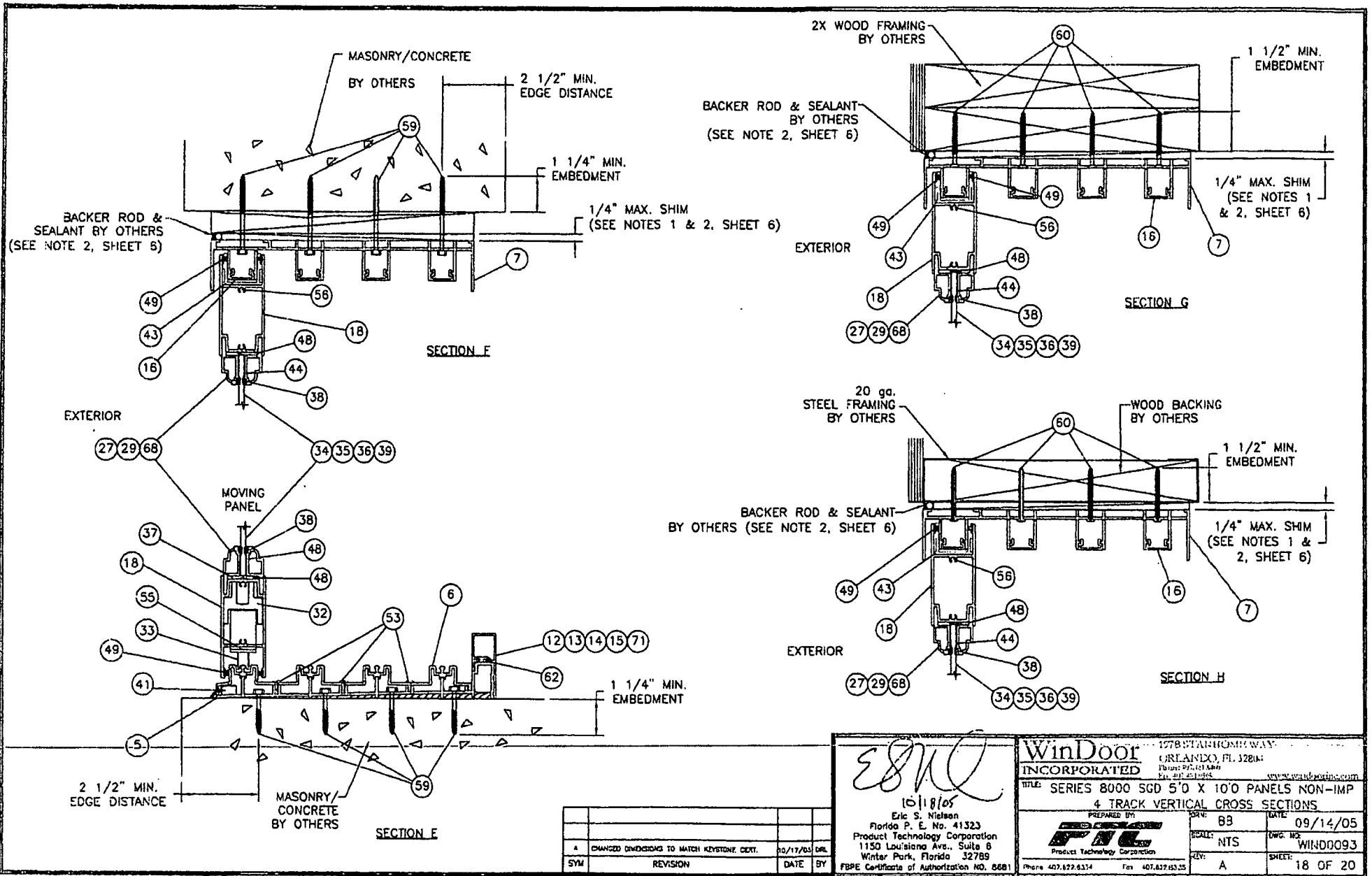
SECTION D



SYM	REVISION	DATE	BY
A	CHANGED DIMENSIONS TO MATCH KEYSTONE CERT.	10/11/05	DRL

*Eric S. Nielsen*  
 10/19/05  
 Eric S. Nielsen  
 Florida P. E. No. 41323  
 Product Technology Corporation  
 1150 Louisiana Ave., Suite 5  
 Winter Park, Florida 32789  
 FEPE Certificate of Authorization No. 8561

<b>WinDoor</b> INCORPORATED 1978 STANBOME WAY ORLANDO, FL 32804 PHONE: 407.622.4534 FAX: 407.622.6333 WWW.WINDOOR-INC.COM		TITLE: SERIES 8000 SGD 5'0 X 10'0 PANELS NON-IMP 3 TRACK VERTICAL CROSS SECTIONS
PREPARED BY: Product Technology Corporation	DATE: 09/14/05	DWG. NO.: WIND0093
REV: A	SHEET: 17 OF 20	SCALE: NTS



SYM	REVISION	DATE	BY
4	CHANGED DIMENSIONS TO MATCH KEYSTONE CERT.	10/17/05	DR

*ESW*

10/18/05  
 Eric S. Nielson  
 Florida P. E. No. 41323  
 Product Technology Corporation  
 1150 Louisiana Ave., Suite 6  
 Winter Park, Florida 32789  
 FBPE Certificate of Authorization NO. 0681

**WinDoor**  
 INCORPORATED

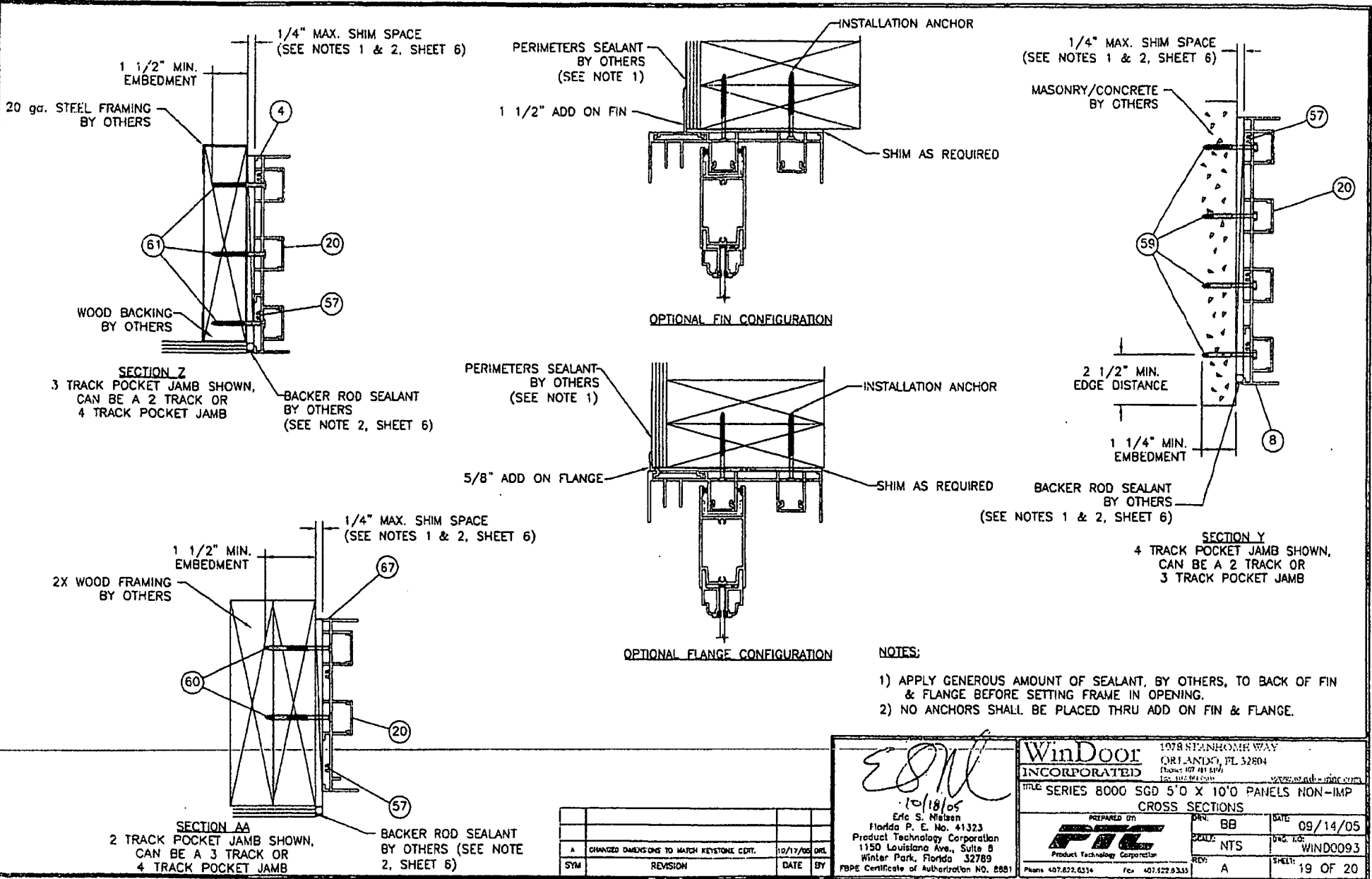
1778 STARHOMER WAY  
 ORLANDO, FL 32814  
 Phone: 407.627.6334  
 Fax: 407.627.6335  
[www.winwindow.com](http://www.winwindow.com)

TITLE: SERIES 8000 SGD 5'0 X 10'0 PANELS NON-IMP  
 4 TRACK VERTICAL CROSS SECTIONS

PREPARED BY: **PTC**  
 Product Technology Corporation

Phone 407.627.6334 Fax 407.627.6335

DATE	09/14/05
BY	88
CHKD	NTS
DWG. NO.	WIND0093
REV.	A
SHEET	18 OF 20



- NOTES:**
- 1) APPLY GENEROUS AMOUNT OF SEALANT, BY OTHERS, TO BACK OF FIN & FLANGE BEFORE SETTING FRAME IN OPENING.
  - 2) NO ANCHORS SHALL BE PLACED THRU ADD ON FIN & FLANGE.

SYM	REVISION	DATE	BY
A	CHANGED DIMENSIONS TO MATCH KEYSTONE CERT.	10/17/05	DRL

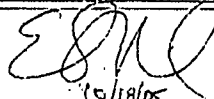
*E.S.M.*  
 Eric S. Matson  
 Florida P. E. No. 41323  
 Product Technology Corporation  
 1150 Louisiana Ave., Suite B  
 Winter Park, Florida 32789  
 FBPE Certificate of Authorization NO. 2881


<b>WinDoor</b> INCORPORATED		1078 STANBOME WAY ORLANDO, FL 32804 (Phone: 407 481 8174) Fax: 407 481 8174 www.win-door.com	
TITLE: SERIES 8000 SGD 5'0" X 10'0" PANELS NON-IMP CROSS SECTIONS			
PREPARED BY:	DATE:	BB	09/14/05
SCALE:	NTS	DWG. NO.:	WIND0093
REV:	A	SHEET:	19 OF 20
Phone 407.622.6336		Fax 407.622.6333	

NON - REINFORCED UNITS DESIGN PRESSURE TABLE					
PANEL SIZES	POSITIVE				NEGATIVE
	1 1/2" SILL RISER	2 1/4" SILL RISER	3" SILL RISER	3 1/2" SILL RISER	ALL SILL RISERS
30 X 80	35	50	70	86	-166
36 X 80	35	50	70	86	-145
42 X 80	35	50	70	86	-131
48 X 80	35	50	70	86	-121
60 X 80	35	50	70	86	-108
30 X 84	35	50	70	86	-157
36 X 84	35	50	70	86	-136
42 X 84	35	50	70	86	-122
48 X 84	35	50	70	86	-113
60 X 84	35	50	70	83	-100
30 X 96	35	50	70	88	-133
36 X 96	35	50	70	88	-115
42 X 96	35	50	70	88	-103
48 X 96	35	50	70	78	-94
60 X 96	35	50	88	88	-82
30 X 108	35	50	70	86	-116
36 X 108	35	50	70	83	-100
42 X 108	35	50	70	74	-89
48 X 108	35	50	67	67	-80
60 X 108	35	50	58	58	-69
30 X 120	35	50	70	88	-103
36 X 120	35	50	70	74	-88
42 X 120	35	50	65	65	-78
48 X 120	35	50	59	59	-70
60 X 120	35	50	50	50	-60

REINFORCED UNITS DESIGN PRESSURE TABLE					
PANEL SIZES	POSITIVE				NEGATIVE
	1 1/2" SILL RISER	2 1/4" SILL RISER	3" SILL RISER	3 1/2" SILL RISER	ALL SILL RISERS
30 X 80	35	50	70	86	-210
36 X 80	35	50	70	86	-178
42 X 80	35	50	70	86	-147
48 X 80	35	50	70	86	-136
60 X 80	35	50	70	86	-124
30 X 84	35	50	70	86	-209
36 X 84	35	50	70	86	-170
42 X 84	35	50	70	86	-138
48 X 84	35	50	70	86	-125
60 X 84	35	50	70	86	-117
30 X 96	35	50	70	88	-178
36 X 96	35	50	70	88	-154
42 X 96	35	50	70	88	-119
48 X 96	35	50	70	88	-104
60 X 96	35	50	70	86	-99
30 X 108	35	50	70	86	-155
36 X 108	35	50	70	88	-133
42 X 108	35	50	70	86	-108
48 X 108	35	50	70	86	-80
60 X 108	35	50	70	81	-84
30 X 120	35	50	70	86	-137
36 X 120	35	50	70	88	-118
42 X 120	35	50	70	86	-101
48 X 120	35	50	70	81	-81
60 X 120	35	50	70	70	-80

SYM	REVISION	DATE	BY
A	CHANGED DIMENSIONS TO MATCH KEYSTONE CERT.	10/11/05	DR

  
 10/18/05  
 Eric S. Nielsen  
 Florida P. E. No. 41323  
 Product Technology Corporation  
 1150 Louisiana Ave., Suite 6  
 Winter Park, Florida 32789  
 FBPE Certificate of Authorization NO. 8881

<b>WinDoor</b> INCORPORATED 1978 STANHOPE WAY ORLANDO, FL 32804 Phone 407.672.6334 Fax 407.672.6335 <a href="http://www.winwindow.com">www.winwindow.com</a>	
TITLE: SERIES 8000 SGD 5'0" X 10'0" PANELS NON-IMP DESIGN PRESSURE CHARTS	
PREPARED BY  Product Technology Corporation	DATE: 09/14/05 SCALE: NTS REV: A SHEET: 20 OF 20



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

**REVISIONS - CORRECTIONS REQUEST FORM**  
**MUST BE SUBMITTED FOR ALL CORRECTIONS AND REVISIONS**

DATE: 11/13/07 PERMIT NUMBER: 8762  
 JOB ADDRESS: 22 PALMITO MCCRAVY

**PLEASE CHECK ONE OF THE FOLLOWING:**

- CONDITION OF INSPECTION APPROVAL (Needed for an inspection)
- CONDITION OF PERMIT APPROVAL: (Corrections/Permit not issued, in review process)
- REVISIONS (Changes to an issued permit)

**\*\*\*\*ALL PLAN REVISIONS MUST BE HIGHLIGHTED OR CLOUDED ON DRAWING\*\*\*\***

**ALL REVISED PAGES ARE REQUIRED TO BE INSERTED IN FIELD PERMIT SET**

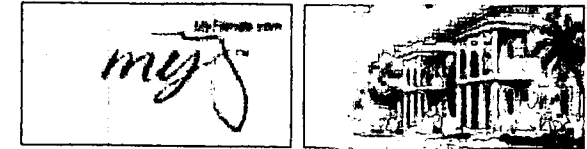
DESCRIPTION OF REVISION(S): ADD GAS LINE TO KITCHEN FROM  
FRONT OF HOUSE

DOES REVISION(S) CHANGE THE VALUE OF CONSTRUCTION? YES X NO        VALUE \$ 500<sup>00</sup>  
 \*\*\*INCREASED CONSTRUCTION VALUE WILL INCREASE PERMIT FEES AND MUST BE PAID AT TIME OF APPROVAL\*\*\*

CONTACT NAME: Bill Stefanski SIGNATURE: [Signature]  
 PHONE NUMBER: 285 0216 FAX NUMBER: 561 835 3507

**FOR OFFICE USE ONLY:**

Reviewed by: [Signature] Date: 11-14-07 Approve  Deny   
 Additional conditioned space \_\_\_\_\_ sq. ft. @ \$104.65 per sq. ft. \_\_\_\_\_ x 2% = \_\_\_\_\_  
 Additional non-conditioned space \_\_\_\_\_ sq. ft. @ \$ 48.90 per sq. ft. \_\_\_\_\_ x 2% = \_\_\_\_\_  
 Other declared value increase (must be based on value not cost) \_\_\_\_\_ x 2% = \_\_\_\_\_  
 Other additional fees: \_\_\_\_\_ Revision review fee: \_\_\_\_\_ Pages @ \$25.00/Page \_\_\_\_\_  
 Radon Fee \_\_\_\_\_ Professional Regulation Fee \_\_\_\_\_ Road impact assessment \_\_\_\_\_  
 TOTAL ADDITIONAL BUILDING PERMIT FEE \$ N/C  
 Applicant notified by: Valerie Date: 11-14-07



[DCA HOME](#) / [ABOUT DCA](#) / [DCA PROGRAMS](#) / [CONTACT DCA](#)

[BCIS Home](#) | [Log In](#) | [Hot Topics](#) | [Submit Surcharge](#) | [Stats & Facts](#) | [Publications](#) | [FBC Staff](#) | [BCIS Site Map](#) | [Links](#) | [Search](#)



**Product Approval**

USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > **Application Detail**

- ▷ COMMUNITY PLANNING
- ▷ HOUSING & COMMUNITY DEVELOPMENT
- ▷ EMERGENCY MANAGEMENT
- ▷ OFFICE OF THE SECRETARY

FL # FL5482  
 Application Type New  
 Code Version 2004  
 Application Status Approved  
 Comments  
 Archived

TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY

Product Manufacturer Windoor Incorporated  
 Address/Phone/Email 7500 Amsterdam Dr.  
 Orlando, FL 32832  
 (407) 481-8400 ext 296  
 thoard@windoorinc.com

Authorized Signature Timothy Hoard  
 thoard@windoorinc.com

Technical Representative Bruce Jasewic  
 Address/Phone/Email 1978 Stanhome Way  
 Orlando, FL 32804  
 bjasewic@windoorinc.com

Quality Assurance Representative	Bruce Jasewic
Address/Phone/Email	1978 Stanhome Way Orlando, FL 32804  bjasewic@windoorinc.com
Category	Exterior Doors
Subcategory	Sliding Exterior Door Assemblies
Compliance Method	Certification Mark or Listing
Certification Agency	Keystone Certifications, Inc.
Referenced Standard and Year (of Standard)	<b><u>Standard</u></b> ANSI/AAMA/WDMA 101/IS2
	<b><u>Year</u></b> 1997
Equivalence of Product Standards Certified By	
Product Approval Method	Method 1 Option A
Date Submitted	09/23/2005
Date Validated	10/21/2005
Date Pending FBC Approval	10/01/2005
Date Approved	11/08/2005

<b>Summary of Products</b>
----------------------------

FL #	Model, Number or Name	Description
5482.1	Series 6000 Al. SGD	Non-Impact
<p><b>Limits of Use (See Other)</b>  <b>Approved for use in HVHZ:</b>  <b>Approved for use outside HVHZ:</b>  <b>Impact Resistant:</b>  <b>Design Pressure: +/-</b>  <b>Other:</b> Not for use in HVHZ. Max size: 302" x 240" x 120" For max. allowable glazing types, and design pressure capacities see uploaded installation drawings.</p>		<p><b>Certification Agency Certificate</b>  <b>Installation Instructions</b>  <a href="#">PTID_5482_I_6000_Series_SGD_Non_Impact_Rev_A_S-S.pdf</a>  <a href="#">PTID_5482_I_6000NONIMPCERT.pdf</a>  <a href="#">PTID_5482_I_8000_Series_SGD_Non_Impact_Rev_A_S-S.pdf</a>  <a href="#">PTID_5482_I_8000NONIMPCERT.pdf</a>                      Verified By:</p>
5482.2	Series 8000 Al. Sliding Glass Door	Non-Impact
<p><b>Limits of Use (See Other)</b>  <b>Approved for use in HVHZ:</b>  <b>Approved for use outside HVHZ:</b>  <b>Impact Resistant:</b>  <b>Design Pressure: +/-</b>  <b>Other:</b> Not for use in HVHZ. Max size: 303" x 240" x 120" For max. allowable glazing types, and design pressure capacities see uploaded installation drawings.</p>		<p><b>Certification Agency Certificate</b>  <b>Installation Instructions</b>                      Verified By:</p>

[Back](#)

[Next](#)

DCA Administration

**Department of Community Affairs**  
**Florida Building Code Online**  
**Codes and Standards**  
 2555 Shumard Oak Boulevard  
 Tallahassee, Florida 32399-2100

(850) 487-1824, Suncom 277-1824, Fax (850) 414-8436

© 2000-2005 The State of Florida. All rights reserved. Copyright and Disclaimer

**Product Approval Accepts:**



**GENERAL NOTES:**

- 1) THE PRODUCT SHOWN HEREIN IS DESIGNED AND MANUFACTURED TO COMPLY WITH THE 2004 FLORIDA BUILDING CODE.
- 2) ALL SUBSTRATES AND OPENINGS TO BE DESIGNED AND ANCHORED TO PROPERLY TRANSFER ALL LOADS TO STRUCTURE. ALL SUBSTRATES AND OPENINGS ARE RESPONSIBILITY OF ARCHITECT OR ENGINEER OF RECORD.
- 3) IMPACT PROTECTIVE SYSTEM IS REQUIRED ON THIS PRODUCT IN AREAS WITH IMPACT REQUIREMENTS.
- 4) SEE APPROVED CONFIGURATION TABLE ON THIS SHEET.
- 5) SEE APPROVED DESIGN PRESSURE CHARTS ON SHEET 20.

APPROVED CONFIGURATION TABLE	
2 TRACK	XO, OX, XX, OXO, OXXO, XXXX, PX, XP, PXX, PXXP, PXXXXP
3 TRACK	XXX, XXO, OXX, OXXX, XXXO, XXXXXX, OXXXXO, PXXX, XXXP, PXXXXXXP
4 TRACK	XXXX, XXO, OXX, XXXXXXX, OXXXXXO, PXXX, XXXP, PXXXXXXXP
ALL APPROVED CONFIGURATIONS CAN ALSO BE DONE IN 90° & 135° CONFIGURATIONS	
ALL POCKET & CORNER DOORS CAN BE DONE AS AN INSIDE OR OUTSIDE. ALL APPROVED CONFIGURATIONS CAN BE DONE AS A STANDARD OR REVERSED STACK UNIT.	

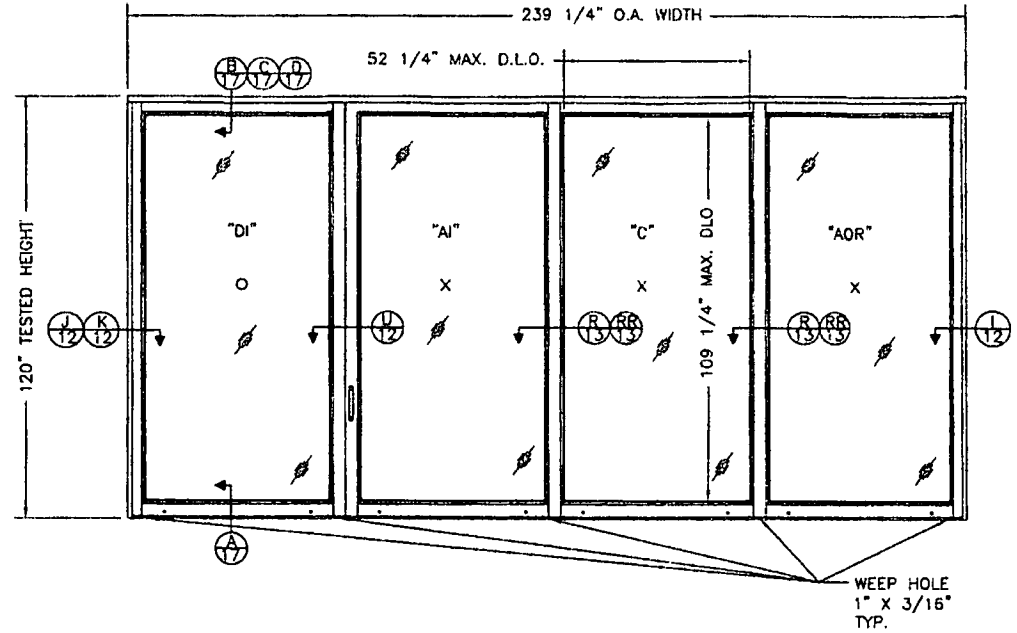



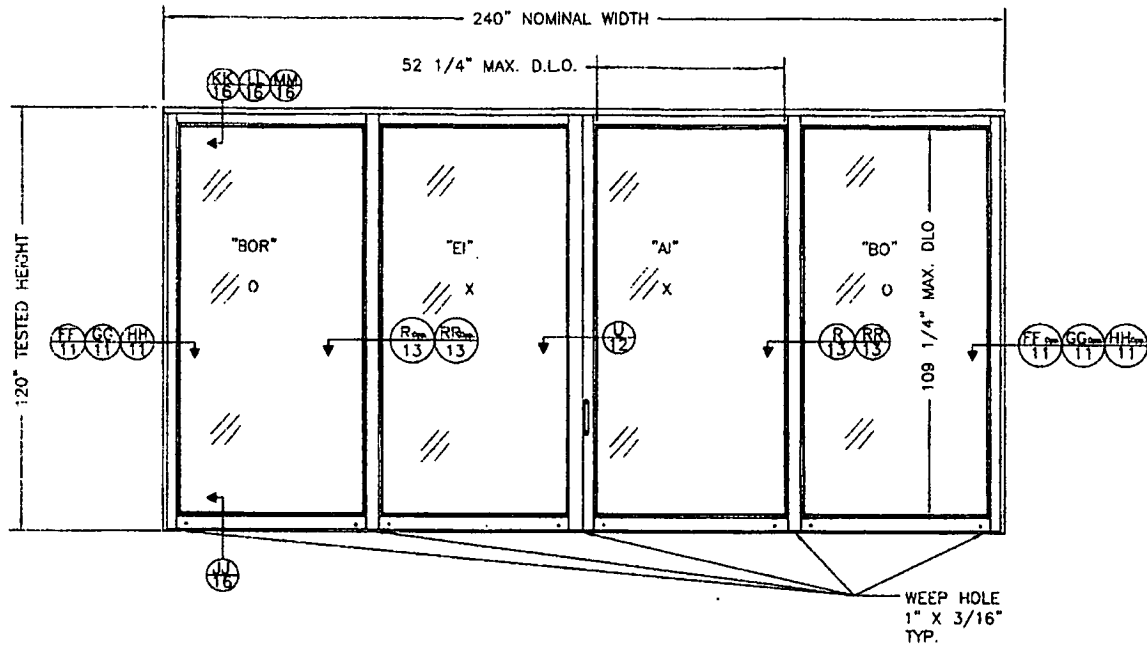
TABLE OF CONTENTS	
DRAWING NUMBER	DESCRIPTION
1 - 5	ELEVATIONS & GENERAL NOTES
6 - 9	ANCHORING LAYOUTS
10	BILL OF MATERIALS
11 - 15	HORIZONTAL CROSS SECTIONS & GLAZING DETAILS
16 - 19	VERTICAL CROSS SECTIONS
20	DESIGN PRESSURE CHARTS

**8000 OXXX SLIDING GLASS DOOR**  
 "DI" PANEL (FIXED) = 61 5/16" X 118 5/16"  
 "AI" PANEL (ACTIVE) = 62 1/16" X 118 5/16"  
 "C" PANEL (ACTIVE) = 61 3/8" X 118 5/16"  
 "AOR" PANEL (ACTIVE) = 61 1/8" X 118 5/16"

SYMBOL	REVISION	DATE	BY
A	CHANGED DIMENSIONS TO MATCH KEYSTONE CRT.	10/17/05	ORE


*Eric S. Nielsen*  
 10/18/05  
 Eric S. Nielsen  
 Florida P. E. No. 41323  
 Product Technology Corporation  
 1150 Louisiana Ave., Suite 6  
 Winter Park, Florida 32789  
 FBPE Certificate of Authorization NO. 8881

<b>WinDoor</b> INCORPORATED 1978 STANHOME WAY ORLANDO, FL 32804 Phone: 407.481.8440 Fax: 407.481.9515 www.winwindow.com	PREPARED BY:  Product Technology Corporation	DATE: 09/14/05
	SCALE: NTS	DWG. NO.: WIND0093
TITLE: SERIES 8000 SGD 5'0" X 10'0" PANELS NON-IMP 3 TRACK ELEVATION & GENERAL NOTES		SHEET: 1 OF 20
Phone: 407.822.8334 Fax: 407.822.8335		




**8000 OXO SLIDING GLASS DOOR**  
 "BOR" PANEL (FIXED) = 61 5/16" X 118-5/16"  
 "EI" PANEL (ACTIVE) = 62 1/16" X 118-5/16"  
 "AI" PANEL (ACTIVE) = 61 5/16" X 118-5/16"  
 "BO" PANEL (FIXED) = 61 5/16" X 118-5/16"

SYN	REVISION	DATE	BY
A	CHANGED DIMENSIONS TO MATCH KEYSTONE CERT.	10/17/05	DRL

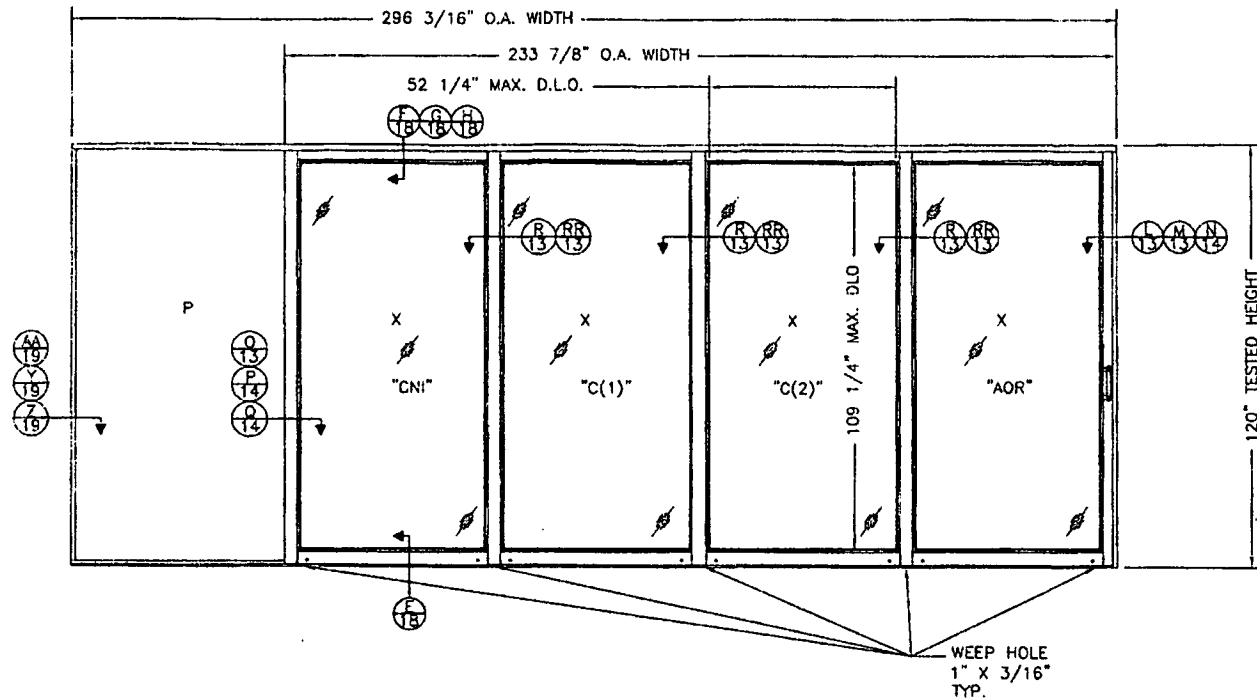
  
 Eric S. Nielsen  
 Florida P. E. No. 41323  
 Product Technology Corporation  
 1150 Louisiana Ave., Suite 6  
 Winter Park, Florida 32789  
 FBPE Certificate of Authorization NO. 8661

**WinDoor** 1978 STANHOME WAY  
 INCORPORATED ORLANDO, FL 32804  
 Phone: 407-481-8400  
 FAX: 407-481-8205 [www.winwindow.com](http://www.winwindow.com)

TITLE: SERIES 8000 SGD 5'0" X 10'0" PANELS NON-IMP  
 2 TRACK ELEVATION

PREPARED BY:	DATE:
	BB 09/14/05
SCALE:	DWG. NO.:
NTS	WIND0093
REV:	SHEET:
A	2 OF 20

Phone 407.622.6334 Fax 407.622.6335

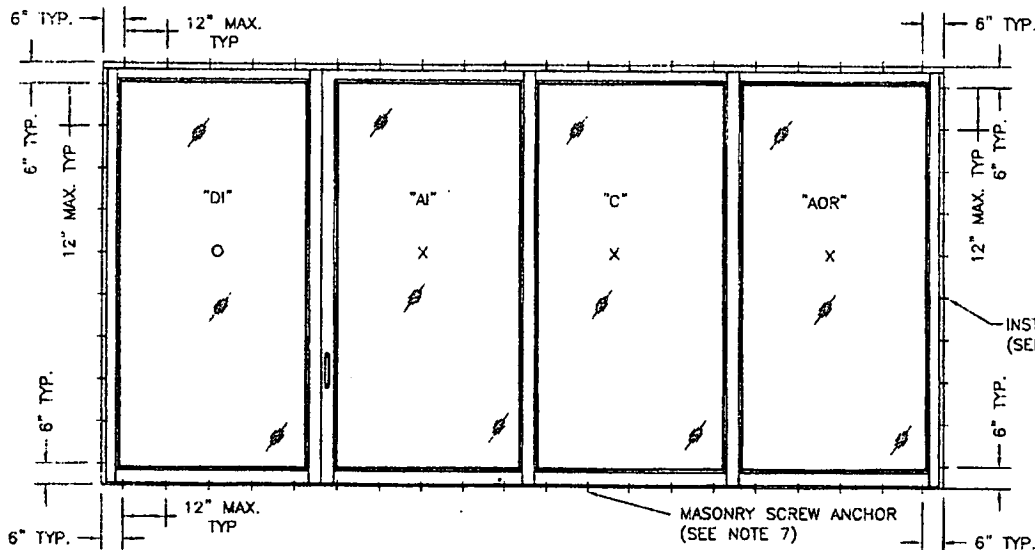


8000 PXXXX POCKET SLIDING GLASS DOOR  
 "CNI" PANEL (ACTIVE) = 61 3/8" X 118 5/16"  
 "C(1)" PANEL (ACTIVE) = 61 3/8" X 118 5/16"  
 "C(2)" PANEL (ACTIVE) = 61 3/8" X 118 5/16"  
 "AOR" PANEL (ACTIVE) = 51 1/8" X 118 5/16"

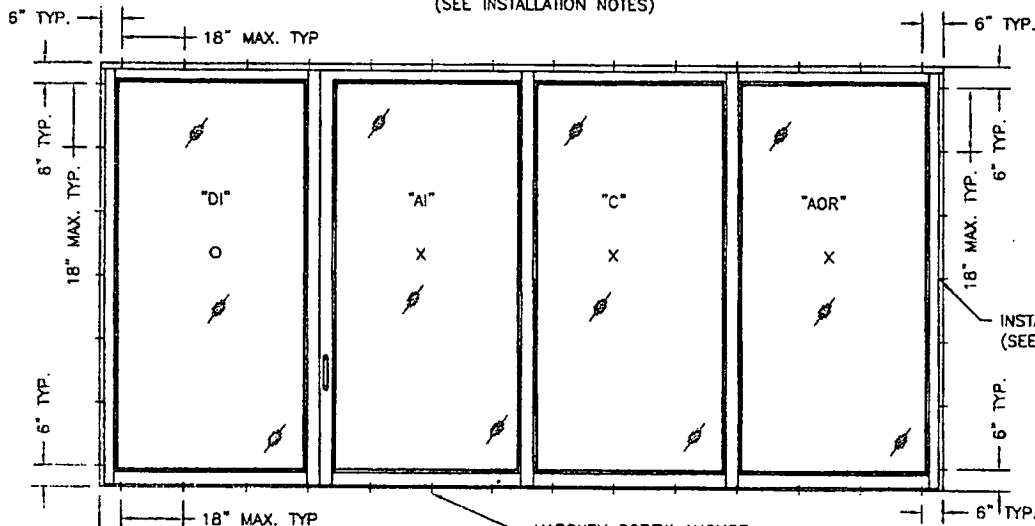
SYM	REVISION	DATE	BY
A	CHANGED DIMENSIONS TO MATCH KEYSTONE CMT.	10/17/05	DR

*Eric S. Nielsen*  
 10/18/05  
 Eric S. Nielsen  
 Florida P. E. No. 41323  
 Product Technology Corporation  
 1150 Louisiana Ave., Suite 6  
 Winter Park, Florida 32789  
 FSPC Certificate of Authorization No. 8581

<b>WinDoor</b> INCORPORATED	1978 STANHOMR WAY ORLANDO, FL 32804 Phone: 407.818.4477 Fax: 407.818.0594		
	www.wininc.com		
TITLE: SERIES 8000 5'0" X 10'0" PANELS NON-IMP 4 TRACK POCKET ELEVATION			
PREPARED BY: <b>PTC</b> Product Technology Corporation	DRN: BB	DATE: 09/14/05	
	SCALE: NTS	DWG. NO: WIND0093	
	REV: A	SHEET: 3 OF 20	
Phone 407.822.8334		Fax 407.822.8335	



SERIES 8000 OXXX REINFORCED SLIDING GLASS DOOR  
(SEE INSTALLATION NOTES)



SERIES 8000 OXXX NON-REINFORCED SLIDING GLASS DOOR  
(SEE INSTALLATION NOTES)

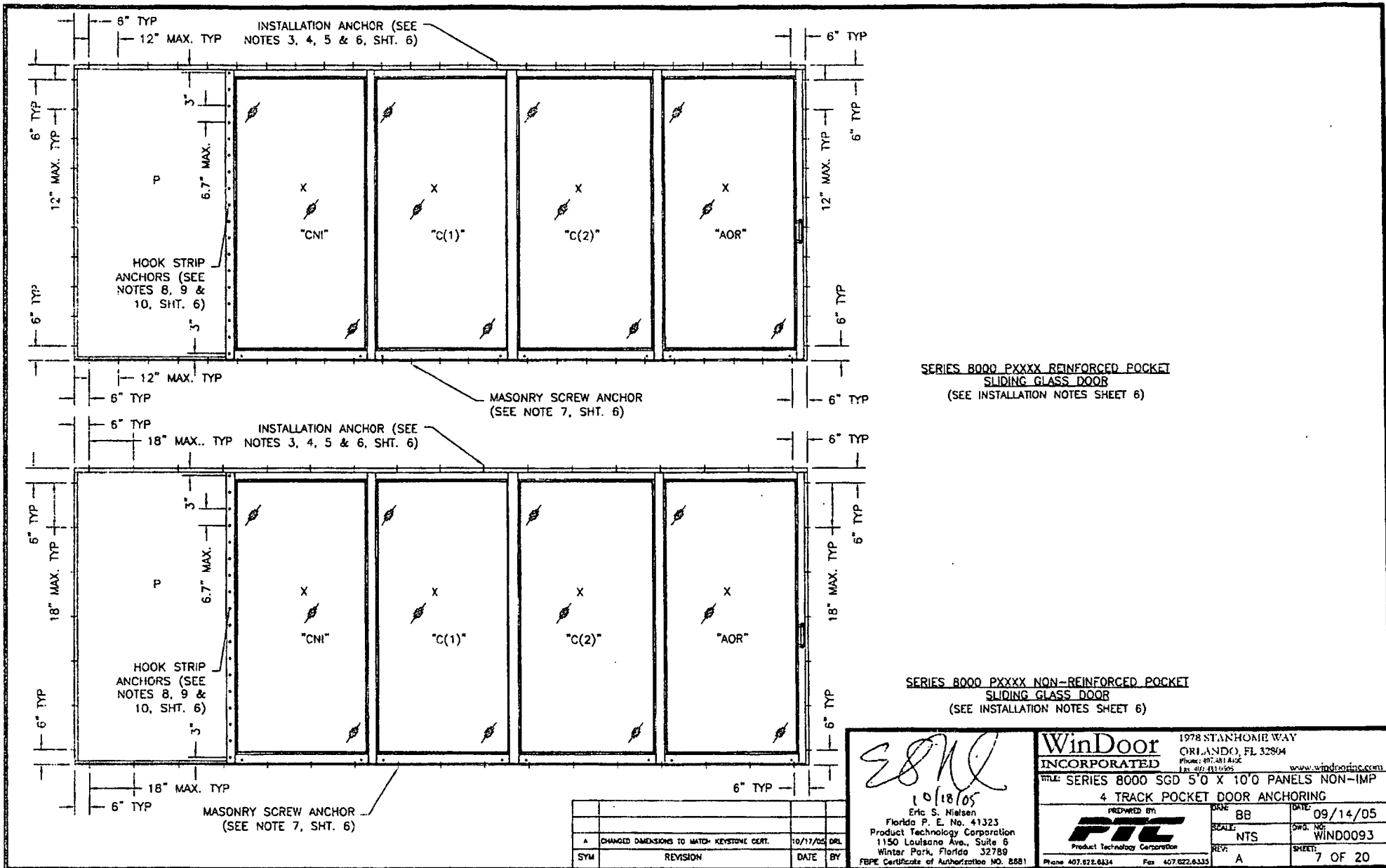
**INSTALLATION NOTES:**

- 1) SHIM AS REQUIRED AT EACH SET OF INSTALLATION ANCHORS USING LOAD BEARING SHIMS FROM FRONT EDGE TO BACK EDGE TO FULLY SUPPORT FRAME. MAXIMUM ALLOWABLE SHIM STACK TO BE 1/4". USE SHIMS WHERE SPACE GREATER THAN 1/16" IS PRESENT.
- 2) USE BACKER ROD AND SEALANT BETWEEN SHIM LOCATIONS.
- 3) ON 2 TRACK FRAME TWO (2) ANCHORS ARE REQUIRED AT EACH ANCHOR LOCATION SHOWN. ON 3 TRACK FRAME THREE (3) ANCHORS ARE REQUIRED AT EACH ANCHOR LOCATION SHOWN. ON 4 TRACK FRAME FOUR (4) ANCHORS ARE REQUIRED AT EACH ANCHOR LOCATION SHOWN. POCKET DOOR HOOK STRIPS REQUIRE ONE (1) ANCHOR AT EACH ANCHOR LOCATION SHOWN.
- 4) CONCRETE OR MASONRY SUBSTRATE WHERE ONE BY, NON-STRUCTURAL, WOOD BUCKING IS EMPLOYED, USE 1/4" DIAMETER ELCO CRETE-FLEX SS4 TYPE MASONRY SCREW ANCHORS OF SUFFICIENT LENGTH TO ACHIEVE MINIMUM EMBEDMENT OF 1 1/4" WITH A MINIMUM EDGE DISTANCE OF 2 1/2" INTO CONCRETE OR MASONRY.
- 5) WOOD FRAME SUBSTRATE, USE #14 WOOD SCREWS OF SUFFICIENT LENGTH TO ACHIEVE MINIMUM EMBEDMENT OF 1 1/2" INTO WOOD FRAMING.
- 6) WOOD BACKED STEEL STUD FRAMING, USE #14 WOOD SCREW OF SUFFICIENT LENGTH TO ACHIEVE MINIMUM EMBEDMENT OF 1 1/2" INTO WOOD BACKING.
- 7) THE SILL IS ATTACHED TO THE MASONRY SLAB WITH 1/4" DIA. ELCO CRETE-FLEX SS4 TYPE MASONRY SCREW ANCHORS OF SUFFICIENT LENGTH TO ACHIEVE A MINIMUM EMBEDMENT OF 1 1/4" INTO SLAB.
- 8) THE HOOK STRIP IS ATTACHED TO THE MASONRY SUBSTRATE WITH 1/4" ELCO CRETE-FLEX MASONRY SCREWS OF SUFFICIENT LENGTH TO ACHIEVE MINIMUM OF 1 1/4" WITH A MINIMUM EDGE DISTANCE OF 2 1/2" INTO CONCRETE OR MASONRY.
- 9) THE HOOK STRIP IS ATTACHED TO THE WOOD FRAMED SUBSTRATE WITH #14 WOOD SCREWS OF SUFFICIENT LENGTH TO ACHIEVE MINIMUM EMBEDMENT OF 1 1/2" INTO WOOD FRAMING.
- 10) THE HOOK STRIP IS ATTACHED TO THE WOOD BACKED STEEL STUD FRAMING WITH #14 WOOD SCREW OF SUFFICIENT LENGTH TO ACHIEVE MINIMUM EMBEDMENT OF 1 1/2" INTO WOOD BACKING.

SYM	REVISION	DATE	BY
A	CHANGED DIMENSIONS TO MATCH KEYSTONE CERT.	10/17/05	DRL

*Eric S. Nielsen*  
10/16/05  
Eric S. Nielsen  
Florida P. E. No. 41323  
Product Technology Corporation  
1150 Louisiana Ave., Suite 6  
Winter Park, Florida 32789  
FBPE Certificate of Authorization NO. B681

<b>WinDoor</b> INCORPORATED		1978 STANHOPE WAY ORLANDO, FL 32804 Phone: 407.481.8416 Fax: 407.481.5105	
TITLE: SERIES 8000 SGD 5'0" X 10'0" PANELS NON-IMP 3 TRACK ANCHORING			
PREPARED BY:	DWG. NO.:	DATE:	
<b>PTC</b> Product Technology Corporation	NTS	09/14/05	WIND0093
REV: A	SHEET:	6 OF 20	
Phone: 407.822.6334	Fax: 407.677.6333		




SERIES 8000 PXXXX REINFORCED POCKET  
SLIDING GLASS DOOR  
(SEE INSTALLATION NOTES SHEET 6)

SERIES 8000 PXXXX NON-REINFORCED POCKET  
SLIDING GLASS DOOR  
(SEE INSTALLATION NOTES SHEET 6)

SYM	REVISION	DATE	BY
A	CHANGED DIMENSIONS TO MATCH KEYSTONE CERT.	10/17/05	DRL

*ESNL*  
10/18/05  
Eric S. Nielsen  
Florida P. E. No. 41323  
Product Technology Corporation  
1150 Louisiana Ave., Suite 6  
Winter Park, Florida 32789  
FBPE Certificate of Authorization NO. 8881

<b>WinDoor</b> INCORPORATED  Product Technology Corporation Phone 407.822.6334 Fax 407.822.6335	1978 STANHOME WAY ORLANDO, FL 32804 Phone: 407.481.4142 Fax: 407.413.0925 <a href="http://www.windoorinc.com">www.windoorinc.com</a>
	TITLE: SERIES 8000 SGD 5'0" X 10'0" PANELS NON-IMP 4 TRACK POCKET DOOR ANCHORING
PREPARED BY: BB SCALE: NTS REV: A	DATE: 09/14/05 DWR. NO: WIND0093 SHEET: 7 OF 20

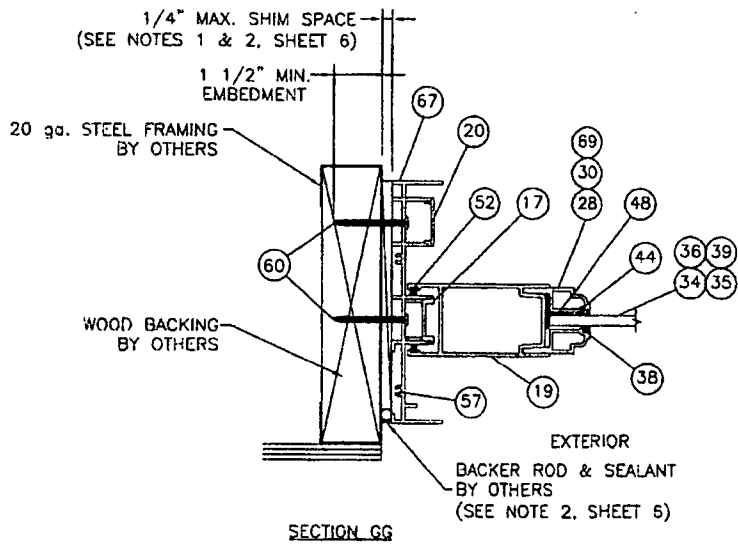
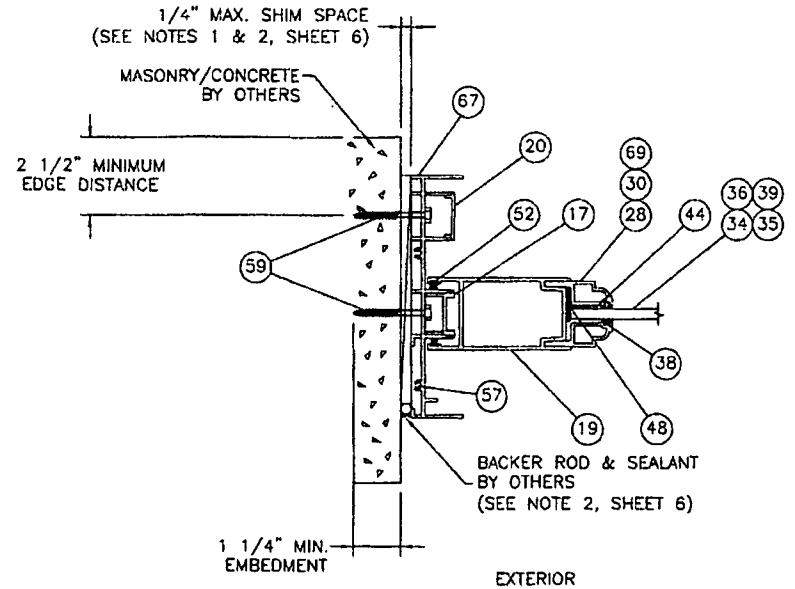
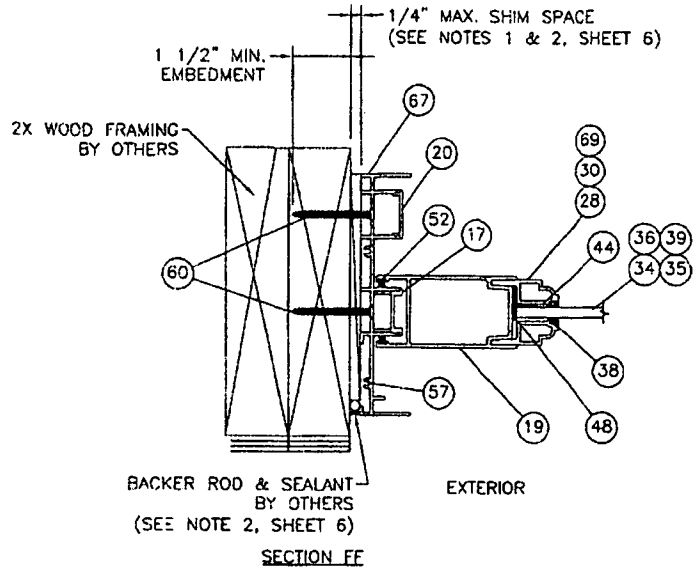
BILL OF MATERIAL			
NO.	PART NO.	DESCRIPTION	
1	FS02182	3 TRACK FRAME SILL PAN	BY KEYMARK A6063-T5
2	FS02183	3 TRACK FRAME SILL INSERT	BY KEYMARK A6063-T5
3	F302180	3 TRACK FRAME HEAD	BY KEYMARK A6063-T6
4	FS02181	3 TRACK FRAME JAMB	BY KEYMARK A6063-T6
5	FS02069	4 TRACK SILL PAN	BY KEYMARK A6063-T6
6	FS02184	4 TRACK SILL INSERT	BY KEYMARK A6063-T6
7	FS02071	4 TRACK FRAME HEAD	BY KEYMARK A6063-T6
8	FS02070	4 TRACK FRAME JAMB	BY KEYMARK A6063-T6
9	FS02173	POCKET DOOR HOOK STRIP	BY KEYMARK A6063-T6
10	FS02301	POCKET DOOR HOOK STRIP BASE	BY KEYMARK A6063-T6
11	FS02172	POCKET DOOR HOOK STRIP BASE COVER	BY KEYMARK A6063-T6
12	FH02939	4 1/4" SILL RISER ADD ON	BY KEYMARK A6063-T6
13	FH02626	3 1/2" SILL RISER ADD ON	BY KEYMARK A6063-T6
14	FH02813	3" SILL RISER ADD ON	BY KEYMARK A6063-T6
15	FH02625	2 1/4" SILL RISER ADD ON	BY KEYMARK A6063-T6
16	FS1882	FRAME HEAD INSERT	BY KEYMARK A6063-T6
17	FS02726	STILE JAMB INSERT	BY KEYMARK A6063-T6
18	FH01869	TOP & BOTTOM RAIL	BY KEYMARK A6063-T5
19	FH01871	LOCK STILE	BY KEYMARK A6063-T5
20	FS1883	FRAME JAMB INSERT	BY KEYMARK A6063-T5
21	FH02491	PANEL INTERLOCK STILE	BY KEYMARK A6063-T6
22	FH02165	FEMALE BUTT STILE	BY KEYMARK A6063-T5
23	FH02025	90° CORNER STILE	BY KEYMARK A6063-T5
24	FH02026	90° CORNER STILE CLIP	BY KEYMARK A6063-T5
25	FH02157	135° CORNER STILE	BY KEYMARK A6063-T5
26	FH02158	135° CORNER STILE CLIP	BY KEYMARK A6063-T5
27	FH01876	1/4" HORIZONTAL GLASS STOP	BY KEYMARK A6063-T5
28	FH01875	1/4" VERTICAL GLASS STOP	BY KEYMARK A6063-T5
29	FH01879	1" HORIZONTAL GLASS STOP	BY KEYMARK A6063-T6
30	FF01880	1" VERTICAL GLASS STOP	BY KEYMARK A6063-T6
31	FH02641	REINFORCING BAR	BY KEYMARK A6063-T6
32	FS02643	ROLL BACKUP	
33	#1988-9000	TANDEM ROLLER	
34		3/8" FULLY TEMPERED GLASS	
35		1/4" FULLY TEMPERED GLASS	
36		1" INSULATED TEMP. GLASS 1/4" TEMP; 1/2" AIR; 1/4" TEMP	
37	NSB 3/16-3/4-2	GLASS SETTING BLOCK	
38	TP1051	GLASS STOP VINYL	
39		3/16" FULLY TEMPERED GLASS	
40	TP876	INTERLOCK BUMPER	
41	BFO4122-1	WEEP HOLE BAFFLES	
42	NRAHP	PANEL HEIGHT ADJUSTMENT PLUGS	
43	NPG	NYLON PANEL GUIDE	
44	V998B	GLAZING TAPE 1/4" X 3/8"	
45	1414	OLYMPUS HANDLE SET	
46	2468	DUEL POINT MORTISE LOCK & KEEPER SET	

BILL OF MATERIAL		
NO.	PART NO.	DESCRIPTION
47	1413	OLYMPUS DUMMY HANDLE SET
48	SIKA 552	WET GLAZE
49	W33351NK0000	TOP & BOTTOM RAIL FINSEAL 0.187 X 0.350
50	W33221NK0000	INTERLOCK FINSEAL 0.187 X 0.220
51	W13131NK0000	CORNER STILE FINSEAL 0.187 X 0.130
52		PANEL STILE FINSEAL 0.187 X 0.220
53		SILL ASSY. SCREW #8 X 1/4 PH TYPE F SS
54		HOOK ATTACHMENT SCREW
55		ROLLER INSTALL. SCREWS #8 X 5/8 X 5/8 PH TYPE F SS
56		PANEL ASSEMBLY SCREW #10 X 1 1/4 TYPE F SS
57		FRAME ASSEMBLY SCREW #8 X 5/8 PH TYPE F SS
58		CORNER STILE INSERT SCREW #8 X 2" F.H. SMS TYPE A SS
59		1/4" DIA. ELCO CRETE-FLEX SS4 TYPE MASONRY SCREW W/1 1/4" MIN. EMBEDMENT & 2 1/2" MIN. EDGE DISTANCE
60		#14 INSTALLATION WOOD SCREW W/1 1/2" MIN. EMBED.
61		NOT USED
62		SILICONE CAULK
63	P7569AM	.750" HIGH X 1.50" X 2.25" DUAL FINNED DUST PAD
64	FS01884	2 TRACK FRAME SILL PAN BY KEYMARK A6063-T5
65	FS01885	2 TRACK FRAME SILL INSERT BY KEYMARK A6063-T5
66	FS01846	2 TRACK FRAME HEAD BY KEYMARK A6063-T6
67	FS01845	2 TRACK FRAME JAMB BY KEYMARK A6063-T6
68	FS01877	9/16" HORIZONTAL GLASS STOP BY KEYMARK A6063-T6
69	FS01878	9/16" VERTICAL GLASS STOP BY KEYMARK A6063-T6
70		LOCK STILE @ BUTT STILE FIN SEAL 0.187 X 0.140
71	FS02629	1 1/2" SILL RISER ADD ON BY KEYMARK A6063-T6

A	CHANGED DIMENSIONS TO MATCH KEYSTONE CERT.	10/17/05 DRL	
SYM	REVISION	DATE	BY

*ESM*  
 10/18/05  
 Eric S. Nielsen  
 Florida P. E. No. 41323  
 Product Technology Corporation  
 1150 Louisiana Ave., Suite 6  
 Winter Park, Florida 32789  
 FBPE Certificate of Authorization NO. 6561

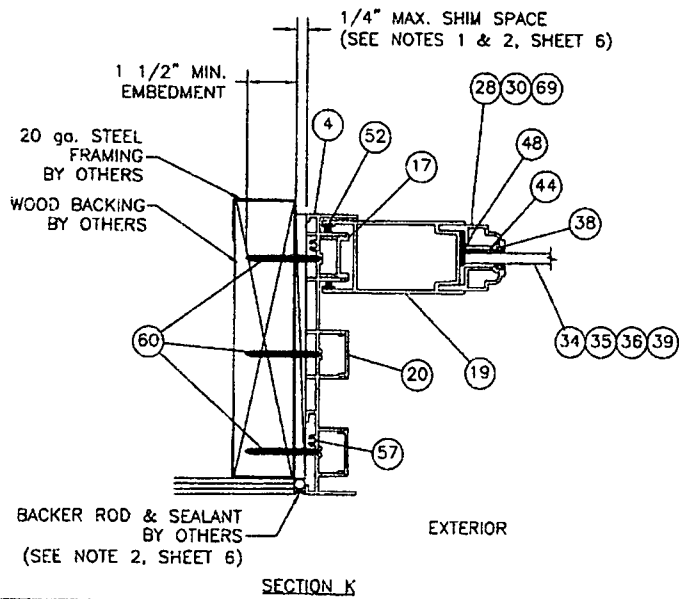
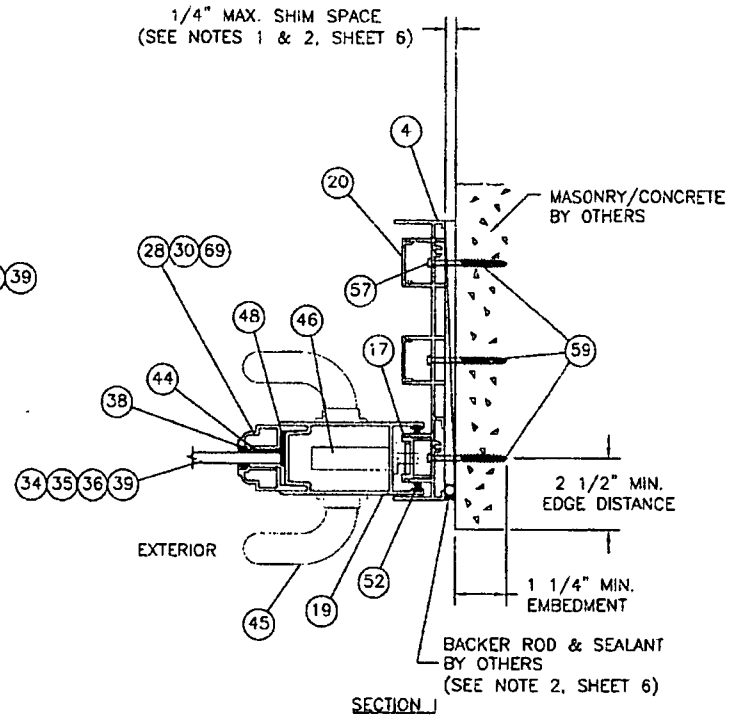
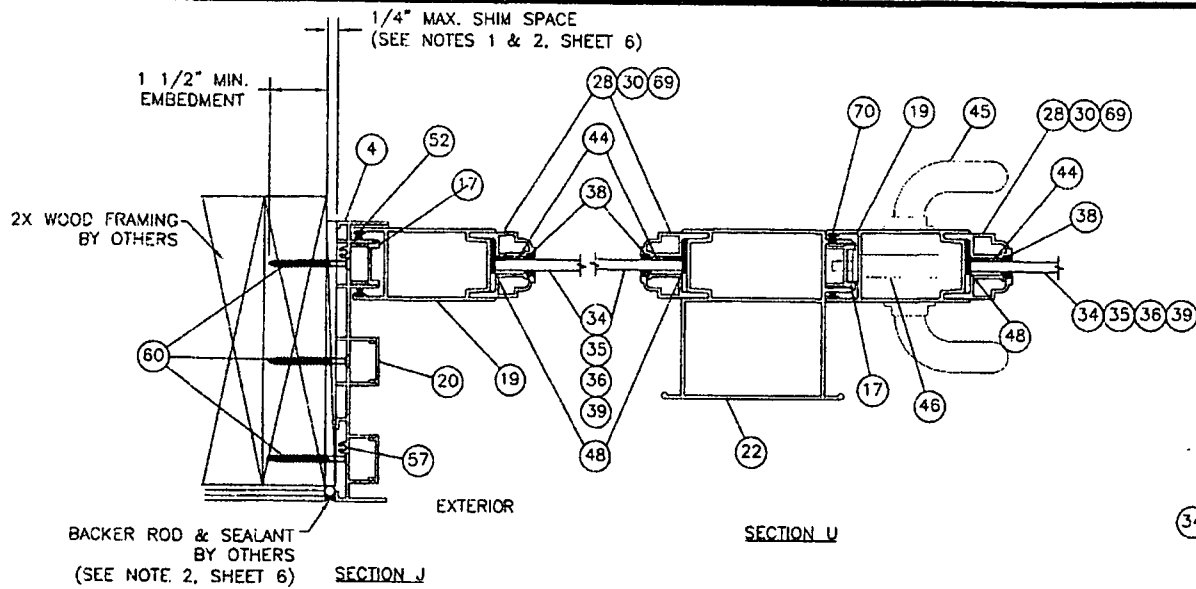
<b>WinDoor</b> INCORPORATED		1978 STANTHOMME WAY ORLANDO, FL 32804 Phone: 407.481.6400 Fax: 407.481.6205	
www.winwindow.com			
TITLE: SERIES 8000 SGD 5'0" X 10'0" PANELS NON-IMP			
BILL OF MATERIALS			
PREPARED BY:	DATE:	DATE:	DATE:
<b>PTC</b> Product Technology Corporation	BB	09/14/05	
	SCALE:	NTS	DWG. NO: WIND0093
	REV:	A	SHEET: 10 OF 20
Phone 407.622.8334	Fax 407.622.8335		



A	CHANGED DIMENSIONS TO MATCH KEYSTONE CENT.	10/17/05	ORL
SYM	REVISION	DATE	BY


*ESM*  
10/18/05  
Eric S. Nielson  
Florida P. E. No. 41323  
Product Technology Corporation  
1150 Louisiana Ave., Suite 6  
Winter Park, Florida 32789  
FBPE Certificate of Authorization NO. 6651

<b>WinDoor</b> INCORPORATED	1978 STANHOME WAY ORLANDO, FL 32804 Phone 407.822.8334 Fax 407.481.8545		www.winwindow.com
	TITLE: SERIES 8000 SGD 5'0" X 10'0" PANELS NON-IMP 2 TRACK HORIZONTAL CROSS SECTIONS		
PREPARED BY: <b>PTC</b> Product Technology Corporation	DWG. NO.: BB	DATE: 09/14/05	SCALE: NTS
REV: A	PHONE: 407.822.8334	FAX: 407.822.8335	DWG. NO.: WIND0093
			SHEET: 11 OF 20

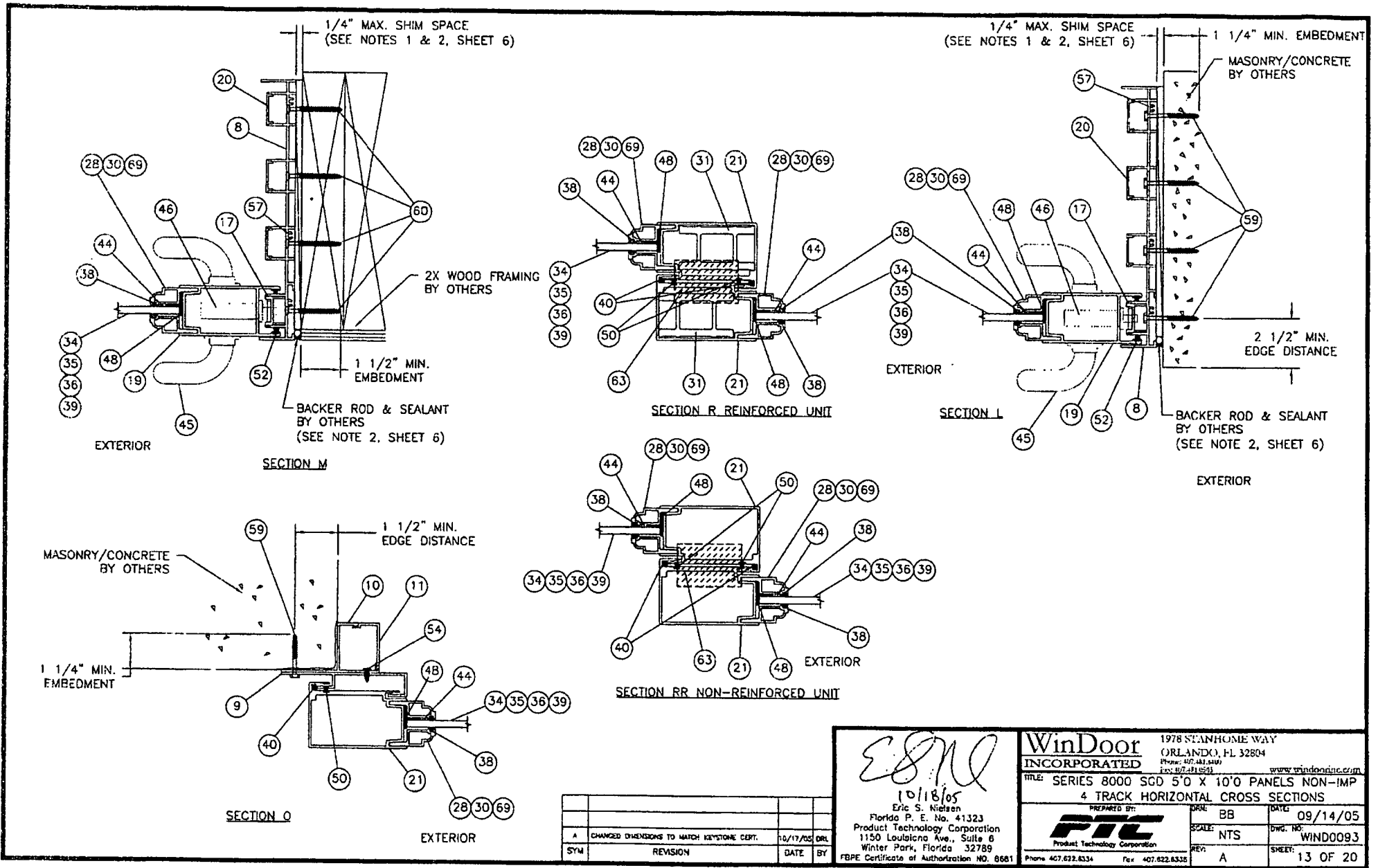


SYM	REVISION	DATE	BY
A	CHANGED DIMENSIONS TO MATCH KEYSTONE DET.	10/17/05 DR.	

*ESN*  
10/18/05  
Eric S. Nielsen  
Florida P. E. No. 41323  
Product Technology Corporation  
1150 Louisiana Ave., Suite 5  
Winter Park, Florida, 32789  
FBPE Certificate of Authorization NO. 8881

<b>WinDoor</b> INCORPORATED PREPARED BY  Product Technology Corporation Phone 407.822.6334 Fax 407.822.6335	1978 STANHOPE WAY ORLANDO, FL. 32804 Phone 407.822.6334 Fax 407.822.6335 <a href="http://www.winwindow.com">www.winwindow.com</a>
	TITLE: SERIES 8000 SGD 5'0" X 10'0" PANELS NON-IMP 3 TRACK HORIZONTAL CROSS SECTIONS PART: BB DATE: 09/14/05 SCALE: NTS DWG. NO: WIND0093 REV: A SHEET: 12 OF 20





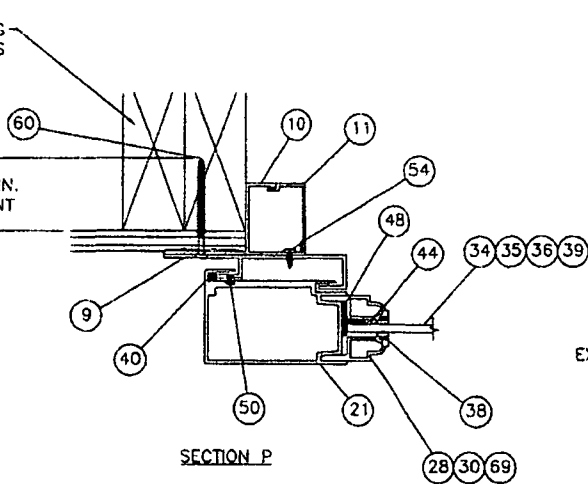
SYM	REVISION	DATE	BY
A	CHANGED DIMENSIONS TO MATCH KEYSTONE CERT.	10/17/05	DRL

*ESNL*  
10/18/05  
Eric S. Nielsen  
Florida P. E. No. 41323  
Product Technology Corporation  
1150 Louisa Ave., Suite 6  
Winter Park, Florida 32789  
FBPE Certificate of Authorization NO. 8661

<b>WinDoor</b> INCORPORATED	1978 STANHOME WAY ORLANDO, FL 32804 Phone: 407.481.5100 Fax: 407.481.0593		
	www.windoorinc.com		
TITLE: SERIES 8000 SGD 5'0" X 10'0" PANELS NON-IMP 4 TRACK HORIZONTAL CROSS SECTIONS			
PREPARED BY:	DATE:	BB	09/14/05
<b>PTC</b> Product Technology Corporation	SCALE:	NTS	DWG. NO.: WIND0093
REV:	A	SHEET:	13 OF 20
Phone 407.622.8334		Fax 407.622.8335	

2X WOOD FRAMING  
BY OTHERS

1 1/2" MIN.  
EMBEDMENT



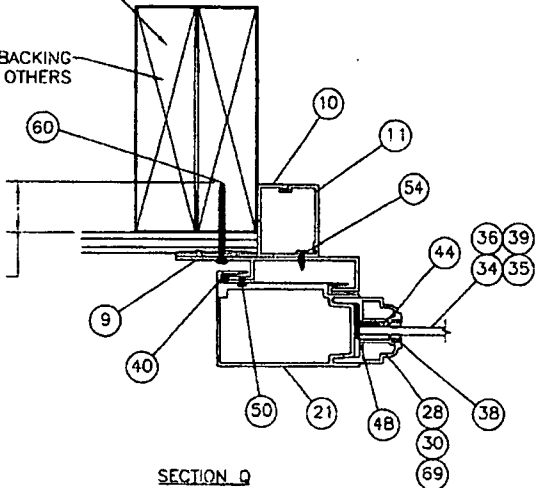
SECTION P

EXTERIOR

20 ga. STEEL FRAMING  
BY OTHERS

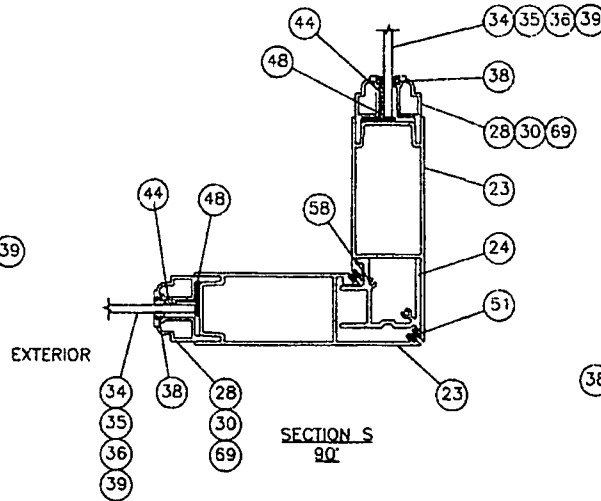
WOOD BACKING  
BY OTHERS

1 1/2" MIN.  
EMBEDMENT



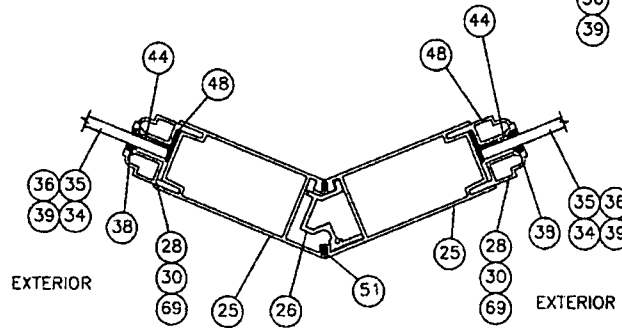
SECTION Q

EXTERIOR



SECTION S  
90°

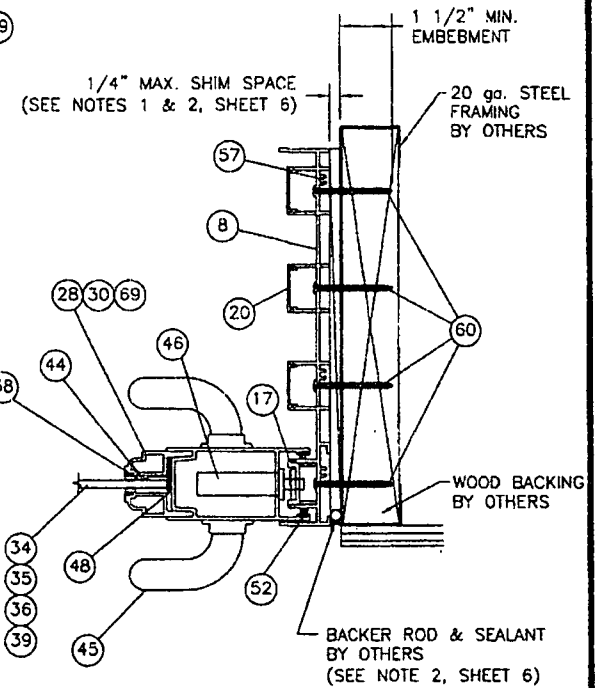
EXTERIOR



SECTION T  
135°

EXTERIOR

EXTERIOR



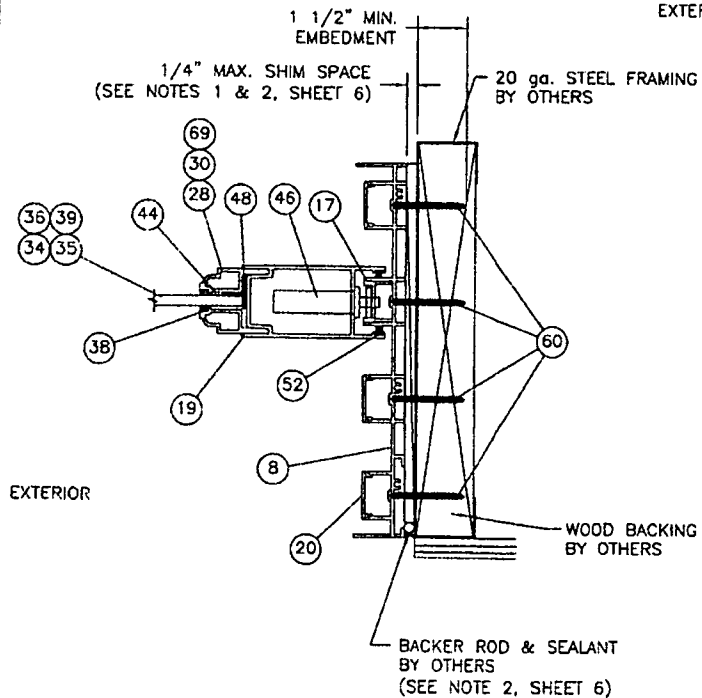
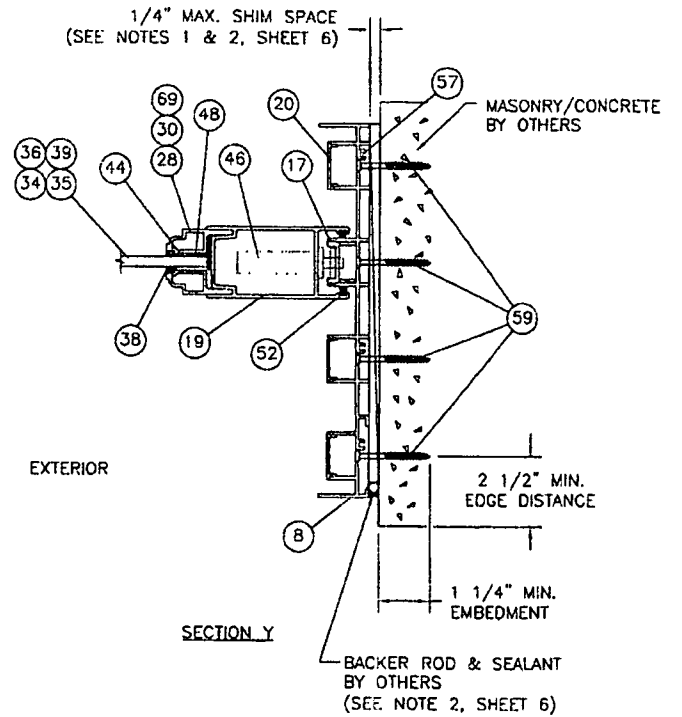
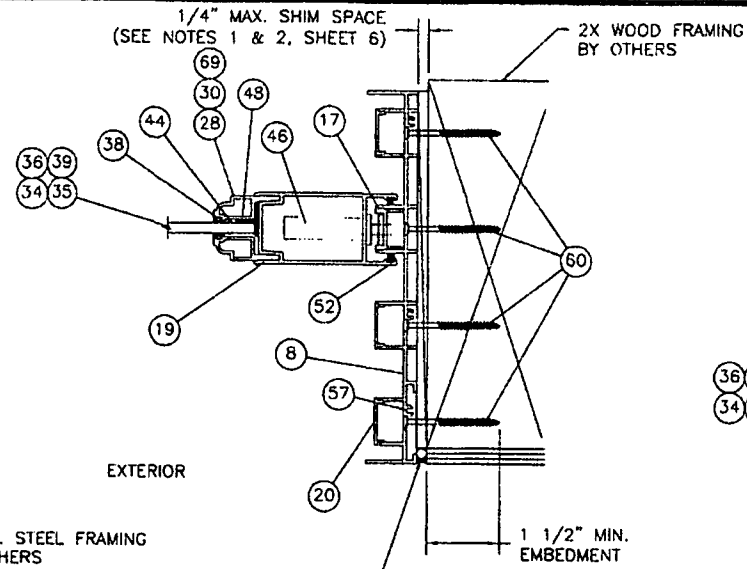
SECTION N

EXTERIOR

A	CHANGED DIMENSIONS TO MATCH KEYSTONE CERT.	10/17/05	ORL
SYM	REVISION	DATE	BY

*ESN*  
10/19/05  
Eric S. Nilson  
Florida P. E. No. 41323  
Product Technology Corporation  
1150 Louisiana Ave., Suite 6  
Winter Park, Florida 32789  
FBPE Certificate of Authorization NO. 8881

<b>WinDoor</b> INCORPORATED		1978 STANHOME WAY ORLANDO, FL 32804 Phone: (407) 811-8101 Fax: (407) 811-2505 www.winbwin.com	
TITLE: SERIES 8000 SGD 5'0" X 10'0" PANELS NON-IMP HORIZONTAL CROSS SECTIONS			
PREPARED BY:	DATE:	DRG. NO.:	DATE:
<b>PTC</b> Product Technology Corporation	BB	NTS	10/14/05
REV:	SCALE:	DRG. NO.:	DATE:
A	NTS	WIND0093	14 OF 20
Phone 407.822.6334	Fax 407.822.6335		



SECTION X  
BACKER ROD & SEALANT BY OTHERS (SEE NOTES 2, SHEET 6)

SECTION Y  
BACKER ROD & SEALANT BY OTHERS (SEE NOTE 2, SHEET 6)

SECTION W

SYM	REVISION	DATE	BY
A	CHANGED DIMENSIONS TO MATCH KEYSTONE CERT.	09/17/05	DRG

*ESN*  
10/18/05  
Eric S. Nielsen  
Florida P. E. No. 41323  
Product Technology Corporation  
1150 Louisiana Ave., Suite 6  
Winter Park, Florida 32789  
FBPE Certificate of Authorization NO. 8581

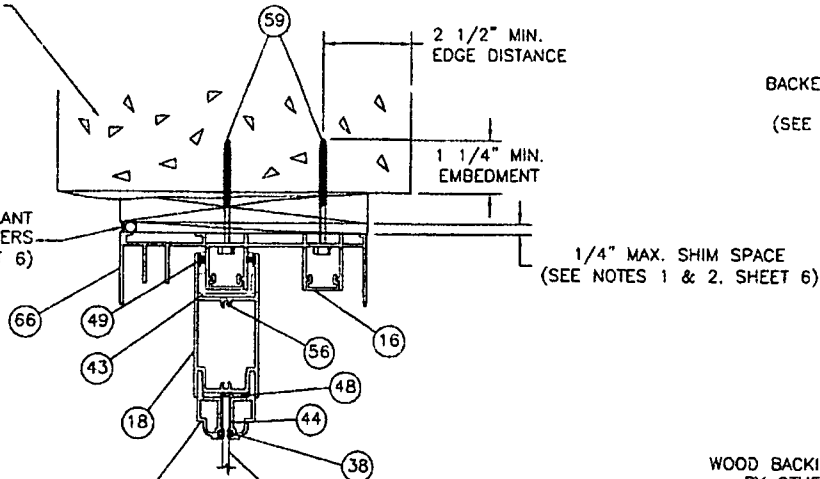
<b>WinDoor</b> INCORPORATED	1978 STANHOME WAY ORLANDO, FL 32804 Phone: 407.481.1440 Fax: 407.291.0503 www.winwindow.com
TITLE: SERIES 8000 SGD 5'0 X 10'0 PANELS NON-IMP 90 & 135 DEGREE 4 TRACK HORIZ CROSS SECTIONS	
PREPARED BY: <b>PTC</b>	DRN: BB DATE: 09/14/05
SCALE: NTS	DWG. NO: WIND0093
REV: A	SHEET: 15 OF 20
Phone 407.622.6334 Fax 407.622.6335	

MASONRY/CONCRETE BY OTHERS

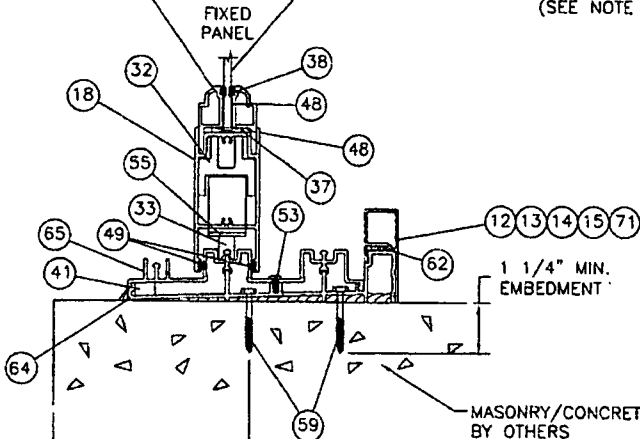
2 1/2" MIN. EDGE DISTANCE

1 1/4" MIN. EMBEDMENT

BACKER ROD & SEALANT BY OTHERS (SEE NOTE 2, SHEET 6)

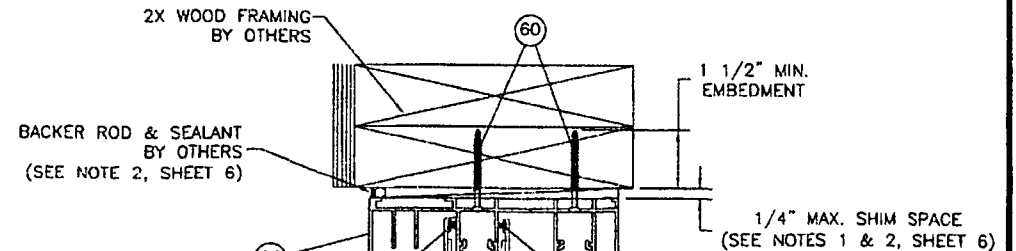


EXTERIOR (27 29 68) SECTION KK (34 35 36 39)

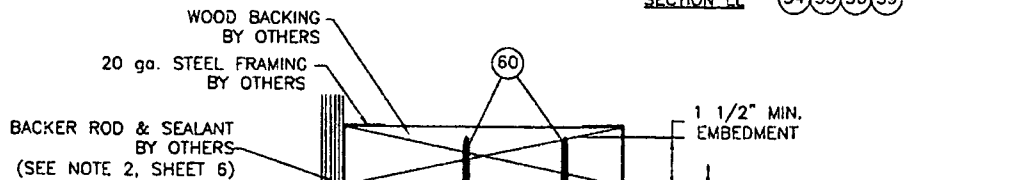


2 1/2" MIN. EDGE DISTANCE

SECTION JJ




SECTION LL (34 35 36 39)

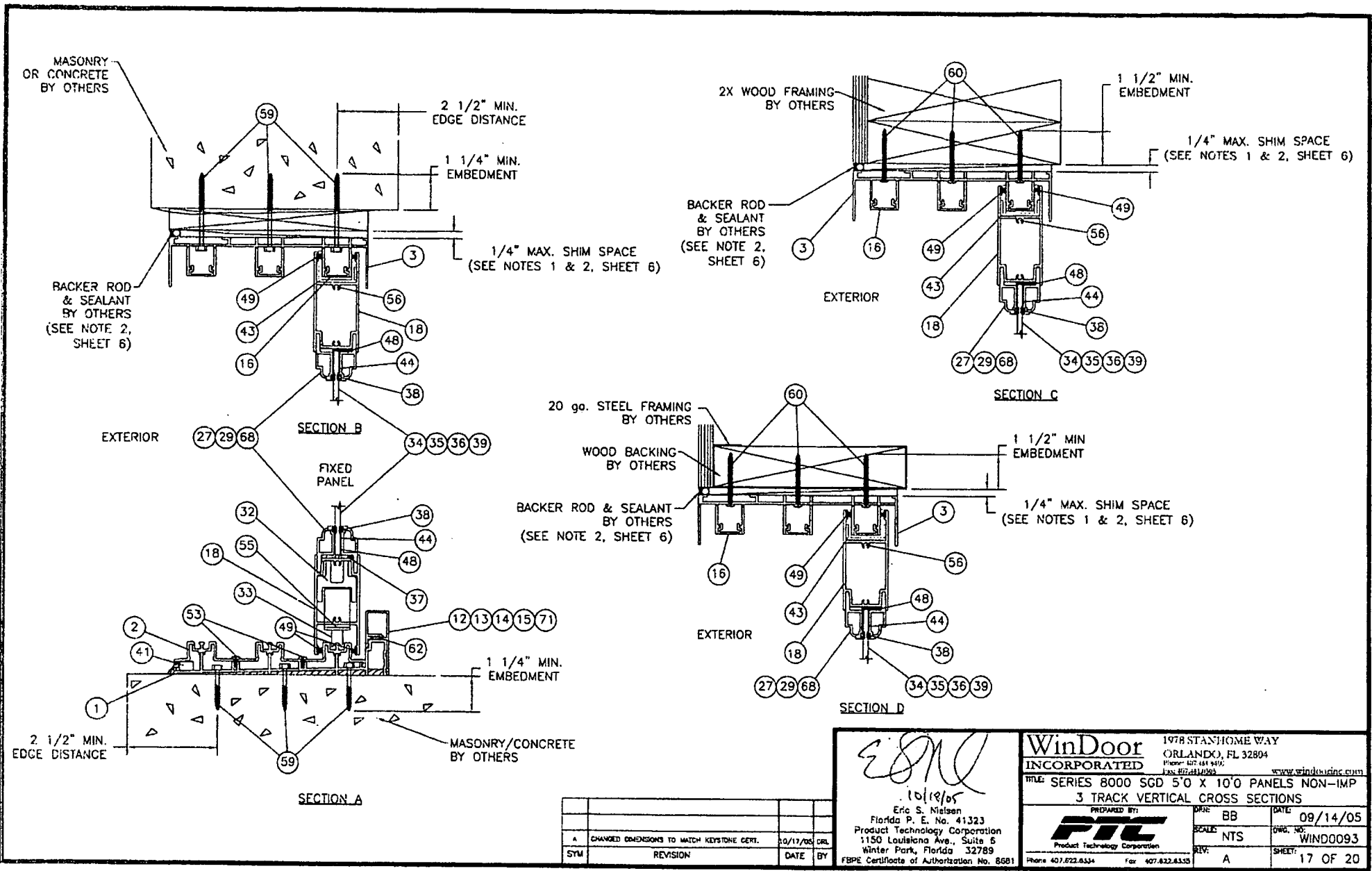


SECTION MM

SYM	REVISION	DATE	BY
A	CHANGED DIMENSIONS TO MATCH KEYSTONE CERT.	05/17/05	DRL

*E.S.N.*  
10/16/05  
Eric S. Nielsen  
Florida P. E. No. 41323  
Product Technology Corporation  
1150 Louisiana Ave., Suite 6  
Winter Park, Florida 32789  
FBPE Certificate of Authorization NO. 8581

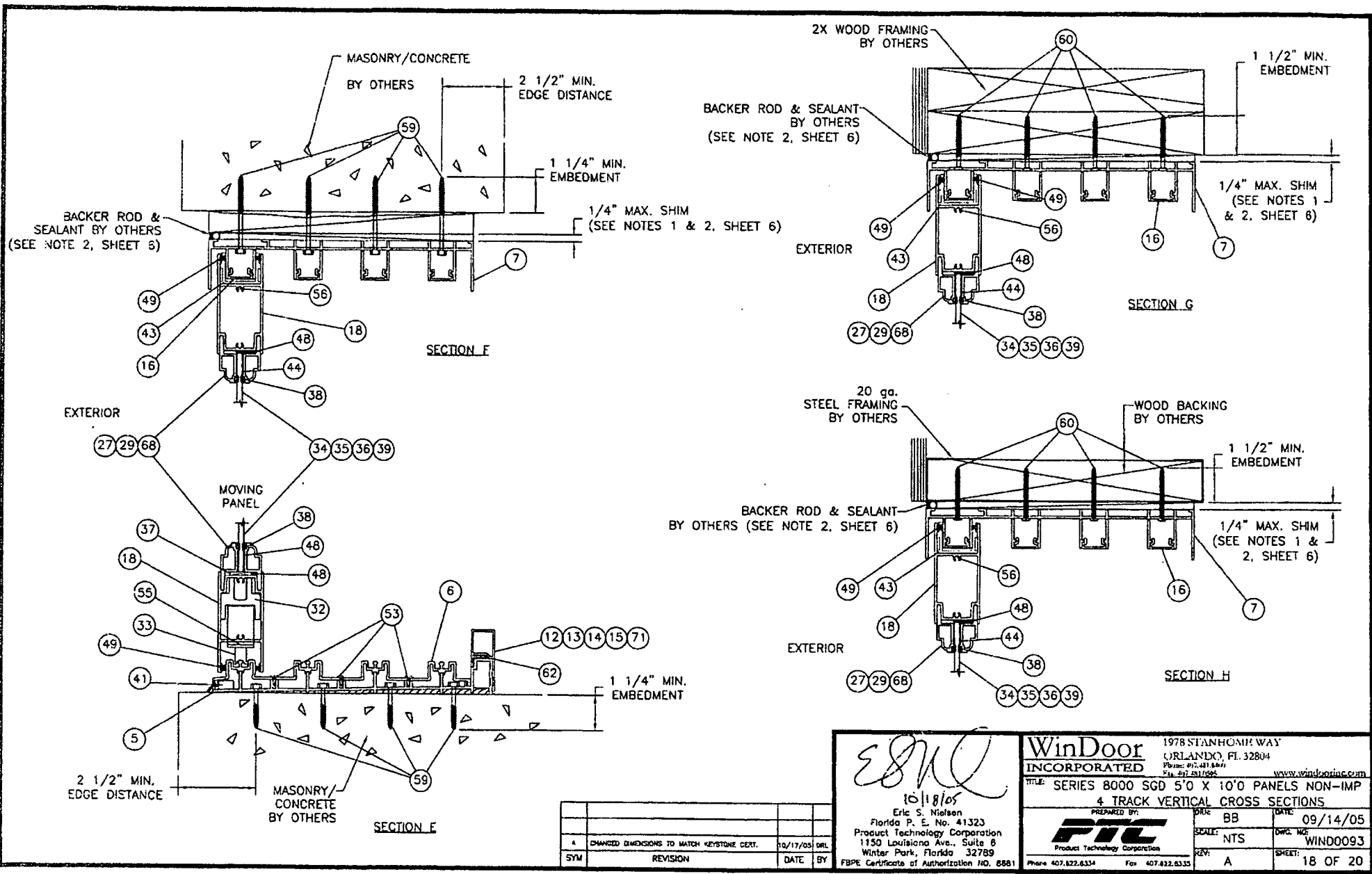
<b>WinDoor</b> INCORPORATED 1978 STANHOME WAY ORLANDO, FL 32804 Phone: 407.481.1000 Fax: 407.481.0223 www.winwindow.com	PREPARED BY:  Product Technology Corporation Phone 407.622.6334 Fax 407.622.6335	DATE: 09/14/05
	TITLE: SERIES 8000 SGD 5'0 X 10'0 PANELS NON-IMP 2 TRACK VERTICAL CROSS SECTIONS	SCALE: NTS
REV: A	SHEET: 16 OF 20	



SYN	REVISION	DATE	BY
A	CHANGED DIMENSIONS TO MATCH KEYSTONE CERT.	10/17/05	ORL

*ESMC*  
 10/18/05  
 Eric S. Nielsen  
 Florida P. E. No. 41323  
 Product Technology Corporation  
 1150 Louisiana Ave., Suite 5  
 Winter Park, Florida 32789  
 FBPE Certificate of Authorization No. 8681

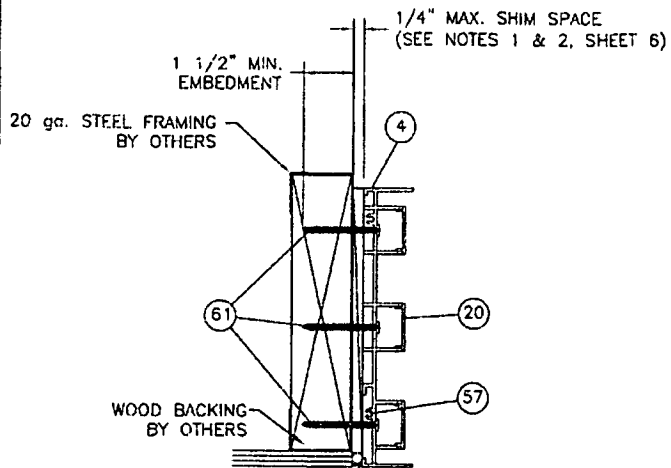
<b>WinDoor</b> INCORPORATED		1978 STANHOME WAY ORLANDO, FL 32804 Phone: 407.484.4470 Fax: 407.484.4499	
TITLE: SERIES 8000 SGD 5'0" X 10'0" PANELS NON-IMP 3 TRACK VERTICAL CROSS SECTIONS			
PREPARED BY:	DATE:	BB	09/14/05
<b>PTC</b> Product Technology Corporation	SCALE:	NTS	OWC. NO.: WIND0093
REV:	A	SHEET:	17 OF 20
Phone 407.822.8334		Fax 407.422.4335	



SYM	REVISION	DATE	BY
A	CHANGED DIMENSIONS TO MATCH KEYSTONE CERT.	10/17/05	ORL

*ESN*  
 10/18/05  
 Eric S. Nielsen  
 Florida P. E. No. 41323  
 Product Technology Corporation  
 1150 Louisiana Ave., Suite B  
 Winter Park, Florida 32789  
 FBPE Certificate of Authorization NO. 6881

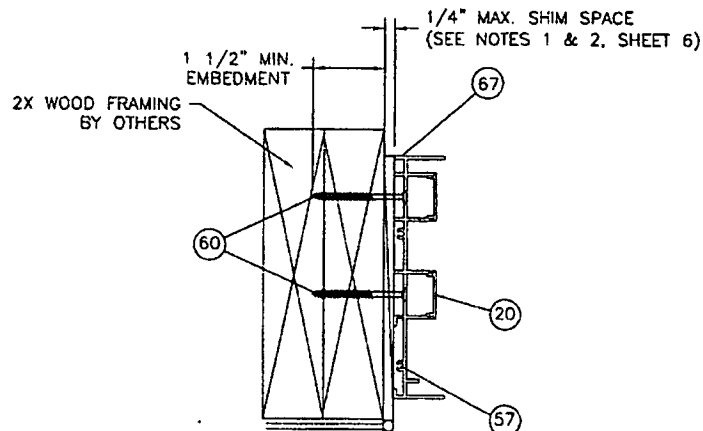
<b>WinDoor</b> INCORPORATED		1978 STANHOPE WAY ORLANDO, FL. 32804 Phone: 407-411-8877 Fax: 407-511-0596 www.win-door.com	
TITLE: SERIES 8000 SGD 5'0" X 10'0" PANELS NON-IMP 4 TRACK VERTICAL CROSS SECTIONS			
PREPARED BY:	DATE:	BB	DATE: 09/14/05
<b>PTC</b> Product Technology Corporation	SCALE:	NTS	DWG. NO: WIND0093
Phone 407.822.6334 Fax 407.822.6335	REV:	A	SHEET: 18 OF 20



SECTION Z  
3 TRACK POCKET JAMB SHOWN,  
CAN BE A 2 TRACK OR  
4 TRACK POCKET JAMB

WOOD BACKING  
BY OTHERS

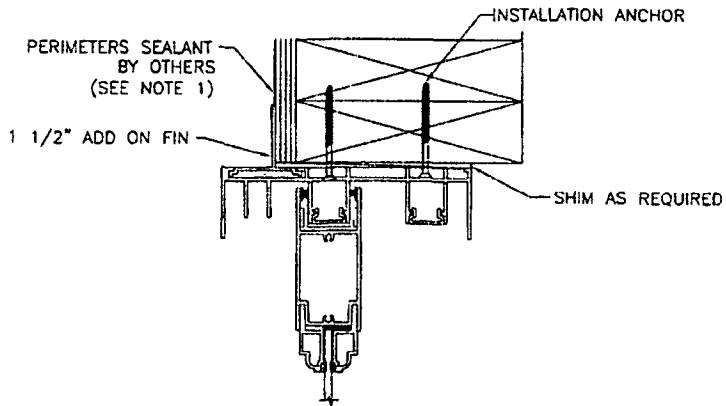
BACKER ROD SEALANT  
BY OTHERS  
(SEE NOTE 2, SHEET 6)



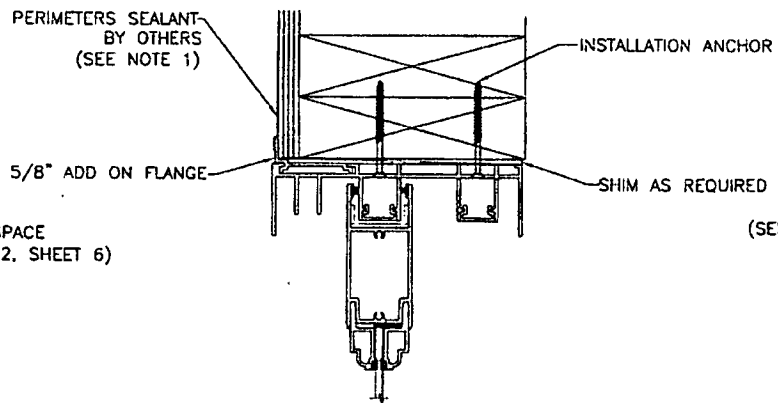
SECTION AA  
2 TRACK POCKET JAMB SHOWN,  
CAN BE A 3 TRACK OR  
4 TRACK POCKET JAMB

2X WOOD FRAMING  
BY OTHERS

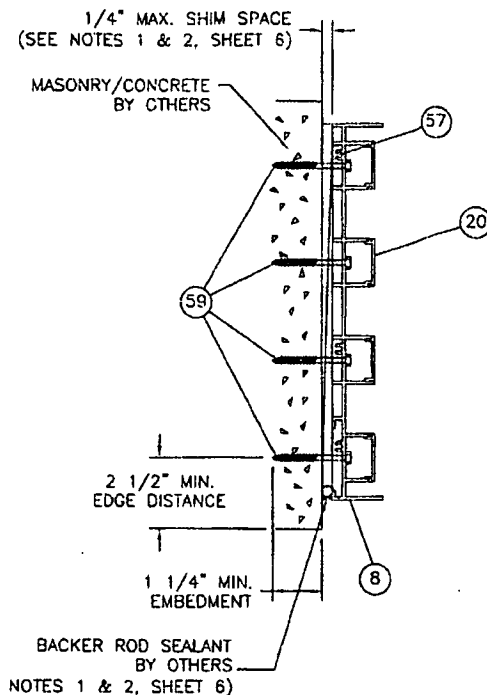
BACKER ROD SEALANT  
BY OTHERS (SEE NOTE  
2, SHEET 6)



OPTIONAL FIN CONFIGURATION



OPTIONAL FLANGE CONFIGURATION



SECTION Y  
4 TRACK POCKET JAMB SHOWN,  
CAN BE A 2 TRACK OR  
3 TRACK POCKET JAMB

NOTES:

- 1) APPLY GENEROUS AMOUNT OF SEALANT, BY OTHERS, TO BACK OF FIN & FLANGE BEFORE SETTING FRAME IN OPENING.
- 2) NO ANCHORS SHALL BE PLACED THRU ADD ON FIN & FLANGE.

SYM	REVISION	DATE	BY
A	CHANGED DIMENSIONS TO MATCH KEYSTONE CERT.	10/17/05	DRL

 10/18/05 Eric S. Nielsen Florida P. E. No. 41323 Product Technology Corporation 1150 Louisiana Ave., Suite 5 Winter Park, Florida 32789 FBPE Certificate of Authorization NO. 8881	<b>WinDoor</b> INCORPORATED 1978 STANHOME WAY ORLANDO, FL 32804 Phone: 407.622.8334 Fax: 407.622.8335 <a href="http://www.winwindow.com">www.winwindow.com</a>
	TITLE: SERIES 8000 SGD 5'0 X 10'0 PANELS NON-IMP CROSS SECTIONS PREPARED BY: <b>PTC</b> Product Technology Corporation Phone: 407.622.8334 Fax: 407.622.8335
DRN: BB SCALE: NTS REV: A	DATE: 09/14/05 DWG. NO: WIND0093 SHEET: 19 OF 20

NON - REINFORCED UNITS DESIGN PRESSURE TABLE					
PANEL SIZES	POSITIVE				NEGATIVE
	1 1/2" SILL RISER	2 1/4" SILL RISER	3" SILL RISER	3 1/2" SILL RISER	ALL SILL RISERS
30 X 80	35	50	70	88	-166
36 X 80	35	50	70	86	-145
42 X 80	35	50	70	86	-131
48 X 80	35	50	70	88	-121
60 X 80	35	50	70	86	-106
30 X 84	35	50	70	86	-157
36 X 84	35	50	70	86	-136
42 X 84	35	50	70	86	-122
48 X 84	35	50	70	86	-113
60 X 84	35	50	70	83	-100
30 X 96	35	50	70	88	-133
36 X 96	35	50	70	86	-115
42 X 96	35	50	70	86	-103
48 X 96	35	50	70	78	-94
60 X 96	35	50	68	68	-82
30 X 108	35	50	70	86	-116
36 X 108	35	50	70	83	-100
42 X 108	35	50	70	74	-89
48 X 108	35	50	67	67	-80
60 X 108	35	50	58	58	-69
30 X 120	35	50	70	86	-103
36 X 120	35	50	70	74	-88
42 X 120	35	50	65	65	-78
48 X 120	35	50	59	59	-70
60 X 120	35	50	50	50	-60

REINFORCED UNITS DESIGN PRESSURE TABLE					
PANEL SIZES	POSITIVE				NEGATIVE
	1 1/2" SILL RISER	2 1/4" SILL RISER	3" SILL RISER	3 1/2" SILL RISER	ALL SILL RISERS
30 X 80	35	50	70	86	-210
36 X 80	35	50	70	86	-178
42 X 80	35	50	70	86	-147
48 X 80	35	50	70	86	-136
60 X 80	35	50	70	86	-124
30 X 84	35	50	70	86	-209
36 X 84	35	50	70	86	-170
42 X 84	35	50	70	86	-138
48 X 84	35	50	70	86	-125
60 X 84	35	50	70	86	-117
30 X 96	35	50	70	86	-178
36 X 96	35	50	70	86	-154
42 X 96	35	50	70	86	-119
48 X 96	35	50	70	86	-104
60 X 96	35	50	70	86	-99
30 X 108	35	50	70	86	-155
36 X 108	35	50	70	88	-133
42 X 108	35	50	70	86	-108
48 X 108	35	50	70	86	-90
60 X 108	35	50	70	81	-84
30 X 120	35	50	70	86	-137
36 X 120	35	50	70	80	-118
42 X 120	35	50	70	86	-101
48 X 120	35	50	70	81	-81
60 X 120	35	50	70	70	-80

SYM	REVISION	DATE	BY
A	CHANGED DIMENSIONS TO MATCH KEYSTONE CERT.	10/17/05	DRL

*ESM*  
10/18/05  
Eric S. Nielsen  
Florida P. E. No. 41323  
Product Technology Corporation  
1150 Louisiana Ave., Suite 6  
Winter Park, Florida 32789  
FBPE Certificate of Authorization NO. 8881

<b>WinDoor</b> INCORPORATED		1978 STANHOPE WAY ORLANDO, FL 32804 Phone (407) 822-8400 Fax (407) 822-8500 www.windoorinc.com	
TITLE: SERIES 8000 SGD 5'0" X 10'0" PANELS NON-IMP DESIGN PRESSURE CHARTS			
PREPARED BY:	DATE:	SCALE:	DATE:
<b>PTC</b> Product Technology Corporation	BB	NTS	09/14/05
REV:	A	DWG. NO.:	WIND0093
SHEET:		20 OF 20	
Phone 407.822.8334		Fax 407.822.8335	



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 11-16-07, 2007

Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8757	Donaldson	ROOF FINAL	PASS	CLOSE
5	35 N. RIVER A.P. BLOG COOP.			INSPECTOR:
8468	Manano	Final	FAIL	
1	23 Middle Rd Heaton Roof.			INSPECTOR: <i>AW</i>
8746	Nohejl	Final	FAIL	
2	26 W High Pt Nis Air			INSPECTOR: <i>AW</i>
Tree	Holland	Tree	PASS	
3	16 N Ridgeway Rd OB			INSPECTOR: <i>AW</i>
6991	Donaldson	Final-dock repair	PASS	CLOSE
5	35 N River Rd O/B			INSPECTOR: <i>AW</i>
8148	McGovern	Stemwall footer	FAIL	NEED COMP. TEST
6	2 Tuxanda Driftwood			INSPECTOR: <i>AW</i>
<del>8762</del>	<del>MSC...</del>	<del>gasline rough</del>	<del>PASS</del>	
8702	22 Palmetto	INTERIOR DEMO	PASS	CLOSE
4	Line Details			INSPECTOR: <i>AW</i>

OTHER:

20A  
30A

*Handwritten signature*

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  ~~Tuesday~~  Wed  Fri 9-1, 2008 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
884A	LIBITSKY	FRONT		
	3 RIO VISTA	DOOR ROUGH	Pass	
	OWNER/GUILDER			INSPECTOR: <i>[Signature]</i>
8145	Guisine	UG <del>WATER</del>		
	8 Castle Hill	PIPE	Pass	
				INSPECTOR: <i>[Signature]</i>
8142	<del>McCombs</del>	<del>FINE</del>	<del>Pass</del>	<del>Close</del>
	22 PALMETTO	<del>GAS FINE</del>	<del>Pass</del>	<del>Close</del>
	FINE DETAILS			INSPECTOR: <i>[Signature]</i>
8144	Lingamfelter	final dock		
	17 mandalay rd		Pass	Close
				INSPECTOR: <i>[Signature]</i>
Tree	Williams	Tree		
	110 Henry Sewall Way		Pass	N/c Dead / Dying Hickory
	OB			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: \_\_\_\_\_

**9834**

**REPLACE GARAGE  
DOOR**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9834	DATE ISSUED:	JULY 14, 2011
SCOPE OF WORK:	REPLACE GARAGE DOOR		
CONDITIONS :			
CONTRACTOR:	D&D GARAGE DOOR		
PARCEL CONTROL NUMBER:	013841010-000-002115	SUBDIVISION	PALMETTO PK -L 1
CONSTRUCTION ADDRESS:	22 PALMETTO DR		
OWNER NAME:	MC ALPIN		
QUALIFIER:	DENVER MILLER	CONTACT PHONE NUMBER:	460-7630

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: 9834

9834

Date: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: Dan McAlpin Phone (Day) 305-494-1392 (Fax) \_\_\_\_\_

Job Site Address: 22 Palmetto Dr City: Stuart State: FL Zip: 34996

Legal Description Palmetto Park Lot 1 Parcel Control Number: 01-38-41-010-000-00211-5

Owner Address (if different): 5 Pineapple Ln City: Stuart State: FL Zip: 34996

Scope of work (please be specific): Replace Garage Door

WILL OWNER BE THE CONTRACTOR? (If yes, Owner Builder questionnaire must accompany application) YES \_\_\_\_\_ NO [X]

Has a Zoning Variance ever been granted on this property? YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_ (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications) Estimated Value of Improvements: \$ 1465.00 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out) Is subject property located in flood hazard area? VE10 AE9 AE8 X FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY: Estimated Fair Market Value prior to improvement: \$ (Fair Market Value of the Primary Structure only, Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: D+D Garage Doors Phone: 4160-7630 Fax: 4160-7635

Street: 500 Kitterman Rd City: Port St Lucie State: FL Zip: 34952

State License Number: \_\_\_\_\_ OR: Municipality: MCGD03359 License Number: \_\_\_\_\_

LOCAL CONTACT: Connie Grace Phone Number: 772-460-7630

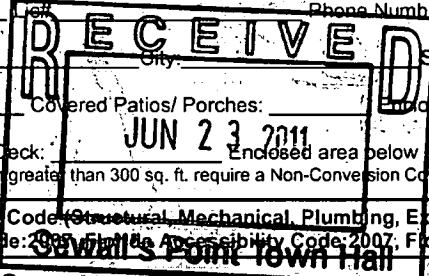
DESIGN PROFESSIONAL: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/ Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_

Carport: \_\_\_\_\_ Total under Roof \_\_\_\_\_ Elevated Deck: \_\_\_\_\_ Enclosed area below 3FE: \_\_\_\_\_ \* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007 National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007 Florida Fire Prevention Code 2007



NOTICES TO OWNERS AND CONTRACTORS:

- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

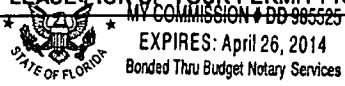
\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required) OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED) [Signature] State of Florida, County of Martin This the 12th day of June, 2011 by Daniel McAlpin who is personally known to me or produced as identification. [Signature] My Commission Expires: [Signature]

CONTRACTOR SIGNATURE: (required) [Signature] On State of Florida, County of St Lucie This the 21 day of June 20 11 by Denver Miller who is personally known to me or produced as identification. [Signature] My Commission Expires: DD 985525 / April 26, 2014

SINGLE FAMILY PERMITS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



**Martin County, Florida  
Laurel Kelly, C.F.A**

*generated on 6/23/2011 9:48:39 AM EDT*

**Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
01-38-41-010-000-00211-5	17775	<del>22 PALMETTO DR</del> SEWALL'S POINT	\$1,535,120	6/18/2011

**Owner Information**

<b>Owner(Current)</b>	<del>MCCRAWY KIM L</del>
<b>Owner/Mail Address</b>	22 PALMETTO DR STUART FL 34996
<b>Sale Date</b>	10/30/2009
<b>Document Book/Page</b>	2422 395
<b>Document No.</b>	2178220
<b>Sale Price</b>	100

**Location/Description**

<b>Account #</b>	17775	<b>Map Page No.</b>	SP-04
<b>Tax District</b>	2200	<b>Legal Description</b>	PALMETTO PARK, PT OF LOT 1, UNINCLUDED, BEG 170' W OF NW COR LOT 3, SELY 159.77', SWLY ALG S/LN LT 1 240' M/L TO ST LUCIE RIVER, NLY ALG WTR 175' TO N/LN LT 1, E 174 M/L TO POB (LESS N 35')
<b>Parcel Address</b>	22 PALMETTO DR, SEWALL'S POINT		
<b>Acres</b>	.6170		

**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	193170 LUCINDIA,RIVERVIEW(ST LUC.RVR)

**Assessment Information**

<b>Market Land Value</b>	\$1,187,500
<b>Market Improvement Value</b>	\$347,620
<b>Market Total Value</b>	\$1,535,120

This Document Prepared By and Return to:  
Thomas A. Fogt, Esq.  
700 Colorado Avenue  
Stuart, FL 34994

Parcel ID Number: 1-38-41-010-000-00211.50000

# Warranty Deed

This Indenture, Made this 12 day of July, 2011 A.D., Between  
Kim L. McCravy, a single woman

of the County of Martin, State of Florida, grantor, and  
Daniel McAlpin and Pamela McAlpin, husband and wife

whose address is: 22 Palmetto Drive, Stuart, FL 34996

of the County of Martin, State of Florida, grantees.

**Witnesseth** that the GRANTOR, for and in consideration of the sum of

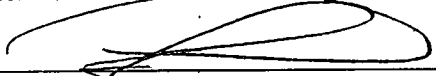
-----**TEN DOLLARS (\$10)**----- DOLLARS,  
and other good and valuable consideration to GRANTOR in hand paid by GRANTEES, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said GRANTEES and GRANTEES' heirs, successors and assigns forever, the following described land, situate, lying and being in the County of Martin State of Florida to wit:


**See attached for Legal Description.**


and the grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever

**In Witness Whereof**, the grantor has hereunto set her hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

  
\_\_\_\_\_  
Printed Name: Thomas A. Fogt  
Witness

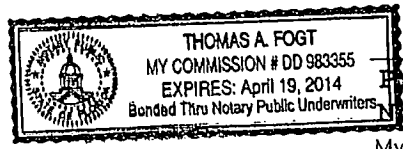
  
\_\_\_\_\_  
Printed Name: Kim L. McCravy (Seal)  
P.O. Address: 22 Palmetto Drive, Stuart, FL 34996

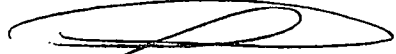
  
\_\_\_\_\_  
Printed Name: Candace C. Harman  
Witness

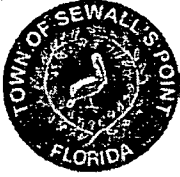
STATE OF Florida  
COUNTY OF Martin

The foregoing instrument was acknowledged before me this 12 day of July, 2011 by  
Kim L. McCravy, a single woman

she is personally known to me or she has produced her Florida driver's license as identification.



  
\_\_\_\_\_  
Printed Name: THOMAS A. FOGT  
Notary Public  
My Commission Expires:



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY

TABLE 1609.6(2)

ADJUSTMENT FACTOR FOR BUILDING HEIGHT AND EXPOSURE, (2)

MEAN ROOF HEIGHT (feet)	EXPOSURE		
	B	C	D
15	1.00	1.21	1.47
20	1.00	1.29	1.55
25	1.00	1.35	1.61
30	1.00	1.40	1.66
35	1.05	1.45	1.70
40	1.09	1.49	1.74
45	1.12	1.53	1.78
50	1.16	1.56	1.81
55	1.19	1.59	1.84
60	1.22	1.62	1.87

For SI: 1 foot = 304.8mm

FORMULA FOR DESIGN PRESSURES

Example: 25 ft mean roof height, exposure C  
 16 X 7 Door 140mph.

Pressure	Exposure C multiplier	Req. Design Pressure
29.7	X 1.35	= +40.095
-33.1	X 1.35	= -44.685

Garage Door must be rated at +40.1/-44.68 minimum. **This formula must be completed for exposure C:**

Pressure	Exposure C multiplier	Req. Design Pressure
29.7	X 1.21	= 35.94 (+)
33.1	X 1.21	= 40.06 (-)

TABLE 1609.6(1)

GARAGE DOOR WIND LOADS FOR A BUILDING WITH A MEAN ROOF HEIGHT OF 30 FEET LOCATED IN EXPOSURE B (psf)

EFFECTIVE WIND AREA		Basic Wind Speed V (mph - 3 second gust)									
Width (ft)	Height (ft)	85	90	100	110	120	130	140	150		
Roof Angle 0-10 degrees											
8	8	10.5 -11.9	11.7 -13.3	14.5 -16.4	17.5 -19.9	20.9 -23.6	24.5 -27.7	28.4 -32.2	32.6 -36.9		
10	10	10.1 -11.4	11.4 -12.7	14.0 -15.7	17.0 -19.0	20.2 -22.7	23.7 -26.6	27.5 -30.8	31.6 -35.4		
14	14	10.0 -10.7	10.8 -12.0	13.3 -14.8	16.1 -17.9	19.2 -21.4	22.5 -25.1	26.1 -29.1	30.0 -33.4		
Roof Angle > 10											
9	7	11.4 -12.9	12.6 -14.5	15.8 -17.9	19.1 -21.8	22.8 -25.8	26.7 -30.2	31.0 -35.1	35.6 -40.2		
16	7	10.9 -12.2	12.3 -13.7	15.2 -16.9	18.3 -20.4	21.8 -24.3	25.6 -28.5	29.7 -33.1	34.1 -38.0		

For SI: 1 Square foot = 0.929 Sqm, 1mpg = 0.447 m/s, 1psf = 47.88 N/sqm

- For effective areas or wind speeds between those given above the load may be interpolated, otherwise use the load associated with the lower effective area.
- Table values shall be adjusted for height and exposure by multiplying by adjustment coefficients in Table 1606.2D.
- Plus and minus signs signify pressures going toward and away from the building surfaces.
- Negative pressures assume door has 2 feet of width in building's end zone.

1609.6 Garage doors. Pressures from Table 1609.6(1) for wind loading actions on garage doors for Buildings designed as enclosed shall be permitted.





**MIAMI-DADE COUNTY**  
BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 372-6339

**NOTICE OF ACCEPTANCE (NOA)**

[www.miamidade.gov/buildingcode](http://www.miamidade.gov/buildingcode)

**DAB Door Company, Inc.**  
12195 NW 98<sup>th</sup> Avenue  
Hialeah Gardens, FL 33018

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

**DESCRIPTION: 16'-2" Wide x 16' High Steel Sectional Garage Door w/ Window Lite Option**

**APPROVAL DOCUMENT:** Drawing No. 02-21, titled "Sectional Garage Door", dated 09/10/02, with last revision E dated 01/06/10, sheets 1 through 5 of 5, prepared by Al-Farooq Corporation, signed and sealed by Arshad Viqar, P.E., bearing the Miami-Dade County Product Control renewal stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING: Large and Small Missile Impact Resistant**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 09-0128.02 and consists of this page 1 and evidence pages E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by Carlos M. Utrera, P.E.



*[Handwritten Signature]*  
03/11/10

NOA No. 10-0216.04  
Expiration Date: July 21, 2015  
Approval Date: March 31, 2010  
Page 1

**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

**A. DRAWINGS**

1. Drawing No. **02-21**, titled "Sectional Garage Door", dated 09/10/02, with last revision E dated 01/06/10, sheets 1 through 5 of 5, prepared by Al-Farooq Corporation, signed and sealed by Arshad Viqar, P.E.

**B. TESTS**

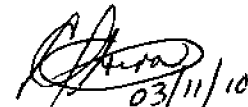
1. Test Report on Large Missile Impact Test and Cyclic Wind Pressure Test, of "Sectional Residential Door with Windows", prepared by Hurricane Engineering & Testing Inc., Report No. **HETI 03-1328**, dated 07/15/03, signed and sealed by Rafael E. Droz-Seda, P.E.
2. Test Report on Uniform Static Air Pressure Test, of "Sectional Residential Door" prepared by Hurricane Engineering & Testing Inc., Report No. **HETI 03-1329**, dated 07/15/03, signed and sealed by Rafael E. Droz-Seda, P.E.
3. Test Report on Tensile Test per ASTM E-8 of "Sectional Residential Door (skin)", prepared by Hurricane Engineering & Testing Inc, Report No. **HETI 03-T078**, dated 10/31/03, signed and sealed by Rafael E. Droz-Seda, P.E.  
*"Submitted under NOA # 05-0228.02"*
4. Test report on Salt Spray (Corrosion) Test per ASTM B 117 of a painted G-40 steel panels, prepared by Celotex Corporation, Test Report No. **258592**, dated 08/17/98, signed by W. A. Jackson, P.E.  
*"Submitted under NOA # 03-0210.04"*

**C. CALCULATIONS**

1. Anchor verification calculations prepared by Al-Farooq Corporation, complying with F.B.C 2007, dated 12/19/08, signed and sealed by Humayoun Farooq, P.E.  
*"Submitted under NOA # 09-0128.02"*

**D. QUALITY ASSURANCE**

1. Miami Dade Building Code Compliance Office (BCCO)



---

Carlos M. Utrera, P.E.  
Product Control Examiner  
NOA No. 10-0216.04  
Expiration Date: July 21, 2015  
Approval Date: March 31, 2010

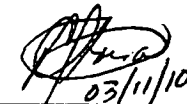
NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

**E. MATERIAL CERTIFICATIONS**

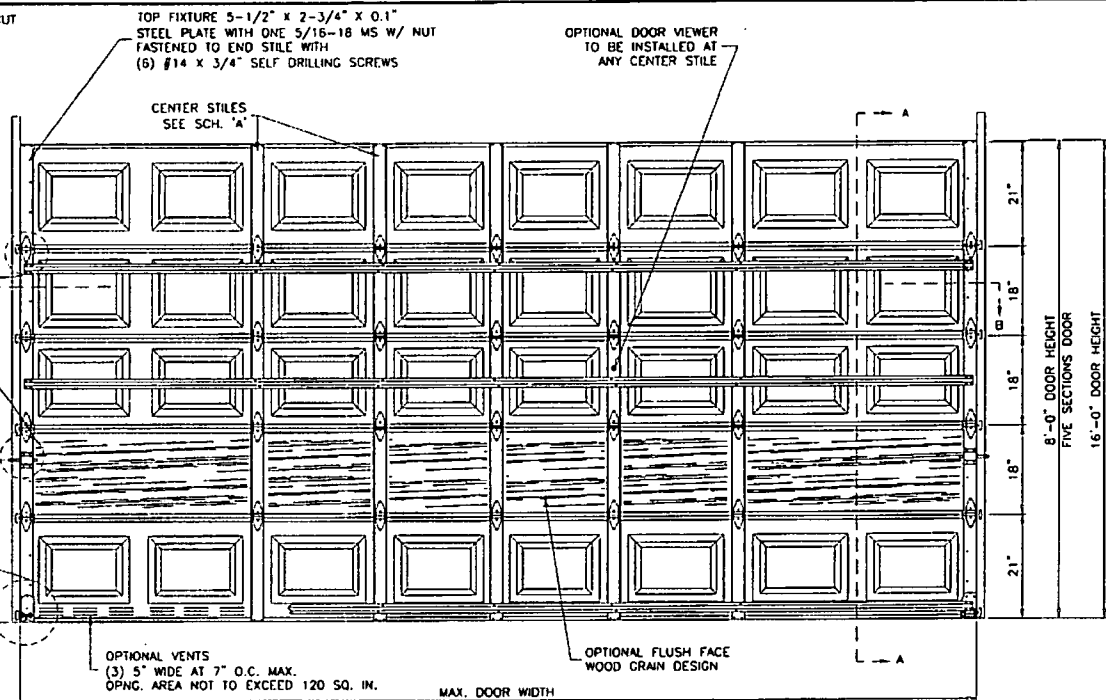
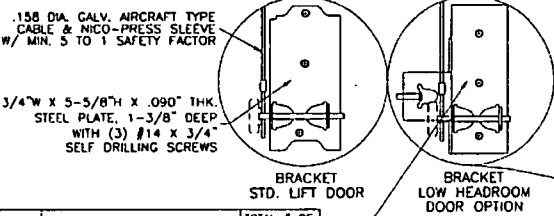
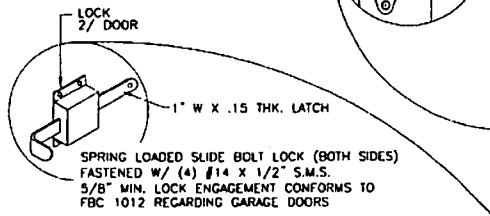
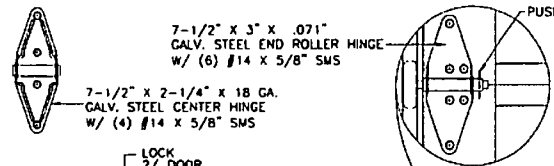
1. Notice of Acceptance No. **08-0305.02**, issued to SABIC Innovative Plastics, for their Lexan Sheet Products, approved on 04/24/08 and expiring on 07/17/13.
  2. Notice of Acceptance No. **07-1016.07**, issued to Insulfoam, LLC, for their Insulfoam Expanded Polystyrene Insulation, approved on 11/29/07 and expiring on 11/29/12.
  3. Notice of Acceptance No. **07-1107.08**, issued to Dyplast Products, LLC, for their Expanded Polystyrene Block Type Insulation, approved on 02/28/08 and expiring on 01/11/12.
  4. Notice of Acceptance No. **07-0301.10**, issued to Dyplast Products, LLC, for their Dyplast ISO-C1 Polyisocyanurate Insulation, approved on 06/07/07 and expiring on 01/11/12.
- 
1. Test Report on Accelerated Weathering Using Xenon Arc Light Apparatus Test per ASTM G155 of "PVC Extrusion Material", prepared by Hurricane Engineering & Testing, Inc., Report No. **HETI 04-A002**, dated 09/27/04, signed and sealed by Rafael E. Droz-Seda, P.E.
  2. Test Reports on Tensile Test per ASTM D638 of "PVC Extrusion Material", prepared by Hurricane Engineering & Testing Inc., Report No. **HETI 04-T251**, dated 11/29/04 signed and sealed by I. Ghia, P.E.
  3. Test Report on Self-Ignition Temperature Test, Rate of Burn Test and Smoke Density Test of "REHAU non-foam PVC extrusion material", prepared by ETC Laboratories, Report No. **04-761-15019.0**, dated 05/06/04, signed and sealed by J. L. Doldan, P.E.  
*"Submitted under NOA # 05-0228.02"*

**F. STATEMENTS**

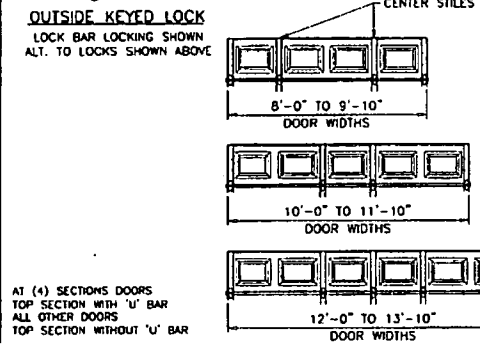
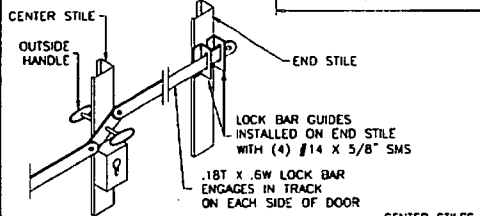
1. Change of engineer letter issued by Al-Farooq Corporation, dated 01/08/10, signed and sealed by Arshad Viqar, P.E.
  2. No change to product letter issued by DAB Door Company, Inc, dated 02/09/10, signed by Roseanne Berger.
- 
1. Statement letter of code conformance issued by Al-Farooq Corporation, dated 12/05/08, signed and sealed by Humayoun Farooq, P.E.
  2. Statement letter of no financial interest issued by Al-Farooq Corporation, dated 12/05/08, signed and sealed by Humayoun Farooq, P.E.  
*"Submitted under NOA # 09-0128.02"*



Carlos M. Utrera, P.E.  
Product Control Examiner  
NOA No. 10-0216.04  
Expiration Date: July 21, 2015  
Approval Date: March 31, 2010



DOOR HEIGHT	CONSISTS OF		TOTAL # OF 'U' BARS AT EACH DOOR
6'-6"	2 SECTIONS 18"	2 SECTIONS 21"	3
6'-9"	1 SECTION 18"	3 SECTIONS 21"	
7'	4 SECTIONS 21"	-	
7'-3"	-	-	
7'-6"	5 SECTIONS 18"	-	
7'-9"	4 SECTIONS 18"	1 SECTION 21"	
8'	3 SECTIONS 18"	2 SECTIONS 21"	
8'-3"	2 SECTIONS 18"	3 SECTIONS 21"	
8'-6"	1 SECTION 18"	4 SECTIONS 21"	
8'-9"	5 SECTIONS 18"	-	
9'	6 SECTIONS 18"	-	
9'-3"	5 SECTIONS 18"	1 SECTION 21"	4
9'-6"	4 SECTIONS 18"	2 SECTIONS 21"	
9'-9"	3 SECTIONS 18"	3 SECTIONS 21"	
10'	2 SECTIONS 18"	4 SECTIONS 21"	
10'-3"	1 SECTION 18"	5 SECTIONS 21"	
10'-6"	6 SECTIONS 18"	-	
10'-9"	6 SECTIONS 18"	1 SECTION 21"	
11'	5 SECTIONS 18"	2 SECTIONS 21"	
11'-3"	4 SECTIONS 18"	3 SECTIONS 21"	
11'-6"	3 SECTIONS 18"	4 SECTIONS 21"	
11'-9"	2 SECTIONS 18"	5 SECTIONS 21"	
12'	1 SECTION 18"	6 SECTIONS 21"	
12'-3"	7 SECTIONS 18"	-	
12'-6"	6 SECTIONS 18"	2 SECTIONS 21"	
12'-9"	5 SECTIONS 18"	3 SECTIONS 21"	
13'	4 SECTIONS 18"	4 SECTIONS 21"	
13'-3"	3 SECTIONS 18"	5 SECTIONS 21"	
13'-6"	2 SECTIONS 18"	6 SECTIONS 21"	
13'-9"	1 SECTION 18"	7 SECTIONS 21"	
14'	8 SECTIONS 18"	-	
14'-3"	8 SECTIONS 18"	3 SECTIONS 21"	
14'-6"	5 SECTIONS 18"	4 SECTIONS 21"	
14'-9"	4 SECTIONS 18"	5 SECTIONS 21"	
15'	3 SECTIONS 18"	6 SECTIONS 21"	
15'-3"	2 SECTIONS 18"	7 SECTIONS 21"	
15'-6"	1 SECTION 18"	8 SECTIONS 21"	
15'-9"	9 SECTIONS 21"	-	
16'	8 SECTIONS 18"	4 SECTIONS 21"	



SCHEDULE 'A'

DOOR WIDTHS	# OF CENTER STILES
8'-0" TO 9'-10"	2
10'-0" TO 11'-10"	2
12'-0" TO 13'-10"	3
14'-0" TO 15'-10"	4
15'-11" TO 16'-2"	5

INSIDE ELEVATION  
RAISED PANEL EMBOSSED DOOR

DAB DOOR MODEL 824  
MAX. SIZE 16'-2" WIDE X 16'-0" HIGH  
24 GA. ROLL FORMED STEEL

DESIGN PRESSURE RATING  $\leq \pm 36.0$  PSF  
WIND SPEED  $\leq 130$  MPH  
ICE LOAD  $\leq 44.0$  PSF

THIS PRODUCT IS RATED FOR LARGE MISSILE IMPACT

GENERAL NOTES

1. THIS PRODUCT HAS BEEN DESIGNED AND TESTED TO COMPLY WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 2007 EDITION INCLUDING HIGH VELOCITY HURRICANE ZONE.
2. ANCHORS SHALL BE AS LISTED, SPACED AS SHOWN ON DETAILS. ANCHOR EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR STUCCO.
3. ALL BOLTS, NUTS AND WASHERS SHALL BE ZINC PLATED CARBON STEEL.
4. ANCHORING OR LOADING CONDITIONS OTHER THAN THOSE SHOWN IN THESE DETAILS ARE NOT PART OF THIS APPROVAL.
5. A LOAD DURATION INCREASE IS USED IN DESIGN OF ANCHORS INTO WOOD ONLY.

Engr: ARSHAD VIGAR  
CIVIL  
FLA. PE # 38863  
C.A.N. 3338

*Arshad Vigar*

JAN 08 2010

PRODUCT RENEWED as complying with the Florida Building Code  
Acceptance No. 10-0216-04  
Expiration Date 12/31/2015

By: *[Signature]*  
Miscellaneous Product Control Division

**afC**

**AL-FAROOQ CORPORATION**  
ENGINEERS & PRODUCT DEVELOPMENT  
1238 S.W. 87 AVE  
MIAMI, FLORIDA 33174  
TEL: (305) 284-8100 FAX: (305) 283-0978  
GARAGE\02-21(DAB)

**SECTIONAL GARAGE DOOR**

**DAB DOORS INC.**  
12195 N.W. 98 TH. AVE.  
HIALLAH GARDENS, FL. 33018  
TEL: (305) 556 - 6824

REV. DATE	BY	DESCRIPTION
A 12/09/07	REV. PER BIDD COMMENTS	
B 01/18/08	DOORS W/ WOOD OPTION ADDED	
C 05/20/08	REV. PER BIDD COMMENTS	
D 12/17/08	UPDATED FOR 2007 FBC	
E 01/06/10	LEADR. NAME CHANGED	

REV: 09-10-02

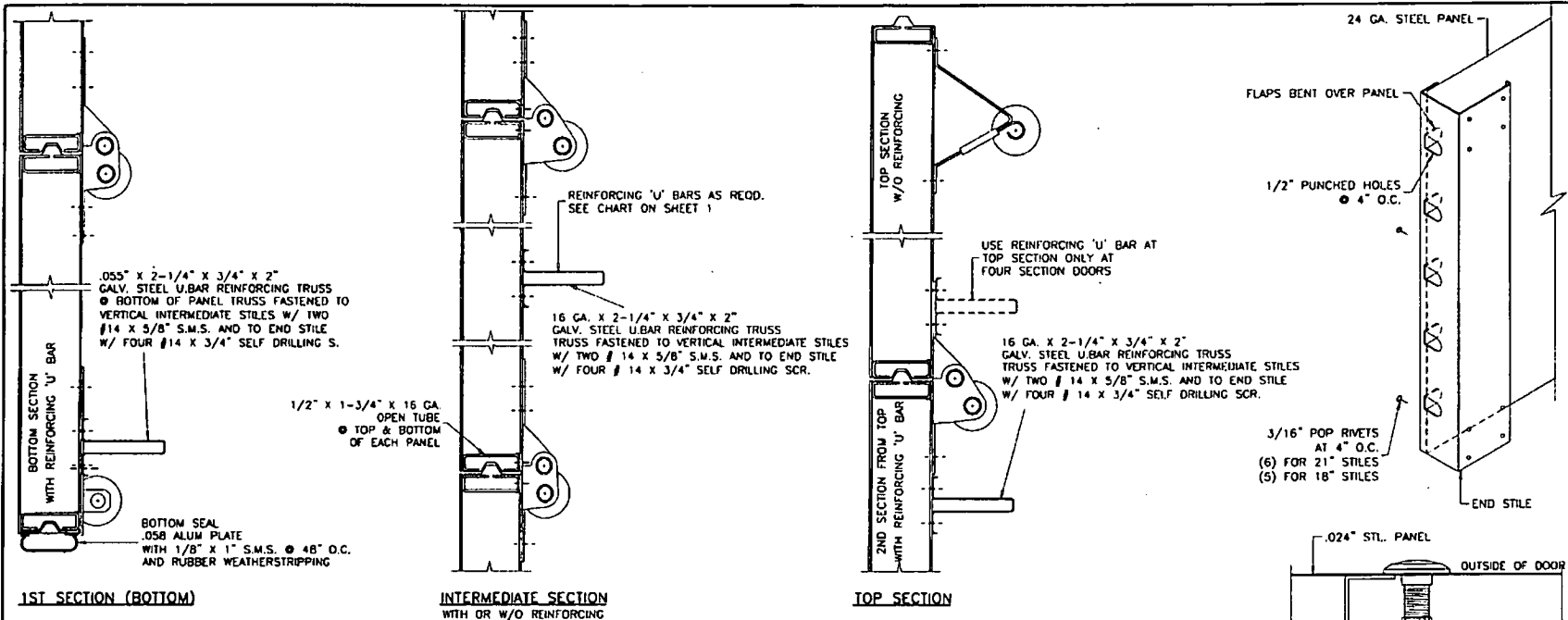
Scale: 1/2" = 1'-0"

Dr. BY: NAME

CHK. BY:

drawing no. **02-21**

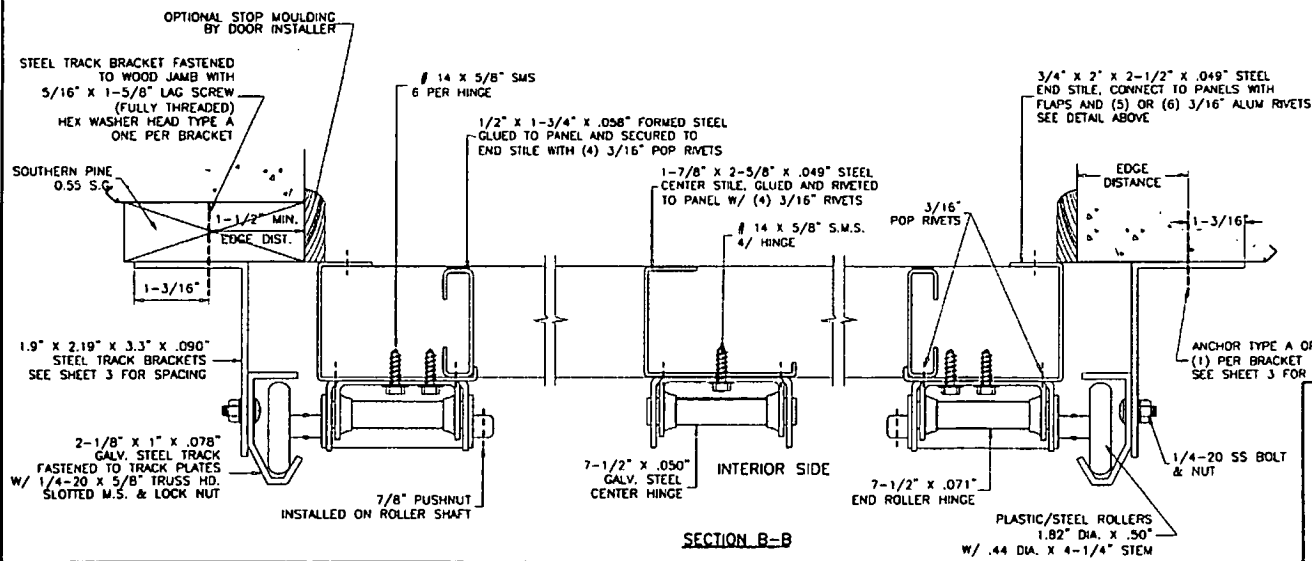
sheet 1 of 5



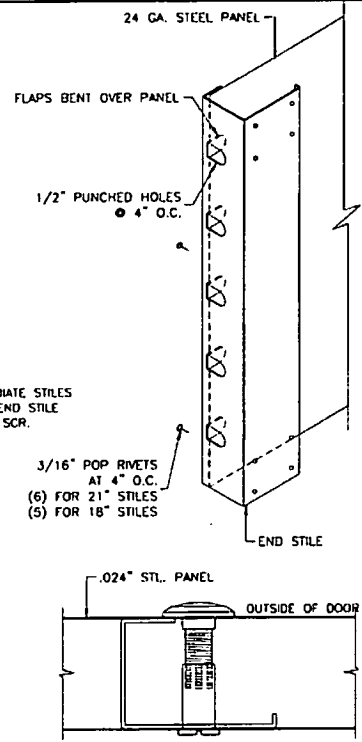
1ST SECTION (BOTTOM)

INTERMEDIATE SECTION WITH OR W/O REINFORCING

TOP SECTION



SECTION B-B



SOLID BRASS DOOR VIEWER  
 BY 'SCHLAGE SECURITY HARDWARE'  
 INSTALLED IN 9/16" DIA. HOLES IN CENTER STILE  
 POSITIONED AT EYE LEVEL

- ANCHORS:**  
 3/8" DIA. POWER-BOLT BY 'POWERS'  
 A) 2" MIN. EMBED INTO CONCRETE (3000 PSI MIN.)  
 2" MIN. EDGE DISTANCE  
 3/8" DIA. H.C. SLEEVE BY 'HILTI'  
 B) 1-1/4" MIN. EMBED INTO CONCRETE OR FILLED BLOCK  
 2-1/4" MIN. EDGE DISTANCE INTO CONCRETE  
 4" MIN. EDGE DISTANCE INTO FILLED BLOCK  
 CONCRETE f'c = 3000 PSI MIN.  
 C-90 GROUT FILLED BLOCK f'm = 2000 PSI MIN.

Engr: ARSHAD VIQAR  
 CIVIL  
 F.L.A. PE # 38863  
 C.A.N. 3538  
*Ar*  
 JAN 08 2010

PROJECT REVIEWED  
 as complying with the Florida  
 Building Code  
 Acceptance No. 10-076-04  
 Expiration Date 12/31/2015  
 By: *[Signature]*  
 Miami Dade Product Control  
 Division

**af c**  
**AL-FAROOQ CORPORATION**  
 ENGINEERS & PRODUCT DEVELOPMENT  
 1235 S.W. 87 AVE  
 MIAMI, FLORIDA 33174  
 TEL. (305) 264-8100 FAX (305) 262-6978  
 GARAGE\_02-21DAB

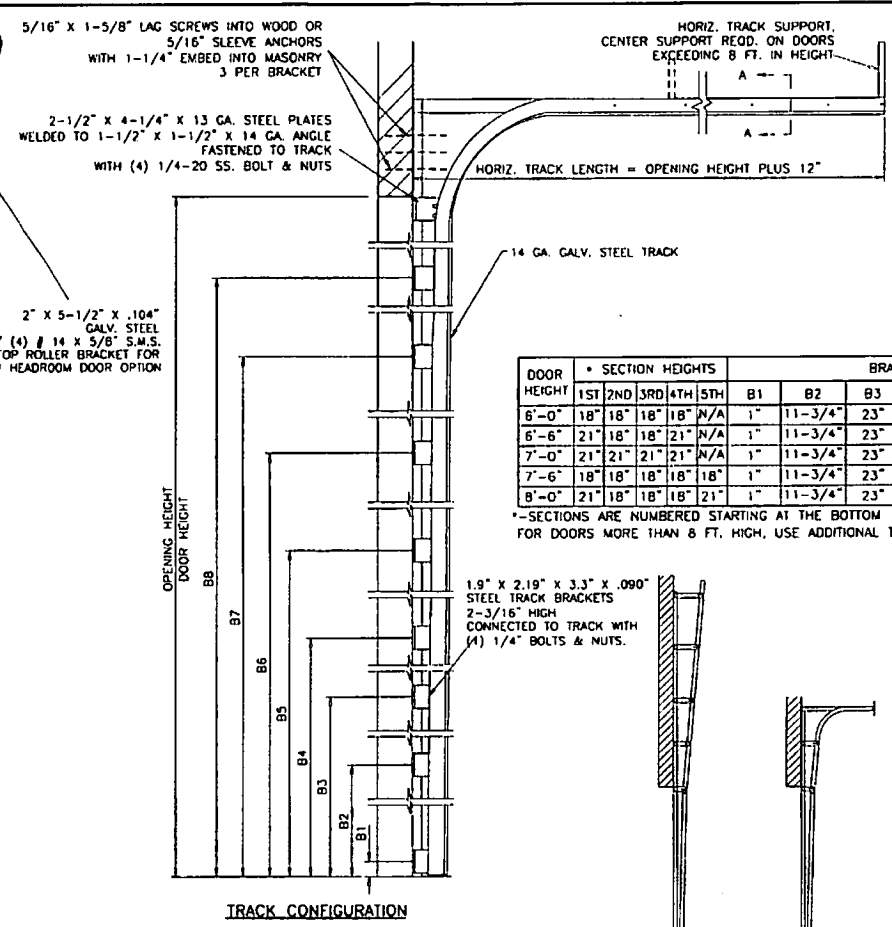
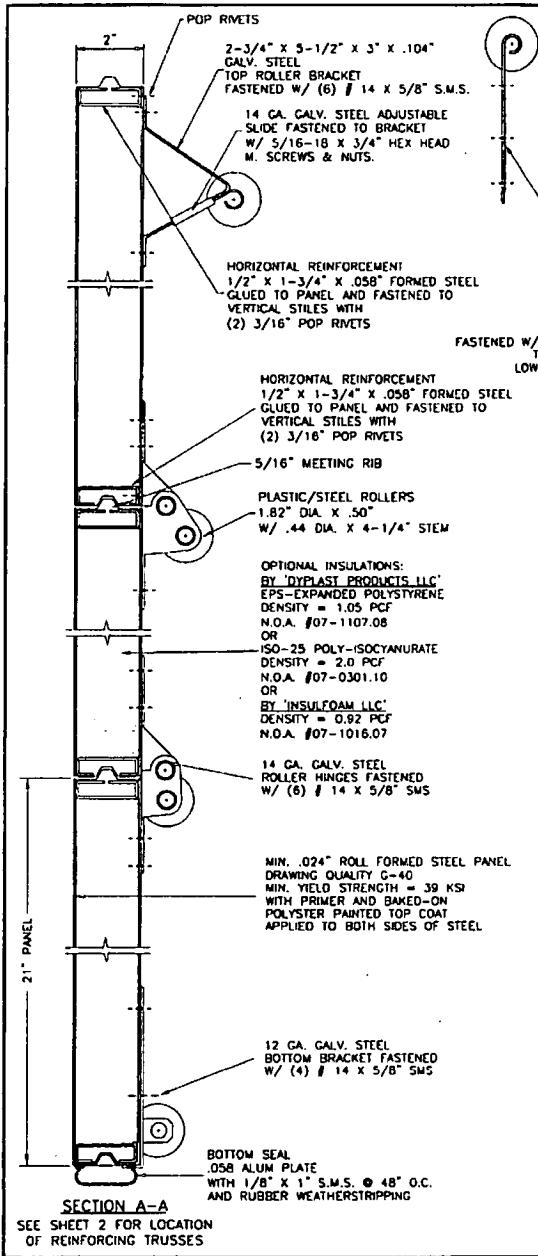
---

SECTIONAL GARAGE DOOR  
**DAB DOORS INC.**  
 12195 N.W. 98 TH. AVE.  
 HIALEAH GARDENS, FL. 33018  
 TEL. (305) 556 - 6824

REV. DATE	BY	DESCRIPTION
A	17.09.07	REV. PER BCCD COMMENTS NO CHANGE THIS SHEET
B	01.19.08	REV. PER BCCD COMMENTS
C	05.20.08	UPDATED FOR 2007 FBC
D	11.17.08	
E	01.06.10	ENGR. NAME CHANGED

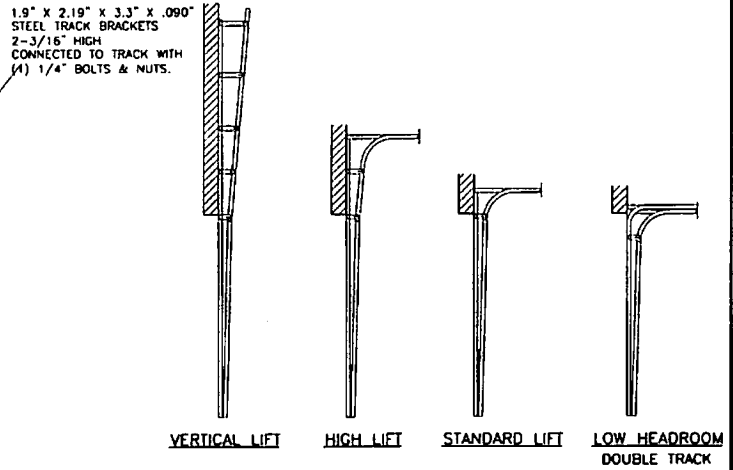
DATE: 09-10-02  
 SCALE: -  
 DRAWN BY: -  
 CHECKED BY: -

drawing no.  
**02-21**  
 sheet 2 of 5



DOOR HEIGHT	SECTION HEIGHTS					BRACKET PLACEMENTS							
	1ST	2ND	3RD	4TH	5TH	B1	B2	B3	B4	B5	B6	B7	B8
6'-0"	18"	18"	18"	18"	N/A	1"	11-3/4"	23"	34"	45"	56"	67"	-
6'-6"	21"	18"	18"	21"	N/A	1"	11-3/4"	23"	34"	45"	56"	67"	-
7'-0"	21"	21"	21"	21"	N/A	1"	11-3/4"	23"	34"	45"	56"	67"	-
7'-6"	18"	18"	18"	18"	18"	1"	11-3/4"	23"	34"	45"	56"	67"	78-1/4"
8'-0"	21"	18"	18"	18"	21"	1"	11-3/4"	23"	34"	45"	56"	67"	78-1/4"

\*-SECTIONS ARE NUMBERED STARTING AT THE BOTTOM FOR DOORS MORE THAN 8 FT. HIGH, USE ADDITIONAL TRACK BRACKETS AT 10" O.C.



**AVAILABLE TRACK OPTIONS**

Engr: ARSHAD VIGAR  
CML  
FLA. PE # 38863  
C.A.N. 3538

PRODUCT RENEWED  
as complying with the Florida  
Building Code  
Acceptance No 10-0216-04  
Expiration Date 07/21/2015

By: *[Signature]*  
Annual Trade Product Control  
12/1/04

JAN 06 2010

**afC**  
**AL-FAROQQ CORPORATION**  
ENGINEERS & PRODUCT DEVELOPMENT  
4326 S.W. 87 AVE  
MIAMI, FLORIDA 33174  
TEL: (305) 264-8100 FAX: (305) 263-9878  
GARAGE DOOR - 2 (DAB)

**SECTIONAL GARAGE DOOR**  
**DAB DOORS INC.**  
12195 N.W. 98 TH. AVE.  
HIALEAH GARDENS, FL. 33018  
TEL: (305) 556 - 6824

NO.	DATE	BY	DESCRIPTION
A	12/09/02	REV. PER BCDD COMMENTS	
B	01/19/03	NO CHANGE THIS SHEET	
C	05/30/05	REV. PER BCDD COMMENTS	
D	12/17/06	UPDATED FOR 2007 FBC	
E	01/08/10	ENGR. MAKE CHANGED	

date: 09-10-02  
scale: -  
dr. by: HAMD  
chk. by:

drawing no.  
**02-21**

sheet 3 of 5

NO.	DATE	DESCRIPTION
A	12/08/02	REV. PER BCCO COMMENTS
B	01/18/03	NO CHANGE THIS SHEET
C	05/20/04	REV. PER BCCO COMMENTS
D	12/17/08	UPDATED FOR 2007 IBC
E	01/08/10	EMPR. NAME CHANGED

**WOOD FRAME BUILDINGS**

STUD WALLS OR DOOR OPENING (NOT BY DAB DOORS) SHALL BE FRAMED SOLID BY NOT LESS THAN (3) 2X6 PRESSURE TREATED GRADE 2 SYP OR BETTER WOOD STUDS.  
STUD WALLS TO BE CONT. FROM FOOTING TO THE BEAM. ENGINEER OF RECORD TO VERIFY ADEQUACY OF THE SUPPORTING STRUCTURE.

**WOOD BUCK CONNECTION TO MASONRY**

TRACK SHALL BE SECURED WITH CONT. STEEL ANGLE TO PRESSURE TREATED 2X6 SYP WOOD JAMBS WHICH SHALL BE ANCHORED TO GROUTED REINFORCED MASONRY BLOCK WALL OR CONC. COLUMN WITH

1/4" ULTRACON BY 'ELCO' WITH SPACING OF  
16" O.C. INTO BLOCK WALL, WITH 2-1/4" MIN. EMBED  
13" O.C. INTO 3000 PSI CONCRETE, WITH 1-3/4" MIN. EMBED  
2-1/2" MIN. EDGE DISTANCE

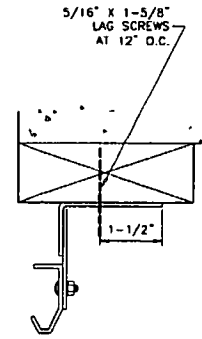
1/4" TAPPER BY 'POWERS' WITH SPACING OF  
11" O.C. INTO BLOCK WALL, WITH 1-1/2" MIN. EMBED  
13" O.C. INTO 3000 PSI CONCRETE, WITH 1-3/4" MIN. EMBED  
3" MIN. EDGE DISTANCE

3/8" CONFLX BY 'ELCO' OR  
3/8" LOT BY 'ITW' WITH SPACING OF  
23" O.C. INTO 3000 PSI CONCRETE, WITH 2-1/2" MIN. EMBED  
3" MIN. EDGE DISTANCE

3/8" HLC SLEEVE BY 'HILTI' WITH SPACING OF  
13" O.C. INTO BLOCK WALL, WITH 1-1/4" MIN. EMBED, 4" MIN. EDGE DIST.  
15" O.C. INTO 3000 PSI CONCRETE, WITH 1-1/4" MIN. EMBED AND  
2-1/2" MIN. EDGE DISTANCE

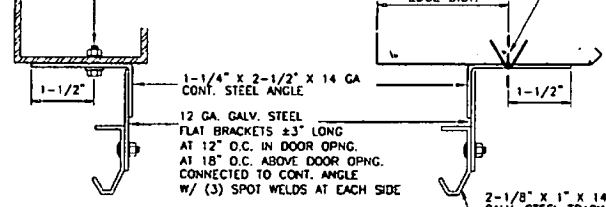
THE BLOCK WALL CELLS SHALL BE GROUT FILLED AND REINFORCED WITH FOUR # 5 BARS EXTENDING INTO FOOTING AND INTO THE BEAMS ALL BARS SHALL BE CONTINUOUS FROM THE BEAMS TO FOOTING.

**PREPARATION OF JAMBS BY OTHERS**



STEEL STRUCTURE BY OTHERS MUST SUPPORT THE LOADS IMPOSED BY DOOR SYSTEM

5/16" DIA. BOLTS WITH WASHER & NUT AT 12" O.C. MAX.



**ALTERNATE TRACK INSTALLATION**

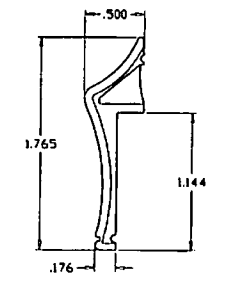
ANCHORS	STRUCTURE	ANCHOR SPACING		
		EMBED	SPACING	EDGE DIST.
3/8" HLC SLEEVE BY 'HILTI'	CONC.	1-1/4"	8"	2"
3/8" HLC SLEEVE BY 'HILTI'	FILLED BLOCK	1-1/4"	8"	4"
3/8" DYNABOLT BY 'ITW'	CONC.	1-1/2"	8"	2-1/2"
3/8" DYNABOLT BY 'ITW'	FILLED BLOCK	1-1/2"	8"	3-3/4"
3/8" POWER-BOLT BY 'POWERS'	CONC.	2"	8"	2"
3/8" SLEEVE-ALL BY 'SIMPSONS'	CONC.	1-1/2"	8"	3"

CONCRETE f'c = 3000 PSI MIN.  
C-90 GROUT FILLED BLOCK f'm = 2000 PSI MIN.

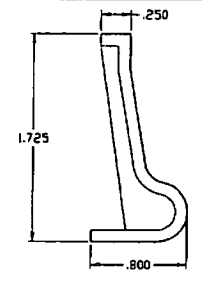
Engr: AHSHAD YOMR  
CML  
FLA. PE # 38863  
C.A.N. 3538  
*Amy*  
JAN 08 2010

PRODUCT RENEWED  
in compliance with the Florida  
Building Code  
Acceptance No 10-0216-04  
Expiration Date 01/01/2015  
By: *[Signature]*  
Miami Dade Product Control  
Division

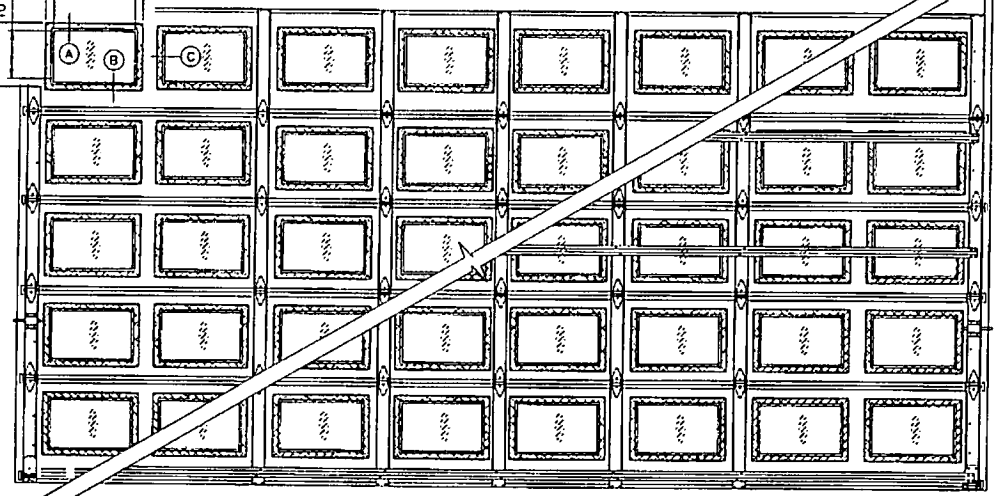
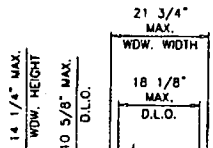
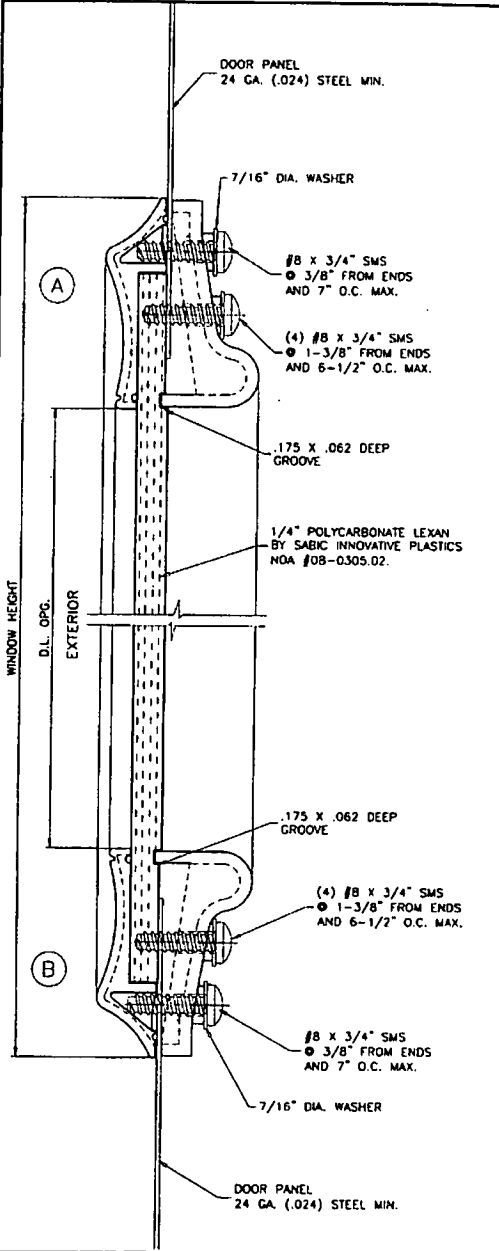
\* PLASTIC COMPLIES WITH SECTION 2612 OF FBC 2007 SEE EVIDENCE PAGE



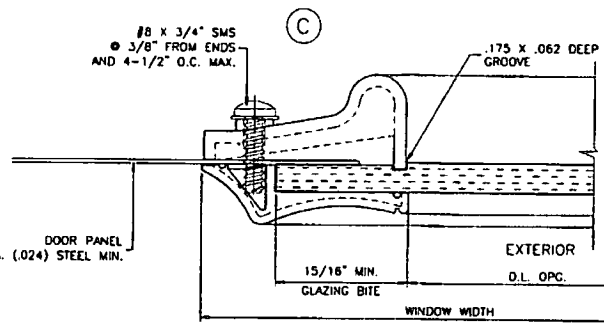
\* EXTERIOR FRAME  
RIGID PVC ONE PIECE INJECTION



\* INTERIOR FRAME  
RIGID PVC ONE PIECE INJECTION



INSIDE ELEVATION  
RAISED PANEL EMBOSSED DOOR WITH OPTIONAL WINDOWS



Engr: ARSHAD VIGAR  
CIVIL  
FLA. PE # 38863  
C.A.N. 3538  
*Ar*  
JAN 08 2010

PRODUCT REVIEWED  
as complying with the Florida  
Building Code  
Acceptance No. 10-0216-09  
Expiration Date 12/31/2015  
By: *[Signature]*  
Miami Trade Product Control  
Division

**af c**  
**AL-FAROQ CORPORATION**  
ENGINEERS & PRODUCT DEVELOPMENT  
590 S.W. 87 AVE  
MIAMI, FLORIDA 33174  
TEL: (305) 264-9300 FAX: (305) 262-6978  
GARAGE 02-21DAB

SECTIONAL GARAGE DOOR  
**DAB DOORS INC.**  
12195 N.W. 98 TH. AVE.  
HIALEAH GARDENS, FL 33018  
TEL: (305) 556 - 6624

REV. NO.	DATE	DESCRIPTION
1	01.18.02	DOORS W/ 4TH OPTION APPROV
2	05.29.02	REV. PER BECD COMMENTS
3	12.27.02	UPDATED FOR 2007 FBC
4	07.06.10	ENGR. NAME CHANGED

date: 09-10-10  
scale: -  
dr. by: HMD  
chk. by:  
drawing no.  
**02-21**  
sheet 5 of 5



