

# 4 Pineapple Lane

**2684**

**SFR**

PERMIT NUMBER

DATE OF APPLICATION 12-15-89

to obtain a permit the following are required:

- 1. Florida certification of builder and sub-contractors.
- 2. Certification of insurance from contractor or owner/builder re: liability and workers' compensation.
- 3. Two sets of building plans which must include: a) 1/4" scale building drawings, b) plot plan, c) foundation plan, d) floor plans, e) wall and roof cross-sections, e) plumbing, electrical and air conditioning layouts, f) at least two elevations showing the height of building from finished floor. Plans must be sealed by a Florida registered architect or engineer.
- 4. Recorded warranty deed to the property.
- 5. Septic tank permit and one set of plans with Martin County Health Department seal.
- 6. Energy code calculations.
- 7. Tree removal permit (for trees other than nuisance trees)
- 8. Certification of elevation from licensed surveyor and determination of flood zone.
- 9. Amount of fill anticipated - rough sketch showing location of fill
- 10. Manufacturer's schedule of windows.

Owner WALTER JAWORSKY Current Address 12 EMIRITA  
 Telephone 220-6652

General Contractor EMIL LAVIOLA Address 5711 BIRCH DR.  
 Telephone 465-7433 FT PIERCE FLORIDA 34982

Where Licensed STATE OF FLORIDA License Number CBC 03893

Plumbing Contractor BO WALTON License Number \_\_\_\_\_

Electrical Contractor CUIFO BROS License Number ER 0008788

Roofing Contractor EMIL LAVIOLA License Number CBC 03893

A/C Contractor T.L. HEAT + AIR License Number CQCO 35591

Describe the building or alterations  
 Name the street on which the building, its front building line and its front yard will face 4 Pineapples Ln

Subdivision PINAAPPLE LANE Lot 4 Block \_\_\_\_\_

Building area (inside walls) 2850 Garage, porch, carport area 1,094

Contract price (excluding carpet, land, appliances, landscaping) \$ \_\_\_\_\_

Cost of permit \$1490 Plans approved as submitted \_\_\_\_\_ as marked

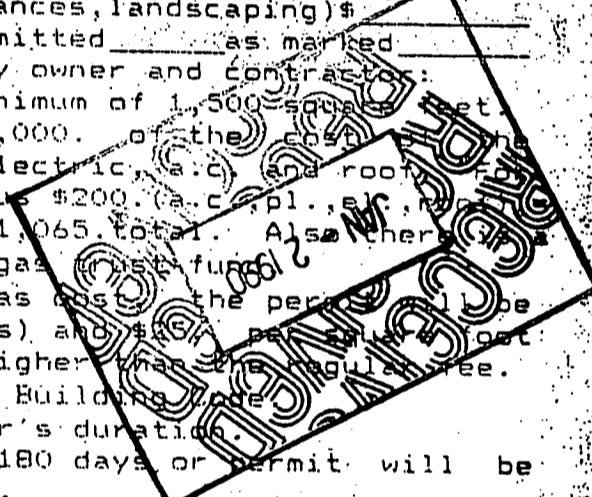
In addition, the following are understood by owner and contractor:

- 1. Building area inside walls must be a minimum of 1,500 square feet.
- 2. Building permit fees are \$5.00 per \$1,000. of the cost of building, plus \$50. each for plumbing, electric, a.c. and roof. Example a \$100,000. building = \$5. = \$500. plus \$200. (a.c., pl., a/c) = \$700. cost of permit = \$365. impact fee = \$1,065. total. Also there is a charge of 1 cent per square foot for radon gas test fund.
- 3. If no contract is submitted as proof as cost the permit will be based on \$60. per square foot (inside walls) and \$40. per square foot (other areas). Owner-builder cost is 25% higher than the regular fee.
- 4. The Town has adopted the South Florida Building Code.
- 5. Building permits are issued for one year's duration.
- 6. Construction must be started within 180 days or permit will be subject to revocation and forfeiture of fee.
- 7. ALL changes in plans must be approved by the Building Department.
- 8. Work hours are 8:AM to 5:PM Monday through Friday. NO SUNDAY WORK
- 9. Portable toilets must be on all construction sites.
- 10. Inspections are made Monday through Friday, 8:AM to Noon, 1:PM to 4:PM. 24 hour notice is required prior to all inspections.
- 11. String lines along property lines to facilitate set back inspections.
- 12. Before a certificate of occupancy is issued, the following are required:
  - a. An owner's affidavit of building cost (form available) any discrepancy between the original fee and final fee (based on affidavit) will be adjusted.
  - b. Approval of septic tank installation by Martin Co. Health Dept.
  - c. Rough grading and clean up of grounds.
  - d. Affidavit from licensed surveyor showing slab elevation (if in "A" zone).

13. THIS SUMMARY IS NOT A SUBSTITUTE FOR TOWN ORDINANCES. APPROVAL OF THE BUILDING PLANS IN NO WAY RELIEVES THE OWNER OR CONTRACTOR FROM COMPLIANCE WITH TOWN ORDINANCES.

14. In addition to the requirements of this permit there may be additional restrictions applicable to this property that may be found in the public records of this county.

Contractor's Signature [Signature] Owner's Signature Walter Jaworsky  
 Approval by Building Inspector [Signature] Date 1/4/90  
 Approval by Building Commissioner \_\_\_\_\_ Date \_\_\_\_\_  
 Certificate of Occupancy issued \_\_\_\_\_ Date \_\_\_\_\_



THIS PERMIT MUST BE DISPLAYED IN FRONT OF JOB

DO NOT REMOVE UNTIL JOB IS COMPLETED

OWNER Walter Javorsky

CONTRACTOR Emil LeViola

LOT 4 BLOCK \_\_\_\_\_ SUB Pineapple

NO. 4 Pineapple Lane

NO. 2684 DATE ISSUED 1/4/90

Call 287-2455 From 8:00 A.M. - 12:00 Noon and 1:00 P.M. - 4:00 P.M. For Inspections of Items 1 thru 13.

# TOWN OF SEWALL'S POINT BUILDING PERMIT

- REQUESTS FOR INSPECTIONS REQUIRE AT LEAST 24 HOURS NOTICE.
- ALL WORK MUST BE IN COMPLIANCE WITH THE TOWN OF SEWALL'S POINT ORDINANCES, THE SOUTH FLORIDA BUILDING CODE, THE STATE OF FLORIDA ENERGY EFFICIENCY BUILDING CODE AND ELEVATIONS BASED ON THE LATEST FLOOD INSURANCE RATE MAP.
- PORTABLE TOILET FACILITIES MUST BE ON JOB SITE BEFORE INITIAL INSPECTION.
- WORKING HOURS ARE FROM 8:00 TO 5:00 P.M. MONDAY THRU SATURDAY.

REQUIRED INSPECTIONS	INSPECTOR'S FINDING	INSPECTOR'S SIGNATURE
1. LOT STAKES/SET BACKS		
2. TERMITE PROTECTION	<u>Absolute Pest 1-17-90 JKE</u>	
3. FOOTING - SLAB	<u>OK 1/18/90 QB</u>	
4. ROUGH PLUMBING	<u>OK 1/17/90 QB</u>	
5. ROUGH ELECTRIC	<u>OK 3/9/90 QB</u>	
6. LINTEL		
7. ROOF		
8. FRAMING	<u>OK 3/9/90 QB</u>	
9. INSULATION	<u>OK 3/14/90 QB</u>	
10. A/C DUCTS	<u>OK 3/9/90 QB</u>	
11. FINAL ELECTRIC		
12. FINAL PLUMBING		
13. FINAL CONSTRUCTION		

TO CONSTRUCT New h

REMARKS:

**MARTIN COUNTY PUBLIC HEALTH UNIT**  
 Your septic system was inspected on 5/15/90  
 HD 89-639

Approved and Cover  
 Cover but hold for:  
 Final Grade (see permit for specifications)  
 Well Permit  
 Other:  
 Do not cover, disapproved for the following reasons:  
 Well and well reinspection fee \_\_\_\_\_  
 Other:  
 - Final approval will not be given until both septic and water systems are completed.  
 - Please allow this office two working days to schedule a reinspection. If you have any questions, contact Walt at ~~287-2272~~ 221-4090

PERMIT is in-  
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743862

RECORD VERIFIED

WARRANTY DEED  
(F.S. 689.02)

THIS INDENTURE,

(Wherever used herein the terms "first party" and "second party" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Made this 12 day of December, A.D. 1988, Between M & C Development, Inc., a Florida corporation, of the County of Martin, in the State of Florida, party of the first part, and Walter and Lydia Javorsky, Husband and Wife of the County of Martin, in the State of Florida, whose post office address is: P.O. Box 906, Stuart, Florida, 34995 party of the second part.

WITNESSETH, That the said party of the first part, for and in consideration of the sum of Ten and 00/100 Dollars (\$10.00), to it in hand paid by the said party of the second part, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said party of the second part, his heirs and assigns forever, the following described land to wit:

Lot 4, PINEAPPLE LANE, according to the plat thereof recorded in Plat Book 11, Page 62, Public Records of Martin County, Florida

Subject to:

- (1) Conditions, restrictions, reservations, limitations and easements of record including, but not limited to, that certain Declaration of Protective Covenants, Conditions and Restrictions of Pineapple Lane.
- (2) Taxes for the year 1988 and subsequent years.

The property being purchased is vacant land.

And the said party of the first part does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the party of the first part has caused these presents to be executed in its name, and its corporate seal to be affixed, by its proper officers thereunto duly authorized, the day and year first above written.

M & C Development, Inc., a Florida corporation

BY Andrew B. Carlton, President

Signed, sealed and delivered in the presence of:

Shirley Lyders  
Mary J. Pineda

(Corporate Seal)



Walter and Lydia Javorsky, Husband and Wife  
of the County of Martin, in the State of Florida, whose post office  
address is: P.O. Box 906, Stuart, Florida 34995

party of the second part.

**WITNESSETH**, That the said party of the first part, for and in consideration  
of the sum of Ten and 00/100 Dollars (\$10.00), to it in hand paid by  
the said party of the second part, the receipt whereof is hereby acknow-  
ledged, has granted, bargained, and sold to the said party of the second  
part, his heirs and assigns forever, the following described land to  
wit:

Lot 4, PINEAPPLE LANE, according to the plat thereof recorded  
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Subject to:

- (1) Conditions, restrictions, reservations, limitations and easements  
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Lane.
- (2) Taxes for the year 1988 and subsequent years.

The property being purchased is vacant land.

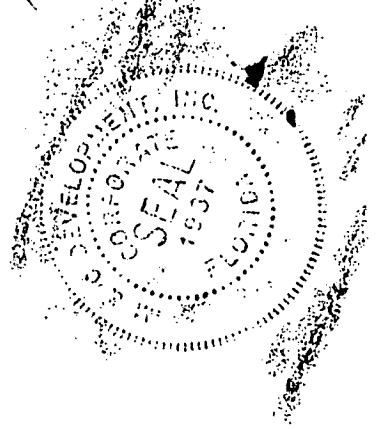
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to said land, and will defend the same against the lawful claims of  
all persons whomsoever.

**IN WITNESS WHEREOF**, the party of the first part has caused these presents  
to be executed in its name, and its corporate seal to be affixed, by  
its proper officers thereunto duly authorized, the day and year first  
above written.

M & C Development, Inc., a Florida  
corporation

BY Andrew B. Carlton, President

(Corporate Seal)



Signed, sealed and delivered in  
the presence of:

Shirley Sanders  
Mary J. Pasch

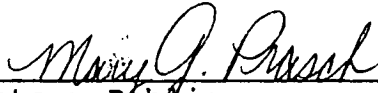
FLA. DOC. PAID

\$ 361.35  
Marilyn Stiller  
Clerk of Circuit Court  
Martin Co., Fla.  
By [Signature] D.C.

STATE OF FLORIDA  
COUNTY OF MARTIN

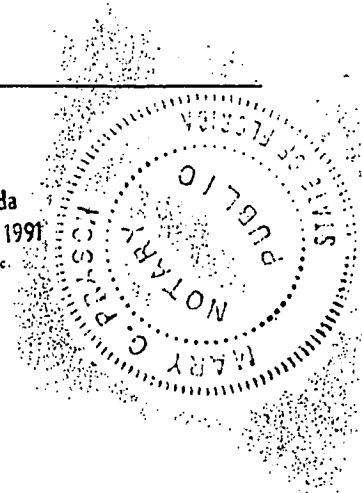
I hereby certify that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgements, personally appeared Andrew B. Carlton, President of M & C Development, Inc., a Florida corporation and that he acknowledged executing the same, in the presence of two subscribing witnesses, freely, and voluntarily under authority duly vested in him by said corporation and that the seal affixed thereto is the true corporate seal of said corporation.


Witness my hand and official seal in the County and State last aforesaid this 12 day of December, 1988.

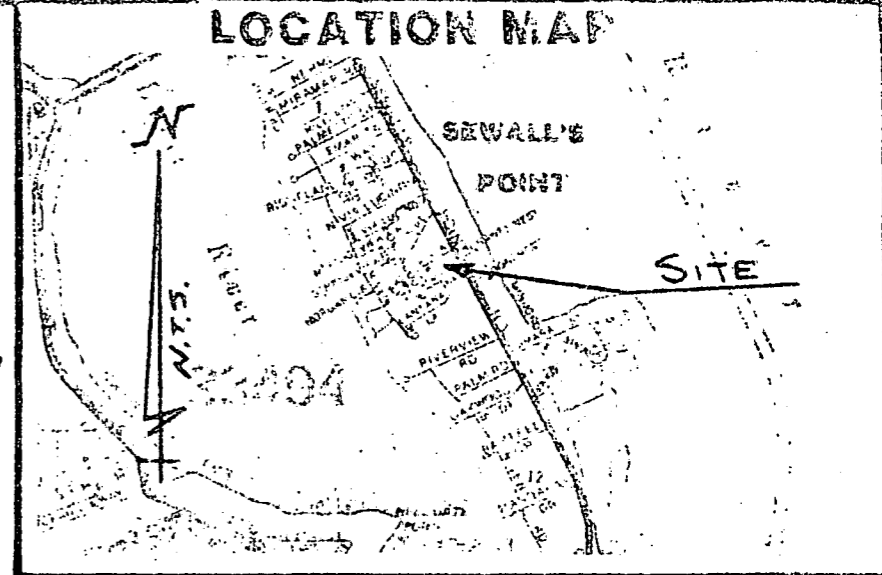
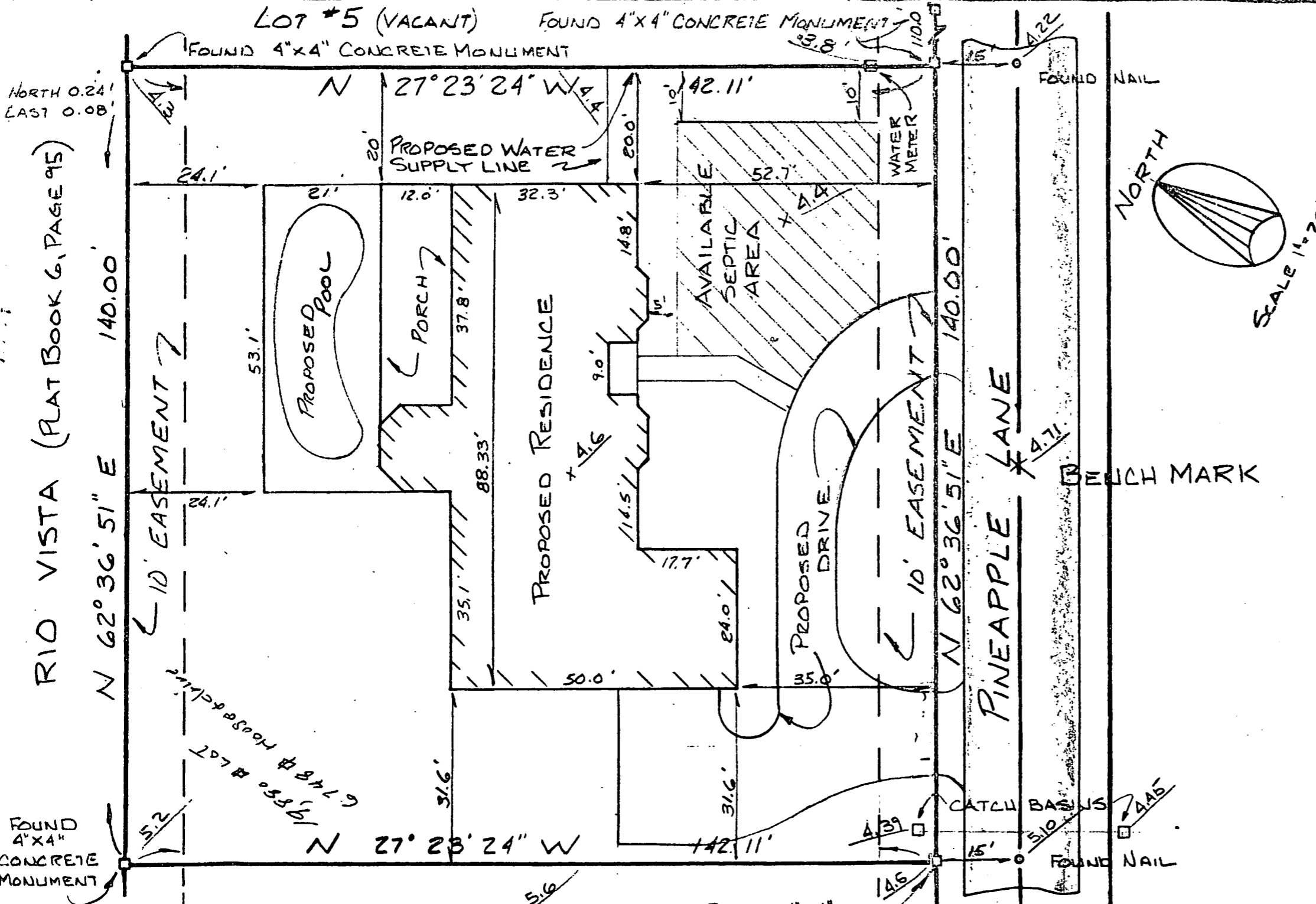
  
\_\_\_\_\_  
Notary Public  
My Commission Expires:

This Instrument Prepared By:  
Fry & Olenick, P.A.  
900 East Ocean Blvd.  
Suite 120  
Stuart, Florida 34994  
405-286-1600

Notary Public, State of Florida  
My Commission Expires Feb. 9, 1991  
Bonded thru Fry Olenick Insurance Inc.



FILED FOR RECORD  
MARTIN CO., FLA.  
28 DEC 14 PM 2:30  
MARSHA STILLER  
CLERK OF CIRCUIT COURT  
BY  D.C.



**LEGAL DESCRIPTION**

ALL OF LOT 4, PINEAPPLE LANE -----  
 ----- ACCORDING TO THE PLAT  
 THEREOF AS RECORDED IN PLAT BOOK 11 PAGE 62  
 OF THE PUBLIC RECORDS OF MARTIN COUNTY  
 FLORIDA. SAID LANDS LYING IN MARTIN  
 COUNTY, FLORIDA.

**SURVEY NOTES**

1. NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL
2. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS OF WAY, EASEMENTS OR OWNERSHIP
3. LAND DESCRIPTION HEREON WAS PROVIDED BY THE CLIENT
4. BEARINGS SHOWN HEREON ARE BASED ON THE PLAT OF PINEAPPLE LANE
5. ELEVATIONS SHOWN HERON ARE BASED ON N.G.V.D. "1929" DATUM

**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT THIS SURVEY MAP IS PER RECORD DESCRIPTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED IN THE FIELD. I FURTHER CERTIFY THAT THIS SURVEY COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS SET FORTH IN CHAPTER 21HH-6 F.A.C. BY THE FLORIDA BOARD OF LAND SURVEYORS PURSUANT TO SECTION 472.027 FLORIDA STATUTES, AND THAT THERE ARE NO ABOVE GROUND ENCROACHMENTS OTHER THAN SHOWN.

BY DATE 12-6-89

PROFESSIONAL LAND SURVEYOR FLORIDA REGISTRATION # 4572



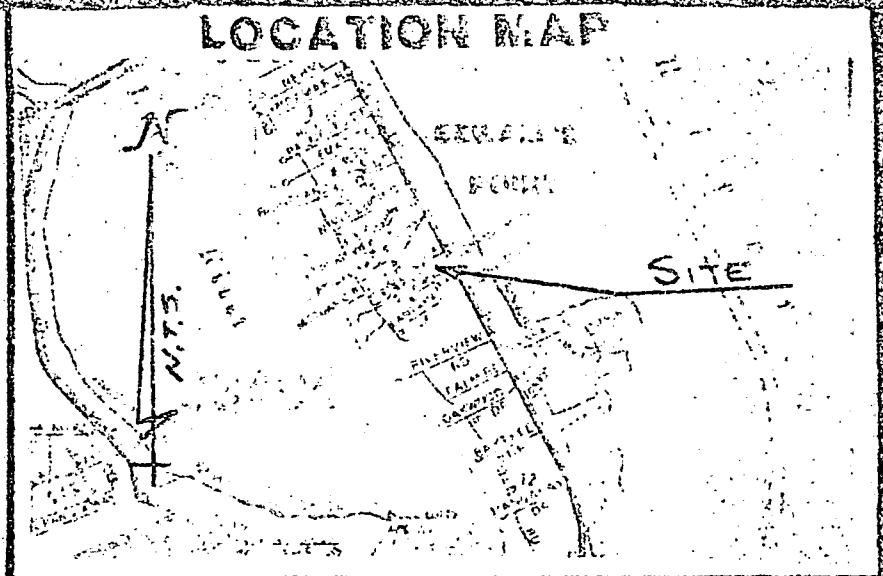
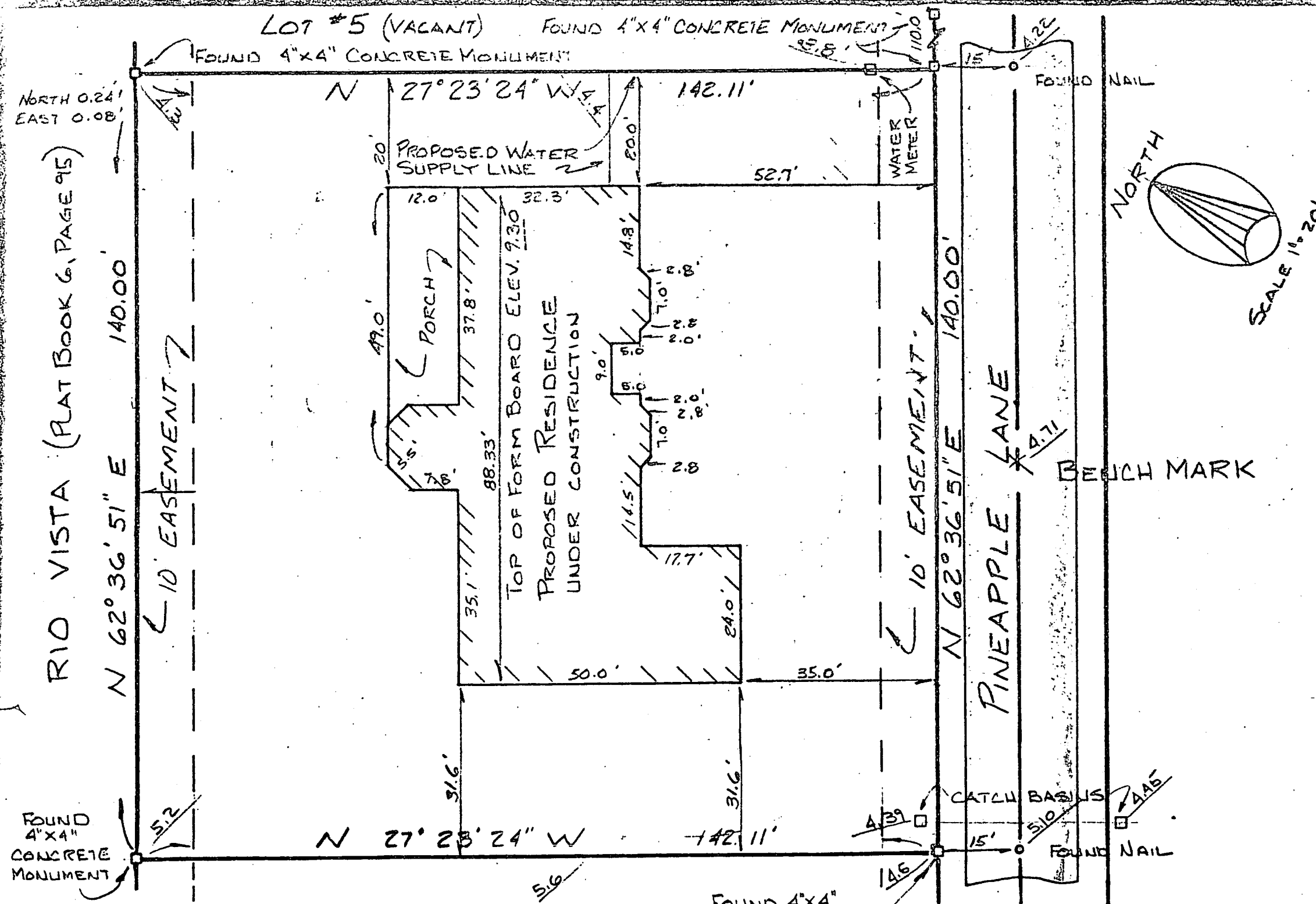
FIELD WORK COMPLETE 12-4-89

**F.W. REPASS**  
 LAND SURVEYORS  
 PO BOX 3424  
 STUART, FL 34955  
 (407) 334-6527

**SITE PLAN**

SCALE: 1"=20'	DWG BY FWR	FILE NO. 89-148
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5. ELEVATIONS SHOWN HEREON ARE BASED ON N.G.V.D. "1929" DATUM

**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT THIS SURVEY MAP IS PER RECORD DESCRIPTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED IN THE FIELD. I FURTHER CERTIFY THAT THIS SURVEY COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS SET FORTH IN CHAPTER 21HH-6 F.A.C. BY THE FLORIDA BOARD OF LAND SURVEYORS PURSUANT TO SECTION 472.027 FLORIDA STATUTES, AND THAT THERE ARE NO ABOVE GROUND ENCROACHMENTS OTHER THAN SHOWN.

BY [Signature] DATE 1-16-90

PROFESSIONAL LAND SURVEYOR FLORIDA REGISTRATION # 572



FIELD WORK COMPLETE 1-15-90

		<b>UNDER CONSTRUCTION TIE-IN</b>	
<b>LAND SURVEYORS</b>		SCALE: 1" = 20'	DWG BY FWR
P.O. BOX 3424 STUART, FL 34994 (407) 334-6527		FILE NO. <b>89-148</b>	



STATE OF FLORIDA  
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

WS  
2.0

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM

PERMIT NUMBER H089-639 HOME PHONE 220-6054  
 NAME OF APPLICANT WALTER JAVORSKY WORK PHONE " "  
 MAILING ADDRESS OF APPLICANT 12 Emarita Way Seawalls Port, FL  
 ZIP CODE \_\_\_\_\_  
 LOT 4 BLOCK --- SUBDIVISION Pineapple Lane  
 IF NOT SUBDIVIDED, ATTACH A COMPLETE LEGAL DESCRIPTION  
 PLAT BOOK 11 PAGE 62 DATE SUBDIVIDED NOV 1988  
 RESIDENTIAL: NUMBER DWELLING UNITS 1 NUMBER BEDROOMS 4  
 LOT SIZE 1989.5 FT<sup>2</sup> HEATED OR COOLED AREA OF HOME 2858 FT<sup>2</sup>  
 COMMERCIAL: TYPE OF BUSINESS PROPOSED \_\_\_\_\_  
 BUILDING SIZE \_\_\_\_\_ FT<sup>2</sup>

-----AFFIDAVIT-----

I HAVE REVIEWED THIS PERMIT AND I CERTIFY THAT ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT AND ANY APPLICABLE STATE OR COUNTY REGULATIONS.

SIGNATURE OF PROPERTY OWNER OR OWNER'S LEGALLY AUTHORIZED REPRESENTATIVE

*[Handwritten Signature]*

-----INSTALLATION SPECIFICATIONS-----

SEPTIC TANK CAPACITY 1200 GALLONS  
 DRAINFIELD SIZE 625 SQUARE FEET 18' w x 35' L  
 DRAINFIELD ROCK MUST BE 16 FEET FROM FRONT OR REAR PROPERTY LINES  
 AND 13 FEET FROM SIDE PROPERTY LINES. EXCAVATION CAN NOT EXTEND MORE THAN FIVE FEET FROM APPROVED INSTALLATION AREA.

TOP OF BUILDING STUB OUT IS REQUIRED TO BE A MINIMUM ELAVATION OF 16" Above CR RD (EL 4.7N60)  
 TOP OF DRAINFIELD PIPE IS REQUIRED TO BE A MINIMUM ELEVATION OF 6" Above CR RD  
 TOP OF SEPTIC TANK IS REQUIRE TO BE A MINIMUM ELEVATION O 20" Above CR RD

ISSUED BY: A. Lopez DATE 12/8/89  
 MARTIN COUNTY PUBLIC HEALTH UNIT

PLEASE NOTE:

- (1) IF BUILDING CONSTRUCTION DOES NOT START WITHIN ONE YEAR FROM DATE OF ISSUANCE, THIS PERMIT EXPIRES. IF BUILDING CONSTRUCTION STARTS WITHIN 1 YEAR FROM DATE OF ISSUANCE, THE DATE OF EXPIRATION WILL BE EXTENDED AN ADDITIONAL 90 DAYS.
- (2) APPLICANT IS RESPONSIBLE FOR REPLACING EXCAVATED SOILS WITH A GOOD GRADE OF SAND.
- (3) NA REINSPECTION FEE IF WELL NOT INSTALLED AT TIME OF ONSITE SEWAGE DISPOSAL SYSTEM INSPECTION.
- (4) INSPECTION RESULTS WILL BE POSTED ON BUILDING PERMIT OR ON ELECTRICAL BOX.
- (5) IF BUILDING STUBOUT IS PLACED MORE THAN 20 FEET FROM SEPTIC TANK OR DRAINFIELD, A HIGHER STUBOUT ELEVATION THAN SHOWN ABOVE WILL BE REQUIRED.
- (6) IF FILL IS REQUIRED, CONTACT MARTIN COUNTY BUILDING DIVISION.
- (7) IF ANY INFORMATION ON THIS PERMIT CHANGES, AN UPDATED APPLICATION IS REQUIRED.
- (8) IF WELL OR MOUND DRAINFIELD IS PROPOSED, SEE ATTACHED SKETCH OF ADDITIONAL SPECIAL REQUIREMENTS.

-----FINAL INSPECTION-----

CONSTRUCTION APPROVED BY: \_\_\_\_\_ DATE \_\_\_\_\_  
 MARTIN COUNTY PUBLIC HEALTH UNIT

AN APPROVED SYSTEM DOES NOT GUARANTEE PERFORMANCE



STATE OF FLORIDA  
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

APPLICANT WALTER JOVORSKY  
LEGAL DESCRIPTION LOT 9 Pineapple Lane

-----SITE INFORMATION-----

1. IS THERE A SEPTIC SYSTEM OR OTHER INTERFERENCE WITHIN 75 FEET OF THE PROPOSED PRIVATE WELL? NO
2. IS THERE A POTABLE PRIVATE WELL WITHIN 75 FEET OF THE PROPOSED AVAILABLE AREA FOR THE PROPOSED SEPTIC SYSTEM? NO
3. IS THERE AN IRRIGATION WELL WITHIN 50 FEET OF THE AVAILABLE AREA FOR THE PROPOSED SEPTIC SYSTEM? NO
4. IS THERE A PUBLIC WELL THAT SERVES LESS THAN 25 PEOPLE OR LESS THAN 15 HOMES WITHIN 100 FEET OF THE PROPOSED SEPTIC SYSTEM? NO
5. IS THERE A PUBLIC WELL WHICH SERVES MORE THAN 25 PEOPLE OR MORE THAN 15 HOMES WITHIN 200 FEET OF THE PROPOSED SEPTIC SYSTEM? NO
6. IS THERE A GRAVITY SEWER LINE OR LIFT STATION WITHIN 100 FEET OF THE PROPOSED LOT? NO
7. IS THERE A LAKE, STREAM, WETLAND, OR SURFACE WATER WITHIN 75 FEET OF THE PROPOSED AVAILABLE AREA FOR THE PROPOSED SEPTIC SYSTEM? NO
8. IS THERE A PROPOSED OR EXISTING PUBLIC DRINKING WATER LINE WITHIN 10 FEET OF THE PROPOSED SEPTIC SYSTEM? NO
9. IS THERE A STORM WATER RETENTION AREA OR DRAINAGE EASEMENT WITHIN 15 FEET OF THE PROPOSED SEPTIC SYSTEM? NO
10. IS THE SEPTIC SYSTEM IN AN AREA PROPOSED FOR PAVING OR VEHICULAR TRAFFIC? NO
11. ARE ALL PRIVATE WELLS, SEPTIC SYSTEMS AND SURFACE WATER ON ADJACENT OR CONTIGUOUS LAND WITHIN 75 FEET OF THE APPLICANT'S LOT, IF PRESENT, SHOWN ON PLOT PLAN? YES
12. ARE ALL PUBLIC WELLS WITHIN 200 FEET OF THE APPLICANT'S LOT, IF PRESENT, SHOWN ON PLOT PLAN? YES
13. DOES THE PLOT PLAN INCLUDE A PLAT OF THE LOT OR TOTAL SITE OWNERSHIP DRAWN TO SCALE, BOUNDARIES WITH DIMENSIONS, LOCATIONS OF BUILDING OR RESIDENCES, SWIMMING POOLS, RECORDED EASEMENTS, THE PROPOSED SEPTIC SYSTEM, ANY PROPOSED OR EXISTING WELLS, PUBLIC WATER LINES, PAVED AREAS OR DRIVEWAYS, AND SURFACE WATERS SUCH AS LAKES, PONDS, STREAMS, CANALS, OR WETLANDS? Yes
14. THERE IS 1325 ± SQUARE FEET OF AVAILABLE LAND TO INSTALL THE SEPTIC SYSTEM. THIS AREA EXCLUDES INTERFERENCES. SHADE THIS AVAILABLE AREA ON PLOT PLAN.

-----ELEVATIONS-----

1. CROWN OF ROAD ELEVATION 4.71 NGVD SHOW LOCATION ON PLOT PLAN. IF ROAD IS NOT PAVED, BENCHMARK ELEVATION 4.71 NGVD SHOW LOCATION ON PLOT PLAN.
2. NATURAL GRADE ELEVATION IN AREA OF PROPOSED SEPTIC SYSTEM 4.4 NGVD SHOW LOCATION ON PLOT PLAN.
2. IS BUILDING LOCATED IN FLOOD HAZARD AREA "A" OR "V" AS IDENTIFIED ON FEMA MAPS? Yes IF YES, WHAT IS THE MINIMUM REQUIRED FLOOD HAZARD FLOOR ELEVATION OF BUILDING? 8.00 NGVD.

FRED W. REPASS

NOTE: MUST BE CERTIFIED BY A FLORIDA REGISTERED SURVEYOR OF ENGINEER.

CERTIFIED BY: [Signature]  
FL. PROFESSIONAL NO. 4572  
DATE: 12-6-89 JOB NO. 89-148



STATE OF FLORIDA  
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

STUBOUT ELEVATION AND EXCAVATION CERTIFICATION

APPLICANT: Savorsky SEPTIC TANK PERMIT NO. HD89-639  
LEGAL DESCRIPTION: Lot 4 Pineapple Lane

The items which are checked off below must be certified by a surveyor or engineer and returned to the Martin County Health Unit prior to the first plumbing inspection by the Building Department.

- 1. Building Permit Number: \_\_\_\_\_ .(Certification not required for this item).
- 2. I certify that the elevation of the top of the lowest plumbing stubout is \_\_\_\_\_ inches above benchmark elevation as indicated on septic tank permit.
- 3. I certify that the top of the lowest building plumbing stubout is \_\_\_\_\_ inches above crown of road elevation shown on septic tank permit.
- 4. I certify that all severe limited soil has been removed from an area of \_\_\_\_\_ feet by \_\_\_\_\_ feet to a minimum depth of six(6) feet below top of required stubout elevation. Submit plot plan to scale of excavated area.

Date Observed: \_\_\_\_\_

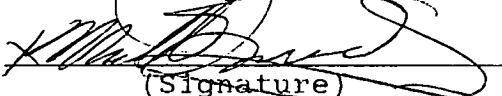
- 5. I certify that the top of the drainfield pipe elevation is \_\_\_\_\_ .

- NOTE:
- a. Severe limited soil includes but is not limited to hardpan, clay, silt, marl or muck.
  - b. Drainfield must be centered in the excavated area. Drainfield will not be approved if severe limited soils are not removed.

CERTIFIED BY: \_\_\_\_\_

As applicant or applicant's representative, I understand the above requirements.

Date: \_\_\_\_\_ Job Number: \_\_\_\_\_

  
(Signature)

FOR MARTIN COUNTY PUBLIC HEALTH UNIT USE ONLY

\_\_\_\_\_  
Martin County Health Unit Approval Signature

\_\_\_\_\_  
(Date)

MARTIN COUNTY PUBLIC HEALTH UNIT  
ENVIRONMENTAL HEALTH  
612 SOUTH DIXIE HIGHWAY • STUART, FLORIDA 34994  
Bob Martinez, Governor • Gregory L. Coler, Secretary

Revised 12-7-88



STATE OF FLORIDA  
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

STUBOUT ELEVATION AND EXCAVATION CERTIFICATION

APPLICANT: Savorsky SEPTIC TANK PERMIT NO. HD89-639  
LEGAL DESCRIPTION: Lot 4 Pineapple Lane

The items which are checked off below must be certified by a surveyor or engineer and returned to the Martin County Health Unit prior to the first plumbing inspection by the Building Department.

- 1. Building Permit Number: 2684. (Certification not required for this item).
  - 2. I certify that the elevation of the top of the lowest plumbing stubout is \_\_\_\_\_ inches above benchmark elevation as indicated on septic tank permit.
  - 3. I certify that the top of the lowest building plumbing stubout is 42 inches above crown of road elevation shown on septic tank permit.
  - 4. I certify that all severe limited soil has been removed from an area of \_\_\_\_\_ feet by \_\_\_\_\_ feet to a minimum depth of six(6) feet below top of required stubout elevation. Submit plot plan to scale of excavated area.
- Date Observed: \_\_\_\_\_
- 5. I certify that the top of the drainfield pipe elevation is \_\_\_\_\_.

NOTE: a. Severe limited soil includes but is not limited to hardpan, clay, silt, marl or muck.  
b. Drainfield must be centered in the excavated area. Drainfield will not be approved if severe limited soils are not removed.

CERTIFIED BY: FRED W. REPAS

As applicant or applicant's representative, I understand the above requirements.

Date: 1-16-90 Job Number: 89-148

[Signature]  
(Signature)

FOR MARTIN COUNTY PUBLIC HEALTH UNIT USE ONLY  
HRS-MARTIN COUNTY PUBLIC HEALTH UNIT

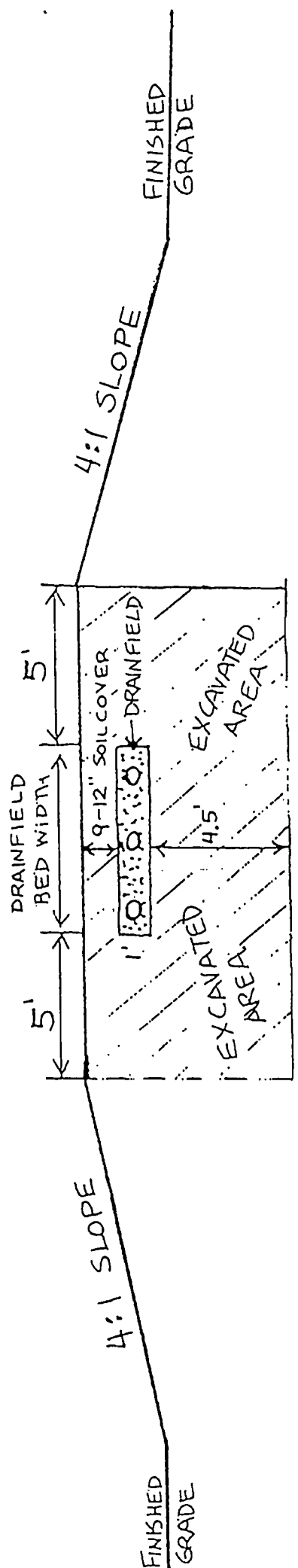
Environmental Health  
Martin County ~~Health Unit~~ Approval Signature  
Stuart, FL 34994 - (407) 221-4090

1-17-90  
(Date)

MARTIN COUNTY PUBLIC HEALTH UNIT  
ENVIRONMENTAL HEALTH  
612 SOUTH DIXIE HIGHWAY • STUART, FLORIDA 34994  
Bob Martinez, Governor • Gregory L. Coler, Secretary

Revised 12-7-88

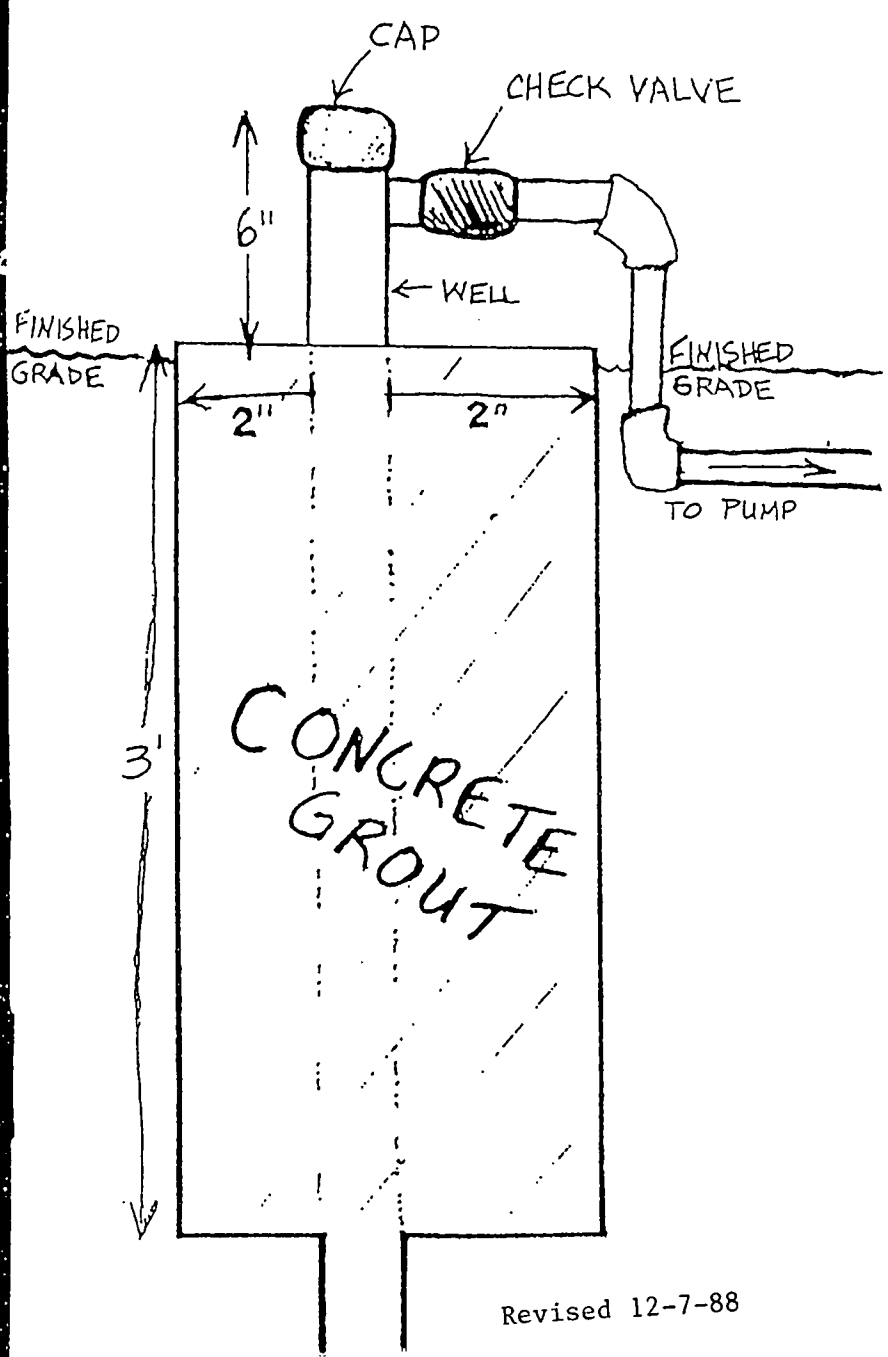
# DRAINFIELD MOUND REQUIREMENTS



# WELL REQUIREMENTS

**NOTE:**  
 ALL WELLS MUST BE GROUTED AT LEAST 2" AROUND WELL CASING TO A DEPTH OF 3'. WELL CASING MUST EXTEND 6" ABOVE FINISHED GRADE AS SHOWN BELOW. NOTE LOCATION OF CHECK VALVE.

**NOTE:** THESE REQUIREMENTS MUST BE MET PRIOR TO FINAL APPROVAL.



MMAC 4185

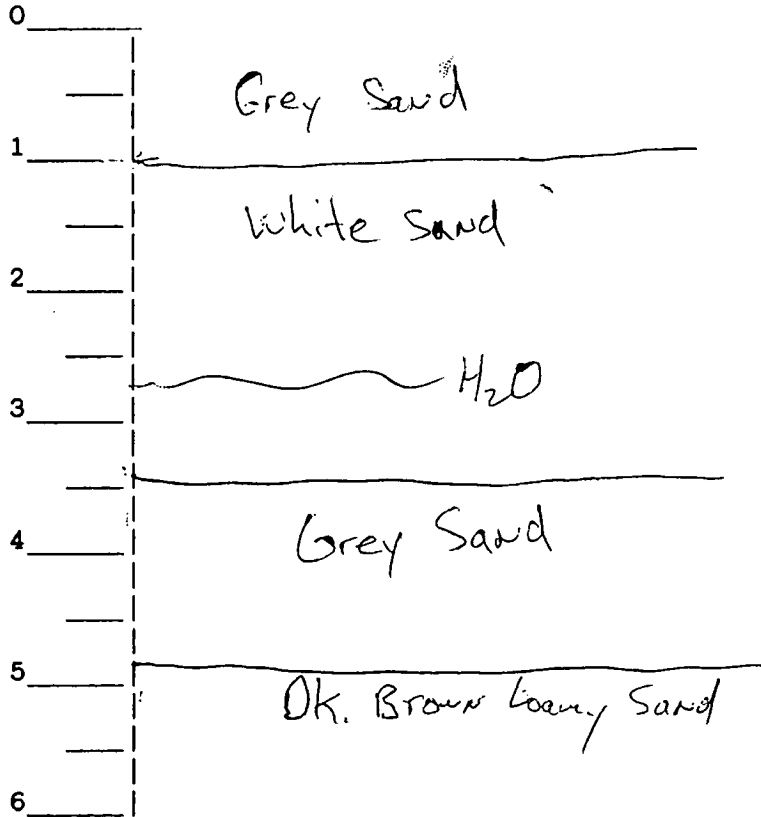


STATE OF FLORIDA  
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

SITE EVALUATION

APPLICANT: Javorisky  
LEGAL DESCRIPTION: Lot 4 Pineapple Lane

SOIL PROFILE



USDA SOIL TYPE Jonathan  
USDA SOIL NUMBER 41

Restrictive soils are present at 5.0 FT below the surface.

Present Water Depth Below Surface 2.75'  
Wet Season Range per Soil Survey to 36"  
Estimated Wet Season Water Depth Below Surface 3' - 2.5'  
Indicator Vegetation Present Palms, Live Oak  
Is Benchmark Located on Plot Plan and Present on Site? Yes - (R.R.D.)  
Approximate Amount of Fill on Neighbor Lots Lots Vacant  
Depth of Fill in Soil Profile N/A  
How Long Has Fill Been Present \_\_\_\_\_  
Evaluation by: A. COPERTINO Date: 12/6/89

TOWN OF SEWALL'S POINT, FLORIDA  
CERTIFICATE OF APPROVAL FOR OCCUPANCY  
RECORD OF INSPECTIONS

Date 6/1/90

This is to request a Certificate of Approval for Occupancy to be issued to Mr. Walter Javorisky for a structure built under Permit # 2684  
(Owner of Property)

Subdivision Pine Apple Lot 4 Street Address 4 Pineapple Lane

when completed in conformance with the approved plans.

Signed (Owner)

1. Lot Stakes/Set Backs \_\_\_\_\_
2. Termite Protection 1/17/90
3. Footing - Slab 1/18/90
4. Rough Plumbing 1/17/90
5. Rough Electric 3/9/90
6. Lintel \_\_\_\_\_
7. Roof 3/9/90
8. Framing 3/9/90
9. Insulation 3/14/90
10. A/C Ducts 3/9/90
11. Final Electric 5/31/90
12. Final Plumbing 5/31/90
13. Final Construction 5/31/90

Final Inspection for Issuance of Certificate of Occupancy.

Approved by Building Inspector Dale Brown 6/1/90 date

Approved by Building Commissioner R. P. Chardavoyne date

Utilities notified F.P.L. 5/30/90 date.

6-1-90

Distribution:  
original - owner  
copies - Town Building Inspector, Deputy Clerk



TOWN OF SEWALL'S POINT, FLORIDA

Permit No. \_\_\_\_\_

Date 2/19/90

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable; and at least two (2) elevations, as applicable.

Owner Walter Javowski, 90 Emil LaViola Present Address 5711 Birch Dr.

Phone 465-7433 220-6052 Home 220-6054 office 285-7433 cell Ft Pierce, Fla

Contractor Olympic Pools Address 1565 S.W. Martin Hwy,

Phone 286-6070 Palm City, Fla 34990

Where licensed State License number CPC039888

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Swimming Pool

4 Pineapple Lane

State the street address at which the proposed structure will be built: \_\_\_\_\_

Subdivision Pineapple 4 Lot number \_\_\_\_\_ Block number \_\_\_\_\_

Contract price \$ 9500 Cost of permit \$ \_\_\_\_\_

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Kin S... Olympic Pools

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

Date submitted \_\_\_\_\_ Approved: [Signature] 2/19/90  
Building Inspector Date

Approved: \_\_\_\_\_ Commissioner Date Final Approval given: \_\_\_\_\_ Date

Certificate of Occupancy issued (if applicable) \_\_\_\_\_ Date

SP1282

Permit No. \_\_\_\_\_

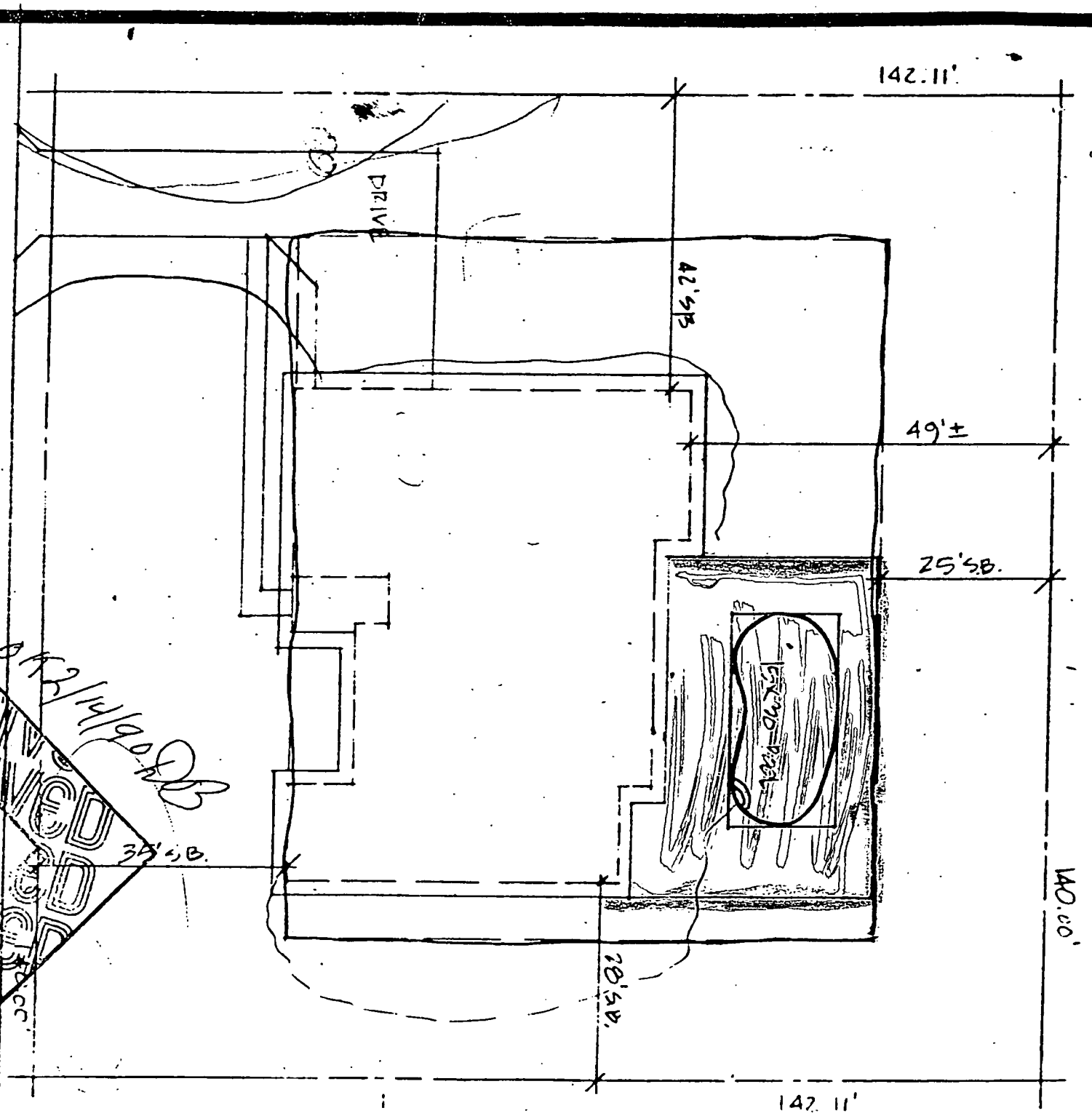
Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

*Seacoast  
Pineapple Inn.*

SITE PLAN

NORTH ↗

RECEIVED  
FEB 14 1990  
OK 2/14/90  
REC'D



140.00'

142.11'

**2904**

**SCREEN ENCLOSURE**

Permit No. \_\_\_\_\_

Date \_\_\_\_\_

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ~~ANY OTHER STRUCTURE~~ NOT A HOUSE OR A COMMERCIAL BUILDING

2904

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner WALT JAWORSKY Present Address \_\_\_\_\_

Phone \_\_\_\_\_

Contractor PIONEER SCREEN Address 3121 S.E. WALKER ST

Phone 203-9197

Where licensed MARTIN License number 00409

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought:

SCREEN ENCLOSURE FOR POOL

State the street address at which the proposed structure will be built:

4 PINEAPPLE WAY

Subdivision ~~RIO VISTA~~ PINEAPPLE Lot number 9 Block number \_\_\_\_\_

Contract price \$ 3000.00 Cost of permit \$ \_\_\_\_\_

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Craig Leo Resident

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given:

Owner Walt Jaworsky Call

TOWN RECORD

Date submitted \_\_\_\_\_ Approved: Dale Brown 5/18/90  
Building Inspector Date

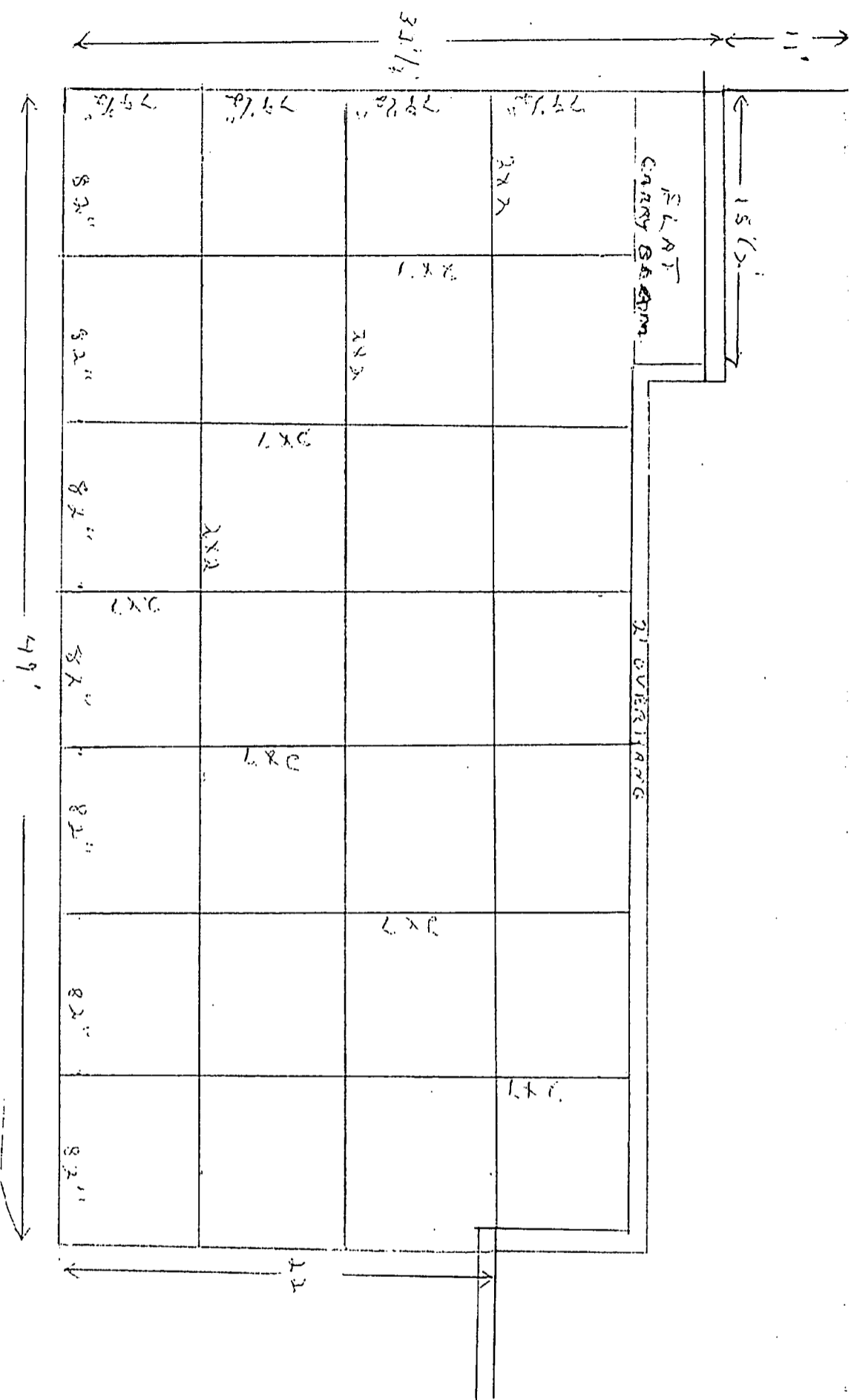
Approved: \_\_\_\_\_ Commissioner Date Final Approval given: \_\_\_\_\_ Date

Certificate of Occupancy issued (if applicable) \_\_\_\_\_  
Date

SP1282

Permit No. \_\_\_\_\_

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

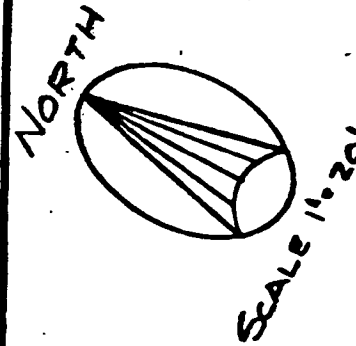
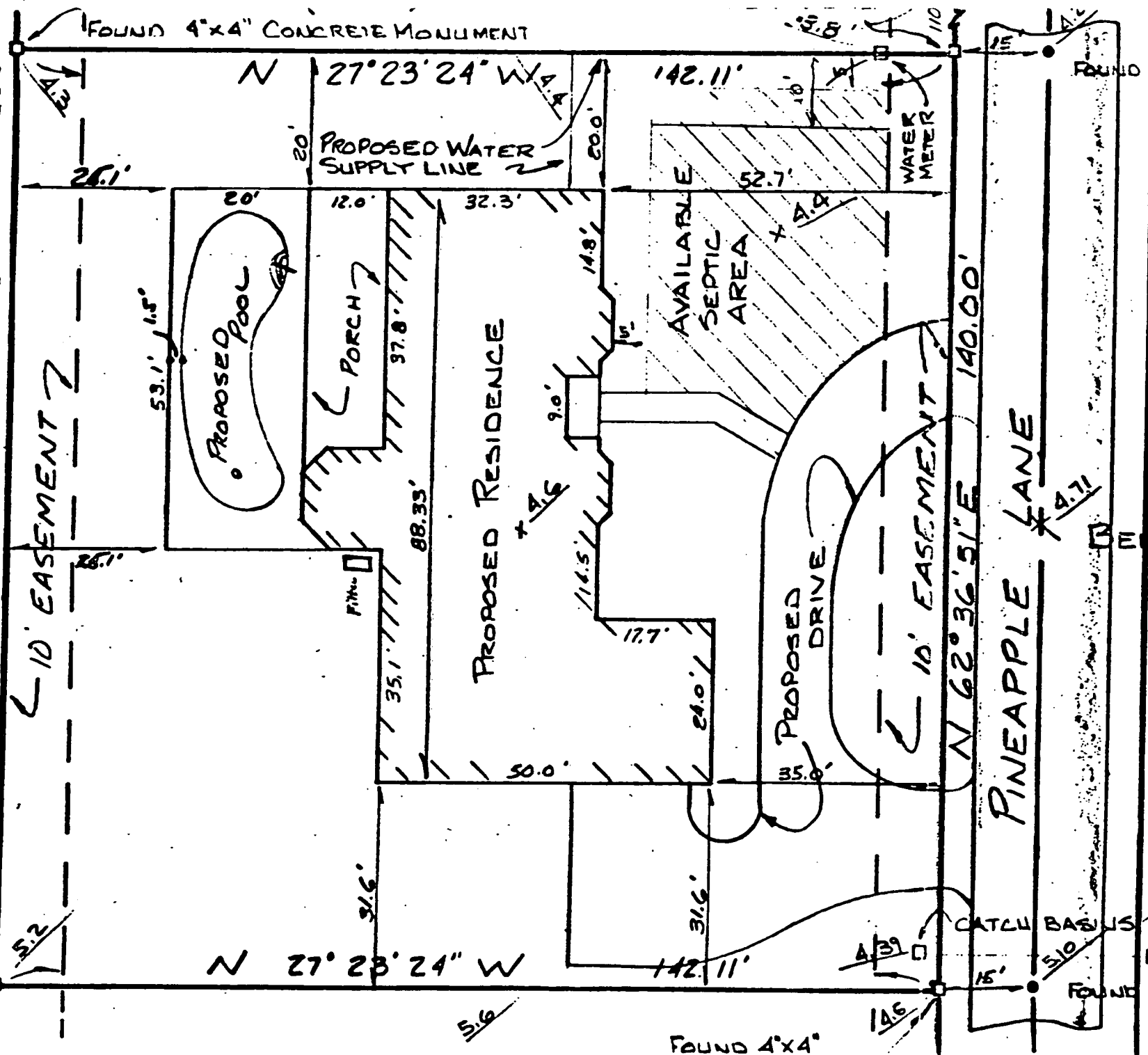


MILLSWORD JERRY  
 5' L. N. H. L. S.  
 2-DOORS  
 SUPER CUTTER  
 2x1 BEAMS  
 2x2 W. P. S. B. G. T. S.  
 18-14 SCREWS

NORTH 0.24  
EAST 0.08

RIO VISTA (PLAT BOOK 6, PAGE 95)

N 62° 36' 51" E 140.00'



### LEGAL DESCRIPTION

ALL OF LOT 4, PINEAPPLE LANE, ACCORDING TO THE PUBLIC RECORDS OF THE COUNTY OF FLORIDA. SAID LANDS LOTS 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

### SURVEY

1. NOT VALID UNLESS SIGNED BY SURVEYOR'S SEAL
2. LANDS SHOWN HEREON ARE FOR RIGHTS OF WAY, EASEMENTS, AND INTERESTS IN LAND DESCRIBED HEREIN BY THE CLIENT
3. BEARINGS SHOWN HEREON ARE FROM THE PLAT OF PINEAPPLE LANE
4. ELEVATIONS SHOWN HEREON ARE FROM N.G.V.D. "1929" DATUM

Note: Correction to maintain

**7166**

**REROOF**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 1/4/05

BUILDING PERMIT NO. 7.166

Building to be erected for JAVORSKY

Type of Permit REEROOF

Applied for by O/B (Contractor)

Building Fee 120.00

Subdivision PINEAPPLE LA Lot 4 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 4 PINEAPPLE LANE

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Parcel Control Number:  
1238410030000004080000

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Amount Paid \_\_\_\_\_ Check # \_\_\_\_\_ Cash \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Other Fees (25% O/B) 30.00

Total Construction Cost \$ 23,010.

TOTAL Fees 150.00

Signed [Signature]

Applicant

Signed [Signature]

Town Building Official

## PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

## INSPECTIONS

- UNDERGROUND PLUMBING \_\_\_\_\_
- UNDERGROUND MECHANICAL \_\_\_\_\_
- STEMWALL FOOTING \_\_\_\_\_
- SLAB \_\_\_\_\_
- ROOF SHEATHING \_\_\_\_\_
- TRUSS ENG/WINDOW/DOOR BUCKS \_\_\_\_\_
- ROOF TIN TAG/METAL \_\_\_\_\_
- PLUMBING ROUGH-IN \_\_\_\_\_
- MECHANICAL ROUGH-IN \_\_\_\_\_
- FRAMING \_\_\_\_\_
- FINAL PLUMBING \_\_\_\_\_
- FINAL MECHANICAL \_\_\_\_\_
- FINAL ROOF \_\_\_\_\_

- UNDERGROUND GAS \_\_\_\_\_
- UNDERGROUND ELECTRICAL \_\_\_\_\_
- FOOTING \_\_\_\_\_
- TIE BEAM/COLUMNS \_\_\_\_\_
- WALL SHEATHING \_\_\_\_\_
- LATH \_\_\_\_\_
- ROOF-IN-PROGRESS \_\_\_\_\_
- ELECTRICAL ROUGH-IN \_\_\_\_\_
- GAS ROUGH-IN \_\_\_\_\_
- EARLY POWER RELEASE \_\_\_\_\_
- FINAL ELECTRICAL \_\_\_\_\_
- FINAL GAS \_\_\_\_\_
- BUILDING FINAL \_\_\_\_\_



RECEIVED

DEC 30 2004

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: BY 2-30-04

OWNER/TITLEHOLDER NAME: WALTER JAVORSKY Phone (Day) 772-220-6054 (Fax) \_\_\_\_\_

Job Site Address: 4 PINEAPPLE LN. City: SEWALLS PT. State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) PINEAPPLE LA LOT 4 Parcel Number: 1238410030000004000000

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: REPLACE ROOF

WILL OWNER BE THE CONTRACTOR?:

YES NO

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 23,010
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: \_\_\_\_\_

CONTRACTOR/Company: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: \_\_\_\_\_

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: TACHENY ROOFING & SIDING State: MN License Number: 7596 (FL ELC CONTRACTOR)

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic.# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: National Electrical Code: 2002 Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) [Signature]

State of Florida, County of: MARTIN

This the 30th day of December, 2004

by WALTER JAVORSKY who is personally

known to me or produced by [Signature] x 3/28/06

as identification. [Signature]

My Commission Expires: \_\_\_\_\_ Notary Public

CONTRACTOR SIGNATURE (required) \_\_\_\_\_

On State of Florida, County of: \_\_\_\_\_

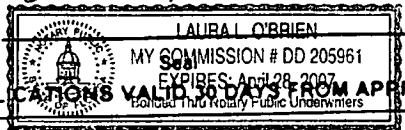
This the \_\_\_\_\_ day of \_\_\_\_\_, 2004

by \_\_\_\_\_ who is personally

known to me or produced \_\_\_\_\_

As identification. \_\_\_\_\_ Notary Public

My Commission Expires: \_\_\_\_\_ Seal



PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**TOWN OF SEWALL'S POINT**  
ONE SOUTH SEWALL'S POINT ROAD  
SEWALL'S POINT, FLORIDA 34996

**TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT**  
(To be submitted if permit is to be pulled by Owner/Builder)

**DISCLOSURE STATEMENT**

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: WALTER JAWORSKI Date: 1/4/05

Signature: 

Address: 4 PINEAPPLE LN

City & State: SEWALL PT, FL

Permit No. 7166



BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

**NOTICE OF ACCEPTANCE (NOA)**

Owens Corning  
One Owens Corning Parkway  
Toledo, OH 43659

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by the BCCO and accepted by the Building Code and Product Review Committee to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The BCCO (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BCCO reserves the right to revoke this acceptance, if it is determined by BCCO that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

**DESCRIPTION:** Oakridge PRO 40 AR

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA #03-1028.04 and consists of pages 1 through 3.  
The submitted documentation was reviewed by Frank Zuloaga, RRC



FILE COPY  
TOWN OF SEWALL'S POINT  
THESE PLANS HAVE BEEN  
REVIEWED FOR CODE COMPLIANCE  
DATE: 11/3/05  
BUILDING OFFICIAL  
Gene Simmons

NOA No.: 04-0510.06  
Expiration Date: 07/19/06  
Approval Date: 07/22/04  
Page 1 of 3



**BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908**

**NOTICE OF ACCEPTANCE (NOA)**

**Sun-Tek Manufacturing, Inc.  
10303 General Drive.  
Orlando, FL 32824**

**SCOPE:** This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION: ISFG Skylight.**

**APPROVAL DOCUMENT:** Drawing No. STI 00000298, titled "ISFG", sheet 1 & 2 of 2, prepared by Sun-Tek Manufacturing, Inc, dated 12/06/01 with no revisions, bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING: Large and Small Missile Impact Resistant**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of this page 1 as well as approval document mentioned above.  
The submitted documentation was reviewed by **Wanda E. ...**



**FILE COPY**  
**TOWN OF SEWELL'S POINT**  
**THESE PLANS HAVE BEEN**  
**REVIEWED FOR CODE COMPLIANCE**  
**DATE: 2/1/05**  
  
**BUILDING OFFICIAL**  
Gene Simmons

**NOA No 02-0618.06**  
**Expiration Date: October 3, 2007**  
**Approval Date: October 3, 2002**  
Page 1

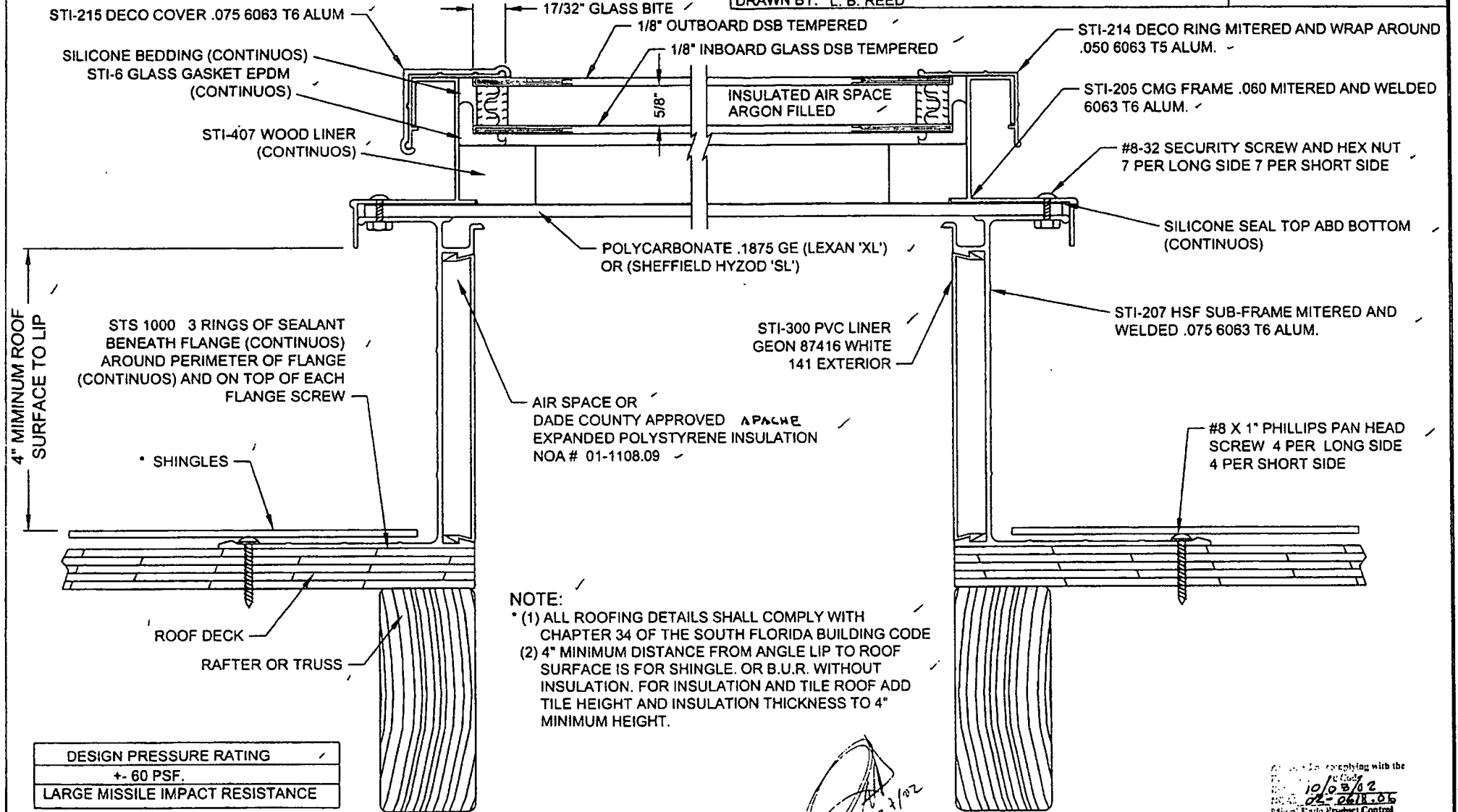
*PN# 7166*

PART NAME: ASSEMBLY

SHEET 1 OF 2

DRAWN BY: L. B. REED

DWG.#:STI-0000298



Handwritten signature and date: 8/27/02

Stamp: 10/08/02, Division

REVISION:	REVISION:
INI:	DATE:
INI:	DATE:

PRODUCT NAME: ISFG

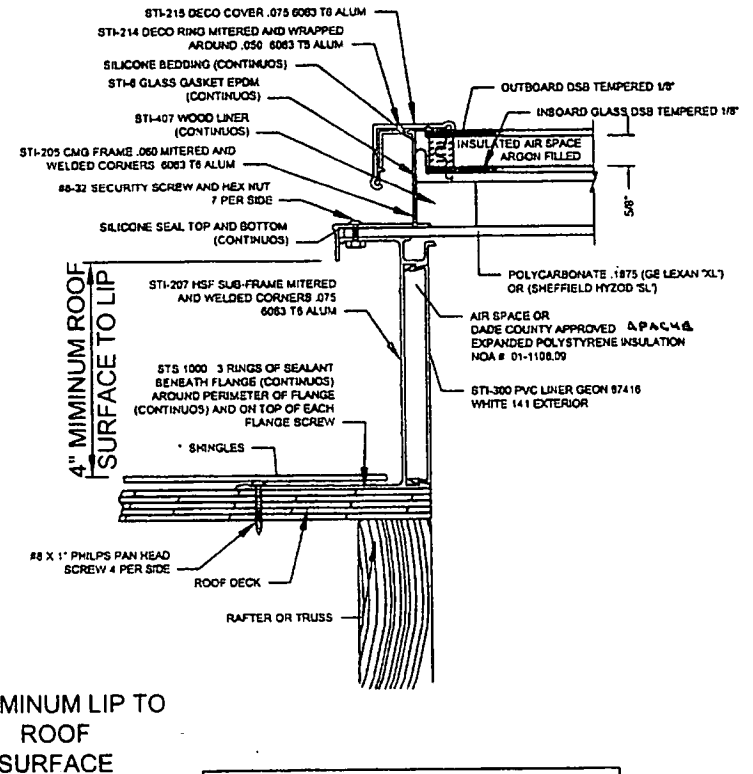
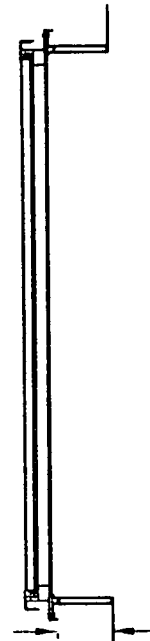
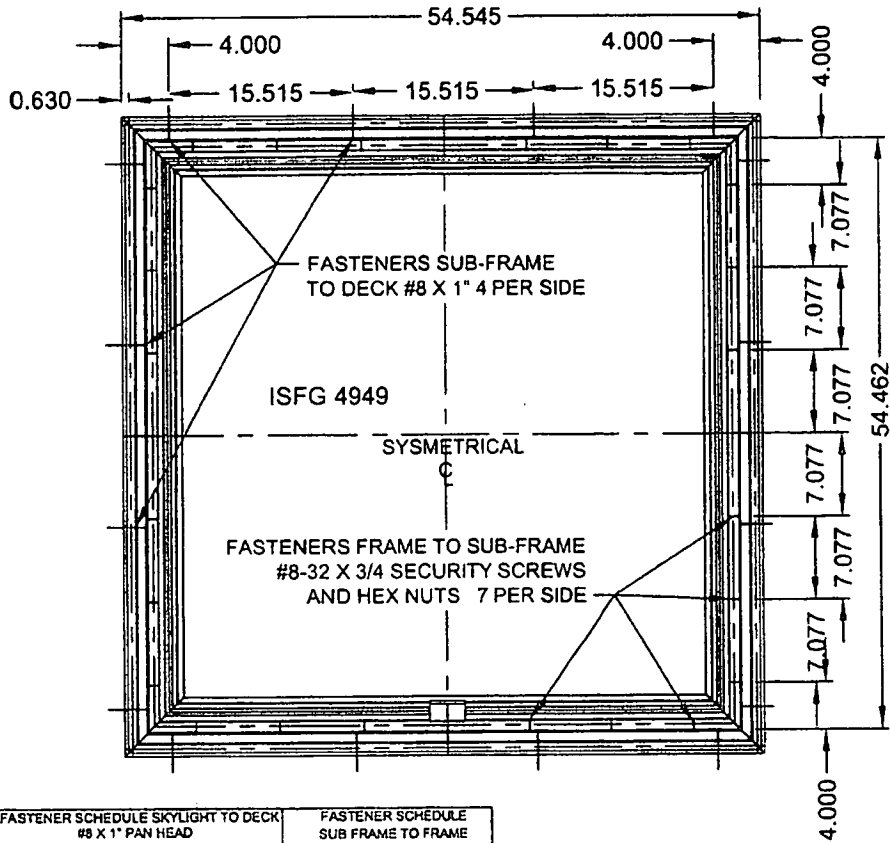
DATE: 12/06/01

SCALE:

DWG No. STI-0000298

SUN-TEK MANUFACTURING, INC.

10303 GENERAL DRIVE ORLANDO, FL 32824



DESIGN PRESSURE RATING  
+- 60 PSF.  
LARGE MISSILE IMPACT RESISTANCE

FASTENER SCHEDULE SKYLIGHT TO DECK #8 X 1" PAN HEAD SCREWS			FASTENER SCHEDULE SUB FRAME TO FRAME #8-32 X 3/4 WITH HEX NUTS	
MODEL	PER LONG SIDE	PER SHORT SIDE	PER LONG SIDE	PER SHORT SIDE
4949	4	4	7	7
4848	4	4	7	7
3349	4	4	7	5
3333	4	4	5	5
3048	4	3	7	5
3030	3	3	5	5
2549	4	3	7	4
2533	4	3	5	4
2525	3	3	4	4
2248	4	3	7	4
2230	3	3	5	4
2222	3	3	4	4
1749	4	3	7	3
1733	4	3	5	3
1448	4	3	7	3
1430	3	3	5	3

NOTE:  
 \* (1) ALL ROOFING DETAILS SHALL COMPLY WITH CHAPTER 34 OF THE SOUTH FLORIDA BUILDING CODE  
 (2) 4" MINIMUM DISTANCE FROM ANGLE LIP TO ROOF SURFACE IS FOR SHINGLE. OR B.U.R. WITHOUT INSULATION. FOR INSULATION AND TILE ROOF ADD TILE HEIGHT AND INSULATION THICKNESS TO 4" MINIMUM HEIGHT.  
 (3) IMPACT MATERIAL HYZOD 'SL' NOA # 01-0709.07 LEXAN NOA # 00-0718.02

*Handwritten signature and date: 8/27/02*

Approved as complying with the Florida Building Code  
 Date: 12/03/02  
 Initials: [Signature]  
 Minor Detail Product Control  
 Division: [Signature]

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # \_\_\_\_\_

TAX FOLIO # Parcel ID # 1238410030000004080000

**NOTICE OF COMMENCEMENT**

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

**LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):**

4 PINEAPPLE LANE, SEWALLS PT., FL 34996

GENERAL DESCRIPTION OF IMPROVEMENT: NEW ROOF - INKIND REPLACEMENT

OWNER: WALTER JAVORSKY

ADDRESS: 4 PINEAPPLE LN, SEWALLS PT., FL 34996

PHONE #: 772-220-6054 FAX #: 772-220-9168

CONTRACTOR: TACHENY ROOFING & SIDING INC.

ADDRESS: 2980 RICE STREET, LITTLE CANADA, MN

PHONE #: 612-701-5546 FAX #: \_\_\_\_\_

SURETY COMPANY (IF ANY) \_\_\_\_\_

ADDRESS: \_\_\_\_\_

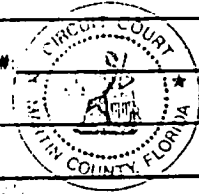
PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

BOND AMOUNT: \_\_\_\_\_

LENDER: Shalux

ADDRESS: 12-30-04

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1XA)7., FLORIDA STATUTES:

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1XB), FLORIDA STATUTES.

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

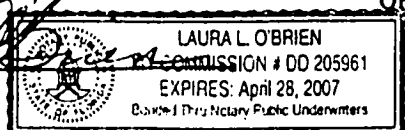
EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_ THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

[Signature]  
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 30th DAY OF December 2004 BY WALTER JAVORSKY

PERSONALLY KNOWN \_\_\_\_\_  
PRODUCED ID \*FLDLI142-900-46-108-D  
TYPE OF ID \*3/28/06

[Signature]  
NOTARY SIGNATURE



INSTR # 1803128 OR BK 01968 PG 2235 RECD 12/30/2004 01:37:56 PM  
MARSHA EWING MARTIN COUNTY DEPUTY CLERK S Phoenix



7166

**TOWN OF SEWALL'S POINT**

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

**CORRECTION NOTICE**

ADDRESS: 4 PINEAPPLE

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

SHEATHING

NAIL SHEATHING @ RAFTERS & EAVES @ 4" O.C.

NEED PRODUCT APPROVAL FOR SILLIGHS & METHOD OF ATTACHMENT OF CURBS -

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 1/7

[Signature]  
INSPECTOR

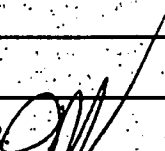
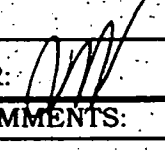
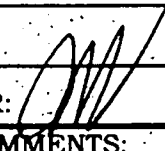
**DO NOT REMOVE THIS TAG**



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 1/7, 2002 5 Page 4 of     



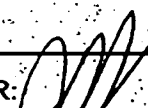
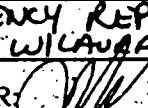
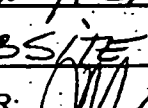
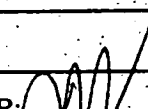
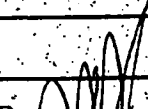
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	DONOHUE	TREE	PASS	
5	163/160 S. Sewall's			INSPECTOR: 
TREE	LAGANA	TREE	PASS	
1	19 E. High Pt			INSPECTOR: 
<del>7166</del>	<del>JAVORSKY</del>	<del>DRY-IN</del>	<del>FAIL</del>	
7	4 PINEAPPLE TACHENY ROOFING			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: 

OTHER: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri JANUARY 12, 2005 Page 1 of     

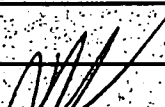
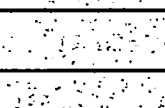

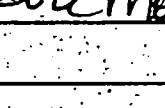
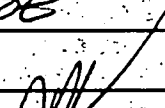
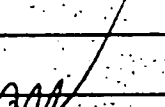
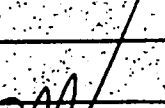
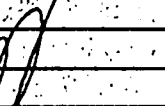
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7147	DAYTON 14 PALM COURT PARKS	STRAPPING	PASS	INSPECTOR: 
7166	<del>JAVORSKY</del> JAVORSKY	<del>ROOF</del>	<del>PASS</del>	
7	4 PINEAPPLE LANE 01B	IN PROGRESS		INSPECTOR: 
6544	LANCASTER	FRAMING PLUMBING	FAIL	
6	8 PINEAPPLE LANE MASTERPIECE	PT ROUGH A/C ELEC ROUGH	PASS FAIL	INSPECTOR: 
8	THOMPSON 179 S. RIVER RD.	ROOF- * SUNKEN	DONE AGREED W/ HERR ROOF PROBLEM	* WANTS OPINION IF IT IS AN EMERGENCY REPAIR (SPOKE W/ LAVA/ ON FRI.) INSPECTOR: 
6994	GIACHINO 63 S. RIVER RD.	DOCK - FINAL	FAIL	NO PLANS/PERMIT ON JOBSITE INSPECTOR: 
7054	TAPPER 22 ISLAND RD WINCH.P	TEMP POLE	PASS	INSPECTOR: 
6887	GESSER 53 S. Sewalls Pt	TIN TAG+METAL	PASS	
12A	PACIFIC ROOFING			INSPECTOR: 

OTHER: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri FEB 4, 2005 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>7106</del>	<del>JAWORSKY</del>	<del>FINAL ROOF</del>	<del>PASS</del>	<del>CLOSE</del>
8	4 PINEAPPLE LA O/B	(LATE)		INSPECTOR: 
7258	BEHRINGER	PATIO SLAB	FAIL	
13	18 INDIA WUCIEPKY DETHOMAS CONCRETE			INSPECTOR: 
7111	PALM ROW	DOCK	PASS	CLOSE
4	120 S. SEWALLS J & B BOATLIFT			INSPECTOR: 
7108	WINSLOW	TINTAG METAL		Reschedule Mon
	10 S. SEWALLS PT PACIFIC ROOFING			INSPECTOR: 
7202	BABBITT	DOCK FINAL	PASS	CLOSE
6	76 S. SEWALLS PT O/B			INSPECTOR: 
Tree	SCHNABEL	TREE	PASS	
3	122 S. SEWALLS			INSPECTOR: 
7043	SWEENEY	TINTAG + METAL	PASS	
9	4 S. VIA LUCINDA O/B	SKYLIGHT SCREWS		INSPECTOR: 
OTHER:	TREE RIGHT TO 8 PALM COURT	TREE	PASS	

**7240**

**SCREEN ENCLOSURE**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 1/27/05

BUILDING PERMIT NO. 7240

Building to be erected for JAVORSKY

Type of Permit Screen Enc

Applied for by O/B (Contractor)

Building Fee 120.00

Subdivision PINEAPPLE LA Lot 4 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 4 PINEAPPLE LANE

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Parcel Control Number:

1238410030006004080000

Electrical Fee \_\_\_\_\_

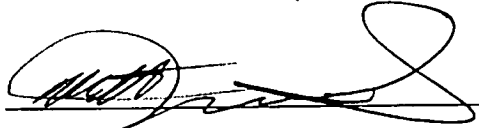
Plumbing Fee \_\_\_\_\_

Roofing Fee \_\_\_\_\_

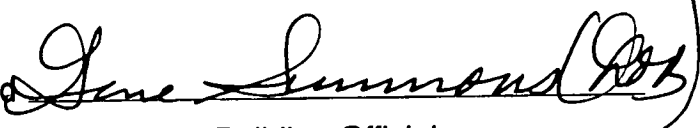
Amount Paid 120.00 Check # 2584 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 16000

TOTAL Fees 120.00

Signed 

Applicant

Signed 

Town Building Official

## PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

## INSPECTIONS

- UNDERGROUND PLUMBING \_\_\_\_\_
- UNDERGROUND MECHANICAL \_\_\_\_\_
- STEMWALL FOOTING \_\_\_\_\_
- SLAB \_\_\_\_\_
- ROOF SHEATHING \_\_\_\_\_
- TRUSS ENG/WINDOW/DOOR BUCKS \_\_\_\_\_
- ROOF TIN TAG/METAL \_\_\_\_\_
- PLUMBING ROUGH-IN \_\_\_\_\_
- MECHANICAL ROUGH-IN \_\_\_\_\_
- FRAMING \_\_\_\_\_
- FINAL PLUMBING \_\_\_\_\_
- FINAL MECHANICAL \_\_\_\_\_
- FINAL ROOF \_\_\_\_\_

- UNDERGROUND GAS \_\_\_\_\_
- UNDERGROUND ELECTRICAL \_\_\_\_\_
- FOOTING \_\_\_\_\_
- TIE BEAM/COLUMNS \_\_\_\_\_
- WALL SHEATHING \_\_\_\_\_
- LATH \_\_\_\_\_
- ROOF-IN-PROGRESS \_\_\_\_\_
- ELECTRICAL ROUGH-IN \_\_\_\_\_
- GAS ROUGH-IN \_\_\_\_\_
- EARLY POWER RELEASE \_\_\_\_\_
- FINAL ELECTRICAL \_\_\_\_\_
- FINAL GAS \_\_\_\_\_
- BUILDING FINAL \_\_\_\_\_

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # \_\_\_\_\_

TAX FOLIO # PARCEL ID # 1238 4100 3 000 000 408 0000

**NOTICE OF COMMENCEMENT**

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

**LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):**

4 PINEAPPLE LANE, SEWALLS POINT, FL 34996 (Lot 4)

**GENERAL DESCRIPTION OF IMPROVEMENT:** IN-KIND REPLACEMENT OF POOL ENCLOSURE

OWNER: WALTER JAVORSKY

ADDRESS: 4 PINEAPPLE LANE, SEWALLS POINT, FL 34996

PHONE #: 772-220-6054 FAX #: 772-220-9168

CONTRACTOR: GULF ATLANTIC

ADDRESS: 18305 BISCAYNE BLVD, SUITE 210, NORTH MIAMI BEACH, FL 33160

PHONE #: 305-937-0500 FAX #: 305-937-6280

SURETY COMPANY (IF ANY) \_\_\_\_\_ STATE OF FLORIDA \_\_\_\_\_

ADDRESS: \_\_\_\_\_ MARTIN COUNTY \_\_\_\_\_

PHONE # \_\_\_\_\_ THIS IS TO CERTIFY THAT THE FOREGOING \_\_\_\_\_ PAGES ARE TRUE AND CORRECT COPY OF THE ORIGINAL.

BOND AMOUNT: \_\_\_\_\_

LENDER: \_\_\_\_\_ BY [Signature] DATE 1-27-05 D.C. \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_ THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

[Signature]  
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 27th DAY OF JANUARY 2005 BY WALTER JAVORSKY PERSONALLY KNOWN X

[Signature]  
NOTARY SIGNATURE



PRODUCED ID \_\_\_\_\_ TYPE OF ID \_\_\_\_\_

INSTR # 1809660 OR BK 01976 PG 1681 RECD 01/27/2005 09:40:41 AM  
MARSHA EWING MARTIN COUNTY DEPUTY CLERK S Phoenix

JAN 27 2005

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number:

BY:
Date:

OWNER/TITLEHOLDER NAME: WALTER JAVORSKY Phone (Day) 772-220-6054 (Fax) 772-220-9168

Job Site Address: 4 PINEAPPLE LANE City: SEWALLS PT. State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Parcel Number:

Owner Address (if different): City: State: Zip:

Description of Work To Be Done: REPLACE POOL SCREEN ENCLOSURE - DAMAGED BY HURRICANE

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 16,000

(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$

Is Improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value:

(If no, fill out the Contractor & Subcontractor sections below)
(IF yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: Phone: Fax:

Street: City: State: Zip:

State Registration Number: State Certification Number: Martin County License Number:

SUBCONTRACTOR INFORMATION:

Electrical: State: License Number:

Mechanical: GULF ATLANTIC State: FL License Number: GGC 052 461 000

Plumbing: State: License Number:

Roofing: State: License Number:

ARCHITECT Lic.#: Phone Number:

Street: City: State: Zip:

ENGINEER Lic.#: Phone Number:

Street: City: State: Zip:

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: Garage: Covered Patios: Screened Porch:

Carport: Total Under Roof Wood Deck: Accessory Building:

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

State of Florida, County of: MARTIN

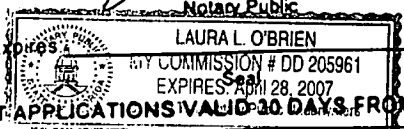
This the 27th day of JANUARY, 2005

by WALTER JAVORSKY who is personally

known to me or produced

as identification.

My Commission Expires



CONTRACTOR SIGNATURE (required)

On State of Florida, County of:

This the day of 200

by who is personally

known to me or produced

As identification.

My Commission Expires:

Notary Public

Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**TOWN OF SEWALL'S POINT**  
**ONE SOUTH SEWALL'S POINT ROAD**  
**SEWALL'S POINT, FLORIDA 34996**

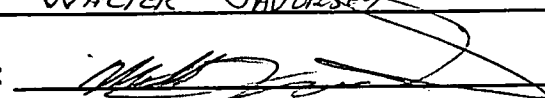
**TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT**  
**(To be submitted if permit is to be pulled by Owner/Builder)**

**DISCLOSURE STATEMENT**

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even through you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

**I have read the above and agree to comply with the provisions as stated.**

**Name:** WALTER JAVORSKY **Date:** 1/27/05

**Signature:** 

**Address:** 4 PINEAPPLE LN

**City & State:** SEWALLS POINT, FL 34996

**Permit No.** \_\_\_\_\_





**BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908**

**NOTICE OF ACCEPTANCE (NOA)**

**Custom Aluminum & Screen Corporation  
15842 S. W. 150 Court  
Miami, Florida 33187**

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION: Aluminum Framed Screen Enclosure**

**APPROVAL DOCUMENT:** Drawing No. 3122, titled "Custom Aluminum & Screen", sheets 1 through 3 of 3, prepared by Ramms Engineering, Inc., dated June 06, 1995, signed and sealed by Robert S. Monsour, P.E. on June 18, 2002, bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING: None**

→ **LABELING:** The bottom of each chair rail shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises & renews NOA # 99-0525.07 & consists of this page 1 & approval document mentioned above. The submitted documentation was reviewed by Helmy A. Makar, P.E.

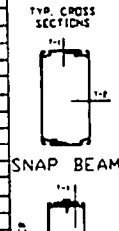


**NOA No 02-0313.02  
Expiration Date: 06/13/2007  
Approval Date: 09/05/2002  
Page 1**

COASTAL & NON-COASTAL ZONE ASCE 7-98 146 MPH

BEAM AND COLUMN SCHEDULE

MARK	SIZE	T1	T2	TYPE	MAX. BEAM SPANS AT GIVEN SPACINGS								
					3'-0"	3'-4"	6'-0"	6'-4"	7'-0"	7'-4"	8'-0"		
Beam	2 x 2	.033	.033	HOLLOW	8'-11"	8'-9"	8'-7"	8'-4"	8'-3"	8'-1"	8'-0"		
Beam	2 x 3	.033	.033	SNAP	9'-3"	9'-3"	9'-0"	8'-9"	8'-7"	8'-4"	8'-0"		
Beam	2 x 4	.062	.062	SNAP	12'-6"	12'-8"	11'-9"	11'-9"	11'-8"	10'-11"	10'-8"		
Beam	2 x 4	.120	.033	LAP	14'-3"	13'-9"	13'-4"	13'-0"	12'-8"	12'-5"	12'-2"		
Beam	2 x 5	.062	.062	SNAP	15'-1"	14'-7"	14'-3"	13'-8"	13'-5"	12'-8"	12'-10"		
Beam	2 x 6	.130	.062	SNAP	18'-11"	18'-4"	18'-6"	18'-3"	17'-10"	17'-8"	17'-1"		
Beam	2 x 6	.14	.062	LAP	20'-4"	19'-9"	19'-8"	18'-8"	18'-8"	17'-9"	17'-5"		
Beam	2 x 7	.130	.062	SNAP	22'-11"	22'-3"	21'-7"	21'-0"	20'-8"	20'-1"	18'-7"		
Beam	2 x 7	.130	.033	LAP	24'-7"	24'-3"	23'-8"	23'-11"	23'-5"	22'-8"	22'-1"		
Beam	2 x 8	.224	.070	LAP	28'-0"	27'-9"	26'-11"	26'-3"	25'-7"	25'-0"	24'-6"		
Beam	2 x 8	.224	.062	LAP	29'-0"	28'-7"	27'-3"	26'-7"	25'-11"	25'-4"	24'-10"		
Beam	2 x 9	.224	.070	LAP	31'-9"	30'-9"	29'-3"	28'-11"	27'-11"	26'-8"	25'-4"		
Beam	2 x 9	.224	.062	LAP	34'-3"	33'-3"	32'-3"	31'-5"	30'-8"	30'-0"	29'-4"		
Beam	2 x 10	.360	.062	LAP	38'-7"	37'-4"	36'-4"	35'-4"	34'-8"	33'-8"	33'-0"		



PURLIN TABLE  
 HEAVY LINE INDICATES MAXIMUM SPAN FOR 4" CUTTER "S" BRACKET. NO LIMIT TO "S" CUTTER BRACKET.  
 2 x 2 .033 .033 HOLLOW MAXIMUM SPAN = 7'-0" AS PURLIN AND CHAIRRAIL.  
 2 x 3 .033 .033 HOLLOW MAXIMUM SPAN = 8'-0" AS PURLIN AND CHAIRRAIL.  
 NOTE: MAXIMUM SPACING OF PURLINS = 8'-0". MAXIMUM AREA IN ANY PANEL = 36 SQ. FT.  
 MAXIMUM SPACING OF 212 CHAIRRAILS = 80" AVG. SPANS SHOWN ABOVE ARE CLEAR SPANS. 4" MAY BE ADDED TO EACH SPAN SHOWN.  
 MAXIMUM SPACING OF 312 CHAIRRAILS = 72" AVG.

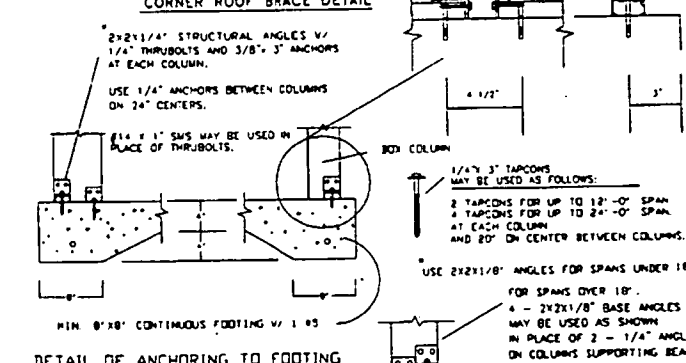
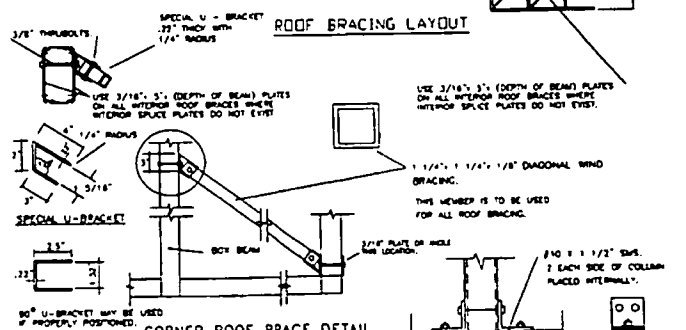
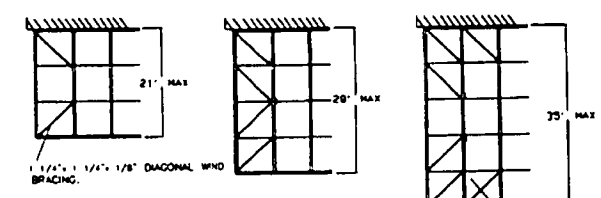
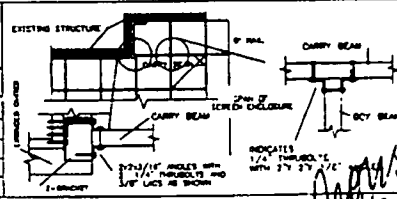
MARK	SIZE	T1	T2	TYPE	MAX. COLUMN HEIGHTS AT GIVEN SPACINGS								
					5'-0"	5'-4"	6'-0"	6'-4"	7'-0"	7'-4"	8'-0"		
Boy Col.	2 x 3	.033	.030	SNAP	6'-3"	6'-2"	5'-10"	5'-7"	5'-5"	5'-3"	5'-1"		
Boy Col.	2 x 4	.062	.062	SNAP	8'-4"	8'-0"	7'-8"	7'-4"	7'-1"	6'-10"	6'-7"		
Boy Col.	2 x 4	.120	.033	LAP	10'-8"	9'-9"	9'-4"	8'-11"	8'-7"	8'-4"	8'-1"		
Boy Col.	2 x 5	.062	.062	LAP	9'-8"	9'-3"	8'-11"	8'-6"	8'-2"	7'-11"	7'-8"		
Boy Col.	2 x 6	.13	.033	LAP	13'-4"	12'-8"	12'-8"	11'-8"	11'-3"	10'-10"	10'-4"		
Boy Col.	2 x 7	.130	.033	SNAP	17'-4"	16'-11"	16'-4"	15'-10"	15'-5"	14'-10"	14'-8"		
Boy Col.	2 x 7	.280	.070	LAP	20'-4"	19'-4"	18'-7"	17'-11"	17'-4"	16'-8"	16'-2"		
Boy Col.	2 x 8	.224	.062	LAP	23'-4"	22'-4"	19'-6"	18'-9"	18'-1"	17'-5"	16'-11"		

\*\*\* NOTE: MAX SPACING OF CHAIRRAILS IS 78" SPANS SHOWN ABOVE ARE CLEAR SPANS. 4" MAY BE ADDED TO EACH SPAN SHOWN.  
 212 AND 214 NON-LOAD BEARING BOY COLLARS MAY BE INCREASED AN ADDITIONAL 10% TO THE HEIGHTS SHOWN ABOVE.  
 ALL OTHER COLLARS TO REMAIN THE SAME.

DESIGN CRITERIA: FLORIDA BUILDING CODE, 2001  
 WIND EXPOSURE: 'C'  
 WIND DESIGN WIND LOAD IN S. OUT: 24.42 PSF  
 TEST LOAD WIND IN S. OUT: 34.63 PSF  
 WIND LIVE LOAD UP & DOWN: 10.6 PSF  
 TEST LOAD UP & DOWN: 15.9 PSF  
 REFLECTION COEFFICIENT: 0.4/0.8  
 ALUMINUM ALLOW: 6003-T6 UNLESS OTHERWISE SPECIFIED

CARRY BEAM TABLE

CLEAR SPAN OF 2 X 4 CARRY BEAM	MAX SPAN OF SCREEN ENCLOSURE	CLEAR SPAN OF 2 X 4 CARRY BEAM	MAX SPAN OF SCREEN ENCLOSURE
10'-0"	14'-0"	14'-0"	14'-0"
12'-0"	16'-0"	16'-0"	16'-0"
14'-0"	17'-4"	18'-0"	18'-0"
16'-0"	18'-9"	20'-0"	18'-0"
18'-0"	19'-2"	22'-0"	18'-0"

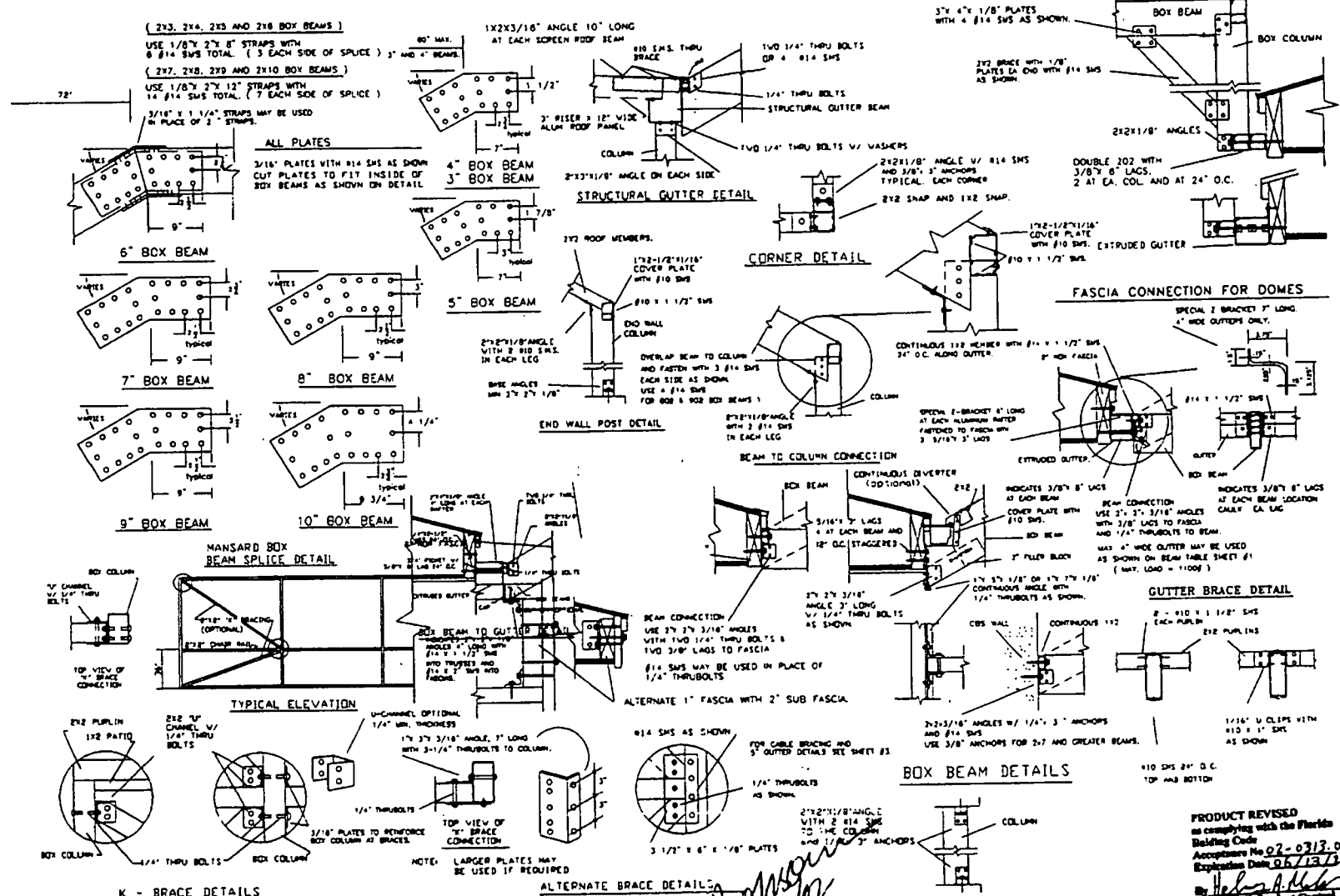


ANCHOR BOLTS TO EXTEND 1 1/2" BEYOND CHAIR, OR BRICK PAVEMENT SURFACES  
 NOTE: COLUMNS ALONG END WALLS REQUIRE ONE PAIR OF 2x2x1/8" ANGLES UNLESS COLUMNS ARE 2X5 OR GREATER. THEN TWO PAIR OF ANGLES ARE REQUIRED.  
 REPRODUCTION AND APPROVAL OF THIS PLAN OR ANY PART THEREOF FOR CONSTRUCTION OR ANY OTHER USE SHALL ONLY BE DONE BY RAMMS ENGINEERING, INC.  
 THIS PLAN IS INVALID UNLESS SIGNED AND SEALED BY ROBERT S. MONSOUR FOR EACH SUBMITTAL.

REVISIONS

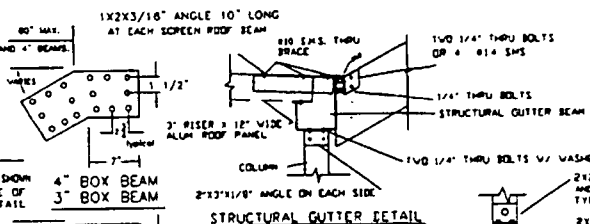
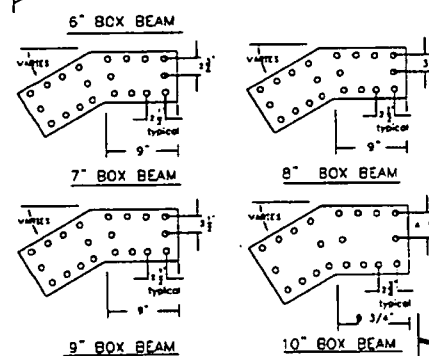

RAMMS ENGINEERING, INC.  
 Structural Design  
 7210 NW 46 STREET, SUITE 311  
 MIAMI, FLORIDA 33188  
 EB 0006074  
 CUSTOM ALUMINUM & SCREEN  
 7210 NW 46 STREET.  
 MIAMI, FLORIDA.

MONSOUR

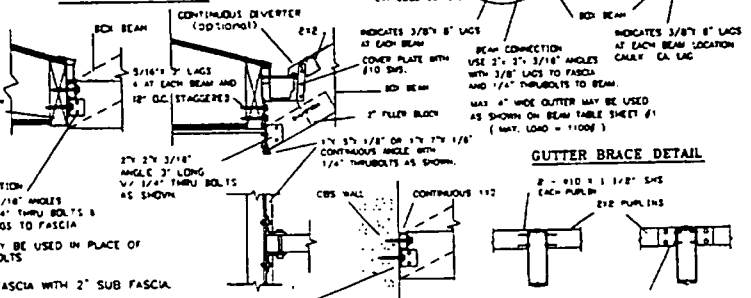
( 2x3, 2x4, 2x5 AND 2x6 BOX BEAMS )  
 USE 1/8" X 2" X 8" STRAPS WITH  
 8 #14 SWS TOTAL ( 3 EACH SIDE OF SPLICE ) 3' AND 4' BEAMS  
 ( 2x7, 2x8, 2x9 AND 2x10 BOX BEAMS )  
 USE 1/8" X 2" X 12" STRAPS WITH  
 14 #14 SWS TOTAL ( 7 EACH SIDE OF SPLICE )  
 3/16" X 1 1/4" STRAPS MAY BE USED  
 IN PLACE OF 2" STRAPS

ALL PLATES  
 3/16" PLATES WITH #14 SWS AS SHOWN  
 CUT PLATES TO FIT INSIDE OF  
 BOX BEAMS AS SHOWN ON DETAIL



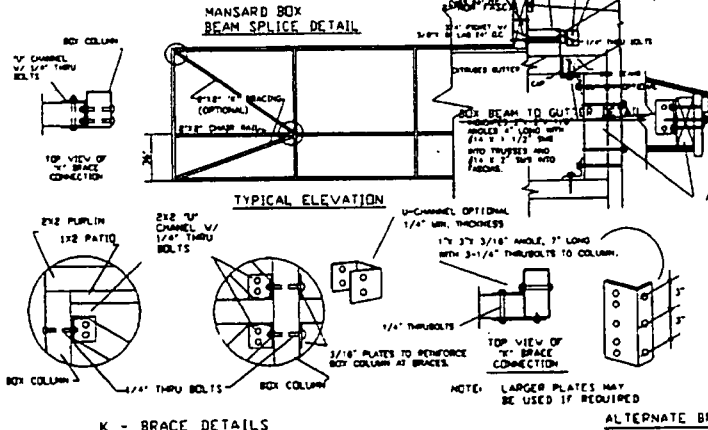
CORNER DETAIL

FASCIA CONNECTION FOR DOMES



GUTTER BRACE DETAIL

BOX BEAM DETAILS



K - BRACE DETAILS

PORCH DETAILS

REPRODUCTION AND APPROVAL OF THIS PLAN OR ANY PART THEREOF  
 FOR CONSTRUCTION OR ANY OTHER USE SHALL ONLY BE DONE BY  
 RAMMIS ENGINEERING, INC.

THIS PLAN IS INVALID UNLESS SIGNED AND SEALED BY  
 ROBERT S. MOUSOUR FOR EACH SUBMITTAL

REVISIONS	BY

RAMMIS ENGINEERING, INC.  
*Structural Design*  
 7210 NW 46 STREET, SUITE 311  
 MIAMI, FLORIDA 33146  
 ED 0006024

CUSTOM ALUMINUM & SCREEN  
 7210 NW 46 STREET.  
 MIAMI, FLORIDA.

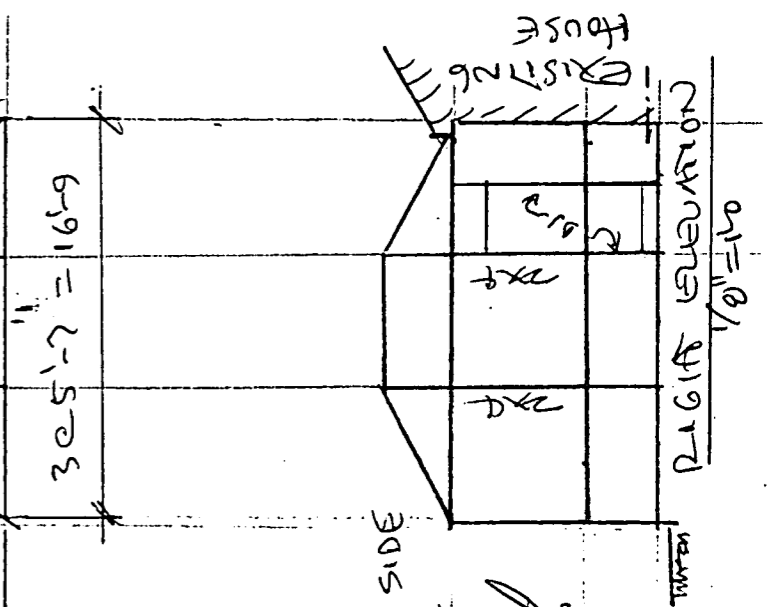
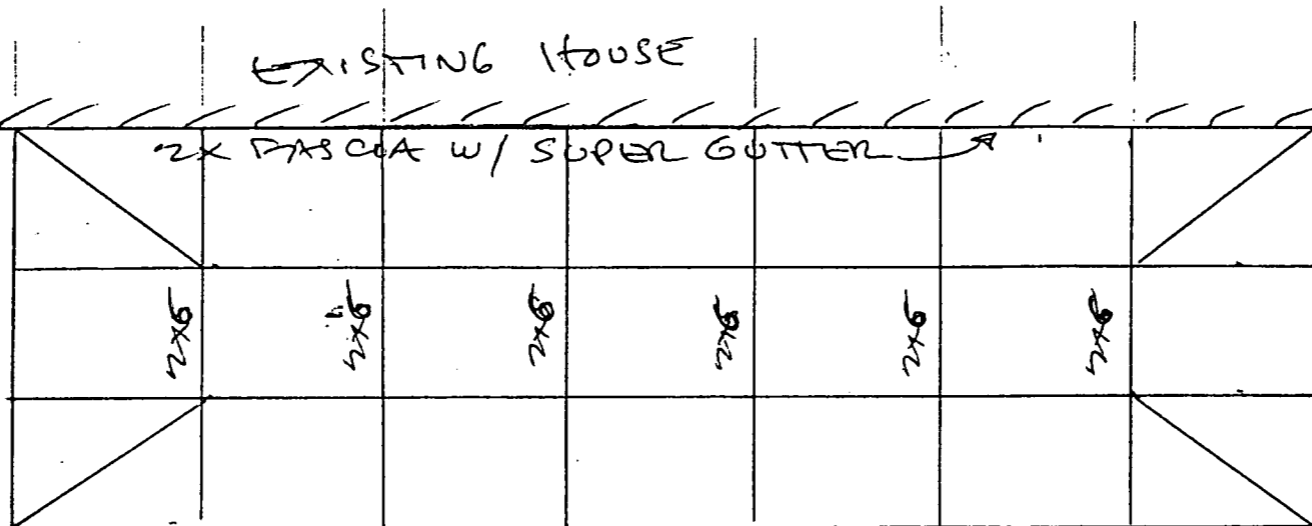
DATE	BY

2

PRODUCT REVISED  
 as complying with the Florida  
 Building Code  
 Acceptance No. 02-0313.02  
 Expiration Date 06/13/2007  
 By: Robert S. Mousour  
 Miami District Product Control  
 Division



FILE COPY  
 TOWN OF SEWALL'S POINT  
 THESE PLANS HAVE BEEN  
 REVIEWED FOR CODE COMPLIANCE  
 DATE: 11/27/05  
 BUILDING OFFICIAL  
 Gene Simmons



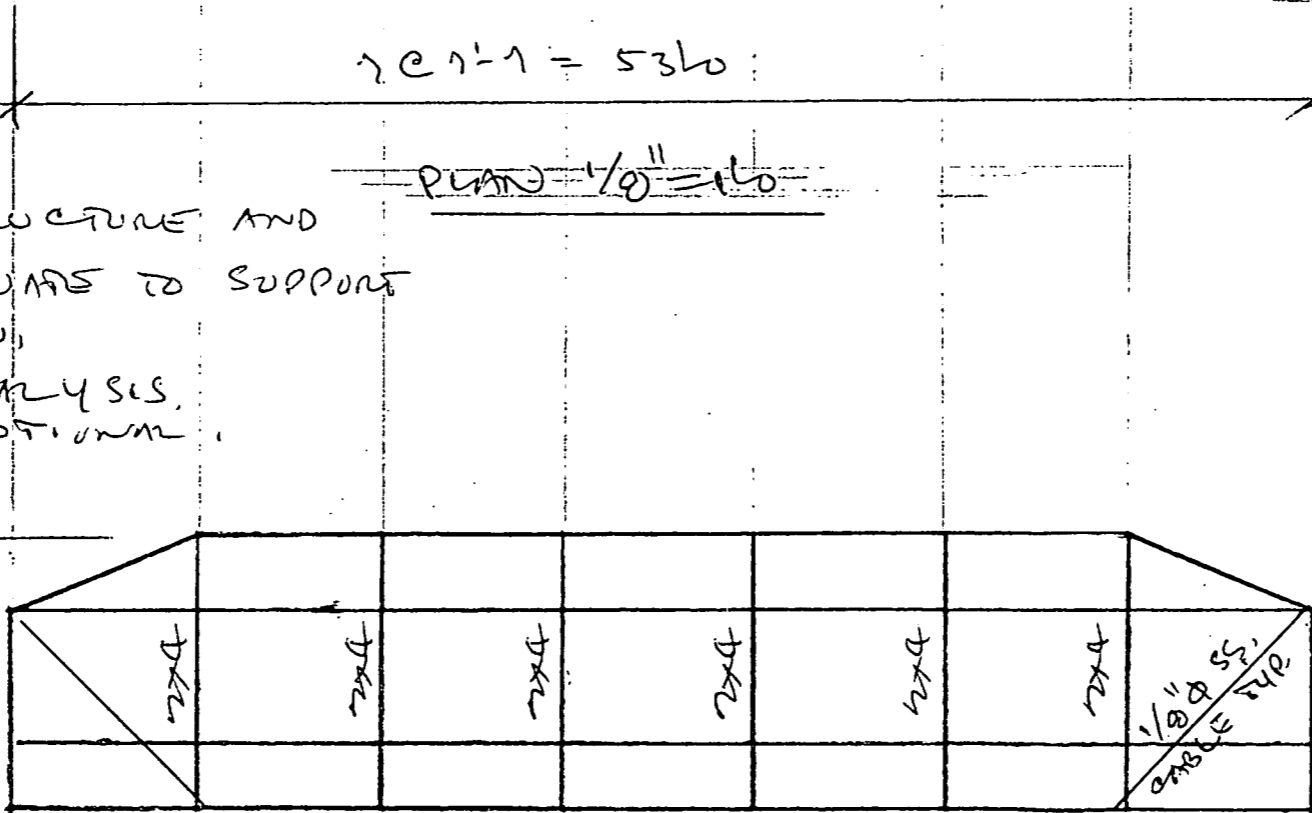
**REPAIR WORK FOR HURRICANE DAMAGE**

**NOTES:**

- THE EXISTING STRUCTURE AND SLAB & FPG, IS ADEQUATE TO SUPPORT THE LOADS UP & DN.
- PER NATIONAL ANALYSIS.
- DOOR LOCATION OPTION.

- DOORS TO SELF CROSS & SELF LATCH.
- DESIGNED FOR PWT SPANE.

EXISTING SLAB & FPG.



ELEVATION 1/8" = 1'-0"

JOB: 16'9" x 53'0"  
 SCREEN ENCLOSURE

OWNER: WALT JAWORSKY  
 4 PINEAPPLE LN.  
 SEWALLS POINT, FL 39996

CONTRACTOR: FAD

ENGR: J. POTTS PE, 22678

DATE: 1/26/05

NOTE:  
 OPPOSITE SIDE  
 SIMILAR

*John Potts*  
 1/26/05

BEAM AND COLUMN SCHEDULE

MARK	SIZE	T1	T2	TYPE	MAX. BEAM SPANS AT GIVEN SPACINGS							
					5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"	
Box Bm.	2 x 2	.055	.055	HOLLOV	6'-11"	6'-9"	6'-7"	6'-4"	6'-3"	6'-1"	5'-11"	
Box Bm.	2 x 3	.055	.055	SNAP	9'-7"	9'-3"	9'-0"	8'-9"	8'-7"	8'-4"	8'-2"	
Box Bm.	2 x 4	.062	.062	SNAP	12'-6"	12'-2"	11'-9"	11'-5"	11'-2"	10'-11"	10'-8"	
Box Bm.	2 x 4	.120	.055	LAP	14'-3"	13'-9"	13'-4"	13'-0"	12'-8"	12'-5"	12'-2"	
Box Bm.	2 x 5	.062	.062	SNAP	15'-1"	14'-7"	14'-2"	13'-9"	13'-5"	13'-2"	12'-10"	
Box Bm.	2 x 6	.120	.062	SNAP	19'-11"	19'-4"	18'-9"	18'-3"	17'-10"	17'-5"	17'-1"	
Box Bm.	2 x 6	.14	.062	LAP	20'-4"	19'-9"	19'-2"	18'-8"	18'-2"	17'-9"	17'-5"	
Box Bm.	2 x 7	.130	.068	SNAP	22'-11"	22'-3"	21'-7"	21'-0"	20'-8"	20'-1"	19'-7"	
Box Bm.	2 x 7	.130	.055	LAP	21'-7"	20'-7"	19'-9"	18'-11"	18'-3"	17'-8"	17'-1"	
Box Bm.	2 x 7	.290	.070	LAP	27'-1"	26'-3"	25'-5"	24'-9"	24'-2"	23'-7"	23'-2"	
Box Bm.	2 x 8	.229	.072	LAP	28'-8"	27'-9"	26'-11"	26'-3"	25'-7"	25'-0"	24'-6"	
Box Bm.	2 x 8	.229	.082	LAP	29'-0"	28'-2"	27'-5"	26'-7"	25'-11"	25'-4"	24'-10"	
Box Bm.	2 x 9	.229	.072	LAP	31'-5"	30'-5"	29'-3"	28'-1"	27'-1"	26'-2"	25'-4"	
Box Bm.	2 x 9	.328	.082	LAP	34'-3"	33'-3"	32'-3"	31'-5"	30'-8"	30'-0"	29'-4"	
Box Bm.	2 x 10	.363	.092	LAP	38'-7"	37'-4"	36'-4"	35'-4"	34'-8"	33'-8"	33'-0"	

PURLIN TABLE

MARK	SIZE	T1	T2	TYPE	MAXIMUM SPAN
2 x 2	.055	.055	HOLLOV	MAXIMUM SPAN = 7'-0" AS PURLIN AND CHAIRRAIL	
2 x 3	.055	.055	HOLLOV	MAXIMUM SPAN = 8'-0" AS PURLIN AND CHAIRRAIL	

NOTE: MAXIMUM SPACING OF PURLINS = 8'. MAXIMUM AREA IN ANY PANEL = 56 SQ. FT.  
 MAXIMUM SPACING OF 2x2 CHAIRRAILS = 80' AVG.  
 MAXIMUM SPACING OF 3x2 CHAIRRAILS = 72' AVG.  
 SPANS SHOWN ABOVE ARE CLEAR SPANS. 4" MAY BE ADDED TO EACH SPAN SHOWN.

MARK	SIZE	T1	T2	TYPE	MAX. COLUMN HEIGHTS AT GIVEN SPACINGS							
					5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"	
Box Col.	2 x 3'	.055	.055	SNAP	6'-5"	6'-2"	5'-10"	5'-7"	5'-5"	5'-3"	5'-1"	
Box Col.	2 x 4	.062	.062	SNAP	8'-4"	8'-0"	7'-8"	7'-4"	7'-1"	6'-10"	6'-7"	
Box Col.	2 x 4	.120	.055	LAP	10'-2"	9'-9"	9'-4"	8'-11"	8'-7"	8'-4"	8'-1"	
Box Col.	2 x 5	.062	.062	LAP	9'-9"	9'-3"	8'-11"	8'-6"	8'-2"	7'-11"	7'-8"	
Box Col.	2 x 6	.18	.055	LAP	13'-4"	12'-8"	12'-2"	11'-8"	11'-3"	10'-10"	10'-6"	
Box Col.	2 x 7	.190	.055	SNAP	17'-6"	12'-11"	12'-4"	11'-10"	11'-5"	11'-0"	10'-8"	
Box Col.	2 x 7	.290	.070	LAP	20'-6"	19'-6"	18'-7"	17'-11"	17'-4"	16'-8"	16'-2"	
Box Col.	2 x 8	.229	.082	LAP	21'-4"	20'-4"	19'-6"	18'-9"	18'-1"	17'-5"	16'-11"	

\*\*\* NOTE: MAX SPACING OF CHAIRRAILS IS 78'. SPANS SHOWN ABOVE ARE CLEAR SPANS. 4" MAY BE ADDED TO EACH SPAN SHOWN.  
 2x3 AND 2x4 NON-LOAD BEARING BOX COLUMNS MAY BE INCREASED AN ADDITIONAL 10% TO THE HEIGHTS SHOWN ABOVE.  
 ALL OTHER COLUMNS TO REMAIN THE SAME.

DESIGN CRITERIA: FLORIDA BUILDING CODE, 2001  
 ASCE 7-98 EXPOSURE 'C'

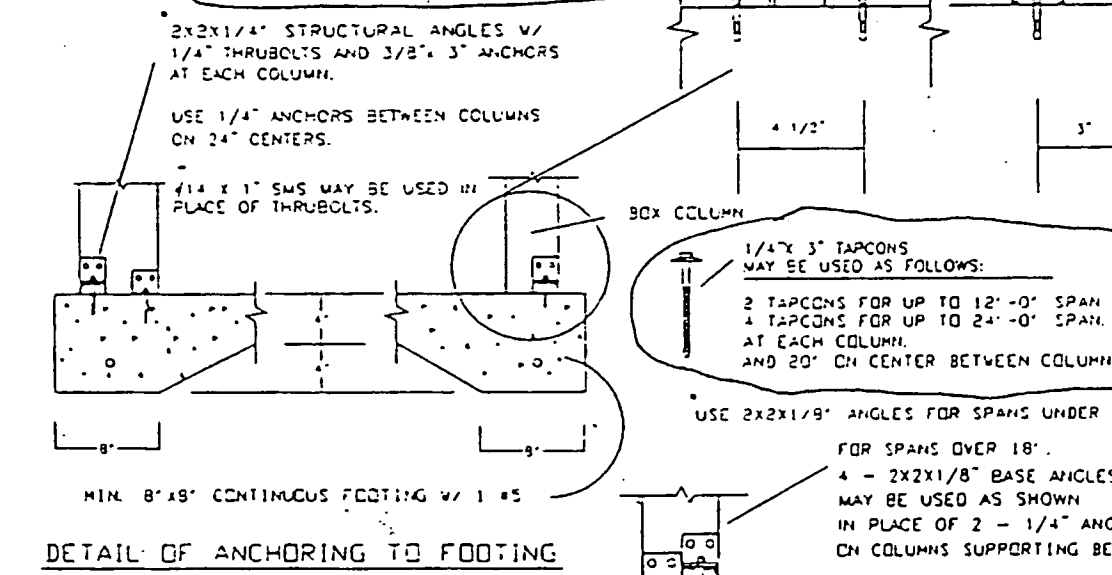
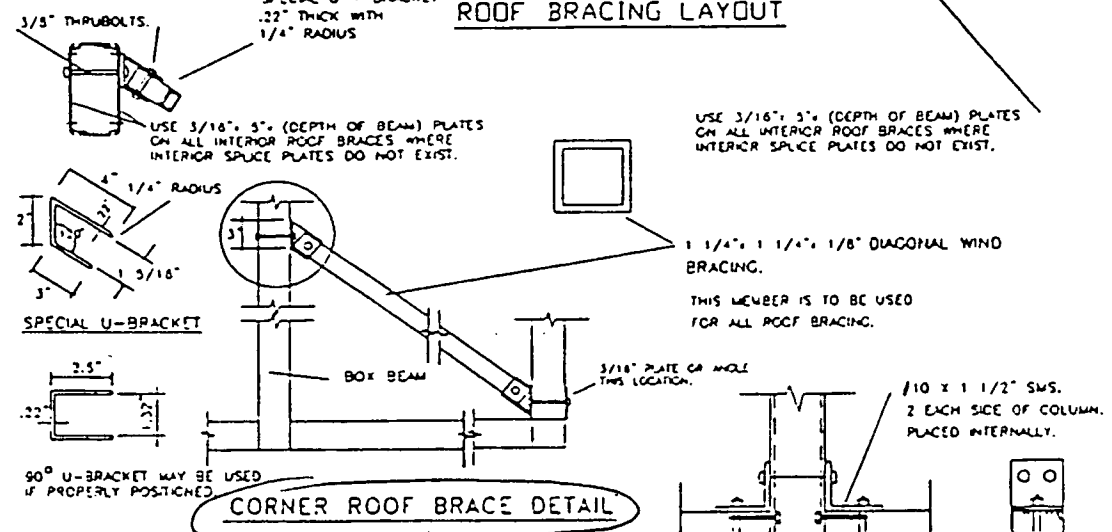
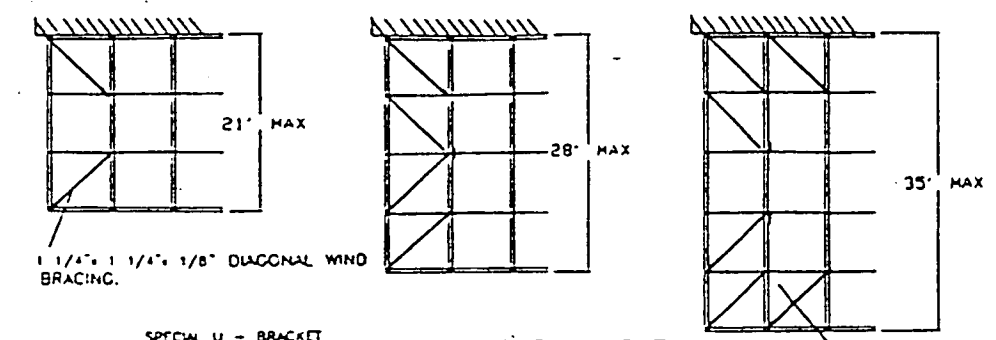
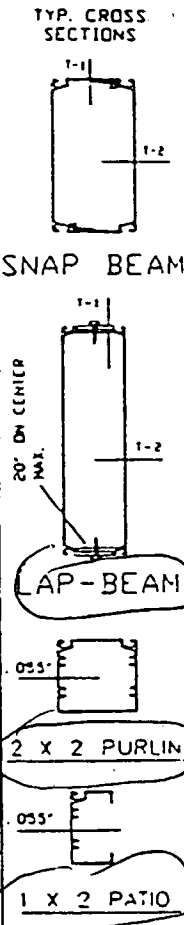
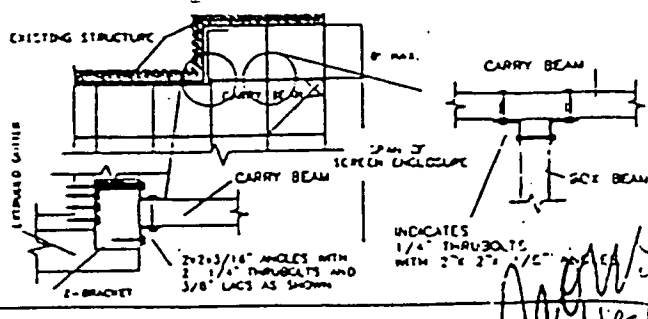
NOTES:  
 1) ROOF AND SIDES SHALL BE COVERED WITH SCREEN CLOTH BEING 60% OPEN OR GREATER ONLY.  
 2) THE EXISTING STRUCTURE MUST BE CAPABLE OF SUPPORTING THE LOADED SCREEN ENCLOSURE.  
 3) METAL STRUCTURES WITHIN 5 FT OF SWIMMING POOLS SHALL BE GROUNDED PER REC. 680-22  
 4) ANCHORS TO CONCRETE & MASONRY SHALL BE 3/8" x 3" ANCHORS OR APPROVED EQUAL UNLESS OTHERWISE SPECIFIED.

WALLS DESIGN WIND LOAD IN & OUT ----- 24.42 PSF  
 TEST LOAD WIND IN & OUT ----- 26.83 PSF  
 LIVE LOAD UP & DOWN ----- 10.8 PSF  
 TEST LOAD UP & DOWN ----- 15.9 PSF  
 DEFLECTION LIMITATION ----- L/80  
 ALUMINUM ALLOY 6063-T6 UNLESS OTHERWISE SPECIFIED.

CARRY BEAM TABLE

CLEAR SPAN OF 2 x 6 CARRY BEAM	MAX SPAN OF SCREEN ENCLOSURE	CLEAR SPAN OF 2 x 7 CARRY BEAM	MAX SPAN OF SCREEN ENCLOSURE
10'-0"	MAXIMUM	14'-0"	MAXIMUM
12'-0"	26'-5"	16'-0"	34'-5"
14'-0"	17'-4"	18'-0"	25'-5"
16'-0"	10'-9"	20'-0"	16'-9"
18'-0"	5'-2"	22'-0"	10'-7"

MAXIMUM SPAN SHOWN IN BEAM TABLE ABOVE.



ANCHOR BOLTS TO EXTEND 1 1/4" BEYOND CHART. OR BRICK PAVEMENT SURFACES

NOTE: COLUMNS ALONG END WALLS REQUIRE ONE PAIR OF 2x2x1/8 ANGLES UNLESS COLUMNS ARE 2x5 OR GREATER. THEN TWO PAIR OF ANGLES ARE REQUIRED.

REPRODUCTION AND APPROVAL OF THIS PLAN OR ANY PART THEREOF FOR CONSTRUCTION OR ANY OTHER USE SHALL ONLY BE DONE BY RAMMS ENGINEERING, INC.

THIS PLAN IS INVALID UNLESS SIGNED AND SEALED BY ROBERT S. MONSOUR FOR EACH SUBMITAL.

PRODUCT REVISED as complying with the Florida Building Code Acceptance No. 02-0313.02 Expiration Date 06/13/2007

By *Robert S. Monsour*  
 Miami Dept. Product Control  
 Division

REVISIONS	BY

RAMMS ENGINEERING, INC.  
*Structural Design*  
 2100 W. 76th STREET, SUITE 311  
 MIAMI, FLORIDA 33018  
 EB 0006024

CUSTOM ALUMINUM & SCREEN  
 7210 NW 46 STREET.  
 MIAMI, FLORIDA.

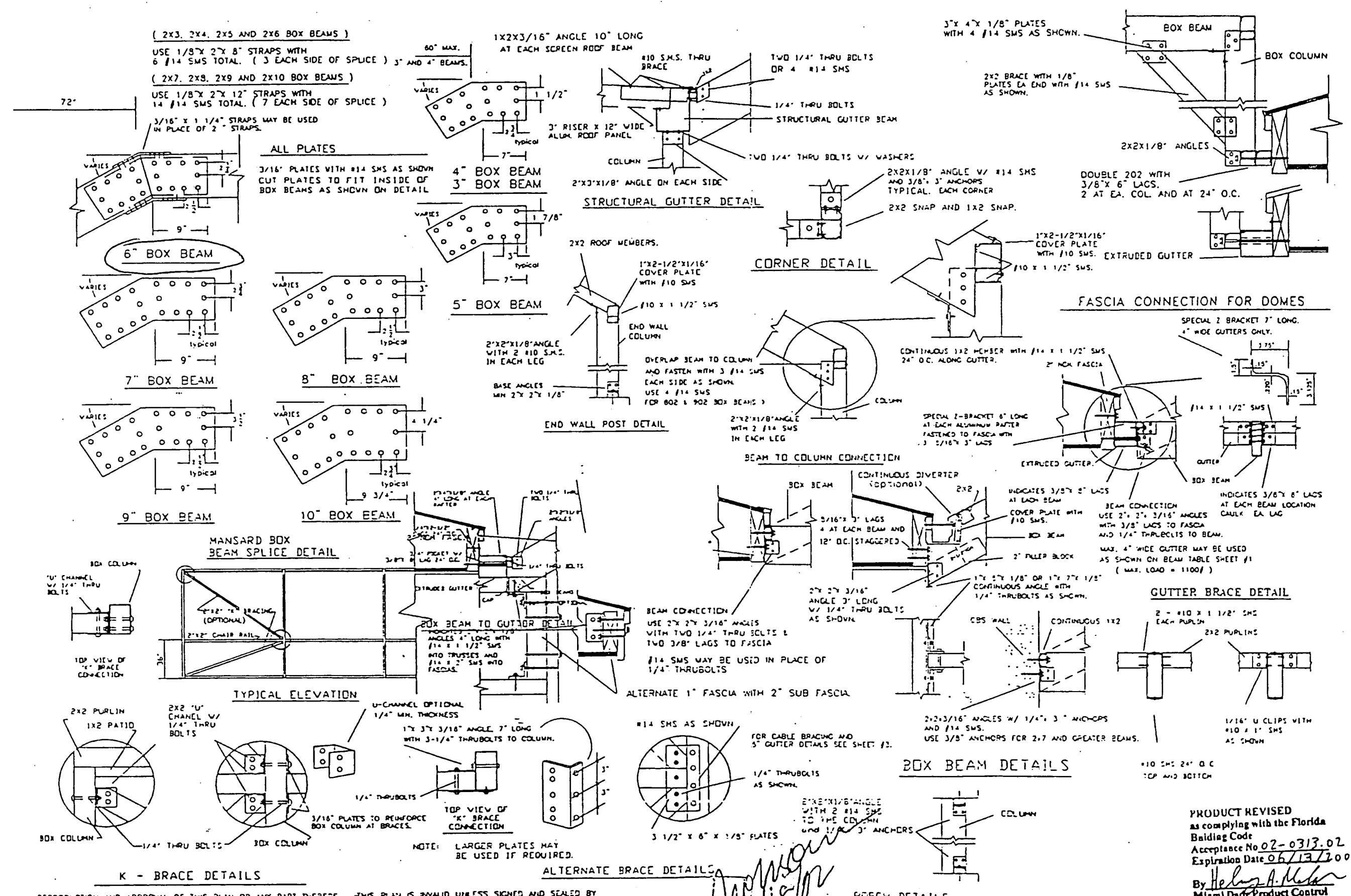
NO.	DATE	DESCRIPTION
1		
2		
3		

REVISIONS	BY

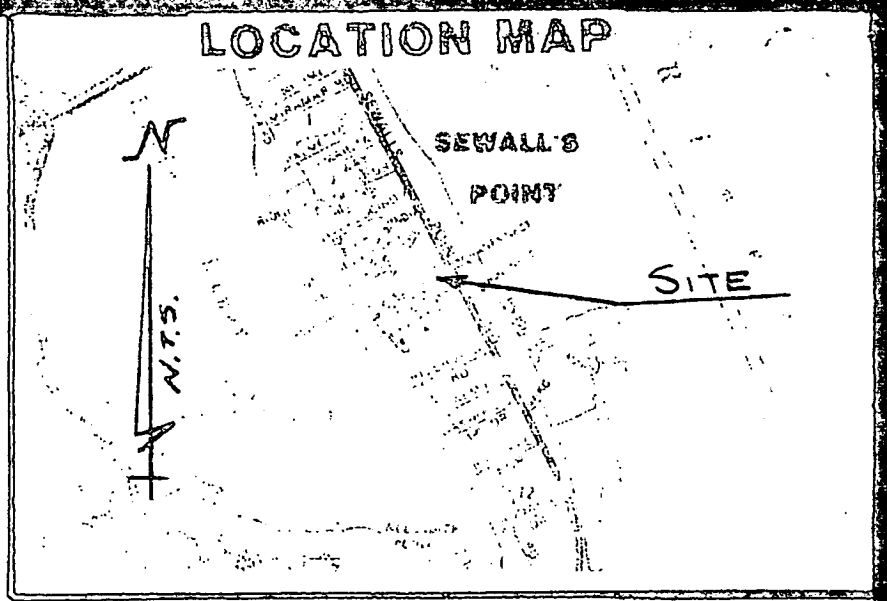
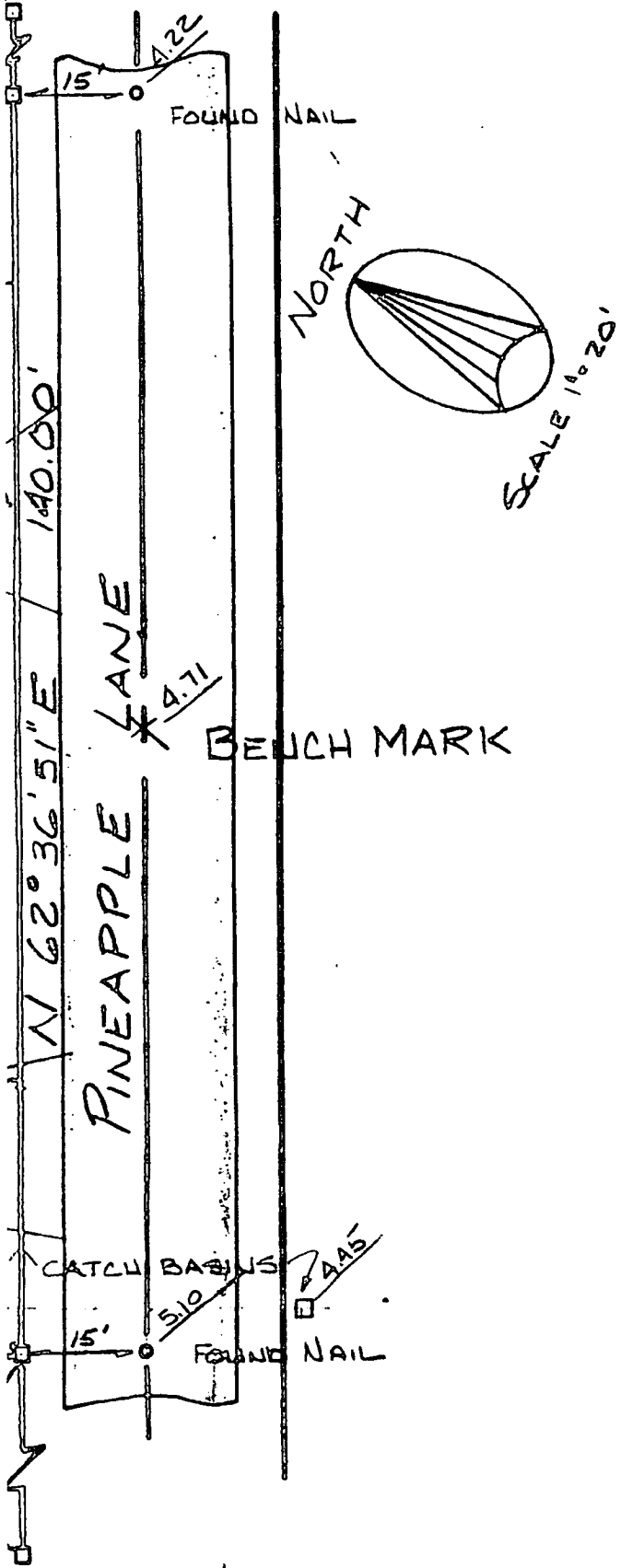
RAMMS ENGINEERING, INC.  
*Structural Design*  
 2100 W. 76th STREET, SUITE 311  
 MIAMI, FLORIDA 33016  
 EB 0006024

CUSTOM ALUMINUM & SCREEN  
 7210 NW 46 STREET.  
 MIAMI, FLORIDA.

MONSOUR
PCW
JUNE 8, 1995
SHOWN
2



PORCH DETAILS.



**LEGAL DESCRIPTION**

ALL OF LOT 4, PINEAPPLE LANE -----  
 ----- ACCORDING TO THE PLAT  
 THEREOF AS RECORDED IN PLAT BOOK 11 PAGE 62  
 OF THE PUBLIC RECORDS OF MARTIN COUNTY  
 FLORIDA. SAID LANDS LYING IN MARTIN  
 COUNTY, FLORIDA.

**SURVEY NOTES**

1. NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL
2. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS OF WAY, EASEMENTS OR OWNERSHIP
3. LAND DESCRIPTION HEREON WAS PROVIDED BY THE CLIENT
4. BEARINGS SHOWN HEREON ARE BASED ON THE PLAT OF PINEAPPLE LANE
5. ELEVATIONS SHOWN HEREON ARE BASED ON N.G.V.D. "1929" DATUM

**CERTIFIED TO:**

WALTER & LIDIA JAVORSKY  
 ATTORNEY TITTLE INSURANCE FUND  
 SUN BANK/ TREASURE COAST N.A.

FIELD WORK COMPLETE

**F.W. REPASS**

---

**LAND SURVEYORS**

PO BOX 3424  
 SEWELL, FL 32964 (407) 334-6527

**FINAL SURVEY**

SCALE: 1" = 20'	DWG BY FWR	FILE NO. 89-148
--------------------	---------------	--------------------



LOT #5 (VACANT)

FOUND 4"X4" CONCRETE MONUMENT

NORTH 0.24'  
EAST 0.08'

FOUND 4"X4" CONCRETE MONUMENT

3.8' 4

N 27° 23' 24" W 142.11'

142.11'

PROPOSED WATER SUPPLY LINE

52.7'

WATER

RIO VISTA (PLAT BOOK 6, PAGE 95)

N 62° 36' 51" E 140.00'

10' EASEMENT

53.1'

19.9'

36' X 12' POOL

12.0'

COVERED PORCH

49.0'

32.3'

TOP OF FORM BOARD ELEV. 7.30

PROPOSED RESIDENCE UNDER CONSTRUCTION

200'

14.8'

7.0'

2.8'

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2.8'

CONCRETE DRIVE WALK

35.0'

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35.0'

N 27° 23' 24" W

142.11'

FOUND 4"X4" CONCRETE MONUMENT

FOUND 4"X4" CONCRETE MONUMENT

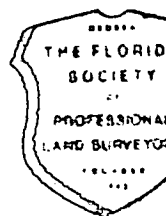
SURVEYOR'S CERTIFICATE

LOT #3 (VACANT)

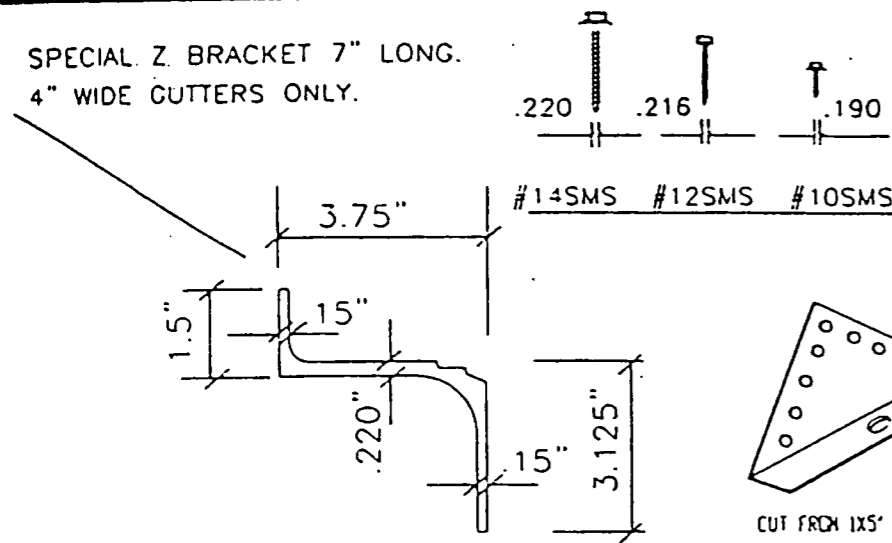
I HEREBY CERTIFY THAT THIS SURVEY MAP IS PER RECORD DESCRIPTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED IN THE FIELD. I FURTHER CERTIFY THAT THIS SURVEY COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS SET FORTH IN CHAPTER 21HH-6 F.A.C. BY THE FLORIDA BOARD OF LAND SURVEYORS PURSUANT TO SECTION 472.027 FLORIDA STATUTES, AND THAT THERE ARE NO ABOVE GROUND ENCROACHMENTS OTHER THAN SHOWN.

BY \_\_\_\_\_ DATE 6-1-90

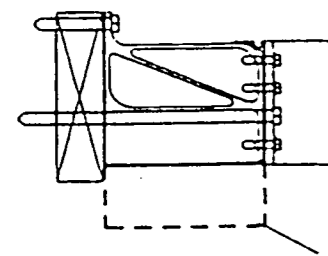
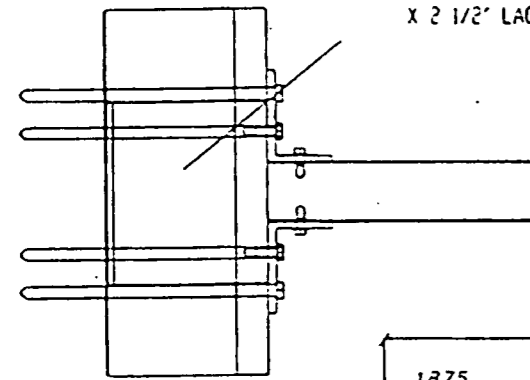
PROFESSIONAL LAND SURVEYOR FLORIDA REGISTRATION # 572



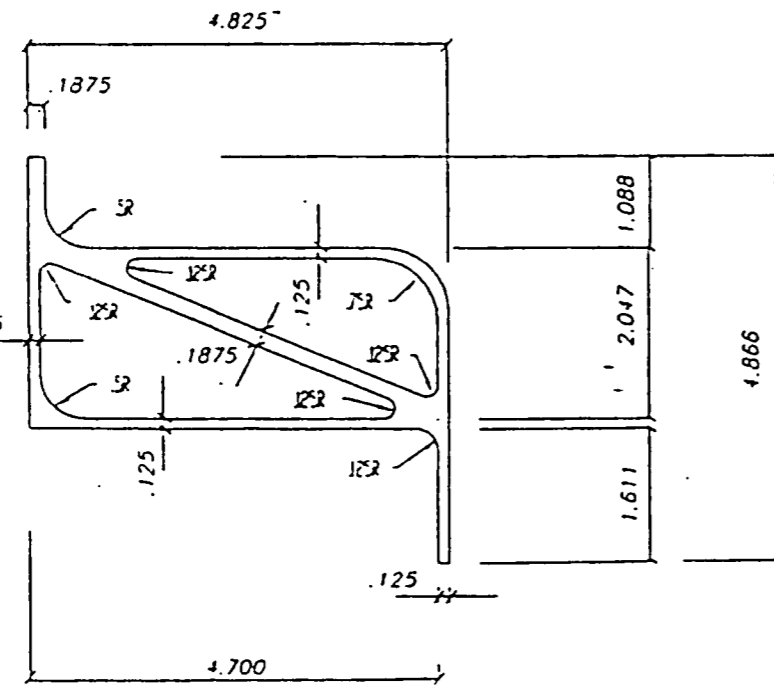
SPECIAL Z BRACKET 7" LONG.  
4" WIDE CUTTERS ONLY.



4" Z-BRACKET

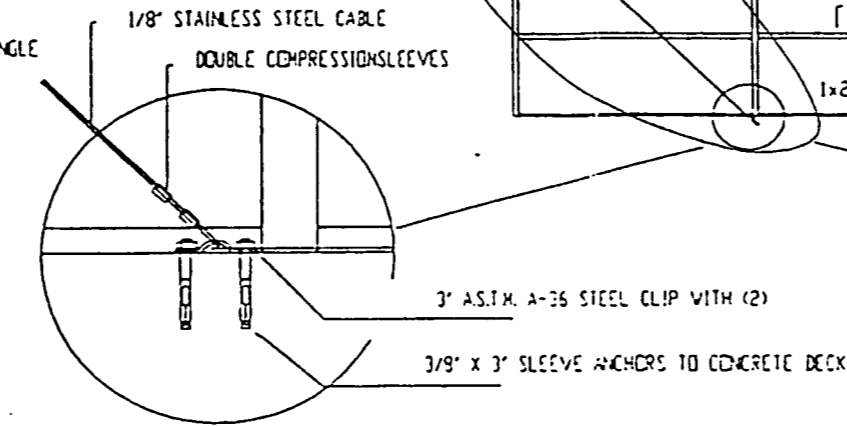
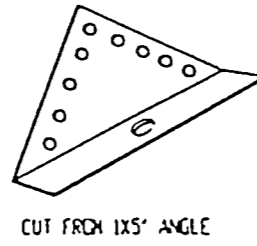
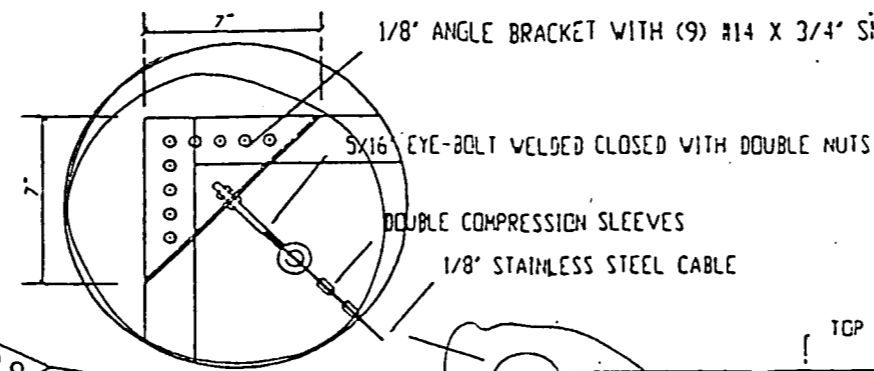


ALTERNATE GUTTER SIZE



FASTEN SUPER GUTTER TO THE HOST STRUCTURE WITH 1/4" x 2 1/2" LAGS 24" O.C.

1/8" ANGLE BRACKET WITH (9) #14 X 3/4" SMS TO WALL MEMBERS

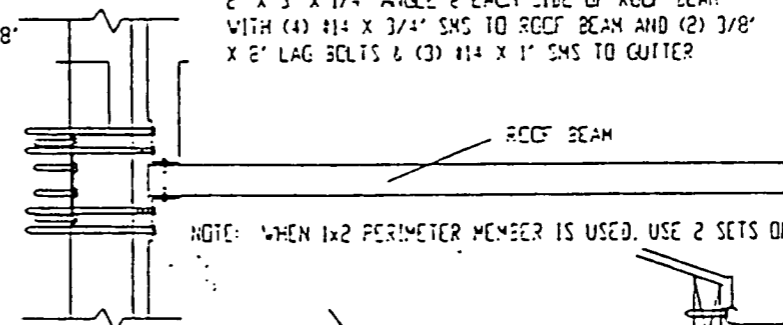


ALTERNATE

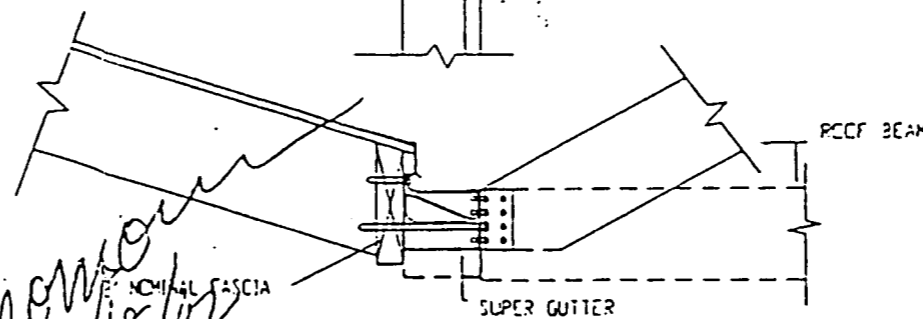
CABLE BRACING DETAIL

6" SUPER BRACKET WITH (4) 3/8" X 2 1/2" LAG BOLTS TO FASCIA

2" X 3" X 1/4" ANGLE 2 EACH SIDE OF ROOF BEAM WITH (4) #14 X 3/4" SMS TO ROOF BEAM AND (2) 3/8" X 2" LAG BOLTS & (3) #14 X 1" SMS TO GUTTER



NOTE: WHEN 1x2 PERIMETER MEMBER IS USED, USE 2 SETS OF 1/4" ANGLES.

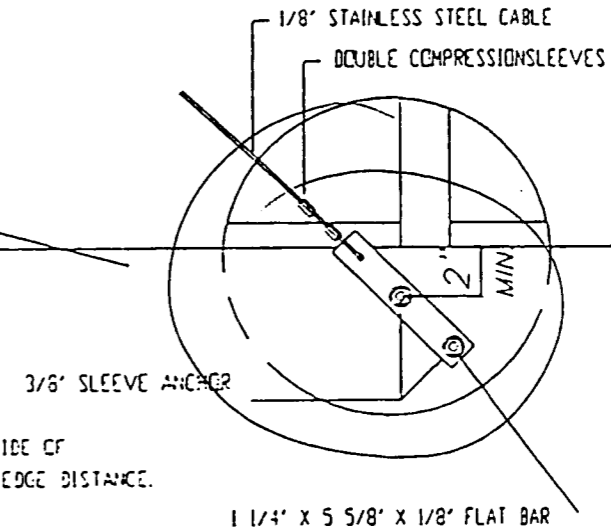


5" CUTTER BRACKET DETAILS.

END NON LOAD BEARING WALL SQUARE FOOTAGE

1-145	146-273	274-363	364-416	417-443
TOTAL NUMBER OF CABLES ON THE FRONT LOAD BEARING WALL				
2	4	6	8	10
1 EA. END	2 EA. END	3 EA. END	4 EA. END	5 EA. END

QUANTITIES ABOVE ARE FOR 3 SIDED ENCLOSURES. REFER TO ENGINEER'S SITE SPECIFIC PLAN FOR OTHER CONDITIONS. USE ONE SET OF CABLES ON RETURN WALLS FOR SPANS OVER 16 FEET.



THIS CLIP MAY ALSO BE USED ON SIDE OF CONCRETE SLAB. MAINTAIN 2" MIN. EDGE DISTANCE.

REVISIONS	BY

RAMMS ENGINEERING, INC.  
Structural Design  
2100 W. 76th STREET, SUITE 311  
MIAMI, FLORIDA 33016  
EB 0006024

CUSTOM ALUMINUM & SCREEN  
7210 NW 46 STREET.  
MIAMI, FLORIDA.

MONSOUR
RSW
JUNE 6, 1995
SHOWN
3

PRODUCT REVISED as complying with the Florida Building Code  
Acceptance No 02-0313-02  
Expiration Date 06/13/2007  
By Helmut A. Helmut  
Miami Dept Product Control Division

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri FEB 9, 2005 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7283	TEPLITZ	FLAT ROOF DEYN	PASS	
16	25 N. RIVER JA TAYLOR ROOFING			INSPECTOR: <i>[Signature]</i>
<del>7240</del>	JAWORSKI	FINAL SCE. ENCL	PASS	CLOSE
<del>16</del>	4 PINEAPPLE O/B			INSPECTOR: <i>[Signature]</i>
7073	JOHNSTON	DEYN	PASS	
<del>13</del>	34 W. HIGH POINT AN AMER ROOFING			INSPECTOR: <i>[Signature]</i>
Tree	LAMB	Tree	PASS	
6	110 S. SEWALL'S Pt			INSPECTOR: <i>[Signature]</i>
7186	LIPES	DEYN	FAIL	REINSPECTED
12	5 COPAIRE PVD DEVELOPMENT		PASS	LATER IN MORNING
Tree	BRUCIA	Tree	PASS	
7	2 KINGSTON Ct			INSPECTOR: <i>[Signature]</i>
7156	MORAN	INSULATION	PASS	PARTIAL NORTH SIDE
15	32 N. SEWALL'S Pt W H McComb	GATE 1007		INSPECTOR: <i>[Signature]</i>
OTHER: _____				

TOWN OF SEWALL'S POINT, FLORIDA

Date 7-16-02 19   TREE REMOVAL PERMIT No 1173

APPLIED FOR BY ASPLUNDH TREES - 561-201-3124 (Contractor or Owner)

Owner 4 Pine apple - Divoloski, WALT (RES)

Sub-division \_\_\_\_\_, Lot \_\_\_\_\_, Block \_\_\_\_\_

Kind of Trees 1 Sable Palm

No. Of Trees: REMOVE 1

No. Of Trees: RELOCATE \_\_\_\_\_ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE \_\_\_\_\_ WITHIN 30 DAYS

REMARKS \_\_\_\_\_

\_\_\_\_\_ FEE \$ 0

Signed, \_\_\_\_\_ Applicant, Signed, Gene Senanon (APM) Town Clerk

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection  
WORK HOURS 8:00 A.M. - 5:00 P.M.—NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Empty lined box for drawing or site plan.

PROJECT DESCRIPTION \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

REMARKS \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Permit # \_\_\_\_\_

Date Issued: \_\_\_\_\_

This application shall include a written statement giving reasons for removal, relocation, or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner Wolfgang Divosky Address 4 Pineapple Ln Phone 977-220-6052

Contractor ASPLUNDA Address 880 SW Del Rio Phone 561-201-3124

Number of trees to be removed (list kinds of trees) 1 Sabal Palm

Number of trees to be relocated within 30 days (no fee) (list kinds of trees): \_\_\_\_\_

Number of trees to be replaced: \_\_\_\_\_ (list kinds of trees): \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_

\$15.00

(No permit fee for trees which are relocated on property or lie within a utility easement and are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

Permit good for one year. Fee for renewal of expired permit is \$5.00.

Signature of applicant \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

Approved by Building Inspector \_\_\_\_\_ Date submitted: \_\_\_\_\_

Completed \_\_\_\_\_  
Date Checked by

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT A FEE. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA

See attached Tree Species List

OK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

**TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT**

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner WALTER JAVORSKY Address [REDACTED] Phone 772-285-0858

Contractor \_\_\_\_\_ Address \_\_\_\_\_ Phone \_\_\_\_\_

No. of Trees: REMOVE 1 Species: PALM

No. of Trees: RELOCATE 0 Species: \_\_\_\_\_

No. of Trees: REPLACE 0 Species: \_\_\_\_\_

\*\*\*ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION\*\*\*

Reason for tree removal /relocation (See notice above) PALM DIED

Signature of Property Owner [Signature] Date 4/15/08

Approved by Building Inspector: [Signature] Date 4/16/08 Fee: 0

NOTES: \_\_\_\_\_

SKETCH:

PSC 2000 Series 2410  
Personal Printer/Fax/Copier/Scanner

Log for  
Javorsky  
772-220-6054  
Apr 15 2008 4:07PM

---

Last Transaction

<u>Date</u>	<u>Time</u>	<u>Type</u>	<u>Identification</u>	<u>Duration</u>	<u>Pages</u>	<u>Result</u>
Apr 15	4:07PM	Fax Sent	17603293425	0:34	1	Error 442*

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\* A communication error occurred during the fax transmission.  
If you're sending, try again and/or call to make sure the recipient's  
fax machine is ready to receive faxes. If you're receiving, contact  
the initiator and ask them to send the document again.





OK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

file copy

**TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT**

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner WALTER JAWORSKY Address 4 PINEAPPLE LN Phone 772-285-0858

Contractor \_\_\_\_\_ Address \_\_\_\_\_ Phone \_\_\_\_\_

No. of Trees: REMOVE 2 Species: QUEEN PALM & MALE AVOCADO

No. of Trees: RELOCATE \_\_\_\_\_ Species: \_\_\_\_\_

No. of Trees: REPLACE \_\_\_\_\_ Species: \_\_\_\_\_

\*\*\*ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION\*\*\*

Reason for tree removal/relocation (See notice above) QUEEN PALM DISINTEGRATING

AVOCADOES, CROWDING OTHER TREES

Signature of Property Owner [Signature] Date 3-19-12

Approved by Building Inspector [Signature] Date 3-20-12 Fee: N/R

NOTES: \_\_\_\_\_

SKETCH:  
See PICTURES

FRONT



**Remove Male Avocado**



**Remove dying Queen Palm**

BACK OF HOUSE

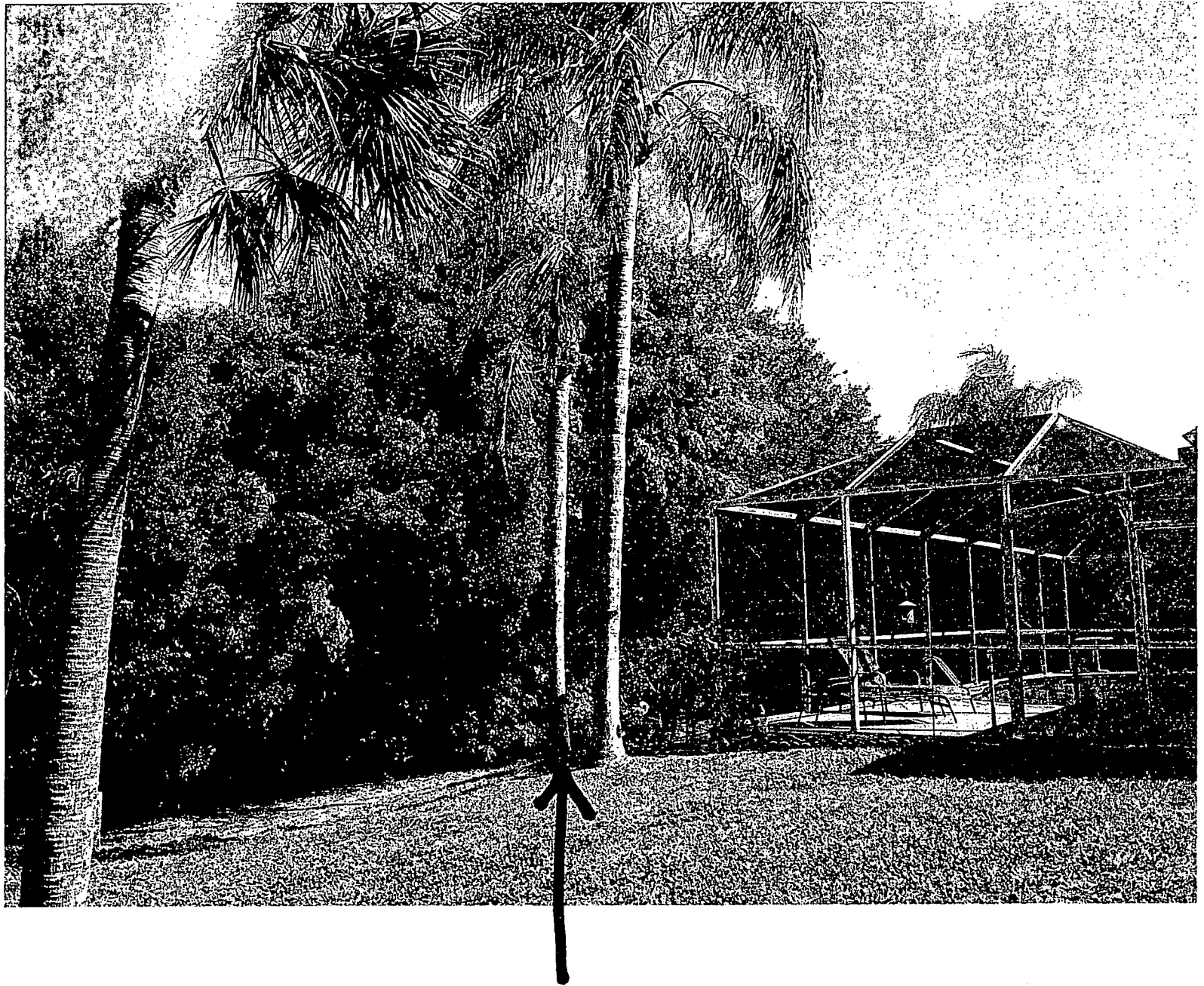


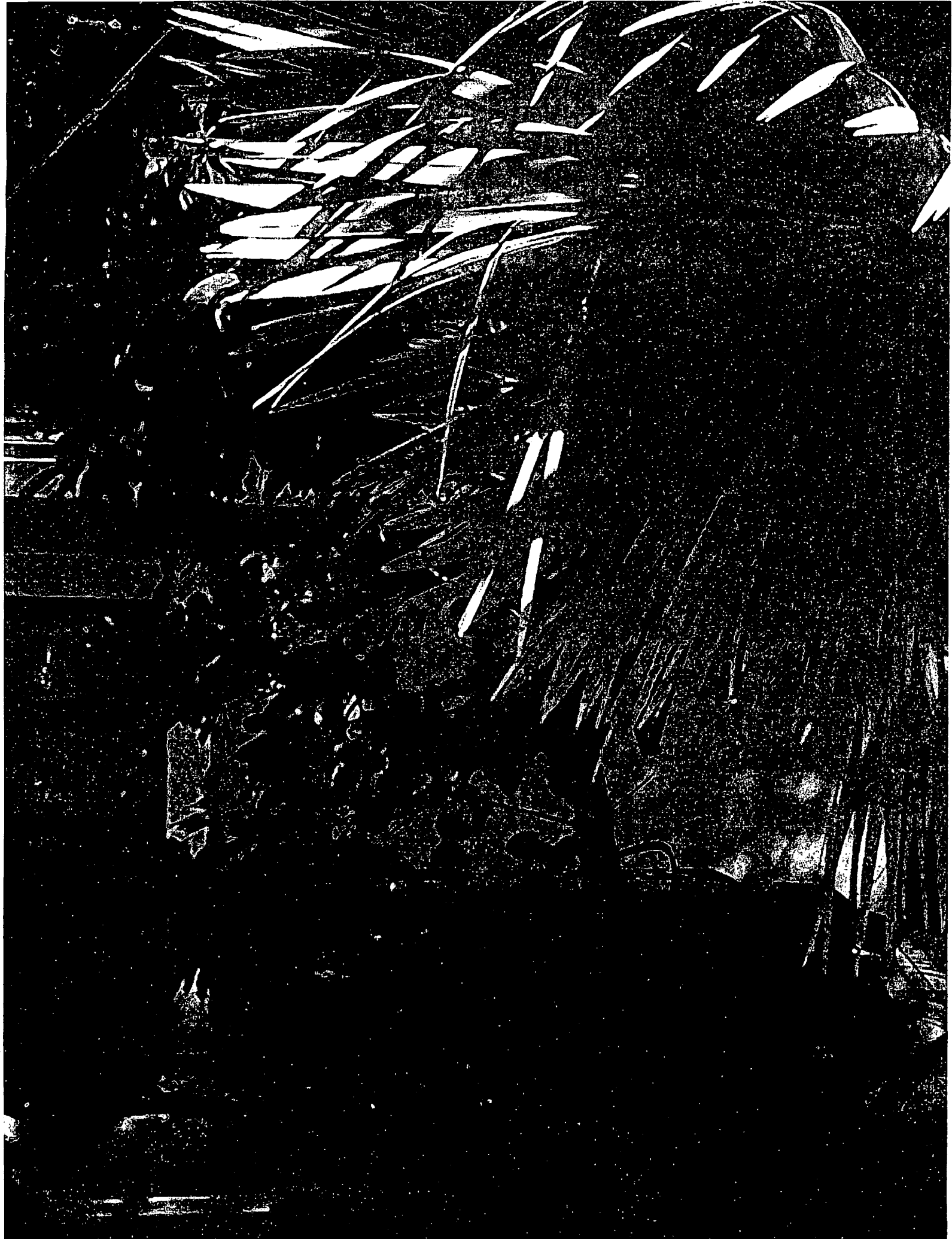
**Trim thick branches of fern tree in proximity to power lines**



BACK OF PROPERTY  
IN NW CORNER

BACK  
SAME AS FRONT PAGES





TOWN OF SEWALL'S POINT, FLORIDA

Date 5/9/01 18 18 TREE REMOVAL PERMIT No 0437

APPLIED FOR BY W. Jankop, 4 Pineapple Ln. (Contractor or Owner)

Owner \_\_\_\_\_

Sub-division \_\_\_\_\_, Lot \_\_\_\_\_, Block \_\_\_\_\_

Kind of Trees 3 Pl Orchids

No. Of Trees: REMOVE 3

replace w. Citrus

No. Of Trees: RELOCATE ~~1~~ WITHIN 30 DAYS (NO FEE)

field verif.  
5/9

No. Of Trees: REPLACE 3 WITHIN 30 DAYS

REMARKS O.k. to replace

FEE \$ 0.00

Signed, Sign. on file  
Applicant

Signed, [Signature]  
Town Clerk  
Blag. Insp.

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection  
WORK HOURS 8:00 A.M. - 5:00 P.M.—NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

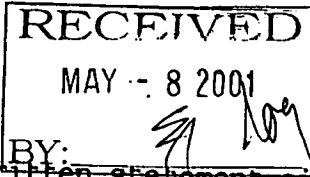
[Empty grid area for project details]

PROJECT DESCRIPTION \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
REMARKS \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

*Stg/10 xched  
mwp*



Permit # 0437  
Date Issued 5/9/01

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner WALTER JAVORSKI Address 4 PINEAPPLE LN Phone 220-6052  
Contractor N/A Address \_\_\_\_\_ Phone \_\_\_\_\_

Number of trees to be removed(list kinds of trees) FLORIDA ORCHID - 3  
AND REPLACE ABOVE WITH 3 CITRUS TREES.  
Number of trees to be relocated within 30 days(no fee)(list kinds of trees):

BEARUS  
Number of trees to be replaced \_\_\_\_\_ (list kinds of trees):

Permit Fee \$ (\$25.00 - first tree plus \$10.00 - each additional tree - not to exceed \$100.00) \$15.00

(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted \_\_\_\_\_ Plans approved, as marked \_\_\_\_\_

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant [Signature] Date submitted 5/1/01

Approved by Building Inspector [Signature] Date 5/9/01

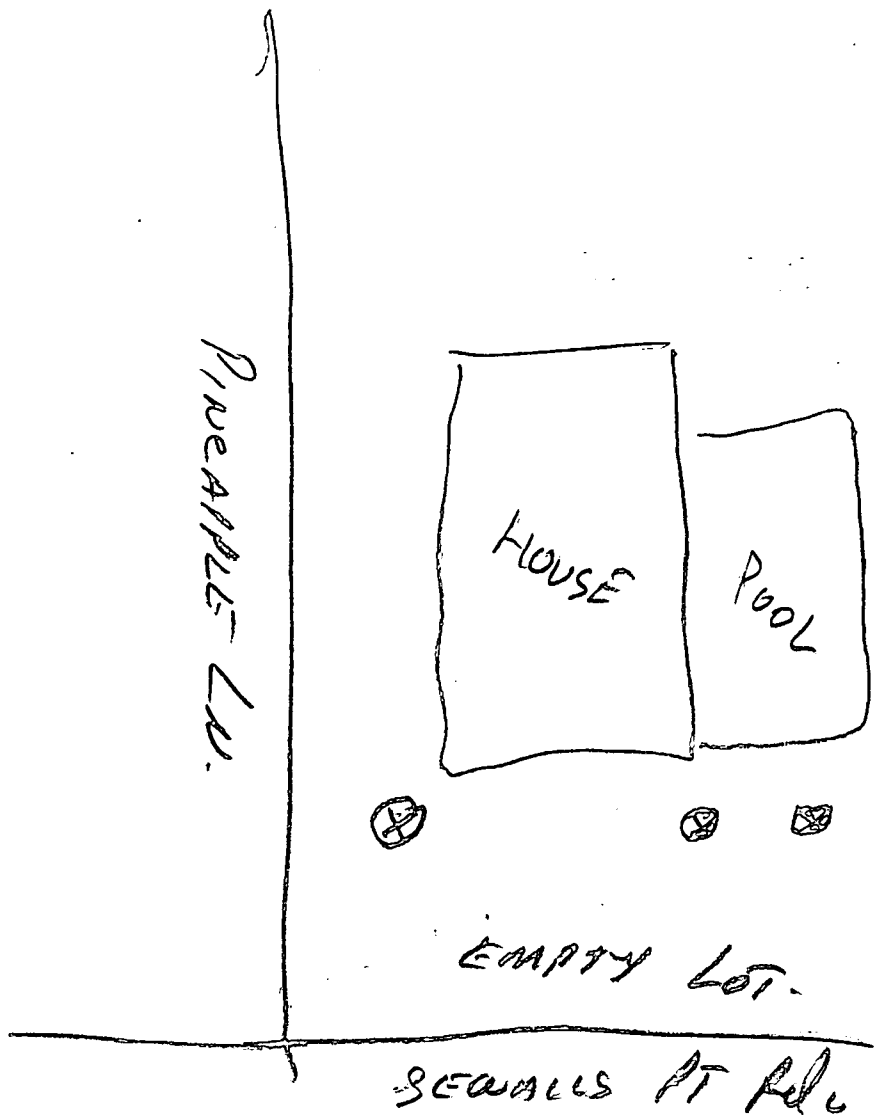
Approved by Building Commissioner \_\_\_\_\_ Date \_\_\_\_\_

Completed \_\_\_\_\_ Date \_\_\_\_\_ Checked by \_\_\_\_\_

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT ~~OBTAINING A PERMIT~~ **FEE.** BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?

200  
200



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Tue  Wed  Thu  Fri  Sat  Sun, 2001; Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5138	Rinellino 18 Island Rd. Wilson	All Trades	Passed	(Some rectification)
①				INSPECTOR: J 5/9
✓ 5322	BAKER 88 N. SEWALL'S POINT RD LUDLOW CONST., INC.	RIP-RAP - FINAL	Passed	
⑧				INSPECTOR: J 5/9
<del>5336</del>	<del>SACHS 78 N. SEWALL'S POINT RD MASTERPIECE BLDG'S</del>	<del>FRAMING - ALL TRADE</del>	<del>Passed</del>	<del>+ SIDING &amp; WINDOW AREA</del>
✓ 5118	LOYOLA / OSBORNE 20 CASTLE HILL WAY PLAZA MARINE	DOCK - FINAL (REINSPECTION)	Passed	SEE 12/4/00 INSP. NOTES (ATTACHED)
⑦				INSPECTOR: J 5/9
✓ 5172	ECKNA 107 HENRY SEWALL WAY JMC	LATH	Passed	
②				INSPECTOR: J 5/9
✓ 536A	ECKNA 107 HENRY SEWALL WAY HARRY BLUE	BOLT - SHUTTER ANCHORAGE	Passed	(Point door transom?)
③				INSPECTOR: J 5/9
✓ 537R	JAWORSKY 4 WINDMILL LANE	FIELD REINSPECTION	Passed	
⑤				INSPECTOR: J 5/9

OTHER: \_\_\_\_\_