

8 Pineapple Lane

6544

SFR

Permit Number: _____

Town of Sewall's Point BUILDING PERMIT APPLICATION

Diane Marvin &

OWNER/TITLEHOLDER NAME: Norwood Lancaster, Jr Phone (Day) 954-978-6507 (Fax) 954-968-0003

Job Site Address: 8 Pineapple Lane City: Stuart State: FL Zip: 34996

Legal Description of Property: Pineapple Lane, Lot 2 Parcel Number: 12-38-41003-000-00020.-2

Owner Address (if different): 4738 NW 5th Place City: Coconut Creek State: FL Zip: 33063

Description of Work To Be Done: new single family residence

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: Masterpiece Builders Phone: 283-2096 Fax 283-2770

Street: 408 Colorado Ave City: Stuart State: FL Zip: 34994

State Registration Number: _____ State Certification Number: CGC048543 Martin County License Number: _____

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 550,000 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: ~~Forward Electric & Air~~ A MARY WATT State: FL License Number: EC0001472

Mechanical: ~~Forward Electric & Air~~ NIS AIR State: FL License Number: CAC049289

Plumbing: Dave's Plumbing, Inc. State: FL License Number: MP000030

Roofing: Circle L Roofing, Inc. State: FL License Number: CCC57305

ARCHITECT Mark Corson & Associates Phone Number: 223-8227

Street: 800 E. Ocean Blvd., Suite C City: Stuart State: FL Zip: 34994

ENGINEER _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: 4185 Garage: 945 Covered Patios: 440 Screened Porch: _____

Carpport: _____ Total Under Roof 6258 Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

State of Florida, County of: Martin


This the 7 day of October, 2003

by Norwood L. Lancaster, Jr who is personally

known to me or produced _____

as identification. Jennifer L. Puerto

My Commission Expires: _____

Notary Public

Jennifer L. Puerto
Commission #DD151454
Expires Sep 18, 2006
Bonded Thru _____

CONTRACTOR SIGNATURE (required)

On State of Florida, County of: Martin


This the 7 day of October, 2003

by Jeffery A. Bowers who is personally

known to me or produced _____

as identification. Jennifer L. Puerto

My Commission Expires: _____

Notary Public

Jennifer L. Puerto
Commission #DD151454
Expires Sep 18, 2006
Bonded Thru _____

PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR ADDITION TO SINGLE FAMILY RESIDENCE

IMPORTANT NOTICE: All items listed below must accompany your permit application. No application will be accepted unless all items that are applicable are submitted.

Application form must contain the following information:

1. Property Appraisers Parcel Number or Property Control Number
2. Legal Description of property (Can be found on your deed survey or Tax Bill)
3. Contractors name, address, phone number and license numbers.
4. Name all sub-contractors (properly licensed)
5. Architects or Engineers name, address, & phone number.
6. Estimated cost of construction.
7. Original signature of owner and notarized
8. Original signature of Contractor and notarized.

Submittals (2 copies)

1. Energy Calculations and Compliance Certification.
2. Current survey (boundary & topographic) containing the following information:
 - a. Legal Description of Lot
 - b. Lot dimensions and bearings
 - c. Street and Waterway names
 - d. Grade elevations (proposed and existing)
 - e. Swale and/or drainage arrows
 - f. Finish Floor Elevations (proposed and existing)
 - g. Crown of road(s)
 - h. Adjacent occupied/unoccupied
 - i. Easements
 - j. ROW's
 - k. Well locations (proposed and existing)
 - l. Septic drainfield(s) (proposed and existing)
 - m. Canals, Ponds, or Riverfront locations
 - n. Retention areas (proposed and existing)
3. Wind Load Certification Form (signed and sealed by Architect/Engineer)
4. Product approvals from Miami/Dade for the following items:
 - a. Windows - PGT SH alum NON-IMPACT
 - b. Exterior Doors - Therma-tru - aluminium - NON-IMPACT
 - c. Roof System - Hanson S-tiles
 - d. Garage Door - Steel
 - e. Hurricane Shutters - Aluminium
5. Health Department Approval for septic system or information on existing system.
6. Health Department Well permit or information on existing system.
7. Statement of Fact (owner/builder affidavit)
8. Proof of ownership (deed or tax recpt.) *on file*

9. Letter from Home Owners or Subdivision Associations stating design is per their deed restriction or covenants
10. Application for tree removal or relocation (attach tree survey and removal or relocation plan *N/A*)
11. Manufacturers specifications or ~~shop drawings~~ for fireplaces, ~~stairs~~, etc. *N/A*
12. A certified copy of the Notice of Commencement for any work over \$2500.00
13. Copy of License (either Martin County Certificate of Competency or State Certified or Registered Contractor License)
14. Copy of Workmen's Compensation *out file*
15. Copy of Liability Insurance

The following documents must be signed and sealed by a registered Architect or Engineer. (2 copies)

1. Plot/Site plan containing the following information:

- a. Location of all structures proposed and existing along with dimensions
- b. Location of driveway and turnabouts with dimensions
- c. Walkways and planters
- d. Location of all fences
- e. Location of all docks
- f. Location of all accessory buildings or structures
- g. Setback requirements
- h. Easements
- i. All encroachments into setbacks
- j. Location of existing septic, wells, retention areas
- k. Flood Zone line or lines in relationship to structures proposed or existing
- l. Elevations at three points along front of residence and at crown-of-road
- m. Stormwater retention areas
- n. Drainage Arrows
- o. Computation of pervious and impervious areas
- p. Desired finish floor elevation relative to Sea Level

Survey }

2. Floor Plan containing the following information:

- a. Square footage calculations
- b. Scale – minimum 1/4" per foot
- o. All proposed and existing layouts of structures
- p. Location of all pads/porches and patios
- q. All dimensions exterior and interior to define design and construction
- r. Room callouts
- s. Elevations, steps, ramps, curbs, dashed outline for second story outline
- t. Location of all windows and doors with egress requirements
- u. Location of all bathroom fixtures
- v. Location of all kitchen fixtures
- w. Water heater location
- x. Attic access with side of opening
- y. Beam callouts
- z. All through wall or ceiling ventilation such as garage vents, dryer vent etc.

- 3. Elevation Plan containing the following information:**
 - a. Front, Rear, and Side Elevations
 - b. All beam heights and changes in beams heights
 - c. Building heights from finish floor to top of roof (maximum 27 feet)
 - d. Location of all windows and doors
 - e. Roof slope
 - f. Wall finishes
 - g. Vertical features and horizontal projections
- 4. Foundation Plan containing the following information:**
 - a. Bearing walls exterior and interior
 - b. Dimensions of all bearing walls exterior and interior
 - c. All footings and pad locations
 - d. Dimensions of all footing and pads
 - e. Step downs (minimum for residence to garage 7 inches)
 - f. Footing and Pad call outs for size (width and depth), steel (size, lap and placement)
 - g. Any underslab mechanical duct work or gas piping
 - h. Location of any in slab receptacle locations
 - i. Column Layout
 - j. Columns Schedule
- 5. Electrical Plan containing the following information:**
 - a. Show all receptacle, switch, and fixture locations
 - b. Show all WPGFI's and GFI's locations
 - c. Ceiling fan locations
 - d. Attic or roof top receptacles and fixtures
 - e. Service entrance
 - f. Panel layout with circuits, loads, wire, breaker and conduit sizes
 - g. Riser diagram with size of service, meter, ground, disconnects feeders and panels
 - h. Any specialty lighting requirements
 - i. Disconnect locations for residence, pool, pumps, etc.
 - j. Load calculations
 - k. Panel and sub-panel locations
 - l. Meter can location
- 6. Heating/Air Conditioning Plan containing the following information:**
 - a. Air Handler locations showing kw rating
 - b. Condensing unit locations
 - c. Duct layout showing sizes of duct and size of diffusers
 - d. CFM per outlet
 - e. Distribution box locations
 - f. Equipment callouts with name of equipment, model numbers and sizes
 - g. Sensible and latent heat quantities
- 7. Plumbing Plan containing the following information:**
 - a. Piping layout showing all pipe sizes
 - b. All fixtures, sanitary drainage, vents, water supply, water heaters
 - c. Indicate all slopes

8. Truss Layout containing the following information:

- a. Show location of all trusses
- b. Show location of all girders
- c. Uplift quantities for all trusses
- d. Connectors schedule for all trusses and girders
- e. Location of roof mounted equipment
- f. Location of all structural elements size and reinforcing

OK

9. Second Floor Framing Plan

- a. Location of all floor trusses or joists
- b. Size of all structural members and spacing dimensions
- c. Location of all girders

10. Section/Detail Drawings and Schedules showing the following information:

- a. Wall section drawings for single and two story sections
- b. Show footings, slab, wall, ceiling and roof construction and insulation
- c. Window and door schedules showing design pressures (+ and -)
- d. Stair details showing riser height and tread width also handrail with baluster and newel post design showing distance between balusters and height of handrail from leading edge of tread
- e. Garage door buck detail showing type, size, length and spacing of connectors to be used
- f. Window buck detail showing type, size, length and spacing of connectors to be used
- g. Attic ventilation calculations

**ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE
ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE**



(SIGNATURE OF APPLICANT)

DATE SUBMITTED: _____

CRITIQUE

Owner: Diane & Norwood Lancaster

Date: October 17, 2003

Contractor: Masterpiece Builders

Contractor's Phone Number: 2873-2096

Plan Reviewer: Gene Simmons

PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITALS FOR SINGLE FAMILY RESIDENCE LOCATED AT 8 PINEAPPLE LANE

Submittals (2 copies)

1. Current survey (**within one year**) containing the following information:
 - a. Paver patios off master bedroom cannot encroach setback areas
2. Product approvals (**current**) from Miami/Dade or other testing institutes approved by the Florida Building Code for the following items:
 - a. Mullions for Windows
 - b. Fixed Glass Windows
 - c. Arched Windows
 - d. Front Entry Exterior Doors
 - e. Roof System
 - f. Garage Door product approval is for 9 foot drawings show 8 foot
3. Proof of Ownership
4. Copy of State, Martin County Licenses
5. Copy of Liability Insurance
6. Copy of Workmen's Compensation
7. Application of Tree Permit with accompanying site plan showing tree removal and/or relocation

The following documents must be signed and sealed by a registered Architect or Engineer. (2 copies)

1. Heating/Air Conditioning Plan containing the following information:
 - a. Air Handler locations showing kw rating
 - b. Condensing unit locations
 - c. Duct layout showing sizes of duct and size of diffusers
 - d. CFM per outlet
 - e. Distribution box locations
 - f. Equipment callouts with name of equipment, model numbers and sizes
 - g. Sensible and latent heat quantities
2. Section/Detail Drawings and Schedules showing the following information:
 - a. Exterior balcony guardrail with baluster and newel post design showing distance between balusters and height of guardrail

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 1/9/04

BUILDING PERMIT NO. 6544

Building to be erected for LANCASTER

Type of Permit SFR

Applied for by MASTERPIECE BUILDERS (Contractor)

~~550k x 9.60/1000 =~~ Building Fee 5280.00

Subdivision PINEAPPLE LANE Lot 2 Block _____

Radon Fee 62.58

Address 8 PINEAPPLE LANE

Impact Fee 4024.91

Type of structure SFR

A/C Fee 120.00

Parcel Control Number:
1238410030000002020000

Electrical Fee 120.00

Plumbing Fee 120.00

Roofing Fee 120.00

Amount Paid _____ Check # _____ Cash _____

Other Fees (10% PLAN REVIEW) 528.00

Total Construction Cost \$ 550,000.

TOTAL Fees 10,375.49

Signed Jennifer Puerto
Applicant

Signed Gene Simmons (P.O.B.)
Town Building Official

PERMIT

- | | | |
|---|--|--|
| <input checked="" type="checkbox"/> BUILDING <u>SFR</u> | <input checked="" type="checkbox"/> ELECTRICAL | <input checked="" type="checkbox"/> MECHANICAL |
| <input checked="" type="checkbox"/> PLUMBING | <input checked="" type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | | | |
|-----------------------------|-------|------------------------|-------|
| UNDERGROUND PLUMBING | _____ | UNDERGROUND GAS | _____ |
| UNDERGROUND MECHANICAL | _____ | UNDERGROUND ELECTRICAL | _____ |
| STEMWALL FOOTING | _____ | FOOTING | _____ |
| SLAB | _____ | TIE BEAM/COLUMNS | _____ |
| ROOF SHEATHING | _____ | WALL SHEATHING | _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS | _____ | LATH | _____ |
| ROOF TIN TAG/METAL | _____ | ROOF-IN-PROGRESS | _____ |
| PLUMBING ROUGH-IN | _____ | ELECTRICAL ROUGH-IN | _____ |
| MECHANICAL ROUGH-IN | _____ | GAS ROUGH-IN | _____ |
| FRAMING | _____ | EARLY POWER RELEASE | _____ |
| FINAL PLUMBING | _____ | FINAL ELECTRICAL | _____ |
| FINAL MECHANICAL | _____ | FINAL GAS | _____ |
| FINAL ROOF | _____ | BUILDING FINAL | _____ |

PRODUCER
R.V. Johnson Agency, Inc.
2041 SE Ocean Blvd
Stuart FL 34996
Phone: 772-287-3366 Fax: 772-287-4255

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED
Masterpiece Builders
Masterpiece Systems, Inc dba
408 Colorado Avenue
Stuart FL 34994

INSURER A: **Owners Insurance Company**
INSURER B: **Auto-Owners Insurance Co**
INSURER C: **Bridgefield Employers Insuranc**
INSURER D:
INSURER E:

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A	<input checked="" type="checkbox"/> GENERAL LIABILITY	20587760-03	05/05/03	05/05/04	EACH OCCURRENCE	\$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				FIRE DAMAGE (Any one fire)	\$ 100,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$ 10,000
					PERSONAL & ADV INJURY	\$ 1,000,000
					GENERAL AGGREGATE	\$ 2,000,000
					PRODUCTS - COMP/OP AGG	\$ 2,000,000
					GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	
B	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY	4232990400	05/05/03	05/05/04	COMBINED SINGLE LIMIT (Ea accident)	\$ 1,000,000
	<input checked="" type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$
	<input type="checkbox"/> HIRED AUTOS					
	<input type="checkbox"/> NON-OWNED AUTOS					
	<input type="checkbox"/> GARAGE LIABILITY					
	<input type="checkbox"/> ANY AUTO	NOT COVERED W/THIS AGENCY			AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$	
B	<input checked="" type="checkbox"/> EXCESS LIABILITY	4232990401	05/05/03	05/05/04	EACH OCCURRENCE	\$ 1,000,000
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$ 1,000,000
	<input type="checkbox"/> DEDUCTIBLE					\$
	<input checked="" type="checkbox"/> RETENTION \$ 5000					\$
C	<input type="checkbox"/> WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	083020848	03/01/03	03/01/04	<input type="checkbox"/> WC STATU-TORY LIMITS <input checked="" type="checkbox"/> OTH-ER	
					E.L. EACH ACCIDENT	\$ 1000000
					E.L. DISEASE - EA EMPLOYEE	\$ 1000000
					E.L. DISEASE - POLICY LIMIT	\$ 1000000
	<input type="checkbox"/> OTHER					

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS
30 days notice of cancellation for workers compensation.

CERTIFICATE HOLDER

ADDITIONAL INSURED; INSURER LETTER: _____

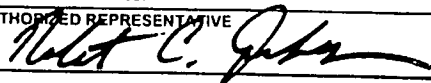
CANCELLATION

TOWN024

Town of Sewalls Point
1 S. Sewalls Point Road
Stuart FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10* DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE





STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD
1940 NORTH MONROE STREET
TALLAHASSEE FL 32399-0783

(850) 487-1395

BOWERS, JEFFERY ALLAN
MASTERPIECE BUILDERS
408 COLORADO AVENUE
STUART FL 34994

STATE OF FLORIDA AC# 0517998
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
 CGC048543 08/07/02 200037778
 CERTIFIED GENERAL CONTRACTOR
 BOWERS, JEFFERY ALLAN
 MASTERPIECE BUILDERS
 IS CERTIFIED under the provisions of Ch. 489 FS.
 Expiration date: AUG 31, 2004 SEQ # L02080700993

DETACH HERE

AC# 0517998

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L02080700993

DATE	BATCH NUMBER	LICENSE NBR
08/07/2002	200037778	CGC048543

The GENERAL CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2004

BOWERS, JEFFERY ALLAN
MASTERPIECE BUILDERS
408 COLORADO AVENUE
STUART FL 34994

JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

KIM BINKLEY-SEYER
SECRETARY

2003-2004 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 8013, Stuart, FL 34985
(772) 288-5804

LICENCE 1991-513-019 CERT _____

PHONE (561) 283-2074 SIC NO 001521

LOCATION:
408 COLORADO AVE MAR

CHARACTER COUNTS IN MARTIN COUNTY

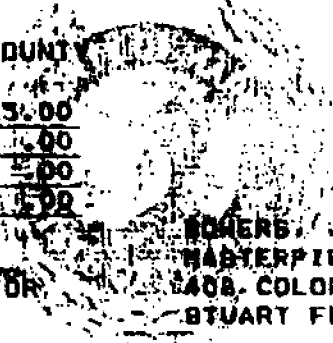
PREV. YR. \$	<u>-00</u>	LIC FEE \$	<u>25.00</u>
\$	<u>-00</u>	PENALTY \$	<u>-00</u>
\$	<u>-00</u>	COL. FEE \$	<u>-00</u>
\$	<u>-00</u>	TRANSFER \$	<u>-00</u>
TOTAL			<u>25.00</u>

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS PROFESSION OF CONTRACTOR
OF **CERTIFIED GENERAL CONTRACTOR**

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

26 DAY OF AUGUST 03
AND ENDING SEPTEMBER 30 2004

12 03082601 002351



ROBERTS, JEFFERY A
MASTERPIECE BUILDERS
408 COLORADO AVE
STUART FL 34994

RECEIVED
DEC 11 2003
BY: _____

①

Norwood L. Lancaster / Diane P. Marvin

4738 Northwest Fifth Place • Coconut Creek, Florida 33063 • 954-978-6501

To: Town of Sewall's Point Commission
From: Norwood L. Lancaster and Diane P. Marvin
Date: July 15, 2003
Ref: Interpretation and clarification of accessory building rules and regulations under Town of Sewall's Point Ordinance Number 82-1 and 82-242

We have recently had a house designed for Lot 2, on Pineapple Lane. The site plan and a copy of the construction plans were brought to Gene Simmons, Building Official for the Town of Sewall's Point. He has informed us that the proposed attached two-story, three-car garage (with bonus room above) is considered an accessory building by your ordinance and that the front setback for this structure is 100 feet.

Since our lot is only 142 feet deep, the 100-foot setback is unattainable. Additionally, we are working around a 200 year old Live Oak tree in the northeast quadrant of the property which we want to retain.

We feel this portion of our single family home is attached as are most garages. The garage has been designed with thoughtful concern for its appearance and includes triple arched windows facing the street as well as "iron" railings and column details across the front. We do not feel that any portion of our single family home constitutes any accessory building subordinate to any other building. The use of our garage is primary to our house and not incidental.

In light of the above, we are asking that the ordinance be reviewed by the commission so that we can move forward with our construction.

Thank you for your consideration.

Respectfully Submitted,



Norwood L. Lancaster
Diane P. Marvin

Row Ed
5/27/03
#39

Town of Sewall's Point, Florida
Minutes of Commission Meeting
July 15, 2003

Present: Mayor Marc S. Teplitz (by long-distance telephone), Vice Mayor James D. Bercaw, Commissioner Richard L. Baron, Commissioner Thomas P. Bausch, Town Attorney Tim B. Wright, Town Engineer Joseph Capra, Town Clerk Joan Barrow, Police Chief Larry McCarty, Building Official Gene Simmons and about fifteen residents.

Absent: Commissioner E. Daniel Morris

1. **Call to Order** - Vice Mayor Bercaw called the meeting to order at 7:04 P.M. and led the Pledge of Allegiance. The town clerk called the roll.

MOTION: made by Commissioner Bausch, seconded by Commissioner Baron, APPROVING THE AGENDA WITH THE FOLLOWING CHANGES: DELETE APPROVAL OF THE 5/12/03 MINUTES; MOVE 8B, HIRING APPROVAL FOR POLICE OFFICER, TO 4A; ADD 8C, FLOOD CONTROL/DRAINAGE PROJECTS; AND ADD 8D, BLUE CROSS RENEWAL.

In favor: Bausch, Baron, Bercaw, Teplitz
Opposed: None

2. **Announcements** - There were none.

3. **Comments from the public on topics not on the agenda:**

a. B. J. Escue said the building official told him he needed a building permit for interior work, however, neither Stuart nor Martin County requires permits for this. Mr. Escue added that many contractors refuse to work in Sewall's Point because of difficulties in dealing with the building department. Mr. Escue criticized the building official and recommended that he be replaced.

b. Robert Aune told the Commission that he found morning budget meetings "not appropriate" as they limit opportunities for public participation. "You are spending the Town's money and there should be detailed discussions," he stated.

Vice Mayor Bercaw replied that the next budget meeting is scheduled for 7/29/03. All meetings are posted, he noted, and the public is welcome to participate.

Mr. Aune said "the finance commissioner needs to explain the Town's finances."

3. **Public Hearings & Presentations:**

a. **Hiring Approval for Additional Police Officer** - Chief McCarty introduced Rebecca Brady and discussed her background (a copy of his memorandum is attached.)

MOTION: made by Commissioner Bausch, seconded by Commissioner Baron, APPROVING THE HIRING OF REBECCA BRADY AS A PROBATIONARY POLICE OFFICER, AT THE FIRST LEVEL STARTING SALARY, CONTINGENT ON RESULTS OF PSYCHOLOGICAL, MEDICAL AND DRUG TESTS.

In favor: Bausch, Baron, Bercaw, Teplitz
Opposed: None

b. **Administrative Variance Request, Willaird and Carol Dolan, 85 South Sewall's Point Road** - Building Official Gene Simmons explained this request (a copy of his memorandum is attached.)

MOTION: made by Commissioner Bausch, seconded by Commissioner Baron, APPROVING THE DOLAN ADMINISTRATIVE VARIANCE REQUEST.

In favor: Bausch, Baron, Bercaw, Teplitz

Opposed: None

c. **Administrative Variance Request, Douglas and Karen Gabbert, 2 East High Point Road -** Building Official Gene Simmons explained this request (a copy of his memorandum is attached.)

MOTION: made by Commissioner Bausch, seconded by Commissioner Baron, APPROVING THE GABBERT ADMINISTRATIVE VARIANCE REQUEST.

In favor: Bausch, Baron, Bercaw, Teplitz

Opposed: None

d. **Request for Interpretation/Clarification Re: Accessory Building Rules/Regulations - Norwood Lancaster and Diane Marvin -** The building official discussed a memorandum from Mr. Lancaster and Ms. Marvin (a copy of which is attached.) He explained the problem and noted that many municipalities use special exceptions to deal with situations like this. Mr. Simmons suggested the current ordinance may need to be re-evaluated.

Mr. Simmons also discussed a problem with existing accessory buildings that have a 35' setback. The current setback is 100', he pointed out, so if the owner wants to add to the building he can not do so. In addition, since the building is non-conforming, the owner can not work on the interior. Mr. Simmons said Attorney Wright had recently advised that interior work was permitted as long as the foot print of the building was not changed. If the Commission agrees, that will eliminate some problems that have come before the building department, he concluded.

All Commissioners expressed agreement with Attorney Wright's opinion regarding interior work on non-conforming buildings.

Attorney Wright reviewed the definition of an accessory building, i.e., a subordinate building, whether or not incorporated or connected to the main building by a common roof, or by a covered, enclosed or air conditioned walkway or otherwise. The building under discussion is attached, he noted.

Mayor Teplitz asked if the owners could get a variance or "do we have to change the law?"

Mr. Simmons replied that an ordinance change is needed.

Attorney Wright explained that the owners could apply for a variance but it would "futile" as this would be viewed as a self-created hardship. If the Commission wishes to address this then the law will have to be changed. Mr. Wright recalled that this ordinance was passed in response to a two-story barn that was built on South Sewall's Point Road. The Commission at that time did not want other such structures, he stated.

Commissioner Baron suggested the walkway be made into a laundry room. This would solve the problem, he said. Commissioner Baron added that he would not be in favor of an ordinance change. Attorney Terry McCarthy was present on behalf of the property owners. He said he also represented the Noni Estates' owner, who faces a similar problem. Attorney McCarty suggested it may be time to revisit the ordinance.

Vice Mayor Bercaw pointed out that an ordinance requires two readings and the Commission will not meet in August. October, therefore, is the earliest possible date an ordinance change could go into effect.

Attorney McCarthy called this a "significant issue" and asked the Commission to consider changing the ordinance, "then Mr. Lancaster and Ms. Marvin can decide whether to wait or proceed."

Vice Mayor Bercaw suggested this topic be considered at the September workshop meeting.

Sec. 82-394. Approval of public beaches and public boat ramps.

Sec. 82-395. Compliance with flood prevention standards.

Sec. 82-396. Landscaping.

Secs. 82-397--82-420. Reserved.

Division 2. Area and Height Requirements

Sec. 82-421. Exceptions to height limitations.

Sec. 82-422. Reduction of lot area.

Sec. 82-423. Applicability of yard and lot coverage requirements; tennis courts, swimming pools and other athletic facilities.

Secs. 82-424--82-440. Reserved.

Division 3. Off-Street Parking

Sec. 82-441. Required number of spaces.

Sec. 82-442. Location of parking spaces.

Sec. 82-443. Parking facilities plan; completion of improvements.

Secs. 82-444--82-460. Reserved.

Division 4. Satellite Television Antenna Systems

Sec. 82-461. Definitions.

Sec. 82-462. Classification.

Sec. 82-463. Small diameter systems.

Sec. 82-464. Large diameter systems.

ARTICLE I. IN GENERAL

Sec. 82-1. Definitions.

The following words, terms and phrases, when used in this chapter, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning. The word "used" or "occupied," as applied to any land or building, shall be construed to include the words "intended, arranged or designed to be used or occupied."

Accessory use, as applied to a use or structure, means customarily subordinate or incidental to, and on the premises of, such use or structure. In buildings restricted to residential use, customary family hobby areas and workshops not utilized for compensation shall be deemed accessory uses.

Air conditioning pad means a concrete slab or other device employed to support any air conditioning equipment, placed on the finished grade of a lot or otherwise projecting from an exterior wall of any structure.

Alterations, as applied to a building or structure, means a change or rearrangement in the structural parts or in the exit facilities or an enlargement thereof, whether by extending on a side or by increasing in height, or the moving from one location or position to another. Area, lot means the total area within the property lines, excluding external streets.

Building means a structure, with or without a roof, intended for shelter, housing or enclosure other than a boundary wall or fence.

Building, accessory means a subordinate building, the use of which is customarily incidental to that of the main or principal building on a lot, whether or not incorporated in or connected to the main building by a common roof, or by a covered, enclosed or air conditioned walkway, or otherwise.

Building, front line of means the line of that face of the building nearest the front line of the lot. The front line of a waterfront or riverfront lot shall be the line abutting the street serving the lot, and the lot line bounded by water shall be considered the rear line.

Building line means the line established by law, beyond which a building shall not extend, except as specifically provided in this chapter. The building line is also referred to in this chapter as "setback line."

(e) Abandonment. Whenever a nonconforming use has been discontinued or abandoned for a period of six months, such use shall not thereafter be reestablished. Any future use shall be in conformity with the provisions of this chapter. However, in the event of a national emergency when it is impossible or impracticable to operate or repair a nonconforming use, the owner of the nonconforming use shall not forfeit his right to maintain such use so long as the national emergency exists.

(f) District changes. Whenever the boundaries of a district shall be changed so as to transfer an area from one district to another of different classification, the provisions of this section shall also apply to any nonconforming uses existing therein, but shall not interfere with nonconforming use.

(g) Additions and expansions. No additions or expansions to a nonconforming use which shall exacerbate the conditions of such nonconformance shall be allowed.

(Ord. No. 95, § XII, 11-17-1976; Ord. No. 189, § 1, 7-25-1990)
Secs. 82-173--82-200. Reserved.

ARTICLE IV. DISTRICTS AND DISTRICT REGULATIONS

DIVISION 1. GENERALLY

Sec. 82-201. Zoning map; interpretation of district boundaries.

(a) The zoning districts are described and shown on the map entitled "Zoning Map of Town of Sewall's Point," which, with all explanatory matter thereon, is hereby made a part of this chapter, and which is on file in the town clerk's office.

(b) Where uncertainty exists with respect to the boundaries of any of the districts as shown on the zoning map, the following rules shall apply:

(1) Where district boundaries are indicated as approximately following the outside lines of plats which have been recorded in the public records of Martin, Palm Beach or St. Lucie County, such outside lines shall be construed to be such boundaries.

(2) Where district boundaries are so indicated that they approximately follow the lot lines, such lot lines shall be construed to be the boundaries.

(3) Where the boundary of a district follows a stream or other body of water, the boundary line shall be deemed to be at the limit of the jurisdiction of the town unless otherwise indicated.

(Ord. No. 95, § IV, 11-17-1976; Ord. No. 111, pt. 1, § 2, 9-13-1978; Ord. No. 188, § 1, 7-25-1990)
Sec. 82-202. Compliance with district regulations.

Except as provided in this chapter:

(1) No building or land shall be used or occupied, and no building or part thereof shall be erected, moved or altered, unless in conformation with the regulations specified in this chapter for the district in which it is located.

(2) No building shall be erected or altered to exceed the height, to accommodate or house a greater number of families, to occupy a greater percentage of lot area, or to have narrower or smaller rear yards, front yards or side yards than specified in this chapter for the district in which such building is located.

(3) No part of a yard or other open space required adjacent to any building for the purpose of complying with the provisions of this chapter shall be included as part of a yard or other open space required for another building.

Violations of this section shall be a Class D violation, punishable as set forth in chapter 18.

(Ord. No. 95, § V, 11-17-1976; Ord. No. 290, exh. A, 3-1-2002)

Secs. 82-203--82-220. Reserved.

DIVISION 2. RESIDENTIAL DISTRICT

Subdivision I. In General

Secs. 82-221--82-240. Reserved.

Subdivision II. Residential District, R-1

Sec. 82-241. Generally.

The regulations in this subdivision shall apply in all R-1 districts.

(Ord. No. 95, § VI, 11-17-1976)

Sec. 82-242. Permitted and prohibited uses.

(a) Permitted uses in the R-1 district are as follows:

(1) One single-family dwelling.

(2) Accessory uses as follows:

a. Other customary accessory uses and buildings are permitted provided such uses are incidental to the principal use and do not include any activity commonly conducted as a business. Any accessory building shall be located on the same lot with the principal building. Such permitted accessory buildings and uses shall include private garages and swimming pools.

The setback requirements for the accessory building(s) shall be identical to section 82-274, except that each front yard setback depth shall be 50 feet instead of 35 feet.

Accessory buildings located less than 100 feet from the front property line shall be limited to one-story with a finished ceiling no more than ten feet high.

All accessory buildings containing private garages shall: (i) not have any portion of the entryway to the garage facing the front lot line; and (ii) be landscaped with one native tree per 20 feet of building wall, or less, on the side facing the front lot line. Trees shall at maturity exceed the height of the building, be evenly spaced, and be no further than 30 feet from the building. Palm trees may not be used to meet this requirement. (Example: Twenty-one feet of wall would require two trees.)

b. Accessory dwellings, guesthouses or servants' quarters will be permitted only if the following conditions are met:

1. The lot area shall not be less than 27,500 square feet, exclusive of any private road right-of-way and/or easement to be used for access to or egress from another lot or road.

2. An accessory dwelling, or, in the alternative, a guesthouse or servants' quarters structure, shall be permitted, but not more than one accessory dwelling, guesthouse or servants' quarters shall be permitted as an accessory building to any one residence.

3. The setback requirements for the primary residence, as well as the accessory dwelling, accessory guesthouse or servants' quarters, shall be identical to section 82-274, except that:

i. Each side yard setback width shall be 25 feet.

ii. Each rear yard setback width shall be 35 feet instead of 25 feet.

iii. Each front yard setback depth shall be 50 feet instead of 35 feet.

4. Accessory buildings located less than 100 feet from the front property line shall be limited to one-story with a finished ceiling no more than ten feet high.

5. Anyone desiring to construct any accessory dwelling, guesthouse or servants' quarters on his property shall first submit a plot plan to the town commission at least 15 days prior to a regular town commission meeting, indicating the square footage of the property, the location and dimensions of any existing structures and the distance of their front, rear and side setbacks, and the location and dimensions of any proposed structures and the distance of their proposed front, rear and side setbacks. The town commission shall then either accept or reject the plans for the accessory dwelling, guesthouse or servants' quarters by resolution.

c. A greenhouse or slat house shall be permitted, not to exceed 200 square feet; provided, however, that no manure or odor- or dust-producing substance shall be stored within 20 feet of any adjoining lot line; that no greenhouse heating plant shall be operated within 20 feet of any adjoining lot line; that no products, including but not limited to flowers or vegetables, shall be produced for commercial purposes; and that at no time shall the plants, vegetables or flowers be grown under artificial lights unless, through the use of some device, such lights are made completely invisible off the immediate premises.

(b) No person shall use any building or portion thereof for the purpose of carrying on or practicing any profession, occupation or calling, and such use is hereby declared to be a violation of this chapter.

Violations of this section shall be a Class D violation, punishable as set forth in chapter 18.

(Ord. No. 95, § VI.A, 11-17-1976; Ord. No. 111, pt. 1, § 3, 9-13-1978; Ord. No. 145, 2-8-1984; Ord. No. 192, § 1, 7-25-1990; Ord. No. 277, 3-21-2000; Ord. No. 290, exh. A, 1-15-2002)

Sec. 82-243. Residential district [RI Districts.]

Floor elevation and building height limits.

(1) Survey. Before the appropriate town official may issue a development permit, a development permit applicant must provide the building department with a boundary and topographic survey signed and sealed by an appropriately licensed professional demonstrating that the proposed new construction or substantial improvement meets the requirements of this section. Survey shall be prepared in accordance with chapter 80 of this Code titled, "Surveys and drawings".

MASTER PERMIT NO. 6544

TOWN OF SEWALL'S POINT

Date 1/9/04

BUILDING PERMIT NO. 6545

Building to be erected for LANCASTER Type of Permit SUB-ELECTRICAL

Applied for by MASTERPIECE / A MARY WATT (Contractor) Building Fee _____

Subdivision PINEAPPLE LANE Lot 2 Block _____ Radon Fee _____

Address 8 PINEAPPLE LANE Impact Fee _____

Type of structure SFR A/C Fee SEE

PRINT QUAL NAME: KELLY B HUNTER Electrical Fee PN 6544

Lic #: _____ Parcel Control Number: EL0002334 Plumbing Fee _____

1238410030000002020000 Roofing Fee _____

Amount Paid _____ Check # _____ Cash _____ Other Fees (_____)

Total Construction Cost \$ _____ TOTAL Fees _____

Signed Kelly B Hunter
Applicant

Signed Gene Simmons
Town Building Official

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL
- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL
- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

NOTICE OF COMMENCEMENT

Parcel ID No 12-38-41-003-000-00020.2

03050043

This Notice of Commencement is filed in connection with Mortgage filed in O.R. Book 1816, page 2030 Public Records of Martin county, Florida. Of Martin County, Florida.

Loan No. 5024231572

STATE OF FLORIDA
COUNTY OF Martin

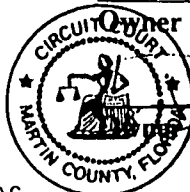
The undersigned hereby gives notice that improvement will be made to certain real property; and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement:

- Description of Property:**
LOT 2, PINEAPPLE LANE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 11, PAGE 62, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.
- General description of improvement:** Single family residence and all improvements
- Owner:** Name: NORWOOD LEE LANCASTER JR. DIANE P. MARVIN
Address: 4738 NW 5TH PLACE, COCONUT CREEK, FL 33063-

Fee Simple Ownership
- Contractor:** Name: MASTERPIECE SYSTEMS, INC. DBA MASTERPIECE BUILDERS
Phone number: (772) 283-2096
Address: 408 COLORADO AVENUE, STUART, FL 34994
- Surety:** N/A
- Lender:** HARBOR FEDERAL SAVINGS BANK
P.O. Box 249
Fort Pierce, Florida 34954
Phone Number: 772-467-3202 or 800-226-4375, ext 2110
- Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes: N/A
- In addition to himself, Owner designates, HARBOR FEDERAL SAVINGS BANK, Attn: Construction Department, P.O. Box 249, Fort Pierce, Florida 34954, to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.
- Expiration date of Notice of Commencement: 1 year from the date of recording of this instrument.

STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.
BY [Signature] CLERK



[Signature]
Owner **NORWOOD LEE LANCASTER JR.**
[Signature]
DIANE P. MARVIN

STATE OF FLORIDA
COUNTY OF Martin File-03 D.C.

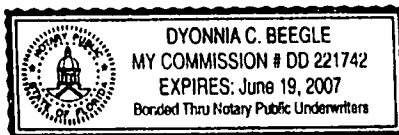
SWORN TO AND SUBSCRIBED before me this 11 day of Sept 2007, by Norwood Lee Lancaster Jr. and Diane P. Marvin who { } is personally known to me, or { } has produced [Signature] as identification.

[Signature] Diane P. Marvin

[Signature]

Notary Public - State of Florida
My Commission Expires:

{Notary Seal}



ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
10/29/2003

PRODUCER (772)231-2828 FAX (772)231-4413
Felten & Associates
 2911 Cardinal Drive (32963)
 P.O. Box 3488
 Vero Beach, FL 32964-3488

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED **A Mary Watt Electric, Inc.**
 550 N.E. Town Terrace
 Jensen Beach, FL 34957

INSURERS AFFORDING COVERAGE
 INSURER A: **Ohio Casualty Group**
 INSURER B:
 INSURER C:
 INSURER D:
 INSURER E:

RECEIVED
 NOV 10 2003
 BY:

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR	ADD'L	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YYYY)	POLICY EXPIRATION DATE (MM/DD/YYYY)	LIMITS
A		GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PROJ-ECT <input type="checkbox"/> LOC	BK0105120	10/29/2003	10/29/2004	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
		AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
		GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE \$ RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below OTHER				WC STATU-TORY LIMITS <input type="checkbox"/> OTH-ER <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

<p>CERTIFICATE HOLDER</p> <p>TOWN OF SEWELLS POINT 1 SOUTH SEWELLS POINT RD STUART, FL 34996</p>	<p>CANCELLATION</p> <p>SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.</p> <p>AUTHORIZED REPRESENTATIVE Jean Staniencz</p>
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ACORD CERTIFICATE OF LIABILITY INSURANCE		DATE (RENEWAL) 01/23/2003
PRODUCER (772)335-8804 FAX (772)335-8847 S.M. FINES INSURANCE AGENCY 1250 S.E. PORT ST. LUCIE BLVD. PORT ST LUCIE, FL 34952-5392 Rae Baunker.		THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.
INSURERS AFFORDING COVERAGE		
INSURED A Mary Watt Electric, Inc. 550 NE Town Terr Jensen Beach, FL 34957		INSURER A: Assurance Co. of America INSURER B: Progressive Express INSURER C: Hartford INSURER D: INSURER E:

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

FORM LETTER	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (RENEWAL)	POLICY EXPIRATION DATE (RENEWAL)	LIMITS		
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	SCP39113767	10/29/2002	10/29/2003	EACH OCCURRENCE	\$ 1,000,000	
	GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC					FIRE DAMAGE (Any one fire)	\$ 300,000 SF
						MED EXP (Any one person)	\$ 10,000
						PERSONAL & ADV INJURY	\$ 1,000,000
B	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS	CA04514143-1	04/21/2003	04/21/2004	COMBINED SINGLE LIMIT (Per accident)	\$	
						BODILY INJURY (Per person)	\$ 100,000
						BODILY INJURY (Per accident)	\$ 300,000
						PROPERTY DAMAGE (Per accident)	\$ 50,000
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT	\$	
	EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				OTHER THAN AUTO ONLY: EA ACC	\$	
					AGG	\$	
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	38WBQDZ9773	01/29/2003	01/29/2004	<input checked="" type="checkbox"/> WC STATUTORY LIMITS	OTHER	
						E.L. EACH ACCIDENT	\$ 100,000
						E.L. DISEASE - EA EMPLOYEE	\$ 100,000
						E.L. DISEASE - POLICY LIMIT	\$ 500,000
	OTHER						

DESCRIPTION OF OPERATION/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

State of Florida

CERTIFICATE HOLDER Town of Sewalls Point 1 South Sewalls Point Rd. Stuart, FL 34996	ADDITIONAL INSURED; INSURER LETTER:	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE Susan Fines/SMF <i>Susan M. Fines</i>
---	--	--

RECEIVED
 DEC 30 2003
 BY: _____

**2003-2004 MARTIN COUNTY ORIGINAL
 COUNTY OCCUPATIONAL LICENSE**

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
 (772) 288-6604

LICENSE 2002-508-004 CERT EC 0002334
 PHONE (561)232-2022 SIC NO 023531

LOCATION:
 550 NE TOWN TERR JB

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>0.00</u>
\$	<u>.00</u>	COL. FEE \$	<u>0.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>25.00</u>
TOTAL		<u>25.00</u>	



IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
 OF **ELECTRICAL CONTRACTOR**

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

25 DAY OF SEPTEMBER 03
 AND ENDING SEPTEMBER 30 2004

12 03092501 004371

AC# **0476975**

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
 ELECTRICAL CONTRACTORS LICENSING BOARD

SEQ#L02070800394

DATE	BATCH NUMBER	LICENSE NBR
07/08/2002	011151720	EC0002334

The ELECTRICAL CONTRACTOR
 Named below IS CERTIFIED
 Under the provisions of Chapter 489 FS.
 Expiration date: AUG 31, 2004

HUNTER, KELLY BRIAN
A MARY WATT ELECTRIC INC.
550 NE TOWN TERRACE
JENSEN BEACH FL 34957

JEB BUSH
 GOVERNOR

DISPLAY AS REQUIRED BY LAW

KIM BINKLEY-SEYER
 SECRETARY

TOWN OF SEWALL'S POINT

Date 1/6/04

BUILDING PERMIT NO. 6546

Building to be erected for LANCASTER

Type of Permit SUB-ALC

Applied for by MASTERPIECE BUDS/NISA AIR (Contractor)

Building Fee /

Subdivision PINEAPPLE LANE Lot 2 Block _____

Radon Fee _____

Address 8 PINEAPPLE LANE

Impact Fee _____

Type of structure SFR

A/C Fee SEE

PRINTERIAL NAME: PHIL NISA JR

Electrical Fee PN6544

Lic #: _____
Parcel Control Number: CACO-41199

Plumbing Fee _____

1238410030000002020000

Roofing Fee _____

Amount Paid X Check # X Cash _____ Other Fees (_____) _____

Total Construction Cost \$ X _____ TOTAL Fees _____

Signed Joe Penley
Applicant

Signed Gene Summers
Town Building Official

PERMIT

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input checked="" type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL _____ |

ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID SB
NISAI-1

DATE (MM/DD/YYYY)
12/19/03

PRODUCER Stuart Insurance, Inc. 3070 S W Mapp Palm City FL 34990 Phone: 772-286-4334 Fax: 772-286-9389	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
	INSURED Nisair Air Conditioning Personalized Services Inc dba 1501 Decker Ave, Suite D404 Stuart FL 34994	INSURERS AFFORDING COVERAGE
	INSURER A: Southern Owners	10190
	INSURER B: Auto Owners Insurance Co	18988
	INSURER C:	
	INSURER D:	
	INSURER E:	

RECEIVED
 DEC 23 2003

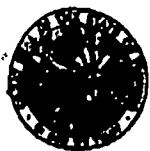
COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR INSR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A	GENERAL LIABILITY	20609861	12/20/03	12/20/04	EACH OCCURRENCE	\$ 1000000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 100000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$ 10000
					PERSONAL & ADV INJURY	\$ 1000000
					GENERAL AGGREGATE	\$ 2000000
					PRODUCTS - COMP/OP AGG	\$ 1000000
					GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	
B	AUTOMOBILE LIABILITY	96-826-376	12/20/03	12/20/04	COMBINED SINGLE LIMIT (Ea accident)	\$ 1,000,000
	<input checked="" type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$
	<input checked="" type="checkbox"/> HIRED AUTOS					
	<input checked="" type="checkbox"/> NON-OWNED AUTOS					
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$	
	<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC \$	
					AUTO ONLY: AGG \$	
	EXCESS/UMBRELLA LIABILITY				EACH OCCURRENCE \$	
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE \$	
					\$	
	<input type="checkbox"/> DEDUCTIBLE				\$	
	<input type="checkbox"/> RETENTION \$				\$	
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATU-TORY LIMITS OTH-ER	
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				E.L. EACH ACCIDENT \$	
	If yes, describe under SPECIAL PROVISIONS below				E.L. DISEASE - EA EMPLOYEE \$	
	OTHER				E.L. DISEASE - POLICY LIMIT \$	

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS
Air Conditioner Contractor - Florida Employees Only

CERTIFICATE HOLDER TOWNS-1 Town of Sewalls Point fax 220-4765 1 S Sewalls Point Road Stuart FL 34996	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE <i>Joseph E. Coons</i>
--	--



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD
1940 NORTH MONROE STREET
TALLAHASSEE FL 32399-0783

(850) 487-1395

NISA, PHILIP ANTHONY JR
NISAIR AIRCONDITIONING
1501 DECKER AVE
#D-404
STUART

FL 34994

STATE OF FLORIDA AC#0469768
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CAC041199 011150837
CERTIFIED AIRCOND. CONTR
NISA, PHILIP ANTHONY JR
NISAIR AIRCONDITIONING
IS CERTIFIED under the provisions of Ch.489 FS.
Expiration date: AUG 31, 2004 SEQ # L0206270066

DETACH HERE

AC# 0469768

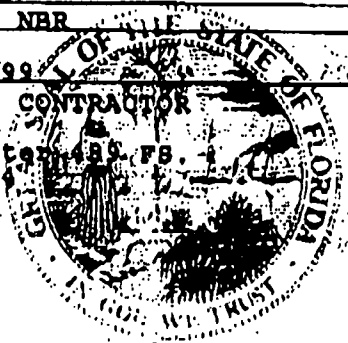
STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ#L0206270066

DATE	BATCH NUMBER	LICENSE NBR
06/27/2002	011150837	CAC041199

The CLASS B AIR CONDITIONING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2004



NISA, PHILIP ANTHONY JR
NISAIR AIRCONDITIONING
1501 DECKER AVE
#D-404
STUART

FL 34994

JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

KIM BINKLEY-SEYER
SECRETARY

MASTER PERMIT NO. 6544

TOWN OF SEWALL'S POINT

Date 12/30/03

BUILDING PERMIT NO. 6547

Building to be erected for LANCASTER

Type of Permit SUB-PLUMBING

Applied for by MASTERPIECE BLDG/DAVE'S PLUMBING (Contractor)

Building Fee _____

Subdivision PINEAPPLE LANE Lot 2 Block _____

Radon Fee _____

Address 8 PINEAPPLE LANE

Impact Fee _____

Type of structure SFR

A/C Fee SEE

PRINT QUAL. NAME: DAVID HUSNANDER

Electrical Fee PN 6544

Parcel Control Number: LIC#: CFC051625

Plumbing Fee _____

123841003000002020000

Roofing Fee _____

Amount Paid _____ Check # X Cash _____ Other Fees (_____) _____

Total Construction Cost \$ X TOTAL Fees _____

Signed [Signature]

Signed [Signature]

Applicant

Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
02/17/03

PRODUCER

FEDERATED MUTUAL INSURANCE COMPANY
 302 Perimeter Center North
 Atlanta, GA 30348
 Phone: 770-390-3900
 Home Office: Owatonna, MN 55060

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE
 COMPANY A FEDERATED MUTUAL INSURANCE COMPANY OR
 FEDERATED SERVICE INSURANCE COMPANY

INSURED 141-263-4
DAVES PLUMBING INC
 499 SE SEVILLE STREET
 STUART FL 34994

COMPANY B
 COMPANY C
 COMPANY D

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT	9040854	04/01/03	04/01/04	GENERAL AGGREGATE \$ 2,000,000
					PRODUCTS - COMP/OP AGG \$ 2,000,000
					PERSONAL & ADV INJURY \$ 1,000,000
					EACH OCCURRENCE \$ 1,000,000
					FIRE DAMAGE (Any one fire) \$ 100,000
					MED EXP (Any one person) \$
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	9040854	04/01/03	04/01/04	COMBINED SINGLE LIMIT \$ 1,000,000
					BODILY INJURY (Per person) \$
					BODILY INJURY (Per accident) \$
					PROPERTY DAMAGE \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$
					OTHER THAN AUTO ONLY: \$
					EACH ACCIDENT \$
	EXCESS LIABILITY <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$
					AGGREGATE \$
					\$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input type="checkbox"/> INCL <input type="checkbox"/> EXCL	9041337	04/01/03	04/01/04	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER \$
					EL EACH ACCIDENT \$ 100,000
					EL DISEASE - POLICY LIMIT \$ 500,000
					EL DISEASE - EA EMPLOYEE \$ 100,000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

CERTIFICATE HOLDER
 1412634
TOWN OF SEAWALLS POINT
 1 SOUTH SEAWALLS POINT
 SEAWALLS POINT FL 34996

CANCELLATION
 SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.
 AUTHORIZED REPRESENTATIVE *[Signature]*
 PRESIDENT

AC# 0953265

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L03062400606

DATE	BATCH NUMBER	LICENSE NBR
06/24/2003	200487280	RF0038405

The PLUMBING CONTRACTOR
 Named below HAS REGISTERED
 Under the provisions of Chapter 489 FS.
 Expiration date: AUG 31, 2005.
 (INDIVIDUAL MUST MEET ALL LOCAL LICENSING
 REQUIREMENTS PRIOR TO CONTRACTING IN ANY AREA)

HUSANDER, DAVID E
 DAVE'S PLUMBING INC
 499 SE SEVILLE ST
 STUART FL 34994-4449

JEB BUSH
GOVERNOR

DIANE CARR
SECRETARY

DISPLAY AS REQUIRED BY LAW

AC# 0450009

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L02061001012

DATE	BATCH NUMBER	LICENSE NBR
06/10/2002	011127653	CFC051625

The PLUMBING CONTRACTOR
 Named below IS CERTIFIED
 Under the provisions of Chapter 489 FS.
 Expiration date: AUG 31, 2004

HUSNANDER, DAVID E JR
 DAVE'S PLUMBING INC
 499 SE SEVILLE ST
 STUART FL 34994-4449

JEB BUSH
GOVERNOR

KIM BINKLEY-SEYER
SECRETARY

DISPLAY AS REQUIRED BY LAW

RECEIVED
 OCT 09 2003
 BY:

If you have any questions relating to the information in this letter , please contact the Martin County Contractor's Licensing Division of the Martin County Building Department.

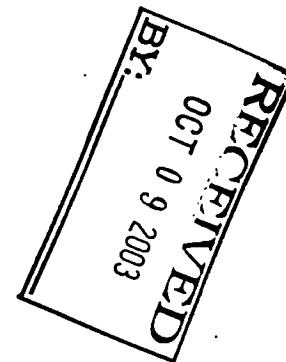


MARTIN COUNTY, FLORIDA
Construction Industry Licensing Board
Certificate of Competency

MASTER PLUMBER

License Number MP00030 Expires: 30-SEP-05.

HUSNANDER, DAVE
DAVE'S PLUMBING INC
499 SE SEVILLE ST
STUART, FL 34994



MASTER PERMIT NO. 6544

TOWN OF SEWALL'S POINT

Date 1/9/04

BUILDING PERMIT NO. 6548

Building to be erected for LANCASTER

Type of Permit SUB-ROOFING

Applied for by MASTERPIECE BUDS/CIRCLE L (Contractor)

Building Fee /

Subdivision PINEAPPLE LANE Lot 2 Block _____

Radon Fee _____

Address 8 PINEAPPLE LANE

Impact Fee _____

Type of structure SFR

A/C Fee SEE

PRINT. QUAL. NAME: Josh Jesse Lynn

Electrical Fee PN 6544

Parcel Control Number: Lot #: CCC ~~57305~~ 57305

Plumbing Fee _____

12 38410030000002020000

Roofing Fee _____

Amount Paid _____ Check # _____ Cash _____ Other Fees (_____) _____

Total Construction Cost \$ _____

TOTAL Fees _____

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official

PERMITS

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input checked="" type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ACORD™ CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
12/03/03


PRODUCER HRH of Sarasota 6771 Professional Parkway West Suite 101 Sarasota, FL 34240	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.
INSURED Circle L Roofing, Inc. 6320 Venture Dr. #205 Bradenton, FL 34202	INSURERS AFFORDING COVERAGE INSURER A: FCCI Commercial Insurance Co. INSURER B: FCCI Commercial Insurance Co. INSURER C: American Casualty Co Of Reading PA INSURER D: INSURER E:

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A	GENERAL LIABILITY	CPP0002012	11/01/03	11/01/04	EACH OCCURRENCE	\$1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				FIRE DAMAGE (Any one fire)	\$500,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$10,000
	<input checked="" type="checkbox"/> PD Ded:500				PERSONAL & ADV INJURY	\$1,000,000
GEN'L AGGREGATE LIMIT APPLIES PER:					GENERAL AGGREGATE	\$2,000,000
<input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC					PRODUCTS - COMP/OP AGG	\$2,000,000
A	AUTOMOBILE LIABILITY	CAU0002494	11/01/03	11/01/04	COMBINED SINGLE LIMIT (Ea accident)	\$1,000,000
	<input checked="" type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$
	<input checked="" type="checkbox"/> HIRED AUTOS				PROPERTY DAMAGE (Per accident)	\$
<input checked="" type="checkbox"/> NON-OWNED AUTOS						
GARAGE LIABILITY					AUTO ONLY - EA ACCIDENT	\$
<input type="checkbox"/> ANY AUTO					OTHER THAN AUTO ONLY: EA ACC	\$
					AGG	\$
B	EXCESS LIABILITY	UMB0001116	11/01/03	11/01/04	EACH OCCURRENCE	\$5,000,000
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$5,000,000
	<input type="checkbox"/> DEDUCTIBLE					\$
	<input checked="" type="checkbox"/> RETENTION \$10000					\$
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	WC247857526	11/01/03	11/01/04	<input checked="" type="checkbox"/> WC STATU-TORY LIMITS	
					OTH-ER	
					E.L. EACH ACCIDENT	\$500,000
					E.L. DISEASE - EA EMPLOYEE	\$500,000
		E.L. DISEASE - POLICY LIMIT	\$500,000			
OTHER						

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS
 30 Days Notice of Cancellation applies except for Non-Payment of Premium which is 10 Days.
 Fax to 772-220-4765 Attn: Laura
 Fax to 907-7250 Attn: RaeDean

CERTIFICATE HOLDER Town of Sewall's Point 1 South Sewall's Point Rd. Sewall's, FL 34996	ADDITIONAL INSURED; INSURER LETTER: _____ CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE 
---	---



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD
1940 NORTH MONROE STREET
TALLAHASSEE FL 32399-0783

(850) 487-1395

RECEIVED
DEC 03 2003
BY:

LYNN, JESSE JAMES
CIRCLE L ROOFING INC
7645 TRALEE WAY
BRADENTON

FL 34202

STATE OF FLORIDA AC# 0557455
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
 CCC57305 08/29/02 200054683
 CERTIFIED ROOFING CONTRACTOR
 LYNN, JESSE JAMES
 CIRCLE L ROOFING INC
 IS CERTIFIED under the provisions of Ch. 489 FS
 Expiration date: AUG 31, 2004 SEQ# L020829002

DETACH HERE

AC# 0557459

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L020829002

DATE	BATCH NUMBER	LICENSE NBR
08/29/2002	200054683	CCC57305

The ROOFING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2004

LYNN, JESSE JAMES
CIRCLE L ROOFING INC
5402 1ST STREET
P O BOX 623
TALLEHAST

FL 34270



STATE OF FLORIDA
LEE COUNTY
OCCUPATIONAL LICENSE

LICENSE YEAR: 2003-2004
LICENSE NUMBER: 982909

Location
11040 PLANTATION RD
FT MYERS FL 33912

CIRCLE L ROOFING INC
LYNN JESSE JAMES
6108 33RD ST E
BRADENTON FL 34203

EXPIRES: SEPTEMBER 30, 2004

Is hereby licensed at above address to engage in the business, profession
or occupation of:

ROOFING CONTRACTOR

THIS IS NOT A BILL - DO NOT PAY

PAID 157437-5-1 : 08/19/2003 10:13 AM
NXJ1 \$50.00

THIS LICENSE VALID ONLY WHEN RECEIPTED BY

RENEWAL ON 1/25/05 - CK#3848 \$628.80 - 1 mo = 1/9/05 - 2/9/05
RENEWAL ON 3/2/05 - CK#3921 \$728.80 - 1 mo = 3/25/05 - 4/9/05
MASTER PERMIT NO. 6544

TOWN OF SEWALL'S POINT

Date 1/9/04

Building to be erected for LANCASTER

BUILDING PERMIT NO. 6544

Applied for by MASTERPIECE BUILDERS

Type of Permit SFR

Subdivision PINEAPPLE LANE Lot 2 Block _____

(Contractor) Building Fee 5280.00
550K x 9.60/1000 =

Address 8 PINEAPPLE LANE

Radon Fee 62.58

Type of structure SFR

Impact Fee 4024.91

A/C Fee 120.00

Parcel Control Number:

1238410030000002020000

Electrical Fee 120.00

Plumbing Fee 120.00

Amount Paid _____ Check # _____ Cash _____

Roofing Fee 120.00

Total Construction Cost \$ 550,000.

Other Fees 528.00
10% PLAN REVIEW

TOTAL Fees 10,375.49

Signed Jennifer Puerto
Applicant

Signed Gene Simmons (TOW)
Town Building Official



408 COLORADO AVENUE
STUART, FLORIDA 34994
772-283-2096
FAX: 772-283-2770

FILE

FACSIMILE TRANSMITTAL SHEET

TO: <i>James McMahon</i>	FROM: <i>JEFF Bowers</i>
COMPANY:	DATE: <i>1/28/05</i>
FAX NUMBER: <i>220-4765</i>	TOTAL NO. OF PAGES INCLUDING COVER: <i>2</i>
PHONE NUMBER:	SENDER'S REFERENCE NUMBER:
RE: <i>Permit 6544</i>	YOUR REFERENCE NUMBER:

URGENT FOR REVIEW PLEASE COMMENT PLEASE REPLY

CERTIFIED GENERAL CONTRACTOR
CGC048543
"INVEST IN A MASTERPIECE"



1/25/05

James McMahon
Town of Sewall's Point
One South Sewall's Point Rd.
Sewall's Point, FL 34996

Re: Permit #6544 Lot 2 Pineapple Lane

Dear Mr. McMahon,

I am writing you today to respectfully request an opportunity to be added to the agenda of the next town council meeting. The request is in reference to a building permit which is now over one year old. As you may be aware, building permits expire after one year, unless they are renewed at a monthly charge of 10% of the original permit. I would like the opportunity to speak with the town council about receiving a 90 day extension on a building permit for a new residence at #8, Pineapple Lane.

Unfortunately, due to the hurricanes, the construction timeline for this job has been extended by approximately 3 months. Were it not for the unfortunate events of last year, this house would now be completed. The opportunity to speak with the Town Council and ask for an extension would be greatly appreciated.

I look forward to speaking with you soon. If you have any questions, please do not hesitate to call.

Sincerely,

A handwritten signature in black ink that reads 'Jeff Bowers'.

Jeff Bowers
President
Masterpiece Builders

DESIGN/BUILD
RENOVATION
NEW CONSTRUCTION

CERTIFIED GENERAL CONTRACTORS
408 COLORADO AVENUE • STUART, FLORIDA 34994
(772) 283-2096 • FAX (772) 283-2770
www.masterpiecebuilders.com

STATE
CERTIFIED
Lic. No. CCC 048543

FILE #6544
& PINEAPPLE

OWNER'S AFFIDAVIT OF BUILDING COSTS

(To be submitted at time of final inspection for Certificate of Occupancy)

**STATE OF FLORIDA
MARTIN COUNTY**

BEFORE ME, the undersigned authority, personally appeared the undersigned Affidavit, who, being first duly sworn, under penalty of perjury, deposes and says:

1. That Affidavit is the owner or the authorized agent of the owner of certain real estate (the Property) located within the municipal limits of the Town of Sewall's Point, Florida (the Town), having the street address set forth below Affidavit's signature.
2. That all of the improvements on the Property under current building permit(s) issued by the Town have been completed in substantial conformity with the plans and specifications on file with the Town and in accordance with all applicable state and local building codes.
3. That the total cost paid or to be paid by the owner for the complete construction of the improvements under the building permit(s), including the cost of all improvements shown on the plans and specifications filed with the Town and all machinery and equipment not shown thereon required to be installed as a condition for a certificate of occupancy under state and local law, is \$ 621,000.00/100
4. That this Affidavit is made for the purpose of inducing the Building Official of the Town to issue a Certificate of Occupancy for the improvements, with the intention that it be relied upon for that purpose.

Affidavit's Signature:

Non Cheryl D. D... [Signature]

Property Address:

8 Pineapple Lane
Stuart, FL 34996

SWORN TO and subscribed before me this 29 day of JUNE, 2005, by _____, who is personally known to me or produced FLORIDA DRIVER LICEN as identification.

[Signature]

Notary Public
My commission expires: _____

(Notary Seal)



**TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT**

Design Certification for Windload Compliance By Architect or Engineer of Record
(To be submitted with application and construction drawing for permit)

PROJECT NAME AND ADDRESS

BUILDING DEPARTMENT USE ONLY

LANCASTER / MARVIN
LOT #3 PINEAPPLE LN.
(MASTER-PIECE BUILDERS)

BLDG. PERMIT # _____
OCCUPANCY TYPE _____
CONSTRUCTION TYPE _____

STATEMENT

I certify that, to the best of my knowledge and belief, these plans and specification have been designed to comply with the applicable structural portion of the Building Codes as amended, adopted, and enforced the Town of Sewall's Point Building Department. I also certify that the structural components, systems, and related elements provide adequate resistance to the wind loads and forces specified by the current Code provisions. I hereby accept responsibility for the structural design.

BUILDING PARAMETERS AND ANALYSIS

CODE EDITIONS: 2001 FLORIDA BUILDING CODE
CHAPTER 6 OF ASCE 7- 98

Building Design as: Partially Enclosed _____ Enclosed Open _____ Wind Tunnel Test _____
Basic Wind Speed: 140 MPH 3 Second Gusts Importance/Use Factor 1.0
Velocity Pressure: _____ psf Garage Door Design Pressure _____ +(psf) (End Zone) _____ +psf _____ +psf
Door Design Pressure (Int. Zone) _____ +psf _____ -psf (End Zone 38.0 +psf 47.5 -psf
Window Design Pressure (Int. Zone) _____ +psf _____ -psf (End Zone 38.0 +psf 47.5 -psf
Minimum Soil Bearing Pressure 2500 psf Exposure B Mean Building Height 24'
Floor Loads 55 Roof Dead Load 15 Shear Wall Considered Yes _____ No _____
Continuous Load Path Provided Yes _____ No _____
Components and Cladding Details Provided Yes _____ No _____
Impact Protection (Exterior Openings): Approved Shutters Impact Resistance Glass _____
(Must be Indicated on permit documents for all residential/commerical buildings, alterations and renovations)

NOTE: ACTUAL DESIGN PRESSURES FOR ALL EXTERIOR WINDOWS, DOORS, GARAGE DOORS, AND SIMILAR ENVELOPE ELEMENTS MUST ALSO BE INDICATED ON CONSTRUCTION PLANS.

As witnessed by my seal, I hereby certify that the above information is true and correct to the best of my knowledge.

NAME: MARK A. CORSON
CERTIFICATION# AB 91665
DATE: 10/1/03
DESIGN FIRM: M.A. CORSON & ASSOC., INC.

SEAL



Date: 12/23/03

Type of Permit	<u>SFR</u>	
	<u>THRU 12/31/03</u>	<u>AFTER 1/1/04</u>
550K x 9.60/1000 Building Fee	<u>5280.</u>	5280.
Radon Fee	<u>62.58</u>	62.58
Impact Fee	<u>4024.91</u>	4598.20
A/C Fee	<u>120</u>	120
Electrical Fee	<u>120</u>	120
Plumbing Fee	<u>120</u>	120
Roofing Fee	<u>120</u>	120
Other Fees (10% PLAN REVIEW)	<u>528.</u>	528.
Total Fees	<u>10,375.49</u>	10,948.78



OFFICIAL RECEIPT
(FOR MONEY RECEIVED)

No. 536464

DATE 19, 1984

Legal Svc SCHOOL

RECEIVED FROM Masterpiece Bldgs \$ 1006.03
(NAME OR ORGANIZATION)

FOR school impact fee - lot 2, Pineapple Lane

FOR DEPOSIT IN _____ FUND(S)

W. Falls
PRINCIPAL OR RESPONSIBLE OFFICER



STATE OF FLORIDA
DEPARTMENT OF HEALTH
MARTIN COUNTY HEALTH DEPARTMENT
ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
CONSTRUCTION PERMIT

CENTRAX #: 43-SS-05656
OSTDSNBR: 03-0652-N

Owner's Copy

CONSTRUCTION PERMIT FOR:

[X] New System [] Existing System [] Holding Tank [] Innovative Other
[] Repair [] Abandonment [] Temporary [] _____

APPLICANT: MASTERPIECE BUILDERS - LOT 2 AGENT: 96-1256, BROWN STEPHEN

PROPERTY STREET ADDRESS: XXXX PINEAPPLE Ln STUART FL 34996

LOT: 2 BLOCK: _____ SUBDIVISION: PINEAPPLE LANE

[Section/Township/Range/Parcel No.]

PROPERTY ID #: --- [OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF CHAPTER 64E-6, FAC DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC TIME PERIOD. ANY CHANGE IN MATERIAL FACTS WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE OR LOCAL PERMITTING REQUIRED FOR PROPERTY DEVELOPMENT.

SYSTEM DESIGN AND SPECIFICATIONS

(EXISTING TANK)

T [1350] Gallons SEPTIC TANK MULTI-CHAMBERED/IN SERIES: [Y]
A [0] Gallons MULTI-CHAMBERED/IN SERIES: []
N [0] GALLONS GREASE INTERCEPTOR CAPACITY
K [0] GALLONS DOSING TANK CAPACITY [0] GALLONS @ [0] DOSES PER 24 HRS # PUMPS [0]

D [500] SQUARE FEET PRIMARY DRAINFIELD SYSTEM *Trench on*
R [750] SQUARE FEET " " " " SYSTEM *BED*
A TYPE SYSTEM: [Y] STANDARD [N] FILLED [N] MOUND [N] _____
I CONFIGURATION: [Y] TRENCH [N] BED [N] _____

F LOCATION TO BENCHMARK: Nail In Crown of Road 8.53 NGVD
I ELEVATION OF PROPOSED SYSTEM SITE [20.0] [INCHES] [BELOW] BENCHMARK/REFERENCE POINT
E BOTTOM OF DRAINFIELD TO BE [50.0] [INCHES] [BELOW] BENCHMARK/REFERENCE POINT
L
D FILL REQUIRED: [0.0] INCHES NATURAL/ EXISTING SOIL EXCAVATION REQUIRED: [0.0] INCHES
OTHER REMARKS:

The licensed contractor installing the system is responsible for installing the minimum category of tank in accordance with s. 64E-6.013(3)(f), F.A.C. System installation must meet all requirements of Chapter 64E-6, F.A.C. The drainfield must be at least 5 feet from the property line(s). A minimum of 6" and a maximum of 18" of moderately or slightly limited soil cap allowed over drainfield. Potable water lines within 10' of system must be sleeved and sealed and cannot be within 2'. Potable water lines must be installed and exposed at time of initial installation inspection.

SPECIFICATIONS BY: McCoy, Doug *Dg my 01-08-05* TITLE: EH Specialist II

APPROVED BY: Cross, Ray *MC ok 07/23/05 for p.c.* TITLE: Environmental Supervisor Martin CHD

DATE ISSUED: 7/2/2003 EXPIRATION DATE: 1/2/2005

DH 4016, 03/97 (Obsoletes previous editions which may not be used)
(Stock Number: 5744-001-4016-0) [ostds_cons_4016-1]

** NOTE: See attached Applicant's notice of permitting rights. **



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ON-SITE SEWAGE DISPOSAL SYSTEM
SITE EVALUATION AND SYSTEM SPECIFICATIONS

CENTRAX #: 43-SS-05656
OSTDSNBR : 03-0652-N

APPLICANT: MASTERPIECE BUILDERS - LOT 2

AGENT: 96-1256 STEPHEN BROWN, SJB

LOT: 2 BLOCK: _____ SUBDIVISION: PINEAPPLE LANE ID#: ---

TO BE COMPLETED BY ENGINEER, HEALTH DEPARTMENT EMPLOYEE, OR OTHER QUALIFIED PERSON. ENGINEER'S MUST PROVIDE REGISTRATION NUMBER AND SIGN AND SEAL EACH PAGE OF SUBMITTAL. COMPLETE ALL ITEMS.

PROPERTY SIZE CONFORMS TO SITE PLAN: [] YES [] NO NET USABLE AREA AVAILABLE: .45 ACRES
TOTAL ESTIMATED SEWAGE FLOW: 600 GALLONS PER DAY [64E-6, TABLE 1]
AUTHORIZED SEWAGE FLOW: 1141 GALLONS PER DAY [1500GPD/ACRE OR 2500GPD/ACRE]
UNOBSTRUCTED AREA AVAILABLE: 1200 SQFT UNOBSTRUCTED AREA REQUIRED: 1500 SQFT

BENCHMARK/REFERENCE POINT LOCATION: NAIL IN CROWN OF ROAD 8.53
ELEVATION OF PROPOSED SYSTEM SITE IS 20 [Inches] [BELOW] BENCHMARK/REFERENCE POINT

THE MINIMUM SETBACK WHICH CAN BE MAINTAINED FROM THE PROPOSED SYSTEM TO THE FOLLOWING FEATURES:
SURFACE WATER: N/A FT DITCHES/SWALES: N/A FT NORMALLY WET? [] YES [] NO
WELLS: PUBLIC: N/A FT LIMITED USE: N/A FT PRIVATE: N/A FT NON-POTABLE: N/A FT
BUILDING FOUNDATIONS: 5 FT PROPERTY LINES: 5 FT POTABLE WATER LINES: 5 FT

SITE SUBJECT TO FREQUENT FLOODING: [] YES [] NO 10 YEAR FLOODING? [] YES [] NO
10 YEAR FLOOD ELEVATION FOR SITE: N/A FT NGVD SITE ELEVATION: 8.8 FT NGVD

SOIL PROFILE INFORMATION SITE 1			
Munsell #/Color	Texture	Depth	
<u>8/0 W WHITE</u>	<u>SAND</u>	<u>0 to 76</u>	
<u>7/5 DRANGL</u>	<u>SAND</u>	<u>76 to 92</u>	
_____	_____	to	
_____	_____	to	
_____	_____	to	
_____	_____	to	
_____	_____	to	
_____	_____	to	
_____	_____	to	
USDA SOIL SERIES: <u>6 Paola (sandy)</u>			

SOIL PROFILE INFORMATION SITE 2			
Munsell #/Color	Texture	Depth	
<u>8/0 W WHITE</u>	<u>SAND</u>	<u>0 to 30</u>	
<u>7/5 DRANGL</u>	<u>SAND</u>	<u>30 to 92</u>	
_____	_____	to	
_____	_____	to	
_____	_____	to	
_____	_____	to	
_____	_____	to	
_____	_____	to	
_____	_____	to	
USDA SOIL SERIES: <u>6 Paola (sandy)</u>			

OBSERVED WATER TABLE: Not on sewer [] INCHES [] BELOW [] EXISTING GRADE TYPE: [] APPARENT []
ESTIMATED WET SEASON WATER TABLE ELEVATION: 92 INCHES [] BELOW [] EXISTING GRADE.
HIGH WATER TABLE VEGETATION: [] YES [] NO MOTTLING: [] YES [] NO DEPTH: N/A INCHES

SOIL TEXTURE/LOADING RATE FOR SYSTEM SIZING: 1.70% Sand DEPTH OF EXCAVATION: N/A INCHES
DRAINFIELD CONFIGURATION: [] TRENCH BED [] OTHER (SPECIFY) _____
REMARKS/ADDITIONAL CRITERIA: If this is a mound - Not enough AA - only if good sand.

NO BENCHMARK 7'0" N/A 7'0" 50 R = 4'0" AVAILABLE AREA APPEARS TO BE 12' ABOVE S.P.
SITE EVALUATED BY: D. J. McY DATE: 6/23/03

Can review by M. Fredette 6/25/03.

RECEIVED

JUN 20 2003



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

MARTIN COUNTY
HEALTH DEPARTMENT

PERMIT NO. 43-SS-5656
DATE PAID: 6/20/03
FEE PAID: 200
RECEIPT #: 02031

03-0652-N

APPLICATION FOR:

New System Existing System Holding Tank Innovative
 Repair Abandonment Temporary Drop off

APPLICANT: MASTER PIECE BUILDERS / LANCASTER-MARTIN RESIDENCE

AGENT: S.I. B., LLC. TELEPHONE: 288-7176

MAILING ADDRESS: 619 EAST 5TH STREET MARTIN FL 32904

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 2 BLOCK: - SUBDIVISION: PINEAPPLE LAKE PLATTED: Nov. 1988

PROPERTY ID #: _____ ZONING: _____ I/M OR EQUIVALENT: Y / N

PROPERTY SIZE: 0.45 ACRES WATER SUPPLY: PRIVATE PUBLIC <=2000GPD >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? Y / N DISTANCE TO SEWER: 1000 FT

PROPERTY ADDRESS: PINEAPPLE LAKE - SEWALLS POINT

DIRECTIONS TO PROPERTY: SEWALLS POINT - SEWALLS POINT RD TO PINEAPPLE LAKE (RIGHT) 2ND TO LAST LOT ON RIGHT BEFORE RIVER ROAD - SEE LOCATION MAP

BUILDING INFORMATION

RESIDENTIAL COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	<u>MURKIN FAMILY</u>	<u>4</u>	<u>4767 S/F</u> <u>4079</u>	<u>SIB 6/15/03</u>
2				
3				
4				

Floor/Equipment Drains Other (Specify) DISPOSAL

SIGNATURE: STEPHEN J. BROWN DATE: 5/28/03

APPLICANT'S NAME: MAYTER FIBRE BLDGS. / LANCASTER MARVIL RES
LEGAL DESCRIPTION: LOT 2 PINEAPPLE LAKE

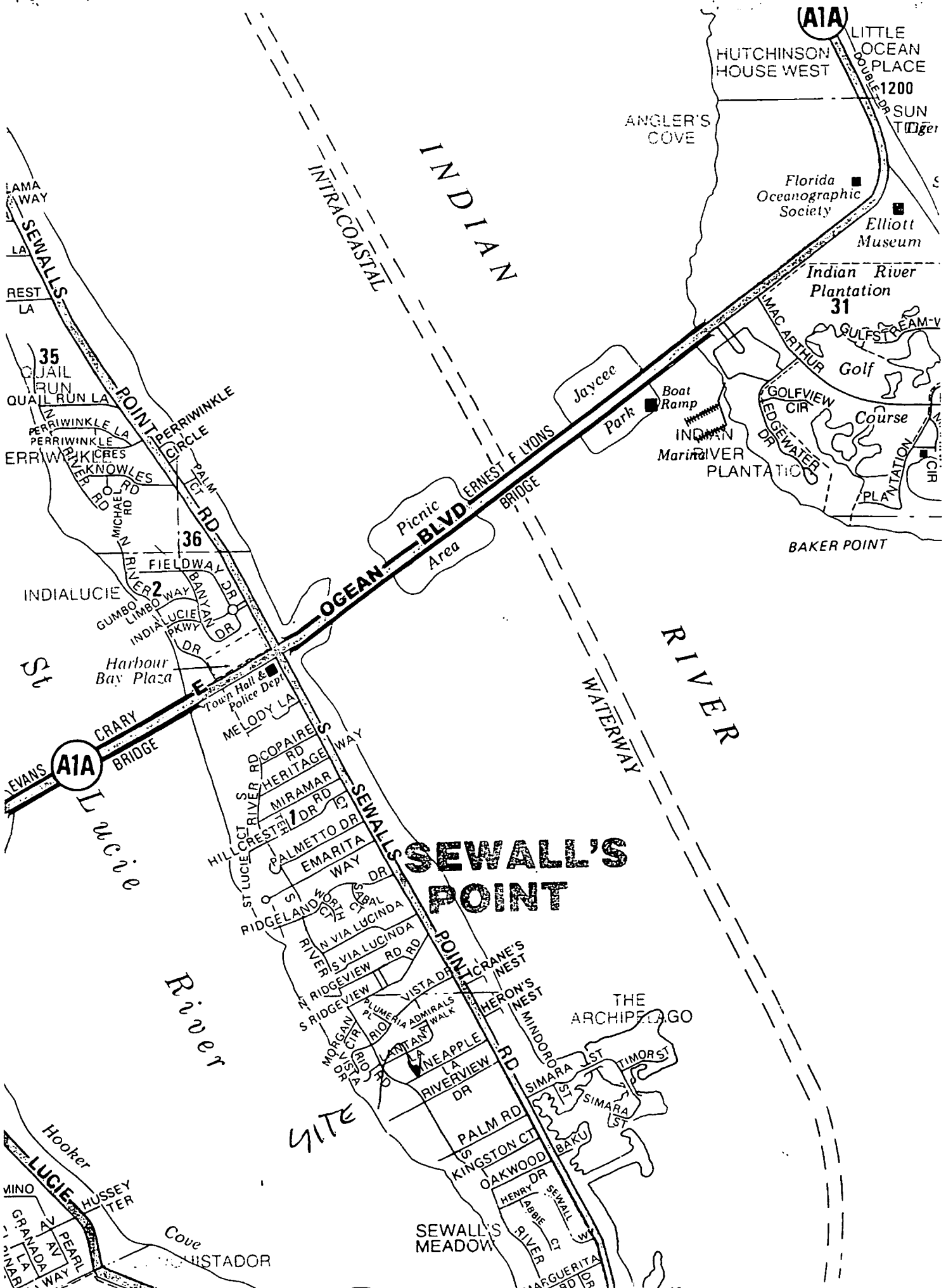
PROPOSED SEPTIC SYSTEM SITE INFORMATION

I certify that there are no potable private wells within 75 feet of the available area for the proposed septic system, that there are no non-potable wells within 50 feet of the available area for the proposed septic system, that there are no wells within 25 feet of a pesticide-treated building foundation, that there are no public wells that serve less than 25 people or less than 15 homes or businesses within 100 feet of the proposed septic system, that there are no public wells that serve more than 25 people or more than 15 homes or businesses within 200 feet of the proposed septic system, that the water line from the water meter or well to the structure is at least 10 feet from the available area for the proposed septic system unless the plans show the line to be double sleeved, that there is not a gravity sewer line, low pressure sewer line or vacuum sewage line in a public easement or right-of-way that abuts the property, that there are no lakes, streams, wetlands, or surface water within 75 feet of the available area for the proposed septic system unless the property was created prior to 1972, that the septic system is proposed on the side of the lot farthest from surface water, that all private wells, septic systems and surface water on adjacent or contiguous land within 75 feet of the applicant's lot are shown on the site plan, that all public wells within 200 feet of the applicant's lot are shown on the site plan, and that the location of building or residences, swimming pools, recorded easements, paved areas or driveways, sidewalks, the general slope of the property, filled areas, drainage features, and surface waters such as lakes, ponds, streams, canals, or wetlands are shown on the applicants lot.

The natural grade elevation in the area of the proposed septic system and the benchmark must be shown on the site plan. Please locate the benchmark within 200 feet of the proposed septic system.

NOTE: MUST BE CERTIFIED BY A FLORIDA REGISTERED SURVEYOR OR ENGINEER.

CERTIFIED BY: STEPHEN J. BIZARD
FLORIDA PROFESSIONAL NO.: AD49
DATE: 5/20/03 JOB NO. 1021-01-01



SEWALL'S POINT

SITE



NOTICE OF RIGHTS

A party whose substantial interest is affected by this order may petition for an administrative hearing pursuant to sections 120.569 and 120.57, Florida Statutes. Such proceedings are governed by Rule 28-106, Florida Administrative Code. A petition for administrative hearing must be in writing and must be received by the Agency Clerk for the Department, within twenty-one (21) days from the receipt of this order. The address of the Agency Clerk is 4052 Bald Cypress Way, BIN # A02, Tallahassee, Florida 32399-1703. The Agency Clerk's facsimile number is 850-410-1448.

Mediation is not available as an alternative remedy.

Your failure to submit a petition for hearing within 21 days from receipt of this order will constitute a waiver of your right to an administrative hearing, and this order shall become a 'final order'.

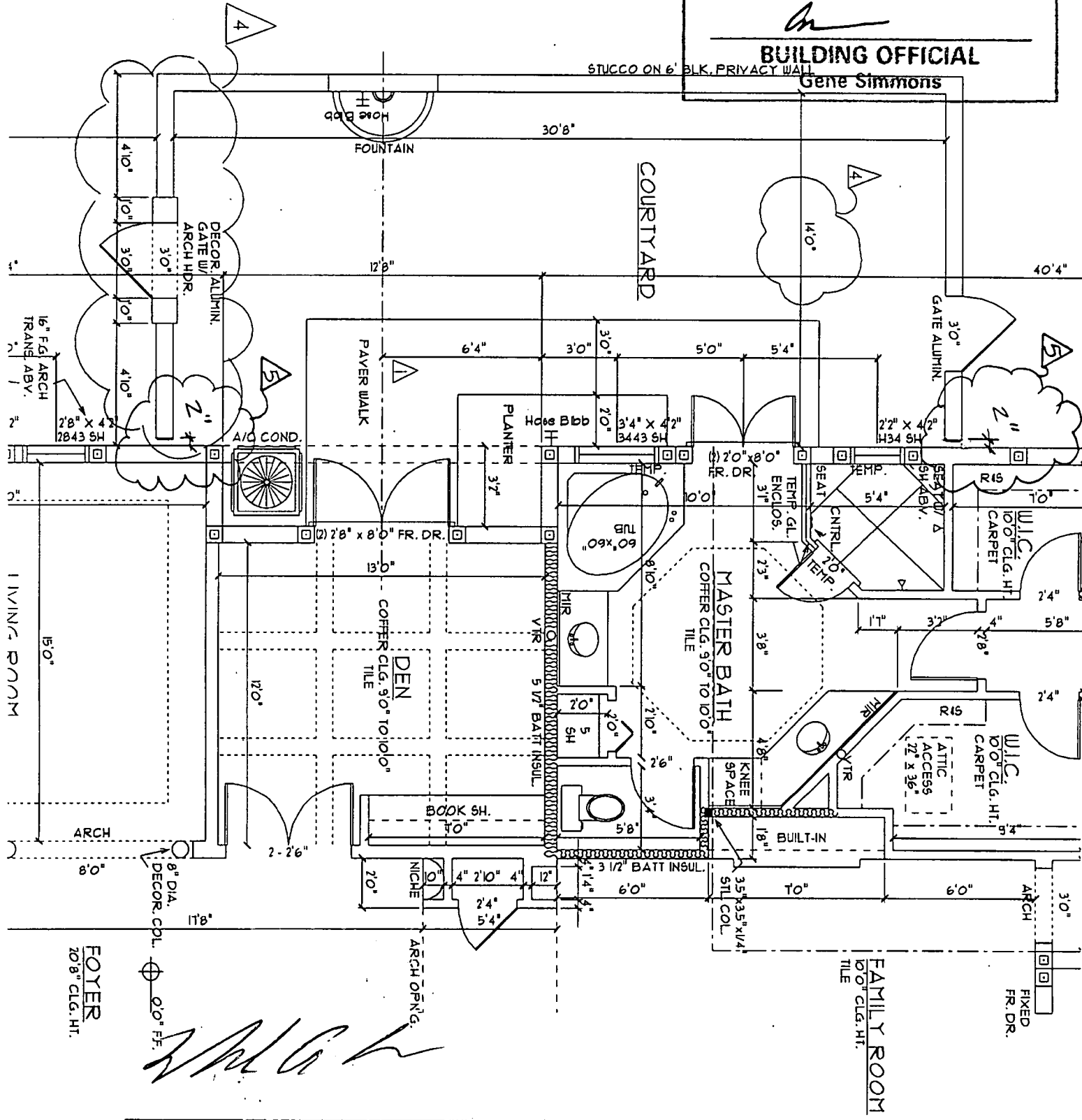
Should this order become a final order, a party who is adversely affected by it is entitled to judicial review pursuant to Section 120.68, Florida Statutes. Review proceedings are governed by the Florida Rules of Appellate Procedure. Such proceedings may be commenced by filing one copy of a Notice of Appeal with the Agency Clerk of the Department of Health and a second copy, accompanied by the filing fees required by law, with the Court of Appeal in the appropriate District Court. The notice must be filed within 30 days of rendition of the final order.

REVISION

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE

DATE: 6/14/04

Gene Simmons
BUILDING OFFICIAL
Gene Simmons

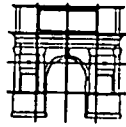


M.A. CORSON & ASSOCIATES, INC.
 ARCHITECTURE • STRUCTURAL DESIGN
 800 B. Ocean Blvd. Suite C Stuart, FL. 34994
 (772) 223-8227 - Fax 223-8234

LANCASTER/MARVIN RES.
 #2 PINEAPPLE LAKE

REV. 4/21/04 REV. 6/8/04

LANCASTER/MAKVII RES.
#2 PIPEAPPLE LANE

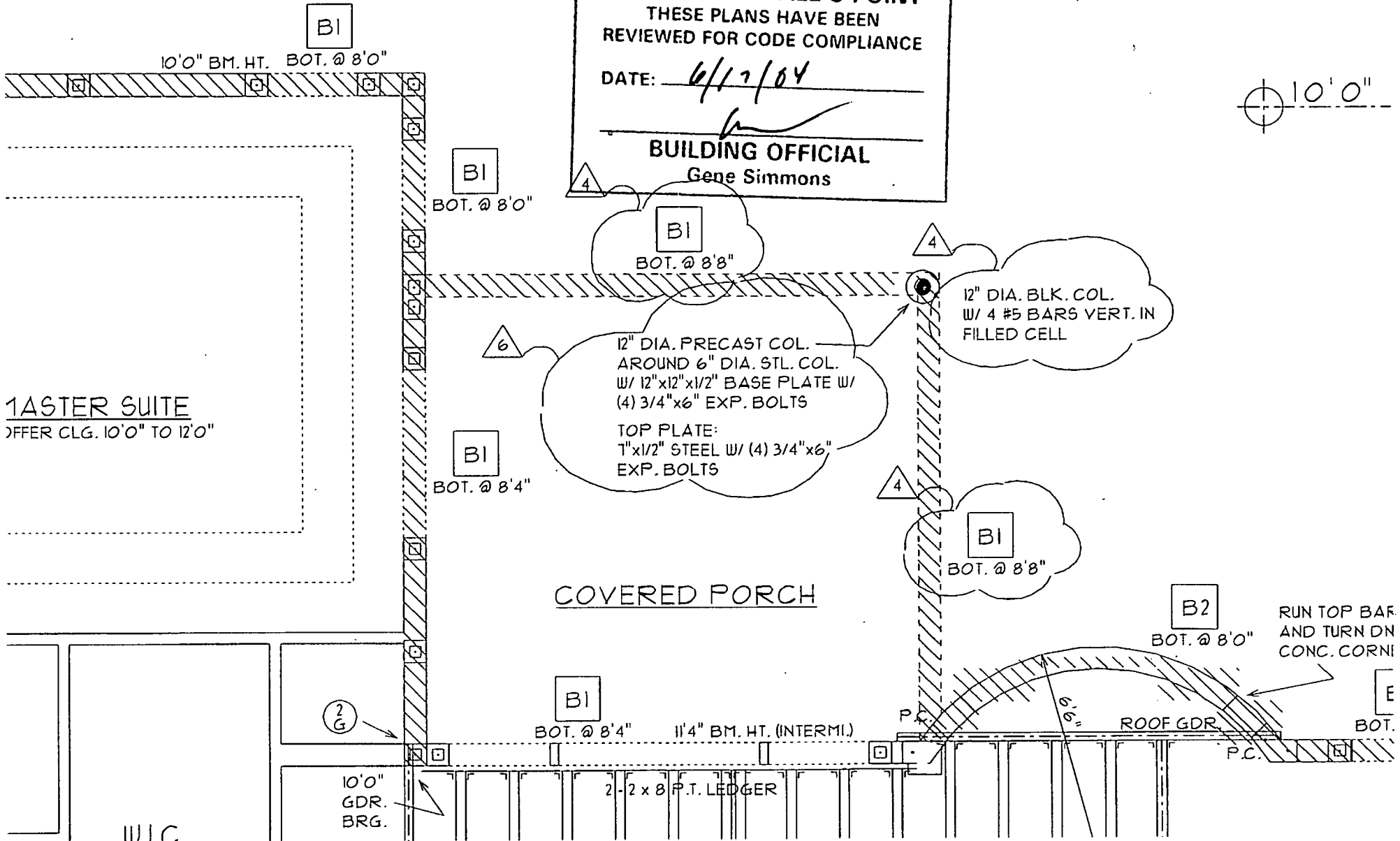


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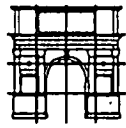
6544 REV. PORCH COL. 6/11/04

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 6/17/04
BUILDING OFFICIAL
Gene Simmons

11' 4"
10' 0"
W.A. Corson

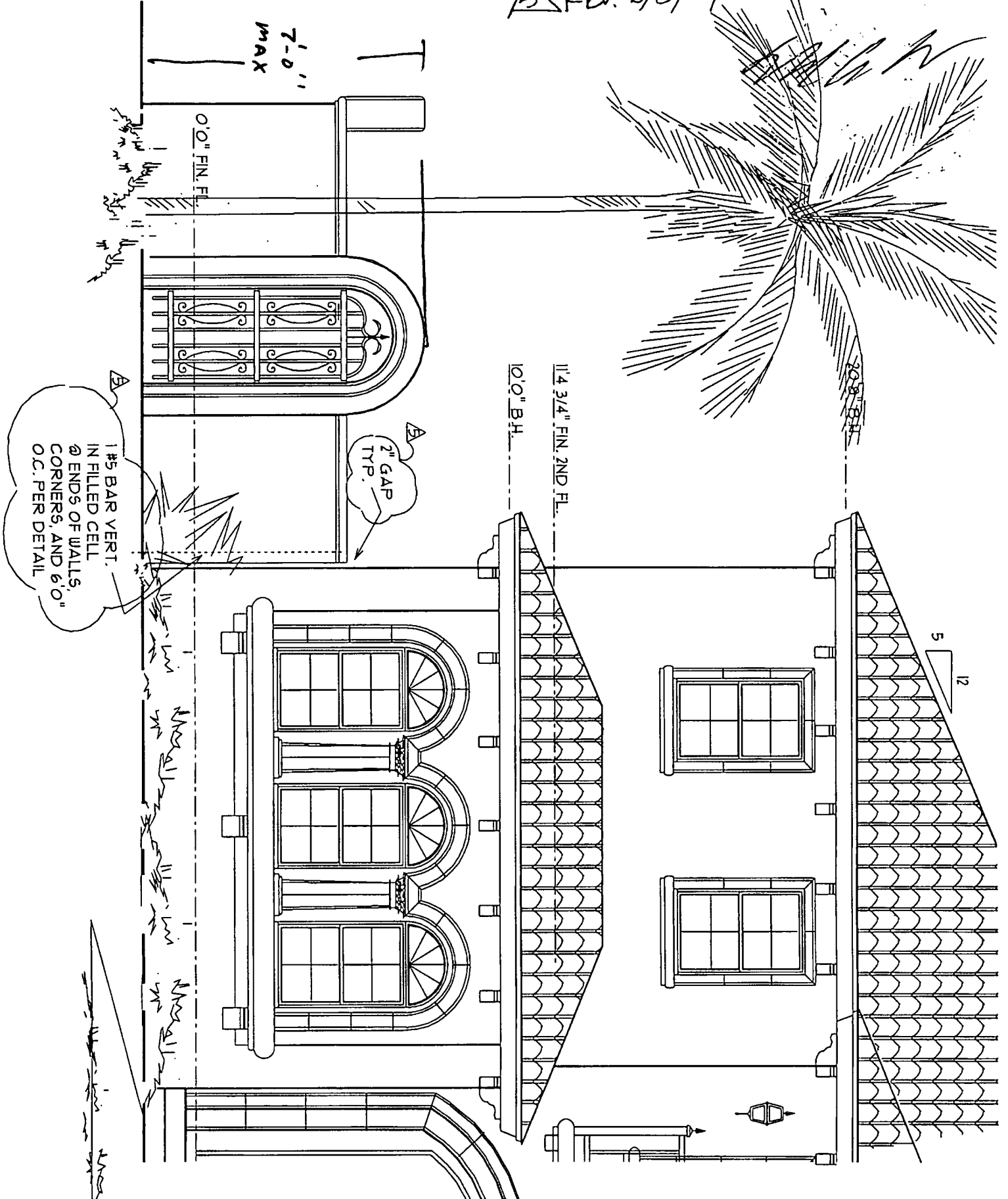


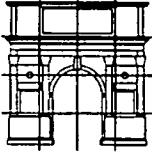
LANCASTER/MARVIP RES.
 #2 PINEAPPLE LANE



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 ARCHITECTURE • STRUCTURAL DESIGN
 800 E. Ocean Blvd. Suite C Stuart, FL. 34994
 (772) 223-8227 • Fax 223-8234

REV. 6/8/04





M.A. CORSON & ASSOCIATES, Inc.
ARCHITECTURE STRUCTURAL DESIGN

To: Sewall's Point Building Department

Date: 1/19/05

Re: Lancaster / Marvin Residence
2 Pinapple Lane
Permit #

This office approves of the following:

1. It is acceptable that the attic vents at the soffits have been removed. The soffits shall be continuous stucco on high-rib metal lath. The batt insulation at the bottom chord of the roof truss is the only attic insulation required. After consulting with Mr. David Wojcieszak (mechanical engineer), and Mrs. Ann Stanton at The Department of Community Affairs for the State of Florida it was determined that the sealing of the attic space is an acceptable and preferable method of construction, especially at this location. The sealing of the attic space reduces the level of humidity and "salty" air in the attic space. In addition, the Florida Energy Code Calculations make no reference to attic venting and the residence still meets the code requirements.

Thank you for your time and consideration. If you have any questions please call.

Sincerely,

Mark A. Corson A.I.A.

cc: file
 masterpiece
bldgsp2

JAMES F. BIAGI, P.E.

CONSULTING ENGINEER

March 11, 2005

City of Stuart, Florida
Building Department
Stuart, FL

Ref: Entrance Door
Frame Design and Comp. Anal.
Lancaster Residence
8 Pineapple Lane
Stuart, FL

Gentlemen:

The exterior doors proposed for the address referred to above have been analyzed and compared to doors tested in accordance with Dade County Protocol. I have used a comparative analysis to doors tested by using Dade County Protocol using ASTM E330-90; ASTM E331-91; ASTM E283-91; AAMA 1302.5; and FBC 1626.2 and 1626.3 (Dade NOA 02-0828.05). Design loads of +53 psf and - 70 psf. were used for the tests. The anchorage of the jambs and the size of the jambs are designed based on the worst case scenario for the doors using The Florida Building Code 2001 Sec. 1606.2.2.1. with Exposure "C" and 140 MPH wind velocity. Examining the tests I find the doors meet the requirements of the Florida Building Code 2001 Edition and the ASTM in accordance with ASCE 7-98 for specific mandatory and supplementary tests. This analysis applies to double 3/0 by 9/0 by 2 1/4" one lite and two panel wood doors with arched tops.

I have also examined Report #ATI 02-30867.01 conducted by Architectural Testing Inc. on an installation utilizing monolithic laminated glass for the door lite. The glass is comprised of two tempered sheets sandwiching a PVB inner layer. The test was conducted on installations in accordance with Dade County Protocols PA 201-94, "Impact test Procedures, and PA 203-94, "Criteria For Testing Products Subject To Cyclic Wind Pressure Loading". The performance attained was for a design pressure of + and - 60 psf. Based on this test review I find the glass proposed for the door lites meets the large and small missile impact requirements of the Dade County Protocols and The Florida Building Code 2001 and the ASTM for specific mandatory and supplementary tests.

The above installation meets the requirements of the Florida Building Code 2001 Edition.

Very truly yours


James F. Biagi P. E. FL 37467

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE

DATE: 3/10/05


BUILDING OFFICIAL
Gene Simmons

JAMES F. BIAGI, P.E.
CONSULTING ENGINEER

NOTE: REFER TO PALM CITY MILLWORK DRAWING # 35056 Dated 12/16/04

Lancaster Residence, 8 Pineapple Lane, Stuart, FL -- Palm City Millwork

Wind Load for 150 MPH Exposure "C" Zone 4

Section 1606.2.2.1 of the Florida Building Code is +40.6 psf and -44.4 psf

Double 3/0 by 9/0 by 2 1/4" One Lite, Two Panel Wood Doors

Frame Anchorage $44.4 \times 54 = 2397 \#$ $2397/22.4 = 107 \#/\text{ft.}$ (142# @ 16" o.c.) Use #10 Wood Screws @ 16" o.c. Emb 1 1/4" Tap Cons @ 12" o.c. minimum Embed of 1 3/4" 290 # Shear and 290# Tension OK

Combined Stress = < 1.0 OK

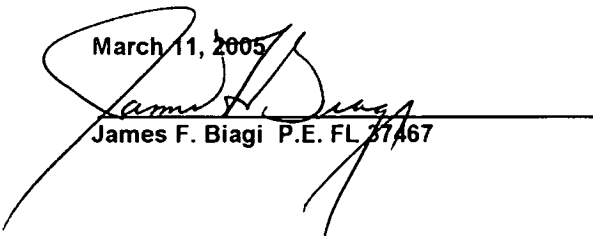
Frame V = $2397/3 = 799$ $M = 799 \times 1/4 = 199\#$ Sec. Mod = $199 \times 12/1750 = 1.36$ in. cu. req'd

Sec. Mod of 1 1/8 by 5 1/4 Jamb = 5.16 in cu OK

Stress in door = $3 \times 44.4 \times 9 \times 9/8 = 1348$ ft. lb. Stress = $1348 \times 12 \times 1.5/30.4 = 798$ psi < 1750 psi OK

Deflection - Allow .62" Actual = 133×102 to the 4th / $384 \times 1760000 \times 34.2 = .62$ " OK

March 11, 2005


James F. Biagi P.E. FL 57467



408 COLORADO AVENUE
STUART, FLORIDA 34994
561-283-2096
FAX 561-283-2770

FACSIMILE TRANSMITTAL SHEET

TO: Laura FROM: Jennifer

COMPANY: Sawells Pt. DATE: 2/10/04

FAX NUMBER: 220-4765 TOTAL NO. OF PAGES INCLUDING COVER: 2

PHONE NUMBER: 287-2455 SENDER'S REFERENCE NUMBER:

RE: Permit # 6544 YOUR REFERENCE NUMBER:

- URGENT FOR REVIEW PLEASE COMMENT PLEASE REPLY PLEASE RECYCLE

CERTIFIED GENERAL CONTRACTOR

CGC048543

"INVEST IN A MASTERPIECE"

561-283-2096 561-283-2770 FAX



January 21, 2004

Mr. Gene Simmons
Sewall's Point Building Department
1 South Sewall's Point Road
Sewall's Point, FL 34986

Re: Lancaster/Marvin Residence-8 Pineapple Lane, Lot #2

Dear Gene,

Please accept this letter as a follow up of our conversation yesterday, in lieu of removing the three (3) Sabal Palm Trees as required on the above referenced lot. We will replace three (3) new Sabal Palms at the end of construction and understand that the caliper size must be the same as the ones removed.

If you have any questions or would like to discuss this further, please do not hesitate to contact me.

Thank you,

A handwritten signature in black ink that reads 'Jeff. Bowers'.

Jeffery A. Bowers
President
Masterpiece Builders

REMODELING
RENOVATION
NEW CONSTRUCTION

CERTIFIED GENERAL CONTRACTORS
408 COLORADO AVENUE • STUART, FLORIDA 34994
(561) 283-2096 • FAX (561) 283-2770
www.masterpiecebuilders.com

STATE
CERTIFIED
Lic. No. CGC 048543



A. M. ENGINEERING AND TESTING, INC.

860 JUPITER PARK DRIVE, UNIT #1

JUPITER, FLORIDA 33458

LOCAL OFFICE: (561) 745-1060 FAX: (561) 745-0981

REPORT OF STEM WALL FOOTING COMPACTION

Client: **Masterpiece Builders**
408 Colorado Avenue
Stuart, Florida 34994

Site: **Lancaster Residence, Lot 2, Pineapple Lane,**
Sewalls Point, Martin County, Florida
Stem Wall Footing

Report Date: February 24, 2004

Project No: 1000

Report No: 30

Permit No: -----

6544

Density tests and Hand Cone Penetrometer (HCP) readings were made below footing grade to a depth of two feet at a minimum of three locations. At the time of our testing no information was available regarding the foundation setbacks. The density tests were performed in general compliance with ASTM D 2922. The HCP test, in conjunction with information about the soil type, is empirically correlated to the relative density of subsurface soils.

Density Test No.	Date Tested	Location	Elevation (feet)	Dry Density (pcf)		Percent Compaction
				In Place	Proctor	
1	02/23/04	Southeast Area	0-1	100.7	102.6	98.1
2		Northwest Area	0-1	98.4	102.6	95.9
3		Northeast Area	0-1	101.9	102.6	99.3

* All elevations are below footing grade.

In the locations and depths that were tested, the soil beneath the footings has been compacted to a minimum of 95 percent of the modified Proctor maximum dry density (ASTM D 1557).

Additional compaction tests are required for the stem wall backfill beneath the slab.

Distribution:

Client (3)
 Sewall's Point Building Dept. (1)

RGA/sc

Submitted by:

A. M. ENGINEERING AND TESTING, INC.

Rebecca Grant Ascoli, P.E.
 Florida Registration No. 51863



A. M. ENGINEERING AND TESTING, INC.

860 JUPITER PARK DRIVE, UNIT 1

JUPITER, FLORIDA 33458

LOCAL OFFICE: (561) 745-1060 FAX: (561) 745-0981

DENSITY OF SOIL IN PLACE

Client: **Masterpiece Builders**
408 Colorado Avenue
Stuart, Florida 34994

Report Date: February 2, 2004

Project No. 1000

Lab No. 29

Technician: VC/LH

Contractor:

Page: 1 of 1

Site: **Lancaster Residence, Lot 2, Pineapple Lane, Sewalls**
Point, Martin County, Florida

Test No.	Date Tested	Location	Elevation (ft)	Field Test Results				Proctor Max Dry Density (pcf)	% Compaction		Pass/Fail
				HCP	H ₂ O (%)	Dry Density (pcf)	Probe Depth (in)		In Place	Min Req'd	
1	1/28/04	Main House Northwest Area	0-1	55		102.3		104.9	97.5	95	P
2		"	1-2	52					95+	95	P
3		Main House Southeast Area	0-1	70+		104.2		104.9	99.3	95	P
4		"	1-2	50					95+	95	P
5		Detached Garage Area	0-1	59		102.7		104.9	97.9	95	P
		"	1-2	50					95+	95	P

Remarks:

- All elevations are below stripped surface.
- The field density tests were performed in general compliance with ASTM D 2922, Density of Soil in Place by Nuclear Methods.
- The Hand Cone Penetrometer (HCP) test, in conjunction with information about the soil type, is empirically correlated to the relative density of subsurface soils.
- The laboratory Proctor maximum dry density was determined in accordance with ASTM D-1557.

Distribution:

Client (3)

RGA/sc

Reviewed by:

A. M. ENGINEERING AND TESTING, INC.

Rebecca Grant Ascoli, P.E.

Florida Registration No. 51865



A. M. ENGINEERING AND TESTING, INC.

860 JUPITER PARK DRIVE, UNIT #1

JUPITER, FLORIDA 33458

LOCAL OFFICE: (561) 745-1060 FAX: (561) 745-0981

REPORT OF STEM WALL BACKFILL COMPACTION

Client: Masterpiece Builders
408 Colorado Avenue
Stuart, Florida 34994

Report Date: March 30, 2004

Project No: 1000

Report No: 31

Site: Lot 2, 8 Pineapple Lane, Sewalls Point,
Martin County, Florida
Stem Wall Backfill (Slab Area)

Permit No: ---

Density tests and Hand Cone Penetrometer (HCP) readings were made in the stem wall backfill (slab area) to a depth of two feet at a minimum of three locations. At the time of our testing no information was available regarding the foundation setbacks. The density tests were performed in general compliance with ASTM D 2922. The HCP test, in conjunction with information about the soil type, is empirically correlated to the relative density of subsurface soils.

Density Test No.	Date Tested	Location	Elevation (feet)	Dry Density (pcf)		Percent Compaction
				In Place	Proctor	
1	03/25/04	Southwest Area	0-1	104.8	107.8	97.2
2		Center Area	0-1	103.8	107.8	96.3
3		Northeast Area	0-1	105.0	107.8	97.4

* All elevations are below slab grade.

In the locations and depths that were tested, the stem wall backfill (slab area) has been compacted to a minimum of 95 percent of the modified Proctor maximum dry density (ASTM D 1557). The soil borings were performed below the recently placed fill.

Distribution:

Client (3)

RGA/sc

Submitted by:

A. M. ENGINEERING AND TESTING, INC.

Rebecca Grant Ascoli, P.E.

Florida Registration No. 51863

16" x 16" CONC. BLK. COL. W/
4 #5 BARS VERT. IN FILLED CELLS
ON 42"x42"x1' CONC. PAD FTG.
W/ #5 BARS @ 6" O.C. E.W.

2" THK'D.
SE W/ 1 #5 BAR CONT.

SLOPE DN.
14'8"

12'8"

4'9"
" B.F.F.

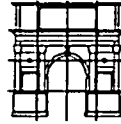
0'0" FF.

14" d x 28" w CONC. SPREAD FTG.
W/ 3 #5 BARS CONT. (2-STORY FTG.)
TOP OF FTG. 16" B.F.G. MIN.

14" d x 60" w (varies) CONC. SPREAD FTG.
W/ 3 #5 BARS CONT. BELOW WALL & ADD
2 #5 BARS CONT. ACCROSS FROM ADJACENT FTGS.

1' (2500 PSI) CONC. SLAB W/ 6x6 10/10 WWF
N 6 MIL. POLY VAPOR BARRIER
N WELL COMPACTED TERMITE TREATED
LEAN FILL

W.A.C.H.



Permit # 6544
M.A. CORSON & ASSOCIATES, INC.
ARCHITECTURE • STRUCTURAL DESIGN
800 B. Ocean Blvd. Suite C. Stuart, FL. 34994
(772) 223-8227 - Fax 223-8234

REV. 2/25/04

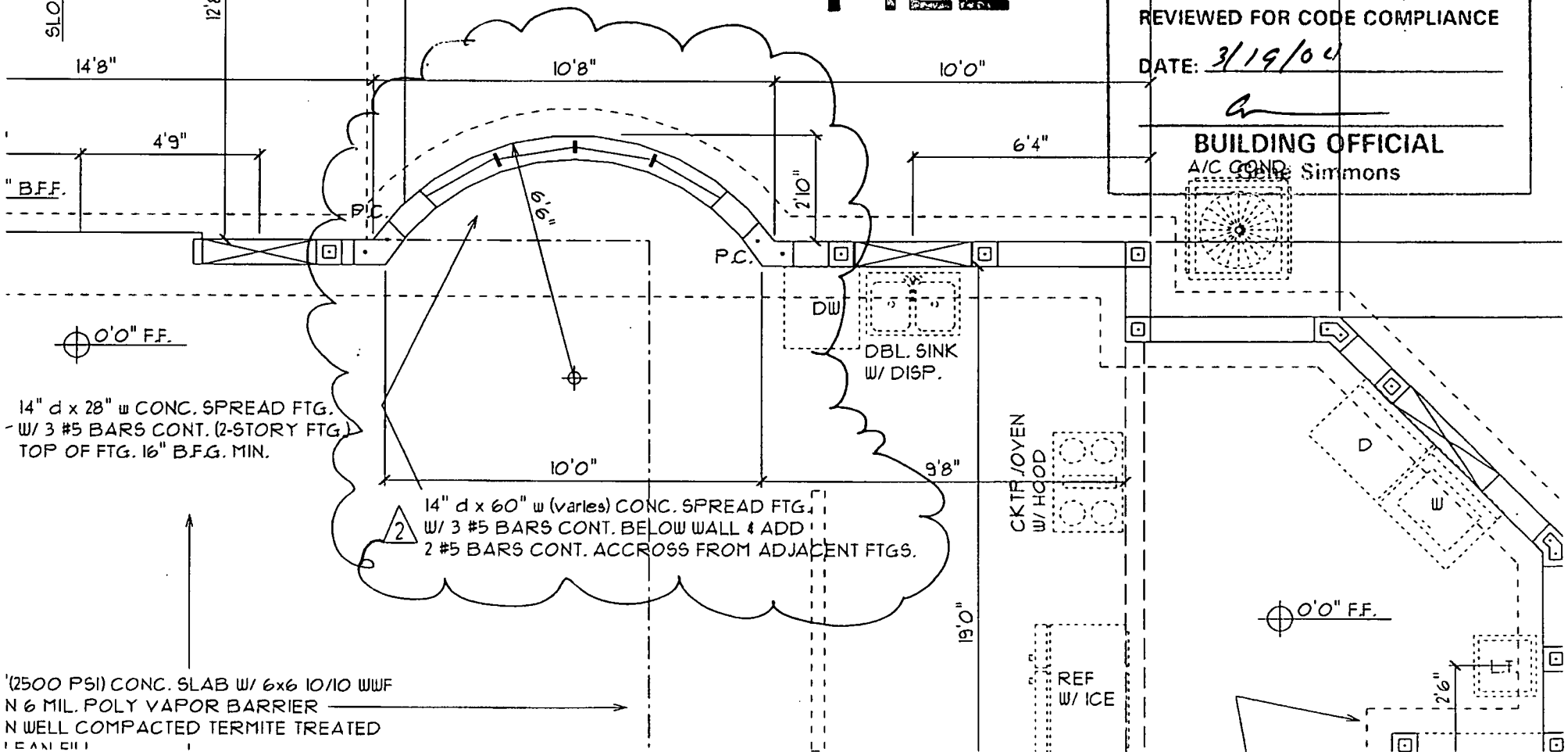
LAUCASTER / MARVIN RESIDENCE
LOT #2 PINEAPPLE LAKE

FILE

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 3/19/04

BUILDING OFFICIAL
A/C COND. Simmons

RECEIVED
MAR 18 2004
BY:



TOWN OF SEWALL'S POINT
Building Department
One South Sewall's Point Road
Sewall's Point, Florida 34996

FILE

POWER RELEASE AGREEMENT: PN: _____

(To be submitted at final electrical inspection in order to turn on electric service)

Owner: Norwood Lancaster Address: 8 Pineapple Lane
Project Address: _____ Legal: Lot: 2 Block: _____ Subdivision: Pineapple Lane
General Contractor: Masterpiece Builders Lic/Cert. No.: CGC048543
Address: 408 Colorado Ave. Stuart Tel: 283-2096 Fax: 283-2770
Electrical Contractor: Forward Electric Lic/Cert. No.: EC0001472
Address: 4437 SW Port Way Palm City Tel: 221-1660 Fax: 221-3180

WHEREAS, pursuant to the provisions of, and governed by the National Electrical Code and Ordinances of the Town of Sewall's Point, electric hook-up for use during building operations and for testing purposes under a valid building permit is authorized under prescribed terms and conditions; and,

WHEREAS, the above named responsible persons, firms or corporations have requested an electrical hook-up of _____ for the purpose of _____ at the above designated construction now in progress under a valid building permit; and equipment and completion of building operations as herein above described.

NOW THEREFORE IT IS AGREED BY AND BETWEEN THE PARTIES THAT:

1. The parties to this agreement are Gene Simmons, Building Official, Town of Sewall's point, and the above named responsible persons, firms, corporations.
2. In order to allow electrical service to be provided to certain equipment being placed at the referenced construction address the Building Official hereby agrees to grant an electrical hook-up permit.
3. This electrical hook-up will be revoked or a Certificate of Occupancy will be issued to verify completion.
4. The electric hook-up is solely for the purposes stated. No furniture or occupants will be moved into the building until a Certificate of Occupancy is issued.

IN WITNESS WHEREOF the parties have caused this agreement to be executed this _____ day of _____, 200_____.

Jeff Bruners
SIGNATURE OF GENERAL CONTRACTOR

Gene Simmons
SIGNATURE OF ELECTRICAL CONTRACTOR

Norwood Lancaster
SIGNATURE OF OWNER

GENE SIMMONS, BUILDING OFFICIAL

Danet



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**Rotan Mahogany Millwork, Inc.
2525 SW 3rd Avenue
Miami, Fl 33129**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Roatan Outswing Mahogany Door

APPROVAL DOCUMENT: Drawing No. 02-5522r1, titled "Mahogany Swing-Out Door", sheets 1 through 7, prepared, signed and sealed by Pedro De Figueiredo, P.E., dated 6/28/02, bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of this page 1 as well as approval document mentioned above.

The submitted documentation was reviewed by **Theodore Berman, P.E.**



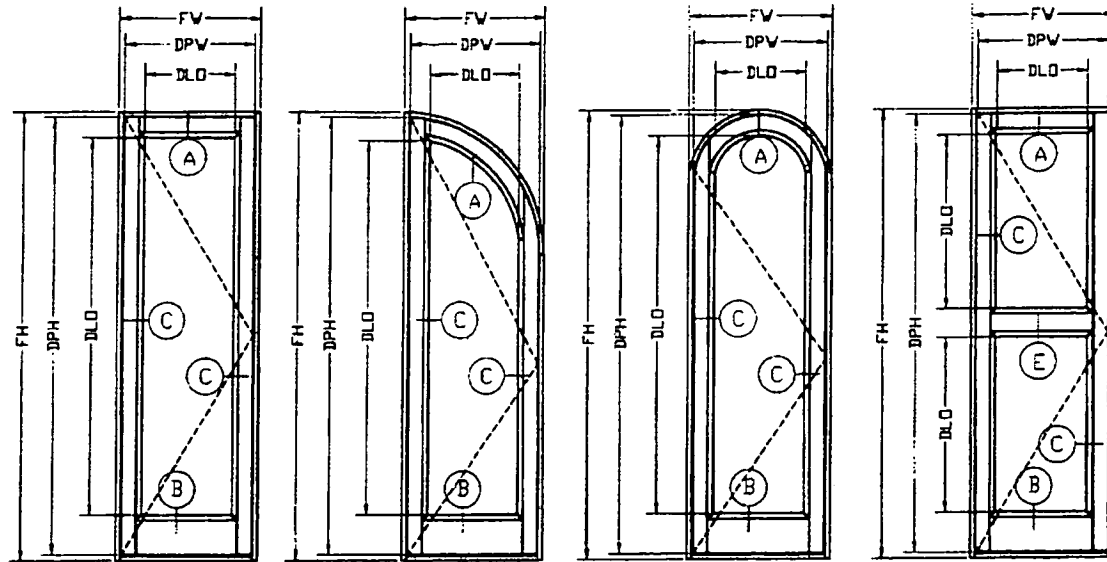
**NOA No 02-0510.04
Expiration Date: August 8, 2007
Approval Date: August 8, 2002
Page 1**

TYPICAL SINGLE ELEVATIONS

DESIGNED PRESSURE RATING
Pd = ± 75 PSF

MAXIMUM FRAME SIZES
FINISHED WIDTH: FW = 39 1/2"
FINISHED HEIGHT: FH = 123"

MAXIMUM CLADDING SIZES
1/2" GLASLAM SAFETY-PLUS IMPACT GLASS
DLO: 25 3/4" X 103 1/2"
1 1/2" MAHOGANY SOLID WOOD PANEL
DLO: 25 3/4" X 103 1/2"



TYPE 1 SQUARE CONFIGURATION
TYPE 2 1/2 ARCH CONFIGURATION
TYPE 3 FULL ARCH CONFIGURATION
TYPE 4 LITE WITH SPLIT PANEL CONFIGURATION

MANUFACTURER:
Roatan Mahogany Millwork Inc
2525 SW 3rd Ave.
Suite 210
MIAMI FLORIDA 33129
Tel.: (305) 858-0053

PRODUCT:
MAHOGANY SWING-OUT DOOR

Engineering:
EngCo Inc.
CA 8118
6971 W. Sunrise Blvd. 104
Plantation, FL 33315
Tel.: (954) 585-0304

GENERAL NOTES:

- 1- DEFINITION: THIS PRODUCT IS A SWING-OUT MAHOGANY DOOR, DESIGNED, CONTRACTED AND ERRECTED TO ENCLOSE AN AREA, PROVIDING PROTECTION FROM HURRICANE FORCE WINDS WITHIN THE ALLOWABLE DESIGNED PRESSURES AND LIMITATIONS STATED IN THIS APPROVAL.
- 2- CODE: THIS PRODUCT HAS BEEN TESTED AND DESIGNED IN ACCORDANCE WITH THE 2001 FLORIDA BUILDING CODE, HIGH VELOCITY ZONES.
- 3- POSTING: A PERMANENT LEGIBLE DECAL SHALL BE PLACED AT A READILY VISIBLE LOCATION STATING THE FOLLOWING:
 *ROATAN MAHOGANY MILLWORK INC - MIAMI - FLORIDA
 LARGE MISSILE IMPACT RESISTANT
 ROATAN SWING-OUT DOOR
 DADE COUNTY APPROVED*
- 4- LOADS: DESIGNED LOAD BASED ON THE ASCE 7-98. LOADS ARE TO BE PROVIDED BY A PROFESSIONAL ARCHITECT OR ENGINEER FOR EACH SPECIFIC PROJECT. THE CALCULATED DESIGNED PRESSURE MUST NOT EXCEED THE ALLOWABLE DESIGNED PRESSURE RATING.

5- MATERIAL: ALL WOOD MATERIAL TO BE FABRICATED FROM KILN DRIED MAHOGANY.

6- FASTENERS: ASSEMBLY SCREWS AND ANCHORS SHALL BE AS SPECIFIED IN THE CURRENT SET OF DRAWINGS. INSTALLATION AND LOADS AS PER THIS APPROVAL.

7- USE: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, ARCHITECT OR ENGINEER OF RECORD TO VERIFY THE FOLLOWING:

- 7.1- THE STABILITY OF THE STRUCTURE WHERE THE SHUTTER IS TO BE ATTACHED INSURING PROPER ANCHORAGE.
- 7.2- THE SITE SPECIFIC PROJECT CRITERIA, SUCH AS BUT NOT LIMITED TO, WIND LOADS, LOCAL CODE REQUIREMENTS, DESIGNED PRESSURES ETC.
- 7.3- THAT THIS APPROVAL IS ADEQUATE TO THE SPECIFIC PROJECT.

8- DISCLAIMER: ENCO INC. HAS NO CONTROL IN THE MANUFACTURING AND/OR PERFORMANCE OF THIS PRODUCT. THESE GENERIC PLANS WERE ENGINEERED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES AND TEST DATA PROVIDED BY THE MANUFACTURER.

BILL OF MATERIALS			
ITEM#	DESCRIPTION	SIZE	REMARKS
D1	BOTTOM RAIL	2.25" X 10"	MAHOGANY WOOD
D2	TOP RAIL & STILES	2.25" X 4.75"	MAHOGANY WOOD
D3	EXTERIOR MOLDING	1.50" X 1.25"	MAHOGANY WOOD
D4	INTERIOR MOLDING	1.50" X 1.375"	MAHOGANY WOOD
D5	MID RAIL	2.25" X 6.25"	MAHOGANY WOOD
GL1	IMPACT GLASS	1/2" ANNEAL	NDA 800-0524.06
GL2	SOLID PANEL	1.75" THICK	MAHOGANY WOOD
F1	JAMB AND HEADER	1.75" X 5.50"	MAHOGANY WOOD
F2	SILL	1.875" X 6.50"	MAHOGANY WOOD
G1	BOTTOM RAIL GASKET	2.25" X 0.5"	PERKO WOODS VINYL
G2	FRAME SEAL	0.65" X 0.58"	SCHIEGEL RDS 650

Approved as complying with the Florida Building Code
Date: JUN 28 2002
NAME: Pedro De Figueroa
Miami Dade Permit Control
Division: *Pedro De Figueroa*

[Signature]
JUN 28 2002
Engineer Seal
Pedro De Figueroa
PE 52809

Date: 06/24/02
Scale: NA
Design by: PPMF

Revision:

Drawing Number
02-522r1

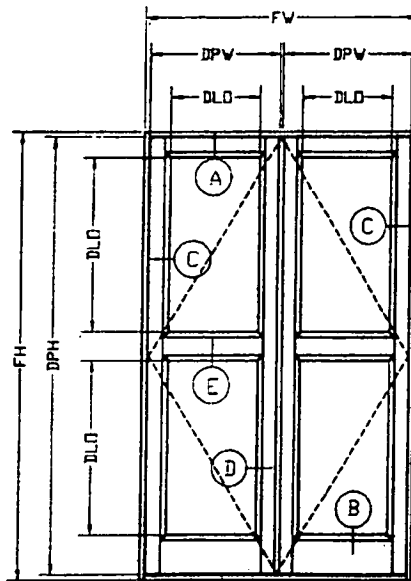
Sheet
1 of 7

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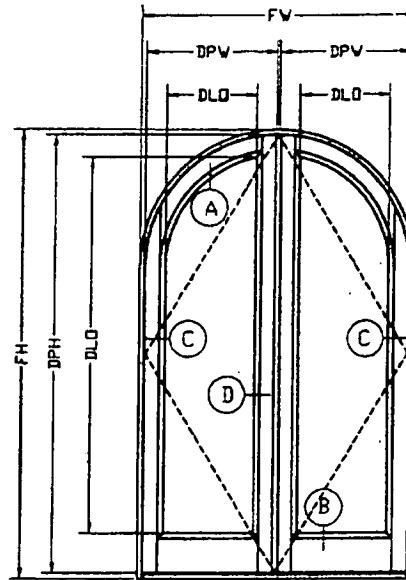
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 FINISHED HEIGHT: FH= 123"

MAXIMUM CLADDING SIZES
 1/2" GLASLAM SAFETY-PLUS IMPACT GLASS
 DLO: 25" X 103 3/4"
 1 1/2" MAHOGANY SOLID WOOD PANEL
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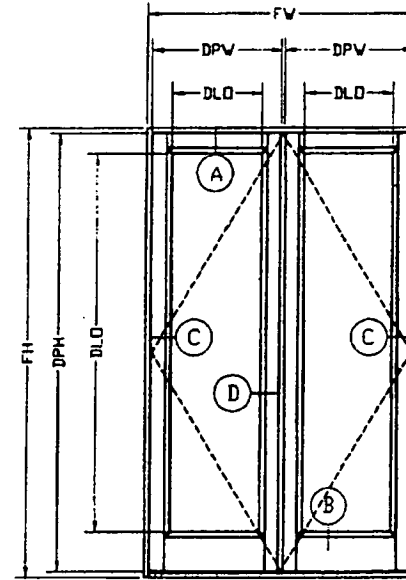
TYPICAL PAIR ELEVATIONS



TYPE 5
 SPLIT PANEL CONFIGURATION



TYPE 6
 ARCH CONFIGURATION



TYPE 7
 SQUARE CONFIGURATION

MANUFACTURER:
Roatan Mahogany Millwork Inc
 2525 SW 3rd Ave.
 Suite 210
 MIAMI FLORIDA 33129
 Tel.: (305) 858-0053

PRODUCT:
MAHOGANY SWING-OUT DOOR

Engineering:
EngCo Inc.
 CA 8118
 6971 W. Sunrise Blvd. 104
 Plantation, FL 33313
 Tel.: (954) 585-0304



JUN 28 2002
 Engineer Seal
 Pedro De Figueredo
 PE 52809

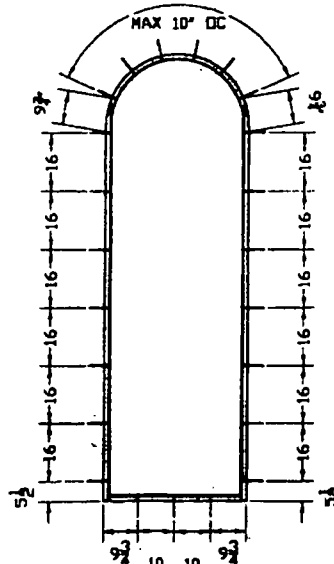
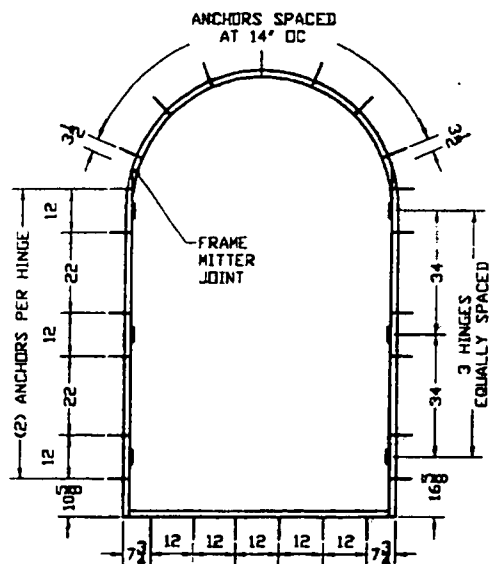
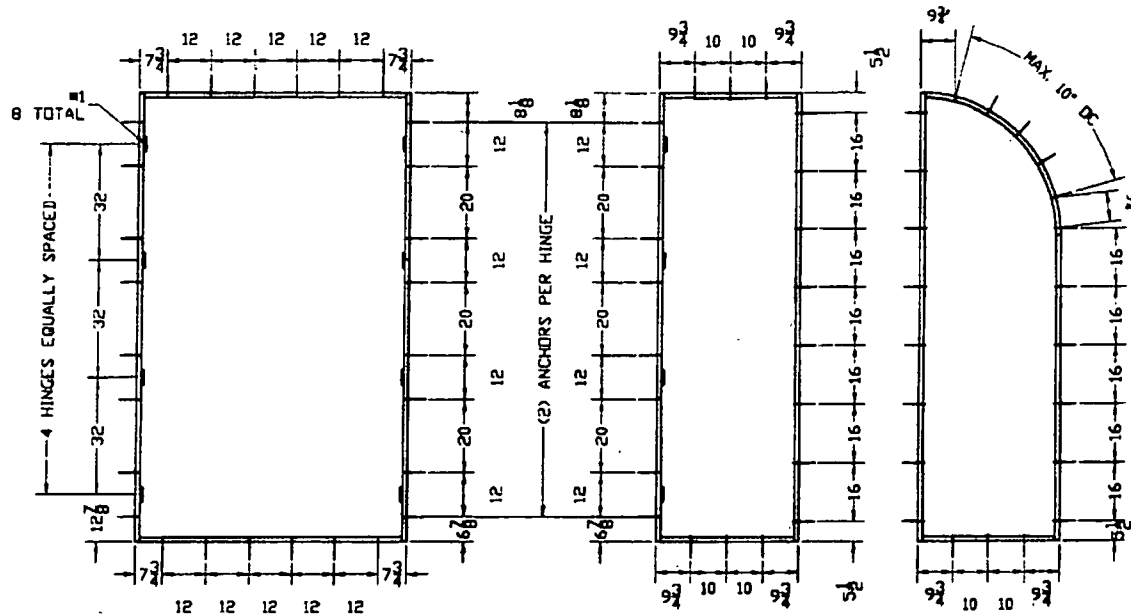
Date: 06/24/02
 Scale: NA
 Design by: PPMF

Revision:

Drawing Number
 02-522r1

Sheet
 2 of 7

Approved as complying with the Florida Building Code
 Date: 06/24/02
 Initials: PPMF
 Signature: *[Handwritten Signature]*



TYPICAL ANCHORAGE LAY-OUT
(SEE SHEET 6 OF 7 FOR ANCHOR DETAILS)

Approved in accordance with the
Florida Building Code
Date: April 8, 2002
WOM: PPMF
Checked: [Signature]
By: [Signature]

MANUFACTURER:
Roatan Mahogany Millwork Inc
2525 SW 3rd Ave.
Suite 210
MIAMI FLORIDA 33129
Tel.: (305) 858-0053

PRODUCT:
MAHOGANY SWING-OUT DOOR

Engineering:
EngCo Inc.
CA 6116
6971 W. Sunrise Blvd. 104
Plantation, FL 33313
Tel.: (954) 585-0304



JUN 28 2002

Engineer Seal
Pedro De Figueredo
PE 32809

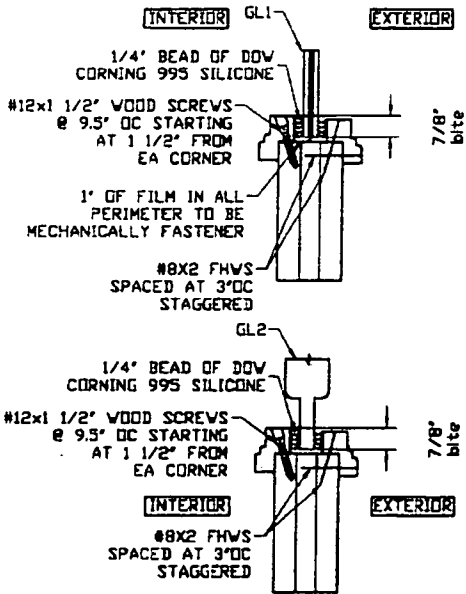
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Design by: PPMF

Revision:

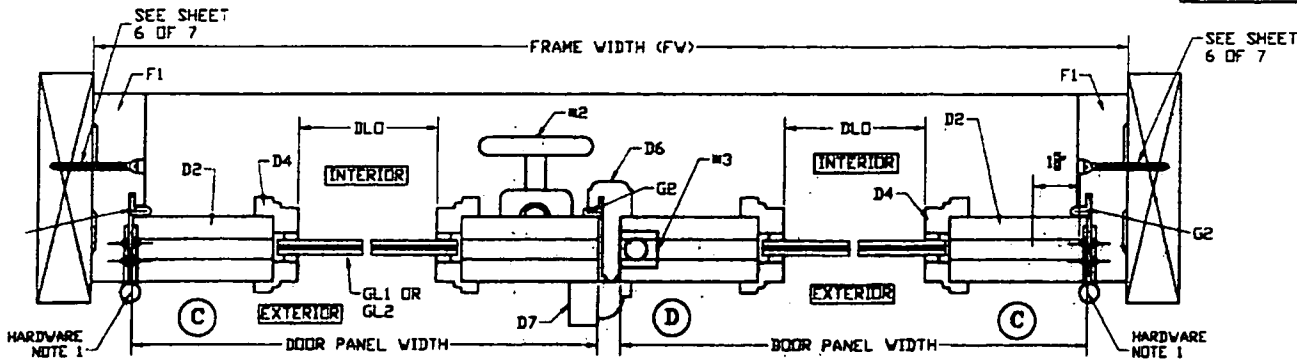
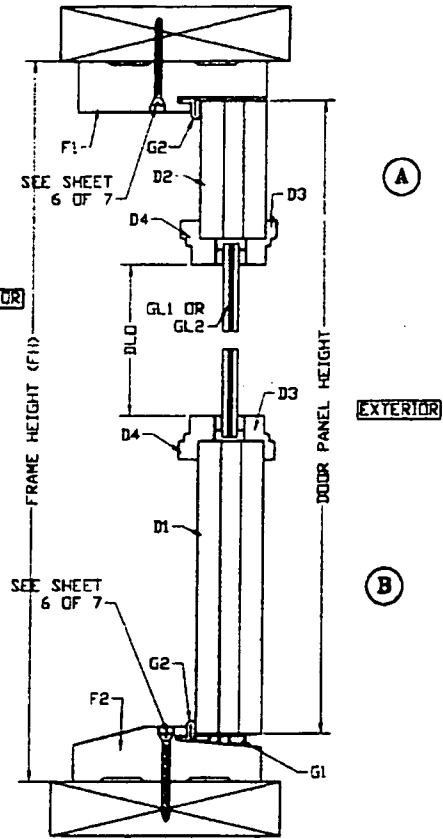
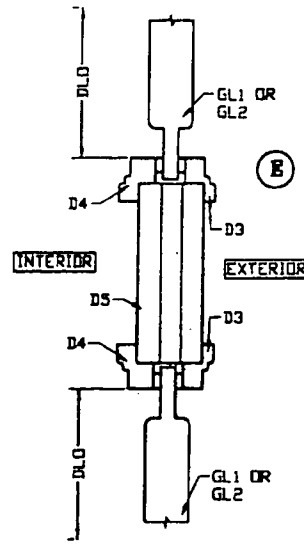
Drawing Number
02-522r1

Sheet
3 of 7

CLADDING OPTIONS



TYPICAL SECTIONS



Approved as complying with the Florida Building Code
 State of Florida, 2002
 RDM 02-522r1
 without Daily Product Control
 Date: 6/24/02
 By: [Signature]

MANUFACTURER:
Roatan Mahogany Millwork Inc
 2525 SW 3rd Ave.
 Suite 210
 MIAMI FLORIDA 33129
 Tel.: (305) 858-0053

PRODUCT:
MAHOGANY SWING-OUT DOOR

Engineering:
EngCo Inc.
 CA 8118
 6971 W. Sunrise Blvd. 104
 Plantation, FL 33313
 Tel.: (954) 585-0304

JUN 28 2002

Engineer Seal
 Pedro De Figueiredo
 PE 52609

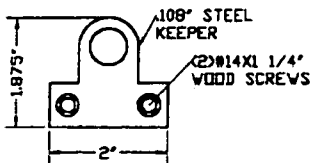
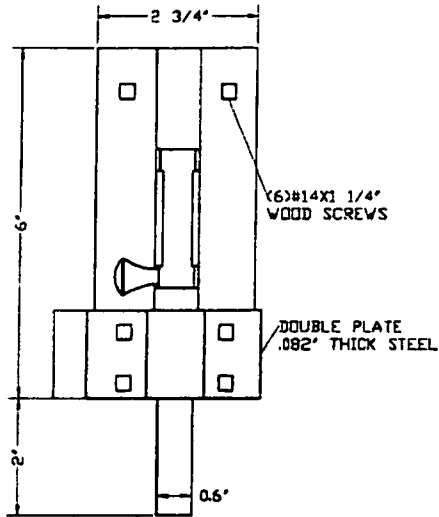
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 Scale: 1:1/4 & 3/8
 Design by: PPMF

Revision:

Drawing Number
02-522r1

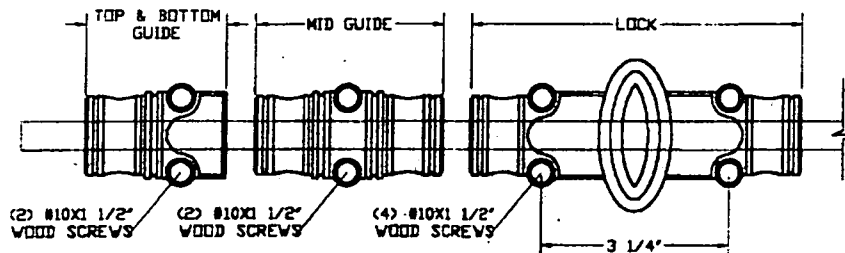
Sheet
 4 of 7

NATIONAL .60" DIAM. THROW BOLT

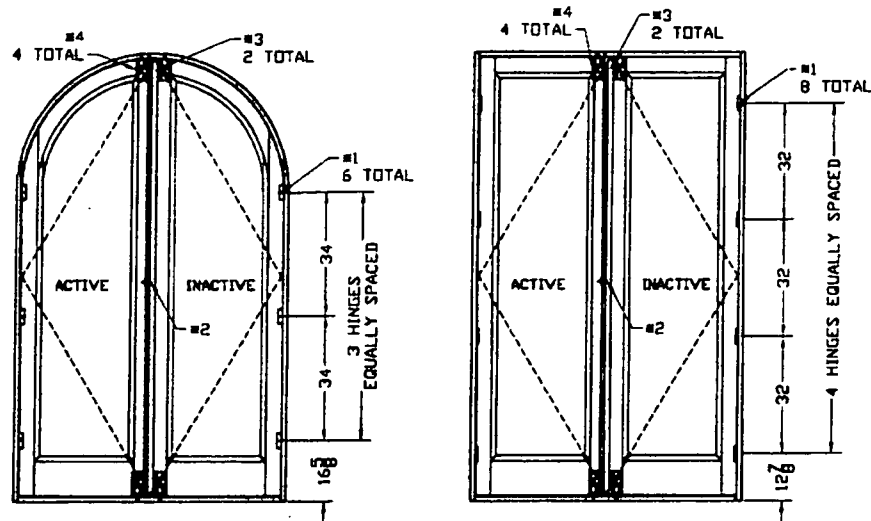


ARDIMPEX THREE POINT CREMONES

SAME DETAIL TOP AND BOTTOM



HARDWARE LAY-OUT



* HARDWARE

- 1- 4 1/2" x 4 1/2" x .138 HAGER 1279 HINGES SPACED AS PER ELEVATIONS ABOVE AND CONNECTED WITH (8) #12 x 1 1/4" FH SMS. (SQUARE DOOR, 4 PER LEAF AND ARCH DOOR, 3 PER LEAF)
- 2- ARDIMPEX THREE POINT CREMONES ON ACTIVE LEAF FASTENED WITH (12) #10 x 1 1/2" FH SMS.
- 3- HARROW PRODUCTS INC. FLUSH BOLTS 2980 UL LISTED TOP AND BOTTOM OF INACTIVE LEAF.
- 4- SECONDARY LOCKS (ACTIVATE ONLY WHEN HURRICANE FORCE WINDS ARE EXPECTED) - NATIONAL 0.80 DIA THROW BOLT ANCHORED WITH (6) #14 x 1/4" ON ACTIVE AND INACTIVE DOORS TOP AND BOTTOM RAILS.

Approved as complying with the Florida Building Code
 Date: 6/24/02
 Drawn: PPMF
 PPMF
 02-5221-01
 Pedro De Figueredo
 PE 52809

MANUFACTURER:
Roatan Mahogany Millwork Inc
 2525 SW 3rd Ave.
 Suite 210
 MIAMI FLORIDA 33129
 Tel.: (305) 858-0053

PRODUCT:
MAHOGANY SWING-OUT DOOR

Engineering:
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 8971 W. Sunrise Blvd. 104
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JUN 28 2002
 Engineer Seal
 Pedro De Figueredo
 PE 52809

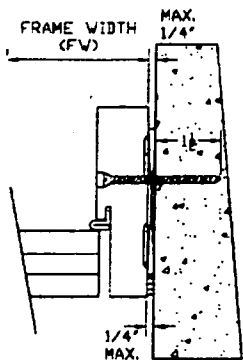
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 Scale: NA
 Design by: PPMF

Revision:

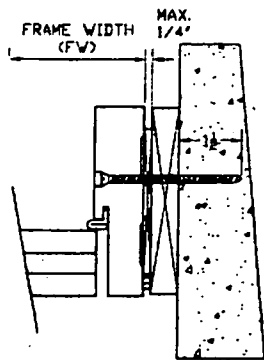
Drawing Number
 02-5221-01

Sheet
 5 of 7

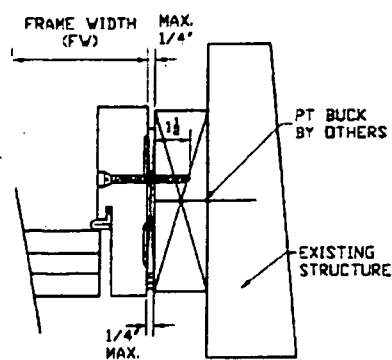
FRAMING ANCHORAGE DETAILS



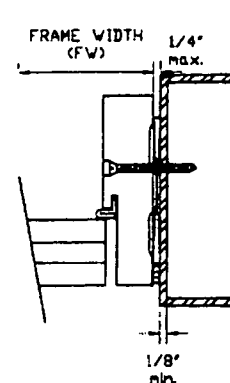
OPTION 1
 FRAME WITH MAXIMUM 1/4" PT WOOD SHIM
 1/4" TAPCONS BY ELCO WITH 1 1/2" MIN.
 EMBEDMENT INTO 3320 PSI CONCRETE
 (SEE SHEET 3 OF 7 FOR ANCHORS LAY-OUT)



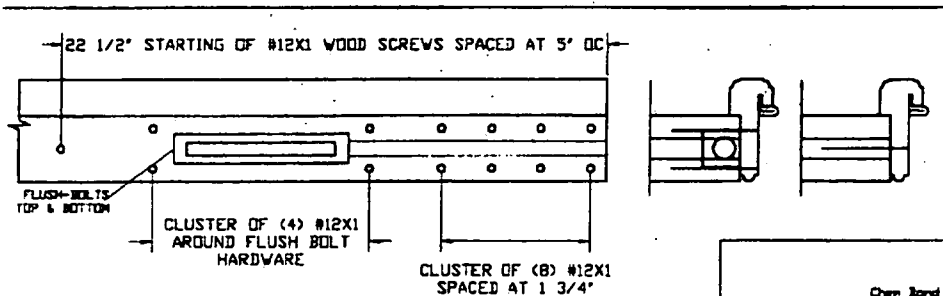
OPTION 2
 FRAME WITH MAXIMUM 1/4" PT WOOD SHIM
 AND 1" X PT CONT. WOOD SPACER
 1/4" TAPCONS BY ELCO WITH 1 1/2" MIN.
 EMBEDMENT INTO 3320 PSI CONCRETE
 (SEE SHEET 3 OF 7 FOR ANCHORS LAY-OUT)



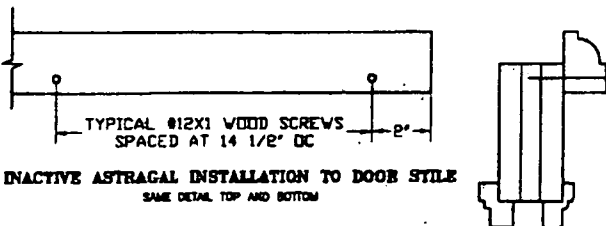
OPTION 3
 FRAME WITH MAXIMUM 1/4" PT WOOD SHIM
 AND 2" X PT CONT. WOOD BUCK BY OTHERS
 814 SS WOOD SCREWS WITH 1 1/2" MIN.
 EMBEDMENT INTO WOOD (SG-55)
 (SEE SHEET 3 OF 7 FOR ANCHORS LAY-OUT)



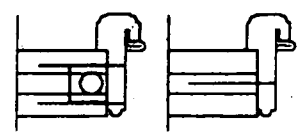
OPTION 4
 FRAME WITH MAXIMUM 1/4" PT WOOD SHIM
 1/4" - 20 HIGH DRILFLEX SELF DRILLING
 SCREWS INTO MIN. 1/8" A36 STEEL
 (SEE SHEET 3 OF 7 FOR ANCHORS LAY-OUT)



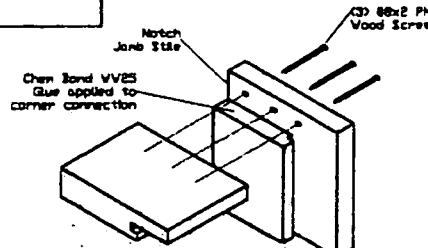
ACTIVE ASTRAGAL INSTALLATION TO DOOR STILE
 SAME DETAIL TOP AND BOTTOM



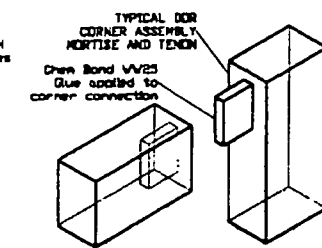
INACTIVE ASTRAGAL INSTALLATION TO DOOR STILE
 SAME DETAIL TOP AND BOTTOM



TYPICAL CORNER FRAMING CONSTRUCTION



TYPICAL DOOR CORNER CONSTRUCTION



NOTE AFTER FRAMING ASSEMBLY
 ALL JOINTS ARE TO BE SEALED
 WITH 100% 995 SILICONE.

FRAME AND DOOR ASSEMBLY

Approved as complying with the
 Florida Building Code
 Date: 06/24/02 By: PPMF
 MDM 06-07-10-11
 Miami-Dade Building Official
 Division
 By: *[Signature]*

MANUFACTURER:
Roatan Mahogany Millwork Inc
 2525 SW 3rd Ave.
 Suite 210
 MIAMI FLORIDA 33129
 Tel.: (305) 858-0053

PRODUCT:
MAHOGANY SWING-OUT DOOR

Engineering:
EngCo Inc.

CA 6116
 8971 W. Sunrise Blvd. 104
 Plantation, FL 33313
 Tel.: (954) 585-0304



JUN 28 2002
 Engineer Seal
 Pedro De Figueredo
 PE 52809

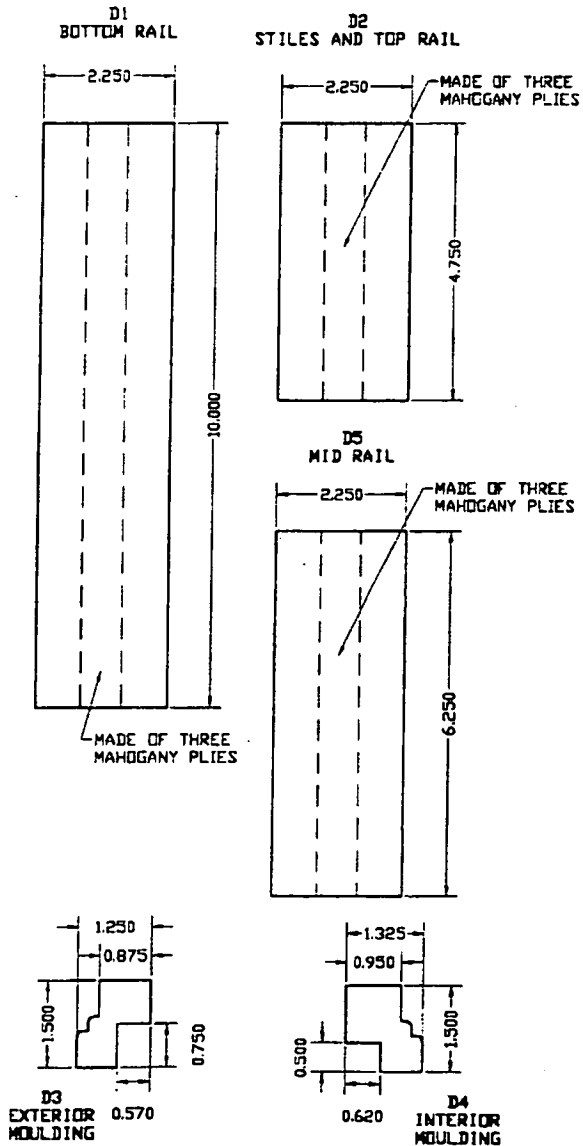
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 Scale: NA
 Design by: PPMF

Revision:

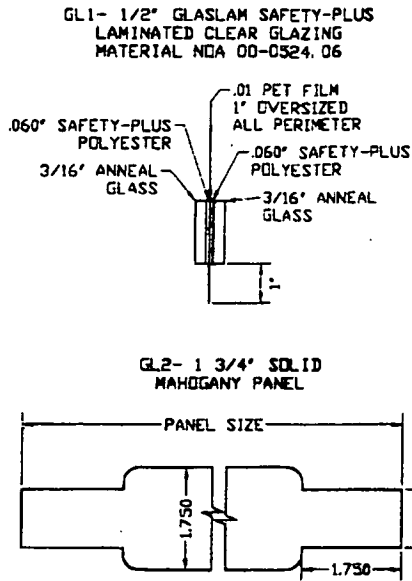
Drawing Number
02-522r1

Sheet
6 of 7

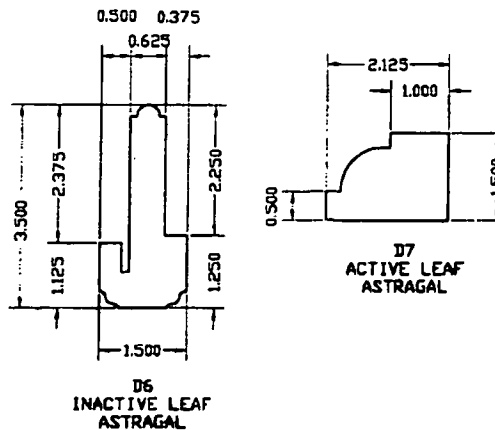
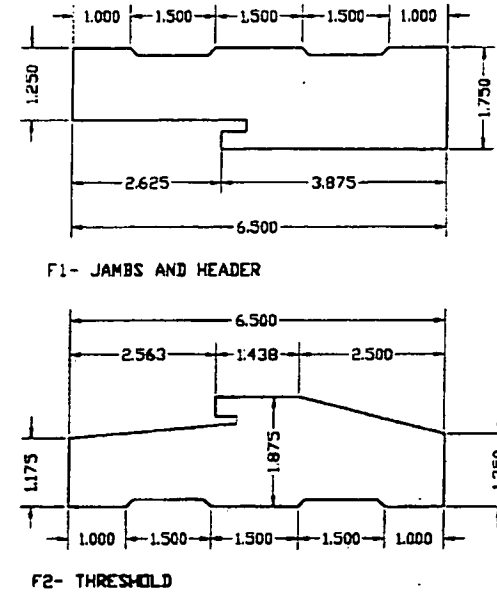
DOOR PARTS



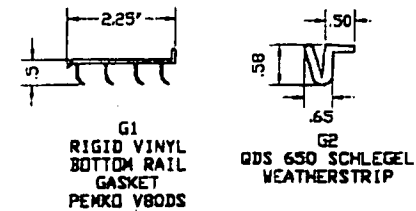
DOOR CLADDING



FRAME PARTS



GASKETS



Approved as complying with the Florida Building Code
Date: August 1, 2002
NDA: 00-0524.06
Miami-Dade County Building Department
Division of Building Control
By: *[Signature]*

MANUFACTURER:
Roatan Mahogany Millwork Inc
2525 SW 3rd Ave. Suite 210
MIAMI FLORIDA 33129
Tel.: (305) 858-0053

PRODUCT:
MAHOGANY SWING-OUT DOOR

Engineering:
EngCo Inc.
CA 8116
6971 W. Sunrise Blvd. 104
Plantation, FL 33313
Tel.: (954) 585-0304



JUN 28 2002
Engineer Seal
Pedro De Figueredo
PE 32809

Date: 6/24/02
Scale: 1:1/2
Design by: PPMF

Revision:

Drawing Number
02-522r1

Sheet
7 of 7



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**Amarr Garage Doors.
5931 Grassy Creek Blvd.
Winston-Salem, N.C. 27105**

SCOPE: This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (in Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Sectional Garage Door 9'-0" Wide. *see pg. 3*

APPROVAL DOCUMENT: Drawing No. SFC-590-006, titled "Model # 950 Heritage III Short Panel and Flush", dated 04/30/96 with last revision on 05/15/00, sheets 1 & 2 of 1, prepared by Amarr Garage Doors, signed and sealed by T. L. Shelmerdine, P.E., bearing the Miami-Dade County Product Control Renewal stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

LIMITATION: This approval requires the manufacturer to do testing of all coils used to fabricate door panels under this Notice of Acceptance. A minimum of 2 specimens shall be cut from each coil and tensile tested according to ASTM E-8 by a Dade County approved laboratory selected and paid by the manufacturer. Every 3 months, four times a year, the manufacturer shall mail to this office: a copy of the tested reports with confirmation that the specimen were selected from coils at the manufacturer production facilities. And a notarized statement from the manufacturer that only coils with yield strength of 28000 psi or more shall be used to make door panels for Dade County under this Notice of Acceptance

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 00-0614.05 consists of this page 1 as well as the approval document mentioned above.

The submitted documentation was reviewed by *Candido F. Font PE.*

[Signature]
08/07/03



**NOA No 03-0409.01
Expiration Date: August 14, 2008
Approval Date: August 7, 2003
Page 1**

Amarr Garage Doors.

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

(For File ONLY. Not part of NOA)

A. DRAWINGS

1. *Drawing prepared by Amarr Garage Doors. titled "Model # 950 Heritage III Short Panel and Flush", Drawing No.SFC-590-006, dated 04/30/96, with last revision on 05/15/00, sheets 1& 2 of 2, signed and sealed by T. L. Shelmerdine, PE.*

B. TESTS

1. *Test report of large missile impact test per PA 201, cyclic wind pressure test per PA 203 and uniform static air pressure test per PA 202 on "9' x 7' Heritage III Door", prepared by American Test Lab of South Florida. report No. ATL 0506.011-96R, dated 06/10/96, revised on 09/23/96, signed and sealed by G. B. Sullivan, PE.*

C. CALCULATIONS

1. *Calculations dated 06/05/96; pages 1, prepared by Structural Solutions, PA, signed and sealed by T. L. Shelmerdine, PE.*

D. MATERIAL CERTIFICATIONS

1. *Tensile test report No. CTL674B, prepared by Certified Testing Laboratories. dated 08/13/96, signed and sealed by R. Patel, PE.*
2. *Salt Spray Exposure test report No. AMR-1, prepared by Sub-Tropical Testing Service, dated 04/06/97, signed and sealed by M. Mosbat, PE.*

E. STATEMENTS.

1. *Affidavit of minimum yield strength compliance prepared by Amarr Garage Doors, signed by D. J. Philipot and notarized by D. A. Waters on 05/26/99.*
3. *Affidavit of no financial interest prepared by Structural Solutions, PA. dated 07/19/96, signed by T. L. Shelmerdine, PE. and notarized by M. Osborne.*
4. *Letter of code compliance prepared by Structural Solutions, PA. on 08/16/96, signed and sealed by T. L. Shelmerdine, PE.*
5. *No change letter issued by Amarr Garage Doors on 04/07/03 and signed by D. Joyner.*



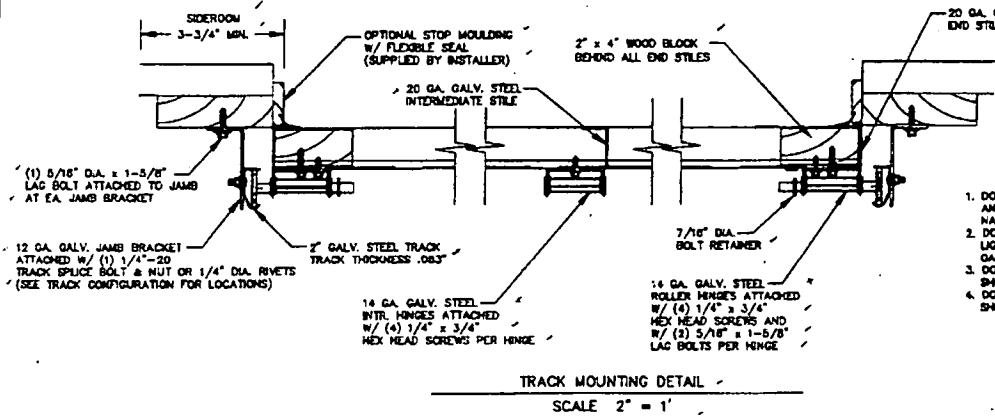
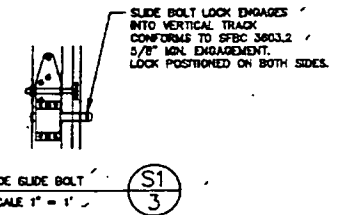
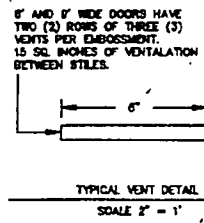
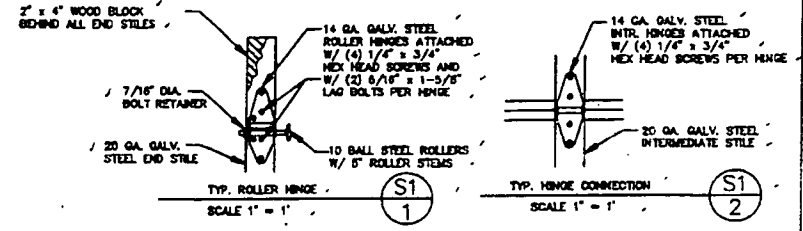
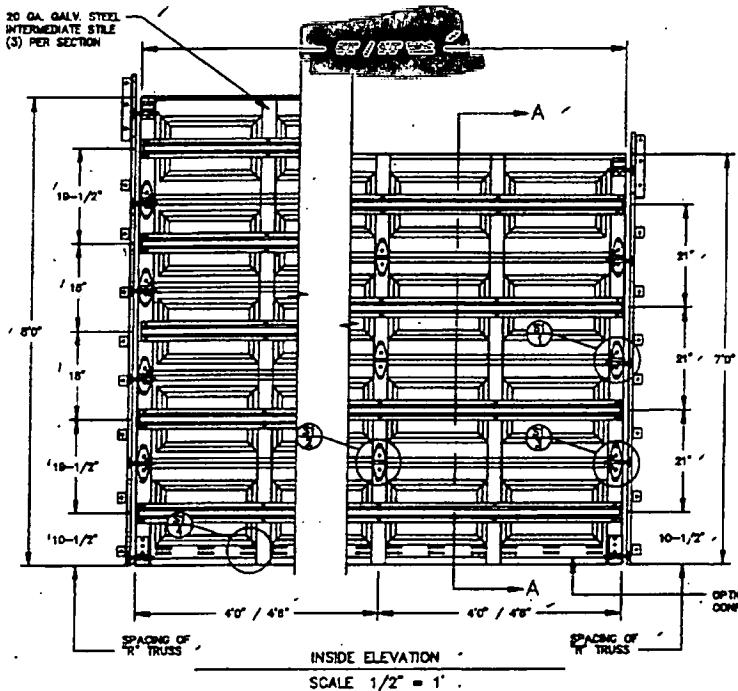
Candido F. Font, PE.

Senior Product Control Division

NOA No 03-0409.01

Expiration Date: August 14, 2008

Approval Date: August 7, 2003



- SPECIFICATIONS AND NOTES
- DOORS AND HARDWARE WILL BE DESIGNED, MANUFACTURED AND INSTALLED WITH STANDARDS AS SET FORTH BY THE NATIONAL ASSOCIATION OF GARAGE DOOR MANUFACTURERS.
 - DOOR SECTIONS SHALL BE 34 GA. (.024") ROLL FORMED LIGHT COMMERCIAL QUALITY, MIN. YIELD 26 KSI W/ G-40 GALVANIZATION WITH BAKED ON POLYESTER FINISH.
 - DOORS UP TO 7'0" HIGH CONSIST OF (4) SECTIONS AS SHOWN. USE (1) 3-5/8" "R" TRUSS PER SECTION.
 - DOORS UP TO 8'0" HIGH CONSIST OF (5) SECTIONS AS SHOWN. USE (1) 3-5/8" "R" TRUSS PER SECTION.

PRODUCT REVIEWED
 in compliance with the Florida
 Building Code
 Approved By
 03-0407-01
 08/18/21
 Robert Dale Product Control
 Division

MAX. SIZE	9' x 8'	APPROVED BY CONSULTING WITH THE SOUTH FLORIDA BUILDING CODE
DESIGN LOADS	+52.0 PSF -62.0 PSF	DATE August 24, 2000
		BY [Signature]
		PRODUCT CONTROL DIVISION BUILDING CODE COMPLIANCE OFFICE ACCEPTANCE NO. 00-0614.05

0002 6 2 1/4

REV	DESCRIPTION OF REVISIONS	DATE	BY
E	REMOVED HEADER AND SPRING PAD BOLTS.	05/15/00	RWS
D	Note 2 (pg 1) .024" With Bonded on Polyester Finish.	12/19/96	AAE
C	Wood Jamb Attach. Instruct (Pg 2) Detail of Vents (Pg 1)	09/16/96	AAE
B	Alternative Horizontal Reinforcement	Page 2 06/27/96	AAE
A	NEW DRAWING	04/30/96	AAE

Amarr
GARAGE DOORS

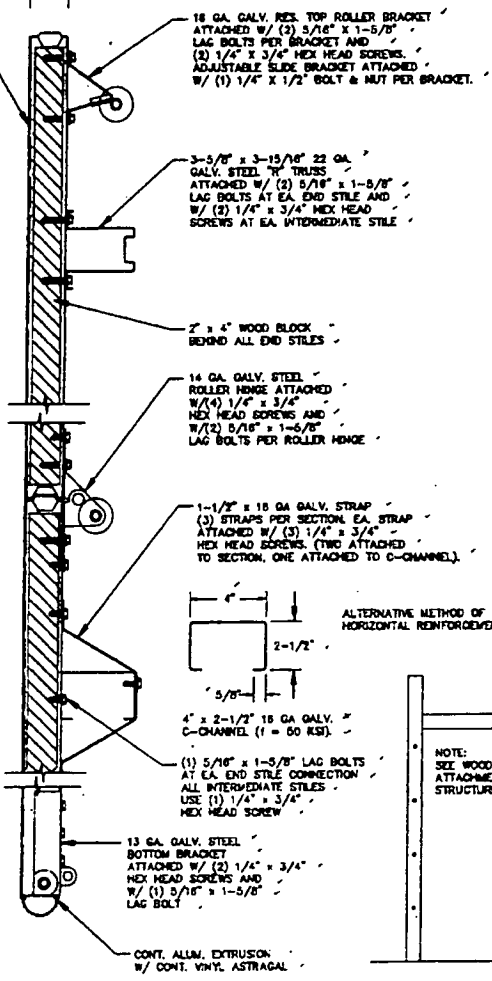
6931 GRABBY CREEK BLVD. WINSTON-SALEM, N.C. 27106

MODEL #950 "HERITAGE III"
Short Panel and Flush

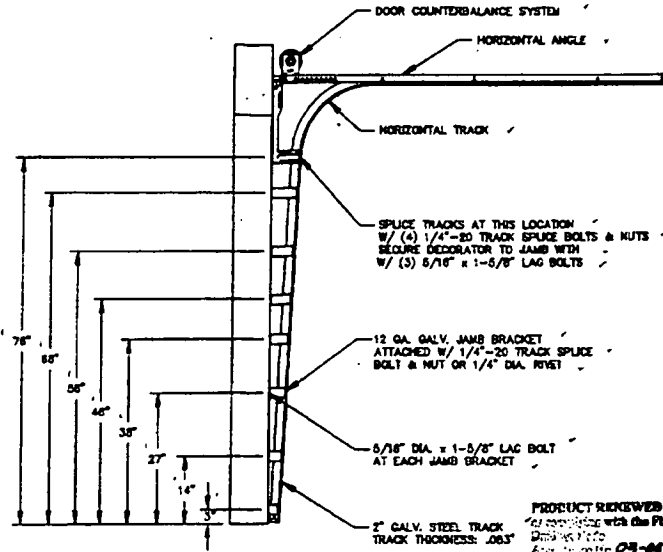
SIZE	DRAWN BY	AAE	DATE	04/30/96	DRAWING NUMBER
B	CHECKED BY	RJZ	DATE	04/30/96	SFC-590-006

ENGINEER: THOMAS L. SHELMEYER, P.E. LIC. NO. 0046579 SHEET 1 OF 2

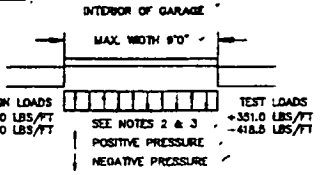
24 GA. MIN. EXTERIOR SKIN
(MIN. YIELD 28 KSI) W/ G-40 GALV.
BAKED-ON POLYESTER TOP COAT.



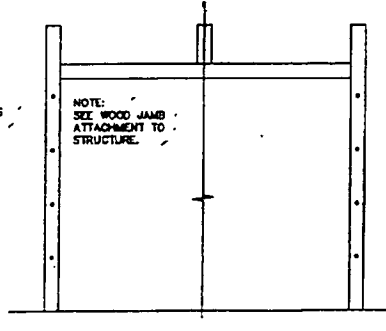
SECTION A-A (SIDE VIEW)
SCALE 2" = 1'



TRACK CONFIGURATION
SCALE 1/2" = 1'



- NOTES:
1. ALL THE LOAD FROM THE DOOR IS TRANSFERRED TO THE VERTICAL TRACK. FROM THE TRACK THE LOAD IS TRANSFERRED TO THE VERTICAL JAMB. THE HORIZONTAL JAMB OR HEADER RECEIVES NO PORTION OF THE LOAD TRANSFERRED FROM THE DOOR.
 2. EACH VERTICAL JAMB RECEIVES MAXIMUM DESIGN LOADS OF: +234.0 LBS/FT & -279.0 LBS/FT
 3. EACH VERTICAL JAMB RECEIVES MAXIMUM TEST LOADS OF: +351.0 LBS/FT & -418.5 LBS/FT
 4. ALL FASTENERS USED TO SECURE JAMBS MAY BE COUNTERSUNK TO PROVIDE A FLUSH MOUNTING SURFACE.
 5. SUPPORTING STRUCTURAL ELEMENTS SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER FOR WIND LOADS INDICATED ON THIS DRAWING IN ADDITION TO OTHER LOADINGS.



JAMB AND HEADER CONFIGURATION
SCALE 1/8" = 1'

WOOD JAMB ATTACHMENT TO STRUCTURE

FOR ATTACHMENT OF JAMBS TO CAST IN PLACE CONCRETE, USE 3/8" DIAMETER RIVET BOLTS BY HELIX. INSTALL BOLTS A MAXIMUM OF 6" FROM EACH END AND AT 24" ON CENTER. ANCHORS MUST HAVE A MINIMUM OF 2-1/2" EMBEDMENT INTO CONCRETE. ANCHORS BY OTHER MANUFACTURES ARE ACCEPTABLE PROVIDED MINIMUM PULLOUT CAPACITY IS 4600 POUNDS ULTIMATE (1200 POUNDS ALLOWABLE) IN $f_c = 2000$ PSI CONCRETE.

FOR ATTACHMENT TO HOLLOW BLOCK, USE 1/4" DIAMETER TAPCON ANCHORS BY ITW BUILCO. INSTALL A PAIR OF ANCHORS A MAXIMUM OF 6" FROM EACH END, AND A PAIR AT 18" ON CENTER. THE PAIR OF ANCHORS SHOULD BE APPROXIMATELY 3" CENTER TO CENTER. ANCHORS MUST HAVE A MINIMUM OF 1-1/4" EMBEDMENT INTO HOLLOW BLOCK. ANCHORS BY OTHER MANUFACTURES ARE ACCEPTABLE PROVIDED MINIMUM PULLOUT CAPACITY IS 615 POUNDS ULTIMATE (154 POUNDS ALLOWABLE).

FOR ATTACHMENT TO WOOD, USE 5/16" DIAMETER LAG BOLTS. INSTALL BOLTS A MAXIMUM OF 6" FROM EACH END, AND AT 18" ON CENTER. ANCHORS MUST HAVE A MINIMUM OF 1-1/2" EMBEDMENT INTO WOOD STRUCTURE.

ALL BOLTS MUST BE INSTALLED IN ACCORDANCE WITH MANUFACTURE'S INSTRUCTIONS.

MAX SIZE
8' x 8'

DESIGN LOADS
+52.0 PSF
-62.0 PSF

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE August 26, 2000.
BY [Signature]
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 20-0619.05

MAY 29 2000

REV	DESCRIPTION OF REVISIONS	DATE	BY
E	REMOVED HEADER AND SPRING PAD BOLTS.	05/15/00	RWS
D	Note 2 (pg 1) (024) - With Baked on Polyester Finish.	12/19/96	AAE
C	Wood Jamb Attach. Instruct (Pg 2) Detail of Vents (Pg 1)	08/16/96	AAE
B	Alternative Horizontal Reinforcement	Page 2 06/27/98	AAE
A	NEW DRAWING	04/30/96	AAE

Amarr
GARAGE DOORS

6531 GRABBY CREEK BLVD. WINSTON-SALEM, N.C. 27105

MODEL #950 "HERITAGE III"
Short Panel and Flush

SIZE	DRAWN BY	AAE	DATE	04/30/96	DRAWING NUMBER
B	CHECKED BY	RAZ	DATE	04/30/96	SFC-590-006

ENGINEER: THOMAS L. SHELBERG, P.E. LIC No. 00425791 SHEET 2 OF 2



MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT DIVISION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

PRODUCT CONTROL NOTICE OF ACCEPTANCE

**PGT Industries
1070 Technology Drive
Nokomis, FL 34275**

Your application for Notice of Acceptance (NOA) of:

Series PW-701 Aluminum Fixed Window - Non-Impact & Impact Resistant

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 01-0102.01
EXPIRES: 09/13/2006

Raul Rodriguez
Chief Product Control Division

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL
CONDITIONS
BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

APPROVED: 09/13/2001

PGT Industries

ACCEPTANCE No.: 01-0102.01

APPROVED: SEP 13 2001

EXPIRES: SEP 13 2006

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

1. SCOPE

1.1 This approves an aluminum fixed window, as described in Section 2 of this Notice of Acceptance, designed to comply with the South Florida Building Code (SFBC), 1994 Edition for Miami-Dade County, for the locations where the pressure requirements, as determined by SFBC Chapter 23, do not exceed the Design Pressure Rating values indicated in the approved drawings.

2. PRODUCT DESCRIPTION

2.1 The Series PW-701 Aluminum Fixed Window – Non-Impact and Large Missile Impact Resistant and its components shall be constructed in strict compliance with the following documents: Drawing No 4231, Sheets 1 through 8 of 8, titled "PW-701 Aluminum Fixed Window," dated 8/13/01, prepared by manufacturer, signed and sealed by Robert L. Clark, P.E., bearing the Miami-Dade County Product Control approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division. These documents shall hereinafter be referred to as the approved drawings.

3. LIMITATIONS

- 3.1 This approval applies to single unit applications only, as shown in approved drawings.
- 3.2 Non-Impact Resistant windows, for Design Pressure Rating vs. Window Size, see Comparative Analysis Tables in Sheet 8 of 8 of approved drawings.
- 3.3 Impact Resistant windows, see Design Pressure Rating in Sheet 1 of 8 of approved drawings.

4. INSTALLATION

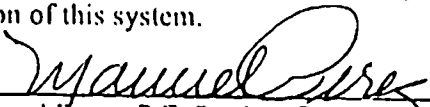
- 4.1 The aluminum fixed window and its components shall be installed in strict compliance with the approved drawings.
- 4.2 Hurricane protection system (shutters): to determine whether the installation requires a hurricane protection system or not, see corresponding table in approved drawing.

5. LABELING

5.1 Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved".

6. BUILDING PERMIT REQUIREMENTS

- 6.1 Application for building permit shall be accompanied by copies of the following:
 - 6.1.1 This Notice of Acceptance
 - 6.1.2 Duplicate copies of the approved drawings, as identified in Section 2 of this Notice of Acceptance, clearly marked to show the components selected for the proposed installation.
 - 6.1.3 Any other documents required by the Building Official or the South Florida Building Code (SFBC) in order to properly evaluate the installation of this system.


Manuel Perez, P.E. Product Control Examiner
Product Control Division

PGT Industries

ACCEPTANCE No.: 01-0102.01

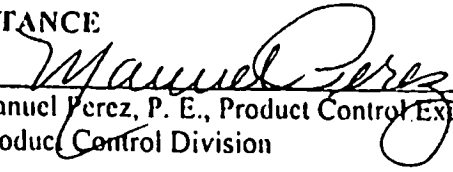
APPROVED: SEP 13 2001

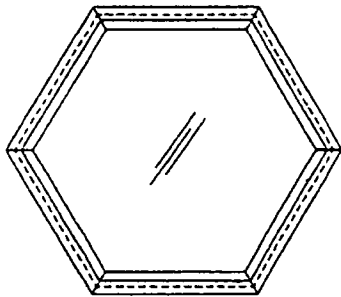
EXPIRES: SEP 13 2006

NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
 - a. There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
 - b. The product is no longer the same product (identical) as the one originally approved.
 - c. If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
 - d. The engineer, who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
 - a. Unsatisfactory performance of this product or process;
 - b. Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purpose.
6. The Notice of Acceptance number preceded by the words Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all times. The engineer does not need to reseal the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Acceptance contains pages 1, 2, and this last page 3.

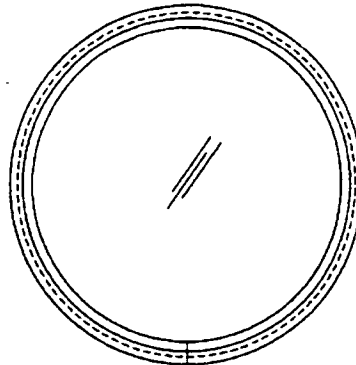
END OF THIS ACCEPTANCE


Manuel Perez, P. E., Product Control Examiner
Product Control Division



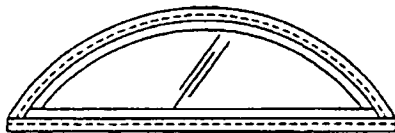
HEXAGON

60" BETWEEN FLATS
Maximum Area 21.65 sq. ft.



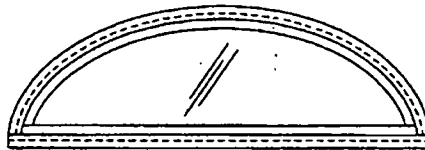
FULL CIRCLE

ø60"
Maximum Area 19.64 sq. ft.



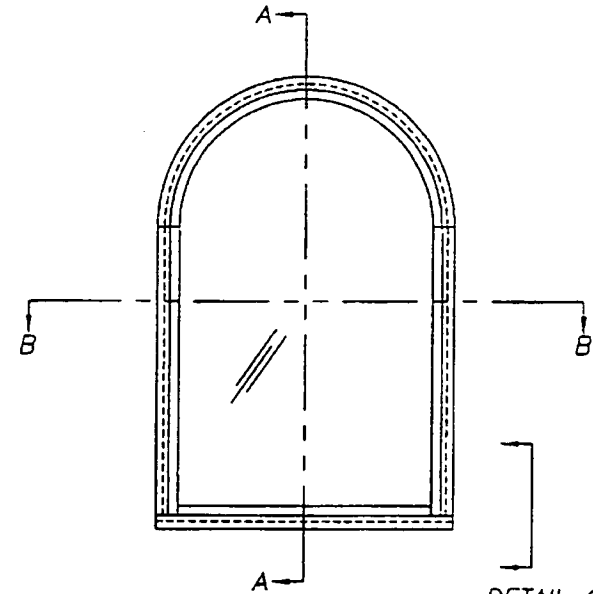
FAN

96" X 47"
Maximum Area 24.47 sq. ft.



ELLIPTICAL

96" X 47"
Maximum Area 24.61 sq. ft.



ARCH

48" X 96"
Maximum Area 30.28 sq. ft.

DETAIL C
SEE SHT. 7

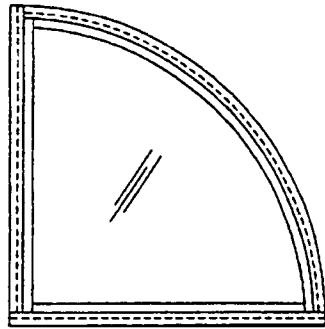
LARGE MISSILE IMPACT WINDOWS

- 1.) GLAZING: 7/16" LAMINATED W/INTERLAYER DUPONT BUCACITE PVB
- 2.) CONFIGURATIONS: 0
- 3.) DESIGN PRESSURE RATING:
+60.0 PSF & -60.0 PSF (3/16" HEAT STRENGTHENED/.090/3/16" HEAT STRENGTHENED LAM)
+36.0 PSF & -36.0 PSF (3/16" ANNEALED/.090/3/16" ANNEALED)
- 4.) ANCHOR MAXIMUM SPACING: 12.000"
- 5.) NO SHUTTERS REQUIRED
- 6.) ALL FRAME JOINTS TO BE SEAM WELDED
- 7.) REFERENCE TEST REPORT: FTL-2797

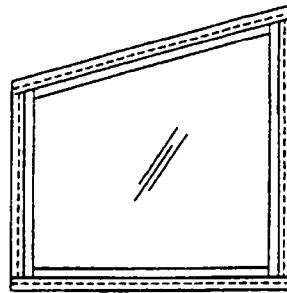
R. L. Clark
8/22/01
Robert L. Clark, P.E.
PE #39712
Structural

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE SEP 13 2001
BY *Mauro J. [Signature]*
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 01-0102-01

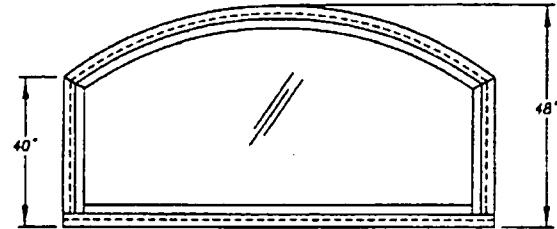
PGT INDUSTRIES		Drawn By: F.K.	Revised By/Date: 8/13/01	Revisions: REDRAWN
Description: ELEVATIONS, 7/16 LAMINATED GLASS				
Title: ALUMINUM FIXED WINDOW				
1070 TECHNOLOGY DRIVE MORONG, FL 34275	P.O. BOX 1529 MORONG, FL 34274	Series/Model: PW-701	Scale: NTS	Sheet: 1 of 8
Drawing No. 4231			Rev: C	



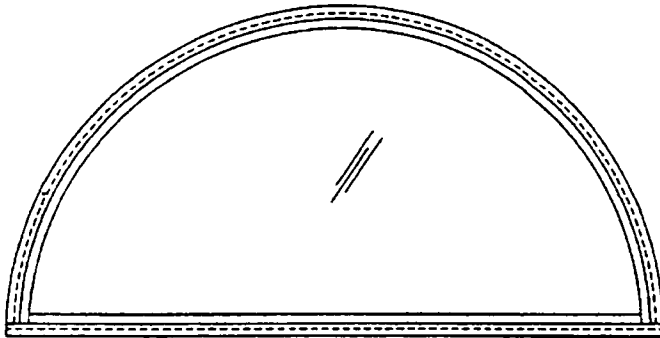
QUARTER CIRCLE
68" X 68"
Maximum Area 25.22 sq. ft.



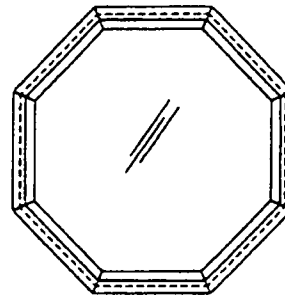
TRAPEZOID
48" x 96"
Maximum Area 30.28 sq. ft.



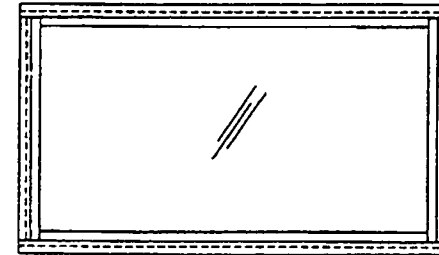
EYEBROW
96" x 48"
Maximum Area 30.24 sq. ft.



HALF CIRCLE
96" x 48"
Maximum Area 25.13 sq. ft.



OCTAGON
60" x 60"
Maximum Area 20.71 sq. ft.



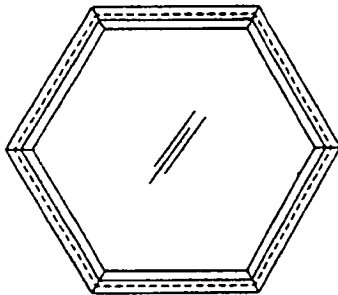
RECTANGLE
48" x 96"
Maximum Area 32.00 sq. ft.

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE SEP 13 2001
BY [Signature]
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 01-0102-01

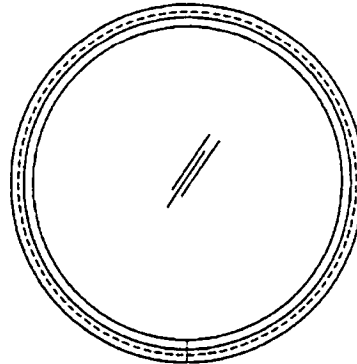
LARGE MISSILE IMPACT WINDOWS CONT.

[Signature]
4/22/01
Robert L. Clark, P.E.
PE #39712
Structural

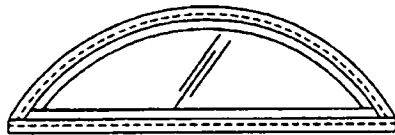
PGT INDUSTRIES	Drawn By:	F.K.	Date:	8/13/01	Revisions:	REDRAWN					
	Description:	ELEVATIONS, 7/16 LAMINATED GLASS									
	Date:	ALUMINUM FIXED WINDOW									
1070 TECHNOLOGY DRIVE NORWALK, FL 34273	P.O. BOX 1529 NORWALK, FL 34274	Series/Model:	PW-701	Scale:	NTS	Sheet:	2 of 8	Drawing No.:	4231	Rev.:	C



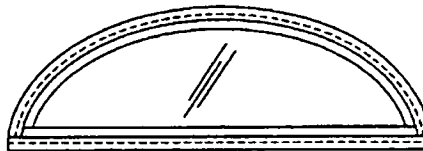
HEXAGON
60" BETWEEN FLATS
Maximum Area 21.65 sq. ft.



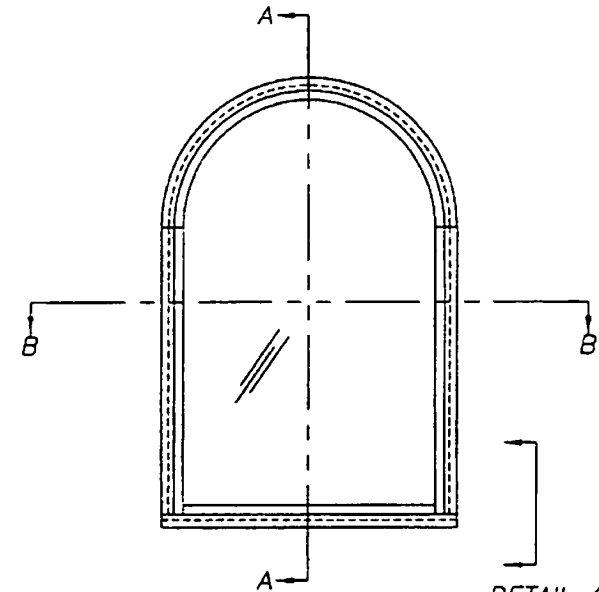
FULL CIRCLE
ø60"
Maximum Area 19.64 sq. ft.



FAN
120" x 55"
Maximum Area 35.20 sq. ft.



ELLIPTICAL
120" x 48"
Maximum Area 31.46 sq. ft.



ARCH.
60" x 120"
Maximum Area 47.32 sq. ft.

DETAIL C
SEE SHT. 7

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE SEP 13 2001
BY [Signature]
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 01-0102-01

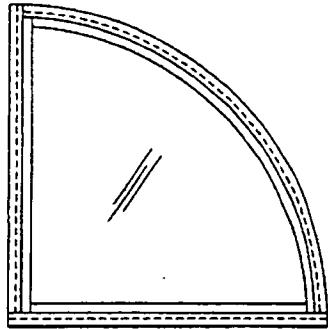
NON-IMPACT WINDOWS

- 1.) GLAZING: 3/16" TEMPERED
- 2.) CONFIGURATIONS: 0
- 3.) FOR DESIGN PRESSURE RATING SEE COMPARATIVE ANALYSIS ON SHT. 8 OF 8
- 4.) ANCHOR MAXIMUM SPACING: 12.000"
- 5.) SHUTTERS REQUIRED AT ALL INSTALLATIONS
- 6.) ALL FRAME JOINTS TO BE SEAM WELDED
- 7.) REFERENCE TEST REPORTS: FTL-2763, 2780 & 2816

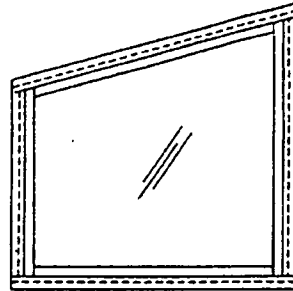
[Signature]
8/22/01

Robert L. Clark, P.E.
PE #39712
Structural

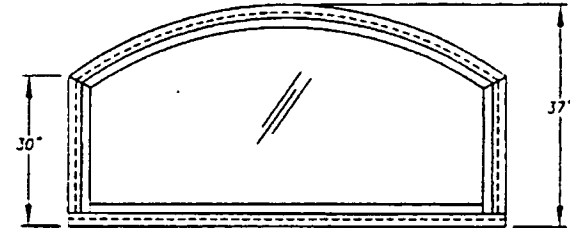
	Drawn By: F.K.	Date: 8/13/01	Revisions: REDRAWN			
	Description: ELEVATIONS, 3/16 TEMPERED GLASS					
	Title: ALUMINUM FIXED WINDOW					
1070 TECHNOLOGY DRIVE MORNING, FL 34275	P.O. BOX 1529 MORNING, FL 34274	Series/Model: PW-701	Scale: NTS	Sheet: 3 of 8	Drawing No. 4231	Rev: C



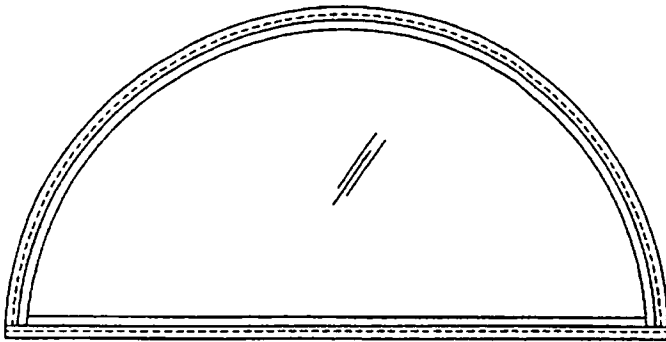
QUARTER CIRCLE
68" x 68"
Maximum Area 25.22 sq. ft.



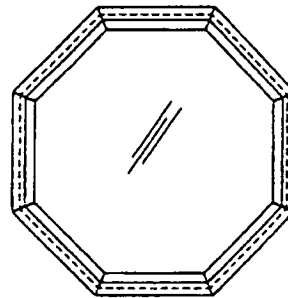
TRAPEZOID
60" x 120"
Maximum Area 43.75 sq. ft.



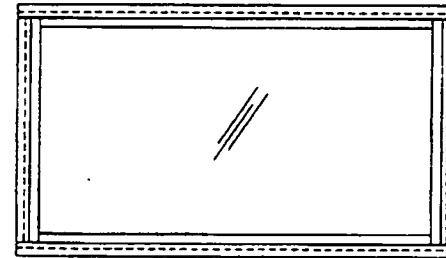
EYEBROW
74" x 37"
Maximum Area 17.83 sq. ft.



HALF CIRCLE
120" x 60"
Maximum Area 39.27 sq. ft.



OCTAGON
60" x 60"
Maximum Area 20.71 sq. ft.



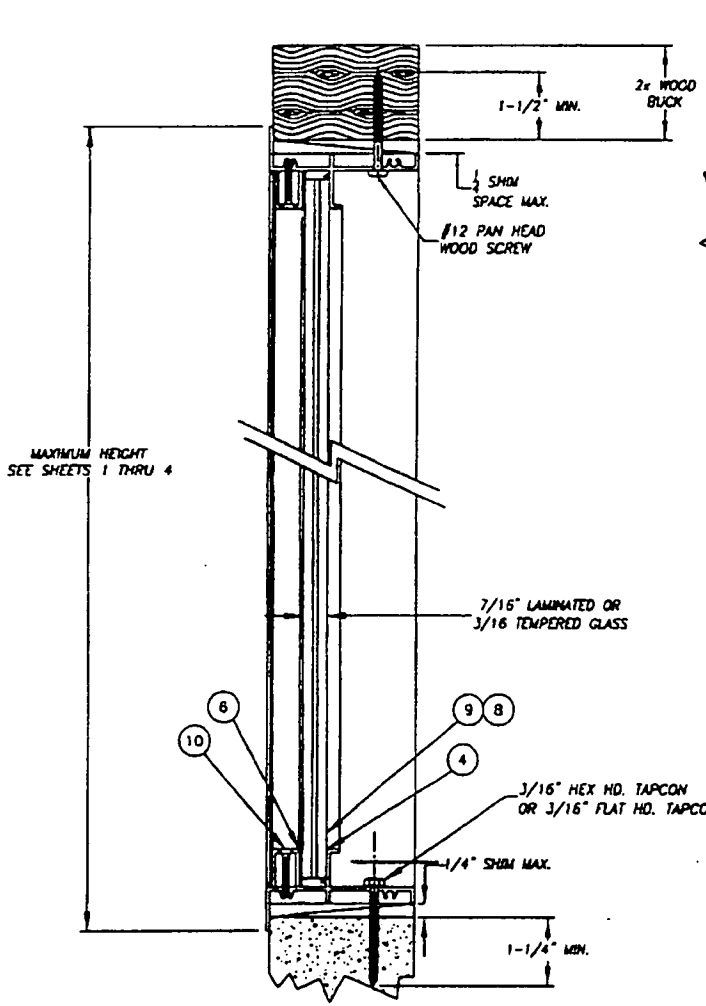
RECTANGLE
60" x 120"
Maximum Area 50.00 sq. ft.

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE SEP 13 2001
BY [Signature]
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 01-QV02-D1

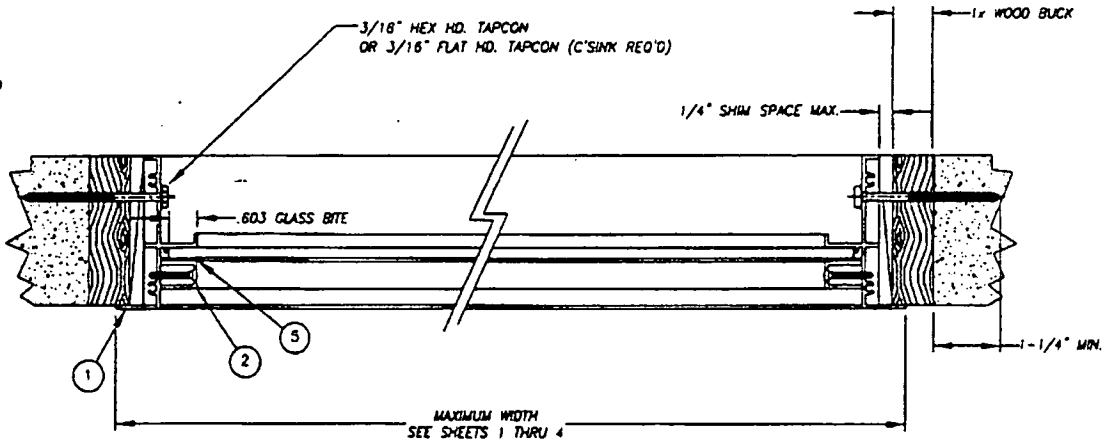
NON-IMPACT WINDOWS CONT.

[Signature]
8/22/01
Robert L. Clark, P.E.
PE #39712
Structural

	Revised By/Date:	Revisions:	
	Drawn By: F.K.	Date: 8/13/01	REDRAWN
	Description:		
	ELEVATIONS, 3/16 TEMPERED GLASS		
Title:		ALUMINUM FIXED WINDOW	
1070 TECHNOLOGY DRIVE MOKOMAS, FL 34275	P.O. BOX 1529 MOKOMAS, FL 34274	Series/Model: PW-701	
Scale: NTS	Sheet: 4 of 8	Drawing No. 4231	
Rev.:	C		



SECTION A-A
TYPICAL SECTION
& INSTALLATION INTO CONCRETE AT SILL & WOOD AT HEAD



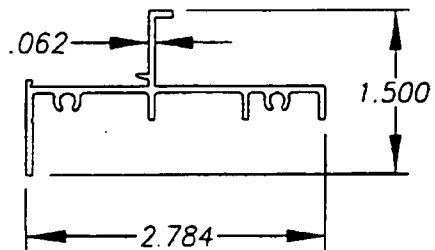
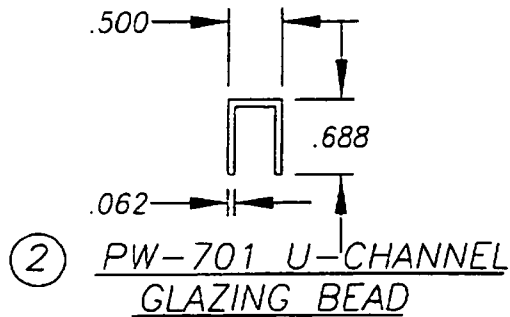
SECTION B-B
TYPICAL SECTION
& ALTERNATE INSTALLATION INTO CONCRETE

- NOTES: 1. MAXIMUM OVERALL DIMENSIONS ARE APPLICABLE TO SECTIONED ARCH. SHAPES. ANCHORAGE METHODS ARE APPLICABLE TO ALL SHAPES SHOWN ON SHEETS 1 THROUGH 4 OF 8.
2. REFERENCE TEST REPORTS: FTL-2763, FTL-2780, FTL-2797 & FTL-2816

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE SEP 13 2001
BY Maurok
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 01-0107-01

Robert L. Clark
8/21/01
Robert L. Clark, P.E.
PE #39712
Structural

	Drawn By: <u>F.K.</u>	Revised By/Date: <u>8/13/01</u>	Revisions: <u>REDRAWN</u>
	Description: <u>SECTIONAL & ANCHORAGE VIEWS</u>		
Title: <u>ALUMINUM FIXED WINDOW</u>			
1070 TECHNOLOGY DRIVE NORONAS, FL 34275	P.O. BOX 1529 NORONAS, FL 34274	Series/Model: <u>PW-701</u>	Scale: <u>NTS</u>
		Sheet: <u>5 of 8</u>	Drawing No. <u>4231</u>
			Rev: <u>C</u>



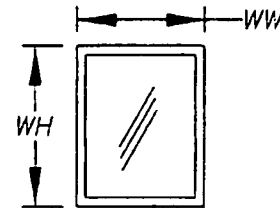
BILL OF MATERIAL

MK.	PART #	DESCRIPTION	VENDOR	VENDOR #
1	612242	FRAME HEAD, SILL & JAMB	6063-T5	AF-12242
2	6533402	U-CHANNEL GLAZING BEAD	6063-T5	AF-533402
3	7834 ..	#8 x 3/4 PN. PH. SMS	SPENCER OR =	
4	62899C/62501C	SILICON BACK BEDDING	DOW/G.E. OR =	
5	61412K	CLOSED CELL FOAM TAPE FOR 3/16 GLASS	TAPE SPECIALISTS OF FL OR =	
6	628V1510	CLOSED CELL FOAM TAPE FOR 7/16 GLASS	TAPE SPECIALISTS OF FL OR =	
7	6SM55W	SEAM SEALER	SCHNEE/MOREHEAD OR =	SM5504
8		3/16 TEMPERED GLASS	TRIPLE DIAMOND GLASS OR =	
9	SEE NOTE	7/16 LAMI (.187HS/.090/.187HS)	TRIPLE DIAMOND GLASS OR =	
10	7PWSW	#6 x 7/8 FL. PH. TEK	SPENCER OR =	
11	SEE NOTE	7/16 LAMI (.187A/.090/.187A)	TRIPLE DIAMOND GLASS OR =	

NOTE: ITEM 9 & 11 USES DUPONT BUTACITE PVB INTERLAYER

VISIBLE LIGHT CALCULATION

WINDOW WIDTH "TIP TO TIP" - 3.00"
 WINDOW HEIGHT "TIP TO TIP" - 3.00"

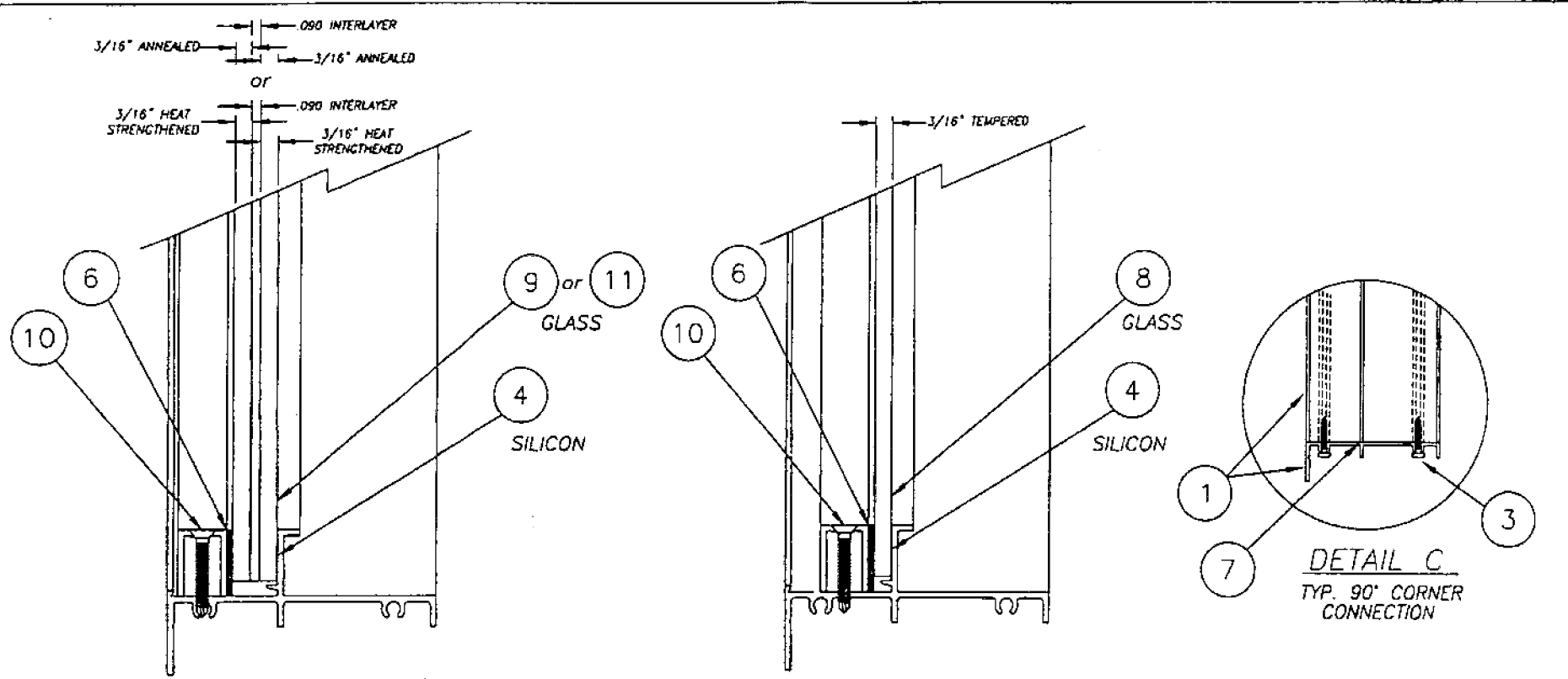


APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE SEP 13 2004
 BY [Signature]
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 01-0107-01

REFERENCE TEST REPORTS: FTL-2763, FTL-2780, FTL-2797 & 2816

[Signature]
 Ruben L. Clark, P.E.
 PE #39712
 Structural

	Approved By: _____ Date: _____	Revisions: _____				
	Drawn By: <u>F.K.</u> Date: <u>8/13/01</u>	<u>REDRAWN</u>				
	Description: <u>EXTRUSION PROFILES & B.O.M.</u> Title: <u>ALUMINUM FIXED WINDOW</u>					
1070 TECHNOLOGY DRIVE NORONAS, FL 34275	P.O. BOX 1329 NORONAS, FL 34274	Series/Model: <u>PW-701</u>	Scale: <u>NTS</u>	Sheet: <u>6 of 8</u>	Drawing No. <u>4231</u>	Rev: <u>C</u>



TYPICAL GLAZING DETAIL
7/16" LAMINATED GLASS

TYPICAL GLAZING DETAIL
3/16" TEMPERED GLASS

DETAIL C
TYP. 90° CORNER CONNECTION

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE SEP 13 2001
BY [Signature]
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 01-0102-01

REFERENCE TEST REPORTS: FTL-2763, FTL-2780, FTL-2797 & 2816

[Signature]
8/22/01
Robert L. Clark, P.E.
PE #39712
Structural

PGT INDUSTRIES	Drawn By: F.K.	Date: 8/13/01	Revisions: REDRAWN
	Description: GLAZING & CORNER DETAIL		
	Title: ALUMINUM FIXED WINDOW		
	1070 TECHNOLOGY DRIVE MCKINNA, FL 34275	P.O. BOX 1529 MCKINNA, FL 34274	Series/Model: PW-701
		Sheet: 7 of 8	Drawing No. 4231
			Rev: C

3/16" TEMPERED GLASS

NOTES:

- 1.) Negative Design Loads based on Comparative Analysis and Glass Table ASTM E1300.
- 2.) Positive Design Loads based on Comparative Analysis and Water Test Pressure.
- 3.) Numbers are for #12 screws or 3/16" Tapcons.
- 4.) Anchor maximum spacing: 12"

Negative Design Loads

Window Heights	Window Widths								
	19.125	24.000	26.500	37.000	48.000	60.000	97.000	111.000	120.000
26.000	135.00	135.00	135.00	135.00	135.00	135.00	135.00	122.90	112.60
39.000	135.00	135.00	135.00	135.00	135.00	135.00	79.40	70.00	66.10
51.000	135.00	135.00	135.00	135.00	90.60	80.30	77.40	63.00	55.90
60.000	135.00	135.00	135.00	135.00	90.60	58.00	58.00	58.00	57.40

Positive Design Loads

Window Heights	Window Widths								
	19.125	24.000	26.500	37.000	48.000	60.000	97.000	111.000	120.000
26.000	100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
39.000	100.00	100.00	100.00	100.00	100.00	100.00	79.40	70.00	66.10
51.000	100.00	100.00	100.00	100.00	90.60	80.30	77.40	63.00	55.90
60.000	100.00	100.00	100.00	100.00	90.60	58.00	58.00	58.00	57.40

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE SEP 13 2001
BY [Signature]
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 01-0102-01

[Signature]
9/20/01
Robert L. Clark, P.E.
PE #39712
Structural

REFERENCE TEST REPORTS: FTL-2763, FTL-2780, & 2816

PGT INDUSTRIES	Drawn By: F.K.	Date: 8/13/01	Revised By/Date:	Revisions:		
	Description: COMPARATIVE ANALYSIS, NON-IMPACT					
	Title: ALUMINUM FIXED WINDOW					
1070 TECHNOLOGY DRIVE NORONAS, FL 34275	P.O. BOX 1528 NORONAS, FL 34274	Series/Sheet PW-701	Scale: NTS	Sheet: 8 of 8	Drawing No. 4231	Rev: C



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

PGT Industries
P.O. Box 1529
Nokomis, FL 34274

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: 1"x Std. Wall-Aluminum Tube Clipped Mullions

APPROVAL DOCUMENT: Drawing No. 6620, titled "1" STD. Wall Mullion", sheets 1 through 5 of 5, prepared, signed and sealed by Robert L. Clark, P.E., dated 5/24/01, bearing the Miami-Dade County Product Control Revision Stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

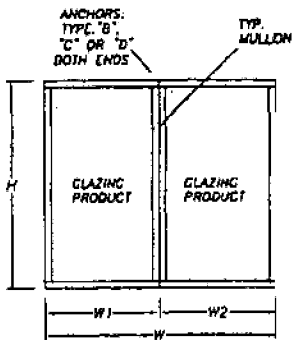
ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 00-0912.05 and, consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Theodore Berman, P.E.



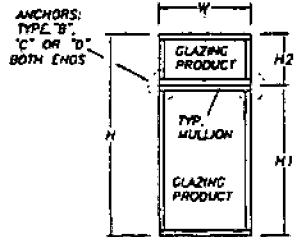
NOA No 02-0701.05
Expiration Date: June 28, 2006
Approval Date: July 10, 2002
Page 1



$$W = W1 + W2$$

(2) WINDOWS MULLED TOGETHER

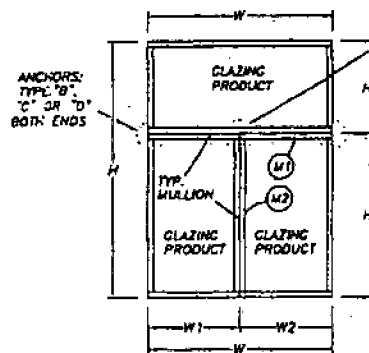
FOR DETERMINING MAX ALLOWABLE DESIGN PRESSURE SEE TABLES ON PAGE 5 OF 5
 MAX OPENING = W OR $W1 + W2$
 MULL LENGTH = H



$$H = H1 + H2$$

(1) WINDOW MULLED W/ONE ABOVE

FOR DETERMINING MAX ALLOWABLE DESIGN PRESSURE SEE TABLES ON PAGE 5 OF 5
 MAX OPENING = H OR $H1 + H2$
 MULL LENGTH = W

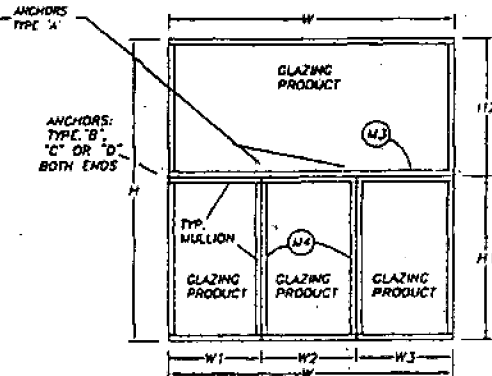


$$W = W1 + W2$$

$$H = H1 + H2$$

(2) WINDOWS MULLED W/ONE ABOVE

FOR DETERMINING MAX ALLOWABLE DESIGN PRESSURE SEE TABLES ON PAGE 5 OF 5
 M1) MAX OPENING = H OR $H1 + H2$
 MULL LENGTH = W OR $W1 + W2$
 M2) MAX OPENING = W OR $W1 + W2$
 MULL LENGTH = $H1$



$$W = W1 + W2 + W3$$

$$H = H1 + H2$$

MULTIPLE WINDOWS MULLED W/ONE ABOVE

FOR DETERMINING MAX ALLOWABLE DESIGN PRESSURE SEE TABLES ON PAGE 5 OF 5
 M3) MAX OPENING = H OR $H1 + H2$
 MULL LENGTH = W OR $W1 + W2 + W3$
 M4) MAX OPENING = $W1 + W2$ OR $W2 + W3$
 MULL LENGTH = $H1$

PRODUCT REVISED
 in complying with the Florida
 Building Code
 acceptance No 02-0201.05
 Expiration Date 06/28/10
 Robert L. Clark, P.E.
 Miami Code Product Control
 Division

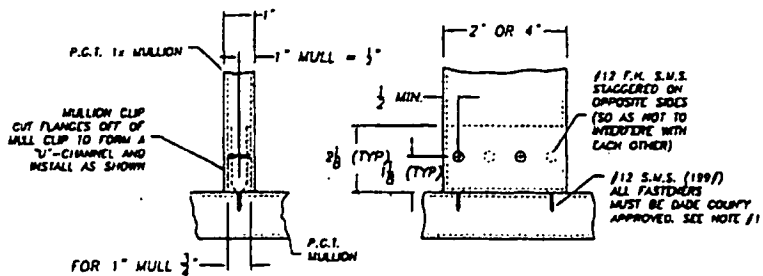
APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE JUN 28 2006
 BY *Maureen Kelly*
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO 00-0412.05

NOTES:

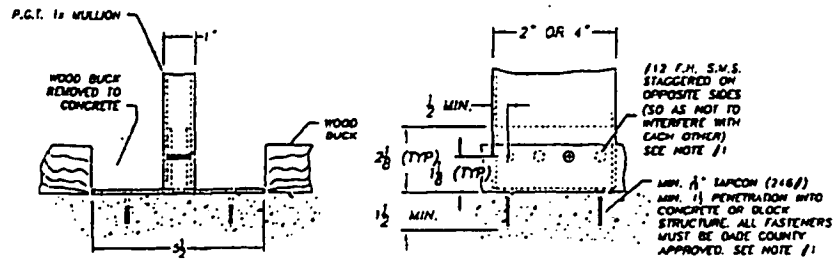
1. FOR ANCHORAGE TYPE, QUANTITY AND LOCATION REFER TO SHEETS 2, 3 AND 5
2. WINDOWS MAY BE MULLED TOGETHER, TO A MAX. OF 5 UNITS
3. MULLIONS ARE APPROVED FOR IMPACT & NON-IMPACT
4. REFERENCE TEST REPORT FTL-2902, 2903 AND 2975

Robert L. Clark
 5/24/06
 Robert L. Clark, P.E.
 P.E. #39712
 Structural

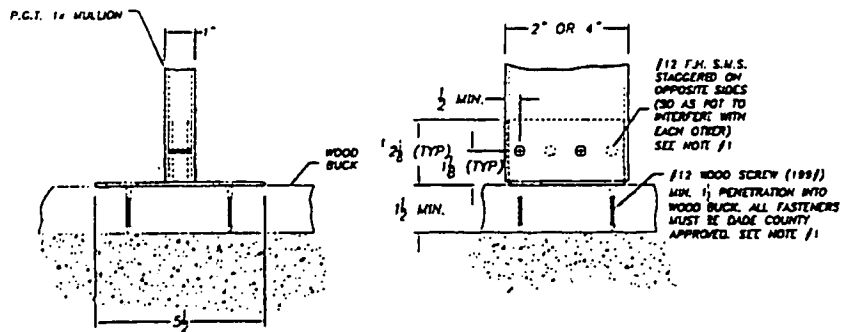
Revised By:	Date:	Chgd By:	Date:	Revisions:
Drawn By:	P.J.P.	Date:	4/28/00	
Description: ARRANGEMENT DETAIL				
Title: 1" STD. WALL MULLION				
1870 TECHNOLOGY DRIVE NOKOMIS, FL 34275	P.O. BOX 1529 NOKOMIS, FL 34274	Series/Model: MULLS	Scale: NTS	Sheet: 1 of 5
			Drawing No. 6620	Rev:



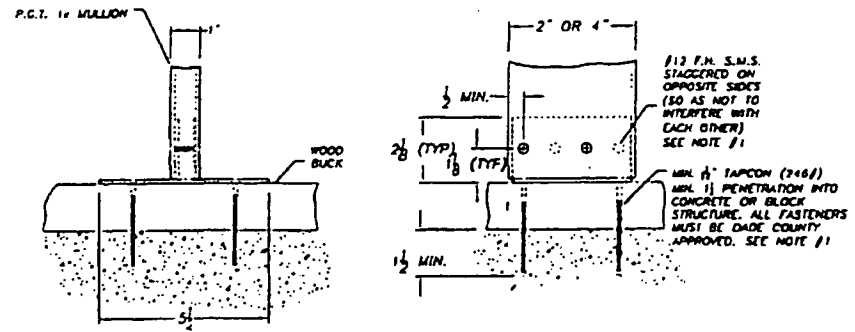
TYPICAL MULLION TO MULLION INSTALLATION TYPE "A"



TYPICAL MULLION TO STRUCTURE WITH WOOD BUCK REMOVED FROM CONC. TYPE "C"



TYPICAL MULLION TO STRUCTURE WITH WOOD BUCK TYPE "B"



TYPICAL MULLION TO STRUCTURE WITH WOOD BUCK AND CONC. TYPE "D"

NOTE:

1. FOR MULL SIZE AND QUANTITY OF ANCHORS REQUIRED SEE SHEET 5. FOR ANCHOR LOCATIONS SEE SHEET 3. QUANTITY OF ANCHORS FOR MULL-TO-CLIP IS THE SAME AS THE QUANTITY OF ANCHORS FROM CLIP-TO-OPENING.
2. REFERENCE TEST REPORT FTL-2902, 2903 AND 2975

IMPORTANT:

QUANTITY OF ANCHORS SHOWN ARE FOR A PICTORIAL REPRESENTATION ONLY. FOR CORRECT QUANTITY OF ANCHORS PLEASE REFER TO CHARTS AND FIND THE CORRECT MULL SIZE AND PRESSURE REQ'D FOR YOUR SPECIFIC APPLICATION.

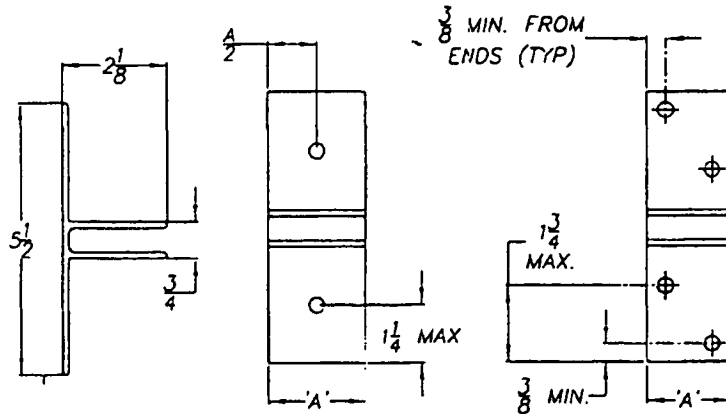
R. L. Clark
5/24/01
Robert L. Clark, P.E.
P.E. #39712
Structural

PRODUCT REVISED
to comply with the Florida
Building Code
Acceptance No. 02-0301-05
Expiration Date 06/28/06
By: *Shirley Brown*
Miami Dade Product Control
Division

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE JUN 28 2001
BY *Shirley Brown*
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 00-0412-05

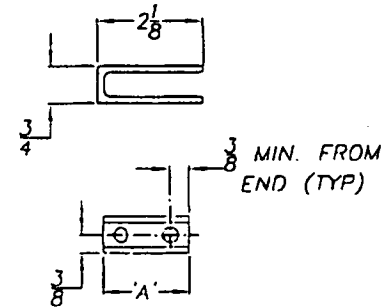
Revised By: Date:		Child By: Date:		Revisions:	
Drawn By: P.J.P.		Date: 4/28/00			
Description: CLIP & INSTALLATION DETAIL					
Title: 1" STD. WALL MULLION					
1070 TECHNOLOGY DRIVE MORRIS, FL 34275		P.O. BOX 1529 MORRIS, FL 34274		Scale: NTS	Sheet: 2 of 5
Series/Model: MULLS				Drawing No. 6620	

IMPORTANT:
 QUANTITY OF
 ANCHORS SHOWN
 ARE FOR A PICTORIAL
 REPRESENTATION
 ONLY. FOR CORRECT
 QUANTITY OF
 ANCHORS PLEASE
 REFER TO CHARTS
 AND FIND THE
 CORRECT MULL SIZE
 AND PRESSURE
 REQ'D FOR YOUR
 SPECIFIC
 APPLICATION.

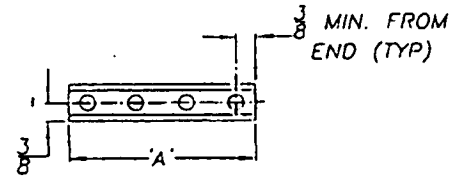


1" MULL CLIP
TWO (2) ANCHOR LOCATIONS
 EXTRUSION DWG / 1099

1" MULL CLIP
FOUR (4) ANCHOR LOCATIONS
 EXTRUSION DWG / 1099



1" MULL CLIP W/TABS REMOVED
TWO (2) ANCHOR LOCATIONS
 EXTRUSION DWG / 1099



1" MULL CLIP W/TABS REMOVED
FOUR (4) ANCHOR LOCATIONS
 EXTRUSION DWG / 1099

CLIP LENGTH CHART FOR 1x MULL.	
MULL SIZE	'A'
1 x 2 x 1/8	1 1/8
1 x 4 x 1/8	3 1/8

NOTE:
 1. REFERENCE TEST REPORT FTL-2902, 2903 AND 2975

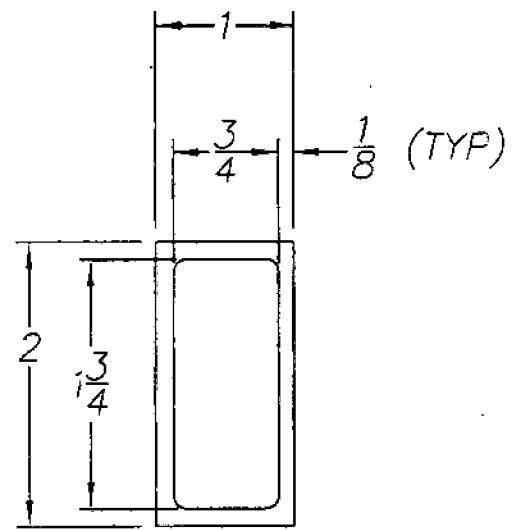
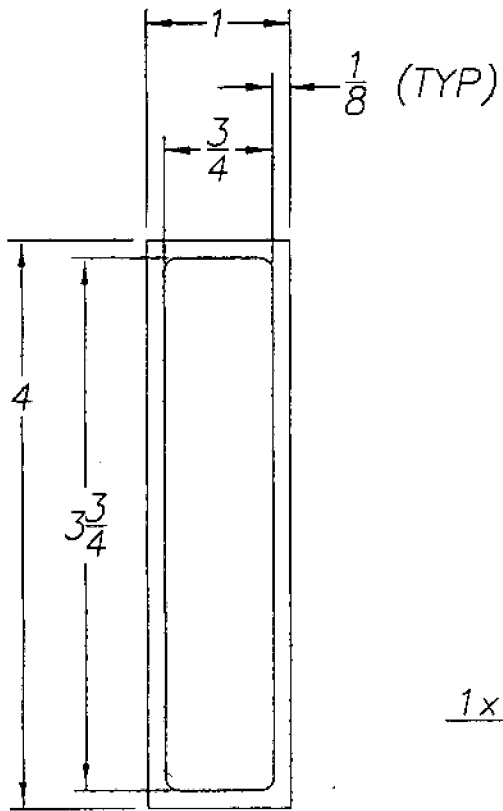
RL CLARK
 5/24/01
 # 39712

PRODUCT REVISED
 to comply with the Florida
 Building Code
 Acceptance No. 02-0701-05
 Expiration Date: 06/28/06

APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE: JUN 28 2001
 BY: *[Signature]*
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 00-0912-05

PGT INDUSTRIES		Revised By: _____ Date: _____	Checked By: _____ Date: _____	Revisions: _____
1070 TECHNOLOGY DRIVE NOKOMIS, FL 34275		Drawn By: P.J.P.	Date: 4/28/00	
Description: 1" MULLION CLIP ANCHOR LOCATION				
Title: 1" STD. WALL MULLION				
Series/Sheet: MULLS	P.O. BOX 1529 NOKOMIS, FL 34274	Scale: NTS	Sheet: 3 of 5	Drawing No. 6620

CONTRACTOR



1x STD. WALL MULLS
MAT'L: 6063-T6

PRODUCT REVISED
to comply with the Florida
Building Code
Acceptance No. 02-0701-05
Expiration Date 04/28/06
By: *Charles Brown*
Hazard Waste Product Control
Division

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE JUN 28 2001
BY: *Matthew Green*
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 00-0117-05

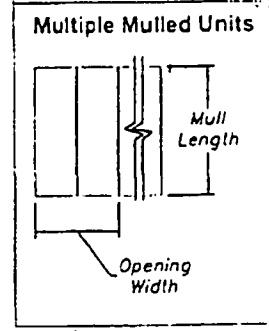
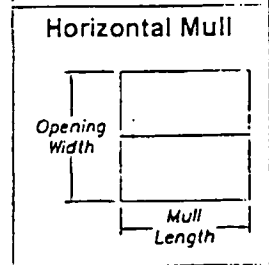
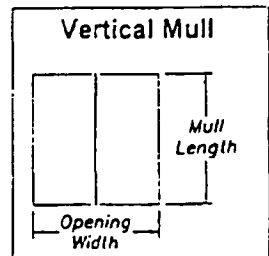
Robert L. Clark
5/24/00
Robert L. Clark, P.E.
P.E. #39712
Structural

PGT INDUSTRIES	Revised By: _____ Date: _____	Checked By: _____ Date: _____	Revisions: _____
	Drawn By: <u>P.J.P.</u>	Date: <u>4/28/00</u>	
	Description: PROFILES		
Title: 1" STD. WALL MULLION			
1070 TECHNOLOGY DRIVE MOKOMIS, FL 34275	P.O. BOX 1529 MOKOMIS, FL 34274	Series/Model: MULLS	Scale: NTS Sheet: 4 of 5 Drawing No. 6620

NOTE:
1. REFERENCE TEST REPORT FTL-2902, 2903 AND 2975

1x2x.125 2 Anchors		OPENING WIDTH IN INCHES											
		50	60	70	80	90	100	110	120	130	160		
1	MULL LENGTH IN INCHES	42	129	115	107	104	103	103	103	103	103	103	103
		48	83	73	67	63	61	61	61	61	61	61	61
		50.625	70	61	55	52	50	49	49	49	49	49	49
		54	57	49	44	41	39	38	38	38	38	38	38
		60	41	35	31	29	27	26	25	25	25	25	25
		63	35	30	27	24	23	22	21	20	20	20	20
		66	30	26	23	21	19	18	18	17	17	17	17
		72	23	20	17	16	-	-	-	-	-	-	-
		76	20	17	15	-	-	-	-	-	-	-	-
		78	18	15	-	-	-	-	-	-	-	-	-
		84	-	-	-	-	-	-	-	-	-	-	-
		90	-	-	-	-	-	-	-	-	-	-	-
		96	-	-	-	-	-	-	-	-	-	-	-
		108	-	-	-	-	-	-	-	-	-	-	-
	111	-	-	-	-	-	-	-	-	-	-	-	
	144	-	-	-	-	-	-	-	-	-	-	-	

1x4x.125 4 Anchors		OPENING WIDTH IN INCHES											
		50	60	70	80	90	100	110	120	130	160		
2	MULL LENGTH IN INCHES	42	170	170	170	170	170	170	170	170	170	170	170
		48	170	170	170	170	170	170	170	170	170	170	170
		50.625	170	170	170	170	170	170	170	170	170	170	170
		54	170	170	170	170	162	158	157	157	157	157	157
		60	170	170	157	143	134	127	124	122	122	122	122
		63	170	160	141	128	119	112	108	106	106	106	106
		66	170	145	127	115	106	100	96	93	92	92	92
		72	142	120	105	95	87	81	77	74	72	71	71
		76	120	102	90	81	74	69	65	63	61	59	59
		78	111	94	83	74	68	63	60	57	55	53	53
		84	88	75	65	59	53	49	46	44	42	40	40
		90	72	60	53	47	43	39	37	35	33	31	31
		96	59	50	43	38	35	32	30	28	27	24	24
		108	41	35	30	27	24	22	20	19	18	16	16
	111	38	32	28	24	22	20	19	17	16	16	16	
	144	17	-	-	-	-	-	-	-	-	-	-	



PRODUCT REVISED
 as complying with the Florida
 Building Code
 Approval No. 02-0201.05
 Expiration Date 06/28/06
 D. *Charles Berman*
 Miami Dade Product Control
 Division

APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE **JUN 28 2001**
 BY *Michael J. ...*
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 00-0412-01

- NOTES:**
1. MAXIMUM ALLOWABLE PRESSURE IN PSF.
 2. DESIGN IS BASED ON OPENING WIDTH. FOR MULTIPLE UNITS, CONSIDER ONLY TWO ADJACENT UNITS AT A TIME. SEE SHEET 1.
 3. REFERENCE TEST REPORT FTL-2902, 2903 AND 2975

R. L. Clark
 5/24/01
 Robert L. Clark, P.E.
 P.E. 139712
 Structural

PGI INDUSTRIES		Revised By: _____ Date: _____	Checked By: _____ Date: _____	Revisions: _____
		Drawn By: P.J.P.	Date: 4/28/00	
Description: PRESSURE CHARTS				
Title: 1" STD. WALL MULLION				
1070 TECHNOLOGY DRIVE NOKOMIS, FL 34273	P.O. BOX 1529 NOKOMIS, FL 34274	Series/Model: MULLS	Scale: NTS	Sheet: 5 of 5
			Drawing No. 6620	Rev. _____



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**Hanson Roof Tile d.b.a. Pioneer Concrete Tile
1340 SW 34th Ave
Deerfield Beach, FL 33442**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: ~~Spanish 22" Roof Tile~~

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of pages 1 through 5.

The submitted documentation was reviewed by Frank Zuloaga, RRC



**NOA No.: 02-0916.12
Expiration Date: 12/16/07
Approval Date: 12/19/02
Page 1 of 5**

ROOFING ASSEMBLY APPROVAL

Category: Roofing
 Sub Category: Roofing Tiles
 Material: Concrete

1. SCOPE

This renews a roofing system using **Hanson Spanish 'S' Roof Tile**, as manufactured Hanson Roof Tile d.b.a. Pioneer Concrete Tile described in Section 2 of this Notice of Acceptance. For the locations where the pressure requirements, do not exceed the values listed in section 4 herein. The attachment calculations shall be done as a moment based system.

2. PRODUCT DESCRIPTION

<u>Manufactured by Applicant</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Hanson Spanish 'S' Roof Tile	Length: 18" Width: 9 7/8" Varying thickness	TAS 112	High profile, interlocking, one-piece, 'S' shaped, extruded concrete roof tile equipped with two nail holes and a single roll. For direct deck nail-on, mortar set, or adhesive set applications.
Trim Pieces	Length: varies Width: varies Varying thickness	TAS 112	Accessory trim, concrete roof pieces for use at hips, rakes, ridges and valley terminations. Manufactured for each tile profile.

2.1 Components or products manufactured by others

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>	<u>Manufacturer</u>
Tile Nails	Min. 10dx 3" #8x 2 1/2" long	TAS 114 Appendix E	Corrosion resistant screw or smooth shank nails	Generic (With current NOA)
Tile Screws	0.335" head dia. 0.131" shank dia. 0.175" screw thread dia.	TAS 114 Appendix E	Corrosion resistant, coated, square drive, galvanized, coarse thread wood screws	Generic (With current NOA)
Hurricane Clip & Fasteners	Clips Min. 1/2" width Min. 0.060" thick Clip Fasteners Min. 8d x 1 1/4"	TAS 114 Appendix E	Corrosion resistant clips with corrosion resistant nails.	Generic (With current NOA)



NOA No.: 02-0916.12
 Expiration Date: 12/16/07
 Approval Date: 12/19/02
 Page 2 of 5

3. LIMITATIONS

- 3.1 Fire classification is not part of this acceptance.
- 3.2 For mortar or adhesive set tile applications, a static field uplift test in accordance with RAS 106 may be required, refer to applicable building code.
- 3.3 Applicant shall retain the services of a Miami-Dade County Certified Laboratory to perform quarterly test in accordance with TAS 112, appendix 'A'. Such testing shall be submitted to the Building Code Compliance Office for review.
- 3.4 Minimum underlayment shall be in compliance with the applicable Roofing Applications Standards listed section 4.1 herein.
- 3.5 30/90 hot mopped underlayment applications may be installed perpendicular to the roof slope unless stated otherwise by the underlayment material manufacturers published literature.
- 3.6 This acceptance is for wood deck applications. Minimum deck requirements shall be in compliance with applicable building code.

4. INSTALLATION

- 4.1 Hanson Spanish 'S' Roof Tile and its components shall be installed in strict compliance with Roofing Application Standard RAS 118,119, & 120.
- 4.2 Data For Attachment Calculations

Table 1: Aerodynamic Multipliers - λ (ft ³)	
Tile Profile	λ (ft ³) Direct Deck Application
Hanson Spanish 'S'	0.263

Table 2: Restoring Moments due to Gravity - M_g (ft-lbf)					
Tile Profile	3": 12"	4": 12"	5": 12"	6": 12"	7": 12"
Hanson Spanish 'S'	Direct Deck 8.58	DirectDeck 8.44	DirectDeck 8.27	DirectDeck 8.07	DirectDeck 7.84

Table 3: Attachment Resistance Expressed as a Moment - M_r (ft-lbf) For Nail-On Systems			
Tile Profile	Fastener Type	Direct Deck (min 15/32" plywood)	Direct Deck (min. 19/32" plywood)
Hanson Spanish 'S'	2-10d Ring Shank Nails	28.6	41.2
	1-10d Smooth or Screw Shank Nail	5.1	6.8
	2-10d Smooth or Screw Shank Nails	6.9	9.2
	1 #8 Screw	20.7	20.7
	2 #8 Screws	43.2	43.2
	1-10d Smooth or Screw Shank Nail (Field Clip)	23.1	23.1



	1-10d Smooth or Screw Shank Nail (Eave Clip)	29.3	29.3
	2-10d Smooth or Screw Shank Nails (Field Clip)	27.6	27.6
	2-10d Smooth or Screw Shank Nails (Eave Clip)	38.1	38.1

Table 4: Attachment Resistance Expressed as a Moment M_r (ft-lbf) For Two Patty Adhesive Set Systems		
Tile Profile	Tile Application	Minimum Attachment Resistance
Hanson Spanish 'S'	Adhesive	29.3 ¹
¹ See manufactures component approval for installation requirements. ² Flexible Products Company TileBond Average weights per patty 10.7 grams. Polyfoam Product, Inc. Average weight per patty 8 grams.		

Table 4A: Attachment Resistance Expressed as a Moment - M_r (ft-lbf) For Single Patty Adhesive Set Systems		
Tile Profile	Tile Application	Minimum Attachment Resistance
Hanson Spanish 'S'	Polyfoam PolyPro™	66.5 ³
	Polyfoam PolyPro™	38.7 ⁵
³ Large patty placement of 63grams of PolyPro™. ⁵ Medium patty placement of 24grams of PolyPro™.		

Table 4B: Attachment Resistance Expressed as a Moment - M_r (ft-lbf) For Mortar Set Systems		
Tile Profile	Tile Application	Attachment Resistance
Hanson Spanish 'S'	Mortar Set	24.5

5. LABELING

All tiles shall bear the imprint or identifiable marking of the manufacturer's name or logo, or following statement: "Miami-Dade County Product Control Approved".

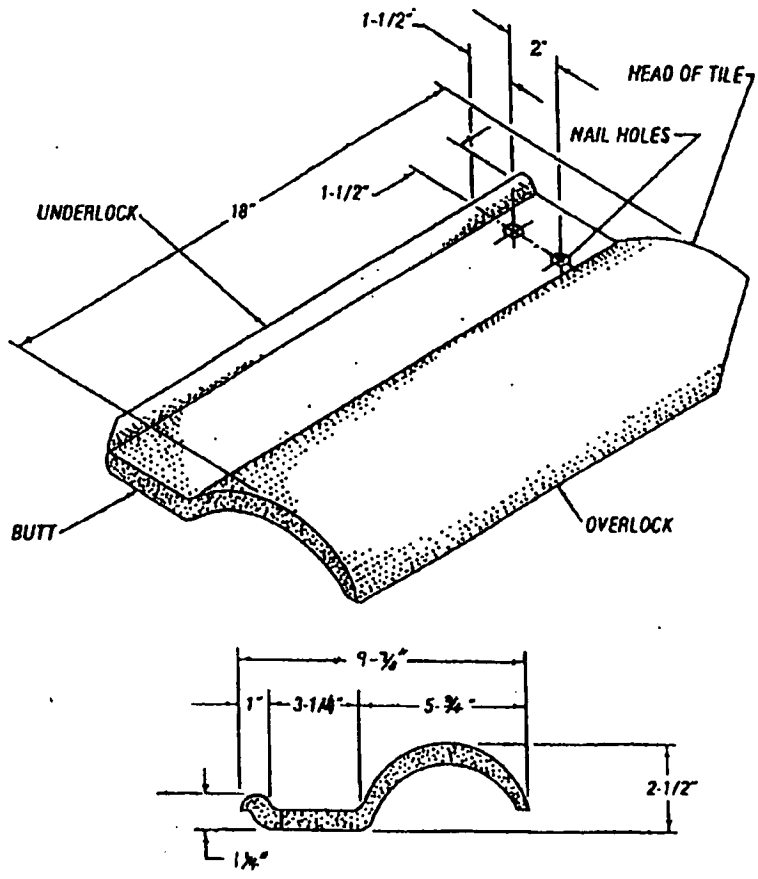
6. BUILDING PERMIT REQUIREMENTS

6.1 Application for building permit shall be accompanied by copies of the following:

- 6.1.1 This Notice of Acceptance.
- 6.1.2 Any other documents required by the Building Official or applicable building code in order to properly evaluate the installation of this system.



PROFILE DRAWINGS



HANSON SPANISH 'S' ROOF TILE

END OF THIS ACCEPTANCE



NOA No.: 02-0916.12
Expiration Date: 12/16/07
Approval Date: 12/19/02
Page 5 of 5



MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Eastern Metal Supply, Inc.
3600 23rd Ave., South
Lake Worth FL 33461

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

Your application for Product Approval of:

0.050" Bertha Aluminum Storm Panel Shutter

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This approval shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 00-0602.04

Expires: 08/07/2003

Raul Rodriguez
Chief Product Control Division

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.
Director

Miami-Dade County
Building Code Compliance Office

Approved: 08/17/2000

1 of 3



Eastern Metal Supply, Inc.

ACCEPTANCE No. : 00-0602.04

APPROVED : AUG 17 2000

EXPIRES : 08/07/2003

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

1. SCOPE

This renews the Notice of Acceptance No. 98-0817.16, which was issued on October 8, 1998. It approves an Aluminum Storm Panel Shutter, as described in Section 2 of this Notice of Acceptance, designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County, for the locations where the pressure requirements, as determined by SFBC Chapter 23, do not exceed the Design Pressure Rating values indicated in the approved drawings.

2. PRODUCT DESCRIPTION

This Aluminum Storm Panel shutter and its components shall be constructed in strict compliance with the following documents: Drawing No. 98-172, titled "0.050" Bertha Storm Panel", prepared by Tilteco, Inc., dated July 7, 1998, last revision #1 dated July 7, 1998, sheets 1 through 8 of 8, signed and sealed by Walter A. Tillit Jr., P.E., bearing the Miami-Dade County Product Control Approval and Renewal stamps with the Notice of Acceptance numbers and approval dates by the Miami-Dade County Product Control Division. These documents shall hereinafter be referred to as the approved drawings.

3. LIMITATIONS

All permanent set components, included but not limited to embedded anchor bolts, threaded cones, metal shields, headers and sills, must be protected against corrosion, contamination and damage at all times.

4. INSTALLATION

This Aluminum Storm Panel Shutter and its components shall be installed in strict compliance with the approved drawings.

5. LABELING

Each panel shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved".

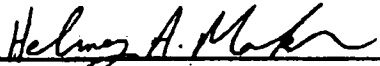
6. BUILDING PERMIT REQUIREMENTS

6.1 Application for building permit shall be accompanied by copies of the following:

6.1.1 This Notice of Acceptance.

6.1.2 Duplicate copies of the approved drawings, as identified in Section 2 of this Notice of Acceptance, clearly marked to show the components selected for the proposed installation.

6.1.3 Any other documents required by the Building Official or the South Florida Building Code (SFBC) in order to properly evaluate the installation of this system.



Helmy A. Makar, P.E. -Product Control Examiner
Product Control Division

Eastern Metal Supply, Inc.

ACCEPTANCE No. : 00-0602.04

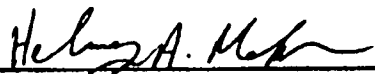
APPROVED : AUG 17 2000

EXPIRES : 08/07/2003

NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documents, including test-supporting data, engineering documents, are no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
 - a. There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes.
 - b. The product is no longer the same product (identical) as the one originally approved.
 - c. If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product.
 - d. The engineer, who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
 - a. Unsatisfactory performance of this product or process.
 - b. Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.
6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engineer need not reseal the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Notice of Acceptance consists of pages 1, 2 and this last page 3.

END OF THIS ACCEPTANCE



Helmy A. Makar, P.E. -Product Control Examiner
Product Control Division



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Therma-Tru Corporation
1687 Woodlands Drive
Maumee, OH 43537

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by the BCCO and accepted by the Building Code and Product Review Committee (BCPRC) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The BCCO (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BCPRC reserves the right to revoke this acceptance, if it is determined by BCCO that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County or Florida Building Code.

DESCRIPTION: ~~Series 4 Premium and Construction Outswing 6 Panel Steel Door~~

APPROVAL DOCUMENT: Drawing No. B0091, titled "6/0 x 8/0 Steel Outswing Double Door", sheets 1 through 3, prepared by manufacturer, dated 3/16/99, bearing the Miami-Dade County Product Control Renewal stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: None

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

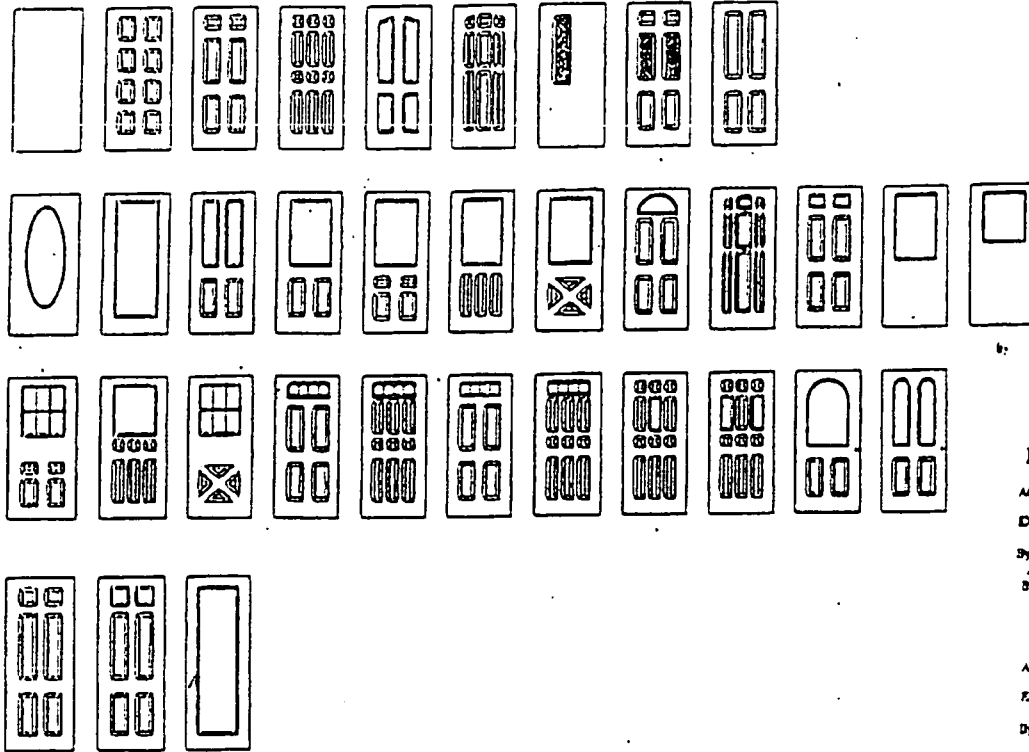
INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 01-0209.02 and, consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Raul Rodriguez.



NOA No 02-0129.01
Expiration Date: February 28, 2007
Approval Date: February 28, 2002
Page 1

KEY	DESCRIPTION	DATE
C	REVISED ONG PER OCGO PRODUCT CONTROL DIVISION	1-21-99
D	REVISED SHEET 2.	2-
E	REVISED SHEET 1 & 2.	3-10-99



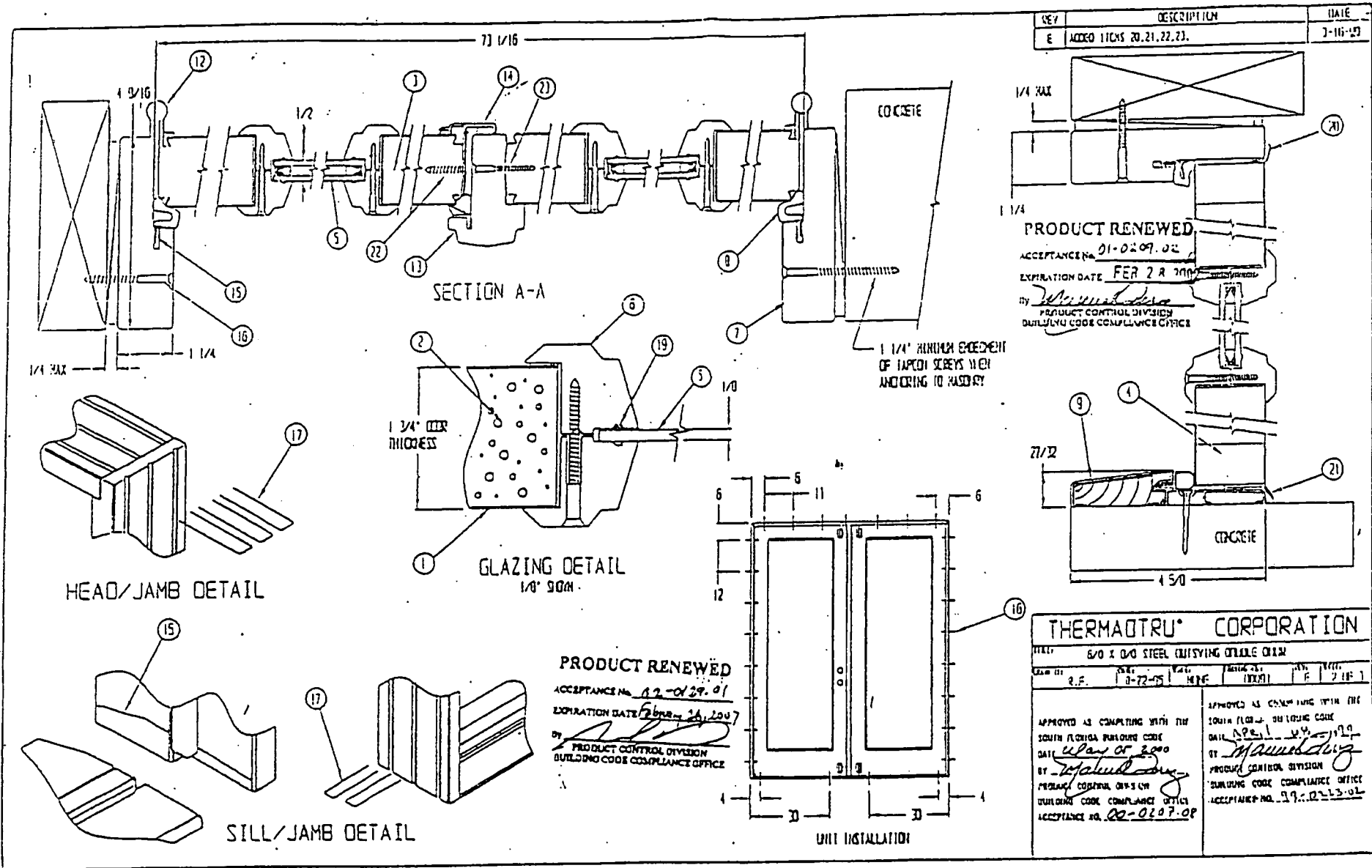
PRODUCT RENEWED

ACCEPTANCE NO. 01-0129.01
 EXPIRATION DATE February 28, 2007
 BY [Signature]
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE

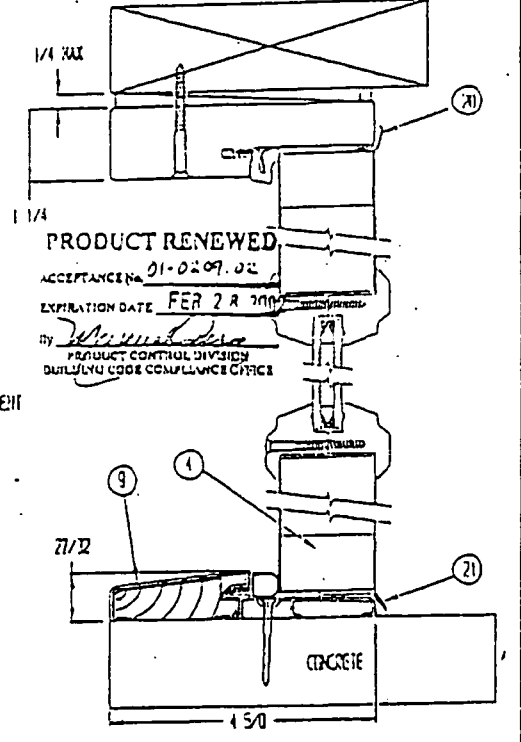
PRODUCT RENEWED

ACCEPTANCE NO. 01-0209.02
 EXPIRATION DATE FEB 28 2002
 BY Wanda Lutz
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE

THERMAOTRU CORPORATION						
ITEM	QTY	UNIT	DATE	BY	OFFICE	REMARKS
60 X 60 STEEL GLAZING (GLASS UNIT)						
APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE						
DATE <u>APR 21 02</u>						
BY <u>Wanda Lutz</u>						
PRODUCT CONTROL DIVISION						
BUILDING CODE COMPLIANCE OFFICE						
ACCEPTANCE NO. <u>00-0307.01</u>						



KEY	DESCRIPTION	DATE
E	ADDED THICKS 20,21,22,23.	7-16-97



PRODUCT RENEWED
 ACCEPTANCE NO. 02-0207.01
 EXPIRATION DATE FEB 28 2000
 BY [Signature]
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE

THERMATRU CORPORATION	
5/0 X 0/0 STEEL GLAZING DOUBLE DRUM	
DATE: 8-2-97	BY: [Signature]
APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE	DATE: APR 1 1999
BY: [Signature]	BY: [Signature]
PRODUCT CONTROL DIVISION	PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE	BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 02-0207.01	ACCEPTANCE NO. 99-0213-01



MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT DIVISION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 375-6339

PRODUCT CONTROL NOTICE OF ACCEPTANCE

PGT Industries
1070 Technology Drive
Nakomis, FL 34275

Your application for Notice of Acceptance (NOA) of:
Series of ~~SH-4000~~ ~~Aluminum Single Hung Windows~~
under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 01-0516.10
EXPIRES: 09/30/2006

Raul Rodriguez
Chief Product Control Division

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL
CONDITIONS
BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

APPROVED: 09/30/2001

PGT Industries

ACCEPTANCE No.: 01-0516.10

APPROVED : September 30, 2001

EXPIRES : September 30, 2006

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

1. **SCOPE**
 - 1.1 This approves an aluminum single hung window, as described in Section 2 of this Notice of Acceptance, designed to comply with the South Florida Building Code (SFBC), 1994 Edition for Miami-Dade County, for the locations where the pressure requirements, as determined by SFBC Chapter 23, do not exceed the Design Pressure Rating values indicated in the approved drawings.
2. **PRODUCT DESCRIPTION**
 - 2.1 The Series "SH-4000" Aluminum Single Hung Window and its components shall be constructed in strict compliance with the following documents: Drawing No 2736, titled "Aluminum Single Hung Window" Sheets 1 through 8 of 8 dated 04/18/01 and last revised on 08-31-2001, signed and sealed by Robert L. Clark, P.E., bearing the Miami-Dade County Product Control approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division. These documents shall hereinafter be referred to as the approved drawings.
3. **LIMITATIONS**
 - 3.1 This approval applies to single unit applications only, as shown in approved drawings.
4. **INSTALLATION**
 - 4.1 The aluminum single hung window and its components shall be installed in strict compliance with the approved drawings.
 - 4.2 Hurricane protection system (shutters): the installation of this unit will require a hurricane protection system.
5. **LABELING**
 - 5.1 Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved".
6. **BUILDING PERMIT REQUIREMENTS**
 - 6.1 Application for building permit shall be accompanied by copies of the following:
 - 6.1.1 This Notice of Acceptance
 - 6.1.2 Duplicate copies of the approved drawings, as identified in Section 2 of this Notice of Acceptance, clearly marked to show the components selected for the proposed installation.
 - 6.1.3 Any other documents required by the Building Official or the South Florida Building Code (SFBC) in order to properly evaluate the installation of this system.

Ishaq I. Chanda
Ishaq I. Chanda, P.E. Product Control Examiner
Product Control Division

PGT Industries

ACCEPTANCE No.: 01-0516.10

APPROVED : September 30, 2001

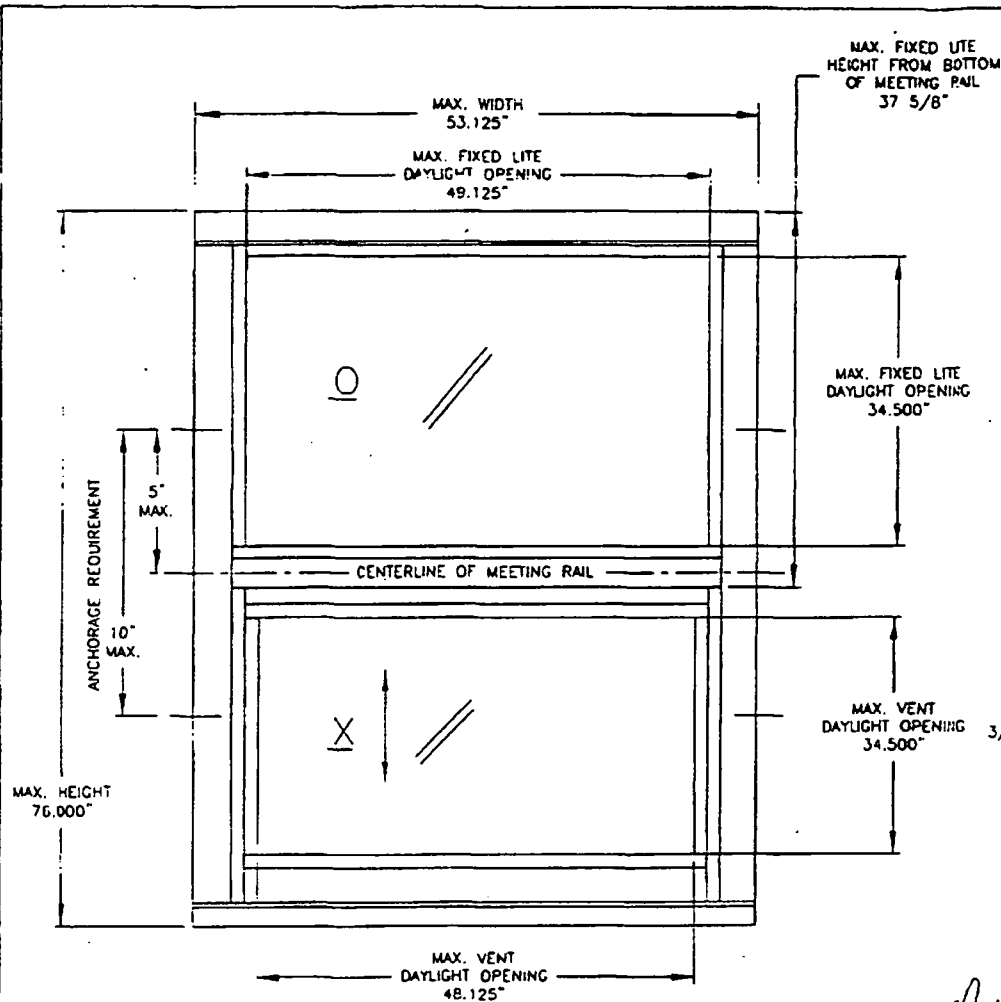
EXPIRES : September 30, 2006

NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
 - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
 - b) The product is no longer the same product (identical) as the one originally approved;
 - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
 - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
 - a) Unsatisfactory performance of this product or process.
 - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purpose.
6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engineer need not reseal the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Notice of Acceptance consists of pages 1, 2 and this last page 3.

Ishaq I. Chanda
Ishaq I. Chanda, P.E. Product Control Examiner
Product Control Division

END OF THIS ACCEPTANCE



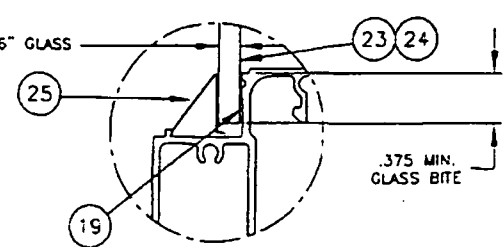
COMPARATIVE ANALYSIS FOR: GLASS 3/16 TEMPERED PTL 2959

Window	Window Height							
	28.000 (2)		34.375 (4)		50.625 (4)		76.000 (8)	
Width	neg	pos	neg	pos	neg	pos	neg	pos
18.125 (2)	-125.00	96.67	-125.00	96.67	-131.80	96.67	-84.83	96.67
24.000 (2)	-125.00	96.67	-125.00	96.67	-124.29	96.67	-84.83	96.67
28.900 (2)	-125.00	96.67	-125.00	96.67	-123.09	96.67	-82.11	96.67
32.000 (3)	-125.00	96.67	-125.00	96.67	-123.09	96.67	-80.04	96.67
37.000 (3)	-125.00	96.67	-125.00	96.67	-115.74	96.67	-80.04	96.67
40.000 (3)	-125.00	96.67	-123.25	96.67	-93.04	96.67	-80.04	96.67
44.000 (3)	-125.00	96.67	-106.03	96.67	-80.99	96.67	-80.04	96.67
48.000 (3)	-122.50	96.67	-86.78	96.67	-78.72	96.67	-70.21	96.67
53.125 (4)	-117.70	96.67	-83.34	96.67	-49.82	96.67	-60.58	96.67

COMPARATIVE ANALYSIS FOR: GLASS 3/16 ANNEALED PTL 2960

Window	Window Height							
	28.000 (2)		34.375 (4)		50.625 (4)		76.000 (8)	
Width	neg	pos	neg	pos	neg	pos	neg	pos
18.125 (2)	-120.00	96.67	-120.00	96.67	-129.00	96.67	-84.83	96.67
24.000 (2)	-120.00	96.67	-120.00	96.67	-120.00	96.67	-84.83	96.67
28.900 (2)	-120.00	96.67	-120.00	96.67	-120.00	96.67	-82.11	96.67
32.000 (3)	-120.00	96.67	-120.00	96.67	-101.70	96.67	-80.04	96.67
37.000 (3)	-120.00	96.67	-120.00	96.67	-88.40	96.67	-70.90	96.67
40.000 (3)	-120.00	96.67	-118.84	96.67	-80.99	96.67	-80.04	96.67
44.000 (3)	-120.00	96.67	-108.00	96.67	-73.10	96.67	-80.04	96.67
48.000 (3)	-120.00	96.67	-86.78	96.67	-64.80	96.67	-80.04	96.67
53.125 (4)	-117.70	96.67	-83.34	96.67	-49.80	96.67	-67.90	96.67

COMPARATIVE ANALYSIS NOTES:
 1.) Numbers in () represent the quantity of anchors per site.
 2.) Negative Design Loads based on Comparative Analysis and Glass Table ASTM E1300.
 3.) Positive Design Loads based on Comparative Analysis and Water Test Pressure.
 4.) Numbers are for #10 screws or 3/16" Tapcons. (#12 screws may be used instead of #10's)
 5.) Anchors 5.00" max. from each corner and 5.00" max. on other side of meeting rail.
 Max. anchor spacing of 16" at jambes and 20" at head and sill.



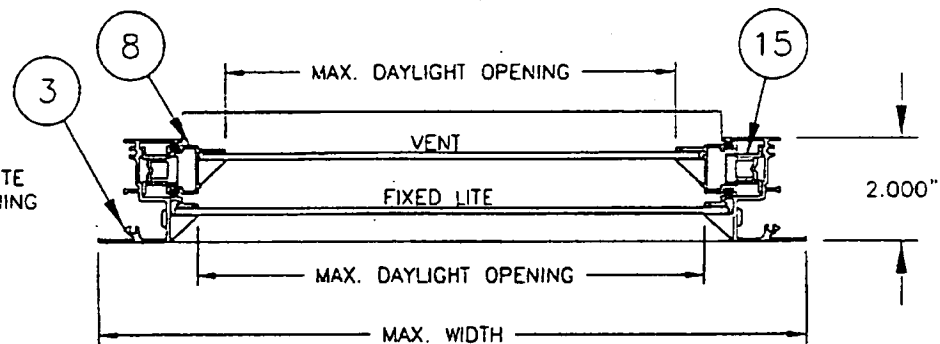
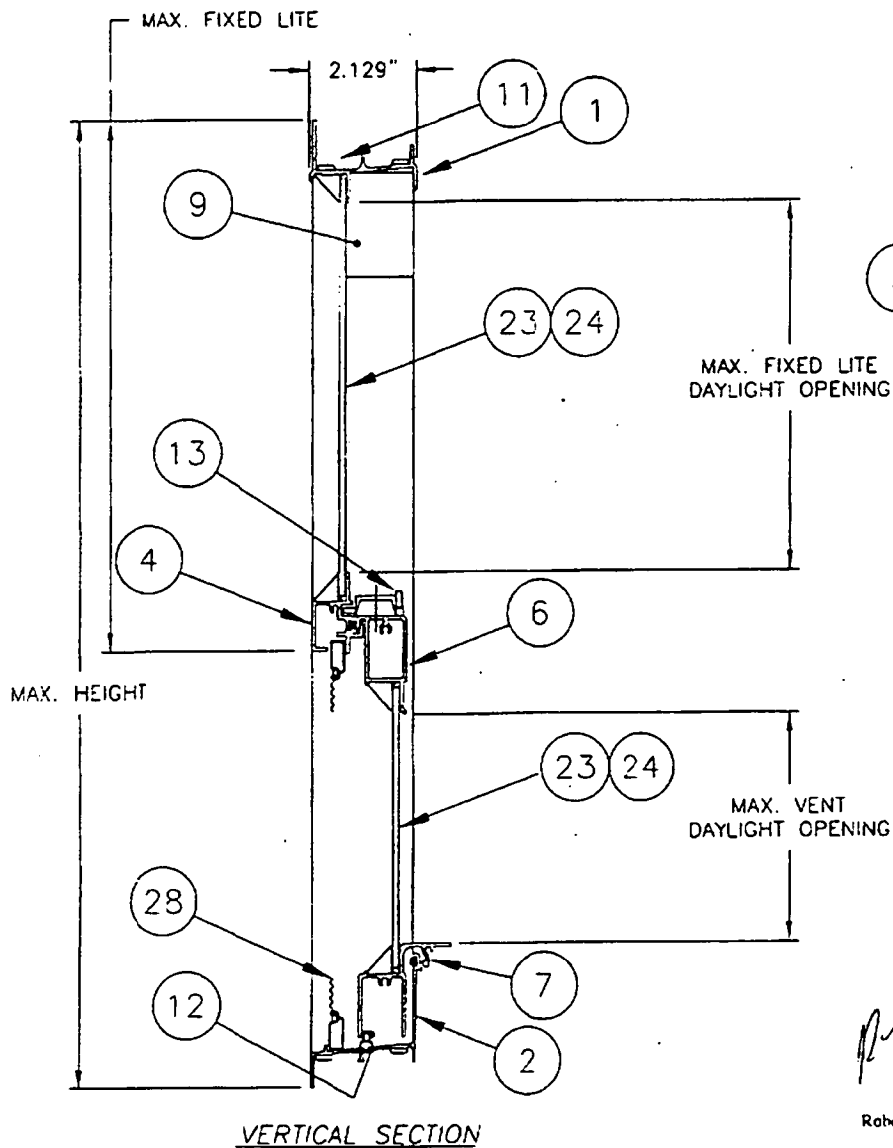
3/16 GLAZING DETAIL

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE DATE SEPTEMBER 30, 2001 BY ISLAQ I. CHANEK PRODUCT CONTROL DIVISION BUILDING CODE COMPLIANCE OFFICE ACCEPTANCE NO 01-051610

- NON-IMPACT WINDOWS**
- TEST REPORT, GLAZING, MAXIMUM SIZE
 - FTL-2959, 3/16" TEMPERED, 53.125 x 76.000
 - FTL-2960, 3/16" ANNEALED, 53.125 x 76.000
 - SHUTTERS ARE REQUIRED AT ALL INSTALLATIONS
 - SEE SHEET 2 OF 8 FOR SECTION DETAILS

R. L. Clark
 8/31/01
 Robert L. Clark, P.E.
 PE #39712
 Structural

P&T INDUSTRIES	Drawn By: F.K.	Revised By/Date: F.K. 8/31/01	Revisions: REDRAWN
	Description: FLANGED W/ 3/16T OR 3/16A GLASS		
Title: ALUMINUM SINGLE HUNG WINDOW (TG-A)			
1070 TECHNOLOGY DRIVE NOKOMIS, FL 34275	P.O. BOX 1529 NOKOMIS, FL 34274	Series/Model: SH-4000	Scale: NTS Sheet: 1 of 8 Drawing no. 2736 Rev: A



HORIZONTAL SECTION

NON-IMPACT WINDOWS

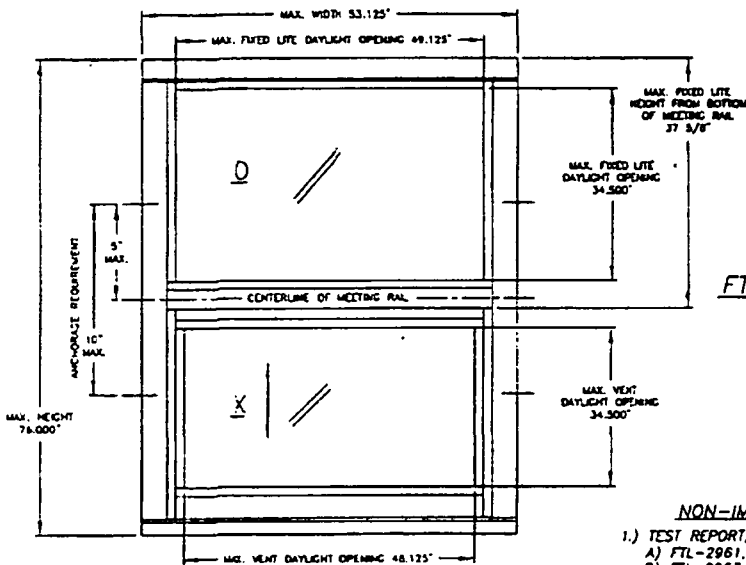
- 1.) TEST REPORT, GLAZING, MAXIMUM SIZE
 - A) FTL-2959, 3/16" TEMPERED, 53.125 x 76.000
 - B) FTL-2960, 3/16" ANNEALED, 53.125 x 76.000
- 2.) SHUTTERS ARE REQUIRED AT ALL INSTALLATIONS

APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE SEP 30, 2001
 BY Isaac L. Glavin
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 01-0516.10

Robert L. Clark
 4/31/01

Robert L. Clark, P.E.
 PE #39712
 Structural

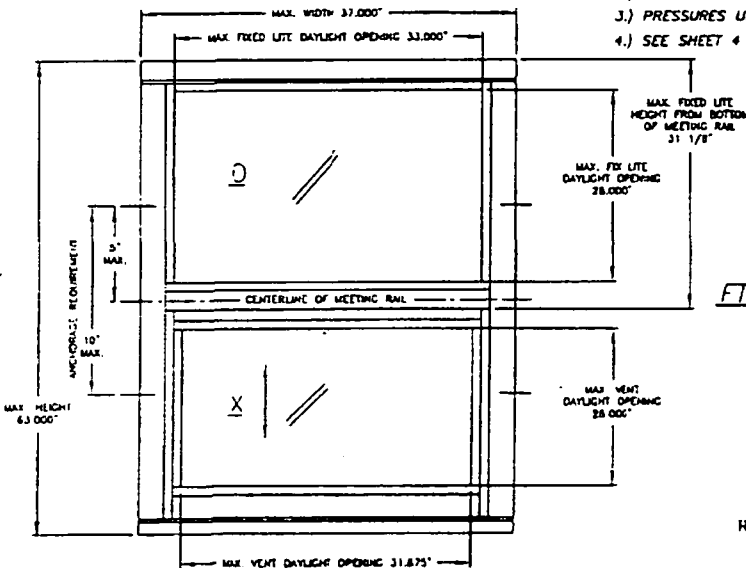
PGT INDUSTRIES	Revised By: Date: F.K. 8/31/01	Revisions: REDRAWN
	Drawn By: F.K.	Date: 4/18/01
Description: SECTIONS FROM SHEET 1, 3/16 GLASS		
Title: ALUMINUM SINGLE HUNG WINDOW (TG-A)		
1070 TECHNOLOGY DRIVE MOKOMIS, FL 34275	P.O. BOX 1529 MOKOMIS, FL 34274	Series/Model: SH-4000
Scale: NTS	Sheet: 2 of 8	Drawing No. 2736
		Rev: A



FTL-2961

NON-IMPACT WINDOWS

- 1.) TEST REPORT, GLAZING, MAXIMUM SIZE
 - A) FTL-2961, 1/8" DOUBLE STRENGTH ANNEALED, 53.125 x 76.000
 - B) FTL-2963, 1/8" DOUBLE STRENGTH ANNEALED, 37.000 x 63.000
- 2.) SHUTTERS ARE REQUIRED AT ALL INSTALLATIONS
- 3.) PRESSURES UNDER 40 PSF ARE NOT APPLICABLE IN MIAMI-DADE COUNTY
- 4.) SEE SHEET 4 OF 8 FOR SECTION DETAILS



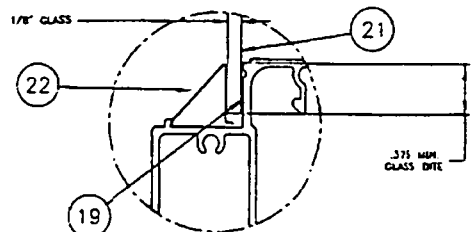
FTL-2963

Window		Window Height									
		28.000 (4)		38.375 (4)		50.625 (4)		63.000 (8)		76.000 (8)	
Width		neg	pos	neg	pos	neg	pos	neg	pos	neg	pos
18.125 (2)		-78.00	84.67	-78.00	84.67	-78.00	84.67	-86.78	84.67	-43.81	43.81
24.000 (2)		-78.00	84.67	-78.00	84.67	-74.80	84.67	-86.91	84.67	-38.18	34.18
28.800 (2)		-78.00	84.67	-78.00	84.67	-70.86	84.67	-86.37	84.67	-36.33	34.33
32.800 (2)		-78.00	84.67	-77.80	84.67	-67.48	84.67	-86.82	84.67	-33.84	33.84
37.000 (2)		-78.00	84.67	-64.80	84.67	-68.88	84.67	-83.70	84.67	-33.02	33.02
40.000 (2)		-78.00	84.67	-63.80	84.67	-68.38	84.67	-80.30	84.67	-33.06	33.06
44.000 (2)		-78.00	84.67	-67.80	84.67	-68.88	84.67	-86.70	84.67	-32.80	32.80
48.000 (2)		-78.00	84.67	-68.10	84.67	-68.38	84.67	-83.70	84.67	-32.80	32.80
53.125 (4)		-78.00	84.67	-63.80	84.67	-68.38	84.67	-86.78	84.67	-37.60	37.60

Window		Window Height							
		28.000 (4)		38.375 (4)		50.625 (4)		63.000 (8)	
Width		neg	pos	neg	pos	neg	pos	neg	pos
18.125 (2)		-78.00	84.67	-78.00	84.67	-78.00	84.67	-86.80	84.67
24.000 (2)		-78.00	84.67	-78.00	84.67	-78.00	84.67	-86.80	84.67
28.800 (2)		-78.00	84.67	-78.00	84.67	-70.80	84.67	-86.80	84.67
32.800 (2)		-78.00	84.67	-67.80	84.67	-67.40	84.67	-80.80	84.67
37.000 (2)		-78.00	84.67	-64.80	84.67	-68.40	84.67	-83.70	84.67

COMPARATIVE ANALYSIS NOTES:

- 1.) Numbers in () are number of anchors per sash.
- 2.) Negative Design Loads based on Comparative Analysis and Glass Table ASTM 6130C.
- 3.) Positive Design Loads based on Comparative Analysis and Water Test Procedure.
- 4.) Numbers are for #10 screws or #16" Tapscon. (#12 screws may be used instead of #10's)
- 5.) Anchors 3.00" max. from each corner and 3.00" max. on other side of meeting rail.
Max. anchor spacing of 18" at joints and 20" at head and sill.

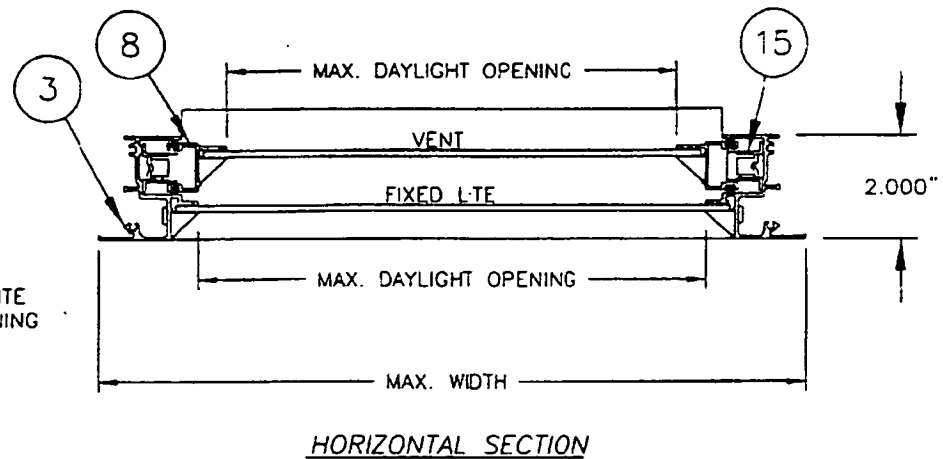
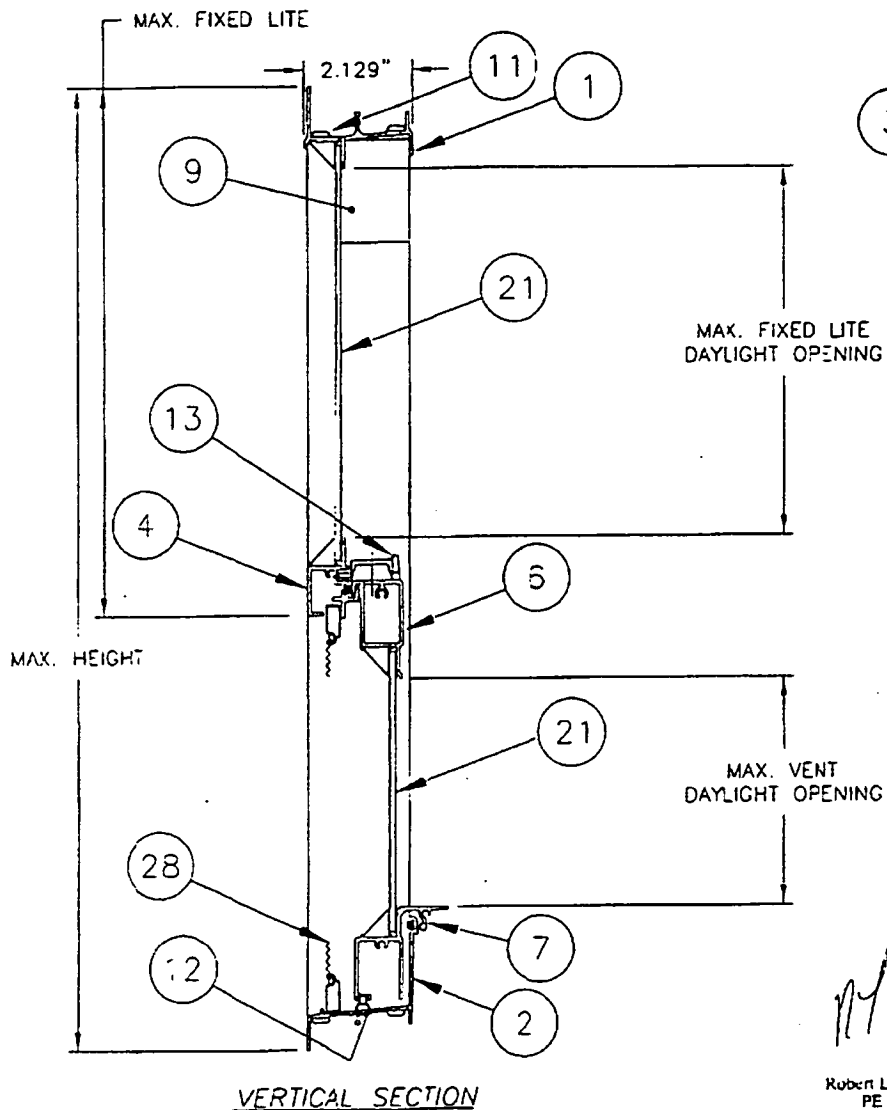


1/8" GLAZING DETAIL

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE
DATE SEP 30, 2001
BY 1 shag / hand
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO 01-051610

Robert L. Clark
8/31/01
Robert L. Clark, P.E.
PE #39712
Structural

P&T INDUSTRIES	Drawn By: F.K.	Revised By/Date: F.K. 8/31/01	Revisions: REDRAWN
	Date: 4/18/01		
Description: FLANGED W/ DSB GLASS			
Title: ALUMINUM SINGLE HUNG WINDOW (TG-A)			
1070 TECHNOLOGY DRIVE MOKOMIS, FL 34275	P.O. BOX 1529 MOKOMIS, FL 34276	Series/Model: SH-400C	Scale: NTS
		Sheet: 3 of 8	Drawing No. 2736
			Rev: A



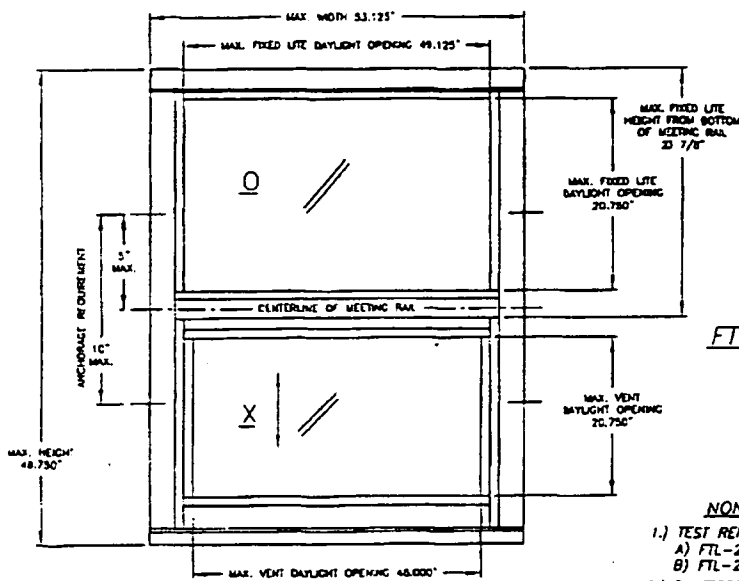
NON-IMPACT WINDOWS

- 1.) TEST REPORT, GLAZING, MAXIMUM SIZE
 - A) FTL-2961, 1/8" DOUBLE STRENGTH ANNEALED, 53.125 x 76.000
 - B) FTL-2963, 1/8" DOUBLE STRENGTH ANNEALED, 37.000 x 63.000
- 2.) SHUTTERS ARE REQUIRED AT ALL INSTALLATIONS

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE SEP 30, 2001
BY Shawn L. Charulo
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 01-0516-10

Robert L. Clark
4/31/01
Robert L. Clark, P.E.
PE #39712
Structural

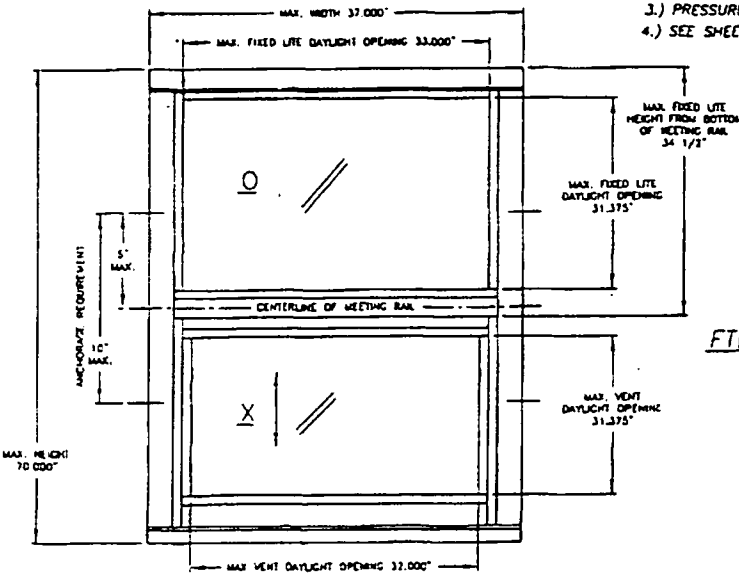
PGT INDUSTRIES	Revised By/Date: F.K. 10/31/01	Revisions: REDRAWN
	Drawn By: F.K.	Date: 4/18/01
Description: SECTIONS FROM SHEET 3, 1/8 GLASS		
Title: ALUMINUM SINGLE HUNG WINDOW (TG-A)		
1670 TECHNOLOGY DRIVE NOKOMIS, FL 34275	P.O. BOX 1529 NOKOMIS, FL 34274	Series/Model: SH-4003
Scale: NTS	Sheet: 4 of 8	Drawing No. 2736
		Rev: A



FTL-2962

NON-IMPACT WINDOWS

- 1.) TEST REPORT, GLAZING, MAXIMUM SIZE
 - A) FTL-2962, 3/32" SINGLE STRENGTH ANNEALED, 53.125 x 48.750
 - B) FTL-2964, 3/32" SINGLE STRENGTH ANNEALED, 37.000 x 70.000
- 2.) SHUTTERS ARE REQUIRED AT ALL INSTALLATIONS
- 3.) PRESSURES UNDER 40 PSF ARE NOT APPLICABLE IN MIAMI-DADE COUNTY
- 4.) SEE SHEET 6 OF 8 FOR SECTION DETAILS



FTL-2964

Ruben L. Clark
 Ruben L. Clark, P.E.
 PE #39712
 Structural

COMPARATIVE ANALYSIS FOR GLASS: SSB ANNEALED FTL-2962

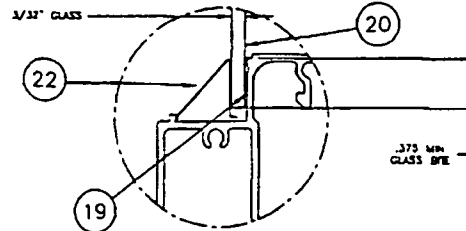
Window Width	Window Height					
	28.000 (4)		36.375 (4)		48.750 (4)	
	neg	pos	neg	pos	neg	pos
18.125 (2)	-78.00	84.67	-88.80	84.68	-36.70	36.70
24.000 (2)	-78.00	84.67	-88.48	84.68	-35.01	35.01
28.800 (2)	-78.00	84.67	-88.48	84.68	-35.00	35.00
32.000 (2)	-68.70	84.67	-88.80	84.00	-34.00	33.00
37.000 (2)	-63.70	84.67	-79.30	83.30	-33.00	33.00
40.800 (2)	-63.88	84.67	-78.90	83.80	-33.80	33.80
44.000 (2)	-68.80	84.67	-70.38	83.30	-36.30	30.30
48.000 (2)	-67.80	84.67	-77.70	87.70	-36.70	36.70
53.125 (4)	-48.80	61.80	-38.00	38.00	-33.60	33.60

COMPARATIVE ANALYSIS FOR GLASS: SSB ANNEALED FTL-2964

Window Width	Window Height									
	28.000 (4)		36.375 (4)		48.750 (4)		63.000 (4)		70.000 (4)	
	neg	pos	neg	pos	neg	pos	neg	pos	neg	pos
18.125 (2)	-78.00	84.67	-78.50	84.67	-61.80	84.67	-48.70	48.70	-42.40	42.40
24.000 (2)	-78.00	84.67	-77.00	84.67	-68.10	88.10	-64.40	64.40	-58.84	58.84
28.800 (2)	-75.00	84.67	-80.70	84.67	-62.80	80.80	-41.00	41.00	-37.10	37.10
32.000 (2)	-68.70	84.67	-48.00	48.00	-43.60	43.60	-33.70	33.70	-32.80	32.80
37.000 (2)	-60.28	84.67	-79.30	83.30	-38.80	38.80	-31.10	31.10	-28.10	28.10

COMPARATIVE ANALYSIS NOTES:

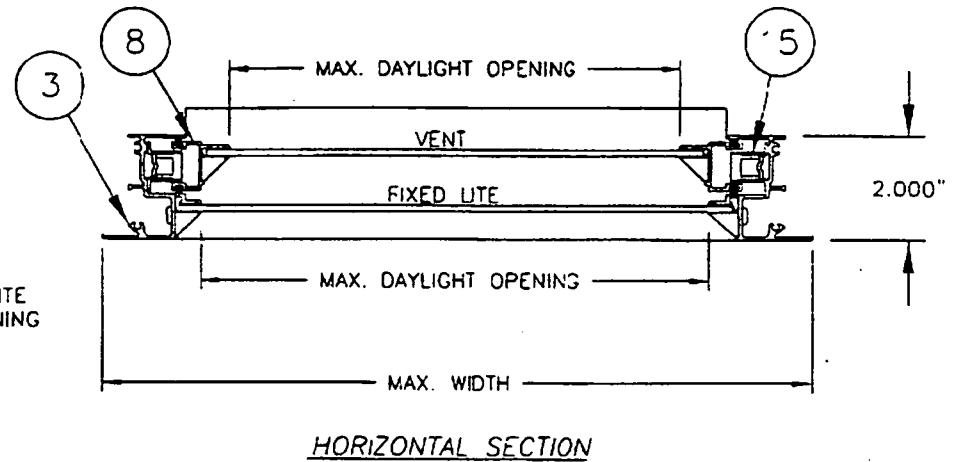
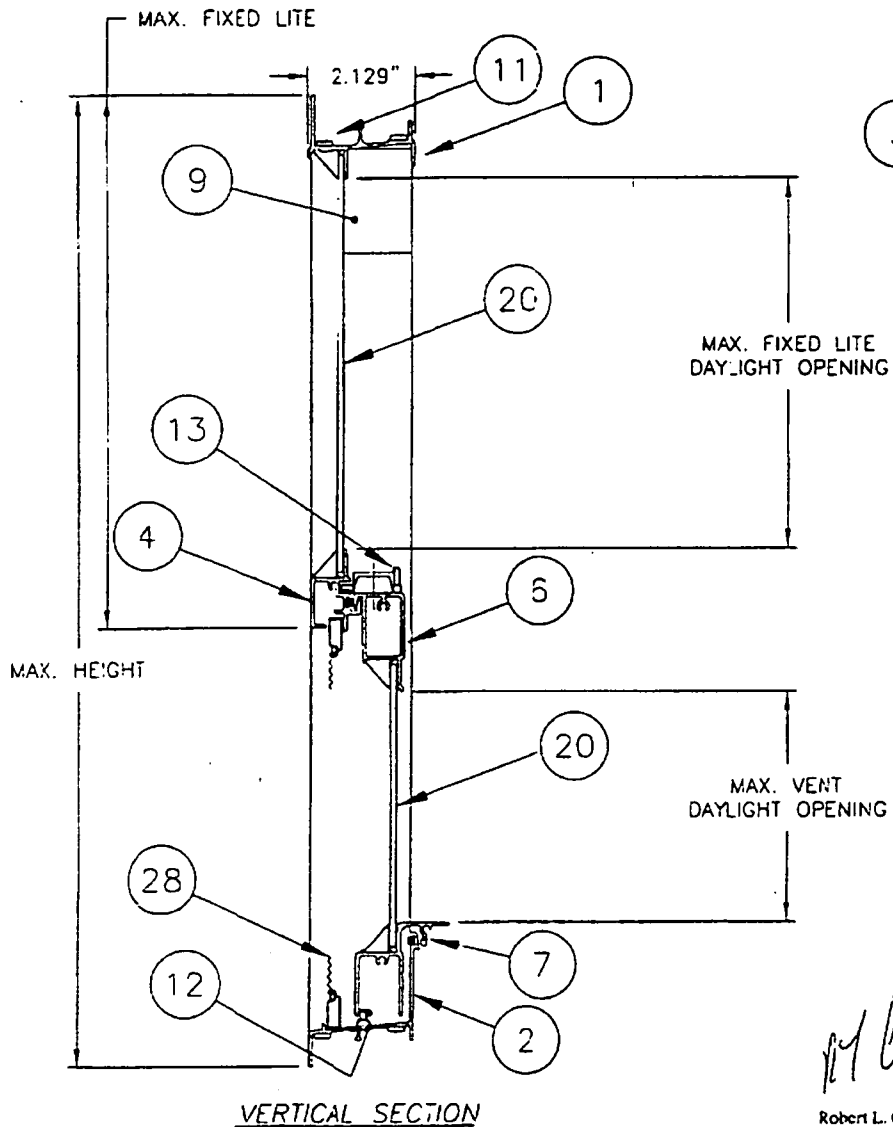
- 1.) Numbers in () represent the strength of anchors per (19).
- 2.) Negative Design Loads based on Comparative Analysis and Glass Table ASTM E1300.
- 3.) Positive Design Loads based on Comparative Analysis and Water Test Pressure.
- 4.) Numbers are for #10 screws or 3/16" Tapcons. (#10 screws may be used instead of #10's)
- 5.) Anchors 5.00" max. from each corner and 5.00" max. on other side of meeting rail.
 Max. anchor spacing of 18" at jamb and 20" at head and sill.



3/32 GLAZING DETAIL

APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE SEP 30, 2001
 BY J. L. Clark
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 01-0516-10

P&T INDUSTRIES	Drawn By:	F.K.	Reviewed:	REDRAWN
	Date:	4/18/01		
Description: FLANGED W/ SSB GLASS				
Title: ALUMINUM SINGLE HUNG WINDOW (TG-A)				
1070 TECHNOLOGY DRIVE NOKOMIS, FL 34275	P.O. BOX 1529 NOKOMIS, FL 34274	Series/Model: SH-400C	Scale: NTS	Sheet: 5 of 8
Drawing No. 2736			Rev.:	A



NON-IMPACT WINDOWS

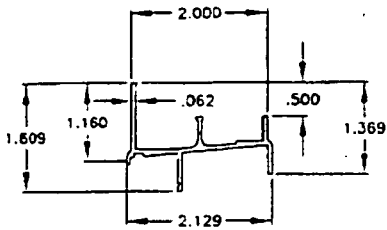
- 1.) TEST REPORT, GLAZING, MAXIMUM SIZE
 - A) FTL-2962, 3/32" SINGLE STRENGTH ANNEALED, 53.125 x 48.750
 - B) FTL-2964, 3/32" SINGLE STRENGTH ANNEALED, 37.000 x 70.000
- 2.) SHUTTERS ARE REQUIRED AT ALL INSTALLATIONS

APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE Sep 30, 2001
 BY Ishag J. Claude
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 01-051640

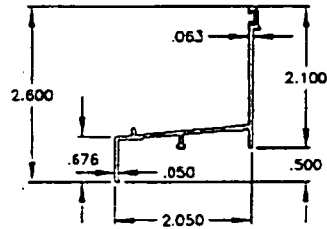
Robert L. Clark
 8/31/01

Robert L. Clark, P.E.
 PE #39712
 Structural

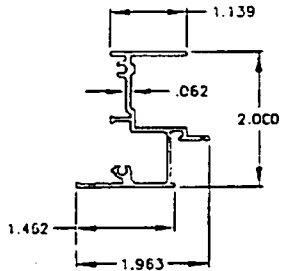
PGT INDUSTRIES	Revised By/Date: F.K. 10/31/01	Revisions: REDRAWN
	Drawn By: F.K. Date: 4/18/01	
Description: SECTIONS FROM SHEET 5, 3/32 GLASS		
Title: ALUMINUM SINGLE HUNG WINDOW (TG-A)		
1070 TECHNOLOGY DRIVE MORRIS, FL 34275	P.O. BOX 1529 MORRIS, FL 34274	Series/Model: SH-4000
Scale: NTS	Sheet: 6 of 8	Drawing No.: 2736
		Rev.: A



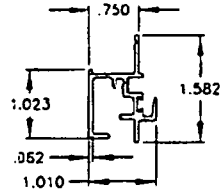
① HEAD EXTRUSION



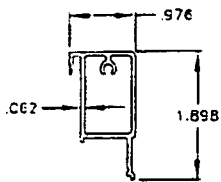
② SILL EXTRUSION



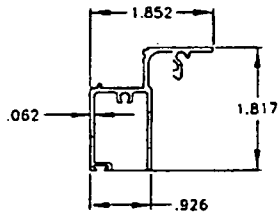
③ JAMB EXTRUSION



④ STANDARD MEETING RAIL

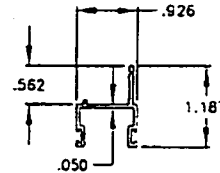


⑥ SASH TOP RAIL EXTRUSION



⑦ SASH BOTTOM RAIL EXTRUSION

⑧ SASH SIDE RAIL EXTRUSION



APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE Sep 30, 2001
BY Isiah J. Clark
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
REFERENCE NO. 01-0516.10

ITEM	DESCRIPTION	PGT #	VENDOR	VENDOR #
1	FLANGED FRAME HEAD	62703	6063-T6	
2	FLANGED FRAME SILL	62704	6063-T6	
3	FLANGED FRAME JAMB	62705	6063-T6	
4	FIXED MEETING RAIL	6534521	6063-T6	534521
6	SASH TOP RAIL	6534522	6063-T6	534522
7	SASH BOTTOM RAIL	6534523	6063-T6	534523
8	SASH SIDE RAIL	6534524	6063-T6	534524
9	SASH STOP	66387	6063-T6	AF-6387
10	SASH CAM INSERT (L.H. & R.H.)	42800	PGT	
11	1/8 x .750 QUAD PAN HEAD SMS	7834PA	SPENCER OR =	
12	WEATHERSTRIP, VINYL BULB W/LEAF	6TP249	TEAM PLASTICS	TP-249
13	SWEEP LATCH	71096	MINIATURE DIE CASTING	PGT.214.XX
14	1/8 x .625 PHILLIPS FLAT HEAD SMS	7858	SPENCER OR =	
15	BALANCE		CALDWELL	
16	WEATHERSTRIP, .187 x .270 FIN	61062	TEAM PLASTICS	FS7826-187
17	WEATHERSTRIP, .187 x .200, FIN	67919	SCHLEGEL	FS7919-187
18	BALANCE TAKE-OUT CLIP	7121UM	CALDWELL	
19	SILICON GLAZING SEALANT	62899	DOW, GE OR EQUAL	
20	SSB 3/32" ANNEALED GLASS			
21	DSB 1/8" ANNEALED GLASS			
22	SSB & DSB GLAZING BEAD	65200	FLORIDA SCREEN OR =	05-200
23	3/16" ANNEALED GLASS			
24	3/16" TEMPERED GLASS			
25	3/16" GLAZING BEAD	65196	FLORIDA SCREEN OR =	05-196
26	1/8 x 1.000 QUAD PAN HEAD SMS	781PO	SPENCER OR =	
27	1" x 1.5" OPEN CELL FOAM PAD			
28	SCREEN ASSEMBLY			

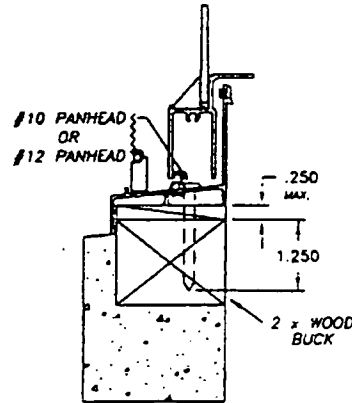
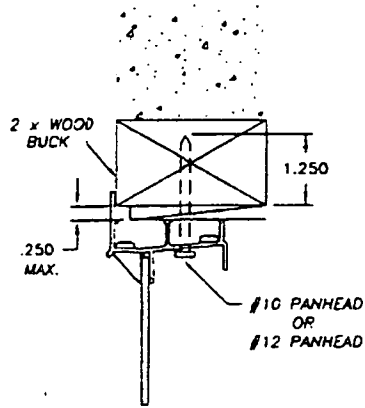
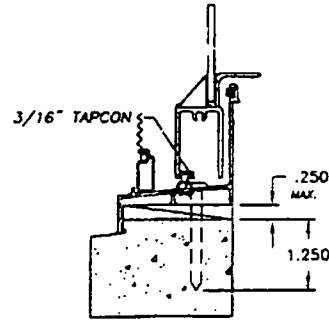
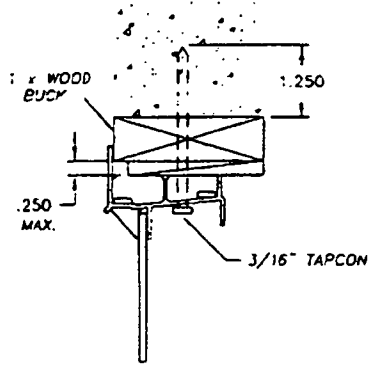
REFERENCE TEST REPORTS:

FTL-2959, FTL-2960, FTL-296:
FTL-2962, FTL-2963, FTL-2964

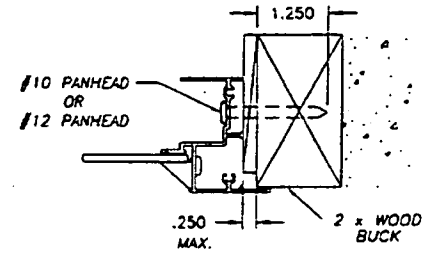
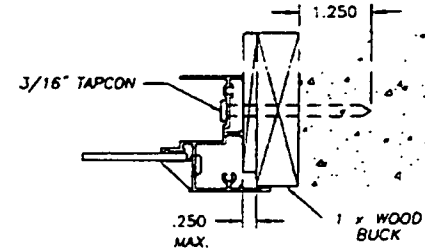
R. L. Clark
8/31/01
Robert L. Clark, P.E.
PE #39712
Structural

PGT INDUSTRIES	Revised By/Date: F.K. 12/31/11	Revisions: REDRAWN
	Drawn By: F.K.	Date: 4/18/01
Description: PROFILES & PARTS LIST		
Title: ALUMINUM SINGLE HUNG WINDOW (TG-A)		
1070 TECHNOLOGY DRIVE NOKOMIS, FL 34275	P.O. BOX 1529 NOKOMIS, FL 34274	Series/Model: SH-4000
Scale: NTS	Sheet: 7 of 8	Drawing No. 2736
		Rev: A

TYPICAL HEAD CONFIGURATIONS



TYPICAL JAMB CONFIGURATIONS



TYPICAL SILL CONFIGURATIONS

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE DATE SEPTEMBER 30, 2001 BY Igha J. Chaudhry PRODUCT CONTROL DIVISION BUILDING CODE COMPLIANCE OFFICE ACCEPTANCE NO. 01-0516-10

NOTES:

- 1.) REFERENCE TEST REPORTS: FTL-2959, FTL-2960, FTL-2961, FTL-2962, FTL-2963, FTL-2964
- 2.) ANCHORS ARE #10 SCREWS OR 3/16" TAPCONS. (#12 SCREWS MAY BE USED INSTEAD)
- 3.) ANCHORS ARE LOCATED 5" MAXIMUM FROM EACH CORNER AND 5" MAXIMUM ON EITHER SIDE OF MEETING RAIL.
MAXIMUM ANCHOR SPACING OF 16" AT JAMBS AND 20" AT HEAD AND SILL.

[Signature]
Robert L. Clark, P.E.
PE #39712
Structural

RGT INDUSTRIES	Revised By: F.K.	Date: 8/31/11	Revisions: REDRAWN
	Drawn By: F.K.	Date: 4/18/01	
Description: ANCHORAGE DETAILS			
Title: ALUMINUM SINGLE HUNG WINDOW (TG-A)			
1070 TECHNOLOGY DRIVE NOKOMIS, FL 34275	P.O. BOX 1529 NOKOMIS, FL 34274	Series/Model: SH-4000	Scale: NTS
		Sheet: 8 of 8	Drawing No. 2736
			Rev: A



MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT DIVISION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Overhead Door Corporation
1900 Crown Drive
Farmers Branch, TX 75234

Your application for Notice of Acceptance (NOA) of:
~~Sectional Steel Door 92 W x 72 H~~

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 00-1106.08
EXPIRES: 12/01/2005

Raul Rodriguez
Chief Product Control Division

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL
CONDITIONS
BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

APPROVED: 03/22/2001

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

1. **SCOPE**

- 1.1 This renews the Notice of Acceptance No. 97-0821.03 that was issued on 12/01/97. It approves a Sectional Steel Door 9' ft wide x 7 ft & 8 ft. high as described in Section 2 of this Notice of Acceptance, designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County (SFBC). For the locations where the pressure requirements, as determined by SFBC Chapter 23, do not exceed the design pressure rating values indicated in the approved drawings.

2. **PRODUCT DESCRIPTION**

- 2.1 The Overhead Sectional Steel 9' ft. Door and its components shall be constructed in strict compliance with the following documents: Drawing No. D-408775, titled "Series 180 Residential Steel Door 46.7 psf. Dade County" prepared by Overhead Door Corp., dated 02/24/94 & 04/08/94 with latest revision on 10/29/97, Sheet 1 to 2 of 2, bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by Miami-Dade Product Control Division. These documents shall hereinafter be referred to as the approved drawings

3. **LIMITATIONS**

- 3.1 Units with dimensions equal to or smaller than those shown on the approved drawings shall qualify under this approval.
- 3.2 This approval requires the manufacturer to do testing of all coils used to fabricate door panels under this Notice of Acceptance. A minimum of 2 specimens shall be cut from each coil and tensile tested according to ASTM E-8 by a Dade County Approved Laboratory selected and paid by the manufacturer. Every 3 months, 4 times a year the manufacturer shall mail to this office a copy of the Test Reports with confirmation that the specimens were selected from coils at the manufacturer's production facilities and a notarized statement from the manufacturer that only coils with a yield strength of 40,000 PSI or more shall be used to make door panels for Dade County under this Notice of Acceptance.

4. **INSTALLATION**


- 4.1 The Sectional Door and its components shall be constructed in strict compliance with the approved drawings.
- 4.2 The installation of this door does not require a Hurricane Protection System

5. **LABELING**

- 5.1 Each door shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved

6. **BUILDING PERMIT**

- 6.1 Building Permit shall be accompanied by copies of the following:
- 6.1.1 This Notice of Acceptance including duplicate copies of the approved drawings as identified in Section 2 of this Notice of Acceptance.
- 6.1.2 Any other document required by the Building Official or the SFBC in order to properly evaluate the installation of this system.


Candido Font, PE, Sr. Product Control Examiner
Product Control Division

Overhead Door Corporation.

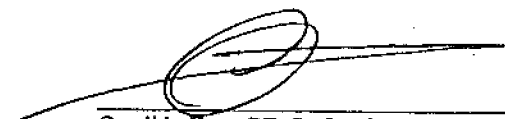
ACCEPTANCE NO.: 00-1106.08

APPROVED: MAR 22 2001

EXPIRES: 12/01/2005

NOTICE OF ACCEPTANCE STANDARD CONDITIONS

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
 - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
 - b) The product is no longer the same product (identical) as the one originally approved;
 - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
 - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
 - a) Unsatisfactory performance of this product or process.
 - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purpose.
6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engineer need not reseal the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Notice of Acceptance consists of pages 1, 2 and this last page 3.


Candido Font, PE, Sr. Product Control Examiner
Product Control Division

END OF THIS ACCEPTANCE

Overhead Door Corporation.

ACCEPTANCE NO: 00-1106.08

APPROVED: MAR 22 2001

EXPIRES: 12/01/2005

NOTICE OF ACCEPTANCE; EVIDENCE SUBMITTED
(For File ONLY. Not part of NOA)

A DRAWINGS

1. Drawing prepared by Overhead Door Corporation titled "Series 180 Residential Steel Door, 46.7 psf. Dade County", Drawing No. D-408775, dated 02/24/94 & 04/08/94 with latest revision on 10/29/97, Sheets 1 to 2 of 2 signed and sealed by L. G. Krupke PE.

B TEST

1. Test Report on Large Missile Impact Test, Cyclic Wind Pressure and Uniform Static Air Pressure Test of "Series 180 Residential Steel Door Design Load - 46.7 psf." prepared by Construction Research Laboratory, Inc. Report No. 6066C dated 06/24/94, signed and sealed by V. M. Tolat, PE.

2.

C CALCULATIONS


1. Calculations for jamb fasteners, prepared by of Overhead Door on 09/06/94, Sheets 1 & 2 signed and sealed by S. Boucher, PE.

D MATERIAL CERTIFICATION

1. Tensile Test Report No. 00-T023 prepared by Hurricane Engineering & Testing, Inc. dated 05/25/00, signed and sealed by H.M. Medina, PE.

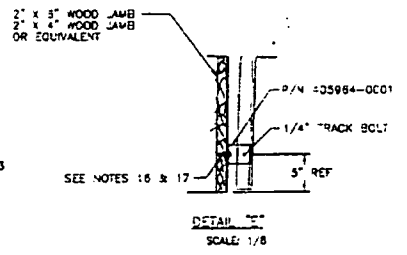
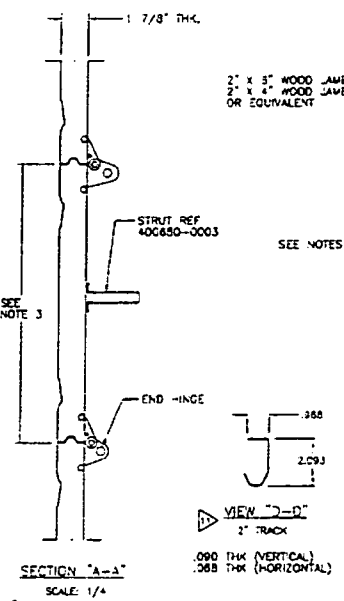
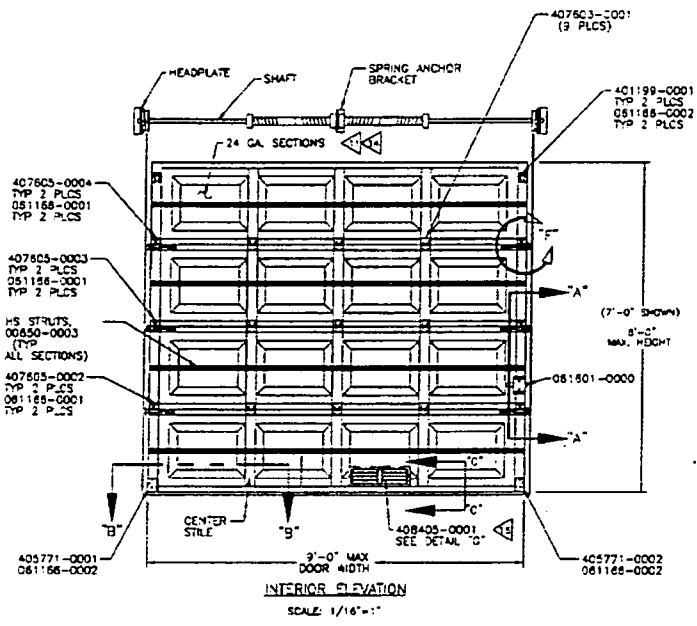
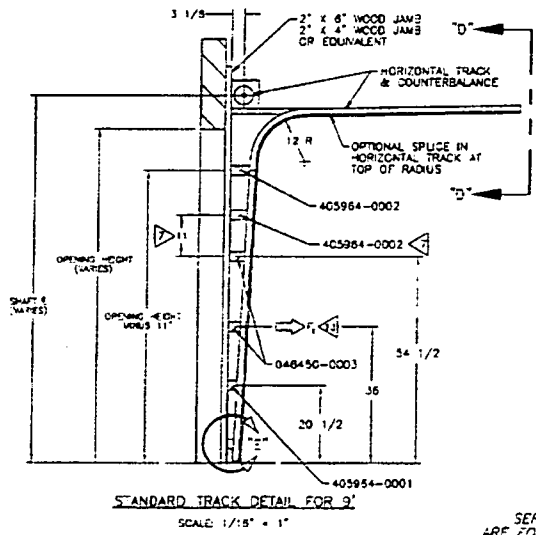
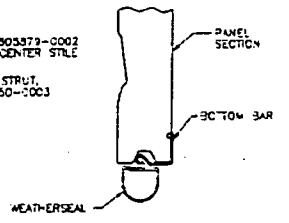
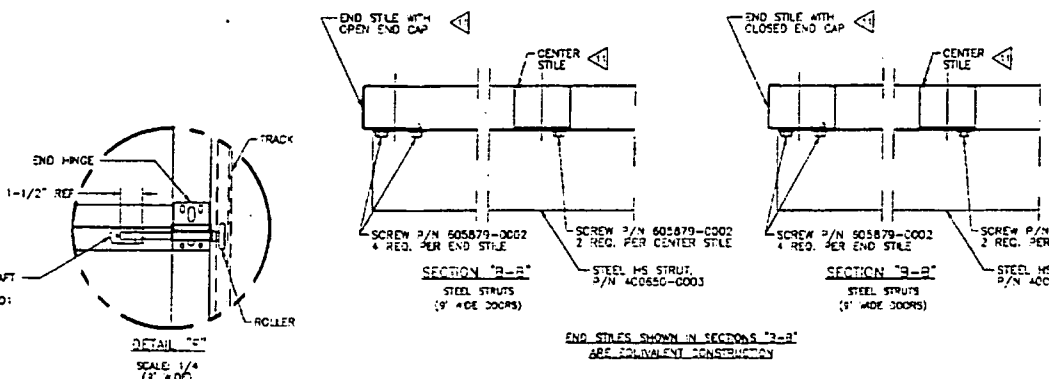
E STATEMENTS

1. Letter of Yield Strength Compliance by Overhead Door Corporation, dated 06/05/2000 signed by L. Krupke PE, and notarized by J.L. Seymour on 06/09/2000.
2. Letter of no change prepared by Overhead Door Corporation, dated 02/13/2001, signed and sealed by L.R. Krupke, PE.


Candido Font, PE, Sr. Product Control Examiner
Product Control Division

REVISIONS			
NO.	DESCRIPTION	DATE	BY
1	REV. FOR 200-21334	12/31/94	SM
2	REV. FOR 200-21335	12/31/94	SM
3	REV. FOR 200-21336	12/31/94	SM

- NOTES**
- REMOVED.
 - FOUR SECTION 7" HIGH DOOR SHOWN. 5" HIGH DOORS HAVE FIVE SECTIONS.
 - SECTION HEIGHT OF 20,812, 19,000 & 16,750 ARE AVAILABLE AND MAY BE USED IN COMBINATION TO ACHIEVE VARIOUS HEIGHT DOORS.
 - EMBOSSEMENT PATTERN OF 14.50 X 20.375 SHOWN. ALTERNATE PATTERNS OF 12.50 X 43.375 AND 12.50 X 20.375 MAY BE USED. DOOR WITHOUT EMBOSSEMENTS ALSO AVAILABLE.
 - TORSION SPRINGS SHOWN. EXTENSION SPRINGS AVAILABLE.
 - RATED DESIGN LOAD = 48.7 P.S.F.
 - USE THIS BRACKET, REF. P/N 405984-0002, ON 2" X 8" HIGH DOORS.
 - 48-2 STRUTS TO BE ATTACHED +/- 5" FROM CENTER LINE OF SECTIONS.
 - TESTED IN ACCORDANCE WITH DADE COUNTY PROTOCOLS PA 201-94, PA 202-94, & PA 203-94.
 - REMOVED.
 - ASTM A-527 40,000 PSI MIN. YIELD PER 505753.
 - JAMB LOAD CALCULATIONS:
 $(1/2 \text{ DOOR WIDTH})(1 \text{ FOOT OF HEIGHT})(\text{DESIGN LOAD})$
 $(4.5 \text{ FT})(1 \text{ FT})(48.7 \text{ PSF}) = 210 \text{ LB/FT OF HEIGHT.}$
 - JAMB FASTENER REQUIREMENT:
 $F_1 = (1/2 \text{ DOOR WIDTH})(1 \text{ FOOT})(\text{DESIGN LOAD})$
 $F_2 = (4.5 \text{ FT})(1.5 \text{ FT})(48.7 \text{ PSF}) = 315 \text{ LB.}$
 - DOOR SKIN MATERIAL SHALL BE GALVANIZED ACCORDING TO ASTM A-525 TO G90 OR AN EQUIVALENT SURFACE COATING APPROVED BY DADE COUNTY BUILDING CODE COMPLIANCE OFFICE.
 - CENTER LOUVER BETWEEN CENTER STILES UNDER EITHER SECOND EMBOSSEMENT OF BOTTOM SECTION.
 - FOR ANCHORING INTO WOOD, USE ONE 5/16" LAG SCREW PER TRACK BRACKET WITH 1/2" EMBEDMENT INTO S.Y. PANE OR BETTER.
 - IF ANCHORED DIRECTLY TO CONCRETE OR GROUT FILLED CONCRETE BLOCKS OR THRU A 2x6 WOOD JAMBS, USE ONE 5/16" RAWL LAG/BOLT PER TRACK BRACKET WITH 1/2" EMBEDMENT INTO CONCRETE OR BLOCK.



APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE DATE **MAR 22 2001**
 BY *[Signature]*
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. **00-1106.08**

OVERHEAD DOOR CORPORATION
 1900 CROWN DRIVE
 FARMERS BRANCH, TEXAS 75224
 LEROY G. KRUPKE, P.E. #36580

L. G. Krupke
 2-14-01

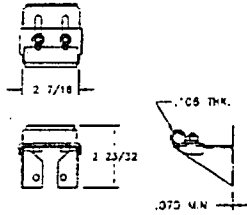
SERIES 180 - 48.7 PSF WINDLOAD								
DOOR WIDTH	CENTER STILE	END STYLE	ROLLER SHAFT BRACKET	STRUTS/SECT.	ROLLER	VERTICAL TRACK GAGE	JAMB LOAD (# PER FT-HT)	HARDWARE
9'	3	ISO W/END CAP	YES	483	2" x 7/16"	.090	210	STD.

THE DRAWING SHALL BE CONSIDERED AS THE BEST & THE MOST COMPLETE OF ITS KIND AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

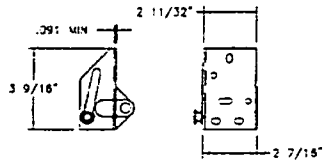
UNLESS OTHERWISE SPECIFIED		SERIES 180 RESIDENTIAL STEEL DOOR, 48.7 PSF, DADE COUNTY	
NO.	DESCRIPTION	DATE	BY
1	AS SHOWN	2/24/94	AL LEWIS
2	AS SHOWN	4/8/94	JR CLAYTON
3	AS SHOWN	4/8/94	JL BRISMAN

APPROVED BY: *[Signature]*
 DATE: 2/24/94
 PROJECT: 00-1106.08
 SHEET: 3/8

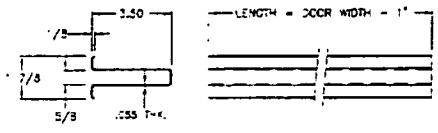
REVISIONS			
LETTER	DESCRIPTION	DATE	APPROVAL
1	REV. FOR 180/280/290/390	1/27/94	18
2	REV. PER 180/280		



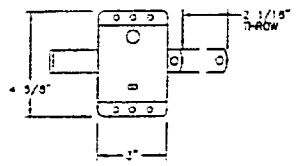
P/N 401199-0001 TOP FIXTURE



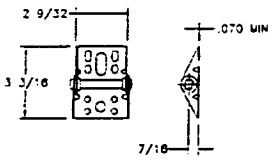
P/N 40577-0001 ROLLER FIXTURE FOR 180/280/290/390 SERIES



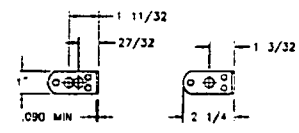
P/N 400850-0001 ROLLED MS-1 STEM



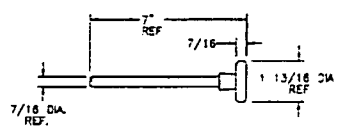
P/N 241401-0000 SLIDE LOCK ASSY



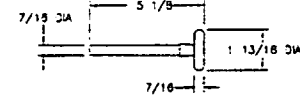
P/N 407621-0001 CENTER HINGE STEEL DOORS



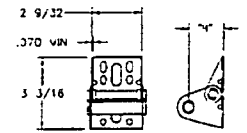
P/N 405742-0001 BRACKET ROLLER SHAFT



P/N 261158-0001 ROLLER ASSY (R-1)



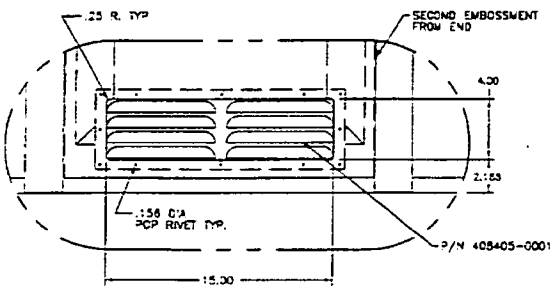
P/N 261158-0002 ROLLER ASSY (R-2)



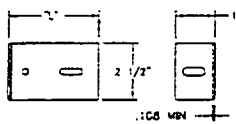
P/N 407602-0001 END HINGE RESID. STEEL DOORS

PART NUMBER	QTY
407603-0002	1 .50
407603-0003	1.10
407603-0004	1.35
407603-0005	1.40

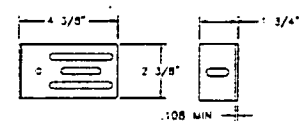
ROLLER STEM ASSY DETAILS



DETAIL "G"
SCALE = 1/4"
CUT OUT 9 5/8" SQ. MS.
COVERED AREA
THE LOUVER IS AN OPTIONAL FEATURE AND MUST BE SPECIFIED BY DISTRIBUTOR



P/N 405984 & 248450 BRACKET SCAB



P/N 405984-0002 BRACKET SCAB IDN1

PART NUMBER	QTY
405984-0001	13-1/4
248450-0003	4

SCAB BRACKET DETAILS

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE DATE **MAR 22 2001** BY *[Signature]*
PRODUCT GENERAL OFFICE
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. **00-1106.07**

OVER-HEAD DOOR CORPORATION
1300 CROWN DRIVE
FARMERS BRANCH, TEXAS 75234
LARRY G. KRUPKE, P.E. #35580

[Signature]
2-14-01

THE DRAWING AND TECHNICAL INFORMATION ON THIS SHEET IS THE PROPERTY OF OVER-HEAD DOOR CORPORATION. IT IS TO BE USED ONLY FOR THE PROJECT AND LOCATION SPECIFICALLY IDENTIFIED HEREON. ANY REPRODUCTION OR TRANSMISSION OF THIS INFORMATION WITHOUT THE WRITTEN PERMISSION OF OVER-HEAD DOOR CORPORATION IS PROHIBITED. THE USER OF THIS SHEET IS SOLELY RESPONSIBLE FOR THE PROPER USE OF THIS SHEET.

DATE	DESCRIPTION	BY	DATE	REVISION
1/25/94	DESIGNED BY	G.J. MOORE	1/25/94	1
5/3/94	DESIGNED BY	JOHN JOHNSON	5/3/94	2
5/9/94	DESIGNED BY	S. BOUCHER	5/9/94	3

PROJECT: SERIES 180 RESIDENTIAL STEEL DOOR 48.7 PSF, 3/4" EAVE COUNTY

DOOR: D-408775

SCALE: 1/8

SHEET: 7 OF 2

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name: MASTERPIECE-LANCASTER Address: Lot: 2, Sub: , Plat: City, State: Sewalls Pt., FL Owner: Climate Zone: South	Builder: Permitting Office: Permit Number: Jurisdiction Number:
--	--

<table style="width: 100%; border-collapse: collapse;"> <tr><td>1. New construction or existing</td><td style="text-align: right;">New</td><td style="text-align: right;">___</td></tr> <tr><td>2. Single family or multi-family</td><td style="text-align: right;">Single family</td><td style="text-align: right;">___</td></tr> <tr><td>3. Number of units, if multi-family</td><td style="text-align: right;">3</td><td style="text-align: right;">___</td></tr> <tr><td>4. Number of Bedrooms</td><td style="text-align: right;">4</td><td style="text-align: right;">___</td></tr> <tr><td>5. Is this a worst case?</td><td style="text-align: right;">No</td><td style="text-align: right;">___</td></tr> <tr><td>6. Conditioned floor area (ft²)</td><td style="text-align: right;">4078 ft²</td><td style="text-align: right;">___</td></tr> <tr><td>7. Glass area & type</td><td></td><td style="text-align: right;">___</td></tr> <tr><td> a. Clear - single pane</td><td style="text-align: right;">0.0 ft²</td><td style="text-align: right;">___</td></tr> <tr><td> b. Clear - double pane</td><td style="text-align: right;">0.0 ft²</td><td style="text-align: right;">___</td></tr> <tr><td> c. Tint/other SHGC - single pane</td><td style="text-align: right;">744.0 ft²</td><td style="text-align: right;">___</td></tr> <tr><td> d. Tint/other SHGC - double pane</td><td style="text-align: right;">0.0 ft²</td><td style="text-align: right;">___</td></tr> <tr><td>8. Floor types</td><td></td><td style="text-align: right;">___</td></tr> <tr><td> a. Slab-On-Grade Edge Insulation</td><td style="text-align: right;">R=0.0, 443.0(p) ft</td><td style="text-align: right;">___</td></tr> <tr><td> b. N/A</td><td></td><td style="text-align: right;">___</td></tr> <tr><td> c. N/A</td><td></td><td style="text-align: right;">___</td></tr> <tr><td>9. Wall types</td><td></td><td style="text-align: right;">___</td></tr> <tr><td> a. Concrete, Int Insul, Exterior</td><td style="text-align: right;">R=4.2, 4037.0 ft²</td><td style="text-align: right;">___</td></tr> <tr><td> b. N/A</td><td></td><td style="text-align: right;">___</td></tr> <tr><td> c. N/A</td><td></td><td style="text-align: right;">___</td></tr> <tr><td> d. N/A</td><td></td><td style="text-align: right;">___</td></tr> <tr><td> e. N/A</td><td></td><td style="text-align: right;">___</td></tr> <tr><td>10. Ceiling types</td><td></td><td style="text-align: right;">___</td></tr> <tr><td> a. Under Attic</td><td style="text-align: right;">R=30.0, 4079.0 ft²</td><td style="text-align: right;">___</td></tr> <tr><td> b. N/A</td><td></td><td style="text-align: right;">___</td></tr> <tr><td> c. N/A</td><td></td><td style="text-align: right;">___</td></tr> <tr><td>11. Ducts</td><td></td><td style="text-align: right;">___</td></tr> <tr><td> a. Sup: Unc. Ret: Con. AH: Interior</td><td style="text-align: right;">Sup. R=6.0, 300.0 ft</td><td style="text-align: right;">___</td></tr> <tr><td> b. N/A</td><td></td><td style="text-align: right;">___</td></tr> </table>	1. New construction or existing	New	___	2. Single family or multi-family	Single family	___	3. Number of units, if multi-family	3	___	4. Number of Bedrooms	4	___	5. Is this a worst case?	No	___	6. Conditioned floor area (ft ²)	4078 ft ²	___	7. Glass area & type		___	a. Clear - single pane	0.0 ft ²	___	b. Clear - double pane	0.0 ft ²	___	c. Tint/other SHGC - single pane	744.0 ft ²	___	d. Tint/other SHGC - double pane	0.0 ft ²	___	8. Floor types		___	a. Slab-On-Grade Edge Insulation	R=0.0, 443.0(p) ft	___	b. N/A		___	c. N/A		___	9. Wall types		___	a. Concrete, Int Insul, Exterior	R=4.2, 4037.0 ft ²	___	b. N/A		___	c. N/A		___	d. N/A		___	e. N/A		___	10. Ceiling types		___	a. Under Attic	R=30.0, 4079.0 ft ²	___	b. N/A		___	c. N/A		___	11. Ducts		___	a. Sup: Unc. Ret: Con. AH: Interior	Sup. R=6.0, 300.0 ft	___	b. N/A		___	<table style="width: 100%; border-collapse: collapse;"> <tr><td>12. Cooling systems</td><td></td><td></td></tr> <tr><td> a. Central Unit</td><td></td><td style="text-align: right;">Cap: 18.0 kBtu/hr ___ SEER: 12.00 ___</td></tr> <tr><td> b. Central Unit</td><td></td><td style="text-align: right;">Cap: 42.0 kBtu/hr ___ SEER: 12.00 ___</td></tr> <tr><td> c. Central Unit</td><td></td><td style="text-align: right;">Cap: 24.0 kBtu/hr ___ SEER: 12.00 ___</td></tr> <tr><td>13. Heating systems</td><td></td><td></td></tr> <tr><td> a. Electric Strip</td><td></td><td style="text-align: right;">Cap: 3.0 kBtu/hr ___ COP: 1.00 ___</td></tr> <tr><td> b. Electric Strip</td><td></td><td style="text-align: right;">Cap: 6.0 kBtu/hr ___ COP: 1.00 ___</td></tr> <tr><td> c. Electric Strip</td><td></td><td style="text-align: right;">Cap: 3.0 kBtu/hr ___ COP: 1.00 ___</td></tr> <tr><td>14. Hot water systems</td><td></td><td></td></tr> <tr><td> a. Electric Resistance</td><td></td><td style="text-align: right;">Cap: 50.0 gallons ___ EF: 0.89 ___</td></tr> <tr><td> b. N/A</td><td></td><td style="text-align: right;">___</td></tr> <tr><td> c. Conservation credits (HR-Heat recovery, Solar DHP-Dedicated heat pump)</td><td></td><td style="text-align: right;">___</td></tr> <tr><td>15. HVAC credits (CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, MZ-C-Multizone cooling, MZ-H-Multizone heating)</td><td></td><td style="text-align: right;">___</td></tr> </table>	12. Cooling systems			a. Central Unit		Cap: 18.0 kBtu/hr ___ SEER: 12.00 ___	b. Central Unit		Cap: 42.0 kBtu/hr ___ SEER: 12.00 ___	c. Central Unit		Cap: 24.0 kBtu/hr ___ SEER: 12.00 ___	13. Heating systems			a. Electric Strip		Cap: 3.0 kBtu/hr ___ COP: 1.00 ___	b. Electric Strip		Cap: 6.0 kBtu/hr ___ COP: 1.00 ___	c. Electric Strip		Cap: 3.0 kBtu/hr ___ COP: 1.00 ___	14. Hot water systems			a. 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Glass/Floor Area: 0.18	Total as-built points: 50183	PASS
	Total base points: 60394	

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: *Henry M. Hardy*


DATE: 5-19-03

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____

DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: _____

DATE: _____

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 2, Sub: , Plat: , Sewalls Pt., Fl, PERMIT #:

BASE				AS-BUILT							
GLASS TYPES											
.18 X Conditioned X BSPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt		Area X SPM X SOF = Points				
.18	4078.0	32.50	23856.3	Single, SC=0.45	W	19.5	8.0	30.0	26.44	0.42	332.6
				Single, SC=0.45	N	19.5	8.0	36.0	11.04	0.62	245.5
				Single, SC=0.45	E	19.5	8.0	18.0	30.17	0.38	205.0
				Single, Tint	E	4.0	21.0	35.0	61.31	0.96	2054.6
				Single, SC=0.45	W	19.5	6.0	20.0	26.44	0.40	213.9
				Single, Tint	W	19.5	10.0	32.0	54.85	0.44	778.7
				Single, Tint	W	19.5	10.0	40.0	54.85	0.44	973.4
				Single, SC=0.45	S	19.5	6.0	30.0	24.90	0.43	319.7
				Single, Tint	S	19.5	12.0	15.0	52.00	0.46	360.1
				Single, SC=0.45	W	19.5	7.0	25.0	26.44	0.40	267.4
				Single, SC=0.45	S	19.5	6.0	30.0	24.90	0.43	319.7
				Single, SC=0.45	N	6.0	22.0	48.0	11.04	0.93	493.5
				Single, Tint	N	19.5	10.0	64.0	27.68	0.64	1128.9
				Single, SC=0.45	N	3.0	5.5	12.0	11.04	0.82	108.6
				Single, SC=0.45	E	3.0	6.5	25.0	30.17	0.77	577.5
				Single, SC=0.45	S	3.0	5.5	30.0	24.90	0.65	482.7
				Single, SC=0.45	E	3.0	5.5	30.0	30.17	0.71	641.8
				Single, SC=0.45	NE	3.0	5.5	12.0	19.74	0.74	175.6
				Single, Tint	NE	3.0	9.5	20.0	42.92	0.88	751.8
				Single, SC=0.45	W	3.0	6.5	20.0	26.44	0.77	408.9
				Single, SC=0.45	N	3.0	6.5	13.0	11.04	0.85	122.1
				Single, SC=0.45	W	0.0	0.0	8.0	26.44	1.00	211.6
				Single, SC=0.45	S	3.0	5.5	20.0	24.90	0.65	321.8
				Single, SC=0.45	W	3.0	6.5	20.0	26.44	0.77	408.9
				Single, SC=0.45	E	3.0	9.5	40.0	30.17	0.87	1046.1
				Single, SC=0.45	E	3.0	6.5	13.0	30.17	0.77	300.3
				Single, SC=0.45	S	3.0	5.5	20.0	24.90	0.65	321.8
				Single, SC=0.45	N	3.0	6.5	30.0	11.04	0.85	281.8
				Single, SC=0.45	W	0.0	0.0	8.0	26.44	1.00	211.6
				As-Built Total:						744.0	14066.1
WALL TYPES											
Area X BSPM = Points				Type	R-Value	Area X SPM = Points					
Adjacent	0.0	0.00	0.0	Concrete, Int Insul, Exterior	4.2	4037.0		2.28	9204.4		
Exterior	4037.0	2.70	10899.9								
Base Total:				As-Built Total:		4037.0			9204.4		

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 2, Sub: , Plat: , Sewalls Pt., Fl,	PERMIT #:
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BASE	AS-BUILT
DOOR TYPES Area X BSPM = Points	Type Area X SPM = Points
Adjacent 0.0 0.00 0.0	Exterior Wood 48.0 9.40 451.2
Exterior 48.0 6.40 307.2	
Base Total: 48.0 307.2	As-Built Total: 48.0 451.2
CEILING TYPES Area X BSPM = Points	Type R-Value Area X SPM X SCM = Points
Under Attic 4078.5 2.80 11419.8	Under Attic 30.0 4079.0 2.77 X 1.00 11298.8
Base Total: 4078.5 11419.8	As-Built Total: 4079.0 11298.8
FLOOR TYPES Area X BSPM = Points	Type R-Value Area X SPM = Points
Slab 443.0(p) -20.0 -8860.0	Slab-On-Grade Edge Insulation 0.0 443.0(p) -20.00 -8860.0
Raised 0.0 0.00 0.0	
Base Total: -8860.0	As-Built Total: 443.0 -8860.0
INFILTRATION Area X BSPM = Points	Area X SPM = Points
4078.0 18.79 76625.6	4078.0 18.79 76625.6
Summer Base Points: 114248.8	Summer As-Built Points: 102786.1
Total Summer X System = Cooling Points Multiplier Points	Total X Cap X Duct X System X Credit = Cooling Component Ratio Multiplier Multiplier Multiplier Points (DM x DSM x AHU)
	102786.1 0.214 (1.067 x 1.165 x 0.90) 0.284 1.000 7002.2
	102786.1 0.500(1.00 x 1.165 x 1.00) 0.284 1.000 16338.4
	102786.1 0.286(1.00 x 1.165 x 1.00) 0.284 1.000 9336.3
114248.8 0.4266 48738.5	102786.1 1.00 1.119 0.284 1.000 32676.9

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 2, Sub: , Plat: , Sewalls Pt., FL,

PERMIT #:

BASE				AS-BUILT									
GLASS TYPES													
.18 X Conditioned X BWPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt			Area X WPM X WOF = Points					
.18	4078.0	2.36	1732.3	Single, SC=0.45	W	19.5	8.0	30.0	4.95	1.03	153.1		
				Single, SC=0.45	N	19.5	8.0	36.0	5.15	0.95	176.2		
				Single, SC=0.45	E	19.5	8.0	18.0	4.63	1.26	105.4		
				Single, Tint	E	4.0	21.0	35.0	3.99	1.02	141.9		
				Single, SC=0.45	W	19.5	6.0	20.0	4.95	1.03	102.1		
				Single, Tint	W	19.5	10.0	32.0	4.60	1.03	151.9		
				Single, Tint	W	19.5	10.0	40.0	4.60	1.03	189.9		
				Single, SC=0.45	S	19.5	6.0	30.0	4.48	1.44	194.1		
				Single, Tint	S	19.5	12.0	15.0	3.80	1.42	80.8		
				Single, SC=0.45	W	19.5	7.0	25.0	4.95	1.03	127.6		
				Single, SC=0.45	S	19.5	6.0	30.0	4.48	1.44	194.1		
				Single, SC=0.45	N	6.0	22.0	48.0	5.15	0.99	245.0		
				Single, Tint	N	19.5	10.0	64.0	4.98	0.95	304.0		
				Single, SC=0.45	N	3.0	5.5	12.0	5.15	0.98	60.5		
				Single, SC=0.45	E	3.0	6.5	25.0	4.63	1.04	120.8		
				Single, SC=0.45	S	3.0	5.5	30.0	4.48	1.16	155.8		
				Single, SC=0.45	E	3.0	5.5	30.0	4.63	1.05	146.4		
				Single, SC=0.45	NE	3.0	5.5	12.0	5.07	0.99	60.5		
				Single, Tint	NE	3.0	9.5	20.0	4.81	1.00	95.9		
				Single, SC=0.45	W	3.0	6.5	20.0	4.95	1.01	99.4		
				Single, SC=0.45	N	3.0	6.5	13.0	5.15	0.98	65.8		
				Single, SC=0.45	W	0.0	0.0	8.0	4.95	1.00	39.6		
				Single, SC=0.45	S	3.0	5.5	20.0	4.48	1.16	103.8		
				Single, SC=0.45	W	3.0	6.5	20.0	4.95	1.01	99.4		
				Single, SC=0.45	E	3.0	9.5	40.0	4.63	1.03	190.5		
				Single, SC=0.45	E	3.0	6.5	13.0	4.63	1.04	62.8		
				Single, SC=0.45	S	3.0	5.5	20.0	4.48	1.16	103.8		
				Single, SC=0.45	N	3.0	6.5	30.0	5.15	0.98	151.8		
				Single, SC=0.45	W	0.0	0.0	8.0	4.95	1.00	39.6		
				As-Built Total:				744.0	3762.4				
WALL TYPES													
Area X BWPM = Points				Type	R-Value	Area X WPM = Points							
Adjacent	0.0	0.00	0.0	Concrete, Int Insul, Exterior	4.2	4037.0			1.02				
Exterior	4037.0	0.60	2422.2										
Base Total:				As-Built Total:			4037.0			4117.7			

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 2, Sub: , Plat: , Sewalls Pt., Fl, PERMIT #:

BASE				AS-BUILT					
DOOR TYPES Area X BWPM = Points				Type	Area	X WPM =	Points		
Adjacent	0.0	0.00	0.0	Exterior Wood	48.0	2.80	134.4		
Exterior	48.0	1.80	86.4						
Base Total:	48.0		86.4	As-Built Total:	48.0		134.4		
CEILING TYPES Area X BWPM = Points				Type	R-Value	Area X WPM X WCM =	Points		
Under Attic	4078.5	0.10	407.9	Under Attic	30.0	4079.0 0.10 X 1.00	407.9		
Base Total:	4078.5		407.9	As-Built Total:	4079.0		407.9		
FLOOR TYPES Area X BWPM = Points				Type	R-Value	Area X WPM =	Points		
Slab	443.0(p)	-2.1	-930.3	Slab-On-Grade Edge Insulation	0.0	443.0(p) -2.10	-930.3		
Raised	0.0	0.00	0.0						
Base Total:			-930.3	As-Built Total:	443.0		-930.3		
INFILTRATION Area X BWPM = Points					Area X WPM =	Points			
	4078.0	-0.06	-244.7		4078.0	-0.06	-244.7		
Winter Base Points:			3473.8	Winter As-Built Points:			7247.5		
Total Winter Points	X System Multiplier	= Heating Points		Total Component	X Cap Ratio	X Duct Multiplier	X System Multiplier	X Credit Multiplier	= Heating Points
					(DM x DSM x AHU)				
3473.8	0.6274	2179.5		7247.5	0.250 (1.085 x 1.137 x 0.91)	1.000	1.000	2034.0	
				7247.5	0.500(1.00 x 1.137 x 1.00)	1.000	1.000	4068.1	
				7247.5	0.250(1.00 x 1.137 x 1.00)	1.000	1.000	2034.0	
				7247.5	1.00	1.123	1.000	1.000	8136.1

WATER HEATING & CODE COMPLIANCE STATUS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 2, Sub: , Plat: , Sewalls Pt., Fl,	PERMIT #:
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BASE	AS-BUILT
WATER HEATING	
Number of Bedrooms X Multiplier = Total	Tank Volume EF Number of Bedrooms X Tank X Multiplier X Credit = Total Multiplier
4 2369.00 9476.0	50.0 0.89 4 1.00 2342.38 1.00 9369.5
	As-Built Total: 9369.5

CODE COMPLIANCE STATUS													
BASE					AS-BUILT								
Cooling Points	+	Heating Points	+	Hot Water Points	=	Total Points	Cooling Points	+	Heating Points	+	Hot Water Points	=	Total Points
48739		2179		9476		60394	32677		8136		9370		50183

PASS



Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 2, Sub: , Plat: , Sewalls Pt., Fl,

PERMIT #:

6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings > 1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 6-12. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE SCORE* = 86.8

The higher the score, the more efficient the home.

, Lot: 2, Sub: , Plat: , Sewalls Pt., Fl,

<p>1. New construction or existing New <input type="checkbox"/></p> <p>2. Single family or multi-family Single family <input type="checkbox"/></p> <p>3. Number of units, if multi-family 3 <input type="checkbox"/></p> <p>4. Number of Bedrooms 4 <input type="checkbox"/></p> <p>5. Is this a worst case? No <input type="checkbox"/></p> <p>6. Conditioned floor area (ft²) 4078 ft² <input type="checkbox"/></p> <p>7. Glass area & type</p> <p style="padding-left: 20px;">a. Clear - single pane 0.0 ft² <input type="checkbox"/></p> <p style="padding-left: 20px;">b. Clear - double pane 0.0 ft² <input type="checkbox"/></p> <p style="padding-left: 20px;">c. Tin/other SHGC - single pane 744.0 ft² <input type="checkbox"/></p> <p style="padding-left: 20px;">d. Tin/other SHGC - double pane 0.0 ft² <input type="checkbox"/></p> <p>8. Floor types</p> <p style="padding-left: 20px;">a. Slab-On-Grade Edge Insulation R=0.0, 443.0(p) ft <input type="checkbox"/></p> <p style="padding-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="padding-left: 20px;">c. N/A <input type="checkbox"/></p> <p>9. Wall types</p> <p style="padding-left: 20px;">a. Concrete, Int Insul, Exterior R=4.2, 4037.0 ft² <input type="checkbox"/></p> <p style="padding-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="padding-left: 20px;">c. N/A <input type="checkbox"/></p> <p style="padding-left: 20px;">d. N/A <input type="checkbox"/></p> <p style="padding-left: 20px;">e. N/A <input type="checkbox"/></p> <p>10. Ceiling types</p> <p style="padding-left: 20px;">a. Under Attic R=30.0, 4079.0 ft² <input type="checkbox"/></p> <p style="padding-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="padding-left: 20px;">c. N/A <input type="checkbox"/></p> <p>11. Ducts</p> <p style="padding-left: 20px;">a. Sup: Unc. Ret: Con. AH: Interior Sup. R=6.0, 300.0 ft <input type="checkbox"/></p> <p style="padding-left: 20px;">b. N/A <input type="checkbox"/></p>	<p>12. Cooling systems</p> <p style="padding-left: 20px;">a. Central Unit Cap: 18.0 kBtu/hr <input type="checkbox"/> SEER: 12.00 <input type="checkbox"/></p> <p style="padding-left: 20px;">b. Central Unit Cap: 42.0 kBtu/hr <input type="checkbox"/> SEER: 12.00 <input type="checkbox"/></p> <p style="padding-left: 20px;">c. Central Unit Cap: 24.0 kBtu/hr <input type="checkbox"/> SEER: 12.00 <input type="checkbox"/></p> <p>13. Heating systems</p> <p style="padding-left: 20px;">a. Electric Strip Cap: 3.0 kBtu/hr <input type="checkbox"/> COP: 1.00 <input type="checkbox"/></p> <p style="padding-left: 20px;">b. Electric Strip Cap: 6.0 kBtu/hr <input type="checkbox"/> COP: 1.00 <input type="checkbox"/></p> <p style="padding-left: 20px;">c. Electric Strip Cap: 3.0 kBtu/hr <input type="checkbox"/> COP: 1.00 <input type="checkbox"/></p> <p>14. Hot water systems</p> <p style="padding-left: 20px;">a. Electric Resistance Cap: 50.0 gallons <input type="checkbox"/> EF: 0.89 <input type="checkbox"/></p> <p style="padding-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="padding-left: 20px;">c. Conservation credits <input type="checkbox"/> (HR-Heat recovery, Solar DHP-Dedicated heat pump)</p> <p>15. HVAC credits <input type="checkbox"/> (CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, RB-Attic radiant barrier, MZ-C-Multizone cooling, MZ-H-Multizone heating)</p>
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I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: _____

Date: _____

Address of New Home: _____

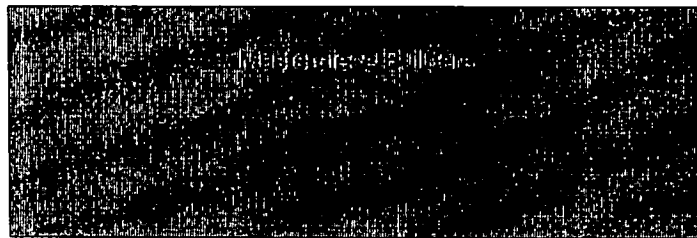
City/FL Zip: _____



**NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStar™ designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at www.fsec.ucf.edu for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.*

**LANCASTER/MARVIN
HVAC LOAD ANALYSIS**

for



Elite Software

**RHVAC RESIDENTIAL
HVAC LOADS**

Prepared By:

Kevin M. Sharkey

Forward Electric & Air Conditioning

4149 S.E. Salerno Road

Stuart, Fl. 34997

(561) 221-1660

05-19-2003

Project Summary

Project:	Lancaster/Marvin	Company:	Forward Electric & Air Conditioning
Client:	Masterpiece Builders	Representative:	Kevin M. Sharkey
Address:		Address:	4149 S.E. Salerno Road
City:		City:	Stuart, Fl. 34997
Phone:		Phone:	(561) 221-1660
Fax:		Fax:	(561) 221-3180
Comment:		Comment:	

Design Data

Project Name: Lancaster/Marvin
 Reference City: West Palm Beach, Florida
 Daily Temperature Range: Medium
 Latitude: 26 Degrees
 Elevation: 15 Feet
 Elevation Sensible Adj. Factor: 1.000
 Elevation Total Adj. Factor: 1.000

	Outdoor Dry Bulb	Outdoor Wet Bulb	Indoor Rel.Hum.	Indoor Dry Bulb	Grains Difference
Winter:	45	N/A	N/A	72	N/A
Summer:	91	79	50%	75	66

Check Figures

Total Building Supply CFM:	3200	CFM per square foot:	0.785
Square feet of room area:	4,079	Square feet per ton:	512.137

Building Loads

Total heating required with outside air:	122,200 Btuh	122.200 MBH
Total sensible gain:	65,450 Btuh	76 %
Total latent gain:	20,171 Btuh	24 %
Total cooling required with outside air:	85,621 Btuh	7.135 Tons (based on sensible + latent)
		7.965 Tons (based on 77% sensible capacity)

Notes

Calculations are based on 7th edition of ACCA Manual J.
 All computed results are estimates as building use and weather may vary.
 Be sure to select a unit that meets both sensible and latent loads.

Total Building Summary Loads

Component Description	Area Quan	Sen. Loss	Lat. Gain	Sen. Gain	Total Gain
1F Window Low Emit Glass e=.6 Mtl Frame	617	17,844	0	10,890	10,890
9F French Door Single Low e Metal Frame	127	3,433	0	3,219	3,219
10D Door Wood Solid Core	48	596	0	433	433
14A Wall 8" or 12" Block No Insulation Unfinished	4,037	55,593	0	25,325	25,325
16G Ceiling R-30 Insulation	4,079	3,633	0	5,385	5,385
22A Slab on Grade No Edge Insulation	443	9,687	0	0	0
Subtotals for structure:	9,351	90,786	0	45,252	45,252
Active People:	14	0	3,220	4,200	7,420
Inactive People:	14	0	2,100	3,500	5,600
Appliances:	0	0	1,200	1,200	2,400
Lighting:	0	0	0	0	0
Ductwork:	0	11,110	0	5,952	5,952
Infiltration: Winter CFM: 684.0, Summer CFM: 304.0	792	20,304	13,651	5,346	18,997
Ventilation: Winter CFM: 0.0, Summer CFM: 0.0	0	0	0	0	0
Sensible Gain Total:				65,450	
Temperature Swing Multiplier:				X1.00	
Building Load Totals:		122,200	20,171	65,450	85,621

Check Figures

Total Building Supply CFM:	3200	CFM per square foot:	0.785
Square feet of room area:	4,079	Square feet per ton:	512.137

Building Loads

Total heating required with outside air:	122,200 Btuh	122.200 MBH
Total sensible gain:	65,450 Btuh	76 %
Total latent gain:	20,171 Btuh	24 %
Total cooling required with outside air:	85,621 Btuh	7.135 Tons (based on sensible + latent)
		7.965 Tons (based on 77% sensible capacity)

Notes

Calculations are based on 7th edition of ACCA Manual J.
 All computed results are estimates as building use and weather may vary.
 Be sure to select a unit that meets both sensible and latent loads.

Detailed Room Loads

Master Suite

Room Length:	16.0 Feet	System Number:	1
Room Width:	20.0 Feet	Zone Number:	1
Area:	320.0 Square Feet	Supply Air:	510 CFM
Ceiling Height:	12.0 Feet	Required Vent. Air:	0 CFM
Volume:	3,840.0 Cubic Feet	Actual Winter Ventilation Air:	0 CFM
Number of Registers:	2	% of Supply:	0 %
Runout Air:	255 CFM	Actual Summer Ventilation Air:	0 CFM
Runout Duct Size:	10 Inches	% of Supply:	0 %
Runout Air Velocity:	468 Feet/Minute	Actual Winter Infiltration Air:	70 CFM alloc.
Design Loss:	0.100 In.wg/100 Ft.	Actual Summer Infiltration Air:	31 CFM alloc.
Actual Loss:	0.070 In.wg/100 Ft.		

Item Description	Area Quantity	-U- Value	Htg HTM	Sen. Loss	Clg HTM	Latent Gain	Sen. Gain
W -WALL-14A 16 X 12	162	0.510	13.8	2,231	6.3	0	1,016
N -WALL-14A 20 X 12	204	0.510	13.8	2,809	6.3	0	1,280
E -WALL-14A 16 X 12	139	0.510	13.8	1,914	6.3	0	872
W -GLAS-1F 1-P O-9 S-40 100%S	30	1.071	28.9	868	14.4	0	432
N -GLAS-1F 1-P O-9 S-40 100%S	36	1.071	28.9	1,041	14.4	0	518
E -GLAS-1F 1-P O-9 S-40 100%S	18	1.071	28.9	521	14.4	0	259
E -G.DR-9F 1-P O-7 S-4 0%S	35	1.001	27.0	946	44.4	0	1,554
UP-CEIL-16G DARK.16 X 20	320	0.033	0.9	285	1.3	0	422
FLOOR-22A 52 FT	52	0.810	21.9	1,137	0.0	0	0
Subtotals for structure:	996			11752		0	6353
Infiltration: Winter: 70.0, Summer: 31.1:	119		17.471	2,079	4.605	1,398	548
Ductwork:			0.100	1383	0.100	0	740
Active People: 230 lat/per, 300 sen/per:	0					0	0
Inactive People: 150 lat/per, 250 sen/per:	2					300	500
Appliances:						0	0
Lighting:							0
Sensible Gain Total:							8141
Temperature Swing Multiplier:							X1.00
Room Totals:				15,214		1,698	8,141

Detailed Room Loads

2: WCs: Hall

Room Length: 16.0 Feet System Number: 1
 Room Width: 10.0 Feet Zone Number: 1
 Area: 160.0 Square Feet Supply Air: 49 CFM
 Ceiling Height: 10.0 Feet Required Vent. Air: 0 CFM
 Volume: 1,600.0 Cubic Feet Actual Winter Ventilation Air: 0 CFM
 Number of Registers: 2 % of Supply: 0 %
 Runout Air: 25 CFM Actual Summer Ventilation Air: 0 CFM
 Runout Duct Size: 4 Inches % of Supply: 0 %
 Runout Air Velocity: 282* Feet/Minute Actual Winter Infiltration Air: 0 CFM alloc.
 Design Loss: 0.100 In.wg/100 Ft. Actual Summer Infiltration Air: 0 CFM alloc.
 Actual Loss: 0.092 In.wg/100 Ft.

*Runout velocity constraints were not met due to duct schedule limitations.

Item Description	Area Quantity	-U- Value	Htg HTM	Sen. Loss	Clg HTM	Latent Gain	Sen. Gain
W -WALL-14A 8 X 10	80	0.510	13.8	1,102	6.3	0	502
UP-CEIL-16G DARK 16 X 10	160	0.033	0.9	143	1.3	0	211
FLOOR-22A 8 FT	8	0.810	21.9	175	0.0	0	0
Subtotals for structure:	248			1420		0	713
Infiltration: Winter: 0.0, Summer: 0.0:	0		0.000	0	0.000	0	0
Ductwork:			0.100	142	0.100	0	71
Active People: 230 lat/per, 300 sen/per:	0					0	0
Inactive People: 150 lat/per, 250 sen/per:	0					0	0
Appliances:						0	0
Lighting:							0
Sensible Gain Total:							784
Temperature Swing Multiplier:							X1.00
Room Totals:				1,562		0	784

Detailed Room Loads

3 Master Bath

Room Length:	16.0 Feet	System Number:	1
Room Width:	8.0 Feet	Zone Number:	1
Area:	128.0 Square Feet	Supply Air:	105 CFM
Ceiling Height:	10.0 Feet	Required Vent. Air:	0 CFM
Volume:	1,280.0 Cubic Feet	Actual Winter Ventilation Air:	0 CFM
Number of Registers:	2	% of Supply:	0 %
Runout Air:	52 CFM	Actual Summer Ventilation Air:	0 CFM
Runout Duct Size:	4 Inches	% of Supply:	0 %
Runout Air Velocity:	601 Feet/Minute	Actual Winter Infiltration Air:	31 CFM alloc.
Design Loss:	0.100 In.wg/100 Ft.	Actual Summer Infiltration Air:	14 CFM alloc.
Actual Loss:	0.407 In.wg/100 Ft.		

Item Description	Area Quantity	-U- Value	Htg HTM	Sen. Loss	Clg HTM	Latent Gain	Sen. Gain
W -WALL-14A 11 X 10	58	0.510	13.8	799	6.3	0	364
W -GLAS-1F 1-P O-9 S-40 100%S	20	1.071	28.9	578	14.4	0	288
W -G.DR-9F 1-P O-9 S-4 100%S	32	1.001	27.0	865	14.4	0	461
UP-CEIL-16G DARK 16 X 8	128	0.033	0.9	114	1.3	0	169
FLOOR-22A 11 FT	11	0.810	21.9	241	0.0	0	0
Subtotals for structure:	249			2597		0	1282
Infiltration: Winter: 30.6, Summer: 13.6:	52		17.481	909	4.596	611	239
Ductwork:			0.100	351	0.100	0	152
Active People: 230 lat/per, 300 sen/per:	0					0	0
Inactive People: 150 lat/per, 250 sen/per:	0					0	0
Appliances:						0	0
Lighting:						0	0
Sensible Gain Total:							1673
Temperature Swing Multiplier:							X1.00
Room Totals:				3,857		611	1,673

Detailed Room Loads

4. Den

Room Length:	13.0 Feet	System Number:	1
Room Width:	12.0 Feet	Zone Number:	1
Area:	156.0 Square Feet	Supply Air:	136 CFM
Ceiling Height:	10.0 Feet	Required Vent. Air:	0 CFM
Volume:	1,560.0 Cubic Feet	Actual Winter Ventilation Air:	0 CFM
Number of Registers:	1	% of Supply:	0 %
Runout Air:	136 CFM	Actual Summer Ventilation Air:	0 CFM
Runout Duct Size:	7 Inches	% of Supply:	0 %
Runout Air Velocity:	508 Feet/Minute	Actual Winter Infiltration Air:	24 CFM alloc.
Design Loss:	0.100 In.wg/100 Ft.	Actual Summer Infiltration Air:	10 CFM alloc.
Actual Loss:	0.134 In.wg/100 Ft.		

Item Description	Area Quantity	-U- Value	Htg HTM	Sen. Loss	Clg. HTM	Latent Gain	Sen. Gain
W -WALL-14A 12 X 10	80	0.510	13.8	1,102	6.3	0	502
W -G.DR-9F 1-P O-9 S-4 100%S	40	1.001	27.0	1,081	14.4	0	576
UP-CEIL-16G DARK 13 X 12	156	0.033	0.9	139	1.3	0	206
FLOOR-22A 12 FT	12	0.810	21.9	262	0.0	0	0
Subtotals for structure:	288			2584		0	1284
Infiltration: Winter: 23.5, Summer: 10.5:	40		17.475	699	4.600	470	184
Ductwork:			0.100	328	0.100	0	197
Active People: 230 lat/per, 300 sen/per:	0					0	0
Inactive People: 150 lat/per, 250 sen/per:	2					300	500
Appliances:						0	0
Lighting:							0
Sensible Gain Total:							2165
Temperature Swing Multiplier:							X1.00
Room Totals:				3,611		770	2,165

Detailed Room Loads

6: Living Room

Room Length:	17.0 Feet	System Number:	2
Room Width:	15.5 Feet	Zone Number:	1
Area:	263.5 Square Feet	Supply Air:	264 CFM
Ceiling Height:	10.0 Feet	Required Vent. Air:	0 CFM
Volume:	2,635.0 Cubic Feet	Actual Winter Ventilation Air:	0 CFM
Number of Registers:	1	% of Supply:	0 %
Runout Air:	264 CFM	Actual Summer Ventilation Air:	0 CFM
Runout Duct Size:	10 Inches	% of Supply:	0 %
Runout Air Velocity:	485 Feet/Minute	Actual Winter Infiltration Air:	69 CFM alloc.
Design Loss:	0.100 In.wg/100 Ft.	Actual Summer Infiltration Air:	31 CFM alloc.
Actual Loss:	0.075 In.wg/100 Ft.		

Item Description	Area Quantity	-U- Value	Htg HTM	Sen. Loss	Clg HTM	Latent Gain	Sen. Gain
W -WALL-14A 17 X 10	145	0.510	13.8	1,997	6.3	0	910
S -WALL-14A 15.5 X 10	110	0.510	13.8	1,515	6.3	0	690
E -WALL-14A 7 X 10	70	0.510	13.8	964	6.3	0	439
S -GLAS-1F 1-P O-9 S-40 100%S	30	1.071	28.9	868	14.4	0	432
S -GLAS-1F 1-P O-9 S-4 100%S	15	1.071	28.9	434	14.4	0	216
W -GLAS-1F 1-P O-9 S-40 100%S	25	1.071	28.9	723	14.4	0	360
UP-CEIL-16G DARK 17 X 15.5	264	0.033	0.9	235	1.3	0	348
FLOOR-22A 40 FT	40	0.810	21.9	875	0.0	0	0
Subtotals for structure:	699			7611		0	3395
Infiltration: Winter: 68.7, Summer: 30.5:	70		29.129	2,039	7.671	1,371	537
Ductwork:			0.100	965	0.100	0	513
Active People: 230 lat/per, 300 sen/per:	4					920	1,200
Inactive People: 150 lat/per, 250 sen/per:	0					0	0
Appliances:						0	0
Lighting:						0	0
Sensible Gain Total:							5645
Temperature Swing Multiplier:							X1.00
Room Totals:				10,615		2,291	5,645

Detailed Room Loads

6101 Foyer (Fm Rm) (R)

Room Length:	30.0 Feet	System Number:	2
Room Width:	40.0 Feet	Zone Number:	1
Area:	1,200.0 Square Feet	Supply Air:	852 CFM
Ceiling Height:	14.0 Feet	Required Vent. Air:	0 CFM
Volume:	16,800.0 Cubic Feet	Actual Winter Ventilation Air:	0 CFM
Number of Registers:	5	% of Supply:	0 %
Runout Air:	170 CFM	Actual Summer Ventilation Air:	0 CFM
Runout Duct Size:	8 Inches	% of Supply:	0 %
Runout Air Velocity:	488 Feet/Minute	Actual Winter Infiltration Air:	198 CFM alloc.
Design Loss:	0.100 In.wg/100 Ft.	Actual Summer Infiltration Air:	88 CFM alloc.
Actual Loss:	0.103 In.wg/100 Ft.		

Item Description	Area Quantity	-U- Value	Htg HTM	Sen. Loss	Clg HTM	Latent Gain	Sen. Gain
N -WALL-14A 38 X 10	256	0.510	13.8	3,525	6.3	0	1,606
S -WALL-14A 36 X 20.5	660	0.510	13.8	9,088	6.3	0	4,140
E -WALL-14A 13 X 10	130	0.510	13.8	1,790	6.3	0	815
S -DOOR-10D 6 X 8	48	0.460	12.4	596	9.0	0	433
S -GLAS-1F 1-P O-9 S-40 100%S	30	1.071	28.9	868	14.4	0	432
N -GLAS-1F 1-P O-8 S-40 100%S	48	1.071	28.9	1,388	14.4	0	691
N -GLAS-1F 1-P O-9 S-4 100%S	64	1.071	28.9	1,851	14.4	0	922
N -GLAS-1F 1-P O-2 S-40 100%S	12	1.071	28.9	347	14.4	0	173
UP-CEIL-16G DARK 30 X 40	1,200	0.033	0.9	1,069	1.3	0	1,584
FLOOR-22A 87 FT	87	0.810	21.9	1,903	0.0	0	0
Subtotals for structure:	2,535			22425		0	10796
Infiltration: Winter: 198.2, Summer: 88.1:	202		29.124	5,883	7.668	3,955	1,549
Ductwork:			0.100	2831	0.100	0	1655
Active People: 230 lat/per, 300 sen/per:	10					2,300	3,000
Inactive People: 150 lat/per, 250 sen/per:	0					0	0
Appliances:						0	1,200
Lighting:							0
Sensible Gain Total:							18200
Temperature Swing Multiplier:							X1.00
Room Totals:				31,139		6,255	18,200

Detailed Room Loads

StairWay Powder Rm

Room Length: 13.0 Feet System Number: 2
 Room Width: 16.0 Feet Zone Number: 1
 Area: 208.0 Square Feet Supply Air: 91 CFM
 Ceiling Height: 10.0 Feet Required Vent. Air: 0 CFM
 Volume: 2,080.0 Cubic Feet Actual Winter Ventilation Air: 0 CFM
 Number of Registers: 2 % of Supply: 0 %
 Runout Air: 46 CFM Actual Summer Ventilation Air: 0 CFM
 Runout Duct Size: 4 Inches % of Supply: 0 %
 Runout Air Velocity: 522 Feet/Minute Actual Winter Infiltration Air: 25 CFM alloc.
 Design Loss: 0.100 In.wg/100 Ft. Actual Summer Infiltration Air: 11 CFM alloc.
 Actual Loss: 0.308 In.wg/100 Ft.

Item Description	Area Quantity	-U- Value	Htg HTM	Sen. Loss	Clg HTM	Latent Gain	Sen. Gain
E -WALL-14A 13 X 10	105	0.510	13.8	1,446	6.3	0	659
E -GLAS-1F 1-P O-2 S-40 19%S	25	1.071	28.9	723	25.6	0	641
UP-CEIL-16G DARK 13 X 16	208	0.033	0.9	185	1.3	0	275
FLOOR-22A 13 FT	13	0.810	21.9	284	0.0	0	0
Subtotals for structure:	351			2638		0	1575
Infiltration: Winter: 24.5, Summer: 10.9:	25		29.120	728	7.680	489	192
Ductwork:			0.100	337	0.100	0	177
Active People: 230 lat/per, 300 sen/per:	0					0	0
Inactive People: 150 lat/per, 250 sen/per:	0					0	0
Appliances:						0	0
Lighting:						0	0
Sensible Gain Total:							1944
Temperature Swing Multiplier:							X1.00
Room Totals:				3,703		489	1,944

Detailed Room Load

Dining

Room Length:	17.0 Feet	System Number:	2
Room Width:	16.0 Feet	Zone Number:	1
Area:	272.0 Square Feet	Supply Air:	264 CFM
Ceiling Height:	10.0 Feet	Required Vent. Air:	0 CFM
Volume:	2,720.0 Cubic Feet	Actual Winter Ventilation Air:	0 CFM
Number of Registers:	1	% of Supply:	0 %
Runout Air:	264 CFM	Actual Summer Ventilation Air:	0 CFM
Runout Duct Size:	10 Inches	% of Supply:	0 %
Runout Air Velocity:	485 Feet/Minute	Actual Winter Infiltration Air:	59 CFM alloc.
Design Loss:	0.100 In.wg/100 Ft.	Actual Summer Infiltration Air:	26 CFM alloc.
Actual Loss:	0.075 In.wg/100 Ft.		

Item Description	Area Quantity	-U- Value	Htg HTM	Sen. Loss	Clg HTM	Latent Gain	Sen. Gain
S -WALL-14A 16 X 10	130	0.510	13.8	1,790	6.3	0	815
E -WALL-14A 17 X 10	140	0.510	13.8	1,928	6.3	0	878
W -WALL-14A 7 X 10	70	0.510	13.8	964	6.3	0	439
S -GLAS-1F 1-P O-2 S-40 100%S	30	1.071	28.9	868	14.4	0	432
E -GLAS-1F 1-P O-2 S-40 24%S	30	1.071	28.9	868	24.9	0	748
UP-CEIL-16G DARK 17 X 16	272	0.033	0.9	242	1.3	0	359
FLOOR-22A 40 FT	40	0.810	21.9	875	0.0	0	0
Subtotals for structure:	712			7535		0	3671
Infiltration: Winter: 58.9, Summer: 26.2:	60		29.117	1,747	7.667	1,175	460
Ductwork:			0.100	928	0.100	0	513
Active People: 230 lat/per, 300 sen/per:	0					0	0
Inactive People: 150 lat/per, 250 sen/per:	4					600	1,000
Appliances:						0	0
Lighting:							0
Sensible Gain Total:							5644
Temperature Swing Multiplier:							X1.00
Room Totals:				10,210		1,775	5,644

Detailed Room Load

9. Laundry

Room Length:	11.0 Feet	System Number:	2
Room Width:	11.0 Feet	Zone Number:	1
Area:	121.0 Square Feet	Supply Air:	128 CFM
Ceiling Height:	10.0 Feet	Required Vent. Air:	0 CFM
Volume:	1,210.0 Cubic Feet	Actual Winter Ventilation Air:	0 CFM
Number of Registers:	1	% of Supply:	0 %
Runout Air:	128 CFM	Actual Summer Ventilation Air:	0 CFM
Runout Duct Size:	7 Inches	% of Supply:	0 %
Runout Air Velocity:	478 Feet/Minute	Actual Winter Infiltration Air:	31 CFM alloc.
Design Loss:	0.100 In.wg/100 Ft.	Actual Summer Infiltration Air:	14 CFM alloc.
Actual Loss:	0.119 In.wg/100 Ft.		

Item Description	Area Quantity	-U- Value	Htg HTM	Sen. Loss	Clg HTM	Latent Gain	Sen. Gain
N -WALL-14A 5 X 10	50	0.510	13.8	689	6.3	0	314
NE-WALL-14A 8 X 10	48	0.510	13.8	661	6.3	0	301
E -WALL-14A 5 X 10	50	0.510	13.8	689	6.3	0	314
S -WALL-14A 4 X 10	40	0.510	13.8	551	6.3	0	251
NE-GLAS-1F 1-P O-2 S-40 100%S	12	1.071	28.9	347	22.4	0	269
NE-G.DR-9F 1-P O-2 S-4 100%S	20	1.001	27.0	541	31.4	0	628
UP-CEIL-16G DARK 11 X 11	121	0.033	0.9	108	1.3	0	160
FLOOR-22A 22 FT	22	0.810	21.9	481	0.0	0	0
Subtotals for structure:	363			4067		0	2237
Infiltration: Winter: 31.4, Summer: 14.0:	32		29.125	932	7.656	627	245
Ductwork:			0.100	500	0.100	0	248
Active People: 230 lat/per, 300 sen/per:	0					0	0
Inactive People: 150 lat/per, 250 sen/per:	0					0	0
Appliances:						1,200	0
Lighting:							0
Sensible Gain Total:							2730
Temperature Swing Multiplier:							X1.00
Room Totals:				5,499		1,827	2,730

Detailed Room Loads

10 Bedroom 12

Room Length:	12.0 Feet	System Number:	3
Room Width:	14.0 Feet	Zone Number:	1
Area:	168.0 Square Feet	Supply Air:	131 CFM
Ceiling Height:	9.5 Feet	Required Vent. Air:	0 CFM
Volume:	1,596.0 Cubic Feet	Actual Winter Ventilation Air:	0 CFM
Number of Registers:	1	% of Supply:	0 %
Runout Air:	131 CFM	Actual Summer Ventilation Air:	0 CFM
Runout Duct Size:	7 Inches	% of Supply:	0 %
Runout Air Velocity:	489 Feet/Minute	Actual Winter Infiltration Air:	31 CFM alloc.
Design Loss:	0.100 In.wg/100 Ft.	Actual Summer Infiltration Air:	14 CFM alloc.
Actual Loss:	0.124 In.wg/100 Ft.		

Item Description	Area Quantity	-U- Value	Htg HTM	Sen. Loss	Clg HTM	Latent Gain	Sen. Gain
W -WALL-14A 12 X 9.5	94	0.510	13.8	1,294	6.3	0	590
N -WALL-14A 14 X 9.5	120	0.510	13.8	1,652	6.3	0	753
W -GLAS-1F 1-P O-2 S-40 19%S	20	1.071	28.9	578	25.6	0	513
N -GLAS-1F 1-P O-2 S-40 100%S	13	1.071	28.9	376	14.4	0	187
UP-CEIL-16G DARK 12 X 14	168	0.033	0.9	150	1.3	0	222
FLOOR-22A 26 FT	26	0.810	21.9	569	0.0	0	0
Subtotals for structure:	441			4619		0	2265
Infiltration: Winter: 30.6, Summer: 13.6:	33		27.545	909	7.242	611	239
Ductwork:			0.100	553	0.100	0	275
Active People: 230 lat/per, 300 sen/per:	0					0	0
Inactive People: 150 lat/per, 250 sen/per:	1					150	250
Appliances:						0	0
Lighting:							0
Sensible Gain Total:							3029
Temperature Swing Multiplier:							X1.00
Room Totals:				6,081		761	3,029

Detailed Room Loads

1.1 WIC

Room Length:	6.0 Feet	System Number:	3
Room Width:	6.0 Feet	Zone Number:	1
Area:	36.0 Square Feet	Supply Air:	19 CFM
Ceiling Height:	9.5 Feet	Required Vent. Air:	0 CFM
Volume:	342.0 Cubic Feet	Actual Winter Ventilation Air:	0 CFM
Number of Registers:	1	% of Supply:	0 %
Runout Air:	19 CFM	Actual Summer Ventilation Air:	0 CFM
Runout Duct Size:	4 Inches	% of Supply:	0 %
Runout Air Velocity:	221* Feet/Minute	Actual Winter Infiltration Air:	0 CFM alloc.
Design Loss:	0.100 In.wg/100 Ft.	Actual Summer Infiltration Air:	0 CFM alloc.
Actual Loss:	0.057 In.wg/100 Ft.		

*Runout velocity constraints were not met due to duct schedule limitations.

Item Description	Area Quantity	-U- Value	Htg HTM	Sen. Loss	Clg HTM	Latent Gain	Sen. Gain
N -WALL-14A 6 X 9.5	57	0.510	13.8	785	6.3	0	358
UP-CEIL-16G DARK 6 X 6	36	0.033	0.9	32	1.3	0	48
FLOOR-22A 6 FT	6	0.810	21.9	131	0.0	0	0
Subtotals for structure:	99			948		0	406
Infiltration: Winter: 0.0, Summer: 0.0:	0		0.000	0	0.000	0	0
Ductwork:			0.100	95	0.100	0	41
Active People: 230 lat/per, 300 sen/per:	0					0	0
Inactive People: 150 lat/per, 250 sen/per:	0					0	0
Appliances:						0	0
Lighting:						0	0
Sensible Gain Total:							447
Temperature Swing Multiplier:							X1.00
Room Totals:				1,043		0	447

Detailed Room Loads

12 Bath #3

Room Length:	5.0 Feet	System Number:	3
Room Width:	12.0 Feet	Zone Number:	1
Area:	60.0 Square Feet	Supply Air:	29 CFM
Ceiling Height:	9.5 Feet	Required Vent. Air:	0 CFM
Volume:	570.0 Cubic Feet	Actual Winter Ventilation Air:	0 CFM
Number of Registers:	1	% of Supply:	0 %
Runout Air:	29 CFM	Actual Summer Ventilation Air:	0 CFM
Runout Duct Size:	4 Inches	% of Supply:	0 %
Runout Air Velocity:	335* Feet/Minute	Actual Winter Infiltration Air:	7 CFM alloc.
Design Loss:	0.100 In.wg/100 Ft.	Actual Summer Infiltration Air:	3 CFM alloc.
Actual Loss:	0.129 In.wg/100 Ft.		

*Runout velocity constraints were not met due to duct schedule limitations.

Item Description	Area Quantity	-U- Value	Htg HTM	Sen. Loss	Clg HTM	Latent Gain	Sen. Gain
W -WALL-14A 5 X 9.5	40	0.510	13.8	551	6.3	0	251
W -GLAS-1F 1-P O-0 S-40 0%S	8	1.071	28.9	231	28.4	0	227
UP-CEIL-16G DARK 5 X 12	60	0.033	0.9	53	1.3	0	79
FLOOR-22A 5 FT	5	0.810	21.9	109	0.0	0	0
Subtotals for structure:	113			944		0	557
Infiltration: Winter: 7.4, Summer: 3.3:	8		27.500	220	7.250	148	58
Ductwork:			0.100	116	0.100	0	62
Active People: 230 lat/per, 300 sen/per:	0					0	0
Inactive People: 150 lat/per, 250 sen/per:	0					0	0
Appliances:						0	0
Lighting:							0
Sensible Gain Total:							677
Temperature Swing Multiplier:							X1.00
Room Totals:				1,280		148	677

13 Bedroom

13 Bedroom

Room Length:	13.0 Feet	System Number:	3
Room Width:	16.0 Feet	Zone Number:	1
Area:	208.0 Square Feet	Supply Air:	147 CFM
Ceiling Height:	9.5 Feet	Required Vent. Air:	0 CFM
Volume:	1,976.0 Cubic Feet	Actual Winter Ventilation Air:	0 CFM
Number of Registers:	1	% of Supply:	0 %
Runout Air:	147 CFM	Actual Summer Ventilation Air:	0 CFM
Runout Duct Size:	7 Inches	% of Supply:	0 %
Runout Air Velocity:	550 Feet/Minute	Actual Winter Infiltration Air:	37 CFM alloc.
Design Loss:	0.100 In.wg/100 Ft.	Actual Summer Infiltration Air:	16 CFM alloc.
Actual Loss:	0.157 In.wg/100 Ft.		

Item Description	Area Quantity	-U- Value	Htg HTM	Sen. Loss	Cig HTM	Latent Gain	Sen. Gain
W -WALL-14A 13 X 9.5	104	0.510	13.8	1,432	6.3	0	652
S -WALL-14A 16 X 9.5	132	0.510	13.8	1,818	6.3	0	828
S -GLAS-1F 1-P O-2 S-40 100%S	20	1.071	28.9	578	14.4	0	288
W -GLAS-1F 1-P O-2 S-40 19%S	20	1.071	28.9	578	25.6	0	513
UP-CEIL-16G DARK 13 X 16	208	0.033	0.9	185	1.3	0	275
FLOOR-22A 29 FT	29	0.810	21.9	634	0.0	0	0
Subtotals for structure:	513			5225		0	2556
Infiltration: Winter: 37.1, Summer: 16.5:	40		27.550	1,102	7.250	741	290
Ductwork:			0.100	633	0.100	0	310
Active People: 230 lat/per, 300 sen/per:	0					0	0
Inactive People: 150 lat/per, 250 sen/per:	1					150	250
Appliances:						0	0
Lighting:							0
Sensible Gain Total:							3406
Temperature Swing Multiplier:							X1.00
Room Totals:				6,960		891	3,406

Detailed Room Loads

14. Long Walk Way

Room Length:	17.0 Feet	System Number:	3
Room Width:	14.0 Feet	Zone Number:	1
Area:	238.0 Square Feet	Supply Air:	101 CFM
Ceiling Height:	9.5 Feet	Required Vent. Air:	0 CFM
Volume:	2,261.0 Cubic Feet	Actual Winter Ventilation Air:	0 CFM
Number of Registers:	2	% of Supply:	0 %
Runout Air:	51 CFM	Actual Summer Ventilation Air:	0 CFM
Runout Duct Size:	4 Inches	% of Supply:	0 %
Runout Air Velocity:	581 Feet/Minute	Actual Winter Infiltration Air:	37 CFM alloc.
Design Loss:	0.100 In.wg/100 Ft.	Actual Summer Infiltration Air:	16 CFM alloc.
Actual Loss:	0.381 In.wg/100 Ft.		

Item Description	Area Quantity	-U- Value	Htg HTM	Sen. Loss	Clg HTM	Latent Gain	Sen. Gain
E -WALL-14A 12 X 9.5	74	0.510	13.8	1,019	6.3	0	464
E -GLAS-1F 1-P O-2 S-40 12%S	40	1.071	28.9	1,157	26.7	0	1,067
UP-CEIL-16G DARK 17 X 14	238	0.033	0.9	212	1.3	0	314
FLOOR-22A 12 FT	12	0.810	21.9	262	0.0	0	0
Subtotals for structure:	364			2650		0	1845
Infiltration: Winter: 37.1, Summer: 16.5:	40		27.550	1,102	7.250	741	290
Ductwork:			0.100	375	0.100	0	214
Active People: 230 lat/per, 300 sen/per:	0					0	0
Inactive People: 150 lat/per, 250 sen/per:	0					0	0
Appliances:						0	0
Lighting:						0	0
Sensible Gain Total:							2349
Temperature Swing Multiplier:							X1.00
Room Totals:				4,127		741	2,349

Detailed Room Loads

16 Study

Room Length:	12.0 Feet	System Number:	3
Room Width:	16.0 Feet	Zone Number:	1
Area:	192.0 Square Feet	Supply Air:	146 CFM
Ceiling Height:	9.5 Feet	Required Vent. Air:	0 CFM
Volume:	1,824.0 Cubic Feet	Actual Winter Ventilation Air:	0 CFM
Number of Registers:	1	% of Supply:	0 %
Runout Air:	146 CFM	Actual Summer Ventilation Air:	0 CFM
Runout Duct Size:	7 Inches	% of Supply:	0 %
Runout Air Velocity:	547 Feet/Minute	Actual Winter Infiltration Air:	31 CFM alloc.
Design Loss:	0.100 In.wg/100 Ft.	Actual Summer Infiltration Air:	14 CFM alloc.
Actual Loss:	0.155 In.wg/100 Ft.		

Item Description	Area Quantity	-U- Value	Htg HTM	Sen. Loss	Cig HTM	Latent Gain	Sen. Gain
E -WALL-14A 12 X 9.5	101	0.510	13.8	1,391	6.3	0	634
S -WALL-14A 16 X 9.5	132	0.510	13.8	1,818	6.3	0	828
E -GLAS-1F 1-P O-2 S-40 19%S	13	1.071	28.9	376	25.8	0	335
S -GLAS-1F 1-P O-2 S-40 100%S	20	1.071	28.9	578	14.4	0	288
UP-CEIL-16G DARK 12 X 16	192	0.033	0.9	171	1.3	0	253
FLOOR-22A 28 FT	28	0.810	21.9	612	0.0	0	0
Subtotals for structure:	486			4946		0	2338
Infiltration: Winter: 30.6, Summer: 13.6:	33		27.545	909	7.242	611	239
Ductwork:			0.100	586	0.100	0	308
Active People: 230 lat/per, 300 sen/per:	0					0	0
Inactive People: 150 lat/per, 250 sen/per:	2					300	500
Appliances:						0	0
Lighting:							0
Sensible Gain Total:							3385
Temperature Swing Multiplier:							X1.00
Room Totals:				6,441		911	3,385

Detailed Room Loads

16 Guest Bedroom

Room Length:	14.0 Feet	System Number:	3
Room Width:	14.0 Feet	Zone Number:	1
Area:	196.0 Square Feet	Supply Air:	137 CFM
Ceiling Height:	9.5 Feet	Required Vent. Air:	0 CFM
Volume:	1,862.0 Cubic Feet	Actual Winter Ventilation Air:	0 CFM
Number of Registers:	1	% of Supply:	0 %
Runout Air:	137 CFM	Actual Summer Ventilation Air:	0 CFM
Runout Duct Size:	7 Inches	% of Supply:	0 %
Runout Air Velocity:	514 Feet/Minute	Actual Winter Infiltration Air:	28 CFM alloc.
Design Loss:	0.100 In.wg/100 Ft.	Actual Summer Infiltration Air:	12 CFM alloc.
Actual Loss:	0.137 In.wg/100 Ft.		

Item Description	Area Quantity	-U- Value	Htg HTM	Sen. Loss	Clg HTM	Latent Gain	Sen. Gain
E -WALL-14A 14 X 9.5	133	0.510	13.8	1,831	6.3	0	834
N -WALL-14A 14 X 9.5	103	0.510	13.8	1,418	6.3	0	646
N -GLAS-1F 1-P O-2 S-40 100%S	30	1.071	28.9	868	14.4	0	432
UP-CEIL-16G DARK 14 X 14	196	0.033	0.9	175	1.3	0	259
FLOOR-22A 28 FT	28	0.810	21.9	612	0.0	0	0
Subtotals for structure:	490			4904		0	2171
Infiltration: Winter: 27.8, Summer: 12.4:	30		27.533	826	7.267	555	218
Ductwork:			0.100	573	0.100	0	289
Active People: 230 lat/per, 300 sen/per:	0					0	0
Inactive People: 150 lat/per, 250 sen/per:	2					300	500
Appliances:						0	0
Lighting:							0
Sensible Gain Total:							3178
Temperature Swing Multiplier:							X1.00
Room Totals:				6,303		855	3,178

Detailed Room Loads

7 WIC & Storage

Room Length:	10.0 Feet	System Number:	3
Room Width:	8.0 Feet	Zone Number:	1
Area:	80.0 Square Feet	Supply Air:	56 CFM
Ceiling Height:	9.5 Feet	Required Vent. Air:	0 CFM
Volume:	760.0 Cubic Feet	Actual Winter Ventilation Air:	0 CFM
Number of Registers:	2	% of Supply:	0 %
Runout Air:	28 CFM	Actual Summer Ventilation Air:	0 CFM
Runout Duct Size:	4 Inches	% of Supply:	0 %
Runout Air Velocity:	321* Feet/Minute	Actual Winter Infiltration Air:	0 CFM alloc.
Design Loss:	0.100 In.wg/100 Ft.	Actual Summer Infiltration Air:	0 CFM alloc.
Actual Loss:	0.118 In.wg/100 Ft.		

*Runout velocity constraints were not met due to duct schedule limitations.

Item Description	Area Quantity	-U- Value	Htg HTM	Sen. Loss	Clg HTM	Latent Gain	Sen. Gain
W -WALL-14A 10 X 9.5	95	0.510	13.8	1,308	6.3	0	596
N -WALL-14A 8 X 9.5	76	0.510	13.8	1,047	6.3	0	477
UP-CEIL-16G DARK 10 X 8	80	0.033	0.9	71	1.3	0	106
FLOOR-22A 18 FT	18	0.810	21.9	394	0.0	0	0
Subtotals for structure:	269			2820		0	1179
Infiltration: Winter: 0.0, Summer: 0.0:	0		0.000	0	0.000	0	0
Ductwork:			0.100	282	0.100	0	118
Active People: 230 lat/per, 300 sen/per:	0					0	0
Inactive People: 150 lat/per, 250 sen/per:	0					0	0
Appliances:						0	0
Lighting:						0	0
Sensible Gain Total:							1297
Temperature Swing Multiplier:							X1.00
Room Totals:				3,102		0	1,297

Detailed Room Loads

10 Bath 2

Room Length:	6.0 Feet	System Number:	3
Room Width:	12.0 Feet	Zone Number:	1
Area:	72.0 Square Feet	Supply Air:	33 CFM
Ceiling Height:	9.5 Feet	Required Vent. Air:	0 CFM
Volume:	684.0 Cubic Feet	Actual Winter Ventilation Air:	0 CFM
Number of Registers:	1	% of Supply:	0 %
Runout Air:	33 CFM	Actual Summer Ventilation Air:	0 CFM
Runout Duct Size:	4 inches	% of Supply:	0 %
Runout Air Velocity:	374* Feet/Minute	Actual Winter Infiltration Air:	7 CFM alloc.
Design Loss:	0.100 In.wg/100 Ft.	Actual Summer Infiltration Air:	3 CFM alloc.
Actual Loss:	0.160 In.wg/100 Ft.		

*Runout velocity constraints were not met due to duct schedule limitations.

Item Description	Area Quantity	-U- Value	Htg HTM	Sen. Loss	Clg HTM	Latent Gain	Sen. Gain
W -WALL-14A 6 X 9.5	49	0.510	13.8	675	6.3	0	307
W -GLAS-1F 1-P O-0 S-40 0%S	8	1.071	28.9	231	28.4	0	227
UP-CEIL-16G DARK 6 X 12	72	0.033	0.9	64	1.3	0	95
FLOOR-22A 6 FT	6	0.810	21.9	131	0.0	0	0
Subtotals for structure:	135			1101		0	629
Infiltration: Winter: 7.4, Summer: 3.3:	8		27.500	220	7.250	148	58
Ductwork:			0.100	132	0.100	0	69
Active People: 230 lat/per, 300 sen/per:	0					0	0
Inactive People: 150 lat/per, 250 sen/per:	0					0	0
Appliances:						0	0
Lighting:						0	0
Sensible Gain Total:							756
Temperature Swing Multiplier:							X1.00
Room Totals:				1,453		148	756

Room Load Summary Reports

System 1: Room Load Summary

No	Room Name	Area SF	Htg Sens Btuh	Htg Nom CFM	Run Duct Size	Run Duct Vel	Clg Sens Btuh	Clg Lat Btuh	Clg Nom CFM	Zone Adj Fact	Clg Adj CFM	Air Sys CFM
---Zone 1---												
1	Master Suite	320	15,214	502	2-10	468	8,141	1,698	510	1.00	370	510
2	WICs-Hall	160	1,562	52	2-4	282	784	0	49	1.00	36	49
3	Master Bath	128	3,857	127	2-4	601	1,673	611	105	1.25	95	105
4	Den	156	3,611	119	1-7	508	2,165	770	136	1.25	123	136
System 1 Totals		764	24,244	800			12,763	3,079	800		624	800
												Main Trunk Size: 12x12 in.

System 1: Cooling System Summary

	Cooling Tons	Sensible/Latent Split	Sensible Btuh	Latent Btuh	Total Btuh
Net Required:	1.320	81%/19%	12,763	3,079	15,842
Recommended:	1.381	77%/23%	12,763	3,812	16,575
Actual:	1.583	74%/26%	14,100	4,900	19,000

System 1: Equipment Data

	<u>Heating System</u>	<u>Cooling System</u>
Type:	Electric Resistance	Standard A/C
Model:	H2RC018	F3RP024
Brand:	York	York
Efficiency:	1	12
Blower CFM:	800	800
Capacity:		19,000 Btuh
Sensible Capacity:	n/a	14,100 Btuh
Latent Capacity:	n/a	4,900 Btuh

Room Load Summary Reports

System #2 Room Load Summary

No	Room Name	Area SF	Htg Sens Btuh	Htg Nom CFM	Run Duct Size	Run Duct Vel	Clg Sens Btuh	Clg Lat Btuh	Clg Nom CFM	Zone Adj Fact	Clg Adj CFM	Air Sys CFM
---Zone 1---												
5	Living Room	264	10,615	278	1-10	485	5,645	2,291	264	1.19	306	264
6	Foyer-Fm Rm-Kit	1200	31,139	815	5-8	488	18,200	6,255	852	1.00	828	852
7	Stair Way-Powder Rm	208	3,703	97	2-4	522	1,944	489	91	1.00	88	91
8	Dining	272	10,210	267	1-10	485	5,644	1,775	264	1.00	257	264
9	Laundry	121	5,499	144	1-7	478	2,730	1,827	128	1.00	124	128
System 2 Totals		2065	61,166	1,600			34,163	12,637	1,600		1,603	1,600

Main Trunk Size: 20x14 in.

System #2 Cooling System Summary

	Cooling Tons	Sensible/Latent Split	Sensible Btuh	Latent Btuh	Total Btuh
Net Required:	3.900	73%/27%	34,163	12,637	46,800
Recommended:	4.579	77%/23%	42,306	12,637	54,943
Actual:	3.542	67%/33%	28,600	13,900	42,500

System #2 Equipment Data

	<u>Heating System</u>	<u>Cooling System</u>
Type:	Electric Resistance	Standard A/C
Model:	H2RC042	F3Fp048
Brand:	York	York
Efficiency:	1	12
Blower CFM:	1600	1600
Capacity:		42,500 Btuh
Sensible Capacity:	n/a	28,600 Btuh
Latent Capacity:	n/a	13,900 Btuh

Room Load Summary Reports

System #3 Room Load Summary

No	Room Name	Area SF	Htg Sens Btuh	Htg Nom CFM	Run Duct Size	Run Duct Vel	Clg Sens Btuh	Clg Lat Btuh	Clg Nom CFM	Zone Adj Fact	Clg Adj CFM	Air Sys CFM
---Zone 1---												
10	bedroom #2	168	6,081	132	1-7	489	3,029	761	131	1.25	172	131
11	WIC	36	1,043	23	1-4	221	447	0	19	1.00	20	19
12	Bath #3	60	1,280	28	1-4	335	677	148	29	1.25	38	29
13	Bedroom #3	208	6,960	151	1-7	550	3,406	891	147	1.00	155	147
14	Loft-Walk Way	238	4,127	90	2-4	581	2,349	741	101	1.05	112	101
15	Study	192	6,441	140	1-7	547	3,385	911	146	1.18	182	146
16	Guest Bedroom	196	6,303	137	1-7	514	3,178	855	137	1.00	145	137
17	WIC & Storage	80	3,102	67	2-4	321	1,297	0	56	1.00	59	56
18	Bath #2	72	1,453	32	1-4	374	756	148	33	1.25	43	33
System 3 Totals		1250	36,790	800			18,524	4,455	800		926	800

Main Trunk Size: 12x12 in.

System #3 Cooling System Summary

	Cooling Tons	Sensible/Latent Split	Sensible Btuh	Latent Btuh	Total Btuh
Net Required:	1.915	81%/19%	18,524	4,455	22,979
Recommended:	2.005	77%/23%	18,524	5,533	24,057
Actual:	1.967	74%/26%	17,500	6,100	23,600

System #3 Equipment Data

	<u>Heating System</u>	<u>Cooling System</u>
Type:	Electric Resistance	Standard A/C
Model:	H2RC024	F3RP024
Brand:	York	York
Efficiency:	1	12
Blower CFM:	800	800
Capacity:		23,600 Btuh
Sensible Capacity:	n/a	17,500 Btuh
Latent Capacity:	n/a	6,100 Btuh

Room Load Summary - Zone 1

System 3 - Cooling

No	Room Name	Area SF	Htg Sens Btuh	Htg Nom CFM	Run Duct Size	Run Duct Vel	Clg Sens Btuh	Clg Lat Btuh	Clg Nom CFM	Zone Adj Fact	Clg Adj CFM	Air Sys CFM
---Zone 1---												
10	bedroom #2	168	6,081	132	1-7	489	3,029	761	131	1.25	172	131
11	WIC	36	1,043	23	1-4	221	447	0	19	1.00	20	19
12	Bath #3	60	1,280	28	1-4	335	677	148	29	1.25	38	29
13	Bedroom #3	208	6,960	151	1-7	550	3,406	891	147	1.00	155	147
14	Loft-Walk Way	238	4,127	90	2-4	581	2,349	741	101	1.05	112	101
15	Study	192	6,441	140	1-7	547	3,385	911	146	1.18	182	146
16	Guest Bedroom	196	6,303	137	1-7	514	3,178	855	137	1.00	145	137
17	WIC & Storage	80	3,102	67	2-4	321	1,297	0	56	1.00	59	56
18	Bath #2	72	1,453	32	1-4	374	756	148	33	1.25	43	33
System 3 Totals		1250	36,790	800			18,524	4,455	800		926	800

Main Trunk Size: 12x12 in.

System 3 - Cooling

	Cooling - Tons	Sensible/Latent Split	Sensible Btuh	Latent Btuh	Total Btuh
Net Required:	1.915	81%/19%	18,524	4,455	22,979
Recommended:	2.005	77%/23%	18,524	5,533	24,057
Actual:	1.967	74%/26%	17,500	6,100	23,600

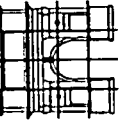
System 3 - Equipment

	<u>Heating System</u>	<u>Cooling System</u>
Type:	Electric Resistance	Standard A/C
Model:	H2RC024	F3RP024
Brand:	York	York
Efficiency:	1	12
Blower CFM:	800	800
Capacity:		23,600 Btuh
Sensible Capacity:	n/a	17,500 Btuh
Latent Capacity:	n/a	6,100 Btuh

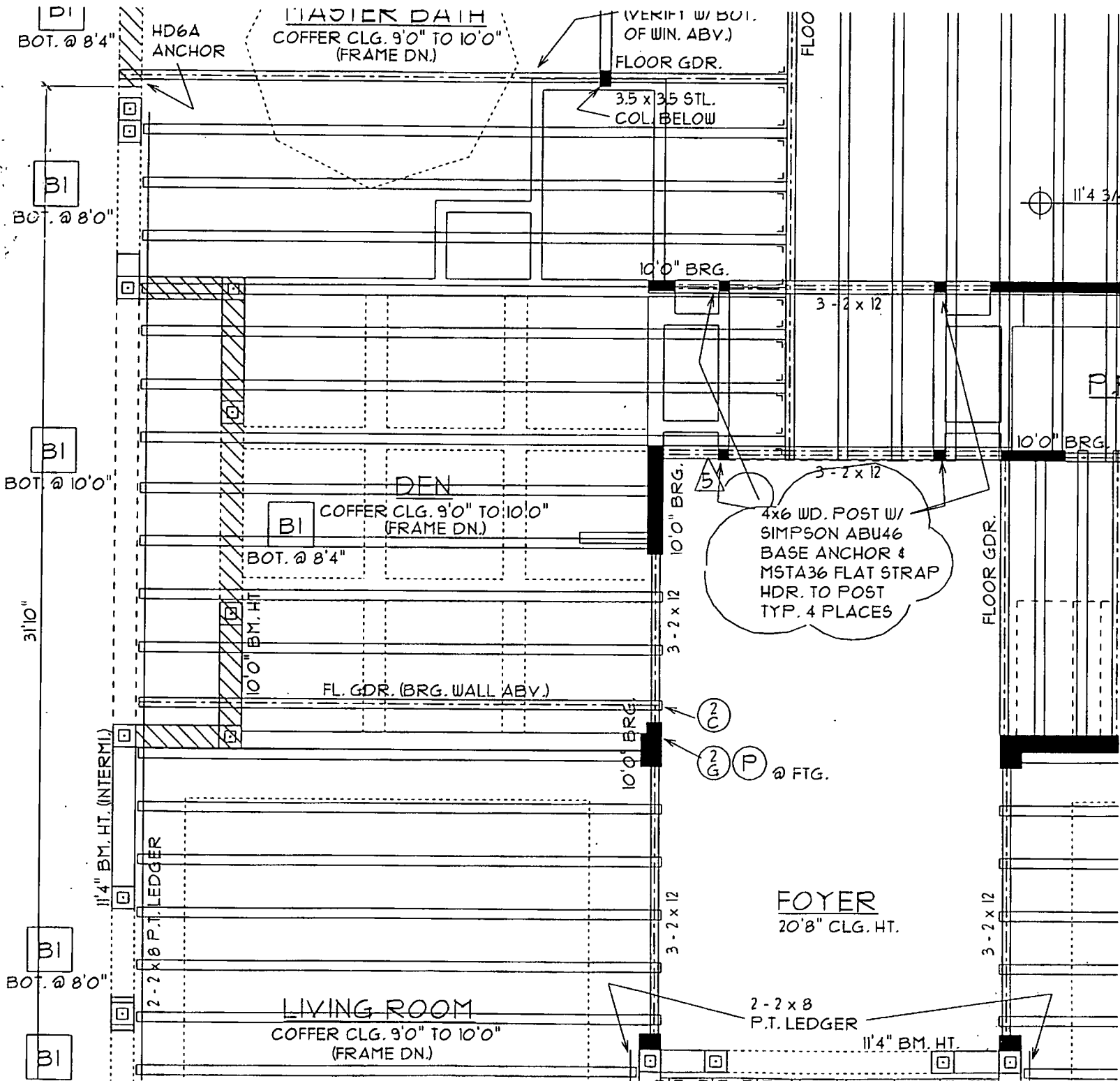
LACROSTER/MARVIN P&S.
 #8 PIPEAPPLE L&BE

REV. - BRG POST 7/13/04

M.A. CORSON & ASSOCIATES, INC.
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 800 E. Ocean Blvd. Suite C. Stuart, FL 34994
 (772) 223-8227 - Fax 223-8234



[Handwritten signature]



D1
 BOT. @ 8'4"
 HD6A ANCHOR
 31'10"
 B1
 BOT. @ 8'0"
 B1
 BOT. @ 10'0"
 B1
 BOT. @ 8'4"
 B1
 BOT. @ 8'0"
 B1
 BOT. @ 8'0"
 B1

MASTER BATH
 COFFER CLG. 9'0" TO 10'0"
 (FRAME DN.)

DEN
 COFFER CLG. 9'0" TO 10'0"
 (FRAME DN.)

FL. GDR. (BRG. WALL ABV.)

LIVING ROOM
 COFFER CLG. 9'0" TO 10'0"
 (FRAME DN.)

(VERIFY W/ BOT.
 OF WIN. ABV.)
 FLOOR GDR.

3.5 x 3.5 STL. COL. BELOW

10'0" BRG.

3-2x12

3-2x12

FOYER
 20'8" CLG. HT.

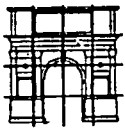
2-2x8 P.T. LEDGER

11'4" BM. HT.

FLOOR GDR.

3-2x12

11'4 3/4"



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LANCASTER / MARVIN
RESIDENCE
#2 PIPEAPPLE LH.

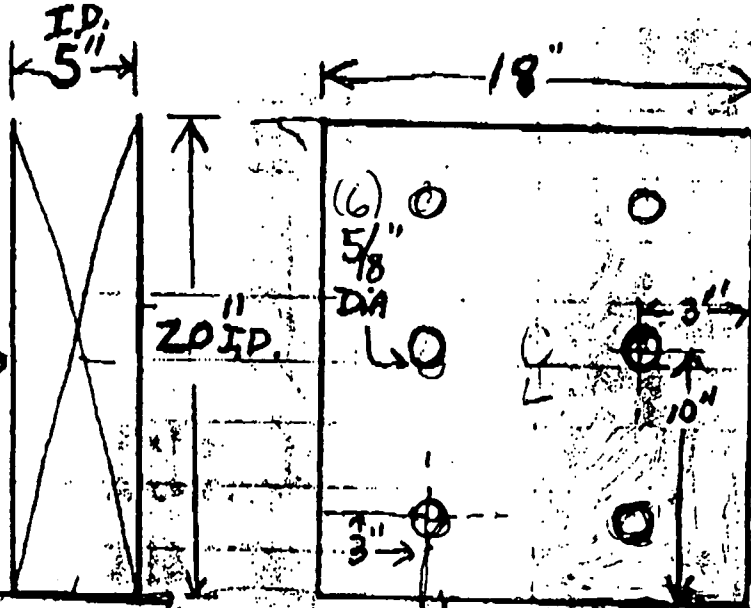
7/12/04

(A) $\frac{1}{8}'' = 1''$

STEEL COL.
@ GARAGE

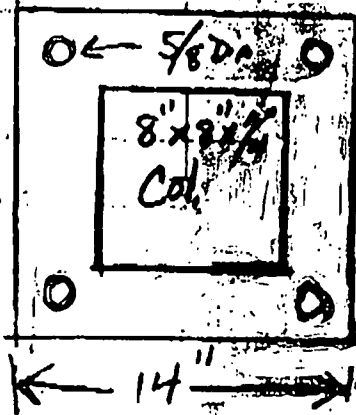
$\frac{1}{2}''$ →
STEEL

SEAT OF
BUCKET



← 8" →
 $\frac{1}{4}''$ STEEL
COL

9' $11\frac{5}{8}''$



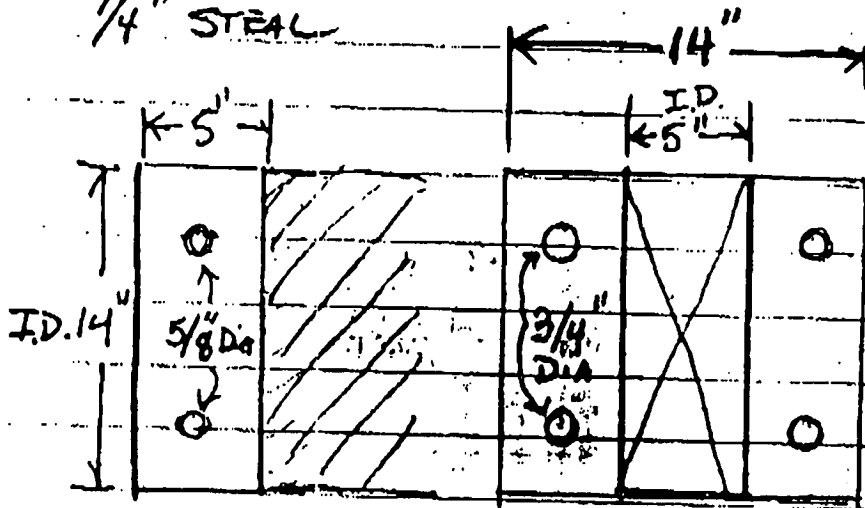
BOT. OF
PLATE

← 14" →

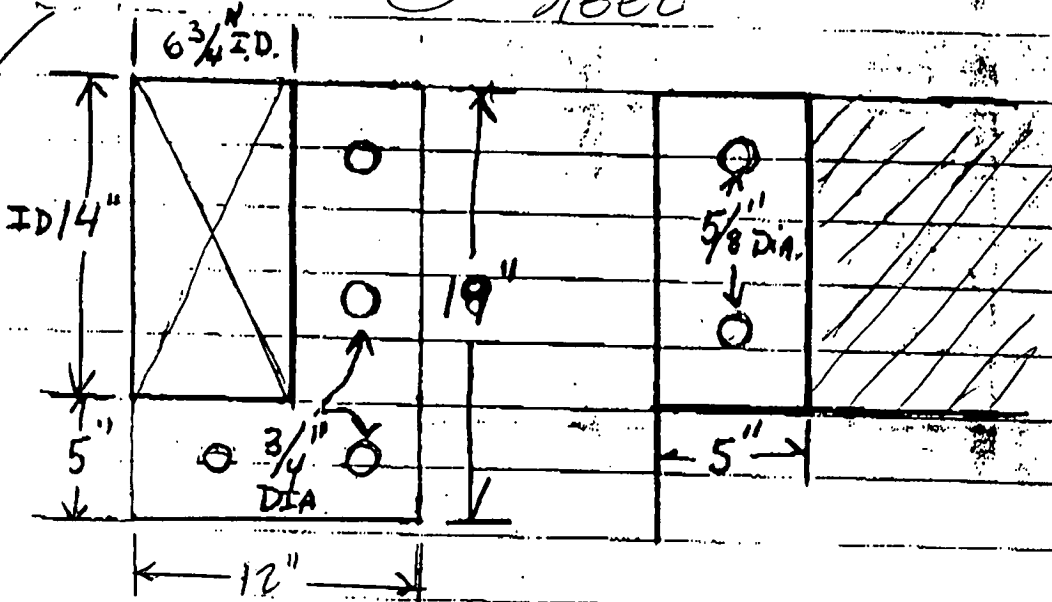
STEEL DETAILS

SHT. 1 OF 6

(B) 3-PLY
GARAGE BUCKET
1/4" STEEL



4-PLY
BUCKET 1/4" STEEL
STEEL

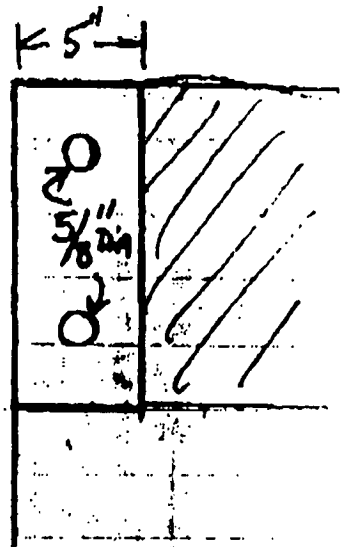
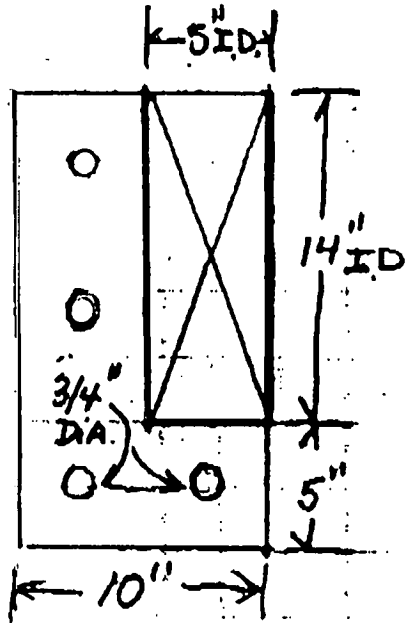


Wu h

Fig 6

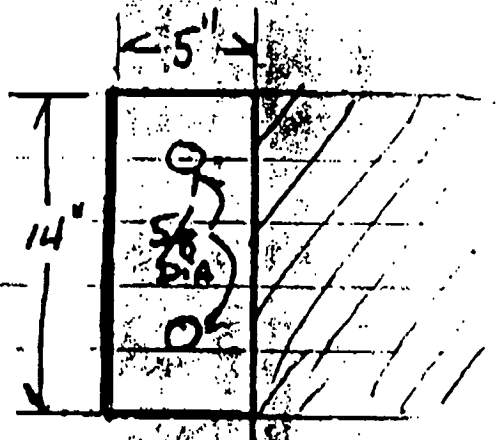
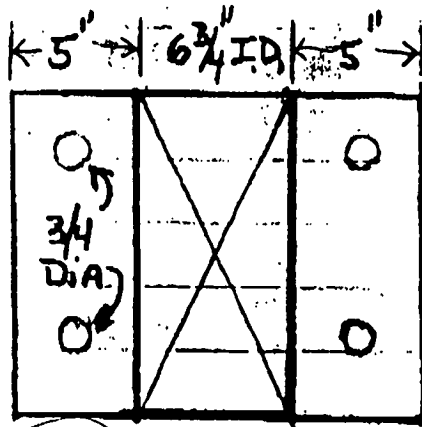
(D)

3 PLY.
BUCKET
1/4" STEEL
TYP.



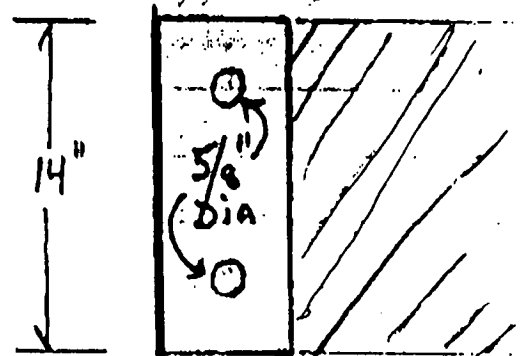
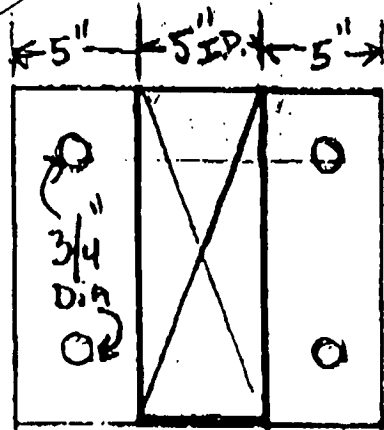
(E)

4 PLY
BUCKET
1/4" STEEL



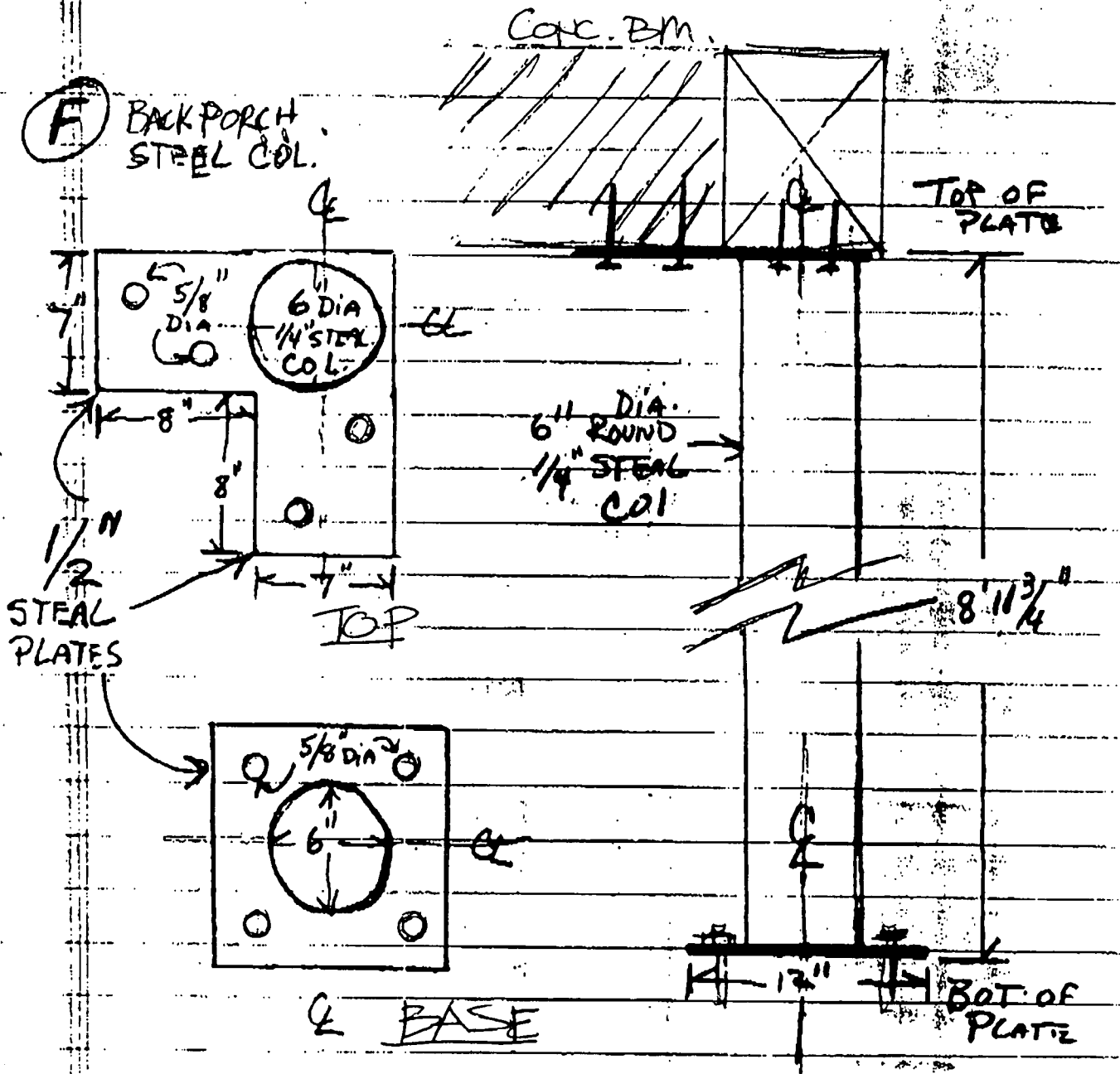
(H)

3 PLY
BUCKETS (X2)
1/4" STEEL



h/m

(F) BACK PORCH
STEEL COL.



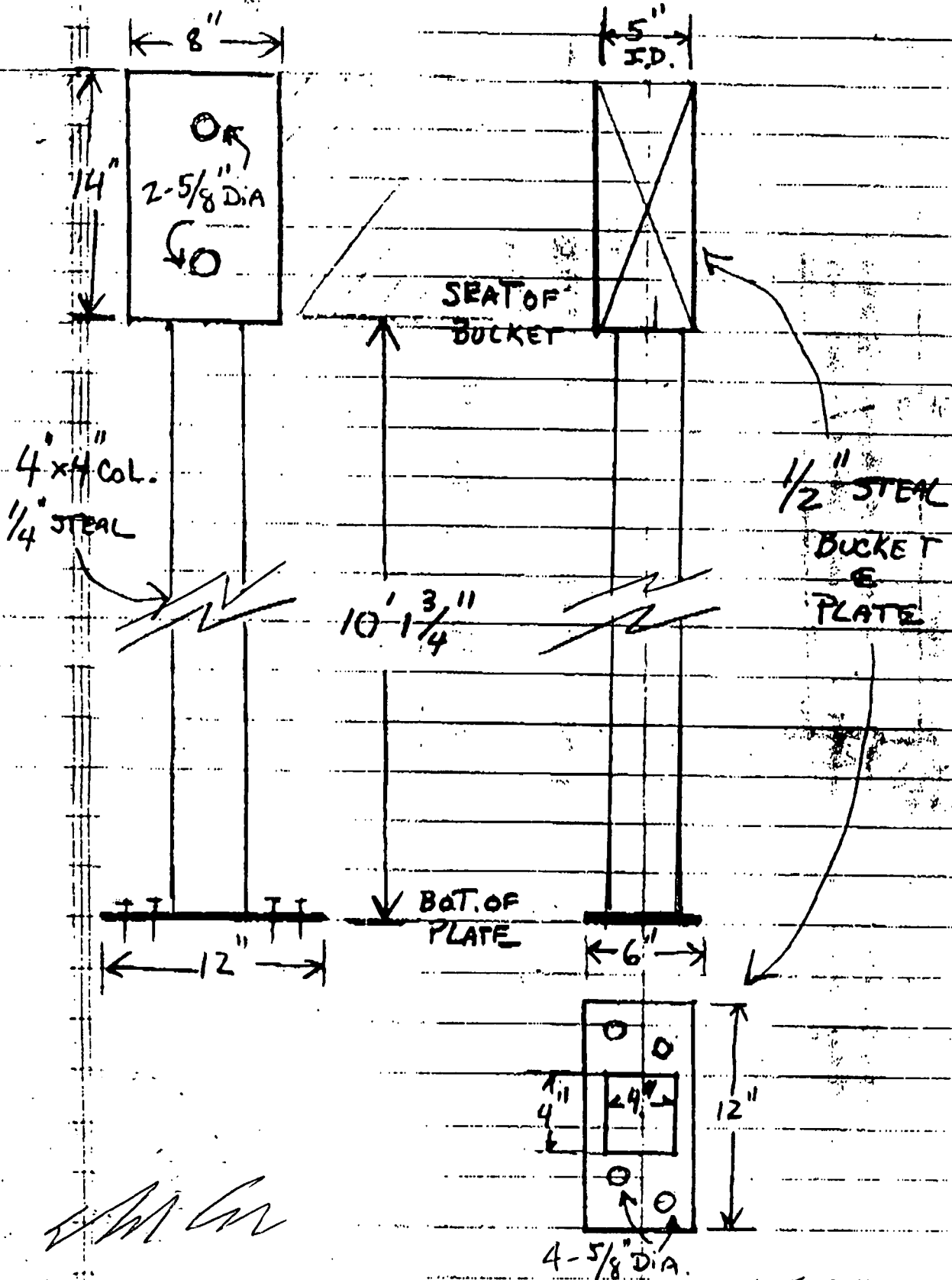
STEEL COLUMN DETAIL
@ REAR PORCH

W.M.W.R.

SHT. 4 OF 6

(G)

STEEL
COL. & BUCKET

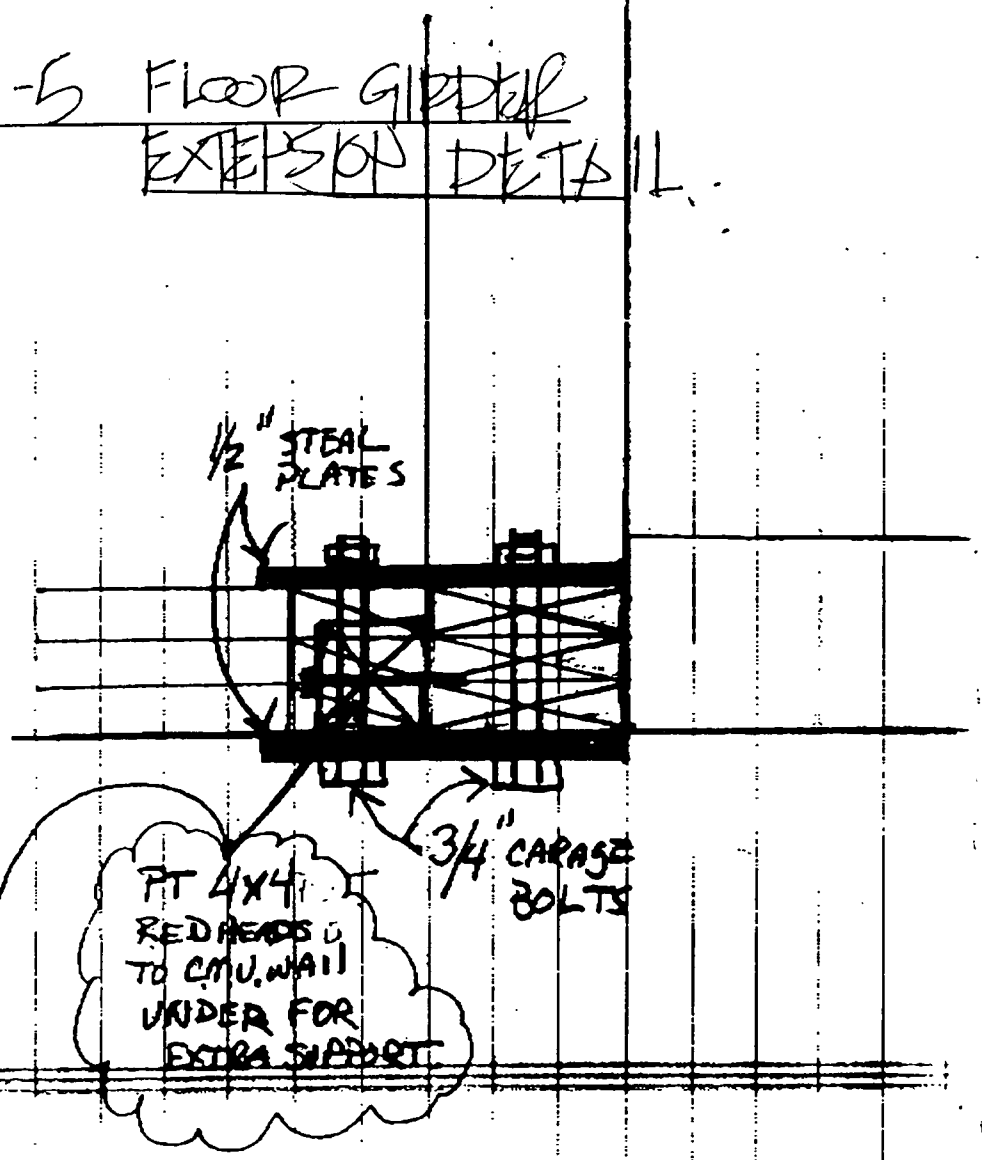
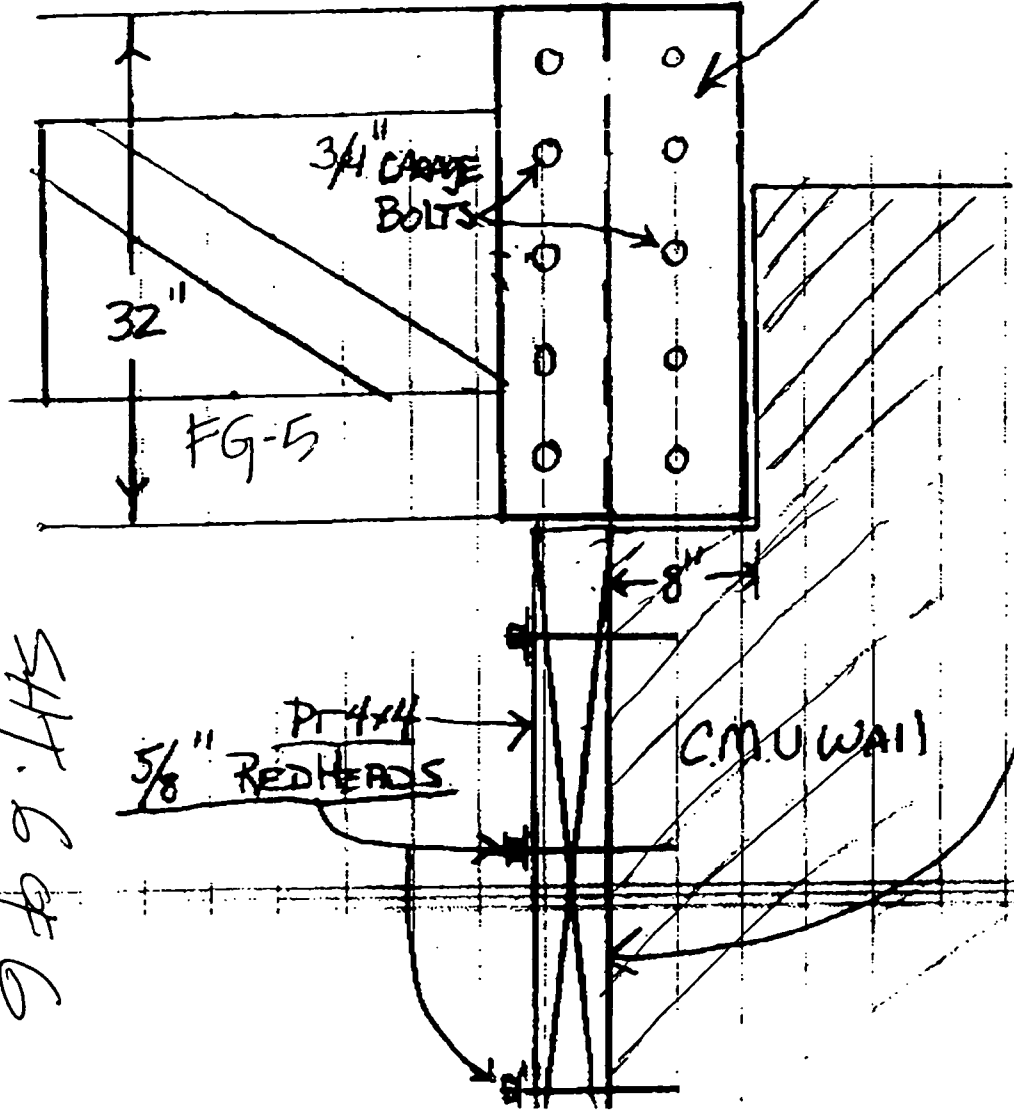


Handwritten signature

11/16

1/2" STEEL PLATES
BOTH SIDES

FG-5 FLOOR GIRDER EXTENSION DETAIL



SHT. 6 of 6



TOWN OF SEWALL'S POINT

One South Sewall's Point Road

Sewall's Point, Florida 34996

(772) 287-2455

CORRECTION NOTICE

ADDRESS: 8 PINEAPPLE

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

STEM WALL FOOTER
MISSING DOWEL AT SOUTH
JAMB OF MASTER BATH
OPENING,
AT NORTH BOW WINDOW NEED
ENGR LETTER INDICATING
MINIMUM STEEL REQUIRED
WHERE FOOTER WIDTH WAS
INCREASED FROM THAT SHOWN
ON PLAN

DEFICIENCIES CORRECTED AS PER FANELON
W/ JEFF BOWERS. INSPECTION PASSED

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 2/25

PHIL

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 2/25 2004 Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6574	LANCASTER	POOLING	FAIL	DEFICIENCIES CORRECTED
2	8 PINEAPPLE LA MASTERPIECE			NOV IS OK ENCL WILL SEND LTR INSPECTOR: <i>[Signature]</i>
6573	RASLIN	HAMBROO ANT.	PASS	FINAL SURVEY
3	144 N. SEWALL'S Pt ARTEKA CONST	TOWER - Final		RECEIVED - CLOSE PERMIT INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3/24 20014 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6261	SMITH	ELEC ROUGH	PASS	
9	75 MACA FRAM	MECH I	PASS	INSPECTOR:
	SUNRISE CONST	MECH II	PASS	
6543	DUNN	SLAB	—	CANCEL
	31 N RIVER			
	FIRST FLORIDA			INSPECTOR:
6605	TWOHEY	DECK PATIO	PASS	
6	119 Hillcrest	SLAB		INSPECTOR:
	FLAMINGO POOLS			
5125	JONES	ELEC	FAIL	NEED TRUSS
10	14 HERON'S NEST	MECH	PASS	ENGR. DOCUMENTATI
	O/B	FRAMING	FAIL	
5125	6609 JONES	PLUMBING	PASS	
10				INSPECTOR:
6581	LASLY	PARTIAL SLAB	PASS	
1	27 W. HIGH POINT	+ PADS		INSPECTOR:
	SEAGATE	(first phase)		
6581	27 W. HIGH POINT	PLUMBING	PASS	
3	8 PINEAPPLE WAY			INSPECTOR:
	MASTERPIECE			
OTHER: _____				

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3/26, 2024 Page of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6544	LANCASTER	Mech/Elec/Rough	OK	
10	8 PINEAPPLE LA MASTERPIECE BLDG			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____



FINAL

Radio Dispatched

"24-Hour Service"

Corporate Center

P.O. Box 220928, West Palm Beach, FL 33422-0928

1-800-285-PEST (7378)

**CERTIFICATION OF PREVENTIVE SUBTERRANEAN
TERMITE SOIL TREATMENT (SLAB-PRETREATMENT)**

Owner

Lot

2

Block

Bldg.#

Sub-Division

SEWELLS POINTE

Street Address

8 PINEAPPLE LN

City

STUART, FL 34996-6340

General Contractor

MASTERPIECE BUILDERS

Sub Contractor

Date

03/30/04

Comments ACCOUNT #243889

During the term of your service agreement, any further treatment necessary due to infestation of subterranean termites (including Formosan Termites) will be performed free of charge. Any structural damage necessitating repairs (up to \$1,000,000, see details on subterranean termite service agreement) that is caused by the subterranean termites (*Reticulitermes flavipes*, *Reticulitermes virginicus*, *Reticulitermes hageni*, *Prohinotermes simplex*, and *Coptotermes formosanus*-Formosan Termite) excluding *Nasutitermes costalis* (Tree Termite) will be paid for by Hulett Environmental Services. Hulett Environmental Services will annually reinspect the property **only at your request**. The service agreement term shall be one (1) year from the initial date of treatment. The homeowner shall have the option of extending the service agreement annually (after the first year) for no less than four (4) additional years with payment of annual renewal fee. Please contact our office for further details.

Your agreement covers all materials, labor, and service needed to control an active infestation of subterranean termites including Formosan Termites. A service agreement holder can request consultation and advice concerning termites or other pests at no additional charge. This service agreement is transferable to the new owner should the property be sold. Hulett Environmental Services must be notified in writing of new ownership of the property. **Your service agreement has a \$0.00 deductible**. Should you require any additional information, please contact our termite renewal department. This building has received a complete treatment for the prevention of subterranean termites. Treatment is in accordance with rules and laws established by the Florida Department of Agriculture and Consumer Services.

CERTIFICATION SIGNED

www.bugs.com



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 8 PINEAPPLE

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

SLAB

BONDING WIRE NOT ATTACHED TO
GARAGE FOOTER STEEL -

STEEL MISSING AT GAR. INTERIOR
FOOTERS AT NORTH END.

REFRIGERANT LINES AT N.W INTERIOR
GAR FOOTER NEED SLEEVING.

DOWEL ROD MISSING @ GAR. N.E CORNER

REMOVE VISQUEEL FROM TOP OF BOTTOM

STEEL AT GAR. INT. FOOTER WEST SIDE.

3" PLUMBING WASTE LINES TRANSVERSING
INT. FOOTER MAIN HOUSE NEED SLEEVING.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 3/31

PHIL

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3/31, 2004 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
TREE	ANDREWS	TREE	PASS	
6	75. VIA LUINDIA			INSPECTOR: <i>[Signature]</i>
TREE	KIPLINGER WASH. ED.	TREE	PASS	
5	143 S. RIVER RD			INSPECTOR: <i>[Signature]</i>
1511	UNCASTER	SUBMIT	FAIL	
3	8 PINEAPPLE LA MASTERPIECE BLDG	First Phase		INSPECTOR: <i>[Signature]</i>
6202	DICKINSON	FINAL RENOVATION	PASS	CONTRACTOR WILL SUBMIT OWNERS ACTUAL COST FORM
11	19 EMARITA PALMER CONSTR			INSPECTOR: <i>[Signature]</i>
6396	MUFSON	UPPER TIE BEAM	FAIL	
4	17 S. RIVER ROAD BUFFED	2 REAR PORCH SLAB	—	RESCHEDULE
				INSPECTOR: <i>[Signature]</i>
6658	MOORE	ROUGH GAS	PASS	
10A	5 OAK HILL WAY FERREN GAS			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 4/2, 2004 Page 2 of 3

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6541	SEWALL'S POINT	SUB	PASS	7
1A	8 PINEAPPLE WAY MASTERPICE BLDG	(FIRST THING PLEASE)		INSPECTOR: <i>[Signature]</i>
6616	REILLY	FINAL ROOF	PASS	CLOSE
5	785 SEWALL'S PT PACIFIC ROOFING	SEE OWNER		INSPECTOR: <i>[Signature]</i>
6640	SEILER	FENCE	PASS	CLOSE
6	5 KINGSTON G STUART FENCE			INSPECTOR: <i>[Signature]</i>
6819	LUBINA	FINAL SCREEN	—	WILL SCHEDULE FOR MONDAY
7	1000 VIA LUCINDIA PIONEER SCREEN			INSPECTOR: <i>[Signature]</i>
6520	HINES	STRAPPING	FAIL	
9	113 HENRY SEWALLS WINCHIP			INSPECTOR: <i>[Signature]</i>
6613	POWERS	PRE POUR	PASS	
4	70 S. SEWALL'S FLORIDA'S FINEST	STAIRS FOOTERS (Early phase)		INSPECTOR: <i>[Signature]</i>
6391	WHITWELL	TIN TAG + METAL	PASS	
14	1 MARGUERITA HENNINGWAY HOMES	ROUGH ELEC ROUGH PLUMB	— FAIL	INSPECTOR: <i>[Signature]</i>
OTHER:		ROUGH ALC	FAIL	

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5/3, 2004 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
- 6513	DUNN	TIE BEAM	PASS	
5	31 N. RIVER RD FIRST FLORIDA			INSPECTOR:
6396	MUFSON	TRUSS	FAIL	
8	17 S. RIVER ROAD BUFORD	UPPER SHEATHING TIE DOWN	PASS	RECHECKED INSPECTOR:
- 6413	POWERS	ROOF SHEATHING	PASS	
4	70 S. SEWALLS PT FLORIDA'S FINEST	WALL SHEATHING COLUMN STEEL	PASS	INSPECTOR:
- 6632	SCHUEPLER	ROAD	PASS	
1	110 ABBIE COURT O/B	STEM WALL FOOTER * FIRST PLEASE *		INSPECTOR:
- 6514	LANCASTER	TIE BEAM STEEL		NO APPROVED DRAWINGS
2	8 PINEAPPLE MASTERPIECE BLDG			ON SITE INSPECTOR:
- 6446	WILBERDING	FINAL POOL	PASS	CLOSE
6	2 PALAMA OLYMPIC POOLS			INSPECTOR:
- Tree	AYRES	TREE	PASS	
8A	15 S. RIVER RD			INSPECTOR:

OTHER:

DROD OFF FIELD COM TO 112 S SEWALLS

CHRIS - 215 - 9010 MASTERPIECE

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri May 6, 2002 Page of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6544	Lancaster	Final Meter	 	will re-inspect
3	Lata Pineapple Lane Masterpiece Builders			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7320	Beattie	Final Roof	PASS	CLOSE
8	4 Admiral's Walk Stuart Roofing			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7527	Gawl	Rough Tank + Line	PASS	
5	107 S. River Rd Martin County Propane			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7494	Van + Bosch	Gas Tank + Lines	PASS	
11	36 S River Rd Propane Disc.	Rough Set up Gas Tank + Lines		INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7516	Ferraro	Gas Tank + Lines	 	Re-inspection (feep)
4	4 Kingston Court Gulick	Rough	PASS	INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7449	Ferraro	Framing Insp	FAIL	
4	4 Kingston Court Gulick			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7378	Schmidt	Window - final	PASS	CLOSE
10	15 Heritage Way o/B			INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5/10, 2004 Page of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6689	MARLEY	FINAL Demo Screen	FAIL	
1	39 W. HIGH PT O/B			INSPECTOR: <i>[Signature]</i>
6594	LANCASTER	TIE BEAM	FAIL	5/17 RECEIVED PERMITS
2	B PINEAPPLE LA MASTERPIECE BLDGS		PASS	ENCL. LTR w/ CHANGES INSPECTOR: <i>[Signature]</i>
6711	TAN/ARNETTE	PRE POUR	PASS	
4	7 COPAIRE O/B			INSPECTOR: <i>[Signature]</i>
6355	PARADISE	POWER RELEASE	FAIL	
3	11 RIDGELAND TODD CUSTOM HOMES			INSPECTOR: <i>[Signature]</i>
6631	MERKIN	JET SKI LIFT	PASS	CLOSE
5	93 1/2 N. SEWALL'S PT RD O/B			INSPECTOR: <i>[Signature]</i>
6717	RAPPAPORT	ROUGH PLUMBING	PASS	
6	9 RIVER CREST CT DAVE'S PLUMBING			INSPECTOR: <i>[Signature]</i>
6682	MILORD.	FTG + FOUNDATION	PASS	NO COMPACTION TEST POUL AT OWN RISK
7	10 N. SEWALL'S PT. RD. MILORD CO.		FAIL	INSPECTOR: <i>[Signature]</i>

OTHER:

~~CUT CURBS TO PROVIDE SITE ACCESS w/o PLANKS~~

AHU. #1. PANDA
 100A. PANDA
 W.M.P. #1
 10A. PAMEL
 AHU. #7
 40 A. PAMEL
 W.M.P. #2
 INSPECTION LOG.xls
 m0 A1



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: B PINE APPLE

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

TIE BEAM

ENB. LTR FOR STEEL
CONFIGURATION CHANGE AT
B-2 @ NOOK.

ENB. LTR FOR CHANGE OF
STEEL ON B-1 @ EAST
WALL GARAGE.

~~ENB LTR CHANGE OF B-4 @~~
~~COVERED PORCH TO B-1~~

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 5/10

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

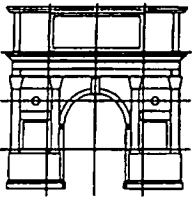
Date of Inspection: Mon Wed Fri 5/10, 2004 Page of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6689	MARLEY	FINAL Demo Screen	FAIL	
1	39 W. HIGH PT O/B			INSPECTOR: <i>[Signature]</i>
6599	LANCASTER	TREBEAN	FAIL	
2	8 PINEAPPLE LA. MASTERPIECE BLDGS			INSPECTOR: <i>[Signature]</i>
6711	TAN/ARNETTE	PRE POUR	PASS	
4	7 COPAIRE O/B			INSPECTOR: <i>[Signature]</i>
6355	PARADISE	POWER RELEASE	FAIL	
3	11 RIDGELAND TODD CUSTOM HOMES			INSPECTOR: <i>[Signature]</i>
6631	MERKIN	JET SKI LIFT	PASS	CLOSE
5	93 1/2 N. SEWALL'S PT RD O/B			INSPECTOR: <i>[Signature]</i>
6717	RAPPAPORT	ROUGH PLUMBING	PASS	
6	9 RIVER CREST CT DAVE'S PLUMBING			INSPECTOR: <i>[Signature]</i>
6682	MILORD.	FTG + FOUNDATION	PASS	NO COMPACTION TEST POUL AT OWN RISK
7	10 N. SEWALL'S PT. RD. MILORD CO.		FAIL	INSPECTOR: <i>[Signature]</i>

OTHER:

~~CUT CURBS TO PROVIDE SITE ACCESS w/o PLANKS~~

AHV. #1. PARA. COMP. #1. 40 A. PANEL
 AHV. #7. 40 A. PANEL COMP. #2. NO A. 1



M.A. Corson

M.A. CORSON & ASSOCIATES, Inc.
ARCHITECTURE • STRUCTURAL DESIGNS

LANCASTER/MARVIN
RESIDENCE
#2 PINEAPPLE LN.

REV. 5/12/04

CONC BEAM REVISIONS

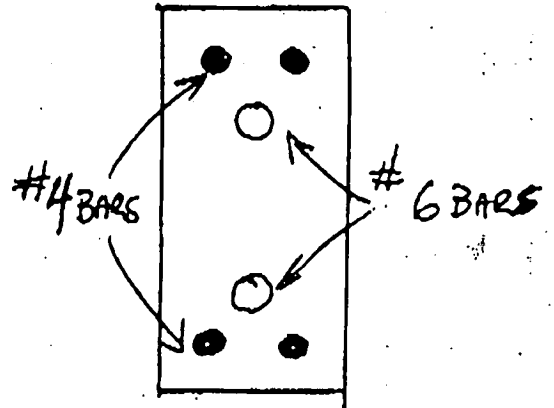
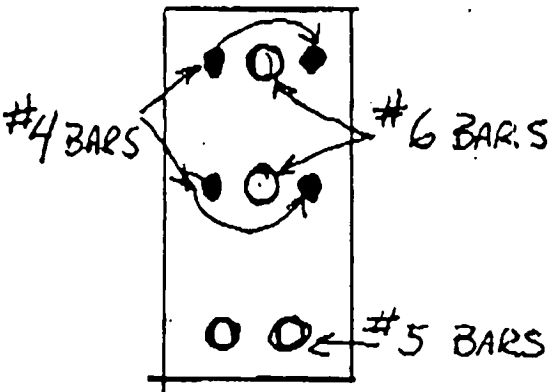
IN FIELD (AS BUILT)

ON PLAN

B-2

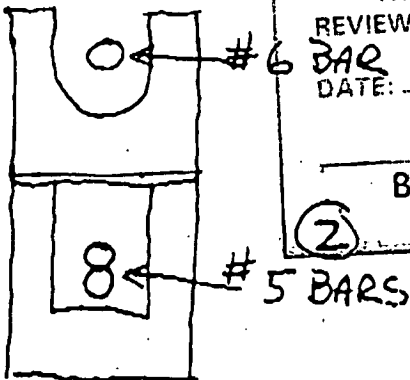
BREAKFAST POURED BEAM

B-2

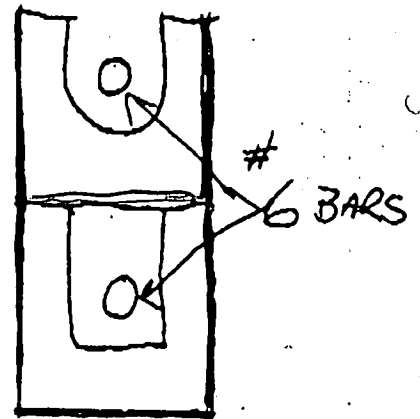


B-1

GARAGE BEAM



B-1



FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE.
DATE: 5/17/04
[Signature]
BUILDING OFFICIAL
Gene Simmons

②

LANCASTER/MARVIN RESIDENCE

#2 FRED APPLE LN.
 TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE: 4/4/04
 BUILDING OFFICIAL TO EXIST. BTM. 4" MIN.
 Gene Simmons @ 24" O.C.

10683

#5 VERT. PARS EPOXIED
 @ 24" O.C.

VERT. STEEL
 FOR BALCONY
 COLUMNS

DOWEL
 &
 EPOXY
 MIN. 6"

DOWEL
 &
 EPOXY
 MIN. 6"

NEW 12"
 TIE BEAM

2 #6
 BARS

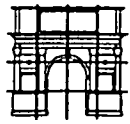
#4 CORNER
 BARS

NEW
 POURED
 12"
 TIE
 BEAM

EXISTING WALL & BEAM

GARAGE 12" TIE BEAM & STEEL
 DETAIL FOR BALCONY AREA.

BEAM EXTENSION
 @ GARAGE BALCONY



M.A. CORSON & ASSOCIATES, INC.
 ARCHITECTURE • STRUCTURAL DESIGN
 800 E. Ocean Blvd. Suite C Stuart, FL 34994
 (772) 223-8227 - Fax 223-8234

REV. 5/28/04

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5/26, 2004 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6046	RONAN	FINAL ROOF	PASS	CLOSE
8	14 COPAIRE ROAD CARDINAL ROOFING			INSPECTOR:
6620	DONALDSON	LANDSCAPE TERRACING FINAL	PASS	CLOSE
10	35 N. RIVER RD NATURAL BALANCE			INSPECTOR:
3541	LANCASTER	TEMP ELEC	PASS	NOTIFY F.P.L.
4	8 PINEAPPLE LA MASTERPIECE BLDGS			INSPECTOR:
TREE	MACCALLUM	TREE	PASS	
11	3 QUAIL RUN			INSPECTOR:
6480	WADE	LATH (PARTIAL	PASS	NER 272 11/2" x 1"
	9 HIGH POINT PINE ORCHARD	ON NORTH & EAST SIDE)		215-5268 JOHN VINCE 215-18591 644
6748	REICH	FOOTER POOL DECK	FAIL	
2	22 MIDDLE IANIERO			INSPECTOR:
6355	PARADISE	FINAL MEDIAN.	FAIL	
1	11 RIDGELAND TODD CUSTOM HOMES			INSPECTOR:

OTHER: _____

Soil Treatment

6544 P.N.

Property Treated 8 Pineapple Ln

City SP

Lot# 2 Block _____

Subdivision Sewals Pt

Technician mf

Date Treated 6/1 Time _____

Product Used NAU

% of Concentration .5

of Gallons Used 19

Circle One

Under Slab Slab Abutments

Perimeter Treatment

Comments: (Breezway)



HULETT
environmental
services

1-800-285-7378

- Pest Control
- Lawn Spraying
- Termite Control

TERMITE PROOFED

“Pest Control’s Finest”

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 6/7, 2004 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6514	LANCASTER	FOOTER	PASS	
2	8 PINEAPPLE MASTERPIECE	SLAB		INSPECTOR:
6513	DUNN	TIE BEAM	PASS	
3	31 N. RIVER FIRST FLORIDA			INSPECTOR:
6719	DONATHUE	SLAB	PASS	
1	1163 S SEWALL'S Pt SAMMONS			INSPECTOR:
6715	RAPPAPORT	FRAMING	PASS	
	9 RIVERCREST GOUCH + McCABEY	MECHANICAL	FAIL	INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: CHECK ON FTB ON S. SEWALL'S -



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 8 PINEAPPLE

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

TIE BEAM

NO LADDERS ON 2ND LEVEL
TO INSPECT BOND
BEAM.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 6/28

[Signature]

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 6/28, 2002 Page 2 of


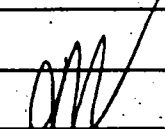
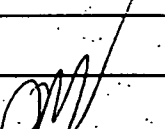
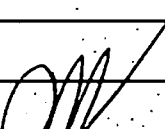

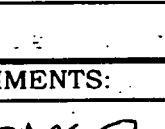
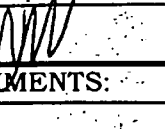
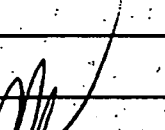
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6784	SANGRANTKA	ROUGH PLUMBING	PASS	HAS EXPOSED
5	20 S. VIACINDIA SAMMONS			WIRING & JUNCTION INSPECTOR: <i>[Signature]</i>
6355	PARADISE	FINAL SFR	FAIL	
1	11 RIDGELAND TEDD CUSTOM HOMES			INSPECTOR: <i>[Signature]</i>
6544	LANCASTER	BEAM	FAIL	NO LADDER ON JOB FOR 2ND FL.
4	8 PINEAPPLE MASTERPIECE			INSPECTOR: <i>[Signature]</i>
6708	ANDERSON	PLUMBING	PASS	
7A	9 PALMWOOD CATOET + SONS	GR. ROUGH		INSPECTOR: <i>[Signature]</i>
6500	COBIELLA	LATH	PASS	
11	8 N SEWALL'S PT PIZZERIA			INSPECTOR: <i>[Signature]</i>
				INSPECTOR: <i>[Signature]</i>
				INSPECTOR: <i>[Signature]</i>

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 6/30, 20014 Page 2 of

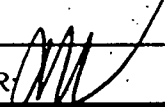
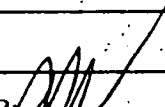
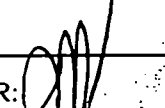
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6677	GOVEL	ALL TRADES		
5	5 RIVERVIEW	FRAMING	PASS	
	O/B			INSPECTOR: 
6544	LANCASTER	BEAM	PASS	
3	5 PINEAPPLE LA			
	MASTERPIECE			INSPECTOR: 
TREE	DLABY	TREE	PASS	
4	7 OAKWOOD			
				INSPECTOR: 
TREE	READ	TREE	PASS	
6	13 SIMARA ST			
				INSPECTOR: 
6480	WADE	FOOTER		CANCEL
	9 E. HIGH POWER			
	PINE OCEAN BLUES			INSPECTOR: 
6551	LANGER	FOOTER PADS	PASS	(6) FT 6 PADS @
13	3 LOFTING WAY			REAR OF HOUSE
	FLORIDA'S FINEST			INSPECTOR: 
6781	SANGKAWKA	FOOTER/SLAB	FAIL	
7	20 S. VIA LUANDIA			
	AZTELA			INSPECTOR: 

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri July 9, 2004 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6792	RAPPAPORT	FOOTER	—	RECHECK
13	9 RIVER CREST			FOIL 7/12 (MON)
	QUICK+MCCAVLEY			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	BEUNER	TREE	PASS	OWNER NOT HOME NEED OWNERS
11	19 RIVERVIEW			VERIFICATION
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	HART	TREE	PASS	NEED OWNERS
5	61 S. RIVER RD			VERIFICATION
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6807	FENSTERER	DRY IN + METAL	PASS	
9	71 S. SEWALL'S PKRD			
	SWART ROOFING			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6544	LANCASTER	ROOF SHEATHING	PASS	
6	8 PINEAPPLE LA	SIDING "	PASS	
	MASTER P.IECE			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6781	SANGRAJILA	SLAB	PASS	
10	20 VIA LUCINDIAS			
	ARTELA	(After ill please)		INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6810	JONES	PUMP ROOM	X	
12	19 PALMETTO	IN GR PUMP		
	OB	GAS		INSPECTOR:

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 5 PINE APPLE

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FLOOR/ROOF TRUSS

NEED ENGR LTR APPROVING
DESIGN OF GIRDER SADDLES
FOR F65A & F66,

NEED ENGR. LTR STATING REQUIREMENT
FOR COLUMN SUPPORTS (4) @
FOYER.

NEED ENGR LTR FOR BULKET @
FL GIRDER F65.

NEED ENGR. LTR APPROVING
GIRDER BULKETS FOR GAR. FLOOR SYS.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 7/12


INSPECTOR

DO NOT REMOVE THIS TAG



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 5 PINEAPPLE

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FLOOR / ROOF TRUSS

FB5A - NEED ENGR LTR EXPLAINING
REQUIREMENT FOR 1/2" Ø BOLTS
AT 24" ON CENTER FOR
BOTTOM CHORD,

TIGHTEN ALL BOLTS AT WOOD LEWERS
& SADDLES

FL8 ARE INSTALLED UPSIDE DOWN

FL7, 6, 5 NEED BOTTOM CHORD LAT. BRACE

FL3 - NEED BOTTOM CHORD LAT. BRACE

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 7/12

OM
INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri JULY 12, 2008 Page 4 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6719	DONAHUE	TIE BEAM	FAIL	'N' ZONE ON SURVEY.
1	1163 S. SEWALL ST HALL SAMMONS			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6511	LANCASTER	STRAPPING	FAIL	WILL NEED BACK
2	8 PINEAPPLE MASTERPIECE	FLOOR+ROOF TRUSS		INSP. FOR DOORS & WINDOWS INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6513	DUNN	SHEDDING ROOF	PASS	
4	31 N. RIVER RD FIRST FLORIDA			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	BRUNER	TREE	PASS	
3	119 RIVERVIEW			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
		NOTIFY	DONE	WORKERS ARE TRASHING LOT TO
	5 OAKHILL	BUILDER-		INSPECTOR: TR/HT
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6792	RAPPACOT	FOOTER	PASS	
	9 RIVER CRESS GULICK+MCCANN			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	FIELDS	TREE	PASS	
	32 E. HIGH POINT			INSPECTOR: <i>[Signature]</i>

OTHER:

7/12 10 N. SPH. DISCUSSED W/ G. MILORD NEED TO INSTALL SILT SCREEN & CLEAN UP DEBRIS IN ROAD RIGHT OFFWAY

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 7/16, 2004 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	GUNZEL	TREE	PASS	
4	19 N. VIA LUCINDIA			INSPECTOR:
6829	KEARNEY	SHEATHING		RESCHEDULE
6A	12 N. RIVER RD JA TAYLOR ROOFING	IN PROGRESS TINTAG METAL		INSPECTOR:
6513	DUNN	PARTIAL ROOF NAILING	PASS	
6	31 N. RIVER FIRST FLORIDA			INSPECTOR:
TREE	STEVENSON	TREE	PASS	
9	1 LAGOON ISLAND			INSPECTOR:
TREE	SPIEGEL	TREE	PASS	
5	14 S. SEWALLS PT			INSPECTOR:
6776	WOKOTT	FINAL-FRAMING	PASS	
2	7 ISLAND ROAD WILSON BUDS			INSPECTOR:
6544	LANCASTER	FRAMING	PASS	
3	8 PINEAPPLE LA MASTERPIECE BUDS	TRUSS		INSPECTOR:

OTHER:

21 LANTANA - TERMITE DAMAGE -
9 LANTANA

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri JULY 23, 2002 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6514	LANCASTER	ROOF SHEATHING	PASS	
2	8 PINEAPPLE LA MASTERPIECE	+ TIN TAG		INSPECTOR:
6450	SMITH	FENCE	FAIL	
6451 3	133 S. RIVER RD MACALI BLDGS	FENCE ELECTRIC	FAIL	INSPECTOR:
6792	RAPPAPORT	SHEATHING		CANCEL
6	9 RIVER CREST GULICH McCAULEY	(later as possible?)		INSPECTOR:
6837	SMITH	SHEATHING		CANCEL
4	11 W. HIGH POINT PACIFIC ROOFING			INSPECTOR:
6581	LASKY	TIN TAG + METAL	FAIL	
1	27 W. HIGH POINT PACIFIC ROOFING			INSPECTOR:
6835	PLATT	GARAGE DOOR	PASS	CLOSE
5	12 HERON'S NEST O/B.			INSPECTOR:
6577	LANGER	POOL STRA	PASS	
6	3 LOFTI OLYMPIC POOLS			INSPECTOR:

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

8
ADDRESS: PINEAPPLE LANE

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

SIGN ORDINANCE #76 MUST
BE POSTED IN CONSPICUOUS
LOCATION FOR DURATION OF
PROJECT

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 8/2

[Signature]

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT
 1 SOUTH SEWALL'S POINT ROAD
 SEWALL'S POINT, FLORIDA 34996
 NO. _____
 DATE 8/3/04
 RECEIVED FROM AMOS/MASTERPIECE BUILDERS
Forty AND 00/100 DOLLARS
REINSPECTION FEE PN 6820

Account Total \$ 40.00
 Amount Paid \$ 40.00 #3575
 Balance Due \$ 0 *Robin*



MASTERPIECE BUILDERS
 408 COLORADO AVE.
 STUART, FL 34994
 (772) 283-2096 • CGC 048543

HARBOR FEDERAL
 789 S. FEDERAL HWY.
 STUART, FL 34994

3575

63-8419/2670

CHECK NO. 003575

FORTY DOLLARS AND 00 CENTS

DATE

AMOUNT

08-02-2004

\$40.00

TOWN OF SEWALLS POINT

Barbara Bowers

AUTHORIZED SIGNATURE

⑈003575⑈ ⑆267084199⑆2600001089917⑈

Security features. Details on back.

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 11/12, 2004 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
1	TREE TOPPING 7 MIDDLE RD	TREES	PASS	INSPECTOR: <i>OW</i>
6977	FRIBORG	DEM LN	PASS	
8	9 COPAIRE DVD DEVELOPMENT (FIRST PHASE)			INSPECTOR: <i>OW</i>
7	SCHER 2 COPAIRE RD	TREE (limb)	FAIL	INSPECTOR: <i>OW</i>
6917	SEYMOUR 73 S. SEWALLS PT	PRE DRYWALL	FAIL	
6	O/B	(house open)		INSPECTOR: <i>OW</i>
6544	LANCASTER	LANC	PASS	
3	8 PINEAPPLE LA MASTERPIECE BLDG			INSPECTOR: <i>OW</i>
6883	VALLIERE 79 S. RIVER RD	DEIPEGE	PASS	
2	O/B			INSPECTOR: <i>OW</i>
6232	MOORE 5 OAK HILL WAY	FINAL HVAC " ROOF	PASS	
10				INSPECTOR: <i>OW</i>

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 8 PINEAPPLE

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

HVAC ROUGH

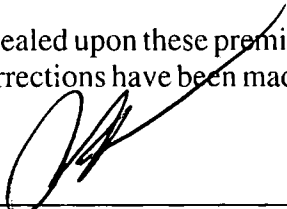
COMPLETE DUCTWORK IN DEN
BATH EXHAUST DUCT IN 2ND FL
GUEST IS SPLIT.

REVISE PLANS TO SHOW LAYOUT
AS INSTALLED.

CENTER SUPPLY IN KITCHEN PER PLAN

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 12/17



INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri Dec 17, 2004 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6544	LANCASTER	HVAC BOUGH	FAIL	HE WILL RECHECK
3	8 PINEAPPLE MASTERPIECE BLDG			INSPECTOR:
6982	COCORULLO	FINAL DOCK	PASS	CLOSE
2	20 ISLAND RD CUSTOM BUILT MARINE			INSPECTOR:
7103	O'BRIEN	FENCE FINAL	PASS	CLOSE
1	36 E. HIGH PT RD LAWRENCE FENCE			INSPECTOR:
7135	COCORULLO	DOCK ELEC FINAL	PASS	CLOSE
2	20 ISLAND DR RIVERSIDE ELEC			INSPECTOR:
6901	WOLCOTT	FINAL ROOF	PASS	CLOSE
4	32 RIO VISTA PACIFIC	DOCK STAIRS DOCK STAIRS	— —	INSPECTOR:
7000	MCMANON	TREE	PASS	
5	57 S. SEWALL SP			INSPECTOR:
6753	RADER	TIE BEAM	PASS	
6	5 HERITAGE WAY A&P			INSPECTOR:

OTHER: _____

215-9013 CWETIS

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 12/20, 2008 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6762	GIACCHINO	FINAL REMODEL	FAIL	
6	96 S. SEWALLS Pt BAYVIEW	KITCHEN/BATH		INSPECTOR: <i>[Signature]</i>
6765A	GIACCHINO	FINAL FENCE	PASS	CLOSE
6	96 S. SEWALLS Pt BAYVIEW			INSPECTOR: <i>[Signature]</i>
6828	BURROUGHS	FINAL POOL SCREEN	PASS	CLOSE
6	96 S. SEWALLS Pt SCREEN BUILDERS			INSPECTOR: <i>[Signature]</i>
7141	JOHNSTON	INT GAS ROUTING	FAIL	
1	34 W. HIGH Pt LESTER CONTR.			INSPECTOR: <i>[Signature]</i>
7115	KELSEY	FENCE FINAL	PASS	CLOSE
8	11 EMARITA WAY STUART FENCE			INSPECTOR: <i>[Signature]</i>
6544	JOHN LANCASTER	POOL & PUMPS		PLEASE RESCHEDULE
5	8 PINEAPPLE LA DAVE'S PUMPING	CANCELLED		FOR WED, 12/22 INSPECTOR: <i>[Signature]</i>
6413	POWERS	FRAMING	PASS	
7	70 S. SEWALLS Pt FLORIDA'S FINEST	(REVISIONS)		INSPECTOR: <i>[Signature]</i>

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 8 PINEAPPLE

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

ROUGH PLUMBING

- MASTER SHOWER NOT COMPLETE.
- HOSE BIB MISSING WEST SIDE
- TAR PIPE SLEEVING OPENINGS -
- BATH #3 MISSING SHOWER PAN
- NO WATER TEST ON COPPER
OR 2ND FL P.V.C.

WORK NOT COMPLETED
FOR INSPECTION \$40 FEE

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 12/22

[Signature]

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 12/22, 2004 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6632	SCHERLING	ELEC ROUGH	FAIL	NEC. DEP. FOR
2	110 ABBIE COURT	FRAMING	PASS	CLOSET LIGHT
	O/B	285-3846		INSPECTOR: <i>[Signature]</i>
7050	KNUDSON	SHEATHING	FAIL	
9	135 VIA LUCINDIA	TIN TAG + MECH	FAIL	
	MATHEWS ROOFING			INSPECTOR: <i>[Signature]</i>
6821	POWERS	FINAL GAS	—	WILL REEVALUATE
8	70 S. SEWALL'S Pt			
	FERRILL GAS			INSPECTOR: <i>[Signature]</i>
7146	WADE	ROUGH GAS	PASS	
1	9 E. HIGH POINT			
	BEACON APPLIANCES			INSPECTOR: <i>[Signature]</i>
6682	MILORD	ELEC MECH FINAL	FAIL	
16	10 N. SEWALL'S			
	MILORD			INSPECTOR: <i>[Signature]</i>
6544	LANCASTER	ROUGH + PLUMB	FAIL	INSPECTOR: <i>[Signature]</i>
3	8 PINEAPPLE			\$40 FEE
	DAVE'S PLUMBING			INSPECTOR: <i>[Signature]</i>
6985	DELANEY	REPAIR FENCE	PASS	CLOSE
6	116 S. SEWALL'S Pt	FINAL		
	O/B			INSPECTOR: <i>[Signature]</i>
OTHER:	3 MELODY HILL - FENCE PERMIT? - STOP WORK - CORR NOTICE - FILL (Did not pick)			
	6 N. SEWALL'S Pt - HOUSE CONTENTS DEBRIS - DEBRIS TO BE HAULED AWAY			



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 8 PINEAPPLE

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

ELECTRICAL TROUGH

MISSING TROUGH FOR CONDENSER
UNITS ON NORTH GARAGE
NEED REVISED ELECTRICAL SERVICE
PLANET LAYOUT & LOAD
CALCULATIONS FOR (4)
A/C SYSTEMS -
FINISH WIRING IN ATT OVER
GARAGE.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 12/29

[Signature]
INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri DEC 29, 20024 Page of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6973	ANANIA	FENCE FINAL	PASS	CLOSE
6	61 S. SEWALL'S PT SMART FENCE			INSPECTOR: <i>[Signature]</i>
7141	JOHNSTON	GAS INT. RGH	PASS	
1	34 W HIGH PT MASTERPIECE BOLS			INSPECTOR: <i>[Signature]</i>
6514	LANCASTER	ROUGH ELEC.	FAIL	
2	8 PINEAPPLE LA FORWARD ELEC			INSPECTOR: <i>[Signature]</i>
7143	ALMAN	FOOTER	FAIL	
3	106 S. RIVER O/S			INSPECTOR: <i>[Signature]</i>
-	GOZLET	CHECK EXISTING	-	DONE W/ GZLET
1	15 MANDALAY RD.	BATHHOUSE		INSPECTOR: <i>[Signature]</i>
	OLSEN	TREE - DAMAGES	-	DONE W/ GZLET
2	19 N. RIVER DR.	TO STRUCTURE		INSPECTOR: <i>[Signature]</i>
	OSTEEN	PLUMB. TROUGH	-	95% COMPLETE
	1 RIDGEVIEW ANDUS			ISSUED "STOP WORK ORDER" INSPECTOR: <i>[Signature]</i>
OTHER: _____				

MASTERPIECE BUILDERS
408 COLORADO AVE.
STUART, FL 34994
(772) 283-2096 • CGC 048543

HARBOR FEDERAL
789 S. FEDERAL HWY.
STUART, FL 34994

3832

63-8419/2670

CHECK NO.

003832

FORTY DOLLARS AND 00 CENTS

DATE

AMOUNT

PAY
TO THE
ORDER
OF

01-11-2005

\$40.00

TOWN OF SEWALLS POINT

Jeffrey Barnes

AUTHORIZED SIGNATURE

⑈003832⑈ ⑆267084199⑆2600001089917⑈

RECEIPT

DATE	1/11/05	No.	3832
RECEIVED FROM	MASTERPIECE BUILDERS/LANCASTER	\$	40.00
	FURNISHED 12/22/04		DOLLARS
<input type="radio"/> FOR RENT			
<input type="radio"/> FOR	INSPECTION 6544		
ACCOUNT	4000	<input type="radio"/> CASH	FROM _____ TO _____
PAYMENT	# 3832	<input checked="" type="radio"/> CHECK	BY <i>Jeffrey Barnes</i>
BAL. DUE		<input type="radio"/> MONEY ORDER	

adams 2701



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: B PINE APPLE LAKE

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FRAMING / ELECTRICAL / P.L.C. / A/C
PASS / PASS

USE DRAFT STOPPING ON
2ND FLOOR SYSTEM.

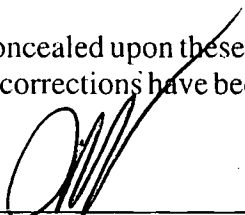
SHOW SUB PANEL @ A/C CONDENSER
UNITS -

REVISE PLANS TO SHOW LOCATION
OF CONDENSER UNITS -

ELECTRICAL RISE TO REFLECT
FIELD CONDITIONS -

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 1/12




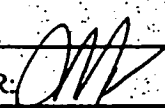
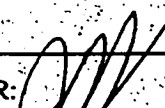




INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri JANUARY 12, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7147	DAYTON 14 PALM COURT PARKS	STRAPPING	PASS	INSPECTOR: 
7166	JAVORSKY JAVORSKY	ROOF-	PASS	
7	4 PINEAPPLE LANE 01B	IN PROGRESS		INSPECTOR: 
6544	LANCASTER	FRAMING PLUMBING	FAIL PASS	
6	8 PINEAPPLE LANE MASTERPIECE	PT ROUGH A/C ELEC ROUGH	PASS FAIL	INSPECTOR: 
	THOMPSON	ROOF- *	DONE	* WANTS OPINION IF IT IS AN EMERGENCY REPAIR (SPOKE W/ LANA A/ON FRI.)
8	179 S. RIVER RD.	SUNKEN	AGREED W/ HER ROOF PROTECT	INSPECTOR: 
6994	GIACHINO	DOCK - FINAL	FAIL	NO PLANS/PERMIT ON JOBSITE
9	63 S. RIVER RD.			INSPECTOR: 
7054	TAPPER	TEMP POLE	PASS	
5	22 ISLAND RD WINCH.P			INSPECTOR: 
6887	GESSEK	TIN TAG+METAL	PASS	
12A	53 S. SEWALLS PT PACIFIC ROOFING			INSPECTOR: 

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 5 PINEAPPLE

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

INSULATION

MISSED KNEEWALL AREA AT
N.W CORNER AT ATTIC 2ND FL.
MISSED CEILING OVER FOYER
MISSED AT LOWER WALL IN
BACK OF TUB 2ND FLOOR
SEAL AROUND DUCT AT AHU
LOCATION WHERE ENTERS AT
ATTIC.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 1/26



INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri JAN 26, 20015 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE 5	KIPLINGER 143 S. RIVER RD 018	TREE	PASS	INSPECTOR:
6544 1	LANCASTER 5 PINEAPPLE MASTERPIECE	INSULATION (First Pleaser?)	FAIL	INSPECTOR:
TREE 2	MASSAD 17 E. HIGH POINT	TREE	PASS	INSPECTOR:
6205 8A	ANDERSON 9 PALMETTO PALM BEACH CREATIVE	LATH WINDOW INST.	PASS CANCEL	INSPECTOR:
TREE 4	HIGH POINT RD INV. 141 S. RIVER RD	TREE	PASS	INSPECTOR:
6252 10	MOORE 5 OAK HILLWAY AR MARTIN	FINAL ROOF	←	RESCHEDULE FOR FRI, 1/28 INSPECTOR:
	5455 P.R. HUBBS	SCOTT 260-3208 ELEC. ROUGH	FAIL	INSPECTOR:

OTHER: _____

INTERDEPARTMENTAL REFERRAL

To:

Building Dept. Maintenance Dept. Police Dept. Other

Date: 2/8/05 Time: 0750 Location: 5 Pineapple

Nature of Problem: NO S.I.T. SCREEN
IN PLACE BUT DOWN.

MASTERPIECE BUILDERS (283-2096)
CALLED ON 2/8/05. NANCY. WILL TAKE
Observed By: OFFICER FEOLA CARE OF

Action Taken: LEFT CORRECTION NOTICE



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

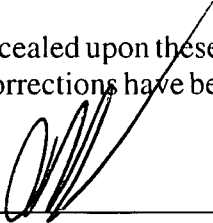
ADDRESS: PINEAPPLE

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

SILT SCREEN SHOULD BE
RELOCATED CLOSER TO
ROAD & PROPERLY INSTALLED
TO KEEP ROADWAY CLEAN
OF BLOWING DEBRIS -

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 2/9


INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3/21, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6916	CHONPOS	FINAL A/C	PASS	CLOSE
6	83 S. SEWALL'S Pt	CONDENSER		
	ADVANTAGE A/C			INSPECTOR: <i>OM</i>
6741	OSTEEN	DRIVEWAY	PASS	
8	1 RIDGEVIEW RD			
	ANGUS ENT.			INSPECTOR: <i>OM</i>
1544	LANCASTER	FD. ENG.	PASS	
5	8 PINEAPPLE LA			
	MASTERPIECE			INSPECTOR: <i>OM</i>
7363	POTSDAM	DRY-IN	PASS	
2	50 RIO VISTA			
	WESTERN ROOFING	(FIRST PLEASE)		INSPECTOR: <i>OM</i>
7257	DOSS	FINAL FILL	PASS	CLOSE
7	85 S. SEWALL'S Pt			
	O/B			INSPECTOR: <i>OM</i>
7392	ALTMAN	FOOTER FENCE	CANCEL	
4	106 S. RIVER RD			
	O/B			INSPECTOR:
7406	LIZANO	EXT. FRAMING	PASS	
1	16 CRANE'S NEST			
	MATTHEWS ROOFING	(FIRST PLEASE)		INSPECTOR: <i>OM</i>
OTHER: <u>TREES IN ROAD RIGHT OF WAY DONE</u>				



FRITZ IRRIGATION, INC.

JACK FRITZ

over 30 years experience in
service and maintenance

PO BOX 1101 HOBE SOUND, FL 33475

BUS: (772) 220-1023 CELL: 260-6017

FAX: 219-8625

June 6, 2005

Town of Sewall's Point
1 South Sewall's Pt Rd
Sewall's Pt, Florida 34996

Re: Lancaster/Marvin Residence
Lot 2 - Pincapple Lane

In accordance with Section 22-146 the following low volume equipment will be used:

- **1 MiniClik rain sensor
- **1 - 9 station Hunter Pro C time clock with modules
- **Hunter PGP rotor heads and spray heads

Water source:

**zones are calibrated at 25 GPM per zone, on a well system.

Submitted by:

John Fritz



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

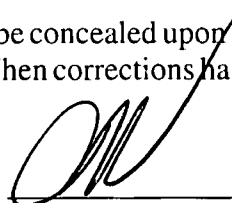
ADDRESS: 8 PINE APPLE

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

POWER RELEASE
RECEPTACLES AT 2ND FL.
BATHS HAVE EXPOSED WIRING
CONNECTIONS AT HWY ARE LOOSE
BREAKERS (CKT) FOR A/C
EQUIPMENT CAN NOT EXCEED
MAX ALLOWABLE
COULD NOT LOCATE COLD PIPE
GROUNDING WIRE

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 6/8



INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 6/8, 2005 Page 1 of



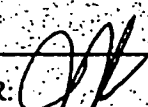



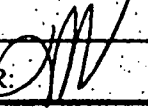
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6543	DUNN	GARAGE DOOR BUCKS	PASS	
12	31 N. RIVER RD FIRST FLORIDA			INSPECTOR:
6544	LANCASTER	Power Per.	FAIL	
4	8 P. NEAPPLE LA MASTERPIECE BUCKS			INSPECTOR:
TREE	TAYLOR	TREE	PASS	
1	22 E. HIGH PT			INSPECTOR:
7098	PALTER	TIN TACK MEAT	FAIL	
6	91 S. RIVER RD PACIFIC ROOFING			INSPECTOR:
6749	NAUDIN	NAILING/FR	PASS	
7	19 RIDGEMAN N OB			INSPECTOR:
6876	PETERSEN	FINAL A/C (ADDITION)		CXL
8	49 RIO VISTA ASSOC. A			INSPECTOR:
7534	TSP	SIAN (SEE PACKET)	PASS	CLOSE
13	INDIAWICIE + NSPRD INDIAWICIE HOA			INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 6/10, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7540	LIZANO	FINAL ROOFING	—	CANCEL
4	16 CRANE'S NEST A+ BUILDERS			INSPECTOR: 
7377	McMahan	Final-fence	FAIL	
11	5 Melody Hill O/B			INSPECTOR: 
7489	Horgan	Final-Screen End	PASS	
8	2 Palmetto Pattzajia			INSPECTOR: 
6544	LANCASTER	Power Release	PASS	CALL PPL
3A	8 PINEAPPLE MASTERPIECE			INSPECTOR: 
7441	TOMPECK	FINAL ROOF	PASS	
7	20 EMARITA WAY O/B			INSPECTOR: 
TREE	LESTER	TREE	PASS	
12	15 LOFTING WAY			INSPECTOR: 
TREE	DAVIS	TREE	PASS	
5	62 S. SEWALL ST			INSPECTOR: 
OTHER: _____				

FORM 600A-2001

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name: MASTERPIECE-LANCASTER Address: Pineapple Lane City, State: Sewalls Pt, FL 34996- Owner: Climate Zone: South	Builder: Permitting Office: Permit Number: Jurisdiction Number:
---	--

<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 5%;">1.</td> <td style="width: 85%;">New construction or existing</td> <td style="width: 10%;">New</td> <td style="width: 5%; text-align: center;">___</td> </tr> <tr> <td>2.</td> <td>Single family or multi-family</td> <td>Single family</td> <td style="text-align: center;">___</td> </tr> <tr> <td>3.</td> <td>Number of units, if multi-family</td> <td>3</td> <td style="text-align: center;">___</td> </tr> <tr> <td>4.</td> <td>Number of Bedrooms</td> <td>3</td> <td style="text-align: center;">___</td> </tr> <tr> <td>5.</td> <td>Is this a worst case?</td> <td>No</td> <td style="text-align: center;">___</td> </tr> <tr> <td>6.</td> <td>Conditioned floor area (ft²)</td> <td>4078 ft²</td> <td style="text-align: center;">___</td> </tr> <tr> <td>7.</td> <td>Glass area & type</td> <td>Single Pane Double Pane</td> <td style="text-align: center;">___</td> </tr> <tr> <td></td> <td>a. 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	c. Conservation credits (HR-Heat recovery, Solar DHP-Dedicated heat pump)		___																																																																																																																																																																																										
15.	HVAC credits (CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, MZ-C-Multizone cooling, MZ-H-Multizone heating)		___																																																																																																																																																																																										

Glass/Floor Area: 0.18	Total as-built points: 49320	PASS
	Total base points: 58025	

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: Levin M. Hardy


DATE: 6-6-05

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: Jeff Bowers

DATE: 6/27/05

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: _____

DATE: _____

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

8 PINEAPPLE

ESTIMATED ENERGY PERFORMANCE SCORE* = 86.5

The higher the score, the more efficient the home.

FILE 6544

Pineapple Lane, Sewalls Pt, Fl, 34996-

1. New construction or existing	New	___	12. Cooling systems		
2. Single family or multi-family	Single family	___	a. Central Unit	Cap: 18.0 kBtu/hr	___
3. Number of units, if multi-family	3	___		SEER: 12.00	___
4. Number of Bedrooms	3	___	b. Central Unit	Cap: 47.0 kBtu/hr	___
5. Is this a worst case?	No	___		SEER: 12.00	___
6. Conditioned floor area (ft ²)	4078 ft ²	___	c. Central Unit	Cap: 23.0 kBtu/hr	___
7. Glass area & type	Single Pane: Double Pane	___		SEER: 12.00	___
a. Clear - single pane	0.0 ft ²	0.0 ft ²	13. Heating systems		
b. Clear - double pane	206.0 ft ²	0.0 ft ²	a. Electric Strip	Cap: 5.0 kBtu/hr	___
c. Tint/other SHGC - single pane	538.0 ft ²	0.0 ft ²		COP: 1.00	___
d. Tint/other SHGC - double pane			b. Electric Strip	Cap: 10.0 kBtu/hr	___
8. Floor types				COP: 1.00	___
a. Slab-On-Grade Edge Insulation	R=0.0, 443.0(p) ft	___	c. Electric Strip	Cap: 5.0 kBtu/hr	___
b. N/A				COP: 1.00	___
c. N/A			14. Hot water systems		
9. Wall types			a. Electric Resistance	Cap: 50.0 gallons	___
a. Concrete, Int Insul, Exterior	R=4.2, 4037.0 ft ²	___		EF: 0.89	___
b. N/A			b. N/A		___
c. N/A					___
d. N/A			c. Conservation credits		___
e. N/A			(HR-Heat recovery, Solar		___
10. Ceiling types			DHP-Dedicated heat pump)		___
a. Under-slab	R=30.0, 4078.0 ft ²	___	15. HVAC credits		___
b. N/A			CF-Ceiling fan, CV-Cross ventilation,		___
c. N/A			WF-Whole house fan,		___
11. Ducts			PT-Programmable Thermostat,		___
a. Sup: Uncl, Ret: Uncl AH: Interior	Sup. R=6.0, 300.0 ft	___	MZ-C-Multizone cooling,		___
b. N/A			MZ-H-Multizone heating		___

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: Jeffrey Bowles

Date: 6/27/05

Address of New Home _____

City/FL/Zip: _____



*NOTE: Your home's estimated energy performance score is only available through the FLECS computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA ENERGY STAR designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at www.jsacofe.com for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: B PINEAPPLE

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FINAL SPR
MISSING FINAL SURVEY
OWNER COST AFFIDAVIT.
HEALTH DEPT. FINAL CERT.
CAP W/C & LAU ROUGH AT GARAGE
NEED EFCI RECEIPT AT GAR. BATH
SPRINKLER PUMP IS IN SET BACK.
SEAL GAPS AROUND PIPES, CONDUITS
CABLES ON EXT. WALL.
NEED EFCI RECEIPT. IN UTILITY.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 6/29

DA
INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 6/29, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7362	BUTLER	FINAL ROOF		CANCEL
2	LORETTA WAY	8:30		
	WESTERN ROOFING	BILL JOHNSON		INSPECTOR:
	561-902-9069			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7610	HARVEY	A/C CABOUT	PASS	CLOSE
3	1 RIDGELAND CT			
	CLASSIC COOLING	Early Pls		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7615	VITALE	DRY IN	PASS	
19	13 KNOWLES RD			
	FLORIDA CUSTOM			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7263	HBA ASSOC - SABOURN	FINAL PEN.	PASS	CLOSE
(1262?)	3760 OCEAN BLVD.	ELEC.	PASS	CLOSE
	RICHMAN	PUMPS + HVAC	PASS	INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	NOBLET	TREE	PASS	
4	26 W HIGH POINT			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7611	SPIEVACK	FINAL GENERAL	PASS	CLOSE
1	30 W. HIGH POINT	ELEC		
	ELEC. CONN.	FIRST PLS		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
654	LANCASTER	FINAL STR	PASS	
9A	8 PINEAPPLE			
	MASTERPIECE BLDG			INSPECTOR: <i>[Signature]</i>
OTHER:	HOLLAND	COURT. INSP.		CONFERRED w/
7A	9 MANDALAY	FRENCH DRAIN		OWNER & ADVISED
		ON RIVER BY OAK TREE		HEL.



Martin County Health Department
(772) 221-4090 Fax (772) 221-4967

TO BUILDING DEPARTMENT:

___ MARTIN COUNTY (772) 288-5916 FAX: (772) 288-5911 ___ CITY OF STUART (772) 288-5325 FAX: (772) 288-5388
___ JUPITER ISLAND (772) 546-5578 FAX: (772) 546-6228 SEWALLS POINT (772) 287-2455 FAX: (772) 220-4765

FROM: Ray Cross DATE: 6/30/05

SUBJECT: FINAL CONSTRUCTION APPROVAL FOR SEPTIC SYSTEMS.

HEALTH DEPT. PERMIT

BUILDING DEPT. PERMIT
OWNER'S NAME

LOCATION

• 43-SS-0 7510

6544 S PINEAPPLE LN
LANCASHIRE / MARKET FIELDS

• 43-SS-0 _____

FILE

• 43-SS-0 _____

• 43-SS-0 _____

• 43-SS-0 _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 7/13, 2005 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
1366	VIOGA	TREE	PASS	
(13)	105 N. SEWALL'S PT			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7054	TAPPER	PATIO	PASS	
1	22 ISLAND WINCHIP CONST			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7117	MCGRATH	FINAL WINDOWS	PASS	CLOSE
5	123 S. SEWALL'S PT O/B			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	MCMANON	TREE	PASS	
7	57 S. SEWALL'S PT			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7563	AUMAN	BATH ELEC	PASS	CLOSE
6	106 S RIVER RD O/B			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7542	CLIFFORD	PRE-DRYWALL	PASS	
(11)	20 N. RIVER RD WOODWARD CONST			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6544	LANCASTER	FINAL STR	PASS	CLOSE
2	8 PINEAPPLE LA MASTERPIECE			READY FOR INSPECTOR: <i>[Signature]</i>

OTHER: _____

TOWN OF SEWALL'S POINT

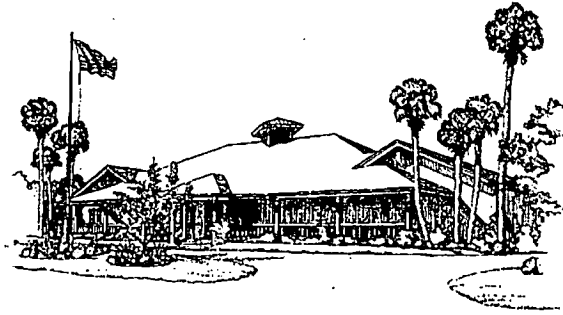
RICHARD L. BARON
Mayor

JON E. CHICKY
Vice Mayor

E. DANIEL MORRIS
Commissioner

THOMAS P. BAUSCH
Commissioner

PAMELA M. BUSHA
Commissioner



JAMES K. McMAHON
Town Manager

JOAN H. BARROW
Town Clerk

LARRY E. McCARTY
Chief of Police

GENE SIMMONS
Building Official

CERTIFICATE OF OCCUPANCY

Single Family Residence Other _____

OWNER: DIANE MARVIN
NORWOOD LANCASTER PROPERTY ADDRESS: 8 PINEAPPLE LN.

LEGAL DESCRIPTION: LOT 2 BLOCK _____ SUBDIVISION PINEAPPLE

GENERAL CONTRACTOR: MASTERPIECE BUILDERS LIC/CERT NO: C6C048543

ARCHITECT OR ENGINEER: MARK CORSON LIC/CERT NO: AR0091665

PERMIT NO: 6549 ; DATE OF ISSUE: 1/9/04 ; RENEWAL PERMIT NO: _____ ; DATE OF ISSUE: _____

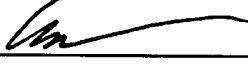
CODE ADDITION: 2001 TYPE: _____ USE: _____ OCCUPANCY: _____

OCCUPANT LOAD: _____ SPRINKLERS REQUIRED: no SPRINKLERS USED: _____

The described portion of the structure has been inspected for compliance with the requirements of this Code for occupancy and division of occupancy and the use for which the proposed occupancy is classified.

In accordance with the requirements of the Florida Building Code and the Codes and Ordinances of the Town of Sewall's Point, Florida, this Certificate of Occupancy is hereby issued for the foregoing described property.

Entered at Sewall's Point, Florida, this 14 day of JULY, 2005.



Gene Simmons, CBO
Building Official, Town of Sewall's Point



Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Norwood Lancaster Address [Redacted] Phone 772-463-6445

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 1 Type: OAK

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

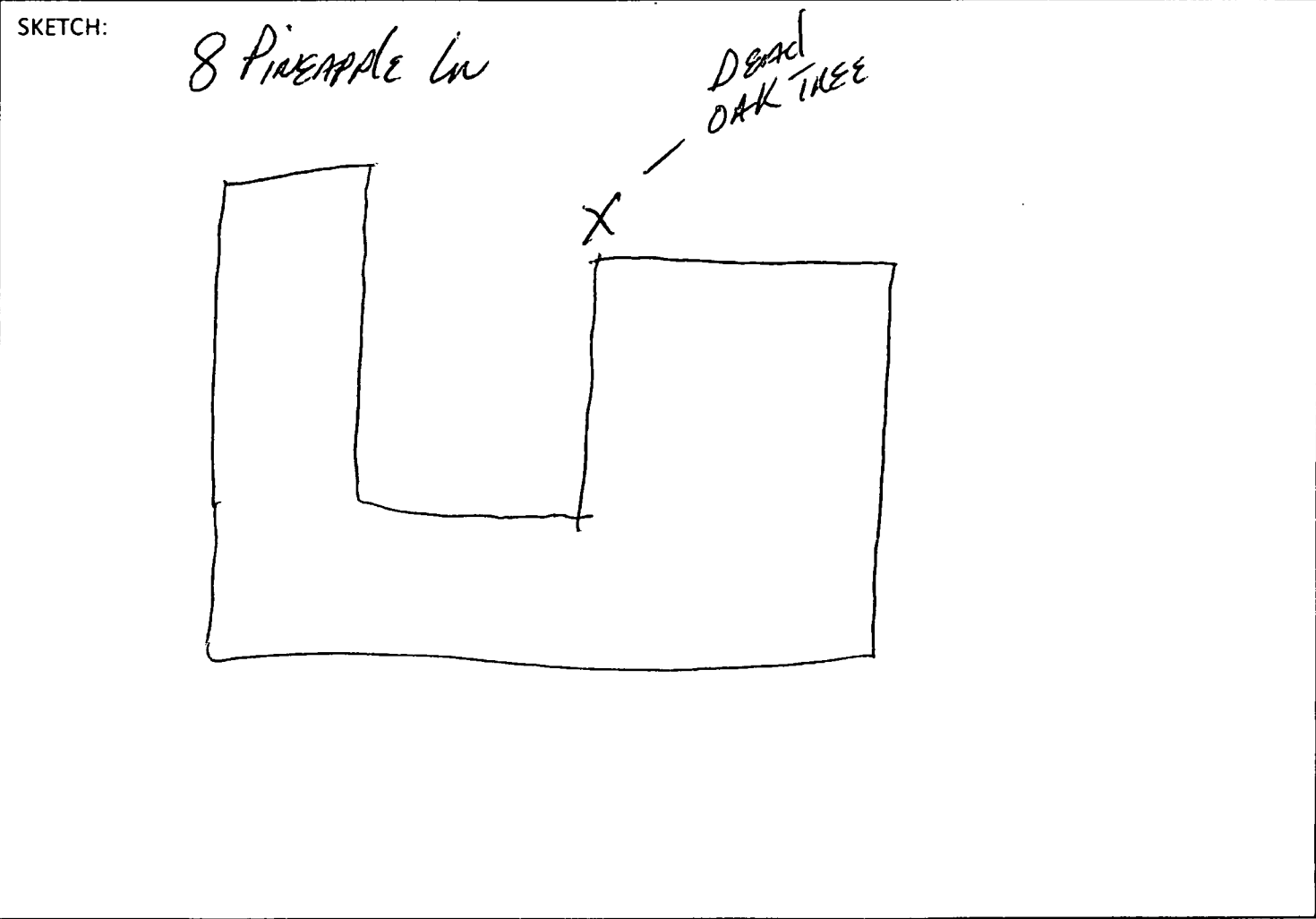
No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Reason for tree removal /relocation DEAD TREE

Signature of Property Owner [Signature] Date 6/19/07

Approved by Building Inspector: [Signature] Date 6/20 Fee: 0

NOTES: _____



TOWN OF SEWALL'S POINT, FLORIDA

Date JANUARY 9 2004 TREE REMOVAL PERMIT No. 2178

APPLIED FOR BY LANCASTER (Contractor or Owner)

Owner 8 PINEAPPLE LANE

Sub-division _____, Lot _____, Block _____

Kind of Trees See attached

No. Of Trees: REMOVE 24

No. Of Trees: RELOCATE 3 WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 15.00

Signed, _____ Applicant

Signed [Signature]
Town Clerk
Building Official

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Large empty rectangular box for notes or drawings]

PROJECT DESCRIPTION _____

[Lined area for project description]

REMARKS _____

[Lined area for remarks]

TOWN OF SEWALL'S POINT APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than one inch.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Mariberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Norwood Lancaster Address 4738 NW 5th PL ^{Cabinet Creek, FL 33063} Phone 954-978-6501
 Contractor Masterpiece Builders Address 408 Colorado Ave, Stuart Phone 283-20916

No. of Trees: REMOVE 24 Type: _____
 No. of Trees: RELOCATE 3 WITHIN 30 DAYS Type: Sabel Palm
 No. of Trees: REPLACE 0 WITHIN 30 DAYS Type: N/A

Written statement giving reasons: TREES LABELED AS PER TREE REMOVAL PLAN THAT ARE WITHIN THE FOOTPRINT OF HOUSE OR DRIVEWAY AREA

Signature of Applicant Jennifer Hunt - Masterpiece Builders 11/19/03

Approved by Building Inspector: _____ Date _____ Fee: _____
 Plans approved as submitted _____ Plans approved as revised/marked: _____



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Norwood Munn Address 8 Pineapple Phone 772-463-6445

Contractor SELF Address same Phone same

No. of Trees: REMOVE 1 Species: Palm

No. of Trees: RELOCATE _____ Species: _____

No. of Trees: REPLACE _____ Species: _____

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY

Reason for tree removal /relocation (See notice above) Dead

Signature of Property Owner Norwood Munn Date 8/2/12

Approved by Building Inspector [Signature] Date 8-2-12 Fee: N/A

NOTES: _____

