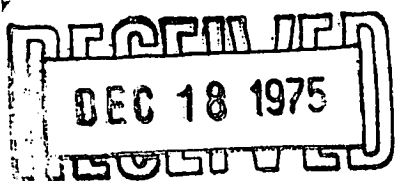


7 N Ridgeview Road

TOWN OF SEWALL'S POINT, FLORIDA



APPLICATION FOR BUILDING PERMIT

Permit No. #573
Date 12/23/75

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable)

Owner PAUL ERNI Present Address O.R.A ROUTE 2 Ph JENSEN

General Contractor C.F. SHAWVER CONST INC Address 209 DENVER AVE Ph 283 7977

Where licensed MARTIN Co License No. 48

Plumbing Contractor DAVE'S PLUMB License No. _____
Electrical Contractor NEWHOUSE ELECT License No. 55

Street building will front on RIDGEVIEW RD.

Subdivision HOMWOOD Lot No. 1 Area BLOCK D

Building area, inside walls (excluding garage, carport, porches) Sq ft 1680

Other Construction (Pools, additions, etc.) _____

Contract Price (excluding land, rugs, appliances, landscaping) \$ 35000

Total cost of permit \$ 19500

Handwritten calculation: 35000 - 15500 = 19500

Plans approved as submitted _____ Plans approved as marked 19500

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

Signed by General Contractor C.F. Shawver

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

Signed by Owner Paul Erni

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted _____

Date approved Dec 23 1975

Handwritten signature: Chas A. Dargatzis 12/23/75 #573

Certificate of Occupancy issued _____ Date _____

4074-519

Martin County Health Department

DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES
DIVISION OF HEALTH
Application and Permit
of
Individual Sewage Disposal Facilities

Section I - Instructions:

1. Percolation test data, soil profile and water table elevation information must be attached. (Note: Test must be made at proposed location of system).
2. Existing building and proposed buildings on lot must be shown and drawn to scale at their location or proposed location. (Use block on this sheet or attach plot plan).
3. Proposed location of septic tank must be shown on plan.
4. Any pond or stream areas must be indicated on the plan.
5. Indicate name and date of recording of subdivision. If not recorded, attach metes and bounds description.
6. Complete the following information section.

- Notes:
1. Not valid if sewer is available.
 2. Individual well must be 75 feet from any part of system.
 3. Call 287-2277 and give this office a 24-hour notice when ready for inspection.

Section II - Information:

1. Property Address (Street & House No.) Ridgeview Rd.
 Lot 1 Block D Subdivision Horseshoe
 Date Recorded 11 JAN 1956 Directions to Job SEWAGE P.T.

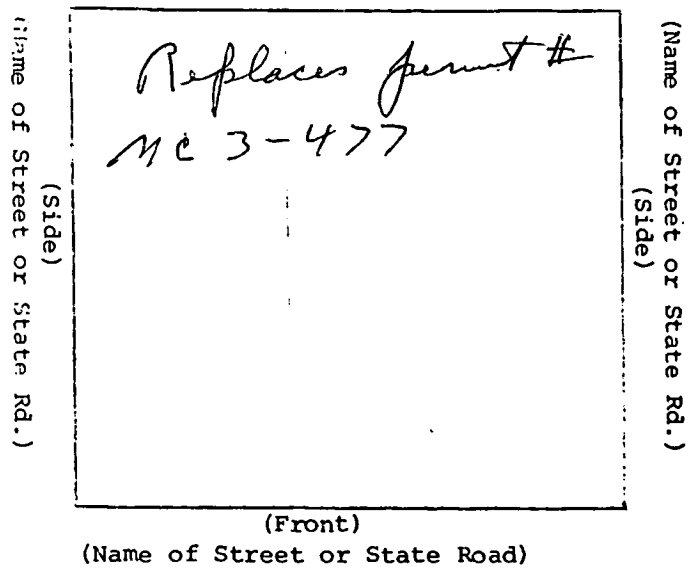
2. Owner or Builder PAUL BERNI
 P.O. Address _____ City _____

3. Specifications
3 RB

Tank _____ Drainfield
900 Gals. 200 ft. of 6" clay tile
 or 5" perforated
 plastic drain in a
 36" trench or
 _____ Gals. _____ ft. of 4" clay drain
 or 4" perforated
 plastic drain in an
 18" trench

4. House to be constructed:
 Check one: _____ FHA
 _____ VA _____ Conventional

Scale 1" = 50'
(Rear)



This is to certify that the project described in this application, and as detailed by the plans and specifications and attachments will be constructed in accordance with state requirements.

Applicant: PAUL BERNI
 Please Print

Signature: Paul Berni Date: 10/29/74

***** DO NOT WRITE BELOW THIS LINE *****

Section III - Application Approval & Construction Authorization

Installation subject to following special conditions: _____

The above signed application has been found to be in compliance with Chapter 17-13, Florida Administrative Code, and construction is hereby approved, subject to the above specifications and conditions.

By: James Barton County Health Dept. Martin Date 10/29/74

Section IV - Final Construction Approval

Construction of installation approved: _____ Yes _____ No

Date: _____ By: _____
 FHA No. _____ VA No. _____

TEMPORARY
 SAN
 11/73

Handwritten notes:
 10/29/74
 JTB

Perce. Test

* Application for Sewage Disposal
Sewell's Point Prop.

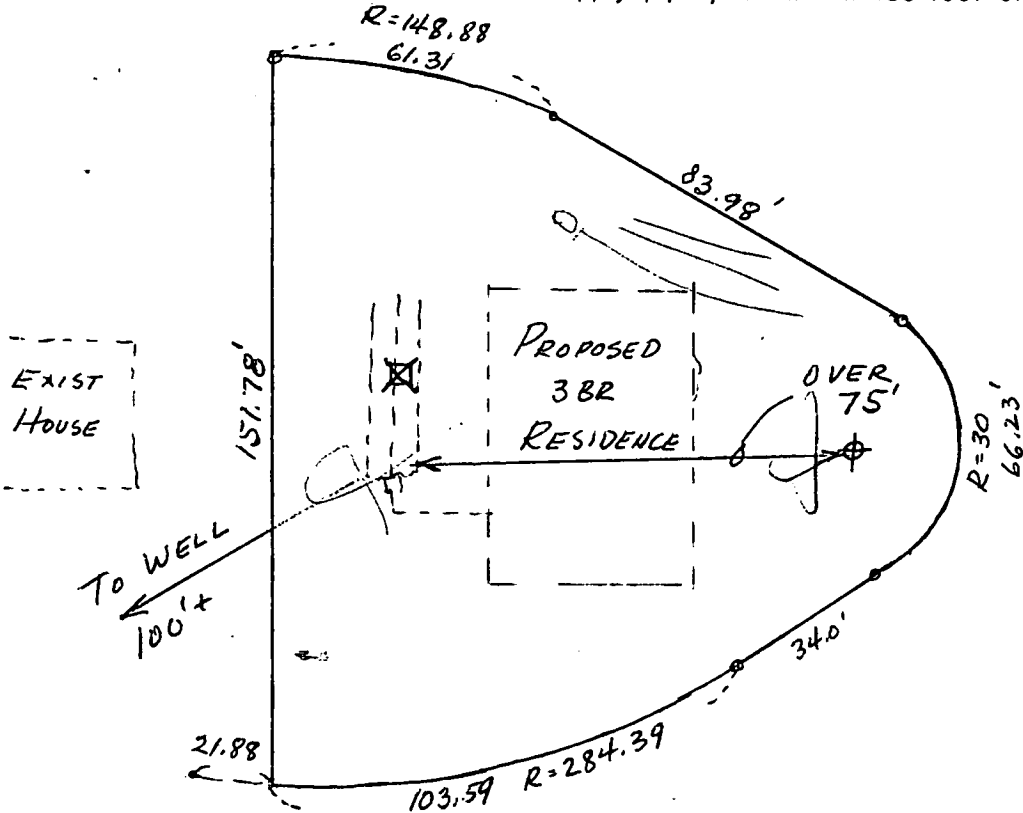
FLORIDA DEPARTMENT OF POLLUTION CONTROL

S. E. Subregion
 806 South 6th Street
 Fort Pierce, Florida 33450
 Tel. (305) 464-8525

INDIVIDUAL SEWAGE DISPOSAL FACILITIES
 DATA SHEET

Location: LOT 1 BLK D Applicant: ~~Paul Erni~~
SEWALLS PT RD TO RIDGEVIEW County: MARTIN
RD.

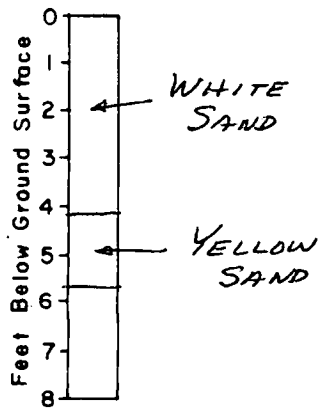
NOTE: This septic tank system is not located within 50 feet of the high water line of a lake, stream, canal or other waters, nor within 75 feet of any private well; nor within 100 feet of any public water supply; nor within 10 feet of water supply pipes; nor within 100 feet of any public sewer system.



Plot plan must show all data required in IOD-6.03 2(a) and all other pertinent data.

PLAN
 Scale: 1" = 40'

SOIL DATA



SOIL BORING LOG

Soil Identification: CLASS I GROUP SW
 Soil Characteristics SAND

Percolation Rate 1 min/inch
 Water Table Depth OVER 5'+
 Water Table Depth During Wet Season OVER 5'+
 Compacted Fill Of — Req'd
 Compacted Fill Checked By: —
 Date —

LEGEND

- Drainage Pattern
- Proposed Septic Tank and Drainfield
- Proposed Water Supply Well
- Existing Water Supply Well
- Soil Boring and Percolation Test Location



CERTIFIED BY: K.G. Larson
 FLORIDA PROFESSIONAL No. 16552
 Date 4-17-73 Job No. 73-565-03

Application/Permit
No. MC3-477

DEPARTMENT OF POLLUTION CONTROL
Application and Permit
Of
Individual Sewage Disposal Facilities

Section I - Instructions:

1. Percolation test data, soil profile and watertable elevation information must be attached. (Note: Test must be made at proposed location of System).
2. Existing building and proposed buildings on lot must be shown and drawn to scale at their location or proposed location. (Use block on this sheet or attach plot plan).
3. Proposed location of septic tank must be shown on plan.
4. Any pond or stream areas must be indicated on the plan.
5. Indicate name and date of recording of subdivision. If not recorded, attach metes and bounds description.
6. Complete the following information section.

Notes:

1. Not valid if sewer is available.
2. Individual well must be 75 feet from any part of system.
3. Call (305) 464-8525 and give this office an 8-hour notice when ready for inspection.

Section II - Information:

1. Property Address (Street & House No.) RIDGEVIEW ROAD
 Lot 1 Block D Subdivision HOMEWOOD (AMENDED)
 Date Recorded 11 JAN 1956 Directions to Job SEWALL'S POINT
(SOUTH) ROAD Paul Erni
2. Owner or Builder FRANK J. FAZTO
 P. O. Address TW. HIGHPOINT ROAD City JENSEN BEACH, FLA.
3. Specifications

900 Tank 70 Drainfield
 Gals ft of 6" clay tile
 or 5" perforated
 plastic drain in a
 3' trench or
900 Gals 140 ft of 4" clay drain
 or 4" perforated
 plastic drain in an
 18" trench

Scale 1" = 50'
(Rear)

4. House to be constructed:
 Check one: FHA
 VA X Conventional

SEE
ATTACHED
SHEET
4/19/74
Good until
Jon Barber
M & HD

This is to certify that the project described in this application, and as detailed by the plans and specifications and attachments will be constructed in accordance with state requirements.

Applicant: Paul Erni
FRANK J. FAZTO
Please Print

Signature: Frank J. Fazio / M. Larson Date: 4-17-73
(Name of Street or State Road)

***** DO NOT WRITE BELOW THIS LINE *****

Section III - Application Approval & Construction Authorization
Installation subject to following special conditions: _____

The above signed application has been found to be in compliance with Chapter 10D-6, DPC rules and construction is hereby approved, subject to the above specifications, and conditions.

BY: Eric S. Thorne Date: 4/19/73

Section IV - Final Construction Approval

Construction of installation approved: Yes No.

Date: _____ By: _____

FHA No. _____ VA No. _____

County Martin

D. P. C. Septic Tank Permit No. MC3-477

County Building Permit No. _____

Remarks: _____

Inspection Results: _____

Approved _____ Disapproved _____

TOWN OF SEWALL'S POINT

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date _____

This is to request that a Certificate of Approval for Occupancy be issued to EMMI (RES) HOMEWOOD

For property built under Permit No. 573 Dated 12/22/75

when completed in conformance with the Approved Plans.

Signed

RECORD OF INSPECTIONS

<u>Item</u>	<u>Date</u>	<u>Approved by</u>
Footings	1/5/76	UJ
Rough plumbing	12/31/75	UJ
Perimeter beam		
Rough electric	1/19/76	UJ
Close in	1/19/76	UJ
Final plumbing		
Final electric	3/3/76	Y

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector 3/3/76 Chad O'Connell date

Approved by Town Commission _____ date

Utilities notified 3/3/76 UJ date

Original Copy sent to _____

(Keep carbon copy for Town files)

LOT 1, BLOCK D
HOMewood
7 N. RIDGEVIEW RD.

TOWN OF SEWALL'S POINT

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date Sept. 2, 1976

This is to request that a Certificate of Approval for Occupancy be issued to Paul Erni

For property built under Permit No. 573 Dated Dec. 23/75

when completed in conformance with the Approved Plans.

Signed

RECORD OF INSPECTIONS

<u>Item</u>	<u>Date</u>	<u>Approved by</u>
Footings	1/5/76	
Rough plumbing	12/31/75	
Perimeter beam		
Rough electric	1/19/76	
Close in	1/19/76	
Final plumbing	3/3/76	
Final electric	3/3/76	

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector [Signature] 9/2/76 date

Approved by Town Commission [Signature] 9/2/76 date

Utilities notified 3/3/76 date

Original Copy sent to Mr. Donald Richardson in person 9/2/76

(Keep carbon copy for Town files)

bought house today

588

SCREENED ROOM

Building Permit #573

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

MAR 25 1976

Permit No. 588

Date 3/25/76

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable)

Owner PAUL LEMIE Present Address 7 N. RIDGE VIEW RD Ph —

General Contractor CONWAY CONST Address 70 USC 4 16 PL PH 286 2466

Where licensed MARTIN License No. 119

Plumbing Contractor _____ License No. _____
Electrical Contractor _____ License No. _____

Street building will front on S. RIDGE VIEW RD

Subdivision HOMEWOOD Lot No. 1 Block Area _____

Building area, inside walls (excluding garage, carport, porches) Sq ft _____

Other Construction (Pools, additions, etc.) SCREEN ROOM

Contract Price (excluding land, rugs, appliances, landscaping) \$ 1000 ^{ca}

Total cost of permit \$ 500 + 500 = 1000 - double lot
no plumbing or electric

Plans approved as submitted Plans approved as marked 10,000 PAID BY

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period

Richard Staley
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

Signed by Owner

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

#588

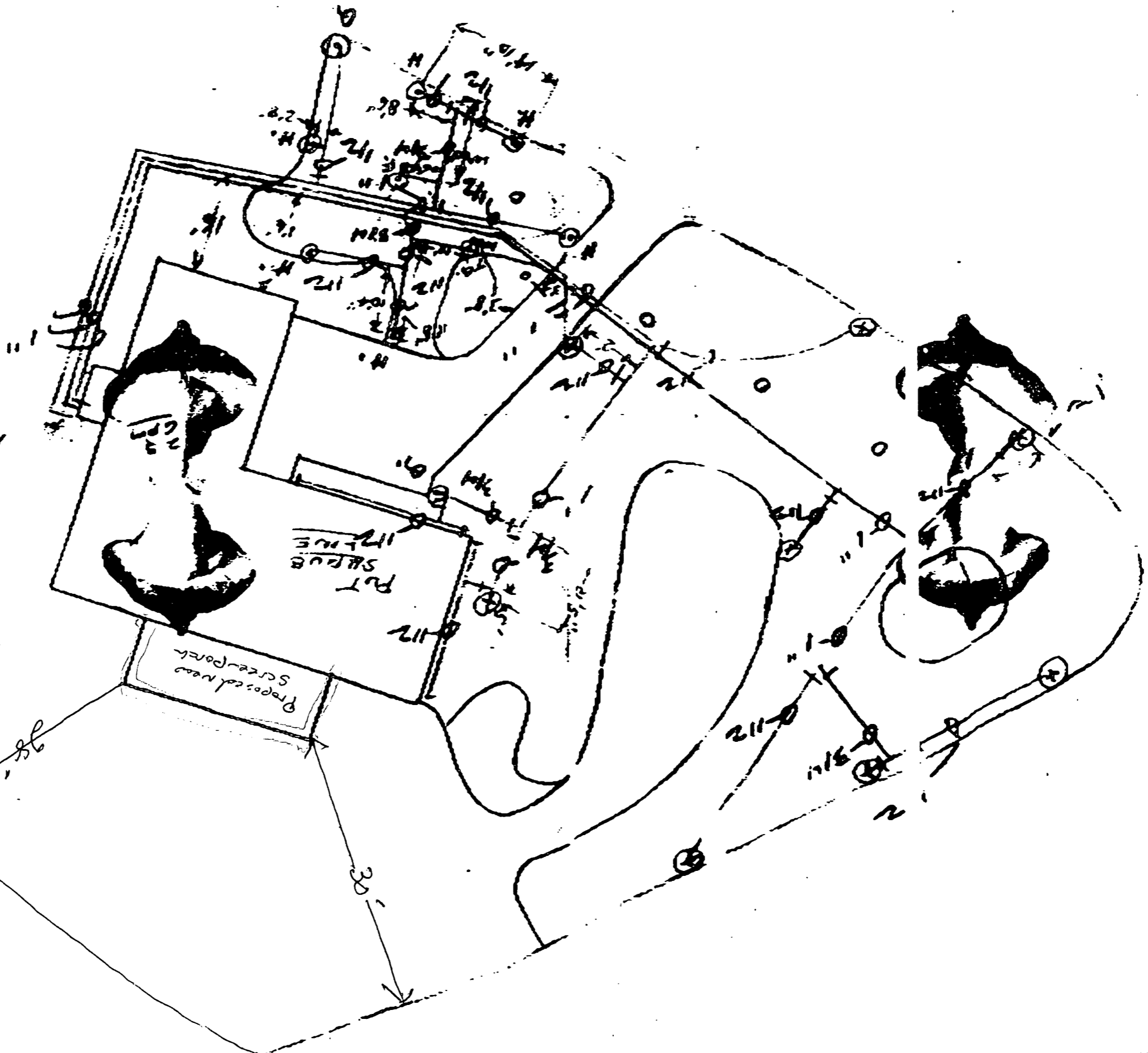
Date submitted _____
Date approved 3/26/76 For Town 3/26/76 Chas. A. Dwyer

Certificate of Occupancy issued 5/25/76 Date _____

PLANS HEREIN

REG - SYSTEM #1
CASE# - 22
BLADE - 2 23
C. Johnson

100' 30"



POT
SINK
STOVE

Proposed New
Screen Panel

30"

30"

112

112

2

• = 3" PUP

+ = HUBBLE #7058

100
355

amp

TOWN OF SEWALL'S POINT

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date May 31 76

This is to request that a Certificate of Approval for Occupancy be issued to Mr ERNE HOMEWOOD LOT 1 For property built under Permit No. 588 Dated _____ when completed in conformance with the Approved Plans.

Signed

RECORD OF INSPECTIONS

<u>Item</u>	<u>Date</u>	<u>Approved by</u>
Footings	5/25/76	✓
Rough plumbing		
Perimeter beam		
Rough electric		
Close in		
Final plumbing		
Final electric		

Final Inspection for Issuance of Certificate for Occupancy.

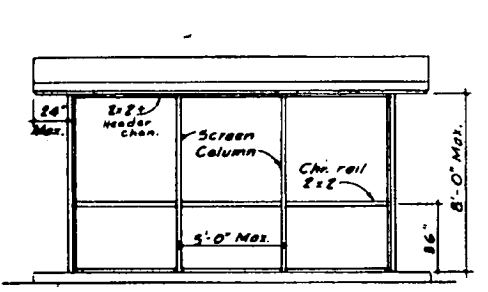
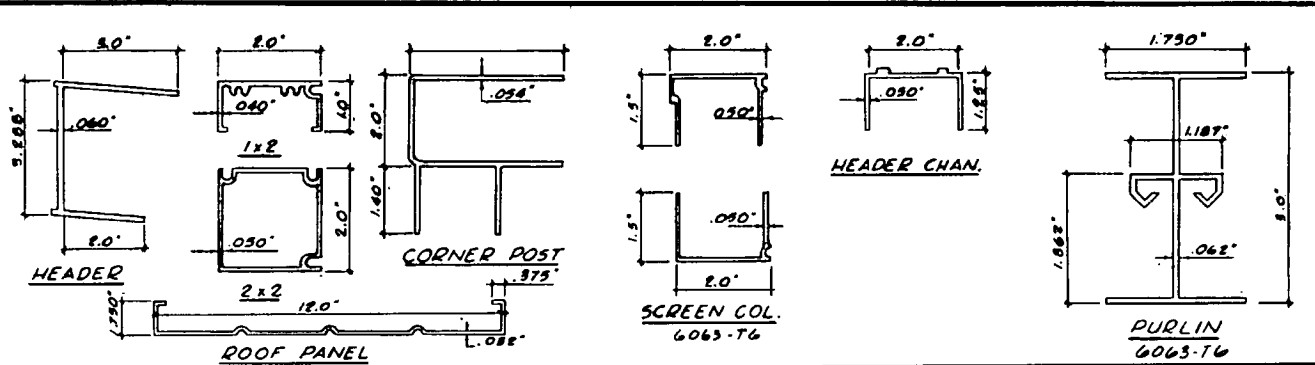
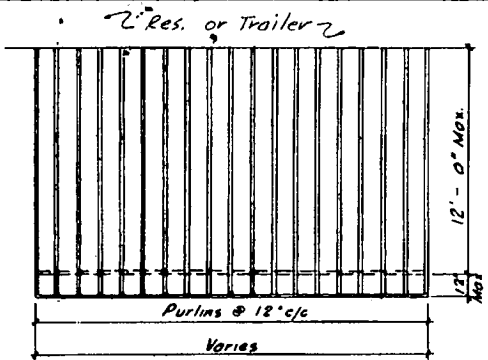
Approved by Building Inspector _____ date

Approved by Town Commission _____ date

Utilities notified _____ date

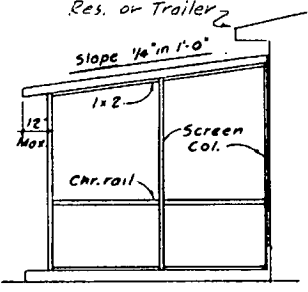
Original Copy sent to _____

(Keep carbon copy for Town files)

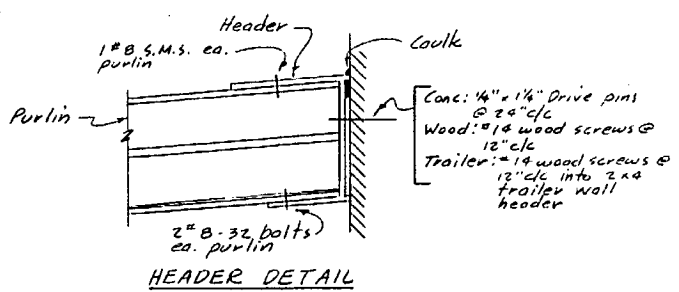


ELEVATION

SCREEN ROOM



SIDE VIEW



DESIGN CRITERIA:

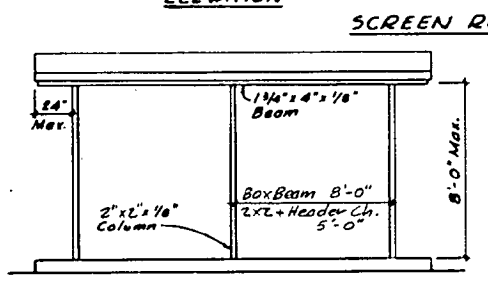
Live load _____ 20 p.s.f.

Wind load (uplift) _____ 30 p.s.f.

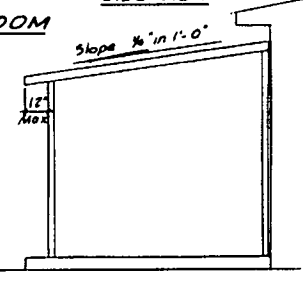
Wind load (horiz) _____ 30 p.s.f.

Deflection limit (roof & walls) _____ L/60

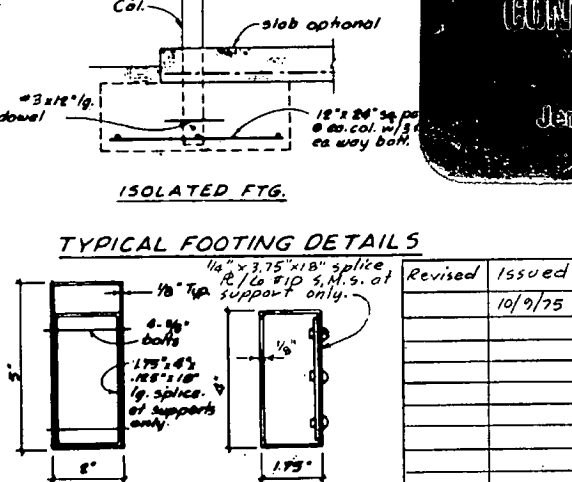
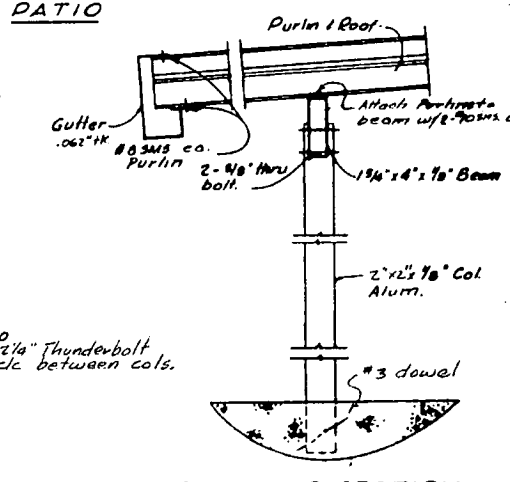
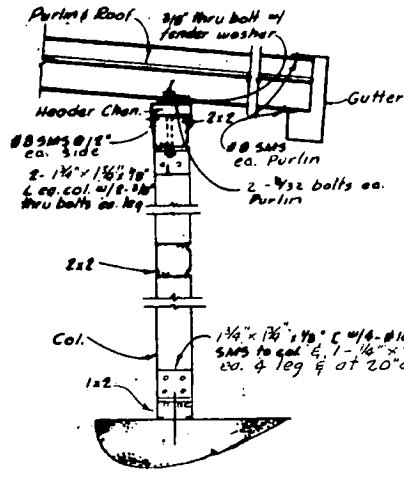
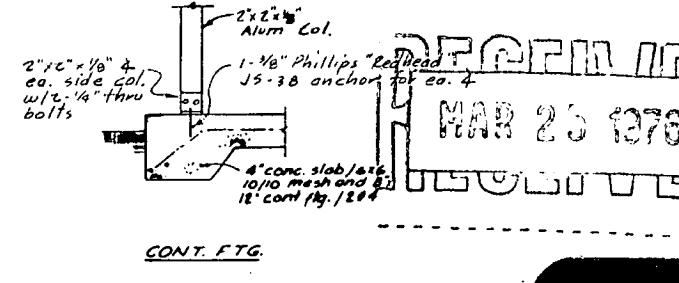
- NOTES:**
- 1) All aluminum shall be alloy 3003-H14 and all extrusions shall be alloy 6063-T5 unless otherwise noted
 - 2) Soil shall have a minimum bearing capacity of 600 p.s.f.
 - 3) Screws and Bolts shall be alloy 2024-T4 or shall be 18-8, Series 300 non-magnetic s.s.
 - 4) All conc. shall have $f_c = 2500$ p.s.i. @ 28 days.
 - 5) These plans are the property of the engineer and shall not be reproduced wholly or in part without the written permission of the engineer.
 - 6) This drawing is valid for a building permit only when it is signed by this engineer over his impressed



ELEVATION



SIDE VIEW



CONWAY CONSTRUCTION
ALUMINUM SPECIALISTS
407 Commercial St.
Janson Beach, Fla. 33457
Phone 364-2466

MARTIN COUNTY	
PATIO & SCREEN ROOM DETAIL SHEET	
FOR MOBILE HOMES & RESIDENCE	
Revised	Issued
	10/9/75
BY	
BELLAIRE PRODUCTS, INC.	
Drawer C Tallavast, Fla. 33588	
STAN WEEKS & ASSOC., INC.	
ENGINEERS	
10/9/75	Sh. 2 of 7 Job No. 2963-14

1735
FENCE

Permit No. 1735

Date _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner DNA J. & DONALD G. RICHARDSON Present Address 7 M. RIDGEVIEW RD.

Phone 286-1039 STUART, FL 33499

Contractor NONE Address _____

Phone _____

Where licensed _____ License number _____

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: AN "L" SHAPED, CEDAR, 6 FOOT HIGH FENCE

ON THE NORTH WESTERN CORNER OF THE HOUSE
State the street address at which the proposed structure will be built:

7 N. RIDGEVIEW RD., STUART, FL.

Subdivision HOMEWOOD Lot number 1 Block number D

Contract price \$ 125^{xx} Cost of permit \$ 5.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor NONE

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Donald S. Richardson

TOWN RECORD

Date submitted _____ Approved: [Signature] 7/23/84
Building Inspector Date

Approved: [Signature] 7/18/84 Final Approval given: _____
Commissioner Date Date

Certificate of Occupancy issued (if applicable) 3/20/85
Date

[Signature]
SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

3493

RE-ROOF

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Joan Richardson Present Address #7 N. Ridgeview Dr.

Phone _____ Sewall's Point.

Contractor Heaton Enterprises Inc. Address P.O. Box 1143

Phone 287-0116

Where licensed Fl. License Number CCC036970

Electrical Contractor _____ License Number _____

Plumbing Contractor _____ License Number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Reroof;

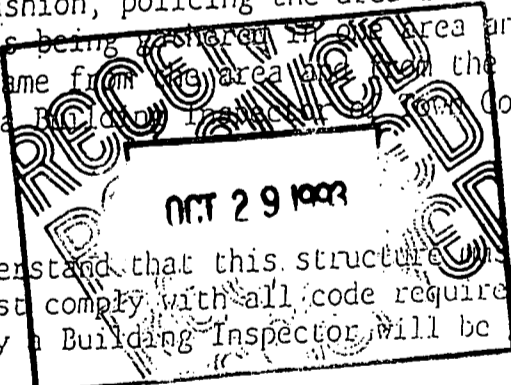
State the street address at which the proposed structure will be built:
#7 N. Ridgeview Dr.

Subdivision Homewood Lot Number 1 Block Number D

Contract Price \$ 2300.00 Cost of Permit \$ 100.00

Plans approved as submitted N/A Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being removed from the area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector from the Commissioner "Red-Tagging" the construction project.



Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner One Joan Richardson

TOWN RECORD

Date submitted _____

Approved: Dale Brown 10/29/93
Building Inspector Date

Approved: [Signature] 10/29/93 Final Approval given: _____ Date
Commissioner Date

Certificate of Occupancy issued (if applicable) _____ Date

Permit No. _____

4451

**SCREEN PORCH
REPLACEMENT**

Town of Sewall's Point

4451

P.L.N. _____

Date _____

BUILDING PERMIT APPLICATION

to construct

NEW CONSTRUCTION ADDITION ALTERATION DEMOLITION

RESIDENTIAL COMMERCIAL 270 SF _____ CF

OTHER: Remove & Replace existing screen room CONTRACT PRICE 3,000.⁰⁰

Owner's Name Mrs + Mrs Tom Hall

Owner's Address #7 N. Ridgeview Rd Sewalls Point

Fee Simple Titleholder's Name (If other than owner) _____

Fee Simple Titleholder's Address (If other than owner) _____

City _____ State _____ Zip _____

Contractor's Name Jensen Beach Aluminum

Contractor's Address 1720 NW Federal Hwy

City Stuart State FL Zip 34994

Job Name Mrs + Mrs Tom Hall

Job Address #7 Ridgeview Rd Sewalls Point

City Stuart State FL Zip 34994

Legal Description 1-38 41006.. 004 00010 6000

Bonding Company _____

Bonding Company Address _____

City _____ State _____ Zip _____

Architect/Engineer's Name _____

Architect/Engineer's Address _____

Mortgage Lender's Name _____

Mortgage Lender's Address _____

Bob Both
B40000818

PLANS REVIEWED

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, ELEVATORS, BOYERS, HEATERS, TANKS, and AIR CONDITIONERS.

OWNERS AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Owner or Agent _____ Date _____
Stephen J. Bolla 8-10-98
Contractor _____ Date _____

COUNTY OF MARTIN
STATE OF FLORIDA

Sworn to and subscribed before me this 10 day of August, 1998 by
Stephen Bolla who: is/are personally known to me or has/have produced _____
as identification, and who did not take an oath.

Name: _____
Typed, printed or stamped
(NOTARY SEAL) JOHN TINNEY
COMMISSION # CC 411446
EXPIRES OCT 3, 1998
BONDED THRU
ATLANTIC BONDING CO., INC.
I am a Notary Public of the State of Florida having a
commission number of _____ and my
commission expires: _____

STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this ___ day of _____, 199___ by
_____, who: is/are personally known to me, or has/have produced _____
as identification, and who did not take an oath.

Name: _____
Typed, printed or stamped
(NOTARY SEAL) I am a Notary Public of the State of Florida having a
commission number of _____ and my
commission expires: _____

Certificate of Competency Holder

Contractor's State Certification or Registration No. CRC 056 179
Contractor's Certificate of Competency No. _____

APPLICATION APPROVED BY _____ Permit Officer
_____ Building Commissioner

#4754

3
A-1

1
A-1

3 1/2" PVC

TIE INTO
EXISTING
SEPTIC

TIE
TO
EXISTING
SEPTIC
FIELD

SHOWER
5'6" x 8'0"

TRAP

1 1/2" VENT
STACK

1 1/2" VENT
STACK

SPA TUB

3" VENT STACK

NEW 4" CONC. SLAB W/ WIRE
MESH ON VAPOUR BARRIER ON
TREATED COMPACTED SOL. -
PROVIDE DOWELS INTO EXISTG
SLAB @ 36" O.C.

RE-ROUTE EXISTG DRYER VENT
HOSE BEB & CONDENSATE PIPNG

EXPANSION JOINT @ EXISTING WALL
Laundry

3" O/D WITH 1/2" REVERSE
Boundary Box in wall

3 1/2" O/D WITH 1/2"

Plumbing
PLAN

EXISTG. WALL

NEW EXISTG. CONC.
W/TER WALL

DE 45# DOWELS @ 36" O.C.
CROUT TO EXISTG
6" MIN.

11" Ø
W/REVER

5'-0"

12'-4"

3 1/2" PVC

12"

6'-4"

4' Ø

4' Ø

12"

1 1/2"

3 1/2"

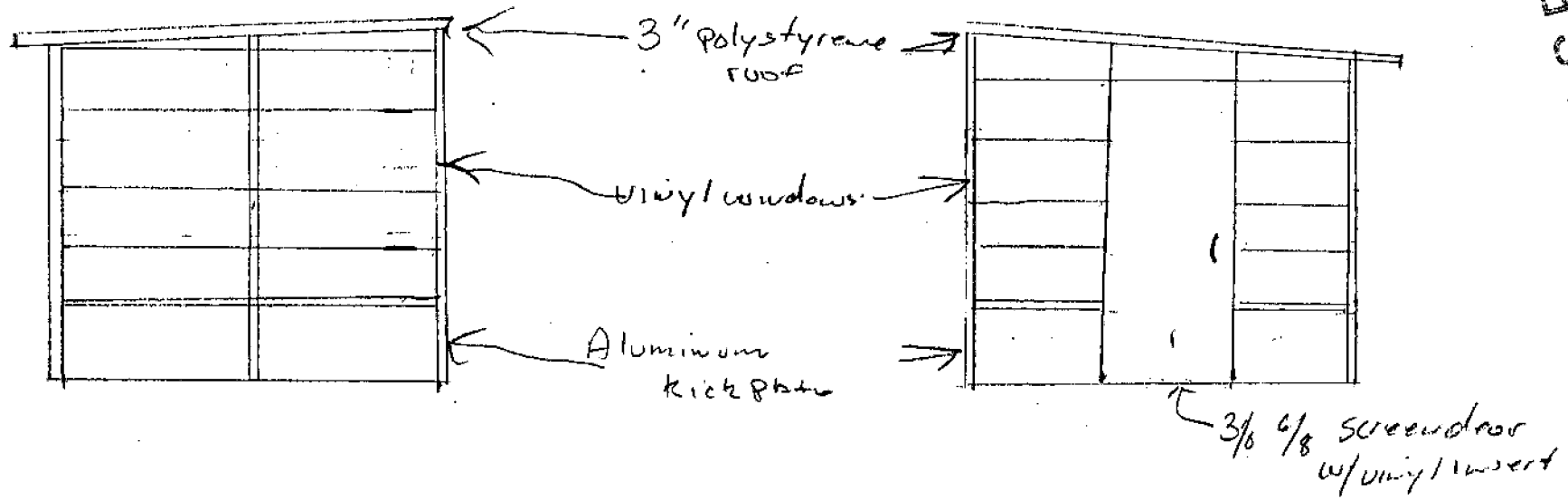
1 1/2"

1 1/2"

Mrs Mrs Tom Hall
by Jensen Beach Aluminum

EAST Elevation

West elevation



PLANS REVIEWED

Rear Elevation

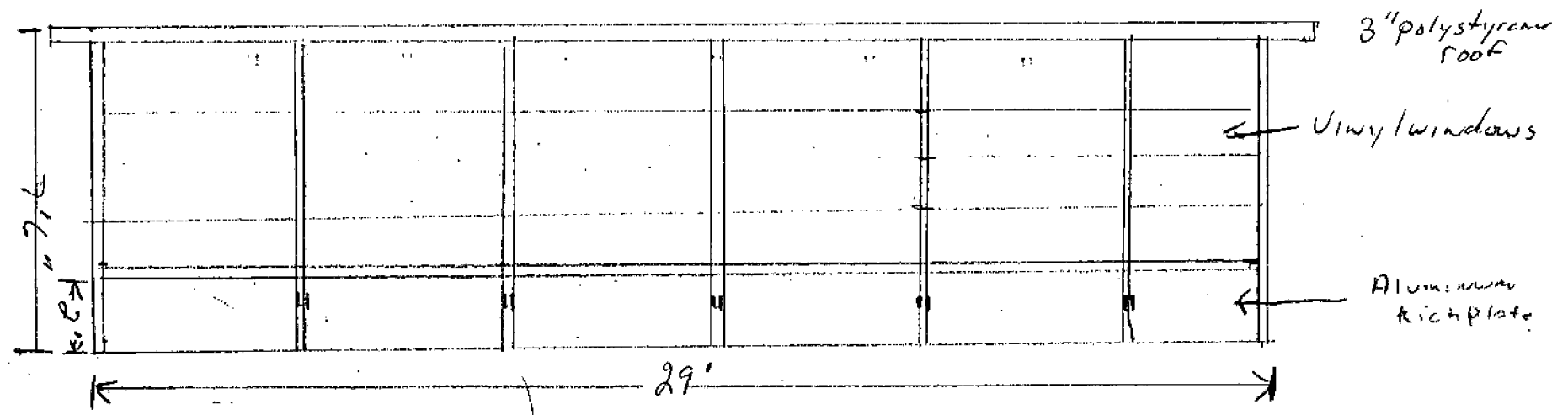


Table 7.2.1: Allowable Spans for Industry Standard Composite Roof Panels
Aluminum Alloy 3105 H-14 or H-25 1.0 EPS Core Density Foam

3" x 48" x 0.019" Panels													
Open Buildings							Enclosed Buildings						
Wind Region	Applied Load	Overhang Condition					Wind Region	Applied Load	Overhang Condition				
		NONE	1'-0"	2'-0"	3'-0"	4'-0"			NONE	1'-0"	2'-0"	3'-0"	4'-0"
102 M.P.H.	17	13'-4"	13'-5"	13'-11"	14'-7"	15'-6"	102 M.P.H.	29	10'-2"	10'-5"	10'-11"	11'-10"	12'-11"
110 M.P.H.	20	12'-3"	12'-5"	12'-11"	13'-8"	14'-8"	110 M.P.H.	35	9'-3"	9'-6"	10'-1"	11'-1"	12'-3"
120 M.P.H.	23	11'-5"	11'-7"	12'-1"	12'-11"	13'-11"	120 M.P.H.	41	8'-7"	8'-10"	9'-5"	10'-6"	11'-9"
125 M.P.H.	26	10'-9"	10'-11"	11'-6"	12'-4"	13'-5"	125 M.P.H.	45	8'-2"	8'-5"	9'-1"	10'-2"	11'-5"
140 M.P.H.	32	9'-8"	9'-11"	10'-6"	11'-5"	12'-7"	140 M.P.H.	56	7'-4"	7'-7"	8'-4"	9'-6"	10'-10"

3" x 48" x 0.024" Panels													
Open Buildings							Enclosed Buildings						
Wind Region	Applied Load	Overhang Condition					Wind Region	Applied Load	Overhang Condition				
		NONE	1'-0"	2'-0"	3'-0"	4'-0"			NONE	1'-0"	2'-0"	3'-0"	4'-0"
102 M.P.H.	17	14'-11"	15'-1"	15'-6"	16'-1"	16'-11"	102 M.P.H.	29	11'-5"	11'-7"	12'-2"	12'-11"	13'-11"
110 M.P.H.	20	13'-9"	13'-11"	14'-4"	15'-0"	15'-11"	110 M.P.H.	35	10'-5"	10'-7"	11'-2"	12'-0"	13'-2"
120 M.P.H.	23	12'-10"	13'-0"	13'-6"	14'-2"	15'-2"	120 M.P.H.	41	9'-8"	9'-10"	10'-5"	11'-4"	12'-6"
125 M.P.H.	26	12'-1"	12'-3"	12'-9"	13'-6"	14'-6"	125 M.P.H.	45	9'-2"	9'-5"	10'-0"	10'-11"	12'-2"
140 M.P.H.	32	10'-11"	11'-1"	11'-7"	12'-5"	13'-6"	140 M.P.H.	56	8'-3"	8'-6"	9'-2"	10'-2"	11'-6"

3" x 48" x 0.030" Panels													
Open Buildings							Enclosed Buildings						
Wind Region	Applied Load	Overhang Condition					Wind Region	Applied Load	Overhang Condition				
		NONE	1'-0"	2'-0"	3'-0"	4'-0"			NONE	1'-0"	2'-0"	3'-0"	4'-0"
102 M.P.H.	17	16'-2"	16'-4"	16'-8"	17'-3"	18'-1"	102 M.P.H.	29	12'-5"	12'-7"	13'-0"	13'-9"	14'-9"
110 M.P.H.	20	14'-11"	15'-1"	15'-5"	16'-1"	16'-11"	110 M.P.H.	35	11'-3"	11'-5"	11'-11"	12'-9"	13'-10"
120 M.P.H.	23	13'-11"	14'-1"	14'-6"	15'-2"	16'-1"	120 M.P.H.	41	10'-5"	10'-7"	11'-2"	12'-0"	13'-2"
125 M.P.H.	26	13'-1"	13'-3"	13'-8"	14'-5"	15'-4"	125 M.P.H.	45	9'-11"	10'-2"	10'-9"	11'-7"	12'-9"
140 M.P.H.	32	11'-10"	11'-11"	12'-5"	13'-3"	14'-3"	140 M.P.H.	56	8'-11"	9'-2"	9'-9"	10'-9"	11'-11"

Note: Total roof panel width = room width plus wall width plus overhang.

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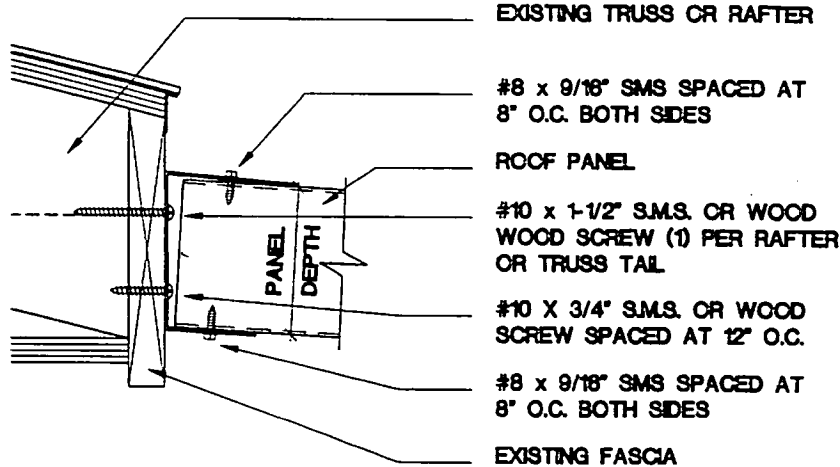
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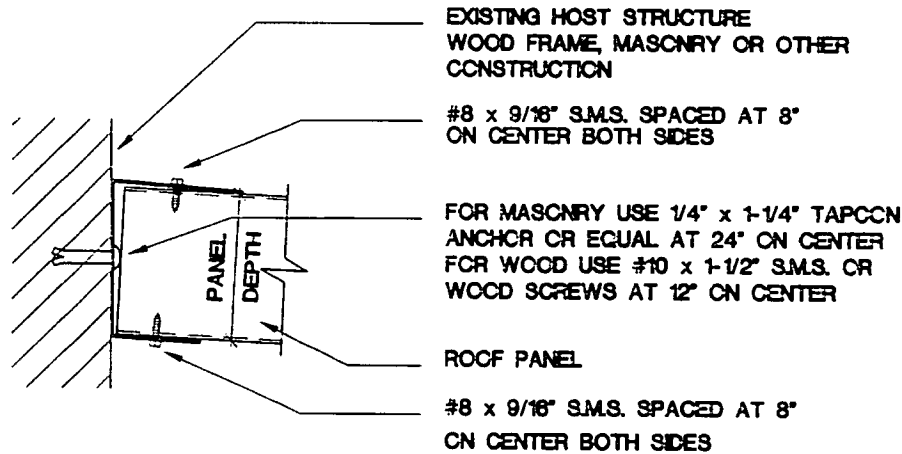
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PLANS REVIEWED

COMPOSITE ROOF ANCHORING DETAILS



ROOF PANEL TO FASCIA DETAIL



ROOF PANEL TO WALL DETAIL

NOTES: WOOD STRUCTURES SHOULD CONNECT TO TRUSS BUTTS OR THE SUB-FASCIA FRAMING WHERE POSSIBLE ONLY 15% OF SCREWS CAN BE OUTSIDE THE TRUSS BUTTS. SUB-FASCIA AND THOSE AREAS SHALL HAVE DOUBLE ANCHORS. ALL SCREWS INTO THE HOST STRUCTURE SHALL HAVE MINIMUM 1-1/4" WASHERS OR SHALL BE WASHER HEADED SCREWS.

HEADER INSIDE DIMENSION SHALL BE EQUAL TO PANEL OR PANS "Y". THE WALL THICKNESS SHALL BE THE THICKNESS OF THE ALUMINUM PAN OR COMPOSITE PANEL WALL THICKNESS. HEADERS SHALL BE ANCHORED TO THE HOST STRUCTURE WITH ANCHORS APPROPRIATE FOR THE MATERIAL CONNECTED TO. THE ANCHORS DETAILED ABOVE ARE BASED ON A LOAD FROM 120 M.P.H. FOR SBC SECTION 1806 FOR A MAXIMUM POSSIBLE SPAN OF THE ROOF PANEL FROM THE HOST STRUCTURE.

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Table 3.2: Allowable Post/Upright Heights for Screen, Vinyl and Glass Rooms, Hollow, Snap and Self-Mating Extrusions Aluminum Alloy 6063 T-6

Extrusions										
Hollow Sections	Load Width = Post/Upright Spacing									
	36"	42"	48"	54"	60"	66"	72"	78"	84"	90"
	Allowable Height "H" [Span]									
2" x 2" x 0.044"	7'-10"	7'-3"	6'-10"	6'-5"	6'-1"	5'-10"	5'-7"	5'-4"	5'-2"	4'-11"
3" x 2" x 0.050" **	10'-5"	9'-8"	9'-0"	8'-6"	8'-1"	7'-9"	7'-5"	7'-1"	6'-10"	6'-7"
2" x 3" x 0.050"	11'-3"	10'-5"	9'-9"	9'-2"	8'-9"	8'-4"	7'-11"	7'-8"	7'-4"	7'-1"
3" x 2" x 0.070" **	11'-9"	10'-11"	10'-2"	9'-7"	9'-1"	8'-8"	8'-4"	7'-11"	7'-8"	7'-5"
2" x 4" x 0.050"	14'-1"	13'-0"	12'-2"	11'-6"	10'-11"	10'-4"	9'-11"	9'-7"	9'-2"	8'-11"

** Note: Screen splines on 3" side - extrusion turned w/ 3" side parallel to sole plate.

Snap Sections	Load Width = Post/Upright Spacing									
	36"	42"	48"	54"	60"	66"	72"	78"	84"	90"
	Allowable Height "H" [Span]									
2" x 2" x 0.044"	9'-3"	8'-7"	8'-0"	7'-7"	7'-2"	6'-10"	6'-6"	6'-3"	6'-1"	5'-10"
2" x 3" x 0.045"	12'-2"	11'-3"	10'-6"	9'-11"	9'-5"	8'-11"	8'-7"	8'-3"	7'-11"	7'-8"
2" x 4" x 0.045"	15'-3"	14'-1"	13'-3"	12'-5"	11'-10"	11'-3"	10'-9"	10'-4"	9'-11"	9'-8"

Self-Mating Sections	Load Width = Post/Upright Spacing									
	36"	42"	48"	54"	60"	66"	72"	78"	84"	90"
	Allowable Height "H" [Span]									
2" x 4" x 0.055" x 0.12"	17'-11"	16'-8"	15'-7"	14'-8"	13'-11"	13'-4"	12'-9"	12'-3"	11'-9"	11'-5"
2" x 6" x 0.055" x 0.12"	24'-11"	23'-2"	21'-8"	20'-5"	19'-4"	18'-5"	17'-8"	16'-11"	16'-4"	15'-10"
2" x 7" x 0.062" x 0.12"	27'-4"	25'-4"	23'-8"	22'-4"	21'-2"	20'-2"	19'-4"	18'-7"	17'-11"	17'-4"
2" x 8" x 0.072" x 0.224"	36'-2"	33'-6"	31'-4"	29'-6"	28'-0"	26'-8"	25'-7"	24'-7"	23'-8"	22'-10"
2" x 9" x 0.070" x 0.224"	40'-2"	37'-2"	34'-9"	32'-9"	31'-1"	29'-8"	28'-5"	27'-3"	26'-3"	25'-5"
2" x 9" x 0.070" x 0.310"	44'-8"	41'-4"	38'-8"	36'-5"	34'-7"	32'-11"	31'-7"	30'-4"	29'-3"	28'-3"

* Maximum chair rail spacing is 6'-8" o.c. Thus with chair rail @ 2'-6" the maximum wall height without additional chair rail is 9'-2".

Notes:

Glass Rooms: The addition of aluminum frame windows with glass panes that are designed to 110 M.P.H. wind load requirements to the above upright sizes increases the strength so that additional framing is not required.

Using screen panel width "W" (See typical glass room drawing.), select upright required from the maximum height allowed for each extrusion.

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**Table 3.1.1: Allowable Beam Spans - Hollow Extrusions for Screen and/or Vinyl [Open] Rooms with Solid Roofs
Aluminum Alloy 6063 T-6**

Wind Zone =	102 MPH	110 MPH	120 MPH	125 MPH	140 MPH
Applied Load =	17 # / Sq. Ft.	20 # / Sq. Ft.	23 # / Sq. Ft.	26 # / Sq. Ft.	32 # / Sq. Ft.
Load Width	2" x 2" x 0.044"				
5'	6'-4"	5'-10"	5'-6"	5'-2"	4'-8"
6'	5'-10"	5'-4"	5'-0"	4'-8"	4'-3"
7'	5'-5"	4'-11"	4'-8"	4'-4"	3'-11"
8'	5'-0"	4'-8"	4'-4"	4'-1"	3'-8"
9'	4'-9"	4'-5"	4'-1"	3'-10"	3'-6"
10'	4'-6"	4'-2"	3'-10"	3'-8"	3'-3"
11'	4'-4"	3'-11"	3'-8"	3'-6"	3'-2"
12'	4'-1"	3'-9"	3'-6"	3'-4"	2'-11"
Load Width	2" x 3" x 0.050" Tilt Beam or 2" x 3" x 0.050"				
5'	8'-9"	8'-0"	7'-6"	7'-1"	6'-4"
6'	7'-11"	7'-4"	6'-10"	6'-5"	5'-10"
7'	7'-4"	6'-9"	6'-4"	5'-11"	5'-4"
8'	6'-11"	6'-4"	5'-11"	5'-7"	5'-0"
9'	6'-6"	5'-11"	5'-7"	5'-3"	4'-9"
10'	6'-2"	5'-8"	5'-4"	4'-11"	4'-6"
11'	5'-10"	5'-5"	5'-1"	4'-9"	4'-3"
12'	5'-7"	5'-2"	4'-10"	4'-7"	4'-1"
Load Width	2" x 3" x 0.070"				
5'	10'-5"	9'-7"	8'-11"	8'-5"	7'-7"
6'	9'-6"	8'-9"	8'-2"	7'-8"	6'-11"
7'	8'-9"	8'-1"	7'-6"	7'-1"	6'-5"
8'	8'-2"	7'-7"	7'-1"	6'-8"	5'-11"
9'	7'-9"	7'-2"	6'-8"	6'-3"	5'-8"
10'	7'-4"	6'-9"	6'-4"	5'-11"	5'-4"
11'	6'-11"	6'-5"	6'-0"	5'-8"	5'-1"
12'	6'-8"	6'-2"	5'-9"	5'-5"	4'-11"
Load Width	2" x 4" x 0.050" Tilt Beam or 2" x 4" x 0.050"				
5'	10'-8"	9'-10"	9'-2"	8'-7"	7'-9"
6'	9'-8"	8'-11"	8'-4"	7'-10"	7'-1"
7'	8'-11"	8'-3"	7'-9"	7'-3"	6'-7"
8'	8'-5"	7'-9"	7'-3"	6'-10"	6'-1"
9'	7'-11"	7'-4"	6'-10"	6'-5"	5'-9"
10'	7'-6"	6'-11"	6'-6"	6'-1"	5'-6"
11'	7'-2"	6'-7"	6'-2"	5'-10"	5'-3"
12'	6'-10"	6'-4"	5'-11"	5'-7"	5'-0"

Example:

For 2" x 2" x 0.044" Extrusion beam span is distance between uprights; to enter table roof panel projection of 14'-0" find load width;

L.W. = 14'/2 + 2' O.H. = 9' Enter table on left under load width.

Load Width = 9'-0" and read span under appropriate load;

Live Load @ 17 # / Sq.Ft. / 102 M.P.H. Load Beam Span =

4' - 9"

Note: Tables assume extrusion oriented with longer extrusion dimension parallel to applied load.

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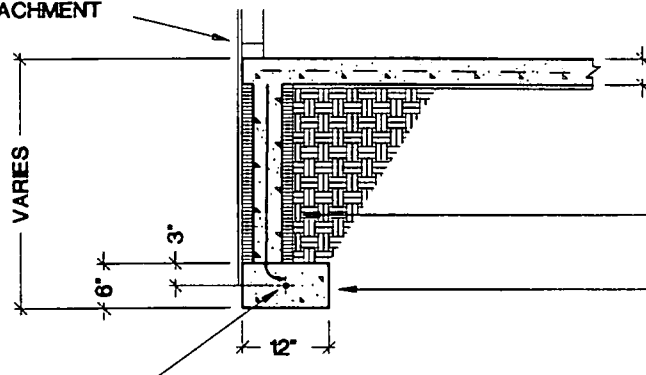
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ALUMINUM ATTACHMENT



(1) #5 BAR CONTINUOUS

3-1/2" CONCRETE SLAB 6x6-10x10 W.W.F. OR FIBER MESH CONCRETE

VISQUENE VAPOR BARRIER UNDER SLABS HAVING STRUCTURES ABOVE

WELL COMPACTED CLEAN FILL OVER SACRIFICED NATURAL SOIL 90% RELATIVE DENSITY

CONC. FILLED BLOCK STEM WALL 8" x 8" x 16" CMU

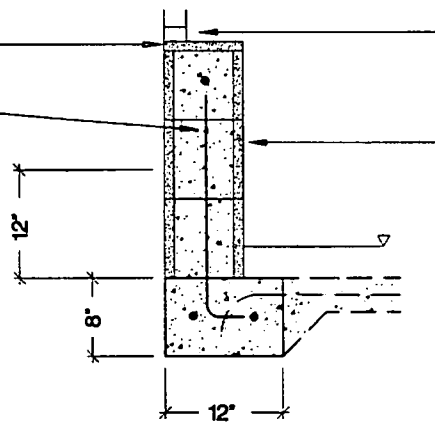
6" x 12" CONCRETE FOOTING WITH (1) #5 CONTINUOUS LOCATE ON UNDISTURBED NATURAL SOIL (1) #5 VERTICAL AT CORNERS AND AT 10'-0" ON CENTER

RAISED PATIO FOOTING

OPTIONAL CONCRETE CAP BLOCK OR BRICK

(1) #4 BAR CONTINUOUS

MAXIMUM DIFFERENTIAL IN SOIL HEIGHT



ANCHOR ALUMINUM FRAME TO WALL OR SLAB WITH 1/4" x 2-1/2" MASONRY ANCHORS AT 8" EACH SIDE OF POST AND 2'-0" MAX.

8" x 8" x 16" BLOCK WALL

DECK OR GROUND LEVEL

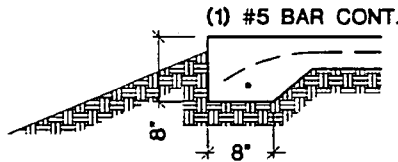
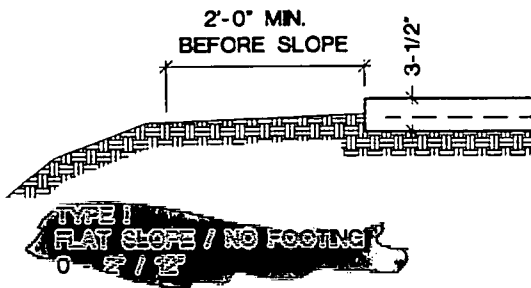
RIBBON FOOTING OR MONOLITHIC

IF MONOLITHIC SLAB IS USED SEE NOTES OF DETAILS BELOW

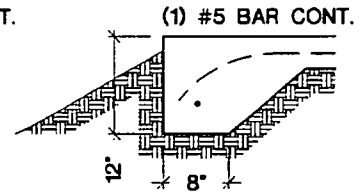
(2) #4 BARS MIN. 2-1/2" OFF GROUND

(1) #4 BAR AT CORNERS AND 10'-0" ON CENTER FILL CELLS AND KNOCK OUT BLOCK TOP COURSE WITH 3000 PSI PEA ROCK CONCRETE

KNEE WALL FOOTING FOR SCREENED ENCLOSURES



TYPE II MODERATE SLOPE FOOTING 2/12" - 1-10"



TYPE III STEEP SLOPE FOOTING > 1-10"

- NOTES:
1. NO FOOTING REQUIRED EXCEPT WHEN ADDRESSING EROSION UNTIL THE ROOM EXCEEDS 18'-0". ROOMS GREATER THAN 18'-0" USE TYPE II FOOTING.
 2. FOOTINGS SHALL BE MIN. 2,500 PSI CONCRETE WITH 6x6-10x10 WELDED WIRE MESH OR FIBER MESH MAY BE USED IN LIEU OF MESH.
 3. IF LOCAL BUILDING CODES REQUIRES A MINIMUM FOOTING USE TYPE II FOOTING OR FOOTING SECTION REQUIRED BY LOCAL CODE. LOCAL CODE GOVERNS.

SLAB DETAILS ADDRESSING EROSION

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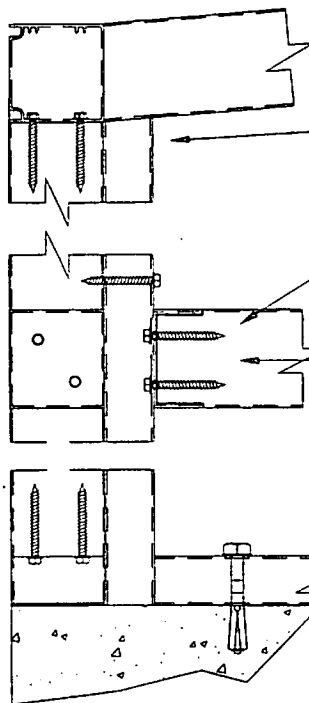
SECTION 3

SCREEN, VINYL & GLASS ROOMS

EDGE BEAM

T x 2" x 0.044" OPEN BACK ATTACHED TO FRONT POST WITH #10 x 2" S.M.S. MAX. 6" FROM EACH PURLIN AND 24" O.C.

FRONT WALL PURLIN



SIDE WALL HEADER ATTACHED TO T x 2" x 0.044" OPEN BACK WITH MIN. (2)#10 x 1-1/2" S.M.S.

SIDE WALL PURLINS ATTACHED TO T x 2" x 0.044" OPEN BACK WITH MIN. (2) #10 x 1-1/2" S.M.S. IN SCREW BOSSES

SIDE WALL PURLINS ATTACHED TO T x 2" x 0.044" OPEN BACK WITH MIN. (2) #10 x 1-1/2" S.M.S. IN SCREW BOSSES

FRONT AND SIDE BOTTOM RAILS ATTACHED TO CONCRETE WITH 1/4" x 2-1/4" MASONRY QUICK SET AT 6" FROM EACH POST AND 24" ON CENTER MAX. AND WALLS A MIN. T FROM EDGE OF CONCRETE

TYPICAL CORNER DETAIL

COMPOSITE ROOF PANELS:
(4) 1/4" x 4" LAG BOLTS WITH 1-1/4" FENDER WASHERS PER 4'-0" PANEL ACROSS THE FRONT AND 24" O.C. ALONG SIDES (WALK-ON)

2' x 2' OR 2' x 3' HOLLOW SEE SPAN TABLE HEADER

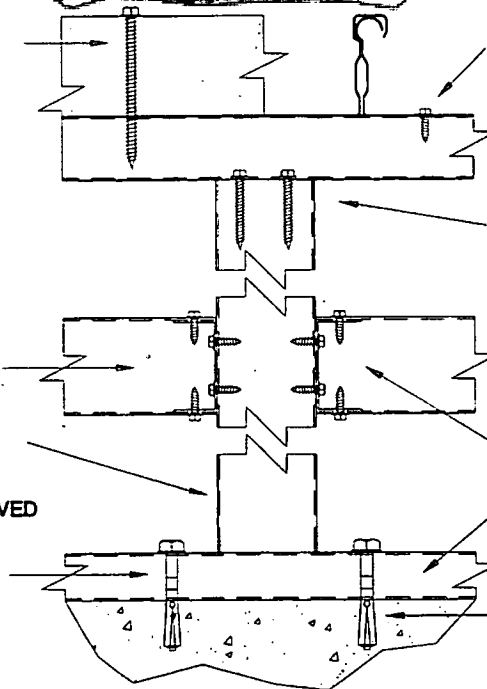
CHAIR RAIL AND KICK PLATE
2' x 2' x 0.044" HOLLOW RAIL

POST ATTACHED TO BOTTOM WITH MIN. (2) #10 x 1-1/2" S.M.S. IN SCREW BOSSES

EXISTING SLAB MAY BE USED IF IN GOOD CONDITION AND APPROVED BY THE BUILDING OFFICIAL

(1) HLT 1/2" x 3-1/2" KBI-BOLTS APPROVED FOR 885# . UPLIFT WITH STD PLATED CUT STEEL WASHER

(1) 3/8" BOLT FOR 3' POST
(2) 3/8" BOLTS FOR 3' x 4' POST



RISER PANELS:
(3) #8 x 1/2" S.M.S. PER 12" PANEL

HEADER ATTACHED TO POST WITH MIN. (2) #10 x 1-1/2" S.M.S. IN SCREW BOSSES

2' x 2', 2' x 3' OR 3' x 2' HOLLOW SEE SPAN TABLES

FOR SNAP EXTRUSIONS CHAIR RAIL ATTACHED TO POST WITH MIN. (2) #10 x 1-1/2" S.M.S. IN SCREW BOSSES

Tx2"x0.044" OPEN BACK BOTTOM RAIL

1/4" x 2-1/4" MASONRY ANCHOR @ 6" FROM EACH POST AND 24" O.C. MAX.

TYPICAL UPRIGHT DETAIL

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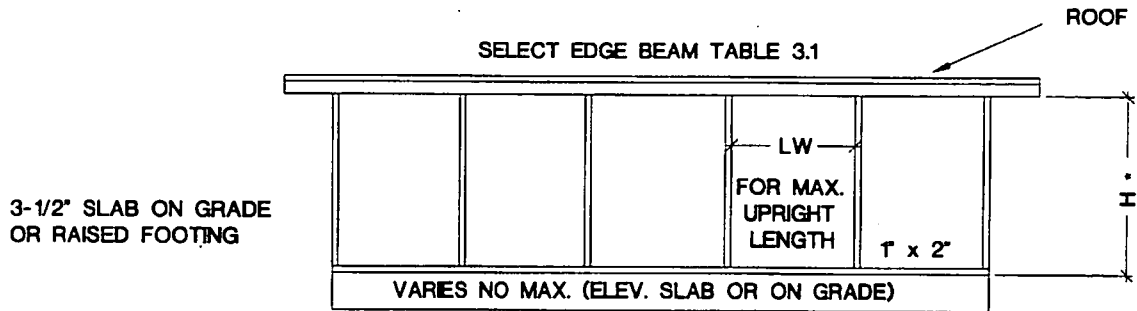
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TYPICAL GLASS ROOM WITH SOLID ROOF. TYPICAL FRONT VIEW FRAMING
 • (HEIGHT OF UPRIGHT IS MEASURED FROM TOP OF 1"x2" PLATE TO BOTTOM OF WALL BEAM)

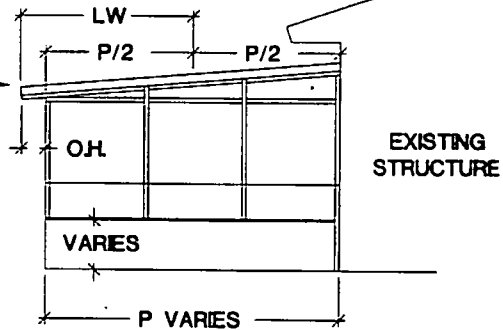
ALTERNATE CONNECTION AT FASCIA ALLOWED
 SEE SECTION 7 FOR DETAILS

SOLID ROOF

SIZE BEAM AND COLUMNS PER TABLES

P = PROJECTION FROM BLDG.
 LW = LOAD WIDTH

LOAD WIDTH FOR ROOF PANELS



TYPICAL SCREEN/GLASS ROOM

NOTES: ANCHOR 1" x 2" OPEN BACK EXTRUSION WITH 1/4"x2-1/4" CONCRETE FASTENER MAXIMUM OF 2'-0" ON CENTER AND WITHIN 6" OF UPRIGHT ANCHOR 1" x 2" TO WALL WITH 2-1/2" #10 SHEET METAL SCREWS WITH WASHERS 2'-0" ON CENTER. ANCHOR BEAM AND COLUMN INTERNALLY OR WITH ANCHOR CLIPS AND #10 SCREWS AND WASHERS.

MINIMUM SLAB THICKNESS FOR SLAB ON GRADE IS 3-1/2" CONCRETE.

SELECT FRONT WALL BEAM FROM TABLE USING LARGER "A" VALUE OF P/2 OR P/2 + O.H.

"P" IS CLEAR DISTANCE FROM HOST STRUCTURE TO FRONT WALL BEAM.

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**DRIVEWAY &
PAVERS**

Bldg. Pmt#

4848

Town of Sewall's Point

Date 2-23-00

BUILDING PERMIT APPLICATION

Owner's Name: Tom. Hall Phone No. 221-2832
Owner's Present Address: 7. N. Ridge View Rd.
Fee Simple Titleholder's Name & Address if other than owner _____

Location of Job Site:

TYPE OF WORK TO BE DONE: Repairing existing driveway
CONTRACTOR INFORMATION
Contractor/Company Name: Michael Mignone Phone No. 561-748-1673
COMPLETE MAILING ADDRESS 6230 W. INDIANTOWN RD
State Registration SP 02839-36801 State License _____
Legal Description of Property LOT 1 Block D OF AMENDED PLAT OF
Parcel Number HOLMWOOD

ARCHITECT/ENGINEER INFORMATION

Architect _____ Phone No. _____
Address _____
Engineer _____ Phone No. _____
Address _____

Area Square Footage: Living Area _____ Garage Area _____ Carport _____
Accessory Bldg. _____ Covered Patio _____ Scr. Porch _____ Wood Deck _____
Type Sewage: _____ Septic Tank Permit # from Health Dept. _____
NEW electrical SERVICE SIZE _____ AMPS

FLOOD HAZARD INFORMATION

flood zone _____ minimum Base Flood Elevation (BFE) _____ NGVD
proposed finish floor elevation _____ NGVD (minimum 1 foot above BFE)
Cost of construction or improvement 13,725.00
Fair Market Value (FMV) prior to improvement _____
Substantial Improvement 50% of FMV yes _____ No _____
Method of determining FMV _____

SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)

Electrical _____ State License _____
Mechanical _____ State License# _____
Plumbing _____ State License# _____
Roofing _____ State License# _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE Michael Mignone 2000
Sworn to and subscribed before me this 23 day of February, 1998 by MICHAEL MIGNONE who is personally known to me or has produced or has produced FL DRIVERS License and who did (did not) take an oath.
CONTRACTOR SIGNATURE Michael Mignone
Sworn to and subscribed before me this 23 day of February, 1998 by MICHAEL MIGNONE who is personally known to me or has produced 2000 FL DRIVERS License and who did (did not) take an oath.

TREE REMOVAL (Attach sealed survey)

No. of trees to be removed _____ No. to be retained _____ No. to be planted _____
Specimen tree removed _____ Fee _____ Authorized/Date _____
DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE :

- A. Property Appraiser's Parcel Number.
 - B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
 - C. Contractor's name, address, phone number & license numbers.
 - D. Name all sub-contractors (properly licensed).
 - E. Current Survey
 - F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:
1. Floor Plan
 2. Foundation Details
 3. Elevation Views - Elevation Certificate due after slab inspection.
 4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
 5. Truss layout
 6. Vertical Wall Sections (one detail for each wall that is different)
 7. Fireplace drawing: If prefabricated submit manufacturers data.

ADDITIONAL Required Documents are:

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official _____

Approved by Town Engineer _____

3725 . 35.76
+ 3.58
39.34

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 2/24/00 BUILDING PERMIT NO. 4848
Building to be erected for TOM HALL Type of Permit D/W REPL.
Applied for by MICHAEL MIGNORE (Contractor) Building Fee \$ 35.76
Subdivision _____ Lot _____ Block _____ Radon Fee _____
Address 7 N. RIDGEVIEW Impact Fee _____
Type of structure S.F.R. A/C Fee _____

Parcel Control Number: _____
Amount Paid _____ Check # _____ Cash _____ Other Fees (PLUM) 3.58
Total Construction Cost \$ 3,750.00 TOTAL Fees \$39.34

Signed Alex Mignore Applicant Signed [Signature] Town Building Inspector [Signature]

BUILDING PERMIT D/W REPL

FORM BOARD SURVEY	DATE _____	SHEATHING	DATE _____
COMPACTION TESTS	DATE _____	FRAMING	DATE _____
GROUND ROUGH	DATE _____	INSULATION	DATE _____
SOIL POISONING	DATE _____	ROOF DRY-IN	DATE _____
FOOTINGS / PIERS	DATE _____	ROOF FINAL	DATE _____
SLAB ON GRADE	DATE _____	METER FINAL	DATE _____
TIE-BEAMS & COLUMNS	DATE _____	AS BUILT SURVEY	DATE _____
STRAPS AND ANCHORS	DATE _____	STORM PANELS	DATE _____
DRIVEWAY	DATE _____	LANDCAPE & GRADE	DATE _____
AS-BUILT SURVEY	DATE _____	FINAL INSPECTION	DATE <u>10/27/00</u>

FLOOD ZONE _____ LOWEST HABITABLE FLOOR ELEV. _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455

WORK HOURS – 8:00 AM UNTIL 5:00 PM
MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

NOTICE OF COMMENCEMENT

STATE OF FLORIDA

COUNTY OF _____

} ss:

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. Description of property:

Lot 1, Block D of amended Plat of Homewood, According to the plat thereof, Recorded in Platbook 3 Page 35, Publick Records of Martin County, Fl.

2. General description of improvement: SINGLE FAMILY RESIDENCE Driveway

3. Owner Information:

a. Name and address:

Thomas L. Hall, III and Clare M. Hall

7 N. Ridgeview Road

Stuart, Fl. 34996

b. Interest in property: FEE SIMPLE

c. Name and address of fee simple titleholder (if other than owner):

4. Contractor:

Michael Mignone

6230 W. Indiantown Road

Suite 7-318, Jupiter, Fl. 33458

5. Surety:

a. Name and Address:

b. Amount of bond: \$

6. Lender:

7. Persons within the State of Florida designated by owner upon whom notices or other documents may be served as provided by section 713.13(1)(a)7, Florida Statutes:

8. In addition to himself, owner designates:

to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

9. Expiration date of Notice of Commencement (the expiration date is 1 year from the date of recording unless a different date is specified):

Thomas L. Hall III

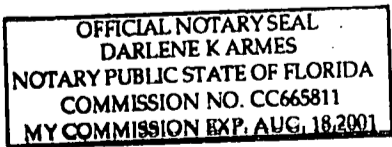
Clare M. Hall

Sworn to and subscribed before me this 24th day of February, 2000.

Darlene K. Armes
NOTARY PUBLIC

My Commission Expires: 8/18/2001

(seal)

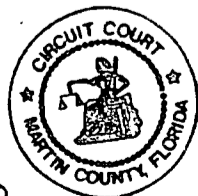


STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.

MARSHA STILLER, CLERK

BY [Signature] D.C.
DATE 2-24-00



PROPOSAL

MICHAEL MIGNONE
 6230 W. Indiantown Rd.
 Suite 7-318
 Jupiter, FL. 33458
 Phone (561) 748-1673

PROPOSAL NO.
SHEET NO.
DATE <u>1-31-00</u>

PROPOSAL SUBMITTED TO:

WORK TO BE PERFORMED AT:

NAME <u>MR. TOM HALL</u>	ADDRESS
ADDRESS <u>7 N. Ridge View RD</u>	CITY, STATE
CITY, STATE	DATE OF PLANS
PHONE NO.	ARCHITECT

We hereby propose to furnish the materials and perform the labor necessary for the completion of

Price includes removal of 2 Palms at end of drive.

JOB will consist of Removing APPROX 3 1/2 INCHS of DIRT DRIVEWAY. Concrete SAND Will Be Installed for PAVERS. Pavers will be giving the right pitch AND level so WATER DRAINS properly. Border Bricks will be Locked IN with cement. White MASON SAND will fill PAVER JOINTS. TOTAL SQ. FT. WITH CUTS + WASTE TOTALS 1,136

Pavers are pre-selected symmetry.

TOTAL PRICE - 3,725.00 - Includes - Bricks - LABOR - cement - (BOB-CAT WORK removal of DIRT)

All material is guaranteed to be as specified, and the above work to be performed in accordance with the drawings and specifications submitted for above work and completed in a substantial workmanlike manner for the sum of:

PAVERS will be 2nd over RUNS. - permit will COST EXTRA. Dollars (\$ _____)

with payments to be as follows Deposit - 1900 CK# 2563

Deposit - 1,862.50

When complete - 1,862.50

Any alterations or deviation from above specifications involving extra costs will be executed only upon written order, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond our control.

Respectfully submitted _____

Per _____

Note - This proposal may be withdrawn by us if not accepted within _____ days.

ACCEPTANCE OF PROPOSAL

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payments will be made as outlined above.

DATE

1-31-00

SIGNATURE

SIGNATURE

CERTIFICATE OF INSURANCE

ISSUE DATE 2/24/00

PRODUCER
 FLORIDA INSURANCE CONNECTION
 545 W INDIANTOWN RD
 JUPITER, FL 33468

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND, OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY LETTER	A	St Paul Reinsurance Company, Ltd.
COMPANY LETTER	B	
COMPANY LETTER	C	
COMPANY LETTER	D	
COMPANY LETTER	E	

INSURED
 MICHAEL MIGNONE
 6230 W. INDIANTOWN RD. SUITE 7318
 JUPITER, FL 33468

FILE
Perkins

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES, LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE	POLICY EXPIRATION DATE	LIMITS
A	GENERAL LIABILITY	SPT025720	031999	03192000	GENERAL AGGREGATE 500,000. PRODUCTS-COM/OP AGG. 500,000. PERSONAL & ADV. INJURY 500,000. EACH OCCURRENCE 500,000. FIRE DAMAGE (Any one fire) 50,000. MED. EXPENSE (Any one person) 5,000.
	AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT BODILY INJURY (Per Person) BODILY INJURY (Per Accident) PROPERTY DAMAGE
	EXCESS LIABILITY				EACH OCCURRENCE AGGREGATE
	WORKERS COMPENSATION AND EMPLOYERS LIABILITY				STATUTORY LIMITS EACH ACCIDENT DISEASE-POLICY LIMIT DISEASE-EACH EMPLOYEE

DESCRIPTION OF OPERATIONS / VEHICLES / SPECIALTY ITEMS
 MASONRY
 9747 MASONRY.

CERTIFICATE HOLDER
 Town Of Sewalls Point
 Town Hall
 1 South Sewalls Point Rd.
 Sewalls Point, Fl. 34996
 Attn: Edwin Arnold

Should any of the above described policies be cancelled before the expiration date, the company shall endeavor to mail 10 days written notice to the certificate holder named to the left, but failure to mail such notice shall impose no obligation or liability of any kind upon the company, its agents, or representatives.

AUTHORIZED REPRESENTATIVE


Please refer to the written instructions prepared by the Division of Workers' Compensation before completing this form **PAID**

STATE USE ONLY	
Effective/Issue Date:	
Expiration Date:	
Control Number:	
Postmark Date:	
Received Date:	

By filing this application, you elect to be exempt from the provisions of Chapter 440, Florida Statutes and waive any right you may have to workers' compensation benefits in the State of Florida should you become injured on the job. Any person who knowingly and with intent to injure, defraud, or deceive the Division or any employer, employee, or insurance company or purposes program, files a Notice of Election to be Exempt containing any false or misleading information is guilty of a felony of the third degree. Certain documentation is required by law to be attached to this application - refer to the instruction sheet for details.

RECEIVED OCT 28 1999

I am applying for exemption as a (check only one box in this section):

CONSTRUCTION INDUSTRY Sole Proprietor Partner Corporate Officer (your corp. title: President))-01

NON-CONSTRUCTION INDUSTRY Corporate Officer (your corp. title: President))-01

BUREAU OF W.C. COMPLIANCE
WEST PALM BEACH

CORPORATE OFFICERS AND PARTNERS: List the registration number of your business on file with the Division of Corporations, Department of State's Office (NOTE: your partnership may not have one, but all corporations must have one. If your partnership doesn't have one, state "N/A"):
N/A

Are you a sole proprietor, partner, or corporate officer in any business entity other than the business to which this application applies?
 NO YES list the name of all other businesses in which you have an ownership interest:

THIS EXEMPTION APPLICATION APPLIES ONLY TO THE PERSON SIGNING THE APPLICATION AND ONLY FOR THE BUSINESS ENTITY LISTED IN THE FOLLOWING SECTION

Business Name: <u>Michael L. Mignone</u>		Trade Name; d/b/a; or a/k/a: <u>TRIPLE-M-BRICK PAVES INC.</u>	
Business Mailing Address: <u>6230 W. INDIANTOWN RD.</u>		City: <u>JUPITER</u>	State: <u>FL</u>
County: <u>PALM BEACH</u>	Phone No.: <u>(561) 748-1673</u>	Nature of Business: <u>INSTALLION BRICK PAVES</u>	Zip: <u>33458</u>
Unemployment Compensation Tax No: <u>65-0931481</u>	Date Business Established: <u>JUNE 10 99</u>	FEDIN: <u>65-0931481</u>	No. of Employees: <u>ONE</u>

Do you have a certified or registered license issued to you pursuant to Chapter 489, Florida Statutes? YES - identify the license and list the license no. of all licenses issued to you: NO

AFFIDAVIT OF APPLICANT: I hereby certify that the information contained herein is true and correct to the best of my knowledge and belief; that this election does not exceed exemption limits for corporate officers or partners as provided in §440.0 Florida Statutes; and that I will secure the payment of workers' compensation benefits, pursuant to Chapter 440, Florida Statute for any employee I now have or may hereinafter acquire, for which my business is required by Florida law to secure such benefit.

Michael L. Mignone
TYPE/PRINT NAME OF PERSON APPLYING FOR EXEMPTION

Michael L. Mignone
APPLICANT'S SIGNATURE

NOTARY STATE OF FLORIDA, COUNTY OF Palm Beach

590,18 19923 SOCIAL SECURITY NO.
11, 28, 165 mo. day yr.
9-10-99 DATE SIGNED

Sworn to and subscribed before me this 28th day of October, 1999 by Michael L. Mignone

Personally Known OR Produced Identification Type of Identification Produced License M255-SS2 65428

NOTARY SIGNATURE Melissa M Gonzales My Commission Expires 7-7-2001

(SEE REVERSE FOR ADDITIONAL INFORMATION)

OFFICIAL NOTARY SEAL MELISSA M GONZALES NOTARY PUBLIC STATE OF FLORIDA COMMISSION NO. CC661619 MY COMMISSION EXPIRES
--

DATE ISSUED
March 30, 1999

CONTRACT NO.
SP016

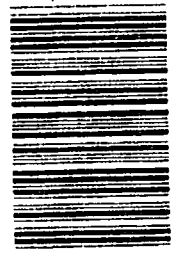
PREVIOUS NO.
NEW

THIS DECLARATION PAGE IS ATTACHED TO AND FORMS PART OF CERTIFICATE/COVER NOTE PROVISIONS

CERTIFICATE / POLICY NUMBER: **SPT025720**

ITEM	1	Name of Assured MICHAEL MIGNONE 6230 W. INDIANTOWN RD. SUITE 7318 JUPITER, FL 33458	FLORIDA INSURANCE CONNECTION 545 W INDIANTOWN RD JUPITER, FL 33458
------	---	---	--

2	Effective From 12:01am Both Days at Standard Time: March 19, 1999	TO	March 19, 2000
---	--	----	----------------

3	Acting upon your instruction, we have effected the insurance with:	NAME OF INSURERS ST PAUL REINSURANCE COMPANY LTD.	AMOUNT OR PERCENT 100%		C26901
---	--	---	----------------------------------	---	--------

LIMIT	COVERAGE	RATE	PREMIUM												
4	COMMERCIAL GENERAL LIABILITY	SEE CL150	\$350.00												
<p style="font-size: 0.8em;">SURRENDERED TO THE ASSURED VIRGINIA L. PHILLIPS LICENSE # 145-77-0277</p> <p style="font-size: 0.8em;">ONE CORPORATE DRIVE BOX 17089 CLEARWATER, FLORIDA 34622</p> <p style="font-size: 0.8em;">THIS INSURANCE IS ISSUED PURSUANT TO THE FLORIDA SURPLUS LINES LAW. PERSONS INSURED BY SURPLUS LINES CARRIERS DO NOT HAVE THE PROTECTION OF THE FLORIDA INSURANCE GUARANTY ACT TO THE EXTENT OF ANY RIGHT OF RECOVERY FOR THE OBLIGATION OF AN INSOLVENT UNLICENSED INSURER.</p> <p style="font-size: 0.8em;">PRODUCER <i>Cherie Travers Jupiter</i></p>															
5			<table style="width: 100%; border-collapse: collapse;"> <tr> <td>TOTAL BASE</td> <td style="text-align: right;">350.00</td> </tr> <tr> <td>POLICY FEE</td> <td style="text-align: right;">\$25.00</td> </tr> <tr> <td>INSPECTION</td> <td style="text-align: right;">\$50.00</td> </tr> <tr> <td>TAX</td> <td style="text-align: right;">\$21.25</td> </tr> <tr> <td>FSLISO SERVICE FEE</td> <td style="text-align: right;">\$1.28</td> </tr> <tr> <td>TOTAL</td> <td style="text-align: right;">\$447.53</td> </tr> </table>	TOTAL BASE	350.00	POLICY FEE	\$25.00	INSPECTION	\$50.00	TAX	\$21.25	FSLISO SERVICE FEE	\$1.28	TOTAL	\$447.53
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POLICY FEE	\$25.00														
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TAX	\$21.25														
FSLISO SERVICE FEE	\$1.28														
TOTAL	\$447.53														
6															
SPECIAL CONDITIONS IL0017 (11-85), I, NMA 1998, CL150															

In witness whereof this covernote has been signed at BURLINGTON, NC this 30 day of March 1999
TCW FL

TAYCO UNDERWRITERS, INC
Virginia Phillips
by

Original

NOTES:

- 1) REPRODUCTIONS OF THIS SKETCH ARE NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.
- 2) LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR RIGHTS-OF-WAY, EASEMENTS OF RECORD, OWNERSHIP, MURPHY ACT DEEDS, OR ADJOINING DEEDS.
- 3) LAND DESCRIBED SHOWN HEREON WAS PROVIDED BY THE CLIENT OR HIS/HER AGENT.
- 4) NO ATTEMPT WAS MADE BY THIS OFFICE TO LOCATE SUBSURFACE IMPROVEMENTS OR ENCROACHMENTS OTHER THAN THOSE SHOWN HEREON.
- 5) UNDERGROUND FOUNDATIONS NOT LOCATED.
- 6) BASE OF BEARINGS IS THE CENTERLINE OF N. RIDGEVIEW ROAD AS SHOWN ON THE PLAT OF AMENDED PLAT OF HOMEWOOD, RECORDED IN PLATBOOK 3, PAGE 35, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

DESCRIPTION

LOT 1, BLOCK "D", OF AMENDED PLAT OF HOMEWOOD, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLATBOOK 3, PAGE 35, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

SAID LANDS SITUATE IN MARTIN COUNTY, FLORIDA.

STREET ADDRESS: 7 N. RIDGEVIEW ROAD

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED UNDER MY DIRECTION. I FURTHER CERTIFY THAT THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS UNDER RULE 21-111-6 FLORIDA ADMINISTRATIVE CODE PURSUANT TO CHAPTER 472.027 FLORIDA STATUTES.

NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.

CERTIFIED TO:

BARNETT BANK OF MARTIN COUNTY, N.A.
 STEWART TITLE OF MARTIN COUNTY
 THOMAS L. HALL, III
 CLARE M. HALL

DATED

7/6/99



GERALD W. TANSKY

PROFESSIONAL REGISTRATION NO. 4464














BOUNDARY SURVEY W/INTERIOR IMPROVEMENTS PREPARED FOR: BARNETT BANK

DRAWN: G.W.T.
 CHECKED: G.W.T.
 DATE: 7-6-99
 SCALE: 1"=30'
 JOB #: 99-376
 SHEET / OF /

TREASURE COAST LAND SURVEYORS
 PROFESSIONAL LAND SURVEYORS
 PHONE # 3250 CANDICE AVE. BOX 113
 334-2663 JENSEN BEACH, FLORIDA 34957

REVISIONS	BY	DATE

INTERLOCKING PAVERS

PRODUCT SHAPE AND NAME	UNITS PER SQ FT	SQ FT PER CUBE	WEIGHT/LBS PER SQ FT	WEIGHT/LBS PER CUBE	NATURAL GREY	GREY CEMENT COLOR	WHITE CEMENT COLOR
					PRICE PER SQ FT		
 UNI-DECOR® 5 1/2 x 9 in. (140 x 230mm) 2 3/8 in. (60mm) thick 3 1/8 in. (80mm) thick	3.50	100	26	2600	\$1.85	\$2.19	\$2.58
	3.50	80	34	2720	\$2.22	\$2.55	\$2.98
 COBBLE-LOCK™ 7 3/8 x 9 1/2 in. (185 x 240mm) 2 3/8 in. (60mm) thick	3.23	93	26	2418	\$1.84	\$2.18	\$2.58
 UNI-STONE® 4 1/2 x 8 7/8 in. (112 x 225mm) 2 3/8 in. (60mm) thick 3 1/8 in. (80mm) thick	3.62	97	26	2522	\$1.77	\$2.09	\$2.58
	3.62	77	34	2618	\$2.11	\$2.50	\$2.98
 UNI-ANCHORLOCK® 3 1/8 in. (80mm) thick*	2.41	85	34	2890	\$2.11	INQUIRE	INQUIRE
 CITY-SQUARE® 2 3/8 in. (60mm) thick 6 x 6 in. (150 x 150mm) 8 x 8 in. (200 x 200mm) 12 x 12 in. (300 x 300mm) 8 x 12 in. (200 x 300mm)	4.00	97	26	2522	\$1.77	\$2.09	\$2.58
	2.25	104	26	2704	\$1.77	\$2.09	\$2.58
	1.00	116	26	3016	\$1.77	\$2.09	\$2.58
	1.50	106	26	2756	\$1.77	\$2.09	\$2.58
 CITY-LOCK™ 2 3/8 in. (60mm) thick*	1.15	104	26	2704	\$1.77	\$2.09	\$2.58
 CITY-DIAMOND™ 2 3/8 in. (60mm) thick*	2.00	92	26	2392	\$1.93	\$2.25	\$2.63
 HOLLAND-STONE™ 3 7/8 x 7 7/8 in. (100 x 200mm) 2 3/8 in. (60mm) thick 3 1/8 in. (80mm) thick	4.6	104	26	2704	\$1.77	\$2.09	\$2.58
	4.6	83	34	2822	\$2.11	\$2.50	\$2.98
 COLONY™ (Non-chamfered) 3 7/8 x 7 7/8 in. (100 x 200mm) 2 3/8 in. (60mm) thick	4.6	104	26	2704	\$1.77	\$2.09	\$2.58
 MINI-HOLLAND™ 2 3/8 x 7 7/8 in. (66 x 200mm) 2 3/8 in. (60mm) thick	7.00	103	26	2678	\$1.77	\$2.09	\$2.58
 SYMETRY® 4 1/8 x 11 1/8 in. (104 x 280mm) 2 3/8 in. (60mm) thick	3.40	80	26	2184	\$1.93	\$2.26	\$2.60
 HEXAGON STONE™ 2 3/8 in. (60mm) thick*	1.16	78	26	2028	\$1.99	\$2.45	\$2.68
 APPIAN-STONE® 2 3/8 in. (60mm) thick 6 5/16 x 6 5/16 in. (160 x 160mm) 6 5/16 x 9 7/16 in. (160 x 240mm)	3.62	97	26	2522	\$1.85	\$2.19	\$2.58
	2.42	103	26	2678	\$1.85	\$2.19	\$2.58

NEW! Tumbled pavers are now available in our Holland-Stone, Appian-Stone and Colony styles. Please call us for product and pricing information.

Extremely strong, with the unique interlocking shape, Uni-Stone® is especially suited to heavy traffic areas and industrial applications, as well as commercial and residential installations. Used in the concrete paver industry for over 20 years, Uni-Stone® has earned an outstanding reputation for durability, strength and versatility. With an array of colors or color blends and a variety of installation patterns such as herringbone, runner or parquet, Uni-Stone® offers designers, builders, specifiers and architects almost unlimited creativity.

Composition and Manufacture

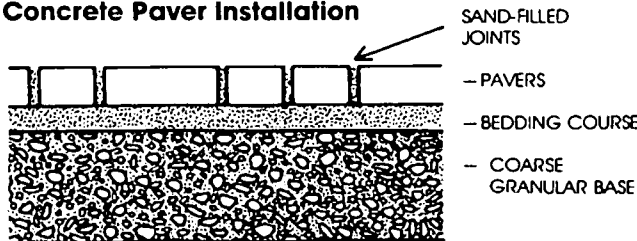
Uni-Stone® is made from a "no slump" concrete mix. Made under extreme pressure and high frequency vibrations, Uni-Stone® has a compressive strength greater than 8000psi, a water absorption maximum of 5% and will meet or exceed ASTM C-936 and freeze-thaw testing per section 8 of ASTM C-67.

Installation

1. Excavate unsuitable, unstable or unconsolidated subgrade material and compact the area which has been cleared. Backfill and level with dense graded aggregate suitable for base material (typically 4-6 in. of compacted base for light vehicular and pedestrian traffic, increasing to 8-12 in. for heavy vehicular and industrial use) or as otherwise directed by Site Engineer/Architect/Landscape Architect.
2. Place bedding course of washed concrete sand conforming to the grading requirements of ASTM C33 to a uniform depth of 1-1 1/2 in. (25-38 mm) screeded to the grade and profile required.
3. Install Uni-Stone® with joints approximately 1/8 in. (3mm). (Pavers with spacer ribs automatically provide minimum joint width.)
4. Where required, cut pavers with an approved cutter to fit accurately, neatly and without damaged edges.
5. Tamp pavers with a plate compactor, uniformly level, true to grade and free of movement.
6. Fill joints with sand.

*For complete installation & specification details contact your manufacturer.

Typical Cross Section of Concrete Paver Installation



Dimensions

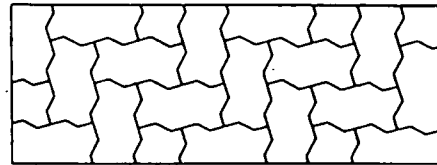
Height/Thickness	2 3/8" = 60mm
	or 3 1/8" = 80mm
Width	Approx. 4 1/2" = 112.5mm
Length	Approx. 8 7/8" = 225mm
Quantity needed per sq. ft.	approx. 3.62 pieces

Applications

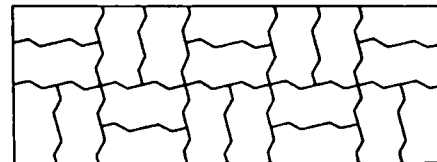
- General road construction • Parking lots • Gas stations
- Driveways • Patios • Highway ramps • Highway rest areas
- Bridge underpasses • Entrance areas • Industrial plants
- Industrial yards • Factory streets • Rail tracks
- Storage depots • Loading docks • Farm roads
- Flooring in stables • Sidewalks • Terraces • Garden paths
- Pool decks • Escarpment fortification • Beach promenades
- Shore fortification • Tank roads • Erosion prevention
- Protective surface for bridge "abutments"
- Pedestrian malls • Roof gardens • Street medians

Note: Colors are shown as accurately as possible in brochures and samples, but due to the nature of the product, regional color preferences and variables in print reproduction, colors may not match exactly. For best results in maintaining color consistency, pavers must be installed from several cubes at a time. Efflorescence, a whitish, powder-like deposit, may appear on concrete pavers. This is a natural occurrence in any concrete product and will usually wear off over time.

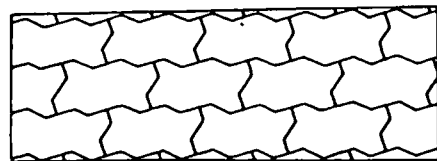
Installation Patterns



HERRINGBONE



PARQUET OR BASKET WEAVE



RUNNER



UNI-GROUP U.S.A.

4362 Northlake Blvd., Suite 207
Palm Beach Gardens, FL 33410 • (561) 626-4666

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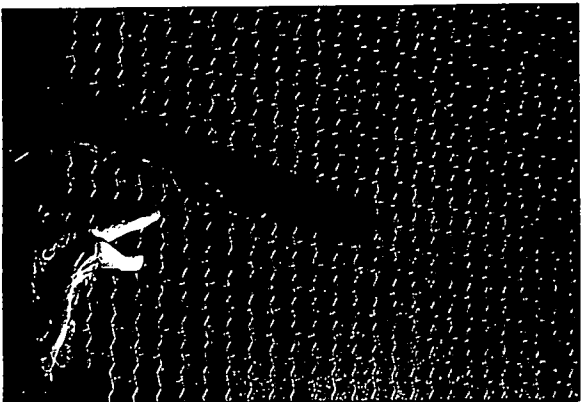
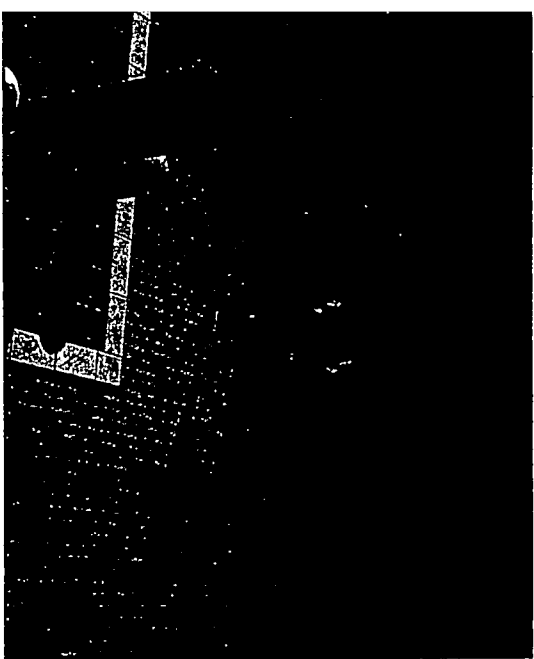
- | | | |
|--|------------------|----------------------|
| <input type="checkbox"/> 6937 Rogers Lake Road, Lithonia/Atlanta, GA 30058 | • (800) 734-3321 | • Fax (770) 482-6416 |
| <input type="checkbox"/> 169 Peggy Lane, Tyrone, GA 30290 | • (800) 682-7622 | • Fax (770) 306-8741 |
| <input type="checkbox"/> 7167 Interpace Road, West Palm Beach, FL 33407 | • (800) 226-0004 | • Fax (561) 844-5454 |
| <input type="checkbox"/> 39 West Landstreet Road, Orlando, FL 32824 | • (800) 226-9117 | • Fax (407) 851-9316 |
| <input type="checkbox"/> 8907 N. 12th Street & Bush Blvd., Tampa, FL 33604 | • (800) 356-PAVE | • Fax (813) 933-4914 |



THE ORIGINAL. THE BEST.™



The Original. The Best.™



Uni-Stone®

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Thu 10-27, 2000; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S 4702	Perry 18 N. Ridgeway owner/builder	all trades	PASSED	
✓ S 4848	HALL 7 N. RIDGEVIEW MIGNONE	DRIVEWAY PER FINAL	PASSED A	
✓ N 4895	Seely 37 Lofting Way Gibben	all trades (COMPUTER RM - STORAGE COMPLETION)	FAIL	ELECT. OUTLET SPCG. REQ. MECH PLAN W/ ENERGY CALCS
✓ S 5068	Winer 19 Ridgeland Lear 485-3082	stem wall base for wine cellar	PASSED	
✓ S 5068	Winer 19 Ridgeland Lear	temp. pole (on SE corner) (REINSPECT)	PASSED	FPL 223-4208 ✓ ^{12:15} EVALUATE 10/16/00 INSPECTION - VERIFIED ALL REQ. SERVICES IN PLACE.
✓ N 4877	Loyola / Osborne 20 C. Hill Buford (PACIFIC KFG.)	tinting & metal	PASSED	
✓ N 5091	O'Conner 16 Fieldway Pacific ✓ ROB 263-0116	sheathing w/ 1/2 only	PASSED	EAST PORTION TO BE STRIPPED & INSPECTED (DRIP IN W/O INSA)

OTHER: S. 9 75. VIA LUCINDA (PENDING STORM SHUTTER APPL.) - WORK COMMENCED? YES
✓ VERIFIED - DOUBLE FIRE "AFTER FACT" PERMIT REQUIRED.

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

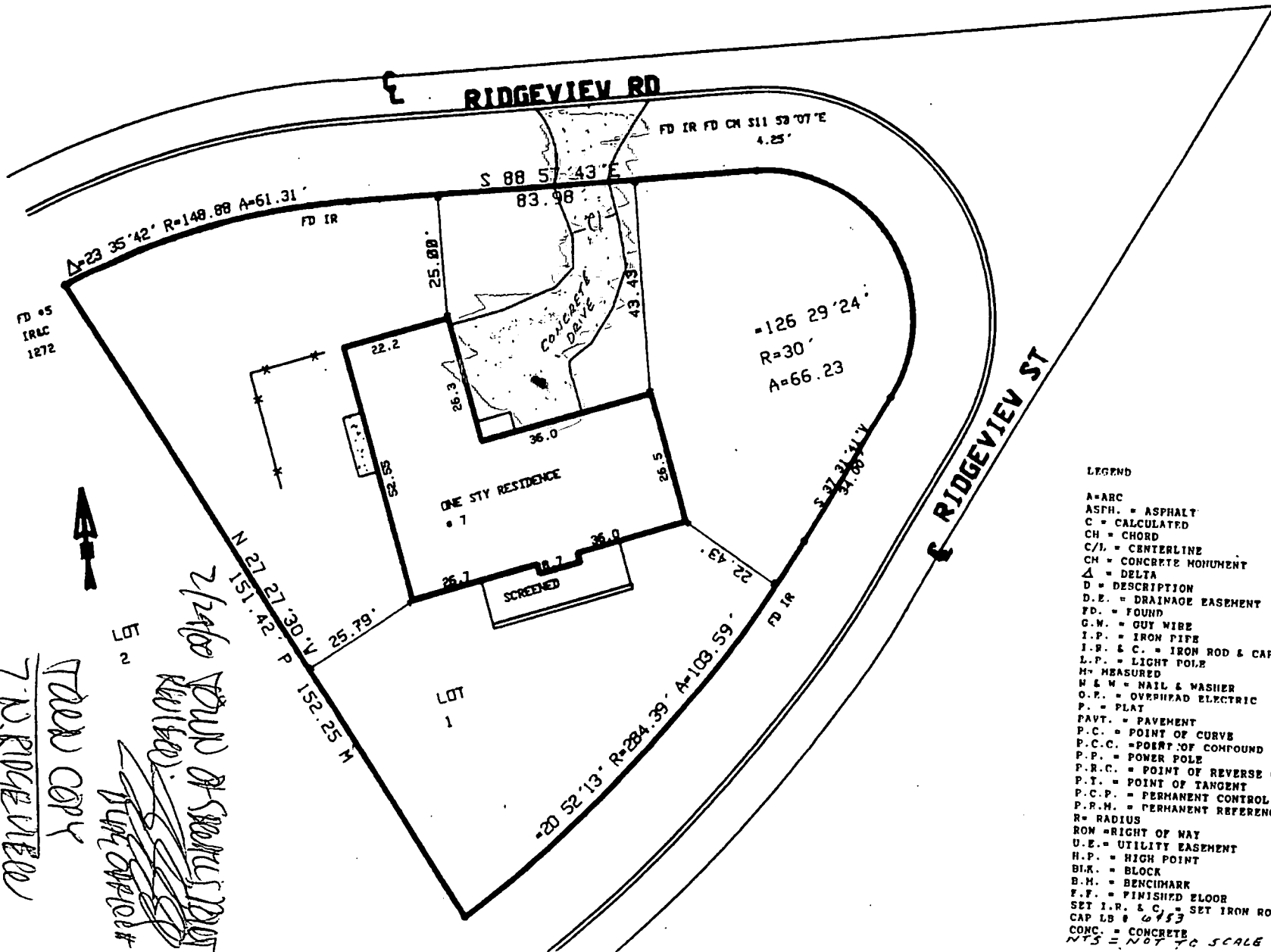
Date of Inspection: Mon Wed Fri 3-1-, 2000; Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
S ✓ 4802	Corell 17 So. Ridgeview (PACIFIC)	roof final	Passed BG.	
N ✓ 4828	Empora Corp 85 N.S.P. Rd. Duplicate	porch slab		
S ✓ 4848	THOMAS HALL 7 N. RIDGEVIEW RD.	RAVENS IN PROGRESS	Failed BG	NOT Completed 2/3 Done.
N ✓ 4759	PETER DAYTON 14 PALM CT (PACIFIC)	FINAL	Passed BG	
N ✓ 4717	ZARRO 124 N. SEWALLS PT. RD (Lore A.M) Lower Beam Bottom 10'	RAISED FOUNDATION, FLOOR PARTIAL	PARTIAL BG.	N. Slab + Grade Beam.
S ✓ 4810	J.A. TAYLOR ROOFING 48 S. SEWALLS PT. RD.	Decking Sheathing	Passed BG.	
S ✓ 4744	RAAB 22 SIMARA (O/B)	BULKHEAD CAP ADD. - FINAL (REINSP.)	Passed BG	

OTHER: _____

INSPECTOR (Name/Signature): _____

FLOOD ZONE A10 ELEV. = 8.0
 FIRM PANEL 120164 0002C
 DATED JUNE 16, 1992



- LEGEND
- A=ARC
 - ASPH. = ASPHALT
 - C = CALCULATED
 - CH = CHORD
 - C/L = CENTERLINE
 - CH = CONCRETE MONUMENT
 - Δ = DELTA
 - D = DESCRIPTION
 - D.E. = DRAINAGE EASEMENT
 - FD. = FOUND
 - G.W. = GUY WIRE
 - I.P. = IRON PIPE
 - I.R. & C. = IRON ROD & CAP
 - L.P. = LIGHT POLE
 - M = MEASURED
 - N & W = NAIL & WASHER
 - O.E. = OVERHEAD ELECTRIC
 - P. = PLAT
 - PAVT. = PAVEMENT
 - P.C. = POINT OF CURVE
 - P.C.C. = POINT OF COMPOUND CURVE
 - P.P. = POWER POLE
 - P.R.C. = POINT OF REVERSE CURVE
 - P.T. = POINT OF TANGENT
 - P.C.P. = PERMANENT CONTROL POINT
 - P.R.M. = PERMANENT REFERENCE MARKER
 - R = RADIUS
 - ROW = RIGHT OF WAY
 - U.E. = UTILITY EASEMENT
 - H.P. = HIGH POINT
 - B.L. = BLOCK
 - B.M. = BENCHMARK
 - F.F. = FINISHED FLOOR
 - SET I.R. & C. = SET IRON ROD & CAP LB # 6153
 - CONC. = CONCRETE
 - NTS = NOT TO SCALE

P104848

7/24/92 FOUND AT STREET FRONT
 Ruled.
 TRAIL COPY
 7 D. RIDGEVIEW
 151.42
 152.25
 1

9077
REROOF



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9077	DATE ISSUED:	DECEMBER 29, 2008
SCOPE OF WORK:	REROOF		
CONDITIONS:			
CONTRACTOR:	SEASIDE ROOFING		
PARCEL CONTROL NUMBER:	013841006004000106	SUBDIVISION	HOMWOOD, LOT 1, BL D
CONSTRUCTION ADDRESS:	7 N RIDGEVIEW RD		
OWNER NAME:	HIGGS		
QUALIFIER:	JOSEPH SNYDER	CONTACT PHONE NUMBER:	283-9599

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

RECEIVED
DATE: 12-24-08
TOWN OF SEWALL'S POINT

Town of Sewall's Point

Date: 12/22/08 BUILDING PERMIT APPLICATION Permit Number: _____

OWNER/TITLEHOLDER NAME: WILLIAM HIGGS Phone (Day) 305 820-8030 (Fax) 305 820-8070

Job Site Address: 7 N. Ridgeview Rd. City: Sewalls Point State: FL Zip: _____

Legal Desc. Property (Subd/Lot/Block) Homewood Lot 1A/D 0R343/1905 Parcel Number: D1-38-41-006-004-00010-6

Owner Address (if different): 4222 Buchanan St. City: Hollywood State: FL Zip: _____

Scope of work: Reroof from Shingles to 5V Crimp Metal

WILL OWNER BE THE CONTRACTOR?

If yes, Owner Builder questionnaire must accompany application
YES _____ NO

Has a Zoning Variance ever been granted on this property?
Yes _____ (Year) _____ No _____
(Must include a copy of all variance approvals with application)

CONSTRUCTION VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 10,575.00
Notice of Commencement required when over \$2500 - prior to first inspection
Is subject property located in flood hazard area? V _____ A9 _____ A8 _____ X _____
FOR ADDITIONS AND REMODELS IN FLOOD HAZARD AREAS ONLY:
Estimated Fair Market Value prior to improvement: _____
(Fair Market Value of the Primary Structure only, Minus the land value)
*** PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION ***

CONTRACTOR/Company: Seaside Roofing, INC. Phone: 283-9599 Fax: 283-9421

Street: 11646 SW Meadowlark Cir City: Stuart State: FL Zip: 34997

State Registration Number: 0067328 State Certification Number: _____ Municipal License Number: _____

PROJECT SUPERINTENDANT: Steve Frederick CONTACT NUMBER: 772-285-8612

ARCHITECT N/A Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER N/A Lic# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQ. FOOTAGE: Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carpport: _____ Total Under Roof 3000 Wood Decks/walkways: _____ Accessory Building: _____

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004 (W/2006 Rev.)
National Electrical Code: 2005 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

NOTICES TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1 - .5.

*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AUTHORIZED AGENT SIGNATURE (required)
William Higgs

State of Florida, County of: Dade

This the 22 day of December

by William Higgs

known to me or produced _____

as identification. *Carol Ann Webb*
Notary Public

My Commission Expires: April 9, 2011

CONTRACTOR SIGNATURE (required)
Joseph W. Snyder

On State of Florida, County of: Martin

This the 29th day of Dec

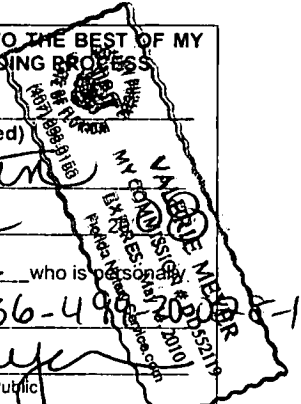
by Joseph W. Snyder who is personally

known to me or produced FLD# 5536-4000

as identification. *Valerie Meyer*
Notary Public

My Commission Expires: _____

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITH 10 DAYS OF APPROVAL NOTIFICATION PER FBC 105.3.4 ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED PER FBC 105.3.2 - PLEASE PICK UP YOUR PERMIT PROMPTLY!





Martin County, Florida

Laurel Kelly, C.F.A

Site Provided by...
governmentmax.com T1.11

Summary

print Owner 3 of 3

Parcel Info

Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	SerialIndex ID Order	Commercial	Residential
01-38-41-006-004-00010-6	7 N RIDGEVIEW RD	17664Owner	0	1

Summary

Property Location 7 N RIDGEVIEW RD
Tax District 2200 Sewall's Point
Account # 17664
Land Use 101 0100 Single Family
Neighborhood 120400
Acres 0.353

Legal Description
Property Information
 HOMEWOOD, LOT 1 BLK D OR 343/1905

Search By

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

Owner Information
Owner Information
 HIGGS, WILLIAM & LINDA

Mail Information
 4222 BUCHANAN ST
 HOLLYWOOD FL 33021-5915

Assessment Info
Front Ft. 0.00

Market Land Value \$204,250
Market Impr Value \$95,780
Market Total Value \$300,030

Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Recent Sale
Sale Amount \$330,000

Sale Date 8/19/2003
Book/Page 1805 0324

Print | Back to List | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 12/22/2008



NOTICE OF COMMENCEMENT
 TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: _____ TAX FOLIO #: 01-38-41-006-004-00010-6

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):
7 N. Ridge View Rd Homewood, LOT 1 BLKD OR 343/1905

GENERAL DESCRIPTION OF IMPROVEMENT: Reveal

OWNER NAME: William & Linda Higgs
 ADDRESS: 4722 Buchanan St. Hollywood FL 33021-5915
 PHONE NUMBER: _____ FAX NUMBER: _____

INTEREST IN PROPERTY: OWNER
 NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

CONTRACTOR: Seaside Roofing Inc
 ADDRESS: 11646 SW Broadmeadow Cir Stuart, FL 34997
 PHONE NUMBER: 888-9599 FAX NUMBER: 888-9421

SURETY COMPANY (IF ANY): N/A
 ADDRESS: _____ THIS IS TO CERTIFY THAT THE
 PHONE NUMBER: _____ FAX NUMBER: _____ PAGES IS A TRUE
 BOND AMOUNT: _____ AND CORRECT COPY OF THE ORIGINAL.

LENDER/MORTGAGE COMPANY: N/A
 ADDRESS: _____ MARSHA EWING, CLERK
 PHONE NUMBER: _____ FAX NUMBER: _____ DATE: 12/24/08

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME: _____
 ADDRESS: _____
 PHONE NUMBER: _____ FAX NUMBER: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES Seaside Roofing, Inc. OF CANV TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:
 PHONE NUMBER: _____ FAX NUMBER: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
 (EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

William Higgs
 SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

SIGNATORY'S TITLE/OFFICE: Owner

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 22 DAY OF Dec., 2008

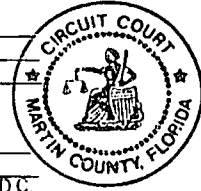
BY: William Higgs AS Owner FOR _____
 NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION _____

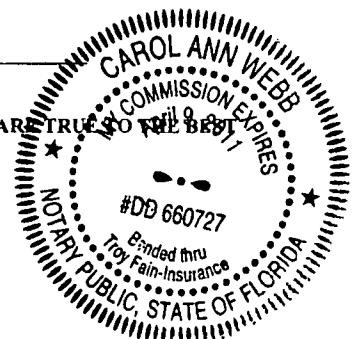
TYPE OF IDENTIFICATION PRODUCED _____
Carol Ann Webb
 NOTARY SIGNATURE/ SEAL

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

William Higgs
 (Signature of Natural Person Signing Above)



INST # 2122102
 OR BK 02365 PG 1807
 Pg 1807 (1pg)
 RECORDED 12/24/2008 08:55:03 AM
 MARSHA EWING
 CLERK OF MARTIN COUNTY FLORIDA
 RECORDED BY C Hunter



LICENSED CONTRACTORS' REROOF WINDSTORM LOSS
MITIGATION COMPLIANCE AFFIDAVIT

TO BE COMPLETED ONLY IF INSURED VALUE OF SINGLE FAMILY IS OVER \$300,000
AND WAS PERMITTED PRIOR TO MARCH 1, 2002.

YEAR PERMITTED _____ INSURED OR PA IMPROVED VALUE \$ _____

DESCRIPTION OF WORK: _____

JOB SITE ADDRESS: _____

QUALIFIER NAME: _____ LICENSE NO.: _____

COMPANY NAME: _____ PHONE NO.: _____

Residential Structure valued at \$300,000 or more shall comply with the following:

- Roof to wall connections must be enhanced up to 15% additional cost of the reroofing cost. 204,250 LAND
95,780 House
- A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
 1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
 2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
 - a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
 - b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
 - c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.

Qualifier's Signature

Date: _____

Sworn to and subscribed before me
this _____ day of _____ 20____

By _____

Notary Public, State of Florida

Personally known to me _____
Produced ID _____
Type: _____

Owner's Signature

Date: _____

Sworn to and subscribed before me
this _____ day of _____ 20____

By _____

Notary Public, State of Florida

Personally known to me _____
Produced ID _____
Type: _____

**RESIDENTIAL REROOF WINDSTORM LOSS
MITIGATION CERTIFICATION
(FLORIDA STATUTE 553.844)**

The following information is to be provided by roofing contractor or owner/builder on all re-roof applications for the purpose of obtaining compliance with recent changes to State Statute and referenced "Hurricane Mitigation Manual". Effective date: October 1, 2007.

Note: These requirements apply to residential structures built prior to implementation of the FBC on March 1, 2002.

- Value: show proof of insured value of residential structure or a copy of the ad-valorem tax value.
- Provide copy of contract

All re-roofs regardless of value shall comply with the following:

Re-nailing: All sheathing and decking shall be re-nailed per section 201.1 and a secondary water barrier installed.

- Existing fasteners that are 8d clipped head, round head or ring shank and spaced 6 in. or less o.c. may be counted. Additional fasteners shall be 8d ring shank nails with round heads spaced at 6 in. o.c. along framing.
- Indicate below which method is to be used to satisfy the secondary water barrier requirements:

_____ ✓ All joints in roof sheathing shall be covered with a minimum of 4 in. strip of self-adhering polymer modified bitumen tape. Wood deck and self-adhering tape shall be covered by one layer of approved underlayment.

_____ Entire roof deck shall be covered with an approved self-adhering polymer modified bitumen cap sheet. No additional underlayment is required.

_____ Exception: An approved 30# underlayment installed per HVHZ using nails and tin-tags and covered with an approved self-adhering polymer modified bitumen cap sheet or an approved cap sheet hot-moped shall be deemed to meet the requirements for secondary water barrier.

Residential Structures valued at \$300,000 or more shall comply with the following:

- Roof to wall connections must be enhanced up to 15% additional cost of the re-roofing cost.
- A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
 1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
 2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
 - a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
 - b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
 - c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.

RE-ROOF CERTIFICATION

PERMIT # _____

CONTRACTOR'S NAME: Seaside Roofing PHONE #: 72-283-9579 FAX: 283-9921

OWNER'S NAME: William Higgins

CONSTRUCTION ADDRESS: 7 W. Ridgewood Rd. CITY Sewall's Point STATE FL

RE-ROOF: RESIDENTIAL(SINGLE FAMILY)

COMMERCIAL

**...DISCONNECT/RECONNECT HVAC ELECTRIC YES NO

** REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

ROOF TYPE: HIP BOSTON-HIP GABLE FLAT OTHER

ROOF PITCH: 4 /12 SLOPE

ROOF DECK: * SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED

RE-SHEATH - (REMOVAL OF SPACED SHEATHING/PLYWOOD FOR APPLICATION OF NEW PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD AS PER FLORIDA BUILDING CODE "2004".

SPACED SHEATH FILL-IN - SPACES BETWEEN EXISTING SPACED-SHEATHING BOARD MAY BE FILLED-IN WITH BOARDS OF THE SAME SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2004".

EXISTING DECK TO REMAIN/REPAIRED

EXISTING ROOF COVERING: Shingles EXISTING COVERING TO BE REMOVED? YES NO

PROPOSED NEW ROOF COVERING: 5v crimp Mill Finish

MANUFACTURER Union PRODUCT NAME 5v crimp PRODUCT APPR # 06-1002-13

(APPROVED ROOF COVERING MATERIAL WITH CURRENT FLORIDA PRODUCT APPROVAL)
MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION.

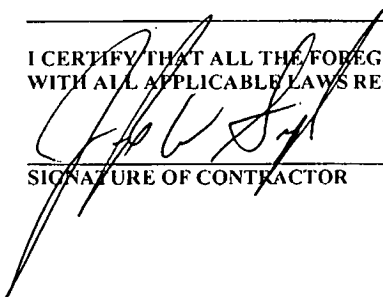
ALL CONCRETE OR CLAY TILE RE-ROOF PERMITS REQUIRE AN IN PROGRESS TILE INSTALLATION INSPECTION

PROPOSED FLASHING: GALV/STEEL ALUMINUM COPPER OTHER Acrylonitrile Mill Finish
26 ga.

RIDGEVENT TO BE INSTALLED: YES NO


DESCRIPTION OF WORK: _____

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.



DATE: 12-19-08

SIGNATURE OF CONTRACTOR

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE 12-29-08

BUILDING OFFICIAL

ROOFING MATERIAL LIST

NO	MATERIAL	QUANTITY	UNIT	REMARKS
0	GAF Timberline 30 shingles	25	SQ	EXAMPLE
	ASTM 30# Felt	16 rolls	32 Sq.	
	Union 5v crimp.	30	Sq	
	Peel N Stick	18	Rolls.	
	8d Ring Shank Glu	2 Boxes		

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Union Corrugating Company
P.O. Box 229
Fayetteville, NC 28302

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: 5V Metal Roof Panel

LABELING: Each panel shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises and renews NOA # 05-0919.07 and consists of pages 1 through 7.
The submitted documentation was reviewed by Alex Tigera.



TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

NOA No.: 06-1002.13
Expiration Date: 05/17/12
Approval Date: 06/14/07
Page 1 of 7

ROOFING ASSEMBLY APPROVAL:

Category: Roofing
Sub-Category: Non-Structural Metal Roofing
Material: Steel
Deck Type: Wood
Maximum Design Pressure -120.9 psf (See General Limitation #1)
Fire Classification Pressure See General Limitation #2

TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
5V Metal Roof Panel	Length: varies Width: 26" (Coverage width : 24") Height: 1/2" Min. Thickness 0.019"	TAS 125	Metal Roof panel coated with various approved coatings of Ceram-A-Star® 900.

TRADE NAMES OF PRODUCTS MANUFACTURED BY OTHERS:

<u>Product</u>	<u>Dimensions</u>	<u>Product Description</u>	<u>Manufacturer</u>
Fasteners (Panel)	#9	Corrosion resistant, sharp point hex-head screws with neoprene sealing washer.	Generic (with current NOA)

EVIDENCE SUBMITTED:

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Farrabaugh Engineering and Testing, Inc.	T164-06	TAS-125	06/08/06
Akzo Nobel Coatings, Inc.	Lab Test Certification	ASTM B-117 ASTM G-23	
PRI Asphalt Technologies, Inc.	HTL-001-01-01	PA 100	02/18/02
Hurricane Test Laboratory, Inc.	0293-0202-06	TAS 125	06/05/06
Hurricane Test Laboratory, Inc.	0293-0609-05	TAS 125	06/22/05



NOA No.: 06-1002.13
 Expiration Date: 05/17/12
 Approval Date: 06/14/07
 Page 2 of 7

SYSTEM DESCRIPTION

SYSTEM A-1S: "5V" 26 Ga. Metal Panel
Deck Type: Wood, Non-insulated
Deck Description: 19/32" or greater plywood or wood plank.
Slope Range: 2": 12" or greater
Maximum Uplift Pressure: See Table A Below. (See General Limitation #1)

Deck Attachment: In accordance with applicable Building Code, but in no case shall it be less than #8 x 2" wood screws spaced 6" o.c around the perimeter and 12" o.c. in the field.. In reroofing, where the deck is less than 19/32" thick (Minimum 15/32") The above attachment method must be in addition to existing attachment.

Underlayment: Minimum underlayment shall be a ASTM D 226 Type II installed with a minimum 4" side-laps and 6" end-laps. Underlayment shall be fastened with corrosion resistant tin-caps and 1 1/4" annular ring-shank nails, spaced 6" o.c. at all laps and two staggered-rows 12" o.c. in the field of the roll.

Valleys: Valley construction shall be in compliance with Roofing Application Standard RAS 133 and with Union Corrugating Company's current published installation instructions.

Fire Barrier Board: For class A or B fire rating, install minimum 1/4" thick Georgia Pacific "Dens Deck" (with current NOA) or minimum 4mm thick of Tritex, RockRoof (with current NOA) or 5/8" water resistant type X gypsum sheathing with treated core and facer, or Elk Versashield (with current NOA).

Metal Panels and Accessories: Install the "5V Steel Roofing Panel" and accessories in compliance with Union Corrugating Company's current published installation instructions and details. Flashing, penetrations, valley construction and other details shall be constructed in compliance with the minimum requirements provided in Roofing Application Standards RAS 133.

5V Roofing Panels shall be fastened with a minimum of #9 Hex Head Wood corrosion resistant fasteners with sealing washer. Fasteners shall of sufficient length to penetrate through the sheathing a minimum of 3/16". Fasteners shall be place in accordance with fastener detail herein as follows:

1. All fasteners are to be located on top of the ribs as shown in **Detail A** herein.
2. All fasteners at center rib, underlap rib, and overlap rib shall be spaced at a maximum distance listed in **Table A** below parallel to the roof slope. See **Detail A** herein.

TABLE A MAXIMUM DESIGN PRESSURES		
Roof Areas	Field	Perimeter and Corner ¹
Maximum Design Pressures	-91.875 psf	-113.1 psf
Maximum Fastener Spacing	24" o.c.	12" o.c.

1. Extrapolation shall not be allowed



NOA No.: 06-1002.13
 Expiration Date: 05/17/12
 Approval Date: 06/14/07
 Page 3 of 7

SYSTEM A-2S: "5V" 26 Ga. Metal Panel

Deck Type: Wood, Non-insulated

Deck Description: ¹⁹/₃₂" or greater plywood or wood plank.

Slope Range: 2": 12" or greater

Maximum Uplift Pressure: The maximum allowable design pressure for the 24" wide panel shall be **-120.9 psf. (See General Limitation #1)**

Deck Attachment: In accordance with applicable Building Code, but in no case shall it be less than #8 x 2" wood screws spaced 6" o.c around the perimeter and 12" o.c. in the field.. In reroofing, where the deck is less than ¹⁹/₃₂" thick (Minimum ¹⁵/₃₂"") The above attachment method must be in addition to existing attachment.

Underlayment: Minimum underlayment shall be a ASTM D 226 Type II installed with a minimum 4" side-laps and 6" end-laps. Underlayment shall be fastened with corrosion resistant tin-caps and 1/4" annular ring-shank nails, spaced 6" o.c. at all laps and two staggered rows 12" o.c. in the field of the roll.

Valleys: Valley construction shall be in compliance with Roofing Application Standard RAS 133 and with Union Corrugating Company's current published installation instructions.

Fire Barrier Board: For class A or B fire rating, install minimum 1/4" thick Georgia Pacific "Dens Deck" (with current NOA) or minimum 4mm thick of Tritex, RockRoof (with current NOA) or 5/8" water resistant type X gypsum sheathing with treated core and facer or Elk Versashield (with current NOA).

Metal Panels and Accessories: Install the "5V Steel Roofing Panel" and accessories in compliance with Union Corrugating Company's current published installation instructions and details. Flashing, penetrations, valley construction and other details shall be constructed in compliance with the minimum requirements provided in Roofing Application Standards RAS 133.

5V Roofing Panels shall be fastened with a minimum of #9 Hex Head Wood corrosion resistant fasteners with sealing washer. Fasteners shall of sufficient length to penetrate through the sheathing a minimum of ³/₁₆". Fasteners shall be place in accordance with fastener detail herein as follows:

3. Panel side ribs shall be fastened along side of the panel inside ribs, one fastener at the overlap and one fastener at the underlap. Center panel rib shall be fastened with one fastener at the overlap side of the panel.
4. All fasteners at center rib, underlap rib, and overlap rib shall be spaced at a maximum of 24 inches o.c. parallel to the roof slope. See **Detail B** herein.

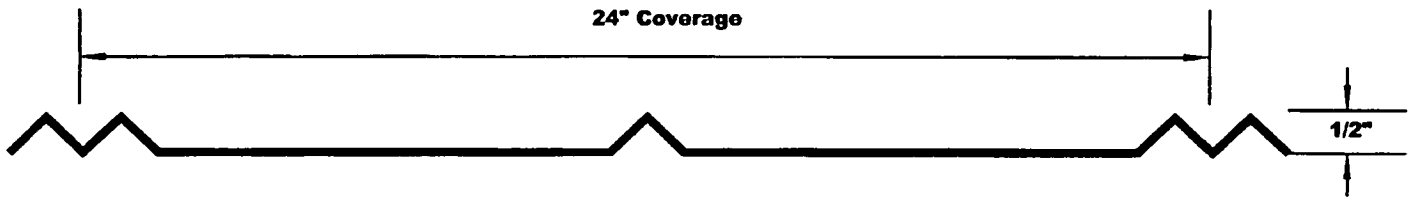


GENERAL LIMITATIONS:

1. The maximum designed pressure listed herein shall be applicable to all roof pressure zones (i.e. field, perimeters, and corners). Neither rational analysis, nor extrapolation shall be permitted for enhanced fastening at enhanced pressure zones (i.e. perimeters, extended corners and corners).
2. Fire classification is not part of this acceptance; refer to a current Approved Roofing Materials Directory for fire ratings of this product.
3. All panels shall be permanently labeled with the manufacturer's name or logo, city, state and the following statement: "Miami Dade County Product Control Approved".

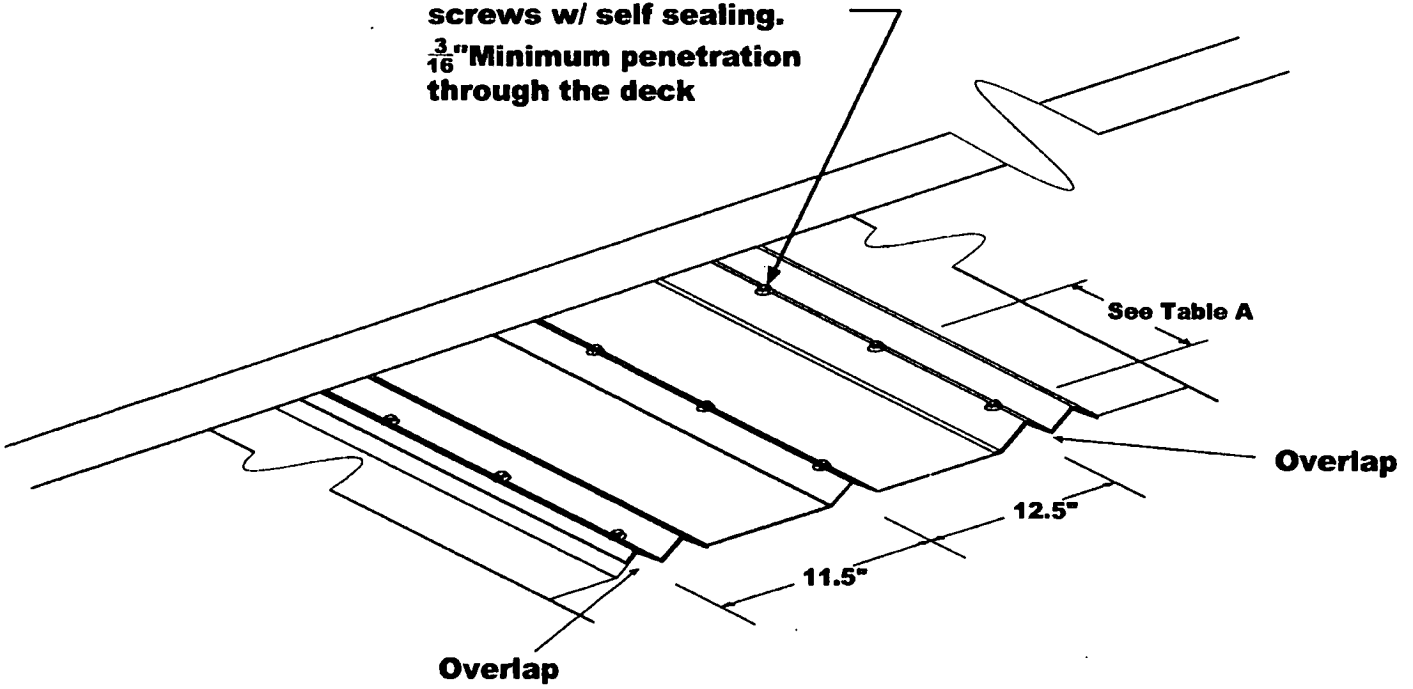


DETAIL DRAWINGS



DETAIL A

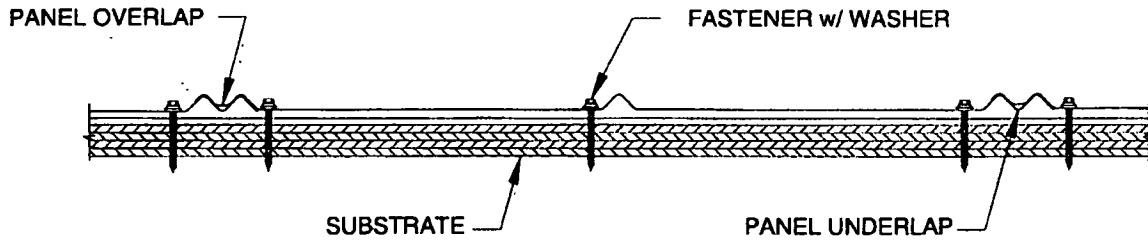
Minimum #9HH self tapping screws w/ self sealing.
 $\frac{3}{16}$ " Minimum penetration through the deck



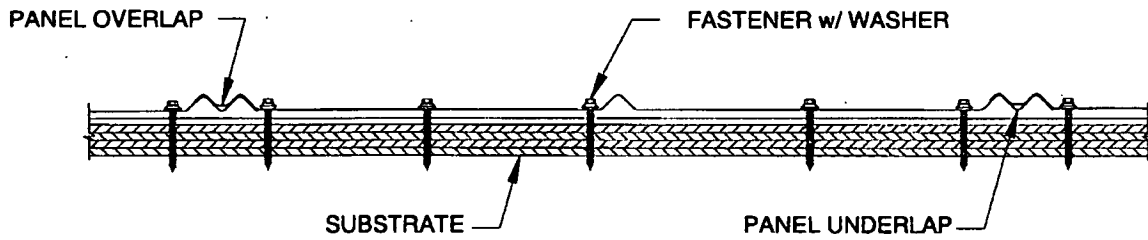
5V Panel



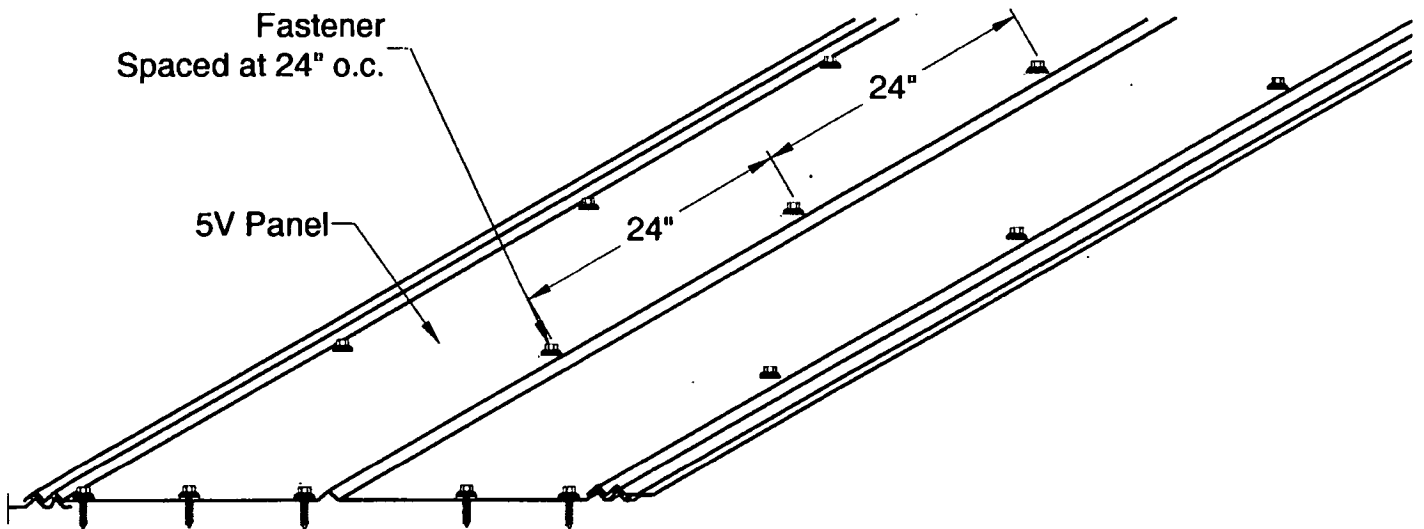
DETAIL B



FASTENER PATTERN IN THE FIELD OF PANEL



FASTENER PATTERN AT THE EAVE & RIDGE OF PANEL



END OF THIS ACCEPTANCE



NOA No.: 06-1002.13
Expiration Date: 05/17/12
Approval Date: 06/14/07
Page 7 of 7

Seaside Roofing, Inc.



11646 S.W. Meadowlark Cir. ♦ Stuart, FL 34997
Phone (772) 283-9599 ♦ Fax (772) 283-9421 ♦ License RC-0067328

January 6, 2009

Town of Sewall's Point Building Department
One S. Sewall's Point Road
Sewall's Point, Fl 34996



Re: Inspection at: Higgs Residence
7 North Ridgeview Rd.
Sewall's Point, Fl 34996

Permit #: 9077 *FILE*

Building Inspector,

The plywood sheathing on this residence has been attached according to the county table 2306.1.

All work was done pursuant to the 2004 Florida Building Code with the 2006 supplements as amended by Palm Beach County.

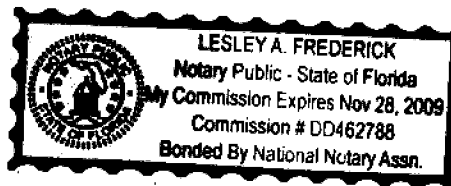
I am the qualifier and I personally observed the work.

Thank You,

Joseph W. Snyder

Sworn and subscribed before me this 6th day of January 2009 by JOSEPH W. SNYDER
Personally known
or Produced ID _____
Type of ID _____

Notary signature





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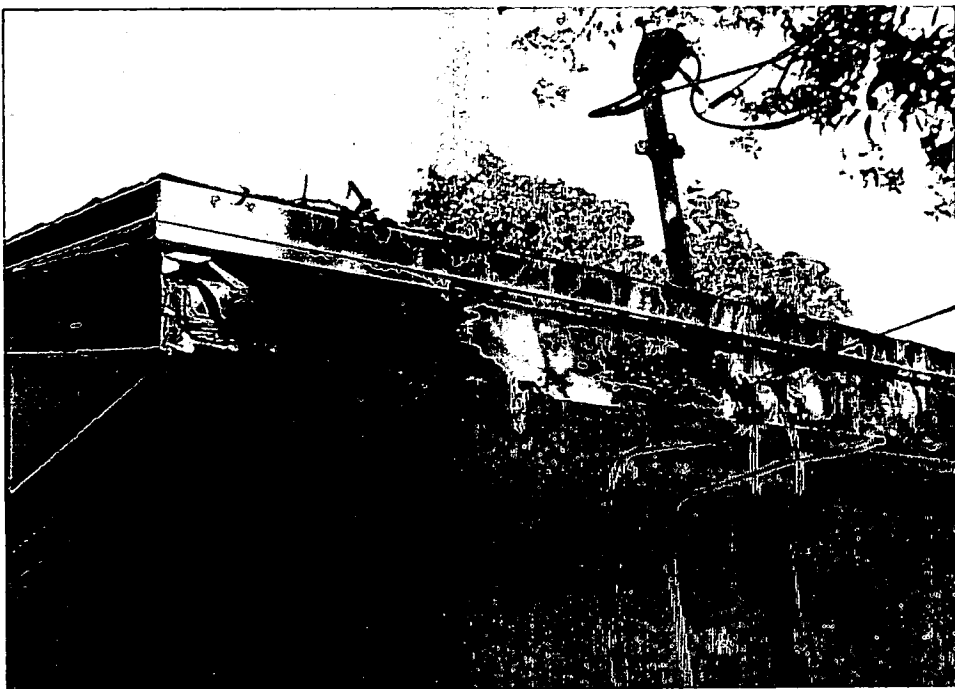
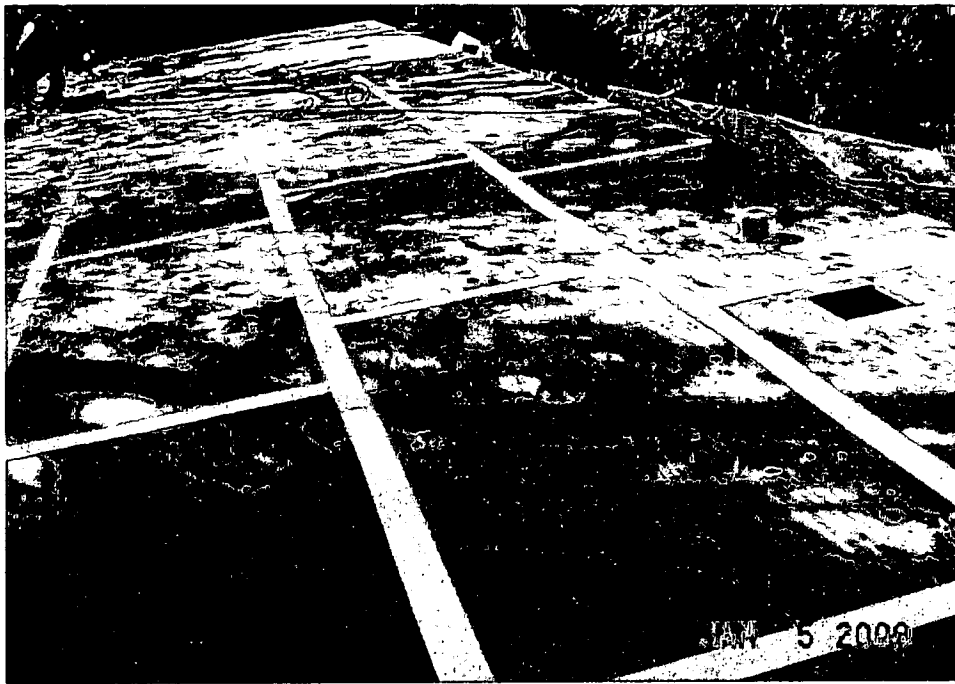
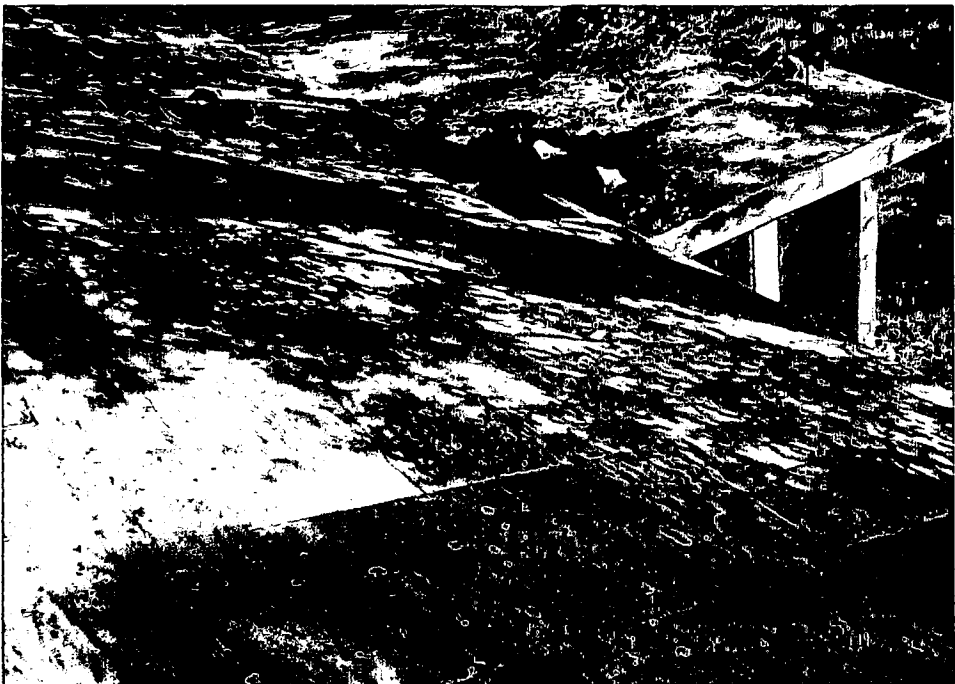
Move to folder:
INBOX



Message: 6 of 1037 < Previ

Check Mail | Compose | Folders | Mailboxes | E-mail Help
Sign Out | E-mail | Address Book | Calendar | E-mail Options

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TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

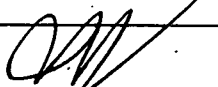


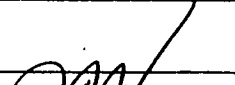
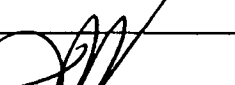
Date of Inspection: Mon Tue Wed Thur Fri 1-7 2009 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
CE	11675 Sewalls Pt	work w/o permit?	—	NO ACCESS
				INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9063	Allman	preinspect fasteners		CLOSE
2	45 Rio Vista OB	BUCK THRESHOLD	PASS	
				INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9028	Henner	columns	PASS	BAR. ONLY.
1	4 Morgan Cir Gribben Const			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9017	Higgs	dry in / metal	PASS	
3	7 N Ridgeway Seaside Roofing			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9056	Conroy	Final	PASS	RECEIVED MANU.
	126 S Sewalls Krauss + Crane		CLOSE	LETTER
				INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9059	Luger	Final	PASS	CLOSE
11AM	9 Reverview Dr Krauss + Crane			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
B948	VanFossen	Final	PASS	CLOSE
	158 S River Rd Adventure Pool			INSPECTOR <i>[Signature]</i>

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection: Mon Tue Wed Thur Fri 1-9 2009 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9032	Hooker	Final	FAIL	
2	6 Morgan Cir Wilco	Dock		INSPECTOR 
9068	Taylor	Footer	FAIL	
1	22 E High Pt Seagate			INSPECTOR 
8867	Geller	Final	FAIL	
3	10 Palmetto Ken Wensell			INSPECTOR 
9046	Smith	Final	PASS	CLOSE
4	19 Banyan Rd Pools by Greg			INSPECTOR 
9077	Higgs	Final	PASS	CLOSE
3A	7 N Ridgeway Seaside Roof			INSPECTOR 
				INSPECTOR
				INSPECTOR

CORRESPONDENCE

7/14/03 MTG W/ DENIKA DOVAK
- G.S. / E.B.A.

- ADMIN. VARIANCE PKG. REV'D.
- SHE WILL ATTEMPT TO COMPLETE FOR TOMORROW AIF DUNE QUOTE WILL TRY TO GET HRG AS AGENDA AND-ON (NEXT MTG. - SEPTEMBER)

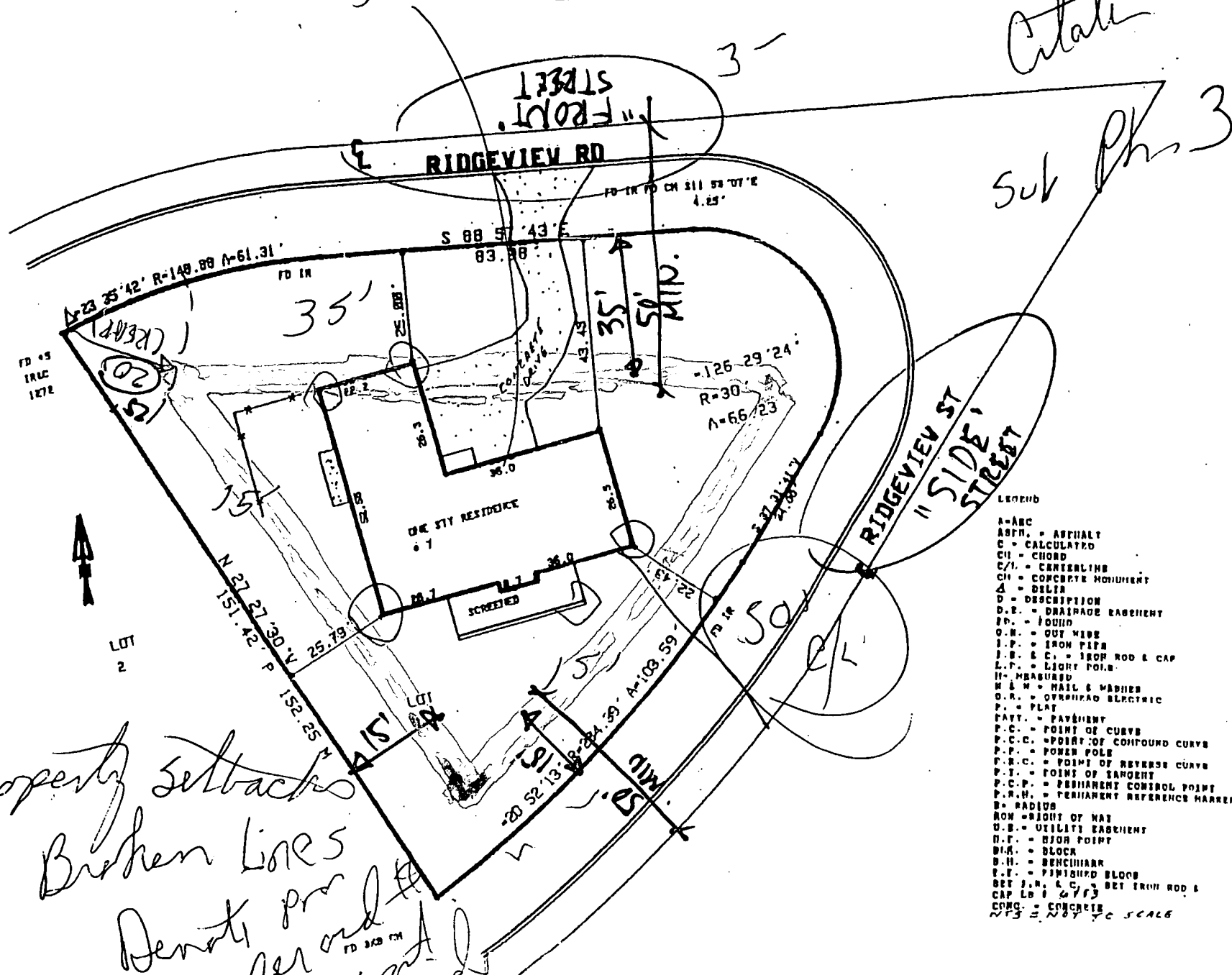
REQUIRED SETBACKS PER ORD 65 SECTION 17 RESIDENTIAL DISTRICTS

- F. YARDS REG'D.
1. FRONT = 35'
 2. SIDE = 15'
 3. REAR = 25'

NOTE: CORNER LOT FRONT YARD EITHER STREET W/SIDE & REAR ESTABLISHED ACCORDINGLY IN ADDN. TO SETBACK COMPLIANCE, ON CORNER LOT NO BLDG OR STRUCTURE LESS THAN 50' FROM E. OF EITHER STREET R/W.

FLOOD ZONE A10 ELEV. = 8.0
FIRM PANEL 120164 0002C
DATED JUNE 16, 1992

And Not less than
50' c/c them
F1 - Front 35



- LEGEND
- A-ABC
 - ASPH. = ASPHALT
 - C = CALCULATED
 - CH = CHORD
 - C/L = CENTERLINE
 - CH = CONCRETE MONUMENT
 - Δ = DELTA
 - D = DESCRIPTION
 - D.E. = DRAINAGE EASEMENT
 - FD. = FLOOD
 - G.M. = GUY WIRE
 - I.P. = IRON PIPE
 - J.B. & C. = IRON ROD & CAP
 - L.P. = LIGHT POLE
 - M = MEASURED
 - M & M = MAIL & MESSAGES
 - O.R. = OVERHEAD ELECTRIC
 - P. = PLAT
 - PAVT. = PAVEMENT
 - P.C. = POINT OF CURVE
 - P.C.C. = POINT OF COMPOUND CURVE
 - P.P. = POWER POLE
 - P.R.C. = POINT OF REVERSE CURVE
 - P.T. = POINT OF TANGENT
 - P.C.P. = PERMANENT CONTROL POINT
 - P.R.H. = PERMANENT REFERENCE MARKER
 - R = RADIUS
 - ROM = RIGHT OF WAY
 - U.B. = UTILITY EASEMENT
 - H.P. = HIGH POINT
 - BLK. = BLOCK
 - B.H. = BENCHMARK
 - E.F. = FINISHED FLOOR
 - SET J.B. & C. = SET IRON ROD & CAP LD 1 & 2
 - CONG. = CONCRETE
 - N.T.S. = NOT TO SCALE

Property setbacks
Broken lines
Denote per
per Ord 65
Front
Side

Sub Ph 3

Cutline

NOTES:
1) REPRODUCTIONS OF THIS SKETCH ARE NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.

TOWN OF SEWALL'S POINT, FLORIDA

Date 9/12 ~~2003~~ TREE REMOVAL PERMIT No 2091

APPLIED FOR BY HIGGS (Contractor or Owner)

Owner 7 N. RIDGEVIEW ROAD

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 2 + BRUSH - SEE ATTACHED

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

Signed, _____ Applicant Signed Gene Summers FEE \$ 0
Town Clerk
Building Official

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Large empty rectangular box for notes or drawings]

PROJECT DESCRIPTION _____

[Lined area for project description]

REMARKS _____

[Lined area for remarks]

9/9/03

To Whom It May Concern:

This note is to support the permit application for tree/brush removal at the residence of Bill & Linda Higgs, 7 North Ridgeview Road, Sewall's Point.

We are not sure if our plans constitute a tree permit as we are removing brush/bushes, but we wanted to be sure. We are planning to remove all the brush growing along the road (South Ridgeview Road) at the rear of our home. We plan on sodding and re-planting palms, etc., in that same area. Some small plants (palmetto, heliconia, etc.,) currently in the area will be transplanted to other areas of the property. We will not touch any of the oaks or palms present, only enhance them. We have already removed a truck load of wild vines that were strangling the oaks and palms, cutting off their growth.

As this project is completed, we will be applying for a fence permit in this same general area.

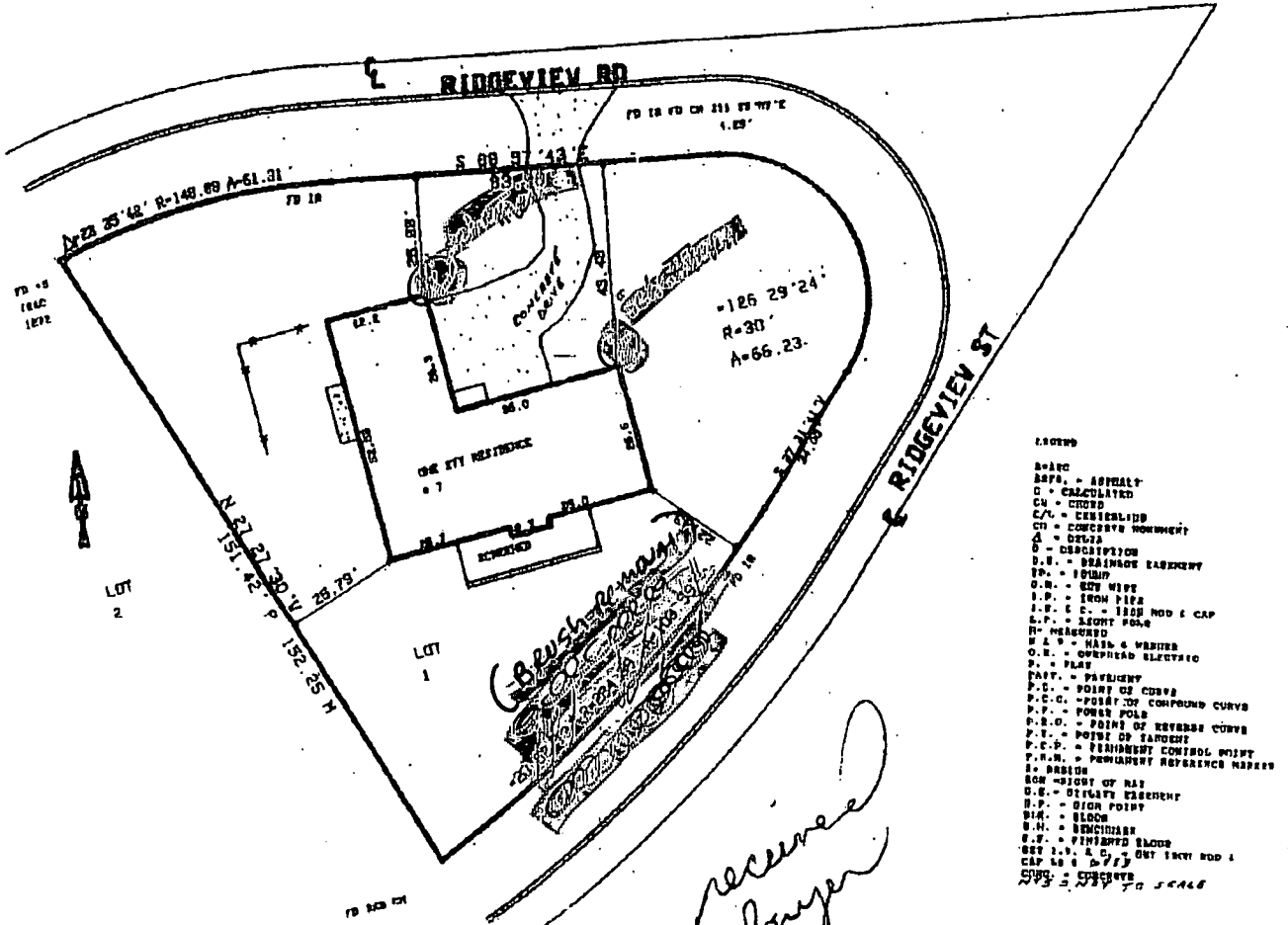
At the front corners of the property we have (2) schefflera growing. We would like to **remove** them, as one is on top of our septic tank. We will replant with small palm trees.

Thank you for your assistance. You may reach me in my office at: 305 820-8030.

Regards,


Bill Higgs

FLOOD ZONE A10 ELEV. = 8.0
FIRM PANEL 120164 0002C
DATED JUNE 16, 1992



Copy received by buyer

[Handwritten signatures and initials]

Bill Higgs - owner
954 989 8847 home
305 820-8030 office

- NOTES:**
- 1) REPRODUCTIONS OF THIS SKETCH ARE NOT VALID UNLESS SEALED WITH AN ENHROSSED SURVEYOR'S SEAL.
 - 2) LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR RIGHTS-OF-WAY, EASEMENTS OF RECORD, OWNERSHIP, MURPHY ACT DEEDS, OR ADJOINING DEEDS.
 - 3) LAND DESCRIBED SHOWN HEREON WAS PROVIDED BY THE CLIENT OR HIS/HERS AGENT.
 - 4) NO ATTEMPT WAS MADE BY THIS OFFICE TO LOCATE SURFACE IMPROVEMENTS OR ENCROACHMENTS OTHER THAN THOSE SHOWN HEREON.
 - 5) UNDERGROUND UTILITIES NOT LOCATED.
 - 6) DATE OF READINGS IS THE CENTERLINE OF N. RIDGEVIEW ROAD AS SHOWN ON THE PLAT OF AMENDED PLAT OF HOMEWOOD, RECORDED IN PLATBOOK 3, PAGE 35, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

DESCRIPTION

LOT 1, BLOCK "D", OF AMENDED PLAT OF HOMEWOOD, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLATBOOK 3, PAGE 35, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

SAID LANDS SITUATE IN MARTIN COUNTY, FLORIDA.

STREET ADDRESS: 7 N. RIDGEVIEW ROAD

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED UNDER MY DIRECTION. I FURTHER CERTIFY THAT THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS UNDER RULE 21-109-6 FLORIDA ADMINISTRATIVE CODE PURSUANT TO CHAPTER 472.027 FLORIDA STATUTES.

NOT VALID UNLESS SEALED WITH AN ENHROSSED SURVEYOR'S SEAL.

CERTIFIED TO:

BARNETT BANK OF MARTIN COUNTY, N.A.
STEWART TITLE OF MARTIN COUNTY
THOMAS L. HALL, III
CLARE M. HALL

DATED 7/6/99

[Signature]
GERALD W. HANSKY

PROFESSIONAL REGISTRATION NO. 4464

BOUNDARY SURVEY W/INTERIOR IMPROVEMENTS PREPARED FOR: BARNETT BANK

W.N. G.W.T.
CKED. G.W.T.
E. 7-6-91
E. 7-9-90
99-376
ET / DE /

TREASURE COAST LAND SURVEYORS
PROFESSIONAL LAND SURVEYORS
PHONE # 3250 CANDICE AVE. BOX 113
334-2883 JENSEN BEACH, FLORIDA 34957

REVISIONS	BY	DATE

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9/12, 2003 Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
Tree	7 N. RIDGEVIEW RD	TREE	PASS	NO FEE
	7 N. RIDGEVIEW RD			
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
OTHER:				