

# **3 S Ridgeview Road**

**1347**

**SFR**

1347

Permit No. \_\_\_\_\_

Date May 14/1981

APPLICATION FOR A PERMIT TO BUILD A HOUSE OR COMMERCIAL BUILDING

This application must be accompanied by three sets of complete plans, to scale, (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections; plumbing, electrical and air-conditioning layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house or commercial building construction.

Owner Royal Stuart Inc. Present address 30 RIO VISTA

Phone 86 0594 DRIVE SEWALLS PT.

General contractor Bill King Builders Inc. Address 3733 SE MATANZAS ST.

Phone 283 4917 STUART FLA. 33494

Where licensed STATE FLA. License No. CR 0015322

Plumbing contractor DAVES PLUMBING License No. 00030

Electrical contractor KRANS & KRANE License No. 29

Air-conditioning contractor Commercial Cooling License No. 368

Describe the building, or alteration to existing building Construction of  
new 2 BEDROOM 3 BATH RESIDENCE

Name the street on which the building, its front building line and its front yard will face RIGE VIEW ROAD.

Subdivision HOMEWOOD Lot No. # 3 PARCE # 2 Area \_\_\_\_\_

Building area, inside walls (excluding garage, carport, porches, pools, etc.)...square feet 2,122

Contract price (excluding land, carpeting, appliances, landscaping, etc.) \$ 72,500

Cost of permit \$ 401.00 Plans approved as submitted  or, as marked

I understand that this permit is good for 12 months from the date of its issue and that the building for which this permit is issued must be completed within that time and in accordance with the approved plans. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. I agree that the building site will be clean and rough-graded before a Certificate of Occupancy is sought, and, moreover, that I shall be responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply with the above requirements may result in a Building Inspector or a Town Commissioner "Red-tagging" the building project.

Contractor William P. King Jr.

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood, as required by the Town's zoning ordinance.

Owner H.R. Kummerow

Note: Special election builders will be required to sign both of the above statements.

TOWN RECORD Date submitted \_\_\_\_\_

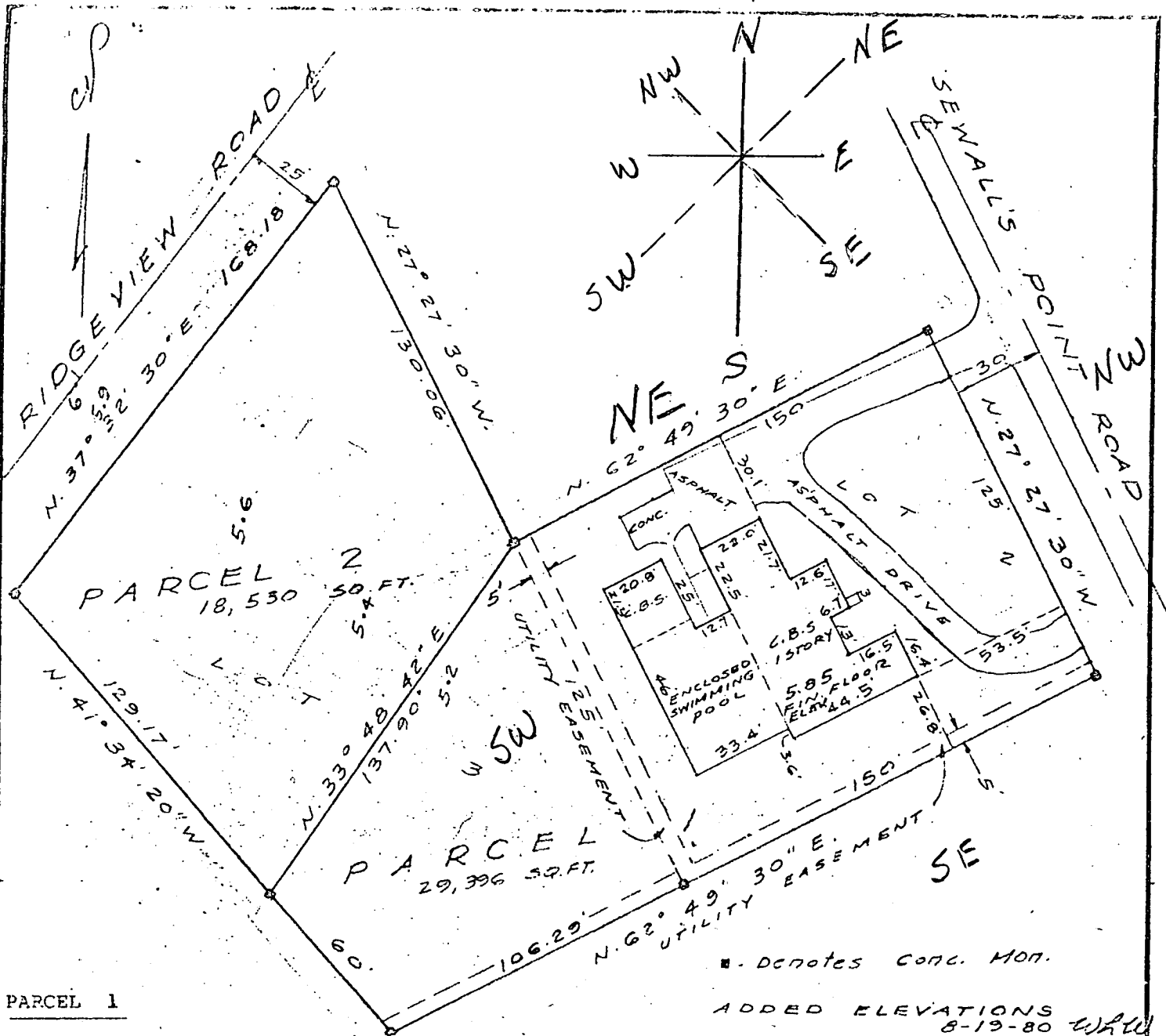
Approved by Building Inspector (date) 5/19/81 Inspector's initial [Signature]

Approved by Town Commissioner (date) 5/19/81 Commissioner's initial [Signature]

Certificate of Occupancy issued (date) 10/6/81

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

F. P. K. notified 10/6/81



**PARCEL 1**

Lot 2 and a portion of Lot 3, Blk. "E" - Amended Plat of HOMEWOOD, as recorded in P.B. 3, Pg. 35, Martin County, Florida, public records and being more particularly described as follows: Begin at the Southeasterly corner of said Lot 3 bear North 27° 27' 30" West along the Easterly line of said Lot 3, a distance of 125 feet; Thence South 33° 48' 42" West, a distance of 137.90 feet to the Westerly line of said lot 3; Thence South 41° 34' 20" East along said line a distance of 60 feet to the Southwesterly line of said lot; Thence North 62° 49' 30" East along the Southerly line of said lot a distance of 106.29 feet to the Point of Beginning.  
Containing: 29,396 sq. feet.

**Parcel 2**

A portion of Lot 3, Blk. "E" - Amended Plat of HOMEWOOD, as recorded in P.B. 3, P. 35 Martin County, Florida, public records and begin at the Northeasterly corner of said Lot bear South 37° 32' 30" West along the Northerly line of said lot a distance of 168.18 feet to the Northwesterly corner of said lot; thence South 41° 34' 20" East along the Westerly line of said lot a distance of 129.17 feet; thence North 33° 48' 42" East a distance of 137.90 feet to the Northwesterly corner of Lot 2; thence North 27° 27' 30" West along the Easterly line of said Lot 3 a distance of 130.06 feet to the Point of Beginning.  
Containing: 18,530 sq. feet.

FOR: TOM STRANGE

SCALE: 1" = 50'	DATE: 1-23-80	PLAT BOOK: 3	PAGE: 35
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I Hereby Certify that the sketch shown hereon is a correct representation of a survey done under my direction and is true and correct to the best of my knowledge and belief.

**DON WILLIAMS & ASSOCIATES, INC.**  
LAND SURVEYORS  
1115 E. OCEAN BLVD. STUART, FLA.

*W.L. Williams*  
W.L. WILLIAMS  
R.L.S. FLA. REG. No. 1272

391005

Printed for Lawyers' Title Guaranty Fund, Orlando, Florida

This instrument was prepared by:

Name John A. Darlson

Address P.O. Drawer 2315

Stuart, Florida 33595

# Warranty Deed

(STATUTORY FORM—SECTION 689.02 F.S.)

This Indenture, Made this 29th day of October 19 80, Between

THOMAS K. STRANGE and MARTHA C. STRANGE, his wife,

of the County of \_\_\_\_\_, State of \_\_\_\_\_, grantor\*, and

ROYAL STUART, INC., a Florida Corporation,

whose post office address is P.O. Box 1946, Stuart, Florida

of the County of Martin, State of Florida, grantee\*,

Witnesseth, That said grantor, for and in consideration of the sum of TEN and no/100 (\$10.00) ---

----- Dollars,  
and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida, to-wit:

Parcel 2, Lot 3, Block E according to the amended plat of HOMEWOOD filed January 11, 1956 and recorded in Plat Book 3, page 35, Martin County, Florida Public Records more particularly described as follows:

Begin at the Northeasterly corner of said Lot, bear South 37°32'30" West along the Northerly line of said lot a distance of 168.18 feet to the Northwesterly corner of said lot; thence South 41°34'20" East along the Westerly line of said lot a distance of 129.17 feet; thence North 33°48'42" East a distance of 137.90 feet to the Northwesterly corner of Lot 2; thence North 27°27'30" West along the Easterly line of said Lot 3 a distance of 130.06 feet to the Point of Beginning.

Subject to restrictions, reservations, easements, and zoning of record; and taxes for the year 1980 and subsequent years.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

\* "Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof, Grantor has hereunto set grantor's hand and seal the day and year first above written. Signed, sealed and delivered in our presence:

*[Handwritten signature]*  
\_\_\_\_\_

*[Handwritten signature: Thomas K. Strange]*  
THOMAS K. STRANGE (Seal)

*[Handwritten signature: Martha C. Strange]*  
MARTHA C. STRANGE (Seal)

\_\_\_\_\_  
(Seal)

\_\_\_\_\_  
(Seal)

STATE OF FLORIDA  
COUNTY OF MARTIN

HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments, personally appeared

THOMAS K. STRANGE and MARTHA C. STRANGE, his wife,

to me known to be the person S described in and who executed the foregoing instrument and acknowledged before me that they executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 29th day of October 1980.

My commission expires:

*[Handwritten signature: Judith L. ...]*  
Notary Public

SET TAB STOPS AT ARROWS

# Certificate of Insurance



THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES LISTED BELOW.

NAME AND ADDRESS OF AGENCY

R. V. Johnson Agency  
P. O. Box 26  
Stuart, Florida 33495

**COMPANIES AFFORDING COVERAGES**

COMPANY LETTER **A** American States Insurance Co.

COMPANY LETTER **B** Commercial Union Insurance Co.

COMPANY LETTER **C**

COMPANY LETTER **D**

COMPANY LETTER **E**

NAME AND ADDRESS OF INSURED

Bill King Builders, Inc.  
3733 Mantanzas Avenue  
Stuart, Florida 33494

This is to certify that policies of insurance listed below have been issued to the insured named above and are in force at this time. Notwithstanding any requirement, term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the policies described herein is subject to all the terms, exclusions and conditions of such policies.

COMPANY LETTER	TYPE OF INSURANCE	POLICY NUMBER	POLICY EXPIRATION DATE	Limits of Liability in Thousands (000)		
					EACH OCCURRENCE	AGGREGATE
A	<b>GENERAL LIABILITY</b>	CL 2875591	2/1/82	BODILY INJURY	\$ 100	\$ 100
	<input checked="" type="checkbox"/> COMPREHENSIVE FORM			PROPERTY DAMAGE	\$ 25	\$ 25
	<input checked="" type="checkbox"/> PREMISES—OPERATIONS					
	<input type="checkbox"/> EXPLOSION AND COLLAPSE HAZARD					
	<input type="checkbox"/> UNDERGROUND HAZARD					
	<input checked="" type="checkbox"/> PRODUCTS/COMPLETED OPERATIONS HAZARD					
	<input type="checkbox"/> CONTRACTUAL INSURANCE					
	<input type="checkbox"/> BROAD FORM PROPERTY DAMAGE					
	<input checked="" type="checkbox"/> INDEPENDENT CONTRACTORS					
	<input type="checkbox"/> PERSONAL INJURY					
	<b>AUTOMOBILE LIABILITY</b>			BODILY INJURY (EACH PERSON)	\$	
	<input type="checkbox"/> COMPREHENSIVE FORM			BODILY INJURY (EACH ACCIDENT)	\$	
	<input type="checkbox"/> OWNED			PROPERTY DAMAGE	\$	
	<input type="checkbox"/> HIRED			BODILY INJURY AND PROPERTY DAMAGE COMBINED	\$	
	<input type="checkbox"/> NON-OWNED					
	<b>EXCESS LIABILITY</b>			BODILY INJURY AND PROPERTY DAMAGE COMBINED	\$	\$
	<input type="checkbox"/> UMBRELLA FORM					
	<input type="checkbox"/> OTHER THAN UMBRELLA FORM					
B	<b>WORKERS' COMPENSATION and EMPLOYERS' LIABILITY</b>	CZG 849136	6/14/81	STATUTORY		FLORIDA \$ 100 (EACH ACCIDENT)
	<b>OTHER</b>					

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES

**Cancellation:** Should any of the above described policies be cancelled before the expiration date thereof, the issuing company will endeavor to mail 10 days written notice to the below named certificate holder, but failure to mail such notice shall impose no obligation or liability of any kind upon the company.

NAME AND ADDRESS OF CERTIFICATE HOLDER:

Town of Sewall's Point  
1 S. Sewall's Point Road  
Sewalls Point, Florida 33457

DATE ISSUED: May 19, 1981 pf

*R.V. Johnson*  
AUTHORIZED REPRESENTATIVE



STATE OF FLORIDA  
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

APPLICATION FOR SEPTIC TANK PERMIT  
AND FINAL INSPECTION FORM

Sht 1 of 3  
Permit VOID if well or septic system is installed in a location other than area permitted. PRIOR HEALTH DEPARTMENT APPROVAL REQUIRED

\$35 WELL FEE IF WELL NOT INSTALLED AT  
TIME OF SEPTIC SYSTEM INSPECTION

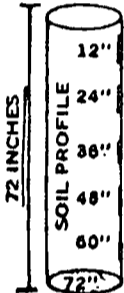
Authority:  
Chapter 381, 386, 387, FS  
Chapter 10D-6, FAC

DATE \_\_\_\_\_ Permit Number HD81-346  
Price Engineering Co. 1320 Palm Beach Road Stuart, Florida For:  
Name of Applicant BILL KING Telephone No. 283 4917  
Mailing Address of Applicant 3733 SE MATANZAS  
To Be Installed At: (Give Street Address)\* RIDGE VIEW subdivision: HOMEWOOD  
Lot No. 2 Block No. E other M Plat Book 3 Page 35 Date Recorded 1956  
Size of Lot: 168 By 130 No. Living Units 1 No. Bedrooms 3 No. People \_\_\_\_\_  
Type of Business RES No. Toilets 3 No. Wash Basins \_\_\_\_\_ No. Employees \_\_\_\_\_  
Total Square Feet in Building 2000 SQ FT  
\*Note: Attach Site Location Map and Other Supportive Documents Date 5/14/81  
Project No. 81-231 Signature of Applicant Ronald J. Price  
Ronald J. Price P.E. #17788

SITE INFORMATION

Distance to Sanitary Sewer N/A Distance to Stream, Lake, Canal N/A  
Distance to Public Water Supply N/A Distance to Private Well(s) 75' min  
Rainfall Data: MAY 1981  
Is Area Subject to Flooding? NO Does Site have Good Natural Drainage? Yes  
Which Way Does Lot Drain? FRONT Any Perimeter Ditches? \_\_\_\_\_ Depth of Ditches \_\_\_\_\_  
Is there Standing Water in Ditches? NO Depth of Water in Ditches \_\_\_\_\_  
Distance to Nearest Residence (North \_\_\_\_\_ East \_\_\_\_\_ South \_\_\_\_\_ West \_\_\_\_\_) Are Buildings in this Area on: Septic Tanks Yes Sand Filters \_\_\_\_\_ Other \_\_\_\_\_  
Any Known Drainfield Failures in this Area NO

SOIL PROFILE AND PERCOLATION DATA



Water Table At 60+ inches Wet season water table  
Hard Pan At \_\_\_\_\_ inches  
Clay At \_\_\_\_\_ inches 48 inches  
Muck At \_\_\_\_\_ inches  
Other At \_\_\_\_\_ inches  
Soil Classification: SANDY  
Percolation Rate: 1 in/min  
Compacted Fill of 0

INSTALLATION SPECIFICATIONS

Septic Tank Capacity: 900 Drain Tile (Linear Ft.): \_\_\_\_\_  
Dosing Tank Capacity: \_\_\_\_\_ Sand Filter Size: (Sq. Ft.) \_\_\_\_\_  
Grease Trap Capacity: \_\_\_\_\_ Absorbition Bed Size: (Sq. Ft.) 260  
Perforated Pipe: (Linear Ft.) \_\_\_\_\_ Lateral Drainfield Size: (Sq. Ft.) \_\_\_\_\_  
Other Specifications: \_\_\_\_\_  
Compact Fill Check By: \_\_\_\_\_ Date \_\_\_\_\_

RECOMMENDATION: Approval   
Disapproval

5-20-81  
Date Processed

Robert Washburn, P.S.  
Signature of Sanitarian

THIS PERMIT EXPIRES ONE (1)  
YEAR FROM DATE OF ISSUANCE  
MARTIN County Health Department

FINAL INSPECTION DATA

Date and Time of Inspection \_\_\_\_\_ Type of Tank (Concrete, Fiberglass, Etc.) \_\_\_\_\_  
Size Tank Installed \_\_\_\_\_ Drainfield Size \_\_\_\_\_ No. Tile Feet \_\_\_\_\_  
Dosing Tank Size \_\_\_\_\_ Grease Trap Size \_\_\_\_\_ Sand Filter Size \_\_\_\_\_  
Who Made Installation \_\_\_\_\_

RECOMMENDATION: Approval  Disapproval

\_\_\_\_\_  
Signature of Sanitarian

# Price Engineering Company

A Professional Corporation

PE

Engineers-Environmental Consultants  
Planners-Surveyors

1347

Reply To: P.O. Box 2116  
Stuart, FL 33495  
305-287-5628

Principal

Ronald J. Price, P.E. & L.S.

Associates

Arthur W. Hood, L.S. & P.P.

Paul C. Welch, P.E.

Engineering

Municipal  
Drainage  
Sewerage  
Water  
HVAC  
Mechanical  
Electrical  
Highways  
Bridges  
Solar  
Subdivisions

Surveying

Topographic  
Boundary  
Construction Layout  
Riparian Surveys

Environmental

CAFRA Reports  
Riparian Applications  
Stream Encroachment  
Wetlands Applications  
Pinelands Exemptions  
Bulkhead Applications

Planning

Master Plans  
Urban Renewal  
Land Planning  
Recreation Planning

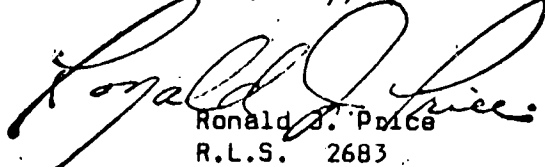
June 18, 1981

Bill King Builders  
3733 SE Matanzas St.  
Stuart, FL 33494

Dear Mr. King:

I hereby certify that these are existing elevations as required for additional protection under the National Flood Insurance for Parcel 2 of Lot 3, Block 3, Amended Plat of Homewood S/D. First level floor has been determined at 8.07.

Sincerely,

  
Ronald J. Price  
R.L.S. 2683



# FRASER ENGINEERING AND TESTING

PHONE: (305) 461-7508

3504 INDUSTRIAL 33 RD STREET

FORT PIERCE, FLORIDA - 33450

## Report of DENSITY OF SOIL IN PLACE

ASTM D2922

1347

**Client:** Bill King Construction

**Date:** June 1, 1981

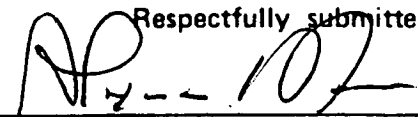
**Contractor:** Client

**Site:** Lot 2, Block E  
Ridgeview Rd., Sewells Pt.

Test No.	Location	Elevation	In Place Dry Density	Moisture Density Relationship		Percent Compaction
				Test No.	Max. Dry Density	
44617	East Section of Pad	1 - 2'	100.9	44616	104.0	97.0
44618	East Section of Pad	0 - 1'	97.0	44616	104.0	93.3
44619	East Section of Pad RETEST	1 - 2'	105.3	44616	104.0	100.3
44620	East Section of Pad RETEST	0 - 1'	102.1	44616	104.0	98.2
44621	Center of Pad	1 - 2'	105.3	44616	104.0	101.3
44622	Center of Pad	0 - 1'	102.3	44616	104.0	98.4
44623	West Section of Pad	1 - 2'	104.0	44616	104.0	100.0
44624	West Section of Pad	0 - 1'	102.0	44616	104.0	98.1
All elevations above stripped surface.						

**Copies**

Respectfully submitted,



ALEXANDER H. FRASER, P. E.

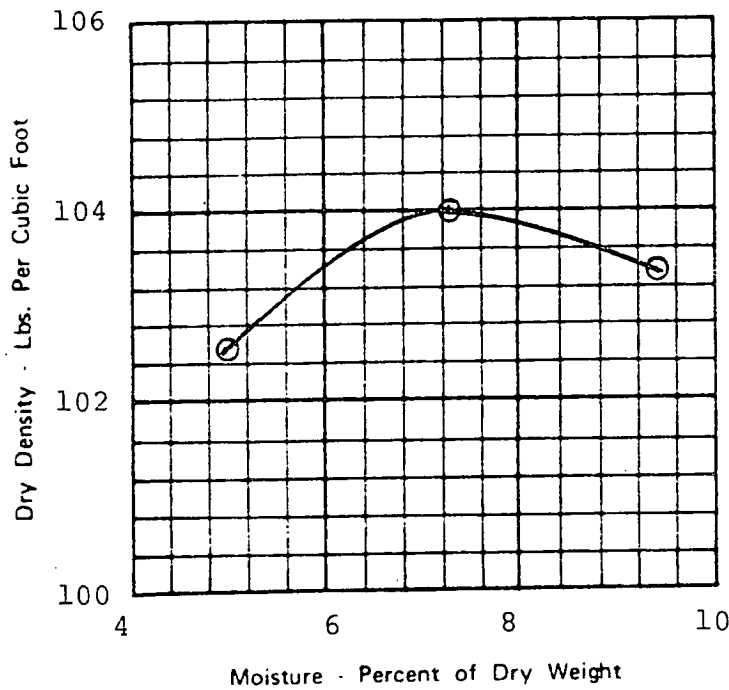
Report  
of  
MOISTURE DENSITY RELATIONSHIP  
ASTM 1557-70

Client: Bill King Construction

Date: June 1, 1981

Contractor: Client

Site: Lot 2, Block E  
Ridgewood Rd., Sewells Pt.



Test No.	Test Method	Sample Location	Optimum Moisture %	Max Dry Density-P.C.F.	Soil Description
44616	C	Composite	7.3	104.0	White fine sand, with shell fragments.

Copies Client - 1  
Sewells Pt. Bldg. Dept. - 1

Respectfully submitted,

ALEXANDER H. FRASER, P. E.



# FLORIDA MODEL ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

BOB GRAHAM                      SECTION 9                      GOVERNOR'S ENERGY OFFICE  
GOVERNOR                      POINTS METHOD                      LEX HESTER, DIRECTOR  
PREPARED BY: BRABHAM KUHNS DEBAY - CONSULTING ENGINEERS

<b>PROJECT NAME AND ADDRESS</b>	<i>Residence Lot #3 Ridge Rd. Sewalls Pt.</i>	JURISDICTION
		<i>Sewalls Pt.</i>
<b>BUILDER</b>	<i>Bill King Bldg. Inc.</i>	BUILDING PERMIT NO.
<b>OWNER</b>	<i>Royal Street Inc.</i>	<small>TO BE FILLED IN BY BLDG OFFICIAL</small> <small>TO BE FILLED IN BY DESIGNER</small>

STATISTICAL DATA													
ZONE	JURISDICTION CODE	FLOOR AREA	GROSS WALL AREA	GLASS AREA	WALL INSUL. R-VALUE	ROOF INSUL. R-VALUE	EER OR SEER	COP	MAXIMUM ALLOWED EPI	EPI			
8	33457	2172	1728	3348	R-11	R-19	8.5		100	90.64			
HEATING SYSTEM TYPE					HOTWATER SYSTEM TYPE					WALL CONSTRUCTION	NUMBER OF UNITS		
STRIP	HEAT PUMP	GAS	OIL	SOLAR	ELEC.	HEAT REC.	GAS	OIL	SOLAR	CBS	FRAME	THIS BUILDING	ENTIRE PROJECT
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	1	1
THIS DATA TO BE SENT TO THE GOVERNOR'S ENERGY OFFICE BY THE BUILDING OFFICIAL UPON REQUEST													

BASE BUDGET	COMMON WALLS			COMMON ROOF			MAXIMUM ALLOWED
100	0	X5		0	X12		100
FROM APPENDIX E	FEWER TOTAL POINTS MEANS GREATER SAVINGS						EPI

<b>CERTIFIED BY:</b>	<i>William P. King Jr.</i>	<b>DATE:</b>	<i>5/24/81</i>	<b>EPI:</b>	<i>90.64</i>
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9D	DESIGN CREDIT POINTS (CP)		
CEILING FANS (IN COND. SPACE)	1 PER FAN	3	
MULTI ZONE A/C (SEPARATED BY OPERABLE DOOR)	5	0	
OPERABLE WINDOWS (ON 2 OR MORE SIDE OF ROOM)	1 PER ROOM	0	
WHOLE HOUSE FAN (1.5 CFM/SF)	5		
TOTAL		3	

9E	DESIGN PENALTY POINTS (PP)		
WASHER AND DRYER (IN COND SPACE)	3:	3	
MAX. OPENING OF GLASS < 40%	5	0	
TOTAL		3	

9G	PERSCRIPTIVE MEASURES		
CHECK FOR COMPLIANCE	SECTION	CHECK	
HEATING SYSTEM EFFICIENCY	503.4	<input checked="" type="checkbox"/>	
AIR CONDITIONING CONTROLS	503.7	<input checked="" type="checkbox"/>	
A/C DUCT CONSTRUCTION	503.9	<input checked="" type="checkbox"/>	
PIPING INSULATION (CIRCULATING SYSTEMS)	503.10	<input type="checkbox"/>	
WATER HEATER (ASHRAE 90-75 LABEL)	504.2	<input checked="" type="checkbox"/>	
SWIMMING POOLS	504.2	<input type="checkbox"/>	
SHOWER FLOW RESTRICTORS	504.5	<input checked="" type="checkbox"/>	

WINTER				GROSS WINTER POINTS	SUMMER				GROSS SUMMER POINTS
COMPONENT	AREA	X	WPM	=	COMPONENT	AREA	X	SPM	=

WALLS	CONCRETE	R3-3.9		6.2		WALLS	CONCRETE	R3-3.9		16.6	
		R4-5.9		5.0				R4-5.9		15.0	
		R6 & UP		4.4				R6 & UP		13.9	
	FRAME OR BRICK VENEER	R11-18.9	1308.2	2.5	3270.5		R11-18.9	1308.2	13.9	18183.98	
		R19-25.9		1.5			R19-25.9		8.6		
		R26 & UP		1.1			R26 & UP		6.5		
	COMMON		5.5		COMMON			7.6			

DOORS	WOOD OR METAL	85	86.5	7352.5	DOORS	WOOD OR METAL	85	55.4	4709.
	INSULATED		84.0			INSULATED		22.2	
	STORM DOOR		44.6			STORM DOOR		44.3	
	COMMON		43.3			COMMON		13.9	

CEILING	UNDER ATTIC	R11-18.9		2.9		CEILING	UNDER ATTIC	R11-18.9		13.3	
		R19-21.9	2172	1.9	4126.8			R19-21.9	2172	8.4	18244.8
		R22-29.9		1.7				R22-29.9		7.6	
		R30 & UP		1.5				R30 & UP		5.5	
	SINGLE ASSEMBLY (NO ATTIC)	R6-7.9		5.4			SINGLE ASSEMBLY (NO ATTIC)	R6-7.9		22.6	
		R8-9.9		4.0				R8-9.9		17.3	
		R10-11.9		3.5				R10-11.9		14.6	
		R12-18.9		2.5				R12-18.9		10.6	
		R19 & UP		1.9				R19 & UP		8.4	
		COMMON		3.4				COMMON		4.1	

FLOOR OVER UNCONDITIONED SPACE DO NOT ADD CARPETS	WOOD	R0-6.9		5.8		FLOOR OVER UNCONDITIONED SPACE DO NOT ADD CARPETS	WOOD	R0-6.9		6.6	
		R7-10.9		2.4				R7-10.9		2.9	
		R11-18.9		2.1				R11-18.9		2.3	
		R19 & UP		1.4				R19 & UP		1.5	
	CONCRETE	R0-2.9	2172	6.8	14769.6		CONCRETE	R0-2.9	2172	8.2	17810.4
		R3-5.9		4.3				R3-5.9		5.7	
		R6-10.9		3.4				R6-10.9		3.6	
		R11-18.9		2.3				R11-18.9		2.9	
		R19 & UP		1.5				R19 & UP		1.9	
		COMMON		3.4				COMMON		4.1	

29519.4

58,948.18

SLAB ON GRADE PERIMETER	EDGE INSULATION	PERIMETER	WPM	GWP
	R0 - 2.9	216	28.3	6112.8
	R3 - 5.9		20.4	
	R6 & UP		12.4	

GLASS  
DO NOT APPLY INTERIOR SHADING

OR	AREA	GLASS		WOF	GWP
		SINGLE	DOUBLE		
N		55.4	38.5		
NE	0	55.4	38.5		—
E		55.4	38.5		
SE	67.2	55.4	38.5	1.00	3722.9
S		55.4	38.5		
SW	88	55.4	38.5	.99	4826.4
W		55.4	38.5		
NW	139.6	55.4	38.5	1.0	7733.8
H		22.6	6.8		
SE	67	55.4		1.0	
					26107.7
H= HORIZONTAL GLASS (SKYLIGHTS)					

GLASS  
DO NOT APPLY INTERIOR SHADING

OR	AREA	GLASS				SOF	GSP
		SINGLE		DOUBLE			
		CLR	TIN	CLR	TIN		
N		204	176	163	139		
NE	0	309	264	258	218		—
E		425	360	352	304		
SE	67.2	418	354	355	298	.59	14035.4
S		346	294	287	242		
SW	88	418	354	355	298	.93	28971.4
W		425	360	352	304		
NW	139.6	309	264	258	218	.98	36117.3
H		720	605	627	524		
SE	67		354			.59	13993.62
							93117.72
FOR TINTED GLASS SL ≠ 0.83 SEE SEC. 902.2d							

TOTAL GROSS WINTER POINTS	55627.1	TOTAL GROSS SUMMER POINTS	152065.90
---------------------------	---------	---------------------------	-----------

DUCT INSULATION MULTIPLIER	1" FIBERGLASS	55627.1	1.18	63971.17	DUCT INSULATION MULTIPLIER	1" FIBERGLASS	152065.90	1.18	174875.79
	1.5" FIBERGLASS		1.12			1.5" FIBERGLASS		1.12	
	DUCT IN COND. SF		1.00			DUCT IN COND. SF		1.00	

HSM FROM TABLE 9A	63971.17 x 1.0	63971.17	CSM FROM TABLE 9B	174875.79 x .76	132905.6
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FLOOR AREA (DIVIDE)	63971.17 ÷ 2172	29.45	FLOOR AREA (DIVIDE)	132905.6 ÷ 2172	61.19
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WINTER POINTS (WP)	29.45	SUMMER POINTS (SP)	61.19
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FORM 900 AND 901 - 789 ZONES - 789

WINTER POINTS	SUMMER POINTS	HOT WATER POINTS	CREDIT POINTS	PENALTY POINTS	<b>90.64 EPI</b>
29.45	+ 61.19	- 0	- 3	+ 3	
FEWER TOTAL POINTS ARE ENCOURAGE FOR MAXIMUM ENERGY SAVINGS					

9F	WINTER OVERHANG FACTOR (WOF)								
	FEET	N	NE	E	SE	S	SW	W	NW
0-0.99	1.00	0.99	0.85	0.75	0.63	0.48	1.00	1.00	
1-1.99	1.00	0.99	0.85	0.76	0.64	0.48	1.00	1.00	
2-2.99	1.00	0.99	0.86	0.77	0.66	0.49	1.00	1.00	
3-3.99	1.00	0.99	0.87	0.80	0.67	0.49	1.00	1.00	
4-4.99	1.00	0.99	0.89	0.83	0.70	0.49	1.00	1.00	
5-5.99	1.00	0.99	0.91	0.86	0.72	1.00	1.00	1.00	
6-6.99	1.00	0.99	0.92	0.90	0.74	1.00	1.00	1.00	
7-7.99	1.00	1.00	0.94	0.92	0.76	1.00	1.00	1.00	
8-8.99	1.00	1.00	0.96	0.95	0.77	1.00	1.00	1.00	
9-9.99	1.00	1.00	0.97	0.97	0.78	1.00	1.00	1.00	
10-10.99	1.00	1.00	0.98	0.98	0.79	1.00	1.00	1.00	
11 & UP	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	

9F	SUMMER OVERHANG FACTOR (SOF)								
	FEET	N	NE	E	SE	S	SW	W	NW
0-0.99	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
1-1.99	1.00	1.00	0.99	0.99	0.98	0.99	0.99	0.99	1.00
2-2.99	1.00	0.98	0.95	0.93	0.92	0.93	0.95	0.96	
3-3.99	1.00	0.95	0.89	0.87	0.86	0.87	0.89	0.95	
4-4.99	1.00	0.91	0.84	0.81	0.80	0.81	0.84	0.91	
5-5.99	0.99	0.88	0.80	0.76	0.76	0.76	0.80	0.88	
6-6.99	0.99	0.85	0.76	0.72	0.72	0.72	0.76	0.85	
7-7.99	0.99	0.83	0.72	0.68	0.70	0.68	0.72	0.83	
8-8.99	0.98	0.81	0.69	0.66	0.68	0.66	0.69	0.81	
9-9.99	0.98	0.79	0.67	0.64	0.66	0.64	0.67	0.79	
10-10.99	0.98	0.78	0.65	0.62	0.65	0.62	0.65	0.78	
11-11.99	0.97	0.76	0.63	0.61	0.65	0.61	0.63	0.76	
12 & UP	0.97	0.76	0.62	0.59	0.64	0.59	0.62	0.76	

9A		HEATING SYSTEM MULTIPLIER (HSM)								
HEAT PUMP		COP	2.0-2.19	2.2-2.39	2.4-2.59	2.6-2.79	2.8-2.99	3.0-3.19	3.2-3.39	3.4 & UP
		HSM	0.50	0.45	0.42	0.38	0.36	0.33	0.31	0.29
SOLAR HEAT		(BACKUP SYSTEM FRACTION) X (BACKUP SYSTEM HSM)								
GAS HEAT		0.50								
OIL HEAT		0.70								
ELECTRIC STRIP HEAT		1.00								

9B		COOLING SYSTEM MULTIPLIER (CSM)										
ELECTRIC	SEER	6.8-7.49	7.5-7.99	8.0-8.49	8.5-8.99	9.0-9.49	9.5-9.99	10.0-10.49	10.5-10.99	11.0-11.49	12.0 & UP	
	CSM	1.00	0.99	0.97	0.96	0.95	0.94	0.93	0.92	0.91	0.90	
GAS	COP	0.40-0.44	0.45-0.49	0.50-0.54	0.55-0.59	0.60-0.64	0.65-0.69	0.70 & UP				
	CSM	1.00	1.25	1.30	1.09	1.00	0.92	0.89				

NOTE: SEER = COOLING MODE COP x 3.413 = ARI RATED COOLING OUTPUT IN BTUH ÷ TOTAL WATTS CONSUMED

9C		HOT WATER CREDIT POINTS (HWP)	
ELECTRIC	RESISTANCE HEATERS	0.0	
GAS		7.0	
SOLAR	MINIMUM CERTIFIED DCR OF 6,000 BTU PER BEDROOM AND 15 GALLON STORAGE PER BEDROOM	19.6	
	MINIMUM CERTIFIED DCR OF 9,000 BTU PER BEDROOM AND 20 GALLON STORAGE PER BEDROOM	22.8	
	MINIMUM CERTIFIED DCR OF 12,000 BTU PER BEDROOM AND 27 GALLON STORAGE PER BEDROOM	24.5	
A/C HEAT	MINIMUM CERTIFIED RATING OF 150C BTUH/TON MINIMUM HOT WATER STORAGE TANK 40 GALLONS	11.3	
RECOVERY UNIT	MINIMUM CERTIFIED RATING OF 2500 BTUH/TON MINIMUM HOT WATER STORAGE TANK 40 GALLONS	17.8	

NOTE: DAILY COLLECTION RATE (DCR) IS MEASURED AT 122°F USING FBEC STANDARD FLORIDA SOLAR DAY

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date Oct 15, 1981  
Royal Strand Inc.

This is to request that a Certificate of Approval for Occupancy be issued to  
For property built under Permit No. 1347 Dated 5/29/81 when completed in  
conformance with the Approved Plans.

\_\_\_\_\_  
Signed

RECORD OF INSPECTIONS

Item	Date	Approved by
Set-backs and footings	6/11/81 & 6/15/81	
Rough plumbing	6/11/81 & 7/28/81	
Slab	6/15/81	
Perimeter beam	—	
Close-in, roof and rough electric	7/28/81	
Final Plumbing	10/6/81	John Pasante
Final Electric	10/6/81	

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector [Signature] date 10/15/81

Approved by Building Commissioner [Signature] date 10/15/81

Utilities notified 10/6/81 John Pasante date

Original Copy sent to \_\_\_\_\_

(Keep carbon copy for Town files)

1663

Permit No. \_\_\_\_\_

Date 1-16-84

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner John Stobbelaar Present Address 3 Ridgeview Dr.

Phone 283-0280 Sewells Pt.

Contractor United Fence Address 1210 Rickensacker Terr.

Phone 335 2627 A. S. Lucie.

Where licensed Martin + P.S.L. License number 00541

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Fence

Same

State the street address at which the proposed structure will be built: \_\_\_\_\_

Subdivision Homewood part Lot number 30 Block number \_\_\_\_\_

Contract price \$ 344<sup>00</sup> Cost of permit \$ 5XX

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Serge Quinn

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner John Stobbelaar

TOWN RECORD

Date submitted 1/16/83 Approved: J. Maguire 1/17/83  
Building Inspector Date

Approved: G. E. Stutell 1/18 Final Approval given: \_\_\_\_\_  
Commissioner Date Date

Certificate of Occupancy issued (if applicable) \_\_\_\_\_  
Date

SP1282 Final Check 2/10/84  
OK JLM

Permit No. \_\_\_\_\_

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.



WE BUILD ANY FENCE

GEORGE QUINN  
~~MERRITT MILANO~~

LICENSED & INSURED

**UNITED  
UNITED  
UNITED  
UNITED  
UNITED**  
FENCE CO.

335-2627  
~~331-5369~~

BEAUTIFUL CUSTOM  
WOOD FENCES AND  
DECKS SINCE 1964

NAME John Stobbelaar  
ADDRESS 3 Ridgeview Dr.  
CITY Sewalls Pt.  
PHONE 283-0280

DATE 1.7.84

TOTAL FOOTAGE 51

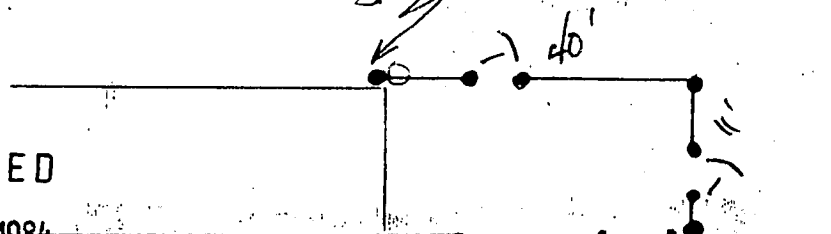
TOP RAIL STRAIGHT  FOLLOW CONTOUR OF GROUND  KNUCKLE UP  BARB UP

FENCE 4/8" x Black  
TOP RAIL 1 3/8  
LINE POST 1 3/8  
CORNER POST 2 1/2  
END POST 2 1/2  
GATE POST 2 1/2  
WALK GATE OPENINGS 2 - 4x42"  
DOUBLE DRIVE GATE OPENINGS \_\_\_\_\_  
SELF-CLOSURES \_\_\_\_\_  
DRILL \_\_\_\_\_  
SURVEY \_\_\_\_\_  
PLATED POSTS \_\_\_\_\_  
FENCE LINE CLEARED yes

LAYOUT OF JOB

Install wedge on bottom of one gate 3"

Behind Sprinkler



Office Use Only

Bg Tr

	Bg	Tr
Terminal Posts		
Line Posts		
Rail Ends		
Brace Bands		
Tension Bars		
Tension Bands		
Terminal Caps		
Loop Caps		
Top Rail		
Barb Arms		
Barb Wire		
Wire Rls. Pcs.		
Gates		
Males		
Females		
Forks		
Backs		
Self Closers		
Roll-Away		
Drop Rods		
Guides		

RECEIVED

JAN 18 1984

App'd.....

RECEIVED

JAN 17 1984

App'd.....

*John 1/19/84*

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

match 2  
4x4 with post terminal

TOTAL PRICE \$ 341.27  
LESS DEPOSIT \$ 125.00  
C.O.D. ON COMPLETION \$ 206.27  
SALESMAN George Quinn  
CUSTOMER \_\_\_\_\_  
OFFICE ACCEPTANCE \_\_\_\_\_

Prices quoted do not include any clearing of fence lines. United will clear fence lines for a fee of \$20.00 per man, per hour. The above is an estimate based on our inspection and does not cover any additional labor which may be required after the work has been opened up. Occasionally, after the work has started, large buried objects are discovered which were not evident on the first inspection. Because of this the above prices may have to be renegotiated. This circumstance is rare.

Martin County License #00541

Port St. Lucie License #4049

**3114**

**ROOM ADDITION**

# TOWN OF SEWALL'S POINT BUILDING PERMIT

PARCEL CONTROL NUMBER \_\_\_\_\_

PERMIT NUMBER 3114

DATE ISSUED 12/23/91

OWNER Mr + Mrs John Kennedy  
 ADDRESS 3 Ridgeview  
 CITY/ST/ZIP SP  
 TELEPHONE 286-8562

CONTRACTOR OR  
 OWNER/BLDR. Sea Gate  
 ADDRESS 1320 Federal Hwy  
 CITY/ST/ZIP STUART  
 TELEPHONE \_\_\_\_\_

FLOOD ZONE \_\_\_\_\_  
 TO BE CONSTRUCTED Road add  
 SITE ADDRESS same  
 SUBDIVISION Ridgeview  
 CONSTRUCTION VALUE 541,500.00

REMODELING/NEW CONSTRUCTION \_\_\_\_\_  
 IMPACT \_\_\_\_\_  
 RADON \_\_\_\_\_  
 SEPTIC \_\_\_\_\_  
 WELL \_\_\_\_\_  
 FENCE \_\_\_\_\_  
 POOL \_\_\_\_\_  
 DOCK \_\_\_\_\_

**FEES**

PLUMBING 100.00  
 ELECTRICAL 100.00  
 MECH./A.C. 100.00  
 ROOF 100.00  
 WALL \_\_\_\_\_  
 POOL ENCLOSURE \_\_\_\_\_  
 OWNER/BUILDER \_\_\_\_\_  
 TOTAL 736.00  
 PAID BY CHECK \_\_\_\_\_

**BUILDING INSPECTION**  
(SIGN OFF)

(FOR OFFICIAL USE ONLY)

FORM BOARD SURVEY _____	DATE _____	NAILING _____	DATE _____
ROUGH PLUMBING <u>OK</u>	DATE <u>2/12/92 DB</u>	ROOF _____	DATE _____
TERMITE PROTECTION _____	DATE _____	INSULATION <u>OK</u>	DATE <u>2/12/92 DB</u>
FOOTING-SLAB _____	DATE _____	FINAL ELECTRIC _____	DATE _____
LINTEL _____	DATE _____	FINAL PLUMBING _____	DATE _____
ROUGH ELECTRIC <u>OK</u>	DATE <u>2/12/92 DB</u>	SEPTIC FINAL _____	DATE _____
FRAMING <u>OK</u>	DATE <u>2/12/92 DB</u>	DRIVEWAY _____	DATE _____
A/C DUCTS <u>OK</u>	DATE <u>2/12/92 DB</u>	FINAL C.O. _____	DATE _____

PERMIT AUTHORIZED BY Dale Brown

- Call 287-2455 from 8:00 a.m. to 4:00 p.m. for inspections.
- Requests for inspections require 24 hours notice.
- All work must be in compliance with the Town of Sewall's Point ordinances, the South Florida Building Code, the State of Florida Energy Efficiency Building Code and Elevations based on the latest flood insurance rate map.
- Portable toilet facilities and haul-off trash container must be in job site before initial inspection.
- Working hours are from 8:00 a.m. to 5:00 p.m. Monday through Saturday.
- No trucks, trailers or other commercial vehicles may be left on job site overnight unless totally concealed. Violators will be cited. Questions regarding such equipment should be directed to the Building or Police Departments.

PERMIT NO. \_\_\_\_\_

Date 12/19/91

APPLICATION FOR PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Mr & Mrs John Kennedy Present Address #3 RIDGEVIEW

Phone 286-8562 STUART FL

Contractor SEALATE BLDG Address 1320 S. FED #205

Phone 22076 STUART FL 34994

Where licensed STATE FLORIDA License number C6 0047306

Electrical contractor Taylor Elect License number 00285

Plumbing contractor DAVES PLUMB License number MP-0030

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: 2<sup>ND</sup> FL ADDITION ABOVE GARAGE

#3 RIDGEVIEW - STUART FL

State the street address at which the proposed structure will be built:

124.00

Subdivision "A-10" "HOMWOOD" Lot number #13 Parcel #2 Block number \_\_\_\_\_

Contract price \$ 41,500 Cost of permit \$ 736.00

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

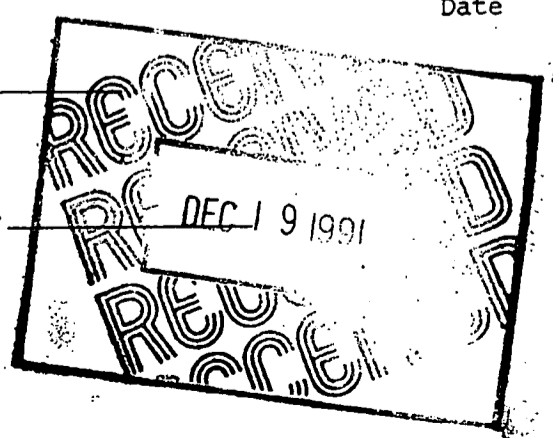
Date submitted \_\_\_\_\_ Approved: Dale Brown 12/23/91  
Building Inspector Date

Approved: [Signature] 12/23/91  
Commissioner Date Final Approval given: \_\_\_\_\_ Date

Certificate of Occupancy issued (if applicable) \_\_\_\_\_ Date \_\_\_\_\_

SP1282

Permit No. \_\_\_\_\_



Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

NOTICE OF COMMENCEMENT

STATE OF FLORIDA  
COUNTY OF MARTIN

The undersigned hereby informs all concerned that improvements will be made to certain real property, and in accordance with Section 713.13, Florida Statutes, the following information is stated in this NOTICE OF COMMENCEMENT. This notice shall be void and of no force and effect if construction is not commenced within 30 days of recordation.

DESCRIPTION OF PROPERTY:

General description of improvements: 2<sup>nd</sup> Fl Addition

Owner: Mr + Mrs John Kennedy  
Address: #3 RIDGE VIEW

Owner's interest in site of the improvement: MAIN RES

Contractor: SEABATE BROS  
Address: 1320 S. FED #205 STUART FL

Surety (if any): \_\_\_\_\_  
Address: \_\_\_\_\_  
Amount of Bond: \_\_\_\_\_

Lender: HARBOR FEDERAL  
Address: 100 South 2<sup>nd</sup> St Fort Pierce FL 34954

Name of person within the State of Florida designated by owner upon whom notices or other documents may be served:

Name: \_\_\_\_\_  
Address: \_\_\_\_\_

In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.06(2)(b), Florida Statutes:

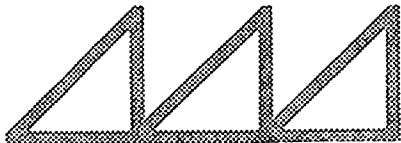
Name: \_\_\_\_\_  
Address: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

Sworn to and subscribed before me this \_\_\_\_\_ day  
of \_\_\_\_\_, 19\_\_\_\_.

(NOTARY SEAL)

I am a Notary Public of the  
STATE OF \_\_\_\_\_ AT LARGE, and  
My Commission Expires:  
\_\_\_\_\_



**Armin L. Wessel Architects, Inc.**  
900 South U.S. Highway One, Suite 104  
Jupiter, FL 33477 • (407) 747-4950

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December 18, 1991

Town of Sewall's Point Building Department  
1 South Sewall's Point Road  
Stuart, FL 34996

RE: Kennedy Addition  
Lot 2, Parcel 2  
Sewall's Point

CONTRACTOR: Seagate Builders, Inc.

Dear Sirs:

The existing 16" x 14" monolithic footing with 2 - #5 continuous bars will support all additional load requirements for the proposed upper 2" x 4" stud wall addition. The existing 2" x 4" garage stud walls at 16" o.c. will also carry additional floor and wall loads from above.

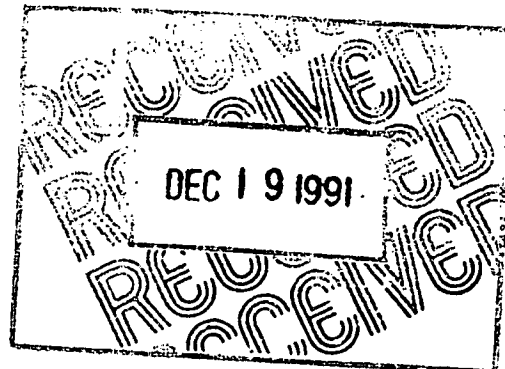
If you have questions, please call. Thank you for your time and consideration.

Sincerely,

Armin L. Wessel, A.I.A.  
President

BRD/dbs

cc: Seagate Builders, Inc.



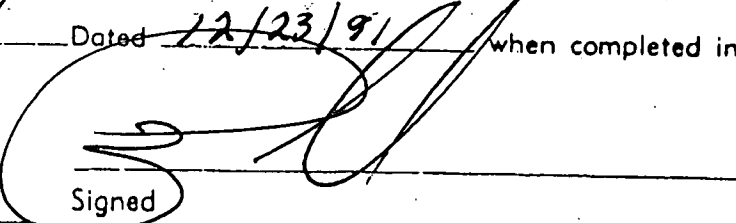
RECORD OF INSPECTIONS

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 4/10/92

This is to request that a Certificate of Approval for Occupancy be issued to Mr. John Kennedy  
For property built under Permit No. 3114 Dated 12/23/91 when completed in  
conformance with the Approved Plans.

  
Signed

Approved by

Item	
1. LOT STAKES/SET BACKS	12/19/92
2. TERMITE PROTECTION	
3. FOOTING - SLAB	
4. ROUGH PLUMBING	2-12-92
5. ROUGH ELECTRIC	2-12-92
6. LINTEL	
7. ROOF	3/19/92
8. FRAMING	2-12-92
9. INSULATION	2-13-92
10. A/C DUCTS	2-12-92
11. FINAL ELECTRIC	4-10-92
12. FINAL PLUMBING	4-10-92
13. FINAL CONSTRUCTION	4-10-92

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector Dale Brown 4/10/92 date

Approved by Building Commissioner [Signature] date

Utilities notified \_\_\_\_\_ date

Original Copy sent to \_\_\_\_\_

(Keep carbon copy for Town files)

**3152**

---

**SCREEN  
ENCLOSURE  
REINSTALL**



TOWN OF SEWALL'S POINT, FLORIDA

Permit No. \_\_\_\_\_

Date February 26, 1992

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner John Kennedy Present Address 3 Ridgeview

Phone (407) 286-8562 Sewells Pt. Florida

Contractor G & K Aluminum, Inc. Address 3110 S.E. Slater Street

Phone (407) 283-1297 Stuart Florida 34997

Where licensed Martin County License number SPA0122

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Screen Enclosure (RE-Install)

3 Ridgeview

State the street address at which the proposed structure will be built:

3 Ridgeview

Subdivision Ridgeview Lot number 3 Block number \_\_\_\_\_

Contract price \$ 2500.00 Cost of permit \$ \_\_\_\_\_

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Gene Cartwright

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

Date submitted \_\_\_\_\_ Approved: Dale Brown 3/11/92  
Building Inspector Date

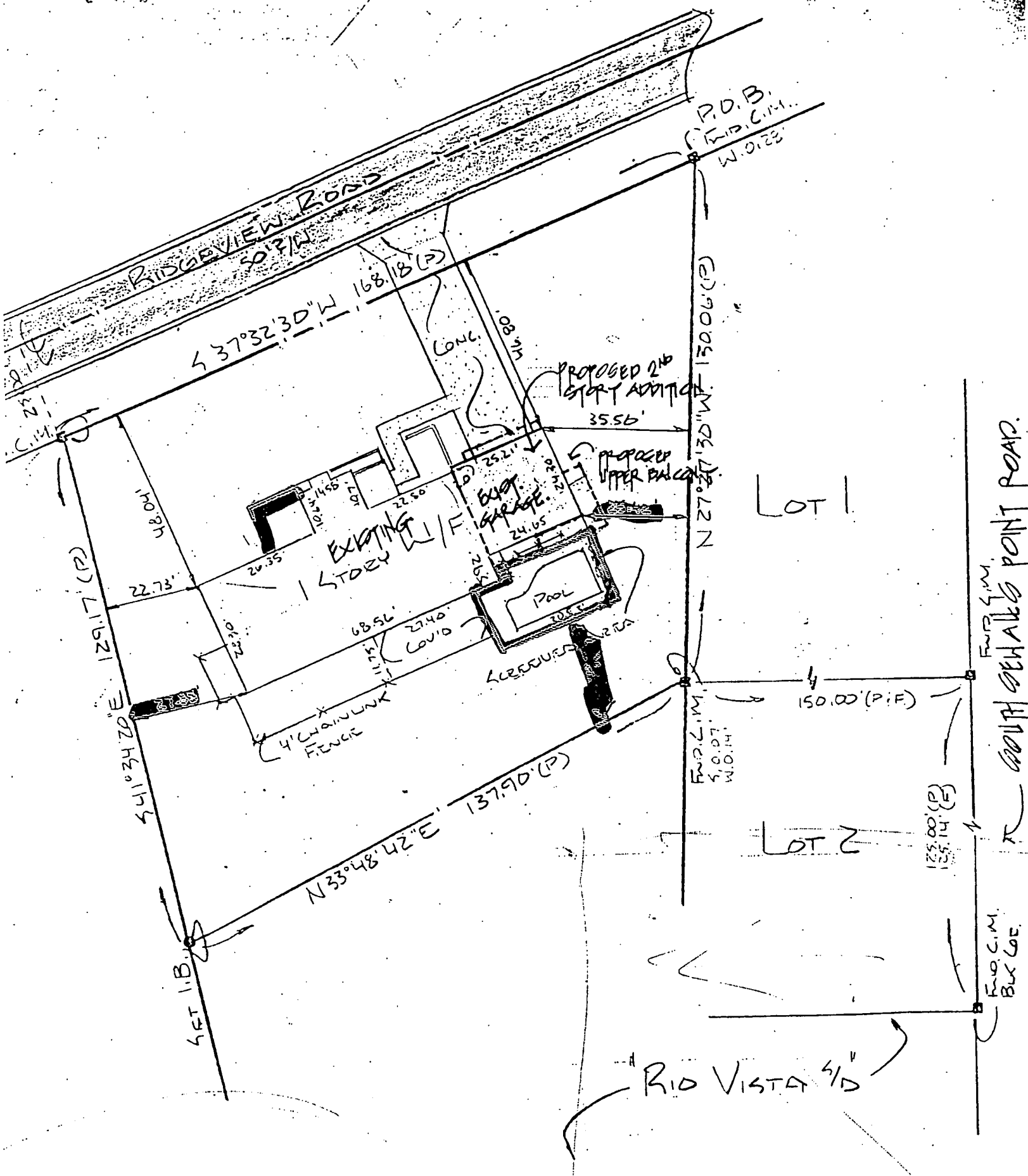
Approved: \_\_\_\_\_ Commissioner Date Final Approval given: \_\_\_\_\_ Date

Certificate of Occupancy issued (if applicable) \_\_\_\_\_  
Date

SP1282

Permit No. \_\_\_\_\_

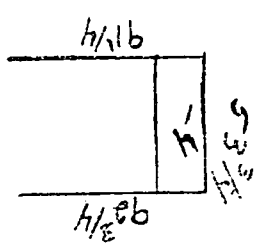
Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.



SITE PLAN

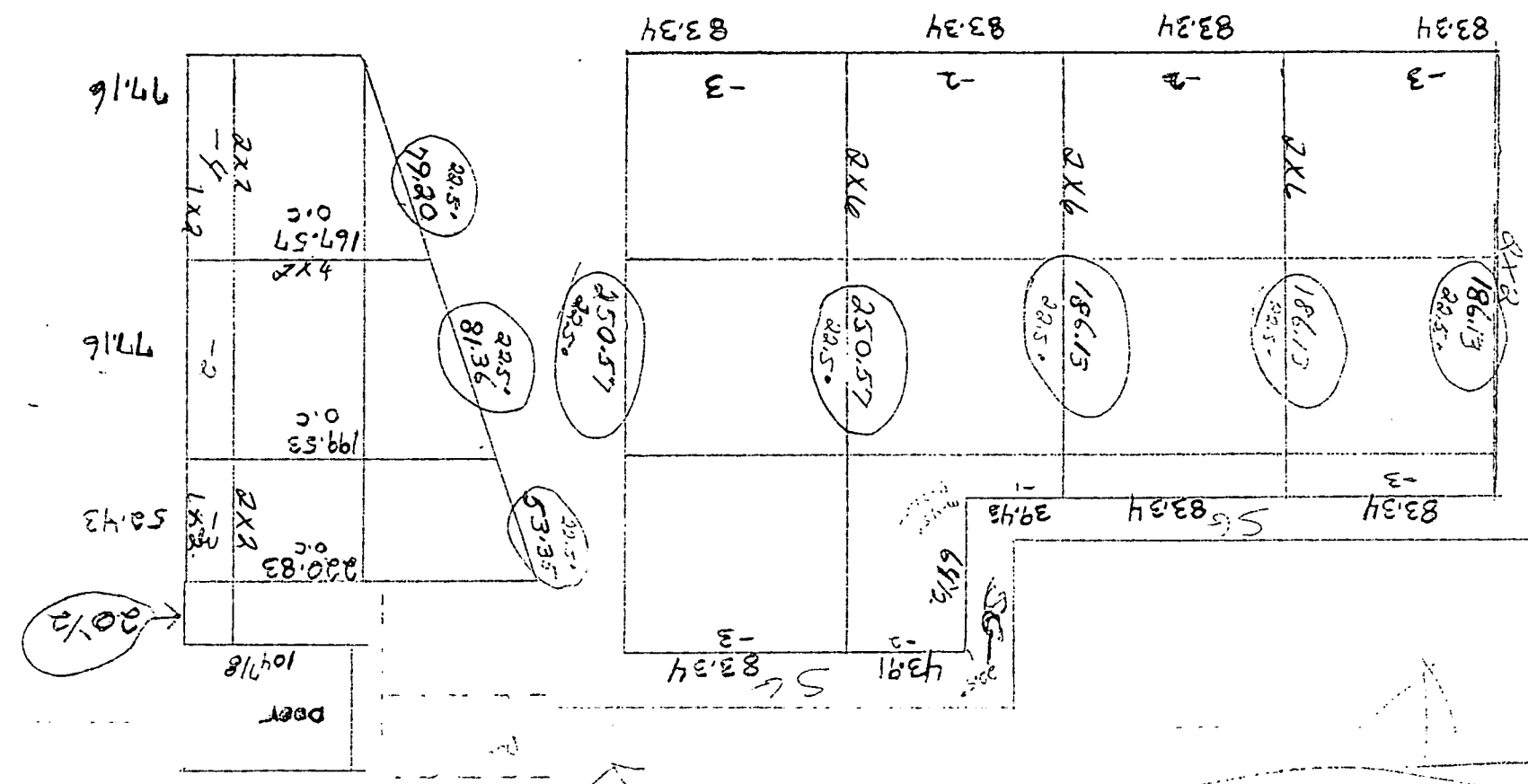
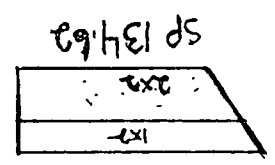
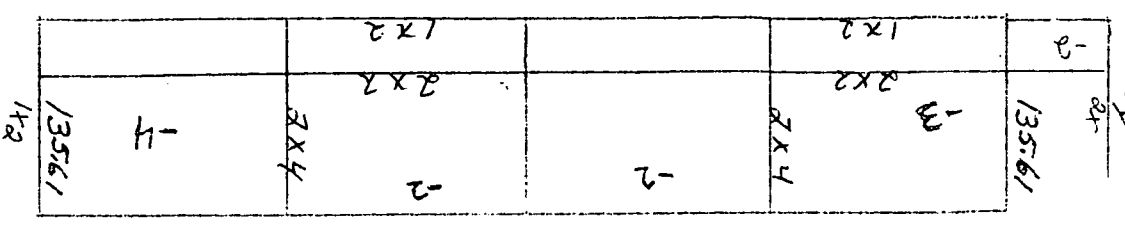
SCALE:

1" = 20.00'



FOV  
Kamran

S/S/Installation



10/7/18

DEER

9/1/16

7/7/16

5/2/13

20/2

Stogate

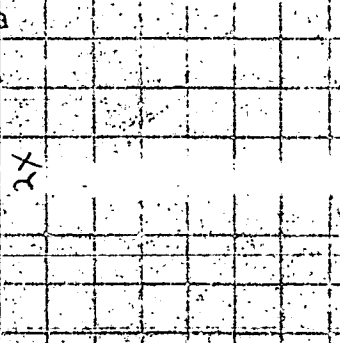
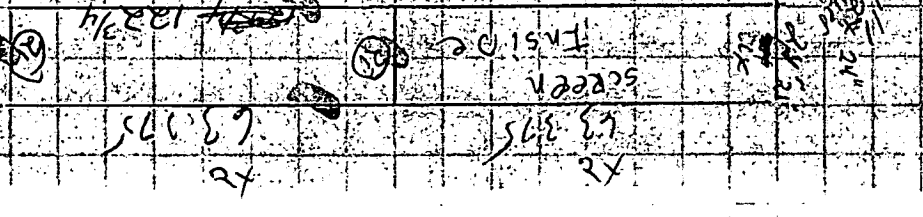
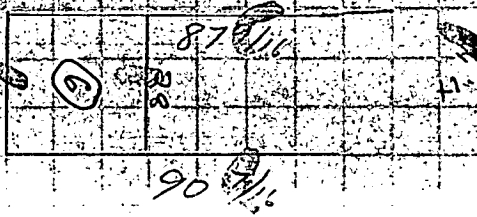
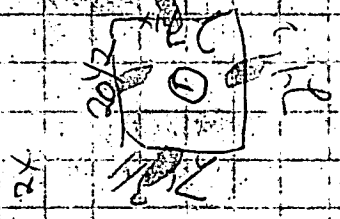
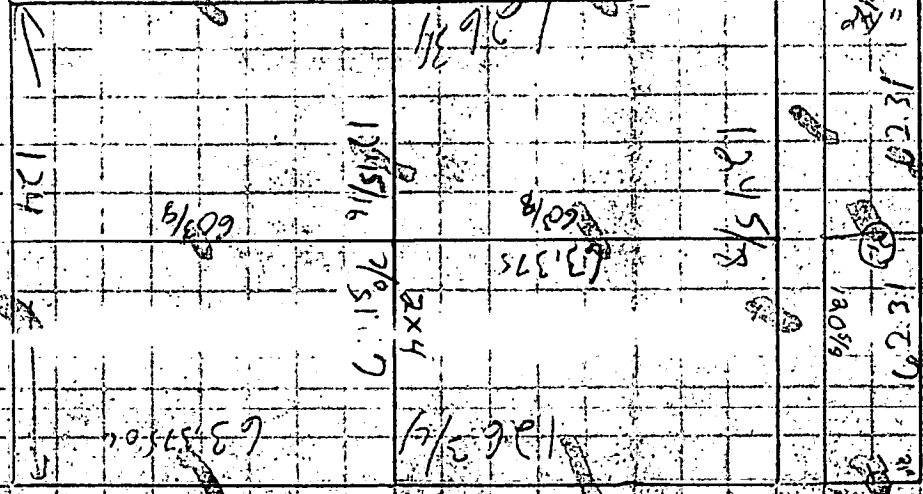
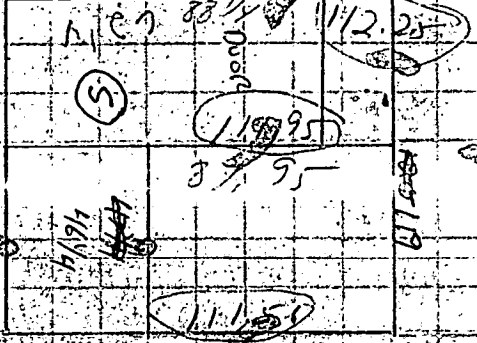
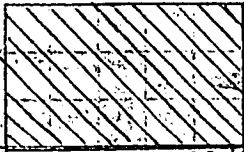
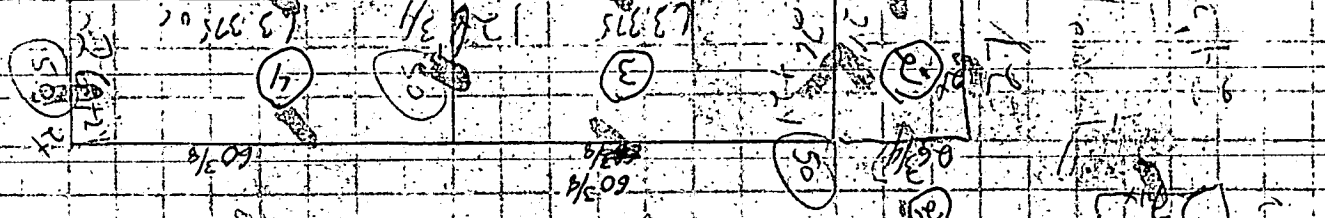
Installer no  
down spout  
this end

Installer Extra  
SG past facing AT THE  
End to match  
Long front set

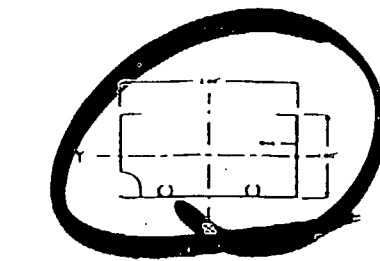
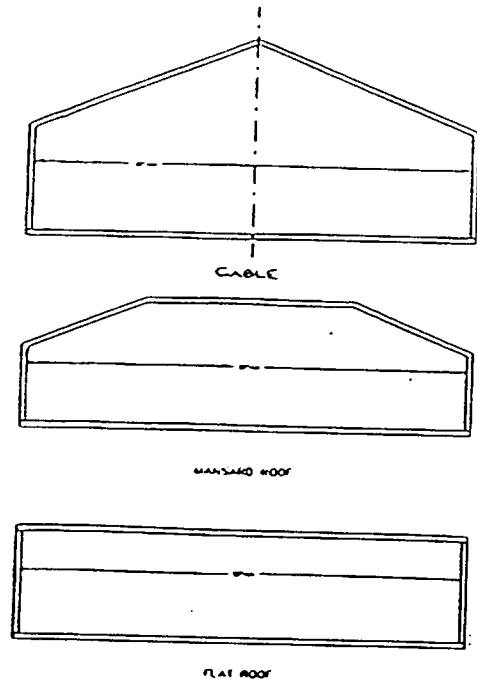
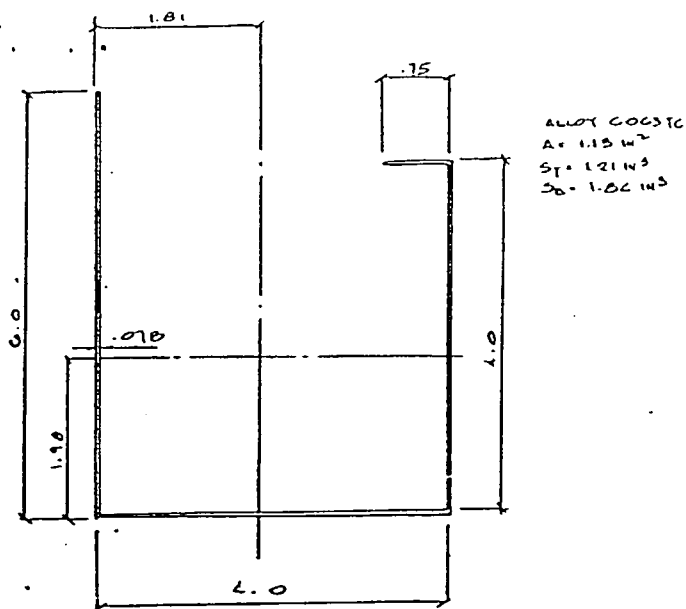
Tr. 4. Full 100 3310

62 1/4  
60 1/4  
60 1/4

Block Wall



Seaside Kennedy

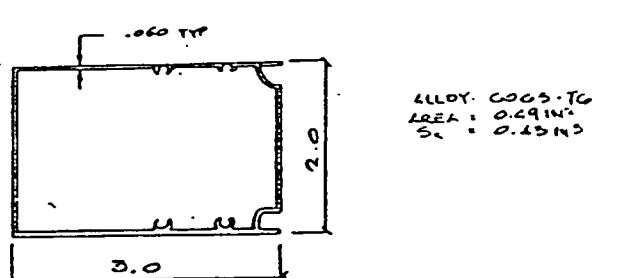


SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7/8" PER SF.			
5				
4	4'-0"			
5	5'-3"			
6	2'-0"			
7				
8				
9				
10				

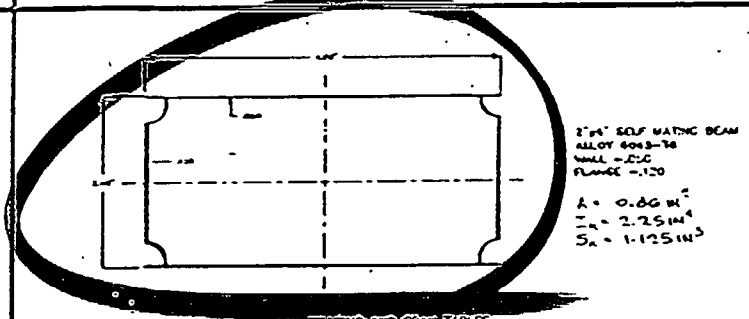
RECOMMENDED FOR APPROVAL  
 DATE OCT 8 1989  
 CONTROL NO. 89-6  
 BY [Signature]

SUPER GUTTER



SPACING	SCREEN ROOF 7/8" PER SF.	SCREEN WALL 1 1/2" PER SF.
3		
4	14'-2"	10'-0"
5	12'-9"	9'-5"
6	11'-8"	8'-7"
7	10'-9"	7'-11"
8	10'-1"	7'-6"
9	9'-0"	7'-0"
10	9'-0"	-

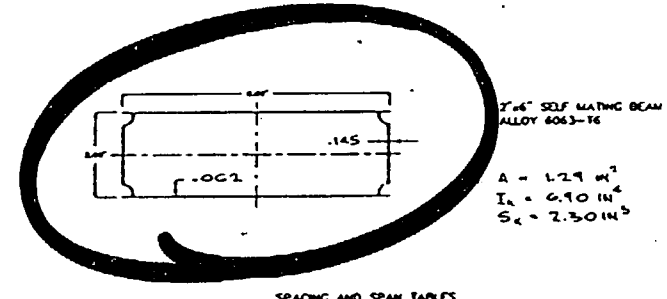
SPAN DEFINITION



SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7/8" PER SF.	SCREEN WALL 1 1/2" PER SF.
3		
4	22'-11"	15'-0"
5	20'-0"	14'-9"
6	18'-9"	13'-0"
7	17'-4"	12'-0"
8	16'-5"	11'-0"
9	15'-4"	11'-0"
10	14'-0"	10'-5"

1 1/2" OPEN BACK

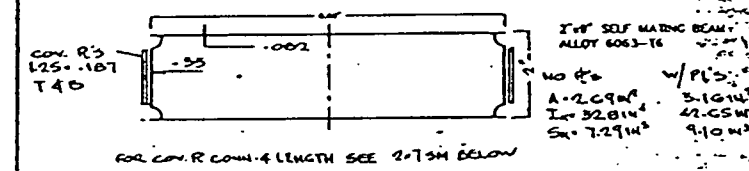


SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7/8" PER SF.	SCREEN WALL 1 1/2" PER SF.
3		
4		
5		
6	20'-5"	19'-0"
7	18'-5"	18'-1"
8	23'-0"	16'-11"
9	21'-9"	16'-0"
10	20'-7"	15'-2"

FOR GENERAL NOTES SEE SH. NO. 4 or 5

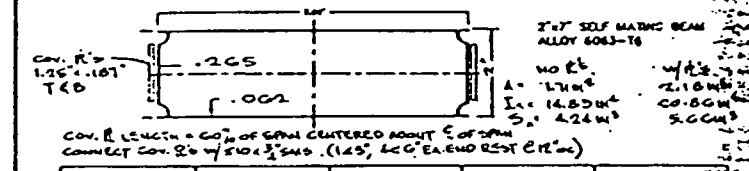
2"x2" PATIO BEAM



MAXIMUM CLEAR SPAN FOR SCREENED ROOF BEAMS AT VARIOUS BEAM SPACING

NO. R'S	5'-0"	5'-6"	6'-0"	7'-0"	7'-6"	8'-0"
w/PL'S	50'-11"	48'-0"	46'-0"	45'-0"	41'-0"	40'-5"
NO R'S	50'-4"	53'-8"	51'-5"	47'-7"	46'-0"	44'-0"

2"x9" SELF MATING BEAM



CON. R LENGTH + 60% OF SPAN CENTERED ABOUT E OF SPAN  
 CONNECT CON. R'S W/ 5/16" x 3/4" S.A.S. (1.25" L.C.G. EA. END REST ON RING)

SPACING	SCREEN ROOF NO CON. R'S	SCREEN ROOF W/ CON. R'S
3		
4		
5		
6	35'-7"	42'-4"
7	35'-0"	39'-2"
8	30'-10"	36'-8"
9	29'-1"	34'-7"
10	27'-7"	32'-9"

2"x3" SELF MATING BEAM

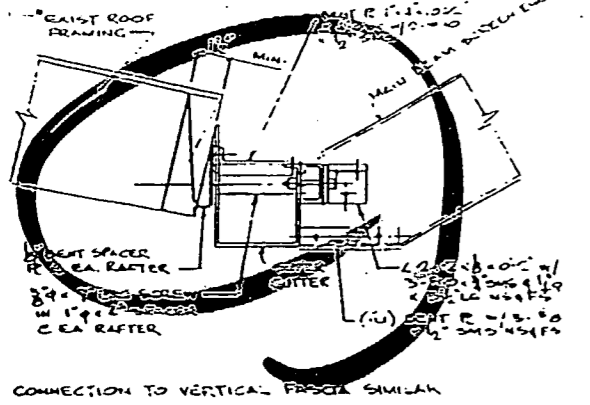
2"x4" SELF MATING BEAM

2"x6" SELF MATING BEAM

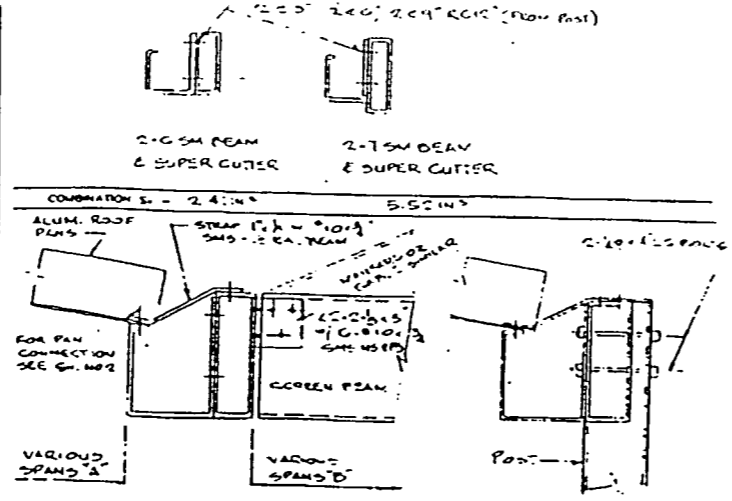
2"x7" SELF MATING BEAM

DATE	BY	DESCRIPTION

**PIONEER SCREEN CO.** FL  
 WILLIAM J. McGRAW PE CONSULTING ENGINEERS FL  
 TAMPA FL  
 ALUMINUM CONSTRUCTION DETAILS  
 DRAWN BY BM  
 CHECKED WJM  
 SCALE N.T.S.  
 DATE 9-5-89  
 JOB NO. [Signature] SEAL  
 SHEET 1 OF 3 SHEETS



CONNECTION TO VERTICAL FASCIA SIMILAR

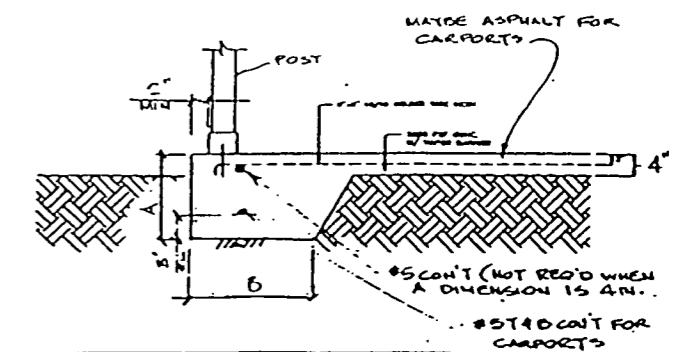
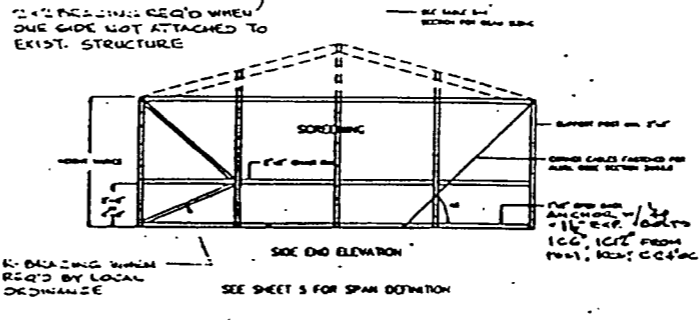
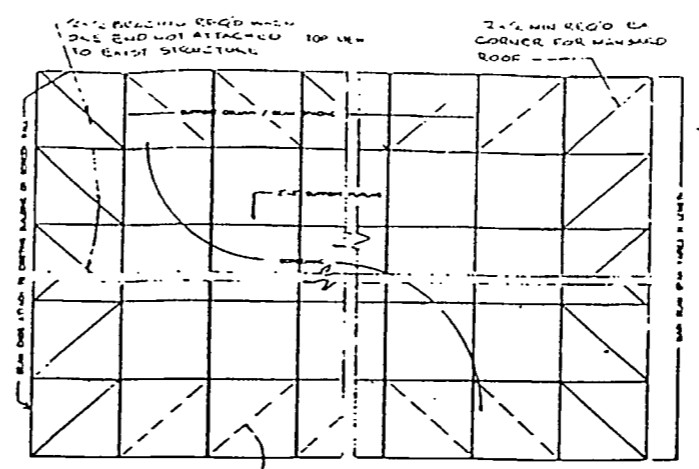


TYPICAL CONNECTION DETAILS

SPAN TABLE - FOR COMBINATION - SUPER GUTTER + 2\"/>

VARI- OUS SPANS OF ROOF PARTS 'A'	VARI- OUS SPANS OF SCREEN ROOFS 'B'									
	15'	20'	25'	30'	35'	40'	45'	50'	55'	60'
10'	14'-0"	15'-7"	17-4"	19-1"	20'-8"	22-5"	24-2"	25'-9"	27'-6"	29'-3"
12'	15'-0"	16'-7"	18-4"	20-1"	21'-8"	23-5"	25-2"	26'-9"	28'-6"	30'-3"
14'	15'-6"	17-3"	19-0"	20'-7"	22-4"	24-1"	25'-8"	27'-5"	29'-2"	30'-9"
16'	16'-0"	17'-7"	19-4"	21-1"	22'-8"	24-5"	26-2"	27'-9"	29'-6"	31'-3"
18'	16'-6"	18-3"	20-0"	21'-7"	23-4"	25-1"	26'-8"	28'-5"	30'-2"	31'-9"
20'	17'-0"	18'-7"	20-4"	22-1"	23'-8"	25-5"	27'-2"	28'-9"	30'-6"	32'-3"
22'	17'-6"	19-3"	21-0"	22'-7"	24-4"	26-1"	27'-8"	29'-5"	31'-2"	32'-9"
24'	18'-0"	19'-7"	21-4"	23-1"	24'-8"	26-5"	28'-2"	29'-9"	31'-6"	33'-3"
26'	18'-6"	20'-3"	22-0"	23'-7"	25-4"	27-1"	28'-8"	30'-5"	32'-2"	33'-9"
28'	19'-0"	20'-7"	22-4"	24-1"	25'-8"	27-5"	29-2"	30'-9"	32'-6"	34'-3"
30'	19'-6"	21-3"	23-0"	24-7"	26-4"	28-1"	29'-8"	31'-5"	33'-2"	34'-9"

INTERPOLATION BETWEEN SPANS IS PERMISSIBLE



BEAM	SCREEN ENCLOSURE		CARPORT ATTACHED	
	A	B	A	B
2x4 SM	4"	0"	1'-0"	1'-0"
2x6 SM	4"	0"	1'-3"	1'-3"
2x7 SM	8"	0"	1'-3"	1'-3"
2x9 SM	1'-0"	0"	1'-3"	1'-3"

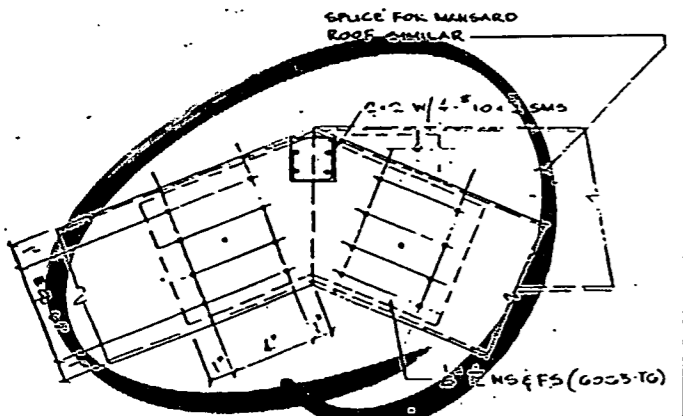
RI 9-6-90

**SUPER GUTTER - FASCIA ATTACHMENT**

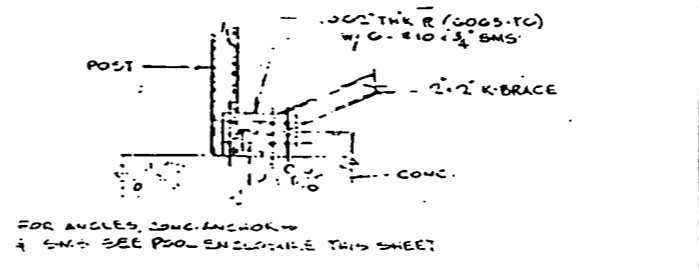
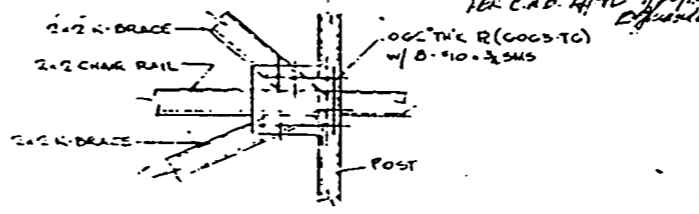
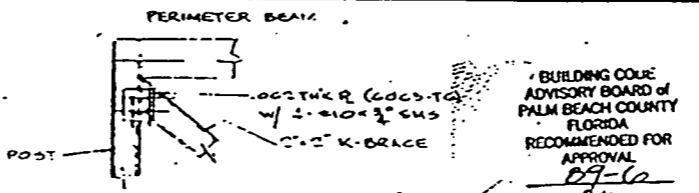
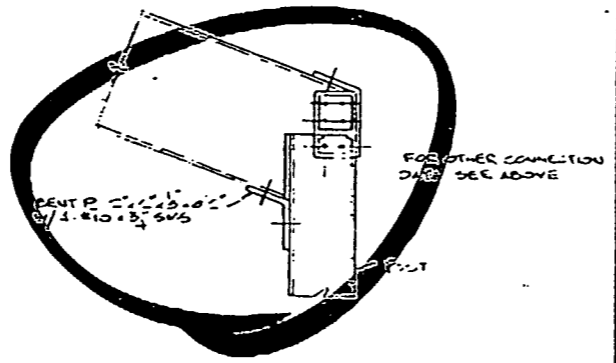
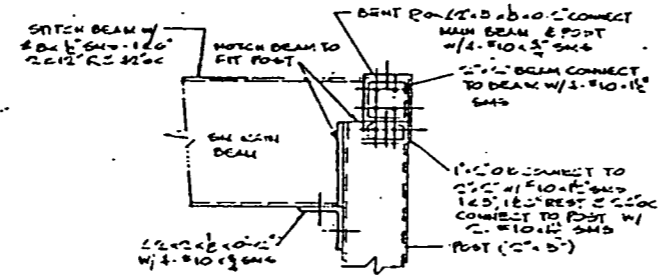
**CARRIER BEAM SPAN TABLE**

**POOL ENCLOSURE (TYPICAL)**

**EXISTING SLAB ON GRADE FOR SCREEN ENCLOSURES & ATTACHED CARPORTS**



- 2x6 SM BEAM - 6 - 14x 3/4 SWS NS & FS (TOTAL 24)
- 2x7 SM BEAM - 8 - 14x 3/4 SWS NS & FS (TOTAL 32)
- 2x9 SM BEAM - 10 - 14x 3/4 SWS NS & FS (TOTAL 40)



BUILDING CODE ADVISORY BOARD OF PALM BEACH COUNTY FLORIDA RECOMMENDED FOR APPROVAL  
 OCT 18 1989  
 Control No. 017-10  
 By *[Signature]*  
 Chairman  
 REVIEWED BY *[Signature]*  
 PER C.A.B. APPROVAL

BEAM SIZE	MAXIMUM CLEAR SPAN FOR SCREENED ROOF BEAMS @ VARIOUS SPACING							
	1'-0"	1'-6"	2'-0"	2'-6"	3'-0"	3'-6"	4'-0"	4'-6"
2\"/>								
2\"/>								
2\"/>								
2\"/>								
2\"/>								
2\"/>								
2\"/>								
2\"/>								

NOTE: THIS TABLE IS BASED ON:  
 WINDLOAD OF 120 MPH      UNIFORM - 7 LBS/SQ. FT.

**TYPICAL SPLICE DETAIL**

**TYPICAL POST TO BEAM CONNECTIONS FOR SCREEN ENCLOSURES**

**K-BRACING**

**SCREEN ROOF BEAM - SPAN TABLE S-1**

DATE	BY	DESCRIPTION
9/6/80	KJM	CHANGED A DIM 1'-0 TO 0"

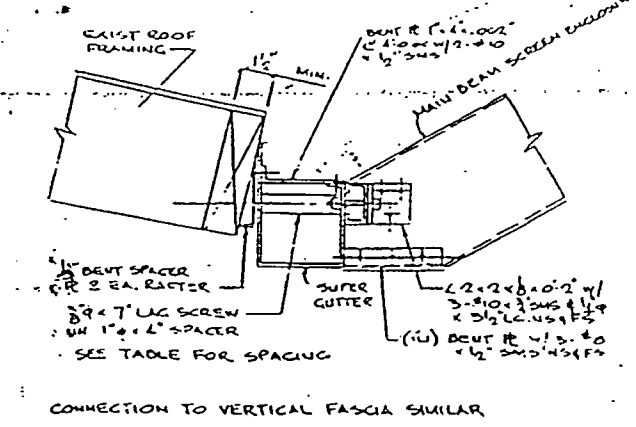
**PIONEER SCREEN CO.**  
 STUART FL

**WILLIAM J. MCGRAW PE**  
 CONSULTING ENGINEERS  
 TAMPA FL

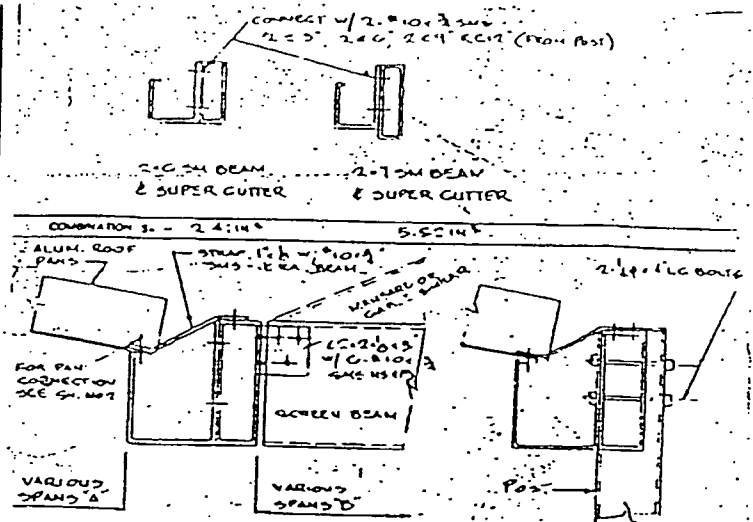
**ALUMINUM CONSTRUCTION DETAILS**

DRAWN	B.M.
CHECKED	W.J.M.
SCALE	N.T.S.
DATE	7/24/89
JOB NO.	

**SHEET 2**  
 of 3 SHEETS



BEAM SIZE	SPACING C. TO C.
2x4 SM	2'-0" OC
2x6 SM	2'-0" OC
2x7 SM	1'-0" OC
2x9 SM	1'-0" OC

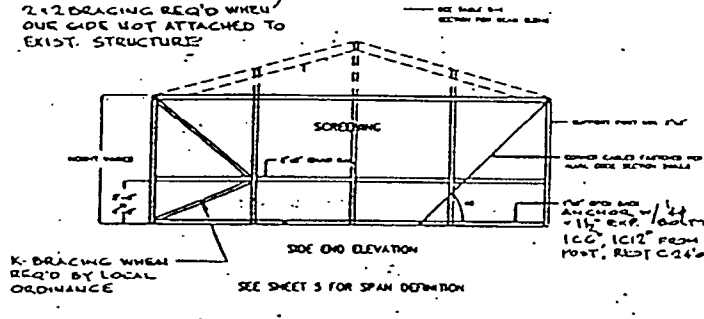
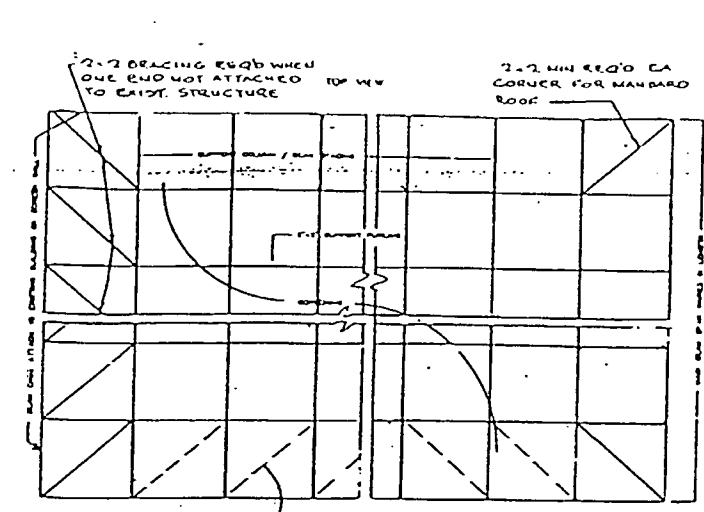


TYPICAL CONNECTION DETAILS

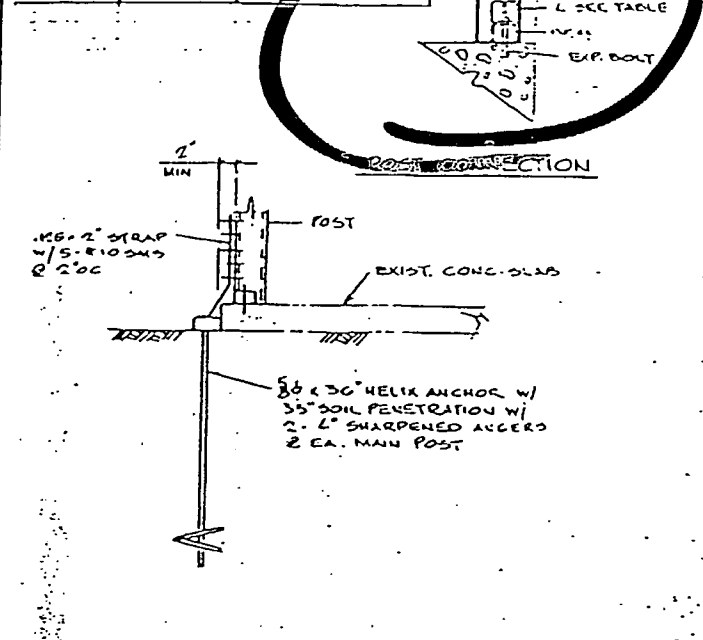
SPAN TABLE - FOR COMBINATION - SUPER CUTTER + 2x4 SM

VARIOUS SPANS OF ROOF PANS 'A'	VARIOUS SPANS OF SCREEN ROOF 'B'							
	15'	22'	26'	30'	34'	40'	44'	48'
2x4 SM	10'	16'	18'	19'	20'	21'	22'	23'
2x6 SM	12'	15'	17'	18'	19'	20'	21'	22'
2x7 SM	14'	17'	19'	20'	21'	22'	23'	24'
2x9 SM	16'	20'	22'	23'	24'	25'	26'	27'

INTERPOLATION BETWEEN SPANS IS PERMISSIBLE



BEAM	ANGLES	EXP. DOULTS
2x4 SM	45-45	1/4\"/>
2x6 SM	45-45	3/8\"/>
2x7 SM	45-45	1/2\"/>
2x9 SM	45-45	3/4\"/>

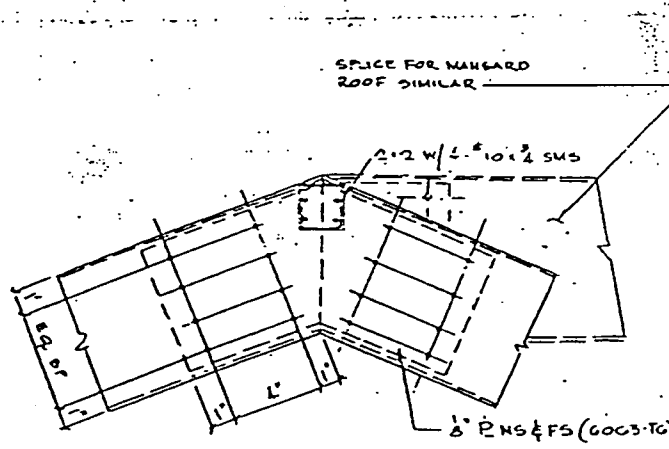


SUPER GUTTER - FASCIA ATTACHMENT

CARRIER BEAM SPAN TABLE

POOL ENCLOSURE (TYPICAL)

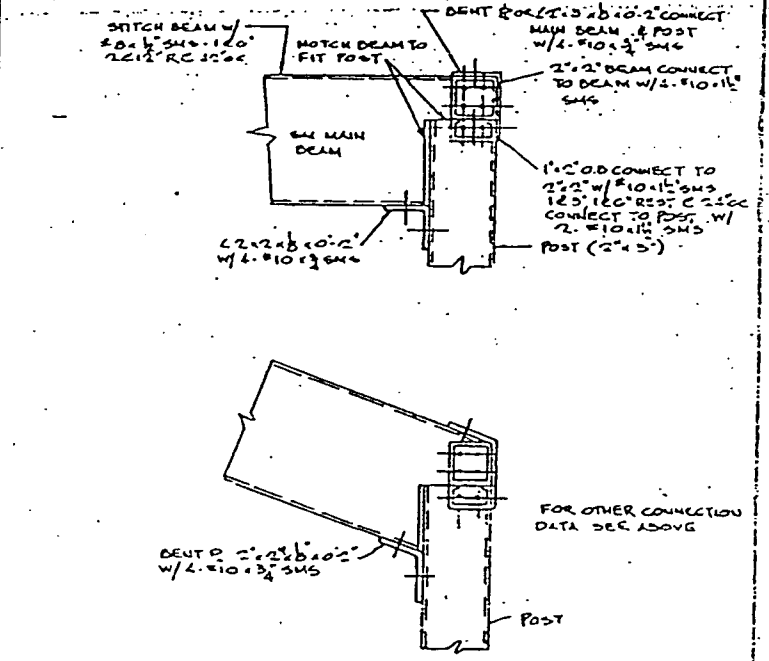
POOL ENCLOSURE & SCREEN ROOM WITH SCREEN ROOF



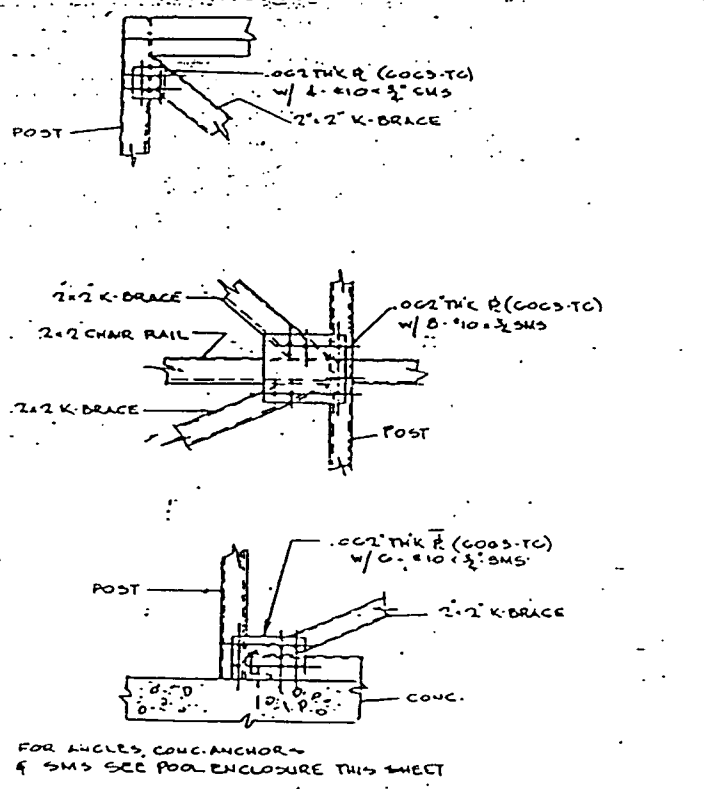
2x6 SM BEAM - 6 - #14 3/4\"/>

2x7 SM BEAM - 8 - #14 3/4\"/>

2x9 SM BEAM - 10 - #14 3/4\"/>



TYPICAL POST TO BEAM CONNECTIONS FOR SCREEN ENCLOSURES



K-BRACING

BEAM SIZE	MAXIMUM CLEAR SPAN FOR SCREENED ROOF BEAMS @ VARIOUS SPACING							
	10'	12'	14'	16'	18'	20'	22'	24'
2x4 SM BEAM S <sub>a</sub> = 1.125 IN <sup>2</sup>	22-1	20-0	19-7	18-9	18-0	17-4	16-9	16-5
2x6 SM BEAM S <sub>a</sub> = 2.30 IN <sup>2</sup>	-	-	-	26-5	25-7	24-5	23-10	23-0
2x7 SM BEAM S <sub>a</sub> = 4.24 IN <sup>2</sup>	-	-	-	35-7	34-3	33-0	31-10	30-10
2x7 SM BEAM W/ COG. R. S <sub>a</sub> = 6.35 IN <sup>2</sup>	-	45-9	43-0	41-9	40-1	38-0	37-4	36-2
2x9 SM BEAM S <sub>a</sub> = 7.9 IN <sup>2</sup>	-	50-11	48-0	46-0	44-4	43-0	41-0	40-5
2x9 SM BEAM W/ COG. R. S <sub>a</sub> = 9.10 IN <sup>2</sup>	-	56-4	53-0	51-5	49-4	47-7	46-0	44-0
2x9 SM BEAM W/ COG. R. S <sub>a</sub> = 11.0 IN <sup>2</sup>	-	62-3	58-2	56-5	54-0	52-0	50-0	48-9

NOTE: THIS TABLE IS BASED ON:  
 WIND LOAD OF 120 MPH      LIVE LOAD - 7 LBS/SQ. FT.

SCREEN ROOF BEAM - SPAN TABLE S-1

DATE	BY	DESCRIPTION
11/28/07	WJM	AS NOTED

**PIONEER SCREEN CO.**  
 STUART FL

**WILLIAM J. MCGRAW PE**  
 CONSULTING ENGINEERS  
 TAMPA FL

**ALUMINUM CONSTRUCTION**  
 DETAILS

DRAWN: BM  
 CHECKED: WJM  
 SCALE: N.T.S.  
 DATE: 7/24/09  
 JOB NO.:  
 3 OF 5 SHEETS

WARNER, FOX, SEELEY & DUNGEY

ATTORNEYS, P.A.

1100 S. FEDERAL HIGHWAY  
P.O. DRAWER 6  
STUART, FLORIDA 34995-0006  
(407) 287-4444  
TELEFAX (407) 220-1489

L. DENISE COFFMAN  
KENNETH W. FROMKNECHT, II  
BETH TEARDO PRINZ  
THOMAS R. SAWYER  
JAMES SOPKO  
TIM B. WRIGHT

RICHARD J. DUNGEY\*  
M. LANNING FOX\*  
JOHN T. KENNEDY\*\*  
ROBERT L. SEELEY  
GARY L. SWEET  
THOMAS E. WARNER\*\*

AARON A. FOOSANER  
OF COUNSEL

\*BOARD CERTIFIED REAL ESTATE LAWYER  
\*\*BOARD CERTIFIED CIVIL TRIAL LAWYER

ST. LUCIE COUNTY OFFICE  
BARNETT CENTER  
7601 S. FEDERAL HIGHWAY  
SUITE 400  
PORT ST. LUCIE, FLORIDA 34952  
(407) 878-3814  
TELEFAX (407) 879-6327

YVONNE M. KOEHLER, CLA

JUPITER (407) 744-6499  
VERO BEACH (407) 778-0211

VIA HAND DELIVERY

March 3, 1992

Seward R. Chardavoyne, Commissioner  
Town of Sewall's Point  
One South Sewall's Point Road  
Stuart, Florida 34996

Dear Commissioner Chardavoyne:

Pursuant to our conversation of February 28, 1992, enclosed herewith please find a copy of my AIA Contract with Seagate Builders. The contract does not specifically mention the pool enclosure; however, I was aware that the enclosure would have to be moved for construction and would be repaired to complete the construction. I am also enclosing a copy of the draw schedule, which shows a separate draw for the pool enclosure, and a copy of the subcontractor's contract for the pool enclosure. As you can see, the cost of the enclosure is less than 10% of the total contract cost.

I look forward to hearing from you. Thank you in advance for your kind attention to this matter.

Very truly yours,



John T. Kennedy

JTK/lp/2312K

Enclosures





AIA Document A101

# Standard Form of Agreement Between Owner and Contractor

where the basis of payment is a  
**STIPULATED SUM**

**1987 EDITION**

*THIS DOCUMENT HAS IMPORTANT LEGAL CONSEQUENCES; CONSULTATION WITH AN ATTORNEY IS ENCOURAGED WITH RESPECT TO ITS COMPLETION OR MODIFICATION.*

*The 1987 Edition of AIA Document A201, General Conditions of the Contract for Construction, is adopted in this document by reference. Do not use with other general conditions unless this document is modified.*

This document has been approved and endorsed by The Associated General Contractors of America.

## AGREEMENT

made as of the Eleventh day of December in the year of  
Nineteen Hundred and Ninety-one.

**BETWEEN** the Owner: Mr. & Mrs. John Kennedy  
*(Name and address)* #3 Ridgeview Road  
Stuart, Florida 34996

and the Contractor: Seagate Builders, Inc.  
*(Name and address)* 1320 South Federal Highway  
Stuart, Florida 34994

The Project is: Mr. & Mrs. John Kennedy  
*(Name and location)* #3 Ridgeview Road  
Stuart, Florida 34996

The Architect is: Armin Wessel Architects  
*(Name and address)*

The Owner and Contractor agree as set forth below.

Copyright 1915, 1918, 1925, 1937, 1951, 1958, 1961, 1963, 1967, 1974, 1977, ©1987 by The American Institute of Architects, 1735 New York Avenue, N.W., Washington, D.C. 20006. Reproduction of the material herein or substantial quotation of its provisions without written permission of the AIA violates the copyright laws of the United States and will be subject to legal prosecution.

**ARTICLE 1**  
**THE CONTRACT DOCUMENTS**

The Contract Documents consist of this Agreement, Conditions of the Contract (General, Supplementary and other Conditions), Drawings, Specifications, Addenda issued prior to execution of this Agreement, other documents listed in this Agreement and Modifications issued after execution of this Agreement; these form the Contract, and are as fully a part of the Contract as if attached to this Agreement or repeated herein. The Contract represents the entire and integrated agreement between the parties hereto and supersedes prior negotiations, representations or agreements, either written or oral. An enumeration of the Contract Documents, other than Modifications, appears in Article 9.

**ARTICLE 2**  
**THE WORK OF THIS CONTRACT**

The Contractor shall execute the entire Work described in the Contract Documents, except to the extent specifically indicated in the Contract Documents to be the responsibility of others, or as follows: These items are not included:

- 1) Landscape work,
- 2) Septic Tank work,
- 3) Foundation work,
- 4) Family room French doors,
- 5) Movement of existing air conditioning condensor,
- 6) Carpet/wood floors,
- 7) Master refrigerator,
- 8) Moving pool equipment,
- 9) Ceramic tile labor to complete,
- 10) Painting interior & exterior labor to complete,
- 11) Insulation labor to install,
- 12) Final & construction cleanup.

\*See Exhibit B - Article 7.3E

**ARTICLE 3**  
**DATE OF COMMENCEMENT AND SUBSTANTIAL COMPLETION**

3.1 The date of commencement is the date from which the Contract Time of Paragraph 3.2 is measured, and shall be the date of this Agreement, as first written above, unless a different date is stated below or provision is made for the date to be fixed in a notice to proceed issued by the Owner.

*(Insert the date of commencement, if it differs from the date of this Agreement or, if applicable, state that the date will be fixed in a notice to proceed.)*

within 10 days following receipt of building permit

Unless the date of commencement is established by a notice to proceed issued by the Owner, the Contractor shall notify the Owner in writing not less than five days before commencing the Work to permit the timely filing of mortgages, mechanic's liens and other security interests.

3.2 The Contractor shall achieve Substantial Completion of the entire Work ~~XXXXXX~~ in approximately 60 days.

*(Insert the calendar date or number of calendar days after the date of commencement. Also insert any requirements for earlier Substantial Completion of certain portions of the Work, if not stated elsewhere in the Contract Documents.)*

, subject to adjustments of this Contract Time as provided in the Contract Documents.

*(Insert provisions, if any, for liquidated damages relating to failure to complete on time.)*

NONE



**ARTICLE 4**  
**CONTRACT SUM**

4.1 The Owner shall pay the Contractor in current funds for the Contractor's performance of the Contract the Contract Sum of Forty-two Thousand Two Hundred and 00/100 Dollars (\$ 42,200.00), subject to additions and deductions as provided in the Contract Documents.

4.2 The Contract Sum is based upon the following alternates, if any, which are described in the Contract Documents and are hereby accepted by the Owner:

*(State the numbers or other identification of accepted alternates. If decisions on other alternates are to be made by the Owner subsequent to the execution of this Agreement, attach a schedule of such other alternates showing the amount for each and the date until which that amount is valid.)*

4.3 Unit prices, if any, are as follows:

OWNER SELECTION ALLOWANCES, which are included in the contract price:

Cabinetry	\$1,000.00
Lighting Fixtures & Fans	\$ 150.00



**ARTICLE 6**  
**FINAL PAYMENT**

Final payment, constituting the entire unpaid balance of the Contract Sum, shall be made by the Owner to the Contractor when (1) the Contract has been fully performed by the Contractor except for the Contractor's responsibility to correct nonconforming Work as provided in Subparagraph 12.2.2 of the General Conditions and to satisfy other requirements, if any, which necessarily survive final payment; and (2) a final Certificate for Payment has been issued by the Architect; such final payment shall be made by the Owner not more than ~~30~~<sup>10</sup> days after the issuance of the Architect's final Certificate for Payment, or as follows:

**ARTICLE 7**  
**MISCELLANEOUS PROVISIONS**

**7.1** Where reference is made in this Agreement to a provision of the General Conditions or another Contract Document, the reference refers to that provision as amended or supplemented by other provisions of the Contract Documents.

**7.2** Payments due and unpaid under the Contract shall bear interest from the date payment is due at the rate stated below, or in the absence thereof, at the legal rate prevailing from time to time at the place where the Project is located.

*(Insert rate of interest agreed upon, if any.)*

*(Usury laws and requirements under the Federal Truth in Lending Act, similar state and local consumer credit laws and other regulations at the Owner's and Contractor's principal places of business, the location of the Project and elsewhere may affect the validity of this provision. Legal advice should be obtained with respect to deletions or modifications, and also regarding requirements such as written disclosures or waivers.)*

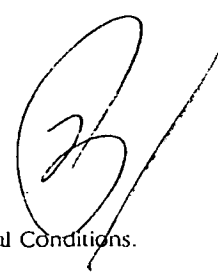
**7.3** Other provisions:

See Exhibit B

**ARTICLE 8**  
**TERMINATION OR SUSPENSION**

**8.1** The Contract may be terminated by the Owner or the Contractor as provided in Article 14 of the General Conditions.

**8.2** The Work may be suspended by the Owner as provided in Article 14 of the General Conditions.



**ARTICLE 9**  
**ENUMERATION OF CONTRACT DOCUMENTS**

9.1 The Contract Documents, except for Modifications issued after execution of this Agreement, are enumerated as follows:

9.1.1 The Agreement is this executed Standard Form of Agreement Between Owner and Contractor, AIA Document A101, 1987 Edition.

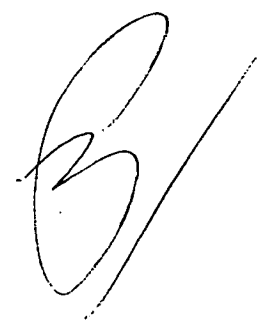
9.1.2 The General Conditions are the General Conditions of the Contract for Construction, AIA Document A201, 1987 Edition.

9.1.3 The Supplementary and other Conditions of the Contract are those contained in the Project Manual dated \_\_\_\_\_, and are as follows:

Document	Title	Pages
----------	-------	-------

9.1.4 The Specifications are those contained in the Project Manual dated as in Subparagraph 9.1.3, and are as follows:  
*(Either list the Specifications here or refer to an exhibit attached to this Agreement.)*

Section	Title	Pages
---------	-------	-------



9.1.5 The Drawings are as follows, and are dated  
(Either list the Drawings here or refer to an exhibit attached to this Agreement.)

unless a different date is shown below:

Number	Title	Date
#91973	Kennedy Residence Addition/Renovation	10/29/91

9.1.6 The Addenda, if any, are as follows:

Number	Date	Pages
--------	------	-------

Portions of Addenda relating to bidding requirements are not part of the Contract Documents unless the bidding requirements are also enumerated in this Article 9.

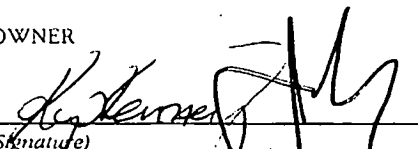
9.1.7 Other documents, if any, forming part of the Contract Documents are as follows:

*(List here any additional documents which are intended to form part of the Contract Documents. The General Conditions provide that bidding requirements such as advertisement or invitation to bid, Instructions to Bidders, sample forms and the Contractor's bid are not part of the Contract Documents unless enumerated in this Agreement. They should be listed here only if intended to be part of the Contract Documents.)*


1) Attached Specifications

This Agreement is entered into as of the day and year first written above and is executed in at least three original copies of which one is to be delivered to the Contractor, one to the Architect for use in the administration of the Contract, and the remainder to the Owner.

OWNER

  
(Signature)  
John T. Kennedy  
(Printed name and title)

CONTRACTOR

  
(Signature)  
Edward P. Polanski  
(Printed name and title)

ARTICLE 5

PROGRESS PAYMENTS

10% - Initial payment at time of contract signing	\$ 4,220.00
20% - Upon completion of demolition	8,440.00
20% - Upon completion of roof dryin	8,440.00
20% - Upon completion of rough mechanicals, rough ready for drywall	8,440.00
20% - Interior and exterior paint	8,440.00
10% - Completion	<u>4,220.00</u>
Total Payments	\$42,200.00





EXHIBIT "B"

7.3 A: All allowance values as stipulated herein in Article 5 are included at cost and any savings to the allowance amount will be reimbursed to the Owner. "Cost" is defined as Contractor's cost without regard to any overhead. The savings will consist of the difference between the actual invoice amount and the allowance value as noted herein of that particular item. Any increase to allowance will be billed at Contractor's actual cost amount plus a 10% overhead fee.

7.3 B: Specifications as prepared by Seagate Builders, Inc.

7.3 C: All allowance values are determined by plans, specifications or direct conversation with the Owner and priced by good faith estimating. These values could vary to a higher or lower degree. It is agreed and understood that if these values increase in any way, the Owner shall reimburse the Contractor according to Article 7.3A above.

7.3 D: It is agreed and understood that the site soil bearing capacity will be in a condition to accept said structure, and any and all costs, except as provided elsewhere, to bring the site to this condition shall be borne by the Owner and is in no way part of this contract.

7.3 E: All necessary coordination and supervision for items not included as listed in Article "2" is included. Owner shall not receive an invoice for this service.

7.3 F: For any changes to the plans and/or specification, Contractor has the option to charge 10% above and beyond cost to cover his overhead expenses.

7.3 G: It is agreed that Contractor has assumed all utilities are present at the site. Any additional cost to provide said utilities such as electrical power, cable television, telephone, etc, shall be borne by the Owner.

7.3 H: General conditions (A1A Document #A201) "Small Construction Contract"), Article 4 of General Conditions will apply only if Owner elects to pay all architectural fees directly to architect. If Owner does not elect to do so, the word "architect" throughout the General Conditions shall mean "Owner" or "Contractor".



NEW DRAW  
SCHEDULE  
TO BE  
SIGNED

SAVINGS AND LOAN ASSOCIATION  
SCHEDULE "A"

BORROWER: JOHN T KENNEDY LOAN NUMBER: 23434333

IMPROVEMENT FUNDS:

\$ 43,889.00

THE FOLLOWING AMOUNTS WILL BE DISBURSED WHEN CONSTRUCTION COMPLETED EQUALS THE PERCENTAGE SPECIFIED FOR THAT DRAW. THE ASSOCIATION'S INSPECTOR WILL DETERMINE THE PERCENTAGE OF COMPLETION USING THE BREAKDOWN BELOW, GIVING CREDIT FOR ITEMS INSPECTED AND ACCEPTED.

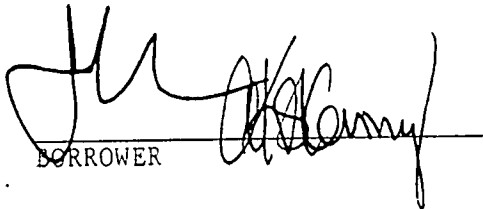
Draw #1 \$ 6,774.83 WHEN ROOF REMOVED AND FLOOR JOIST IN PLACE

DRAW #2 \$ 6,774.83 ROUGH PLUMBING, EXTERIOR WALLS IN PLACE, TRUSSES, WINDOWS, INTERIOR STUDS, ROOF DRIED-IN

DRAW #3 13,549.67 WHEN ROOF COMPLETED, SOFFIT/FACIA EXTERIOR COMPLETE, INSULATION COMPLETE, ROUGH ELECTRIC, DRYWALL ROUGH, CABINETS COMPLETE

DRAW #4 \$ 13,549.67 DRYWALL FINISH, CEILING COMPLETE PAINTING COMPLETE, WINDOW SILLS INTERIOR TRIM COMPLETE, ELECTRIC & PLUMBING COMPLETE, A/C COMPLETE, TILE COMPLETE, FLOOR COVERING, ADDITION COMPLETE

~~ROOF ENCLOSURE COMPLETE \$ 3,240.00~~

  
BORROWER

\_\_\_\_\_  
BUILDER

# G & K ALUMINUM, INC.

3110 S.E. SLATER STREET  
 STUART, FL 34997  
 STUART: 283-1297  
 JUPITER: 744-5707  
 FT. PIERCE: 466-2588

License #00122

*Commercial & Residential*  
*Screen Enclosures*  
*Pool Enclosures*  
*Rails*

CUSTOMER KENNEDY RLS PHONE \_\_\_\_\_ DATE 12/16 19991

MAILING \_\_\_\_\_ CITY \_\_\_\_\_

INSTALLATION ADDRESS H3 RIDGEVIEW CITY SENALE PT.

ROOF: <u>PITCHED</u>	GUTTER & D.S.:	PARCEL CONTROL #
WALL HT.:	SCREEN: <u>18/14</u>	
BEAMS: <u>2x6</u>	CHAIR RAIL: <u>36</u>	LEGAL DESCRIPTION
DOORS: <u>2</u>	COLOR: <u>BRONZE</u>	

1. For the total price including tax the seller agrees to fabricate, deliver and install any of the above products.
2. This proposal does not become a contract until accepted and signed by an officer of the seller-company, and if not accepted, any cash payment will be returned.
3. Price, terms and other elements of this proposal are good for 30 days from date and void thereafter at the seller's option.
4. No statement, warranty, implied or expressed, representation or agreement, written or verbal, not appearing upon the fact of this contract shall be binding upon the parties hereto.
5. Seller expressly reserves all contractors, mechanics and material man's lien which may be asserted under any provision of law to secure payment of the contract price and may assert and fix the same as lien upon the real property on which installation is made.
6. After your inspection and approval, payment will be paid upon completion of job.
7. In the event payment on this contract is enforced through attorneys or by suit or in bankruptcy or probate proceedings, seller may recover and purchaser hereby agrees to pay reasonable attorney fees and costs of court.
8. All sums not paid as due shall bear interest at 15% per annum and unless otherwise stated all sums become due and payable upon completion of work.
9. Seller agrees to take all reasonable steps to insure the fulfillment of orders received, but our performance is subject to delays or cancellations caused by war, accident, strikes, inability to secure labor and raw materials, fires, embargoes, transportation shortages and delays, government conscription, priorities, and restraint, failure on your part to give notice of your requirements and/or proper measurements and other information and all other causes whether of the same or different class affecting the whole or any part of seller's obligation hereunder.
10. Title, ownership and right to possession of said property described in this contract shall remain in G & K Aluminum, Inc. until the total amount of the contract price has been paid in full, and this contract shall be in default when any payment due hereunder shall not be paid when due. Such default shall entitle G & K Aluminum, Inc. if it so desires, to repossess the property described in this contract on demand and without notice and to retain all sums previously paid. It is understood and agreed that G & K Aluminum, Inc. shall not be responsible for any damage to the Purchaser's property caused by the removal of the property described in this contract from the premises of the Purchaser in order to repossess them.
11. Contractor or owners agree to supply electrical power at jobsite.
12. The undersigned acknowledges receipt of a true copy of this contract and acknowledges that he has read and understands the contents thereof and accepts the same on the terms and conditions stated herein.

SKETCH

*REPORT AND INSTALL NEW*

13. This contract shall be binding upon the parties hereto, their heirs, successors and assigns.
  14. Electrical grounding, if required, not a part of this contract.
  15. We are not responsible for building or structure walls that are not straight to accommodate our rails or screen enclosures.
  16. Customer has three days to cancel order.
  17. Balance to be paid upon completion.
  18. Metal Roof - No payment shall be withheld for any leaks.
  19. G & K Aluminum, Inc. has a right of refusal after field measurement due to job conditions.
  20. Any physical or verbal changes after signing must be approved in writing by both parties.
- 1/WE have read the foregoing proposed contracts and accept the same on the terms and conditions stated above.

CONTRACT PRICE 28700

INITIAL DEPOSIT \_\_\_\_\_

BALANCE UPON COMPLETION \_\_\_\_\_

ACCEPTED BY

By \_\_\_\_\_

AUTHORIZED G & K REPRESENTATIVE

By *[Signature]*

**5680**  
**RE-ROOF**

**TOWN OF SEWALL'S POINT**

MASTER PERMIT NO. 2/11

Date 2/11/02

BUILDING PERMIT NO. **5680**

Building to be erected for JOHN KENNEDY Type of Permit \_\_\_\_\_

Applied for by PACIFIC ROOFING (Contractor) Building Fee \_\_\_\_\_

Subdivision HOMEWOOD Lot 3 Block \_\_\_\_\_ Radon Fee \_\_\_\_\_

Address 3 S. RIDGEVIEW Rd. Impact Fee \_\_\_\_\_

Type of structure SFR A/C Fee \_\_\_\_\_

Parcel Control Number: \_\_\_\_\_ Electrical Fee \_\_\_\_\_

01-38-41-006-005-0003.0-9 Plumbing Fee \_\_\_\_\_

Amount Paid 120<sup>00</sup> Check # 8480 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 15000 Roofing Fee 120<sup>00</sup> TOTAL Fees \_\_\_\_\_

Signed John Gans  
Applicant

Signed \_\_\_\_\_  
Town Building Inspector  
**OFFICIAL**

**PERMIT**

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL    |
| <input type="checkbox"/> PLUMBING         | <input checked="" type="checkbox"/> ROOFING  | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE         |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS           |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION    |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL            | <input type="checkbox"/> ADDITION      |

**INSPECTIONS**

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	<u>3/11/02</u>

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Building Permit Number: \_\_\_\_\_

Owner or Titleholder Name: JOHN T. KENNEDY City: STUART State: FL Zip: 34996

Legal Description of Property: HOMEWOOD, A PORTION OF Lot 3: DEG. COR. Lt. 3 Parcel Number: 01-38-41-006-005-0003.0-9

Location of Job Site: 3 SOUTH RIDGEVIEW ROAD Type of Work To Be Done: RE-ROOF SHINGLES TO METAL S-V

CONTRACTOR/Company Name: PACIFIC ROOFING Phone Number: \_\_\_\_\_

Street: P.O. BOX 2697 City: STUART State: FL Zip: 34995

State Registration Number: \_\_\_\_\_ State Certification Number: CCC056793 Marin County License Number: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: 480 Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

Type Sewage: \_\_\_\_\_ Septic Tank Permit Number From Health Dept. \_\_\_\_\_ Well Permit Number: \_\_\_\_\_

FLOOD HAZARD INFORMATION Flood Zone: \_\_\_\_\_ Minimum Base Flood Elevation (BFE): \_\_\_\_\_ NGVD

Proposed First Floor Habitable Floor Finished Elevation: \_\_\_\_\_ NGVD (Minimum 1 Foot Above BFE)

COST AND VALUES Estimated Cost of Construction or Improvements: \$15,000 Estimated Fair Market Value (FMV) Prior

To Improvements: \_\_\_\_\_ If Improvement, Is Cost Greater Than 50% Of Fair Market Value YES \_\_\_\_\_ NO \_\_\_\_\_

SUBCONTRACTOR INFORMATION

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: PACIFIC ROOFING State: FL License Number: CCC056793

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNANCE, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION

Florida Building Code (Structural, Mechanical, Plumbing, Gas) \_\_\_\_\_ South Florida Building Code (Structural, Mechanical, Plumbing, Gas) \_\_\_\_\_

National Electrical Code \_\_\_\_\_ Florida Energy Code \_\_\_\_\_

Florida Accessibility Code \_\_\_\_\_

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (Required) [Signature]

State of Florida, County of: MARTIN

This the 7 day of FEB, 2002

by ROB ASTIN who is personally

known to me or produced \_\_\_\_\_

as identification. \_\_\_\_\_

Notary Public

My Commission Expires: \_\_\_\_\_

Seal

CONTRACTOR SIGNATURE (Required)

On State of Florida, County of: MARTIN

This the 7 day of FEB, 2002

by RICHARD J. GOMES who is personally

known to me or produced \_\_\_\_\_

As identification. \_\_\_\_\_

Notary Public

My Commission Expires: \_\_\_\_\_

Seal

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # \_\_\_\_\_

TAX FOLIO # 01-38-41-006-005-0003.0-9

**NOTICE OF COMMENCEMENT**

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

**LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):**

HOMEWOOD, A PORTION OF Lot 3: BEG NELY COR Lot 3, SWLY ALG

**GENERAL DESCRIPTION OF IMPROVEMENT:** RIE-ROOF

**OWNER:** JOHN AND ALLISON KENNEDY

**ADDRESS:** 3 SOUTH RIDGEVIEW ROAD STUART, FL 34986

**PHONE #:** \_\_\_\_\_ **FAX #:** \_\_\_\_\_

**CONTRACTOR:** PACIFIC ROOFING

**ADDRESS:** P.O. BOX 2697 STUART, FL 34985

**PHONE #:** 283-7663 **FAX #:** \_\_\_\_\_

**SURETY COMPANY (IF ANY):** \_\_\_\_\_

**ADDRESS:** \_\_\_\_\_

**PHONE #:** \_\_\_\_\_

**BOND AMOUNT:** \_\_\_\_\_

**LENDER:** \_\_\_\_\_

**ADDRESS:** \_\_\_\_\_

**PHONE #:** \_\_\_\_\_ **FAX #:** \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

**NAME:** \_\_\_\_\_

**ADDRESS:** \_\_\_\_\_

**PHONE #:** \_\_\_\_\_ **FAX #:** \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

**PHONE #:** \_\_\_\_\_ **FAX #:** \_\_\_\_\_

**EXPIRATION DATE OF NOTICE OF COMMENCEMENT:** \_\_\_\_\_  
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

[Signature]  
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 17 DAY OF FEB. 192002 BY KIP KENNEDY

OR  
PERSONALLY KNOWN   
PRODUCED ID \_\_\_\_\_  
TYPE OF ID \_\_\_\_\_

NOTARY SIGNATURE \_\_\_\_\_

# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)  
10/26/2001

PRODUCER (561)746-4546 FAX (561)746-9599  
 Tequesta Agency, Inc.  
 393 Tequesta Drive  
 Tequesta, FL 33469

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**INSURERS AFFORDING COVERAGE**

INSURED Pacific Roofing Corp., Inc.  
 PO Box 2697  
 Stuart, FL 34994

INSURER A: Transcontinental Insurance co.  
 INSURER B: Valley Forge Insurance Co.  
 INSURER C:  
 INSURER D:  
 INSURER E:

RECEIVED

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	C2020206931	10/28/2001	10/28/2002	EACH OCCURRENCE \$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GENL AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				FIRE DAMAGE (Any one fire) \$ 50,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
B	AUTOMOBILE LIABILITY	C2020206945	10/28/2001	10/28/2002	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000
	<input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$
	<input type="checkbox"/> ANY AUTO EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATU-TORY LIMITS <input type="checkbox"/> OTH-ER <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

CERTIFICATE HOLDER

ADDITIONAL INSURED; INSURER LETTER:

**CANCELLATION**

TOWN OF SEWALLS POINT  
 ATTN: ED ARNOLD  
 1 SOUTH SEWALLS POINT ROAD  
 STUART, FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE  
 Mark Kasten/DEBBIE

*[Signature]*



**ACCORD CERTIFICATE OF LIABILITY INSURANCE**

1/24/02 11:25:03 PM

**PRODUCER**  
 EileenJAN Risk Placements Inc.  
 105 South Bragg Street  
 McKinney, TX 75069  
 214-733-9645 fax: 425-671-4867

**INSURED**  
 Pacific Roofing Corporation  
 808 South East Dixie Hwy  
 Stuart, FL 34994  
 fax: 561-283-9505

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**INSURERS AFFORDING COVERAGE**

INSURER A: National Fire Insurance Company of Hartford  
 INSURER B:  
 INSURER C:  
 INSURER D:  
 INSURER E:

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSURER	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
	<b>GENERAL LIABILITY</b> <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO. <input type="checkbox"/> LOC.				EACH OCCURRENCE \$ BODY DAMAGE (Any one loss) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP-OP AGG \$
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (EA accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	<b>CARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$
	<b>EXCESS LIABILITY</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE \$ RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
A	<b>WORKERS COMPENSATION AND EMPLOYERS LIABILITY</b>	WC249189627	1/28/02	9/2/02	<input checked="" type="checkbox"/> NO STATE TOBY LIMITS E.L. EACH ACCIDENT \$ 2,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
	<b>OTHER</b> \$ \$				LIMIT \$ LIMIT \$

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS  
 1. Insured is afforded Workers Compensation & Employers Liability as a co-employer under the policy for employees leased from AMS Staff Leasing, Inc.

**CERTIFICATE HOLDER**      **ADDITIONAL INSURED: INSURER LETTER:**

**PACIFIC ROOFING CORPORATION**  
 808 SE DIXIE HIGHWAY  
 STUART, FLORIDA 34994

**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE *Keel C. Blum*

DATE BATCH NUMBER



GOMES, RICHARD JOHN  
PACIFIC ROBERTING CORP  
PO BOX 269Z  
STUART

JEB BUSH  
GOVERNOR

DISPLAY AS REQUIRED BY LAW

CYNTHIA A. HENDERSON  
SECRETARY

CC-C056793

RECEIVED  
SEP 23 2000  
BY: *[Signature]*

FILE  
*hef/ris*

**BUILDING CODE COMPLIANCE OFFICE**  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

**CONTRACTOR LICENSING SECTION**  
(305) 375-2527 FAX (305) 375-2558

**CONTRACTOR ENFORCEMENT DIVISION**  
(305) 375-2966 FAX (305) 375-2908

**PRODUCT CONTROL DIVISION**  
(305) 375-2902 FAX (305) 372-6339

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

Southeastern Metals Manufacturing Co., Inc.  
11801 Industry Drive  
Jacksonville, FL 32226

Your application for Notice of Acceptance (NOA) of:  
**5-V Crimp Metal Roofing Panels**  
under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 01-0313.19  
EXPIRES: 06/14/2006 ←

Raul Rodriguez  
Chief Product Control Division

**THIS IS THE COVERSHEET. SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS BUILDING CODE & PRODUCT REVIEW COMMITTEE.**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.  
Director  
Miami-Dade County  
Building Code Compliance Office

**FILE COPY**

**TOWN OF SEWALL'S POINT**

THESE PLANS HAVE BEEN  
REVIEWED FOR CODE COMPLIANCE

DATE: 2/11/02

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**BUILDING OFFICIAL**  
Gene Simmons

APPROVED: 06/14/2001

## Roofing System Approval

**Category:** Roofing      **Approval date:** June 14, 2001  
**Sub-Category:** Non-Structural Metal Roofing      **Expiration date:** June 14, 2006  
**Material:** Metal  
**Maximum Design Pressure:** -57.5 psf.

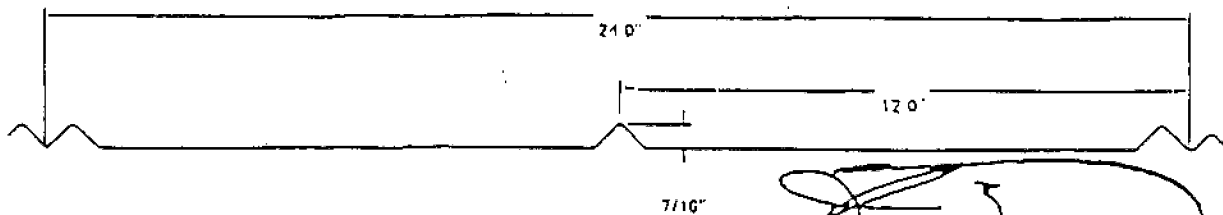
### TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
SV Crimp Metal Panels	Length : various Height : $\frac{7}{16}$ " Width : 24" Thickness : 0.0217	PA 125	Corrosion resistant, galvalume, perforated, standing seam, coated, pre-finished, metal panels.

### Evidence Submitted

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Construction Research Laboratory, Inc.	5898A	<u>Direct Deck Test</u> Uplift Pressure Testing ASTM E 330 Wind Driven Rain	Oct. 1993
Construction Research Laboratory, Inc.	5898B	<u>Over Battens Test</u> Uplift Pressure Testing ASTM E 330 Wind Driven Rain	Oct. 1993
Hurricane Test Laboratories, Inc.	0041-0102-98	UL -580 test PA 125	Jan. 1998

### "S-V CRIMP" METAL ROOF PANELS



Page 2

Frank Zuloaga, RRC  
 Roofing Product Control Examiner

**APPROVAL ASSEMBLY:**

- System:** "SV-Crimp" Metal Panels
- Deck Type:** Wood, Non-insulated
- Deck Description:**  $1\frac{9}{32}$ " or greater plywood or wood plank.
- Slope Range:** 2":12" or greater
- Maximum Uplift Pressure:** The maximum allowable design pressure for the 24" wide panel shall be -57.5 psf.
- Deck Attachment:** In accordance with applicable building code, but in no case it shall be less than # 8 x  $1\frac{1}{4}$ " screws or annular ring shank nails spaced at 6" o.c. In re-roofing, where deck is less than  $1\frac{9}{32}$ " thick (minimum  $1\frac{5}{32}$ "") the above attachment method must be in addition to existing attachment.
- Underlayment:** Minimum underlayment shall be a ASTM D 226 Type II installed with a minimum 4" side-laps and 6" end-laps. Underlayment shall be fastened with corrosion resistant tin-caps and  $1\frac{1}{4}$ " annular ring-shank nails, spaced 6" o.c. at all laps and two staggered rows 12" o.c. in the field of the roll.
- Valleys:** Valley construction shall be in compliance with Roofing Application Standard RAS 133 and with current published installation instructions and details in Southeastern Metal Manufacturing Metal Roofing Installation Manual.
- Fire Barrier Board:** For class A or B fire rating, install minimum  $\frac{1}{2}$ " thick Georgia Pacific "Dens Deck" (with current NOA) or minimum 4mm thick of Tritex, RockRoof (with current NOA) or  $\frac{5}{8}$ " water resistant type X gypsum sheathing with treated core and facer.
- Metal Panels and Accessories:** Install the "SV-Crimp Panels" and accessories in compliance with the current published installation instructions and details in Southeastern Metal Manufacturing Company's Installation Manual. Flashings, penetrations, valley construction and other details shall be constructed in compliance with Roofing Application Standard RAS133.



Frank Zuloaga, RRC  
Roofing Product Control Examiner

**SYSTEM LIMITATIONS**

1. Increased design pressures at perimeter and corner areas, in compliance with applicable building code may be met through rational analysis by increasing the number of attachment points in this areas. The maximum fastener spacing noted in the "Systems Description" section of this approval shall not be exceeded. All rational analysis computation shall be prepared, signed and sealed by a Florida Registered Professional Engineer, Registered Architect, or Registered Roof Consultant.
2. Panel shall be roll formed in continuous lengths from eave to ridge. Maximum lengths shall be described in the Roofing Application Protocol RAS 133.
3. All panels shall be permanently labeled with the manufacturer's name and/or logo, and the following statement: "Miami-Dade County Product Control Approved. All clips shall be permanently labeled with manufacturer's name, and/or logo, and/or model.

Page 4



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Frank Zuloaga, RRC  
Roofing Product Control Examiner

NOTICE OF ACCEPTANCE STANDARD CONDITIONS

1 Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.

2 Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approval", or as specifically stated in the specific conditions of this Acceptance.

3 Renewals of Acceptance will not be considered if:  
a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;  
b) The product is no longer the same product (identical) as the one originally approved;  
c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;

d) The engineer who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.

4 Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.

5 Any of the following shall also be grounds for removal of this Acceptance:  
a) Unsatisfactory performance of this product or process;  
b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.

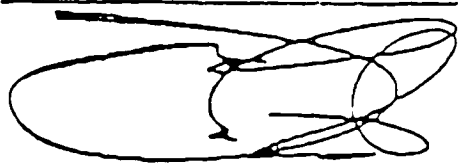
6 The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.

7 A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all times. The copies need not be rescaled by the engineer.

8 Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.

9 This Acceptance contains pages 2 through 5.

END OF THIS ACCEPTANCE







Frank Zuloyga, RRC

Roofing Product Control Examiner

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri February 18, 2008 Page 1 of   

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5391	PITTINOS 117 HENRY SEWALL WAY JMC	CO - FINAL		SPOKE W/ HELMUT ABOUT SWAPPING OUT COOR TOE  INSPECTOR:
5663	HORUN 11 PEAR WINKLE. DECOR.	SIDEWALKING. FRAMING.	Passal	  INSPECTOR: 
<del>5666</del>	<del>KENNEDY</del> 3 S. RIDGEVIEW RD. PACIFIC.	<del>SHEATHING</del>	Passal	partial  INSPECTOR: 
5469	DRUCKER. 1 PINEAPPLE. STUART ROOFING	SHEATHING & TINTAG.	Passal	9:00  INSPECTOR: 
5645	12 Copaire	Pool repair new dock	need: Permit Survey	new deck portion  INSPECTOR: 
				INSPECTOR:
				INSPECTOR:

OTHER: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri ~~THURSDAY~~, 2001; Page 1 of 2.


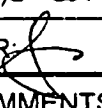
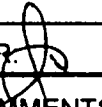
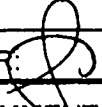
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5022	<del>SMITH</del>	<del>TRUSS ENCR A</del>	<del></del>	<del>CANCELED</del>
	<del>135 S. RIVER RD.</del>	<del>SNEATHWAY</del>	<del></del>	<del>FRIDAY</del>
	<del>M'CALLY</del>	<del></del>	<del></del>	INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5500	BUSHAR.	POOL DECK	Failed	
(2)	10 PALM COURT.			INSPECTOR:
	SCHILLER			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5455	ATEN.	DRIVEWAY	Passed	
(6)	103 ABIE CT.			INSPECTOR:
	GROBEN			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5363	JOHNSON	TEMP. POWER	Passed	? AC dies - ?
(1)	2 OAK HILL WAY			(at pipe!)
	DRIFTWOOD			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5631	HART	UNDERGROUND	Failed	
(4)	61 S. RIVER RD.	PLUMBING -		INSPECTOR:
	WINCHIP	EXISTING HOUSE		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5680	KENNEDY	TIN TAG	Passed	
(3)	3 S. RIDGEVIEW RD.	METAL		INSPECTOR:
	PACIFIC			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5611	DEGARMO.	TIN TAGS	Passed	
(7)	24 W. HIGH POINT			INSPECTOR:
	STUMPT.			


OTHER: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri ~~March 11~~, 2001; Page \_\_\_ of \_\_\_.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5488	Justice 18 Middle Rd.	Pool Pool	Failed	gates
(5)	Twin Pool			INSPECTOR:
5281	Harbor Bay Plaza	Roof Pine	? FAILED	wabdy !!?
(2)	Roof Man			INSPECTOR:
5631	Hart	Roofs	Passal	
(4)	61 S. River Winchip			INSPECTOR: 
5705	Clamouts 11 W High Pt.	int. gas rough	Passal	→ RO deck in ? Sed back
(6)	TR Coast Propue	747 9396		INSPECTOR: 
5541	MYLORD. 144 W SEWALL PT.	TRUSS ENGR. ROOF + WAM SHEATHING	Passal	(eng. verificat. !)
(1)	MYLORD.			INSPECTOR: 
5580	<del>KENNEDY</del>	<del>Roof FRM.</del>	<del>Passal</del>	
(3)	3 S. RIDGEVIEW RD. PACIFIC	283-7663		INSPECTOR: 
				INSPECTOR:

OTHER: 24 N. River T/R   
 11 Perriwinkle T/R

**10059**  
**CONDENSER**  
**CHANGEOUT**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	10059	DATE ISSUED:	APRIL 5, 2012
SCOPE OF WORK:	CONDENSOR CHANGEOUT		
CONTRACTOR:	NIS AIR		
PARCEL CONTROL NUMBER:	013841006-005-000309	SUBDIVISION	HOMEWOOD, L3, BL A
CONSTRUCTION ADDRESS:	3 S RIDGEVIEW RD		
OWNER NAME:	KENNEDY		
QUALIFIER:	PHIL NISA	CONTACT PHONE NUMBER:	466-8115

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE**  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS: 9:00AM TO 3:00PM – MONDAY THROUGH FRIDAY

### INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

341-7488

Permit Number: 10059

Date: 4.5.12

OWNER/TITLEHOLDER NAME: Alison Kennedy Phone (Day) 781-1166 (Fax) \_\_\_\_\_

Job Site Address: 3 Ridge View Rd South City: Stuart State: FL Zip: 34996

Legal Description \_\_\_\_\_ Parcel Control Number 01-38-41-006-005-000309

Owner Address (if different): 111 W Sewalls Pt Rd City: Stuart State: FL Zip: 34996

Scope of work (please be specific): CONDENSOR CHANGE OUT

**WILL OWNER BE THE CONTRACTOR?**  
(If yes, Owner Builder questionnaire must accompany application)  
YES \_\_\_\_\_ NO   
**Has a Zoning Variance ever been granted on this property?**  
YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO   
(Must include a copy of all variance approvals with application)

**COST AND VALUES** (Required on ALL permit applications)  
Estimated Value of Improvements: \$ 2485.00  
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
Is subject property located in flood hazard area? VE10  AE9  AE8  X  
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
(Fair Market Value of the Primary Structure only, Minus the land value)  
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: NISAIR A/C Phone 466-8115 Fax: 468-9745  
Street: 3700 S US Hwy 1 City: Stuart State: FL Zip: 34982

State License Number: CAC041199 OR Municipality: \_\_\_\_\_ License Number: CAC041199

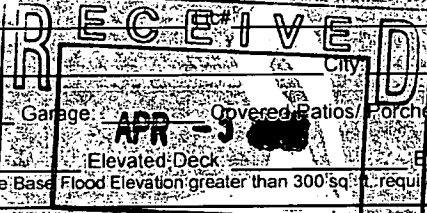
LOCAL CONTACT: Philp Nisa Jr Phone Number: \_\_\_\_\_

DESIGN PROFESSIONAL: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_  
Carport: \_\_\_\_\_ Total under Roof: \_\_\_\_\_ Elevated Deck: \_\_\_\_\_ Enclosed area below BFE: \_\_\_\_\_  
Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq ft require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas) 2006  
National Electrical Code: 2008 after 6/1/09 Florida Energy Code 2006 Florida Fire Prevention Code 2010



**NOTICES TO OWNERS AND CONTRACTORS:**

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY WHEN FINANCING. CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
- THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF: FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1, 5.

**\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\***

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)  
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED) COMMISSION EXPIRES \_\_\_\_\_  
State of Florida, County of: Martin  
This the 5th day of April 2012  
by Alison Kennedy #DD 978748  
known to me or produced FLDL# K530  
as identification. Valerie Meyer  
Notary Public

CONTRACTOR SIGNATURE: (required)  
On State of Florida, County of: \_\_\_\_\_  
This the 5th day of April 2012  
by Philp Nisa Jr who is personally  
known to me or produced \_\_\_\_\_  
As identification. Nichole Simmons  
NOTARY PUBLIC  
STATE OF FLORIDA  
My Commission Expires: \_\_\_\_\_  
Comm# EE133197

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL. NOTIFICATION # 3012045 ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**Martin County, Florida  
Laurel Kelly, C.F.A**

*generated on 4/5/2012 9:14:31 AM EDT*

**Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
01-38-41-006-005-00030-9	17671	3 S RIDGEVIEW RD, SEWALL'S POINT	\$348,510	3/31/2012

**Owner Information**

<b>Owner(Current)</b>	KENNEDY ALISON K
<b>Owner/Mail Address</b>	111 N SEWALLS POINT RD STUART FL 34996
<b>Sale Date</b>	8/11/2004
<b>Document Book/Page</b>	1929 2624
<b>Document No.</b>	1773215
<b>Sale Price</b>	0

**Location/Description**

<b>Account #</b>	17671	<b>Map Page No.</b>	SP-04
<b>Tax District</b>	2200	<b>Legal Description</b>	HOMWOOD, A PORTION OF LOT 3: BEG NELY COR LOT 3, SWLY ALG N/LN 168.18' TO NW COR, SELY ALG W/LN 129.17', NELY 137.90' TO E/LN & NWLY 130.06' TO POB
<b>Parcel Address</b>	3 S RIDGEVIEW RD, SEWALL'S POINT		
<b>Acres</b>	.4240		

**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120400 Hmwd,Palm Ro,Kngstn,Okwd, Pine

**Assessment Information**

<b>Market Land Value</b>	\$175,000
<b>Market Improvement Value</b>	\$173,510
<b>Market Total Value</b>	\$348,510



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

**Air Conditioning Change out Affidavit**

TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY

Residential  Commercial \_\_\_\_\_  
 Package Unit Yes \_\_\_\_\_ No  (Use Condenser side of form below for equipment listing)  
 Duct Replacement Yes \_\_\_\_\_ No  - Refrigerant line replacement Yes \_\_\_\_\_ No   
 Flushing Existing Refrigerant lines Yes \_\_\_\_\_ No  - Adding Refrigerant Drier Yes \_\_\_\_\_ No   
 Rooftop A/C Stand Installation Yes \_\_\_\_\_ No  - Curb Installation Yes \_\_\_\_\_ No   
 Smoke Detector in Supply (over 2000 CFM) Yes \_\_\_\_\_ No \_\_\_\_\_

**One form required for each A/C system installed**

**REPLACEMENT SYSTEM COMPONENTS**

**Air handler:** Mfg: \_\_\_\_\_ Model# \_\_\_\_\_  
 Volts \_\_\_\_\_ CFM's \_\_\_\_\_ Heat Strip \_\_\_\_\_ Kw \_\_\_\_\_  
 Min. Circuit Amps \_\_\_\_\_ Wire gauge \_\_\_\_\_  
 Max. Breaker size \_\_\_\_\_ Min. Breaker size \_\_\_\_\_  
 Ref. line size: Liquid \_\_\_\_\_ Suction \_\_\_\_\_  
 Refrigerant type \_\_\_\_\_  
 Location: Existing \_\_\_\_\_ New \_\_\_\_\_  
 Attic/Garage/Closet (specify) \_\_\_\_\_  
 Access: \_\_\_\_\_  
**(Contractor must provide ladder if required)**

**Condenser:** Mfg Goodman Model# GSC1304810  
 Volts 208 SEER/EER 13 BTU's 45500  
 Min. Circuit Amps 23.9 Wire gauge 8  
 Max. Breaker size 40 Min. Breaker size 25  
 Ref. line size: Liquid 3/8 Suction 7/8  
 Refrigerant type R-22  
 Location: Existing  New \_\_\_\_\_  
 Left/Right/Rear/Front/Roof \_\_\_\_\_  
 Condensate Location SWAB

**EXISTING SYSTEM COMPONENTS**

**Air handler:** Mfg: \_\_\_\_\_ Model# \_\_\_\_\_  
 Volts \_\_\_\_\_ CFM's \_\_\_\_\_ Heat Strip \_\_\_\_\_ Kw \_\_\_\_\_  
 Min. Circuit Amps \_\_\_\_\_ Wire gauge \_\_\_\_\_  
 Max. Breaker size \_\_\_\_\_ Min. Breaker size \_\_\_\_\_  
 Ref. line size: Liquid \_\_\_\_\_ Suction \_\_\_\_\_  
 Refrigerant type \_\_\_\_\_  
 Location: Ext. \_\_\_\_\_ New \_\_\_\_\_  
 Attic/Garage/Closet (specify) \_\_\_\_\_  
 Access: \_\_\_\_\_

**Condenser:** Mfg Lennax Model# 13ACC-048-230  
 Volts 208 SEER/EER N/A BTU's \_\_\_\_\_  
 Min. Circuit Amps 28.4 Wire gauge 8  
 Max. Breaker size 40 Min. Breaker size 25  
 Ref. line size: Liquid 3/8 Suction 7/8  
 Refrigerant type R-22  
 Location: Ext.  New \_\_\_\_\_  
 Left/Right/Rear/Front/Roof \_\_\_\_\_  
 Condensate Location SWAB

**Certification:**

I hereby certify that the information entered on this form accurately represents the equipment installed and further affirm that this equipment is considered matched as required by FBC - R (N)1107 & 1108

Signature [Signature]

Date 4.5.12



# Certificate of Product Ratings

AHRI Certified Reference Number: 3485851

Date: 4/5/2012

Product: Split System: Air-Cooled Condensing Unit, Coil Alone

Outdoor Unit Model Number: GSC130481B\*

Indoor Unit Model Number: CA\*F4860\*6B\*+EEP

Manufacturer: GOODMAN MANUFACTURING CO., LP.

Trade/Brand name: GOODMAN, JANITROL, AMANA DISTINCTIONS, EVERREST, ONE HOUR AIR CONDITIONING AND HEATING, ENERGI AIR

Manufacturer responsible for the rating of this system combination is GOODMAN MANUFACTURING CO., LP.

Rated as follows in accordance with AHRI Standard 210/240-2008 for Unitary Air-Conditioning and Air-Source Heat Pump Equipment and subject to verification of rating accuracy by AHRI-sponsored, independent, third party testing:

Cooling Capacity (Btuh):	45500
EER Rating (Cooling):	11.00*
SEER Rating (Cooling):	13.00

Federal law prohibits the sale and installation in United States of new R-22 systems. R-22 condensing units may, however, be sold uncharged and may be installed as replacement products.

\* Ratings followed by an asterisk (\*) indicate a voluntary rerate of previously published data, unless accompanied with a WAS, which indicates an involuntary rerate.

#### DISCLAIMER

AHRI does not endorse the product(s) listed on this Certificate and makes no representations, warranties or guarantees as to, and assumes no responsibility for, the product(s) listed on this Certificate. AHRI expressly disclaims all liability for damages of any kind arising out of the use or performance of the product(s), or the unauthorized alteration of data listed on this Certificate. Certified ratings are valid only for models and configurations listed in the directory at [www.ahridirectory.org](http://www.ahridirectory.org).

#### TERMS AND CONDITIONS

This Certificate and its contents are proprietary products of AHRI. This Certificate shall only be used for individual, personal and confidential reference purposes. The contents of this Certificate may not, in whole or in part, be reproduced; copied; disseminated; entered into a computer database; or otherwise utilized, in any form or manner or by any means, except for the user's individual, personal and confidential reference.

#### CERTIFICATE VERIFICATION

The information for the model cited on this certificate can be verified at [www.ahridirectory.org](http://www.ahridirectory.org), click on "Verify Certificate" link and enter the AHRI Certified Reference Number and the date on which the certificate was issued, which is listed above, and the Certificate No., which is listed below.



Air-Conditioning, Heating,  
and Refrigeration Institute

©2012 Air-Conditioning, Heating, and Refrigeration Institute

CERTIFICATE NO.:

129781016512771980





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**FLORIDA ENERGY CONSERVATION CODE**

**Mandatory Duct Inspection Certification for HVAC change-out**

For use when part of the duct and/or HVAC system has been replaced (Section 101.4.7.1.1 & FS 553.912)

Owner: Alison Kennedy Contractor name: NISAIR A/C  
 Street address: 35 Ridgeview Rd Jurisdiction: St. Lucie  
 City: Stuart Permit No.: \_\_\_\_\_  
 Zip: 34996 Final inspection date: \_\_\_\_\_

I certify that I have inspected the duct work associated with the HVAC unit referenced by the permit listed above and found it complies with the requirements of Section 101.4.7.1.1 as indicated below:

- Where needed, the existing ducts have been sealed using reinforced mastic or code-approved equivalent.
- Ducts are located within conditioned space. (Section 101.4.7.1.1 exception 1)
- The joints or seams are already sealed with fabric and mastic (Section 101.4.7.1.1 exception 2)
- System was tested (see below) and repairs were made as necessary – (Section 101.4.7.1.1 exception 3)

Signature: [Signature] Date: 4-5-12

Printed Name: Philip NISA JR

Contractor License #: CAC041199

I certified I have tested the replaced air distribution system(s) referenced by the permit listed above at a pressure differential of 25 Pascals (0.10 in. w.c.).

Signature: \_\_\_\_\_ Date: 4-5-12

Printed Name: Philip NISA JR

# Goodman®

Air Conditioning & Heating

# GSC13

## 13 SEER / R-22,

## 1½ - TO 5-TON

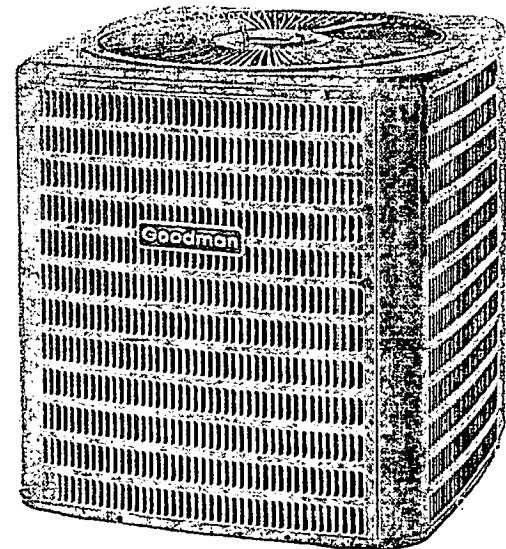
## SPLIT SYSTEM AIR CONDITIONER

### Standard Features

- Energy-efficient compressor
- Quiet condenser fan system
- Factory-installed liquid-line filter drier
- Copper tube/aluminum fin coil
- For use with R-22 refrigerant; charged with inert gas for shipping
- R-22 piston kit included
- Brass liquid and suction service valves with sweat connections
- Contactor with lug connections
- Ground lug connection
- ETL Listed

### Cabinet Features

- Louver design sound control top
- Steel louver coil guard
- Heavy-gauge galvanized-steel cabinet
- Attractive Architectural Gray powder-paint finish with 500-hour salt-spray approval
- When properly anchored, meets the 2001 Florida Building Code unit integrity requirements for hurricane-type winds (Anchor bracket kits available.)



### Contents

Nomenclature .....	2
Product Specifications .....	3
Performance Ratings .....	4
Dimensions .....	5
Wiring Diagram .....	6
Accessories .....	7



\*Complete warranty details available from your local dealer or at [www.goodmanmfg.com](http://www.goodmanmfg.com).



SPECIFICATIONS

	GSC13 0181F*	GSC13 0241F*	GSC13 0301E*	GSC13 0361G*	GSC13 0421B*	GSC13 0481B*	GSC13 0601C*
<b>COOLING CAPACITIES</b>							
Nominal Cooling (BTU/h)	18,000	24,000	30,000	36,000	42,000	48,000	57,000
Decibels	76	76	72	75	76	76	77
<b>COMPRESSOR</b>							
RLA / LRA	6.4 / 36	10.8 / 56	13.5 / 68	13.4 / 74	19.2 / 104	17.9 / 104	25 / 148
Type	Recip	Recip	Scroll	Recip	Scroll	Scroll	Scroll
<b>CONDENSER FAN MOTOR</b>							
Horsepower	1/8	1/8	1/8	1/6	¼	¼	⅙
FLA	0.7	0.7	0.7	1.1	1.5	1.5	1.1
<b>REFRIGERATION SYSTEM</b>							
Refrigerant Line Size							
Liquid Line Size ("O.D.)	¾"	¾"	¾"	¾"	¾"	¾"	¾"
Suction Line Size ("O.D.)	¾"	¾"	¾"	¾"	1½"	1½"	1½"
Refrigerant Connection Size							
Liquid Valve Size ("O.D.)	¾"	¾"	¾"	¾"	¾"	¾"	¾"
Suction Valve Size ("O.D.) <sup>3</sup>	¾"	¾"	¾"	¾" <sup>3</sup>	¾" <sup>4</sup>	¾" <sup>4</sup>	¾" <sup>4</sup>
Valve Type	Sweat	Sweat	Sweat	Sweat	Sweat	Sweat	Sweat
Refrigerant Charge	75	77	66	77	95	102	167
<b>ELECTRICAL DATA</b>							
AC Volts/ Hz	208-230/ 60	208-230/ 60	208-230/ 60	208-230/ 60	208-230/ 60	208-230/ 60	208-230/ 60
Min. Circuit Ampacity <sup>1</sup>	8.7	14.2	17.6	17.9	25.5	23.9	32.3
Max. Overcurrent Device <sup>2</sup>	15	25	30	30	40	40	50
Min / Max Volts	197/253	197/253	197/253	197/253	197/253	197/253	197/253
Electrical Conduit Size	½" or ¾"	½" or ¾"	½" or ¾"	½" or ¾"	½" or ¾"	½" or ¾"	½" or ¾"
<b>SHIP WEIGHT (LBS)</b>	135	130	136	177	185	193	242

<sup>1</sup> Wire size should be determined in accordance with National Electrical Codes; extensive wire runs will require larger wire sizes

<sup>2</sup> Must use time-delay fuses or HACR-type circuit breakers of the same size as noted.

<sup>3</sup> Installer will need to supply ¾" to ¾" adapters for suction line connections.

<sup>4</sup> Installer will need to supply ¾" to 1½" adapters for suction line connections.

**NOTES**

- Always check the S&R plate for electrical data on the unit being installed.
- Charge with refrigerant charge listed on S&R plate; 15' of ¾" line included in this charge. System charge must be adjusted per Installation Instructions Final Charge Procedure.

[Click here to download a PDF of this report](#)

### Customer Information

**Location:**

Street Address 3 south ridgeview road, MARTIN, FL 34996  
 Latitude, Longitude 26.6726°, -80.0706°

Name: alison kennedy  
 Phone: 772-781-1166  
 Email: example@mail.com

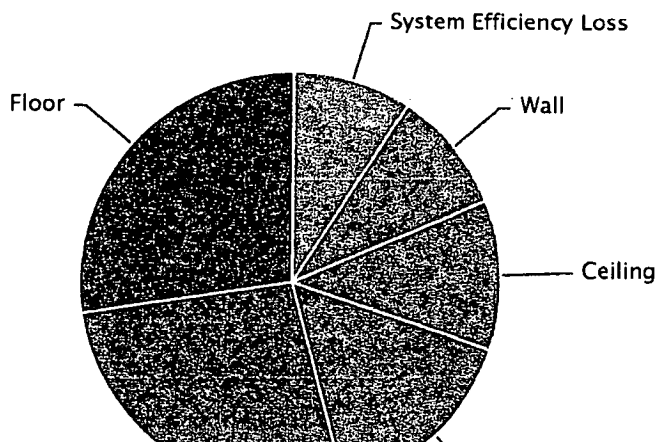
### Design Conditions

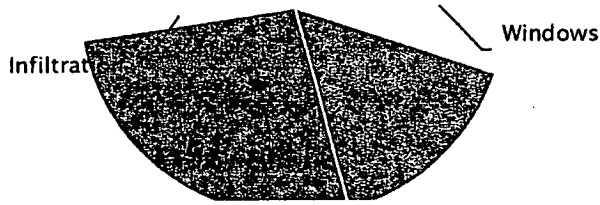
Outdoor	Heating	Cooling
Dry bulb (°F)	47	90
Daily range		M
Relative humidity		50%
Moisture difference		64
Indoor	Heating	Cooling
Indoor temperature (°F)	70	75
Design temperature difference(°F)	23	15

### Heating Loads

Area	Btuh	% of load
Wall	2130	9.5
Floor	6150	27.4
Ceiling	2587	11.5
Windows	3519	15.7
Infiltration	5991	26.7
System Efficiency Loss	2038	9.1
<b>Total:</b>	<b>22415</b>	

Heating Loads  
 22,415 BTU/hr



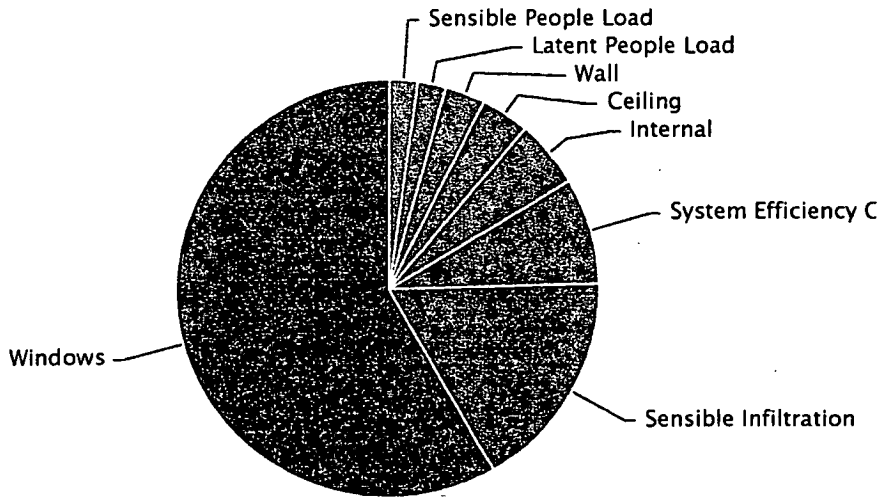


### Cooling Loads

Area	Btuh	% of load
Wall	1389	3.1
Ceiling	1687	3.7
Windows	26323	58.3
Sensible Infiltration	7730	17.1
System Efficiency Gain	3713	8.2
Internal	2381	5.3
Sensible People Load	976	2.2
Latent People Load	976	2.2
<b>Total:</b>	<b>45175</b>	
Sensible load	44199	
Latent load	976	
SHR	0.98	
Capacity at .75 SHR	4.91 Tons	

### Cooling Loads

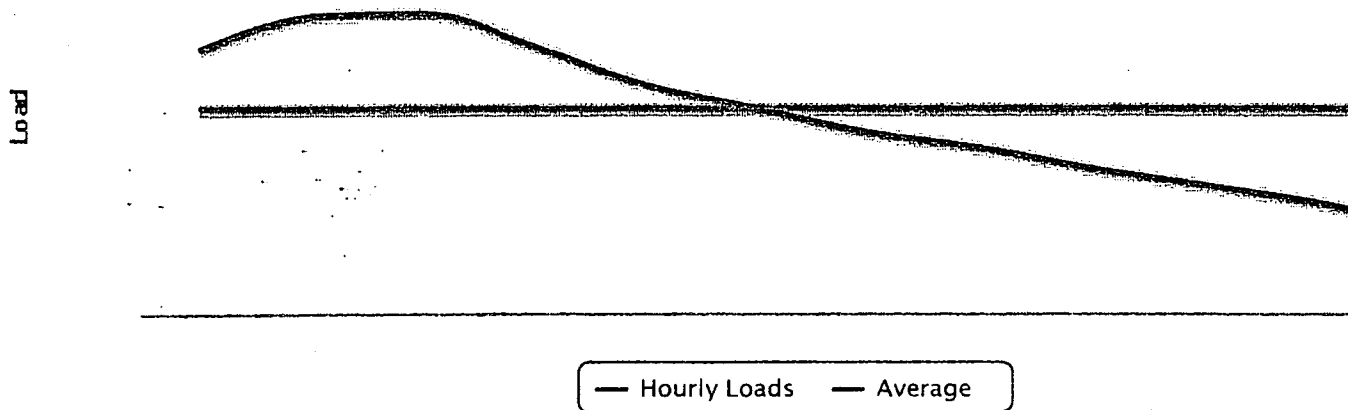
45,175 BTU/hr



### Adequate Exposure Diversity

AED Graph

50000



All calculations based on the ACCA Manual J 8th Edition. All computed results are Estimates. Product provided by Energy Design Systems and Idea Tree

# THE METAL SHOP

Custom Metal Manufacturer

Consulting Engineer:

Douglas W. Lowe, P.E.  
FLA# 13355  
1206 Millennium Parkway  
Brandon, FL 33511

## ANCHOR CLIPS Installer's Guide

**WARNING: HAZARDOUS VOLTAGE - DISCONNECT POWER BEFORE SERVICING**

### PART NUMBER

670 (4 pk)

674 (100 box)

670 (4 pk including hardware)

### CONSTRUCTION

16 gauge galvanized steel, G-90 rated for corrosion coastal applications.

### PACKAGING DETAILS

All anchor clips are supplied as per package quantities described above.

### INSTALLATION

Minimum of 4 clips required per condenser unit.  
Minimum of 2 #14 x 3/4" screws with neoprene washer required to fasten clip to condenser unit.

1/4" x 1 3/4" Tapcon screw required to fasten clip to condenser pad.

Locate the anchor clips to fit comfortably between condenser unit and pad.

Adjust clip accordingly to fit on condenser unit and screw together, at the same time ensuring that the base of the clip is still in contact with the pad.

All hardware must be fastened prior to connecting refrigerant lines and electrical power to the unit.  
Suitable for ground mounted units.

Anchor clip design meets requirements of The Florida Building Code 2007 (Building)

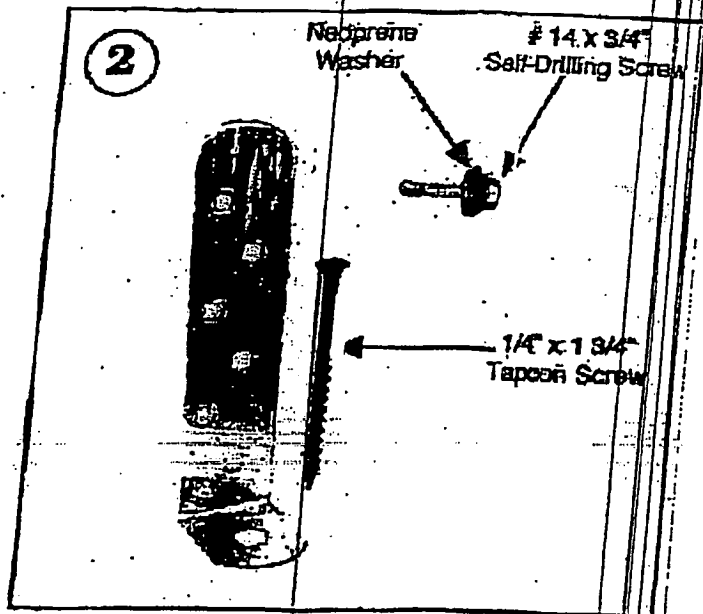
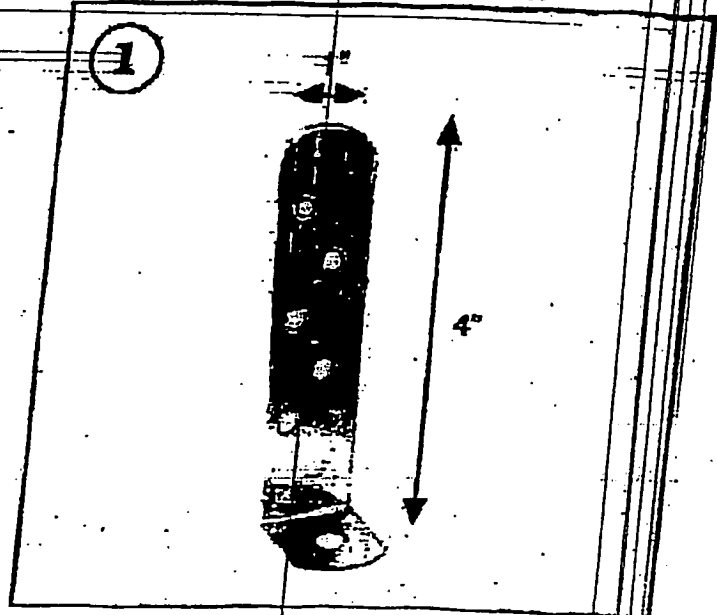
Chapter 901.12 for wind resistance up to 140 MPH.

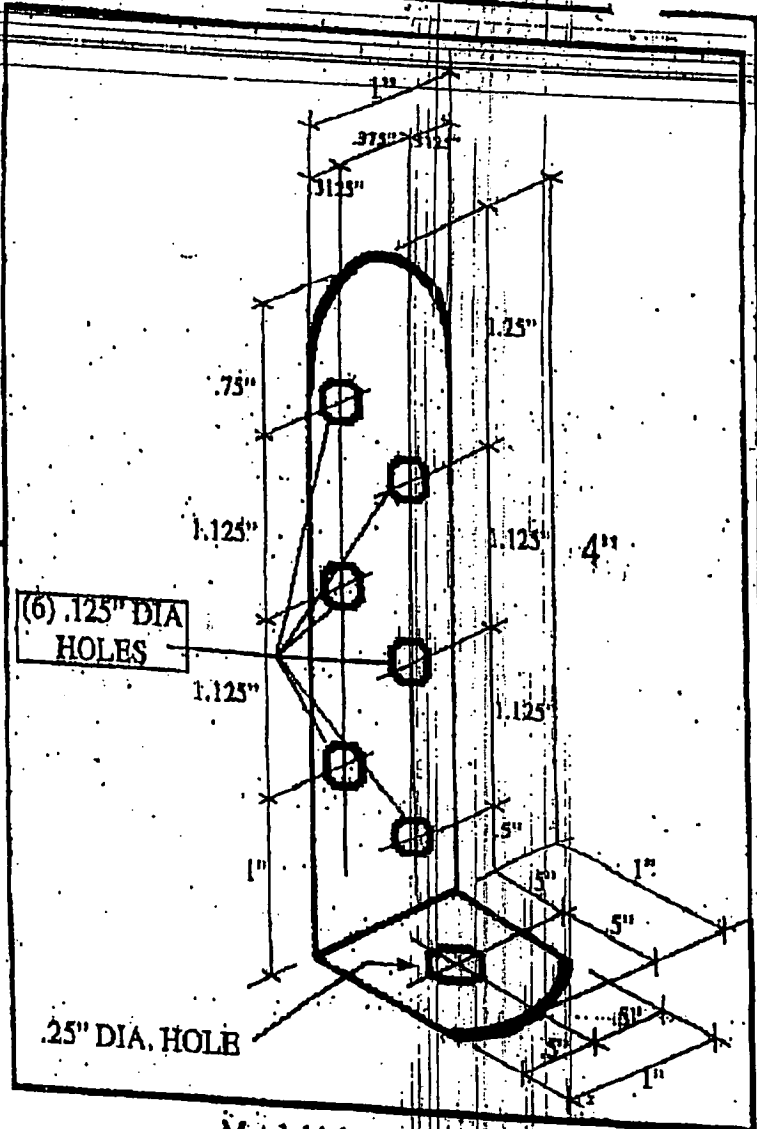
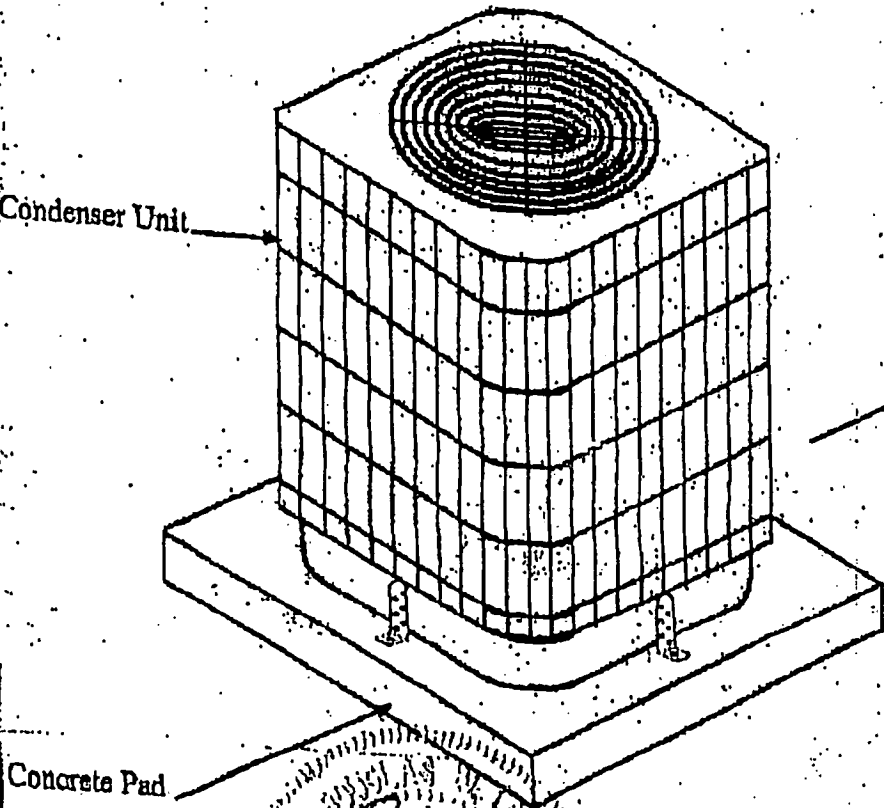
### FEATURES

The use of "sized to fit" screw holes compared to slits means that security is never compromised. A tight secure fit between pad and condenser ensures security for the condenser and offers great assurance during extreme weather conditions.

### NOTE

Above installation instruction suitable for up to 5 ton units.





*[Handwritten Signature]*  
2/14/08

The Metal Shop  
1139 Eldridge Street  
Clearwater  
FL 33765

Ph: (727) 441-2492  
Fax: (727) 442-8499  
Web: www.metalsshop.org

Consulting Engineer:  
Douglas W. Lowe, P.E.  
FLA # 13955  
1206 Millenium Parkway  
Brandon, FL 33511

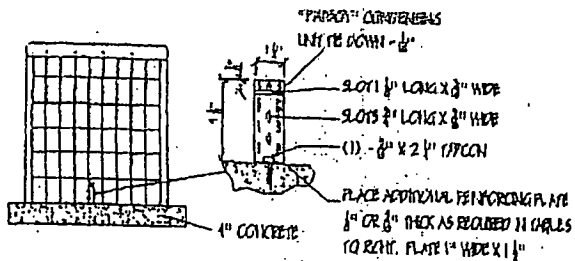
Revision Date:  
2/14/08

Drawn by:  
K.P.R.

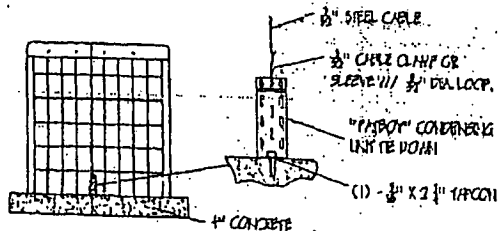
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Scale - Not to scale

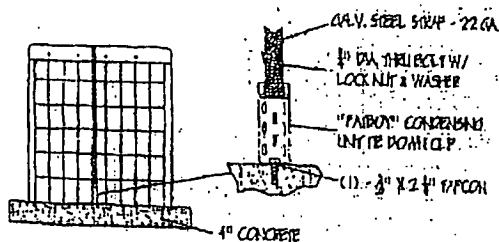




"FATBOY" INSTALLATION GUIDE



"FATBOY" CABLE INSTALLATION GUIDE



"FATBOY" STRAP INSTALLATION GUIDE

NOTE: SEE TABLES FOR WIND VELOCITY AND HEIGHT OF INSTALLATION ABOVE GROUND. ALSO SEE TABLES FOR CONNECTIONS WHEN ATTACHING TO ALUMINUM OR STEEL.

FATBOY MODEL PLATE	10 MPH WIND VELOCITY TABLE OF STRAPTED UNITS NUMBER OF STRAPS OR CLIPS PER SIDE		
	CONNECTION TO CONCRETE	CONNECTION TO ALUMINUM	CONNECTION TO STEEL
0-15'	1	1	1
20'	1	1	1
25'	1	1	1
30'	1	1	1
40'	1	1	1
50'	1	1	1
60'	1	1	1
1" ALUMINUM PLATE			
6-15'	1	1	1
20'	1	1	1
30'	1	1	1
40'	1	1	1
50'	1	1	1
60'	1	1	1

1" ALUMINUM PLATE	10 MPH WIND VELOCITY TABLE OF STRAPTED UNITS NUMBER OF STRAPS OR CLIPS PER SIDE		
	CONNECTION TO CONCRETE	CONNECTION TO ALUMINUM	CONNECTION TO STEEL
0-15'	1	1	1
20'	1	1	1
25'	1	1	1
30'	1	1	1
40'	1	1	1
50'	1	1	1
60'	1	1	1
1" ALUMINUM PLATE			
0-15'	1	1	1
20'	1	1	1
30'	1	1	1
40'	1	1	1
50'	1	1	1
60'	1	1	1

**GENERAL NOTES:**

1- ATTACHMENT TO CONCRETE SHALL BE BY MEANS OF (CON) 1/2" DIAMETER FATBOY AS MANUFACTURED BY ELCO TIGHTENING INC. M.O.A. 44-171-11 REVISED JANUARY 4, 1971. MINIMUM EDGE DISTANCE OF 3 INCHES - 1 1/2" LONG.

2- CONCRETE TO WHICH ATTACHMENT OF CLIP IS MADE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI.

3- STEEL STRAPS OVER A/C UNITS SHALL BE 22 GA. GALVANIZED STEEL STRAP CONFORMING TO ASTM A 661 STANDARD WITH GALVANIZED OR CONFORMING WITH G 96 AND HAVE A YIELD STRENGTH OF 58 KSI.

4- THE STEEL STRAP SHALL BE 1" WIDE AND BE CONNECTED WITH A 1/2" DIA. STEEL BOLT WITH WASHER AND BE TIGHTENED.

5- ANGLE CLIP USED IN ATTACHING THE STRAP TO THE SUPPORTING STRUCTURE SHALL BE AS MANUFACTURED BY THE ORIGINAL PAN COMPANY, 1714 N.W. 77 TERR., MIAMI, FLORIDA, 33142 AND AS DETAILED IN THIS DRAWING.

6- ATTACHMENT OF CLIP TO ALUMINUM SHALL BE BY USING A ROOFING FELT AS SEPARATOR BETWEEN CLIP AND SUPPORTING ALUMINUM STRUCTURE AND USE OF A 1/2" DIAMETER SELF TAPPING OR DRILLED BOLT WITH LOCK WASHER AND NUT. SUPPORTING STRUCTURE SHALL BE AT LEAST 1/2" THICK ALUMINUM STRUCTURE SHALL BE MIN. 6061 T6 ALLOY.

7- ATTACHMENT OF CLIP TO SUPPORTING STEEL STRUCTURE SHALL BE BY A SELF TAPPING SCREW AND OTHER MATERIAL AT LEAST 1/2" THICK. SCREW MAY BE IN FULL OUT FORM.

8- ADDITIONAL PLATE USED AS REINFORCING SHALL BE EQUAL SPECIFICATION AS CLIP AND BE DRILLED WITH ONLY ONE HOLE. MAXIMUM 1/2" DIAMETER IN THE FRONT (L.O.) AND NEVER THICKER THAN SPECIFIED AND 1" WIDE.

9- USE OF CABLE INSTEAD OF STEEL STRAP SHALL CONFORM TO FEDERAL SPECIFICATION 88-9-114D EXCEPTING ONLY MINIMUM STRENGTH REQUIREMENTS OF MIL-W-48000 AS SPECIFIED BY ELITE SAILS INC. WITH A BREAKING STRENGTH OF 150 LBS AND HAVE A MINIMUM DIAMETER OF 3/8" X 1 STRANDS.

10- ATTACHING CLIP SHALL BE 1/2" DIAMETER STEEL CONFORMING TO ASTM A6 STANDARD MIN. YIELD OF 58 KSI. SEE CLIP DETAIL FOR ATTACHMENT LOCATION.

11- A/C UNITS THAT CONFORM TO THE SPECIFIED ATTACHMENT SHALL BE NO LARGER THAN 24" WIDE X 36 1/2" HIGH AND WEIGHT NO LESS THAN 150 LBS AS USED IN THE DESIGN.

REVISIONS	BY



A/C UNIT ANCHORING DETAILS FATBOY CLIPS AS MANUFACTURED BY: THE ORIGINAL PAN CO. FOR USE UNDER FLORIDA BUILDING CODE

DRAWN	AAA
CHECKED	AA
DATE	0-09-77
SCALE	AS NOTED
JOB NO.	
SHEET	

**S-1**

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

 Date of Inspection  Mon

 Tue

 Wed

 Thur

 Fri

4-10-12

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10039				
9AM	Nislin			INSPECTOR [Signature]
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9991	BURKHARDT 106 S SPT RD DRIFTWOOD	BEAMS ELEVATED + SLAB	PASS	INSPECTOR [Signature]
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9909	Twokey 112 Henry Sewall Sewall	dry-in/metal	PASS	INSPECTOR [Signature]
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10028	Kaplan 11 Rivercrest Ct E+Beelle SW	Final grade	PASS	INSPECTOR [Signature]
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

# TREE PERMITS

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Permit # 136

Date Issued 4/13/81

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified as to height and name, common or botanical. Groups of trees may be designated as clumps with an estimated size and number, etc..

Owner Royal Stuart Inc Present Address \_\_\_\_\_ Phone \_\_\_\_\_

Contractor Bell King Builders Address 3733 S.E. Mutawwas Phone \_\_\_\_\_

Number of trees to be removed 15

Number of trees to be relocated within 30 days (no fee) \_\_\_\_\_

Number of trees to be replaced within 30 days \_\_\_\_\_

Permit Fee: \$ 19 (\$5. for 1st tree, plus \$1. each additional tree - not to exceed \$25.)

(No permit fee for trees which are relocated on property or lie within a utility easement and are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted  Plans approved as marked \_\_\_\_\_

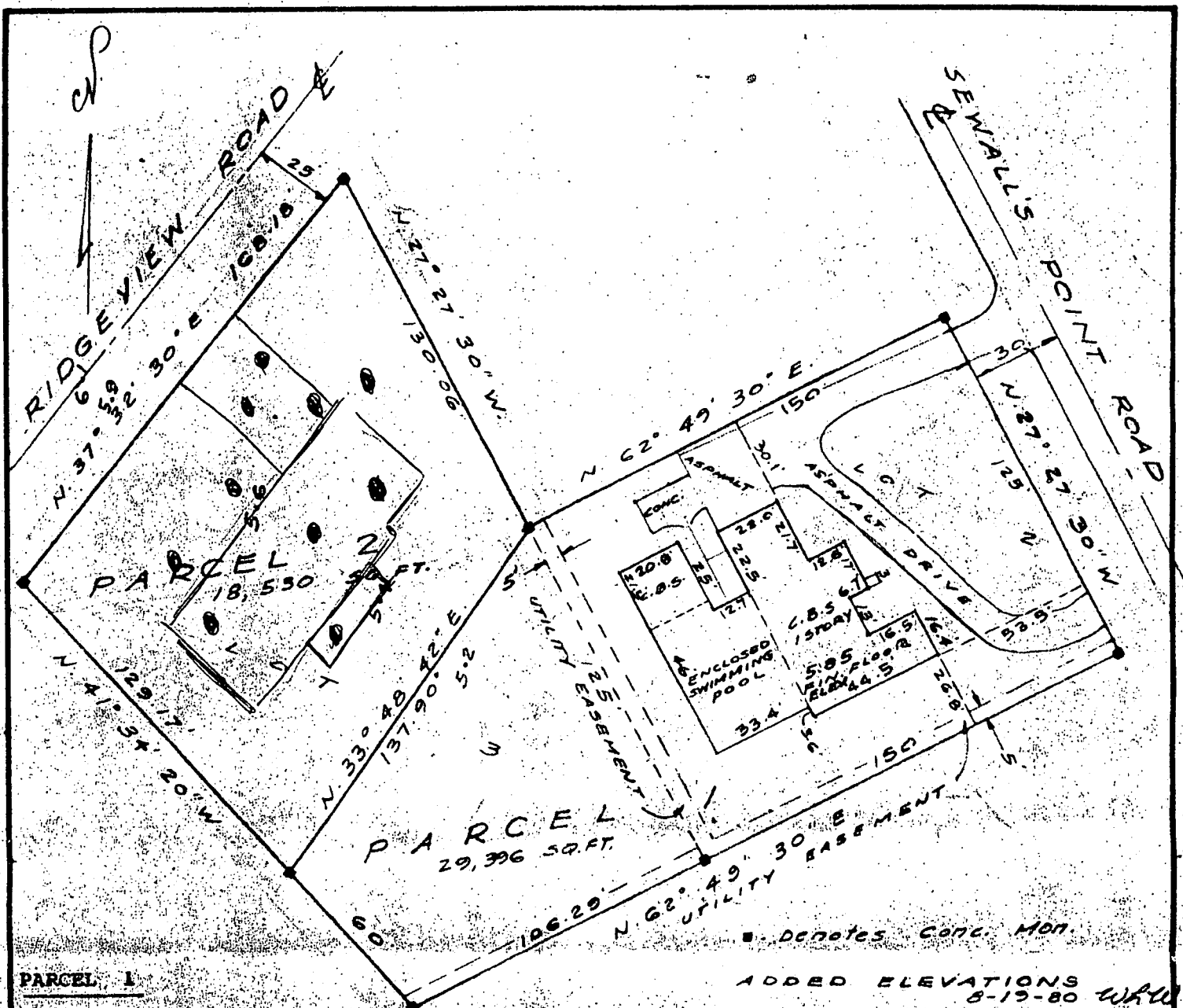
Permit good for one (1) year. Fee for renewal of expired permit is \$5.

Signature of Applicant W. P. King, Jr. Date submitted 4/13/81

Approved by Building Inspector [Signature] Date 4/13/81

Approved by Building Commissioner \_\_\_\_\_ Date \_\_\_\_\_

Completed \_\_\_\_\_  
Date \_\_\_\_\_ Checked by \_\_\_\_\_



**PARCEL 1**

Lot 2 and a portion of Lot 3, Blk. "E" - Amended Plat of HOMEWOOD, as recorded in P.B. 3, Pg. 35, Martin County, Florida, public records and being more particularly described as follows: Begin at the Southeasterly corner of said Lot 3 bear North 27° 27' 30" West along the Easterly line of said Lot 3, a distance of 125 feet; Thence South 33° 48' 42" West, a distance of 137.90 feet to the Westerly line of said lot 3; Thence South 41° 34' 20" East along said line a distance of 60 feet to the Southwesterly line of said lot; Thence North 62° 49' 30" East along the Southerly line of said lot a distance of 106.29 feet to the Point of Beginning.

Containing: 29,396 sq. feet.

**Parcel 2**

A portion of Lot 3, Blk. "E" - Amended Plat of HOMEWOOD, as recorded in P.B. 3, P. 35 Martin County, Florida, public records and begin at the Northeasterly corner of said Lot bear South 37° 32' 30" West along the Northerly line of said lot a distance of 168.18 feet to the Northwesternly corner of said lot; thence South 41° 34' 20" East along the Westerly line of said lot a distance of 129.17 feet; thence North 33° 48' 42" East a distance of 137.90 feet to the Northwesternly corner of Lot 2; thence North 27° 27' 30" West along the Easterly line of said Lot 3 a distance of 130.06 feet to the Point of Beginning.

Containing: 18,530 sq. feet.

FOR: TOM STRANGE

SCALE: 1" = 50'	DATE: 1-23-80	PLAT BOOK: 3	PAGE: 35
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I Hereby Certify, that the sketch shown hereon is a correct representation of a survey done under my direction and is true and correct to the best of my knowledge and belief.



**TOWN OF SEWALL'S POINT BUILDING DEPARTMENT**

One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

**APPLICATION FOR TREE REMOVAL, RELOCATION OR  
REPLACEMENT PERMIT ON DEVELOPED RESIDENTIAL PROPERTY**

**No permit required for:**

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Removal of trees with a diameter of less than two inches.
3. Removal of citrus or non-native fruit trees.

**Sec. 70-22. Permit required for tree removal.**

A permit as provided for in this chapter shall be required for the removal (or transplant) of any tree with a two-inch caliber or more upon any parcel upon which there is a residence under a validly issued permit. Permit requirements are outlined under article V Town Ordinances. **If the town has to procure the services of a suitable professional licensed in the State of Florida to ascertain the condition or type of a tree(s) prior to or after removal of the tree(s) then the cost of such will be borne by the property owner. (Ord. No. 303, 7-20-04)**

**Application procedures:**

1. Complete application information including sketch below.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and posted on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

**Permit Fee:**

1. Tree permits are \$15.00.
2. Permit - No fees are assessed for tree which is dead, diseased, injured, hazardous to life or property, or listed as a prohibited species by the Florida Department of Environmental Protection.

**NOTICE:**

**A PERMIT WILL NOT BE ISSUED FOR THE REMOVAL ANY NATIVE SPECIES TREES UNLESS ONE OR MORE OF THE FOLLOWING CONDITIONS EXIST: (SEC. 70-87. PERMIT ISSUANCE OR DENIAL TOWN ORDINANCES).**

- A. THE VEGETATION IS LOCATED IN AN AREA WHERE STRUCTURES, UTILITIES OR IMPROVEMENTS MAY BE PLACED ACCORDING TO THE TOWN CODE; AND TO PRESERVE THE VEGETATION WOULD UNREASONABLY RESTRICT THE ECONOMIC ENJOYMENT OF THE PROPERTY; AND THE VEGETATION CANNOT BE RELOCATED ON THE SITE BECAUSE OF AGE, TYPE OR SIZE.
- B. THE VEGETATION IS DISEASED, INJURED, LOCATED TOO CLOSE TO THE EXISTING OR PROPOSED STRUCTURES, INTERFERES WITH EXISTING UTILITY SERVICE, OR CREATES UNSAFE VISUAL OBSTRUCTION. (A PROFESSIONAL ARBORIST'S OPINION WILL BE REQUIRED)
- C. THE VEGETATION IS TO BE MOVED TO ANOTHER LOCATION ON THE OWNER'S PROPERTY OR IS TO BE REPLACED BY ANOTHER TREE OR SHRUB ON THE OWNER'S PROPERTY, REGARDLESS OF LOCATION.

IF THE PERMIT IS DENIED, THE DEPARTMENT SHALL NOTIFY THE APPLICANT IN WRITING OF THE BASIS FOR DENIAL USING THE CRITERIA LISTED IN THIS SECTION.

**\*\*\*THE FOLLOWING SPECIES ARE CONSIDERED NATIVE, PROTECTED SPECIES\*\*\*:**

**BLACK IRONWOOD, BLACK MANGROVE, BLOLLY, BUTTONWOOD, CABBAGE (SABLE) PALM, COCOPLUM (RED TIP AND GREEN TIP), CORAL BEAN, DEER MOSS, GRAY TWIG, GOPHER APPLE, GUMBO LIMBO, INKWOOD, LAUREL OAK, LEATHER FERN, LIVE OAK, MAHOGANY, MARLBERRY, MASTIC, MULBERRY, MYRTLE OAK, PARADISE TREE, PIGEON PLUM, POND APPLE, PRICKLY PEAR, RED MANGROVE, RED MAPLE, RED BAY, SAFFRON PLUM, SAND PINE, SCRUB PINE, SATINLEAF, SAW PALMETTO, SCRUB HICKORY, SEA GRAPE, SEA OXEYE, SLASH PINE, STOPPERS, WILD LIME, SUMAC (SOUTHERN), SUGAR BERRY (HACKBERRY), TORCHWOOD, WILD COFFEE, VARNISH LEAF, WATER OAK, WAX MYRTLE, WEST INDIAN CHERRY, WHITE MANGROVE.**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT**

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Alison (Kip) Kennedy Address [REDACTED] Phone \_\_\_\_\_

Contractor A-1 Millers Tree Address \_\_\_\_\_ Phone \_\_\_\_\_

No. of Trees: REMOVE 0 Species: \_\_\_\_\_

No. of Trees: RELOCATE 0 Species: \_\_\_\_\_

No. of Trees: REPLACE 0 Species: \_\_\_\_\_

\*\*\*ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION\*\*\*

**ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY**

Reason for tree removal/relocation (See notice above) Notice that 2 trees are scheduled to be trimmed away from house & power lines

Signature of Property Owner Robert Howard for Kip Kennedy Date 8/29/2013  
 288-9020

Approved by Building Inspector: [Signature] Date 9-4-13 Fee: N/C see pictures

NOTES: \_\_\_\_\_

SKETCH:  
see attached

### 3 South Ridgeview



Hi John, I wanted to let you know that we are having 2 large trees at Kip Kennedy's house at 3 South Ridgeview cut and trimmed the week of September 2, 2013 by Happy Miller with A-1 Millers Tree Service.

If you have any questions, feel free to give me a call,

Deb Duvall  
288-9020