

11 S Ridgeview Road

Town of Sewall's Point



P.I.N. 1-38-41-006-005-00070.0

Date 5-21-97

BUILDING PERMIT APPLICATION

to construct:

RESIDENTIAL NEW CONSTRUCTION ADDITION ALTERATION
 COMMERCIAL
 SQ. FEET 4500
 DEMOLITION _____
 SQ. FEET _____
 NET CHANGE _____

OTHER: _____ CONTRACT PRICE \$300,000

Owner's Name Robert & Kathryn Kramer

Owner's Address 101 Hillcrest Court, Sewall's Point,

Fee Simple Titleholder's Name (If other than owner) N/A

Fee Simple Titleholder's Address (If other than owner) N/A

City _____ State _____ Zip _____

Contractor's Name Commercial Construction Division Inc

Contractor's Address 301 S.W. Albany Ave,

City Stuart State FL Zip 34994

Job Name Robert's Kathryn Kramer Residence

Job Address 11 SOUTH RIDGEVIEW ROAD

City SEWALLS POINT FL County MARTIN

Legal Description Lot 7, ~~Amended~~ Ammended, Plat Homewood Block

Bonding Company _____

Bonding Company Address _____

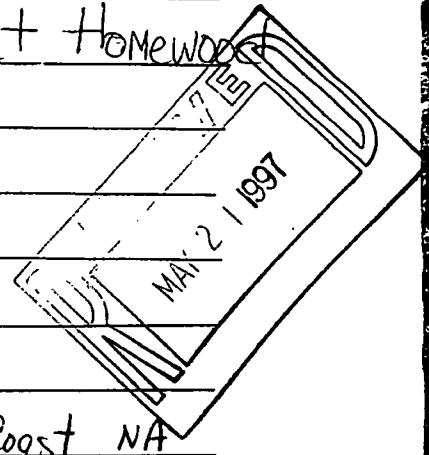
City _____ State _____

Architect/Engineer's Name Joseph McCarty

Architect/Engineer's Address 900 E. Osceola 34994

Mortgage Lender's Name Sun Trust Bank / Treasure Coast NA

Mortgage Lender's Address 111 East Osceola office, Stuart, FL. 34994



Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

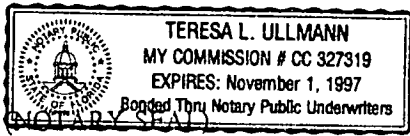
IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

x Robert and Kathy Kramer _____ Date 5-20-97
Owner or Agent

Robert P. Demorest _____ Date 05/21/97
Contractor

STATE OF FLORIDA
COUNTY OF MARTIN

X Sworn to and subscribed before me this 20th day of May, 1997 by Robert and Kathy Kramer, who: is/are personally known to me, or has/have produced _____ as identification, and who did not take an oath.



Teresa L. Ullmann
Name: Teresa L. Ullmann
Typed, printed or stamped
I am a Notary Public of the State of Florida having a commission number of CC 327319 and my commission expires: 11/1/97

STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this 21 day of May, 1997 by ROBERT P. DEMOREST, who: is/are personally known to me, or has/have produced _____ as identification, and who did not take an oath.

(NOTARY SEAL)

Gloria L. Lentz
Name: GLORIA L. LENTZ
Typed, printed or stamped

I am a Notary Public of the State of Florida having a commission number of GLORIA LENTZ and my commission expires May 16, 2000
Notary Public - State of Florida
Commission # CC56255

Certificate of Competency Holder

Contractor's State Certification or Registration No. CBE 052954

Contractor's Certificate of Competency No. _____

APPLICATION APPROVED BY _____ Permit Officer



DATE 7-10, 1997

Legal Svc. SCHOOL

RECEIVED FROM Robert S. Kramer (NAME OR ORGANIZATION) \$ 1,022.03

FOR Lot 7, Homewood, Sewall's Point

FOR DEPOSIT IN _____ FUND(S)

D. Falls
PRINCIPAL OR RESPONSIBLE OFFICER

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 7/10/97

BUILDING PERMIT NO. 4214

Building to be erected for ROBERT & KATHRYN KRAMER Type of Permit NEW CONST.

Applied for by COMMERCIAL CONST. DIV., INC (Contractor) Building Fee 2400.00

Subdivision HOMWOOD (AMMEND) of 7 Block _____ Radon Fee 31.80

Address 11 SOUTH RIDGEVIEW ROAD Impact Fee 1508.20

Type of structure SINGLE FAMILY RES- A/C Fee 100.00

Electrical Fee 100.00

Parcel Control Number: _____ Plumbing Fee 100.00

1-3B-41-006.005.00070.0000 Roofing Fee 100.00

Amount Paid 4340 Check # _____ Cash _____ Other Fees (_____)

Total Construction Cost \$ 300,000 TOTAL Fees 4340.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Inspector

CONSTRUCTION DIVISION, INC.
PH. 407-220-3488
301 SW ALBANY AVE.
STUART, FL 34994

BARNETT BANK
STUART, FL 34985-9027
63-794/670

11010

Four thousand three hundred forty and 00/100 DATE
7/9/97

\$ AMOUNT
4340.00

PAY
TO THE
ORDER
OF

Town of Sewall's Point

[Signature]

Building Permit No. _____ Tax Folio No. _____

STATE OF Florida

COUNTY OF Martin

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. Description of Property:
(legal description of the property, and street address if available)
XXXX SOUTH RIDGEVIEW ROAD, STUART, FL 34996

2. General Description of Improvements: Single Family Dwelling
Lot 7, Block E, AMENDED PLAT OF HOMEWOOD, Plat Book 3, Page 35, Martin County, Florida public records.

3. Owner Information
a. Name and Address ROBERT S. KRAMER
107 HILLCREST COURT, STUART, FL 34996
b. Interest in property FEE SIMPLE
c. Name and address of fee simple titleholder (if other than owner)

4. Contractor (name and address)
COMMERCIAL CONSTRUCTION DIVISION, INC.
833 E. 5TH STREET, STUART, FL 34994
a. Phone number (407) 220-3488 b. FAX number (optional, if service by FAX is acceptable)

5. Surety
a. Name and Address
b. Phone number c. FAX number (optional, if service by FAX is acceptable)
d. Amount of bond \$

6. Lender Information
a. Name and Address SunTrust Bank, South Florida, N.A.
111 Orange Avenue, Fort Pierce, FL 34950
b. Phone number (561)467-6230 c. FAX number (optional, if service by FAX is acceptable)
d. Designated Contact Paula Chadwick

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a) 7., Florida Statutes (name and address)
a. Phone number (561)467-6230 b. FAX number (optional, if service by FAX is acceptable)

8. In addition to himself, Owner designates Paula Chadwick
of SunTrust Bank, South Florida, N.A. to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.
a. Phone number (561)467-6230 b. FAX number (optional, if service by FAX is acceptable)

9. Expiration date of Notice of Commencement (the expiration date is one (1) Year from the date of recording unless a different date is specified). Other expiration date _____

Robert S. Kramer
Signature of Owner ROBERT S. KRAMER
Owner's Name (must be typed)

STATE OF FLORIDA
COUNTY OF Martin

Sworn to and subscribed before me, by the Owner who is personally known to me or who produced

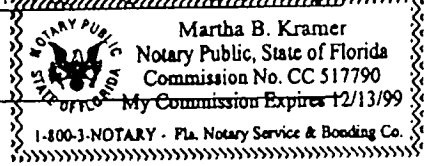
as identification, this 8th day

of July 1997.

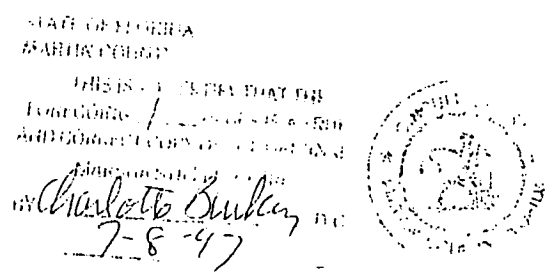
Notary Public Signature Martha B. Kramer

Print or Type Name Martha B. Kramer

My Commission Expires _____



This area reserved for Recording Purposes only



PERMIT GENERAL CONDITIONS

Permit Applications must be accompanied by two (2) sets of the following:

(1) Plans, Sections, and Elevations with wind load and energy calculations signed and sealed by an architect or engineer and including plumbing, mechanical, and electrical drawings and calculations. **Plumbing, Mechanical, and Electrical** (also wells, pools, fences, etc.) require separate applications.

(2) Sketch or survey showing elevations and the locations of existing and proposed improvements, property lines, all setback lines, easements, rights-of-way, and any encroachments.

The permit is valid for twelve (12) months from date of issuance. Renewal of the permit may result in additional requirements and fees prevailing at the time of renewal.

All construction must conform to the Code of Ordinances of the Town of Sewall's Point ("Town Code") and the South Florida Building Code (Dade County 1994 edition, with revisions) ("Building Code"). An approval or permit issued based upon faulty documents or errors and/or omissions by the Building Official does not relieve the owner or the contractor of compliance with the Town Code or the Building Code, nor is it a license to circumvent the Town Code or the Building Code.

A temporary toilet is to be provided for workers or an existing toilet is provided and open to workers.

Debris must be contained in a dumpster-type metal container or must be immediately loaded in a truck (as reroofing may require). Debris will not be allowed to accumulate.

Inspections and permits may be suspended or revoked, work stoppage may be ordered, and other actions may be taken for failure to correct defects, concealing work without inspection, or for willful violations of any of the above conditions or the special conditions, attached, if any.

*NOTE: NOTICE OF COMMENCEMENT required for work with a cumulative value of \$2,500.00 or more.

ATTACHMENTS:

ACCEPTED:

Owner

Contractor

Building Official

STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE DISPOSAL SYSTEM
CONSTRUCTION PERMIT
AUTHORITY: CHAPTER 381, F.S. & CHAPTER 100-5, F.A.C.

SERVICES PERMIT # 97-0173-
DATE PAID 06/02/97
FEE PAID \$ 105.00
RECEIPT # 20096
WELL PLAN 15
-6, FAC

CONSTRUCTION PERMIT FOR:
New System Existing System Holding Tank Temporary/Experimental System
Repair Abandonment Other(Specify) _____

APPLICANT: ROBERT/KATHRYN KRAMER AGENT: STEPHEN BROWN

PROPERTY STREET ADDRESS: RIDGEVIEW ROAD SEWALLS POINT

7 BLOCK: E SUBDIVISION: HOMEWOOD

PROPERTY ID #: _____ [SECTION/TOWNSHIP/RANGE/PARCEL NO.]
[OR TAX ID NUMBER]

=====

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF CHAPTER 100-6, FAC
REPAIR PERMITS AND HOLDING TANK PERMITS EXPIRE 90 DAYS FROM THE DATE OF ISSUE. ALL OTHER PERMITS
EXPIRE 18 MONTHS FROM THE DATE OF ISSUE. HRS APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY
PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS WHICH SERVED AS A
BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH
MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID.

=====

SYSTEM DESIGN AND SPECIFICATIONS

[1200] [GALLONS] SEPTIC TANK CAPACITY MULTI-CHAMBERED/IN SERIES: [Y]
[0] [GALLONS / GPD] _____ MULTI-CHAMBERED/IN SERIES: [N]
[0] GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK: 1250 GALLONS]
[0] GALLONS PER DOSE DOSE RATE [0] PER 24 HRS NO. OF PUMPS: [0]

[416] SQUARE FEET PRIMARY DRAINFIELD SYSTEM
[0] SQUARE FEET _____ SYSTEM
TYPE SYSTEM: STANDARD FILLED MOUND 3 TRENCHES X 46.33'L
CONFIGURATION: TRENCH BED _____

LOCATION OF BENCHMARK: 12.16' NGVD CRRD
ELEVATION OF PROPOSED SYSTEM SITE IS [0.5] INCHES ABOVE BENCHMARK/REFERENCE POINT
BOTTOM OF DRAINFIELD TO BE [29.5] INCHES BELOW BENCHMARK/REFERENCE POINT

FILL REQUIRED: [0.0] INCHES EXCAVATION REQUIRED: [0.0] INCHES

TOP OF BUILDING STUBOUT IS REQUIRED TO BE A MINIMUM ELV. OF 9" BELOW BM 12.16'
TOP OF DRAINFIELD PIPE IS REQUIRED TO BE A MINIMUM ELV. OF 19" BELOW BM 12.16'
TOP OF SEPTIC TANK IS REQUIRED TO BE A MINIMUM ELV. OF 4" BELOW BM 12.16'
SEPTIC TANK IS TO BE AT FINISH SOIL GRADE, DO NOT EXCEED 18" COVER ON D.F.
DRAINFIELD ROCK MUST BE A MINIMUM OF 5 FT. FROM PROPERTY LINES.

SPECIFICATIONS BY: EDGAR MORALES TITLE: ENV. SPL. II

APPROVED BY: RAY CROSS TITLE: ENV. SUPV. II MARTIN CPHU

DATE ISSUED: 06/17/97 EXPIRATION DATE: 12/17/98

APPLICANT'S NAME: Robert & Kathryn Kramer

LEGAL DESCRIPTION: Lot 7, Block E, Amended Plat of Homelands

PROPOSED SEPTIC SYSTEM SITE INFORMATION

CIRCLE ONE ANSWER FOR EACH QUESTION (FOR ITEMS 1-17 BELOW).
N/A MEANS THAT THE QUESTION IS NOT APPLICABLE.

- 1. Is there a septic system within 75 feet of the proposed private well? _____ Yes No N/A
- 2. Is there a potable private well within 75 feet of the available area for the proposed septic system? _____ Yes No
- 3. Is there a non-potable well within 50 feet of the available area for the proposed septic system? _____ Yes No
- 4. Is there a proposed well within 25 feet of the building foundation? _____ Yes No
- 5. Is there a public well that serves less than 25 people or less than 15 homes or businesses within 100 feet of the proposed septic system? _____ Yes No
- 6. Is there a public well that serves more than 25 people or more than 15 homes or businesses within 200 feet of the proposed septic system? _____ Yes No
- 7. Is there a gravity sewer line or lift station within 50 feet of the proposed lot? _____ Yes No
- 8. Is there a lake, stream, wetland, or surface water within 75 feet of the available area for the proposed septic system? _____ Yes No
- 9. Is there a proposed or existing public drinking water line within 10 feet of the proposed septic system? _____ Yes No
- 10. Is there a storm water retention area or drainage easement within 15 feet of the proposed septic system? _____ Yes No
- 11. Is the proposed septic system in an area proposed for paving or vehicular traffic? _____ Yes No
- 12. Are all private wells, septic systems and surface water on adjacent or contiguous land within 75 feet of the applicant's lot shown on the site plan? _____ Yes No N/A
- 13. Are all public wells within 200 feet of the applicant's lot shown on the site plan? _____ Yes No N/A
- 14. Does the site plan include a plat of the lot or total site ownership drawn to scale, boundaries with dimensions, locations of building or residences, swimming pools, recorded easements, proposed or existing septic systems, any proposed or existing wells, public water lines, paved areas or driveways, and surface waters such as lakes, ponds, streams, canals, or wetlands? _____ Yes No
- 15. Does the site plan show the general slope of the property, recorded easements from the recorded plat, filled areas and drainage features and surface waters such as lakes, ponds, streams, canals, or wetlands? _____ Yes No
- 16. Are the natural grade elevation in the area of the septic system and the benchmark shown on the site plan? _____ Yes No
- 17. Is the public water line location from the water meter to the house shown on the site plan? _____ Yes No N/A
- 18. There is 1056 square feet of available, unobstructed, contiguous land to install the septic system. This area excludes interferences. Shade this available area on the site plan.

SITE ELEVATIONS

- 1. Crown of road elevation N/A NGVD. Show location on the site plan. If the road is not paved, benchmark elevation 12.16 NGVD. Show location on site plan.
- 2. Natural grade elevation in the area of the proposed septic system 12.2 NGVD. Show location on site plan.
- 3. Is the building location in a flood hazard area "A" or "V" as identified on F.E.M.A. maps? Yes or No If yes, what is the minimum required flood hazard floor elevation of the building? N/A NGVD.

NOTE: Please locate the reference point or benchmark within 200 feet of the proposed septic system.

NOTE: MUST BE CERTIFIED BY A FLORIDA REGISTERED SURVEYOR OR ENGINEER.

CERTIFIED BY: Stephen J. Brown
FLORIDA PROFESSIONAL NO.: 7074
DATE: 5/23/97 JOB NO.: 1884-07-01

MATHERS ENGINEERING CORPORATION

August 18, 1997

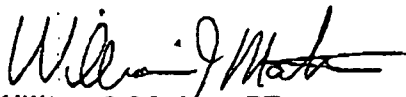
TO: Phil Caruana
Chief Building Official
Town of Sewall's Point Building Dept.

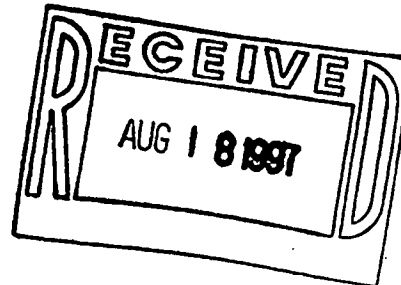
RE: Krammer Residence
• Slab Elevations

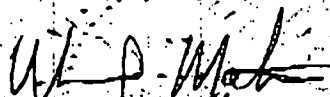
Dear Sir:

On the Krammer residence the slab elevations were based upon the minimum stub out elevation given by the Health Department (EL 11.41 MSL). The ground elevation with proper cover over the drainfield and septic tank was approximately 12.7 MSL to 13.3 MSL at the front of the lot. In order to provide proper slopes and required depths for plumbing elbows the 100-ft of plumbing run would require a minimum main building slab elevation of 14.83 MSL.

Sincerely,


William J. Mathers, PE
FL License 19658




8/18/97



Lawton Chiles
Governor

James T. Howell, M.D., M.P.H.
Secretary

STUBOUT ELEVATION AND EXCAVATION CERTIFICATION

APPLICANT: Robert Kathryn Kramer SEPTIC TANK PERMIT NO.: HD 97-173

LEGAL DESCRIPTION: Lot 7, Block E, Homewood

The items which are checked off below must be certified by a surveyor or engineer and returned to the Martin County Health Department prior to the first plumbing inspection by the Building Department. Approval of this stubout elevation certification constitutes commencement of building construction for septic system permits.

1. Building Permit Number: _____ (Certification not required for this item).

2. I certify that the elevation of the top of the lowest plumbing stubout is _____ inches (circle one) above / below benchmark elevation as indicated on septic tank permit.

3. I certify that the top of the lowest building plumbing stubout is _____ inches (circle one) above / below crown of road elevation shown on septic tank permit.

4. I certify that the top of the drainfield pipe elevation is _____

5. I certify that all moderate and or severely limited soils have been removed from an area of _____ feet by _____ feet a minimum depth of _____. Surveyor must submit 2 plot plans to scale of excavated area. (See diagram _____ A/ _____ B on reverse side) Date Observed: ____/____/____

6. I certify that all moderately and or severely limited soils have been removed in an area _____ feet wide or 33% of the area of the drainfield. This area is centered in the drainfield and extends to a depth of _____ feet where slightly limited soils exist. Surveyor must submit 2 plot plans to scale of excavated area. (See diagram B on reverse side) Date Observed: ____/____/____

- NOTE:
- a. Severely limited soil includes but is not limited to hardpan, clay, silt, marl or muck.
 - b. Drainfield must be centered in the excavated area. Drainfield will not be approved if severe limited soils are not removed.
 - c. Condition numbers 5, 6 and 7 may be satisfied with excavation certification from the certified septic installer responsible for drainfield installation.

CERTIFIED BY: _____

As applicant or applicant's representative,
I understand the above requirements.

Date: _____ Job Number: _____

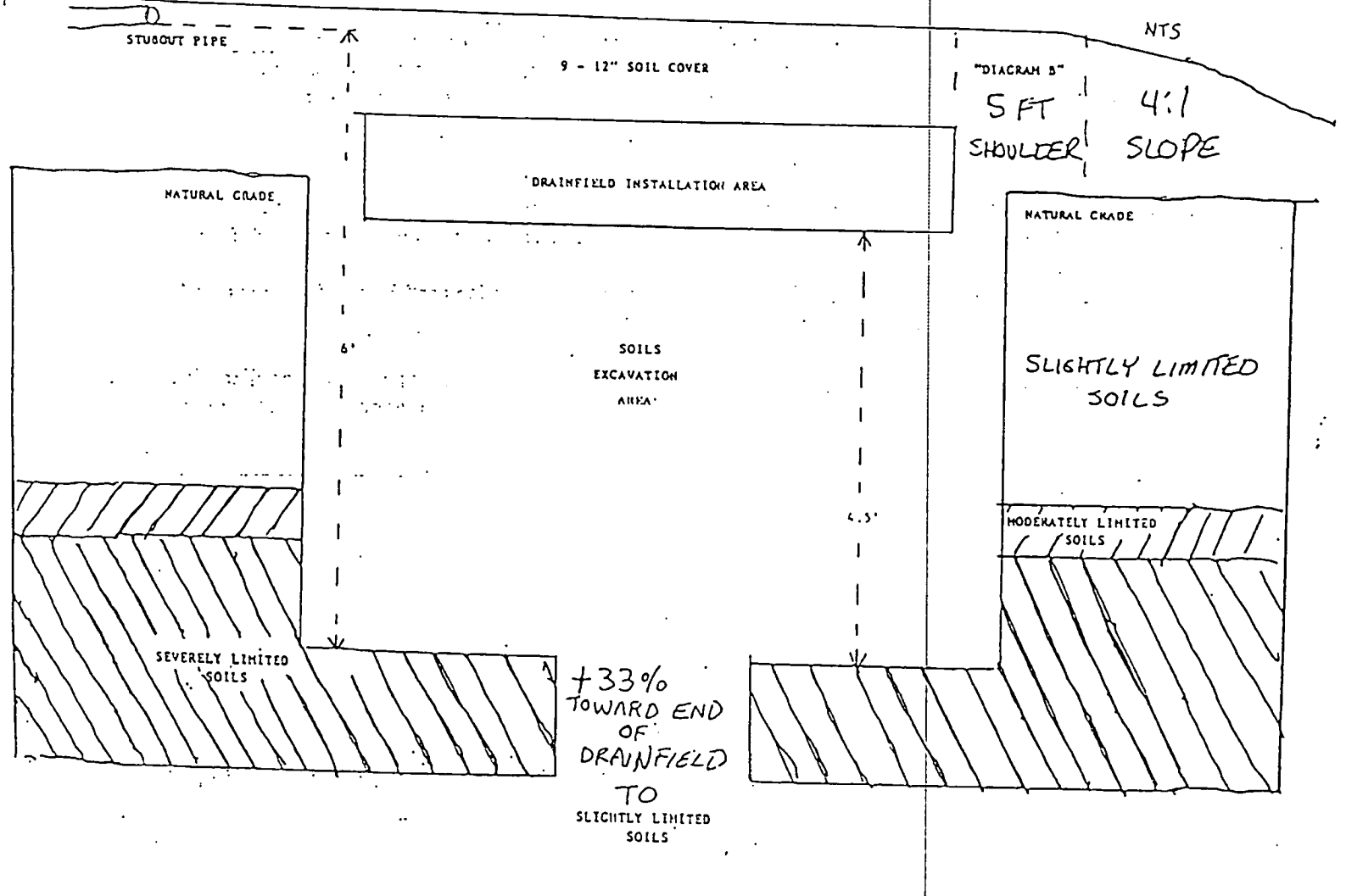
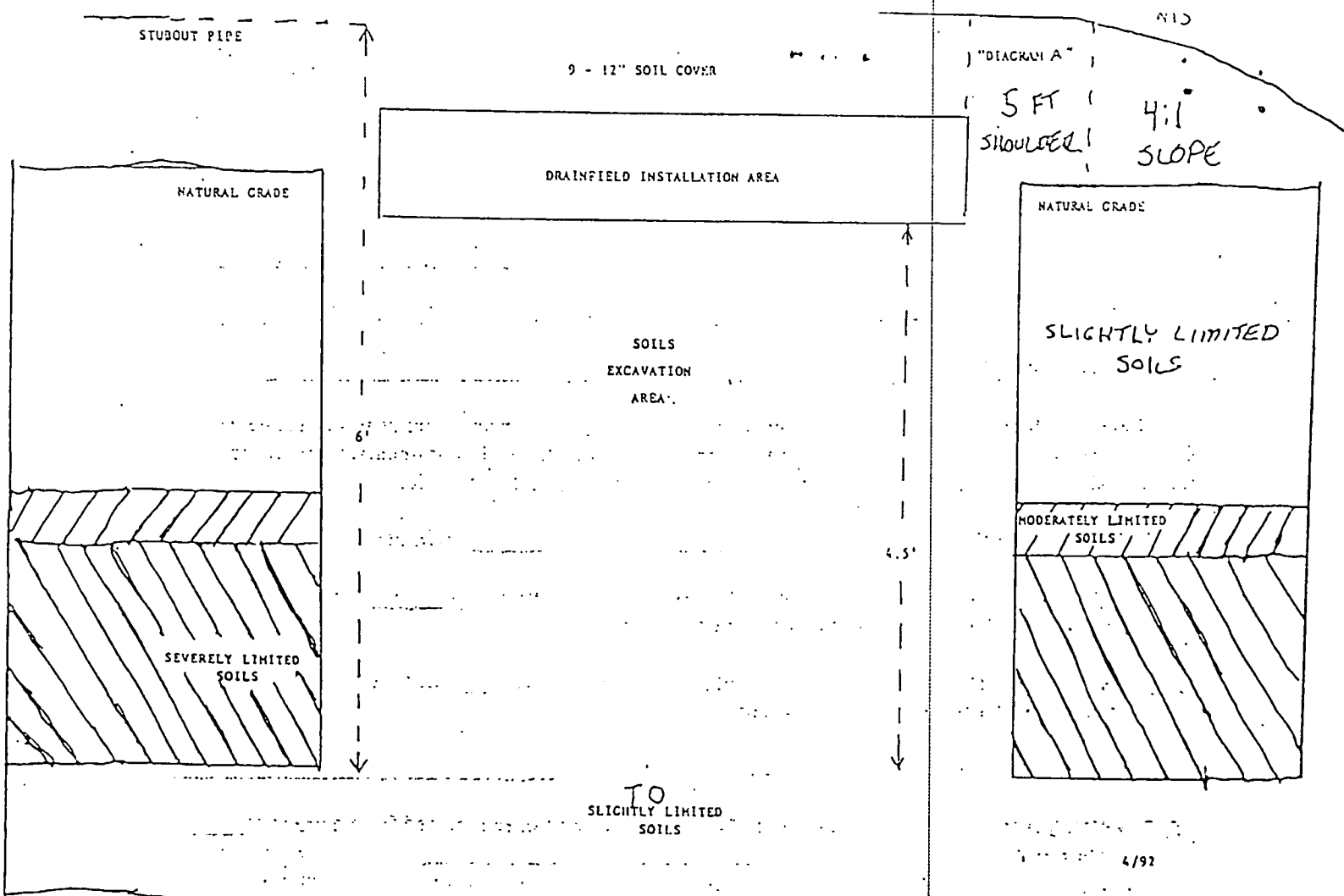
(Signature)

FOR MARTIN COUNTY HEALTH DEPARTMENT USE ONLY

Martin County Health Department Approval Signature

(Date)

Stubcert.doc forms disk I Revised 01/17/97



ELEVATION CERTIFICATE

O.M.B. No 3067-0077
Expires May 31, 1993

Job # 1084-07-01

FEDERAL EMERGENCY MANAGEMENT AGENCY NATIONAL FLOOD INSURANCE PROGRAM

ATTENTION: Use of this certificate does not provide a waiver of the flood insurance purchase requirement. This form is used only to provide elevation information necessary to ensure compliance with applicable community floodplain management ordinances, to determine the proper insurance premium rate, and/or to support a request for a Letter of Map Amendment or Revision (LOMA or LOMR). Instructions for completing this form can be found on the following pages.

| SECTION A PROPERTY INFORMATION | | FOR INSURANCE COMPANY USE |
|--|----------------------|---------------------------|
| BUILDING OWNER'S NAME <u>BOB & KATHY KRAMER</u> | | POLICY NUMBER |
| STREET ADDRESS (Including Apt., Unit, Suite and/or Bldg. Number) OR P.O. ROUTE AND BOX NUMBER <u>RIDGEVIEW ROAD</u> | | COMPANY NAIC NUMBER |
| OTHER DESCRIPTION (Lot and Block Numbers, etc.) <u>LOT 7, BLOCK E, HOMEWOOD</u> | | |
| CITY <u>SEWALLS POINT</u> | STATE <u>FLA.</u> | ZIP CODE |

SECTION B FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

Provide the following from the proper FIRM (See Instructions):

| 1. COMMUNITY NUMBER | 2. PANEL NUMBER | 3. SUFFIX | 4. DATE OF FIRM INDEX | 5. FIRM ZONE | 6. BASE FLOOD ELEVATION (in AO Zones, use depth) |
|---------------------|-----------------|-----------|-----------------------|--------------|---|
| <u>120164</u> | <u>0002</u> | <u>D</u> | <u>6/16/92</u> | <u>C</u> | <u>N/A</u> |

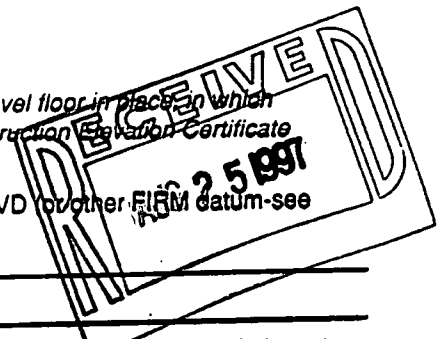
7. Indicate the elevation datum system used on the FIRM for Base Flood Elevations (BFE): NGVD '29 Other (describe on back)
8. For Zones A or V, where no BFE is provided on the FIRM, and the community has established a BFE for this building site, indicate the community's BFE: feet NGVD (or other FIRM datum—see Section B, Item 7).

SECTION C BUILDING ELEVATION INFORMATION

1. Using the Elevation Certificate Instructions, indicate the diagram number from the diagrams found on Pages 5 and 6 that best describes the subject building's reference level 1
- 2(a). FIRM Zones A1-A30, AE, AH, and A (with BFE). The top of the reference level floor from the selected diagram is at an elevation of feet NGVD (or other FIRM datum—see Section B, Item 7).
- (b). FIRM Zones V1-V30, VE, and V (with BFE). The bottom of the lowest horizontal structural member of the reference level from the selected diagram, is at an elevation of feet NGVD (or other FIRM datum—see Section B, Item 7).
- (c). FIRM Zone A (without BFE). The floor used as the reference level from the selected diagram is feet above or below (check one) the highest grade adjacent to the building.
- (d). FIRM Zone AO. The floor used as the reference level from the selected diagram is feet above or below (check one) the highest grade adjacent to the building. If no flood depth number is available, is the building's lowest floor (reference level) elevated in accordance with the community's floodplain management ordinance? Yes No Unknown
3. Indicate the elevation datum system used in determining the above reference level elevations: NGVD '29 Other (describe under Comments on Page 2). (NOTE: If the elevation datum used in measuring the elevations is different than that used on the FIRM [see Section B, Item 7], then convert the elevations to the datum system used on the FIRM and show the conversion equation under Comments on Page 2.)
4. Elevation reference mark used appears on FIRM: Yes No (See Instructions on Page 4)
5. The reference level elevation is based on: actual construction construction drawings
(NOTE: Use of construction drawings is only valid if the building does not yet have the reference level floor in place, in which case this certificate will only be valid for the building during the course of construction. A post-construction Elevation Certificate will be required once construction is complete.)
6. The elevation of the lowest grade immediately adjacent to the building is: feet NGVD (or other FIRM datum—see Section B, Item 7).

SECTION D COMMUNITY INFORMATION

1. If the community official responsible for verifying building elevations specifies that the reference level indicated in Section C, Item 1 is not the "lowest floor" as defined in the community's floodplain management ordinance, the elevation of the building's "lowest floor" as defined by the ordinance is: feet NGVD (or other FIRM datum—see Section B, Item 7).
2. Date of the start of construction or substantial improvement _____



* SEE REVERSE SIDE

SECTION E CERTIFICATION

This certification is to be signed by a land surveyor, engineer, or architect who is authorized by state or local law to certify elevation information when the elevation information for Zones A1-A30, AE, AH, A (with BFE), V1-V30, VE, and V (with BFE) is required. Community officials who are authorized by local law or ordinance to provide floodplain management information, may also sign the certification. In the case of Zones AO and A (without a FEMA or community issued BFE), a building official, a property owner, or an owner's representative may also sign the certification.

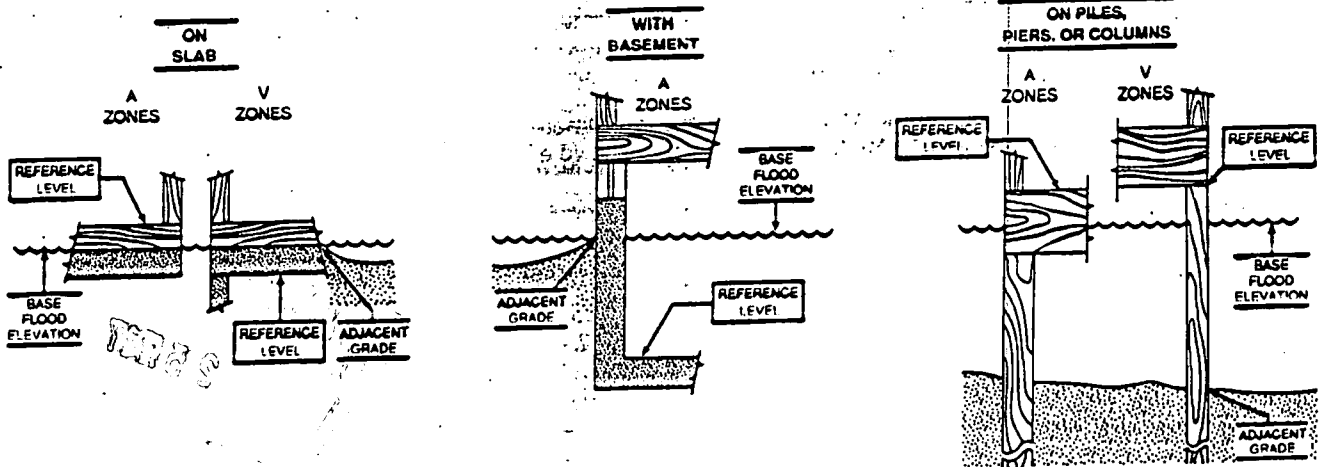
Reference level diagrams 6, 7 and 8 - Distinguishing Features-If the certifier is unable to certify to breakaway/non-breakaway wall, enclosure size, location of servicing equipment, area use, wall openings, or unfinished area Feature(s), then list the Feature(s) not included in the certification under Comments below. The diagram number, Section C, Item 1, must still be entered.

*I certify that the information in Sections B and C on this certificate represents my best efforts to interpret the data available.
I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.*

| | | | |
|-----------------------------------|--------------------|--|-------------------------|
| Stephen J. Brown | | 4049 | |
| CERTIFIER'S NAME Land Surveyor | | LICENSE NUMBER (or Affix Seal) Stephen J. Brown, Inc. | |
| TITLE | 290 Florida Street | COMPANY NAME Stuart | Florida 34994 |
| ADDRESS | | CITY | STATE ZIP |
| SIGNATURE | | DATE 8/21/97 | PHONE (407) 288-7176 |

Copies should be made of this Certificate for: 1) community official, 2) insurance agent/company, and 3) building owner.

COMMENTS: LOWEST LIVING LEVEL ELEVATION 14.80



The diagrams above illustrate the points at which the elevations should be measured in A Zones and V Zones. Elevations for all A Zones should be measured at the top of the reference level floor. Elevations for all V Zones should be measured at the bottom of the lowest horizontal structural member.

STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE DISPOSAL SYSTEM
CONSTRUCTION PERMIT
AUTHORITY: CHAPTER 381, F.S. & CHAPTER 100-6, F.A.C.

SERVICES PERMIT # 97-0173-
DATE PAID 06/02/97
FEE PAID \$ 105.00
RECEIPT # 20096
100-6, FAC WELL PLAN 15

CONSTRUCTION PERMIT FOR:

New System Existing System Holding Tank Temporary/Experimental System
 Repair Abandonment Other(Specify) _____

APPLICANT: ROBERT/KATHRYN KRAMER AGENT: STEPHEN BROWN

PROPERTY STREET ADDRESS: RIDGEVIEW ROAD SEWALLS POINT

LOT: 7 BLOCK: E SUBDIVISION: HOMEWOOD

PROPERTY ID #: _____ [SECTION/TOWNSHIP/RANGE/PARCEL NO.]
[OR TAX ID NUMBER]

=====

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF CHAPTER 100-6, FAC REPAIR PERMITS AND HOLDING TANK PERMITS EXPIRE 90 DAYS FROM THE DATE OF ISSUE. ALL OTHER PERMITS EXPIRE 18 MONTHS FROM THE DATE OF ISSUE. HRS APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID.

=====

SYSTEM DESIGN AND SPECIFICATIONS

T [1200] [GALLONS] SEPTIC TANK MULTI-CHAMBERED/IN SERIES:[Y]
A [0] [GALLONS / GPD] _____ CAPACITY MULTI-CHAMBERED/IN SERIES:[N]
N [0] GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK: 1250 GALLONS]
K [0] GALLONS PER DOSE DOSE RATE [0] PER 24 HRS NO. OF PUMPS: [0]

D [416] SQUARE FEET PRIMARY DRAINFIELD SYSTEM
R [0] SQUARE FEET _____ SYSTEM
A TYPE SYSTEM: STANDARD FILLED MOUND 3 TRENCHES X 46.33'L
I CONFIGURATION: TRENCH BED _____

N
F LOCATION OF BENCHMARK: 12.16' NGVD CRRD
I ELEVATION OF PROPOSED SYSTEM SITE IS [0.5] INCHES ABOVE BENCHMARK/REFERENCE POINT
E BOTTOM OF DRAINFIELD TO BE [29.5] INCHES BELOW BENCHMARK/REFERENCE POINT

L
D FILL REQUIRED: [0.0] INCHES EXCAVATION REQUIRED: [0.0] INCHES

O TOP OF BUILDING STUBOUT IS REQUIRED TO BE A MINIMUM ELV. OF 9"BELOW BM 12.16'
T TOP OF DRAINFIELD PIPE IS REQUIRED TO BE A MINIMUM ELV. OF 19"BELOW BM 12.16'
H TOP OF SEPTIC TANK IS REQUIRED TO BE A MINIMUM ELV. OF 4"BELOW BM 12.16'
E SEPTIC TANK IS TO BE AT FINISH SOIL GRADE, DO NOT EXCEED 18" COVER ON D.F.
R DRAINFIELD ROCK MUST BE A MINIMUM OF 5 FT. FROM PROPERTY LINES.

SPECIFICATIONS BY: EDGAR MORALES TITLE: ENV. SPL. II

APPROVED BY: RAY CROSS TITLE: ENV. SUPV. II MARTIN CPHU

DATE ISSUED: 06/17/97 EXPIRATION DATE: 12/17/98



Lawton Chiles
Governor

James T. Howell, M.D., M.P.H.
Secretary

SEPTIC TANK SYSTEM SPECIAL CONDITIONS LIST

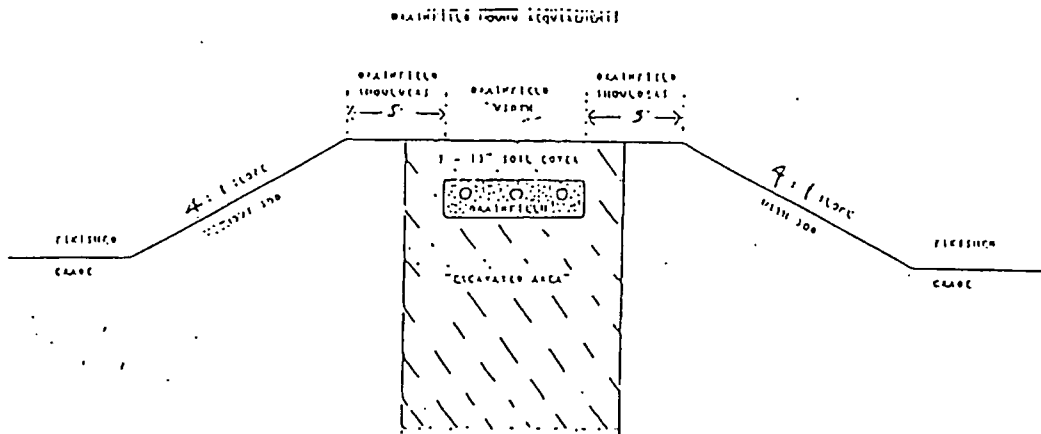
APPLICATION NAME: Kramer PERMIT NO. (HD) 97-173
SUBDIVISION: _____

- N O T E** Special Condition(s) marked "X" are in effect.
- 1. Drainfield must be maintained under grass; _____ and protected from vehicular traffic (i.e., traffic barriers).
 - 2. Operational test of dosing pump(s) and high water alarm (audible and visual) required prior to final construction approval.
 - 3. Driveway / sidewalk elevation must be 9" higher than drainfield pipe elevation if they are within 5 feet of each-other.
 - 4. Septic system must be 75' from surface water / wetlands / mean high water line.
 - 5. Excavate one / three feet beyond drainfield area to a depth of _____
 - 6. In addition to item #5, 33% of unsuitable soils at depths greater than _____ must be removed to a depth of slightly limited soils.
 - 7. If well abandonment is required, the well(s) in question must be properly abandoned by a certified well driller. The attached well abandonment form(s) must be completed by the well driller and submitted to this office prior to initial building construction or system installation.
 - 8. Septic tank abandonment notices from the Septic Tank Contractor must be received by this office prior to final construction approval.
 - 9. The mound area must be sodded within prior to the request for final grade inspection.
 - 10. Any future ponds or surface water created onsite must be greater than 75' from septic system(s).
 - 11. The available area for septic installation must to be evenly filled and leveled.
 - 12. \$ 70.00 reinspection fee is required if the well is not installed at time of initial onsite sewage disposal system inspection.
- * SEE REVERSE SIDE FOR ADDITIONAL REQUIREMENTS. Page 1 of 3

13. Septic system must be a minimum of 10 feet from drainage culverts or storm water drains and a 15 feet minimum from dry retention, dry detention or dry drainage ditches.
14. Occupational approval will not be given until all requirements for public water system/ foodservice/ institutional/ septic system are met.
-
15. Septic tank/ dosing chamber/ grease trap must have (traffic lids with) manhole cover(s) per tank extending to the surface.
16. gallon outside grease trap(s) is required. The grease trap should be connected with the outlet tee extending to within 8" of the bottom of the tank. The following must be connected to the grease trap.
- a) handwash sink(s).
 - b) three compartment sink(s).
 - c) floor drains.
 - d) can wash, janitor's sink(s).
 - e) dishwasher if present.
- All other greaseless flow should be connected directly to the septic tank.
-
17. to be dosed two / six times in a twenty-four hour period is required. A high water alarm that gives audible and visual signals is required. If two drainfields are used, each field must be connected to an individual pump and alternately dose.
18. Two pumps are required to alternately dose into two separate fields. Separate drainfields must be a minimum of 10 feet apart.
19. If rainwater from the building roof drains onto the drainfield available area, gutters are required in the area of drainfield. Down-spouts must be diverted from the drainfield area.
20. No sprinkler heads are allowed on top of drainfield. Irrigation lines must be separated from the drainfield by ten feet unless an approved backflow prevention device is properly installed.
21. Potable water lines, whether connected to an on-site well or to a utility meter, must be a minimum of ten feet from drainfields or sealed with a water proof sealant within a sleeve of similar pipe to a distance of ten feet from the nearest portion of the drainfield. In no case can the sleeved line be located within 24 inches of the drainfield or at an elevation lower than the bottom of the drainfield.
22. All wells installed onsite must be 25' from the building foundation and meet all other setback-installation requirements.
23. Applicant is responsible for replacing excavated soils with a good grade of soil suitable for drainfield installation.
24. If the building stubout is placed more than 20ft. from septic tank or drainfield, the stubout elevation must be higher than the permitted elevation to achieve gravity flow. This must have prior approval from the health unit.

SPECIAL CONDITION REQUIREMENTS (Page 3 of 3) Revised 07/24/96

- 25. If fill is required, contact Martin County Building Division for requirements.
- 26. Inspection results will be posted on the building permit. A copy of the construction approval is available upon request.
- 27. A septic tank outlet filter is required on all septic tanks.
- 28. If any information on this permit changes, an amended application is required to be filed immediately.
- 29. Any alteration of the information or conditions of this permit found to be in non-compliance with 10D-6 Florida Administrative Code, will be sufficient cause for revocation of this permit.
- 30. The engineer of record must certify that the installed system complies with the approved design and installation requirements.
- 31. Prior to final construction approval, the property owner must apply for an annual operating permit and pay the \$_____ annual permit fee (For ___Indust./Manuf. ___Aerobic system(s)).
- 32. If a mound drainfield is proposed, see following sketch of additional requirements (No retaining walls are allowed within the drainfield shoulder or slope areas of a mound system).



NOTE: THESE REQUIREMENTS MUST BE MET PRIOR TO FINAL APPROVAL.
SEE EXCAVATION CERTIFICATION SHEET FOR EXCAVATION DETAILS.

33. Other: _____

NOTE - \$25.00 RE-INSPECTION FEE WILL BE CHARGED IF REQUIREMENTS ARE NOT MET DURING INSPECTION.

Questions concerning special conditions can be answered by calling Edgar Morales at (561) 221-4090.

W.P.

STATE OF FLORIDA
DEPARTMENT OF HEALTH
ON-SITE SEWAGE DISPOSAL SYSTEM
SITE EVALUATION AND SYSTEM SPECS.
AUTHORITY: CHAPTER 381, F.S. & CHAPTER 100-6, F.A.C.

PERMIT # 97-0173-
SERVICES WELL PLAN 15

APPLICANT: ROBERT/KATHRYN KRAMER AGENT: STEPHEN BROWN

LOT: 7 BLOCK: E SUBDIVISION: HOMEWOOD

PROPERTY ID #: [SECTION/TOWNSHIP/RANGE/PARCEL NO. OR TAX ID NUMBER]

TO BE COMPLETED BY ENGINEER, HEALTH UNIT EMPLOYEE OR OTHER QUALIFIED PERSON. ENGINEER'S MUST PROVIDE REGISTRATION NO. AND SIGN AND SEAL EACH PAGE OF SUBMITTAL. COMPLETE ALL ITEMS.

PROPERTY SIZE CONFORMS TO SITE PLAN: [X] YES [] NO NET USABLE AREA AVAILABLE: 0.34 ACRES
TOTAL ESTIMATED SEWAGE FLOW: 500 GALLONS PER DAY [RESIDENCES-TABLE-1 / OTHER-TABLE-2]
AUTHORIZED SEWAGE FLOW: 850 GALLONS PER DAY [1500 GPD/ACRE OR 2500 GPD/ACRE]
UNOBSTRUCTED AREA AVAILABLE: 1050 SQFT UNOBSTRUCTED AREA REQUIRED: 834 SQFT

BENCHMARK/REFERENCE POINT LOCATION: CR RD 12.11' NWD
ELEVATION OF PROPOSED SYSTEM SITE IS 0.5 INCHES [ABOVE] [BELOW] BENCHMARK/REFERENCE POINT.

THE MINIMUM SETBACK WHICH CAN BE MAINTAINED FROM THE PROPOSED SYSTEM TO THE FOLLOWING FEATURE:
SURFACE WATER: NA FT DITCHES/SWALES: 10 FT NORMALLY WET? [] YES [X] NO
WELLS: PUBLIC: NA FT LIMITED USE: NA FT PRIVATE: 80 FT NON-POTABLE: 100 FT
BUILDING FOUNDATIONS: 5 FT PROPERTY LINES: 5 FT POTABLE WATER LINES: 25 FT

SITE SUBJECT TO FREQUENT FLOODING: [] YES [X] NO 10 YEAR FLOODING? [] YES [X] NO
10 YEAR FLOOD ELEVATION FOR SITE: FT MSL/NGVD SITE ELEVATION: 12.2 FT MSL/NGVD

SOIL PROFILE INFORMATION SITE 1

SOIL PROFILE INFORMATION SITE 2

| Munsell #/Color | Texture | Depth " |
|---------------------------|---------|----------|
| | | to |
| 10YR 7/1 LT. GRAY SAND | | 0 to 5 |
| 10YR 7/2 LT. GRAY SAND | | 5 to 23 |
| 10YR 8/2 WHITE SAND | | 23 to 41 |
| 10YR 8/6 BROWNISH-YEL. S. | | 41 to 60 |
| 10YR 7/8 YELLOW SAND | | 60 to 72 |
| | | to |
| | | to |
| | | to |

| Munsell #/Color | Texture | Depth " |
|------------------------|---------|----------|
| | | to |
| 10YR 5/3 BROWN SAND | | 0 to 14 |
| 10YR 7/2 LT. GRAY SAND | | 14 to 25 |
| 10YR 8/1 WHITE SAND | | 25 to 41 |
| 10YR 8/6 YELLOW SAND | | 41 to 57 |
| 10YR 7/8 YELLOW SAND | | 57 to 72 |
| | | to |
| | | to |
| | | to |

USDA SOIL SERIES: (SC) ARLA SAND (0-8% slopes) USDA SOIL SERIES: (SC) ARLA SAND (0-8% slopes)

OBSERVED WATER TABLE: INCHES [ABOVE / BELOW] EXISTING GRADE TYPE: [PERCHED / APPARENT]
ESTIMATED WET SEASON WATER TABLE ELEVATION: 54 INCHES [ABOVE / BELOW] EXISTING GRADE
HIGH WATER TABLE VEGETATION: [] YES [X] NO MOTTLING: [] YES [X] NO DEPTH: INCHES

SOIL TEXTURE/LOADING RATE FOR SYSTEM SIZING: 1.20 DEPTH OF EXCAVATION: 0 INCHES
DRAINFIELD CONFIGURATION: [X] TRENCH [] BED [OTHER (SPECIFY)]
REMARKS/ADDITIONAL CRITERIA:

SITE EVALUATED BY: [Signature] DATE: 6-3-97

[Handwritten initials]



RECEIVED
JUN - 2 1997

STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES
ONSITE SEWAGE DISPOSAL SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT
Authority: Chapter 381, FS & Chapter 10D-6, FAC
PREPARED BY: STEPHEN J. BROWN, INC.
290 FLORIDA STREET
STUART, FL. 34994

HRS-Martin County
Public Health

PERMIT # 97-173
DATE PAID 6-2-97
FEE PAID \$ 48
RECEIPT # 20796
well plan Rev 4/95

407-288-7176
 Temporary/Experimental

APPLICATION FOR:
 New System Existing System Holding Tank
 Repair Abandonment Other (Specify)

TELEPHONE: 288-7176

APPLICANT: Robert & Kathryn Kramer

AGENT: Stephen J. Brown, Inc.

MAILING ADDRESS: 290 Florida St, Suite "C", Stuart, FL 34994

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. ATTACH BUILDING PLAN AND TO-SCALE SITE PLAN SHOWING PERTINENT FEATURES REQUIRED BY CHAPTER 10D-6, FLORIDA ADMINISTRATIVE CODE.

PROPERTY INFORMATION [IF LOT IS NOT IN A RECORDED SUBDIVISION, ATTACH LEGAL DESCRIPTION OR DEED]

LOT: 7 BLOCK: E SUBDIVISION: Amended Plat of Homewood DATE OF SUBDIVISION: 12/27/55
[Section/Township/Range/Parcel No.] ZONING:

PROPERTY ID #: _____ PROPERTY WATER SUPPLY: PRIVATE PUBLIC

PROPERTY SIZE: .34 ACRES [Sqft/43560] PROPERTY STREET ADDRESS: S. Ridgeview Road (Sewall's Point)

DIRECTIONS TO PROPERTY: Take East Ocean Blvd to Sewall's Point Rd and turn right onto Sewall's Point Rd. Go down to Ridgeview Rd. Property is on the left side of road + about half way down.

BUILDING INFORMATION RESIDENTIAL COMMERCIAL

| Unit No | Type of Establishment | No. of Bedrooms | Building Area Sqft | # Persons Served | Business Activity For Commercial Only |
|---------|-----------------------|-----------------|--------------------|------------------|---------------------------------------|
| 1 | <u>Single Family</u> | <u>4</u> | <u>3180</u> | | |
| 2 | | | | | |
| 3 | | | | | |
| 4 | | | | | |

Garbage Grinders/Disposals Spas/Hot Tubs
 Ultra-low Volume Flush Toilets Other (Specify) Floor/Equipment Drains

APPLICANT'S SIGNATURE: Stephen J. Brown

DATE: 5/23/97



Structural Modification

September 15, 1997

TO: Phil Caruana
Chief Building Official
Town of Sewall's Point Building Dept.

RE: Krammer Residence

Dear Mr. Caruana

On the Krammer residence it will be permissible to use a single CMU precast lintel over the master bedroom window opening with one #5 reinforcing bar. The use of a single lintel will not effect the ability of the structure to resist a 140-mph, Exposure C storm event per ASCE 7-95. If you have any questions feel free to contact us at the number below.

Sincerely,

A handwritten signature in black ink, appearing to read 'W. J. Mathers', written in a cursive style.

William J. Mathers, PE
FL License #19658

A handwritten signature in black ink, appearing to read 'W. J. Mathers', written in a cursive style. Below the signature, the date '9/15/97' is written in a similar cursive hand.

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

FORM 600A-93

Residential Whole Building Performance Method A

SOUTH

PROJECT NAME: Kramer Residence

BUILDER: Commercial Const.

AND ADDRESS: South Ridgeview

PERMITTING

CLIMATE

Sewall's Point

OFFICE:

ZONE: 7 | 8 | 9 |

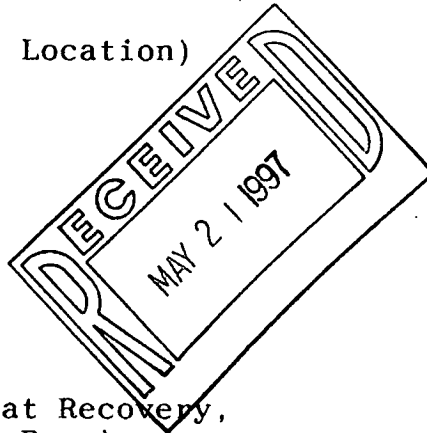
OWNER:

PERMIT NO.

JURISDICTION NO.

CK

| | | |
|---|----------------------------|-------|
| 1. New construction or addition | 1. New Construction | _____ |
| 2. Single family detached or Multifamily attached | 2. Single-Family | _____ |
| 3. If Multifamily-No. of units | 3. 0 | _____ |
| 4. If Multifamily, is this a worst case (yes/no) | 4. | _____ |
| 5. Conditioned floor area (sq.ft.) | 5. 3505.00 | _____ |
| 6. Predominant eave overhang (ft.) | 6. 2.00 | _____ |
| 7. Porch overhang length (ft.) | 7. 6.00 | _____ |
| 8. Glass area and type: | Single Pane Double Pane | |
| a. Clear Glass | 8a. 59.4sqft 322.10sqft | _____ |
| b. Tint, film or solar screen | 8b. 0.0sqft 0.00sqft | _____ |
| 9. Floor type and insulation: | | |
| a. Slab on grade (R-value, perimeter) | 9a.R= 0.00 , 229.00 ft | _____ |
| 10.Net Wall type area and insulation: | | |
| a. Exterior: 1. Concrete (Insulation R-value) | 10a-1 R= 4.20, 3340.00sqft | _____ |
| a. Exterior: 2. Wood frame (Insulation R-value) | 10a-2 R=19.00, 226.00sqft | _____ |
| b. Adjacent: 1. Concrete (Insulation R-value) | 10b-1 R= 4.20, 96.00sqft | _____ |
| 11.Ceiling type area and insulation: | | |
| a. Under attic (Insulation R-value) | 11a.R=19.00 , 2300.00sqft | _____ |
| 12.Air distribution systems | | |
| a. Ducts (Insulation + Location) | 12a. R= 6.20 , uncond | _____ |
| 13.Cooling system | 13. Type: Central A/C | _____ |
| | SEER: 12.00 | _____ |
| 13.Cooling system | 13. Type: Central A/C | _____ |
| | SEER: 12.00 | _____ |
| 14.Heating System: | 14. Type: Strip Heat | _____ |
| | COP: 1.00 | _____ |
| 14.Heating System: | 14. Type: Strip Heat | _____ |
| | COP: 1.00 | _____ |
| 15.Hot water system: | 15. Type: Electric | _____ |
| | EF: 0.88 | _____ |
| 16.Hot Water Credits: (HR-Heat Recovery, DHP-Dedicated Heat Pump) | 16. | _____ |
| 17.Infiltration practice: 1, 2 or 3 | 17. 1 | _____ |
| 18.HVAC Credits (CF-Ceiling Fan, CV-Cross vent, HF-Whole house fan, RB-Attic radiant barrier, MZ-Multizone) | 18. RB MZ | _____ |
| 19.EPI (must not exceed 100 points) | 19. 85.44 | _____ |
| a. Total As-Built points | 19a. 48676.54 | _____ |
| b. Total Base points | 19b. 56969.09 | _____ |



I Hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code

PREPARED BY: _____
DATE: 5/21/97

I hereby certify that this building is in compliance with the Florida Energy Code.

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance in accordance with Section 553.908 F.S.

SUMMER CALCULATIONS

=== BASE ===

=== AS-BUILT ===

| GLASS----- | | | | | | | | | | |
|------------|--------|----------|---------|---------|----|-------|------|-------|-------|----------|
| ORIEN | AREA | x BSPM = | POINTS | TYPE | SC | ORIEN | AREA | x SPM | x SOF | = POINTS |
| N | 77.10 | 109.7 | 8457.9 | DBL CLR | | N | 10.8 | 60.2 | .86 | 562.2 |
| | | | | DBL CLR | | N | 12.8 | 60.2 | .97 | 745.1 |
| | | | | DBL CLR | | N | 32.0 | 60.2 | .75 | 1444.8 |
| | | | | DBL CLR | | N | 5.5 | 60.2 | .85 | 281.1 |
| | | | | DBL CLR | | N | 16.0 | 60.2 | .97 | 930.9 |
| E | 81.70 | 109.7 | 8962.5 | DBL CLR | | E | 4.8 | 127.0 | .97 | 592.8 |
| | | | | DBL CLR | | E | 32.0 | 127.0 | .92 | 3725.3 |
| | | | | DBL CLR | | E | 20.0 | 127.0 | .79 | 2002.0 |
| | | | | DBL CLR | | E | 5.5 | 127.0 | .74 | 514.4 |
| | | | | SGL CLR | | E | 19.4 | 136.3 | .97 | 2570.4 |
| S | 155.40 | 109.7 | 17047.4 | DBL CLR | | S | 32.0 | 124.2 | .89 | 3546.0 |
| | | | | DBL CLR | | S | 72.0 | 124.2 | .52 | 4663.8 |
| | | | | DBL CLR | | S | 32.0 | 124.2 | .36 | 1447.5 |
| | | | | SGL CLR | | S | 19.4 | 135.6 | .77 | 2035.3 |
| | | | | DBL CLR | | W | 10.8 | 127.0 | .86 | 1178.9 |
| W | 67.30 | 109.7 | 7382.8 | DBL CLR | | W | 4.8 | 127.0 | .97 | 592.8 |
| | | | | DBL CLR | | W | 15.7 | 127.0 | .79 | 1571.6 |
| | | | | DBL CLR | | W | 15.4 | 127.0 | .83 | 1619.0 |
| | | | | SGL CLR | | W | 20.6 | 136.3 | .83 | 2324.2 |

| .15 x COND. FLOOR / | TOTAL GLASS | = ADJ. | x GLASS | = | ADJ GLASS | GLASS |
|---------------------|-------------|--------|---------|-----------|-----------|-----------|
| AREA | AREA | FACTOR | POINTS | | POINTS | POINTS |
| .15 | 3,505.00 | 381.50 | 1.378 | 41,850.55 | 57,674.78 | 32,348.22 |

| NON GLASS----- | | | | | | | | | | |
|-------------------|----------|--------|---------|--------------------|------|---------|--------|---------|--|--|
| AREA | x BSPM = | POINTS | TYPE | R-VALUE | AREA | x SPM = | POINTS | | | |
| WALLS----- | | | | | | | | | | |
| Ext | 3566.0 | 1.6 | 5705.6 | Ext NormWtBlock In | 4.2 | 2060.0 | 2.28 | 4696.8 | | |
| | | | | Ext NormWtBlock In | 4.2 | 1280.0 | 2.28 | 2918.4 | | |
| | | | | Ext Wood Frame | 19.0 | 226.0 | 1.60 | 361.6 | | |
| Adj | 96.0 | 1.0 | 96.0 | Adj NormWtBlock In | 4.2 | 96.0 | 1.18 | 113.3 | | |
| DOORS----- | | | | | | | | | | |
| Ext | 38.0 | 6.4 | 243.2 | Ext Wood | | 20.0 | 9.40 | 188.0 | | |
| | | | | Ext Insulated | | 18.0 | 6.40 | 115.2 | | |
| Adj | 18.0 | 2.6 | 46.8 | Adj Wood | | 18.0 | 3.80 | 68.4 | | |
| CEILINGS----- | | | | | | | | | | |
| UA | 2100.0 | .8 | 1680.0 | Under Attic | 19.0 | 2300.0 | 1.50 | 3450.0 | | |
| FLOORS----- | | | | | | | | | | |
| Slb | 229.0 | -20.0 | -4580.0 | Slab-on-Grade | .0 | 229.0 | -20.00 | -4580.0 | | |
| INFILTRATION----- | | | | | | | | | | |
| | 3505.0 | 14.7 | 51523.5 | Practice #1 | | 3505.0 | 18.60 | 65193.0 | | |

| | | | | | | | | | | |
|---------------------|------------|--|--|--|--|--|--|--|--|------------|
| TOTAL SUMMER POINTS | 112,389.88 | | | | | | | | | 104,872.91 |
|---------------------|------------|--|--|--|--|--|--|--|--|------------|

| TOTAL x SYSTEM = COOLING | TOTAL x CAP x DUCT x SYSTEM x CREDIT = COOLING |
|--------------------------|--|
| SUM PTS MULT POINTS | COMPON RATIO MULT MULT MULT POINTS |

WATER HEATING

=== BASE ===

=== AS-BUILT ===

| NUM OF BEDRMS | x | MULT | = | TOTAL | TANK VOLUME | EF | TANK RATIO | x | MULT | x | CREDIT MULT | = | TOTAL |
|------------------|---|--------|---|----------|-------------|-----|---------------|---|--------|---|----------------|---|----------|
| 3 | | 3319.0 | | 9,957.00 | 65 | .88 | 1.000 | | 3318.0 | | 1.00 | | 9,954.00 |

SUMMARY

=== BASE ===

=== AS-BUILT ===

| COOLING POINTS | + | HEATING POINTS | + | HOT WATER POINTS | = | TOTAL POINTS | COOLING POINTS | + | HEATING POINTS | + | HOT WATER POINTS | = | TOTAL POINTS |
|-------------------|---|-------------------|---|---------------------|---|-----------------|-------------------|---|-------------------|---|---------------------|---|-----------------|
| 41584.3 | | 5427.8 | | 9957.0 | | 56,969.09 | 28280.8 | | 10441.8 | | 9954.0 | | 48,676.54 |

* EPI = 85.44 *

 WINTER CALCULATIONS

=== BASE ===

=== AS-BUILT ===

| GLASS----- | | | | | | | | | | |
|------------|--------|--------|----------|---------|----|-------|------|-------|-------|----------|
| ORIEN | AREA | x BWPM | = POINTS | TYPE | SC | ORIEN | AREA | x WPM | x WOF | = POINTS |
| N | 77.10 | -.4 | -30.8 | DBL CLR | | N | 10.8 | 2.2 | 1.08 | 25.7 |
| | | | | DBL CLR | | N | 12.8 | 2.2 | 1.02 | 28.6 |
| | | | | DBL CLR | | N | 32.0 | 2.2 | 1.16 | 81.7 |
| | | | | DBL CLR | | N | 5.5 | 2.2 | 1.09 | 13.2 |
| | | | | DBL CLR | | N | 16.0 | 2.2 | 1.02 | 35.8 |
| E | 81.70 | -.4 | -32.7 | DBL CLR | | E | 4.8 | -1.1 | .92 | -4.8 |
| | | | | DBL CLR | | E | 32.0 | -1.1 | .70 | -24.6 |
| | | | | DBL CLR | | E | 20.0 | -1.1 | .25 | -5.6 |
| | | | | DBL CLR | | E | 5.5 | -1.1 | .04 | -.2 |
| S | 155.40 | -.4 | -62.2 | SGL CLR | | E | 19.4 | .1 | 1.58 | 3.1 |
| | | | | DBL CLR | | S | 32.0 | -3.1 | .92 | -91.7 |
| | | | | DBL CLR | | S | 72.0 | -3.1 | .31 | -69.0 |
| | | | | DBL CLR | | S | 32.0 | -3.1 | -.49 | 49.1 |
| W | 67.30 | -.4 | -26.9 | SGL CLR | | S | 19.4 | -2.0 | .69 | -26.8 |
| | | | | DBL CLR | | W | 10.8 | -1.1 | .51 | -6.1 |
| | | | | DBL CLR | | W | 4.8 | -1.1 | .92 | -4.8 |
| | | | | DBL CLR | | W | 15.7 | -1.1 | .25 | -4.4 |
| | | | | DBL CLR | | W | 15.4 | -1.1 | .40 | -6.8 |
| | | | | SGL CLR | | W | 20.6 | .1 | 4.67 | 9.6 |

| .15 x COND. FLOOR / | TOTAL GLASS | = ADJ. | x GLASS | = ADJ GLASS | GLASS |
|---------------------|-------------|--------|---------|-------------|---------|
| AREA | AREA | FACTOR | POINTS | POINTS | POINTS |
| .15 | 3,505.00 | 381.50 | 1.378 | -152.60 | -210.30 |
| | | | | | 1.94 |

| NON GLASS----- | | | | | | | | | | |
|-------------------|--------|------|----------|-----------------|---------|------|--------|-------|----------|--|
| AREA | x | BWPM | = POINTS | TYPE | R-VALUE | AREA | x | WPM | = POINTS | |
| WALLS----- | | | | | | | | | | |
| Ext | 3566.0 | .3 | 1069.8 | Ext NormWtBlock | In | 4.2 | 2060.0 | 1.02 | 2101.2 | |
| | | | | Ext NormWtBlock | In | 4.2 | 1280.0 | 1.02 | 1305.6 | |
| | | | | Ext Wood Frame | | 19.0 | 226.0 | .30 | 67.8 | |
| Adj | 96.0 | .5 | 48.0 | Adj NormWtBlock | In | 4.2 | 96.0 | .44 | 42.2 | |
| DOORS----- | | | | | | | | | | |
| Ext | 38.0 | 1.8 | 68.4 | Ext Wood | | | 20.0 | 2.80 | 56.0 | |
| | | | | Ext Insulated | | | 18.0 | 1.80 | 32.4 | |
| Adj | 18.0 | 1.3 | 23.4 | Adj Wood | | | 18.0 | 1.90 | 34.2 | |
| CEILINGS----- | | | | | | | | | | |
| UA | 2100.0 | .1 | 210.0 | Under Attic | | 19.0 | 2300.0 | .30 | 690.0 | |
| FLOORS----- | | | | | | | | | | |
| Slb | 229.0 | -2.1 | -480.9 | Slab-on-Grade | | .0 | 229.0 | -2.10 | -480.9 | |
| INFILTRATION----- | | | | | | | | | | |
| | 3505.0 | 1.2 | 4206.0 | Practice #1 | | | 3505.0 | 1.90 | 6659.5 | |

| | | | | | | | | | | |
|---------------------|----------|--|--|--|--|--|--|--|--|-----------|
| TOTAL WINTER POINTS | 4,934.40 | | | | | | | | | 10,509.98 |
|---------------------|----------|--|--|--|--|--|--|--|--|-----------|

| TOTAL | x | SYSTEM | = | HEATING | TOTAL | x | CAP | x | DUCT | x | SYSTEM | x | CREDIT | = | HEATING |
|---------|------|--------|---|---------|--------|-------|------|------|------|------|--------|---|--------|--------|---------|
| WIN PTS | MULT | | | POINTS | COMPON | RATIO | MULT | MULT | MULT | MULT | MULT | | | POINTS | |



August 18, 1997

TO: Phil Caruana
Chief Building Official
Town of Sewall's Point Building Dept.

RE: Krammer Residence
• Slab Elevations

Dear Sir:

On the Krammer residence the slab elevations were based upon the minimum stub out elevation given by the Health Department (EL 11.41 MSL). The ground elevation with proper cover over the drainfield and septic tank was approximately 12.7 MSL to 13.3 MSL at the front of the lot. In order to provide proper slopes and required depths for plumbing elbows the 100-ft of plumbing run would require a minimum main building slab elevation of 14.83 MSL.

Sincerely,

A handwritten signature in black ink, appearing to read 'William J. Mathers', written in a cursive style.

William J. Mathers, PE
FL License 19658

A handwritten signature in black ink, appearing to read 'W. J. Mathers', with the date '8/18/97' written below it.





Lawton Chiles
Governor

James T. Howell, M.D., M.P.H.
Secretary

STUBOUT ELEVATION AND EXCAVATION CERTIFICATION

APPLICANT: Robert Kathryn Kramer SEPTIC TANK PERMIT NO.: HD 97-173

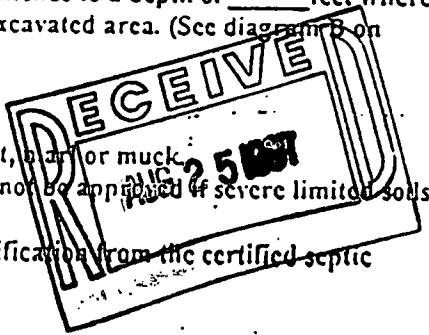
LEGAL DESCRIPTION: Lot 7, Block E, Homewood

The items which are checked off below must be certified by a surveyor or engineer and returned to the Martin County Health Department prior to the first plumbing inspection by the Building Department. Approval of this stubout elevation certification constitutes commencement of building construction for septic system permits.

- 1. Building Permit Number: # A214 (Certification not required for this item).
- 2. I certify that the elevation of the top of the lowest plumbing stubout is _____ inches (circle one) above / below benchmark elevation as indicated on septic tank permit.
- 3. I certify that the top of the lowest building plumbing stubout is 9" inches (circle one) above / below crown of road elevation shown on septic tank permit.
- 4. I certify that the top of the drainfield pipe elevation is _____
- 5. I certify that all moderate and or severely limited soils have been removed from an area of _____ feet by _____ feet a minimum depth of _____. Surveyor must submit 2 plot plans to scale of excavated area. (See diagram _____ A / _____ B on reverse side) Date Observed: ____/____/____
- 6. I certify that all moderately and or severely limited soils have been removed in an area _____ feet wide or 33% of the area of the drainfield. This area is centered in the drainfield and extends to a depth of _____ feet where slightly limited soils exist. Surveyor must submit 2 plot plans to scale of excavated area. (See diagram _____ B on reverse side) Date Observed: ____/____/____

NOTE:

- a. Severely limited soil includes but is not limited to hardpan, clay, silt, sand or muck.
- b. Drainfield must be centered in the excavated area. Drainfield will not be approved if severe limited soils are not removed.
- c. Condition numbers 5, 6 and 7 may be satisfied with excavation certification from the certified septic installer responsible for drainfield installation.



CERTIFIED BY: STEPHEN J. BROWN

As applicant or applicant's representative, I understand the above requirements.

Date: 8/25/97 Job Number: 1884-01-01

(Signature)

MARTIN COUNTY HEALTH DEPT.
Environmental Health DEPARTMENT USE ONLY

Quely
Martin County Health Department Approval Signature

8/25/97
(Date)

Stubcert.doc forms disk I Revised 01/17/97

FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33RD STREET FORT PIERCE, FLORIDA 34946

VERO BEACH (561)567-6167

FORT PIERCE (561) 461-7508

STUART (561) 283-7711

FT. PIERCE 1-800-233-9011

DENSITY OF SOIL IN-PLACE ASTM D-2922

CLIENT: Commercial Construction Div., Inc.

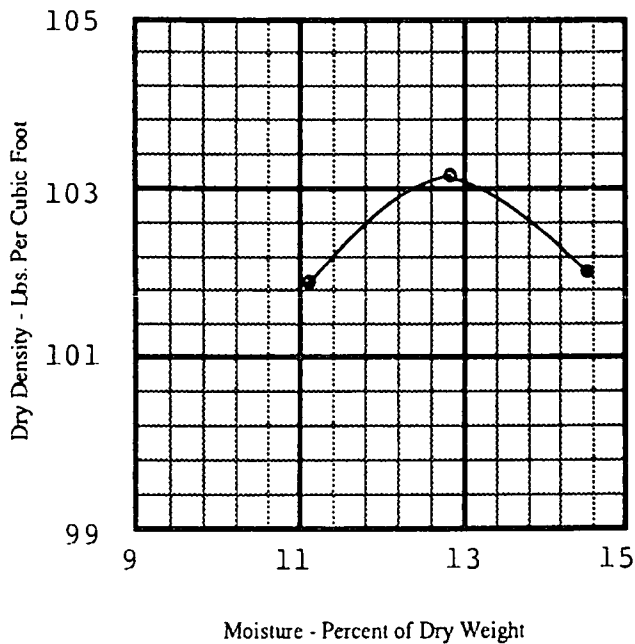
TEST DATE: 7/28/97

SITE: 11 South Ridgeway
Sewalls Point
Footings

PERMIT: 4214

TEST NO.: 3596

| LOCATION | ELEVATIONS | MOISTURE DENSITY RELATIONSHIP MAXIMUM DRY WEIGHT | IN-PLACE DRY DENSITY | PERCENT COMPACTION |
|---|------------|--|----------------------|--------------------|
| N. Side of Bldg. | 0 - 1' | 103.1 | 99.6 | 96.6 |
| E. Side of Bldg. | 0 - 1' | | 100.1 | 97.1 |
| S. Side of Bldg. | 0 - 1' | | 100.6 | 97.6 |
| W. Side of Bldg. | 0 - 1' | | 99.3 | 96.3 |
| All elevations below bottom of footing grade. | | | | |



| MOISTURE DENSITY RELATIONSHIP ASTM D-1557 | |
|--|-----------|
| Sample Location: | Composite |
| Test Method: | B |
| Maximum Density: | 103.1 |
| Optimum Moisture: | 12.8 |
| Soil Description: White & gray fine sand. | |

Copies:

Client - 1
Sewalls Pt. Bldg. Dept. - 1

Respectfully submitted,

FRASER ENGINEERING AND TESTING, INC.

Paul H. Danforth
Paul H. Danforth, P.E., FL Reg. No. 44653

FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33RD STREET FORT PIERCE, FLORIDA 34946

VERO BEACH (561)567-6167

FORT PIERCE (561) 461-7508

STUART (561) 283-7711

FT. PIERCE 1-800-233-9011

DENSITY OF SOIL IN-PLACE ASTM D-2922

CLIENT: Commercial Construction Div., Inc.

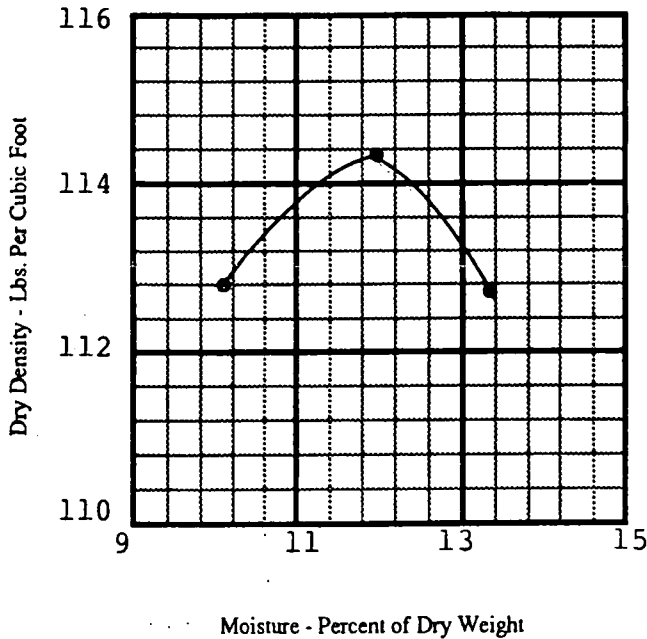
TEST DATE: 8/20/97

SITE: Kramer Residence
11 S. Ridgeview Rd.
Sewalls Point

PERMIT: 4214

TEST NO.: 3674

| LOCATION | ALL ELEVATIONS BELOW SLAB GRADE | MOISTURE DENSITY RELATIONSHIP MAXIMUM DRY WEIGHT | IN-PLACE DRY DENSITY | PERCENT COMPACTION |
|-------------|------------------------------------|--|----------------------------|-----------------------|
| N.E. Corner | 0 - 1' | 114.3 | 112.1 | 98.1 |
| " | 1 - 2' | | 112.4 | 98.3 |
| Center | 0 - 1' | | 112.4 | 98.3 |
| " | 1 - 2' | | 112.7 | 98.6 |
| " | 2 - 3' | | 113.4 | 99.2 |
| S.W. Corner | 0 - 1' | | 112.2 | 98.2 |
| " | 1 - 2' | | 112.6 | 98.5 |
| " | 2 - 3' | | 113.6 | 99.4 |



| MOISTURE DENSITY RELATIONSHIP ASTM D-1557 | |
|--|-----------|
| Sample Location: | Composite |
| Test Method: | B |
| Maximum Density: | 114.3 |
| Optimum Moisture: | 11.0 |
| Soil Description: Gray, slightly silty, slightly clayey, fine sand. | |

Respectfully submitted,

FRASER ENGINEERING AND TESTING, INC.

Paul H. Danforth
Paul H. Danforth, P.E. FL Reg. No. 44653

Copies:

Client - 1
Sewalls Pt. Bldg. Dept. - 1

Department of Community Affairs
 FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

SN: 7490

FORM 600A-93

Residential Whole Building Performance Method A

SOUTH

PROJECT NAME: Kramer Residence

BUILDER: Commercial Const.

AND ADDRESS: South Ridgeview

PERMITTING

CLIMATE

Sewall's Point

OFFICE:

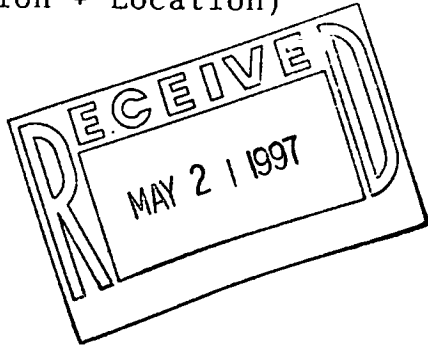
ZONE: 7 | 8 | 9

OWNER:

PERMIT NO.

JURISDICTION NO.

| | | |
|---|----------------------------|-------|
| 1. New construction or addition | 1. New Construction | CK |
| 2. Single family detached or Multifamily attached | 2. Single-Family | _____ |
| 3. If Multifamily-No. of units | 3. 0 | _____ |
| 4. If Multifamily, is this a worst case (yes/no) | 4. | _____ |
| 5. Conditioned floor area (sq.ft.) | 5. 3505.00 | _____ |
| 6. Predominant eave overhang (ft.) | 6. 2.00 | _____ |
| 7. Porch overhang length (ft.) | 7. 6.00 | _____ |
| 8. Glass area and type: | Single Pane Double Pane | |
| a. Clear Glass | 8a. 59.4sqft 322.10sqft | _____ |
| b. Tint, film or solar screen | 8b. 0.0sqft 0.00sqft | _____ |
| 9. Floor type and insulation: | | |
| a. Slab on grade (R-value, perimeter) | 9a.R= 0.00 , 229.00 ft | _____ |
| 10.Net Wall type area and insulation: | | |
| a. Exterior: 1. Concrete (Insulation R-value) | 10a-1 R= 4.20, 3340.00sqft | _____ |
| a. Exterior: 2. Wood frame (Insulation R-value) | 10a-2 R=19.00, 226.00sqft | _____ |
| b. Adjacent: 1. Concrete (Insulation R-value) | 10b-1 R= 4.20, 96.00sqft | _____ |
| 11.Ceiling type area and insulation: | | |
| a. Under attic (Insulation R-value) | 11a.R=19.00 , 2300.00sqft | _____ |
| 12.Air distribution systems | | |
| a. Ducts (Insulation + Location) | 12a. R= 6.20 , uncond | _____ |
| 13.Cooling system | 13. Type: Central A/C | _____ |
| | SEER: 12.00 | _____ |
| 13.Cooling system | 13. Type: Central A/C | _____ |
| | SEER: 12.00 | _____ |
| 14.Heating System: | 14. Type: Strip Heat | _____ |
| | COP: 1.00 | _____ |
| 14.Heating System: | 14. Type: Strip Heat | _____ |
| | COP: 1.00 | _____ |
| 15.Hot water system: | 15. Type: Electric | _____ |
| | EF: 0.88 | _____ |
| 16.Hot Water Credits: (HR-Heat Recovery, DHP-Dedicated Heat Pump) | 16. | _____ |
| 17.Infiltration practice: 1, 2 or 3 | 17. 1 | _____ |
| 18.HVAC Credits (CF-Ceiling Fan, CV-Cross vent, HF-Whole house fan, RB-Attic radiant barrier, MZ-Multizone) | 18. RB MZ | _____ |
| 19.EPI (must not exceed 100 points) | 19. 85.44 | _____ |
| a. Total As-Built points | 19a. 48676.54 | _____ |
| b. Total Base points | 19b. 56969.09 | _____ |



I Hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code

PREPARED BY: _____
 DATE: 5/21/97

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance in accordance with Section 553.908 F.S.

I hereby certify that this building is in compliance with the Florida Energy Code.

SUMMER CALCULATIONS

=== BASE ===

=== AS-BUILT ===

| GLASS----- | | | | | | | | | | |
|------------|--------|--------|----------|---------|----|-------|------|-------|-------|----------|
| ORIEN | AREA | x BSPM | = POINTS | TYPE | SC | ORIEN | AREA | x SPM | x SOF | = POINTS |
| N | 77.10 | 109.7 | 8457.9 | DBL CLR | | N | 10.8 | 60.2 | .86 | 562.2 |
| | | | | DBL CLR | | N | 12.8 | 60.2 | .97 | 745.1 |
| | | | | DBL CLR | | N | 32.0 | 60.2 | .75 | 1444.8 |
| | | | | DBL CLR | | N | 5.5 | 60.2 | .85 | 281.1 |
| | | | | DBL CLR | | N | 16.0 | 60.2 | .97 | 930.9 |
| E | 81.70 | 109.7 | 8962.5 | DBL CLR | | E | 4.8 | 127.0 | .97 | 592.8 |
| | | | | DBL CLR | | E | 32.0 | 127.0 | .92 | 3725.3 |
| | | | | DBL CLR | | E | 20.0 | 127.0 | .79 | 2002.0 |
| | | | | DBL CLR | | E | 5.5 | 127.0 | .74 | 514.4 |
| | | | | SGL CLR | | E | 19.4 | 136.3 | .97 | 2570.4 |
| S | 155.40 | 109.7 | 17047.4 | DBL CLR | | S | 32.0 | 124.2 | .89 | 3546.0 |
| | | | | DBL CLR | | S | 72.0 | 124.2 | .52 | 4663.8 |
| | | | | DBL CLR | | S | 32.0 | 124.2 | .36 | 1447.5 |
| | | | | SGL CLR | | S | 19.4 | 135.6 | .77 | 2035.3 |
| | | | | DBL CLR | | S | 19.4 | 136.3 | .97 | 2570.4 |
| W | 67.30 | 109.7 | 7382.8 | DBL CLR | | W | 10.8 | 127.0 | .86 | 1178.9 |
| | | | | DBL CLR | | W | 4.8 | 127.0 | .97 | 592.8 |
| | | | | DBL CLR | | W | 15.7 | 127.0 | .79 | 1571.6 |
| | | | | DBL CLR | | W | 15.4 | 127.0 | .83 | 1619.0 |
| | | | | SGL CLR | | W | 20.6 | 136.3 | .83 | 2324.2 |

| .15 x COND. FLOOR / | TOTAL GLASS | = ADJ. x | GLASS | = ADJ GLASS | GLASS |
|---------------------|-------------|----------|--------|-------------|-----------------------|
| AREA | AREA | FACTOR | POINTS | POINTS | POINTS |
| .15 | 3,505.00 | 381.50 | 1.378 | 41,850.55 | 57,674.78 32,348.22 |

| NON GLASS----- | | | | | | | | | | |
|-------------------|--------|-------|----------|-----------------|---------|------|--------|--------|----------|--|
| AREA | x | BSPM | = POINTS | TYPE | R-VALUE | AREA | x | SPM | = POINTS | |
| WALLS----- | | | | | | | | | | |
| Ext | 3566.0 | 1.6 | 5705.6 | Ext NormWtBlock | In | 4.2 | 2060.0 | 2.28 | 4696.8 | |
| | | | | Ext NormWtBlock | In | 4.2 | 1280.0 | 2.28 | 2918.4 | |
| | | | | Ext Wood Frame | | 19.0 | 226.0 | 1.60 | 361.6 | |
| Adj | 96.0 | 1.0 | 96.0 | Adj NormWtBlock | In | 4.2 | 96.0 | 1.18 | 113.3 | |
| DOORS----- | | | | | | | | | | |
| Ext | 38.0 | 6.4 | 243.2 | Ext Wood | | | 20.0 | 9.40 | 188.0 | |
| | | | | Ext Insulated | | | 18.0 | 6.40 | 115.2 | |
| Adj | 18.0 | 2.6 | 46.8 | Adj Wood | | | 18.0 | 3.80 | 68.4 | |
| CEILINGS----- | | | | | | | | | | |
| UA | 2100.0 | .8 | 1680.0 | Under Attic | | 19.0 | 2300.0 | 1.50 | 3450.0 | |
| FLOORS----- | | | | | | | | | | |
| Slb | 229.0 | -20.0 | -4580.0 | Slab-on-Grade | | .0 | 229.0 | -20.00 | -4580.0 | |
| INFILTRATION----- | | | | | | | | | | |
| | 3505.0 | 14.7 | 51523.5 | Practice #1 | | | 3505.0 | 18.60 | 65193.0 | |

| | | | | | | | | | | |
|---------------------|--|--|--|------------|--|--|--|--|--|--|
| TOTAL SUMMER POINTS | | | | | | | | | | |
| 112,389.88 | | | | 104,872.91 | | | | | | |

| TOTAL x | SYSTEM | = | COOLING | TOTAL | x CAP | x DUCT | x SYSTEM | x CREDIT | = | COOLING |
|---------|--------|---|---------|--------|-------|--------|----------|----------|---|---------|
| SUM PTS | MULT | | POINTS | COMPON | RATIO | MULT | MULT | MULT | | POINTS |

 WATER HEATING

=== BASE === | === AS-BUILT ===

| NUM OF BEDRMS | x | MULT | = | TOTAL | | TANK VOLUME | EF | TANK RATIO | x | MULT | x | CREDIT MULT | = | TOTAL |
|------------------|---|--------|---|----------|--|-------------|-----|---------------|---|--------|---|----------------|---|----------|
| 3 | | 3319.0 | = | 9,957.00 | | 65 | .88 | 1.000 | | 3318.0 | | 1.00 | = | 9,954.00 |

 SUMMARY

=== BASE === | === AS-BUILT ===

| COOLING POINTS | + | HEATING POINTS | + | HOT WATER POINTS | = | TOTAL POINTS | | COOLING POINTS | + | HEATING POINTS | + | HOT WATER POINTS | = | TOTAL POINTS |
|-------------------|---|-------------------|---|---------------------|---|-----------------|--|-------------------|---|-------------------|---|---------------------|---|-----------------|
| 41584.3 | | 5427.8 | | 9957.0 | = | 56,969.09 | | 28280.8 | | 10441.8 | | 9954.0 | = | 48,676.54 |

 * EPI = 85.44 *

WINTER CALCULATIONS

=== BASE ===

=== AS-BUILT ===

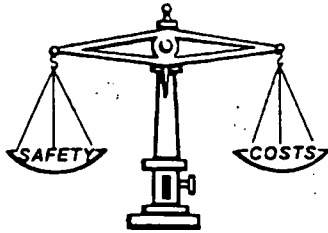
| GLASS----- | | | | | | | | | | |
|------------|--------|----------|--------|---------|----|-------|------|-------|-------|----------|
| ORLEN | AREA | x BWPM = | POINTS | TYPE | SC | ORLEN | AREA | x WPM | x WOF | = POINTS |
| N | 77.10 | -.4 | -30.8 | DBL CLR | | N | 10.8 | 2.2 | 1.08 | 25.7 |
| | | | | DBL CLR | | N | 12.8 | 2.2 | 1.02 | 28.6 |
| | | | | DBL CLR | | N | 32.0 | 2.2 | 1.16 | 81.7 |
| | | | | DBL CLR | | N | 5.5 | 2.2 | 1.09 | 13.2 |
| | | | | DBL CLR | | N | 16.0 | 2.2 | 1.02 | 35.8 |
| E | 81.70 | -.4 | -32.7 | DBL CLR | | E | 4.8 | -1.1 | .92 | -4.8 |
| | | | | DBL CLR | | E | 32.0 | -1.1 | .70 | -24.6 |
| | | | | DBL CLR | | E | 20.0 | -1.1 | .25 | -5.6 |
| | | | | DBL CLR | | E | 5.5 | -1.1 | .04 | -.2 |
| | | | | SGL CLR | | E | 19.4 | .1 | 1.58 | 3.1 |
| S | 155.40 | -.4 | -62.2 | DBL CLR | | S | 32.0 | -3.1 | .92 | -91.7 |
| | | | | DBL CLR | | S | 72.0 | -3.1 | .31 | -69.0 |
| | | | | DBL CLR | | S | 32.0 | -3.1 | -.49 | 49.1 |
| | | | | SGL CLR | | S | 19.4 | -2.0 | .69 | -26.8 |
| | | | | DBL CLR | | W | 10.8 | -1.1 | .51 | -6.1 |
| W | 67.30 | -.4 | -26.9 | DBL CLR | | W | 4.8 | -1.1 | .92 | -4.8 |
| | | | | DBL CLR | | W | 15.7 | -1.1 | .25 | -4.4 |
| | | | | DBL CLR | | W | 15.4 | -1.1 | .40 | -6.8 |
| | | | | SGL CLR | | W | 20.6 | .1 | 4.67 | 9.6 |

| .15 x COND. | FLOOR / TOTAL GLASS | = ADJ. | x | GLASS | = | ADJ GLASS | GLASS |
|-------------|---------------------|--------|-------|---------|---|-----------|--------|
| AREA | AREA | FACTOR | | POINTS | | POINTS | POINTS |
| .15 | 3,505.00 | 381.50 | 1.378 | -152.60 | | -210.30 | 1.94 |

| NON GLASS----- | | | | | | | | | | |
|-------------------|--------|--------|--------|-----------------|---------|------|--------|-------|--------|--|
| AREA | x | BWPM = | POINTS | TYPE | R-VALUE | AREA | x | WPM = | POINTS | |
| WALLS----- | | | | | | | | | | |
| Ext | 3566.0 | .3 | 1069.8 | Ext NormWtBlock | In | 4.2 | 2060.0 | 1.02 | 2101.2 | |
| | | | | Ext NormWtBlock | In | 4.2 | 1280.0 | 1.02 | 1305.6 | |
| | | | | Ext Wood Frame | | 19.0 | 226.0 | .30 | 67.8 | |
| Adj | 96.0 | .5 | 48.0 | Adj NormWtBlock | In | 4.2 | 96.0 | .44 | 42.2 | |
| DOORS----- | | | | | | | | | | |
| Ext | 38.0 | 1.8 | 68.4 | Ext Wood | | | 20.0 | 2.80 | 56.0 | |
| | | | | Ext Insulated | | | 18.0 | 1.80 | 32.4 | |
| Adj | 18.0 | 1.3 | 23.4 | Adj Wood | | | 18.0 | 1.90 | 34.2 | |
| CEILINGS----- | | | | | | | | | | |
| UA | 2100.0 | .1 | 210.0 | Under Attic | | 19.0 | 2300.0 | .30 | 690.0 | |
| FLOORS----- | | | | | | | | | | |
| Slb | 229.0 | -2.1 | -480.9 | Slab-on-Grade | | .0 | 229.0 | -2.10 | -480.9 | |
| INFILTRATION----- | | | | | | | | | | |
| | 3505.0 | 1.2 | 4206.0 | Practice #1 | | | 3505.0 | 1.90 | 6659.5 | |

| | | | | | | | | | |
|---------------------|----------|--|--|--|--|--|--|--|-----------|
| TOTAL WINTER POINTS | 4,934.40 | | | | | | | | 10,509.98 |
|---------------------|----------|--|--|--|--|--|--|--|-----------|

| | |
|--------------------------|--|
| TOTAL x SYSTEM = HEATING | TOTAL x CAP x DUCT x SYSTEM x CREDIT = HEATING |
| WIN PTS MULT POINTS | COMPON RATIO MULT MULT MULT POINTS |



DEPARTMENT OF COMMUNITY AFFAIRS

FLORIDA BOARD OF BUILDING CODES & STANDARDS

2555 SHUMARD OAK BLVD. • TALLAHASSEE, FLORIDA 32399-2100

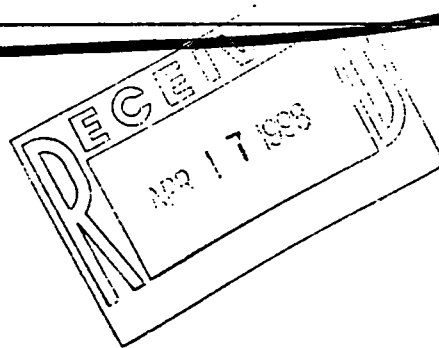
**COPY FOR YOUR
INFORMATION**

ADVISORY No.: 1998-7

**SUBJECT: Building Officials Authority to Allow for Practices that Meet the Intent of the Code
But Not Its Literal Requirements**

DATE: April 8, 1998

**Petitioner: Mr. Jim Howington
Seminole County Government
Building and Fire Prevention Division
1101 E. First Street
Sanford, FL 32771**



In response to a request for an advisory opinion by Mr. Jim Howington of Seminole County Government regarding whether building officials have the authority to allow for practices that meet the intent of the technical state minimum plumbing code but not its literal requirements, the Florida Board of Building Codes and Standards (the Board) issued the following advisory opinion at its March 31, 1998 meeting:

The building official as per Section 101.5, Existing Building, of the 1994 Standard Plumbing Code, has the authority to determine to what extent existing systems must comply for existing construction to the technical state minimum building codes, providing that the variance meets the performance requirements of the pertinent standards.

Should you have any questions or need more information regarding this advisory opinion, please call the Building Codes and Standards Office at 850-487-1824.

Signed:

Douglas Murdock
Chairman

DM/mm
Mo/advis7

PREPARED BY AND RETURN TO:
Town of Sewall's Point
1 S. Sewall's Point Road
Stuart, FL 34996

[Space above this line for recording]

Date: February 19, 1998

This is to request a Certificate of Approval for Occupancy to be issued to:
ROBERT S. KRAMER for Permit No. 4214 issued to construct a SINGLE FAMILY RESIDENCE upon property described as follows:

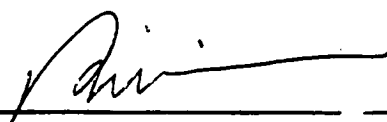
Lot 7, Block E, Section _____, Subdivision HOMEWOOD
known as: 11 SOUTH RIDGEVIEW ROAD When completed in conformance
with the approved plans and approval of the following required inspections.

CERTIFICATE OF OCCUPANCY

TOWN OF SEWALL'S POINT, FLORIDA

| | | | |
|---------------------|---------------------------|--------------------|---------------------------|
| Lot Stakes/Setbacks | Approved: <u>8/25/97</u> | Termite Protection | Approved: <u>9/2/97</u> |
| Footings/Slab | Approved: <u>9/2/97</u> | Rough Plumbing | Approved: <u>8/26/97</u> |
| Rough Electric | Approved: <u>11/24/97</u> | Lintel/Tie-beam | Approved: <u>10/1/97</u> |
| Roofing | Approved: <u>1/13/98</u> | Framing/Furring | Approved: <u>11/24/97</u> |
| Insulation | Approved: <u>11/26/97</u> | HVAC Rough | Approved: <u>11/24/97</u> |
| Final Electric | Approved: <u>1/23/98</u> | Final Plumbing | Approved: <u>1/23/98</u> |
| Final HVAC | Approved: <u>1/23/98</u> | Storm Shutters | Approved: <u>1/23/98</u> |
| Tie-in Survey | Approved: <u>1/20/98</u> | Landscape | Approved: <u>2/18/98</u> |

ISSUED THIS 19th DAY OF February, 1998


Building Inspector


Building Commissioner


Town Clerk

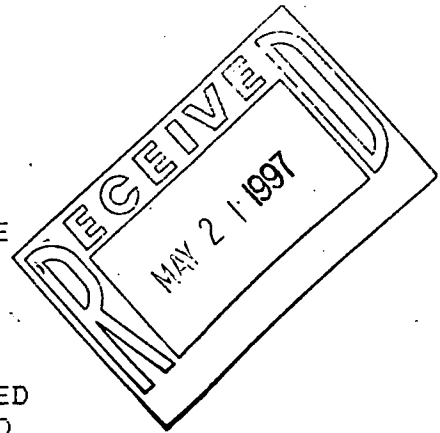
KRAMER RESIDENCE
LOT 7, AMENDED PLAT HOMEWOOD
SEWALL'S POINT

JOSEPH P. McCARTY ARCHITECT

MAY 14, 1996

KRAMER RESIDENCE
BIDDING ALLOWANCES

| | |
|--------------------|---------------------|
| Site Prep and Fill | \$2,000.00 |
| Appliances | \$6,000.00 |
| Ceramic Tile | \$5.00/SF INSTALLED |
| Carpet | \$18./SY INSTALLED |
| Cabinets and tops | ----- |
| Plumbing Fixtures | ----- |
| Landscaping | ----- |
| Shutters | ----- |



Decorative Light Fixtures and Fans by owner to be installed by Electrician. Can lights, Fluorescents etc. under base bid.

KRAMER RESIDENCE

SCOPE OF WORK

DIVISION ONE - GENERAL REQUIREMENTS

1-1 Interpretation of Plans

The Architects services do not include supervision of construction. The Architect divests himself of the responsibility of the work, errors or omissions resulting from the interpretation of the plans. If the Contractor believes he has discovered errors or omissions in the plans the Contractor shall notify the Architect in writing for clarification before continuing work.

1-2 Applicable Standards

All work under this Contract, or Sub-contracts shall conform to recent editions of local, state and national codes, ordinances and regulations pertaining to the work, A.C.I., A.N.S.I., A.S.T.M., O.S.H.A. etc.

1-3 General Conditions

1-3a Scope of Work Contractor shall furnish or provide for all items, articles, materials, operations or methods listed, mentioned or scheduled on drawings and/or herein specified, including all labor, materials, equipment and incidentals

necessary and required to perform and complete work as shown in drawings and/or herein specified or as required for a completed project.

1-3b Verifying Conditions Before commencing work, Contractor shall verify measurements and conditions at building site. Any differences between actual measurements and those shown on drawings shall be submitted to the architect in writing before proceeding.

1-3c Permits Contractor to provide all permits and fees as required from government agencies.

1-3d Surveying Owner to provide original survey and septic application. Contractor to provide all surveying as required during construction and shall verify all set backs and elevations.

1-3e Coordination Contractor to provide for all coordination required between sub-contracts and prime contract. All chases, cutting, patching etc. as required to be coordinated by Contractor. All patching shall be done to the satisfaction of the Owner.

1-3f Job-site Contractor to maintain a neat and orderly job-site. Individual sub-contractors to clean up after completion of their work. Final clean-up to be provided by Contractor.

1-3g Workmanship All work executed at job-site to be performed in a first-class and workmanlike manner in accordance with latest accepted standards and practice for trades involved. None but workmen experienced in work to be performed will be allowed to work.

1-3h Change Orders Changes in work to be accomplished or materials to be furnished shall be done by signed change orders as a modification to Agreement.

1-3i Temporary facilities Contractor to provide for temporary water, power and sanitary facilities as required by Work.

1-3j Protection of Work and Property All material and equipment shall be properly protected and kept in clean condition. All pipe ends and parts of equipment left unconnected shall be capped or plugged. Any work or equipment that is damaged shall be repaired or replaced as required at no cost to owner.

1-3k Testing and Laboratory Services Inspections or tests required by code, ordinance or as indicated herein or on Drawings shall be the responsibility of and paid for by Contractor.

1-3l Substitutions Any substitutions or approved equal substitutions will be submitted in writing to either Owner or Architect for approval.

1-3m Guarantees General Contractor to provide owner with all manufacturer supplied guarantees at end of job. General Contractor and all Sub-contractors to provide one year guarantees on building and all systems and equipment supplied by contract for one year after Certificate of Occupancy. Any required repairs will be made without charge to owner for materials or labor in this period. Air conditioning refrigerant cycles to be guaranteed for five years from CO.

1-4 Insurance - General contractor is responsible for insuring that all sub-contractors are licensed and insured. Insurance shall cover property liability and all personal injury. All contract labor must also be so insured. General contractor shall also cover builder's risk insurance on the project itself until the time of Certificate of Occupancy.

DIVISION TWO - SITE WORK

2-1 Clearing Remove vegetation and organic matter from building and pavement area. Remove from site. Do not bury.

2-2 Excavation Excavate site to levels required for construction. Strip soil of all deleterious material 5'-0" past exterior of building lines.

2-3 Fill and Compaction Provide clean well graded sand placed in maximum 12" lifts compacted to 95% of modified proctor maximum dry density, ASTM d-1557 at optimum moisture content. Compaction is to be verified by an independent testing laboratory and reported to Architect prior to commencement of foundation construction.

2-4 Soil Bearing Foundations are designed at assumed soil bearing value of 2500 pounds per square foot, and shall be verified by a Testing Laboratory. If such bearing values cannot be developed in the soil under the building, the contractor is to notify the Architect in writing. The Architect will, as an addition to his contract, provide a revised foundation design based on conditions reported on site in the testing engineer's report. This contract would also be revised accordingly.

2-5 Soil Treatment Treat compacted soil with termite treatment that is convertible to a maintenance policy. Do not treat after heavy rains or when excessively wet.

2-6 Site Grading and Drainage See site plan for details.

2-7 Walks and Drives Provide concrete drives and walks as indicated on site plan. Provide troweled edges and control joints.

2-8 Landscaping By owner, \$5,000.00 allowance

2-9 Well and Septic Provide septic system as required by

Health Department. Provide 3/4" water meter and water hook-up including all fees. Provide bid alternate for irrigation well and pump.

DIVISION THREE - CONCRETE

3-1 Concrete Structural concrete shall develop a minimum strength of 3000 psi at 28 days. All concrete shall be ready mixed and in accordance with ASTM C-94. Maximum allowable slump to be 5". All slabs to be 2500 psi at 28 days. Provide slump and cylinder tests by an independent testing laboratory. Provide 4 tests for each concrete placement and/or 4 tests for each 50 yards.

3-2 Scope Provide all structural concrete, filled cells, slabs, beams, footings, equipment pads, drives, walks etc. as shown on drawings or as needed to complete job.

3-3 Reinforcing Reinforcing steel shall be deformed, new billet steel in accordance with ASTM A-615, Grade 60. All splices shall be in accordance with Chapter 7 of ACI 318-81, with a minimum splice of 40 bar diameters.

3-1 Concrete Formwork Adequate and safe design of formwork and shoring is the responsibility of the Contractor. Sleeve slab and footing as required for mechanical and electrical.

3-2 Crack Control Provide "Fibermesh" crack control additive per manufacturers specifications in all slabs, footings and grade beams 1.5 lbs/C.Y..

3-3 Weatherproof Membrane Provide .006" polyethelene vapor barrier beneath building slab.

DIVISION FOUR - MASONRY

4-1 Unit Masonry Concrete block units to conform with ASTM C-90. Provide shapes and sizes required to complete the work with a minimum of cutting and piecing. Provide reinforcement of the types shown on the Drawings.

4-2 Mortar Provide mortar type "S" conforming with ASTM 270.

4-3 Grout Provide grout in accordance with ASTM C476.

4-4 Execution Except as shown on the Drawings, lay up the concrete masonry units in running bond, tooling all joints except where scheduled to be stuccoed.

DIVISION FIVE - METALS

5-1 Miscellaneous Metals Contractor shall furnish and install, or furnish for other trades when required, all miscellaneous metal, steel, and metal fabrications including but not limited

to, hangers, anchors, bolts, plates, supports, lintels, brackets, and other miscellaneous items necessary to frame or support the Work.

DIVISION SIX - WOOD AND PLASTICS

6-1 Lumber All lumber permanently incorporated into the structure shall be air or kiln dried and shall contain not more than 19% moisture. Elevate and cover lumber on site to protect from moisture. All lumber and plywood shall be identified by grade stamps.

All structural wall studs to be spruce or hem-fir kiln-dried 2x4's or 2x6's except where noted, minimum Fb=1200 PSI. All studs to be straight and true. Framing lumber to be #2 or better, minimum Fb=1200 PSI. All beams, columns, porch framing, and decking to be pressure treated SOUTHERN PINE NO. 2 Minimum Fb=1500 PSI and minimum E = 1,600,000 PSI.

Furring shall be pressure treated yellow pine, installed as required using shims, if necessary, to provide a true planer surface for finish materials. Ceiling is to be shimed for smooth gypsum board finish.

Wood in direct contact with concrete, masonry, or soil shall be pressure treated with the requirements of the standards of the American Wood Preservers Association.

All carpentry, rough and finish to be a first class installation. No staples shall be visible in finished job interior or exterior.

6-2 Wood Trusses Wood trusses, beams by truss company, and floor systems by truss company shall be designed and certified by a Florida Registered Structural Engineer. Installation and temporary field bracing shall be in strict accordance with manufacturers specifications and applicable codes and standards.

Field Measurements Truss manufacturer to take measurements in field as required to verify or supplement dimensions on drawings and assume responsibility for fit of wood trusses.

6-3 Rough Carpentry Select material so that knots and defects will not interfere with placing bolts or proper nailing. Produce joints which are tight, true, and well nailed, with members assembled in accordance with the Drawings and with pertinent codes and regulations.

Lumber may be rejected by Architect or Owner, whether or not it has been installed, for excessive warp, twist, bow, mildew, mold, as well as for improper cutting or fitting.

All wood stud walls shall be 16" on center and shall be straight, true and plumb to a tolerance of 1/4" in 10 feet. Ceilings to be

shimmed as required to level to 1/4" in 10 feet.

Provide blocking as required for installation to support all finish or trim items. Provide blocking above all windows and sliding glass doors for installation of drapery hardware.

Comply with the nailing schedule and other fastening requirements contained in the pertinent regulations of governmental agencies having jurisdiction.

6-4 Finish Carpentry Store wood products indoors in a dry place at least 3 days before installation.

See drawings for interior trim all trim to be paint grade. See drawings for fireplace mantle and beadboard wainscoting in master bath. All other built-ins etc to be under cabinetry allowance.

All doors (bi-fold and swing) to be cased. See drawings or schedule for trim details.

Produce joints which are true, tight, and well nailed with all members assembled in accordance with the drawings. Make joints to conceal shrinkage, miter exterior joints, cope interior joints, miter or scarf end-to-end joints.

Install trim in pieces as long as possible, jointing only where solid support is obtained. Finger joint not allowed if stained finish.

Sandpaper finished wood surfaces thoroughly as required to produce a uniformly smooth surface, always sanding in the direction of the grain.

No coarse grained sandpaper mark, hammer mark, or other imperfection will be accepted.

6-5 "Cabinetry" Cabinetry and counter-tops will be provided and installed by sub-contractor as selected by owner. Price of Cabinetry will be provided by allowance. \$12,000.00.

6-7 Stairway Stairway and interior railings to be pine, by owner installed by GC.

6-8 Shutters Shutters as indicated to be aluminum operable and as approved by Sewalls point for 140 MPH winds. Shutters not shown on elevations shall be aluminum panel type with removeable tracks. All shutters to Sewall's Point requirements.

DIVISION SEVEN - THERMAL AND MOISTURE PROTECTION

7-1 Waterproofing Coordinate waterproofing with other trades and

make provisions for their work to avoid cutting and patching.

7-2 Insulation Supply and install building insulation as required for the Work. Provide the following insulation: All ceilings - R-19 batt insulation with radiant barrier. Exterior frame walls and interior sound insulation in frame walls - R-19 batt insulation. Provide R-19 insulation in second floor framing. Block walls to be R-4.2 Fi-foil.

7-3 Roofing Provide and install Elk Prestige shingles with 6 nails per shingle as per Dade-County approved application.

7-4 Flashing and Sheet Metal Provide flashing and sheet metal not specifically described in other Sections of these specifications but required to prevent penetration of water through the exterior shell of the building complying with pertinent recommendations contained in current edition of SMAACNA's "Architectural Sheet Metal Manual".

All flashing to be 16 ounce Copper unless otherwise noted.

Provide metal flashing above all windows and doors, provide metal pans for all exterior door thresholds.

7-5 Sealants and Caulkings Standard caulking compound shall be a one part acrylic latex compound such as DAP latex caulk or DeWitt latex caulking. Color shall be manufacturers standard paintable grade.

Provide primers, backup materials, bond-preventative materials, and other materials required for a complete and proper installation.

Joint filler shall be untarred oakum, fiberglass, polyurethane or polyurethane foam. Filler shall be compatible in all respects with caulking compound or sealant.

Standard caulking shall only be used for interior work. Sealant shall be used for all exterior caulking and both sides of expansion joints.

Exterior sealant to one part Urathane, Tremco Dymonic or Sonneborn NP 1.Ultima.

7-6 Infiltration Barrier Building to comply with Florida Energy Efficiency Code for Building Construction Infiltration practice #2. Provide code approved infiltration barrier.

DIVISION EIGHT - DOORS AND WINDOWS

8-A Doors and Frames Provide all doors and frames hung true and plumb as indicated on schedule. All indicated doors to be 4 panel pa
grade solid wood. All other interior doors to be 4-panel Masonite

or Elite. Bi-fold doors to be louver over panel.

8-B Windows Provide all fixed glass and operative windows true and plumb as indicated on schedule.

8-C Door Hardware Hardware to be Schlage series "A" as selected by owner. Entry door hardware by allowance. All exterior doors to be keyed the same.

8-D Mirrors Provide clear plate glass mirrors as provided by allowance. Mirrors to be Type I, Class 1 (FS DD-G-451) with silver coating, copper protective coating and 2 mil thick paint coating, comply with CS27. Provide mirrors as indicated on plans.

DIVISIONS NINE - FINISHES

9-A Gypsum Wallboard

1. Work shall be done in strict accordance with the standards established in the U.S.G. Drywall Construction Handbook, latest edition, or comparable publication by other manufacturer, particularly in regard to fastener spacing and treatment of joints and corners.

2. Ceilings to receive slick finish, shim as required, all walls to be slick finish.

3. Fasten wallboard with 1-1/4" type W bugle head screws. Space screws 12" on center on ceilings and 16" on center on walls, glue ceilings and walls. (follow specifications on structural drawings for wallboard fastening for "shear walls".)

4. Provide 1/2" wall board on walls, 5/8" on ceilings.

5. Provide a complete system of metal trim formed from zinc-coated steel not lighter than 26 gauge. (Corners, J-mold etc.)

6. All gypsum board in damp locations such as porch ceilings, baths, laundries etc. to be moisture resistant. All tub and shower tile surrounds (including tub skirts, and decks) to be cementitious backing board such as wonderboard, or Dens-glas to six feet above finish floor. (Except fiberglass. All second floor tiled floors to have wonderboard underlayment over 3/4" T&G plywood (typical).

9-B Ceramic Tile, and Marble

1. Comply with recommendations contained in the current edition of "Handbook for Ceramic Tile Installation" of the Tile Council of America.

2. Provide the ceramic tiles, and marble as shown on drawings. Provide marble thresholds at doors indicated in door

schedule. Provide non-slip or abrasive tiles on all floor surfaces. Provide colors and patterns as selected by owner. Tile price to be covered by allowance.

9-C Painting

1. Prepare substrate and apply paint coatings in strict accordance with recommendations of the manufacturer of the approved paint system.

2. All surfaces shall be covered with the minimum number of coats as listed. Additional coverage shall be provided as required to cover all holidays.

3. Protect all exposed floors, porches, patios, walls, windows etc. as required for full protection.

4. Sand with fine sandpaper between all coats applied to wood.

5. All coats must be thoroughly dry before application of additional coats.

6. Clean all surfaces, sand, putty, and spackle as required before painting.

7. Finish tops and edges of all doors same as face. If bottom of door is cut, paint this surface.

8. Paint residue or overspray shall be removed from adjacent unpainted surfaces by painter.

9. Verify all stucco surfaces are properly cured before painting.

10. Exterior to receive 1 base color, 1 trim color and 1 stucco color.

11. Interiors to be one trim color thruout and one wall color per room.

PAINING SCHEDULE

All paints to be Benjamin Moore or approved equal or as noted.

Exterior Stucco: 2 coats Moorgard

Exterior Wood: 1 coat exterior Moorwhite primer
2 coats Moorw glo

Interior Wallboard: 1 coat Moorcraft Latex Primer Sealer, 2 coat Moore's regal wall satin

Interior Ceilings: 2 coats regal wall satin, decorator's white.

Interior doors and trim: 1 coat Moore's Alkyd Enamel Underbody, 2 Coats Moore's Satin Impervo Enamel. Supplier to guarantee enamel to be fresh (non-yellowing)

DIVISIONS TEN - SPECIALTIES

Provide specialties and install specialties as noted. Provide all blocking, recesses etc. as required for installation of specialties.

10-A Bath Accessories

Builders standards.

10-B Shelving Provide wooden closet shelving and rods as indicated on plans.

10-C Shower doors Provide shower doors or enclosures as shown on drawings, Diston Industries, Biscayne series, silver or approved equal

10-D Screen Enclosure Provide white aluminum screening at screened porch with charcoal grey screening.

DIVISION ELEVEN - EQUIPMENT

Provide and install equipment as indicated. Provide all blocking, recesses, chases, power etc. for installation of equipment. Provide owner with all operation manuals, warranties etc. as provided with all equipment.

11-A Appliances Provide and install all appliances as indicated on plan, price of appliances to be covered by allowance.

11-B Built-in items

1. Attic access: provide pull down stair and attic hatch as indicated on plans. Attic access to be 32" "Imperial"

11-C Additional Equipment

1. Ceiling fans to be supplied by owner and installed by electrician.

2. Garage door openers: provide garage door opener(s) as required, 1/3 horse power Crawford Power Lift CH1000 with two operators each or approved equal.

3. Fire Place Provide Superior TM 4500 fireplace with make-up air. Provide architectural term cap and spark arrestor. Provide offset in flue as required to clear second floor air handler

DIVISION TWELVE - FURNISHINGS - NOT APPLICABLE

DIVISION THIRTEEN - SPECIAL CONSTRUCTION N/A

DIVISION FOURTEEN - CONVEYING SYSTEMS - NOT APPLICABLE

DIVISION FIFTEEN - MECHANICAL

15-A Air Conditioning Systems

1. Provide systems as shown on drawings, thermostat and controls as required to run system. HVAC contractor shall become familiar with site, documents pertaining to scope of work, and general construction. He shall read and become familiar with specifications and shall perform his work in full accordance with all applicable paragraphs. Layout, balancing and testing necessary for complete installation of heating, ventilating and air conditioning systems as required by climate, nature of construction, and site to the satisfaction of the Owner. This work includes, but is not limited to, heating and cooling equipment, duct work, insulation, temperature controls, grilles and other items of equipment for a complete operating system.

EER = 12.0 minimum.

2. Provide condensate drain, 26 guage galvanized auxiliary pan and drain to exterior.

3. Ductwork shall be R-6 flexible duct or ductboard.

4. Supply grills shall be white painted aluminum with opposed blade dampers. All dampers to have individual controls. All grills to be Metalaire or equal.

5. Provide air supply to all walk-in closets.

6. The A/C Contractor to guarantee the system to maintain 75 Degrees F. at 95 Degrees F. outside temperature for cooling and 75 Degrees F at 40 Degrees F. outside for heating.

7. All grills to be standard size.

15-B Plumbing

1. Provide plumbing system, complete in place, tested and approved, where shown on the Drawings, as specified herein, and as needed for a complete and proper job.

2. All plumbing work and materials shall be in accordance with the latest editon of the Standard Plumbing Code, local ordinances and in compliance with the Energy Conservation Code.

3. Hose bibs shall be brass or bronze, fastened securely 18" above grade where shown on Drawings. All hose bibs shall have a non-removable anti-syphon device installed.

4. Fixtures shall be protected against water hammer with air chambers when required.

5. Provide shut off valves to all mains entering the building and each piece of equipment.

6. Install dielectric union at inlet and outlet of water heater. Install water heater in approved pan and provide drain line as required. Provide convection loop back to water heater.

7. Building sewers, vents and all underground drainage lines shall be schedule 40 PVC.

9. Water piping to be soft Type L Copper, under slab, hard above slab.

10. Water service shall be 3/4".

11. Insulation, Provide pipe insulation on refrigerant lines and domestic water lines as per industry standards. Insulation exposed to weather shall be protected as required.

12. Gather vents in attic as allowed and vent toward rear of house.

PLUMBING SCHEDULE

DIVISION SIXTEEN - ELECTRICAL

1. Scope: Furnish all equipment and materials and perform all labor and services necessary to installation for a complete system for lighting and power. Each system shall be complete in all respects and shall be turned over to Owner in a first-class operating condition and fully tested and complete with all devices which are normal for intended systems and those required for their safe operation.

2. Materials and manner of installation of electrical system, shall be in strict accordance with the requirements of the local governing authorities having jurisdiction, and the standards set forth by NFPA, U.L., or other recognized testing laboratories. The installation shall conform to the latest edition of the NEC.

3. Equipment mounted on the exterior of the building shall be designed, labeled and installed for exterior, weatherproof service conditions.

4. Service: Contractor shall carry out all required arrangements with FPL for installation of the service, permits and inspection.

5. Telephone and Cable: Contractor shall furnish entrance service and distribution system with receptacles.

6. HVAC wiring: Contractor shall provide wiring to air conditioning equipment including power wiring, control wiring and interlocking wiring in accordance with diagram as provided by Mechanical Sub-contractor.

7. Panel Schedule: Panel shall be clearly marked as to all circuits.

Note: All decorative fixtures and ceiling fans to be supplied by owner and installed by electrical sub-contractor. All flourescent, can lights and other by electrical sub-contracotr.

TOWN OF SEWALL'S POINT BUILDING PERMIT

13841006005000700000
 PARCEL CONTROL NUMBER _____

PERMIT NUMBER 4214
 DATE ISSUED 7/10/97
 CONTRACTOR OR OWNER/BLDR. _____
 ADDRESS _____
 CITY/ST/ZIP _____
 TELEPHONE _____

OWNER Robt & Kay Kramer
 ADDRESS _____
 CITY/ST/ZIP _____
 TELEPHONE _____

FLOOD ZONE X
 TO BE CONSTRUCTED SINGLE FAM RES.
 SITE ADDRESS 11 SOUTH RIDGEWAY
 SUBDIVISION HOMELWOOD
 CONSTRUCTION VALUE 300,000

9/26/97 10/14/97
 R & F
PEST CONTROL SERVICES INC.
 1856 4648 S/W MACEDO BLVD.
 PORT ST LUCIE, FL 34984
Slab # 91277 Ratios!

FEES
 REMODELING/NEW CONSTRUCTION 2400
 IMPACT 1508²⁰
 RADON 31⁸⁰
 SEPTIC _____
 WELL _____
 FENCE _____
 POOL _____
 DOCK _____

PLUMBING 100
 ELECTRICAL 100
 MECH./A.C. 100
 ROOF 100
 WALL _____
 POOL ENCLOSURE _____
 OWNER/BUILDER _____
 TOTAL 4340
 PAID BY CHECK 11376

Vamite & Pest Control
 1856 S/W MACEDO BLVD.
 PORT ST LUCIE, FL 34984

BUILDING INSPECTION (FOR OFFICIAL USE ONLY)
 (SIGN OFF) DAN IN 8/17/97

FORM BOARD SURVEY ✓ DATE 8/25/97
 ROUGH PLUMBING ✓ DATE 8/26/97
 TERMITE PROTECTION ✓ DATE 9/2/97
 FOOTING-SLAB ✓ DATE 9/2/97
 LINTEL ✓ DATE 11/24/97
 ROUGH ELECTRIC ✓ DATE 11/24/97
 FRAMING ✓ DATE 11/24/97
 A/C DUCTS ✓ DATE 11/24/97

NAILING ✓ DATE 10/20/97
 ROOF _____ DATE _____
 INSULATION _____ DATE 11/26/97
 FINAL ELECTRIC _____ DATE _____
 FINAL PLUMBING _____ DATE _____
 SEPTIC FINAL _____ DATE _____
 DRIVEWAY _____ DATE _____
 FINAL C.O. _____ DATE _____

PERMIT AUTHORIZED BY [Signature]

- Call 287-2455 from 8:00 a.m. to 4:00 p.m. for inspections.
- Requests for inspections require 24 hours notice.
- All work must be in compliance with the Town of Sewall's Point ordinances, the South Florida Building Code, the State of Florida Energy Efficiency Building Code and Elevations based on the latest flood insurance rate map.
- Portable toilet facilities and haul-off trash container must be in job site before initial inspection.
- Working hours are from 8:00 a.m. to 5:00 p.m. Monday through Saturday.
- No trucks, trailers or other commercial vehicles may be left on job site overnight unless totally concealed. Violators will be cited. Questions regarding such equipment should be directed to the Building or Police Departments.

26544788
 11138888
 11138888
 11138888

MARTIN COUNTY HEALTH DEPARTMENT

Your new repair abandoned septic system
was inspected on 11/18/97 [HD] 97-17315

Approved and cover

Cover but hold for:

Final Grade (see Permit for specifications)

Other: TNS

Do not cover, disapprove

Well:

Other:

Reinspection Fee(s) \$ 25

System Reinspection Not Approved:
Reason(s):

Other:

Final Grade Passed WATER OK
 System Approved 11/20/97
Please allow this office two working days to schedule a reinspection. If you have any questions, contact

Doug McCoy at (561) 221-4090
Rev. 9/96

4215

POOL

Mark O'Hearn
**MARK O'HEARN
JON E. DURANKO**

PERMIT ACCOUNT
1490 N.W. FEDERAL HIGHWAY
STUART, FL 34994

2314

83-643/670
00566

PAY
TO THE
ORDER OF

7/3 1997
TOWN OF SEWALL'S POINT

\$ 100.00

One Hundred & no/100

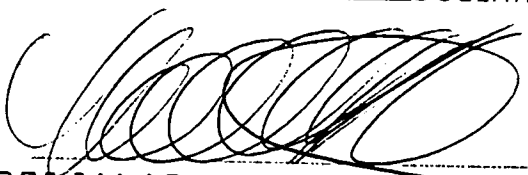
DOLLARS 

FIRST UNION

First Union National Bank
of Florida
North Palm Beach, Florida
24 Hour Information Service
1-800-735-1012

FOR

Commercial Cust. ("KRAMER" RESIDENCE) #297153-6



⑈002314⑈ ⑆067006432⑆2656609621410⑈

MASTER PERMIT NO. 4214

TOWN OF SEWALL'S POINT

Date 7/10/97

BUILDING PERMIT NO. 4215

Building to be erected for Robt & Kathy Kramer Type of Permit Sw. Pool

Applied for by Pool (Contractor) Building Fee _____

Subdivision Homewood (amend) Lot 7 Block _____ Radon Fee _____

Address 11 South Ridge View Road Impact Fee _____

Type of structure Pool A/C Fee _____

Electrical Fee _____

Parcel Control Number:

Plumbing Fee _____

138410060050007000000

Roofing Fee _____

Amount Paid 100⁰⁰ Check # 2314 Cash _____ Other Fees (Pool) 200⁰⁰

Total Construction Cost \$ 12,146 *bal due \$100* TOTAL Fees _____

Signed Barbara Muncy Signed _____

Applicant

Town Building Inspector

Permit No. _____

Date _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Commercial Const (KRAMER) Present Address Lot 7 Ridgeview
285-0296

Phone (220-3488)

Contractor Pools By Andrews Address 110 South Ridgeview Road

Phone 622-0604

Where licensed MARTIN License number CPCO 29646

Electrical contractor By Bldg License number _____

Plumbing contractor Pools By Andrews License number CPCO 29646

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: _____

State the street address at which the proposed structure will be built: Swimming Pool

Ridgeview Rd. Lot 7

Subdivision HomeWood Lot number 7 Block number _____

Contract price \$ 12,146.00 Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor: [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner _____

TOWN RECORD

Date submitted 7/3/97 Approved: [Signature] 7/10/97
Building Inspector Date

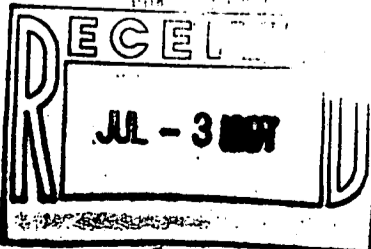
Approved: [Signature] Commissioner Date Final Approval given: _____ Date

Certificate of Occupancy issued (if applicable) _____ Date

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.



HOLD FOR BLDG PERMIT APPLICATION

[Signature] **SUBMITAL:**

4215

Building Permit No. _____ Tax Folio No. _____

STATE OF Florida

COUNTY OF Martin

STATE OF FLORIDA
MARTIN COUNTY
THIS IS TO CERTIFY THAT THE
ENCLOSING _____ PAGE _____
AND CORRECT COPY OF _____



BY Martha B. Kramer
2-8-97

This area reserved for Recording Purposes only

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. Description of Property:
(legal description of the property, and street address if available)
XXXX SOUTH RIDGEVIEW ROAD, STUART, FL 34996

2. General Description of Improvements: Single Family Dwelling
Lot 7, Block E, AMENDED PLAT OF HOMEWOOD, Plat Book 3, Page 35, Martin County, Florida public records.

3. Owner Information
a. Name and Address ROBERT S. KRAMER
107 HILLCREST COURT, STUART, FL 34996
b. Interest in property FEE SIMPLE
c. Name and address of fee simple titleholder (if other than owner)

4. Contractor (name and address)
COMMERCIAL CONSTRUCTION DIVISION, INC.
833 E. 5TH STREET, STUART, FL 34994
a. Phone number (407) 220-3488
b. FAX number (optional, if service by FAX is acceptable)

5. Surety
a. Name and Address
b. Phone number
c. FAX number (optional, if service by FAX is acceptable)
d. Amount of bond \$

6. Lender Information
a. Name and Address SunTrust Bank, South Florida, N.A.
111 Orange Avenue, Fort Pierce, FL 34950
b. Phone number (561)467-6230
c. FAX number (optional, if service by FAX is acceptable)
d. Designated Contact Paula Chadwick

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a) 7., Florida Statutes (name and address)
a. Phone number (561)467-6230
b. FAX number (optional, if service by FAX is acceptable)

8. In addition to himself, Owner designates Paula Chadwick of SunTrust Bank, South Florida, N.A. to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

a. Phone number (561)467-6230
b. FAX number (optional, if service by FAX is acceptable)

9. Expiration date of Notice of Commencement (the expiration date is one (1) Year from the date of recording unless a different date is specified). Other expiration date _____

Robert S. Kramer
Signature of Owner ROBERT S. KRAMER

Owner's Name (must be typed)

STATE OF FLORIDA
COUNTY OF Martin

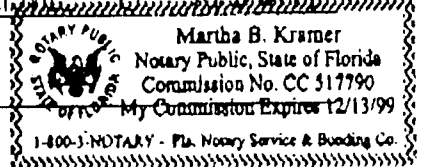
Sworn to and subscribed before me, by the Owner who is personally known to me or who produced

as identification, this 8th day
of July 1997.

Notary Public Martha B. Kramer
Signature

Print or Type Name Martha B. Kramer

My Commission Expires _____
Martha B. Kramer
Notary Public, State of Florida
Commission No. CC 317790
My Commission Expires 12/13/99



SWIMMING POOL CONSTRUCTION AGREEMENT

Florida License CPC029646

THE GENERAL TERMS AND CONDITIONS ON THE REVERSE SIDE ARE PART OF THIS AGREEMENT.

This AGREEMENT made as of the date of written acceptance of POOLS BY ANDREWS, INC. herein termed "Contractor" and COMMERCIAL CONSTRUCTION DIVISION INC (Owner/Prime Contractor) herein termed "Owner",

JOB ADDRESS KRAMER RESIDENCE RIDGEVIEW RD CITY SEWALKS POINT ZIP _____

MAIL ADDRESS 301 S.W. ALBANY AVE CITY STUART FL ZIP 34994

HOME PHONE _____ BUSINESS PHONE STEVE 220-3488 Contractor agrees to

construct for Owner, in substantial conformance with the specifications set forth hereinafter, the following described swimming pool, herein called "the work".

POOL SIZE 13' x 24' DEPTH 3' x 6' SURFACE AREA (SQ. FT.) 312 PERIMETER 74

GENERAL SERVICES

1. Standard structural engineering plans and specifications.
2. Swimming pool construction permits as required by municipality codes.
3. Contractor to hand form and shape pool.
4. Excavate and remove soil on day of excavation.
5. Install steel reinforcing throughout structure.
6. Gunite-concrete shell to meet or exceed city or county codes.
7. One set of shallow end steps.
8. Complete hook-up of all water lines from filter to pool.
9. Pressure test all plumbing.
10. Non-corrosive PVC plumbing throughout.
11. Main drain receptacle with grate.
12. Skimmer with self adjusting weir.
13. Concrete pad for pool equipment.
14. Vacuum head and hose, tele-pole, brush, leaf skimmer and test kit.
15. Initial start-up service, instructions and maintenance manual.
16. Clean-up pool construction debris after completion of plaster.
17. State sales and federal taxes.
18. Public liability and workmen's compensation insurance.
19. Property damage negligence insurance to pool during construction.
20. Up to 6 yards of rock included. Any additional rock to be charged at \$ 30.00 per yard.

OWNER RESPONSIBILITIES

1. Approve pool elevation and verify location of property lines.
2. Pay for rerouting the overhead or underground utilities when required.
3. Pay for any additional costs incurred due to underground obstacles, rock or water.
4. Pay any additional costs incurred due to soil with inadequate bearing capacity.
5. Pay for electrical panel change or addition of sub panel if required by local code or if existing service is inadequate.
6. WATER CURE GUNITE-CONCRETE SHELL 7 DAYS MINIMUM.
7. FILL POOL WITH WATER IMMEDIATELY AFTER PLASTER AND BRUSH PLASTER AS INSTRUCTED.
8. Provide fencing to meet municipality codes.
9. Provide pool maintenance after completion.

GENERAL CONSTRUCTION SPECIFICATIONS

1. Access walls or fence to be:
 - Removed by N/A Owner Pools by Andrews
 - Replaced by N/A Owner Pools by Andrews
2. Normal excavation with standard equipment Yes No
3. Normal excavation with limited access equipment Yes No
3. Remove from pool site on day of excavation only:
 - Stumps Yes No Removed by Owner Pools by Andrews
 - Concrete Yes No Removed by Owner Pools by Andrews
 - Other debris Owner Pools by Andrews
4. Gunite-concrete loveseat _____ Ft. Yes No
5. Deep end 24 FT LONG Ladder Swimout
6. Hand rail _____ Yes No
7. Standard waterline tile: Selection _____ Pools by Andrews
 - 6" Raised Bond Beam _____ Ft. Yes No
 - 12" Raised Bond Beam _____ Ft. Yes No
 - 18" Raised Bond Beam _____ Ft. Yes No
 - _____ Raised Bond Beam _____ Ft. Yes No
8. Other tile _____ Yes No
9. Border: Type BULL NOSE BRICK
 - Selection _____ Pools by Andrews
10. Andrews Advantage under water light 75 watt 12 volt Yes No
11. Pool Interior finish: Plaster Pebble Tec Other _____
 - Color Selection WHITE PEARL Pools by Andrews
12. Other _____

EQUIPMENT/PLUMBING/ELECTRICAL

1. Andrews Advantage filter model DE size 48 Pools by Andrews
 2. Andrews Advantage Pump and motor: size 2 HP Pools by Andrews
 3. Provide _____ return lines (filtered water) Yes No
 4. In-Floor system Floor Benches Steps Yes No
 - heads PCC 2000 Yes No
 5. Portable pool cleaner: Type _____ Yes No
 6. Provide backwash water disposal to:
 - Landscape Drywell Other _____ Yes No
 7. Andrews Advantage Heater: Pool Spa _____ Yes No
 - Type _____ Size _____
- Applicable Gas Lines, Piping, Hook-Up, Tank Installation and Permits, By Owner
8. Electrical hook-up including permit, time clock, junction box, transformer, bonding and switches for motor and light (located at pool equipment) Yes No
 9. Other ELECT BY COMMERCIAL CONST. DIVISION

DECKING SPECIFICATIONS

1. Install _____ Sq. Ft. Decking Yes No
 - Type _____ Color _____
2. Cantilever deck on bond beam Yes No
3. Footers _____ Ft. Yes No
4. Control/expansion joints _____ Pools by Andrews
5. Deck-O-Drain _____ Ft. Yes No
6. Top existing patio _____ Sq. Ft. Yes No
7. Risers _____ Ft. Yes No
 - Type _____
8. Other DECKING BY COMMERCIAL CONST. DIV.

SPA SPECIFICATIONS

1. Size _____ Dam wall length _____ Ft. Yes No
2. Spa connected to pool and plumbing equipment Yes No
3. Install _____ Hydro therapy jets Yes No
4. Install air blower Yes No
5. Install light under bench _____ watt _____ volt Yes No
6. Raised _____ Inches Yes No
7. Other _____

SCREEN SPECIFICATIONS

1. Screen enclosure Yes No
2. Size _____ Wall Height _____ Ft. _____
3. Roof type — Mansard Dome Gable Other _____
4. Aluminum frame color — White Bronze
5. Screen door (s) _____ Dog Door _____ Size — Medium Large
6. Aluminum Roof — Non-Insulated Insulated Size _____
7. Gutter and Downspout(s) — Yes No _____ Ft.
8. Other _____

ADDITIONAL SPECIFICATIONS INVOICE REQUIRED BY THE POOL BY ANDREW TO COMMERCIAL CONSTRUCTION BY THE 25TH OF THE MONTH. COMMERCIAL CONSTRUCTION TO PAY POOLS BY ANDREW ON 10TH OF THE FOLLOWING MONTH.

NOTICE

Any holder of this consumer credit contract is subject to all claims and defenses which the debtor could assert against the seller of goods or services obtained with the proceeds hereof. Recovery hereunder by the debtor shall not exceed amounts paid by the debtor hereunder. 16 C.F.R. §433.2(b)

Owner acknowledges receipt of "Notice of Consumer Rights."

The Lifetime Warranty, general terms and conditions on the reverse side are part of this agreement. Owner agrees to pay the sum of \$ 12,146 Dollars

Down payment \$ 350.00 the receipt of which is hereby acknowledged.

Balance less deposit: 40% day of excavation, 40% day of gunite-concrete installation, 15% day of deck form (if decking is not included in contract 15% payment is due day of coping and tile), 5% balance due prior to plaster/pebble/interior finish.

Payment is to be from: Owners funds (cash) Bank financing

Accepted this 26th day of JUNE, 1997

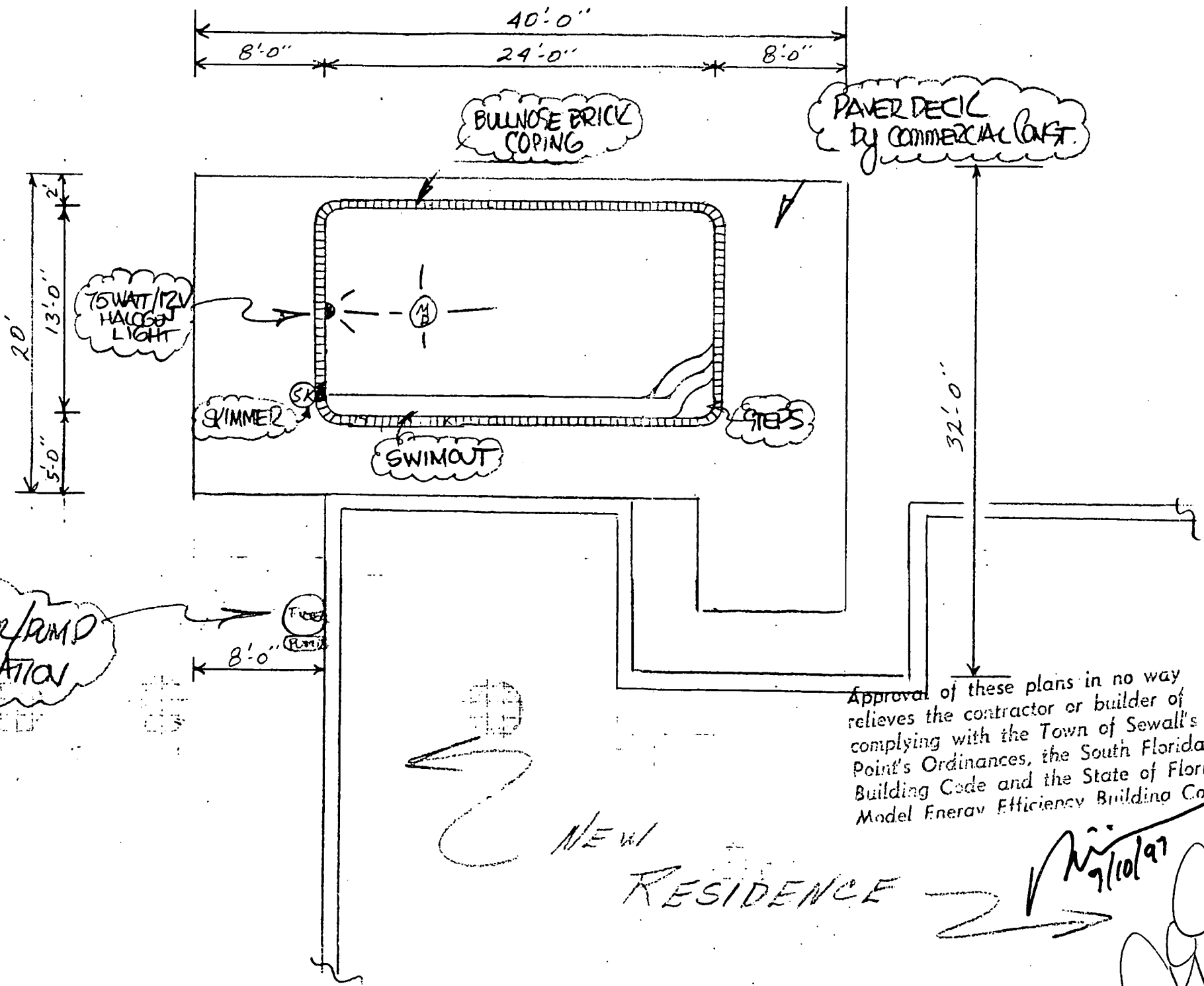
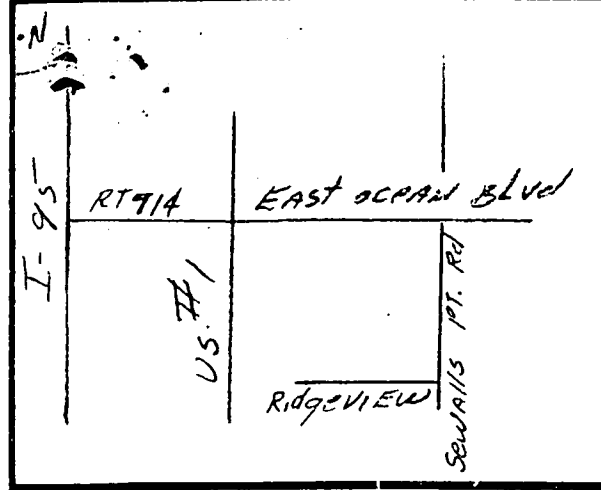
Any amounts indicated on other contracts with this company are in addition to this contract amount.

X Steve Binkley 6-26-97 By Harry Wise
Owner/Prime Contractor Contractor Representative

X _____
Owner/Prime Contractor

BUYER'S RIGHT TO CANCEL

This is a home solicitation sale, and if you do not want the goods or services, you may cancel this agreement by providing written notice to the seller in person, by telegram, or by mail. This notice must indicate that you do not want the goods or services and must be delivered or postmarked before midnight of the third business day after you sign this agreement. If you cancel this agreement, the seller may not keep all or part of any cash downpayment.



FILTER/PUMP LOCATION

BULLNOSE BRICK COPING

PAVER DECK BY COMMERCIAL CONST.

75 WATT/12V HALOGEN LIGHT

SKIMMER

SWIMOUT

STEPS

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code

NEW RESIDENCE

9/10/97
[Signature]

SCALE 1/8" = 1'0"

GENERAL SPECIFICATIONS

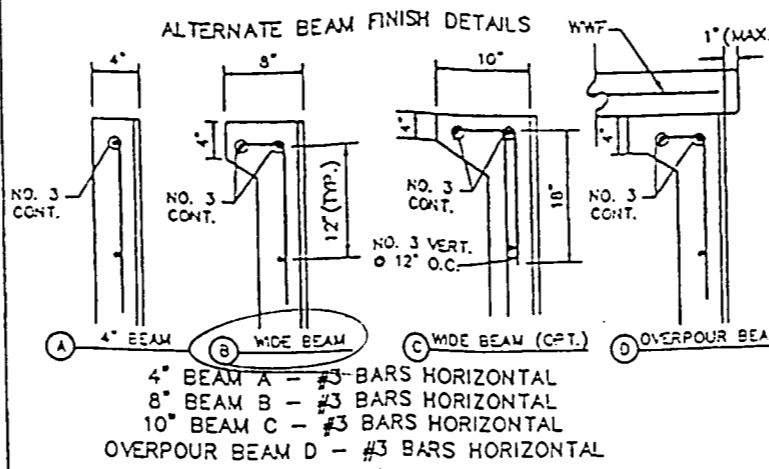
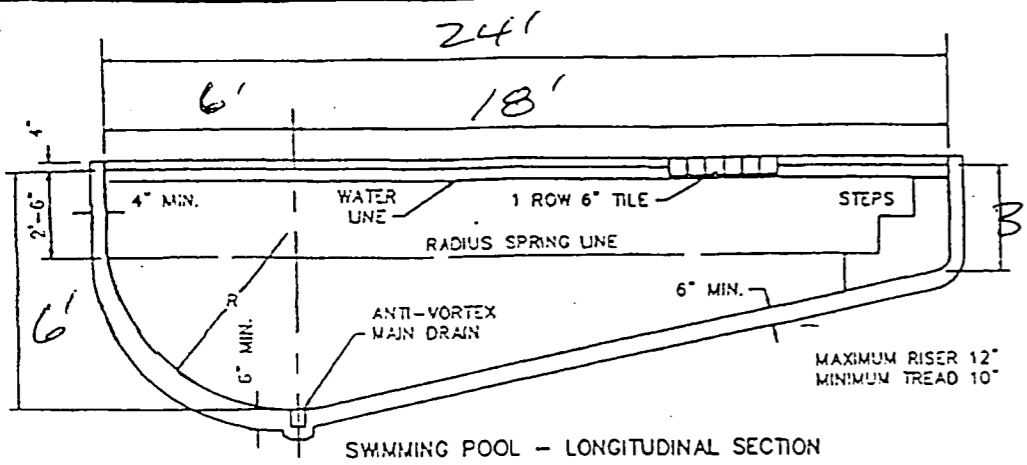
| | | | |
|--------------------------|-----------------------------|------------------------|----------------|
| JOB NO. | 297-153-6 | SHAPE | RECTANGLE |
| SIZE | 13' x 24' | DEPTH | 3' to 6' |
| SF | 312# | PER | 74' |
| TEMP NO. | CUSTOM | | |
| POOL CAPACITY | 10,530 +/- | GALS | |
| FILTER | DE | SQ. FT. | 48 |
| PUMP H.P. | 2HP | | |
| TILE | 6" WATERLINE | BRICK BULLNOSE | |
| DECKING | NONE | PAVERS BY COMM. CONST. | SQ. FT. |
| FOOTERS | NONE | | |
| D.O.D. | NONE | | |
| LIGHT | ONE - HALOGEN | 75 WATTS | 12V |
| SWIMOUT | ONE (1) | 18" x 20'-0" | |
| LADDER | NONE | | |
| HANDRAIL | NONE | | |
| SKIMMER | ONE (1) | @ 1 1/2" | MAIN DRAIN ONE |
| RETURN LINES | QTY. FLOOR ONLY | TYPE | PCC 2000 |
| ELECTRICAL HOOKUP | NONE - BY COMMERCIAL CONST. | | |
| UNDERWATER VACUUM W/HOSE | NONE | | |
| MUNICIPALITY | SEWALLS POINT, TOWN OF | | |
| SET BACKS: SIDE | 15' TO DECK | | |
| REAR | 25' TO DECK | | |
| HOUSE | - | | |

- NOTES:
- 1) PCC 2000 FLOOR SYSTEM
 - 2) WHITE PEARL Pebble Tec
 - 3) Eng. PLANS & PERMITS
 - 4) PRE-TREAT WATER @ INTIAL FILL
 - 5) ALL ELECTRICAL HOOK-UP & COMPONENTS BY COMM. CONST.

DESIGNER HARRY WISE DATE 5-20-97

SWIMMING POOL

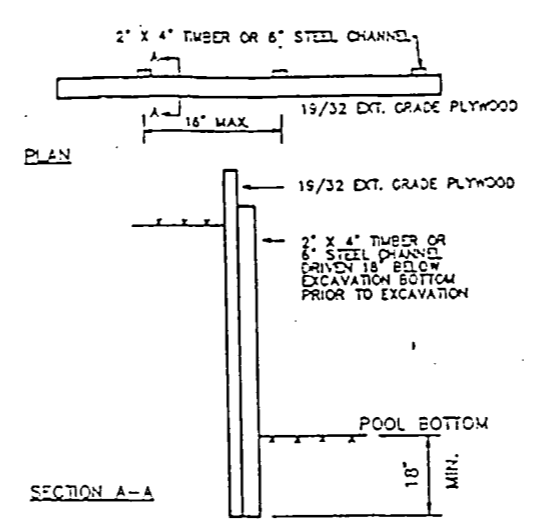
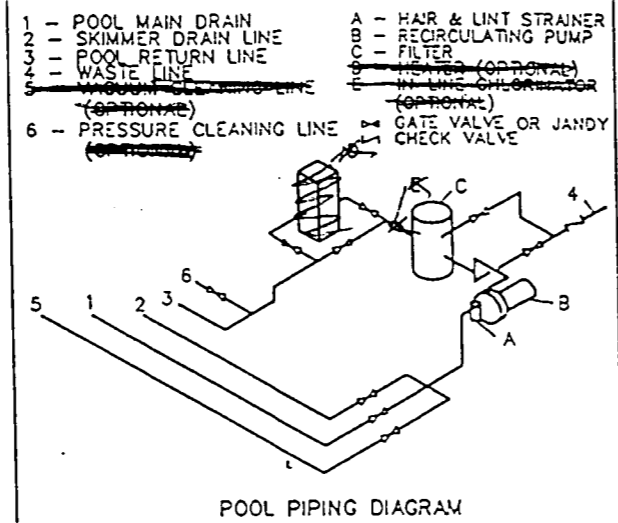
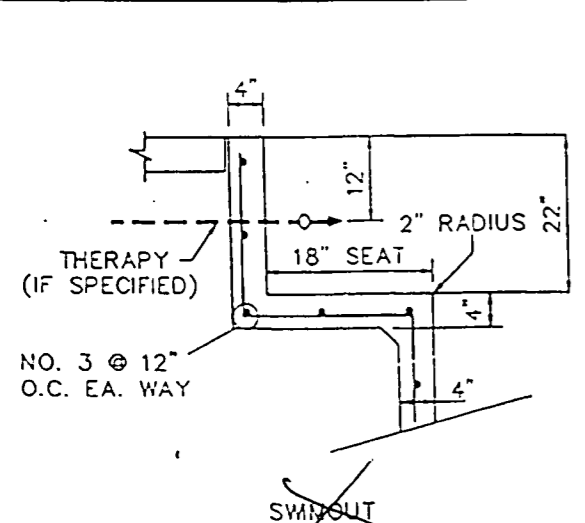
Name: COMMERCIAL CONSTRUCTION (RESIDENTIAL)
 Address: LOT # 7 Ridgeview ST
 City: Sewalls Point Phone: 288-0296
 STEVE @ COMM. CONST - 220.3488
 LEGAL DESCRIPTION
 LOT 7 BLK SUB "HOMWOOD"
 BOOK 3 PAGE 35 LOCATION TOWN OF SEWALLS POINT



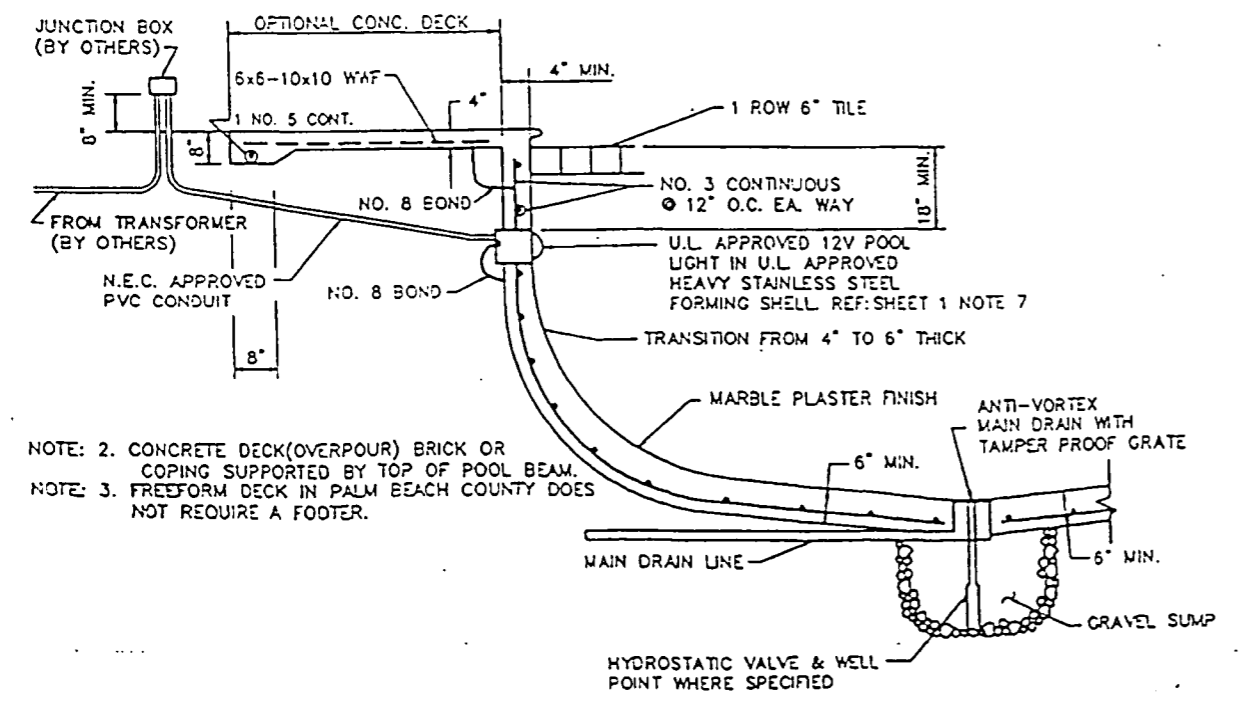
GENERAL NOTES

1. ALL POOL CONSTRUCTION SHALL CONFORM TO CHAPTER 50 OF THE ~~FLORIDA~~ ~~STATE~~ ~~CONSTRUCTION CODE~~ ~~SECTION 500.01~~ ~~AND~~ ~~THE~~ ~~2008~~ ~~FLORIDA~~ ~~POOL CODE.~~
2. POOL AND PATIO SHALL BEAR ON ROCK OR CLEAN SAND WHICH SHALL BE COMPACTED TO PROVIDE A STRUCTURALLY SAFE BEARING CAPACITY. ALL UNSUITABLE MATERIAL ENCOUNTERED IN EXCAVATION SHALL BE REMOVED IN ITS ENTIRETY AND THE AREA SHALL BE BACKFILLED WITH ACCEPTABLE MATERIAL AND PROPERLY COMPACTED. WHERE UNSUITABLE MATERIALS CANNOT BE REMOVED, THE POOL MUST BE REDESIGNED. SOIL BEARING CAPACITY ASSUMED TO BE 2,000 PSF.
3. CONCRETE MAY BE PNEUMATICALLY APPLIED IN POOL FLOOR, WALL, AND STEPS. THE CONCRETE SHALL DEVELOP A STRENGTH OF 3,000 PSI IN 28 DAYS. IN OPTIONAL POOL DECK, 2,500 PSI MIN. STRENGTH OF CONC. IS 2,500 PSI.
4. ALL REINFORCING STEEL SHALL CONFORM TO ASTM 615, GRADE 60. REINFORCING SHALL BE NO. 3 BARS AT 12 INCH O.C. EACH WAY. POOL DEPTH GREATER THAN 6 FEET WILL REQUIRE A DOUBLE MAT BELOW 5 FEET.
5. ALL METALLIC POOL FITTINGS WITHIN 5 FEET OF THE INSIDE WALL AND THE DECK REINFORCING STEEL SHALL BE BONDED TO THE POOL REINFORCING STEEL WITH A NO. 8 AWG COPPER WIRE. THE POOL REINFORCING STEEL SHALL BE BONDED TO THE POOL LIGHT NICHE WITH A NO. 8 AWG COPPER WIRE. TWO NO. 8 AWG COPPER GROUND WIRES SHALL BE RUN WITH THE N.E.C. APPROVED CONDUIT, ONE INTERNALLY, FROM THE LIGHT NICHE TO THE JUNCTION BOX. COMPLETION OF THE POOL GROUNDING SYSTEM TO THE PANEL BOARD BY ELECTRICIAN.
6. ALL PIPING SHALL BE N.S.F. APPROVED AND SHALL BE SCHEDULE 40 PVC, EXCEPT WHERE OTHERWISE NOTED. SHORT 90° BENDS ARE NOT PERMITTED IN SUCTION LINES.
7. PUMP AND FILTER MAY BE RELOCATED IN FIELD WITH A SIMILAR LENGTH OF SUCTION LINE.
8. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL UTILITIES IN RELATION TO THE POOL AND ITS EQUIPMENT AND SHALL INSURE MINIMUM CLEARANCE REQUIREMENTS IN ACCORDANCE WITH ALL LOCAL REGULATIONS.
9. THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES FROM DAMAGE AND/OR FAILURE BY ACCEPTABLE METHODS, AS MAY BE REQUIRED. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE SAFETY OR ADEQUACY OF THE EXISTING STRUCTURES.
10. THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR POOL CONSTRUCTION IN EASEMENT OR REQUIRED SETBACK AREAS. THE POOL CONTRACTOR AND/OR OWNER SHALL VERIFY THE POOL LAYOUT AND ALL DIMENSIONS PRIOR TO CONSTRUCTION.
11. WARNING: DRAINING THE POOL FOR ANY REASON, WITHOUT ELIMINATING THE HYDROSTATIC UP-LIFT PRESSURE MAY RESULT IN SERIOUS DAMAGE. THE OWNER IS ADVISED TO CONSULT AN EXPERIENCED POOL CONTRACTOR PRIOR TO COMMENCING DRAINING THE POOL.

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 ALL RIGHTS RESERVED. REPRODUCTION OF ANY PART OF THIS WORK BEYOND THAT PERMITTED BY SECTION 107 OR 108 OF THE 1976 U.S. COPYRIGHT ACT WITHOUT THE PERMISSION OF THE COPYRIGHT OWNER IS UNLAWFUL. ADDRESS REQUESTS TO TWENTY FIRST CENTURY ENGINEERING CORP.

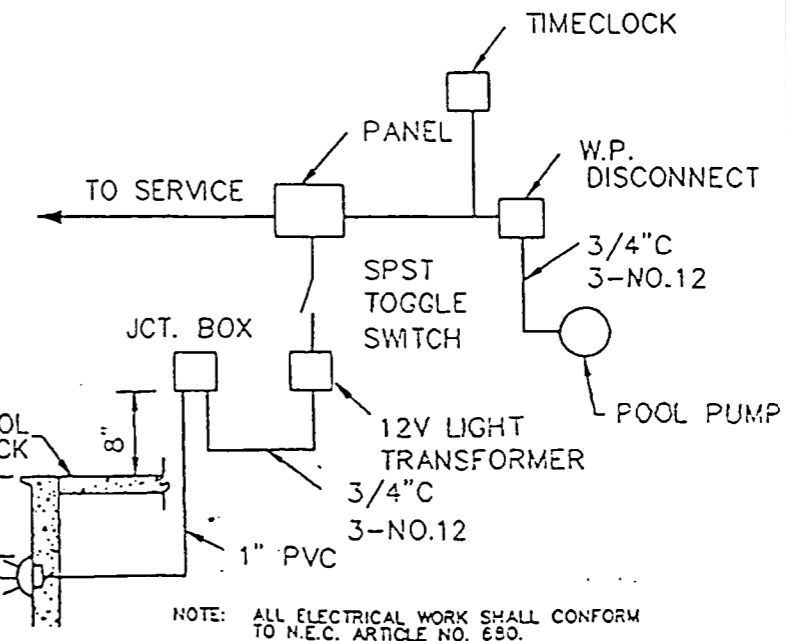
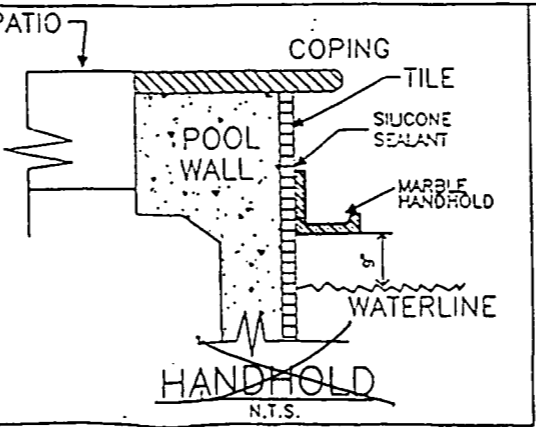


NOTE: 1. FIBERMESH IS AN ACCEPTABLE ALTERNATIVE TO STEEL MESH REINFORCEMENT IN THE PERIMETER SLAB.



POOL STRUCTURAL DETAILS - FLOOR, WALL & DECK SECTION

NOTE: SECURE TEMPORARY THE BACK AT BOTH ENDS OF SHORING. PLACE PLASTIC SHEETING TO PREVENT ROOF RUN OFF ONTO SUPPORTED SOIL.



REF: SHEET: 1
 NOTE: 7 LIGHT W/ LOW WATER CUT OFF
 NOTE: ALL ELECTRICAL WORK SHALL CONFORM TO N.E.C. ARTICLE NO. 680.
POOL ELECTRICAL DIAGRAM



JOHN V. CARROLL
 P.E. No. 41810

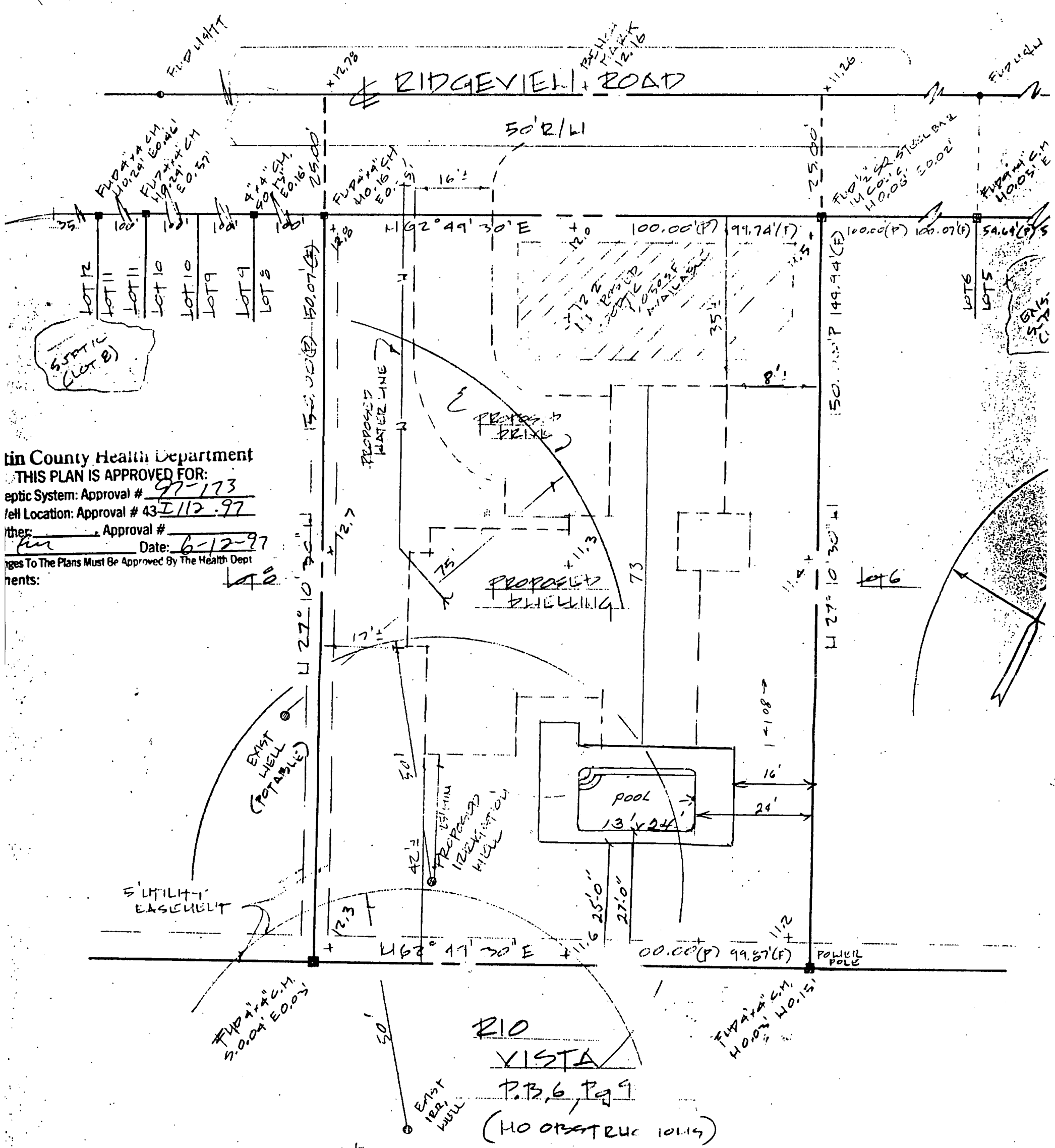
200 N.E. 20th Avenue
 Fort Lauderdale, Florida 33304
 (954) 522-0440
 (954) 524-0535
TWENTY FIRST CENTURY ENGINEERING CORP.

STRUCTURAL SPEC SHEET
 Name: *Commercial*
 Address: *Condo*
 Location: *Seawater's Point*

REVISIONS:
 1/15/97-MDS

| | | | |
|------------|----------|------|----|
| DATE | BY | DATE | BY |
| P.O. NO. | DWG. NO. | | |
| SHEETS | PAGES | | |
| SCALE | N.T.S. | | |
| DATE | | | |
| SHEET 2 of | | | |

* NOTE: CORNERS FOUND THIS SIDE OF STREET DO NOT ALIGN WITH CORNERS FOR THIS SURVEY (NO OBSTRUCTIONS)



San Diego County Health Department
 THIS PLAN IS APPROVED FOR:
 Septic System: Approval # 97-173
 Well Location: Approval # 43-112-97
 Other: Approval # _____
 Date: 6-12-97
 All Plans Must Be Approved By The Health Department

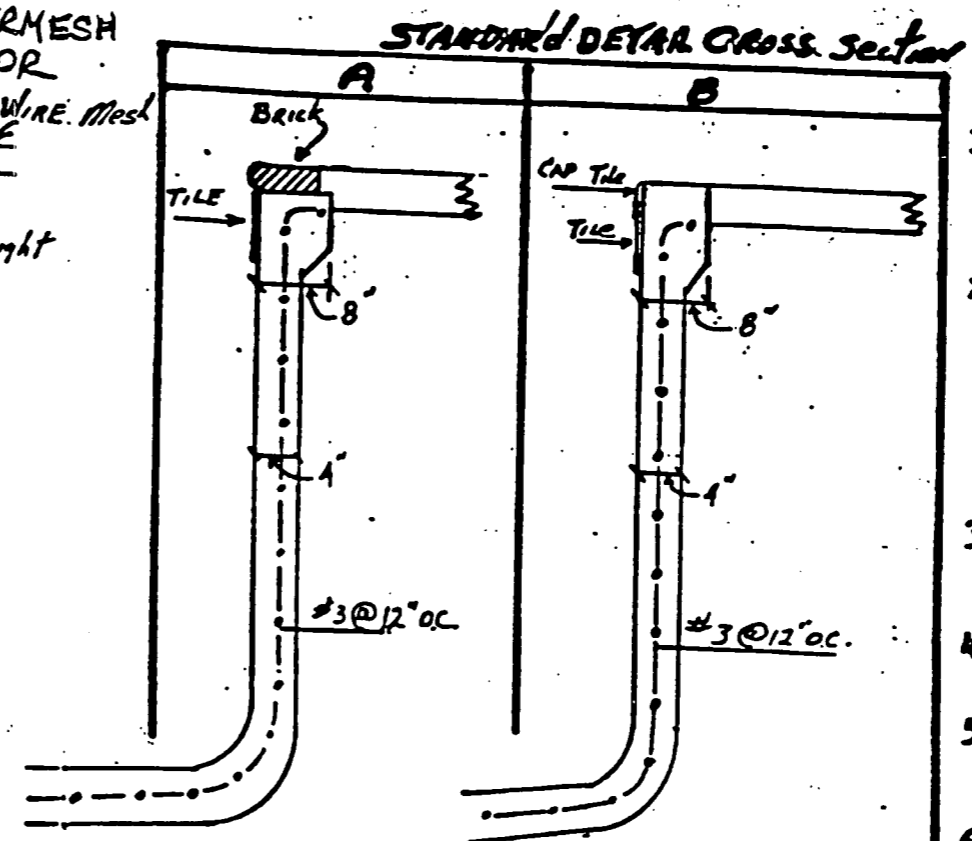
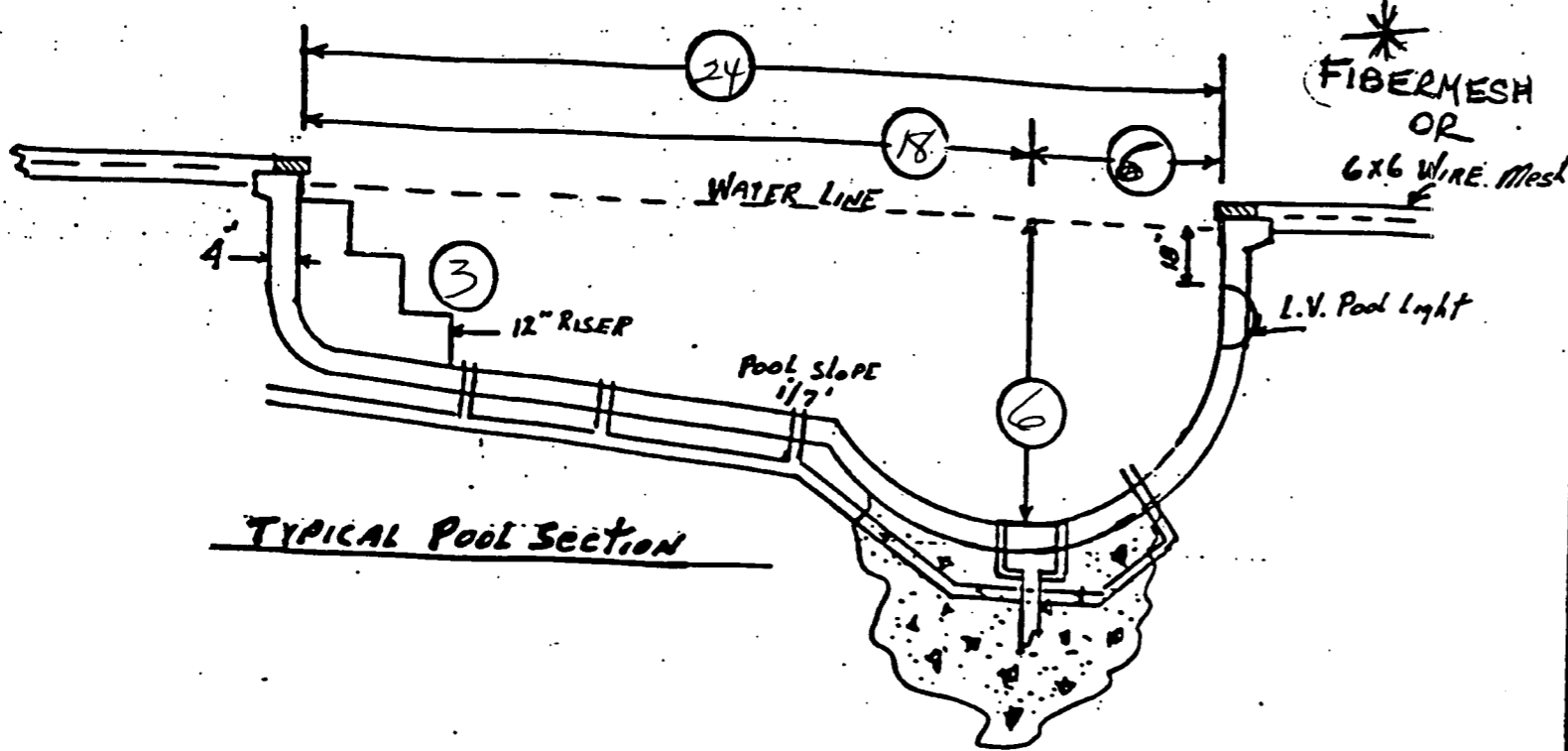
RIO VISTA
 P.B. 6, Pg. 9
 (NO OBSTRUCTIONS)

PROPERTY LOCATED WITHIN FLOOD ZONE: "C"
 PROPERTY ADDRESS: RIDGEVIEW ROAD

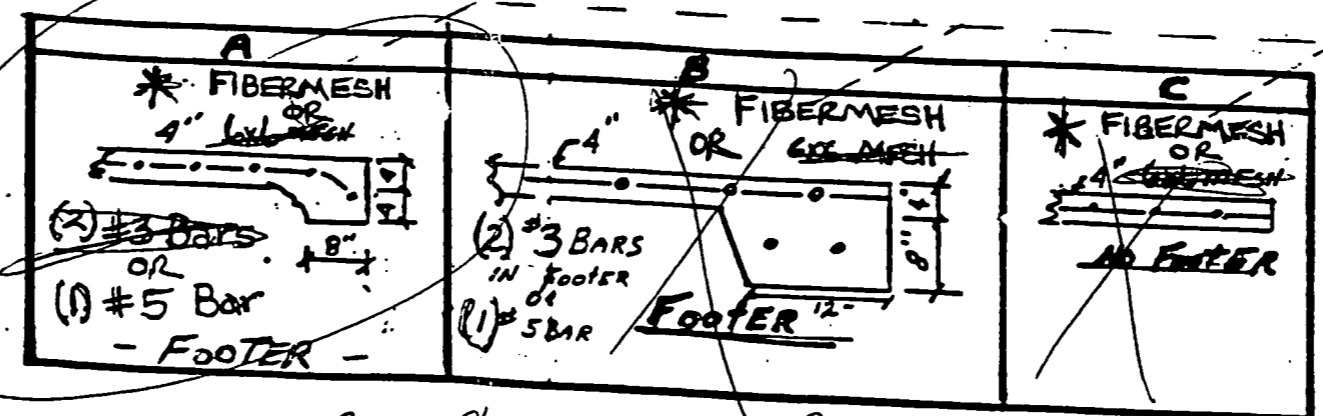
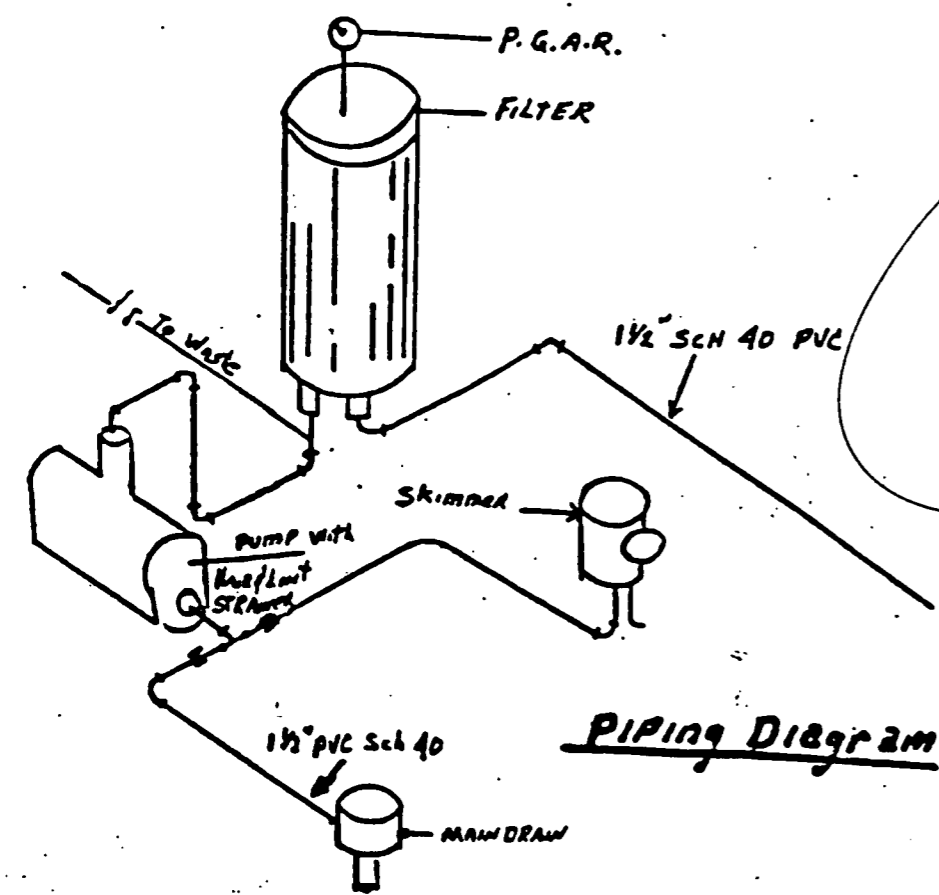
CERTIFIED TO: ROBERT SCOTT & KATHRYN J. KRAMER
 AMERICAN PIONEER TITLE INSURANCE
 COMPANY KRAMER, SEWELL & SOPKO,
 P.A.

- NOTES:
- Survey of description as furnished by Client.
 - Lands shown hereon were not abstracted for easement and/or rights-of-way of record.
 - (P) Denotes distance or bearing by description as furnished; (F) Denotes measured distance or bearing; (C) Denotes calculated distance or bearing.
 - All bearings are referenced to the instrument of record as shown hereon, unless otherwise noted.
 - Elevations shown hereon are relative to National Geodetic Vertical Datum of 1929, and are based on bench mark.
 - There are no above ground encroachments, unless otherwise shown.

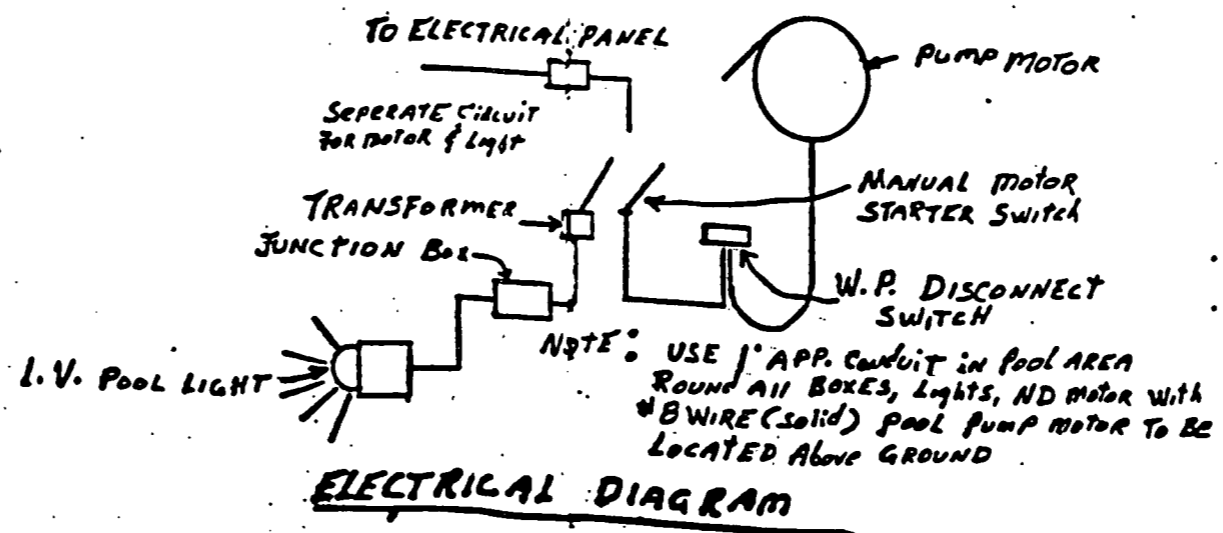
SET I.B. - SET 5/8 IRON BAR & CAP #4049
 FND. - FOUND OBJECT
 I.P. - IRON PIPE
 C.M. - CONCRETE MONUMENT
 I.B. - IRON BAR
 OHW - OVERHEAD WIRE
 DRAINAGE FL - DRAINAGE FLOW
 M.H. - MANHOLE



- GENERAL NOTES**
1. Pool floor and walls shall be made of pneumatically placed concrete with a compressive strength of 3000 PSI in 28 days.
 2. All reinforcing steel shall be intermediate of hard grade deformed bars of new billet-steel conforming to A.S.T.M.A. -15 and shall be bent, lapped and placed in accordance with ACI stds and specifications.
 3. For pool plan, size of slabs and special details, note, please refer to sheet # 2.
 4. All pool piping shall bear the NSF Seal.
 5. Main sump shall have a free area four times the area of suction line.
 6. Backwash or cleaning shall be in accordance with each municipalities code requirements.
 7. Water supply and disposal shall be arranged so that there is no erosion connection with a domestic water supply or disposal system.
 8. Grading shall confine ponding of pool water within lot line.



By COMMERCIAL CONST.



FIBERMESH DRIVE
 4019 INDUSTRY DRIVE
 CHATTANOOGA, TN 37416
 615-892-7243

FIBERMESH

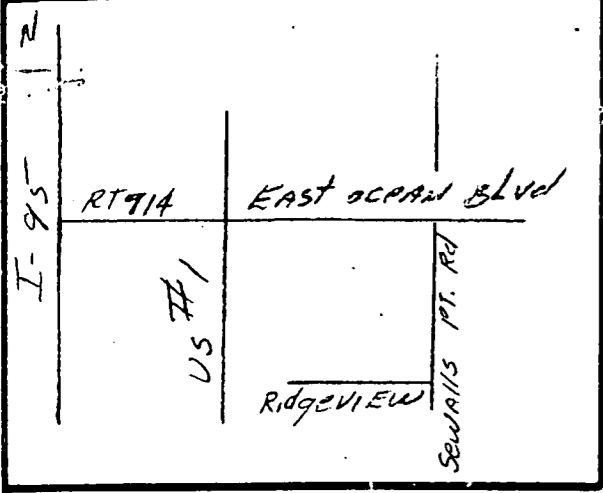
FIBERMESH® OR FIBERMIX® WILL BE ADDED TO THE CONCRETE ON THIS JOB IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND NER-284 FOR FIBERMESH® OR NER-414 FOR FIBERMIX®.

FINISHED BY *Renker* (CONCRETE COMPANY)
 MIX CERTIFIED BY *Shelton* (CONCRETE COMPANY REPRESENTATIVE)

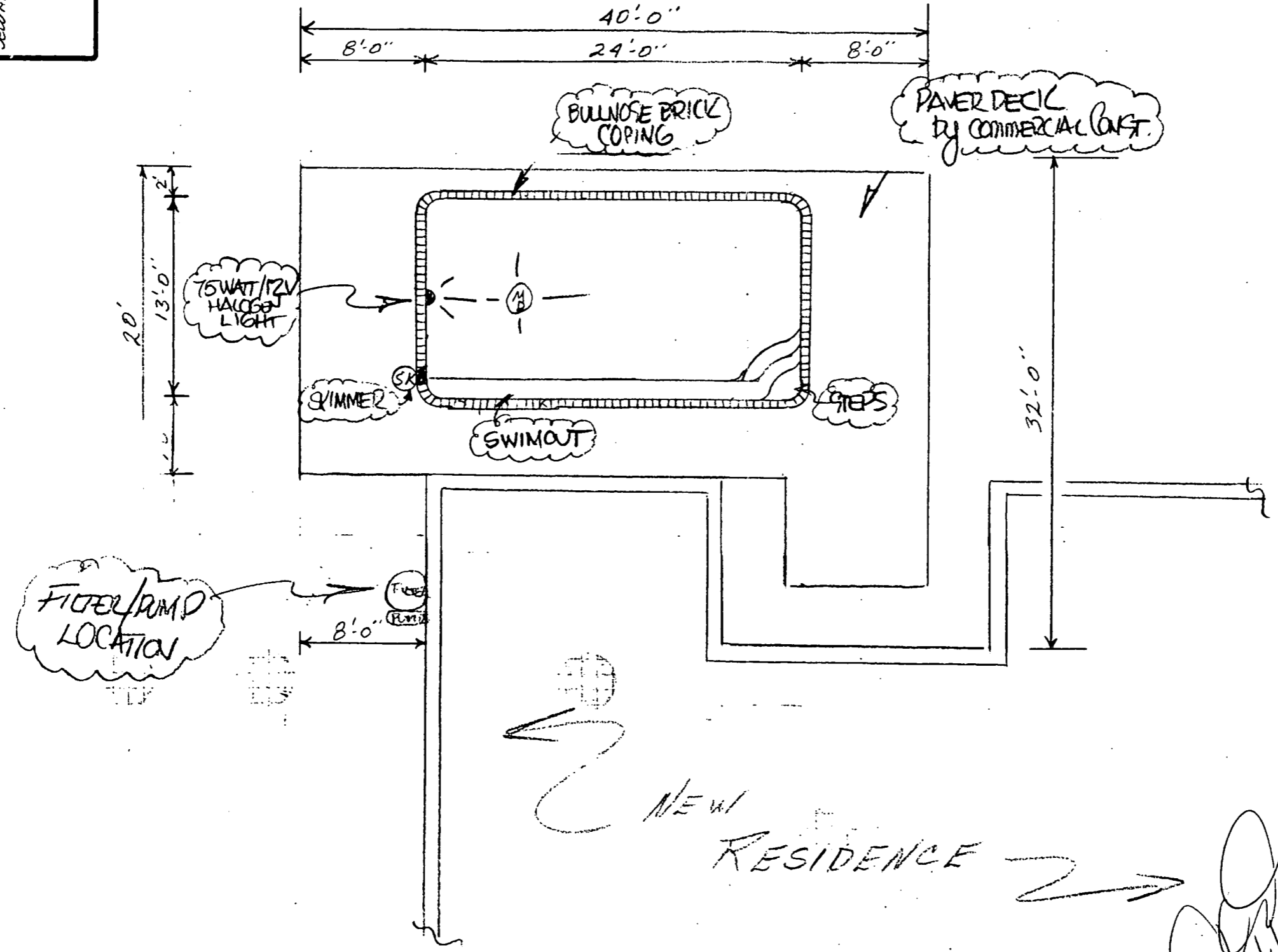
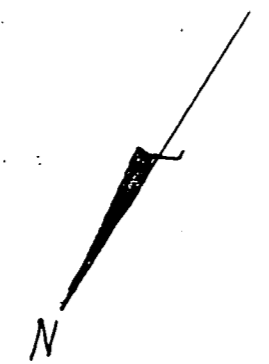
OWNER

COMMERCIAL CONST.
 (KRAMER)

LOT 7



MAP (N.T.S.)



SCALE 1/8" = 1'0"

NEW RESIDENCE

[Handwritten signature]
7/1/97

GENERAL SPECIFICATIONS

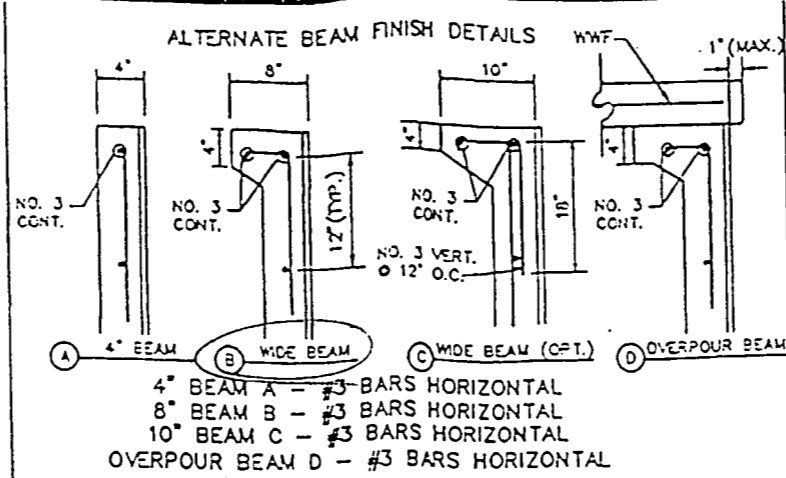
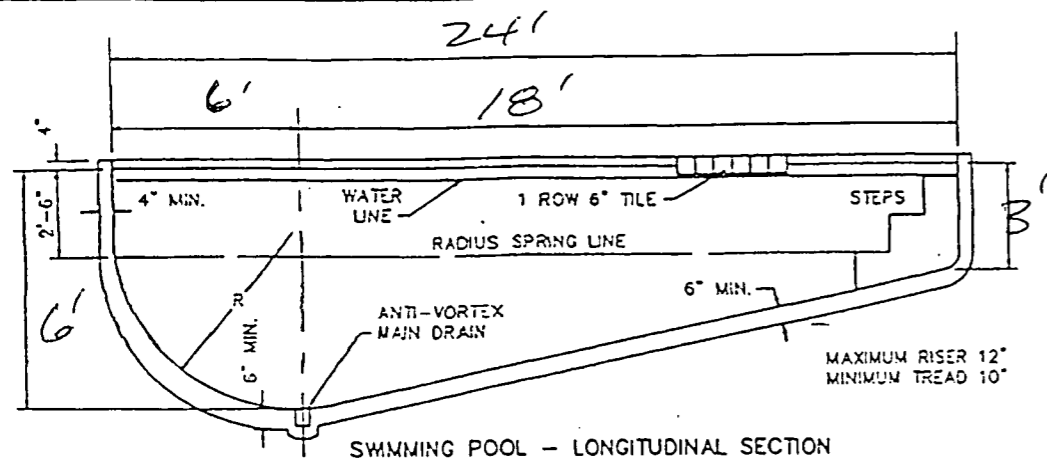
| | | | |
|-------------------|------------------------|------------------------|--------------|
| JOB NO. | 247-153-6 | SHAPE | RECTANGLE |
| SIZE | 13' x 24' | DEPTH | 3' to 6' |
| SF | 312 | PER. | 74' |
| TEMP NO. | CUSTOM | | |
| POOL CAPACITY | 10,530 +/- | GALS | |
| FILTER | DE | SQ. FT. | 48 |
| PUMP | H.P. | 2 | H.P. |
| TILE | 6" WATERLINE | BRICK BULLNOSE | |
| DECKING | NONE | PAVERS BY COMM. CONST. | |
| FOOTERS | NONE | D.O.D. | NONE |
| LIGHT | ONE - HALOGEN | - | 75 WATTS 12V |
| SWIMOUT | ONE (1) | 18" x 20'-0" | |
| LADDER | NONE | HANDRAIL | NONE |
| SKIMMER | ONE (1) | @ 1 1/2" MAIN DRAIN | ONE |
| RETURN LINES | QTY. ONLY | FLOOR TYPE | PCC 2000 |
| ELECTRICAL HOOKUP | NONE | BY COMMERCIAL CONST. | |
| UNDERWATER VACUUM | W/HOSE | NONE | |
| MUNICIPALITY | SEWALLS POINT, TOWN OF | | |
| SET BACKS: SIDE | 15' | TO DECK | |
| REAR | 25' | TO DECK | |
| HOUSE | | | |

- NOTES:
- 1) PCC 2000 FLOOR SYSTEM
 - 2) WHITE PEARL Pebble Tee
 - 3) ENG. PLANS & PERMITS
 - 4) PRE-TREAT WATER @ INTIAL FILL
 - 5) ALL ELECTRICAL HOOK-UP & COMPONENTS by COMM. CONST.

DESIGNER HARRY WISE DATE 5-20-97

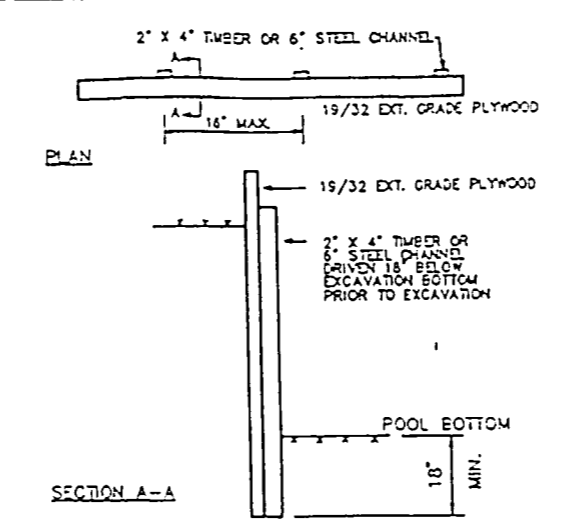
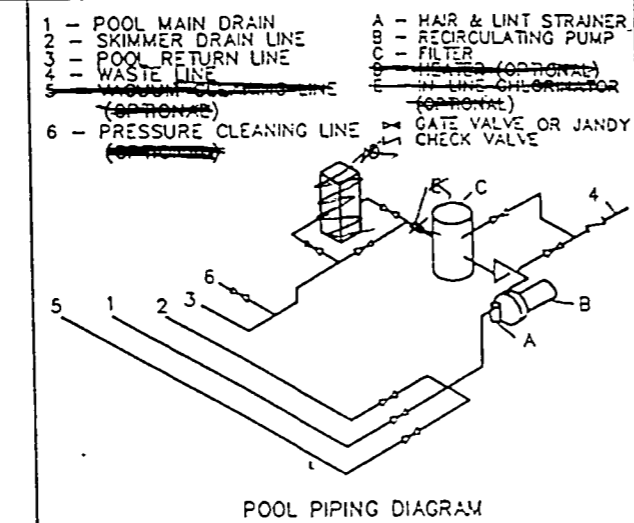
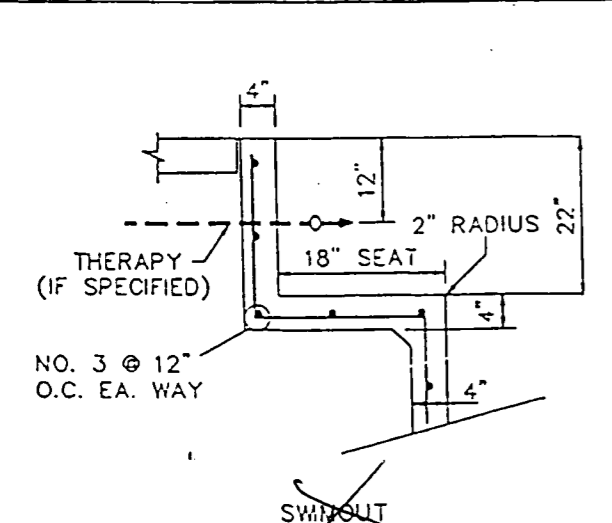
SWIMMING POOL

Name: COMMERCIAL CONSTRUCTION ("MR. MER") RESIDENCE
 Address: LOT # 7 Ridgeview ST
 City: Sewalls Point Phone: 288-0296
 STEVE @ COMM. CONST. - 220.3488
 LEGAL DESCRIPTION
 LOT 7 BLK SUB "HOMWOOD"
 BOOK 3 PAGE 35 LOCATION TOWN OF SEWALLS POINT

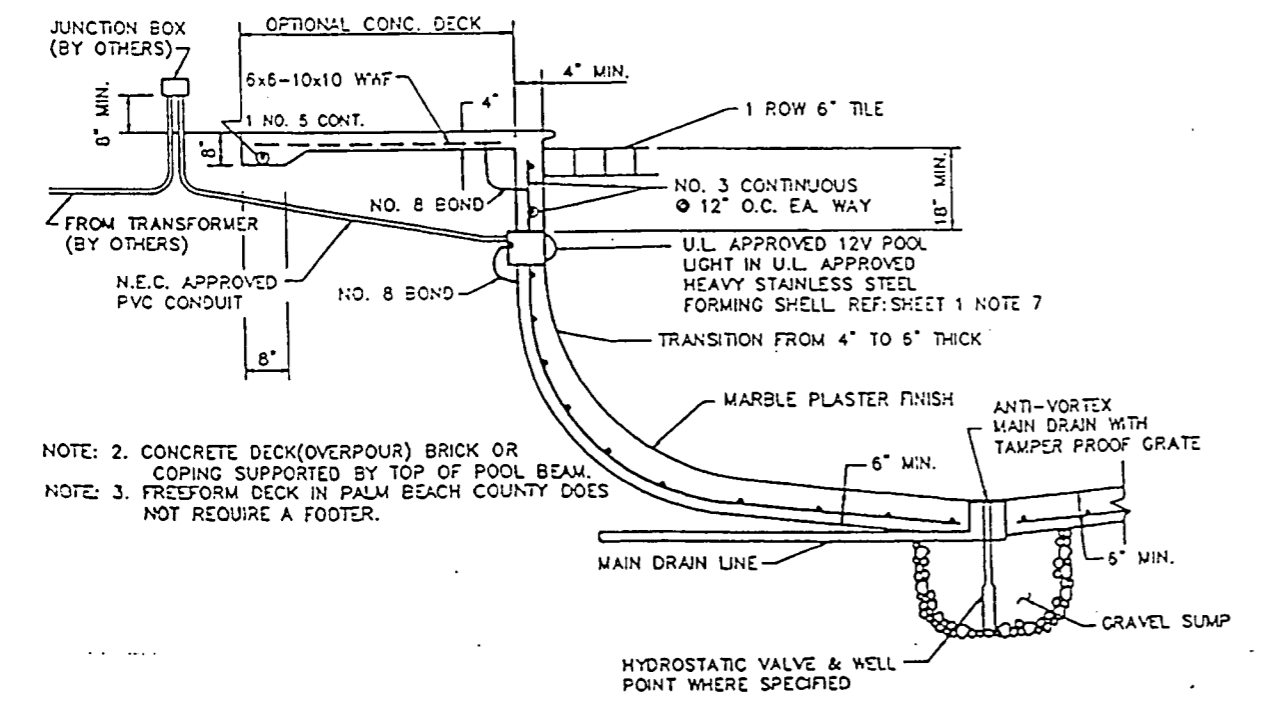


GENERAL NOTES

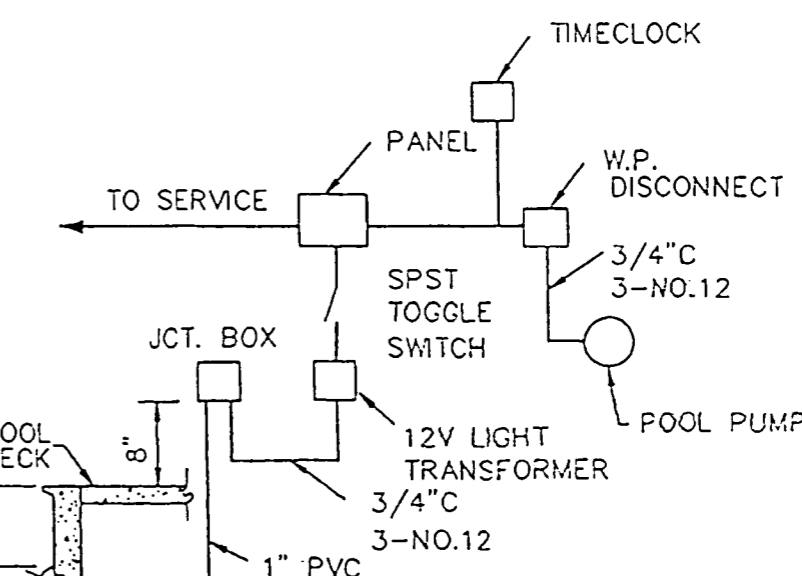
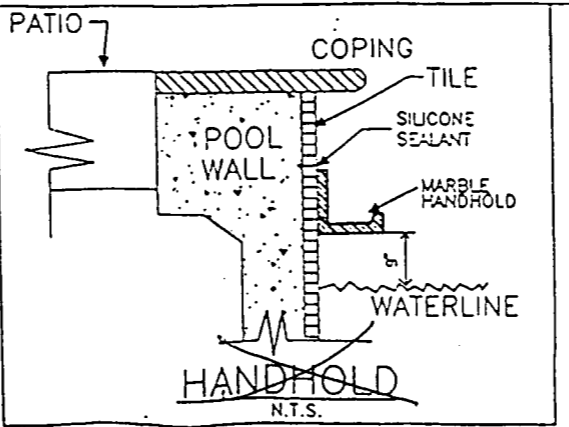
1. ALL POOL CONSTRUCTION SHALL CONFORM TO CHAPTER 30 OF THE PALM BEACH CO. POOL CODE.
2. POOL AND PATIO SHALL BEAR ON ROCK OR CLEAN SAND WHICH SHALL BE COMPACTED TO PROVIDE A STRUCTURALLY SAFE BEARING CAPACITY. ALL UNSUITABLE MATERIAL ENCOUNTERED IN EXCAVATION SHALL BE REMOVED IN ITS ENTIRETY AND THE AREA SHALL BE BACKFILLED WITH ACCEPTABLE MATERIAL AND PROPERLY COMPACTED. WHERE UNSUITABLE MATERIALS CANNOT BE REMOVED, THE POOL MUST BE REDESIGNED. SOIL BEARING CAPACITY ASSUMED TO BE 2,000 PSF.
3. CONCRETE MAY BE PNEUMATICALLY APPLIED IN POOL FLOOR, WALL, AND STEPS. THE CONCRETE SHALL DEVELOP A STRENGTH OF 3,000 PSI IN 28 DAYS. IN OPTIONAL POOL DECK, 2,500 PSI MIN. STRENGTH OF CONC. IS 2,500 PSI.
4. ALL REINFORCING STEEL SHALL CONFORM TO ASTM 615, GRADE 60. REINFORCING SHALL BE NO. 3 BARS AT 12 INCH O.C. EACH WAY. POOL DEPTH GREATER THAN 6 FEET WILL REQUIRE A DOUBLE MAT BELOW 5 FEET.
5. ALL METALLIC POOL FITTINGS WITHIN 5 FEET OF THE INSIDE WALL AND THE DECK REINFORCING STEEL SHALL BE BONDED TO THE POOL REINFORCING STEEL WITH A NO. 8 AWG COPPER WIRE. THE POOL REINFORCING STEEL SHALL BE BONDED TO THE POOL LIGHT NICHE WITH A NO. 8 AWG COPPER WIRE. TWO NO. 8 AWG COPPER GROUND Wires SHALL BE RUN WITH THE N.E.C. APPROVED CONDUIT, ONE INTERNALLY, FROM THE LIGHT NICHE TO THE JUNCTION BOX. COMPLETION OF THE POOL GROUNDING SYSTEM TO THE PANEL BOARD BY ELECTRICIAN.
6. ALL PIPING SHALL BE N.S.F. APPROVED AND SHALL BE SCHEDULE 40 PVC, EXCEPT WHERE OTHERWISE NOTED. SHORT 90° BENDS ARE NOT PERMITTED IN SUCTION LINES.
7. PUMP AND FILTER MAY BE RELOCATED IN FIELD WITH A SIMILAR LENGTH OF SUCTION LINE.
8. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL UTILITIES IN RELATION TO THE POOL AND ITS EQUIPMENT AND SHALL INSURE MINIMUM CLEARANCE REQUIREMENTS IN ACCORDANCE WITH ALL LOCAL REGULATIONS.
9. THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES FROM DAMAGE AND/OR FAILURE BY ACCEPTABLE METHODS, AS MAY BE REQUIRED. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE SAFETY OR ADEQUACY OF THE EXISTING STRUCTURES.
10. THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR POOL CONSTRUCTION IN EASEMENT OR REQUIRED SETBACK AREAS. THE POOL CONTRACTOR AND/OR OWNER SHALL VERIFY THE POOL LAYOUT AND ALL DIMENSIONS PRIOR TO CONSTRUCTION.
11. WARNING: DRAINING THE POOL FOR ANY REASON, WITHOUT ELIMINATING THE HYDROSTATIC UP-LIFT PRESSURE MAY RESULT IN SERIOUS DAMAGE. THE OWNER IS ADVISED TO CONSULT AN EXPERIENCED POOL CONTRACTOR PRIOR TO COMMENCING DRAINING THE POOL.



NOTE: 1. FIBERMESH IS AN ACCEPTABLE ALTERNATIVE TO STEEL MESH REINFORCEMENT IN THE PERIMETER SLAB.
DECK OR STONE COPING



NOTE: 2. CONCRETE DECK (OVERPOUR) BRICK OR COPING SUPPORTED BY TOP OF POOL BEAM.
NOTE: 3. FREEFORM DECK IN PALM BEACH COUNTY DOES NOT REQUIRE A FOOTER.



NOTE: ALL ELECTRICAL WORK SHALL CONFORM TO N.E.C. ARTICLE NO. 680.
POOL ELECTRICAL DIAGRAM



JOHN M. CARROLL
P.E. No. 41810

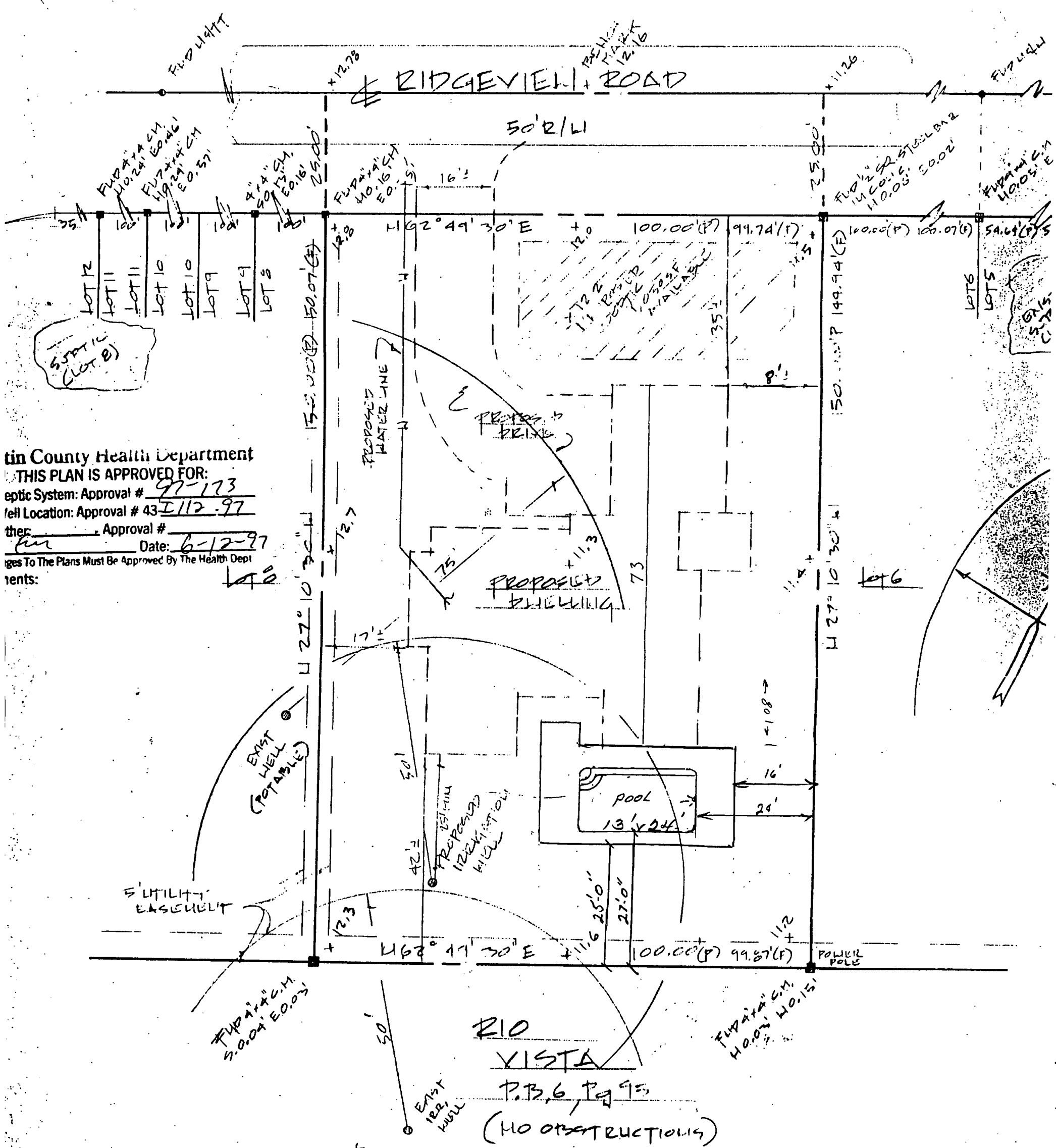
Twenty First Century Engineering
120 N.E. 20th Avenue
Fort Lauderdale, Florida 33304
(954) 522-0440
Fax: (954) 624-0035

STRUCTURAL SPEC SHEET
Name: COMMERCIAL COND
Address:
Location: Sebe's Birt

REVISIONS:
1/15/97-MDS

| | |
|----------|----------|
| DATE | CHK |
| BY | NO. |
| P.O. NO. | DWG. NO. |
| BOARDS | POSTS |
| SCALE | N.T.S. |
| DATE | |
| SHEET | 2 of |

* NOTE CORNERS FOUND THIS SIDE OF STREET DO NOT ALIGN WITH CORNERS FOR THIS SURVEY (NO OBSTRUCTIONS)



San Diego County Health Department
 THIS PLAN IS APPROVED FOR:
 Septic System: Approval # 97-123
 Well Location: Approval # 43-112-97
 Date: 6-12-97

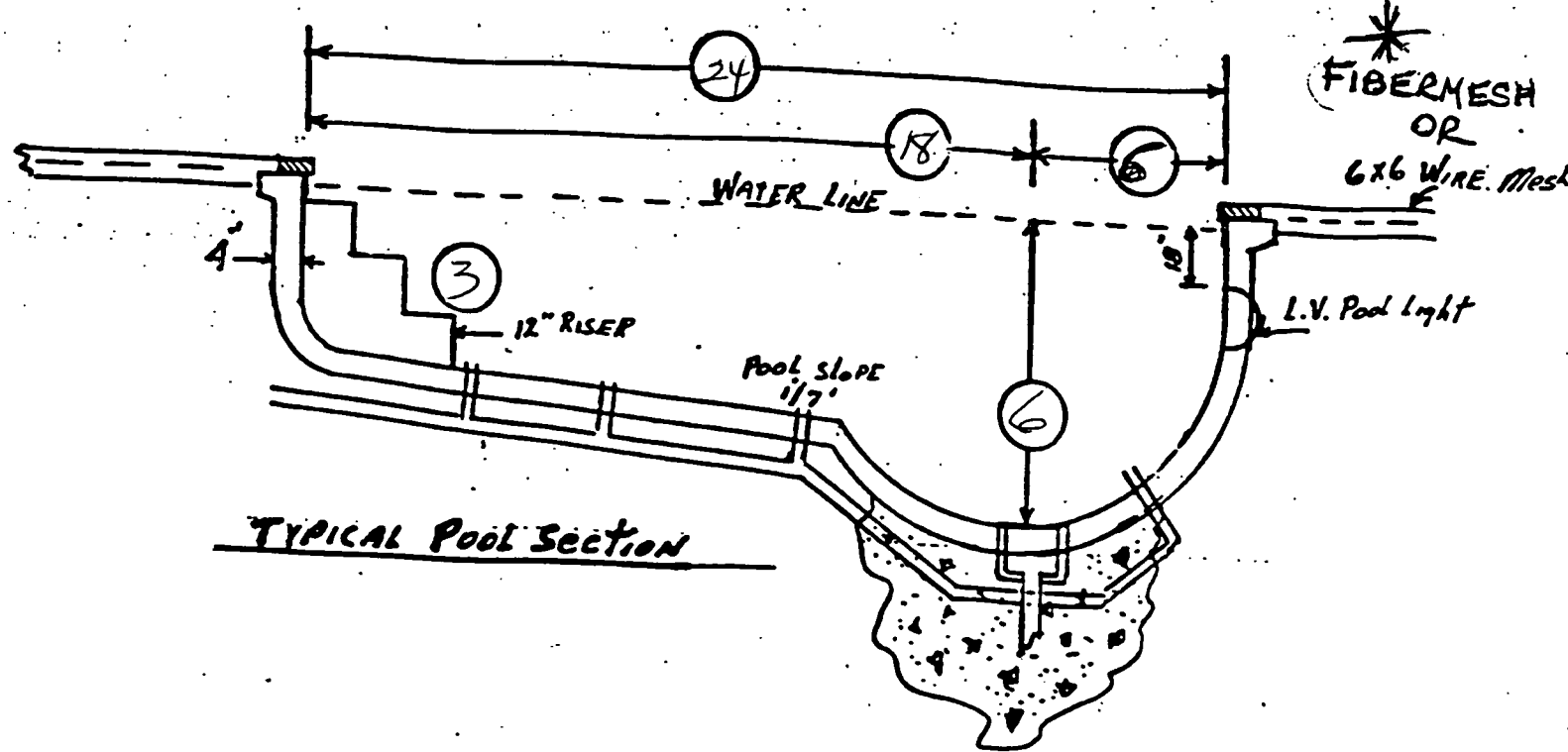
RIO VISTA
 P.B. 6, Pg 95
 (NO OBSTRUCTIONS)

PROPERTY LOCATED WITHIN FLOOD ZONE: "C"
 PROPERTY ADDRESS: RIDGEVIEW ROAD

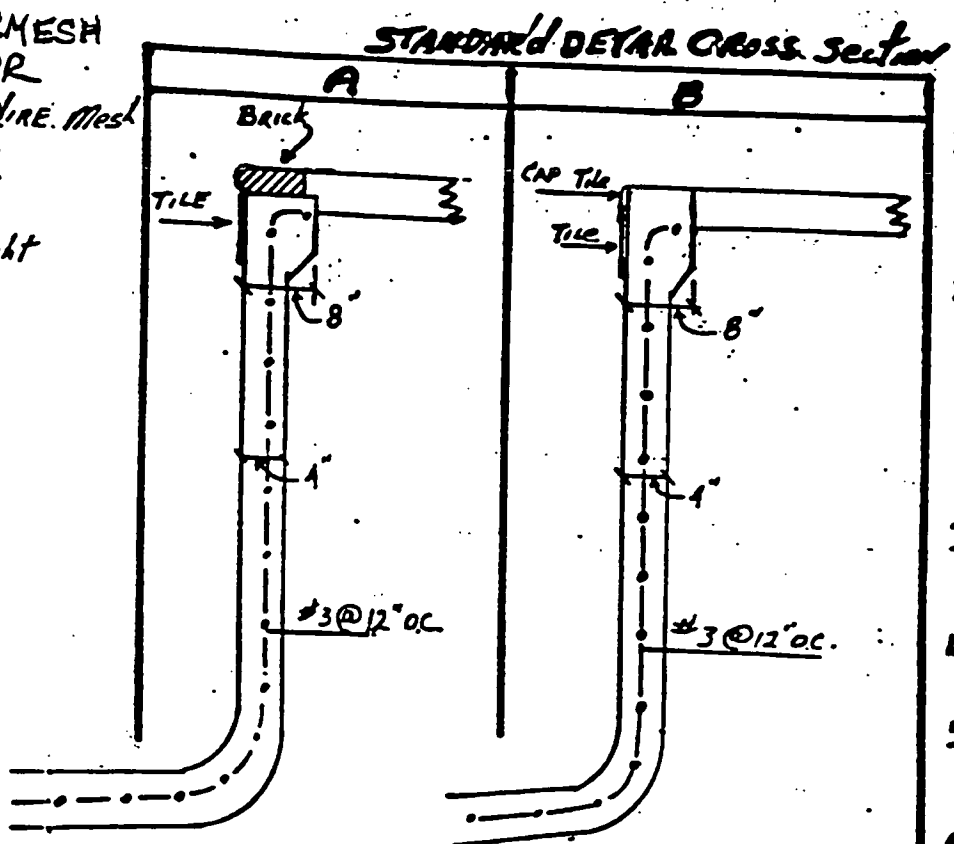
CERTIFIED TO: ROBERT SCOTT & KATHRYN J. KRAMER
 AMERICAN PIONEER TITLE INSURANCE
 COMPANY KRAMER, SEWELL & SOPKO,
 P.A.

- NOTES:**
1. Survey of description as furnished by Client.
 2. Lands shown hereon were not abstracted for easement and/or rights-of-way of record.
 - (P) Denotes distance or bearing by description as furnished.
 - (F) Denotes measured distance or bearing.
 - (C) Denotes calculated distance or bearing.
 3. All bearings are referenced to the instrument of record as shown hereon, unless otherwise noted.
 4. Elevations shown hereon are relative to National Geodetic Vertical Datum of 1929, and are based on bench mark.
 5. There are no above ground encroachments, unless otherwise noted.

SET I.B. - SET 5/8 IRON BAR & CAP #4049
 FND. - FOUND OBJECT
 I.P. - IRON PIPE
 C.M. - CONCRETE MONUMENT
 I.B. - IRON BAR
 OHW - OVERHEAD WIRE
 DRAINAGE FL

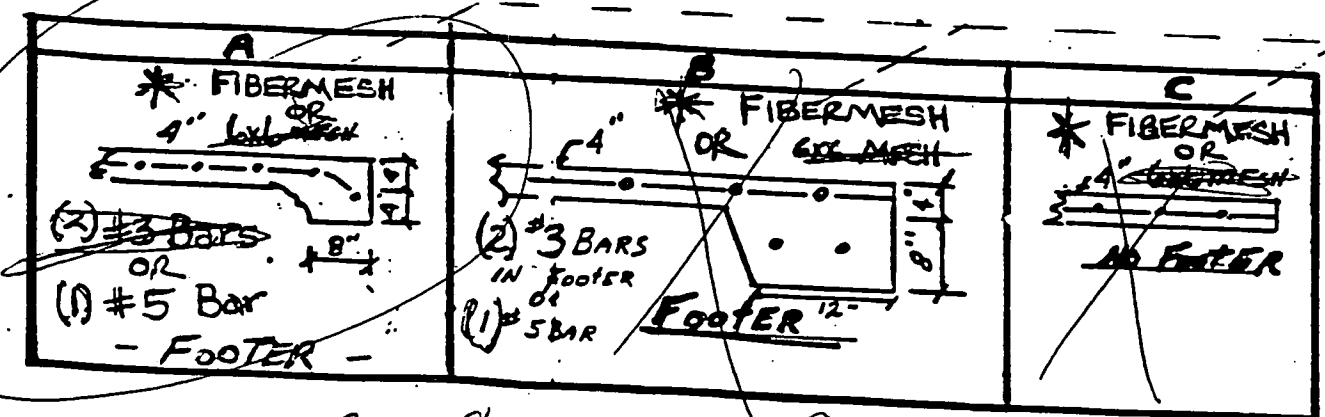
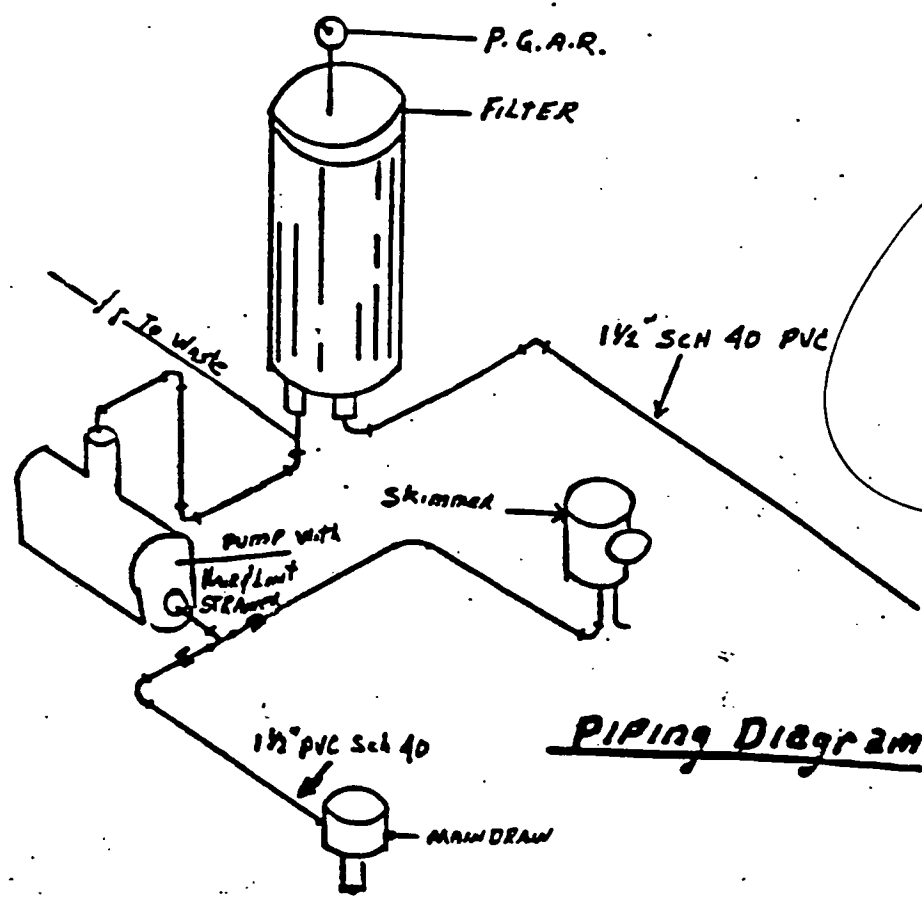


FIBERMESH OR
6x6 WIRE Mesh

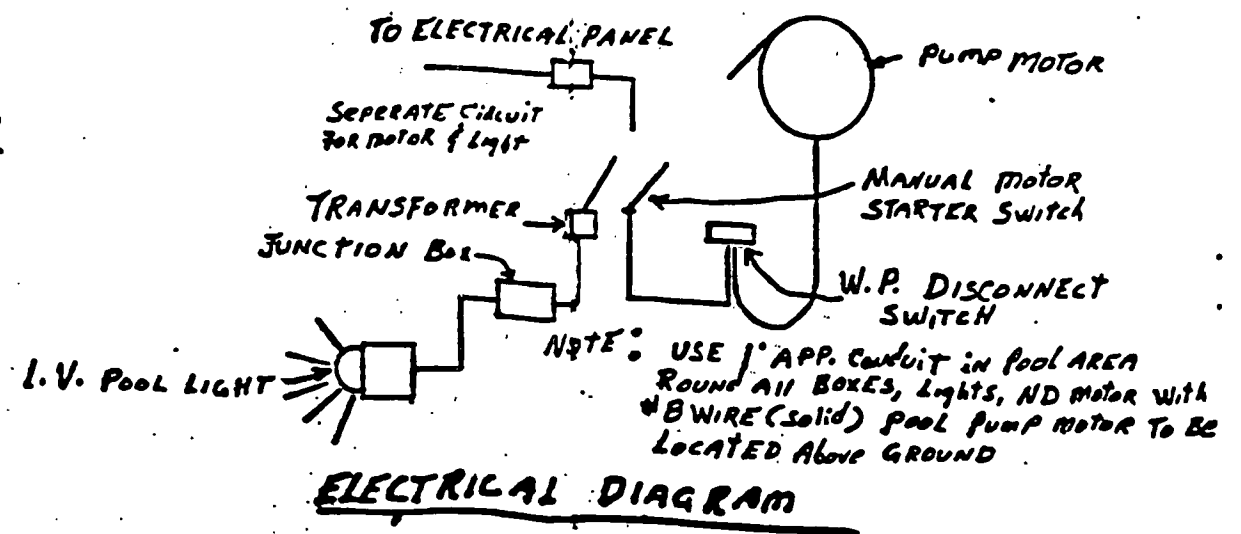


GENERAL NOTES

1. Pool floor and walls shall be made of pneumatically placed concrete with a compressive strength of 3000 PSI in 28 days.
2. All reinforcing steel shall be intermediate of hard grade deformed bars of new billet-steel conforming to A.S.T.M.A. -15 and shall be bent, lapped and placed in accordance with ACI stds and specifications.
3. For pool plan, size of slabs and special details, note, please refer to sheet # 2.
4. All pool piping shall bear the NSF Seal.
5. Main sump shall have a free area four times the area of suction line.
6. Backwash or cleaning shall be in accordance with each municipalities code requirements.
7. Water supply and disposal shall be arranged so that there is no erosion connection with a domestic water supply or disposal system.
8. Grading shall confine ponding of pool water within lot line.



By COMMERCIAL CONST.



FIBERMESH COMPANY
 FIBERMESH DRIVE
 4019 INDUSTRY DRIVE
 CHATTANOOGA, TN 37416
 615-892-7243

FIBERMESH

FIBERMESH® OR FIBERMIX® WILL BE ADDED TO THE CONCRETE ON THIS JOB IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND NER-284 FOR FIBERMESH® OR NER-414 FOR FIBERMIX®.

FINISHED BY: *Rucker* (CONCRETE COMPANY)
 MIX CERTIFIED BY: *Shelton* (CONCRETE COMPANY REPRESENTATIVE)

OWNER:

COMMERCIAL CONST.
 (KRAMER)

LOT 7

5722

FENCE

TOWN OF SEWALL'S POINT

Date 3/14/02

BUILDING PERMIT NO. 5722

Building to be erected for ROBERT KRAMER Type of Permit FENCE

Applied for by QUALITY FENCE (Contractor) Building Fee 30.00

Subdivision HOMWOOD Lot 7 Block E Radon Fee _____

Address 11 S. RIDGEVIEW RD. Impact Fee _____

Type of structure SFR A/C Fee _____

Parcel Control Number:

0138410060050007000000 Electrical Fee _____

Amount Paid \$30.00 Check # 4515 Cash _____ Other Fees (_____) _____

Total Construction Cost \$ 2,000.00 TOTAL Fees \$30.00

Signed  Applicant

Signed Mere Simmons / MC
Town Building Official

PERMIT

- | | | |
|---|--|---|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input checked="" type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL <u>4/3/02</u> |

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Building Permit Number: _____

Owner or Titleholder Name: Robert Kramer City: Sewall's Point State: FL Zip: _____
Legal Description of Property: Homewood Lot 7 Block E Parcel Number: 0138-41-006 005 0067000000
Location of Job Site: 11 S. Ridgeview Rd Type of Work To Be Done: Fence
Sewalls Point

CONTRACTOR/Company Name: Quality Fence Phone Number: 879-9126
Street: 498 SW Vol Fair Terrace City: Port St. Lucie State: FL Zip: 34984
State Registration Number: SPO 2470 State Certification Number: SPO 2470 Martin County License Number: 202 2470

ARCHITECT: _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER: _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof: _____ Wood Deck: _____ Accessory Building: _____
Type Sewage: _____ Septic Tank Permit Number From Health Dept: _____ Well Permit Number: _____

FLOOD HAZARD INFORMATION Flood Zone: _____ Minimum Base Flood Elevation (BFE): _____ NGVD
Proposed First Floor Habitable Floor Finished Elevation: _____ NGVD (Minimum 1 Foot Above BFE)

COST AND VALUES Estimated Cost of Construction or Improvements: 2000 Estimated Fair Market Value (FMV) Prior
To Improvements: _____ If Improvement, Is Cost Greater Than 50% Of Fair Market Value YES _____ NO _____

SUBCONTRACTOR INFORMATION

Electrical: _____ State: _____ License Number: _____
Mechanical: _____ State: _____ License Number: _____
Plumbing: _____ State: _____ License Number: _____
Roofing: _____ State: _____ License Number: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNANCE, BOILERS,
HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE
REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION

Florida Building Code (Structural, Mechanical, Plumbing, Gas) _____ South Florida Building Code (Structural, Mechanical, Plumbing, Gas) _____
National Electrical Code _____ Florida Energy Code _____
Florida Accessibility Code _____

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY
KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (Required)
State of Florida, County of: Martin
This the 9th day of March, 2002
by Robert Kramer who is personally
known to me or produced
as identification: Joan H. Barrow

CONTRACTOR SIGNATURE (Required)
On State of Florida, County of: Martin
This the 7th day of March, 2002
by James Kierstead who is personally
known to me or produced
As identification: Star M. Gardner

My Commission Expires: November 30, 2002
JOHN H. BARROW
Notary Public
MY COMMISSION # 99645 EXPIRES
BONDED THRU TROY FAIR INSURANCE, INC.

My Commission Expires: 4/13/05
Notary Public

Seal



TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # _____

NOTICE OF COMMENCEMENT

STATE OF _____

COUNTY OF _____

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY(INCLUDE STREET ADDRESS IF AVAILABLE):

GENERAL DESCRIPTION OF IMPROVEMENT: _____

OWNER: _____

ADDRESS: _____

PHONE #: _____

FAX #: _____

CONTRACTOR: _____

ADDRESS: _____

PHONE #: _____

FAX #: _____

SURETY COMPANY(IF ANY): _____

ADDRESS: _____

PHONE #: _____

FAX #: _____

BOND AMOUNT: _____

LENDER: _____

ADDRESS: _____

PHONE #: _____

FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____

FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____

FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____

THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS _____ DAY OF _____
19____ BY _____

OR
PERSONALLY KNOWN _____
PRODUCED ID _____
TYPE OF ID _____

NOTARY SIGNATURE

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: _____ **Date:** _____

Signature: _____

Address: _____

City & State: _____

Permit No. _____

This form is for all permits except electrical.

PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR A FENCE

IMPORTANT NOTICE: All items listed below must accompany your permit application. No application will be accepted unless all items that are applicable are submitted.

Application form must contain the following information:

1. Property Appraisers Parcel Number or Property Control Number
2. Legal Description of property (Can be found on your deed survey or Tax Bill)
3. Contractors name, address, phone number and license numbers.
4. Name all sub-contractors (properly licensed)
5. Architects or Engineers name, address, & phone number.
6. Estimated cost of construction.
7. Original signature of owner and notarized
8. Original signature of Contractor and notarized.

Submittals (2 copies)

1. Current survey (boundary & topographic) containing the following information:
 - a. Legal Description of Lot ✓
 - b. Lot dimensions and bearings ✓
 - c. Street and Waterway names
 - d. Easements
 - e. ROW's
 - f. Canals, Ponds, or Riverfront locations
 - g. Location of existing and proposed fences
 - h. Description of type and height of fence at all locations
2. Statement of Fact (owner/builder affidavit)
3. Proof of ownership (deed or tax recpt.)
4. Letter from Home Owners or Subdivision Associations stating design is per their deed restriction or covenants
5. Application for tree removal or relocation (attach tree survey and removal or relocation plan)
6. A certified copy of the Notice of Commencement for any work over \$2500.00
7. Copy of License (either Martin County Certificate of Competency or State Certified or Registered Contractor License)
8. Copy of Workmen's Compensation
9. Copy of Liability Insurance

**ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE
ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE**



(SIGNATURE OF APPLICANT)

DATE SUBMITTED: _____

CRITIQUE

Owner: Robert Kramer
Contractor: Quality Fence
Contractor's Phone Number: 879-9126

Date: March 12, 2002
Contact Person:
Plan Reviewer: Gene Simmons

PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR A FENCE LOCATED AT 11 S. RIDGEVIEW ROAD

Application form must contain the following information:

- 1. Property Appraisers Parcel Number or Property Control Number
- 2. Legal Description of property (Can be found on your deed survey or Tax Bill)

Submittals (2 copies)

- 1. Current survey containing the following information: **(ONE MORE REQUIRED)**
 - a. Location of fence marked with marker
 - b. Height of fence for all areas
 - c. Type fence being installed
- 2. Copy of tax receipt or copy of deed

I.D. # 0138-410060050007000000

Homewood Lot 7 Block E

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
9/6/01

PRODUCER

Kearns Agency of Florida, Inc.
P O Box 1849
Jensen Beach, Fl. 34958

FILE

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED

Quality Fence Contractors Inc.
James Kierstead
2513 SE Richmond St.
Port St. Lucie, Fl. 34952

hct/ur

INSURER A: **Auto Owners Insurance Company**
INSURER B: **Auto Owners Insurance Company**
INSURER C:
INSURER D:
INSURER E:

RECEIVED
SEP 10 2001
BY: *[Signature]*

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

| INSR LTR | TYPE OF INSURANCE | POLICY NUMBER | POLICY EFFECTIVE DATE (MM/DD/YY) | POLICY EXPIRATION DATE (MM/DD/YY) | LIMITS |
|---|--|---------------|----------------------------------|-----------------------------------|--|
| A | GENERAL LIABILITY | 20533955 | 5/22/01 | 5/22/02 | EACH OCCURRENCE \$ 1,000,000 |
| | <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY | | | | FIRE DAMAGE (Any one fire) \$ 50,000 |
| | <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR | | | | MED EXP (Any one person) \$ 5,000 |
| | | | | | PERSONAL & ADV INJURY \$ 1,000,000 |
| | | | | | GENERAL AGGREGATE \$ 2,000,000 |
| | | | | | PRODUCTS - COMP/OP AGG \$ 1,000,000 |
| GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC | | | | | |
| B | AUTOMOBILE LIABILITY | 42-519-238-00 | 10/12/01 | 10/12/02 | COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 |
| | <input type="checkbox"/> ANY AUTO | | | | BODILY INJURY (Per person) \$ |
| | <input checked="" type="checkbox"/> SCHEDULED AUTOS | | | | BODILY INJURY (Per accident) \$ |
| | <input checked="" type="checkbox"/> HIRED AUTOS | | | | PROPERTY DAMAGE (Per accident) \$ |
| <input checked="" type="checkbox"/> NON-OWNED AUTOS | | | | | |
| | | | | | |
| | GARAGE LIABILITY | | | | AUTO ONLY - EA ACCIDENT \$ |
| | <input type="checkbox"/> ANY AUTO | | | | OTHER THAN EA ACC \$ |
| | | | | | AUTO ONLY: AGG \$ |
| | EXCESS LIABILITY | | | | EACH OCCURRENCE \$ |
| | <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE | | | | AGGREGATE \$ |
| | <input type="checkbox"/> DEDUCTIBLE | | | | \$ |
| | RETENTION \$ | | | | \$ |
| | WORKERS COMPENSATION AND EMPLOYERS' LIABILITY | | | | WC STATU-TORY LIMITS OTH-ER |
| | | | | | E.L. EACH ACCIDENT \$ |
| | | | | | E.L. DISEASE - EA EMPLOYEE \$ |
| | | | | | E.L. DISEASE - POLICY LIMIT \$ |
| | OTHER | | | | |

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

Sales and Installation of Fences - State of Florida

CERTIFICATE HOLDER

ADDITIONAL INSURED; INSURER LETTER:

CANCELLATION

Town of Sewalls Point
1 South Sewalls Point Rd.
Sewalls Point, Fl. 34996
fax #220-4765

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE
[Signature]
Lawrence J. [Name]

CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
06/14/01

INSURER
Brown & Brown, Inc.
1401 Forum Way
Suite 600
West Palm Beach, FL 33401

be/us
FILE

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED
AYS Group, Inc. DBA AYS Employee Leasing
2145 14th Avenue #6
Vero Beach, FL 32960

INSURER A: Continental
INSURER B:
INSURER C:
INSURER D:
INSURER E:
BY: *[Signature]*

RECEIVED
JUN 18 2001

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

| INSR LTR | TYPE OF INSURANCE | POLICY NUMBER | POLICY EFFECTIVE DATE (MM/DD/YY) | POLICY EXPIRATION DATE (MM/DD/YY) | LIMITS |
|----------|---|---------------|----------------------------------|-----------------------------------|---|
| | GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC | | | | EACH OCCURRENCE \$ FIRE DAMAGE (Any one fire) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$ |
| | AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS | | | | COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ |
| | GARAGE LIABILITY <input type="checkbox"/> ANY AUTO | | | | AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$ |
| | EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE RETENTION \$ | | | | EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$ |
| A | WORKERS COMPENSATION AND EMPLOYERS' LIABILITY | WC138199238 | 06/15/01 | 06/15/02 | WC STATUTORY LIMITS OTH-ER E.L. EACH ACCIDENT \$500,000 E.L. DISEASE - EA EMPLOYEE \$500,000 E.L. DISEASE - POLICY LIMIT \$500,000 |
| | OTHER | | | | |

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS
Coverage is provided for only those employees leased to but not subcontractors of:
Quality Fence Company 2513 SE Richmond St Ft Pierce Fl 34952 Client #1200

| | | |
|--|--|--|
| CERTIFICATE HOLDER | ADDITIONAL INSURED; INSURER LETTER: | CANCELLATION |
| The Town of Sewells Point Attn Ed Arnold 1 South Sewell Point Rd Stuart, FL 34996 | | SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE <i>[Signature]</i> |



MARTIN COUNTY, FLORIDA
Construction Industry Lic Bd
Certificate of Competency

License: SP02470
Expires September 30, 2003

KIERSTEAD, JAMES J
QUALITY FENCE CO
2513 SE RICHMOND ST
PSL, FL 34952
FENCE ERECTION

Expires 2003

Please Put on File







Thank's

KIR K

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri APRIL 3, 2004 Page 1 of 2.

| PERMIT | OWNER/ADDRESS/CONTR. | INSPECTION TYPE | RESULTS | NOTES/COMMENTS: |
|--------|---------------------------------|------------------------------|---------|--|
| 5627 | SADLER | FINAL - | Passed | |
| (9) | 9 RIVERVIEW DR OIB | ALL PLUMBING & ELECTRICAL | | INSPECTOR:  |
| 4978 | RIMER | FINAL FOR | | |
| (12) | 29 S. RIVER RD. LEAR | CO | | INSPECTOR: |
| 5673 | MCCARTHEY | FENCE - FINAL | Passed | |
| (11) | 3 KINGSTON RD. QUALITY FENCE | | | INSPECTOR:  |
| 5721 | JOHNSON | FENCE - | Passed | |
| (1) | 2 OAK HILL WAY QUALITY | FINAL | | INSPECTOR:  |
| 5722 | KRAMER | FENCE - | Passed | |
| (8) | 11 S. RIDGEVIEW QUALITY | FINAL | | INSPECTOR:  |
| 5688 | WHALEN | DECK INSP. | Failed | |
| (3) | 9 KNOWLES RD. TWIN POOLS | (POOL) | | INSPECTOR:  |
| 5739 | GASIOREK | PRE-POUR - SLAB | Passed | |
| (2) | 67 N. RIVER RD. CONWAY | | | INSPECTOR:  |

OTHER: FPL 3x / wilbesting form board

9257

GAS TANK

&

LINES

RECEIVED
DATE: 8-20-09
TOWN OF SEWALL'S POINT

Date: 8/20/09 BUILDING PERMIT APPLICATION Permit Number: _____
OWNER/TITLEHOLDER NAME: Kathryn Kramer Phone (Day) 772 288 0296
Job Site Address: 11 S Ridgeway DR City: Stuart State: FL Zip: 34996
Legal Description: Home used Lot 7AKG E Parcel Control Number: 013 841 006 005 000 700
Owner Address (if different): SAME City: _____ State: _____ Zip: _____

Scope of work (please be specific): Install Above Ground Tank & Gas line for Cook Top
WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO
Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 1315.00
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC charge out)
Is subject property located in flood hazard area? VE10 _____ AE9 _____ AE8 _____ X _____
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: Paulic Propane & Natural Gas Phone: 220 2614 Fax: 220 2618
Street: 4149 SE Salerno RD City: Stuart State: FL Zip: 34997
State License Number: 24441 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: 772 220-2616 Phone Number: Cell 772 634 4833
DESIGN PROFESSIONAL: _____ Lic# _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____
Carport: _____ Total under Roof: _____ Elevated Deck: _____ Enclosed area below BFE*: _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)
(OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED))
Kathryn Kramer (Cash Kramer)
State of Florida, County of: Martin
This the 20th day of Aug, 2009
by Kathryn Kramer who is personally
known to me or produced FLDH# K656-511-58-9
as identification. Valerie Meyer
Notary Public

CONTRACTOR SIGNATURE: (required)
Paul Draghi
On State of Florida, County of: Martin
This the 20th day of Aug
PAUL DRAGHI who is personally
known to me or produced FLDH# 620-698-0500
as identification. Valerie Meyer
Notary Public

My Commission Expires: _____
SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



Martin County, Florida

Laurel Kelly, C.F.A

Site Provided by...
governmentmax.com T1.14

Summary

print Owner 12 of 22

Parcel Info

Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

| Parcel ID | Unit Address | Serial Index ID | Order | Commercial | Residential |
|--------------------------|---------------------|-----------------|-------|------------|-------------|
| 01-38-41-006-005-00070-0 | 11 S RIDGEVIEW ROAD | 17675 | Owner | 0 | 1 |

Summary

Property Location 11 S RIDGEVIEW ROAD
Tax District 2200 Sewall's Point
Account # 17675
Land Use 101 0100 Single Family
Neighborhood 120400
Acres 0.343

Legal Description
Property Information
 HOMEWOOD, LOT 7 BLK E

Search By

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

Owner Information
Owner Information
 KRAMER, ROBERT S & KATHRYN J

Mail Information
 11 S RIDGEVIEW RD
 STUART FL 34996-6450

Assessment Info
 Front Ft. 0.00

Market Land Value \$242,250
Market Impr Value \$463,080
Market Total Value \$705,330

Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Recent Sale
 Sale Amount \$76,000

Sale Date 4/2/1997
Book/Page 1229 1179

Print | Back to List | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 08/13/2009





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

| | | | |
|------------------------|-------------------------------|-----------------------|---------------------|
| PERMIT NUMBER: | 9257 | DATE ISSUED: | SEPTEMBER 16, 2009 |
| SCOPE OF WORK: | GAS TANK & LINES FOR COOK TOP | | |
| CONDITIONS : | | | |
| CONTRACTOR: | PAULIE PROPANE | | |
| PARCEL CONTROL NUMBER: | 013841006-005-000700 | SUBDIVISION | HOMEWOOD-LOT7, BL E |
| CONSTRUCTION ADDRESS: | 11 S RIDGEVIEW RD | | |
| OWNER NAME: | KRAMER | | |
| QUALIFIER: | PAUL DRAGHI | CONTACT PHONE NUMBER: | 220-2616 |

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

REQUIRED INSPECTIONS

| | |
|---|--|
| UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____ | UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____ |
|---|--|

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

GAS CHECKLIST

COMPLIANT TO 2004 FBC W/2006 REVISIONS/FUEL GAS CODE & NFPA 54 & 58

USE:

RESIDENTIAL: [checked] COMMERCIAL: _____

HOOK UP:

TANK [checked] METERED UTILITY GAS: _____ OTHER: _____

TANK SPECS:

SIZE: 120 GALS ABOVE GROUND: [checked] UNDERGROUND:

TANK TYPE: D.O.T. _____ ASME: [checked] OTHER: _____

TANK DISTANCE: (MINIMUM)

SOURCE OF IGNITION: 10 FT. BUILDING OPENINGS: 10 FT. BUILDING: 10 FT.

PROPOSED SETBACKS FROM LOT LINE:

FRONT: _____ FT. SIDE 1: _____ FT. SIDE 2: _____ FT. REAR: _____ FT.

GAS SPECS: (SEE FBC/FUEL GAS TABLES 402)

NATURAL: _____ LP: [checked] OTHER: _____

GAS PRESSURE OF _____ psi AND PRESSURE DROP OF _____

BASED ON A _____ SPECIFIC GRAVITY GAS

PIPE/TUBING SPECS: (CHECK ALL THAT APPLY)

IRON _____ SCH. 40 [checked] SEMI-RIGID _____ CSST _____ COPPER [checked]

POLYETHYLENE PLASTIC [checked] S. S.: _____ OTHER: _____

COMBUSTION AIR:

REQUIRED: YES: [checked] NO: _____

METHOD FOR SUPPLYING COMBUSTION AIR: By others (Hoods)

WHO PROVIDED THE COMBUSTION AIR CALCS?

ARCHITECT/ENGINEER OF RECORD: _____ GAS COMPANY: _____

OTHER: _____

GAS APPLIANCE SPECS: (LIST APPLIANCE TYPE AND BTU)

APPLIANCE #1: Cook Top BTU 7500 *DIA. PIPE 40' FT.-LENGTH

APPLIANCE #2: _____ BTU _____ *DIA. PIPE _____ FT.-LENGTH

APPLIANCE #3: _____ BTU _____ *DIA. PIPE _____ FT.-LENGTH

APPLIANCE #4: _____ BTU _____ *DIA. PIPE _____ FT.-LENGTH

APPLIANCE #5: _____ BTU _____ *DIA. PIPE _____ FT.-LENGTH

APPLIANCE #6: _____ BTU _____ *DIA. PIPE _____ FT.-LENGTH

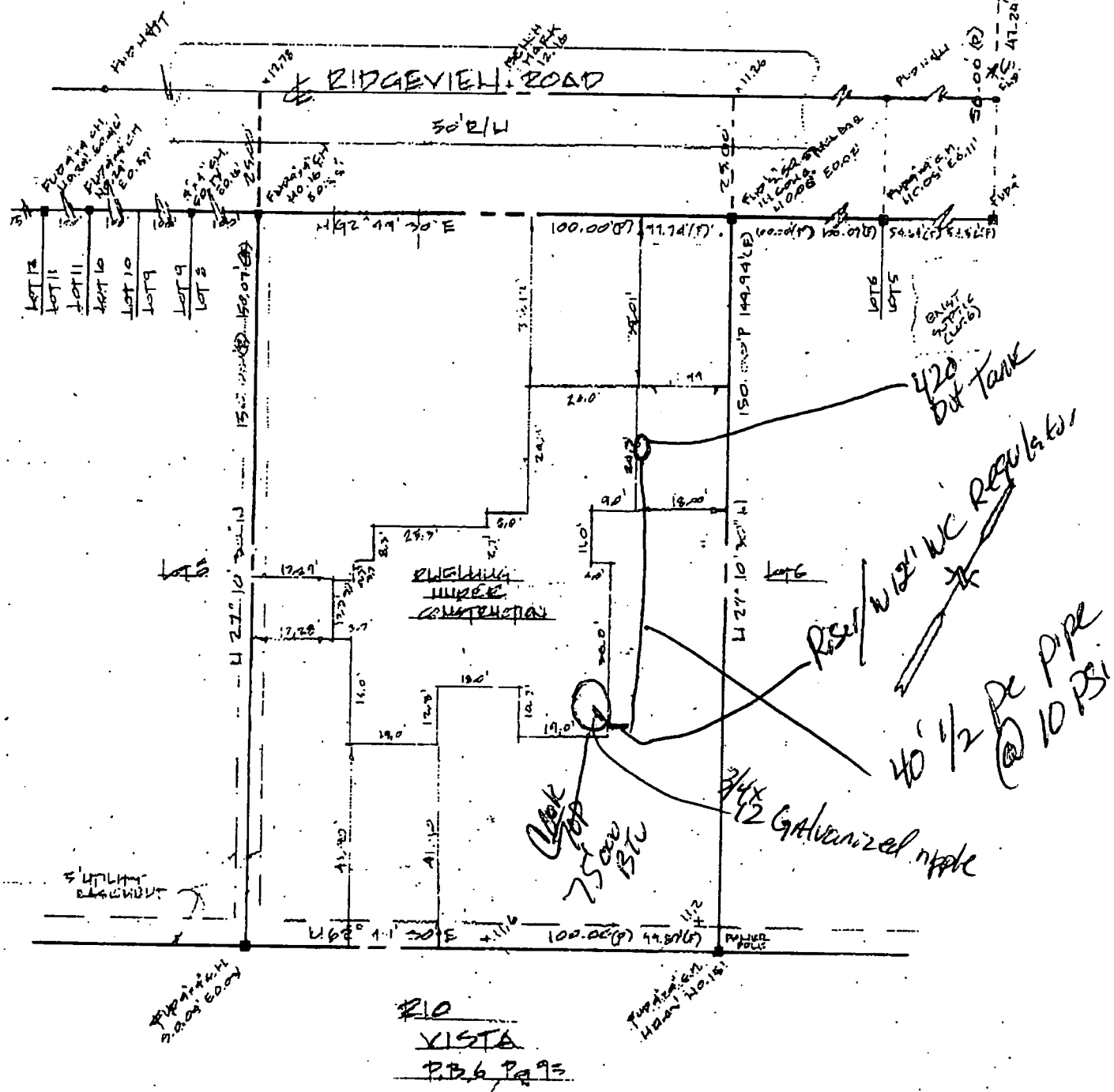
(LENGTH BASED ON THE TOTAL PIPE LENGTH FROM THE GAS SOURCE TO THE APPLIANCE)

*THE ABOVE PIPE SIZES WERE TAKEN FROM 2004 FBC W/2006 REVISIONS/FUEL GAS TABLE NO. _____

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE 8.21.01
BUILDING OFFICIAL

COMBUSTION AIR
must be provided for all
indoor fuel gas appliances
Sect. M1701 - 3 FBC(R)

* Note: CORNERS FOUND THIS SIDE OF STREET DO NOT ALIGN WITH CORNERS FOR THIS SURVEY (NO OBSTRUCTIONS)



PROPERTY LOCATED WITHIN FLOOD ZONE: 'C'
PROPERTY ADDRESS: RIDGEVIEW ROAD

NOTIFIED TO: ROBERT S. & KATHRYN J. KRAMER
SUNTRUST BANK SOUTH FLORIDA, N.A.
AMERICAN PIONEER TITLE INSURANCE
COMPANY KRAMER, SEWELL & SOPKO,
P.A.

NOTES:

1. Survey of description as furnished by Client
2. Lands shown hereon were not abstracted for easements and/or rights-of-way of record.
- (P) Denotes distance or bearing by description as furnished.
- (F) Denotes measured distance or bearing.
- (C) Denotes calculated distance or bearing.
3. All bearings are referenced to the instrument of record as shown hereon, unless otherwise noted.
4. Elevations shown hereon are relative to National Geodetic Vertical Datum of 1929, and are based on bench mark.
5. There are no above ground encroachments, unless otherwise shown.

SET I.B. - SET 5/8 IRON BAR & CAP #4049
 FND. - FOUND OBJECT
 I.P. - IRON PIPE
 C.M. - CONCRETE MONUMENT
 T.D. - TOWN DAD

OW - OVERHEAD WIRE
 - DRAINAGE FLOW
 -

R10
VISTA
P.B. 6 Pg 95

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

9-21

2009

Page 1 of 1

| PERMIT # | OWNER/ADDRESS/CONTRACTOR | INSPECTION TYPE | RESULTS | COMMENTS |
|---------------|--------------------------|-----------------------|--------------------|----------------------|
| 9188 | Lerner | Framing windows | | O/B HAS LIST |
| 1st | 37 E High Pt | electric | FAIL | |
| | OB | rough plumbing | | INSPECTOR: JF |
| | | AC duct | | |
| PERMIT # | OWNER/ADDRESS/CONTRACTOR | INSPECTION TYPE | RESULTS | COMMENTS |
| 9755 | Nova Club #204 | Final AC | NOO MISS MATCH APP | NO ACCESS |
| 2nd | 3601 SE Ocean | | FAIL | NO ACCESS |
| | NisQin | | | INSPECTOR: JF |
| PERMIT # | OWNER/ADDRESS/CONTRACTOR | INSPECTION TYPE | RESULTS | COMMENTS |
| 9162 | Amos | Final windows & doors | | |
| will call you | 114 S Sewalls | (code 1997) | PASS | CLOSE |
| | Jensen Beach Alum | | | INSPECTOR |
| PERMIT # | OWNER/ADDRESS/CONTRACTOR | INSPECTION TYPE | RESULTS | COMMENTS |
| 9029 | AT&T | UG cables | | |
| | SSPR e Riv Vista | | PASS | CLOSE |
| | to NSPR | | | INSPECTOR: JF |
| | Daniella Conet | | | |
| PERMIT # | OWNER/ADDRESS/CONTRACTOR | INSPECTION TYPE | RESULTS | COMMENTS |
| 9061 | AT&T | UG cables | | |
| | Spiner & Marguerita | | PASS | CLOSE |
| | Daniella Conet | | | INSPECTOR: JF |
| PERMIT # | OWNER/ADDRESS/CONTRACTOR | INSPECTION TYPE | RESULTS | COMMENTS |
| 9067 | AT&T | UG Cables | | |
| | N. River Rd & E. Ocean | | PASS | CLOSE |
| | Daniella | | | INSPECTOR: JF |
| PERMIT # | OWNER/ADDRESS/CONTRACTOR | INSPECTION TYPE | RESULTS | COMMENTS |
| 9259 | Kramer | rough UG | | NEEDS FINAL |
| | 11 S Ridgerview | | PASS | |
| | Paulie Propane | | | INSPECTOR: JF |

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection: Mon Tue Wed Thur Fri **9-23** 2009. Page **1** of **4**

| PERMIT # | OWNER/ADDRESS/CONTRACTOR | INSPECTION TYPE | RESULTS | COMMENTS |
|-------------|--------------------------|------------------|------------|------------------------------|
| 9158 | LERNER | FRAMING & TRADES | | |
| AM | 37 E HIGH PT | RE INSPECTION | PASS | INSPECTOR <i>[Signature]</i> |
| 9256 | RAB | A/C | | |
| BEFORE NOON | 22 SIMARA ST. | FINAL | PASS | Close |
| | NISAIR | | | INSPECTOR <i>[Signature]</i> |
| 9257 | [REDACTED] | [REDACTED] | [REDACTED] | [REDACTED] |
| 2 p.m. | 11 S. Ridgview Rd. | | | INSPECTOR <i>[Signature]</i> |
| PERMIT # | OWNER/ADDRESS/CONTRACTOR | INSPECTION TYPE | RESULTS | COMMENTS |
| | | | | |
| | | | | |
| | | | | INSPECTOR |
| PERMIT # | OWNER/ADDRESS/CONTRACTOR | INSPECTION TYPE | RESULTS | COMMENTS |
| | | | | |
| | | | | |
| | | | | INSPECTOR |
| PERMIT # | OWNER/ADDRESS/CONTRACTOR | INSPECTION TYPE | RESULTS | COMMENTS |
| | | | | |
| | | | | |
| | | | | INSPECTOR |

9739

DECK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK. A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

| | | | |
|------------------------|---------------------|-----------------------|-------------------|
| PERMIT NUMBER: | 9739 | DATE ISSUED: | MARCH 11, 2011 |
| SCOPE OF WORK: | REAR DECK | | |
| CONDITIONS : | | | |
| CONTRACTOR: | SCHILLING & PAULICK | | |
| PARCEL CONTROL NUMBER: | 013841006005-000700 | SUBDIVISION | HOMWOOD, L7, BL E |
| CONSTRUCTION ADDRESS: | 11 S RIDGEVIEW RD | | |
| OWNER NAME: | KRAMER | | |
| QUALIFIER: | MARK SCHILLING | CONTACT PHONE NUMBER: | 260-0711 |

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE CALL 287-2455 - 8:00AM TO 4:00PM

REQUIRED INSPECTIONS

| | | | |
|------------------------|-------|------------------------|-------|
| UNDERGROUND PLUMBING | _____ | UNDERGROUND GAS | _____ |
| UNDERGROUND MECHANICAL | _____ | UNDERGROUND ELECTRICAL | _____ |
| STEM-WALL FOOTING | _____ | FOOTING | _____ |
| SLAB | _____ | TIE BEAM/COLUMNS | _____ |
| ROOF SHEATHING | _____ | WALL SHEATHING | _____ |
| TIE DOWN /TRUSS ENG | _____ | INSULATION | _____ |
| WINDOW/DOOR BUCKS | _____ | LATH | _____ |
| ROOF DRY-IN/METAL | _____ | ROOF TILE IN-PROGRESS | _____ |
| PLUMBING ROUGH-IN | _____ | ELECTRICAL ROUGH-IN | _____ |
| MECHANICAL ROUGH-IN | _____ | GAS ROUGH-IN | _____ |
| FRAMING | _____ | METER FINAL | _____ |
| FINAL PLUMBING | _____ | FINAL ELECTRICAL | _____ |
| FINAL MECHANICAL | _____ | FINAL GAS | _____ |
| FINAL ROOF | _____ | BUILDING FINAL | _____ |

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number:

9739

Date: 3-10-11

OWNER/TITLEHOLDER NAME: ROBERT KRAMER

Phone (Day) 772-600-3138 (Fax)

Job Site Address: 115 RIDGEVIEW RD

City: SEWALL'S POINT FL Zip: 34996

Legal Description: Home Wood Lot 7 BLK E

Parcel Control Number: 01-38-000-005-00070-0

Owner Address (if different):

City: State: Zip:

SCOPE OF WORK (PLEASE BE SPECIFIC): BACK DECK

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application) YES NO

Has a Zoning Variance ever been granted on this property?

YES (YEAR) NO (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 2,400.00

(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10 AE9 AE8 X FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:

Estimated Fair Market Value prior to improvement: \$ (Fair Market Value of the Primary Structure only, Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Schilling & Patrick Const LLC Phone: 772-260-0211 Fax: 772-463-5021

Qualifiers name: MARK SCHILLING Street: P.O. Box 1260 City: PALM CITY State: FL Zip: 34991

State License Number: CBC-1513674 OR: Municipality: License Number:

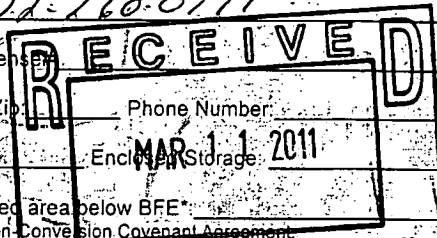
LOCAL CONTACT: Walter Park City Phone Number: 772-260-0211

DESIGN PROFESSIONAL: N/A Fla. License:

Street: City: State: Zip: Phone Number:

AREAS SQUARE FOOTAGE: Living: Garage: Covered Patios/ Porches: Enclosed Storage:

Carport: Total under Roof: Elevated Deck: 1413 sq ft Enclosed area below BFE: Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement



CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Electrical, Gas, 2007) National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code: 2007

NOTICES TO OWNERS AND CONTRACTORS:

- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY... 2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS... 3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS... 4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS...

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE...

OWNER NOTORIZED SIGNATURE: (required per 713.135 F.S.) OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

X [Signature]

State of Florida, County of: Martin

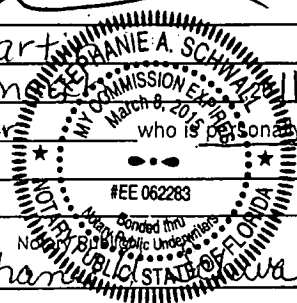
On This the 10th day of March 2011

by Robert S. Kramer who is personally

known to me or produced

As identification:

My Commission Expires: Stephanie A. Schilling



CONTRACTOR NOTORIZED SIGNATURE: (required per 713.135 F.S.)

X [Signature]

State of Florida, County of: Martin

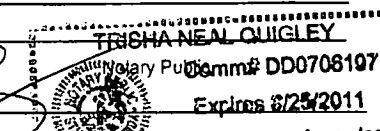
On This the 10 day of March 2011

by Mark Schilling who is personally

known to me or produced

As identification:

My Commission Expires: Trisha Neal Quigley



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
 governmax.com 1.11

Summary



Owner
 2 of 25

Tabs

- Summary**
- Print View
- Land
- Improvements
- Assessments & Exemptions
- Sales
- Taxes →
- Parcel Map →
- Trim Notice →

| Parcel ID | Account # | Unit Address | Market Total Value | Data as of |
|--------------------------|-----------|-------------------------------------|--------------------|------------|
| 01-38-41-006-005-00070-0 | 17675 | 11 S RIDGEVIEW ROAD, SEWALL'S POINT | \$491,130 | 3/5/2011 8 |

| Owner Information | |
|-------------------------------|---|
| Owner(Current) | KRAMER ROBERT S & KATHRYN J |
| Owner/Mail Address | 11 S RIDGEVIEW RD STUART FL 34996-6450 |
| Sale Date | 04/02/1997 |
| Document Number | |
| Document Reference No. | 1229 1179 |
| Sale Price | 76000 |

Searches

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Maps →

| Location/Description | | | |
|-----------------------|-------------------------------------|--------------------------|-----------------------|
| Account # | 17675 | Map Page No. | SP-04 |
| Tax District | 2200 | Legal Description | HOMEWOOD, LOT 7 BLK E |
| Parcel Address | 11 S RIDGEVIEW ROAD, SEWALL'S POINT | | |
| Acres | .3430 | | |

Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

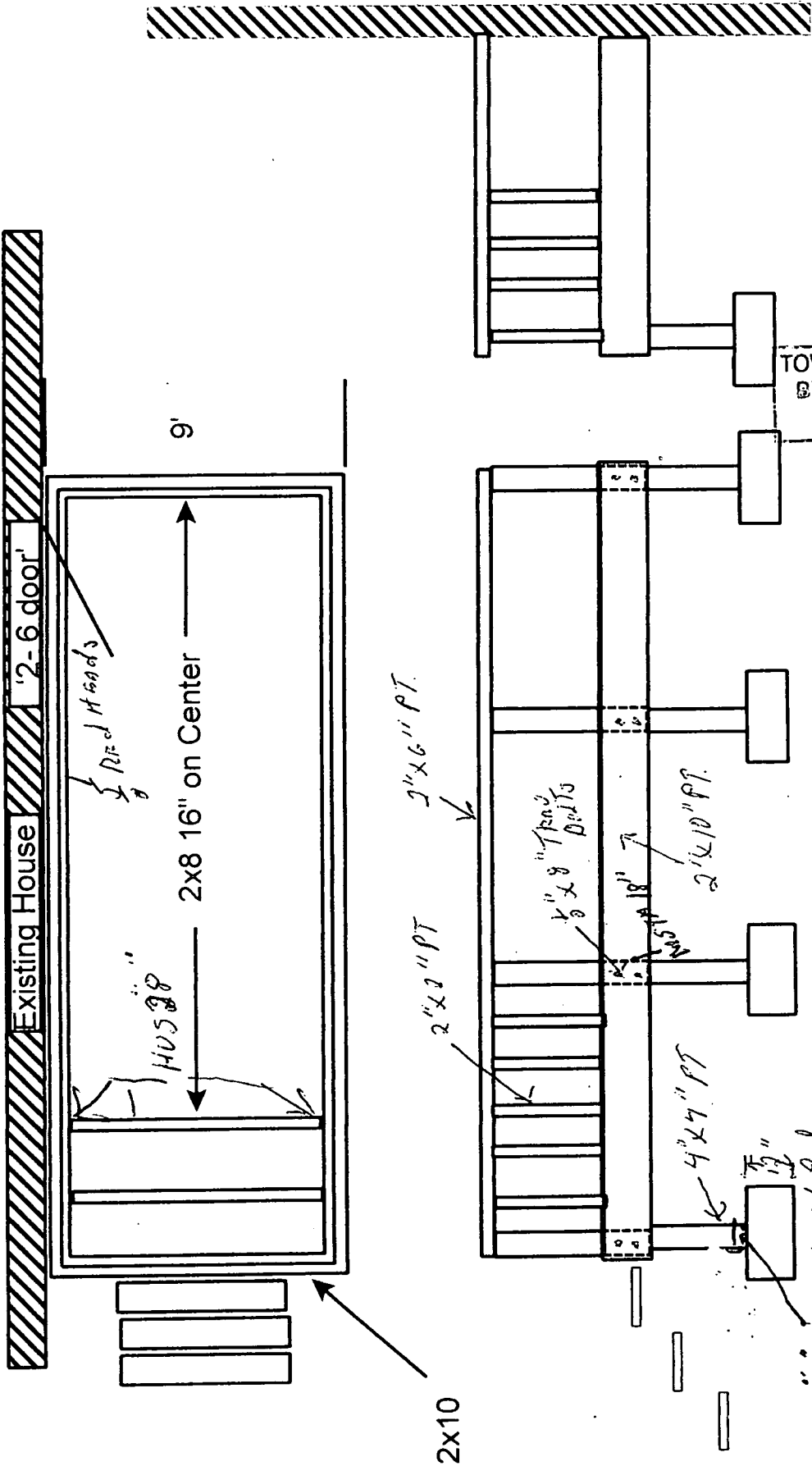
| Parcel Type | |
|---------------------|---------------------------------------|
| Use Code | 0100 Single Family |
| Neighborhood | 120400 Hmwd,Palm Ro,Kngstn,Okwd, Pine |

| Assessment Information | |
|---------------------------------|-----------|
| Market Land Value | \$178,000 |
| Market Improvement Value | \$313,130 |
| Market Total Value | \$491,130 |

Print Back to List First Previous Next Last

Legal Disclaimer / Privacy Statement

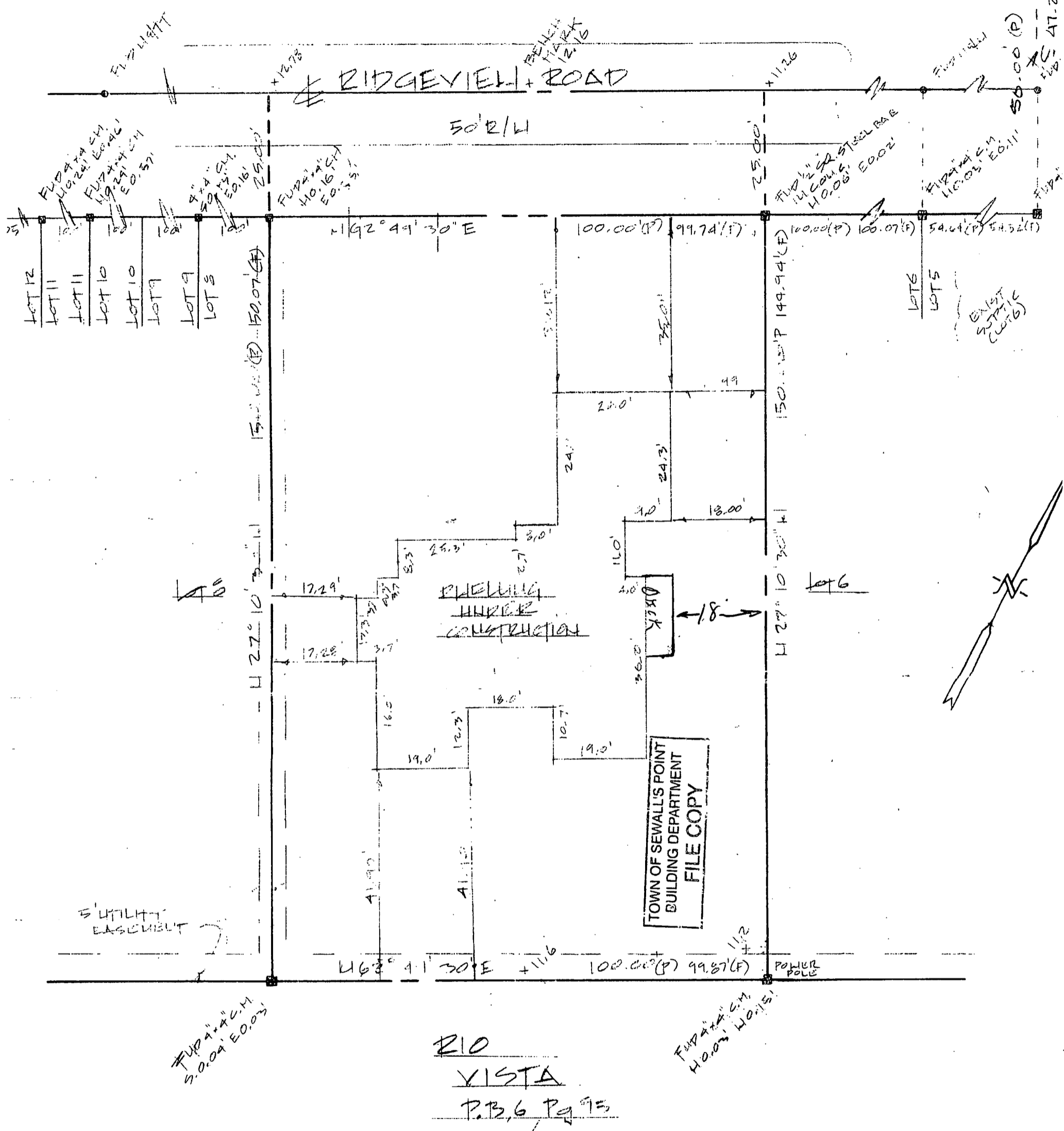




TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

All lumber = PT

* NOTE CORNERS FOUND THIS SIDE OF STREET DO NOT ALIGN WITH CORNERS FOR THIS SURVEY (NO OBSTRUCTIONS)



PROPERTY LOCATED WITHIN FLOOD ZONE: "C"
 PROPERTY ADDRESS: RIDGEVIEW ROAD

CERTIFIED TO: ROBERT S. & KATHRYN J. KRAMER
 SUNTRUST BANK SOUTH FLORIDA, N.A.
 AMERICAN PIONEER TITLE INSURANCE COMPANY KRAMER, SEWELL & SOPKO, P.A.

NOTES:

1. Survey of description as furnished by Client
2. Lands shown hereon were not abstracted for easements and/or rights-of-way of record.
- (P) Denotes distance or bearing by description as furnished.
- (F) Denotes measured distance or bearing.
- (C) Denotes calculated distance or bearing.
3. All bearings are referenced to the instrument of record as shown hereon, unless otherwise noted.
4. Elevations shown hereon are relative to National Geodetic Vertical Datum of 1929, and are based on bench mark.
5. There are no above ground encroachments, unless otherwise shown.

SET I.B. - SET 5/8 IRON BAR & CAP #4049
 FND. - FOUND OBJECT
 I.P. - IRON PIPE
 C.M. - CONCRETE MONUMENT
 OHW - OVERHEAD WIRE
 --- DRAINAGE FLOW

Walt Paulick



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

www.buildingcodeonline.com

Nan Ya Plastics Corporation USA
8909 North Loop East, Suite 800
Houston, TX 77029

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: Inswing Fiberglass Door – L.M.I.

APPROVAL DOCUMENT: Drawing No. NAYT0002, titled "Fiberglass Double Inswing Doors XXX and XX", sheets 1 through 7 of 7, dated 04/03/06, with revision B dated 7/25/06, prepared by PTC, LLC, signed and sealed by Luis R. Lomas, P.E., bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of this page 1 and evidence pages E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by **Manuel Perez, P.E.**



Manuel Perez

NOA No 06-0411.05
Expiration Date: August 31, 2011
Approval Date: August 31, 2006
Page 1

Nan Ya Plastics Corporation, Inc.

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

A. DRAWINGS

1. Manufacturer's die drawings and sections.
2. Drawing No **NAYT2002**, Sheets 1 through 7 of 7, titled "Fiberglass Double Inswing Doors XXX and XX", dated 04/03/06 with revision B dated 7/25/06, prepared by PTC, LLC, signed and sealed by Luis R. Lomas, P.E.

B. TESTS

1. Test reports on 1) Uniform Static Air Pressure Test, Loading per FBC TAS 202-94
2) Large Missile Impact Test per FBC, TAS 201-94
3) Cyclic Wind Pressure Loading per FBC, TAS 203-94
along with marked-up drawings and installation diagram of fiberglass double door inswing, prepared by Certified Testing Laboratories, Inc., Test Report No. **CTLA-1420W**, dated 12/27/05-01/03/06, and addendum letter dated 07/18/06, and amended pages 1, 5, 6 and 7 of 12 dated 07/25/06, all signed and sealed by Ramesh C. Patel, P.E.

C. CALCULATIONS

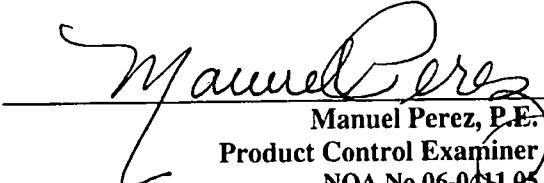
1. Anchor verification calculations and structural analysis, complying with FBC-2004, dated 04/06/06, prepared by PTC Engineering, Inc., signed and sealed by Luis R. Lomas, P.E.
Complies with ASTM E1300-98

D. QUALITY ASSURANCE

1. Miami Dade Building Code Compliance Office (BCCO).

E. MATERIAL CERTIFICATIONS

1. Notice of Acceptance No. **03-0421.01** issued to Solutia, Inc., for their "Saflex HP a polyvinyl butyral interlayer for lamination of glass", approved on 05/22/03 and expiring on 04/14/08.
2. Test Report No. **ETC-06-255-17412.0**, prepared by ETC Laboratories, issued to Nan Ya Plastics Corp., dated 04/25/06, for their product: **Phenolic Foam Board / ETC06013**, tested per **ASTM E 84-05** "Standard Test Methods for Surface Burning Characteristics of Building Materials", signed and sealed by Joseph Labora Doldan, P.E.


Manuel Perez, P.E.
Product Control Examiner
NOA No 06-0411.05
Expiration Date: August 31, 2011
Approval Date: August 31, 2006

Nan Ya Plastics Corporation, Inc.

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

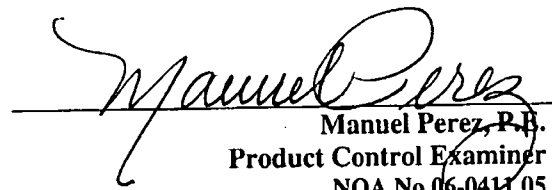
3. Test Report No. **ETC-05-255-17144.0**, prepared by ETC Laboratories, issued to Nan Ya Plastics Corp., dated 01/04/06, for their product: **Rigid PVC / ETC06024**, tested per **ASTM D 1929-96** "Standard Test Method for Ignition Properties of Plastics"; **ASTM D635-98** "Rate of Burning and/or Extent and Time of Burning of Self-Supporting Plastics in a Horizontal Position", **ASTM D638-03** "Standard Test Methods for Tensile Properties of Plastics"; **ASTM D2843-99** "Standard Test Methods Density of Smoke from the Burning or Decomposition of Plastics"; all signed and sealed by Joseph L. Doldan, P.E.
4. Test Report No. **ETC-05-255-17144.0**, prepared by ETC Laboratories, issued to Nan Ya Plastics Corp., dated 04/26/06, for their product: **Cellular PVC / ETC05034**, tested per **ASTM D 1929-96** "Standard Test Method for Ignition Properties of Plastics"; **ASTM D635-98** "Rate of Burning and/or Extent and Time of Burning of Self-Supporting Plastics in a Horizontal Position", **ASTM D638-03** "Standard Test Methods for Tensile Properties of Plastics"; **ASTM D2843-99** "Standard Test Methods Density of Smoke from the Burning or Decomposition of Plastics"; all signed and sealed by Joseph L. Doldan, P.E.
5. Test Report No. **ETC-05-255-16776.0**, prepared by ETC Laboratories, issued to Nan Ya Plastics Corp., dated 01/04/06, for their product: **SMC / ETC05033**, tested per **ASTM D 1929-96** "Standard Test Method for Ignition Properties of Plastics"; **ASTM D635-98** "Rate of Burning and/or Extent and Time of Burning of Self-Supporting Plastics in a Horizontal Position", **ASTM D638-03** "Standard Test Methods for Tensile Properties of Plastics"; **ASTM D2843-99** "Standard Test Methods Density of Smoke from the Burning or Decomposition of Plastics"; all signed and sealed by Joseph L. Doldan, P.E.
6. Test Report No. **ETC-05-255-16776.1**, prepared by ETC Laboratories, issued to Nan Ya Plastics Corp., dated 07/06/06, for their product: **SMC Fiberglass Material / ETC05033**, tested per **ASTM D 1929-96** "Standard Test Method for Ignition Properties of Plastics"; **ASTM D635-98** "Rate of Burning and/or Extent and Time of Burning of Self-Supporting Plastics in a Horizontal Position", **ASTM D638-03** "Standard Test Methods for Tensile Properties of Plastics"; **ASTM D2843-99** "Standard Test Methods Density of Smoke from the Burning or Decomposition of Plastics"; all signed and sealed by Joseph L. Doldan, P.E.

F. STATEMENTS

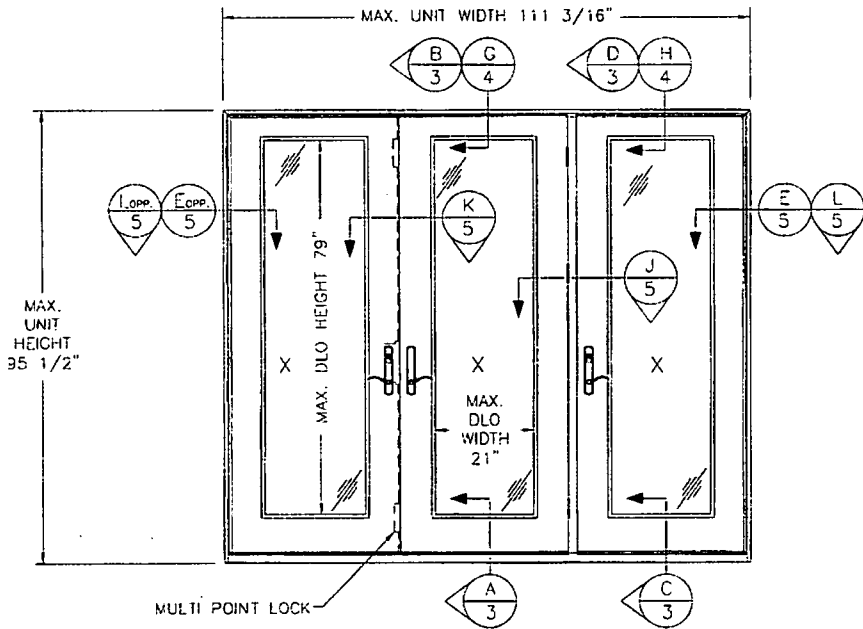
1. Statement letter of conformance and no financial interest, dated April 6, 2006, signed and sealed by Luis R. Lomas, P.E.

G. OTHER

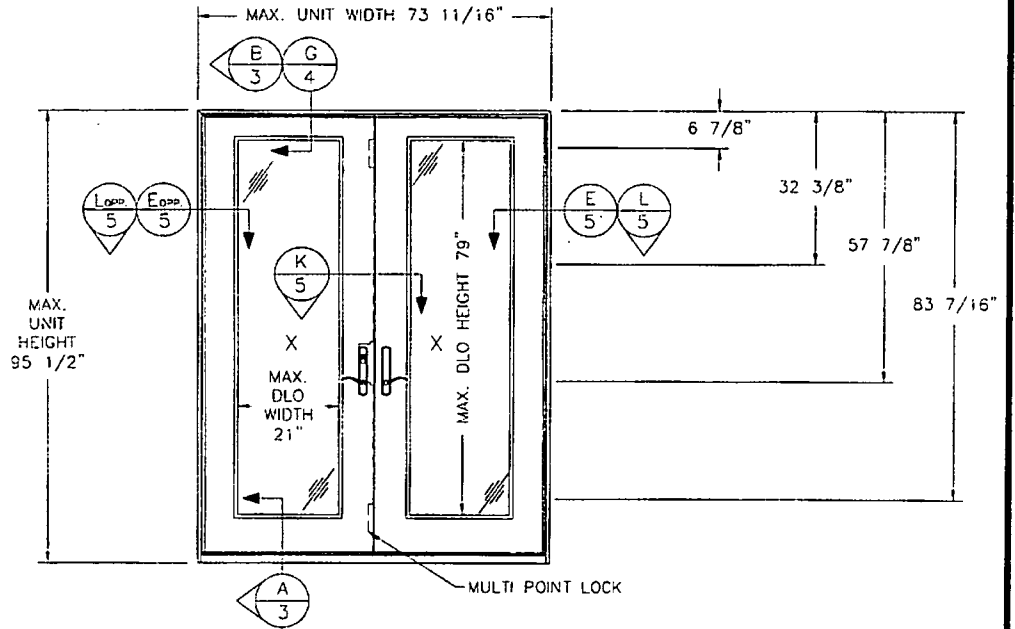
1. None.


Manuel Perez, P.E.
Product Control Examiner
NOA No 06-0411.05

Expiration Date: August 31, 2011
Approval Date: August 31, 2006



EXTERIOR VIEW
FIBERGLASS DOUBLE INSWING DOORS
XXX CONFIGURATION



EXTERIOR VIEW
FIBERGLASS DOUBLE INSWING DOORS
XX CONFIGURATION

| DESIGN PRESSURE RATING | | |
|------------------------|---|---|
| | WHERE WATER PENETRATION REQUIREMENT IS NEEDED | WHERE WATER PENETRATION REQUIREMENT IS NOT NEEDED |
| POSITIVE | NOT APPROVED | +50.0 PSF |
| NEGATIVE | NOT APPROVED | -50.0 PSF |

| TABLE OF CONTENTS | |
|-------------------|-------------------------------------|
| PAGE NO. | DESCRIPTION |
| 1 | ELEVATION & GENERAL NOTES |
| 2 | ANCHORING & ANCHORING NOTES |
| 3 | VERTICAL CROSS SECTIONS |
| 4 | VERTICAL CROSS SECTIONS |
| 5 | HORIZONTAL CROSS SECTIONS |
| 6 | COMPONENTS |
| 7 | BILL OF MATERIALS & GLAZING DETAILS |

Approved as complying with the Florida Building Code
Date: AUG 31 2006
NOAA: 06-0411-05
Miami Dade Project Contact
By: *[Signature]*

LARGE MISSILE IMPACT

NOTE:

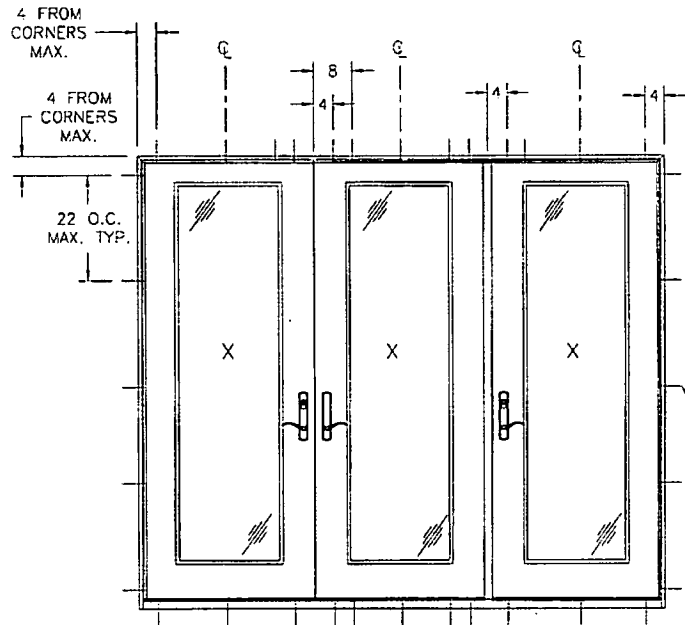
1. THE PRODUCT SHOWN HEREIN IS DESIGNATED AND MANUFACTURED TO COMPLY WITH THE 2004 FLORIDA BUILDING CODE (FBC) INCLUDING THE HIGH VELOCITY HURRICANE ZONE (HVHZ).
2. 1X BUCK, 2X BUCK AND MASONRY OPENING TO BE DESIGNED AND ANCHORED TO PROPERLY TRANSFER ALL LOADS TO STRUCTURE. 2X BUCK AND MASONRY OPENING IS THE RESPONSIBILITY OF THE ARCHITECT OR ENGINEER OF RECORD.
3. APPROVED IMPACT PROTECTIVE SYSTEM IS NOT REQUIRED ON THIS PRODUCT.
4. SHIM AS REQUIRED AT EACH INSTALLATION ANCHOR WITH LOAD BEARING SHIM. SHIM WHERE SPACE OF 1/16" OR GREATER OCCURS. MAXIMUM TOTAL ALLOWABLE SHIM STACK 1/4".
5. USE LATEX CAULK FOR PERIMETER SEAL AROUND EXTERIOR OF DOORS.
6. DOOR FRAME AND DOOR PANEL MATERIAL: CELLULAR PVC.
7. SEAL HEAD, SILL AND JAMB CORNERS WITH SMALL JOINT SEAM SEALER.

| SYM | REVISION | DATE | BY |
|-----|--|----------|------|
| B | Issued per Dade County e-mail dated 07/21/06 | 07/25/06 | DRL |
| A | REVISED PER MIAMI DADE COMMENTS | 7/6/06 | R.L. |

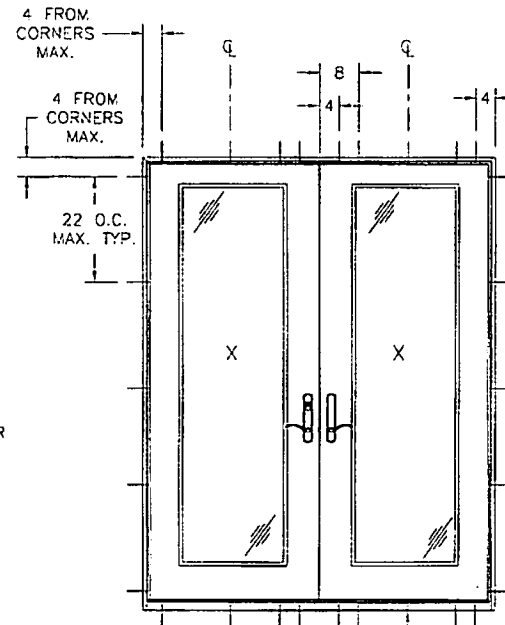
L. Roberto Lomas
P.E. No. 62514
[Signature]
PTC, LLC
1535 Cogswell Street, suite C25
Rockledge, Florida 32955
FBCPE Certificate of Authorization NO. 25933

NAN YA PLASTICS CORPORATION, INC.
6 FL, 201 NORTH ROAD, TAIPEI, TAIWAN
TITLE: FIBERGLASS DOUBLE INSWING DOORS XXX AND XX
ELEVATIONS AND GENERAL NOTES

| | | |
|-------------------------|-------------------|----------------|
| PREPARED BY: PTC | DRAWN: DRL | DATE: 04/03/06 |
| SCALE: N.T.S. | DWG. NO: NAYT0002 | |
| REV: B | SHEET: 1 OF 7 | |



FIBERGLASS DOUBLE INSWING DOORS
XXX CONFIGURATION



FIBERGLASS DOUBLE INSWING DOORS
XX CONFIGURATION

INSTALLATION ANCHOR
(SEE NOTES)

INSTALLATION ANCHOR
(SEE NOTES)

ANCHORING NOTES:

1. 3/16" DIAMETER ELCO TAPCON OR EQUIVALENT MUST BE OF SUFFICIENT LENGTH TO ACHIEVE 1 1/4" MINIMUM EMBEDMENT INTO MASONRY OR CONCRETE W/2" MINIMUM EDGE DISTANCE.
#12 WOOD SCREW OR EQUIVALENT MUST BE OF SUFFICIENT LENGTH TO ACHIEVE 1 1/2" MINIMUM EMBEDMENT INTO WOOD FRAMING.
LOCATE ANCHORS AS FOLLOWS:
4" MAXIMUM FROM ALL CORNERS, AND EITHER SIDE OF ASTRAGAL/INTERLOCK. ONE AT MID-SPAN OF PANEL.
ALL OTHER ANCHORS ARE LOCATED 22" ON CENTER MAXIMUM THEREAFTER.
2. ALL INSTALLATION ANCHORS MUST BE MADE OF CORROSIVE RESISTANT MATERIAL.

Approved as complying with the
Fiber Glass Products Code
Date: Aug 31 2006
Issue: 06-041-05
Miami Fibra Products Control
By: *[Signature]*

| | | | |
|-----|---|----------|------|
| B | Updated per Dade County e-mail dated 07/21/06 | 07/25/06 | DRL |
| A | REVISED PER MIAMI-DADE COMMENTS | 7/6/06 | R.L. |
| SYM | REVISION | DATE | BY |

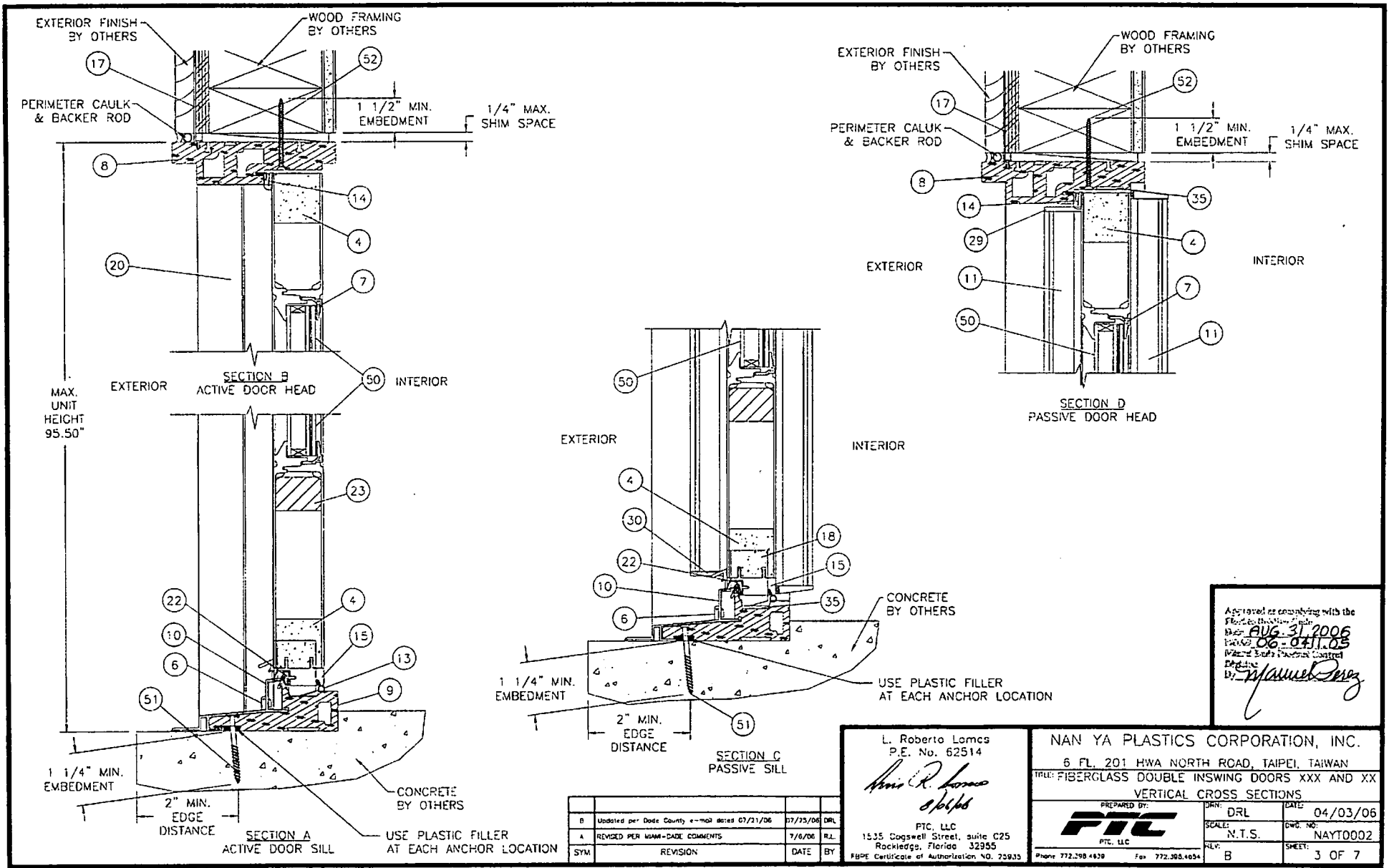
L. Roberto Lomas
P.E. No. 62514
[Signature]
PTC, LLC
1535 Cogswell Street, suite C25
Rockledge, Florida 32955
FBPE Certificate of Authorization NO. 25935

NAN YA PLASTICS CORPORATION, INC.
6 FL. 201 NORTH ROAD, TAIPEI, TAIWAN

TITLE: FIBERGLASS DOUBLE INSWING DOORS XXX AND XX
ANCHORING AND ANCHORING NOTES

| | | | |
|--------------|--------|-----------|----------|
| PREPARED BY: | DRL | DATE: | 04/03/06 |
| SCALE: | N.T.S. | DWG. NO.: | NAYT0002 |
| REV: | B | SHEET: | 2 OF 7 |

Phone 772.398.4639 Fax 772.398.4634



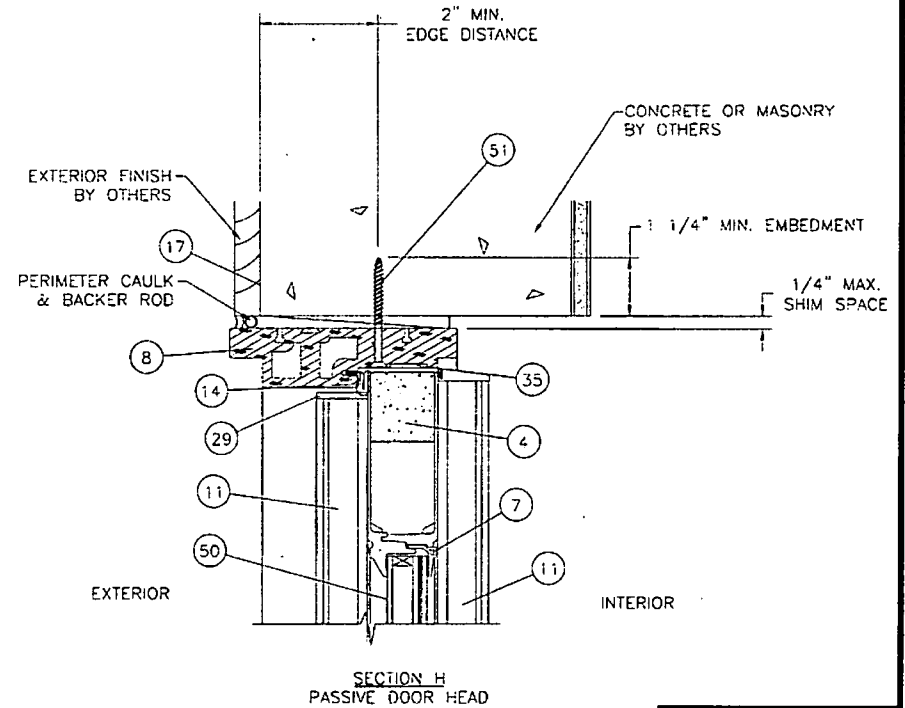
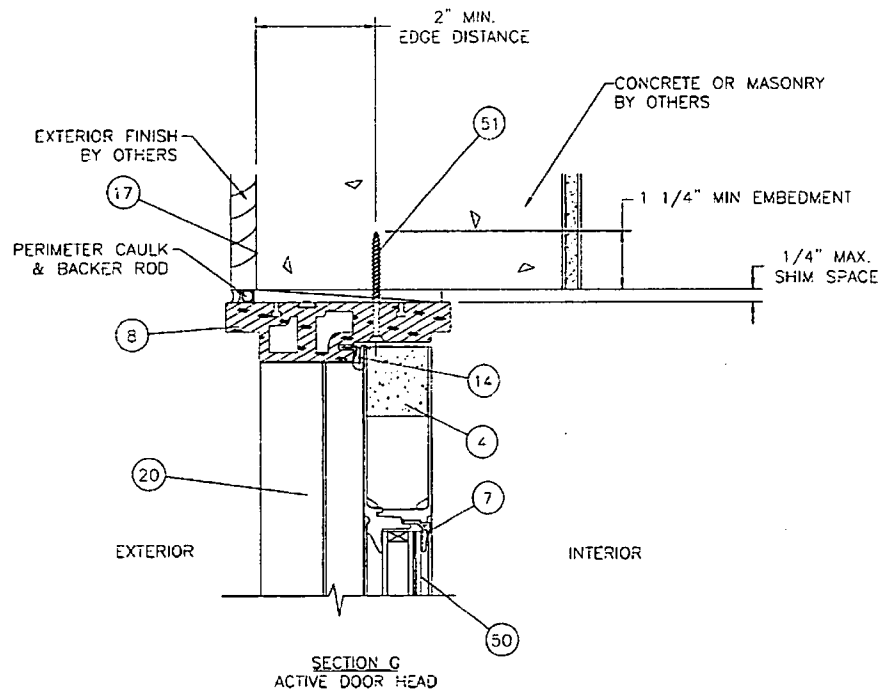
Approved as complying with the Florida Building Code for doors
 Date: **AUG-31-2006**
 Inspector: **06-0411.05**
 (Marked with Electronic Control)
 By: *[Signature]*

| | | | |
|-----|---|----------|------|
| B | Updated per Date County e-mail dated 07/21/06 | 07/25/06 | DRL |
| A | REVISED PER MIAMI-DADE COMMENTS | 7/6/06 | R.L. |
| SYM | REVISION | DATE | BY |

L. Roberto Lomas
 P.E. No. 62514
[Signature]
 PTC, LLC
 1535 Cogswell Street, suite C25
 Rockledge, Florida 32955
 FBPE Certificate of Authorization NO. 20935

NAN YA PLASTICS CORPORATION, INC.
 6 FL. 201 HWA NORTH ROAD, TAIPEI, TAIWAN
 TITLE: FIBERGLASS DOUBLE INSWING DOORS XXX AND XX
 VERTICAL CROSS SECTIONS

PREPARED BY: **PTC** PTC, LLC
 DRAWN: DRL
 DATE: 04/03/06
 SCALE: N.T.S.
 DWG. NO.: NAYT0002
 REV: B
 SHEET: 3 OF 7



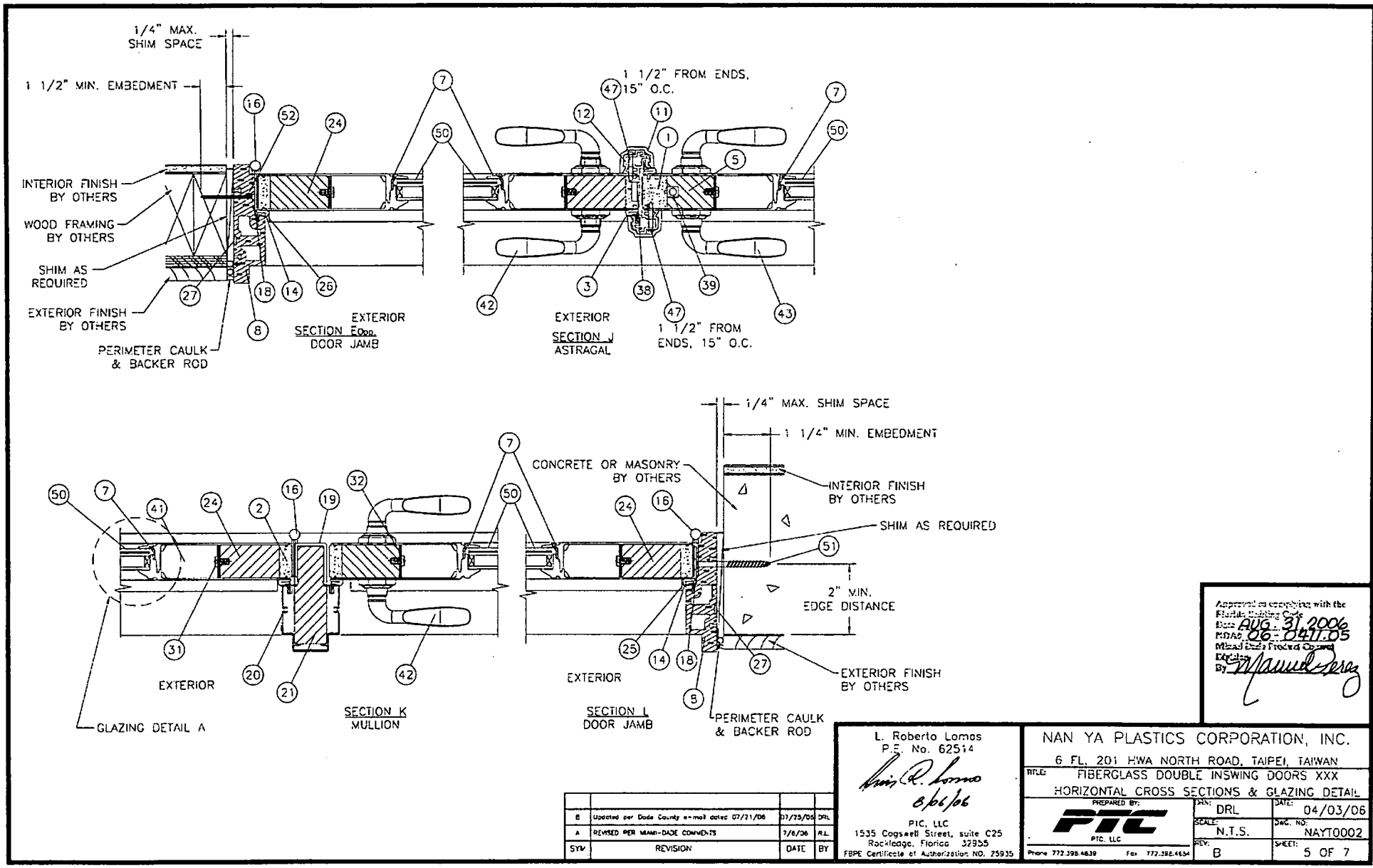
Approved as compliant with the Florida Building Code
 Date: Aug 31, 2006
 M.D.: 06 - 0411.05
 Registered Professional Engineer
 By: Mauricio

| REV | REVISION | DATE | BY |
|-----|---|----------|------|
| B | Updated per Dade County e-mail dated 07/21/06 | 07/25/06 | DRL |
| A | REVISED PER MIAMI-DADE COMMENTS | 7/6/06 | R.L. |
| SYN | | | |

L. Roberto Lomas
 P.E. No. 62514
L. Roberto Lomas
 8/6/06
 PTC, LLC
 1335 Cogswell Street, suite C25
 Rockledge, Florida 32955
 FBPE Certificate of Authorization No. 25935

NAN YA PLASTICS CORPORATION, INC.
 6 FL. 201 HWA NORTH ROAD, TAIPEI, TAIWAN
 TITLE: FIBERGLASS DOUBLE INSWING DOORS XXX AND XX
 VERTICAL CROSS SECTIONS

| | | |
|--|----------------------|-------------------------------------|
| PREPARED BY: PTC PTC, LLC | DRAWN BY: DRL | DATE: 04/03/06 |
| SCALE: N.T.S. | DWG. NO: NAYT0002 | REV: B |
| SHEET: 4 OF 7 | | Phone 772.398.4139 Fax 772.398.4824 |



Approved as complying with the Florida Building Code
 State AUG 31 2006
 PDAS 06 0417 03
 Michael Fredrickson
 By *Michael Fredrickson*

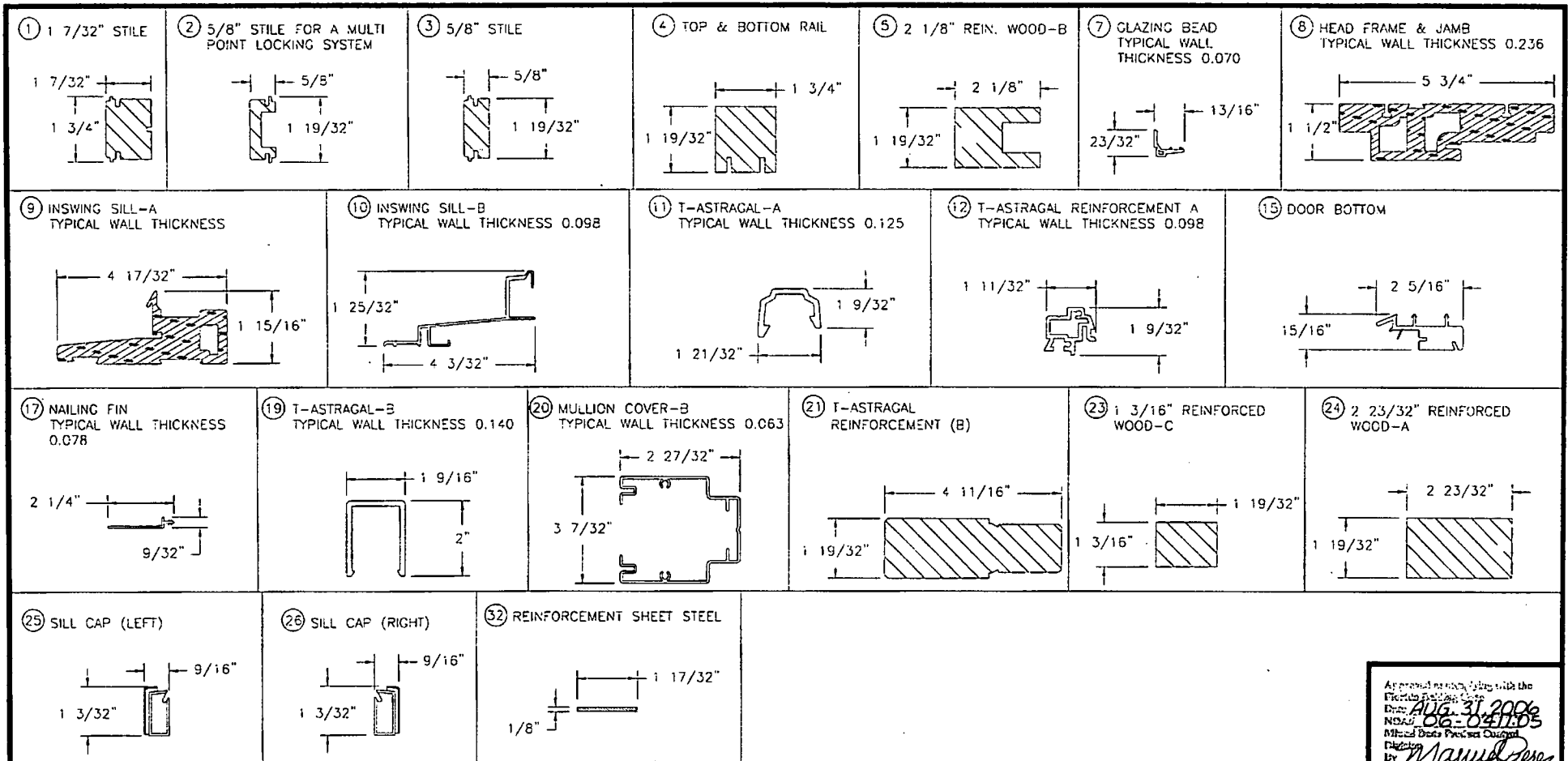
| SY# | REVISION | DATE | BY |
|-----|---|----------|-----|
| B | Updated per Dade County e-mail dated 07/21/06 | 07/25/06 | DRL |
| A | REVISED PER MANUFACTURER COMMENTS | 7/6/06 | RL |

L. Roberto Lomas
 P.E. No. 62514
L. Roberto Lomas
 8/6/06
 PTC, LLC
 1535 Cogswell Street, suite C25
 Rockledge, Florida 32955
 FBPE Certificate of Authorization NO. 25935

NAN YA PLASTICS CORPORATION, INC.
 6 FL. 201 HWA NORTH ROAD, TAIPEI, TAIWAN

FILE: FIBERGLASS DOUBLE INSWING DOORS XXX
 HORIZONTAL CROSS SECTIONS & GLAZING DETAIL

PREPARED BY: **PTC** PTC, LLC
 DATE: 04/03/06
 SCALE: N.T.S.
 SHEET: 5 OF 7



Approved as complying with the Florida Building Code
 Date: Aug 31, 2006
 NSAP: 06-0471-03
 Florida State Professional Engineer
 Signature: *[Signature]*

| SYM | REVISION | DATE | BY |
|-----|---|----------|------|
| B | Updated per Dade County e-mail dated 07/21/06 | 07/25/06 | DRL |
| A | REVISED PER MIAMI-DADE COMMENTS | 7/6/06 | R.L. |

L. Roberto Lomas
 P.E. No. 62514
[Signature]
 8/06/06
 PTC, LLC
 1535 Cogswell Street, Suite C25
 Rockledge, Florida 32955
 FBPE Certificate of Authorization NO. 25935

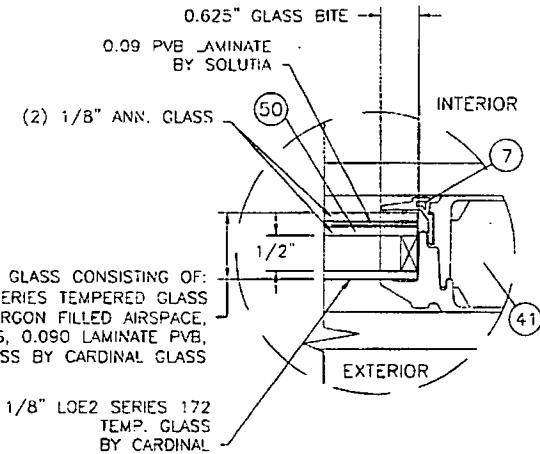
NAN YA PLASTICS CORPORATION, INC.
 6 FL. 201 HWA NORTH ROAD, TAIPEI, TAIWAN
 TITLE: FIBERGLASS DOUBLE INSWING DOORS XXX AND XX COMPONENTS

| | | | |
|--------------|--------|-----------|----------|
| PREPARED BY: | DRL | DATE: | 04/03/06 |
| SCALE: | N.T.S. | DWG. NO.: | NAYT0002 |
| REV.: | B | SHEET: | 6 OF 7 |

PTC, LLC
 Phone 772.398.4639 Fax 772.398.4634

BILL OF MATERIALS

| NO | QTY | DESCRIPTION | MATERIAL | VENDOR |
|------|--------|--|-------------------------------------|----------------------------------|
| 1 | 1 | 1 7/32" STILE | FOAM PVC | NAN YA PLASTICS CORP. |
| 2(3) | 3 | 5/8" STILE (ONE FOR MULTI-POINT LOCK) | FOAM PVC | NAN YA PLASTICS CORP. |
| 4 | 4 | TOP/ BOTTOM RAIL | FOAM PVC | NAN YA PLASTICS CORP. |
| 5 | 1 | 2 1/8" REIN. WOOD-B | WHITE PINE | DAN-CHANG ENTERPRISE CO., LTD. |
| 6 | 6 | WEEP HOLE COVER | NYLON | DAN-CHANG ENTERPRISE CO., LTD. |
| 7 | 8 | GLAZING BEAD | PVC | NAN YA PLASTICS CORP. |
| 8 | 3 | HEAD FRAME & JAMB | FOAM PVC CO-EX | NAN YA PLASTICS CORP. |
| 9 | 1 | INSWING SILL-A | FOAM PVC CO-EX | NAN YA PLASTICS CORP. |
| 10 | 1 | INSWING SILL-B | ALUMINUM | SHANG YIH DAR ALUM. CO., LTD. |
| 11 | 2 | T-ASTRAGAL (A) | FOAM PVC | NAN YA PLASTICS CORP. |
| 12 | 2 | T-ASTRAGAL REINFORCEMENT (A) | ALUMINUM | SHANG YIH DAR ALUM. CO., LTD. |
| 13 | 2 | WEATHERSTRIP (A) | PP & TPE | ULTRAFAB, INC. |
| 14 | 5 | OLON WEATHERSTRIP (B) | FOAM PU, PE FILM | SCHLEGAL SYSTEMS, INC. |
| 15 | 2 | DOOR BOTTOM | FOAM & RIGID PVC | NAN YA PLASTICS CORP. |
| 16 | 8, 12 | DOOR HINGE | STEEL | WENZHOU LONGTAI HINGES CO., LTD. |
| 17 | 3 | NAILING FIN | PVC CO-EX | NAN YA PLASTICS CORP. |
| 18 | 2 | CORNER PAD | SBR | ENDURA PRODUCTS, INC. |
| 19 | 1 | T-ASTRAGAL (B) | FOAM PVC | NAN YA PLASTICS CORP. |
| 20 | 1 | MULLION COVER (B) | ALUMINUM | SHANG YIH DAR ALUM. CO., LTD. |
| 21 | 1 | T-ASTRAGAL REINFORCEMENT (B) | WHITE PINE | DAN-CHANG ENTERPRISE CO., LTD. |
| 22 | 2 | WEATHERSTRIP (C) | EPDM | MAXEST INDUSTRIAL INCORP. |
| 23 | 2 | 1 3/16" REIN. WOOD-C | WHITE PINE | DAN-CHANG ENTERPRISE CO., LTD. |
| 24 | 3 | 2 23/32" REIN. WOOD-A | WHITE PINE | DAN-CHANG ENTERPRISE CO., LTD. |
| 25 | 1 | SILL CAP (LEFT) | NYLON | DAN-CHANG ENTERPRISE CO., LTD. |
| 26 | 1 | SILL CAP (RIGHT) | NYLON | DAN-CHANG ENTERPRISE CO., LTD. |
| 27 | 2 | CORNER KEY | DIE CAST | NINGBO MICOTA LOCKS CO., LTD. |
| 28 | 2 | DRIVE BAR PLATE | STAINLESS STEEL | JAM-YUAN ENTERPRISES CO., LTD. |
| 29 | 2 | T-ASTRAGAL (B) TOP CAP | RIGID PVC | DAN-CHANG ENTERPRISE CO., LTD. |
| 30 | 2 | T-ASTRAGAL (B) BOTTOM CAP | RIGID PVC | DAN-CHANG ENTERPRISE CO., LTD. |
| 31 | 24, 38 | PLASTIC SCREW | NYLON 66 | DAN-CHANG ENTERPRISE CO., LTD. |
| 32 | 4, 6 | REINFORCEMENT SHEET STEEL | SPHC | KOU-YA STAINLESS CO., LTD. |
| 33 | 2 | HOOK KEEPER | STAINLESS STEEL | NINGBO MICOTA LOCKS CO., LTD. |
| 34 | 1 | SLAB MULTI-POINT LOCK KEEPER | STAINLESS STEEL | JAM-YUAN ENTERPRISES CO., LTD. |
| 35 | 2 | TOP BOTTOM BAR KEEPER | STAINLESS STEEL | JAM-YUAN ENTERPRISES CO., LTD. |
| 36 | 2 | HOOK KEEPER (B) | STAINLESS STEEL | NINGBO MICOTA LOCKS CO., LTD. |
| 37 | 1 | SLAB MULTI-POINT LOCK KEEPER (B) | STAINLESS STEEL | NINGBO MICOTA LOCKS CO., LTD. |
| 38 | 1, 2 | MULTI-POINT LOCKING SYSTEM | STAINLESS STEEL, DIE CAST | JAM-YUAN ENTERPRISES CO., LTD. |
| 39 | 1 | TOP/ BOTTOM DRIVE BAR SYSTEM | STAINLESS STEEL, DIE CAST | JAM-YUAN ENTERPRISES CO., LTD. |
| 40 | 4, 6 | SMC 18P SKIN + A-6000 | SHEET MOLDING COMPOUND | NAN YA PLASTICS CORP. |
| 41 | 2, 3 | IPU FOAM | N.A. | NAN YA PLASTICS CORP. |
| 42 | 1, 2 | ROYAL SERIES HANDLE SET FOR MULTI-POINT PANEL | DIE CAST, SATIN NICKEL | NINGBO MICOTA LOCKS CO., LTD. |
| 43 | 1 | ROYAL SERIES HANDLE SET FOR PASSIVE PANEL | DIE CAST, SATIN NICKEL | NINGBO MICOTA LOCKS CO., LTD. |
| 44 | 12 | #10 X 2 1/2" PHILLIPS FLAT HEAD | SHEET METAL | JOHN CHEN SCREW IND. CO., LTD. |
| 45 | 36 | #9 X 7/8" PHILLIPS FLAT HEAD | SHEET METAL | JOHN CHEN SCREW IND. CO., LTD. |
| 46 | 8, 20 | #9 X 1 1/8" PHILLIPS FLAT HEAD | SHEET METAL | JOHN CHEN SCREW IND. CO., LTD. |
| 47 | 30, 52 | #9 X 1 1/2" PHILLIPS FLAT HEAD | SHEET METAL | JOHN CHEN SCREW IND. CO., LTD. |
| 48 | 36, 52 | #9 X 2" PHILLIPS FLAT HEAD | SHEET METAL | JOHN CHEN SCREW IND. CO., LTD. |
| 49 | 4 | #8 X 1" PHILLIPS FLAT HEAD | SHEET METAL | JOHN CHEN SCREW IND. CO., LTD. |
| 50 | | 1" LAMINATED GLASS CONSISTING OF .125" LOE2 SERIES TEMPERED GLASS OUTSIDE, .500" ARGON FILLED AIRSPACE, .125" ANNEALED GLASS, .090" LAMINATE PVB, .125" ANNEALED GLASS | SOLUTIA SAFLEX HP N.O.A. 03-0421.01 | CARDINAL GLASS |
| 51 | | 13/16" DIA. ELCO TAPCON INSTALLATION ANCHOR | | |
| 52 | | #10 PHILLIPS FLAT HEAD WOOD SCREW INSTALLATION ANCHOR | | |



GLAZING DETAIL A

Approved to comply with the
 Building Code
 AUG 31 2006
 06-041.05
 Approved by
 Manuel Arce

FOLLOWING ITEMS ARE USED BUT NOT SHOWN:
 28, 33, 34, 36, 37, 40, 44, 45, 46, 47, 48 AND 49

| SYM | REVISION | DATE | BY |
|-----|---|----------|------|
| B | Updated per Door county e-mail dated 07/21/02 | 07/23/02 | DR. |
| A | REVISED PER MANUFACTURE COMMENTS | 7/6/02 | R.L. |

L. Roberto Lomas
 P.E. No. 62514
L. Roberto Lomas
 8/26/06
 PTC, LLC
 1525 Cogswell Street, suite C25
 Rockledge, Florida 32955
 FBPE Certificate of Authorization NO. 25935

| | | | |
|---|--------|-----------|----------|
| NAN YA PLACTICS CORP. | | | |
| 6FL, 201 TUNG HWA N. RD. TAIPEI, TAIWAN | | | |
| TITLE: INSWING FRENCH PATIO DOOR | | | |
| BILL OF MATERIALS & GLAZING DETAIL | | | |
| PREPARED BY: | DATE: | DATE: | DATE: |
| PTC | BB | 04/03/06 | |
| SCALE: | N.T.S. | DWG. NO.: | NAYT0002 |
| REV: | B | SHEET: | 7 OF 7 |

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **3-25-11** Page 1 of 1

| PERMIT # | OWNER/ADDRESS/CONTRACTOR | INSPECTION TYPE | RESULTS | COMMENTS |
|-----------------|--|------------------------------|-----------------|------------------------------|
| 9734 | SHARPE 73 NSPR Mosley | BALCONY FRAMING | Pass | INSPECTOR <i>[Signature]</i> |
| 9489 | KRAMER 11 Edgewood South Schilling & Paulick | KRAMER | Pass | INSPECTOR <i>[Signature]</i> |
| 9683 | SHARPE 73 NSPR Mosley | PARTIAL D-WAY PRE POUR | PASS | INSPECTOR <i>[Signature]</i> |
| | | | | INSPECTOR |
| | | | | |
| | | | | INSPECTOR |
| | | | | |
| | | | | INSPECTOR |
| | | | | |
| | | | | INSPECTOR |
| | | | | |
| | | | | INSPECTOR |

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **4-5-11** Page **1** of **1**

| PERMIT # | OWNER/ADDRESS/CONTRACTOR | INSPECTION TYPE | RESULTS | COMMENTS |
|-----------------|---|--|--------------------|--|
| 9703 | SMANFI 73 NSPR Canam Elec | SITE ELEC FINISH LANDSCAPE LIGHT | <i>[Signature]</i> | Close INSPECTOR |
| | 101 N 877 RD | INVESTIGATE C.E. | No ISSUES | INSPECTOR |
| Tree | Sappington 20 W High Pt. | Tree | N.G. | INSPECTOR |
| 9739 | RIMMER N. S. RICHMOND WALT PAULIN | DEMOLITION DEMOLITION | Close | Close INSPECTOR <i>[Signature]</i> |
| | | | | INSPECTOR |
| | | | | INSPECTOR |
| | | | | INSPECTOR |
| | | | | INSPECTOR |

9881

A/C CHANGEOUT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

| | | | |
|------------------------|----------------------------|-----------------------|---------------------|
| PERMIT NUMBER: | 9881 | DATE ISSUED: | SEPTEMBER 27, 2011 |
| SCOPE OF WORK: | AC CHANGEOUT | | |
| CONTRACTOR: | PARAGON INDOOR AIR QUALITY | | |
| PARCEL CONTROL NUMBER: | 013841006-005-000700 | SUBDIVISION | HOMEWOOD, L7, BLK E |
| CONSTRUCTION ADDRESS: | 11 S RIDGEVIEW RD | | |
| OWNER NAME: | KRAMER | | |
| QUALIFIER: | KEVIN SHARKEY | CONTACT PHONE NUMBER: | 220-2487 |

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM – MONDAY THROUGH FRIDAY**

INSPECTIONS

| | | | |
|------------------------|-------|------------------------|-------|
| UNDERGROUND PLUMBING | _____ | UNDERGROUND GAS | _____ |
| UNDERGROUND MECHANICAL | _____ | UNDERGROUND ELECTRICAL | _____ |
| STEM-WALL FOOTING | _____ | FOOTING | _____ |
| SLAB | _____ | TIE BEAM/COLUMNS | _____ |
| ROOF SHEATHING | _____ | WALL SHEATHING | _____ |
| TIE DOWN /TRUSS ENG | _____ | INSULATION | _____ |
| WINDOW/DOOR BUCKS | _____ | LATH | _____ |
| ROOF DRY-IN/METAL | _____ | ROOF TILE IN-PROGRESS | _____ |
| PLUMBING ROUGH-IN | _____ | ELECTRICAL ROUGH-IN | _____ |
| MECHANICAL ROUGH-IN | _____ | GAS ROUGH-IN | _____ |
| FRAMING | _____ | METER FINAL | _____ |
| FINAL PLUMBING | _____ | FINAL ELECTRICAL | _____ |
| FINAL MECHANICAL | _____ | FINAL GAS | _____ |
| FINAL ROOF | _____ | BUILDING FINAL | _____ |

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point BUILDING PERMIT APPLICATION

Permit Number: 9881

Date: 8/26/11

OWNER/TITLEHOLDER NAME: KRAMER ROBERT S & KATHRYN J Phone (Day) 772-288-0048 (Fax) _____

Job Site Address: 11 S RIDGEVIEW RD City: STUART State: FL Zip: 34996

Legal Description 11 S RIDGEVIEW ROAD, SEWALL'S POINT Parcel Control Number: 01-38-41-006-005-00070-0

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Scope of work (please be specific): A/C CHANGEOUT

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO X

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 5097.00
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: PARAGON INDOOR AIR QUALITY Phone: 7722202487 Fax: 7722203787

Street: 7862 SW ELLIPSE WAY City: STUART State: FL Zip: 34997

State License Number: CAC0492891 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: KEVIN SHARKEY Phone Number: 772-260-0179

DESIGN PROFESSIONAL: _____ Phone Number: _____

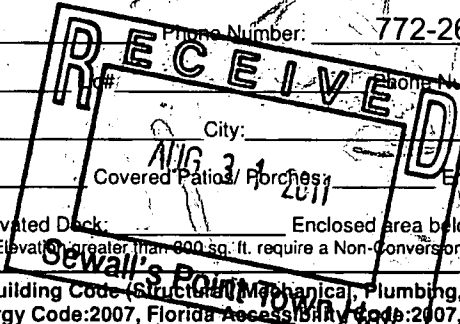
Street: _____ City: _____ State: _____ Zip: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patio/ Porches: _____ Enclosed Storage: _____

Carpport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE*: _____

* Enclosed non-habitable areas below the Base Flood Elevation greater than 600 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007



NOTICES TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

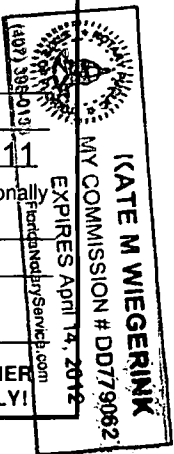
APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

State of Florida, County of: _____
This the _____ day of _____, 2011
by [Signature] who is personally
known to me or produced _____
as identification. _____
Notary Public
My Commission Expires: _____

CONTRACTOR SIGNATURE: (required)

On State of Florida, County of: MARTIN
This the 26TH day of AUGUST 2011
by KEVIN SHARKEY who is personally
known to me or produced [Signature]
As identification. _____
Notary Public
My Commission Expires: April 19, 2012



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**Martin County, Florida
Laurel Kelly, C.F.A**

generated on 8/31/2011 3:02:24 PM EDT

Summary

| Parcel ID | Account # | Unit Address | Market Total Value | Data as of |
|--------------------------|-----------|-------------------------------------|--------------------|------------|
| 01-38-41-006-005-00070-0 | 17675 | 11 S RIDGEVIEW ROAD, SEWALL'S POINT | \$481,180 | 8/27/2011 |

Owner Information

| | |
|---------------------------|---|
| Owner(Current) | KRAMER ROBERT S & KATHRYN J |
| Owner/Mail Address | 11 S RIDGEVIEW RD STUART FL 34996-6450 |
| Sale Date | 4/2/1997 |
| Document Book/Page | 1229 1179 |
| Document No. | |
| Sale Price | 76000 |

Location/Description

| | | | |
|-----------------------|-------------------------------------|--------------------------|--------------------------|
| Account # | 17675 | Map Page No. | SP-04 |
| Tax District | 2200 | Legal Description | HOMEWOOD, LOT 7 BLK E |
| Parcel Address | 11 S RIDGEVIEW ROAD, SEWALL'S POINT | | |
| Acres | .3430 | | |

Parcel Type

| | |
|---------------------|---------------------------------------|
| Use Code | 0100 Single Family |
| Neighborhood | 120400 Hmwd,Palm Ro,Kngstn,Okwd, Pine |

Assessment Information

| | |
|---------------------------------|-----------|
| Market Land Value | \$175,000 |
| Market Improvement Value | \$306,180 |
| Market Total Value | \$481,180 |



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

Air Conditioning Change out Affidavit

Residential [X] Commercial
Package Unit Yes [X] No (Use Condenser side of form below for equipment listing)
Duct Replacement Yes [X] No - Refrigerant line replacement Yes [X] No
Flushing Existing Refrigerant lines Yes ___ No - Adding Refrigerant Drier Yes ___ No
Rooftop A/C Stand Installation Yes [X] No - Curb Installation Yes [X] No
Smoke Detector in Supply (over 2000 CFM) Yes [X] No

One form required for each A/C system installed

REPLACEMENT SYSTEM COMPONENTS

Air handler: Mfg: Trane Model# GAM5A0A18M11S Condenser: Mfg Trane Model# 4TTR5024E1000A
Volts 208/230 CFM's 800 Heat Strip 5 Kw Volts 208/230 SEER/EER 16.75/14 BTU's 22000
Min. Circuit Amps 4 Wire gauge 8 Min. Circuit Amps 9 Wire gauge 10
Max. Breaker size 30 Min. Breaker size Max. Breaker size 15 Min. Breaker size 15
Ref. line size: Liquid 3/8 Suction 3/4 Ref. line size: Liquid 3/8 Suction 3/4
Refrigerant type 410A Refrigerant type 410A
Location: Existing [X] New Location: Existing [X] New
Attic/Garage/Closet (specify) closet Left/Right/Rear/Front/Roof Left
Access: Condensate Location East Side - Ground

(Contractor must provide ladder if required)

EXISTING SYSTEM COMPONENTS

Air handler: Mfg: Rheem Model# Condenser: Mfg Model#
Volts 208 CFM's 800 Heat Strip 5 Kw Volts 208 SEER/EER BTU's
Min. Circuit Amps Wire gauge 8 Min. Circuit Amps Wire gauge 10
Max. Breaker size 30 Min. Breaker size Max. Breaker size 15 Min. Breaker size
Ref. line size: Liquid 3/8 Suction 3/4 Ref. line size: Liquid 3/8 Suction 3/4
Refrigerant type R22 Refrigerant type R22
Location: Ext. [X] New Location: Ext. [X] New
Attic/Garage/Closet (specify) closet Left/Right/Rear/Front/Roof
Access: Condensate Location same

Certification:

I hereby certify that the information entered on this form accurately represents the equipment installed and further affirm that this equipment is considered matched as required by FBC - R (N)1107 & 1108

Signature [Handwritten Signature]

Date 8-31-11

PD IN FULL [Signature]



PARAGON
INDOOR AIR QUALITY

PROPOSAL

Submitted To: Robert Kramer Phone: 288-0048 Cell - Fax: Date: 8/26/11
Street: 11 S. Ridgeview Rd. Address (if different)
City-State-Zip: Sewalls Pt. Air Handler Location: attic - garage - closet X
Furnish and install a Trane XR15 2-ton 16 SEER split system with 5 KW electric heat.

- ❖ WARRANTY: One year on all parts and labor. Nine additional years on the parts, coils and on the compressor (parts only).
- ❖ Remove and haul away existing equipment
- ❖ Hurricane clips attached to existing condensing unit pad.
- ❖ NOTE: We will re-use existing ductwork X, cement slab X, condensate lines X, electric X and line-set X.
- ❖ R 410A Refrigerant
- ❖ Emergency pan on horizontal units.
- ❖ Emergency float switch.
- ❖ Hard start kit on 4 and 5 ton split systems 14 SEER and higher.
- ❖ ACCESSORIES: Trane T800 Programmable Thermostat.
- ❖ Includes: tax and labor.

WE PROPOSE HEREBY TO FURNISH MATERIAL AND LABOR-COMPLETE IN ACCORDANCE WITH ABOVE SPECIFICATIONS, FOR THE SUM OF \$ 5,097.00

CONTRACT AMOUNT: \$ 5,097.00 - FPL Rebate \$ 405.00 = \$ 4,692.00 Out of Pocket

PAYMENT TO BE MADE AS FOLLOWS: Customer to pay 50% deposit and 50% upon substantial completion.

ALL MATERIAL IS GUARANTEED TO BE AS SPECIFIED.

ALL WORK TO BE COMPLETED IN A WORKMANLIKE MANNER ACCORDING TO STANDARD PRACTICES.

AUTHORIZED SIGNATURE -----

ANY ALTERATION OR DEVIATION FROM ABOVE SPECIFICATIONS INVOLVING EXTRA COSTS WILL BE EXECUTED ONLY UPON VERBAL/WRITTEN ORDERS, AND WILL BECOME AN EXTRA CHARGE OVER AND ABOVE THE ESTIMATE. ALL AGREEMENTS CONTINGENT UPON STRIKES, ACCIDENTS OR DELAYS BEYOND OUR CONTROL.

NOTE: THIS PROPOSAL MAY BE WITHDRAWN BY US IF NOT ACCEPTED WITHIN 30 DAYS

OWNER TO CARRY FIRE, TORNADO AND OTHER NECESSARY INSURANCE. OUR WORKERS ARE FULLY COVERED BY WORKMEN'S COMPENSATION INSURANCE. FINAL PAYMENT WILL BE MADE PRIOR TO START UP OF NEW SYSTEM(S). IN THE EVENT THAT THE AIR CONDITIONING SYSTEM IS NOT PAID FOR, WE HAVE THE RIGHT TO REMOVE IT AT ANY TIME.

ACCEPTANCE OF PROPOSAL - THE ABOVE PRICES, SPECIFICATIONS AND CONDITIONS ARE SATISFACTORY AND HEREBY ACCEPTED. YOU ARE AUTHORIZED TO DO THE WORK AS SPECIFIED, PAYMENT WILL BE MADE AS OUTLINED ABOVE. ANY LITIGATION AS A RESULT OF NON PAYMENT WILL TAKE PLACE IN MARTIN COUNTY, FL

SIGNATURE: _____

[Signature]

DATE: _____

8/26

7862 SW Ellipse Way
Stuart, Florida 34997
Phone: 772-220-2487
Fax: 772-220-3787
CAC049289

*If you are purchasing a system that meets the criteria for an energy tax rebate, you could be eligible to receive an energy tax rebate up to \$ 300, or the total 2011 tax liability, whichever is less.



This combination qualifies for a Federal Energy Efficiency Tax Credit when placed in service between Feb 17, 2009 and Dec 31, 2011.

Certificate of Product Ratings

AHRI Certified Reference Number: 4150904

Date: 8/26/2011

Product: Split System: Air-Cooled Condensing Unit, Coil with Blower

Outdoor Unit Model Number: 4TTR5024E1

Indoor Unit Model Number: GAM5A0A18M11

Manufacturer: TRANE

Trade/Brand name: XR15

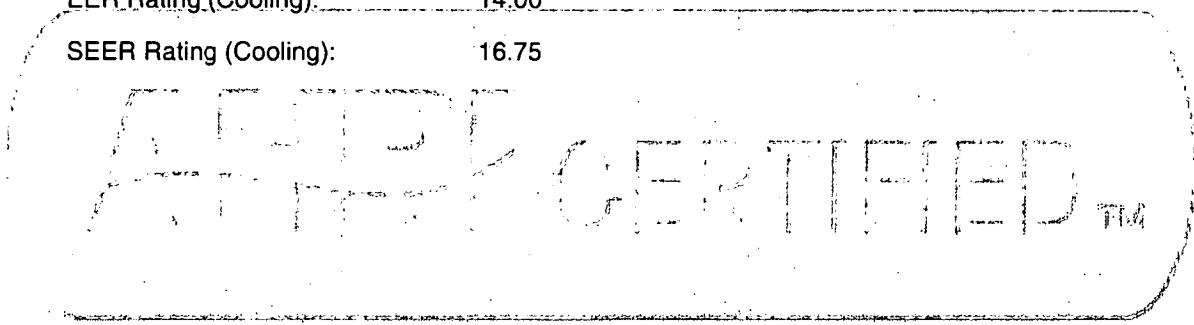
Manufacturer responsible for the rating of this system combination is TRANE

Rated as follows in accordance with AHRI Standard 210/240-2008 for Unitary Air-Conditioning and Air-Source Heat Pump Equipment and subject to verification of rating accuracy by AHRI-sponsored, independent, third party testing:

Cooling Capacity (Btuh): 22000

EER Rating (Cooling): 14.00

SEER Rating (Cooling): 16.75



* Ratings followed by an asterisk (*) indicate a voluntary rerate of previously published data, unless accompanied with a WAS, which indicates an involuntary rerate.

DISCLAIMER

AHRI does not endorse the product(s) listed on this Certificate and makes no representations, warranties or guarantees as to, and assumes no responsibility for, the product(s) listed on this Certificate. AHRI expressly disclaims all liability for damages of any kind arising out of the use or performance of the product(s), or the unauthorized alteration of data listed on this Certificate. Certified ratings are valid only for models and configurations listed in the directory at www.ahridirectory.org.

TERMS AND CONDITIONS

This Certificate and its contents are proprietary products of AHRI. This Certificate shall only be used for individual, personal and confidential reference purposes. The contents of this Certificate may not, in whole or in part, be reproduced; copied; disseminated; entered into a computer database; or otherwise utilized, in any form or manner or by any means, except for the user's individual, personal and confidential reference.

CERTIFICATE VERIFICATION

The information for the model cited on this certificate can be verified at www.ahridirectory.org, click on "Verify Certificate" link and enter the AHRI Certified Reference Number and the date on which the certificate was issued, which is listed above, and the Certificate No., which is listed below.



Air-Conditioning, Heating, and Refrigeration Institute



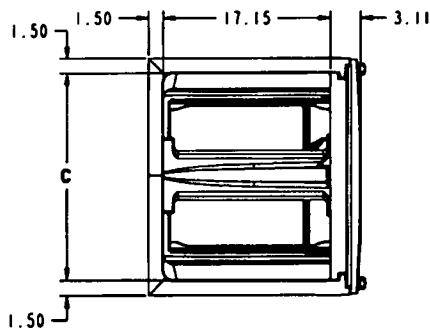
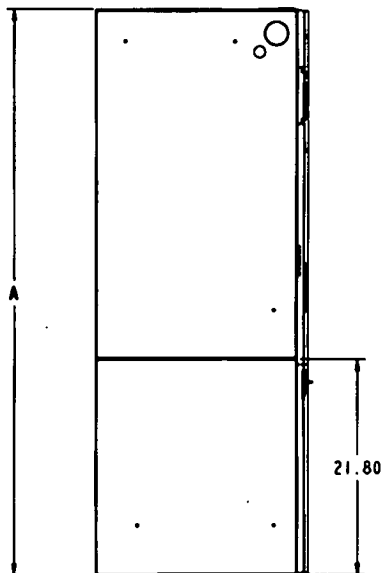
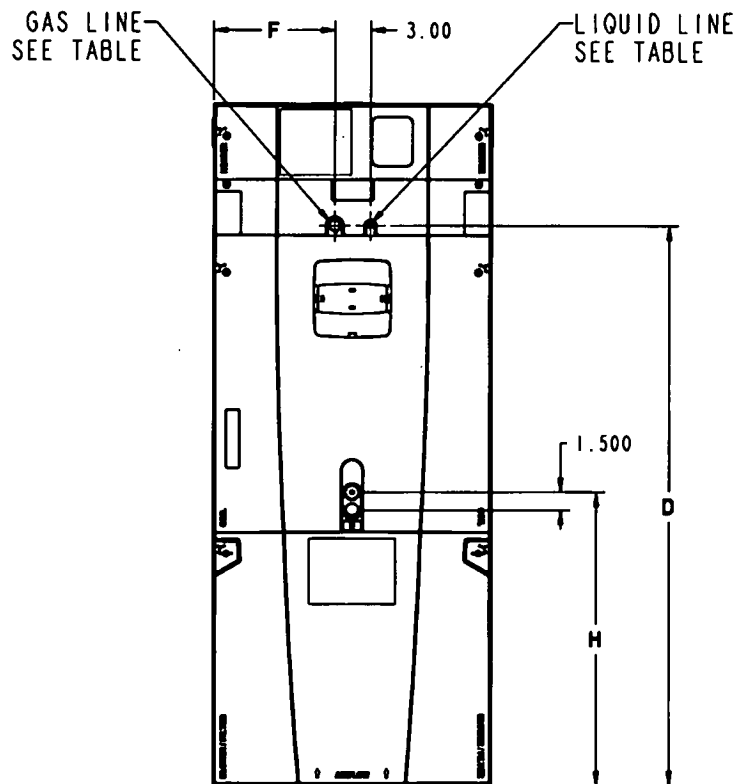
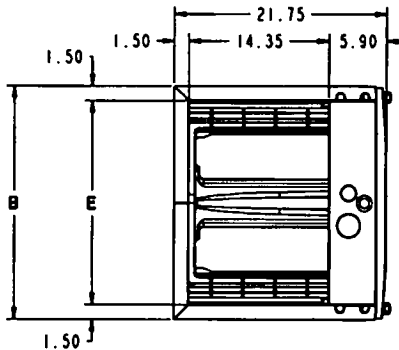
TRANE®

GAM5A0A18-SUB-1B

TAG: _____

Submittal

**1-1/2 Ton
Convertible Air Handler
GAM5A0A18M11SA**



| MINIMUM UNIT CLEARANCE TABLE | | |
|------------------------------|------------------------------------|---------------------------------|
| | TO COMBUSTIBLE MATERIAL (REQUIRED) | SERVICE CLEARANCE (RECOMMENDED) |
| SIDES | 0" | 2" |
| FRONT | 0" | 21" |
| BACK | 0" | 0" |
| INLET DUCT | 0" | |
| OUTLET DUCT | 0" | |

| MODEL NO. | A | B | C | D | E | F | H | Flow Control | R-410A Gas Line BRAZE | R-410A Liq. Line BRAZE |
|-----------|------|------|------|------|------|-----|------|--------------|-----------------------|------------------------|
| GAM5A0A18 | 49.9 | 17.5 | 14.5 | 39.6 | 14.5 | 7.3 | 24.4 | TXV/NB | 3/4 | 3/8 |

PRODUCT SPECIFICATIONS

| PRODUCT SPECIFICATIONS | |
|-----------------------------------|---------------------------|
| MODEL | GAM5A0A18M11SA |
| RATED VOLTS/PH/HZ. | 208-230/1/60 |
| RATINGS ① | See O.D. Specifications |
| INDOOR COIL — Type | Plate Fin |
| Rows — F.P.I. | 3 - 14 |
| Face Area (sq. ft.) | 3.67 |
| Tube Size (in.) | 3/8 |
| Refrigerant Control | EEV |
| Drain Conn. Size (in.) ② | 3/4 NPT |
| DUCT CONNECTIONS | See Outline Drawing |
| INDOOR FAN — Type | Centrifugal |
| Diameter-Width (In.) | 11 X 8 |
| No. Used | 1 |
| Drive - No. Speeds | Direct - 5 |
| CFM vs. in. w.g. | See Fan Performance Table |
| No. Motors — H.P. | 1 - 1/3 |
| Motor Speed R.P.M. | 1050 |
| Volts/Ph/Hz | 208-230/1/60 |
| F.L. Amps | 2.8 |
| FILTER | |
| Filter Furnished? | No |
| Type Recommended | Throwaway |
| No.-Size-Thickness | 1 - 16 X 20 - 1 in. |
| REFRIGERANT | R-410A |
| Ref. Line Connections | Brazed |
| Coupling or Conn. Size — in. Gas | 3/4 |
| Coupling or Conn. Size — in. Liq. | 3/8 |
| DIMENSIONS | H x W x D |
| Crated (In.) | 51-3/8 x 20-1/2 x 25-3/4 |
| Uncrated | 49-7/8 x 17-1/2 x 21-3/4 |
| WEIGHT | |
| Shipping (Lbs.)/Net (Lbs.) | 126/120 |

① These Air Handlers are A.H.R.I. certified with various Split System Air Conditioners and Heat Pumps (AHRI STANDARD 210/240). Refer to the Split System Outdoor Unit Product Data Guides for performance data.

② 3/4" Male Plastic Pipe (Ref.: ASTM 1785-76)



| GAM5A0A18M11SAA MINIMUM HEATER AIRFLOW CFM | | |
|--|-----------------------|-------------------|
| Heater | Minimum Air Speed Tap | |
| | With Heat Pump | Without Heat Pump |
| BAYEAAC05BK1AA BAYEAAC05LG1AA | Tap 4 | Tap 3 |
| BAYEAAC08BK1AA BAYEAAC08LG1AA | Tap 4 | Tap 3 |
| BAYEAAC10BK1AA ① BAYEAAC10LG1AA ① | Tap 5 | Tap 4 |
| BAYEABC15BK1AA | - | - |
| BAYEABC20BK1AA | - | - |
| SEE AIR HANDLER NAMEPLATE OR PRODUCT DATA FOR EXCEPTIONS | | |
| ① Not approved for Downflow applications | | |

| AIRFLOW PERFORMANCE | | | | | | | | | | |
|-------------------------------|------------------------|-----|-----|-----|-----|------------------------|-----|-----|-----|-----|
| GAM5A0A18M11SAA | | | | | | | | | | |
| EXTERNAL STATIC (in. w.g.) | AIRFLOW (CFM) | | | | | | | | | |
| | Speed Taps - 230 VOLTS | | | | | Speed Taps - 208 VOLTS | | | | |
| | 5 | 4 | 3 | 2 | 1 | 5 | 4 | 3 | 2 | 1 |
| 0 | 1081 | 977 | 930 | 862 | 556 | 1078 | 974 | 927 | 858 | 553 |
| 0.1 | 1044 | 922 | 850 | 806 | 379 | 1038 | 916 | 844 | 800 | 373 |
| 0.2 | 995 | 880 | 787 | 702 | 202 | 987 | 871 | 778 | 693 | 193 |
| 0.3 | 956 | 830 | 738 | 621 | - | 944 | 819 | 727 | 610 | - |
| 0.4 | 914 | 788 | 692 | 562 | - | 900 | 774 | 677 | 548 | - |
| 0.5 | 872 | 749 | 646 | 502 | - | 855 | 732 | 629 | 485 | - |
| 0.6 | 838 | 707 | 590 | 445 | - | 819 | 687 | 570 | 425 | - |
| 0.7 | 802 | 650 | 528 | 389 | - | 779 | 628 | 505 | 367 | - |
| 0.8 | 755 | 598 | 478 | 327 | - | 730 | 573 | 453 | 302 | - |
| 0.9 | 708 | 539 | 420 | - | - | 680 | 512 | 392 | - | - |

NOTES:

1. Values are with wet coil and without filters.
2. Contact your particular filter manufacturer for pressure drop data.
3. Electric heater pressure drop is negligible and is included within the airflow data.
4. Tap 1 is a continuous fan speed tap.

| WIRING DATA | | | | | | | | | | | |
|------------------|-----------------|----------|-------|-------------------------|--------------------------|-----------------------------|----------|-------|-------------------------|--------------------------|-----------------------------|
| GAM5A0A18M11SAA | | | | | | | | | | | |
| Heater Model No. | No. of Circuits | 240 VOLT | | | | | 208 VOLT | | | | |
| | | Capacity | | Heater Amps per Circuit | Minimum Circuit Ampacity | Maximum Overload Protection | Capacity | | Heater Amps per Circuit | Minimum Circuit Ampacity | Maximum Overload Protection |
| | | kW | BTUH | | | | kW | BTUH | | | |
| No Heater | - | - | - | 2.8* | 4 | 15 | - | - | 2.8* | 4 | 15 |
| BAYEAAC05++ | 1 | 4.80 | 16400 | 20 | 29 | 30 | 3.60 | 12300 | 17.30 | 25 | 25 |
| BAYEAAC08++ | 1 | 7.68 | 26200 | 32 | 44 | 45 | 5.76 | 19700 | 27.70 | 38 | 40 |
| BAYEAAC10++ | 1 | 9.60 | 32800 | 40 | 54 | 60 | 7.20 | 24600 | 34.60 | 47 | 50 |

Note: * Motor Amps

Notes:

1. See Product Data or Air Handler nameplate for approved combinations of Air Handlers and Heaters
2. Heater model numbers may have additional suffix digits.

Mechanical Specifications

- Air-Tite II™ cabinet
 - 2% or less air leakage
 - Precision applied - durable door seals
 - Specially designed air seal around refrigerant, condensate and conduit connections
 - Double wall foamed cabinet system
 - \geq R-4.2 insulating value
 - No loose fiber design
 - Smooth cleanable interior design
 - Sweat eliminating design
 - Composite foamed cabinet doors
 - Water proof cabinet design
 - Integrated horizontal drain pans
 - Modular cabinet with 5/16" allen wrench "quick latch" design
- Multi-position up/down flow horizontal left/right
- Side return option
- Control board protection pocket built into cabinet wall
- Alert port to view control board codes without door removal
- 10 alert codes
- Low voltage terminal connection point
- Quarter turn phillips head door fasteners
- Vortica® blower with polarized plug connections and integrated slide deck for easy removal
- Aluminum coil with integrated slide deck for easy removal and polarized plug connections on coil EEV
- Patented enhanced coil fin
- Electronic Expansion Valve (EEV) with low ambient and low superheat compressor protection
- Dual refrigerant compatible as shipped
- Slide in electric heaters with polarized plug connections (sold as accessory)
- UVC light kit with safety switch and polarized plug connections (sold as accessory)
- Labeled panels and connections
- Molded in 1" standard filter rail
- High efficiency ECM motor
- Soft start fan motor operation
- Built in fan delay modes
- Maximum width of 23.5"
- Compact 20.8" depth with doors removed
- Two tone color
- Fused 24v power
- Safety door switch
- 1-year warranty
- 10-year warranty registered
- Optional extended warranty available



Trane
6200 Troup Highway
Tyler, TX 75707

The manufacturer has a policy of continuous product and product data improvement and it reserves the right to change design and specification without notice.



TRANE®

4TTR5024-SUB-101.02

TAG: _____

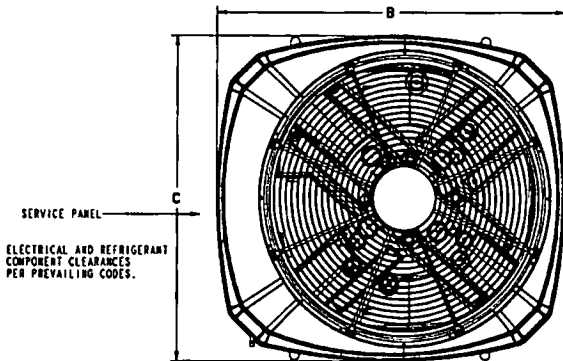
SUBMITTAL

NOTE: All dimensions are in mm/inches.

2 Ton Split System Cooling – 1 Ph 4TTR5024E

Product Specifications

| OUTDOOR UNIT ①② | 4TTR5024E1000A |
|-----------------------------------|----------------|
| POWER CONNS. — V/PH/HZ ③ | 208/230/1/60 |
| MIN. BRCH. CIR. AMPACITY | 9 |
| BR. CIR. PROT. RTG. — MAX. (AMPS) | 15 |
| COMPRESSOR | CLIMATUFF® |
| NO. USED - NO. SPEEDS | 1 - 1 |
| VOLTS/PH/HZ | 200/230/1/60 |
| R.L. AMPS ⑦ - L.R. AMPS | 6.8 - 38.6 |
| FACTORY INSTALLED | |
| START COMPONENTS ④ | YES |
| INSULATION/SOUND BLANKET | YES |
| COMPRESSOR HEAT | NO |
| OUTDOOR FAN | PROPELLER |
| DIA. (IN.) - NO. USED | 23 - 1 |
| TYPE DRIVE - NO. SPEEDS | DIRECT - 1 |
| CFM @ 0.0 IN. W.G. ④ | 2690 |
| NO. MOTORS - HP | 1 - 1/8 |
| MOTOR SPEED R.P.M. | 850 |
| VOLTS/PH/HZ | 200/230/1/60 |
| F.L. AMPS | 0.74 |
| OUTDOOR COIL — TYPE | SPINE FIN™ |
| ROWS - F.P.I. | 1 - 24 |
| FACE AREA (SQ. FT.) | 16.25 |
| TUBE SIZE (IN.) | 3/8 |
| REFRIGERANT | |
| LBS. — R-410A (O.D. UNIT) ⑤ | 6 LBS., 3 OZ. |
| FACTORY SUPPLIED | YES |
| LINE SIZE - IN. O.D. GAS ⑥ | 3/4 |
| LINE SIZE - IN. O.D. LIQ. ⑥ | 3/8 |
| CHARGING SPECIFICATION | |
| SUBCOOLING | 10°F |
| DIMENSIONS | H X W X D |
| CRATED (IN.) | 34 x 30.1 x 33 |
| WEIGHT | |
| SHIPPING (LBS.) | 201 |
| NET (LBS.) | 174 |



TOP DISCHARGE AREA SHOULD BE UNRESTRICTED FOR AT LEAST 1524 (5 FEET) ABOVE UNIT. UNIT SHOULD BE PLACED SO ROOF RUN-OFF WATER DOES NOT POUR DIRECTLY ON UNIT, AND SHOULD BE AT LEAST 305 (12") FROM WALL AND ALL SURROUNDING SHRUBBERY ON TWO SIDES. OTHER TWO SIDES UNRESTRICTED.

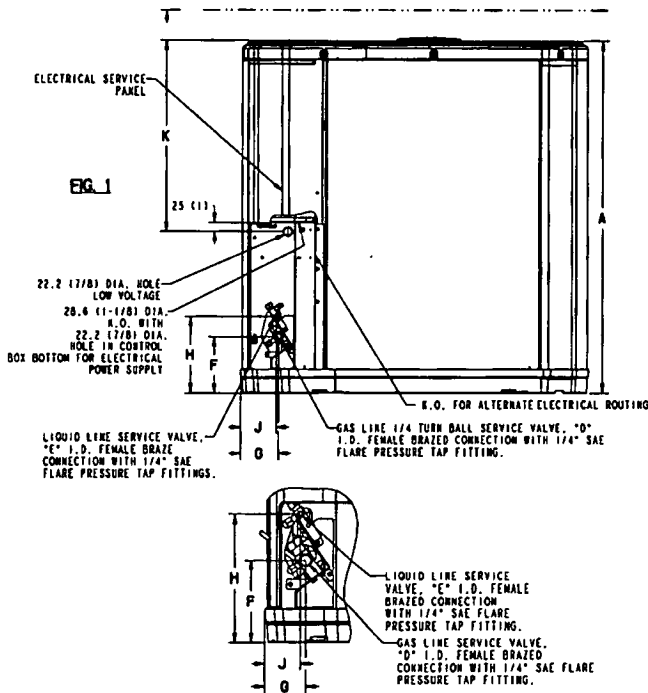


FIG. 2

From Dwg. D156010

| MODELS | BASE | A | B | C | D | E | F | G | H | J | K |
|-----------|------|-----------------|-----------------|-----------------|-----|-----|---------|--------|----------------|---------------|----------|
| 4TTR5024E | 3 | 730 (28-3/4) | 829 (32-5/8) | 756 (29-3/4) | 3/4 | 3/8 | 127 (5) | 76 (3) | 197 (7-3/4) | 57 (2-1/4) | 508 (20) |

- ① Certified in accordance with the Air-Source Unitary Air-conditioner Equipment certification program, which is based on AHRI standard 210/240.
- ② Rated in accordance with AHRI standard 270.
- ③ Calculated in accordance with Natl. Elec. Codes. Use only HACR circuit breakers or fuses.
- ④ Standard Air — Dry Coil — Outdoor
- ⑤ This value approximate. For more precise value see unit nameplate.
- ⑥ Max. line length 60 ft.; Max. lift - Suction 60 ft.; Max. lift - Liquid 60 ft. For greater length consult refrigerant piping software Pub. No. 32-3312-0* (* denotes latest revision).
- ⑦ This value shown for compressor RLA on the unit nameplate and on this specification sheet is used to compute minimum branch circuit ampacity and max. fuse size. The value shown is the branch circuit selection current.
- ⑧ No means no start components. Yes means quick start kit components. PTC means positive temperature coefficient starter.

A-weighted Sound Power Level [dB(A)]

| MODEL | SOUND POWER LEVEL [dB(A)] | A-WEIGHTED FULL OCTAVE SOUND POWER LEVEL dB - [dB(A)] High Stage | | | | | | | |
|------------|---------------------------|--|------|-----|------|------|------|------|------|
| | | 63 | 125 | 250 | 500 | 1000 | 2000 | 4000 | 8000 |
| 4TTR5024E1 | 75 | 23 | 45.4 | 57 | 70.9 | 74.2 | 70.5 | 62.9 | 52.6 |

Note: Rated in accordance with AHRI Standard 270-2008

Mechanical Specification Options

General

The 4TTR5 is fully charged from the factory for up to 15 feet of piping. This unit is designed to operate at outdoor ambient temperatures as high as 115°F. Cooling capacities are matched with a wide selection of air handlers and furnace coils that are AHRI certified. The unit is certified to UL 1995. Exterior is designed for outdoor application.

Casing

Unit casing is constructed of heavy gauge, G90 galvanized steel and painted with a weather-resistant powder paint on all louvers, panels, prepaint on all other panels. Corrosion and weather-proof CMBP-G30 DuraTuff™ base.

Refrigerant Controls

Refrigeration system controls include condenser fan and compressor contactor. High and low pressure controls are inherent to the compressor. A factory installed liquid line drier is standard.

Compressor

The Climatuff® compressor features internal over temperature and pressure protection and total dipped hermetic motor. Other features include: roto lock suction and discharge refrigerant connections, centrifugal oil pump and low vibration and noise.

Condenser Coil

The outdoor coil provides low airflow resistance and efficient heat transfer. The coil is protected on all four sides by louvered panels.

Low Ambient Cooling

As manufactured, this unit has a cooling capability to 55°F. The addition of an evaporator defrost control with TXV permits low ambient cooling to 30° F.

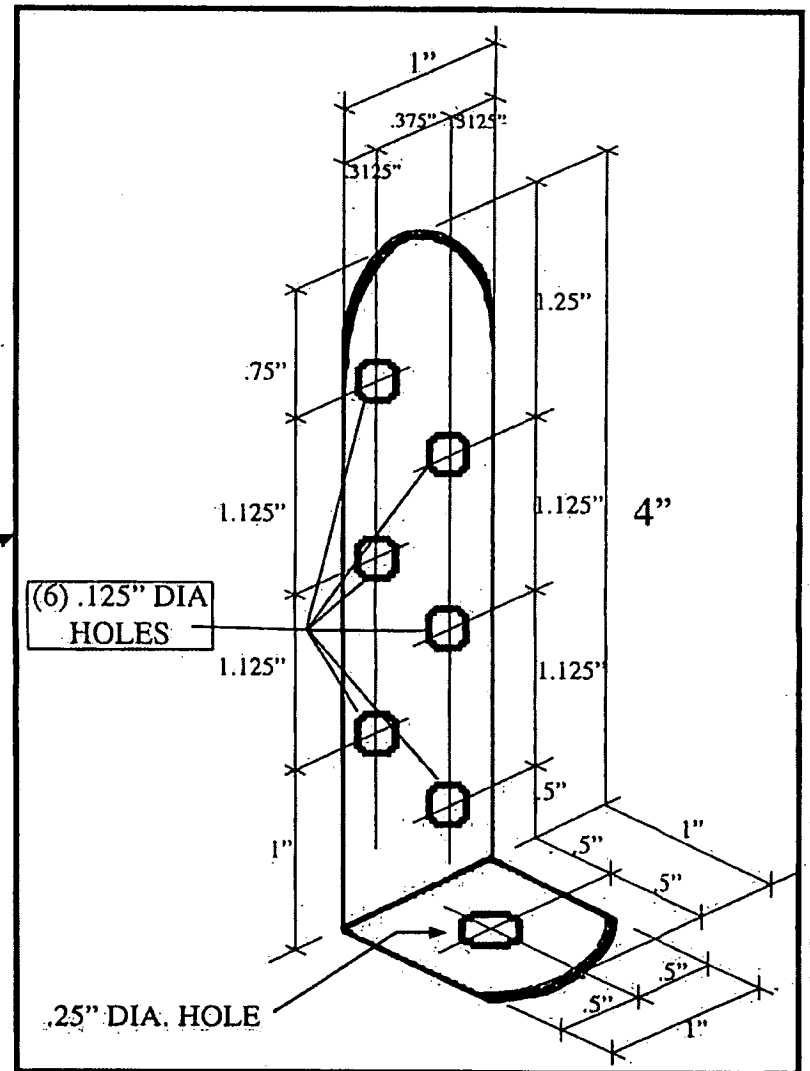
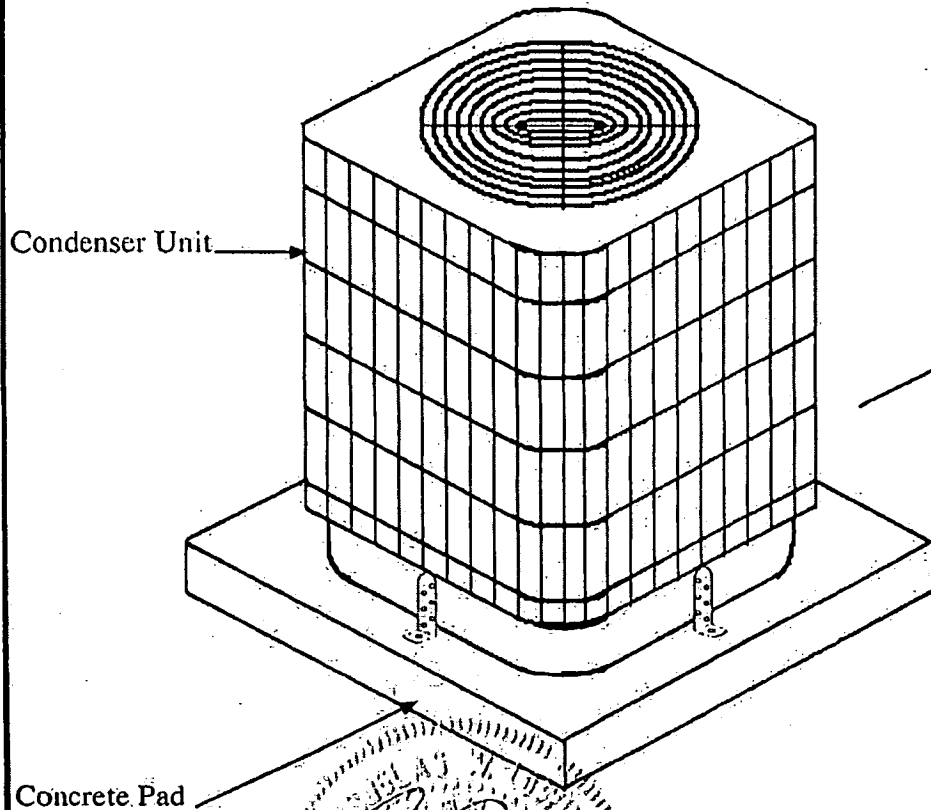
Accessories

Thermostats — Cooling only and heat/cooling (manual and automatic change-over). Sub-base to match thermostat and locking thermostat cover.

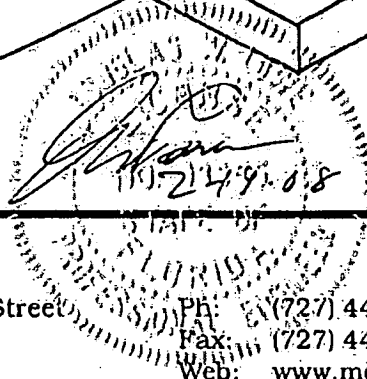


Trane
www.trane.com

#771 (4 pk.) / #772 (100 box) Anchor Clip



Metal thickness = 16 gauge



| | | | | |
|--|--|--|--|--|
| <p>The Metal Shop 1139 Eldridge Street Clearwater FL 33755</p> <p>Ph: (727) 441-2492 Fax: (727) 442-8493 Web: www.metalshop.org</p> | <p>Consulting Engineer: Douglas W. Lowe, P.E. FLA # 13355 1206 Millentum Parkway Brandon, FL 33511</p> | <p>Revision Date: 2/14/08</p> | <p>Drawn by: K.P.R.</p> <p>Scale - Not to scale</p> | <p>Page: 1 of 1</p> |
|--|--|--|--|--|

THE METAL SHOP

Custom Metal Manufacturer

ANCHOR CLIPS Installer's Guide

Consulting Engineer:

Douglas W. Lowe, P.E.
FLA# 13355
1206 Millentum Parkway
Brandon, FL. 33511

WARNING: HAZARDOUS VOLTAGE - DISCONNECT POWER BEFORE SERVICING

PART NUMBER

#771 (4 pk)
#772 (100 box)
#770 (4 pk including hardware)

CONSTRUCTION

16 gauge galvanized steel, G-90 rated for corrosion coastal applications.

PACKAGING DETAILS

All anchor clips are supplied as per package quantities described above.

INSTALLATION

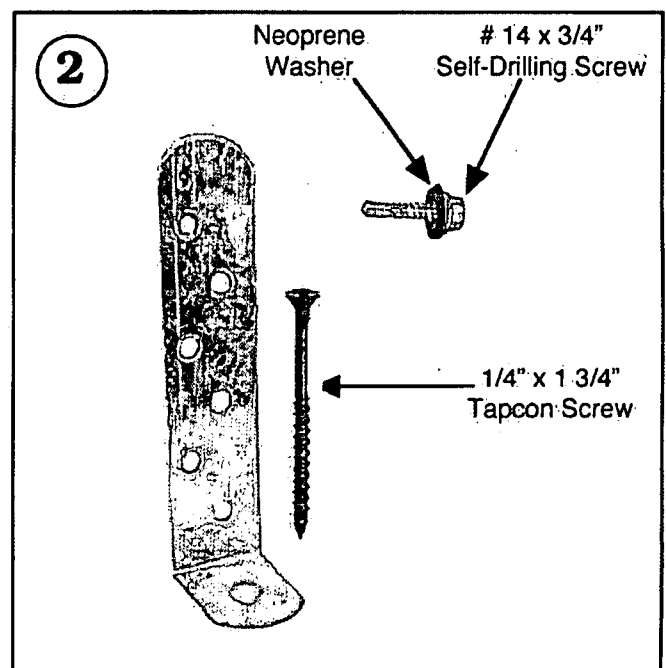
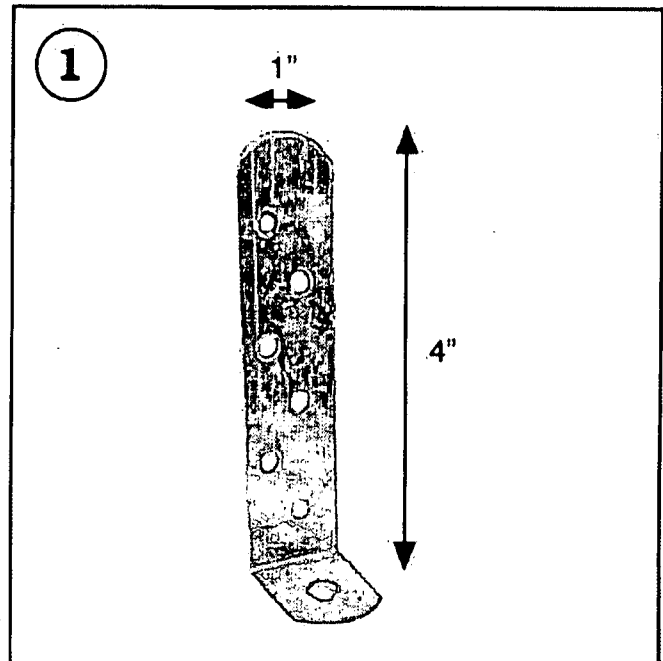
Minimum of 4 clips required per condenser unit.
Minimum of 2 #14 x 3/4" screws with neoprene washer required to fasten clip to condenser unit.
1/4" x 1 3/4" Tapcon screw required to fasten clip to condenser pad.
Locate the anchor clips to fit comfortably between condenser unit and pad.
Adjust clip accordingly to fit on condenser unit and screw together, at the same time ensuring that the base of the clip is still in contact with the pad.
All hardware must be fastened prior to connecting refrigerant lines and electrical power to the unit.
Suitable for ground mounted units.
Anchor clip design meets requirements of The Florida Building Code 2007 (Building) chapter 301.12 for wind resistance up to 140 MPH.

FEATURES

The use of "sized to fit" screw holes compared to slots means that security is never compromised. A tight, secure fit between pad and condenser ensures security for the condenser and offers great assurance during extreme weather conditions.

NOTE

Above installation instruction suitable for up to 5 ton units.



TOWN OF SEAWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 5/3-13 Page 1 of 1

| PERMIT # | OWNER/ADDRESS/CONTRACTOR | INSPECTION TYPE | RESULTS | COMMENTS |
|----------|---|--------------------------------|--------------------|---|
| 10254 | Wilcox | Final | | |
| 2:30 | 95 S River Flynn's AC | AC | Pass | CLOSE INSPECTOR <i>[Signature]</i> |
| 10425 | Parrells 3 St Lucie Ct JA Taylor | tile in-progress | | CANCEL & RESET FOR MONDAY INSPECTOR <i>[Signature]</i> |
| 10:30 | FRED TAYLOR HARDON BAY | SIGNS INVESTIGATE | <i>[Signature]</i> | INSPECTOR |
| 10337 | Robinson 173 S. River Emil LaViola | LATHE PREFR CELLING | PASS | INSPECTOR <i>[Signature]</i> |
| 9991 | Burkard 106 S. S. PTRA Driftwood | C.O. FINALE | FAIL NOT READY | INSPECTOR <i>[Signature]</i> |
| | BENEFANNA | INVESTIGATE HEDGE ALONG AIA | | INSPECTOR |
| 9881 | Knauer 17 S Ridgeway Paragon Air | AC Final | Pass | INSPECTOR INSPECTOR <i>[Signature]</i> |

10438

SHUTTERS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

| | | | |
|------------------------|----------------------------|-----------------------|---------------------|
| PERMIT NUMBER: | 10438 | DATE ISSUED: | MAY 1, 2013 |
| SCOPE OF WORK: | STORM PANEL FOR 3 OPENINGS | | |
| CONTRACTOR: | GULFSTREAM ALUM | | |
| PARCEL CONTROL NUMBER: | 013841006005-000700 | SUBDIVISION | HOMEWOOD, L 7, BL E |
| CONSTRUCTION ADDRESS: | 11 S RIDGEVIEW RD | | |
| OWNER NAME: | KRAMER | | |
| QUALIFIER: | JOHN O'BRIEN | CONTACT PHONE NUMBER: | 287-6476 |

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

INSPECTIONS

| | |
|---|--|
| UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____ | UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____ |
|---|--|

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

Date: 4-23-13

Permit Number: 10438

OWNER/LESSEE NAME: Robert + Kathy Kramer Phone (Day) 288-0296 (Fax) NA

Job Site Address: 11 S Riquiem Ln City: Stuart State: FL Zip: 34996

Legal Description: Homeowners Lot 7 BKE Parcel Control Number: 01-38-41-006-005-00070-0

Fee Simple Holder Name: NA Address: _____

City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):** 3 Storm Panel Openings

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO X

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO X
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 1,288
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Gulfstream Aluminum Shtler Phone: 287-6476 Fax: 297-9740

Qualifiers name: John L. O'Brien Street: 3001 SE Grandway City: Stuart State: FL Zip: 34997

State License Number: CR058017 OR: _____ Municipality: _____ License Number: _____

LOCAL CONTACT: Brian Hose Phone Number: 287-6476

DESIGN PROFESSIONAL: NA License# _____

Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof _____ Elevated Deck _____ Enclosed area below BFE _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Electrical, Gas): 2010
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

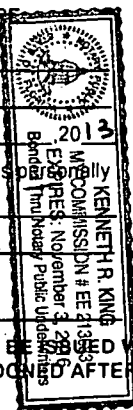
WARNINGS TO OWNERS AND CONTRACTORS:

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
- IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCLUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

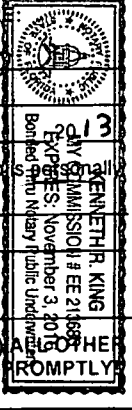
******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE:
Kathy Kramer
State of Florida, County of: Martin
On This the 23rd day of April 2013
by Kathy Kramer who is personally known to me or produced _____
As identification, _____
Notary Public
My Commission Expires: Kirkley



CONTRACTOR/LICENSEE - NOTARIZED SIGNATURE:
John L. O'Brien
State of Florida, County of: Martin
On This the 23rd day of April 2013
by John L. O'Brien who is personally known to me or produced _____
As identification, _____
Notary Public
My Commission Expires: Kirkley



SINGLE FAMILY PERMIT APPLICATIONS MUST BE RECORDED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) AND OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY

**Martin County, Florida
Laurel Kelly, C.F.A
Summary**

generated on 4/22/2013 9:04:31 AM EDT

| Parcel ID | Account # | Unit Address | Market Total Value | Website Updated |
|--------------------------|-----------|-------------------------------------|--------------------|-----------------|
| 01-38-41-006-005-00070-0 | 17675 | 11 S RIDGEVIEW ROAD, SEWALL'S POINT | \$455,220 | 4/20/2013 |

Owner Information

| | |
|--------------------|---|
| Owner(Current) | KRAMER ROBERT S & KATHRYN J |
| Owner/Mail Address | 11 S RIDGEVIEW RD STUART FL 34996-6450 |
| Sale Date | 4/2/1997 |
| Document Book/Page | 1229 1179 |
| Document No. | |
| Sale Price | 76000 |

Location/Description

| | | | |
|----------------|-------------------------------------|-------------------|--------------------------|
| Account # | 17675 | Map Page No. | SP-04 |
| Tax District | 2200 | Legal Description | HOMEWOOD, LOT 7 BLK E |
| Parcel Address | 11 S RIDGEVIEW ROAD, SEWALL'S POINT | | |
| Acres | .3430 | | |

Parcel Type

| | |
|--------------|---------------------------------------|
| Use Code | 0100 Single Family |
| Neighborhood | 120400 Hmwd,Palm Ro,Kngstn,Okwd, Pine |

Assessment Information

| | |
|--------------------------|-----------|
| Market Land Value | \$175,000 |
| Market Improvement Value | \$280,220 |
| Market Total Value | \$455,220 |

APR 19, 2013 04:38A

3001 S.E. Gran Park Way, Stuart, Florida 34997
(772) 287-6476 • (800) 244-4143 • FAX (772) 287-9740
E-Mail: sales@gulfshutters.com
www.gulfshutters.com
License #CRC058017

Protected by



Page 1 of 2

ORDER FORM

Key
 Storm Panels - SP
 Accordions - AC
 Bahamas - BA
 Colonial - CO
 Rollups - RU
 Lexan - LX
 Garage Brace - GB

Application Key
 Wood - W
 Block - B
 Stucco Over - SO

Name Cathy Krammen Date 4-17-13
 Address 11 S. RIDGEVIEW RD. Subdivision SEWALL PT
 City STUART State FL Zip 34996
 Phone (Home) 678-1158 (Work) 288-0296 Approximate Installation 2-4 wks

| OPG # | TYPE | OPENING WIDTH | OPENING HEIGHT | TRACK COLOR | COLOR PANEL/SLAT | GAUGE | STACK R/L | LOCK I/O | REMOVABLE TRACKS | BUILD OUT | MOTOR/CRANK | STORM BARS | APPLICATION | FLOOR |
|-------|------|---------------|----------------|-------------|------------------|-------|-----------|----------|------------------|-----------|-------------|------------|-------------|-------|
| 1+2 | SP | 95 | 75 | White | White | 050 | Left | None | Bottom | | | | R | 1 |
| 3 | " | 35 | 85 | " | " | " | " | " | " | 2" FB | H-F | | " | 1 |
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#1288 -
 DEPOSIT 50% \$600 -
 BALANCE ON COMPLETION \$688 -

It is understood that there are no verbal agreements and all items discussed are covered by this written contract. This is a proposal until signed by an officer of the corporation at which time it becomes an executed contract. Acceptance by owner must be within 30 days of proposal date. Buyer may cancel this contract within 3 working days after signing. No changes in measurements will be allowed except at prices mutually agreed upon, at the time these changes are made. Any physical or verbal changes after signing must be approved in writing by both parties. All agreements are contingent upon strikes, lockouts, accidents, acts of God, weather, fire, carrier delays, delay or failure to receive raw material deliveries, or by other causes, whether of like or different nature beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Worker's Compensation Insurance. All material is property of Gulfstream until final payment and can be removed if not paid.

Electric: Buyer agrees that any necessary electrical connections will be made at the closest source of power. Any changes or variations will be an additional charge.
DO NOT SIGN THIS CONTRACT UNTIL YOU HAVE READ ALL CONDITIONS OF THIS AGREEMENT

Interest - Buyer agrees to pay a 1 1/2 % per month interest charge on any unpaid balances. **Costs of Collection -** Buyer agrees to be responsible for seller's attorney's fees (both trial and appeal) and all other costs of collection in the event full payment as outlined herein is not made within 10 days of the completion of the work outlined herein. **Acceptance of Proposal -** The above prices, specifications and conditions are satisfactory and hereby accepted. You are authorized to do the work as specified. Cancellation Fee 20% of contract. Payment will be made as outlined above.

Signature [Signature] Date 4/16/2013 Representative Kenny King Date 4-17-13

5 YEAR GUARANTEE

772 287 9740

page 2

HR-13-CU13(FRI) 12:40 GULFSTREAM ALUMINUM (THX) (12 CR 9140 P. 002/002

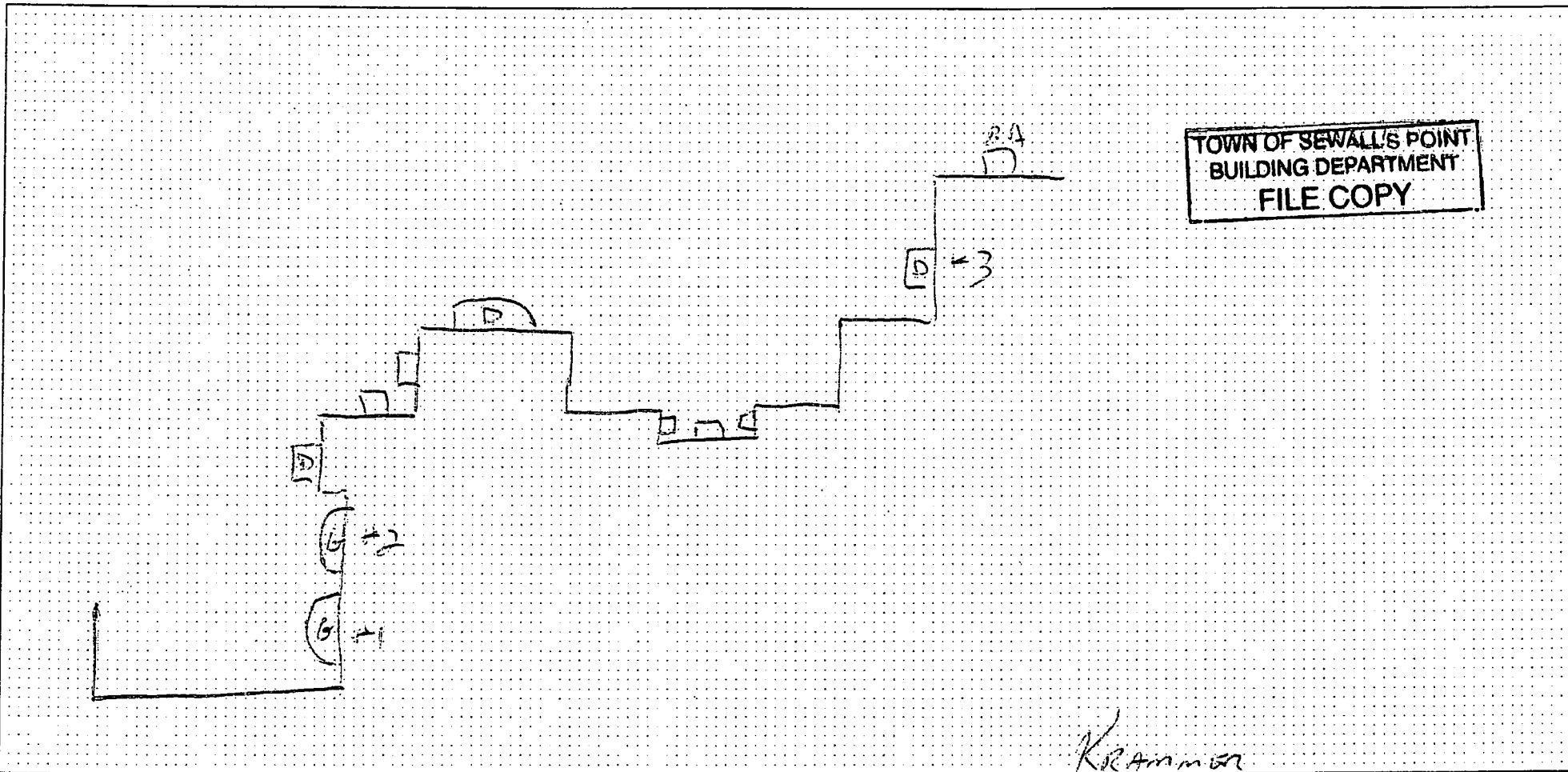


Do It Once. Do It Right.
Since 1979

3001 S.E. Gran Park Way, Stuart, Florida 34997
(772) 287-6476 • (800) 244-4143
FAX (772) 287-9740
E-Mail: jobrien@gulfshutters.com
www.gulfshutters.com
Lic. #MC00231, SL 1211, PB# U-17051, CRC58017

LAYOUT SHEET

| Key | |
|-------------------|--------------------------|
| Storm Panels - SP | Rollups - RU |
| Accordions - AC | Windows/Doors - WD |
| Bahamas - BA | Retractable Awnings - RA |
| Colonials - CO | Ultra Lattice - UL |



Special Instructions: _____

Signature _____ Date _____ Salesperson Kenny King Date 5/17/13
Gulfstream Aluminum and Shutter Corp.



DEPARTMENT OF PERMITTING, ENVIRONMENT, AND REGULATORY
AFFAIRS (PERA)
BOARD AND CODE ADMINISTRATION DIVISION

MIAMI-DADE COUNTY
PRODUCT CONTROL SECTION

11805 SW 26 Street, Room 208

Miami, Florida 33175-2474
T (786) 315-2590 F (786) 315-2599

www.miamidade.gov/building

NOTICE OF ACCEPTANCE (NOA)

Eastern Metal Supply, Inc.
4268 Westroads Drive
West Palm Beach, Florida 33407

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County PERA-Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. PERA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: ~~0.050" Solid Bertha Aluminum Storm Panels/Shutters~~

APPROVAL DOCUMENT: Drawing No. 11-117, titled "0.050" Bertha Aluminum Storm Panel", sheets 1 through 15 of 15, and 1A of 15, prepared by Tilteco, Inc., last revision #1 dated November 15, 2011, signed and sealed by Walter A. Tillit Jr., P.E. on November 23, 2011, bearing Miami-Dade County Product Control revision stamp with the Notice of Acceptance number and expiration date by Miami-Dade County Product Control Section.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant

LABELING: Each panel shall bear a permanent label with the manufacturer's name or logo, city, state, the following statement: "Miami-Dade County Product Control Approved", and NOA number, per TAS-201, TAS-202, and TAS-203, unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 08-0623.06 and consists of this page 1, evidence submitted pages E-1, E-2, E-3, & E-4 as well as approval document mentioned above.

The submitted documentation was reviewed by Helmy A. Makar, P.E., M.S.



Helmy A. Makar
05/10/2012

~~NOA No. 12-0209-06~~
Expiration Date: ~~08/07/2013~~
Approval Date: 05/10/2012

Eastern Metal Supply, Inc.

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

1. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL #96-1203.08

A. DRAWINGS

1. *Drawing Number 96-331, Eastern Metal Supply, Inc., 0.050" Bertha Storm Panel, sheets 1 through 8 of 8, prepared by Tilteco, Inc., revision 2, dated 07/15/97 signed and sealed by Walter A. Tillit Jr., P.E.*

B. TESTS

1. *Test report on Large Missile Impact Test, Cyclic Wind Pressure Test and Uniform Static Air Pressure Test on 0.050" aluminum storm panels, prepared by American Test Lab of South Florida, Test Report No. ATL #1022.01-96 dated 11/08/96, signed and sealed by William R. Mehner, P.E.*

C. CALCULATIONS

1. *Comparative Analysis and Anchor Analysis, dated 10/21/96, pages 1 through 15, prepared by Tilteco, Inc., signed and sealed by Walter A. Tillit Jr., P.E.*
2. *Calculations for revised anchor schedule, dated 05/02/97, pages 1 through 33, prepared by Tilteco, Inc., signed and sealed by Walter A. Tillit Jr., P.E.*

D. MATERIAL CERTIFICATIONS

1. *Mill Certified Inspection Report of coils, dated 01/23/96, for Aluminum Alloy 5052-H32 by Barmet Aluminum Corporation with chemical composition and physical properties.*
2. *Certified Tensile Test Report by Certified Testing Laboratories Report No. CTL #846B dated 10/31/96, for Aluminum Alloy, signed and sealed by Ramesh Patel, P.E.*

2. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL #98-0817.16

A. DRAWINGS

1. *Drawing No. 98-172, titled "0.050" Bertha Storm Panel", prepared by Tilteco, Inc., dated July 7, 1998, last revision #1 dated July 7, 1998, sheets 1 through 8 of 8, signed and sealed by Walter A. Tillit Jr., P.E.*

B. TESTS

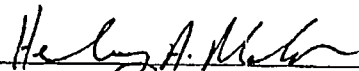
1. *None.*

C. CALCULATIONS

1. *None.*

D. MATERIAL CERTIFICATIONS

1. *Mill Certified Test Report issued by Nichols Aluminum dated 05/28/98, with chemical composition and mechanical properties of the 3004-H34 Aluminum Alloy panel.*



Helmy A. Makar, P.E., M.S.
PERA, Product Control Unit Supervisor
NOA No. 12-0209.06
Expiration Date: 08/07/2013
Approval Date: 05/10/2012

Eastern Metal Supply, Inc.

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

3. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL #00-0602.04

A. DRAWINGS

1. *None.*

B. TESTS

1. *None.*

C. CALCULATIONS

1. *None.*

D. MATERIAL CERTIFICATIONS

1. *None.*

4. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL #01-0516.06

A. DRAWINGS

1. *Drawing No. 01-058, titled "0.050" Solid Bertha Aluminum Storm Panel", sheets 1 through 15 of 15, prepared by Tilteco, Inc., dated August 27, 2001, signed and sealed by Walter A. Tillit Jr., P.E.*

B. TESTS

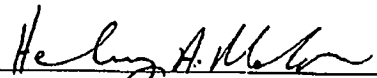
1. *Test reports on 1) Uniform Static Air Pressure Test, per SFBC PA 202-94
2) Large Missile Impact Test per SFBC, PA 201-94
3) Cyclic Wind Pressure Loading per SFBC, PA 203-94
along with marked-up drawings and installation diagram of 0.050" Solid Aluminum Storm Panels Shutter, prepared by ATL of South Florida, Test Report No. 0221.01-01, dated 05/02/01, signed and sealed by Henry Hattem, P.E.*
2. *Addendum to ATL of South Florida, Test Report No. 0221.01-01, dated 10/12/01, signed and sealed by Henry Hattem, P.E.*
3. *Addendum to ATL of South Florida, Test Report No. 0221.01-01, dated 02/04/02, signed and sealed by Henry Hattem, P.E.*

C. CALCULATIONS

1. *Anchor Analysis, dated 09/10/01, pages 1 through 53, prepared by Tilteco, Inc., signed and sealed by Walter A. Tillit Jr., P.E.*

D. MATERIAL CERTIFICATIONS

1. *Mill Certified Inspection Report of coils, dated 04/24/01, for Aluminum Alloy 3004-H34 by NA Nichols Aluminum with chemical composition and physical properties.*
2. *Certified Tensile Test Report by QC Metallurgical, Inc., Report No. 1CM-384, dated 03/26/01, signed and sealed by Frank Grate, P.E.*



Henry A. Makar, P.E., M.S.
PERA, Product Control Unit Supervisor
NOA No. 12-0209.06
Expiration Date: 08/07/2013
Approval Date: 05/10/2012

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

5. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL # 03-0707.02
A. DRAWINGS

1. *Drawing No. 03-141, titled "0.050" Solid Bertha Aluminum Storm Panel", sheets 1 through 15 of 15, prepared by Tilteco, Inc., dated July 02, 2003, last revision #1 dated July 02, 2003, signed and sealed by Walter A. Tillit Jr., P.E.*

B. TESTS

1. *None.*

C. CALCULATIONS

1. *None.*

D. MATERIAL CERTIFICATIONS

1. *None.*

E. OTHERS

1. *Letter from Tilteco, Inc., dated July 03, 2003, signed and sealed by Walter A. Tillit Jr., P.E., stating that the only change from the previous approved drawing # 01-058 are the general notes #1 & #11 to reference the Florida Building Code and the ASCE 7-98*

6. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL # 05-0926.03
A. DRAWINGS

1. *Drawing No. 05-073, titled "0.030" Thick Galvanized Bertha Steel Storm Panel", sheets 1 through 9 of 9, and 1A of 9, prepared by Tilteco, Inc., dated 04/25/2005, last revision #1 dated 04/25/2005 signed and sealed by Walter A. Tillit Jr., P.E. on 09/15/2005*

B. TESTS

1. *Test report on Large Missile Impact Test and Cyclic Wind Pressure Test of Galvanized Steel Storm Panels, prepared by American Test Lab of South Florida, Report No. ATLSF 0616.01-05, dated September 15, 2005, signed and sealed by William R. Mehner, P.E.*

C. CALCULATIONS

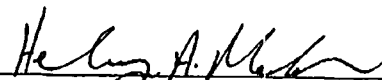
1. *Storm panel shutter Calculations, sheets 1 through 91 by Tilteco, Inc., signed and sealed by Walter A. Tillit Jr., P.E. on 09/13/2005.*

D. QUALITY ASSURANCE

1. *By Miami-Dade County Building Code Compliance Office.*

E. MATERIAL CERTIFICATIONS

1. *Tensile Test Report from QC Metallurgical, Inc., Job No. 51M-926, dated September 20, 2005, tested per ASTM E8-93, signed and sealed by Frank Grate, P.E.*



Helmy A. Makar, P.E., M.S.
PERA, Product Control Unit Supervisor
NOA No. 12-0209.06
Expiration Date: 08/07/2013
Approval Date: 05/10/2012

Eastern Metal Supply, Inc.

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

7. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL # 08-0623.06

A. DRAWINGS

1. *None.*

B. TESTS

1. *None.*

C. CALCULATIONS

1. *None.*

D. QUALITY ASSURANCE

1. *By Miami-Dade County Building Code Compliance Office.*

E. MATERIAL CERTIFICATIONS

1. *None.*

7. NEW EVIDENCE SUBMITTED

A. DRAWINGS

1. *Drawing No. 11-117, titled "0.050" Bertha Aluminum Storm Panel", sheets 1 through 15 of 15, and 1A of 15, prepared by Tilteco, Inc., last revision #1 dated November 15, 2011, signed and sealed by Walter A. Tillit Jr., P.E. on November 23, 2011.*

B. TESTS

1. *None.*

C. CALCULATIONS

1. *None.*

D. QUALITY ASSURANCE

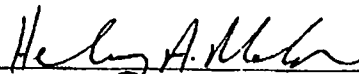
1. *By Miami-Dade County Department of Permitting, Environment, and Regulatory Affairs (PERA).*

E. MATERIAL CERTIFICATIONS

1. *None.*

F. OTHERS

1. *Letter from Tilteco, Inc., dated January 13, 2012, signed and sealed by Walter A. Tillit Jr., P.E., stating that the drawing number 11-117 is in compliance with the 2010 Edition of the Florida Building Code.*



Kelly A. Makar, P.E., M.S.
PERA, Product Control Unit Supervisor
NOA No. 12-0209.06
Expiration Date: 08/07/2013
Approval Date: 05/10/2012

GENERAL NOTES:

1. STORM PANEL SHOWN ON THIS PRODUCT APPROVAL DOCUMENT (P.A.D.) HAS BEEN VERIFIED FOR COMPLIANCE IN ACCORDANCE WITH THE 2007 & 2010 EDITIONS OF THE FLORIDA BUILDING CODE.

DESIGN WIND LOADS SHALL BE DETERMINED AS PER SECTION 1620 OF THE ABOVE MENTIONED CODES, USING ASCE 7-05 STANDARD FOR INSTALLATIONS UNDER 2007 FBC & ASCE 7-10 FOR INSTALLATIONS UNDER 2010 FBC AND SHALL NOT EXCEED THE MAXIMUM (A.S.D.) DESIGN PRESSURE RATINGS INDICATED ON SHEETS 9 THRU 15.

IN ORDER TO VERIFY THE ABOVE CONDITION, ULTIMATE DESIGN WIND LOADS DETERMINED PER ASCE 7-10 SHALL BE FIRST REDUCED TO A.S.D. DESIGN WIND LOADS BY MULTIPLYING THEM BY 0.6 IN ORDER TO COMPARE THESE W/ MAX. (A.S.D.) DESIGN PRESSURE RATINGS INDICATED ON SHEETS 9 THRU 15.

IN ORDER TO VERIFY THAT COMPONENTS AND ANCHORS ON THIS P.A.D. AS TESTED WERE NOT OVER STRESSED, A 33% INCREASE IN ALLOWABLE STRESS FOR WIND LOADS WAS NOT USED IN THEIR ANALYSIS. FASTENERS SPACING TO WOOD HAS BEEN DETERMINED IN ACCORDANCE WITH N.D.S. 2005

STORM PANEL'S ADEQUACY FOR IMPACT AND FATIGUE RESISTANCE HAS BEEN VERIFIED IN ACCORDANCE WITH SECTION 1626 OF THE ABOVE MENTIONED CODE AS PER ATL REPORTS: # 1022.01-01, # 0221.01 AND # 0816.02-05, AS PROTOCOLS TAS-201, TAS-202 AND TAS-203.

2. ALL ALUMINUM SHEET METAL PANELS SHALL HAVE 5052-H32 OR 5052-H34 ALLOY.

3. ALL ALUMINUM EXTRUSIONS SHALL BE ALUMINUM ASSOCIATION 6063-T6 ALLOY & TEMPER UNLESS OTHERWISE NOTED.

4. ALL SCREWS TO BE STAINLESS STEEL 304 OR 316 AISI SERIES OR CORROSION RESISTANT COATED CARBON STEEL AS PER DIN 50018 W/ 50 ksi YIELD STRENGTH AND 90 ksi TENSILE STRENGTH AND SHALL COMPLY W/ FBC SECTION 2411.J.3.4.

5. BOLTS TO BE ASTM A-307 GALVANIZED STEEL OR AISI 304 SERIES STAINLESS STEEL, WITH 35 ksi MINIMUM YIELD STRENGTH.

6. ANCHORS TO WALL SHALL BE AS FOLLOWS: (UNLESS OTHERWISE NOTED)

(A) TO EXISTING POURED CONCRETE:

- 1/4" Ø TAPCON ANCHORS AS MANUFACTURED BY L.T.W. BULDEX. (REGULAR OR 410 S.S.)
- 1/4" Ø CRETE-FLEX SS4 ANCHORS AS MANUFACTURED BY ELCO CONSTRUCTION PRODUCTS.
- 1/4" Ø CF TAP-GRIP ANCHORS (BERTHA STUD-CON), AS MANUFACTURED BY TRU-FAST CORPORATION.
- 1/4" Ø ZAMAC NAILIN ANCHORS AS MANUFACTURED BY POWER FASTENERS, INC.
- 1/4" Ø x 7/8" CALK-IN ANCHORS OR ELCO male & female "PANELMATE" AS MANUFACTURED BY POWER FASTENERS, INC. AND ELCO CONSTRUCTION PRODUCTS, RESPECTIVELY.
- 1/4" Ø x 3/4" ALL POINTS SOLID-SET ANCHORS AS DISTRIBUTED BY ALL POINTS SCREW, BOLT & SPECIALTY COMPANY.

NOTES:

A.1) MINIMUM EMBEDMENT INTO POURED CONCRETE OF TAPCON ANCHORS OR CRETE-FLEX SS4 IS 1 3/4"; FOR ZAMAC NAILIN ANCHORS IS 1 3/8"; FOR ELCO PANELMATE ANCHORS IS 1 3/4"; AND FOR CF TAP-GRIP ANCHORS IS 1 1/4".

A.2) 7/8" CALK-IN ANCHORS SHALL BE ENTIRELY EMBEDDED INTO THE POURED CONCRETE. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" Ø-20 SCREWS USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.

A.3) MINIMUM EMBEDMENT OF 1/4" Ø x 3/4" ALL POINTS SOLID-SET ANCHORS SHALL BE 7/8" INTO THE POURED CONCRETE. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" Ø-20 S.S. MACHINE SCREW USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.

A.4) IN CASE THAT PRECAST STONE, PRECAST CONCRETE PANELS, OR PAVERS BE FOUND ON THE EXISTING WALL OR FLOOR; ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SUCH PANELS. ANCHORAGE SHALL BE AS INDICATED ON NOTES A.1) & A.2) ABOVE.

(B) TO EXISTING CONCRETE BLOCK WALL:

- 1/4" Ø TAPCON ANCHORS AS MANUFACTURED BY L.T.W. BULDEX. (REGULAR OR 410 S.S.)
- 1/4" Ø CRETE-FLEX SS4 ANCHORS AS MANUFACTURED BY ELCO CONSTRUCTION PRODUCTS.
- 1/4" Ø CF TAP-GRIP ANCHORS (BERTHA STUD-CON), AS MANUFACTURED BY TRU-FAST CORPORATION.
- 1/4" Ø ZAMAC NAILIN ANCHORS AS MANUFACTURED BY POWER FASTENERS, INC.
- 1/4" Ø x 7/8" CALK-IN ANCHORS OR ELCO male & female "PANELMATE" AS MANUFACTURED BY POWER FASTENERS, INC. AND ELCO CONSTRUCTION PRODUCTS, RESPECTIVELY.
- 1/4" Ø x 3/4" ALL POINTS SOLID-SET ANCHORS AS DISTRIBUTED BY ALL POINTS SCREW, BOLT & SPECIALTY COMPANY.

NOTES:

B.1) MINIMUM EMBEDMENT OF TAPCON, ELCO PANELMATE, CF TAP-GRIP AND CRETE-FLEX SS4 ANCHORS INTO CONCRETE BLOCK UNIT SHALL BE 1 1/4"; 1 3/8" FOR ZAMAC NAILIN ANCHORS.

B.2) 7/8" CALK-IN ANCHORS SHALL BE ENTIRELY EMBEDDED INTO THE CONCRETE BLOCK UNIT. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" Ø-20 SCREWS USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.

B.3) MINIMUM EMBEDMENT OF 1/4" Ø x 3/4" ALL POINTS SOLID-SET ANCHORS SHALL BE 7/8" INTO THE CONCRETE BLOCK. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" Ø-20 S.S. MACHINE SCREW USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.

B.4) IN CASE THAT PRECAST STONE-OR PRECAST CONCRETE PANELS BE FOUND ON THE EXISTING WALL, ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SUCH PANELS. ANCHORAGE SHALL BE AS INDICATED ON NOTES IN B.1) AND B.2) ABOVE.

(C) ANCHORS SHALL BE INSTALLED FOLLOWING ALL OF THE RECOMMENDATIONS AND SPECIFICATIONS OF THE ANCHOR'S MANUFACTURER.

7. PANELS MAY ALSO BE INSTALLED HORIZONTALLY FOLLOWING INSTALLATION DETAILS SHOWN ON SECTIONS 1 THRU 16 (SHEET 3 & 7 OF 15) EXCEPT THAT HEADERS 2, 3 & 4 SHALL NOT BE USED.

8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SOUNDNESS OF THE STRUCTURE WHERE SHUTTER IS TO BE ATTACHED TO INSURE PROPER ANCHORAGE. THIS SHUTTER SHALL ONLY BE ATTACHED TO CONCRETE, BLOCK OR WOOD FRAME BUILDINGS.

9. THE INSTALLATION CONTRACTOR IS TO SEAL/CAULK ALL SHUTTER COMPONENT EDGES WHICH REMAIN IN CONTINUOUS CONTACT WITH THE BUILDING TO PREVENT WIND/RAIN INTRUSION. CAULK AND SEAL SHUTTER TRACKS ALL AROUND FULL LENGTH.

10. STORM PANEL INSTALLATION SHALL COMPLY WITH SPECS INDICATED IN THIS DRAWING PLUS ANY BUILDING AND ZONING REGULATIONS PROVIDED BY THE JURISDICTION WHERE PERMIT IS APPLIED TO.

11. (a) THIS PRODUCT APPROVAL DOCUMENT (P.A.D.) PREPARED BY THIS ENGINEER IS GENERIC AND DOES NOT PROVIDE INFORMATION FOR A SITE SPECIFIC PROJECT; I.E. WHERE THE SITE CONDITIONS DEVIATE FROM THE P.A.D.

(b) CONTRACTOR TO BE RESPONSIBLE FOR THE SELECTION, PURCHASE AND INSTALLATION INCLUDING LIFE SAFETY OF THIS PRODUCT BASED ON THIS P.A.D. PROVIDED HE/SHE DOES NOT DEVIATE FROM THE CONDITIONS DETAILED ON THIS DOCUMENT. CONSTRUCTION SAFETY AT SITE IS THE CONTRACTOR'S RESPONSIBILITY.

(c) THIS PRODUCT APPROVAL DOCUMENT WILL BE CONSIDERED INVALID IF MODIFIED.

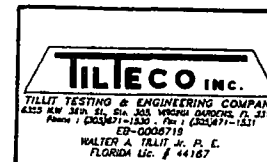
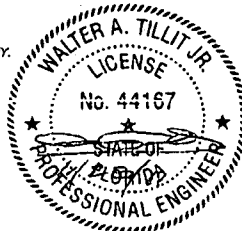
(d) SITE SPECIFIC PROJECTS SHALL BE PREPARED BY A FLORIDA REGISTERED ENGINEER OR ARCHITECT WHICH WILL BECOME THE ENGINEER OF RECORD (E.O.R.) FOR THE PROJECT AND WHO WILL BE RESPONSIBLE FOR THE PROPER USE OF THE P.A.D. ENGINEER OF RECORD, ACTING AS A DELEGATED ENGINEER TO THE P.A.D. ENGINEER, SHALL SUBMIT TO THIS LATTER THE SITE SPECIFIC DRAWINGS FOR REVIEW.

(e) THIS P.A.D. SHALL BEAR THE DATE AND ORIGINAL SEAL AND SIGNATURE OF THE PROFESSIONAL ENGINEER OF RECORD THAT PREPARED IT.

12. SHUTTER MANUFACTURER'S LABEL SHALL BE PLACED ON A READILY AND VISIBLE LOCATION AT PANEL.

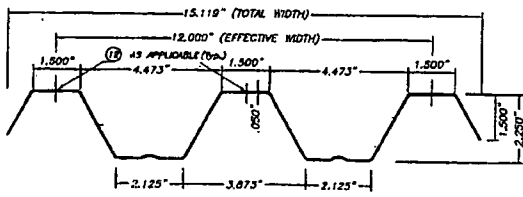
ONE LABEL SHALL BE PLACED FOR EVERY OPENING.
LABEL SHALL READ AS FOLLOWS:
EASTERN METAL SUPPLY, INC.
WEST PALM BEACH, FL
MIAMI-DADE COUNTY PRODUCT CONTROL APPROVED.

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No 12-0209.06
Expiration Date 02/27/2013
By *[Signature]*
Miami Dade Product Control

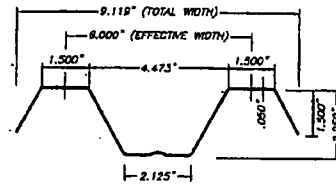


FLORIDA BUILDING CODE (High Velocity Hurricane Zone)

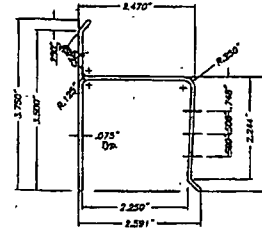
| | | |
|---|-------------|------------------------|
| 0.050" BERTHA ALUMINUM STORM PANEL | | L.D./A.G. DRAWN BY: |
| EASTERN METAL SUPPLY, INC. | | 11/15/11 DATE |
| 4268 WESTROADS DR. WEST PALM BEACH, FL 33407 | | 11-117 DRAWING No |
| REV. NO. | DESCRIPTION | DATE |
| 1 | OLD 03-018 | 11/15/11 |
| 2 | | |
| | | SHEET 1 OF 15 |



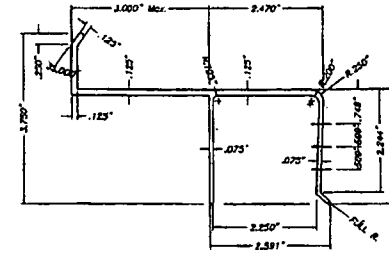
① ALUMINUM PANEL
SCALE: 1/4" = 1'



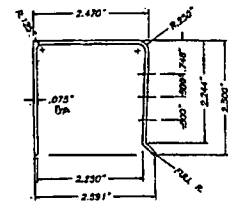
①A ALUMINUM HALF PANEL
SCALE: 1/4" = 1'



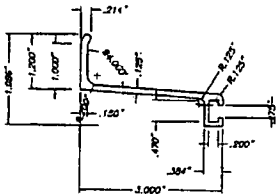
② F" HEADER
SCALE: 3/8" = 1'



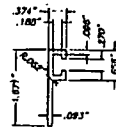
③ 3" Max. "U" BUILD-OUT
SCALE: 3/8" = 1'



④ "U" HEADER
SCALE: 3/8" = 1'



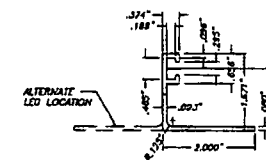
⑤ 3" ANGLE BUILD OUT BRACKET
SCALE: 3/8" = 1'



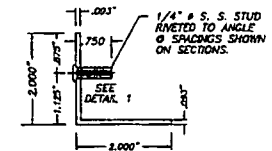
⑥ "F" TRACK
SCALE: 3/8" = 1'



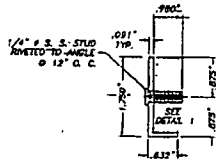
⑦ REVERSED "F" ANGLE TRACK
SCALE: 3/8" = 1'



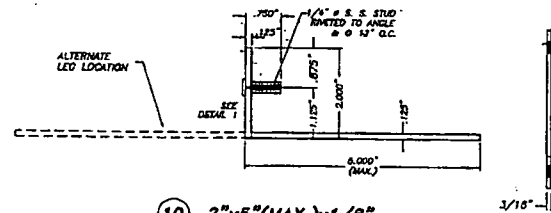
⑧ "F" TRACK ANGLE
SCALE: 3/8" = 1'



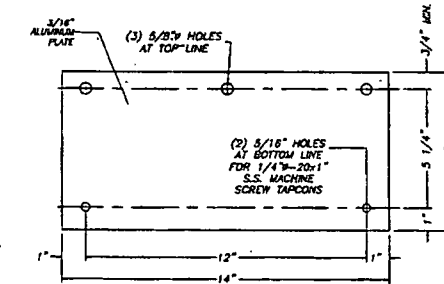
⑨ STUDDED ANGLE
SCALE: 3/8" = 1'



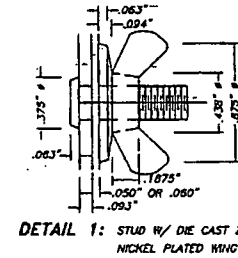
⑨A MINI WALL 1.75" x 0.632" ANGLE WITH STUD
SCALE: 1/2" = 1'



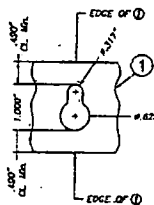
⑩ 2" x 3" (MAX.) x 1/8" ANGLE WITH STUD
SCALE: 3/8" = 1'



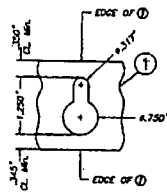
⑪ 3/16" x 7" x 14" LONG WALL PLATE
SCALE: 3/16" = 1'



DETAIL 1: STUD W/ DIE CAST ZINC NICKEL PLATED WING NUT

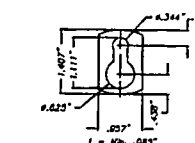


OPTION 1



OPTION 2

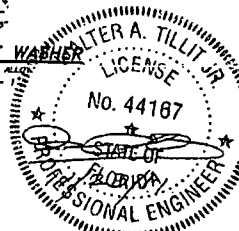
⑫A ROUND HOLE AT PANEL (OPTION TO 12)



⑬ KEY HOLE WASHER
SCALE: 3/8" = 1'

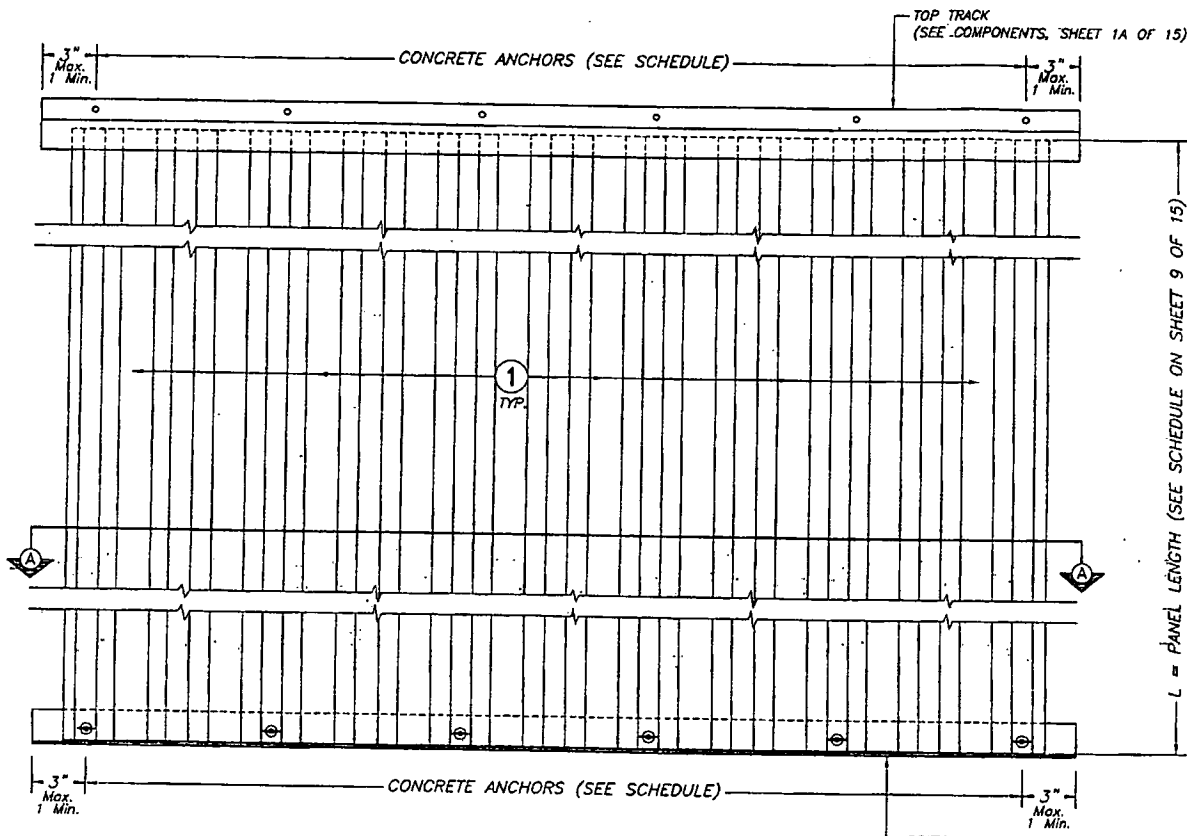
PRODUCT REVISED as complying with the Florida Building Code Acceptance No. 12-0209.06 Expiration Date 08/26/12 013 By *Walter A. Tillit* Miami Design Product Control

COMPONENTS



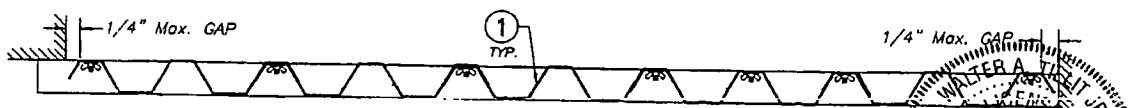
FLORIDA BUILDING CODE (High Velocity Hurricane Zone)

| | | | | | |
|--|--|---|--|-----------------------|--|
| TILECO INC. | | 0.050" BERTHA ALUMINUM STORM PANEL | | L.C./A.C. DRAWN BY: | |
| TILLIT TESTING & ENGINEERING COMPANY 4325 N.W. 46th St. Ste. 202, Miramar, Florida 33184 Phone: (305) 671-1530 Fax: (305) 671-1531 EQ-0006718 | | EASTERN METAL SUPPLY, INC. 4208 WESTROADS DR. WEST PALM BEACH, FL 33407 | | 11/15/11 DATE | |
| WALTER A. TILLIT, P. E. FLORIDA LIC. # 44167 | | REV. NO. DESCRIPTION DATE REV. NO. DESCRIPTION DATE | | 11-117 DRAWING NO. | |
| | | 7 OLD EQ-078 11/15/11 8 - - - - | | SHEET 1A OF 15 | |



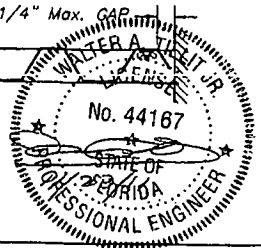
STORM PANEL TYPICAL ELEVATION

SCALE : 1/8" = 1"



SECTION A-A

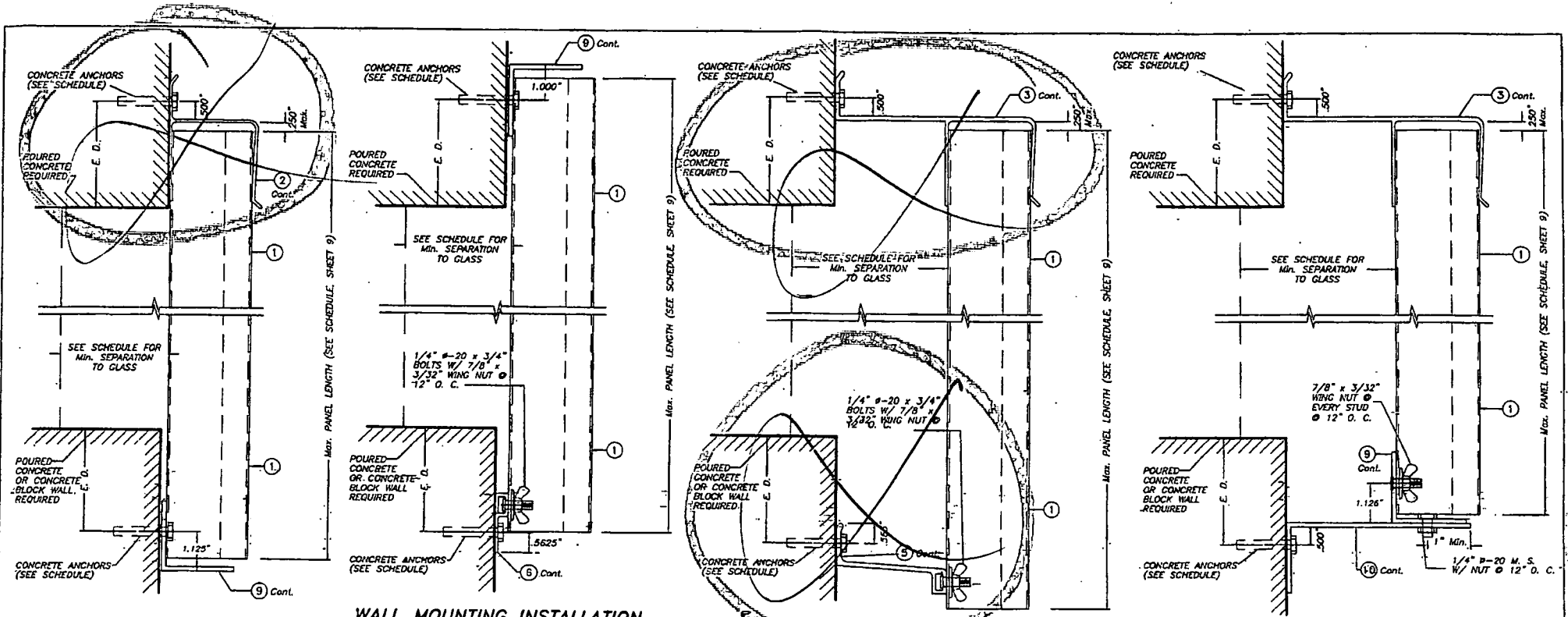
SCALE : 1/8" = 1"



PRODUCT REVISED
 as complying with the Florida
 Building Code
 Acceptance No. 12-0209.06
 Expiration Date 08/07/2013
 By *Walter A. Tilly, Jr.*
 Miami Dade Product Control

FLORIDA BUILDING CODE (High Velocity Hurricane Zone)

| | | | | | |
|--|-------------|---|----------|------------------------|------|
| TILECO INC. | | 0.050" BERTHA ALUMINUM STORM PANEL | | L.C./A.C. DRAWN BY: | |
| TILLY TESTING & ENGINEERING COMPANY 4355 A.W. WEA, P.O. Box 303, MIAMI GARDENS, FL 33148 Phone: (305)871-1530 - Fax: (305)871-1531 E#-0008719 | | EASTERN METAL SUPPLY, INC. 4288 WESTROADS DR. WEST PALM BEACH, FL 33407 | | 11/15/11 DATE | |
| WALTER A. TILLY, JR., P. E. FLORIDA Lic. # 44187 | | | | 11-117 DRAWING No. | |
| REV. NO. | DESCRIPTION | DATE | REV. NO. | DESCRIPTION | DATE |
| 1 | OLD 03-078 | 11/15/11 | 2 | - | - |
| 2 | - | - | 3 | - | - |

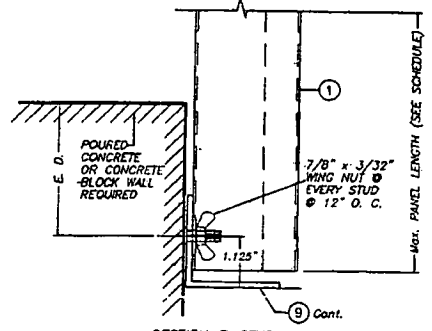


SECTION @ ANCHOR

WALL MOUNTING INSTALLATION
SECTION 2
SCALE: 3/8" = 1"

BUILD OUT INSTALLATION
SECTION 3
SCALE: 3/8" = 1"

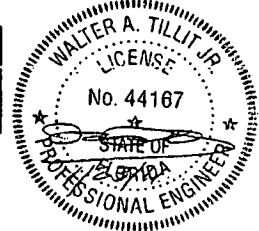
BUILD OUT INSTALLATION
SECTION 4
SCALE: 3/8" = 1"



SECTION @ STUD
WALL MOUNTING INSTALLATION
SECTION 1
SCALE: 3/8" = 1"

E. D. = EDGE DISTANCE
(SEE SCHEDULE ON
SHEETS 10 & 11 OF 15)

NOTE FOR COMBINATION OF SECTIONS :
WALL MOUNTING SECTIONS CAN BE
COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

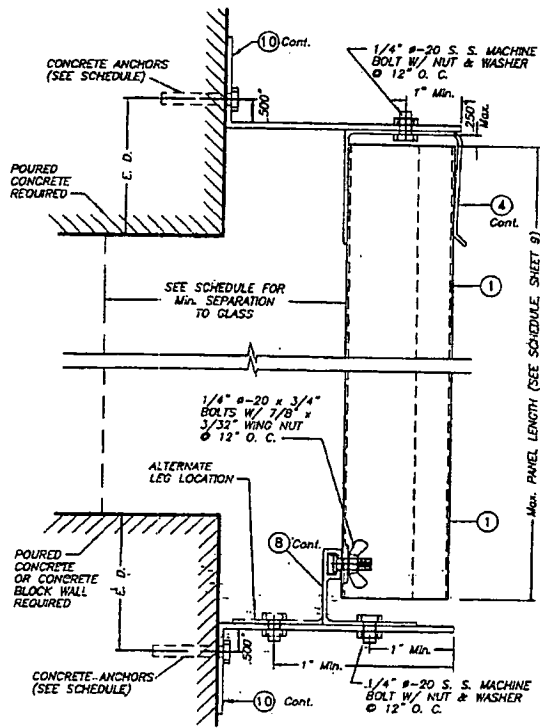


PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No 12-0209-06
Expiration Date 08/07/2013
By *Walter A. Tillit Jr.*
Miami Data Product Control

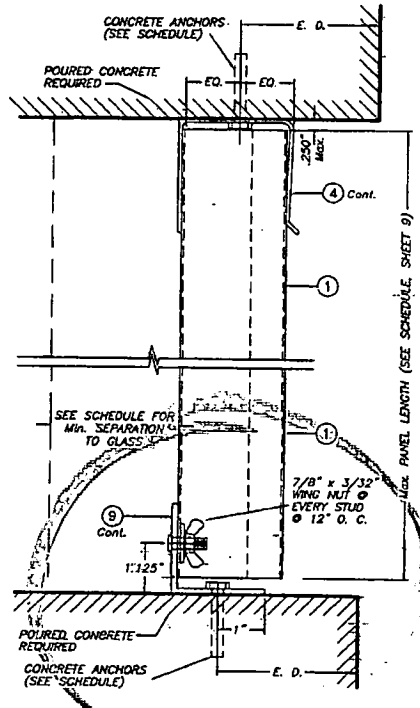
FLORIDA BUILDING CODE (High Velocity Hurricane Zone)

| | | | | | |
|---|-------------|---|--------|-------------|------|
| | | L.C./A.G. DRAWN BY: | | | |
| TILLIT TESTING & ENGINEERING COMPANY 6353 N.W. 36th St., Ft. Lauderdale, FL 33309 Phone: (305) 587-1530 Fax: (305) 571-1531 ED-0006719 WALTER A. TILLIT, JR., P. E. FLORIDA Lic. # 44167 | | EASTERN METAL SUPPLY, INC. 4208 WESTROADS DR. WEST PALM BEACH, FL 33407 | | | |
| 0.050" BERTHA ALUMINUM STORM PANEL | | 11/15/11 DATE | | | |
| 11-117 DRAWING No | | SHEET 3 OF 15 | | | |
| REV. # | DESCRIPTION | DATE | REV. # | DESCRIPTION | DATE |
| 1 | OLD 05-070 | 9/15/11 | 3 | | |
| 2 | | | 4 | | |

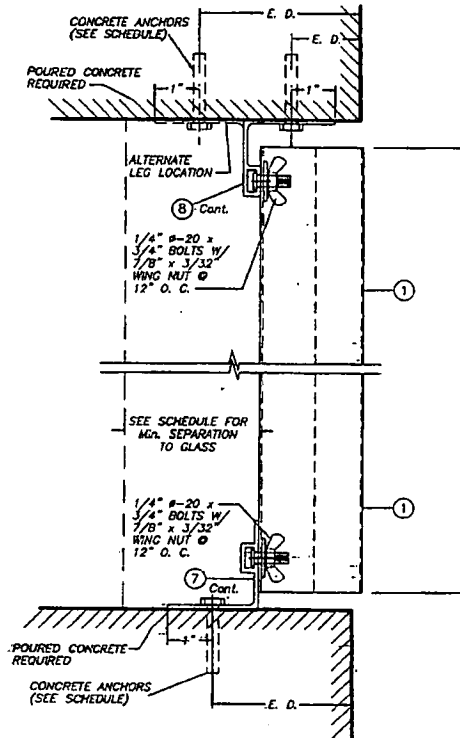
NOTE: DETAIL OF SECTION @ STUD VALID ALSO FOR WALL MOUNTING INSTALLATION - SECTION 2 (TOP)



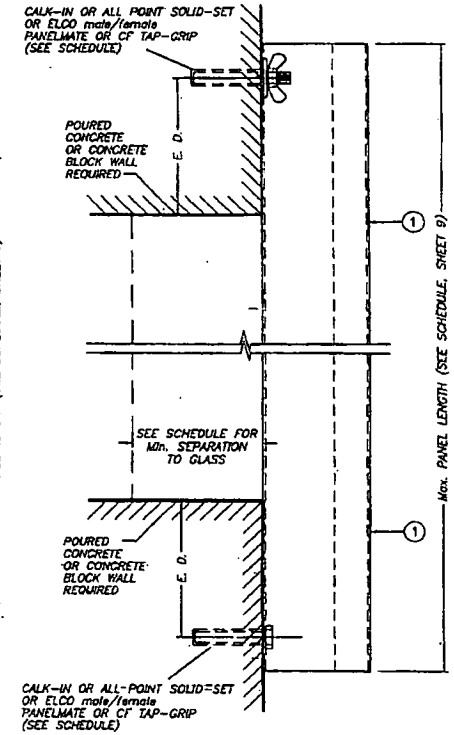
BUILD OUT INSTALLATION
- SECTION 5 SCALE: 3/8" = 1"



CEILING & FLOOR MOUNTING
INSTALLATION - SECTION 6
 SCALE: 3/8" = 1"



CEILING & FLOOR MOUNTING
INSTALLATION - SECTION 7
 SCALE: 3/8" = 1"

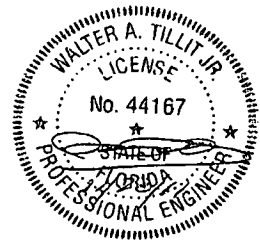


WALL MOUNTING INSTALLATION (D. M.)
- SECTION 8 SCALE: 3/8" = 1"

E. D. = EDGE DISTANCE
 (SEE SCHEDULE ON
 SHEETS 10 & 11 OF 15)

NOTE FOR COMBINATION OF SECTIONS:
 WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE
 COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

PRODUCT REVISED
 as complying with the Florida
 Building Code
 Acceptance No 12-0209.06
 Expiration Date 08/07/2013
 By *Walter A. Tillit Jr.*
 Miami Dodge Product Control

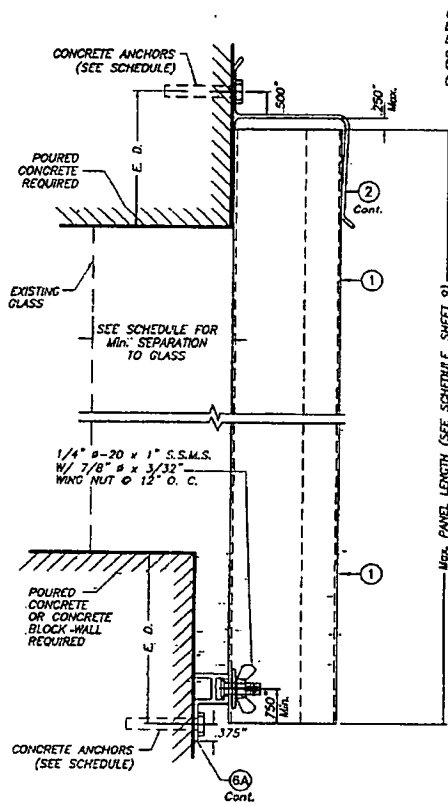


TILECO INC.
 TILLIT TESTING & ENGINEERING COMPANY
 8353 N.W. 38th St., Ste. 305, Miramar, Florida 33188
 Phone: (305) 871-1830 Fax: (305) 871-1831
 ED-0006719
 WALTER A. TILLIT JR., P. E.
 FLORIDA Lic. # 44167

FLORIDA BUILDING CODE (High Velocity Hurricane Zone)

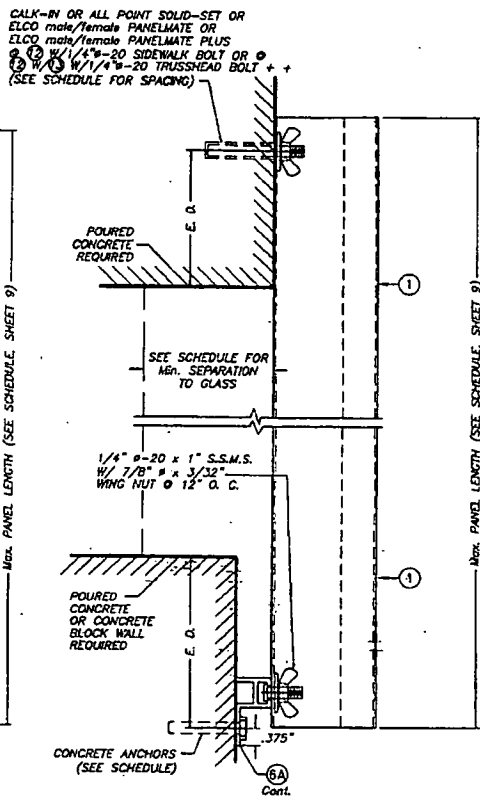
| | | |
|---|-------------|------------------------|
| 0.050" BERTHA ALUMINUM STORM PANEL | | L.G./A.G. DRAWN BY: |
| EASTERN METAL SUPPLY, INC. | | 11/15/11 DATE |
| 4268 WESTROADS DR. WEST PALM BEACH, FL 33407 | | 11-117 DRAWING NO |
| REV. NO | DESCRIPTION | DATE |
| 1 | OLD 05-078 | 01/15/11 |
| 2 | | |

SHEET 4 OF 15



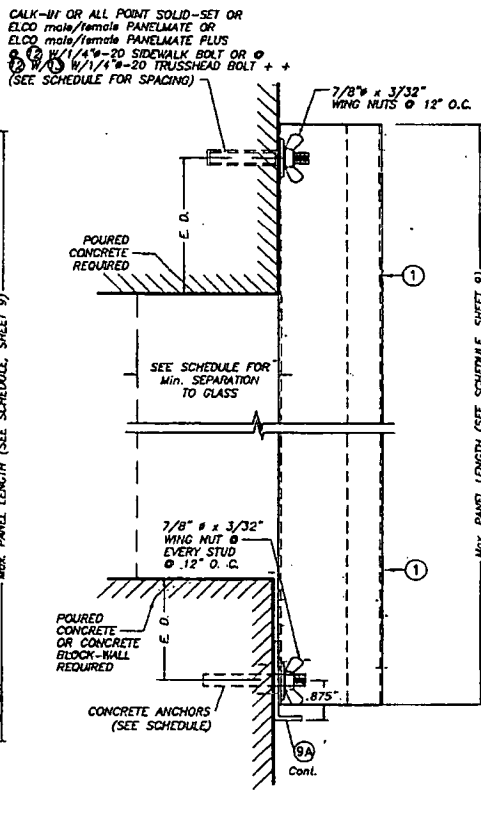
WALL MOUNTING INSTALLATION
SECTION 9

SCALE : 3/8" = 1"



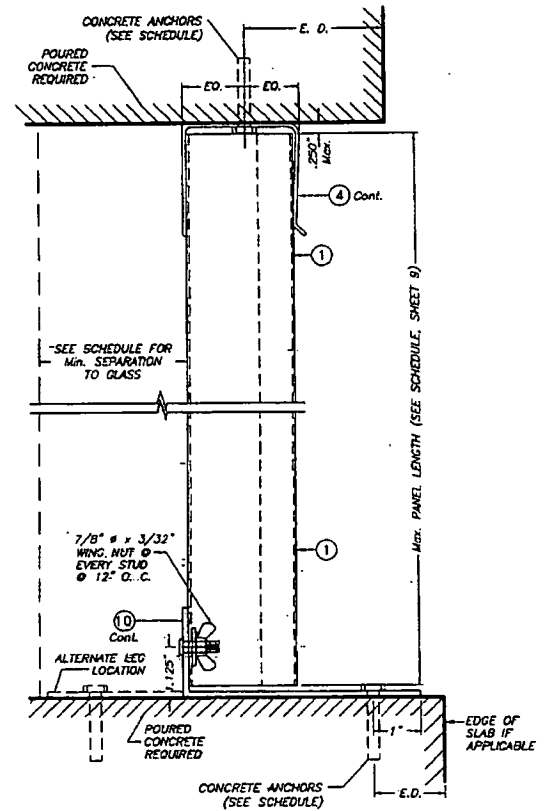
WALL MOUNTING INSTALLATION
SECTION 10

SCALE : 3/8" = 1"



WALL MOUNTING INSTALLATION
SECTION 11

SCALE : 3/8" = 1"



CEILING & FLOOR MOUNTING
INSTALLATION SECTION 12

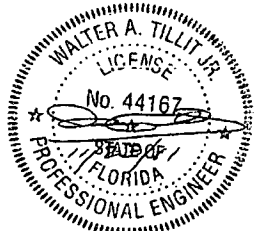
SCALE : 3/8" = 1"

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No 12-0209-06
Expiration Date 08/07/13
By *Walter A. Tillit Jr.*
Miami Dade Product Control

E. D. - EDGE DISTANCE
(SEE SCHEDULE ON
SHEETS 10 & 11 OF 15)

NOTE FOR COMBINATION OF SECTIONS :
WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE
COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

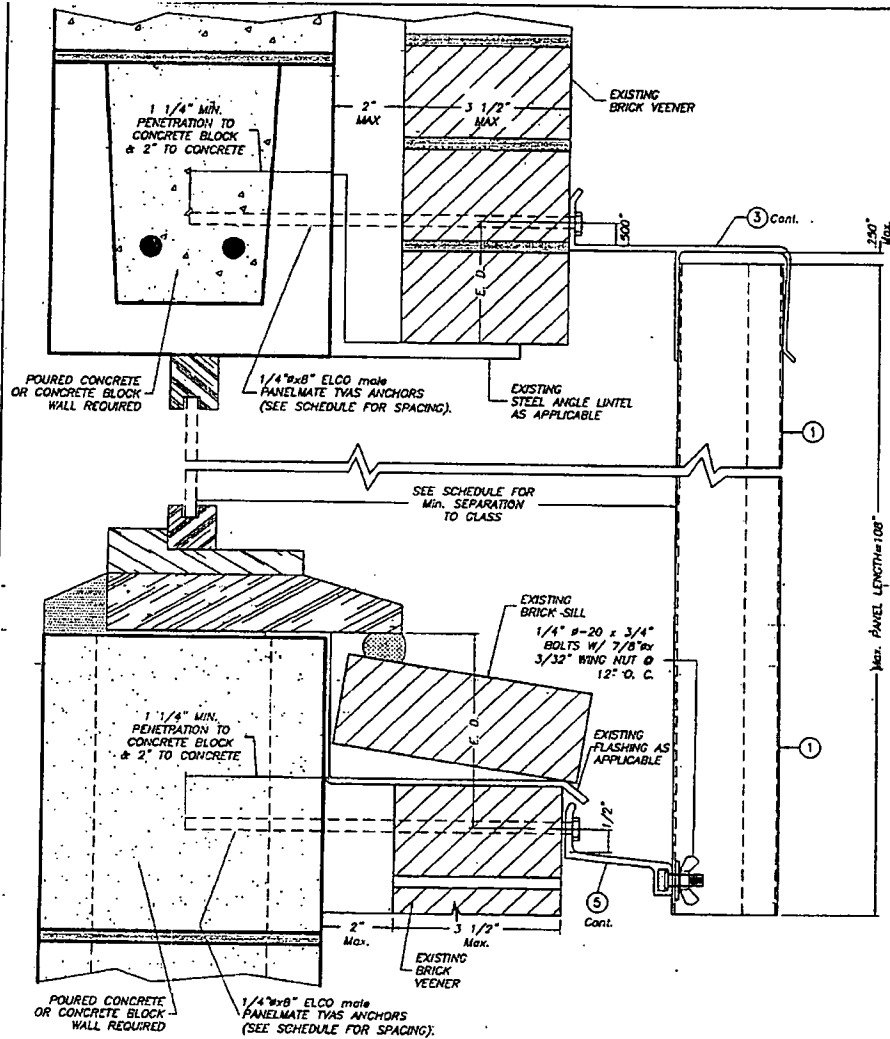
++ SIDE WALK BOLTS ARE 3/4" x 3/32" THICK
HEAD MACHINE SCREW W/LENGTH
AS PER NOTES A.2 & B.2 (SHEET 1)
++ TRUSS HEAD BOLTS ARE 1/2" x 1/8" THICK
HEAD MACHINE SCREW W/LENGTH
AS PER NOTES A.2 & B.2 (SHEET 1)



TILECO INC.
TILLIT TESTING & ENGINEERING COMPANY
6333 N.W. 38th St., Box 202, WESTPARK, FL 33166
Phone: (305) 871-1530 Fax: (305) 871-1531
EO-0005718
WALTER A. TILLIT, JR., P. E.
FLORIDA Lic. # 44167

FLORIDA BUILDING CODE (High Velocity Hurricane Zone)

| | | |
|---|-------------|------------------------|
| 0.050" BERTHA ALUMINUM STORM PANEL | | L.C./A.C. DRAWN BY: |
| EASTERN METAL SUPPLY, INC. | | 11/15/11 DATE |
| 4289 WESTROADS DR. WEST PALM BEACH, FL 33407 | | 11-117 DRAWING No |
| REV. NO | DESCRIPTION | DATE |
| 1 | OLD 05-070 | 11/15/11 |
| 2 | | |

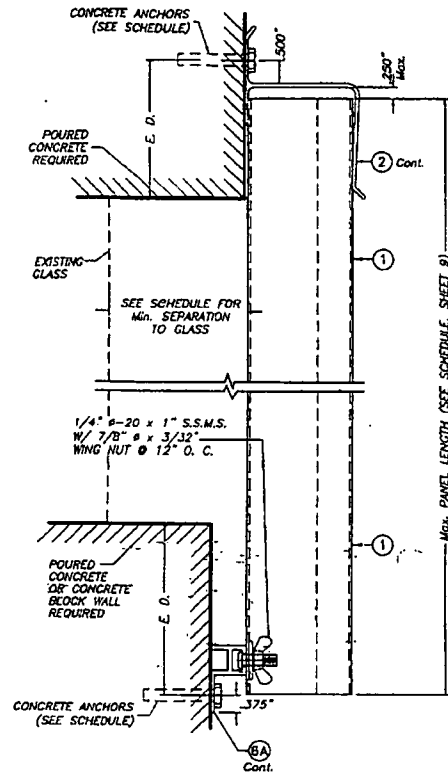


BUILD OUT INSTALLATION
SECTION 13

SCALE : 3/8" = 1"

E. D. = EDGE DISTANCE
(SEE SCHEDULE ON SHEETS 10 & 11 OF 15)

NOTE FOR COMBINATION OF SECTIONS :
WALL MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

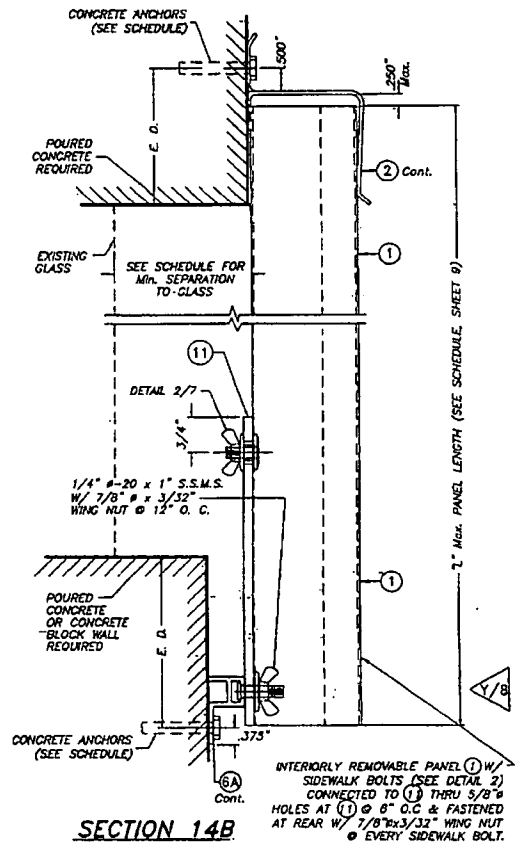


SECTION 14A

WALL MOUNTING INSTALLATIONS

SECTIONS 14

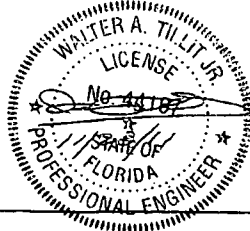
SCALE : 3/8" = 1"



SECTION 14B

INSTALLATIONS VALID FOR PANELS (1) USED JOINTLY WITH INTERIORLY REMOVABLE PANELS (1)

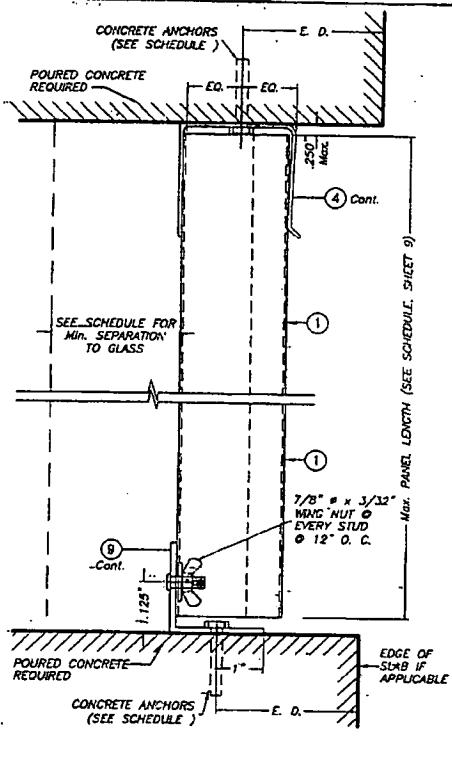
PRODUCT REVISED as complying with the Florida Building Code Acceptance No. 12-0209.06 Expiration Date 08/07/2013
By *[Signature]*
Miami Dad Product Control



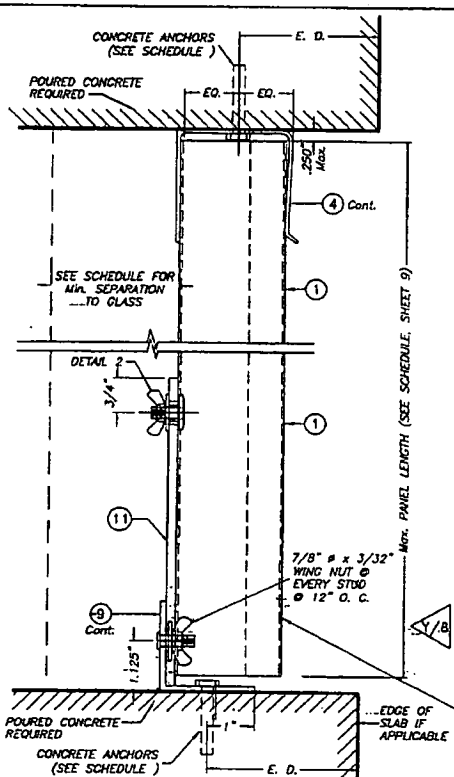
TILECO INC.
TILLIT TESTING & ENGINEERING COMPANY
8325 W.W. 200N, B1, Box 305, VERO BEACH, FL 32908
Phone : (888)871-1530, Fax : (888)871-1531
ED-0000219
WALTER A. TILLIT, J., P. E.
FLORIDA Lic. # 44107

FLORIDA BUILDING CODE (High Velocity Hurricane Zone)

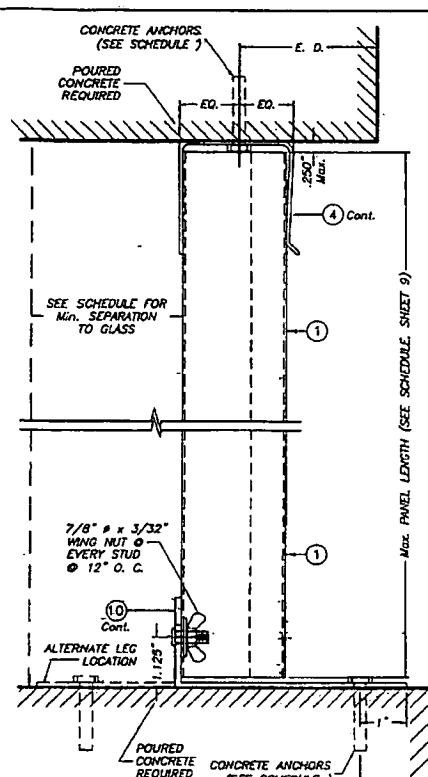
| | | |
|---|-------------|---------------------|
| 0.050" BERTHA ALUMINUM STORM PANEL | | L.O./A.O. DRAWN BY: |
| EASTERN METAL SUPPLY, INC. | | 11/15/11 DATE |
| 4288 WESTROADS DR. WEST PALM BEACH, FL 33407 | | 11-117 DRAWING No |
| REV. NO. | DESCRIPTION | DATE |
| 1 | OLD 05-078 | 11/15/11 |
| 2 | | |
| | | SHEET 8 OF 15 |



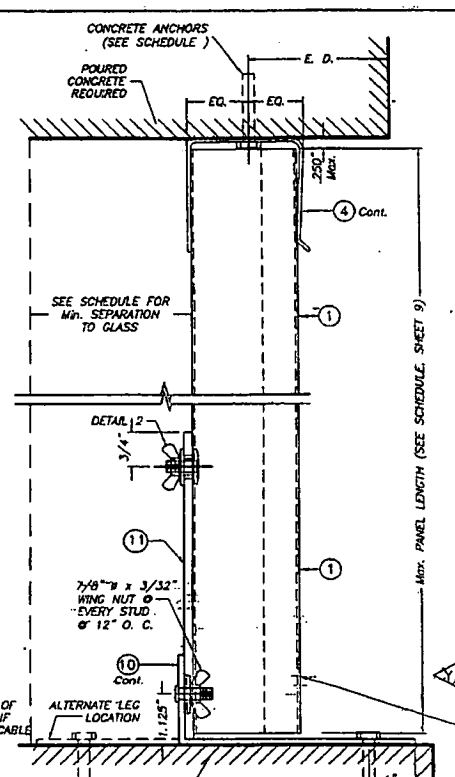
SECTION 15A
CEILING & FLOOR MOUNTING INSTALLATIONS
SECTIONS 15
 SCALE: 3/8" = 1"



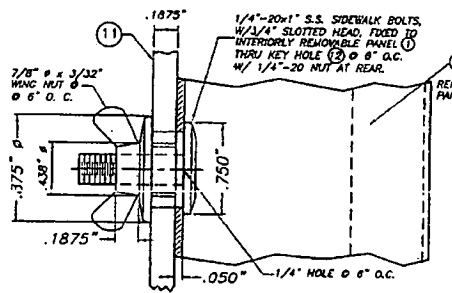
SECTION 15B
CEILING & FLOOR MOUNTING INSTALLATIONS
 INTERIORLY REMOVABLE PANEL (1) W/ SIDEWALK BOLTS (SEE DETAIL 2) CONNECTED TO (1) THRU 5/8\"/>



SECTION 16A
CEILING & FLOOR MOUNTING INSTALLATIONS
SECTIONS 16
 SCALE: 3/8" = 1"



SECTION 16B
CEILING & FLOOR MOUNTING INSTALLATIONS
 INTERIORLY REMOVABLE PANEL (1) W/ SIDEWALK BOLTS (SEE DETAIL 2) CONNECTED TO (1) THRU 5/8\"/>

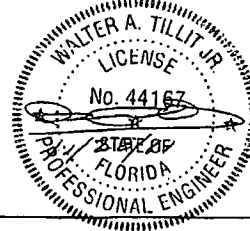


**DETAIL 2 - INSTALLATION OF 1/4\"/>
 SCALE: 1" = 1"**

INSTALLATIONS VALID FOR PANELS (1) USED JOINTLY WITH INTERIORLY REMOVABLE PANELS (1)

E. D. = EDGE DISTANCE (SEE SCHEDULE ON SHEET 10 & 11 OF 15)

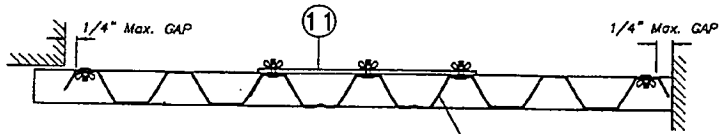
NOTE FOR COMBINATION OF SECTIONS:
 FLOOR/CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.



PRODUCT REVISED as complying with the Florida Building Code Acceptance No 12-0209.06 Expiration Date 02/07/15
 By *Walter A. Tillit Jr.*
 Miami Dade Product Control

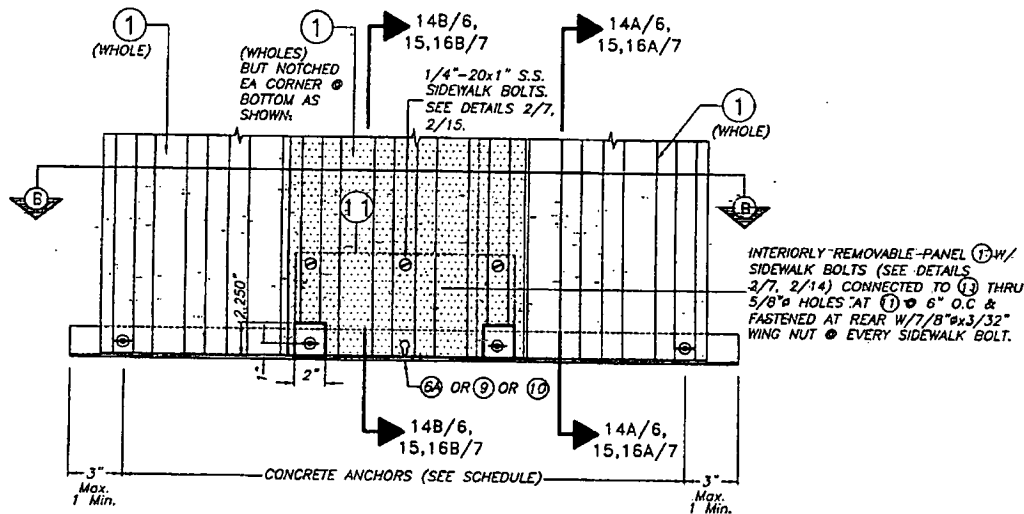
FLORIDA BUILDING CODE (High Velocity Hurricane Zone)

| | | | |
|--|-------------|---|---------------------|
| TILIT TESTING & ENGINEERING COMPANY 6535 A.W. JOHNSON ST., STE. 300, WINDYBARK GARAGE, FL 33149 Phone: (305)871-1530, Fax: (305)871-1531 EQ-000719 WALTER A. TILIT, JR., P. E. FLORIDA Lic. # 44167 | | 0.050" BERTHA ALUMINUM STORM PANEL | L.C./A.G. DRAWN BY: |
| | | EASTERN METAL SUPPLY, INC. | 11/15/11 DATE |
| | | 4268 WESTROADS DR. WEST PALM BEACH, FL 33407 | 11-117 DRAWING No |
| REV. NO | DESCRIPTION | DATE | REV. NO |
| 1 | OLD 05-07B | 1/15/11 | 3 |
| 2 | | | 4 |



SECTION B-B

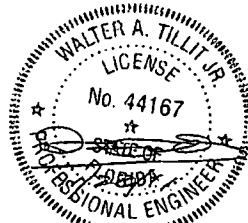
SCALE: 1/8" = 1"



**INTERIORLY REMOVABLE STORM PANEL
PARTIAL ELEVATION Y**

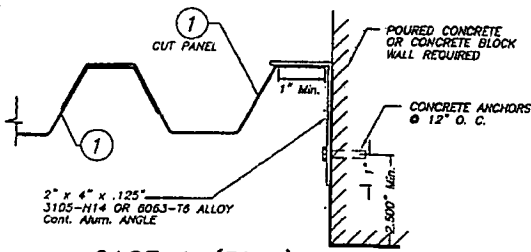
SCALE: 1/8" = 1"

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No 12-0209-06
Expiration Date 08/07/2013
By *Walter A. Tillit*
Miami Dade Product Control



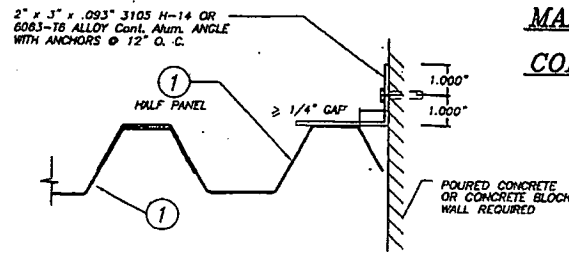
FLORIDA BUILDING CODE (High Velocity Hurricane Zone)

| | | | | | |
|--|-------------|------------------------------------|---------|------------------------|------|
| <small>TILLIT TESTING & ENGINEERING COMPANY 2325 N.W. 39th St. Ft. Wes. Picher Channels, FL 33188 Phone 1 (305) 851-1330 Fax 1 (305) 851-1331 EB-0006719 WALTER A. TILLIT, P. E. FLORIDA Lic. # 44167</small> | | 0.050" BERTHA ALUMINUM STORM PANEL | | L.C./A.G. DRAWN BY: | |
| | | EASTERN METAL SUPPLY, INC. | | 11/15/11 DATE | |
| <small>4268 WESTROADS DR. WEST PALM BEACH, FL 33407</small> | | 11-117 DRAWING NO | | | |
| REV. NO | DESCRIPTION | DATE | REV. NO | DESCRIPTION | DATE |
| 1 | OLD 05-078 | 1/16/11 | 3 | - | - |
| 2 | - | - | 4 | - | - |



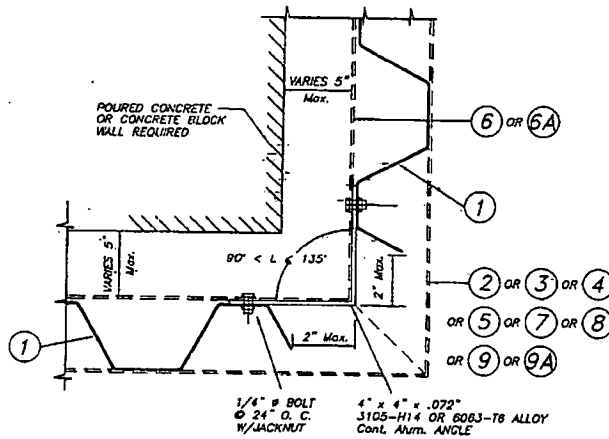
CASE A (Plan)

SCALE: 1/4" = 1"



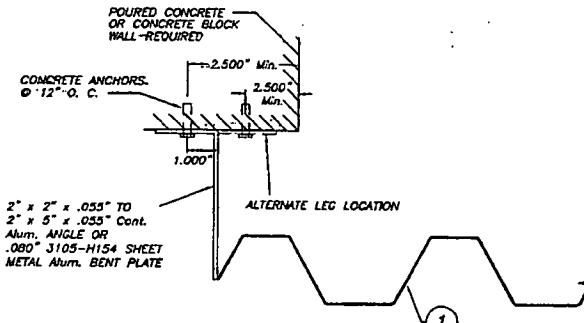
CASE D (Plan)

SCALE: 1/4" = 1"



CASE B (Plan)

SCALE: 1/4" = 1"



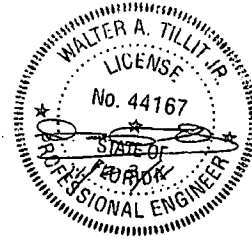
CASE C (Plan)

SCALE: 1/4" = 1"

MAXIMUM A.S.D. DESIGN PRESSURE RATING (p.s.f.) AND CORRESPONDING MAXIMUM PANEL LENGTH "L" SCHEDULE

| MAXIMUM A.S.D. DESIGN PRESSURE RATING W (p.s.f.) | Max. PANEL LENGTH L (ft.) (SEE SECTIONS) | MINIMUM SEPARATION TO GLASS | APPLICABLE TO SECTIONS # & ANY COMBINATION OF THEM |
|--|--|-----------------------------|--|
| +65.0, -77.0 | 8'-0" OR LESS | 2 1/4" | 1 THRU 8 |
| +65.0, -77.0 | 9'-0" OR LESS | 3 11/16" | 1 THRU 8 |
| +65.0, -72.0 | 9'-0" OR LESS | 3 1/2" | 11 |
| +62.0, -73.3 | 10'-0" OR LESS | 3 7/8" | 2, 6, 7 & 8 |
| +63.5, -63.5 | 9'-0" OR LESS | 3 1/2" | 9, 14, 10 |
| +65.0, -65.0 | 9'-0" OR LESS | 3 1/2" | 12, 15, 16 |
| +63.5, -63.5 | 9'-0" OR LESS | 3 3/4" | 13 |

END CLOSURES DETAILS



PRODUCT REVISED as complying with the Florida Building Code
 Acceptance No 12-0209.06
 Expiration Date 08/07/2013
 By *Walter A. Tillit Jr.*
 Miami Dade Product Control

FLORIDA BUILDING CODE (High Velocity Hurricane Zone)

| | | | |
|---|-------------|--------------------|--------|
| TILECO INC. | | L.C.A.G. DRAWN BY: | |
| TILLIT TESTING & ENGINEERING COMPANY 4323 N.W. 36th St., Ste. 303, WESTON, FL 33330 Phone: (305) 871-1530 Fax: (305) 871-1531 | | 11/15/11 DATE | |
| EASTERN METAL SUPPLY, INC. | | 11-117 DRAWING NO | |
| 4268 WESTROADS DR. WEST PALM BEACH, FL 33407 | | SHEET 9 OF 15 | |
| REV. # | DESCRIPTION | DATE | REV. # |
| 1 | OLD 05-078 | 11/15/11 | 3 |
| 2 | | | 4 |

MAXIMUM A.S.D. DESIGN PRESSURE RATING (p.s.f.) AND CORRESPONDING MAXIMUM ANCHOR SPACING SCHEDULE FOR INSTALLATIONS IN CONCRETE AND CONCRETE BLOCK STRUCTURES

| MAXIMUM A.S.D. DESIGN PRESSURE RATING (p.s.f.) | MAXIMUM ANCHOR SPACING FOR E. D. = 3 1/2" | | | | | | | | | | | | | | | | APPLICABLE TO SECTIONS F & ANY COMBINATION OF THEM | MAXIMUM PANEL LENGTH L' (PL) | |
|--|---|------------|----------------|------------|---------------|------------|-------------|------------|-------------|------------|-------------|------------|----------------|------------|-----------------|------------|--|------------------------------|--|
| | REGULAR SPACING | | CRETE-FLEX SS4 | | ZAMAC MAILING | | CALK-IN | | CF TAP-GRIP | | PANELMATE | | PANELMATE PLUS | | 410 S.S. TAPCON | | | | |
| | TO CONCRETE | TO MASONRY | TO CONCRETE | TO MASONRY | TO CONCRETE | TO MASONRY | TO CONCRETE | TO MASONRY | TO CONCRETE | TO MASONRY | TO CONCRETE | TO MASONRY | TO CONCRETE | TO MASONRY | TO CONCRETE | TO MASONRY | | | |
| 8" | N/A | N/A | N/A | N/A | N/A | 4" | N/A | N/A | N/A | 5" | N/A | 3 1/2" | N/A | N/A | N/A | N/A | N/A | 1 (TOP) | |
| 12" | 8" | N/A | N/A | 10" | 7 1/2" | 12" | 8" | N/A | N/A | 12" | 7" | 11" | 11" | 12" | 7 1/2" | N/A | N/A | 1 (BOTTOM) | |
| 12" | N/A | N/A | N/A | 10" | N/A | 12" | N/A | N/A | N/A | 12" | N/A | 11" | N/A | N/A | N/A | N/A | N/A | 2 (TOP) | |
| 12" | 6" | N/A | N/A | 10" | 7 1/2" | 12" | 8" | N/A | N/A | 12" | 8" | 11" | 11" | 12" | 7 1/2" | N/A | N/A | 2 (BOTTOM) | |
| 12" | N/A | N/A | N/A | 10" | N/A | 12" | N/A | N/A | N/A | 12" | N/A | 11" | N/A | N/A | N/A | N/A | N/A | 3 (TOP) | |
| 12" | 8" | N/A | N/A | 10" | 7 1/2" | 12" | 8" | N/A | N/A | 12" | 8" | 11" | 11" | 12" | 7 1/2" | N/A | N/A | 3 (BOTTOM) | |
| 12" | N/A | N/A | N/A | 10" | N/A | 12" | N/A | N/A | N/A | 12" | N/A | 11" | N/A | N/A | N/A | N/A | N/A | 4 (TOP) | |
| 12" | 6" | N/A | N/A | 10" | 7 1/2" | 12" | 8" | N/A | N/A | 12" | 8" | 11" | 11" | 12" | 7 1/2" | N/A | N/A | 4 (BOTTOM) | |
| 12" | N/A | N/A | N/A | 10" | N/A | 12" | N/A | N/A | N/A | 12" | N/A | 11" | N/A | N/A | N/A | N/A | N/A | 5 (TOP) | |
| 12" | 6" | N/A | N/A | 10" | 7 1/2" | 12" | 8" | N/A | N/A | 12" | 8" | 11" | 11" | 12" | 7 1/2" | N/A | N/A | 5 (BOTTOM) | |
| 8 1/2" | N/A | 12" | N/A | 5 1/2" | N/A | 7 1/2" | N/A | N/A | N/A | 8 1/2" | N/A | 11 1/2" | N/A | 11" | N/A | 9 1/2" | N/A | 6 (TOP) | |
| 8 1/2" | N/A | 12" | N/A | 5 1/2" | N/A | 7 1/2" | N/A | N/A | N/A | 8 1/2" | N/A | 11 1/2" | N/A | 11" | N/A | 9 1/2" | N/A | 6 (BOTTOM) | |
| 7 1/2" | N/A | 11 1/2" | N/A | 5" | N/A | 7" | N/A | 10 1/2" | N/A | 7" | N/A | 10 1/2" | N/A | 10" | N/A | 8 1/2" | N/A | 7 (TOP/BOTTOM) | |
| N/A | N/A | N/A | N/A | N/A | N/A | 12" | 8" | 12" | 12" | 8" | 8" | 8" | 8" | 12" | 12" | N/A | N/A | 8 (TOP/BOTTOM) | |
| 12" | N/A | 12" | N/A | N/A | N/A | 12" | N/A | N/A | N/A | N/A | N/A | 12" | N/A | 12" | N/A | 12" | N/A | 9 (TOP) | |
| 12" | 6" | 12" | 12" | N/A | N/A | 12" | 8" | N/A | N/A | N/A | N/A | 12" | 11" | 12" | 7 1/2" | 12" | 7 1/2" | 9 (BOTTOM) | |
| N/A | N/A | N/A | N/A | N/A | N/A | 12" | 8" | 12" | 12" | N/A | N/A | 12" | 8" | 12" | 8" | N/A | N/A | 10 (TOP) | |
| 12" | 6" | 12" | 12" | N/A | N/A | 12" | 8" | N/A | N/A | N/A | N/A | 12" | 10" | 12" | 7 1/2" | 12" | 7 1/2" | 10 (BOTTOM) | |
| N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | 12" | 11" | N/A | N/A | N/A | N/A | 13 (TOP) | |
| N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | 12" | 8" | N/A | N/A | N/A | N/A | 13 (BOTTOM) | |
| 12" | N/A | 12" | N/A | N/A | N/A | 12" | N/A | N/A | N/A | N/A | N/A | 12" | N/A | 12" | N/A | N/A | N/A | 14 (TOP) | |
| 12" | 6" | 12" | 12" | N/A | N/A | 12" | 8" | N/A | N/A | N/A | N/A | 12" | 11" | 12" | 7 1/2" | 12" | 7 1/2" | 14 (BOTTOM) | |
| 12" | 4 1/2" | 12" | 8" | N/A | N/A | 12" | 8 1/2" | N/A | N/A | N/A | N/A | 12" | 8" | 12" | 5 1/2" | 12" | 5 1/2" | 14 (BOTTOM) | |
| 11 1/2" | N/A | 12" | N/A | N/A | N/A | 12" | N/A | N/A | N/A | N/A | N/A | 12" | 8" | 12" | 5 1/2" | 12" | 5 1/2" | 14 (BOTTOM) | |
| 8 1/2" | N/A | 12" | N/A | N/A | N/A | 7 1/2" | N/A | 10 1/2" | N/A | N/A | N/A | 11 1/2" | N/A | 11" | N/A | 9 1/2" | N/A | 12 (TOP) | |
| 11 1/2" | N/A | 12" | N/A | N/A | N/A | 12" | N/A | N/A | N/A | N/A | N/A | 12" | N/A | 12" | N/A | 12" | N/A | 12 (BOTTOM) | |
| 8 1/2" | N/A | 12" | N/A | N/A | N/A | 7 1/2" | N/A | N/A | N/A | N/A | N/A | 11 1/2" | N/A | 11" | N/A | 9 1/2" | N/A | 15 (TOP) | |
| N/A | N/A | 3 1/2" | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | 11 1/2" | N/A | 11" | N/A | 9 1/2" | N/A | 15 (BOTTOM) | |
| 11 1/2" | N/A | 12" | N/A | N/A | N/A | 12" | N/A | N/A | N/A | N/A | N/A | 3" | N/A | 3" | N/A | 3" | N/A | 15 (BOTTOM) | |
| 8 1/2" | N/A | 12" | N/A | N/A | N/A | 7 1/2" | N/A | N/A | N/A | N/A | N/A | 11 1/2" | N/A | 11" | N/A | 9 1/2" | N/A | 16 (TOP) | |
| 3" | N/A | 4 1/2" | N/A | N/A | N/A | 3" | N/A | N/A | N/A | N/A | N/A | 4" | N/A | 4" | N/A | 4" | N/A | 16 (BOTTOM) | |
| 6" | N/A | N/A | N/A | 6" | N/A | 6" | N/A | N/A | N/A | 6" | N/A | 6" | N/A | N/A | N/A | N/A | N/A | 2 (TOP) | |
| 6" | 5 1/2" | N/A | N/A | 6" | 8" | 6" | 6" | 6" | 6" | 6" | 6" | 6" | 6" | 6" | 6" | 6" | 6" | 2 (BOTTOM) | |
| 6" | N/A | N/A | N/A | 4 1/2" | N/A | 6" | N/A | N/A | N/A | 6" | N/A | 5 1/2" | N/A | N/A | N/A | N/A | N/A | 6 (TOP) | |
| 6" | N/A | N/A | N/A | 4 1/2" | N/A | 6" | N/A | 8 1/2" | N/A | 6" | N/A | 5 1/2" | N/A | N/A | N/A | N/A | N/A | 6 (BOTTOM) | |
| 6" | N/A | N/A | N/A | 4" | N/A | 6" | N/A | 9 1/2" | N/A | 6" | N/A | 4 1/2" | N/A | N/A | N/A | N/A | N/A | 7 (TOP/BOTTOM) | |
| N/A | N/A | N/A | N/A | N/A | N/A | 6" | 6" | 12" | 12" | 6" | 6" | 6" | 6" | N/A | N/A | N/A | N/A | 8 (TOP/BOTTOM) | |

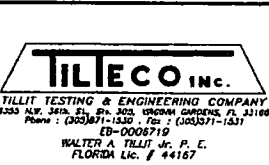
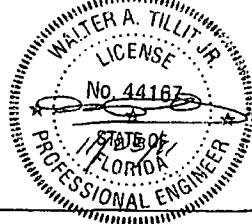
E. D. = EDGE DISTANCE

ANCHORS LEGEND

| ANCHOR TYPE | MIN. ANCHOR SPACING |
|---|---------------------|
| REGULAR TAPCON, 410 S.S. TAPCON, CRETE-FLEX SS4, ZAMAC MAILING, CF TAP-GRIP, PANELMATE OR PANELMATE PLUS. | 3.0" |
| CALK-IN | 2.5" |
| SOLID-SET | 3.5" |

* MAXIMUM ANCHOR SPACINGS ARE VALID FOR 3 1/2" EDGE DISTANCE. FOR E. D. LESS THAN 3 1/2", REDUCE ANCHOR SPACING BY MULTIPLYING SPACING SHOWN ON SCHEDULE BY THE FOLLOWING FACTORS. (NOTE: MIN. E. D. FOR CALK-IN ANCHORS IS 2 1/2") FOR THIS OPERATION TO BE POSSIBLE, REDUCED SPACING OBTAINED USING FACTOR SHALL NOT BE LESS THAN MINIMUM SPACING INDICATED FOR EACH ANCHOR TYPE AT ANCHORS LEGEND.

| ACTUAL E. D. | FACTOR | | | |
|--------------|--|---------|-----------|-------------|
| | REGULAR TAPCON, 410 S.S. TAPCON, CRETE-FLEX SS4, ZAMAC MAILING, PANELMATE OR PANELMATE PLUS. | CALK-IN | SOLID-SET | CF TAP-GRIP |
| 3" | .86 | .75 | .78 | 1.00 |
| 2 1/2" | .71 | .50 | - | .80 |
| 2" | .50 | - | - | - |



FLORIDA BUILDING CODE (High Velocity Hurricane Zone)

| | |
|---|--------------------|
| D.050" BERTHA ALUMINUM STORM PANEL | L.C.A.G. DRAWN BY: |
| EASTERN METAL SUPPLY, INC. | 11/15/11 DATE |
| 4368 WESTROADS DR. WEST PALM BEACH, FL 33407 | 11-117 DRAWING NO |
| REV. NO. DESCRIPTION DATE REV. NO. DESCRIPTION DATE | SHEET 10 OF 15 |
| 1 DLD 05-078 11/15/11 3 - - | |

PRODUCT REVISED as complying with the Florida Building Code Acceptance No 12-0209.06 Expiration Date 08/07/2013 By [Signature] Miami Dade Product Control

MAXIMUM A.S.D. DESIGN PRESSURE RATING (p.s.f.) AND CORRESPONDING MAXIMUM ANCHOR SPACING SCHEDULE FOR INSTALLATIONS INTO CONCRETE AND CONCRETE BLOCK STRUCTURES

| MAXIMUM A.S.D. DESIGN PRESSURE RATING (p.s.f.) | MAXIMUM ANCHOR SPACING FOR E. D. = 3 1/2" | | | | | | | | | | | | | | | | | | APPLICABLE TO SECTIONS # & ANY COMBINATION OF THEM | MAXIMUM PANEL LENGTH " (L) | | |
|--|---|------------|----------------|------------|---------------|------------|-------------|------------|-------------|------------|-------------|------------|-------------|------------|----------------|------------|-----------------|------------|--|----------------------------|-----------------|---|
| | REGULAR TAPCONS | | CRETE-FLEX SS4 | | ZAMAC NAILING | | CALK-IN | | SOLID-SET | | CF TAP-CRIP | | PANELMATES | | PANELMATE PLUS | | 410 S.S. TAPCON | | | | | |
| | TO CONCRETE | TO MASONRY | TO CONCRETE | TO MASONRY | TO CONCRETE | TO MASONRY | TO CONCRETE | TO MASONRY | TO CONCRETE | TO MASONRY | TO CONCRETE | TO MASONRY | TO CONCRETE | TO MASONRY | TO CONCRETE | TO MASONRY | TO CONCRETE | TO MASONRY | | | | |
| +65.0. -77.0 | 6" | N/A | N/A | N/A | 3" | N/A | 6" | N/A | N/A | N/A | 3 1/2" | N/A | 2 1/2" | N/A | N/A | N/A | N/A | N/A | N/A | 1 (TOP) | 9'-0" OR LESS | |
| | 12" | 5" | N/A | N/A | 10" | 6" | 12" | 7 1/2" | N/A | N/A | 12" | 6" | 9 1/2" | 9 1/2" | N/A | N/A | N/A | N/A | N/A | 1 (BOTTOM) | | |
| | 12" | N/A | N/A | N/A | 10" | N/A | 12" | N/A | N/A | N/A | 12" | N/A | 9 1/2" | N/A | N/A | N/A | N/A | N/A | N/A | 2 (TOP) | | |
| | 12" | 5" | N/A | N/A | 10" | 6" | 12" | 7 1/2" | N/A | N/A | 12" | 6 1/2" | 9 1/2" | 9" | N/A | N/A | N/A | N/A | N/A | 2 (BOTTOM) | | |
| | 12" | N/A | N/A | N/A | 10" | N/A | 12" | N/A | N/A | N/A | 12" | N/A | 9 1/2" | N/A | N/A | N/A | N/A | N/A | N/A | N/A | | 3 (TOP) |
| | 12" | 5" | N/A | N/A | 8" | 6" | 12" | 7 1/2" | N/A | N/A | 12" | 6 1/2" | 9 1/2" | 9" | N/A | N/A | N/A | N/A | N/A | N/A | | 3 (BOTTOM) |
| | 12" | N/A | N/A | N/A | 10" | N/A | 12" | N/A | N/A | N/A | 12" | N/A | 9 1/2" | N/A | N/A | N/A | N/A | N/A | N/A | N/A | | 4 (TOP) |
| | 12" | 5" | N/A | N/A | 8" | 6" | 12" | 7 1/2" | N/A | N/A | 12" | 6 1/2" | 9 1/2" | 9" | N/A | N/A | N/A | N/A | N/A | N/A | | 4 (BOTTOM) |
| | 12" | N/A | N/A | N/A | 8" | N/A | 12" | N/A | N/A | N/A | 12" | N/A | 9 1/2" | N/A | N/A | N/A | N/A | N/A | N/A | N/A | | 5 (TOP) |
| | 12" | 4 1/2" | N/A | N/A | 7" | 5" | 12" | 6" | N/A | N/A | 10" | 5" | 7 1/2" | 7 1/2" | N/A | N/A | N/A | N/A | N/A | N/A | | 5 (BOTTOM) |
| | 7" | N/A | N/A | N/A | 4 1/2" | N/A | 6" | N/A | N/A | N/A | 7" | N/A | 5" | N/A | N/A | N/A | N/A | N/A | N/A | N/A | | 6 (TOP) |
| | 7" | N/A | N/A | N/A | 4 1/2" | N/A | 6" | N/A | 9" | N/A | 7" | N/A | 5" | N/A | N/A | N/A | N/A | N/A | N/A | N/A | | 6 (BOTTOM) |
| | 6" | N/A | N/A | N/A | 4" | N/A | 5 1/2" | N/A | 9" | N/A | 6" | N/A | 4 1/2" | N/A | N/A | N/A | N/A | N/A | N/A | N/A | | 7 (TOP/BOTTOM) |
| | N/A | N/A | N/A | N/A | N/A | N/A | 12" | 6" | 12" | 12" | 12" | 6" | 6" | 6" | N/A | N/A | N/A | N/A | N/A | N/A | | 8 (TOP/BOTTOM) |
| +65.0. -72.0 | 8 1/2" | N/A | 12" | N/A | N/A | N/A | 6" | N/A | 9 1/2" | N/A | N/A | N/A | 9" | N/A | 9" | N/A | 7 1/2" | N/A | N/A | 7 (TOP/BOTTOM) | 9'-0" OR LESS | |
| | N/A | N/A | N/A | N/A | N/A | N/A | 12" | 6" | 12" | 12" | N/A | N/A | 12" | 6" | 12" | 6" | N/A | N/A | N/A | 11 (TOP) | | |
| +62.0. -73.3 | 12" | 5 1/2" | 12" | 10 1/2" | N/A | N/A | 12" | 8" | 12" | 12" | N/A | N/A | 12" | 9 1/2" | 12" | 6 1/2" | 12" | 7" | N/A | 11 (BOTTOM) | 9'-0" TO 10'-0" | |
| | 6" | N/A | N/A | N/A | 6" | N/A | 6" | N/A | 12" | 12" | 6" | N/A | 6" | N/A | N/A | N/A | N/A | N/A | N/A | N/A | | 2 (TOP) |
| | 6" | 5" | N/A | N/A | 6" | 5 1/2" | 6" | 6" | N/A | N/A | 6" | 6" | 6" | 6" | N/A | N/A | N/A | N/A | N/A | N/A | | 2 (BOTTOM) |
| | 6" | N/A | N/A | N/A | 4" | N/A | 6" | N/A | N/A | N/A | 6" | N/A | 5" | N/A | N/A | N/A | N/A | N/A | N/A | N/A | | 6 (TOP) |
| | 6" | N/A | N/A | N/A | 4" | N/A | 6" | N/A | 8" | N/A | 6" | N/A | 5" | N/A | N/A | N/A | N/A | N/A | N/A | N/A | | 6 (BOTTOM) |
| | 6" | N/A | N/A | N/A | 5" | N/A | 6" | N/A | 8" | N/A | 5 1/2" | N/A | 4" | N/A | N/A | N/A | N/A | N/A | N/A | N/A | | 7 (TOP/BOTTOM) |
| | N/A | N/A | N/A | N/A | N/A | N/A | 6" | 6" | 12" | 12" | 6" | 6" | 6" | 6" | N/A | N/A | N/A | N/A | N/A | N/A | | 8 (TOP/BOTTOM) |
| | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | 12" | 12" | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | | 1 (BOTTOM) 10 (TOP) 11 (TOP/BOTTOM) |

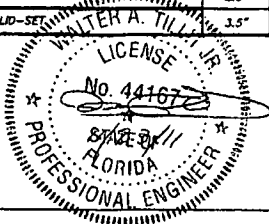
E. D. = EDGE DISTANCE

• MAXIMUM ANCHOR SPACINGS ARE VALID FOR 3 1/2" EDGE DISTANCE. FOR E. D. LESS THAN 3 1/2" REDUCE ANCHOR SPACING BY MULTIPLYING SPACING SHOWN ON SCHEDULE BY THE FOLLOWING FACTORS. (NOTE: MIN. E. D. FOR CALK-IN ANCHORS IS 2 1/2") FOR THIS OPERATION TO BE POSSIBLE, REDUCED SPACING OBTAINED USING FACTOR SHALL NOT BE LESS THAN MINIMUM SPACING INDICATED FOR EACH ANCHOR TYPE AT ANCHORS LEGEND.

| ACTUAL E. D. | FACTOR | | | |
|--------------|--|---------|-----------|-------------|
| | REGULAR TAPCON, 410 S.S. TAPCON, CRETE-FLEX SS4, ZAMAC NAILING, PANELMATE OR PANELMATE PLUS. | CALK-IN | SOLID-SET | CF TAP-CRIP |
| 3" | .50 | .12 | .78 | 1.00 |
| 2 1/2" | .71 | .50 | - | .80 |
| 2" | .50 | - | - | - |

ANCHORS LEGEND

| ANCHOR TYPE | Min. ANCHOR SPACING |
|---|---------------------|
| REGULAR TAPCON, 410 S.S. TAPCON, CRETE-FLEX SS4, ZAMAC NAILING, CF TAP-CRIP, PANELMATE OR PANELMATE PLUS. | 3.0" |
| CALK-IN | 2.5" |
| SOLID-SET | 3.5" |



TILECO INC.
TILLIT TESTING & ENGINEERING COMPANY
4322 N.W. 24th St., Ste. 302, Vero Beach, FL 32964
Phone 1 (888)871-1830 Fax 1 (888)871-1531
EG-0006719
WALTER A. TILL, Jr., P. E.
FLORIDA Lic. # 44167

FLORIDA BUILDING CODE (High Velocity Hurricane Zone)

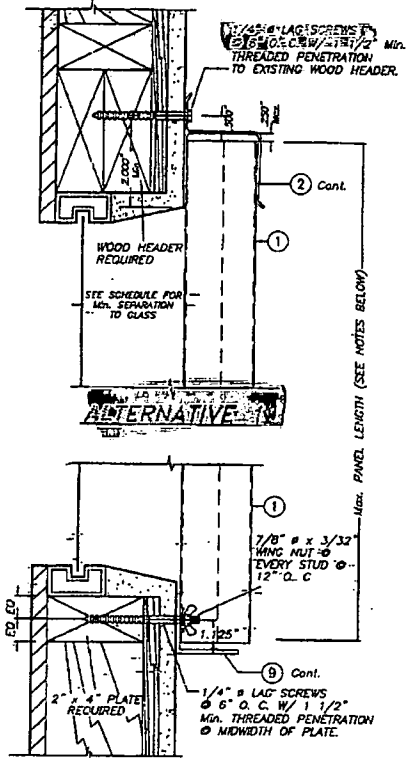
0.050" BERTHA ALUMINUM STORM PANEL

EASTERN METAL SUPPLY, INC.
4288 WESTROADS DR.
WEST PALM BEACH, FL 33407

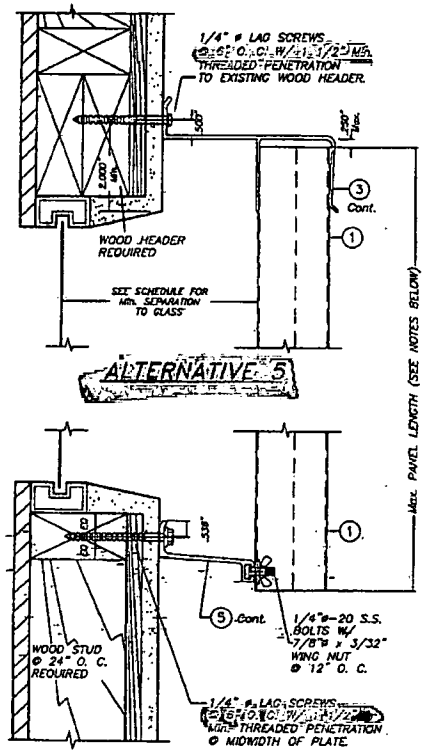
L.C./A.G. DRAWN BY:
11/15/11 DATE
11-117 DRAWING No
SHEET 11 OF 15

| REV. NO. | DESCRIPTION | DATE | REV. NO. | DESCRIPTION | DATE |
|----------|-------------|----------|----------|-------------|------|
| 1 | OLD 05-078 | 11/15/11 | 1 | - | - |
| 2 | - | - | 2 | - | - |

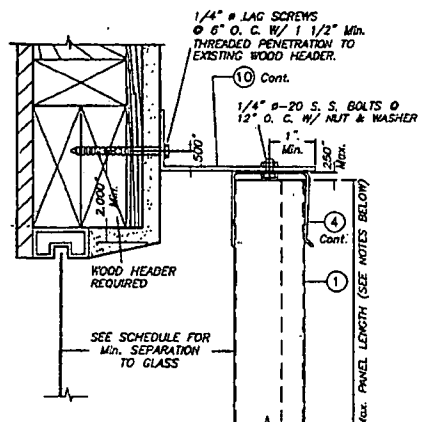
PRODUCT REVISED as complying with the Florida Building Code Acceptance No 12-0209-06 Expiration Date 08/27/2013
By: *Walter A. Till, Jr.*
Miami Dade Product Control



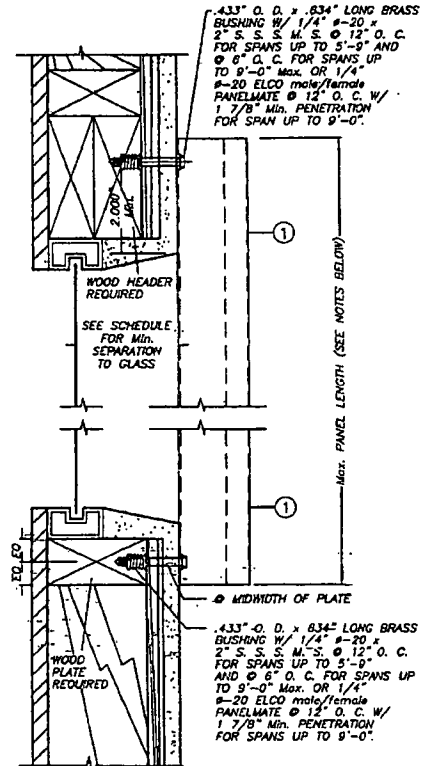
ALTERNATIVE 2



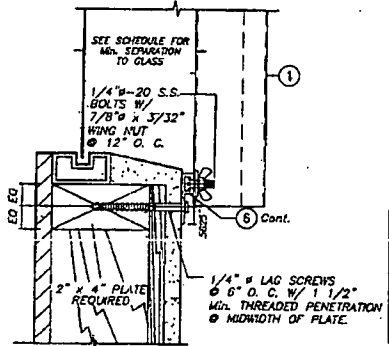
ALTERNATIVE 5



ALTERNATIVE 7



ALTERNATIVE 8



ALTERNATIVE 3

NOTE FOR COMBINATION OF SECTIONS:
WALL MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

NOTES:
1. INSTALLATIONS ARE ONLY VALID FOR A.S.D DESIGN PRESSURE RATING UP TO +65.0, -72.0 psf AND PANEL'S LENGTHS UP TO 9'-0", EXCEPT AS NOTED.
2. FOR NEW WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.53 OR EQUAL.

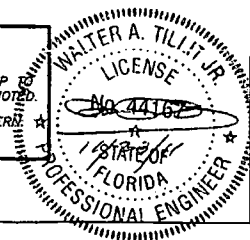
WALL MOUNTING INSTALLATIONS

SECTIONS A

SCALE: 1/4" = 1"

INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS

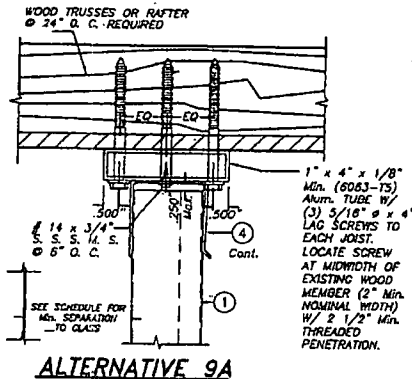
PRODUCT REVISED as complying with the Florida Building Code Acceptance No 12-0209.06 Expiration Date 08/07/2019
By *[Signature]*
Miami Dade Product Control



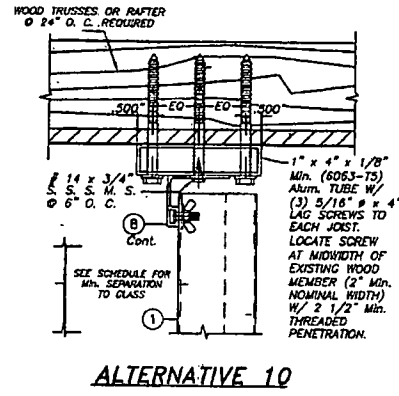
TILECO INC.
TILLIT TESTING & ENGINEERING COMPANY
6355 N.W. 34th St., 2nd Fl., West Palm Beach, FL 33414
Phone: 1 (800) 871-1530, Fax: 1 (305) 871-1531
EQ-0008718
WALTER A. TILLIT, JR., P. E.
FLORIDA Lic. # 44167

FLORIDA BUILDING CODE (High Velocity Hurricane Zone)

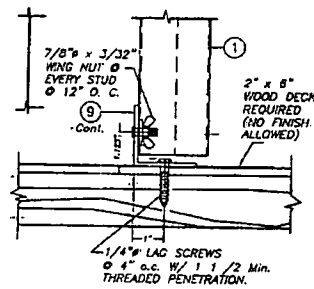
| | | | |
|---|-------------|--------------------|----------------|
| 0.050" BERTHA ALUMINUM STORM PANEL | | L.G.A.G. DRAWN BY: | |
| EASTERN METAL SUPPLY, INC. | | 11/15/11 DATE | |
| 4268 WESTROADS DR. WEST PALM BEACH, FL 33407 | | 11-117 DRAWING No | |
| REV. NO | DESCRIPTION | DATE | REV. No |
| 1 | OLD 05-078 | 11/15/11 | 3 |
| 2 | | | |
| | | | SHEET 12 OF 15 |



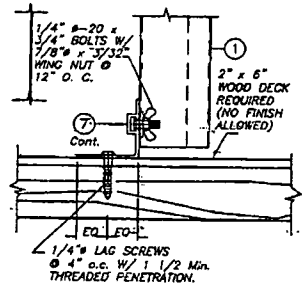
ALTERNATIVE 9A



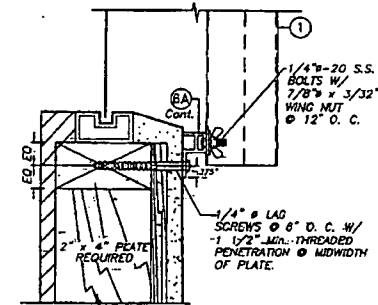
ALTERNATIVE 10



ALTERNATIVE 9

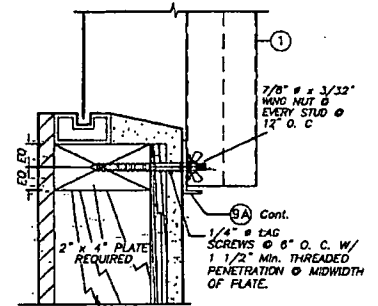


ALTERNATIVE 11



ALTERNATIVE 12 *

* VALID FOR Max. A.S.D. PRESSURE RATING OF +63.5, -63.5 psf.



ALTERNATIVE 14

CEILING & FLOOR MOUNTING INSTALLATIONS

SCALE: 1/4" = 1"

WALL MOUNTING INSTALLATION

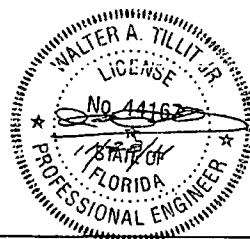
SCALE: 1/4" = 1"

NOTE FOR COMBINATION OF SECTIONS:
WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No 12-0209-06
Expiration Date 08/07/2013
By *Walter A. Tilt Jr.*
Miami Dade Product Control

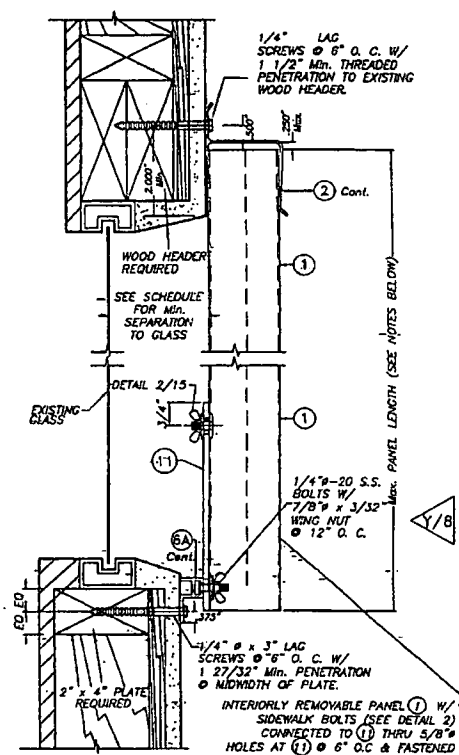
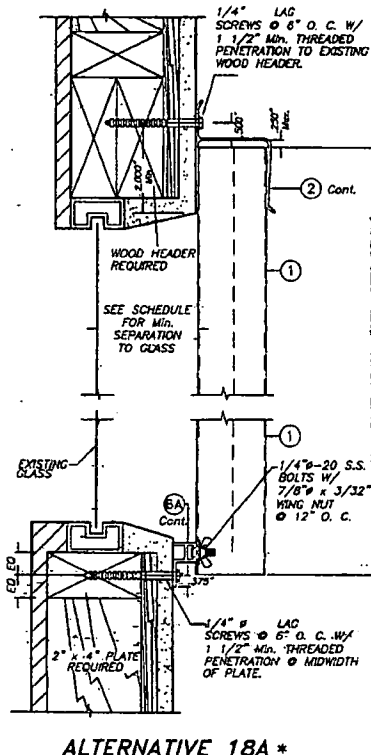
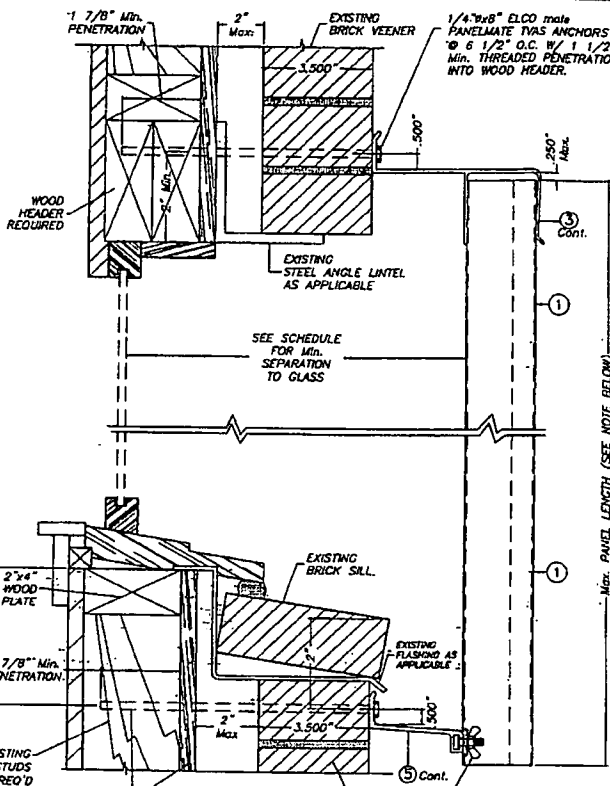
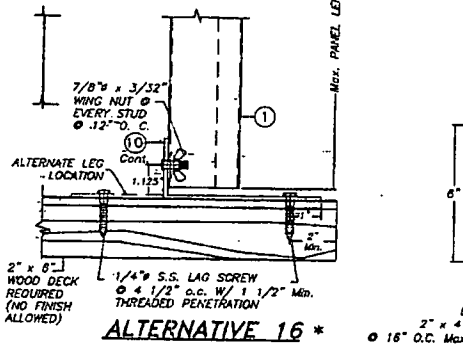
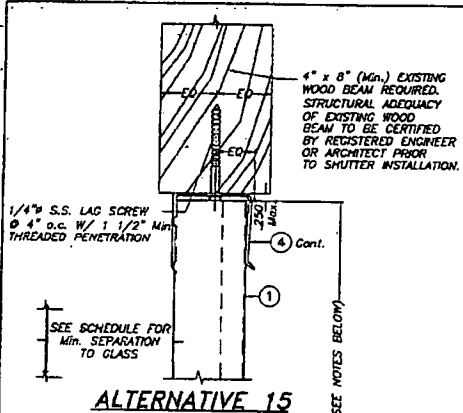
NOTES:
1. INSTALLATIONS ARE ONLY VALID FOR A.S.D. DESIGN PRESSURE RATING UP TO +65.0 -72.0 psf AND PANEL'S LENGTHS UP TO 9'-0", EXCEPT AS NOTED.
2. FOR NEW WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL.



TILECO INC.
TILT TESTING & ENGINEERING COMPANY
4350 N.W. 34th St., Ste. 202, WESTLAND, FLORIDA 33140
Phone 1 (305) 871-1533 Fax 1 (305) 871-1531
ED-0008719
WALTER A. TILT JR., P. E.
FLORIDA LIC. # 44162

FLORIDA BUILDING CODE (High Velocity Hurricane Zone)

| | | |
|---|-------------|-----------------------|
| 0.050" BERTHA ALUMINUM STORM PANEL | | L.C.A.G. DRAWN BY: |
| EASTERN METAL SUPPLY, INC. | | 11/15/11 DATE |
| 4268 WESTROADS OR. WEST PALM BEACH, FL 33407 | | 11-117 DRAWING No |
| REV. NO | DESCRIPTION | DATE |
| 1 | OLD 05-078 | 1/15/11 |
| 2 | | |



**CEILING & FLOOR
MOUNTING INSTALLATIONS**

SCALE: 1/4" = 1"

NOTE FOR COMBINATION OF SECTIONS:
WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE
COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

NOTES:

- INSTALLATIONS ARE ONLY VALID FOR A.S.D. DESIGN PRESSURE RATING UP TO +63.0 -63.0 psf AND PANEL'S LENGTHS UP TO 9'-0", EXCEPT AS NOTED.
- FOR NEW WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL.

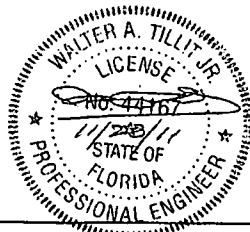
ALTERNATIVE 17 *
* VALID FOR Max. A.S.D. DESIGN PRESSURE
RATING +63.5, -63.5 psf.

BUILD-OUT INSTALLATION
SCALE: 1/4" = 1"

INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No 12-0209-06
Expiration Date 08/07/2013
By: *Walter A. Tilt, Jr.*
Miami Dade Product Control

WALL MOUNTING INSTALLATIONS
SECTIONS 18 * VALID FOR Max. A.S.D. DESIGN PRESSURE
SCALE: 1/4" = 1" RATING +63.5, -63.5 psf.
**INSTALLATIONS VALID FOR PANELS ① USED JOINTLY
WITH INTERIORLY REMOVABLE PANELS ①**



TILECO INC.
TILIT TESTING & ENGINEERING COMPANY
6533 N.W. 28th St., Ste. 302, VERO BEACH, FL 33162
Phone: (305)871-1330 Fax: (305)871-1331
EB-0006719
WALTER A. TILT, JR., P. E.
FLORIDA Lic. # 44167

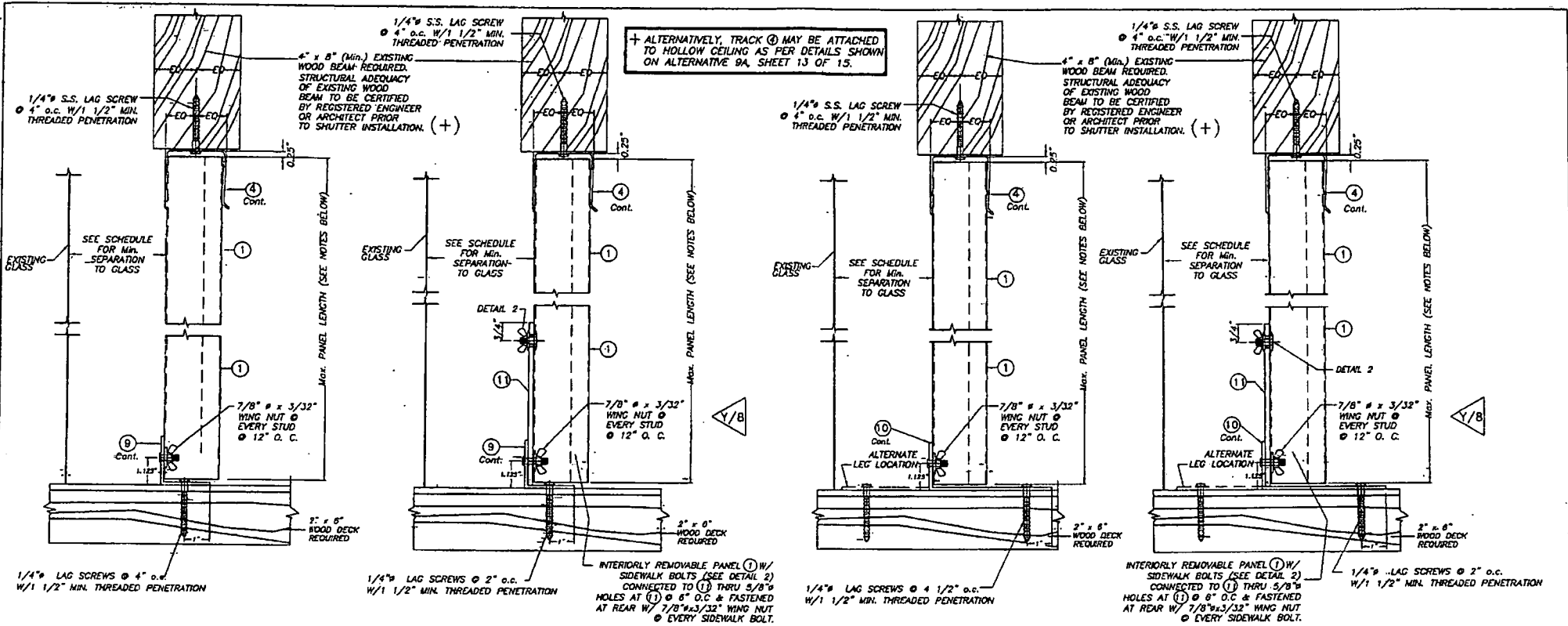
FLORIDA BUILDING CODE (High Velocity Hurricane Zone)

0.050" BERTHA ALUMINUM STORM PANEL

EASTERN METAL SUPPLY, INC.
4268 WESTROADS DR.
WEST PALM BEACH, FL 33407

L.C.A.G. DRAWN BY:
11/15/11
DATE
11-117
DRAWING NO
SHEET 14 OF 15

| REV. NO | DESCRIPTION | DATE | REV. NO | DESCRIPTION | DATE |
|---------|-------------|----------|---------|-------------|------|
| 1 | OLD 05-078 | 11/15/11 | 2 | - | - |
| 2 | - | - | 3 | - | - |



ALTERNATIVE 19A

CEILING & FLOOR MOUNTING INSTALLATIONS

SECTIONS 19

SCALE: 1/4" = 1"

ALTERNATIVE 19B

ALTERNATIVE 20A

ALTERNATIVE 20B

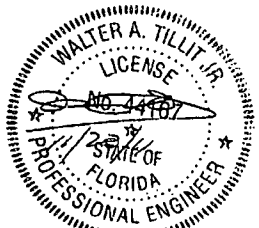
CEILING & FLOOR MOUNTING INSTALLATIONS

SECTIONS 20

SCALE: 1/4" = 1"

PRODUCT REVISED to comply with the Florida Building Code Acceptance No. 12-0209.06 Expiration Date 02/07/2013

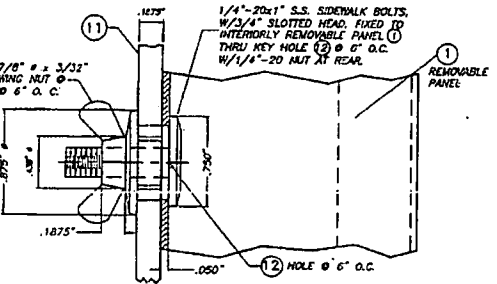
By *Walter A. Tillit Jr.* Miami Dade Product Control



INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS

NOTE FOR COMBINATION OF SECTIONS:
FLOOR/CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

- NOTES:**
- INSTALLATIONS ARE ONLY VALID FOR A.S.D. DESIGN PRESSURE RATING UP TO +65.0 -65.0 psf AND PANEL'S LENGTHS UP TO 9'-0".
 - FOR NEW WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL.



DETAIL 2 - INSTALLATION OF 1/4" x 1" SIDEWALK BOLTS @ REMOVABLE PANEL

SCALE: 1" = 1"

FLORIDA BUILDING CODE (High Velocity Hurricane Zone)

| <p>TILLIT TESTING & ENGINEERING COMPANY 4325 N.W. 34th St., Ste. 202, OPAWA GARDENS, FL 33140 Phone: (305)871-1430, Fax: (305)871-1631 EO-0006719 WALTER A. TILLIT JR., P. E. FLORIDA Lic. # 44187</p> | 0.050" BERTHA ALUMINUM STORM PANEL | L.C./A.G. DRAWN BY: | | | | | | | | | | | | | | | | | | |
|--|--|---------------------|----------|-------------|-------------|------|---|------------|----------|---|---|---|---|---|---|---|---|---|-------------------|----------------|
| | EASTERN METAL SUPPLY, INC. 4268 BRESTROADS DR. WEST PALM BEACH, FL 33407 | 11/15/11 DATE | | | | | | | | | | | | | | | | | | |
| <table border="1"> <thead> <tr> <th>REV. NO.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY: (IN)</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>OLD 03-07B</td> <td>11/15/11</td> <td>3</td> <td>-</td> <td>-</td> </tr> <tr> <td>2</td> <td>-</td> <td>-</td> <td>4</td> <td>-</td> <td>-</td> </tr> </tbody> </table> | REV. NO. | DESCRIPTION | DATE | BY: (IN) | DESCRIPTION | DATE | 1 | OLD 03-07B | 11/15/11 | 3 | - | - | 2 | - | - | 4 | - | - | 11-117 DRAWING No | SHEET 15 OF 15 |
| REV. NO. | DESCRIPTION | DATE | BY: (IN) | DESCRIPTION | DATE | | | | | | | | | | | | | | | |
| 1 | OLD 03-07B | 11/15/11 | 3 | - | - | | | | | | | | | | | | | | | |
| 2 | - | - | 4 | - | - | | | | | | | | | | | | | | | |

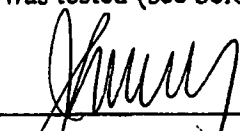
GUA
FWP

FLORIDA ENERGY CONSERVATION CODE
Mandatory Duct Inspection Certification for HVAC change-out
For use when part of the duct and/or HVAC system has been replaced (Section 101.4.7.1.1 & FS 553.912)

| | |
|--|------------------------------------|
| Owner: <u>MRS BELL</u> | Contractor name: <u>CENTURY AK</u> |
| Street address: <u>34 S. SEWALL'S PT. RD</u> | Jurisdiction: |
| City: <u>STUART</u> | Permit No.: <u>10441</u> |
| Zip: <u>34991</u> | Final inspection date: |

I certify that I have inspected the duct work associated with the HVAC unit referenced by the permit listed above and found it complies with the requirements of Section 101.4.7.1.1 as indicated below:

- Where needed, the existing ducts have been sealed using reinforced mastic or code-approved equivalent.
- Ducts are located within conditioned space. (Section 101.4.7.1.1 exception 1)
- The joints or seams are already sealed with fabric and mastic (Section 101.4.7.1.1 exception 2)
- System was tested (see below) and repairs were made as necessary – (Section 101.4.7.1.1 exception 3)

Signature:  Date: 5/03/13

Printed Name: GARY ROBERTS

Contractor License #: CAC057676

I certified I have tested the replaced air distribution system(s) referenced by the permit listed above at a pressure differential of 25 Pascals (0.10 in. w.c.).

Signature: _____ Date: _____

Printed Name: _____

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 5-2-13 Page 1 of 1

| PERMIT # | OWNER/ADDRESS/CONTRACTOR | INSPECTION TYPE | RESULTS | COMMENTS |
|-----------------|-------------------------------|---|-----------------|-------------------------------|
| 10433 | Gilbert | Final | Pass | close |
| 1 ST | 29 Feldway Honest Air | | | INSPECTOR |
| | 3 Reverview | Investigate | | |
| 9AM | 3 Berigeviu | | per | INSPECTOR |
| | 10438 Kramer | Final | | |
| | 115 Ridgeway Gulfstream | Shutter | Pass | Close INSPECTOR |
| | 9881 Kramer | Final | | |
| | 115 Ridgeway Paragon Air | AP | | INSPECTOR |
| | 10265 Morales | Final addition | Pass | close |
| 930 1000 | 10 N Ridgeway Gubben Const | call if not ^{going} (260-9106) | | INSPECTOR |
| | | WEEDS | | |
| | NEXT TO 2 PALM CT | DEAD VEGETATION | Letter | SENT INSPECTOR |
| | | | | INSPECTOR |

10485

A/C CHANGEOUT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

| | | | |
|------------------------|----------------------|-----------------------|--------------------|
| PERMIT NUMBER: | 10485 | DATE ISSUED: | JUNE 13, 2013 |
| SCOPE OF WORK: | AC CHANGEOUT | | |
| CONTRACTOR: | SHARKEY AIR | | |
| PARCEL CONTROL NUMBER: | 013841006-005-000700 | SUBDIVISION | HOMEWOOD, L7, BL E |
| CONSTRUCTION ADDRESS: | 11 S RIDGEVIEW RD | | |
| OWNER NAME: | KRAMER | | |
| QUALIFIER: | KEVIN SHARKEY | CONTACT PHONE NUMBER: | 220-2487 |

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

| | | | |
|------------------------|-------|------------------------|-------|
| UNDERGROUND PLUMBING | _____ | UNDERGROUND GAS | _____ |
| UNDERGROUND MECHANICAL | _____ | UNDERGROUND ELECTRICAL | _____ |
| STEM-WALL FOOTING | _____ | FOOTING | _____ |
| SLAB | _____ | TIE BEAM/COLUMNS | _____ |
| ROOF SHEATHING | _____ | WALL SHEATHING | _____ |
| TIE DOWN /TRUSS ENG | _____ | INSULATION | _____ |
| WINDOW/DOOR BUCKS | _____ | LATH | _____ |
| ROOF DRY-IN/METAL | _____ | ROOF TILE IN-PROGRESS | _____ |
| PLUMBING ROUGH-IN | _____ | ELECTRICAL ROUGH-IN | _____ |
| MECHANICAL ROUGH-IN | _____ | GAS ROUGH-IN | _____ |
| FRAMING | _____ | METER FINAL | _____ |
| FINAL PLUMBING | _____ | FINAL ELECTRICAL | _____ |
| FINAL MECHANICAL | _____ | FINAL GAS | _____ |
| FINAL ROOF | _____ | BUILDING FINAL | _____ |

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point BUILDING PERMIT APPLICATION

Date: 5/16/13

Permit Number: 10485

OWNER/LESSEE NAME: KRAMER ROBERT S & KATHRYN J Phone (Day) (772) 288-0296 (Fax) _____

Job Site Address: 11 S RIDGEVIEW RD City: STUART State: FL Zip: 34996-6450

Legal Description HOMEWOOD, LOT 7 BLK E Parcel Control Number: 01-38-41-006-005-00070-0

Fee Simple Holder Name: _____ Address: _____

City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):** AC Changeout

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner/Builder questionnaire must accompany application)
YES _____ NO

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 7120.00
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10: _____ AE9 _____ AE8
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only; Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: SHARKEY AIR LLC Phone 772-220-2487 Fax 772-220-3787

Qualifiers name: KEVIN M SHARKEY Street: 7862 SW ELLIPSE WAY City: STUART State: FL Zip: 34996

State License Number: CAC1816853 OR: Municipality _____ License Number: _____

LOCAL CONTACT: KEVIN M SHARKEY Phone Number: 772-260-0179

DESIGN PROFESSIONAL: _____ State License # _____

Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof: _____ Elevated Deck: _____ Enclosed area below BFE: _____

* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

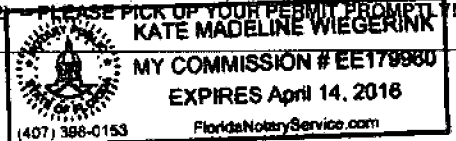
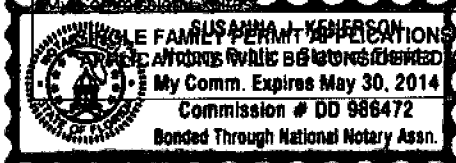
- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
- IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS; OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1:1-5.

******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER/AGENT/LESSEE - NOTARIZED SIGNATURE:
X [Signature]
State of Florida, County of: Martin
On This the 16th day of may, 2013
by Robert S. Kramer who is personally
known to me or produced _____
As identification, [Signature]
Notary Public 5/30/2014

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:
X [Signature]
State of Florida, County of: MARTIN
On This the 16TH day of MAY, 2013
by KEVIN M. SHARKEY who is personally
known to me or produced KNOWN TO ME
As identification, [Signature]
Notary Public
My Commission Expires: APRIL 14, 2016



SINGLE FAMILY PERMITS APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER PERMITS MUST BE ISSUED WITHIN 90 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.2) PLEASE PICK UP YOUR PERMIT PROMPTLY! ABANDONED AFTER 180 DAYS (FBC 105.3.2)

**Martin County, Florida
Laurel Kelly, C.F.A**

generated on 5/22/2013 10:11:13 AM EDT

Summary

| Parcel ID | Account # | Unit Address | Market Total Value | Website Updated |
|--------------------------|-----------|-------------------------------------|--------------------|-----------------|
| 01-38-41-006-005-00070-0 | 17675 | 11 S RIDGEVIEW ROAD, SEWALL'S POINT | \$455,220 | 5/18/2013 |

Owner Information

| | |
|---------------------------|---|
| Owner(Current) | KRAMER ROBERT S & KATHRYN J |
| Owner/Mail Address | 11 S RIDGEVIEW RD STUART FL 34996-6450 |
| Sale Date | 4/2/1997 |
| Document Book/Page | 1229 1179 |
| Document No. | |
| Sale Price | 76000 |

Location/Description

| | | | |
|-----------------------|-------------------------------------|--------------------------|--------------------------|
| Account # | 17675 | Map Page No. | SP-04 |
| Tax District | 2200 | Legal Description | HOMEWOOD, LOT 7 BLK E |
| Parcel Address | 11 S RIDGEVIEW ROAD, SEWALL'S POINT | | |
| Acres | .3430 | | |

Parcel Type

| | |
|---------------------|---------------------------------------|
| Use Code | 0100 Single Family |
| Neighborhood | 120400 Hmwd,Palm Ro,Kngstn,Okwd, Pine |

Assessment Information

| | |
|---------------------------------|-----------|
| Market Land Value | \$175,000 |
| Market Improvement Value | \$280,220 |
| Market Total Value | \$455,220 |



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

A/C PERMIT APPLICATION 2010 FLORIDA BUILDING CODE

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

Please make sure you have ALL required copies before submitting permit application

- 1 Copy Completed permit application
- 2 Copies of the following:
 - a. Manufacturer's data sheet to include make, model, seer/eer, tonnage, electrical requirements, refrigerant piping size, and AHRI listing page.
 - n/a b. Replacing ductwork requires Manual D layout plan with grille sizes
 - c. Manual J calculations.
 - d. Condenser tie down and Air Handler mounting details
 - e. A/C change out affidavit
 - f. Mandatory Duct inspection Certification

******NOTE: LOCKING ACCESS PORT CAPS ARE REQUIRED FOR REFRIGERANT LINES
LOCATED OUT DOORS PER FBC/R – M1411.6**

COMMERCIAL APPLICATIONS ADDITIONALLY REQUIRE

- _____ 2 Copies A/C Stand NOA or Engineers letter to retrofit to existing mounts.
- _____ Smoke Detectors in supply duct for units over 2000 CFM



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

Air Conditioning Change out Affidavit

Residential Commercial _____

Package Unit ___ Yes No (Use Condenser side of form below for equipment listing)

Duct Replacement ___ Yes No - Refrigerant line replacement ___ Yes No

Flushing Existing Refrigerant lines Yes ___ No - Adding Refrigerant Drier Yes ___ No

Rooftop A/C Stand Installation ___ Yes No - Curb Installation ___ Yes No

Smoke Detector in Supply (over 2000 CFM) ___ Yes No

One form required for each A/C system installed

REPLACEMENT SYSTEM COMPONENTS

Air handler: Mfg: RHEEM Model# RBHP24J11
 Volts 208/240 CFM's 1800 Heat Strip 10 Kw
 Min. Circuit Amps 51 Wire gauge 6
 Max. Breaker size 60 Min. Breaker size 60
 Ref. line size: Liquid 3/8 Suction 7/8
 Refrigerant type 410A
 Location: Existing New _____
 Attic/Garage/Closet (specify) OUTSIDE CLOSET
 Access: _____

Condenser: Mfg RHEEM Model# 14AJM49A01
 Volts 208-230 SEER/EER 16 BTU's 45500
 Min. Circuit Amps 27 Wire gauge 8
 Max. Breaker size 45 Min. Breaker size 35
 Ref. line size: Liquid 3/8 Suction 7/8
 Refrigerant type 410A
 Location: Existing New _____
 Left/Right/Rear/Front/Roof RIGHT SIDE
 Condensate Location LEFT SIDE

NOTE: CONTRACTOR MUST SUPPLY A PROPER LADDER IF REQUIRED FOR INSPECTION

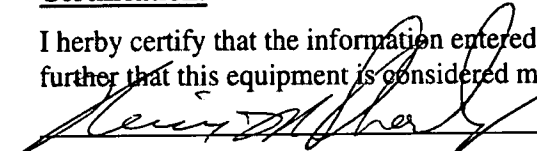
EXISTING SYSTEM COMPONENTS

Air handler: Mfg: RHEEM Model# RBFA2131
 Volts 208/240 CFM's 1800 Heat Strip 10 Kw
 Min. Circuit Amps 49 Wire gauge 6
 Max. Breaker size 50 Min. Breaker size 60
 Ref. line size: Liquid 3/8 Suction 7/8
 Refrigerant type R22
 Location: Ext. New _____
 Attic/Garage/Closet (specify) OUTSIDE CLOSET
 Access: _____

Condenser: Mfg RHEEM Model# RAMA048JAZ
 Volts 208/230 SEER/EER UNKNOWN BTU's 44900
 Min. Circuit Amps 28 Wire gauge 8
 Max. Breaker size 45 Min. Breaker size 40
 Ref. line size: Liquid 3/8 Suction 7/8
 Refrigerant type R22
 Location: Ext. New _____
 Left/Right/Rear/Front/Roof RIGHT SIDE
 Condensate Location LEFT SIDE

Certification:

I herby certify that the information entered on this form accurately represents the equipment installed and further that this equipment is considered matched as required by FBC - R (N)1107 & 1108



 Signature

5-16-13

 Date



This combination qualifies for a Federal Energy Efficiency Tax Credit when placed in service between Feb 17, 2009 and Dec 31, 2013.

Certificate of Product Ratings

AHRI Certified Reference Number: 3930029

Date: 5/15/2013

Product: Split System: Air-Cooled Condensing Unit, Coil with Blower

Outdoor Unit Model Number: 14AJM49

Indoor Unit Model Number: RBHP-24+RCHL-48A1

Manufacturer: RHEEM MANUFACTURING COMPANY

Trade/Brand name: RHEEM 14AJM SERIES

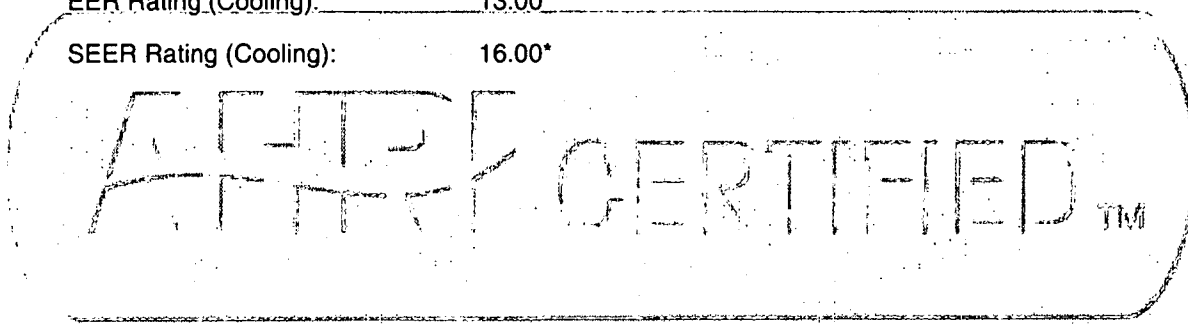
Manufacturer responsible for the rating of this system combination is RHEEM MANUFACTURING COMPANY

Rated as follows in accordance with AHRI Standard 210/240-2008 for Unitary Air-Conditioning and Air-Source Heat Pump Equipment and subject to verification of rating accuracy by AHRI-sponsored, independent, third party testing:

Cooling Capacity (Btuh): 45500*

EER Rating (Cooling): 13.00*

SEER Rating (Cooling): 16.00*



* Ratings followed by an asterisk (*) indicate a voluntary rerate of previously published data, unless accompanied with a WAS, which indicates an involuntary rerate.

DISCLAIMER

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CERTIFICATE VERIFICATION

The information for the model cited on this certificate can be verified at www.ahridirectory.org, click on "Verify Certificate" link and enter the AHRI Certified Reference Number and the date on which the certificate was issued, which is listed above, and the Certificate No., which is listed below.





DesignStar Load Calculation

Results are intended for use with Rheem heating and cooling systems

The New Degree of Comfort™

Customer Information

| | |
|-----------------------|-------------------------------------|
| Street Address | 11 S Ridgeview Rd, Stuart, FL 34996 |
| Latitude, Longitude | 26.6726°, -80.0706° |
| House Square Footage: | 2059 sq. ft. |
| Name: | Kramer |
| Phone: | |
| Email: | |

House Information

| | |
|----------------------------|-------------|
| SHR | .75 |
| Number of residents | 2 |
| Ceiling height | 9 |
| Wall U-value R-value | 0.09 11 |
| Floor U-value R-value | 0.2 5 |
| Ceiling U-value R-value | 0.0833 12 |
| Window U-value | 1.0 |
| Window SHGF | 0.85 |
| Moisture grains | 64 |
| Duct loss % | 10 |
| Duct gain % | 10 |
| Cooling infiltration (ACH) | 0.6 |
| Heating infiltration (ACH) | 0.8 |
| Winter ventilation | 0 |
| Summer ventilation | 0 |

[Handwritten signature] 5/16/13

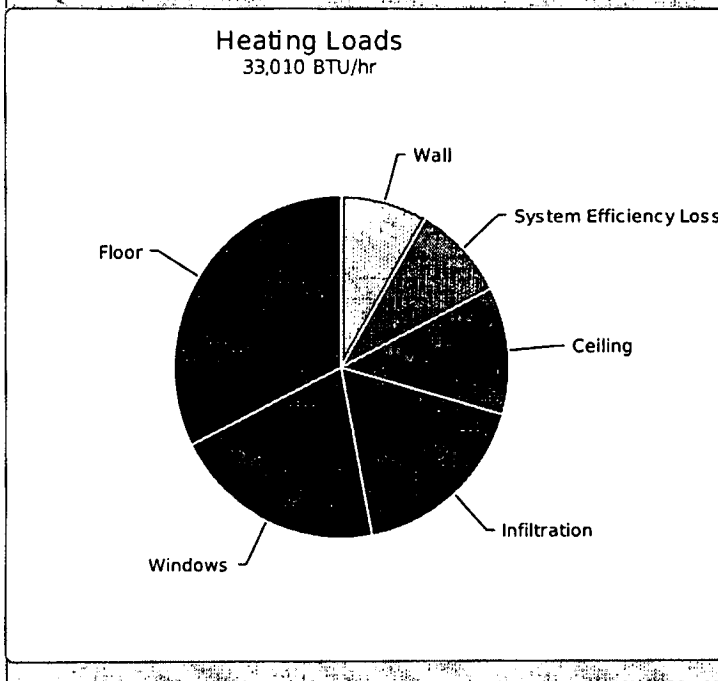
Design Conditions

| Outdoor | Heating | Cooling |
|---------------------|---------|---------|
| Dry bulb (°F) | 47 | 90 |
| Daily range | | M |
| Relative humidity | | 50% |
| Moisture difference | | 64 |

| Indoor | Heating | Cooling |
|-----------------------------------|---------|---------|
| Indoor temperature (°F) | 70 | 75 |
| Design temperature difference(°F) | 23 | 15 |

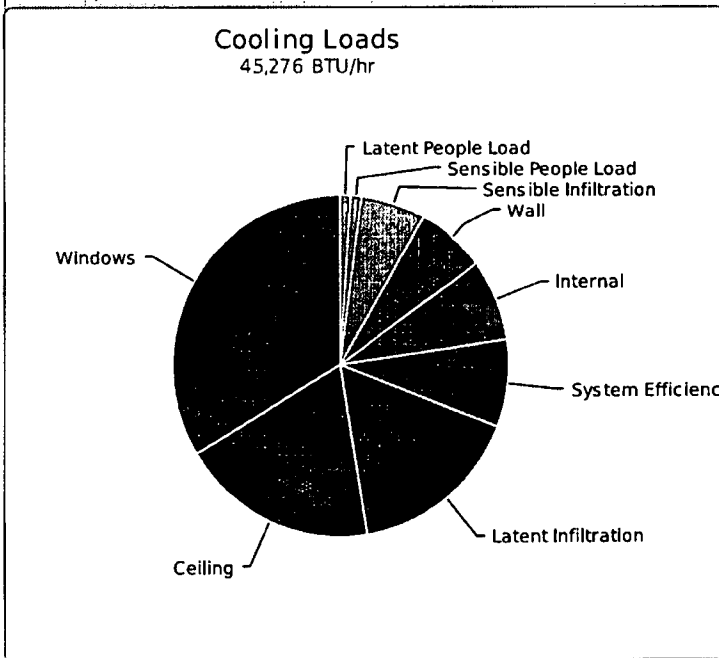
Heating Loads

| Area | Btuh | % of load |
|------------------------|-------|-----------|
| Wall | 2771 | 8.4 |
| Floor | 10695 | 32.4 |
| Ceiling | 3945 | 12 |
| Windows | 6785 | 20.6 |
| Infiltration | 5814 | 17.6 |
| System Efficiency Loss | 3001 | 9.1 |
| Total: | 33010 | |

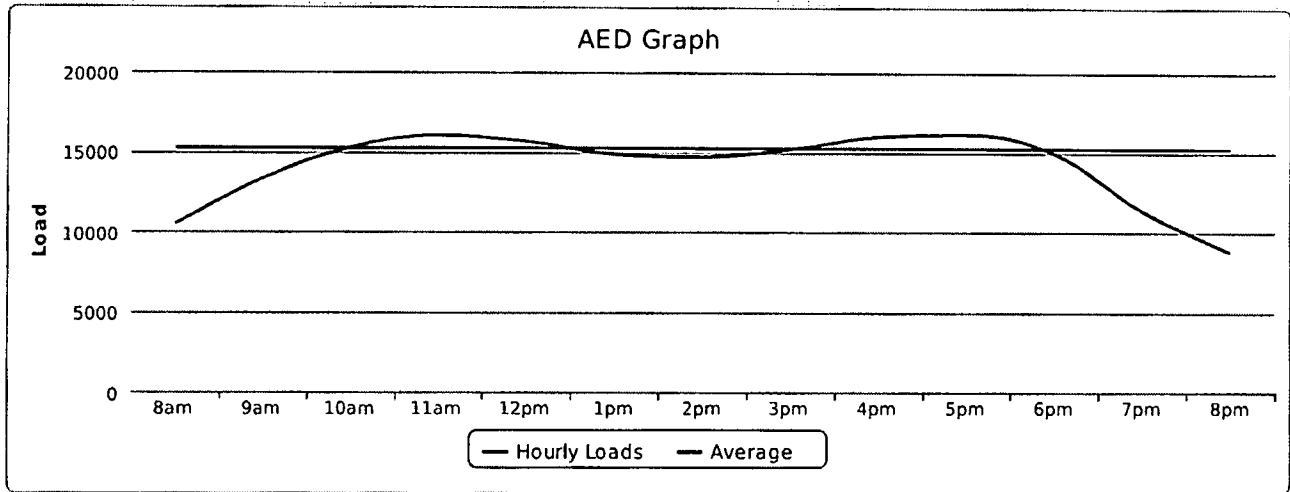


Cooling Loads

| Area | Btuh | % of load |
|------------------------|--------------|-----------|
| Wall | 3012 | 6.7 |
| Ceiling | 8576 | 18.9 |
| Windows | 15210 | 33.6 |
| Sensible Infiltration | 2844 | 6.3 |
| Latent Infiltration | 7500 | 16.6 |
| System Efficiency Gain | 3714 | 8.2 |
| Internal | 3500 | 7.7 |
| Sensible People Load | 460 | 1 |
| Latent People Load | 460 | 1 |
| Total: | 45276 | |
| Sensible load | 37316 | |
| Latent load | 7960 | |
| SHR | 0.82 | |
| Capacity at .75 SHR | 4.15 Tons | |



Adequate Exposure Diversity



Equipment selection

System equipment selection will be made using the following derived values.

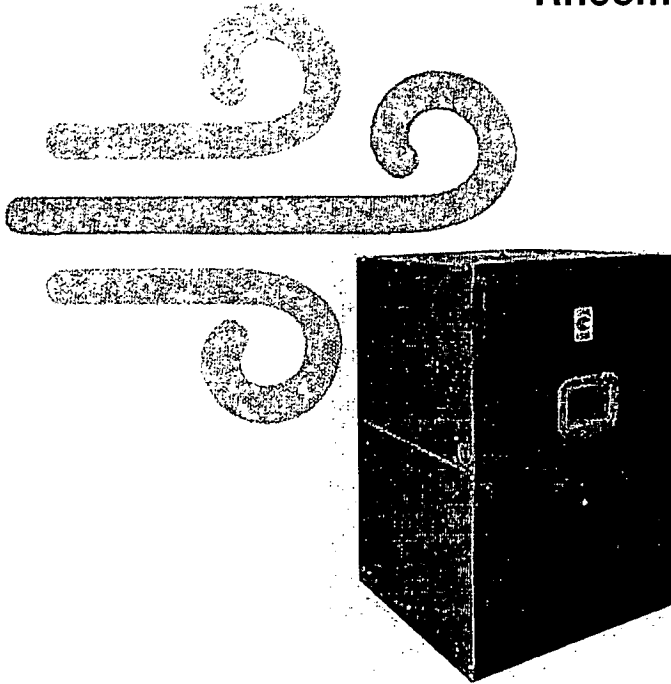
| | |
|--------------------------|-------------|
| Glass (SE) | 149 sq. ft. |
| Glass (SW) | 21 sq. ft. |
| Glass (NE) | 21 sq. ft. |
| Glass (NW) | 104 sq. ft. |
| Summer Outdoor | 90°F |
| Summer Wet Bulb | 78°F |
| Summer Indoor | 75°F |
| Summer Design Grains | 50% |
| Winter Outdoor | 47°F |
| Winter Indoor | 70°F |
| Sensible Cooling | 37,316 Btuh |
| Latent Cooling | 7,960 Btuh |
| Required Cooling Airflow | 1,696 CFM |
| Sensible Heating | 33,010 Btuh |
| Required Heating Airflow | 429 CFM |

All calculations are based upon approved hvac industry standards and procedures, and comply with all local, state and federal code requirements. All computed results are Estimates. Product provided by Energy Design Systems and Idea Tree



The new degree of comfort.™

Rheem High Efficiency Air Handler



RBHP- Series

X-13 (ECM) Motor

Efficiencies up to 16 SEER



- Industry Standard R-410A Refrigerant also Suitable for R-22 Applications
- Models featuring Electric Heat without Indoor Cooling Coil
- Quiet and efficient X-13 (ECM) motor technology
- Only 35" tall and 4-way convertible for all those tight spaces
- Available from factory in upflow and horizontal configurations
- Nominal airflow up to 0.5" external static pressure with reduced airflow up to 1.0" external static pressure
- Factory installed MultiFlex® coils
- Sturdy steel construction with 1 inch [25.4 mm] of foil faced insulation for excellent sound and insulating characteristics
- Permanent, easily accessible and washable filter furnished standard
- Circuit breaker (standard on units with more than 11 kW) meets U.L. and cUL requirements for service disconnect
- Factory installed auxiliary electric heat provides exact heat for indoor comfort over a variety of applications
- Watt restrictors, standard on RBHP-17 models above 6 kW and on RBHP-21, RBHP-24 & RBHP-25 models above 11 kW, stage supplemental heat so that only the necessary amount is engaged to maintain comfort in the conditioned space
- Fan settings for selectable, customized cooling airflow over a wide variety of applications



TABLE OF CONTENTS

| | |
|-----------------------------------|-----|
| Engineering Features | 3 |
| Model Number Identification | 4 |
| Dimensional Data..... | 5 |
| Airflow Directional Data | 6 |
| Airflow Performance Data | 7-9 |
| Electrical Data | 10 |
| Electrical Wiring | 11 |
| Accessories | 12 |
| Limited Warranty | 13 |

Engineering Features

RBHP- Series

- Quiet, efficient X-13 (ECM) motor technology providing nominal airflow to 0.5 inch [12 kPa] of external static pressure.
 - Field selectable airflow to meet the requirements of particular applications.
 - Low continuous fan speed.
 - The most compact unit design available.
 - Attractive pre-painted cabinet exterior.
 - Rugged steel cabinet construction, designed for added strength and versatility.
 - 1" foil faced insulation mechanically retained in blower compartment.
 - Four leg rubber insulated wire motor mount.
 - Circuit breakers standard on models above 11 kW and optional on models with 11 kW or less.
 - Models supplied with circuit breakers meet UL and cUL requirements as a service disconnect switch.
 - Provisions for field electrical connections from either side of air handler cabinet.
 - Tab lock blower housing with integrated electric heaters, controls, motor and blower. Slide out design for service and maintenance convenience.
 - Exclusive dependable Incoloy sheath type electric heating elements located in the blower housing provide mixed warm air.
 - Field convertible for vertical upflow, vertical downflow, horizontal left hand or right hand air supply.
 - Common combustible floor base accessory fits all model sizes when required for downflow installations on combustible floors.
 - Durable framed cleanable air filter provided as standard in unit filter rack.
 - MultiFlex® indoor coil design provides low air side pressure drop, high performance and extremely compact size. All coils come with PVC condensate elbow standard.
 - All indoor coils have copper tubing and aluminum fins.
 - Molded polymer corrosion resistant condensate drain pan is provided on all indoor coils.
 - Both supply and return duct flanges provided as standard on air handler cabinet.
 - Connection points for both high voltage and low voltage control wiring inside air handler cabinet.
 - Concentric knockouts are provided for power connection to cabinet. Installer may pull desired hole size up to 2 inches [51 mm] for 1 1/2 inch [38 mm] conduit.
 - Patented watt restrictor on heat pump models to control electric heat during heating operation.
 - Internal checked TX valves are used on the RCHJ & RCHL Heat Pump indoor coil for more quiet refrigerant metering.
 - Front refrigerant and drain connections.
- [] Designates Metric Conversions

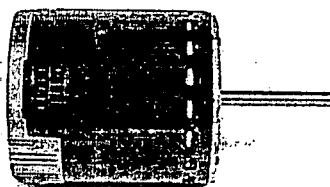
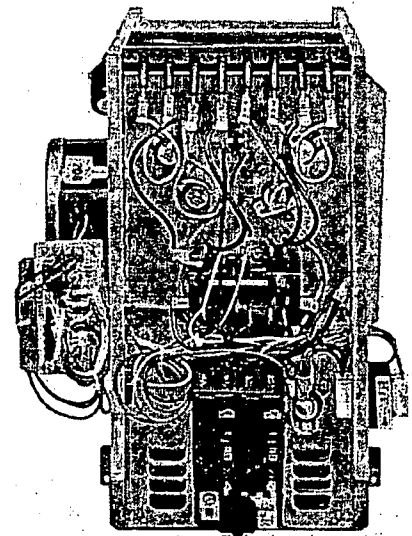
Watt-restrictor

Supplemental heat, provided by electric heating elements may be necessary in some areas when heating requirements for indoor comfort exceed the capacity of the heat pump system. When supplemental heat is required, units with the Watt Restrictor will restrict the amount of supplemental electric heat that can be energized dependent on the heat output of the heat pump (temperature of the air leaving the indoor heat pump coil).

The Watt-restrictor utilizes sensing devices in the unit to sense the air temperature leaving the indoor coil and disengage unnecessary heating elements when that temperature is at least 85°F [29°C]. (In this mode your system is controlled by the first stage of the wall thermostat.) This occurs only when the second stage of the wall thermostat calls for heat.

Since the heat output of the heat pump is dependent upon the outdoor air temperature, this control performs the same function as a field installed outdoor thermostat.

An additional benefit of the Watt Restrictor is that it can sense a degradation in heat pump performance due to causes other than outdoor temperature and react accordingly to bring on more supplemental electric heat.



X-13 (ECM)
MOTOR

BLOWER
SECTION

Blower Motor Electrical Data: A Voltage (115V)

| Model Size/Elec. Designation | Voltage | Phase | Hertz | HP (W) | RPM | Speeds | Circuit Amps. | Minimum Circuit Ampacity | Maximum Circuit Protector |
|------------------------------|---------|-------|-------|-----------|----------|--------|---------------|--------------------------|---------------------------|
| RBHP-17A00NH* | 115 | 1 | 60 | 1/3 [249] | 300-1100 | 5 | 3.3 | 5.0 | 15 |
| RBHP-21A00NH* | 115 | 1 | 60 | 1/2 [373] | 300-1100 | 5 | 5.0 | 7.0 | 15 |
| RBHP-24A00NH* | 115 | 1 | 60 | 3/4 [559] | 300-1100 | 5 | 5.8 | 8.0 | 15 |
| RBHP-25A00NH* | 115 | 1 | 60 | 3/4 [559] | 300-1100 | 5 | 7.7 | 10.0 | 15 |

Blower Motor Electrical Data: J Voltage (208/240V)

| Model Size/Elec. Designation | Voltage | Phase | Hertz | HP (W) | RPM | Speeds | Circuit Amps. | Minimum Circuit Ampacity | Maximum Circuit Protector |
|------------------------------|---------|-------|-------|-----------|----------|--------|---------------|--------------------------|---------------------------|
| RBHP-17A00NH* | 115 | 1 | 60 | 1/3 [249] | 300-1100 | 5 | 3.3 | 5.0 | 15 |
| RBHP-21A00NH* | 115 | 1 | 60 | 1/2 [373] | 300-1100 | 5 | 5.0 | 7.0 | 15 |
| RBHP-24A00NH* | 115 | 1 | 60 | 3/4 [559] | 300-1100 | 5 | 5.8 | 8.0 | 15 |
| RBHP-25A00NH* | 115 | 1 | 60 | 3/4 [559] | 300-1100 | 5 | 7.7 | 10.0 | 15 |

Electric Heat Electrical Data

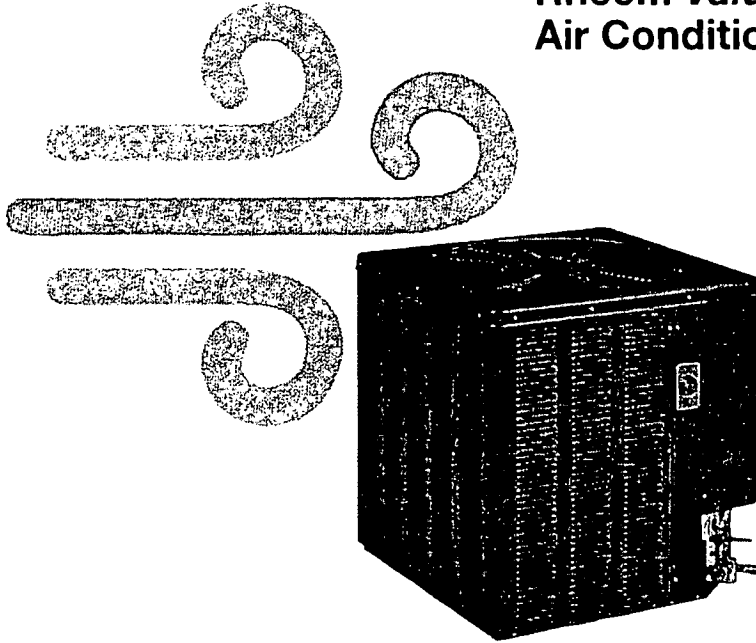
| Model Elec./KW Designation | Heater KW Volts 208/240 | PH/HZ | Heater No./KW & 240V | Type Supply Circuit Single Circuit Multiple Circuit | Circuit Amps. | Minimum Circuit Ampacity | Maximum Circuit Protector |
|----------------------------|-------------------------|-------|----------------------|---|---------------|--------------------------|---------------------------|
| RBHP-17J06SH* | 3.7/4.9 | 1/60 | 2/2.5 | Single Circuit | 19.8/22.4 | 25/29 | 25/30 |
| RBHP-17J07SH* | 5.3/7.0 | 1/60 | 2/3.5 | Single Circuit | 27.5/31.2 | 35/39 | 40/40 |
| RBHP-17J11SH* | 7.5/10.0 | 1/60 | 3/3.3 | Single Circuit | 38.1/43.7 | 48/55 | 50/60 |
| RBHP-21J06SH* | 3.7/4.9 | 1/60 | 2/2.5 | Single Circuit | 20.9/23.5 | 27/30 | 30/30 |
| RBHP-21J07SH* | 5.3/7.0 | 1/60 | 2/3.5 | Single Circuit | 28.6/32.3 | 36/41 | 40/45 |
| RBHP-21J11SH* | 7.5/10.0 | 1/60 | 3/3.3 | Single Circuit | 39.2/44.8 | 49/56 | 50/60 |
| RBHP-21J14SH* | 10.5/14.0 | 1/60 | 4/3.5 | Single Circuit | 54.1/61.4 | 68/77 | 70/80 |
| | 5.3/7.0 | | 2/3.5 | Multiple Ckt. 1 | 28.6/32.3 | 36/41 | 40/45 |
| | 5.3/7.0 | | 2/3.5 | Multiple Ckt. 2 | 25.5/29.2 | 32/37 | 35/40 |
| RBHP-24J06SH* | 3.7/4.9 | 1/60 | 2/2.5 | Single Circuit | 22.0/24.6 | 28/31 | 30/35 |
| RBHP-24J07SH* | 5.3/7.0 | 1/60 | 2/3.5 | Single Circuit | 29.7/33.4 | 38/42 | 40/45 |
| RBHP-24J11SH* | 7.5/10.0 | 1/60 | 3/3.3 | Single Circuit | 40.3/45.9 | 51/58 | 60/60 |
| RBHP-21J14SH* | 10.5/14.0 | 1/60 | 4/3.5 | Single Circuit | 55.2/62.5 | 69/79 | 70/90 |
| | 5.3/7.0 | | 2/3.5 | Multiple Ckt. 1 | 29.7/33.4 | 38/42 | 40/45 |
| | 5.3/7.0 | | 2/3.5 | Multiple Ckt. 2 | 25.5/29.2 | 32/37 | 35/40 |
| RBHP-21J18SH* | 13.2/17.5 | 1/60 | 5/3.5 | Single Circuit | 67.7/77.1 | 85/97 | 90/100 |
| | 5.3/7.0 | | 2/3.5 | Multiple Ckt. 1 | 29.7/33.4 | 38/42 | 40/45 |
| | 7.9/10.5 | | 3/3.5 | Multiple Ckt. 2 | 38.0/43.8 | 48/55 | 50/60 |
| RBHP-25J11SH* | 7.5/10.0 | 1/60 | 3/3.3 | Single Circuit | 41.8/47.4 | 53/60 | 60/60 |
| RBHP-25J14SH* | 10.5/14.0 | 1/60 | 4/3.5 | Single Circuit | 56.7/64.0 | 71/81 | 80/90 |
| | 5.3/7.0 | | 2/3.5 | Multiple Ckt. 1 | 31.2/34.9 | 39/44 | 40/50 |
| | 5.3/7.0 | | 2/3.5 | Multiple Ckt. 2 | 25.5/29.2 | 32/37 | 35/40 |
| RBHP-25J18SH* | 13.2/17.5 | 1/60 | 5/3.5 | Single Circuit | 69.2/78.6 | 87/99 | 90/100 |
| | 5.3/7.0 | | 2/3.5 | Multiple Ckt. 1 | 31.2/34.9 | 39/44 | 40/45 |
| | 7.9/10.5 | | 3/3.5 | Multiple Ckt. 2 | 38.0/43.8 | 48/55 | 50/60 |
| RBHP-25J21SH* | 15.0/20.0 | 1/60 | 6/3.3 | Single Circuit | 77.8/89.0 | 98/112 | 100/125 |
| | 7.5/10.0 | | 3/3.3 | Multiple Ckt. 1 | 41.8/47.4 | 53/60 | 60/70 |
| | 7.5/10.0 | | 3/3.3 | Multiple Ckt. 2 | 36.1/41.7 | 46/53 | 50/60 |

Supply circuit protective devices may be fuses or "HACR" type circuit breakers. Largest motor load is included in single circuit and circuit 1 multiple circuit. If non-standard fuse size is specified, use next size larger standard fuse size. [] Designates Metric Conversions



The new degree of comfort.™

Rheem Value Series Air Conditioners



14AJM- Series

Efficiencies up to 16 SEER/13 EER
Nominal Sizes 1½-5 Ton [5.28 to 17.6 kW]
Cooling Capacities 17.3 to 60.5 kBTU
[5.7 to 17.7 kW]



"Proper sizing and installation of equipment is critical to achieve optimal performance. Ask your Contractor for details or visit www.energystar.gov."

Note: Above image does not show deep drawn basepan.

- Outdoor air conditioner designed for ground level or rooftop installations. These units offer comfort and dependability for single, multi-family and light commercial applications.
- Painted louvered steel cabinet
- Easily accessible control box
- Condenser coils constructed with copper tubing and enhanced aluminum fins
- Grille/Motor mount for quiet fan operation
- Filter Drier (shipped – not installed)





Electrical and Physical Data

| Model Number 14AJM | ELECTRICAL | | | | | | | PHYSICAL | | | | | | |
|-----------------------|--|--------------------------------|----------------------------------|--|---|---------------------------------|--------------------|--|-------------|-------------|--------------------------------------|------------------|-----------------------|--|
| | Phase Frequency (Hz) Voltage (Volts) | Compressor | | Fan Motor Full Load Amperes (FLA) | Minimum Circuit Ampacity Amperes | Fuse or HACR Circuit Breaker | | Outdoor Coil | | | Refrig. Per Circuit Oz. [g] | Weight | | |
| | | Rated Load Amperes (RLA) | Locked Rotor Amperes (LRA) | | | Minimum Amperes | Maximum Amperes | Face Area Sq. Ft. [m ²] | No. Rows | CFM [L/s] | | Net Lbs. [kg] | Shipping Lbs. [kg] | |
| Rev. 4/5/2013 | | | | | | | | | | | | | | |
| 19 | 1-60-208/230 | 9/9 | 46 | 0.5 | 12/12 | 15/15 | 20/20 | 11.80 [1.1] | 1 | 2805 [1324] | 87 [2466] | 140 [63.5] | 157 [63.5] | |
| 24 | 1-60-208/230 | 13.5/13.5 | 58.3 | 0.8 | 18/18 | 25/25 | 30/30 | 16.39 [1.52] | 1 | 2805 [1324] | 105.6 [2994] | 154 [69.9] | 171 [69.9] | |
| 30 | 1-60-208/230 | 12.8/12.8 | 64 | 0.68 | 18/18 | 25/25 | 30/30 | 16.39 [1.52] | 1 | 2915 [1376] | 112 [3175] | 157 [71.2] | 175 [71.2] | |
| 36 | 1-60-208/230 | 16.7/16.7 | 79 | 1.9 | 23/23 | 30/30 | 35/35 | 21.85 [2.03] | 1 | 3435 [1621] | 130.4 [3697] | 181 [82.1] | 201 [82.1] | |
| 42 | 1-60-208/230 | 17.9/17.9 | 112 | 2.8 | 26/26 | 30/30 | 40/40 | 21.85 [2.03] | 1 | 3550 [1675] | 145.12 [4114] | 205 [93] | 225 [93] | |
| 48 | 1-60-208/230 | 21.8/21.8 | 117 | 2.8 | 31/31 | 40/40 | 50/50 | 21.85 [2.03] | 2 | 4310 [2034] | 216 [6124] | 249 [112.9] | 269 [112.9] | |
| 49 | 1-60-208/230 | 19.9/19.9 | 109 | 1.9 | 27/27 | 35/35 | 45/45 | 21.85 [2.03] | 2 | 3615 [1706] | 213 [6039] | 249 [112.9] | 269 [112.9] | |
| 56 | 1-60-208/230 | 21.4/21.4 | 135 | 1.9 | 29/29 | 35/35 | 50/50 | 21.85 [2.03] | 2 | 3615 [1706] | 241 [6832] | 254 [115.2] | 274 [115.2] | |
| 60 | 1-60-208/230 | 26.4/26.4 | 134 | 1.7 | 36/36 | 45/45 | 60/60 | 21.85 [2.03] | 2 | 4310 [2034] | 240 [6804] | 254 [115.2] | 274 [115.2] | |

NOTE: Factory Refrigerant Charge includes refrigerant for 15 feet of standard line set.

[] Designates Metric Conversions





Condensing Unit Refrigerant Line Size Information

| Liquid Line Sizing (R-410A) | | | | | | | | | | | | | | |
|-----------------------------|---|----------------------------|---|------------|------------|-------------|-------------|-------------|---|------------|------------|-------------|-------------|-------------|
| System Capacity | Liquid Line Connection Size (Inch I.D.) | Line Size (Inch O.D.) [mm] | Liquid Line Size – Outdoor Unit Above Indoor Coil (Cooling Only—Does not apply to Heat Pumps) | | | | | | Liquid Line Size – Outdoor Unit Below Indoor Coil | | | | | |
| | | | Total Equivalent Length—Feet [m] | | | | | | Total Equivalent Length—Feet [m] | | | | | |
| | | | 25 [7.62] | 50 [15.24] | 75 [22.86] | 100 [30.48] | 125 [38.10] | 150 [45.72] | 25 [7.62] | 50 [15.24] | 75 [22.86] | 100 [30.48] | 125 [38.10] | 150 [45.72] |
| | | | Minimum Vertical Separation—Feet [m] | | | | | | Maximum Vertical Separation—Feet [m] | | | | | |
| 1 1/2 Ton | 3/8" [9.53] | 1/4 [6.35] | 0 | 0 | 0 | 0 | 8 [2.44] | 24 [7.32] | 25 [7.62] | 40 [12.19] | 25 [7.62] | 9 [2.74] | N/A | N/A |
| | | 5/16 [7.94] | 0 | 0 | 0 | 0 | 0 | 0 | 25 [7.62] | 50 [15.24] | 62 [18.90] | 58 [17.68] | 53 [16.15] | 49 [14.94] |
| | | 3/8* [9.53] | 0 | 0 | 0 | 0 | 0 | 0 | 25 [7.62] | 50 [15.24] | 75 [22.86] | 72 [21.95] | 70 [21.34] | 68 [20.73] |
| 2 Ton | 3/8" [9.53] | 1/4 [6.35] | 0 | 3 [0.91] | 29 [8.84] | 55 [16.76] | 81 [24.69] | 108 [32.92] | 23 [7.01] | N/A | N/A | N/A | N/A | N/A |
| | | 5/16 [7.94] | 0 | 0 | 0 | 0 | 0 | 0 | 25 [7.62] | 36 [10.97] | 29 [8.84] | 23 [7.01] | 16 [4.88] | 9 [2.74] |
| | | 3/8* [9.53] | 0 | 0 | 0 | 0 | 0 | 0 | 25 [7.62] | 50 [15.24] | 72 [21.95] | 70 [21.34] | 68 [20.73] | 65 [19.81] |
| 2 1/2 Ton | 3/8" [9.53] | 1/4 [6.35] | 0 | 14 [4.27] | 56 [17.07] | 98 [29.87] | N/A | N/A | 25 [7.62] | N/A | N/A | N/A | N/A | N/A |
| | | 5/16 [7.94] | 0 | 0 | 0 | 0 | 0 | 0 | 25 [7.62] | 49 [14.94] | 38 [11.58] | 27 [8.23] | 17 [5.18] | 6 [1.83] |
| | | 3/8* [9.53] | 0 | 0 | 0 | 0 | 0 | 0 | 25 [7.62] | 50 [15.24] | 68 [20.73] | 65 [19.81] | 62 [18.90] | 58 [17.68] |
| 3 Ton | 3/8" [9.53] | 5/16 [7.94] | 0 | 0 | 0 | 0 | 0 | 9 [2.74] | 25 [7.62] | 50 [15.24] | 37 [11.28] | 22 [6.71] | 7 [2.13] | N/A |
| | | 3/8* [9.53] | 0 | 0 | 0 | 0 | 0 | 0 | 25 [7.62] | 50 [15.24] | 68 [20.73] | 63 [19.20] | 58 [17.68] | 53 [16.15] |
| 3 1/2 Ton | 3/8" [9.53] | 5/16 [7.94] | 0 | 0 | 0 | 16 [4.88] | 35 [10.67] | 54 [16.46] | 25 [7.62] | 23 [7.01] | 4 [1.22] | N/A | N/A | N/A |
| | | 3/8* [9.53] | 0 | 0 | 0 | 0 | 0 | 0 | 25 [7.62] | 50 [15.24] | 43 [13.11] | 36 [10.97] | 30 [9.14] | 24 [7.32] |
| 4 Ton | 3/8" [9.53] | 3/8* [9.53] | 0 | 0 | 0 | 0 | 0 | 0 | 25 [7.62] | 46 [14.02] | 38 [11.58] | 30 [9.14] | 22 [6.71] | 15 [4.57] |
| | | 1/2 [12.57] | 0 | 0 | 0 | 0 | 0 | 0 | 25 [7.62] | 50 [15.24] | 56 [17.07] | 55 [16.76] | 53 [16.15] | 52 [15.85] |
| 5 Ton | 3/8" [9.53] | 3/8* [9.53] | 0 | 0 | 0 | 0 | 0 | 0 | 25 [7.62] | 50 [15.24] | 56 [17.07] | 44 [13.41] | 32 [9.75] | 20 [6.10] |
| | | 1/2 [12.57] | 0 | 0 | 0 | 0 | 0 | 0 | 25 [7.62] | 50 [15.24] | 75 [22.86] | 81 [24.69] | 79 [24.08] | 76 [23.16] |

NOTES: *Standard line size
N/A = Application not recommended.

| Suction Line Length/Size versus Capacity Multiplier (R-410A) | | | | | | | | | |
|--|----------|---|-------|--|--|---|-----------|---|-------|
| Unit Size | | 1 1/2 Ton | 2 Ton | 2 1/2 Ton | | 3 Ton | 3 1/2 Ton | 4 Ton | 5 Ton |
| Suction Line Connection Size | | 3/4" [19.05] I.D. | | | | 7/8" [22.23] I.D. | | | |
| Suction Line Run—Feet [m] | | 5/8" [15.88 mm] O.D. Optional 3/4" [19.05 mm] O.D. Standard* | | 5/8" [15.88 mm] O.D. Optional 3/4" [19.05 mm] O.D. Standard* 7/8" [22.23 mm] O.D. Optional | | 3/4" [19.05 mm] O.D. Optional 7/8" [22.23 mm] O.D. Standard* | | 7/8" [22.23 mm] O.D. Optional 1 1/8" [28.58 mm] O.D. Standard* | |
| 25' [7.62] | Optional | 1.00 | 1.00 | 1.00 | | 1.00 | 1.00 | 1.00 | 1.00 |
| | Standard | 1.00 | 1.00 | 1.00 | | 1.00 | 1.00 | 1.00 | 1.00 |
| | Optional | — | — | 1.00 | | — | — | — | — |
| 50' [15.24] | Optional | .98 | .98 | .96 | | .98 | .99 | .99 | .99 |
| | Standard | .99 | .99 | .98 | | .99 | .99 | .99 | .99 |
| | Optional | — | — | .99 | | — | — | — | — |
| 100' [30.48] | Optional | .95 | .95 | .94 | | .96 | .96 | .96 | .97 |
| | Standard | .96 | .96 | .96 | | .97 | .98 | .98 | .98 |
| | Optional | — | — | .97 | | — | — | — | — |
| 150' [45.72] | Optional | .92 | .92 | .91 | | .94 | .94 | .95 | .94 |
| | Standard | .93 | .94 | .93 | | .95 | .96 | .96 | .97 |
| | Optional | — | — | .95 | | — | — | — | — |

NOTES: *Standard line size
Using suction line larger than shown in chart will result in poor oil return and is not recommended.
3 Ton Suction Line Connection is 3/4"

[] Designates Metric Conversions



THE METAL SHOP

Custom Metal Manufacturer

ANCHOR CLIPS Installer's Guide

Consulting Engineer:

Douglas W. Lowe, P.E.
FLA# 13355
1206 Millenium Parkway
Brandon, FL. 33511

WARNING: HAZARDOUS VOLTAGE - DISCONNECT POWER BEFORE SERVICING

PART NUMBER

#771 (4 pk)
#772 (100 box)
#770 (4 pk including hardware)

CONSTRUCTION

16 gauge galvanized steel, G-90 rated for corrosion coastal applications.

PACKAGING DETAILS

All anchor clips are supplied as per package quantities described above.

INSTALLATION

Minimum of 4 clips required per condenser unit.
Minimum of 2 #14 x 3/4" screws with neoprene washer required to fasten clip to condenser unit.

1/4" x 1 3/4" Tapcon screw required to fasten clip to condenser pad.

Locate the anchor clips to fit comfortably between condenser unit and pad.

Adjust clip accordingly to fit on condenser unit and screw together, at the same time ensuring that the base of the clip is still in contact with the pad.

All hardware must be fastened prior to connecting refrigerant lines and electrical power to the unit.

Suitable for ground mounted units.

Anchor clip design meets requirements of The Florida Building Code 2007 (Building)

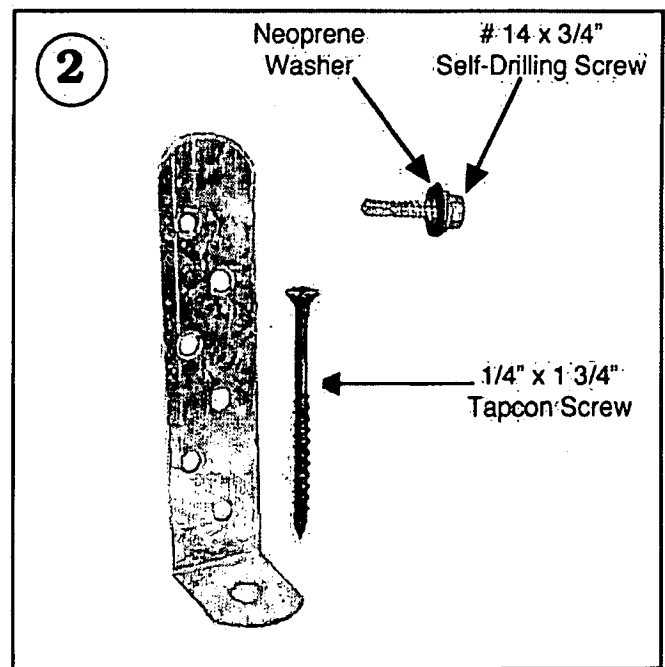
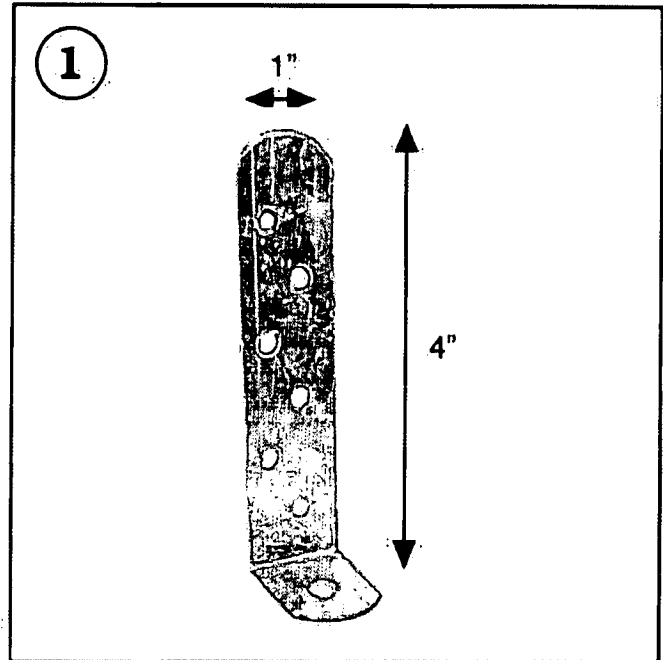
chapter 301.12 for wind resistance up to 140 MPH.

FEATURES

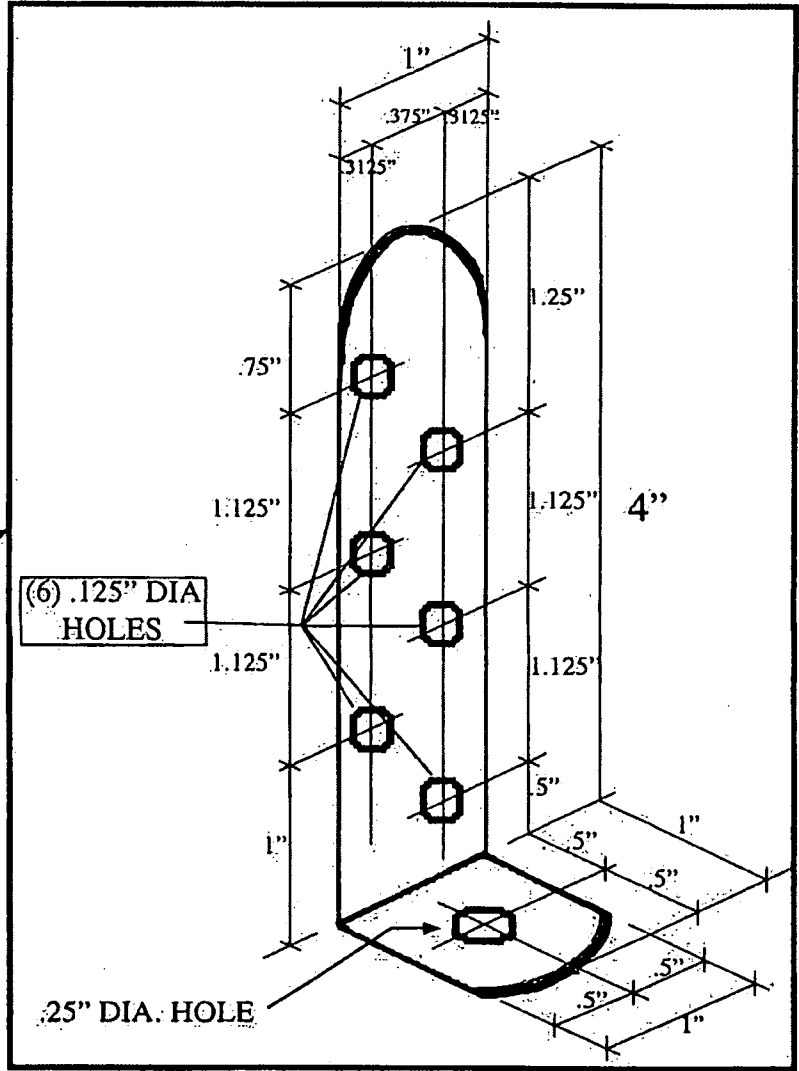
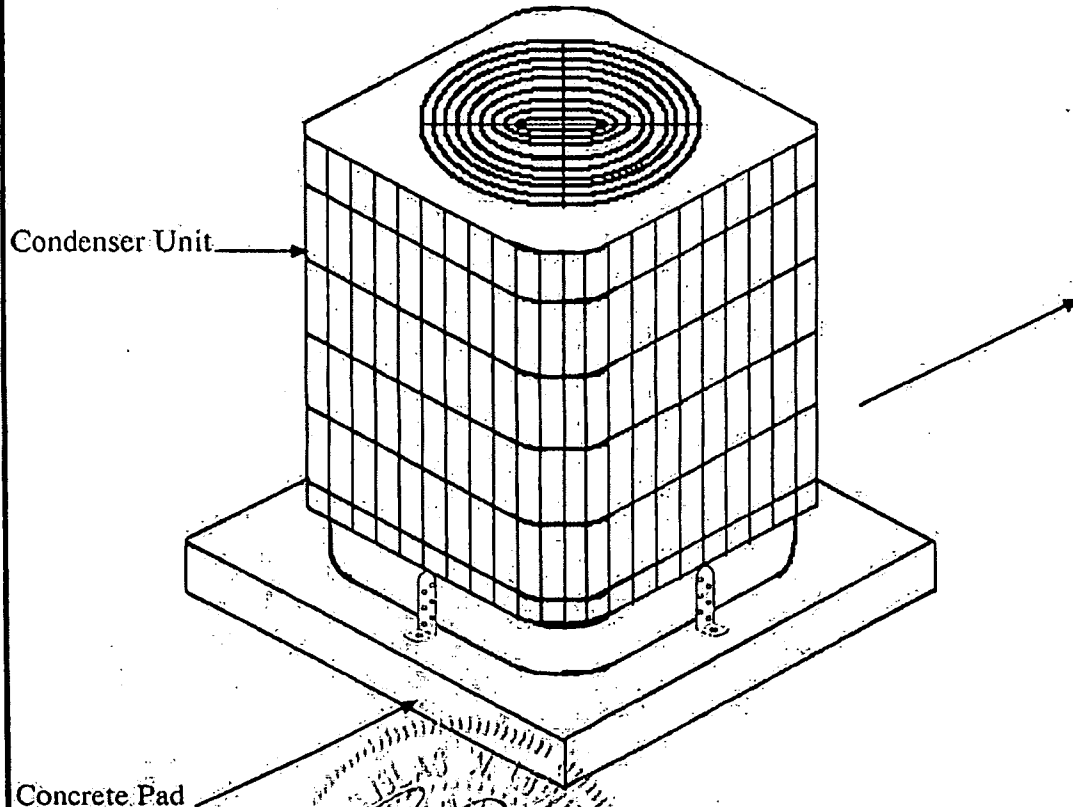
The use of "sized to fit" screw holes compared to slots means that security is never compromised. A tight, secure fit between pad and condenser ensures security for the condenser and offers great assurance during extreme weather conditions.

NOTE

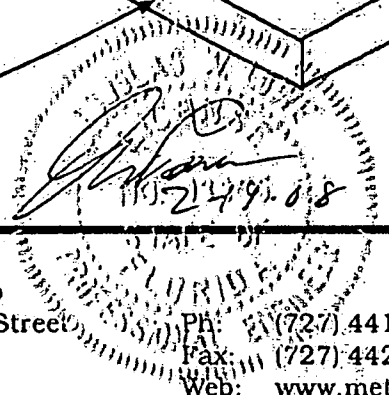
Above installation instruction suitable for up to 5 ton units.



#771 (4 pk.) / #772 (100 box) Anchor Clip



Metal thickness = 16-gauge



| | | | | |
|--|--|--|---|--------------------------------|
| <p>The Metal Shop 1139 Eldridge Street Clearwater Fl. 33755</p> <p>PH: (727) 441-2492 Fax: (727) 442-8493 Web: www.metalshop.org</p> | <p>Consulting Engineer: Douglas W. Lowe, P.E. FLA # 13355 1206 Millentum Parkway Brandon, Fl. 33511</p> | <p>Revision Date: 2/14/08</p> | <p>Drawn by: K.P.R. Scale - Not to scale</p> | <p>Page: 1 of 1</p> |
|--|--|--|---|--------------------------------|



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel: 772-287-2455 Fax 772-220-4765

FLORIDA ENERGY CONSERVATION CODE

Mandatory Duct Inspection Certification for HVAC change-out

For use when part of the duct and/or HVAC system has been replaced (Section 101.4.7.1.1 & FS 553.912)

Owner: KRAMER ROBERT S & KATHRYN J Contractor name: Sharkey Air, LLC

Street address: 11 S RIDGEVIEW RD Jurisdiction: Town of Sewalls Point

City: STUART Permit No.: _____

Zip: 34996-6450 Final inspection date: _____

I certify that I have inspected the duct work associated with the HVAC unit referenced by the permit listed above and found it complies with the requirements of Section 101.4.7.1.1 as indicated below:

____ Where needed, the existing ducts have been sealed using reinforced mastic or code-approved equivalent.

____ Ducts are located within conditioned space. (Section 101.4.7.1.1 exception 1)

The joints or seams are already sealed with fabric and mastic (Section 101.4.7.1.1 exception 2)

____ System was tested (see below) and repairs were made as necessary – (Section 101.4.7.1.1 exception 3)

Signature: *Kevin M. Sharkey* Date: 5/16/13

Printed Name: Kevin M. Sharkey

Contractor License #: CAC1816853

I certified I have tested the replaced air distribution system(s) referenced by the permit listed above at a pressure differential of 25 Pascals (0.10 in. w.c.).

Signature: _____ Date: _____

Printed Name: _____

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 7-2-13 Page 2 of 2

| PERMIT # | OWNER/ADDRESS/CONTRACTOR | INSPECTION TYPE | RESULTS | COMMENTS |
|------------------|--|------------------------|-----------------|----------------------------------|
| 10508 | Krupiesz 10 Rio Vista Glennmark | shower pan R. Plumb | Pass | INSPECTOR [Signature] |
| 10485 | Kramer 115 Ridgeview Sharkey Air | Shower pan | Pass | INSPECTOR [Signature] |
| 10548 | Perik 8 Morgan Cir Scott Holmes | columns | Pass | INSPECTOR [Signature] |
| Tree | Cuban 85 N Swalls | Tree | OK AS NOTED | INSPECTOR |
| PERMIT # | OWNER/ADDRESS/CONTRACTOR | INSPECTION TYPE | RESULTS | COMMENTS |
| | | | | INSPECTOR |
| PERMIT # | OWNER/ADDRESS/CONTRACTOR | INSPECTION TYPE | RESULTS | COMMENTS |
| | | | | INSPECTOR |
| PERMIT # | OWNER/ADDRESS/CONTRACTOR | INSPECTION TYPE | RESULTS | COMMENTS |
| | | | | INSPECTOR |

TOWN OF SEWALL'S POINT, FLORIDA

Date 6/9/97 19 _____ TREE REMOVAL PERMIT No 210

APPLIED FOR BY COMMERCIAL CONST DCU (Contractor or Owner)

Owner CRAMER

Sub-division HOMewood, Lot 7, Block _____

Kind of Trees ONE PALM - REST OF TREES DISEASED OR NON-NATIVE

No. Of Trees: REMOVE 1

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE 0 WITHIN 30 DAYS

REMARKS _____

FEE \$ 25.00

Signed, Burley
Applicant

Signed, [Signature]
Town Clerk

COMMERCIAL CONSTRUCTION DIVISION, INC.
PH. 407-220-3488
301 SW ALBANY AVE.
STUART, FL 34994

BARNETT BANK
STUART, FL 34995-9027
63-794/670

11114

Twenty-five and 00/100

DATE
6-6-97

AMOUNT
25.00

PAY TO THE ORDER OF
Town of Sewalls Point

[Signature]
AUTHORIZED SIGNATURE

SECURITY FEATURES INCLUDED. DETAILS ON BACK.

⑈011114⑈ ⑆067007949⑆ ⑆550100902⑈



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

OR

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

(CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS)

Owner ~~Robert K. K...~~ Address ~~1111 Magnolia Rd~~ Phone 788-0296

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 2 Species: Palm

No. of Trees: RELOCATE 1 Species: Invasive species

No. of Trees: REPLACE _____ Species: _____

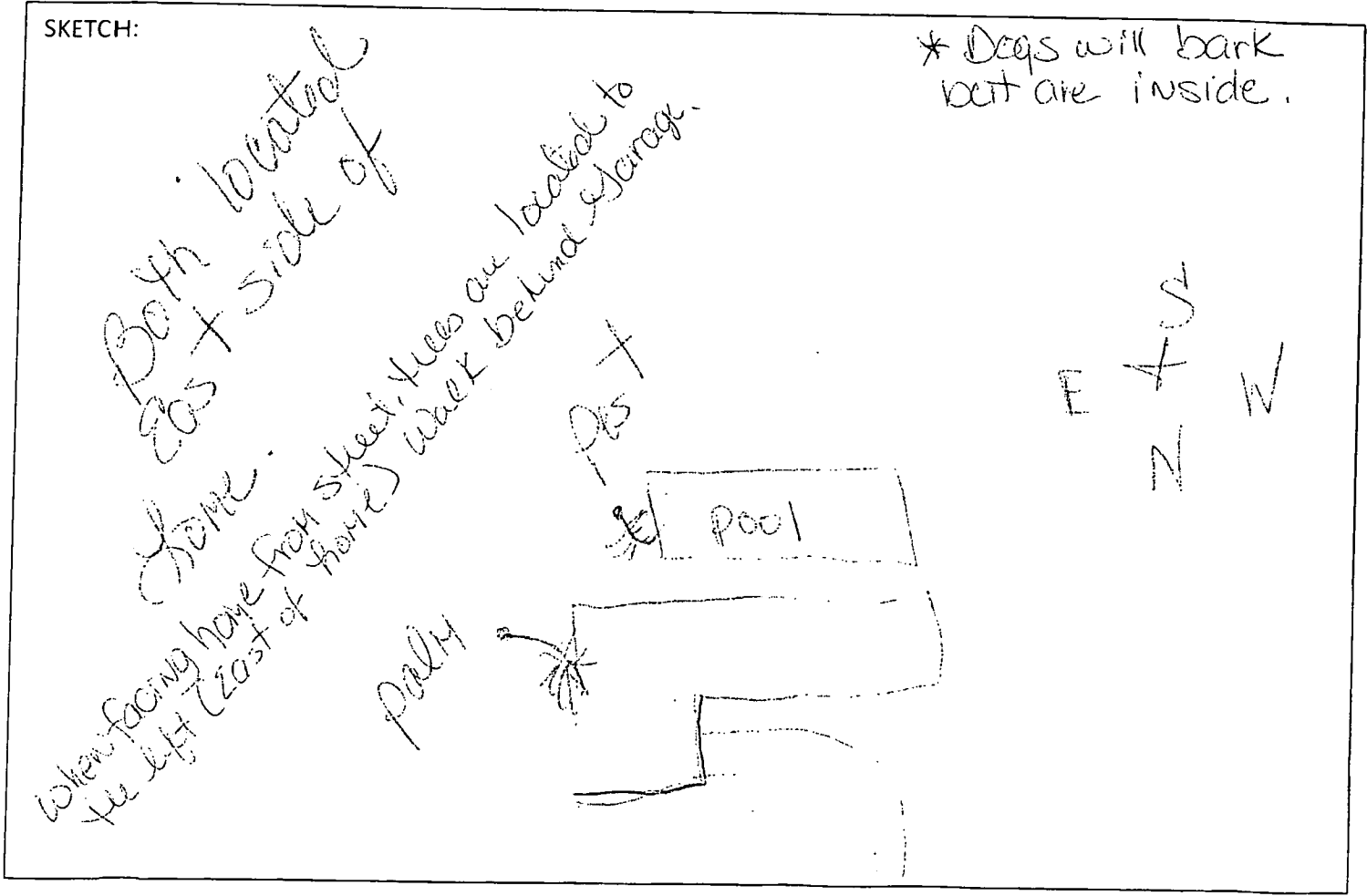
ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

Reason for tree removal/relocation (See notice above) (1) - Too close to house, weakened trunk (2) pest tree

Signature of Property Owner [Signature] Date 9/10/08

Approved by Building Inspector [Signature] Date 9/11 Fee: _____

NOTES: _____



ok



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Kramer Address [Redacted] Phone 15-2243

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 1 Species: tree

No. of Trees: RELOCATE _____ Species: _____

No. of Trees: REPLACE _____ Species: _____

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

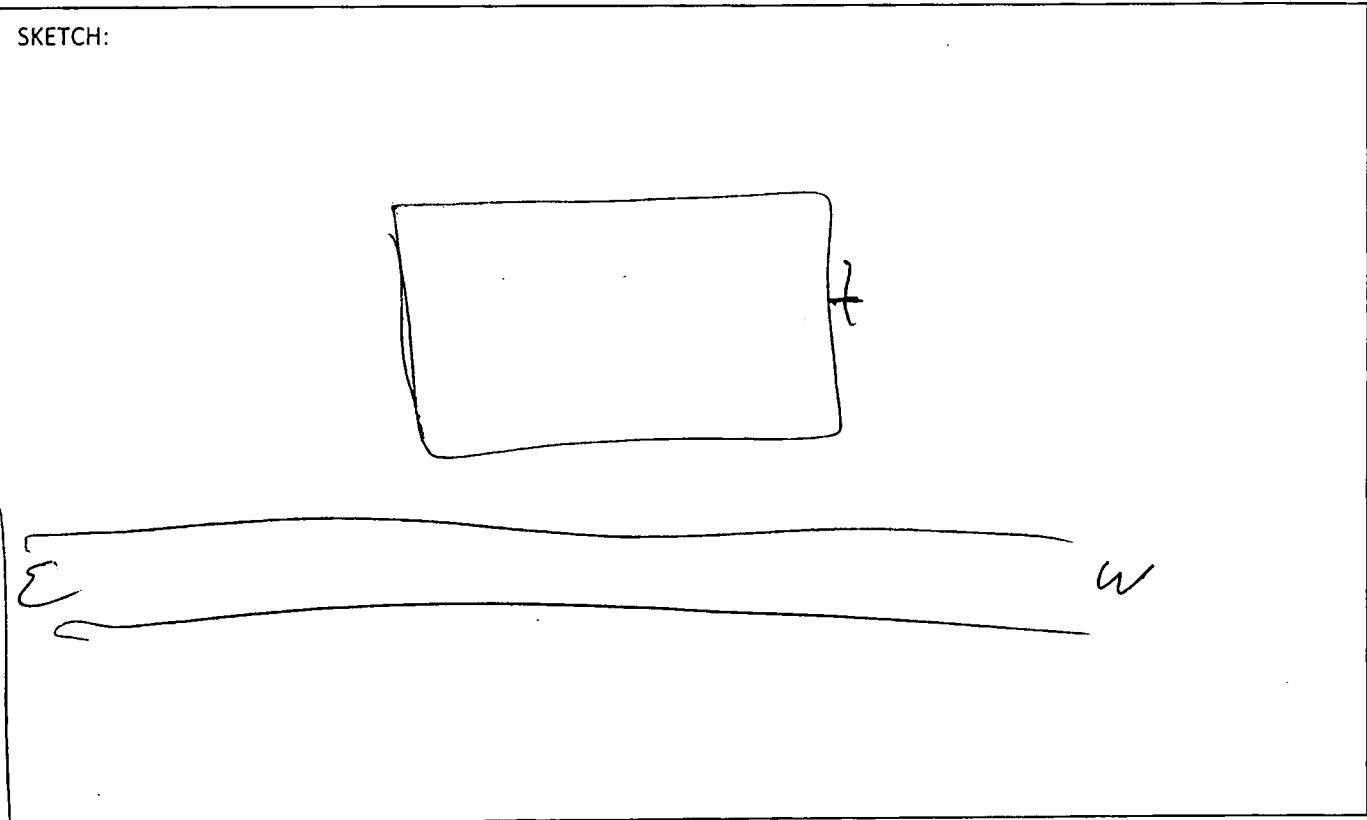
ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY

Reason for tree removal/relocation (See notice above) Tree fell on house

(Signature of Property Owner [Signature] Date 6-28-12

Approved by Building Inspector [Signature] Date 6-28-12 Fee N/A

NOTES: _____





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Kramer Address 115 Ridge Phone 215-2243

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 1 Species: tree

No. of Trees: RELOCATE _____ Species: _____

No. of Trees: REPLACE _____ Species: _____

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

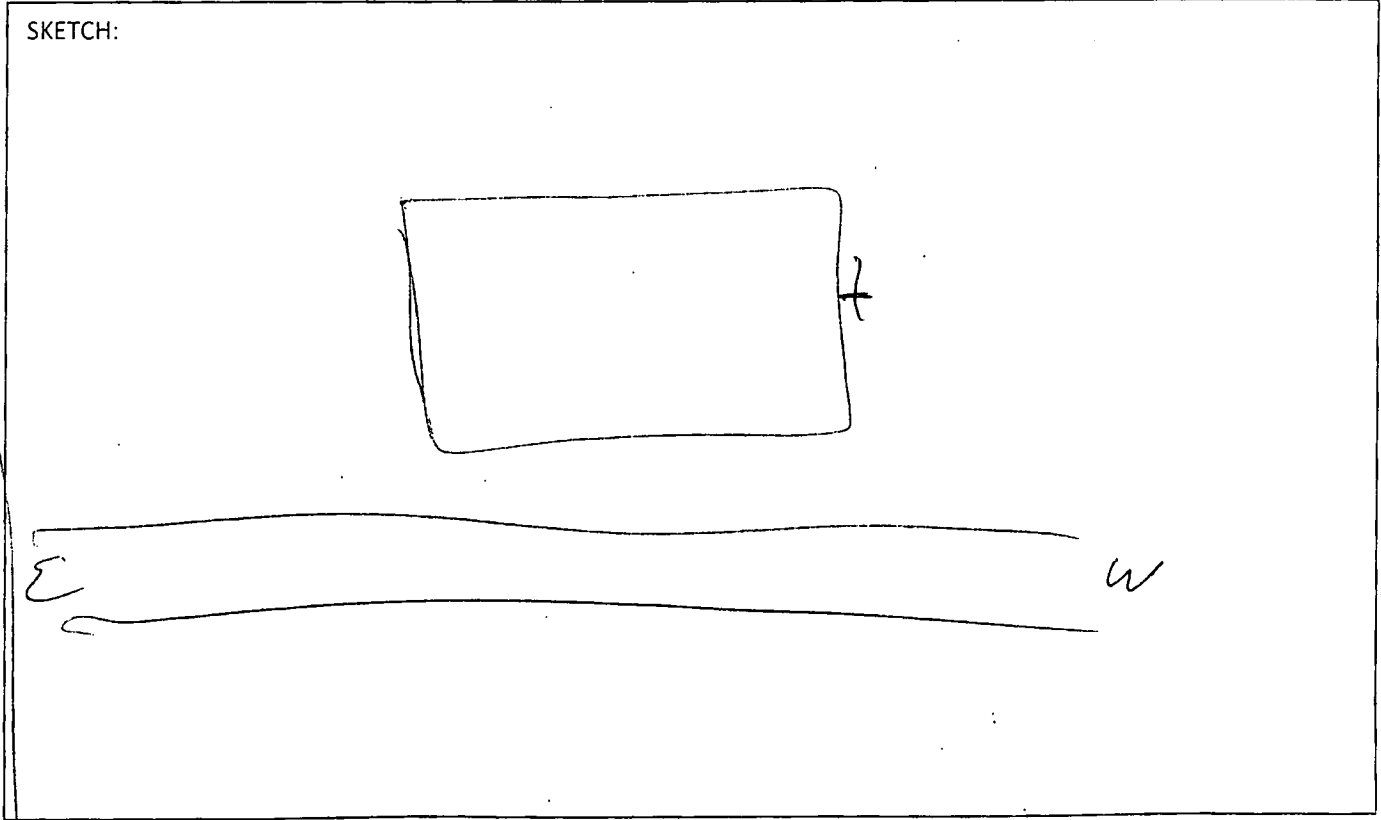
ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY

Reason for tree removal /relocation (See notice above) Tree fell on house

Signature of Property Owner [Signature] Date _____

Approved by Building Inspector: [Signature] Date 6-28-12 Fee: n/c

NOTES: _____





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

**APPLICATION FOR TREE REMOVAL, RELOCATION OR
REPLACEMENT PERMIT ON DEVELOPED RESIDENTIAL PROPERTY**

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Removal of trees with a diameter of less than two inches.
3. Removal of citrus or non-native fruit trees.

Sec. 70-22. Permit required for tree removal.

A permit as provided for in this chapter shall be required for the removal (or transplant) of any tree with a two-inch caliber or more upon any parcel upon which there is a residence under a validly issued permit. Permit requirements are outlined under article V Town Ordinances. **If the town has to procure the services of a suitable professional licensed in the State of Florida to ascertain the condition or type of a tree(s) prior to or after removal of the tree(s) then the cost of such will be borne by the property owner. (Ord. No. 303, 7-20-04)**

Application procedures:

1. Complete application information including sketch below.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and posted on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Permit Fee:

1. Tree permits are \$15.00.
2. Permit - No fees are assessed for tree which is dead, diseased, injured, hazardous to life or property, or listed as a prohibited species by the Florida Department of Environmental Protection.

NOTICE:

A PERMIT WILL NOT BE ISSUED FOR THE REMOVAL ANY NATIVE SPECIES TREES UNLESS ONE OR MORE OF THE FOLLOWING CONDITIONS EXIST: (SEC. 70-87. PERMIT ISSUANCE OR DENIAL TOWN ORDINANCES).

- A. THE VEGETATION IS LOCATED IN AN AREA WHERE STRUCTURES, UTILITIES OR IMPROVEMENTS MAY BE PLACED ACCORDING TO THE TOWN CODE; AND TO PRESERVE THE VEGETATION WOULD UNREASONABLY RESTRICT THE ECONOMIC ENJOYMENT OF THE PROPERTY; AND THE VEGETATION CANNOT BE RELOCATED ON THE SITE BECAUSE OF AGE, TYPE OR SIZE.
- B. THE VEGETATION IS DISEASED, INJURED, LOCATED TOO CLOSE TO THE EXISTING OR PROPOSED STRUCTURES, INTERFERES WITH EXISTING UTILITY SERVICE, OR CREATES UNSAFE VISUAL OBSTRUCTION. (A PROFESSIONAL ARBORIST'S OPINION WILL BE REQUIRED)
- C. THE VEGETATION IS TO BE MOVED TO ANOTHER LOCATION ON THE OWNER'S PROPERTY OR IS TO BE REPLACED BY ANOTHER TREE OR SHRUB ON THE OWNER'S PROPERTY, REGARDLESS OF LOCATION.

IF THE PERMIT IS DENIED, THE DEPARTMENT SHALL NOTIFY THE APPLICANT IN WRITING OF THE BASIS FOR DENIAL USING THE CRITERIA LISTED IN THIS SECTION.

*****THE FOLLOWING SPECIES ARE CONSIDERED NATIVE, PROTECTED SPECIES***:**

BLACK IRONWOOD, BLACK MANGROVE, BLOLLY, BUTTONWOOD, CABBAGE (SABLE) PALM, COCOPLUM (RED TIP AND GREEN TIP), CORAL BEAN, DEER MOSS, GRAY TWIG, GOPHER APPLE, GUMBO LIMBO, INKWOOD, LAUREL OAK, LEATHER FERN, LIVE OAK, MAHOGANY, MARLBERRY, MASTIC, MULBERRY, MYRTLE OAK, PARADISE TREE, PIGEON PLUM, POND APPLE, PRICKLY PEAR, RED MANGROVE, RED MAPLE, RED BAY, SAFFRON PLUM, SAND PINE, SCRUB PINE, SATINLEAF, SAW PALMETTO, SCRUB HICKORY, SEA GRAPE, SEA OXEYE, SLASH PINE, STOPPERS, WILD LIME, SUMAC (SOUTHERN), SUGAR BERRY (HACKBERRY), TORCHWOOD, WILD COFFEE, VARNISH LEAF, WATER OAK, WAX MYRTLE, WEST INDIAN CHERRY, WHITE MANGROVE.

TOWN OF SEWALL'S POINT, FLORIDA

FILE

Date 10/25/08 19 08 TREE REMOVAL PERMIT No 0375

APPLIED FOR BY ROBT/KATHY KRAMER (Contractor of Owner)

Owner 11 S. RIDGEVIEW RD (MONTE'S TREE SERVICE)

Sub-division _____, Lot _____, Block _____

Kind of Trees (NO FOLIAGE; UNABLE TO IDENTIFY) - DEAD

No. Of Trees: REMOVE 1 FIELD VERIFICATION

No. Of Trees: RELOCATE -0- WITHIN 30 DAYS (NO FEE) 10/25/08

No. Of Trees: REPLACE -0- WITHIN 30 DAYS

REMARKS LOCATION SKETCH ON SURVEY - ATTACHED
PERMIT FOR ONE TREE ONLY.

Signed, (SIGNATURE ON POA) Applicant Fee \$ -0-
Signed, [Signature] Town Clerk [Signature] HIG OFFICIAL

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Blank lined area for notes or additional information.

PROJECT DESCRIPTION _____

REMARKS _____

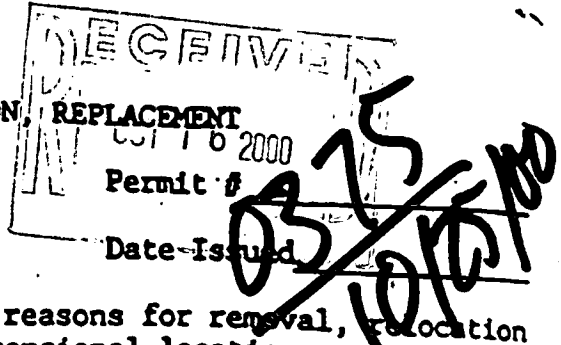
FAX TRANSMITTAL 1 PAGES

TO: Bob Kramer

TOWN OF SEWALL'S POINT

FROM: Joan

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT



✓ SCOPED 10/24 10/25/00

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner ROBT & KATHY KRAMER Address 11 S. Ridgeview Rd Phone 288-0296

Contractor MONTE'S TREE SERVICE Address Phone

Number of trees to be removed(list kinds of trees) (1) Sick-endangering house N/A

Number of trees to be relocated within 30 days(no fee)(list kinds of trees):

Number of trees to be replaced (list kinds of trees):

Permit Fee \$ (525.00 first tree plus \$10.00 - each additional tree - not to exceed \$100.00) \$15.00

(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted Plans approved, as marked IDENTIFIED ONE TREE FOR REMOVAL

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant K. Kramer Date submitted 10/16/2000

Approved by Building Inspector Date 10/25/00

Approved by Building Commissioner Date

Completed Date Checked by

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT PERMIT. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?

TOWN OF SEWALL'S POINT, FLORIDA

FILE

Date 10/25/00 19____ TREE REMOVAL PERMIT No 0375

APPLIED FOR BY ROBT/KATHY KRAMER (Contractor or Owner)

Owner 11 S. RIDGEVIEW RD (MONTE'S TREE SERVICE)

Sub-division _____, Lot _____, Block _____

Kind of Trees — (NO FOLIAGE; UNABLE TO IDENTIFY) - DEAD

No. Of Trees: REMOVE 1

No. Of Trees: RELOCATE -0- WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE -0- WITHIN 30 DAYS

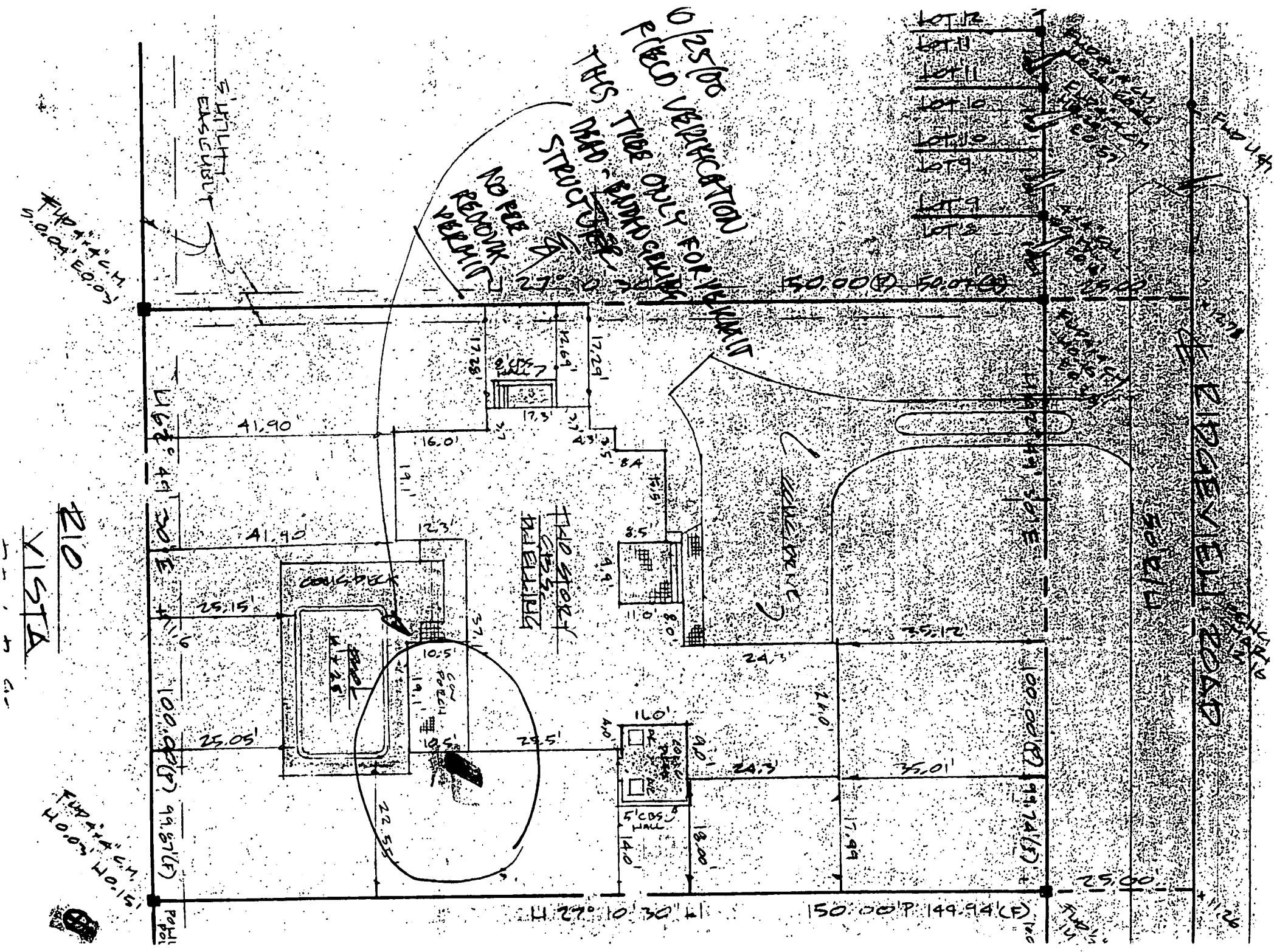
REMARKS LOCATION SKETCH ON SURVEY - ATTACHED

PERMIT FOR ONE TREE ONLY. FEE \$ -0-

Signed, (SIGNATURE ON POA)
Applicant

Signed [Signature]
Town Clerk HUG OFFICER

FIELD VERIFICATION
10/25/00



SUPPLY C.M.
 5.0.001 E.O.05

R10
 VISTA

SUPPLY C.M.
 5.0.001 E.O.05

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 10-25, 2000;

Page 1 of 2

| PERMIT | OWNER/ADDRESS/CONTR. | INSPECTION TYPE | RESULTS | REMARKS |
|--------|---|---|-------------|---|
| 4702 | Perry 18 N. Ridgeview owner/builder | all trades | X | Fri. |
| 5101 | McDonald 3 India Luce Plkwy. SEARS SIDING & WINDOWS | final inspect. siding | PASSED A | |
| 4978 | Rimer-Bird 29 S. River Rd. Lear | footer for rear stem wall | PASSED A | 10:00 NOT READY 11:45 REINSPECT |
| 4803 | Foglia 101 H Sewall Way Foglia TODD 1-954-444-6126 | final ✓ c.o. (INCL. PD 5114 (REG. FUR)) | PASSED A | will arrange specific time AS BUILT SURVEY TO SITE (REG. PERMIT TO BE ISSUED) (SU) |
| 5025 | Vasquez 82 S Sewall's Pt. Rd. GROZA BLDGS. | FOOTERS & ADDN SCAB. | PASSED A | ARCH. REV. LTR. TO SITE |
| T/R | HECKENBERG 5 N.E. LAGOON ISLAND CT. O/B "TODD" 521-3099 | FIELD VERIF. | | |
| T/R | MEMBER 11 S. RIDGEVIEW RD. MONTE'S TREE SERV. | FIELD VERIF. | PASSED A | |

OTHER: _____

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT, FLORIDA

Date MAY 14 2004 TREE REMOVAL PERMIT No 2257

APPLIED FOR BY KRAMER (Contractor or Owner)

Owner 11 S. RIDGEVIEW

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 4 Various

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

FEE \$ 0

Signed, _____ Applicant

Signed, Gene Simmons (GNS)
Town Clerk
Building Official

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspectio
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Large empty rectangular box for drawing or additional notes.

PROJECT DESCRIPTION _____

REMARKS _____

TOWN OF SEWALL'S POINT APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than one inch.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Robert Keaver + Kelly Keaver Address 11 S. Ridgeway Rd Phone 288-0296
 Contractor Brian Mosley Address _____ Phone 772-468-9174
772-216-3398

No. of Trees: REMOVE 3/maybe 4 Type: _____
 No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____
 No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: Finally landscaping our backyard - Dead

Signature of Applicant [Signature] Date 5/12/04

Approved by Building Inspector: [Signature] Date 5/14 Fee: -0-
 Plans approved as submitted _____ Plans approved as revised/marked: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5/14, 2004 Page 1 of 2

| PERMIT | OWNER/ADDRESS/CONTR. | INSPECTION TYPE | RESULTS | NOTES/COMMENTS: |
|-----------------|---------------------------|-------------------------------|-----------------|---------------------------------|
| TREE | KRAMER | TREE | PASS | |
| 6 | 11 S. RIDGEVIEW | | | INSPECTOR: <i>[Signature]</i> |
| 6711 | TAN | BUCK+WINDOW | PASS | |
| 1 | 7 COPAIRE ROAD O/B | | | INSPECTOR: <i>[Signature]</i> |
| 6335 | TWOHEY | FINAL SFR | PASS | CLOSE |
| 2 | 119 HILLCREST SEA GATE | | | INSPECTOR: <i>[Signature]</i> |
| 6396 | MUFSON | PARTIAL WINDOW + DOOR BUCK | PASS | |
| 3 | 17 S. RIVER RD BUFORD | | | INSPECTOR: <i>[Signature]</i> |
| 6677 | GOVEL | SHEATHING | PASS | |
| 5 | 5 RIVERVIEW O/B | | | INSPECTOR: <i>[Signature]</i> |
| TREE | SHRADER | TREE | PASS | CALL OWNER TO PICK UP PERMIT |
| 4 | 4 EMARITA WAY | | | INSPECTOR: <i>[Signature]</i> |
| 6613 | COVER | FRAMING ROUGH | PASS | |
| 10 | 16 N. SEWALL'S PT O/B | | | INSPECTOR: <i>[Signature]</i> |

OTHER:

11 RIDGELAND - SIGN OFF POOL STEEL - OK