

19 S Ridgeview Road

THIS PERMIT MUST BE DISPLAYED IN FRONT OF JOB

OWNER Michael & Christine Sweet

CONTRACTOR Sundial Const Co.

LOT 10 BLOCK _____ SUB Homewood

NO. 19 Ridgeway

TOWN OF SEWALL'S POINT BUILDING PERMIT

REQUIRED INSPECTIONS	INSPECTOR'S FINDING	INSPECTOR'S SIGNATURE
1. LOT STAKES/SET BACKS		
2. TERMITE PROTECTION		
3. FOOTING - SLAB	Footcr - slab OK 7/24/89 DB	<i>Christine Sweet</i>
4. ROUGH PLUMBING	OK 7/24/89 DB	
5. ROUGH ELECTRIC	OK 9/15/89 DB	
6. LINTEL		
7. ROOF		
8. FRAMING	OK 9/15/89 DB	
9. INSULATION	OK 9/19/89 DB	
10. A/C DUCTS	OK 9/15/89 DB	
11. FINAL ELECTRIC		
12. FINAL PLUMBING		
13. FINAL CONSTRUCTION		

Town of Sewall's Point Building Department
 10000 US Highway 90, Suite 100
 Sewall's Point, FL 33956
 Phone: (813) 937-1111

DO NOT REMOVE UNTIL JOB IS COMPLETED

NO. 2557

DATE ISSUED 6/1/89

**MARTIN COUNTY
PUBLIC HEALTH UNIT**

Your septic system was inspected on 1-4-90
HD 89-133

Approved and Cover
 Cover but hold for:
 Final Grade (see permit for specifications)
 Well Permit
 Other:
 Do not cover, disapproved for the following reasons:
 Well and well reinspection fee _____
 Other: _____

- Final approval will not be given until both septic and water systems are completed.
 - Please allow this office two working days to schedule a reinspection. If you have any questions, contact well at 287-2277. 221-4000

WORKING HOURS ARE FROM 8:00 TO 5:00 P.M. MONDAY THRU SATURDAY.

TO CONSTRUCT New House

REMARKS:

TOWN OF SEWALL'S POINT, FLORIDA
APPLICATION FOR PERMIT TO BUILD A HOUSE OR COMMERCIAL BUILDING

PERMIT NUMBER 257

DATE OF APPLICATION 1/26/89

To obtain a permit the following are required:

1. Florida certification of builder and sub-contractors.
2. Certification of insurance from contractor or owner/builder re: liability and workers' compensation.
3. Two sets of building plans which must include: a) 1/4" scale building drawings, b) plot plan, c) foundation plan, d) floor plans, e) wall and roof cross-sections, e) plumbing, electrical and air conditioning layouts, f) at least two elevations showing the height of building from finished floor. Plans must be sealed by a Florida registered architect or engineer.
4. Recorded warranty deed to the property.
5. Septic tank permit and one set of plans with Martin County Health Department seal.
6. Energy code calculations.
7. Tree removal permit (for trees other than nuisance trees)
8. Certification of elevation from licensed surveyor and determination of flood zone.
9. Amount of fill anticipated - rough sketch showing location of fill
10. Manufacturer's schedule of windows.

Owner MICHAEL & CHRISTINE SWEET Current Address 1100 E. OCEAN BLVD
Telephone 283-4428

General Contractor SUNDIAL CONSTR. Co Address 14 Via Lucindia N. Stuart
Telephone 283-7367

Where Licensed FLORIDA License Number CBCA16672

Plumbing Contractor ATLANTIC PLUMBING License Number 00035

Electrical Contractor RIVERSIDE ELECT. License Number 00056

Roofing Contractor PANACHE ROOFING License Number CBCA07037

A/C Contractor DOMESTIC AIR COND. License Number SP00638

Describe the building or alterations 2 STORY FRAME

Name the street on which the building, its front building line and its front yard will face 19 RIDGEVIEW RD.

Subdivision HOMERWOOD Lot 10 Block E

Building area (inside walls) _____ Garage, porch, carport area _____

Contract price (excluding carpet, land, appliances, landscaping) \$189,000.00

Cost of permit \$152 Plans approved as submitted _____ as marked _____

In addition, the following are understood by owner and contractor:

1. Building area inside walls must be a minimum of 1,500 square feet.

2. Building permit fees are \$5. per \$1,000. of the cost of the building, plus \$37.00 for plumbing, electric, a.c. and roof. For example a \$100,000. building x \$5. = \$500. plus \$200. (a.c., pl., el., roof) = \$700. cost of permit + \$365. impact fee = \$1,065. total. Also there is a charge of 1 cent per square foot for radon gas trust fund.

3. If no contract is submitted as proof as cost, the permit will be based on \$60. per square foot (inside walls) and \$25. per square foot (other areas). Owner-builder cost is 25% higher than the regular fee.

4. The Town has adopted the South Florida Building Code.

5. Building permits are issued for one year's duration.

6. Construction must be started within 180 days or permit will be subject to revocation and forfeiture of fee.

7. ALL changes in plans must be approved by the Building Department.

8. Work hours are 8:AM to 5:PM Monday through Friday. NO SUNDAY WORK

9. Portable toilets must be on all construction sites.

10. Inspections are made Monday through Friday, 8:AM to Noon, 1:PM to 4:PM. 24 hour notice is required prior to all inspections.

11. String lines along property lines to facilitate set back inspections.

12. Before a certificate of occupancy is issued, the following are required:

a. An owner's affidavit of building cost (form available) any discrepancy between the original fee and final fee (based on affidavit) will be adjusted.

b. Approval of septic tank installation by Martin Co. Health Dept.

c. Rough grading and clean up of grounds.

d. Affidavit from licensed surveyor showing slab elevation (if in "A" zone).

13. THIS SUMMARY IS NOT A SUBSTITUTE FOR TOWN ORDINANCES. APPROVAL OF THE BUILDING PLANS IN NO WAY RELIEVES THE OWNER OR CONTRACTOR FROM COMPLIANCE WITH TOWN ORDINANCES.

14. In addition to the requirements of this permit there may be additional restrictions applicable to this property that may be found in the public records of this county.

Contractor's Signature [Signature] Owner's Signature [Signature]

Approval by Building Inspector [Signature] Date 6/1/89

Approval by Building Commissioner [Signature] Date 6/1/89

Certificate of Occupancy issued _____ Date _____

This instrument was prepared by:
C. NORRIS TILTON, ESQ.
TILTON & WOODS, P.A.
1935 N.E. Ricou Terrace P.O. Box 1534
JENSEN BEACH, FLORIDA 33457

Warranty Deed

(STATUTORY FORM—SECTION 689.02 F.S.)

This Indenture, Made this 12th day of December 1986, Between

CARL E. HOKE, a married man and ALICE HOKE, a single adult

of the County of Martin, State of Florida, grantor*, and

MICHAEL E. SWEET and CHRISTINE E. SWEET, his wife

whose post office address is 19 S. Ridgeview Road, Sewall's Point, Stuart, Florida

of the County of Martin, State of Florida, grantee*.

Witnesseth. That said grantor, for and in consideration of the sum of -----
-----TEN AND NO/100 (\$10.00)----- Dollars,

and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida, to-wit:

Lot 10, Block E. HOMEWOOD, according to the amended plat thereof filed on January 11, 1956, and recorded in Official Records Book 3, Page 35, Martin County, Florida, Public Records.

SUBJECT to all easements, restrictions and zoning of record.

The Grantor hereby certifies that the above described lands do not constitute his homestead and are not contiguous to his homestead. His homestead is 15 Vista Drive, Jensen Beach, Florida 33457. This is a vacant lot.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

* "Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof, Grantor has hereunto set grantor's hand and seal the day and year first above written. Signed, sealed and delivered in our presence:

<u>Kay Rabb</u>	<u>Carl E. Hoke</u>	(Seal)
<u>C. Norris Tilton</u>	CARL E. HOKE	(Seal)
_____	<u>Mrs. Alice Hoke</u>	(Seal)
_____	ALICE HOKE	(Seal)
_____	<u>Alice Hoke</u>	(Seal)

STATE OF FLORIDA
COUNTY OF MARTIN

BOOK 700 PAGE 1701

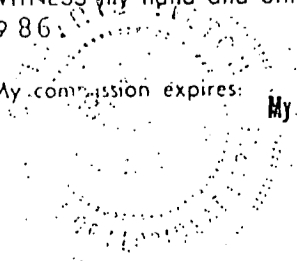
I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments, personally appeared
CARL E. HOKE, a married man and ALICE HOKE, a single adult

to me known to be the person S described in and who executed the foregoing instrument and acknowledged before me that the Y executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 12th day of December, 1986.

My commission expires: My Commission expires 18 Jan., 1988

C. Norris Tilton
Notary Public





STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

STUBOUT ELEVATION AND EXCAVATION CERTIFICATION

APPLICANT: Kelly & Kelly Architects SEPTIC TANK PERMIT NO. HD89-133
 LEGAL DESCRIPTION: Lot 10 Blk E Amended Homewood

The items which are checked off below must be certified by a surveyor or engineer and returned to the Martin County Health Unit prior to the first plumbing inspection by the Building Department.

- 1. Building Permit Number: _____ . (Certification not required for this item).
 - 2. I certify that the elevation of the top of the lowest plumbing stubout is _____ inches above benchmark elevation as indicated on septic tank permit.
 - 3. I certify that the top of the lowest building plumbing stubout is _____ inches above crown of road elevation shown on septic tank permit.
 - 4. I certify that all severe limited soil has been removed from an area of _____ feet by _____ feet to a minimum depth of six(6) feet below top of required stubout elevation. Submit plot plan to scale of excavated area.
- Date Observed: _____
- 5. I certify that the top of the drainfield pipe elevation is _____.

NOTE: a. Severe limited soil includes but is not limited to hardpan, clay, silt, marl or muck.
 b. Drainfield must be centered in the excavated area. Drainfield will not be approved if severe limited soils are present.

CERTIFIED BY: _____

As applicant or applicant's representative, I understand the above requirements.

Date: _____ Job Number: _____

Daniel Z. Beal
(Signature)

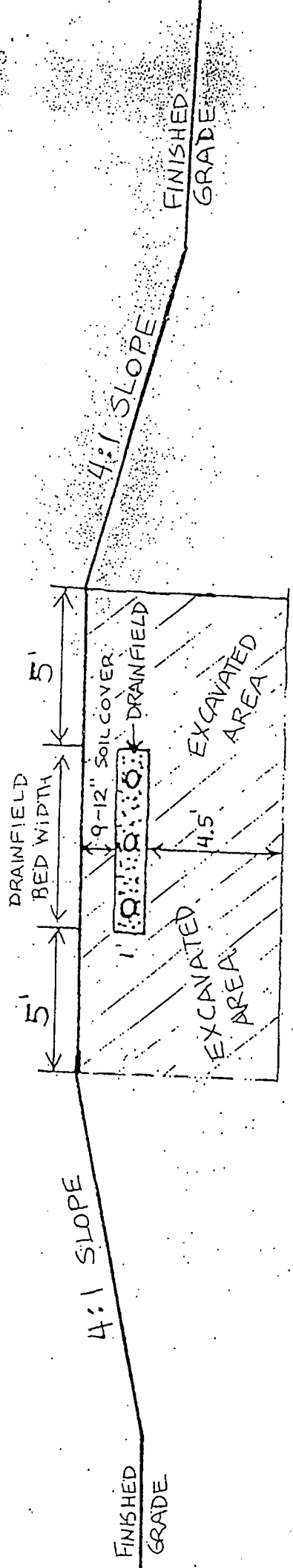
FOR MARTIN COUNTY PUBLIC HEALTH UNIT USE ONLY

Martin County Health Unit Approval Signature

(Date)

MARTIN COUNTY PUBLIC HEALTH UNIT
 ENVIRONMENTAL HEALTH
 612 SOUTH DIXIE HIGHWAY • STUART, FLORIDA 34994
 Bob Martinez, Governor • Gregory L. Coler, Secretary

DRAINFIELD MOUND REQUIREMENTS

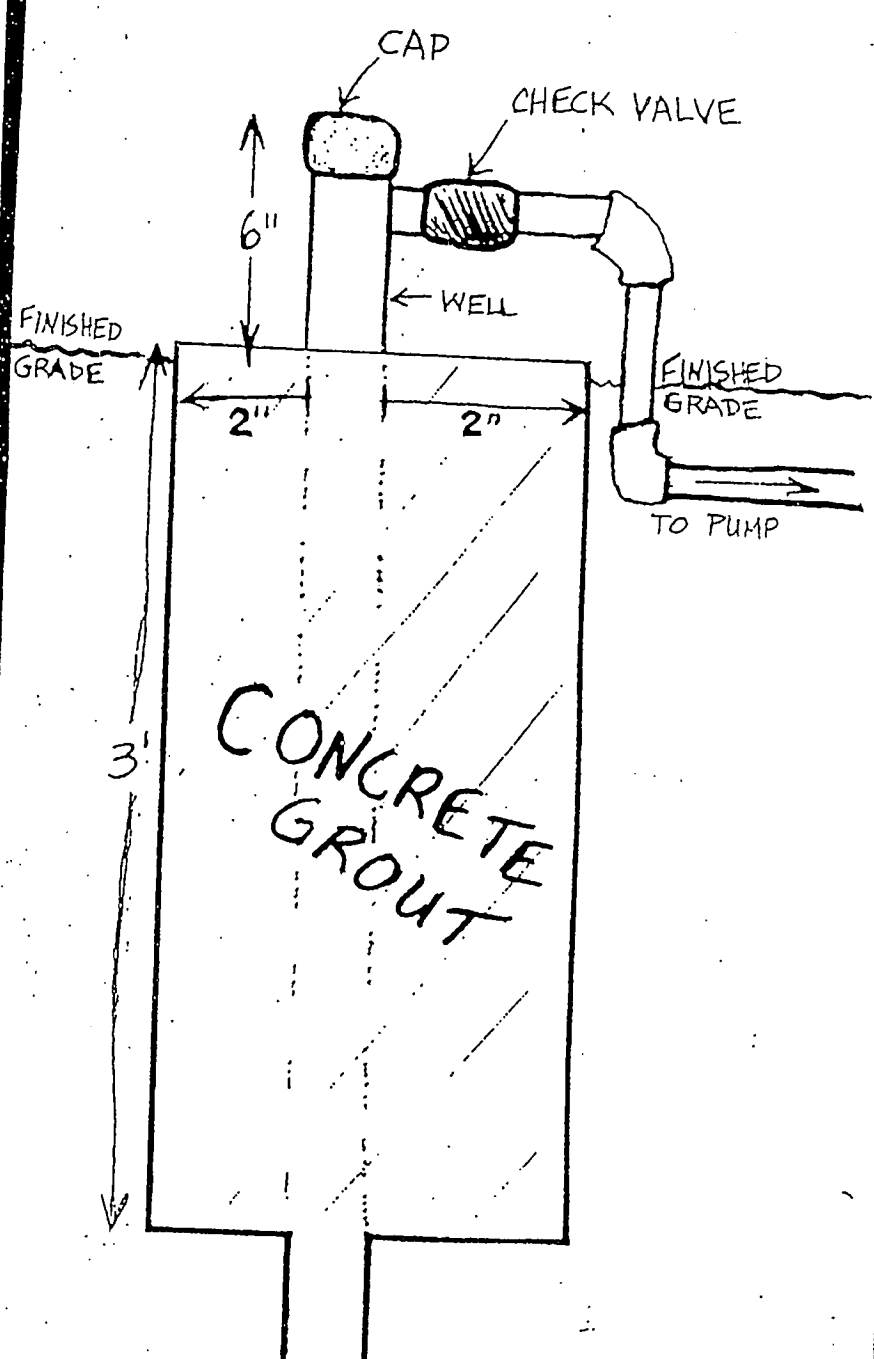


NMC 4/85

WELL REQUIREMENTS

NOTE:
 ALL WELLS MUST BE GROUTED AT LEAST 2" AROUND WELL CASING TO A DEPTH OF 3'. WELL CASING MUST EXTEND 6" ABOVE FINISHED GRADE AS SHOWN BELOW. NOTE LOCATION OF CHECK VALVE.

NOTES THESE REQUIREMENTS MUST BE MET PRIOR TO FINAL APPROVAL.





STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM

PERMIT NUMBER H1089-133 HOME PHONE _____

NAME OF APPLICANT Kelly & Kelly Architects WORK PHONE 283-3492

MAILING ADDRESS OF APPLICANT 118 W. Sixth Street
Stuart, Florida ZIP CODE 34994

LOT 10 BLOCK E SUBDIVISION Amended Plat of Homewood

IF NOT SUBDIVIDED, ATTACH A COMPLETE LEGAL DESCRIPTION

PLAT BOOK 3 PAGE 35 DATE SUBDIVIDED January 11, 1956

RESIDENTIAL: NUMBER DWELLING UNITS 1 NUMBER BEDROOMS 4

LOT SIZE 15,000 FT² HEATED OR COOLED AREA OF HOME 2730 FT²

COMMERCIAL: TYPE OF BUSINESS PROPOSED _____

BUILDING SIZE _____ FT²

-----AFFIDAVIT-----

I HAVE REVIEWED THIS PERMIT AND I CERTIFY THAT ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT AND ANY APPLICABLE STATE OR COUNTY REGULATIONS.

SIGNATURE OF PROPERTY OWNER OR OWNER'S LEGALLY AUTHORIZED REPRESENTATIVE

[Signature] for Kelly & Kelly Architects

-----INSTALLATION SPECIFICATIONS-----

SEPTIC TANK CAPACITY 1050 GALLONS

DRAINFIELD SIZE 400 SQUARE FEET

DRAINFIELD ROCK MUST BE 5 FEET FROM FRONT OR REAR PROPERTY LINES AND 5 FEET FROM SIDE PROPERTY LINES. EXCAVATION CAN NOT EXTEND MORE THAN FIVE FEET FROM APPROVED INSTALLATION AREA.

TOP OF BUILDING STUB-OUT IS REQUIRED TO BE A MINIMUM ELEVATION OF

FINISH SOIL GRADE

* Do not exceed 18" of cover over D.F. rock.

ISSUED BY: [Signature] DATE 2-21-89
MARTIN COUNTY PUBLIC HEALTH UNIT

PLEASE NOTE:

- (1) IF BUILDING CONSTRUCTION DOES NOT START WITHIN ONE YEAR FROM DATE OF ISSUANCE, THIS PERMIT EXPIRES. IF BUILDING CONSTRUCTION STARTS WITHIN 1 YEAR FROM DATE OF ISSUANCE, THE DATE OF EXPIRATION WILL BE EXTENDED AN ADDITIONAL 90 DAYS.
- (2) APPLICANT IS RESPONSIBLE FOR REPLACING EXCAVATED SOILS WITH A GOOD GRADE OF SAND.
- (3) \$60 REINSPECTION FEE IF WELL NOT INSTALLED AT TIME OF ONSITE SEWAGE DISPOSAL SYSTEM INSPECTION.
- (4) INSPECTION RESULTS WILL BE POSTED ON BUILDING PERMIT OR ON ELECTRICAL BOX.
- (5) IF BUILDING STUBOUT IS PLACED MORE THAN 20 FEET FROM SEPTIC TANK OR DRAINFIELD, A HIGHER STUBOUT ELEVATION THAN SHOWN ABOVE WILL BE REQUIRED.
- (6) IF FILL IS REQUIRED, CONTACT MARTIN COUNTY BUILDING DIVISION.
- (7) IF ANY INFORMATION ON THIS PERMIT CHANGES, AN UPDATED APPLICATION IS REQUIRED.
- (8) IF WELL OR MOUND DRAINFIELD IS PROPOSED, SEE ATTACHED SKETCH OF ADDITIONAL SPECIAL REQUIREMENTS.

-----FINAL INSPECTION-----

CONSTRUCTION APPROVED BY: _____ DATE _____
MARTIN COUNTY PUBLIC HEALTH UNIT

AN APPROVED SYSTEM DOES NOT GUARANTEE PERFORMANCE



APPLICANT Kelly & Kelly Architects

LEGAL DESCRIPTION Lot 10, Block E, Homewood


-----SITE INFORMATION-----

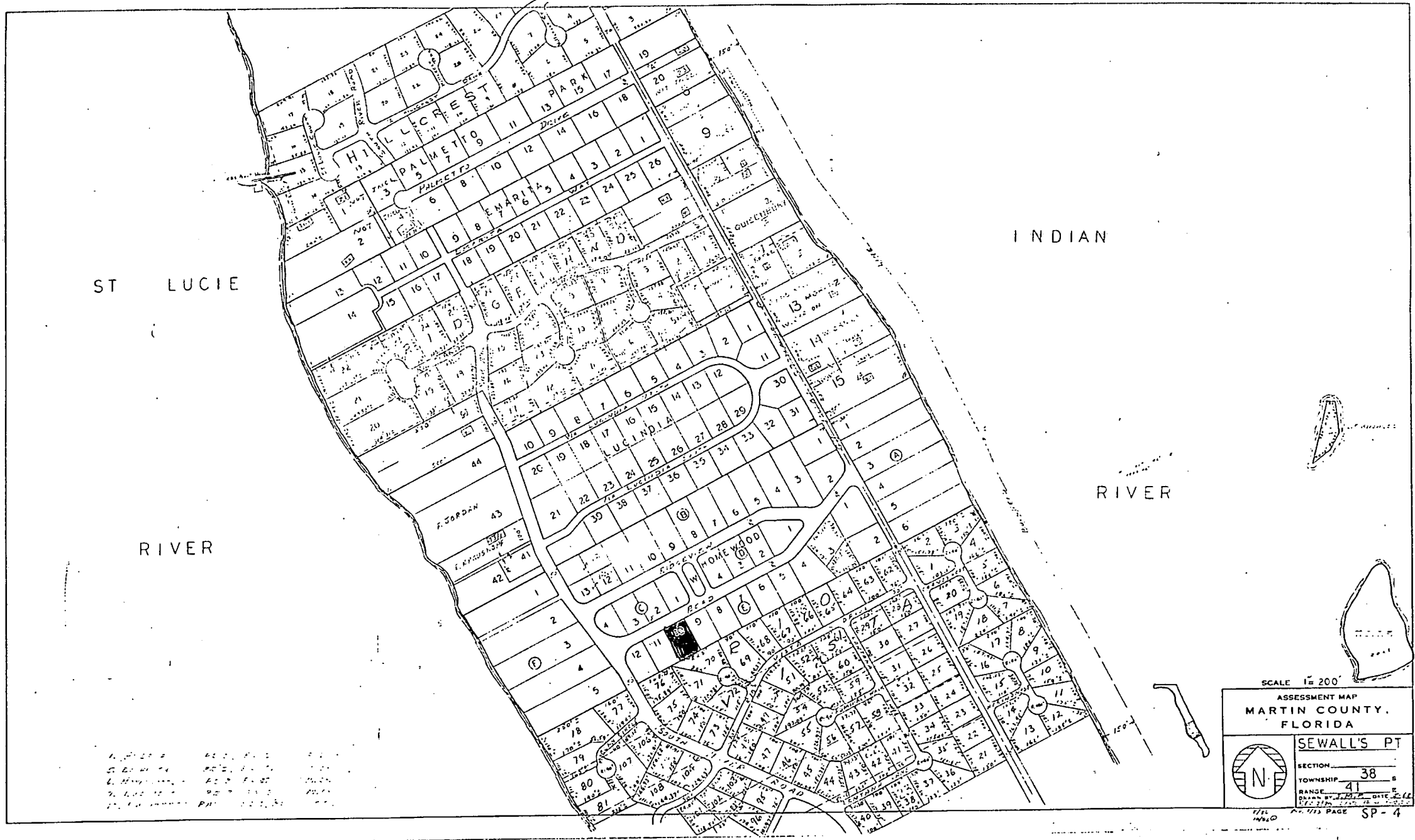
1. IS THERE A SEPTIC SYSTEM OR OTHER INTERFERENCE WITHIN 75 FEET OF THE PROPOSED PRIVATE WELL? NO
2. IS THERE A POTABLE PRIVATE WELL WITHIN 75 FEET OF THE PROPOSED AVAILABLE AREA FOR THE PROPOSED SEPTIC SYSTEM? NO
3. IS THERE AN IRRIGATION WELL WITHIN 50 FEET OF THE AVAILABLE AREA FOR THE PROPOSED SEPTIC SYSTEM? NO
4. IS THERE A PUBLIC WELL THAT SERVES LESS THAN 25 PEOPLE OR LESS THAN 15 HOMES WITHIN 100 FEET OF THE PROPOSED SEPTIC SYSTEM? NO
5. IS THERE A PUBLIC WELL WHICH SERVES MORE THAN 25 PEOPLE OR MORE THAN 15 HOMES WITHIN 200 FEET OF THE PROPOSED SEPTIC SYSTEM? NO
6. IS THERE A GRAVITY SEWER LINE OR LIFT STATION WITHIN 100 FEET OF THE PROPOSED LOT? NO
7. IS THERE A LAKE, STREAM, WETLAND, OR SURFACE WATER WITHIN 75 FEET OF THE PROPOSED AVAILABLE AREA FOR THE PROPOSED SEPTIC SYSTEM? NO
8. IS THERE A PROPOSED OR EXISTING PUBLIC DRINKING WATER LINE WITHIN 10 FEET OF THE PROPOSED SEPTIC SYSTEM? NO
9. IS THERE A STORM WATER RETENTION AREA OR DRAINAGE EASEMENT WITHIN 15 FEET OF THE PROPOSED SEPTIC SYSTEM? NO
10. IS THE SEPTIC SYSTEM IN AN AREA PROPOSED FOR PAVING OR VEHICULAR TRAFFIC? NO
11. ARE ALL PRIVATE WELLS, SEPTIC SYSTEMS AND SURFACE WATER ON ADJACENT OR CONTIGUOUS LAND WITHIN 75 FEET OF THE APPLICANT'S LOT, IF PRESENT, SHOWN ON PLOT PLAN? YES
12. ARE ALL PUBLIC WELLS WITHIN 200 FEET OF THE APPLICANT'S LOT, IF PRESENT, SHOWN ON PLOT PLAN? YES
13. DOES THE PLOT PLAN INCLUDE A PLAT OF THE LOT OR TOTAL SITE OWNERSHIP DRAWN TO SCALE, BOUNDARIES WITH DIMENSIONS, LOCATIONS OF BUILDING OR RESIDENCES, SWIMMING POOLS, RECORDED EASEMENTS, THE PROPOSED SEPTIC SYSTEM, ANY PROPOSED OR EXISTING WELLS, PUBLIC WATER LINES, PAVED AREAS OR DRIVEWAYS, AND SURFACE WATERS SUCH AS LAKES, PONDS, STREAMS, CANALS, OR WETLANDS? YES
14. THERE IS 1,200 SQUARE FEET OF AVAILABLE LAND TO INSTALL THE SEPTIC SYSTEM. THIS AREA EXCLUDES INTERFERENCES. SHADE THIS AVAILABLE AREA ON PLOT PLAN.

-----ELEVATIONS-----

1. CROWN OF ROAD ELEVATION 16.61 NGVD SHOW LOCATION ON PLOT PLAN. IF ROAD IS NOT PAVED, BENCHMARK ELEVATION _____ NGVD SHOW LOCATION ON PLOT PLAN.
2. NATURAL GRADE ELEVATION IN AREA OF PROPOSED SEPTIC SYSTEM 19.6 NGVD SHOW LOCATION ON PLOT PLAN.
2. IS BUILDING LOCATED IN FLOOD HAZARD AREA "A" OR "V" AS IDENTIFIED ON FEMA MAPS? NO IF YES, WHAT IS THE MINIMUM REQUIRED FLOOD HAZARD FLOOR ELEVATION OF BUILDING? _____ NGVD.

NOTE: MUST BE CERTIFIED BY A FLORIDA REGISTERED SURVEYOR OF ENGINEER.

CERTIFIED BY: 
FL. PROFESSIONAL NO. 4557
DATE: 2-10-89 JOB NO. 89-023



ST LUCIE

INDIAN

RIVER

RIVER

- 1. Street
- 2. Lot
- 3. Block
- 4. Section
- 5. Township
- 6. Range
- 7. Date
- 8. Page

SCALE 1" = 200'

ASSESSMENT MAP
MARTIN COUNTY,
FLORIDA

SEWALL'S PT

SECTION _____
TOWNSHIP 38 S
RANGE 41 E
DATE 2-11-11

1/11/11 1496.0 PAGE SP-4

MARTIN COUNTY PUBLIC HEALTH UNIT
131 East 7th Street
Stuart, Florida 34997
287-2277

SITE EVALUATION

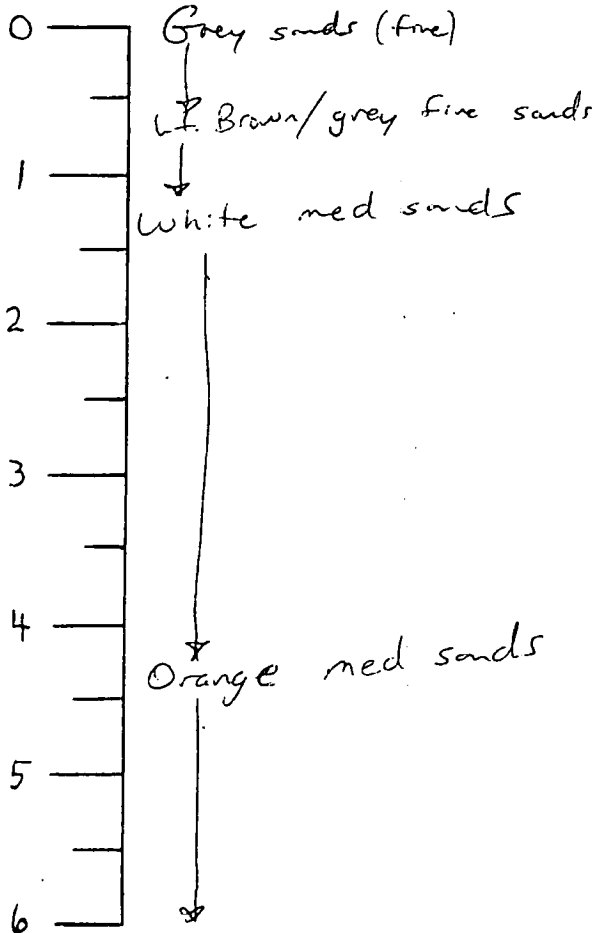
APPLICANT:

Kelly + Kelly Architects

LEGAL DESCRIPTION:

Lot 10 Blk E Homewood Amended

SOIL PROFILE



USDA SOIL TYPE Paola

USDA SOIL NUMBER #6

Impervious soils are present at >6' below natural grade.

Present Water Depth Below Natural Grade >6'

Wet Season Range Per Soil Survey >72"

Estimated Wet Season Water Depth Below Natural Grade 6'

Indicator Vegetation Present figs, sabal Palm

Is Benchmark Located on Plot Plan and Present on Site? yes

Approximate Amount of Fill on Neighboring Lots -0-

Other Findings:

EVALUATION BY: Mike Roubal

DATE: 2/20/89

NOTICE



Summarization of Mechanics' Lien Law

CONTRACTORS:

THIS NOTICE MUST BE GIVEN TO
PROPERTY OWNERS BEFORE CONSTRUCTION BEGINS.

PROPERTY OWNERS:

READ THIS STATEMENT CAREFULLY. YOUR FAILURE TO COMPLY WITH THE
MECHANICS' LIEN LAW MAY RESULT IN A LIEN BEING FILED AGAINST YOUR
PROPERTY AND MAY RESULT IN YOU PAYING TWICE FOR BUILDING IMPROVEMENTS.

The Florida Department of Agriculture and Consumer Services is required by Florida law (Section 713.135, Florida Statutes) to supply issuing authorities with a printed statement that ... "The right, title, and interest of the person who has contracted for the improvement may be subject to attachment under the Mechanics' Lien Law." Florida law also requires the issuing authority to provide such information to any applicant who applies for a building permit, as well as to the owner of the real property upon which improvements are to be constructed.

The Mechanics' Lien Law (Chapter 713, Part I, Florida Statutes) provides a method by which a contractor, subcontractor, laborer, building material supplier, architect, landscape architect, interior designer, engineer, or land surveyor may claim a lien on real property on which they have done work or to which they have furnished materials. If the lien is not satisfied, your property may be sold to pay the lien.

WHAT IS IT?

A "lien" is a charge or encumbrance on real property (land that is improved and the improvements thereon, including fixtures) which must be satisfied by the property owner to ensure clear title.

"Attachment" means that if a court finds a claim of lien valid, the owners' property may be seized and sold to satisfy the lien if it is not voluntarily paid.

A "Notice of Commencement" is a notice which is filed with the Clerk of the Circuit Court in the county where the work will be performed. The notice should not be recorded before the construction or development mortgage is recorded, but must be recorded before actual construction begins. It contains detailed information on the property owner, financing arrangements, and other specifics regarding the construction project. If a performance bond is to be posted, a copy of the bond must be attached to the "Notice of Commencement".

THE OWNERS' RESPONSIBILITY

Before any construction begins, and after the construction mortgage has been recorded, the owner should take the following steps:

1. At the time application is made for a building permit, a "Notice of Commencement" form may be obtained from an office supply store.
2. Complete the "Notice of Commencement" form with the required information and retain a certified copy.
3. After the building permit is issued, record the "Notice of Commencement" with the Clerk of the Circuit Court in the county where the work will be performed. If a performance bond is to be posted, a copy of the bond must be attached at the time of, or prior to, recordation of the "Notice of Commencement."
4. Post the certified copy of the "Notice of Commencement" at the job site. There is no requirement to post a copy of the bond at the construction site.

An owner's failure to comply with these requirements could affect title to your property.

WHEN CAN A LIEN BE FILED AGAINST YOUR PROPERTY?

There are two instances which can result in a lien being filed against your property:

1. If you fail to pay your contractor for work performed, your property can be subject to a Mechanics' Lien filed by the contractor.
2. If a laborer, subcontractor, or a person supplying materials to your property is not paid and has given you a "Notice to Owner" and your contractor fails to pay that laborer, subcontractor or materialman, they can file a Mechanics' Lien against your property. A "Notice to Owner" is a written statement that gives you the name, address, and description of the work to be done by the subcontractor or materialman.

WHAT TO DO TO PROTECT YOURSELF

For your protection, if you are planning to spend over \$2,500 on building or improvements, before you start building it is suggested:

1. You consult an attorney regarding the Mechanics' Lien Law before starting a major construction project. Make sure that all requirements for recording and posting the "Notice of Commencement" have been accomplished.
2. Before making any payments to your contractor, you should get a sworn statement in writing that the contractor has paid all the bills for your job.
3. If you have received a "Notice to Owner" from anyone, you should require your contractor to get a sworn statement from each such person stating that they have been paid for all work done on your job. This should be done before making any payments to your contractor.
4. If you are borrowing money to complete the improvements and the lender pays the contractor directly, you should make sure the lender is getting these sworn statements before any payments are made to the contractor.
5. If a Mechanics' Lien is filed against your property, consult an attorney immediately.

Notice of Commencement

FLA. STAT. ANN. § 713.13 (1) (a)

To whom it may concern:
 The undersigned hereby informs all concerned that improvements will be made to certain real property, and in accordance with section 713.13 of the Florida Statutes, the following information is stated in this NOTICE OF COMMENCEMENT.

Legal Description of property (include Street Address, if available)

General description of improvements

Owner

Address

Owner's interest in site of the improvement

Fee Simple Title holder (if other than owner)

Name

Address

Contractor

Address

Surety (if any)

Address

Amount of bond \$

Any person making a loan for the construction of the improvements:

Name

Address

Person within the State of Florida designated by owner upon whom notices or other documents may be served:

Name

Address

In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (h), Florida Statutes. (Fill in at Owner's option)

Name

Address

THIS SPACE FOR RECORDER'S USE ONLY

Owner

Sworn to and subscribed before me this

..... day of

..... 19.....

Notary Public

THE AUTHORITY ISSUING THE BUILDING PERMIT IS REQUIRED BY LAW TO GIVE THE OWNER AND THE APPLICANT A COPY OF THIS STATEMENT. THIS STATEMENT IN NO WAY IMPLIES THAT YOUR CONTRACTOR IS UNRELIABLE.

This public document was promulgated at an annual cost of \$272.56 or \$0.14 per copy to inform Floridians of consumer interest matters.

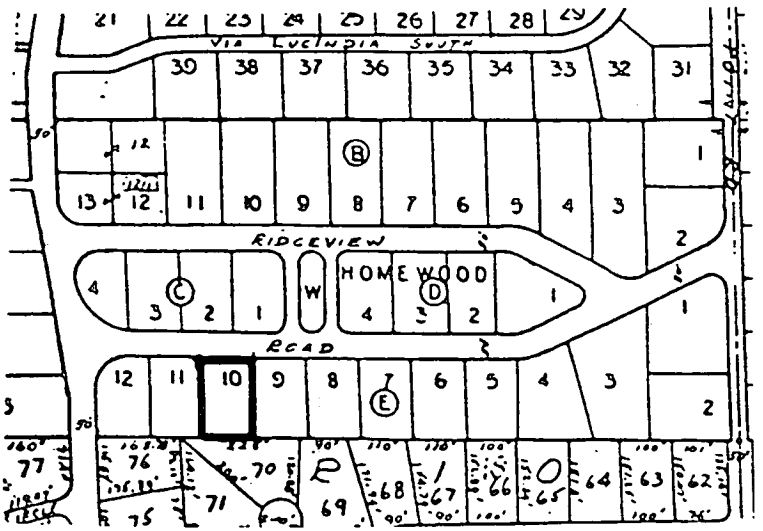
DESCRIPTION

LOT 10 IN BLOCK E, ACCORDING TO THE AMENDED PLAT OF HOMEWOOD, SEWALE'S POINT, MARTIN COUNTY, FLORIDA, ON FILE AND OF RECORD IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR MARTIN COUNTY, FLORIDA, IN PLAT BOOK 3, AT PAGE 35. SUBJECT TO ANY APPLICABLE EASEMENTS, RIGHTS-OF-WAY, OR OTHER RESTRICTIONS OF RECORD.

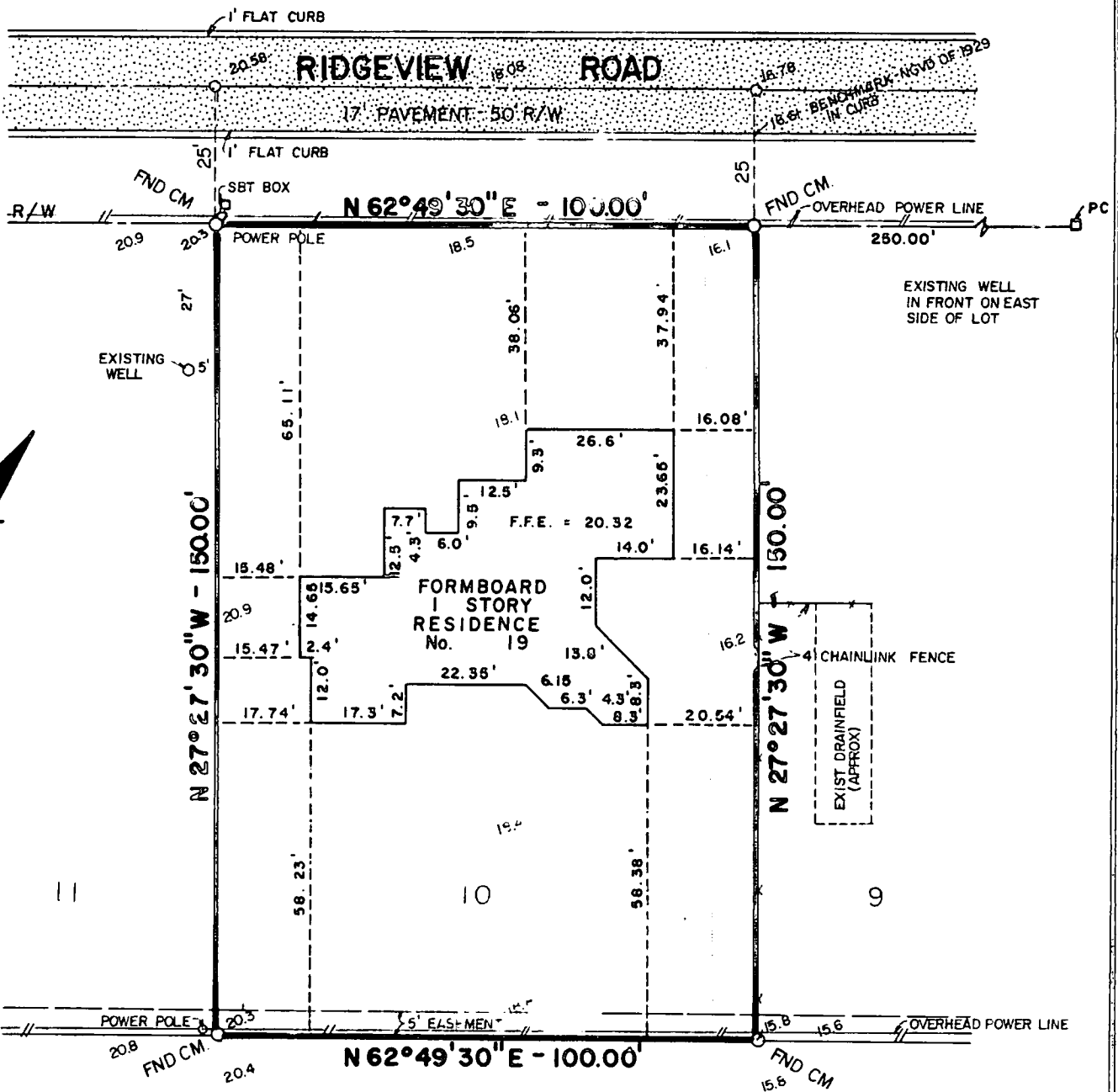
NOTES

1. A SEARCH OF THE PUBLIC RECORDS HAS NOT BEEN MADE BY THIS OFFICE.
2. HEARINGS SHOWN HEREON REFER TO THE PLAT OF RECORD.
3. ELEVATIONS SHOWN HEREON ARE RELATED TO N.G.V.D. OF 1929.
4. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE PLAN INFORMATION PRIOR TO CONSTRUCTION.
5. PROPERTY LIES IN FLOOD ZONE "C".
6. CERTIFIED TO MICHAEL E. & CHRISTINE E. SWEET; FIRST NATIONAL BANK & TRUST COMPANY OF THE TREASURE COAST, ITS SUCCESSORS AND/OR ASSIGNS, ATIMA; ATTORNEY'S TITLE INSURANCE FUND, INC.; WARNER, FOX, SEELEY & DUNGEY, ATTORNEYS, P.A.; AND CRARY, BUCHANAN, HOWDISH & BOVIE.

VICINITY MAP



BOUNDARY SURVEY



Form Board 7-25-89 DK

70
RIO VISTA S/D

DRAWN BY: **D. KILLANE**
 DATE DRAWN: **2-10-89**
 DATE IN FIELD: **8-27-84**
 FIELD BOOK: **28 A** Pg.

REVISIONS

No	REVISIONS	DATE	BY
5	REVISIONS	6-6-89	DK
4	SITE PLAN	2-10-89	DK
3	TREE LOCATION	8-17-87	DK
2	REDRAWN	12-5-86	DK
1	ORIGINALLY DRAWN	9-4-84	RA

ORDER NUMBER: **89-023**

SOUTH FLORIDA
PROFESSIONAL LAND SURVEYORS
 921 NORTHEAST JENSEN BEACH BOULEVARD
 JENSEN BEACH, FLORIDA 34957
 (407) 334-1800

CERTIFICATIONS

I HEREBY CERTIFY that the plat shown hereon is a true and correct representation of a survey made under my direction and that said survey meets the Minimum Technical Standards of Florida Administrative Code Rule 21-111-6 pursuant to P.S. Chapter 472 and that there are no encroachments unless otherwise shown. NOT VALID unless sealed with an EMBOSSED SEAL.



TERRY L. McDEVITT
 PROFESSIONAL LAND SURVEYOR
 FLORIDA CERTIFICATE No. 4557

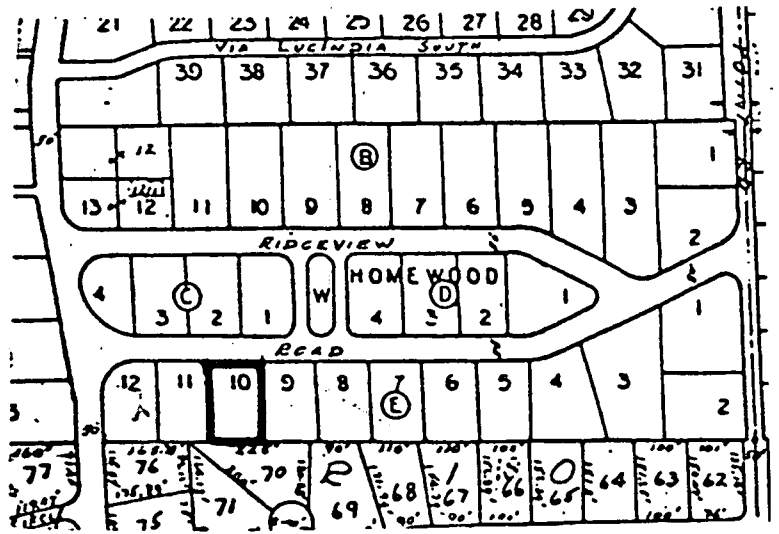
DESCRIPTION

LOT 10, BLOCK E, HOMEWOOD, ACCORDING TO THE AMENDED PLAT THEREOF, FILED ON JANUARY 11, 1956 AND RECORDED IN PLAT BOOK 3, PAGE 35, MARTIN COUNTY, FLORIDA PUBLIC RECORDS. SUBJECT TO ANY APPLICABLE EASEMENTS, RIGHTS-OF-WAY, OR OTHER RESTRICTIONS OF RECORD.

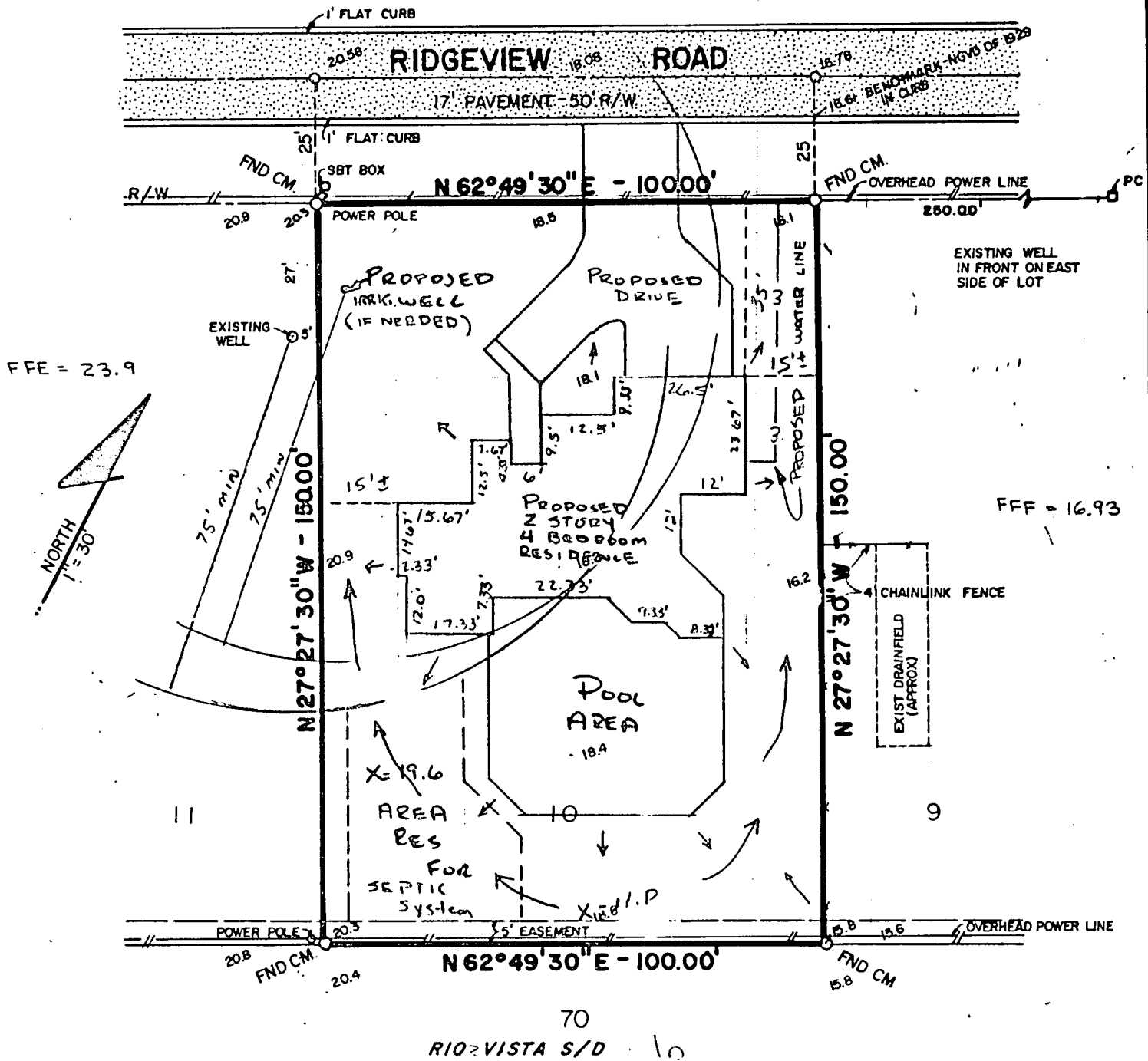
NOTES

1. A SEARCH OF THE PUBLIC RECORDS HAS NOT BEEN MADE BY THIS OFFICE.
2. BEARINGS SHOWN HEREON REFER TO THE PLAT OF RECORD.
3. ELEVATIONS SHOWN HEREON ARE RELATED TO H.C.V.D. OF 1929.
4. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE PLAN INFORMATION PRIOR TO CONSTRUCTION.
5. PROPERTY LIES IN FLOOD ZONE "C".
6. CERTIFIED TO MICHAEL E. & CHRISTINE E. SWEET, FIRST NATIONAL BANK & TRUST COMPANY OF THE TREASURE COAST, AND CHICAGO TITLE INSURANCE COMPANY.

VICINITY MAP



BOUNDARY SURVEY



DRAWN BY: **D. KILLANE**
 DATE DRAWN: **2-10-89**
 DATE IN FIELD: **8-27-84**
 FIELD BOOK: **28 A** Pg.

REVISIONS			
No.	REVISIONS	DATE	BY
5			
4	SITE PLAN	2-10-89	DK
3	TREE LOCATION	8-17-87	DK
2	REDRAWN	12-5-86	DK
1	ORIGINALLY DRAWN	9-4-84	RA

SOUTH FLORIDA PROFESSIONAL LAND SURVEYORS
 921 NORTHEAST JENSEN BEACH BOULEVARD
 JENSEN BEACH, FLORIDA 34957
 (407) 334-1800

CERTIFICATIONS
 I HEREBY CERTIFY that the plat shown hereon is a true and correct representation of a survey made under my direction and that said survey meets the Minimum Technical Standards of Florida Administrative Code Rule 21-111-6 pursuant to P.S. Chapter 472 and that there are no encroachments unless otherwise shown. NOT VALID unless sealed with an EMBOSSED SEAL.

TERRY L. MCDEVITT
 PROFESSIONAL LAND SURVEYOR
 FLORIDA CERTIFICATE No. 4687

ORDER NUMBER: **89-023**

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

RECORD OF INSPECTIONS

Date 1/5/90

This is to request a Certificate of Approval for Occupancy to be issued to Dr. Sweet for a structure built under Permit # 2557
(Owner of Property)

Subdivision Ridgeview Lot 10 Street Address 19 Ridgeview

when completed in conformance with the approved plans.

[Signature]
Signed (Owner)

- 1. Lot Stakes/Set Backs _____
- 2. Termite Protection 7-26-89
- 3. Footing - Slab 7-26-89
- 4. Rough Plumbing 7-24-89
- 5. Rough Electric 9-15-89
- 6. Lintel _____
- 7. Roof 11-3-89
- 8. Framing 9-15-89
- 9. Insulation 9-19-89
- 10. A/C Ducts 9-15-89
- 11. Final Electric 1-4-90
- 12. Final Plumbing 1-4-90
- 13. Final Construction 1-4-90

Final Inspection for Issuance of Certificate of Occupancy.

Approved by Building Inspector Dale Brown 1/5/90 date

Approved by Building Commissioner [Signature] _____ date

Utilities notified F.P.L. 1-5-90 date

Distribution:
original - owner
copies - Town Building Inspector, Deputy Clerk

2569

SWIMMING POOL

Permit No. _____

Date _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Michael + Christine Sweet Present Address 271 N.E. Edgewater Dr.

Phone 225-3933 work 283-4429 STUART 34996

Contractor Martin Pools, Inc. Address 1501 Decker Ave. # 304

Phone 692-2450 287-6121 Stuart, Fl. 34994

Where licensed Martin City License number SP. 00930

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Construct Swimming Pool

19 Ridgeway Rd. Sewall's Pt Fl.
State the street address at which the proposed structure will be built:

Subdivision Homewood Lot number 10 Block number E

Contract price \$ 16,000.00 Cost of permit \$ 100.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Judith Martin

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Christie C Sweet

TOWN RECORD
Approved: D. de Ben
Building Inspector _____ Date _____

Date submitted _____

Approved: _____ Commissioner _____ Date _____
Final Approval given: _____ Date _____

Certificate of Occupancy issued (if applicable) _____
Date _____

SP1282

Permit No. _____

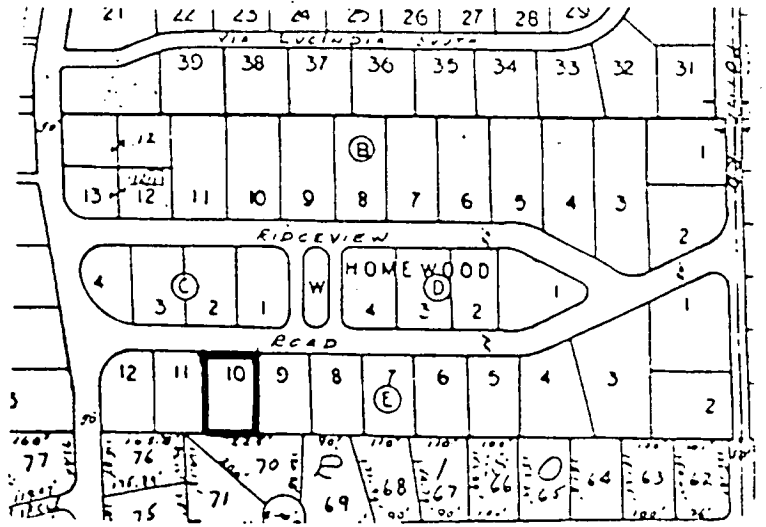
Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

DESCRIPTION

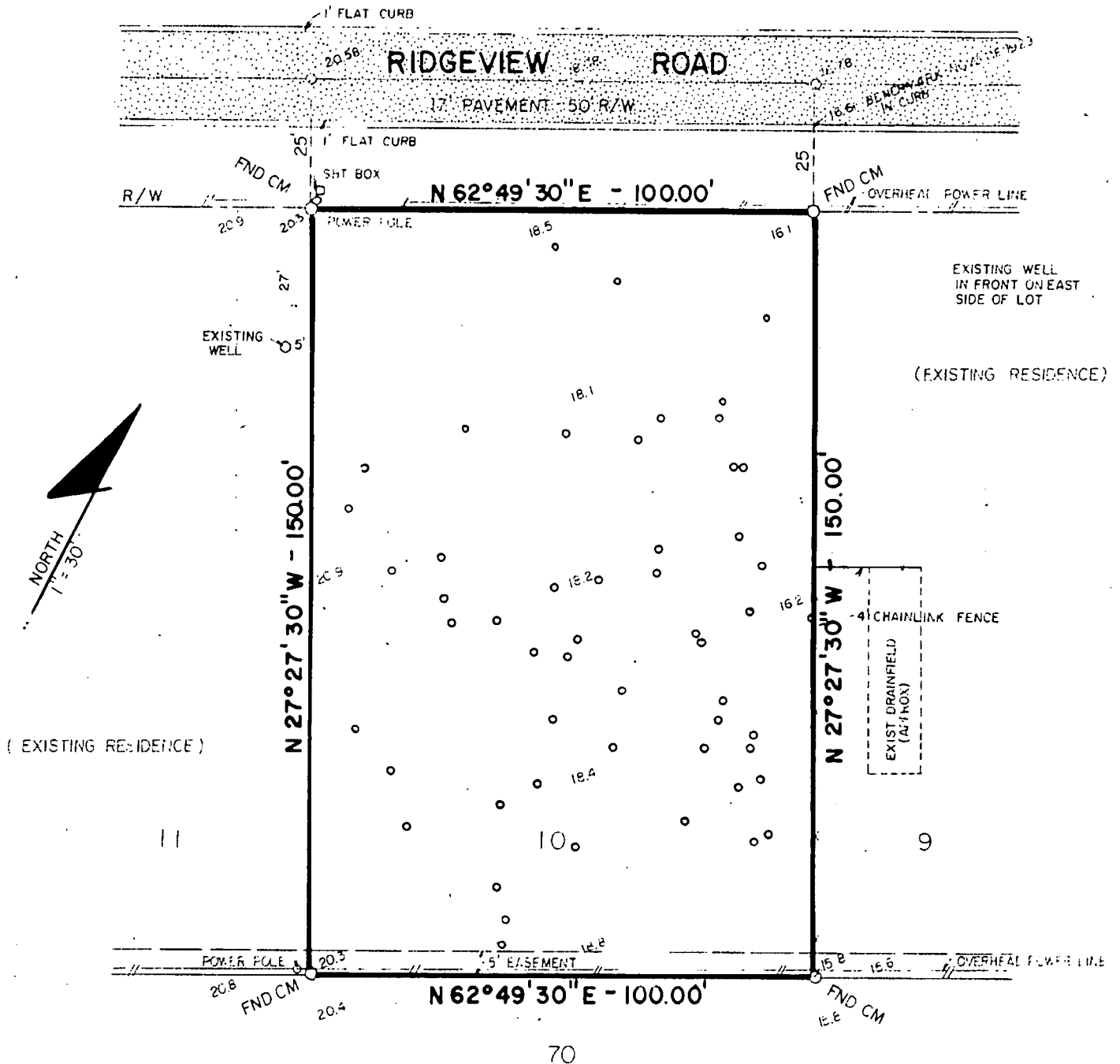
LOT 10, BLOCK E, HOMEWOOD, ACCORDING TO THE AMENDED PLAT THEREOF, FILED ON JANUARY 11, 1956, AND RECORDED IN PLAT BOOK 3, PAGE 35, MARTIN COUNTY, FLORIDA PUBLIC RECORDS. SUBJECT TO ANY APPLICABLE EASEMENTS, RIGHTS-OF-WAY, OR OTHER RESTRICTIONS OF RECORD.

1. THIS SURVEY IS CERTIFIED TO COMPLY WITH THE TECHNICAL STANDARDS AS PRESCRIBED IN CHAPTER 21HH-6, F.A.C.
2. CERTIFIED TO MICHAEL E. & CHRISTINE E. SWEET, FIRST NATIONAL BANK & TRUST COMPANY OF STUART, AND CHICAGO TITLE INSURANCE COMPANY.
3. PROPERTY LIES IN FLOOD ZONE "C"

VICINITY MAP



BOUNDARY SURVEY



○ = DENOTES TREE

BETHAM ASSOCIATES
ENGINEERS · PLANNERS · SURVEYORS

921 NORTHEAST JENSEN BEACH BOULEVARD, JENSEN BEACH, FLORIDA 33457
 (305) 334-1800

Drawn By: **DPK**
 Date: **12-5-86**
 Revised: **8-17-87**
 Order Number: **86-457**
 Plat Book **3**

NOTE: THE SURVEY SHOWN HEREON COMPLIES WITH THE MINIMUM REQUIREMENTS FOR LAND SURVEYS MADE FOR TITLE PURPOSES IN FLORIDA, AS DEVELOPED AND ADOPTED BY THE F.S.P.L.S. AND THE F.L.T.A. A SEARCH OF THE PUBLIC RECORDS HAS NOT BEEN MADE BY THIS OFFICE.

I HEREBY CERTIFY that the plat shown hereon is a true and correct representation of a survey made under my direction and that said survey is accurate to the best of my knowledge and belief and that, unless otherwise shown, there are no encroachments. NOT VALID unless sealed with an EMBOSSED SEAL.

Page **35** Field Book
 Scale **1" = 30'**

Carol W. Betham
PROFESSIONAL LAND SURVEYOR
 FLORIDA CERTIFICATE NO. 3199

2814
FENCE

Permit No. 2814

Date _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner MIKE & CHRIS SWEET Present Address 19 Ridgeview RD.
Phone 220-0335 ^{WORK} 283-4429 _{HM.}

Contractor UNITED FENCE Address 1210 RICKENBACKER TERR., P.S.S.
Phone 335-2627

Where licensed MARTIN License number 00541

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: FENCE, 6' SHAD. BOX, REAR PERIMETER

State the street address at which the proposed structure will be built: _____

Subdivision HOMEWOOD Lot number 10 Block number _____

Contract price \$ 3124.00 Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor George Durr

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Michael Sweet

TOWN RECORD

Date submitted _____ Approved: _____ Building Inspector _____ Date _____

Approved: _____ Commissioner _____ Date _____ Final Approval given: _____ Date _____

Certificate of Occupancy issued (if applicable) _____ Date _____

SP1282

Permit No. 2814

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

6854

**HURRICANE
SHUTTERS**

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 8/9/04

BUILDING PERMIT NO. 6854

Building to be erected for SWEET

Type of Permit HURRICANE SHUTTERS

Applied for by FOODING SHUTTER CORP

(Contractor) Building Fee \$10,600 * \$9.60/1000 = 101.76

Subdivision HOMWOOD Lot 10 Block E

Radon Fee _____

Address 19 S. RIDGEVIEW RD

Impact Fee _____

Type of structure SFL

A/C Fee _____

Parcel Control Number:

138410060050010040000

Electrical Fee _____

Plumbing Fee _____

Amount Paid 101.76 Check # 1864 Cash _____ Other Fees (_____)

Roofing Fee _____

Total Construction Cost \$ 10,600.00

TOTAL Fees 101.76

Signed Donna Benson
Applicant

Signed Gene Simmons (PA)
Town Building Official

PERMIT

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input checked="" type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL _____ |

Town of Sewall's Point BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME: Michael/Christine Sweet Phone (Day) 220-0335 (Fax) _____

Job Site Address: 19 S. Ridgeview Road City: Stuart State: Fl Zip: 34996

Legal Description of Property: Homewood Lot 10 Blk E Parcel Number: 01-38-41-006-005-00100-4

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: Install shutters 14 folding, 16 storm panels, 2 impact bahamas

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: Folding Shutter Corp. Phone: ext 165 561-683-4811 Fax: _____

Street: 7089 Hemstreet Pl City: West Palm Bch State: Fl Zip: 33413

State Registration Number: _____ State Certification Number: _____ Martin County License Number: 1976-650-289

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 10,600 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ ScreenedPorch: _____
Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) _____

State of Florida, County of: Martin

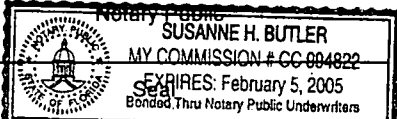
This the 10th day of July, 2004

by Michael E. Sweet who is personally

known to me or produced

as identification. Susanne Butler

My Commission Expires:



CONTRACTOR SIGNATURE (required) _____

On State of Florida, County of: PALM BEACH

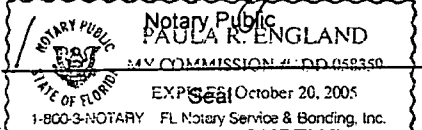
This the 19TH day of JULY, 2004

by KEVIN R. HEMSTREET who is personally

known to me or produced

As identification. Paula R. England

My Commission Expires:



ACORD CERTIFICATE OF LIABILITY INSURANCE

CSR PG
FOLDING

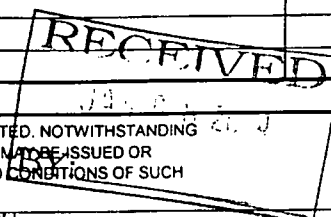
DATE (MM/DD/YYYY)
12/31/03

PRODUCER
SLATON INSURANCE
P.O. Box 220537
West Palm Beach FL 33422
Phone: 561-683-8383 Fax: 561-684-5995

INSURED
Folding Shutter Corporation
7089 Hemstreet Place
West Palm Beach FL 33413

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE	NAIC #
INSURER A: Auto-Owners Insurance Company	09703
INSURER B: AmCOMP Preferred Ins Company	10006
INSURER C:	
INSURER D:	
INSURER E:	



COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	2058178002	01/01/04	01/01/05	EACH OCCURRENCE \$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 50,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person) \$ 5,000
	<input checked="" type="checkbox"/> Employee Benefit				PERSONAL & ADV INJURY \$ 1,000,000
	<input type="checkbox"/> XCUI BFPD				GENERAL AGGREGATE \$ 1,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER:				PRODUCTS - COMP/OP AGG \$ 1,000,000
	<input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				Empl Bnft 1,000,000
	AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT (Ea accident) \$
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident) \$
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident) \$
	<input type="checkbox"/> HIRED AUTOS				
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$
	<input type="checkbox"/> ANY AUTO				OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
A	EXCESS/UMBRELLA LIABILITY	20584721	01/01/04	01/01/05	EACH OCCURRENCE \$ 5,000,000
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE \$ 5,000,000
	<input type="checkbox"/> DEDUCTIBLE				\$
	<input checked="" type="checkbox"/> RETENTION \$10 000				\$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	WCV7049780	01/01/04	01/01/05	WC STATU-TORY LIMITS <input checked="" type="checkbox"/> OTH-ER \$
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				E.L. EACH ACCIDENT \$ 500 000
	If yes, describe under SPECIAL PROVISIONS below				E.L. DISEASE - EA EMPLOYEE \$ 500 000 E.L. DISEASE - POLICY LIMIT \$ 500 000
A	OTHER	2059502402	01/01/04	01/01/05	Rental 25 000 Equip Ded 500

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

*STATE OF FLORIDA REQUIRES THIRTY (30) DAYS NOTICE OF CANCELLATION ON WORKERS COMPENSATION/NOTICE OF NON RENEWAL IS FORTY FIVE (45) DAYS & NON PAYMENT IS TEN (10) DAYS

FAX: 561-334-5232

CERTIFICATE HOLDER

TOWNSEW

Town Of Sewells Point
1 S Sewells Point Road
Sewells Point FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL *10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

2003-2004 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 8013, Stuart, FL 34988
(772) 288-8604

LICENSE 1976-650-289 CERT _____
PHONE (561) 264-8633 SIC NO 001541
LOCATION: 7082 HEM ST MAR

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	<u> .00</u>	LIC. FEE \$	_____
\$	<u> .00</u>	PENALTY \$	_____
\$	<u> .00</u>	COL. FEE \$	_____
\$	<u> .00</u>	TRANSFER \$	_____
TOTAL			<u>25.00</u>



IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION OF RETAIL/WHOLESALE CONTR

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

11 DAY OF SEPTEMBER 03
AND ENDING SEPTEMBER 30, 2004

MR. KEVIN R. (V. PRES)
SHUTTER CORP
HEMSTREET QUALIFIER
HEMSTREET PLACE
WEST PALM BEACH FL 33413

12 03091001 003240



Return to: (enclose self-addressed stamped envelope)

Name: **Folding Shutter Corp.**
Address: **7089 Hemstreet Place WPB, FL 33413**

INSTR # 1772663
OR BK 01928 PG 2623
RECORDED 08/09/2004 11:05:21 AM
MARSHA EWING
CLERK OF MARTIN COUNTY FLORIDA
RECORDED BY T Copus (asst mgr)

This Instrument Prepared by:
Name:
Address: **SAME AS ABOVE**

Property Appraisers Parcel Identification:

SPACE ABOVE THIS LINE FOR PROCESSING DATA _____ SPACE ABOVE THIS LINE FOR PROCESSING DATA _____

NOTICE OF COMMENCEMENT

Permit No. _____ Tax Folio No. 01-38-41-006-005-00100
4

State of Florida
County of **Martin**

The undersigned hereby gives notice that improvements will be made to certain real property, and in accordance with chapter 713 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

Legal description of property (include street address) Homewood, Lot 10 Blk E - 19 S Ridgeview Road, Stuart, Florida

General description of Improvements INSTALL SHUTTERS

Owner's Name Michael & Christine Sweet

Address Same

Owner's Interest in site of the improvement OWNER

Fee Simple Title holder (if other than owner) _____

Address _____ Phone: _____ Fax: _____

Contractor Folding Shutter Corp

Address 7089 Hemstreet Pl WPB FL 33413 Phone: 561-6834811 Fax: 561-6408204

Surety _____ Phone: _____ Fax: _____

Address _____ Amount of bond \$ _____

Lender's Name _____

Address _____ Phone: _____ Fax: _____

Persons within the State of Florida designated by owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7, Florida Statutes.

Name _____

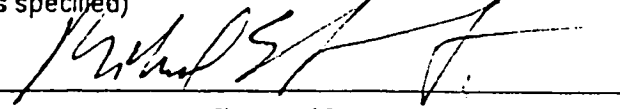
Address _____ Phone: _____ Fax: _____

In addition to himself, owner designates _____

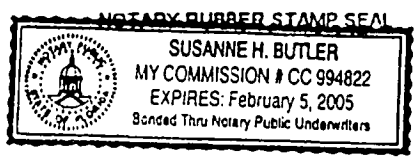
Of _____ Phone: _____ Fax: _____

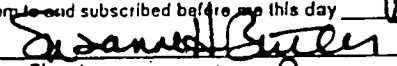
to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

Expiration date of Notice of Commencement (the expiration date is 1 year from the date of recording unless a different date is specified)


Signature of Owner

MICHAEL E SWEET
Printed Name of Owner



I have rolled upon the following identification of the Affiant personally known
Sworn and subscribed before me this day 10th of July 2004

Notary Signature
Susanne H. Butler
Printed Name

PRODUCTS MANUFACTURED
Titan Folding Shutters
Roll-A-Flex Rolling Shutters
Nassau Bahama Shutters
Cape Cod Colonial Shutters
Titan Removable Storm Panels



"THE INDUSTRY LEADER SINCE 1969"

Ft. Lauderdale to Delray Beach
(954) 427-8009

Stuart (861) 286-2533

Fax (861) 640-8204

TO: Sewall's Point
BUILDING DEPARTMENT

Folding Shutter Corporation hereby gives authorization for Steve Trepeck and Donna Brinson to submit, sign for and pickup permits in all municipalities located in Palm Beach County, Broward County and Martin County.

If you should have any questions, please do not hesitate to call Pamela Evans, extension 165.

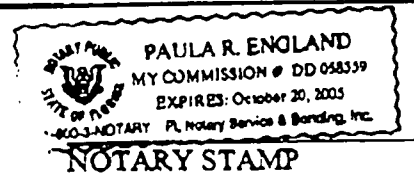
Thank you in advance for your cooperation in this matter.

Sincerely,

FOLDING SHUTTER CORPORATION

Kevin R. Hemstreet
Vice President/Qualifier

NOTARY SIGNATURE





MIAMI-DADE
BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Folding Shutter Corporation
7089 Hemstreet Place
West Palm Beach, Florida 33413

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: "Titan II" Aluminum Accordion Shutter

APPROVAL DOCUMENT: Drawing No. 1173, titled "Titan II Folding Shutter", sheets 1 through 5 of 5, prepared by W. W. Schaefer Engineering & Consulting, P.A., dated October 03, 2002, signed and sealed by Warren W. Schaefer, P.E. on June 05, 2003 bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 01-0118.03 & consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by **Helmy A. Makar, P.E.**



Helmy A. Makar
 07/17/03

NOA No 02-1224.03
Expiration Date: 04/09/2006
Approval Date: 07/17/2003

FOLDING SHUTTER CORP. ENGINEERING LAYOUT SHEET

CUSTOMER NAME

SWEET

WORK ORDER NO.

05192004019

SHEET

OF

BY:

T.W.M

DATE:

7-7-04

LAYOUT

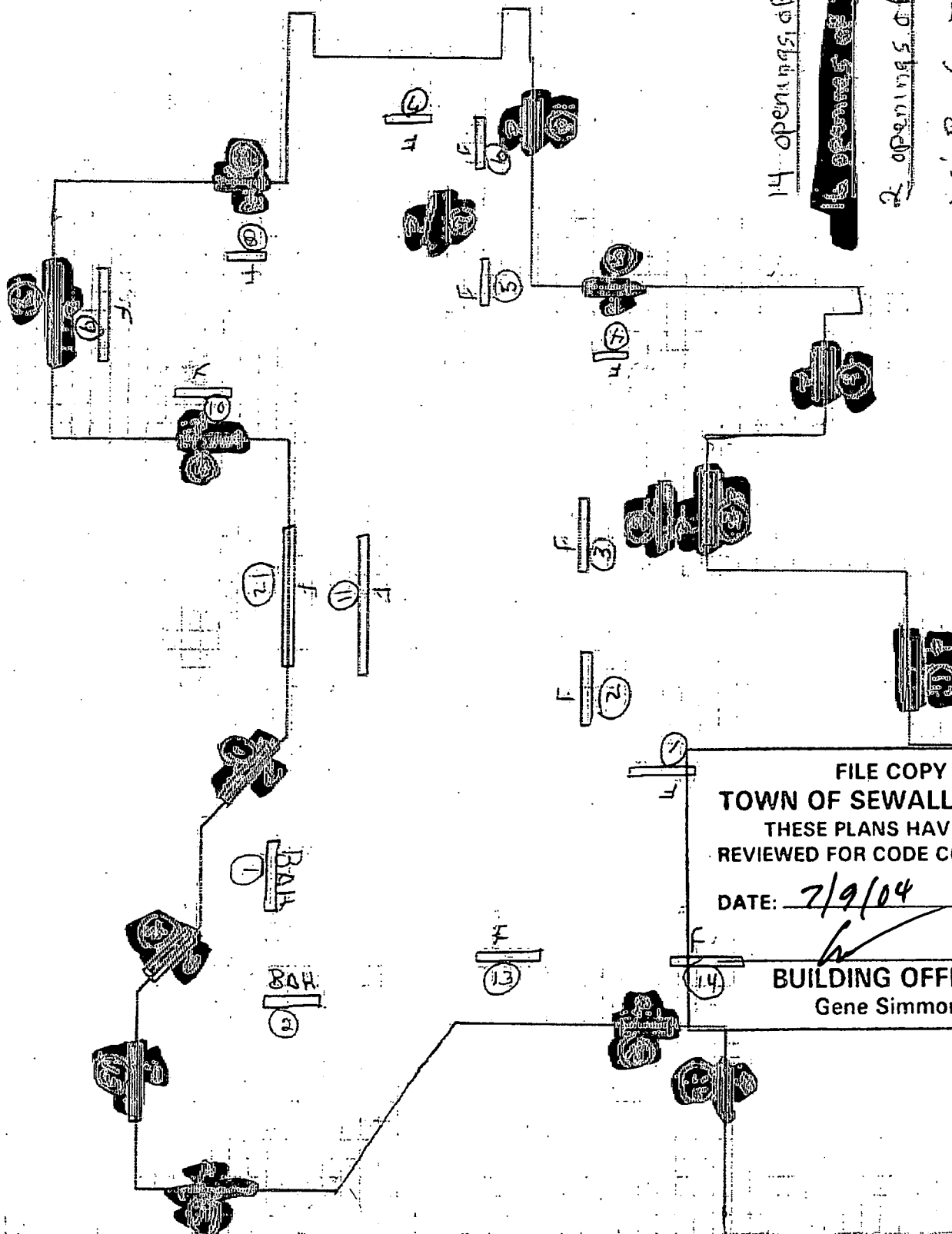
14 openings of Folding

16 openings of Panels

2 openings of Balcony

25' Roof 7'10"

CONSTOL EXP C



FILE COPY
 TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE: 2/9/04
 BUILDING OFFICIAL
 Gene Simmons

FOLDING SHUTTER CORP. ENGINEERING LAYOUT SHEET

CUSTOMER NAME

SWEET

WORK ORDER NO.

05192004019N0701

SHEET

OF

BY:

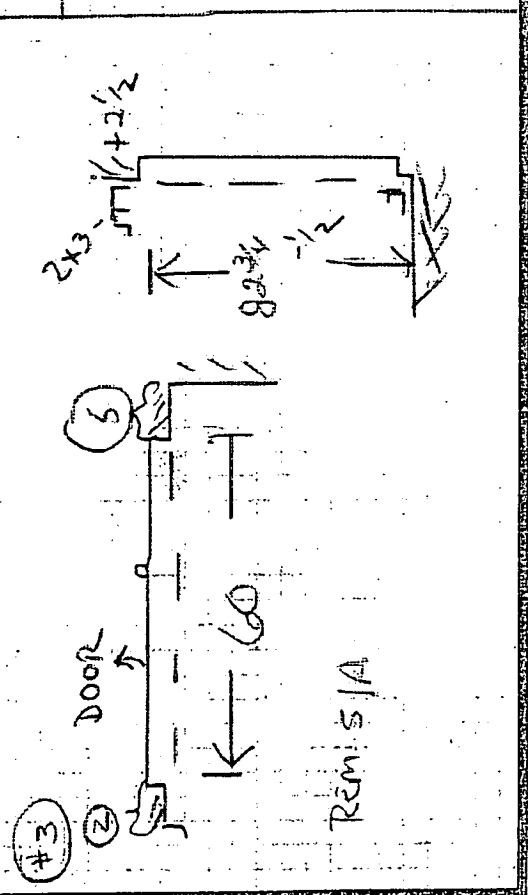
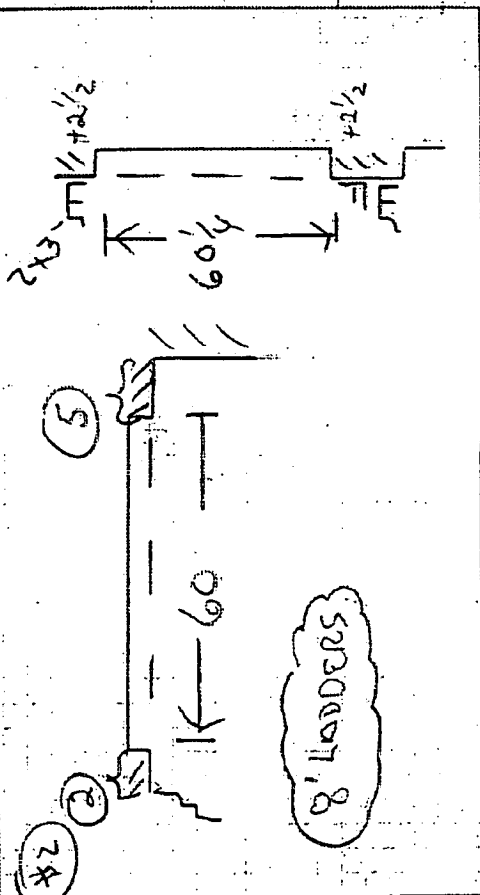
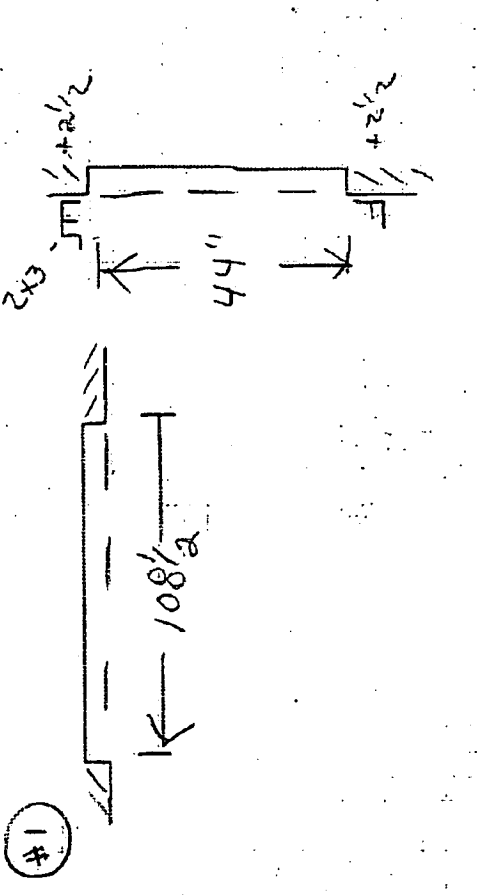
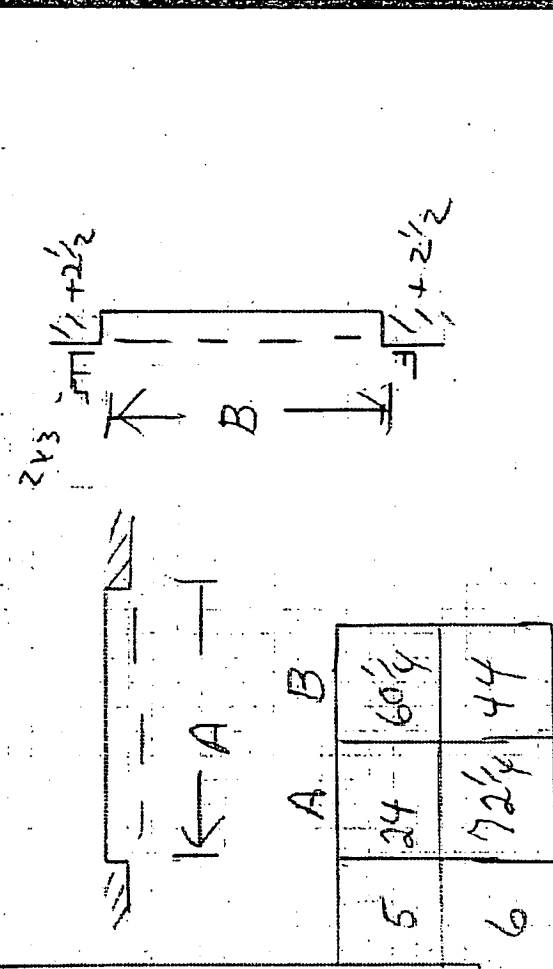
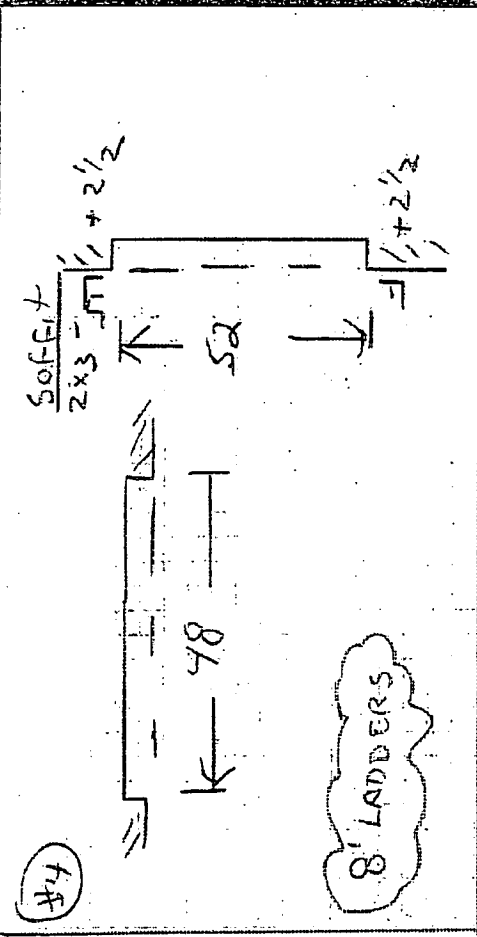
Twm

DATE:

7-7-04

1

2



FOLDING SHUTTER CORP. ENGINEERING LAYOUT SHEET

CUSTOMER NAME

SWEET

WORK ORDER NO.

05192004019N0701

SHEET

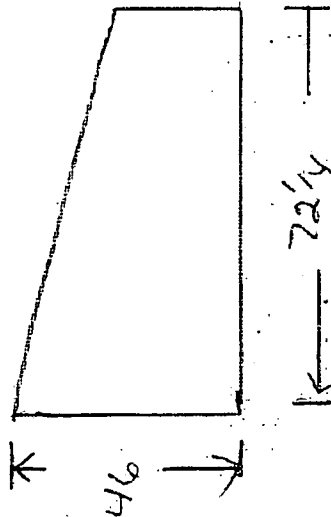
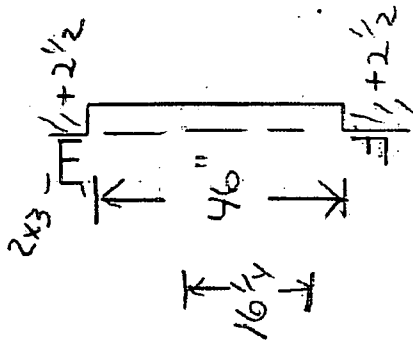
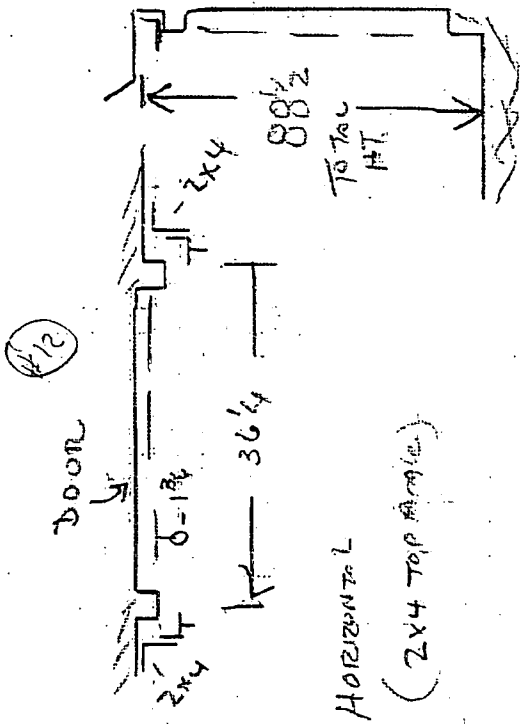
OF

BY: T. L. W. M.

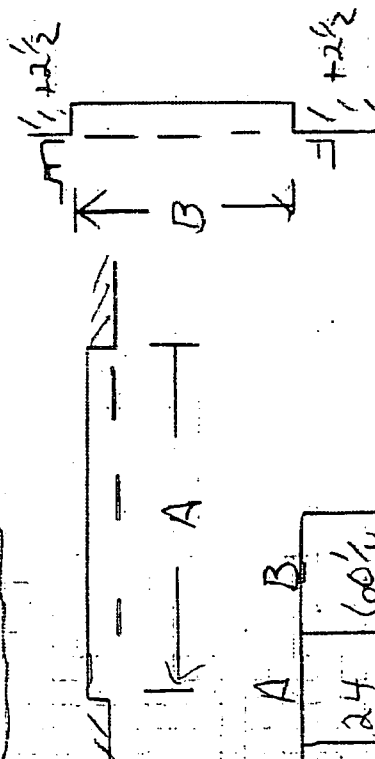
DATE: 7-7-04

2

2



3 STORY LADDERS



A B

8	24	60 1/4	
9	108 1/2	60 1/4	
10	72 1/4	60 1/4	
11	48	36 1/4	
13	72 1/4	44	(+2 1/4 TOP)
14	72 1/4	44	(+2 1/4 TOP)
15	36 1/4	36 1/4	
16	36 1/4	36 1/4	(+2 1/4 TOP)

(+2 1/4 TOP)

(+2 1/4 TOP)

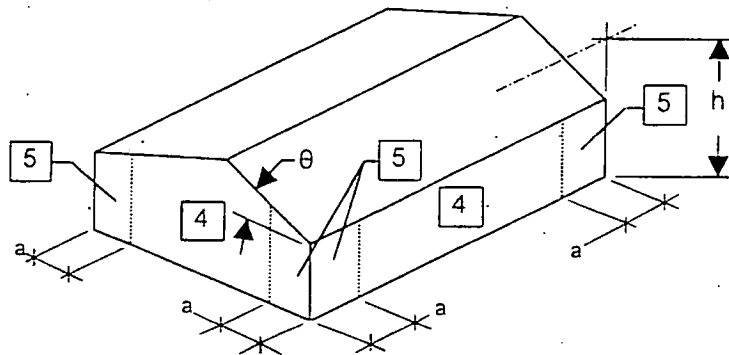
(+2 1/4 TOP)

TABLE 3.41
WIND LOADS FOR WALL COMPONENTS & CLADDING
PER ASCE 7-98
*** (ROOF HEIGHTS LESS THAN 90 FT.)**

3- SECOND GUST WIND SPEED: 140 MPH
 TRIBUTARY AREA: 10 SQ. FT. OR LESS
 IMPORTANCE FACTOR ("I"): 1.00

MEAN ROOF HEIGHT (FT.)	EXPOSURE "B"						EXPOSURE "C"					
	ROOF SLOPE $\geq 10^\circ$			ROOF SLOPE $< 10^\circ$			ROOF SLOPE $\geq 10^\circ$			ROOF SLOPE $< 10^\circ$		
	ZONE 4 & 5	ZONE 4	ZONE 5	ZONE 4 & 5	ZONE 4	ZONE 5	ZONE 4 & 5	ZONE 4	ZONE 5	ZONE 4 & 5	ZONE 4	ZONE 5
"H"	(+)	(-)	(-)	(+)	(-)	(-)	(+)	(-)	(-)	(+)	(-)	(-)
15	35.2	38.2	47.2	32.2	34.9	43.0	42.8	46.4	57.3	39.2	42.4	52.2
20	35.2	38.2	47.2	32.2	34.9	43.0	45.3	49.1	60.6	41.5	44.9	55.3
25	35.2	38.2	47.2	32.2	34.9	43.0	47.3	51.3	63.3	43.3	46.9	57.7
30	35.2	38.2	47.2	32.2	34.9	43.0	49.3	53.5	66.0	45.1	48.9	60.2
35	36.7	39.9	49.2	33.6	36.4	44.8	50.8	55.1	68.1	46.5	50.4	62.0
40	38.2	41.5	51.2	35.0	37.9	46.7	52.3	56.8	70.1	47.9	51.9	63.9
45	39.5	42.9	52.9	36.2	39.2	48.2	53.6	58.1	71.8	49.1	53.1	65.4
50	40.8	44.2	54.6	37.3	40.4	49.7	54.9	59.5	73.5	50.2	54.4	66.9
55	41.8	45.3	55.9	38.2	41.4	51.0	55.9	60.6	74.8	51.1	55.4	68.2
60	42.8	46.4	57.3	39.2	42.4	52.2	56.9	61.7	76.1	52.0	56.4	69.4
* 65	43.8	47.5	58.6	40.1	43.4	53.4	57.9	62.8	77.5	53.0	57.4	70.6
* 70	44.8	48.6	60.0	41.0	44.4	54.7	58.9	63.9	78.8	53.9	58.4	71.9
* 75	45.8	49.7	61.3	41.9	45.4	55.9	59.9	65.0	80.2	54.8	59.4	73.1
* 80	46.8	50.8	62.7	42.8	46.4	57.1	60.9	66.1	81.5	55.7	60.4	74.3
* 85	47.6	51.6	63.7	43.5	47.2	58.0	61.6	66.9	82.5	56.4	61.1	75.2
* 89	48.0	52.1	64.3	43.9	47.6	58.6	62.1	67.4	83.2	56.8	61.6	75.8

NOTE: ALL DESIGN LOADS ARE IN POUNDS PER SQUARE FOOT (PSF)



NOTES:

1. PLUS & MINUS SIGNS SIGNIFY PRESSURES ACTING TOWARD & AWAY FROM SURFACES RESPECTFULLY.
2. $a = 10\%$ OF LEAST HORIZONTAL DIMENSION OR $0.4H$, WHICHEVER IS SMALLER, BUT NOT LESS THAN EITHER 4% OF LEAST HORIZONTAL DIMENSION OR 3 FT.
3. LOADS, POSITIVE & NEGATIVE, ARE TAKEN AT MEAN ROOF HEIGHT (h) & APPLY TO ALL FLOORS.
4. LOADS BETWEEN ELEVATIONS SHOWN IN TABLE MAY BE INTERPOLATED.
- * 5. AT MEAN ROOF HEIGHT (h), $60 \text{ ft.} < h < 90 \text{ ft.}$, PRESSURES HAVE BEEN DETERMINED USING THE SAME METHOD AS FOR 60 ft. & LESS PER ASCE 7-98 SECTION 6.5.12.4.3. THESE PRESSURES ARE ONLY APPLICABLE IF THE HEIGHT TO WIDTH RATIO IS 1 OR LESS (IF THE HEIGHT IS NO MORE THAN 1 TIMES THE MINIMUM BUILDING WIDTH).
6. TABLE VALUES DO NOT CONSIDER EFFECTS FROM TOPOGRAPHIC CONDITIONS & FACTOR K_{zt} IS TAKEN AS 1.0 (FLAT GRADE). IF TOPOGRAPHIC CONDITIONS ARE NOT FLAT, THE VALUES IN THIS TABLE MUST BE MULTIPLIED BY THE PROPER K_{zt} FACTOR IN ACCORDANCE WITH ASCE 7-98 SECTION 6.5.7.
7. ALL VALUES IN THIS TABLE CONSIDER A WIND DIRECTIONALITY FACTOR (K_d) OF 0.85 PER ASCE 7-98 TABLE 6-6.



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**Folding Shutter Corp.
7089 Hemstreet Place
West Palm Beach, FL 33413**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

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This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: "Titan" 0.060" Aluminum Storm Panels Shutter

APPROVAL DOCUMENT: Drawing No. 94-34, titled "Storm Panel Details", sheets 1 through 6 of 6, prepared by Al-Farooq Corporation, dated June 3, 1994, last revision #H dated November 24, 2003, signed and sealed by Humayoun Farooq, P.E. on November 24, 2003, bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each panel shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

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INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

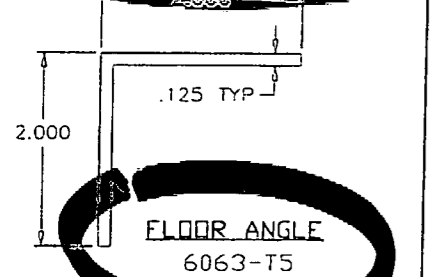
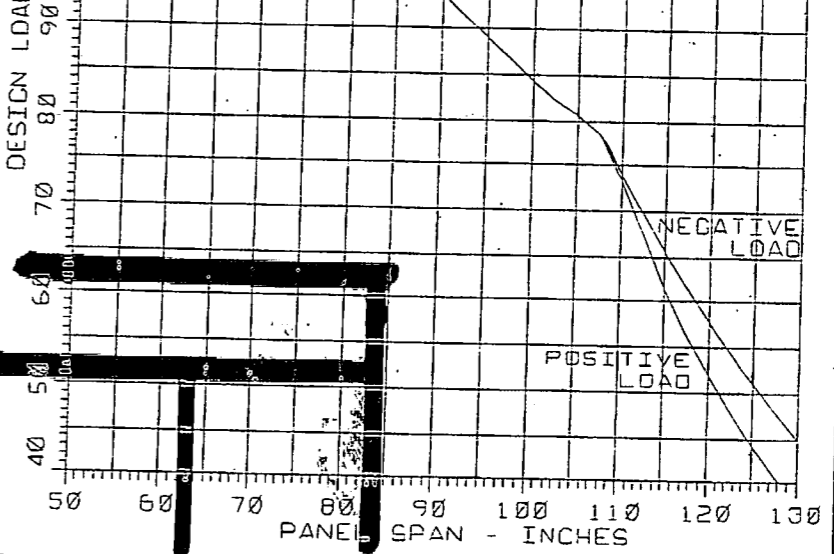
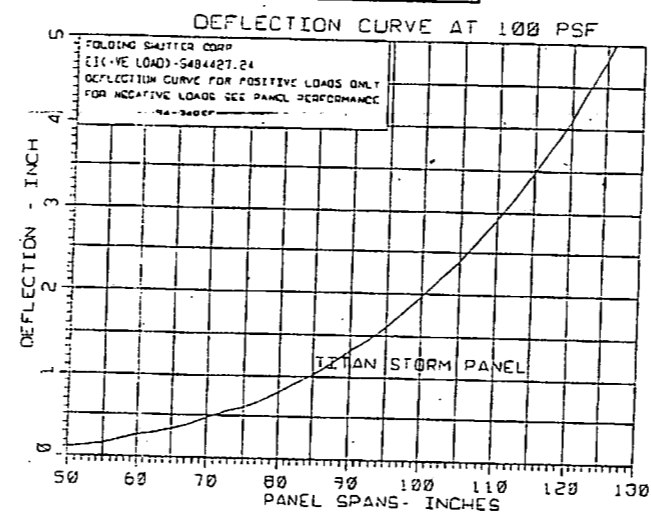
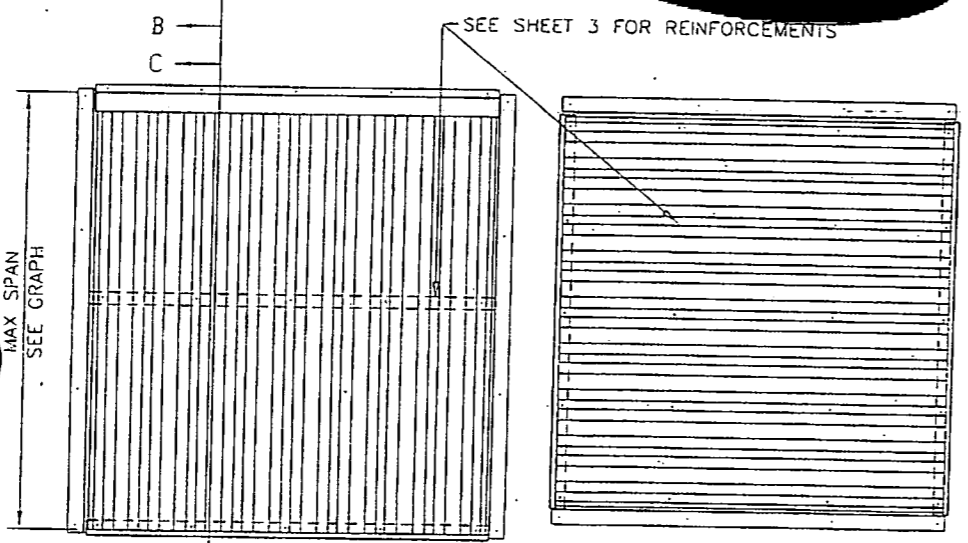
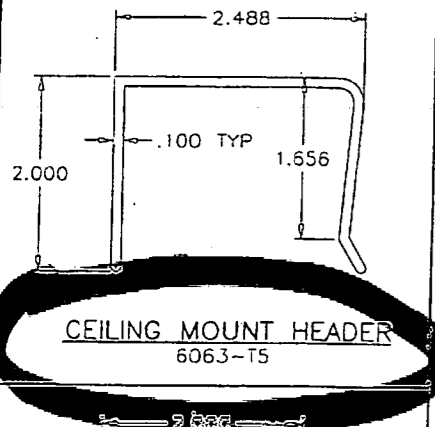
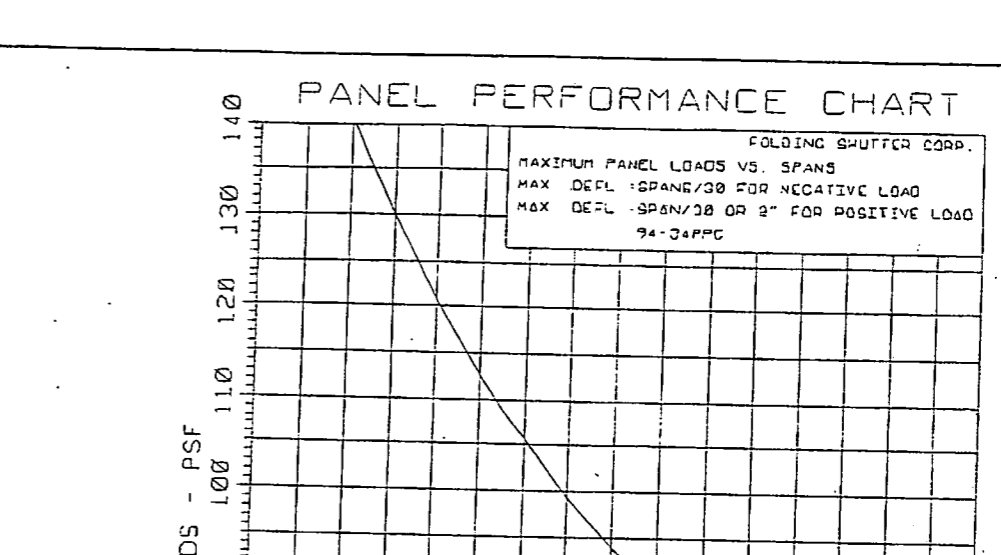
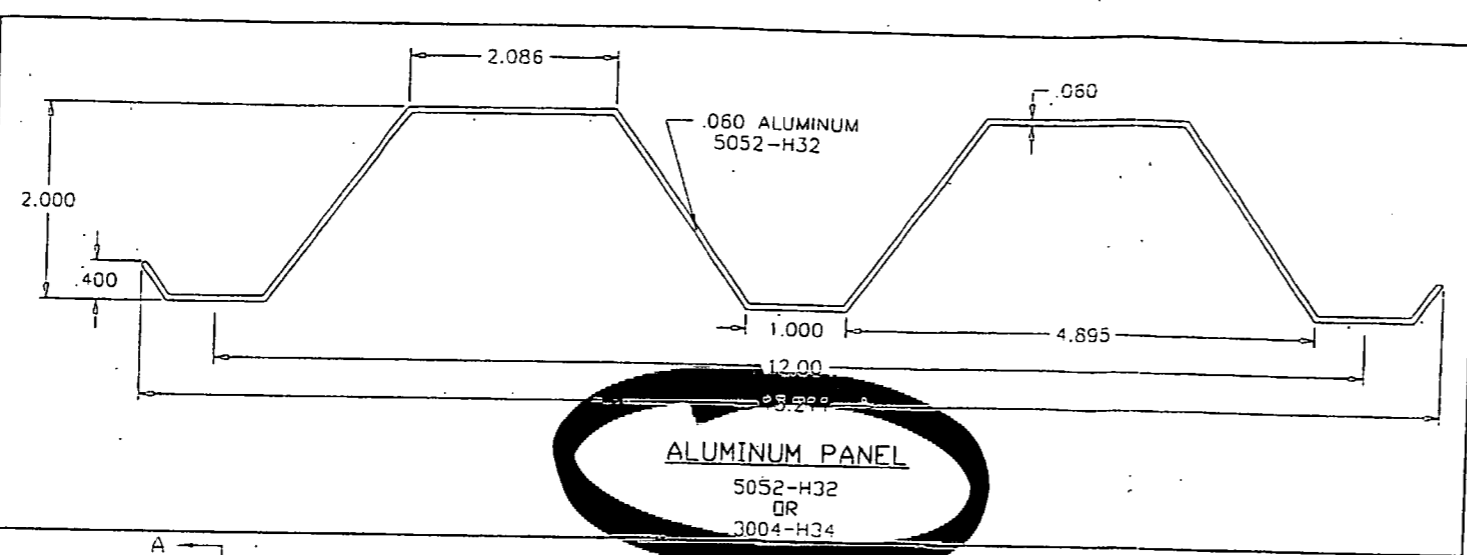
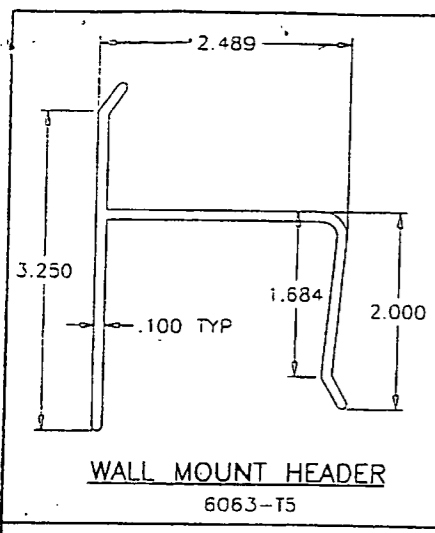
This NOA revises & renews NOA # 02-0226.04 and consists of this page 1, evidence submitted page(s) as well as approval document mentioned above.

The submitted documentation was reviewed by **Helmy A. Makar, P.E.**



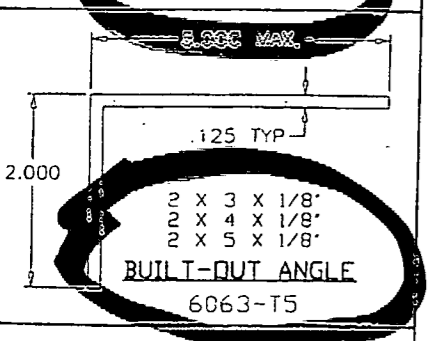
Helmy A. Makar
12/18/03

**NOA No 03-0623.01
Expiration Date: 11/20/ 2008
Approval Date: 12/18/ 2003
Page 1**



TYPICAL ELEVATION
PANELS CAN BE INSTALLED VERTICALLY OR HORIZONTALLY USING APPLICABLE ANCHORING DETAILS.

USE PANEL PERFORMANCE CHART TO VERIFY PANEL CAPACITY FOR THE REQUIRED DESIGN LOAD FOR THE PARTICULAR LOCATION. USE SPAN DEFLECTION CHART TO CALCULATE SEPARATION FROM GLASS.

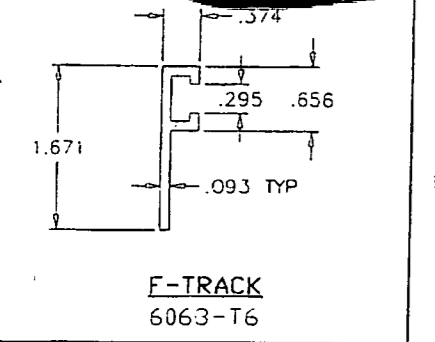


- GENERAL NOTES**
- THIS PRODUCT IS DESIGNED TO COMPLY WITH THE HIGH VELOCITY HURRICANE ZONE OF THE 2001 FLORIDA BUILDING CODE.
 - DESIGN CRITERIA FOR ALUMINUM, MINIMUM MECHANICAL PROPERTIES, AND SAFETY FACTORS ARE IN ACCORDANCE WITH THE "ALUMINUM CONSTRUCTION MANUAL" LATEST EDITION.
 - ALUMINUM ALLOYS: ALL EXTRUSIONS SHALL BE ALLOY 6063-T5.
 - STEEL SURFACES TO BE PLACED IN CONTACT WITH ALUMINUM SHALL BE GIVEN ONE COAT OF ZINC CHROMATE PRIMER IN ACCORDANCE WITH FEDERAL SPEC. NO. TTP-645, OR BE GALVANIZED.
 - ANCHORS SHALL BE AS LISTED, SPACED AS SHOWN ON DETAILS. ANCHOR EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR STUCCO.
 - ALL BOLTS SHALL BE STAINLESS STEEL, ALUMINUM ALLOY 2024-T4 OR 7075-T6, WING NUTS SHALL BE OF ZINC ALLOY.
 - DESIGN CRITERIA FOR PANELS: MAX DEFLECTION $\leq L/30$ FOR NEGATIVE LOAD AND THE LESSER OF $L/30$ OR 2" FOR POSITIVE LOAD.
 - ANCHORING OR LOADING CONDITIONS OTHER THAN THOSE SHOWN IN THESE DETAILS ARE NOT PART OF THIS APPROVAL.
 - EXISTING STRUCTURES MUST BE CAPABLE OF SUSTAINING LOADS IMPOSED BY SHUTTER.
 - EACH OPENING SHALL HAVE A LEGIBLE AND READILY VISIBLE DECAL OF PRINTED INSTRUCTIONS TO THE OWNER OR TENANT INDICATING THE MANDATORY USE OF REINFORCEMENTS (ALUMINUM STRAP AT MIDSPAN OR ROWS OF JACK NUTS AT LAP JOINTS) DURING PERIODS OF HURRICANE WARNING.
 - A 33% INCREASE IN ALLOWABLE STRESS WAS USED IN DESIGN OF ANCHOR SPACING.

MINIMUM SEPARATION FROM GLASS

SEPARATION REQD. DUE TO WIND LOAD		SEPARATION FOR INSTALLATIONS UPTO 30 FT. OF GRADE DUE TO LARGE MISSILE IMPACT	
SEPARATION	DESIGN LOAD	PANEL SPAN UPTO	SEPARATION
65"	2-3/8"	65"	2-3/8"
97"	2-5/8"	97"	2-5/8"
98"	3" *	98"	3" *
130"	3-1/2"	130"	3-1/2"

FOR INSTALLATIONS UPTO 30' OF GRADE USE MAXIMUM OF WIND LOAD OR IMPACT LOAD REQUIREMENTS SHOWN ABOVE
FOR INSTALLATIONS ABOVE 30' OF GRADE IGNORE LARGE MISSILE IMPACT REQUIREMENT.
NOTE: NO PART OF SHUTTER SHALL BE UNDER 30' ABOVE GRADE TO WAIVE LARGE MISSILE IMPACT REQUIREMENT.
* FOR BUILT-OUT WITH 2X5 ANGLE ONLY



PRODUCT MARKING
A LABEL SHALL APPEAR ON EVERY PANEL WITH THE FOLLOWING STATEMENT.
FOLDING SHUTTER CORP. WEST PALM BEACH, FL
"MIAMI-DADE COUNTY PRODUCT CONTROL APPROVED"

DESIGN LOADS SHALL BE CALCULATED AS PER REQUIREMENTS OF ASCE 7-98 AS REQUIRED BY BUILDING CODE.

FOR INSTALLATION DETAILS SEE SHEET 2, 3 & 4.
FOR ANCHOR REQUIREMENTS SEE SHEET 5 OF 6.

Engr. DR. MUHAMMAD FAROOQ
STRUCTURES
FLA. PE # 16557
C.A.N. 3538

NOV 24 2003

PRODUCT REVISED
as complying with the Florida Building Code
Acceptance No 03-0623.01
Expiration Date 11/20/2008

By Helmy A. Helmy
Miami Dade Product Control Division

AL-FAROOQ CORPORATION
ENGINEERS, PLANNERS & PRODUCT DESIGN
1235 SW 87 AVE
MIAMI, FLORIDA 33174
TEL. (305) 264-8100 FAX. (305) 262-6978

STORM PANEL DETAILS
FOLDING SHUTTER CORP.
7089 HENSTREET PLACE
WEST PALM BEACH, FL 33406
TEL. (561) 683-4811 FAX. (561) 640-8204

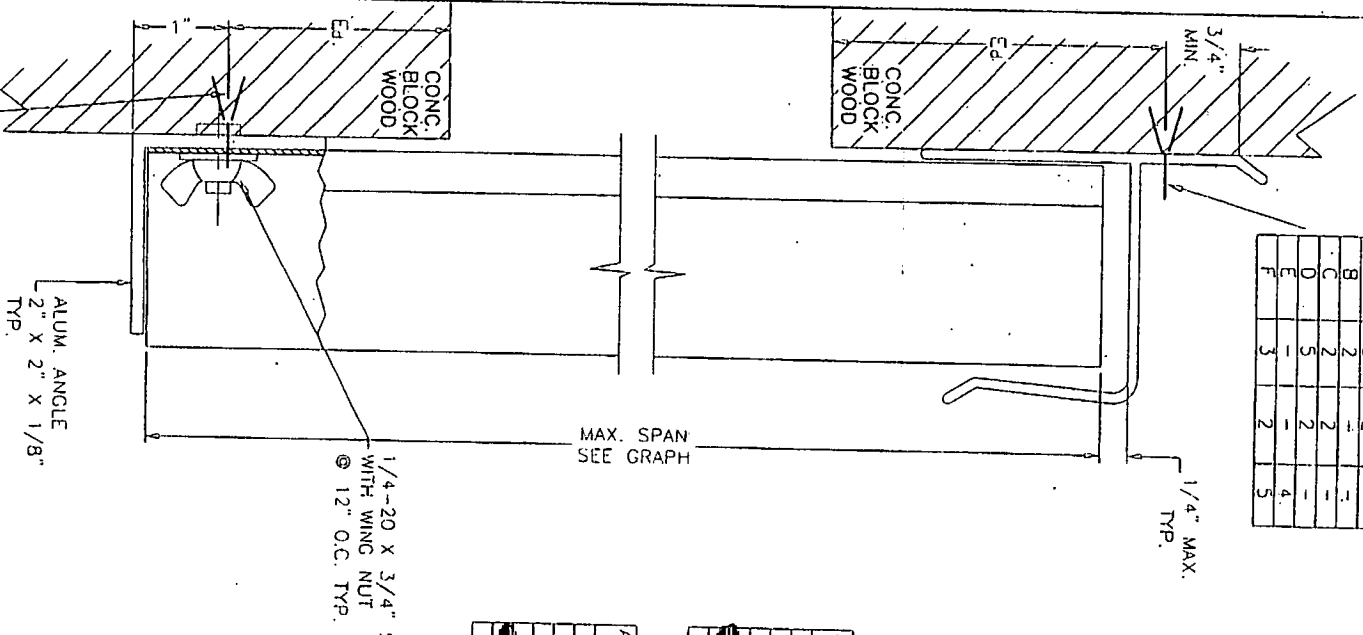
no.	date	by	description
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E	07.27.98	H	GENERAL REVISION
F	06.09.00	H	ALT. ALUM ALLOY ADDED
G	04.14.03	H	UPDATED FOR IBC. & IBCS 97
H	11.24.03	H	REV. PER BCCO COMMENTS

date: 06-03-94
scale: 1/2" = 1'
dr. by: HAMID
chk. by:

drawing no.
94-34
sheet 1 of 6

WALL MOUNTS

ANCHOR CHART TO USE	
TYPE	CONC. BLOCK WOOD
A	3
B	2
C	2
D	2
E	2
F	3

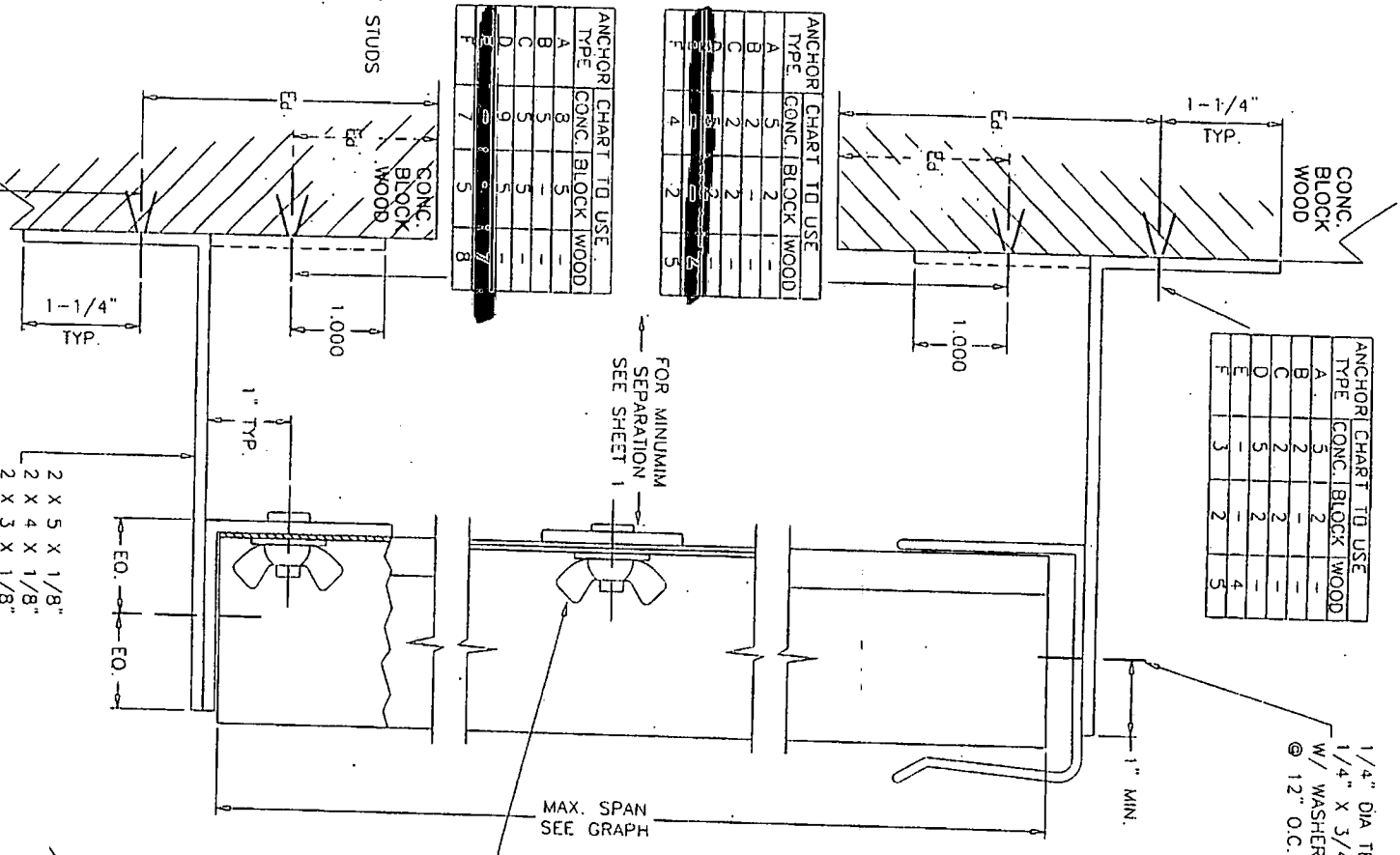


ANCHOR CHART TO USE	
TYPE	CONC. BLOCK WOOD
A	8
B	5
C	5
D	5
E	5
F	4

SECTION A-A

BUILT-OUT CONDITION

ANCHOR CHART TO USE	
TYPE	CONC. BLOCK WOOD
A	5
B	2
C	2
D	2
E	2
F	3

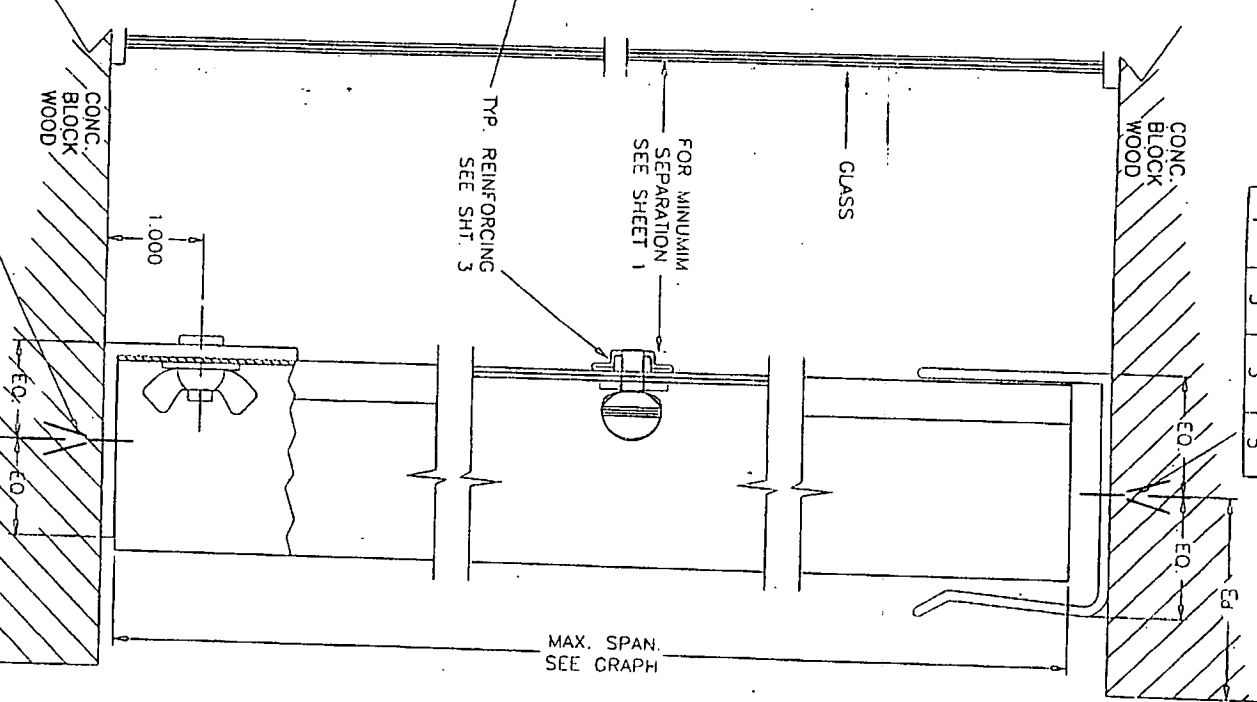


ANCHOR CHART TO USE	
TYPE	CONC. BLOCK WOOD
A	7
B	5
C	5
D	5
E	5
F	4

SECTION B-B

INSIDE MOUNTS

ANCHOR CHART TO USE	
TYPE	CONC. BLOCK WOOD
A	6
B	3
C	4
D	4
E	3
F	3

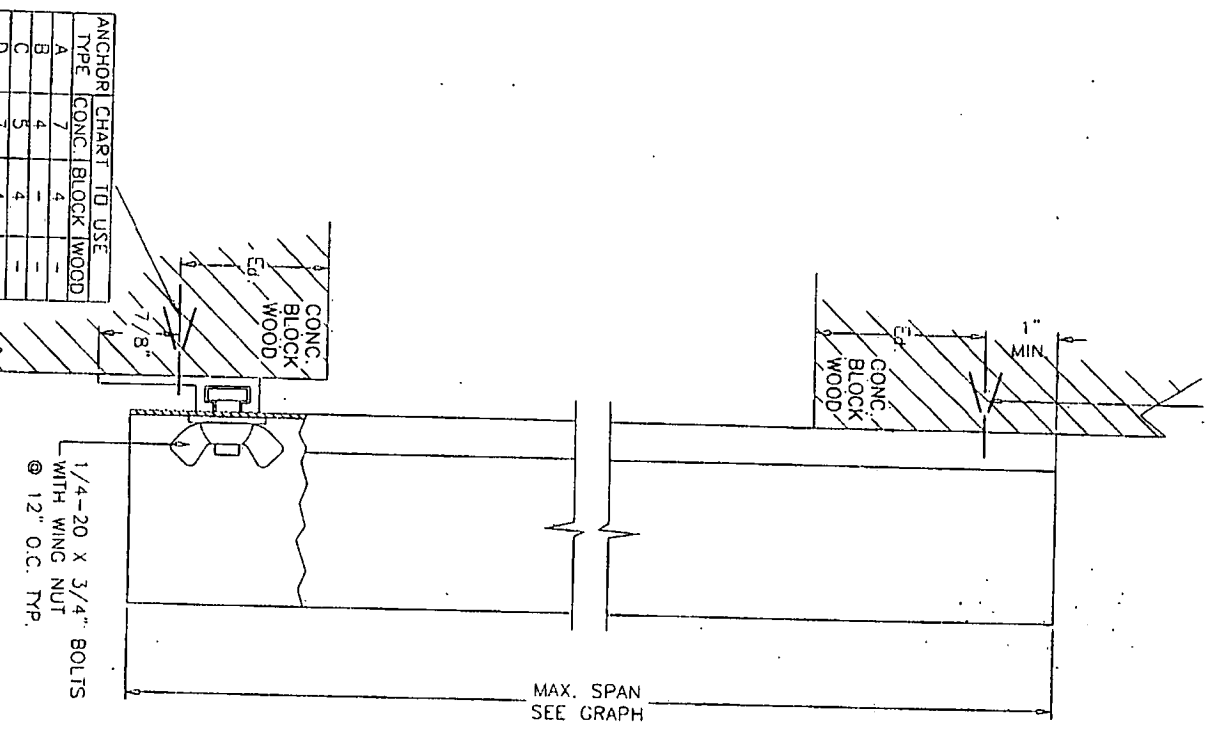


ANCHOR CHART TO USE	
TYPE	CONC. BLOCK WOOD
A	7
B	5
C	5
D	5
E	5
F	4

SECTION C-C

DIRECT MOUNTS

ANCHOR CHART TO USE	
TYPE	CONC. BLOCK WOOD
D	10
E	8
F	9



ANCHOR CHART TO USE	
TYPE	CONC. BLOCK WOOD
A	7
B	4
C	4
D	4
E	4
F	6

SECTION D-D

HEADER AND SILL DETAILS CAN BE USED IN ANY COMBINATIONS.

FOR GENERAL NOTES AND EXTRUSION DETAILS SEE SHEET 1 OF 6.

ANCHORS, EMBEDMENT & EDGE DISTANCES SHOWN ARE BEYOND THE WALL & FLOOR COVERING (STUCCO, TILES, ETC.)

Ed = TYPICAL EDGE DISTANCE CONC. & BLOCK = 12d (12 ANCHOR DIAMETERS) WOOD = 5d FOR LESSER EDGE DISTANCES SEE SHEET 5 OF 6.

Eng: DR. HUMAYOUN FAROOQ
STRUCTURES
FLA. PE # 18557
CAN. 3538

NOV 24 2003

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No. 03-062301
Expiration Date 11/29/2008

By: *Heavenly A.M.*
Miami Dade Product Control
Division

STORM PANEL DETAILS

FOLDING SHUTTER CORP.
7089 HEMSTREET PLACE
WEST PALM BEACH, FL 33406
TEL.(561) 683-4811 FAX.(561) 640-8204

AL-FAROOQ CORPORATION

ENGINEERS, PLANNERS & PRODUCT DESIGN
1235 SW 87 AVE
MIAMI, FLORIDA 33174
TEL. (305) 264-8100 FAX. (305) 262-6978



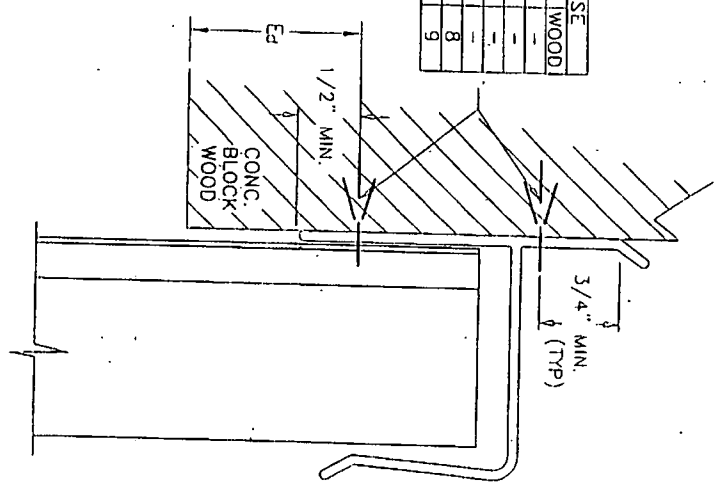
PANELS 94-34FSC

revisions:			
no	date	by	description
C	04.14.03	H	ANCHOR CHARTS REV.
H	11.24.03	H	REV. PER BCCO COMMENTS

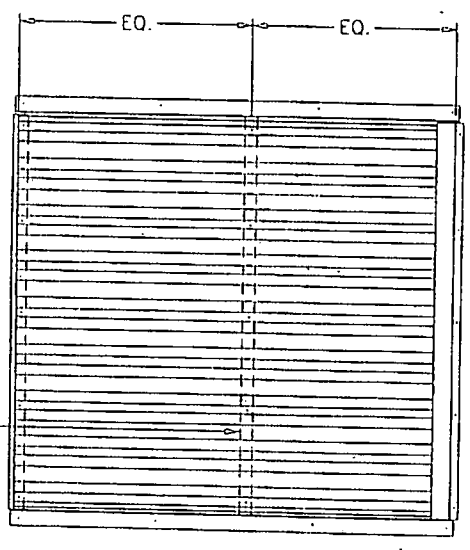
date: 06-03-94
scale: 1/2" = 1"
dr. by: HAMID
chk. by:

Sheet 2 of 6
Drawing no. 94-34

ANCHOR TYPE	CHART TO USE	CONC. BLOCK	WOOD
A	10	7	-
B	7	7	-
C	10	7	-
D	-	-	8
E	-	-	8
F	8	6	9

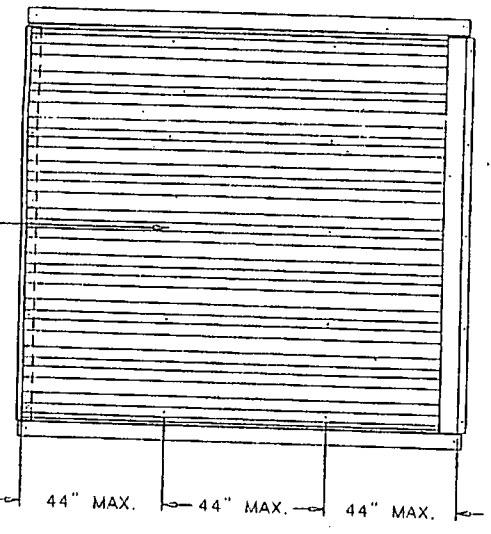


ALT. WALL HEADER



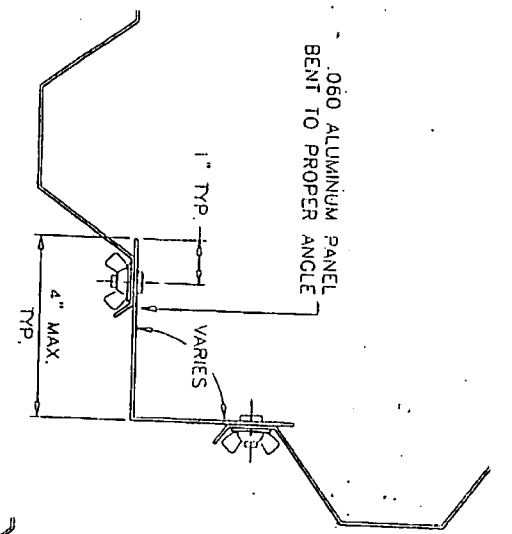
1-1/2"x1/8" ALUM. STRAP(6063-16) AT MID SPAN
FASTENED W/ 1/4-20 X 3/4" STUDS
W/ WING NUT & WASHER @ 12" O.C.

STRAP REINFORCEMENT

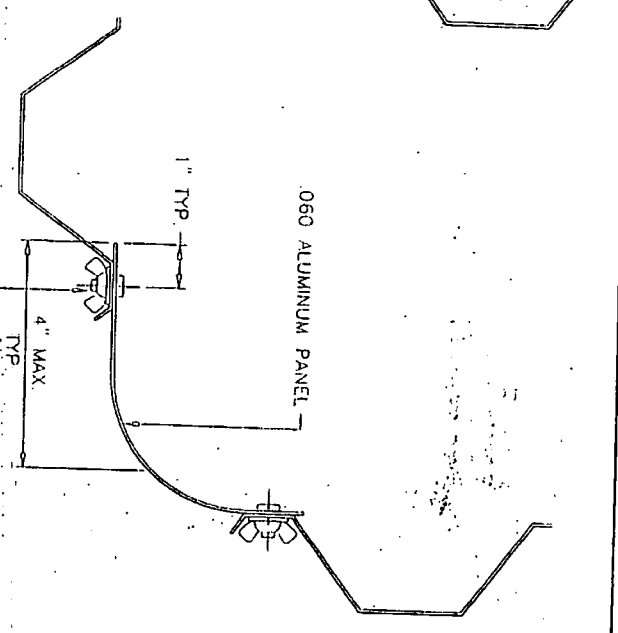


1/4" MACHINE SCREWS WITH WASHERS
IN JACK NUTS AT LAP JOINTS

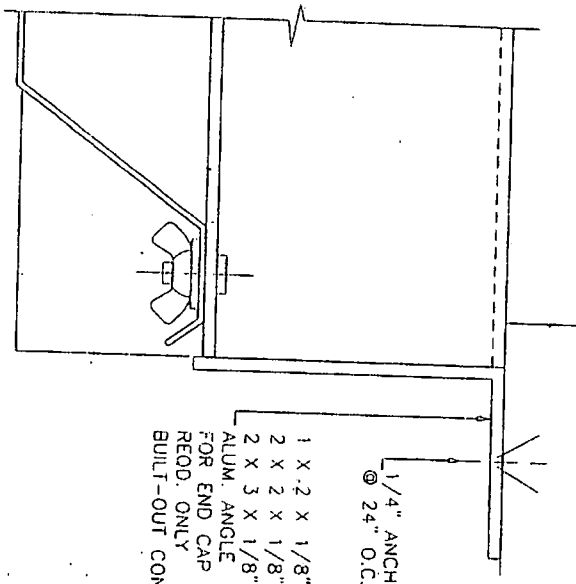
JACK NUTS REINFORCEMENT



CORNER DETAILS



1/4" x 1/2" THUMB SCREWS IN MOLLY JACK NUTS @ 24" O.C.



END CAP BUILT-OUT CONDITION

1 X 2 X 1/8"
2 X 2 X 1/8"
2 X 3 X 1/8"
ALUM. ANGLE
FOR END CAP
REOD. ONLY
BUILT-OUT CONDITION

Engr. DR. HUMAYOON FAROOQ
STRUCTURES
FLA. PE # 16557
CAN. 3538

NOV 24 2003

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No. 03-0623-01
Expiration Date 11/23/09
By: *Hamid*
Miami Dade Product Control
Division

STORM PANEL DETAILS
FOLDING SHUTTER CORP.
7089 HEMSTREET PLACE
WEST PALM BEACH, FL 33406
TEL.(561) 883-4811 FAX.(561) 640-8204

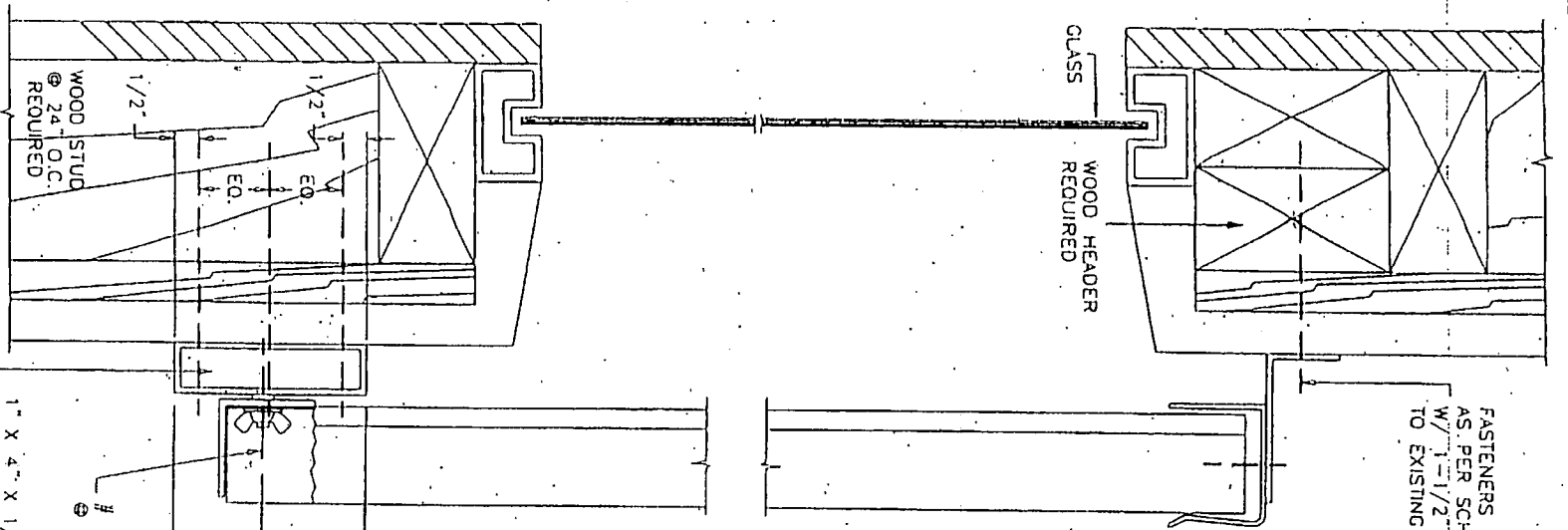
AL-FAROOQ CORPORATION
ENGINEERS, PLANNERS & PRODUCT DESIGN
1235 SW 87 AVE
MIAMI, FLORIDA 33174
TEL: (305) 264-8100 FAX: (305) 262-6978

a f c

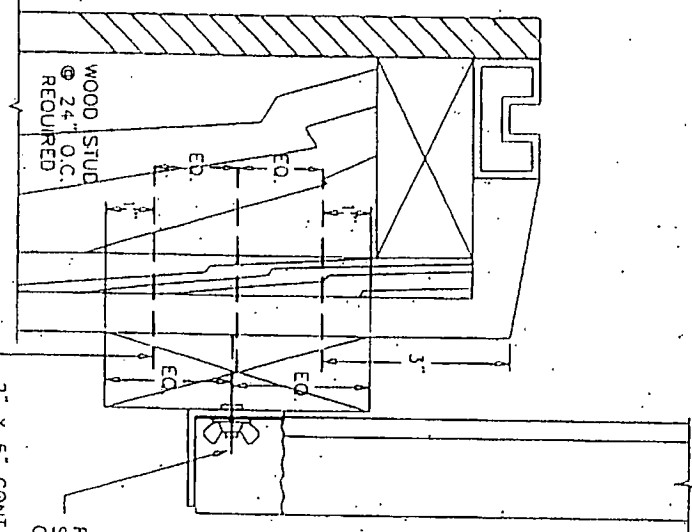
PANELS\94-34FSC

date: 06-03-94	revisions:
scale: 1/2" = 1"	no date by description
dr. by: HAMID	C 04.14.03 H ANCHOR CHARTS REV.
chk. by:	H 11.24.03 H NO CHANGE THIS SHEET
drawing no. 94-34	
Sheet 3 of 6	

FASTENERS AS PER SCHEDULES ON SHEETS 2 & 3 W/ 1-1/2" MIN. PENETRATION TO EXISTING WOOD HEADER.

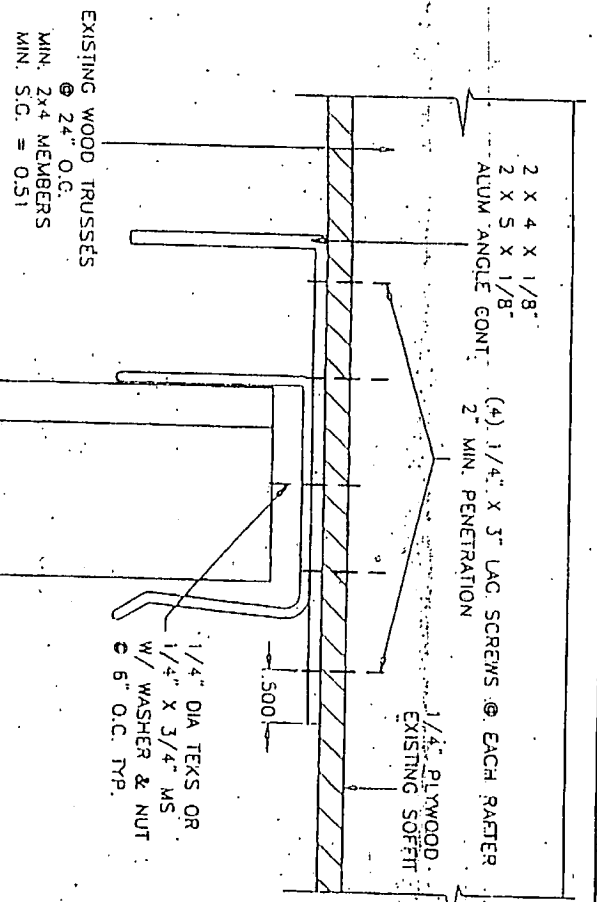


1" x 4" x 1/8" CONT. ALUM. TUBE W/ (3) 1/4" x 4" LAG SCREWS @ EACH STUD W/ 2" MIN PENETRATION INTO EXISTING STUD



2" x 6" CONT. W/ (3) 1/4" x 5" LAG SCREWS @ EACH STUD W/ 2" MIN PENETRATION INTO EXISTING STUD

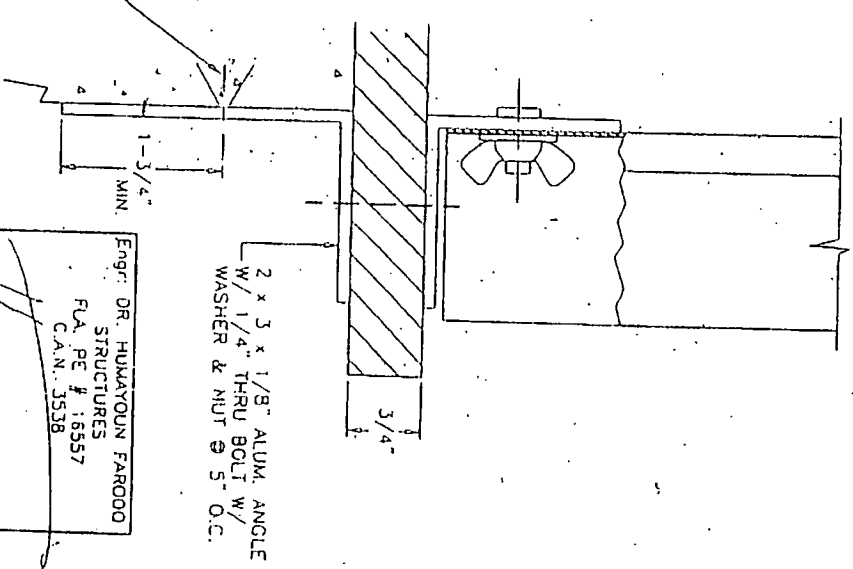
INSTALLATION DETAIL ON EXISTING WOOD BUCKS SCALE: 1/4"=1'
 FOR SHUTTER HEIGHT OF 108" MAX. DESIGN LOAD = 134.0 PSF
 FOR SHUTTER HEIGHT OF 96" MAX. DESIGN LOAD = 140.0 PSF
 FOR HEADER/SILL DETAILS CONNECTED TO CONTINUOUS WOOD MEMBERS SEE SHEETS 2 & 3.



HEADER CONNECTION TO WOOD TRUSSES
 FOR SHUTTER HEIGHT OF 108" MAX. DESIGN LOAD = 58 PSF
 FOR SHUTTER HEIGHT OF 96" MAX. DESIGN LOAD = 65 PSF
 FOR SHUTTER HEIGHT OF 84" MAX. DESIGN LOAD = 75 PSF

ANCHOR TYPE	UP TO 40 PSF	UP TO 70 PSF	ANCHOR SPACING INCHES
A	24	14.5	18.3
B	14.9	13.8	8.3
C	16.6	13.8	9.5
D	24	14.6	19.9
E	-	24	8.3
F	13.9	8.1	24

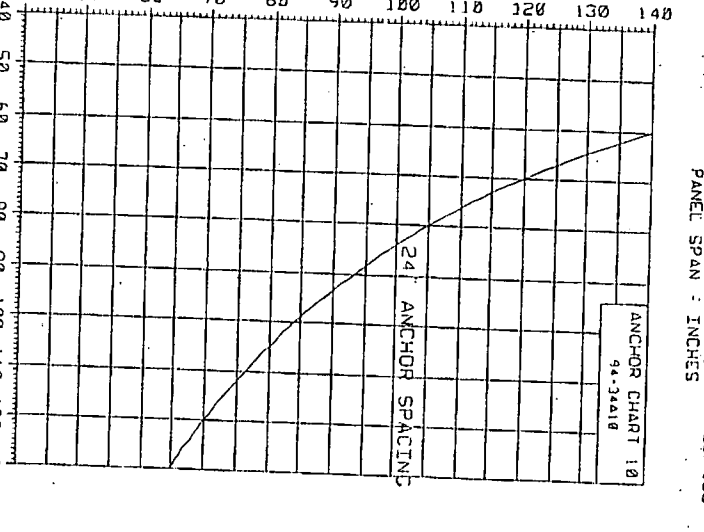
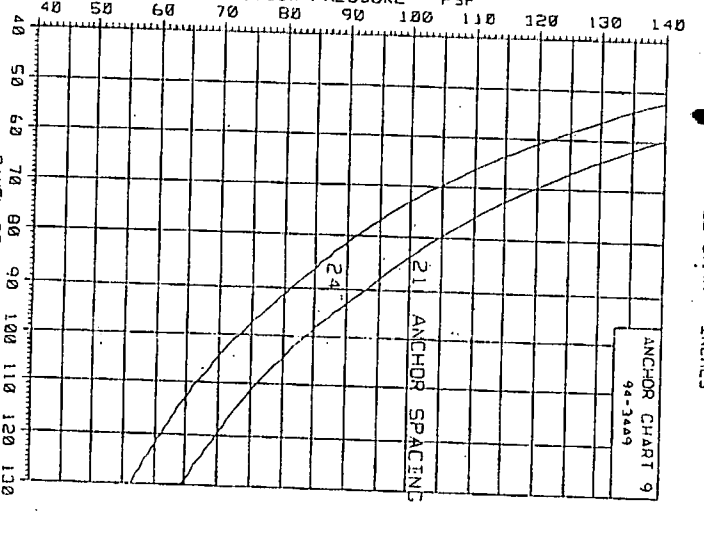
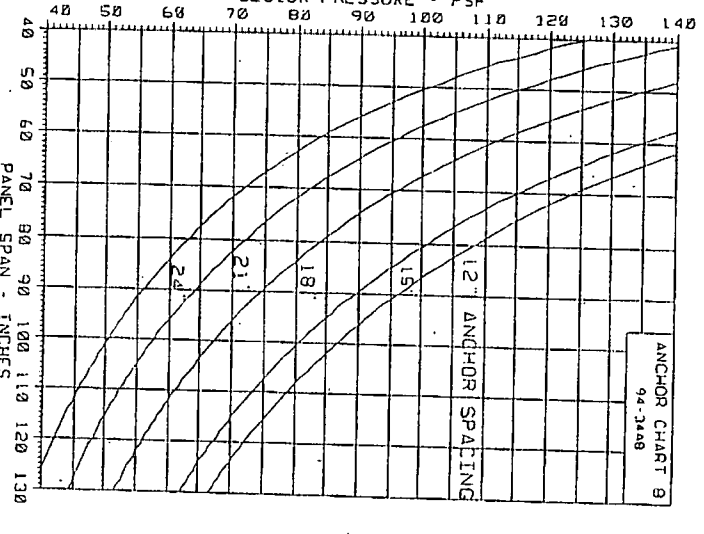
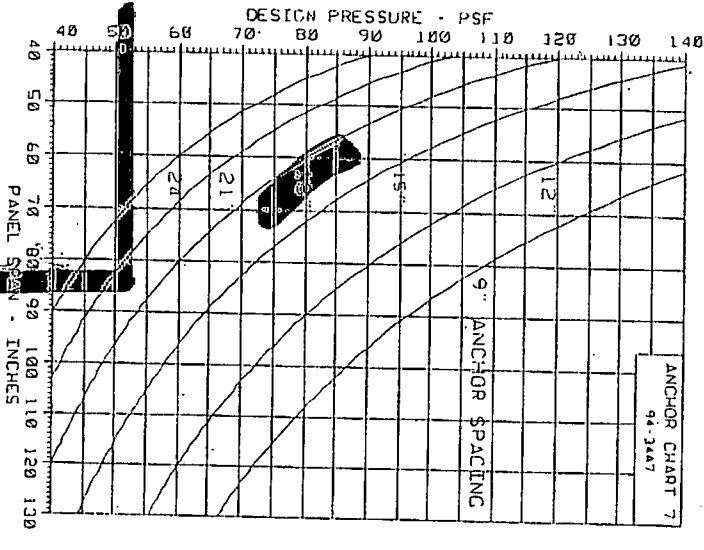
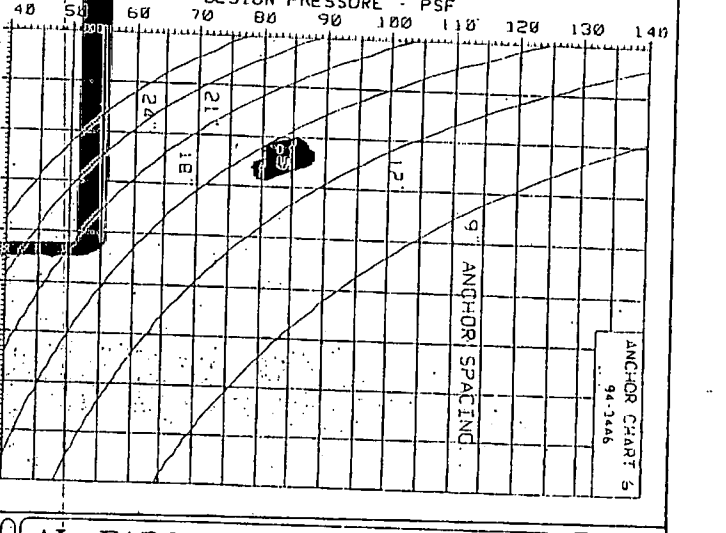
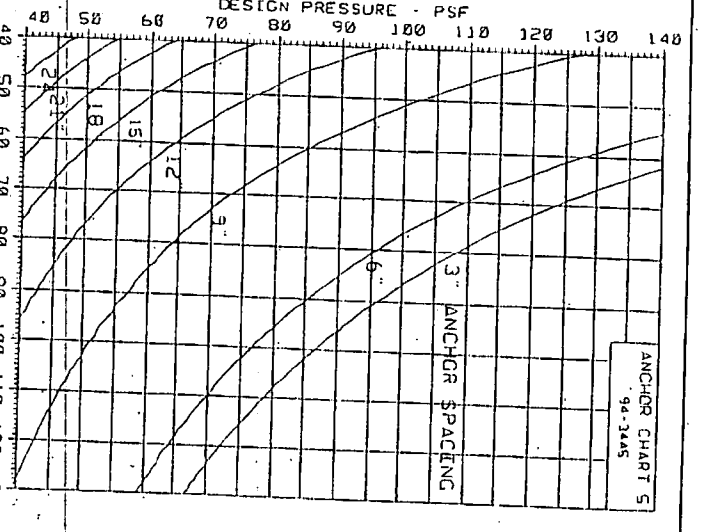
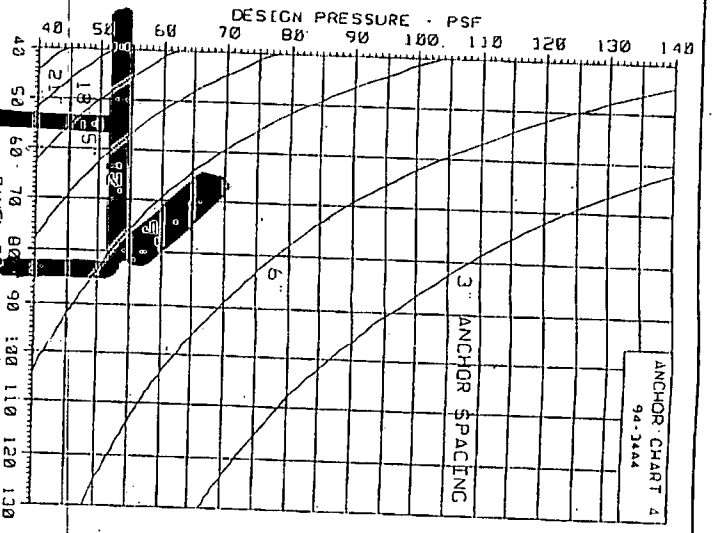
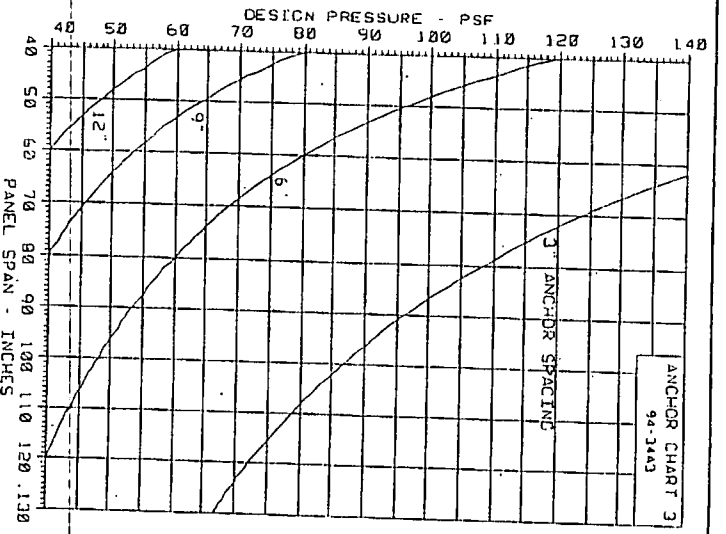
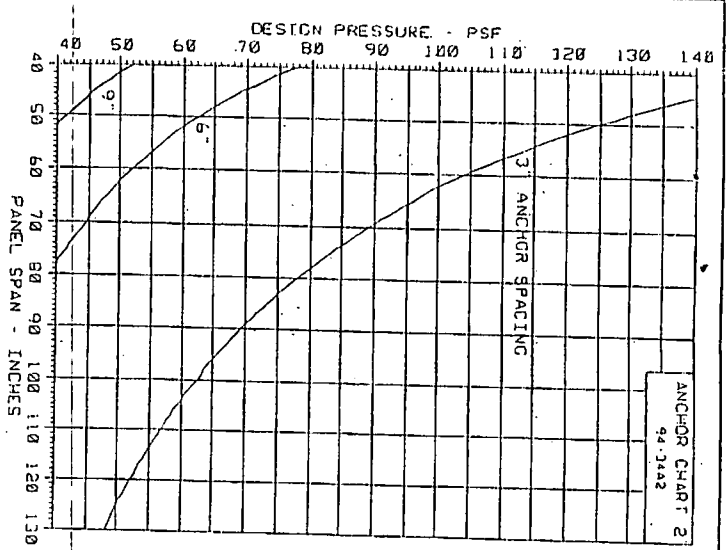
COUNTER TOP CONDITION
 (PASS THRU WINDOW)
 MAX SHUTTER HEIGHT = 6 FT.



Eng. DR. HUMAYOON FAROOQ
 STRUCTURES
 FLA. PE # 18557
 C.A.N. 3538

JUN 11 2003

drawing no. 94-34	date: 06-03-94	revisions: no date by description C 04.14.03 H ANCHOR CHARTS REV.	STORM PANEL DETAILS FOLDING SHUTTER CORP. 7089 HEMSTREET PLACE WEST PALM BEACH, FL 33406 TEL.(561) 683-4811 FAX.(561) 640-8204	AL-FAROOQ CORPORATION ENGINEERS, PLANNERS & PRODUCT DESIGN 1235 SW 87 AVE MIAMI, FLORIDA 33174 TEL. (305) 264-8100 FAX. (305) 262-6978	a f c
	scale: 1/2" = 1'				



TYPICAL ANCHORS

- ANCHOR (A) = 1/4" DIA. TAPCONS (ELCO TEXTRON)
1-3/4" EMBEDMENT INTO 3000 PSI CONC.
1-1/4" EMBEDMENT INTO C-90 BLOCK
- ANCHOR (B) = #14 S.M.S. W/ 'POWERS' SCRU-LEAD
1-1/2" EMBEDMENT INTO 3000 PSI CONC.
- ANCHOR (C) = 1/4" x 1-1/4" 'POWERS' ZMAC NAILIN.
1" EMBEDMENT TO CONCRETE OR BLOCK
- ANCHOR (D) = 1/4" 'POWERS' CALK-IN, STAR TAMPIN OR EQUAL
7/8" MIN. EMBED INTO CONC. OR BLOCK
- ANCHOR (E) = #14 SMS
1-1/2" MIN PENETRATION INTO WOOD (S.G.=0.55)
- ANCHOR (F) = 1/4" DIA. PANELMATE ANCHORS (ELCO-TEXTRON)
1-7/8" EMBEDMENT TO CONC.
1-1/4" EMBEDMENT TO BLOCK
1-7/8" MIN PENETRATION INTO WOOD (S.G.=0.55)

NOTE: ANCHORS, USE FULL EMBEDMENT IN CONCRETE BEYOND LOAD/SPAN COMBINATIONS FOR HEADER AND SILL.
THE COVERING (STUCCO, TILES, ETC.)

Eng: DR. HUSSAOUN FAROOQ
STRUCTURES
FLA. PE # 16557
CAN. 3538

NOV 24 2003

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No 03-0623-01
Expiration Date 11/20/2008
By: *William H. Hildebrand*
Miami Dade Product Control
Division

NO	DATE	BY	DESCRIPTION
C	04.14.03		ANCHOR REV.
H	11.24.03	H	NO CHANGE THIS SHEET

STORM PANEL DETAILS
FOLDING SHUTTER CORP.
7089 HEMSTREET PLACE
WEST PALM BEACH, FL 33406
TEL.(561) 683-4811 FAX.(561) 640-8204

AL-FAROOQ CORPORATION
ENGINEERS, PLANNERS & PRODUCT DESIGN
1235 SW 87 AVE
MIAMI, FLORIDA 33174
TEL (305) 264-8100 FAX. (305) 262-6978



PANELS\94-34FSC

revisions:

date: 06-03-94
scale: 1/2" = 1"
dr. by: HAMID
chk. by:

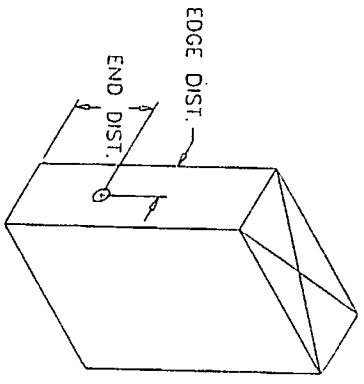
Drawing no. 94-34
Sheet 5 of 6

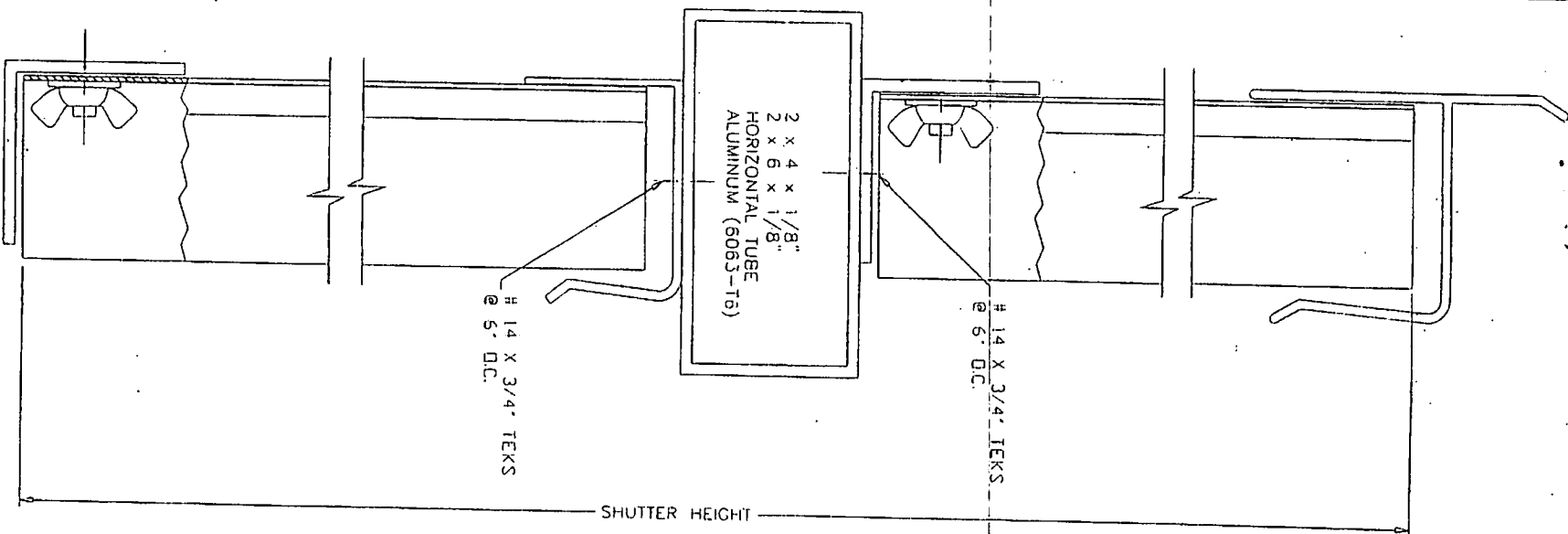
FASTENER SPACING IN MASONRY

CHARTS ARE BASED ON TYPICAL EDGE DISTANCE = 12d.
FOR LESSER EDGE DISTANCE DECREASE SPACING BY
MULTIPLYING WITH THE FACTOR BELOW

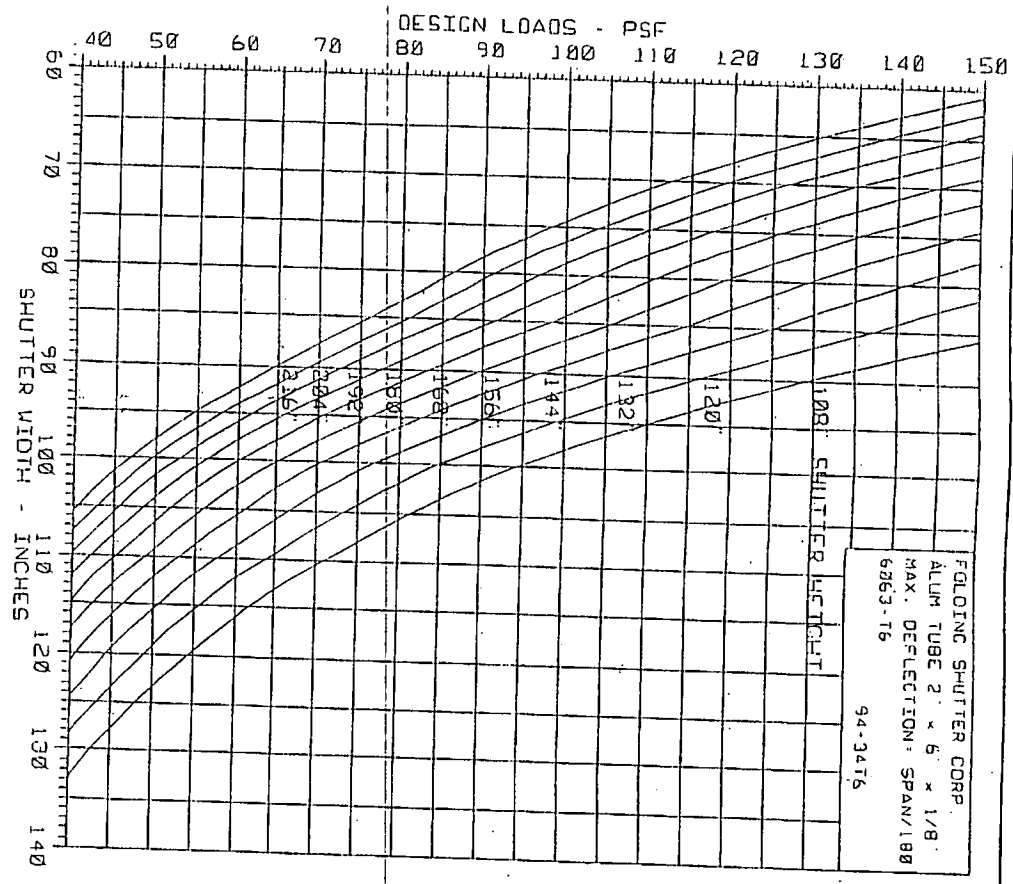
EDGE DIST. 12d=3"	1.0d=2-1/2"	8d=2"	6d=1-1/2"	5d=1-1/4"
FACTOR	1.00	0.86	0.71	0.57
EXAMPLE: FOR 3" EDGE DIST. SPACING = 12" O.C. (FROM CHART)	FOR 2" EDGE DIST. SPACING = 12 x .71 = 8.5 O.C.			

TYPICAL EDGE DISTANCE IN WOOD = 3/4"
TYPICAL END DISTANCE IN WOOD = 1"
NO REDUCTION FACTOR IS REQUIRED

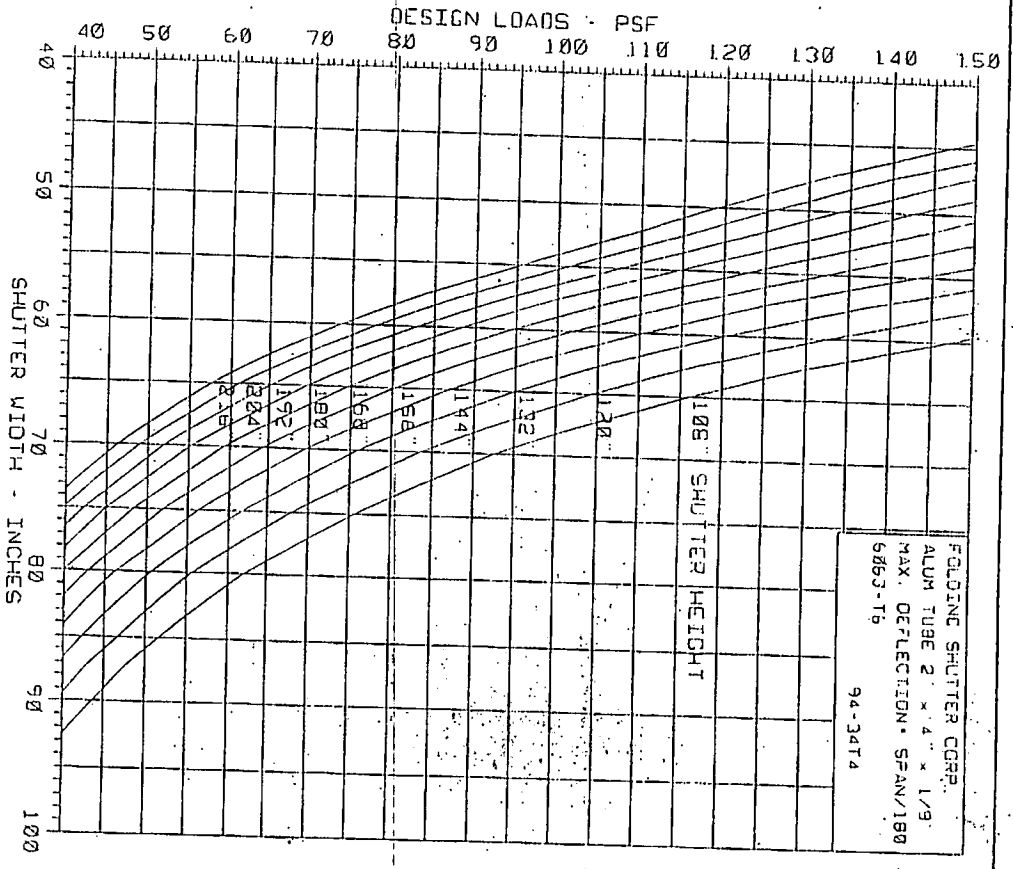




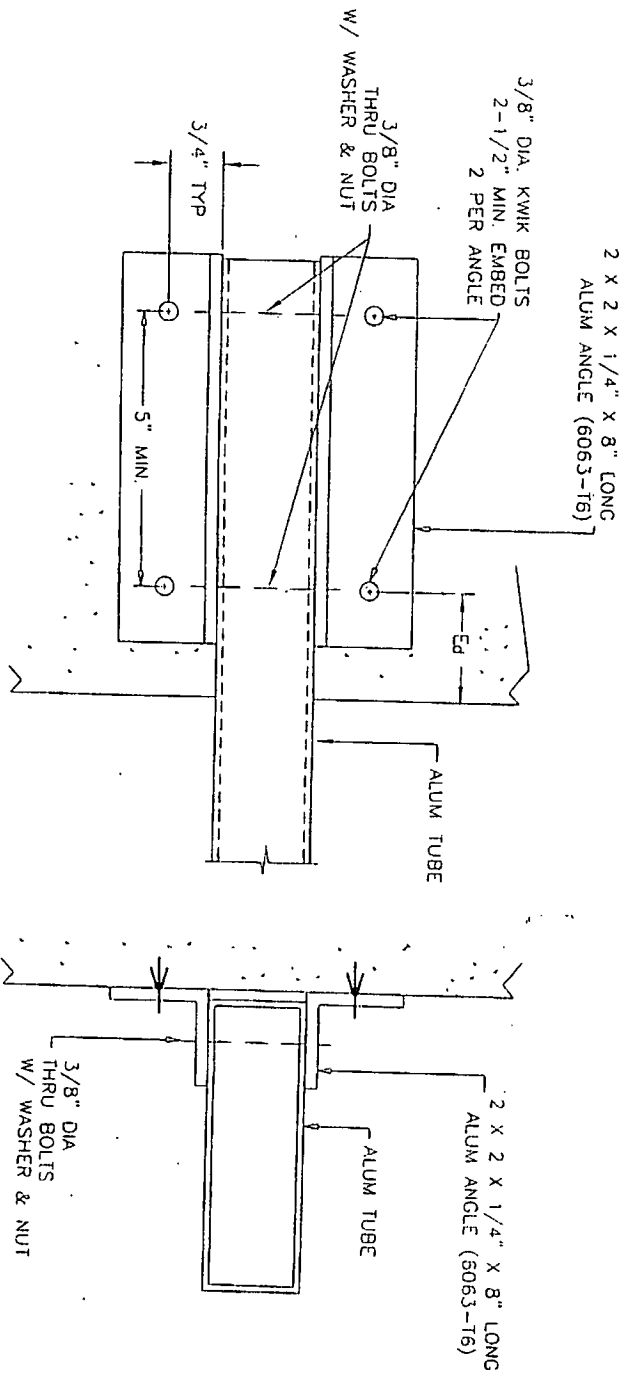
SHUTTER HEIGHT



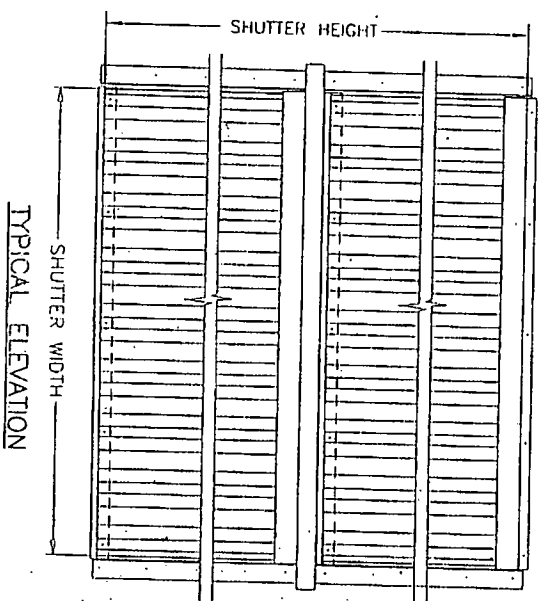
FOLDING SHUTTER CORP.
ALUM TUBE 2" x 6" x 1/8"
MAX. DEFLECTION - SPAN/180
6063-T6
94-34T6



FOLDING SHUTTER CORP.
ALUM TUBE 2" x 4" x 1/8"
MAX. DEFLECTION - SPAN/180
6063-T6
94-34T4



TUBE CONNECTION TO WALL OR FLOOR/CEILING
SCALE: 1/4"=1"



TUBES MAY BE USED VERTICALLY FOR HORIZONTAL PANEL INSTALLATION.

Engr. DR. HUMAYOUN FAROOQ
STRUCTURES
FLA. P.E. # 16557
CAN. 3538

NOV 24 2003

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No 03-0623-0
Expiration Date 11/20/2009

By *Hamid*
Miami Product Control
Division

no	date	by	description
G	04.14.03		NO CHANGE THIS SHEET
H	11.24.03	H	NO CHANGE THIS SHEET

STORM PANEL DETAILS
FOLDING SHUTTER CORP.
7089 HEMSTREET PLACE
WEST PALM BEACH, FL 33406
TEL.(561) 683-4811 FAX.(561) 640-8204

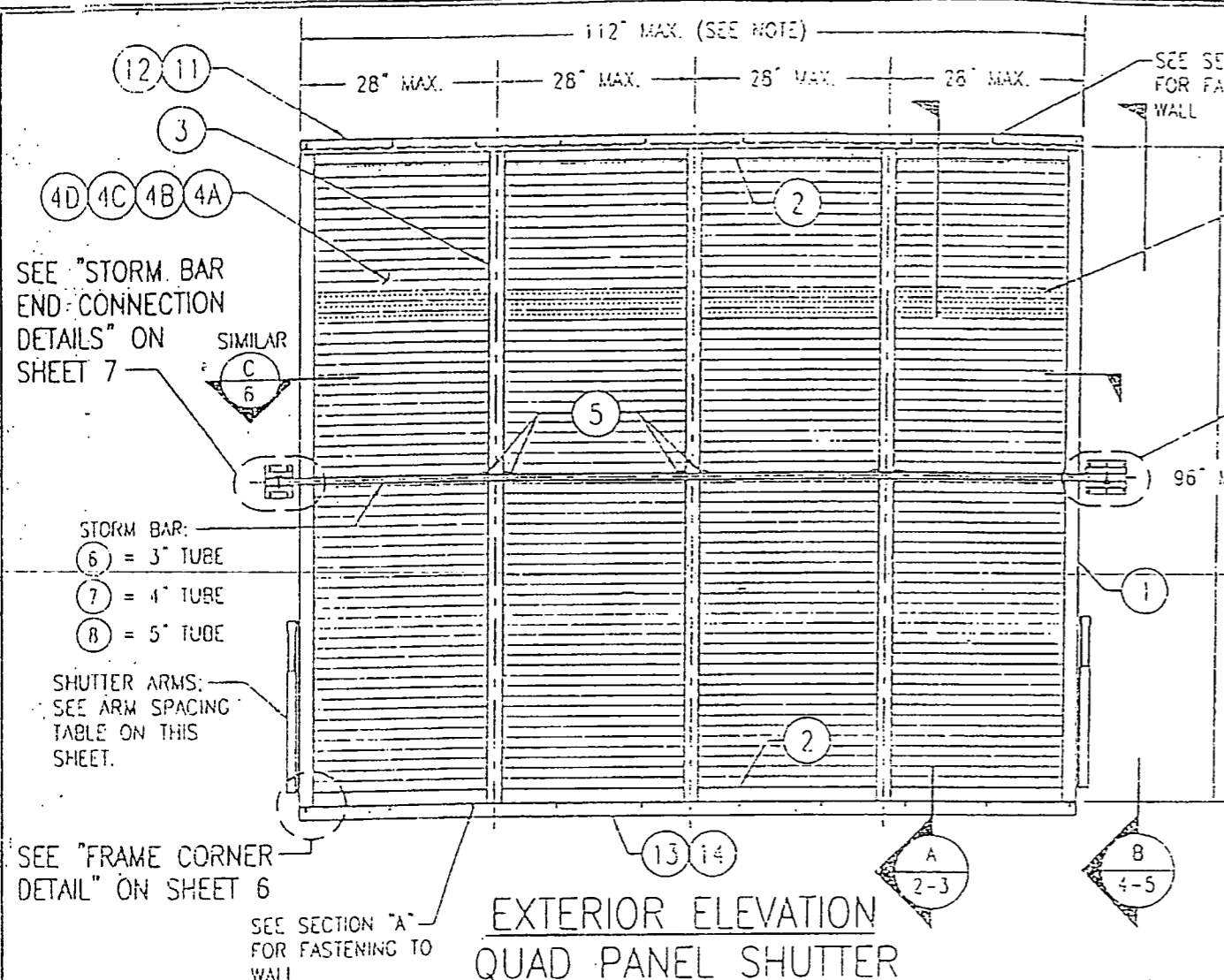
AL-FAROOQ CORPORATION
ENGINEERS, PLANNERS & PRODUCT DESIGN
1235 SW 87 AVE
MIAMI, FLORIDA 33174
TEL. (305) 264-8100 FAX. (305) 262-6978



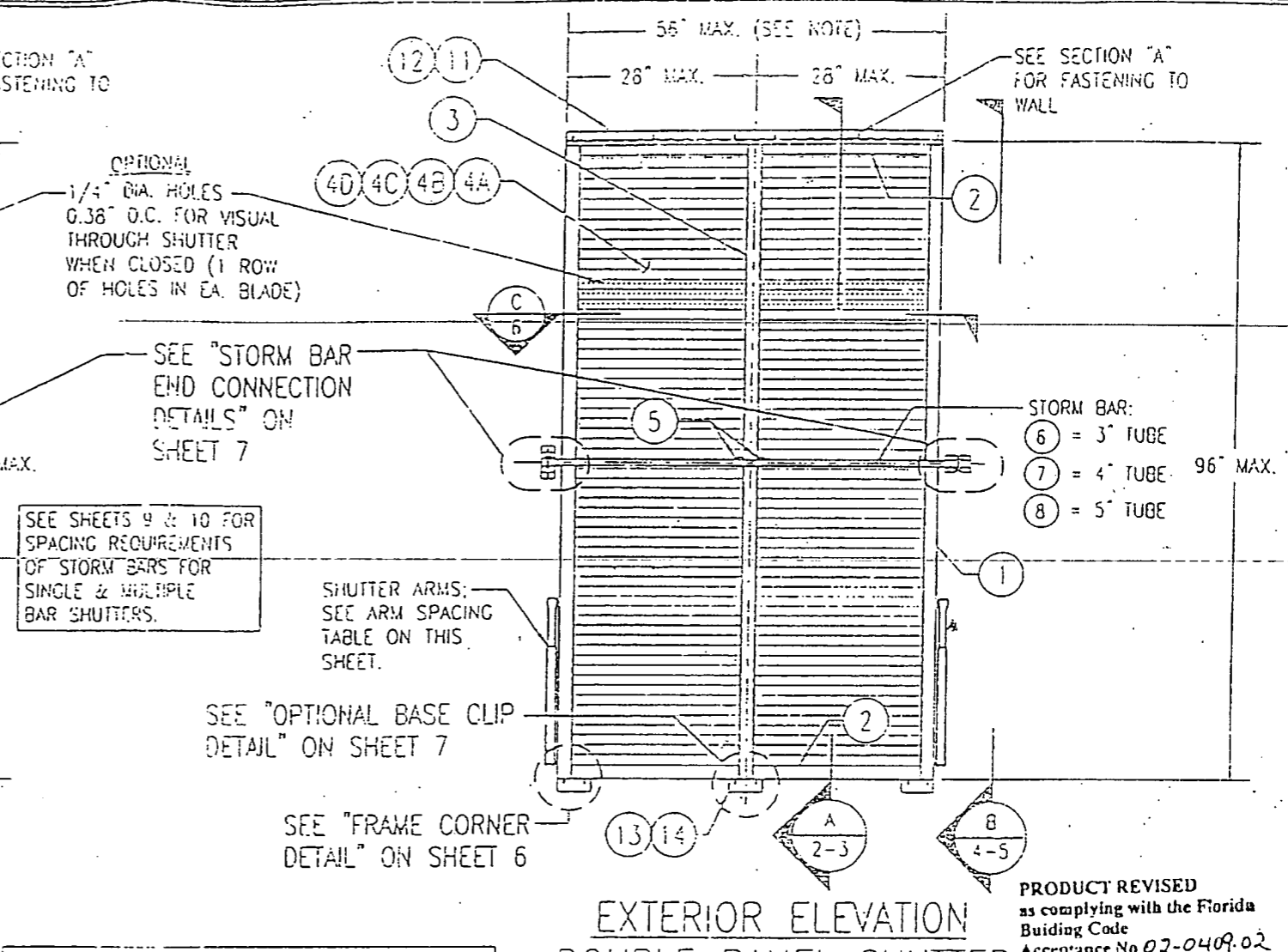
PANELS\94-34FSC

date: 06-03--94
scale: 1/2" = 1"
dr. by: HAMID
chk. by:
drawing no. 94-34
Sheet 6 of 6

FOR HEAD & SILL COMBINATIONS
SEE TYPICAL DETAILS AND SCHEDULES
END CLOSURE ANGLE RECD. ONLY ON BUILT-OUT CONDITION.



EXTERIOR ELEVATION
QUAD PANEL SHUTTER
SCALE: 1/2" = 1'-0"



EXTERIOR ELEVATION
DOUBLE PANEL SHUTTER
SCALE: 1/2" = 1'-0"

NOTE: SINGLE & THREE PANEL SHUTTERS ARE ALSO PART OF THIS APPROVAL.

MAX. ALLOWABLE DESIGN WIND LOADS	
POSITIVE	NEGATIVE
80 PSF	80 PSF

SEE SHUTTER ELEVATIONS ON SHEET 9 & STORM BAR LOAD TABLES ON SHEETS 10 FOR LOADS AS CONTROLLED BY SHUTTER SPAN & STORM BAR SPACING.

NOTE: THE NUMBER OF PANELS IS GOVERNED BY:
 1. IF STORM BARS ARE REQUIRED, ANY NUMBER OF PANELS MAY BE USED PROVIDING THE OVERALL SHUTTER WIDTH DOES NOT EXCEED 112" & THE PANEL WIDTHS DO NOT EXCEED 28".
 2. IF NO STORM BARS ARE REQUIRED, ANY NUMBER OF PANELS MAY BE USED & THE SHUTTER OVERALL WIDTH MAY BE INFINITE PROVIDING THE PANEL WIDTHS DO NOT EXCEED 28".

STORM BAR NOTE: THE NUMBER OF STORM BARS REQUIRED WITH EACH SHUTTER TYPICALLY VARIES FROM 1 TO 3 & IS DEPENDENT ON SHUTTER SIZE & REQUIRED DESIGN PRESSURE. SEE ELEVATION SKETCHES & LOAD TABLES ON SHEETS 9 & 10 FOR STORM BAR REQUIREMENTS.

ARM SPACING TABLE

SHUTTER HEIGHT	MAXIMUM SPACING
48" OR LESS	56"
51" < h < 72"	38"
73" < h < 84"	32"
85" < h < 96"	28"

VALUES IN THIS TABLE ARE BASED ON PRESSURES RESULTING FROM WIND SPEEDS UP TO 75 MPH

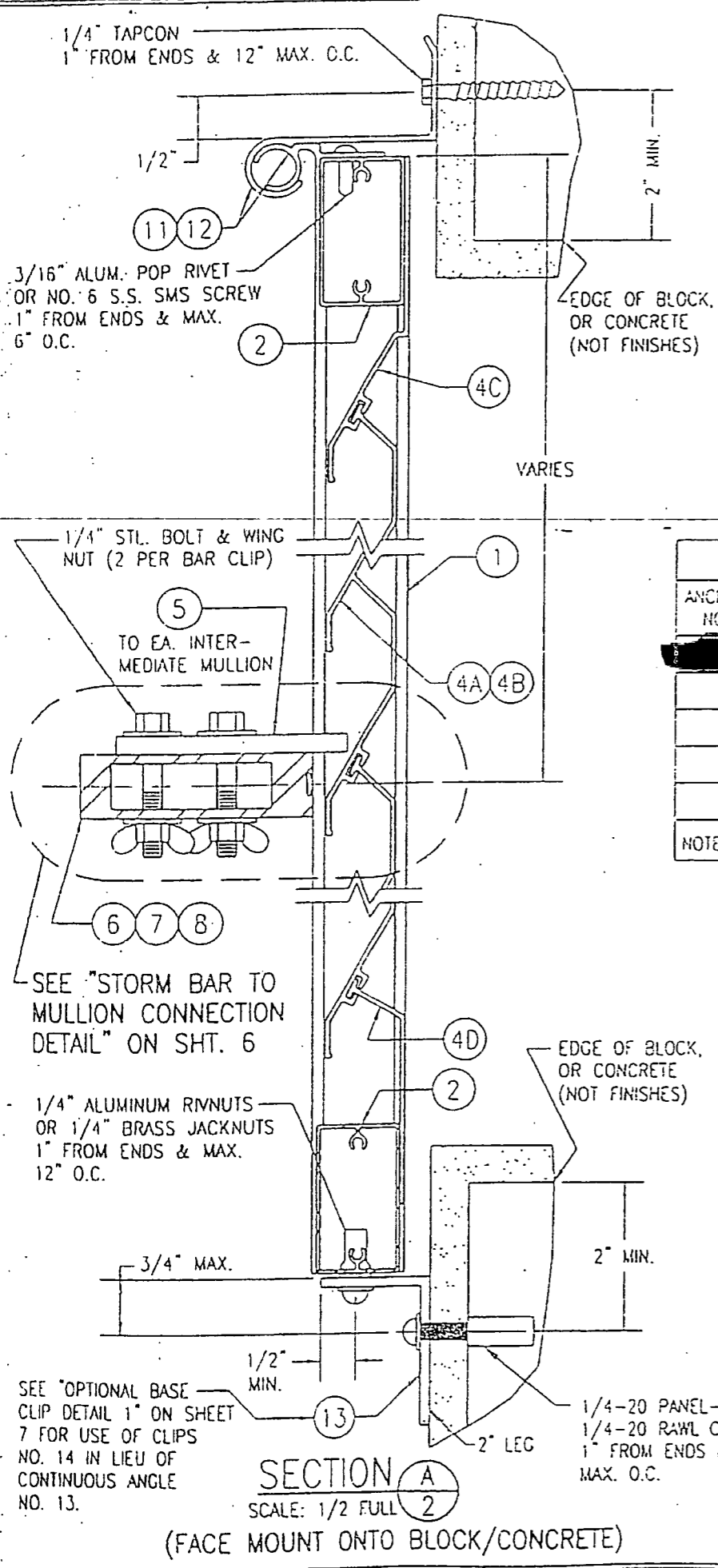
NOTE: ALL 2 PANEL SHUTTERS REQUIRE JUST 1 ARM AT EACH SIDE!!

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE
 DATE: 11/15/2001
 BY: [Signature]
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 01-0216.03

GENERAL NOTES:

- ALL ALUMINUM EXTRUSIONS SHALL BE 6063-T5 ALLOY UNLESS SHOWN OTHERWISE ON THESE DRAWINGS.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMIT HOLDER TO VERIFY THE STRUCTURAL INTEGRITY OF THE EXISTING STRUCTURE TO SUPPORT THE LOADS SUPERIMPOSED BY THE SHUTTERS.
- THESE SHUTTER SYSTEMS ARE DESIGNED TO WITHSTAND WIND PRESSURES, IN THE OPEN POSITION, RESULTING FROM WIND SPEEDS UP TO 75 MPH IN ACCORDANCE WITH THE SOUTH FLORIDA BUILDING CODE 1994 EDITION (THE SHUTTER MUST BE CLOSED WHEN WIND SPEEDS ARE IN EXCESS OF 75 MPH). WHEN CLOSED, THE OWNER SHALL BE RESPONSIBLE FOR SECURING THE SHUTTER AS REQ'D.
- THESE SHUTTER SYSTEMS HAVE BEEN DESIGNED & TESTED IN ACCORDANCE WITH THE SOUTH FLORIDA BUILDING CODE 1994 EDITION AND DADE COUNTY PROTOCOLS PA-201, 202 & 203.
- EACH SHUTTER SHALL HAVE A LEGIBLE & READILY VISIBLE MARKING INSTRUCTING THE OWNER/TENANT TO SECURE THE SHUTTER WITH BRACKETS & STORM BARS, PER THESE APPROVED DRAWINGS, DURING PERIODS OF HURRICANE WARNINGS.
- EACH SHUTTER ASSEMBLY SHALL BE PERMANENTLY LABELED AS FOLLOWS:
 FOLDING SHUTTER CORPORATION
 WEST PALM BEACH, FLORIDA
 MIAMI-DADE COUNTY PRODUCT CONTROL APPROVED
- ALL CONCRETE SUBSTRATE SHALL BE MIN. 3000 PSI.
- ALL WOOD SUBSTRATE SHALL HAVE MIN. G = 0.55 DENSITY.
- SHUTTERS MUST BE PLACED SUCH THAT THE MINIMUM DISTANCE BETWEEN THE SHUTTER AND THE GLASS IT PROTECTS IS 3.25".

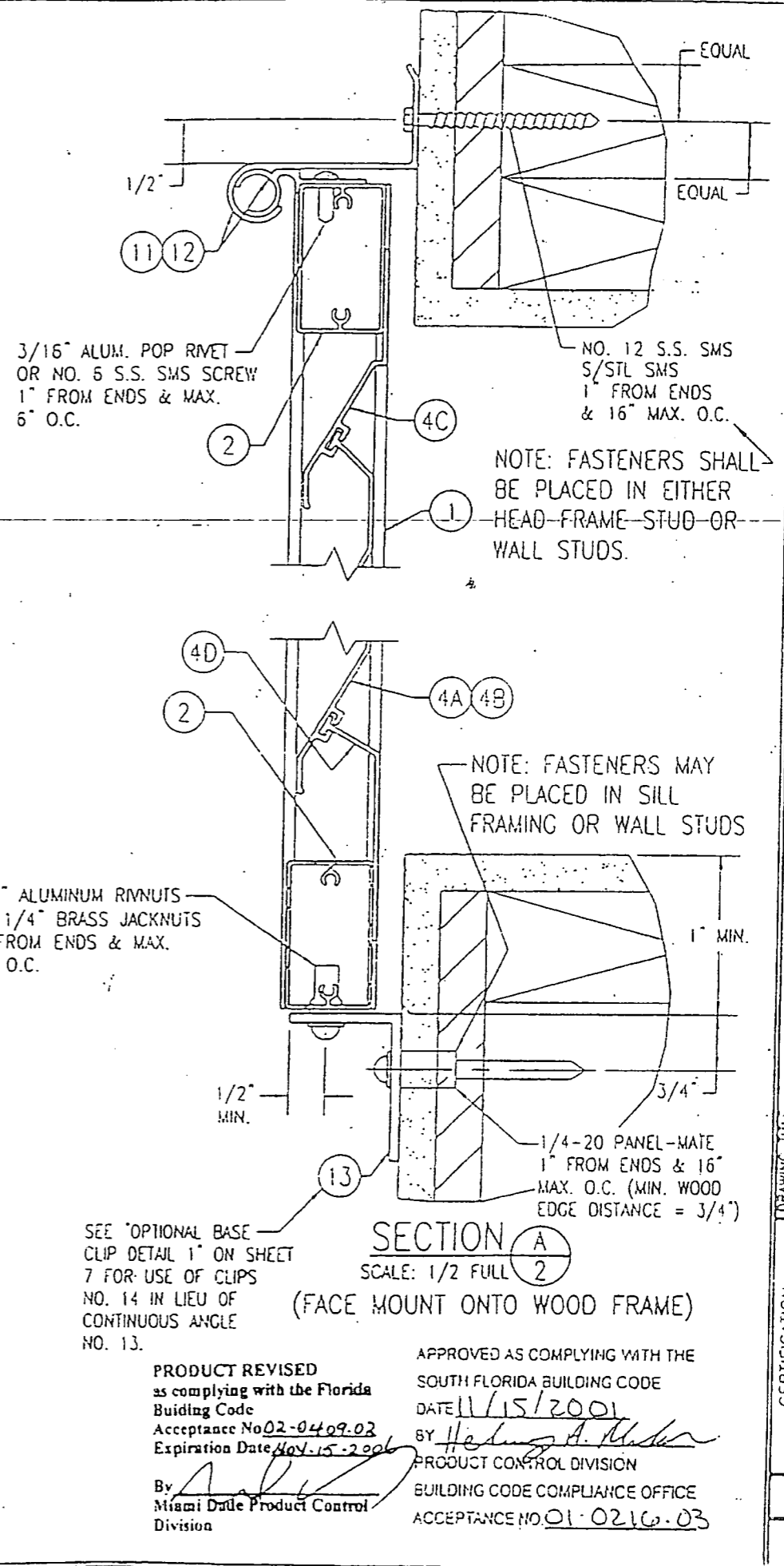
DRAWN BY: W.F.S.	CHECKED BY: T.M.S.
PL: 1-24	DATE: 12/08/00
DATE	
BY	
REVISION DESCRIPTION	
NO.	
IMPACT BAHAMA SHUTTER (DADE)	
MANUFACTURER FOLDING SHUTTER CORPORATION 7089 HEMLOCK PLACE WEST PALM BEACH, FLORIDA 33413 561-653-4811	
CONSULTANTS W. W. SCHAEFER ENGINEERING & CONSULTING, P.A. 600 SANDREE DRIVE, SUITE 203B PALM BEACH GARDENS, FL 33403 PHONE: 561-775-1902 FAX: 561-775-4493	
DIVISION By: [Signature] Miami Dade Product Control	
DRAWING TITLE IMPACT BAHAMA SHUTTER (DADE)	
CERTIFICATION OCT 22 2001 [Signature] WARREN W. SCHAEFER, P.E. P.E. NO. 44135	
DRAWING NO. 1018	REV.
SHEET NO. 1 OF 10	



ANCHOR SCHEDULE

ANCHOR NO.	ANCHOR TYPE	SUBSTRATE	MINIMUM EMBEDMENT	MINIMUM EDGE DIST.
A	NO. 12 S.S. SMS SCREW	WOOD	1 1/2"	3/4"
B	1/4" TAPCON	CONCRETE/BLOCK	1 3/4"	3"
C	1/4-20 RAWL CAULK-IN	CONCRETE/BLOCK	7/8"	3"
D	1/4-20 PANELMATE (MALE OR FEMALE)	WOOD	1 7/8"	3/4"
E	1/4-20 PANELMATE (MALE OR FEMALE)	CONCRETE/BLOCK	1 1/4"	3"

NOTE: 1/4" STL. OR S.S. BOLTS SHALL BE USED WITH ANCHORS C, D & E.



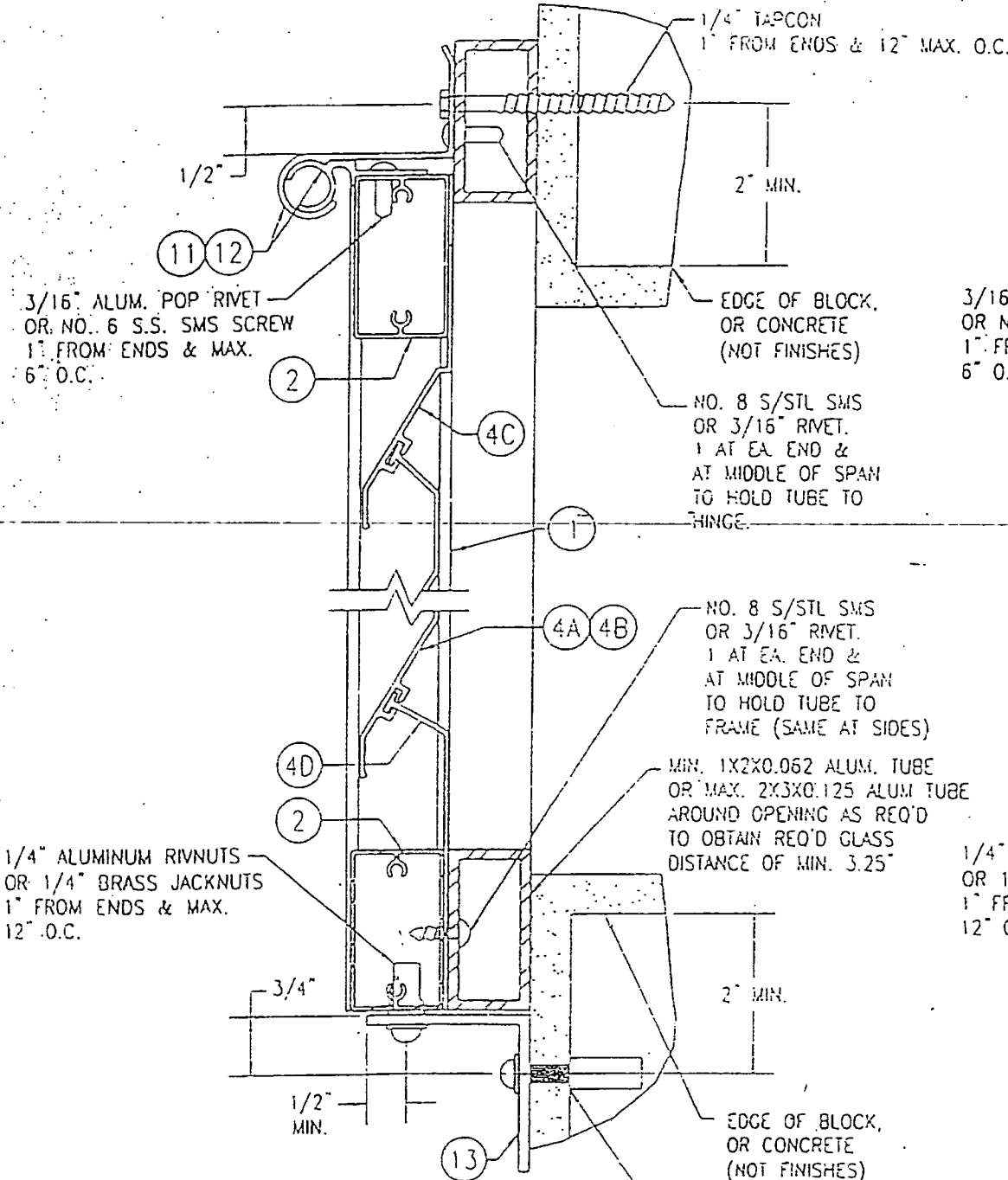
SECTION A
SCALE: 1/2 FULL
(FACE MOUNT ONTO WOOD FRAME)

SEE "OPTIONAL BASE CLIP DETAIL 1" ON SHEET 7 FOR USE OF CLIPS NO. 14 IN LIEU OF CONTINUOUS ANGLE NO. 13.

PRODUCT REVISED as complying with the Florida Building Code
Acceptance No. 02-0409-03
Expiration Date 10/15/2006

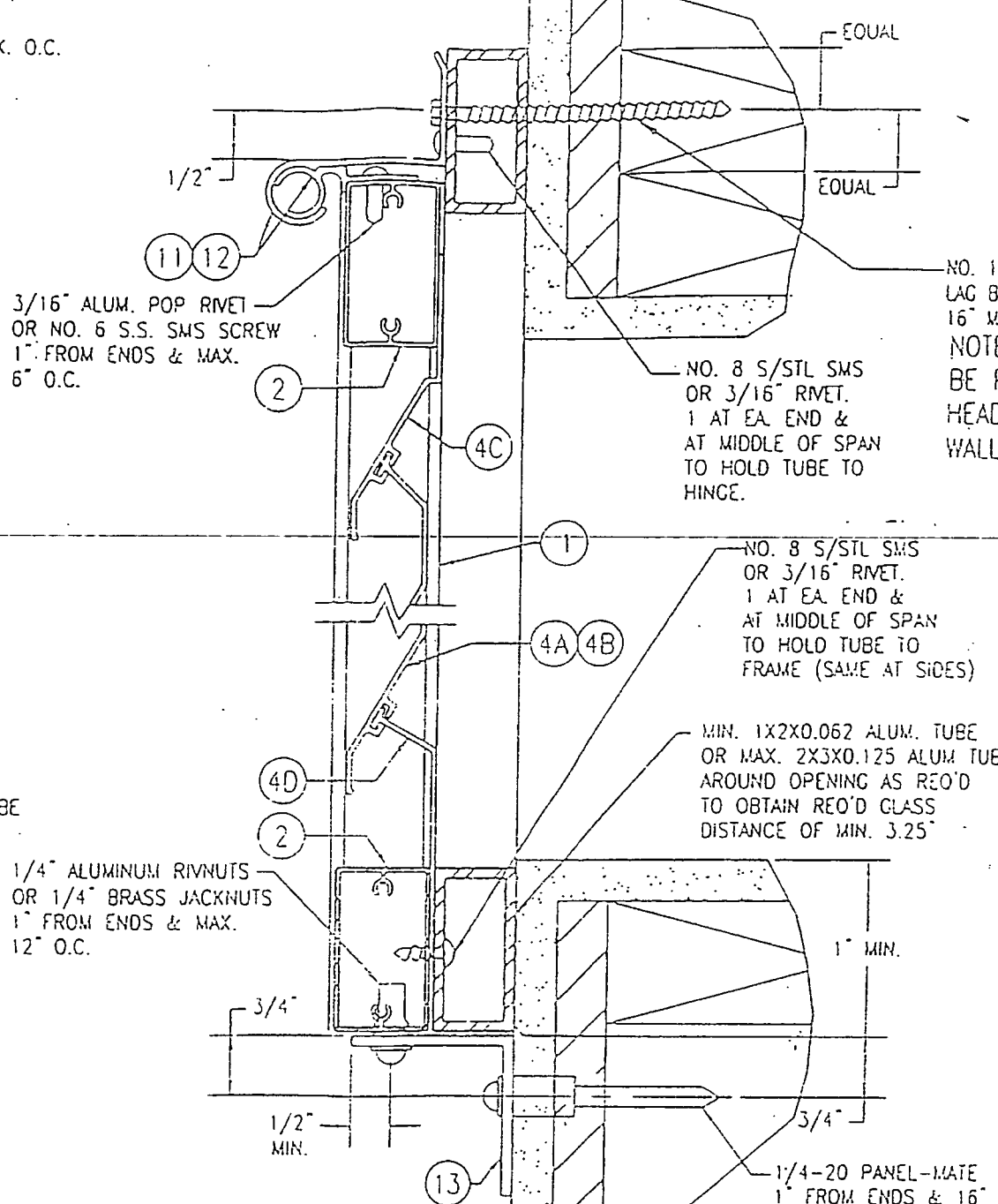
APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE
DATE 11/15/2001
BY *William A. Madson*
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 01-0216-03

DRAWN BY: W.W.S.	CHECKED BY: W.W.S.	DATE: 17/08/00	
PLT: 1-7	DATE:	DATE:	
REVISION NO.	REVISION DESCRIPTION	BY	
IMPACT BAHAMA SHUTTER (DADE) MANUFACTURER FOLDING SHUTTER CORPORATION 7089 HEMSTREET PLACE WEST PALM BEACH, FLORIDA 33413 561-683-4811			
CONSULTANTS W. W. SCHAEFER ENGINEERING & CONSULTING, P.A. 600 SANDTREE DRIVE, SUITE 203B PALM BEACH GARDENS, FL 33403 PHONE: 561-775-4902 FAX: 561-775-1903			
CERTIFICATION OCT 22 2001	WARREN W. SCHAEFER, P.E. P.E. NO. 44135		
DRAWING NO. 1018	REV.		
SHEET NO. 2 OF 10			



SECTION A
SCALE: 1/2 FULL

(BUILD-OUT MOUNT ONTO BLOCK/CONCRETE)



SECTION A
SCALE: 1/2 FULL

(BUILD-OUT MOUNT ONTO WOOD FRAME)

FOR FASTENER EDGE DISTANCE & SPACING REQUIREMENTS, SEE SHEET 2.

NOTE: FASTENERS MAY BE PLACED IN EITHER HEAD FRAMING STUD OR WALL STUDS

NOTE: FASTENERS MAY BE PLACED IN SILL FRAMING OR WALL STUDS.

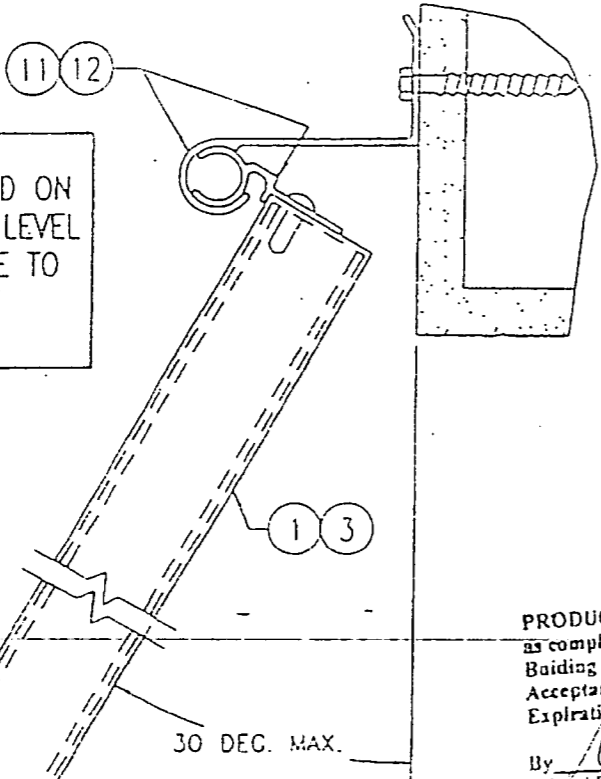
PRODUCT REVISED as complying with the Florida Building Code
Acceptance No 02-0409-02
Expiration Date Nov 15-2006

By Miami Dade Product Control Division

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE
DATE 11/15/2001
BY Warren W. Schaefer
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 01-0216-03

DRAWN BY: W.W.S.	CHECKED BY: W.W.S.
PLOT: 1-2	DATE: 12/04/00
REVISION DESCRIPTION	NO.
IMPACT BAHAMA SHUTTER (DADE)	
MANUFACTURER FOLDING SHUTTER CORPORATION 7089 HEMSTREET PLACE WEST PALM BEACH, FLORIDA 33413 561-583-4811	
CONSULTANTS W. W. SCHAEFER ENGINEERING & CONSULTING, P.A. 600 SANDTREE DRIVE, SUITE 203B PALM BEACH GARDENS, FL 33403 PHONE: 561-775-4902 FAX: 561-775-4903	
CERTIFICATION OCT 2 2001	WARREN W. SCHAEFER, P.E. P.E. NO. 44135
DRAWING NO. 1018	REV.
SHEET NO. 3	of 10

NOTE:
THE ARMS MAY BE MOUNTED ON THE WALL ABOVE THE SILL LEVEL PROVIDING THE ARMS ANGLE TO THE HORIZONTAL DOES NOT EXCEED 30 DEGREES.



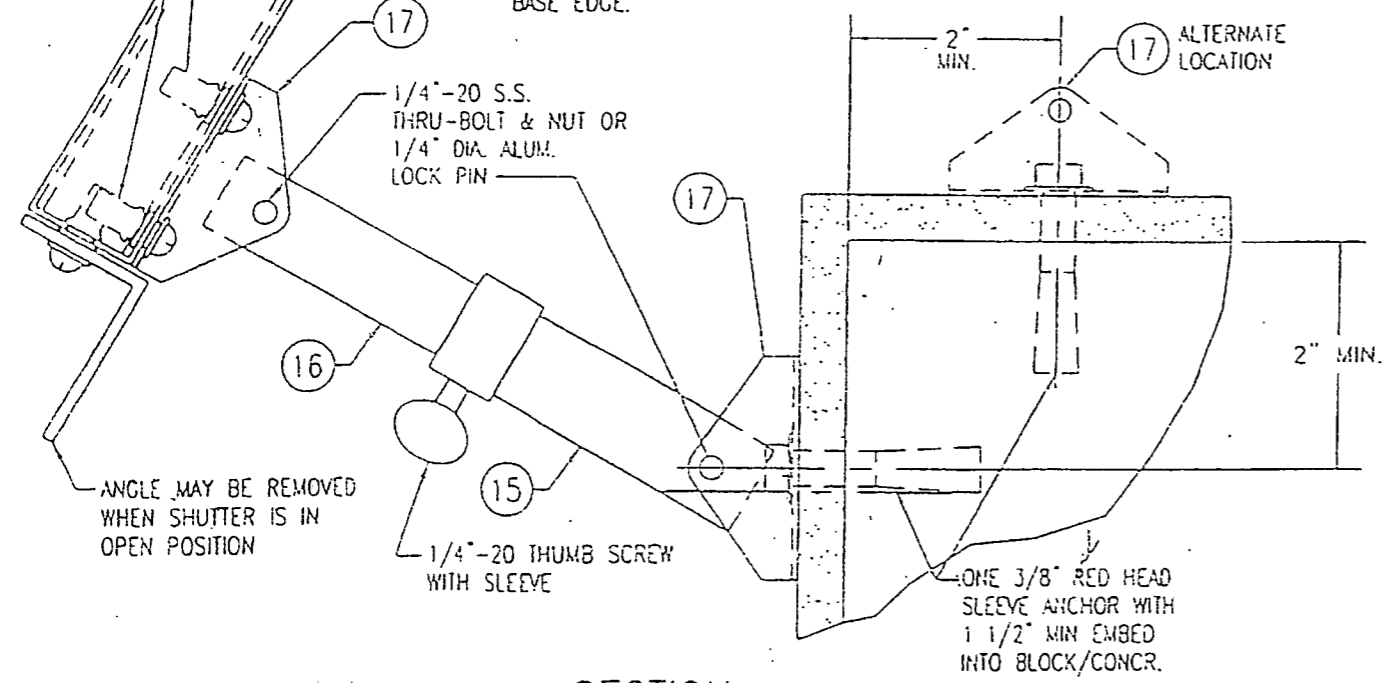
30 DEG. MAX.

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No. 02-0409.02
Expiration Date Nov 15 2006
By *[Signature]*
Miami Dade Product Control
Division

TWO 1/4-20 BOLTS INTO 1/4-20 ALUM. RIVNUTS OR BRASS MOLLY JACK-NUTS

BRACKET NOTES

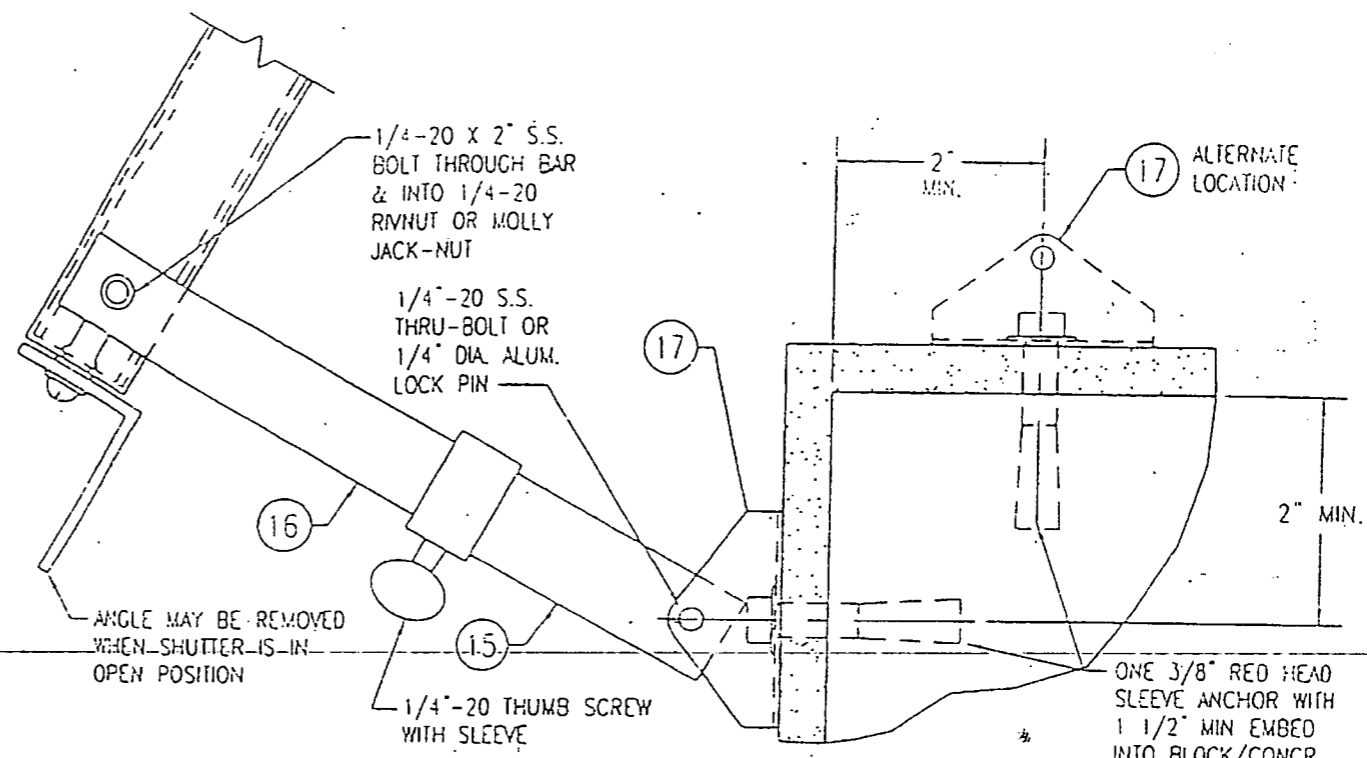
1. MAY OPTION TO FASTEN BRACKET TO ANGLE WITH ONE 1/4"-20 S.S. THRU-BOLT IN LIEU OF TO THE SHUTTER FRAME.
2. BRACKET MAY BE PLACED ON VERTICAL FRAME OR MULLION MEMBERS WITHIN 6" OF THE SHUTTER BASE EDGE.



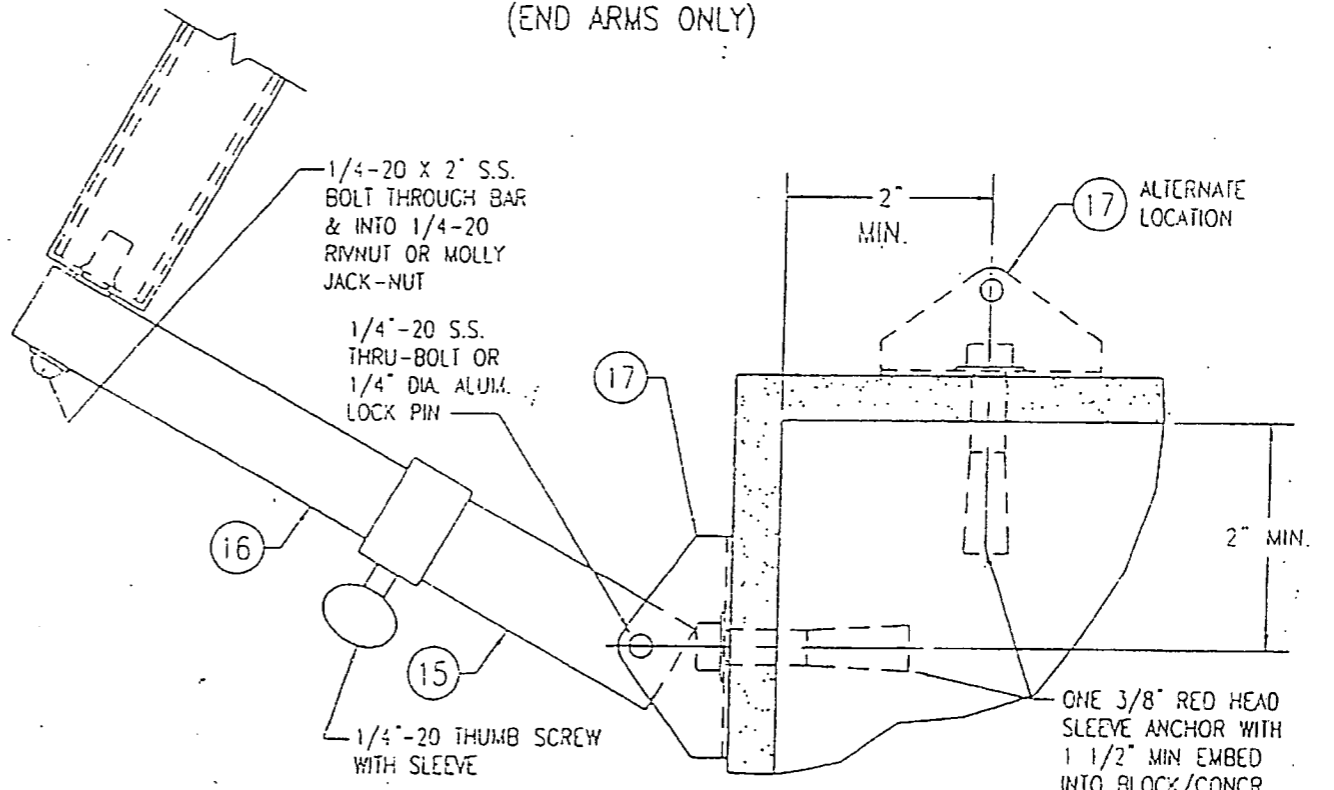
ANGLE MAY BE REMOVED WHEN SHUTTER IS IN OPEN POSITION

SECTION **B**
SCALE: 1/2 FULL **4**

(OPEN SHUTTER AT FACE MOUNT CONDITION TO BLOCK/CONCRETE)
SEE "ARM SPACING TABLE" ON SHEET 1 FOR SPACING OF ARMS



ALTERNATE TO SECTION B ON THIS SHEET
(END ARMS ONLY)



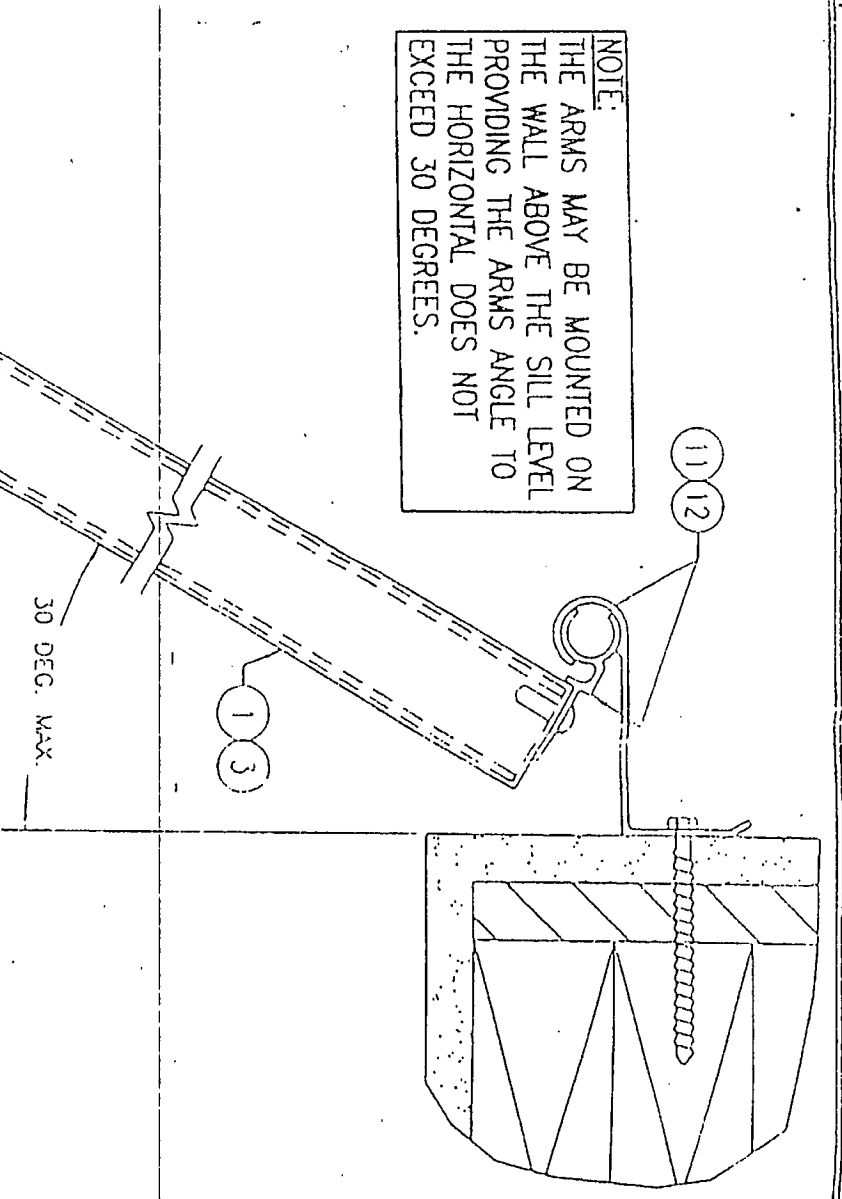
ALTERNATE TO SECTION B ON THIS SHEET

FOR FASTENER EDGE DISTANCE & SPACING REQUIREMENTS, SEE SHEET 2.

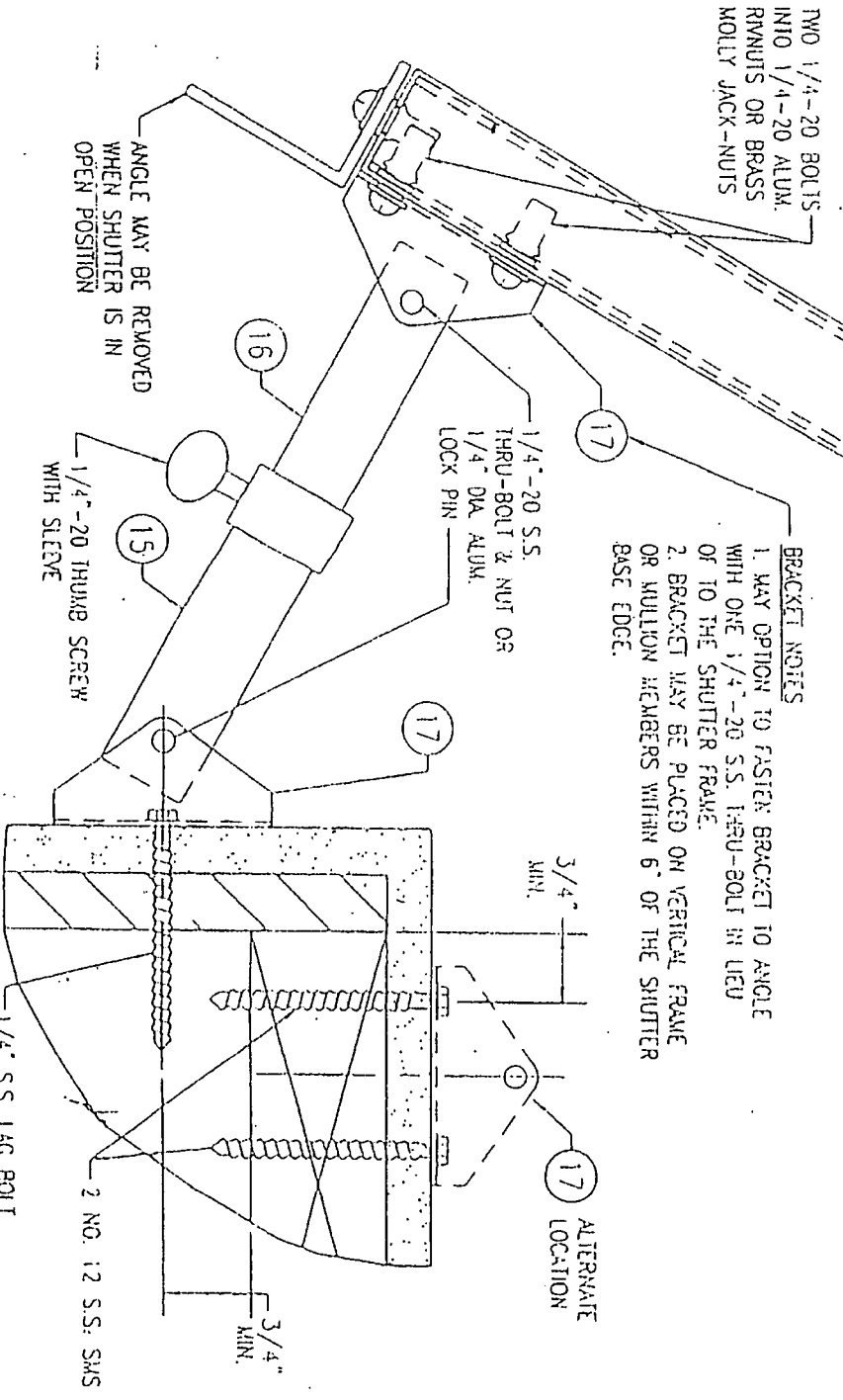
APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE
DATE 11/15/2001
BY *[Signature]*
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 01-0216-03

DRAWING NO. 1018	REV. 4
SHEET NO. 4	of 10
CERTIFICATION OCT 2 2001 <i>[Signature]</i> WARREN W. SCHAEFER, P.E. P.E. NO. 44135	
DRAWING TITLE: IMPACT BAHAMA SHUTTER (DADE) CONSULTANTS: W. W. SCHAEFER ENGINEERING & CONSULTING, P.A. 600 SANDTREE DRIVE, SUITE 203B PALM BEACH GARDENS, FL 33403 PHONE: 561-775-1902 FAX: 561-775-4993	
MANUFACTURER: FOLDING SHUTTER CORPORATION 7089 HEMISTREET PLACE WEST PALM BEACH, FLORIDA 33413 561-583-4911	
CHECKED BY: W.W.S. DATE: 12/08/00	DRAWN BY: W.W.S. DATE: 1-2
REVISION DESCRIPTION	NO.

NOTE:
THE ARMS MAY BE MOUNTED ON THE WALL ABOVE THE SILL LEVEL PROVIDING THE ARMS ANGLE TO THE HORIZONTAL DOES NOT EXCEED 30 DEGREES.



TWO 1/4"-20 BOLTS INTO 1/4"-20 ALUM. RIVNUTS OR BRASS MOLLY JACK-NUTS

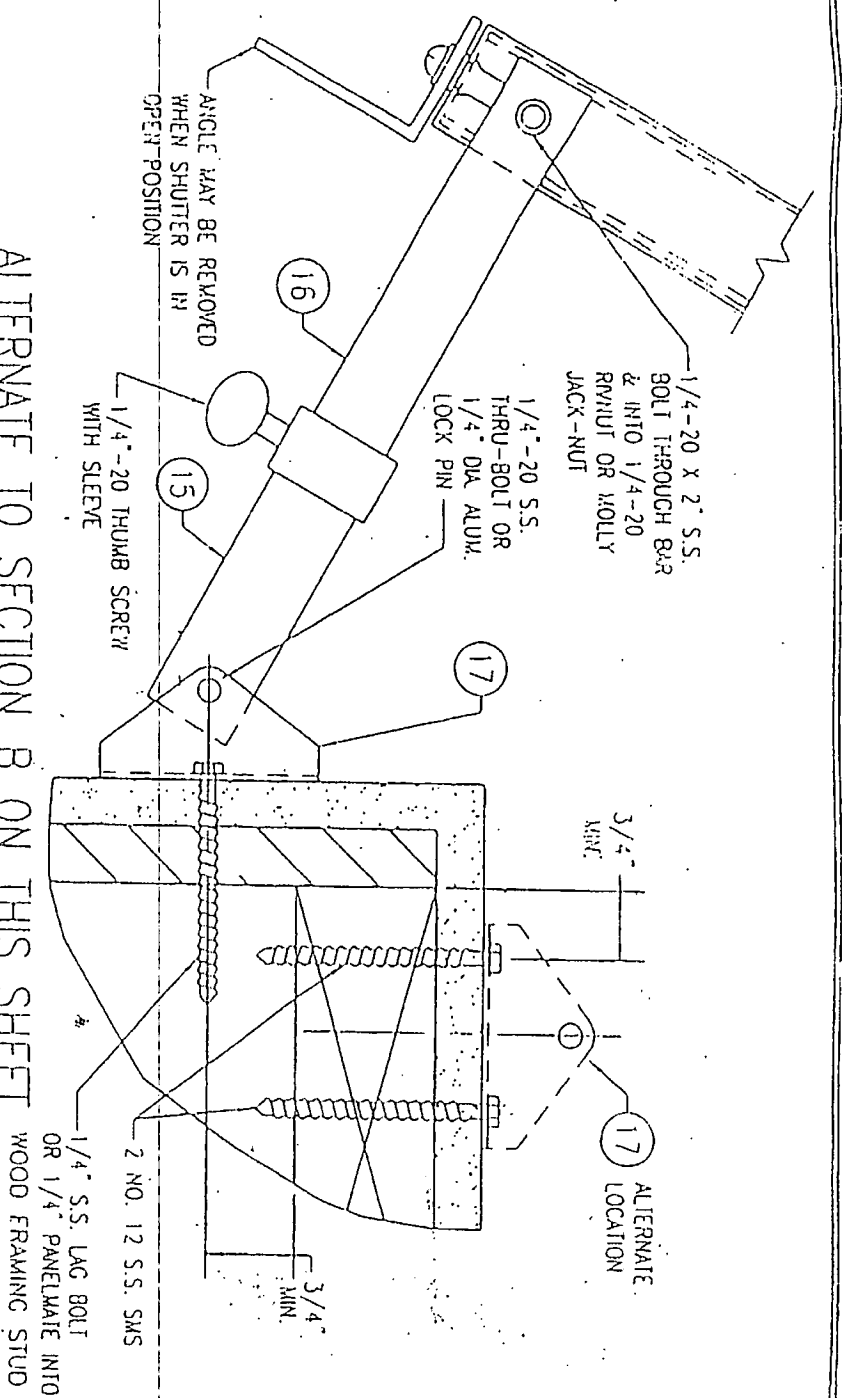


BRACKET NOTES
1. MAY OPTION TO FASTEN BRACKET TO ANGLE WITH ONE 1/4"-20 S.S. THRU-BOLT IN LIEU OF TO THE SHUTTER FRAME.
2. BRACKET MAY BE PLACED ON VERTICAL FRAME OR MULTION MEMBERS WITHIN 6" OF THE SHUTTER BASE EDGE.

SECTION B

SCALE: 1/2 FULL

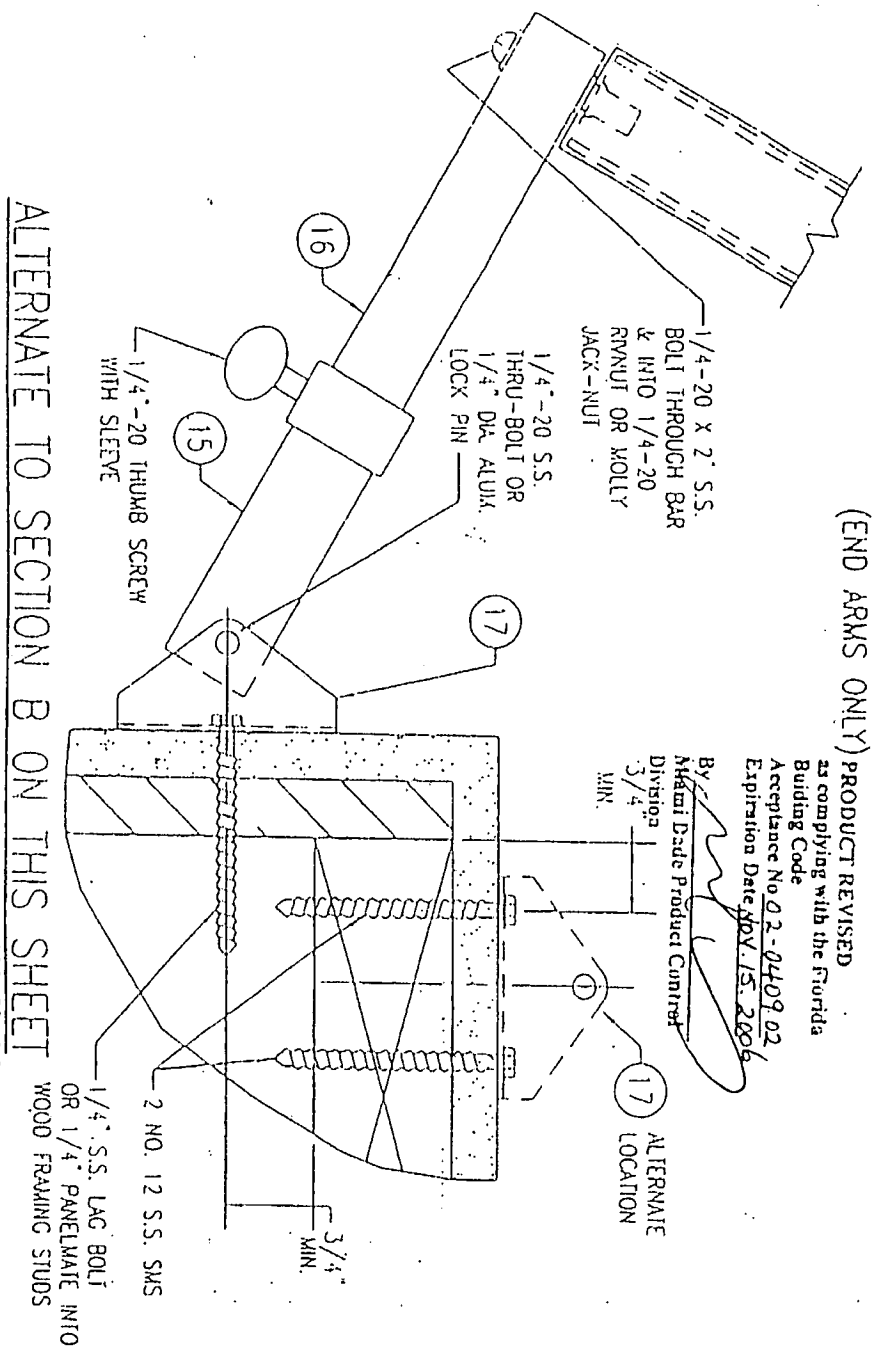
(OPEN SHUTTER AT FACE MOUNT CONDITION TO WOOD FRAMING) SEE "ARM SPACING TABLE" ON SHEET 1 FOR SPACING OF ARMS



ALTERNATE TO SECTION B ON THIS SHEET (END ARMS ONLY)

PRODUCT REVISED as complying with the Florida Building Code Acceptance No. 02-04409-02 Expiration Date NOV. 15, 2006

By: *[Signature]* Metal Dade Product Control Division 3/4" MIN.



ALTERNATE TO SECTION B ON THIS SHEET

FOR FASTENER EDGE DISTANCE & SPACING REQUIREMENTS, SEE SHEET 2.

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE

DATE 11/15/2001

BY *[Signature]* PRODUCT CONTROL DIVISION

BUILDING CODE COMPLIANCE OFFICE ACCEPTANCE NO. 01-0216-03

NO.	REVISION DESCRIPTION	BY	DATE

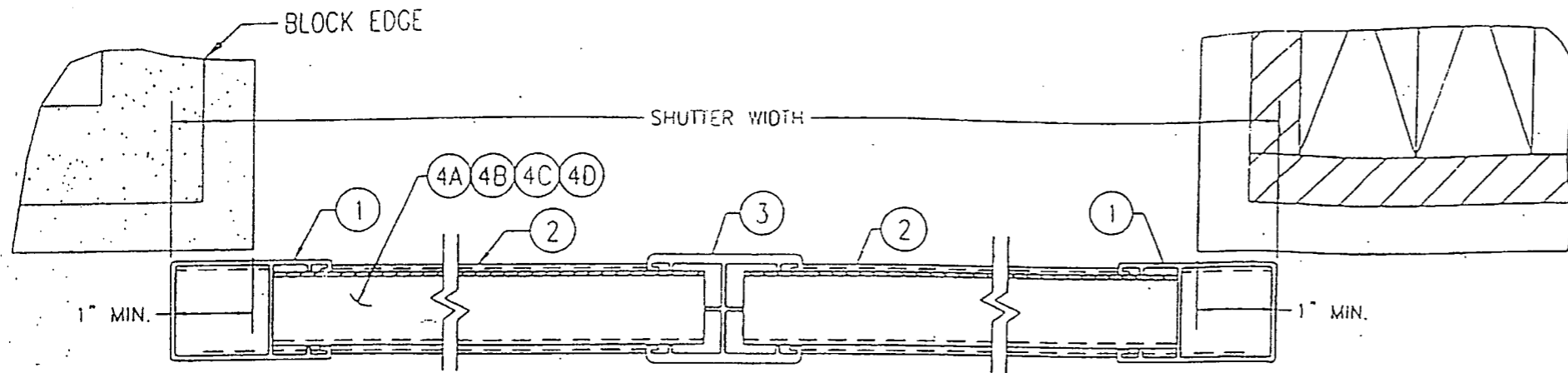
DRAWING TITLE: IMPACT BAHAMA SHUTTER (DADE)

CONSULTANTS: W. W. SCHAEFER ENGINEERING & CONSULTING, P.A.
500 SANDTREE DRIVE, SUITE 203B
PALM BEACH GARDENS, FL 33403
PHONE: 561-775-4902 FAX: 561-775-4903

MANUFACTURER: FOLDING SHUTTER CORPORATION
7089 HEMSTREET PLACE
WEST PALM BEACH, FLORIDA 33413
561-683-4811

CERTIFICATION
OCT 22 2001
[Signature]
WARREN W. SCHAEFER, P.E.
P.E. NO. 44135

DRAWING NO. 1018
SHEET NO. 5 OF 10

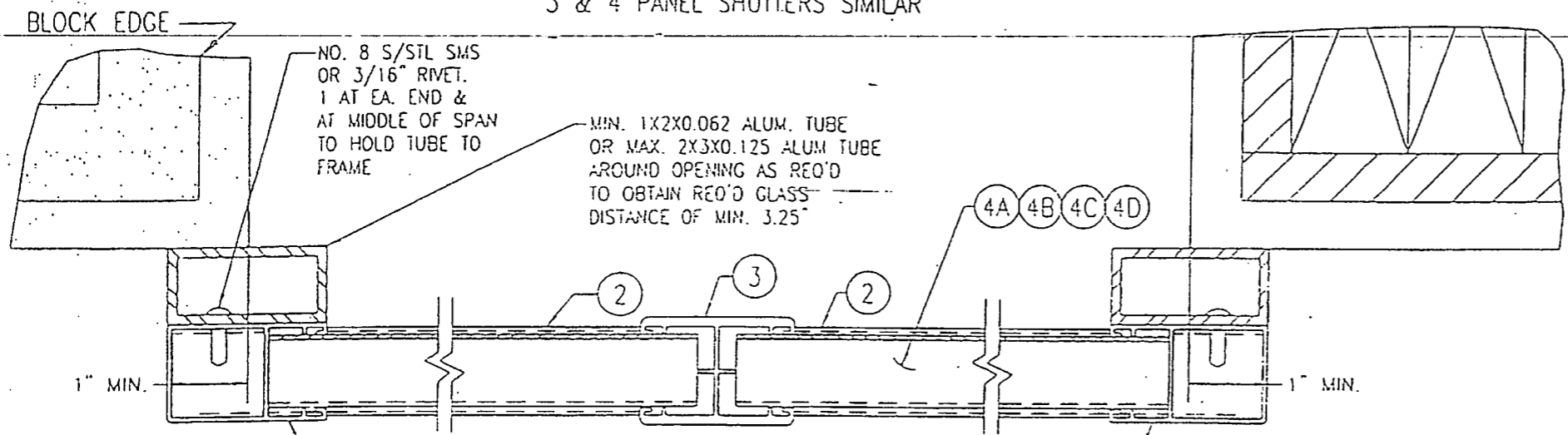


BLOCK OPENING

SECTION C FLUSH MOUNT
SCALE: 1/2 FULL

WOOD FRAMED OPENING

STORM BAR & ARMS NOT SHOWN FOR CLARITY!
3 & 4 PANEL SHUTTERS SIMILAR

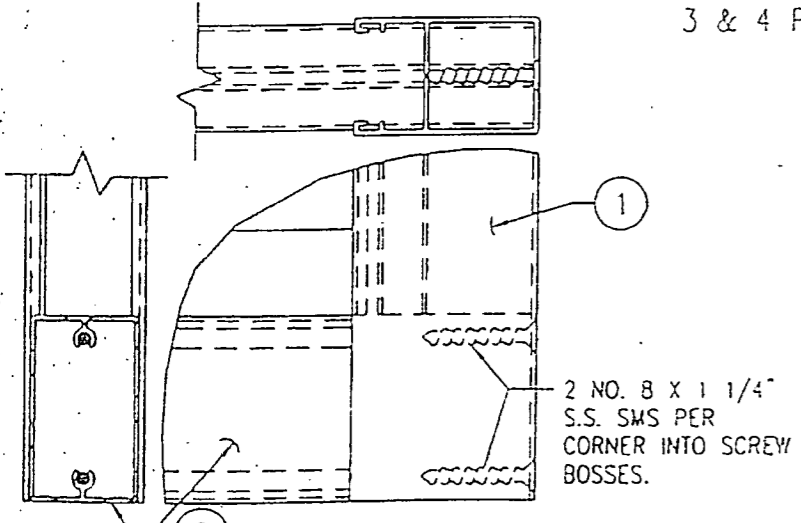


BLOCK OPENING

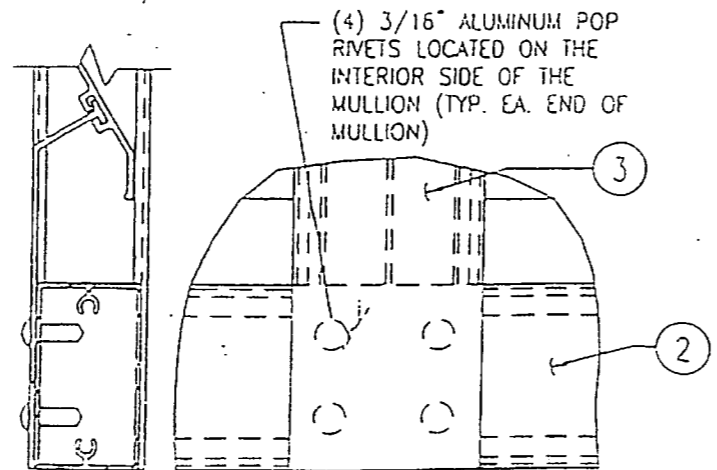
SECTION C BUILD-OUT
SCALE: 1/2 FULL

WOOD FRAMED OPENING

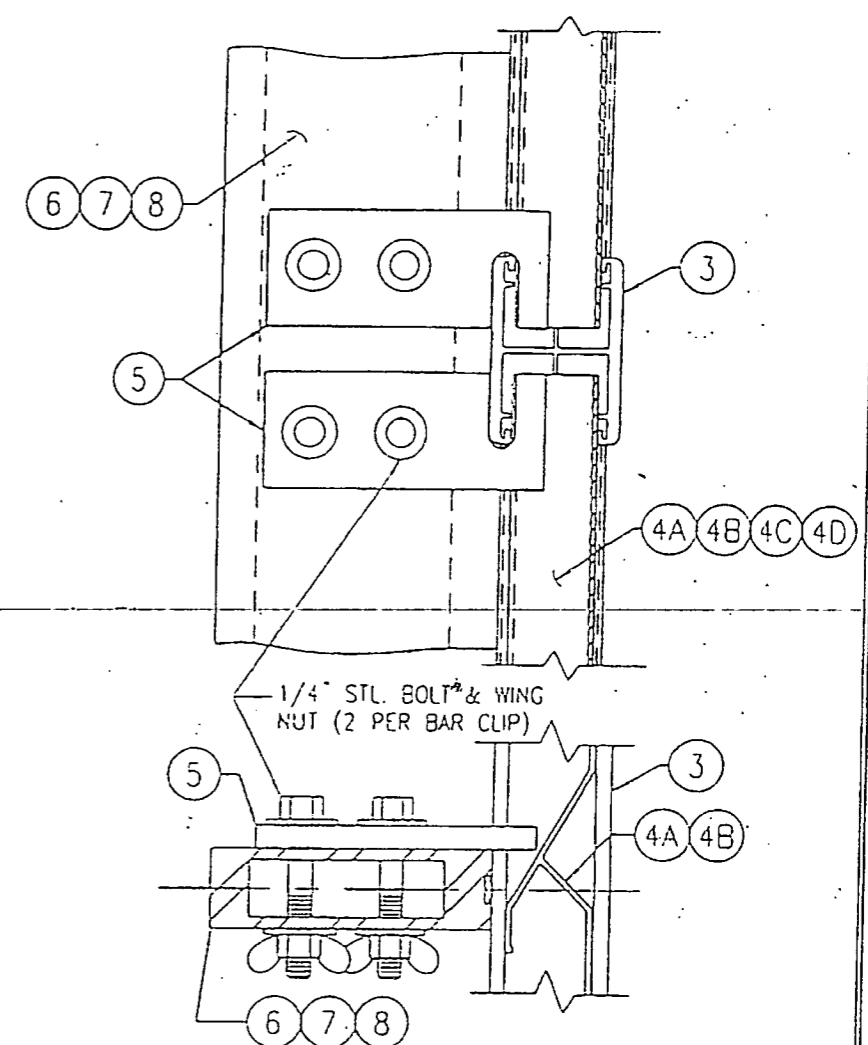
STORM BAR & ARMS NOT SHOWN FOR CLARITY!
3 & 4 PANEL SHUTTERS SIMILAR



FRAME CORNER DETAIL
SCALE: 1/2 FULL SIZE



MULLION END DETAIL
SCALE: 1/2 FULL SIZE



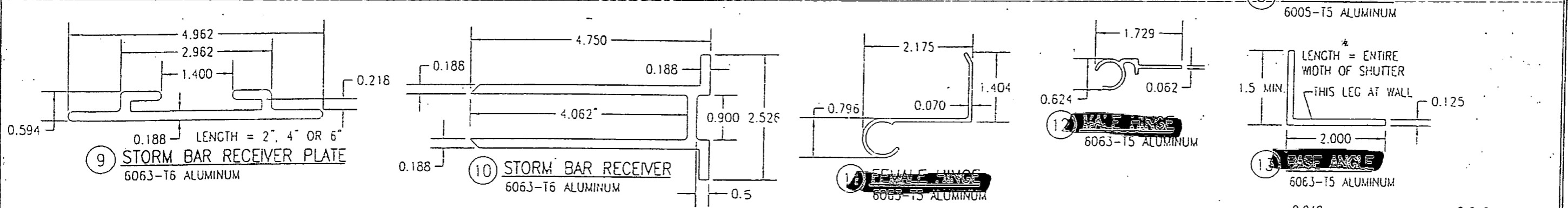
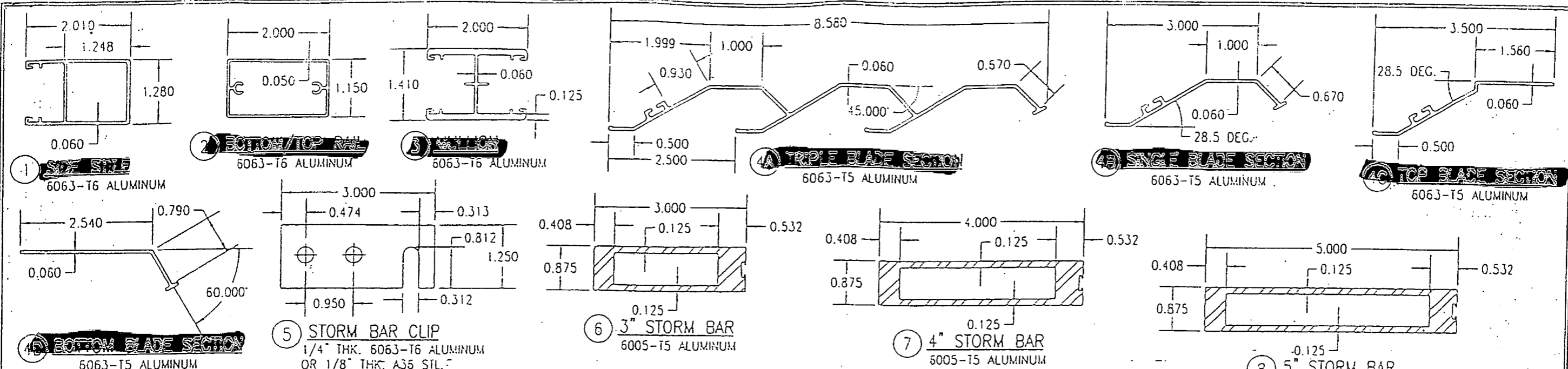
STORM BAR TO FRAME CONNECTION DETAIL
SCALE: 1/2 FULL

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No 02-0409-03
Expiration Date Nov. 15, 2006

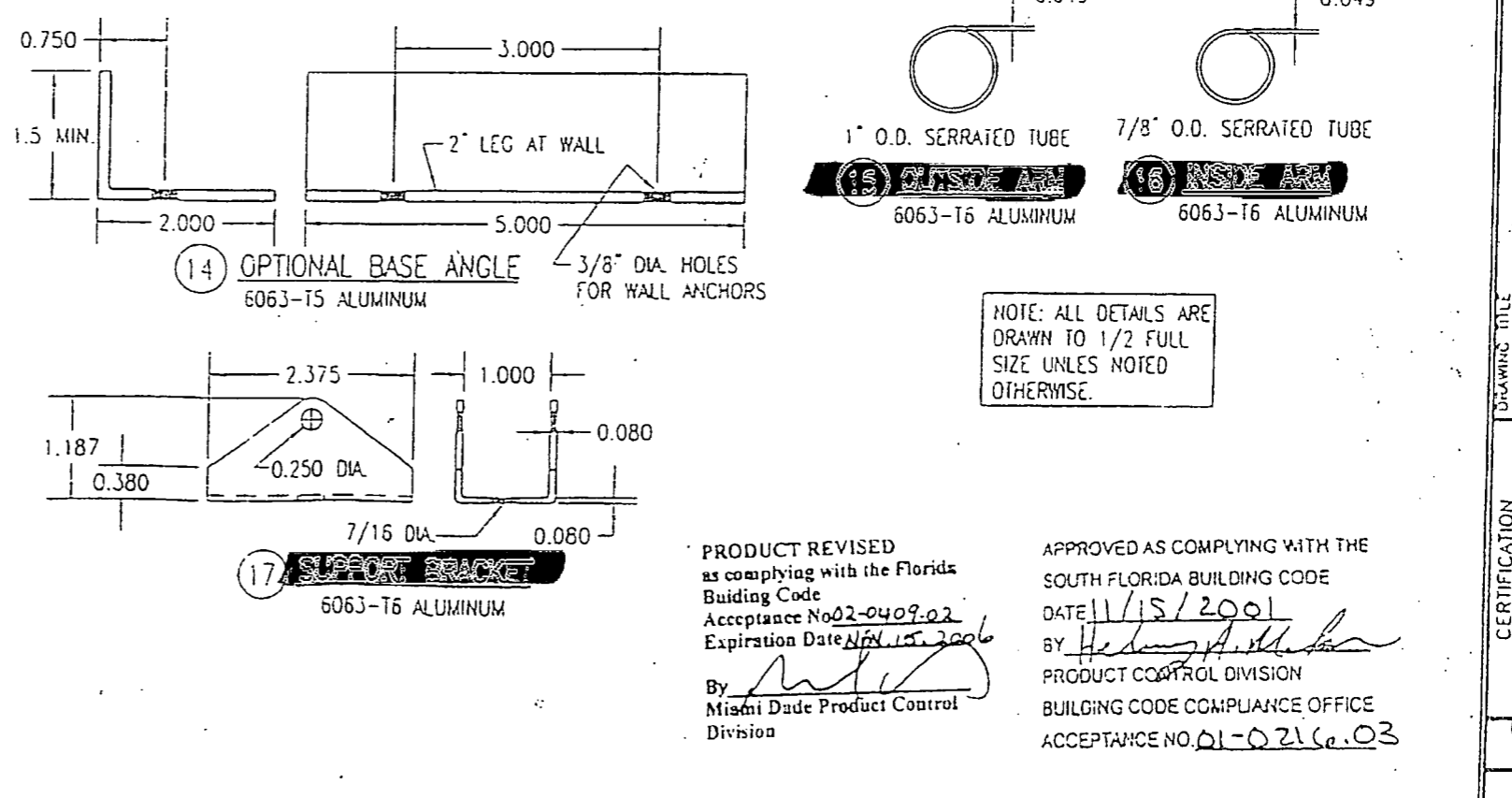
By *[Signature]*
Miami Dade Product Control
Division

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE 11/15/2001
BY *[Signature]*
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 01-0216-03

DRAWN BY: W.W.S.	CHECKED BY: W.W.S.
PROJ: 1-2	DATE: 12/06/00
DATE:	
BY:	
REVISION DESCRIPTION:	
NO:	
DRAWING TITLE: IMPACT BAHAMA SHUTTER (DADE)	
CONSULTANTS:	MANUFACTURER:
W. W. SCHAEFER ENGINEERING & CONSULTING, P.A. 600 SANDPIPER DRIVE, SUITE 202B PALM BEACH GARDENS, FL 33403 PHONE: 561-775-4902 FAX: 561-775-4903	FOLDING SHUTTER CORPORATION 7089 HEMSTREET PLACE WEST PALM BEACH, FLORIDA 33413 561-583-4811
CERTIFICATION:	
02-22-2001	
WARREN W. SCHAEFER, P.E. P.E. NO. 41133	
DRAWING NO. 1018	REV.
SHEET NO. 6	of 10



MATERIAL LIST		
NO.	DESCRIPTION	NOTES
1	SIDE STILE	
2	TOP & BOTTOM RAIL	
3	MULLION	
4A	TRIPLE BLADE SECTION	MAIN BLADE SECTION
4B	SINGLE BLADE SECTION	USED AS FILLER WHEN REQUIRED
4C	TOP SHUTTER BLADE	
4D	BOTTOM SHUTTER BLADE	
5	STORM BAR CLIP	SECURES STORM BAR TO SHUTTER PANEL FRAMES
6	3" STORM BAR	
7	4" STORM BAR	
8	5" STORM BAR	
9	STORM BAR RECEIVER PLATE	GRABS THE STORM BAR END CONNECTOR
10	STORM BAR RECEIVER	
11	FEMALE HINGE	
12	MALE HINGE	
13	CONTINUOUS BASE ANGLE	SHUTTER LEG LENGTH VARIES W/SHUTTER WALL OFFSET
14	OPTIONAL BASE ANGLE	PLACED AT MULLION & SIDE FRAME ENDS
15	OUTER ARM	POSITION PER DETAILS & SPACING TABLE
16	INNER ARM	POSITION PER DETAILS & SPACING TABLE
17	SHUTTER ARM SUPPORT BRACKET	ARM TO SHUTTER & WALL

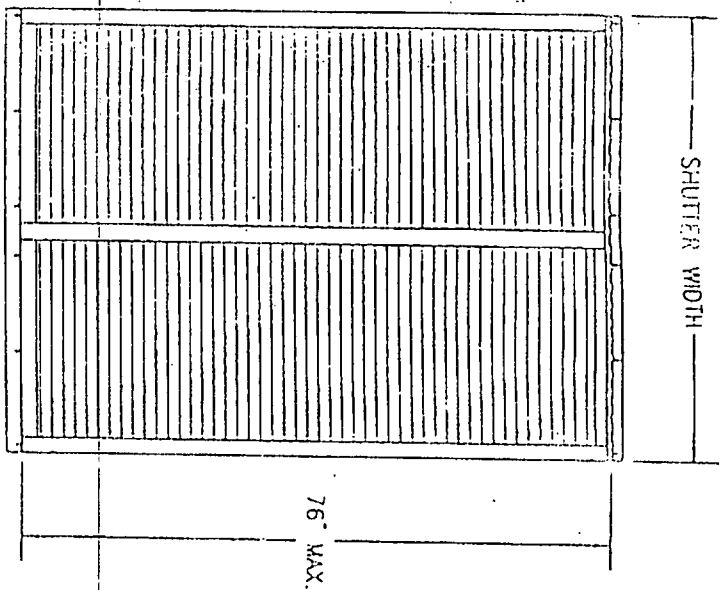


NOTE: ALL DETAILS ARE DRAWN TO 1/2 FULL SIZE UNLESS NOTED OTHERWISE.

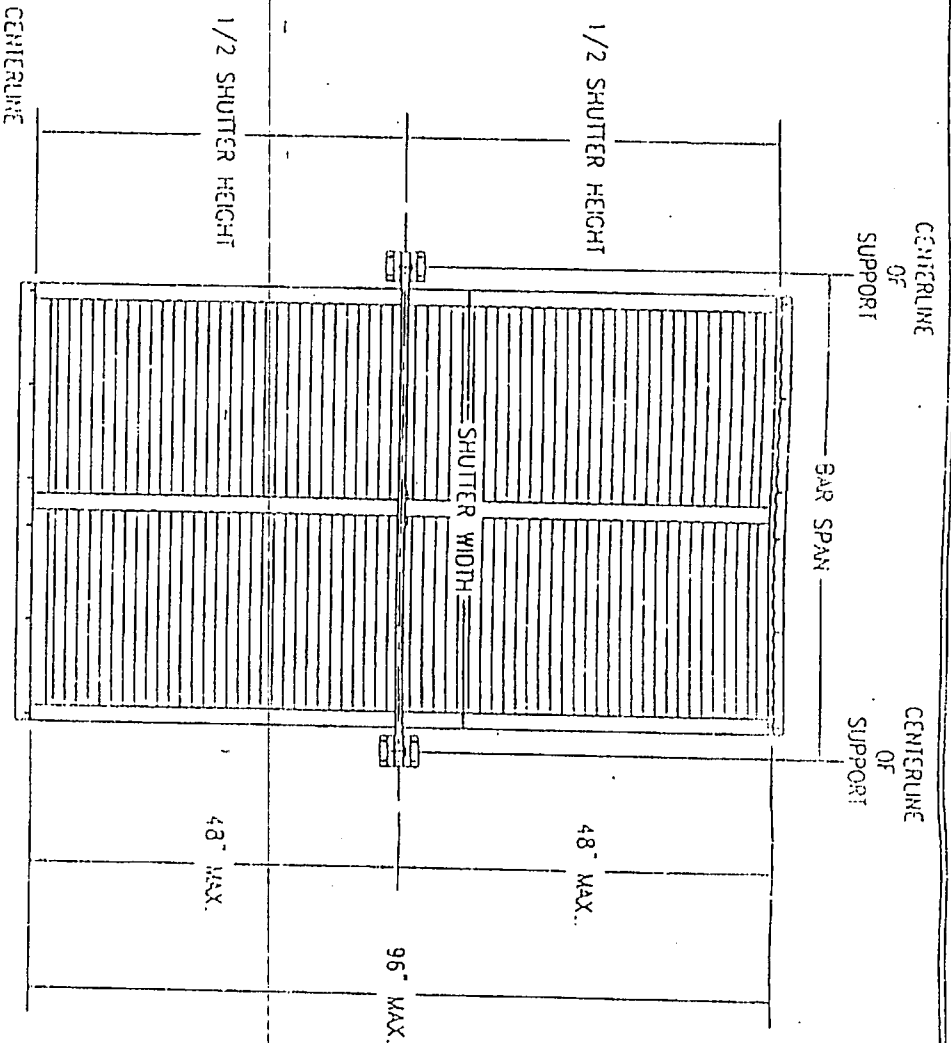
PRODUCT REVISED as complying with the Florida Building Code Acceptance No 02-0409-02 Expiration Date Nov 15, 2006
 By *[Signature]*
 Miami Dade Product Control Division

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE
 DATE 11/15/2001
 BY *[Signature]*
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 01-0216-03

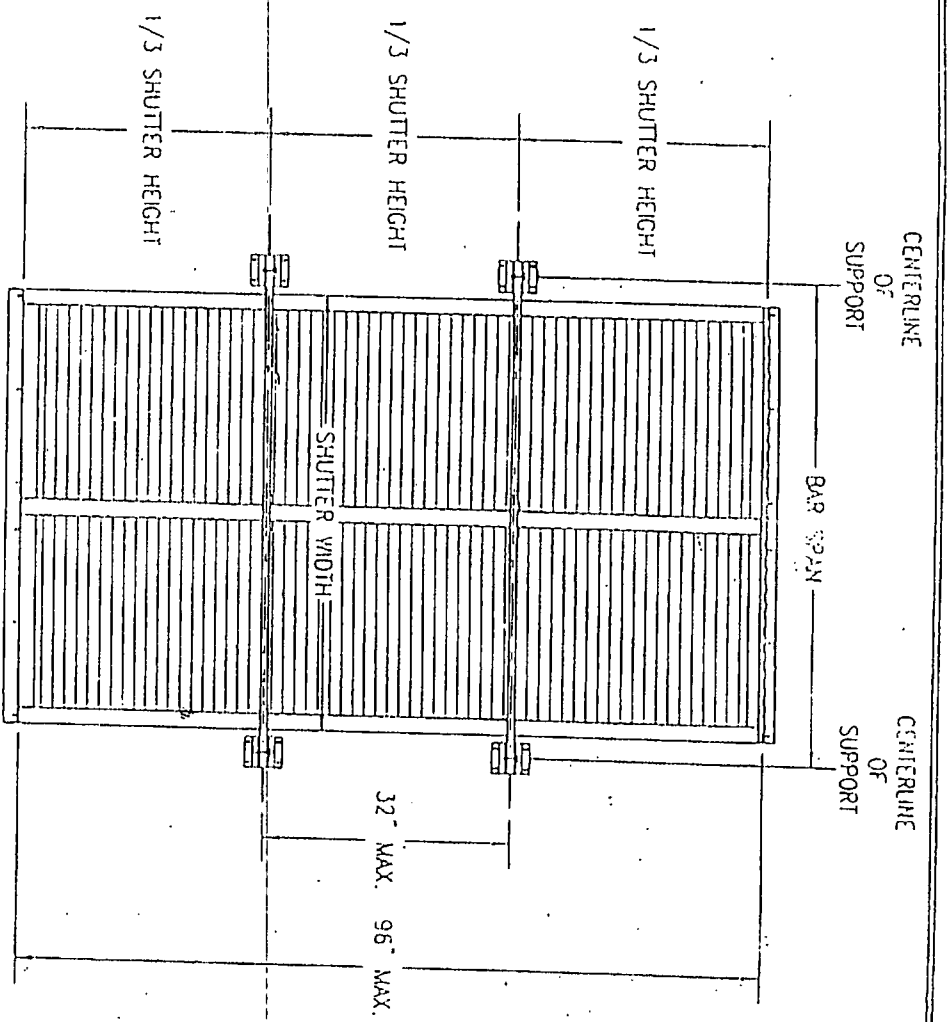
DRAWING TITLE IMPACT BAHAMA SHUTTER (DADE)	MANUFACTURER FOLDING SHUTTER CORPORATION 7089 HEMSTREET PLACE WEST PALM BEACH, FLORIDA 33413 561-683-4811
CONSULTANTS W. W. SCHAEFER ENGINEERING & CONSULTING, P.A. 600 SANDREE DRIVE, SUITE 203B PALM BEACH GARDENS, FL 33403 PHONE: 561-775-4902 FAX: 561-775-4903	DRAWING NO. 1018
SHEET NO. 8 of 10	CERTIFICATION OCT 22 2001 <i>[Signature]</i> WARREN W. SCHAEFER, P.E. P.E. NO. 44135



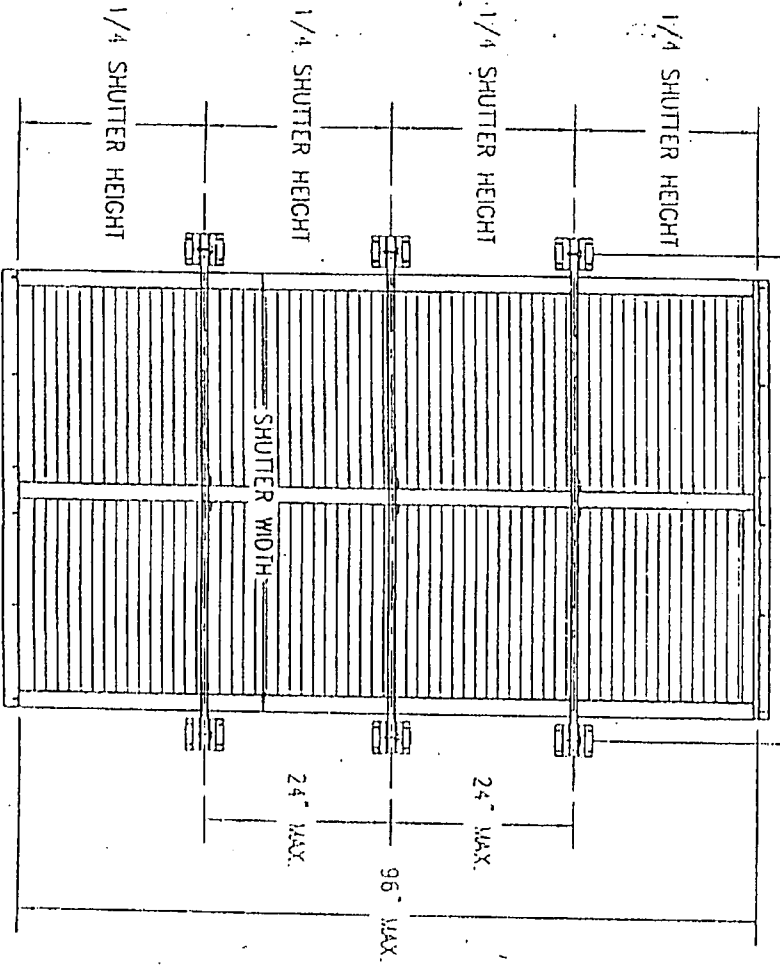
NO BARS
(SINGLE SPAN SHUTTER)



SINGLE BAR
(TWO SPAN SHUTTER)



TWO BARS
(THREE SPAN SHUTTER)



THREE BARS
(FOUR SPAN SHUTTER)

ALLOWABLE PRESSURE TABLE FOR SINGLE SPAN SHUTTERS (NO BARS)		
SHUTTER HEIGHT	POS PRESSURE (PSF)	NEG. PRESSURE (PSF)
80"	65.0	65.0
62"	62.0	62.0
64"	58.2	58.2
66"	54.7	54.7
68"	51.6	51.6
70"	47.9	48.7
72"	42.8	46.0
74"	38.4	43.5
76"	34.5	40.0

NOTE:
1. ALL SHUTTERS MUST BE PLACED A MIN. DISTANCE OF 3.25" AWAY FROM THE GLASS.

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No. 02-0409-02
Expiration Date 12/31/2006
By: *[Signature]*
Miami Dade Product Control
Division

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE 11/15/2001
BY: *[Signature]*
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 01-0216-03

CERTIFICATION WARREN W. SCHAEFER, P.E. P.E. NO. 44135	DRAWING TITLE IMPACT BAHAMA SHUTTER (DADE)	CONSULTANTS W. W. SCHAEFER ENGINEERING & CONSULTING, P.A. 600 SANDTREE DRIVE, SUITE 202B PALM BEACH GARDENS, FL 33403 PHONE: 561-775-4902 FAX: 561-775-4903	MANUFACTURER FOLDING SHUTTER CORPORATION 7089 HEMSTREET PLACE WEST PALM BEACH, FLORIDA 33413 561-583-4811	<table border="1"> <thead> <tr> <th>NO.</th> <th>REVISION DESCRIPTION</th> <th>BY</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	REVISION DESCRIPTION	BY	DATE												
	NO.	REVISION DESCRIPTION	BY	DATE																
DRAWING NO. 1018	SHEET NO. 9 of 10	DRAWING DATE 1-24	CHECKED BY W.W.S.	DATE 12/08/00																

FOLDING SHUTTER CORP. ENGINEERING LAYOUT SHEET

CUSTOMER NAME

SWEET

WORK ORDER NO.

05192004019

SHEET

OF

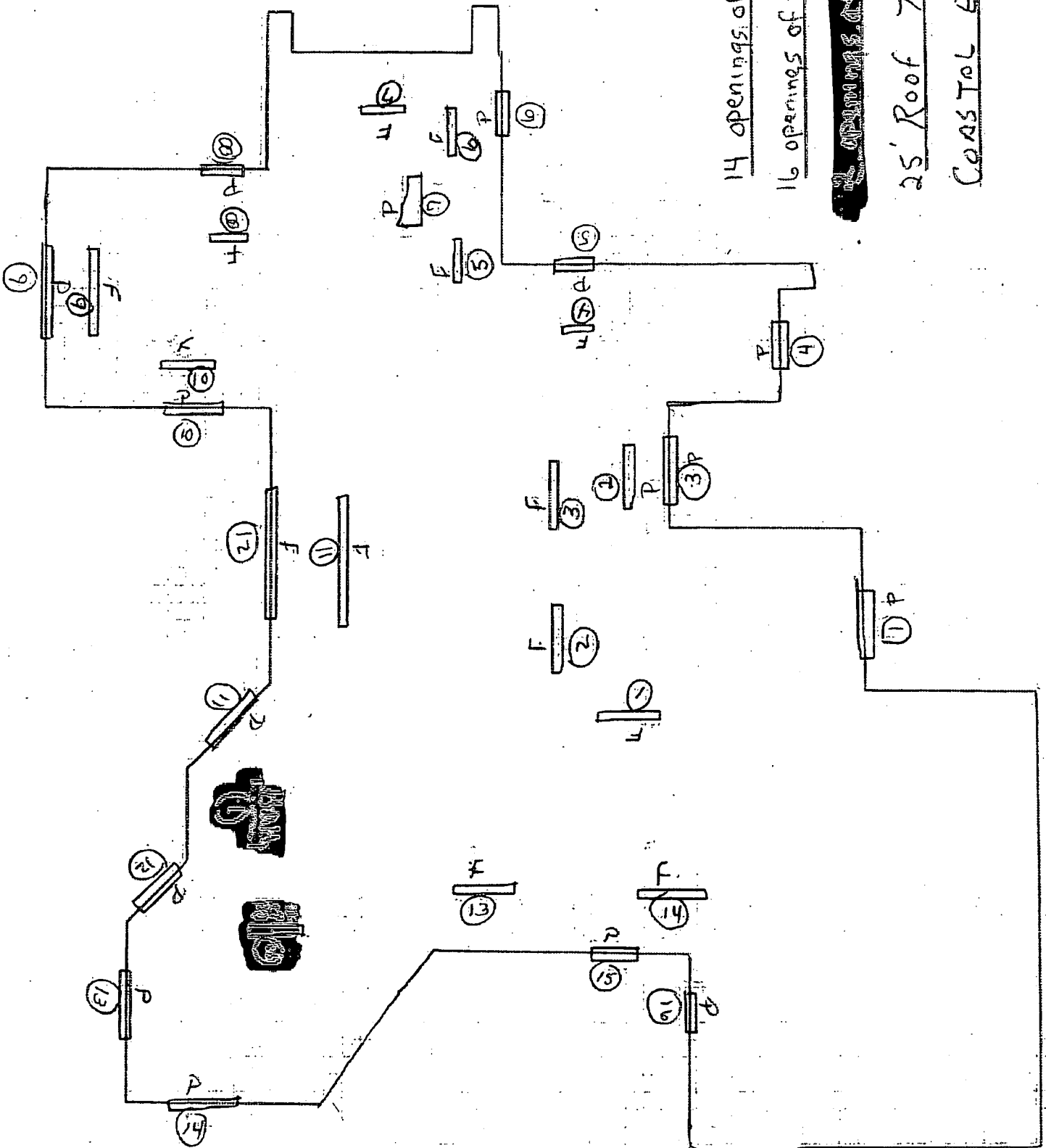
BY:

T.W.M

DATE:

7-7-04

LAYOUT



14 openings of Folding

16 openings of Panels

25' ROOF 710°

25' Roof 710°

CONSTANT EXP C

FOLDING SHUTTER CORP. ENGINEERING LAYOUT SHEET

CUSTOMER NAME

SWEET

WORK ORDER NO.

05192004019N0401

SHEET

OF

BY:

1 Wm

DATE:

7-7-04

1

1

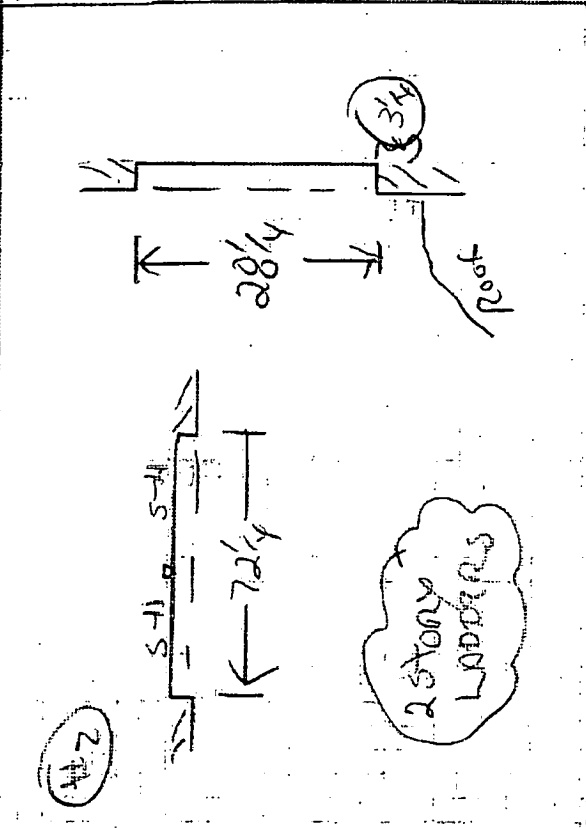
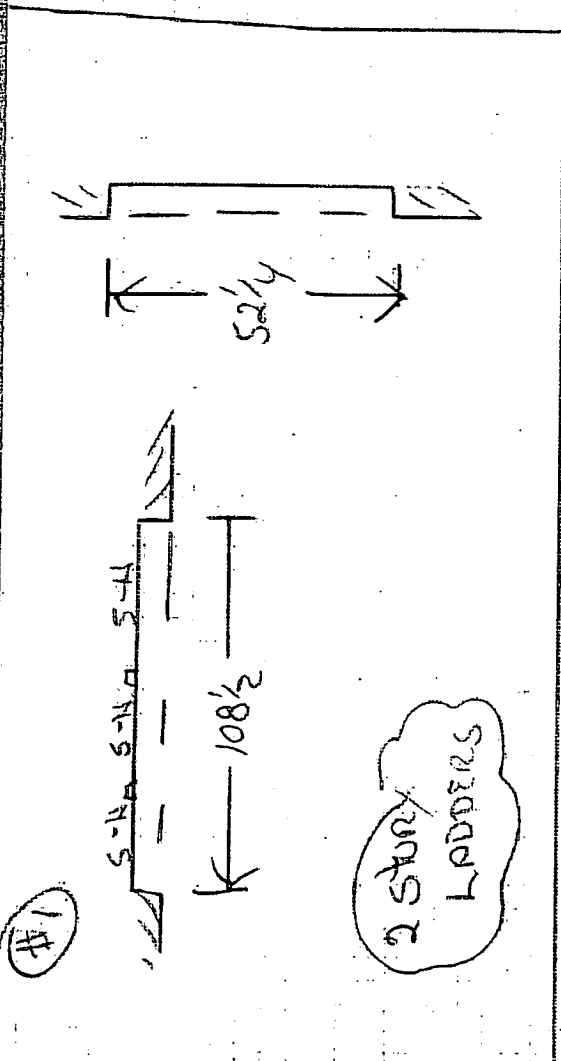
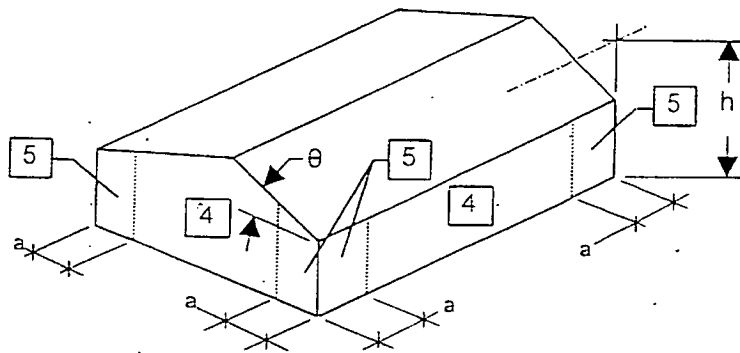


TABLE 3.41
WIND LOADS FOR WALL COMPONENTS & CLADDING
PER ASCE 7-98
*** (ROOF HEIGHTS LESS THAN 90 FT.)**

3- SECOND GUST WIND SPEED: 140 MPH
 TRIBUTARY AREA: 10 SQ. FT. OR LESS
 IMPORTANCE FACTOR ("I"): 1.00

MEAN ROOF HEIGHT (FT.)	EXPOSURE "B"						EXPOSURE "C"					
	ROOF SLOPE $\geq 10^\circ$			ROOF SLOPE $< 10^\circ$			ROOF SLOPE $\geq 10^\circ$			ROOF SLOPE $< 10^\circ$		
	ZONE 4 & 5	ZONE 4	ZONE 5	ZONE 4 & 5	ZONE 4	ZONE 5	ZONE 4 & 5	ZONE 4	ZONE 5	ZONE 4 & 5	ZONE 4	ZONE 5
"H"	(+)	(-)	(-)	(+)	(-)	(-)	(+)	(-)	(-)	(+)	(-)	(-)
15	35.2	38.2	47.2	32.2	34.9	43.0	42.8	46.4	57.3	39.2	42.4	52.2
20	35.2	38.2	47.2	32.2	34.9	43.0	45.3	49.1	60.6	41.5	44.9	55.3
25	35.2	38.2	47.2	32.2	34.9	43.0	47.3	51.3	63.3	43.3	46.9	57.7
30	35.2	38.2	47.2	32.2	34.9	43.0	49.3	53.5	66.0	45.1	48.9	60.2
35	36.7	39.9	49.2	33.6	36.4	44.8	50.8	55.1	68.1	46.5	50.4	62.0
40	38.2	41.5	51.2	35.0	37.9	46.7	52.3	56.8	70.1	47.9	51.9	63.9
45	39.5	42.9	52.9	36.2	39.2	48.2	53.6	58.1	71.8	49.1	53.1	65.4
50	40.8	44.2	54.6	37.3	40.4	49.7	54.9	59.5	73.5	50.2	54.4	66.9
55	41.8	45.3	55.9	38.2	41.4	51.0	55.9	60.6	74.8	51.1	55.4	68.2
60	42.8	46.4	57.3	39.2	42.4	52.2	56.9	61.7	76.1	52.0	56.4	69.4
* 65	43.8	47.5	58.6	40.1	43.4	53.4	57.9	62.8	77.5	53.0	57.4	70.6
* 70	44.8	48.6	60.0	41.0	44.4	54.7	58.9	63.9	78.8	53.9	58.4	71.9
* 75	45.8	49.7	61.3	41.9	45.4	55.9	59.9	65.0	80.2	54.8	59.4	73.1
* 80	46.8	50.8	62.7	42.8	46.4	57.1	60.9	66.1	81.5	55.7	60.4	74.3
* 85	47.6	51.6	63.7	43.5	47.2	58.0	61.6	66.9	82.5	56.4	61.1	75.2
* 89	48.0	52.1	64.3	43.9	47.6	58.6	62.1	67.4	83.2	56.8	61.6	75.8

NOTE: ALL DESIGN LOADS ARE IN POUNDS PER SQUARE FOOT (PSF)



NOTES:

1. PLUS & MINUS SIGNS SIGNIFY PRESSURES ACTING TOWARD & AWAY FROM SURFACES RESPECTFULLY.
2. $a = 10\%$ OF LEAST HORIZONTAL DIMENSION OR $0.4H$, WHICHEVER IS SMALLER, BUT NOT LESS THAN EITHER 4% OF LEAST HORIZONTAL DIMENSION OR 3 FT.
3. LOADS, POSITIVE & NEGATIVE, ARE TAKEN AT MEAN ROOF HEIGHT (h) & APPLY TO ALL FLOORS.
4. LOADS BETWEEN ELEVATIONS SHOWN IN TABLE MAY BE INTERPOLATED.
5. AT MEAN ROOF HEIGHT (h), $60 \text{ ft.} < h < 90 \text{ ft.}$, PRESSURES HAVE BEEN DETERMINED USING THE SAME METHOD AS FOR 60 FT. & LESS PER ASCE 7-98 SECTION 6.5.12.4.3. THESE PRESSURES ARE ONLY APPLICABLE IF THE HEIGHT TO WIDTH RATIO IS 1 OR LESS (IF THE HEIGHT IS NO MORE THAN 1 TIMES THE MINIMUM BUILDING WIDTH).
6. TABLE VALUES DO NOT CONSIDER EFFECTS FROM TOPOGRAPHIC CONDITIONS & FACTOR K_{zt} IS TAKEN AS 1.0 (FLAT GRADE). IF TOPOGRAPHIC CONDITIONS ARE NOT FLAT, THE VALUES IN THIS TABLE MUST BE MULTIPLIED BY THE PROPER K_{zt} FACTOR IN ACCORDANCE WITH ASCE 7-98 SECTION 6.5.7.
7. ALL VALUES IN THIS TABLE CONSIDER A WIND DIRECTIONALITY FACTOR (K_d) OF 0.85 PER ASCE 7-98 TABLE 6-6.



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**Folding Shutter Corporation
7089 Hemstreet Place
West Palm Beach, FL 33413**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Extruded Aluminum Bahama Shutter

APPROVAL DOCUMENT: Drawing No.1018, titled "Impact Bahama Shutter", sheets 1 through 10, prepared, signed and sealed by Warren W. Schaefer, P.E., dated November 22, 2000, bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 01-0216.03 and, consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Raul Rodriguez.



**NOA No 02-0226.07
Expiration Date: November 15, 2006
Approval Date: March 28, 2002
Page 1**

FOLDING SHUTTER CORP. ENGINEERING LAYOUT SHEET

CUSTOMER NAME

SWEET

WORK ORDER NO.

05192004019

SHEET OF

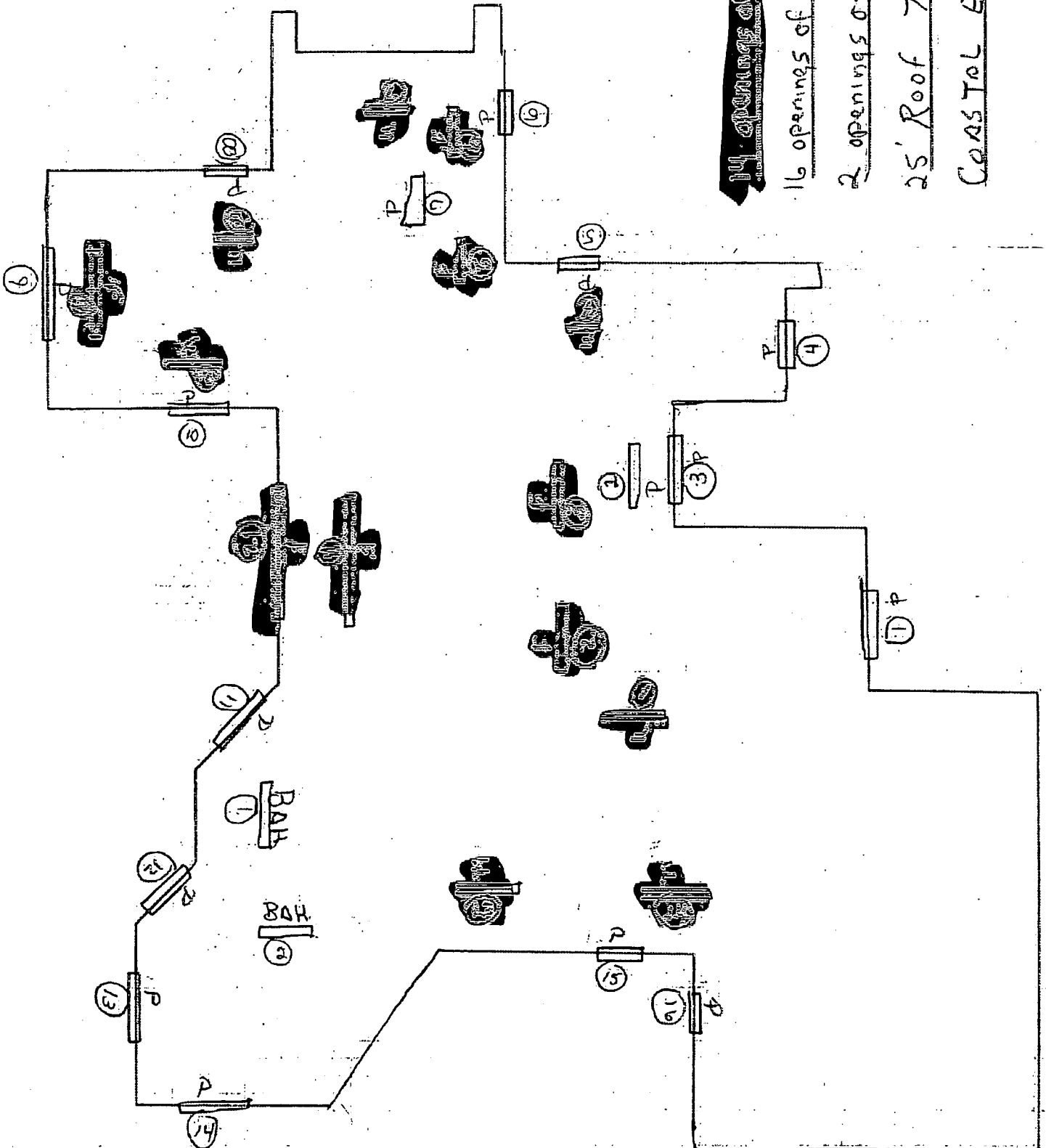
BY:

T.W.M

DATE:

7-7-04

LAYOUT



14 openings of Panels

16 openings of Panels

2 openings of BATHING

25' Roof 710°

COASTAL EXPC

FOLDING SHUTTER CORP. ENGINEERING LAYOUT SHEET

CUSTOMER NAME

WORK ORDER NO.

SHEET

OF

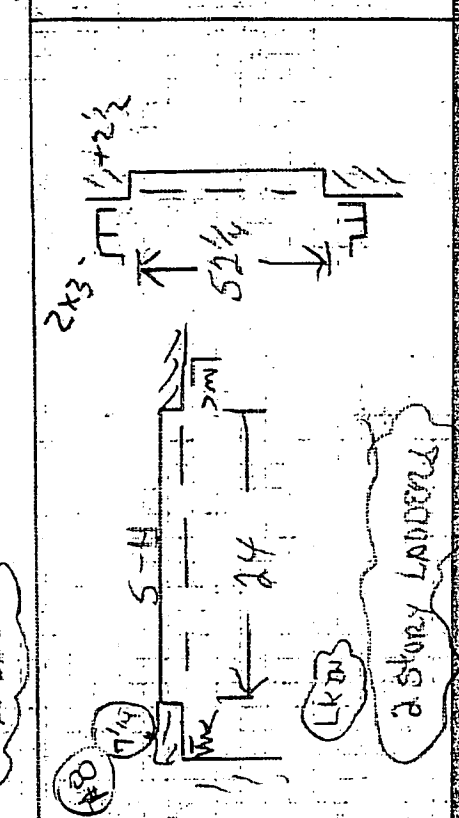
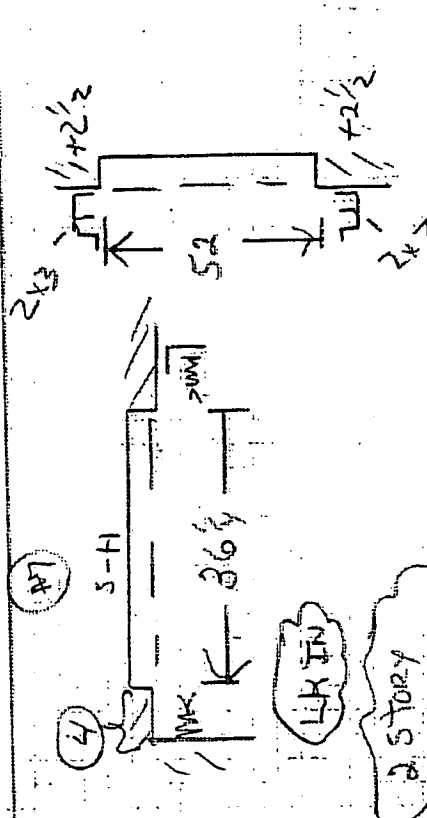
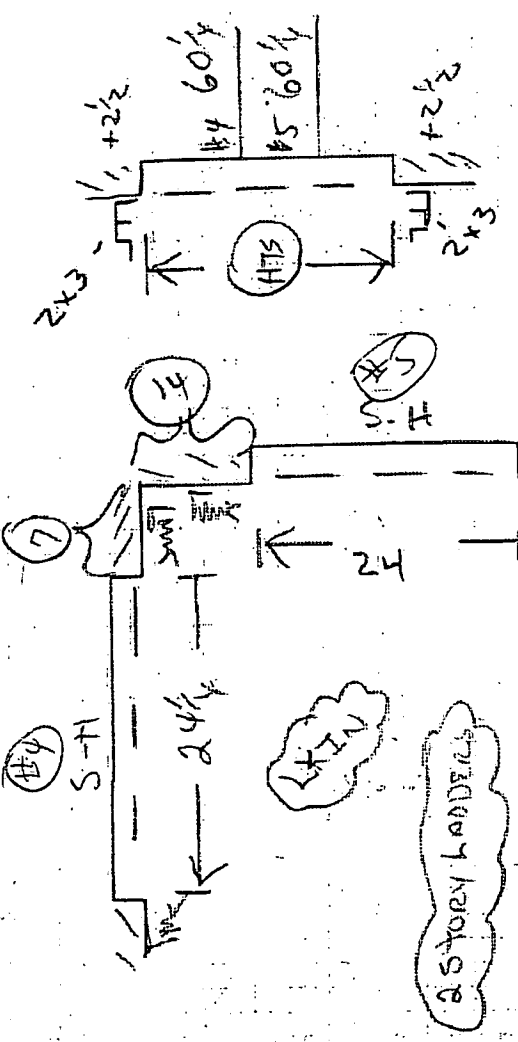
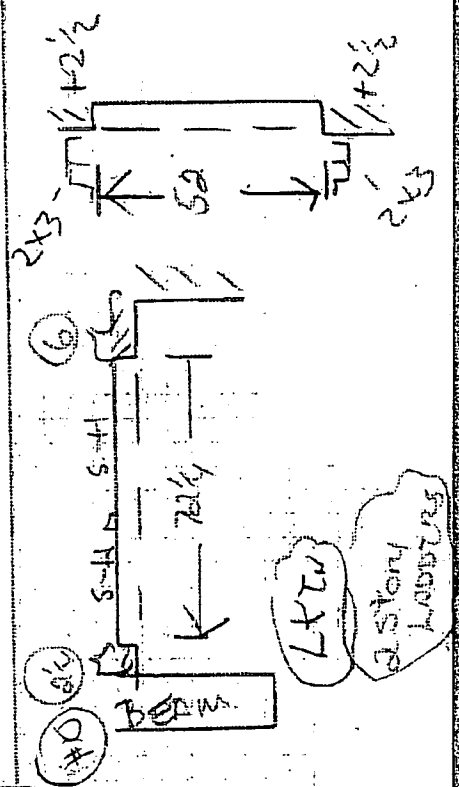
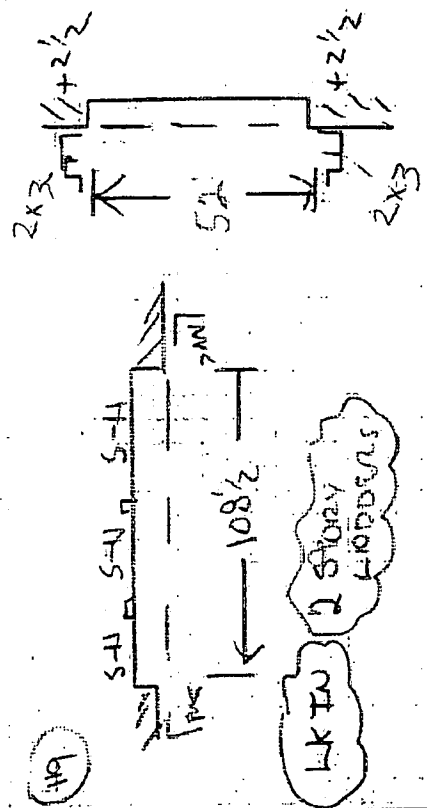
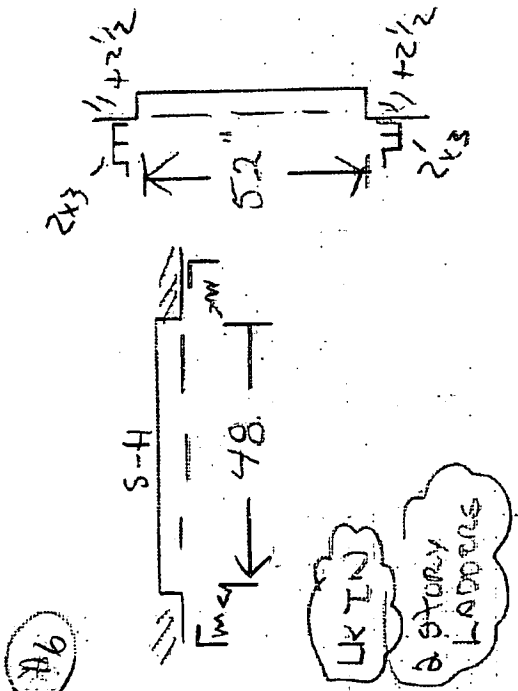
SWEET

BY: T.W.M

DATE: 7-7-04

1

3



FOLDING SHUTTER CORP. ENGINEERING LAYOUT SHEET

CUSTOMER NAME

Sweet

WORK ORDER NO.

0519200401910301

SHEET

OF

BY: T.W.M.

DATE: 7-7-04

2

3

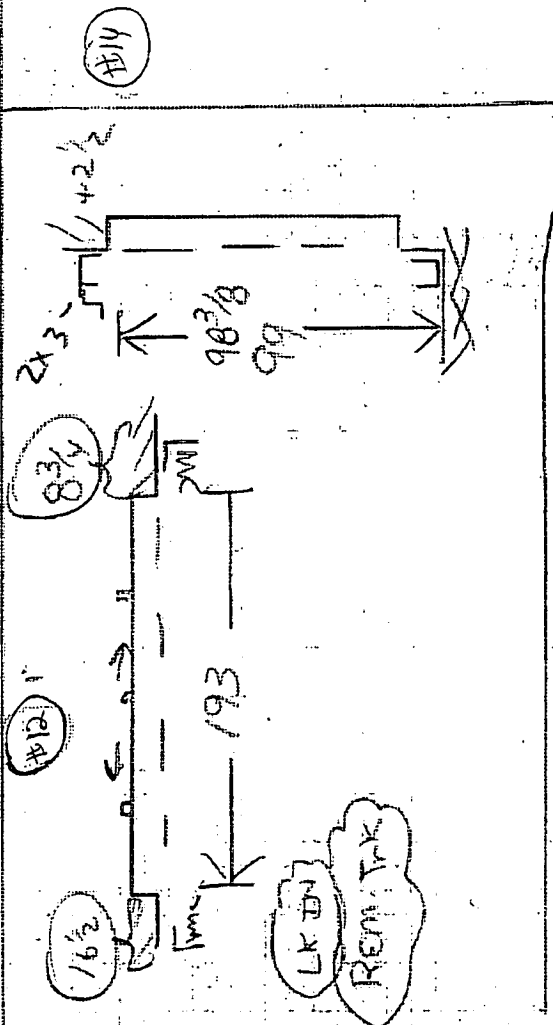
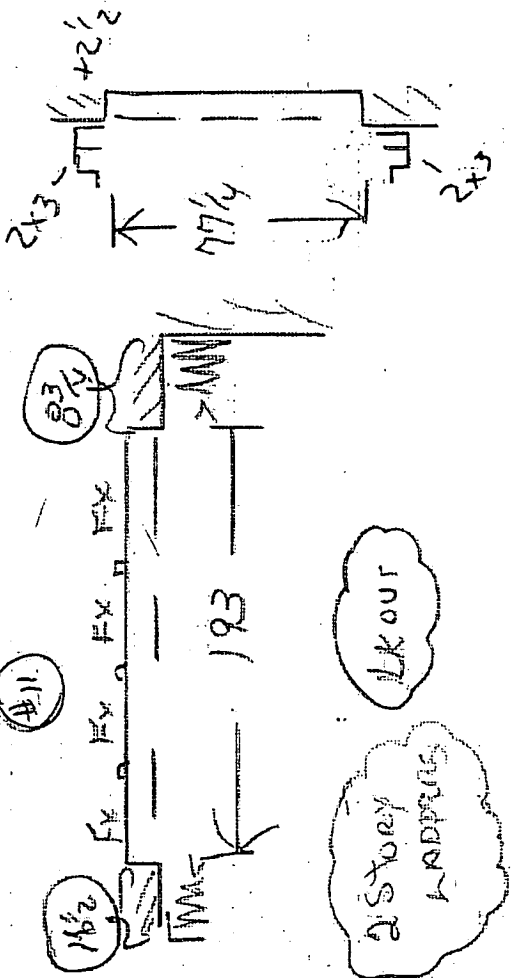
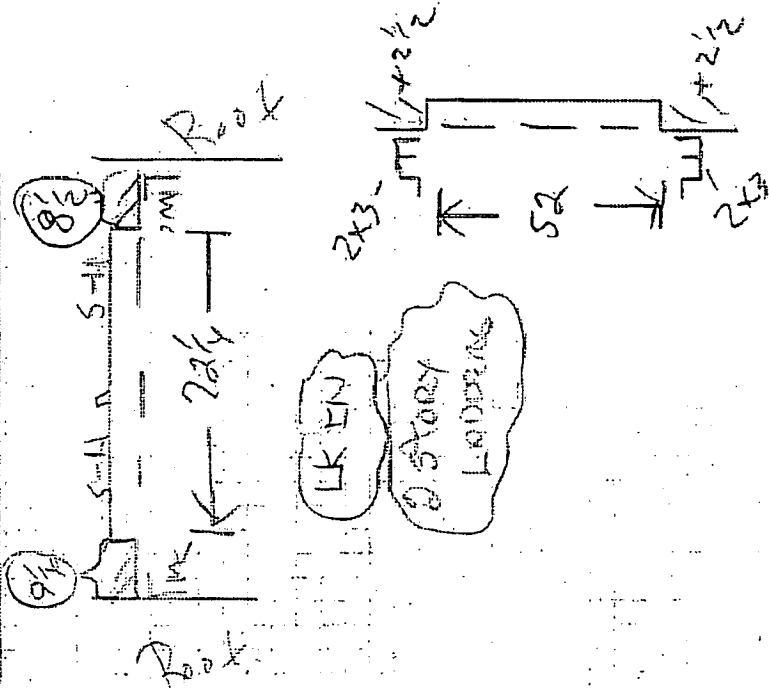
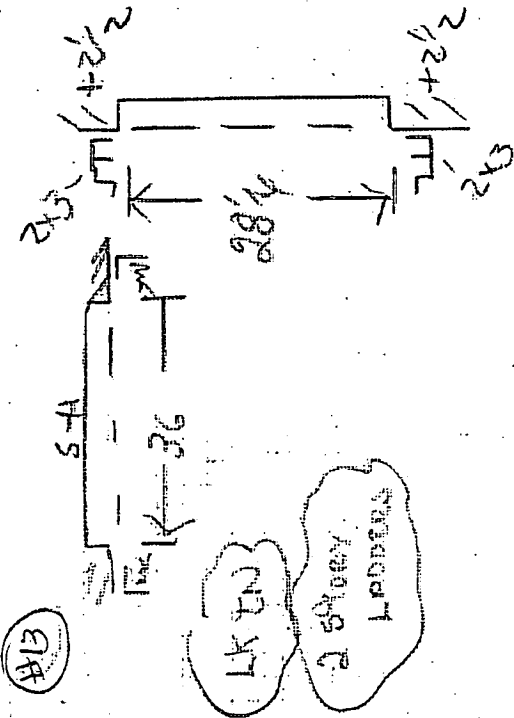
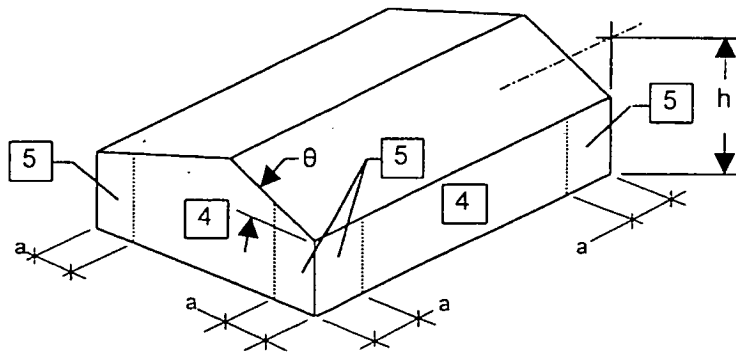


TABLE 3.41
WIND LOADS FOR WALL COMPONENTS & CLADDING
PER ASCE 7-98
*** (ROOF HEIGHTS LESS THAN 90 FT.)**

3- SECOND GUST WIND SPEED: 140 MPH
 TRIBUTARY AREA: 10 SQ. FT. OR LESS
 IMPORTANCE FACTOR ("I"): 1.00

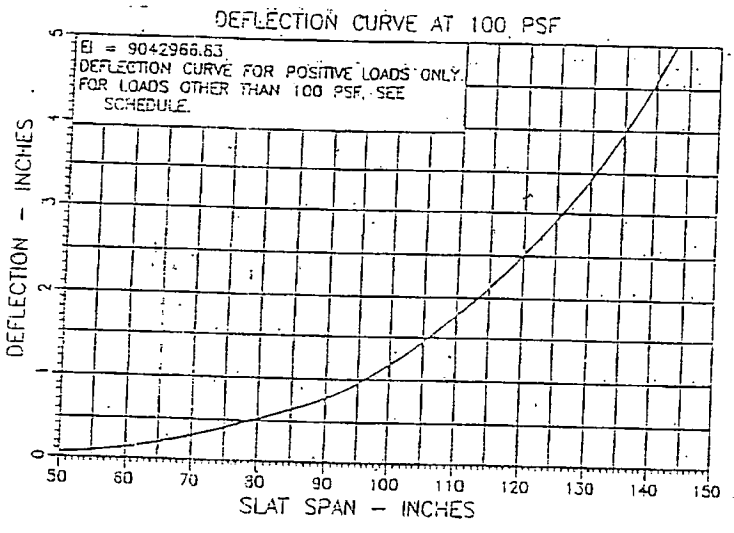
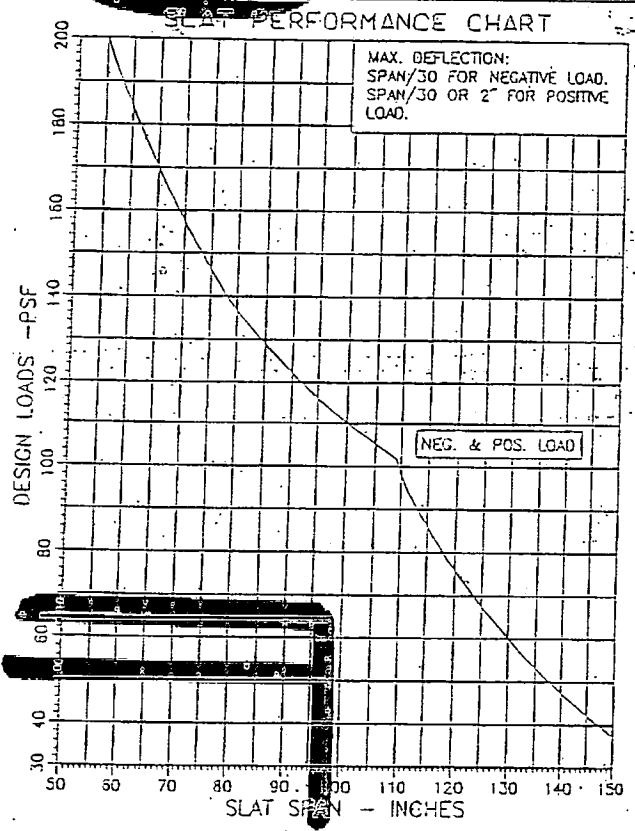
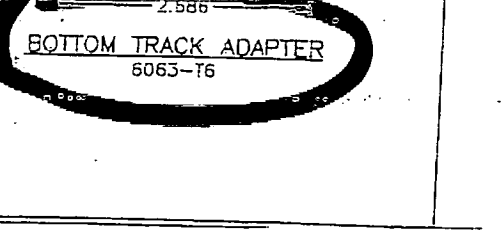
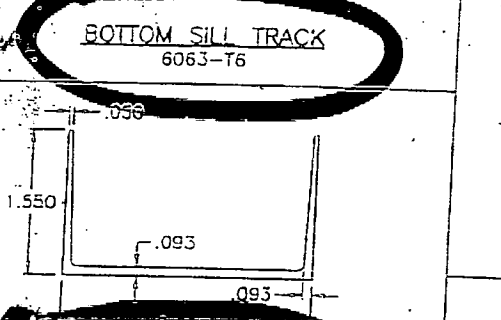
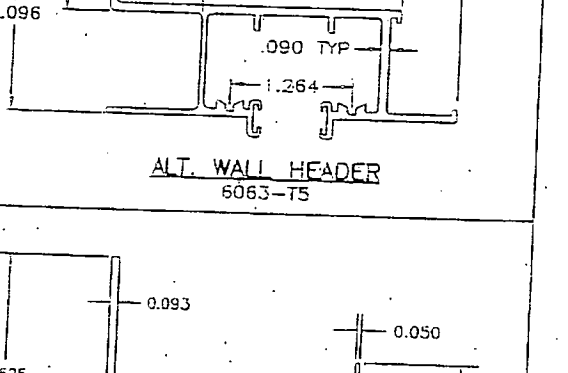
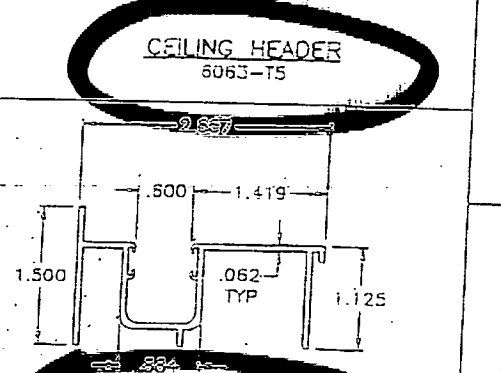
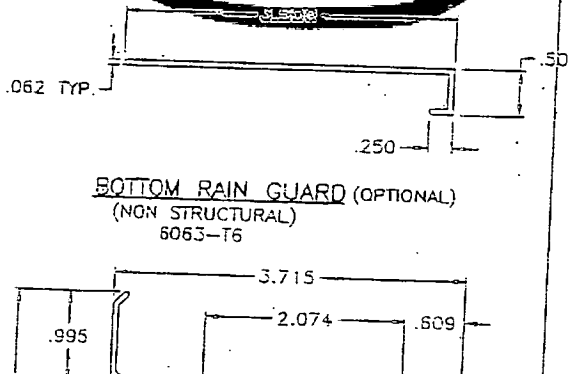
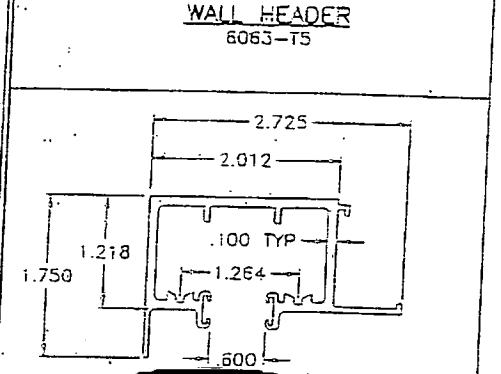
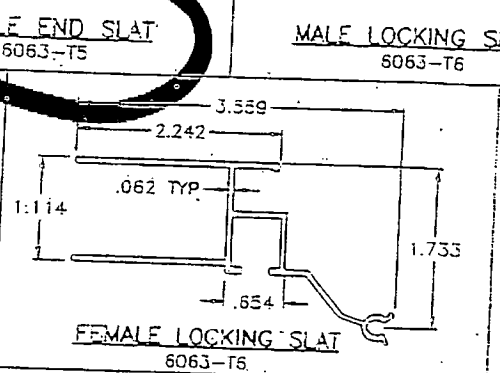
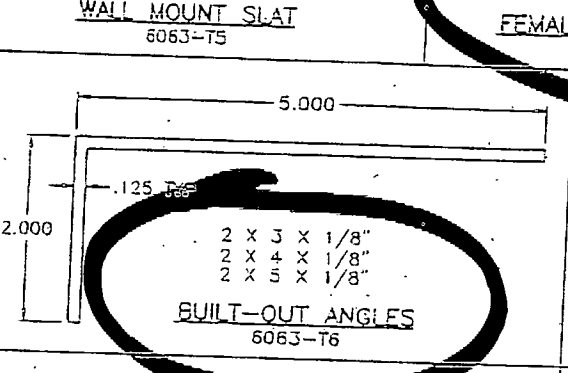
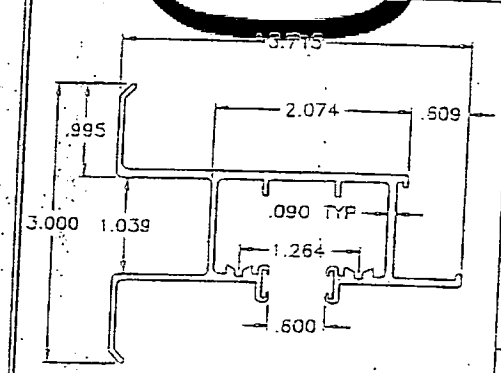
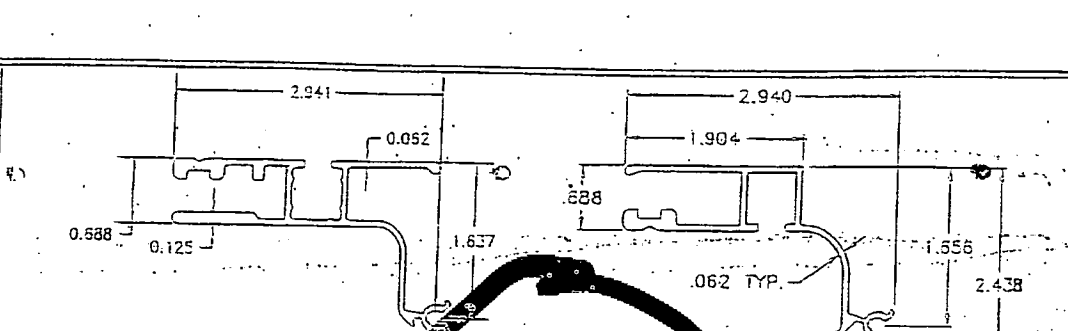
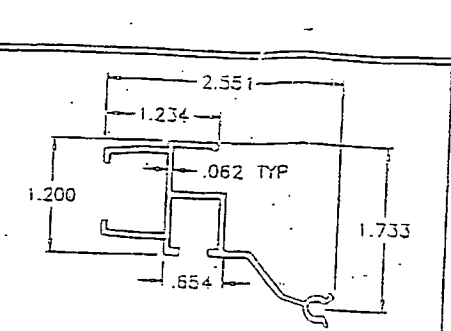
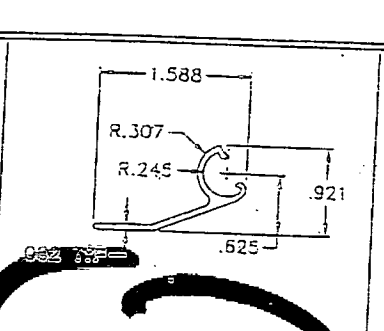
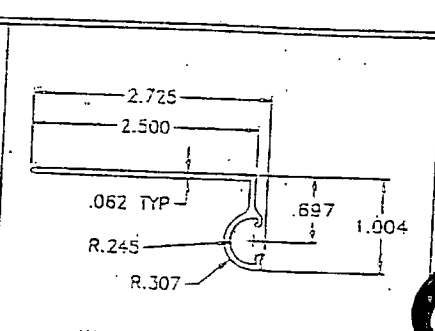
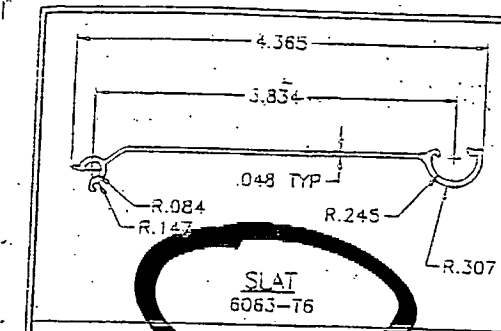
MEAN ROOF HEIGHT (FT.)	EXPOSURE "B"						EXPOSURE "C"					
	ROOF SLOPE $\geq 10^\circ$			ROOF SLOPE $< 10^\circ$			ROOF SLOPE $\geq 10^\circ$			ROOF SLOPE $< 10^\circ$		
	ZONE 4 & 5	ZONE 4	ZONE 5	ZONE 4 & 5	ZONE 4	ZONE 5	ZONE 4 & 5	ZONE 4	ZONE 5	ZONE 4 & 5	ZONE 4	ZONE 5
"H"	(+)	(-)	(-)	(+)	(-)	(-)	(+)	(-)	(-)	(+)	(-)	(-)
15	35.2	38.2	47.2	32.2	34.9	43.0	42.8	46.4	57.3	39.2	42.4	52.2
20	35.2	38.2	47.2	32.2	34.9	43.0	45.3	49.1	60.6	41.5	44.9	55.3
25	35.2	38.2	47.2	32.2	34.9	43.0	47.3	51.3	63.3	43.3	46.9	57.7
30	35.2	38.2	47.2	32.2	34.9	43.0	49.3	53.5	66.0	45.1	48.9	60.2
35	36.7	39.9	49.2	33.6	36.4	44.8	50.8	55.1	68.1	46.5	50.4	62.0
40	38.2	41.5	51.2	35.0	37.9	46.7	52.3	56.8	70.1	47.9	51.9	63.9
45	39.5	42.9	52.9	36.2	39.2	48.2	53.6	58.1	71.8	49.1	53.1	65.4
50	40.8	44.2	54.6	37.3	40.4	49.7	54.9	59.5	73.5	50.2	54.4	66.9
55	41.8	45.3	55.9	38.2	41.4	51.0	55.9	60.6	74.8	51.1	55.4	68.2
60	42.8	46.4	57.3	39.2	42.4	52.2	56.9	61.7	76.1	52.0	56.4	69.4
* 65	43.8	47.5	58.6	40.1	43.4	53.4	57.9	62.8	77.5	53.0	57.4	70.6
* 70	44.8	48.6	60.0	41.0	44.4	54.7	58.9	63.9	78.8	53.9	58.4	71.9
* 75	45.8	49.7	61.3	41.9	45.4	55.9	59.9	65.0	80.2	54.8	59.4	73.1
* 80	46.8	50.8	62.7	42.8	46.4	57.1	60.9	66.1	81.5	55.7	60.4	74.3
* 85	47.6	51.6	63.7	43.5	47.2	58.0	61.6	66.9	82.5	56.4	61.1	75.2
* 89	48.0	52.1	64.3	43.9	47.6	58.6	62.1	67.4	83.2	56.8	61.6	75.8

NOTE: ALL DESIGN LOADS ARE IN POUNDS PER SQUARE FOOT (PSF)



NOTES:

1. PLUS & MINUS SIGNS SIGNIFY PRESSURES ACTING TOWARD & AWAY FROM SURFACES RESPECTFULLY.
2. $a = 10\%$ OF LEAST HORIZONTAL DIMENSION OR $0.4H$, WHICHEVER IS SMALLER, BUT NOT LESS THAN EITHER 4% OF LEAST HORIZONTAL DIMENSION OR 3 FT.
3. LOADS, POSITIVE & NEGATIVE, ARE TAKEN AT MEAN ROOF HEIGHT (h) & APPLY TO ALL FLOORS.
4. LOADS BETWEEN ELEVATIONS SHOWN IN TABLE MAY BE INTERPOLATED.
- * 5. AT MEAN ROOF HEIGHT (h), $60 \text{ ft.} < h < 90 \text{ ft.}$, PRESSURES HAVE BEEN DETERMINED USING THE SAME METHOD AS FOR 60 ft. & LESS PER ASCE 7-98 SECTION 6.5.12.4.3. THESE PRESSURES ARE ONLY APPLICABLE IF THE HEIGHT TO WIDTH RATIO IS 1 OR LESS (IF THE HEIGHT IS NO MORE THAN 1 TIMES THE MINIMUM BUILDING WIDTH).
6. TABLE VALUES DO NOT CONSIDER EFFECTS FROM TOPOGRAPHIC CONDITIONS & FACTOR K_{zt} IS TAKEN AS 1.0 (FLAT GRADE). IF TOPOGRAPHIC CONDITIONS ARE NOT FLAT, THE VALUES IN THIS TABLE MUST BE MULTIPLIED BY THE PROPER K_{zt} FACTOR IN ACCORDANCE WITH ASCE 7-98 SECTION 6.5.7.
7. ALL VALUES IN THIS TABLE CONSIDER A WIND DIRECTIONALITY FACTOR (K_d) OF 0.85 PER ASCE 7-98 TABLE 6-6.



GENERAL NOTES

- THIS STRUCTURE IS DESIGNED AS PER THE FLORIDA BUILDING CODE (F.B.C.).
- DESIGN CRITERIA FOR ALUMINUM, MINIMUM MECHANICAL PROPERTIES AND SAFETY FACTORS ARE IN ACCORDANCE WITH THE "ALUMINUM CONSTRUCTION MANUAL" LATEST EDITION.
- ALL EXTRUSIONS SHALL BE ALLOYS AS SHOWN ON DETAILS.
- STEEL SURFACES TO BE PLACED IN CONTACT WITH ALUMINUM SHALL BE GIVEN ONE COAT OF ZINC CHROMATE PRIMER IN ACCORDANCE WITH FEDERAL SPEC. NO. TTP-645, OR BE GALVANIZED.
- ANCHORS SHALL BE AS LISTED, SPACED AS SHOWN ON DETAILS. ANCHOR EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR STUCCO.
- ALL BOLTS, NUTS AND WASHERS SHALL BE STAINLESS STEEL OR ALUMINUM ALLOY 2024-T4 OR 7075-T6.
- DESIGN CRITERIA FOR SLATS: MAX DEFLECTION $\leq L/30$ FOR NEGATIVE PRESSURE AND THE LESSER OF $L/30$ OR 2" FOR POSITIVE PRESSURE.
- ANCHORING OR LOADING CONDITIONS OTHER THAN THOSE SHOWN IN THESE DETAILS ARE NOT PART OF THIS APPROVAL.

USE SLAT PERFORMANCE CHART TO VERIFY SLAT CAPACITY FOR THE REQUIRED DESIGN LOAD FOR THE PARTICULAR LOCATION. USE SPAN DEFLECTION CHART TO CALCULATE SEPARATION FROM GLASS.

MINIMUM SEPARATION FROM GLASS	
SEPARATION RECD. DUE TO WIND LOAD	SEPARATION RECD. DUE TO LARGE MISSILE IMPACT
SHUTTER SPAN = H = _____ IN.	SLAT SPAN UPTO SEPARATION
DESIGN LOAD = Pd = _____ PSF	96-1/2" - 2-1/4"
FACTOR = K = Pd/100 = _____ IN.	147" - 3-1/4"
READING FROM SPAN-D CURVE = 0" IN.	
DEFLECTION AT Pd = K*D = _____ IN.	
MIN. SEPARATION RECD. = K*D + 1" = _____ IN.	

FOR INSTALLATIONS UPTO 30' OF GRADE USE MAXIMUM OF WIND LOAD OR IMPACT LOAD REQUIREMENTS SHOWN ABOVE
 FOR INSTALLATIONS ABOVE 30' OF GRADE IGNORE LARGE MISSILE IMPACT REQUIREMENT.
 NOTE: NO PART OF SHUTTER SHALL BE UNDER 30' ABOVE GRADE TO WAIVE LARGE MISSILE IMPACT REQUIREMENT.

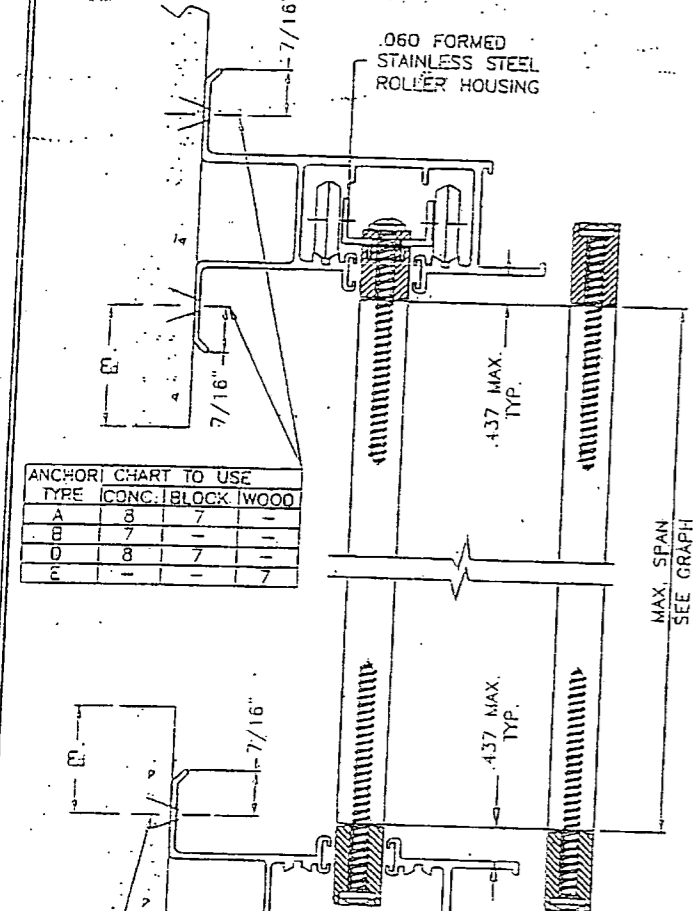
PRODUCT MARKING

A LABEL SHALL BE AFFIXED ON LOCKING MEMBER OF UNIT ABOVE THE LOCK WITH FOLLOWING STATEMENT:
 FOLDING SHUTTER CORP. WEST PALM BEACH, FL
 "DADE COUNTY PRODUCT CONTROL APPROVED"

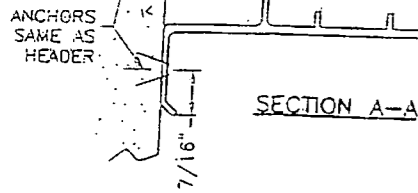
PRODUCT REVISED
 as complying with the Florida Building Code
 Acceptance No 02-1224-03
 Expiration Date 04/09/2006
 By *Warren W. Schaefer*
 Miami Dade Product Control

DRAWN BY: W.W.S.	CHECKED BY: W.W.S.
PLOT: 1=1	DATE: 10/03/02
NO.	REVISION DESCRIPTION
DRAWING TITLE: TITAN II FOLDING SHUTTER	
MANUFACTURER: FOLDING SHUTTER CORP. 7089 HEMSTREET PLACE WEST PALM BEACH, FL 33406 561-683-4811	
CONSULTANTS: W. W. SCHAEFER ENGINEERING & CONSULTING, P.A. 600 SANDREE DRIVE, SUITE 203B PALM BEACH GARDENS, FL 33403 PHONE: 561-775-1902 FAX: 561-775-4903	
CERTIFICATION: JUN 05 2004 <i>Warren W. Schaefer</i> WARREN W. SCHAEFER, P.E. P.E. NO. 14135	DRAWING NO. REV. 1173

WALL MOUNTS

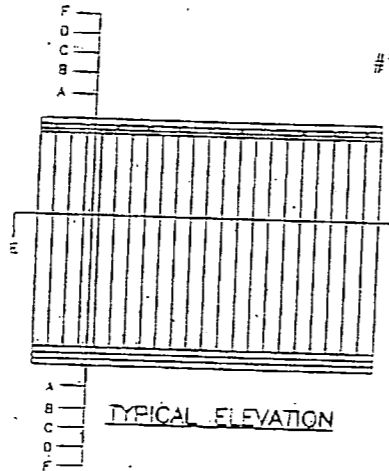
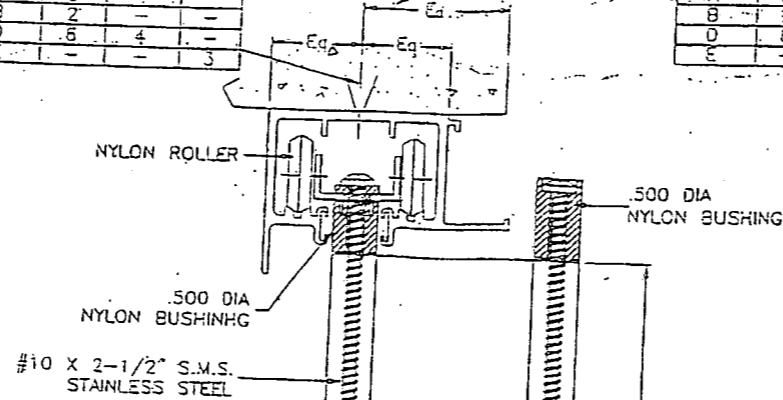


ANCHOR CHART TO USE			
TYPE	CONC.	BLOCK	WOOD
A	8	7	-
B	7	-	-
D	8	7	-
E	-	-	7

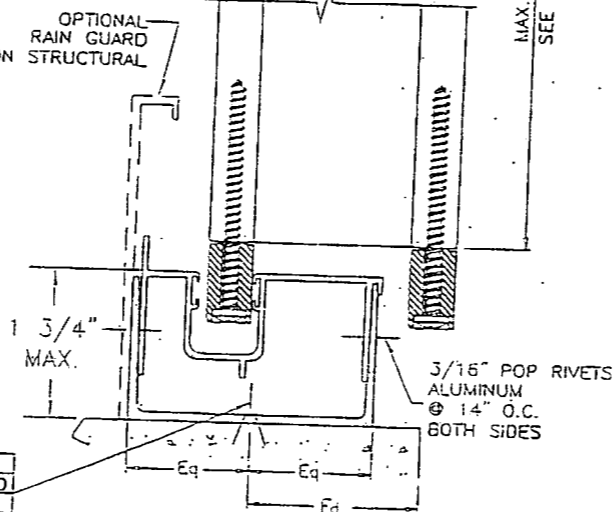


INSIDE MOUNTS

ANCHOR CHART TO USE			
TYPE	CONC.	BLOCK	WOOD
A	6	4	-
B	2	-	-
D	6	4	-
E	-	-	3



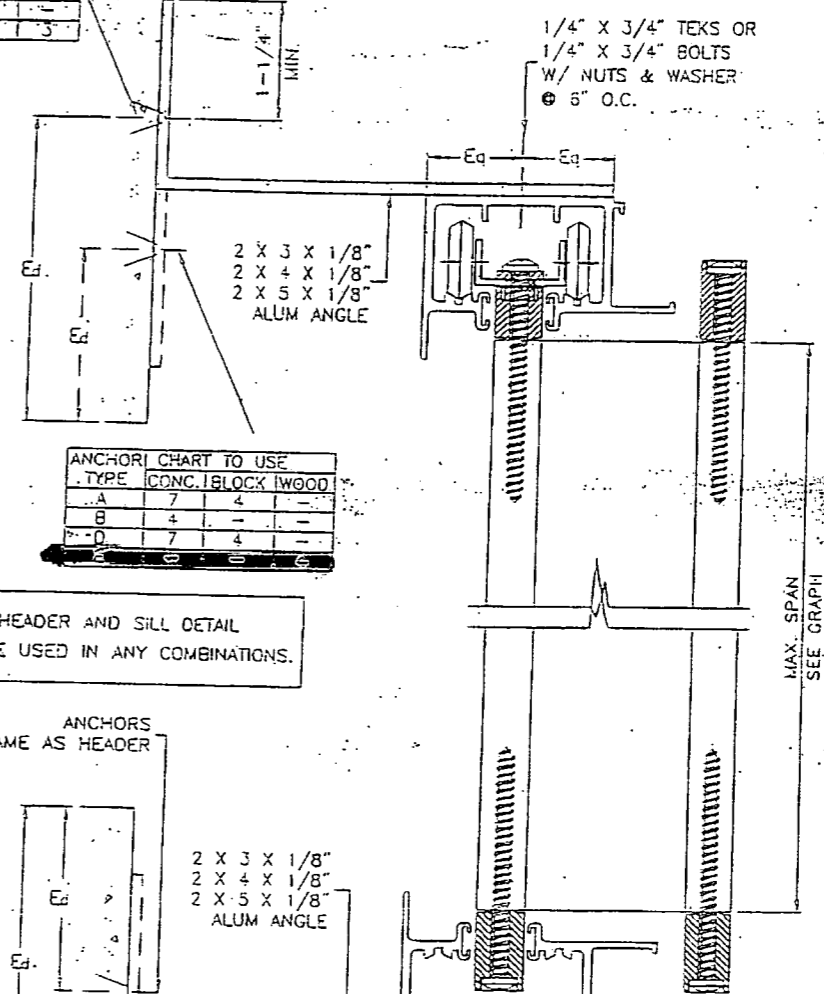
ANCHOR CHART TO USE			
TYPE	CONC.	BLOCK	WOOD
A	7	5	-
B	3	-	-
D	7	5	-
E	-	-	4



SECTION B-B
SEE ALTERNATE SECTIONS B-B FOR ALTERNATE TRACK ADAPTER

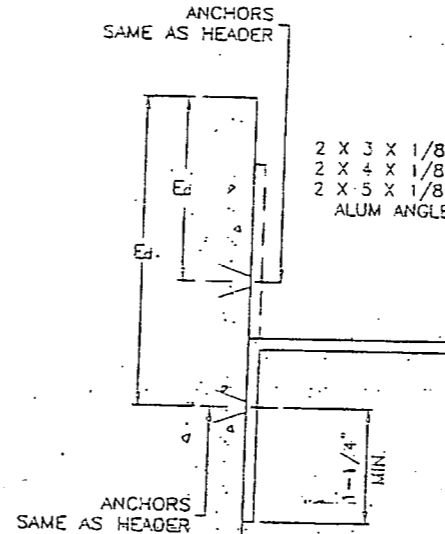
ANCHOR CHART TO USE			
TYPE	CONC.	BLOCK	WOOD
A	6	3	-
B	2	-	-
D	6	3	-
E	-	-	3

BUILT-OUT CONDITION



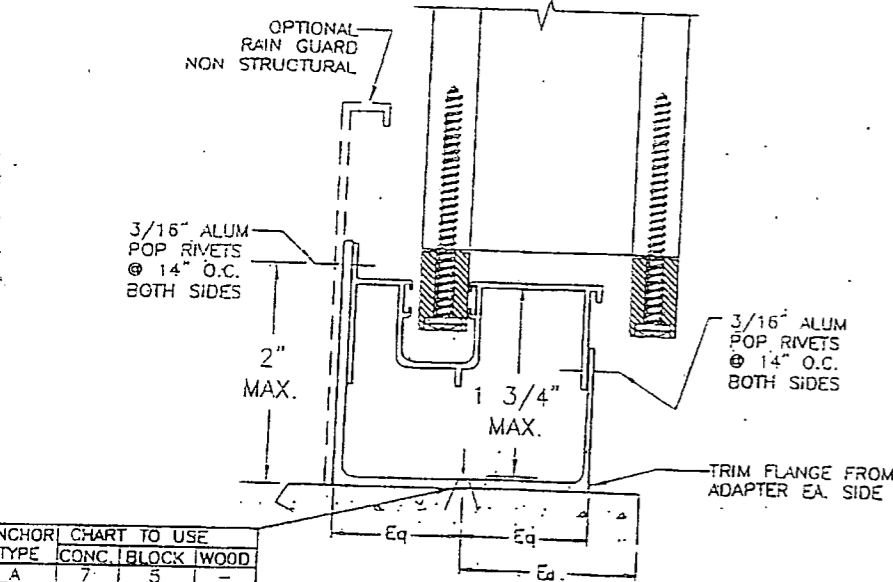
NOTE: HEADER AND SILL DETAIL CAN BE USED IN ANY COMBINATIONS.

ANCHOR CHART TO USE			
TYPE	CONC.	BLOCK	WOOD
A	7	4	-
B	4	-	-
D	7	4	-
E	-	-	6



SECTION C-C

1/4" X 3/4" TEKS OR
1/4" X 3/4" BOLTS
W/ NUTS & WASHER
@ 6" O.C.

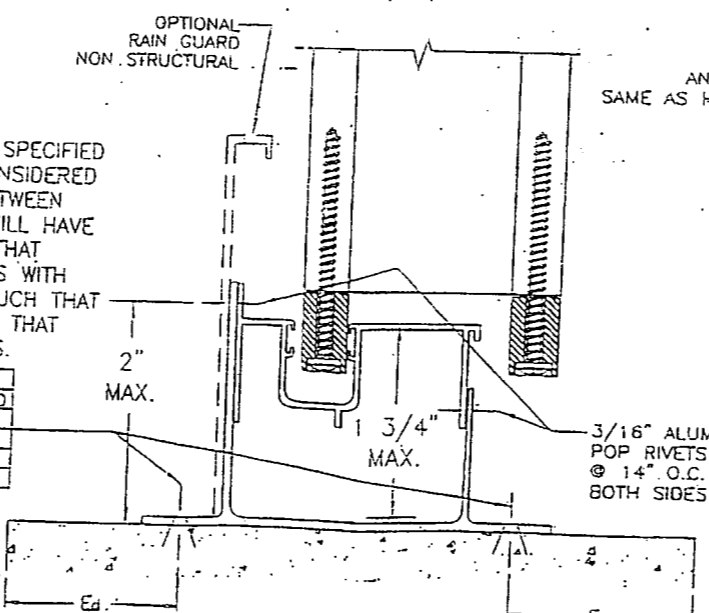


SECTION B-B
ALTERNATE BOTTOM TRACK ADAPTER
WITHOUT FLANGES
(SAME AS WITH FLANGES EXCEPT WITHOUT FLANGES)

ANCHOR CHART TO USE			
TYPE	CONC.	BLOCK	WOOD
A	7	5	-
B	3	-	-
D	7	5	-
E	-	-	4

NOTE: ANCHOR SPACING SPECIFIED IN CHARTS IS TO BE CONSIDERED AS OVERALL SPACING BETWEEN ANCHORS. EACH ROW WILL HAVE A SPACING OF 2 TIMES THAT SPECIFIED IN THE CHARTS WITH EACH ROW STAGGERED SUCH THAT THE OVERALL SPACING IS THAT SPECIFIED IN THE CHARTS.

ANCHOR CHART TO USE			
TYPE	CONC.	BLOCK	WOOD
A	7	5	-
B	3	-	-
D	7	5	-
E	-	-	4



SECTION B-B
ALTERNATE BOTTOM TRACK ADAPTER
WITH FLANGES

FOR GENERAL NOTES AND EXTRUSION DETAILS SEE SHEET 1 OF 5.
FOR WOOD INSTALLATIONS SEE SHEET 4 OF 5.
FOR ANCHOR CHARTS SEE SHEET 5 OF 5.

Ed = TYPICAL EDGE DISTANCE
CONC. & BLOCK = 12d (12 ANCHOR DIAMETERS)
WOOD = 5d
FOR LESSER EDGE DISTANCES SEE SHEET 5 OF 5.

ANCHORS: EMBEDMENT & EDGE DISTANCES SHOWN ARE BEYOND THE WALL & FLOOR COVERING (STUCCO, TILES, ETC.)

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No. 02-1224-03
Expiration Date 01/09/2006

By *Helmut A. Miller*
Miami Dade Product Control
Division

DRAWN BY: W.W.S.	CHECKED BY: W.W.S.
PLT: 1-1	DATE: 10/03/02
DATE	BY
REVISION DESCRIPTION	
NO.	

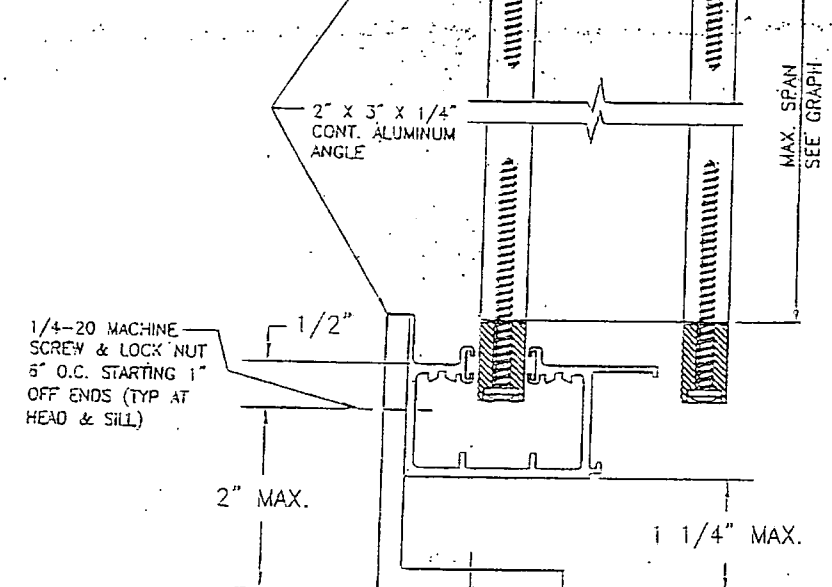
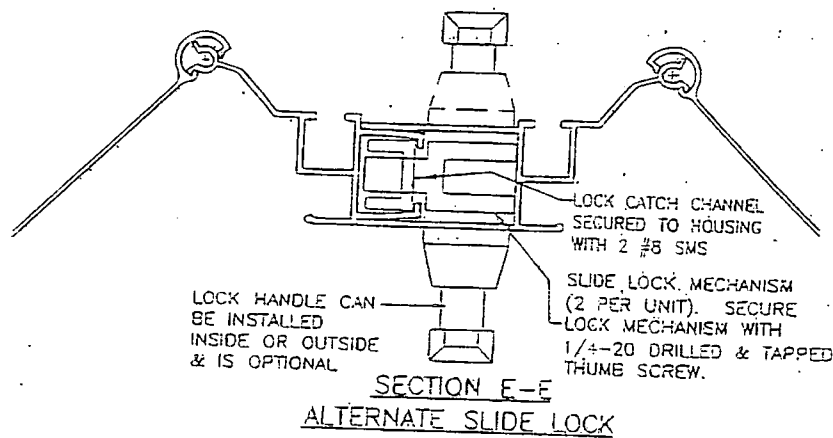
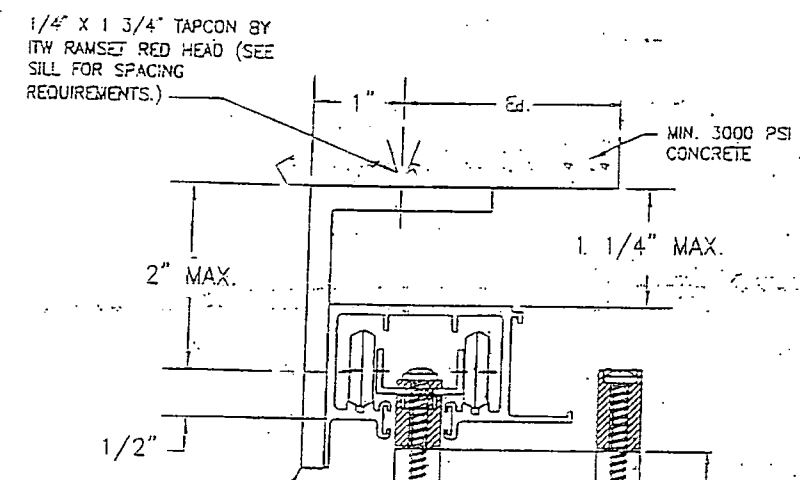
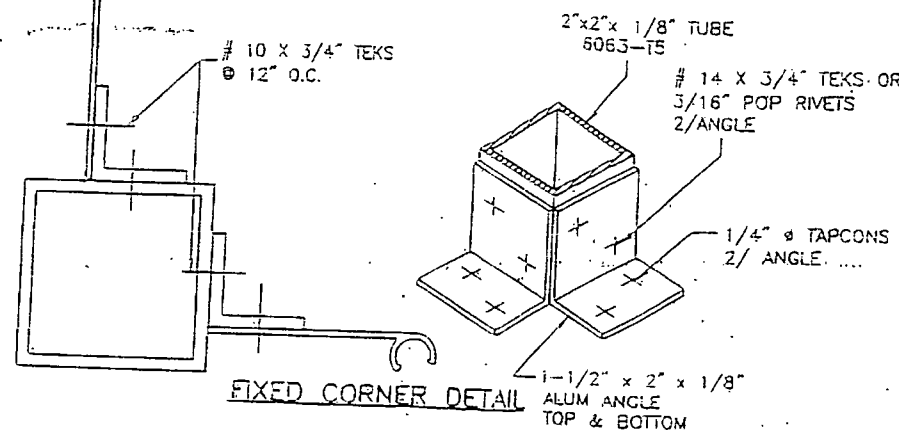
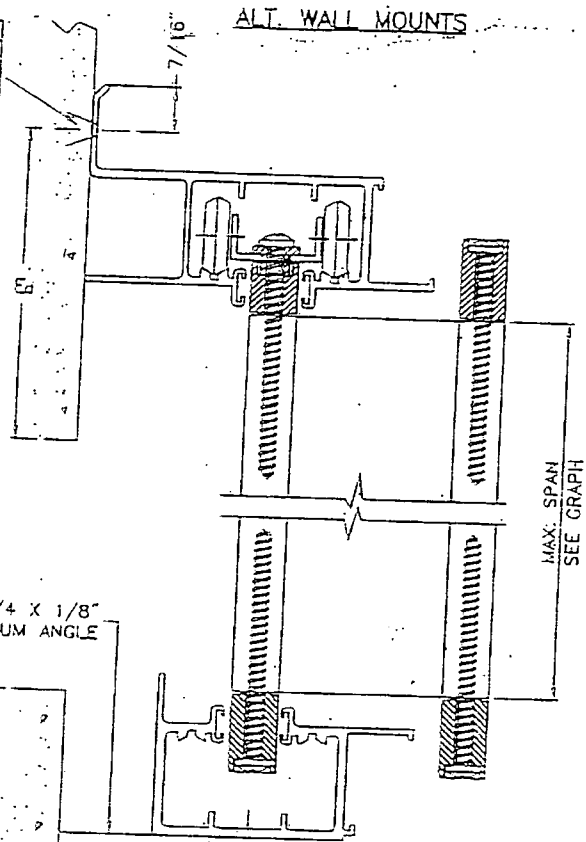
TITAN II FOLDING SHUTTER
MANUFACTURER
FOLDING SHUTTER CORP.
7089 HEMSTREET PLACE
WEST PALM BEACH, FL 33406
561-683-4811

CONSULTANTS
W. W. SCHAEFER ENGINEERING
& CONSULTING, P.A.
600 SANDTREE DRIVE, SUITE 203B
PALM BEACH GARDENS, FL 33403
PHONE: 561-775-4802 FAX: 561-775-1903

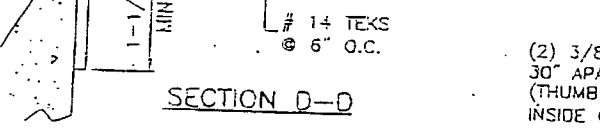
CERTIFICATION
JUN 05 2003
WARREN W. SCHAEFER, P.E.
P.E. NO. 44135

DRAWING NO. 1173	REV.
---------------------	------

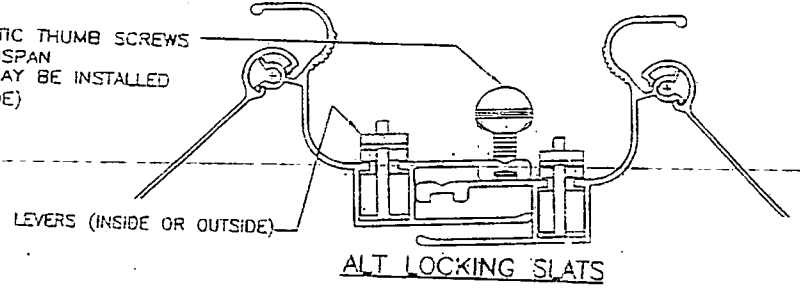
ANCHOR CHART TO USE			
TYPE	CONC.	BLOCK	WOOD
A	2	1	-
B	1	-	-
D	3	1	-
E	-	-	1



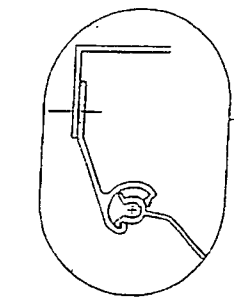
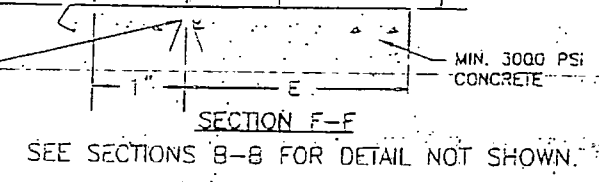
ANCHOR CHART TO USE			
TYPE	CONC.	BLOCK	WOOD
A	3	2	-
B	2	-	-
D	5	2	-
E	-	-	2



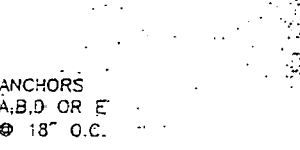
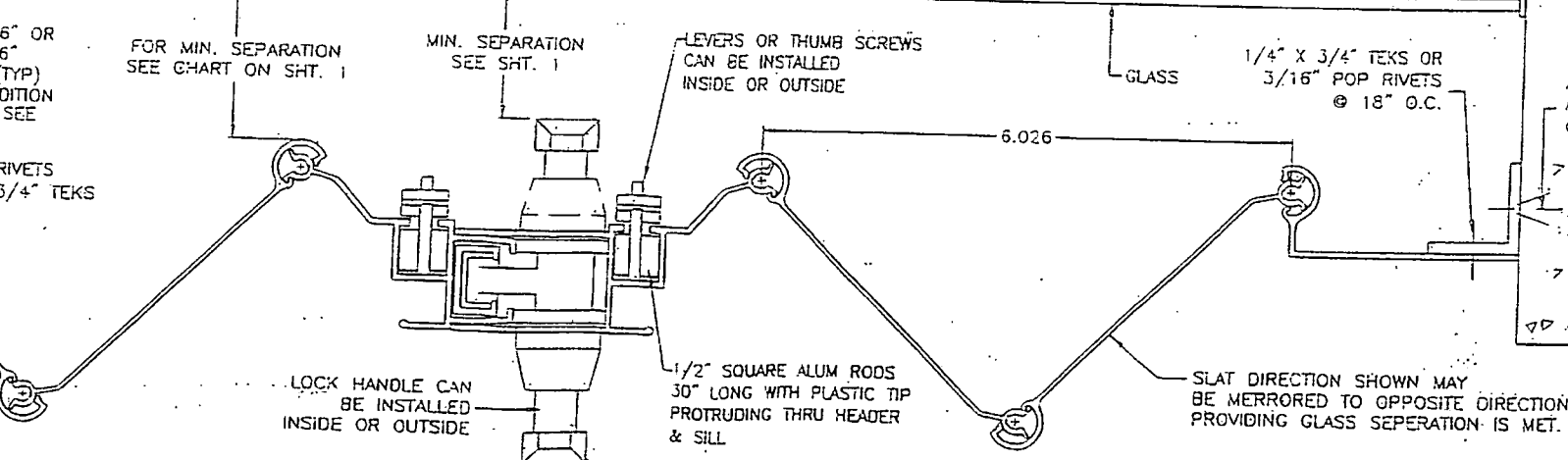
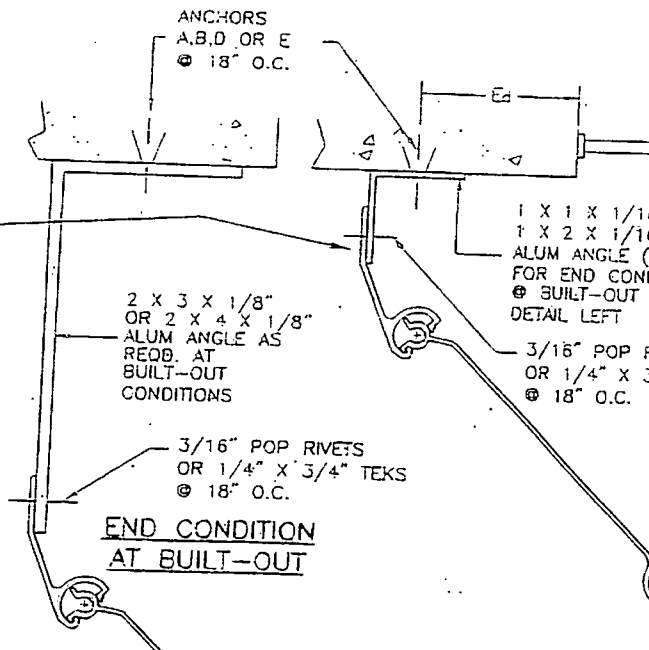
(2) 3/8" Ø PLASTIC THUMB SCREWS 30" APART @ MIDSPAN (THUMB SCREW MAY BE INSTALLED INSIDE OR OUTSIDE)



1/4" X 1 3/4" TAPCON BY ITW RAMSET RED HEAD		
MAX. SHUTTER HEIGHT	REQUIRED POS/NEG PRESSURE	MAX. ANCHOR SPACING
99.5"	110 PSF	3"
99.5"	55 PSF	6"
99.5"	37 PSF	9"



OPTION TO PLACE ANGLE OUTSIDE OF END SLAT



PRODUCT REVISED as complying with the Florida Building Code Acceptance No 02-1224-03 Expiration Date 04/09/2006

By *Heidi A. Miller* Miami Dade Product Control.

DRAWN BY: W.W.S.	CHECKED BY: W.W.S.
PLOT: 1-1	DATE: 10/03/02
NO.	REVISION DESCRIPTION

TITAN II FOLDING SHUTTER
 MANUFACTURER
 FOLDING SHUTTER CORP.
 7089 HEMSTREET PLACE
 WEST PALM BEACH, FL 33406
 561-683-4811

CONSULTANTS
 W. W. SCHAEFER ENGINEERING & CONSULTING, P.A.
 600 SANDTREE DRIVE, SUITE 203B
 PALM BEACH GARDENS, FL 33403
 PHONE: 561-775-4902 FAX: 561-775-4903

CERTIFICATION JUN 05 2003	WARREN W. SCHAEFER, P.E. P.E. NO. 44135
DRAWING NO. 1173	REV.
SHEET NO.	

DRAWN BY:	W.W.S.	CHECKED BY:	W.W.S.
PLOT:	1-1	DATE:	10/03/02
NO.		REVISION DESCRIPTION	
BY			
DATE			

DRAWING TITLE: TITAN II FOLDING SHUTTER

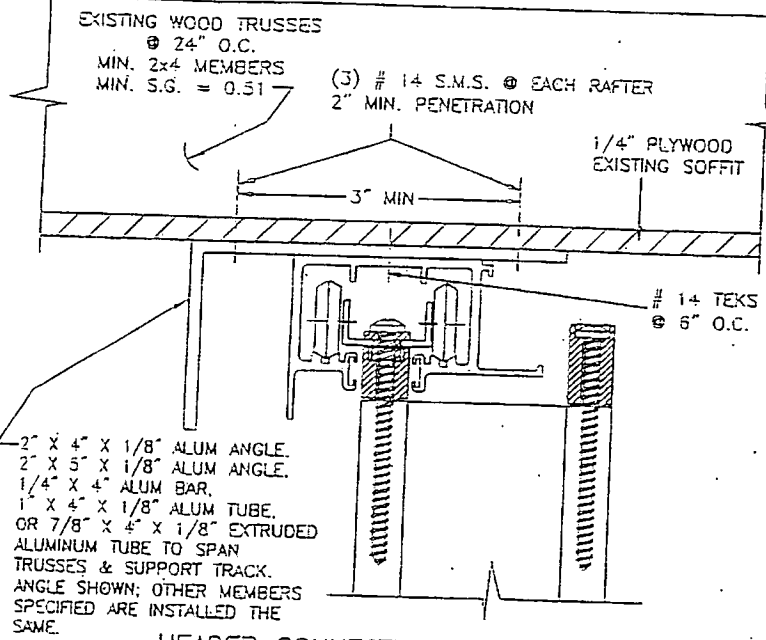
MANUFACTURER: FOLDING SHUTTER CORP.
7089 HEMSTREET PLACE
WEST PALM BEACH, FL 33406
561-683-4811

CONSULTANTS: W. W. SCHAEFER ENGINEERING & CONSULTING, P.A.
600 SANDTREE DRIVE, SUITE 203B
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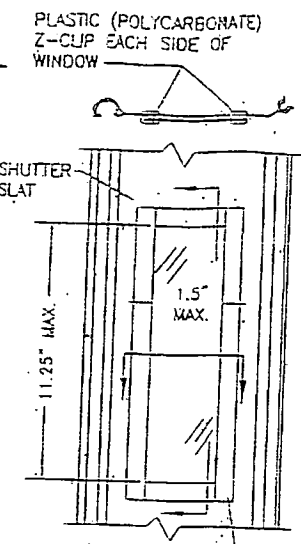
CERTIFICATION: JUN 05 2003

WARREN W. SCHAEFER, P.E.
P.E. NO. 44135

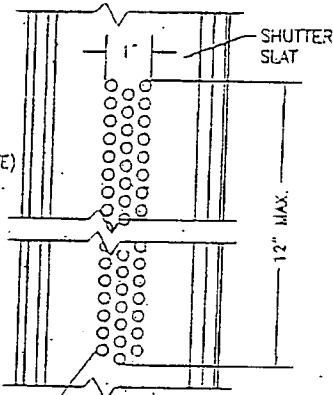
DRAWING NO. 1173
REV. SHEET NO.



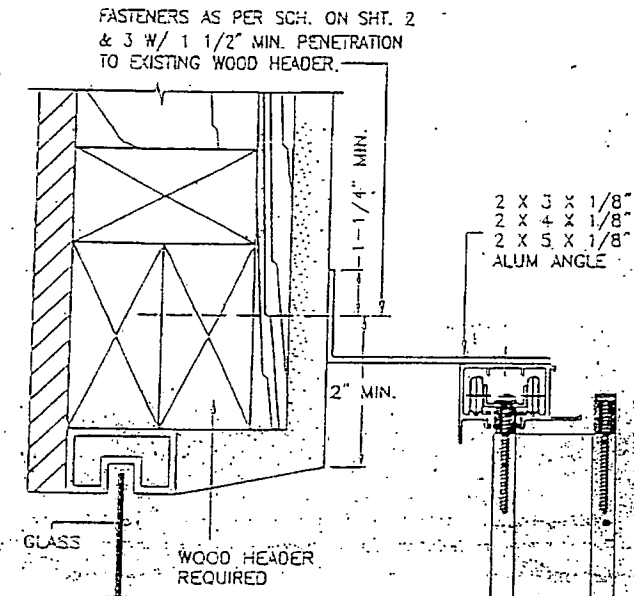
HEADER CONNECTION TO WOOD TRUSSES
FOR SHUTTER HEIGHT OF 108" MAX. DESIGN LOAD = 65 PSF
FOR SHUTTER HEIGHT OF 96" MAX. DESIGN LOAD = 73 PSF



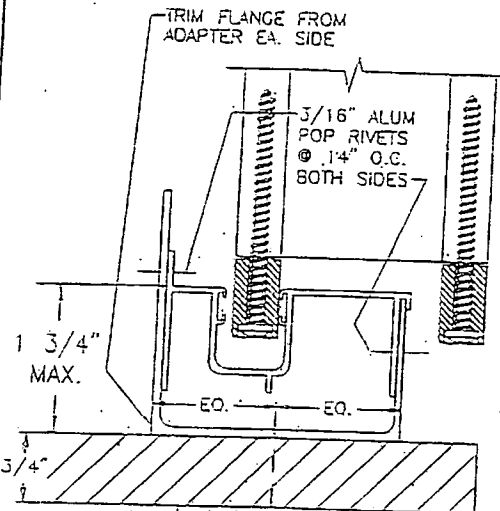
TO BE USED ONLY WITH SHUTTERS THAT ARE POSITIONED MIN. 30 FT. ABOVE ESTABLISHED GRADE.
2 WINDOWS MAY BE IN ONE SLAT SPACED MIN. 24" APART (MAX. EVERY 10 SLATS)



(APPLICABLE AT ALL ELEVATIONS)
2 WINDOWS MAY BE IN ONE SLAT SPACED MIN. 24" APART (MAX. EVERY 10 SLATS)

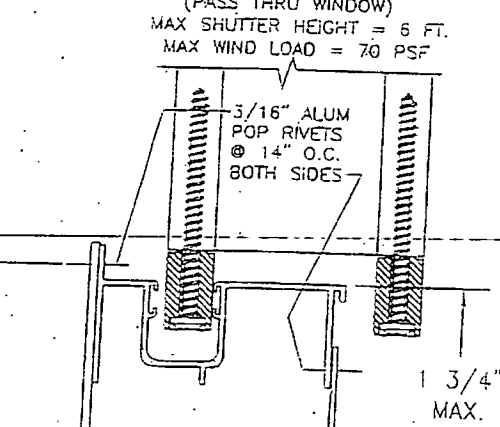


INSTALLATION DETAIL ON EXISTING WOOD BUCKS SCALE: 1/4"=1'
FOR SHUTTER HEIGHT OF 108" MAX. DESIGN LOAD = 46 PSF
FOR SHUTTER HEIGHT OF 96" MAX. DESIGN LOAD = 51 PSF
FOR HEADER/SILL DETAILS CONNECTED TO CONTINUOUS WOOD MEMBERS SEE SHEETS 2 & 3.



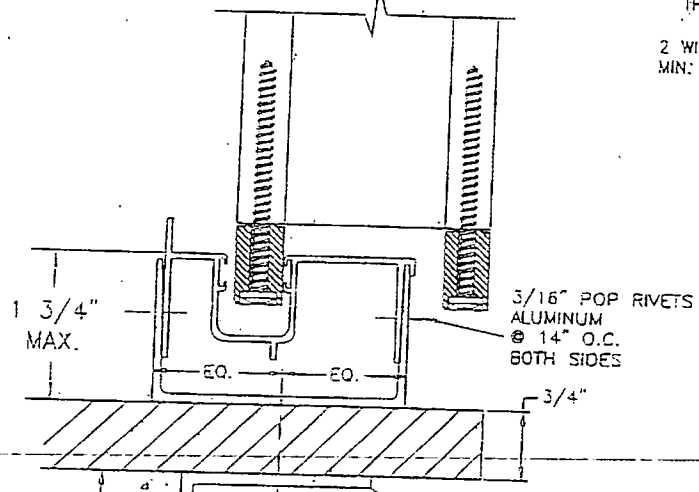
SEE STANDARD COUNTER TOP CONDITION FOR CONNECTION OF ANGLE TO WALL
1/4" THRU BOLT W/ WASHER & NUT @ 5" O.C.
2 x 3 x 1/8" ALUMINUM ANGLES
2 x 4 x 1/8"
2 x 5 x 1/8"

COUNTER TOP CONDITION WITH ALTERNATE BOTTOM TRACK ADAPTER WITHOUT FLANGES
(PASS THRU WINDOW)
MAX SHUTTER HEIGHT = 6 FT.
MAX WIND LOAD = 70 PSF



SEE STANDARD COUNTER TOP CONDITION FOR CONNECTION OF ANGLE TO WALL
1/4" THRU BOLT W/ WASHER & NUT @ 10" O.C. EACH SIDE STAGGERED.
3 x 5 x 1/8" OR LARGER ALUMINUM ANGLES OR BENT PLATE (3" LEG AT WALL)

COUNTER TOP CONDITION WITH ALTERNATE BOTTOM TRACK ADAPTER WITH FLANGES
(PASS THRU WINDOW)
MAX SHUTTER HEIGHT = 6 FT.
MAX WIND LOAD = 70 PSF

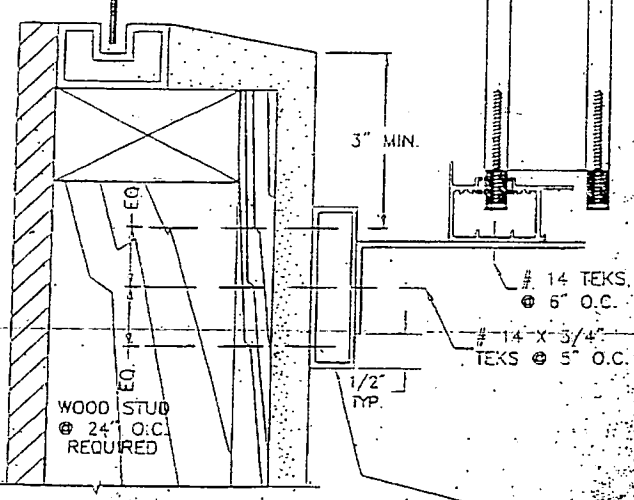
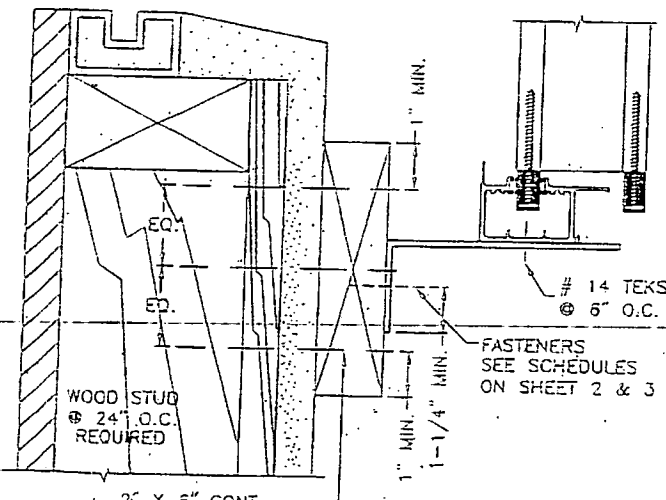


SEE STANDARD COUNTER TOP CONDITION FOR CONNECTION OF ANGLE TO WALL
1/4" THRU BOLT W/ WASHER & NUT @ 10" O.C. EACH SIDE STAGGERED.
3 x 5 x 1/8" OR LARGER ALUMINUM ANGLES OR BENT PLATE (3" LEG AT WALL)

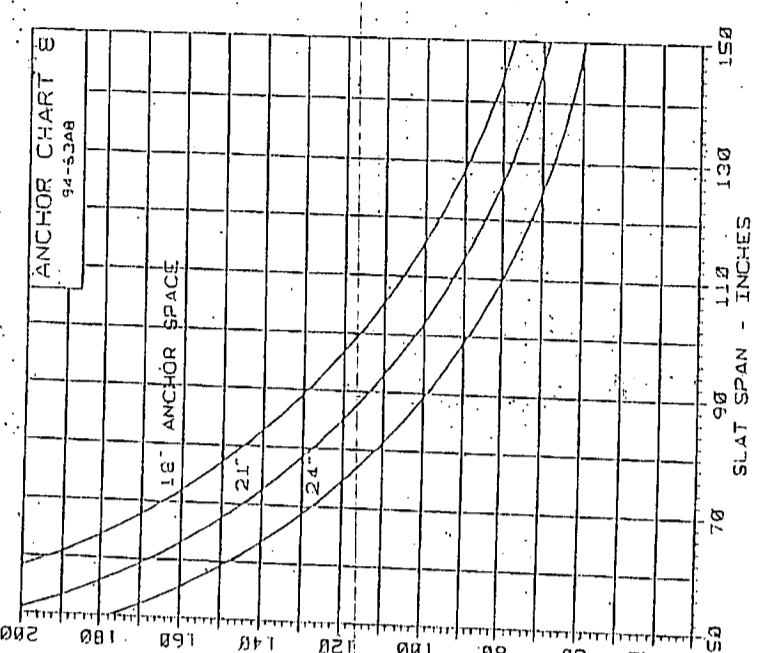
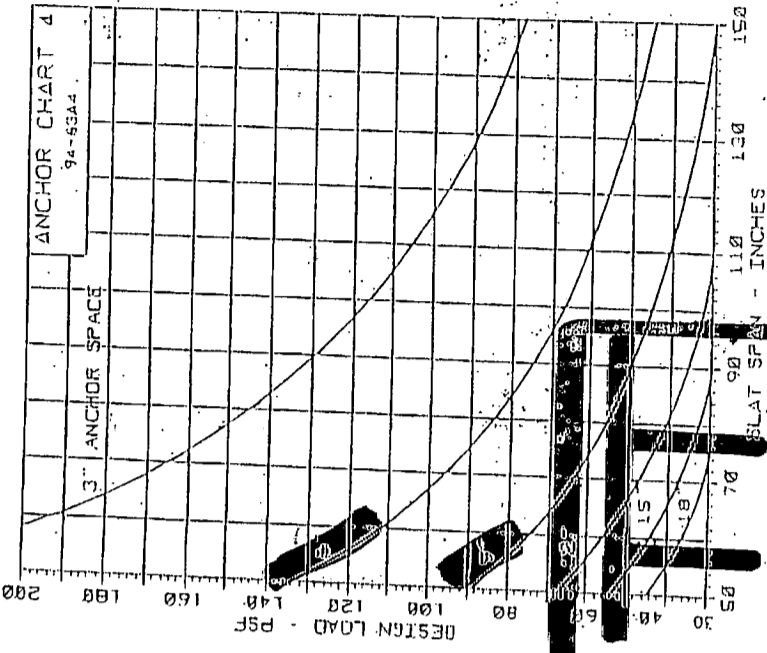
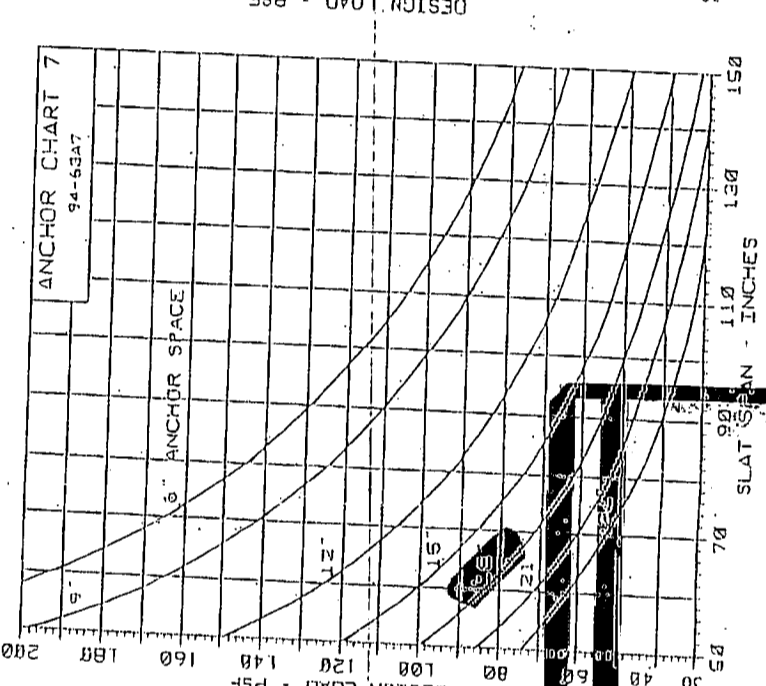
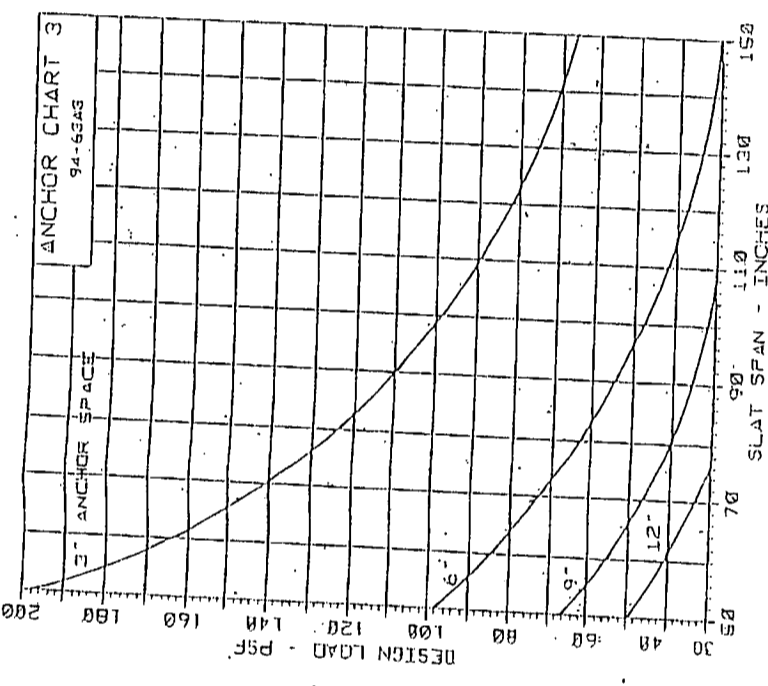
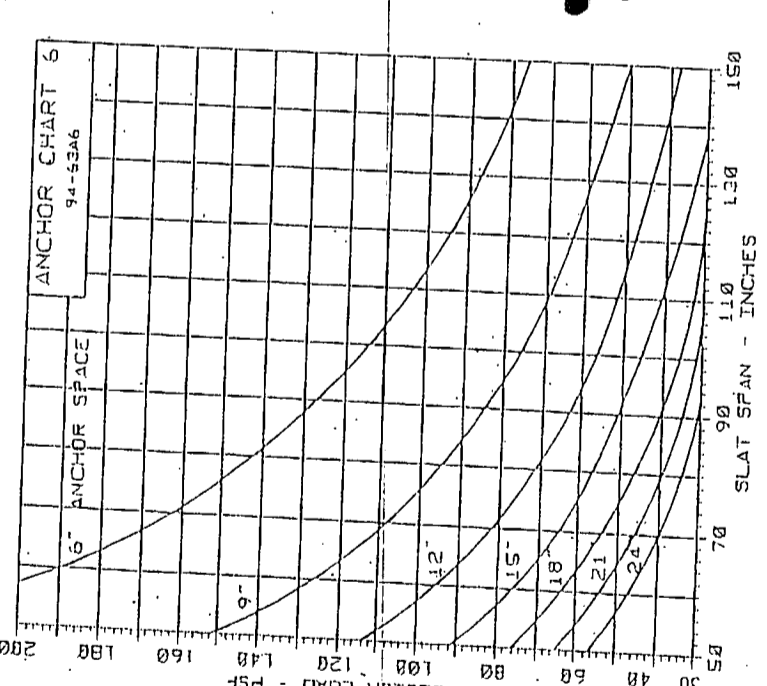
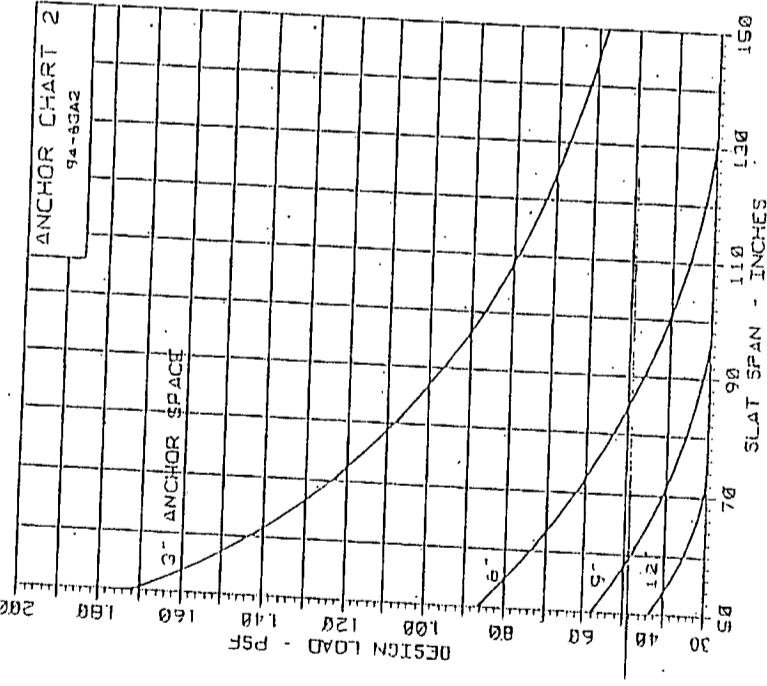
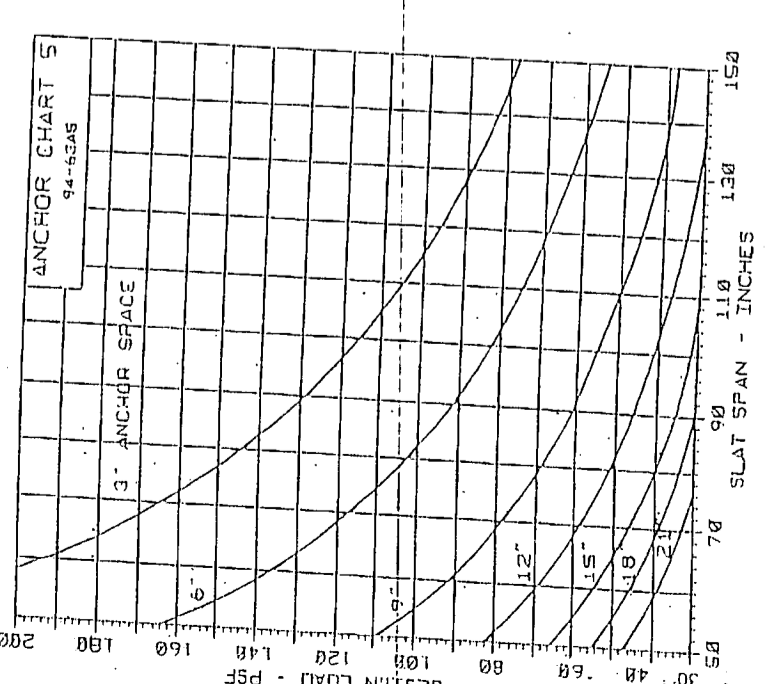
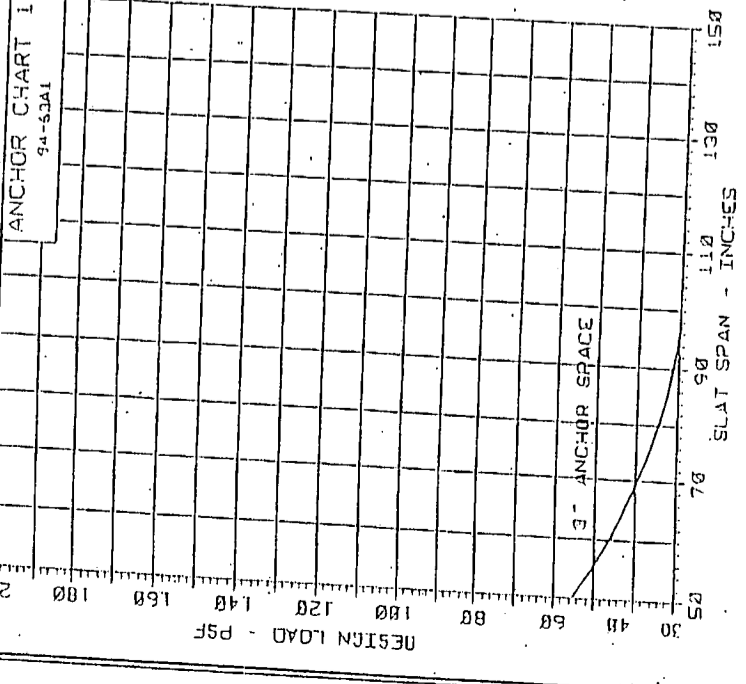
ANCHOR SPACING INCHES

ANCHOR TYPE	UPTO 50 PSF		UPTO 70 PSF	
	CONC	BLOCK	WOOD	CONC
A	16	5	12	3.8
B	7	-	5	-
D	18	7	13	5
E	-	-	7	-

STANDARD COUNTER TOP CONDITION
(PASS THRU WINDOW)
MAX SHUTTER HEIGHT = 6 FT.
MAX WIND LOAD = 70 PSF



PRODUCT REVISED as complying with the Florida Building Code
Acceptance No 02-1224.03
Expiration Date 02/09/2006
By Warren W. Schaefer
Miami Dade Product Control Division



FASTENER SPACING IN MASONRY
 CHARTS ARE BASED ON TYPICAL EDGE DISTANCE = 12".
 FOR LESSER EDGE DISTANCE DECREASE SPACING BY
 MULTIPLYING WITH THE FACTOR BELOW

EDGE DIST.	12"	10"	8"	6"	4"
FACTOR	1.00	0.86	0.71	0.57	0.50

EXAMPLE: FOR 3" EDGE DIST. SPACING = 12" O.C. (FROM CHART)
 FOR 2" EDGE DIST. SPACING = 12 x .71 = 8.5 O.C.
 TYPICAL EDGE DISTANCE IN WOOD = 1-1/4"
 NO REDUCTION FACTOR IS REQUIRED

TYPICAL ANCHORS

- 1/4" TAPCON (BY ITW RAMSET/RED HEAD):
 1-3/4" EMBEDMENT TO 3000 PSI MIN. CONCRETE
 1-1/4" EMBEDMENT TO BLOCK
- ANCHOR Ⓟ = #14 S.M.S. W/ RAWL SCRU-LEAD INTO MIN. 3000 PSI CONCRETE:
 1-1/2" EMBEDMENT.
- ANCHOR Ⓠ = 1/4" RAWL CALK-IN:
 TOTAL ANCHOR BODY INTO BLOCK OR MIN. 3000 PSI CONCRETE.
 #14 S.M.S./LAG SCREWS INTO WOOD (S.G. = 0.47):
 1-1/2" MIN. PENETRATION.

USE CHARTS 1 THRU 8 TO VERIFY ANCHOR
 REQUIREMENTS AND STRESS LIMITATIONS OF
 LOAD/SPAN COMBINATIONS FOR HEADER AND SILL.

NOTE: ANCHORS. USE FULL EMBEDMENT IN CONCRETE BEYOND
 THE COVERING. (STUCCO, TILES, ETC.)

PRODUCT REVISED
 as complying with the Florida
 Building Code
 Acceptance No. 02-1214-03
 Expiration Date 02/09/2006
 By: *Heather A. Miller*
 Miami Dodge Product Control
 Division

DRAWN BY: W.M.S.		CHECKED BY: W.M.S.	
DATE: 10/03/02		DATE: 10/03/02	
NO.		NO.	
REVISION DESCRIPTION		REVISION DESCRIPTION	
BY		BY	
DATE		DATE	

DRAWING TITLE: TITAN II FOLDING SHUTTER

MANUFACTURER: FOLDING SHUTTER CORP.
 7089 HEMSTREET PLACE
 WEST PALM BEACH, FL 33406
 561-683-4811

CONSULTANTS: W. W. SCHAEFER ENGINEERING & CONSULTING, P.A.
 600 SANDTREE DRIVE, SUITE 2030
 PALM BEACH GARDENS, FL 33403
 PHONE: 561-775-1802 FAX: 561-775-4903

WARREN W. SCHAEFER P.E.
 P.E. NO. 44135



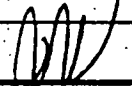



CERTIFICATION: JUN 05 2003

DRAWING NO. 1-173
 REV.

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 8/27, 2004 Page 2 of 3

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6854	SWEET	FINAL HURRICANE	PASS	CLOSE
3	19 S. RIDGEVIEW DR FOLDING SHUTTERS			INSPECTOR: 
6850	HARBOUR BAY	FINAL SLIDING ^{FASCIA} PASS		CLOSE
11	3700 SE OCEAN* TANDREAU	(? late am please)		INSPECTOR: 
6792	RAPPAPORT	INT. TAG MH+ADDITION	FAIL	
6	9 RIVER CREST CIRCLE L			INSPECTOR: 
6513	DUNN	WINDOW BUCKS	PASS	PARTIAL 1ST FL.
5	31 N. RIVER RD FIRST FLORIDA			INSPECTOR: 
Tree	OLNEY	Tree	—	
4	91 S. SEWALL'S PT			INSPECTOR:
6682	MILORD	TRUSS ENA	FAIL	
11	10 N. SEWALL'S PT M. LORD	WINDOW+DOOR		INSPECTOR: 
6232	MOORE	PUMBINA	—	WE DON'T INSPECT
10	5 OAK HILL WAY THE PUMBINA CO.			SEWER LINES INSPECTOR: 
OTHER:	49 N. RIVER RD → CK FOR ORD 76 SIGN OK.			

7528
RE-ROOF

TOWN OF SEWALL'S POINT

Date 5/3/05

BUILDING PERMIT NO. 7528

Building to be erected for Sweet Type of Permit Re roof

Applied for by Cardinal Roofing (Contractor) Building Fee _____

Subdivision Homeswood Lot 10 Block E Radon Fee _____

Address 19 S. Ridgerview Rd Impact Fee _____

Type of structure SFR A/C Fee _____

Parcel Control Number:

01-38-41-006-005-00100-4

Electrical Fee _____

Plumbing Fee _____

Roofing Fee _____

Amount Paid 120⁰⁰ Check # 8589 Cash _____ Other Fees (_____) _____

Total Construction Cost \$ _____

TOTAL Fees 120⁰⁰

Signed Denise Jemay
Applicant

Signed Gene Simmons (TJ)
Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

APR 29 2005

BY:

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number:

OWNER/TITLEHOLDER NAME: Michael E + Christine E Sweet Phone (Day) 772-335-0335 (Fax)

Job Site Address: 19 S. Ridgeview Rd City: Stuart State: FL Zip: 34996

Legal Description of Property: Homewood, LOT 10, BLK E Parcel Number: 01-38-41-006-005-00100-4

Owner Address (if different): City: State: Zip:

Description of Work To Be Done: R-ROOF

WILL OWNER BE THE CONTRACTOR?: Yes (No) (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: Cardinal Roofing Phone: 772-335-9550 Fax: 772-335-9554

Street: 1601 SE S Niemeyer Circle City: PSL State: FL Zip: 34952

State Registration Number: State Certification Number: Martin County License Number: 19A1-520-113

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: State: License Number:
Mechanical: NA State: License Number:
Plumbing: State: License Number:
Roofing: FL State: License Number:

ARCHITECT Phone Number:
Street: City: State: Zip:

ENGINEER Phone Number:
Street: City: State: Zip:

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: Garage: Covered Patios: ScreenedPorch:
Carport: Total Under Roof 3000 SF Wood Deck: Accessory Building:

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

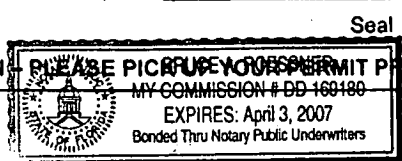
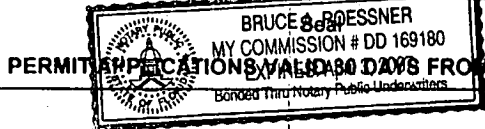
I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
State of Florida, County of: MARTIN
This the 21 day of April, 2005
by CHRISTINE SWEET who is personally known to me or produced as identification.

CONTRACTOR SIGNATURE (required)
On State of Florida, County of: MARTIN
This the 21 day of APRIL, 2005
by BRAD S. HOGAN who is personally known to me or produced as identification.

Notary Public
My Commission Expires: Bruce A. Roesser

Notary Public
My Commission Expires: Bruce A. Roesser



PERMIT APPLICATIONS VALID 90 DAYS FROM APPROVAL NOTIFICATION PLEASE PICK UP YOUR PERMIT PROMPTLY!

PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR RE-ROOFING

IMPORTANT NOTICE: All items listed below must accompany your permit application.
No application will be accepted unless all items that are applicable are submitted.

Application form must contain the following information:

1. Property Appraisers Parcel Number or Property Control Number
2. Legal Description of property (Can be found on your deed survey or Tax Bill)
3. Contractors name, address, phone number and license numbers.
4. Name all sub-contractors (properly licensed)
5. Estimated cost of construction.
6. Original signature of owner and notarized
7. Original signature of Contractor and notarized.

Submittals (2 copies)

1. Product approvals from Miami/Dade for the following items:
 - a. Roofing
2. Statement of Fact (owner/builder affidavit)
3. Proof of ownership (deed or tax recpt.)
4. A certified copy of the Notice of Commencement for any work over \$2500.00
5. Copy of License (either Martin County Certificate of Competency or State Certified or Registered Contractor License)
6. Copy of Workmen's Compensation
7. Copy of Liability Insurance

**ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE
ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE**

Bruce Roemer

(SIGNATURE OF APPLICANT)

DATE SUBMITTED: 4-27-05

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

TAX FOLIO # 01-33-41-006-005-
00100-4

NOTICE OF COMMENCEMENT

PERMIT # _____

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

HomeWood, LOT 10 BKE

GENERAL DESCRIPTION OF IMPROVEMENT:

re-roof

OWNER: Michael E + Christine E Sweet

ADDRESS: 19 S. Ridgeview Rd. Stuart, FL 34996

PHONE #: 772-220-0335 FAX #: _____

CONTRACTOR: Cardinal Roofing

ADDRESS: 1601 SE S. Niemeyer Circle PSL, FL 34952

PHONE #: 772-335-9550 FAX #: 772-335-9554

SURETY COMPANY (IF ANY)

ADDRESS: _____

PHONE #: _____

BOND AMOUNT: _____

LENDER: _____

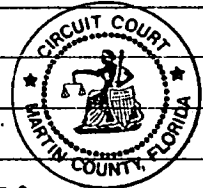
ADDRESS: _____

PHONE #: _____

STATE OF FLORIDA
MARTIN COUNTY

FAX #: _____
THIS IS TO CERTIFY THAT THE
FOREGOING _____ PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.

MARSHA EWING, CLERK
BY: [Signature] D.C.
DATE: 4/29/05



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____

OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION

713.13(1)(B), FLORIDA STATUTES. PHONE #: _____ FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____

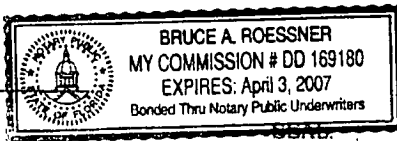
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

[Signature]
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 21 DAY OF April 2005
BY CHRISTINE SWEET

PERSONALLY KNOWN
PRODUCED ID _____
TYPE OF ID _____

Bruce A. Roessner
NOTARY SIGNATURE



INSTR # 1834894 DR BK 02008 PG 0713 RECD 04/29/2005 08:15:25 AM
MARSHA EWING MARTIN COUNTY DEPUTY CLERK L Wood

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
03/04/2005

PRODUCER 732-758-6000 FAX 732-359-1990
 Conover Beyer Associates, Inc.
 36 Monmouth Street - 2nd Floor
 Red Bank, NJ 07701

INSURED Cardinal Roofing & Siding Co., Inc.
 1601 S.E. South Niemeyer Circle
 Port St. Lucie, FL 34952

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE	NAIC #
INSURER A: United States Fire Ins. Co.	
INSURER B: Commerce & Industry/AIG	
INSURER C: Admiral Insurance Company	
INSURER D: Crum & Forster Specialty Insurance Co.	
INSURER E:	

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTAND ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	DDU NSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
D		GENERAL LIABILITY	GLO-080950	03/03/2005	03/03/2006	EACH OCCURRENCE \$ 1,000,000
		<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> Blnkt addt'l insd GEN'L AGGREGATE LIMIT APPLIES PER <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 50,000 MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
A		AUTOMOBILE LIABILITY	1336691745	01/01/2005	01/01/2006	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000
		<input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS				BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
		GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
		EXCESS/UMBRELLA LIABILITY				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
B		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below	WC9683618 OFFICERS ARE INCLUDED	01/01/2005	03/06/2005	WC STATU-TORY LIMITS <input checked="" type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 500,000 E.L. DISEASE - EA EMPLOYEE \$ 500,000 E.L. DISEASE - POLICY LIMIT \$ 500,000
C		OTHER Excess Auto Liability	EX000001473-01	11/04/2004	01/01/2006	Limits: \$1,000,000 occurrence \$1,000,000 aggregate

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

CERTIFICATE HOLDER	CANCELLATION
Town of Sewell's Point 1 South Sewall's Point Road Sewall's Point, FL 34996	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILLENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE <i>Aaren A. Beyer</i>

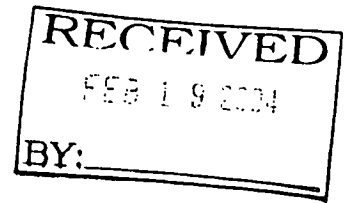


Martin County Building Department

2401 SE Monterey Road

Stuart, FL 34996

(772) 288-5916



HOGAN, BRAD S
CARDINAL ROOFING/SIDING CORP
1682 SE SO NIEMEYER CIR
PORT ST LUCIE, FL 34952

NOTICE TO ALL CONTRACTORS

PLEASE BE ADVISED THAT MARTIN COUNTY, FLORIDA SECTION 43.42 REQUIRES COMPLIANCE WITH THE FOLLOWING EXERPT FROM THE GENERAL ORDINANCES OF THE MARTIN COUNTY CODE:

PROHIBITED ACTIVITIES:

43.42 R Advertising contracting work in any advertisement to the public in a newspaper or telephone directory without including in the advertisement the number of the contractor license issued to the person or business being advertised.

43.42 S Operating any commercial vehicle in the course of conducting the practice of contracting that fails to display the contractor license number of the contractor.

If you have any questions relating to the information in this letter , please contact the Martin County Contractor's Licensing Division of the Martin County Building Department.



**MARTIN COUNTY, FLORIDA
Construction Industry Licensing Board
Certificate of Competency**

ALUMINUM/CONCRETE CONTRACTOR

License Number SP00662 Expires: 30-SEP-05

HOGAN, BRAD S
CARDINAL ROOFING/SIDING CORP
1682 SE SO NIEMEYER CIR
PORT ST LUCIE, FL 34952

AC#1488608

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# E04071400609

DATE	BATCH NUMBER	LICENSE NBR
07/14/2004	040039875	CCC032513

The ROOFING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2006



HOGAN, BRAD S
CARDINAL ROOFING & SIDING COMPANY, INC
1601 SE SOUTH NIEMEYER CIRCLE
PORT ST LUCIE FL 34952

JEB BUSH
GOVERNOR

DIANE CARR
SECRETARY

DISPLAY AS REQUIRED BY LAW

STATE OF FLORIDA AC#1488608
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CCC032513 07/14/04 040039875
CERTIFIED ROOFING CONTRACTOR
HOGAN, BRAD S
CARDINAL ROOFING & SIDING COMPANY
IS CERTIFIED under the provisions of Ch. 489 FS.
Expiration date: AUG 31, 2006 E04071400609



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**Hanson Roof Tile d.b.a. Pioneer Concrete Tile
1340 SW 34th Ave
Deerfield Beach, FL 33442**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by the BCCO and accepted by the Building Code and Product Review Committee to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The BCCO (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BCCO reserves the right to revoke this acceptance, if it is determined by BCCO that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County or Florida Building Code.

DESCRIPTION: Nordic Flat Roof Tile

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

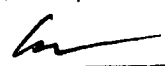
ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of pages 1 through 7.

The submitted documentation was reviewed by Frank Zuloaga, RRC



FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 4/29/05

BUILDING OFFICIAL
Gene Simmons

**NOA No.: 02-0709.07
Expiration Date: 12/16/07
Approval Date: 08/22/02
Page 1 of 7**

ROOFING ASSEMBLY APPROVAL

Category: Roofing
 Sub Category: Roofing Tiles
 Material: Concrete

1. SCOPE

This renews a roofing system using **Nordic Flat Roof Tile**, as manufactured by Hanson Roof Tile d.b.a. Pioneer Concrete Tile described in Section 2 of this Notice of Acceptance. For the locations where the pressure requirements, as determined by applicable Building Code, does not exceed the values listed in section 4 herein. The attachment calculations shall be done as a moment based system.

2. PRODUCT DESCRIPTION

<u>Manufactured by Applicant</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Hanson Nordic Flat Tile	Length: 16½" Width: 13" Thickness 1¼"	TAS 112	Flat profile, interlocking, extruded concrete roof tile equipped with two nail holes. For direct deck or battened nail-on, mortar or adhesive set applications.
Trim Pieces	Length: varies Width: varies Varying thickness	TAS 112	Accessory trim, concrete roof pieces for use at hips, rakes ridges and valley terminations. Manufactured for each tile profile.

2.1 COMPONENTS OR PRODUCTS MANUFACTURED BY OTHERS

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>	<u>Manufacturer</u>
Rainproof II	30" x 75' roll 36" x 75' roll Or 60" x 75' roll	TAS 104	Single ply, nail-on underlayment with 2" self-adhering top edge.	Protect-O-Wrap, Inc. (With current NOA)
Ice and Water Shield	36" x 75' roll	TAS 103	Self-adhering underlayment	W.R. Grace Co. (With current NOA)



NOA No.: 02-0709.07
 Expiration Date: 12/16/07
 Approval Date: 08/22/02
 Page 2 of 7

Wood Battens	<u>Vertical</u> Min. 1"x 4" <u>Horizontal</u> Min. 1"x 4" for use with vertical battens or Min. 1"x 2" for use alone	Wood Preservers Institute LP - 2	Salt pressure treated or decay resistant lumber battens	Generic (With current NOA)
Tile Nails	Min. 10dx 3"	TAS 114 Appendix E	Corrosion resistant screw or smooth shank nails	Generic (With current NOA)
Tile Screws	#8x 2 1/2" long 0.335" head dia. 0.131" shank dia. 0.175" screw thread dia.	TAS 114 Appendix E	Corrosion resistant, coated, square drive, galvanized, coarse thread wood screws	Generic (With current NOA)
Roof Tile Mortar ("TileTite™")	N/A	TAS 123	Prepared mortar mix designed for mortar set roof tile applications.	Bermuda Roof Company, Inc. (With current NOA)
Roof Tile Mortar ("Quikrete® Roof Tile Mortar #1140")	N/A	TAS 123	Prepared mortar mix designed for mortar set roof tile applications.	Quikrete Construction Products (With current NOA)
Roof Tile Mortar ("BONSAL® Roof Tile Mortar Mix")	N/A	TAS 123	Prepared mortar mix designed for mortar set roof tile applications.	W. R. Bonsal Co. (With current NOA)
Roof Tile Adhesive ("Polypro® AH160")	N/A	See NOA	Two component polyurethane adhesives designed for adhesive set roof tile applications.	Polyfoam Products, Inc. (With current NOA)
Tile-Bond	Factory premixed canisters	See NOA	Single component polyurethane foam roof tile adhesive	Flexible Products (With current NOA)
Hurricane Clip & Fasteners	Clips Min. 1/2" width Min. 0.060" thick Clip Fasteners Min. 8d x 1 1/4"	TAS 114 Appendix E	Corrosion resistant clips with corrosion resistant nails.	Generic (With current NOA)



3. LIMITATIONS

- 3.1 Fire classification is not part of this acceptance.
- 3.2 For mortar or adhesive set tile applications, a static field uplift test in accordance with RAS 106 may required, refer to applicable building code.
- 3.3 Applicant shall retain the services of a Miami-Dade County Certified Laboratory to perform quarterly test in accordance with TAS 112, appendix 'A'. Such testing shall be submitted to the Building Code Compliance Office for review.
- 3.4 Minimum underlayment shall be in compliance with the applicable Roofing Applications Standards listed section 4.1 herein.
- 3.5 30/90 hot mopped underlayment applications may be installed perpendicular to the roof slope unless stated otherwise by the underlayment material manufacturers published literature.
- 3.6 This acceptance is for wood deck applications. Minimum deck requirements shall be in compliance with applicable building code.

4. INSTALLATION

- 4.1 Hanson 'Nordic Flat' Roof Tile and its components shall be installed in strict compliance with Roofing Application Standard RAS 120
- 4.2 Data For Attachment Calculations

Table 1: Aerodynamic Multipliers - λ (ft ³)		
Tile Profile	λ (ft ³) Batten Application	λ (ft ³) Direct Deck Application
Hanson Nordic Flat Tile	0.267	0.289

Table 2: Restoring Moments due to Gravity - M_g (ft-lbf)										
Tile Profile	3": 12"		4": 12"		5": 12"		6": 12"		7": 12" or greater	
	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck
Hanson Nordic Flat Tile	5.95	6.78	5.87	6.67	5.74	6.54	5.60	6.37	5.44	6.19



Table 3: Attachment Resistance Expressed as a Moment - M_r (ft-lbf) For Nail-On Systems				
Tile Profile	Fastener Type	Direct Deck (Min 15/32" plywood)	Direct Deck (Min. 19/32" plywood)	Battens
Hanson Nordic Flat Tile	2-10d Ring Shank Nails	30.9	38.1	17.2
	1-10d Smooth or Screw Shank Nail	7.3	9.8	4.9
	2-10d Smooth or Screw Shank Nails	14.0	18.8	7.4
	1 #8 Screw	30.8	30.8	18.2
	2 #8 Screw	51.7	51.7	24.4
	1-10d Smooth or Screw Shank Nail (Field Clip)	24.3	24.3	24.2
	1-10d Smooth or Screw Shank Nail (Eave Clip)	19.0	19.0	22.1
	2-10d Smooth or Screw Shank Nails (Field Clip)	35.5	35.5	34.8
	2-10d Smooth or Screw Shank Nails (Eave Clip)	31.9	31.9	32.2
	2-10d Ring Shank Nails ¹	50.3	65.5	48.3

¹ Installation with a 4" tile headlap and fasteners are located a min. of 2½" from head of tile.

Table 4: Attachment Resistance Expressed as a Moment M_r (ft-lbf) For Two Patty Adhesive Set Systems		
Tile Profile	Tile Application	Minimum Attachment Resistance
Hanson Nordic Flat Tile	Adhesive	31.3 ³

² See manufactures component approval for installation requirements.

³ Flexible Products Company TileBond Average weights per patty 13.9 grams.
Polyfoam Product, Inc. Average weight per patty 8 grams.

Table 4A: Attachment Resistance Expressed as a Moment - M_r (ft-lbf) For Single Patty Adhesive Set Systems		
Tile Profile	Tile Application	Minimum Attachment Resistance
Hanson Nordic Flat Tile	PolyPro™	118.9 ⁴
	PolyPro™	40.4 ⁵

⁴ Large patty placement of 45 grams of PolyPro™.

⁵ Medium patty placement of 24 grams of PolyPro™.



Table 4B: Attachment Resistance Expressed as a Moment - M_r (ft-lbf) for Mortar Set Systems		
Tile Profile	Tile Application	Attachment Resistance
Hanson Nordic Flat Tile	Mortar Set	39.0

5. LABELING

5.1 All tiles shall bear the imprint or identifiable marking of the manufacturer's name or logo, or following statement: "Miami-Dade County Product Control Approved".

6. BUILDING PERMIT REQUIREMENTS

6.1 Application for building permit shall be accompanied by copies of the following:

6.1.1 This Notice of Acceptance.

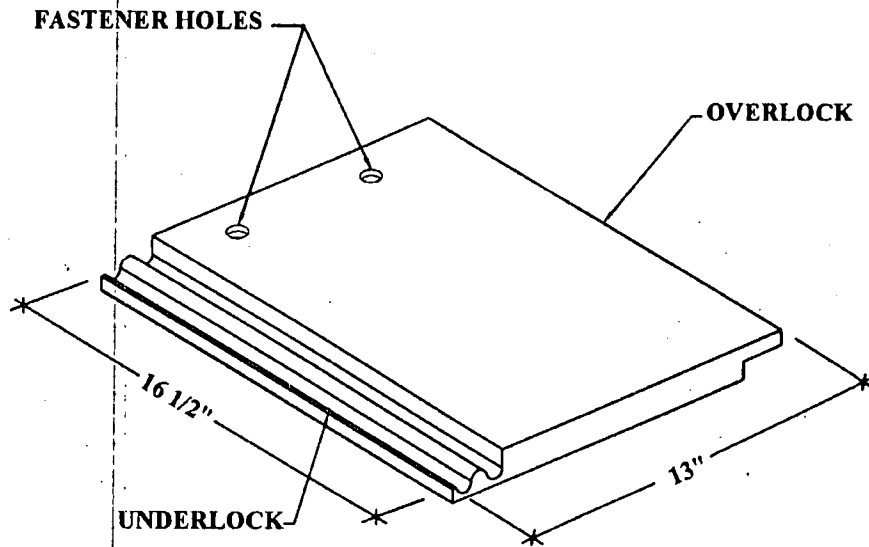
6.1.2 Any other documents required by the Building Official or applicable Building Code in order to properly evaluate the installation of this system.



NOA No.: 02-0709.07
 Expiration Date: 12/16/07
 Approval Date: 08/22/02
 Page 6 of 7

PROFILE DRAWING

HANSON "NORDIC FLAT" ROOF TILE



NORDIC FLAT

END OF THIS ACCEPTANCE



NOA No.: 02-0709.07
Expiration Date: 12/16/07
Approval Date: 08/22/02
Page 7 of 7

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5/13, 20015 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
7126	Hemmers	FINAL Roof Repair	PASS	CLOSE
11	4 PALMETTO DRIVE OIB			INSPECTOR:
7313	McALPIN	FENCE FINAL	FAIL	
4	5 PINEAPPLE LA STUART FENCE			\$140 INSPECTOR:
7512	LENIHAN	FINAL ROOF	PASS	CLOSE
9	25 LANTANA LA COLLINS ROOFING			INSPECTOR:
7528	SWEET	DEM-IN	PASS	
10	195 RIDGEVIEW RD CARDINAL ROOFING			INSPECTOR:
6753	RADER	ELEC	PASS	
1A	5 HERITAGEWAY A&P CONSTR.	ALC PLUMBING	FAIL PASS	INSPECTOR:
11	11	FRAMING	FAIL	
				INSPECTOR:
TREE	SEAMAN	TREE	PASS	
7	104 S. RIVER RD			INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 7/13, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7361	JORDAN	FINAL REPAIR	PASS	CLOSE
15	12 CASTLE HILL WY MORNINGWOOD CORP	SIDING + EXT STAIR TREAS		INSPECTOR: <i>[Signature]</i>
7641	MADER	FOOTER		CANCEL
3	106 ABBIE COURT BUFORD			INSPECTOR:
7439	DIMITRIOU	IN PROGRESS	PASS	
12	6 BANYAN RD FEARL ROOFING	ROOF		INSPECTOR: <i>[Signature]</i>
7605	CRANE	COVER INSP.	PASS	
9	2 TIMOR BLUE DIAMOND	ELECTRICAL		INSPECTOR: <i>[Signature]</i>
7600	MILORD	FINAL DEMO	PASS	CLOSE
8	525. Sewallis MILORD CORP.			INSPECTOR: <i>[Signature]</i>
TREE	RASKIN	TREE	PASS	
14	144 N. Sewallis Rd			INSPECTOR: <i>[Signature]</i>
7528	SWEET	HOT TAP	PASS	
10	19 S. RIDGEVIEW CARDINAL ROOFING			INSPECTOR: <i>[Signature]</i>
OTHER:	FORD	CHIM. REPAIR	PASS	
7676	SOAKWOOD			
4	OB (MILORD)			



7828

TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 19 S. RIDGEVIEW

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FINAL ROOF

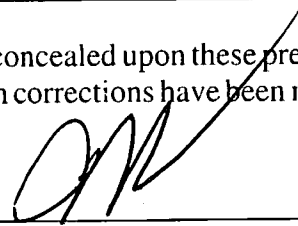
2 TILES ON NORTH SIDE ARE
INSTALLED BACKWARDS

CLEAN OBSTRUCTED WEED HOLES
AND ENSURE ALL ARE
OPERATIONAL.

REPAIR CRACKED & DAMAGED
TILES.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 1/1/9



INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 11/9, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7447	DIMITRIOU 6 BANYAN ROAD OALS SYSTEMS	FINAL WINDOW REPLACEMENT 9:00 A.M.	—	RESCHEDULE INSPECTOR: <i>[Signature]</i>
7849	DIMITRIOU 6 BANYAN RD. OIB	FINAL WINDOW REPLACEMENT 9:00 A.M.	—	RESCHEDULE INSPECTOR: <i>[Signature]</i>
7850 4	DESALTIS 82 SSPR SPECIAL APPL.	U.G TANK	FAIL	INSPECTOR: <i>[Signature]</i>
TREE 3	DWYER 3 PALMETTO	TREE	—	NO ONE HOME RESCHEDULE INSPECTOR: <i>[Signature]</i>
7828 2	SWEET 19 S. RIDGEVIEW CARDINAL ROOFING	FINAL ROOF	FAIL	INSPECTOR: <i>[Signature]</i>
1	VON STADEN 20 N. VIA LUCINDA SEASIDE ROOFING	DEM-IN (EARLY PLEASE)	PASS	INSPECTOR: <i>[Signature]</i>
7860 7	Yeazel Roofing 9 Maryland Rd. Holland (OIB)	In progress "roof" AFTER 10:30	— FAIL	WILL RESCHEDULE (11:45) INSPECTOR: <i>[Signature]</i>
OTHER: FINAL ROOF SS COFFER				

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 12/7, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
1	DUNN	POWER REL.	PASS	
	31. N. RIVER RD	B.I.S		
	F.F.O.			INSPECTOR:
7753	BIRD	ROOF IN PROG	MET	NO ACCESS W/ ROOFER
4	27 LOFTING WAY		GATE CLOSED	NO
	L&W ROOFING			INSPECTOR: RESPONSE
7869	VON STADEN	FINAL ROOF	PASS	CLOSE
8	20 N. VIALUCINDIA			
	SEASIDE ROOFING			INSPECTOR:
7873	NOSEHL	EGH PUMD	PASS	
5	26 W. HIGH	FOOTING		
	O/B			INSPECTOR:
7528	SWEET	FINAL ROOF	PASS	CLOSE
9	1A S. RIDGEVIEW			
	CARDINAL	335-9550		INSPECTOR:
7431	MAC DOUGALL	FINAL RETAINING WALL	PASS	CLOSE
2	23 N. RIVER RD			
	CUSTOM BUILT MAR.			INSPECTOR:
6891	ZAMBO	FINAL EXT. DOORS	FAIL	
10	46 S. SEWALL ST	MINOR ACT DEY WALL		
	O/B			INSPECTOR:

OTHER: _____

8851

**WEATHERPROOF
OUTLETS &
FLOODLIGHTS**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK. A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	8851	DATE ISSUED:	APRIL 1, 2008
SCOPE OF WORK:	GFI OUTLETS & FLOOD LIGHTS		
CONDITIONS:			
CONTRACTOR:	ZANE CARTER ELECTRIC		
PARCEL CONTROL NUMBER:	13841006005001004	SUBDIVISION	HOMEWOOD, LOT 10, BL E
CONSTRUCTION ADDRESS:	19 S RIDGEVIEW ROAD		
OWNER NAME:	SANTERAMO		
QUALIFIER:	ZANE CARTER	CONTACT PHONE NUMBER:	692-2048

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES:

24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN / TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
--	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER / BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER / BUILDER.

RECEIVED
DATE: 3/31/08
TOWN OF SEWALL'S POINT

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: _____

Date: 3/24/08

OWNER/TITLEHOLDER NAME: Santeramo, Patrick A. Phone (Day) 954-258-4425 (Fax) _____

Job Site Address: 19 S. Ridgeview Road City: Sewall's Point State: FL Zip: 34994

Legal Desc. Property (Subd/Lot/Block) Home wood Lot 10 BIK E Parcel Number: 01-38-41-000-005-00100-4

Owner Address (if different): 441 SE 3rd ST City: Dania State: FL Zip: 33004

Scope of work: Add 3 weather proof outlet (GFE Protected) and 2 Flood fixtures

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO _____

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 500.00
(Notice of Commencement required when over \$2500 prior to first inspection)
Is subject property located in flood hazard area? V _____ A9 _____ A8 _____ X _____
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
Fair Market Value of the Primary Structure only (minus the land value)
--- PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION ---

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)

CONTRACTOR/Company: Zane Carter Electric Inc Phone: 692-2048 Fax: same

Street: 2049 NW Azalea street City: Stuart State: FL Zip: 34994

State Registration Number: _____ State Certification Number: EC13002314 Municipality License Number: _____

PROJECT SUPERINTENDANT: Zane Carter CONTACT NUMBER: 370-9932

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQ. FOOTAGE (W /SEWER & ELECTRIC): Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

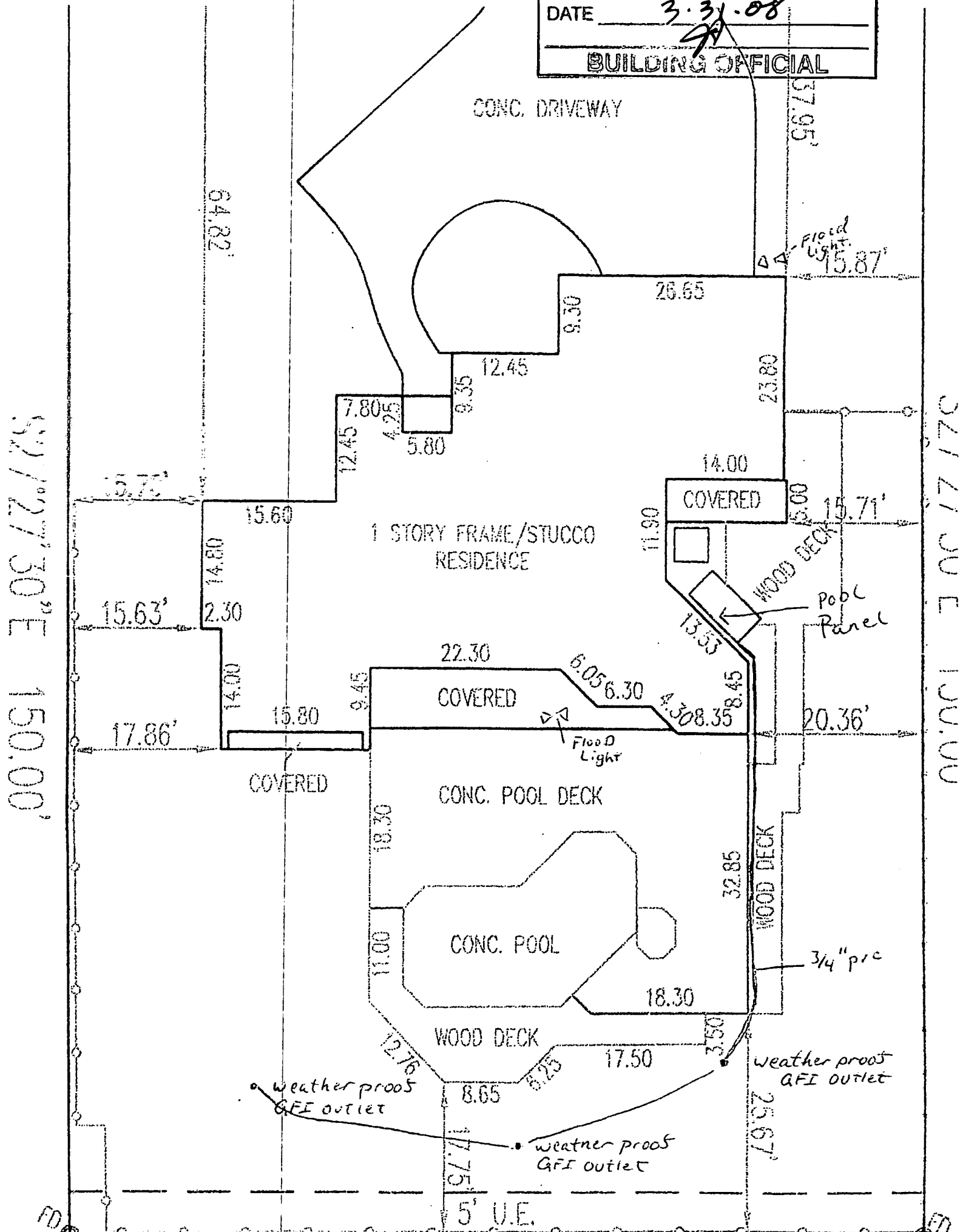
CODE EDITIONS IN EFFECT FOR THIS APPLICATION: Florida Building Code - Res., Build, Mech., Plmb., Fuel Gas: 2004 (W/2006 Rev.)
National Electrical Code: 2005 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Prevention Code 2004

NOTICES TO OWNERS AND CONTRACTORS:
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50.05.

THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.
I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****
OWNER SIGNATURE (required) Patrick A. Santeramo CONTRACTOR SIGNATURE (required) Zane Carter
State of Florida, County of: Broward On State of Florida, County of: Martin
This the 25th day of March, 2008 This the 31st day of March, 2008
by Patrick A. Santeramo who is personally known to me or produced Driver's license by ZANE A. CARTER who is personally known to me or produced FLD#HC636-981-62-170D
as identification. Wanda Geraci As identification Wanda Geraci
My Commission Expires August 26, 2011 Notary Public Wanda Geraci
SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) PLEASE PICK UP YOUR PERMIT PROMPTLY!

FILE COPY
 TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE 3.31.08
 BUILDING OFFICIAL



S27°27'30"E 150.00'

S21°21'00"E 100.00'

N62°49'30"E 100.00'

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 4-4, 2008 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8589	Hardin	partial electric		CANCEL
6 11:30	27 Skiner Stratton	" sprinkler under porch roof		CANCEL
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8812	Conway	doors	PASS	
3	16 S Via Lucinda (reinspect) OB	ELEC. ROUGH	PASS	INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8755	Durante	bathe	PASS	
1st	48 S Sewalls OB	(PARTIAL)		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8441	Dressler	Meter Final	FAIL	
2	12 Island Rd Kendall /Harbor Course			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8763	Hogel	WINDOW/DOOR	FAIL	
5	22 N.S.P.R. CDR	9:30-10:00		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8851	Fantano	electric	PASS	11:00 AM
4	19 S Ridgeway Rd Zak Carter	Final (PAPERWORK ON FENCE TO BACKYARD)		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
CE.		DEBRIS @		
4A	19 CANTANA	CURBSIDE		INSPECTOR:

OTHER: _____

9265

**REPLACE PATIO &
DECK**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9265	DATE ISSUED:	10/08/2009
SCOPE OF WORK:	POOL DECK FOOTER		
CONDITIONS :			
CONTRACTOR:	MARSTAN CONST		
PARCEL CONTROL NUMBER:	013841006005001 604	SUBDIVISION	HOMWOOD Lot 10, Bl E
CONSTRUCTION ADDRESS:	19 S. RIDGEVIEW		
OWNER NAME:	SANTERAMO		
QUALIFIER:	HOWARD HEITZ	CONTACT PHONE NUMBER:	954-709-8756

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9265		
ADDRESS	19 S. RIDGEVIEW		
DATE:	10/09/2009	SCOPE:	CONCRETE POOL FOOTERS

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K) (No plan submittal fee when value is less than \$100,000)		\$	
Total square feet air-conditioned space: (@ \$110.25 per sq. ft.)		s.f.	
Total square feet non-conditioned space: (@ \$51.60 per sq. ft.)		s.f.	
Total Construction Value:		\$	
Building fee: (2% of construction value SFR or >\$200K)		\$	
Building fee: (1% of construction value < \$200K + \$75 per insp.)			
Total number of inspections (Value < \$200K) @\$75 ea.		\$	
Radon Fee (\$.005 per sq. ft. under roof):		\$	
DBPR Licensing Fee: (\$.005 per sq. ft. under roof)		\$	
Road impact assessment: (.04% of construction value - \$5.00 min.)			
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	

ACCESSORY PERMIT	Declared Value:	\$	
			3500 ⁻
Total number of inspections @ \$75.00 each	2	\$	150.00
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5.00
TOTAL ACCESSORY PERMIT FEE:		\$	155.00

RECEIVED

10-7-09

Town of Sewall's Point

9265

Date: BUILDING PERMIT APPLICATION Permit Number:

OWNER/TITLEHOLDER NAME: PAT SANTERAMO / LYNNE WEBB Phone (Day) 954 258-4495 (Fax) 954-739-1803

Job Site Address: 19 RIDGEVIEW RD S City: SEWALLS PT. State: FL. Zip: 34996

Legal Description: HOMEWOOD, LOT 10 BLKE Parcel Control Number: 01-38-41-006-005-00100

Owner Address (if different): 441 SE 3rd STREET City: DANIA BEACH State: FL. Zip: 33004

Scope of work (please be specific): REPLACE PATIO DECK 550 SF. Approx.

WILL OWNER BE THE CONTRACTOR? (If yes, Owner Builder questionnaire must accompany application) YES NO

COST AND VALUES: (Required on ALL permit applications) Estimated Value of Improvements: \$ 3500 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out) Is subject property located in flood hazard area? VE10 AE9 AE8 X FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY: Estimated Fair Market Value prior to improvement: \$ (Fair Market Value of the Primary Structure only, Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Has a Zoning Variance ever been granted on this property? YES (YEAR) NO (Must include a copy of all variance approvals with application)

CONTRACTOR/Company: Marstan Construction Phone: 954-709-8716 Fax: 954-722-2061 Street: 4138 NW 78 Lane City: Coral Springs State: FL Zip: 33065

State License Number: CGC055816 OR: Municipality: License Number:

LOCAL CONTACT: David Esposito Phone Number: 954-709-8756

DESIGN PROFESSIONAL: N/A Lic# Phone Number:

Street: City: State: Zip:

AREAS SQUARE FOOTAGE: Living: Garage: Covered Patios/ Porches: Enclosed Storage:

Carport: Total under Roof Elevated Deck: Enclosed area below BFE* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007 National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

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*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE (required) OR OWNER'S LEGAL AUTHORIZED AGENT (PROOF REQUIRED) Pat Santeramo State of Florida, County of: Broward This the 28 day of August 2009 by Pat Santeramo who is personally known to me or produced as identification: Wanda Geraci

CONTRACTOR SIGNATURE (required) Howard John Heitz On State of Florida, County of: Broward This the 28th day of August 2009 by Howard John Heitz who is personally known to me or produced As identification:

Notary WANDA GERACI MY COMMISSION # DD 667738 EXPIRES: August 26, 2011

Notary Public GREGORY F. ESPOSITO, JR. Comm# DD0720868

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



Martin County, Florida

Laurel Kelly, C.F.A

Site Provided by...
governmax.com T1.11

Summary

print Address 2 of 2

Parcel Info

Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
01-38-41-006-005-00100-4	19 S RIDGEVIEW RD	17678	Address	0	1

Summary

Property Location 19 S RIDGEVIEW RD
Tax District 2200 Sewall's Point
Account # 17678
Land Use 101 0100 Single Family
Neighborhood 120400
Acres 0.344

Legal Description
Property Information
 HOMEWOOD, LOT 10 BLK E

Search By

- Parcel ID
- Owner
- Address**
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

Owner Information
Owner Information
 SANTERAMO, PATRICK A
 WEBB, LYNNE J

Mail Information
 441 SE 3RD ST APT 602
 DANIA FL 33004

Assessment Info
Front Ft. 0.00

Market Land Value \$229,500
Market Impr Value \$213,840
Market Total Value \$443,340

Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Recent Sale
Sale Amount \$574,000

Sale Date 12/5/2007
Book/Page 2295 0139

Print | Back to List | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 09/16/2009





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

CONCRETE DECK/ SLAB APPLICATION PACKAGE

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. **THIS REVIEW SHEET MUST ACCOMPANY THE APPLICATION SUBMITTAL.**

Please make sure you have ALL required copies before submitting permit application

- 1 Copy Completed application
 - Legal Description ✓
 - Notarized signature of Owner & Contractor ✓
 - Proof of ownership (Recorded warranty deed or Tax bill) ✓
- 2 Copies Survey showing location of all proposed Patio/Concrete slabs w/setbacks to all property lines. If footings are installed submit a foundation plan w/a footing schedule. ✓

***DO NOT SUBMIT PREVIOUSLY STAMPED SITE PLANS**

1 Copy Notice of Commencement, if replacement value is over \$2500.00. Must be submitted prior to the first inspection. ✓

Any concrete slab (driveway, patio, and etc) within 1' of the sidewalls of a residential structure will require termite treatment and must also have 6 mil vapor retarder installed in this 1' area (2007 FBC/Residential R320.1.4 & R320.1.6).

MARSTAN CONSTRUCTION, INC

HOWARD JOHN HEITZ

David S. Esposito

Michael Esposito

Gregory Esposito

4138 NW 78 Lane

CORAL SPRINGS, FLORIDA 33065

Phone/ and FAX (954) 752-0061

Cell: 709-8756 or 536-7280

September 14, 2009

Owners: Patrick Santeramo and Lynne Webb

Address: 19 South Ridgeview Rd

Sewall's Point, Florida 34996

Contractor: Marstan Construction, Inc.

Address: 4138 NW 78 Lane

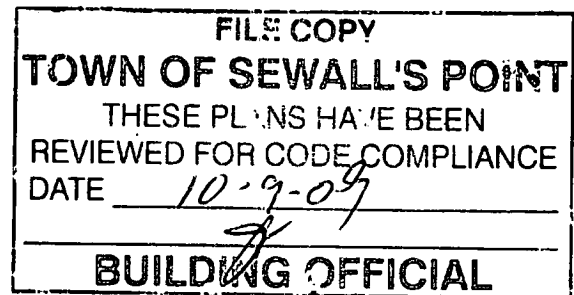
Coral Springs, Florida 33065

Contact person: David Esposito, President

Phone: 954-709-8756

Fax: 954-752-0061

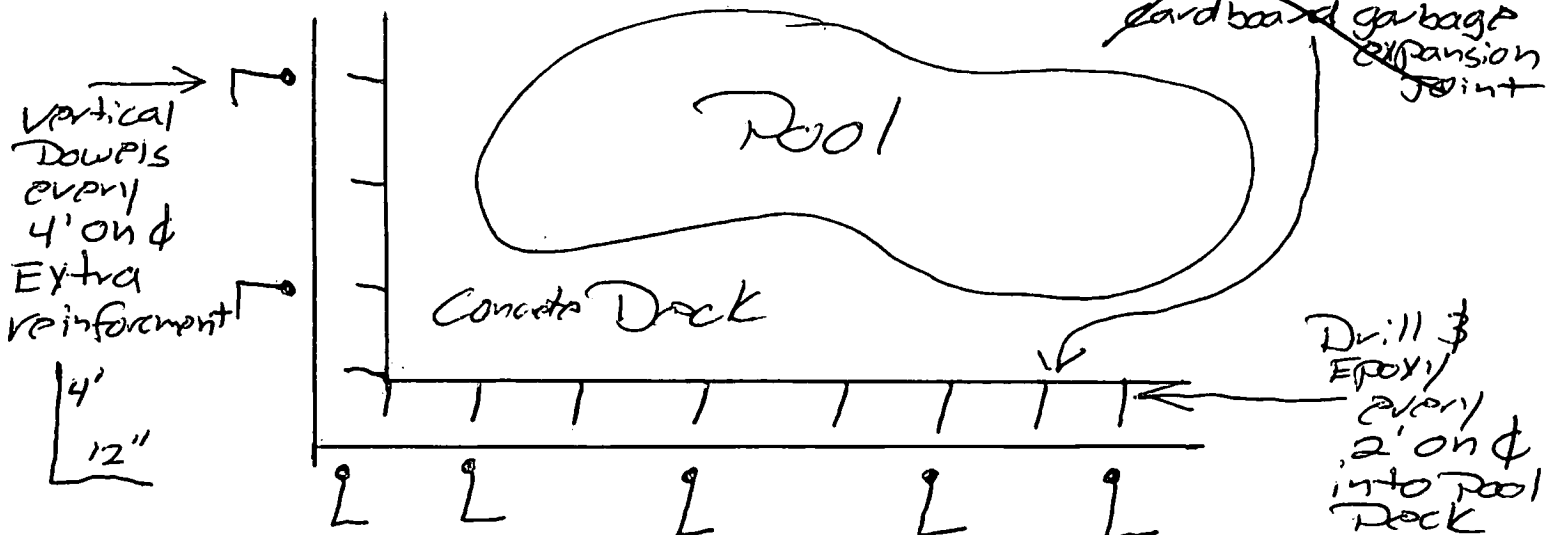
E-Mail: despos8915@aol.com



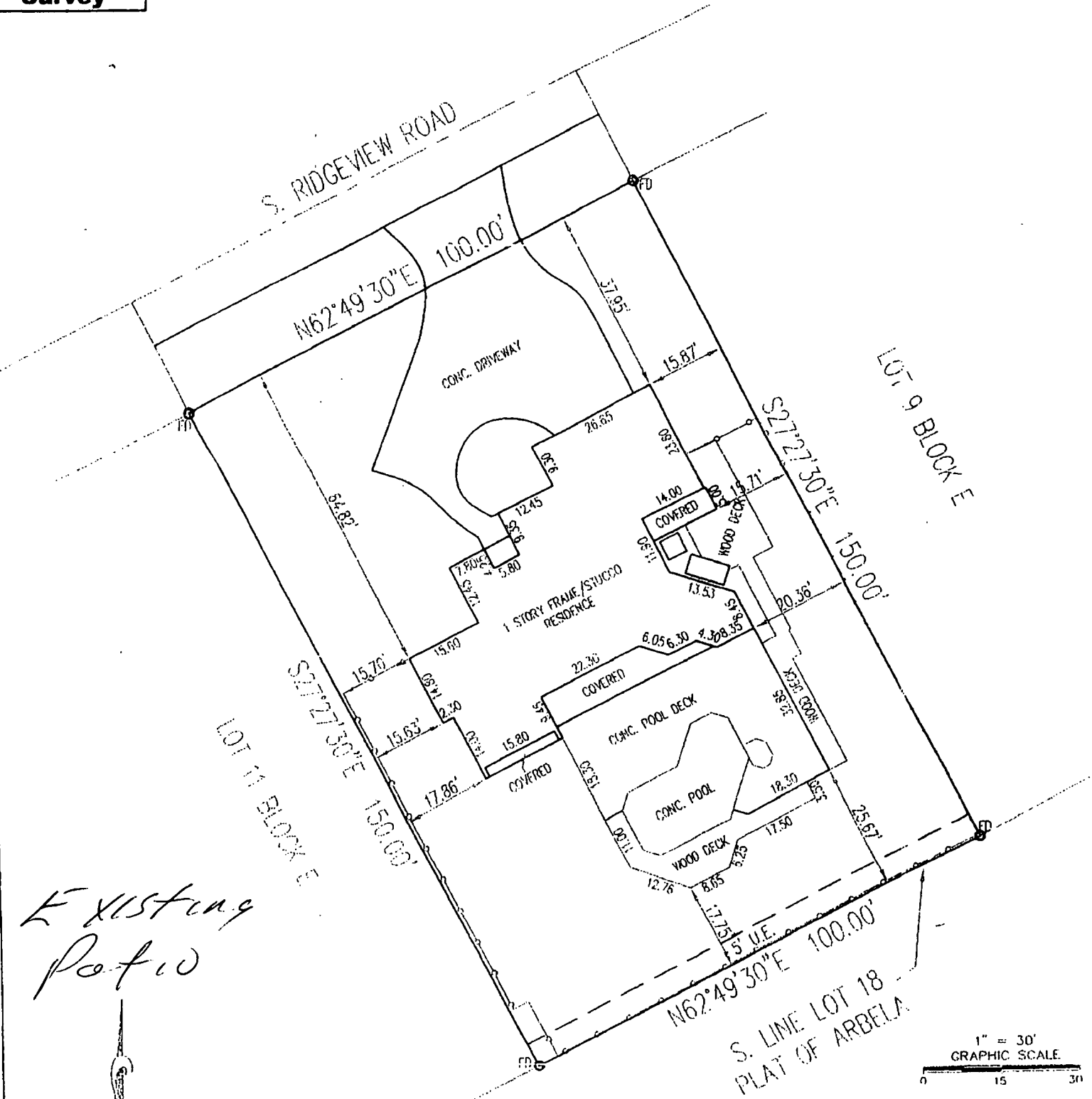
We propose to remove old wooden deck, partially around existing pool, and replace with new concrete walkway.

A 12" x 12" footer with 1 # 5 steel rebar exterior edge. Walkway is 4" deep expansion joint on interior edge. Vertical dowels to be placed 4' on center Horizontal 8" #5 rebar 4" on center. Pool deck dowels to be placed in epoxy every 2' on center. Broom finish with heavy broom.

Placing and finishing work to be performed by All aspects Concrete Services, Contact person, Danny Southerland 772-201-0470.



Boundary Survey



ADDRESS

**19 South Ridgeview Road
Sewall's Point, Florida 34996**

LEGAL DESCRIPTION (AS FURNISHED)

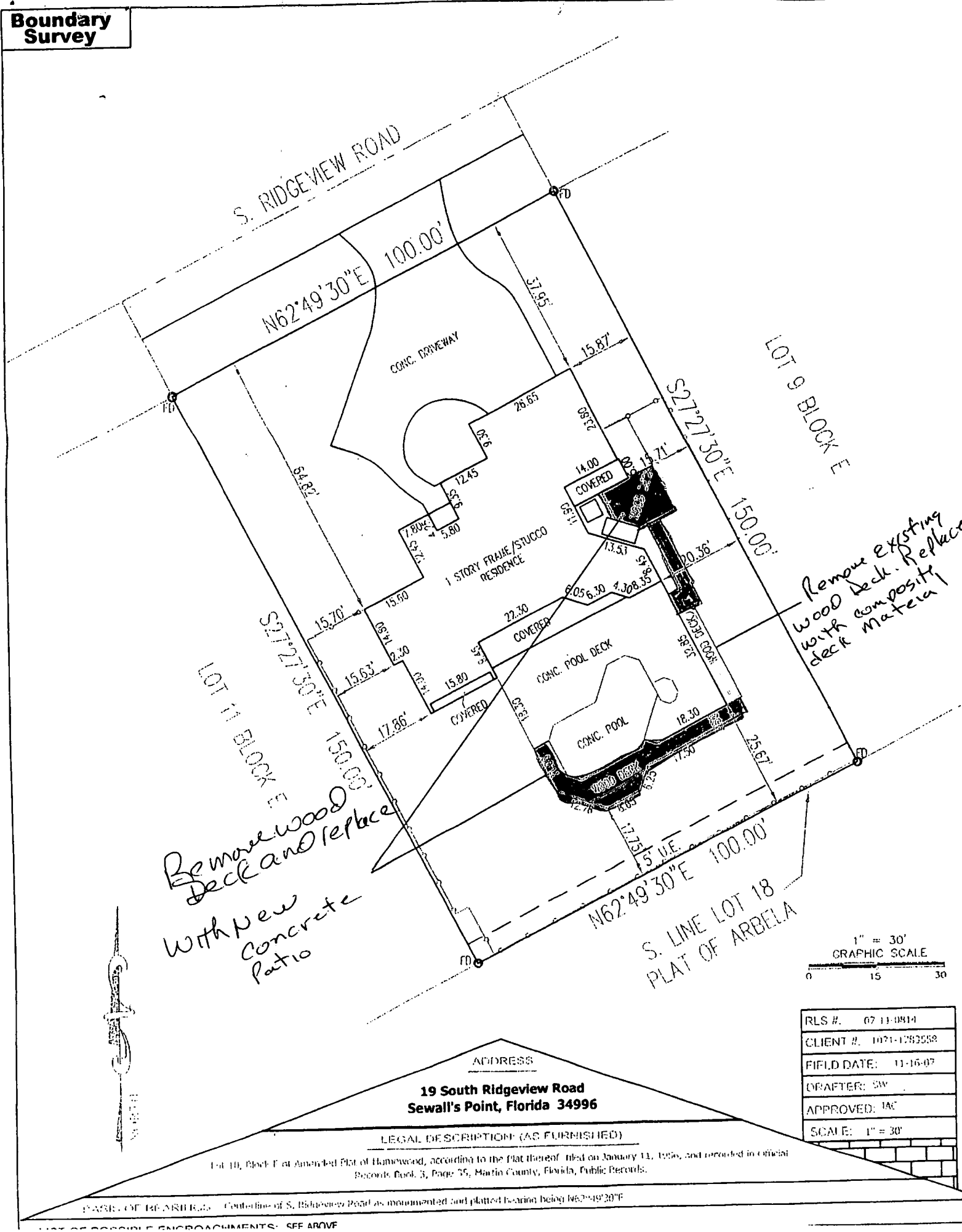
Lot 10, Plat of Improved Plat of Homewood, according to the Plat thereof filed on January 11, 1956, and recorded in Official Records Book 3, Page 35, Manatee County, Florida, Public Records

BASED ON THE ASSUMPTION... Centerline of S. Ridgeview Road as monumented and platted bearing being N62°49'30"E

LIST OF POSSIBLE ENCROACHMENTS: SEE ABOVE

RLS #:	07 11 0014
CLIENT #:	1071 1293558
FIELD DATE:	11-16-07
DRAFTER:	SW
APPROVED:	JAC
SCALE:	1" = 30'

Boundary Survey



ADDRESS

**19 South Ridgeview Road
Sewall's Point, Florida 34996**

LEGAL DESCRIPTION: (AS FURNISHED)

Lot 18, Block E of Amended Plat of Homewood, according to the plat thereof filed on January 11, 1956, and recorded in Official Records, Book 3, Page 75, Martin County, Florida, Public Records.

PLAT OF RE-ARBELA: Contourline of S. Ridgeview Road as monumented and platted bearing being N62°49'30"E

LIST OF POSSIBLE ENCROACHMENTS: SEE ABOVE

RLS #.	07-11-0814
CLIENT #.	1021-1282558
FIELD DATE:	11-16-07
DRAFTER:	SW
APPROVED:	IAE
SCALE:	1" = 30'

OK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

RECEIVED
11-23-09

REVISIONS - CORRECTIONS REQUEST FORM
MUST BE SUBMITTED FOR ALL CORRECTIONS AND REVISIONS

DATE: 11/17/09 PERMIT NUMBER: [REDACTED]

JOB ADDRESS: 19 South Ridgeway Road

PLEASE CHECK ONE OF THE FOLLOWING:

- CONDITION OF INSPECTION APPROVAL. (Needed for an inspection)
- CONDITION OF PERMIT APPROVAL: (Corrections/Permit not issued, in review process)
- REVISIONS (Changes to an issued permit)

****ALL PLAN REVISIONS MUST BE HIGHLIGHTED OR CLOUDED ON DRAWING****

ALL REVISED PAGES ARE REQUIRED TO BE INSERTED IN FIELD PERMIT SET

DESCRIPTION OF REVISION(S): [REDACTED]

DOES REVISION(S) CHANGE THE VALUE OF CONSTRUCTION? YES NO VALUE \$
INCREASED CONSTRUCTION VALUE WILL INCREASE PERMIT FEES AND MUST BE PAID AT TIME OF APPROVAL

CONTACT NAME: HOWARD HEITZ SIGNATURE: Howard Heitz

PHONE NUMBER: 954-709-8756 FAX NUMBER: 954-752-0061

FOR OFFICE USE ONLY:

Reviewed by: [Signature] Date: 11-24-09 Approve Deny

Additional conditioned space _____ sq. ft. @ \$104.65 per sq. ft. _____ x 2% = _____

Additional non-conditioned space _____ sq. ft. @ \$ 48.90 per sq. ft. _____ x 2% = _____

Other declared value increase (must be based on value not cost) _____ x 2% = _____

Other additional fees: _____ Revision review fee: _____ Pages @ \$25.00/Page _____

Radon Fee _____ Professional Regulation Fee _____ Road impact assessment _____

TOTAL ADDITIONAL BUILDING PERMIT FEE \$ N/A

Applicant notified by: Valerie 11-24-09 Date: _____

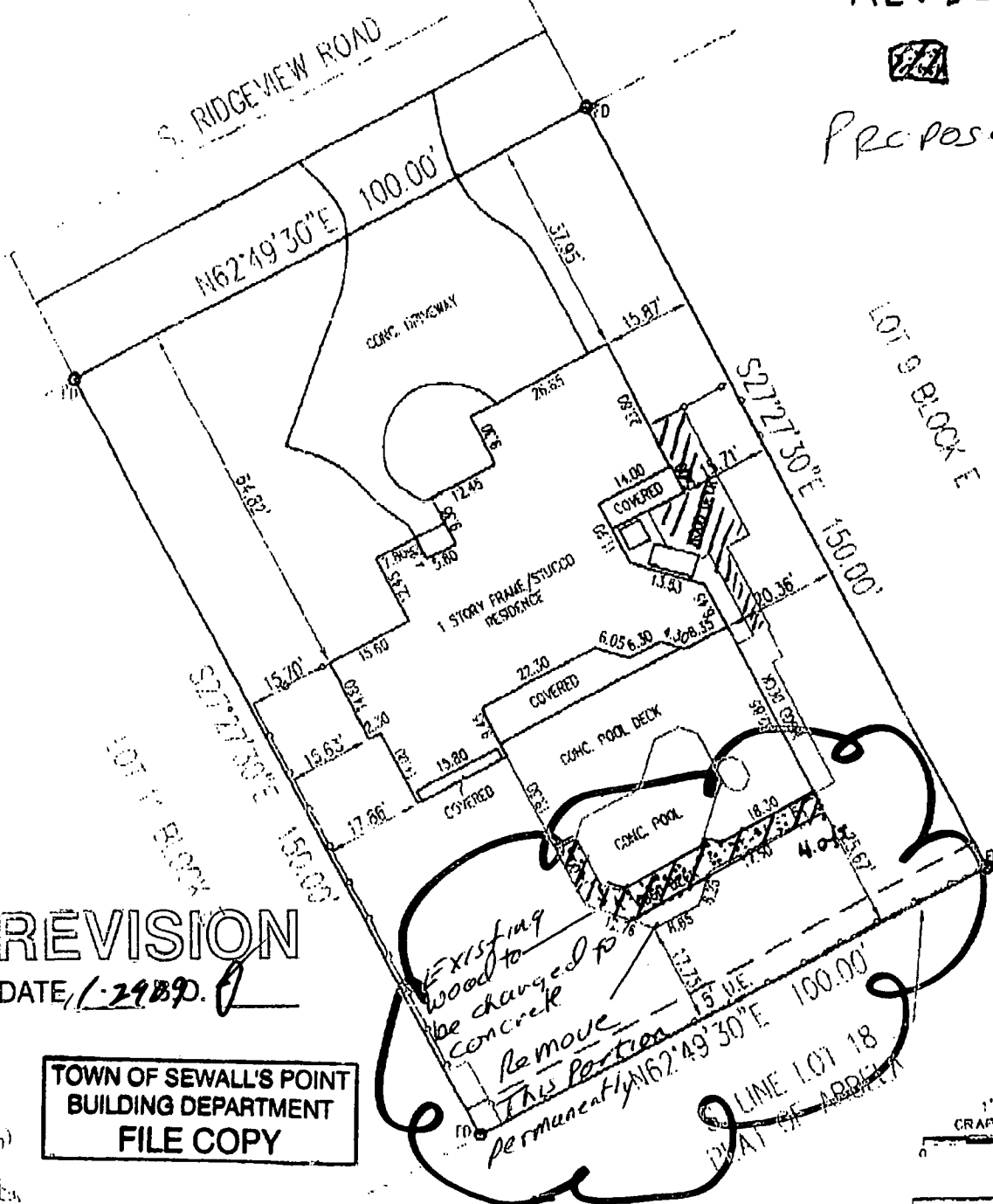
Boundary Survey

#2

REVISED



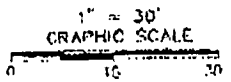
Proposed



REVISION

DATE 1-29-89

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY



RES #	07-11-0811
CLIENT #	003-110500
FIELD DATE	01-29-89
DRAWN BY	SM
APPROVED BY	SM
SCALE	1" = 30'

ADDRESS
19 South Ridgeway Road
Sewall's Point, Florida 34996

LEGAL DESCRIPTION (AS FURNISHED)

1.00 AC. of Lot 18, Block E of Ridgeway, according to the Plat thereof filed on January 11, 1975, and amended by the following records: Book 4, Page 35; Martin County, Florida, Public Records.

1.00 AC. of Lot 18, Block E of Ridgeway, according to the Plat thereof filed on January 11, 1975, and amended by the following records: Book 4, Page 35; Martin County, Florida, Public Records.

SEE REVISIONS AND ENCLOSURES: SEE ABOVE

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection: Mon Tue Wed Thur Fri Dec 15, 2009 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9311	SUBIN			
1:30	8 PALM CT	COLUMNS &	Pass	
	DRIFTWOOD	BERMS		INSPECTOR <i>JH</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9267	NUNNELEE			
	32 W HIGHT PT	FINAL	Pass	close
	DRIFTWOOD	POOL DECK & PATIO		INSPECTOR <i>JH</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9170	SCAFER			260-0711
	4 LAGOON ISLE CT	FINAL	Pass	close
	WALT POLLOCK	DECK		INSPECTOR <i>JH</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9265	19 S RIVERVIEW	PIER/PORCH	Pass	
<i>PM</i>	D. ESPIRITO	SCAB		INSPECTOR <i>JH</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
ED 2 LLC	4 RIVERVIEW SE	FINAL	Pass	all well
	CD 2			INSPECTOR <i>JH</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9317	VON SPADEN			No
	20 N. VIA LUCINDA	IN PROGRESS	CANCEL	RESET
	SEASIDE			INSPECTOR <i>JH</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9302	SHORE	WINDOES		WORK
	22 EMERITA	ATTACHMENT	FAIL	COVERED
	LOWES			INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection: Mon Tue Wed Thur Fri 12-22-09 Page 1 of 1

RMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
920	2000	Final		
	2000 Hill			
	Masterpiece			INSPECTOR
9304	Bay Tree / Kipling	Final window		close
	143 S River Rd	(call first)	PASS	
	Glasberg	284-8510		INSPECTOR
9321	9321 Watson	DRY - IN of METAL	FAIL	NOT READY
	16 River View			INSPECTOR
	Onshore			
9308	Morris	FINAL GAS	PASS	close
	64 SPPT RD			INSPECTOR
	M.C. PRYOR			
9311	Subin	bond beam		
1PM	3 Palm Ct		PASS	
	Drywood			INSPECTOR
9265	SANTANA			close
	19 S. River Rd	FINAL	PASS	706-0470
	M	Peak		INSPECTOR
				INSPECTOR

9502
FENCE



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9503	DATE ISSUED:	JULY 8, 2010
SCOPE OF WORK:	FENCE		
CONDITIONS :	WORK WITHOUT PERMIT		
CONTRACTOR:			
PARCEL CONTROL NUMBER:	013841-006-005-001004	SUBDIVISION	HOMEWOOD, L 10, BL E
CONSTRUCTION ADDRESS:	19 S RIDGEVIEW RD		
OWNER NAME:	SANTERAMO/WEBB		
QUALIFIER:	HOWARD JOHN HEITZ	CONTACT PHONE NUMBER:	954-709-8756

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

*Monster
 Const.*

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9503		
ADDRESS	19 S RIDGEVIEW RD		
DATE:	7/8/10	SCOPE:	FENCE

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K) (No plan submittal fee when value is less than \$100,000)		\$	
Total square feet air-conditioned space: (@ \$110.25 per sq. ft.)		s.f.	
Total square feet non-conditioned space: (@ \$51.60 per sq. ft.)		s.f.	
Total Construction Value:		\$	
Building fee: (2% of construction value SFR or >\$200K)		\$	
Building fee: (1% of construction value < \$200K + \$75 per insp.)			
Total number of inspections (Value < \$200K) @\$75 ea.		\$	
Radon Fee (\$.005 per sq. ft. under roof):		\$	
DBPR Licensing Fee: (\$.005 per sq. ft. under roof)		\$	
Road impact assessment: (.04% of construction value - \$5.00 min.)			
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	

ACCESSORY PERMIT	Declared Value:	\$	
Total number of inspections @ \$75.00 each		\$	250
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	
TOTAL ACCESSORY PERMIT FEE:		\$	250 work w/o permit

*Pa
 C/C# 1335*

STOP WORK ORDER

DATE: 6-28-10

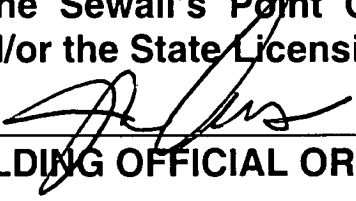
ADDRESS: 19 S. RIDGEVIEW

OWNER/CONTRACTOR is hereby notified to STOP WORK immediately upon reading this notice.

The work described below requires a permit:

UNPERMITTED FENCE
WORK
REQUIRES PERMIT
2ND WARNING \$250⁰⁰ FINE

Continued work from the date of this notice will constitute additional fines and prosecution through the Sewall's Point Code Enforcement Board and/or the State Licensing Board.



BUILDING OFFICIAL OR INSPECTOR

**DO NOT REMOVE THIS NOTICE
UNTIL PERMIT IS OBTAINED!**

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: 9503

Date: 6-30-10

OWNER/TITLEHOLDER NAME: PAT SANTERAMO/LYNNA WEA Phone (Day) 954-358-0458 (Fax)

Job Site Address: 19 Ridgewood Rd S City: Sewall's Pt State: FL Zip: 33916

Legal Description: Lot 10 - BK B HomeWood Parcel Control Number: Folio = 01 - 38 - 41 - 006 = 005 - 00100

Owner Address (if different): City: State: Zip:

SCOPE OF WORK (PLEASE BE SPECIFIC): Replace existing perimeter fence

WILL OWNER BE THE CONTRACTOR? (If yes, Owner/Builder questionnaire must accompany application) YES NO X

Has a Zoning Variance ever been granted on this property? YES (YEAR) NO (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications) Estimated Value of Improvements: \$ 2500.00 (Notice of Commencement required when over \$2500 prior to first inspection, \$1,500 on HVAC change out) Is subject property located in flood hazard area? VE10 AE9 AE6 X FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY: Estimated Fair Market Value prior to improvement: \$ (Fair Market Value of the Primary Structure only, Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: MARSPAN Construction Inc Phone: 954-709-8756 Fax: 954-752-0061

Qualifiers Name: DAVID ESPOSITO, Howard John Hertz Qualifier Street: 4138 NW 38th City: Coral Springs State: FL Zip: 33065

State License Number: SC058863 OR: Municipality: License Number:

LOCAL CONTACT: David Esposito Phone Number: 954-709-8756

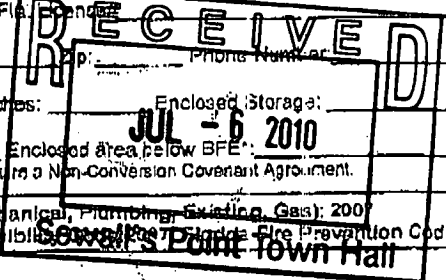
DESIGN PROFESSIONAL: N/A File #

Street: City: State: Zip: Phone Number:

AREAS SQUARE FOOTAGE: Living: Garage: Covered Patios/Porches: Enclosed Storage:

Carport: Total Under Roof Elevated Deck: Enclosed area below BFE: (Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.)

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Electrical, Gas); 2007 National Electrical Code: 2005/2008 after 8/1/09; Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007



NOTICES TO OWNERS AND CONTRACTORS:

- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCOMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 60-85.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - 5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER NOTORIZED SIGNATURE: (required per 713.135 F.S.) OF OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED) Pat Santeramo State of Florida, County of: BROWARD On This the 30th day of June 2010 by PAT SANTERAMO who is personally known to me or produced As identification: Lynna Wea

CONTRACTOR NOTORIZED SIGNATURE: (required per 713.135 F.S.) Howard John Hertz x Howard John Hertz State of Florida, County of: BROWARD On This the 30th day of June 2010 by DAVID ESPOSITO + Howard John Hertz who is personally known to me or produced As identification: Susan Minance

My Commission Expires: SUSAN MINANCE My Commission # DD578487

My Commission Expires: SUSAN MINANCE My Commission # DD578487 EXPIRES: July 26, 2010

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.2) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
governmentmax.com T1.13

Summary

print Address 2 of 2

Parcel Info

Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
01-38-41-006-005-00100-4	19 S RIDGEVIEW RD	17678	Address	0	1

Summary

Property Location 19 S RIDGEVIEW RD
Tax District 2200 Sewall's Point
Account # 17678
Land Use 101 0100 Single Family
Neighborhood 120400
Acres 0.344

Legal Description
Property Information
 HOMEWOOD, LOT 10 BLK E

Search By

- Parcel ID
- Owner
- Address**
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

Owner Information
Owner Information
 SANTERAMO, PATRICK A
 WEBB, LYNNE J

Mail Information
 441 SE 3RD ST APT 602
 DANIA FL 33004

Assessment Info
 Front Ft. 0.00

Market Land Value \$229,500
Market Impr Value \$213,840
Market Total Value \$443,340

Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Recent Sale
 Sale Amount \$574,000

Sale Date 12/5/2007
Book/Page 2295 0139

Print | Back to List | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 4/29/2010



INSTR # 2220012 OR BK 02463 PG 0653 RECD 07/02/2010 01:15:36 PM Pg 0653f (1p9) MARSHA EWING MARTIN COUNTY DEPUTY CLERK S PHOENIX

NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: _____ TAX FOLIO #: 01-38-41-0006-0005-00100

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):

Lot 10 B/E E Homeland

GENERAL DESCRIPTION OF IMPROVEMENT: Replace existing fence

OWNER NAME: Pet Santeramo / Lynn Welch

ADDRESS: 19 Ridgewood Rd South, Sawaltee Plant
PHONE NUMBER: 904-252-4495 FAX NUMBER: 904-735-1823

INTEREST IN PROPERTY: 100% ownership

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

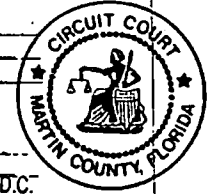
CONTRACTOR: Marstan Construction Inc

ADDRESS: 4138 NW 28th Ave Coral Springs FL 33065
PHONE NUMBER: 954-709-8750 FAX NUMBER: 954-522-0067
MARTIN COUNTY

SURETY COMPANY (IF ANY):

ADDRESS: NA
PHONE NUMBER: _____
BOND AMOUNT: _____

THIS IS TO CERTIFY THAT THE
PAGE(S) GOING _____ PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.
MARSHA EWING, CLERK



LENDER/MORTGAGE COMPANY:

ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____ D.C.

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER, UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME: N/A

ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES N/A OF FLORIDA STATUTES: TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B).

PHONE NUMBER: _____ FAX NUMBER: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
(EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Pet Santeramo 6/30/10
SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

SIGNATORY'S TITLE/OFFICE _____

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 30 DAY OF June, 2010

BY: Pet Santeramo AS _____ FOR _____
NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION _____

TYPE OF IDENTIFICATION PRODUCED _____

NOTARY SIGNATURE/ SEAL

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

Pet Santeramo
(Signature of Natural Person Signing Above)



1167281-2436

Page 5

EASEMENT AGREEMENT

Date:

6/23/10

Gentlemen:

I propose to apply for a Town of Sewall's Point permit to erect a Perimeter Fence replacement

in the (utility/drainage) easement on my property located at 19 Ridge View Rd South

Sewall's Point, FL 34986

LEGAL DESCRIPTION: LOT _____, BLOCK _____, SUBDIVISION _____

(Give a brief description of dimensions and location from property lines)

See attached Site Plan

In the event you have no objection to this project, please complete this form and return to me at: 954-752-0061
FAX: DAVID

Address:

City: _____ State: _____ Zip: _____

I understand your company will not be responsible in any way for repair or replacement of any portion of this _____ and that any removal or replacement of such, necessary for your use of this easement will be done at my expense.

I acknowledge that I will be responsible for any damage caused to your facilities in this (utility/drainage) easement by the construction or maintenance of this structure.

Signed: Pat Hearn Phone: 954-258-4495
Contractor: 954-709-8756

THE FOLLOWING IS TO BE COMPLETED BY UTILITY COMPANY**

We agree to the proposed construction under the circumstances described above.

Company: AT&T

By: Susan Moore

Title: Mgr OSP Eng & Design

Company records indicate that a potential conflict DOES DOES NOT exist.

The conflict consists of: Buried Cable in rear easement
Please call for locates before digging

UTILITY CONTACT LIST

o/c MARIEN COUNTY UTILITIES: PHIL KEATHLY 772-223-7971 JIM CHRIST 772-288-3034
223-4209 Shari Allure
223-4253 223-4261

FLORIDA POWER AND LIGHT: BOB PIRSON, TANEISHA WHILBY 772-223-4253
692-0759 FAX Wood 561-662-8792

COMCAST: WAYNE INGRAM 772-492-9010 EXT. 223-772-
464-4137 FAX Tech 655-3842
Supt

BELLSOUTH (AT&T): SHEILA 772-460-4407

↓ 888-257-6500

8/4/17
2-22-20
Comcast

... to: Volante

Gentleman: I propose to apply for a Town of Sewall's Point permit to erect a Back Gate for Fence easement on my property located at 19 Ridge View Rd South Sewall's Point, FL

Date: 6/2-3/06

LEGAL DESCRIPTION: LOT _____, BLOCK _____, SUBDIVISION _____

(Give a brief description of dimensions and location from property lines.)
500 Cottrell Lane

In the event you have no objection to this project, please complete this form and return to me at:
954-752-0061 FAX: DAVID

Address: _____
 City: _____ State: _____ Zip: _____

I understand your company will not be responsible in any way for repair or replacement of any portion of FENCE and that any removal or replacement of such, necessary for your use of this easement will be done at my expense.

I acknowledge that I will be responsible for any damage caused to your facilities in this (utility/drainage) easement by the construction or maintenance of this structure.

Signature: X Park Johnson
 Phone: 954-258-4495
 Contract: 954-709-8756

We agree to the proposed construction under the circumstances described above.

Company: Comcast
 By: Tim Henderson
 Title: Field Supervisor

Company records indicate that a potential conflict does not exist exists 48 HOURS BEFORE DIGGING.

UTILITY CONTACT LIST:
1-800-432-4770

MARTIN COUNTY UTILITIES: PHIL KEATHLY 772-223-1971 JIM CHRIST 772-288-3034
 FLORIDA POWER AND LIGHT: BOB PIRSON, TANISHA WHILBY 772-223-4253
 COMCAST: ~~772-692-9010 EXT: 692-0759~~ FAX
 BELLSOUTH (AT&T): SHEILA 772-460-4407 FAX

772-466-5651

Jun 23 2010 8:31AM HP LASERJET FAX

772-287-2999

P.2/3
page 3

EASEMENT AGREEMENT

Date: 6/23/10

Gentleman:

I propose to apply for a Town of Sewall's Point permit to erect a Perimeter Fence replacement
In the (utility/drainage) easement on my property located at 19 Ridge View Rd South
Sewall's Point, FL

LEGAL DESCRIPTION: LOT _____, BLOCK _____, SUBDIVISION _____

(Give a brief description of dimensions and location from property lines)

See attached Site Plan

In the event you have no objection to this project, please complete this form and return to me at: 954-752-0061

Address: _____

FAX: DAVID

City: _____ State: _____ Zip: _____

I understand your company will not be responsible in any way for repair or replacement of any portion of
This _____ and that any removal or replacement of such, necessary for your use of this
easement will be done at my expense.

I acknowledge that I will be responsible for any damage caused to your facilities in this (utility/drainage)
easement by the construction or maintenance of this structure.

Signed: X Park Street Phone: 954-258-4495

Contractor: 954-709-8756

THE FOLLOWING IS TO BE COMPLETED BY UTILITY COMPANY***

We agree to the proposed construction under the circumstances described above.

Company: Martin County Utilities

By: Jim Christ

Title: Associate Planner

Company records indicate that a potential conflict DOES DOES NOT exist.

The conflict consists of: _____

UTILITY CONTACT LIST

MARTIN COUNTY UTILITIES: PHIL KEATHLY 772-223-7977 JIM CHRIST 772-288-3034 954-419-4110

FLORIDA POWER AND LIGHT: BOB PIRSON, TAMEISHA WHILBY 772-223-4253 407-422-21

COMCAST: WAYNE INGRAM 772-692-9010 EXT. 29 692-0759 FAX

BELLSOUTH (AT&T): SHEILA 772-460-4407 464-4137 FAX

~~288-8116~~

Jun 23 2010 8:31AM HP LASERJET FAX

772-287-2455

Page 2

EASEMENT AGREEMENT

Date:

6/23/10

Gentlemen:

I propose to apply for a Town of Sewall's Point permit to erect a perimeter fence replacement in the (utility/drainage) easement on my property located at 19 Ridge View Rd South Sewall's Point, FL

LEGAL DESCRIPTION: LOT _____, BLOCK _____, SUBDIVISION _____

(Give a brief description of dimensions and location from property lines)

See attached Site Plan

In the event you have no objection to this project, please complete this form and return to me at:

954-752-0061
FAX: DAVID

Address:

City: _____ State: _____ Zip: _____

I understand your company will not be responsible in any way for repair or replacement of any portion of this _____ and that any removal or replacement of such, necessary for your use of this easement will be done at my expense.

I acknowledge that I will be responsible for any damage caused to your facilities in this (utility/drainage) easement by the construction or maintenance of this structure.

Signed: X Park & Stearns Phone: 954-258-4495
Contractor: 954-709-8756

***** THE FOLLOWING IS TO BE COMPLETED BY UTILITY COMPANY *****

We agree to the proposed construction under the circumstances described above.

Company: Florida Power + Light
By: Shari Allore - Shari Allore
Title: Senior Planning

Company records indicate that a potential conflict DOES DOES NOT exist.

The conflict consists of: _____

UTILITY CONTACT LIST

- MARTIN COUNTY UTILITIES: PHIL KEATHLY 772-223-7977 JIM CHRIST 772-288-3034 223-4209 Shari Allore
- ✓ FLORIDA POWER AND LIGHT: BOB PIRSON, TANEISHA WHILBY 772-223-4255 954-3-4221
- ✓ COMCAST: WAYNE INGRAM 772-692-9010 EXT. 29 692-0759 FAX
- BELLSOUTH (AT&T): SHEILA 772-460-4407 464-4137 FAX

RAK
414-4110
Shari Allore
954-3-4221

MARSTAN CONSTRUCTION, INC

HOWARD JOHN HEITZ
DAVID S. ESPOSITO
MICHAEL ESPOSITO
GREGORY F. ESPOSITO
4138 N.W. 78th LANE
CORAL SPRINGS, FLORIDA 33065

Phone (954) 752-0061
Fax: (954) 752-0061
Cell: (954) 709-8756, 536-7280
LIC./INS. LIC. # CGC05585

June 30, 2010

City of Sewall's Point
Building Dept.

Re: 19 Ridgeview Rd. South

We propose to remove existing shadow box pressure treated wood perimeter fence and replace with same, as per enclosed survey.

Any questions may be directed to David Esposito, President

954-709-8756

6' High Fence

8' PT Fence Post 2' Embedment in ground

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 8.5 2010 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9507	SWARTZ	TENNIS BLDG	V.1a ELEC	PASS
SLABS PM	73 N. SEWALLS PARK MOSELEY & SON		SLABS	INSPECTOR
9327	WOODS			2ND LIFT
PM	32 E. HIGH RD CAPITOL	STAIRS	PASS	INSPECTOR
9424	BABBITT	Final Roof	PASS	Close
	76 S Sewalls Onshore Roofing	(0911)		INSPECTOR
9503	SANDERSON	Final Fence	PASS	Close
	195 Ridgeview Rd Marsten Const			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

9990

GARAGE DOOR



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	9990	DATE ISSUED:	FEBRUARY 1, 2012
SCOPE OF WORK:	REPLACE GARAGE DOOR		
CONTRACTOR:	AAA ACCENT GARAGE DOORS		
PARCEL CONTROL NUMBER:	013841006005001004	SUBDIVISION	HOMWOOD, L10, BL E
CONSTRUCTION ADDRESS:	19 S RIDGEVIEW RD		
OWNER NAME:	SANTORAMO		
QUALIFIER:	JOHN HARBINSON	CONTACT PHONE NUMBER:	201-8914

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM – MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF-SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

Permit Number: **9990**

Date: 1-31-12
 OWNER/TITLEHOLDER NAME: PAT SANTERANO Phone (Day) 954 258 4495 (Fax) _____
 Job Site Address: 19 RIDGEVIEW RD SOUTH City: SEWALLS PT. State: FL Zip: _____
 Legal Description _____ Parcel Control Number: _____
 Owner Address (if different): _____ City: _____ State: _____ Zip: _____

SCOPE OF WORK (PLEASE BE SPECIFIC): TO REPLACE 18X8 HERITAGE 3000 (AMARR)

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner Builder questionnaire must accompany application)
 YES _____ NO _____
Has a Zoning Variance ever been granted on this property?
 YES _____ (YEAR) _____ NO _____
 (Must include a copy of all variance approvals with application)

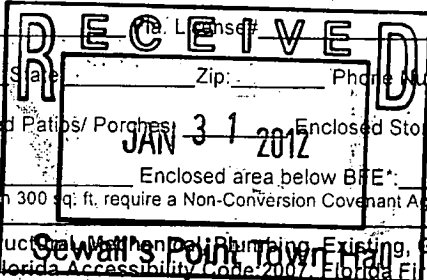
COST AND VALUES: (Required on ALL permit applications)
 Estimated Value of Improvements: \$ 2185.00
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
 Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
 Estimated Fair Market Value prior to improvement: \$ _____
 (Fair Market Value of the Primary Structure only, Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: ACCENT GARAGE DOORS Phone: 772 331 7733 Fax: _____
 Qualifiers name: JOHN HARBINSON Street: 3066 S.E. MIRACLE LANE City: P-S-L State: FL Zip: 34952
 State License Number: ~~6065584~~ OR: Municipality: _____ License Number: MARTIN/COG5581

LOCAL CONTACT: JOHN HARBINSON Phone Number: 772-201-8914

DESIGN PROFESSIONAL: _____
 Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: 18X8 Covered Patios/ Porches: _____ Enclosed Storage: _____
 Carport: _____ Total under Roof: _____ Elevated Deck: _____ Enclosed area below BFE: _____
 * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.



CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007
 National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

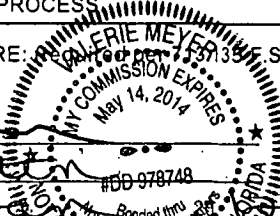
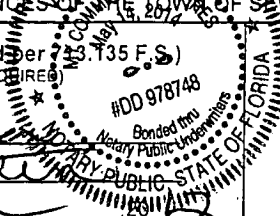
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS; OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1. 105.4.1.1 - .5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN THIS PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER NOTORIZED SIGNATURE: (required per 733.135 F.S.)
 OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)
Patrick Santeramo
 State of Florida, County of: Martin
 On This the 31 day of Jan
 by Patrick Santeramo who is personally
 known to me or produced FD# S536-661-47-380-0
 As identification.
Valerie Meyer
 Notary Public
 My Commission Expires: _____

CONTRACTOR NOTORIZED SIGNATURE: (required per 733.135 F.S.)
John Harbinson
 State of Florida, County of: Martin
 On This the 31 day of Jan
 by John Harbinson who is personally
 known to me or produced FD# 11615-11111111-004-0
 As identification.
Valerie Meyer
 Notary Public
 My Commission Expires: _____



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

Martin County, Florida
Laurel Kelly, C.F.A

generated on 1/31/2012 10:53:43 AM EST

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
01-38-41-006-005-00100-4	17678	19 S RIDGEVIEW RD, SEWALL'S POINT	\$365,930	1/28/2012

Owner Information

Owner(Current)	SANTERAMO PATRICK A WEBB LYNNE J
Owner/Mail Address	441 SE 3RD ST APT 602 DANIA FL 33004
Sale Date	12/5/2007
Document Book/Page	2295 0139
Document No.	2053681
Sale Price	574000

Location/Description

Account #	17678	Map Page No.	SP-04
Tax District	2200	Legal Description	HOMEWOOD, LOT 10 BLK E
Parcel Address	19 S RIDGEVIEW RD, SEWALL'S POINT		
Acres	.3440		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120400 Hmwd, Palm Ro, Kngstr, Okwd, Pine

Assessment Information

Market Land Value	\$175,000
Market Improvement Value	\$190,930
Market Total Value	\$365,930



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

TABLE 1609.6(2)

ADJUSTMENT FACTOR FOR BUILDING HEIGHT AND EXPOSURE, (z)

MEAN ROOF HEIGHT (feet)	EXPOSURE		
	B	C	D
15	1.00	1.21	1.47
20	1.00	1.29	1.55
25	1.00	1.35	1.61
30	1.00	1.40	1.68
35	1.05	1.45	1.70
40	1.09	1.49	1.74
45	1.12	1.53	1.78
50	1.16	1.56	1.81
55	1.19	1.59	1.84
60	1.22	1.62	1.87

For SI: 1 foot = 304.8mm.

FORMULA FOR DESIGN PRESSURES

Example: 25 ft mean roof height, exposure C
 16 X 7 Door 140mph.

Pressure	Exposure C multiplier	Req. Design Pressure
29.7	X 1.35	= +40.095
-33.1	X 1.35	= -44.685

Garage Door must be rated at +40.1/-44.68 minimum. **This formula must be completed for exposure C:**

Pressure	Exposure C multiplier	Req. Design Pressure
29.7	X 1	= 29.7 (+)
-33.1	X 1	= -33.1 (-)

TABLE 1609.6(1)

GARAGE DOOR WIND LOADS FOR A BUILDING WITH A MEAN ROOF HEIGHT OF 30 FEET LOCATED IN EXPOSURE B (psf)

EFFECTIVE WIND AREA		Basic Wind Speed V (mph - 3 second gust)							
Width (ft)	Height (ft)	85	90	100	110	120	130	140	150
Roof Angle 0-10 degrees									
8	8	10.5 -11.9	11.7 -13.3	14.5 -16.4	17.5 -19.9	20.9 -23.6	24.5 -27.7	28.4 -32.2	32.6 -36.9
10	10	10.1 -11.4	11.4 -12.7	14.0 -15.7	17.0 -19.0	20.2 -22.7	23.7 -26.6	27.5 -30.8	31.6 -35.4
14	14	10.0 -10.7	10.8 -12.0	13.3 -14.8	16.1 -17.9	19.2 -21.4	22.5 -25.1	26.1 -29.1	30.0 -33.4
Roof Angle > 10									
9	7	11.4 -12.9	12.8 -14.5	15.8 -17.9	19.1 -21.6	22.8 -25.8	26.7 -30.2	31.0 -35.1	35.6 -40.2
16	7	10.9 -12.2	12.3 -13.7	15.2 -16.9	18.3 -20.4	21.8 -24.3	25.6 -28.5	29.7 -33.1	34.1 -38.0

For SI: 1 Square foot = 0.929 Sqm, 1 mph = 0.447 m/s, 1 psf = 47.88 N/sqm

1. For effective areas or wind speeds between those given above the load may be interpolated, otherwise use the load associated with the lower effective area.

2. Table values shall be adjusted for height and exposure by multiplying by adjustment coefficients in Table 1609.2D.

3. Plus and minus signs signify pressures acting toward and away from the building surfaces.

4. Negative pressures assume door has 2 feet of width in building's end zone.

18 x 8

1609.6 Garage doors. Pressures from Table 1609.6(1) for wind loading actions on garage doors for Buildings designed as enclosed shall be permitted.

18 x 8 Heritage 3000



MIAMI-DADE COUNTY
BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1107
MIAMI, FLORIDA 33130-1563
(305) 375-2902 FAX (305) 375-2908

www.miamidade.gov/buildingcode

NOTICE OF ACCEPTANCE (NOA)

Amarr Garage Doors.
165 Carriage Court
Winston-Salem, NC 27105

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (in Miami Dade County) and/or the AHJ (in areas other than Miami-Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code. This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: Model 1200, Heritage 3000 Short, Long and Flush Panel.

APPROVAL DOCUMENT: Drawing No. IRC-1218-165-26-I, Sheets 1 through 2 of 2, titled "Model #1200 Heritage 3000 Short, Long and Flush Panels" dated 06/07/07, prepared by Amarr Garage Doors, signed and sealed by Thomas L. Shelmerdine, P.E. Bearing the Miami-Dade County Product Control Approval stamp with the NOA number and approval date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large & Small Missile.

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official. This NOA consists of this page 1, evidence page E-1, as well as approval document mentioned above.

The submitted documentation was reviewed by **Carlos M. Utrera, P.E.**



[Signature]
9/10/07

NOA No: 07-0820.05
Expiration Date: October 4, 2012
Approval Date: October 4, 2007
Page 1

Amarr Garage Doors

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

A. DRAWINGS

1. Drawing No. IRC-1216-175-26-I, Sheets 1 through 2 of 2, titled "Model #1200 Heritage 3000 Short, Long and Flush Panels" dated 05/08/07, prepared by Amarr Garage Doors, signed and sealed by Thomas L. Shelmerdine, P.E.

B. TESTS

1. Test report on 1) Uniform Static Air Pressure Test, per FBC TAS 202-94,
2) Large Missile Impact Test, per FBC TAS 201-94,
3) Cyclic Wind Pressure Test Loading, per FBC TAS 203-94,
along with marked-up drawings, prepared by American Test Lab, Inc., Report # ATLNC 0604.01-07, dated 06/30/07, signed and sealed by David W. Johnson, P.E.
2. Test report on Evaluation of Painted or Coated Specimens Subject to Corrosive Environments per ASTM D1654-92 & ASTM B117-95, prepared by ETC Laboratories, Report # ETC-03-816-13287.1, dated 07/15/03, signed and sealed by Joseph L. Doldan, P.E.

C. CALCULATIONS

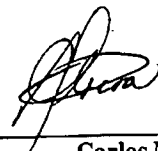
1. Calculations prepared by Structural Solutions, P.A., project 07-056, dated 07/29/07, signed and sealed by Thomas L. Shelmerdine, P.E.

D. STATEMENTS

1. Code compliance and no financial interest letter issued by Structural Solutions, PA., dated 07/30/07, signed and sealed by T. L. Shelmerdine, P.E.
2. Notice of Acceptance request letter issued by Amarr Garage Doors, dated 07/25/07, signed by Danny Joyner, Applications Engineering Manager.

E. MATERIAL CERTIFICATION

1. Test report on Tensile Test for 3 Samples per ASTM E 8, prepared by Hurricane Engineering & Testing Inc., Report # HETI-07-T734, dated 06/26/07, signed and sealed by Candido F. Font, P.E.

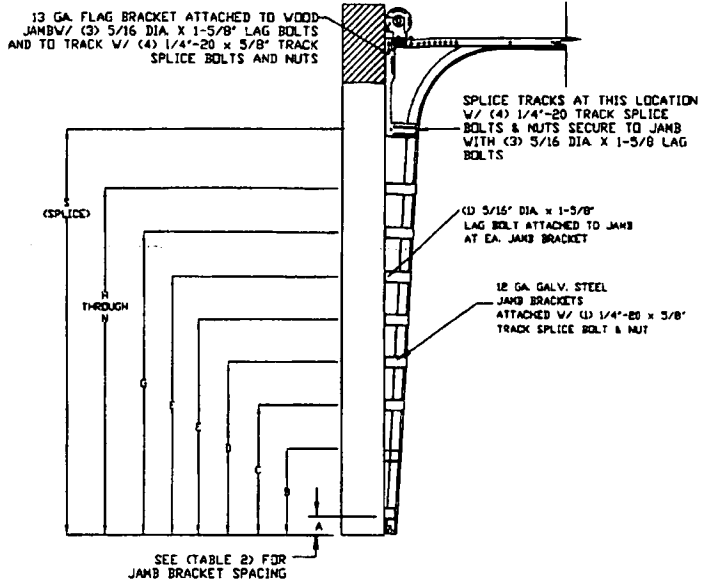


9/10/07

Carlos M. Utrera, P.E.
Product Control Examiner
NOA No 07-0820.05
Expiration Date: October 4, 2012
Approval Date: October 4, 2007

SPECIFICATIONS AND NOTES

- ALL THE LOAD FROM THE DOOR IS TRANSFERRED TO THE VERTICAL TRACK. FROM THE TRACK THE LOAD IS TRANSFERRED TO THE VERTICAL JAMBS. THE HORIZONTAL JAMB OR HEADER RECEIVES NO PORTION OF THE LOAD TRANSFERRED FROM THE DOOR.
- EACH VERTICAL JAMB RECEIVES MAXIMUM DESIGN LOADS OF: +378.0 LBS/FT & -414.0 LBS/FT
- DOOR AND HARDWARE WILL BE DESIGNED, MANUFACTURED AND INSTALLED WITH STANDARDS AS SET FORTH BY DASMA.
- DOOR SECTIONS SHALL BE 24 GA. (.022) MIN. EXTERIOR SKIN ROLLED FORMED, G-40 GALVANIZATION W/ BAKED ON POLYESTER FINISH
- DOORS USE (1) 5.5" 18 GA R-TRUSS PER SECTION AND (1) 3" 20 GA STRUT ON THE BOTTOM SECTION.
- DOORS OVER (4) SECTIONS REFER TO TABLE 1
- SUPPORTING STRUCTURAL ELEMENTS SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER FOR WIND LOADS INDICATED ON THIS DRAWING IN ADDITION TO OTHER LOADINGS.
- THE METHOD OF TESTING WAS IN SUBSTANTIAL CONFORMANCE WITH THE PROCEDURES DESCRIBED IN ASTM E330-02, ASCE 7-02, AND FLA. BUILDING CODE PROTOCOLS TAS 201, 202, 203 WIND LOAD DESIGN CRITERIA.
- THIS APPROVAL REQUIRES THE MANUFACTURER TO DO TESTING OF ALL COILS USED TO FABRICATE DOOR PANELS UNDER THIS NOTICE OF ACCEPTANCE. A MINIMUM OF 2 SPECIMENS SHALL BE CUT FROM EACH COIL AND TENSILE TESTED ACCORDING TO ASTM E-8 BY A DADE COUNTY APPROVED LAB SELECTED AND PAID BY THE MANUFACTURER. EVERY 3 MONTHS, 4 TIMES A YEAR, THE MANUFACTURER SHALL MAIL TO THIS OFFICE: A COPY OF THE TEST REPORTS WITH CONFIRMATION THAT THE SPECIMENS WERE SELECTED FROM COILS AT THE MANUFACTURER PRODUCTION FACILITIES. AND A NOTARIZED STATEMENT FROM THE MANUFACTURER THAT ONLY COILS WITH YIELD STRENGTH OF 43800 PSI OR MORE SHALL BE USED TO MAKE DOOR PANELS FOR DADE COUNTY UNDER THIS NOTICE OF ACCEPTANCE.



STANDARD TRACK CONFIGURATION FOR 6'6" UP TO 14' TALL DOORS
N.T.S.

Approved as complying with the Florida Building Code
Date 10/4/07
NOTAR 07-0520-05
Miami Dade Product Control
Division
By: [Signature]

TABLE 1

DOOR HEIGHT	SECTION HEIGHTS							
	#1	#2	#3	#4	#5	#6	#7	#8
14' 0"	21"	21"	21"	21"	21"	21"	21"	21"
13' 6"	21"	21"	21"	21"	21"	18"	18"	21"
13' 0"	21"	21"	21"	18"	18"	18"	18"	21"
12' 6"	21"	18"	18"	18"	18"	18"	18"	21"
12' 0"	21"	21"	21"	21"	21"	18"	18"	21"
11' 6"	21"	21"	21"	18"	18"	18"	18"	21"
11' 0"	21"	18"	18"	18"	18"	18"	18"	21"
10' 6"	21"	21"	21"	21"	21"	21"		
10' 0"	21"	21"	21"	18"	18"	21"		
9' 6"	21"	18"	18"	18"	18"	21"		
9' 0"	18"	18"	18"	18"	18"	18"		
8' 6"	21"	21"	21"	18"	21"			
8' 0"	21"	18"	18"	18"	21"			
7' 6"	18"	18"	18"	18"				
7' 0"	21"	21"	21"	21"				
6' 6"	21"	18"	18"	21"				

TABLE 2

DOOR HEIGHT	TRACK ATTACHMENT														SPLICE	
	A	B	C	D	E	F	G	H	I	J	K	L	M	N		S
6' 6"	3"	14"	27"	38"	48"	56"	64"									70"
7'	3"	14"	27"	38"	48"	56"	68"									78"
7' 6"	3"	14"	27"	38"	48"	56"	68"	78"								82"
8'	3"	14"	27"	38"	48"	56"	68"	78"								88"
8' 6"	3"	14"	27"	38"	48"	56"	68"	78"	88"							94"
9'	3"	14"	27"	38"	48"	56"	68"	78"	88"							100"
9' 6"	3"	14"	27"	38"	48"	56"	68"	78"	88"	98"						108"
10'	3"	14"	27"	38"	48"	56"	68"	78"	88"	100"						112"
10' 6"	3"	14"	27"	38"	48"	56"	68"	78"	88"	100"	110"					118"
11'	3"	14"	27"	38"	48"	56"	68"	78"	88"	100"	110"					124"
11' 6"	3"	14"	27"	38"	48"	56"	68"	78"	88"	100"	110"	120"				130"
12'	3"	14"	27"	38"	48"	56"	68"	78"	88"	100"	110"	122"				136"
12' 6"	3"	14"	27"	38"	48"	56"	68"	78"	88"	100"	109"	122"	132"			142"
13'	3"	14"	27"	38"	48"	56"	68"	78"	88"	100"	114"	122"	134"			148"
13' 6"	3"	14"	27"	38"	48"	56"	68"	78"	88"	100"	109"	122"	134"	144"		154"
14'	3"	14"	27"	38"	48"	56"	68"	78"	88"	100"	114"	122"	134"	146"		160"

MAX SIZE 18' x 14'

DESIGN LOADS +42.0 PSF -46.0 PSF

LARGE MISSILE IMPACT RESISTANCE

[Handwritten Signature]

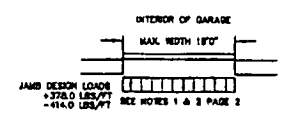
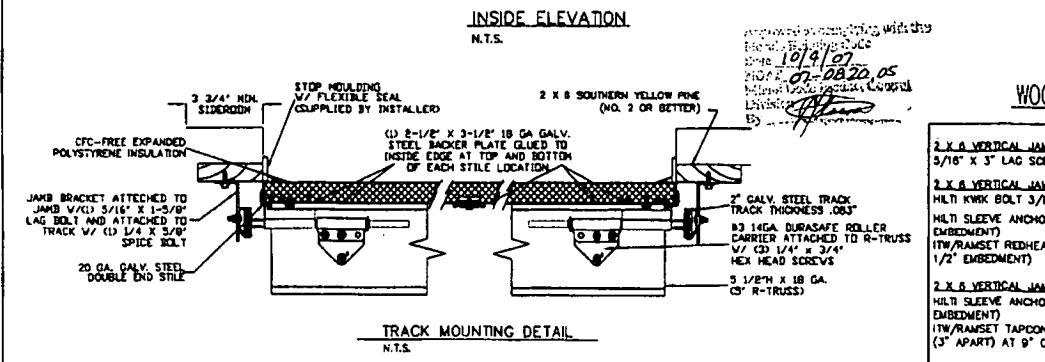
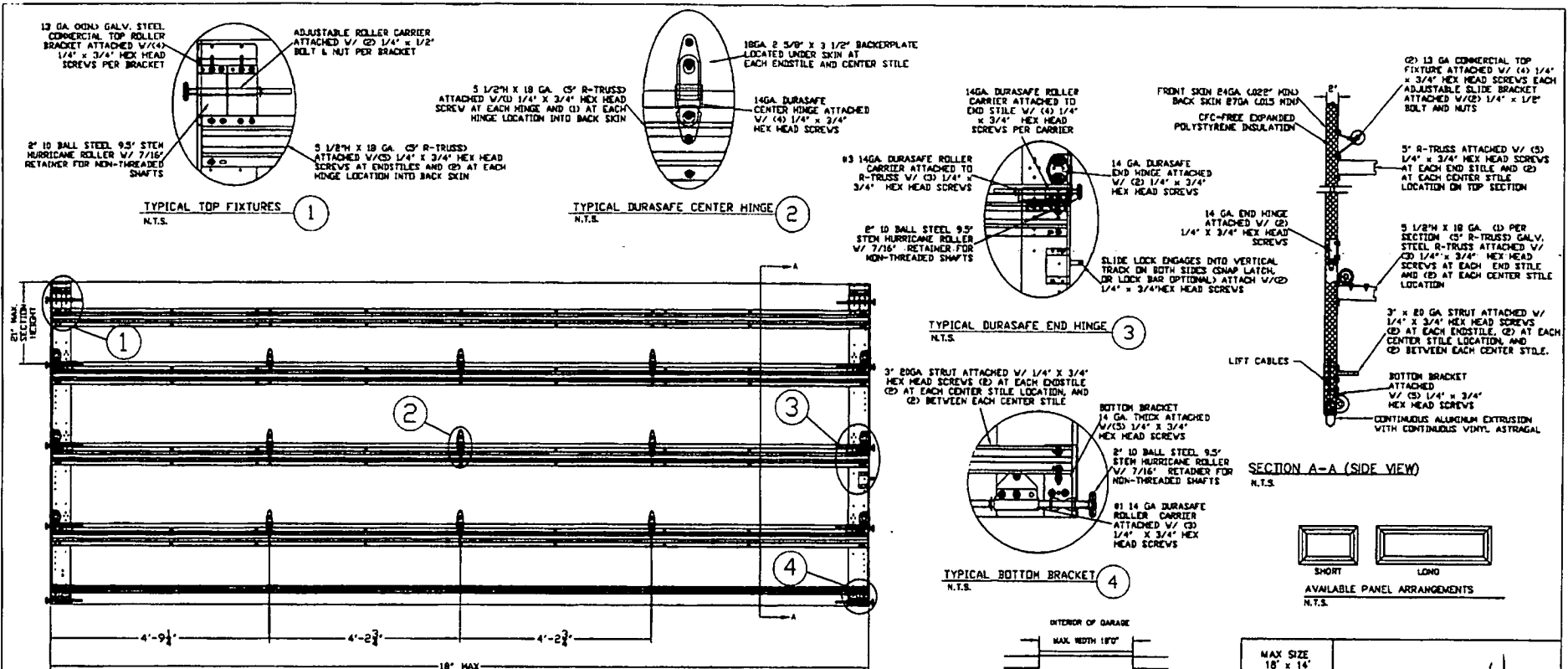
Amarr

165 CARRIAGE COURT WINSTON-SALEM, NC 27105 WWW.AMARR.COM

MODEL #1200 HERITAGE 3000
Short, Long, & Flush Panels

SIZE	DRAWN BY	SKP	DATE	5/21/07	DRAWING NUMBER
B	CHECKED BY	ENG	DATE	6/07/07	IRC-1218-165-26-1

SHEET 2 OF 2



WOOD JAMB ATTACHMENT TO STRUCTURE

2 X 6 VERTICAL JAMB ATTACHMENT TO WOOD FRAME STRUCTURE
 3/16" X 3" LAG SCREWS STARTING 6" FROM ENDS THEN 18" O.C. (1 1/4" EMBEDMENT)

2 X 6 VERTICAL JAMB ATTACHMENT TO 2000 PSI CONCRETE
 MULTI KWIK BOLT 3/8" X 4" STARTING 6" FROM ENDS THEN 24" O.C. (2 1/2" EMBEDMENT)
 MULTI SLEEVE ANCHOR 3/8" X 2-3/4" STARTING 6" FROM ENDS THEN 12" O.C. (1 1/4" EMBEDMENT)

2 X 6 VERTICAL JAMB ATTACHMENT TO C-RO BLOCKS
 MULTI SLEEVE ANCHOR 3/8" X 2-3/4" STARTING 6" FROM ENDS THEN 12" O.C. (1 1/4" EMBEDMENT)
 (TW/RAMSET TAPCON 1/4" X 2-3/4" STARTING 6" FROM ENDS, USE PAIRS OF FASTENERS (3" APART) AT 9" O.C. (1 1/4" EMBEDMENT)

*LAGS AND BOLTS CAN BE COUNTERSUNK TO PROVIDE A FLUSH MOUNTING SURFACE.
 *PREPARATION OF WOOD JAMBS BY OTHERS

MAX SIZE 18" x 14"	
DESIGN LOADS +42.0 PSF -46.0 PSF	
LARGE MISSILE IMPACT RESISTANCE	

Amarr	
165 CARRIAGE COURT WINDSTON-SALEM, N.C. 27159 WWW.AMARR.COM	
MODEL #1200 HERITAGE 3000	
Short, Long, & Flush Panels	
SIZE B	DRAWN BY SKV
CHECKED BY BNC	DATE 5/21/07
DATE 6/07/07	DRAWING NUMBER IRC-1218-165-26-1
SHEET 1 OF 2	

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **2-8-12** Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9900	Elliott	Final		
130	25 W High Pt Stuart Paint Supply	windows	Cancel	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9990	Somerville	Final	Pass	Close
	T.S. Bergeron	Garage Door	Pass	Close
	AAA Accent Garage			INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9975	Majewski			
	24 E High Pt	FINAL	PASS	Close
	Deedens Const	Chimney		INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9987	Miele			
	6 E. H. Point	Pavers	PASS	Close
	T-Coast Pavers	FINAL		INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9978	Bailey	Final		
	117 N Sewalls	Demo	PASS	Close
	Brownie			INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
8949	Majewski	Final		
	24 E High Pt	Fil	PASS	Close
	Nail Balance			INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TREE PERMITS

435

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Permit # _____

Date Issued _____

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc..

Owner MICHAEL + CHRISTINE SWEET Address 1229 N FORK Rd STUART Phone 692-1322 283-4428

Contractor Bobby Wall Address _____ Phone _____

Number of trees to be removed (list kinds of trees) UNKNOWN - TREES REMOVED ONLY AS NECESSARY TO FIT IN HOUSE + POOL + DRAW FIELD.

Number of trees to be relocated within 30 days (no fee) (list kinds of trees) TO BE DETERMINED AT TIME OF CLEARING.

Number of trees to be replaced within 30 days (list kinds of trees) NA

Permit Fee: \$ 25.00 (\$5. for first tree plus \$1. for each additional tree - not to exceed \$25.)

(No permit fee for trees which are relocated on property or lie within a utility easement and are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted _____ Plans approved as marked _____

Permit good for one year. Fee for renewal of expired permit \$5.

Signature of applicant [Signature] Date submitted _____

Approved by Building Inspector _____ Date _____

Approved by Building Commissioner _____ Date _____

Completed _____ Date _____ Checked by _____

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT OBTAINING A PERMIT: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSES OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA.