

# 5 Rio Vista Drive

RECEIVED  
DEC 14 1976

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Permit No. #656  
12/16/76  
Date 14 December 1976

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable)

Owner Gustav Schickedanz, Trustee Present Address 2300 SE Ocean Blvd Stuart, Fl 33494 Ph 283-0060

General Contractor Roger Morgan Address Same as above Ph " "

Where licensed Martin Co. License No. 27

Plumbing Contractor JOHN HEIDINGER license No. \_\_\_\_\_  
Electrical Contractor \_\_\_\_\_ License No. \_\_\_\_\_

Street building will front on 5 Rio Vista Drive

Subdivision Rio Vista Lot No. 29 Area \_\_\_\_\_

Building area, inside walls (excluding garage, carport, porches) Sq ft 1700

Other Construction (Pools, additions, etc.) None

Contract Price (excluding land, rugs, appliances, landscaping) \$ 35,000

Total cost of permit \$ 195.00

$\frac{3}{175}$   
 $\frac{20}{20}$

Plans approved as submitted \_\_\_\_\_ Plans approved as marked

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

[Signature]  
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

[Signature]  
Signed by Owner

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted 12/13/76 [Signature]

Date approved 12/15/76 Charles A. Dargatzis

Certificate of Occupancy issued [Signature] Date 7/13/77 #656  
10:30 AM

BUILDING PERMIT REQUIREMENTS

RECEIVED  
DEC 14 1976

Permit No. 656

Date Issued 12/16/76

REQUEST FOR PERMIT TO BUILD: RESIDENCE

COPY OF DEED: O.R. Book ~~466~~ 393 Page 234

THREE COPIES PLANS Received 12/14/76

CERTIFIED BY N/A Date \_\_\_\_\_  
(If necessary re deed restrictions)

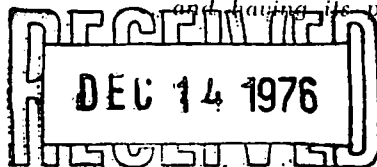
COUNTY SEWAGE DISPOSAL PERMIT # HD 76-576

REQUEST FOR CERTIFICATE OF OCCUPANCY 12/14/76

#656  
SCHICKEDANZ  
(Morgan)

237007

**This Warranty Deed** Made and executed the 21<sup>st</sup> day of November, A. D. 1975 by SCHICKEDANZ DEVELOPMENTS, LIMITED, a Canadian corporation chartered in the Province of Ontario, and authorized to transact business in the State of Florida, and having its principal place of business at Toronto, Canada hereinafter called the grantor, to GUSTAV SCHICKEDANZ, AS TRUSTEE,



whose postoffice address is 2300 S. E. Ocean Boulevard, Stuart, Martin County, Florida hereinafter called the grantee:

Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

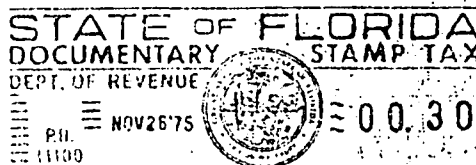
**Witnesseth:** That the grantor, for and in consideration of the sum of \$ 10.00 and other valuable considerations, receipt whereof is hereby acknowledged, by these presents does grant, bargain, sell, alien, remise, release, convey and confirm unto the grantee, all that certain land situate in Martin County, Florida, viz:

(See Exhibit attached hereto and made a part hereof).

MARTIN COUNTY  
FLORIDA  
NOV 26 1975



DOCUMENTARY  
SUR TAX



**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in any-wise appertaining.

**To Have and to Hold,** the same in fee simple forever.

**And** the grantor hereby covenants with said grantee that it is lawfully seized of said land in fee simple; that it has good right and lawful authority to sell and convey said land; that it hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 1974.

**In Witness Whereof**

the grantor has caused these presents to be executed in its name, and its corporate seal to be hereunto affixed, by its proper officers thereunto duly authorized, the day and year first above written.

ATTEST:

*[Signature]*  
Secretary

SCHICKEDANZ DEVELOPMENTS, LIMITED

Signed, sealed and delivered in the presence of:

*A. Pearce*  
*J. Cook*

By

*[Signature]*  
Gustav Schickedanz

President

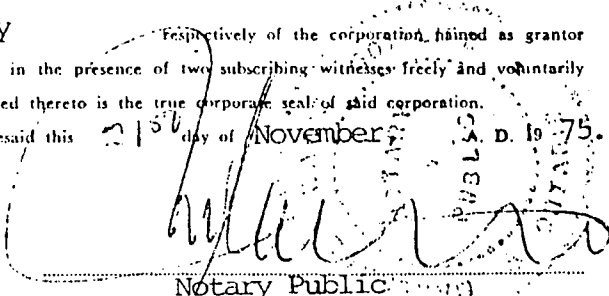
CANADA  
PROVINCE OF ONTARIO  
JUDICIAL DISTRICT OF YORK

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared Gustav Schickedanz and

well known to me to be the President and Secretary respectively of the corporation, named as grantor in the foregoing deed, and that they severally acknowledged executing the same in the presence of two subscribing witnesses freely and voluntarily under authority duly vested in them by said corporation and that the seal affixed thereto is the true corporate seal of said corporation.

WITNESS my hand and official seal in the province and district last aforesaid this 21<sup>st</sup> day of November, A. D. 1975.

O.R. BOOK 393 PAGE 234



Notary Public

This Instrument prepared by: JOHN H. FENNIMAN  
Address SOMMER, FRASIER & FENNIMAN, P.A.  
P.O. Box 2210  
Stuart, Florida 33494

My Commission Appointment is for life.  
It does not expire.

#656

EXHIBIT TO  
WARRANTY DEED FROM SCHICKEDANZ DEVELOPMENTS, LIMITED  
TO  
GUSTAV SCHICKEDANZ, AS TRUSTEE

PARCEL ONE: Lots 19, 20, and 21, ARBELA, according to the Plat thereof filed August 22, 1919, and recorded in Plat Book 3, Page 29, Palm Beach County, Florida, Public Records, which said Plat was originally filed November 19, 1891, and recorded in Deed Book "E", Page 283, Dade County, Florida, Public Records; both of said Plats now being of record in said Martin County.

PARCEL TWO: Starting at a point where the South line of Lot 18, Plat of Arbelá, Plat Book 3, Page 29, Palm Beach County, Florida, Public Records, intersects the centerline of Sewall's Point Road, by true bearing, run North 76°25' East 400 feet to a point near the Westerly shore line of the Indian River; thence, over water, run North 71°42' East 1523.02 feet to a point on the Northerly end of the island, hereinafter described; thence run South 88°49' East 33 feet to a point; thence run South 5°56' East 137.6 feet to a point; thence run South 29°20' West 86.25 feet to a point; thence run South 52°16' West 95.05 feet to a point; thence run North 14°34' East 280 feet to the point of beginning. The above described island containing .95 of an acre, lying and being in Martin County, Florida.

FILED FOR RECORD  
MARTIN COUNTY, FLA.

1975 NOV 26 PM 3:06

LOUISE V. ISAACS  
CLERK OF DISTRICT COURT  
BY

LOUISE V. ISAACS  
CLERK OF DISTRICT COURT  
D.C.

1975 NOV 26 PM 3:28

FILED FOR RECORD  
MARTIN COUNTY, FLA.

#656

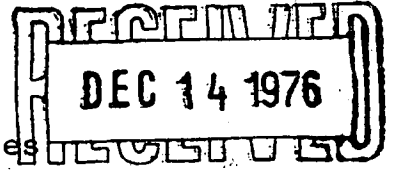
THIS PERMIT EXPIRES ONE (1) YEAR FROM DATE OF ISSUANCE

STATE OF FLORIDA DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

DIVISION OF HEALTH Post Office Box 210 Jacksonville, Florida 32201

Application and Permit of

Individual Sewage Disposal Facilities



Application/Permit No. HD76-576

MARTIN County Health Department

Section I - Instructions:

- 1. Percolation test data, soil profile and water table elevation information must be attached. (Note: Test must be made at proposed location of system).
2. Existing building and proposed buildings on lot must be shown and drawn to scale at their location or proposed location. (Use block on this sheet or attach plot plan).
3. Proposed location of septic tank must be shown on plan.
4. Any pond or stream areas must be indicated on the plan.
5. Indicate name and date of plat of subdivision. If not platted, attach metes and bounds description.
6. Complete the following information section.
Notes:
1. Not valid if sewer is available.
2. Individual well must be 75 feet from any part of system.
3. Call \_\_\_\_\_ and give this office a 24-hour notice when ready for inspection.

Section II - Information:

- 1. Property Address (Street & House No.) COR. RIO VISTA & LANTANA LANE
Lot 29 Block - Subdivision RIO VISTA
Date Platted 1975 Directions to Job SOUTH ON SEWALL'S PT. ROAD TO RIO VISTA SID AND DRIVE
2. Owner or Builder ROGER MORGAN
P.O. Address 2300 S.E. OCEAN BLVD., STUART, FL 34994
Septic tank system to be installed by:

Scale 1" = 50'

3 BEDROOMS

(Rear)

3. Specifications:

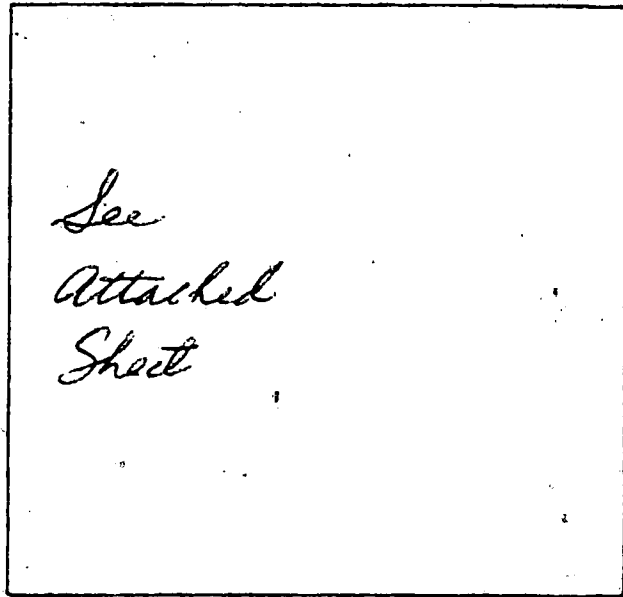
900 gallon tank with 255 square feet of drainfield with at least 4" inside diameter pipe.

- 4. House to be constructed:
Check one: FHA
VA  Conventional

This is to certify that the project described in this application, and as detailed by the plans and specifications and attachments will be constructed in accordance with state requirements.

Applicant: R. MORGAN Please Print

Signature: Roger Morgan Date: 10-15-76



(Name of Street or State Road) (Side)

(Name of Street or State Road) (Side)

(Front) (Name of Street or State Road)

\*\*\*\*\* DO NOT WRITE BELOW THIS LINE \*\*\*\*\*

Section III - Application Approval & Construction Authorization

Installation subject to following special conditions:

The above signed application has been found to be in compliance with Chapter 10D-6, Florida Administrative Code, and construction is hereby approved, subject to the above specifications and conditions. By: Robert D. Houshe County Health Dept. Martin Date 10-18-76

Section IV - Final Construction Approval

Construction of installation approved: Yes No
Date: \_\_\_\_\_ By: \_\_\_\_\_
FHA No. \_\_\_\_\_ VA No. \_\_\_\_\_

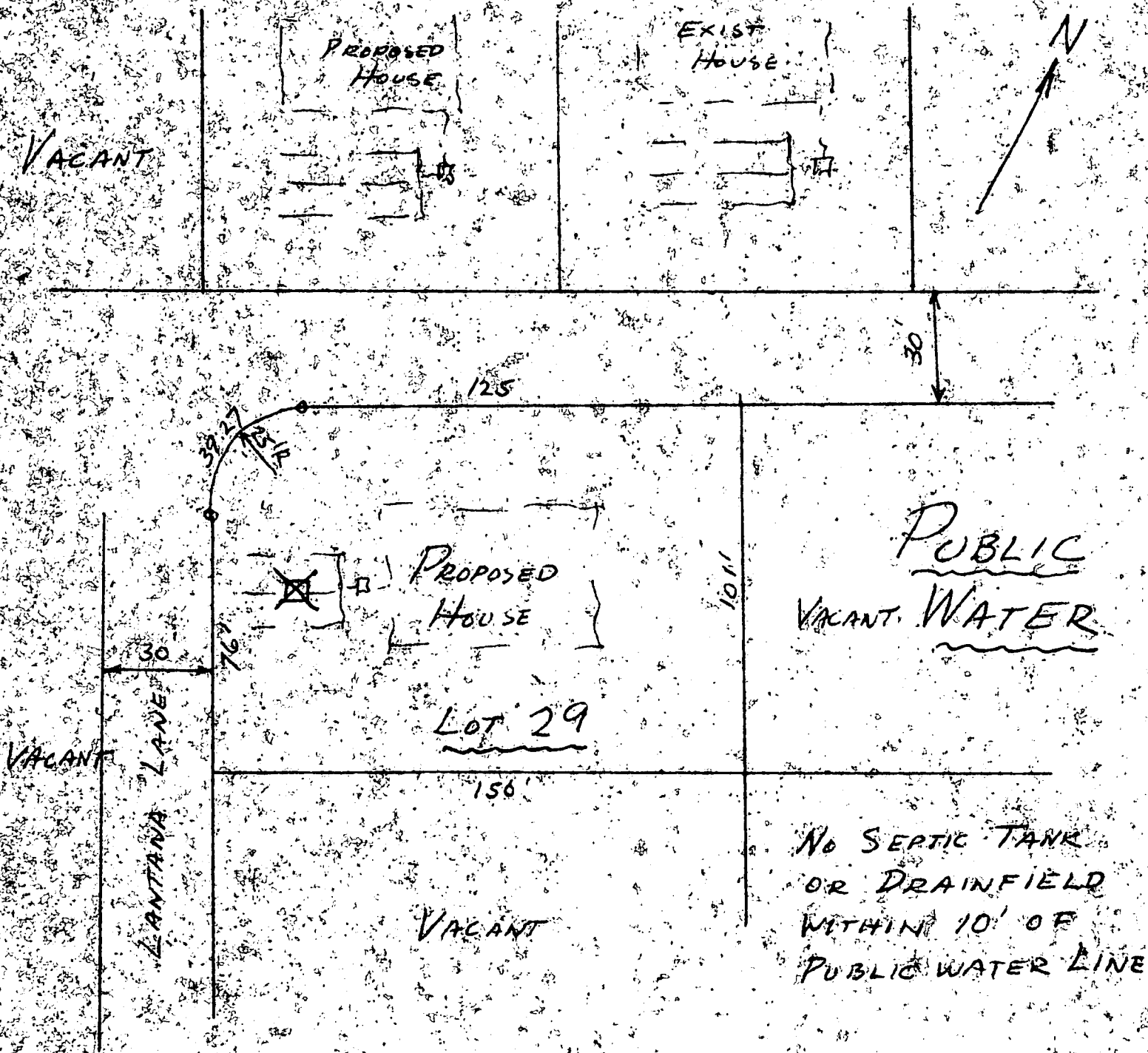
#656

DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES  
DIVISION OF HEALTH

INDIVIDUAL SEWAGE DISPOSAL FACILITIES

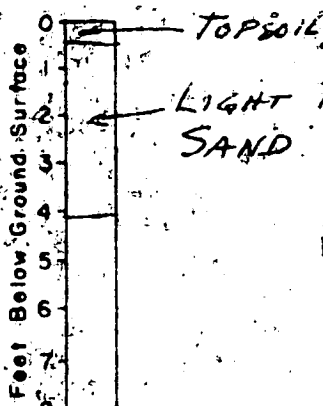
Location: LOT 29 - RIO VISTA DR DATA SHEET  
Applicant: ROGER MORGAN  
RIO VISTA S/D County: MARTIN

NOTE: This septic tank system is not located within 50 feet of the high water line of a lake, stream, canal or other waters, nor within 75 feet of any private well, nor within 100 feet of any public water supply, nor within 10 feet of water supply pipes, nor within 100 feet of any public sewer system.



SOIL DATA

PLAN 40  
Scale 1" = 1'



*R. B. Larson*  
LEGEND 10.18.76

SOIL BORING LOG

Soil Identification CLASS I GROUP SW  
Soil Characteristics SAND

Percolation Rate 1/4 min/inch

Water Table Depth 3'-9"

Water Table Depth During Wet Season 3'-9"

Compacted Fill Of -0- Req'd

Compacted Fill Checked By: \_\_\_\_\_

Date \_\_\_\_\_

- Drainage Pattern
- Proposed Septic Tank and Drainfield
- Proposed Water Supply Well
- Existing Water Supply Well
- Soil Boring and Percolation Test Location

CERTIFIED BY: *R. B. Larson #156*

FLORIDA PROFESSIONAL No. 16552

Date 10.15.76 Job No 76-146-03

TOWN OF SEWALL'S POINT

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date \_\_\_\_\_

This is to request that a Certificate of Approval for Occupancy be issued to MORGAN BIRD VISTA

For property built under Permit No. 656 Dated \_\_\_\_\_

when completed in conformance with the Approved Plans.

\_\_\_\_\_  
Signed

\*\*\*\*\*

RECORD OF INSPECTIONS

Item	Date	Approved by
Footings	1/17/77	US 1/21/77
Rough plumbing	1/26/77	1/31/77 SLAB
Perimeter beam	2/7/77	
Rough electric	4/26/77	
Close in	4/26/77	
Final plumbing		
Final electric	7/13/77	UD

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector 7/13/77 Paul Dungen date

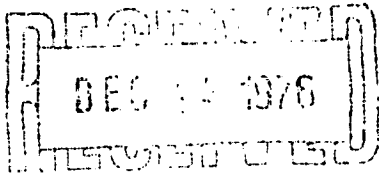
Approved by Town Commission \_\_\_\_\_ date

Utilities notified \_\_\_\_\_ date

Original Copy sent to \_\_\_\_\_

(Keep carbon copy for Town files)





Gustav Schickedanz, Trustee  
Lot 20 Rio Vista #656  
5 Rio Vista Drive

TOWN OF SEWALL'S POINT

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 14 Dec 76

This is to request that a Certificate of Approval for Occupancy be issued to SCHICKEDANZ, GUSTAV

For property built under Permit No. 656 Dated Dec. 16, 1976

when completed in conformance with the Approved Plans.

Signed Roger Morgan

\*\*\*\*\*

RECORD OF INSPECTIONS

Item	Date	Approved by
Footings	1/17/77	1/21/77
Rough plumbing	1/26/77	1/31/77 Slab
Perimeter beam	2/7/77	
Rough electric	4/26/77	
Close in	4/26/77	
Final plumbing	7/13/77	
Final electric	7/13/77	

Final Inspection for Issuance of Certificate for Occupancy.)

Approved by Building Inspector [Signature] date 7/13/77

Approved by Town Commission [Signature] date 7/13/77

Utilities notified 7/13/77 10:30 a.m. date

Original Copy sent to Roger Morgan

(Keep carbon copy for Town files)

656

**795**

**CHANGE ELECTRIC**

**SERVICE**

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Permit No. 795

Date 3/2/78

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable) Copy of property Deed required for new home construction.

Owner JACK SNYDER Present Address \_\_\_\_\_ Ph \_\_\_\_\_

General Contractor \_\_\_\_\_ Address \_\_\_\_\_ Ph \_\_\_\_\_

Where licensed \_\_\_\_\_ License No. \_\_\_\_\_

Plumbing Contractor \_\_\_\_\_ License No. \_\_\_\_\_

Electrical Contractor ARLINGTON ELECTRIC, INC License No. \_\_\_\_\_

Street building will front on \_\_\_\_\_

Subdivision RW VISTA Lot No. 29 Area \_\_\_\_\_

Building area, inside walls (excluding garage, carport, porches) Sq ft \_\_\_\_\_

Other Construction (Pools, additions, etc.) change electric service

Contract Price (excluding land, rugs, appliances, landscaping \$ N/A

Total cost of permit \$ 10.50

Plans approved as submitted NO Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period

Signed by General Contractor \_\_\_\_\_

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

Signed by Owner \_\_\_\_\_

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted \_\_\_\_\_

Date approved Chad A. Jones 3/2/78

Certificate of Occupancy issued 3/14/78 Date 795

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Permit No. 795

Date 3/2/78

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable) Copy of property Deed required for new home construction.

Owner JACK SNYDER Present Address \_\_\_\_\_ Ph \_\_\_\_\_

General Contractor \_\_\_\_\_ Address \_\_\_\_\_ Ph \_\_\_\_\_

Where licensed \_\_\_\_\_ License No. \_\_\_\_\_

Plumbing Contractor \_\_\_\_\_ License No. \_\_\_\_\_

Electrical Contractor ARLINGTON ELECTRIC, INC License No. \_\_\_\_\_

Street building will front on \_\_\_\_\_

Subdivision RW VISTA Lot No. 29 Area \_\_\_\_\_

Building area, inside walls (excluding garage, carport, porches) Sq ft \_\_\_\_\_

Other Construction (Pools, additions, etc.) change electric service

Contract Price (excluding land, rugs, appliances, landscaping) \$ N/A

Total cost of permit \$ 10.50

Plans approved as submitted NO Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

Signed by General Contractor \_\_\_\_\_

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

Signed by Owner \_\_\_\_\_

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted \_\_\_\_\_

Date approved 3/2/78

Certificate of Occupancy issued 3/14/78 Date \_\_\_\_\_

# Memo

From  
J. P. WILLIAMS

To

Lot 29 Rio Vista

owner - Jack Snyder

Bldg insp -

Mr. Charles Duryea

ARLINGTON ELECTRIC, INC.  
P. O. Box 63  
STUART, FLORIDA 33494  
Phone 787-1353

**802**

**POOL**

653

TOWN OF SEWALL'S POINT, FLORIDA

RECEIVED  
FEB 24 1978

APPLICATION FOR BUILDING PERMIT

Permit No. 802

Date 2/18/78 3/14/78

(This application must be accompanied by 3 sets of complete plans, to prop scale, including plot plan, foundation plan, floor plans, wall and roof cr sections, plumbing and electrical layouts, and at least, two elevations, as applicable)

Owner JACK Snyder Present Address \_\_\_\_\_ Ph \_\_\_\_\_

General Contractor LEDDEN POOLS Address 4306 So. US-1 Ft Pierce Ph 283-4040

Where licensed MARTIN Co License No. 245

Plumbing Contractor \_\_\_\_\_ License No. \_\_\_\_\_  
Electrical Contractor \_\_\_\_\_ License No. \_\_\_\_\_

Street building will front on 5 RIO VISTA DRIVE

Subdivision Rio Vista Lot No. 29 Area \_\_\_\_\_

Building area, inside walls (excluding garage, carport, porches) Sq ft \_\_\_\_\_

Other Construction (Pools, additions, etc.) \$ 5000.00

Contract Price (excluding land, rugs, appliances, landscaping) \$ \_\_\_\_\_

Total cost of permit \$ 2500

Plans approved as submitted \_\_\_\_\_ Plans approved as marked

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

Robert J. Haney CP 010400  
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

Jack Snyder by Mike Rapp  
Signed by Owner

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted 2/24/78 Charles D. Dwyer

Date approved 3/8/78 Mike Rapp

Certificate of Occupancy issued 8/18/78 Date \_\_\_\_\_

#802

**821**

**POOL ENCLOSURE**



APPROVED  
APR 14 1978

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Permit No. 821  
Date 4/26/78

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable) Copy of property Deed required for new home construction.

Owner JACK SNYDER Present Address 5 RIO VISTA Ph 286-3700

General Contractor CLIMATECO Address 529 INDUSTRY Road Ph 727-2600  
COCOA.

Where licensed FLA. License No. CR C001786

Plumbing Contractor \_\_\_\_\_ License No. C001786  
Electrical Contractor \_\_\_\_\_ License No. \_\_\_\_\_

Street building will front on RIO VISTA

Subdivision RIO VISTA Lot No. 29 Area \_\_\_\_\_

Building area, inside walls (excluding garage, carport, porches) Sq ft 988

Other Construction (Pools, additions, etc.) POOL ENCLOSURE

Contract Price (excluding land, rugs, appliances, landscaping) \$ 2000.00

Total cost of permit \$ 10.00

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

Charles J. Snyder  
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

\_\_\_\_\_  
Signed by Owner

Note: Speculation Builders will be required to sign both statements.

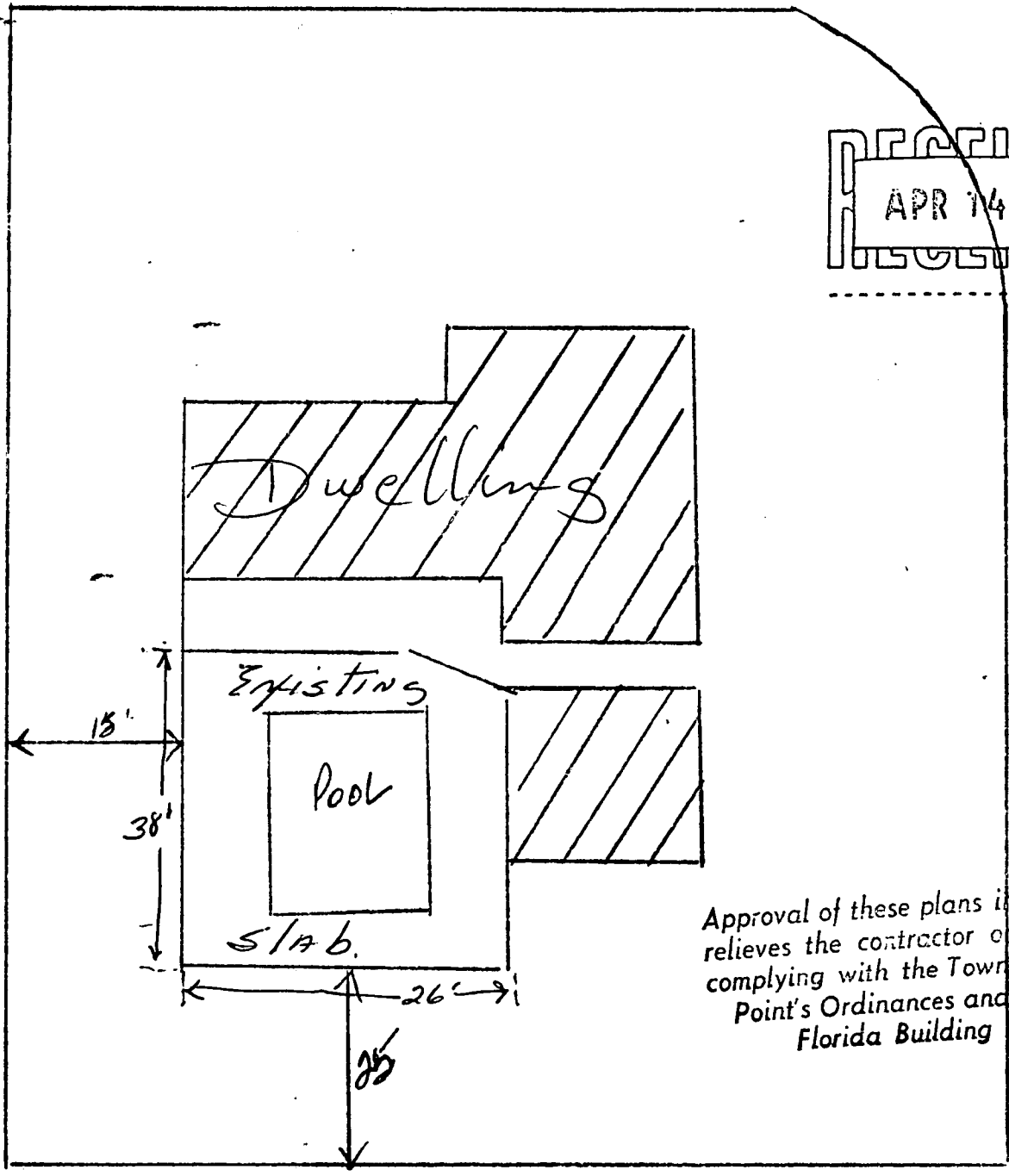
TOWN RECORD  
Date submitted 17 April 1978  
Date approved 4/17/78

Certificate of Occupancy issued 5/10/78 Date \_\_\_\_\_

#821

Pool Enclosure.  
alum frame.  
fiberglass screen

RECEIVED  
APR 14 1978  
REGISTERED



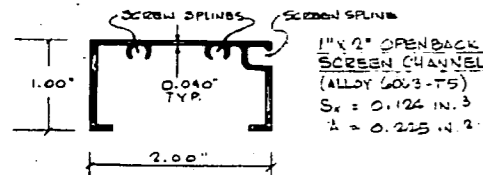
Approval of these plans in NO-WAY  
relieves the contractor or builder of  
complying with the Town of Sewall's  
Point's Ordinances and the South  
Florida Building Code.

LOT 29 RIO VISTA #5

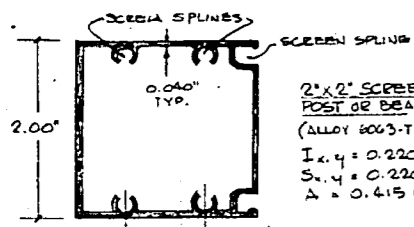
MR & MRS JACK SNYDER

TOWN HALL COPY 821 SNYDER POOL ENCL.

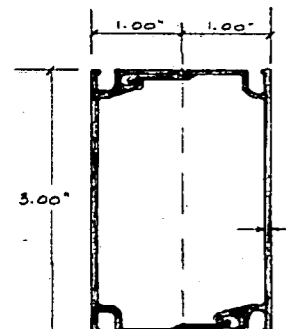
**EXTRUDED POST AND BEAM SECTIONS**



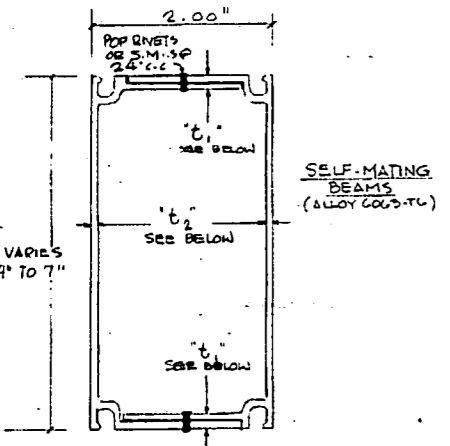
1 1/2" x 2" OPENBACK SCREEN CHANNEL (ALLOY 6063-T5)  
 $S_x = 0.124 \text{ IN.}^3$   
 $I_y = 0.225 \text{ IN.}^4$



2" x 2" SCREEN POST OR BEAM (ALLOY 6063-T5)  
 $I_x = 0.220 \text{ IN.}^4$   
 $S_x = 0.220 \text{ IN.}^3$   
 $A = 0.415 \text{ IN.}^2$



2" x 3" SNAP SECTION POSTS (ALLOY 6063-T5)  
 $I_x = 0.542 \text{ IN.}^4$   
 $S_x = 0.432 \text{ IN.}^3$   
 $A = 0.622 \text{ IN.}^2$

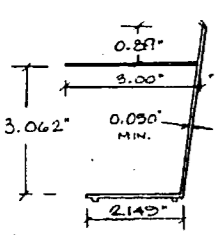


SELF-MATING BEAMS (ALLOY 6063-T5)

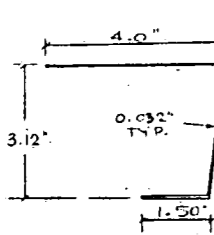
**PROPERTIES OF SELF-MATING BEAMS**

DEPTH	t <sub>1</sub>	t <sub>2</sub>	S <sub>x</sub>	I <sub>y</sub>
4"	0.115"	0.045"	1.08 IN. <sup>3</sup>	0.48 IN. <sup>4</sup>
6"	0.109"	0.055"	1.86 IN. <sup>3</sup>	0.75 IN. <sup>4</sup>
7"	0.225"	0.055"	3.69 IN. <sup>3</sup>	0.98 IN. <sup>4</sup>

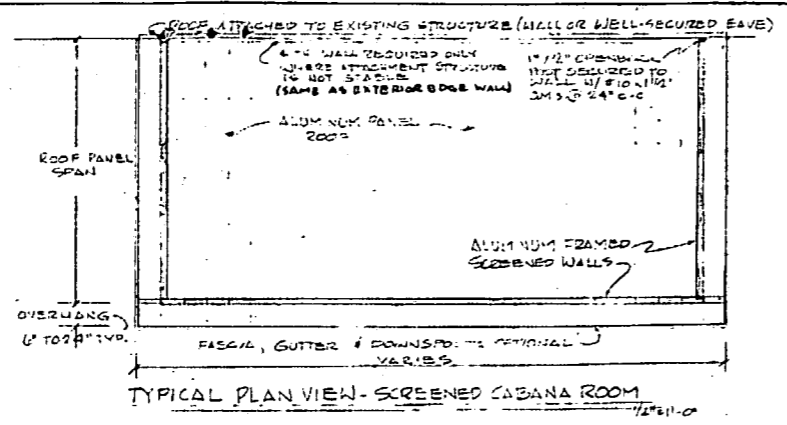
**EXTRUDED WALL HEADER (ALLOY 6063-T5)**



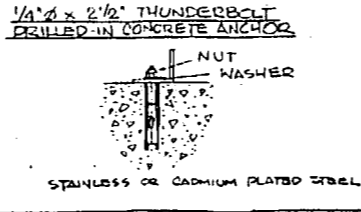
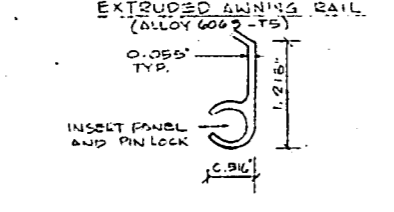
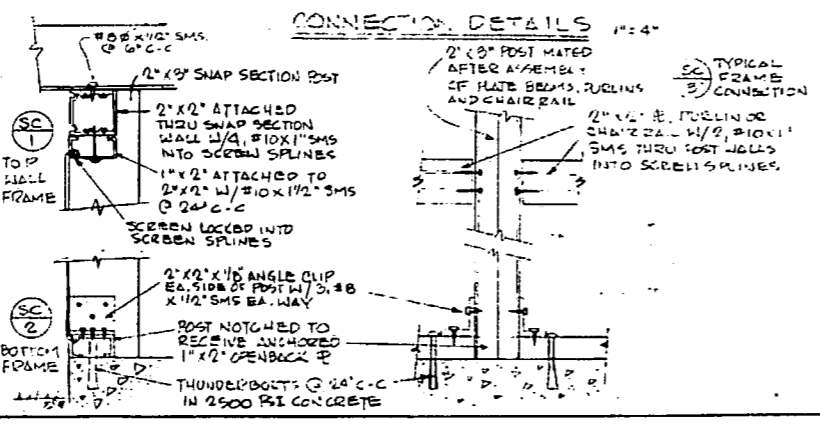
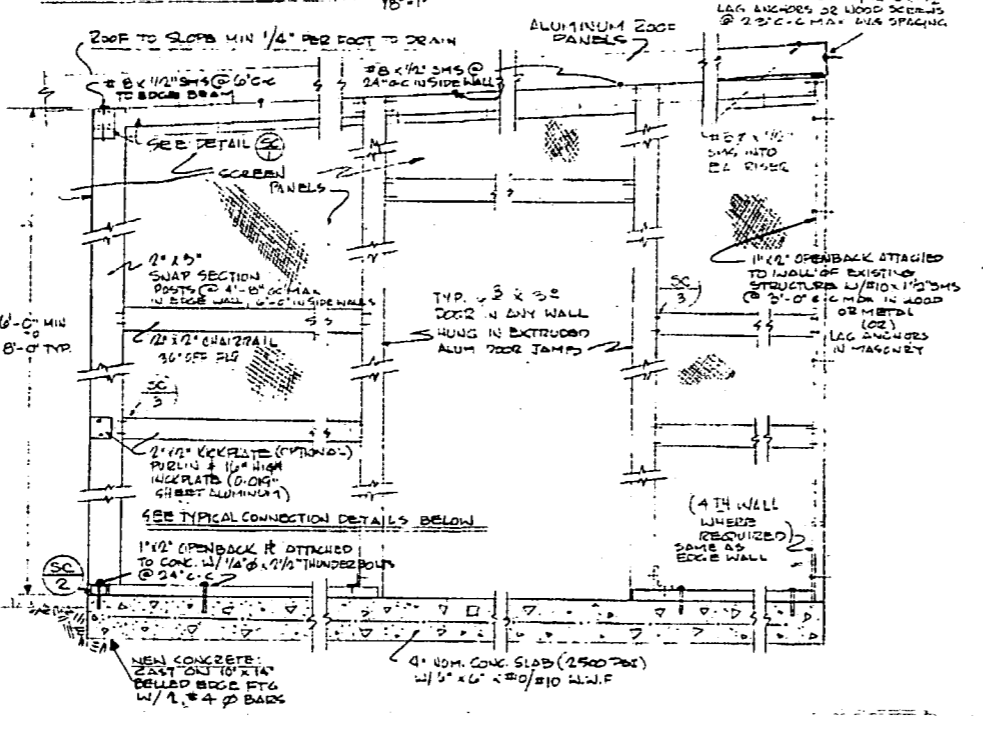
**ROLL-FORMED HEADER (ALLOY 3003 H14)**



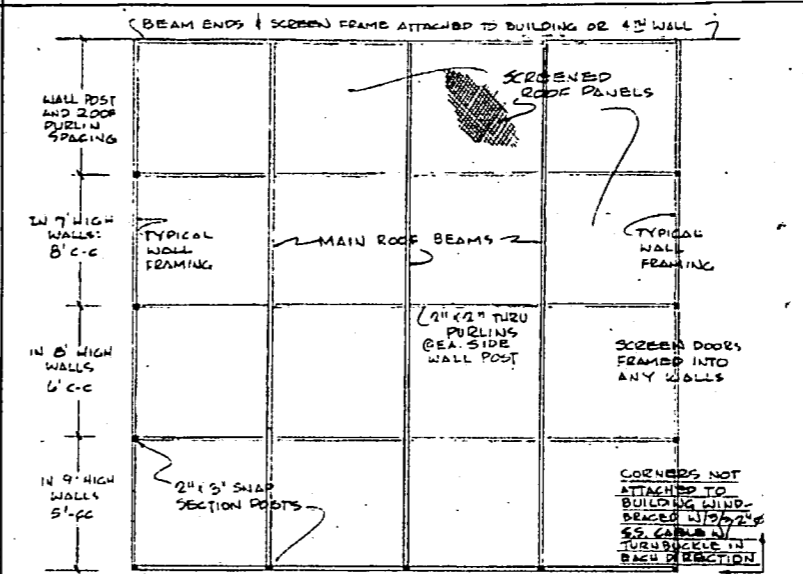
**SCREENED CABANA ROOM DETAILS**



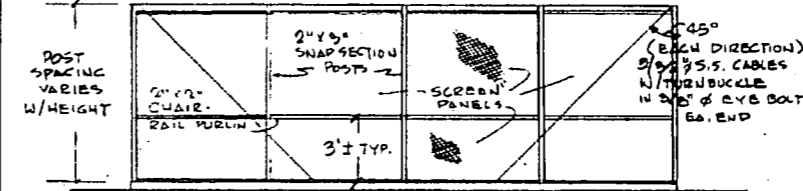
**TYPICAL SECTION THRU CABANA ROOM**



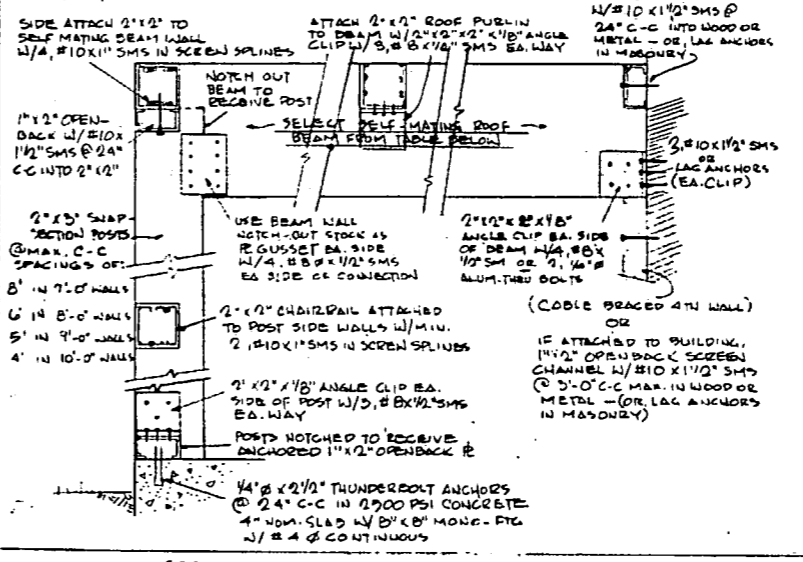
**SCREEN ENCLOSURE DETAILS**



**SCREENED ENCLOSURE PLAN**



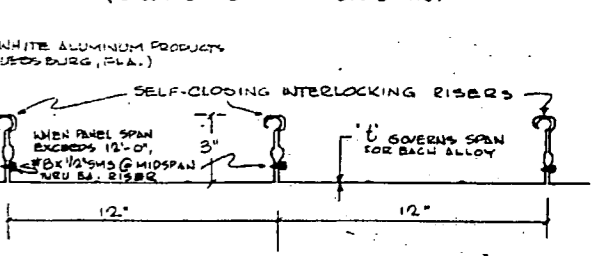
**TYPICAL SCREENED ENCLOSURE SECTION DETAILS**



**SCREENED ROOF BEAM SPAN TABLE**

BEAM SIZE	MAXIMUM CLEAR SPANS FOR BEAMS SPACED AS SHOWN, CENTER TO CENTER					
	4'-0" C-C	5'-0" C-C	5'-6" C-C	6'-0" C-C	6'-6" C-C	7'-0" C-C
2" x 4" SELF-MATING	25'-0"	22'-6"	21'-6"	20'-0"	19'-0"	18'-6"
2" x 6" SELF-MATING	32'-10"	29'-6"	28'-3"	26'-0"	25'-0"	24'-4"
2" x 7" SELF-MATING	46'-0"	41'-0"	39'-10"	36'-10"	35'-4"	34'-0"

**ALUMINUM ROOF PANEL SYSTEM (ALLOY 3003-H14 OR 3003-H16)**



**MAXIMUM SPANS FOR 120 MPH WIND - 20 PSF LL**

ALLOY	6" = 0.032"	6" = 0.026"
3003 H14	14'-0"	12'-0"
3003 H16	14'-9"	12'-7"

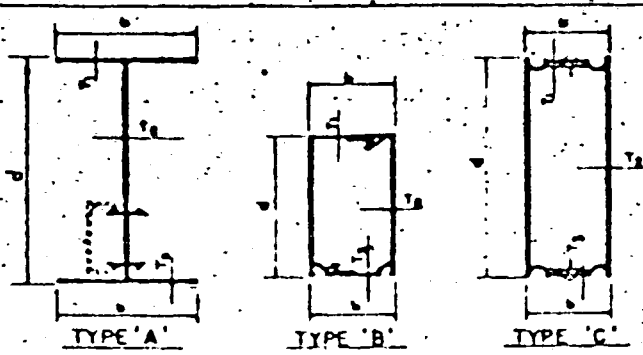
(\* EXCEPT WHERE FURTHER LIMITED BY LOCAL ORDINANCE.)  
 SAFE LOAD-CARRYING PROPERTIES AND SPANS FOR THESE ROOF PANELS HAVE BEEN VERIFIED BY LOAD TESTS ON ROOF ASSEMBLIES CONDUCTED UNDER THE SUPERVISION OF THE UNDERSIGNED ENGINEER. DEFLECTION IS LIMITED TO 1/60 OR LESS AT 20 PSF LL IN ALL CASES.  
 SHEET METAL SCREENS (SMTS) SHALL BE STAINLESS OR CADMIUM PLATED STEEL.  
 ALUMINUM BOLTS SHALL BE ALLOY 2024-T4.

**ENGINEERING NOTE**

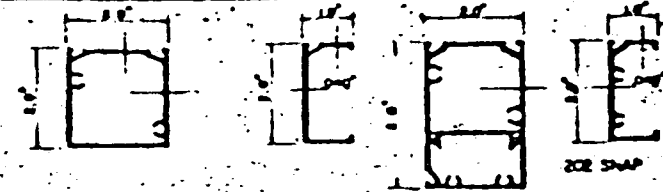
STRUCTURES DETAILED IN THESE PLANS WERE DESIGNED IN ACCORDANCE WITH SOUTHERN STANDARD BUILDING CODE 1974 AMENDMENTS.  
 DESIGN LOADS CONSIDERED:  
 DL + 20 PSF LL  
 120 MPH WIND VELOCITY PRESSURES  
 WHERE LOCAL ORDINANCES IMPOSE FURTHER LIMITATIONS OF SPANS OR PROJECTIONS, SUCH ORDINANCES SHOULD BE ADHERED TO IN APPLICATION OF THE DESIGN.

*Charles R. Cline, P.E.*  
 CHARLES R. CLINE, P.E.  
 FLORIDA REG. NO. 12255

HARLAN ENGINEERING LABORATORIES, INC.  
 P.O. BOX 5050  
 LAKELAND, FLORIDA 32803  
 MASTER PLAN FOR SCREENED CABANA ROOMS & ENCLOSURES FOR CLIMATROL, INC.  
 5929 SOUTH INDUSTRY ROAD  
 COCOA, FLORIDA 32922  
 AMENDED 8-25-76 REC  
 JOB NO. B-756-LTG DATE: 7/17/76



BEAMS AND COLUMNS



MISCELLANEOUS COMPONENTS

BEAM AND COLUMN SCHEDULE											
MARK	TYPE	SIZE			THICKNESS			MAX BEAM SPAN SPACED E-E			REMARKS
		b	d	b'	T <sub>1</sub>	T <sub>2</sub>	T <sub>3</sub>	6'-0"	7'-0"	8'-0"	
603	A	3'00	6'00	3'00	.034	.060	.094	26'-0"	24'-0"	22'-0"	W/2-1X2'S SNAPPED ON
703	A	3'00	7'00	3'00	.125	.066	.125	32'-0"	24'-0"	23'-0"	DO
804	A	4'00	8'00	4'00	.125	.070	.125	32'-0"	25'-0"	23'-0"	DO
1004	A	4'00	10'00	4'00	.140	.096	.140	43'-0"	42'-0"	41'-0"	DO
302	B	2'00	3'00		.060	.050	.050	12'-0"	11'-0"	10'-0"	
202	MISC	2'00	2'00		.040	.020	.020	5'-0"	6'-0"	7'-0"	
402	B	2'00	4'00		.07	.040	.07	14'-0"	12'-0"	11'-0"	#10X1/2" SMS AT 24" O.C
602	C	2'00	6'00		.040	.030	.030	14'-0"	14'-0"	25'-0"	DO
702	C	2'00	7'00		.140	.040	.040	22'-0"	21'-0"	19'-0"	DO

COLUMN SCHEDULE											
MARK	TYPE	SIZE			THICKNESS			MAX COLUMN HT. SPACED E-E			REMARKS
		b	d	b'	T <sub>1</sub>	T <sub>2</sub>	T <sub>3</sub>	6'-0"	7'-0"	8'-0"	
302	B	2'00	3'00		.060	.050	.050	9'-0"	4'-0"	4'-0"	
402	C	2'00	4'00		.060	.050	.120	18'-0"	11'-0"	10'-0"	

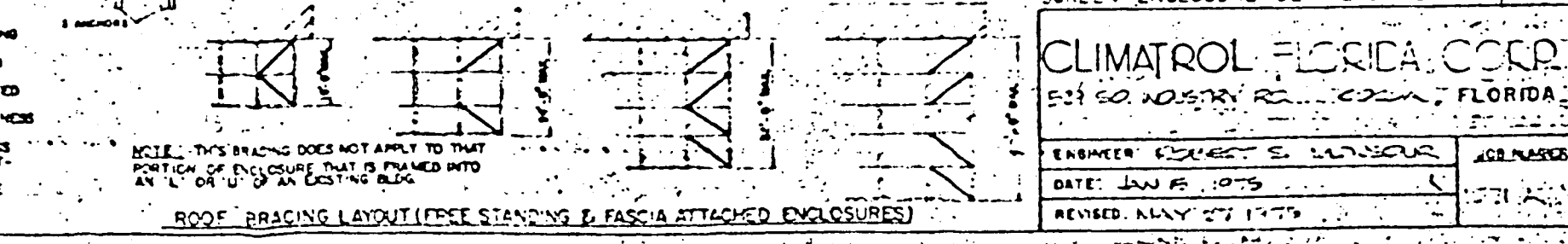
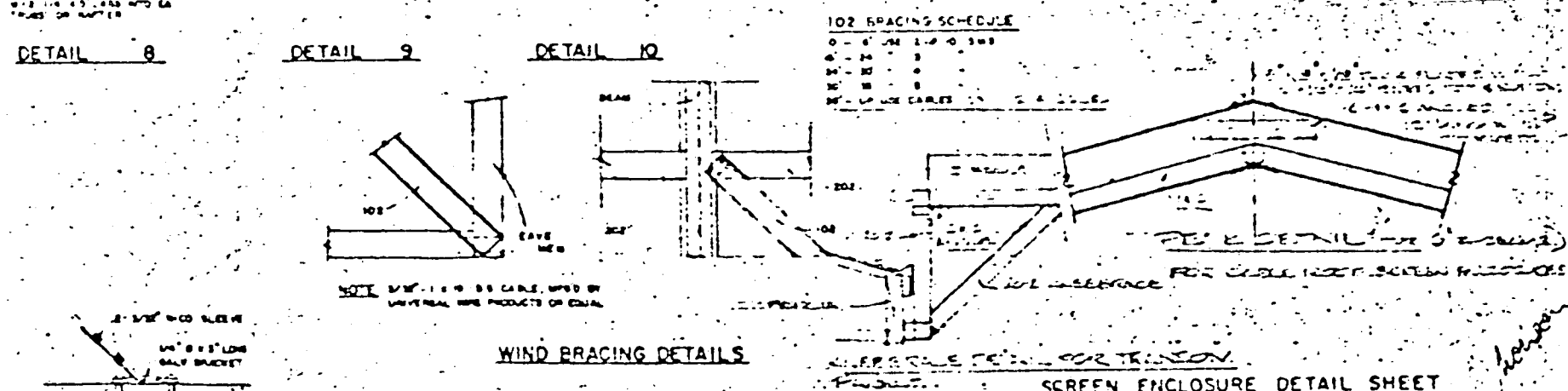
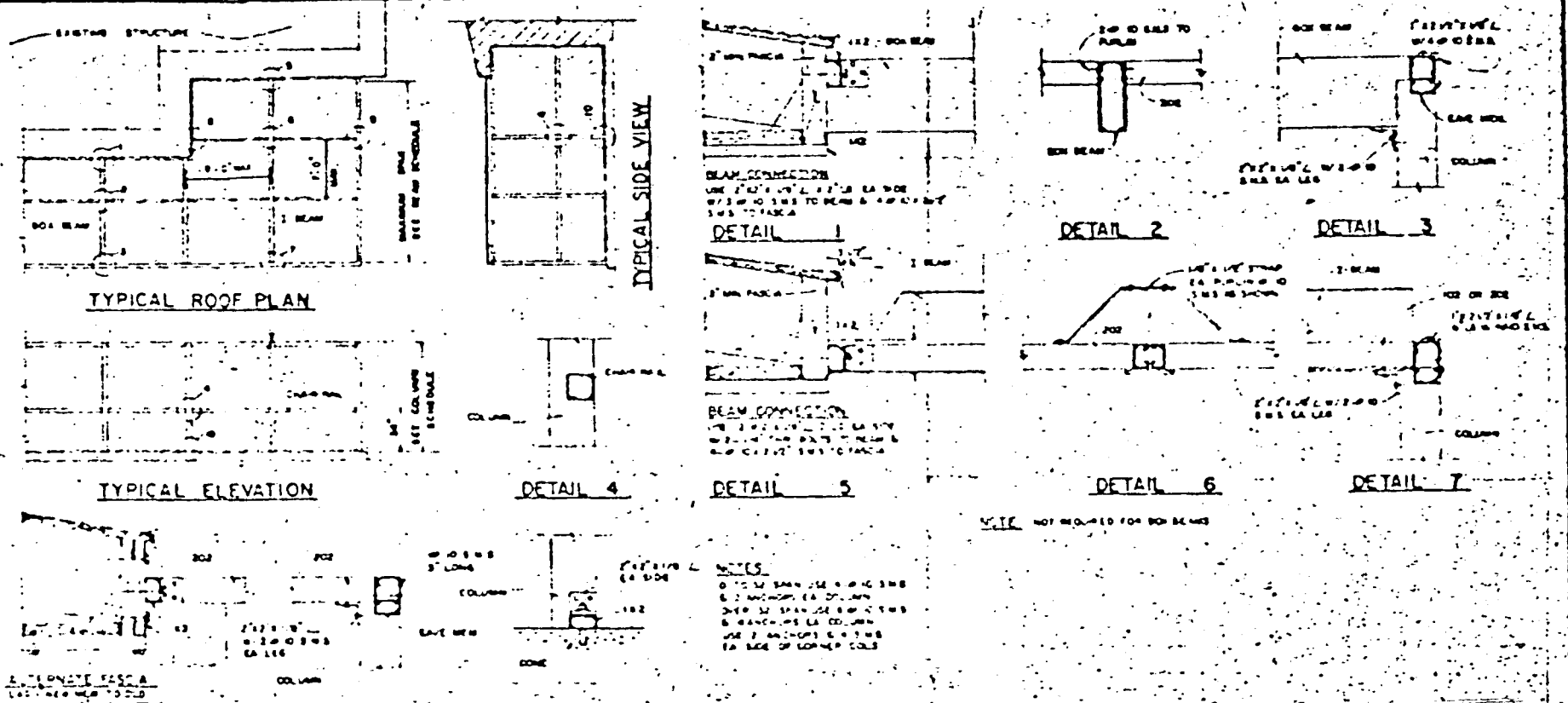
MISCELLANEOUS FASTENING SCHEDULE		
MEMBER	DESCRIPTION	FASTENER
202	STRUT TO L2 AT BEAM	2" P EX 3/4" SMS
202	STRUT TO EAVE SECTION	DO
202	CHAIR RAIL TO COLUMN	DO
1X2	PERIMETER MEM JOINED	DO
1X2	PERIMETER MEM TO COL.	DO
1X2	PERIMETER MEM TO CONC	ANCHOR AT 24" C-C
1X2	PERIMETER MEM TO WOOD	#10X2 1/2" SMS 24" O.C

SCREEN WALL CABLE SCHEDULE				
HEIGHT	SPAN	CABLES	SPAN	CABLES
8'-0"	19'-0"	1 SET (2 CABLES)	19'-0"	2 SETS (4 CABLES)
8'-0"	15'-0"	1 SET (2 CABLES)	15'-0"	2 SETS (4 CABLES)
10'-0"	14'-0"	1 SET (2 CABLES)	14'-0"	2 SETS (4 CABLES)
11'-0"	14'-0"	1 SET (2 CABLES)	14'-0"	2 SETS (4 CABLES)
12'-0"	14'-0"	1 SET (2 CABLES)	14'-0"	2 SETS (4 CABLES)

ANCHORS TO CONCRETE & MASONRY SHALL BE 1/4" X 2 1/2" THIRDS EJECTS. #10 X 1/2" SMS IN JOINTS 1020 ANCHOR OR APPROVED EQUAL.

DESIGN CRITERIA		
WALLS	DESIGN WIND LOAD IN & OUT	10 PSF
	TEST LOAD WIND IN & OUT	15 PSF
ROOF	DESIGN LIVE LOAD DOWN	20 PSF
	DESIGN WIND LOAD UP	15 PSF
	TEST LOAD UP & DOWN	20 PSF
RECOVERY AT TEST LOAD		90% MIN

- NOTES:
- 1) ROOF & SIDES SHALL BE COVERED WITH SCREEN CLOTH BEING 60% OR GREATER OPEN. THE ADDITION OF SOLID ROOFING OR SIDING IS NOT COVERED BY THIS SHEET.
  - 2) THE EXISTING STRUCTURE MUST BE CAPABLE OF SUPPORTING THE LOADED SCREEN ENCLOSURE.
  - 3) BEAMS - ALL ALUM. ALLOY BEAMS WILL BEAR IDENTIFICATION 1 FT FROM EACH END OF BEAM.
  - 4) USE ADDITIONAL SETS OF CABLES WHERE BEAM SPANS EXCEED THOSE SHOWN IN CABLE SCHEDULE.
  - 5) A TOLERANCE OF .006" IS ALLOWED WHERE WALL THICKNESS EXCEEDS .060".
  - 6) FASTENERS SHALL BE NON-MAGNETIC STAINLESS STEEL OR ALUM EXCEPT CABLE FASTENERS MAY BE HOT-DIP GALV STEEL.
  - 7) METAL ANCHORS SHALL BE MADE OF NON-CORROSIVE METALIC CONCT OR OF VIRGIN PVC PLASTIC.



**CLIMATROL FLORIDA CORP.**  
 531 SO. WASHINGTON ROAD, CORAL GABLES, FLORIDA

ENGINEER: ROBERT S. LINDSEY  
 DATE: JAN 15, 1975  
 REVISED: MAY 27, 1975

STATE OF FLORIDA Department of Professional And Occupational Regulation  
CONSTRUCTION INDUSTRY LICENSING BOARD

DATE:

05/29/77

FILE NO.

CR C001786

BATCH NO.

300

THE CERTIFIED RESIDENTIAL CONTRACTOR  
NAMED BELOW IS CERTIFIED  
UNDER THE PROVISIONS OF CHAPTER 468 FOR  
THE YEAR EXPIRING JUNE 30, 1979.

FAPORE, SALVATORE  
CLIMATROL FLORIDA CORP  
529 S INDUSTRY ROAD  
COCOA FL 32922

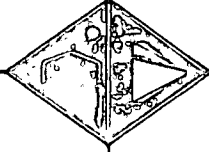
*Reubin Askew*  
GOVERNOR

DISPLAY IN A CONSPICUOUS PLACE

*Dorothy W. Gibson*  
SECRETARY OF PROFESSIONAL  
AND OCCUPATIONAL REGULATION

# CLIMATROL FLORIDA CORPORATION

529 SOUTH INDUSTRY ROAD - COCOA, FLORIDA - 632-0264



CLIMATROL FLORIDA CORPORATION  
Salvatore Fapore  
State Certification No. CRCO01786

To Whom It May Concern:

Please accept this letter as my authorization for the undersign to acquire Building Permits in my behalf for Climatrol Florida Corporation.

*Salvatore Fapore & Charles & DeJong*  
Undersigned

For the job located at

5 RIO VISITA SEWELL'S Pt.

Lot 29 Block \_\_\_\_\_  
Subdivision

Rio Vista

property owner MR & MRS JACK SNYDER

Sincerely,

*Salvatore Fapore*  
Salvatore Fapore

State of Florida  
County of Brevard

Sworn to and subscribed before me this 5<sup>th</sup>  
day of APRIL, 1978

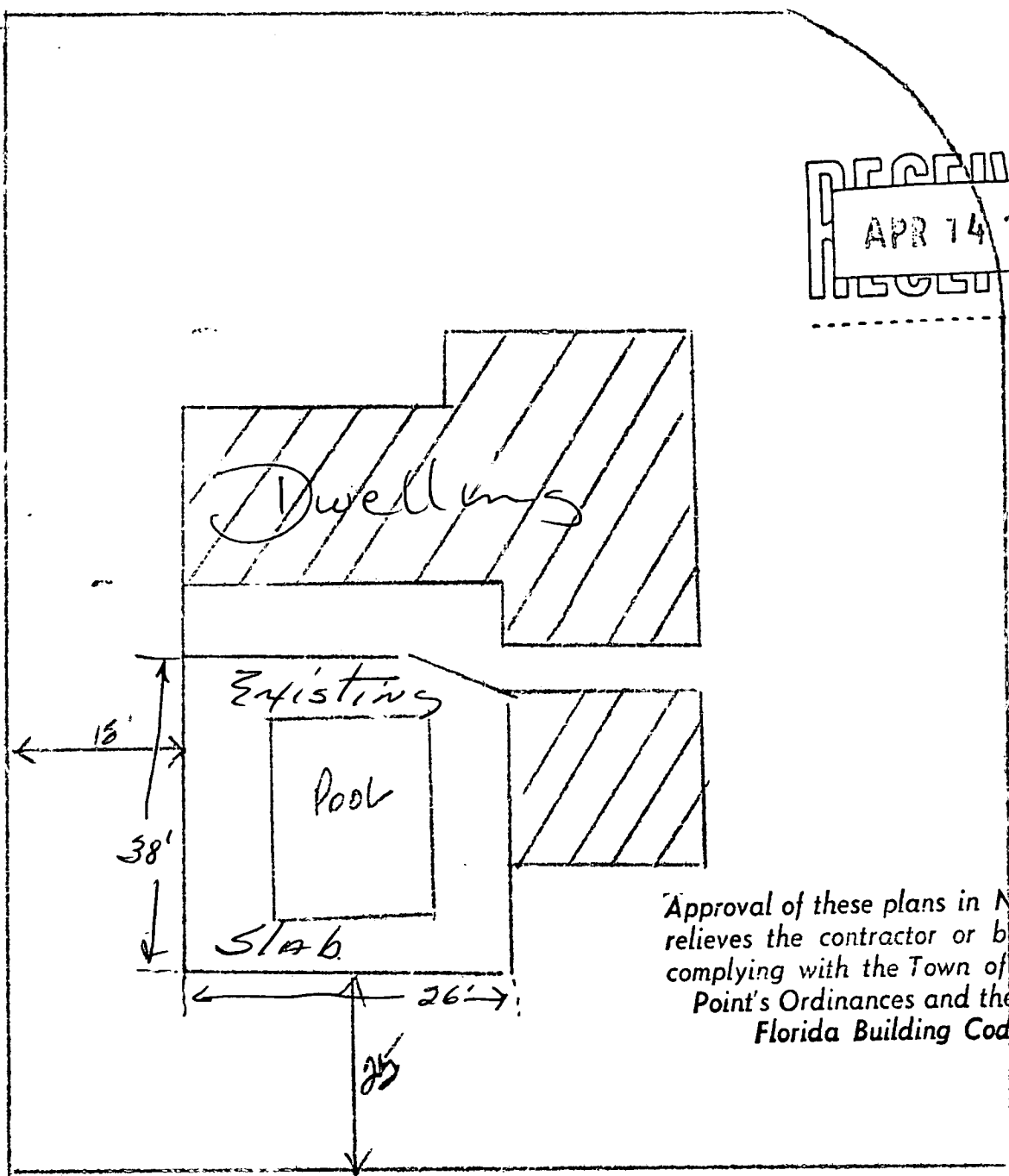
*Grace J. Meadows*  
Notary

#821

NOTARY PUBLIC, STATE OF FLORIDA AT LARGE  
MY COMMISSION EXPIRES NOV. 9, 1979.

Pool Enclosure  
alum frame.  
Subuglass screen

RECEIVED  
APR 14 1978  
REGISTERED

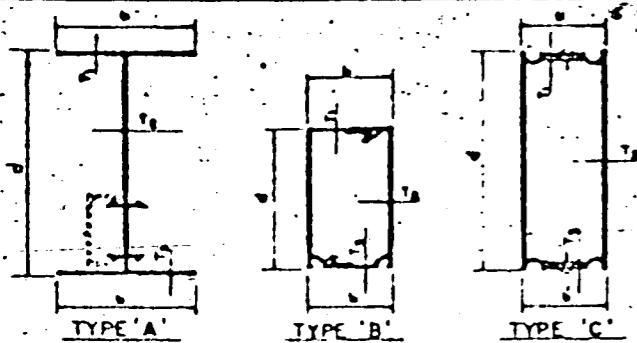


Approval of these plans in NO-WAY  
relieves the contractor or builder of  
complying with the Town of Sewall's  
Point's Ordinances and the South  
Florida Building Code.

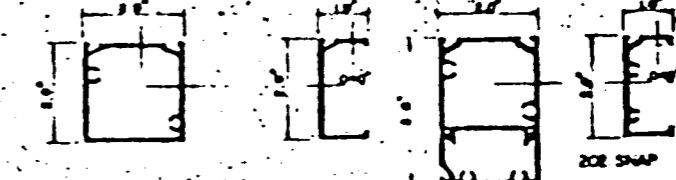
LOT 27 RIO VISTA

MR & MRS JACK SNYDER

JOB COPY #821



BEAMS AND COLUMNS



MISCELLANEOUS COMPONENTS

BEAM AND COLUMN SCHEDULE											
MARK	TYPE	SIZE			THICKNESS			MAX. BEAM SPAN SPACED E-C			REMARKS
		b	d	b'	T <sub>1</sub>	T <sub>2</sub>	T <sub>3</sub>	6'-0"	7'-0"	8'-0"	
603	A	3'00	6'00	3'00	.034	.050	.094	20'-0"	24'-0"	22'-0"	W/2-1X2'S SHAPPED ON
703	A	3'00	7'00	3'00	.125	.066	.125	20'-0"	24'-0"	23'-0"	DO
804	A	4'00	8'00	4'00	.125	.070	.125	20'-0"	24'-0"	23'-0"	DO
1004	A	4'00	10'00	4'00	.140	.096	.140	24'-0"	28'-0"	25'-0"	DO
302	B	2'00	3'00		.050	.050	.050	12'-0"	11'-0"	10'-0"	
202	MISC	2'00	2'00		.040	.040	.040	3'-0"	6'-0"	7'-0"	
402	B	2'00	4'00		.07	.060	.120	12'-0"	12'-0"	12'-0"	#10X1/2" SMS AT 24" OC
602	C	2'00	6'00		.040	.050	.120	12'-0"	24'-0"	25'-0"	DO
702	C	2'00	7'00		.140	.070	.120	20'-0"	24'-0"	24'-0"	DO

COLUMN SCHEDULE											
MARK	TYPE	SIZE			THICKNESS			MAX COLUMN H' SPACED E-C			REMARKS
		b	d	b'	T <sub>1</sub>	T <sub>2</sub>	T <sub>3</sub>	6'-0"	7'-0"	8'-0"	
302	B	2'00	3'00		.050	.050		9'-0"	11'-0"	11'-0"	
402	C	2'00	4'00		.060	.050	.120	18'-0"	11'-0"	12'-0"	

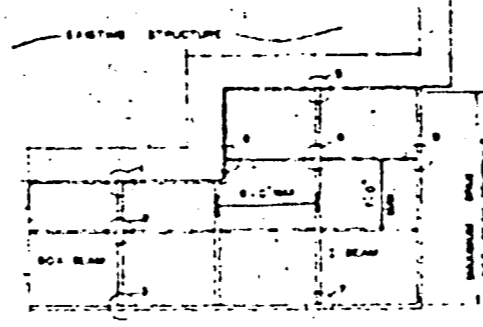
MISCELLANEOUS FASTENING SCHEDULE		
MEMBER	DESCRIPTION	FASTENER
202	STRUT TO L2 AT BEAM	2" X 3/4" SMS
202	STRUT TO EAVE SECTION	3"
202	CHAIR FAIL TO COLUMN	DO
1X2	PERIMETER MEM JOINED	DO
1X2	PERIMETER MEM TO COL	DO
1X2	PERIMETER MEM TO CONC	ANCHOR AT 24" C-C
1X2	PERIMETER MEM TO WOOD	#10X2 1/2" SMS 24" OC

SCREEN WALL CABLE SCHEDULE				
HEIGHT	SPAN	CABLES	SPAN	CABLES
6'-0"	12'-0"	1 SET (2 CABLES)	12'-0"	2 SETS (4 CABLES)
8'-0"	15'-0"	1 SET (2 CABLES)	15'-0"	2 SETS (4 CABLES)
10'-0"	18'-0"	1 SET (2 CABLES)	18'-0"	2 SETS (4 CABLES)
12'-0"	21'-0"	1 SET (2 CABLES)	21'-0"	2 SETS (4 CABLES)
12'-0"	24'-0"	1 SET (2 CABLES)	24'-0"	2 SETS (4 CABLES)

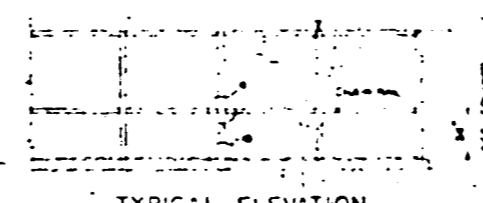
ANCHORS TO CONCRETE & MASONRY SHALL BE 1/4" X 2 1/2" THRU RODS, #10 X 2 1/2" SMS, IN JORDAN 1020 ANCHOR OR APPROVED EQUIV.

DESIGN CRITERIA		
WELLS	DESIGN WIND LOAD IN & OUT	10 PSF
	TEST LOAD WIND IN & OUT	15 PSF
ROOF	DESIGN LIVE LOAD DOWN	12 PSF
	DESIGN WIND LOAD UP	12 PSF
	TEST LOAD UP & DOWN	9 PSF
RECOVERY AT TEST LOAD		90% MIN

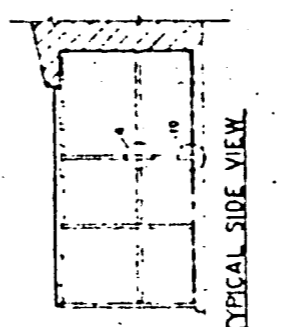
- NOTES:
- ROOF & SIDES SHALL BE COVERED WITH SCREEN CLOTH BEING 60% OR GREATER OPEN. THE ADDITION OF SOLID ROOFING OR SIDING IS NOT COVERED BY THIS SHEET.
  - THE EXISTING STRUCTURE MUST BE CAPABLE OF SUPPORTING THE LOADED SCREEN ENCLOSURE.
  - BEAMS TO BE ALUM. ALLOY BEAMS WILL BEAR IDENTIFICATION 1 FT FROM EACH END OF BEAM.
  - USE ADDITIONAL SETS OF CABLES WHERE BEAM SPANS EXCEED THOSE SHOWN IN CABLE SCHEDULE.
  - A TOLERANCE OF 0.06" IS ALLOWED WHERE WALL THICKNESS IS 12" OR LESS.
  - ANCHOR FASTENERS SHALL BE NON-MAGNETIC STAINLESS STEEL OR ALUM EXCEPT CABLE FASTENERS MAY BE HOT-DIP GALV STEEL.
  - MASONRY ANCHORS SHALL BE MADE OF NON-CORROSIVE METALIC CONCT OR OF VIRGIN PVC PLASTIC.



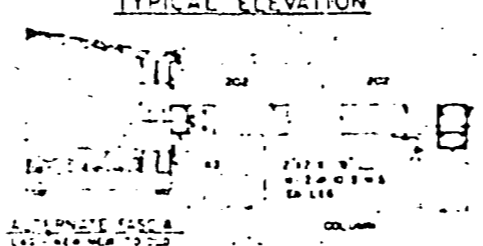
TYPICAL ROOF PLAN



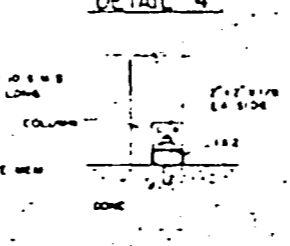
TYPICAL ELEVATION



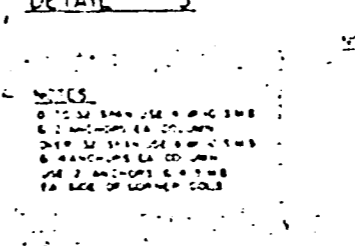
TYPICAL SIDE VIEW



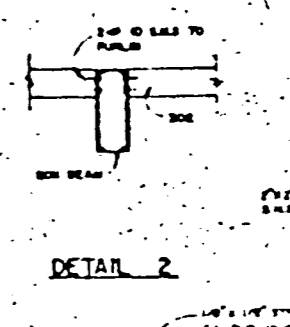
DETAIL 8



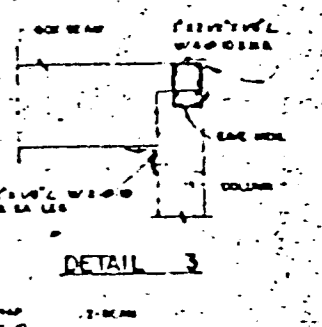
DETAIL 9



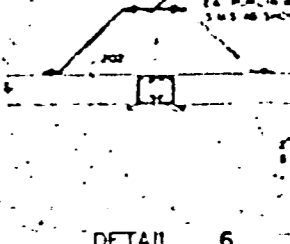
DETAIL 10



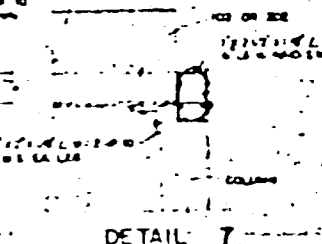
DETAIL 2



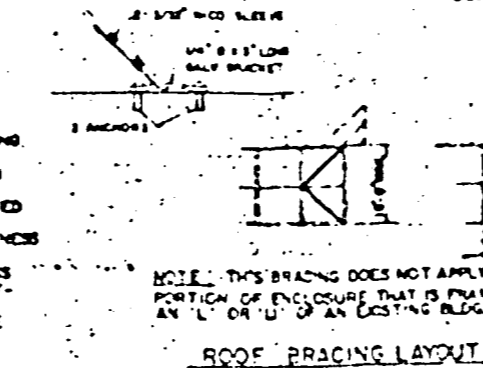
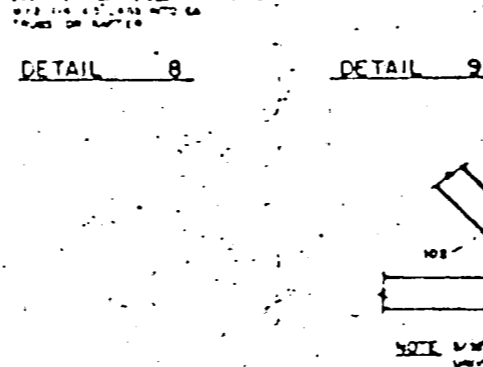
DETAIL 3



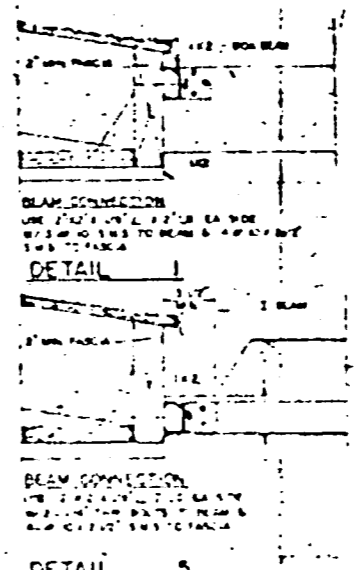
DETAIL 6



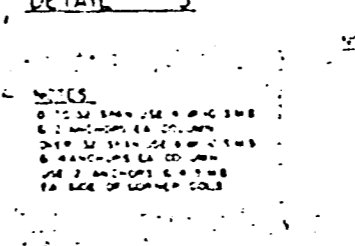
DETAIL 7



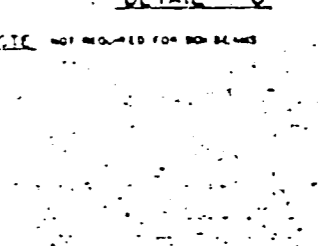
WIND BRACING DETAILS



DETAIL 1

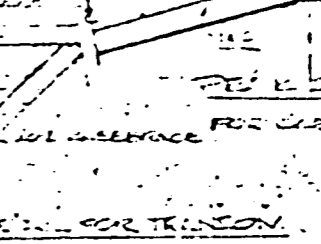


DETAIL 5



NOTE: NOT REQUIRED FOR 202 BEAMS

102 SPACING SCHEDULE		
HEIGHT	SPAN	CABLES
0'-0"	12'-0"	1 SET (2 CABLES)
0'-0"	15'-0"	1 SET (2 CABLES)
0'-0"	18'-0"	1 SET (2 CABLES)
0'-0"	21'-0"	1 SET (2 CABLES)
0'-0"	24'-0"	1 SET (2 CABLES)



SCREEN ENCLOSURE DETAIL SHEET

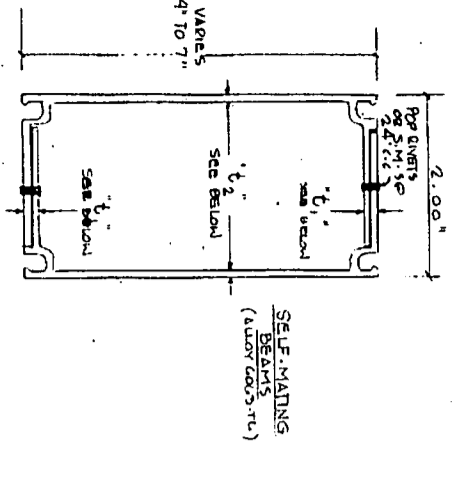
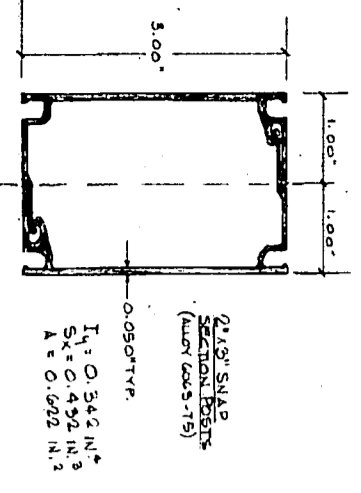
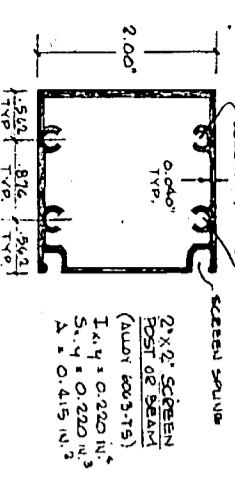
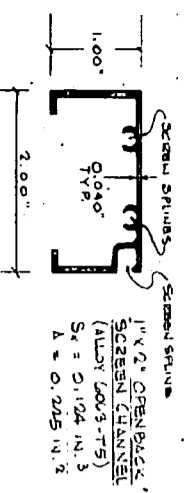
**CLIMATROL FLORIDA CORP**  
 533 SO. WASH. RAILROAD, CORN, FLORIDA

ENGINEER: ROBERT E. WILSON JR.      ADDRESS: \_\_\_\_\_  
 DATE: JAN 15, 1975      \_\_\_\_\_  
 REVISED: MAY 27, 1975      \_\_\_\_\_

ROOF BRACING LAYOUT (FREE STANDING & FASCIA ATTACHED ENCLOSURES)



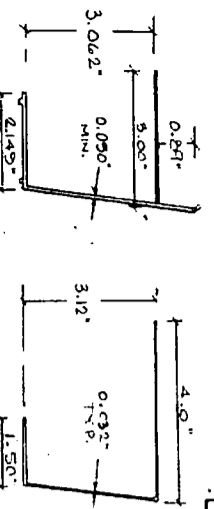
**EXTRUDED POST AND BEAM SECTIONS**



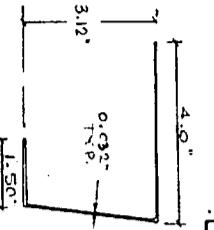
**PROPERTIES OF SELF-MANNING BEAMS**

DEPTH	4"	6"	7"
$I_x$	0.118	0.045	1.08
$S_x$	0.48	0.75	0.75
$I_y$	0.109	0.085	1.86
$S_y$	0.75	0.75	0.75
$I_x - I_y$	0.225	0.055	3.69
$S_x - I_y$	0.70	0.70	0.70

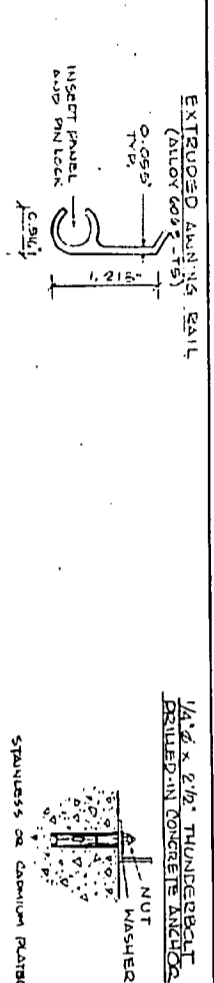
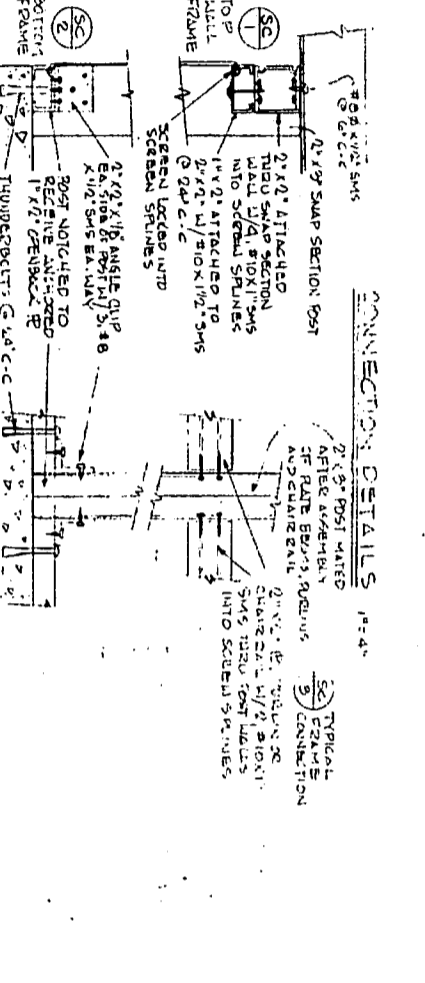
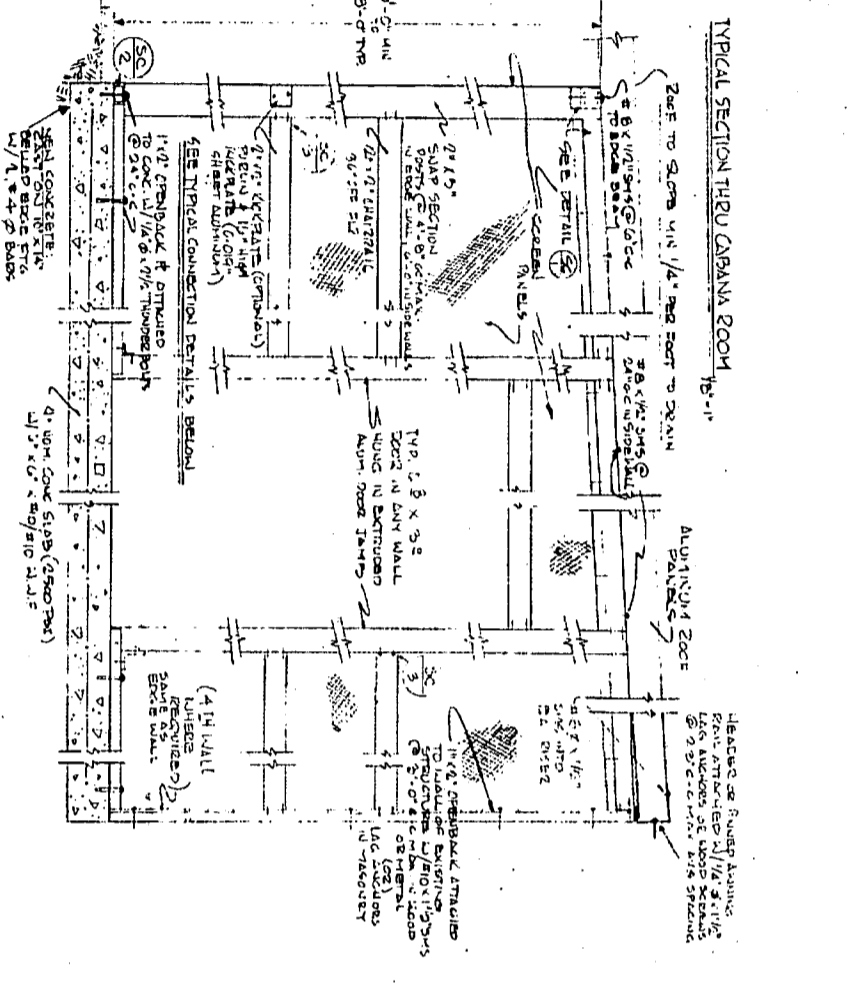
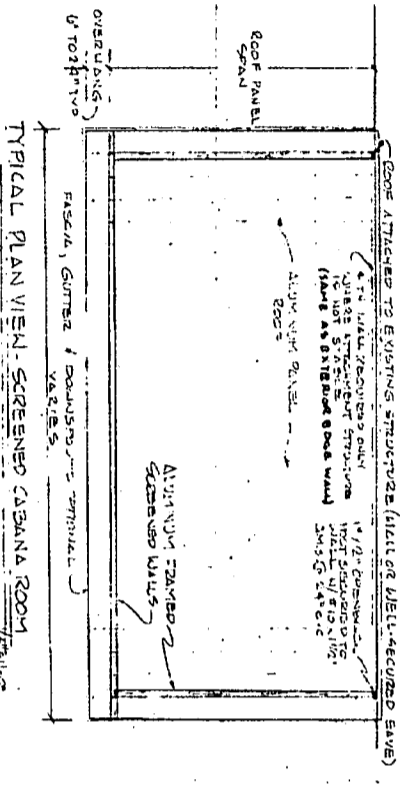
**EXTRUDED WALL HEADERS**  
(ALLOY 6063-T5)



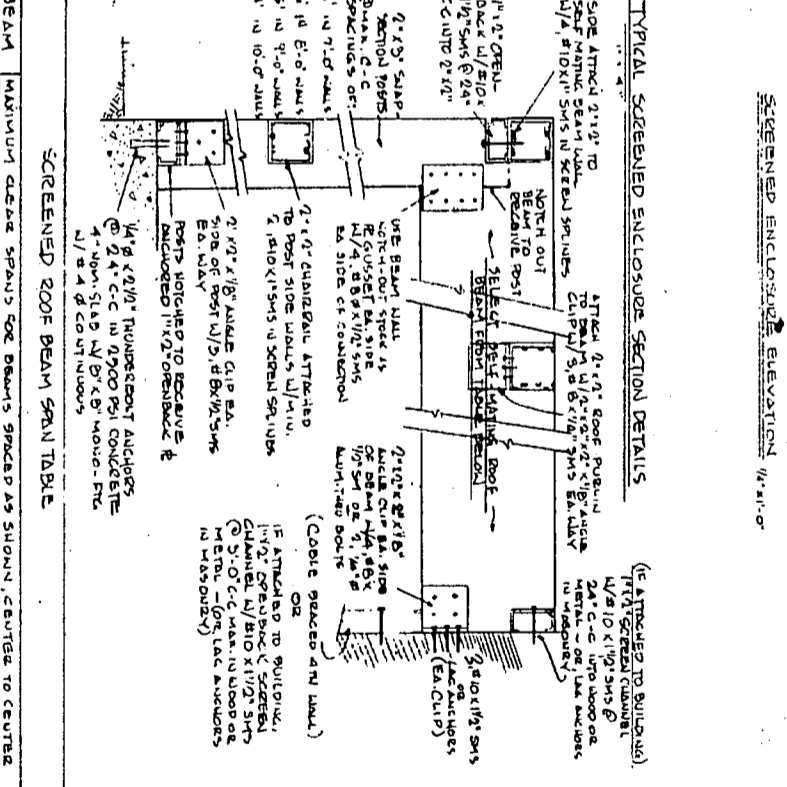
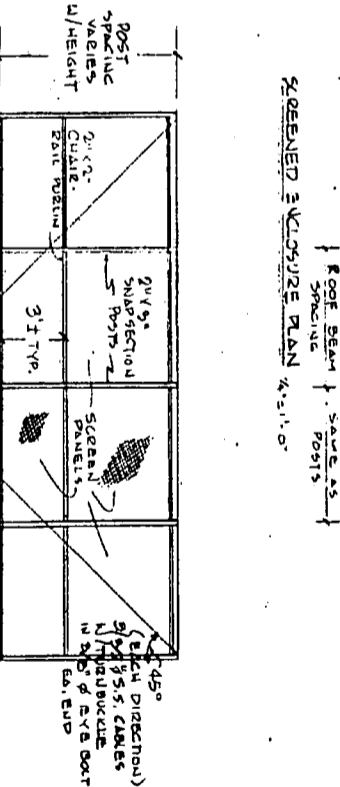
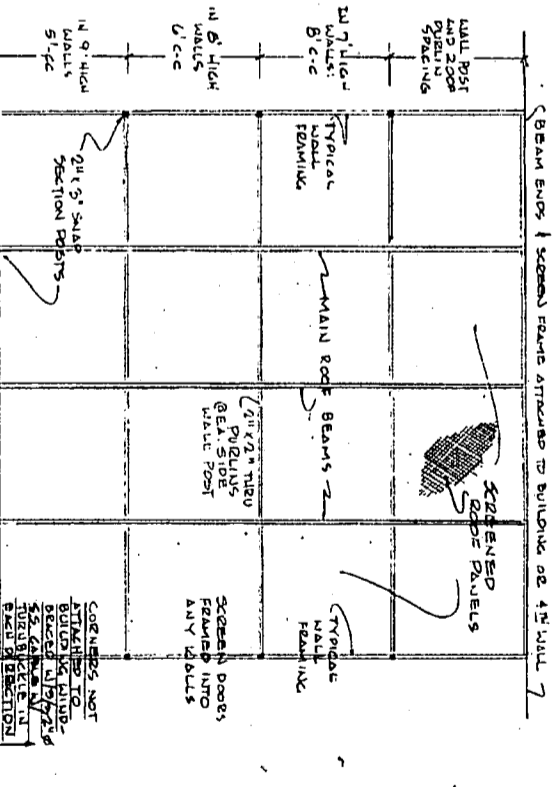
**ROLL-FORMED HEADERS**  
(ALLOY 3003 H14)



**SCREENED CABANA ROOM DETAILS**



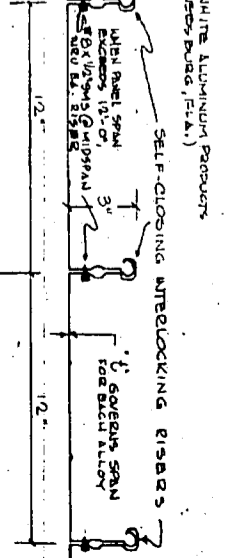
**SCREEN ENCLOSURE DETAILS**



**SCREENED ROOF BEAM SPAN TABLE**

BEAM SIZE	4" x 7"	6" x 6"	6" x 6"	6" x 6"	6" x 6"	6" x 6"	7" x 6"
MINIMUM CLEAR SPANS FOR BEAMS SPACED AS SHOWN, CENTER TO CENTER	40'-0"	41'-0"	39'-10"	36'-10"	35'-4"	34'-0"	

**ALUMINUM ROOF PANEL SYSTEM**  
(ALLOY 3003-H14 OR 3003-H16)



**MAXIMUM SPANS FOR 120 MPH WIND - 20 PSF LL**

ALLOY	6" x 0.092"	6" x 0.092"
3003 H14	14'-0"	12'-0"
3003 H16	14'-9"	12'-7"

EXCEPT WHERE SHOWN OTHERWISE BY LOCAL ADMINISTRATOR, SAFE LOAD-CARRYING PROPERTIES AND SPANS FOR THESE ROOF PANELS HAVE BEEN VERIFIED BY LOAD TESTS ON ROOF ASSEMBLIES CONDUCTED UNDER THE SUPERVISION OF THE UNDERSIGNED ENGINEER. DEFLECTION IS LIMITED TO 1/60 OF SPAN AT 20 PSF LL IN ALL CASES.

**ENGINEERING NOTE**

STRUCTURES DETAIL IN THESE PLANS WERE DESIGNED IN ACCORDANCE WITH SOUTHERN STANDARD BUILDING CODE AND AMENDMENTS. DESIGN LOADS CONSIDERED: DL + 20 PSF LL 120 MPH WIND VEL. (CITY PERMISSIBLES WHERE LOCAL ADMINISTRATOR IMPOSES LIMITATIONS ON SPANS OR PROPORTIONS, SUCH PROVISIONS SHOULD BE ADHERED TO IN APPLICATION OF THE DESIGN.

*Charles E. Clifton, P.E.*  
CHARLES E. CLIFTON, P.E.  
FLORIDA REG. NO. 122295

HARLAN ENGINEERING LABORATORIES, INC.  
P.O. BOX 5050  
LAKELAND, FLORIDA 32809  
INSURED 8-75-70, ETC.  
JOB NO. E-782-LTC  
DATE: 7/17/76

MASTER PLAN FOR SCREENED CABANA ROOMS & ENCLOSURES  
FOR: CLIMATEROL, INC.  
529 SOUTH INDUSTRY ROAD  
COOKE, FLORIDA 32902

**3559**

**RE-ROOF**

TAX FOLIO NO. 12-38-41-002-000-00290-60000 DATE 2-28-94

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

3559

Owner Christopher Twohey Present Address #5 Rio Vista Drive

Phone 221-8221 Stuart, FL 34996

Contractor Stein Co., Inc. Address 602 S. Market Avenue

Phone 465-9468

Where licensed State License Number CC CA42775

Electrical Contractor License Number \_\_\_\_\_

Plumbing Contractor License Number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Remove existing flat roof. Install 30lb dry in felt, 1-ply modified bitumen, new roof flashings.

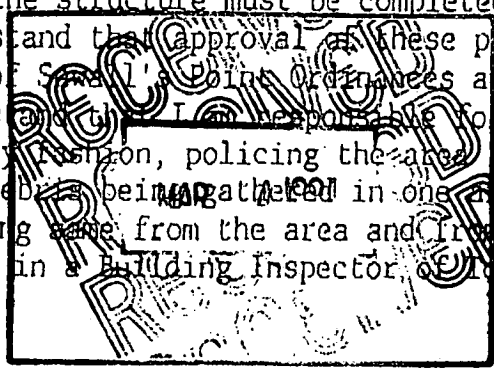
State the street address at which the proposed structure will be built: #5 Rio Vista Drive

Subdivision Rio Vista Subdivision Lot Number 29 Block Number \_\_\_\_\_

Contract Price \$ 1200.00 Cost of Permit \$ 100.00

Plans approved as submitted N/A Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand and agree that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, moving same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-Tagging" the construction project.



Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

Plans submitted \_\_\_\_\_ Approved: Dale Brown 3/1/94 Building Inspector Date

Approved: [Signature] 3/7/94 Final Approval given: \_\_\_\_\_ Date Commissioner Date

Certificate of Occupancy issued (if applicable) \_\_\_\_\_ Date

282 Permit No. \_\_\_\_\_

**3947**

**REROOF**

DATE 3-4-96

TAX FOLIO NO. \_\_\_\_\_

APPLICATION FOR A PERMIT TO BUILD A DOCK, FIDGE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

**3947**

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Chris Twomey Present address 5 Rio Vista Drive  
Stuart, FL 34995

Phone 221-8221  
Contractor Stein: Co., Inc. Address 602 S. Market Ave.  
Phone 465-9468 Ft. Pierce, FL 34982

Where licensed State License number CC CA42725

Electrical Contractor License number \_\_\_\_\_

Plumbing Contractor License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought:

Reroof w 25yr Dimensional fiberglass Shingles

State the street address at which the proposed structure will be built:  
5 Rio Vista Drive

Subdivision \_\_\_\_\_ Lot Number \_\_\_\_\_ Block Number \_\_\_\_\_

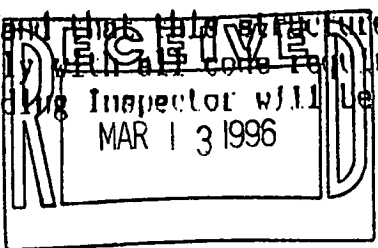
Contract price \$ 4000.00 Cost of permit \$ 100.00

Plans approved as submitted  Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand the approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-Tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.



Owner [Signature]

TOWN RECORD

Date submitted \_\_\_\_\_

Approved: [Signature] 3/13/96  
Building Inspector Date

Address: 602 S. Market Avenue  
Ft. Pierce, Fl. 34982

This instrument prepared by:  
Stein & Co., Inc.

Address: 602 S. Market Avenue  
Ft. Pierce, Fl. 34982

Property Appraiser's Parcel Identification

Folio# 12-38-41-002-000-00290.6000

Space above this line  
for processing data

Space above this line  
for recording data

Permit No. \_\_\_\_\_

### Notice of Commencement

State of Florida  
County of Martin

The undersigned hereby give notice that improvements will be made to certain Real Property and in accordance with Section 713:13 of the Florida Statutes. The following information is provided in this Notice of commencement.

Legal description of property (include Street address, if available):

5 Rio Drive, Stuart, Fl. 34995

*Rio drive S/D Lot 29*

General description of improvement:

Reroof

Owner Mr. Twohey

Owner Interest: Residence

Address: Same

Contractor Stein & Co., Inc.

Address: 602 S. Market Avenue, FP, Fl. 34982

Surety:

Address:

Amount of Bond \$

Any person making a loan for the construction of the improvements:

Name:

Address:

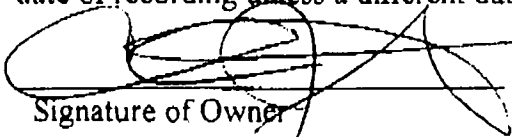
Person within the State of Florida designated by owner whom notice or other documents may be served provided by Section 713,12 (1) 7., Florida Statues

Name:

Address:

In addition to himself, owner designates \_\_\_\_\_ of \_\_\_\_\_ to receive a copy of lienor's Notice as provided in Section 713,12 (1) (B), Florida Statutes.

Expiration date of Notice of Commencement (the expiration date is One year from the date of recording unless a different date is specified).

  
Signature of Owner

CHRISTOPHER J. TWOHEY  
Printed Signature of Owner



VICKI P. WELLMAKER  
My Comm Exp. 2/15/98  
Bonded By Service Ins  
No. CC348362  
I Personally Know ( ) Other I.D.

I have relied upon the following identification of the Affiant.

Sworn to and subscribed before me this  
4<sup>th</sup> day of March 1996

Vicki Plummer Wellmaker  
Notary Signature

Notary Rubber Stamp Seal

Vicki Plummer Wellmaker  
Printed Notary Signature

**5093**

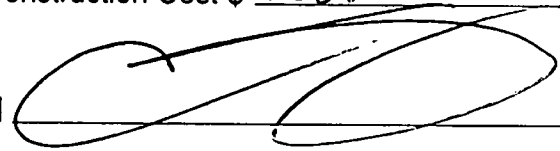
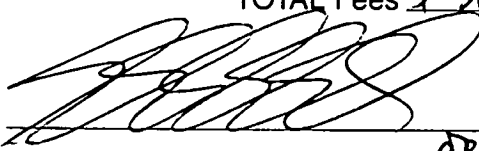
**FENCE**

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 10/6/00 BUILDING PERMIT NO. 5093  
Building to be erected for CHRISTOPHER J. TUOHY Type of Permit FENCE  
Applied for by O/B (Contractor) Building Fee \$30.00  
Subdivision RIO VISTA Lot 29 Block \_\_\_\_\_ Radon Fee \_\_\_\_\_  
Address 5 RIO VISTA DR. Impact Fee \_\_\_\_\_  
Type of structure S.F.R. A/C Fee \_\_\_\_\_

Parcel Control Number: \_\_\_\_\_  
12-38-41-002-000-00290-60000  
Amount Paid \$30.00 Check # 800 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ )  
Total Construction Cost \$ 350.00 TOTAL Fees \$30.00

Signed  Applicant  
Signed  Town Building Inspector OFFICIAL

# FENCE PERMIT

INSPECTIONS			
SETBACKS	DATE _____	HEIGHT	DATE _____
FOOTINGS	DATE _____	FINAL	DATE <u>1/12/01</u>
<b>24 HOURS NOTICE REQUIRED FOR INSPECTIONS.</b>		<b>CALL 287-2455</b>	
<b>WORK HOURS - 8:00 AM UNTIL 5:00 PM</b>			
<b>MONDAY THROUGH SATURDAY</b>			

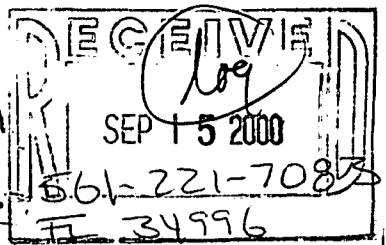
New Construction     Remodel     Addition     Demolition

**This permit must be visible from the street, accessible to the inspector.**  
**FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,**  
**NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.**  
**DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**



# Town of Sewall's Point

## BUILDING PERMIT APPLICATION



Owner's Name: CHRISTOPHER J. TWOMEY Phone No. 561-221-7083  
 Owner's Present Address: 5 RIO VISTA DRIVE, STUART, FL 34996  
 Fee Simple Titleholder's Name & Address if other than owner: \_\_\_\_\_

Location of Job Site: 5 RIO VISTA DRIVE, STUART, FL 34996  
 TYPE OF WORK TO BE DONE: FENCE

**CONTRACTOR INFORMATION**  
 Contractor/Company Name: OWNER Phone No. 561-221-7083  
 COMPLETE MAILING ADDRESS 5 RIO VISTA DRIVE, STUART, FL 34996  
 State Registration \_\_\_\_\_ State License \_\_\_\_\_  
 Legal Description of Property \_\_\_\_\_  
 Parcel Number \_\_\_\_\_

**ARCHITECT/ENGINEER INFORMATION**  
 Architect \_\_\_\_\_ Phone No. \_\_\_\_\_  
 Address \_\_\_\_\_  
 Engineer \_\_\_\_\_ Phone No. \_\_\_\_\_  
 Address \_\_\_\_\_  
 Area Square Footage: Living Area \_\_\_\_\_ Garage Area \_\_\_\_\_ Carport \_\_\_\_\_  
 Accessory Bldg. \_\_\_\_\_ Covered Patio \_\_\_\_\_ Scr. Porch \_\_\_\_\_ Wood Deck \_\_\_\_\_  
 Type Sewage: \_\_\_\_\_ Septic Tank Permit # from Health Dept. \_\_\_\_\_  
 NEW electrical SERVICE SIZE \_\_\_\_\_ AMPS

**FLOOD HAZARD INFORMATION**  
 flood zone \_\_\_\_\_ minimum Base Flood Elevation (BFE) \_\_\_\_\_ NGVD  
 proposed finish floor elevation \_\_\_\_\_ NGVD (minimum 1 foot above BFE)  
 Cost of construction or Improvement \$350.00  
 Fair Market Value (FMV) prior to improvement 175,000.00  
 Substantial Improvement 50% of FMV yes \_\_\_\_\_ No X  
 Method of determining FMV TAX BILL

**SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)**  
 Electrical \_\_\_\_\_ State License \_\_\_\_\_  
 Mechanical \_\_\_\_\_ State License# \_\_\_\_\_  
 Plumbing \_\_\_\_\_ State License# \_\_\_\_\_  
 Roofing \_\_\_\_\_ State License# \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

### OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE \_\_\_\_\_  
 Sworn to and subscribed before me this 2<sup>nd</sup> day of AUGUST, 1998 by CHRISTOPHER J. TWOMEY who is personally known to me or has produced or has produced \_\_\_\_\_ and who did (did not) take an oath.

CONTRACTOR SIGNATURE \_\_\_\_\_  
 Sworn to and subscribed before me this \_\_\_\_\_ day of SEPTEMBER, 1998 by \_\_\_\_\_ who is personally known to me or has produced 2000 and who did (did not) take an oath.

*Jennifer Martinez* 10/4/00 Page 1



**TREE REMOVAL (Attach sealed survey)**

No. of trees to be removed \_\_\_\_\_ No. to be retained \_\_\_\_\_ No. to be planted \_\_\_\_\_

Specimen tree removed \_\_\_\_\_ Fee \_\_\_\_\_ Authorized/Date \_\_\_\_\_

DEVELOPMENT ORDER # \_\_\_\_\_

**1. ALL APPLICATIONS REQUIRE:**

- A. Property Appraiser's Parcel Number. 12-38-41-002-600-002.9-060000
  - B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.) LOT 29, RIO VISTA S/D
  - C. Contractor's name, address, phone number & license numbers.
  - D. Name all sub-contractors (properly licensed).
  - E. Current Survey
  - F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:

1. Floor Plan
2. Foundation Details
3. Elevation Views - Elevation Certificate due after slab inspection.
4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
5. Truss layout
6. Vertical Wall Sections (one detail for each wall that is different)
7. Fireplace drawing: If prefabricated submit manufacturers data.

**ADDITIONAL Required Documents are:**

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

**NOTICE:** In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official \_\_\_\_\_

Approved by Town Engineer \_\_\_\_\_



EDWIN B. ARNOLD, AIA, CBO  
Building Official

IA

TOWN OF SEWALL'S POINT

D.

Town Hall  
One South Sewall's Point Road  
Sewall's Point, Florida 34996

Phone (561) 287-2455  
Fax (561) 220-4765

Disclosure Statement

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is in violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name CHRISTOPHER J. TWOMEY Date 10-6-00  
 Signed [Signature]  
 Address 5 RIO VISTA DRIVE  
 City & State STUART, FL 34996  
 Permit No. 5093

This form is for all permits ~~except electrical~~.  
Revised October 25, 1995

S.62°32'45"W 630.68'(P) 630.43'(F)  
BEARING BASE

165.00'(P)(C)

RIO VISTA DRIVE

S.62°32'45"W 125.00'(P)(F)

FND. C.M.  
(4"x6")  
BROKEN

175.00'(I)

M.H.

FND. LB.(5/8")

$\Delta = 90^{\circ}00'00''$   
RADIUS = 25.00'  
ARC = 39.27'(P)(F)

FND. C.M.  
(4"x6")  
BROKEN

LOT 29

PLANTER

CONC.  
DRIVE

**PN**

5.0'

5.0'

10' UTILITIES E

116.00'(P)(C)

LANTANA LANE

S.27°27'15"E 76.00'(P)(F)

S.27°27'15"E 332.00'(P)(C)

15.00'(P)

FND. C.M.  
(4"x6")

*6' HIGH SHADOWBOX  
PER ATTACHED DRG.*

1 STORY C.B.S.  
DWELLING

1 STORY  
C.B.S.  
GARAGE

BREEZE  
WAY

POOL

**FILE**  
TOWN COPY  
S RIO VISTA DR

S.27°27'15"E 101.00'(P)(F)

*9/22/00 TOWN OF SEABOARD  
REMBURSE  
TOWN OFFICIAL*

49.10'

4.00'

30.33'

15.00'

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A/C

POOL  
EQUIP.

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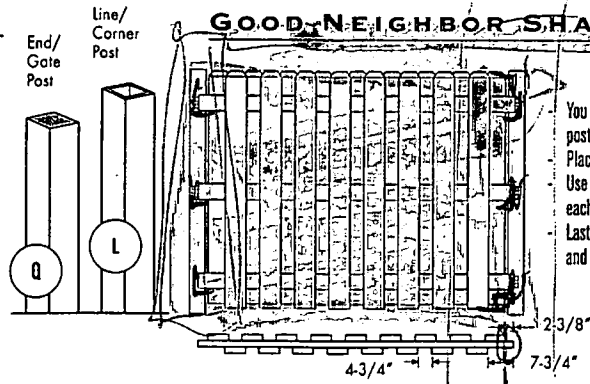
5.0'

5.0'

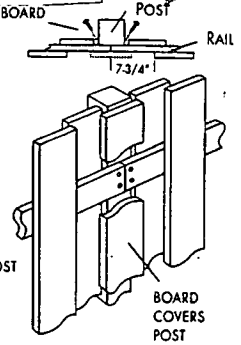
FND. C.M.  
(4"x6")

# TRADITIONAL STYLE FENCE

BIN#	QTY.	MATERIAL LIST
E	18	3/4" x 6" - 70" Board
D	3	3/4" x 4-1/4" - 96" Board (use as rails)
4	18	6" Dogeared Post tops
22	1	150 Pc. Bag of 1-3/8" Screws
7	6	Rail Connector Brackets
V	3	3/4" x 93" Steel Supports
24	1	4 oz. Vinyl Cement

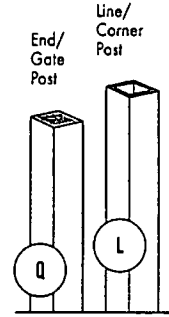


You will need one 3-1/2" x 3-1/2" post for every section of fence. Place steel supports in all three rails. Use 2 rail connector brackets on each end of horizontal rails. Last board attaches over the post and covers the rail connectors.

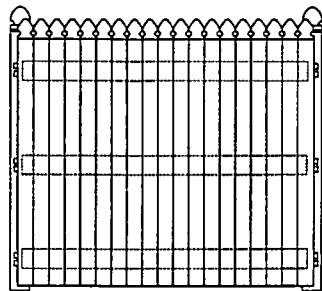


36 169 283  
RAIL BACK

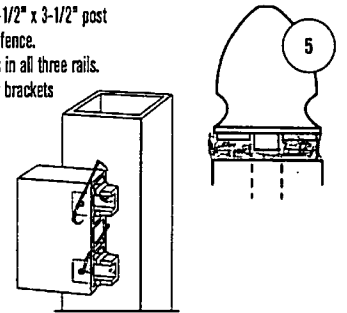
BIN#	QTY.	MATERIAL LIST
C	22	3/4" x 4-1/4" - 70" Board
D	3	3/4" x 4-1/4" - 96" Board (use as rails)
5	22	4" American Gothic Board Tops
22	1	150 Pc. Bag of 1-3/8" Screws
7	6	Rail Connector Brackets
V	3	3/4" x 93" Steel Supports
24	1	4 oz. Vinyl Cement



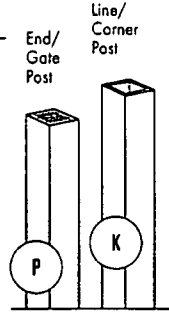
## AMERICAN GOTHIC PRIVACY 6' X 8'



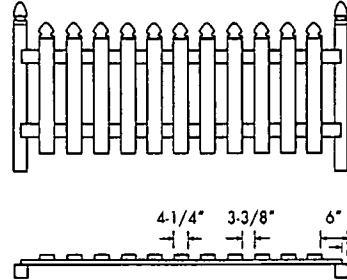
You will need one 3-1/2" x 3-1/2" post for every section of fence. Place steel supports in all three rails. Use 2 rail connector brackets on each end of horizontal rails.



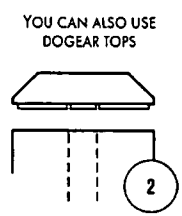
BIN#	QTY.	MATERIAL LIST
C	6	3/4" x 4-1/4" - 70" Board
D	2	3/4" x 4-1/4" - 96" Board (use as rails)
2	12	4" American Gothic Board Tops
22	1	150 Pc. Bag of 1-3/8" Screws
7	4	Rail Connector Brackets
V	2	3/4" x 93" Steel Supports
24	1	4 oz. Vinyl Cement



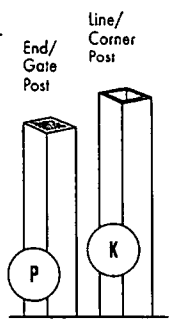
## ALL AMERICAN SPACED PICKET 42" X 8'



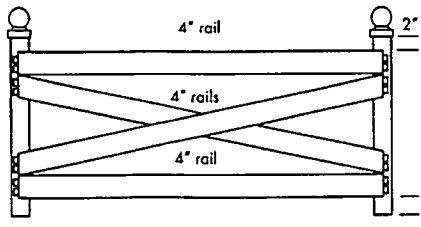
You will need one 3-1/2" x 3-1/2" post for every section of fence. Place steel supports in both rails. Use 2 rail connector brackets on each end of horizontal rails. Cut 3/4" x 4-1/4" x 70" boards in half for a 35" board. Picket spacing should be 3-3/8" between pickets.



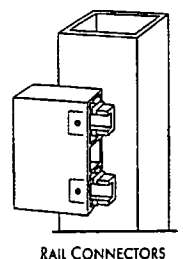
BIN#	QTY.	MATERIAL LIST
D	4	3/4" x 4-1/4" - 96" Board (use as rails)
K	1	3-1/2" x 3-1/2" - 72" Line Post
10, 11 or 12	1	4 x 4 Post Top
20	1	60 Pc. Bag of 1-3/8" Screws
7	8	Rail Connector Brackets
V	4	3/4" x 93" Steel Supports
24	1	4 oz. Vinyl Cement



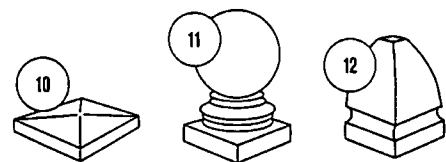
## CROSSBUCK



You will need one 3-1/2" x 3-1/2" post for every section of fence. Posts must be set at 7'-6" on center. Place steel supports in all 4 rails. Use 2 rail connector brackets on each end of horizontal rails.



**CONSULT YOUR LOCAL BUILDING DEPARTMENT FOR LOCAL CODE REQUIREMENTS...**



CHOOSE FROM BALL, GOTHIC OR BEVEL POST TOPS

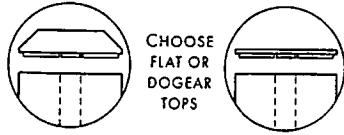
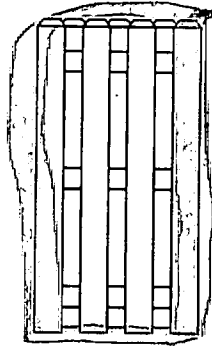
# GATES

## SHADOWBOX GATE

BIN# QTY. MATERIAL LIST

- E 7 - 3/4" x 6" - 70" Board
- D 2 - 3/4" x 4-1/4" - 96" Rails
- 4 7 - 6" Dogeared Post tops
- 20 1 - 60 Pc. Bag of Screws 1-3/8"
- V 4 - 3/4" x 93" Steel Supports

42"W X 72"H



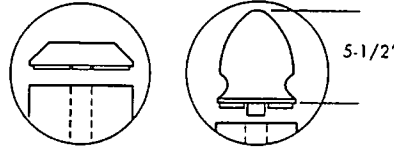
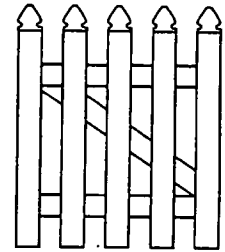
CHOOSE  
FLAT OR  
DOGEAR  
TOPS

## SPACED PICKET GATE

BIN# QTY. MATERIAL LIST

- C 4 - 3/4" x 4-1/4" - 70" Board
- 2 5 - 4" American Gothic Board Tops
- 20 1 - 60 Pc. Bag of Screws 1-3/8"
- V 2 - 3/4" x 93" Steel Supports

36"W X 42"H



CHOOSE GOTHIC OR  
DOGEAR TOPS

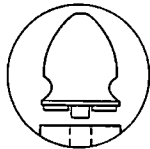
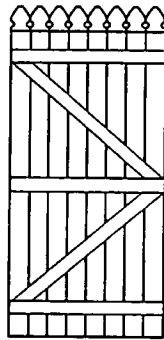
5-1/2"

## GOTHIC PRIVACY GATE

BIN# QTY. MATERIAL LIST

- C 8 - 3/4" x 4-1/4" - 70" Board
- D 2 - 3/4" x 4-1/4" - 96" Rails
- 5 8 - 4" American Gothic Board Tops
- 20 1 - 60 Pc. Bag of Screws 1-3/8"
- V 4 - 3/4" x 93" Steel Supports

34"W X 76"H



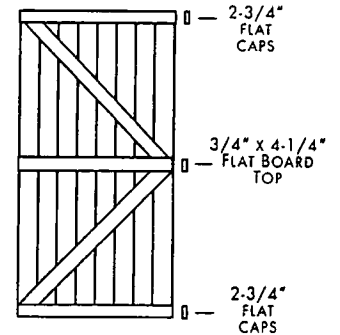
AMERICAN  
GOTHIC TOP

## QUICK RAIL GATE

BIN# QTY. MATERIAL LIST

- C 8 - 3/4" x 4-1/4" - 70" Board
- D 3 - 3/4" x 4-1/4" - 96" Backer Rails  
(For center & diagonal braces)
- T 1 - 1-3/4" x 2-3/4" - 96" Quick Rail  
Top/Bottom (Cut in 2-34" lengths)
- 13 4 - 2-3/4" Flat caps
- 1 2 - 3/4" x 4-1/4" Flat Board Top
- 20 1 - 60 Pc. Bag of Screws 1-3/8"

34"W X 72"H



2-3/4"  
FLAT  
CAPS

3/4" x 4-1/4"  
FLAT BOARD  
TOP

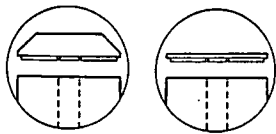
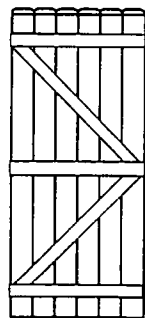
2-3/4"  
FLAT  
CAPS

## 6" BOARD PRIVACY GATE

BIN# QTY. MATERIAL LIST

- E 8 - 3/4" x 6" - 70" Board
- D 3 - 3/4" x 4-1/4" - 96" Rails
- 4 8 - 6" Dogeared Board Tops
- 20 1 - 60 Pc. Bag of Screws 1-3/8"
- V 4 - 3/4" x 93" Steel Supports

36"W X 72"H



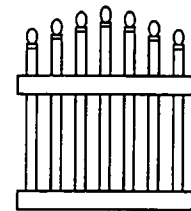
CHOOSE FLAT OR  
DOGEAR TOPS

## SCALLOPED GATE

BIN# QTY. MATERIAL LIST

- A 4-1-3/8" x 1-3/8" - 72" Pickets  
(Cut pickets with 1/2" difference)
- R 1 - 1-3/4" x 2-3/4" - 96" Top/Bottom Rail
- S 1 - 1-3/4" x 2-3/4" - 96" Center Rail
- 13 4 - 2-3/4" Flat caps
- 6 7 - American Picket Caps
- 19 1 - 60 pc. Bag of 3/4" Screws
- X 1 - 1-3/4" x 96" Steel Support

34-1/2"W X 36-1/2"H

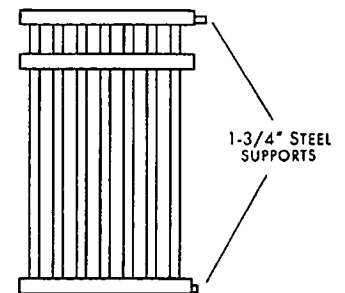


## ORNAMENTAL GATE

BIN# QTY. MATERIAL LIST

- A 7-1-3/8" x 1-3/8" - 72" Pickets  
(Cut to 56-1/2" lengths)
- R 1 - 1-3/4" x 2-3/4" - 96" Top/Bottom Rail  
(Cut in 2- 34-1/2" lengths)
- S 1 - 1-3/4" x 2-3/4" - 96" Center Rail
- 13 6 - 2-3/4" Flat caps
- 19 1 - 60 pc. Bag of 3/4" Screws
- X 1 - 1-3/4" x 96" Steel Supports  
(Cut in 2-34-1/2" lengths)

34-1/2"W X 72"H



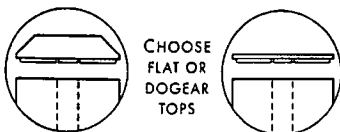
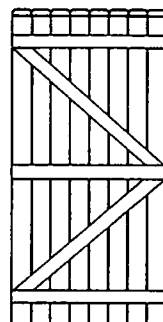
1-3/4" STEEL  
SUPPORTS

## 4" BOARD PRIVACY GATE

BIN# QTY. MATERIAL LIST

- C 6 - 3/4" x 4-1/4" - 70" Board
- D 3 - 3/4" x 4-1/4" - 96" Rails
- 2 6 - 4" Dogeared Board Tops
- 20 1 - 60 Pc. Bag of Screws 1-3/8"
- V 4 - 3/4" x 93" Steel Supports

34"W X 72"H



CHOOSE  
FLAT OR  
DOGEAR  
TOPS

NOTE: ACTUAL GATE OPENINGS MUST ALLOW FOR HARDWARE  
CLEARANCE PER MANUFACTURERS SPECIFICATIONS.

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Thu 1/12/12

Page 1 of 3

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S 0396	Mc Cartney	final inspect	Passed	J 1/12
✓ S 5702	45 W. High Pt. owner	tree + demo	Passed	needs 1/12 power
✓ S 5185	Jones	footing	Passed	as early as possible
✓ S 4955	RICA	DRIVEWAY - FINAL	Passed	J 1/12
✓ S 5192	RAO	TEMP POWER	Passed	J 1/12
✓ S 5093	TWOHEY	FENCE - FINAL	Passed	J 1/12
✓ S 5214	ROHLOFF	SHEATHING		not ready ??
✓ S 5161	BRENNAN	TIE BEAM	Passed	J 1/12
✓ S 5185	14 Heron's Nest owner			
✓ S 5192	30 CASTLE HILL WAY A.R. MARTIN			
✓ S 5214	20 RIVERVIEW DR. ATS			
✓ S 5161	111 HENRY SEWALL WAY GLENMARK			
✓ S 5093	5 RIO VISTA DR DIB			UL shaped face

OTHER: \_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_

**ADMIN**  
**VARIANCE**



**RESOLUTION NO. 592**

**A RESOLUTION OF THE TOWN COMMISSION OF THE TOWN OF SEWALL'S POINT, FLORIDA, GRANTING THE APPLICATION OF CHRISTOPHER J. TWOHEY FOR A VARIANCE OF SIX (6) ENCROACHMENTS ON LOT 29, IN THE RIO VISTA SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 95, OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.**

WHEREAS, Christopher J. Twohey, ("Applicant"), the owner of the above-described property, has applied for an administrative variance under the Code; and

WHEREAS, the Town Building Department received, reviewed and recommended approval of the Applicant's application for a variance of the following encroachments:

1. An encroachment of .12 feet and .07 feet on the NE and SW corners of the garage;
2. An encroachment of .05 and .07 feet on the NE and SW corners of the residence;
3. An encroachment of .04 feet and .03 feet on the SE and SW corners of the residence;
4. An encroachment of 3.2 feet of the air conditioning pad;
5. An encroachment of 2.3 feet of the pool equipment pad;
6. An encroachment of .06 feet of the SE corner of the pool deck; and

WHEREAS, the Applicant filed a variance request pursuant to the Town Code; and

WHEREAS, the Town Commission held a public hearing on the variance on April 15, 2003; and

WHEREAS, notice of the public hearing was posted at the Town Hall bulletin board and notice of the public hearing was sent by certified mail, return receipt requested, by the Applicant, to all record owners of property located adjacent to the property involved in the variance and the date of the mailing was at least fifteen (15) days before the date of the hearing (or notice was waived by the adjacent owners); and

WHEREAS, the Applicant at the public hearing presented proof of the identity and address of the persons entitled to receive notice by mail and of the mailing of the notice to those persons (or their waiver); and

WHEREAS, the Town Commission at the public hearing made the finding that: The Applicant demonstrated an extreme hardship, which justified a variance of the Town Code.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COMMISSION OF THE TOWN OF SEWALL'S POINT, FLORIDA, AS FOLLOWS:

1. The Applicant's variance is hereby conditionally granted by the Town Commission of the Town of Sewall's Point, Florida;
2. This variance is expressly conditioned upon a co-owner of the residence at 5 Rio Vista Drive, if any, signing the variance application;

3. This variance is expressly conditioned upon the Applicant reimbursing the Town for all professional expenses of the Town incurred in connection with the application, pursuant to Section 46-31, Town of Sewall's Point Code of Ordinances;

4. The Town Building Department, upon the payment of the appropriate permit application fee and professional fees, shall issue a variance permit for the six (6) encroachments listed above, at 5 Rio Vista Drive, Sewall's Point, Florida, in accordance with the plans and specifications reviewed by the Town Commission at the public hearing (attached as Exhibit "A"); and

5. This Resolution shall not constitute permission or a license, either now or in the future, to conduct any activity other than the variance of the six (6) encroachments listed above as proposed by the Applicant in his permit application. Any material deviation in the encroachment permit, survey, drawings, plans, or other application materials provided by the Town Building Department by the Applicant, shall revoke the approval granted by this Resolution and shall be a violation of the Town of Sewall's Point Code of Ordinances.

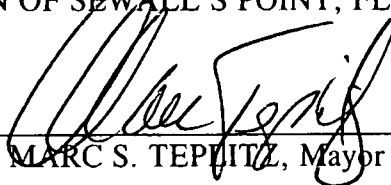
6. This Resolution shall be recorded by the Applicant in the Martin County, Florida Public Records at the Applicant's expense.

The vote was as follows:

	AYE	NAY
MARC S. TEPLITZ, Mayor	<u>✓</u>	_____
JAMES D/ BERCAW, Vice Mayor	<u>✓</u>	_____
RICHARD L. BARON, Commissioner	<u>✓</u>	_____
JAMES D. BERCAW, Commissioner	<u>✓</u>	_____
THOMAS P. BAUSCH, Commissioner	<u>✓</u>	_____
E. DANIEL MORRIS, Commissioner	<u>✓</u>	_____

The Mayor thereupon declared this Resolution approved and adopted by the Town Commission of the Town of Sewall's Point on this 15th day of April, 2003.

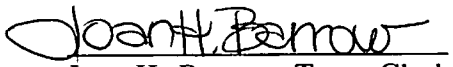
TOWN OF SEWALL'S POINT, FLORIDA



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MARC S. TEPITZ, Mayor

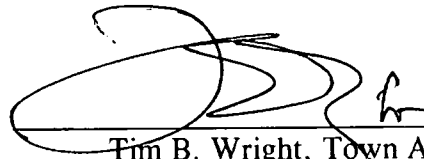
ATTEST:



---

Joan H. Barrow, Town Clerk

(TOWN SEAL)



---

Tim B. Wright, Town Attorney  
Approved as to form and  
legal sufficiency



# TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

MARC S. TEPLITZ  
Mayor

JAMES D. BERCAW  
Vice Mayor

E. DANIEL MORRIS  
Commissioner

THOMAS P. BAUSCH  
Commissioner

RICHARD L. BARON  
Commissioner



JOSEPH C. DORSKY  
Town Manager

JOAN H. BARROW  
Town Clerk

LARRY E. McCARTY  
Chief of Police

GENE SIMMONS  
Building Official

JOSE TORRES, JR.  
Maintenance

To: Mayor and Commissioners

Fm:   
Gene Simmons  
Building Official

Ref: Request for Administrative Variance by Christopher J. Twohey

Date: April 9, 2003

Attached for your review and approval is an application for an administrative variance requested by Mr. Twohey residing at 5 Rio Vista Drive.

The encroachments, which need to be addressed, are as follows:

1. NE and SW corners of garage – existing front setback of 34.88 feet and 34.93 feet - required 35.0 feet front setback. An encroachment of .12 feet and .07 feet exist.
2. NE and SW corners of residence – existing front setback of 34.95 feet and 34.93 feet – required 35.0 feet front setback. An encroachment of .05 feet and .07 feet exist.
3. SE and SW corners of residence – existing rear setback of 14.96 feet and 14.97 feet – required 15.0 feet side setback. An encroachment of .04 feet and .03 feet exist.
4. Air Conditioning pad – existing side setback of 11.8 feet – required 15.0 feet side setback. An encroachment of 3.2 feet exists.
5. Pool Equipment pad – existing side setback of 12.7 feet – required 15.0 feet side setback. An encroachment of 2.3 feet exists.
6. SE corner of pool deck – existing side setback of 14.94 feet – required 15.0 feet side setback. An encroachment of .06 feet exists.

Per Administrative Ordinance No. 292 dated November 19, 2002 the applicant has met the following requirements as outline in the ordinance:

1. The setback violation(s) for the encroachment(s) shown on the survey was/were a good faith error(s) and was/were not intentional.
2. I have inspected the file of 5 Rio Vista Drive and have determined that the residence and garage, for which this variance is applied, was permitted under permit number 656 dated December 16, 1976. The pool was permitted under permit number 802 dated March 14, 1978.
3. I have received surveys (24" X 36" and one 8 1/2" X 11" for recording) containing all pertinent information.
4. Letters of No Objection or proof of service filed at least 15 days prior to the town meeting.
5. The encroachments are less than 30% of the setback requirements.



Sewall's Point Road, Sewall's Point, Florida 34996  
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: [clerk@sewallspoint.org](mailto:clerk@sewallspoint.org)  
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: [police@sewallspoint.org](mailto:police@sewallspoint.org)

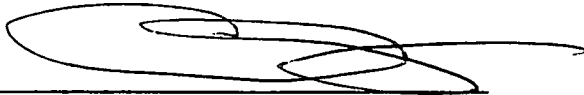
## TOWN OF SEWALL'S POINT ADMINISTRATIVE VARIANCE APPLICATION

1. Owner of Property: Christopher J. Twohey
2. Address of Property: 5 Rio Vista Drive, Stuart, FL 34996
3. Address of Applicant: Same
4. Phone Number of Applicant: (772) 221-8221
5. Length and location (front, rear, & side) of encroachment (if more than one, please list separately):  
Front: .12' at NE corner to .07' at NW corner  
REAR: Main Structure: .04' at SE corner & .03' at SW corner.  
A/C Pad and Pool Equipment: A/C pad 3.2' and Pool equipment 2.3'  
Pool Deck: .06' at SE corner
6. The following items must accompany this application:
  - A. \$400.00 Filing Fee (non-refundable).
  - B. Certificate of Ownership (copy of warranty deed or tax receipt).
  - C. A list certifying the name and address of all adjacent property owners as shown in the Official Records of the Martin County Tax Collector's Office.
  - D. A building permit or building permit application with the building permit number indicated on it.
  - E. Original permit drawings, plans or surveys.
  - F. Current surveys (six each) 24" X 36" and one (1) 8 1/2" X 11".  
Surveys must be:
    - (1). Prepared by a licensed surveyor registered in Florida in accordance with the minimum technical standards established by the Florida Board of Professional Surveyors and Mappers.
    - (2). Contain the address of the property, including street name and number, and show the proximity of all boundary streets.
    - (3). Show the location of all buildings, structures, and above-ground encroachments and improvements.
    - (4). Show all setback requirements under the Town of Sewall's Point Code of Ordinances.
    - (5). Show location and identification of all encroachments into setbacks under this code, including the type of improvement comprising the encroachments and specifically identifying any encroachment that is the subject of the application.
    - (6). Contain a certification to the Town of Sewall's Point.
    - (7). Contain any other information the Town Commission may require to show whether the setback encroachment is entitled to an administrative variance.
  - G. Letters of No Objection from all adjacent property owners or proof that a copy of the administrative variance application has been sent to all adjacent property owners by certified mail with a written notice informing

them that any objections to the requested administrative variance must be filed with the Town Clerk within fifteen days of the date that the notice was mailed.

7. The Town Commission may grant the variance if the Town Commission finds that:
  - A. The encroachment is less than or equal to thirty (30) percent of the setback requirement in effect on the date that the encroachment was created.
  - B. Either letters of no objection have been filed by the applicant for all adjacent property owners, or 15 days have [passed since the mailing to adjacent neighbors informing them of their right to file an objection with the town clerk, and no letter of objections to the administrative variance application have been filed.
  - C. The structure(s) for which a variance is sought was constructed under a valid permit. This requirement does not apply to variances with encroachments of less than twenty (20) inches.
  - D. The setback violation was a good faith error and was not intentional.

I hereby certify that all of the information above and the application materials I have provided are true and correct.



Applicant Signature Christopher J. Twohey

Dated this 26 of March 2003



# BAUER & TWOHEY, P.A.

ATTORNEYS AT LAW

312 Denver Avenue, Stuart, FL 34994

Sherwood "Chip" Bauer, Jr.\*  
Christopher J. Twohey

\*Also Admitted in Connecticut

Telephone: (772) 221-8221  
Facsimile: (772) 221-8225

March 26, 2003

## VIA CERTIFIED MAIL

Peter Olney  
91 S Sewall's Point Road  
Stuart, Florida 34996

**RE: TOWN OF SEWALL'S POINT ADMINISTRATIVE VARIANCE APPLICATION  
PROPERTY OWNER: CHRISTOPHER J. TWOHEY  
PROPERTY ADDRESS: 5 RIO VISTA DRIVE, STUART, FL 34996**

Dear Mr. Olney:

I own 5 Rio Vista Drive, Stuart, Florida 34996. It was recently discovered that the Northeast and Northwest corners of the home encroach in the 35' front setback by .12' and .07', respectively; the Southeast and Southwest corners of the home encroach into the 25' rear setback by .04' and .03', respectively; the A/C pad encroaches 3.2' into the 15' side setback; the pool equipment encroaches 2.3' into the 15' side setback; and the Southeast corner of the pool deck encroaches .06' into the 25' rear setback, a copy of the survey is enclosed. I am requesting a variance from the Town of Sewall's Point and the Town requires either a letter of No Objection from the adjacent property owners or proof of written notification. I request that you execute the enclosed Letter of No Objection for filing with the Application.

If you have no objection, please execute the letter and return it to me in the enclosed self-addressed, stamped envelope. If you have an objection, you must file same with the Town Clerk of Sewall's Point within fifteen (15) days of the date that this notice was mailed. If you have any questions or comments, or wish to discuss the Application, do not hesitate to give me a call. Thank

Very truly yours,  
BAUER & TWOHEY, P.A.

Christopher J. Twohey

g Adjustment

7001 1140 0003 6922 9342

<b>U.S. Postal Service CERTIFIED MAIL RECEIPT (Domestic Mail Only. No Insurance Coverage Provided)</b>	
<b>OFFICIAL USE</b>	
Postage \$	
Certified Fee	
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.65
Postmark Here	3/27/03
Sent To	Olney, Peter
Street, Apt. No., or PO Box No.	
City, State, Zip + 4	
PS Form 3800, January 2001 See Reverse for Instructions	

### LETTER OF NO OBJECTION

Town of Sewall's Point  
1 S. Sewall's Point Road  
Sewall's Point, Florida 34996

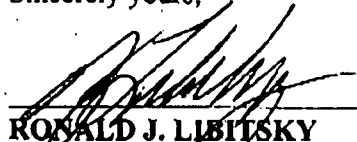
**RE: APPLICATION FOR ADMINISTRATIVE VARIANCE PURSUANT TO  
APPENDIX B- ZONING SECTION VII.F, TOWN OF SEWALL'S POINT  
CODE OF ORDINANCES FILED BY CHRISTOPHER J. TWOHEY**

Dear Town of Sewall's Point:

I/We have received the Administrative Variance Application filed by Christopher J. Twohey with the Town of Sewall's Point. I am an adjacent property owner to the Property, which is subject of the Administrative Variance, and I have no objection to the Town of Sewall's Point granting the Administrative Variance.

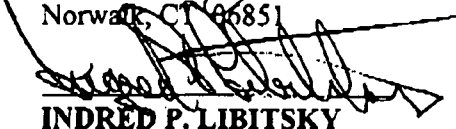
Sincerely yours,

Date: 4/04/03

  
\_\_\_\_\_  
**RONALD J. LIBITSKY**

4 Cobblers Lane  
Norwalk, CT 06851

Date: 4/04/03

  
\_\_\_\_\_  
**INDRED P. LIBITSKY**

4 Cobblers Lane  
Norwalk, CT 06851

**LETTER OF NO OBJECTION**

Town of Sewall's Point  
1 S. Sewall's Point Road  
Sewall's Point, Florida 34996

**RE: APPLICATION FOR ADMINISTRATIVE VARIANCE PURSUANT TO  
APPENDIX B- ZONING SECTION VII.F, TOWN OF SEWALL'S POINT  
CODE OF ORDINANCES FILED BY CHRISTOPHER J. TWOHEY**

Dear Town of Sewall's Point:

I/We have received the Administrative Variance Application filed by Christopher J. Twohey with the Town of Sewall's Point. I am an adjacent property owner to the Property, which is subject of the Administrative Variance, and I have no objection to the Town of Sewall's Point granting the Administrative Variance.

Sincerely yours,

Date:

3/29/03



**KAREN DENISE NEARING**

5 Lantana Lane  
Stuart, Florida 34996

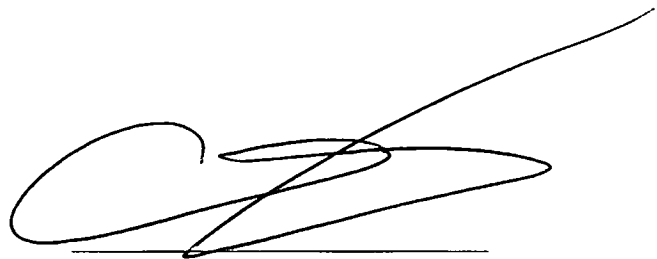
## CERTIFICATE OF OWNERSHIP

For: Town of Sewall's Point

I HEREBY CERTIFY that **RONALD J. and INDRED P. LIBITSKY**, whose address is 4 Cobblers Lane, Norwalk, CT 06851, is the apparent title holder of the parcel of land being described as:

**Lot 28, RIO VISTA SUBDIVISION, according to the Plat thereof recorded in Plat Book 6, Page 95, Public Records of Martin County, Florida.**

DATED this 2 day of March, 2003.



CHRISTOPHER J. TWOHEY  
*Attorney for Applicants*  
BAUER & TWOHEY, P.A.  
312 Denver Avenue  
Stuart, Florida 34994  
(772) 221-8221

Instrument Prepared by and Return to:  
Christopher J. Twohey, Esq.  
BAUER & TWOHEY, P.A.  
312 Denver Avenue  
Stuart, FL 34994  
(Without Examination of Title)

INSTR # 1603796  
OR BK 01685 PG 1384  
RECORDED 10/02/2002 07:31:52 AM  
MARSHA EWING  
CLERK OF MARTIN COUNTY FLORIDA  
DEED DOC TAX 0.70  
RECORDED BY L Pineira

Parcel ID: 12-38-41-002-000-00290-6

### QUIT-CLAIM DEED

THIS QUIT-CLAIM DEED, executed this 1<sup>st</sup> day of October, 2002, by CHRISTOPHER J. TWOHEY, a single man, whose post office address is 5 Rio Vista Drive, Stuart, Florida 34996, first party to CHRISTOPHER J. TWOHEY, as Trustee of the Christopher J. Twohey Revocable Trust, dated October 1, 2002 and any amendments thereto, whose post office address is 5 Rio Vista Drive, Stuart, Florida 34996, second party.

WITNESSETH, that said first party, for and in consideration of the sum of TEN AND NO/100 (\$10.00) DOLLARS, in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situated, lying and being in the County of Martin, State of Florida, to wit:

Lot 29, RIO VISTA SUBDIVISION, according to the Plat thereof recorded in Plat Book 6, Page 95, Public Records of Martin County, Florida.

SUBJECT to covenants, restrictions, easements of record and taxes for the current year.

TO HAVE AND TO HOLD the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behalf of the said second party forever.

AND the second party does hereby covenant with the first party that the second party expressly assumes and agrees to be responsible for any and all costs associated with the above described premises, including but not limited to the obligation to make payments of all mortgages, taxes and hazard insurance, and the second party will indemnify and hold harmless the first party from any and all claims relating to same.

AND CHRISTOPHER J. TWOHEY, Trustee, shall have the power and authority to protect, conserve and to sell, or to lease, or to encumber, or otherwise to manage and dispose of the real property conveyed by this deed.

All Successor Trustees are hereby granted the power to protect, conserve and to sell, or to lease, or to encumber, or otherwise to manage and dispose of the real property described in this deed.

The powers of the Trustees and all Successor trustees shall extend to any and all rights which the SETTLOR possesses in the above described real property; any deed, mortgage, or other instrument executed by the Trustee shall convey all rights or interests of the SETTLOR including homestead; and the Trustee is appointed as the attorney-in-fact for the SETTLOR to carry out this intent, which appointment shall be durable and shall not be affected by the incapacity of the SETTLOR.

Any person dealing with the Trustee shall deal with said Trustee in the order as set forth above. However, no person shall deal with a Successor trustee until one or more of the following have been received by said person or placed of record in the aforementioned county:

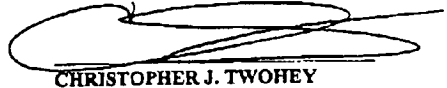
- A. The written resignation of the prior Trustee sworn to and acknowledged before a notary public.
- B. A certified death certificate of the prior Trustee.
- C. The order of a court of competent jurisdiction adjudicating the prior Trustee incompetent, or removing said Trustee for any reason.
- D. The written certificates of two physicians currently practicing medicine that the Trustee is physically or mentally incapable of handling the duties of Trustee.
- E. The written removal of a Successor Trustee and/or the appointment of an additional Successor Trustee by the SETTLOR sworn to and acknowledged before a notary public; this right being reserved to either SETTLOR.

IN WITNESS WHEREOF, the said party has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered  
in the presence of:

Printed Name: Shirley G. Gandy

Jennifer S. Martinez  
Printed Name: Jennifer S. Martinez



CHRISTOPHER J. TWOHEY

STATE OF FLORIDA  
COUNTY OF MARTIN

The foregoing instrument was acknowledged before me this 1<sup>st</sup> day of October, 2002, by CHRISTOPHER J. TWOHEY, who is personally known to me and who did (not) take an oath.



Jennifer S. Martinez  
My Commission DD137208  
Expires August 23, 2006

Jennifer S. Martinez  
Jennifer S. Martinez  
Notary Public - State of Florida

**6424**

**FENCE**

MASTER PERMIT NO. \_\_\_\_\_

**TOWN OF SEWALL'S POINT**

Date 9/17/03

BUILDING PERMIT NO. 6424

Building to be erected for 9/17/03

Type of Permit FENCE

Applied for by TWOKEY (Contractor)

Building Fee 30.00

Subdivision LOT 29 RIO VISTA Lot VISTA Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 5 RIO VISTA DRIVE

Impact Fee \_\_\_\_\_

Type of structure FENCE

A/C Fee \_\_\_\_\_

Parcel Control Number: 1238410020000020060000

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Amount Paid 30.00 Check # 1357 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 1000.00

TOTAL Fees 30.00

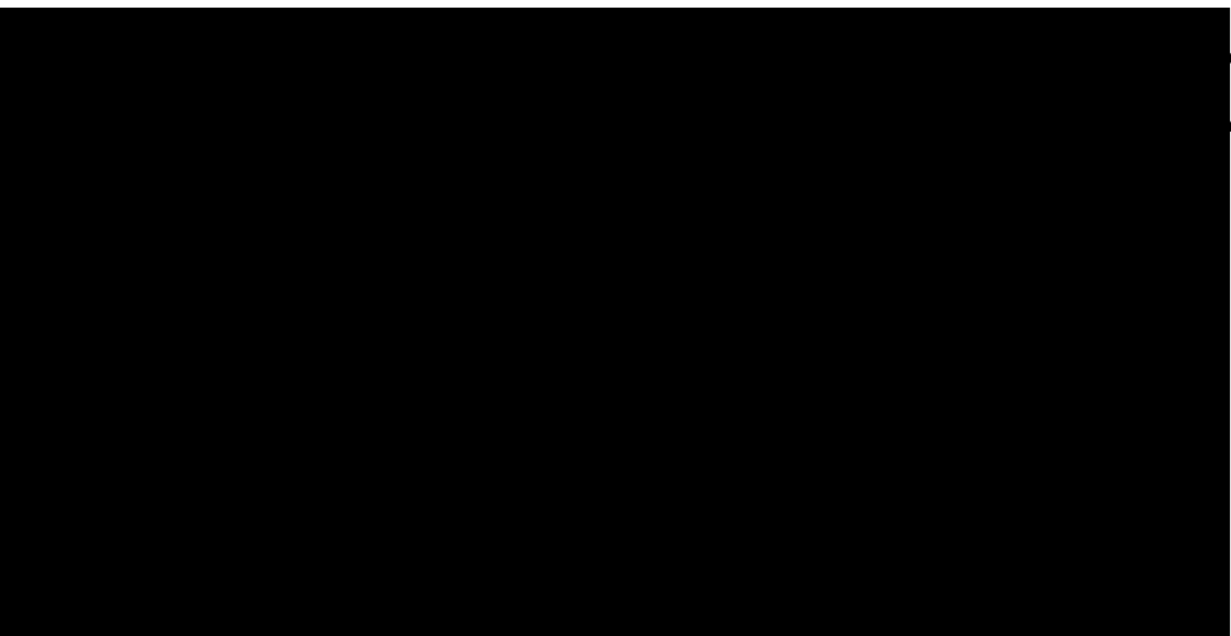
Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

**PERMIT**

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL
- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION

- UNDERGROUND
- UNDERGROUND
- STEMWALL FOOT
- SLAB
- ROOF SHEATHING
- TRUSS ENG/WIND
- ROOF TIN TAG/M
- PLUMBING ROUGH
- MECHANICAL ROUGH
- FRAMING
- FINAL PLUMBING
- FINAL MECHANICAL
- FINAL ROOF



BUILDING FINAL

Permit Number: \_\_\_\_\_

### Town of Sewall's Point BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME: CHRIS TWOHEY Phone (Day) 772-221-8224 (Fax) 772-221-8225

Job Site Address: 5 RIO VISTA DRIVE City: STUART State: FL Zip: 34996

Legal Description of Property: LOT 29, RIO VISTA Parcel Number: \_\_\_\_\_

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: FENCE - 5' GREEN CHAIN LINK AROUND POOL

WILL OWNER BE THE CONTRACTOR?:  Yes  No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: \_\_\_\_\_

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 1,000.00 (Notice of Commencement needed over \$2500)

#### SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ ScreenedPorch: \_\_\_\_\_  
Carpport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) \_\_\_\_\_

CONTRACTOR SIGNATURE (required) \_\_\_\_\_

State of Florida, County of: MARTIN  
This the 25 day of AUGUST, 2003  
by CHRIS TWOHEY who is personally

On State of Florida, County of: \_\_\_\_\_  
This the \_\_\_\_\_ day of \_\_\_\_\_, 200\_\_\_\_  
by \_\_\_\_\_ who is personally

known to me or produced \_\_\_\_\_  
as identification: Joanna Barrow

known to me or produced \_\_\_\_\_  
As identification: \_\_\_\_\_

Notary Public

Notary Public

My Commission Expires: 11-30-06

My Commission Expires: \_\_\_\_\_



PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

Seal



## PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR A FENCE

**IMPORTANT NOTICE:** All items listed below must accompany your permit application. No application will be accepted unless all items that are applicable are submitted.

**Application form must contain the following information:**

1. Property Appraisers Parcel Number or Property Control Number ✓
2. Legal Description of property (Can be found on your deed survey or Tax Bill) ✓
3. Contractors name, address, phone number and license numbers. N/A
4. Name all sub-contractors (properly licensed) N/A
5. Architects or Engineers name, address, & phone number N/A
6. Scope of Work ✓
7. Estimated cost of construction. ✓
8. Original signature of owner and notarized ✓
9. Original signature of Contractor and notarized. ✓

### Submittals (2 copies)

1. Current survey containing the following information:
  - a. Legal Description of Lot ✓
  - b. Lot dimensions and bearings ✓
  - c. Street and Waterway names ✓
  - d. Easements ✓
  - e. ROW's ✓
  - f. Canals, Ponds, or Riverfront locations ✓
  - g. Location of existing and proposed fences ✓
  - h. Height of existing and proposed fence, gate, wall, etc. ✓
2. Wind Load Certification Form (signed and sealed by Architect/Engineer) if a N/A  
concrete or structural fence or wall with or without columns
3. Statement of Fact (owner/builder affidavit) ✓
4. Proof of ownership (deed or tax recpt.)
5. Letter from Home Owners or Subdivision Associations stating design is per their N/A  
deed restriction or covenants
6. Application for tree removal or relocation (attach tree survey and removal or N/A  
relocation plan)
7. A certified copy of the Notice of Commencement for any work over \$2500.00 N/A
8. Copy of License (either Martin County Certificate of Competency or State N/A  
Certified or Registered Contractor License)
9. Copy of Workmen's Compensation N/A
10. Copy of Liability Insurance N/A

The following construction documents must be signed and sealed by a registered Architect or Engineer. (2 copies) if fence is made of concrete or steel and has footings

1. **Elevation Plan containing the following information:**
  - a. Front Elevations
  - b. All heights from natural grade
  - c. Wall finishes
  - d. Vertical features and horizontal projections
  
2. **Foundation Plan containing the following information:**
  - a. All footings and pad locations
  - b. Dimensions of all footing and pads
  - c. Step downs
  - d. Footing and Pad call outs for size (width and depth), steel (size, lap and placement)
  - e. Column Layout
  
3. **Electrical Plan containing the following information:**
  - a. Show all receptacles and fixture locations
  - b. Show all WPGFI's and GFI's locations
  - c. Letter from electrician stating that current panel is large enough to carry additional loads or electrical layout showing new sub-panel and calculations
  
4. **Section/Detail Drawings and Schedules showing the following information:**
  - a. Wall section drawings showing footer, wall, and beam with steel callouts and spacing

**ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE**



(SIGNATURE OF APPLICANT)

DATE SUBMITTED: \_\_\_\_\_

8-15-03

**TOWN OF SEWALL'S POINT**  
ONE SOUTH SEWALL'S POINT ROAD  
SEWALL'S POINT, FLORIDA 34996


**TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT**  
(To be submitted if permit is to be pulled by Owner/Builder)

**DISCLOSURE STATEMENT**

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: CHRISTOPHER J. TWOHEY Date: 8-25-03

Signature: 

Address: 5 RIO VISTA DRIVE

City & State: STUART, FL 34996

Permit No. \_\_\_\_\_



# INSPECTION LOG FOR ABANDONED/EXPIRED PERMITS

PERMIT #	OWNER'S NAME	ADDRESS	DESCRIPTION	APPROVED BY & DATE
6300	Walker	21 W High Pt	Retaining wall	OMW / 10/19/07 ✓
7942	Walker	21 W High Pt	Repair dock	OMW / 10/19/07 ✓
6295	Justak	171 S Sewalls	Garage door	OMW / 10/19/07 ✓
6562	Reib	4 Baker	Demo deck	OMW / 10/19/07 ✓
6175	Goodman	6 Oakwood DR.	Flood lights	OMW / 10/19/07 ✓
6183	Krupel	4 Rio Vista DR	laner drive	OMW / 10/22/07
<del>6424</del>	<del>Tushy</del>	<del>5 Rio Vista</del>	<del>Fence around pool</del>	<del>OMW / 10/22/07</del>
6460	Walker	9 Lantana Ln	Fence	OMW / 10/22/07
6179	Larson	11 Lantana Ln	Fence	
7044	Tschannen	15 Emairita	cover porch ceiling w/wood	OMW / 10/22/07
7473	Schrader	4 Emairita	Pool electric (failed)	OMW / 10/22/07
7171	Wilson	5 St Lucie Ct	Repair dock, boat lift boathouse, electrical	
7172	Wilson	5 St Lucie Ct	Repair seawall	
7227	Lopulato	4 St Lucie Ct	Fence	
6531	Bausch	20 S Sewalls Pt	Fascia repair	OMW / 10/22
6944	Bausch	20 S Sewalls	Repair dock	OMW / 10/22
6766	Rosenberg	36 S Sewalls	Fuel	
7529	DeStephan	68 S Sewalls	Riplap, retaining wall Fuel	OMW / 10/22

**10842**

**REROOF**



**TOWN OF SEWALL'S POINT BUILDING DEPARTMENT**

One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**BUILDING PERMIT CARD**

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	10842	DATE ISSUED:	4/30/2014
SCOPE OF WORK:	RE-ROOF		
CONTRACTOR:	CODE RED ROOFERS, INC.		
PARCEL CONTROL NUMBER:	12384100200002906	SUBDIVISION	RIO VISTA LOT 29
CONSTRUCTION ADDRESS:	5 RIO VISTA DRIVE		
OWNER NAME:	ROSEMAN		
QUALIFIER:	DOUG ROE	CONTACT PHONE NUMBER:	772 287-2809

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM**

**INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

**INSPECTIONS**

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

Date: 4/17/14 Permit Number: 10842

OWNER/TITLEHOLDER NAME: David Roseman Phone (Day) 772 405 7121 (Fax) \_\_\_\_\_

Job Site Address: 5 Bio Vista Dr. City: Stuart State: FL Zip: 34996

Legal Description: Bio Vista S/D Lot 29 Parcel Control Number: 12 38 41 002 000

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Scope of work (please be specific): Remove existing roof to deck; reroof to code. Install self-adhered underlayment + install new metal roof. Install torch materials on small flat

**WILL OWNER BE THE CONTRACTOR?**  
(If yes, Owner Builder questionnaire must accompany application)  
YES \_\_\_\_\_ NO X

**Has a Zoning Variance ever been granted on this property?**  
YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
(Must include a copy of all variance approvals with application)

**COST AND VALUES:** (Required on ALL permit applications)  
Estimated Value of Improvements: \$ 15,000.00  
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
Is subject property located in flood hazard area? VE10 AE9 AE8 X  
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
Estimated Fair Market Value prior to improvement: \$ 78,850.00  
(Fair Market Value of the Primary Structure only, Minus the land value)  
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: Code Red Roofers Inc. Phone: 772 287 2829 Fax: 287 7163

Street: 3341 SE Slater St City: Stuart State: FL Zip: 34997

State License Number: CC1326574 OR: Municipality: \_\_\_\_\_ License Number: \_\_\_\_\_

LOCAL CONTACT: Doug Roe Phone Number: 772 287 7163 2829

DESIGN PROFESSIONAL: N/A Lic# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: N/A City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: pitch 5/12 Covered Patios/Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_

Carport: \_\_\_\_\_ Total under Roof: 3750 Elevated Deck: 3050 Enclosed-area below BFE\*: \_\_\_\_\_  
\* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas) 2007  
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

**NOTICES TO OWNERS AND CONTRACTORS:**

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
- THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

**\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\***

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

**OWNER SIGNATURE: (required)**  
OR OWNER'S LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

State of Florida, County of: Martin  
This the 17 day of April, 2014  
by DAVID ROSEMAN who is personally  
known to me or produced  
as identification.

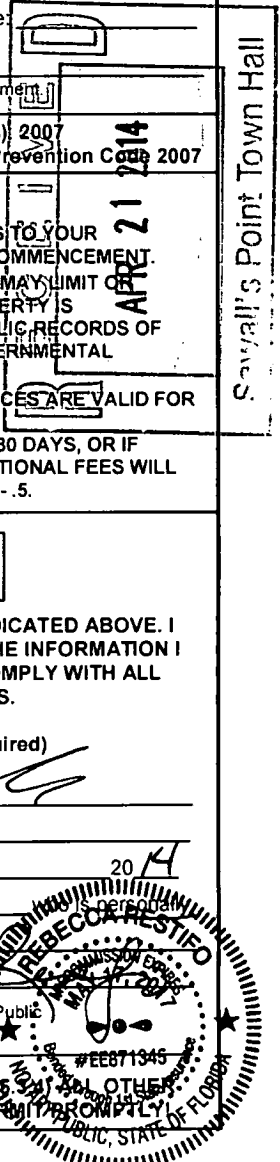
**CONTRACTOR SIGNATURE: (required)**

On State of Florida, County of: Martin  
This the 17 day of April, 2014  
by Douglas E Roe  
known to me or produced  
As identification.

Notary Public Notary Public State of Florida  
Holly Trossen  
My Commission Expires: 02/21/2015

Notary Public  
Rebecca  
My Commission Expires: 5/17/17

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.4.1) - OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY







TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

### BUILDING PERMIT RECEIPT

<b>PERMIT NUMBER:</b>	10842		
<b>ADDRESS:</b>	5 RIO VISTA DRIVE		
<b>DATE ISSUED:</b>	4/30/2014	<b>SCOPE OF WORK:</b>	RE-ROOF

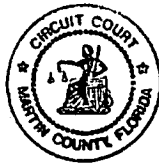
<b>SINGLE FAMILY OR ADDITION /REMODEL</b>		Declared Value	\$	
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Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned spa @ \$ 121.75 per sq. ft. s.f.		\$	-
Total square feet non-conditioned space, or interior remodel: @ \$ 59.81 per sq. ft. s.f.		\$	-
Total square feet remodel with new trusses: \$ 90.78 per sq. ft. s.f.		\$	-
Total Construction Value:		\$	\$ -
Building fee: (2% of construction value SFR or >\$200K)		\$	n/a
Building fee: (1% of construction value < \$200K + \$100 per insp.)		\$	-
Total number of inspections (Value < \$200K) \$ 100.00 per insp. # insp			n/a
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	n/a
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	n/a
Road impact assessment: (.04% of construction value - \$5 min.)			n/a
Martin County Impact Fee:		\$	
<b>TOTAL BUILDING PERMIT FEE:</b>		\$	\$ -

<b>ACCESSORY PERMIT</b>	Declared Value:	\$	\$ 15,000.00
Total number of inspections: @ \$ 100.00 per insp. # insp		\$ 4.00	\$ 400.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	\$ 6.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	\$ 6.00
Road impact assessment: (.04% of construction value - \$5 min.)			\$ 6.00

<b>TOTAL ACCESSORY PERMIT FEE:</b>		\$	418.00
------------------------------------	--	----	--------

*Pa. 5/1/14  
 CK12257*



THIS IS TO CERTIFY THAT THE  
FOREGOING 1 PAGE(S) IS A TRUE  
AND CORRECT COPY OF THE ORIGINAL  
DOCUMENT AS FILED IN THIS OFFICE

CAROLYN TIMMANN, CLERK

BY [Signature] D.C.  
DATE 4/21/2014

INSTR # 2451060  
OR BK 2713 PG 1943  
(1 Pgs)  
RECORDED 04/21/2014 01:53:17 PM  
CAROLYN TIMMANN  
MARTIN COUNTY CLERK

**NOTICE OF COMMENCEMENT**

To be completed when construction value exceeds \$2,500.00

PERMIT #: \_\_\_\_\_ TAX FOLIO # 12-38-41-002-000-00290-6

STATE OF FLORIDA COUNTY OF MARTIN

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS, IF AVAILABLE):  
5 RIO VISTA DR STUART; RIO VISTA S/D LOT 29

GENERAL DESCRIPTION OF IMPROVEMENT: REROOFING

OWNER INFORMATION OR LESSEE INFORMATION, IF THE LESSEE CONTRACTED FOR THE IMPROVEMENT:  
Name: DAVID ROSEMAN  
Address: 5 RIO VISTA DR STUART FL 34996  
Interest in property: OWNER  
Name and address of fee simple title holder (If different from Owner listed above):  
\_\_\_\_\_

CONTRACTOR'S NAME: Code Red Roofers Inc. Phone No.: (772) 287-2829  
Address: 3341 SE Slater St, Stuart, FL 34997

SURETY COMPANY (If applicable, a copy of the payment bond is attached):  
Name and address: \_\_\_\_\_  
Phone No.: \_\_\_\_\_ Bond amount: \_\_\_\_\_

LENDER'S NAME: \_\_\_\_\_ Phone No.: \_\_\_\_\_  
Address: \_\_\_\_\_

Persons within the State of Florida designated by owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7, Florida Statutes:

Name: \_\_\_\_\_ Phone No.: \_\_\_\_\_  
Address: \_\_\_\_\_

In addition to himself or herself, owner designates \_\_\_\_\_ of \_\_\_\_\_ to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.  
Phone number of person or entity designated by Owner: \_\_\_\_\_

Expiration date of Notice of Commencement:  
(the expiration date may not be before the completion of construction and final payment to the contractor, but will be 1 year from the date of recording unless a different date is specified): \_\_\_\_\_

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

Under penalty of perjury, I declare that I have read the foregoing and that the facts in it are true to the best of my knowledge and belief.

Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager/Attorney-in-fact

owner  
Signatory's Title/Office

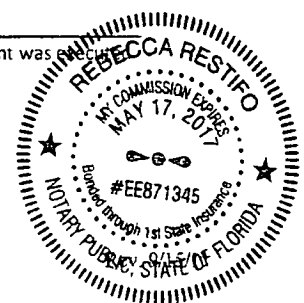
The foregoing instrument was acknowledged before me this 17 day of April, 2014

By: David Roseman as owner for \_\_\_\_\_  
Name of person Type of authority (e.g. officer, trustee) Party on behalf of whom instrument was acknowledged

[Signature]  
Notary's Signature

Personally known  or produced identification   
Type of identification produced PLDL

(Print, Type, or Stamp Commissioned Name of Notary)





**Martin County, Florida**  
**Laurel Kelly, C.F.A**

Site Provided by...  
 governmax.com 1.12

**Summary**



**Tabs**

**Summary**

- Print View
- Land
- Improvements
- Assessments & Exemptions
- Sales
- Taxes →
- NEW: Navigator
- Parcel Map →
- Notice of Prop.
- Taxes →

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-002-000-00290-6	27542	5 RIO VISTA DR, SEWALL'S POINT	\$238,850	3/29/2014

**Owner Information**

<b>Owner(Current)</b>	ROSEMAN DAVID
<b>Owner/Mail Address</b>	5 RIO VISTA DR STUART FL 34996
<b>Sale Date</b>	11/19/2008
<b>Document Book/Page</b>	2362 0346
<b>Document No.</b>	2118264
<b>Sale Price</b>	265000

**Searches**

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Navigator
- Maps →

Location/Description			
<b>Account #</b>	27542	<b>Map Page No.</b>	SP-04
<b>Tax District</b>	2200	<b>Legal Description</b>	RIO VISTA S/D LOT 29
<b>Parcel Address</b>	5 RIO VISTA DR, SEWALL'S POINT		
<b>Acres</b>	.3460		

**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120250 Rio Vista DRY

**Functions**

**Property Search**

- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

**Assessment Information**

<b>Market Land Value</b>	\$160,000
<b>Market Improvement Value</b>	\$78,850
<b>Market Total Value</b>	\$238,850

[Print](#) [Back to List](#) [First](#) [Previous](#) [Next](#) [Last](#)

*Legal Disclaimer / Privacy Statement*





STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD  
1940 NORTH MONROE STREET  
TALLAHASSEE FL 32399-0783

(850) 487-1395

ROE, DOUGLAS EDWARD  
CODE RED ROOFERS INC  
3341 SE SLATER ST  
STUART FL 34997

Congratulations! With this license you become one of the nearly one million Floridians licensed by the Department of Business and Professional Regulation. Our professionals and businesses range from architects to yacht brokers, from boxers to barbeque restaurants, and they keep Florida's economy strong.

Every day we work to improve the way we do business in order to serve you better. For information about our services, please log onto [www.myfloridallicense.com](http://www.myfloridallicense.com). There you can find more information about our divisions and the regulations that impact you, subscribe to department newsletters and learn more about the Department's initiatives.

Our mission at the Department is: License Efficiently, Regulate Fairly. We constantly strive to serve you better so that you can serve your customers. Thank you for doing business in Florida, and congratulations on your new license!

STATE OF FLORIDA AC# 6271729  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CCC1326574 08/15/12 120030203

CERTIFIED ROOFING CONTRACTOR  
ROE, DOUGLAS EDWARD  
CODE RED ROOFERS INC

IS CERTIFIED under the provisions of Ch. 489 FS  
Expiration date: AUG 31, 2014 L12081502046

DETACH HERE

THIS DOCUMENT HAS A COLORED BACKGROUND, MICROPRINTING, LINEMARK, PATENTED PAPER

AC# 6271729

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L12081502046

DATE	BATCH NUMBER	LICENSE NBR
08/15/2012	120030203	CCC1326574

The ROOFING CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2014

ROE, DOUGLAS EDWARD  
CODE RED ROOFERS INC  
3341 SE SLATER ST  
STUART FL 34997

RICK SCOTT  
GOVERNOR

KEN LAWSON  
SECRETARY

DISPLAY AS REQUIRED BY LAW



# CERTIFICATE OF LIABILITY INSURANCE

CODER-1 OP ID: 56

DATE (MM/DD/YYYY)

04/23/2014

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Bouchard - Kissimmee 222 Church Street Kissimmee, FL 34741 Blake Williams	Phone: 407-847-2841 Fax: 407-846-2841	CONTACT NAME: PHONE (A/C, No, Ext): E-MAIL ADDRESS: FAX (A/C, No):
	INSURER(S) AFFORDING COVERAGE INSURER A: <b>Bridgefield Employers Ins Co</b> NAIC # <b>10701</b>	
<b>INSURED</b> Code Red Roofers Inc 3341 SE Slater Street Stuart, FL 34997-5706	INSURER B: INSURER C: INSURER D: INSURER E: INSURER F:	

COVERAGES CERTIFICATE NUMBER: REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
	<b>GENERAL LIABILITY</b> <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO. JECT <input type="checkbox"/> LOC					EACH OCCURRENCE \$ DAMAGE TO RENTED PREMISES (Ea occurrence) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMPIOP AGG \$
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS					COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	<b>UMBRELLA LIAB</b> <input type="checkbox"/> OCCUR <b>EXCESS LIAB</b> <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$					EACH OCCURRENCE \$ AGGREGATE \$
<b>C</b>	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N <input checked="" type="checkbox"/> Y <input type="checkbox"/> N/A	083038104	06/18/2013	06/18/2014	<input checked="" type="checkbox"/> WC STATU-TORY LIMITS <input checked="" type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 500,000 E.L. DISEASE - EA EMPLOYEE \$ 500,000 E.L. DISEASE - POLICY LIMIT \$ 500,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

<b>CERTIFICATE HOLDER</b>  TOWNSEW  Town of Sewell's Point One S Sewell's Point Rd Stuart, FL 34996	<b>CANCELLATION</b>  SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.  AUTHORIZED REPRESENTATIVE 
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# CERTIFICATE OF LIABILITY INSURANCE

CODERED-01

MATERAT

DATE (MM/DD/YYYY)

4/22/2014

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Insurance Office of America-LNG 1855 West State Road 434 Longwood, FL 32750	<b>CONTACT NAME:</b> PHONE (A/C, No, Ext): (407) 788-3000 FAX (A/C, No): (407) 788-7933	
	<b>E-MAIL ADDRESS:</b>	
<b>INSURED</b>  Code Red Roofers, Inc. 3341 SE Slater Street Stuart, FL 33997	<b>INSURER(S) AFFORDING COVERAGE</b>	
	INSURER A : Gemini Insurance Company	NAIC # 10833
	INSURER B : Alterra Excess & Surplus Insurance Company	33189
	INSURER C :	
	INSURER D :	
	INSURER E :	

**COVERAGES**

**CERTIFICATE NUMBER:**

**REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR  GENL AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC OTHER:		VFGP001573	03/21/2014	03/21/2015	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 50,000 MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
	AUTOMOBILE LIABILITY  <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS					COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
B	<input type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$		MAX3EC50000457	03/21/2014	03/21/2015	EACH OCCURRENCE \$ 1,000,000 AGGREGATE \$ 1,000,000
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) <input type="checkbox"/> Y/N If yes, describe under DESCRIPTION OF OPERATIONS below	N/A				PER STATUTE OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

**CERTIFICATE HOLDER**

**CANCELLATION**

Town of Sewell's Point  
 One S Sewell's Point Road  
 Stuart, FL 34996

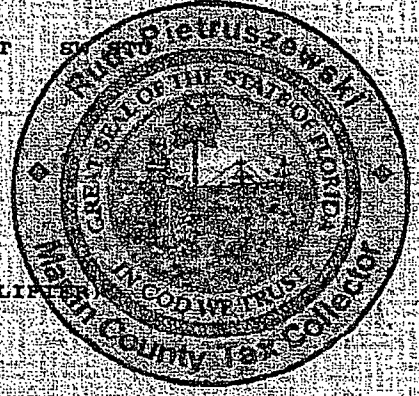
SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

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2013-2014 MARTIN COUNTY ORIGINAL  
**BUSINESS TAX RECEIPT**  
HONORABLE RUTH PIETRUSZEWSKI CFC, TAX COLLECTOR  
3485 S.E. WILLOUGHBY BLVD., STUART, FL 34994  
(772) 288-5604

ACCOUNT 2003-513-0046 CERT CCG1326874  
PHONE (772) 287-2829 SIGNO 233210  
LOCATION  
3341 SE SLATER ST



**CHARACTER COUNTS IN MARTIN COUNTY**

PREV. YR. \$ 00 LIC. FEE \$ 26.25  
\$ 00 PENALTY \$ 00  
\$ 00 COL. FEE \$ 00  
\$ 00 TRANSFER \$ 00  
TOTAL 26.25

ROE, DOUGLAS EDWARD (QUALIFIED)  
CODE RED ROOFERS, INC.  
3341 SE SLATER ST.  
STUART, FL 34997

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION  
OF STATE CERT RESD/ROOFING CONT  
AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

22 DAY OF AUGUST 2013  
AND ENDING SEPTEMBER 30, 2014

91 2012 04129-0001 PAID

THIS FORM BECOMES A RECEIPT ONLY WHEN VALIDATED BY RECEIPTING MACHINE  
ANYONE DOING BUSINESS WITHOUT A VALID BUSINESS TAX RECEIPT IS  
SUBJECT TO A \$250 FINE IF NOT PAID BY OCT. 1; A DELINQUENT PENALTY OF 10%  
FOR THE MONTH OF OCTOBER, PLUS A 5% PENALTY FOR EACH MONTH  
THEREAFTER UP TO 25%. PLUS COLLECTION COSTS WILL APPLY.  
NOTE - A PENALTY IS IMPOSED FOR FAILURE TO KEEP THIS BUSINESS TAX  
RECEIPT EXHIBITED CONSPICUOUSLY AT YOUR ESTABLISHMENT OR PLACE  
OF BUSINESS.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-2204765

## RE-ROOF CHECKLIST

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included.

**THIS REVIEW SHEET MUST ACCOMPANY THE APPLICATION SUBMITTAL.**

**Please make sure you have ALL required copies before submitting permit application**

The following minimum requirements must be provided for permitting and inspections:

- 1 Copy Completed application
- 2 Copies Complete list of proposed materials
- 2 Copies Re-roof certification
- 1 Copy Re-roof Inspection affidavit if used, prior to final inspection.

### RESIDENTIAL REROOFS:

- 2 Copies approved roofing manufacturer specifications for all products used.
  - Manufacturer specs/fastening schedule for roof shingles (must meet the minimum area wind load).
  - Manufacturer must have Florida Product Approval
  - Location of proposed re-roof (if only a partial re-roof) and area % calculation
  - Section/detail through hip and ridge tile caps per F.R.S.A. for tile roofs\*\*
- \_\_\_ 2 Copies Re-roof windstorm loss mitigation certification (and affidavit if applicable) -N/A

### COMMERCIAL REROOFS:

- \_\_\_ 2 Copies Roof Plan:
  - Show all features (pitch, drains, equipment, etc.)
  - Details: 3/4" = 1'.0" min. scale
  - Parapet or edge
  - Rooftop mounting or equipment expansion joints
  - Type of roofing (& insulation if any) being removed
  - Type of roof deck
- \_\_\_ 2 Copies Approved roofing manufacturer specifications for all products used.
  - Manufacturers complete roofing system specifications & installation guidelines (Include fastening schedule meeting minimum area wind load).
- \_\_\_ 1 Copy Verification of Contractor form
  - Contractor verification form (HVAC and/or electric) required if roof top HVAC equipment is removed/reinstalled and/or if HVAC electric is disconnected/reconnected.

**\*\*Concrete or ClayTile Roof: Specify how the roof field tile will be attached to the deck (reference F.S.R.A Installation Manual). Provide section details showing the installation/attachment of ridge and hip cap tile. Demonstrate compliance with the 2007 FBC 1507.3. & 2007 FBC/Residential R905.3. Also provide Product Approval for all roof adhesives.**

**All Product Approval & Installation Spec's must be on the job site for inspection.  
All tile re-roofs require an "in progress" tile installation inspection or certified pull test at final.**



**RESIDENTIAL REROOF WINDSTORM LOSS  
MITIGATION CERTIFICATION (FLORIDA STATUTE 553.844)**

The following information is to be provided by roofing contractor or owner/builder on all re-roof applications for the purpose of obtaining compliance with recent changes to State Statute and referenced "Hurricane Mitigation Manual". Effective date: October 1, 2007.

Note: These requirements apply to residential structures built prior to implementation of the FBC on March 1, 2002.

- Value: show proof of insured value of residential structure or a copy of the ad-valorem tax value.
- Provide copy of contract

All re-roofs regardless of value shall comply with the following:

Re-nailing: All sheathing and decking shall be re-nailed per section 201.1 and a secondary water barrier installed.

- Existing fasteners that are 8d clipped head, round head or ring shank and spaced 6 in. or less o.c. may be counted. Additional fasteners shall be 8d ring shank nails with round heads spaced at 6 in. o.c. along framing.
- Indicate below which method is to be used to satisfy the secondary water barrier requirements:

\_\_\_\_\_ All joints in roof sheathing shall be covered with a minimum of 4 in. strip of self-adhering polymer modified bitumen tape. Wood deck and self-adhering tape shall be covered by one layer of approved underlayment.

~~\_\_\_\_\_~~ Entire roof deck shall be covered with an approved self-adhering polymer modified bitumen cap sheet. No additional underlayment is required.

\_\_\_\_\_ Outside of the HVHZ, an underlayment complying with section 1507.2.3 of the Florida Building Code, Building fastened as described below or a layer of asphalt impregnated approved #30 felt shall be installed. The felt is to be fastened with 1" round plastic cap or metal cap nails, attached to a nailable deck in a grid pattern of 12 inches (305 mm) staggered between the overlaps, with 6-inch (152 mm) spacing at the overlaps. For slopes of 2:12 to 4:12 an additional layer of felt shall be installed in a single-fashion and lapped 19" and fastened as described above. (No additional underlayment shall be required over the top of this sheet.)

\_\_\_\_\_ Exception: An approved 30# underlayment installed per HVHZ using nails and tin-tags and covered with an approved self-adhering polymer modified bitumen cap sheet or an approved cap sheet hot-mopped shall be deemed to meet the requirements for secondary water barrier.

Residential Structures valued at \$300,000 or more shall comply with the following:

- Roof to wall connections must be enhanced up to 15% additional cost of the re-roofing cost.
- A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
  1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
  2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
    - a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
    - b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
    - c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.

TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
FILE COPY

RE-ROOF CERTIFICATION

PERMIT # \_\_\_\_\_

CONTRACTOR'S NAME: Code Red Roofers PHONE #: 772 287 289 FAX: 772 287 7763

OWNER'S NAME: David Roseman

CONSTRUCTION ADDRESS: 5 Rio Vista CITY \_\_\_\_\_ STATE \_\_\_\_\_

RE-ROOF:  RESIDENTIAL(SINGLE FAMILY)

\_\_\_\_\_ COMMERCIAL \*\*--REMOVE/REINSTALL ROOF TOP HVAC EQUIP \_\_\_\_\_ YES \_\_\_\_\_ NO

\*\*...DISCONNECT/RECONNECT HVAC ELECTRIC \_\_\_\_\_ YES  NO

\*\* REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

RE-ROOF DEEMED TO COMPLY WITH 553.844 F. S.  YES \_\_\_\_\_ NO - INSURED VALUE OF RESIDENCE improved value \$78,850.00

ROOF TYPE: \_\_\_\_\_ HIP \_\_\_\_\_ BOSTON-HIP \_\_\_\_\_ GABLE  FLAT \_\_\_\_\_ OTHER \_\_\_\_\_

ROOF PITCH: 5 /12 SLOPE

ROOF DECK:\* \_\_\_\_\_ SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED

\_\_\_\_\_ RE-SHEATH - (REMOVAL OF SPACED SHEATHING/PLYWOOD FOR APPLICATION OF NEW PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD AS PER FLORIDA BUILDING CODE "2004".

\_\_\_\_\_ SPACED SHEATH FILL-IN - SPACES BETWEEN EXISTING SPACED-SHEATHING BOARD MAY BE FILLED-IN WITH BOARDS OF THE SAME SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2004".

EXISTING DECK TO REMAIN/REPAIRED & RENAILED

EXISTING ROOF COVERING: shingle EXISTING COVERING TO BE REMOVED? YES  NO \_\_\_\_\_

PROPOSED NEW ROOF COVERING: 5v crimp

MANUFACTURER Sunlast PRODUCT NAME 5v PRODUCT APPR # 10490.6

(APPROVED ROOF COVERING MATERIAL WITH CURRENT FLORIDA PRODUCT APPROVAL)  
MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

\*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION.

PROPOSED FLASHING:  GALV./STEEL \_\_\_\_\_ ALUMINUM \_\_\_\_\_ COPPER \_\_\_\_\_ OTHER \_\_\_\_\_

RIDGEVENT TO BE INSTALLED: \_\_\_\_\_ YES  NO

DESCRIPTION OF WORK: Remove existing roof material; renailed deck to code. Install self adhered underlayment. Install 5v metal. Touch small flat.

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

[Signature] DATE: 4/17/14  
SIGNATURE OF CONTRACTOR

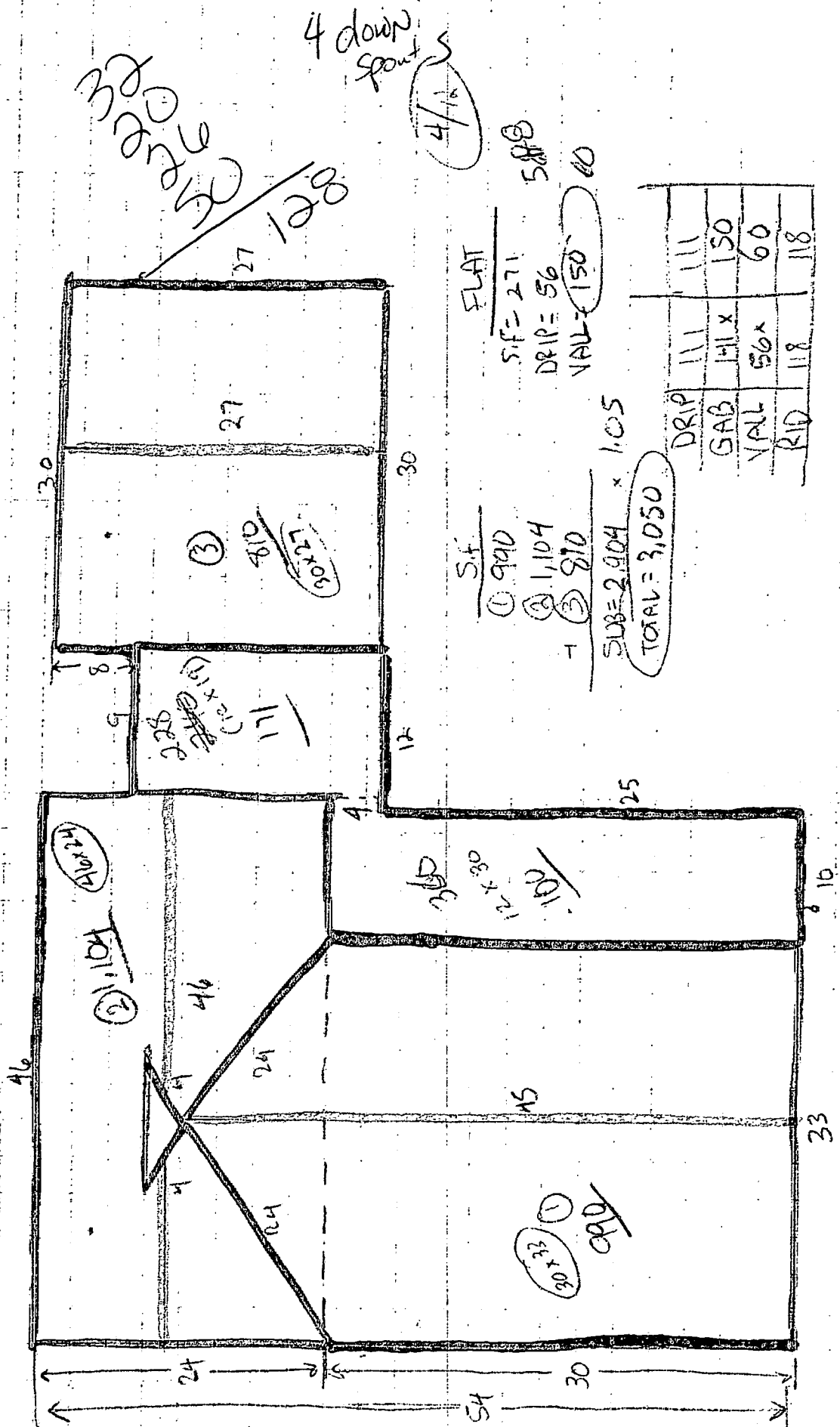
## ROOFING MATERIAL LIST

NO	MATERIAL	QUANTITY	UNIT	REMARKS
0	GAF Timberline 30 shingles	25	SQ	EXAMPLE
	Underlayment (Boral tie seal)	18	rolls	
	1 1/4" RS Nails	} as needed		
	2 1/2" RS Nails			
	tin tags			
	metal panels	32	sq	
	wood 200 screws		as needed	
	gable rake	17	ea	
	ridge cap	13	ea	
	valley	7	rolls	
	caulk		as needed	
	base sheet	2	rolls	
	cap sheet	7	rolls	
	3x3 dnp 26 ga galv	6	PCS	on flat
	2x3 dnp 26 ga galv	13	PCS	on slope
	propane		as needed	

AM

ROSEMAN  
5 Rio Vista Dr.

5840 210



S.F.  
 ① 990  
 ② 1,104  
 ③ 810  
 -  
 SUB=2,904 x 1.05  
 TOTAL=3,050

FLAT  
 S.F.=271  
 DRIP=56  
 VAL=150  
 4/16

DRIP	111	111
GAB	141 x	150
VAL	56 x	60
RID	118	118

3407



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**Product Approval**

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**Search Criteria**

**Refine Search**

Code Version	2010	FL#	10490.6
Application Type	ALL	Product Manufacturer	ALL
Category	ALL	Subcategory	ALL
Application Status	ALL	Compliance Method	ALL
Quality Assurance Entity	ALL	Quality Assurance Entity Contract Expired	ALL
Product Model, Number or Name	ALL	Product Description	ALL
Approved for use in HVHZ	ALL	Approved for use outside HVHZ	ALL
Impact Resistant	ALL	Design Pressure	ALL
Other	ALL		

**Search Results - Applications**

FL#	Type	Manufacturer	Validated By	Status
FL10490-R3	Revision	Sunlast Metal FL#: FL10490.6 Model: 6 - "5-V Crimp"	Steven M. Ulrich, PE (717) 932-8500	Approved
	<a href="#">History</a>	<b>Description:</b> Roof Panel - 26 Gauge Steel, 24" Width, Attached to Plywood Deck w/Optional Rigid Insulation <b>Category:</b> Roofing <b>Subcategory:</b> Metal Roofing		

\*Approved by DBPR. Approvals by DBPR shall be reviewed and ratified by the POC and/or the Commission if necessary.

Contact Us :: 1940 North Monroe Street, Tallahassee FL 32399 Phone: 850-487-1824

## Evaluation Report "1" Nail Strip" Metal Roof Assembly

### Manufacturer:

Sunlast Metal, Inc.  
2120 SW Poma Drive  
Palm City, FL 34990  
(772) 223-4055

*for*

### Florida Product Approval

# FL 10490.2 R3

Florida Building Code 2010

Per Rule 9N-3

Method: 1 - D

Category: Roofing

Sub - Category: Metal Roofing

Product: "1" Nail Strip" Roof Panel

Material: Steel

Panel Thickness: 24 gauge

Panel Width: 16"

Support: Wood Deck

### Prepared by:

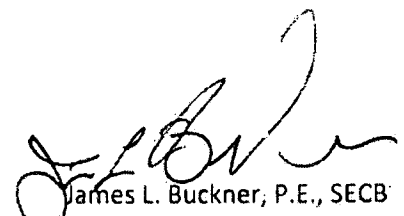
James L. Buckner, P.E., S.E.C.B.  
Florida Professional Engineer # 31242  
Florida Evaluation ANE ID: 1916  
Project Manager: Diana Galloway  
Report No. 11-190-1NS-S4W-ER  
Date: 2 / 6 / 12

### Contents:

Evaluation Report                      Pages 1 - 7

CBUGK, Inc.

1399 N. Killian Drive, Suite 4, West Palm Beach, Florida 33403  
Phone: (561)491-9927 Fax: (561)491-9928 Website: www.cbuckinc.net



James L. Buckner, P.E., SECB  
Florida P.E. # 31242  
4/19/12

**Manufacturer:** Sunlast Metal, Inc.

**Product Name:** "1" Nail Strip"

**Product Category:** Roofing

**Product Sub-Category:** Metal Roofing

**Compliance Method:** State Product Approval Rule 9N-3.005 (1) (d)

**Product/System Description:** "1" Nail Strip"  
24 gauge Steel roof panel mechanically attached to Plywood Deck with screws.

**Product Assembly as Evaluated:** Refer to Page 4 of this report for product assembly components/materials & standards:

1. Roof Panel
2. Fasteners
3. Adhesive
4. Underlayment
5. Insulation (Optional)

**Support:** **Type:**  
Wood Deck  
(Design of support and its attachment to support framing is outside the scope of this evaluation.)

- Description:**
- 15/32 (min.) or greater plywood,
  - or Wood plank (min. specific gravity of 0.42)

**Slope:** Minimum slope shall be in accordance with manufacturer's recommendations, FBC Section 1507.4.2 and applicable code sections.

**Performance:** Wind Uplift Resistance:

- Design Uplift Pressure: **METHOD 1: - 91.25 PSF**  
(Refer to "Table A" attachment details herein) **METHOD 2: - 106.25 PSF**

- Performance Standards:** The product described herein has demonstrated compliance with:
- UL580-06 – *Test for Uplift Resistance of Roof Assemblies*
  - UL 1897-04 – *Uplift test for roof covering systems*
  - TAS 125-03 – *Standard Requirements for Metal Roofing Systems*
- Standards Equivalency:** The UL 580-94 & UL 1897-98 standard version used to test the evaluated product assembly is equivalent with the prescribed standards in UL 580-06 & UL 1897-04 adopted by the Florida Building Code 2010.
- Code Compliance:** The product described herein has demonstrated compliance with Florida Building Code 2010, Section 1504.3.2.
- Evaluation Report Scope:** This product evaluation is limited to compliance with the structural requirements of the Florida Building Code, as related to the scope section to Florida Product Approval Rule 9N-3.001.
- Limitations and Conditions of Use:**
- Scope of “Limitations and Conditions of Use” for this evaluation:  
This evaluation report for “Optional Statewide Approval” contains technical documentation, specifications and installation method(s) which include “Limitations and Conditions of Use” throughout the report in accordance with Rule 9N-3.005. Per Rule 9N-3.004, the Florida Building Commission is the authority to approve products under “Optional Statewide Approval”.
  - Option for application outside “Limitations and Conditions of Use”  
Rule 9N-3.005(1)(e) allows engineering analysis for “project specific approval by the local authorities having jurisdiction in accordance with the alternate methods and materials authorized in the Code”. Any modification of the product as evaluated in this report and approved by the Florida Building Commission is outside the scope of this evaluation and will be the responsibility of others.
  - Design of support system is outside the scope of this report.
  - Fire Classification is outside the scope of Rule 9N-3, and is therefore not included in this evaluation.
  - This evaluation report does not evaluate the use of this product for use in the High Velocity Hurricane Zone code section. (Dade & Broward Counties)
- Quality Assurance:** The manufacturer has demonstrated compliance of roof panel products in accordance with the Florida Building Code and Rule 9N-3.0005 (3) for manufacturing under a quality assurance program audited by an approved quality assurance entity through **Keystone Certifications, Inc.** (FBC Organization #: QUA 1824).



**Components/Materials  
(by Manufacturer):**

**Roof Panel:** "1" Nail Strip"  
Material: Steel  
Thickness: 24 gauge (min.)  
Panel Width: 16" (max.) Coverage  
Rib Height: 1"  
Yield Strength: 40 ksi min.  
Corrosion Resistance: In compliance with FBC Section 1507.4.3:  

- ASTM A792 coated, or
- ASTM A653 G90 galvanized steel

**Fastener:**

Type: Pancake-Head Wood Screw  
Size: #10 x 1"  
Corrosion Resistance: Per FBC Section 1506.6 and 1507.4.4  
Standard: Per ANSI/ASME B18.6.4

**Seam Adhesive/Sealant:**

Product Name: Bostik Chem-Chaulk 915  
Type: One component, polyurethane adhesive  
Application Size: 3/8" bead  
Application Location: along male flange the full length of panel  
(Refer to Table "A" and drawing Page 7)

**Underlayment:**

Per roofing manufacturer's guidelines in compliance with FBC Section 1507.4.5

**Components/Materials  
(by Others):**

**Insulation (Optional):**

Type: Rigid Insulation Board  
Thickness: 3" (max.)  
Properties:  
Density: 2.25 pcf (lbs/ft<sup>3</sup>) min.  
Or Compressive Strength: 20 psi min.

Insulation shall comply with FBC Section 1508. When insulation is incorporated, fastener length shall conform to penetrate thru bottom of support a minimum of 3/16".

**Installation:**

**Installation Method:**

(Refer to drawings on Pages 6-7 of this report.)

- Fastener spacing: Refer to Table "A" Below  
(along the length of the panel)
- Rib Interlock: Snaplock  
(Panel ribs shall be fully engaged to form an integral snap-lock)
- Minimum fastener penetration thru bottom of support, 3/16".
- For panel construction at the end of panels, refer to manufacturer's instructions and any site specific design.

TABLE "A"		
	METHOD 1:	METHOD 2:
Design Pressure:	- 91.25 PSF	- 106.25 PSF
Fastener Spacing:	12"	6"
Adhesive:	3/8" Bead Refer to Dwg Pg 6	3/8" Bead Refer to Dwg Pg 6

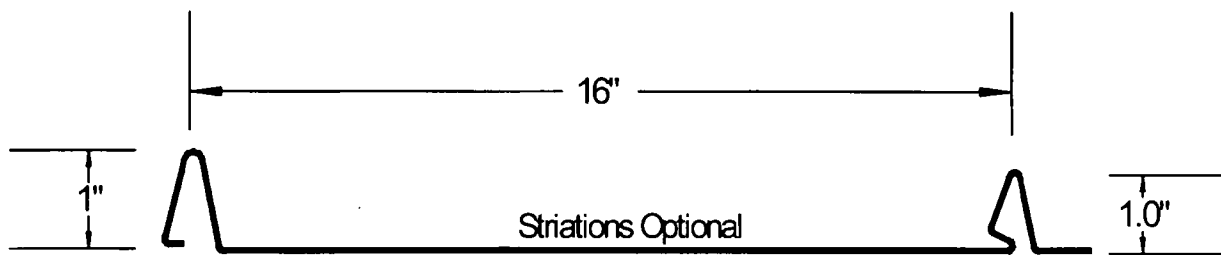
Install the "1" Nail Strip" roof panel assembly in compliance with the installation method listed in this report and applicable code sections of FBC 2010. The installation method described herein is in accordance with the scope of this evaluation report. Refer to manufacturer's installation instructions as a supplemental guide for attachment.

**Referenced Data:**

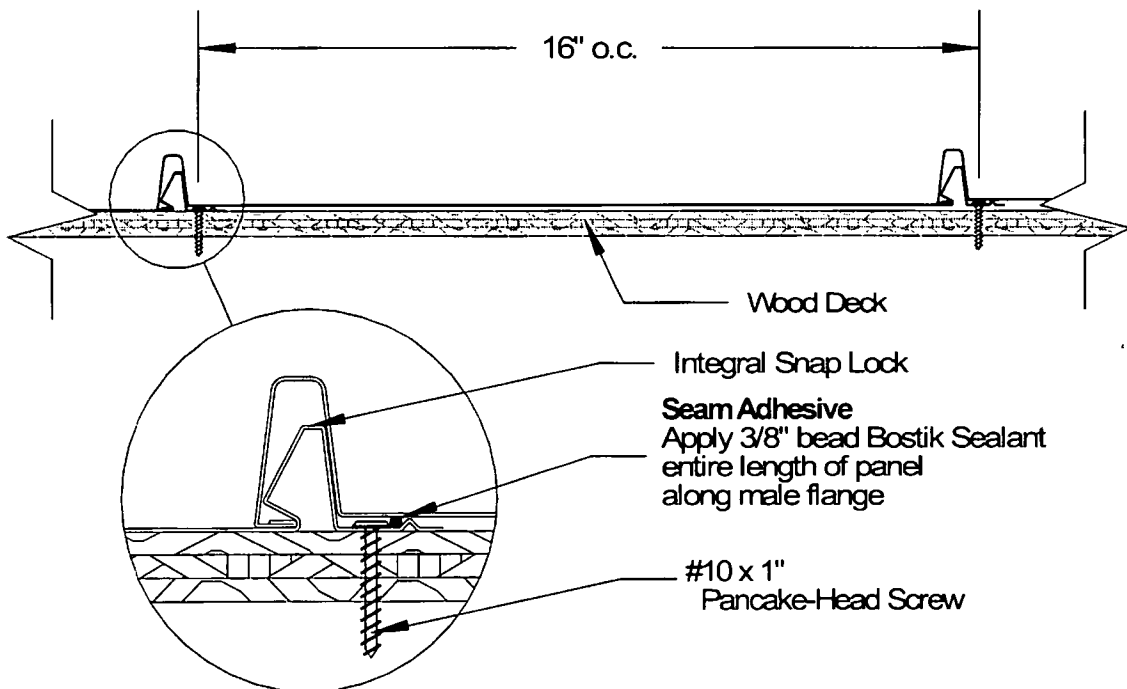
1. TAS 125-03 Uplift Test  
 By Hurricane Test Laboratory, LLC (FBC Organization #TST ID: 1527)  
 Report #: 0412-0306-06; Test Date: 11 / 14 / 06  
 Report #: 0412-1203-07; Test Date: 12 / 17 / 07
2. Quality Assurance  
 By Keystone Certifications, Inc. (QUA ID: 1824)  
 Sunlast Metal & Solar, Inc. Licensee # 385
3. Equivalency of Test Standard Certification  
 By James L. Buckner, P.E. @ CBUGK Engineering  
 (FBC Organization # ANE 1916)
4. Certification of Independence  
 By James L. Buckner, P.E. @ CBUGK Engineering  
 (FBC Organization # ANE 1916)

## Installation Method Sunlast Metal, Inc. "1" Nail Strip" (24 Gauge) Roof Panel Attached to Wood Deck

### Profile Drawings

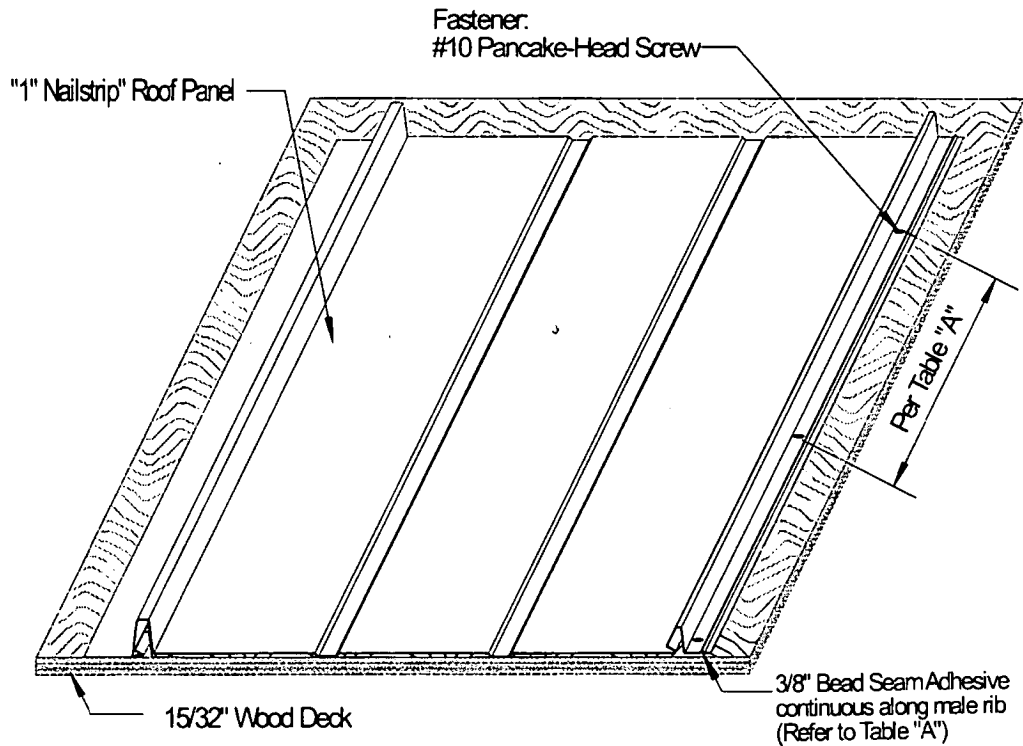


### "1" Nail Strip" Panel Typical Panel Profile View



### Assembly Profile View Typical Fastening Pattern Across Row

## Installation Method Sunlast Metal, Inc. "1" Nail Strip" (24 Gauge) Roof Panel Attached to Wood Deck



Typical Assembly Isometric View

TABLE "A"		
	METHOD 1:	METHOD 2:
Design Pressure:	- 91.25 PSF	- 106.25 PSF
Fastener Spacing:	12"	6"
Adhesive:	3/8" Bead Refer to Dwg Pg 6	3/8" Bead Refer to Dwg Pg 6



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FL #	FL14317-R4												
Application Type	Revision												
Code Version	2010												
Application Status	Approved												
Comments													
Archived	<input type="checkbox"/>												
Product Manufacturer	Boral Roofing / MonierLifetile												
Address/Phone/Email	7575 Irvine Center Drive Suite 100 Irvine, CA 92618 (909) 428-4414 jay.cruz@boral.com												
Authorized Signature	Cruz Jay jay.cruz@boral.com												
Technical Representative	Adrian Cooper												
Address/Phone/Email	135 NW 20th Street Boca Raton, FL 33431 (954) 520-5461 acooper@minierlifetile.com												
Quality Assurance Representative													
Address/Phone/Email													
Category	Roofing												
Subcategory	Underlayments												
Compliance Method	Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer <input checked="" type="checkbox"/> Evaluation Report - Hardcopy Received												
Florida Engineer or Architect Name who developed the Evaluation Report	Robert J. M. Nieminen												
Florida License	PE-59166												
Quality Assurance Entity	UL LLC												
Quality Assurance Contract Expiration Date	03/01/2015												
Validated By	John W. Knezevich, PE <input checked="" type="checkbox"/> Validation Checklist - Hardcopy Received												
Certificate of Independence	<a href="#">FL14317 R4 COI Trinity ERD CI - Nieminen - 2013.pdf</a>												
Referenced Standard and Year (of Standard)	<table border="0"> <thead> <tr> <th><u>Standard</u></th> <th><u>Year</u></th> </tr> </thead> <tbody> <tr> <td>ASTM D1970</td> <td>2001</td> </tr> <tr> <td>ASTM D226</td> <td>2006</td> </tr> <tr> <td>ASTM D2626</td> <td>2004</td> </tr> <tr> <td>FRSA/TRI 07320</td> <td>2005</td> </tr> <tr> <td>TAS 103</td> <td>1995</td> </tr> </tbody> </table>	<u>Standard</u>	<u>Year</u>	ASTM D1970	2001	ASTM D226	2006	ASTM D2626	2004	FRSA/TRI 07320	2005	TAS 103	1995
<u>Standard</u>	<u>Year</u>												
ASTM D1970	2001												
ASTM D226	2006												
ASTM D2626	2004												
FRSA/TRI 07320	2005												
TAS 103	1995												



EXTERIOR RESEARCH & DESIGN, LLC.  
 Certificate of Authorization #9503  
 353 CHRISTIAN STREET, UNIT #13  
 OXFORD, CT 06478  
 PHONE: (203) 262-9245  
 FAX: (203) 262-9243

**EVALUATION REPORT**

**Boral Roofing**  
**7575 Irvine Center Drive**  
**Suite 100**  
**Irvine, CA. 92618**

**Evaluation Report M35710.12.10-R5**  
**FL14317-R4**  
**Date of Issuance: 12/21/2010**  
**Revision 5: 04/26/2013**

**SCOPE:**

This Evaluation Report is issued under Rule 9N-3 and the applicable rules and regulations governing the use of construction materials in the State of Florida. The documentation submitted has been reviewed by Robert Nieminen, P.E. for use of the product under the Florida Building Code and Florida Building Code, Residential Volume. The products described herein have been designed to comply with the 2010 Florida Building Code sections noted herein.

**DESCRIPTION: Boral Roof Underlayments**

**LABELING:** Each unit shall bear labeling in accordance with the requirements the Accredited Quality Assurance Agency noted herein.

**CONTINUED COMPLIANCE:** This Evaluation Report is valid until such time as the named product(s) changes, the referenced Quality Assurance documentation changes, or provisions of the Code that relate to the product change. Acceptance of this Evaluation Report by the named client constitutes agreement to notify Robert Nieminen, P.E. if the product changes or the referenced Quality Assurance documentation changes. Trinity|ERD requires a complete review of this Evaluation Report relative to updated Code requirements with each Code Cycle.

**ADVERTISEMENT:** The Evaluation Report number preceded by the words "Trinity|ERD Evaluated" may be displayed in advertising literature. If any portion of the Evaluation Report is displayed, then it shall be done in its entirety.

**INSPECTION:** Upon request, a copy of this entire Evaluation Report shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This Evaluation Report consists of pages 1 through 9.

**Prepared by:**

**Robert J.M. Nieminen, P.E.**  
 Florida Registration No. 59166, Florida DCA ANE1983



The facsimile seal appearing was authorized by Robert Nieminen, P.E. on 04/26/2013. This does not serve as an electronically signed document. Signed, sealed hardcopies have been transmitted to the Product Approval Administrator and to the named client.

**CERTIFICATION OF INDEPENDENCE:**

1. Trinity|ERD does not have, nor does it intend to acquire or will it acquire, a financial interest in any company manufacturing or distributing products it evaluates.
2. Trinity|ERD is not owned, operated or controlled by any company manufacturing or distributing products it evaluates.
3. Robert Nieminen, P.E. does not have nor will acquire, a financial interest in any company manufacturing or distributing products for which the evaluation reports are being issued.
4. Robert Nieminen, P.E. does not have, nor will acquire, a financial interest in any other entity involved in the approval process of the product.

**ROOFING COMPONENT EVALUATION:**
**1. SCOPE:**

**Product Category:** Roofing  
**Sub-Category:** Underlayment

**Compliance Statement:** Boral Roof Underlayments, as produced by NEI and marketed by Boral Roofing, have demonstrated compliance with the following sections of the Florida Building Code through testing in accordance with the following Standards. Compliance is subject to the Installation Requirements and Limitations / Conditions of Use set forth herein.

**2. STANDARDS:**

<u>Section</u>	<u>Property</u>	<u>Standard</u>	<u>Year</u>
1507.2.3, 1507.3.3, 1507.5.3, 1507.7.3, T1507.8, 1507.8.3, 1507.9.3, 1507.9.4	Physical Properties	ASTM D226	2006
1507.3.3	Physical Properties	ASTM D2626	2004
1507.2.4, 1507.2.9.2, 1507.3.9, 1507.5.6, 1507.8.7, 1507.9.8	Physical Properties	ASTM D1970	2001
1523.6.5.2.1	Physical Properties	TAS 103	1995
1507.3.3	Installation Practice	FRSA/TRI 07320	2005

**3. REFERENCES:**

<u>Entity</u>	<u>Examination</u>	<u>Reference</u>	<u>Date</u>
ERD (TST 6049)	Physical Properties	M33180.08.10	10/09/2010
ERD (TST 6049)	Physical Properties	B40380.08.12	08/28/2012
ERD (TST 6049)	Physical Properties	C41420.09.12-2	09/11/2012
ERD (TST 6049)	Physical Properties	B41940.09.12	09/13/2012
PRI (TST 5878)	Physical Properties	NEI-006-02-01	04/01/2002
PRI (TST 5878)	Physical Properties	NEI-034-02-02	03/23/2006
PRI (TST 5878)	Physical Properties	NEI-045-02-01	08/08/2007
PRI (TST 5878)	Physical Properties	NEI-053-02-01	05/01/2008
PRI (TST 5878)	Physical Properties	NEI-070-02-01	08/12/2009
PRI (TST 5878)	Physical Properties	NEI-031-02-02:REV 10.27.10	10/27/2010
PRI (TST 5878)	Physical Properties	NEI-029-02-01REV: 11.03.10	12/03/2010
PRI (TST 5878)	Physical Properties	NEI-046-02-01REV	12/17/2010
PRI (TST 5878)	Physical Properties	NEI-034-02-02 / MLT-015-02-01	01/29/2013
UL, LLC. (QUA 9625)	Quality Assurance	Service Confirmation	Exp. 03/01/2015

**4. PRODUCT DESCRIPTION:**
**4.1 Self-Adhering Underlayments:**

4.1.1 **Boral TileSeal™ 50<sup>HT</sup>** is a nominal 50-mil thick, polyester-surfaced, self-adhering SBS modified bitumen roof underlayment.

4.1.2 **Boral TileSeal™ HT** is a nominal 60-mil thick, polyester-surfaced, self-adhering SBS modified bitumen roof underlayment.

4.1.3 **GatorSeal™** is a nominal 55-mil thick, granular-surfaced, fiberglass reinforced, self-adhering SBS modified bitumen roof underlayment.

4.1.4 **StormSentry™** is a nominal 120-mil thick, mineral-surfaced, fiberglass reinforced, self-adhering SBS modified bitumen roof underlayment.

4.1.5 **Citadel™ Plus** is a nominal 48-mil thick, fabric-surfaced, fiberglass reinforced, self-adhering SBS modified bitumen roofing underlayment for use as a base-layer in two-ply underlayment systems.

**4.2 Mechanically Fastened Underlayments:**

4.2.1 **Alcazar™** is a nominal 30-mil thick, smooth-surfaced, fiberglass reinforced, SBS modified bitumen roofing underlayment with self-adhering side laps; meets physical requirements of ASTM D226, Type II, ASTM D2626 and ASTM D4601, Type II.

**5. LIMITATIONS:**

- 5.1 This Evaluation Report is not for use in the HVHZ.
- 5.2 Fire Classification is not part of this Laboratory Report; refer to current Approved Roofing Materials Directory for fire ratings of this product.
- 5.3 Boral Roof Underlayments may be used with any prepared roof cover where the product is specifically referenced within FBC approval documents. If not listed, a request may be made to the AHJ for approval based on this evaluation combined with supporting data for the prepared roof covering.
- 5.4 Allowable roof covers applied atop Boral Roof Underlayments are follows. Table 1 pertains to use of each listed underlayment by-itself beneath the stated roof covers. Refer to the installation instructions and Table 2 for two-ply underlayment options.

TABLE 1: ROOF COVER OPTIONS						
Underlayment	Asphalt Shingles	Nail-On Tile	Foam-On Tile	Metal	Wood Shakes & Shingles	Slate
Alcazar	Yes	Yes	No	No	Yes	Yes
Boral TileSeal 50 <sup>HT</sup>	Yes	No	No	Yes	Yes	Yes
Boral TileSeal <sup>HT</sup>	Yes	Yes	Yes (See 5.4.1)	Yes	Yes	Yes
GatorSeal	Yes	No	No	No	Yes	Yes
StormSentry	Yes	Yes	No	No	Yes	Yes

- 5.4.1 "Foam-On Tile" is limited to use of Polyfoam PolyPro AH160, 3M™ 2-Component Foam Roof Tile Adhesive AH-160 or Convenience Products' Touch 'n Seal StormBond Roof Tile Adhesive unless tensile adhesion / long term aging data from an accredited testing laboratory is provided.
- 5.5 Allowable substrates are noted below:
  - 5.5.1 Direct-Bond to Deck:
    - Citadel Plus, Boral TileSeal 50<sup>HT</sup>, Boral TileSeal<sup>HT</sup>, StormSentry or GatorSeal:
      - > Plywood
      - > ASTM D41 primed plywood.
    - Boral TileSeal<sup>HT</sup>:
      - > ASTM D41 primed OSB
  - 5.5.2 FRSA/TRI 07320 does not address wind uplift resistance of direct-deck, adhered underlayment systems beneath foam-on tile systems, where the bonded underlayment forms part of the load-path. The following wind uplift limitations apply to direct-deck, adhered Boral underlayment systems.
    - 5.5.2.1 Maximum Design Pressure = -45 psf.
      - Deck: Min. 15/32-inch plywood to meet project requirements to satisfaction of AHJ.
      - Primer: (Optional) ASTM D41
      - Base Layer: (Optional) Citadel Plus, self-adhered
      - Underlayment: Boral TileSeal<sup>HT</sup>, self-adhered



5.5.3 Bond to Base Layer Underlayment:

Citadel Plus, Boral TileSeal 50<sup>HT</sup>, Boral TileSeal<sup>HT</sup> or GatorSeal:

- ASTM D226, Type II felt
- Alcazar
- Citadel Plus.

StormSentry:

- ASTM D226, Type II felt
- Citadel Plus.

*For installations under mechanically attached prepared roof coverings, base layer shall be attached per minimum codified requirements. For installations under foam-on tile systems, base layer shall be attached per minimum requirements of FRSA/TRI 07320/8-05 or RAS 120.*

5.5.4 Bond to Other Substrate Types:

Citadel Plus, Boral TileSeal 50<sup>HT</sup>, Boral TileSeal<sup>HT</sup>, StormSentry or GatorSeal:

- ASTM D41 primed metal (e.g., flashing metal, valley metal, etc).

Boral TileSeal<sup>HT</sup>:

- Huber Zip Deck (unprimed or primed with ASTM D41 primer)
- Dens Deck DuraGuard
- Dens Deck Prime.

*Note: For installation under mechanically attached prepared roof coverings, insulation shall be attached per minimum requirements of the prepared roof covering manufacturer's Product Approval.*

5.6 Exposure Limitations:

- 5.6.1 GatorSeal shall not be left exposed for longer than 30-days after installation, prior to placement of final roof cover.
- 5.6.2 StormSentry shall not be left exposed for longer than 90-days after installation, prior to placement of final roof cover.
- 5.6.3 Alcazar, Boral TileSeal 50<sup>HT</sup> and Boral TileSeal<sup>HT</sup> shall not be left exposed for longer than 180-days after installation, prior to placement of final roof cover.
- 5.6.4 Citadel Plus, for use as a base-layer in a two-ply underlayment system, shall not be left exposed for longer than 180-days after installation, prior to placement of subsequent underlayment layer.
- 5.7 For tile roof installations governed by the FRSA/TRI 07320/8-05 Installation Manual, Fourth Edition, use is limited to the following. Reference is made to the FRSA/TRI Technical Brief titled "Florida High Wind Roof Tile Self-Adhered Underlayment Requirements" for limitations for self-adhering underlayments used beneath tile roof systems.

**TABLE 2: TILE SYSTEM OPTIONS PER FRSA/TRI 07320/8-05**

System	Underlay Option	Section	Reference	Product(s)
<b>System One:</b> Mechanically Fastened Tile, Unsealed or Sealed Underlayment System	1	3.02A	Single-Ply No. 43	Alcazar
	4	3.02D	Two Ply No. 30 or No. 43	Alcazar
	5	3.02E	Self-Adhered Underlayment	Base Layer (Optional): Citadel Plus Top Layer: Boral TileSeal <sup>HT</sup> or StormSentry
	6	3.02F	No. 30 / Self-Adhered Underlayment	Base Layer: ASTM D226, Type II or Alcazar Mid Layer (Optional): Citadel Plus Top Layer: Boral TileSeal <sup>HT</sup>
	6	3.02F	No. 30 / Self-Adhered Underlayment	Base Layer: ASTM D226, Type II Mid Layer (Optional): Citadel Plus Top Layer: StormSentry
<b>System Two:</b> Mechanically Fastened Tile, Sealed Underlayment System	4	3.02D	Self-Adhered Underlayment	Base Layer (Optional): Citadel Plus Top Layer: Boral TileSeal <sup>HT</sup> or StormSentry
	5	3.02E	No. 30 / Self-Adhered Underlayment	Base Layer: ASTM D226, Type II or Alcazar Mid Layer (Optional): Citadel Plus Top Layer: Boral TileSeal <sup>HT</sup>
	5	3.02E	No. 30 / Self-Adhered Underlayment	Base Layer: ASTM D226, Type II Mid Layer (Optional): Citadel Plus Top Layer: StormSentry
<b>System Four "A":</b> Adhesive-Set Tile, Unsealed or Sealed Underlayment System	4	3.02D	Self-Adhered Underlayment	Base Layer (Optional): Citadel Plus Top Layer: Boral TileSeal <sup>HT</sup>
	5	3.02E	No. 30 / Self-Adhered Underlayment	Base Layer: ASTM D226, Type II or Alcazar Mid Layer (Optional): Citadel Plus Top Layer: Boral TileSeal <sup>HT</sup>
<b>System Four "B":</b> Adhesive-Set Tile, Sealed Underlayment System	3	3.02C	Self-Adhered Underlayment	Base Layer (Optional): Citadel Plus Top Layer: Boral TileSeal <sup>HT</sup>
	4	3.02D	No. 30 / Self-Adhered Underlayment	Base Layer: ASTM D226, Type II or Alcazar Mid Layer (Optional): Citadel Plus Top Layer: Boral TileSeal <sup>HT</sup>

## 6. INSTALLATION:

- 6.1 Boral Roof Underlayments shall be installed in accordance with Boral Roofing published installation instructions subject to the Limitations set forth in Section 5 herein and the specifics noted below.
- 6.2 Re-fasten any loose decking panels, and check for protruding nail heads. Sweep the substrate thoroughly to remove any dust and debris prior to application, and prime the substrate (if applicable).
- 6.3 Install self-adhering underlayment when ambient and surface temperatures are minimum 40°F and rising.
- 6.4 **Alcazar:**
  - 6.4.1 Install Alcazar in compliance with manufacturer's published installation instructions and the requirements for ASTM D226, Type I and II or ASTM D2626 underlayments in FBC Sections 1507 for the type of prepared roof covering to be installed.
  - 6.4.2 Address metal drip-edge, rakes, valleys and penetrations in accordance with Boral Roofing published installation instructions.

6.4.3 Slopes of 4:12 or greater:

6.4.3.1 Starting at the eaves, lay Alcazar underlayment, lapping each course the width of selvedge lap at bottom of each sheet (horizontal lap) and with minimum 6-inch end (vertical) laps. At all head (horizontal) laps, pull the release film from the bottom of the overlapping course and fully adhere to the selvedge edge of the course below. End (vertical) laps in a succeeding course shall be staggered from those in preceding course by minimum 6-feet.

6.4.3.2 Secure with standard roofing nails, nails & tin-tags or 1-inch diameter plastic or steel cap nails maximum 6-inch o.c. at the laps and 12-inch o.c. in two, equally spaced, staggered rows in the center of the sheet.

6.4.3.3 If a top-layer-underlayment is required atop the mechanically attached base layer, install Boral TileSeal 50<sup>HT</sup>, Boral TileSeal<sup>HT</sup> or GatorSeal in accordance with Boral Roofing published installation instructions and the applicable sections below.

6.4.4 Slopes of 3:12 to less than 4:12:

6.4.4.1 Double layer application; begin by fastening a 19-inch wide strip of Alcazar underlayment placed along the eaves. Place a full-width sheet over the starter, completely overlapping the starter course. Overlap succeeding courses by 19-inches. Minimum 6-inch end (vertical) laps shall be staggered from those in preceding course by minimum 6-feet.

6.4.4.2 Secure the top layer with standard roofing nails, nails & tin-tags or 1-inch diameter plastic or steel cap nails maximum 6-inch o.c. at the laps and 12-inch o.c. in two, equally spaced, staggered rows in the center of the sheet.

6.4.5 For use in asphalt-shingle applications, reference is made to the current edition of the ARMA Asphalt Roofing Manual. For use in applications that do not involve asphalt-shingles or tile, reference is made to the current edition of the NRCA Steep-slope Roofing Manual.

6.4.6 For use in tile applications, reference is made to FRSA/TRI 07320/8-05 Installation Manual, Fourth Edition, and Table 2 herein with exception of the Alcazar fastening requirements set forth in section 6.4.3.1.

6.5 Citadel Plus:

6.5.1 Citadel Plus is limited to use as a base or mid-layer in multi-ply underlayment systems beneath Boral TileSeal 50<sup>HT</sup>, Boral TileSeal<sup>HT</sup>, GatorSeal or StormSentry.

6.5.2 Slope limitations are those associated with the top-layer underlayment.

6.5.3 Direct to deck:

6.5.3.1 Cut the membrane into manageable lengths, typically 10 to 12 ft. Align the membrane parallel to the roof edge, extending over by ¼-inch. Fold the membrane away from the edge onto itself. Remove the release sheet. Place the membrane with the exposed rubberized asphalt onto the deck, pressing firmly into place. Roll into place with a weighted roller.

6.5.3.2 Boral recommends fastening of the top edge of the sheet to the deck with roofing nails, nails & tin-tags or 1-inch diameter plastic or steel cap nails spaced 24-inch o.c. for slopes below 7:12 and 12-inch o.c. for slopes 7:12 and greater. Overlap successive courses minimum 2 inches (horizontal lap) and minimum 4" end (vertical) laps.

6.5.3.3 Install final underlayment layer atop Citadel Plus per 'direct-to-deck' instructions for Boral TileSeal 50<sup>HT</sup>, Boral TileSeal<sup>HT</sup>, GatorSeal or StormSentry.

6.5.4 To base sheet:

6.5.4.1 Install Alcazar in accordance with Boral Roofing published installation instructions and Section 6.4.3 or install ASTM D226, Type II felt in accordance with Section 6.4.3 but using minimum 2" head laps (horizontal) or Citadel Plus in accordance with Boral Roofing published installation instructions and Section 6.5.3 and when used as part of a multi-ply system.



- 6.5.4.2 Install Citadel Plus as a mid-ply in accordance with Boral Roofing published installation instructions and Section 6.5.3.
- 6.5.4.4 Install final underlayment layer atop Citadel Plus per 'direct-to-deck' instructions for Boral TileSeal 50<sup>HT</sup>, Boral TileSeal <sup>HT</sup>, GatorSeal or StormSentry.
- 6.6 **Boral TileSeal 50<sup>HT</sup>:**
  - 6.6.1 Install Boral TileSeal 50<sup>HT</sup> in compliance with manufacturer's published installation instructions and the requirements for ASTM D1970 underlayments in FBC Sections 1507 for the type of prepared roof covering to be installed.
  - 6.6.2 Do not use Boral TileSeal 50<sup>HT</sup> on roof pitches less than 2:12.
  - 6.6.3 **For non-tile applications, direct to deck:**
    - 6.6.3.1 Cut the membrane into manageable lengths, typically 10 to 12 ft. Align the membrane parallel to the roof edge, extending over by ¼-inch. Fold the membrane away from the edge onto itself. Remove the release sheet. Place the membrane with the exposed rubberized asphalt onto the deck, pressing firmly into place. Roll into place with a weighted roller.
    - 6.6.3.2 Boral recommends fastening of the black selvedge edge to the deck with roofing nails, nails & tin-tags or 1-inch diameter plastic or steel cap nails spaced 24-inch o.c. for slopes below 7:12 and 12-inch o.c. for slopes 7:12 and greater. Overlap successive courses the width of the black-selvedge area, minimum 3-inch.
    - 6.6.3.3 Seal under end (vertical) laps using approved mastic, or use Joined and Folded Seam or Inverted Sheet Seam method detailed in Boral Roofing published installation instructions.
  - 6.6.4 **For non-tile applications, to mechanically attached base sheet:**
    - 6.6.4.1 Install Alcazar in accordance with Boral Roofing published installation instructions and Section 6.4.3 or install ASTM D226, Type II felt in accordance with Section 6.4.3 but using minimum 2" head (horizontal) laps.
    - 6.6.4.2 Install Boral TileSeal 50<sup>HT</sup> in accordance with Boral Roofing published installation instructions and Section 6.6.3, except end (vertical) laps, described below.
    - 6.6.4.3 Apply SBS Mastic under all end (vertical) laps or any other laps where the self-adhering bituminous underside is in contact with the fabric top surface, rolling the interface into place with a weighted roller.
  - 6.6.5 **For tile applications:**
    - 6.6.5.1 Reference is made to FRSA/TRI 07320/8-05 Installation Manual, Fourth Edition, and Table 2 herein, using the instructions noted above as a guideline. Tile shall be loaded and staged in a manner that prevents tile slippage and/or damage to the underlayment.
    - 6.6.5.2 Battens must be used for all tile installations atop Boral TileSeal 50<sup>HT</sup>. Boral Roofing's Elevated Batten System™, Tru-Flow® Battens, or counter battens are required for roof pitches of 2 ½:12 to less than 4:12.
- 6.7 **GatorSeal and StormSentry:**
  - 6.7.1 Install GatorSeal and StormSentry in compliance with manufacturer's published installation instructions and the requirements for ASTM D1970 underlayments in FBC Sections 1507 for the type of prepared roof covering to be installed.
  - 6.7.2 Do not use GatorSeal on roof pitches less than 2:12. Do not use StormSentry on roof pitches less than ½:12 while ensuring there is no possibility for ponding water on the surface of StormSentry.

- 6.7.3 For non-tile applications, direct to deck:
- 6.7.3.1 Cut the membrane into manageable lengths, typically 10 to 12 ft. Align the membrane parallel to the roof edge, extending over by ¼-inch. Fold the membrane away from the edge onto itself. Remove the release sheet. Place the membrane with the exposed rubberized asphalt onto the deck, pressing firmly into place. Roll into place with a weighted roller.
- 6.7.3.2 Boral recommends fastening of the black selvedge edge to the deck with roofing nails, nails & tin-tags or 1-inch diameter plastic or steel cap nails spaced 24-inch o.c. for slopes below 7:12 and 12-inch o.c. for slopes 7:12 and greater. Overlap successive courses the width of the black-selvedge area, minimum 3-inch.
- 6.7.3.3 Seal end (vertical) laps using SBS Mastic under all side (vertical) laps or any other laps where the self-adhering bituminous underside is in contact with the granular or mineral top surface, rolling the interface into place with a weighted roller, or using the Inverted Sheet Seam detailed in Boral Roofing published installation instructions.
- 6.7.4 For non-tile applications, to base sheet:
- 6.7.4.1 Install Alcazar in accordance with Boral Roofing published installation instructions and Section 6.4.3 or install ASTM D226, Type II felt in accordance with Section 6.4.3 but using minimum 2" head (horizontal) laps or install Citadel Plus in accordance with Boral Roofing published installation instructions and Section 6.5.3.
- 6.7.4.2 Install GatorSeal (over Alcazar, ASTM D226, Type II felt, or Citadel Plus) or StormSentry (over ASTM D226, Type II felt or Citadel Plus only) in accordance with Boral Roofing published installation instructions and Section 6.7.3 except end (vertical) laps, described below.
- 6.7.4.3 Apply SBS Mastic under all side (vertical) laps or any other laps where the self-adhering bituminous underside is in contact with the granular top surface, rolling the interface into place with a weighted roller.
- 6.7.5 For tile applications (StormSentry only):
- 6.7.5.1 Reference is made to FRSA/TRI 07320/8-05 Installation Manual, Fourth Edition, and Table 2 herein, using the instructions noted above as a guideline. Tile shall be loaded and staged in a manner that prevents tile slippage and/or damage to the underlayment.
- 6.8 **Boral TileSeal<sup>HT</sup>:**
- 6.8.1 Install Boral TileSeal<sup>HT</sup> in compliance with manufacturer's published installation instructions and the requirements for ASTM D1970 underlayments in FBC Sections 1507 for the type of prepared roof covering to be installed.
- 6.8.2 Do not use Boral TileSeal<sup>HT</sup> on roof pitches less than 2:12. For tile applications, do not use Boral TileSeal HT on pitches less than 2½:12.
- 6.8.3 For non-tile applications, direct to deck:
- 6.8.3.1 For OSB substrate, prime with ASTM D41 primer and allow to dry prior to installation. Cut the membrane into manageable lengths, typically 10 to 12 ft. Align the membrane parallel to the roof edge, extending over by ¼-inch. Fold the membrane away from the edge onto itself. Remove the release sheet. Place the membrane with the exposed rubberized asphalt onto the deck, pressing firmly into place. Roll into place with a weighted roller.
- 6.8.3.2 Boral recommends fastening of the black selvedge edge to the deck with roofing nails, nails & tin-tags or 1-inch diameter plastic or steel cap nails spaced 24-inch o.c. for slopes below 7:12 and 12-inch o.c. for slopes 7:12 and greater. Overlap successive courses the width of the black-selvedge area, minimum 3-inch.



- 6.8.3.3 Seal under end (vertical) laps using approved mastic, or use Joined and Folded Seam or Inverted Sheet Seam method detailed in Boral Roofing published installation instructions.
- 6.8.4 For non-tile applications, to mechanically attached base sheet:
  - 6.8.4.1 Install Alcazar in accordance with Boral Roofing published installation instructions and Section 6.4.3 or install ASTM D226, Type II felt in accordance with Section 6.4.3 but using minimum 2" head (horizontal) laps or install Citadel Plus in accordance with Boral Roofing published installation instructions and Section 6.5.3.
  - 6.8.4.2 Install Boral TileSeal<sup>HT</sup> in accordance with Boral Roofing published installation instructions and Section 6.8.3, except end (vertical) laps, described below.
  - 6.8.4.3 Apply SBS Mastic under all end (vertical) laps or any other laps where the self-adhering bituminous underside is in contact with the fabric top surface, rolling the interface into place with a weighted roller.
- 6.8.5 For tile applications:
  - 6.8.5.1 Reference is made to FRSA/TRI 07320/8-05 Installation Manual, Fourth Edition, and Table 2 herein, using the instructions noted above as a guideline. Tile shall be loaded and staged in a manner that prevents tile slippage and/or damage to the underlayment.
  - 6.8.5.2 Battens must be used for all tile installations atop Boral TileSeal<sup>HT</sup> with roof pitches of 2½ to less than 3:12. Boral Roofing's Elevated Batten System, Tru-Flow Battens or counter battens are required.
  - 6.8.5.3 Approved foam adhesive may be used for roof slopes 2:12 and greater.

**7. LABELING:**

Each unit shall bear a permanent label with the manufacturer's name, logo, city, state and logo of the Accredited Quality Assurance Agency noted herein.

**8. BUILDING PERMIT REQUIREMENTS:**

As required by the Building Official or Authority Having Jurisdiction in order to properly evaluate the installation of this product.

**9. MANUFACTURING PLANTS:**

Contact the manufacturer or the named QA entity for information on plants covered under Rule 9N-3 QA requirements.

**10. QUALITY ASSURANCE ENTITY:**

UL, LLC. – QUA9625; (414) 248-6409; Karen.buchmann@us.ul.com

**- END OF EVALUATION REPORT -**



DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES (RER)  
BOARD AND CODE ADMINISTRATION DIVISION

**NOTICE OF ACCEPTANCE (NOA)**

MIAMI-DADE COUNTY  
PRODUCT CONTROL SECTION

11805 SW 26 Street, Room 208  
Miami, Florida 33175-2474  
T (786)315-2590 F (786) 31525-99

[www.miamidade.gov/economy](http://www.miamidade.gov/economy)

CertainTeed Corporation  
1400 Union Meeting Road, P.O. Box 1100  
Blue Bell, PA 19422-0761

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County RER - Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. RER reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code including the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION: CertainTeed Modified Bitumen Roofing Systems over Wood Decks.**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews and revises NOA No. 08-0410.09 and consists of pages 1 through 32.  
The submitted documentation was reviewed by Jorge L. Acebo.



NOA No.: 13-0204.03  
Expiration Date: 06/19/14  
Approval Date: 05/30/13  
Page 1 of 32

## ROOFING SYSTEM APPROVAL

<b>Category:</b>	Roofing
<b>Sub-Category:</b>	Modified Bitumen
<b>Material:</b>	APP/SBS
<b>Deck Type:</b>	Wood
<b>Maximum Design Pressure:</b>	-60 psf.

### TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:

TABLE 1

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
All Weather/Empire Base Sheet	36" x 65'10"; Roll weight: 86 lbs. (2 squares)	ASTM D 4601 Type II UL Type 15	Asphalt coated, fiberglass reinforced base sheet.
Flex-I-Glas™ Base Sheet	36" x 98'9"; Roll weight: 90 lbs. (3 squares)	ASTM D 4601, Type II UL Type G2	Modified Bitumen coated fiberglass base sheet.
Flex-I-Glas™ FR Base Sheet	39 3/8" x 50'; Roll weight: 90 lbs. (1.5 squares)	ASTM D 6163, Grade S, Type I	Modified Bitumen coated fiberglass base sheet.
Flintglas® Ply Sheet Type IV or VI	36" x 164'7"; Roll weight: 40/55 lbs. (5 squares)	ASTM D 2178 Type IV or VI UL Type G1	Fiberglass, asphalt impregnated ply sheet.
Flintlastic STA STA Plus 5.0	39 3/8" x 33'; Roll weight: 90 lbs. (1 square)	ASTM D 6222, Grade S, Type II	Smooth surfaced APP Modified Bitumen membrane with non-woven polyester mat reinforcement for torch application.
Flintlastic GTA, GTA-FR	39 3/8" x 33' 3"; Roll weight: 105 lbs. (1 square)	ASTM D 6222, Grade G, Type II	Granule surfaced APP Modified Bitumen membrane with non-woven polyester mat reinforcement for torch application.
Flintlastic GMS, GMS Premium	39 3/8" x 34' 2"; Roll weight: 100/105 lbs. (1 square)	ASTM D 6164, Grade G, Type II	Granule surfaced SBS Modified Bitumen membrane with non-woven polyester mat reinforcement for mop application.
Flintlastic FR, FR-P Premium	39 3/8" x 34' 2"; Roll weight: 105 lbs. (1 square)	ASTM D 6164, Grade G, Type I	Fire resistant, granule surfaced SBS Modified Bitumen Membrane with non-woven polyester mat reinforcement for mop application.
Flintlastic FR Cap Sheet	39 3/8" x 34' 2"; Roll weight: 90 lbs. (1 square)	ASTM D 6163, Grade G, Type I	Fire resistant, granule surfaced SBS Modified Bitumen membrane with fiberglass mat reinforcement for mop applications.
Flintlastic FR Cap T	39-3/8" x 34' 2"; Roll weight: 81 lbs. (1 square)	ASTM D6163	Granule surfaced SBS Modified Bitumen membrane with fiberglass mat reinforcement for torch application.



NOA No.: 13-0204.03  
 Expiration Date: 06/19/14  
 Approval Date: 05/30/13  
 Page 2 of 32



<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
Flintlastic FR Base T	39-3/8" x 33'; Roll Weight: 81lbs. (1.0 squares)	ASTM D6163	Modified Bitumen, coated fiberglass base sheet for torch application.
Flintlastic FR Cap CoolStar	39 3/8" x 34' 2"; Roll weight: 90 lbs. (1 square)	ASTM D 6163	Fire resistant, granule surfaced SBS Modified Bitumen membrane with fiberglass mat reinforcement for mop applications. Covered with reflective CoolStar Coating.
Flintlastic FR Cap T CoolStar	39 3/8" x 34' 2"; Roll weight: 90 lbs. (1 square)	ASTM D 6163	Fire resistant, granule surfaced SBS Modified Bitumen membrane with fiberglass mat reinforcement for mop applications. Covered with reflective CoolStar Coating.
Flintlastic GTA, GTA-FR CoolStar	39 3/8" x 33' 3"; Roll weight: 105 lbs. (1 square)	ASTM D 6222	Granule surfaced APP Modified Bitumen membrane with non-woven polyester mat reinforcement for torch application. Covered with reflective CoolStar Coating.
Flintlastic GMS/GMS Premium CoolStar	39 3/8" x 34' 2"; Roll weight: 100/105 lbs. (1 square)	ASTM D 6164	Granule surfaced SBS Modified Bitumen membrane with non-woven polyester mat reinforcement for mop application. Covered with reflective CoolStar Coating.
Flintlastic FR-P/FR-P Premium CoolStar	39 3/8" x 34' 2"; Roll weight: 105 lbs. (1 square)	ASTM D 6164	Fire resistant, granule surfaced SBS Modified Bitumen Membrane with non-woven polyester mat reinforcement for mop application. Covered with reflective CoolStar Coating. Covered with reflective CoolStar Coating.
Ultra Poly SMS	36" x 64' 4" (2 squares)	ASTM D 6164, Grade S, Type I	Smooth surfaced SBS Modified Bitumen Membrane with non-woven polyester mat reinforcement for mop applications.
GlasBase™ Base Sheet	36" x 98' 9"; Roll weight: 69 lbs. (3 squares)	ASTM D 4601 UL Type G2	Asphalt coated, fiberglass base sheet.
PolySMS Base Sheet	39 3/8" x 64' 4"; Roll weight: 90 lbs. (2 squares)	ASTM D 4601, Grade S, Type II UL Type G2	Modified Bitumen coated polyester base sheet.
Yosemite® Buffer Base Sheet	36" x 32' 10"; Roll weight: 90 lbs. (1 square)	ASTM D 3909 ASTM D 4897 UL Type 30	Mineral Surfaced fiberglass reinforced buffer sheet.
Black Diamond™ Base Sheet	36" x 68' 7"; Roll weight: 78 lbs. (2 squares)	ASTM D 1970	Self-adhering fiberglass reinforced modified bitumen base sheet



**APPROVED INSULATIONS:**

**TABLE 2**

<b>Product Name</b>	<b>Product Description</b>	<b>Manufacturer (With Current NOA)</b>
FlintBoard ISO	Polyisocyanurate foam insulation	CertainTeed Corporation
ACFoam -II	Polyisocyanurate foam insulation	Atlas Roofing Corporation
High Density Wood Fiberboard	Wood fiber insulation board	Generic
Perlite Insulation	Perlite insulation board	Generic
DensDeck, DensDeck Prime	Water resistant gypsum board	Georgia Pacific Gypsum LLC
H-Shield	Polyisocyanurate foam insulation	Hunter Panels LLC
ENRGY 3, ENRGY 3 25 PSI	Polyisocyanurate foam insulation	Johns Manville Corp.
Multi-Max FA-3	Polyisocyanurate foam insulation	RMax Operating, LLC

**APPROVED FASTENERS:**

**TABLE 3**

<b>Fastener Number</b>	<b>Product Name</b>	<b>Product Description</b>	<b>Dimensions</b>	<b>Manufacturer (With Current NOA)</b>
1.	Dekfast 12 & 14 Fastener	Insulation fastener		SFS Intec, Inc.
2.	Dekfast Galvalume Steel Hex Plate	Galvalume AZ50 steel plate	2 7/8" x 3 1/4"	SFS Intec, Inc.
3.	OMG #12 & #14 Roofgrip Fasteners	Insulation fastener		OMG, Inc.
4.	OMG 3 in. Round Metal Plates	3" round galvalume AZ50 steel plate	3" round	OMG, Inc.
5.	Trufast #12 DP Fastener	Insulation fastener for wood and steel decks		Altenloh, Brinck & Co. U.S., Inc.
6.	Trufast 3" Metal Insulation Plate	Galvalume steel plate	3" round	Altenloh, Brinck & Co. U.S., Inc.
7.	Trufast 3" TL Insulation Plate	Galvalume steel plate	3" round	Altenloh, Brinck & Co. U.S., Inc.
8.	Dekfast 15 HS	Coated, carbon steel fastener	Various	SFS Intec, Inc.
9.	Trufast #15 EHD Fastener	Coated, carbon steel screw	various	Altenloh, Brinck & Co. U.S., Inc.
10.	Trufast #14 HD Fastener	Coated, carbon steel screw	various	Altenloh, Brinck & Co. U.S., Inc.
11.	Trufast 2" Metal Seam Plates	Galvalume steel stress plate	2" round	Altenloh, Brinck & Co. U.S., Inc.



NOA No.: 13-0204.03  
 Expiration Date: 06/19/14  
 Approval Date: 05/30/13  
 Page 4 of 32

**EVIDENCE SUBMITTED:**

<u>Test Agency/Identifier</u>	<u>Name</u>	<u>Report</u>	<u>Date</u>
Factory Mutual Research Corp.	FMRC 4470	J.I. 3Y8A1.AM	03/23/96
Underwriters Laboratories, Inc.	UL 790	R11656	01/11/13
United States Testing Company	ASTM D 5147	97457-4	06/03/88
	ASTM D 5147	97-457-2R	12/02/87
Momentum Technologies, Inc.	ASTM D 4601	AX31G8D	09/05/08
	ASTM D6164	AX31G8F	06/05/09
	ASTM D6222	AX31G8G	06/05/09
	ASTM D 3909/ D 4897	AX31G8C	09/05/08
Trinity ERD	TAS 114(J)	#3507.08.99-1	04/18/01
	TAS 114(J)	#3514.02LAB	11/11/02
	TAS 117 (B)	3503.10.06	10/10/06
	TAS 117 (B)	O6490.04.07-R1	06/27/07
	TAS 114 (H)	Letter	04/05/06
	TAS 114	3533.01.06	01/06/06
	TAS 114	3521.07.04	07/29/04
	TAS 117 (B)/ ASTM D 6862	C8500SC.11.07	11/30/07
	TAS 114	C8370.08.08	08/19/08
	ASTM Physical Properties	C10080.09.08-R4	03/25/10
	ASTM D6164/D4798	C31410.01.11-2	01/10/11
	ASTM D4601	C40050.09.12-1	09/28/12
	ASTM D1970	C40050.09.12-2	09/28/12
	ASTM D5147/D4798	C31410.10.10-R1	11/01/12
ASTM D5147/D4798	C31410.01.11-1-R1	11/01/12	
PRI Construction Materials Technologies LLC	ASTM D6163	CTC-032-02-01	01/22/08
	ASTM D6163	CTC-066-02-01	08/09/11
	ASTM D6164	CTC-068-02-01	08/09/11
	ASTM D6222	CTC-070-02-01	08/09/11
	ASTM D6164/D4798	CTC-093-02-01	08/09/11
	ASTM D2178	CTC-122-02-01	03/13/12
	ASTM D2178	CTC-123-02-01	03/13/12
	ASTM D4601	CTC-127-02-01	03/13/12
	ASTM D6163	CTC-128-02-01	06/11/12
	ASTM D6163	CTC-129-02-01	06/11/12
	ASTM D6164	CTC-132-02-01	06/11/12



**Membrane Type:** APP MODIFIED  
**Deck Type 1:** Wood, Non-Insulated  
**Deck Description:** <sup>19</sup>/<sub>32</sub>" or greater plywood or wood plank  
**System Type E(3):** Base sheet mechanically fastened.

**All General and System Limitations apply.**

**Base Sheet:** One ply of All Weather/Empire Base Sheet, Glas Base or Flintglas Premium Ply Sheet (Type VI) mechanically attached as detailed below.

**Fastening:** Base sheet shall be lapped 4" and fastened with 11 ga. annular ring shank nails and approved tin caps 8"o.c. in the lap and three rows staggered in the center of the sheet 8"o.c.

**Ply Sheet:** (Optional ) One ply of All Weather/Empire Base Sheet, Ultra Poly SMS, Glas Base, Flex-I Glas Base, Flex-I Glas FR Base or Poly SMS or one or more plies of Flintglas Ply Sheet (Type IV) or Flintglas Premium Ply Sheet (Type VI) adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. or one ply of Black Diamond Base Sheet self-adhered or Flintlastic STA torch adhered.

**Membrane:** Flintlastic GTA, Flintlastic GTA CoolStar, Flintlastic GTA-FR or GTA-FR CoolStar torch adhered to base/ply sheet.

**Surfacing:** (Optional) Any coating, listed below, used as a surfacing, must be listed within a current NOA. Install one of the following:  
1. 400-lb./sq. gravel or 300-lb./sq. slag in a flood coat of approved mopping asphalt at an application rate of 60 lb./sq.  
2. Karnak (#97 AF) Fibrated Aluminum Roof Coating, FlintCoat A-150, APOC #212 Fibrated Aluminum Roof Coating at an application rate of 1 ½ gal. /sq.

**Maximum Design Pressure:** -52.5 psf (See General Limitation #7)



## WOOD DECK SYSTEM LIMITATIONS:

1. A slip sheet is required with Ply 4 and Ply 6 when used as a mechanically fastened base or anchor sheet.

## GENERAL LIMITATIONS:

1. Fire classification is not part of this acceptance; refer to a current Approved Roofing Materials Directory for fire ratings of this product.
2. Insulation may be installed in multiple layers. The first layer shall be attached in compliance with Product Control Approval guidelines. All other layers shall be adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq., or mechanically attached using the fastening pattern of the top layer
3. All standard panel sizes are acceptable for mechanical attachment. When applied in approved asphalt, panel size shall be 4' x 4' maximum.
4. An overlay and/or recovery board insulation panel is required on all applications over closed cell foam insulations when the base sheet is fully mopped. If no recovery board is used the base sheet shall be applied using spot mopping with approved asphalt, 12" diameter circles, 24" o.c.; or strip mopped 8" ribbons in three rows, one at each side lap and one down the center of the sheet allowing a continuous area of ventilation. Encircling of the strips is not acceptable. A 6" break shall be placed every 12' in each ribbon to allow cross ventilation. Asphalt application of either system shall be at a minimum rate of 12 lbs./sq.

**Note: Spot attached systems shall be limited to a maximum design pressure of -45 psf.**

5. Fastener spacing for insulation attachment is based on a Minimum Characteristic Force (F') value of 275 lbf., as tested in compliance with Testing Application Standard TAS 105. If the fastener value, as field-tested, are below 275 lbf. insulation attachment shall not be acceptable.
6. Fastener spacing for mechanical attachment of anchor/base sheet or membrane attachment is based on a minimum fastener resistance value in conjunction with the maximum design value listed within a specific system. Should the fastener resistance be less than that required, as determined by the Building Official, a revised fastener spacing, prepared, signed and sealed by a Florida registered Professional Engineer, Registered Architect, or Registered Roof Consultant may be submitted. Said revised fastener spacing shall utilize the withdrawal resistance value taken from Testing Application Standards TAS 105 and calculations in compliance with Roofing Application Standard RAS 117.
7. Perimeter and corner areas shall comply with the enhanced uplift pressure requirements of these areas. Fastener densities shall be increased for both insulation and base sheet as calculated in compliance with Roofing Application Standard RAS 117. Calculations prepared, signed and sealed by a Florida registered Professional Engineer, Registered Architect, or Registered Roof Consultant **(When this limitation is specifically referred within this NOA, General Limitation #9 will not be applicable.)**
8. All attachment and sizing of perimeter nailers, metal profile, and/or flashing termination designs shall conform to Roofing Application Standard RAS 111 and applicable wind load requirements.
9. The maximum designed pressure limitation listed shall be applicable to all roof pressure zones (i.e. field, perimeters, and corners). Neither rational analysis, nor extrapolation shall be permitted for enhanced fastening at enhanced pressure zones (i.e. perimeters, extended corners and corners). **(When this limitation is specifically referred within this NOA, General Limitation #7 will not be applicable.)**
10. All products listed herein shall have a quality assurance audit in accordance with the Florida Building Code and Rule 9N-3 of the Florida Administrative Code.

**END OF THIS ACCEPTANCE**



NOA No.: 13-0204.03  
Expiration Date: 06/19/14  
Approval Date: 05/30/13  
Page 32 of 32

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri **5-5-14** Page      of     

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
1087/2	<del>Rocke near</del>	<del>Deck</del>	<del>OK</del>	
	<del>Rocke near</del>	<del>Roof</del>	<del>OK</del>	<del>2/10/2014</del>
	Code Red Roofers	Sheathing		INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

# TOWN OF SEWALLS POINT

BUILDING DEPARTMENT INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 9/15-14 Page \_\_\_\_\_ of \_\_\_\_\_

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10861	Pearson	Final		849-0203
	2 Marquette Dr.	Change Out	Pass	CLOSE
	Lee's			INSPECTOR <i>JH</i>
10830	Ledon	Window		772 708 2323
	2 Knowles Rd.	Inspection	Pass	
		ROUGH		
		# Dry-IN		INSPECTOR <i>JH</i>
10778	NEHME	GRADE BEAM		
	44 S. Sewall Pt Rd	U.G. ERECT	Pass	
	Oceanfront Pkdm			INSPECTOR <i>JH</i>
<del>10842</del>	<del>KOSOVAN</del>	<del>ROOF</del>		
	<del>5 Rio Vista Dr</del>	<del>Dry-IN</del>	<del>Pass</del>	
				INSPECTOR <i>JH</i>
10753	MASSETT	POOL ENC	Fail	NOT PER PLANS
	8 RIO VISTA	FINAL		NEED TIE-IN SURVEY
	KS INDUS			INSPECTOR <i>JH</i>
10879	WALONE	# Door		
	14 S. VIA LUCINDIA	FINAL	Pass	CLOSE
	SPS			INSPECTOR <i>JH</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
✓	CALL REAL ESTATE	MOW GRASS		ADAM BROWN
	35 N. Sewalls	CALL ED		287 7676
				INSPECTOR



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

*Permit*  
*[Signature]*

RE: Permit # 10842

Date 5/19/2014

**Inspection Affidavit**

I Douglas E. Roe, licensed as a (h) Contractor\* / Engineer/Architect,  
(please print name and circle Lic. Type) FS 468 Building Inspector\*

License #: CCC1326574

On or about May 6 2014, I did personally inspect the roof  
(Date & time)

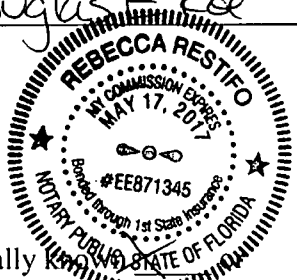
deck nailing and/or secondary water barrier work at 5 Rio Vista Dr.  
(circle one) (Job Site Address)

Based upon that examination I have determined the installation was done according to the Hurricane Mitigation Retrofit Manual (Based on 553.844 F.S.)

[Signature]  
 Signature

STATE OF FLORIDA  
 COUNTY OF Martin  
 Sworn to and subscribed before me this 19 day of May, 2014

By Douglas E. Roe \_\_\_\_\_  
 Notary Public, State of Florida [Signature]  
Rebecca Restife  
 (Print, type or stamp name)



Commission No.: EE871345

Personally known \_\_\_\_\_  
 Produced Identification \_\_\_\_\_  
 Type of identification produced \_\_\_\_\_

\* General, Building, Residential, or Roofing Contractor or any individual certified under 468 F.S. to make such an inspection. Include photographs of each plane of the roof with the permit # or address # clearly shown marked on the deck for each inspection.





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

*all FWP  
 for*

RE: Permit # 10842

Date 5/19/2014

**Inspection Affidavit**

I Douglas E. Roe, licensed as a(n) Contractor\* (Engineer/Architect,  
 (please print name and circle Lic. Type) FS 468 Building Inspector\*

License #: CCC1326574

On or about May 5, 2014 11:00 am, I did personally inspect the roof  
 (Date & time)

deck nailing and/or secondary water barrier work at 5 Rio Vista Drive,  
 (circle one) (Job Site Address)

Based upon that examination I have determined the installation was done according to the  
 Hurricane Mitigation Retrofit Manual (Based on 553.844 F.S.)

[Signature]  
 Signature

STATE OF FLORIDA  
 COUNTY OF Martin

Sworn to and subscribed before me this 19 day of May, 2014

By Douglas E. Roe

[Signature]  
 Notary Public, State of Florida



Rebecca Restifo  
 (Print, type or stamp name)

Commission No.: EE871345

Personally known [Signature]  
 Produced Identification \_\_\_\_\_  
 Type of identification produced. \_\_\_\_\_

\* General, Building, Residential, or Roofing Contractor or any individual certified under 468 F.S. to make such an inspection. Include photographs of each plane of the roof with the permit # or address # clearly shown marked on the deck for each inspection.

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 5:20 - 14 Page \_\_\_\_ of \_\_\_\_

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10806	ELMS 8 PEACOCK WINKLE AG ENVIRONMENTAL	FINAL SIDING	PASS	CLOSE INSPECTOR <i>[Signature]</i>
10845	McILVAINE 20 CASTLE HILL BILL HUGHES CONSD	FINAL PILINGS & LIFT	PASS	CLOSE INSPECTOR <i>[Signature]</i>
10848	GENUANT 14 S. SEWALLS DR RD SCOTT HOLMES	FOOTING	PASS	INSPECTOR <i>[Signature]</i>
10852	 4 WORTH CT THE SYSTEM	FINAL ROOF	PASS	CLOSE INSPECTOR <i>[Signature]</i>
<del>10892</del>	<del>ROSEMANN 5 RIO VISTA DR</del>	<del>DIV IN METAL</del>	<del>PASST</del>	<del>INSPECTOR</del>
	GILBERTO 107 S. RIVER RD	TREE	OK	Reports from Analyst & owner INSPECTOR <i>[Signature]</i>
				INSPECTOR

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

 Date of Inspection  Mon

 Tue

 Wed

 Thur

 Fri

- 14 Page \_\_\_\_\_ of \_\_\_\_\_

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10842	ROSEMANN	Dry		
	15 RIO VISTA DR	WATER	PASS	
	CODE Red Roofers	IN PROGRESS		INSPECTOR <i>JA</i>
10686		ROOF SPREADING		
	108 S. SPT RD	PARTIAL	PASS	
	DRIFTWOOD HOMES			INSPECTOR <i>JA</i>
10835	SPENCER	ROOF SPREADING		
	85 S. SPT RD		PASS	
	DAN BUTCHER ROOF			INSPECTOR <i>JA</i>
10863	BONNEY	?		
	11 OAKWOOD		CANCEL	
				INSPECTOR
9:15	FADRESEE			
	OAK HILL WAY	JOB SITE MIA		
				INSPECTOR
				INSPECTOR
				INSPECTOR

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 6/6 -14 Page      of     

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10859	Eberst	Reinspect all	retest from 6/5	
	1385 Sewall Pt Rd		Pass	
	Brownie			INSPECTOR <i>JA</i>
10894	Rlose	A/C FINAL		
2:00 PM	2 BARKU SO		PMS	CLOSE
	AC Mann			INSPECTOR <i>JA</i>
10527	WESTON	METEN		- GARAGE DOOR
	30 S. SPT RD	FINAL	FAIL	- ROUSE #'s
	WESTON CONST			INSPECTOR
10680	WINSLOW	COLUMNS	FAIL	NO STEEL IN
	10 S. SPT RD	POSTERS		WINDOW COLUMNS
	GREEN BLDG			INSPECTOR <i>JA</i>
10878	DOUGHERTY	<del>SEMI</del> WALL		
	15 OAK HILL	FRAMING	Pass	
	WALTER WHITE			INSPECTOR <i>JA</i>
10833	DOUGHERTY	A/C FINAL		
	15 OAK HILL WAY		Pass	CLOSE
	NISAN			INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>10842</del>	<del>5 R10 VISTA</del>	<del>Final Roof</del>		
	5 R10 VISTA		Pass	<del>CLOSE</del>
	CADE RED ROOF			INSPECTOR <i>JA</i>

**11287**

**GARAGE DOOR**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

### BUILDING PERMIT RECEIPT

PERMIT NUMBER:	11287		
ADDRESS:	5 Rio Vista Drive		
DATE ISSUED:	5/22/2015	SCOPE OF WORK:	Garage Door

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, Remodel >\$200K)		\$	
Plan Submittal Fee (175.00 Remodel <\$200K, Tennant Improvement)		\$	
Plan Submittal Fee (100.00 Remodel <\$100k)		\$	
Total square feet air-conditioned spa @ per sq. ft. s.f.		\$	-
Total square feet non-conditioned space, or interior remodel: @ per sq. ft. s.f.		\$	-
Total square feet remodel with new trusses: @ per sq. ft. s.f.		\$	-
Total Construction Value:		\$	\$ -
Building fee: (2% of construction value SFR or >\$200K)		\$	n/a
Total number of inspections (Value < \$200K) \$ 150.00 per insp. # insp		\$	-
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	n/a
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	n/a
Technology Fee: (0.04% of Construction Value - \$5 min)			n/a
Road impact assessment: (0.4% of construction value - \$20 min.)			n/a
Martin County Impact Fee:		\$	
<b>TOTAL BUILDING PERMIT FEE:</b>		\$	\$ -

ACCESSORY PERMIT	Declared Value:	\$	\$
Total number of inspections: @ \$ 150.00 per insp. # insp	1	\$	150.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	\$ 2.25
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	\$ 2.25
Technology Fee (0.04% of Construction Value - \$5 min.)		\$	5.00
Road impact assessment: (0.4% of construction value - \$20 min.)		\$	20.00
<b>TOTAL ACCESSORY PERMIT FEE:</b>		\$	<b>179.50</b>



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	11287	DATE ISSUED:	May 22, 2015
SCOPE OF WORK:	Garage Door		
CONTRACTOR:	Coastal Garage Door		
PARCEL CONTROL NUMBER:	12-38-41-002-000-00290-6	SUBDIVISION:	Rio Vista S/D Lot 29
CONSTRUCTION ADDRESS:	5 Rio Vista Drive		
OWNER NAME:	Roseman		
QUALIFIER:	Evan Weilage	CONTACT PHONE NUMBER:	812-7023

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE**  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

### INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

Date: 5/11/15 Permit Number: \_\_\_\_\_  
 OWNER/LESSEE NAME: DAVID ROSEMAN Phone (Day) 772 405 7721 (Fax) \_\_\_\_\_  
 Job Site Address: 5 RIO VISTA DRIVE City: STUART State: FL Zip: 34996  
 Legal Description \_\_\_\_\_ Parcel Control Number: \_\_\_\_\_  
 Fee Simple Holder Name: \_\_\_\_\_ Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Telephone: \_\_\_\_\_

**\*SCOPE OF WORK (PLEASE BE SPECIFIC):**

**WILL OWNER BE THE CONTRACTOR?**  
 (If yes, Owner Builder questionnaire must accompany application)  
 YES  NO   
**Has a Zoning Variance ever been granted on this property?**  
 YES  (YEAR) \_\_\_\_\_ NO   
 (Must include a copy of all variance approvals with application)

**COST AND VALUES: (Required on ALL permit applications)**  
 Estimated Value of Improvements: \$ 1325  
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
 Is subject property located in flood hazard area? VE10  AE9  AE8   
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
 Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
 (Fair Market Value of the Primary Structure only, Minus the land value)  
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Coastal Garage Door Co Phone: 772 812 2023 Fax: NA  
 Qualifiers name: Evan Weilage Street: 601 SW Hillsboro City: Port St Lucie State: FL Zip: 34953  
 State License Number: \_\_\_\_\_ OR: Municipality: Port St Lucie License Number: 11170  
 LOCAL CONTACT: Evan Weilage Phone Number: 772 812 2023  
 DESIGN PROFESSIONAL: \_\_\_\_\_ Fla. License# \_\_\_\_\_  
 Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Phone Number: \_\_\_\_\_

AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/ Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_  
 Carport: \_\_\_\_\_ Total under Roof \_\_\_\_\_ Elevated Deck: \_\_\_\_\_ Enclosed area below BFE\*: \_\_\_\_\_  
 \* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010  
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

**WARNINGS TO OWNERS AND CONTRACTORS:**

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
- IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - 5.

**\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\***

**AFFIDAVIT:** APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER / AGENT / LESSEE - NOTARIZED SIGNATURE:  
 X \_\_\_\_\_  
 State of Florida, County of: Martin  
 On This the 11th day of May, 2015  
 by David Roseman who is personally known to me or produced \_\_\_\_\_  
 As identification \_\_\_\_\_  
 My Commission Expires: \_\_\_\_\_ Commission # EE 142688

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:  
 X Evan Weilage  
 State of Florida, County of: Martin  
 On This the 19 day of May  
 by Evan Weilage who is personally known to me or produced \_\_\_\_\_  
 As identification \_\_\_\_\_  
 My Commission Expires: 03/14/2016

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY

MARTIN COUNTY PUBLIC UTILITIES DISTRICT  
 COMM # EE 119305  
 EXPIRES 5/14/2016  
 NOTARY PUBLIC  
 JAWAN CANARD  
 My Commission Expires: 03/14/2016





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY

**FORMULA FOR DESIGN PRESSURES**

Example: 25 ft mean roof height, exposure C - 16 X 7 Door 140mph.

Pressure	Exposure C multiplier	Req. Design Pressure
29.7	X 1.35	= +40.095
-33.1	X 1.35	= -44.685

Garage Door must be rated at +40.1/-44.68 minimum. This must be completed for exposure C:

Pressure	Exposure C multiplier	Req. Design Pressure
<u>25.6</u>	X <u>1.21</u>	= <u>30.98 (+)</u>
<u>28.6</u>	X <u>1.21</u>	= <u>34.29 (-)</u>

TABLE 1609.3.1  
 EQUIVALENT BASIC WIND SPEEDS<sub>a,b,c</sub>

V3S	85	90	100	105	110	120	125	130	140	145	150	160	170
Vfm	71	76	85	90	95	104	109	114	123	128	133	142	152

For SI: 1 mile per hour = 0.44 m/s.

- a. Linear interpolation is permitted.
- b. V3S is the 3-second gust wind speed (mph).
- c. Vfm is the fastest mile wind speed (mph).

**TABLE 1609.6(2)**

MEAN ROOF HEIGHT (feet)	EXPOSURE		
	B	C	D
15	1.00	1.21	1.47
20	1.00	1.29	1.55
25	1.00	1.35	1.61
30	1.00	1.40	1.66
35	1.05	1.45	1.70
40	1.09	1.49	1.74
45	1.12	1.53	1.78
50	1.16	1.56	1.81
55	1.19	1.59	1.84
60	1.22	1.62	1.87

For SI: 1 foot=304.8 mm.

All table values shall be adjusted for other exposures and heights by multiplying by the above coefficients.

**TABLE 1609.6(1)**

Effective Wind Area		Basic Wind Speed V (mph - 3 second gust)																
Width (ft)	Height (ft)	85	90	100	110	120	130	140	150									
<b>Roof Angle 0 - 10 degrees</b>																		
8	8	10.5	-11.9	11.7	-13.3	14.5	-16.4	17.5	-19.9	20.9	-23.6	24.5	-27.7	28.4	-32.2	32.6	-36.9	
10	10	10.1	-11.4	11.4	-12.7	14.0	-15.7	17.0	-19.0	20.2	-22.7	23.7	-26.6	27.5	-30.8	31.6	-35.4	
14	14	10.0	-10.7	10.8	-12.0	13.3	-14.8	16.1	-17.9	19.2	-21.4	22.5	-25.1	26.1	-29.1	30.0	-33.4	
<b>Roof Angle &gt; 10</b>																		
9	7	11.4	-12.9	12.8	-14.5	15.8	-17.9	19.1	-21.6	22.8	-25.8	26.7	-30.2	31.0	-35.1	35.6	-40.2	
16	7	10.9	-12.2	12.3	-13.7	15.2	-16.9	18.3	-20.4	21.8	-24.3	25.6	-28.5	29.7	-33.1	34.1	-38.0	

For SI: 1 Square foot = 0.929 m<sup>2</sup>, 1 mph = 0.447 m/s, 1 psf = 47.88 N/m<sup>2</sup>

- 1. For effective areas or wind speeds between those given above the load may be interpolated, otherwise use the load associated with the lower effective area.
- 2. Table values shall be adjusted for height and exposure by multiplying by adjustment coefficients in Table 1609.6 (2).
- 3. Plus and minus signs signify pressures acting toward and away from the building surfaces.
- 4. Negative pressures assume door has 2 feet of width in building's end zone



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Florida Department of  
**Business & Professional  
 Regulation**



**Product Approval**  
 USER: Public User

[Home](#) | [About](#) | [Registration](#)

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > [Application Detail](#)



FL #	FL13521-R2										
Application Type	Revision										
Code Version	2010										
Application Status	Approved										
Comments											
Archived											
Product Manufacturer	Amarr Garage Doors										
Address/Phone/Email	165 Carriage Court Winston-Salem, NC 27105 (336) 251-1309 danny.joyner@amarr.com										
Authorized Signature	Brandon Gentle brandon.gentle@amarr.com										
Technical Representative	Brandon Gentle										
Address/Phone/Email	165 Carriage Court Winston-Salem, NC 27105 (336) 251-1308 brandon.gentle@amarr.com										
Quality Assurance Representative	Danny Joyner										
Address/Phone/Email	Amarr Garage Doors 165 Carriage Court Winston-Salem, NC 27105 djoyner@amarr.com										
Category	Exterior Doors										
Subcategory	Sectional Exterior Door Assemblies										
Compliance Method	Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer <input checked="" type="checkbox"/> Evaluation Report - Hardcopy Received										
Florida Engineer or Architect Name who developed the Evaluation Report	Thomas L. Shelmerdine										
Florida License	PE-0048579										
Quality Assurance Entity	Intertek Testing Services NA Inc. - ETL/Warlock Hersey										
Quality Assurance Contract Expiration Date	01/01/2016										
Validated By	Steven M. Ulrich, PE <input checked="" type="checkbox"/> Validation Checklist - Hardcopy Received										
Certificate of Independence	<a href="#">FL13521 R2 COI Statement of Independence revised.pdf</a>										
Referenced Standard and Year (of Standard)	<table border="0"> <thead> <tr> <th>Standard</th> <th>Year</th> </tr> </thead> <tbody> <tr> <td>ASTM E1996</td> <td>2009</td> </tr> <tr> <td>ASTM E330</td> <td>2002</td> </tr> <tr> <td>DASMA 108</td> <td>2005</td> </tr> <tr> <td>DASMA 115</td> <td>2005</td> </tr> </tbody> </table>	Standard	Year	ASTM E1996	2009	ASTM E330	2002	DASMA 108	2005	DASMA 115	2005
Standard	Year										
ASTM E1996	2009										
ASTM E330	2002										
DASMA 108	2005										
DASMA 115	2005										
Equivalence of Product Standards Certified By											
Sections from the Code											

Product Approval Method

Method 1 Option D

Date Submitted

02/13/2013

Date Validated

02/18/2013

Date Pending FBC Approval

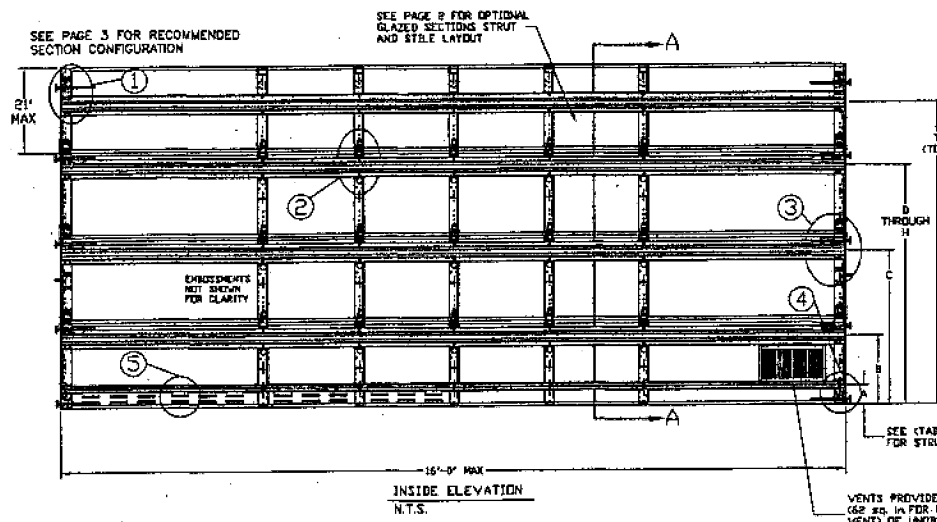
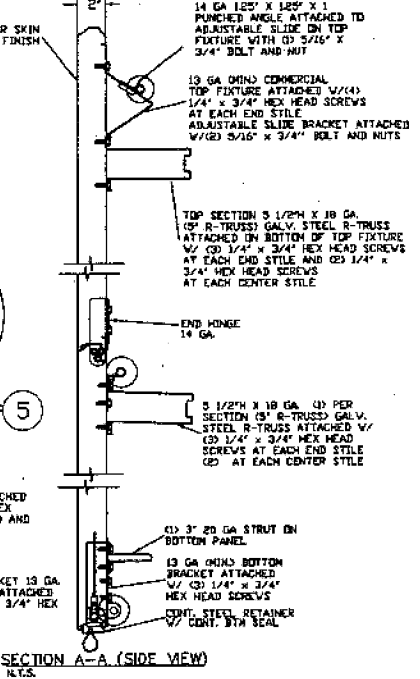
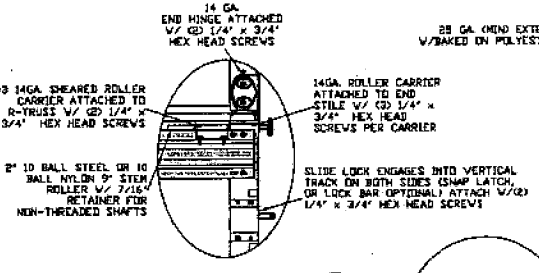
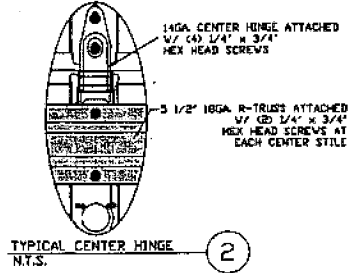
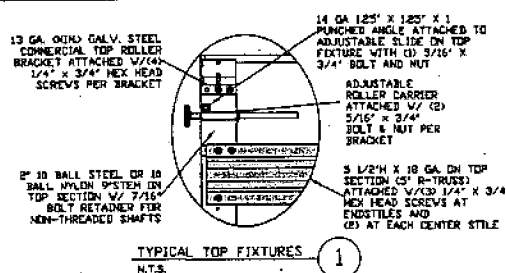
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Date Approved

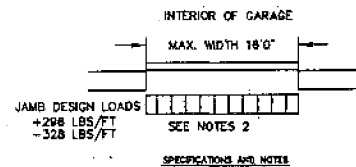
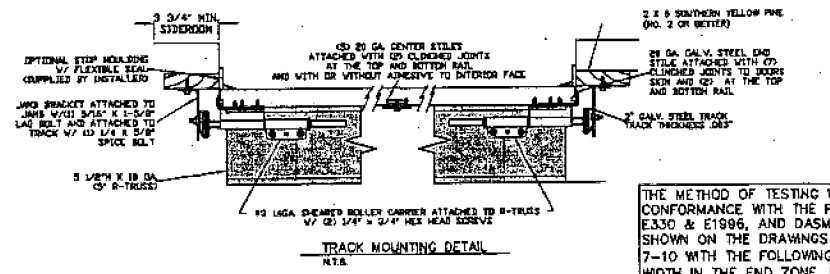
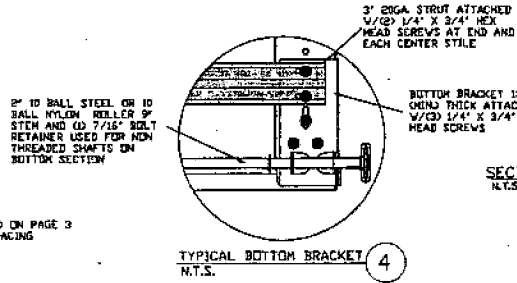
04/09/2013

**Summary of Products**

FL #	Model, Number or Name	Description
13521.1	Stratford, Heritage and Oak Summit Models 600, 650 and 950	Dwg. IRC-6016-155-26-I, Thru 16' wide.
<b>Limits of Use</b> Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +37.0/-41.0 Other:		<b>Installation Instructions</b> <a href="#">FL13521_R2_II_IRC-6016-155-26-I Drawing 7-10 FL.pdf</a> <a href="#">FL13521_R2_II_Retail Product Cross Reference Chart.pdf</a> Verified By: Thomas L. Shelmerdine FL PE# 0048579 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL13521_R2_AE_IRC-6016-155-26-I Evaluation Report 7-10 sealed.pdf</a> Created by Independent Third Party: Yes
13521.2	Stratford, Heritage and Oak Summit Models 600, 650 and 950	Dwg. IRC-6009-150-15-I, Thru 9' wide.
<b>Limits of Use</b> Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +35.6/-42.1 Other:		<b>Installation Instructions</b> <a href="#">FL13521_R2_II_IRC-6009-150-15-I Drawing 7-10 FL.pdf</a> <a href="#">FL13521_R2_II_Retail Product Cross Reference Chart.pdf</a> Verified By: Thomas L. Shelmerdine FL PE# 0048579 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL13521_R2_AE_IRC-6009-150-15-I Evaluation Report 7-10 sealed.pdf</a> Created by Independent Third Party: Yes
13521.3	Stratford, Heritage and Oak Summit Models 600, 650 and 950	Dwg. IRC-6009-169-15-I, Thru 9' wide.
<b>Limits of Use</b> Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +45.3/-51.2 Other:		<b>Installation Instructions</b> <a href="#">FL13521_R2_II_IRC-6009-169-15-I Drawing 7-10 FL.pdf</a> <a href="#">FL13521_R2_II_Retail Product Cross Reference Chart.pdf</a> Verified By: Thomas L. Shelmerdine FL PE# 0048579 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL13521_R2_AE_IRC-6009-169-15-I Evaluation Report 7-10 sealed.pdf</a> Created by Independent Third Party: Yes
13521.4	Stratford, Heritage and Oak Summit Models 600, 650 and 950	Dwg. IRC-6016-140-24-G, Thru 16' wide.
<b>Limits of Use</b> Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +29.7/-33.8 Other:		<b>Installation Instructions</b> <a href="#">FL13521_R2_II_IRC-6016-140-24-G Drawing 7-10 FL.pdf</a> <a href="#">FL13521_R2_II_Retail Product Cross Reference Chart.pdf</a> Verified By: Thomas L. Shelmerdine FL PE# 0048579 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL13521_R2_AE_IRC-6016-140-24-G Evaluation Report 7-10 sealed.pdf</a> Created by Independent Third Party: Yes
13521.5	Stratford, Heritage and Oak Summit Models 600, 650 and 950	Dwg. IRC-6016-130-15-I, Thru 16' wide.
<b>Limits of Use</b> Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +25.6/-29.1 Other:		<b>Installation Instructions</b> <a href="#">FL13521_R2_II_IRC-6016-130-15-I Drawing 7-10 FL.pdf</a> <a href="#">FL13521_R2_II_Retail Product Cross Reference Chart.pdf</a> Verified By: Thomas L. Shelmerdine FL PE #0048579 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL13521_R2_AE_IRC-6016-130-15-I Evaluation Report 7-10 sealed.pdf</a> Created by Independent Third Party: Yes
13521.6	Stratford, Heritage and Oak Summit Models 600, 650 and 950	Dwg. IRC-6009-130-15-I



# LARGE MISSILE IMPACT RESISTANT



THE METHOD OF TESTING WAS IN SUBSTANTIAL CONFORMANCE WITH THE PROCEDURE DESCRIBED IN ASTM E330 & E1996, AND DASHA 108 & 115. THE PRESSURES SHOWN ON THE DRAWINGS WERE CALCULATED USING ASCE 7-10 WITH THE FOLLOWING PARAMETERS (5 FEET OF DOOR 7-10 WITH THE FOLLOWING PARAMETERS (5 FEET OF DOOR AT ANY SLOPE):

WIND SPEED (MPH)	199	181	172	184	157
EXPOSURE LEVEL	B	C	C	D	D
MEAN ROOF HEIGHT	30'	15'	25'	15'	25'

- SPECIFICATIONS AND NOTES**
- ALL THE LOAD FROM THE DOOR IS TRANSFERRED TO THE VERTICAL TRACK FROM THE TRACK. THE LOAD IS TRANSFERRED TO THE VERTICAL JAMBS. THE HORIZONTAL JAMBS OR HEADER RECEIVES NO PORTION OF THE LOAD TRANSFERRED FROM THE DOOR.
  - EACH VERTICAL JAMB RECEIVES MAXIMUM DESIGN LOADS OF +298 LBS/FT & -328 LBS/FT
  - DOORS AND HARDWARE WILL BE DESIGNED, MANUFACTURED AND INSTALLED WITH STANDARDS AS SET FORTH BY DASHA.
  - DOOR SECTIONS SHALL BE 25 GA. MIN. (.019") ROLLED FORMED LIGHT COMMERCIAL QUALITY.
  - SUPPORTING STRUCTURAL ELEMENTS SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER FOR OTHER LOADS INDICATED ON THIS DRAWING IN ADDITION TO THE LOADINGS.
  - AMARR MANUFACTURES AND DISTRIBUTES GARAGE DOORS UNDER MANY BRAND LABELS. PLEASE SEE AMARR-MANUFACTURED PRIVATE LABEL CHART FOR REFERENCE OF EQUIVALENT PRODUCTS FOR WINDLOAD APPROVAL.
  - REFER TO TABLES ON THE PAGE 3 FOR ADDITIONAL DOOR WIDTHS AND THEIR DESIGN PRESSURES.
  - PANEL STAMP DOES NOT EFFECT WINDLOAD CAPABILITIES.

REV	DESCRIPTION OF REVISIONS	DATE	BY
A	UPDATED TO FEB 2016	12/21/16	RLR
B	ADDED GLAZING NOTE	12/19/16	RLR

MAX. SIZE WIDTH 16' HEIGHT 14'

DESIGN LOADS  
+37.0 PSF  
-41.0 PSF

TEST LOADS  
+55.5 PSF  
-61.5 PSF

LARGE MISSILE IMPACT RESISTANT

Thomas L. Shelmetsky, P.E. (FL REG. #22912)  
Specialty Solutions, Inc. (FL REG. #22912)

FL  
No 00455787  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
155 CARRIAGE COURT WINSTON-SALEM, NC 27103

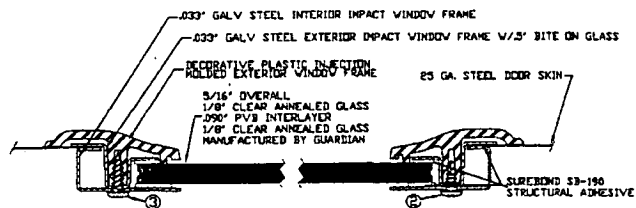
**Amarr**  
GARAGE DOORS

155 CARRIAGE COURT WINSTON-SALEM, NC 27103

MODEL #850 OAK SUMMIT SERIES 1000 & 2000  
MODEL #800 STRATFORD SERIES 1000 & 2000  
MODEL #950 HERITAGE SERIES 1000 & 2000

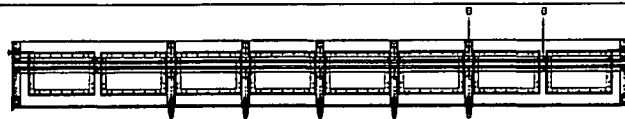
SIZE	DRAWN BY	ENG	DATE	11/29/16	DRAWING NUMBER
B	CHECKED BY	CLJ	DATE	11/29/16	IRC-6016-155-26-1

SHEET 1 OF 3



2. 3/16" X 1/2" SCREW - USED TO FASTEN THE STEEL EXTERIOR IMPACT WINDOW FRAME TO THE STEEL INTERIOR IMPACT WINDOW FRAME.
3. 11/64" X 1/2" SCREW - USED TO FASTEN DECORATIVE PLASTIC MOLDED WINDOW FRAME TO THE ASSEMBLY.

SECTION B-B IMPACT WINDOW DETAIL  
N.T.S.



TOP SECTION



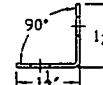
INTERMEDIATE SECTION

OPTIONAL SHORT PANEL GLAZED SECTION STRUT AND STILE LAYOUT

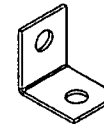
TOP FIXTURE ADDER PIECE



TOP VIEW



END VIEW



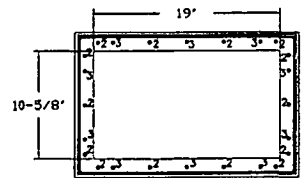
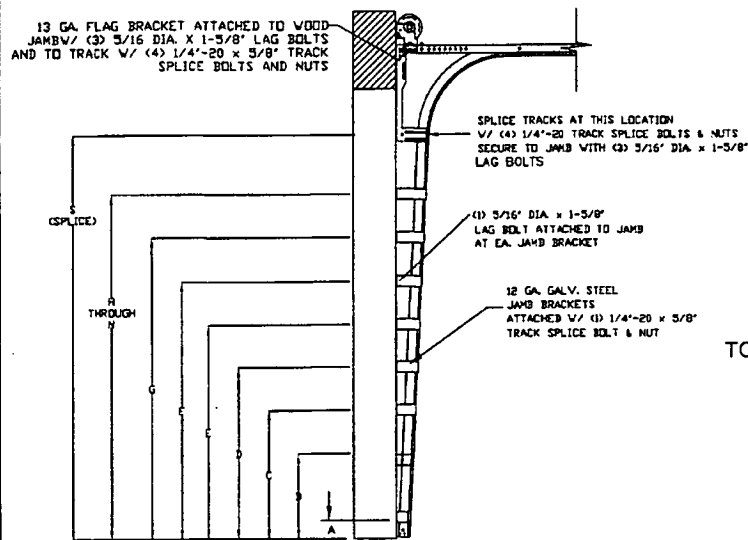
ISOMETRIC VIEW



SIDE VIEW

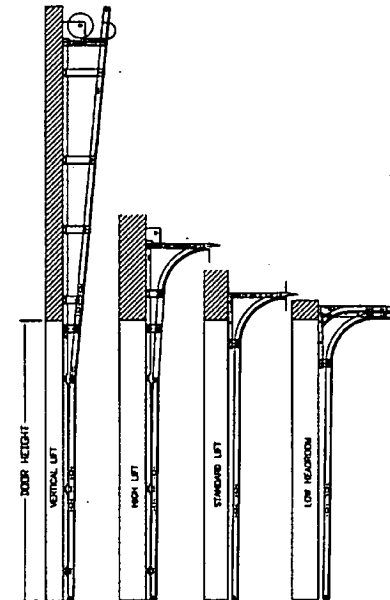
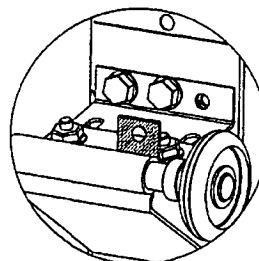
NOTES:

1. ZINC COATING
2. MATERIAL YIELD STRENGTH: 35-49 KSI.
3. MATERIAL HARDNESS: 50-80 ROCKWELL B.
4. 1.25" X 1.25" X 14 GA PUNCHED ANGLE MAY BE USED



IMPACT GLAZING FASTENER DETAIL  
N.T.S.

TOP FIXTURE REINFORCEMENT  
ILLUSTRATION



AVAILABLE TRACK CONFIGURATIONS  
N.T.S.

REV	DESCRIPTION OF REVISIONS	DATE	BY
A	UPDATED TO FRC 2010	12/1/11	RLR
B	ADDED GLAZING NOTE	12/19/12	RLR

<p>MAX SIZE WIDTH 16" HEIGHT 14"</p> <p>DESIGN LOADS +37.0 PSF -41.0 PSF</p> <p>TEST LOADS +55.5 PSF -61.5 PSF</p> <p>LARGE MISSILE IMPACT RESISTANT</p>	<p>Thomas L. Shelmerdine, PE (PE #00048378) Structural Solutions, PA (PA Firm #259112)</p> <p>FL PROFESSIONAL ENGINEER STATE OF FLORIDA No 0040570</p> <p>FL dbs Structural Solutions, Inc., Cary, NC 3521 S.W. Freedom Ave., Greensboro, NC 27410</p>
--	--

<p><b>Amarr</b> GARAGE DOORS</p> <p>165 CARRIAGE COURT WINSTON-SALEM, NC 27105</p>	
<p>MODEL #650 OAK SUMMIT SERIES 1000 &amp; 2000 MODEL #600 STRATFORD SERIES 1000 &amp; 2000 MODEL #950 HERITAGE SERIES 1000 &amp; 2000</p>	
<p>SIZE: DRAWN BY: BJB DATE: 11/20/09</p>	<p>DRAWING NUMBER: IRC-6016-155-26-1</p>
<p>B: CHECKED BY: DJJ DATE: 11/20/09</p>	<p>SHEET 2 OF 3</p>

STANDARD TRACK CONFIGURATION FOR 6'6" UP TO 14' TALL DOORS  
N.T.S.

TABLE 1

DOOR HEIGHT	TRACK ATTACHMENT								SPLICE
	A	B	C	D	E	F	G	H	
6' 6"	3.5"	21"	39"	57"					70"
7'	3.5"	21"	42"	63"					76"
7' 6"	3.5"	18"	36"	54"	72"				82"
8'	3.5"	21"	39"	57"	75"				88"
8' 6"	3.5"	21"	42"	63"	81"				94"
9'	3.5"	18"	36"	54"	72"	90"			100"
9' 6"	3.5"	21"	39"	57"	75"	93"			106"
10'	3.5"	21"	42"	63"	81"	99"			112"
10' 6"	3.5"	21"	42"	63"	84"	105"			118"
11'	3.5"	21"	39"	57"	75"	93"	111"		124"
11' 6"	3.5"	21"	42"	63"	81"	99"	117"		130"
12'	3.5"	21"	42"	63"	84"	105"	123"		136"
12' 6"	3.5"	21"	39"	57"	75"	93"	111"	129"	142"
13'	3.5"	21"	42"	63"	81"	99"	117"	135"	148"
13' 6"	3.5"	21"	42"	63"	84"	105"	123"	141"	154"
14'	3.5"	21"	42"	63"	84"	105"	126"	147"	160"

ALL TRACK ATTACHMENT SPACING +/- 1" WITH SYD NO. 2 OR BETTER ONLY

TABLE 3

DOOR HEIGHT	SECTION HEIGHTS							
	Btm	#2	#3	#4	#5	#6	#7	#8
6' 0"	18"	18"	18"	18"				
6' 6"	21"	18"	18"	21"				
7' 0"	21"	21"	21"	21"				
7' 6"	18"	18"	18"	18"	18"			
8' 0"	21"	18"	18"	18"	21"			
8' 6"	21"	21"	21"	18"	21"			
9' 0"	18"	18"	18"	18"	18"	18"		
9' 6"	21"	18"	18"	18"	18"	21"		
10' 0"	21"	21"	21"	18"	18"	21"		
10' 6"	21"	21"	21"	21"	21"	21"		
11' 0"	21"	18"	18"	18"	18"	18"	21"	
11' 6"	21"	21"	21"	18"	18"	18"	21"	
12' 0"	21"	21"	21"	21"	21"	18"	21"	
12' 6"	21"	18"	18"	18"	18"	18"	21"	
13' 0"	21"	21"	21"	18"	18"	18"	21"	
13' 6"	21"	21"	21"	21"	21"	18"	21"	
14' 0"	21"	21"	21"	21"	21"	21"	21"	

TABLE 2

Section Width (ft)	Panel Type	Center Sash Locations (Measured from Left Edge)					Max Design Loads Allowed	
		1st (in)	2nd (in)	3rd (in)	4th (in)	5th (in)	Positive (PSF)	Negative (PSF)
10' 0"	Long	30.00	60.00	90.00			44.0	48.7
10' 0"	Short	48.41	71.96				37.8	41.8
10' 6"	Long	30.00	60.00	90.00			44.0	48.7
10' 6"	Short	48.81	72.00	95.19			37.4	41.4
12' 0"	Long	49.03	72.00	94.38			37.4	41.4
12' 0"	Short	48.31	72.00	95.69			37.4	41.4
12' 6"	Long	49.84	73.00	96.50			36.0	40.8
12' 6"	Short	50.08	73.00	96.32			36.0	40.8
12' 6"	Oak Summit	49.05	73.00	95.94			36.0	40.8
12' 6"	Long	50.84	74.00	97.58			36.4	40.3
12' 6"	Short	51.08	74.00	97.92			36.4	40.3
12' 6"	Oak Summit	49.81	74.00	98.19			36.4	40.3
12' 6"	Long	51.77	75.00	98.33			36.0	39.8
12' 6"	Short	52.01	75.00	98.44			36.0	39.8
12' 6"	Oak Summit	50.28	75.00	98.44			36.0	39.8
12' 6"	Long	52.10	76.00	100.00			36.4	39.2
12' 6"	Short	52.34	76.00	100.00			36.4	39.2
12' 6"	Oak Summit	51.31	76.00	100.00			36.4	39.2
12' 6"	Long	54.25	77.00	101.75			34.0	38.7
12' 6"	Short	54.49	77.00	101.75			34.0	38.7
12' 6"	Oak Summit	52.00	77.00	101.75			34.0	38.7
12' 6"	Long	55.00	78.00	103.00			34.5	38.2
12' 6"	Short	55.24	78.00	103.00			34.5	38.2
12' 6"	Oak Summit	53.81	78.00	103.19			34.5	38.2
12' 6"	Long	56.10	79.00	105.00			34.1	37.7
12' 6"	Short	56.34	79.00	105.00			34.1	37.7
12' 6"	Oak Summit	54.56	79.00	105.44			34.1	37.7
12' 6"	Long	58.40	80.00	106.50			33.8	37.3
12' 6"	Short	58.64	80.00	106.50			33.8	37.3
12' 6"	Oak Summit	56.81	80.00	106.19			33.8	37.3
12' 6"	Long	60.30	81.00	108.00			33.2	36.8
12' 6"	Short	60.54	81.00	108.00			33.2	36.8
12' 6"	Oak Summit	58.50	81.00	108.00			33.2	36.8
12' 6"	Long	63.00	82.00	109.50			32.8	36.4
12' 6"	Short	63.24	82.00	109.50			32.8	36.4
12' 6"	Oak Summit	61.00	82.00	109.19			32.8	36.4
12' 6"	Long	66.00	83.00	108.00			32.4	35.9
12' 6"	Short	66.24	83.00	108.00			32.4	35.9
12' 6"	Oak Summit	64.00	83.00	108.44			32.4	35.9
12' 6"	Long	70.00	84.00	109.50			32.0	35.5
12' 6"	Short	70.24	84.00	109.50			32.0	35.5
12' 6"	Oak Summit	68.00	84.00	110.00			32.0	35.5
12' 6"	Long	75.00	85.00	111.41			31.8	35.1
12' 6"	Short	75.24	85.00	111.41			31.8	35.1
12' 6"	Oak Summit	73.00	85.00	111.94			31.8	35.1
12' 6"	Long	80.00	86.00	112.71			31.3	34.7
12' 6"	Short	80.24	86.00	112.71			31.3	34.7
12' 6"	Oak Summit	78.00	86.00	113.19			31.3	34.7
12' 6"	Long	86.00	87.00	114.01			30.9	34.3
12' 6"	Short	86.24	87.00	114.01			30.9	34.3
12' 6"	Oak Summit	84.00	87.00	114.44			30.9	34.3
12' 6"	Long	90.00	88.00	115.31			30.6	33.9
12' 6"	Short	90.24	88.00	115.31			30.6	33.9
12' 6"	Oak Summit	88.00	88.00	115.69	131.19		30.3	33.5
12' 6"	Long	96.00	89.00	116.61			30.2	33.5
12' 6"	Short	96.24	89.00	116.61			30.2	33.5
12' 6"	Oak Summit	94.00	89.00	117.00	132.40		30.0	33.2
12' 6"	Long	102.00	90.00	117.94			30.0	33.2
12' 6"	Short	102.24	90.00	117.94			30.0	33.2
12' 6"	Oak Summit	100.00	90.00	118.38	134.40		30.0	33.2
12' 6"	Long	110.00	91.00	119.44	147.68		29.0	33.2
12' 6"	Short	110.24	91.00	119.44	147.68		29.0	33.2
12' 6"	Oak Summit	108.00	91.00	120.00	149.68		29.0	33.2
12' 6"	Long	120.00	92.00	121.50			28.7	32.7
12' 6"	Short	120.24	92.00	121.50			28.7	32.7
12' 6"	Oak Summit	118.00	92.00	122.00	138.50		28.7	32.7
12' 6"	Long	130.00	93.00	123.50			28.7	32.7
12' 6"	Short	130.24	93.00	123.50			28.7	32.7
12' 6"	Oak Summit	128.00	93.00	124.00	141.50		28.7	32.7
12' 6"	Long	140.00	94.00	125.50			28.7	32.7
12' 6"	Short	140.24	94.00	125.50			28.7	32.7
12' 6"	Oak Summit	138.00	94.00	126.00	144.50		28.7	32.7
12' 6"	Long	150.00	95.00	127.50			28.7	32.7
12' 6"	Short	150.24	95.00	127.50			28.7	32.7
12' 6"	Oak Summit	148.00	95.00	128.00	147.50		28.7	32.7
12' 6"	Long	160.00	96.00	129.50			28.7	32.7
12' 6"	Short	160.24	96.00	129.50			28.7	32.7
12' 6"	Oak Summit	158.00	96.00	130.00	150.50		28.7	32.7
12' 6"	Long	170.00	97.00	131.50			28.7	32.7
12' 6"	Short	170.24	97.00	131.50			28.7	32.7
12' 6"	Oak Summit	168.00	97.00	132.00	153.50		28.7	32.7
12' 6"	Long	180.00	98.00	134.00			28.7	32.7
12' 6"	Short	180.24	98.00	134.00			28.7	32.7
12' 6"	Oak Summit	178.00	98.00	134.50	156.50		28.7	32.7
12' 6"	Long	190.00	99.00	135.50			28.7	32.7
12' 6"	Short	190.24	99.00	135.50			28.7	32.7
12' 6"	Oak Summit	188.00	99.00	136.00	159.50		28.7	32.7
12' 6"	Long	200.00	100.00	137.50			28.7	32.7
12' 6"	Short	200.24	100.00	137.50			28.7	32.7
12' 6"	Oak Summit	198.00	100.00	138.00	162.50		28.7	32.7
12' 6"	Long	210.00	101.00	139.50			28.7	32.7
12' 6"	Short	210.24	101.00	139.50			28.7	32.7
12' 6"	Oak Summit	208.00	101.00	140.00	165.50		28.7	32.7
12' 6"	Long	220.00	102.00	141.50			28.7	32.7
12' 6"	Short	220.24	102.00	141.50			28.7	32.7
12' 6"	Oak Summit	218.00	102.00	142.00	168.50		28.7	32.7
12' 6"	Long	230.00	103.00	143.50			28.7	32.7
12' 6"	Short	230.24	103.00	143.50			28.7	32.7
12' 6"	Oak Summit	228.00	103.00	144.00	171.50		28.7	32.7

WOOD JAMB ATTACHMENT TO STRUCTURE

2 X 6 VERTICAL JAMB ATTACHMENT TO WOOD FRAME STRUCTURE  
 5/16" X 3" LAG SCREWS STARTING 6" FROM ENDS THEN 16" O.C. (1 1/2" EMBEDMENT)

2 X 6 VERTICAL JAMB ATTACHMENT TO 2,000 PSI CONCRETE  
 MILTI KWIK BOLT 3/8" X 4" STARTING 6" FROM ENDS THEN 24" O.C. (2 1/2" EMBEDMENT)  
 MILTI SLEEVE ANCHOR 3/8" X 2-3/4" STARTING 6" FROM ENDS THEN 14" O.C. (1 1/4" EMBEDMENT)  
 ITV/RANSSET REDHEAD (TRU-BOLT) 3/8" X 4" STARTING 6" FROM ENDS THEN 24" O.C. (2 1/2" EMBEDMENT)

2 X 6 VERTICAL JAMB ATTACHMENT TO HOLLOW C-90 BLOCK  
 SIMPSON 1/4" X 3" TITEN SCREWS STARTING 6" FROM ENDS, USE PAIRS OF FASTENERS (3" APART) AT 8" O.C. (1 1/2" EMBEDMENT)  
 MILTI 1/4" X 2-3/4" KWIK-CON II+ SCREWS STARTING 6" FROM ENDS, USE PAIRS OF FASTENERS (3" APART) AT 8" O.C. (1 1/4" EMBEDMENT)

2 X 6 VERTICAL JAMB ATTACHMENT TO GRouted C-90 BLOCK (2000 PSI GROUT)  
 MILTI SLEEVE ANCHOR 3/8" X 2-3/4" STARTING 6" FROM ENDS THEN 16" O.C. (1 1/4" EMBEDMENT) (OR, USE FASTENERS FOR HOLLOW C-90 BLOCK)

LAGS AND BOLTS CAN BE COUNTERSUNK TO PROVIDE A FLUSH MOUNTING SURFACE.  
 \*PREPARATION OF WOOD JAMBS BY OTHERS

TABLE 4

DOOR HEIGHT	STRUT SPACING (BASED ON RECOMMENDED SECTION CONFIGURATION)								TOP
	A	B	C	D	E	F	G	H	
6' 6"	5 1/2"	18"	34"	52"					70 1/2"
7'	5 1/2"	18"	37"	58"					76 1/2"
7' 6"	5 1/2"	13"	31"	49"	67"				82 1/2"
8'	5 1/2"	18"	34"	52"	70"				88 1/2"
8' 6"	5 1/2"	18"	37"	58"	76"				94 1/2"
9'	5 1/2"	13"	31"	49"	67"	85"			100 1/2"
9' 6"	5 1/2"	18"	34"	52"	70"	88"			106 1/2"
10'	5 1/2"	18"	37"	58"	76"	94"			112 1/2"
10' 6"	5 1/2"	18"	37"	58"	76"	100"			118 1/2"

**9035**

**ELECTRIC**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9035	DATE ISSUED:	OCTOBER 23, 2008
SCOPE OF WORK:	INSTALL ELECTRIC TO AT&T CABINET		
CONDITIONS :			
CONTRACTOR:	PRIORITY ELECTRIC		
PARCEL CONTROL NUMBER:	123841002000002808	SUBDIVISION	
CONSTRUCTION ADDRESS:	5 RIO VISTA DR		
OWNER NAME:	AT&T		
QUALIFIER:	DWIGHT GONZALEZ	CONTACT PHONE NUMBER:	561-596-7304

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM    INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

### BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9035
ADDRESS	5 RIO VISTA DR
DATE:	10/23/08
SCOPE:	INSTALL ELECTRIC TO AT&T CABINET

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			

1233

**COOPER TELCOM PROPERTIES, INC.**  
 18100 ORANGE AVE.  
 FORT PIERCE, FL 34945-4311

01-08

DATE 10-23-08

63-27/631 FL  
1674

PAY TO THE ORDER OF Town of Sewall's Point \$ 240.00  
Two Hundred Forty Dollars & 00/100 DOLLARS

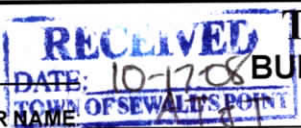
**Bank of America**  
 ACH R/T 063100277

FOR permits

⑆001233⑆ ⑆063100277⑆ 229013549012⑆

TOTAL BUILDING PERMIT FEE:	\$	
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ACCESSORY PERMIT	Declared Value:	\$	1000
Total number of inspections @ \$75.00 each	1	\$	75
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5
TOTAL ACCESSORY PERMIT FEE:		\$	80



# Town of Sewall's Point

Date: \_\_\_\_\_ BUILDING PERMIT APPLICATION Permit Number: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: \_\_\_\_\_ Phone (Day) 772-460-4455 (Fax) \_\_\_\_\_

Job Site Address: 5 SE Rio Vista Drive City: Stuart State: FL Zip: \_\_\_\_\_

Legal Description: SCOPE install electric to AT&T Cabinet Parcel Control Number: 12-38-41-002-000-00280-8

Owner Address (if different): 3300 Okeechobee Rd City: F.T. Pierce State: FL Zip: 34947

Scope of work (please be specific):  
**WILL OWNER BE THE CONTRACTOR?**  
(If yes, Owner Builder questionnaire must accompany application)  
YES \_\_\_\_\_ NO   
**Has a Zoning Variance ever been granted on this property?**  
YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO   
(Must include a copy of all variance approvals with application)

**COST AND VALUES:** (Required on ALL permit applications)  
Estimated Value of Improvements: \$ 1,000  
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
Is subject property located in flood hazard area? VE10  AE9  AE8  X   
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
(Fair Market Value of the Primary Structure only, Minus the land value)  
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: Priority Electric Inc Phone: 561-596-7304 Fax: \_\_\_\_\_

Street: 16576 79th CT N. City: Loxahatchee State: FL Zip: 33470

State License Number: \_\_\_\_\_ OR: Municipality: CME 5693 License Number: \_\_\_\_\_

LOCAL CONTACT: Dwight Gonzalez Phone Number: 561-596-7304

DESIGN PROFESSIONAL: \_\_\_\_\_ Lic# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/ Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_

Carport: \_\_\_\_\_ Total under Roof \_\_\_\_\_ Elevated Deck: \_\_\_\_\_ Enclosed area below BFE\*: \_\_\_\_\_  
\* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2004 W/ 2006 REV.  
National Electrical Code: 2005 Florida Energy Code: 2004/6 Florida Accessibility Code: 2004/6 Florida Fire Prevention Code 2004/6

**NOTICES TO OWNERS AND CONTRACTORS:**  
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.  
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.  
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.  
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

**\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\***

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)  
OF OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)  
Phyllis Popke for PTT  
State of Florida, County of: ST. LUCIE  
This the 16th day of October, 2008  
by Phyllis Popke who is personally  
known to me or produced  
as identification. Sheila A. Chumbley  
My Commission Expires: Expires October 26, 2011  
Bonded Thru Troy Fain Insurance 800-385-7019

CONTRACTOR SIGNATURE: (required)  
Dwight Gonzalez  
On State of Florida, County of: Martin  
This the 15th day of Oct, 2008  
by Dwight Gonzalez who is personally  
known to me or produced FDL#5524-17  
As identification. Valerie Nye  
Notary Public  
My Commission Expires: \_\_\_\_\_



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!





EMBARQ Logistics  
3004 Springs Industrial Dr.  
Powder Springs, GA 30127

## Power Supply (Application for Power)

Project Number: 8E851950N

Power Company: FPL

Rep. Name: Shari Hoover

Telephone: (772) 223-4209

Engineer: Dan Koenig // UDI

Site address: 1 SE Rio Vista Drive

City: STUART

County: Martin

Date of initial power application: \_\_\_\_\_

Account number: \_\_\_\_\_

Timeframe for power: \_\_\_\_\_

Type of cabinet/structure: 52B

Electrician: CTP

Power pedestal set date: \_\_\_\_\_

Power pedestal inspection date: \_\_\_\_\_

Meter promise date: \_\_\_\_\_

Meter set date: \_\_\_\_\_

### Site information:

- Existing structure/pad
- New construction
- BellSouth to determine if pole is needed
- Obstruction exist (if so, explain in the comments section of this document)

**FILE COPY**  
**TOWN OF SEWALL'S POINT**  
 THESE PLANS HAVE BEEN  
 REVIEWED FOR CODE COMPLIANCE  
 DATE 10-20-08  
JA  
**BUILDING OFFICIAL**

### Comments:

pcn: 12 38 41 002 000 00280 8  
 address: 1 SE Rio Vista Drive Stuart Florida 34996  
 ground transformer # 6 7257 3384 f/o #6 SE Rio Vista Drive approximately 180'  
 request 100 amp power service

Refer to work instruction F3.111 for power company contact information

Document No.

Revision No.

Effective Date

F3.106

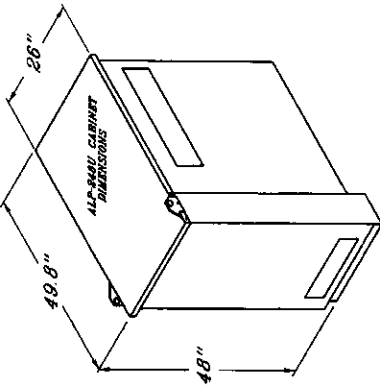
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07/23/01

Tuesday, August 19, 2008

Page 1 of 1

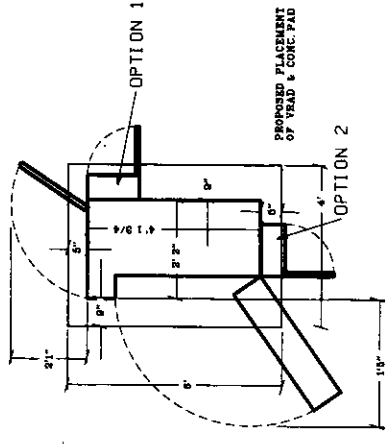
# PLACEMENT/POWER DETAIL



BY ADDRESS: 5 RIO VISTA DR  
PCN: 12-38-41-002-000-00280-8

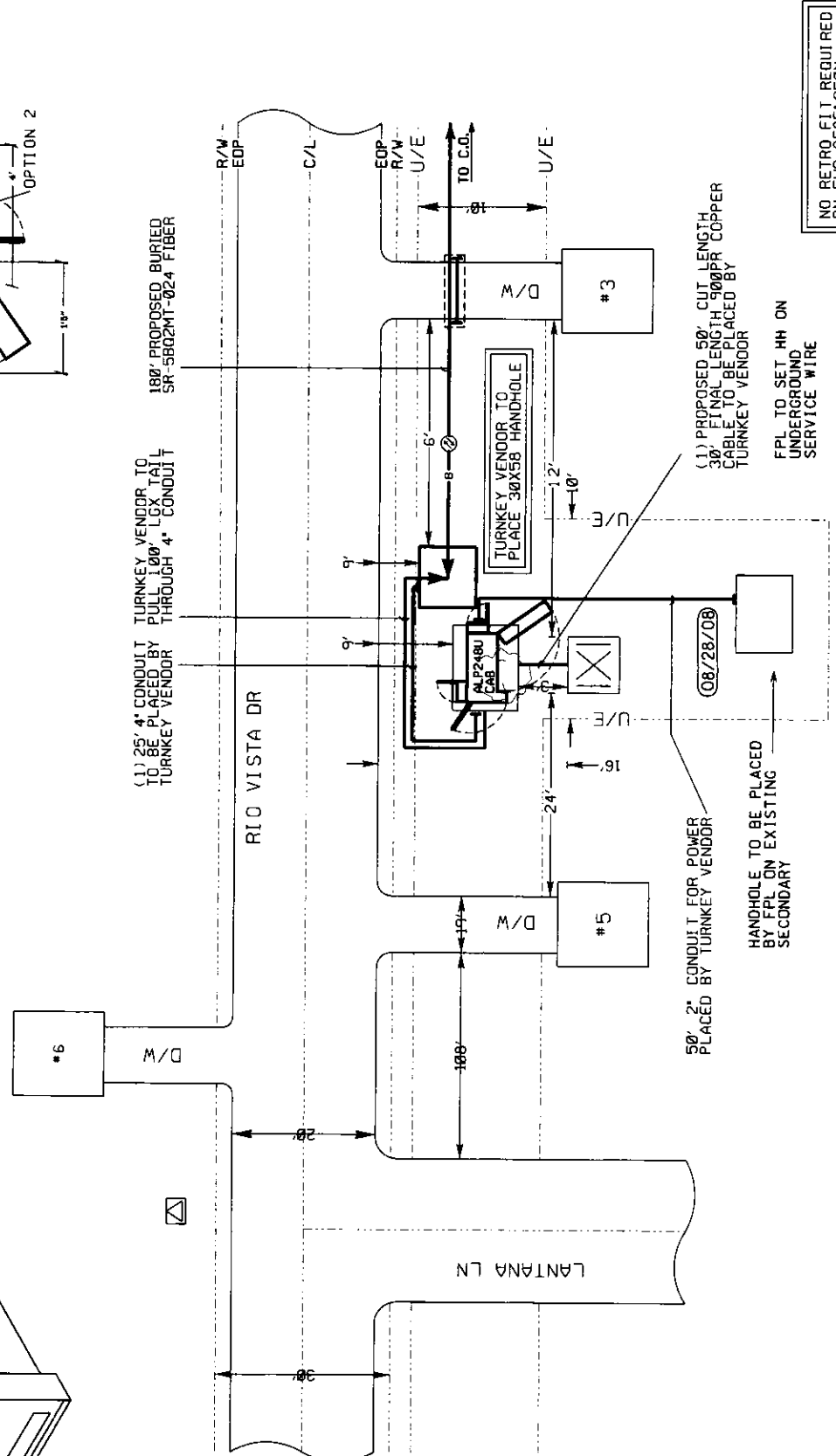
FPL CONTACT:  
NAME: SHARI HOOVER  
PHONE: \*  
FPL 772-223-4209

09/22/08



(1) 25' 4" CONDUIT TURKEY VENDOR TO BE PLACED BY PULL 100' LGX TAIL THROUGH 4" CONDUIT

180' PROPOSED BURIED SR-58Q2MT-024 FIBER



50' 2" CONDUIT FOR POWER PLACED BY TURKEY VENDOR

HANDHOLE TO BE PLACED BY FPL ON EXISTING SECONDARY

(1) PROPOSED 50' CUT LENGTH 30' FINAL LENGTH 300PPR COPPER CABLE TO BE PLACED BY TURKEY VENDOR

FPL TO SET MH ON UNDERGROUND SERVICE WIRE

NO RETRO-FIT REQUIRED ON EWO BE851950N

ATTSE

Construction  
Drawing

PROPRIETARY INFORMATION  
Not for distribution outside the AT&T family of companies except under written agreement.

State: FLORIDA  
District: CENTRAL  
Exchange: STUART  
Wire Ctr: STRTPLMA

Alt./Paper: 22/208  
Fax District: 43046  
RZ/CZ: 13/09  
Serv. Unit Type: NONEW

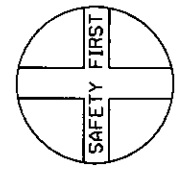
Designer: DAN KOENIG/JEK  
Phone: 772-785-7703

Records Ref:  
D11824-D11826-D11828-D11829

PK TOOL 9/07/08  
Rev. Dates: 8/28/88  
Engr: DF  
Appr: MN

Revision Description:  
CHANGED POINT OF SERVICE FOR POWER

Rev. Dates: 9/22/88  
Engr: MN  
Appr: MN  
Revision Description:  
CHANGED VRAD ADDRESS TO ACCURATE ADDRESS



Drawn By UOI

Job Description:  
PLSHWR122128 5 RIO VISTA DR  
PL ALP248 FOR PLS (LU-466)

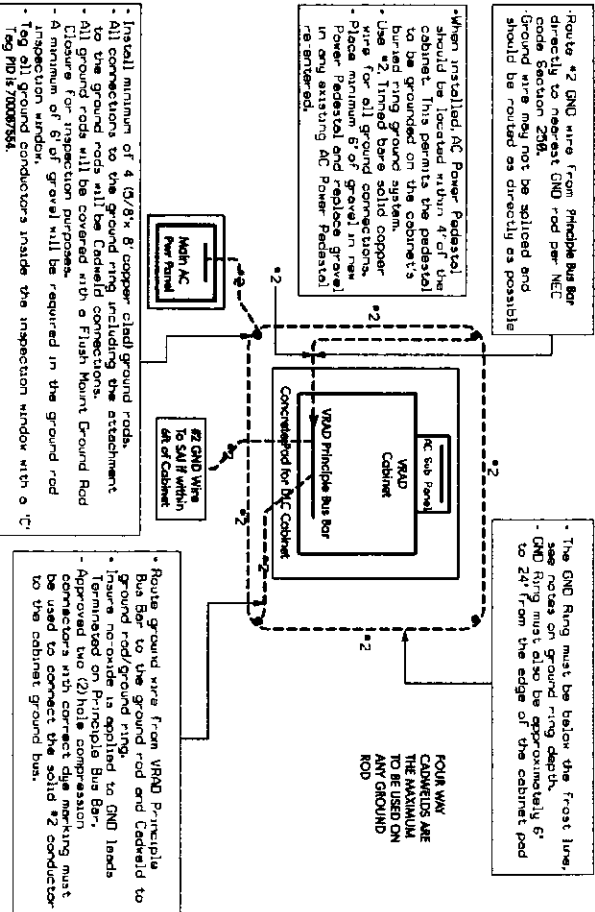
Job Number: 8E851950N  
DWG: 9 OF 9

# BONDING & GROUNDING

## SINGLE CABINET DESIGN - PLUS FUTURE CABINETS

### MULTIPLE CABINET DESIGN

FIG. 3 EXAMPLE OF WRAD CABINET BONDING AND GROUNDING

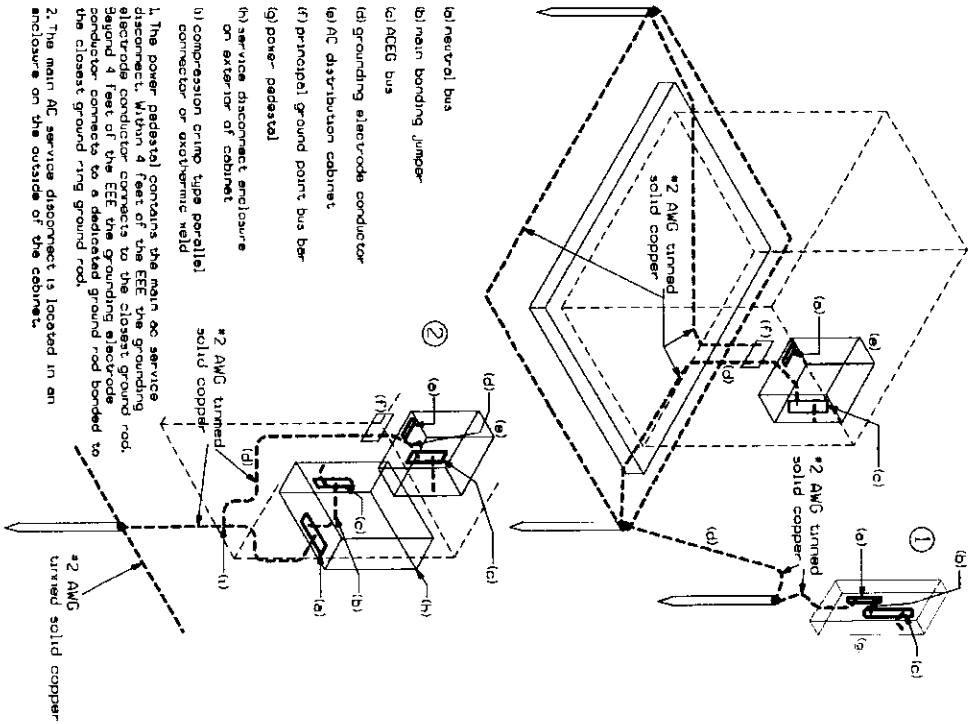


THE ABOVE NOTES ALSO APPLY TO THE SINGLE CABINET DESIGN - NO FUTURE CABINETS

## SINGLE CABINET DESIGN - NO FUTURE CABINETS

### 2. INTERNAL POWER PEDESTAL

## SINGLE CABINET DESIGN - NO FUTURE CABINETS



ATTSE  
Construction  
Work  
Drawings



PROPRIETARY INFORMATION  
Not for disclosure outside the AT&T family of companies except under written agreement.

System: F1090A  
Terminal: CENTRAL  
Exchange: FST  
Wire Line: STR1114M

Lab. Order: 13704  
Lab. Bar: 43008  
RZ/CB: 13/09  
Saw. Jnt. Type: NONEW

Designer: KOENIG, DANIEL  
Phone: 321-505-1930  
Revised: 8/81  
D10242

PM TOOL #24083



Drawn By: UDI  
(KK)

Job Description:  
PLS#M: AT13170: 4125 NM  
CINNAMON CIR: PLAC A/P248:  
PM TOOL #24083: LI=166

Job Number: 8E851937N  
File: 7 of 9



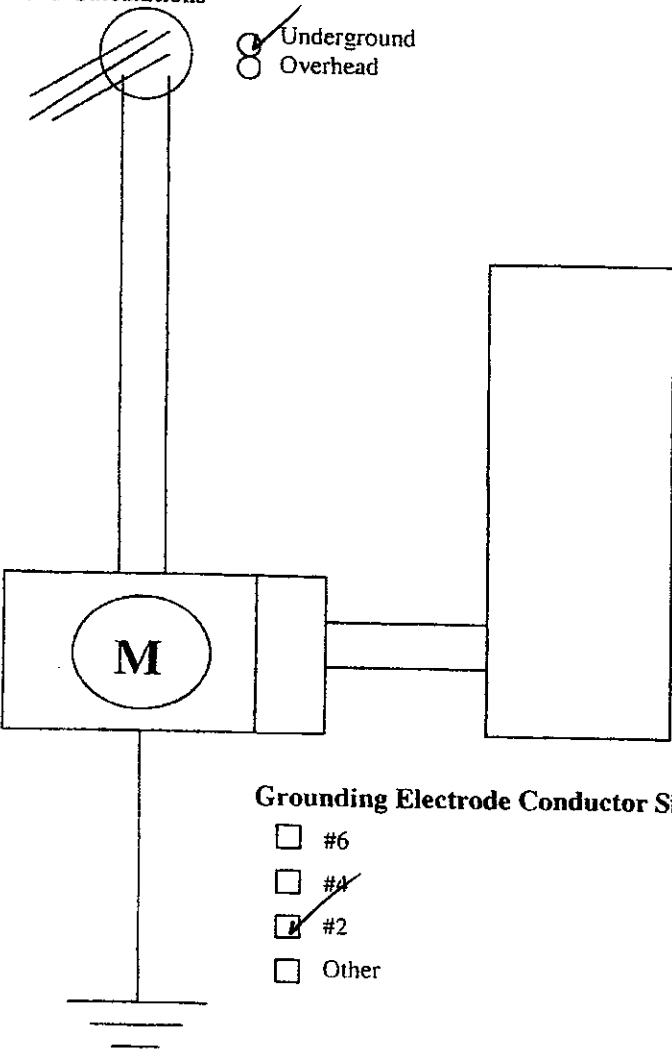
MARTIN COUNTY BUILDING DEPARTMENT  
 900 SE RUHNKE STREET  
 STUART, FL 34994  
 (772) 288-5916  
 FAX (772) 288-5911

**ELECTRICAL RISER PLAN**  
 NOT TO SCALE

**\*For use for Temporary Construction Power Pole and Single Family Service Change Only**

For any other electrical applications apply Florida Building Code 106.3.5 Electrical

- Wiring
- Services
- Feeders & Branch Circuits
- Over Current Protection
- Grounding
- Wiring Methods & Materials
- GFCI
- AFCI
- Load Calculations



Underground  
 Overhead

- 1. Size Service:
- 2. Conductor Size:
- 3. a. Meter Main:
- b. Meter Can Only:

- Grounding Electrode Conductor Size**
- #6
  - #4
  - #2
  - Other

- CONSTRUCTION TYPE:**
- Residential
  - Mobile Home
  - New Installation
  - Old Installation



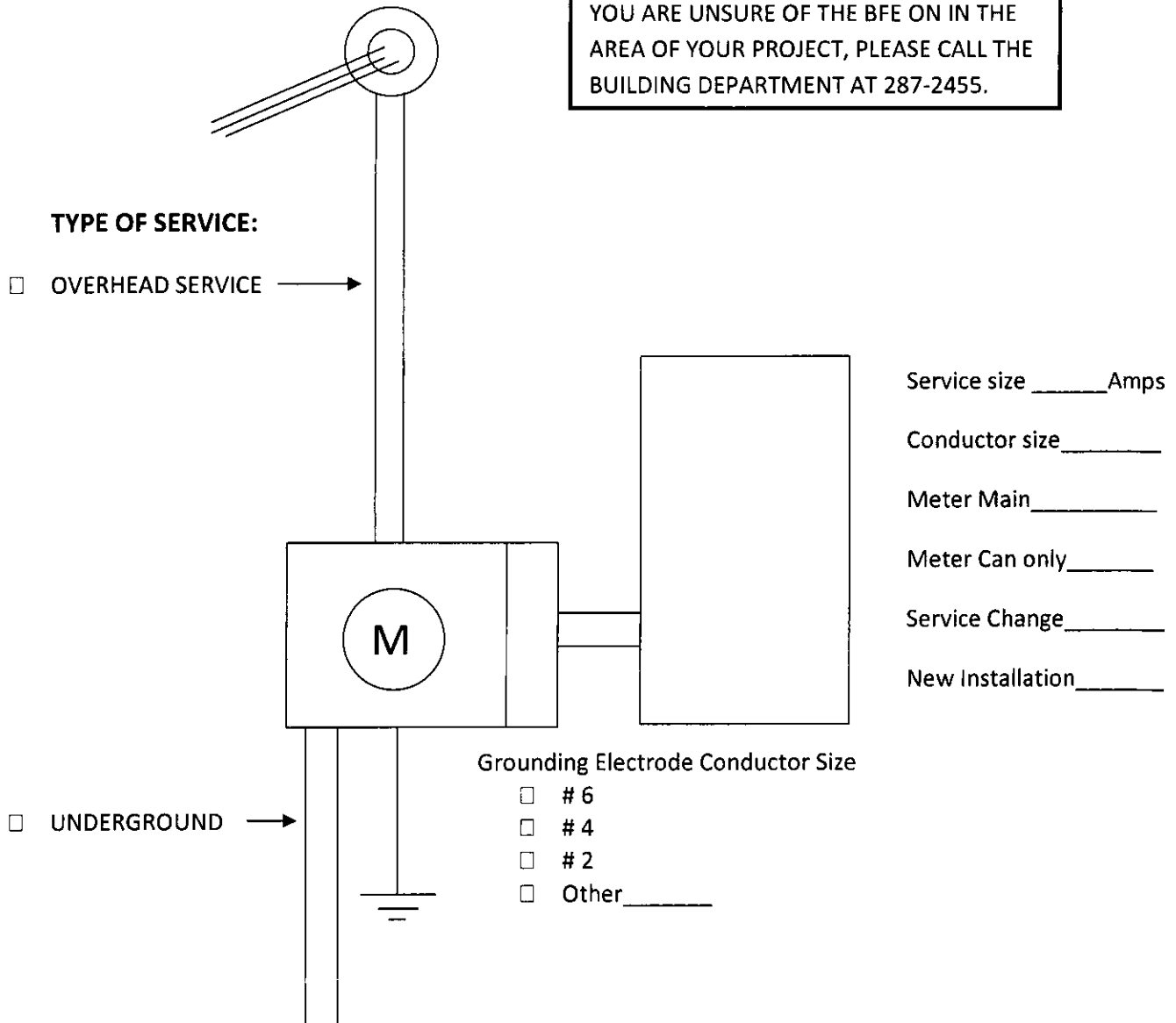
**TOWN OF SEWALL'S POINT**  
**BUILDING DEPARTMENT**  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765



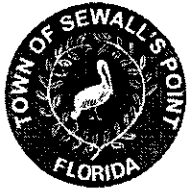
## ELECTRICAL RISER PLAN

For Temporary Power Pole and Single Family Service Change Only

ALL NEW SERVICES (INCLUDING SERVICE CHANGES) MUST BE INSTALLED AT OR ABOVE THE BASE FLOOD ELEVATION. IF YOU ARE UNSURE OF THE BFE ON IN THE AREA OF YOUR PROJECT, PLEASE CALL THE BUILDING DEPARTMENT AT 287-2455.







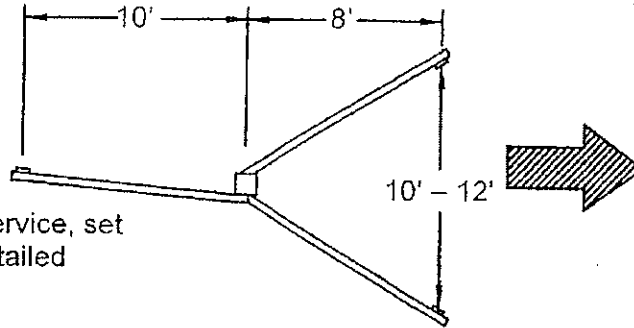
**TOWN OF SEWALL'S POINT**  
**BUILDING DEPARTMENT**  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765



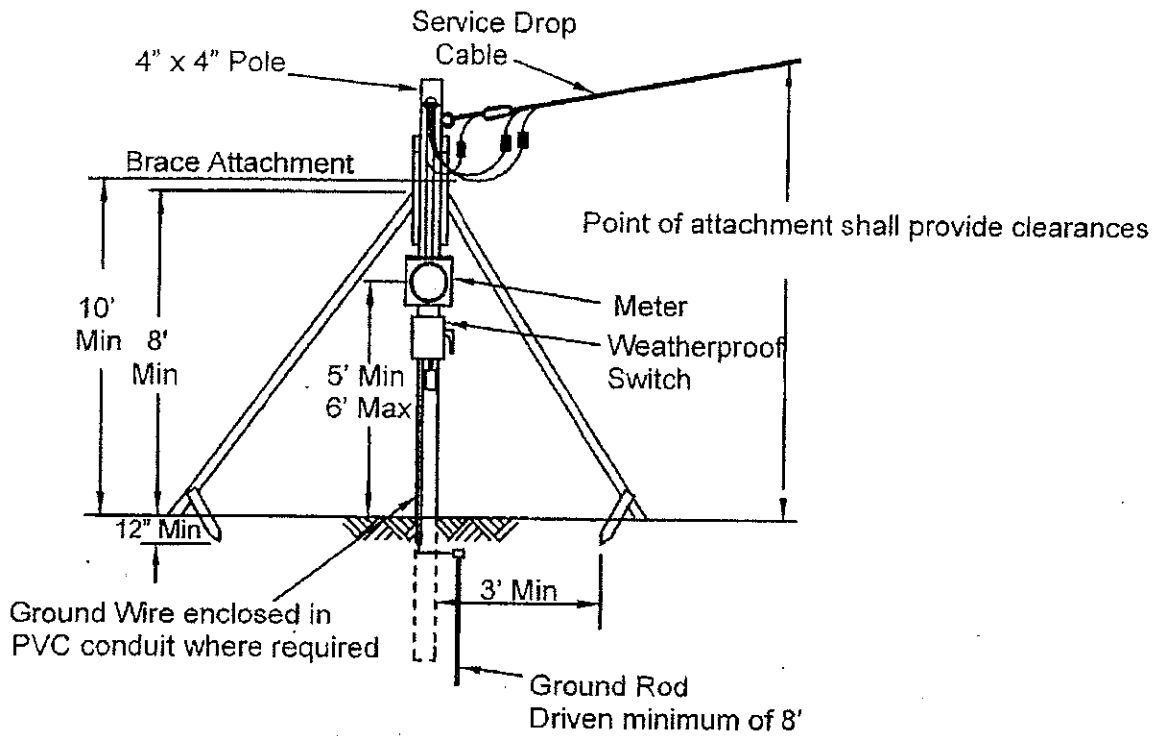
□ **TEMPORARY POLE**

**MINIMUM REQUIREMENTS FOR TEMPORARY POWER POLE**

**Temporary/Construction Service - from Overhead System (typical)**



For prompt electric service, set temporary pole as detailed



# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 1-12 2009 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9035	AT+T	Final	FAIL	SEAL/SEALIZE SOIL AROUND EQUIPMENT
John / 1	5 Riv Vista DR Priority Elec			INSPECTOR <i>[Signature]</i>
9080	Testabo	Pre pour	PASS	
2	104 N Sewalls Sanco	(1234 Code)		INSPECTOR <i>[Signature]</i>
9032	HOOKER	FINAL	PASS	CLOSE
	6 MORGAN CIR WILCO			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

\$4500

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 1-16 2009 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9040	Armstrong 41 W High Pt Mervusa Loring	Final	PASS	CLOSE  INSPECTOR <i>[Signature]</i>
9068	Taylor 22 E High Pt Seagate	tie beam	PASS	INSPECTOR <i>[Signature]</i>
8441	Dressler 12 Island Rd Harbor Course	UG gas tank	PASS	INSPECTOR <i>[Signature]</i>
9035	ATTT 5 Rio Vista Dr Priority Electric	Final	PASS	OK FOR FPL CLOSE  INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

**Valérie Meyer**

---

**From:** Valerie Meyer [vmeyer@sewallspoint.martin.fl.us]  
**Sent:** Friday, January 16, 2009 1:45 PM  
**To:** 'FPL (tc\_inspections@fpl.com)'  
**Subject:** new meter

Inspection completed and passed – please install new meter for AT&T Cabinet located at 5 Rio Vista Dr. , Sewall's Point,

Please contact me if you have any questions.

Thank you,

**Valerie Meyer**  
Town of Sewall's Point  
Building Department  
772-287-2455 Ext. 13