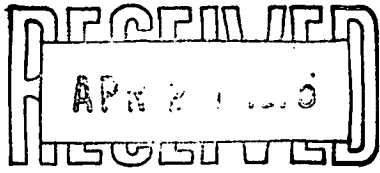


6 Rio Vista Drive



TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

4/29/75 - Permit No. #524

Date 25 Apr 75

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable)

Owner GEARHARDT SCHICKEDANZ Present Address RRI 416 UNIONVILLE, ONT, CANADA Ph 827-5813

General Contractor SELF Address — Ph —

Where licensed — License No. —

Plumbing Contractor — License No. —

Electrical Contractor ALCO ELECT License No. —

Street building will front on RIO VISTA DR

Subdivision RIO VISTA Lot No. 64 Area —

Building area, inside walls (excluding garage, carport, porches) Sq ft 2000

Other Construction (Pools, additions, etc.) —

Contract Price (excluding land, rugs, appliances, landscaping) \$ 40,000

Total cost of permit \$ 220⁰⁰
$$\begin{matrix} 200 \\ 20 \\ \hline 220 \end{matrix}$$

Plans approved as submitted Plans approved as marked

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

Boyer Shuman, agent for owner
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

Boyer Shuman, agent for owner
Signed by Owner

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted 4/25/75

Date approved 4/29/75

Certificate of Occupancy issued 1/15/76

4/29/75 - Charles A. [Signature]
4/29/75 - [Signature]
Date #524

TOWN OF SEWALL'S POINT

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date January 15, 1976

This is to request that a Certificate of Approval for Occupancy be issued to Gustav Schickedanz, as Trustee

For property built under Permit No. 524 Dated April 29, 1975

when completed in conformance with the Approved Plans.

Signed

RECORD OF INSPECTIONS

Item	Date	Approved by
Footings	6/17/75	Slab 7/19/75 Charles Duryea
Rough plumbing	7/1/75	"
Perimeter beam	7/24/75	"
Rough electric	10/20/75	"
Close in	10/20/75	"
Final plumbing	1/15/76	"
Final electric	1/15/76	"

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector [Signature] 1/15/76 date

Approved by Town Commission [Signature] 1/15/76 date

Utilities notified 1/15/76 date

Original Copy sent to Mr. Roger Morgan

(Keep carbon copy for Town files)

RECEIVED
APR 25 1975
RECORDED

SCHICKEDANZ BROTHERS FLORIDA

P. O. Box 2744

Stuart, FL. 33494

#524

Building Department
Town of Sewall's Point
1 South Sewall's Point Road
Jensen Beach, FL. 33457


Gentlemen:

I certify that the house to be constructed on proposed Lot 64, Rio Vista Subdivision will conform to all set back and location requirements. No attempt will be made to show "hardship" at a later date, in the unlikely event that the house is not properly located.

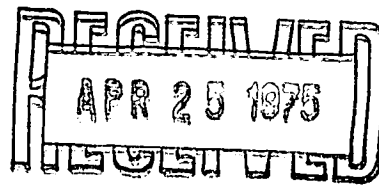
It is to be understood that no certificate of occupancy will be issued for the described residence until the Rio Vista Subdivision is recorded.

Very truly yours,

SCHICKEDANZ BROTHERS FLORIDA


Roger G. Morgan, General Manager

DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES
DIVISION OF HEALTH
Application and Permit
of
Individual Sewage Disposal Facilities



Section I - Instructions:

1. Percolation test data, soil profile and water table elevation information must be attached. (Note: Test must be made at proposed location of system).
2. Existing building and proposed buildings on lot must be shown and drawn to scale at their location or proposed location. (Use block on this sheet or attach plot plan).
3. Proposed location of septic tank must be shown on plan.
4. Any pond or stream areas must be indicated on the plan.
5. Indicate name and date of recording of subdivision. If not recorded, attach metes and bounds description. **#524**
6. Complete the following information section.

Notes:

1. Not valid if sewer is available.
2. Individual well must be 75 feet from any part of system.
3. Call 4250-2277 and give this office a 24-hour notice when ready for inspection.

Section II - Information:

1. Property Address (Street & House No.) RIO VISTA DRIVE
 Lot 64 Block _____ Subdivision RIO VISTA
 Date Recorded _____ Directions to Job AIA TO SEWALL'S POINT ROAD, RIGHT TO RIO VISTA, RIGHT, THIRD LOT ON RIGHT.
2. Owner or Builder SCHICKEDANZ BROS. FLA.
 P.O. Address P.O. Box 2744 City Altamonte
3. Specifications 3 BEDROOMS

Tank _____ Drainfield _____
900 Gals. 210 m ft. of 6" clay tile
 or 5" perforated plastic drain in a
 3' trench or
 _____ Gals. _____ ft. of 4" clay drain
 or 4" perforated plastic drain in an
 18" trench

Scale 1" = 50'

(Rear)

4. House to be constructed:
 Check one: _____ FHA
 _____ VA Conventional

This is to certify that the project described in this application, and as detailed by the plans and specifications and attachments will be constructed in accordance with state requirements.

Applicant: SCHICKEDANZ BROS. FLA.
Please Print

Signature: Schickedanz Bros., Fla. / J. Larson

Date: 4/18/75

(Front)

(Name of Street or State Road)

(Name of Street or State Rd.) (Side)

(Name of Street or State Rd.) (Side)

SEE
ATTACHED
SHEET

***** DO NOT WRITE BELOW THIS LINE *****

Section III - Application Approval & Construction Authorization

Installation subject to following special conditions: _____

The above signed application has been found to be in compliance with Chapter 17-13, Florida Administrative Code, and construction is hereby approved, subject to the above specifications and conditions.

By: [Signature] County Health Dept. Martin Date 4/24/75

Section IV - Final Construction Approval

Construction of installation approved: _____ Yes _____ No

Date: _____ By: _____

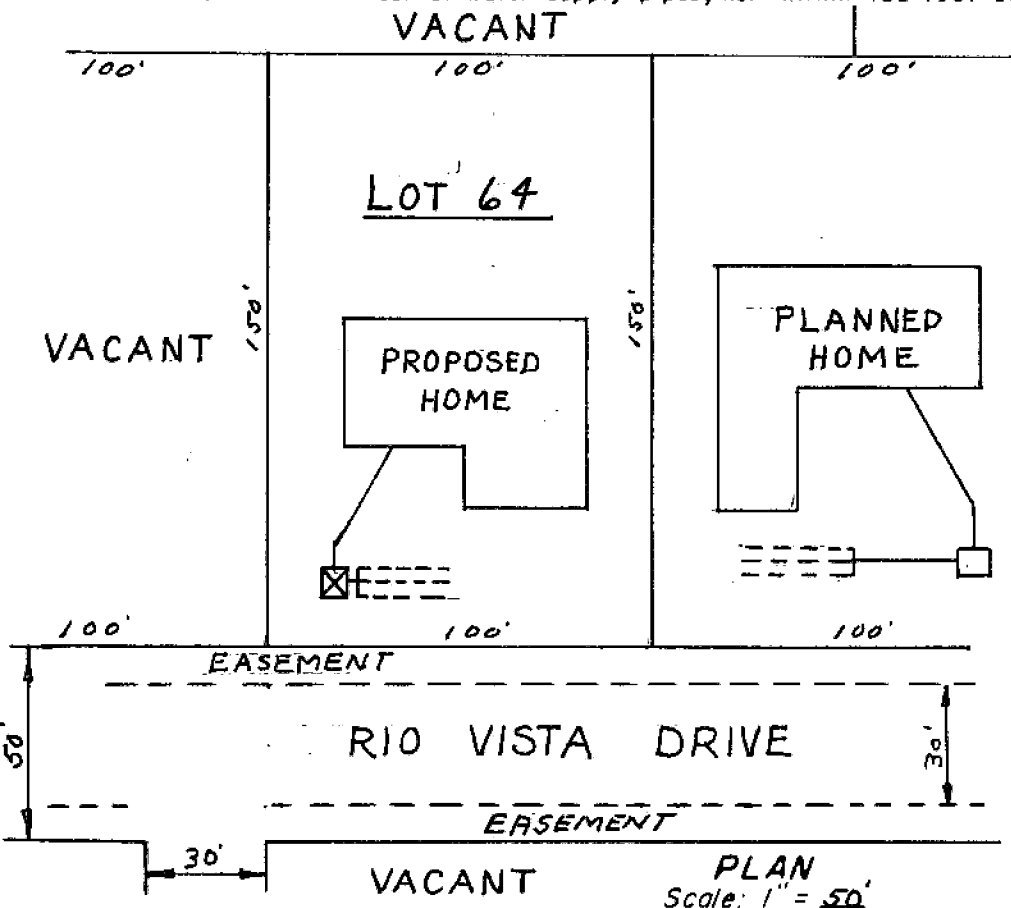
FHA No. _____ VA No. _____

DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES
DIVISION OF HEALTH

INDIVIDUAL SEWAGE DISPOSAL FACILITIES
DATA SHEET

Location: RIO VISTA DRIVE Applicant: SCHICKEDANZ BROS. FLA
LOT 64 County: MARTIN
RIO VISTA

NOTE: This septic tank system is not located within 50 feet of the high water line of a lake, stream, canal or other waters, nor within 75 feet of any private well; nor within 100 feet of any public water supply; nor within 10 feet of water supply pipes; nor within 100 feet of any public sewer system.



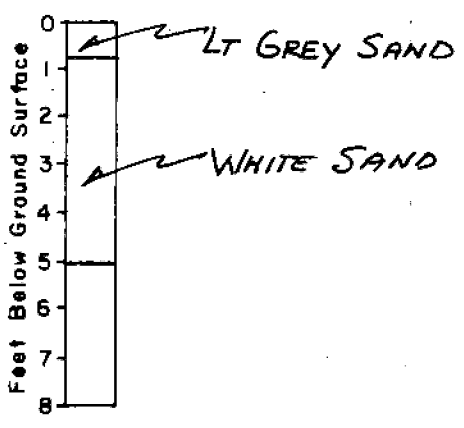
#524

Plot plan must show all data required in IOD-6.03 2(a) and all other pertinent data.

PUBLIC WATER.
TEST LOCATION IS 12' ABOVE ROAD CL.

SOIL DATA

LEGEND



- Drainage Pattern
- Proposed Septic Tank and Drainfield
- Proposed Water Supply Well
- Existing Water Supply Well
- Soil Boring and Percolation Test Location

SOIL BORING LOG

Soil Identification: CLASS L GROUP SW
Soil Characteristics WELL GRADED SANDS



Percolation Rate 1/3 min/inch
Water Table Depth 49" 4/15/75
Water Table Depth During Wet Season 37" EST.
Compacted Fill Of _____ Req'd
Compacted Fill Checked By: _____
Date _____

CERTIFIED BY: K.G. Larson
FLORIDA PROFESSIONAL No. 16552
Date 4/19/75 Job No. 75-041-03

FROM: Larson & O'Neill, Inc.
Consulting Engineers
30 East Ocean Boulevard
Stuart, Florida 33494

TO: All owners, agents for owners and installers of individual
sewage disposal facilities involving septic tanks and
drainfields

#524

The preparation of a permit by the above Consulting Engineers and the approval by the applicable Florida County Health Department means that an individual sewage disposal facility, (commonly referred to as a septic tank and drain field), may be installed strictly in accordance with the Rules of State of Florida, Department of Health and Rehabilitative Service, Division of Health, Chapter 10D-6.

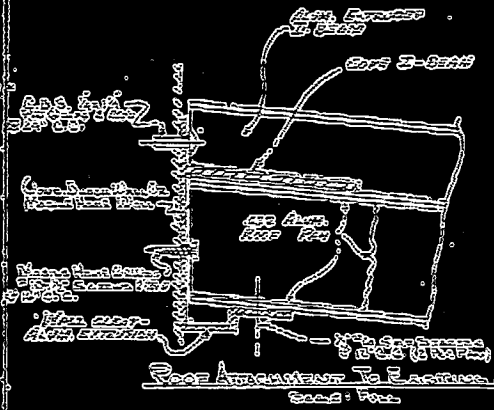
The installer of the septic tank and/or drainfield shall verify all dimensions in the field and shall not locate the septic tank and/or drainfield:

1. Within 50 feet of the high water line of a lake, stream or canal or other waters
2. Within 75 feet of any private well
3. Within 100 feet of any public water supply
4. Within 10 feet of water supply pipes
5. Within 5 feet of property line
6. Within 100 feet of any public sewer system
7. Within 5 feet of any building

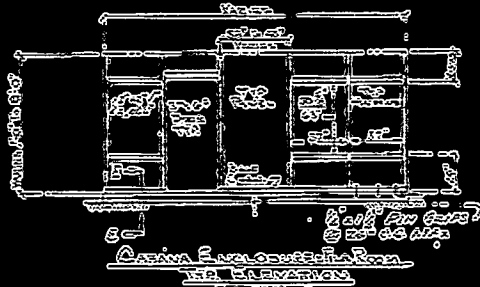
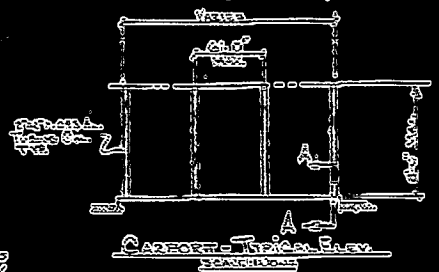
The Consulting Engineers, Larson & O'Neill, Inc. will assume no responsibility whatever in the improper or illegal installation of individual sewage disposal facilities.

Kenneth G. Larson

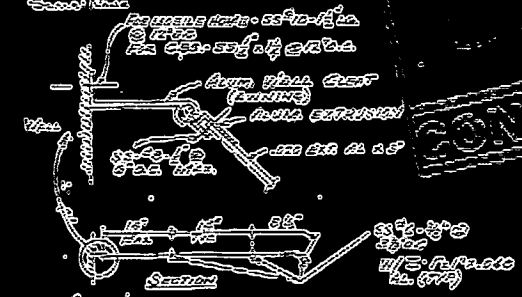
Kenneth G. Larson, President
Larson & O'Neill, Inc.



1/2" = 1'-0" SCALE
 SECTION AA
 SHOWING CENTER OF GRAVITY OF SLAB
 SECTION BB
 SHOWING CENTER OF GRAVITY OF SLAB

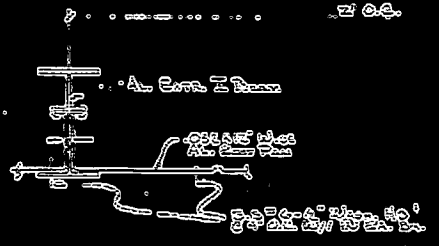


SECTION AA
 Scale: 1/2" = 1'-0"

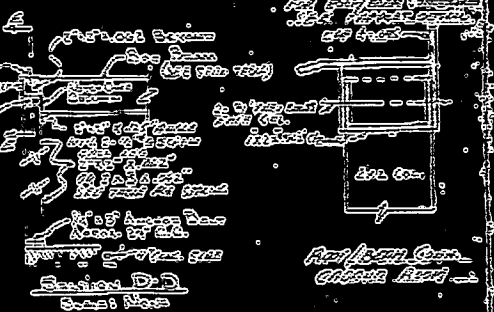
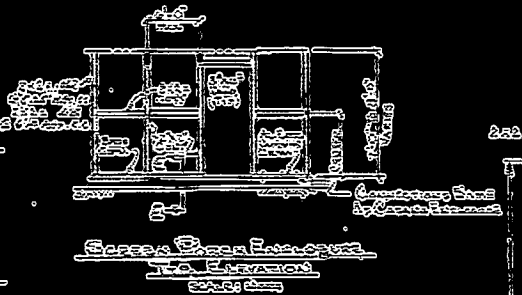


APPROVED FOR USE
 American Institute of Steel Construction, Inc.
 1989

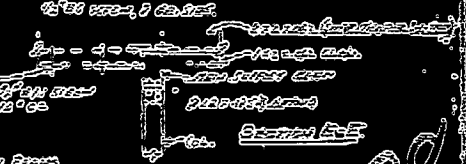
1. DESIGN LOADS: SEE PAGE 10
 2. MATERIALS: SEE PAGE 11
 3. CONNECTIONS: SEE PAGE 12
 4. DIMENSIONS: SEE PAGE 13
 5. FINISHES: SEE PAGE 14
 6. NOTES: SEE PAGE 15



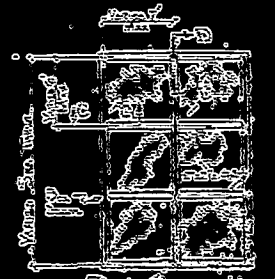
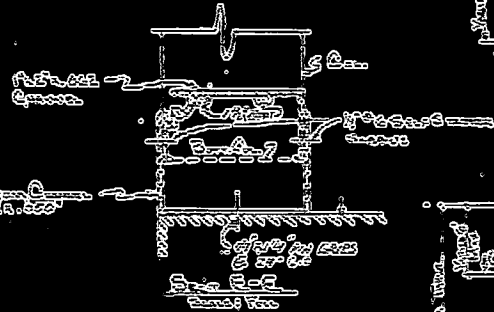
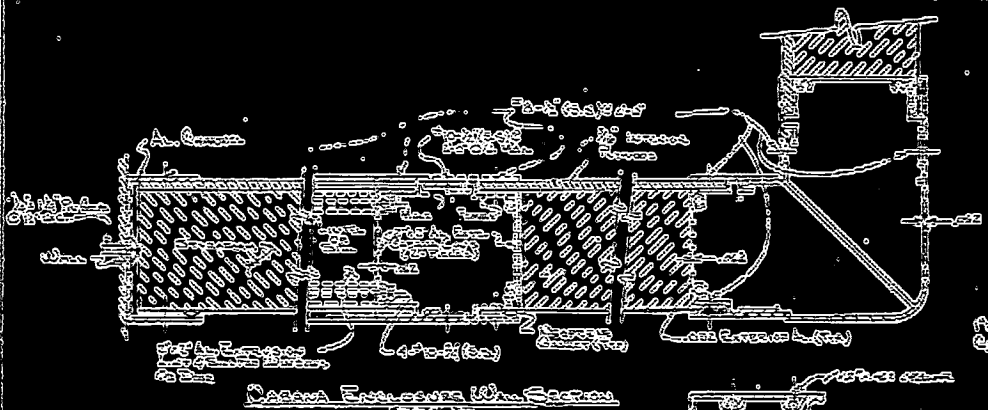
SECTION CC
 Scale: 1/2" = 1'-0"



SECTION EE
 Scale: 1/2" = 1'-0"



SECTION FF
 Scale: 1/2" = 1'-0"



SECTION	SCALE	DATE
SECTION AA	1/2" = 1'-0"	11/15/88
SECTION BB	1/2" = 1'-0"	11/15/88
SECTION CC	1/2" = 1'-0"	11/15/88
SECTION DD	1/2" = 1'-0"	11/15/88
SECTION EE	1/2" = 1'-0"	11/15/88
SECTION FF	1/2" = 1'-0"	11/15/88
SECTION GG	1/2" = 1'-0"	11/15/88
SECTION HH	1/2" = 1'-0"	11/15/88
SECTION II	1/2" = 1'-0"	11/15/88

#788

MASTER PLAN
 CARPORT, STEEL FRAME
 FLOOR ROOF & CEILING
 11/15/88

TOWN OF SEWALL'S POINT

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date _____

This is to request that a Certificate of Approval for Occupancy be issued to SCHICMEDANZ 605 64
For property built under Permit No. 124 Dated 4/29/75
when completed in conformance with the Approved Plans.

Signed

RECORD OF INSPECTIONS

Item	Date	Approved by
Footings	5/19/75	✓
Rough plumbing	7/1/75	✓
Perimeter beam	7/24/75	✓
Rough electric	10/20/75	✓
Close in	10/20/75	✓
Final plumbing	11/15/76	✓
Final electric	11/15/76	✓

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector Chak Ouzga date _____

Approved by Town Commission J. L. Smith date _____

Utilities notified 1/15/76 date _____

Original Copy sent to _____

(Keep carbon copy for Town files)

64

788

ROOM ADDITION

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Permit No. 788

Date 2/16/78

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable) Copy of property Deed required for new home construction.

Owner MR GAUL Present Address LOT 64 RIO VISTA DR Ph 283-2941

General Contractor BTH IMPROVEMENTS Address 2119 SE MADISON ST. Ph 283-2580

Where licensed MARTIN COUNTY License No. 00246

Plumbing Contractor _____ License No. _____
Electrical Contractor _____ License No. _____

Street building will front on 6 RIO VISTA DR.

Subdivision RIO VISTA Lot No. #64 Area SEWALLS POINT

Building area, inside walls (excluding garage, carport, porches) Sq ft _____

Other Construction (Pools, additions, etc.) FLORIDA ROOM

Contract Price (excluding land, rugs, appliances, landscaping) \$ 1400.00

Total cost of permit \$ ~~1100.00~~ 10.00 **NO PLUMB, OR ELEC**

Plans approved as submitted Plans approved as marked _____

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

Robert Schenck
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

Mr. Gaul
Signed by Owner

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted 2/17/78 JR Paul

Date approved 2/17/78 Orlando Albaugh

Certificate of Occupancy issued 2/23/78 _____ Date

#788

1488

POOL

TOWN OF SEWALL'S POINT FLORIDA

RECEIVED

MAY 28 1982

Date 5-27-82

Permit No. _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner MR-MRS GORDAN NEARING Present address 6 RIO VISTA DR

Phone 283-4019

Contractor BUSH POOLS INC Address B309 OLEANDER AVE

Phone 287-5902

Where licensed RPO017570 License number 004CB competency

Electrical contractor OWNER License number _____

Plumbing contractor BUSH License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: SWIMMING POOL & PATIO

6 RIO VISTA DR

State the street address at which the proposed structure will be built:

Subdivision RIO VISTA Lot No. 64

Contract price \$ 92.72 Cost of Permit \$ 46.00

Plans approved as submitted Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Contractor Emin B. Bush

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner K. Denise Nearing

Approved: J. Manguard Building Inspector Date submitted 5/28/82

Approved: J.C. Strubell Commissioner Date 5/28

Final Approval given: 7/16/82 Jan Date

Certificate of Occupancy issued Rob Ray Date

SP/1-79

Steel & Grounding 6/9/82
Patio Steel 6/24/82

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

1488

2011

FENCE

2011

TOWN OF SEWALL'S POINT, FLORIDA

Permit Number _____

Date 9/26/86

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEARING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner MR. DALTON Present Address #6 RIO VISTA
 Phone 287-1545 STUART
 Contractor MARTIN FENCE CO. Address 1125 OLD DIXIE HWY
 Phone 746-4400 LAKE PARK, FL
 Where licensed MARTIN CO. License number 00056
 Electrical contractor _____ License number _____
 Plumbing contractor _____ License number _____
 Roofing contractor _____ License number _____
 Air conditioning contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: 4' CHAIN LINK FENCE

State the street address at which the structure will be built:
#6 RIO VISTA

Subdivision RIO VISTA Lot number 64 Block number —

Contract price \$ 520.00 Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances, the State of Florida Model Energy Efficiency Building Code and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Danna Carroll

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner _____

TOWN RECORD

Date submitted _____ Approved Dale Brown Building Inspector Date _____

Approved _____ Final Approval given _____
Commissioner Date Date

Certificate of Occupancy issued (if applicable) _____
Date _____

5103

RE-ROOF

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 10/5/00

BUILDING PERMIT NO. 5103

Building to be erected for CHARLES DUVALL

Type of Permit REROOF

Applied for by PACIFIC ROOFING (Contractor)

Building Fee _____

Subdivision _____ Lot _____ Block _____

Radon Fee _____

Address 6 RIO VISTA DRIVE

Impact Fee _____

Type of structure S.F.R.

A/C Fee _____

Electrical Fee _____

Parcel Control Number:

Plumbing Fee _____

12-38-41-00200-00064-0300

Roofing Fee \$120.00

Amount Paid \$120.00 Check # 5027 Cash _____ Other Fees (_____) _____

Total Construction Cost \$ 10,000.00

TOTAL Fees \$120.00

Signed Rob Austin

Signed [Signature]

Applicant

Town Building Inspector [Signature]

RE-ROOFING PERMIT

INSPECTIONS

DRY IN
PROGRESS

DATE _____
DATE _____

PROGRESS
FINAL

DATE _____
DATE 11/27/00

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS – 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

New Construction **Remodel** **Addition** **Demolition**

This permit must be visible from the street, accessible to the inspector.

**FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**

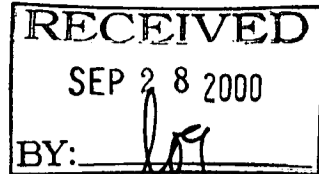
Bldg. Pmt#

5103

Town of Sewall's Point

Date 9/25/00

BUILDING PERMIT APPLICATION



Owner's Name: CHARLES DUVALL Phone No. _____
Owner's Present Address: _____
Fee Simple Titleholder's Name & Address if other than owner _____

Location of Job Site: 6 RIO VISTA DRIVE STUART, FL. 34996
TYPE OF WORK TO BE DONE: REMOVE EXISTING TILE ROOF. INSTALL NEW 12" WIDE FLAT TILE ROOF SYSTEM.

CONTRACTOR INFORMATION

Contractor/Company Name: RICHARD J. GOMES / PACIFIC ROOFING Phone No. 561-288-7663
COMPLETE MAILING ADDRESS: P.O. BOX 2697 STUART, FL. 34995
State Registration _____ State License CCC056793
Legal Description of Property: RIO VISTA Lot 64
Parcel Number: 12384100200000640300

ARCHITECT/ENGINEER INFORMATION

Architect _____ Phone No. _____
Address _____
Engineer _____ Phone No. _____
Address _____

Area Square Footage: Living Area 407 Garage Area _____ Carport _____
Accessory Bldg. _____ Covered Patio _____ Scr. Porch _____ Wood Deck _____
Type Sewage: _____ Septic Tank Permit # from Health Dept. _____
NEW electrical SERVICE SIZE _____ AMPS

FLOOD HAZARD INFORMATION

flood zone _____ minimum Base Flood Elevation (BFE) _____ NGVD
proposed finish floor elevation _____ NGVD (minimum 1 foot above BFE)
Cost of construction or improvement 10,000
Fair Market Value (FMV) prior to improvement _____
Substantial Improvement 50% of FMV yes No _____
Method of determining FMV _____

SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)

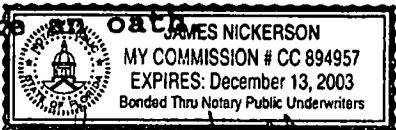
Electrical _____ State License _____
Mechanical _____ State License# _____
Plumbing _____ State License# _____
Roofing PACIFIC ROOFING State License# CCC056793

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER/CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE: [Signature] 2000
Sworn to and subscribed before me this 22 day of SEPTEMBER, 1998 by
CHARLES DUVALL who is personally known to me or has produced or has produced _____ and who did (did not) take an oath.
CONTRACTOR SIGNATURE: [Signature]
Sworn to and subscribed before me this 25th day of Sept, 1998
by RICHARD J. GOMES who is personally known to me or has produced [Signature]
and who did (did not) take an oath.



TREE REMOVAL (Attach sealed survey)

No. of trees to be removed _____ No. to be retained _____ No. to be planted _____
Specimen tree removed _____ Fee _____ Authorized/Date _____

DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE:

- A. Property Appraiser's Parcel Number.
 - B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
 - C. Contractor's name, address, phone number & license numbers.
 - D. Name all sub-contractors (properly licensed).
 - E. Current Survey
 - F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:

1. Floor Plan
2. Foundation Details
3. Elevation Views - Elevation Certificate due after slab inspection.
4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
5. Truss layout
6. Vertical Wall Sections (one detail for each wall that is different)
7. Fireplace drawing: If prefabricated submit manufacturers data.

ADDITIONAL Required Documents are:

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
8. Replat required upon completion of slab or footing inspection and prior to any further inspections.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official _____
Approved by Town Engineer _____



MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Oldcastle Westile, Inc.
1900 NW 21st Avenue
Ft.Lauderdale FL 33311

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

Your application for Product Approval of:

→ *Flat Shake and Slate*

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This approval shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing.

If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

→ Acceptance No.: 99-1102.01 (Revises No.: 99-0603.01)

Expires: 12/16/2002

Raul Rodriguez
Chief Product Control Division

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Dade County, Florida under the conditions set forth above.

10/3/00 TOWN OF SHELLE'S POINT
REVIEW:
BLDG OFFICIALS

NOTE: QUALIFIED POLY FORM APPLICATOR
REQUIRED PER ATTACHED LIST,

Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

Approved: 12/16/1999

FILE 1 of 8 TOWN COPY
6 RIO VISTA DR

PN 5103



ACCEPTANCE No. : 99-1102.01
 APPROVED: December 16, 1999
 EXPIRES: December 16, 2002

NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

1. SCOPE

This revises roofing system using "Oldcastle Westile Flat Shake and Slate", as manufactured Oldcastle Westile, Inc. Tile described in Section 2 of this Notice of Acceptance, designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County. For the locations where the pressure requirements, as determined by SFBC Chapter 23, do not exceed the design pressure values obtain by calculations in compliance with RAS 127 using the values listed in section 4 herein. The attachment calculations shall be done as a moment based system.


Category: Prepared Roofing
 Sub Category: Flat Profile Tile

2. PRODUCT DESCRIPTION

<u>Manufactured by Applicant</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Oldcastle Westile Flat Shake and Slate Tile	l = 16½" w = 13" ¾" thick	PA 112	* Flat, interlocking, high pressure extruded concrete shake and slate roof tile equipped with two nail holes. For direct deck or battened nail-on, mortar or adhesive set applications.
Trim Pieces	l = varies w = varies varying thickness	PA 112	Accessory trim, concrete roof pieces for use at hips, rakes, ridges and valley terminations. Manufactured for each tile profile.

2.1 Components or products manufactured by others


<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>	<u>Manufacturer</u>
→ #30 Felt	N/A	ASTM D 226 type II	Saturated organic felt to be used as a nailed anchor sheet.	generic
#43 Coated Base Sheet	N/A	ASTM D 2626	Saturated and coated organic base sheet for single or double ply underlayment.	generic
Mineral Surface Cap Sheet	N/A	ASTM D 249	Mineral surfaced asphalt roll roofing for use as a top ply in a double ply underlayment system.	generic


 Frank Zuloaga, RRC
 Roofing Product Control Examiner

ACCEPTANCE No. : 99-1102.01
 APPROVED: December 16, 1999
 EXPIRES: December 16, 2002

NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>	<u>Manufacturer</u>
Rainproof II	30" x 75' roll 36" x 75' roll or 60" x 75' roll	PA 104	Single ply, nail-on underlayment with 2" self-adhering top edge.	Protect-O-Wrap, Inc. with current NOA
Ice and Water Shield	36" x 75' roll	PA 103	Self-adhering underlayment for use as a top ply in a two ply underlayment system with Approved #30 or #43 as the base layer.	W.R. Grace Co. with current NOA
Wood Battens	<u>vertical</u> min. 1" x 4" <u>horizontal</u> min. 1" x 4" for use with vertical battens or min. 1" x 2" for use alone	Wood Preservers Institute LP - 2	Salt pressure treated or decay resistant lumber battens	generic
Tile Nails	Min. 10d x 3"	PA 114 Appendix E	Corrosion resistant, screw or smooth shank nail	generic
Tile Screws	#8 x 2 1/2" long 0.335" head dia. 0.131" shank dia. 0.175" screw thread diameter	PA 114 Appendix E	Corrosion resistant coated, square drive, galvanized, coarse thread wood screw	generic
Hurricane Clip & Fasteners	<u>Clips</u> min. 1/2" width min. 0.060" thick <u>Clip Fasteners</u> min. 8d x 1 1/4"	PA 114 Appendix E	Corrosion resistant bronze, aluminum, stainless steel, galvanized steel or plastic attachment clips for supplemental tile attachment. Clips are installed with corrosion resistant roofing nails compatible with the clip. A hurricane clip is required on all nail-on eave tiles.	generic
Roof Tile Mortar ("TileTite™")	N/A	PA 123	Prepared mortar mix designed for mortar set roof tile applications.	Bermuda Roof Company, Inc. with current NOA


 Frank Zuloaga, RRC
 Roofing Product Control Examiner

ACCEPTANCE No. : 99-1102.01
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NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>	<u>Manufacturer</u>
Roof Tile Mortar ("Quikrete® Roof Tile Mortar #1140")	N/A	PA 123	Prepared mortar mix designed for mortar set roof tile applications.	Quikrete Construction Products with current NOA
Roof Tile Mortar ("BONSAL® Roof Tile Mortar Mix")	N/A	PA 123	Prepared mortar mix designed for mortar set roof tile applications.	W.R. Bonsal Co. with current NOA
Tile-Bond	Factory premixed canisters	See PCA	Single component polyurethane foam roof tile adhesive	Flexible Products (with current NOA)
→ Roof Tile Adhesive ("Polypro® AH160")	N/A	See NOA	Two component polyurethane adhesive designed for adhesive set roof tile applications.	Polyfoam Products, Inc. with current NOA

3. LIMITATIONS

- 3.1 Fire classification is not part of this acceptance.
- 3.2 For mortar or adhesive set tile applications, a static field uplift test shall be performed in accordance with RAS 106.
- 3.3 Applicant shall retain the services of a Miami-Dade County Certified Laboratory to perform quarterly test in accordance with PA 112, appendix 'A'. Such testing shall be submitted to the Building Code Compliance Office for review.
- 3.4 Minimum underlayments shall be in compliance with the applicable Roofing Applications Standards listed section 4.1 herein.
- 3.5 30/90 hot mopped underlayment applications may be installed perpendicular to the roof slope unless stated otherwise by the underlayment material manufacturers published literature.
- 3.6 This acceptance is for wood deck applications. Minimum deck requirements shall be in compliance with chapter 29 of the SFBC.

4. INSTALLATION

- 4.1.1 "Flat Shake and Slate" and its components shall be installed in strict compliance with Miami Dade County Roofing Application Standard RAS 118, RAS 119, and RAS 120.



Frank Zuloaga, RRC
 Roofing Product Control Examiner

ACCEPTANCE No. : 99-1102.01
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NOTICE OF ACCEPTANCE: STANDARD CONDITIONS


4.2 Data For Attachment Calculations

Table 1: Aerodynamic Multipliers- λ (ft ³)		
Tile Profile	λ (ft ³) Batten Application	λ (ft ³) Direct Deck Application
Flat Shake & Slate Tile	0.267	0.289

Table 2: Restoring Moments due to Gravity - M_g (ft-lbf)										
Tile Profile	3":12"		4":12"		5":12"		6":12"		7":12" or greater	
	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck
Flat Shake & Slate,	6.57	7.52	6.47	7.43	6.33	7.27	6.17	7.09	6.00	6.90

Table 3: Attachment Resistance Expressed as a Moment - M_t (ft-lbf) for Nail-On Systems				
Tile Profile	Fastener Type	Direct Deck (min 15/32" plywood)	Direct Deck (min. 19/32" plywood)	Battens
Flat Shake & Slate	2-10d Ring Shank Nails	30.9	38.1	17.2
	1-10d Smooth or Screw Shank Nail	7.3	9.8	4.9
	2-10d Smooth or Screw Shank Nails	14.0	18.8	7.4
	1 #8 Screw	30.8	30.8	18.2
	2 #8 Screw	51.7	51.7	24.4
	1-10d Smooth or Screw Shank Nail (Field Clip)	24.3	24.3	24.2
	1-10d Smooth or Screw Shank Nail (Eave Clip)	19.0	19.0	22.1
	2-10d Smooth or Screw Shank Nails (Field Clip)	35.5	35.5	34.8
	2-10d Smooth or Screw Shank Nails (Eave Clip)	31.9	31.9	32.2
		2-10d Ring Shank Nails ¹	50.3	65.5

¹ Installation with a 4" tile headlap and fasteners are located a min. of 2 1/4" from head of tile.



Frank Zuloaga, RRC
 Roofing Product Control Examiner

NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

Table 4: Attachment Resistance Expressed as a Moment M_r (ft-lbf) for Two Patty Adhesive Set Systems		
Tile Profile	Tile Application	Minimum Attachment Resistance
Flat Shake & Slate	Adhesive	31.3 ³
2 See manufactures component approval for installation requirements.		
3 Flexible Products Company TileBond Average weight per patty 13.9 grams. Polyfoam Product, Inc. Average weight per patty 8 grams.		

Table 4A: Attachment Resistance Expressed as a Moment - M_r (ft-lbf) for Single Patty Adhesive Set Systems		
Tile Profile	Tile Application	Minimum Attachment Resistance
Flat Shake & Slate	PolyPro™	118.9 ⁴
	PolyPro™	40.4 ⁵
4 Large paddy placement of 45 grams of PolyPro™.		
5 Medium paddy placement of 24 grams of PolyPro™.		

Table 4B: Attachment Resistance Expressed as a Moment - M_r (ft-lbf) for Mortar or Adhesive Set Systems		
Tile Profile	Tile Application	Attachment Resistance
Flat Shake & Slate	Mortar Set ⁶	43.9
6 Tile-Tite Roof Tile Mortar.		

5. LABELING

All tiles shall bear the imprint or identifiable marking of the manufacturer's name or logo, or following statement: "Miami-Dade County Product Control Approved".

6. BUILDING PERMIT REQUIREMENTS

6.1 Application for building permit shall be accompanied by copies of the following:

6.1.1 This Notice of Acceptance.

6.1.2 Any other documents required by the Building Official or the South Florida Building Code (SFBC) in order to properly evaluate the installation of this system.



Frank Zuloaga, RRC
Roofing Product Control Examiner

OLDCASTLE WESTILE, INC.

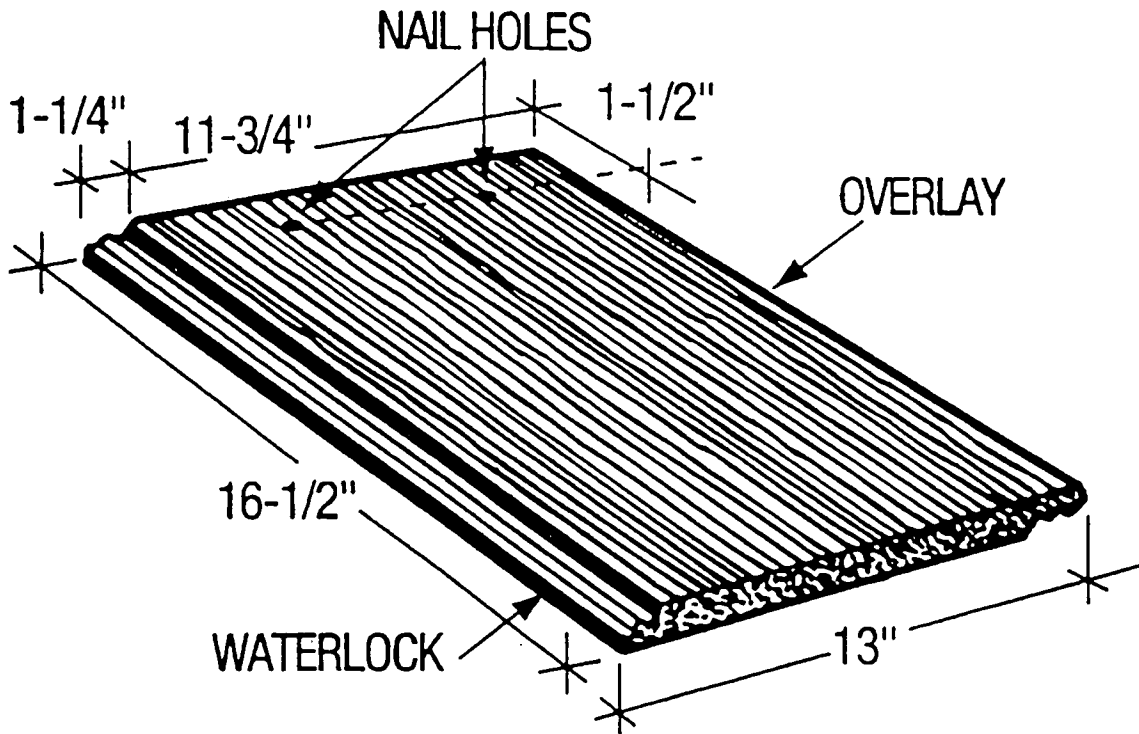
ACCEPTANCE No. : 99-1102.01

APPROVED: December 16, 1999

EXPIRES: December 16, 2002

NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

PROFILE DRAWING



FLAT SHAKE & SLATE TILE

Frank Zuloaga, RRC
Roofing Product Control Examiner

NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documents, including test-supporting data, engineering documents, are no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approval", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
 - a. There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes.
 - b. The product is no longer the same product (identical) as the one originally approved.
 - c. If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product.
 - d. The engineer who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
 - a. Unsatisfactory performance of this product or process.
 - b. Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.
6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engineer need not reseal the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Notice of Acceptance consists of pages 1 through 7 and this last page 8.

END OF THIS ACCEPTANCE

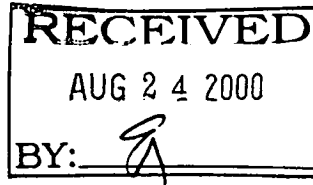

Frank Zuloaga, RRC
Roofing Product Control Examiner



MIAMI-DADE COUNTY, FLORIDA
MIAMI-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
MIAMI-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901
FAX (305) 375-2908

August 21, 2000



PRODUCT CONTROL DIVISION
(305) 375-2902
FAX (305) 372-6339

MEMO

TO: All Building Officials, Roofing Inspectors
and Code Compliance Officers in Dade County

FROM: Raul Rodriguez, Product Control Supervisor
Product Control Section

DATE: August 21, 2000

SUBJECT: Polyfoam #95-0314.10 Qualified Applicators

In accordance with the Notice of Acceptance # 95-0314.10 issued to Polyfoam Products Inc., it is mandatory that all personnel using Polyfoam for the installation of cement or clay roof tile be certified in the its use by the manufacturer, Polyfoam Products Inc.

Accompanying this letter is the most current list, issued by Polyfoam Products Inc., of their qualified applicators for Polyfoam AH-160 roof tile adhesive.

Thank you for your cooperation in this matter.

Enclosures

Ardiel	Barrios	Omega Roofing, Inc.	8901 N.W. 116th St.	Hialeah Gardens	Dade	Fl.	33018	305 - 826-1144	305 - 903-1788	12/03/98
Osvaldo	Lopez	Omega Roofing, Inc.	8901 N.W. 116th St.	Hialeah Gardens	Dade	Fl.	33018	954 - 776-1931	954 - 776-0850	07/22/99
Claude	Grant	Osborne Roofing Co.	942 N.W. 56th St.	Ft. Lauderdale	Broward	Fl.	33309	954 - 776-1931	954 - 776-0850	07/22/99
Yamell	Montgomery	Osborne Roofing Co.	942 N.W. 56th St.	Ft. Lauderdale	Broward	Fl.	33309	305 - 823-8263	305 - 822-3390	01/27/99-R
Martin	Carbón	Pacific Roofing Corp.	808 S.E. Dixie Hwy.	Stuart	Martin	Fl.	34994	561 - 283-7663	561 - 283-9505	12/02/99
Agus Pizarro	Castro	Pacific Roofing Corp.	808 S.E. Dixie Hwy.	Stuart	Martin	Fl.	34994	561 - 283-7663	561 - 283-9505	12/02/99
Weyda	Pineda	Pacific Roofing Corp.	808 S.E. Dixie Hwy.	Stuart	Martin	Fl.	34994	561 - 283-7663	561 - 283-9505	12/02/99
Juvenino A.	Olivera	Pacific Roofing Corp.	808 S.E. Dixie Hwy.	Stuart	Martin	Fl.	34994	561 - 283-7663	561 - 283-9505	12/02/99
Leonardo	Stevens	Pacific Roofing Corp.	808 S.E. Dixie Hwy.	Stuart	Martin	Fl.	34994	561 - 283-7663	561 - 283-9505	12/02/99
Sergio	Hernandez	Packard Roofing & Waterproofing	2162 Reserve Park Trace	Port St. Lucie	St. Lucie	Fl.	34986	407 - 468-3723	561 - 468-9978	08/05/98
Jose Martin	Luna	Packard Roofing & Waterproofing	2162 Reserve Park Trace	Port St. Lucie	St. Lucie	Fl.	34986	407 - 468-3723	561 - 468-9978	08/05/98
Robert	Shields	Packard Roofing & Waterproofing	2162 Reserve Park Trace	Port St. Lucie	St. Lucie	Fl.	34986	407 - 468-3723	561 - 468-9978	08/05/98
Erick	Trujillo	Packard Roofing & Waterproofing	2162 Reserve Park Trace	Port St. Lucie	St. Lucie	Fl.	34986	954 - 475-1462	954 - 475-1462	12/17/98
Randy	Bender	Pro-Foam Installers, Inc.	1721 N.W. 45th St.	Oakland Park	Broward	Fl.	33309	954 - 938-0825	954 - 772-5455	09/15/98
Keith	Bryan	Pro-Foam Installers, Inc.	1721 N.W. 45th St.	Oakland Park	Broward	Fl.	33309	954 - 938-0825	954 - 772-5455	09/15/98
Amansio	Gomez	Pro-Foam Installers, Inc.	1721 N.W. 45th St.	Oakland Park	Broward	Fl.	33309	954 - 938-0825	954 - 772-5455	08/20/98
David	Gomez	Pro-Foam Installers, Inc.	1721 N.W. 45th St.	Oakland Park	Broward	Fl.	33309	954 - 938-0825	954 - 772-5455	09/15/98
Maximino	Gomez	Pro-Foam Installers, Inc.	1721 N.W. 45th St.	Oakland Park	Broward	Fl.	33309	954 - 938-0825	954 - 772-5455	09/15/98
Alex	Hernandez	Pro-Foam Installers, Inc.	1721 N.W. 45th St.	Oakland Park	Broward	Fl.	33309	954 - 938-0825	954 - 772-5455	08/20/98
Valentin	Lopez	Pro-Foam Installers, Inc.	1721 N.W. 45th St.	Oakland Park	Broward	Fl.	33309	954 - 938-0825	954 - 772-5455	08/20/98
Jorge	Meza	Pro-Foam Installers, Inc.	1721 N.W. 45th St.	Oakland Park	Broward	Fl.	33309	954 - 938-0825	954 - 772-5455	09/15/98
Travis	Campbell	Pro-Foam Installers, Inc.	1721 N.W. 45th St.	Oakland Park	Broward	Fl.	33309	954 - 938-0825	954 - 772-5455	03/20/00
Randall	Carney	Pro-Foam Installers, Inc.	1721 N.W. 45th St.	Oakland Park	Broward	Fl.	33309	954 - 938-0825	954 - 772-5455	03/20/00
Charles	Corin	Pro-Foam Installers, Inc.	1721 N.W. 45th St.	Oakland Park	Broward	Fl.	33309	954 - 938-0825	954 - 772-5455	03/20/00
Dave	Thornton, Jr.	Pro-Foam Installers, Inc.	1721 N.W. 45th St.	Oakland Park	Broward	Fl.	33309	954 - 938-0825	954 - 772-5455	03/20/00
Rudi	Samayoa	R & J Roofing of Florida, Inc.	880 N.W. 1st Ave.	Boca Raton	Palm Beach	Fl.	33432	800 - 226-6149	561 - 367-0695	04/23/99 R
Hugo	Villatoro	R & J Roofing of Florida, Inc.	880 N.W. 1st Ave.	Boca Raton	Palm Beach	Fl.	33432	800 - 226-6149	561 - 367-0695	04/23/99 R
Sergio	Villatoro	R & J Roofing of Florida, Inc.	880 N.W. 1st Ave.	Boca Raton	Palm Beach	Fl.	33432	305 - 388-5252	305 - 382-4713	02/22/99
Elias	Hercules	Rainbow Roofing of Miami, Inc.	21140 Bluewater Road	Miami	Dade	Fl.	33189	305 - 388-5252	305 - 382-4713	02/22/99
Isabel D. Jesus	Rodriguez	Rainbow Roofing of Miami, Inc.	21140 Bluewater Road	Miami	Dade	Fl.	33189	305 - 388-5252	305 - 382-4713	02/22/99
Jose Rosa	Rodriguez	Rainbow Roofing of Miami, Inc.	21140 Bluewater Road	Miami	Dade	Fl.	33189	305 - 388-5252	305 - 382-4713	02/22/99
Oreste A.	Semino Sr.	Rainbow Roofing of Miami, Inc.	21140 Bluewater Road	Miami	Dade	Fl.	33189	561 - 451-1712	561 - 451-1712	11/11/98-R
Raul	Perez	Raul Perez - Sub Contractor	1603 N.W. 27th St.	Miami	Dade	Fl.	33142	305 - 635-8922	No Fax Machine	01/26/00
Francisco	Reyes	Raul Perez - Sub Contractor	1603 N.W. 27th St.	Miami	Dade	Fl.	33142	305 - 635-8922	No Fax Machine	01/26/00
Pedro	Torres	Raul Perez - Sub Contractor	1603 N.W. 27th St.	Miami	Dade	Fl.	33142	305 - 635-8922	No Fax Machine	01/26/00
Manuel	Oyora, Jr.	Regal Consulting Services, Inc.	19286 Delaware Ct.	Boca Raton	Palm Beach	Fl.	33434	561 - 451-1712	561 - 451-1712	11/11/98
Jaimé N.	Silva	Regal Consulting Services, Inc.	19286 Delaware Ct.	Boca Raton	Palm Beach	Fl.	33434	561 - 684-6232	561 - 478-2852	01/27/99-R
Mario	Almendarez	Reliable Roofing & Gutters, Inc.	3819 Westgate Ave. #6 & 7	West Palm Beach	Palm Beach	Fl.	33409	813 - 962-7663	813 - 935-3908	11/19/98
Sergio	Castillo	Reliable Roofing & Gutters, Inc.	9420 Lazy Lane Ste. C-7	Tampa	Hillsborough	Fl.	33614	813 - 962-7663	813 - 935-3908	11/19/98
Marco Antonio	Discua	Reliable Roofing & Gutters, Inc.	9420 Lazy Lane, Ste. C-7	Tampa	Hillsborough	Fl.	33614	813 - 962-7663	813 - 935-3908	11/11/98
Pedro O.	Flores	Reliable Roofing & Gutters, Inc.	9420 Lazy Lane Ste. C-7	Tampa	Hillsborough	Fl.	33614	813 - 962-7663	813 - 935-3908	11/11/98
Ron	Frantantoni	Reliable Roofing & Gutters, Inc.	3819 Westgate Ave. #6 & 7	West Palm Beach	Palm Beach	Fl.	33409	813 - 962-7663	813 - 935-3908	11/19/98
Andres	Garcia	Reliable Roofing & Gutters, Inc.	9420 Lazy Lane, Ste. C-7	Tampa	Hillsborough	Fl.	33614	813 - 962-7663	813 - 935-3908	11/19/98
Arguimedes	Jimenez	Reliable Roofing & Gutters, Inc.	9420 Lazy Lane Ste. C-7	Tampa	Hillsborough	Fl.	33614	813 - 962-7663	813 - 935-3908	11/19/98
Miguel	Lopez	Reliable Roofing & Gutters, Inc.	9420 Lazy Lane, Ste. C-7	Tampa	Hillsborough	Fl.	33614	813 - 962-7663	813 - 935-3908	11/11/98
Steve	Mallek	Reliable Roofing & Gutters, Inc.	3819 Westgate Ave. #6 & 7	West Palm Beach	Palm Beach	Fl.	33409	813 - 962-7663	813 - 935-3908	11/19/98
Bernardino	Tierrablanca	Reliable Roofing & Gutters, Inc.	9420 Lazy Lane Ste. C-7	Tampa	Hillsborough	Fl.	33614	813 - 962-7663	813 - 935-3908	11/11/98

PROOF OF NOTICE:
SUBDIVISION REVIEW/APPROVAL

To: Building Official, Town of Sewall's Point
FROM: Permit Applicant
RE: Subject structure described as follows:

OWNER: CHARLES DUVAL ; ADDRESS: 6 RIO VISTA DRIVE

PROJECT ADDRESS: 6 RIO VISTA DRIVE ; LEGAL DESCRIPTION: LOT 64 BLK _____ SUB _____

GENERAL CONTRACTOR: PACIFIC ROOFING ; LIC/CERT No. CC6056793

ADDRESS: P.O. BOX 2697 STUART, FL. 34995 ; TEL 2837663 ; FAX 2839505

ARCHITECT OR ENGINEER: _____ ; LIC/REG No. _____

ADDRESS: _____ ; TEL _____ ; FAX _____

PERMIT No: _____ ; DATE OF ISSUE: _____ ; DATE OF THIS STATEMENT: _____

The proposed project is located in the located in RIO VISTA DRIVE Subdivision.

In compliance with permit application review requirements, please be advised as follows:

SUBDIVISION/ASSOCIATION REVIEW AND APPROVAL IS NOT REQUIRED.

SUBDIVISION/ASSOCIATION REVIEW AND APPROVAL IS REQUIRED.

APPROVAL DOCUMENTATION IS ATTACHED

NOTICE OF THE ABOVE PROPOSED CONSTRUCTION WAS PROVIDED TO THE SUBDIVISION/ASSOCIATION ON _____

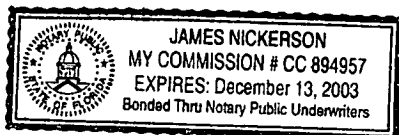
Executed at Pacific Roofing Corp, this 25 day of SEPTEMBER 2000.

NAME: RICHARD J. GAMES ; SIGNATURE: [Signature] ; Lic. No: CC6056793

STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this 25 day of SEPTEMBER 2000, by RICHARD J. GAMES, who is personally known to me or who has produced _____ as identification and who did not take an oath.

(NOTARY SEAL)



[Signature]
Name JAMES NICKERSON

I am a Notary Public of the State of Florida and my commission expires: _____

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
08/27/1999

PRODUCER (561)746-4546
Tequesta Agency, Inc.
93 Tequesta Drive
Tequesta, FL 33469

FAX (561)746-9599

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

FILE

Attorney: Debra Hicks

Ext:

INSURED
Pacific Roofing Corp., Inc.
PO Box 2697
Stuart, FL 34994

COPY *UC/INS*
FILE

COMPANIES AFFORDING COVERAGE

COMPANY A	Transcontinental Insurance co.
COMPANY B	Transportation Insurance Co.
COMPANY C	
COMPANY D	

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY CLAIMS MADE <input checked="" type="checkbox"/> OCCUR OWNER'S & CONTRACTOR'S PROT	C155821031	08/27/1999	10/28/2000	GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 PERSONAL & ADV INJURY \$ 1,000,000 EACH OCCURRENCE \$ 1,000,000 FIRE DAMAGE (Any one fire) \$ 50,000 MED EXP (Any one person) \$ 5,000	
	A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO ALL OWNED AUTOS SCHEDULED AUTOS HIRED AUTOS NON-OWNED AUTOS	C144640569	08/27/1999	10/28/2000	COMBINED SINGLE LIMIT \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
		GARAGE LIABILITY ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EACH ACCIDENT \$ AGGREGATE \$
		EXCESS LIABILITY UMBRELLA FORM OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$ \$
		B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY THE PROPRIETOR/ PARTNERS/EXECUTIVE OFFICERS ARE: <input checked="" type="checkbox"/> INCL <input checked="" type="checkbox"/> EXCL	NCL77098784	10/28/1999	10/28/2000
	OTHER					
	DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS					

CERTIFICATE HOLDER

TOWN OF SEWALLS POINT
1 SOUTH SEWALLS POINT ROAD
STUART, FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE
Mark Kasten/DEBBIE

Debra Hicks

Certificate of Insurance

...ate is issued as a matter of information only and confers no rights upon you the certificate holder. This certificate is not an insurance policy and does not amend, extend, or alter the coverage by the policies listed below.

RECEIVED
 JAN 3 1 2000
 BY: _____

Named Insured(s):

Staff Leasing, LP, by Staff Acquisition, Inc., The General Partner, and The Affiliated Limited Partnerships of Which Staff Acquisition, Inc. Is The General Partner and their Successor Corporations
 600 301 Boulevard West, Suite 202
 Bradenton, Florida 34205

CNA
RISK MANAGEMENT

FILE

Coverages:

Insurer Affording Coverage
 Continental Casualty Company

The policy(ies) of insurance listed below have been issued to the insured named above for the policy period indicated. The insurance afforded by the policy(ies) described herein is subject to all the terms, exclusions and conditions of such policy(ies).

Type of Insurance	Certificate Exp. Date <input type="checkbox"/> Continuous <input type="checkbox"/> Extended <input checked="" type="checkbox"/> Policy Term	Policy Number	Limits
Workers' Compensation	1-1-2001	WC 189165165 WC 189165182	Employer's Liability
			Bodily Injury By Accident \$1,000,000 Each Accident
			Bodily Injury By Disease \$1,000,000 Policy Limit
Bodily Injury By Disease \$1,000,000 Each Person			

Other:

Employees Leased To:

Effective Date: 1/1/00

**16459
 Pacific Roofing Corp Inc Office**

The above referenced workers' compensation policy(ies) provide(s) statutory benefits only to the employees of the Named Insured(s) on such policy(ies), not to the employees of any other employer.

*If the certificate expiration date is continuous or extended term, you will be notified if coverage is terminated or reduced before the certificate expiration date. However, you will not be notified annually of the continuation of coverage.

Notice of Cancellation: (Not applicable unless a number of days are entered below)

Before the stated expiration date the company will not cancel or reduce the insurance afforded under the above policy(ies) until at least 30 days notice of such cancellation has been mailed to:

Certificate Holder:

TOWN OF SEWALL'S POINT
 1 S SEWALLS POINT RD
 STUART, FL 34996-6736



Martin Oosterbaan

Martin Oosterbaan
 Authorized Representative

Office: St. Louis, MO 12/15/99
 Phone: (877) 427-5567 Date Issued

AC 5961552

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONST. INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
08/27/00	0890017	FC 205673

The ROOFING CONTRACTOR
 Named below IS FERTIFIED
 Under the provisions of Chapter 489 FS
 Expiration date: AUG 31, 2002



GOMES, RICHARD JOHN
 PACIFIC ROOFING CORP
 PO BOX 2697
 STUART FL 34995

JEB BUSH
 GOVERNOR

DISPLAY AS REQUIRED BY LAW

CYNTHIA A. HENDERSON
 SECRETARY

RECEIVED
 BY: *[Signature]*

Receipt

Permit # _____

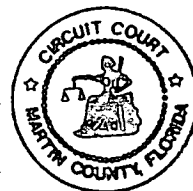
Tax Folio # 12384100200000640300

NOTICE OF COMMENCEMENT

STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.

MARSHA STILLER, CLERK
BY [Signature] D.C.
DATE 9-26-00



State of FLORIDA
County of MARTIN

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real-property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of commencement.

1. Description of property: RIO VISTA Lot 64
2. General description of improvement: PEROOF
3. Owner information:
 - a. Name & Address: CHARLES DUVALL
16 RIO VISTA DRIVE STUART, FL. 34996
 - b. Interest In Property: _____
 - c. Name & Address of fee simple titleholder (other than owner): _____
4. Contractor's Name & Address: PACIFIC ROOFING
P.O. Box 2697 STUART, FL. 34995
 - a. Phone number: 283-7663
 - b. Fax number: 283-9505
5. Surety Information:
 - a. Name & Address: _____
 - b. Phone number: _____
 - c. Fax number: _____
 - d. Amount of Bond: \$ _____
6. Lender's Name & Address: _____
 - a. Phone number: _____
 - b. Fax number: _____
7. Person within the State of Florida designated by owner upon whom notices or other documents may be served as provided by 713.13 (1) (a), 7 Florida Statutes:
Name & Address: _____
 - a. Phone number: _____
 - b. Fax number: _____
8. In addition to himself, owner designates _____ of _____ to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (b), Florida Statutes.
9. Expiration date of Notice of Commencement (the expiration date is one (1) year from the date of recording unless a different date is specified): _____

(signature of owner)

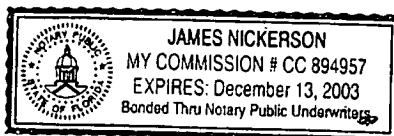
[Signature of Charles Duvall]

Sworn to and subscribed before me
this 22 day of SEPTEMBER, 2000

Notary [Signature]

Known Personally/ I.D. Shown _____

My commission expires:



TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 10-11-00, 2000; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
S/ ✓ 4943	Botwinick 27 Emarita	roof dry- in	Passed BR.	
N/ ✓ 5084	Elliott 8 Lagoon Island Scammel	slab (9-9-15) fiberglass	Passed BG.	2" Topping over Existing Slab.
S/ ✓ 5068	Winer 19 Ridgeland Lear	wine cellar footing	OK BG.	FIELD COPY SHFB ATTACHED (CELANO PER.) Gave to Bulder.
S/ ✓ 4978	Rimer / Bird 29 So. River Rd. Lear	ret. wall ON SMALL House.	Passed BR.	
S/ ✓ 5058	Geller 10 Palmetto Quality	fence	Passed BG.	will call to arrange time - (has dogs)
N/ ✓ 4904	Miranda 34 Castle Hill owner	rough oil PIB-OK Elec-R-OK	Reject BG. NO REC.	1. need Revised plan FOR Fireplaces close 2. Tie up A/C Duct Pk 3. Seal Holes in Top pl. 4. Gas Lines not installed at pressure TEST.
S/ ✓ 5103	DUNN 6 Rio Vista Dr. PACIFIC RFG	roof sheathing	OK BG.	Replacing Rotted wood.
		(MAKE LAST INSPECTION) Per Rob.		

OTHER: USED B.G. CAR - 10 Miles
ED in Miami.

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection ~~November 10, 2000~~ ~~10-16~~, 2000;

Page 1 of 1.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4973	Coverdale	boast house	PASSED	
N (7)	51 N. River Rd. Bob Sandy	roof sheathing (DOCK ROOF)	FA	
✓ 5068	Winer	temp. el.	FAILED	- SERV. ON ADJ. PROPERTY
S (5)	19 Ridgeland FTL Electric		FA	- BRACING BLOCKS PANEL (WATER/DUMPSTER/OIL. OK)
✓ 5013	Dennis	pre-pour	PASSED	- SURVEY RCVD.
S (4)	16 Ridgeland Fl. Finest	SLAB	FA	- SOIL TEST. 10/10
✓ 5103	Duvall	metal	PASSED	
(3)	6 Rio Vista PACIFIC REG.	metal	FA	
✓ 5063	Robinson	re-inspect	PASSED	8:AM
S (1)	173 S. River Driftwood/Morris	slab (NO FEE)	FA	
✓ 4904	Miranda	insulation	PASSED	
N (6)	34 Castle Hill owner		FA	
✓ T/R	HENRY	FIELD VERIFICATION	INCOMPLETE	- ADD'L INFO REQUIRED
S (APPL)	8 E. HIGH POINT		FA	
(2)	1-DO-IT-ALL		FA	
OTHER:	COVERDALE } 51 N. RIVER RD. } T/R APPL. 016 } FIELD VERIF.		PASSED	260-2060
(7A)			FA	

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: ~~Union Blvd~~ ~~of~~ ~~11-27~~ , 2000; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N 4813	Follweiler	final	PASSED	- RESP. STORM SHUTTERS,
✓ N 4A	11 Lofting Way ARK HOMES	c.o.	⊗ (PT. AS NOTED)	- SELF CLOSING DR. @ GARAGE - FIRE SEPARATION GAR. CLG. (FM)
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N 4924	Follweiler	pool	PASSED	
✓ N 4B	11 LOFTING WAY FLAMINGO POOLS	final	⊗	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N 5760	Follweiler	pool enc.	PASSED	
✓ N 4C	11 LOFTING WAY COASTAL ALUM.	final	⊗	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N 5136	Seller	pool	PASSED	- FORMBOARD SURVEY ↓
✓ N 2	10 Palmetto Mahaffey POOLS	steel & bond	⊗ (AS NOTED)	NOT BOND! REB PROX TO POOL,
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N 5092	Aune	final	PASSED	- FINAL SURVEY RCVD 11/22
✓ N 3	6 Michael Rd. Masterpiece	shed	⊗	- FIELD COPY TO SITE ✓
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N 1	Duval 6 Duval Pacific	roof-final	PASSED	9:30 ✓ OWNER DISPUTE W/CONTR RESOLVED. (NO STRUCT. ISSUES)
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N X	Gifford 2 1/2 N. S. P. Rd	site observation	⊗	Not w/ call re. time CANCELLED (NEED 11/22) WILL HOLD ESTAB. GRAVE.

OTHER: _____

INSPECTOR (Name/Signature): _____

6109

SCREEN ENCLOSURE

TOWN OF SEWALL'S POINT

Date 1/30/03

BUILDING PERMIT NO. 6109

Building to be erected for DALTON

Type of Permit Screen Enclosure

Applied for by EAST COAST

(Contractor) Building Fee 120 249.00

Subdivision RIO VISTA Lot 64 Block _____

Radon Fee _____

Address 6 RIO VISTA DRIVE

Impact Fee _____

Type of structure SFR

A/C Fee _____

Electrical Fee _____

Parcel Control Number:
12-38-41-002-000-00640-3

Plumbing Fee _____

Roofing Fee _____

Amount Paid 35.00 Check # 7148 Cash _____

Other Fees (_____)

Total Construction Cost \$ 2497.50

TOTAL Fees 120 249.00

Signed [Signature]

Applicant

Signed [Signature] (R.O.B.)

Town Building Official

PERMIT

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input checked="" type="checkbox"/> POOL/SPADECK Enclosure |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL _____ |

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Owner or Titleholder Name: Dalton Building Permit Number:
City: Stuart (Sewalls Point) State: FL Zip:
Legal Description of Property: LOT 64 Parcel Number: 12-38-41-002-000-004.0-3
Location of Job Site: 6 Rio Vista Dr. Type of Work To Be Done: REAR DOWN CONSTRUCT mansard style roof Pool Enclosure

CONTRACTOR/Company Name: Cast Coast Specialties Inc. Phone Number: 871-1422
Street: 1754 SW Biltmore St. City: Port Saint Lucie State: FL Zip: 34984
State Registration Number: State Certification Number: Martin County License Number: SP02094

ARCHITECT: NONE Phone Number:
Street: City: State: Zip:

ENGINEER: Nagendra Khanal Phone Number: 561-433-5361
Street: 3155 Lillian Rd #16515 City: West Palm Beach State: FL Zip: 33406

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: Garage: Covered Patios: Screened Porch: 1110
Carpport: Total Under Roof Wood Deck: Accessory Building:
Type Sewage: Septic Tank Permit Number From Health Depart. Well Permit Number:

FLOOD HAZARD INFORMATION Flood Zone: Minimum Base Flood Elevation (BFE): NGVD
Proposed First Floor Habitable Floor Finished Elevation: NGVD (Minimum 1 Foot Above BFE)

COST AND VALUES Estimated Cost of Construction or Improvements: \$249,500 Estimated Fair Market Value (FMV) Prior
To Improvements: If Improvement, Is Cost Greater Than 50% Of Fair Market Value YES NO

SUBCONTRACTOR INFORMATION

Electrical: State: License Number:
Mechanical: State: License Number:
Plumbing: State: License Number:
Roofing: State: License Number:

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNANCE, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION

Florida Building Code (Structural, Mechanical, Plumbing, Gas) 2001 South Florida Building Code (Structural, Mechanical, Plumbing, Gas)
National Electrical Code 2002 Florida Energy Code 2001
Florida Accessibility Code 2001

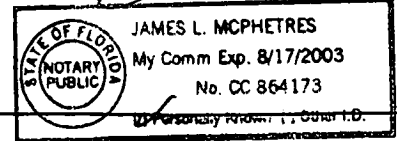
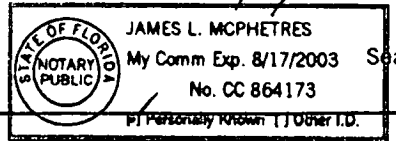
I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (Required) Michael A. Hall
State of Florida, County of: St. Lucie
This the 28th day of January, 2003
by Michael A. Hall who is personally known to me or produced personally known as identification.

CONTRACTOR SIGNATURE (Required) Michael A. Hall
On State of Florida, County of: St. Lucie
This the 28th day of January, 2003
by Michael A. Hall who is personally known to me or produced personally known as identification.

Notary Public James L. McPhetres
My Commission Expires: 8/17/2003

Notary Public James L. McPhetres
My Commission Expires: 8/17/2003



PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR SCREEN ENCLOSURES

IMPORTANT NOTICE: All items listed below must accompany your permit application.
No application will be accepted unless all items that are applicable are submitted.

Application form must contain the following information:

1. Property Appraisers Parcel Number or Property Control Number
2. Legal Description of property (Can be found on your deed survey or Tax Bill)
3. Contractors name, address, phone number and license numbers.
4. Name all sub-contractors (properly licensed)
5. Architects or Engineers name, address, & phone number.
6. Estimated cost of construction.
7. Original signature of owner and notarized
8. Original signature of Contractor and notarized.

Submittals (2 copies)

1. the following information:
 - a. Legal Description of Lot
 - b. Lot dimensions and bearings
 - c. Street and Waterway names
 - d. Easements
 - e. ROW's
 - f. Canals, Ponds, or Riverfront locations
2. Statement of Fact (owner/builder affidavit)
3. Proof of ownership (deed or tax recpt.)
4. Manufactures specifications or shop drawings for screen enclosure with highlighted areas for site specific connector and sizes of structural members (one copy to be signed and sealed)
5. Proof that existing slab has minimum of 8" X 8" thickened edge with 1 - #5 re-bar continuous or signed and sealed letter from engineer stating that it is not required
6. A certified copy of the Notice of Commencement for any work over \$2500.00
7. Copy of License (either Martin County Certificate of Competency or State Certified or Registered Contractor License)
8. Copy of Workmen's Compensation
9. Copy of Liability Insurance

**ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE
ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE**



(SIGNATURE OF APPLICANT)

DATE SUBMITTED: _____

1/28/03

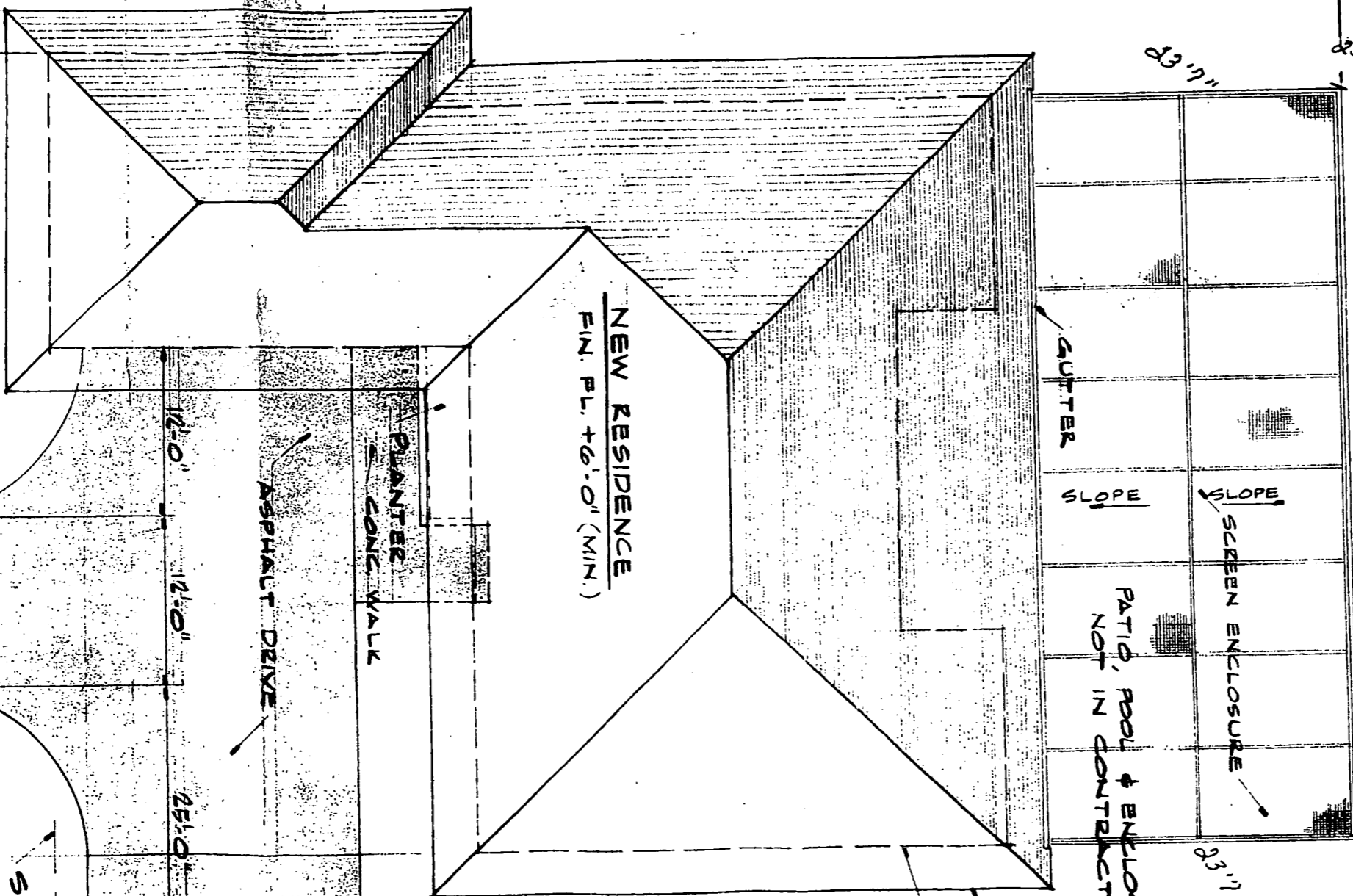
35'-0"

130.0
PROPERTY LINE

90'-0"

15'-0"

25'-0"



NEW RESIDENCE
FIN. PL. + 6'-0" (MIN.)

ASPHALT DRIVE

PLANTER
CONC. WALK

GUTTER

SLOPE

SLOPE
SCREEN ENCLOSURE

PATIO, POOL & ENCLOSURE
NOT IN CONTRACT

BUILDING LINE
ROOF LINE

PROPERTY LINE
100.0'

FILE COPY
TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE: 1/29/03

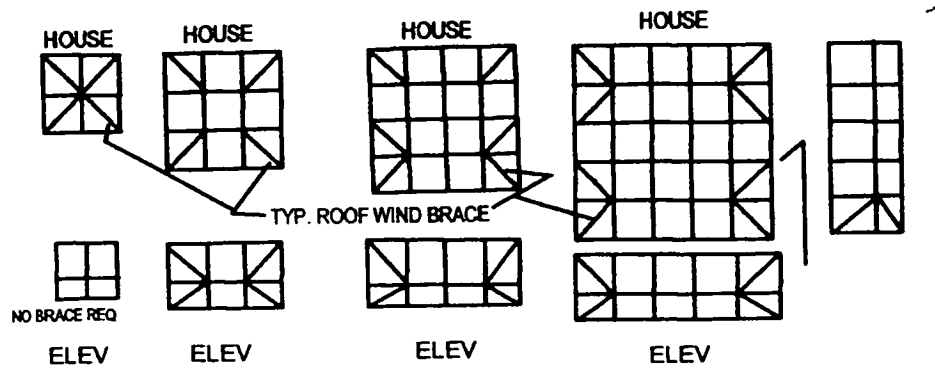
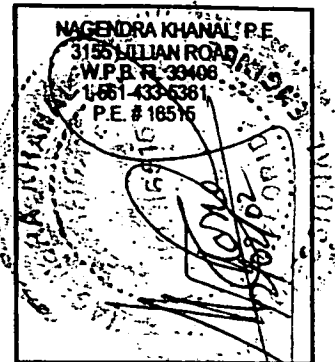
BUILDING OFFICIAL
 Gene Simmons

SETBACK LINE

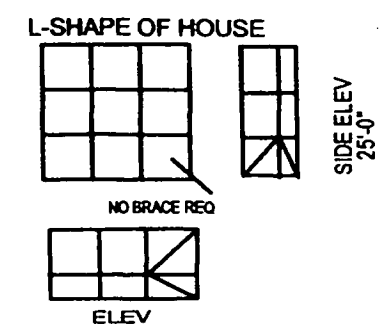
150.0'

ALUMINUM SCREEN ROOF & WALL DETAILS

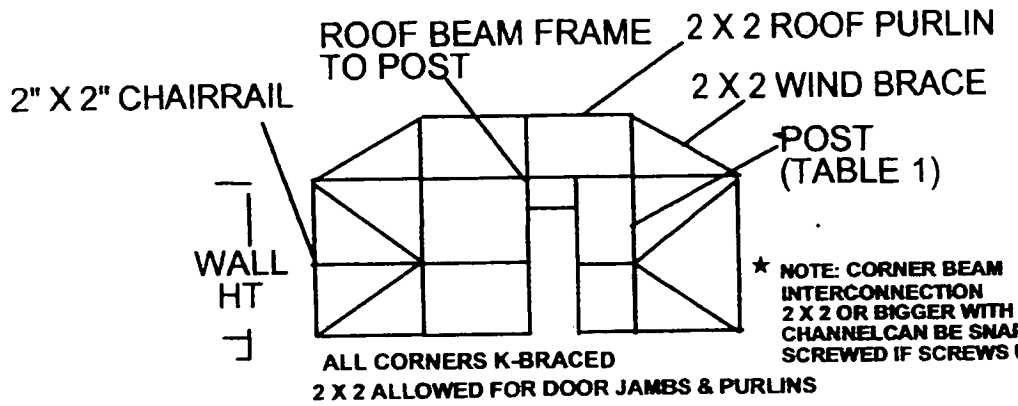
2001 FLORIDA BUILDING CODE 2002
 PLAN EFFECTIVE MARCH 1, 2002
 PLANS PROPERTY OF EAST COAST SPECIALTIES



WIND BRACING DETAILS

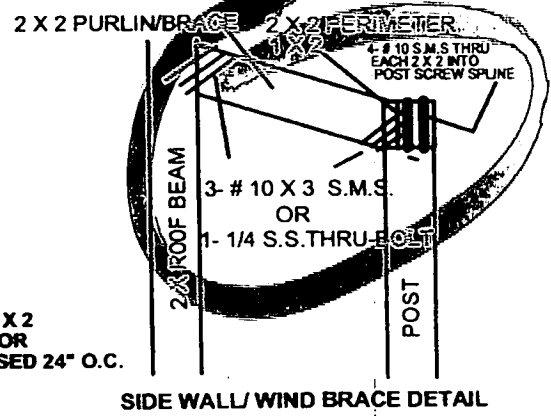


* K-BRACE REQ FOR FRONT WALL WHEN RETURN WALL EXTENDS GREATER THAN 16' 8"

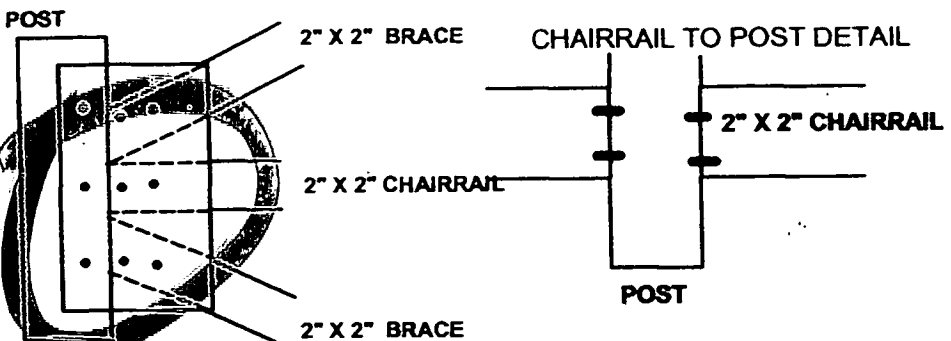


* NOTE: CORNER BEAM INTERCONNECTION 2 X 2 OR BIGGER WITH 1 X 2 CHANNEL CAN BE SNAP OR SCREWED IF SCREWS USED 24" O.C.

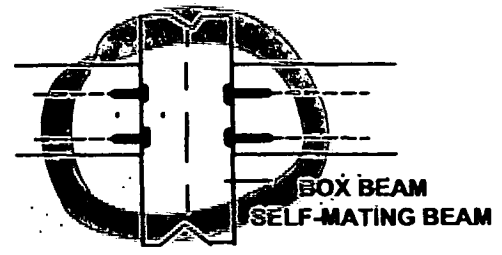
ALL CORNERS K-BRACED
 2 X 2 ALLOWED FOR DOOR JAMBS & PURLINS



SIDE WALL/WIND BRACE DETAIL

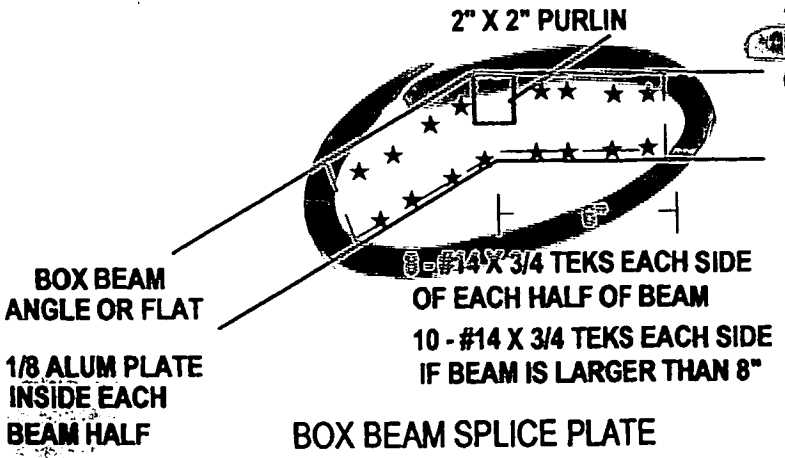


ROOF PURLIN DETAIL



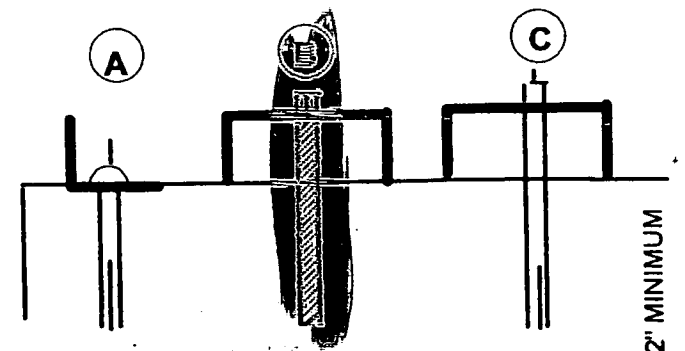
2 X 2 PURLINS TO SIDE WALL OF SELF-MATING BEAM WITH 4 - #10 X 2 S.M.S. EACH SIDE

1 X 3 X 7 ANGLE WITH 9 - #14 TEK SCREWS ON INSIDE
 3" X 3" PLATE TOP AND BOTTOM INSIDE AND OUT WITH 4 - #14 TEK SCREWS

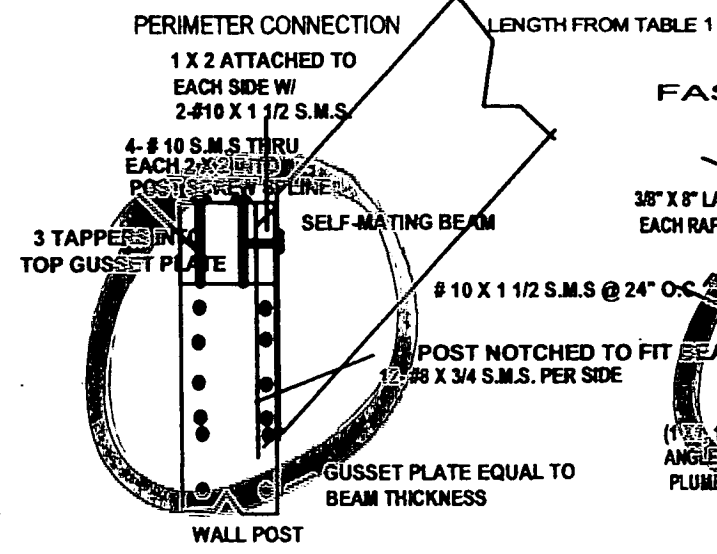


BOX BEAM SPLICE PLATE

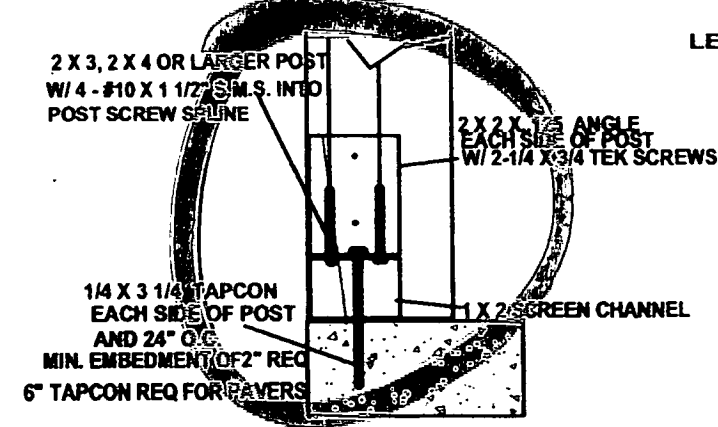
A 1/4 X 2 1/2 DRIVE PIN 2" MIN PENETRATION
 B 1/4 X 3/4 TAPCON 2" MIN PENETRATION
 C 1/4 X 3 1/3 T-BOLT 2" MIN PENETRATION



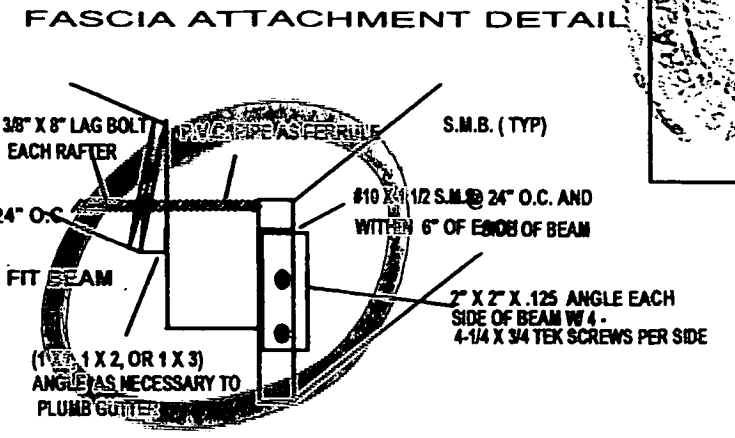
MASONRY FASTENERS



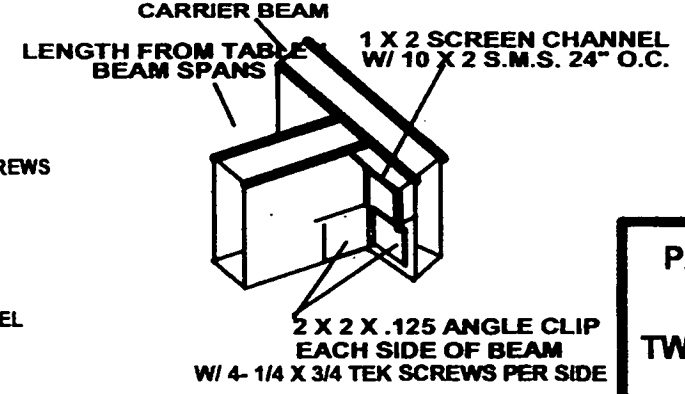
BASE PLATE AND POST CONNECTION



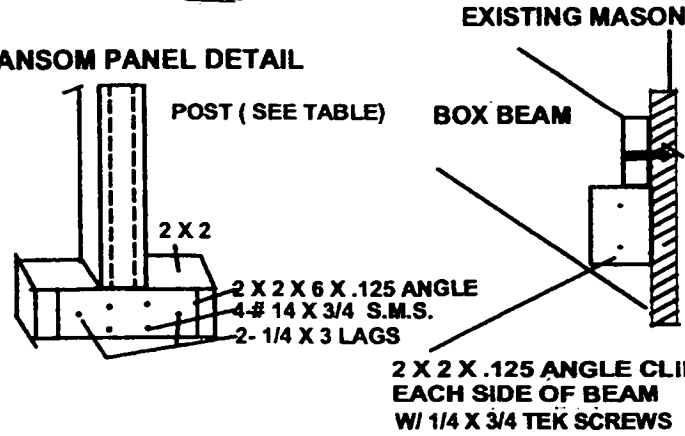
TRANSOM PANEL DETAIL



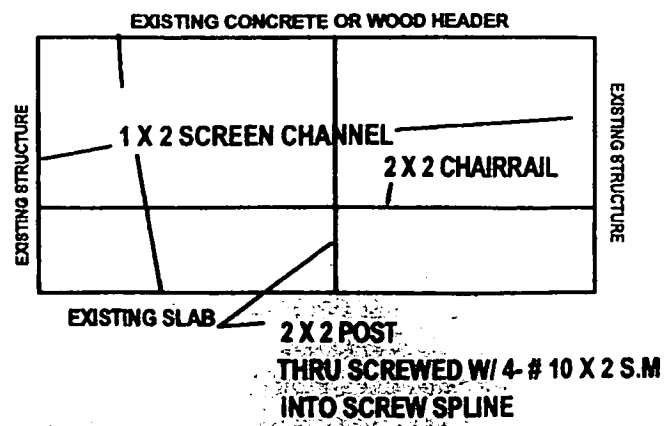
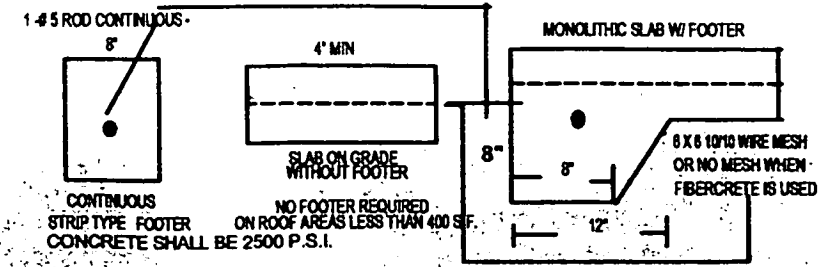
BEAM TO BEAM CONNECTION



2 X 2 X .125 ANGLE CLIP EACH SIDE OF BEAM W/ 4 - 1/4 X 3/4 TEK SCREWS PER SIDE



PORCH WALL DETAIL



2 X 2 POST THRU SCREWED W/ 4 - # 10 X 2 S.M. INTO SCREW SPLINE

SCREEN ROOFED POOL/PATIO ENCLOSURES

PAGE ONE OF TWO SHEETS

ALUMINUM SCREEN ROOF & WALL SPECIFICATIONS

2001 FLORIDA BUILDING CODE SECTION 2002

PLAN EFFECTIVE MARCH 1, 2002

REVISIONS
MAY 27, 2002
AUG 9, 2002
NOV. 2, 2002

Project Address: 6 RIO VISTA DRIVE Permit No: _____
 Project Description: CONSTRUCT MANSARD STYLE ROOF POOL ENCLOSURE
 Occupancy/Use Type: SFD
SFD, MULTIFAMILY, COMMERCIAL, INDUSTRIAL - DESCRIBE

Design Parameters
 Minimum Soil Bearing Capacity: 2500 PSI
 Slab Concrete Strength to be 2500 PSI
 Stair Live Load: _____
 First Floor Live Load: _____ Dead Load: _____ Partition Loads: _____
 Second Floor Live Load: _____ Dead Load: _____ Partition Loads: _____
 Roof Truss TC Live Load: _____ TC Dead Load: _____ BC Live Load: _____ BC Dead Load: _____

Wind Loads
 Code Edition Used: 2001 FBC _____ OR ASCE 7-98
 Exposure Category: _____ (B or C or Tested) B= 10 p.s.f. / 18 p.s.f. C= 10 p.s.f. / 26 p.s.f.
 Building Designed as: Enclosed: _____ Partially Enclosed: _____ Open:
 Mean Roof Height: ≤ 30 Ft. (Greater than 60 ft. must use ASCE 7-98) Importance Factor: 0.77
 Basic Wind Speed: 140 (3 second gust) Basic Velocity Pressure: EXP. -B- 10 p.s.f. (Beam)
18 p.s.f. (Walls)
 Internal Pressure Coefficient: _____ (if ASCE 7-98 analytical procedure is used) EXP. -C- 10 p.s.f. (Beam)
26 p.s.f. (Walls)
 Total Roof Dead Load: 2.0 (Used to determine uplifts)
 Reviewed for Shearwall Requirements? YES NO _____ If No, Reason: _____
 Impact Protection Required? YES _____ NO If No, Reason: SCREEN
 Actual positive and negative pressures for each window, door ect, are to be labeled on the plans.

Commercial and multi-family flat roofs require uplifts by zone indicated on the plans for decking and finish.
 I certify that I have designed the structure associated with this form to comply with the applicable structural portions of the Florida Building Code as adopted and enforced by all Counties Planning, Zoning & Building Departments, Building Division. I also certify that the structural components, systems, and related elements provide adequate resistance to wind loads and forces specified by the current Code provisions.
 Name: N. Khanal

License No.: 16515

TABLE 1 Post lengths and Spacing for Screen WALLS

For 120 M.P.H. Wind Zone. INCREASE THE SPACING OR THE HEIGHT OF WALLS BY 28 PERCENT.

POST SIZE	MAX WALL SPACING	MAX POST HEIGHT EXP. "B"	MAX POST HEIGHT EXP. "C"
2"x3"x.046 Snap	7 FT. 0 IN. 8 FT. 0 IN.	7 FT. 6 IN. 8 FT. 10 IN.	6 FT. 1 IN. 6 FT. 7 IN.
2"x4"x.046 Snap	8 FT. 0 IN. 8 FT. 0 IN.	11 FT. 6 IN. 10 FT. 6 IN.	9 FT. 4 IN. 8 FT. 7 IN.
2"x6"x.050 S.M.B.	4 FT. 0 IN. 6 FT. 0 IN. 6 FT. 0 IN. 7 FT. 0 IN. 8 FT. 0 IN.	16 FT. 9 IN. 14 FT. 2 IN. 12 FT. 10 IN. 11 FT. 10 IN. 11 FT. 3 IN.	12 FT. 11 IN. 11 FT. 7 IN. 10 FT. 6 IN. 9 FT. 8 IN. 9 FT. 3 IN.
2"x8"x.050 S.M.B.	4 FT. 0 IN. 6 FT. 0 IN. 6 FT. 0 IN. 7 FT. 0 IN. 8 FT. 0 IN.	19 FT. 8 IN. 17 FT. 9 IN. 16 FT. 3 IN. 16 FT. 0 IN. 14 FT. 0 IN.	16 FT. 2 IN. 14 FT. 7 IN. 13 FT. 5 IN. 12 FT. 3 IN. 11 FT. 6 IN.
2"x7"x.066 S.M.B.	4 FT. 0 IN. 6 FT. 0 IN. 6 FT. 0 IN. 7 FT. 0 IN. 8 FT. 0 IN.	23 FT. 0 IN. 21 FT. 0 IN. 19 FT. 1 IN. 17 FT. 8 IN. 16 FT. 6 IN.	18 FT. 10 IN. 17 FT. 2 IN. 16 FT. 8 IN. 14 FT. 6 IN. 13 FT. 6 IN.
2"x8"x.072 S.M.B.	4 FT. 0 IN. 6 FT. 0 IN. 6 FT. 0 IN. 7 FT. 0 IN. 8 FT. 0 IN.	27 FT. 6 IN. 24 FT. 8 IN. 22 FT. 6 IN. 21 FT. 2 IN. 19 FT. 7 IN.	22 FT. 6 IN. 20 FT. 2 IN. 18 FT. 6 IN. 17 FT. 4 IN. 16 FT. 0 IN.
2"x8"x.082 S.M.B.	4 FT. 0 IN. 6 FT. 0 IN. 6 FT. 0 IN. 7 FT. 0 IN. 8 FT. 0 IN.	28 FT. 10 IN. 27 FT. 7 IN. 26 FT. 4 IN. 23 FT. 8 IN. 21 FT. 9 IN.	23 FT. 7 IN. 22 FT. 7 IN. 20 FT. 9 IN. 19 FT. 4 IN. 17 FT. 10 IN.
2"x10"x.092 S.M.B.	4 FT. 0 IN. 6 FT. 0 IN. 6 FT. 0 IN. 7 FT. 0 IN. 8 FT. 0 IN.	36 FT. 6 IN. 33 FT. 1 IN. 31 FT. 1 IN. 29 FT. 7 IN. 28 FT. 4 IN.	29 FT. 1 IN. 27 FT. 1 IN. 26 FT. 6 IN. 24 FT. 3 IN. 23 FT. 2 IN.

TABLE 2 1/2 OF TRIBUTARY BEAM TO CARRY BEAM (CARRY BEAM TO BE ONE SIZE GREATER THAN TRIBUTARY BEAM.)

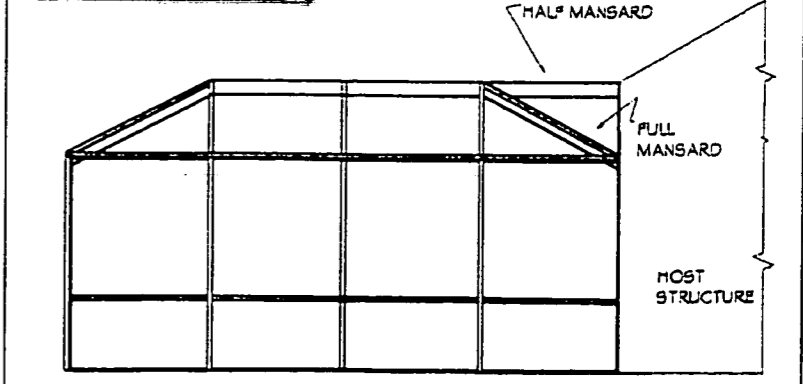
MAJOR BEAM LENGTH	2x6" S.M.B.	2x7" S.M.B.	2x8" S.M.B.	2x8" S.M.B.
	.066	.066	.072	.082
10' 0"	15' 7"	17' 11"	21' 10"	24' 0"
12' 0"	14' 2"	16' 4"	20' 1"	21' 11"
14' 0"	13' 2"	15' 1"	18' 7"	20' 4"
16' 0"	12' 3"	14' 2"	17' 5"	19' 0"
18' 0"	11' 7"	13' 4"	16' 5"	17' 11"
20' 0"	11' 0"	12' 8"	15' 7"	17' 0"
22' 0"	10' 6"	12' 1"	14' 10"	16' 2"
24' 0"	10' 0"	11' 6"	14' 3"	15' 6"

TABLE 3 SPAN TABLE FOR SCREENED ROOF BOX BEAMS (SELF MATING BEAMS) (FLAT ROOF)

BEAM SIZE	2x3" SNAP .046	2x4" S.M.B. .046	2x6" S.M.B. .060	2x6" S.M.B. .066	2x7" S.M.B. .066	2x8" S.M.B. .072	2x8" S.M.B. .082	2x10" S.M.B. .082
4'0" O.C.	13' 0"	16' 3"	20' 0"	22' 7"	28' 0"	36' 0"	39' 4"	45' 10"
4'6" O.C.	12' 2"	15' 7"	19' 3"	21' 7"	26' 6"	33' 8"	37' 10"	44' 1"
5'0" O.C.	11' 5"	15' 0"	18' 6"	20' 7"	25' 0"	32' 4"	36' 5"	42' 5"
5'6" O.C.	10' 9"	14' 10"	18' 0"	19' 9"	24' 0"	31' 3"	35' 7"	41' 9"
6'0" O.C.	10' 0"	14' 3"	17' 6"	19' 0"	23' 0"	30' 2"	33' 10"	40' 0"
6'6" O.C.	9' 5"	13' 10"	16' 9"	18' 5"	22' 2"	29' 3"	32' 7"	39' 0"
7'0" O.C.	9' 3"	13' 8"	16' 0"	17' 9"	21' 4"	28' 4"	31' 4"	37' 11"
7'6" O.C.	9' 0"	13' 0"	15' 6"	17' 4"	20' 9"	27' 8"	30' 7"	36' 9"
8'0" O.C.	8' 10"	12' 7"	15' 0"	16' 10"	20' 4"	27' 1"	29' 9"	35' 8"

FOR HALF MANSARD & GABLE ROOF STYLE MULTIPLY THE ABOVE TABLE VALUE BY 1.10

FOR FULL MANSARD ROOF STYLE MULTIPLY THE ABOVE TABLE VALUE BY 1.20



SPECIFICATIONS

1. SHEET METAL SCREWS SHALL BE PLATED OR STAINLESS
2. ALUMINUM FASTENERS SHALL BE OF ALLOY 2024-T4
3. BEAM ALLOY SHALL BE 6063-T6 POST, PURLINS, ANGLES, AND CHANNELS ALLOY SHALL BE 6063-T6
4. MINIMUM THICKNESS OF THE ALLOYS SHALL BE 0.040 INCHES.
5. CONCRETE TO BE 2500 P.S.I.
6. T- BOLTS; TAPCONS, LAGS, SCREWS, TEKS SHALL BE 24" O.C.
7. ALL EXTRUSIONS MAY ACCEPT EITHER FLAT OR ROUND SPLINE. INSTALLED TO HOLD 18 / 14 OR 20 / 20 SCREEN INTO EXTRUDED SPLINE GROOVE.
8. STRUCTURES DETAILED AND SPECIFIED IN THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE (F.B.C.) FOR 140 M.P.H. WIND ZONE.

THIS DRAWING DOCUMENT IS THE SOLE PROPERTY OF NAGENDRA KHANAL & DAVID BUTTON. WRITTEN CONSENT IS NEEDED TO REPRODUCE ALL OR PART OF ITS CONTENTS.
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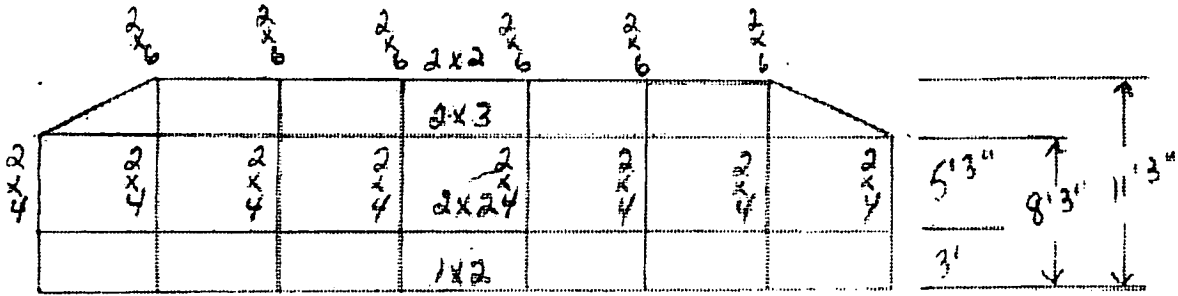
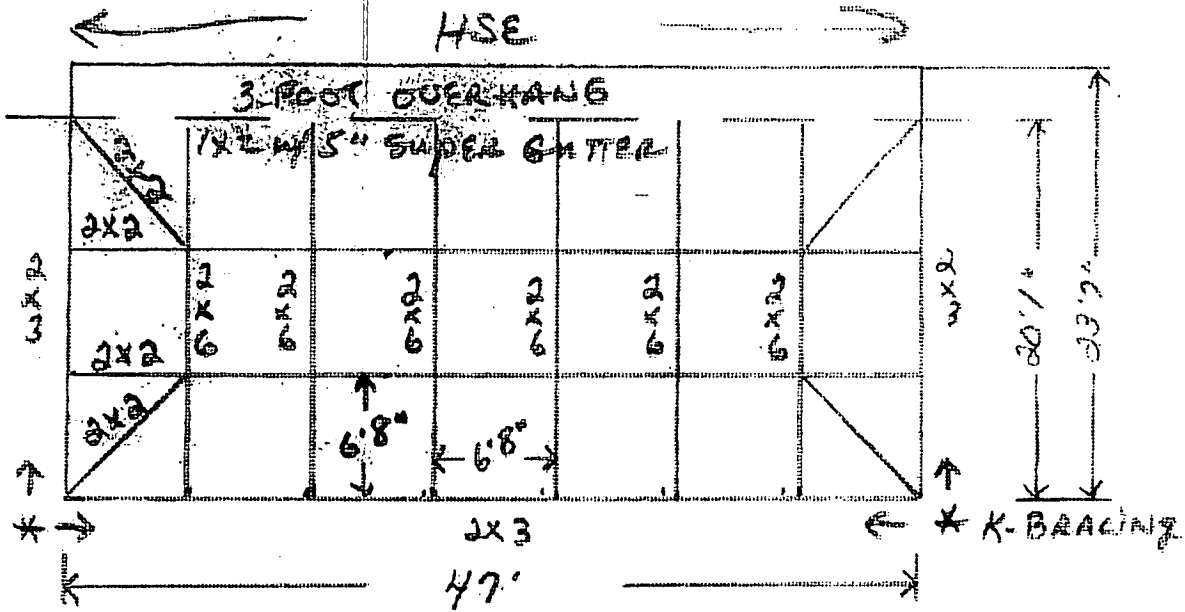
NAGENDRA N. KHANAL, P.E.
 3155 LILLIAN ROAD
 WEST PALM BEACH, FLORIDA 33411
 VALID ONLY W/ RAISED ENGINEER SEAL
 SEALED DRAWING - VALID FOR ONE JOB
 (Phone) (561) 433-5361
 P.E. No: 16515

SCREEN
ROOFED
POOL/PATIO
ENCLOSURES

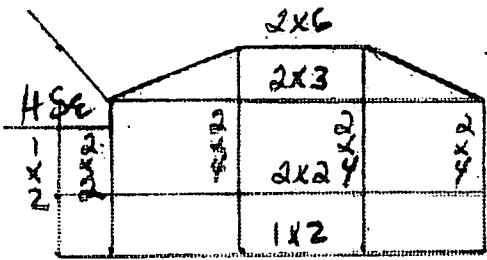
THESE PLANS ARE EXCLUSIVELY USED BY:

DRAWN BY: DAVID BUTTON
 CHECKED BY: _____
 SCALE: AS NOTED
 DATE: _____
 PROJECT: _____

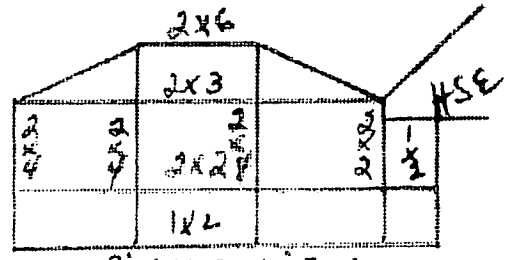
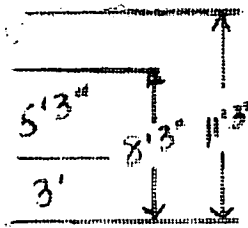
JOB# _____
 SHEET No: **TWO**
 of 2 Sheets



FRONT VIEW



LEFT VIEW



RIGHT VIEW

FRAME PLAN

M/M DALTON

6 RIO VISTA DRIVE

3/32" = 1 FOOT

EAST COAST SPECIALTIES INC.

1/27/03

ACORD CERTIFICATE OF LIABILITY INSURANCE		OPID SB ECSPE-1	DATE (MM/DD/YYYY) 01/28/03
PRODUCER Stuart Insurance, Inc. 3070 S W Mapp Palm City FL 34990 Phone: 772-286-4334 Fax: 772-286-9389		THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
INSURED East Coast Specialties, Inc. 1754 S.W. Biltmore Street Port St. Lucie FL 34984		INSURERS AFFORDING COVERAGE	NAIC #
		NSURER A Southern Owners	10190
		NSURER B Auto Owners Insurance Co	18988
		NSURER C Bridgefield Insurance Co	
		NSURER D	
		NSURER E	

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR	INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A		GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> BLANKET CONTRACTUAL GENL AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	2056534200	09/01/02	09/01/03	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (EA OCCURRENCE) \$ 100,000 MED EXP (MAXIMUM PERISON) \$ 10,000 PERSONAL & ADM INURY \$ 1,000,000 GENERAL AGGREGATE \$ 1,000,000 PRODUCTS - COMPLETE \$ 1,000,000
B		AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRE AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	9578849000	09/01/02	09/02/03	COMBINED SINGLE LIMIT (EA ACCIDENT) \$ 1,000,000 BODILY INJURY (PER PERSON) \$ BODILY INJURY (PER PERSON) \$ PROPERTY DAMAGE (PER OCCURRENCE) \$
		GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY EA ACC \$ AUTO ONLY AIGG \$
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
C		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/ MEMBER EXCLUDED? If yes describe under SPECIAL PROVISIONS below	0830-21308	04/23/02	04/23/03	<input checked="" type="checkbox"/> WORK STATE (PER LIMITS) <input type="checkbox"/> OTHER EL EACH ACCIDENT \$ 100,000 EL DISEASE - EA EMPLOYEE \$ 100,000 EL DISEASE - POLICY LIMIT \$ 500,000
		OTHER				

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

Screen Enclosure Contractors / State of Florida

CERTIFICATE HOLDER

CANCELLATION

TOWNS-1 Town of Sewalls Point 1 S Sewalls Point Road Stuart FL 34996	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE <i>Joseph E. Coon</i>
---	--



MARTIN COUNTY, FLORIDA
Construction Industry Lic Bd
Certificate of Competency

License: SP02074
Expires September 30, 2003

HALL, MICHAEL A
EAST COAST SPECIALTIES INC
1758 SW BILTMORE ST
PSL, FL 34984
ALUMINUM/CONCRETE CONTRACTOR



MARTIN COUNTY, FLORIDA
Construction Industry Lic Bd
Certificate of Competency





License: SP02970
Expires September 30, 2003

MCPHETRES, JAMES L
EAST COAST SPECIALTIES INC
1758 SW BILTMORE ST
PSL, FL 34984
ALUMINUM/CONCRETE CONTRACTOR

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 2-28, 2004, Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
④	ROBERT SHAW 15 ISLAND ROAD	TREE	Passed	INSPECTOR: 
6169	ANSPACH 146 N. SEWALLS PKRD EAGLE ELECTRIC	INST 3 LIGHT FIX	Passed	~ 9:00 close INSPECTOR: 
6662	DONATELLI 19 BANYAN TREASURE COAST	MICROWAVE EXHAUST # AIR VENTS AIR HANDLERS	Passed	INSPECTOR: 
⑤	DALTON 6 RIO VISTA DRIVE EAST COAST	SCREENING POOL FINAL	Passed	close INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____

7574

SHUTTERS

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 5/20/05

BUILDING PERMIT NO. 7.574

Building to be erected for DALTON

Type of Permit HURRICANE SHUTTERS

Applied for by O/B

(Contractor) Building Fee $8400 \times 9.60/1000 = 80.64$

Subdivision RIO VISTA Lot 64 Block _____

Radon Fee _____

Address 6 RIO VISTA DRIVE

Impact Fee _____

Type of structure FR

A/C Fee _____

Parcel Control Number:

Plumbing Fee _____

1238410020000064030000

Roofing Fee _____

Amount Paid 100.80 Check # 1370 Cash _____

Other Fees (25% O/B) 20.12

Total Construction Cost \$ 8400.00

TOTAL Fees 100.80

Signed [Signature]

Applicant

Signed [Signature]

Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

APR 28 2005

Town of Sewall's Point BUILDING PERMIT APPLICATION

Permit Number: _____

Date: 4/28/05

OWNER/TITLEHOLDER NAME: DOROTHY DALTON Phone (Day) 287-1545 (Fax) _____

Job Site Address: 6 RIO VISTA DR. City: SEWALLS Pt. State: FL. Zip: _____

Legal Desc. Property (Subd/Lot/Block) _____ Parcel Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: HURRICANE SHUTTERS

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: 8400 ~~APPROX 9,000~~
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

Is Improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: _____ Phone: _____ Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic.# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) _____ CONTRACTOR SIGNATURE (required) _____

State of Florida, County of: MARTIN On State of Florida, County of: _____

This the 28th day of APRIL, 2005 day of _____ 2005

by LOUIS A FRATE who is personally _____ who is personally _____

known to me or produced _____ known to me or produced _____

as identification _____ as identification _____

My Commission Expires _____ My Commission Expires: _____

LAURA A. O'BRIEN
 MY COMMISSION # DD 205961
 EXPIRES: April 28, 2007
 Bonded Thru Notary Public Underwriters

Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

Bonded Thru Notary Public Underwriters

5-20-05

Agree Louis Frate
permissions to
apply for any permits
& pick up permits in
behalf for 6 Rio Vista Dr

Dorothy A Dalton

5-20-05

Known to me
Date 5/20/05

[Signature]



PARCEL ID # 123841002000006403
TAX PSEID #

PERMIT # _____

NOTICE OF COMMENCEMENT

STATE OF _____

COUNTY OF _____

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

RIO VISTA LOT # 64

GENERAL DESCRIPTION OF IMPROVEMENT: HURRICANE SHUTTERS

OWNER: DOROTHY A. DALTON

ADDRESS: 6 RIO VISTA DR

PHONE #: 222-287-1545 FAX #: _____

CONTRACTOR: SELF

ADDRESS: _____

PHONE #: _____ FAX #: _____

SURETY COMPANY (IF ANY): _____

ADDRESS: _____

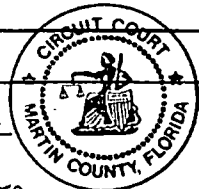
PHONE #: _____

BOND AMOUNT: _____

LENDER: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____



THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.

MARSHA EWING, CLERK
BY: [Signature] M.E.C.
DATE: 5/20/05

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

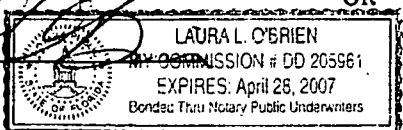
PHONE #: _____ FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE

[Signature]
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 20th DAY OF May
~~MAY~~ BY Dorothy A Dalton

[Signature]
NOTARY SIGNATURE



PERSONALLY KNOWN
PRODUCED ID FDL D435-181-38-952
TYPE OF ID _____ 12/12/05

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: LOUIS FRATE Date: 4/28/05

Signature: Louis Frate

Address: 60 RIO VISTA DR.

City & State: SEWALLS PT. STUART, FL.

Permit No. _____

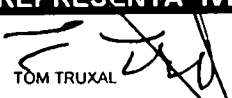
BILLING INFORMATION	DATE	JOB INFORMATION
DOROTHY DALTON 6 RIO VISTA STUART, FL 34996	3/30/2005 CONDOMINIUM PRIVATE HOME	DOROTHY DALTON 6 RIO VISTA STUART, FL 34996

PHONE	CONTACT	OWNER
287-1545		

QUANTITY	WIDTH	HEIGHT	OPENING TYPE	COLOR	DESCRIPTION	COST
1.	1	82.25	WINDOW	WHITE	ACCORDIANS	\$772
2.	1	82.25	WINDOW	WHITE	ACCORDIANS	\$772
3.	1	82.25	ENTRY DOORS	WHITE	ACCORDIANS	\$843
4.	1	42.00	WINDOW	WHITE	MILL PANELS	\$200 175
5.	1	42.00	WINDOW	WHITE	MILL PANELS	\$200
6.	1	43.25	WINDOW	WHITE	ACCORDIANS	\$409
7.	1	43.25	WINDOW	WHITE	ACCORDIANS	\$409
8.	1	114.75	WINDOW	WHITE	ACCORDIANS	\$758 175
9.	1	79.00	SLIDING DOORS	WHITE	ACCORDIANS	\$788
10.	1	79.00	SLIDING DOORS	WHITE	ACCORDIANS	\$788
11.	1	79.00	SLIDING DOORS	WHITE	ACCORDIANS	\$788
12.	1	114.75	WINDOW	WHITE	ACCORDIANS	\$758
13.	1	43.25	WINDOW	WHITE	ACCORDIANS	\$409
14.	1	69.25	WINDOW	WHITE	ACCORDIANS	\$364
15.	1	43.25	WINDOW	WHITE	ACCORDIANS	\$409
16.	1	43.25	WINDOW	WHITE	ACCORDIANS	\$409

SHUTTERS ARE DADE COUNTY APPROVED	DELIVERY TIME 40 WEEKS	TOTAL	\$9,076
FIVE YEAR WARRANTY FOR PARTS AND LABOR (SEE WARRANTY INFORMATION).		DEPOSIT	\$3,022
SHUTTERS MUST BE MAINTAINED PROPERLY (SEE MAINTENANCE INFORMATION).		BALANCE	\$6,054

SPECIAL INSTRUCTIONS:

SALES REPRESENTATIVE	DATE	PURCHASER
TOM TRUXAL 	3/30/05	

ALL CHECKS PAYABLE TO: EXPERT SHUTTER SERVICES INC.

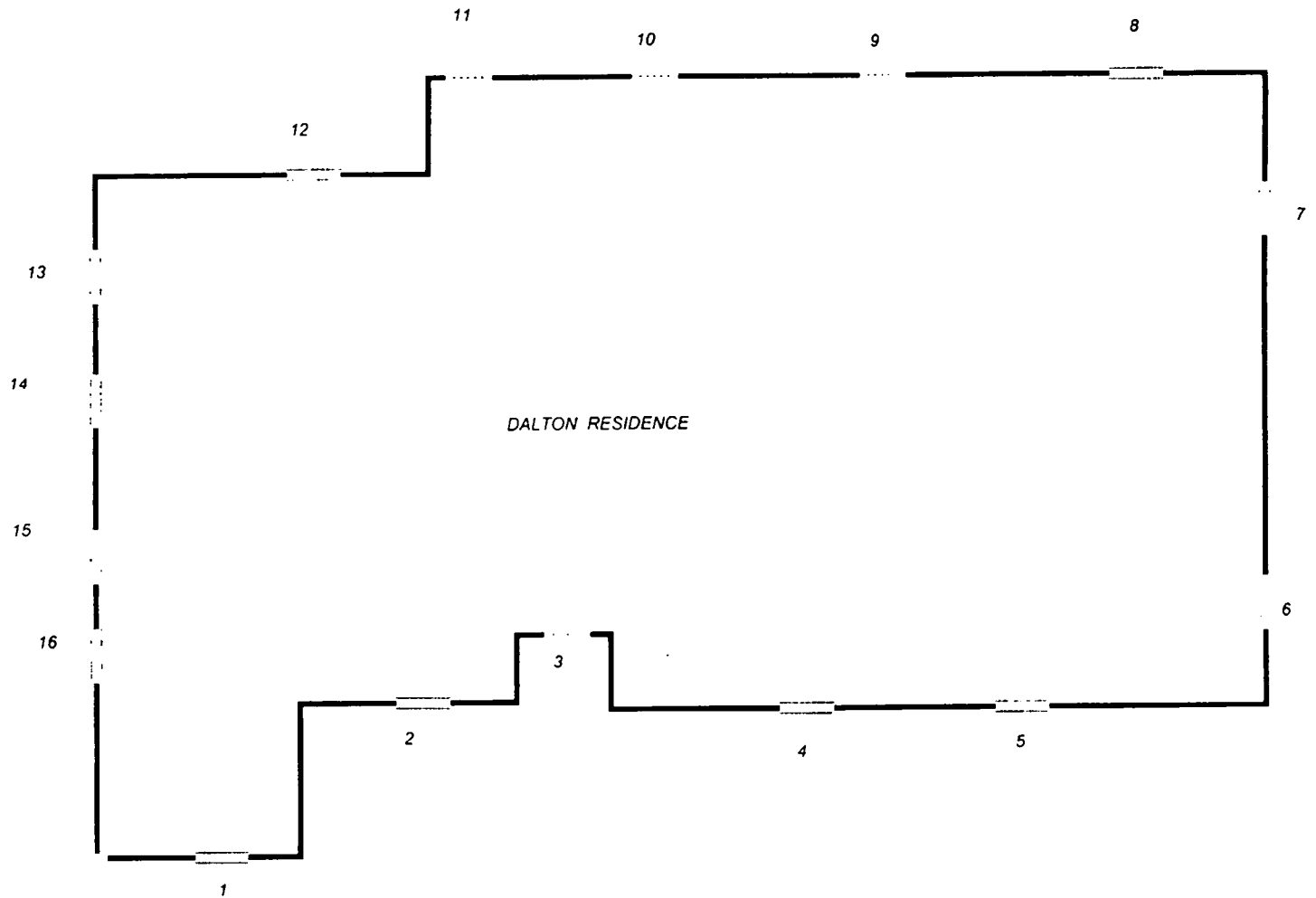
BUYERS RIGHT TO CANCEL"

This is a home solicitation sale, and if you do not want the goods or services, you may cancel this agreement by providing written notice to the seller in person, by telegram, or by mail. This notice must indicate that you do not want the goods or services and must be delivered or postmarked before midnight of the third business day after you sign this agreement.

If you cancel this agreement, the seller may not keep all or part of any cash down payment.


Balance due upon completion. We reserve the right to add on 1.5% per month on any over due invoices.

1626 S.W. Biltmore Street • Port St. Lucie, Florida 34984 • (772) 871-1915 • (800) 749-9056 • Fax (772) 871-0990





BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN REVIEWED FOR CODE COMPLIANCE
DATE: <u>4/29/05</u>

BUILDING OFFICIAL
Gene Simmons

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE

Lookout Shutters, Inc.
1268 Mauldin Road
Calhoun, GA 30734

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: "Lookout" Clear Storm Panels Shutter

APPROVAL DOCUMENT: Drawing No. 9902D, titled "Clear Storm Panel", sheets 1 through 4 of 4, prepared by Thomas J. Twomey, P.E., dated April 04, 2001, last revision dated December 09, 2003, signed and sealed by Thomas J. Twomey, P.E. on December 10, 2003 bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each panel shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.


TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of this page 1, evidence submitted page(s) as well as approval document mentioned above. The submitted documentation was reviewed by Helmy A. Makar, P.E.

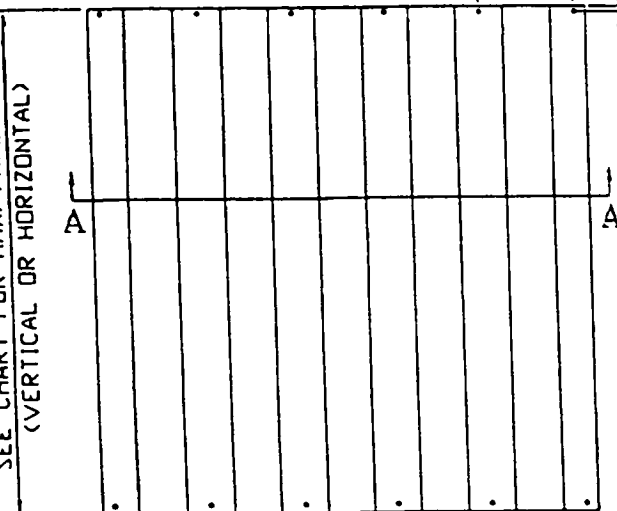



01/08/2004

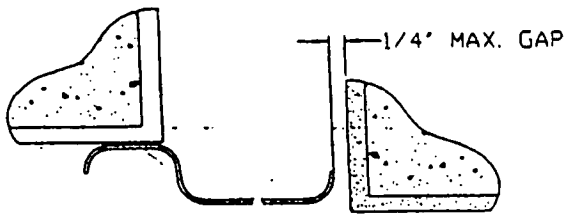
NOA No 01-0802.08
Expiration Date: 01/08/2009
Approval Date: 01/08/2004
Page 1

1/2" DIA. HOLES 6" C/C OR AS NOTED
IN DETAILS A thru F, SHT 3 of 4

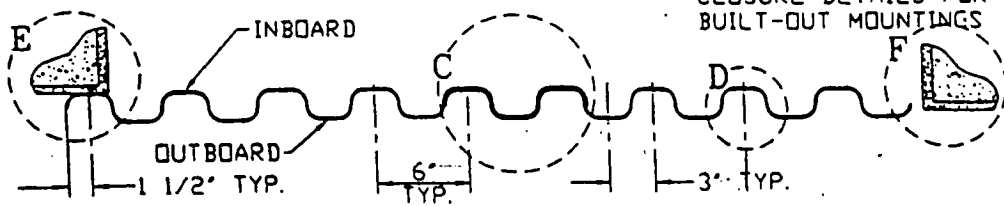
PANEL LENGTH = PANEL SPAN
SEE CHART FOR MAX. PANEL SPAN
(VERTICAL OR HORIZONTAL)



1 1/2" TYP. WIDTH IS PERP. TO PANEL SPAN
SINGLE PANELS 15' TO 33' @ WIDE
MULTIPLE PANELS ANY WIDTH

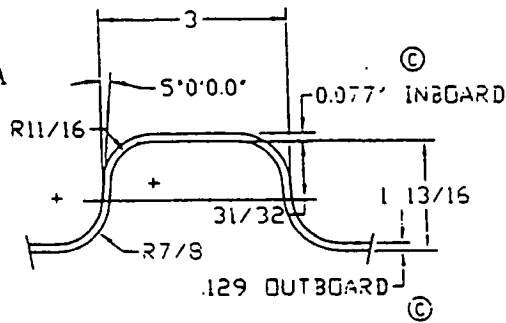


(E) (F) EDGE CLOSURE DETAILS
NO FASTENERS REQUIRED

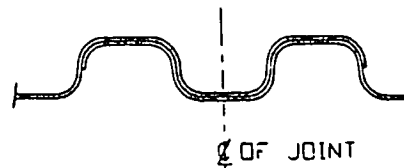


(1) CLEAR STORM PANEL SECTION A-A

3/4" MINIMUM 1/2" DIA. HOLE
TO EDGE DISTANCE TOP
& BOTTOM



(D) PANEL DIMENSIONS



(C) LAP JOINTS
TWO LAP MINIMUM JOINT
MULTIPLE LAPS PERMISSIBLE
NO FASTENERS REQUIRED AT LAP
JOINT. 27" MAX. DISTANCE FROM
℄ TO ℄ OF JOINTS **(D)**

SEE SHEET 4 OF 4 FOR
CLOSURE DETAILS FOR
BUILT-OUT MOUNTINGS

GENERAL NOTES

- THIS SHUTTER SYSTEM IS DESIGNED IN ACCORDANCE WITH THE 2001 EDITION OF THE FLORIDA BUILDING CODE.
- POSITIVE AND NEGATIVE DESIGN PRESSURE CALCULATIONS SHALL BE PERFORMED FOR SPECIFIC JOBS IN ACCORDANCE WITH ASCE 7-98 'MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES.' TABLES SHALL BE REFERENCED AT APPROPRIATE DESIGN LOADS.
- LOOKOUT CLEAR STORM PANELS SHALL BE MADE OF GENERAL ELECTRIC CO. UV RATED LEXAN XL-10 SHEET PER MIAMI-DADE COUNTY N.O.A. #00-0718.02. EXTRUSION SHOWN SHALL BE 6063-T6 ALUMINUM, U.D.N.
- PRODUCT MARKING MUST BE A STAMP OF PERMANENT INK OR A PERMANENT TYPE LABEL AND SHALL BE APPLIED TO THE STORM PANEL IN SUCH A MANNER THAT THE LABEL REMAINS LEGIBLE AND VISIBLE AFTER INSTALLATION AS FOLLOWS:

<p>Approved as complying with the Florida Building Code Date <u>01/08/2004</u> NOA# <u>01-0807-08</u> Miami Dade Product Control Division By <i>[Signature]</i></p>	<p>LOOKOUT SHUTTERS, INC. CALHOUN, GEORGIA MIAMI-DADE COUNTY PRODUCT CONTROL APPROVED</p>
---	---
- ALL BOLTS AND WASHERS SHALL BE GALVANIZED OR STAINLESS STEEL WITH A MINIMUM TENSILE STRENGTH OF 60 K.S.I. UNLESS MADE OF RUBBER.
- TOP & BOTTOM DETAILS SHOWN MAY BE INTERCHANGED AS FIELD CONDITIONS DICTATE. PANELS MAY BE MOUNTED HORIZONTALLY WHERE APPLICABLE.
- PANELS SHALL BE FASTENED ACCORDING TO FASTENER MANUFACTURERS' INSTALLATION SPECIFICATIONS AND AS SHOWN HEREIN.
- TO VERIFY THE ANCHOR CALCULATIONS, A 33-1/3% INCREASE IN ALLOWABLE LOADS HAVE BEEN USED IN THE DESIGN OF THE ANCHORS FOR THIS PRODUCT APPROVAL.

CLEAR STORM PANEL

DATE	BY	REVISIONS
12/19/03	RR	ADD D
4/15/03	RR	MAX C/C 2'
4/15/03	RR	MAX WIDTH
		DATE
		BY
		DESCRIPTION

COMPLIANT WITH FLORIDA BUILDING CODE
LIMIT USE ALSO PROTECTED
BY PENDING PATENTS

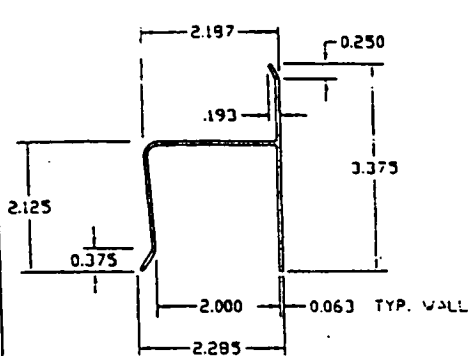
© 2000 LOOKOUT SHUTTERS, INC.

LOOKOUT SHUTTERS, INC.
CLEAR STORM PANEL

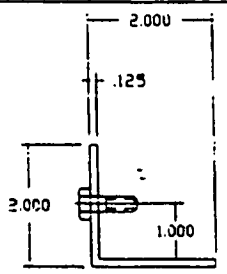
THOMAS TWOMEY
PROFESSIONAL ENGINEER
P.L. NO. 10000
MAY 1988
951-666-2844

SEAL

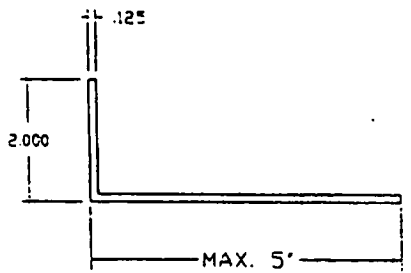
DATE: 12/19/03
DESIGNED BY: JON WISE
DATE: 04/04/01
SCALE: AS SHOWN
DRAWING NUMBER: 9902D
1 OF 4



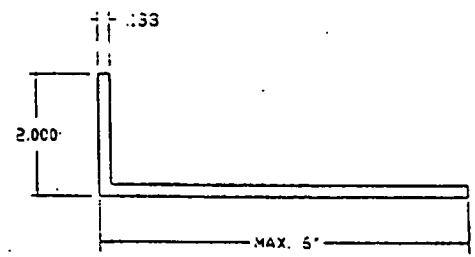
② "h" HEADER



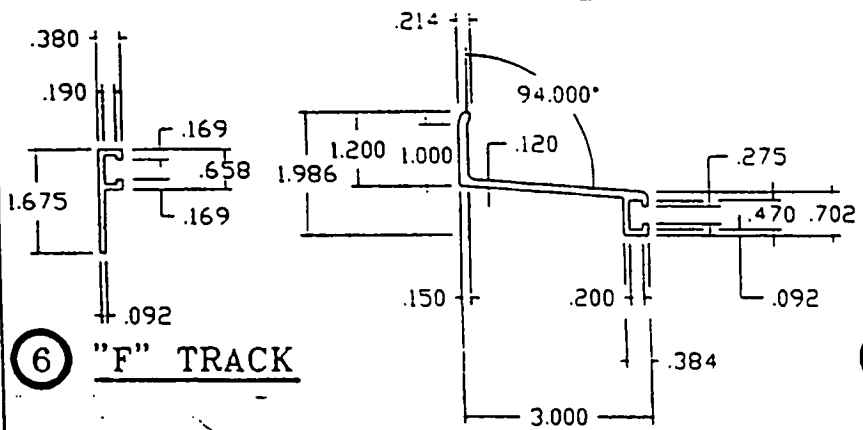
③ STUDDED ANGLE



④ ANGLE



⑤ CLOSURE ANGLE



⑥ "F" TRACK

⑦ EXTENDED "F" TRACK



1/4" ELCO TAPCON WITH 1 3/4" MINIMUM EMBEDMENT & 2" MIN. EDGE DISTANCE

⑧ TAPCON



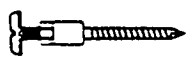
1/4-20 RAWL CALK-IN WITH 7/8" EMBEDMENT, 1/4-20 PAN HEAD BOLT 5/16" DIA. HEAD & 2" MIN. EDGE DISTANCE.

⑨ RAWL CALK-IN
CMU & CONCRETE
USE ONLY



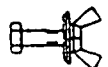
1/4" Ø ELCO MALE PANELMATE PLUS & 1/4-20 WASHER WINGNUT. MUST HAVE 1 7/8" MIN. EMBEDMENT FOR CONC. AND WOOD & 1 1/4" FOR MASONRY WITH 2" MIN. EDGE DISTANCE.

⑩ MALE
PANELMATE



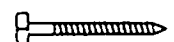
1/4" Ø ELCO FEMALE PANELMATE WITH PAN HEAD BOLT. MUST HAVE 1 7/8" MIN. EMBEDMENT FOR CONC. AND WOOD & 1 1/4" FOR MASONRY WITH 2" MIN. EDGE DISTANCE.

⑪ FEMALE
PANELMATE



1/4-20 HEX HEAD BOLT x 3/4" WITH SPENCER PRODUCTS "LOK LOK" 1/4-20 WASHER/WINGNUT/ INTEGRAL RUBBER WASHER.

⑫ BOLT & LOOK
LOK W' WINGNUT



1/4" LAG BOLT WITH 1 3/4" MIN. THREAD EMBEDMENT IN SHEAR, PARALLEL OR PERPENDICULAR TO WOOD GRAIN & IN CENTER OF WOOD FRAMING MEMBER.

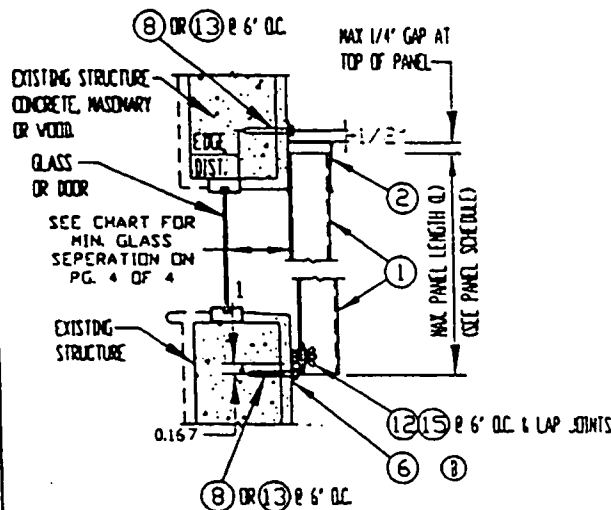
⑬ LAG BOLT
WOOD FRAMING
USE ONLY

Approved as complying with the Florida Building Code
Date: 01/08/2008
MOAS at 08:10:08
Miami Design Product Control
Division
Helmy Abdelhady

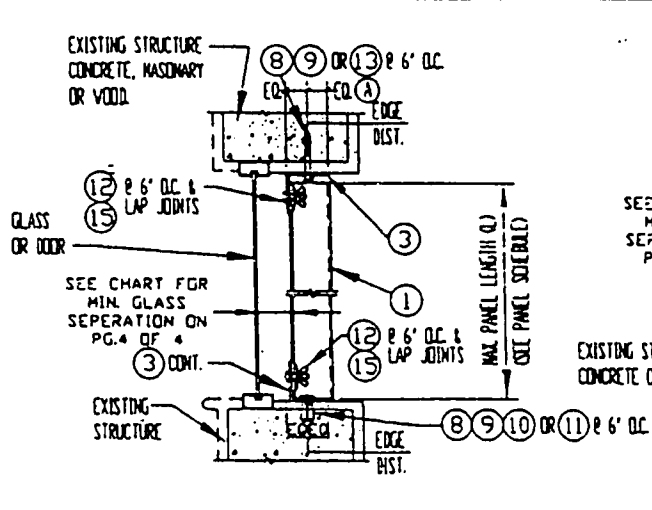
SEE
ADDITIONAL HARDWARE NOTE
AT SHEET

L *EMBEDMENT IS THE DEPTH INTO THE CONCRETE MASONRY UNIT (CMU), CONCRETE OR WOOD FRAMING MEMBER AS NOTED AND DO NOT INCLUDE STUCCO OR OTHER FINISHES.

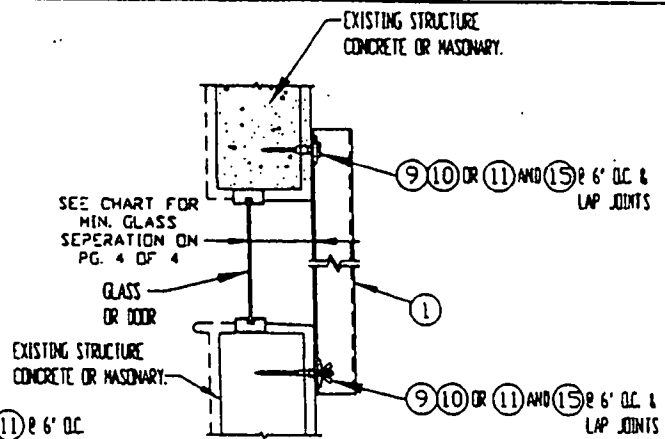
CONTRACTOR'S CHECK FOR CORRECT INFORMATION AND SECURELY IN PROTECTING PATENTS		DATE		REVISIONS	
D	C	A	7/17/2008	BR	GENERAL REVS
		B		STR	DATE
					DESCRIPTION
© 2000 LOOKOUT SHUTTERS, INC.					
LOOKOUT SHUTTERS, INC. CLEAR STORM PANEL					
THOMAS TWOMEY					
PROFESSIONAL ENGINEER					
FLA. REG. NO. 12522					
100 N. W. 10TH AVE. SUITE 100					
MIAMI, FL 33136					
501-886-2644					
SEAL					
<i>[Signature]</i>					
DATE: 01/08/08					
DESIGNED BY: JON WISE					
DATE: 04/04/01					
SCALE: AS SHOWN					
DRAWING NUMBER: 9902D					
2 OF 4					



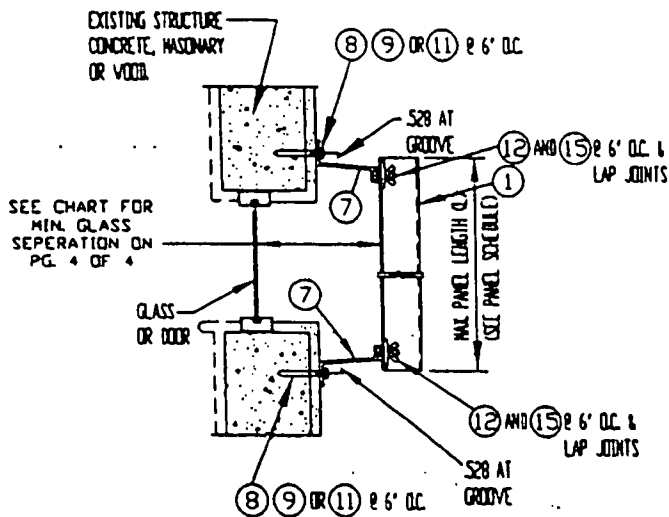
SECTION **A** WALL MOUNT SECTION



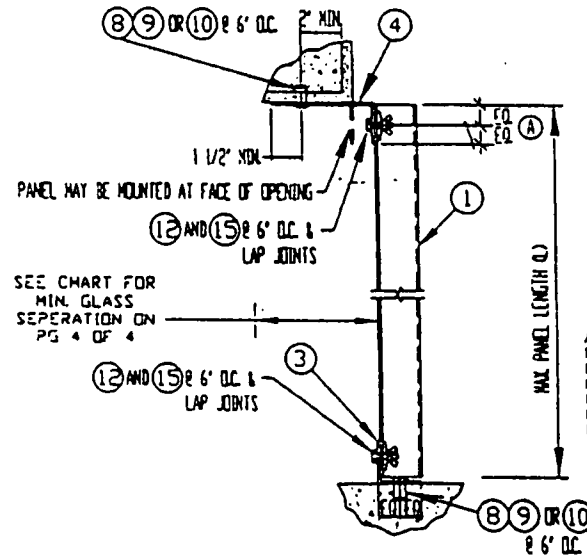
SECTION **B** CEILING/INSIDE MOUNT



SECTION **C** DIRECT MOUNT



SECTION **D** WALL MOUNT

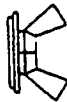


SECTION **E** TRAP MOUNT

DATE	BY	DESCRIPTION
12/9/03	BR JIEH 7	REV
12/9/03	BR LCB	REV
© 2000 LOOKOUT SHUTTERS, INC. ALL RIGHTS RESERVED THIS PRODUCT IS REGISTERED BY PATENT OFFICE REGISTERED TRADEMARK		
LOOKOUT SHUTTERS, INC. CLEAR STORM PANEL THOMAS TWOMEY PROFESSIONAL ENGINEER FLA. REG. NO. 12000 581-688-8844		
Approved as complying with the Florida Building Code Date 01/09/2008 NO. AP-01-0201-08 Manual Ducts Product Control Division By: <i>[Signature]</i>		
DATE	REVISION	BY
04/04/01	1	JON WISE
SEAL DATE: 4/12/08 9902D 3 OF 4		

RUBBER WASHER OF 60 DUROMETER RUBBER
5/8" O.D. x 1/4" I.D. x 1/16" THICK. MUST BE
USED AT ALL CONNECTIONS USING HOLE OR
KEYHOLE OF DETAIL 01, CLEAR STORM PANEL.

15 RUBBER WASHER



SPENCER PRODUCTS "LOOK LOK" 1/4-20
WASHER/ WINGNUT WITH INTEGRAL RUBBER
WASHER

16 "LOOK LOK" WINGNUT

PANEL SCHEDULE

POS.- NEG. DESIGN LOAD V P.S.F.	MAX. PANEL LENGTH 'L' (INCHES)	MINIMUM SEPERATION FROM GLASS SCHEDULE (INCHES)
86	36	4-3/4
81	41-1/2	4-3/4
76	47	4-3/4
71	52-1/2	4-3/4
66	58	4-3/4
61	63-1/2	4-3/4
56	69	4-3/4

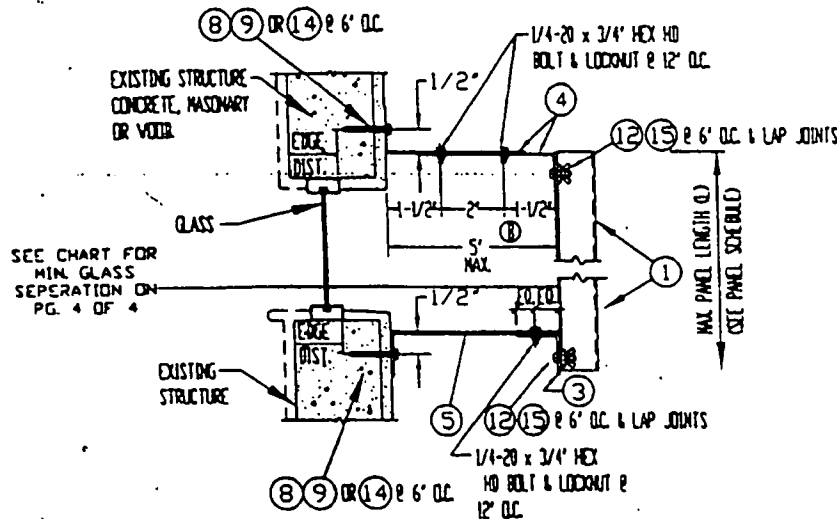
Ⓐ

PANEL SCHEDULE NOTES:

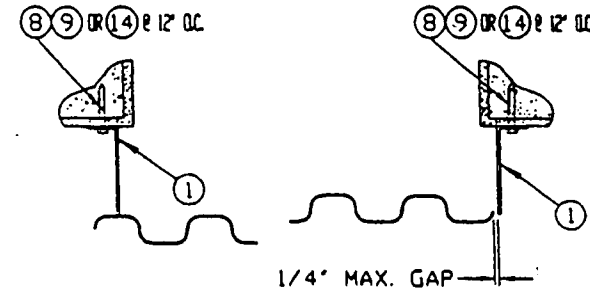
1. ENTER TABLE WITH
NEGATIVE DESIGN LOAD TO
DETERMINE MAX. PANEL SPAN.
POSITIVE LOADS LESS THAN
OR EQUAL TO THE NEGATIVE
LOAD ARE ACCEPTABLE.

2. ENTER TABLE WITH
POSITIVE DESIGN LOAD TO
DETERMINE MINIMUM
SEPERATION FROM GLASS.

3. FOR DESIGN LOADS
BETWEEN TABULATED
VALUES, USE NEXT HIGHER
LOAD OR LINEAR
INTERPOLATION MAY BE
USED TO DETERMINE
ALLOWABLE SPANS.



SECTION F BUILD-OUT MOUNT



SECTION G CLOSURE DETAILS FOR BUILT-OUT MOUNT

Approved as complying with the
Florida Building Code
Date of 10/1/04
MOA# 01-2807-03
Miami Dade Product Control
Division
By: *Walter Adkins*

COMMENTS: THESE CONDITIONS
SHALL BE MAINTAINED
THAT ARE ALSO PROTECTED
BY PENDING PATENTS
© 2000 LOOKOUT
SHUTTERS, INC.
INDUSTRIAL
D C B 12/29/03 BR/DIM ADDED
A 12/15/03 BR/DIM CHR/TEST
DATE BY DESCRIPTION
LOOKOUT
SHUTTERS, INC.
C.P.D. STORM PANELS
THOMA
TWO ME
PROFESSION
REGISTERED
P.L. AND P.E.
ALL RIGHTS RESERVED
THIS PANEL IS
TRADE MARK OF
361-688-22
SEAL
DATE: 12/10
DESIGNED BY
JON VI
DATE:
04/04/
SCALE AS SH
DRAWING NO.
9902
4 OF



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

**Willard Shutter Company Incorporated
4420 N.W. 35th Court
Miami, Florida 33142**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: ASSA / Residential Bertha Accordion Shutter

APPROVAL DOCUMENT: Drawing No. 02-549, titled " ASSA / Residential Bertha Accordion Shutter ", sheets 1 through 10 of 10, prepared by Tilteco, Inc., dated November 19, 2002, last revision #1 dated November 19, 2002 bearing the Miami-Dade County Product Control Renewal stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

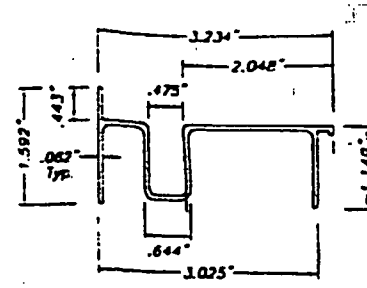
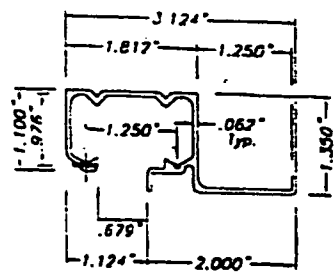
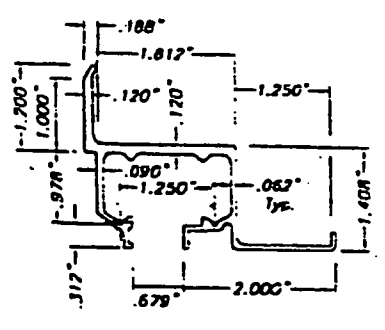
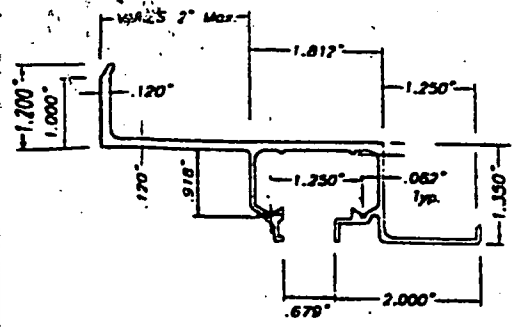
INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 03-0106.15 and consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Helmy A. Makar, P.E.



Helmy A. Makar
08/07/03

NOA No 03-0703.01
Expiration Date: 08/17/2008
Approval Date: 08/07/2003
Page 1

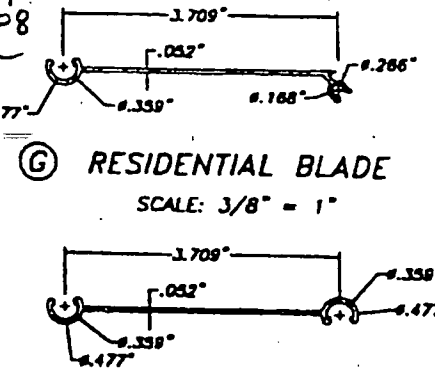
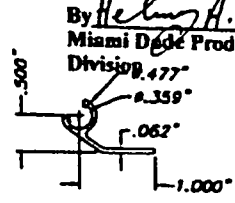
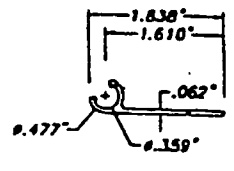
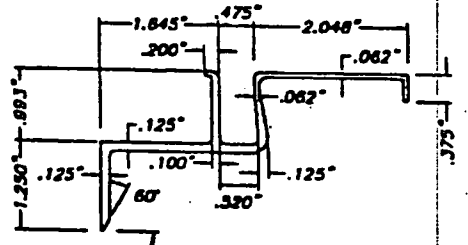
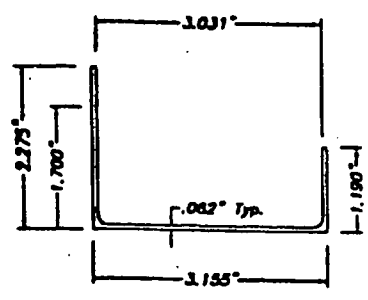


A1 WALL HEADERS (INVERTED USE)
SCALE: 3/8" = 1"

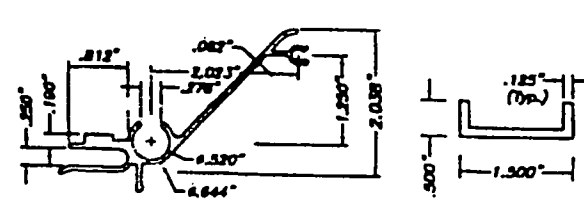
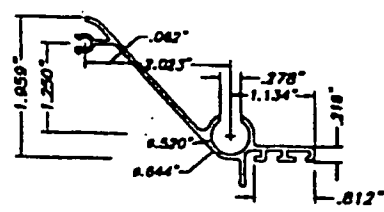
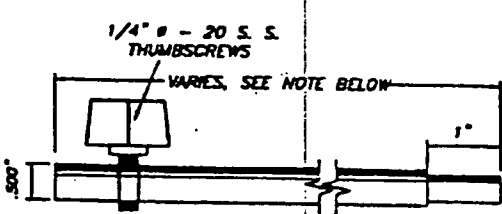
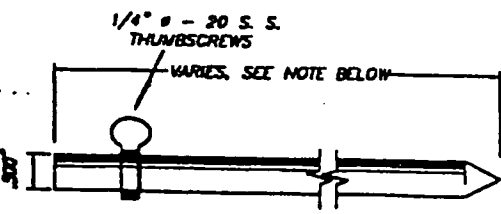
A2 WALL HEADER (INVERTED USE)
SCALE: 3/8" = 1"

B CEILING HEADER
SCALE: 3/8" = 1"

C SILL
SCALE: 3/8" = 1"



G1 FEMALE RESIDENTIAL BLADE
SCALE: 3/8" = 1"



H LOCKING PIN
SCALE: 3/8" = 1"

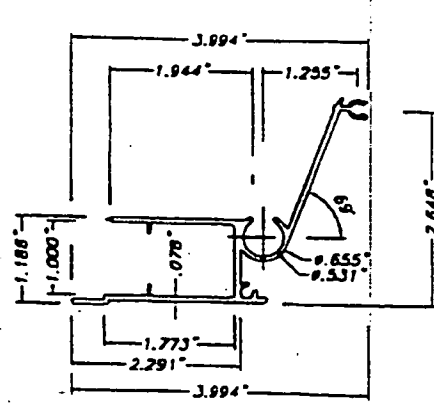
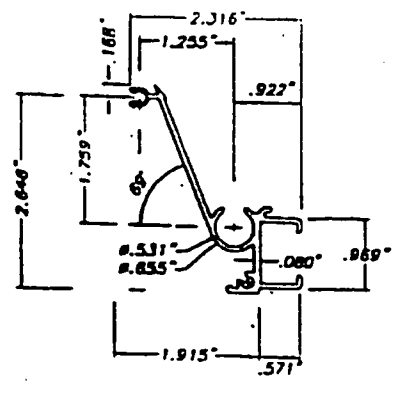
H1 ALTERNATE LOCKING PIN
SCALE: 3/8" = 1"

I MALE LOCK SLAT
SCALE: 3/8" = 1"

J FEMALE LOCK SLAT
SCALE: 3/8" = 1"

K LOCK CLIP
4" LONG
SCALE: 3/8" = 1"

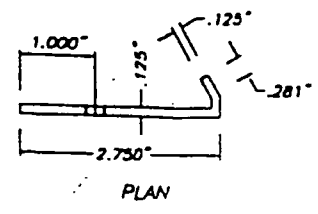
6" MIN. FOR UP TO 9'-0" SHUTTER BLADE LENGTHS.
8" 12" MIN. FOR SHUTTER BLADE LENGTHS GREATER THAN 9'-0" UP TO 12'-0".



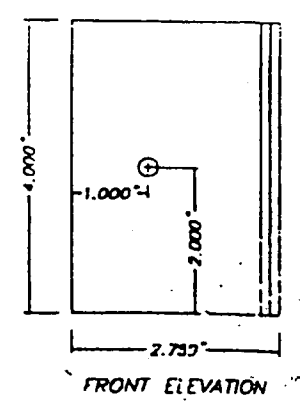
L MALE LOCK SLAT
SCALE: 3/8" = 1"

M FEMALE LOCK SLAT
SCALE: 3/8" = 1"

COMPONENTS



N LOCKER
SCALE: 3/8" = 1"



O ALUMINUM ANGLE
SCALE: 3/8" = 1"

GENERAL NOTES:

- ACCORDION SHUTTER SHOWN ON THIS PRODUCT APPROVAL DOCUMENT HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2001 EDITION OF THE FLORIDA BUILDING CODE. DESIGN WIND LOADS SHALL BE DETERMINED AS PER SECTION 1619 OF THE ABOVE MENTIONED CODE, FOR A BASIC WIND SPEED OF 146 M.P.H. AND IN ACCORDANCE W/ ASCE 7-98 STANDARD. ACCORDION SHUTTER'S ADEQUACY FOR IMPACT AND FATIGUE RESISTANCE HAS BEEN VERIFIED IN ACCORDANCE WITH SECTION 1606.1.4 OF THE ABOVE MENTIONED CODE AS PER ATL REPORT #0802.01-98 & PA-201, PA-202, AND PA-203.
 - STAINLESS STEEL SHEET METAL SCREWS USED AT LOUVER PIN SHALL BE # 10 x 3", 410-HI MINIMUM SERIES W/ 135.0 KSI YIELD POINT & 180 KSI TENSILE STRENGTH. SCREWS SHALL BE COATED WITH NYLAN 5000 SERIES FLUOROPOLYMER COATINGS AS MANUFACTURED BY WHITFORD CO. BOX 507 WEST CHESTER PA. 19381.
 - ALL ALUMINUM EXTRUSIONS SHALL BE 6063-T6 ALLOY.
 - ALL SCREWS TO BE STAINLESS STEEL 304 OR 316 SERIES W/ 50 KSI YIELD POINT AND 90 KSI TENSILE STRENGTH OR CORROSION RESISTANT COATED CARBON STEEL AS PER DIM 5001B.
 - ALL ALUMINUM POP RIVETS TO BE 5052 ALUMINUM ALLOY WITH ALUMINUM MANDREL.
 - BOLTS TO BE 2024-T4 ALUMINUM ALLOY GALVANIZED OR STAINLESS STEEL WITH 35 KSI MINIMUM YIELD POINT.
 - ANCHORS TO WALL SHALL BE AS FOLLOWS: (UNLESS OTHERWISE NOTED)
 - TO EXISTING POURED CONCRETE:
 - 1/4" TAPCON ANCHORS, AS MANUFACTURED BY L.T.W. BULDEF OR ELCO TETTRON, INC.
 - 1/4" ZAMAC NAIL ANCHORS, AS MANUFACTURED BY POWERS FASTENING, INC.
 - 1/4" # 7/8" CALK-IN AS MANUFACTURED BY POWERS FASTENING.
 - MINIMUM EMBEDMENT OF TAPCON ANCHORS INTO POURED CONCRETE IS 1 3/4". MINIMUM EMBEDMENT OF ZAMAC NAIL IS 1 3/8".
 - 1/4" # 7/8" CALK-IN ANCHORS SHALL BE ENTIRELY EMBEDDED INTO THE POURED CONCRETE. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" # 20 SCREWS USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST.
 - IN CASE THAT PRECAST STONE, PRECAST CONCRETE PANELS, OR PAVERS BE FOUND ON THE EXISTING WALL OR FLOOR, ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SUCH PANELS. ANCHORAGE SHALL BE AS INDICATED ON NOTES A.1 & A.2 ABOVE.
 - TO EXISTING CONCRETE BLOCK WALL:
 - 1/4" TAPCON ANCHORS AS MANUFACTURED BY L.T.W. BULDEF OR ELCO TETTRON, INC.
 - 1/4" ZAMAC NAIL ANCHORS AS MANUFACTURED POWERS FASTENING, INC.
 - 1/4" # 7/8" CALK-IN AS MANUFACTURED BY POWERS FASTENING, INC.
 - MINIMUM EMBEDMENT OF TAPCON ANCHORS, AND ZAMAC NAIL ANCHORS INTO THE CONCRETE BLOCK UNIT SHALL BE 1 1/4".
 - 1/4" # 7/8" CALK-IN ANCHORS SHALL BE ENTIRELY EMBEDDED INTO THE CONCRETE BLOCK UNIT. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" # 20 SCREWS USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST.
 - IN CASE THAT PRECAST STONE OR PRECAST CONCRETE PANELS BE FOUND ON THE EXISTING WALL ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SUCH PANELS. ANCHORAGE SHALL BE 1 1/4" MINIMUM FOR ANCHORS MENTIONED IN B.1, & 7/8" FOR ANCHORS MENTIONED IN B.2.
- ANCHORS SHALL BE INSTALLED FOLLOWING ALL OF THE RECOMMENDATIONS AND SPECIFICATIONS OF THE ANCHOR'S MANUFACTURER.
- BLADE G, AND THE KNUCKLES FOR CENTERMATES D, D, D & D, & THE STARTERS F & F1 ARE UNDER THE PATENT OF EASTERN METALS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SOUNDNESS OF THE STRUCTURE WHERE SHUTTER IS TO BE ATTACHED TO INSURE PROPER ANCHORAGE.
- EACH UNIT MUST BEAR A PERMANENT LABEL IN A VISIBLE PLACE WITH A WARNING NOTE INSTRUCTING THE TENANT OR HOME OWNER THAT ALL LOCKING PINS, AS WELL AS BOTH LOCKERS MUST BE PROPERLY INSTALLED & BOLTED DURING PERIODS OF HURRICANE WARNING.
- SHUTTER'S MANUFACTURER STAMP SHALL BE PLACED ON THE EXPOSED SURFACE OF THE FEMALE LOCK SLAT (COMPONENT J OR J1). ONE LABEL SHALL BE PLACED FOR EVERY OPENING. LABEL SHALL READ AS FOLLOWS: WILLARD SHUTTER COMPANY INCORPORATED, MIAMI, FL, MIAMI-DADE COUNTY PRODUCT CONTROL APPROVED.

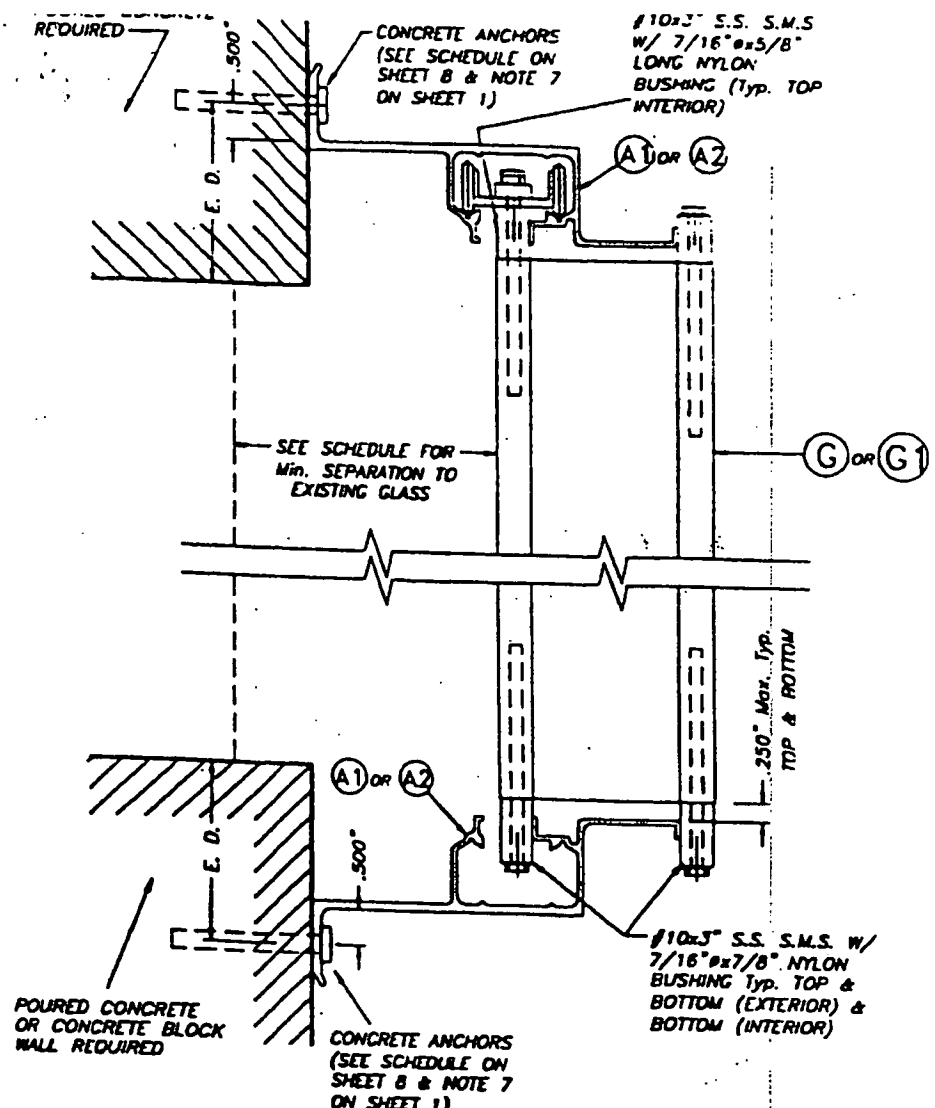
12. (a) THIS PRODUCT APPROVAL DOCUMENT (P.A.D.) PREPARED BY THIS ENGINEER IS GENERIC AND DOES NOT PROVIDE INFORMATION FOR A SITE SPECIFIC PROJECT; I.E. WHERE THE SITE CONDITIONS DEVIATE FROM THE P.A.D.
 (b) CONTRACTOR TO BE RESPONSIBLE FOR THE SELECTION, PURCHASE AND INSTALLATION OF THIS PRODUCT BASED ON THIS PRODUCT APPROVAL PROVIDED HE/SHE DOES NOT DEVIATE FROM THE CONDITIONS DETAILED ON THIS DOCUMENT.
 (c) THIS PRODUCT APPROVAL DOCUMENT WILL BE CONSIDERED INVALID IF MODIFIED.
 (d) SITE SPECIFIC PROJECTS SHALL BE PREPARED BY A FLORIDA REGISTERED ENGINEER OR ARCHITECT WHICH WILL BECOME THE PROFESSIONAL OF RECORD (P.O.R.) FOR THE PROJECT AND WHO WILL BE RESPONSIBLE FOR THE PROPER USE OF THE P.A.D. PROFESSIONAL OF RECORD, ACTING AS DELEGATED ENGINEER TO THE F.A.C. (MOMENT), SHALL SUBMIT TO THIS LATTER THE SITE SPECIFIC DRAWINGS FOR REVIEW.
 (e) THIS P.A.D. SHALL BEAR THE DATE AND ORIGINAL SEAL AND SIGNATURE OF THE PROFESSIONAL ENGINEER THAT PREPARED IT.

PRODUCT REVISED
 as complying with the Florida
 Building Code
 Acceptance No 03-0106.15
 Expiration Date 08/17/2003
 By *Helmut A. Mohr*
 Miami Dade Product Control
 Division

F.B.C.(H.V.H.Z./MIAMI-DADE COUNTY

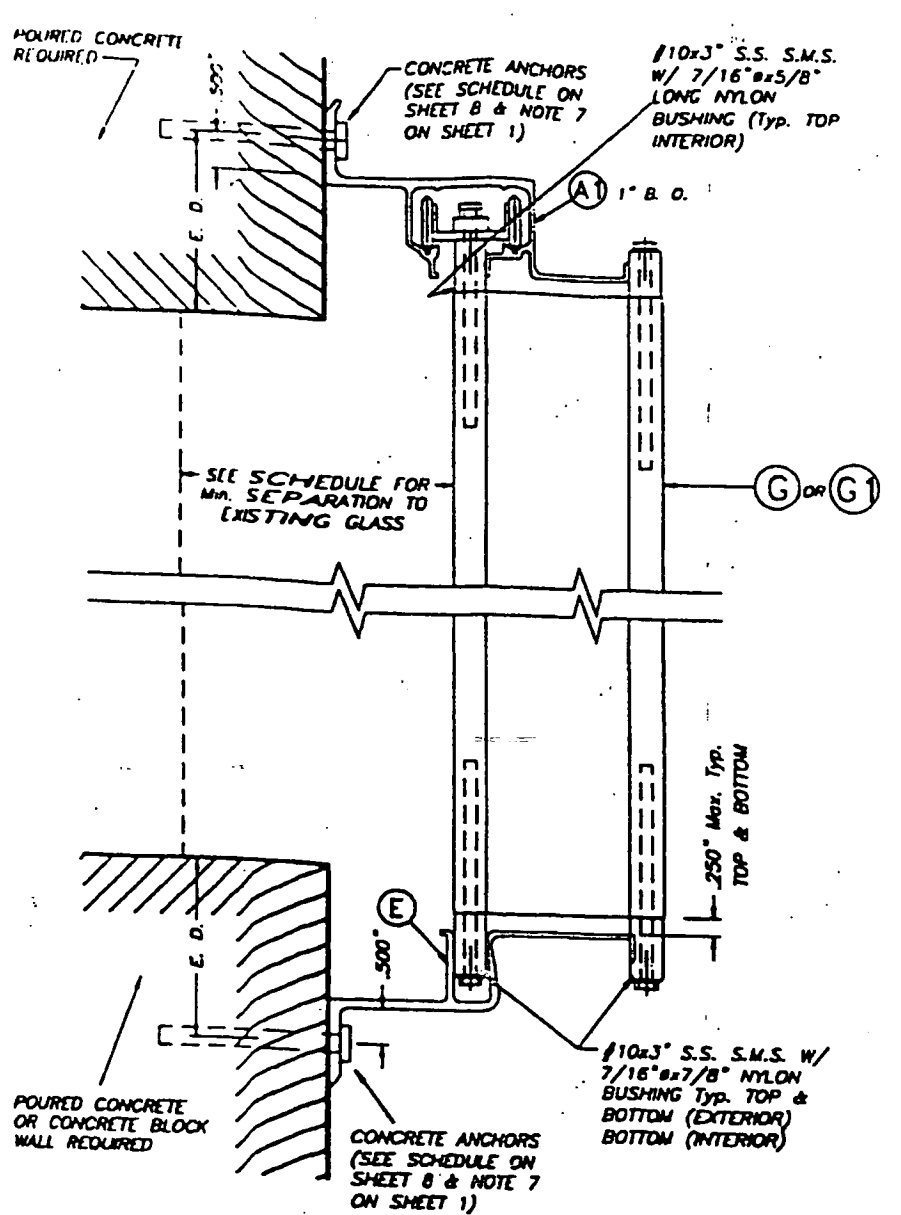
<p>TILTECO inc. TILLIT TESTING & ENGINEERING COMPANY 8345 N.W. 30th St., Ste. 317, WILMINGTON, FLORIDA 33148 Phone: (305) 471-1530 Fax: (305) 471-1531 E6-0006719 WALTER A. TILLIT J., P.E. FLORIDA LIC. # 44167</p>		ASSA / RESIDENTIAL BERTHA ACCORDION SHUTTER AS SHOWN SCALE
WILLARD SHUTTER COMPANY INCORPORATED (ASSA # 180) 4428 N.W. 35th COURT MIAMI, FLORIDA 33142		11/18/02 DATE 02-549 DRAWING No SHEET 1 OF 10
REV. NO. DESCRIPTION DATE 1 OLD 02-185 11/18/02	REV. NO. DESCRIPTION DATE 2 - - - - -	

12/19/02



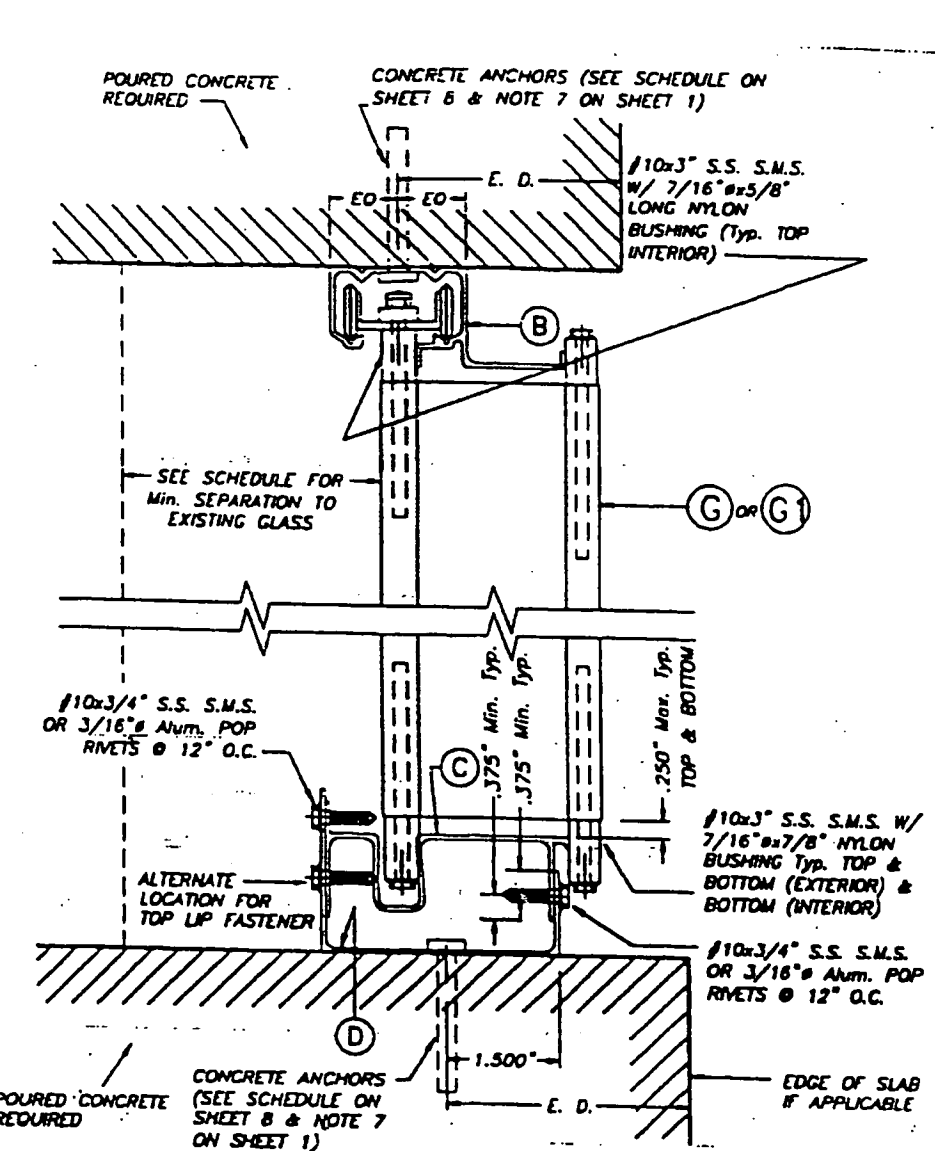
WALL MOUNTING INSTALLATION

- SECTION A SCALE: 3/8" = 1"



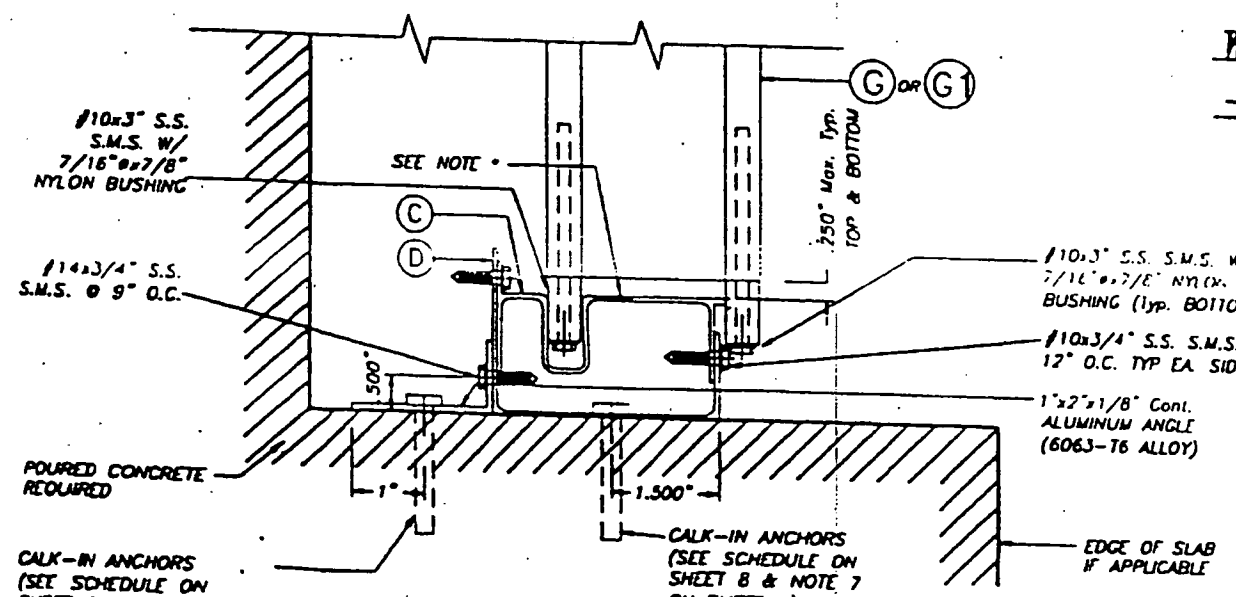
WALL MOUNTING INSTALLATION

- SECTION A1 SCALE: 3/8" = 1"



CEILING & FLOOR MOUNT. INSTALLAT.

- SECTION B SCALE: 3/8" = 1"



REMOVABLE FLOOR MOUNTING INSTALLATION

- SECTION B1 SCALE: 3/8" = 1"

* ALTERNATIVELY TO 1" x 2" ALUM. ANGLE W/ ANCHOR, DRILL HOLE AT (C) TO INSTALL CALK-IN AT (D). COVER HOLE WITH NYLON CAPS.

E. D. = EDGE DISTANCE (SEE SCHEDULE ON SHEET 2 OF 10)

NOTE FOR COMBINATION OF SECTIONS:
WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

PRODUCT REVISIONS
Building Code
Acceptance No 03-0703.01
Expiration Date 08/17/2008
By: *[Signature]*
Miami Dade Product Control Division

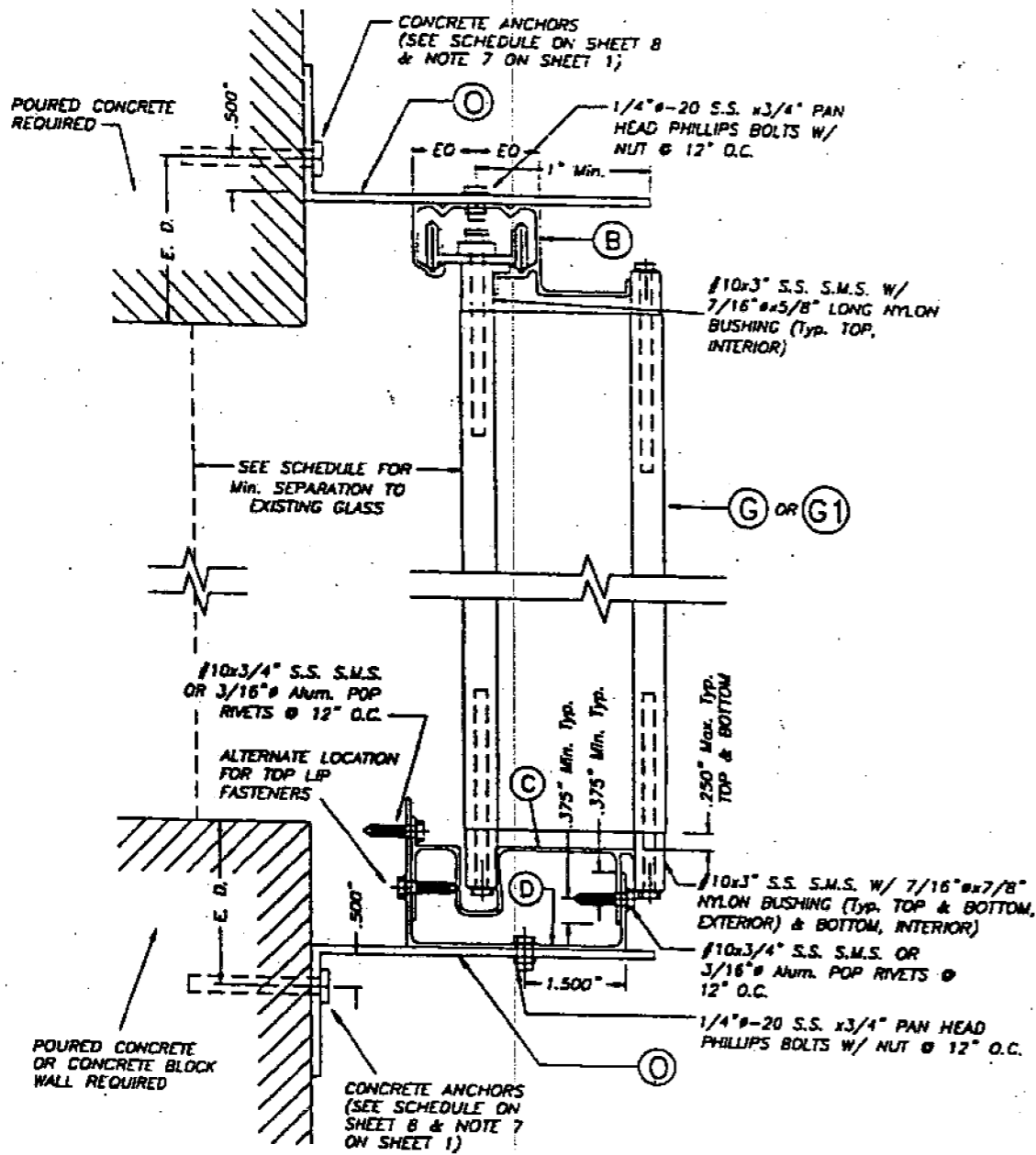
PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No 03-0106.15
Expiration Date 08/17/2008
By: *[Signature]*
Miami Dade Product Control Division

F.B.C.(H.V.H.Z.)/MIAMI-DADE COUNTY

TILECO INC.
TILIT TESTING & ENGINEERING COMPANY
6385 N.W. 30th St., Suite 217, Miramar, Florida 33142
Phone: (305) 271-1530 Fax: (305) 271-1531
EB-0006719
WALTER A. TILIT JR., P. E.
FLORIDA LIC. # 44167

ASSA / RESIDENTIAL BERTHA ACCORDION SHUTTER		AS SHOWN SCALE
WILLARD SHUTTER COMPANY INCORPORATED (ASSA # 180) 4426 N.W. 35th COURT MIAMI, FLORIDA 33142		11/18/02 DATE
		02-549 DRAWING No
		SHEET 2 OF 10

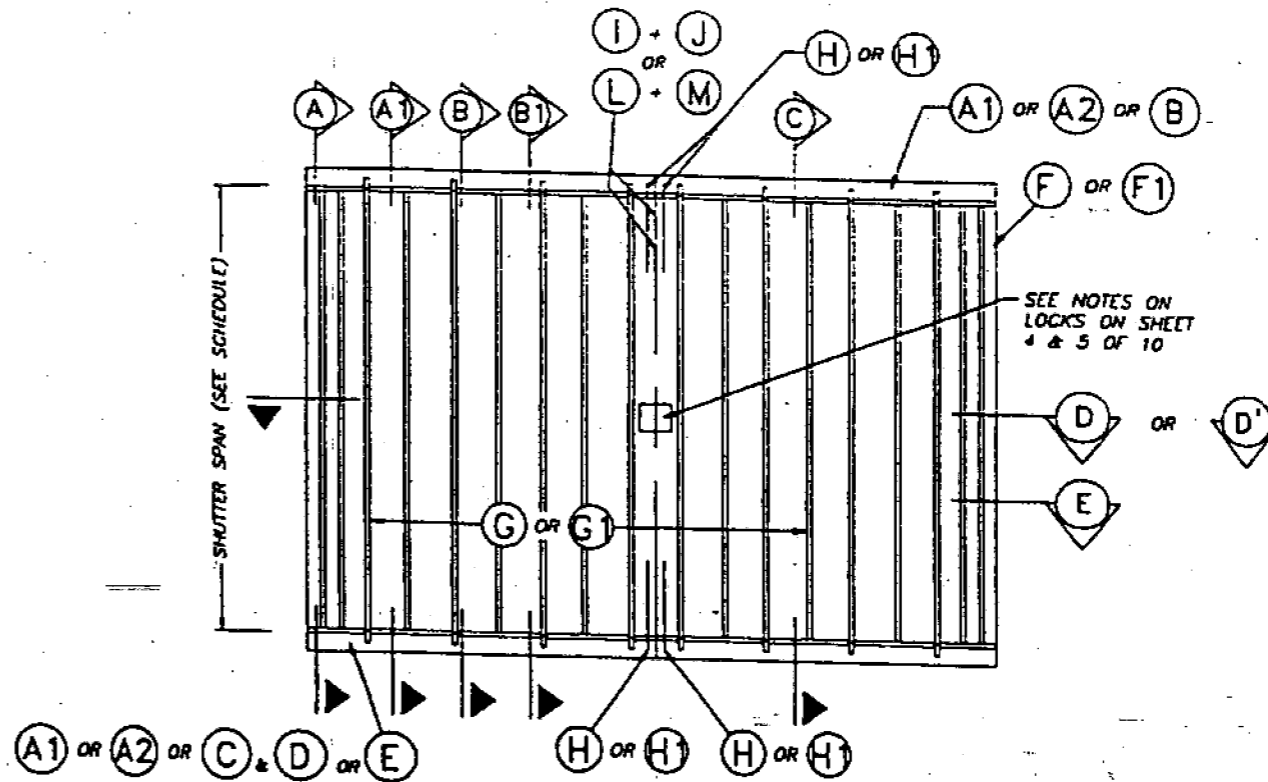
[Handwritten Signature]
T.M. 8/02



WALL MOUNTING INSTALLATION (BUILD-OUT)

- SECTION C

SCALE: 3/8" = 1"



TYPICAL ELEVATION N. T. S.

E. D. = EDGE DISTANCE (SEE SCHEDULE ON SHEET 8 OF 10)

NOTE FOR COMBINATION OF SECTIONS :
WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

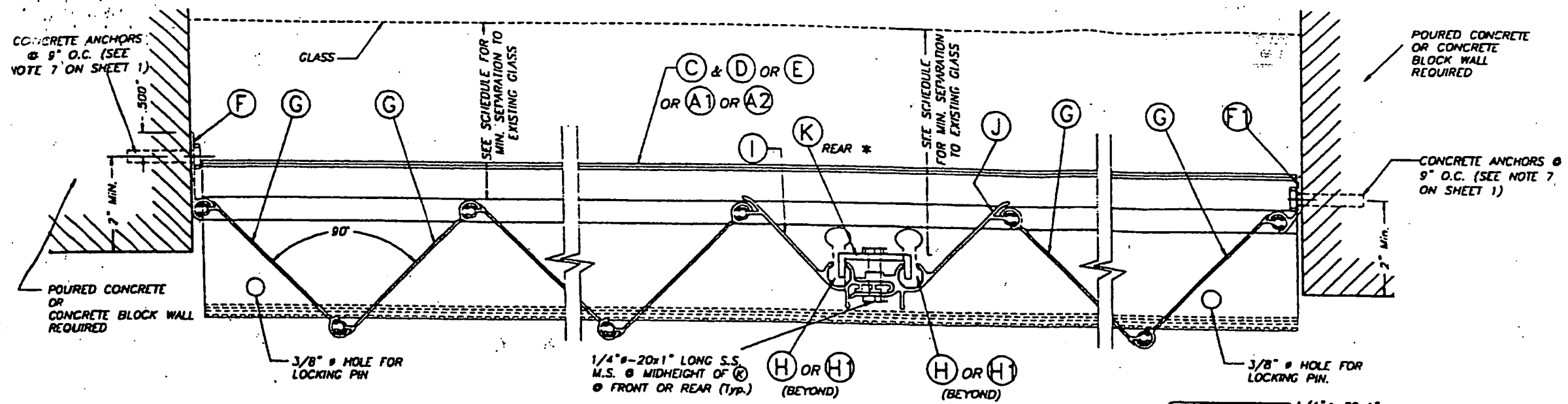
PRODUCT RENEWED as complying with the Florida Building Code
Acceptance No. 03-0703.01
Expiration Date 08/17/2008
By *Helmut A. Mader*
Miami Dade Product Control Division

PRODUCT REVISED as complying with the Florida Building Code
Acceptance No. 03-0106.15
Expiration Date 08/17/2003
By *Helmut A. Mader*
Miami Dade Product Control Division

Handwritten signature and date: 11/19/02

F.B.C.(H.V.H.Z.)/MIAMI-DADE COUNTY

 TILECO INC. <small>TILLIT TESTING & ENGINEERING COMPANY</small> <small>6385 N.W. 35th St., Ste. 217, MIAMI GARDENS, FLORIDA 33142</small> <small>Phone: (305) 471-1530 Fax: (305) 471-1531</small> <small>EB-0006719</small> <small>WALTER A. TILLIT JR., P. E.</small> <small>FLORIDA Lic. # 44167</small>	ASSA / RESIDENTIAL BERTHA ACCORDION SHUTTER	AS SHOWN SCALE												
	WILLARD SHUTTER COMPANY INCORPORATED <small>(ASSA # 180)</small> <small>4420 N.W. 35th COURT</small> <small>MIAMI, FLORIDA 33142</small>	11/19/02 DATE	02-549 DRAWING No											
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REV. No.	DESCRIPTION	DATE	REV. No.	DESCRIPTION	DATE									
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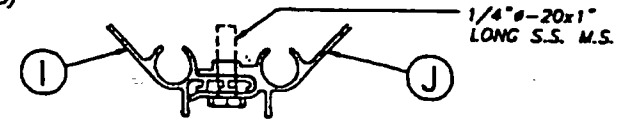
SECTION D

SCALE: 3/8" = 1"

NOTES ON LOCKS: APPLICABLE TO LOCK DETAILS SHOWN ON THIS SHEET.

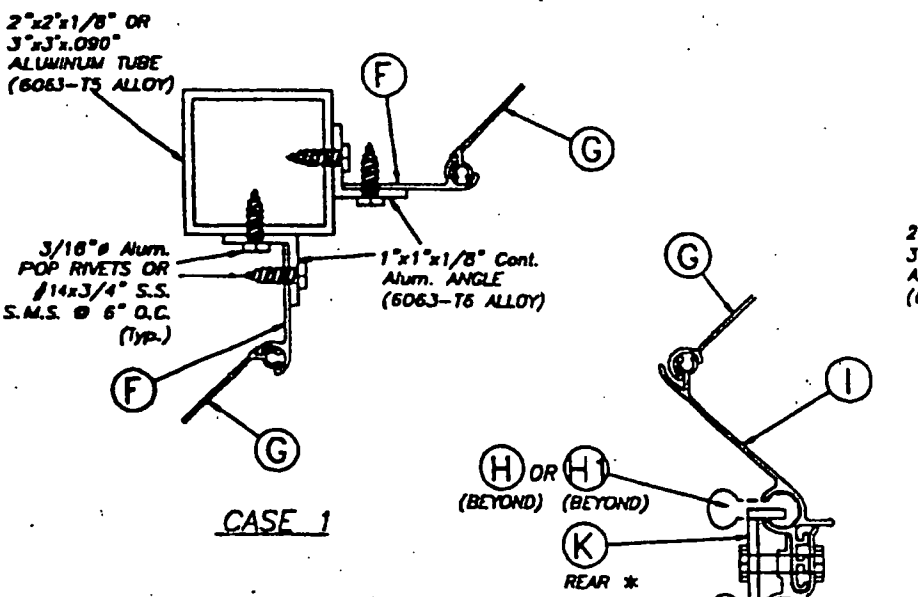
* CENTERMATES (1) & (2) SHALL ALWAYS BE LOCKED BY USING LOCK CLIP (K) INSTALLED FROM THE INSIDE OF SHUTTER W/ 1/4" #20 x 1" S.S. SIDEWALK BOLT AS SHOWN ON SECTIONS D & F. BOLT SHALL PENETRATE (K) LOCK CLIP, AS WELL AS (1) & (2) ENTIRELY. LOCK CLIP (K) 1/2" FLANGES SHALL FIT ENTIRELY INTO (1) & (2) LOCKING PIN GROOVES BEFORE SIDEWALK BOLT IS TIGHTENED.

** ALTERNATIVELY TO USING (K) LOCK CLIP, CENTERMATES (1) & (2) SHALL ALWAYS BE LOCKED BY INSTALLING A 1/4" #20 x 1" S.S. SIDEWALK BOLT DIRECTLY THRU BOTH CENTERMATES. FOR THIS PURPOSE, (1) & (2) CENTERMATES SHALL BE PRE-DRILLED AT THE BOLT LOCATION AS WELL AS TAPPED THRU IN ORDER TO ACCEPT THE 1/4" #20 SIDEWALK BOLT. THIS BOLT MAY BE INSTALLED FROM EITHER THE FRONT OR REAR OF SHUTTER.

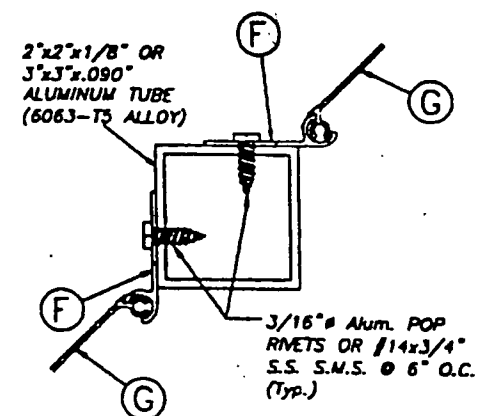


SECTIONS D, D' & E W/O (K) **

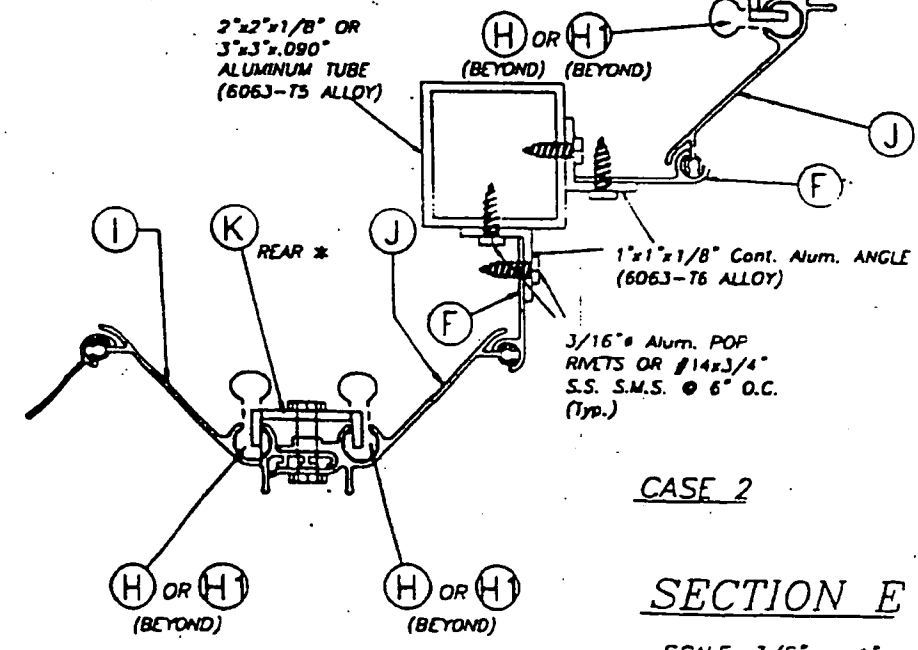
SCALE: 3/8" = 1"



CASE 1



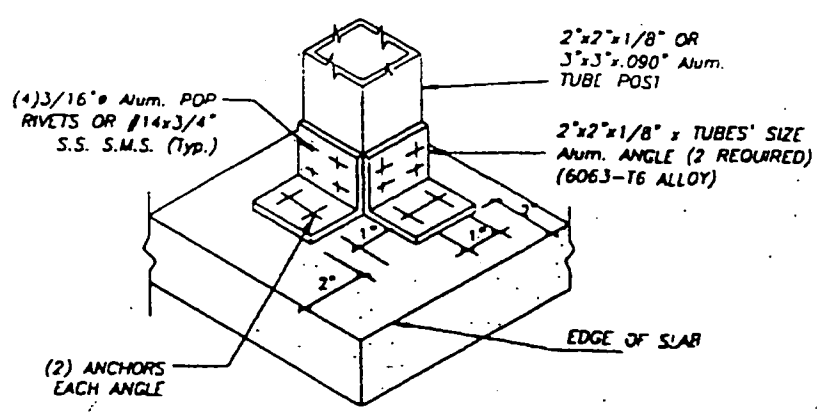
CASE 3



CASE 2

SECTION E

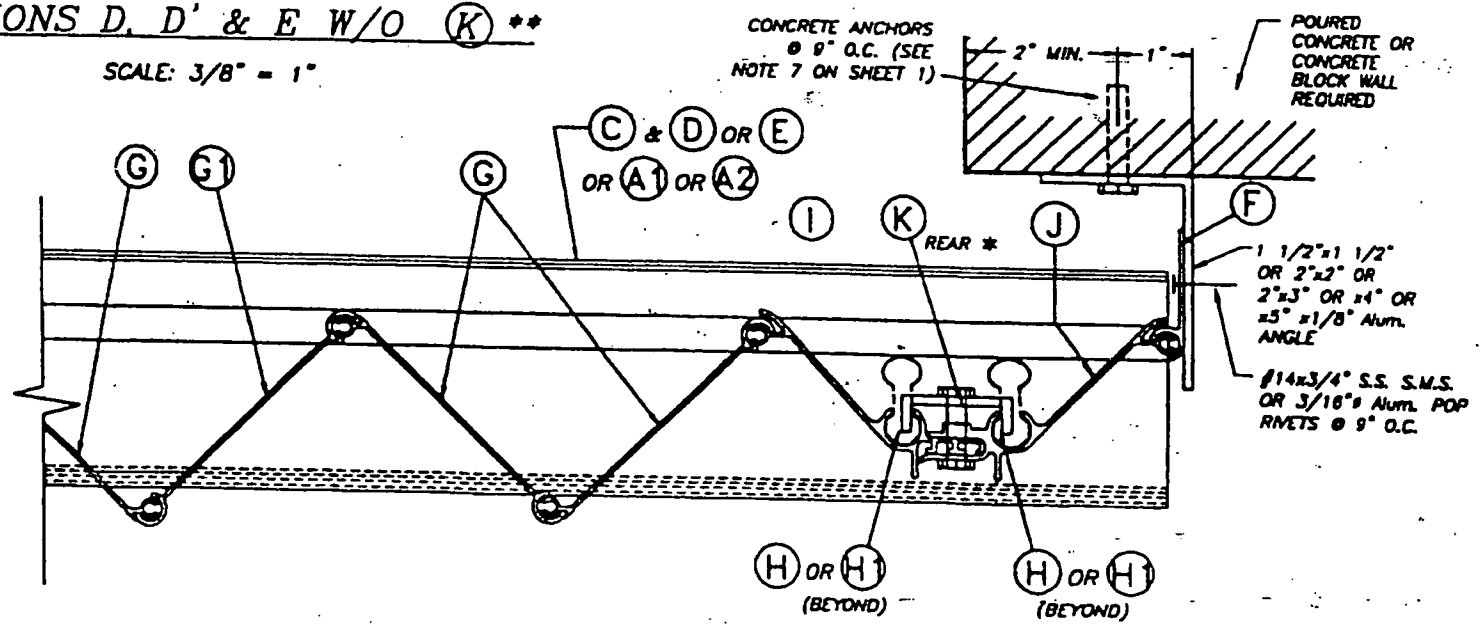
SCALE: 3/8" = 1"



ISOMETRIC (CORNER POST) & BOTTOM SLABS

(Typ. AT TOP & BOTTOM SLABS)

Handwritten signature and date: 1/11/02



SECTION D' : ONE SIDED SHUTTER END CONNECTION DETAIL

SCALE: 3/8" = 1"

PRODUCT RENEWED as complying with the Florida Building Code Acceptance No. 03-0703-01 Expiration Date 05/17/2006

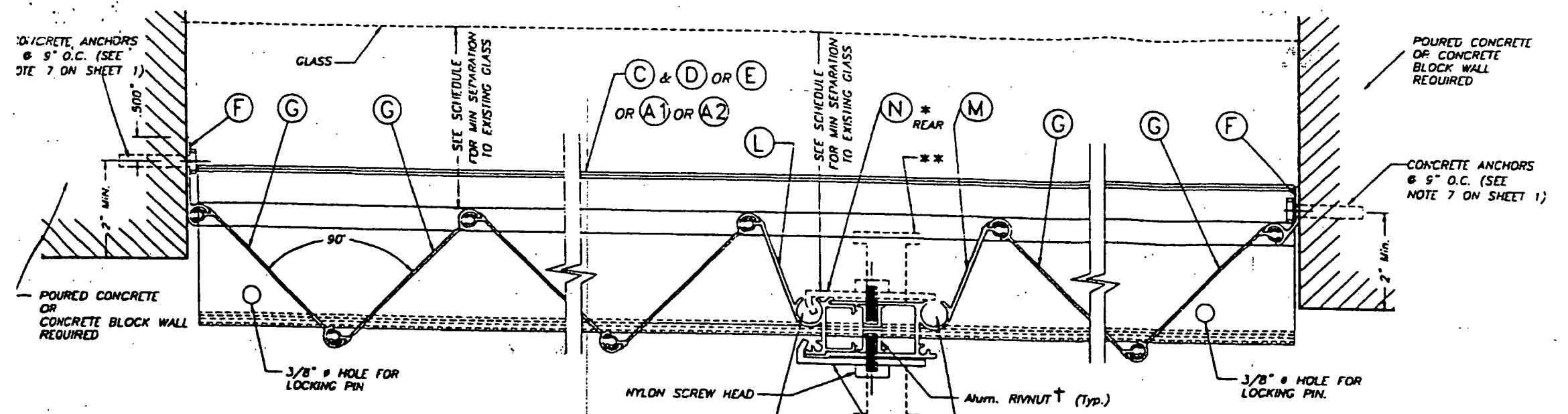
By *Helmut A. Moller*
Miami Dade Product Control Division

PRODUCT REVISED as complying with the Florida Building Code Acceptance No. 03-0106-15 Expiration Date 06/17/2003

By *Helmut A. Moller*
Miami Dade Product Control Division

F.B.C.(H.V.H.Z.)/MIAMI-DADE COUNTY

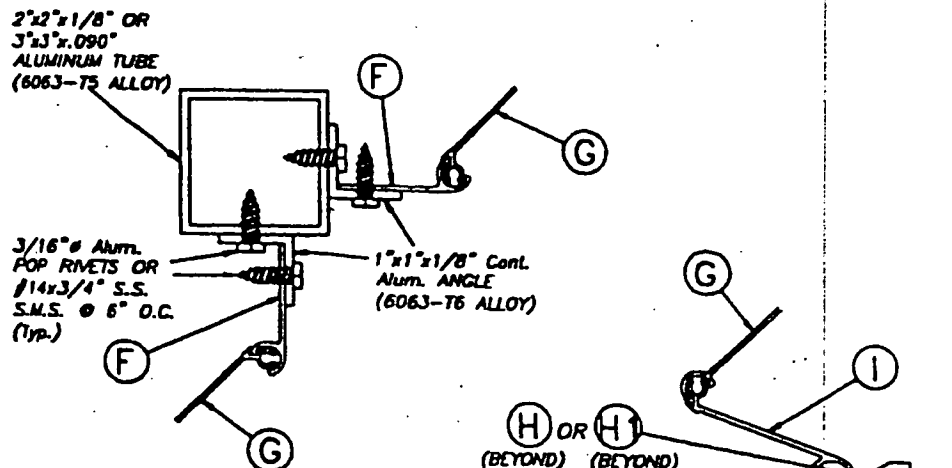
		ASSA / RESIDENTIAL BERTHA ACCORDION SHUTTER		AS SHOWN SCALE	
		WILLARD SHUTTER COMPANY INCORPORATED (ASSA # 180)		11/19/02 DATE	
TILLIT TESTING & ENGINEERING COMPANY 6580 N.W. 38th St. Box 317, Virginia Gardens, Florida 33148 Phone: (305) 971-1530 Fax: (305) 971-1531 EB-0006719 WALTER A. TILLIT JR., P. E. FLORIDA Lic. # 44167		4420 N.W. 35th COURT MIAMI, FLORIDA 33142		02-549 DRAWING No	
REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	OLD 02-185	11/18/02	2		
2					



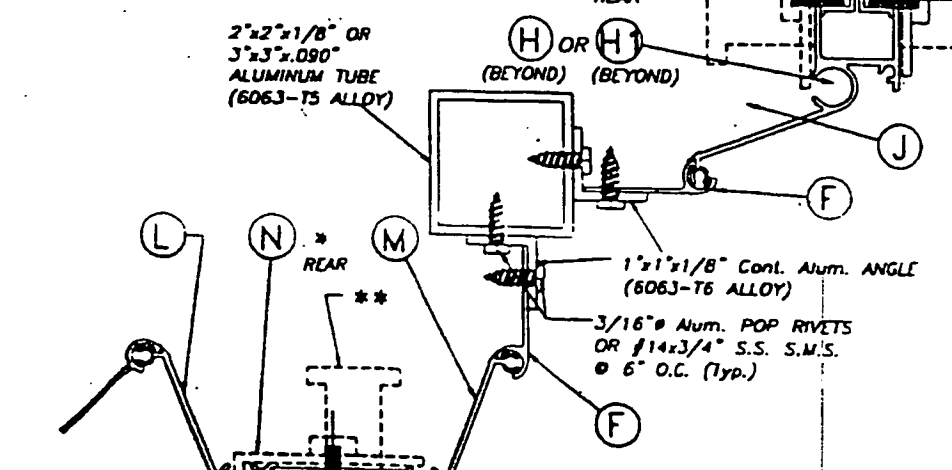
NOTES ON LOCKS: APPLICABLE TO LOCK DETAILS SHOWN ON THIS SHEET.

- LOCKER (N) SHALL ALWAYS BE USED FOR ANY SPAN AND INSTALLATIONS AT ANY ELEVATION. LOCKER (N) MAY BE USED AS AN INSIDE OR OUTSIDE LOCKER IF ATTACHED TO (C) & (M) W/ 1/4" Ø-20 x 1" LONG S. S. THREADED BOLT W/ 1/4" Ø-20 x 5/8" INTERNALLY THREADED ALUMINUM RIVNUT. SEE INSTALLATION DETAIL ON THIS SHEET.
- FOR INSTALLATIONS AT ANY ELEVATION OF BUILDING AND IN ADDITION TO (N) LOCKERS, A REGULAR T LOCK MAY BE USED FOR SECURITY PURPOSES AT ANY DESIRED LOCATION OF CENTERMATE (INSIDE OR OUTSIDE). WHEN USED INSIDE, MINIMUM SEPARATION TO GLASS SHALL ALSO BE VERIFIED FROM THE TIP OF SUCH T LOCK OR FROM THE OTHER SHUTTER COMPONENTS SHOWN ON SECTION D (WHICHEVER IS MORE CRITICAL).
- †: SERIES 9444 ALUMINUM (2024-T3 ALLOY) LARGE FLANGE THIN SHEET NUTSERT, PART # 0820, AS MANUFACTURED BY AVDEL CHERRY TEXTORN, PARSIPPANY, NEW JERSEY 07054 OR EQUAL.

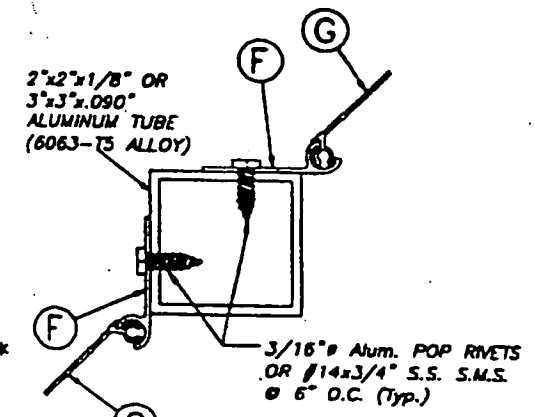
SECTION D
SCALE: 3/8" = 1"



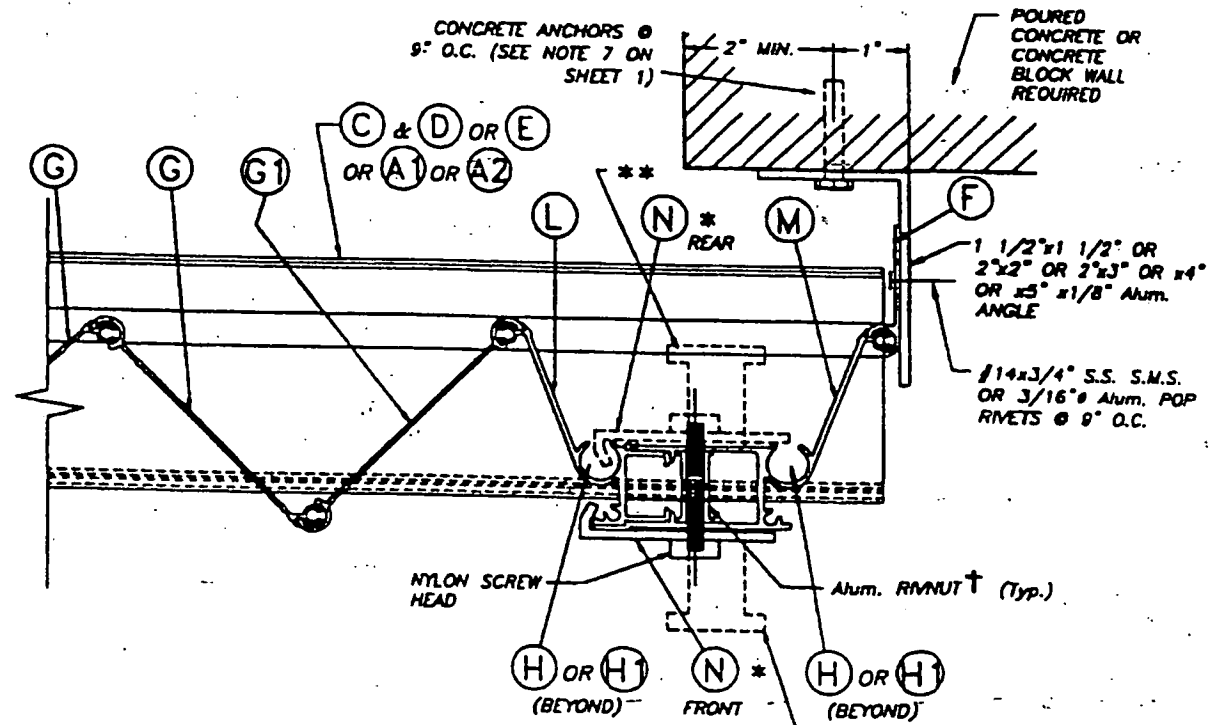
CASE 1



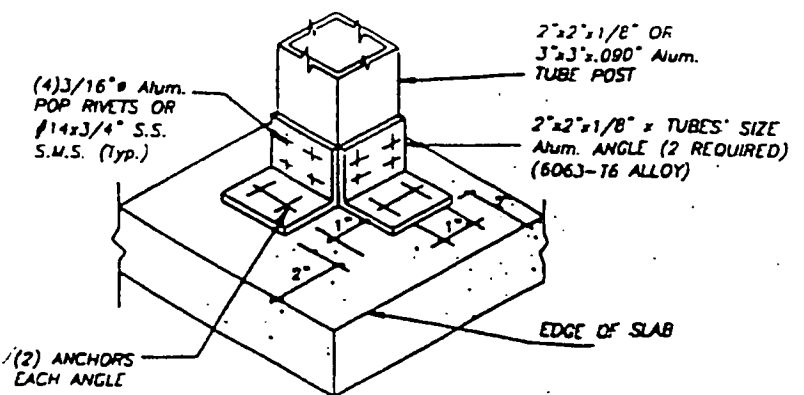
CASE 2



CASE 3



ONE SIDED SHUTTER: END CONNECTION DETAIL
SCALE: 3/8" = 1"



ISOMETRIC (CORNER POST) (Typ. AT TOP & BOTTOM SLABS)

SECTION E
SCALE: 3/8" = 1"

PRODUCT RENEWED as complying with the Florida Building Code
Acceptance No. 03-0703.01
Expiration Date: 05/17/2005
By: *Helmut A. Mohr*
Miami Dade Product Control Division

PRODUCT REVISED as complying with the Florida Building Code
Acceptance No. 03-0106.15
Expiration Date: 08/17/2003
By: *Helmut A. Mohr*
Miami Dade Product Control Division

F.B.C.(H.V.H.Z.)/MIAMI-DADE COUNTY

		ASSA / RESIDENTIAL BERTHA ACCORDION SHUTTER		AS SHOWN SCALE
		WILLARD SHUTTER COMPANY INCORPORATED (ASSA # 180)		11/19/02 DATE
TILLOT TESTING & ENGINEERING COMPANY 4320 N.W. 35th Ct., Suite 317, Windsor Gardens, Florida 33142 Phone: (305) 471-1530, Fax: (305) 471-1531		4420 N.W. 35th COURT MIAMI, FLORIDA 33142		02-549 DRAWING No
REV. NO.	DESCRIPTION	DATE	BY	CHECKED
1	OLD 00-185	11/19/02	J	
2				

MAXIMUM DESIGN PRESSURE RATING "W" (p.s.f.) AND CORRESPONDING MAXIMUM SPAN "L" SCHEDULE.

(VALID FOR SECTIONS A, A1 & C ON SHEET 2 & 3 OF 10).
 NOTE: DESIGN PRESSURE RATING CORRESPONDS ONLY TO NEGATIVE PRESSURE (SUCTION) LOADS, IN ACCORDANCE WITH ASCE 7-98 CRITERIA FOR A GIVEN OPENING.
 IF NEGATIVE PRESSURE VALUES COMPLY WITH THE REQUIRED PRESSURE FOR THE OPENING, THE POSITIVE PRESSURE WILL AUTOMATICALLY QUALIFY AND NEED NOT TO BE CHECKED.

MAXIMUM DESIGN LOAD "W" (p.s.f.)	MAXIMUM SHUTTER SPAN "L" (ft.)	MINIMUM SEPARATION TO GLASS (in.)	
		•	••
40.0	12'-1"	3 7/8"	3"
42.5	11'-11"	3 7/8"	3"
45.0	11'-9"	3 7/8"	3"
47.5	11'-7"	3 7/8"	3"
50.0	11'-5"	3 7/8"	3"
52.5	11'-1"	3 7/8"	3"
55.0	10'-10"	3 7/8"	3"
57.5	10'-7"	3 7/8"	3"
60.0	10'-5"	3 7/8"	3"
62.5	10'-2"	3 7/8"	3"
65.0	10'-0"	3 7/8"	3"
67.5	9'-10"	3 7/8"	3"
70.0	9'-7"	3 7/8"	3"
72.5	9'-5"	3 7/8"	3"
75.0	9'-4"	3 7/8"	3"
77.5	9'-2"	3 7/8"	3"
80.0	9'-0"	3 7/8"	3"
82.5	8'-9"	3 7/8"	3"

MAXIMUM DESIGN LOAD "W" (p.s.f.)	MAXIMUM SHUTTER SPAN "L" (ft.)	MINIMUM SEPARATION TO GLASS (in.)	
		•	••
85.0	8'-6"	3 7/8"	3"
87.5	8'-3"	3 7/8"	3"
90.0	8'-0"	3 3/8"	3"
92.5	7'-9"	3 3/8"	3"
95.0	7'-7"	3 3/8"	3"
97.5	7'-5"	3 3/8"	3"
100.0	7'-2"	3 3/8"	3"
102.5	7'-0"	3 3/8"	3"
105.0	6'-10"	3 3/8"	3"
107.5	6'-8"	3 3/8"	3"
110.0	6'-7"	3 3/8"	3"
112.5	6'-5"	3 3/8"	3"
115.0	6'-3"	3 3/8"	3"
117.5	6'-2"	3 3/8"	3"
120.0	6'-0"	3 3/8"	3"
122.5	5'-11"	3 3/8"	3"
125.0	5'-9"	3 3/8"	3"
127.5	5'-8"	3 3/8"	3"
130.0	5'-6"	3 3/8"	3"
132.5	5'-5"	3 3/8"	3"
135.0	5'-4"	3 3/8"	3"
137.5	5'-3"	3 3/8"	3"

MAXIMUM DESIGN LOAD "W" (p.s.f.)	MAXIMUM SHUTTER SPAN "L" (ft.)	MINIMUM SEPARATION TO GLASS (in.)	
		•	••
140.0	5'-2"	3 3/8"	3"
142.5	5'-1"	3 3/8"	3"
145.0	5'-0"	3 3/8"	3"
147.5	4'-11"	3 3/8"	3"
150.0	4'-10"	3 3/8"	3"
152.5	4'-9"	3 3/8"	3"
155.0	4'-8"	3 3/8"	3"
157.5	4'-7"	3 3/8"	3"
160.0	4'-6"	3 3/8"	3"
162.5	4'-5"	3 3/8"	3"
165.0	4'-4"	3 3/8"	3"
167.5	4'-4"	3 3/8"	3"
170.0	4'-3"	3 3/8"	3"
172.5	4'-2"	3 3/8"	3"
175.0	4'-1"	3 3/8"	3"
177.5	4'-1"	3 3/8"	3"
180.0	4'-0"	3 3/8"	3"

TABLE 1:


MINIMUM SEPARATION BETWEEN GLASS AND SHUTTER FOR A GIVEN SHUTTER SPAN "L" FOR SHUTTERS INSTALLED WITHIN THE FIRST 30'-0" ABOVE GRADE OF A GIVEN BUILDING. 30'-0" ELEVATION SHALL BE MEASURED AT BOTTOM OF SHUTTER SEPARATION TO BE MEASURED AS INDICATED ON SECTION D, SHEET 4 OF 10.

SHUTTER SPAN "L" (ft.)	MINIMUM SEPARATION
LESS OR EQUAL THAN 8'-0"	3 3/8"
>8'-0" TO 12'-0"	3 7/8"

• FOR SHUTTERS INSTALLED WITHIN THE FIRST 30'-0" ELEVATION OF BUILDING. SEE TABLE 1 FOR MINIMUM SEPARATION TO GLASS FOR SPANS SHORTER THAN THE MAXIMUM ALLOWED SHOWN ON SCHEDULE.
 •• FOR SHUTTERS INSTALLED ABOVE 30'-0" ELEVATION OF BUILDING, MEASURED AT BOTTOM OF SHUTTER

Handwritten signature
 11/19/02

PRODUCT REVISED as complying with the Florida Building Code
 Acceptance No. 03-0106.15
 Expiration Date 08/17/2003
 By *Handwritten signature*
 Miami Dade Product Control Division



TILTECO INC.
 TILTI TESTING & ENGINEERING COMPANY
 6540 N.W. 34th St., Box 217, WINDY CARRIAGE, FLORIDA 33149
 Phone: (305) 871-1530 Fax: (305) 871-1531
 CB-0006719
 WALTER A. TILTI JR., P. E.
 FLORIDA Lic. # 44167

F.B.C.(H.V.H.Z.)/MIAMI-DADE COUNTY

ASSA / RESIDENTIAL BERTHA ACCORDION SHUTTER AS SHOWN SCALE

WILLARD SHUTTER COMPANY INCORPORATED
 (ASSA # 180)
 4420 N.W. 35th COURT
 MIAMI, FLORIDA 33142

11/19/02 DATE

02-549 DRAWING No

SHEET 6 OF 10

MAXIMUM DESIGN PRESSURE RATING "W" (p.s.f.) AND CORRESPONDING MAXIMUM SPAN "L" SCHEDULE

(VALID FOR SECTION B & B1 ON SHEET 2 OF 10)

NOTE: DESIGN PRESSURE RATING CORRESPONDS ONLY TO NEGATIVE PRESSURE (SUCTION) LOADS, IN ACCORDANCE WITH ASCE 7-98 CRITERIA FOR A GIVEN OPENING.
IF NEGATIVE PRESSURE VALUES COMPLY WITH THE REQUIRED PRESSURE FOR THE OPENING, THE POSITIVE PRESSURE WILL AUTOMATICALLY QUALIFY AND NEED NOT TO BE CHECKED.

MAXIMUM DESIGN LOAD "W" (p.s.f.)	MAXIMUM SHUTTER SPAN "L" (ft.)	MINIMUM SEPARATION TO GLASS (in.)	
		*	**
40.0	12'-0"	3 7/8"	3"
42.5	11'-11"	3 7/8"	3"
45.0	11'-9"	3 7/8"	3"
47.5	11'-7"	3 7/8"	3"
50.0	11'-5"	3 7/8"	3"
52.5	11'-3"	3 7/8"	3"
55.0	11'-1"	3 7/8"	3"
57.5	10'-10"	3 7/8"	3"
60.0	10'-7"	3 7/8"	3"
62.5	10'-4"	3 7/8"	3"
65.0	10'-2"	3 7/8"	3"
67.5	10'-0"	3 7/8"	3"
70.0	9'-10"	3 7/8"	3"
72.5	9'-8"	3 7/8"	3"
75.0	9'-6"	3 7/8"	3"
77.5	9'-4"	3 7/8"	3"
80.0	9'-2"	3 7/8"	3"
82.5	9'-0"	3 7/8"	3"

MAXIMUM DESIGN LOAD "W" (p.s.f.)	MAXIMUM SHUTTER SPAN "L" (ft.)	MINIMUM SEPARATION TO GLASS (in.)	
		*	**
85.0	8'-11"	3 7/8"	3"
87.5	8'-9"	3 7/8"	3"
90.0	8'-5"	3 7/8"	3"
92.5	8'-3"	3 7/8"	3"
95.0	8'-1"	3 7/8"	3"
97.5	7'-10"	3 3/8"	3"
100.0	7'-8"	3 3/8"	3"
102.5	7'-6"	3 3/8"	3"
105.0	7'-3"	3 3/8"	3"
107.5	7'-1"	3 3/8"	3"
110.0	6'-11"	3 3/8"	3"
112.5	6'-10"	3 3/8"	3"
115.0	6'-8"	3 3/8"	3"
117.5	6'-6"	3 3/8"	3"
120.0	6'-5"	3 3/8"	3"
122.5	6'-3"	3 3/8"	3"
125.0	6'-1"	3 3/8"	3"
127.5	6'-0"	3 3/8"	3"
130.0	5'-11"	3 3/8"	3"
132.5	5'-9"	3 3/8"	3"
135.0	5'-8"	3 3/8"	3"
137.5	5'-7"	3 3/8"	3"

MAXIMUM DESIGN LOAD "W" (p.s.f.)	MAXIMUM SHUTTER SPAN "L" (ft.)	MINIMUM SEPARATION TO GLASS (in.)	
		*	**
140.0	5'-6"	3 3/8"	3"
142.5	5'-4"	3 3/8"	3"
145.0	5'-3"	3 3/8"	3"
147.5	5'-2"	3 3/8"	3"
150.0	5'-1"	3 3/8"	3"
152.5	5'-0"	3 3/8"	3"
155.0	4'-11"	3 3/8"	3"
157.5	4'-10"	3 3/8"	3"
160.0	4'-9"	3 3/8"	3"
162.5	4'-8"	3 3/8"	3"
165.0	4'-8"	3 3/8"	3"
167.5	4'-7"	3 3/8"	3"
170.0	4'-6"	3 3/8"	3"
172.5	4'-5"	3 3/8"	3"
175.0	4'-4"	3 3/8"	3"
177.5	4'-4"	3 3/8"	3"
180.0	4'-3"	3 3/8"	3"

TABLE 1:

MINIMUM SEPARATION BETWEEN GLASS AND SHUTTER FOR A GIVEN SHUTTER SPAN "L" FOR SHUTTERS INSTALLED WITHIN THE FIRST 30'-0" ABOVE GRADE OF A GIVEN BUILDING. 30'-0" ELEVATION SHALL BE MEASURED AT BOTTOM OF SHUTTER SEPARATION TO BE MEASURED AS INDICATED ON SECTION D, SHEET 4 OF 10.

SHUTTER SPAN "L" (ft.)	MINIMUM SEPARATION
LESS OR EQUAL THAN 8'-0"	3 3/8"
>8'-0" TO 12'-0"	3 7/8"

* FOR SHUTTERS INSTALLED WITHIN THE FIRST 30'-0" ELEVATION OF BUILDING. SEE TABLE 1 FOR MINIMUM SEPARATION TO GLASS FOR SPANS SHORTER THAN THE MAXIMUM ALLOWED SHOWN ON SCHEDULE.
** FOR SHUTTERS INSTALLED ABOVE 30'-0" ELEVATION OF BUILDING, MEASURED AT BOTTOM OF SHUTTER

Handwritten signature
12/14/02

PRODUCT RENEWED
AS PER THE FOLLOWING SCHEDULE
Acceptance No. CS-0705.01
Expiration Date 08/17/2008
By *Handwritten signature*
Miami Dade Product Control
Division

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No. CE-0106.1E
Expiration Date 08/17/2003
By *Handwritten signature*
Miami Dade Product Control
Division

F.B.C.(H.V.H.Z.)/MIAMI-DADE COUNTY

 TILECO INC. <small>TILLIT TESTING & ENGINEERING COMPANY 6540 N.W. 36th St., Ste. 217, Miramar, Florida 33181 Phone: (305)871-1530 Fax: (305)871-1531 EB-0006715 WALTER A. TILLIT, Jr., P. E. FLORIDA LIC. # 44167</small>	ASSA / RESIDENTIAL BERTHA ACCORDION SHUTTER WILLARD SHUTTER COMPANY INCORPORATED <small>(ASSA # 180) 4420 N.W. 35th COURT MIAMI, FLORIDA 33142</small>	AS SHOWN SCALE 11/19/02 DATE 02-549 DRAWING No SHEET 7 OF 10																		
	<table border="1" style="width: 100%; font-size: small;"> <thead> <tr> <th>REV. NO.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>REV. NO.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>OLD 00-183</td> <td>11/18/02</td> <td>2</td> <td></td> <td></td> </tr> <tr> <td>2</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE	1	OLD 00-183	11/18/02	2			2						
REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE															
1	OLD 00-183	11/18/02	2																	
2																				

**MAXIMUM DESIGN PRESSURE RATING "W" (p.s.f.) AND
CORRESPONDING MAXIMUM ANCHOR SPACING (in.) SCHEDULE. +**

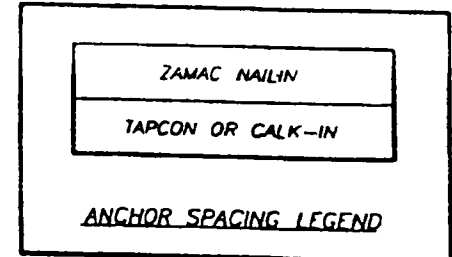
MAXIMUM DESIGN LOAD "W" (p.s.f.)	SECTIONS A, A1, C			SECTIONS A, A1, C			SECTIONS E, E1		
	WALL MOUNTING INSTALLATION AT TOP OR BOTTOM (TO CONCRETE)			WALL MOUNTING INSTALLATION AT BOTTOM (TO MASONRY)			CEILING & FLOOR MOUNTING INSTALLATION AT TOP OR BOTTOM (TO CONCRETE)		
	NOTE 1	NOTE 2	NOTE 3	NOTE 1	NOTE 2	NOTE 3	NOTE 1	NOTE 2	NOTE 3
FROM 40.0 TO 62.5	9"	9"	9"	9"	8"	6 1/2"	9"	7"	5 1/2"
	9"	9"	9"	9"	5 1/2"	4 1/2"	9"	9"	9"
FROM 62.6 TO 75.0	9"	9"	8"	9"	6 1/2"	6"	9"	6"	5"
	9"	9"	9"	8"	4 1/2"	4"	9"	9"	8"
FROM 75.1 TO 92.5	9"	7"	7"	9"	5 1/2"	5 1/2"	8"	5"	-
	9"	9"	9"	6 1/2"	4"	4"	9"	7 1/2"	7 1/2"
FROM 92.6 TO 120.0	9"	7"	-	7"	5 1/2"	-	6"	5"	-
	9"	9"	-	5"	4"	-	9"	7 1/2"	-
FROM 120.1 TO 180.0	7"	7"	-	5 1/2"	5 1/2"	-	5"	5"	-
	9"	9"	-	4"	4"	-	7 1/2"	7 1/2"	-

ANCHOR SPACING LEGEND

- (1) Max. ANCHOR SPCG. VALID FOR SPANS OF 5'-0" OR LESS.
- (2) Max. ANCHOR SPCG. VALID FOR SPANS GREATER THAN 5'-0" TO 8'-6".
- (3) Max. ANCHOR SPCG. VALID FOR SPANS GREATER THAN 8'-6" TO Max. ALLOWED.

NOTES ON ANCHOR SPACING SCHEDULE

+ SEE SHEET 5 & 10 OF 10 FOR ANCHOR TYPE & SPACING FOR INSTALLATIONS INTO WOOD FRAME BUILDINGS. MAXIMUM ANCHOR SPACINGS ARE VALID FOR 3 1/2" EDGE DISTANCE. FOR E. D. LESS THAN 3 1/2", REDUCE ANCHOR SPACING BY MULTIPLYING SPACINGS SHOWN ON SCHEDULE BY THE FOLLOWING FACTORS. (Min. L. D. FOR CALK-IN IS 2 1/2"). THIS OPERATION SHALL ONLY BE PERFORMED WHEN REQUIRED SPACING RESULTS INTO A MINIMUM OF 3" O.C.



ACTUAL E. D. = EDGE DISTANCE	FACTOR	
	TAPCON / ZAMAC NAIL	CALK-IN
3"	.86	.75
2 1/2"	.71	.50
2"	.50	-

PRODUCT REVISED
Building Code
Acceptance No. 03-0763.01
Expiration Date 08/17/2008
By *Walter A. Tillit Jr.*
Miami Dade Product Control
Division

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No. 03-0106-15
Expiration Date 08/17/2003
By *Walter A. Tillit Jr.*
Miami Dade Product Control
Division

Walter A. Tillit Jr.
11/19/02

F.B.C.(H.V.H.Z.)/MIAMI-DADE COUNTY

 TILTECO inc. TILLIT TESTING & ENGINEERING COMPANY 4420 N.W. 35th Ct., Suite 317, Virginia Gardens, Florida 33142 Phone: (305) 871-1530, Fax: (305) 871-1531 EB-0006719 WALTER A. TILLIT JR., P. E. FLORIDA Lic. # 44167	ASSA / RESIDENTIAL BERTHA ACCORDION SHUTTER	AS SHOWN SCALE			
	WILLARD SHUTTER COMPANY INCORPORATED (ASSA / 180) 4420 N.W. 35th COURT MIAMI, FLORIDA 33142	11/19/02 DATE	02-549 DRAWING NO.		
REV. NO.	DESCRIPTION	DATE	BY. NO.	DESCRIPTION	DATE
1	OLD 02-185	11/19/02	1	-	-
2	-	-	-	-	-

SHEET 8 OF 10

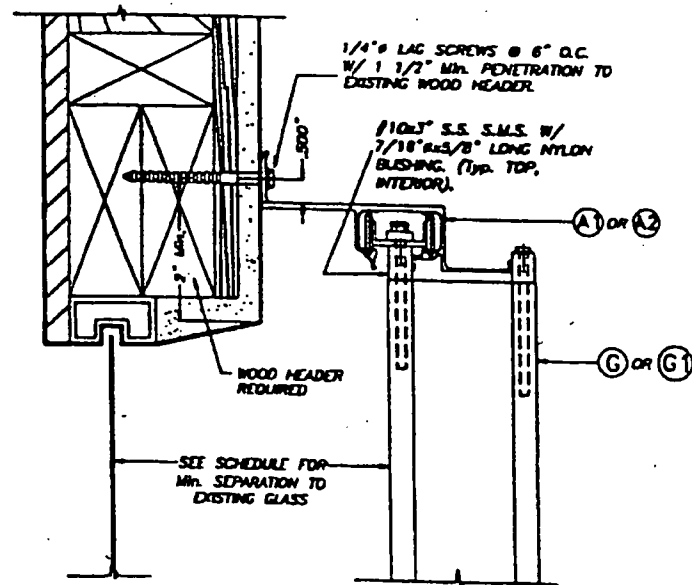
INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS

NOTES:

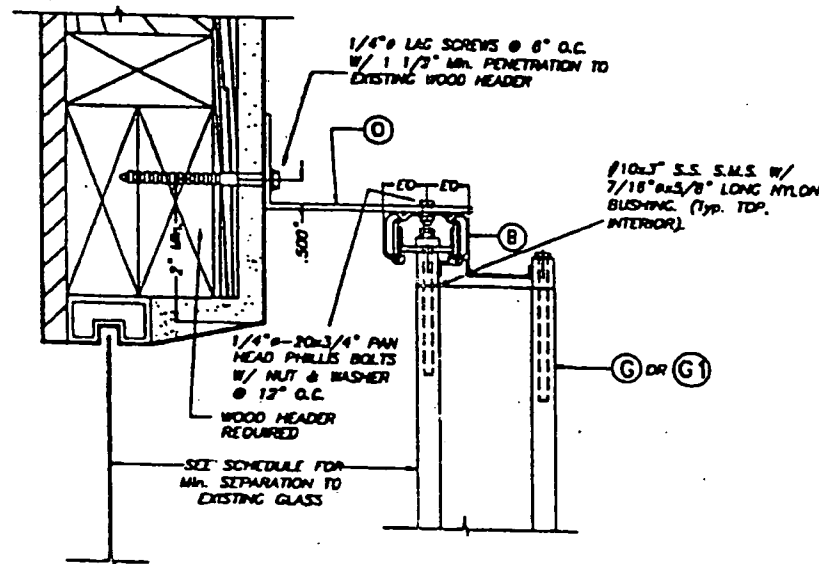
1. INSTALLATIONS ARE ONLY VALID FOR INSTALLATIONS WITH DESIGN WIND LOADS LESS OR EQUAL THAN 75 p.s.f. AND 9'-0" Max. SHUTTER SPAN.
2. FOR NEW WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL.

NOTE FOR COMBINATION OF SECTIONS:

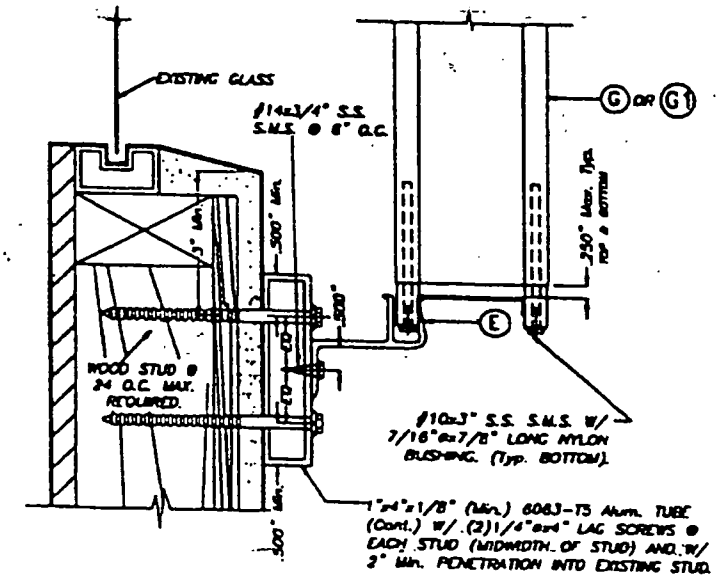
WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.



ALTERNATIVE 1



ALTERNATIVE 2



ALTERNATIVE 3

WALL MOUNTING INSTALLATION - SECTION A

SCALE: 1/4" = 1"

as complying with the Florida Building Code
 Acceptance No 03-0703-01
 Expiration Date 08/17/2003
 By *Walter A. Tillit Jr.*
 Miami Dade Product Control Division

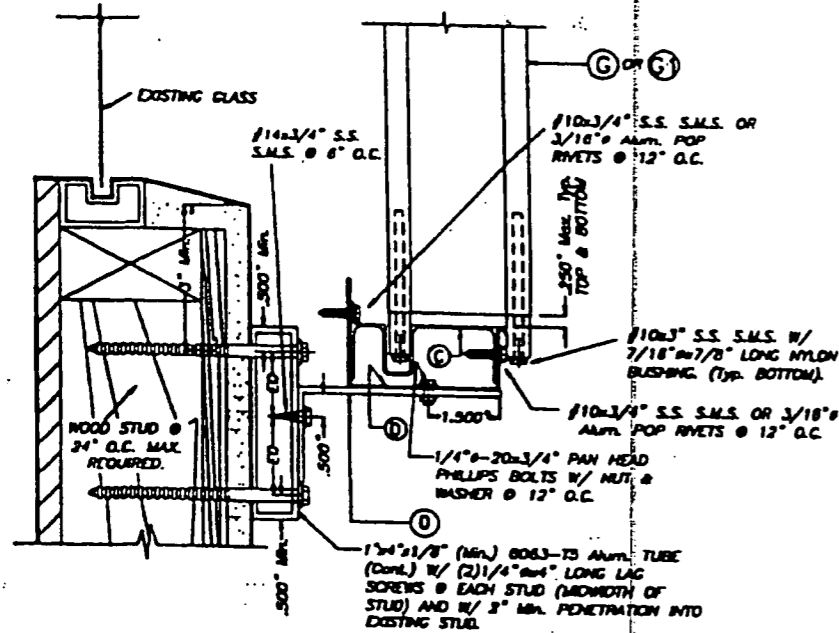
PRODUCT REVISED
 as complying with the Florida Building Code
 Acceptance No 03-0106-15
 Expiration Date 08/17/2003
 By *Walter A. Tillit Jr.*
 Miami Dade Product Control Division

F.B.C.(H.V.H.Z.)/MIAMI-DADE COUNTY

Walter A. Tillit Jr.
12/19/02

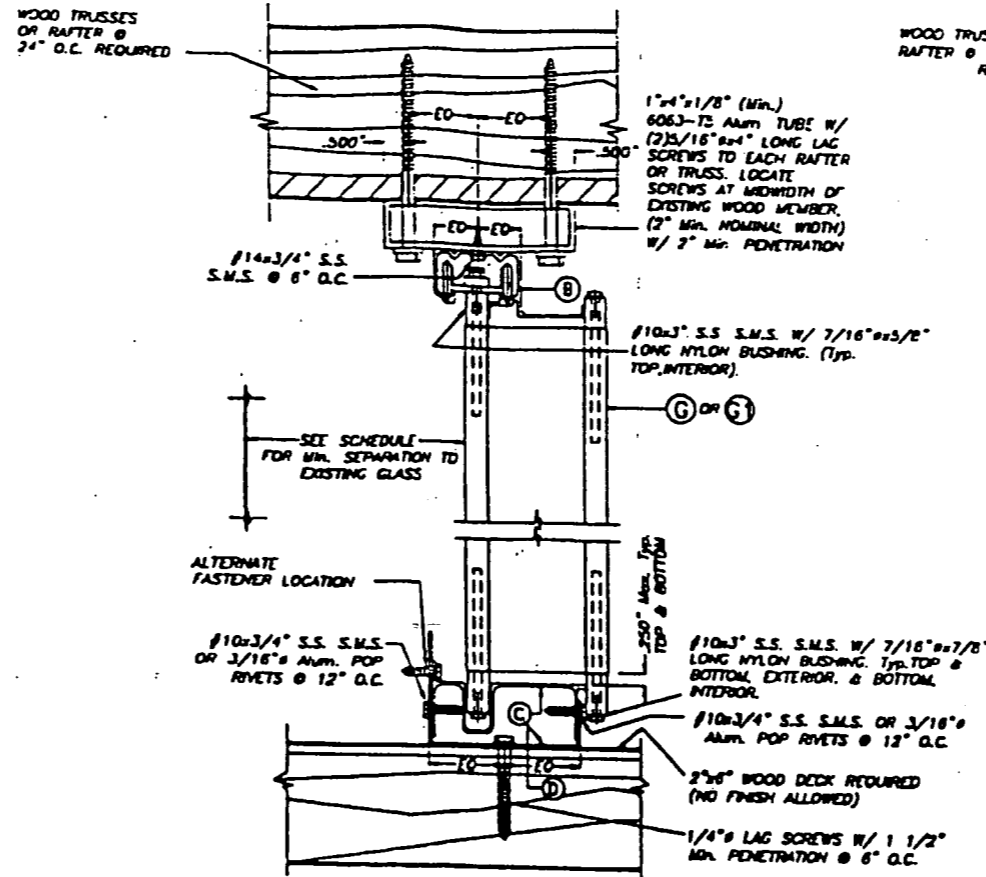
 TILECO Inc. TILLIT TESTING & ENGINEERING COMPANY 6325 N.W. 33rd St., Box 212, MICHIGAN CANYONS, FLORIDA 33144 Phone: (305) 771-1230, Fax: (305) 771-1231 EB-0006719 WALTER A. TILLIT JR., P. E. FLORIDA Lic. # 44167	ASSA / RESIDENTIAL BERTHA ACCORDION SHUTTER WILLARD SHUTTER COMPANY INCORPORATED (ASSA # 180) 4426 N.W. 35th COURT MIAMI, FLORIDA 33142	AS SHOWN SCALE																		
	11/19/02 DATE	02-549 DRAWING No																		
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>REV. NO.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>REV. NO.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>OLD 00-182</td> <td>11/16/02</td> <td>2</td> <td></td> <td></td> </tr> <tr> <td>1</td> <td></td> <td></td> <td>4</td> <td></td> <td></td> </tr> </tbody> </table>		REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE	1	OLD 00-182	11/16/02	2			1			4			SHEET 9 OF 10
REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE															
1	OLD 00-182	11/16/02	2																	
1			4																	

INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS



ALTERNATIVE 5

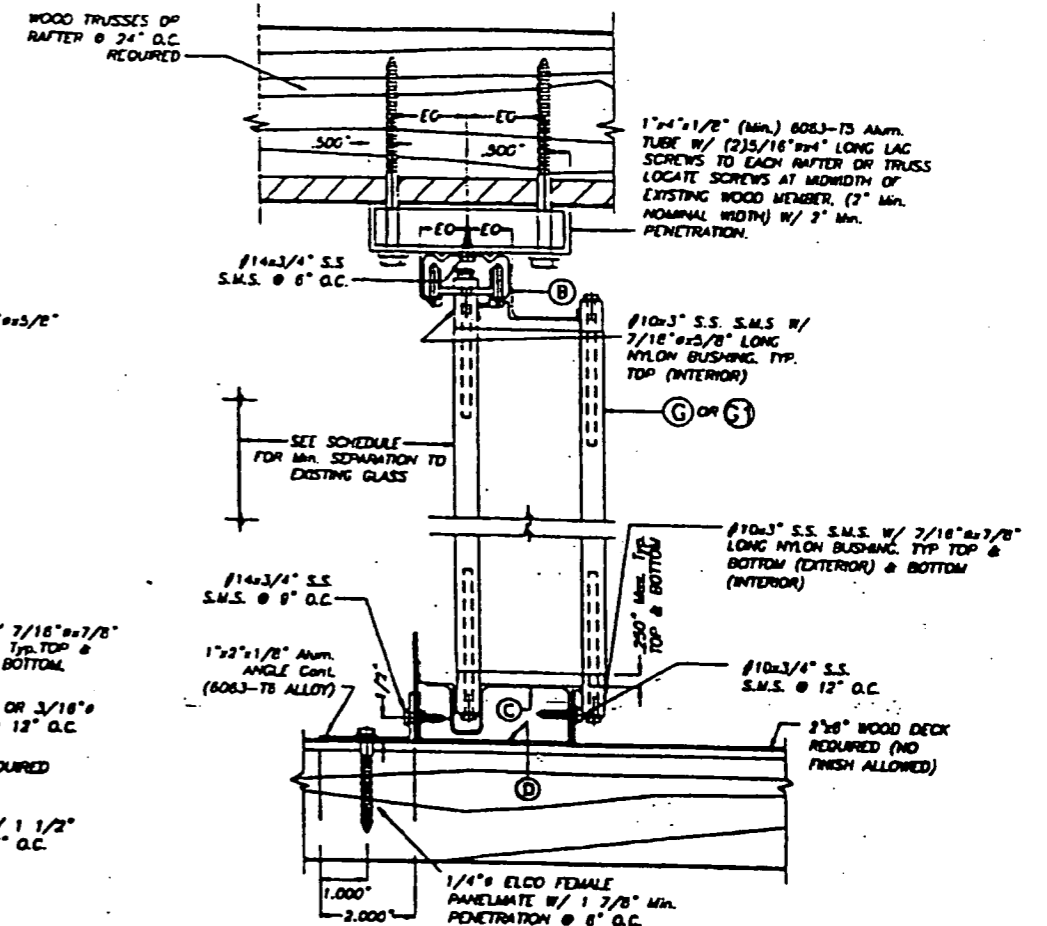
SCALE: 1/4" = 1"



CEILING & FLOOR MOUNTING INSTALLATION

SECTION B

SCALE: 1/4" = 1"



CEILING & FLOOR MOUNTING INSTALLATION

SECTION B1

SCALE: 1/4" = 1"

NOTE :

WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

NOTES :

- INSTALLATIONS ARE ONLY VALID FOR INSTALLATIONS WITH DESIGN WIND LOADS LESS OR EQUAL THAN 75 p.s.f. AND 9'-0" Max. SHUTTER SPAN.
- FOR NEW WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL.

PRODUCT REVISED

as complying with the Florida Building Code

Acceptance No. 03-0106-15

Expiration Date 08/17/2008

By: *Helmut A. Walker*

Miami Dade Product Control Division

PRODUCT REVISED

as complying with the Florida Building Code

Acceptance No. 03-0106-15

Expiration Date 08/17/2008

By: *Helmut A. Walker*

Miami Dade Product Control Division

F.B.C.(H.V.H.Z.)/MIAMI-DADE COUNTY

<p>TILLIT TESTING & ENGINEERING COMPANY 4320 N.W. 37th St. 317, MIAMI GARDENS, FLORIDA 33146 Phone: (305) 771-1530 Fax: (305) 771-1531 EB-0006719 WALTER A. TILLIT JR., P. E. FLORIDA Lic. # 44167</p>		ASSA / RESIDENTIAL BERTHA ACCORDION SHUTTER	AS SHOWN SCALE
		WILLARD SHUTTER COMPANY INCORPORATED (ASSA # 180) 4420 N.W. 35th COURT MIAMI, FLORIDA 33142	11/19/02 DATE
		02-549	DRAWING No
		SHEET 10 OF 10	

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9/9/, 2005 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7595	HOCHSTETTER	FINAL ROOF	FAIL	
6	72 S. RIVER RD QUADROS			INSPECTOR: <i>OW</i>
7662	HOCHSTETTER	FINAL GARAGE DOOR	FAIL	
6	72 S. RIVER RD QUADROS			INSPECTOR: <i>OW</i>
TREE	PETERSON	TREE	PASS	
3	4 OAKWOOD DR			INSPECTOR: <i>OW</i>
7750	COOPER	SLAB INSP. (GENERATOR)	PASS	
12	33 W. H DELTA PETROLEUM	*11:30 PLEASE*		INSPECTOR: <i>OW</i>
7574	DACTON	HER. SHUTTERS	PASS	CLOSE
5	6 PRO VISTA O/B			INSPECTOR: <i>OW</i>
7338	MCCORMICK	FORMBOARD	PASS	
11	59 N. RIVER RD PINE ORCHARD			INSPECTOR: <i>OW</i>
				INSPECTOR: <i>OW</i>
OTHER:	9 PINEAPPLE DECK REMOVAL W/O PERMIT.			STOP WORK ORDER

8630

A/C CHANGE



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	8630	DATE ISSUED:	JUNE 19, 2007
SCOPE OF WORK:	AC CHANGEOUT		
CONTRACTOR:	ADVANTAGE A/C		
PARCEL CONTROL NUMBER:	123841002000006403	SUBDIVISION	RIO VISTA-LOT 64
CONSTRUCTION ADDRESS:	6 RIO VISTA DRIVE		
OWNER NAME:	DALTON		
QUALIFIER:	SAMUEL DURHAM	CONTACT PHONE NUMBER:	772-465-1606

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

RECEIVED
6-11-07

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Date: _____ Permit Number: _____

OWNER/TITLEHOLDER NAME: Dorothy Dalton Phone (Day) _____ (Fax) _____

Job Site Address: 6 Rio Vista Dr City: _____ State: _____ Zip: _____

Legal Desc. Property (Subd/Lot/Block) 6 Rio Vista Dr lot 64 Parcel Number: 12-38-41-002-000-006403

Owner Address (if different): _____ City: Sewall's Pt. State: FL Zip: 34996

Description of Work To Be Done: Replacement of A/C (White for White)

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 9,500.00

(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

(If no, fill out the Contractor & Subcontractor sections below)

Is improvement cost 50% or more of Fair Market Value? YES NO

(If yes, Owner Builder Affidavit must accompany application)

Method of Determining Fair Market Value: _____

CONTRACTOR/Company: Advantage A/C Phone: (772) 465-1606 Fax: (772) 465-1606

Street: 601 S. Market Ave City: Ft. Pierce State: FL Zip: 34982

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

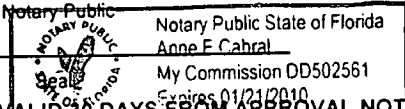
OWNER OR AGENT SIGNATURE (required)
Dorothy Dalton

State of Florida, County of: St. Lucie
This the 8th day of June, 2007

by Dorothy Dalton who is personally known to me or produced

as identification. Anne E. Cabral

My Commission Expires: 2010



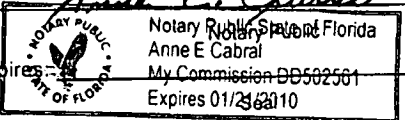
CONTRACTOR SIGNATURE (required)
Samuel T. Durham

On State of Florida, County of: St. Lucie
This the 8th day of June, 2007

by Samuel T. Durham who is personally known to me or produced

As identification. Anne E. Cabral

My Commission Expires: _____



INSTR # 2018933 OR BK 02255 PG 0883 RECD 06/11/2007 12:24:19 PM
Pg 0883: (1pg)
MARSHA EWING MARTIN COUNTY DEPUTY CLERK T COPUS (asst mgr)

NOTICE OF COMMENCEMENT

Permit No. _____
State of Florida _____

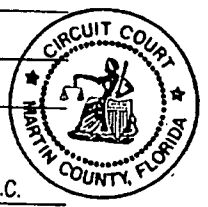
Property Tax ID No. _____
County of _____

The Undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Legal Description of property and address if available REMOVED RIO VISTA LOT 64
General description of improvements REPLACE A/C EQUIP (LIKE FOR LIKE)
Owner Dorothy Dalton
Address 6 RIO VISTA DR.
Owner's interest in site of improvement NEEDS NEW A/C
Fee Simple Title holder (if other than owner) _____

Address _____
Contractor Advantage A/C
Address 601 S. MARKET AVE FT. PIERCE FL 34982
Surety _____
Address _____

Phone # _____
Fax # _____
STATE OF FLORIDA
MARTIN COUNTY
THIS IS TO CERTIFY THAT THE
FOLLOWING PAGE(S) IS/ARE A TRUE
AND CORRECT COPY OF THE ORIGINAL.
MARSHA EWING, CLERK
BY: T. COPUS D.C.
DATE: 6-11-07
Phone # _____
Fax # _____



Amount of Bond _____
Lender _____
Address _____

Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (a) 7., Florida Statutes:

Name _____ Phone # _____
Address _____ Fax # _____
In addition to himself, owner designates _____ of _____
Phone # _____ Fax # _____

to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (b), Florida Statutes. Expiration date of notice of commencement is one year from the date of recording unless a different date is specified.

Dorothy Dalton
Owner Signature

State of Florida, County of St. Lucie
Acknowledged before me this 8th, day of June, 2007, by Dorothy Dalton,
who is personally known to me or who has produced _____ as identification.

Anne E. Cabral
Signature of Notary

Anne E. Cabral
Type or Print Name of Notary (Seal)

Title Notary _____
Notary Public State of Florida
Commission Number _____
Expires 12/1/2010

ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID MM
ADVA-11

DATE (MM/DD/YYYY)
05/30/07

PRODUCER R. V. Johnson Agency, Inc. (JCK) 2041 S.E. Ocean Blvd. Stuart FL 34996 Phone: 772-287-3366 Fax: 772-287-4439		THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
INSURED Advantage Air Conditioning of the Treasure Coast, Inc. 601 S Market Av Ft. Pierce FL 34982		INSURERS AFFORDING COVERAGE	NAIC #
		INSURER A	North Pointe Ins. Co. 03510
		INSURER B	Everest National Insurance Co
		INSURER C	Progressive Express Ins Co 02962
		INSURER D	
		INSURER E	

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION IN ANY CONTRACT OR OTHER DOCUMENT WITH REFERENCE TO WHICH THIS CERTIFICATE DATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. APPROPRIATE LIMITS BELOW MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR	ADDL	TR	INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A				GENERAL LIABILITY <input checked="" type="checkbox"/> TRANSFERRED GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR EACH AGGREGATE LIMIT APPLIES PER POLICY: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO. EXT. <input type="checkbox"/> LOC.	2094119157	05/04/07	05/04/08	EACH OCCURRENCE DAMAGE TO RENTED PREMISES (EA occurrence)	\$ 1000000
								MEDICAL (Any one person)	\$ 5000
								PERSONAL & ADV. INJURY	\$ 1000000
								GENERAL AGGREGATE	\$ 2000000
								PRODUCTS - COVERED AGG	\$ 2000000
C				AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input checked="" type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS	5752034-0	05/04/07	05/04/08	COVERED SINGLE LIMIT (EA accident)	\$ 500000
								RENTAL INJURY (Per person)	\$
								BODILY INJURY (Per accident)	\$
								PROPERTY DAMAGE (Per accident)	\$
				GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT OTHER THAN AUTO ONLY	\$
A				EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> RETENTION \$10,000	2094119158	05/04/07	05/04/08	EACH OCCURRENCE AGGREGATE	\$ 1,000,000 \$ 1,000,000
B				WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below	2700007473071	03/04/07	03/04/08	E.L. EACH ACCIDENT E.L. DISEASE - EA EMPLOYEE E.L. DISEASE - POLICY LIMIT	\$ 500000 \$ 500000 \$ 500000
				OTHER					

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

30 days notice of cancellation for workers compensation coverage.
 Companies have the option to cancel 10 days for non-payment.

CERTIFICATE HOLDER

TOWN024
 Town of Sewalls Point
 Attn: Valerie
 1 S. Sewalls Point Road
 Stuart FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10* DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES

Robert C. Johnson

2613095

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L06061000161

DATE	BATCH NUMBER	LICENSE NBR
/10/2006	050821076	CAC039664

he CLASS A AIR CONDITIONING CONTRACTOR
amed below IS CERTIFIED
nder the provisions of Chapter 489 FS.
xpiration date: AUG 31, 2008

DURHAM, SAMUEL T
DVANTAGE A/C OF THE TREASURE COAST INC
01 S MARKET AVE
ORT PIERCE FL 34982

JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

SIMONE MARSTILLER
SECRETARY

2006-2007

ST. LUCIE COUNTY OCCUPATIONAL LICENSE
BOB DAVIS, CPA, CGFD, CFC, ST LUCIE COUNTY TAX COLLECTOR
ROOMS SEATS EMPLOYEES 21+

ACCOUNT 1711-00001820
EXPIRES SEP 30, 2007

1711-AIR CONDITIONING CONTRACTOR

601 S Market Ave
St Lucie County

CAC039664

Samuel Durham
Advantage Air Cond & Heating
Durham, Samuel T
601 S Market Ave
Fort Pierce FL 34982

X RENEWAL
NEW LICENSE
TRANSFER
ORIGINAL TAX 26.25

AMOUNT
PENALTY
COLLECTION COST
TOTAL 26.25

Please see back for additional information

PAID 08/04/2006

99-20060804-084843

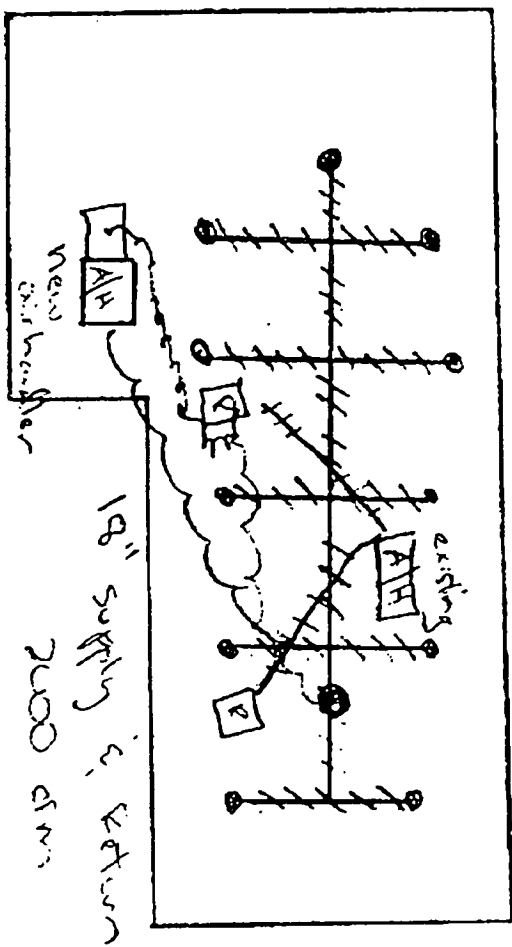
26.25

FILE COPY
TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE 6-19-07

BUILDING OFFICIAL

To: Phillip Wintercom

Ref: Dathon
6 Division Dr



Dat work
 HHHH existing
 ----- new

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 7-2, 2007 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8162	McCormick	Final	PASS	CLOSE
6	59 N River Rd Advantage Pool			INSPECTOR: <i>[Signature]</i>
8577	Crispin	Final	PASS	CLOSE
1	30 E High Pt Elec Elec			INSPECTOR: <i>[Signature]</i>
8427	Hepworth	Final	PASS	READY FOR CO.
3	8 Rio Vista Sand Castle	11:00 A.M.	PASS	INSPECTOR: <i>[Signature]</i>
8630	Dalton	Final	PASS	CLOSE
4	6 Rio Vista Advantage AC			INSPECTOR: <i>[Signature]</i>
7700	Cooper	Final	PASS	CLOSE
2	33 W High Pt Advantage AC	AC replacement		INSPECTOR: <i>[Signature]</i>
7745	Stack	Final	FAIL	
7	32 Fieldway Dr Advantage AC	AC changeout		INSPECTOR: <i>[Signature]</i>
8533	West	Final	PASS	CLOSE
5	7 Palmetto Dr Olb			INSPECTOR:
OTHER	20 RIDGEVIEW STEVE CONWAY		FINAL	FAIL
				<i>[Signature]</i>

9710

PAVERS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9710	DATE ISSUED:	FEBRUARY 10, 2011
SCOPE OF WORK:	PAVER DRIVEWAY		
CONDITIONS :			
CONTRACTOR:	APEX PAVERS		
PARCEL CONTROL NUMBER:	123841002-000-006403	SUBDIVISION	RIO VISTA - LOT 64
CONSTRUCTION ADDRESS:	6 RIO VISTA DR		
OWNER NAME:	DALTON		
QUALIFIER:	RYAN FIGMAN	CONTACT PHONE NUMBER:	419-5151

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER-FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point BUILDING PERMIT APPLICATION

Date: 1-18-11 Permit Number: 9710

OWNER/TITLEHOLDER NAME: Dorothy Dalton Phone (Day) 214-4044 (Fax) _____

Job Site Address: 6 Rio Vista Dr. City: Sewalls Pt. State: FL Zip: 34996

Legal Description: RIO VISTA Lot 64 Parcel Control Number: 123841 002 000 006403

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Scope of work (please be specific): Replace Removable Pavers.

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO X

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO X
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 10250
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only; Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: APEX PAVERS INC. Phone 772-419-5151 Fax: 772-419-5101

Street: 834 SE Lincoln Ave City: STUART State: FL Zip: 34994

State License Number: _____ OR: Municipality: _____ License Number: CPB 4701

LOCAL CONTACT: Ryan Figanan Phone Number: 772-419-5151

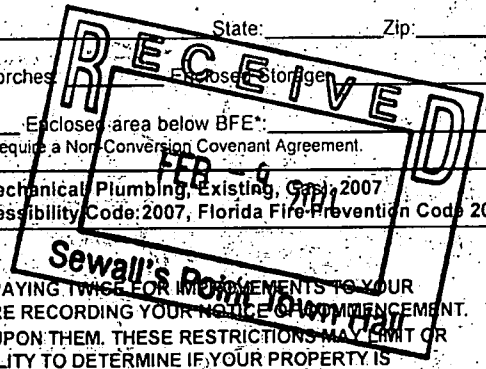
DESIGN PROFESSIONAL: _____ Lic# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/Porches _____ Enclosed Storage _____

Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE: _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Code, 2007)
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007



NOTICES TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF: FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)
OR OWNER'S LEGAL AUTHORIZED AGENT (PROOF REQUIRED)
Dorothy Dalton

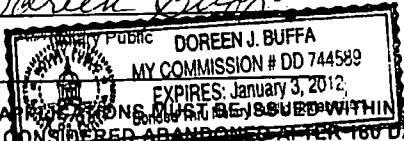
State of Florida, County of: Martin

This the 18 day of January, 20 11

by Dorothy Dalton who is personally

known to me or produced _____

as identification. Doreen Buffa



CONTRACTOR SIGNATURE: (required)
Ryan Figanan

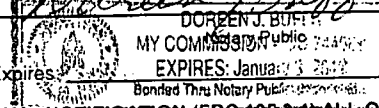
On State of Florida, County of: Martin

This the 18 day of January, 20 11

by Ryan Figanan who is personally

known to me or produced _____

As identification. Doreen Buffa



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL. NOTIFICATION OF PERMITS FOR ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
governmentmax.com 1,14

Summary

Address 2 of 6

Summary

Summary

Print View

Land

Improvements

Assessments &

Exemptions

Sales

Taxes →

Parcel Map →

Trim Notice →

Searches

Parcel ID

Owner

Address

Account #

Use Code

Legal Description

Neighborhood

Sales

Maps →

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
12-38-41-002-000-00640-3	27577	6 RIO VISTA DR, SEWALL'S POINT	\$237,810	2/5/2011 8

Owner Information

Owner(Current)	DALTON DOROTHY ANN (TR)
Owner/Mail Address	6 RIO VISTA DR STUART FL 34996
Sale Date	02/07/2005
Document Number	1812348
Document Reference No.	1979 2470
Sale Price	0

Location/Description

Account #	27577	Map Page No.	SP-04
Tax District	2200	Legal Description	RIO VISTA LOT 64
Parcel Address	6 RIO VISTA DR, SEWALL'S POINT		
Acres	.3440		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120250 RIO VISTA DRY

Assessment Information

Market Land Value	\$127,000
Market Improvement Value	\$110,810
Market Total Value	\$237,810

Print Back to List First Previous Next Last

Legal Disclaimer / Privacy Statement

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MANATRON

**RIGHT OF WAY DRIVEWAY COVENANT
FOR MATERIAL OTHER THAN BROOM FINISHED CONCRETE OR ASPHALT**

STATE OF FLORIDA PERMIT NUMBER _____
COUNTY OF MARTIN

THIS COVENANT, made by DOROTHY DALTON and legal owners
(hereinafter "The Owners") of the property described as: Lot 64, Block _____, according to the Plat of
_____, as recorded in Plat Book _____, Page _____, of the Public Records of Martin County,
Florida, also known as 10 RIO VISTA DR, STUART, FL
(Street address)

WHEREAS, the Owners have applied for a permit to construct a driveway of BRICK PAVEMENT
construction, a portion of which will be constructed in the Town right-of-way, and such construction will not be of asphalt
or regular broom finish concrete, typical for driveways in right-of-way, and such construction will not be of asphalt or
regular broom finish concrete, typical for driveways in right-of-way authorized by the Town of Sewall's Point or of
driveway materials which the Town constructs, repairs, or replaces when it performs activities in its rights-of ways; and

WHEREAS, the Owners desire to construct the driveway and wish to recognize that the Town of Sewall's Point shall
have no responsibility to replace the driveway if it performs any activity on the right-of-way.

NOW THEREFORE, in return for the benefits that will accrue from the construction of their driveway, and in
accordance with the criteria for permits for constructing driveways other than those types aforementioned through
Land Covenant right-of-way, The Owners of the above described property hereby agree and covenant that the Town of
Sewall's Point shall not bear any responsibility for replacement of such driveway located within the right-of-way on this
said property, should the need arise.

The Owners agree and covenant that the cost of replacement of the driveway, if required, will be borne by the
Owners, their heirs, assigns and successors. This Covenant shall run with the land.

Dorothy Dalton
OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 18 DAY OF February 20 11

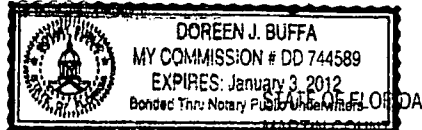
BY DOROTHY DALTON

PERSONALLY KNOWN OR PRODUCED ID _____

TYPE OF ID _____

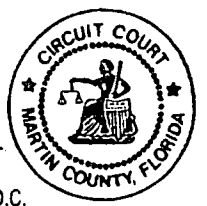
Doreen J. Buffa
NOTARY SIGNATURE

THIS COVENANT MUST BE RECORDED AT THE CLERK'S OFFICE AND THE RECORDED COPY
SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO ISSUING CERTIFICATE OF OCCUPANCY OR A
FINAL DRIVEWAY INSPECTION.



THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.

MARSHA EWING, CLERK
BY L Bettineschi D.C.
DATE 2-9-11



NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: _____ TAX FOLIO #: 193841002000026403

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):
110 VISTA LOT 64, 1610 VISTA DR, STUART, FL

GENERAL DESCRIPTION OF IMPROVEMENT: BRICK PAVED DRIVEWAY

OWNER NAME: DOROTHY DUTTON
ADDRESS: 1610 VISTA DR STUART FL
PHONE NUMBER: 314-4044 FAX NUMBER: _____

INTEREST IN PROPERTY: OWNER
NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

CONTRACTOR: APEX PAVERS
ADDRESS: 834 SE LINCOLN AVE STUART FL 34994
PHONE NUMBER: 419-5151 FAX NUMBER: 419-5101

SURETY COMPANY (IF ANY): _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____
BOND AMOUNT: _____

LENDER/MORTGAGE COMPANY: _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME: _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:
PHONE NUMBER: _____ FAX NUMBER: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
(EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Dorothy Dutton
SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

SIGNATORY'S TITLE/OFFICE OWNER

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 18 DAY OF JAN, 2011

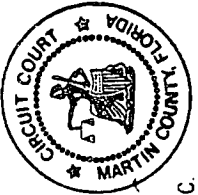
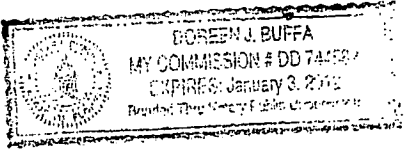
BY: Dorothy Dutton OWNER FOR _____
NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION _____

TYPE OF IDENTIFICATION PRODUCED _____
NOTARY SIGNATURE/SEAL Doreen J. Buffa

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

Dorothy Dutton
(Signature of Natural Person Signing Above)



STATE OF FLORIDA
MARTIN COUNTY
THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.
BY: Marsha Ewing
MARSHA EWING, CLERK
DATE 2-9-11

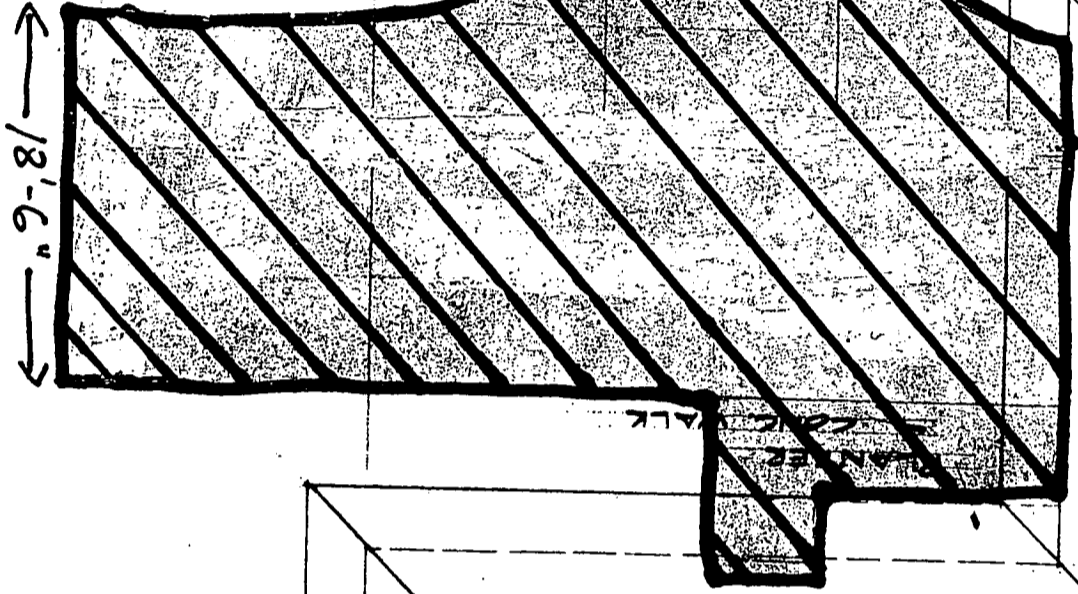
TOWN OF SEWALL'S POINT
PLANNING DEPARTMENT
BUILDING DEPARTMENT
FILE COPY

100.0'

57'-4"

12'-0"

Install
Brick Paver
Driveway



18'-6"

NEW RESIDENCE
FIN. FL. + 6'-0" (MIN.)

150.0'

ROOF LINE
BUILDING LINE

PATIO, POOL & ENCLOSURE
NOT IN CONTRACT

GUTTER

SLOPE

SCREEN ENCLOSURE

SLOPE

15'-0"

POINCIANA

BAHAMIA

SCHICKEDANZ BROS. FLA

RIO VISTA SUBDIVISION

SEWALL'S POINT, FLORIDA

RICHARD

800 EAST O

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed **Thur** Fri **3-3-11** Page **1** of **1**

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9585	Gilbert	Final AC		
1st	O Mandalay Knauss & Crane		Pass	Close
				INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9700	DACON	[scribble]	[scribble]	[scribble]
	G. [scribble]	[scribble]	[scribble]	[scribble]
	Alex Roverso			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

9855

A/C DUCT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9855	DATE ISSUED:	AUGUST 8, 2011
SCOPE OF WORK:	DUCT SYSTEM CHANGEOUT		
CONDITIONS :			
CONTRACTOR:	ADVANTAGE AC		
PARCEL CONTROL NUMBER:	123841-002-000-006403	SUBDIVISION	RIO VIST - LOT 64
CONSTRUCTION ADDRESS:	6 RIO VISTA DR		
OWNER NAME:	DALTON		
QUALIFIER:	SAMUAL DURHAM	CONTACT PHONE NUMBER:	465-1606

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point BUILDING PERMIT APPLICATION

Permit Number: **9855**

Date: 8/8/11

OWNER/TITLEHOLDER NAME: Dorothy Dalton Phone (Day) (772) 287-1545 (Fax) _____

Job Site Address: 6 Rio Vista Drive City: Stuart State: FL Zip: 34996

Legal Description _____ Parcel Control Number: 12-38-41-002-000-00640-3

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Scope of work (please be specific): Ductwork (Like for Like Changeout)

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 1350.00
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only; Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: Advantage Air Conditioning Phone (772) 465-1606 Fax: (772) 465-4945

Street: 601 S Market Avenue City: Fort Pierce State: FL Zip: 34982

State License Number: CAC039664 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: _____ Phone Number: _____

DESIGN PROFESSIONAL: _____ Lic# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof: _____ Elevated Deck: _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
- THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF: FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - 5.

*******A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*******

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

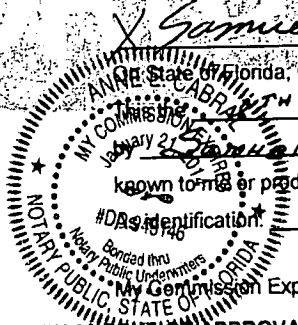
OWNER SIGNATURE: (required)
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

State of Florida, County of: _____
This the _____ day of _____, 2011
by _____ who is personally
known to me or produced
as identification. _____
Notary Public

My Commission Expires: _____

CONTRACTOR SIGNATURE: (required)

State of Florida, County of: St. Lucie
day of Aug, 2011
by Samuel T. Durbin who is personally
known to me or produced
as identification. _____
Notary Public



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

PRODUCT 118

Proposal

Page No. of Pages

ADVANTAGE AIR CONDITIONING OF THE TREASURE COAST, INC.

State Certification No. CAC039664
Prompt Service On Any Make, Any Model
601 South Market Avenue
FORT PIERCE, FLORIDA 34982
(772) 465-1606 (772) 335-3339 Martin County

1-800-222-1817 (M-F)

FAX (772) 465-4948

PROPOSAL SUBMITTED TO <i>Dorothy Dalton</i>		PHONE <i>772-287-1545</i>	DATE <i>8.8.11</i>
STREET <i>6 Rio Vista Dr</i>		JOB NAME <i>772-486-2341</i>	
CITY, STATE and ZIP CODE <i>STUART FL 34997</i>		JOB LOCATION <i>SEWAGES POINT Rd</i>	
ARCHITECT	DATE OF PLANS	JOB PHONE	

We hereby submit specifications and estimates for:

Replace all existing supply ducts

Return air was already done on

install -

Total 2750

We Propose: hereby to furnish material and labor — complete in accordance with above specifications, for the sum of:

1/2 down 1,250 TOTAL DUE IS \$1,350 dollars (\$ *1,350 DUE*)

Payment to be made as follows:

on completion

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance.

Authorized Signature

Dorothy A Dalton

Note: This proposal may be withdrawn by us if not accepted within _____ days.

Acceptance of Proposal — The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature _____



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
 governmax.com 1.13

Summary

Owner
 2 of 14

Tabs

Summary

- Print View
- Land
- Improvements
- Assessments & Exemptions
- Sales
- Taxes →
- NEW: Navigator
- Parcel Map →
- Trim Notice →

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
12-38-41-002-000-00640-3	27577	6 RIO VISTA DR, SEWALL'S POINT	\$237,810	8/6/2011

Owner Information

Owner(Current)	DALTON DOROTHY ANN (TR)
Owner/Mail Address	6 RIO VISTA DR STUART FL 34996
Sale Date	2/7/2005
Document Book/Page	1979 2470
Document No.	1812348
Sale Price	0

Searches

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- NEW: Navigator
- Maps →

Account #	Location/Description	Map Page No.	Legal Description
27577	6 RIO VISTA DR, SEWALL'S POINT	SP-04	RIO VISTA LOT 64
2200			

Parcel Type

Use Code	0100 Single Family
Neighborhood	120250 RIO VISTA DRY

Assessment Information

Market Land Value	\$127,000
Market Improvement Value	\$110,810
Market Total Value	\$237,810

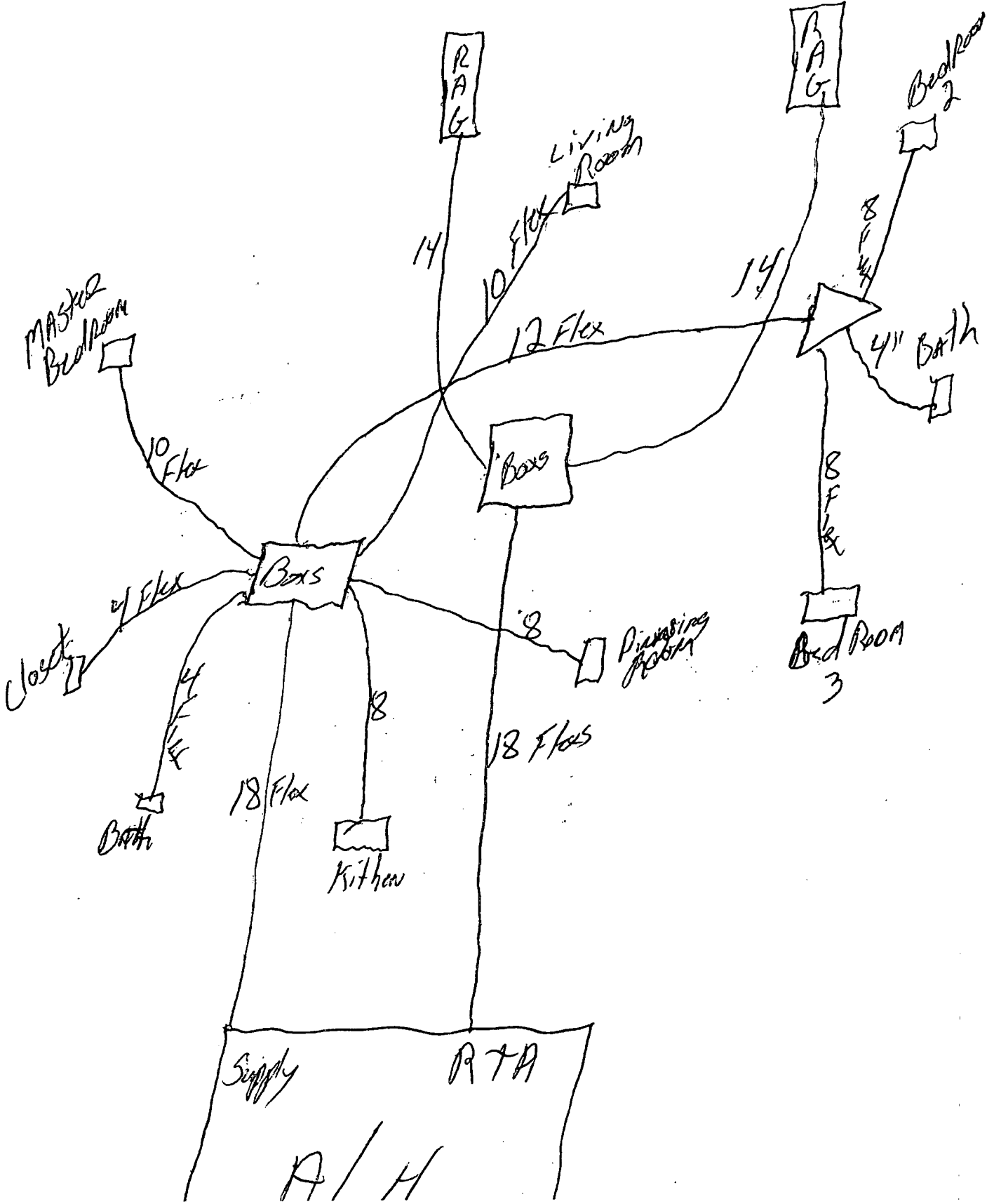
Functions

- Property Search
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Print Back to List First Previous Next Last

Legal Disclaimer / Privacy Statement

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY



TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 12-20-11 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9855	12000...	duct	Pass	Close
150	Advantage AC	duct	Pass	Close
9941	Ruppaport 9 River Crest JA Taylor	Final Roof	Fail	Not Ready INSPECTOR <i>JA</i>
9879	Augustine 9 Indialucie Schiller	deck	Pass	INSPECTOR <i>JA</i>
9867	Augustine 9 Indialucie Onshore Roofing	Roof Final Framing on porch	Pass Pass	INSPECTOR <i>JA</i>
9909	Twohey 112 Henry Sewall Seagate	2nd Fl column & beam	Pass	INSPECTOR <i>JA</i>
9918	Bahner 17 W High Pt Cardinal	Final Roof	Pass	Close INSPECTOR <i>JA</i>
Tree	120 Hillcrest	Tree	OK	
	2811 Hick. Pt - gutter on PAO ???			INSPECTOR



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Dorothy Dalton Address: 620 Rio Vista Dr Phone 287-1545

Contractor Sampson Tree Service Address _____ Phone _____

No. of Trees: REMOVE 3 Species: Palm (Queen)

No. of Trees: RELOCATE _____ Species: _____

No. of Trees: REPLACE _____ Species: _____

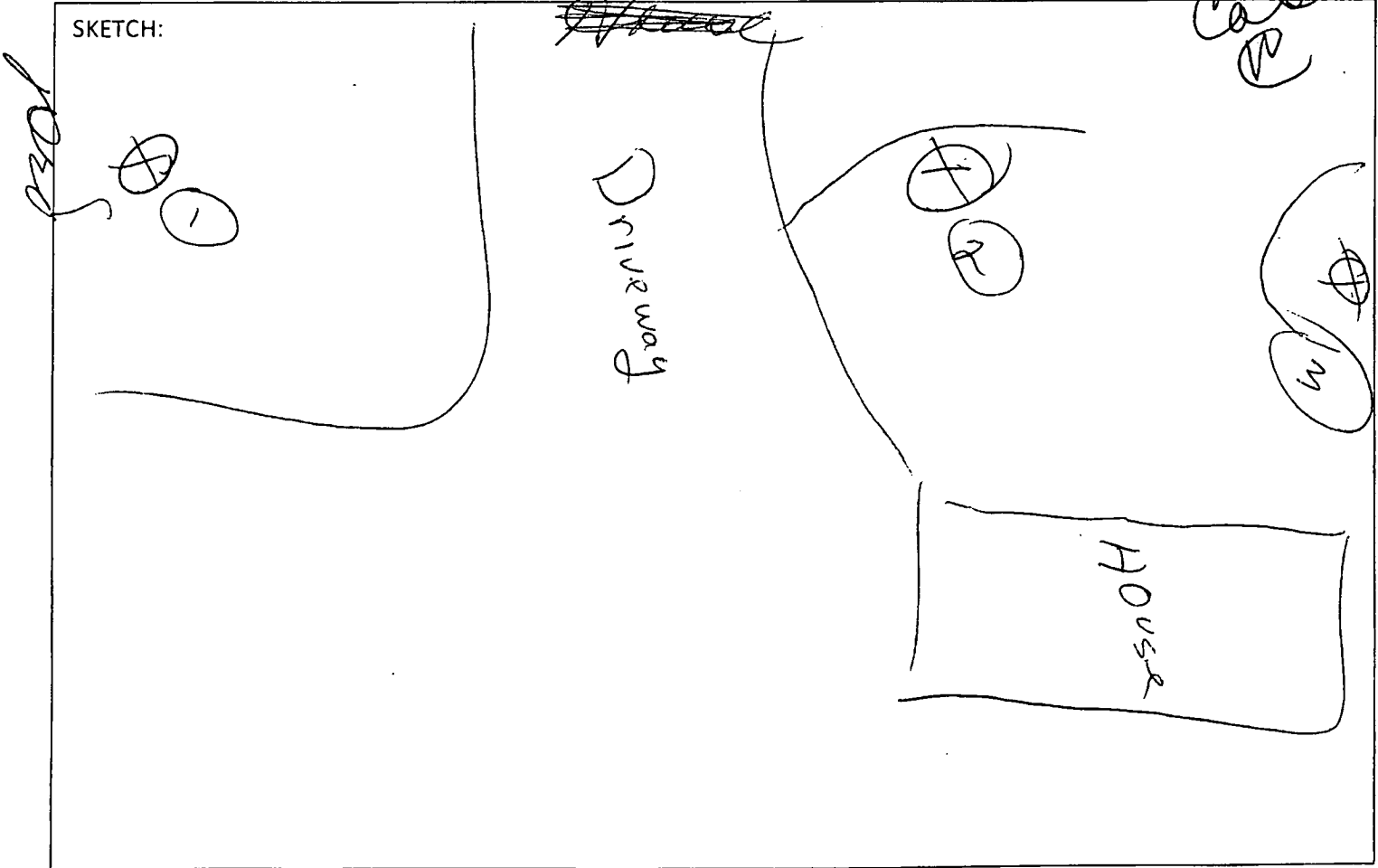
ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

Reason for tree removal /relocation (See notice above) _____

Signature of Property Owner Dorothy Dalton Date 2/28/12

Approved by Building Inspector: AH Date 3.1.12 Fee: 1500

NOTES: _____



TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

SEARCHED
8/8/01

PENDING
BLDG. APPL.

RECEIVED
JUL 30 2001
BY: [Signature]

Permit # 0488
Date Issued 8/8/01

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner Anthony Stracuzzi Address 6 Rio Vista Sewall Pt Phone 508-753-2815

Contractor Anthony Rucolo Address Canaan Lane Phone 508-334-5316

Number of trees to be removed (list kinds of trees) SEE EXIST'G TREE PLAN

Number of trees to be relocated within 30 days (no fee) (list kinds of trees):

Number of trees to be replaced (list kinds of trees):

Permit Fee \$ 15.00 ~~(\$15.00)~~ first tree plus \$10.00 - each additional tree - not to exceed ~~\$100.00~~ \$15.00

(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted [Signature] Plans approved, as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant [Signature] Date submitted 8/30/01

Approved by Building Inspector [Signature] Date 8/8/01

Approved by Building Commissioner _____ Date _____

Completed _____ Date _____ Checked by _____

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT ~~OBTAINING A PERMIT~~. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?

TOWN OF SEWALL'S POINT, FLORIDA

FILE

Date 8/8/01 18 TREE REMOVAL PERMIT No 0488

APPLIED FOR BY A. Stracuzzi / A. Ruccolo (Contractor or Owner)

Owner 6 Rio Vista

Sub-division _____, Lot _____, Block _____

Kind of Trees See Landscape plan

No. Of Trees: REMOVE as per plan

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS all trees marked = O.K.

MM 8/6/01
ch # 207
\$ 15.00

Signed, Sign on file
Applicant

Signed, [Signature]
Town Clerk
Bldg. Insp.

Fee \$ 15.00

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Empty grid area for drawing or site plan]

PROJECT DESCRIPTION _____

REMARKS _____



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Dorothy Dalton Address [REDACTED] Phone 777-486-2341

Contractor SAMPSON TREE Address _____ Phone _____

No. of Trees: REMOVE 1 Species: Queen Palm

No. of Trees: RELOCATE _____ Species: _____

No. of Trees: REPLACE _____ Species: _____

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY

Reason for tree removal /relocation (See notice above) GRAMMA DERMA FUNGUS

Signature of Property Owner [Signature] Date 1/22/13

Approved by Building Inspector: [Signature] Date N/C Fee: _____

NOTES: _____
1-22-13

SKETCH:

See Attached