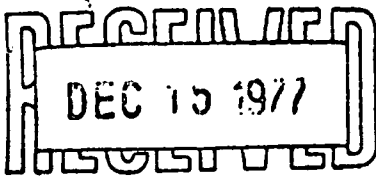


11 Rio Vista Drive



TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Permit No. 772
Date 12/19/77
15 Dec 77

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable)

Owner GUSTAV SCHICKELMANZ Present Address 2300 SE Ocean Blvd Ph 283-0660

General Contractor SCHICKELMANZ BROS Address " Ph "

Where licensed MARTIN Co. License No. 27

Plumbing Contractor Heidinger License No.

Electrical Contractor DJ HARMAN License No.

Street building will front on " Rio Vista Dr

Subdivision Rio Vista Lot No. 52 Area

Building area, inside walls (excluding garage, carport, porches) Sq ft 2000

Other Construction (Pools, additions, etc.) NONE

Contract Price (excluding land, rugs, appliances, landscaping) \$ 42,000-

Total cost of permit \$ ~~42,000~~ 230- 210
20

Plans approved as submitted Plans approved as marked

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

[Signature]
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

[Signature]
Signed by Owner

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted 12/13/77 [Signature]

Date approved 12/19/77 [Signature]

Certificate of Occupancy issued Date

#772

RECEIVED
DEC 15 1977

Application and Permit

of
Individual Sewage Disposal Facilities

THIS PERMIT EXPIRES ONE (1) YEAR FROM DATE OF ISSUANCE

Application/Permit No. HD 77-893 MARTIN County Health Department

Permit VOID if well or septic system is installed in a location other than area permitted. PRIOR HEALTH DEPARTMENT APPROVAL REQUIRED

Section I - Instructions:

1. Percolation test data, soil profile and water table elevation information must be attached. (Note: Test must be made at proposed location of system).
2. Existing building and proposed buildings on lot must be shown and drawn to scale at their location or proposed location. (Use block on this sheet or attach plot plan).
3. Proposed location of septic tank must be shown on plan.
4. Any pond or stream areas must be indicated on the plan.
5. Indicate name and date of plat of subdivision. If not platted, attach metes and bounds description.
6. Complete the following information section.

Notes:

1. Not valid if sewer is available.
2. Individual well must be 75 feet from any part of system.
3. Call 287-2277 and give this office a 24-hour notice when ready for inspection.

Section II - Information:

1. Property Address (Street & House No.) P.O. VISTA DR
 Lot 52 Block -- Subdivision RIO VISTA
 Date Platted -- Directions to Job SOUTH ON SEWALLS PT ROAD TO RIO VISTA
2. Owner or Builder SCHICKEDANZ BROS OF FLORIDA
 P.O. Address CITY 1800 SE OCEAN BLVD STUART FL
 Septic tank system to be installed by:

Scale 1" = 50'

3 BEDROOMS

(Rear)

3. Specifications:

900 gallon tank with 255 square feet of drainfield with at least 4" inside diameter pipe.

4. House to be constructed:
 Check one: FHA
VA Conventional

This is to certify that the project described in this application, and as detailed by the plans and specifications and attachments will be constructed in accordance with state requirements.

Applicant: SCHICKEDANZ BROS
Please Print

Signature: Schickedanz Bros / R. S. Larson

(Name of Street or State Road) (Side)

REMOVE ALL IMPERVIOUS MATERIALS TO A DEPTH OF 6' AND BACKFILL WITH A GOOD GRADE OF SAND IN ENTIRE AREA OF DRAINFIELD.

(Name of Street or State Road) (Side)

Maintain 10' separation between septic system and public water supply pipe.

(Front)

(Name of Street or State Road)

Date: 11-28-77

***** DO NOT WRITE BELOW THIS LINE *****

Section III - Application Approval & Construction Authorization
Installation subject to following special conditions:

The above signed application has been found to be in compliance with Chapter 10D-6, Florida Administrative Code, and construction is hereby approved, subject to the above specifications and conditions.
By: John S. Coles, P.E. County Health Dept. Martin Date 12/2/77

Section IV - Final Construction Approval

Construction of installation approved: Yes No

Date: -- By: --

PHA No. -- VA No. --

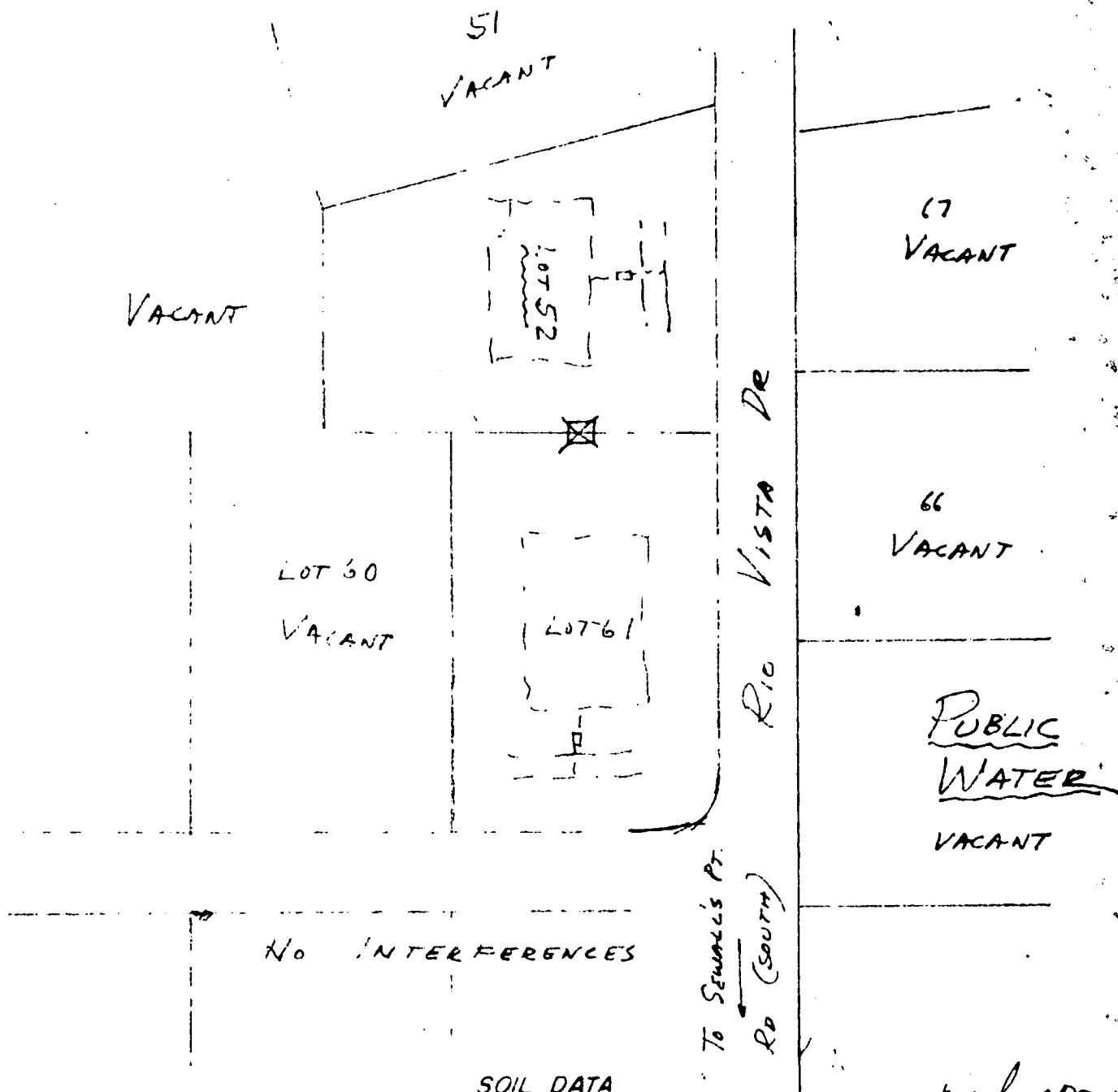
#772

DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES
DIVISION OF HEALTH

INDIVIDUAL SEWAGE DISPOSAL FACILITIES

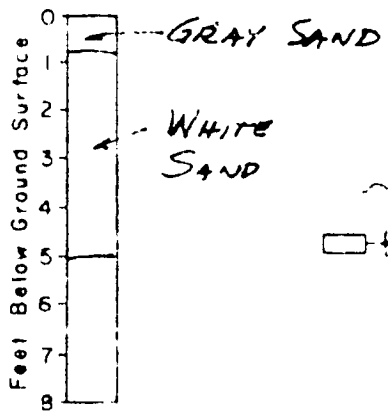
Location: Lot 52-Rio Vista S/D DATA SHEET Applicant: SCHICKEDANZ BROS. OF FL
SEWALL'S PT County: MARTIN

NOTE: This septic tank system is not located within 50 feet of the high water line of a lake, stream, canal or other waters, nor within 75 feet of any private well; nor within 100 feet of any public water supply; nor within 10 feet of water supply pipes; nor within 100 feet of any public sewer system



PLAN
Scale 1" = 60'

SOIL DATA



LEGEND

- Drainage Pattern
- Proposed Septic Tank and Drainfield
- Proposed Water Supply Well
- Existing Water Supply Well
- Soil Boring and Percolation Test Location

SOIL BORING LOG
Soil Identification CLASS I GROUP SW
Soil Characteristics SAND

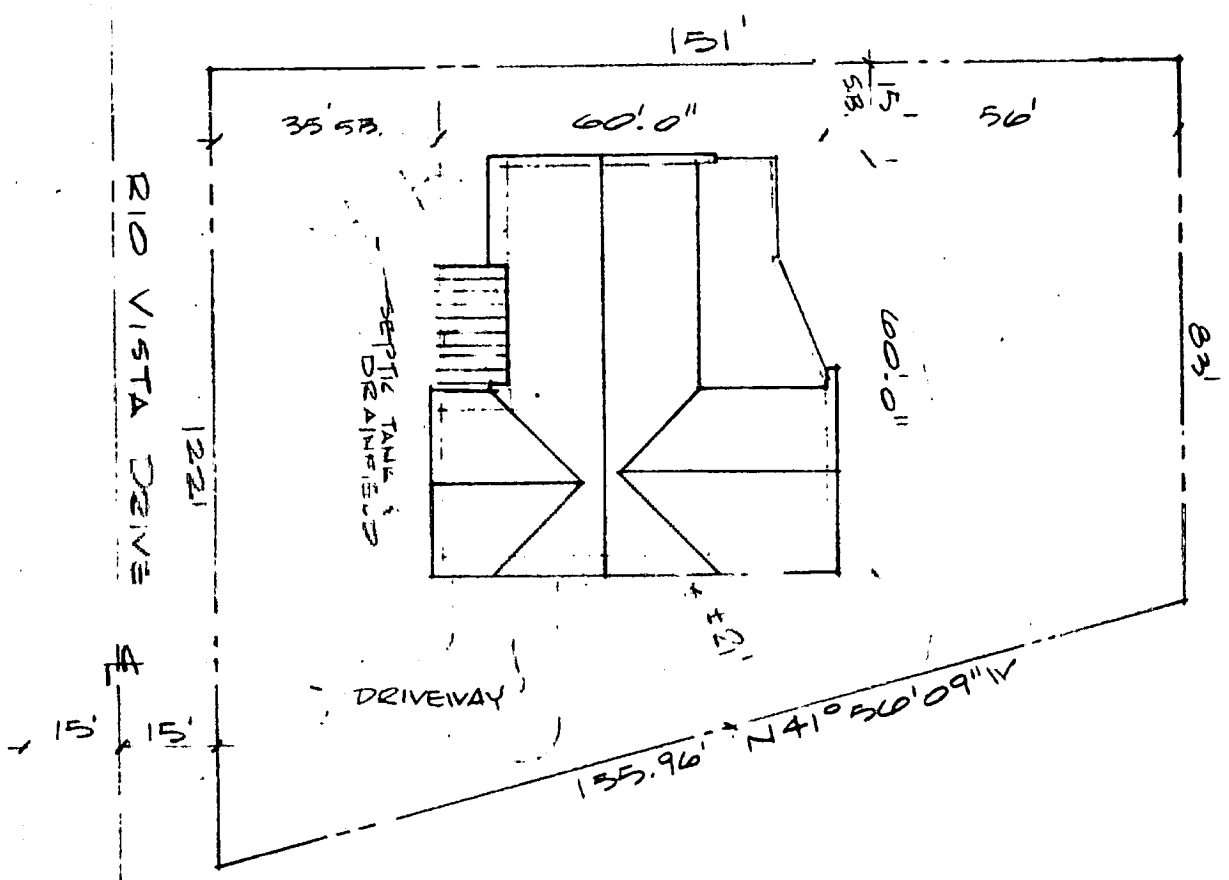
Percolation Rate 1/4 min/inch
Water Table Depth OVER 5'-0"
Water Table Depth During Wet Season OVER 5'-0"
Compacted Fill Of _____ Rad'd

CERTIFIED BY: [Signature]
FLORIDA PROFESSIONAL No. 16552
Date 11-28-77 Job No. 77-172-03

LARSON & O'NEILL INC.
 ARCHITECTS-ENGINEERS
 STUART, FLORIDA

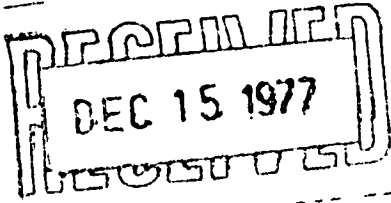
LEGAL DESCRIPTION
 LOT 52, RIO VISTA
 SUBDIVISION, SEVALL'S
 POINT, FLORIDA

SITE PLAN



1" = 30'0"

77-113-22



TOWN OF SEWALL'S POINT

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date May 11, 1978

This is to request that a Certificate of Approval for Occupancy be issued to Roger Morgan

For property built under Permit No. 772 Dated 12/19/77 when completed in conformance with the Approved Plans.

Signed Roger Morgan

RECORD OF INSPECTIONS

<u>Item</u>	<u>Date</u>	<u>Approved by</u>
Footings	1/12/78 Slab 1/20/78	Charles Duryea
Rough plumbing	1/18/78	"
Perimeter beam	1/27/78	"
Rough electric	2/22/78	"
Close in	2/22/78	"
Final plumbing	5/11/78	"
Final electric	5/11/78	"

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector Frank A. Duryea 5/11/78 date

Approved by Town Commission [Signature] 5/11/78 date

Utilities notified May 11, 1978 3:00 p.m. date

Original Copy sent to Roger Morgan

(Keep carbon copy for Town files)

#772

TOWN OF SEWALL'S POINT

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date _____

This is to request that a Certificate of Approval for Occupancy be issued to _____

For property built under Permit No. 772 Dated _____

when completed in conformance with the Approved Plans.

Signed

RECORD OF INSPECTIONS

<u>Item</u>	<u>Date</u>	<u>Approved by</u>
Footings	11/12/78	
Rough plumbing	11/19/78	SUPB 11/20/78
Perimeter beam	11/27/78	
Rough electric		
Close in	2/22/78	
Final plumbing		
Final electric	5/11/78	

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector Charles A. Dwyer date _____

Approved by Town Commission _____ date _____

Utilities notified _____ date _____

Original Copy sent to _____

(Keep carbon copy for Town files)

865
POOL

Approval of these plans in
relieves the contractor or builder
complying with the Town of Sewall
Point's Ordinances and the South
Florida Building Code.

TOWN OF
SEWALL'S POINT
FLORIDA

Permit No. 865
Date 8/22/78

APPLICATION FOR BUILDING PERMIT

This application must be accompanied by three sets of complete plans, to scale (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections, plumbing and electrical layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house construction.

-Owner CHARLES FRARACCIO Present address #11 RIO VISTA
Phone 287-3438

-General contractor LOWDEN POOLS address _____
Phone _____

Where licensed STATE License No. CPE 010400

-Plumbing contractor _____ License No. _____

-Electrical contractor _____ License No. _____

-Name the street on which the building, its front building line and its front yard will face _____

Subdivision RIO VISTA Lot No. 52 Area _____

-Building area, inside walls (excluding garage, carport, porches, etc.)..square feet POOL 470 sq ft

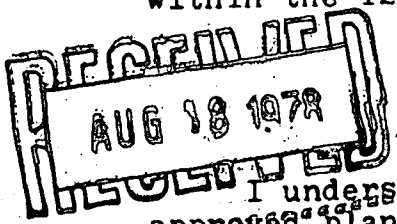
-Other construction (pools, additions, etc.) 470 sq ft

-Contract price (excluding land, carpeting, appliances, landscaping, etc) \$ 6,500

-Total cost of permit \$ _____

-Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the building must be completed in accordance with the approved plan, and that the site will be clean and rough-graded within the 12 month period.



Robert L. Haney
General Contractor

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood.

Charles FRARACCIO per PSL
Owner

Note: speculation builders will be required to sign both of the above statements.

TOWN RECORD

Date submitted _____

Approved: Chala Danz Building Inspector Date 8/22/78

Approved: John P. ... Commissioner Date 21 Aug 1978 865

1626
FENCE

Permit No. _____

RECEIVED

Date 10.24.83

1626 need

OCT 24 1983

APPLICATION FOR A PERMIT TO BUILD A POOL, FENCE, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Hudson Present Address 11 Rio Vista Dr.

Phone _____

Contractor United Fence Address 1210 Rickenbacker Terr.

Phone 335 2627 Port St. Lucie, Fla.

Where licensed Martin License number 00541

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Horiz. Shad. Box Fence x 6'

11 Rio Vista Dr.

State the street address at which the proposed structure will be built:

Subdivision _____ Lot number _____ Block number _____

Contract price \$ 800.00 Cost of permit \$ 5.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor George Quinn

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Jack A Hudson

Date submitted 10/24/83 TOWN RECORD Approved: J. Zimmerman 10/25/83
Building Inspector Date

Approved: J.C. Strubell 10/27 Final Approval given: _____
Commissioner Date Date

Certificate of Occupancy issued (if applicable) _____
Date

SP1282

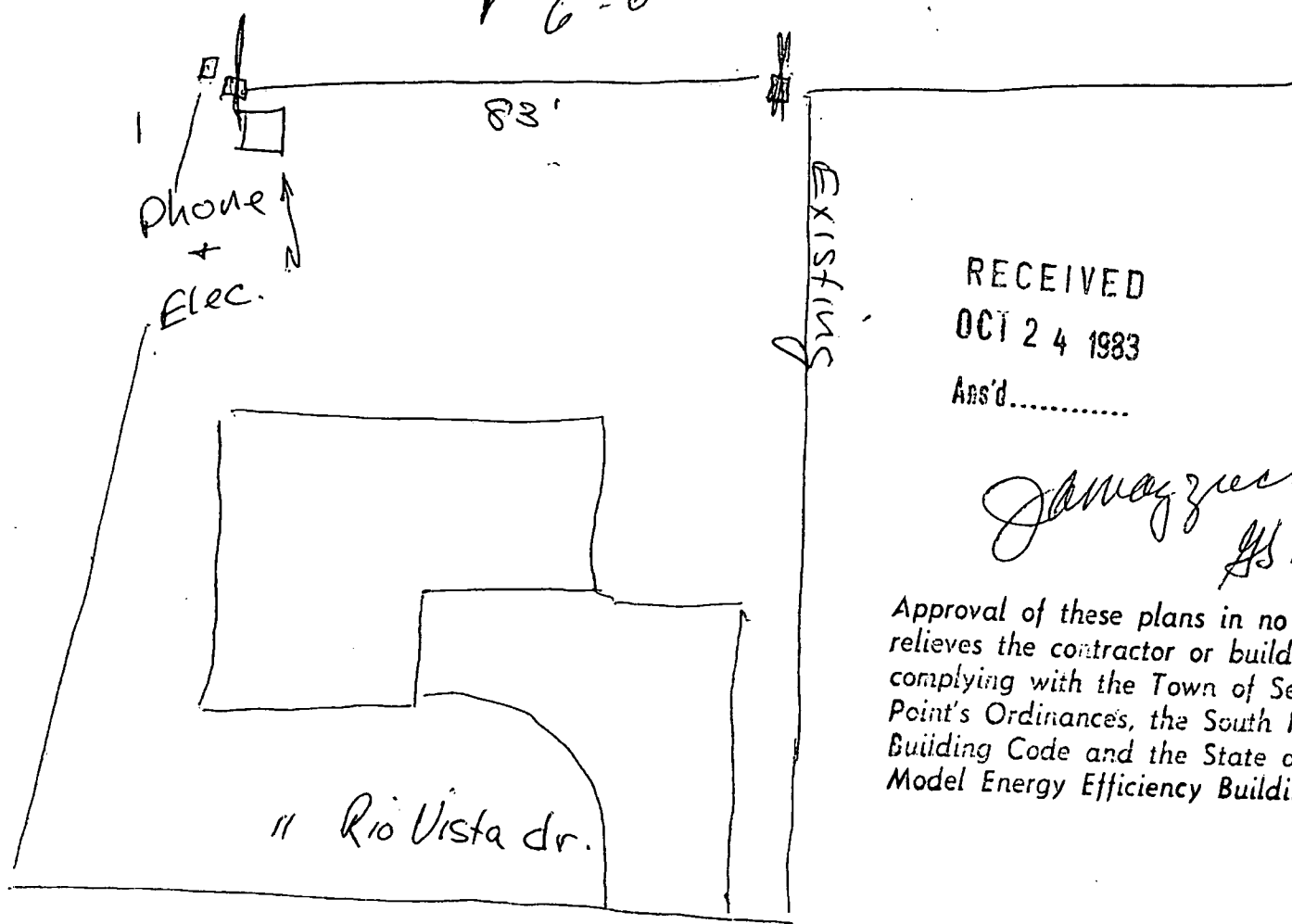
Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

Completed 10/26/83

Fence to go here

6'-6" high



Phone + Elec.

EXISTING

RECEIVED
OCT 24 1983
Ans'd.....

J. Magzussa
10/27

Approval of these plans in no way
relieves the contractor or builder of
complying with the Town of Sewall's
Point's Ordinances, the South Florida
Building Code and the State of Florida
Model Energy Efficiency Building Code.

|| Rio Vista dr.

Rio Vista dr.

3625

STORM SHUTTERS

TAX FORM NO. 3625

DATE _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner JACK D. HUDSON Present address 11 RIO VISTA DR

Phone 407-283-0182

Contractor SUNSHADES Address 3240 S.E. WHEELER ST

Phone 407-335-1588 STUART-FL-34997

Where licensed MARTIN COUNTY License number _____

Electrical Contractor _____ License number _____

Plumbing Contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: STORM SHUTTERS

State the street address at which the proposed structure will be built:

Subdivision RIO VISTA Lot Number 50 Block Number _____

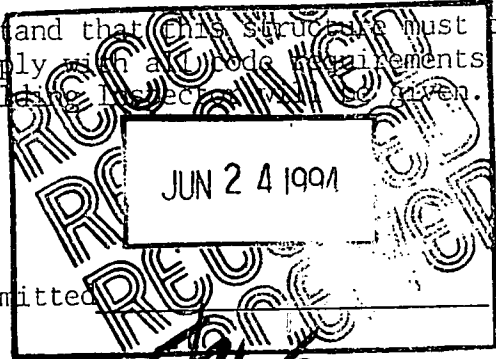
Contract price \$ 2200.00 Cost of permit \$ 24.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-Tagging" the construction project.

Contractor JIM BRUETT

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector is given.



Owner Jack D. Hudson

Date submitted _____ TOWN RECORD Approved: Dale Bruett 6/24/94
Building Inspector Date

Approved: [Signature] Final approval given: _____
Commissioner Date Date

CERTIFICATE OF OCCUPANCY issued (if applicable) _____
Date

PERMIT NO. _____



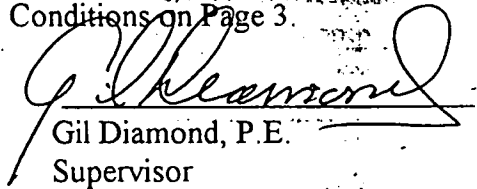
BUILDING CODE COMPLIANCE DEPARTMENT
SUITE 1603
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET
MIAMI, FLORIDA 33130-1563
(305) 375-2901
FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Rolling Shield
4454 N.W. 74th Avenue
Miami, Florida 33166

Your application for Product Approval of Aluminum Roll-up Shutter under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by Tilteco Inc. drawing #93-32, sheets 1 through 5 dated 7/6/93 and Engineering Calculations dated 7/12/93 all signed and sealed by Walter A. Tillit, Jr., P.E. has been recommended for acceptance by the Building Code Compliance office to be used in Dade County, Florida under the specific conditions set forth on Page 2 and the Standard Conditions on Page 3.

ACCEPTANCE No.: 93-0712.3


Gil Diamond, P.E.
Supervisor
Product Control Division

EXPIRES : OCT 14 1996

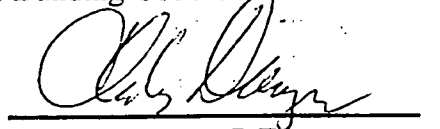
****PLEASE NOTE****

THIS IS THE COVER SHEET. SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE COMMITTEE

This application for Product Approval has been reviewed by the Metropolitan Dade County Building Code Compliance Department and approved by the Building Code Committee to be used in conditions set forth above.

APPROVED: OCT 14 1993


Charles Danger, P.E.
Director
Building Code Compliance Dept.
Metropolitan Dade County

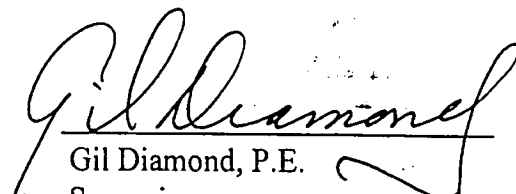
ACCEPTANCE NO. : 93-0712.3

APPROVED : OCT 14 1993

EXPIRES : OCT 14 1996

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

1. This approves an aluminum roll-up storm shutter designed for the following locations:
 - a. Non-coastal building zone to 350 feet in height.
 - b. Coastal building zone Class 1 to 60 feet in height.
 - c. Coastal building zone Class 2 to 350 feet in height.
2. This design uses a factor equal to 1.0 in accordance with Table 23-E of Chapter 23 of the South Florida Building Code.
3. The storm shutter shall be installed vertically and be operable electrically, mechanically and/or manually through a gear system installed in a hood header.
All components shall be 6063-T6 aluminum alloy or as indicated on drawing No. 93-32. The panels shall be constructed and installed in accordance with approved detailed drawing #93-32 Sheets 1 through 5, bearing the Dade County Product Control stamp.
4. Anchorage of the shutter system shall be to concrete or masonry and shall consist of the following:
 - 1/4" dia. Red head sleeve anchor, spaced as indicated on drawings and with a minimum embedment into concrete of 1-1/2".
 - 1/4" dia. Tapcon anchors spaced as indicated on drawings and with a minimum embedment into concrete or masonry of 1-1/4".
5. Permanent set fastener components, embedded anchor bolts, threaded cones or metal shields, not in use, must be protected against corrosion, contamination and damage at all time.
6. Each unit shall bear a permanent label with the manufacturer's name or logo.
7. Application for building permit shall be accompanied by two copies of the following:
 - a) Completely dimensioned drawing showing size and location, including height above grade, of openings to receive shutters.
 - b) Duplicate prints of approved drawing #93-32 sheets 1 thru 5, bearing the approval stamp, Notice of Acceptance number and date by Dade County Product Control Section, clearly marked to show the components selected for the proposed installation..


Gil Diamond, P.E.
Supervisor
Product Control Division



BUILDING CODE COMPLIANCE DEPARTMENT
SUITE 1603
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET
MIAMI, FLORIDA 33130-1563
(305) 375-2901
FAX (305) 375-2908

NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

1. Extension of Acceptance may be considered after a new application has been filed and the supporting data, test report no older than ten (10) years, have been re-evaluated.
All reports of re-testing shall bear the seal, signature and date of an engineer registered in the State of Florida.
2. Any revision or change in the materials, use, or manufacture of the product or process shall automatically be cause for termination, unless prior approval is granted for revisions or change.
3. Any unsatisfactory performance of this product or process or a change in Code provisions shall be grounds for re-evaluation.
4. This acceptance shall not be used as an endorsement of any product for sales or advertising purposes.
5. The Notice of Acceptance number preceded by the words Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
6. A copy of this approval as well as approved drawings and other documents, where it applies, shall be provided to the applicant by the manufacturer or his distributors and shall be available for inspection at the job site at all time. The prints need not be re-sealed by the engineer.
7. Failure to comply with Standard Conditions shall be cause for termination of Approval.

Gil Diamond, P.E.
Supervisor
Product Control Division

3668

RE-ROOF

TAX FOLIO NO. 12-38-41-002-000-0052-8

DATE 10-7-94

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Jack Hudson Present address 11 Rio Vista Dr.
Sewall's Point

Phone 283-0182
Contractor Heaton Enterprises Inc. Address P.O. Box 1143
Phone 287-0116 Palm City Fl. 34990

Where licensed Fl. License number CCC036970

Electrical Contractor License number _____

Plumbing Contractor License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Reroof; Flat deck

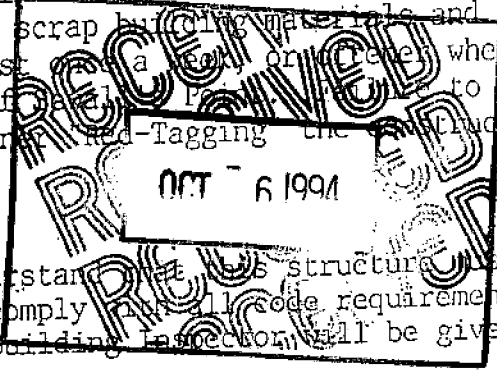
State the street address at which the proposed structure will be built:
11 Rio Vista Dr.

Subdivision Rio Vista Lot Number 52 Block Number _____

Contract price \$ 1700.00 Cost of permit \$ 100.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week or more often when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner red-tagging the construction project.



I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Contractor [Signature]
Owner Jack Hudson

TOWN RECORD
Approved: [Signature] 10/7/94
Building Inspector Date

Date submitted _____
Approved: [Signature] Date _____
Commissioner Date

Final approval given: _____ Date _____
CERTIFICATE OF OCCUPANCY, issued (if applicable) _____ Date _____

PERMIT NO. _____

3832
SCREEN
ENCLOSURE

TAX FOLIO NO. _____

DATE _____

APPLICATION FOR PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

2832

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Joyce Hudson Present address 11 Rio Vista Dr. Stuart, FL
Phone _____

Contractor Pioneer Screen Address 3121 SE Wealer St. Stuart, FL 34997
Phone 283-9197

Where licensed Martin County License number 300046064 (State)

Electrical Contractor _____ License number _____

Plumbing Contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Screen enclosure with bronze aluminum frame (slab is existing)

State the street address at which the proposed structure will be built: 11 Rio Vista Dr.

Subdivision Sewall's Pt. Lot Number 52 Block Number _____

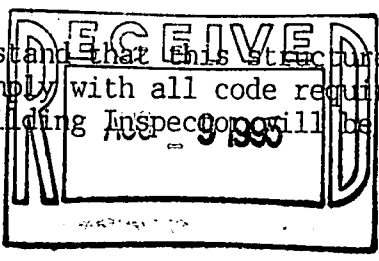
Contract price \$ 2400.00 Cost of permit \$ 100.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-Tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.



Owner Joyce Hudson

TOWN RECORD

Date submitted _____

Approved: [Signature] 8/10/95
Building Inspector Date

Approved: [Signature]
Commissioner Date

Final approval given: _____
Date

CERTIFICATE OF OCCUPANCY issued (if applicable) _____
Date

PERMIT NO. _____

Permit No. _____

Sewalls Point

Date _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Joyce Hudson Present Address 11 Rio Vista Dr.

Phone _____ Stuart FL 34997

Contractor Pioneer Screen Co. Inc. Address 3121 SE Wacker St.

Phone 407-283-9197 Stuart FL 34997

Where licensed Martin County License number #00409

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: INSTALL SCREEN ENCLOSURE ON EXISTING SLAB.

11 Rio Vista Dr.
State the street address at which the proposed structure will be built:

Subdivision _____ Lot number 52 Block number _____

Contract price \$ 2400.00 Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Joyce C. Hudson

TOWN RECORD

Date submitted _____ Approved: _____
Building Inspector _____ Date _____

Approved: _____ Commissioner _____ Date _____
Final Approval given: _____ Date _____

Certificate of Occupancy issued (if applicable) _____
Date _____

SP1282

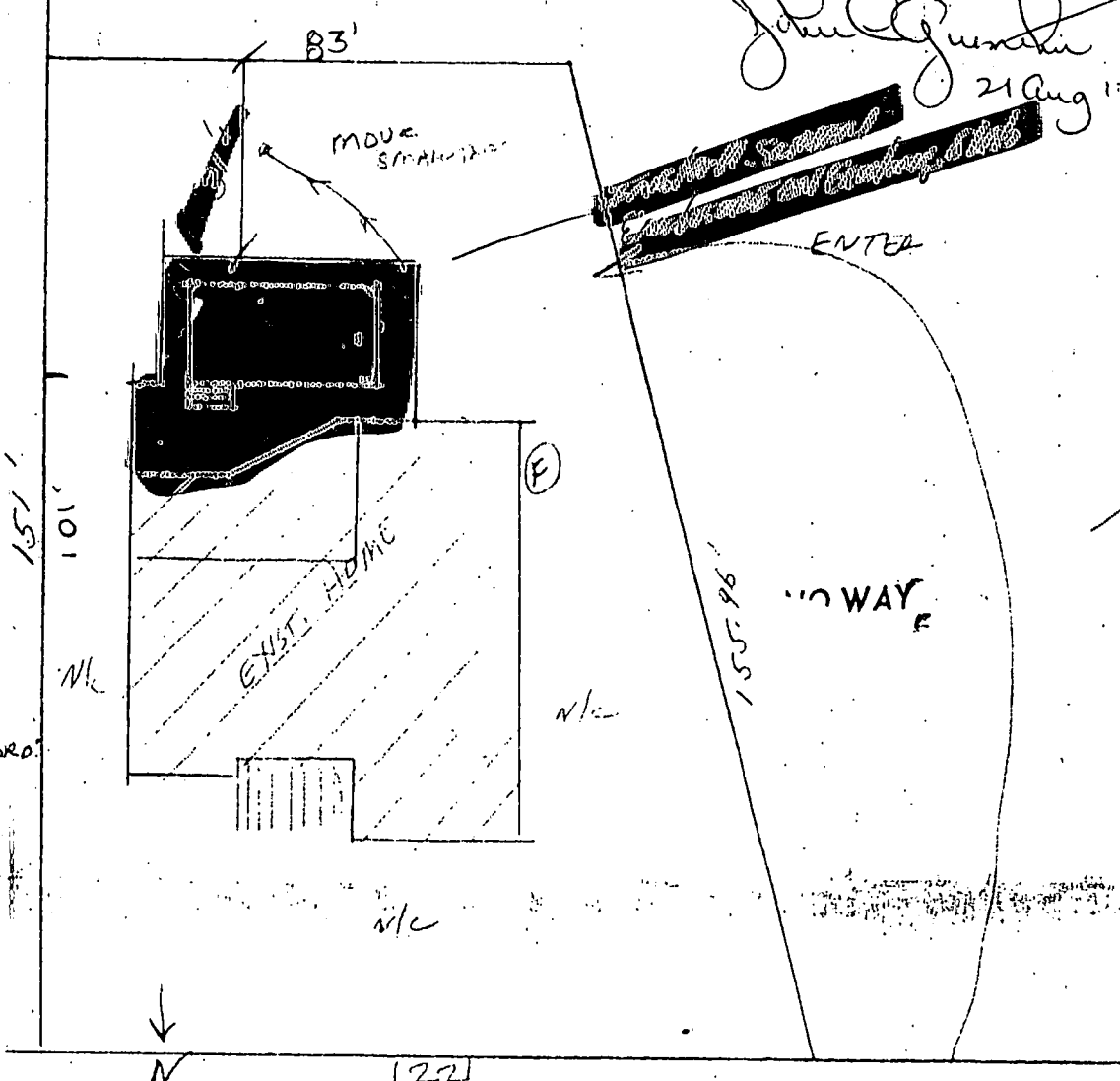
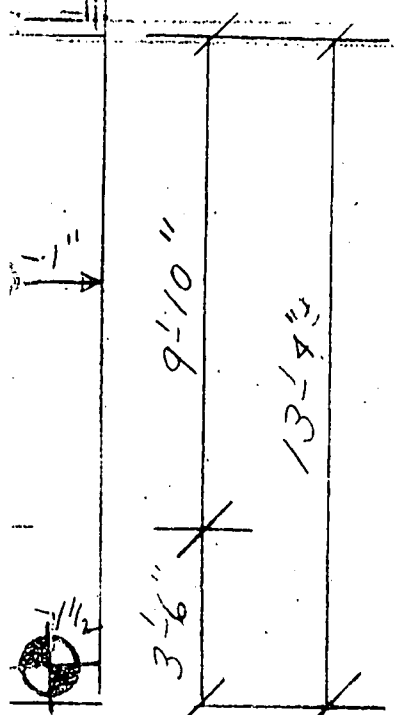
Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

APPROVED
AUG 18 1978
INSPECTED

Approval of these plans in NOW
relieves the contractor or builder
complying with the Town of Sewall
Point's Ordinances and the South
Florida Building Code.

John J. Gumbert
21 Aug 1978



EQUIPMENT LIST

- 1 300 W. LIGHT W/ 25' cord
- 1 300 W. TRANSFORMER
- 1 JUNX. BOX
- 1 SKIMMER
- 1 MAIN DRAIN
- 0 HYDRO JETS
- 4 RETURNS
- 1 POOL SWEEP COMPL
- 1 CHLORINATOR
- 4 OVAL CHLORINE
- 1 SAND FILTER
- 1 3/4 HP PUMP
- 0 0 HEATER
- 0 0 SLIDE
- 0 0 DUE BO
- 0 0 FAN MAIL
- 1 3 STEEL LADDER SS.
- 1 VAC SET COMPL
- 42 LF DECK DRAIN
- 0 LF DRAIN FIELD
- 723 SQ FT PATIO
- 723 SQ FT CAP BEIGE KOOLECK RANDOM SAND
- 2 TIME CLOCKS

RIO VISTA

1" = 30' ±

ENTER ON
VACANT L

John J. Gumbert
Charles Ormsted

RECEIVED
AUG - 9 1995

OT 8/10/95

LOT 52 RIO VISTA S/D SEWALLS PT FLA

Louden

**BONDED POOLS
CONSTRUCTION CO., INC**

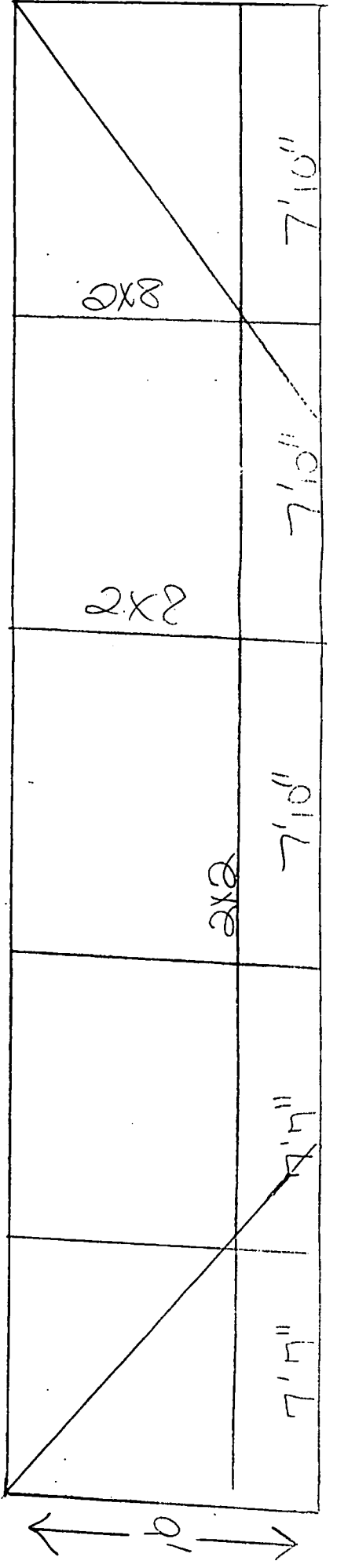
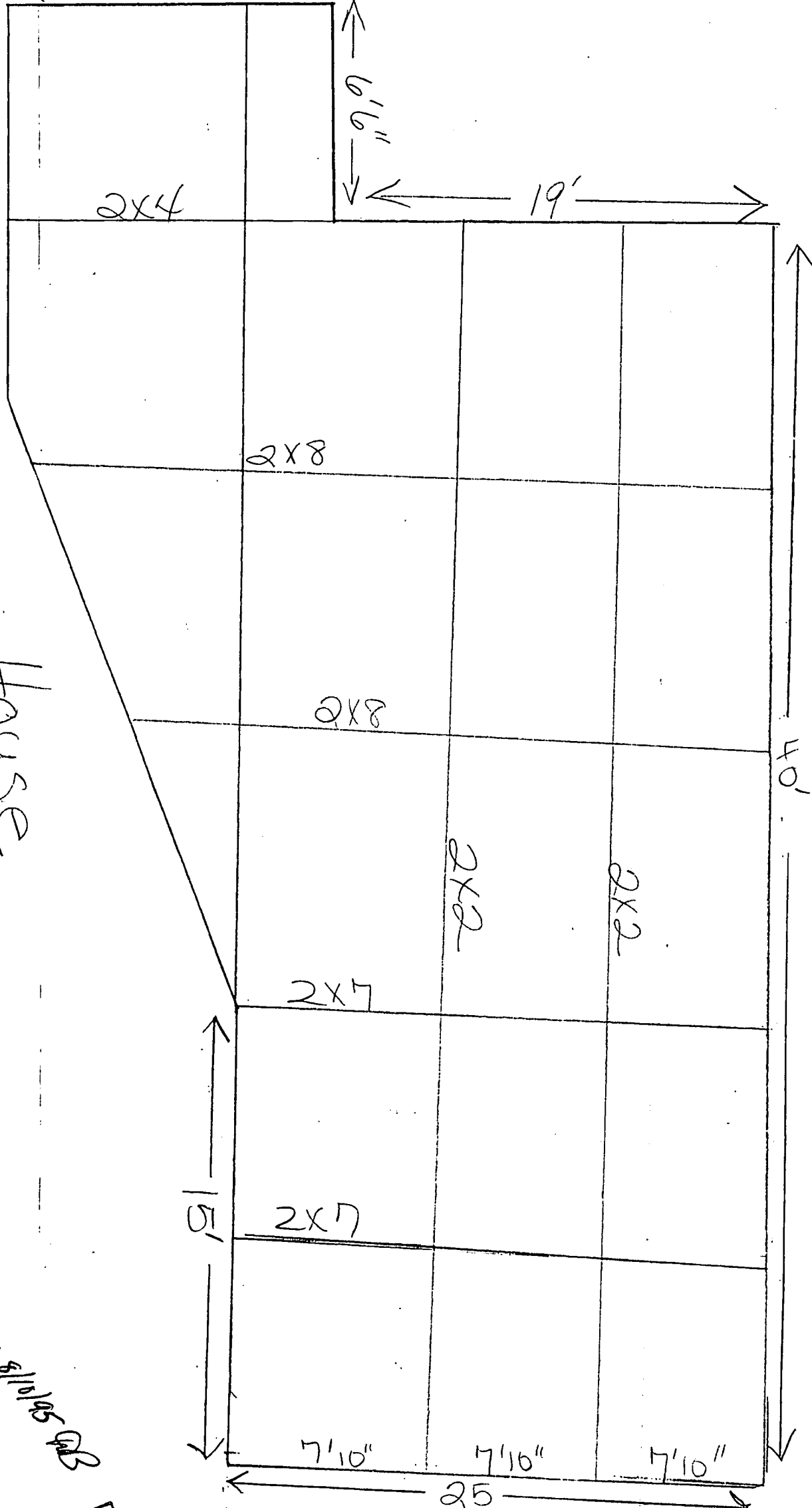
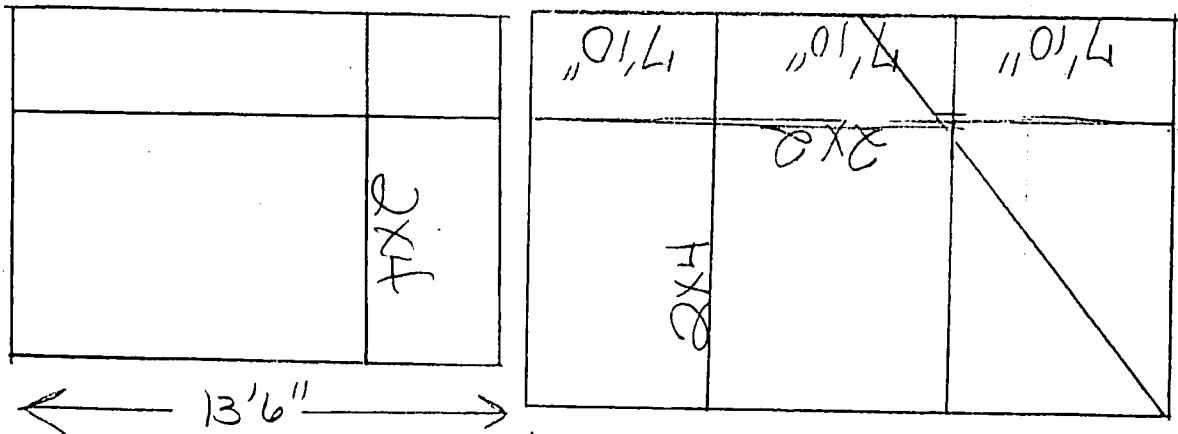
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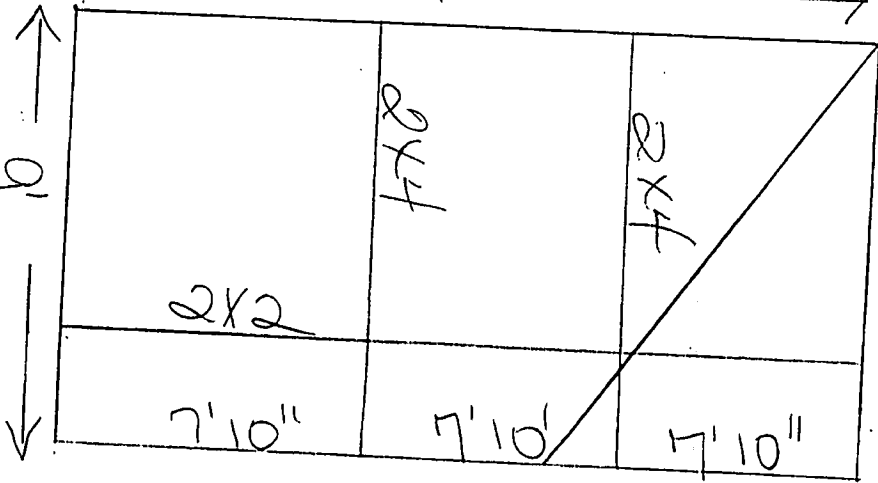
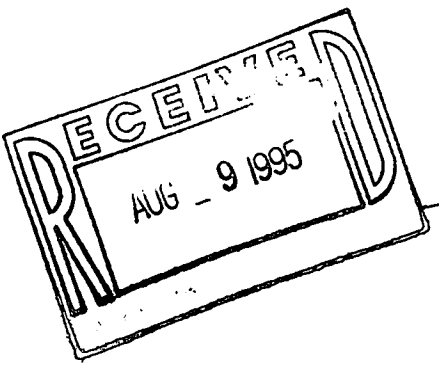
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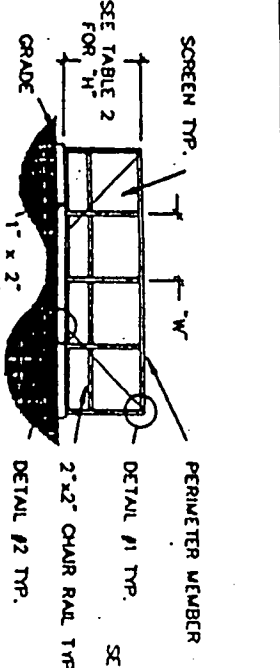
60"

JOYCE HUSSON
 11710 Vista Dr.
 2x8 beams
 2x7 beams

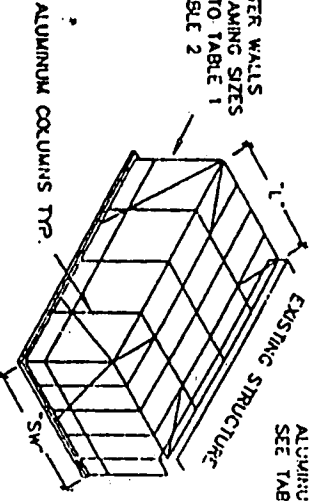


OK 8/11/95 RB

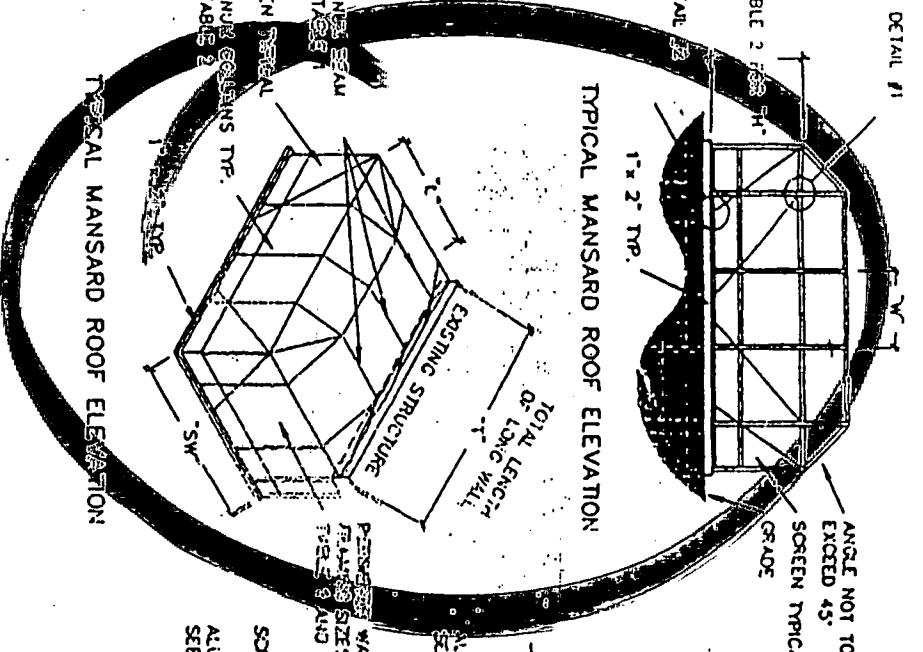




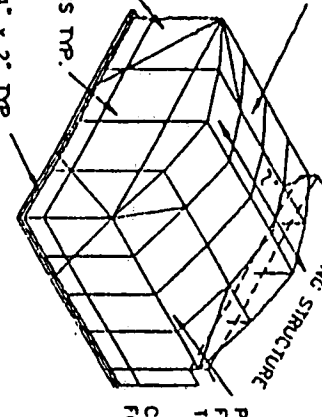
TYPICAL FLAT ROOF ELEVATION



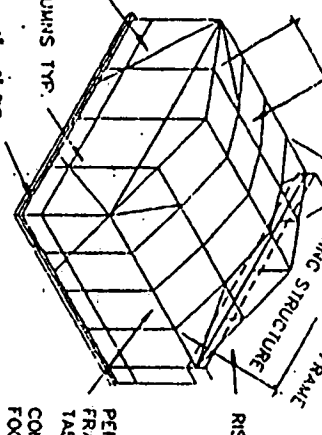
TYPICAL MANSARD ROOF ELEVATION



TYPICAL DOME ROOF ELEVATION



TYPICAL CABLE ROOF ELEVATION



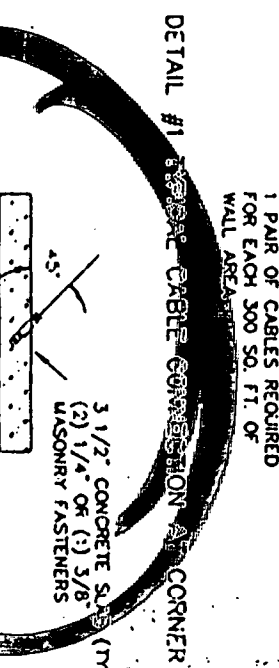
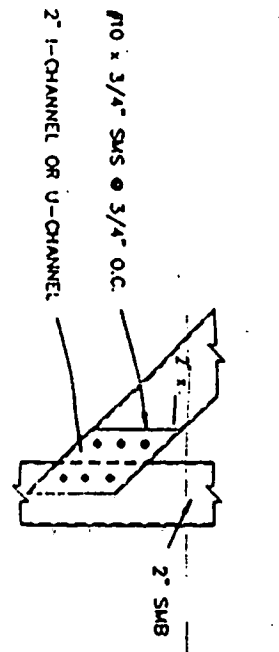
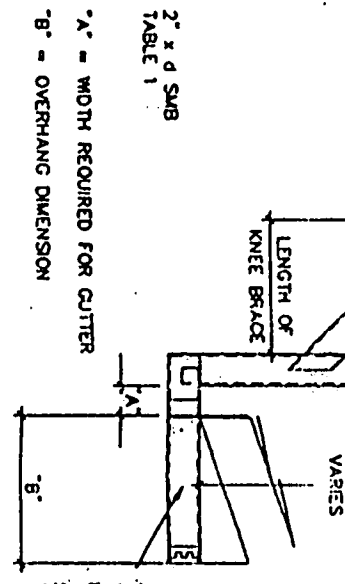
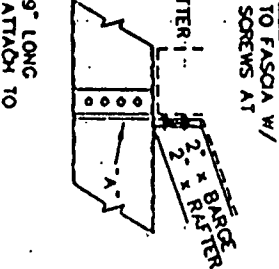
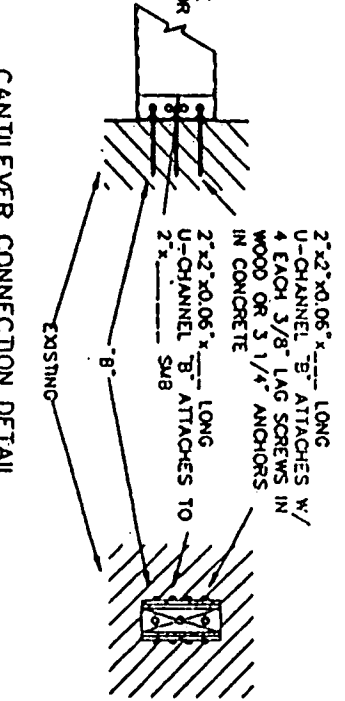
TYPICAL FLAT ROOF ISOMETRIC

TYPICAL MANSARD ROOF ISOMETRIC

TYPICAL DOME ROOF ISOMETRIC

TYPICAL CABLE ROOF ISOMETRIC

NOTES:
 "W" = SCREEN PANEL SPACING
 "L" = MAXIMUM BEAM SPAN WITHOUT KNEE BRACE. ADD HORIZONTAL LENGTH OF KNEE BRACE TO SPAN FROM TABLES.
 "H" = MAXIMUM UPRIGHT HEIGHTS
 "SW" = SIDE WALLS CAN BE FRAMED WITHOUT TOP BEAM AND CAN BE SMALLEST EXTRUSIONS ALLOWED BY SPAN TABLES

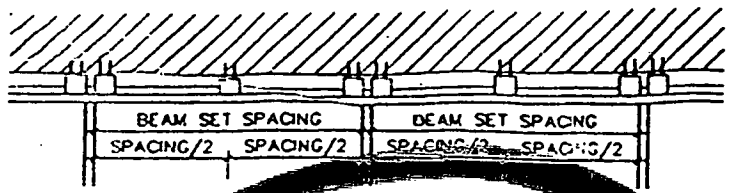


THE DESIGNS AND SPANS SHOWN ON THESE DRAWINGS ARE BASED ON THE LOAD REQUIREMENTS OF THE FOLLOWING CODES:
 1. STANDARD BUILDING CODE 1994 ED. CHAPTER 16 INCLUDING APPLICABLE WIND LOADS AND PROVISIONS OF SBCI SS10-93
 2. BOCA NATIONAL BUILDING CODE 1993
 3. TEXAS DEPARTMENT OF INSURANCE WINDSTORM RESISTANCE GUIDE 6-89

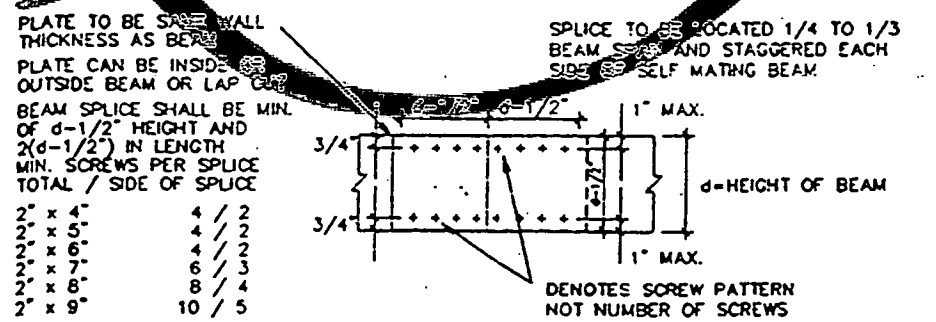
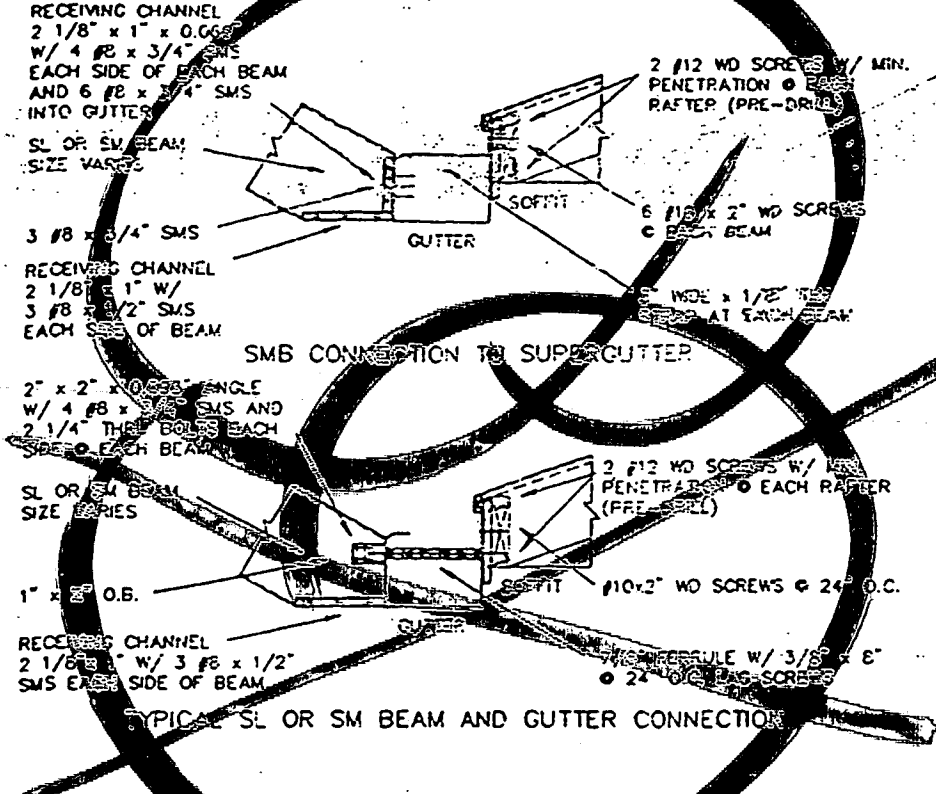
SCREEN ENCLOSURES

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 P.O. BOX 4368
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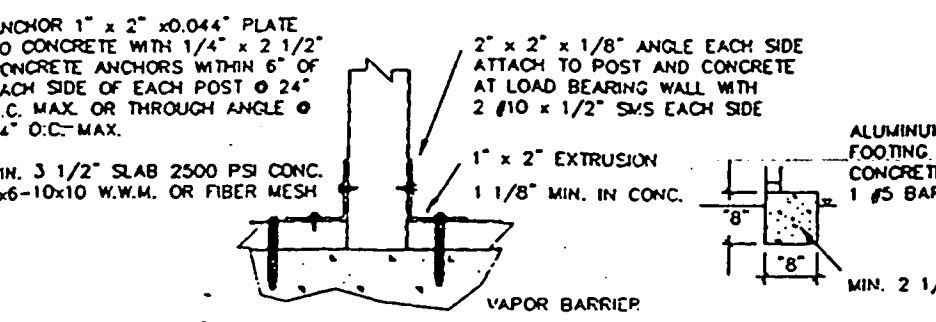
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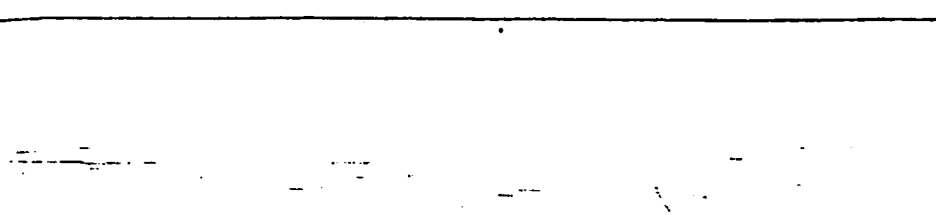
ANGLE LOCATIONS FOR SUPER GUTTER REINFORCEMENT



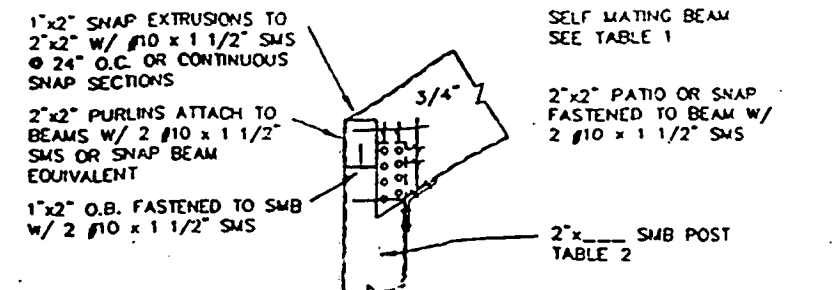
TYPICAL SL OR SM BEAM AND GUTTER CONNECTION



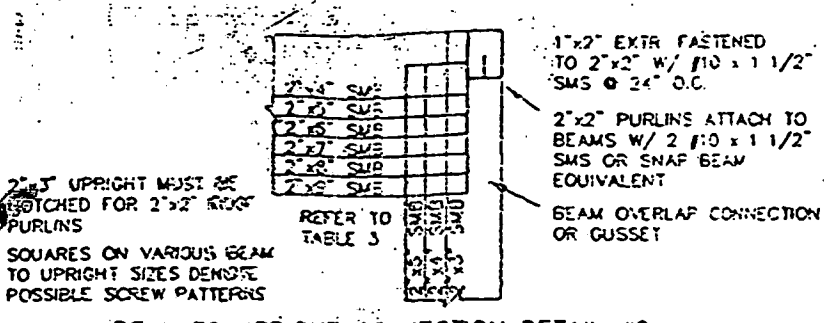
TYPICAL BEAM SPLICE DETAIL



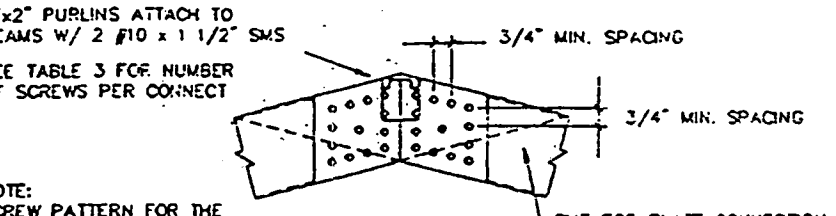
ALTERNATE POST TO BEAM AND PLATE TO CONCRETE



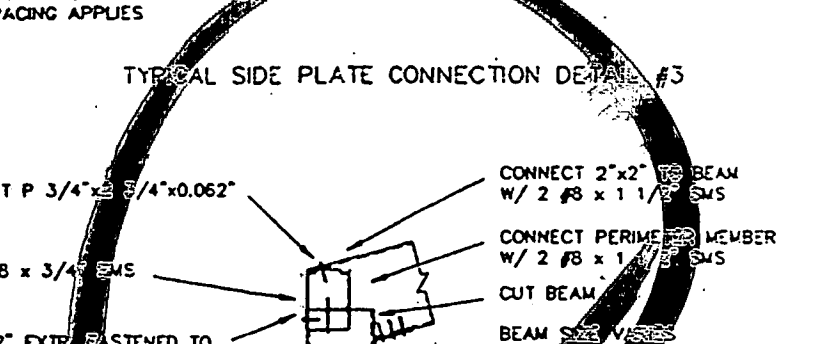
BEAM TO UPRIGHT CONNECTION DETAIL #1



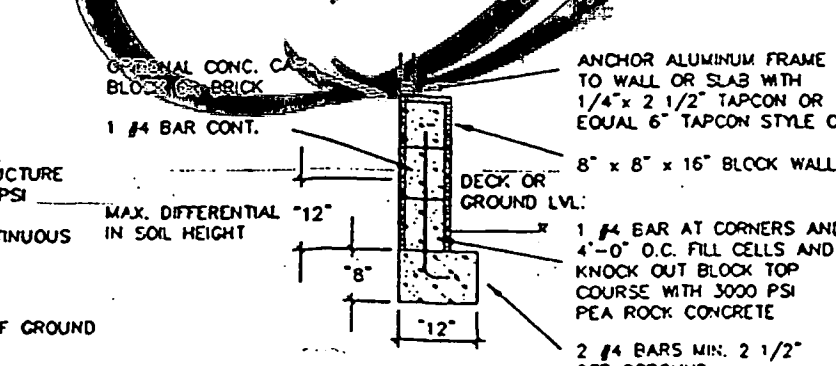
BEAM TO UPRIGHT CONNECTION DETAIL #2



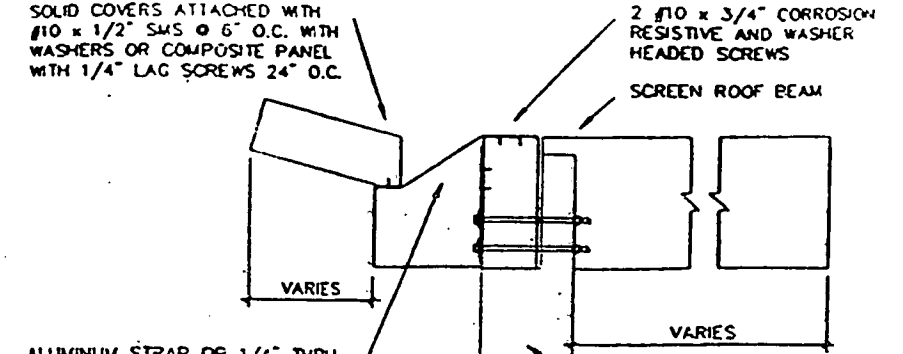
TYPICAL SIDE PLATE CONNECTION DETAIL #3



RIBBON FOOTING FOR SCREENED ENCLOSURES



KNEE WALL FOOTING FOR SCREENED ENCLOSURES

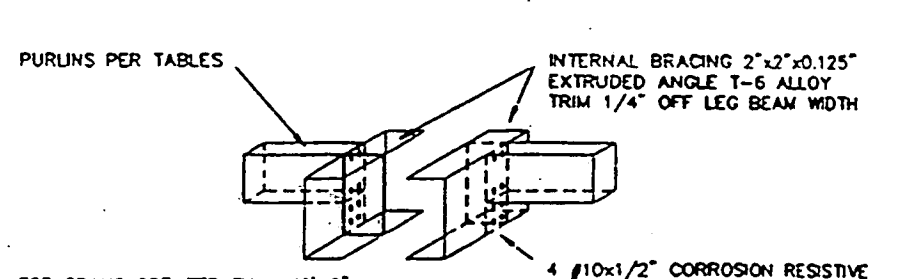


SUPER GUTTER / SOLID ROOF / SCREEN ROOF COMBINATION

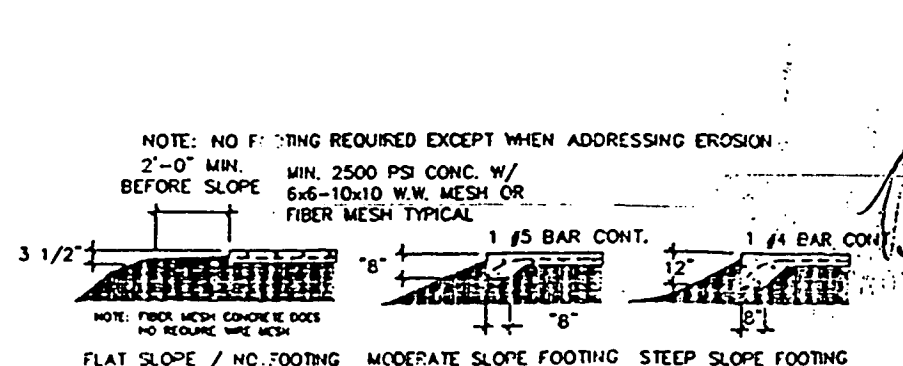
MAXIMUM SPANS FOR SUPERGUTTER AND SMB WITH SCREENED ENCLOSURE ONE SIDE AND SOLID ROOF OTHER SIDE

ALUMINUM ALLOY 6063-T6 FOR SPAN "L" OF BEAM: USE SCREEN PANEL WIDTH "W" FROM DRAWING. LOAD AREA = 1/2 OF SCREEN BEAM LENGTH + 1/2 OF SOLID ROOF SPAN

BEAMS & 4" SUPERGUTTER	10'	12'	14'	15'	16'	20'	22'
2"x6"x0.050"x0.120"	7'	7'	7'	7'	7'	7'	7'
2"x7"x0.065"x0.120"	7'	7'	7'	7'	7'	7'	7'
2"x7"x0.062"x0.120"	7'	7'	7'	7'	7'	7'	7'
W/ 1 BEAM INSERT	23'-10"	23'-0"	22'-2"	21'-6"	20'-10"	20'-3"	19'-8"
2"x8"x0.072"x0.224"	25'-11"	24'-11"	24'-1"	23'-3"	22'-7"	21'-11"	21'-4"
2"x9"x0.072"x0.224"	30'-2"	29'-1"	28'-1"	27'-2"	26'-4"	25'-7"	24'-11"
BEAMS & 5" SUPERGUTTER							
2"x6"x0.050"x0.120"	17'-8"	17'-0"	16'-5"	15'-11"	15'-5"	15'-0"	14'-7"
2"x7"x0.065"x0.120"	22'-9"	21'-11"	21'-2"	20'-5"	19'-10"	19'-3"	18'-9"
2"x7"x0.062"x0.120"	22'-9"	21'-11"	21'-2"	20'-5"	19'-10"	19'-3"	18'-9"
W/ 1 BEAM INSERT	25'-5"	24'-6"	23'-8"	22'-11"	22'-2"	21'-7"	21'-0"
2"x8"x0.072"x0.224"	27'-11"	26'-10"	25'-11"	25'-1"	24'-4"	23'-8"	23'-0"
2"x9"x0.072"x0.224"	32'-5"	31'-2"	30'-1"	29'-2"	28'-3"	27'-5"	26'-9"



LATERAL BRACING DETAIL



SLAB DETAILS ADDRESSING EROSION

THE DESIGN AND SPANS SHOWN ON THESE DRAWINGS ARE BASED ON THE LOAD REQUIREMENTS OF THE FOLLOWING CODES:
 1. STANDARD BUILDING CODE 1994 ED. CHAPTER 16 INCLUDING APPLICABLE WIND LOADS AND PROVISIONS OF IRC § 10-9-93
 2. BOCA NATIONAL BUILDING CODE 1993
 3. TEXAS DEPARTMENT OF INSURANCE WINDSTORM RESISTANCE GUIDE 6-89

SCREEN ENCLOSURES

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JAN 02 1995
 SHEET 1
 OF 2

TABLE 1: MAXIMUM SPANS FOR SCREEN ROOF BEAMS OF ALUMINUM ALLOY 6063 T-6 FOR SPAN L OF BEAM: USE SCREEN PANEL WIDTH W FROM DRAWING.

EXAMPLE: SCREEN PANEL WIDTH W = 4'; MAXIMUM L OF BEAM FOR A 2' x 4' x 0.044' x 0.12' S.M.B. = 17'-9"

WIDTH W OF BEAM: 3' 4' 5' 6' 7' 8' 9'

ONE PIECE EXTRUSIONS FOR PURLINS & BRACING

2' x 2' x 0.044' x 0.12' S.M.B.	10'-0"	8'-7"	7'-9"	7'-1"	6'-7"	6'-2"	5'-10"
2' x 2' x 0.093' OR 2' x 3' x 0.050' EXT.	13'-11"	12'-2"	10'-11"	10'-0"	9'-3"	8'-8"	8'-2"
EXTRUSION AND SELF-MATING BEAM SPANS							
2' x 3' x 0.050' EXT.	15'-7"	13'-6"	12'-1"	11'-0"	10'-2"	9'-6"	9'-0"
2' x 4' x 0.044' x 0.120' S.M.B.	27'-4"	25'-10"	21'-4"	19'-7"	18'-2"	17'-0"	16'-0"
2' x 5' x 0.050' x 0.120' S.M.B.	33'-6"	29'-9"	27'-11"	25'-1"	23'-7"	22'-5"	21'-5"
2' x 6' x 0.050' x 0.120' S.M.B.	39'-10"	35'-6"	32'-9"	29'-7"	27'-0"	25'-1"	23'-2"
2' x 7' x 0.050' x 0.120' S.M.B.	45'-3"	40'-11"	37'-3"	34'-7"	32'-5"	30'-5"	28'-5"
2' x 8' x 0.070' x 0.224' S.M.B.	51'-10"	46'-9"	42'-11"	39'-11"	37'-6"	35'-5"	33'-5"
2' x 9' x 0.070' x 0.310' S.M.B.	58'-5"	52'-2"	48'-4"	44'-7"	41'-10"	40'-1"	38'-1"
SNAP EXTRUSIONS BEAM SPANS							
2' x 2' x 0.044' S.M.B.	11'-5"	10'-0"	8'-11"	8'-3"	7'-7"	7'-1"	6'-8"
2' x 3' x 0.045' S.M.B.	15'-0"	13'-1"	11'-9"	10'-9"	10'-0"	9'-4"	8'-10"
2' x 4' x 0.045' S.M.B.	23'-2"	20'-0"	18'-1"	16'-6"	15'-3"	14'-4"	13'-6"
2' x 6' x 0.064' S.M.B.	37'-2"	32'-10"	29'-6"	27'-0"	25'-1"	23'-6"	22'-2"
2' x 7' x 0.078' S.M.B.	43'-2"	37'-9"	34'-0"	31'-2"	29'-0"	27'-2"	25'-8"

TABLE 1a: MAXIMUM SPANS FOR SCREEN ROOF BEAMS OF ALUMINUM ALLOY 6063 T-6 FOR AREAS SUBJECT TO ICE AND WIND LOAD AREAS NORTH OF THE LATITUDE OF JACKSONVILLE, FLORIDA

FOR SPAN L OF BEAM: USE SCREEN PANEL WIDTH W FROM DRAWING.

EXAMPLE: SCREEN PANEL WIDTH W = 4'; MAXIMUM L OF BEAM FOR A 2' x 4' x 0.044' x 0.12' S.M.B. = 16'-1"

WIDTH W OF BEAM: 3' 4' 5' 6' 7' 8' 9'

ONE PIECE EXTRUSIONS FOR PURLINS & BRACING

2' x 2' x 0.044' x 0.12' S.M.B.	6'-11"	6'-0"	5'-5"	4'-11"	4'-6"	4'-3"	4'-0"
2' x 2' x 0.053' OR 2' x 3' x 0.050' EXT.	9'-9"	8'-5"	7'-6"	6'-11"	6'-4"	5'-11"	5'-7"
EXTRUSION AND SELF-MATING BEAM SPANS							
2' x 3' x 0.050' EXT.	11'-8"	10'-1"	9'-1"	8'-3"	7'-8"	7'-2"	6'-9"
2' x 4' x 0.044' x 0.120' S.M.B.	18'-6"	16'-1"	14'-6"	13'-3"	12'-3"	11'-6"	10'-11"
2' x 5' x 0.050' x 0.120' S.M.B.	22'-11"	19'-1"	17'-1"	15'-8"	14'-6"	13'-7"	12'-9"
2' x 6' x 0.050' x 0.120' S.M.B.	25'-9"	22'-5"	20'-0"	18'-4"	17'-0"	15'-11"	15'-1"
2' x 7' x 0.050' x 0.120' S.M.B.	28'-3"	24'-7"	22'-0"	20'-7"	18'-8"	17'-6"	16'-6"
2' x 8' x 0.070' x 0.224' S.M.B.	36'-2"	33'-3"	29'-11"	27'-4"	25'-4"	23'-9"	22'-5"
2' x 9' x 0.070' x 0.310' S.M.B.	41'-5"	36'-1"	32'-5"	29'-7"	27'-6"	25'-9"	24'-3"
2' x 9' x 0.070' x 0.310' S.M.B.	45'-11"	40'-0"	35'-5"	32'-11"	30'-6"	28'-6"	26'-6"

TABLE 2: MAXIMUM UPRIGHT LENGTH FOR SCREEN WALL MEMBERS ALUMINUM ALLOY 6063 T-6

EXAMPLE: USING SCREEN PANEL WIDTH W = 4'; SELECT UPRIGHT LENGTH H = 9'

SCREEN PANEL WIDTH W = 4'; MAXIMUM H FOR A 2' x 4' x 0.044' x 0.12' S.M.B. = 17'-9"

WIDTH W OF BEAM: 3' 4' 5' 6' 7' 8' 9'

ONE PIECE EXTRUSIONS FOR UPRIGHTS & CHAIR RAILS

2' x 2' x 0.044' x 0.12' S.M.B.	7'-7"	6'-6"	5'-9"	5'-3"	4'-11"	4'-7"	4'-4"
2' x 2' x 0.093' OR 2' x 3' x 0.050' EXT.	10'-6"	9'-1"	8'-1"	7'-5"	6'-10"	6'-5"	6'-0"
SELF-MATING BEAMS							
2' x 2' x 0.053' OR 2' x 3' x 0.050' EXT.	13'-0"	11'-5"	10'-0"	9'-2"	8'-6"	7'-11"	7'-6"
2' x 4' x 0.044' x 0.120' S.M.B.	20'-6"	17'-9"	15'-11"	14'-6"	13'-5"	12'-6"	11'-10"
2' x 5' x 0.050' x 0.120' S.M.B.	25'-2"	20'-10"	18'-10"	17'-6"	16'-4"	14'-5"	13'-9"
2' x 6' x 0.050' x 0.120' S.M.B.	28'-6"	24'-8"	22'-1"	20'-2"	18'-8"	17'-5"	16'-5"
2' x 7' x 0.050' x 0.120' S.M.B.	31'-2"	27'-1"	24'-3"	22'-1"	20'-6"	19'-2"	18'-1"
2' x 8' x 0.070' x 0.224' S.M.B.	37'-5"	32'-8"	29'-5"	26'-0"	23'-9"	22'-11"	21'-5"
2' x 9' x 0.070' x 0.310' S.M.B.	45'-10"	39'-4"	35'-7"	32'-5"	30'-11"	28'-7"	26'-6"
SNAP EXTRUSIONS							
2' x 2' x 0.044' S.M.B.	8'-7"	7'-5"	6'-8"	6'-1"	5'-7"	5'-3"	5'-11"
2' x 3' x 0.045' S.M.B.	11'-5"	9'-10"	8'-10"	8'-0"	7'-5"	6'-11"	6'-7"
2' x 4' x 0.045' S.M.B.	17'-5"	15'-1"	13'-6"	12'-3"	11'-4"	10'-0"	9'-0"
2' x 6' x 0.064' S.M.B.	28'-6"	24'-8"	22'-1"	20'-2"	18'-8"	17'-5"	16'-5"
2' x 7' x 0.078' S.M.B.	33'-1"	28'-8"	25'-6"	23'-5"	21'-8"	20'-3"	19'-1"

TABLE 2a: ABOVE HEIGHTS DO NOT INCLUDE LENGTH OF KNEE BRACE. ADD VERTICAL LENGTH OF KNEE BRACE TO ABOVE HEIGHTS FOR TOTAL UPRIGHT HEIGHT.

TABLE 3: MINIMUM # SCREWS FOR CONNECTING ROOF BEAMS TO WALL UPRIGHTS ALUMINUM ALLOY 6063 T-6

BEAM SIZE	UPRIGHT SIZE (MIN)	MIN. # & LGTH OF SCREWS REQUIRED
2' x 3"	2' x 3"	4 # 10x 1/2" DOUBLE SHEAR
2' x 4"	2' x 4"	5 # 10x 1/2" DOUBLE SHEAR
2' x 5"	2' x 5"	6 # 10x 1/2" DOUBLE SHEAR
2' x 6"	2' x 6"	8 # 10x 1/2" DOUBLE SHEAR
2' x 7"	2' x 7"	12 # 10x 1/2" DOUBLE SHEAR
2' x 8"	2' x 8"	14 # 10x 1/2" DOUBLE SHEAR
2' x 9"	2' x 9"	16 # 10x 1/2" DOUBLE SHEAR

* REFERS TO EACH SIDE OF THE CONNECTION OF THE BEAM AND UPRIGHT

TABLE 4: MINIMUM SIZES OF SCREEN ENCLOSURE KNEE BRACES

BRACE LGTH: 0'-2"-0" 2' x 2' x 0.044" 2' H-CHANNEL W/ 3/8" x 10' x 1/2" EA. SIDE

0'-2'-0" 2' x 3' x 0.050" 2' H-CHANNEL W/ 3/8" x 10' x 1/2" EA. SIDE

10'-4'-6" 2' x 4' x 0.044" x 0.12" 2' H-CHANNEL W/ 3/8" x 10' x 1/2" EA. SIDE

NOTE: FOR REQUIRED KNEE BRACE GREATER THAN 4'-6" CALL ENGINEER FOR SPECIFICATIONS AND DETAILS

BRACE LENGTH REFERS TO HORIZONTAL AND VERTICAL LENGTH, NOT THE ANGLE LENGTH.

TABLE 5: ALLOWABLE LOADS ON SCREWS & BOLTS AS RECOMMENDED BY MANUFACTURERS

# SCREW	TENSILE STRENGTH 55,000 PSI	SHEAR 24,000 PSI	WITHDRAWAL lbs
8	334	668	167
10	418	836	205
12	576	1,152	288
14	734	1,468	367
1/4"	761	1,522	380
5/16"	1,253	2,506	626
3/8"	1,855	3,710	928

WOOD LAG SCREW LOADS

WOOD SPECIES	EMBEDMENT INTO MINIMUM OF 1-1/2" THICKNESS	WITHDRAWAL lbs
USING SOUTHERN PINE S.G. 0.45 OR EQUIVALENT	1-1/2"	396
WOOD EMBEDDED INTO MUST BE A MINIMUM OF 1-1/2" THICKNESS	1-1/2"	355
# SCREW	LATERAL SHEAR / METAL PLATES	712
1/4"	170	
5/16"	210	
3/8"	240	

CONCRETE SCREWS & BOLTS IN CONCRETE

EMBEDMENT MUST BE A MINIMUM OF 1-1/2" THICKNESS W/ 1-1/4" FROM EDGE	2,000 PSI CONCRETE TENSION	3,000 PSI CONCRETE TENSION
1/4"	757	825
5/16"	1,057	1,164
3/8"	1,443	1,503

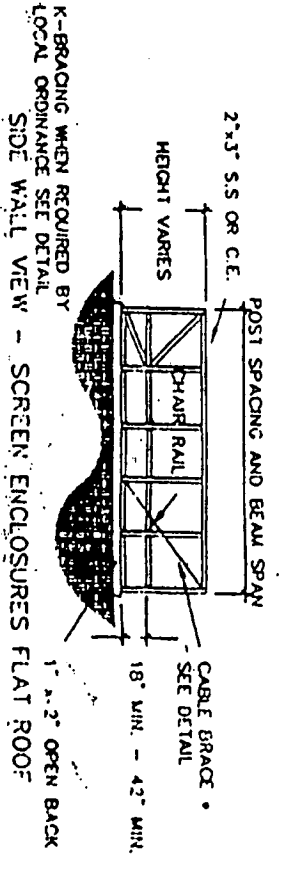
THE DESIGNS AND SPANS SHOWN ON THESE DRAWINGS ARE BASED ON THE LOAD REQUIREMENTS OF THE FOLLOWING CODES:

- STANDARD BUILDING CODE 1994 ED. CHAPTER 16 INCLUDING APPLICABLE WIND LOADS AND PROVISIONS OF SBCCI SSTD 10-93
- BOCA NATIONAL BUILDING CODE 1993
- TEXAS DEPARTMENT OF INSURANCE WINDSTORM RESISTANCE GUIDE 6-89

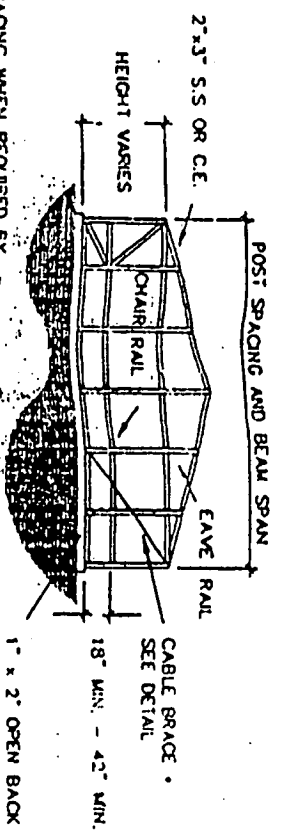
SCREEN ENCLOSURES

Lawrence E. Bennett, P.E.
 CIVIL ENGINEER - DEVELOPMENT CONSULTANT
 P.O. BOX 4368
 PORT ORANGE, FLORIDA 32119
 TELEPHONE: (904) 767-4774
 FAX: (904) 767-6556

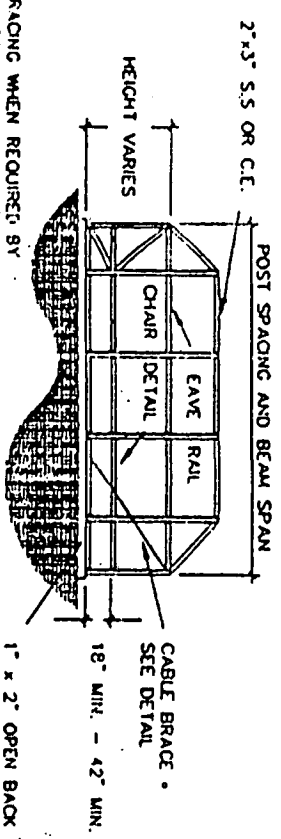
JAN 02 1995
 SHEET 1



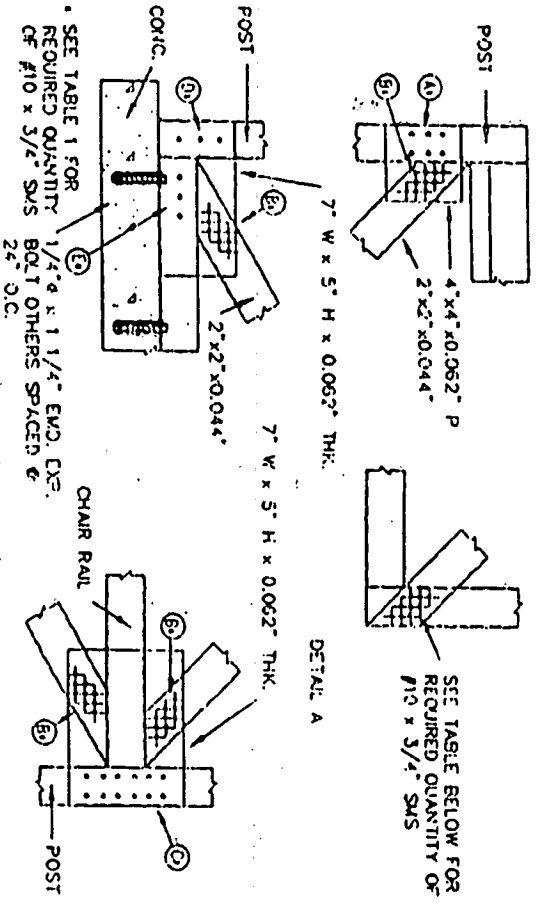
K-BRACING WHEN REQUIRED BY LOCAL ORDINANCE SEE DETAIL
 SIDE WALL VIEW - SCREEN ENCLOSURES FLAT ROOF



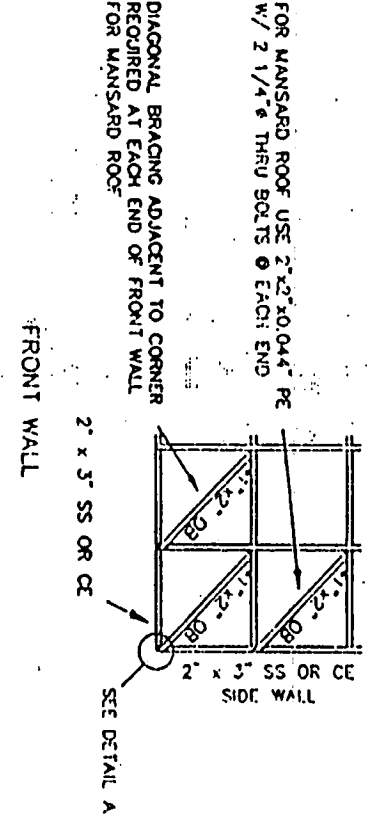
K-BRACING WHEN REQUIRED BY LOCAL ORDINANCE SEE DETAIL
 SIDE WALL VIEW - SCREEN ENCLOSURES CABLE OR DIAGONAL ROOF



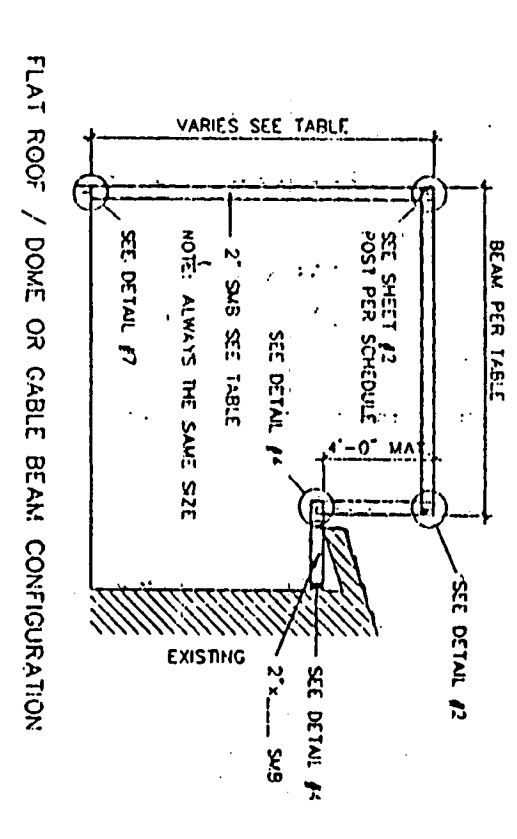
K-BRACING WHEN REQUIRED BY LOCAL ORDINANCE SEE DETAIL
 SIDE WALL VIEW - SCREEN ENCLOSURES MANSARD ROOF
 NOTE: K-BRACE OR CABLE BRACE NOT REQUIRED WHEN END POST IS FIRMLY ATTACHED TO AN EXISTING STRUCTURE



POST
 4\"/>



FRONT WALL
 2' x 3' SS OR CE
 SEE DETAIL A



FLAT ROOF / DOME OR CABLE BEAM CONFIGURATION
 NOTE: ALWAYS THE SAME SIZE

WALL WIDTH	NUMBER OF #10 x 3/4\"/>
20'-0"	2
30'-0"	4
40'-0"	5
50'-0"	7
60'-0"	9

WALL WIDTH	NUMBER OF #10 x 3/4\"/>
20'-0"	2
30'-0"	4
40'-0"	5
50'-0"	7
60'-0"	9

TABLE 1
 USE FRONT WALL WIDTH WHEN DETERMINING NUMBER OF SMS
 FOR THE SIDE WALL K-BRACING
 USE SIDE WALL WIDTH WHEN DETERMINING NUMBER OF SMS
 FOR THE FRONT AND / OR BACK WALL K-BRACING
 MAXIMUM WALL WIDTH =
 A 20'-0" 2
 B 30'-0" 4
 C 40'-0" 5
 D 50'-0" 7
 E 60'-0" 9
 = MAXIMUM FRONT WALL HEIGHT = 10'-0"

Lawrence E. Bennett, P.E.
 CIVIL ENGINEER - DEVELOPMENT CONSULTANT
 P.O. BOX 4368
 PORT ORANGE, FLORIDA 32119
 TELEPHONE: (904) 767-4774
 FAX: (904) 767-6556

SCREEN ENCLOSURES

- THE DESIGNS AND SPANS SHOWN ON THESE DRAWINGS ARE BASED ON THE LOAD REQUIREMENTS OF THE FOLLOWING CODES:
- STANDARD BUILDING CODE, 1994 ED., CHAPTER 16 INCLUDING APPLICABLE WIND LOADS AND PROVISIONS OF SBCCI SSTD 10-93
 - BOCA NATIONAL BUILDING CODE 1993
 - TEXAS DEPARTMENT OF INSURANCE WINDSTORM RESISTANCE GUIDE, 6-89

6159
FENCE

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 2/25/03

BUILDING PERMIT NO. 6159

Building to be erected for HUDSON Type of Permit FENCE

Applied for by ADRON FENCE (Contractor) Building Fee 30.00

Subdivision R10 VISTA Lot 52 Block _____ Radon Fee _____

Address 11 RIO VISTA DRIVE Impact Fee _____

Type of structure SFR A/C Fee _____

Electrical Fee _____

Plumbing Fee _____

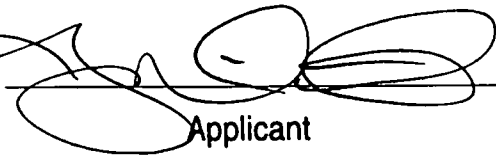
Roofing Fee _____

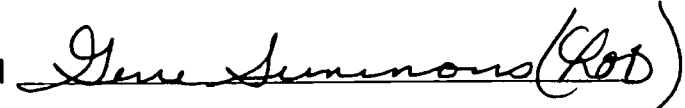
Parcel Control Number:

123841002000005208

Amount Paid 30.00 Check # 6972 Cash _____ Other Fees (_____) _____

Total Construction Cost \$ 1795.00 TOTAL Fees 30.00

Signed  Applicant

Signed  Town Building Official

PERMIT

- | | | |
|---|--|---|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input checked="" type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL _____ |

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Owner or Titleholder Name: Jack & Joyce Hudson Building Permit Number:
City: Sewalls State: FL Zip: 34996
Legal Description of Property: Old West 40 Lot 52 Parcel Number: 12-38-41-002-000-00520-B
Location of Job Site: 11 Rio Vista Drive Type of Work To Be Done: Install Fence
Install: 41' of 4' Chain Link Fence + 53' 7 6' wood fence

CONTRACTOR/Company Name: Adron Fence Co Phone Number: 800-282-5179
Street: 2762 NW 4 St. City: Sebastian State: FL Zip: 34972
State Registration Number: State Certification Number: Martin County License Number: SP03127

ARCHITECT: Phone Number:
Street: City: State: Zip:

ENGINEER: Phone Number:
Street: City: State: Zip:

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: Garage: Covered Patios: Screened Porch:
Carport: Total Under Roof Wood Deck: Accessory Building:
Type Sewage: Septic Tank Permit Number From Health Dept. Well Permit Number:

FLOOD HAZARD INFORMATION Flood Zone: Minimum Base Flood Elevation (BFE): NGVD
Proposed First Floor Habitable Floor Finished Elevation: NGVD (Minimum 1 Foot Above BFE)

COST AND VALUES Estimated Cost of Construction or Improvements: \$17950 Estimated Fair Market Value (FMV) Prior
To Improvements: If Improvement, Is Cost Greater Than 50% Of Fair Market Value YES NO

SUBCONTRACTOR INFORMATION
Electrical: State: License Number:
Mechanical: State: License Number:
Plumbing: State: License Number:
Roofing: State: License Number:

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNANCE, BOILERS,
HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE
REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION
Florida Building Code (Structural, Mechanical, Plumbing, Gas) 2001 South Florida Building Code (Structural, Mechanical, Plumbing, Gas)
National Electrical Code 2002 Florida Energy Code 2001
Florida Accessibility Code 2001

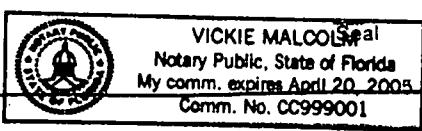
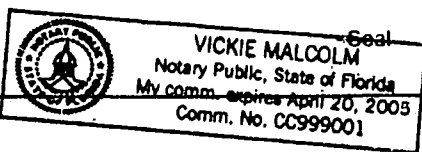
THEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY
KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (Required) Ross A. Chambers
State of Florida, County of: Osceola
This the 19 day of Feb 2003
by ROSS A. CHAMBERS who is personally
known to me or produced
as identification.

CONTRACTOR SIGNATURE (Required) Ross A. Chambers
On State of Florida, County of: Osceola
This the 19 day of Feb 2003
by ROSS A. CHAMBERS who is personally
known to me or produced
As identification.

Notary Public Vickie Malcolm
My Commission Expires:

Notary Public Vickie Malcolm
My Commission Expires:



ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
12/31/2002

PRODUCER: (267)467-0600 FAX (863)467-5142
Lawrence Insurance Agency, Inc.
P. O. Box 549
2020 S Parrott Ave
Okeechobee, FL 34973-0549

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED: ~~ADRON FENCE COMPANY, INC~~
2762 NW 4TH STREET
OKEECHOBEE, FL 34972-2337

INSURER A: Maryland Casualty Co
INSURER B:
INSURER C:
INSURER D:
INSURER E:

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	PPS037313591	12/31/2002	12/31/2003	EACH OCCURRENCE \$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				FIRE DAMAGE (Any one fire) \$ 1,000,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person) \$ 10,000
					PERSONAL & ADV INJURY \$ 1,000,000
					GENERAL AGGREGATE \$ 2,000,000
					PRODUCTS - COMP/OP AGG \$ 2,000,000
A	AUTOMOBILE LIABILITY	PPS037313591	12/31/2002	12/31/2003	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000
	<input checked="" type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident) \$
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$
	<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC AGG \$
A	EXCESS LIABILITY	PPS037313591	12/31/2002	12/31/2003	EACH OCCURRENCE \$ 1,000,000
	<input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE \$ 1,000,000
	<input type="checkbox"/> DEDUCTIBLE				\$
	<input type="checkbox"/> RETENTION \$				\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATUTORY LIMITS OTHER
					E.L. EACH ACCIDENT \$
					E.L. DISEASE - EA EMPLOYEE \$
					E.L. DISEASE - POLICY LIMIT \$
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

Fence Erection

CERTIFICATE HOLDER

ADDITIONAL INSURED; INSURER LETTER:

CANCELLATION

~~TOWN of Sewell's Point~~
1 South Sewell Point
Stuart, FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Ronnie Lawrence

ACORD™ CERTIFICATE OF LIABILITY INSURANCE

Date
01/29/2003

Producer: Goodrich Insurance, Inc.
101 Starcrest Drive
PO Box 6090
Clearwater, FL 33759-6090
Phone: 727-447-6481 Fax: 727-449-1267

This Certificate is issued as a matter of information only and confers no rights upon the Certificate Holder. This Certificate does not amend, extend or alter the coverage afforded by the policies below.

Insured: South East Personnel Leasing
905 East MLK Jr. Drive Suite # 110
Tarpon Springs, FL 34689
Phone : (727)938-5562

Insurers Affording Coverage		NAIC #
Insurer A:	American Casualty Company of America	
Insurer B:		
Insurer C:		
Insurer D:		
Insurer E:		

RECEIVED
FEB 07 2003
BY: _____

Coverages

The policies of insurance listed below have been issued to the insured named above for the policy period indicated. Notwithstanding any requirement, term or condition of any contract of insurance or document with respect to which this certificate may be issued or may pertain, the insurance afforded by the policies described herein is subject to all the terms, exclusions, and conditions of such policies. Aggregate limits shown may have been reduced by paid claims.

INSR LTR	ADDL INSRD	Type of Insurance	Policy Number	Policy Effective Date (MM/DD/YY)	Policy Expiration Date (MM/DD/YY)	Limits	
		GENERAL LIABILITY <input type="checkbox"/> Commercial General Liability <input type="checkbox"/> Claims Made <input type="checkbox"/> Occur <hr/> General aggregate limit applies per: <input type="checkbox"/> Policy <input type="checkbox"/> Project <input type="checkbox"/> LOC				Each Occurrence	\$
						Damage to rented premises (EA occurrence)	\$
						Med Exp	\$
						Personal Adv Injury	\$
						General Aggregate	\$
						Products - Comp/Op Agg	\$
		AUTOMOBILE LIABILITY <input type="checkbox"/> Any Auto <input type="checkbox"/> All Owned Autos <input type="checkbox"/> Scheduled Autos <input type="checkbox"/> Hired Autos <input type="checkbox"/> Non-Owned Autos				Combined Single Limit (EA Accident)	\$
						Bodily Injury (Per Person)	\$
						Bodily Injury (Per Accident)	\$
						Property Damage (Per Accident)	\$
		GARAGE LIABILITY <input type="checkbox"/> Any Auto				Auto Only - Ea Accident	\$
						Other Than EA Acc.	\$
						Autos Only: AGG.	\$
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> Occur <input type="checkbox"/> Claims Made <input type="checkbox"/> Deductible <input type="checkbox"/> Retention				Each Occurrence	
						Aggregate	
A		Workers Compensation and Employers Liability Any proprietor/partner/executive officer/member excluded? If Yes, describe under special provisions below.	WVC247857915	12/31/2002	04/30/2003	X WC Statutory Limits	OTH-ER
						E.L. Each Accident	\$1000000
						E.L. Disease - Ea Employee	\$1000000
						E.L. Disease - Policy Limits	\$1000000
		Other 945188 Adron Fence Company Inc		11/27/02 FAX: 772-220-4765 MAIL BOTH			

Descriptions of Operations/Locations/Vehicles/Exclusions added by Endorsement/Special Provisions:

COVERAGE APPLIES ONLY TO THOSE EMPLOYEES LEASED TO BUT NOT SUBCONTRACTORS OF Adron Fence Company Inc Client # 0945188 Add On Date 11/21/2002

CERTIFICATE HOLDER

TOWN OF SEWALL'S POINT
1 S. SEWALL'S POINT ROAD

STUART

FL 34996

CANCELLATION

Should any of the above described policies be cancelled before the expiration date thereof, the issuing insurer will endeavor to mail 30 days written notice to the certificate holder named to the left, but failure to do so shall impose no obligation or liability of any kind upon the insurer, its agents or representatives.

John Bonfield



MARTIN COUNTY, FLORIDA
Construction Industry Lic Bd
Certificate of Competency
License: SP0300

~~Expires September 30, 2003~~

Name: ADRON CHAMBERS
Company: ADRON FENCE COMPANY
Address: 2762 NW 4th St
City, ST: Okeechobee FL 34972
License Type: FENCE ERECTION CONTRACT



MARTIN COUNTY, FLORIDA
Construction Industry Lic Bd
Certificate of Competency
License: SP03127

Expires September 30, 2003

Name: ROSS A CHAMBERS
Company: ADRON FENCE COMPANY INC
Address: 2762 NW 4th St
City, ST: Okeechobee FL 34972
License Type: FENCE ERECTION CONT

RECEIVED
SEP 09 2002
BY: _____

2002-2003 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE

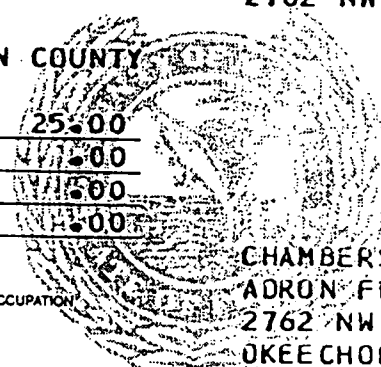
Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(861) 288-5604

LICENSE 973-518-106 CERT _____
PHONE 18001282-5172 SIC NO 023599

LOCATION:
2762 NW 4TH ST. MAR

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>0.00</u>
\$	<u>.00</u>	COL FEE \$	<u>0.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>0.00</u>
TOTAL			<u>25.00</u>



CHAMBERS, ROSS A
ADRON FENCE COMPANY
2762 NW 4TH ST
OKEECHOBEE FL 34972

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF FENCE CONTR

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

29 DAY OF AUGUST 2002

~~AND ENDING SEPTEMBER 30, 2003~~

12 02082601 000701

PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR A FENCE

IMPORTANT NOTICE: All items listed below must accompany your permit application.
No application will be accepted unless all items that are applicable are submitted.

Application form must contain the following information:

1. Property Appraisers Parcel Number or Property Control Number
2. Legal Description of property (Can be found on your deed survey or Tax Bill)
3. Contractors name, address, phone number and license numbers.
4. Name all sub-contractors (properly licensed)
5. Architects or Engineers name, address, & phone number.
6. Estimated cost of construction.
7. Original signature of owner and notarized
8. Original signature of Contractor and notarized.

Submittals (2 copies)

1. Current survey (boundary & topographic) containing the following information:
 - a. Legal Description of Lot
 - b. Lot dimensions and bearings
 - c. Street and Waterway names
 - d. Easements
 - e. ROW's
 - f. Canals, Ponds, or Riverfront locations
 - g. Location of existing and proposed fences
 - h. Description of type and height of fence at all locations
2. Statement of Fact (owner/builder affidavit)
3. Proof of ownership (deed or tax recpt.)
4. Letter from Home Owners or Subdivision Associations stating design is per their deed restriction or covenants
5. Application for tree removal or relocation (attach tree survey and removal or relocation plan)
6. A certified copy of the Notice of Commencement for any work over \$2500.00
7. Copy of License (either Martin County Certificate of Competency or State Certified or Registered Contractor License)
8. Copy of Workmen's Compensation
9. Copy of Liability Insurance

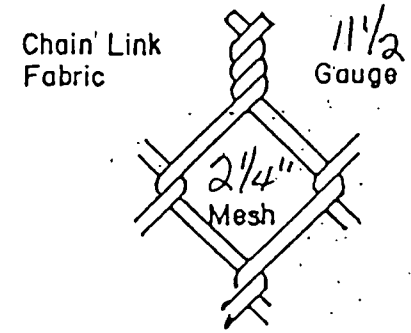
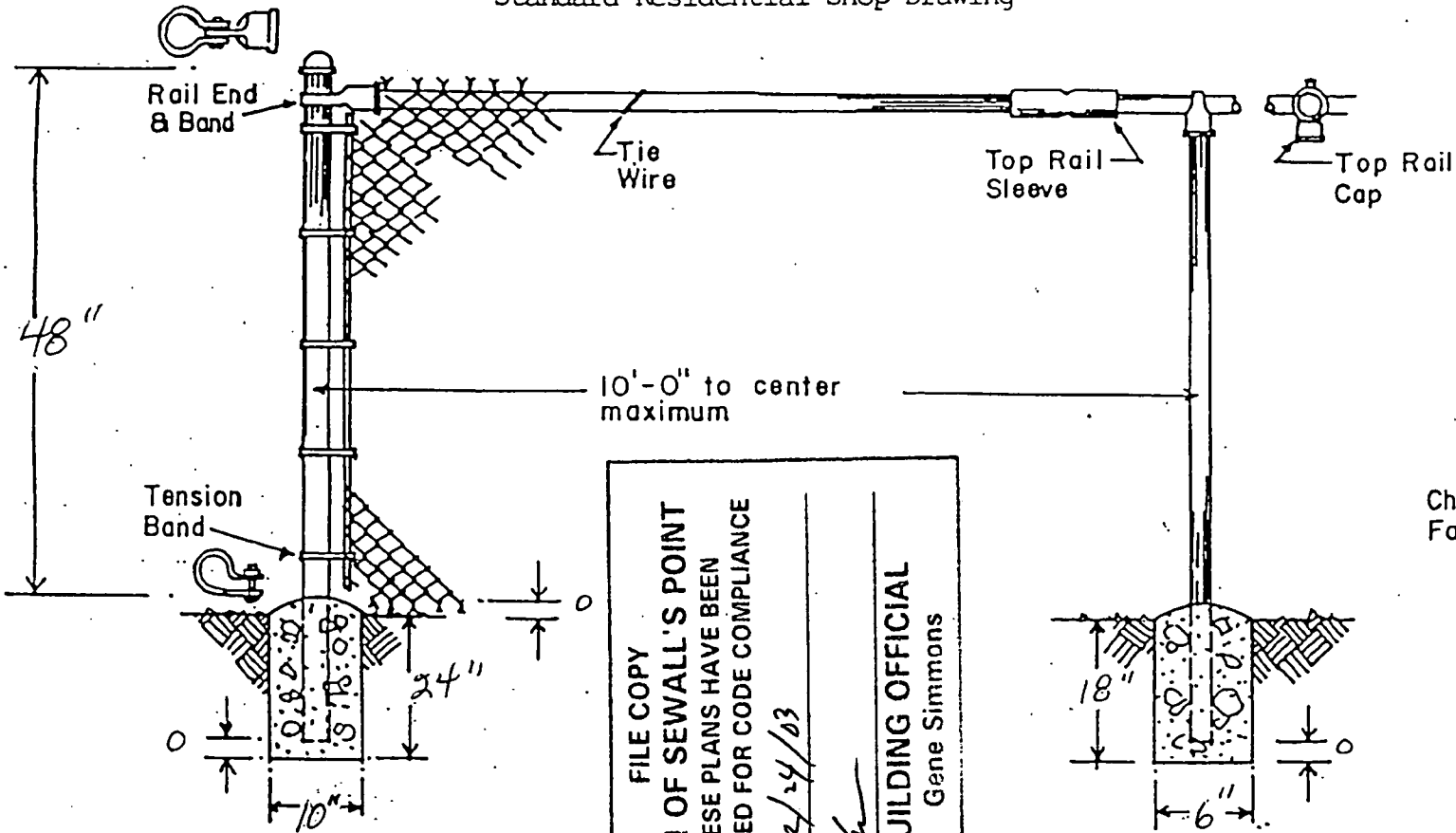
**ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE
ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE**



(SIGNATURE OF APPLICANT)

DATE SUBMITTED: _____

Standard Residential Shop Drawing



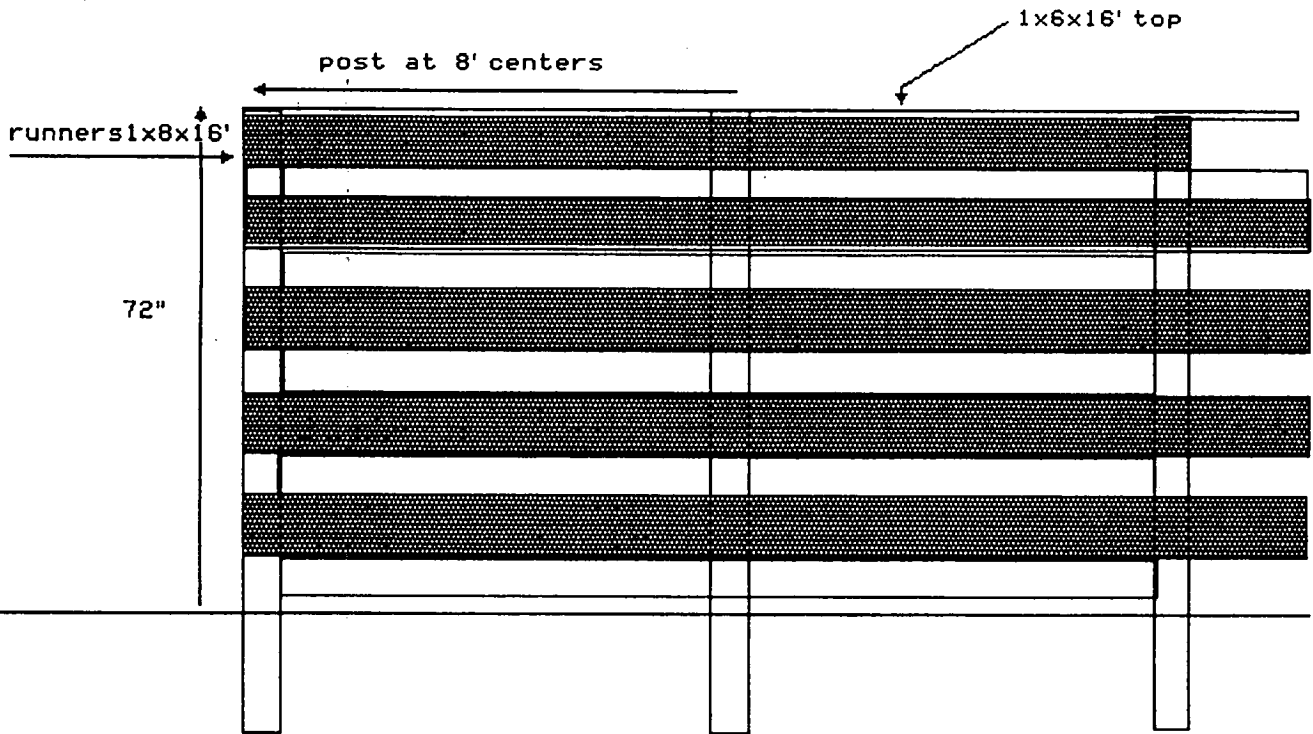
FILE COPY
 TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE: 2/24/03
 BUILDING OFFICIAL
 Gene Simmons

Post hole diameter is 4 times the diameter of the post.

TERMINAL POST		LINE POST		TOP RAIL	
Size	Wt. per ft.	Size	Wt. per ft.	Size	Wt. per ft.
2 1/2"	.055wll	1 5/8"	.047wll	1 3/8"	.047wll

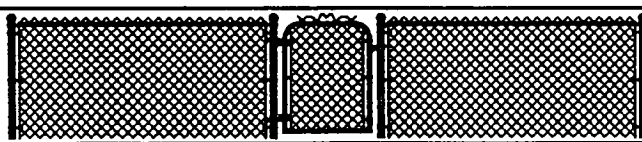
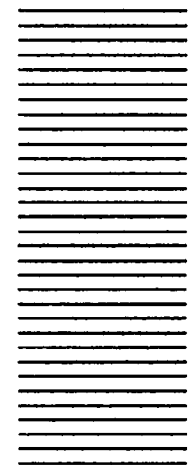
* Size-is outside dimension * Weight-is pounds per linear foot

ADRON FENCE CO.
 2762 N.W. 4th ST.
 OKEECHOBEE, FL 34972
 1-800-282-5172



4x4x8pt

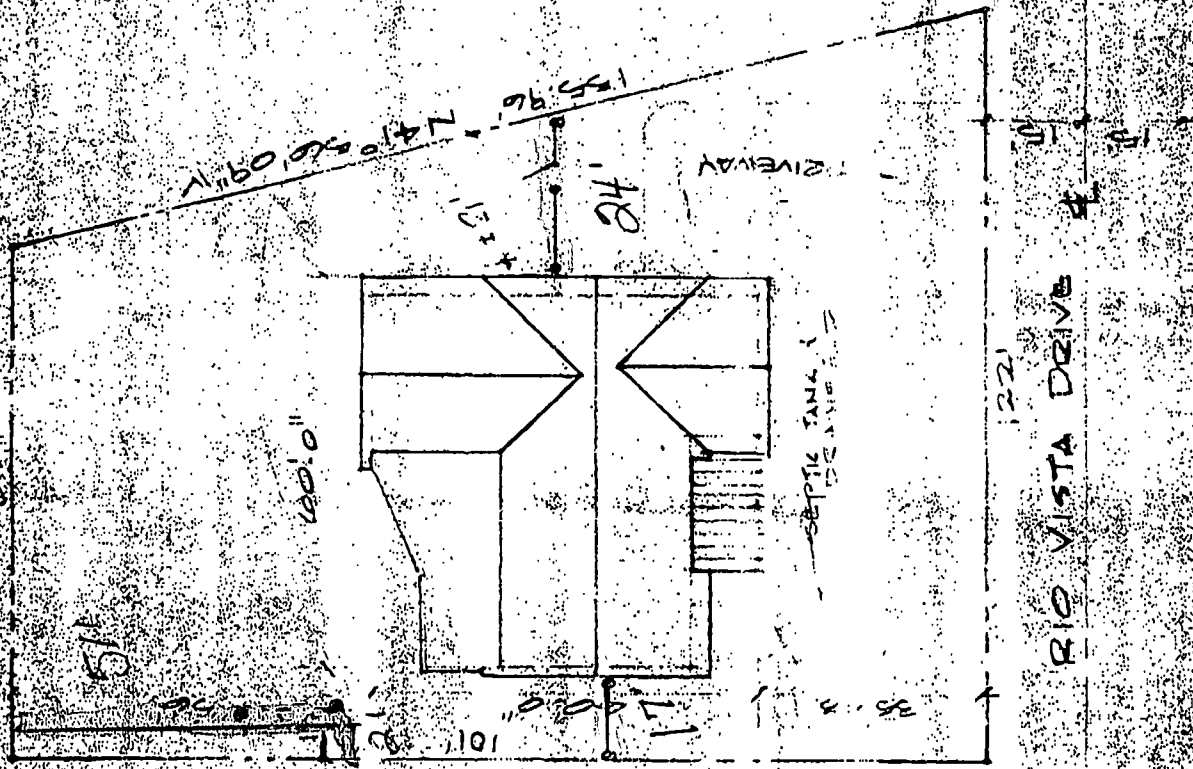
all materials are pt-wood galv-nails and all post concrete



ADRON FENCE CO., INC.
 2762 N. W. 4th STREET
 OKEECHOBEE, FLORIDA 34972-2337
 (800) 282-5172

6-BAR GATE
 SOUTH FLORIDA WATER MANAGEMENT

DRAWN BY:	07-05-1994	SCALE:	NONE	PAGE:
REVISED:	07-06-1994	FILE:	3BARGATE	1 of 1



Shurtell

Boyer & ...

All of 4 Chain Link Fence

LEGAL DESCRIPTION
SUBDIVISION SEVALLS
POINT, FLORIDA

LARSON & O'NEILL INC.
ARCHITECTS ENGINEERS

STUART, FLORIDA

11.30.01

11.30.01

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3/12, 2002 3 Page of

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6159	HUDSON, JOYCE	FENCE	Passed	
(4)	11 Rio Vista Adron			INSPECTOR: <i>[Signature]</i>
6164	McKelvey	Plumbing Rough	Passed	1100
(7)	21 E. High Point GLANCY			INSPECTOR: <i>[Signature]</i>
TREE	RETA SIMONS- MACKENZIE	TREE		
(5)	28 RIO VISTA DR			INSPECTOR: <i>[Signature]</i>
6171	HAERIGAN/KUETZ	Plumbing	Passed	
(1)	2 PALMETTO O/B	GROUND ROUGH		INSPECTOR: <i>[Signature]</i>
TREE	TAYLOR, WM	TREE	Passed	
(8)	22 E. HIGH POINT RD -			INSPECTOR: <i>[Signature]</i>
6180	LANDI	SHOWER PAN	Passed	
(9)	3 MIDDLE ROAD O/B			INSPECTOR: <i>[Signature]</i>
5755	DE GRAFF	FINAL PLUMBING	Passed	
(2)	9 CASTLE HILL AWAMEE PLUMBING	Final AC Final Roof	Passed Passed	INSPECTOR: <i>[Signature]</i>
OTHER:				

6838

RE-ROOF

Renewal for final ~~5000~~ - 2/21/07
\$120 - 4#1166

C

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 7/23/04

BUILDING PERMIT NO. 6838

Building to be erected for C. ILLINO Type of Permit REROOF

Applied for by PACIFIC ROOFING (Contractor) Building Fee _____

Subdivision RIO VISTA Lot 52 Block _____ Radon Fee _____

Address 11 RIO VISTA DRIVE Impact Fee _____

Type of structure SFR A/C Fee _____

Parcel Control Number: _____ Electrical Fee _____

1238410000000050080006 Plumbing Fee _____

Amount Paid 120.00 Check # 156 Cash _____ Other Fees (_____) _____

Total Construction Cost \$ 19,000.00 TOTAL Fees 120.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS END/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- RUFINERS ROUGH-IN _____
- PLUMBING ROUGH-IN _____
- ELECTRICAL ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FINAL ELECTRICAL _____
- FINAL GAS _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 7/23/04

BUILDING PERMIT NO. 6838

Building to be erected for GIACCHINO

Type of Permit REEROOF

Applied for by PACIFIC ROOFING (Contractor)

Building Fee _____

Subdivision RIO VISTA Lot 52 Block _____

Radon Fee _____

Address 11 RIO VISTA DRIVE

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:

1238410020000052080000

Plumbing Fee _____

Amount Paid 120.00 Check # 6156 Cash _____ Other Fees (_____) _____

Roofing Fee 120.00

Total Construction Cost \$ 19,000.00

TOTAL Fees 120.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

N.O.C ATTACHED

Date: 7-22-04

Permit Number: _____

RECEIVED
JUL 22 2004

Town of Sewall's Point
BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME: FERNANDO GIACHINO Phone (Day) _____ (Fax) _____

BY: _____

Job Site Address: ~~11~~ Rio Vista Drive City: Stuart State: FL Zip: 34986

Legal Desc. Property (Subd/Lot/Block) Rio Vista Drive Parcel Number: 12-39-41-02-00-00520-8

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: RE-ROOF TILE TO TILE

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: Pacific Roofing Phone: 283-7663 Fax: 283-8105

Street: P.O. Box 2697 City: Stuart State: FL Zip: 34985

State Registration Number: _____ State Certification Number: C-00056793 Martin County License Number: _____

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 19,000 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: Pacific Roofing State: FL License Number: C-00056793

ARCHITECT _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof 337 Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

CONTRACTOR SIGNATURE (required)

State of Florida, County of: Martin

On State of Florida, County of: Martin

This the 21st day of July, 2004
by Fernando Giachino who is personally

This the 21st day of July, 2004
by Richard J. Jones who is personally

known to me or produced as identification.

known to me or produced as identification.

James Nickerson
Notary Public

James Nickerson
Notary Public

My Commission Expires: _____

My Commission Expires: _____

Permit # _____
Tax Folio # 12-38-41-002-000-00520-8

INSTR # 1767999
OR BK 01922 PG 1010
RECORDED 07/21/2004 10:12:49 AM
MARSHA EWING
CLERK OF MARTIN COUNTY FLORIDA
RECORDED BY T. Copus (asst mgr)

Notice of Commencement

State of FLORIDA
County of Martin

The Undersigned heroby gives notice that improvement will be made to certain real property and in accordance with Chapter 713, Florida Statues, the following information is provided in this Notice of Commencement.

1. Description of the property: RIO VISTA S/D LOT 52

2. General description of improvement(s): RE-ROOF

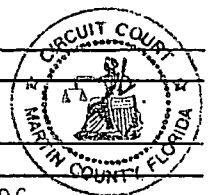
3. Owner information:

A. Name & address: FERNANDO GIACHINO
11 Rio Vista Drive Stuart, FL 34996

B. Interest in property: _____

C. Name & address of fee simple titleholder (other than owner): _____

STATE OF FLORIDA
MARTIN COUNTY
THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGE(S) IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.
MARSHA EWING, CLERK
BY [Signature] D.C.
DATE 7.21.04



4. Contractor's name & address: Pacific Roofing
P.O. Box 2697 Stuart, FL 34991

A. Phone number: () 283-7663 B. Fax number: () 283-9505

5. Surety Information:
A. Name & Address: _____

B. Phone number: () _____ C. Fax number: () _____

6. Lendor's name & address: _____

A. Phone number: () _____ B. Fax number: () _____

7. Person within the State of Florida designated by owner upon whom notices or other documents may be served as provided by 713.13(1)(a), 7 Florida Statues:

Name & address: _____

A. Phone number: () _____ B. Fax number: () _____

8. In addition to himself, owner designates _____ of _____

_____ To receive a copy of the Lendor's Notice as provided in Section 713.13(1)(b), Florida Statues.

9. Expiration date of Notice of Commencement (the expiration date is one (1) year from the date of the recording unless a different date is specified): _____

Printed Name of owner: FERNANDO GIACHINO

Signature of owner: [Signature]

orn to and subscribed before me this 21 day of July 2004

Notary [Signature]
Known Personally/ D. Shown _____
My commission expires: _____

James Nickerson
My Commission DD271437
Expires December 13, 2007
[Signature]

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
10/28/2003

PRODUCER (561)746-4546 FAX (561)746-9599
 Tequesta Agency, Inc.
 218 S. US Highway One, Ste 300
 Tequesta, FL 33469
 Debra Hicks

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED Pacific Roofing Corp., Inc.
 PO Box 2697
 Stuart, FL 34994

INSURER A: American Casualty Company
 INSURER B: Transportation Insurance Co.
 INSURER C:
 INSURER D:
 INSURER E:

RECEIVED
 OCT 30 2003
 BY: _____

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A	GENERAL LIABILITY	C2020206931	10/28/2003	10/28/2004	EACH OCCURRENCE	\$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				FIRE DAMAGE (Any one fire)	\$ 50,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$ 5,000
					PERSONAL & ADV INJURY	\$ 1,000,000
					GENERAL AGGREGATE	\$ 2,000,000
					PRODUCTS - COMP/OP AGG	\$ 2,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC					
B	AUTOMOBILE LIABILITY	C2020206945	10/28/2003	10/28/2004	COMBINED SINGLE LIMIT (Ea accident)	\$ 1,000,000
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
	<input checked="" type="checkbox"/> SCHEDULED AUTOS				BODILY INJURY (Per accident)	\$
	<input checked="" type="checkbox"/> HIRED AUTOS				PROPERTY DAMAGE (Per accident)	\$
	<input checked="" type="checkbox"/> NON-OWNED AUTOS					
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$
	<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC	\$
					AUTO ONLY: AGG	\$
	EXCESS LIABILITY				EACH OCCURRENCE	\$
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$
						\$
	DEDUCTIBLE					\$
	RETENTION \$					\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATUTORY LIMITS	OTHER
					E.L. EACH ACCIDENT	\$
					E.L. DISEASE - EA EMPLOYEE	\$
					E.L. DISEASE - POLICY LIMIT	\$
	OTHER					

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

CERTIFICATE HOLDER

ADDITIONAL INSURED; INSURER LETTER:

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE
 Mark Kasten/DEBBIE

Debra Hicks

TOWN OF SEWALLS POINT
 ATTN: ED ARNOLD
 1 SOUTH SEWALLS POINT ROAD
 STUART, FL 34996

ACORD CERTIFICATE OF LIABILITY INSURANCE		CERTIFICATE NO. / DATE AC03-7900013-07038 12/4/2003 1:34:22 PM
PRODUCER Eisenmann Risk Placements, Inc. 14160 Dallas Parkway, Suite 500 Dallas, TX 75254 (972) 404-0295 Fax: (972) 404-4450	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
INSURED PACIFIC ROOFING CORPORATION 808 SE DIXIE HWY STUART, FL 34994 (772) 283-7663 Fax: (772) 283-9505	INSURERS AFFORDING COVERAGE	
	INSURER A: PROVIDENCE PROPERTY & CASUALTY INSURANCE COMPA INSURER B: INSURER C: INSURER D: INSURER E:	

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

PART LINE	TYPE OF INSURANCE	POLICY NUMBER	POLICY PERIOD (DATE (MM/DD/YYYY))		LIMITS	
			START DATE	END DATE		
	GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO <input type="checkbox"/> LOC					EACH OCCURRENCE \$ FIRE DAMAGE (Any One Fire) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS					COMBINED SINGLE LIMIT (Per accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO					AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$
	EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE RETENTION \$					EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	WC0100062	12/1/2003	12/1/2004	<input checked="" type="checkbox"/> WC STATL TOBY LIMITS <input type="checkbox"/> OTH-LE	E.L. EACH ACCIDENT \$ 1000000 E.L. DISEASE - EA EMPLOYEE \$ 1000000 E.L. DISEASE - POLICY LIMIT \$ 1000000
	OTHER					LIMITS \$ LIMITS \$

DESCRIPTION OF OPERATIONS, LOCATIONS, VEHICLE & EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

1. Insured is afforded Workers Compensation & Employers Liability as a co-employer under the policy for employees leased from AMS Staff Leasing, Inc. 2. This certificate remains in effect, provided the client's account is in good standing with AMS. Coverage is not provided for any employee for which the client is not reporting wages to AMS. Applies to 100% of the employees of AMS leased to PACIFIC ROOFING CORPORATION, effective 12/01/2003.

CERTIFICATE HOLDER TOWN OF SEWALL'S POINT 1 S SEWALL'S POINT RD STUART, FL 34996	ADDITIONAL INSURED; INSURER LETTER: CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE
--	---

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SECRET 020610008

06/10/2002		011129085	CCC056793
------------	--	-----------	-----------

The ROOFING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2004

RECEIVED
NOV 05 2002
BY: _____

GOMES, RICHARD JOHN
PACIFIC ROOFING CORP
PO BOX 2697
STUART

FL 34995

JES BUEH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

KIM BINKLEY-BEYER
SECRETARY

**2003-2004 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE**

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34985
(772) 288-6604

LICENSE 1993-520-076 CERT _____
PHONE (561)283-7663 SIC NO 001761

LOCATION:
808 DIXIE HWY CTY

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>.00</u>
\$	<u>.00</u>	COL FEE \$	<u>.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>.00</u>
TOTAL		<u>25.00</u>	

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF **ROOFING CONTRACTOR**

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

19 DAY OF SEPTEMBER 20 03
AND ENDING SEPTEMBER 2004

**GOMES, RICHARD J
PACIFIC ROOFING CORP
RICHARD J GOMES
808 SE DIXIE HWY
STUART FL 34994**

RECEIPT OF PAYMENT

6818 1
LARRY C. O'STEEN
99 09/19/2003 0001 NORMAL
0899/0899/2003661
1993-520-076
K228488614878228
\$25.00

RECEIVED
NOV 19 2003
BY:



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Hanson Roof Tile d.b.a. Pioneer Concrete Roof Tile
1340 SW 34th Ave
Deerfield Beach, FL 33442

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code

DESCRIPTION: Palema Double Roll and Hacienda Double Roll Roof Tile

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of pages 1 through 6.
The submitted documentation was reviewed by

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 7/23/04

BUILDING OFFICIAL
Gene Simmons

NOA No.: 02-0916.11
Expiration Date: 12/16/07
Approval Date:
Page 1 of 6

ROOFING ASSEMBLY APPROVAL

Category: Roofing
 Sub Category: Roofing Tile
 Material: Concrete

1. SCOPE

This renews a roofing system using Hanson 'Palema Double Roll and Hacienda' Roof Tile, as manufactured Hanson Roof Tile d.b.a. Pioneer Concrete Tile described in Section 2 of this Notice of Acceptance. For the locations where the pressure requirements, do not exceed the values listed in section 4 herein. The attachment calculations shall be done as a moment based system.

2. PRODUCT DESCRIPTION

<u>Manufactured by Applicant</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Hanson Palema Double Roll Tile	Length: 16½" Width: 13" ½" thick	TAS 112	Low profile, interlocking, extruded concrete roof tile equipped with two nail holes. For direct deck or battened nail-on, mortar or adhesive set applications.
Hanson "Hacienda"	Length: 17¼" Width: 13" ½" thick	TAS 112	Low profile, interlocking, extruded concrete roof tile equipped with two nail hole and double roll ribs. For direct deck or battened nail-on, mortar or adhesive set applications.
Trim Pieces	Length: varies Width: varies Varying thickness	TAS 112	Accessory trim, concrete roof pieces for use at hips, rakes, ridges and valley terminations. Manufactured for each tile profile.

2.1 COMPONENTS OR PRODUCTS MANUFACTURED BY OTHERS

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>	<u>Manufacturer</u>
Wood Battens	<u>Vertical</u> Min. 1"x 4" <u>Horizontal</u> Min. 1"x 4" for use with vertical battens or Min. 1"x 2" for use alone	Wood Preservers Institute LP - 2	Salt pressure treated or decay resistant lumber battens	Generic (With current NOA)
Tile Nails	Min. 10dx 3"	TAS114 Appendix E	Corrosion resistant screw or smooth shank nails	Generic (With current NOA)

NOA No.: 02-0916.11
 Expiration Date: 12/16/07
 Approval Date:
 Page 2 of 6

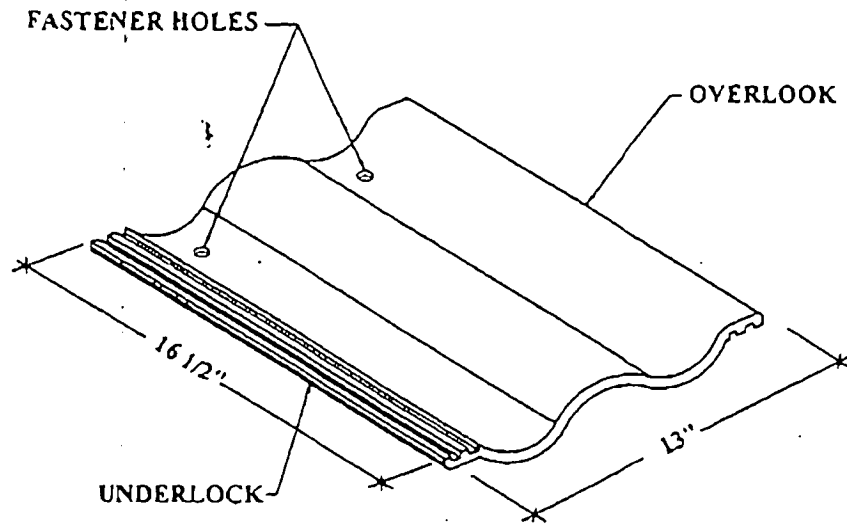
Table 2: Restoring Moments due to Gravity - M_g (ft-lbf)										
Tile Profile	3": 12"		4": 12"		5": 12"		6": 12"		7": 12" or greater	
	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck
Hanson Palema Double Roll and Hacienda Tile	5.92	6.80	5.82	6.69	5.70	6.55	5.56	6.39	5.41	6.22

Table 3: Attachment Resistance Expressed as a Moment - M_r (ft-lbf) For Nail-On Systems				
Tile Profile	Fastener Type	Direct Deck (Min 15/32" plywood)	Direct Deck (Min. 19/32" plywood)	Battens
Hanson Palema Double Roll and Hacienda Tile	2-10d Ring Shank Nails	27.8	37.4	28.8
	1-10d Smooth or Screw Shank Nail	8.8	11.8	4.1
	2-10d Smooth or Screw Shank Nails	16.4	21.9	7.1
	1-#8 Screw	25.8	25.8	22.9
	2-#8 Screw	47.1	47.1	49.1
	1-10d Smooth or Screw Shank Nail (Field Clip)	24.3	24.3	24.2
	1-10d Smooth or Screw Shank Nail (Eave Clip)	19.0	19.0	22.1
	2-10d Smooth or Screw Shank Nails (Field Clip)	35.5	35.5	34.8
	2-10d Smooth or Screw Shank Nails (Eave Clip)	31.9	31.9	32.2
	2-10d Ring Shank Nails ¹	43.0	67.5	50.9

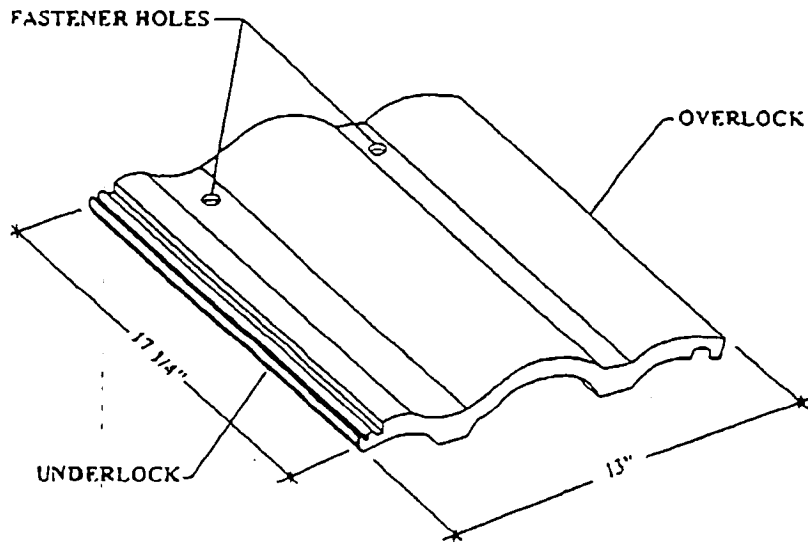
¹ Installation with a 4" tile headlap and fasteners are located a min. of 2 1/4" from head of tile.

PROFILE DRAWINGS

HANSON PALEMA DOUBLE ROLL ROOF TILE



HANSON HACIENDA CONCRETE ROOF TILE



END OF THIS ACCEPTANCE

NOA No.: 02-0916.11
Expiration Date: 12/16/07
Approval Date:
Page 6 of 6



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 11 RIO VISTA

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

DRY IN SHEATHING

NO LADDER ON JOB

NO PERSONNEL TO EXPOSE
SHEATHING FOR INSPECTION

ROTTED SHEATHING ON N.E. SIDE
OF ROOF -

NO METAL FLASHING IN PLACE

\$40 FEE

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 7/26

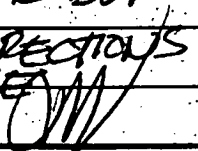
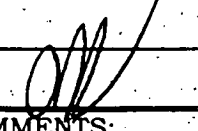

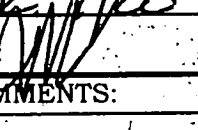
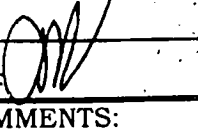
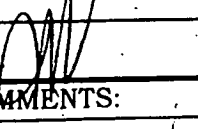
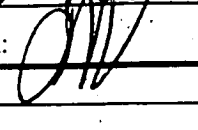
INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri JUL 26, 2004 Page 1 of 4

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6682	MILORD	TIE BEAM	FAIL	CAN POUR BUT
1	10 N. Sewall's Pt Rd MILORD	(FIRST PLEASE)		HAS CORRECTIONS TO MAKE INSPECTOR: 
6413	POWERS	LATH #2	FAIL	
7	70 S. Sewall's Pt FLORIDA'S FINEST			INSPECTOR: 
6076	WOLCOTT	INSULATION	PASS	
4	7 ISLAND ROAD WILSON BUILDERS			INSPECTOR: 
6792	RAPAPORT	SHEATHING	FAIL	RE-SCHEDULE
2	9 RIVER CREST GULICK + MCCAULEY			USE FOR 7/28 INSPECTOR: 
6111	GREENE	DRIVEWAY PREP	PASS	
5	26 ISLAND RD O/B			INSPECTOR: 
6581	LASKY	PARTIAL FINAL ROOF	PASS	
4	9 E. HIGH POINT PACIFIC ROOF			INSPECTOR: 
6838	STACHINO	DOWN SHEATHING	FAIL	
8	11 RIO VISTA PACIFIC ROOFING			\$40 FEE INSPECTOR: 
OTHER:				

TOWN OF SEWALL'S POINT
1 SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

NO. _____

DATE July 27, 2004

RECEIVED FROM PACIFIC ROOFING

Eighty and 00/100 DOLLARS

REINSPECTION FEE X 2

Account Total \$ 80.00 PN6837

Amount Paid \$ 80.00 #6197 6838

Balance Due \$ _____



[Handwritten Signature]

6197

PACIFIC ROOFING CORPORATION
P.O. BOX 2697
808 SE DIXIE HWY (772) 283-7663
STUART, FL 34994

FIDELITY FEDERAL BANK & TRUST
STUART, FL 34994
63-8735/2670

7/27/2004

PAY TO THE ORDER OF Town of Sewalls Point \$ **80.00

Eighty and 00/100***** DOLLARS (

Town of Sewalls Point
Martin County Florida

MEMO 6837
6838

[Handwritten Signature: James Hill]
AUTHORIZED SIGNATURE

⑈006197⑈ ⑆267087358⑆0000001594465⑈

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 8/4, 2004 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6838	GIACHINO	SHEATHING	PASS	
6	11 RIO VISTA PACIFIC ROOFING	TINTAG+METAL	PASS	INSPECTOR:
6810	JONES	WINDOW+DOOR BICK	PASS	
7	19 PALMETTO DR O/B	REMODEL KITCHEN (late if possible)		INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 2-26, 2007 Page 1 of 3

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8504	Himes	Partial window installation	PASS	
8	2 Riverview OB			INSPECTOR: <i>OM</i>
6403	Peterson	Final	PASS	CLOSE
7	4 Oakwood DR Pacific Roof			INSPECTOR: <i>OM</i>
6838	Trachino	Final	PASS	CLOSE
9	11 Rio Vista Pacific Roof			INSPECTOR: <i>OM</i>
6888	Elliott	Final	FAIL	
2	25 W High Pt Pacific Roof			INSPECTOR: <i>OM</i>
6908	Wolcott	Final	PASS	CLOSE
6A	7 Island Rd Pacific Roof			INSPECTOR: <i>OM</i>
6909	Halee	Final	FAIL	NO ONE ON JOB ^{needed}
1	1st 830 7 Worth Ct Pacific Roof - contractor with ladder	OFF KINGELAND		JOB INSPECTOR: <i>OM</i>
7288	Peterson	Final	PASS	CLOSE
10	49 Rio Vista Pacific Roof			INSPECTOR: <i>OM</i>
OTHER:				

6874

FRENCH DOORS

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 8/31/04

BUILDING PERMIT NO. 6874

Building to be erected for GIACHINO

Type of Permit FRENCH DOOR INSTAL

Applied for by O/B

(Contractor) Building Fee \$5K x 9.60/1000 = 48.00

Subdivision RIO VISTA Lot 52 Block _____

Radon Fee _____

Address 11 RIO VISTA DRIVE

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:

1238410020000052080000

Plumbing Fee _____

Amount Paid 60.00 Check # _____ Cash _____

Other Fees 25% O/B 12.00

Total Construction Cost \$ 5,000.00

TOTAL Fees 60.00

Signed [Signature]

Applicant

Signed [Signature]

Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION REPLACE DOOR

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

RECEIVED
AUG 23 2004
BY:

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: _____

Date: _____

OWNER/TITLEHOLDER NAME: FERNANDO GIACHINO Phone (Day) 772 287 0988 (Fax) 772 220 0815

Job Site Address: 11 RIO VISTA DR. City: SEWALLS PT State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) LOT 52, RIO VISTA S/D Parcel Number: 12-38-41-002-000-00520-8

Owner Address (if different): SAME City: _____ State: _____ Zip: _____

Description of Work To Be Done: REPLACE SLIDING DOORS W/ FRENCH STYLE FIBERGLASS

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 5,000
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ 300,000

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: prch. price 2/12/04

(If no, fill out the Contractor & Subcontractor sections below)
(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: _____ Phone: _____ Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____
Mechanical: _____ State: _____ License Number: _____
Plumbing: _____ State: _____ License Number: _____
Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
Fernando Giachino

State of Florida, County of: MARTIN

This the 25th day of August, 2004

by FERNANDO GIACHINO who is personally

known to me or produced

as identification. Thomas H. Thurlow, Jr.
Notary Public

CONTRACTOR SIGNATURE (required)
Fernando Giachino

On State of Florida, County of: MARTIN

This the 25th day of August, 2004

by FERNANDO GIACHINO who is personally

known to me or produced

As identification. Thomas H. Thurlow, Jr.
Notary Public

My Commission Expires: _____

My Commission Expires: _____



PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION. PLEASE PICK UP YOUR PERMIT PROMPTLY!
BONDED THRU TROY FAIR INSURANCE, INC.

CRITIQUE

Owner: Fernando Giachino
Contractor: Owner/Builder
Contractor's Phone Number:

Date: August 26, 2004

Plan Reviewer: Gene Simmons

PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR INSTALLATION OF FRENCH DOORS LOCATED AT 11 RIO VISTA DRIVE

Submittals (2 copies)

1. Product approvals (**current**) from Miami/Dade or other testing institutes approved by the Florida Building Code for the following items:
 - a. Exterior door product approval cannot be read
 - b. Hurricane Shutters since door is not impact resistant
2. Notice of Commencement
3. Is the French door the exact size of the sliding door that are being replaced? Do you have to tear out any portions of the wall to make the French doors fit?

=====

~~August 27, 2004~~

~~Answers to Critiques~~

1. Product approvals
 - a. New product approvals attached for reference
 - b. We have aluminum hurricane shutters for each window and door opening in residence with frames installed on outside of residence to attach shutters by screws
2. Notice of Commencement--stamped copy attached
3. The French door is exactly the same size as the sliding door being replaced. We are not affecting the size of the opening by adding these doors. It is a simple replace of doors.

TOWN OF SEWALL'S POINT

ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT

(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: FERNANDO GACHINO

Date: 8/25/04

Signature: 

Address: 11 RIOVISTA DR

City & State: STUART FL 34996

Permit No. _____

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # _____

NOTICE OF COMMENCEMENT

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

LOT 52, RIO VISTA S/D (11 RIO VISTA DR, STUART FL 34996)

GENERAL DESCRIPTION OF IMPROVEMENT: REPLACE SLIDING DOORS W/ FRENCH STYLE FIBERGLASS

OWNER: FERNANDO GIACHINO

ADDRESS: 11 RIO VISTA DRIVE

PHONE #: (772) 221 9164 FAX #: 772 220 0815

CONTRACTOR: SAME OWNER

ADDRESS: _____

PHONE #: _____

SURETY COMPANY (IF ANY): _____

ADDRESS: _____

PHONE #: _____

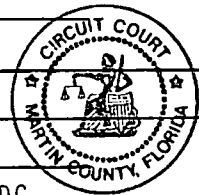
BOND AMOUNT: _____

LENDER: SUNTRUST

ADDRESS: 2400 S FED HWY STUART FL 34994

PHONE #: ~~352 4527~~ (800) 786-8787 FAX #: (772) 223 6585

STATE OF FLORIDA
FAX MARTIN COUNTY
THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL
FAX #: MARSHA EWING, CLERK
BY: M. Felt D.C.
DATE: 8/26/04



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: ~~XXXXXXXXXXXXXXXXXXXX~~ THOMAS H. THURLOW III

ADDRESS: 17 MARTIN LUTHER KING JR. SUITE 200

PHONE #: (772) 287 0980 FAX #: (772) 220 0815

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.
PHONE #: _____ FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

[Signature]
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 25th DAY OF August 19 2004 BY THOMAS H. THURLOW, JR.

PERSONALLY KNOWN X
PRODUCED ID _____
TYPE OF ID _____

[Signature]
NOTARY SIGNATURE



BUILDING CODE COMPLIANCE OFFICE (BCCO)
 PRODUCT CONTROL DIVISION

FILE COPY
 TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE

DATE: 4/31/04

[Signature]
 BUILDING OFFICIAL
 Gene Simmons

MIAMI-DADE COUNTY, FLORIDA
 METRO-DADE FLAGLER BUILDING
 140 WEST FLAGLER STREET, SUITE 1603
 MIAMI, FLORIDA 33130-1563
 (305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Jeld-Wen, Inc.
 317525 Highway 97 N.
 Chiloquin, OR 97624

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Series "Jeld-Wen®" 12'0" x 6'8" W/E Outswing Glazed Insulated Steel Door w/Full Glazed Panel Sidelites

APPROVAL DOCUMENT: Drawing No. S-2130, titled "Wood Edge Glazed Double Door w/3-0 Sidelites Up to 12' x 6'8 Outswing", sheets 1 through 6 of 6, prepared by R.W Building Consultants, Inc., dated 12/10/01 with revision on 10/22/02, bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: None

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 02-0111.01 and, consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Jaime Eisen, P.E.



NOA No 02-1211.15
 Expiration Date: August 22, 2007
 Approval Date: January 30, 2003
 Page 1

Jeld-Wen, Inc.

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

(For File ONLY. Not part of NOA)

A. DRAWINGS

1. Manufacturer's die drawings and sections.
2. Drawing No. S-2130, titled "Wood Edge Glazed Double Door w/3-0 Sidelites Up to 12' x 6'8 Outswing", sheets 1 through 6 of 6, prepared by R.W Building Consultants, Inc., dated 12/10/01 with revision on 10/22/02

B. TESTS

1. Test reports on 1) Air Infiltration Test, per FBC, TAS 202-94
2) Uniform Static Air Pressure Test, Loading per FBC TAS 202-94
3) Water Resistance Test, per FBC, TAS 202-94
4) Forced Entry Test, per FBC 2411.3.2.1 and TAS 202-94
along with marked-up drawings and installation diagram of a DoorCraft series opaque wood edge steel door, prepared by Certified Testing Laboratories, Test Report No. CTLA-961W, dated 10/23/01, signed and sealed by Ramesh C. Patel, P.E.

Submitted under NOA #02-0111.01

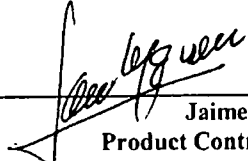
2. Test reports on 1) Air Infiltration Test, per FBC, TAS 202-94
2) Uniform Static Air Pressure Test, Loading per FBC TAS 202-94
3) Water Resistance Test, per FBC, TAS 202-94
4) Forced Entry Test, per FBC 2411.3.2.1 and TAS 202-94
along with marked-up drawings and installation diagram of DoorCraft series OXXO configuration outswing and inswing glazed wood edge steel door, prepared by Certified Testing Laboratories, Test Report No. CTLA-718WB, dated 11/16/01, with addendum letter dated April 1, 2002, all signed and sealed by Ramesh C. Patel, P.E.

C. CALCULATIONS

1. Anchor Calculations and structural analysis dated 12/2/02, prepared by R.W. Building Consultants, Inc., signed and sealed by Lyndon F. Schimdt, P.E.

Submitted under NOA #02-0111.01

2. Anchor Calculations and structural analysis dated 12/20/01, prepared, signed and sealed by Wendell Haney, P.E. with addendum letter dated April 7, 2002 also signed and sealed by Wendell Haney, P.E.



Jaime Eisen, P.E.
Product Control Division
NOA No 02-1211.15
Expiration Date: August 22, 2007
Approval Date: January 30, 2003

Jeld-Wen, Inc.

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

(For File ONLY. Not part of NOA)

D. MATERIAL CERTIFICATIONS

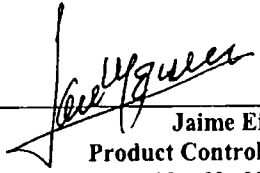
1. Notice of Acceptance No. **01-0718.08** issued to ODL, Inc. for "HP Propropylene Doorlight Assembly" dated 1/17/02, expiring on 1/17/06.
2. Tensile Test prepared by Certified Testing Laboratories, Test Report No. **CTLA-718WB/ DADE 01021 and 719G / DADE 01021**, dated Nov. 29, 2001 and June 4, 2001, tested per **ASTM E8/A370 or B557**, signed and sealed by Ramesh C. Patel, P.E.
3. Test reports No. J9906660-001 for "Surface burning characteristics" per ASTM E-84 and "Self ignition test" per ASTM 1929 D, for polystyrene core dated April 8, 1999, issued by Intertek Testing Services.
4. Notice of Acceptance No. **02-0429.11**, issued to Trinity Glass International, Inc. for "Trinity Lite Frame" dated 7/3/02, expiring on 7/3/07.

E. STATEMENTS

1. Statement letter of conformance and no financial interest, dated 12/2/02, signed and sealed by Lyndon Schmidt, P.E.
2. Statement letter of no financial interest, dated 10/10/02, signed by Steve Frey.

F. OTHER

1. Notice of Acceptance No. **02-0111.01** issued to Jeld-Wen, Inc. for Series "DoorCraft®" 12'0" x 6'8" W/E Outswing Glazed Insulated Steel Door w/Full Glazed Panel Sidelites" dated 10/22/02, expiring on 10/22/07.


Jaime Eisen, P.E.
Product Control Division
NOA No 02-1211.15
Expiration Date: August 22, 2007
Approval Date: January 30, 2003

JELD - WEN® Steel

WOOD EDGE GLAZED INSULATED STEEL DOOR
OUTSWING 6-8 UNITS WITH (2) 3-0 SIDELITES

GENERAL NOTES

1. THIS PRODUCT IS DESIGNED TO COMPLY WITH THE FLORIDA BUILDING CODE.
2. WOOD BUCKS BY OTHERS, MUST BE ANCHORED PROPERLY TO TRANSFER LOADS TO THE STRUCTURE.
3. PRODUCT ANCHORS SHALL BE AS LISTED AND SPACED AS SHOWN ON DETAILS. ANCHOR EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR STUCCO.
4. DESIGNED PRESSURE RATING SEE TABLE PAGE 1.
5. THIS SYSTEM MEETS THE WATER REQUIREMENTS FOR "HIGH VELOCITY HURRICANE ZONES".
5. THIS SYSTEM REQUIRES WINDBORNE DEBRIS EXTERNAL PROTECTION AS PRESCRIBED IN SECTION 1626.1 OF FLORIDA BUILDING CODE.

RESIDENTIAL INSULATED STEEL DOOR (Common to all frame conditions)

Door Leaf Construction:

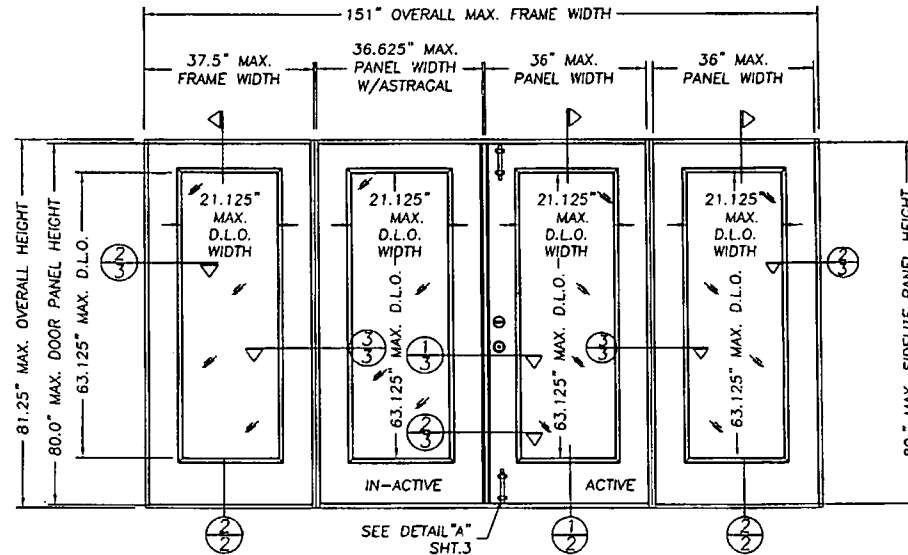
Face sheets: 24 ga. (0.021") minimum thickness, Galvanized steel A-525 commercial quality - AKDQ per ASTM 620 with yield strength $F_y(\text{ave.})=49,200$ psi.

Core design: Expanded polystyrene with 1.0 to 1.25 lbs. density, by Jeld-Wen, Inc.

Panel Construction: The active and inactive panels are constructed from 24GA. (0.021" min.) galvanized steel. The face sheet top and bottoms are bent 90° over the top and bottom rails. The top rail consists of LVL measuring 1.67" x 1.042". The bottom rail is either wood measuring 1.67" x 1.21" or roll formed 0.021" galvanized steel measuring 1.67" x 1.21" with a piece of 3/4" P.F.B. in each corner. The sides of the face sheet are roll formed into the LVL latch stile and Ponderosa Pine hinge stile which measure 1.67" x 1.21". The interior cavity is filled with polystyrene. The face sheet is glued to the polystyrene.

Sash Construction: The sash is constructed from 24GA. (0.021" min.) galvanized steel. The edges of the face sheet are bent 90° over the polystyrene core and glued to it. The sashes are routed to receive the ODL (HP Polypropylene Thermafil-P6-30FM0391) or Trinity lite frame. The units are glazed with .125", .50" or 1.0" tempered glass. The lite frames are wet glazed on the exterior.

Frame Construction: The frames are constructed from Ponderosa Pine jambs measuring 4.563" x 1.25". The head jambs are mortised and butt joined to the side jambs and attached with (3) 16GA. 2" x 7/16" crown wire staples. The units use an outswing bump face threshold, either low profile or high dam. The threshold is attached to the frame with (3) 16GA. 2" x 7/16" crown wire staples.



TESTED OUTSWING ELEVATION
VIEWED FROM INTERIOR

DESIGN PRESSURE RATING WHERE WATER INFILTRATION REQUIREMENT IS NEEDED *(SEE NOTE BELOW)		
UNIT TYPE	WITHOUT SURFACE BOLTS	WITH SURFACE BOLTS ON ACTIVE PANEL
DOUBLE DOOR W/SIDELITES & WINDJAMBER-II-ASTRAGAL-BY-GENESIS	+50.0psf -50.0psf	+65.0psf -65.0psf
DOUBLE DOOR W/SIDELITES & HURRICANE ASTRAGAL BY IMPERIAL	NOT APPROVED	+65.0psf -65.0psf

*NOTE: THE HIGH DAM THRESHOLD MUST BE USED TO MEET THE WATER REQUIREMENTS FOR "HIGH VELOCITY HURRICANE ZONES".

JELD-WEN, INC.
31725 HIGHWAY 97 NORTH
CHILQUIN, OR. 97624
PH. 541.783.2057

PRODUCT:
WOOD EDGE GLAZED DOUBLE
DOOR W/3-0 SIDELITES
UP TO 12" x 6.8' OUTSWING
PART OR ASSEMBLY
TYPICAL ELEVATION &
GENERAL NOTES

NO.	DATE	BY	REVISIONS
3	10/22/02	WLN	ADDED TRINITY LITE ROF
2	06/07/02	WLN	GENERAL REVISION W/LH
1	03/07/02	WLN	GENERAL REVISION T/JH

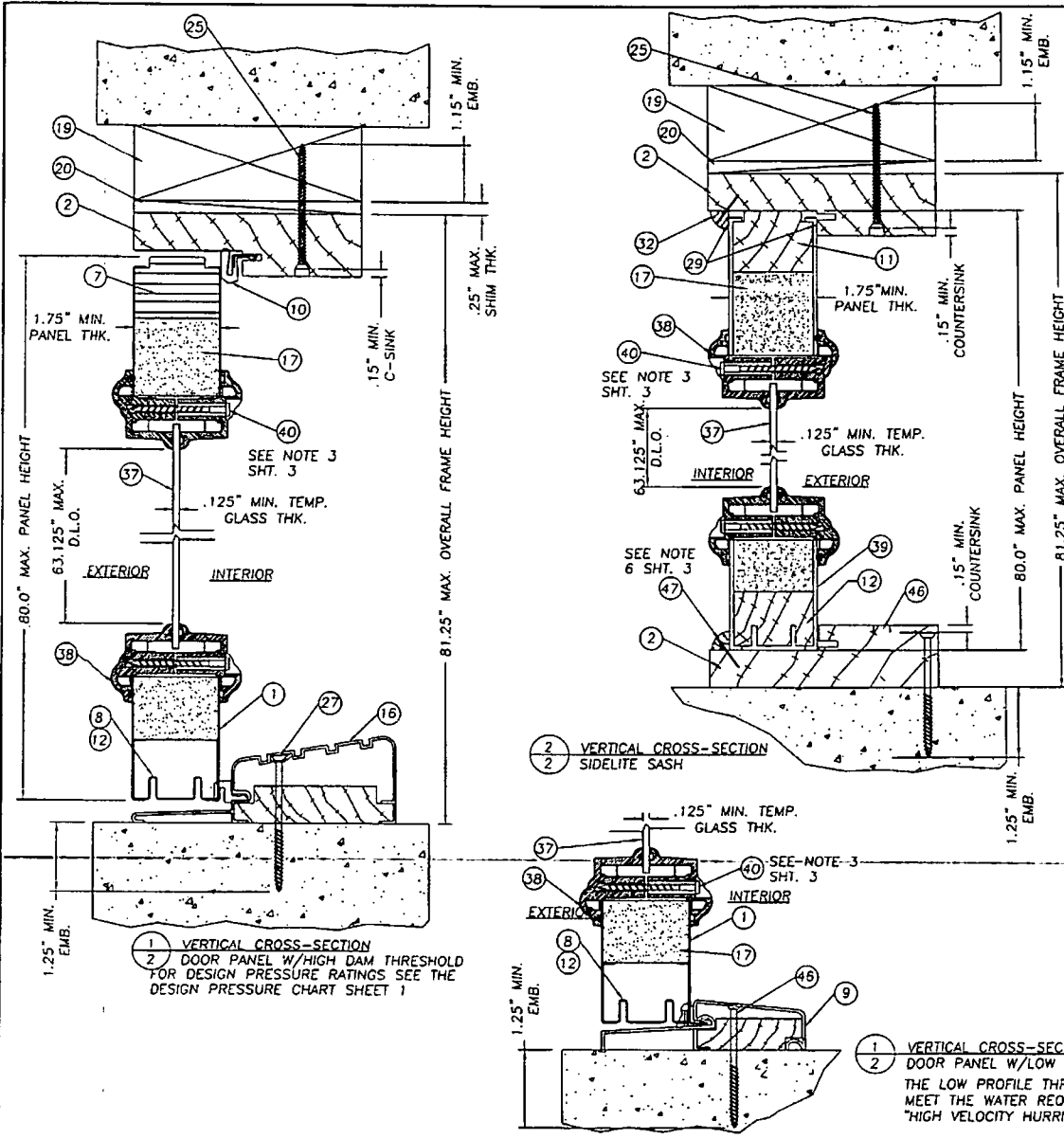
RW BUILDING
CONSULTANTS, INC.
813.659.9197

DATE: 12/10/01
SCALE: NTS
DWG. BY: WLN
CHK. BY: RW
DRAWING NO.: S-2130
SHEET 1 OF 6

PRODUCT REVISED
to comply with the Florida
Building Code
Acceptance No 02-1211.15
Expiration Date 08/22/03
By: [Signature]
Hazardous Product Control
Division

TABLE OF CONTENTS

SHEET #	DESCRIPTION
1	GENERAL NOTES AND TYPICAL ELEVATIONS
2	VERTICAL CROSS SECTIONS & BILL OF MATERIAL
3	HORIZONTAL CROSS SECTIONS & NOTES
4	ANCHORING LOCATIONS & DETAILS
5	GLAZING DETAILS
6	UNIT COMPONENTS



ITEM	DESCRIPTION	MATERIAL
1	DOOR WOOD EDGE 1.75" THK. 24GA. (.021" MIN.)	STEEL
2	HEAD JAMB (1 1/4" x 4 9/16" FINGER JOINTED PINE)	PINE
3	HINGE JAMB (1 1/4" x 4 9/16" FINGER JOINTED PINE)	PINE
4	SIDELITE BLANK JAMB (1 1/4" x 4 9/16" FINGER JOINTED PINE)	PINE
5	4" x 4" BUTY HINGE 12ga. (.097" HAGER)	STEEL
6	#9 X 1" PFH WOOD SCREW (HINGE TO DOOR)	STEEL
7	DOOR LATCH SIDE STILE & TOP RAIL LVL 1.67" x 1"	LVL
8	DOOR PANEL BOTTOM RAIL (1.75" x 1.21" x .021" THK. MIN. 24GA.)	STEEL
9	OUTSWING BUMPER THRESHOLD (.050" EXTRUDED ALUM.)	ALUM.
10	COMPRESSION WEATHERSTRIP (SCHLEGEL Q-LON QDS 650)	FOAM
11	SIDELITE PANEL WOOD TOP RAIL 1.67" x 1"	WOOD
12	DOOR AND SIDELITE PANEL WOOD BOTTOM RAIL 1.67" x 1"	WOOD
13	DOOR HINGE & SIDELITE PANEL WOOD SIDE STILE 1.67" x 1"	WOOD
14	#10 X 2" PFH WOOD SCREW	STEEL
15	WOOD LOCK BLOCK (1.71" x 4.0" x 12.0")	WOOD
16	HIGH DAM BUMPS THRESHOLD BY IMPERIAL .051" ALUM.	ALUM.
17	EXPANDED POLYSTYRENE (1.0 TO 1.25 LB. DENSITY) BY JELD-WEN	FOAM
18	1/4" x 3/8" WOOD MULLION CAP	WOOD
19	2x WOOD SUB BUCK	WOOD
20	SHIM MATERIAL (.25" MAX. THK.)	-
21	KWIKSET 400 SERIES KNOB	-
22	KWIKSET TITAN 700 SERIES DEADBOLT	-
23	16GA BRAD TRIM NAIL 1" L	STEEL
24	#8 X 2" PHIL. FLATHEAD WOOD SCREW	STEEL
25	#8 X 2 1/2" PHIL. FLATHEAD WOOD SCREW	STEEL
26	ASTRAGAL EXTRUDED ALUM. (WR8BJ #WAZLUMBER # BY GENESIS)	ALUM.
27	3/16" x 2 3/4" L TAPCON ANCHOR (ELCO)	STEEL
28	IVES SURFACE BOLT #454 8.0" L x .25" THK. STEEL	STEEL
29	SILICONE CAULK (CR LAWRENCE 33C)	SILICONE
30	GLAZING COMPOUND (GSD BY ODL)	SILICONE
31	#8 X 1" PPH WOOD SCREW (ASTRAGAL WR8BJ TO DOOR)	STEEL
32	5/8" x 3/8" 1/4" ROUND SIDELITE STOP	WOOD
33	1/4"-20 SEX BOLT W/1/4"-20 FEMALE END x 1 3/4" L	STEEL
34	SCHLAGE KNOB SET #F51 (NOT RATED ABOVE +50 psf)	-
35	SCHLAGE DEADBOLT #B360 (NOT RATED ABOVE +50 psf)	-
36	GLAZING COMPOUND DOW 1199	SILICONE
37	1/8" TEMPERED GLASS (BY PPG)	GLASS
38	LITE FRAME (ODL HP POLYPROP. THERMOFIL-P6-30FM0391)	POLYPROP.
39	STEEL SIDELITE PANEL 24GA. (.021" MIN. STEEL)	STEEL
40	#8 X 1 1/2" PLASCREW (LITE FRAME)	STEEL
41	EXTRUDED ALUMINUM ASTRAGAL BY IMPERIAL	ALUM.
42	YALE KNOB HERITAGE SERIES	-
43	YALE DEADBOLT HERITAGE SERIES	-
44	#10 X 1" PHILLIPS FLATHEAD WOOD SCREW	STEEL
45	#8 X 2" PHILLIPS FLATHEAD WOOD SCREW	STEEL
46	3/16" x 2 1/2" L TAPCON ANCHOR (ELCO)	STEEL
47	16GA BRAD TRIM NAIL 3/4" L	STEEL
48	3/4" PRESSURE TREATED REINFORCEMENT	WOOD
49	LITE FRAME BY TRINITY FOR 1/2" GLASS	POLYPROP.
50	1 1/2" INSULATED TEMP. GLASS BY AMPAC	-
51	LITE FRAME BY TRINITY FOR 1" GLASS	POLYPROP.
52	1" INSULATED TEMP. GLASS BY AMPAC	-
53	LITE FRAME SCREW #6 X 1 1/2" PANHEAD	STEEL

JELD-WEN, INC.
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 CHILOQUIN, OR. 97624
 PH. 541.783.2057

PRODUCT: WOOD EDGE GLAZED DOUBLE DOOR W/3-0 SIDELITES UP TO 12" x 6'8" OUTSWING PART OR ASSEMBLY: VERTICAL CROSS SECTIONS & BILL OF MATERIAL

NO.	DATE	BY	REVISIONS
3	11/02/22/02	WLN	ADDED TRINITY LITE ROF
1	03/07/02	WLN	GENERAL REVISION
1	03/07/02	TJH	GENERAL REVISION

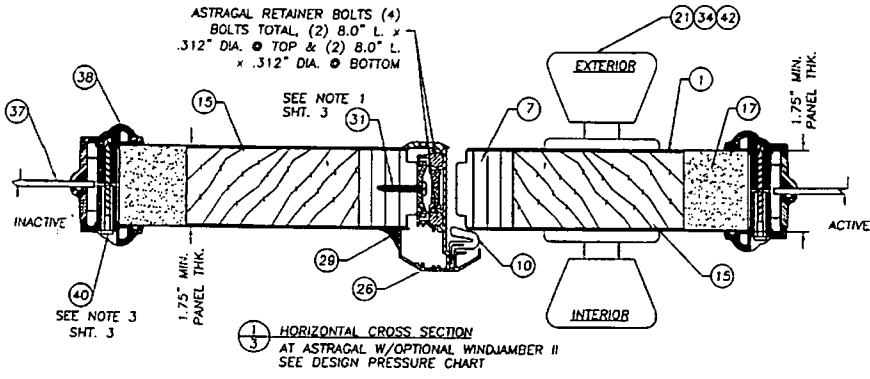
RW BUILDING CONSULTANTS, INC.
 813.659.9197

PRODUCT REVISED as complying with the Florida Building Code
 Acceptance No. 02-1211-15
 Expiration Date 08/22/03
 By: *[Signature]*
 Miami Product Control Division

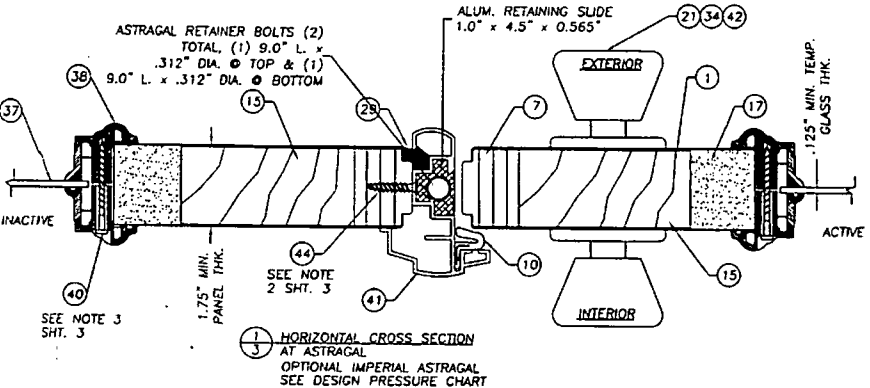
DATE: 12/10/01
 SCALE: NTS
 DWG. BY: WLN
 CHK. BY: RW
 DRAWING NO.: S-2130
 SHEET 2 OF 6

1 VERTICAL CROSS-SECTION DOOR PANEL W/LOW PROFILE THRESHOLD THE LOW PROFILE THRESHOLD "DOES NOT" MEET THE WATER REQUIREMENTS FOR "HIGH VELOCITY HURRICANE ZONES".

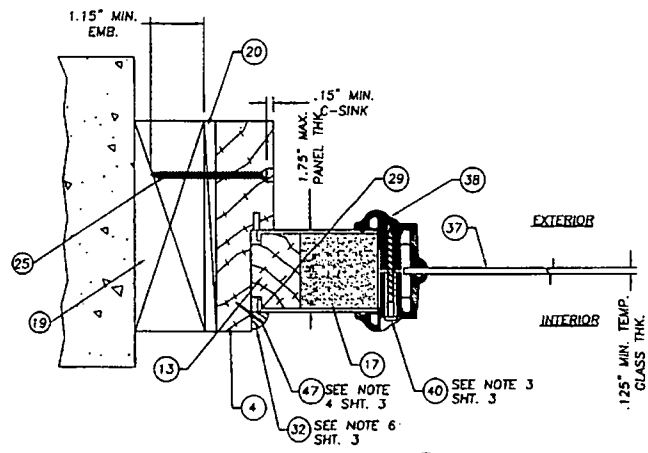
1 VERTICAL CROSS-SECTION DOOR PANEL W/HIGH DAM THRESHOLD FOR DESIGN PRESSURE RATINGS SEE THE DESIGN PRESSURE CHART SHEET 1



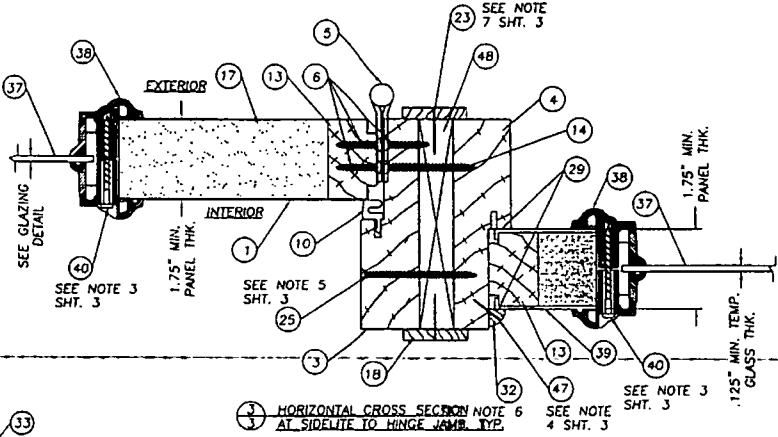
1 HORIZONTAL CROSS SECTION AT ASTRAGAL W/OPTIONAL WINDJAMBER II SEE DESIGN PRESSURE CHART



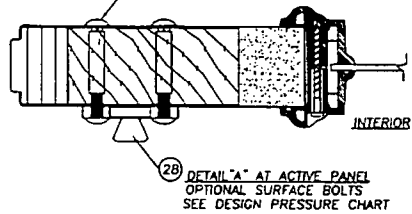
2 HORIZONTAL CROSS SECTION AT ASTRAGAL OPTIONAL IMPERIAL ASTRAGAL SEE DESIGN PRESSURE CHART



3 HORIZONTAL CROSS SECTION AT SIDELITE TO BUCK TYPE



4 HORIZONTAL CROSS SECTION AT SIDELITE TO HINGE JAMB TYPE



DETAIL 'A' AT ACTIVE PANEL OPTIONAL SURFACE BOLTS SEE DESIGN PRESSURE CHART

- NOTES:
- SPACING FOR THE (9) #8 x 1" PFH SCREW ATTACHING THE WINDJAMBER ASTRAGAL TO THE INACTIVE DOOR IS AS FOLLOWS: TOP DOWN; 1.0", 3.0", 5.0" & 19 FROM THE BOTTOM UP; 1.0", 3.0", 5.0", 19" & 38"
 - SPACING FOR THE (14) #10 x 1" PFH SCREW ATTACHING THE IMPERIAL ASTRAGAL TO THE INACTIVE DOOR IS AS FOLLOWS: FROM THE TOP DOWN & BOTTOM UP; 1.0", 2.5", 4.0", 5.5", 13.0", 18.0" & 26.0"
 - SPACING FOR #8 x 1 1/2" PLUSCREW IS AS FOLLOWS: (3) TOP & BOTTOM; (1) SCREW 3.0" 3.0" IN FROM EACH HORIZONTAL CORNER WITH (1) MORE IN THE CENTER. (6) SCREWS FROM THE TOP OF THE FRAME DOWN ON THE SIDES; 3.0", 13.0", 26.0", 39.0", 52.0" & 63.0"
 - SPACING FOR BRAD TRIM NAIL 3/4" L ATTACHING THE QUARTER ROUND TO THE SIDELITE IS AS FOLLOWS: TOP & BOTTOM; 1.25" IN FROM EACH HORIZONTAL CORNER WITH (1) MORE NAIL IN THE MIDDLE. SIDES; 1.25" FROM EACH END & SIX MORE EQUALLY SPACED ON THE FIELD.
 - SPACING FOR #8 x 2.5" PFH WOOD SCREW ATTACHING THE MULLIONS TOGETHER IS AS FOLLOWS: 6.0" FROM EACH VERTICAL CORNER WITH (4) MORE SCREWS EQUALLY SPACED, A TOTAL OF (6) SCREWS PER EACH VERTICAL MULLION.
 - THE SIDELITE IS SECURED INTO THE SIDELITE JAMB WITH SILICONE CAULK ON THREE SIDES & 3/8" x 3/8" 1/4 ROUND & BRAD TRIM NAIL, x 3/4" L
 - THE MULLION CAP IS ATTACHED TO THE PRESSURE TREATED REINFORCEMENT WITH ITEM #23 A 1" TRIM NAIL SPACED A MAX. OF 12" ON CENTER.
 - THE SPACING FOR ITEM #53 THE #6 1 1/2" PANHEAD SCREW IN THE TRINITY LITE FRAME IS AS FOLLOWS: FROM THE TOP DOWN ON THE SIDES (9) AT 3.25", 10.625", 18.0625", 25.4375", 32.8125", 40.1875", 47.5625", 55" & 62.375". AT THE TOP AND BOTTOM FROM RIGHT TO LEFT (3) AT 3.25", 11.875" AND 20.5"

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PH. 541.783.2057

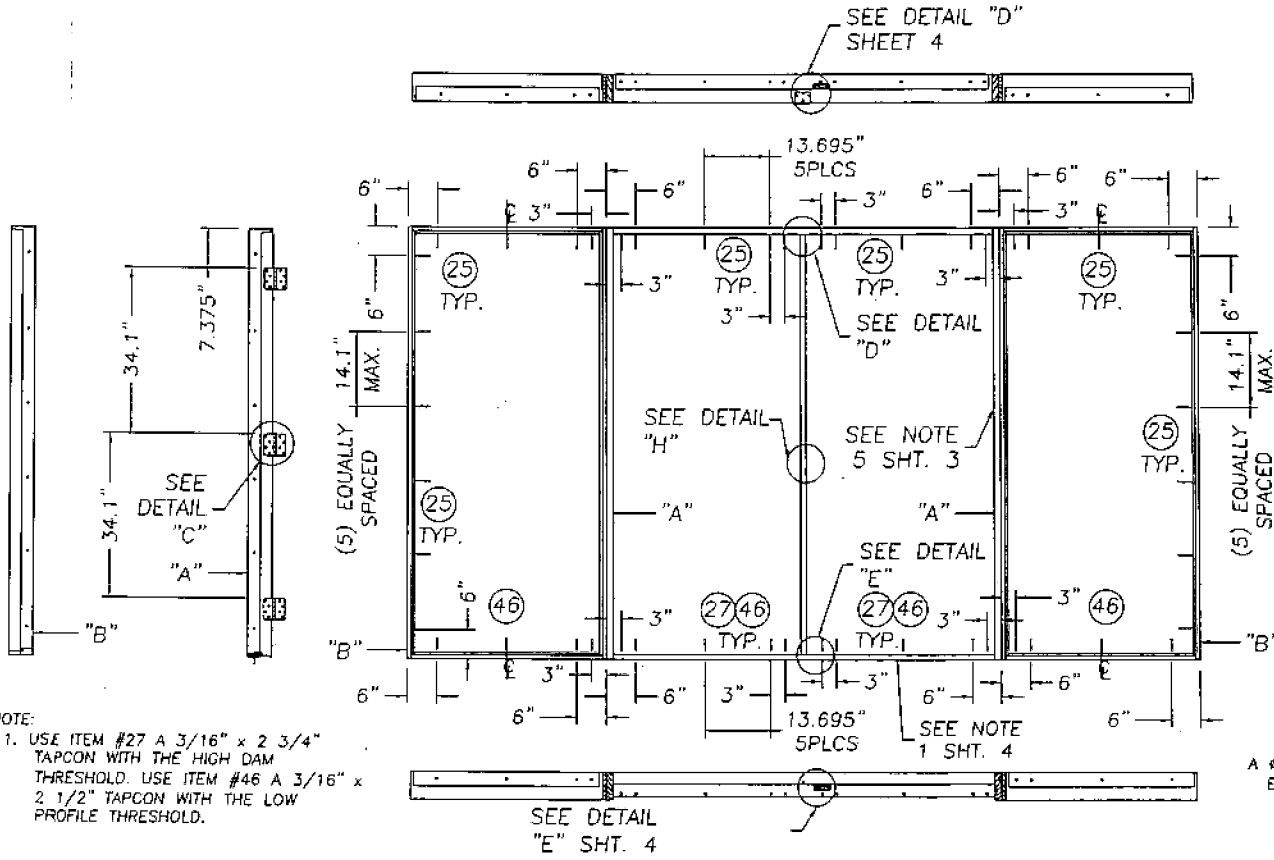
PRODUCT: WOOD EDGE GLAZED DOUBLE DOOR W/ 6" SIDELITE UP TO 10' x 6'8" OUTSWING UNIT
PART OR ASSEMBLY: HORIZONTAL CROSS SECTIONS

NO.	DATE	BY	REVISIONS
1	10/22/02	WLN	ADDED TRINITY LIFE
2	06/07/02	WLN	GENERAL REVISION
3	03/07/02	TJH	GENERAL REVISION

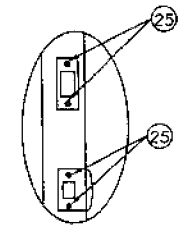
RW BUILDING CONSULTANTS, INC.
813.659.9197

PRODUCT REVISED as complying with the Florida Building Code Acceptance No 02-1211.15 Expiration Date 08/22/10.
By: *[Signature]*
Missed Door Product Control Division

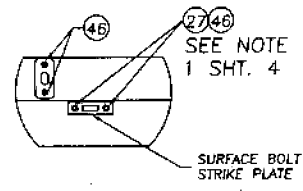
DATE: 12/10/01
SCALE: NTS
DWG. BY: WLN
CHK. BY: RW
DRAWING NO.: S-2130
SHEET 3 OF 6



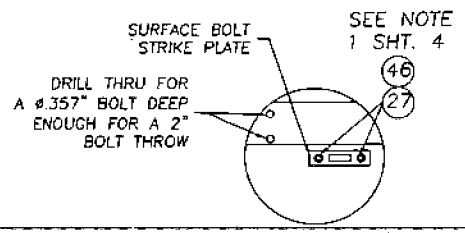
NOTE:
 1. USE ITEM #27 A 3/16" x 2 3/4" TAPCON WITH THE HIGH DAM THRESHOLD. USE ITEM #46 A 3/16" x 2 1/2" TAPCON WITH THE LOW PROFILE THRESHOLD.



DETAIL H
 STRIKE PLATES
 TO ASTRAGAL

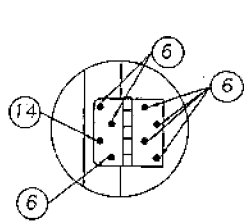


DETAIL E (IMPERIAL ASTRAGAL)
 AT SILL

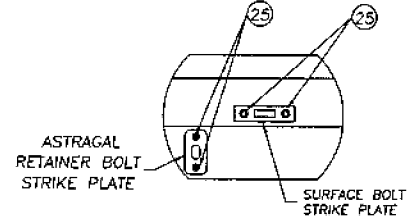


DETAIL "E" AT SILL
 SURFACE BOLT STRIKE PLATE
 SEE NOTE 1 SHT. 4

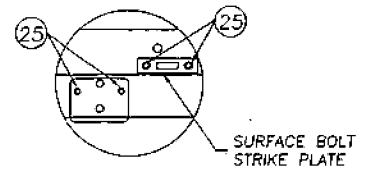
WINDJAMBER II ASTRAGAL BY GENESIS
 RETAINER BOLT HOLES & OPTIONAL
 SURFACE BOLT STRIKE PLATE



DETAIL "C"



DETAIL D (IMPERIAL ASTRAGAL)
 AT HEADER



DETAIL "D" AT HEADER
 WINDJAMBER II ASTRAGAL BY GENESIS
 ATTACH ASTRAGAL THROW BOLT STRIKE PLATE TO FRAME AS SHOWN

JELD-WEN, INC.
 31725 HIGHWAY 97 NORTH
 CHILOQUIN, OR. 97624
 PH. 541.783.2057

PRODUCT: WOOD EDGE GLAZED DOUBLE DOOR W/3-0 SIDELITES UP TO 12' x 6'8" OUTSWING
 PART OR ASSEMBLY: ANCHORING LOCATION & DETAILS

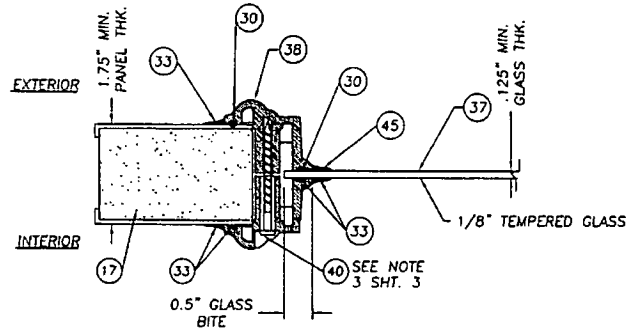
NO.	DATE	REVISIONS
3	10/22/03	ADDED TRINITY LITE
2	08/07/02	GENERAL REVISION
1	03/07/02	GENERAL REVISION

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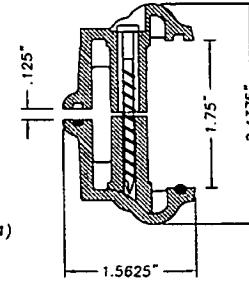
PRODUCT REVISED as complying with the Florida Building Code
 Acceptance No. 02-1211-15
 Expiration Date 08/22/10
 By: [Signature]
 Miami Office Product Control Division

DATE: 12/10/01
 SCALE: NTW
 DWG. BY: WLN
 CHK. BY: RW
 DRAWING NO.: S-2130
 SHEET 4 OF 6

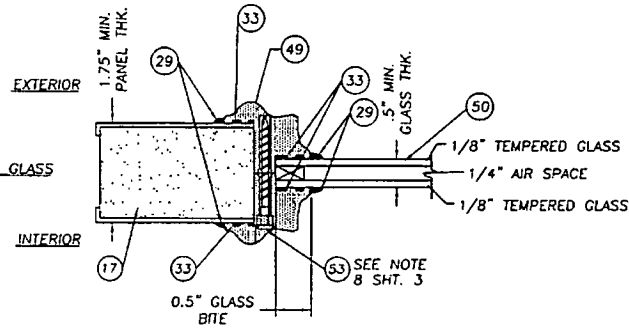
GLAZING DETAIL
1/8" TEMPERED GLASS
ODL LITE FRAME



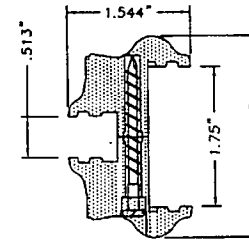
(38)
1/8" GLASS LITE FRAME
ODL
HP POLYPROPYLENE
(THERMOFIL-P6-30FM0391)



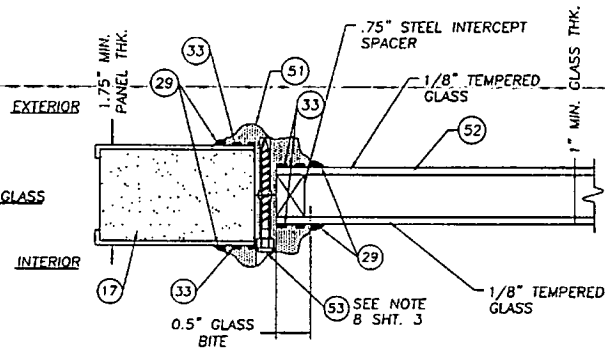
GLAZING DETAIL
1/2" INSULATED TEMPERED GLASS
TRINITY LITE FRAME



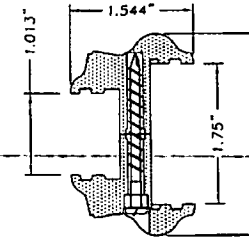
(49)
1/2" GLASS LITE FRAME
TRINITY
(LUPOY EU 5007)



GLAZING DETAIL
1" INSULATED TEMPERED GLASS
TRINITY LITE FRAME



(51)
1" GLASS LITE FRAME
TRINITY
(LUPOY EU 5007)



PRODUCT REVISED
to comply with the Florida
Building Code
Acceptance No 02-1211-15
Expiration Date 08/22/07
By: *[Signature]*
Miami Glass Product Control
Division

DATE:	12/10/01
SCALE:	N.T.S.
DWG. BY:	WLN
CHK. BY:	RW
DRAWING NO.:	S-2130
SHEET	5 of 6

PRODUCT:
WOOD EDGE GLAZED DOUBLE
DOOR W/3-0 SIDELITES
JUP. TO 12" X 6'8" OUTSWING
PART OR ASSEMBLY:
GLAZING SECTIONS

NO.	DATE	BY	REVISIONS
1		ZBK	ADDED TRINITY FRAME
2	10/22/02	WLN	GENERAL REVISION
3	06/07/02	ZBK	GENERAL REVISION
4	03/07/02	ZBK	GENERAL REVISION

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JELD-WEN, INC.
31725 HIGHWAY 97 NORTH
CHLOQUIN, OR, 97624
PH. 541.783.2057

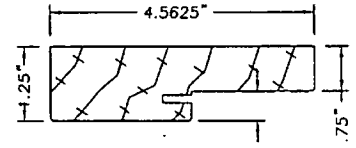
JELD-WEN, INC.
 31725 HIGHWAY 97 NORTH
 CHILOQUIN, OR. 97624
 PH. 541.783.2057

PRODUCT: WOOD EDGE GLAZED DOUBLE DOOR W/1-0 SIDELITES
 UP TO 12' x 6'8" OUTSWING
 PART OR ASSEMBLY: UNIT COMPONENTS

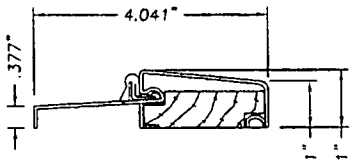
NO.	DATE	BY	REVISIONS
3	10/22/02	ADDED TRINITY LINE ROF	
2	06/07/02	GENERAL REVISION	WJN
1	03/07/02	GENERAL REVISION	TJH

RW BUILDING CONSULTANTS, INC.
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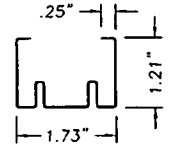
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 DRAWING NO.: S-2130
 SHEET 6 OF 6



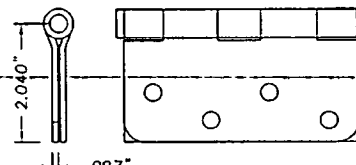
2 4
3
WOOD FRAME



9 OPTIONAL OUTSWING BUMPFACE THRESHOLD
 LOW PROFILE BY WORLD WIDE
 .050" EXTRUDED ALUMINUM
 THIS THRESHOLD DOES NOT MEET
 THE WATER REQUIREMENTS FOR
 "HIGH VELOCITY HURRICANE ZONES"
 SEE DESIGN PRESSURE CHART

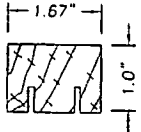


8 DOOR STEEL EDGE CAP, BOTTOM
 .021" ROLL FORMED STEEL

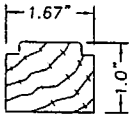


5 4 x 4 STEEL DOOR HINGE
 .097" THK. STEEL BY HAGER

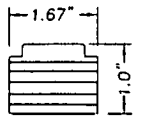
PRODUCT REVISED
 as complying with the Florida
 Building Code
 Acceptance No. 02-121115
 Expiration Date 08/22/07
 By: [Signature]
 Minimal Product Control
 Division



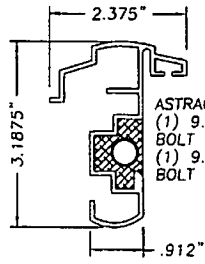
12 DOOR PANEL & SIDELITE BOTTOM RAIL WOOD



13 11 DOOR TOP & HINGE STILE

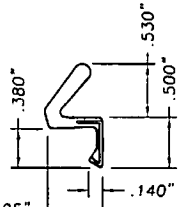


7 LVL LATCH STILE

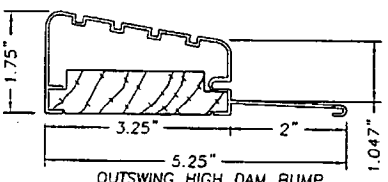


41 OPTIONAL IMPERIAL ASTRAGAL
 EXTRUDED ALUMINUM .075" WALL

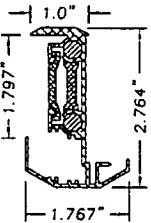
ASTRAGAL HAS
 (1) 9.0" L x .312" DIA.
 BOLT @ TOP &
 (1) 9.0" L x .312" DIA.
 BOLT @ BOTTOM



10 COMPRESSION WEATHERSTRIP
 SCHLEGEL Q-LON QDS 650

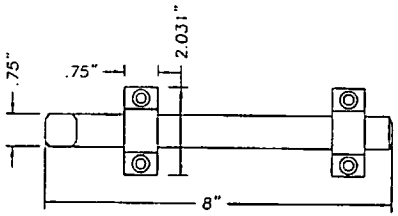


15 OUTSWING HIGH DAM BUMPFACE ALUMINUM THRESHOLD
 .051" WALL THK. BY IMPERIAL
 THIS THRESHOLD MEETS
 THE WATER REQUIREMENTS FOR
 "HIGH VELOCITY HURRICANE ZONES"
 SEE DESIGN PRESSURE CHART

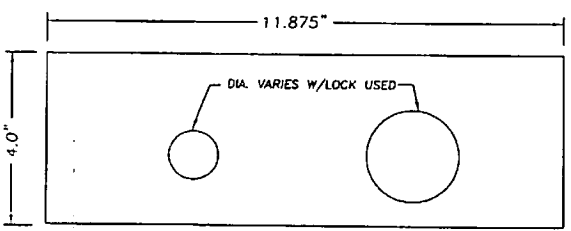


26 ASTRAGAL WINDJAMBER II
 (WR68J T-6060 EXTRUDED ALUMINUM)

ASTRAGAL HAS
 (2) 8.0" L x .312" DIA.
 BOLTS @ BOTTOM &
 (2) 8.0" L x .312" DIA.
 BOLTS @ TOP

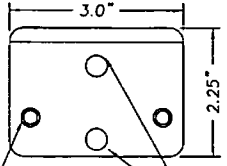


28 SURFACE BOLT (IVES .25" STEEL MODEL 454)
 SURFACE BOLT STRIKE (IVES .125" STEEL)



15 WOOD LOCK BLOCK, 1.71" THK.

DIA. VARIES W/LOCK USED



DRILL TRU FOR A #8 PFH WOOD SCREW 2PLCS

DRILL TRU FOR .357" DIA. ASTRAGAL RETAINER BOLTS

WINDJAMBER II WR68J STRIKE PLATE
 STEEL PLATE

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 10/12, 2004 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6658	MOORE	UG TANK & LINES	PASS	
5	5 Oak Hill Way FERRELL GAS			INSPECTOR:
6651	LANGER	TIN TAG	—	WILL RECHECK
4	3 LOFTING WAY FLORIDA'S FINEST			INSPECTOR:
6578	LANGER	POOL DUMBING	FAIL	
4	3 LOFTING WAY OLYMPIC POOLS			INSPECTOR:
6604	BEAN	PORCH	—	OWNER ADVISED TO
1	112 S. SEWALL'S Pt CREATIVE LANDSC.	UNDERMINED BY STORM SURGE		HAVE ENR EVALUATE INSPECTOR:
6885	BARDON	SHEATHING		— CXL PER USA
	25 FIELDWAY O/B			INSPECTOR:
6874	STACHINO	DOOR BUCKS	PASS	UNABLE TO ACCESS
2	11 RIO VISTA DRIVE O/B	FR. DOORS	PASS	HOME CLOSE INSPECTOR:
6919	KIPLINGER	SHEATHING	PASS	
2A	143 S. RIVER STUART ROOFING			INSPECTOR:
OTHER:	3 45 RIO VISTA	FENCE W/O PERMIT		LEFT CORRECTION NOTICE TO OBTAIN PERMIT.

73, S.S.P.C. - SEYMOUR

8759

WINDOWS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	8759	DATE ISSUED:	NOVEMBER 8, 2007
SCOPE OF WORK:	NEW WINDOWS		
CONDITIONS :			
CONTRACTOR:	GLENMARK HOMES		
PARCEL CONTROL NUMBER:	123841002000005208	SUBDIVISION	RIO VISTA – LOT 52
CONSTRUCTION ADDRESS:	11 RIO VISTA DR		
OWNER NAME:	GIACHINO		
QUALIFIER:	GLEN HUTCHINS	CONTACT PHONE NUMBER:	225-7010

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

RECEIVED
DATE: 10-31-07
TOWN OF SEWALL'S POINT

Date: 10/24/07 Town of Sewall's Point **BUILDING PERMIT APPLICATION** Permit Number: _____

OWNER/TITLEHOLDER NAME: FERNANDO GIACHINO Phone (Day) _____ (Fax) _____

Job Site Address: #11 RIO VISTA DR. City: SEWELLS PT State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block): LOT-52, RIO VISTA SUBDIVISION Parcel Number: PHAT BK- 6 Pof 95

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Scope of work: INSTANTION OF NEW WINDOWS.

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO X

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO X
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 8500.00
(Notice of Commencement required when over \$2500 prior to first inspection)
Is subject property located in flood hazard area? V A9 A8 X
FOR ADDITIONS AND REMODELS IN FLOOD HAZARD AREAS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: GLEN MARK HOMES INC Phone: 225-7010 Fax: 225-7010

Street: P.O. BOX 654 City: STUART State: FL Zip: 34995

State Registration Number: 058099529 State Certification Number: CBC056057 Municipality, License Number: 2001-513-0001

PROJECT SUPERINTENDANT: GLEN HUTCHINS CONTACT NUMBER: 225-2250

ARCHITECT _____ Lic.# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic.# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQ. FOOTAGE (W/SEWER & ELECTRIC): Living: 2000 Garage: 500 Covered Patios: 500 Screened Porch: _____
Carport: _____ Total Under Roof: 3000 Wood Deck: _____ Accessory Building: _____

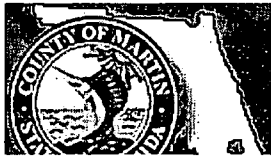
CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004 (W/2006 Rev.)
National Electrical Code: 2005 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

NOTICES TO OWNERS AND CONTRACTORS:
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95

THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.
I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****
OWNER OR AUTHORIZED AGENT SIGNATURE (required) _____ CONTRACTOR SIGNATURE (required) _____
State of Florida, County of: Martin On State of Florida, County of: Martin
This the 24th day of October, 2007 This the 24th day of October, 2007
by Fernando Giachino who is personally by Glen Hutchins who is personally
known to me or produced known to me or produced FL Drivers License
as identification. as identification.
Notary Public: Thomas H. Thurlow III. Notary Public: Thomas H. Thurlow III.
Commission # DD588734 Commission # DD588734
My Commission Expires: September 15, 2010 My Commission Expires: September 15, 2010

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL OF THE APPLICATION (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
governmentmax.com T1.13

Summary

print Owner 1 of 7

Parcel Info

Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
12-38-41-002-000-00520-8	11 RIO VISTA	27565	Owner	0	1

Summary

Property Location 11 RIO VISTA
Tax District 2200 Sewall's Point
Account # 27565
Land Use 101 0100 Single Family
Neighborhood 120250
Acres 0.368

Legal Description
Property Information
 RIO VISTA S/D LOT 52

Search By

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

Owner Information
Owner Information
 GIACHINO, FERNANDO

Mail Information
 11 RIO VISTA DR
 STUART FL 34996

Assessment Info
Front Ft. 0.00

Market Land Value \$275,000
Market Impr Value \$160,360
Market Total Value \$435,360

Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Recent Sale
Sale Amount \$360,000

Sale Date 2/26/2004
Book/Page 1866 0896

[Print](#) | [Back to List](#) | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 10/17/2007



NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: TAX FOLIO #: 12-38-41-002-000-00520-8
STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE): LOT 52 RIO VISTA SUBDIVISION, PB 6 Pg 95, MCPR

GENERAL DESCRIPTION OF IMPROVEMENT: NEW WINDOW INSTALATION.

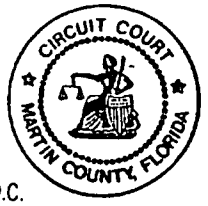
OWNER NAME: FERNANDO GIACHINO
ADDRESS: #11 RIO VISTA DR., SEWELLS PT., FLORIDA, 34996
PHONE NUMBER: FAX NUMBER:

INTEREST IN PROPERTY: OWNER

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR: GLENMARK HOMES INC.
ADDRESS: P.O. BOX 654 STUART STATE OF FLORIDA, 34996
PHONE NUMBER: 772-225-7010 FAX NUMBER: MARTIN COUNTY

SURETY COMPANY (IF ANY):
ADDRESS:
PHONE NUMBER: FAX NUMBER:
BOND AMOUNT:
THIS IS TO CERTIFY THAT THE FOREGOING PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.



LENDER/MORTGAGE COMPANY:
ADDRESS:
PHONE NUMBER: FAX NUMBER:
BY: MARSHA EWING, CLERK
DATE: 10-24-07 D.C.

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME:
ADDRESS:
PHONE NUMBER: FAX NUMBER:

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES OF TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B).

FLORIDA STATUES: PHONE NUMBER: FAX NUMBER:

EXPIRATION DATE OF NOTICE OF COMMENCEMENT:
(EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

SIGNATURE OF OWNER OR OWNER'S AUTHORIZED AGENT SIGNATORY'S TITLE/OFFICE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 24 DAY OF October, 2007.

BY: Fernando Giachino AS TYPE OF AUTHORITY FOR NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION

TYPE OF IDENTIFICATION PRODUCED
NOTARY SIGNATURE NOTARY SEAL

Thomas H. Thurlow III.
Commission # DD588734
Expires September 15, 2010
Banded Troy Fain - Insurance, Inc. 800-385-7019

INSTR # 2046409 DR BK 02287 PG 0534 RECD 10/24/2007 02:40:38 PM
MARSHA EWING MARTIN COUNTY DEPUTY CLERK L Wood

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
10/22/2007

PRODUCER (772)546-5600 FAX (772)546-1008
Campbell-Wilson Ins. Agency
12892 SE Suzanne Drive
Hobe Sound, FL 33455 9747

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED Glenmark Homes, Inc.
P.O. Box 654
Stuart, FL 34995 0654
CBC 056057

INSURER A: Owners Insurance Company
INSURER B:
INSURER C:
INSURER D:
INSURER E:

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A	GENERAL LIABILITY	002382 72584717 07	03/02/2007	03/02/2008	EACH OCCURRENCE	\$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				FIRE DAMAGE (Any one fire)	\$ 300,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$ 10,000
	<input checked="" type="checkbox"/> Liability plus				PERSONAL & ADV INJURY	\$ 1,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER:				GENERAL AGGREGATE	\$ 1,000,000
	<input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				PRODUCTS - COMPI/OP AGG	\$ 1,000,000
	AUTOMOBILE LIABILITY	NONE			COMBINED SINGLE LIMIT (Ea accident)	\$
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$
	<input type="checkbox"/> HIRED AUTOS				AUTO ONLY - EA ACCIDENT	\$
	<input type="checkbox"/> NON-OWNED AUTOS				OTHER THAN EA ACC	\$
	GARAGE LIABILITY	NONE			AUTO ONLY: AGG	\$
	<input type="checkbox"/> ANY AUTO				EACH OCCURRENCE	\$
	EXCESS LIABILITY	NONE			AGGREGATE	\$
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE					\$
	<input type="checkbox"/> DEDUCTIBLE					\$
	<input type="checkbox"/> RETENTION \$					\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	NONE			WC STATUTORY LIMITS	OTH-ER
					E.L. EACH ACCIDENT	\$
					E.L. DISEASE - EA EMPLOYEE	\$
					E.L. DISEASE - POLICY LIMIT	\$
	OTHER					

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS
State of Florida - Builder

CERTIFICATE HOLDER

ADDITIONAL INSURED; INSURER LETTER:

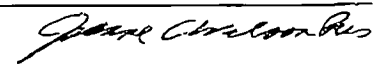
CANCELLATION

Town of Sewall's Point
1 S Sewalls Point Road
Sewalls Point, FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT. BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Joanne Wilson/JO





08-10-2006

TOM GALLAGHER
CHIEF FINANCIAL OFFICER

STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION

** CERTIFICATE OF EXEMPTION FROM FLORIDA WORKERS' COMPENSATION LAW **

CONSTRUCTION INDUSTRY EXEMPTION

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation Law.

EFFECTIVE DATE: 10/21/2006 ** EXPIRATION DATE: 10/20/2008

PERSON: HUTCHINS GLEN K

FEIN: 522369598

BUSINESS NAME AND ADDRESS: GLENMARK HOMES INC
PO BOX 654
STUART FL 34995


SCOPE OF BUSINESS OR TRADE: 1- CERTIFIED BUILDING CONTRACTOR

IMPORTANT: Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.

QUESTIONS? (850) 413-160

JWC-252 CERTIFICATE OF ELECTION TO BE EXEMPT REVISED 01-04

PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

<p>STATE OF FLORIDA DEPARTMENT OF FINANCIAL SERVICES DIVISION OF WORKERS' COMPENSATION CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION FROM FLORIDA WORKERS' COMPENSATION LAW</p> <p>EFFECTIVE: 10/21/2006 ** EXPIRATION DATE: 10/20/2008</p> <p>PERSON: GLEN K HUTCHINS FEIN: 522369598</p> <p>BUSINESS NAME AND ADDRESS: GLENMARK HOMES INC PO BOX 654 STUART FL 34995</p> <p>SCOPE OF BUSINESS OR TRADE: 1- CERTIFIED BUILDING CONTRACTOR</p>	 <p>MEETS REISSUANCE REQUIREMENTS</p>	<p style="writing-mode: vertical-rl; text-orientation: mixed;">FOLD HERE</p> <p style="text-align: center;">IMPORTANT</p> <p>Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.</p> <p style="text-align: right;">QUESTIONS? (850) 413-1609</p>
---	---	---

CUT HERE

* Carry bottom portion on the job, keep upper portion for your records.

C# 2714496

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ#L06081400776

DATE	BATCH NUMBER	LICENSE NBR
08/14/2006	058089529	CBC056057

The BUILDING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2008

HUTCHINS, GLEN KENNETH
GLENMARK HOMES INC
1934 LAKE PL
JENSEN BEACH FL 34957

JEB BUSH
GOVERNOR

SIMONE MARSTILLER
SECRETARY

DISPLAY AS REQUIRED BY LAW

C# 3240553

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ#L07053000925

DATE	BATCH NUMBER	LICENSE NBR
05/30/2007	060747267	QB30859

The BUSINESS ORGANIZATION
Named below IS QUALIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2009
(THIS IS NOT A LICENSE TO PERFORM WORK. THIS ALLOWS
COMPANY TO DO BUSINESS ONLY IF IT HAS A QUALIFIER.)

GLENMARK HOMES INC
1934 LAKE PL
JENSEN BEACH FL 34957

CHARLIE CRIST
GOVERNOR

HOLLY BENSON
SECRETARY

DISPLAY AS REQUIRED BY LAW

2007-2008

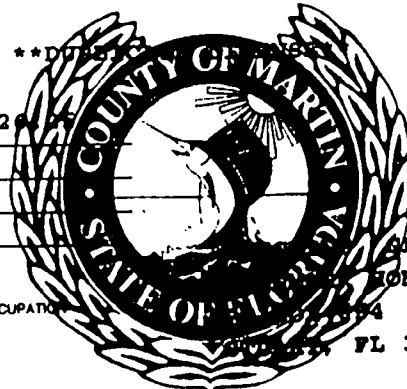
MARTIN COUNTY ORIGINAL
BUSINESS TAX RECEIPT

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(772) 288-5604

LICENSE 2001-513-0001 CERT CBC05605
PHONE (561) 225-7010 SIC NO 233210
LOCATION: 9967 DR VENTURA SW PC

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR. \$ _____	LIC. FEE \$ _____
\$ _____	PENALTY \$ _____
\$ _____	COL. FEE \$ _____
\$ _____	TRANSFER \$ _____
TOTAL _____	.00



GLEN
HOMES, INC.

FL 34995

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF BUILDING CONTRACTOR
AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

03

DAY OF

AUGUST

07

20

2006 03510 0001

26.25 PAID



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

WINDOW/DOOR REPLACEMENT CHECKLIST AND SCHEDULE

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

Please make sure you have ALL required copies before submitting permit application

- 1 Copy Completed Permit Application
- 2 Copies Window/Door Schedule
- 2 Copies Manufacturer's Product Approval and Specifications
- 2 Copies Floor Plan Sketch – Show location & ID number of each window/door.
Must match window/door schedule.

*PLEASE NOTE: At least one (1) exterior window or door must comply with the 2004 F.B.C. R310.4 as a single means of escape.

ALL NEW WINDOWS AND/OR DOORS WITH GLAZING MUST HAVE IMPACT PROTECTION (SHUTTERS OR IMPACT GLASS). IF SHUTTERS ARE USED, A SEPARATE SHUTTER PERMIT MUST BE ISSUED PRIOR TO FINAL INSPECTION OF THE WINDOW/DOOR REPLACEMENT PERMIT.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

WINDOW/DOOR SCHEDULE

ID NO	APPOX OPENING SIZE (WXH)	DESIGNATION	* TYPE	IMPACT PROTECTION		REMARKS
				IMPACT GLASS	SHUTTER	
	37" X 63"	25	SH		X	EXAMPLE
1	37 X 38	23	SH		X	
2	37 X 63	25	SH		X	
3	37 X 63	25	SH		X	
4	74 X 50	0 24	SH		X	
5	37 X 26	22	SH		X	
6	74 X 38	0-23	SH		X	
7	74 X 50	0 24	SH		X	
8	74 X 50	24	SH		X	
9	74 X 50	24	SH		X	
10						
11						
12						
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30						

FILE COPY
 TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE 10-7-07
 [Signature]
 BUILDING OFFICIAL

TOTAL GLAZED OPENING AREA FOR STRUCTURE: 325 S.F.

* PERCENTAGE OF NEW GLAZED AREA: 40 %
 (TOTAL INSTALLED GLAZED AREA DIVIDED BY TOTAL GLAZED OPENINGS FOR STRUCTURE)

NOTE: The replacement of more than 25% of the aggregate area of exterior glazing (windows & doors) in one & two family dwellings within a 12 month period will require impact protection on all proposed glazed opening replacement (approved shutters or impact resistant glazing) as per 2004 FBC/ EXISTING BUILDING 507.3.

* TYPE WINDOWS

SH - SINGLE HUNG
 DH - DOUBLE HUNG

AWN - AWNING
 CAS - CASEMENT

SL - SLIDING
 FIX - FIXED



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

**PGT Industries
P.O. Box 1529
Nokomis, FL 34274**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: Series "SH-4000" Aluminum Single Hung Window

APPROVAL DOCUMENT: Drawing No. 2736, titled "Alum. Single Hung Window W/ STD. MTG. Rail", sheets 1 through 7 of 7, prepared, signed and sealed by Robert L. Clark, P.E., dated 12/15/04 with revision "F", on 09/20/06, bearing the Miami-Dade County Product Control Renewal Stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: None

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 05-0104.05 and, consists of this page 1 and evidence page E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by **Jaime D. Gascon, P.E.**



J. Gascon
10/20/06

NOA No 06-0706.04
Expiration Date: September 30, 2011
Approval Date: October 19, 2006
Page 1

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

A. DRAWINGS

1. Manufacturer's die drawings and sections.
2. Drawing No 2736, titled "Series "Alum. Single Hung Window W/STD. MTG. Rail" Sheets 1 through 9 of 9, prepared by the manufacture dated 12/15/04 with revision "D", on 12/15/04, signed and sealed by Robert L. Clark, P.E.

B. TESTS

1. Test reports on 1) Uniform Static Air Pressure Test, Loading per FBC, TAS 202-94 along with marked-up drawings and installation diagram of aluminum single hung window, prepared by Fenestration Testing Laboratory, Inc., Test Report No. FTL-3654 signed and sealed by Joseph C. Chan, P.E.
"Submitted under NOA # 058-0104.05"
2. Test reports on 1) Air Infiltration Test, per FBC, TAS 202-94
2) Uniform Static Air Pressure Test, Loading per FBC, TAS 202-94
3) Water Resistance Test, per FBC, TAS 202-94
4) Forced Entry Test, per FBC 2411.3.2.1 (b) and TAS 202-94
along with marked-up drawings and installation diagram of aluminum single hung windows, prepared by Fenestration Testing Laboratory, Inc., Test Report No. FTL-2959, 2960, 2961, 2962, 2963 and 2964 dated various, signed and sealed by Antonio Acevedo, P.E. "Submitted under NOA # 058-0104.05"
3. Test reports on 1) Air Infiltration Test, per FBC, TAS 202-94
2) Uniform Static Air Pressure Test, Loading per FBC, TAS 202-94
3) Water Resistance Test, per FBC, TAS 202-94
4) Forced Entry Test, per FBC 2411.3.2.1 (b) and TAS 202-94
along with marked-up drawings and installation diagram of aluminum single hung windows, prepared by Fenestration Testing Laboratory, Inc., Test Report No. FTL-4179 dated April 07, 2004, signed and sealed by Edmundo J. Largaespada, P.E.
"Submitted under NOA # 058-0104.05"
4. Test reports on 1) Air Infiltration Test, per FBC, TAS 202-94
2) Uniform Static Air Pressure Test, Loading per FBC, TAS 202-94
3) Water Resistance Test, per FBC, TAS 202-94
4) Forced Entry Test, per FBC 2411.3.2.1 (b) and TAS 202-94
along with marked-up drawings and installation diagram of aluminum single hung windows, prepared by Fenestration Testing Laboratory, Inc., Test Report No. FTL-4379 dated 11/04/04, signed and sealed by Edmundo J. Largaespada, P.E.


Jaime D. Gascon, P.E.
Chief, Product Control Division

NOA No 06-0706.04

Expiration Date: September 30, 2011

Approval Date: October 19, 2006

PGT Industries

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

C. CALCULATIONS

1. Revised Anchor Calculations, ASTM-E 1300-02, and structural analysis, prepared by PGT Industries, dated 09/20/06, signed and sealed by Robert L. Clark, P.E.

D. QUALITY ASSURANCE

1. Miami Dade Building Code Compliance Office (BCCO).

E. MATERIAL CERTIFICATIONS


1. None.

F. STATEMENTS

1. Statement letter of conformance and no financial, dated May 11, 2001, signed by Robert L. Clark, P.E.
"Submitted under NOA # 04-0714.06"
2. Laboratory compliance statement as part of test reports for Test Report no. FTL-2959, 2960, 2961, 2962, 2963 and 2964, issued by Fenestration Testing Laboratory, Inc., signed and sealed by signed and sealed by Antonio Acevedo, P.E.
"Submitted under NOA # 04-0714.06"

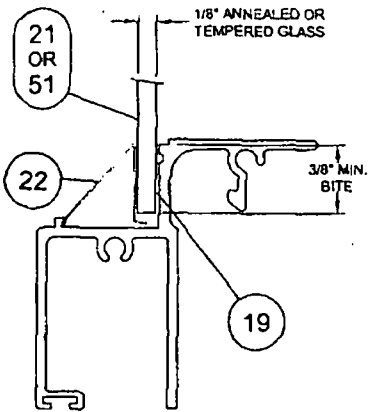
G. OTHER

1. Letter from the consultant stating that the product is in compliance with the Florida Building Code (FBC).
2. Notice of Acceptance No. 05-0104.05, issued to PGT Industries, Series SH-4000 Aluminum Single Hung Window, approved on 03/24/05, and expiring on 09/30/06.

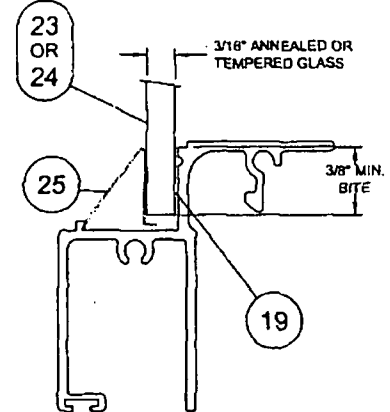


Jaime D. Gascon, P.E.
Chief, Product Control Division
NOA No 06-0706.04

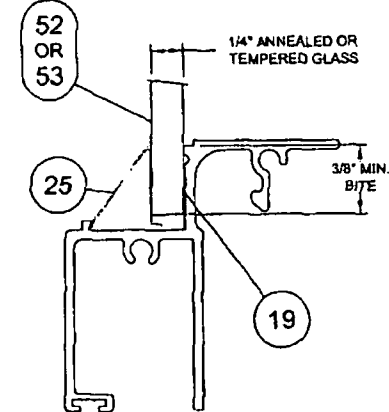
Expiration Date: September 30, 2011
Approval Date: October 19, 2006



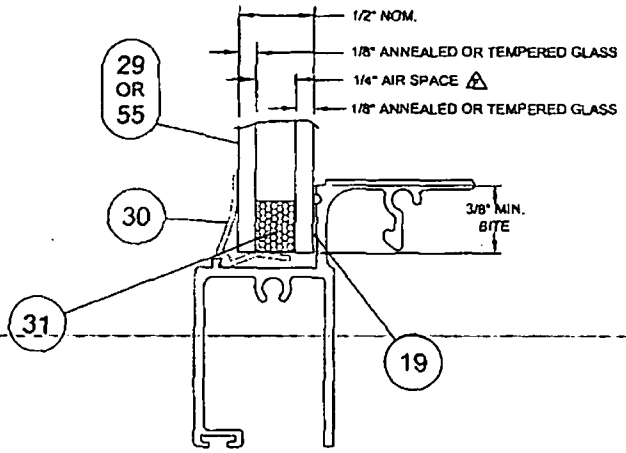
1/8" GLAZING DETAIL
(ORIGINAL DESIGN)



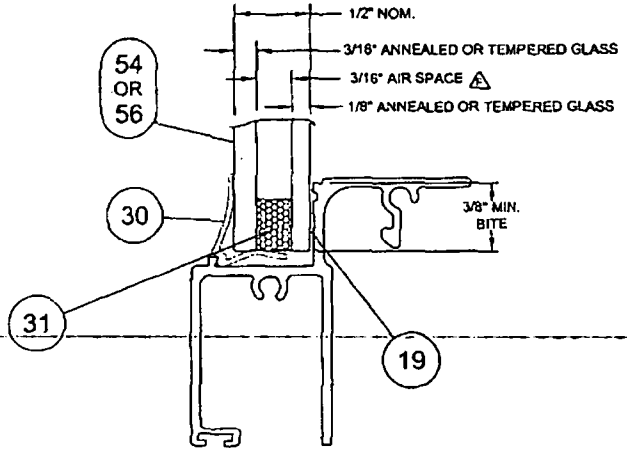
3/16" GLAZING DETAIL
(ORIGINAL DESIGN)



1/4" GLAZING DETAIL
(ORIGINAL DESIGN)



1/2" I.G. GLAZING DETAIL
(ORIGINAL DESIGN)



1/2" I.G. GLAZING DETAIL
(ORIGINAL DESIGN)

PRODUCT REVIEWED
in compliance with the Florida
Building Code
Acceptance No. 06-0706-04
Expiration Date 12/18/11
By: [Signature]
Aluminum Products Control
Division

[Signature]
4/20/06
Robert L. Clark, P.E.
PE #38712
Structural

Revised by: F.K.	Date: 03/20/08	Revision: F	ADD AIR SPACE DIM. TO I.G. GLASS DETAILS & ITEMS 55 & 56.
Revised by: J.J.	Date: 03/05/05	Revision: E	ADD TEMPERED OPTION TO I.G. GLAZING DETAILS. ADDED I.G. GLAZING DETAILS & REMOVED ALT. ONES.
Revised by: F.K.	Date: 12/15/04	Revision: D	REDRAWN ORIG. AND ADDED ALT. GLAZING DETAILS.
Drawn by: F.K.	Date: 12/15/04	Checked by: J.J.	Date: 5/26/08

1670 TECHNOLOGY DRIVE
NOKOMIS, FL 34775
P.O. BOX 1529
NOKOMIS, FL 34274



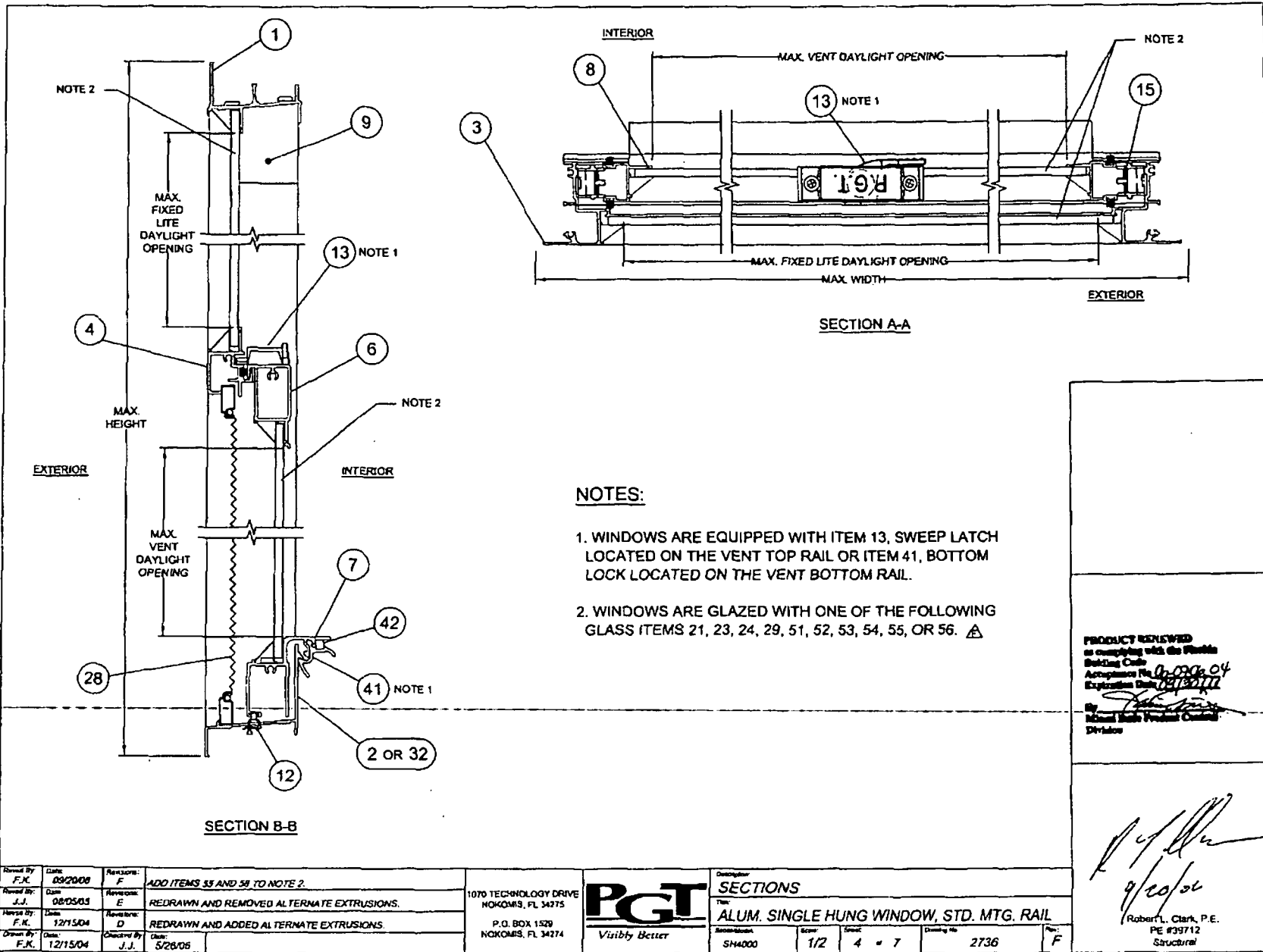
Description: GLAZING DETAILS			
Title: ALUM. SINGLE HUNG WINDOW, STD. MTG. RAIL			
Manufacturer: SH4000	Scale: Full	Sheet: 2 of 7	Drawing No: 2736
			Rev: F

COMPARATIVE ANALYSIS:											TABLE 1.		GLASS TYPES:	
WINDOW WIDTH	GLASS TYPE	WINDOW HEIGHT												
		26"		38 3/8"		50 5/8"		63"		76"				
19 1/8"	A	+56.7	-90.0	+56.7	-90.0	+56.7	-90.0	+56.7	-71.0	+43.8	-43.8	A. 1/8" ANNEALED	FTL-2961, 2963	
	B,E,F	+56.7	-90.0	+56.7	-90.0	+56.7	-90.0	+56.7	-90.0	+58.7	-73.0	* B. 1/8" TEMPERED	FTL-2961, 2963	
	C,D,G,H,I,J	+56.7	-90.0	+56.7	-90.0	+56.7	-90.0	+56.7	-88.0	+56.7	-66.4	C. 3/16" ANNEALED	FTL-2960	
24"	A	+56.7	-90.0	+56.7	-90.0	+56.7	-90.0	+58.7	-63.6	+38.2	-38.2	* D. 1/4" ANNEALED	FTL-2960	
	B,E,F	+56.7	-90.0	+56.7	-90.0	+56.7	-90.0	+56.7	-84.9	+56.7	-63.6	E. 3/16" TEMPERED	FTL-2959, 4179, 4379	
	C,D,G,H,I,J	+56.7	-90.0	+56.7	-90.0	+56.7	-90.0	+56.7	-77.1	+56.7	-57.9	* F. 1/4" TEMPERED	FTL-2959, 4179, 4379	
26 1/2"	A	+56.7	-90.0	+58.7	-90.0	+56.7	-90.0	+58.7	-61.8	+38.3	-36.3	G. 1/2" I.G. (1/8"A, 1/4" AIR SPACE, 1/8"A)	FTL-3654	
	B,E,F	+56.7	-90.0	+56.7	-90.0	+56.7	-90.0	+56.7	-82.1	+56.7	-60.5	* H. 1/2" I.G. (3/16"A, 3/16" AIR SPACE, 1/8"A)	FTL-3654	
	C,D,G,H,I,J	+56.7	-90.0	+56.7	-90.0	+56.7	-90.0	+56.7	-74.6	+55.0	-55.0	* I. 1/2" I.G. (1/8"T, 1/4" AIR SPACE, 1/8"T)	FTL-3654	
32"	A	+56.7	-90.0	+56.7	-85.5	+56.7	-77.8	+58.7	-60.0	+33.8	-33.8	* J. 1/2" I.G. (3/16"T, 3/16" AIR SPACE, 1/8"T)	FTL-3654	
	B,E,F	+56.7	-90.0	+58.7	-90.0	+56.7	-90.0	+56.7	-80.0	+56.4	-56.4	* UPGRADE FROM GLASS TYPE TESTED		
	C,D,G,H,I,J	+56.7	-90.0	+56.7	-90.0	+56.7	-90.0	+56.7	-72.8	+51.3	-51.3			
37"	A	+56.7	-90.0	+56.7	-73.5	+56.7	-65.9	+58.7	-58.2	+33.0	-33.0			
	B,E,F	+56.7	-90.0	+56.7	-90.0	+56.7	-90.0	+56.7	-80.0	+55.0	-55.0			
	C,D,G,H,I,J	+56.7	-90.0	+56.7	-90.0	+56.7	-90.0	+58.7	-72.8	+50.0	-50.0			
40"	A	+56.7	-90.0	+56.7	-66.5	+56.7	-59.3	+48.0	-48.0	+33.0	-33.0			
	B,E,F	+56.7	-90.0	+56.7	-90.0	+56.7	-90.0	+58.7	-80.0	+55.0	-55.0			
	C,D,G,H,I,J	+56.7	-90.0	+56.7	-90.0	+56.7	-90.0	+56.7	-72.8	+50.0	-50.0			
44"	A	+56.7	-87.8	+56.7	-60.3	+51.7	-51.7	+48.0	-48.0	+33.0	-33.0			
	B,E,F	+56.7	-90.0	+56.7	-90.0	+56.7	-89.9	+56.7	-90.0	+55.0	-55.0			
	C,D,G,H,I,J	+56.7	-90.0	+56.7	-90.0	+56.7	-81.7	+56.7	-72.8	+50.0	-50.0			
48"	A	+56.7	-79.3	+56.7	-56.7	+46.3	-48.3	+42.1	-42.1	+33.0	-33.0			
	B,E,F	+56.7	-90.0	+56.7	-90.0	+56.7	-79.7	+58.7	-70.2	+55.0	-55.0			
	C,D,G,H,I,J	+56.7	-90.0	+56.7	-88.0	+56.7	-72.5	+56.7	-63.8	+50.0	-50.0			
53 1/8"	A	+56.7	-70.6	+51.2	-51.2	+39.9	-39.9	+38.3	-38.3	+33.0	-33.0			
	B,E,F	+56.7	-87.0	+56.7	-80.0	+56.7	-69.6	+56.7	-60.6	+55.0	-55.0			
	C,D,G,H,I,J	+56.7	-87.0	+56.7	-77.6	+56.7	-63.3	+55.1	-55.1	+50.0	-50.0			

PRODUCT REVIEWED
 as complying with the Florida
 Building Code
 Approval No. 06-07-06-04
 Expiration Date 12/31/11
 By: [Signature]
 Robert L. Clark, P.E.
 Structural Product Control
 Division


[Signature]
 4/23/06
 Robert L. Clark, P.E.
 PE #39712
 Structural

Approved By: F.K. Date: 09/20/06 Revisions: F Approved: F Date: 05/23/06 Revisions: E Approved By: F.K. Date: 12/15/04 Revisions: D Checked By: J.J. Date: 5/28/06	ADD AIR SPACE DIM. TO I.G. GLASS RECIPES. UPGRADE TABLE DESIGN PRESSURES PER ASTM E 1300-02. ADD GLASS TYPES I & J (TEMPERED I.G. OPTIONS) REDUCE MAX. NEGATIVE DP FROM -110 TO -90 PSF REDRAWN AND COMBINED DP TABLES, ADDED GLASS TYPES B, D, F & H UPGRADES	1070 TECHNOLOGY DRIVE NOKOMIS, FL 34275 P.O. BOX 1529 NOKOMIS, FL 34274	PGT Vibbly Better	DESIGN PRESSURES ALUM. SINGLE HUNG WINDOW, STD. MTG. RAIL	Drawing No: 2736 Scale: 3 = 7 Date: 4/23/06	Revision: F
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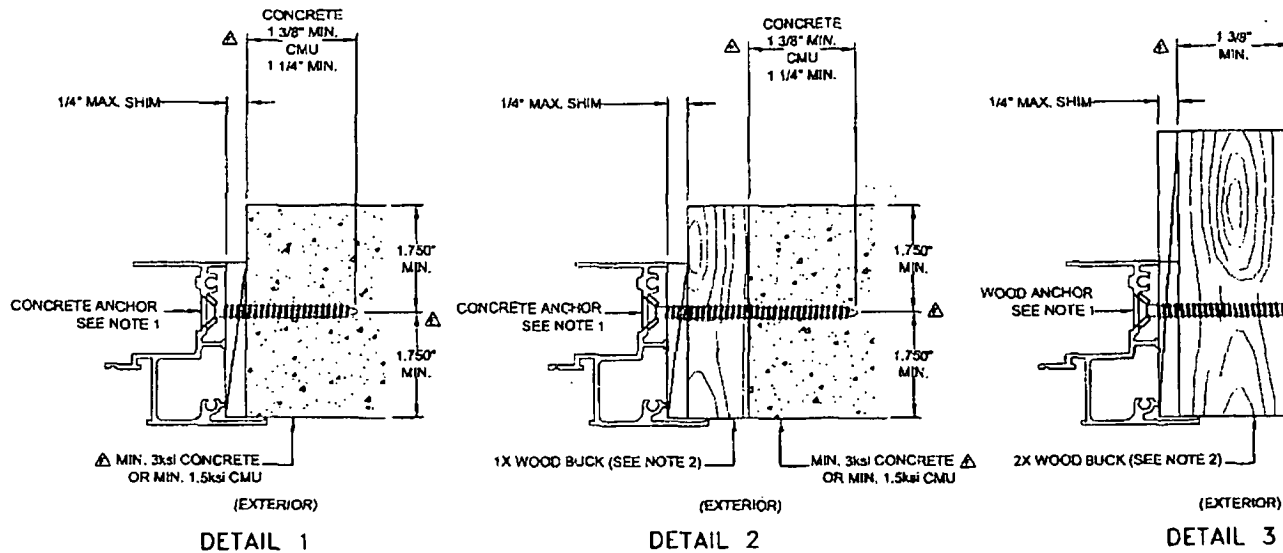


- NOTES:**
1. WINDOWS ARE EQUIPPED WITH ITEM 13, SWEEP LATCH LOCATED ON THE VENT TOP RAIL OR ITEM 41, BOTTOM LOCK LOCATED ON THE VENT BOTTOM RAIL.
 2. WINDOWS ARE GLAZED WITH ONE OF THE FOLLOWING GLASS ITEMS 21, 23, 24, 29, 51, 52, 53, 54, 55, OR 56. ▲

PRODUCT REVIEWED
 as complying with the Florida
 Building Code
 Acceptance No. 0-000-04
 Expiration Date 08/30/11
 By [Signature]
 Robert L. Clark, P.E.
 Structural

Revised By: F.K.	Date: 09/20/06	Revisions: F	ADD ITEMS 53 AND 58 TO NOTE 2.	1070 TECHNOLOGY DRIVE NOKOMIS, FL 34275 P.O. BOX 1529 NOKOMIS, FL 34274	 Visibly Better	Description: SECTIONS Alum. SINGLE HUNG WINDOW, STD. MTG. RAIL				
Revised By: J.J.	Date: 08/05/03	Revisions: E	REDRAWN AND REMOVED ALTERNATE EXTRUSIONS.			Revision: SH4000	Scale: 1/2	Sheet: 4 of 7	Drawing No: 2736	Rev: F
Revised By: F.K.	Date: 12/15/04	Revisions: D	REDRAWN AND ADDED ALTERNATE EXTRUSIONS.							
Drawn By: F.K.	Date: 12/15/04	Checked By: J.J.	Date: 5/26/06							

[Signature]
 Robert L. Clark, P.E.
 PE #39712
 Structural



TYPICAL JAMB ANCHORAGE

NOTES:

- MIAMI-DADE COUNTY APPROVED ANCHOR TYPES: 1. ELCO 1/4" TAPCON 2. ELCO 1/4" SS4 CRETE-FLEX MASONRY SCREWS 3. #12 SCREW
 Δ FOR CONCRETE APPLICATIONS IN MIAMI-DADE COUNTY, USE ONLY ABOVE APPROVED 1/4" TAPCONS OR SS4 CRETE-FLEX. MINIMUM DISTANCE FROM ANCHOR TO CONCRETE EDGE IS 1.750". FOR WOOD APPLICATIONS USE #12 STEEL, G5 SCREWS OR 1/4" ELCO SS4 CRETE-FLEX ANCHORS.
- WOOD BUCKS DEPICTED IN THE SECTIONS ON THIS PAGE AS 1x ARE BUCKS WHOSE TOTAL THICKNESS IS LESS THAN 1 1/2". WOOD BUCKS DEPICTED AS 2x ARE 1 1/2" THICK OR GREATER. INSTALLATION TO THE SUBSTRATE OF WOOD BUCKS TO BE ENGINEERED BY OTHERS OR AS APPROVED BY AUTHORITY HAVING JURISDICTION.
- WOOD BUCKS LESS THAN 1 1/2" THICK ARE OPTIONAL (PRODUCT MAY BE INSTALLED DIRECTLY TO CONCRETE).
- FOR ATTACHMENT TO ALUMINUM: THE MATERIAL SHALL BE A MINIMUM STRENGTH OF 6063-T5 AND A MINIMUM OF 1/16" THICK. THE ALUMINUM STRUCTURAL MEMBER SHALL BE OF A SIZE TO PROVIDE FULL SUPPORT TO THE WINDOW JAMB SIMILAR TO THAT SHOWN IN DETAIL 3 ABOVE FOR 2x WOOD BUCKS. THE ANCHOR SHALL BE A #12 SHEET METAL SCREW WITH FULL ENGAGEMENT INTO THE ALUMINUM. IF THESE CRITERIA ARE MET THE PRESSURES AND ANCHOR QUANTITIES SHOWN IN TABLE 2, SHEET 7 FOR ANCHOR TYPES 1 AND 2 IN CONCRETE MAY BE USED.
- ANCHORS ARE NOT REQUIRED IN THE HEAD OR SILL (REF. TEST REPORTS, FTL-4253 AND FTL-4378).
- 53 1/8" WIDE x 76" HIGH UNITS TESTED TO FULL DESIGN PRESSURE AT THE FOLLOWING SPACING:
 Δ JAMBS: 9" MAX. FROM CORNERS, 6 1/2" BELOW MEETING RAIL AND 17" ABOVE THE LOWER MEETING RAIL ANCHOR. 3" MIN. ANCHOR SPACING.
- FOR INSTALLATION IN MIAMI-DADE COUNTY REFER TO DIMENSIONS OF NOTE 6 AND ANCHOR QUANTITIES PER JAMB IN TABLE 2, SHEET 7. ADDITIONAL ANCHORS, WHEN REQUIRED, TO BE EQUALLY SPACED ABOVE AND BELOW THE MEETING RAIL BETWEEN THE CORNER AND MEETING RAIL ANCHORS.
- MATERIALS, INCLUDING BUT NOT LIMITED TO STEEL SCREWS, THAT COME INTO CONTACT WITH OTHER DISSIMILAR MATERIALS SHALL MEET THE REQUIREMENTS OF FBC 2004, SECTION 2003.8.4 (SUPPLEMENT 2006).

PRODUCT RENEWED
 in compliance with the Florida
 Building Code
 Approved by *[Signature]*
 Registered Professional Engineer
[Signature]
 Structural Professional Control
 Division

[Signature]
 9/20/04
 Robert L. Clark, P.E.
 PE #39712
 Structural

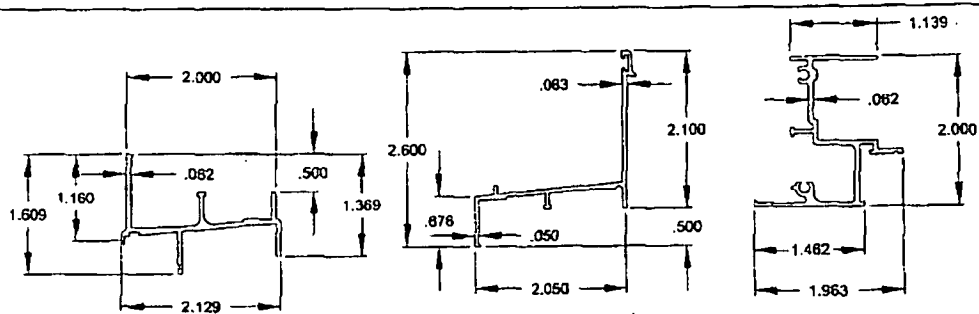
Revised By: F.K.	Date: 08/20/06	Revised: F	REVISE NOTES 1 & 8 & REMOVE NOTE 9 RE OUTSIDE MIAMI-DADE. SPECIFY CONCRETE, CMU, EDGE DISTANCE & CHG. EMBED. IN DETAILS
Revised By: J.J.	Date: 08/05/03	Revised: E	REVERSE ANCHOR SHTS. & REVISE ANCHORAGE NOTES
Revised By: F.K.	Date: 12/15/04	Revised: D	REDRAWN, UPDATED NOTES & REMOVED HEAD & SILL SECTIONS
Drawn By: F.K.	Date: 12/15/04	Checked By: J.J.	Date: 5/26/06

1070 TECHNOLOGY DRIVE
 NOKOMIS, FL 34275
 P.O. BOX 1529
 NOKOMIS, FL 34274



Description: ANCHORAGE DETAILS			
Title: ALUM. SINGLE HUNG WINDOW, STD. MTG. RAIL			
Specification: SH4000	Scale: NTS	Sheet: 6 of 7	Drawing no: 2736
			Rev: F

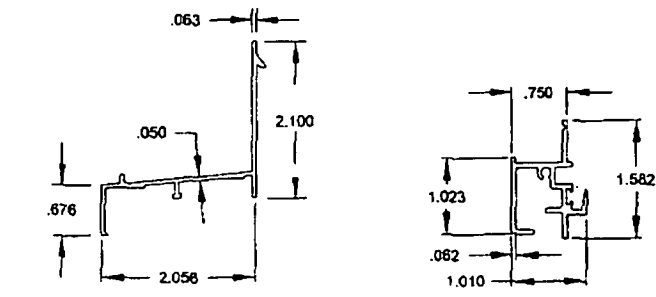
ITEM	DESCRIPTION	PGT #	VENDOR/MAT'L	DWG.#
1	FLANGED FRAME HEAD	62703	6063-T6	2703
2	FLANGED FRAME SILL	62704	6063-T6	2704
3	FLANGED FRAME JAMB	62705	6063-T6	2705
4	FIXED MEETING RAIL	6534521	6063-T6	2708
5	#8 x 1.000 QUAD PAN HEAD SMS	781PQ	SPENCER OR =	
6	VENT TOP RAIL	6534522	6063-T6	2707
7	VENT BOTTOM RAIL	6534523	6063-T6	2708
8	VENT SIDE RAIL	6534524	6063-T6	2709
9	VENT STOP	66387	6063-T6	2770
10	VENT CAM INSERT (L.H. & R.H.)	42800	NYLON 6/6	2748
11	#8 x .750 QUAD PAN HEAD SMS	7834PA	SPENCER OR =	
12	WEATHERSTRIP, VINYL BULB W/LEAF	6TP249	TEAM PLASTICS OR =	
13	SWEEP LATCH	71096	NATIONWIDE OR =	
14	#8 x .625 PHILLIPS FLAT HEAD SMS	7858	SPENCER OR =	
15	BALANCE		CALDWELL OR =	
16	WEATHERSTRIP, .187 x 270 FIN	61062	TEAM PLASTICS OR =	
17	WEATHERSTRIP, .187 x 200, FIN	67919	SCHLEGEL OR =	
18	BALANCE TAKE-OUT CLIP	7121UM	CALDWELL OR =	
19	SILICON GLAZING SEALANT	62889	DOW, GE OR =	
21	DSB 1/8" ANNEALED GLASS			
22	1/8" GLAZING BEAD	65200	FLORIDA SCREEN OR =	2718
23	3/16" ANNEALED GLASS			
24	3/16" TEMPERED GLASS			
25	3/16", 1/4" GLAZING BEAD	65198	FLORIDA SCREEN OR =	2719
26	#8 x 1.000 QUAD PAN HEAD SMS	781PQ	SPENCER OR =	
27	1' x 1 1/2" OPEN CELL FOAM PAD			
28	SCREEN ASSEMBLY			
29	1/2" I.G. GLASS (1/8" A, 1/4" AIR SPACE, 1/8" A)			
30	I.G. GLAZING BEAD	1253	TEAM PLASTICS OR =	
31	SWIGGLE			
32	FLANGED FRAME SILL	62751	6063-T6	2751
41	VENT BOTTOM RAIL LOCK	62740	6063-T6	2740
42	VENT BOTTOM RAIL LOCK SPRING	7SPRNG		
43	1" x 2" x 1/16" FOAM GASKET			
51	1/8" TEMPERED GLASS			
52	1/4" ANNEALED GLASS			
53	1/4" TEMPERED GLASS			
54	1/2" I.G. GLASS (3/16" A, 3/16" AIR SPACE, 1/8" A)			
55	1/2" I.G. GLASS (1/8" T, 1/4" AIR SPACE, 1/8" T)			
56	1/2" I.G. GLASS (3/16" T, 3/16" AIR SPACE, 1/8" T)			



1 #2703, HEAD
6063-T6

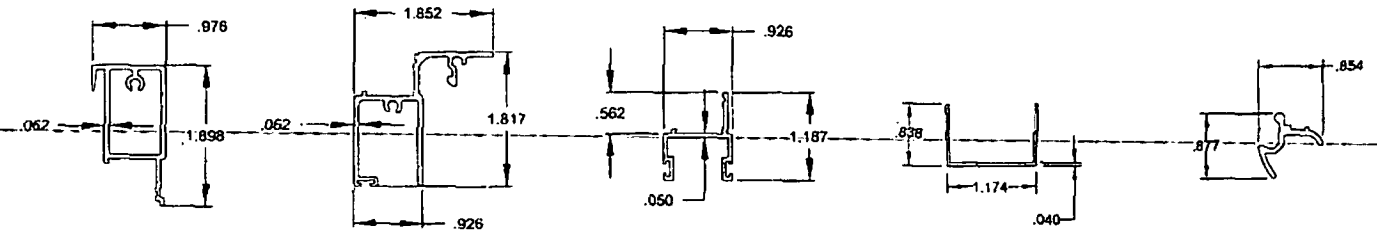
2 #2704, SILL
6063-T6

3 #2705, JAMB
6063-T6



32 #2751, ALT. SILL
6063-T6
(ALTERNATE EXTRUSION)

4 #2706, MEETING
RAIL, 6063-T6



6 #2707, VENT TOP
RAIL, 6063-T6

7 #2708, VENT BOTTOM
RAIL, 6063-T6

8 #2709, VENT SIDE
RAIL, 6063-T6

9 #2770, VENT
STOP, 6063-T6

41 #2740, BOTTOM
LOCK, 6063-T6

PRODUCT REVIEWED
as complying with the Florida
Building Code
Approval No. 06-0306-04
Expiration Date 04/30/11

By: *[Signature]*
Robert L. Clark, P.E.
Structural

Revised By: F.K.	Date: 09/20/06	Revised: F	ADD AIR SPACE DIM. TO I.G. GLASS RECIPES, ITEMS 29, 54, 55 & 56. PARTS LIST AND EXTRUSION CONSOLIDATION. ADD ITEMS 53 & 54 (TEMPER I.G. GLASS OPTIONS) DELETED 558. ADDED ITEM 9. DWG. NOS. & ALLOW. UPDATED PARTS LIST W/ DWG NOS. & VENDORS.	1070 TECHNOLOGY DRIVE NOKOMIS, FL 32175 P.O. BOX 1528 NOKOMIS, FL 32174
Revised By: J.J.	Date: 08/05/03	Revised: E		
Revised By: F.K.	Date: 12/15/04	Revised: D		
Drawn By: F.K.	Date: 12/15/04	Checked By: J.J.		

PGT
Visibly Better

PARTS LIST AND EXTRUSIONS
ALUM. SINGLE HUNG WINDOW, STD. MTG. RAIL

Sheet No: 544000	Room: Hall	Floor: 5	Unit: 7	Drawing No: 2736	Rev: F
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[Signature]
9/28/06
Robert L. Clark, P.E.
PE #38712
Structural

QUANTITY OF ANCHORS REQUIRED EACH JAMB **TABLE 2.**

ANCHOR/SUBSTRATE		WINDOW HEIGHT														
WINDOW WIDTH	GLASS TYPE	26"			38 3/8"			50 5/8"			63"			76"		
		3/W	2/W	1,2/C	3/W	2/W	1,2/C	3/W	2/W	1,2/C	3/W	2/W	1,2/C	3/W	2/W	1,2/C
19 1/8"	A	4	4	4	4	4	4	4	4	6	4	4	6	4	4	4
	B,E,F	4	4	4	4	4	4	4	4	6	6	6	6	6	6	6
	C,D,G,H,I,J	4	4	4	4	4	4	4	4	6	6	6	6	6	6	6
24"	A	4	4	4	4	4	4	6	4	6	4	4	6	4	4	4
	B,E,F	4	4	4	4	4	4	6	4	6	6	6	6	6	6	6
	C,D,G,H,I,J	4	4	4	4	4	4	6	4	6	6	6	6	6	6	6
26 1/2"	A	4	4	4	4	4	4	6	6	6	6	4	6	4	4	4
	B,E,F	4	4	4	4	4	4	6	6	6	6	6	6	6	6	6
	C,D,G,H,I,J	4	4	4	4	4	4	6	6	6	6	6	6	6	6	6
32"	A	4	4	4	4	4	6	6	6	6	6	6	6	4	4	4
	B,E,F	4	4	4	4	4	6	6	6	6	6	6	6	6	6	6
	C,D,G,H,I,J	4	4	4	4	4	6	6	6	6	6	6	6	6	6	6
37"	A	4	4	4	4	4	4	6	4	6	6	6	6	4	4	6
	B,E,F	4	4	4	6	4	6	6	6	6	6	6	6	6	6	6
	C,D,G,H,I,J	4	4	4	6	4	6	6	6	6	6	6	6	6	6	6
40"	A	4	4	4	4	4	4	6	4	6	6	6	6	4	4	6
	B,E,F	4	4	4	6	6	6	6	6	6	6	6	6	6	6	6
	C,D,G,H,I,J	4	4	4	6	6	6	6	6	6	6	6	6	6	6	6
44"	A	4	4	4	4	4	4	4	4	6	6	6	6	6	4	6
	B,E,F	4	4	4	6	6	6	6	6	6	6	6	10	6	6	6
	C,D,G,H,I,J	4	4	4	6	6	6	6	6	6	6	6	6	6	6	6
48"	A	4	4	4	4	4	4	4	4	6	6	6	6	6	6	6
	B,E,F	4	4	4	6	6	6	6	6	6	6	6	10	6	6	6
	C,D,G,H,I,J	4	4	4	6	6	6	6	6	6	6	6	6	6	6	6
53 1/8"	A	4	4	4	4	4	4	4	4	4	4	4	6	6	6	6
	B,E,F	4	4	4	6	6	6	6	6	6	6	6	6	6	6	10
	C,D,G,H,I,J	4	4	4	6	6	6	6	6	6	6	6	6	6	6	6

ANCHOR TYPE/SUBSTRATE KEY

3/W = #12 SCREW IN WOOD
 2/W = 1/4" SS4 CRETE-FLEX IN WOOD Δ
 1,2/C = 1/4" TAPCON OR 1/4" SS4 CRETE-FLEX IN CONCRETE
 (SEE APPLICATION NOTES AND DETAILS ON SHEET 6)
 NOTE: ANCHORS NOT REQUIRED IN HEAD OR SILL

GLASS TYPE KEY

A. 1/8" ANNEALED
 B. 1/8" TEMPERED
 C. 3/16" ANNEALED
 D. 1/4" ANNEALED
 E. 3/16" TEMPERED
 F. 1/4" TEMPERED
 G. 1/2" I.G. (1/8"A, 1/4" AIR SPACE, 1/8"A) Δ
 H. 1/2" I.G. (3/16"A, 3/16" AIR SPACE, 1/8"A)
 I. 1/2" I.G. (1/8" T, 1/4" AIR SPACE, 1/8" T)
 J. 1/2" I.G. (3/16" T, 3/16" AIR SPACE, 1/8" T)

PRODUCT REVIEWED
 as complying with the Florida
 Building Code
 Acceptance No. 04-0706-04
 Expiration Date 04/2011
 By: *[Signature]*
 Michael R. ...
 Division

[Signature]
 9/20/06
 Robert L. Clark, P.E.
 PE #39712
 Structural

Revised By: F.K.	Date: 09/20/06	Revisions: F	ADD AIR SPACE DIM. TO I.G. GLASS RECIPE. REVISE TABLE ANCHOR QUANTITIES PER NEW ANCHOR CALCS.
Revised By: F.K.	Date: 05/25/08	Revisions: E	REVISE AND UPDATE ANCHORAGE FORMAT
Revised By: F.K.	Date: 12/15/04	Revisions: D	NEW SHEET FOR ANCHOR SPACING
Drawn By: F.K.	Date: 12/15/04	Checked By: J.J.	Date: 3/26/06

1070 TECHNOLOGY DRIVE
 NOKOMIS, FL 34275
 P.O. BOX 1520
 NOKOMIS, FL 34274



Description: ANCHORAGE SPACING, 1/1 WINDOWS			
Title: ALUM. SINGLE HUNG WINDOW, STD. MTG. RAIL			
Anchor: SH4000	Scale: NTS	Sheet: 7 of 7	Counting as: 2736
			Rev: F



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

PGT Industries
1070 Technology Drive
Nokomis, FL 34274

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Series HR-201 Aluminum Horizontal Sliding Window with Heavy Duty Meeting Rail

APPROVAL DOCUMENT: Drawing No. 268-2, titled "Alum. Horiz. Roller (HD. MTG. RAIL)", sheets 1 through 12, prepared, signed and sealed by Robert Clark, P.E. on 04/03/07, bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: None

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 02-0313.09 and consists of this page 1, evidence page E1, as well as approval documents mentioned above.

The submitted documentation was reviewed by Mohammed Iqbal Shaikh, P.E.



mx
04/12/07

NOA No. 07-0214.16
Expiration Date: June 27, 2012
Approval Date: May 03, 2007
Page 1

PGT Industries

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

A. DRAWINGS

1. Manufacturer's die drawings and sections.
2. Drawing No 268-2, titled "Alum. Horiz. Roller (HD. MTG. Rail)", sheets 1 through 12, dated 02/09/07 with revision D dated 04/03/07, prepared by PGT Industries Inc., signed and sealed by Robert Clark, P.E. on 04/03/07.

B. TESTS

1. Test reports on
 - 1) Air Infiltration Test,
 - 2) Uniform Static Air Pressure Test- Loading
 - 3) Water Resistance Test
 - 4) Forced Entry Test

along with marked-up drawings and installation diagram of an aluminum horizontal sliding window, prepared by Fenestration Testing Laboratory, Test Report No. FTL 3327, 3328, 3329, 3330, 3331, 3332, 3333 and 3334 dated January 22, 2002 and 4692 dated 08/30/05 per PA 202 and TAS 202, signed and sealed by Luis Figaredo, P.E.

C. CALCULATIONS

1. Anchor Calculations and structural analysis, 29 pages prepared by PGT Industries, dated 02/09/07 and 29 pages dated 04/04/07 signed and sealed by Robert Clark, P.E.

D. MATERIAL CERTIFICATIONS

None

E. STATEMENTS

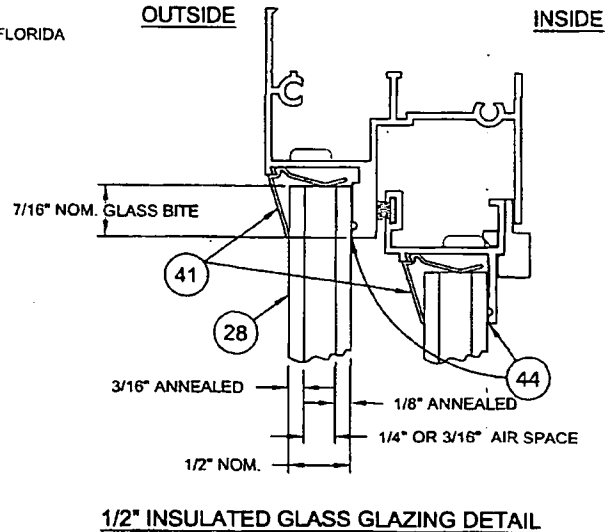
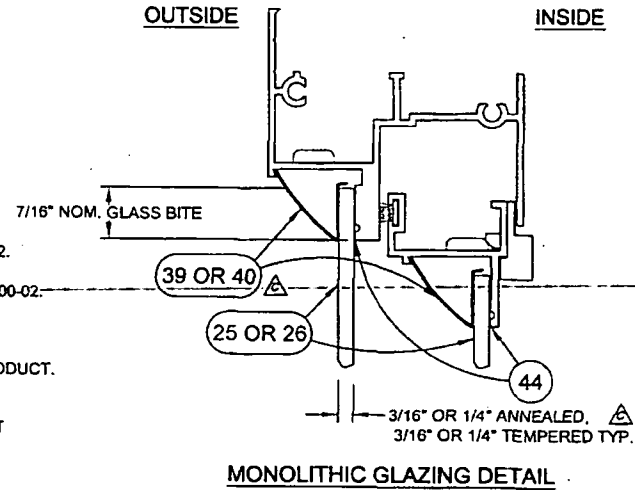
1. Statement letter of no financial interest, dated 02/09/07, signed and sealed by Robert Clark, P.E.
2. Statement letter of the code compliance, dated 02/09/07, signed and sealed by Robert Clark, P.E.



Mohammed Iqbal Shaikh, P.E.
Sr. Building Code Compliance Specialist
NOA No. 07-0214.16
Expiration Date: June 27, 2012
Approval Date: May 03, 2007

GENERAL NOTES: NON-IMPACT HORIZONTAL ROLLER WINDOW

1. GLAZING OPTIONS:
 - B. 3/16" OR 1/4" ANNEALED
 - C. 3/16" OR 1/4" TEMPERED
 - E. 1/2" I.G., 3/16" ANNEALED OUTBOARD, 3/16" AIR SPACE, 1/8" ANNEALED INBOARD
2. CONFIGURATIONS: OX, XO, XOX
3. DESIGN PRESSURES: (SEE TABLES, SHEETS 3 THROUGH 5)
 - A. NEGATIVE DESIGN LOADS BASED ON TESTED PRESSURE AND GLASS TABLES ASTM E 1300-02.
 - B. POSITIVE DESIGN LOADS BASED ON WATER TEST PRESSURE AND GLASS TABLES ASTM E 1300-02.
 - C. DESIGN PRESSURES UNDER 40 PSF ARE NOT APPLICABLE IN MIAMI-DADE COUNTY.
4. ANCHORAGE: THE 33 1/3% STRESS INCREASE HAS NOT BEEN USED IN THE DESIGN OF THIS PRODUCT. SEE SHEETS 9 THROUGH 12 FOR ANCHORAGE DETAILS.
5. MIAMI-DADE COUNTY APPROVED SHUTTERS ARE REQUIRED IN MIAMI-DADE AND WHERE IMPACT RESISTANCE IS REQUIRED.
6. FRAME AND PANEL CORNERS SEALED WITH NARROW JOINT SEALANT OR GASKET.
7. REFERENCES: TEST REPORTS FTL-3327, 3328, 3329, 3330, 3331, 3332, 3333, 3334 AND 4692.
 ELCO TEXTRON NOA: 04-0721.01, 03-0225.05
 ANSI/AF&PA NDS-2001 FOR WOOD CONSTRUCTION
 ADM-2000 ALUMINUM DESIGN MANUAL
8. THIS PRODUCT HAS BEEN DESIGNED & TESTED TO COMPLY WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE, CURRENT EDITION INCLUDING THE HIGH VELOCITY HURRICANE ZONE (HVHZ).



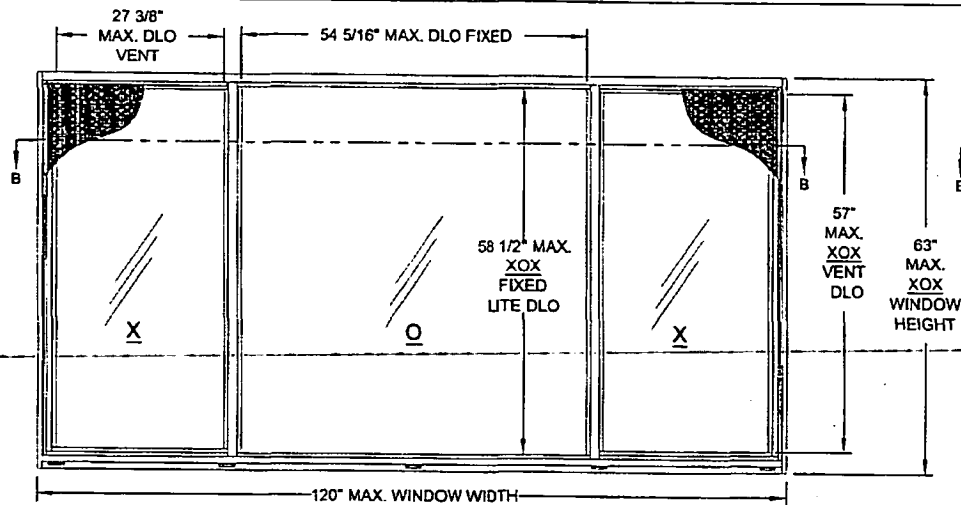
NOA DRAWING MAP

SHEET	
GENERAL NOTES.....	1
GLAZING DETAILS.....	1
ELEVATIONS.....	2
DESIGN PRESSURES.....	3-5
VERT. SECTIONS.....	6
HORIZ. SECTIONS.....	6
PARTS LIST.....	7
EXTRUSIONS.....	7, 8
CORNER DETAIL.....	8
ANCHORAGE.....	9-12

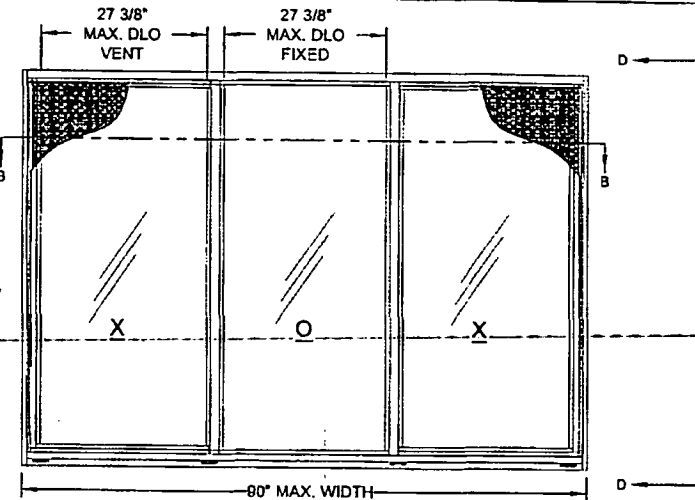
Approved as shown by the Florida Building Code
 Date: 05/03/07
 NOA: 07-0214-11
 Division: Structural
 By: M. Thair

Robert L. Clark
 4/3/07
 Robert L. Clark, P.E.
 PE #39712
 Structural

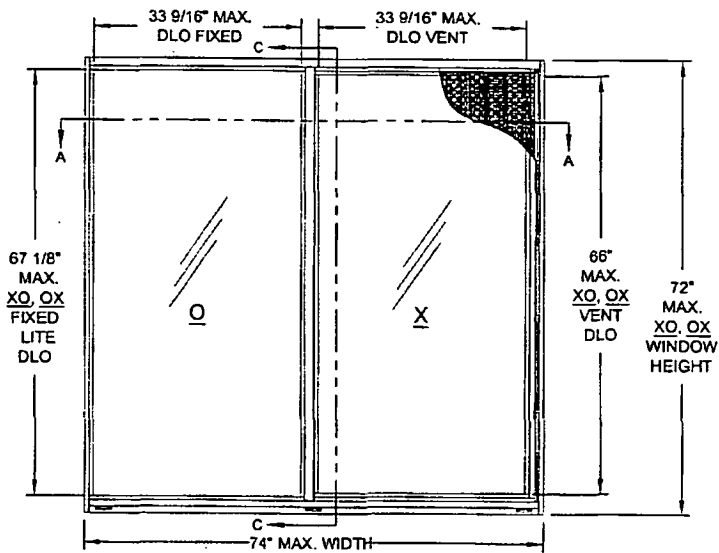
<table border="1"> <tr> <td>Revised By:</td> <td>Date:</td> <td>Revisions:</td> <td>NO CHANGE THIS SHEET</td> </tr> <tr> <td>F.K.</td> <td>4/3/07</td> <td>D</td> <td></td> </tr> <tr> <td>Revised By:</td> <td>Date:</td> <td>Revisions:</td> <td>REDRAW & UPDATE PER FBC, CURRENT EDITION, ADD 1/4" MONO. TEST REPORT FTL-4892 (DOW INSTANT GLAZE II).</td> </tr> <tr> <td>F.K.</td> <td>1/31/07</td> <td>C</td> <td></td> </tr> <tr> <td>Revised By:</td> <td>Date:</td> <td>Revisions:</td> <td>UPDATE ANCHORAGE - NOT SUBMITTED</td> </tr> <tr> <td>F.K.</td> <td>9/11/02</td> <td>B</td> <td></td> </tr> <tr> <td>Drawn By:</td> <td>Date:</td> <td>Checked By:</td> <td>Date:</td> </tr> <tr> <td>F.K.</td> <td>1/23/02</td> <td>J.J.</td> <td>02/09/07</td> </tr> </table>	Revised By:	Date:	Revisions:	NO CHANGE THIS SHEET	F.K.	4/3/07	D		Revised By:	Date:	Revisions:	REDRAW & UPDATE PER FBC, CURRENT EDITION, ADD 1/4" MONO. TEST REPORT FTL-4892 (DOW INSTANT GLAZE II).	F.K.	1/31/07	C		Revised By:	Date:	Revisions:	UPDATE ANCHORAGE - NOT SUBMITTED	F.K.	9/11/02	B		Drawn By:	Date:	Checked By:	Date:	F.K.	1/23/02	J.J.	02/09/07	1070 TECHNOLOGY DRIVE NOKOMIS, FL 34275 P.O. BOX 1529 NOKOMIS, FL 34274		Description: GENERAL NOTES & GLAZING DETAILS, HD Title: ALUM. HORIZ. ROLLER WINDOW (HD MTG. RAIL) Order/Model: HR201	Room: NTS	Sheet: 1 of 12	Drawing No. 268-2	Rev: D
Revised By:	Date:	Revisions:	NO CHANGE THIS SHEET																																				
F.K.	4/3/07	D																																					
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Drawn By:	Date:	Checked By:	Date:																																				
F.K.	1/23/02	J.J.	02/09/07																																				



DETAIL B - XOX (1/4-1/2-1/4)



DETAIL C - XOX (1/3-1/3-1/3)



DETAIL A - OX OR XO

NOTES:

1. SEE SHEET 8 FOR VERTICAL AND HORIZONTAL SECTION DETAILS.
2. SEE SHEETS 9 THROUGH 12 FOR ANCHORAGE.
3. SEE SHEET 8 FOR CORNER CONSTRUCTION.

05/03/07
 07-02-14-16
 Division
 By: *M. What*

Robert L. Clark
 4/3/07
 Robert L. Clark, P.E.
 PE #39712
 Structural

Revised By: F.J.K.	Date: 4/3/07	Revisions: D	NO CHANGE THIS SHEET
Revised By: F.J.K.	Date: 1/31/07	Revisions: C	REDRAW AND CONSOLIDATE ELEVATIONS
Revised By: F.J.K.	Date: 9/11/02	Revisions: B	UPDATE ANCHORAGE - NOT SUBMITTED
Drawn By: F.J.K.	Date: 1/23/02	Checked By: J.J.	Date: 02/09/07

1070 TECHNOLOGY DRIVE
 NOKOMIS, FL 34275
 P.O. BOX 1529
 NOKOMIS, FL 34274



Description: ELEVATIONS
 Title: ALUM. HORIZ. ROLLER WINDOW (HD MTG. RAIL)

Revised By: HR201	Date: NTS	Sheet: 2 - 12	Drawing No: 268-2	Rev: D
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DESIGN PRESSURES, XO AND OX WINDOWS

TABLE 1

GLASS TYPE: B. 3/16" OR 1/4" ANNEALED (FTL-3331,3334) E. 1/2" I.G. - 3/16A,3/16"S.1/8A (FTL-3332)
 C. 3/16" OR 1/4" TEMPERED (FTL-3330,3333)

WINDOW WIDTH	WINDOW HEIGHT																
	26.000		38.375		44.000		50.625		54.000		63.000		66.000		72.000		
26.500	B	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0
	C	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0
	E	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0
37.000	B	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0
	C	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-82.8	+56.0	-84.8	+56.0	-76.7
	E	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-84.8	+56.0	-76.7
44.000	B	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-87.0	+56.0	-72.0	+56.0	-73.6	+56.0	-66.4
	C	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-86.4	+56.0	-73.6	+56.0	-66.4
	E	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-83.7	+56.0	-69.2	+56.0	-65.4	+56.0	-59.0
48.000	B	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-82.8	+56.0	-79.1	+56.0	-67.3	+56.0	-68.7	+56.0	-61.9
	C	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-80.7	+56.0	-68.7	+56.0	-61.9
	E	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-85.4	+56.0	-78.6	+56.0	-64.7	+56.0	-55.0
53.125	B	+56.0	-90.0	+56.0	-90.0	+56.0	-85.1	+56.0	-74.4	+56.0	-69.1	+56.0	-59.6	+56.0	-58.2	+54.3	-54.3
	C	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-74.8	+56.0	-63.6	+56.0	-57.1
	E	+56.0	-77.6	+56.0	-77.6	+56.0	-77.6	+56.0	-77.6	+56.0	-73.2	+56.0	-60.0	+56.0	-56.5	+50.8	-50.8
63.000	B	+56.0	-71.2	+56.0	-69.0	+56.0	-69.0	+56.0	-66.9	+56.0	-60.7	+50.1	-50.1	+47.9	-47.9	+42.5	-42.5
	C	+56.0	-85.4	+56.0	-82.8	+56.0	-82.8	+56.0	-82.8	+56.0	-82.0	+56.0	-66.4	+56.0	-56.3	+50.3	-50.3
	E	+56.0	-56.9	+55.2	-55.2	+55.2	-55.2	+55.2	-55.2	+55.2	-55.2	+53.2	-53.2	+50.0	-50.0	+44.7	-44.7
66.000	B	+56.0	-65.8	+56.0	-62.9	+56.0	-62.9	+56.0	-62.9	+56.0	-59.9	+49.1	-49.1	+46.6	-46.6	+41.0	-41.0
	C	+56.0	-79.0	+56.0	-75.4	+56.0	-75.4	+56.0	-75.4	+56.0	-75.4	+56.0	-64.4	+54.5	-54.5	+48.6	-48.6
	E	+52.7	-52.7	+50.3	-50.3	+50.3	-50.3	+50.3	-50.3	+50.3	-50.3	+50.3	-50.3	+50.3	-50.3	+48.5	-48.5
74.000	B	+54.8	-54.8	+50.0	-50.0	+50.0	-50.0	+50.0	-50.0	+50.0	-50.0	+45.0	-47.8	+45.0	-45.0	+45.0	-45.0
	C	+56.0	-65.8	+56.0	-60.0	+56.0	-60.0	+56.0	-60.0	+56.0	-60.0	+55.0	-60.0	+45.0	-45.0	+45.0	-45.0
	E	+43.9	-43.9	+40.0	-40.0	+40.0	-40.0	+40.0	-40.0	+40.0	-40.0	+40.0	-40.0	+40.0	-40.0	+40.0	-40.0



Approved as manufactured with the
 design pressures shown on this table
 Date: 05/23/07
 By: [Signature]
 Michael L. Clark, P.E.
 Structural

Revised By: F.K.	Date: 4/3/07	Revisions: D	CORRECT 74W X 63H GLASS TYPE B DP TO 47.8
Revised By: F.K.	Date: 1/31/07	Revisions: C	REDRAWING AND UPDATE TABLE TYPE PER ASTM E 1300-02 ADD 1/4" MONOLITHIC UPGRADES.
Revised By: F.K.	Date: 9/11/02	Revisions: B	UPDATE ANCHORAGE - NOT SUBMITTED
Drawn By: F.K.	Date: 1/23/02	Checked By: J.J.	Date: 02/09/07

1070 TECHNOLOGY DRIVE
 NOKOMIS, FL 34275
 P.O. BOX 1629
 NOKOMIS, FL 34274



Designer: DESIGN PRESSURES, XO AND OX			
Title: ALUM. HORIZ. ROLLER WINDOW (HD MTG. RAIL)			
Material: HR201	Scale: NTS	Sheet: 3 of 12	Drawing No: 268-2
			Rev: D

[Signature]
 4/26/07
 Robert L. Clark, P.E.
 PE #38712
 Structural

DESIGN PRESSURES, XOx (1/4-1/2-1/4) WINDOWS

TABLE 2.

GLASS TYPE: B. 3/16" OR 1/4" ANNEALED (FTL-3328)

E. 1/2" I.G. - 3/16A, 3/16"S, 1/8A (FTL-3329)

C. 3/16" OR 1/4" TEMPERED (FTL-3327)

WINDOW WIDTH		WINDOW HEIGHT											
		26.000		38.375		44.000		50.625		54.000		63.000	
53.125	B	+56.0	-90.0	+56.0	-90.0	+56.0	-85.8	+56.0	-75.2	+56.0	-70.2	+56.0	-60.8
	C	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-82.6
	E	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-85.4	+56.0	-79.5	+56.0	-68.9
74.000	B	+56.0	-90.0	+56.0	-82.4	+56.0	-72.8	+56.0	-62.4	+56.0	-58.2	+47.9	-47.9
	C	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-87.5	+56.0	-79.9	+56.0	-64.8
	E	+56.0	-90.0	+56.0	-90.0	+56.0	-82.6	+56.0	-70.9	+56.0	-66.0	+54.3	-54.3
84.000	B	+56.0	-90.0	+56.0	-74.2	+56.0	-67.2	+56.0	-59.1	+55.4	-55.4	+46.8	-46.8
	C	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-81.9	+56.0	-74.4	+56.0	-59.7
	E	+56.0	-90.0	+56.0	-84.2	+56.0	-76.2	+56.0	-67.2	+56.0	-62.9	+53.1	-53.1
90.000	B	+56.0	-85.6	+56.0	-69.5	+56.0	-62.9	+56.0	-56.4	+53.0	-53.0	+45.4	-45.4
	C	+56.0	-88.9	+56.0	-88.9	+56.0	-88.9	+56.0	-79.5	+56.0	-71.9	+56.0	-57.3
	E	+56.0	-80.0	+56.0	-78.8	+56.0	-71.3	+56.0	-64.3	+56.0	-60.2	+51.5	-51.5
96.000	B	+56.0	-78.1	+56.0	-65.0	+56.0	-60.0	+53.9	-53.9	+50.8	-50.8	+43.9	-43.9
	C	+56.0	-78.1	+56.0	-78.1	+56.0	-78.1	+56.0	-77.6	+56.0	-69.9	+55.2	-55.2
	E	+56.0	-70.3	+56.0	-70.3	+56.0	-68.0	+56.0	-61.4	+56.0	-57.6	+49.7	-49.7
106.375	B	+56.0	-63.7	+56.0	-57.7	+54.6	-54.6	+49.5	-49.5	+47.3	-47.3	+40.9	-40.9
	C	+56.0	-63.7	+56.0	-63.6	+56.0	-63.6	+56.0	-63.6	+56.0	-63.6	+52.5	-52.5
	E	+56.0	-57.3	+56.0	-57.3	+56.0	-57.3	+55.9	-55.9	+53.4	-53.4	+46.4	-46.4
111.000	B	+56.0	-58.7	+54.7	-54.7	+51.9	-51.9	+47.7	-47.7	+45.4	-45.4	+39.7	-39.7
	C	+56.0	-58.7	+56.0	-58.4	+56.0	-58.4	+56.0	-58.4	+56.0	-58.4	+51.5	-51.5
	E	+52.8	-52.8	+52.6	-52.6	+52.6	-52.6	+52.6	-52.6	+51.9	-51.9	+45.1	-45.1
120.000	B	+50.9	-50.9	+49.6	-49.6	+47.9	-47.9	+44.6	-44.6	+42.1	-42.1	+37.5	-37.5
	C	+50.9	-50.9	+50.0	-50.0	+50.0	-50.0	+50.0	-50.0	+50.0	-50.0	+45.0	-50.0
	E	+45.8	-45.8	+45.0	-45.0	+45.0	-45.0	+45.0	-45.0	+45.0	-45.0	+40.0	-42.5

05/03/07
 03-02/4-16
 Robert L. Clark, P.E.
 PE #39712
 Structural

Robert L. Clark
 4/3/07
 Robert L. Clark, P.E.
 PE #39712
 Structural

Revised By: F.K. Date: 4/3/07 Reason: D NO CHANGE THIS SHEET	1070 TECHNOLOGY DRIVE NOKOMIS, FL 34275 P.O. BOX 1529 NOKOMIS, FL 34274	Description: DESIGN PRESSURES, XOx (1/4-1/2-1/4) Title: ALUM. HORIZ. ROLLER WINDOW (HD MTG. RAIL)	Scale: NTS Sheet: 4 of 12 Drawing No: 268-2 Rev: D
Revised By: F.K. Date: 1/31/07 Reason: C REDRAW AND UPDATE TABLE 2 PER ASTM E 1300-02 ADD 1/4" MONOLITHIC UPGRADES.	PGT Visibly Better		
Revised By: F.K. Date: 9/11/02 Reason: B UPDATE ANCHORAGE - NOT SUBMITTED			
Drawn By: F.K. Date: 1/23/02 Checked By: J.J. Date: 02/09/07			

DESIGN PRESSURES, XOX (1/3-1/3-1/3) WINDOWS

TABLE 3.

GLASS TYPE: B. 3/16" OR 1/4" ANNEALED (FTL-3328)

E. 1/2" I.G. - 3/16A, 3/16"S, 1/8A (FTL-3329)

C. 3/16" OR 1/4" TEMPERED (FTL-3327)

WINDOW WIDTH		WINDOW HEIGHT											
		26.000		38.375		44.000		50.625		54.000		63.000	
48.000	B	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-81.8
	C	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-81.8
	E	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-88.0	+56.0	-73.6
53.125	B	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-75.1
	C	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-75.1
	E	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-87.6	+56.0	-81.1	+56.0	-67.6
60.000	B	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-88.6	+56.0	-81.8	+56.0	-67.9
	C	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-88.6	+56.0	-81.8	+56.0	-67.9
	E	+56.0	-90.0	+56.0	-90.0	+56.0	-90.0	+56.0	-79.8	+56.0	-73.6	+56.0	-61.1
74.000	B	+56.0	-74.0	+56.0	-74.0	+56.0	-74.0	+56.0	-74.0	+56.0	-70.1	+56.0	-57.6
	C	+56.0	-74.0	+56.0	-74.0	+56.0	-74.0	+56.0	-74.0	+56.0	-70.1	+56.0	-57.6
	E	+56.0	-66.6	+56.0	-66.6	+56.0	-66.6	+56.0	-66.6	+56.0	-63.0	+51.8	-51.8
84.000	B	+56.0	-57.7	+56.0	-57.4	+56.0	-57.4	+56.0	-57.4	+56.0	-57.4	+52.5	-52.5
	C	+56.0	-57.7	+56.0	-57.4	+56.0	-57.4	+56.0	-57.4	+56.0	-57.4	+52.5	-52.5
	E	+51.9	-51.9	+51.7	-51.7	+51.7	-51.7	+51.7	-51.7	+51.7	-51.7	+47.2	-47.2
90.000	B	+50.9	-50.9	+50.0	-50.0	+50.0	-50.0	+50.0	-50.0	+50.0	-50.0	+45.0	-50.0
	C	+50.9	-50.9	+50.0	-50.0	+50.0	-50.0	+50.0	-50.0	+50.0	-50.0	+45.0	-50.0
	E	+45.8	-45.8	+45.0	-45.0	+45.0	-45.0	+45.0	-45.0	+45.0	-45.0	+40.0	-45.0

05/03/07
07-0114-15
SUBMITTALS CONTROL
M. Yeates

Robert Allen
4/2/07

Revised By: F.K.	Date: 4/3/07	Revision: D	NO CHANGE THIS SHEET
Revised By: F.K.	Date: 1/31/07	Revision: C	REDRAW AND UPDATE TABLE 3 PER ASTM E 1300-02 ADD 1/4" MONOLITHIC UPGRADES.
Revised By: F.K.	Date: 9/11/02	Revision: B	UPDATE ANCHORAGE - NOT SUBMITTED
Drawn By: F.K.	Date: 1/23/02	Checked By: J.J.	Date: 02/09/07

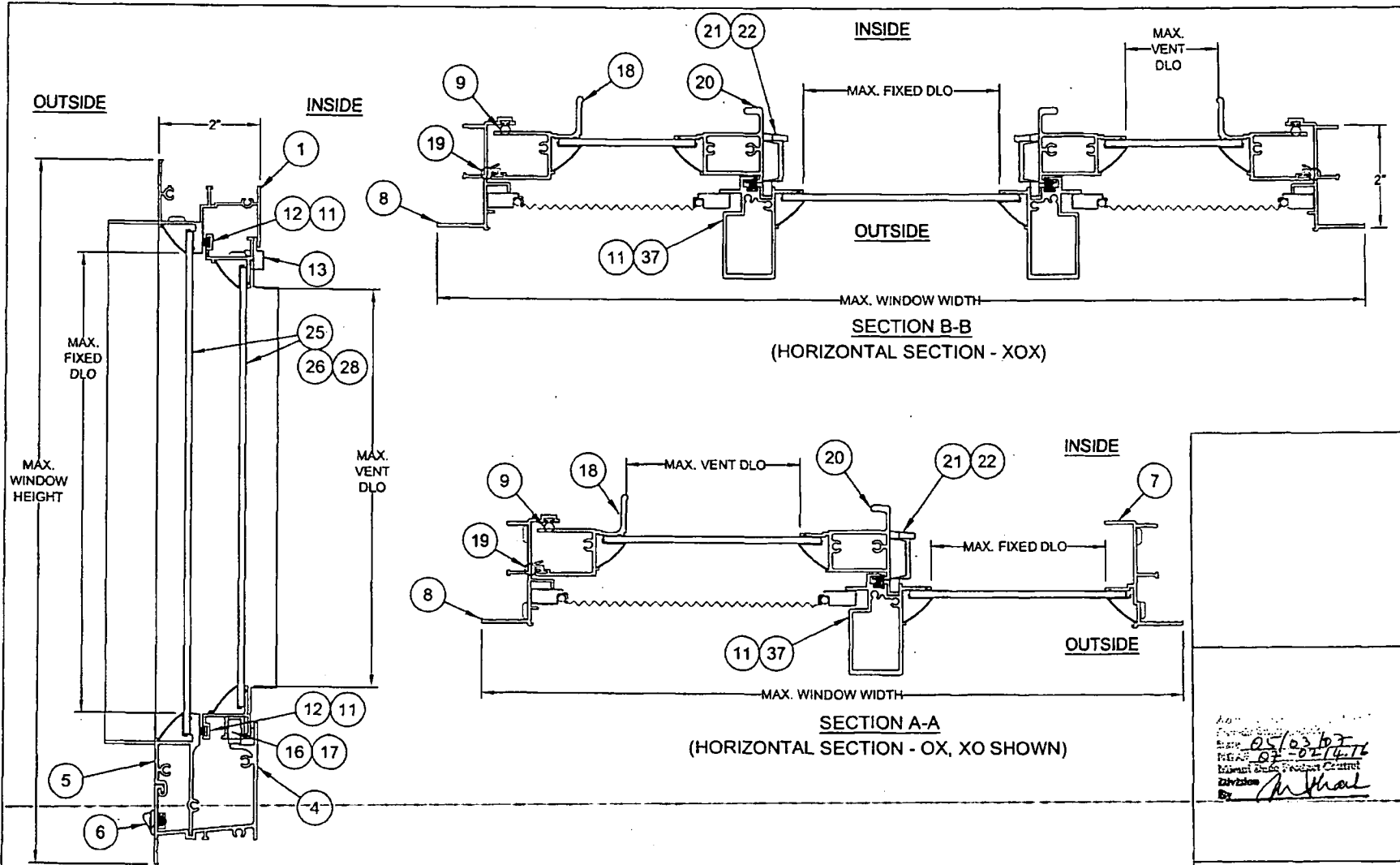
1070 TECHNOLOGY DRIVE
NOKOMIS, FL 34275
P.O. BOX 1529
NOKOMIS, FL 34274



DESCRIPTION: DESIGN PRESSURES, XOX (1/3-1/3-1/3))

TITLE: ALUM. HORIZ. ROLLER WINDOW (HD MTG. RAIL)

Standard: HR201	Scale: NTS	Sheet: 5 of 12	Drawing No.: 268-2	Rev: D
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SECTION C-C
(VERTICAL SECTION)

SECTION B-B
(HORIZONTAL SECTION - XO)

SECTION A-A
(HORIZONTAL SECTION - OX, XO SHOWN)

Scale: 0.5" = 1'-0"
 Date: 02/03/07
 Project: HD MTG. RAIL
 Division: Structural
 By: [Signature]

[Signature]
 4/3/07
 Robert L. Clark, P.E.
 PE #39712
 Structural

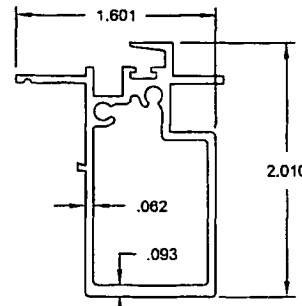
Revised By: F.K.	Date: 4/3/07	Reason: D	NO CHANGE THIS SHEET
Revised By: F.K.	Date: 1/31/07	Reason: C	CONSOLIDATE SECTIONS WITH NO CHANGES
Revised By: F.K.	Date: 9/11/02	Reason: B	NO CHANGE THIS SHEET - NOT SUBMITTED
Drawn By: F.K.	Date: 1/23/02	Checked By: J.J.	Date: 02/09/07

1070 TECHNOLOGY DRIVE
 NOKOMIS, FL 34275
 P.O. BOX 1529
 NOKOMIS, FL 34274

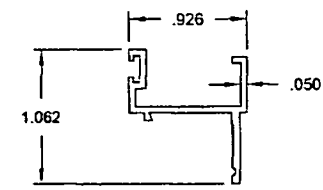


Description: SECTIONS			
Title: ALUM. HORIZ. ROLLER WINDOW (HD MTG. RAIL)			
Revised By: HR201	Scale: Half	Sheet: 6 of 12	Drawing No.: 268-2
			Rev: D

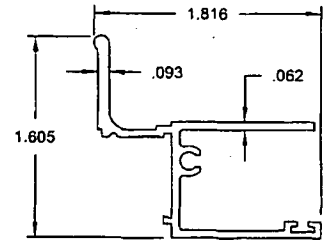
Item	Dwg #	Description	Mat'l	PGT #
1	215B	Flange Frame Head	6063-T6	6215W,B,T
2	1155	#8 x 1.000, QUAD Pn., SMS	Fastener	781PQA
3	110	Sash Stop	6063-T5	66387
4	264	Main Frame Sill	6063-T5	6264
5	265B	Main Frame Sill Adapter	6063-T6	6265BW,B,T
6	1298	Weep Hole Cover	Plastic	71298
7	218A	Flange Frame Jamb (Fixed, XO ONLY)	6063-T6	6128W,B,T
8	219	Flange Frame Jamb (Operable)	6063-T5	61088
9	1003	Wstp., Bulb Vinyl	Vinly	66601
11	1072	Wstp., 187 x .200, Fin Seal	Wthstrip	67919G
12	223A	Sash Top & Bottom Rail	6063-T6	6223W,B,T
13	242	Sash Top Guide (Anti-rack)	Plastic	42105
14	227	End Cap	Plastic	42114
15		#8 x .25, QUAD Pn., SMS	Fastener	78X14PQAA
16	225	Roller Housing & Guide	Plastic	42112N
17	226	Rollers, Brass	Brass Part	7BRWHL2
18	221A	Sash Side Rail	6063-T6	6221W,B,T
19	1001	Wstp., Bulb Vinyl	Wthstrip	64664
20	222A	Sash Meeting Rail	6063-T6	6222W,B,T
21	1096	Sweep Latch	Cast Part	71096
22	1016	#8 x .625, Ph. Fl., SMS	Fastener	7858
25		3/16" or 1/4" Annealed Glass	Glass	
26		3/16" or 1/4" Tempered Glass	Glass	
28		1/2" Insulated 3/16" Annealed/DSB	Glass	
29	1265-3	3/32 x 1/4 x 1 Setting Block	Rubber	712653K
30	1267	1/8 x 1/2 x 1 Setting Block	Rubber	71267N
31	1014	Screen Frame	Aluminum	61011
32	1013	Screen Corner Key	Plastic	41903
33	1073	Screen Spring	Spring Steel	78835M
34	1278	Screen Pull	Plastic	70409K
35	1618	Screen Spline	Rubber	68155K
36		Screen Cloth		61816
37	267	H.D. Fixed Meeting Rail	6063-T6	6267
39	2719	Glazing Bead - (3/16")	Rollform Bd.	65016
40	1263	Glazing Bead - (1/4")	Rollform Bd.	65133
41	241	Glazing Bead - (1/2" Insulated)	Plastic	6VT48
42	1274	Glazing Bead, Grill Kit - SSB/DSB	Plastic	6GB1274
43	1237	Glazing Bead, Grill Kit - 3/16"	Plastic	6GB1237
44		Silicone Adhesive Dow 899, Instant Glaze II or Equal		



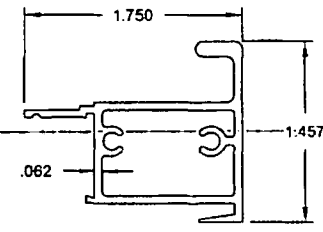
37 HD FIXED MEETING RAIL
MAT'L: 6063-T6
DWG# 267



12 SASH TOP & BOTT. RAIL
MAT'L: 6063-T6
DWG# 223A



18 SASH SIDE RAIL
MAT'L: 6063-T6
DWG# 221A



20 SASH MEETING RAIL
MAT'L: 6063-T6
DWG# 222A

Approved for use with the
Florida Building Code
Date 05/03/07
NOA: 07-0174-IT
Michael J. Clark, P.E.
By: *M. Clark*

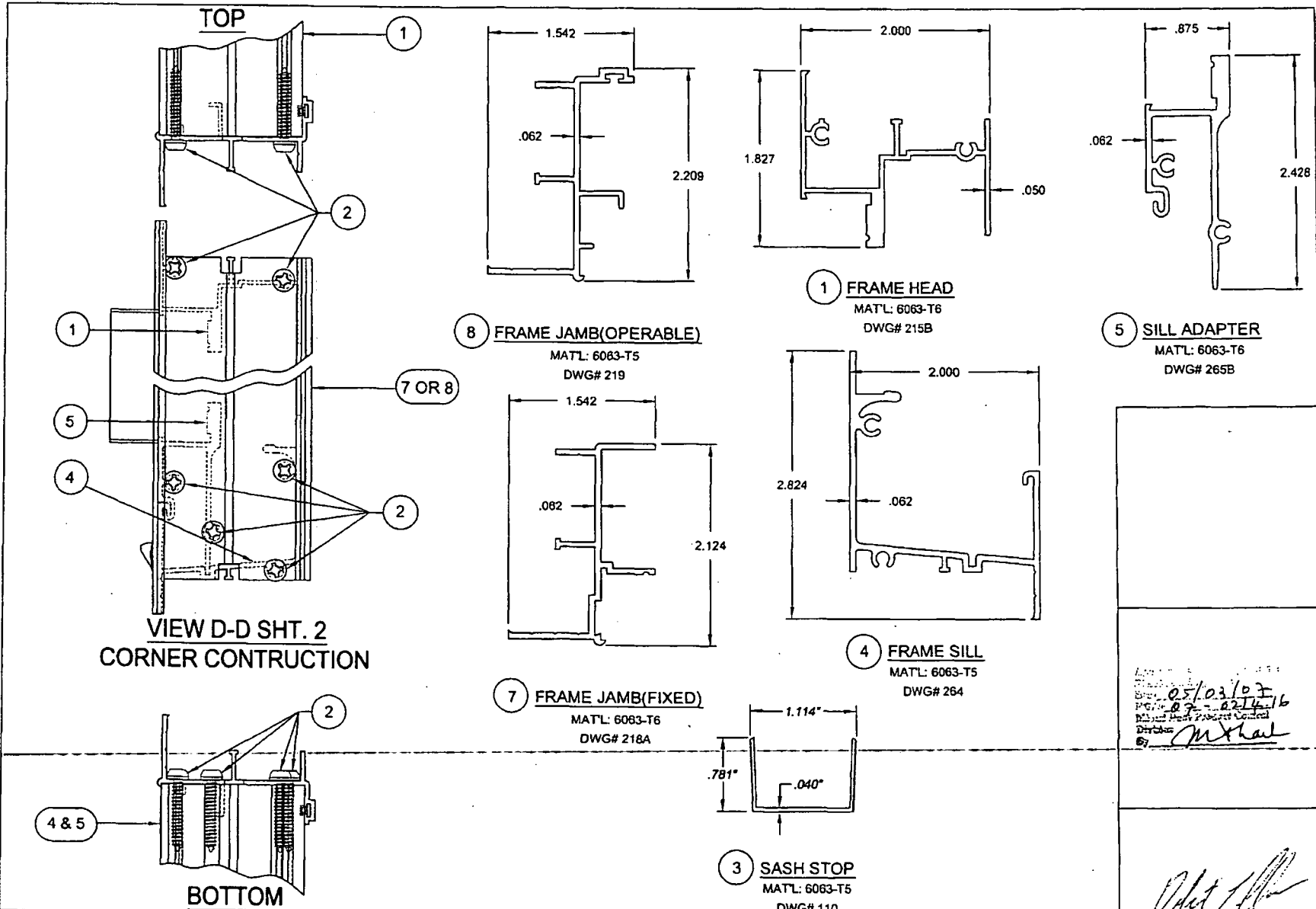
Robert L. Clark
4/9/07
Robert L. Clark, P.E.
PE #39712
Structural

Revised By: F.K.	Date: 4/3/07	Revision: D	NO CHANGE THIS SHEET
Revised By: F.K.	Date: 1/31/07	Revision: C	DELETE ITEMS 24, 27 & 38. ADD 1/4" MONO TO ITEMS 25 & 28. ADD DOW INSTANT GLASS II TO ITEM 44.
Revised By: F.K.	Date: 9/1/02	Revision: B	NO CHANGE THIS SHEET - NOT SUBMITTED
Drawn By: F.K.	Date: 1/23/02	Checked By: J.J.	Date: 02/09/07

1070 TECHNOLOGY DRIVE
NOKOMIS, FL 34275
P.O. BOX 1529
NOKOMIS, FL 34274



Description: PARTS LIST AND SASH EXTRUSIONS			
Title: ALUM. HORIZ. ROLLER WINDOW (HD MTG. RAIL)			
Sheet/Block: HR201	Block: NTS	Sheet: 7 of 12	Drawing No: 268-2
			Rev: D



05/03/07
 02/14/16
 Robert L. Clark, P.E.
 PE #39712
 Structural

Robert L. Clark, P.E.
 PE #39712
 Structural

Revised By: F.K.	Date: 4/3/07	Revision: D	NO CHANGE THIS SHEET
Revised By: F.K.	Date: 1/31/07	Revision: C	NO CHANGE THIS SHEET
Revised By: F.K.	Date: 9/11/02	Revision: B	NO CHANGE THIS SHEET - NOT SUBMITTED
Drawn By: F.K.	Date: 1/23/02	Checked By: J.J.	Date: 02/09/07

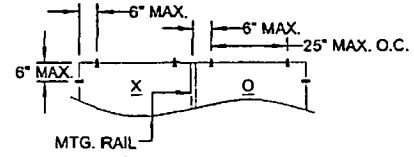
1070 TECHNOLOGY DRIVE
 NOKOMIS, FL 34275
 P.O. BOX 1529
 NOKOMIS, FL 34274



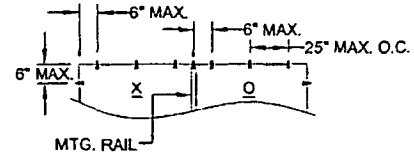
Description: CORNER ASSEMBLY DETAIL & EXTRUSIONS			
Title: ALUM. HORIZ. ROLLER WINDOW (HD MTG. RAIL)			
Material: HR201	Size: Half	Sheet: 8 of 12	Drawing No.: 268-2
			Rev: D

TABLE 4. ANCHORAGE, XO AND OX WINDOWS TO 50.625 HIGH

ANCHOR TYPE & SUBSTRATE	HEIGHT												
	26.000			38.375			44.000			50.625			
WIDTH	GLASS TYPE	HEAD & SILL	JAMBS	HEAD & SILL	JAMBS	HEAD & SILL	JAMBS	HEAD & SILL	JAMBS	HEAD & SILL	JAMBS	HEAD & SILL	JAMBS
26.500	B,C,E	1+C2+1	2	1+C2+1	2	1+C2+1	2	1+C2+1	3	1+C2+1	3	1+C2+1	3
44.000	B,C,E	1+C2+1	2	1+C2+1	2	1+C2+1	2	1+C2+1	3	1+C2+1	3	1+C2+1	3
48.000	B,C,E	1+C2+1	2	1+C2+1	2	1+C2+1	2	1+C2+1	3	1+C2+1	3	1+C2+1	3
53.125	B	2+C2+2	2	1+C2+1	2	2+C2+2	2	2+C2+2	3	1+C2+1	3	2+C2+2	3
	E	1+C2+1	2	1+C2+1	2	1+C2+1	2	1+C2+1	3	1+C2+1	3	1+C2+1	3
	C	2+C2+2	2	1+C2+1	2	2+C2+2	2	2+C2+2	3	1+C2+1	3	2+C2+2	3
63.000	B	2+C2+2	2	1+C2+1	2	2+C2+2	2	2+C2+2	3	1+C2+1	3	2+C2+2	3
	E	1+C2+1	2	1+C2+1	2	1+C2+1	2	1+C2+1	3	1+C2+1	3	1+C2+1	3
	C	2+C2+2	2	1+C2+1	2	2+C2+2	2	2+C2+2	3	1+C2+1	3	2+C2+2	3
66.000	B	2+C2+2	2	1+C2+1	2	2+C2+2	2	2+C2+2	3	1+C2+1	3	2+C2+2	3
	E	1+C2+1	2	1+C2+1	2	1+C2+1	2	1+C2+1	3	1+C2+1	3	1+C2+1	3
	C	2+C2+2	2	1+C2+1	2	2+C2+2	2	2+C2+2	3	1+C2+1	3	2+C2+2	3
74.000	B	2+C2+2	2	1+C2+1	2	2+C2+2	2	2+C2+2	3	1+C2+1	3	2+C2+2	3
	E	1+C2+1	2	1+C2+1	2	1+C2+1	2	1+C2+1	3	1+C2+1	3	1+C2+1	3
	C	2+C2+2	2	1+C2+1	2	2+C2+2	2	2+C2+2	3	1+C2+1	3	2+C2+2	3



EXAMPLE (C2) ANCHOR CLUSTER



EXAMPLE (C3) ANCHOR CLUSTER (SHOWN IN TABLE KEY BELOW)

TABLE 4A. ANCHORAGE, XO AND OX WINDOWS OVER 50.625 HIGH TO 72.000 HIGH

ANCHOR TYPE & SUBSTRATE	HEIGHT												
	54.000			63.000			66.000			72.000			
WIDTH	GLASS TYPE	HEAD & SILL	JAMBS	HEAD & SILL	JAMBS	HEAD & SILL	JAMBS	HEAD & SILL	JAMBS	HEAD & SILL	JAMBS	HEAD & SILL	JAMBS
26.500	B,C,E	1+C3+1	4	1+C3+1	4	1+C3+1	4	1+C3+1	5	1+C3+1	5	1+C3+1	5
37.000	B	1+C3+1	4	1+C3+1	4	1+C3+1	4	1+C3+1	5	1+C3+1	5	1+C3+1	5
	E	1+C3+1	4	1+C3+1	4	1+C3+1	4	1+C3+1	5	1+C3+1	5	1+C3+1	5
	C	1+C3+1	4	1+C3+1	4	1+C3+1	4	1+C3+1	5	1+C3+1	5	1+C3+1	5
44.000	B	1+C3+1	4	1+C3+1	4	1+C3+1	4	1+C3+1	5	1+C3+1	5	1+C3+1	5
	E	1+C3+1	4	1+C3+1	4	1+C3+1	4	1+C3+1	5	1+C3+1	5	1+C3+1	5
	C	1+C3+1	4	1+C3+1	4	1+C3+1	4	1+C3+1	5	1+C3+1	5	1+C3+1	5
48.000	B	1+C3+1	4	1+C3+1	4	1+C3+1	4	1+C3+1	5	1+C3+1	5	1+C3+1	5
	E	1+C3+1	4	1+C3+1	4	1+C3+1	4	1+C3+1	5	1+C3+1	5	1+C3+1	5
	C	1+C3+1	4	1+C3+1	4	1+C3+1	4	1+C3+1	5	1+C3+1	5	1+C3+1	5
53.125	B	1+C3+1	4	1+C3+1	4	1+C3+1	4	1+C3+1	5	1+C3+1	5	1+C3+1	5
	E	1+C3+1	4	1+C3+1	4	1+C3+1	4	1+C3+1	5	1+C3+1	5	1+C3+1	5
	C	2+C4+2	5	1+C3+1	4	2+C4+2	5	1+C3+1	5	1+C3+1	5	1+C3+1	5
63.000	B	2+C3+2	4	1+C3+1	4	2+C3+2	4	1+C3+1	5	1+C3+1	5	1+C3+1	5
	E	1+C3+1	4	1+C3+1	4	1+C3+1	4	1+C3+1	5	1+C3+1	5	1+C3+1	5
	C	2+C4+2	5	1+C3+1	4	2+C4+2	5	1+C3+1	5	1+C3+1	5	1+C3+1	5
66.000	B	2+C3+2	4	1+C3+1	4	2+C3+2	4	1+C3+1	5	1+C3+1	5	1+C3+1	5
	E	1+C3+1	4	1+C3+1	4	1+C3+1	4	1+C3+1	5	1+C3+1	5	1+C3+1	5
	C	2+C4+2	5	1+C3+1	4	2+C4+2	5	1+C3+1	5	1+C3+1	5	1+C3+1	5
74.000	B	2+C3+2	4	1+C3+1	4	2+C3+2	4	1+C3+1	5	1+C3+1	5	1+C3+1	5
	E	1+C3+1	4	1+C3+1	4	1+C3+1	4	1+C3+1	5	1+C3+1	5	1+C3+1	5
	C	2+C3+2	4	1+C3+1	4	2+C3+2	4	1+C3+1	5	1+C3+1	5	1+C3+1	5

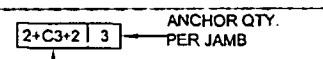
NOTES:

- ANCHOR TYPES:
 1 - 1/4" ELCO TAPCONS
 2 - 1/4" ELCO SS4 CRETE-FLEX
 3 - #12 STEEL SCREWS (GS)
- ANCHOR QUANTITIES ARE PER ADJACENT TABLE AND BASED ON THE FOLLOWING DIMENSIONS. FOR WINDOW SIZES NOT SHOWN, GO TO NEXT LARGER WINDOW IN TABLE.

 HEAD: 6" MAX. FROM CORNERS & 25" MAX. O.C.
 SILL: 6" MAX. ON EACH SIDE OF MEETING RAIL CENTERLINE.

 JAMBS: 6" MAX. FROM CORNERS & 17" MAX. O.C.

TABLE KEY:



HEAD AND SILL ANCHOR QUANTITIES A CLUSTER OF (3) ANCHORS AT THE MEETING RAIL, PLUS (2) ANCHORS AT OPERABLE VENT AND FIXED SECTION. (7) ANCHORS TOTAL AT HEAD AND SILL.

(3" MIN. O.C. ANCHOR SPACING)

Prepared By: F.K.	Date: 4/3/07	Revised By: D	NO CHANGE THIS SHEET
Revised By: F.K.	Date: 1/31/07	Revisions: C	NEW SHEET, CONSOLIDATED ANCHORAGE SPACING.
Drawn By: F.K.	Date: 1/23/02	Checked By: J.J.	Date: 02/09/07

1070 TECHNOLOGY DRIVE
NOKOMIS, FL 34275

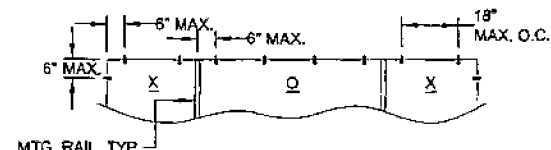
P.O. BOX 1526
NOKOMIS, FL 34274



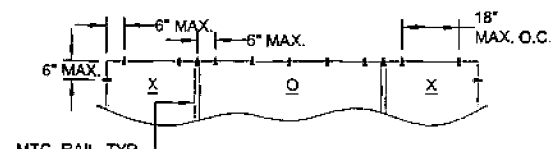
Product: ANCHORAGE SPACING, XO AND OX WINDOWS
 Title: ALUM. HORIZ. ROLLER WINDOW (HD MTG. RAIL)
 Manufacturer: HR201
 Size: NTS
 Qty: 9 - 12
 Drawing No: 268-2
 Rev: D

05/03/07
 D.F. - 02.14.16
 Robert L. Clark, P.E.
 PE #39712
 Structural

TABLE 5. ANCHORAGE, XOx (1/4-1/2-1/4) WINDOWS TO 44,000 HIGH													
ANCHOR TYPE & SUBSTRATE		HEIGHT											
		26,000			38,375			44,000					
		1, CONC	2, CONC	2,3, WOOD	1, CONC	2, CONC	2,3, WOOD	1, CONC	2, CONC	2,3, WOOD			
WIDTH	GLASS TYPE	HEAD & SILL	JAMBS	HEAD & SILL	JAMBS	HEAD & SILL	JAMBS	HEAD & SILL	JAMBS	HEAD & SILL	JAMBS		
53,125	B,C,E	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	3	H-C2+H-C2+1	3	H-C2+H-C2+1	3
74,000	B,C,E	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	3	H-C2+H-C2+1	3	H-C2+H-C2+1	3
84,000	B	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	3	H-C2+H-C2+1	3	H-C2+H-C2+1	3
	C	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	3	H-C2+H-C2+1	3	H-C2+H-C2+1	3
	E	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	3	H-C2+H-C2+1	3	H-C2+H-C2+1	3
90,000	B	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	3	H-C2+H-C2+1	3	H-C2+H-C2+1	3
	C	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	3	H-C2+H-C2+1	3	H-C2+H-C2+1	3
	E	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	3	H-C2+H-C2+1	3	H-C2+H-C2+1	3
95,000	B	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	3	H-C2+H-C2+1	3	H-C2+H-C2+1	3
	C	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	3	H-C2+H-C2+1	3	H-C2+H-C2+1	3
	E	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	3	H-C2+H-C2+1	3	H-C2+H-C2+1	3
106,375	B	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	3	H-C2+H-C2+1	3	H-C2+H-C2+1	3
	C	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	3	H-C2+H-C2+1	3	H-C2+H-C2+1	3
	E	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	3	H-C2+H-C2+1	3	H-C2+H-C2+1	3
111,000	B	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	3	H-C2+H-C2+1	3	H-C2+H-C2+1	3
	C	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	3	H-C2+H-C2+1	3	H-C2+H-C2+1	3
	E	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	3	H-C2+H-C2+1	3	H-C2+H-C2+1	3
120,000	B	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	3	H-C2+H-C2+1	3	H-C2+H-C2+1	3
	C	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	3	H-C2+H-C2+1	3	H-C2+H-C2+1	3
	E	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	2	H-C2+H-C2+1	3	H-C2+H-C2+1	3	H-C2+H-C2+1	3



EXAMPLE (C2) ANCHOR CLUSTER



EXAMPLE (C3) ANCHOR CLUSTER (SHOWN IN TABLE KEY BELOW)

- NOTES:
- ANCHOR TYPES:
1 - 1/4" ELCO TAPCONS
2 - 1/4" ELCO SS4 CRETE-FLEX
3 - #12 STEEL SCREWS (G6)
 - ANCHOR QUANTITIES ARE PER ADJACENT TABLE AND BASED ON THE FOLLOWING DIMENSIONS. FOR WINDOW SIZES NOT SHOWN, GO TO NEXT LARGER WINDOW IN TABLE.

HEAD 6" MAX. FROM CORNERS & 18" MAX. O.C.
SILL 6" MAX. ON EACH SIDE OF MEETING RAIL CENTERLINE.

JAMBS: 6" MAX. FROM CORNERS & 17" MAX. O.C.

TABLE KEY:

X	O	X	ANCHOR QTY. PER JAMB
1-C2+3-C2+1	3		

HEAD AND SILL ANCHOR QUANTITY. A CLUSTER OF (2) ANCHORS AT EACH MEETING RAIL, PLUS (1) ANCHOR AT EACH OPERABLE VENT, PLUS (3) ANCHORS AT FIXED SECTION. (9) ANCHORS TOTAL AT HEAD AND SILL.

(3" MIN. O.C. ANCHOR SPACING)

05/03/07
02-0216-11
Robert L. Clark, P.E.
Structural

Robert L. Clark, P.E.
PE #39712
Structural

TABLE 5A. ANCHORAGE, XOx (1/4-1/2-1/4) WINDOWS OVER 44,000 HIGH TO 63,000 HIGH													
ANCHOR TYPE		HEIGHT											
		50,625			54,000			63,000					
		1, CONC	2, CONC	2,3, WOOD	1, CONC	2, CONC	2,3, WOOD	1, CONC	2, CONC	2,3, WOOD			
WIDTH	GLASS TYPE	HEAD & SILL	JAMBS	HEAD & SILL	JAMBS	HEAD & SILL	JAMBS	HEAD & SILL	JAMBS	HEAD & SILL	JAMBS		
53,125	B	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4
	C	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4
	E	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4
74,000	B	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4
	C	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4
	E	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4
84,000	B	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4
	C	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4
	E	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4
90,000	B	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4
	C	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4
	E	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4
96,000	B	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4
	C	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4
	E	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4
106,375	B	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4
	C	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4
	E	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4
111,000	B	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4
	C	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4
	E	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4
120,000	B	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4
	C	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4
	E	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4	H-C2+H-C2+1	4

Drawn By: F.K.	Date: 4/3/07	Revised: D	NO CHANGE THIS SHEET
Drawn By: F.K.	Date: 1/31/07	Revised: C	NEW SHEET, CONSOLIDATED ANCHORAGE SPACING.
Drawn By: F.K.	Date: 1/23/02	Revised: J.J.	02/09/07

1070 TECHNOLOGY DRIVE
NOKOMIS, FL 34275
P.O. BOX 1520
NOKOMIS, FL 34274



Description: ANCHORAGE SPACING, XOx (1/4-1/2-1/4)			
Title: ALUM. HORIZ. ROLLER WINDOW (HD MTG. RAIL)			
Part Number: HR201	Size: NTS	Sheet: 10 of 12	Drawing No: 268-2
Scale:	Block:	Sheet:	Rev:
			D

TABLE 6. ANCHORAGE, XOX (1/3-1/3-1/3) WINDOWS TO 44.000" HIGH

ANCHOR TYPE & SUBSTRATE		HEIGHT																	
		26.000					38.375					44.000							
		1, CONC		2, CONC		2,3, WOOD	1, CONC		2, CONC		2,3, WOOD	1, CONC		2, CONC		2,3, WOOD			
WIDTH	GLASS TYPE	HEAD & SILL	JAMBS	HEAD & SILL	JAMBS	HEAD & SILL	JAMBS	HEAD & SILL	JAMBS	HEAD & SILL	JAMBS	HEAD & SILL	JAMBS	HEAD & SILL	JAMBS				
48.000	B,C,D,E	1+C2+1+C2+1	2	1+C2+1+C2+1	2	1+C2+1+C2+1	2	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C2+1+C2+1	3		
53.125	B,C,D,E	1+C2+1+C2+1	2	1+C2+1+C2+1	2	1+C2+1+C2+1	2	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C2+1+C2+1	3		
60.000	E	1+C2+1+C2+1	2	1+C2+1+C2+1	2	1+C2+1+C2+1	2	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C3+1+C3+1	3	1+C2+1+C2+1	3	1+C3+1+C3+1	3
	B,C	1+C2+1+C2+1	2	1+C2+1+C2+1	2	1+C2+1+C2+1	2	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C3+1+C3+1	3	1+C2+1+C2+1	3	1+C3+1+C3+1	3
74.000	E	1+C2+1+C2+1	2	1+C2+1+C2+1	2	1+C2+1+C2+1	2	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C2+1+C2+1	3
	B,C	1+C2+1+C2+1	2	1+C2+1+C2+1	2	1+C2+1+C2+1	2	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C3+1+C3+1	3	1+C2+1+C2+1	3	1+C2+1+C2+1	3
84.000	E	1+C2+1+C2+1	2	1+C2+1+C2+1	2	1+C2+1+C2+1	2	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C2+1+C2+1	3
	B,C	1+C2+1+C2+1	2	1+C2+1+C2+1	2	1+C2+1+C2+1	2	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C2+1+C2+1	3
90.000	E	1+C2+1+C2+1	2	1+C2+1+C2+1	2	1+C2+1+C2+1	2	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C2+1+C2+1	3
	B,C	1+C2+1+C2+1	2	1+C2+1+C2+1	2	1+C2+1+C2+1	2	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C2+1+C2+1	3	1+C2+1+C2+1	3

NOTES:

- ANCHOR TYPES:
 1 - 1/4" ELCO TAPCONS
 2 - 1/4" ELCO SS4 CRETE-FLEX
 3 - #12 STEEL SCREWS (G5)
- ANCHOR QUANTITIES ARE PER ADJACENT TABLE AND BASED ON THE FOLLOWING DIMENSIONS. FOR WINDOW SIZES NOT SHOWN, GO TO NEXT LARGER WINDOW IN TABLE.

HEAD: 6" MAX. FROM CORNERS & 18" MAX. O.C.
 SILL: 6" MAX. ON EACH SIDE OF MEETING RAIL CENTERLINE.

JAMBS: 6" MAX. FROM CORNERS & 17" MAX. O.C.

TABLE 6A. ANCHORAGE, XOX (1/3-1/3-1/3) WINDOWS OVER 44.000" HIGH TO 63.000" HIGH

ANCHOR TYPE & SUBSTRATE		HEIGHT															
		50.625					54.000					63.000					
		1, CONC		2, CONC		2,3, WOOD	1, CONC		2, CONC		2,3, WOOD	1, CONC		2, CONC		2,3, WOOD	
WIDTH	GLASS TYPE	HEAD & SILL	JAMBS	HEAD & SILL	JAMBS	HEAD & SILL	JAMBS	HEAD & SILL	JAMBS	HEAD & SILL	JAMBS	HEAD & SILL	JAMBS	HEAD & SILL	JAMBS		
48.000	B,C,D,E	1+C3+1+C3+1	4	1+C2+1+C2+1	4	1+C3+1+C3+1	4	1+C3+1+C3+1	4	1+C2+1+C2+1	4	1+C3+1+C3+1	4	1+C2+1+C2+1	4	1+C3+1+C3+1	4
53.125	B,C,D,E	1+C3+1+C3+1	4	1+C2+1+C2+1	4	1+C3+1+C3+1	4	1+C3+1+C3+1	4	1+C2+1+C2+1	4	1+C3+1+C3+1	4	1+C2+1+C2+1	4	1+C3+1+C3+1	4
60.000	E	1+C3+1+C3+1	4	1+C2+1+C2+1	4	1+C3+1+C3+1	4	1+C3+1+C3+1	4	1+C2+1+C2+1	4	1+C3+1+C3+1	4	1+C2+1+C2+1	4	1+C3+1+C3+1	4
	B,C	1+C3+1+C3+1	4	1+C2+1+C2+1	4	1+C3+1+C3+1	4	1+C3+1+C3+1	4	1+C2+1+C2+1	4	1+C3+1+C3+1	4	1+C2+1+C2+1	4	1+C3+1+C3+1	4
74.000	E	1+C3+1+C3+1	4	1+C2+1+C2+1	4	1+C3+1+C3+1	4	1+C3+1+C3+1	4	1+C2+1+C2+1	4	1+C3+1+C3+1	4	1+C2+1+C2+1	4	1+C3+1+C3+1	4
	B,C	1+C3+1+C3+1	4	1+C2+1+C2+1	4	1+C3+1+C3+1	4	1+C3+1+C3+1	4	1+C2+1+C2+1	4	1+C3+1+C3+1	4	1+C2+1+C2+1	4	1+C3+1+C3+1	4
84.000	E	1+C2+1+C2+1	4	1+C2+1+C2+1	4	1+C2+1+C2+1	4	1+C3+1+C3+1	4	1+C2+1+C2+1	4	1+C2+1+C2+1	4	1+C3+1+C3+1	4	1+C2+1+C2+1	4
	B,C	1+C3+1+C3+1	4	1+C2+1+C2+1	4	1+C3+1+C3+1	4	1+C3+1+C3+1	4	1+C2+1+C2+1	4	1+C3+1+C3+1	4	1+C2+1+C2+1	4	1+C3+1+C3+1	4
90.000	E	1+C2+1+C2+1	4	1+C2+1+C2+1	4	1+C2+1+C2+1	4	1+C2+1+C2+1	4	1+C2+1+C2+1	4	1+C2+1+C2+1	4	1+C3+1+C3+1	4	1+C2+1+C2+1	4
	B,C	1+C2+1+C2+1	4	1+C2+1+C2+1	4	1+C2+1+C2+1	4	1+C3+1+C3+1	4	1+C2+1+C2+1	4	1+C2+1+C2+1	4	1+C3+1+C3+1	4	1+C2+1+C2+1	4

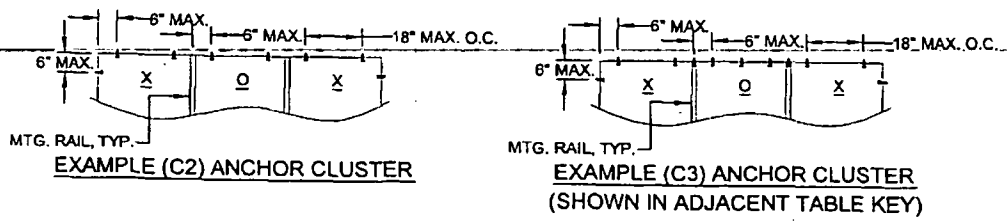


TABLE KEY:

X	O	X	
1+C3+1+C3+1	3		ANCHOR QTY. PER JAMB

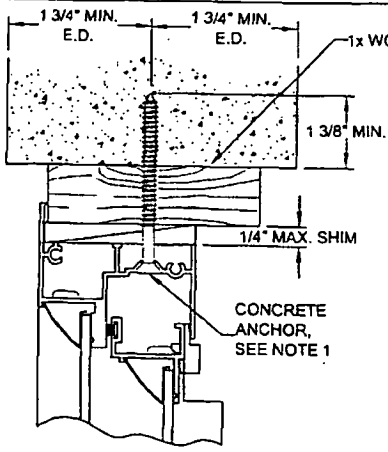
HEAD AND SILL ANCHOR QUANTITY. A CLUSTER OF (3) ANCHORS AT EACH MEETING RAIL PLUS (1) ANCHOR AT EACH OPERABLE VENT, PLUS (1) ANCHOR AT FIXED SECTION. (9) ANCHORS TOTAL AT HEAD AND SILL.

(3" MIN. O.C. ANCHOR SPACING)

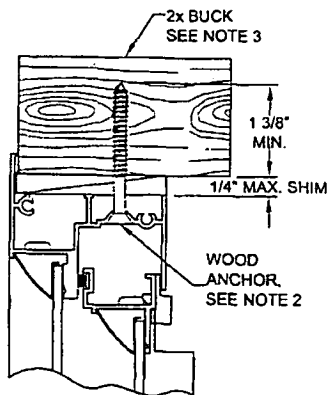
Approved to manufacture with the Florida Building Code
 Date: 05/03/07
 NDA# 02-0279-06
 Miami Trade Product Control Division
 By: *[Signature]*

[Signature]
 4/3/07
 Robert L. Clark, P.E.
 PE #39712
 Structural

Prep. By: F.K.	Date: 4/3/07	Revised: D	NO CHANGE THIS SHEET	1070 TECHNOLOGY DRIVE NOKOMIS, FL 34275 P.O. BOX 1529 NOKOMIS, FL 34274	PGT Visibly Better	Describe: ANCHORAGE SPACING, XOX (1/3-1/3-1/3)	Drawing No. 268-2	Rev. D		
Drawn By: F.K.	Date: 1/31/07	Revised: C	NEW SHEET, CONSOLIDATED ANCHORAGE SPACING.			The: ALUM. HORIZ. ROLLER WINDOW (HD MTG. RAIL)				
Checked By: J.J.	Date: 02/09/07					Material: HR201			Scale: NTS	Notes: 11 of 12

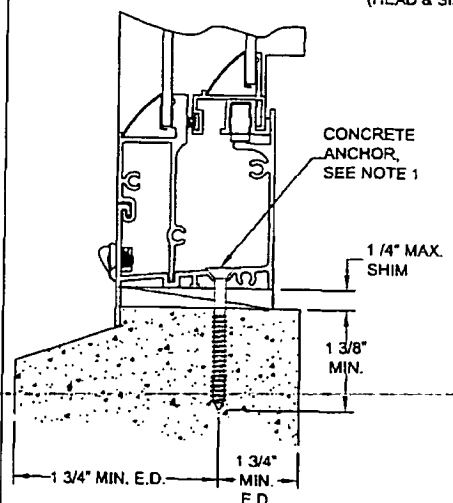


TYP. HEAD SECTION TO CONCRETE

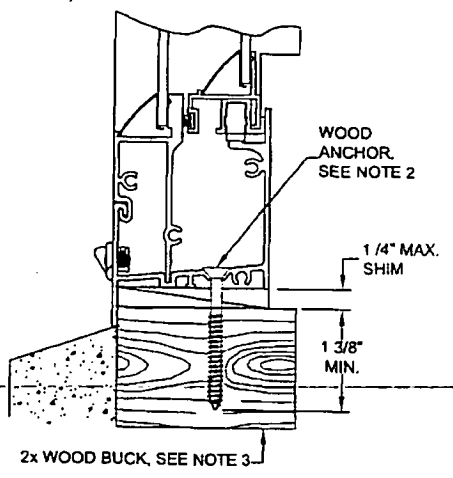


TYP. HEAD SECTION TO WOOD

← EXTERIOR INTERIOR →
(HEAD & SILL DETAILS)



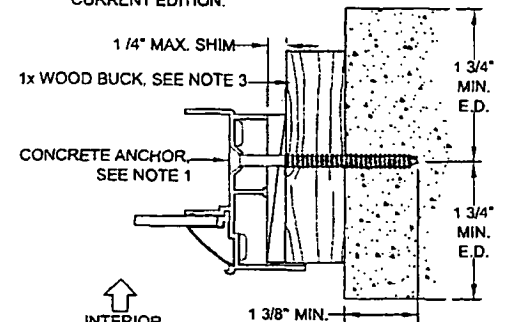
TYP. SILL SECTION TO CONCRETE



TYP. SILL SECTION TO WOOD

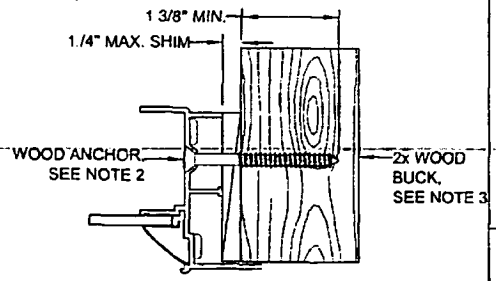
NOTES:

1. FOR CONCRETE APPLICATIONS IN MIAMI-DADE COUNTY, USE ONLY MIAMI-DADE COUNTY APPROVED 1/4\"/>
2. FOR WOOD APPLICATIONS IN MIAMI-DADE COUNTY, USE #12 SCREWS OR 1/4\"/>
3. WOOD BUCKS DEPICTED IN THE SECTIONS ON THIS PAGE AS 1x ARE BUCKS WHOSE TOTAL THICKNESS IS LESS THAN 1 1/2\"/>
4. FOR ATTACHMENT TO ALUMINUM: THE MATERIAL SHALL BE A MINIMUM STRENGTH OF 6063-T5 AND A MINIMUM OF 1/8\"/>
5. MATERIALS, INCLUDING BUT NOT LIMITED TO STEEL SCREWS, THAT COME INTO CONTACT WITH OTHER DISSIMILAR MATERIALS SHALL MEET THE REQUIREMENTS OF FBC, CURRENT EDITION.



TYP. JAMB SECTION TO CONCRETE

↑ INTERIOR
(JAMB DETAILS)
↓ EXTERIOR



TYP. JAMB SECTION TO WOOD

05/03/07
07-0214-16
Miami Dade Technical Control
By: [Signature]

[Signature]
4/3/07

Revised By: F.K.	Date: 4/3/07	Revision: D	NO CHANGE THIS SHEET
Revised By: F.K.	Date: 1/31/07	Revision: C	ADD NOTES, MIN. E.D., AND UPGRADE EMBEDMENT
Revised By: F.K.	Date: 9/11/02	Revision: B	NO CHANGE THIS SHEET - NOT SUBMITTED
Drawn By: F.K.	Date: 1/23/02	Checked By: J.J.	Date: 02/09/07

1070 TECHNOLOGY DRIVE
NOKOMIS, FL 34275
P.O. BOX 1529
NOKOMIS, FL 34274



Description: ANCHORAGE DETAILS			
Title: ALUM. HORIZ. ROLLER WINDOW (HD MTG. RAIL)			
Revised By: HR201	Date: Half	Sheet: 12 of 12	Drawing No: 268-2
			Scale: D

Robert L. Clark, P.E.
PE #39712
Structural

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 12-12, 2007

Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8776	Gabrie 101 S Sewalls Pt Advantage Fire	Final (Ac)	FAIL	INSPECTOR: <i>[Signature]</i>
3				
8721	Kendrigan 12 Rio Vista Dr Louden	Final	PASS	CLOSE INSPECTOR: <i>[Signature]</i>
4				
8589	Hardin 27 S River Rd Station	house	RESCHEDULE	INSPECTOR:
6				
8770	Schnabel 122 S Sewalls Chetwood	Final (Paver)	PASS	CLOSE INSPECTOR: <i>[Signature]</i>
2				
8761	Quinn 11 Rio Vista Glenmark	Windows BUCKS	PASS	NEED FINAL INSPECTION INSPECTOR: <i>[Signature]</i>
5				
8745	Nelson 3 Marquerita Nelson Homes	bond beam	FAIL	\$45 FEE INSPECTOR: <i>[Signature]</i>
1				
8512	VACUES 107 N. S. P. R. TCE CONST.	REINFR. ROOF SHEATH	PASS	INSPECTOR: <i>[Signature]</i>
7				

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed **THURS** 1-3, 2008 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8775	Rouge 5 S. Kever Rd Marten Tene	Final	PASS	CLOSE INSPECTOR: <i>[Signature]</i>
Tree	Tullier 39 N River Rd OB	Tree	PASS	 INSPECTOR: <i>[Signature]</i>
8151	Guelino 11 Rivista Glenmark	Final 1:30	PASS	CLOSE INSPECTOR: <i>[Signature]</i>
				INSPECTOR:
				INSPECTOR:
				INSPECTOR:
				INSPECTOR:
OTHER:				

8907
FENCE



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	8907	DATE ISSUED:	MAY 20, 2008
SCOPE OF WORK:	REPLACE FENCE (REAR)		
CONDITIONS :			
CONTRACTOR:	OB		
PARCEL CONTROL NUMBER:	123841002000005208	SUBDIVISION	RIO VISTA - LOT 52
CONSTRUCTION ADDRESS:	11 RIO VISTA		
OWNER NAME:	GIACHINO		
QUALIFIER:	OB	CONTACT PHONE NUMBER:	287-0980

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

RECEIVED
DATE: 5/15/08
TOWN OF SEWALL'S POINT

Town of Sewall's Point

Date: _____ BUILDING PERMIT APPLICATION Permit Number: _____

OWNER/TITLEHOLDER NAME: FERNANDO GIACHINO Phone (Day) 287-0980 (Fax) 220-0815

Job Site Address: 11 RIO VISTA DR City: SEWALLS PT STUART State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) LOTS2 RIO VISTA S/D Parcel Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Scope of work: FENCE REPAIR/REPLACEMENT OF PRE EXISTING FENCE - REAR 83'

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES NO

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 500.00
(Notice of Commencement required when over \$2500 prior to first inspection)

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO
(Must include a copy of all variance approvals with application)

Is subject property located in flood hazard area? V A9 A8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
Fair Market Value of the Primary Structure only (Minus the land value)
*** PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION***

CONTRACTOR/Company: OWNER BUILDER Phone: _____ Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Municipality License Number: _____

PROJECT SUPERINTENDANT: _____ CONTACT NUMBER: _____

ARCHITECT N/A Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQ. FOOTAGE (W/SEWER & ELECTRIC): Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

CODE EDITIONS IN EFFECT FOR THIS APPLICATION: Florida Building Code - Res., Build, Mech., Plmb., Fuel Gas): 2004 (W/2006 Rev.)
National Electrical Code: 2005 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Prevention Code 2004

NOTICES TO OWNERS AND CONTRACTORS:
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.

THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.
I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

OWNER SIGNATURE (required)
Fernando Giachino

State of Florida, County of: Martin

This the 15 day of May, 2008

by Fernando Giachino who is personally

known to me or produced as identification. Chastee Powell

My Commission Expires: Chastee Powell
Notary Public

Christine Rowell
Commission # DD456569
Expires August 1, 2009
Bonds To The Public Insurance Co. 800-368-7070

CONTRACTOR SIGNATURE (required)
Valerie Meyer

State of Florida, County of: _____

This the _____ day of _____, 2008

by _____ who is personally

known to me or produced as identification. _____

My Commission Expires: _____
Notary Public

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

OWNER/BUILDER QUESTIONNAIRE AND DISCLOSURE STATEMENT
 MUST BE COMPLETED AND REVIEWED PRIOR TO PERMIT ISSUANCE

APPLICABLE ONLY TO OWNER-OCCUPIED SINGLE FAMILY RESIDENCES
 AND COMMERCIAL IMPROVEMENTS LESS THAN \$75,000 IN VALUE

NOTICE: FLORIDA STATUTE 489 REQUIRING CONSTRUCTION TO BE DONE ONLY BY LICENSED CONTRACTORS PROVIDES AN EXEMPTION FROM LICENSING FOR A PROPERTY OWNER WHO ACTS AS HIS/HER OWN CONTRACTOR UNDER SPECIFIC CONDITIONS. ANSWERS TO THE FOLLOWING QUESTIONS ARE ESSENTIAL TO DETERMINE IF THOSE STATE QUALIFICATIONS ARE SATISFIED BY AN OWNER/BUILDER APPLICANT.

ALL QUESTIONS MUST BE ANSWERED. IF A QUESTION DOES NOT APPLY, INDICATE BY WRITING "N/A"

Owner/Builder Applicant Name: FERNANDO GIACHINO

Site address of the proposed building work: 11 RIO VISTA DR.

Name of legal title owner of the address above: FERNANDO GIACHINO

Describe the scope of work for the proposed new construction: FENCE REPAIR/REPLACEMENT OF PRE EXISTING FENCE - REAR 83' OF LOT ONLY - NO OTHER WORK

Name of Architect of Record: N/A Structural Engineer of Record: N/A

Who will supervise the trade work to meet the applicable code? N/A

What provisions have you made for Liability and Property Damage Insurance? ALLSTATE

What provisions exist for withholding Social Security and Federal Income Taxes, as required by Federal Law, from wages paid to people you hire who are not licensed? N/A

What previous Owner/Builder improvements have you done in the State of Florida?

Location: 11 RIO VISTA Scope of Work Done: DOORS Year: 2004

Location: 11 RIO VISTA Scope of Work Done: _____ Year: _____

What code books do you have available for reference? Building: _____

Electric: _____ Plumbing: _____ HVAC: _____

Other: _____

I have internet access and will view The Florida Building code at www.floridabuilding.org YES Y NO _____

Do you understand that as the permit holder you are liable for following all Local, County, State and Federal codes, laws and requirements, and you are also liable for anyone injured on the construction site? yes (yes/no)

Have you consulted with your Homeowner's Insurance Agent? N Lender? N Attorney? Y

In order to assure your success in this project, please signify your awareness that the function of the building department is to issue you a building permit and verify code compliance through plan review and the inspection process. I am aware that town staff is not obligated to offer supervision, design or instructional advice prior or during my project. FG (initials).



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

OWNER/BUILDER DISCLOSURE STATEMENT

NOTICE: STATE LAW REQUIRES THAT ALL PERMITTING AGENCIES PROVIDE INDIVIDUALS SUBMITTING APPLICATIONS FOR OWNER/BUILDER PERMITS THE FOLLOWING INFORMATION:

1. THE TOWN OF SEWALL'S POINT CODE OF LAWS AND ORDINANCES REQUIRES THAT ANY PERSON DESIRING TO ENGAGE IN BUSINESS AS A CONTRACTOR IN THE TOWN OF SEWALL'S POINT BE A HOLDER OF A CERTIFICATE OF COMPETENCY.
2. FLORIDA STATUTES 489.103 (7) ALLOWS YOU, AS A PROPERTY OWNER, AN EXEMPTION TO CONSTRUCT OR IMPROVE A SINGLE FAMILY DWELLING AND ACCESSORY-USE STRUCTURES ON SAID PROPERTY FOR YOUR OWN USE OR OCCUPANCY WITHOUT HAVING A CERTIFICATE OF COMPETENCY.
3. AS AN OWNER/BUILDER, YOU MUST PHYSICALLY PERFORM OR MATERIALLY SUPERVISE ALL CONSTRUCTION/IMPROVEMENTS SPECIFIED ON YOUR OWNER/BUILDER PERMIT AND YOU ARE TOTALLY RESPONSIBLE FOR ALL ACTIVITIES ASSOCIATED THEREWITH. OWNER/BUILDERS WHO WISH TO DO ELECTRICAL OR PLUMBING WORK MUST PASS A SHORT OPEN BOOK QUIZ ADMINISTERED BY THE BUILDING DEPARTMENT.
4. IF YOU DO NOT PHYSICALLY PERFORM A SPECIFIC PHASE OF SAID CONSTRUCTION/IMPROVEMENT, BUT CHOOSE TO SUB-CONTRACT IT, THEN SUCH CONSTRUCTION/IMPROVEMENT MUST BE SUB-CONTRACTED TO A LOCALLY LICENSED OR STATE CERTIFIED CONTRACTOR.
5. YOU MAY NOT HIRE AN UNLICENSED INDIVIDUAL WHO IN ANY MANNER ACTS IN THE CAPACITY OF A GENERAL CONTRACTOR, THAT IS, ONE WHO FULFILLS YOUR DUTIES UNDER PARAGRAPH (3) ABOVE.
6. UNDER AN OWNER/BUILDER PERMIT YOU MAY NOT CONSTRUCT A BUILDING WHICH YOU INTEND TO SELL OR LEASE. THE SALE OR LEASE, OR OFFERING FOR SALE OR LEASE, OF ANY SUCH STRUCTURE BY THE OWNER-BUILDER WITHIN 1 YEAR AFTER COMPLETION OF SAME CREATES A PRESUMPTION THAT THE CONSTRUCTION WAS UNDERTAKEN FOR PURPOSES OF SALE OR LEASE WHICH IS A VIOLATION OF THIS EXEMPTION.
7. THIS EXEMPTION SHALL NOT APPLY TO ANY PERSON WHO HAS LEASED, SOLD, OR OFFERED FOR SALE MORE THAN 1 STRUCTURE BUILT UNDER AN OWNER-BUILDER PERMIT IN ANY JURISDICTION WITHIN THE 5 YEARS IMMEDIATELY PRECEDING THE APPLICATION FOR A PERMIT.
8. THERE MUST BE A THIRTY-SIX (36) MONTH PERIOD BETWEEN THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE INITIAL DWELLING AND THE SUBMITTAL OF AN OWNER/BUILDER APPLICATION FOR A SUBSEQUENT DWELLING. NO OTHER BUILDING PERMIT FOR A HOME SHALL BE ISSUED TO THAT OWNER/BUILDER, THE OWNER/BUILDER'S SPOUSE OR ANY MEMBER OF THE OWNER/BUILDER'S IMMEDIATE FAMILY UNDER EIGHTEEN YEARS OF AGE UNTIL THREE YEARS AFTER THE HOME BUILT UNDER THE FIRST BUILDING PERMIT HAS RECEIVED A CERTIFICATE OF OCCUPANCY.
9. ALL CONSTRUCTION IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDER PERMIT MUST BE IN STRICT COMPLIANCE WITH FLORIDA STATE STATUTE SECTION 489, SEWALL'S POINTS CODE OF LAWS AND ORDINANCES, ALL BUILDING & ZONING CODES AND REGULATIONS PERTAINING TO SINGLE FAMILY DWELLINGS, ACCESSORY USE STRUCTURES AS APPLICABLE.
10. YOUR OWNER/BUILDER EXEMPTION DOES NOT WAIVE ANY PERMIT CONDITIONS OR REQUIREMENTS OR WAIVE ANY PORTION OR PORTIONS OF ANY APPLICABLE BUILDING OR SWIMMING POOL CODES OR TOWN ORDINANCES.
11. ALL CONSTRUCTION/IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDING PERMIT MUST ALSO BE IN STRICT COMPLIANCE WITH ALL APPLICABLE ZONING REGULATIONS (QUESTIONS REGARDING ZONING REGULATIONS SHOULD BE DIRECTED TO THE TOWN OF SEWALL'S POINT AT 772-287-2455.)



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

12. YOU MUST BE FAMILIAR WITH AND CALL FOR THE REQUIRED INSPECTIONS OF ALL CONSTRUCTION/IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDER PERMIT.

13. AS AN OWNER/BUILDER YOU MUST VERIFY THAT ALL INDIVIDUALS OR FIRMS ENGAGED IN CONSTRUCTION/IMPROVEMENTS ACTIVITIES UNDER YOUR OWNER/BUILDER PERMIT ARE PROPERLY LICENSED AS REQUIRED BY STATE LAW OR LOCAL ORDINANCE.

14. AS AN OWNER/BUILDER, YOU ARE LIABLE TO AND RESPONSIBLE FOR THOSE PEOPLE HIRED TO ASSIST YOU. SUCH LIABILITY AND RESPONSIBILITY MAY INCLUDE, BUT IS NOT LIMITED TO, COMPLIANCE WITH APPLICABLE LAWS RELATING TO LIENS, WORKERS' COMPENSATION, SOCIAL SECURITY, UNEMPLOYMENT, FEDERAL WITHHOLDING TAX, AND PUBLIC LIABILITY.

15. I, AS AN OWNER/BUILDER, IN CONSIDERATION OF A BUILDING PERMIT ISSUED BY SEWALL'S POINT, FLORIDA, AGREE TO INDEMNIFY AND HOLD HARMLESS SAID SEWALL'S POINT, FLORIDA, ITS OFFICERS AND AGENTS FROM ANY AND ALL CLAIMS, DAMAGES, OR EXPENSES THAT SEWALL'S POINT MAY BE LIABLE FOR WHICH ARISE FROM THE CONSTRUCTION/IMPROVEMENTS ACCOMPLISHED IN CONNECTION WITH SAID BUILDING PERMIT.

I HEREBY ACKNOWLEDGE THAT I HAVE THOROUGHLY READ AND COMPLETELY UNDERSTAND THE PRECEDING PAGE OF THE OWNER/BUILDER DISCLOSURE STATEMENT. **OWNER/BUILDER APPLICANTS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT APPLICATION.**

PHOTO ID IS REQUIRED FOR PERSON SUBMITTING PERMIT APPLICATION.

PERSON'S NAME SUBMITTING APPLICATION FERNANDO GIACHINO

ON THIS 15 DAY OF MAY, 2008.

PROPERTY ADDRESS 11 RIO VISTA DR

CITY SEWALLS PT STATE FL ZIP 34996

F. Giachino

SIGNATURE OF OWNER/BUILDER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 15 DAY OF May 2008

BY FERNANDO GIACHINO

PERSONALLY KNOWN

OR PRODUCED ID _____

TYPE OF ID _____

Christine Rowell

NOTARY SIGNATURE





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

UTILITY CONTACT LIST

MARTIN COUNTY UTILITIES:

PHIL KEATHLY
772-223-7977

JIM CHRIST
772-288-3034

FLORIDA POWER AND LIGHT:

BOB PIRSON
772-223-4253

TANEISHA WHILBY
772-223-4253

COMCAST:

WAYNE INGRAM
772-692-9010 EXT. 29

BELLSOUTH:

SHEILA
772-460-4407



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

Florida Statute 515.29 Residential swimming pool barrier requirements

- (1) A residential swimming pool barrier must have all of the following characteristics:
 - (a) The barrier must be at least 4 feet high on the outside.
 - (b) The barrier may not have any gaps, openings, indentations, protrusions, or structural components that could allow a young child to crawl under, squeeze through, or climb over the barrier.
 - (c) The barrier must be placed around the perimeter of the pool and must be separate from any fence, wall, or other enclosure surrounding the yard unless the fence, wall, or other enclosure or portion thereof is situated on the perimeter of the pool, is being used as part of the barrier, and meets the barrier requirements of this section.
 - (d) The barrier must be placed sufficiently away from the water's edge to prevent a young child or medically frail elderly person who may have managed to penetrate the barrier from immediately falling into the water.
- (2) The structure of an aboveground swimming pool may be used as its barrier or the barrier for such a pool may be mounted on top of its structure; however, such structure or separately mounted barrier must meet all barrier requirements of this section. In addition, any ladder or steps that are the means of access to an aboveground pool must be capable of being secured, locked, or removed to prevent access or must be surrounded by a barrier that meets the requirements of this section.
- (3) Gates that provide access to swimming pools must open outward away from the pool and be self-closing and equipped with a self-latching locking device, the release mechanism of which must be located on the pool side of the gate and so placed that it cannot be reached by a young child over the top or through any opening or gap.
- (4) A wall of a dwelling may serve as part of the barrier if it does not contain any door or window that opens to provide access to the swimming pool.
- (5) A barrier may not be located in a way that allows any permanent structure, equipment, or similar object to be used for climbing the barrier.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
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FENCE and or POOL BARRIER CHECKLIST

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

Please make sure you have ALL required copies before submitting permit application

- ✓ 1 Copy Completed permit application
- ✓ 2 Copies Survey or site plan showing the following:
 - All existing structures on property
 - Location of proposed fence
 - Setbacks from the fence to property lines
 - Height & type of fence
 - Location of all easements
 - Street & house number on site plans

DO NOT SUBMIT PREVIOUSLY STAMPED SITE PLANS

- ✓ 2 Copies support post footer sketch indicating size of footers. Fences to be used as a Pool Barrier (other than chain link fence) must include an accurate sketch or drawing indicating barrier requirement compliance.
- N/A 2 Copies, if fence crosses any easement, Easement agreement from all utility companies are required. Agreement form included in permit package.
EXISTING FENCE - N/A AS PER BUILDING OFFICIAL ADAMS

Typical Fence Footer

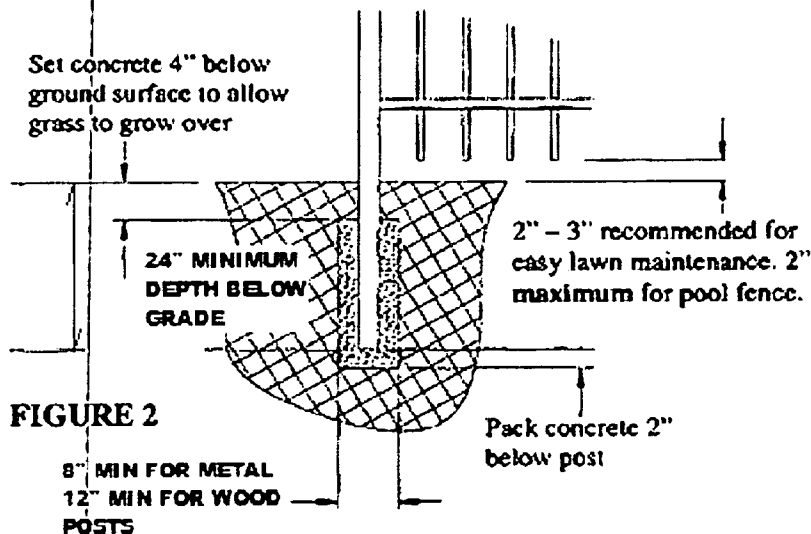


FIGURE 2

ASPHALT

FND N & W
CNR

RIO VISTA DRIVE

(30' R/W)

FND 4X4 CM
NO ID
E 0.24'

15.00

N62°32'45"E

2' CVG

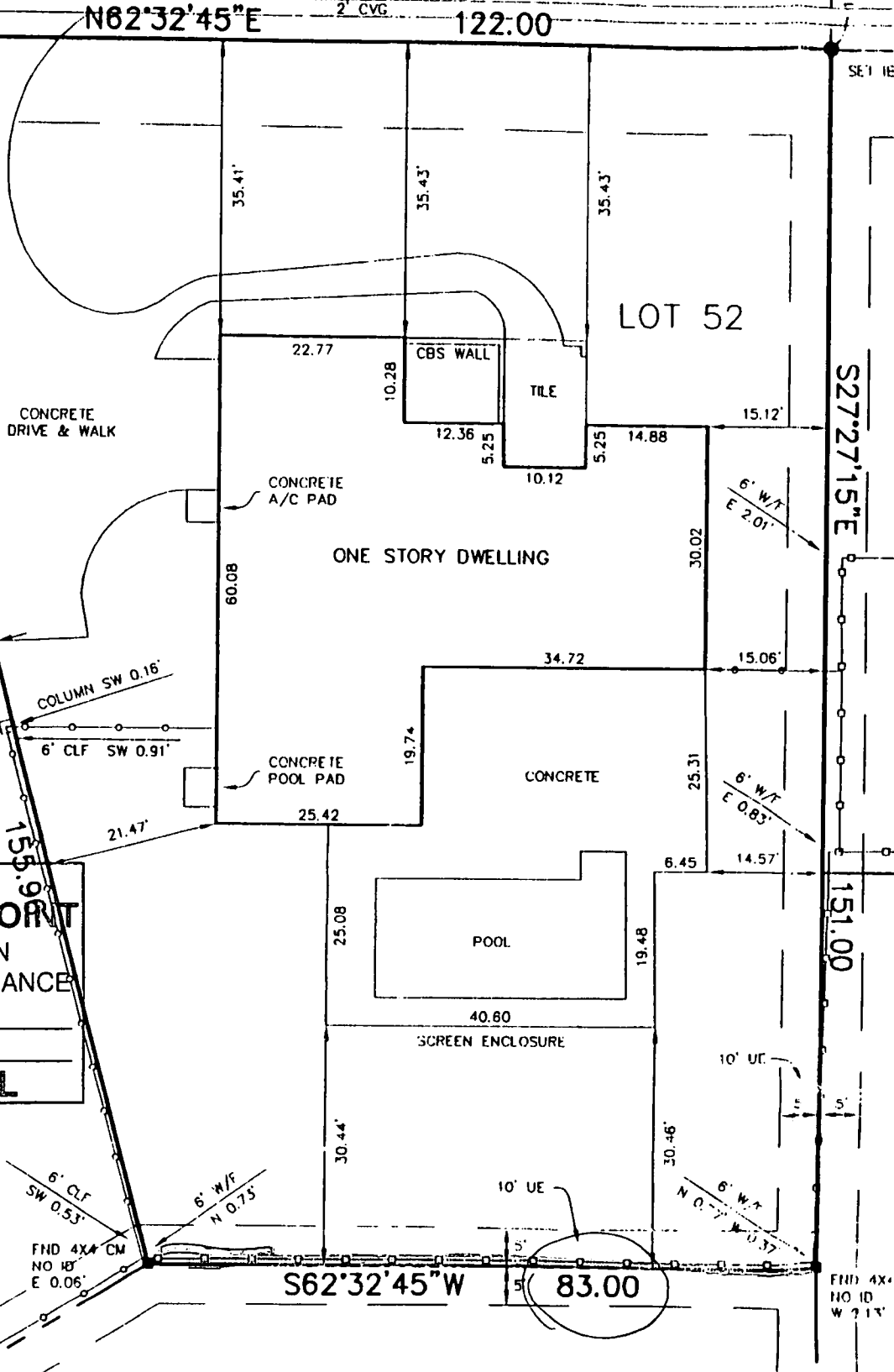
122.00

WM

FND 4X4 CM
NO ID

3.68' (P)

SE 1 IE



LOT 52

CONCRETE
DRIVE & WALK

CONCRETE
A/C PAD

ONE STORY DWELLING

CONCRETE
POOL PAD

CONCRETE

POOL

SCREEN ENCLOSURE

10' UE

10' UE

S62°32'45"W

83.00

FND 4X4
NO ID
W 2.13'

LOT 51

N41°56'09"W

NE 0.34'

COLUMN SW 0.16'

6' CLF SW 0.91'

15.59'

21.47'

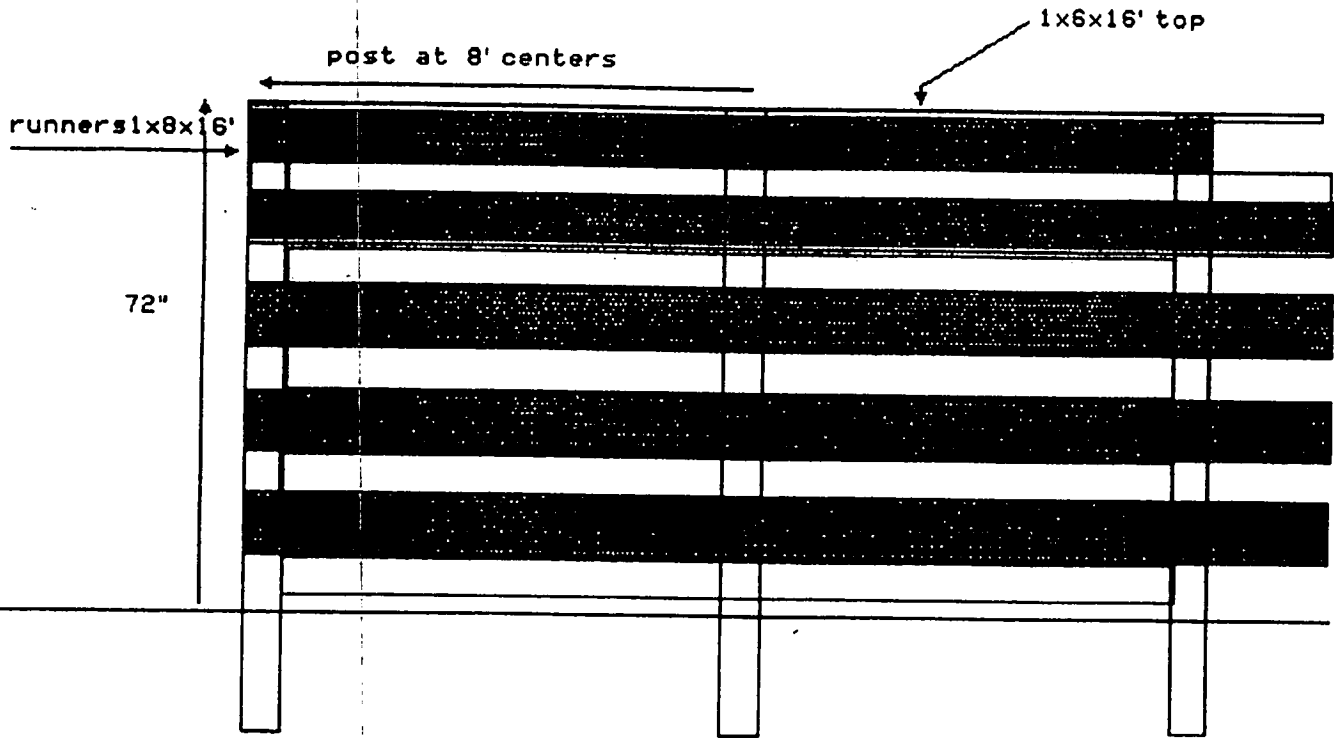
6' CLF
SW 0.53'

6' W/F
N 0.75'

FND 4X4 CM
NO ID
E 0.06'

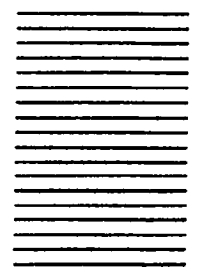
6' W/F
N 0.75' E 10.37'

FILE COPY
TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE 5-19-08
 BUILDING OFFICIAL



4x4x8pt

all materials are pt-wood galv-nails and all post concrete



TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

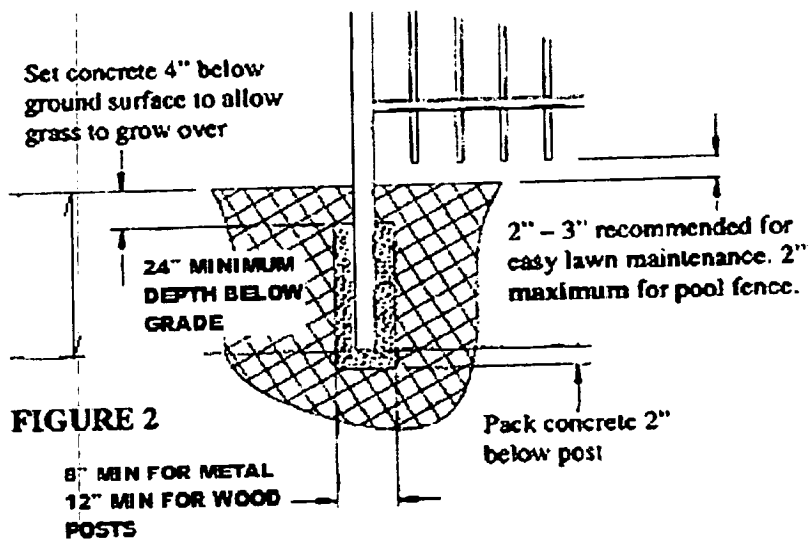


FIGURE 2

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 10-4-11 Page 1 of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9887	Grochew	rough electric	PASS	
9AM	11 Rio Vista Dr	plumbing	PASS	
	Glenmark	CATACOM REMODEL		INSPECTOR <i>JS</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9807	Lawless	all trades	PARTIAL	OK PO
1-130 4PM	12 Mandalay	rough elec plumbing	PASS	INSULATE
	OB	AC + framing		INSPECTOR <i>JS</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9883	Sapp	Final AC		
AM	6 Miramar		PASS	Close
	Knauss & Crane	(pull down attic)		INSPECTOR <i>JS</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9153	Bellingham	all trades		
PM	2 Via de Christo	R. ETC. Refrums	PASS	
	Masterpiece	R. AC & FRAMING		INSPECTOR <i>JS</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
8907	6 Rio Vista	FENCE		
	11 Rio Vista	FINISH	PASS	Close
	o/p			INSPECTOR <i>JS</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

9887

BATHROOM

REMODEL



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	9887	DATE ISSUED:	SEPTEMBER 30, 2011
SCOPE OF WORK:	BATHROOM REMODEL		
CONTRACTOR:	GLENMARK HOMES		
PARCEL CONTROL NUMBER:	123841002-000-005208	SUBDIVISION	RIO VISTA - LOT 52
CONSTRUCTION ADDRESS:	11 RIO VISTA DR		
OWNER NAME:	GIACHINO		
QUALIFIER:	GLEN HUTCHINS	CONTACT PHONE NUMBER:	225-7010

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

Permit Number: **9887**

Date: 9/20/11
 OWNER/TITLEHOLDER NAME: FERNANDO GIACHINO Phone (Day) 287-0980 (Fax) 220-0815
 Job Site Address: #11 RIO VISTA DR City: SEWELLS PT State: FL Zip: 34995
 Legal Description RIO VISTA S/D LOT 52 MAP PG NO SP-04 Parcel Control Number: 12-38-41-002-000-00520-8
 Owner Address (if different): _____ City: _____ State: _____ Zip: _____

SCOPE OF WORK (PLEASE BE SPECIFIC): Pathroom remodel

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner Builder questionnaire must accompany application)
 YES _____ NO X
Has a Zoning Variance ever been granted on this property?
 YES _____ (YEAR) _____ NO X
 (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
 Estimated Value of Improvements: \$ 5500.00
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
 Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
 Estimated Fair Market Value prior to improvement: \$ _____
 (Fair Market Value of the Primary Structure only, Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: GLEN MARK HOMES INC Phone: 225-7010 Fax: 225-7010
 Qualifiers name: GLEN HUTCHINS Street: P.O. BOX 654 City: STUART State: FL Zip: 34996

State License Number: CBC 056057 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: GLEN HUTCHINS Phone Number: 341-2750

DESIGN PROFESSIONAL: _____ Fla. License# _____

Street: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/Porches: _____ Enclosed Storage: _____

Carpport: _____ Total under Roof _____ Elevated Deck _____ Enclosed area below BFE* _____
 * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007
 National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

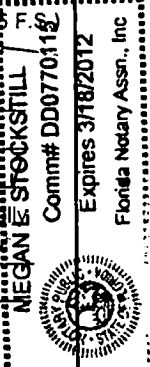
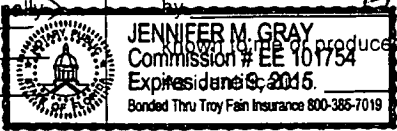
- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
- THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

*******A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER NOTORIZED SIGNATURE: (required per 713.135 F.S.)
 OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)
X Fernando Giachino
 State of Florida, County of: Martin
 On This the 20th day of September, 2011
 by Fernando Giachino who is personally
 known to me or produced
 As identification. Jennifer M Gray
 Notary Public
 My Commission Expires: 6/9/15

CONTRACTOR NOTORIZED SIGNATURE: (required per 713.135 F.S.)
Glen Hutchins
 State of Florida, County of: MARTIN
 On This the 22 day of September 2011
 by Glen Hutchins who is personally
 known to me or produced
 As identification. Megan E Stockstill
 Notary Public
 My Commission Expires: 3/18/12



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**Martin County, Florida
Laurel Kelly, C.F.A**
generated on 9/22/2011 11:58:35 AM EDT
Summary

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
12-38-41-002-000-00520-8	27565	11 RIO VISTA, SEWALL'S POINT	\$238,860	9/17/2011

Owner Information

Owner(Current)	GIACHINO FERNANDO
Owner/Mail Address	11 RIO VISTA DR STUART FL 34996
Sale Date	2/26/2004
Document Book/Page	1866 0896
Document No.	1728661
Sale Price	360000

Location/Description

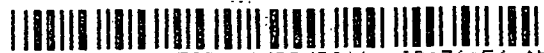
Account #	27565	Map Page No.	SP-04
Tax District	2200	Legal Description	RIO VISTA S/D LOT 52
Parcel Address	11 RIO VISTA, SEWALL'S POINT		
Acres	.3680		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120250 RIO VISTA DRY

Assessment Information

Market Land Value	\$127,000
Market Improvement Value	\$111,860
Market Total Value	\$238,860



NOTICE OF COMMENCEMENT

To be completed when construction value exceeds \$2,500.00

PERMIT #: _____ TAX FOLIO # 12-38-41-002-000-00520-8

STATE OF FLORIDA COUNTY OF MARTIN

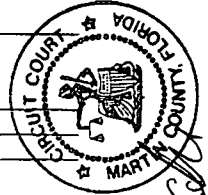
The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS, IF AVAILABLE):
RIO VISTA S/D LOT-52 MAP PAGE NO SP-04

GENERAL DESCRIPTION OF IMPROVEMENT: BATH REMODEL

OWNER INFORMATION OR LESSEE INFORMATION, IF THE LESSEE CONTRACTED FOR THE IMPROVEMENT:

Name: FERNANDO GIACHINO
Address: #11 RIO VISTA DR, SEWELLS PT, FL, 34445
Interest in property: OWNER
Name and address of fee simple title holder (If different from Owner listed above): _____



CONTRACTOR'S NAME: GLENMARK HOMES INC. Phone No.: 772-225-7010
Address: P.O. BOX 654, STUART, FL, 34995

SURETY COMPANY (If applicable, a copy of the payment bond is attached):
Name and address: _____
Phone No.: _____ Bond amount: _____

LENDER'S NAME: _____ Phone No.: _____
Address: _____

Persons within the State of Florida designated by owner upon whom notices or other documents may be served as provided by (1) (a) 7, Florida Statutes:
Name: _____ Phone No.: _____
Address: _____

In addition to himself or herself, owner designates _____ of _____ to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.
Phone number of person or entity designated by Owner: _____

Expiration date of Notice of Commencement:
(the expiration date may not be before the completion of construction and final payment to the contractor, but will be 1 year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Under penalty of perjury, I declare that I have read the foregoing and that the facts in it are true to the best of my knowledge and belief.

x [Signature]
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager/Attorney-in-fact

Signatory's Title/Office

The foregoing instrument was acknowledged before me this 20th day of September, 2011

By: Fernando Giachino as _____ for _____
Name of person Type of authority (e.g. officer, trustee) Party on behalf of whom instrument was executed

[Signature]
(Notary's Signature)

Personally known or produced identification
Type of identification produced _____

(Print, Type, or Stamp Commissioned Name of Notary)



STATE OF FLORIDA
MARTIN COUNTY
THIS IS TO CERTIFY THAT THE
FOREGOING _____ PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL
MARSHA EWING, CLERK
DATE: 9-22-11



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: _____

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Fernando Giachino

CONSTRUCTION ADDRESS: #11 Rio Vista Dr, Sewells Pt, Fl. 34996

PERMIT TYPE: RESIDENTIAL _____ COMMERCIAL

- ELECTRIC
- _____ PLUMBING
- _____ HVAC
- _____ IRRIGATION
- _____ FUEL GAS
- _____ ROOFING

TYPE OF SERVICE: _____ NEW SERVICE _____ EXISTING SERVICE OTHER

SCOPE OF WORK: Install new shower light

VALUE OF CONSTRUCTION \$ 250.00

_____ LOW VOLTAGE
TYPE OF EQUIPMENT: _____ SECURITY _____ VACUUM _____ SOUND SYSTEM _____ LANDSCAPE _____ OTHER
SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

SIGNATURE OF LICENSED CONTRACTOR

ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME:

TELEPHONE NO:

PLEASE PRINT

FAX NO:

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER:

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: _____

PARCEL CONTROL #: _____

SUBDIVISION: _____

LOT: _____

BLK: _____

PHASE: _____

SITE ADDRESS: _____

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

Handwritten initials



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: _____

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Fernando Giachino

CONSTRUCTION ADDRESS: 11 Rio Vista Dr Sewalls Point 34996

PERMIT TYPE: RESIDENTIAL _____ COMMERCIAL

- _____ ELECTRIC
- PLUMBING
- _____ HVAC
- _____ IRRIGATION
- _____ FUEL GAS

TYPE OF SERVICE: _____ NEW SERVICE EXISTING SERVICE _____ OTHER

SCOPE OF WORK: Re-Model Bath

VALUE OF CONSTRUCTION \$ 500⁰⁰

_____ LOW VOLTAGE
TYPE OF EQUIPMENT: _____ SECURITY _____ VACUUM _____ SOUND SYSTEM _____ LANDSCAPE _____ OTHER
SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

[Signature]
SIGNATURE OF LICENSED CONTRACTOR 2551 SE Clayton St. Stuart, FL 34997
ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: Master Plumbing Inc of Manatee County
TELEPHONE NO: (772) 287-2366 PLEASE PRINT FAX NO: (772) 287-0194

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: _____

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: _____

PARCEL CONTROL #: _____

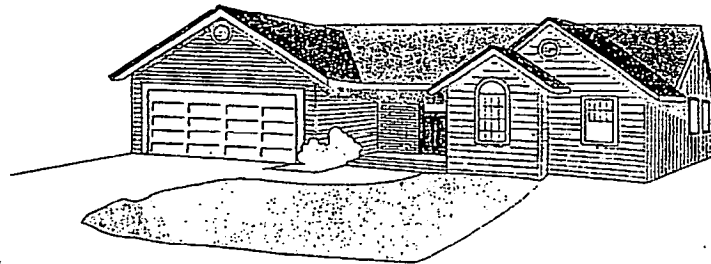
SUBDIVISION: _____ LOT: _____ BLK: _____ PHASE: _____

SITE ADDRESS: _____

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

GLENMARK HOMES Inc.

P.O BOX 654, Stuart, FLORIDA 34995
PH#772-225-7010*****LIC#CBC056057



Attn: Mr. John Adams
Sewells Point Building Dept.

September 21, 2011

RE: Bath Remodel for
Mr. Fernando Giachino
#11 Rio Vista Drive
Stuart, Florida

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

BATHROOM REMODEL PROJECT

- #1 – Demolish all existing drywall, tile and vanities.
- #2 – Install new tub and shower valve.
- #3 – Install new shower light and switch.
- #4 – Re-install new drywall, floor and wall tile.
- #5 – Re-install existing toilet and vanity.
- #6 – Re-paint and complete project.

Please feel free to contact us with any additional questions.

Respectfully,

Glen Hutchins
Glenmark Homes, Inc.
Cell# (772)341-2750

Pro Controls - Elec-
m... ..

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

10-4-11

Page 1 of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9881	Quiddo	rough electric	Pass	
9AM	H Rio Vista DE	plumbing	Pass	
	Quiddo	plumbing	Pass	INSPECTOR <i>JF</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9807	Lawless	all trades	PARTIAL	OK FO
1-130	12 Mandalay	rough, elec plumbing	PASS	INSULATE
4PM	OB	AC + framing		INSPECTOR <i>JF</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9883	Sapp	Final		
AM	6 Miramar	AC	PASS	Close
	Knauss & Crane	(pull down attic)		INSPECTOR <i>JF</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9153	Bellingham	all trades		
PM	2 Via de Cristo	R. Elec. Reframo	PASS	
	Masterpiece	R. AC & Framing		INSPECTOR <i>JF</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
8907	GIACCHINO	FENCE		
	H Rio Vista	FINAL	PASS	Close
	o/p			INSPECTOR <i>JF</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **11-30-11** Page **1** of **1**

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9937	Fender 3 Oakwood Miranda	final duct	PASS	CLOSE INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
0887	Graham	Final	PASS	CLOSE
1st	Glenmark	Packhouse	PASS	CLOSE INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9073	Leason	final		
930	101 N Sewalls Energized Elec	generator gas	PASS	CLOSE INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9940	Lynn 20 E. KAREN PT SEAGATE	GAS LINE	PASS	 INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

10088
ADDITION
BEDROOM & BATH



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10088	DATE ISSUED:	MAY 9, 2012
SCOPE OF WORK:	ADDITION (BEDROOM & BATH) (340 SQFT)		
CONTRACTOR:	GLENMARK HOMES		
PARCEL CONTROL NUMBER:	123841002-000-005208	SUBDIVISION	RIO VISTA - LOT 52
CONSTRUCTION ADDRESS:	11 RIO VISTA DR		
OWNER NAME:	GIACHINO		
QUALIFIER:	GLEN HUTCHINS	CONTACT PHONE NUMBER:	225-7010

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING _____
 UNDERGROUND MECHANICAL _____
 STEM-WALL FOOTING _____
 SLAB _____
 ROOF SHEATHING _____
 TIE DOWN /TRUSS ENG _____
 WINDOW/DOOR BUCKS _____
 ROOF DRY-IN/METAL _____
 PLUMBING ROUGH-IN _____
 MECHANICAL ROUGH-IN _____
 FRAMING _____
 FINAL PLUMBING _____
 FINAL MECHANICAL _____
 FINAL ROOF _____

UNDERGROUND GAS _____
 UNDERGROUND ELECTRICAL _____
 FOOTING _____
 TIE BEAM/COLUMNS _____
 WALL SHEATHING _____
 INSULATION _____
 LATH _____
 ROOF TILE IN-PROGRESS _____
 ELECTRICAL ROUGH-IN _____
 GAS ROUGH-IN _____
 METER FINAL _____
 FINAL ELECTRICAL _____
 FINAL GAS _____
 BUILDING FINAL _____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: 10080

Date:
OWNER/LESSEE NAME: FERNANDO GIACHINO Phone (Day) 287-0980 (Fax)
Job Site Address: #11 N10 VISTA DR City: SEWELLS PT State: FL Zip: 34996
Legal Description LOT-52 - N10 VISTA Parcel Control Number: 12-38-41-002-000-00520-8
Fee Simple Holder Name: Address:
City: State: Zip: Telephone:

*SCOPE OF WORK (PLEASE BE SPECIFIC):

BEDROOM & BATH ADDITION

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES NO
Has a Zoning Variance ever been granted on this property?
YES (YEAR) NO
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 55,000.00
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: GLEN MARK HOMES INC Phone: 225-7010 Fax: 225-7010
Qualifiers name: GLEN HUTCHINS Street: P.O. BOX 654 City: STUART State: FL Zip: 34956
State License Number: CBC-056057 OR: Municipality: License Number: CBC-056057

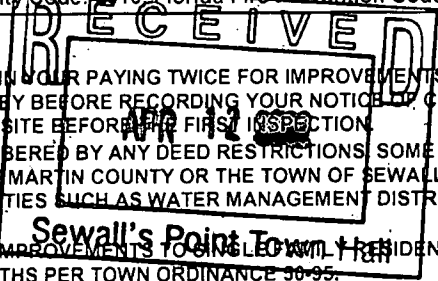
LOCAL CONTACT:
DESIGN PROFESSIONAL: KELLY & KELLY Fla. License#
Street: 119 SW 6TH ST City: STUART State: FL Zip: 34985 Phone Number: 283-3498

AREAS SQUARE FOOTAGE: Living: 340 Garage: Covered Patios/ Porches: Enclosed Storage:
Carport: Total under Roof Elevated Deck: Enclosed area below BFE*:
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE-FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 36-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.



***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE, AND THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER /AGENT/LESSEE, NOTARIZED SIGNATURE:
X [Signature] #DD 978748
State of Florida, County of: Martin
On This the 12th day of Apr
by Fernando Giachino who is personally known to me or produced
As identification: [Signature]
Notary Public

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:
X [Signature] #DD 978748
State of Florida, County of: Martin
On This the 12 day of Apr
by Glen K Hutchins who is personally known to me or produced
As identification: [Signature]
Notary Public

My Commission Expires:
SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**Martin County, Florida
Laurel Kelly, C.F.A**

generated on 4/12/2012 10:09:26 AM EDT

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-002-000-00520-8	27565	11 RIO VISTA DR, SEWALL'S POINT	\$238,860	4/7/2012

Owner Information

Owner(Current)	GIACHINO FERNANDO
Owner/Mail Address	11 RIO VISTA DR STUART FL 34996
Sale Date	2/26/2004
Document Book/Page	1866 0896
Document No.	1728661
Sale Price	360000

Location/Description

Account #	27565	Map Page No.	SP-04
Tax District	2200	Legal Description	RIO VISTA S/D LOT 52
Parcel Address	11 RIO VISTA DR, SEWALL'S POINT		
Acres	.3680		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120250 RIO VISTA DRY

Assessment Information

Market Land Value	\$127,000
Market Improvement Value	\$111,860
Market Total Value	\$238,860

INSTR # 2330108
OR BK 02576 PG 0188
Pg 0188; (1pg)
RECORDED 05/09/2012 09:54:01 AM
MARSHA EWING
CLERK OF MARTIN COUNTY FLORIDA
RECORDED BY C Oliveri

NOTICE OF COMMENCEMENT
TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$50,000

PERMIT #: _____ TAX FOLIO #: 12-38-41-002-000-00520-8

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):
LOT-22 N10 VISTA S/D MAP PAGE NO- SP-04

GENERAL DESCRIPTION OF IMPROVEMENT: ADDITION

OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT
NAME: FERNANDO GIACHINO
ADDRESS: #11 N10 VISTA DR, SEWELLS PT, FL, 3
PHONE NUMBER: 257-0980 FAX NUMBER: _____
INTEREST IN PROPERTY: OWNER

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR: GLENMARK HOMES INC, GLEN HUTCHINS
ADDRESS: P.O. BOX 654 STUART FL 34956
PHONE NUMBER: 225-7010 FAX NUMBER: 225-7010

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED)
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____
BOND AMOUNT: _____

LENDER/MORTGAGE COMPANY:
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:
NAME: _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____
TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B),
FLORIDA STATUTES:
PHONE NUMBER: _____ FAX NUMBER: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
(EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

[Signature]
SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY-IN-FACT

SIGNATORY'S TITLE/OFFICE Christine Rowell

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 7th DAY OF FEBRUARY 2012



CHRISTINE ROWELL
Commission # DD 912067
Expires August 1, 2013
Bonded Thru Troy Fair Insurance 800-333-7019

BY: _____ AS _____ FOR _____
NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN X OR PRODUCED IDENTIFICATION _____



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

SUBCONTRACTORS LIST
 RESIDENTIAL, ADDITIONS, COMMERCIAL

APPLICANT'S NAME FERNANDO GIACHINO BLDG. PERMIT # 10088

MAILING ADDRESS #11 NO VISTA DR.

PLEASE PROVIDE A PRELIMINARY SUBCONTRACTORS LIST FOR VERIFICATION. THIS LIST WILL BE RETURNED TO YOU WHEN THE BUILDING PERMIT IS ISSUED TO ENABLE YOU TO COMPLETE AND RETURN TO THE BUILDING DEPARTMENT. WE REQUIRE, PRIOR TO STARTING WORK, UPDATES, CHANGES AND ADDITIONS THROUGHOUT CONSTRUCTION. USING UNLICENSED CONTRACTORS OR SUBCONTRACTORS MAY PREVENT YOU FROM BEING ELIGIBLE FOR INSPECTIONS AND OR A CERTIFICATE OF OCCUPANCY. FOR INFORMATION CONTACT THE CONTRACTOR'S LICENSING OFFICE AT (772) 288-5482 OR (772) 288-5917. PLEASE INCLUDE ALL MUNICIPAL COMPETENCY CARD NUMBERS OR STATE CERTIFICATION NUMBERS. (NOT OCCUPATIONAL LICENSE NUMBERS)

font 225-7010

[Handwritten initials and marks in left margin]

	TYPE	COMPANY NAME	LICENSE NUMBER
	CONCRETE - FORM		
CFI	- FINISH	GHEENMARK HOMES INC	CBC - 056 057
BM	BLOCK MASON	CASTLE BLOCK	
CB	COLUMNS & BEAMS		
CA	CARPENTRY ROUGH	GHEENMARK HOMES INC	CBC - 056 057
GD	GARAGE DOOR	NA	
DH	DRYWALL - HANG	TOM'S DRYWALL SERVICE	MCNS 4170
DF	- FINISH		REX 0066021
	INSULATION	DAVIDSON	SPO 0375
LA	LATHING	PAWMCITY PLASTERING	SPO 3049
FI	FIREPLACE	NA	
PAV	PAVERS	NA	
AL	ALUMINUM	NA	
LP	LP GAS	NA	
PAV	PAINTING	GHEENMARK HOMES	CBC - 056 057
PL	PLASTER & STUCCO	PAWMCITY PLASTER.	SPO 3049
ST	STAIRS & RAILS	NA	
RO	ROOFING	ON STONE	CCC 132 8494
TM	TILE & MARBLE	GHEENMARK HOMES	CBC - 056 057
WD	WINDOWS & DOORS		
PLU	* PLUMBING	MASTER PLUMBING	CFC 05 75 28
	* HARV	STACIE HEATING & AIR	CAC 1815129
EL	* ELECTRICAL	PRO CONTROL	EL - 0008347



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

AL	* LOW VOLTAGE BURGLAR ALARM	NA	-
VS	VACUUM SOUND	NA	-
IR	* IRRIGATION	NA	-
SH	SHUTTERS	ALL SHUTTER & SCREEN	SCC 131149809

* REQUIRES SEPARATE VERIFICATION FORMS.

I CERTIFY THAT THE INFORMATION STATED ON THE SUBCONTRACTORS' LIST IS ACCURATE AND THAT ALL WORK WILL BE PERFORMED BY MUNICIPAL OR STATE LICENSED CONTRACTORS. I UNDERSTAND THAT A COMPLETE NOTARIZED SUBCONTRACTORS LIST IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

[Handwritten Signature]

SIGNATURE OF CONTRACTOR
 (OR OWNER BUILDER IF APPLICABLE)

STATE OF Florida
 COUNTY OF Martin

SWORN TO AND SUBSCRIBED before me this 12th day
 of April, 2012

[Handwritten Signature]
 NOTARY PUBLIC



ALEXIS HULL
 NOTARY PUBLIC
 STATE OF FLORIDA
 Comm# EE175695
 Expires 3/4/2016

MY COMMISSION EXPIRES: March 4, 2016

TOWN OF SEWALL'S POINT

JACQUI THURLOW-
LIPPISCH
Mayor

PAUL SCHOPPE
Vice Mayor

THOMAS P BAUSCH
Commissioner

PAMELA BUSHA
Commissioner

PAUL LUGER
Commissioner

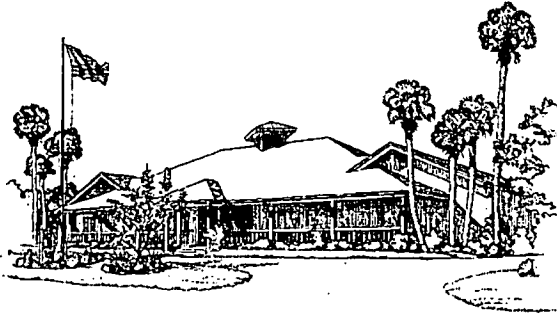
ROBERT L. KELLOGG
Town Manager

ANN-MARIE S. BASLER
Town Clerk

ERIC CERNIGLIA
Chief of Police

JOHN R. ADAMS
Building Official

JOSE TORRES
Maintenance



DATE: May 22, 2012
TO: Glenmark Homes
FAX #: 225-7010
RE: Contractor Licensing

For: 11 Rio Vista Dr - GIACHINO - PN 10088

STILL PENDING

OK CASTLE BLOCK - General Liability and Workers Comp Insurance naming the Town of Sewall's Point as the Certificate Holder, License and Business Tax Receipt - *Stuart*

OK ~~WILLIAM BRENDA DRYWALL~~ *Tony's Drywall* General Liability Insurance naming the Town of Sewall's Point as the Certificate Holder *JL - BTR*

OK PALM CITY PLASTERING - Business Tax Receipt

Thank you,

Valerie



One S. Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (772) 287-2455 • Fax (772) 220-4765 • E-Mail: clerk@sewallspoint.martin.fl.us
Police Department (772) 781-3378 • Fax (772) 286-7669 • E-Mail: sppd@sewallspoint.martin.fl.us

HP Color LaserJet CM1312nfi MFP

Fax Confirmation Report

HP LASERJET FAX

May-22-2012 7:54AM

Job	Date	Time	Type	Identification	Duration	Pages	Result
186	5/22/2012	7:53:55AM	Send	2257010	0:44	1	OK

TOWN OF SEWALL'S POINT

JACQUL THURLOW-
LIPPISCH
Mayor

PAUL SCHOPPE
Vice Mayor

THOMAS P BAUSCH
Commissioner

PAMELA BUSHA
Commissioner

PAUL LUGER
Commissioner



ROBERT L. KELLOGG
Town Manager

ANN-MARIE S. BASLER
Town Clerk

ERIC CERNIGLIA
Chief of Police

JOHN R. ADAMS
Building Official

JOSE TORRES
Maintenance

DATE: May 22, 2012
TO: Glenmark Homes
FAX #: 225-7010
RE: Contractor Licensing

For: 11 Rio Vista Dr - GIACHINO - PN 10088

STILL PENDING

CASTLE BLOCK - General Liability and Workers Comp Insurance naming the Town of Sewall's Point as the Certificate Holder, License and Business Tax Receipt

WILLIAM BRED A DRYWALL - General Liability Insurance naming the Town of Sewall's Point as the Certificate Holder

PALM CITY PLASTERING - Business Tax Receipt

Thank you,

Valerie



One S. Sewall's Point Road, Sewall's Point, Florida 34986
Town Hall (772) 287-2455 • Fax (772) 220-4765 • E-Mail: clerk@sewallspoint.martin.fl.us
Police Department (772) 781-3378 • Fax (772) 288-7689 • E-Mail: sppd@sewallspoint.martin.fl.us

TOWN OF SEWALL'S POINT

JACQUI THURLOW-
LIPPISCH
Mayor

PAUL SCHOPPE
Vice Mayor

THOMAS P BAUSCH
Commissioner

PAMELA BUSHA
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PAUL LUGER
Commissioner

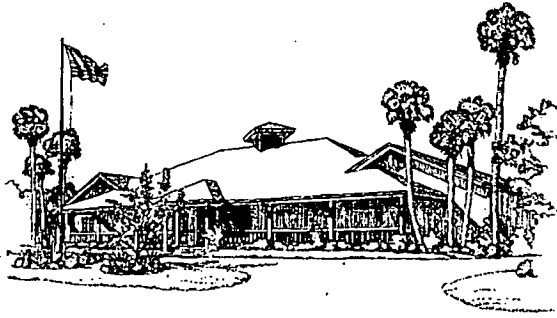
ROBERT L. KELLOGG
Town Manager

ANN-MARIE S. BASLER
Town Clerk

ERIC CERNIGLIA
Chief of Police

JOHN R. ADAMS
Building Official

JOSE TORRES
Maintenance



DATE: April 13, 2012
TO: Glenmark Homes
FAX #: 225-7010
RE: Contractor Licensing

*Still pending
5-4-12*

*Gen
341-2750*

For: 11 Rio Vista Dr - GIACHINO

NOC

PN10088

Please provide the following:

OK

GLENMARK HOMES - General Liability & Workers Comp Insurance naming the Town of Sewall's Point as the Certificate Holder

CASTLE BLOCK - General Liability and Workers Comp Insurance naming the Town of Sewall's Point as the Certificate Holder, License and Business Tax Receipt

WILLIAM BRED A DRYWALL - General Liability Insurance naming the Town of Sewall's Point as the Certificate Holder

PALM CITY PLASTERING - General Liability and Workers Comp Insurance naming the Town of Sewall's Point as the Certificate Holder and Business Tax Receipt

OK

ST LUCIE HEATING & A/C - General Liability and Workers Comp Insurance naming the Town of Sewall's Point as the Certificate Holder, Business Tax Receipt and Contractor Verification form

OK

PRO CONTROL ELECTRIC - General Liability Insurance naming the Town of Sewall's Point as the Certificate Holder

OK

ALL SHUTTERS & SCREENS - General Liability and Workers Comp Insurance naming the Town of Sewall's Point as the Certificate Holder and Business Tax Receipt

Thank you

Valerie



One S. Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (772) 287-2455 • Fax (772) 220-4765 • E-Mail: clerk@sewallspoint.martin.fl.us
Police Department (772) 781-3378 • Fax (772) 286-7669 • E-Mail: sppd@sewallspoint.martin.fl.us

Handwritten initials/signature



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

St Lucie Heating & A/C

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: _____

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Fernando Bignardino

CONSTRUCTION ADDRESS: 11 Rio Vista Dr.

PERMIT TYPE: RESIDENTIAL _____ COMMERCIAL

- _____ ELECTRIC
- _____ PLUMBING
- HVAC
- _____ IRRIGATION
- _____ FUEL GAS

TYPE OF SERVICE: _____ NEW SERVICE _____ EXISTING SERVICE OTHER

SCOPE OF WORK: Increasing A/C Tonnage & Duct work to Handle Addition

VALUE OF CONSTRUCTION \$ 6135⁰⁰

_____ LOW VOLTAGE
TYPE OF EQUIPMENT: _____ SECURITY _____ VACUUM _____ SOUND SYSTEM _____ LANDSCAPE _____ OTHER
SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

Joseph C. Carr
SIGNATURE OF LICENSED CONTRACTOR 6113 Cassia Dr. Ft. Pierce, FL 34982
ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: Joseph C. Carr

TELEPHONE NO: 772-467-3220 FAX NO: 772-468-9216
PLEASE PRINT

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: CAC1815179

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: _____

PARCEL CONTROL #: _____

SUBDIVISION: _____ LOT: _____ BLK: _____ PHASE: _____

SITE ADDRESS: _____

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

Handwritten initials/signature in top left corner.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

Handwritten signature: PRO Control

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: _____

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Fernando Giachino

CONSTRUCTION ADDRESS: 11 Rio Vista Dr

PERMIT TYPE: RESIDENTIAL _____ COMMERCIAL

- ELECTRIC
- PLUMBING
- HVAC
- IRRIGATION
- FUEL GAS
- ROOFING

TYPE OF SERVICE: _____ NEW SERVICE EXISTING SERVICE _____ OTHER

SCOPE OF WORK: Bed + Bath Addition

VALUE OF CONSTRUCTION \$ 1500.00

_____ LOW VOLTAGE	
TYPE OF EQUIPMENT: _____ SECURITY _____ VACUUM _____ SOUND SYSTEM _____ LANDSCAPE _____ OTHER	
SCOPE OF WORK: _____	VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

[Signature] SIGNATURE OF LICENSED CONTRACTOR 1032x 84 Jensen bcl FL 34957 ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: Michael Caragliola

TELEPHONE NO: 561 3715 726 PLEASE PRINT FAX NO: 772 334 2747

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: FR 0000 8347

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: _____

PARCEL CONTROL #: _____

SUBDIVISION: _____ LOT: _____ BLK: _____ PHASE: _____

SITE ADDRESS: _____

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

APC



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: _____

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Fernando Giachino

CONSTRUCTION ADDRESS: #11 Rivolista, Sewall's Point, FL 34996

PERMIT TYPE: RESIDENTIAL _____ COMMERCIAL

- _____ ELECTRIC
- PLUMBING
- _____ HVAC
- _____ IRRIGATION
- _____ FUEL GAS
- _____ ROOFING

TYPE OF SERVICE: _____ NEW SERVICE _____ EXISTING SERVICE _____ OTHER

SCOPE OF WORK: Bathroom Addition

VALUE OF CONSTRUCTION \$ 205,000

_____ LOW VOLTAGE	
TYPE OF EQUIPMENT: _____ SECURITY _____ VACUUM _____ SOUND SYSTEM _____ LANDSCAPE _____ OTHER	
SCOPE OF WORK: _____	VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

[Signature]
SIGNATURE OF LICENSED CONTRACTOR

2051 SE Clayton St. Stuart, FL 34997
ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: Master's Plumbing Inc of Manatee County

TELEPHONE NO: (772) 287-2366 FAX NO: (772) 287-0194

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: CFL 1428579

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: _____

PARCEL CONTROL #: _____

SUBDIVISION: _____ LOT: _____ BLK: _____ PHASE: _____

SITE ADDRESS: _____

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

JACQUI THURLOW-
LIPPISCH
Mayor

PAUL SCHOPPE
Vice Mayor

THOMAS P. BAUSCH
Commissioner

PAMELA M. BUSH
Commissioner

PAUL LUGER
Commissioner

ROBERT KELLOGG
Town Manager

JOHN R. ADAMS
Building Official

ERIC CERNIGLIA
Chief of Police

ANN-MARIE
SULLIVAN BASLER
Town Clerk

JOSE TORRES, JR.
Maintenance



CONDITIONS FOR PERMIT APPROVAL

DATE OF PERMIT APPLICATION: 04/12/2012

DATE: 04/17/2012

APPLICATION DESCRIPTION: SFR ADDITION

APPLICATION ADDRESS: 11 RIO VISTA DRIVE, SEWALL'S POINT, FL

Fay 275-7010

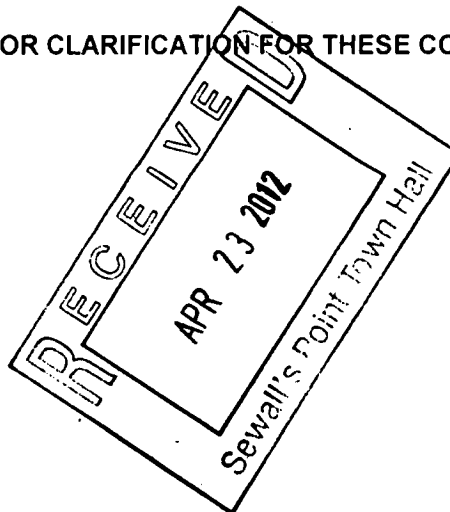
THE FOLLOWING ITEMS ARE NOTED FOR CORRECTION AND ARE CONDITIONS FOR APPROVAL FOR THE ABOVE REFERENCED PERMIT APPLICATION:

1. AS OF MARCH 15, 2012, ALL PERMIT SUBMITTALS MUST INDICATE COMPLIANCE WITH THE 2010 FLORIDA BUILDING CODE

IF YOU NEED FURTHER INFORMATION OR CLARIFICATION FOR THESE CONDITIONS, DO NOT HESITATE TO CONTACT ME.

WITH REGARDS,


JOHN R. ADAMS, CBO
BUILDING OFFICIAL



*4-18-12
Ret'd submittals
to Glen Hutchins*

*4-23-12
Ret'd forms
back*



One S. Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (772) 287-2455 • Fax (772) 220-4765 • E-Mail: clerk@sewallspoint.martin.fl.us
Building Department (772) 287-2455 • Fax (772) 220-4765 • E-Mail: jadams@sewallspoint.martin.fl.us



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

CONTRACTOR OR OWNER /BUILDER ASBESTOS NOTIFICATION STATEMENT

Date: 4/18/12 Building Permit # _____
 Site Address: #11 N10 VISTA DR, SEWELLS PT, FL, 34996

FBC 104.1.10 Asbestos. The enforcing agency shall require each building permit for the demolition or renovation of an existing structure to contain an asbestos notification statement which indicates the owner's or operator's responsibility to comply with the provisions of s. 469.003 Florida Statutes and to notify the Department of Environmental Protection of her or his intentions to remove asbestos, when applicable, in accordance with state and federal law. 469.003 License required.--

(1) No person may conduct an asbestos survey, develop an operation and maintenance plan, or monitor and evaluate asbestos abatement unless trained and licensed as an asbestos consultant as required by this chapter.

(2)(a) No person may prepare asbestos abatement specifications unless trained and licensed as an asbestos consultant as required by this chapter.

(b) Any person engaged in the business of asbestos surveys prior to October 1, 1987, who has been certified by the Department of Labor and Employment Security as a certified asbestos surveyor, and who has complied with the training requirements of s. 469.013(1)(b), may provide survey services as described in s. 255.553(1), (2), and (3). The Department of Labor and Employment Security may, by rule, establish violations, disciplinary procedures, and penalties for certified asbestos surveyors.

(3) No person may conduct asbestos abatement work unless licensed by the department under this chapter as an asbestos contractor, except as otherwise provided in this chapter.

FBC 105.3.6 Asbestos removal. (Owner /Builder Exemption)

Moving, removal or disposal of asbestos-containing materials on a residential building where the owner occupies the building, the building is not for sale or lease, and the work is performed according to the owner-builder limitations provided in this paragraph. To qualify for exemption under this paragraph, an owner must personally appear and sign the building permit application. The permitting agency shall provide the person with a disclosure statement in substantially the following form: **Disclosure Statement:** State law requires asbestos abatement to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own asbestos abatement contractor even though you do not have a license. You must supervise the construction yourself. You may move, remove or dispose of asbestos-containing materials on a residential building where you occupy the building and the building is not for sale or lease, or the building is a farm outbuilding on your property. If you sell or lease such building within 1 year after the asbestos abatement is complete, the law will presume that you intended to sell or lease the property at the time the work was done, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. Your work must be done according to all local, state and federal laws and regulations which apply to asbestos abatement projects. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances.

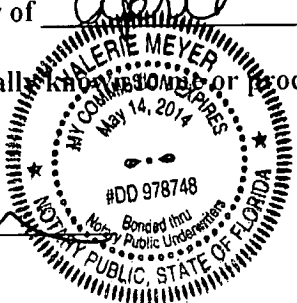
Contractor or Owner/Builder Signature [Signature]

Subscribed and sworn to before me this 18 day of April, 2012 personally appeared

Glen K. Hutchins who is personally known to me or produced FDU# 4325-291-58-343-0 as

identification, and who did/did not take an oath.

Notary Public Signature Valerie Meyer



Seal

FLORIDA BUILDING CODE, ENERGY CONSERVATION
Residential Building Thermal Envelope Approach ALL CLIMATE ZONES

Scope: Compliance with Section 402 of the *Florida Building Code, Energy Conservation*, shall be demonstrated by the use of Form 402 for single- and multiple-family residences of three stories or less in height, additions to existing residential buildings, renovations to existing residential buildings, new heating, cooling, and water heating systems in existing buildings, as applicable. To comply, a building must meet or exceed all of the energy efficiency requirements on Table 402A and all applicable mandatory requirements summarized in Table 402B of this form. If a building does not comply with this method or Alternate Form 402, it may still comply under Section 405 of the *Florida Building Code, Energy Conservation*.

PROJECT NAME: AND ADDRESS:	GIACHINO RESIDENCE 11 RIOYISTA DRIVE SEWALL'S Pt, FLORIDA	BUILDER:	PERMITTING OFFICE:
OWNER: Fernando + Chris Giachino	PERMIT NO.:	JURISDICTION NO.:	

General Instructions:

1. New construction which incorporates any of the following features cannot comply using this method: glass areas in excess of 20 percent of conditioned floor area, electric resistance heat and air handlers located in attics. Additions ≤ 600 sq. ft., renovations and equipment changeouts may comply by this method with exceptions given.
2. Fill in all the applicable spaces of the "To Be Installed" column on Table 402A with the information requested. All "To Be Installed" values must be equal to or more efficient than the required levels.
3. Complete page 1 based on the "To Be Installed" column information.
4. Read the requirements of Table 402B and check each box to indicate your intent to comply with all applicable items.
5. Read, sign and date the "Prepared By" certification statement at the bottom of page 1. The owner or owner's agent must also sign and date the form.

	Please Print	CK
1. New construction, addition, or existing building	1. ADDITION	_____
2. Single-family detached or multiple-family attached	2. _____	_____
3. If multiple-family—No. of units covered by this submission	3. _____	_____
4. Is this a worst case? (yes/no)	4. NO	_____
5. Conditioned floor area (sq. ft.)	5. 338	_____
6. Glass type and area:		
a. U-factor	6a. .57	_____
b. SHGC	6b. .34	_____
c. Glass area	6c. 93 sq. ft.	_____
7. Percentage of glass to floor area	7. 28 %	_____
8. Floor type, area or perimeter, and insulation:		
a. Slab-on-grade (R-value)	8a. R = 0 89 lin. ft.	_____
b. Wood, raised (R-value)	8b. R = _____ sq. ft.	_____
c. Wood, common (R-value)	8c. R = _____ sq. ft.	_____
d. Concrete, raised (R-value)	8d. R = _____ sq. ft.	_____
e. Concrete, common (R-value)	8e. R = _____ sq. ft.	_____
9. Wall type, area and insulation:		
a. Exterior:		
1. Masonry (Insulation R-value)	9a-1. R = 6 500 sq. ft.	_____
2. Wood frame (Insulation R-value)	9a-2. R = _____ sq. ft.	_____
b. Adjacent:		
1. Masonry (Insulation R-value)	9b-1. R = _____ sq. ft.	_____
2. Wood frame (Insulation R-value)	9b-2. R = _____ sq. ft.	_____
10. Ceiling type, area and insulation:		
a. Under attic (Insulation R-value)	10a. R = 30 sq. ft. 338	_____
b. Single assembly (Insulation R-value)	10b. R = _____ sq. ft.	_____
11. Air distribution system: Duct insulation, location, Qn		
a. Duct location, insulation	11a. R = 6 ATTIC	_____
b. AHU location	11b. _____	_____
c. Qn, Test report attached (< 0.03; yes/no)	11c. Test report attached? Yes No	_____
12. Cooling system:		
a. Type	12a. Type: EXISTING	_____
b. Efficiency	12b. SEER/EEER: _____	_____
13. Heating system:		
a. Type	13a. Type: EXISTING	_____
b. Efficiency	13b. HSPF/COP/AFUE: _____	_____
14. HVAC sizing calculation: attached	14. Yes (No)	_____
15. Hot water system:		
a. Type	15a. Type: EXISTING	_____
b. Efficiency	15b. EF: _____	_____

**TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY**

<p>I hereby certify that the plans and specifications covered by the calculation are in compliance with the Florida Energy Code.</p> <p>PREPARED BY: <u>Diana McDougall</u> DATE: <u>4/19/12</u></p> <p>I hereby certify that this building is in compliance with the Florida Energy Code:</p> <p>OWNER AGENT: <u>[Signature]</u> DATE: <u>19 APR 12</u></p>	<p>Review of plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.908, F.S.</p> <p>CODE OFFICIAL: <u>[Signature]</u></p> <p>DATE: <u>4-24-12</u></p>
--	---



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

PRODUCT APPROVAL CHECKLIST

Permit Type: Residential Permit Number _____ Date: 16 February 2012

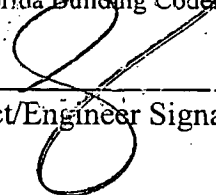
Owner's Name: Fernando & Chris Giachino Job Site Location: 11 Rio Vista Drive

Design Professional Name A/E: Gary R. Kelly – Kelly & Kelly Architects

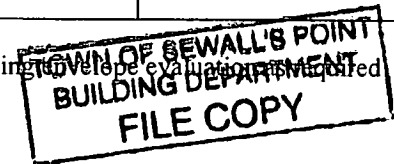
Rule 9 B-72 requires the following information as promulgated by the Florida Building Commission. In the event that information required for product approval has been incorporated in to the plans, specifications, or general notes, simply indicate page number on the affidavit.

Product	Model Number	Manufacturer	Evaluation Agency FL# / NOA#	Expiration Date
Windows	Series SH-200 Aluminum Single Hung Window – N.I.	PGT Industries	Miami-Dade Co. (BCCO) Product Control Division – No. 11-1013.12	Sep 01, 2016
	PGT Series Aluminum Clipped Mullion – LMI	PGT Industries	Miami-Dade Co. (BCCO) Product Control Division – No. 10-0819.05	May 26, 2016
Exit Doors	Series FD-750 Outswing Alum. French Door - LMI	Builders Hardware, Inc.	Miami-Dade Co. (BCCO) Product Control Division – No. FL9162.1	Dec 31, 2015
Garage Doors	N/A			
Ridge Vents	N/A			
Soffits	N/A			
Skylights	N/A			
Shutters	“Wronofold A.I.R.” Aluminum Accordion Shutter	Southern Metal Products, LLC	Miami-Dade Co. (BCCO) Product Control Division – No. 08-0814.05	Jul 23, 2013
Roofing Materials	Galena Spanish “S” Tile	Entegra Roof Tile, Inc.	Miami-Dade Co. (BCCO) Product Control Division – No. 10-0518.24	Nov 18, 2014
Panel Walls	N/A			
Structural Components and Cladding	N/A			
New/Alternative Materials	N/A			

In accordance with the Florida Architects and Engineers product approval system, this affidavit certifies that I have performed the building type evaluation required by the Florida Building Code.


 Architect/Engineer Signature & Seal

8341
 FL Certification/Registration Number





STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
CONSTRUCTION PERMIT

PERMIT #: 43-SS-1399879
APPLICATION #: AP1066123
DATE PAID: _____
FEE PAID: _____
RECEIPT #: _____
DOCUMENT #: PR871542

CONSTRUCTION PERMIT FOR: OSTDS New

**TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY**

APPLICANT: Fernando Giachino

PROPERTY ADDRESS: 11 Rio Vista Dr Stuart, FL 34996

LOT: 52 BLOCK: _____ SUBDIVISION: RIO VISTA

PROPERTY ID #: 12-38-41-002-000-00520-8

[SECTION, TOWNSHIP, RANGE, PARCEL NUMBER]
[OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF SECTION 381.0065, F.S., AND CHAPTER 64E-6, F.A.C. DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS, WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE, OR LOCAL PERMITTING REQUIRED FOR DEVELOPMENT OF THIS PROPERTY.

SYSTEM DESIGN AND SPECIFICATIONS

T [900] GALLONS / GPD _____ Septic Tank _____ CAPACITY
A [] GALLONS / GPD _____ CAPACITY
N [] GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK:1250 GALLONS]
K [] GALLONS DOSING TANK CAPACITY [] GALLONS @ [] DOSES PER 24 HRS #Pumps []

B.v.3

D [250] SQUARE FEET _____ Installed in Trenches _____ SYSTEM
R [] SQUARE FEET _____ SYSTEM
A TYPE SYSTEM: [x] STANDARD [] FILLED [] MOUND []
I CONFIGURATION: [x] TRENCH [] BED []

F LOCATION OF BENCHMARK: NAIL/DISC IN ROAD, ELV. 8.28FT NGVD

I ELEVATION OF PROPOSED SYSTEM SITE [27.00] [INCHES / FT] [ABOVE / BELOW] BENCHMARK/REFERENCE POINT
E BOTTOM OF DRAINFIELD TO BE [3.00] [INCHES / FT] [ABOVE / BELOW] BENCHMARK/REFERENCE POINT

L $8.03 + 1.67 = 9.70$ Top of Septic - $10.35 = 0.65$ D.F

D FILL REQUIRED: [C.00] INCHES EXCAVATION REQUIRED: [] INCHES

NOTE: System is a split system with engineer design.
The licensed contractor installing the system is responsible for installing the minimum category of tank and drainfield in accordance with s. 64E-6, FAC. Engineer required to sign off on this repair prior to construction approval.
See attached special conditions list.

SPECIFICATIONS BY: Duen N Ogilvie TITLE: Environmental Specialist II

APPROVED BY: Ray R Cross TITLE: Environmental Specialist 11.0402 Martin CHD

DATE ISSUED: 04/04/2012 EXPIRATION DATE: 10/04/2013

DH 4016, 08/09 (Obsoletes all previous editions which may not be used)

Incorporated: 64E-6.003, FAC



Martin County Health Department

SEPTIC SYSTEM GENERAL CONDITIONS LIST

PERMIT 43-SS- 1399879

- If the minimum finished floor foundation elevation (F.F.F.E.) is below the drainfield filled elevation of N/A inches (above original grade N/A), please contact this office to determine possible setback changes from the drainfield (setback is calculated by adding 4:1 slope, 4-foot shoulder and possible berm). Additionally, if the driveway or sidewalk is proposed to be lower than the drainfield filled elevation, please contact the department to determine possible setback changes. Note: Local building authority determines minimum F.F.F.E. and stub out requirements. Health Department recommendations are used for drainfield fill and setback requirements only.
- For single-family homes, if the roof drip line is within 5 feet of the drainfield, shoulder or slope and the roof drains toward the septic system, gutters are required.
- Septic system must be installed in unobstructed area as shown on the approved site plan. Alteration of the information or conditions of this permit found to be in non-compliance will be sufficient cause for revocation of this permit. If any information on a permit changes, an amended application and \$50 review fee must be submitted to our office immediately.
- Future ponds or surface water created onsite must be greater than 75' from septic system.
- The mound area must be sodded prior to a request for final grade inspection.
- Non-potable irrigation lines must be separated from the drainfield by two feet unless an approved backflow prevention device is properly installed.
- A \$75.00 re-inspection fee is required if violations are found during the septic system inspection.
- If an inspector does not witness the work conducted during a septic abandonment, the contractor must submit a statement that the work was completed.
- If a professional engineer designs the septic system, the engineer must certify that the installed system complies with the design and installation requirements.
- For commercial operations, occupational approval will not be given until all requirements for an onsite public water system, food operation or institutional establishment are met.

ADDITIONAL CONDITIONS LIST Special conditions marked "X" are in effect

- 1. Driveway and sidewalk elevation must be at least 6" higher than the top of the drainfield elevation. The driveway cannot be constructed within 4 feet of the system's available area.
- 2. Prior to final construction approval, the property owner must apply for an operating permit and pay the \$ Annual Permit Fee (For Indust./Manuf. Aerobic System Commercial System Performance-Based).

Excavation requirements: (Note: Excavation refers to removal of natural or existing soils, not pad fill)

- 1. Excavate one foot beyond drainfield area to a depth of inches below natural/ existing grade elevation of feet N.G.V.D. / Assumed. In addition to item #1, 33% of unsuitable soils at depths greater than inches below #1 elevation above must be removed to a depth of slightly limited soils.
- 2. If the proposed drainfield is to be installed within 10 feet of a building foundation or swimming pool structure, the four-foot drainfield shoulder must be filled with suitable soils prior to building construction.
- 3. If a mound or filled drainfield is proposed, see following sketch. An engineer's design is required if a retaining wall is proposed within the drainfield slope areas of a mound system. No boulders or trees are allowed within the drainfield or drainfield shoulder area. Applicant is responsible for replacing excavated soils with a good grade of soil suitable for drainfield installation.

Ray Cross 4/3/2019 See Reverse Side for Mound or Filled Drainfield Requirements
Completed By Date



Martin County Health Department

SEPTIC SYSTEM SPECIAL CONDITIONS FOR PERMIT 43-SS- 1399879

The licensed contractor installing the system is responsible for installing the minimum category of tank in accordance with s. 64E-6.013(3)(f), FAC.

- ___ CONDUCT SOIL BORINGS DURING INSPECTION TO VERIFY SOIL TYPE AND WATER TABLE FROM OTHERS.
___ FILL REQUIRED NOTED ABOVE MUST BE OF SLIGHTLY LIMITED QUALITY IN THE INSTALLATION AREA WITH A MINIMUM OF 4 FOOT SHOULDER BEYOND THE DRAINFIELD SIDE WALL (ANY UNSUITABLE PAD FILL IN THE SHOULDER AND UNDER THE DRAINFIELD MUST BE REMOVED AND REPLACED WITH SUITABLE SOIL).
___ DRAINFIELD MUST BE A MINIMUM OF TEN FEET FROM BUILDING FOUNDATION.
___ MAINTENANCE SERVICE AGREEMENT REQUIRED.
___ ANNUAL OPERATING PERMIT FROM MARTIN CO. HEALTH DEPARTMENT IS REQUIRED.
___ MAINTAIN A MINIMUM OF ___ FEET FROM SURFACE WATER.
___ THE DRAINFIELD MUST BE AT LEAST 5 FEET FROM PROPERTY LINES BUILDING FOUNDATION OTHER (NOTE: For Mounded Drainfields Setback, Use four foot shoulder and 4:1 slope plus 1.5 foot Swale/ Berm Unless Applies to Repairs Using Shoulder Setback Reductions From Table V.)
___ INSTALL AN APPROVED OUTLET FILTER DEVICE IN THE SEPTIC TANK.
___ A MINIMUM OF 6 INCHES AND MAXIMUM OF 18 INCHES OF MODERATELY OR SLIGHTLY LIMITED SOIL CAP IS ALLOWED OVER DRAINFIELD.
___ STATE CODE REQUIRES A MINIMUM DRAINFIELD SIZE OF ___ SQUARE FEET.
___ THE DRAINFIELD MUST BE PROPERLY GRADED AND STABILIZED PRIOR TO FINAL APPROVAL.
___ POTABLE WATER LINES WITHIN 10 FEET OF THE SYSTEM MUST BE SLEEVED AND SEALED UNLESS THE WATER LINES THEMSELVES CONSIST OF SCHEDULE 40 PVC OR STRONGER MATERIAL AND NEVER LESS THAN 24 INCHES FROM THE SYSTEM.
___ POTABLE WATER LINES WITHIN 5 FEET OF A DRAINFIELD SHALL NOT BE LOWER THAN THE DRAINFIELD ELVEVATION.
___ POTABLE WATER LINES MUST BE INSTALLED AND EXPOSED AT THE TIME OF THE INITIAL INSTALLATION INSPECTION.
___ REPAIRED MOUND AND FILLED DRAINFIELDS MUST BE PROPERLY GRADED AND SODDED/ STABILIZED WITHIN 14 DAYS OF SYSTEM CONSTRUCTION APPROVAL.

RECOMMEND DRAINAGE FEATURE PREVENT RUNOFF INTO FOUNDATIONS.



P.E. SYSTEM DESIGN REQUIRED.

SHUT OFF!

MAXIMUM DOSE CYCLE = 6 TIMES PER DAY. PUMP(S) REQUIRED. DOSE ENTIRE DRAINFIELD EACH CYCLE. PUMP(S) MUST BE CERTIFIED AS SUITABLE FOR DISTRIBUTION OF SEWAGE EFFLUENT.

AN OPERATIONAL TEST OF THE PUMPS AND HIGH WATER ALARM (AUDIBLE AND VISUAL) IS REQUIRED PRIOR TO FINAL CONSTRUCTION APPROVAL.

EFFLUENT TRANSMISSION LINES MUST BE 5 FEET AWAY FROM POTABLE WATER LINES UNLESS THE TRANSMISSION IS SCHEDULE 40 PVC OR STRONGER AND IT IS AT LEAST 12 INCHES LOWER THAN THE POTABLE WATER LINE.

SEPTIC TANK MUST BE PUMPED PRIOR TO INSTALLION OF THE DRAINFIELD.

AGGREGATE, SOIL, AND OTHER COMPONENTS OF SPOIL MATERIALS FROM DRAINFIELD REPAIRS CANNOT BE USED IN SYSTEM REPAIR IN ANY MANNER. CONTRACTORS MUST PROPERLY DISPOSE OF SPOILS MATERIAL BEFORE FINAL INSPECTION AND NEVER CREATE A SANITARY NUISANCE WITH STORAGE OF SPOILS (SEE HSES MEMO 05-010).

SYSTEM REPAIRS MUST INSTALLATION MUST BE COMPLETED WITHIN 30 DAYS OF SYSTEM PERMITTING OR CONTRACT DATE UNLESS OTHERWISE EXTENDED BY THE APPLICANT.

LANDSCAPE FEATURES SUCH AS BOULDERS OR TREES ARE NOT ALLOWED ON FILLED OR MOUNDED DRAINFIELDS OR SHOULDERS.

VEGETATION COVER ON DRAINFIELDS OTHER THAN SOD MUST BE APPROVED BY THE STATE HEALTH OFFICE.

PUMP SEPTIC TANK (DONE BY CERTIFED COMPANY), CRUSH OR RUPTURE TANK BOTTOM, SUBMIT TANK PUMPOUT RECEIPT, CONTACT DEPARTMENT FOR INSPECTION.

ADDITIONAL FEES MAY APPLY. \$ 50 2ND INSPECTION FEE.

ALL ATTACHED GENERAL AND SPECIAL CONDITIONS MUST BE COMPLETED PRIOR TO FINAL INSPECTION AND APPROVAL.

OTHER: _____

NAME: Ray Casan

DATE: 4/3/2010

NOTICE OF RIGHTS

A party whose substantial interest is affected by this order may petition for an administrative hearing pursuant to sections 120.569 and 120.57, Florida Statutes. Such proceedings are governed by Rule 28-106, Florida Administrative Code. A petition for administrative hearing must be in writing and must be received by the Agency Clerk for the Department, within twenty-one (21) days from the receipt of this order. The address of the Agency Clerk is 4052 Bald Cypress Way, BIN # A02, Tallahassee, Florida 32399-1703. The Agency Clerk's facsimile number is 850-410-1448.

Mediation is not available as an alternative remedy.

Your failure to submit a petition for hearing within 21 days from receipt of this order will constitute a waiver of your right to an administrative hearing, and this order shall become a 'final order'.

Should this order become a final order, a party who is adversely affected by it is entitled to judicial review pursuant to Section 120.68, Florida Statutes. Review proceedings are governed by the Florida Rules of Appellate Procedure. Such proceedings may be commenced by filing one copy of a Notice of Appeal with the Agency Clerk of the Department of Health and a second copy, accompanied by the filing fees required by law, with the Court of Appeal in the appropriate District Court. The notice must be filed within 30 days of rendition of the final order.



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
SITE EVALUATION AND SYSTEM SPECIFICATIONS

080204139
3-23-12

4355-1399879
PERMIT # _____

APPLICANT: Fernando Gianhino AGENT: SJA
LOT: 52 BLOCK: _____ SUBDIVISION: Rio Vista
PROPERTY ID #: _____ [Section/Township/Parcel No. or Tax ID Number]

TO BE COMPLETED BY ENGINEER, HEALTH DEPARTMENT EMPLOYEE, OR OTHER QUALIFIED PERSON. ENGINEERS MUST PROVIDE LICENSE NUMBER AND SIGN AND SEAL EACH PAGE OF SUBMITTAL. COMPLETE ALL ITEMS.

PROPERTY SIZE CONFORMS TO SITE PLAN: YES NO NET USABLE AREA AVAILABLE: 0.37 ACRES
TOTAL ESTIMATED SEWAGE FLOW: MA 200 GALLONS PER DAY [RESIDENCES-TABLE 1/OTHER-TABLE2]
AUTHORIZED SEWAGE FLOW: MA 925 GALLONS PER DAY [1500 GPD/ACRE OR (2500 GPD/ACRE)]
UNOBSTRUCTED AREA AVAILABLE: 680 SQFT UNOBSTRUCTED AREA REQUIRED: MA 375 SQFT

BENCHMARK/REFERENCE POINT LOCATION: NAIL/DISC IN ROAD / ELEV. 8.28 FT N 610
ELEVATION OF PROPOSED SYSTEM SITE IS 27 [INCHES/FT] [ABOVE/BELOW] BENCHMARK/REFERENCE POINT

THE MINIMUM SETBACK WHICH CAN BE MAINTAINED FROM THE PROPOSED SYSTEM TO THE FOLLOWING FEATURES
SURFACE WATER: _____ FT DITCHES/SWALES: _____ FT NORMALLY WET? YES NO
WELLS: PUBLIC: _____ FT LIMITED USE: _____ FT PRIVATE: _____ FT NON-POTABLE: _____ FT
BUILDING FOUNDATIONS: 5 FT PROPERTY LINES: 5 FT POTABLE WATER LINES: 3 FT

SITE SUBJECT TO FREQUENT FLOODING: YES NO 10 YEAR FLOODING? YES NO
10 YEAR FLOOD ELEVATION FOR SITE: _____ FT MSL/NGVD SITE ELEVATION: 10.5 FT MSL/NGVD

SOIL PROFILE INFORMATION SITE 1

MUNSELL #/COLOR	TEXTURE	DEPTH
1042 5/2 6L/6L	SAND	0 TO 3
1042 7/2	SAND	3 TO 18
1042 8/2	SAND	18 TO 42
1042 6/6 8L/4L	SAND	42 TO 72
		TO
		TO
		TO
		TO
		TO

USDA SOIL SERIES: #6 PROCT SAND CLAY

SOIL PROFILE INFORMATION SITE 2

MUNSELL #/COLOR	TEXTURE	DEPTH
1042 6/3	SAND	0 TO 12
1042 7/2	SAND	12 TO 18
1042 8/2	SAND	18 TO 36
1042 6/6 8L/4L	SAND	36 TO 72
		TO
		TO
		TO
		TO
		TO

USDA SOIL SERIES: #6 PROCT SAND CLAY

OBSERVED WATER TABLE: 72+ INCHES [ABOVE / BELOW] EXISTING GRADE. TYPE: [PERCHED / APPARENT]
ESTIMATED WET SEASON WATER TABLE ELEVATION: 72+ INCHES [ABOVE / BELOW] EXISTING GRADE
HIGH WATER TABLE VEGETATION: YES NO MOTTLING: YES NO DEPTH: NA INCHES

SOIL TEXTURE/LOADING RATE FOR SYSTEM SIZING: MA 128 (Trench) DEPTH OF EXCAVATION: _____ INCHES
DRAINFIELD CONFIGURATION: TRENCH MA BED OTHER (SPECIFY) _____

REMARKS/ADDITIONAL CRITERIA: BM (Wall + Disc Crown of Road @ 8.28) elev = 49 3/4"
Site #1 elev = 25" & Site #2 elev = 32 1/2" No OBST. OBSERVED WITHIN
75' OF PROPERTY LINES.

SITE EVALUATED BY: Duon Joe O'Connell / W.P. Math DATE: 03/23/2012



RECEIVED
MAR 29 2012
STATE OF FLORIDA
DEPARTMENT OF HEALTH
MARTIN COUNTY HEALTH DEPT.

RECEIVED
MAR 20 2012
MARTIN COUNTY HEALTH DEPT.

43-SS-1399879
PERMIT NO. _____
DATE PAID: 3-20-12
FEE PAID: 115.00
RECEIPT #: 182678
1066123
43PID-1832304
[X] SITE EVALUATION

APPLICATION FOR CONSTRUCTION PERMIT

APPLICATION FOR:
 New System - For ADDITIONAL
 Repair
 Existing System
 Abandonment
 Holding Tank
 Temporary
 Innovative
 SITE EVALUATION

APPLICANT: FERNANDO GIACHINO

AGENT: STEPHEN J. BROWN, INC.

FAX: 288-9995
TELEPHONE: 288-7176

MAILING ADDRESS: 619 E. 5th STREET STUART, FL 34994

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(a) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 52 BLOCK: _____ SUBDIVISION: RIO VISTA PLATTED: 2/11/75

PROPERTY ID #: 12-38-41-002-000-005 2008 ZONING: _____ I/M OR EQUIVALENT: [Y/N]

PROPERTY SIZE: 0.37 ACRES WATER SUPPLY: [] PRIVATE PUBLIC [X] <=2000GPD [] >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? [Y/N] DISTANCE TO SEWER: 1000+ FT

PROPERTY ADDRESS: 11 RIO VISTA DRIVE SEWALL'S POINT

DIRECTIONS TO PROPERTY: SEWALL'S POINT RD. SOUTH TO RIO VISTA DRIVE EAST TO 11 RIO VISTA DRIVE EXISTING RESIDENCE.

BUILDING INFORMATION

RESIDENTIAL [] COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
-1	SINGLE FAMILY			
2	ADDITION	1	383	200 GPD (min. per F.A.C.) 100 GPD 64E-6
3				
4				

[] Floor/Equipment Drains [] Other (Specify) _____

SIGNATURE: STEPHEN J. BROWN

DATE: 2/22/12

APPLICANT'S NAME: FERNANDO GIACHINO

LEGAL DESCRIPTION: LOT 52 RIO VISTA

PROPOSED SEPTIC SYSTEM SITE INFORMATION

I certify that there are no potable private wells within 75 feet of the available area for the proposed septic system, that there are no non-potable wells within 50 feet of the available area for the proposed septic system, that there are no wells within 25 feet of a pesticide-treated building foundation, that there are no public wells that serve less than 25 people or less than 15 homes or businesses within 100 feet of the proposed septic system, that there are no public wells that serve more than 25 people or more than 15 homes or businesses within 200 feet of the proposed septic system, that the water line from the water meter or well to the structure is at least 10 feet from the available area for the proposed septic system unless the plans show the line to be double sleeved, that there is not a gravity sewer line, low pressure sewer line or vacuum sewage line in a public easement or right-of-way that abuts the property, that there are no lakes, streams, wetlands, or surface water within 75 feet of the available area for the proposed septic system unless the property was created prior to 1972, that the septic system is proposed on the side of the lot farthest from surface water, that all private wells, septic systems and surface water on adjacent or contiguous land within 75 feet of the applicant's lot are shown on the site plan, that all public wells within 200 feet of the applicant's lot are shown on the site plan, and that the location of building or residences, swimming pools, recorded easements, paved areas or driveways, sidewalks, the general slope of the property, filled areas, drainage features, and surface waters such as lakes, ponds, streams, canals, or wetlands are shown on the applicants lot.

The natural grade elevation in the area of the proposed septic system and the benchmark must be shown on the site plan. Please locate the benchmark within 200 feet of the proposed septic system.

NOTE: MUST BE CERTIFIED BY A FLORIDA REGISTERED SURVEYOR OR ENGINEER.

CERTIFIED BY: STEPHEN J. BROWN
FLORIDA PROFESSIONAL NO.: 4049
DATE: 2/22/12 JOB NO.: 2429-03-01



STEPHEN J. BROWN, INC.

Surveyors • Designers • Land Planners • Consultants

MAR 27 2012
BY
SEARCHED
MAR 27 2012

LEGAL DESCRIPTION

LOT 52, RIO VISTA SUBDIVISION, AS RECORDED
IN PLAT BOOK 6, PAGE 95, PUBLIC RECORDS :
OF MARTIN COUNTY, FLORIDA.

I, Fernando Giachino, owner of the above referenced property have authorized Stephen J. Brown, Inc. to act as my authorized representative and to act on my behalf in all aspects of an application for a septic system.

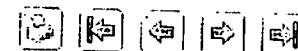
Fernando Giachino 3/27/12
Owner Date



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
 governmax.com 1.14

Summary



Address
 1 of 1

Tabs

Summary

Print View

Land

Improvements

Assessments &
 Exemptions

Sales

Taxes →

NEW: Navigator

Parcel Map →

Notice of Prop.

Taxes →

Parcel ID 12-38-41-002-000-00520-8
Account # 27565
Unit Address 11 RIO VISTA DR, SEWALL'S POINT

Market Total Value \$238,860
Website Updated 3/24/2012

Owner Information

Owner(Current) GIACHINO FERNANDO
Owner/Mail Address 11 RIO VISTA DR
 STUART FL 34996
Sale Date 2/26/2004
Document Book/Page 1866 0896
Document No. 1728661
Sale Price 360000

Searches

Parcel ID

Owner

Address

Account #

Use Code

Legal Description

Neighborhood

Sales

NEW: Navigator

Maps →

Account # 27565
Tax District 2200
Parcel Address 11 RIO VISTA DR, SEWALL'S POINT
Acres .3680
Location/Description
Map Page No. SP-04
Legal Description RIO VISTA S/D LOT 52

Parcel Type

Use Code 0100 Single Family
Neighborhood 120250 RIO VISTA DRY

Functions

Property Search

Contact Us

On-Line Help

County Home

Site Home

County Login

Assessment Information

Market Land Value \$127,000
Market Improvement Value \$111,860
Market Total Value \$238,860



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
 governmax.com 1,11

Dwelling Details



Address
 1 of 1

Tabs

- Summary
- Land
- Improvements
- Assessments & Exemptions
- Sales
- Taxes →
- NEW: Navigator
- Parcel Map →
- Notice of Prop. Taxes →

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-002-000-00520-8	27565	11 RIO VISTA DR, SEWALL'S POINT	\$238,860	3/24/2012

Build No. R01 - DWELL

Dwelling Details

Dwelling Rooms & Area

Floor Code	Living Rm (s)	Dining Rm (s)	Great Rm (s)	Kitchen (s)	Den (s)	Bed Rm (s)	Other Rm (s)	Full Bath (s)	Half Bath (s)	Base Area	Finished Area
DWELL_1.0	0	0	0	0	0	3	0	2	0	1,979	1,979
TotalDwellRooms	0	0	0	0	0	3	0	2	0		
TotalDwellArea										1,979	
FinishedLivingArea											1,979

Searches

- Parcel ID
- Owner
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales

NEW: Navigator
 Maps →

Features and Exterior Features

Description	Size	Unit Type	Capacity	Height	Length	Width
BASIC - Basic allowance	1		0	0	0	0
BRP - Brick Patio	210					
CONCP - Concrete Patio	1,245					
COOLING - Central air	1					
EXT. COVER - Conc block 12	1					

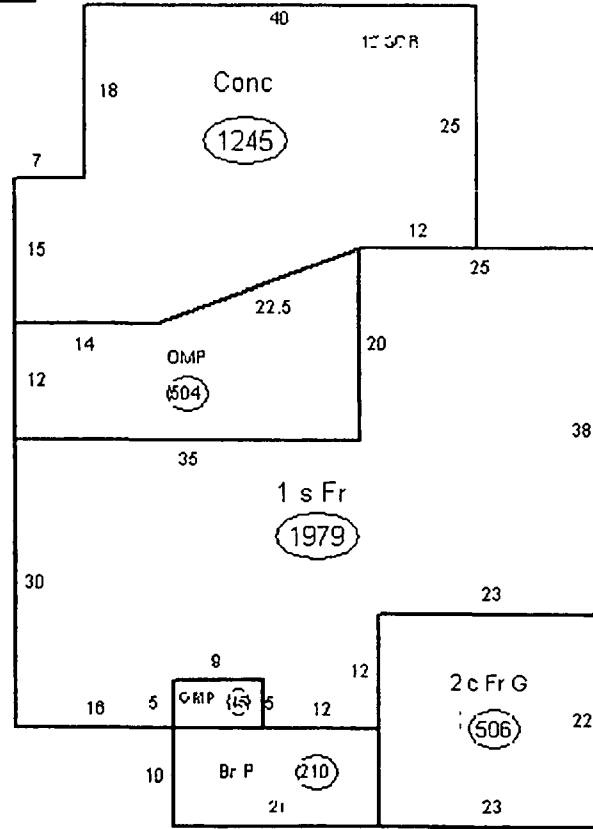
Functions

- Property Search
- Contact Us
- On-Line Help
- County Home
- Site Home

County Login	FOUNDATION - Full Slab	1				
	HEATING - Central Warm Air	1				
	LTUB - Laundry tub	1	0	0	0	0
	OMP - Open Masonry Porch	45				
	OMP - Open Masonry Porch	504				
	Roof Type - Cement tile	1				
	SHUTTERP - Shutters - Panel	1	0	0	0	0

)

- 01
- 02
- 03
- 04
- 05
- 06
- 07



Click to enlarge

Print Back to List First Previous Next Last

Legal Disclaimer / Privacy Statement



Web Soil Survey - Windows Internet Explorer

http://websoilsurvey.nrcs.usda.gov/app/WebSoilSurvey.aspx

File Edit View Favorites Tools Help

Web Soil Survey

View Soil Information By Use: All Uses Printable Version Add to Shopping Cart

Intro to Soils Suitabilities and Limitations for Use **Soil Properties and Qualities** Ecological Site Assessment Soil Reports

Search

Properties and Qualities Ratings

Open All Close All

Soil Chemical Properties	?	☑
Soil Erosion Factors	?	☑
Soil Physical Properties	?	☑
Soil Qualities and Features	?	☑
Water Features	?	☑

Soil Map

Legend

Scale (not to scale)

0 93ft

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MATHERS ENGINEERING
CORPORATION

2431 SE Dixie Highway
Stuart, FL 34996
Phone: (772) 287-0525
Fax: (772) 220-8686
EB#0004456

HEALTH DEPARTMENT REPORT
SEPTIC TANK APPLICATION REVISION

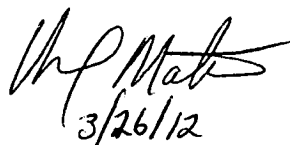
March 2012

Applicant: Mr. & Mrs. Giachino

Project: Giachino Residence
11 Rio Vista Drive
Stuart, Florida 34994

As per the notice requirements of 61G15-30.003 (1) FAC, this document is being transmitted to the public agency to receive agency review, comments and interpretations. The documents may subsequently be revised by the engineer to reflect resolution of issues with the public agency prior to final action by the agency. Changes, revisions and modifications to a project may prompt additional document submittal for agency approval action on the same project. The most current date of the Engineer of Record's signature accompanying the public agency's written approval designates this documents final form.

Approved:



3/26/12

William J. Mathers, PE
Florida PE No. 19658



MATHERS ENGINEERING
CORPORATION

2431 SE Dixie Highway
Stuart, FL 34996
Phone: (772) 287-0525
Fax: (772) 220-8686
EB#0004456

HEALTH DEPARTMENT REPORT
Septic Tank Application

SEPTIC DRAINFIELD INFORMATION FOR:
ADDITION OF (1 BEDROOM & 1 BATHROOM) ADDITIONAL DRAINFIELD SYSTEM IS
A NEWLY PERMITTED AND SEPARATE TANK AND DRAINFIELD. EXISTING HOUSE
WILL REMAIN WITH THE EXISTING TANK AND DRAINFIELD AND WILL NOT BE
AFFECTED BY THE ADDITION. (DESIGN OF NEW SYSTEM WITHIN THESE
CALCULATIONS.)

11 RIO VISTA DRIVE, STUART, FLORIDA 34994

1. Flows as per HRS Table I – Estimated Sewage Flows:
100 GPD (1 BEDROOM, TOTAL 338 SF) = 100 GPD
Minimum flow size per F.A.C. 64E-6, is 200 GPD
2. New septic tank will be a 900 gallon tank.
3. Trench System:
Flow ÷ Loading Rate = Minimum Infiltration Drain Trench System (Infiltrator – Eq 36)
 $200 \text{ gallon/day} \div 0.8 \text{ gallon/sf/day} = 250 \text{ sf}$



**Giachino Residence - 1
Bedroom/1 Bathroom
Addition**

Waste Water / Septic Flow Calculations

Septic Tank Calculations

Input Loading Rate For Configuration Type (Trench Drainfield) Trench := .80

Sizing of Septic is For Residential "r" or Commercial "c" C := "r"

Residential Total Waste Water/Septic Flow Calculations

Input Number of Bedrooms TB := 1

Total Building Footprint (Addition only) Building_Footprint := 338·ft²

Input Number of Dwelling Units Dwelling := 0

Flow From # of Bed rooms

$F := \text{if}(TB = 1, 750, \text{if}(TB = 2, 1200, \text{if}(TB = 3, 2250, \text{if}(TB \geq 4, 3300, \text{"Exit"}))))$

$F := F \cdot \text{ft}^2$ $F = 750 \text{ ft}^2$

$\text{Total_Flow} := \left(TB \cdot 100 \cdot \frac{\text{gal}}{\text{day}} \right)$

$\text{Total_Flow} = 100 \cdot \frac{\text{gal}}{\text{day}}$

Per page 18 of F.A.C. 64E-6.

" The minimum absorption area for standard subsurface drainfield systems, graywater drainfield systems, and filled systems shall be based on estimated sewage flows and Table II so long as estimated sewage flows are 200 gallons per day or higher. When estimated sewage flows are less than 200 gallons per day, system size shall be based on a minimum of 200 gallons per day. "

Total Estimated Flow For the project

$\text{Total_Flow} := 200 \cdot \frac{\text{gal}}{\text{day}}$



**Giachino Residence - 1
Bedroom/1 Bathroom
Addition**

(Q) Flow Used for Determination of Septic Size

$$Q := \frac{\text{Total_Flow}}{\frac{\text{gal}}{\text{day}}}$$

$\left(\frac{S}{M}\right)$:=

	AVERAGE		SEPTIC TANK		PUMP TANK	
	SEWAGE		MINIMUM EFFECTIVE CAPACITY		MINIMUM EFFECTIVE CAPACITY	
	FLOW		GALLONS		GALLONS	
	GALLONS/DAY				Residential	Commercial
0	-	200	900		150	225
201	-	300	900		225	375
301	-	400	1050		300	450
401	-	500	1200		375	600
501	-	600	1350		450	600
601	-	700	1500		525	750

(Q C)

Septic Size Required As Per DOH

S = 0

Gallon Septic Tank

Total Estimated SF of Trench Drainfield

$$\text{EstimatedTrench} := \frac{\text{Total_Flow} \cdot \text{ft}^2}{\text{Trench} \cdot \frac{\text{gal}}{\text{day}}} \quad \text{EstimatedTrench} = 250 \text{ ft}^2$$

Total Required Available Area Required := EstimatedTrench · 1.5 Required = 375 ft²

Infiltrator System # of Trenches and # of Chambers to be Used

Chamber Type 36 Type := 36

$$\text{AreaChamber} := \text{if}(\text{Type} = 36, 12 \cdot \text{ft}^2, 8 \cdot \text{ft}^2) \quad \text{AreaChamber} = 12 \text{ ft}^2$$

Total Number of Chambers Required

$$\text{Total_Chambers} := \text{round}\left(\frac{\text{EstimatedTrench}}{\text{AreaChamber}}, 0\right) \quad \text{Total_Chambers} = 21$$

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT -- INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

5-22-12

Page 1 of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10088	Exe China	UG Plumbing	Pass	
9Am	Red U Sta Glenmark		Pass	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10104 10085	Cullhane	Final		
11AM	2 Gumbo Limbo Glass Professionals (Bill - 475-3459)	windows rough	Pass	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10027	Goudis 255 River Rd Team Parks	retaining wall	Pass	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10093	Chicky 5 Knowles Rd Pinnacle Roof	At in-progress	Pass	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 5-24-12 Page 1 of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9884	Creeden	Final rough electrical		
PM	176 S Sewalls MTK Const	Final plumbing	PASS	INSPECTOR <i>[Signature]</i>
10088	Glenmark	Plumb		
830	1160 Vista Dr Glenmark		PASS	INSPECTOR <i>[Signature]</i>
10084	Gibson	Final A/C		
PM	134 Skene Rd Nislin		PASS	Close ✓ INSPECTOR <i>[Signature]</i>
10101	Starfi	Door rough		
	3601 SE Ocean A Worrell		FAIL	WRONG SCREW HEADS INSPECTOR <i>[Signature]</i>
				INSPECTOR
				INSPECTOR
3:30	OTT			
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 6-7-12 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9843	Foreman	Final alarm	Pass	
1st	6 Pineapple ADT	Call owner 1/2 before 704-277-1418		INSPECTOR <i>[Signature]</i>

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10088	Glenmark Homes	Commitment	Pass	
	Glenmark Homes			INSPECTOR <i>[Signature]</i>

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10089	Dunn	DEAD MEN	Pass	
	31 N. RIVER Harbor Bay Maine			INSPECTOR <i>[Signature]</i>

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9958	Luchalski	BLDG FINAL	Pass	CLOSE
	6 GANNAN JMC	FINAL GAS	Pass	INSPECTOR <i>[Signature]</i>

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 6-14-12 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10097	Buro	UG Plumbing	PASS	
155	101 Henry Sewall GM Const	UG Electric	PASS	INSPECTOR <i>A</i>
9807	Lawless	Final		NEED GRASPABLE
1PM	12 Mandalay OB	Building	FAIL	RAIL @ FRONT STEPS INSPECTOR <i>A</i>
10088	Creeden 1160 Vista Dr Glenmark	Wdg Sheathing	PASS	INSPECTOR <i>A</i>
9884	Creeden			
PM	176 55th Rd MLK Const	SLAB	PASS	INSPECTOR <i>A</i>
10123	Murphy	Sheathing		
	6 Heron's Nest On Shore Roofing		RE-ADAPT	INSPECTOR <i>A</i>
10103	Buro			
	101 H. Sewall Way Apex Power	SLAB	PASS	INSPECTOR <i>A</i>
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 6-21-12 Page 1 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10040	Barrett 23 LANTANA M L Barrett Inc	WINDOW & DOOR ROUGH	PASS	INSPECTOR <i>AA</i>
10123	Murphy / Babak 6 HERONS NEST On Shore Roofs	FINAL ROOF	PASS	CLOSE INSPECTOR <i>AA</i>
10095	Gould 48 S SPT RD Crist Const.	SLAB	PASS	INSPECTOR <i>AA</i>
10097	Buro 101 HENRY SEYMUS WAY GM CONST	TIE BEAM FIRE PLACE	PASS	INSPECTOR <i>AA</i>
	49 N. RIVER	TREE	OK	INSPECTOR
10088	Glenmark Homes 11 HERONS NEST	TRUSS ENG TIE BEAM	PASS	INSPECTOR <i>AA</i>
10116	Marcum 34 W. HIGH PT SUMMIT FENCE	FINAL FENCE	PASS	CLOSE INSPECTOR <i>AA</i>

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

Mon

Tue

Wed

Thur

Fri

7-9-12

Page 1 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10145	Murray	window attachment	Pass	
1st	27 Feldway OB			INSPECTOR <i>[Signature]</i>
10090	Sabins	Final		
	8 Palm Ct	Permit Cancel		
	Chetwood			INSPECTOR
10101	Sharfi	insulation	Pass	
	3601 E Ocean Worrell Bldg.			INSPECTOR <i>[Signature]</i>
10108	Glennmark Homes	AC	Pass	
	11001 sta	lock		INSPECTOR <i>[Signature]</i>
9917	Ford	pour exterior stairs	Pass	
	98 N Sewalls Masterpiece			INSPECTOR <i>[Signature]</i>
10147	Barley/Parkhab	sub-siding	Pass	
	7 Perriwinble AG Envir.			INSPECTOR <i>[Signature]</i>
10154	Pauer	Pre steel, BOND	Pass	
	1 Tuscan La Flamingo	& MAIN DRIP IN		INSPECTOR <i>[Signature]</i>

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 7-11-12 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10089	Kenmark			INSPECTOR <i>[Signature]</i>
10027	Goudis 255 River Team Parks	stairwell	PASS	INSPECTOR <i>[Signature]</i>
10144	Buket 8 Herons Brownie Co	JOBSITE ✓ & PICTURES	<i>[Signature]</i>	INSPECTOR
	DIPPY	PICTURES	<u>DIPS</u>	INSPECTOR
9917	Ford 98 N Sewalls Masterpiece	near stairs pre-pour & SIDE STAIRS	PASS	INSPECTOR <i>[Signature]</i>
				INSPECTOR
				INSPECTOR



Martin County Health Department

FOR FINAL APPROVAL TO BUILDING DEPARTMENT:

MARTIN COUNTY: FAX 419-6934, PHONE 288-5489

CITY OF STUART: Fax 288-5388 Phone 288-5326

JUPITER ISLAND: Fax 545-0188 Phone 545-0150

SEWALLS POINT: Fax 220-4765 Phone 2872455

FROM: Nick Clayton

DATE: 8/17/12

SEPTIC SYSTEMS (SS)

LIMITED USE PUBLIC WATER SYSTEM (57)

HEALTH DEPT. PERMIT #

BUILDING DEPT. PERMIT #

LOCATION

43-SS- 1399879

10088

11 Rio Vista Dr. Stuart FL

43-57-

43-SS-

43-57-

43-SS-

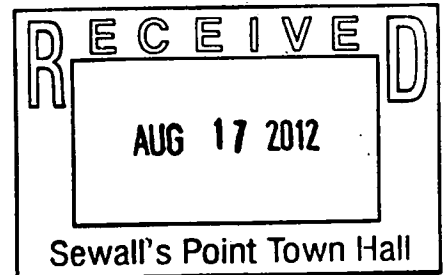
43-57-

43-SS-

43-57-

43-SS-

43-57-



Am Fwd

j:environmental health/ostda/forms

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 10-3-12 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10106	Field	Final		
7:00 1ST	14 Hedge Lane DR ADT	alarm	Pass	Close to be late INSPECTOR [Signature]
		530-0097-call if goes		
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10220	LYONS			E-MAILED FPL ✓
1-2 PM	34 FIELDWAY ARLINGTON	SERVICE CHANGE	Pass	Close INSPECTOR [Signature]
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10088	GIACOMO			
10:00	711 Rio Vista GLENMARR	Final	Pass	Close INSPECTOR [Signature]
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10218	Birdsell	- FRAMING	Pass	
AM	49 N. Riven Rd Just Solutions	- SLAB	Pass	INSPECTOR [Signature]
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10226	SUBIN	Window/Door		
	8 PALM Ct. DRIFTWOOD	FINAL	Pass	Close INSPECTOR [Signature]
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
	SPINELLI AIR 561 741-2825			INSPECTOR

TREE PERMITS

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Permit # 150

Date Issued 9/15/82

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified as to height and name, common or botanical. Groups of trees may be designated as clumps with an estimated size and number, etc..

Owner CHARLES FRARACCIO Present Address 11 Riv Vista Dr. Phone 286-1854

Contractor SAME Address _____ Phone _____

Number of trees to be removed 10 Cabbage Palms, 2 Ficus, 1 Aerolis
in way of Building Area

Number of trees to be relocated within 30 days (no fee)

Number of trees to be replaced within 30 days 6 Cabbages Palms

Permit Fee: \$ None (\$5. for 1st tree, plus \$1. each additional tree - not to exceed \$25.)

(No permit fee for trees which are relocated on property or lie within a utility easement and are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted Plans approved as marked _____

Permit good for one (1) year. Fee for renewal of expired permit is \$5.

Signature of Applicant _____ Date submitted 9/15/82

Approved by Building Inspector Jam Date 9/15/82

Approved by Building Commissioner _____ Date _____

Completed _____
Date _____ Checked by _____