

# 19 Rio Vista Drive

938

Application/Permit

THIS PERMIT EXPIRES ONE (1) YEAR FROM DATE OF ISSUANCE

Martin

County Health Department



DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES  
DIVISION OF HEALTH  
Application and Permit  
of  
Individual Sewage Disposal Facilities

Permit VOID if well or septic system is installed in a location other than that permitted. PRIOR HEALTH DEPARTMENT APPROVAL REQUIRED

Section I - Instructions:

1. Percolation test data, soil profile and water table elevation information must be attached. (Note: Test must be made at proposed location of system).
2. Existing building and proposed buildings on lot must be shown and drawn to scale at their location or proposed location. (Use block on this sheet or attach plot plan).
3. Proposed location of septic tank must be shown on plan.
4. Any pond or stream areas must be indicated on the plan.

5. Indicate name and date of recording of subdivision. If not recorded, attach metes and bounds description.
6. Complete the following information section.

Notes:

1. Not valid if sewer is available.
2. Individual well must be 75 feet from any part of system.
3. Call 287-2277 and give this office a 24-hour notice when ready for inspection.

Section II - Information:

1. Property Address (Street & House No.)  
Lot 49 Block - Subdivision Rio Vista  
Date Recorded 1975 Directions to Job East on East Ocean to Sewalls Point Rd; South to Rio Vista Drive; West to site.
2. Owner or Builder C.F. Shewver  
P.O. Address 1115 E. Ocean City Stuart
3. Specifications:

3 bedrooms  
Tank 900 Gals. Drainfield 255 sq ft.  
ft. of 6" clay tile or 5" perforated plastic drain in a 3' trench or  
ft. of 4" clay drain or 4" perforated plastic drain in an 18" trench

Scale 1" = 50'

(Rear)

4. House to be constructed:  
Check one: VA  Conventional  FHA

This is to certify that the project described in this application, and as detailed by the plans and specifications and attachments will be constructed in accordance with state requirements.

Applicant: C.F. Shewver  
Please Print

Signature: C.F. Shewver

Date: 2-7-79

(irrigation) if used.  
Well MUST be installed BEFORE a Final approval is issued.  
See P. 2  
REMOVE ALL HAZARDOUS MATERIALS TO BE REMOVED AND BACKFILL WITH A GOOD GRADE OF SAND IN ENTIRE AREA OF DRAINFIELD.

(Name of Street or State Rd.) (Side)

(Name of Street or State Rd.) (Side)

(Front)

(Name of Street or State Road)

\*\*\*\*\* DO NOT WRITE BELOW THIS LINE \*\*\*\*\*

Section III - Application Approval & Construction Authorization

Installation subject to following special conditions:

The above signed application has been found to be in compliance with Chapter 17-13, Florida Administrative Code, and construction is hereby approved, subject to the above specifications and conditions.

By: Samuel M. Miller J.S. County Health Dept. Martin Date 2/9/79

Section IV - Final Construction Approval

Construction of installation approved: Yes  No

Date: \_\_\_\_\_ By: \_\_\_\_\_  
FHA No. \_\_\_\_\_ VA No. \_\_\_\_\_

WARRANTY DEED.

THIS DEED dated the date set forth hereinbelow between GUSTAV SHICKEDANZ, Individually and as Trustee, joined by his wife, ANN SHICKEDANZ, of Toronto, Province of Ontario, Canada, the Grantor and HOLMAN T. McLEAN and JENNIE K. McLEAN, his wife, of ~~Box 2527~~ STUART County of Martin, State of Florida, Grantee

WITNESSETH:

That for the sum of Ten and no/100 (\$10.00) Dollars and other good and valuable consideration, said Grantor does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the said Grantee all that certain parcel of land situated in Martin County, Florida, described as follows:

Lot #49, RIO VISTA SUBDIVISION, according to the Plat thereof, filed December 11, 1975, in Plat Book 6, Page 95, Martin County, Florida, Public Records.

SUBJECT HOWEVER, to the following:

1. Taxes accruing subsequent to December 31, 1978;
2. Zoning regulations and ordinances of the Town of Sewall's Point, Florida;
3. The provisions and easements set forth on the aforesaid Plat of Rio Vista Subdivision;
4. The provisions of DECLARATION OF PROTECTIVE COVENANTS COVERING ALL OF RIO VISTA SUBDIVISION, recorded in Official Records Book 393, Page 1469, Martin County, Florida, Public Records, as amended by the First Amendment to Declaration of Protective Covenants covering all of Rio Vista Subdivision recorded in Official Records Book 403, Page 549, Martin County, Florida, Public Records;

and the said Grantor does hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the said Grantor has set forth his hand and seal this 29<sup>th</sup> day of

WITNESSES:

M. E. Gucka

Ann Schickedanz

Gustav Schickedanz (Seal)  
 Gustav Schickedanz, Individually and as Trustee  
Ann Schickedanz (Seal)  
 Ann Schickedanz

DOMINION OF CANADA  
PROVINCE OF ONTARIO  
DISTRICT OF YORK

The foregoing Warranty Deed was acknowledged before me by GUSTAV SHICKEDANZ, Individually and as Trustee, joined by his wife, ANN SHICKEDANZ, on the 29<sup>th</sup> day of January, 1979.

(Notary Seal)

[Signature]  
Notary Public

My Commission Expires: on death

This instrument prepared by:  
JOHN FENNIMAN, CHARTERED  
501 E. Osceola Street  
P.O. Box 2473  
Stuart, Florida 33494  
Phone: (305) 287-4300

FLORIDA DEPARTMENT OF POLLUTION CONTROL

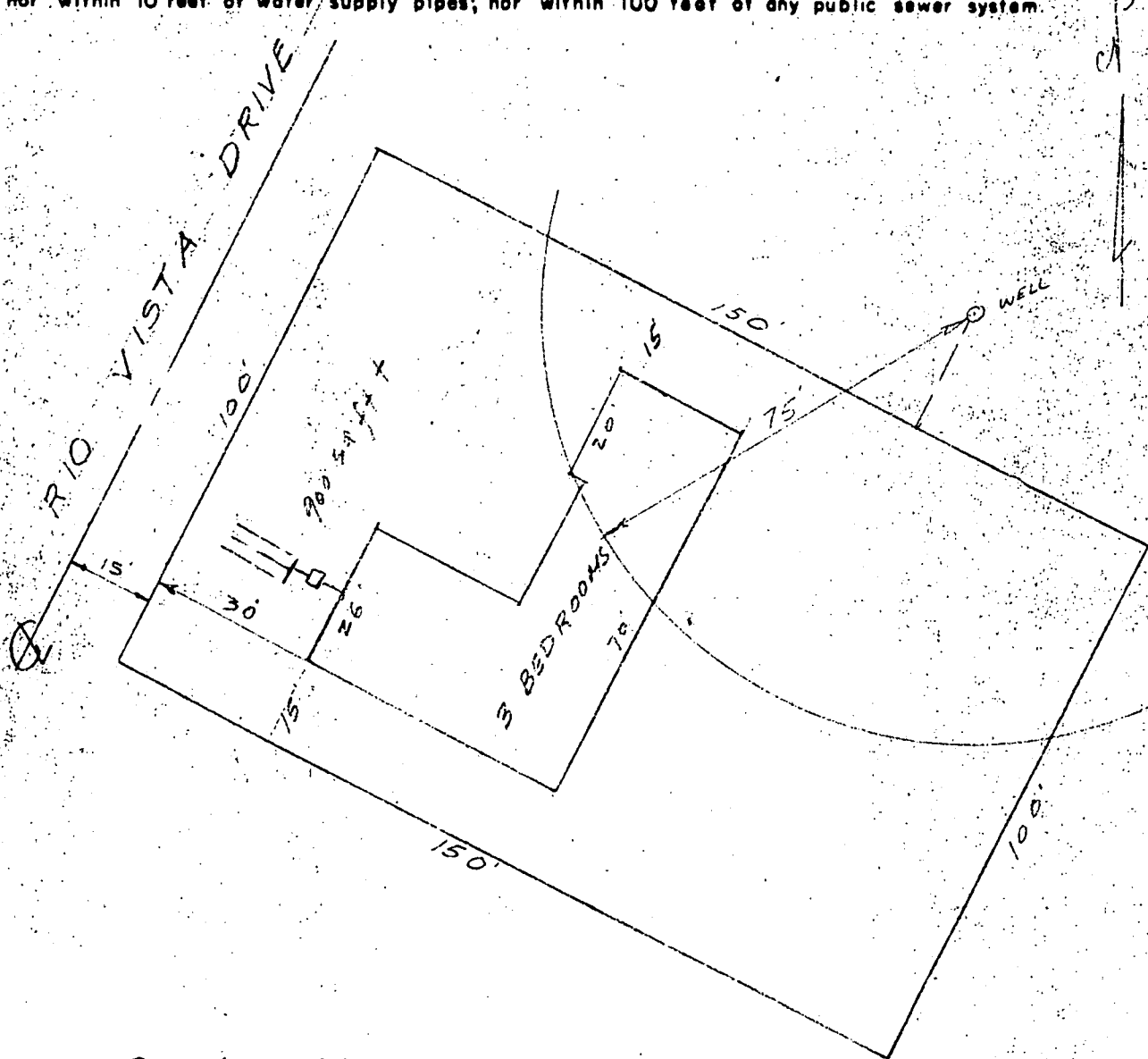
S. E. Subregion  
 806 South 6th Street  
 Fort Pierce, Florida 33450  
 Tel. (305) 464-8525

INDIVIDUAL SEWAGE DISPOSAL FACILITIES

DATA SHEET

Location: Lot 49, Rio Vista Applicant: C.F. Shawver  
 County: Martin

**NOTE:** This septic tank system is not located within 50 feet of the high water line of a lake, stream, canal or other waters, nor within 75 feet of any private well; nor within 100 feet of any public water supply, nor within 10 feet of water supply pipes; nor within 100 feet of any public sewer system.



NOTE: CITY WATER

PLAN  
 Scale: 1" = 30'

SOIL BORING LOG

Soil Identification: CLASS 1 GROUP SP  
 Soil Characteristics \_\_\_\_\_

Percolation Rate 20 <sup>SPC</sup> min/inch

Water Table Depth 5'4"

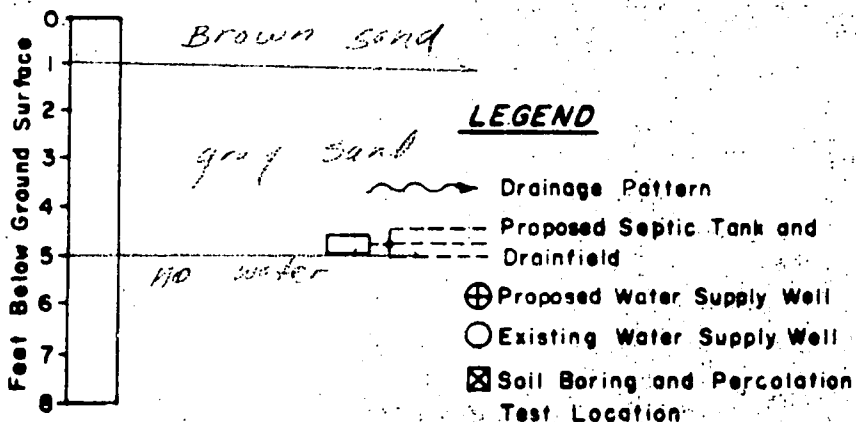
Water Table Depth During Wet Season 5'

Compacted Fill Of \_\_\_\_\_ Req'd

Compacted Fill Checked By: \_\_\_\_\_

Date \_\_\_\_\_

SOIL DATA



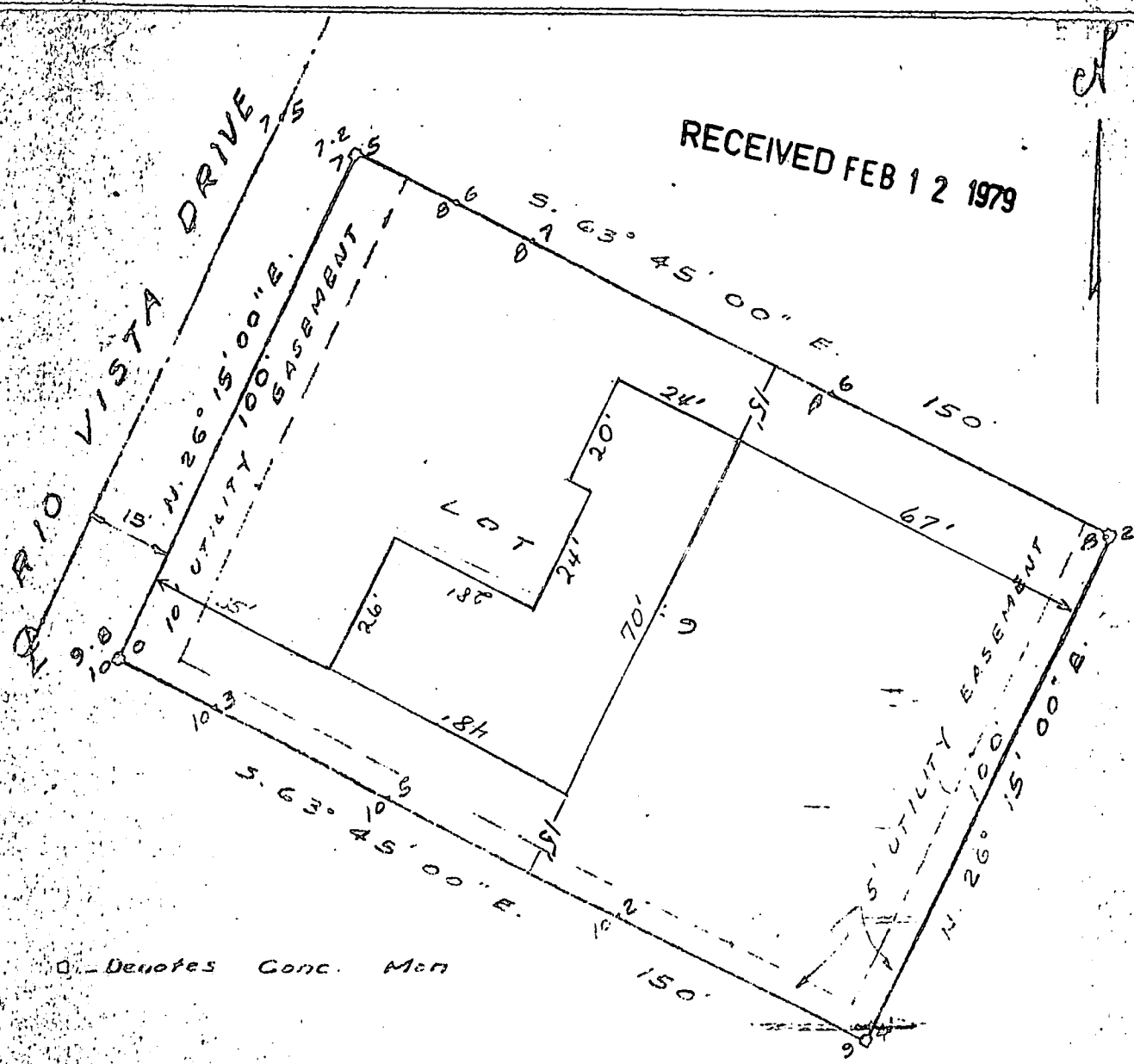
CERTIFIED BY: W.L. Williams

FLORIDA PROFESSIONAL No. 1272

Date 2-7-79 Job No. \_\_\_\_\_

cl

RECEIVED FEB 12 1979



○ - Denotes Conc. Men

# A SURVEY OF

LOT 49

RIO VISTA

MARTIN COUNTY

FLORIDA

938

FOR

HOLMAN T. MCLEAN

SCALE: 1" = 30'	DATE: 2-5-79	PLAT BOOK: 6	PAGE: 95
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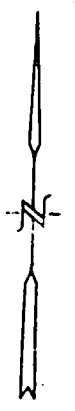
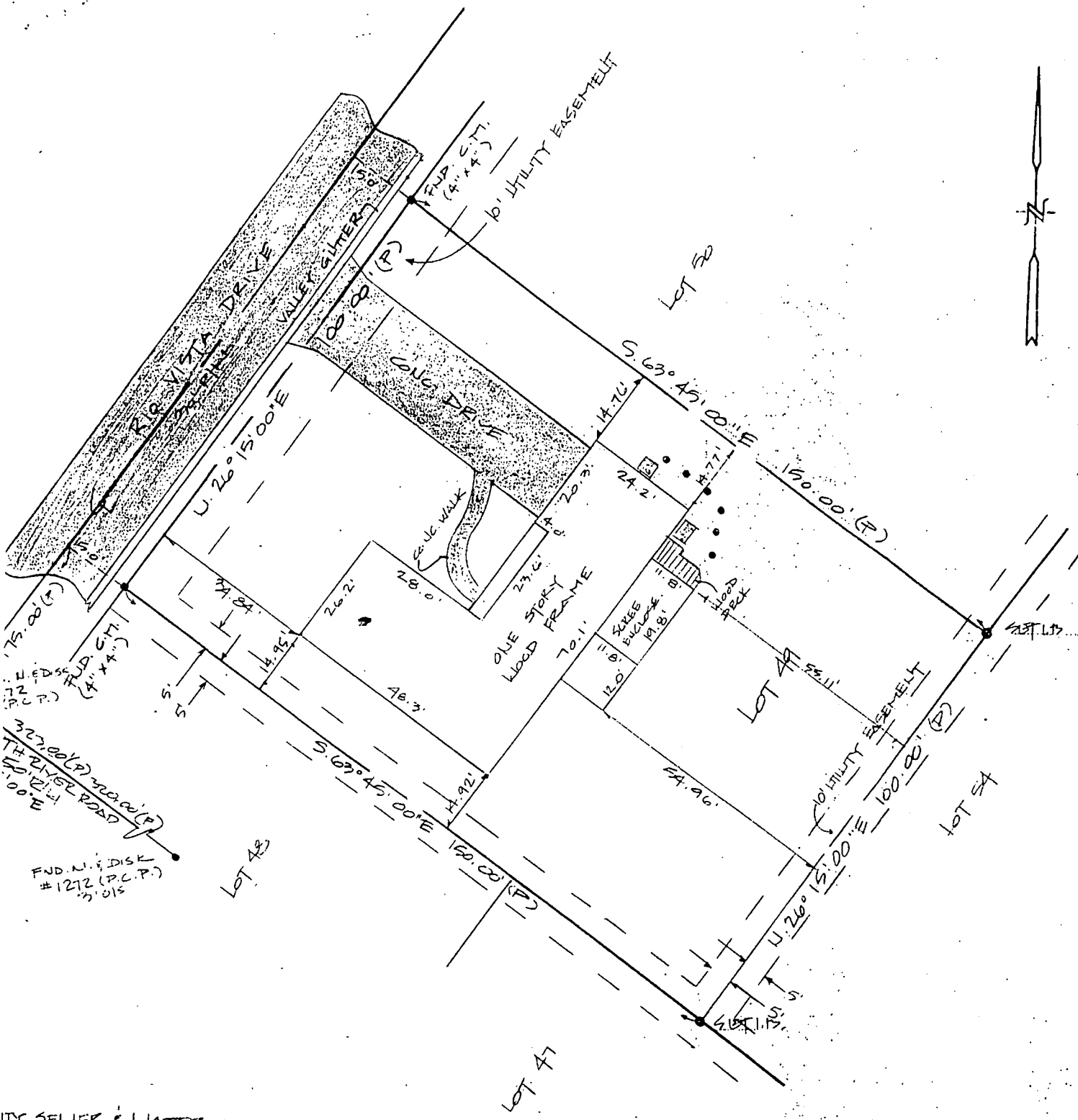
I Hereby Certify that the sketch shown hereon is a correct representation of a survey done under my direction and is true and correct to the best of my knowledge and belief.

**DON WILLIAMS & ASSOCIATES, INC.**

LAND SURVEYORS  
1115 E. OCEAN BLVD. STUART, FLA.

*W.L. Williams*  
W.L. WILLIAMS  
R.L.S. FLA. REG. No. 1272

F.B. 16U Page 77



CITY SEWER & WATER AVAILABLE

PROPERTY LOCATED WITHIN FLOOD ZONE: "C"  
 PROPERTY ADDRESS: 19 RIO VISTA DRIVE

CERTIFIED TO: DONALD E. & LINDA G. HOUSTON  
 ATTORNEYS TITLE INSURANCE FUND, INC.  
 OUGHTERSON, OUGHTERSON, PREWITT  
 & SUNDHEIM, P. A. BARNETT BANK OF  
 PALM BEACH COUNTY

**NOTES:**

1. Survey of description as furnished by Client.
2. Lands shown hereon were not abstracted for easements and/or rights-of-way of record.
- (P) Denotes distance or bearing by description as furnished.
- (F) Denotes measured distance or bearing.
- (C) Denotes calculated distance or bearing.
3. All bearings are referenced to the instrument of record as shown hereon, unless otherwise noted.
4. Elevations shown hereon are relative to National Geodetic Vertical Datum of 1929, and are based on bench mark.
5. There are no above ground encroachments unless otherwise shown.

SET I.B. - SET 5/8 IRON BAR & CAP #4045  
 FND. - FOUND OBJECT  
 I.P. - IRON PIPE  
 C.M. - CONCRETE MONUMENT  
 I.B. - IRON BAR  
 P.K. - P.K. NATL.  
 R.R.S. - RAILROAD SPIKE  
 M.W. - NATL. WASHER  
 N.P. - NATL. PILE  
 O.H.W. - OVERHEAD WIRE  
 D.R. - DRAINAGE  
 R.H. - RANHOLE  
 P.P. - POWER POLE  
 C.B. - CATCH BASIN  
 E.E. - EXISTING ELEVATION

P.O.C. - POINT OF COMMENCEMENT  
 P.O.B. - POINT OF BEGINNING  
 ENC. - ENCROACHMENT

LAST PAGE

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 5/9/79  
Mr. McLean

This is to request that a Certificate of Approval for Occupancy be issued to  
For property built under Permit No. 938 Dated 2/13/79 when completed in  
conformance with the Approved Plans.

C.F. Shaver  
Signed Mr. McLean

RECORD OF INSPECTIONS

Item	Date	Approved by
Set-backs and footings	3/15/79	Jan
Rough plumbing	3/15/79	Jan
Slab	3/15/79	Jan
Perimeter beam	3/28/79	Jan
Close-in, roof and rough electric	4/2/79	Jan
Final Plumbing	5/9/79	Jan
Final Electric	5/9/79	Jan

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector J. Amazzuca date 5/9/79  
Approved by Building Commissioner J. Guenther date 10 May '79

Utilities notified May 9, 1979 date

Original Copy sent to \_\_\_\_\_

(Keep carbon copy for Town files)

19 Rio Vista Drive

**3082**

**RE-SHINGLE ROOF**



APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

3082

Owner MRS. McDOWELL Present Address 19 RIO VISTA DR.  
SEWALLS POINT,

Phone 287-1879  
Contractor COOPER ENTERPRISES, INC Address P.O. BOX 97-6069  
Phone 287-7402 STUART, FL. 34997

Where licensed STATE OF FLORIDA License number CGC-016980  
Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_  
Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought:

REMOVE & RESHINGLE ROOF AT RESIDENCE

State the street address at which the proposed structure will be built:

19 RIO VISTA DR.

Subdivision \_\_\_\_\_ Lot number 49 Block number \_\_\_\_\_

Contract price \$ 5,000.00 Cost of permit \$ \_\_\_\_\_

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Mary Cooper

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Clara B. McDowell

TOWN RECORD

Date submitted \_\_\_\_\_ Approved: Dale Brown 11/5/91  
Building Inspector \_\_\_\_\_ Date \_\_\_\_\_

Approved: \_\_\_\_\_ Final Approval given: \_\_\_\_\_  
Commissioner \_\_\_\_\_ Date \_\_\_\_\_ Date \_\_\_\_\_

Certificate of Occupancy issued (if applicable) \_\_\_\_\_  
Date \_\_\_\_\_

SP1282

Permit No. \_\_\_\_\_

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

911698

NOTICE OF COMMENCEMENT

STATE OF Florida  
COUNTY OF Martin

The undersigned hereby informs all concerned that improvements will be made to certain real property, and in accordance with Section 713.13, Florida Statutes, the following information is stated in this NOTICE OF COMMENCEMENT. This notice shall be void and of no force and effect if construction is not commenced within 30 days of recordation.

DESCRIPTION OF PROPERTY:

General description of improvements: reshingle roof

Owner: Mrs. Clara McDowell

Address: 19 Rio Vista Dr, Sewalls Point

Owner's interest in site of the improvement: residence

Contractor: Cooper Enterprises, Inc

Address: PO Box 97-6069, Stuart, FL

Surety (if any): \_\_\_\_\_

Address: \_\_\_\_\_

Amount of Bond: \_\_\_\_\_

Lender: None

Address: \_\_\_\_\_

Name of person within the State of Florida designated by owner upon whom notices or other documents may be served:

Name: None

Address: \_\_\_\_\_

In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.06(2)(b), Florida Statutes:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

MARSHA STILLER  
CLERK OF CIRCUIT COURT  
D.C.

FILED FOR RECORD  
MARTIN CO. FLA.  
01 NOV -5 AM 11:21

Sworn to and subscribed before me this 5<sup>th</sup> day  
of November, 1991.

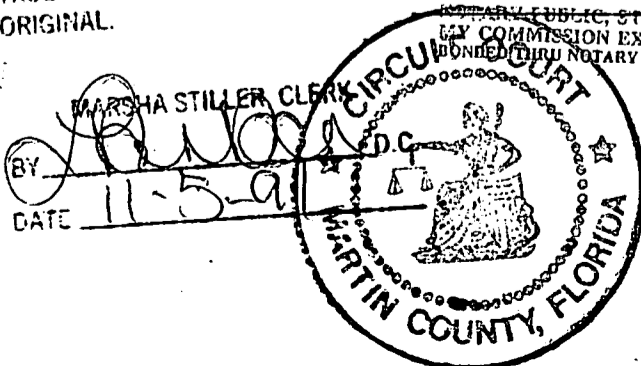
Juan Cooper

I am a Notary Public of the  
STATE OF \_\_\_\_\_ AT LARGE, and  
TRUE AND CORRECT COPY OF THEM Commission Expires:

STATE OF FLORIDA  
COUNTY OF MARTIN

(NOTARY SEAL)

THIS IS TO CERTIFY THAT THIS IS A  
ORIGINAL.



NOTARY PUBLIC, STATE OF FLORIDA.  
MY COMMISSION EXPIRES: May 10, 1995.  
BONDED BY NOTARY PUBLIC UNDERWRITERS.

**7327**

**RE-ROOF**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 2/22/05

BUILDING PERMIT NO. 7327

Building to be erected for GRIFFEN

Type of Permit RELOOK

Applied for by PACIFIC ROOFING

WORK W/O PERMIT  
(Contractor) Building Fee 250.00

Subdivision RIO VISTA Lot 49 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 19 RIO VISTA DRIVE

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Parcel Control Number:

1238410020000049040000

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Amount Paid 250.00 Check # 8142 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 10,000

TOTAL Fees 250.00

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

## PERMIT

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL    |
| <input type="checkbox"/> PLUMBING         | <input checked="" type="checkbox"/> ROOFING  | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE         |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS           |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION    |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL            | <input type="checkbox"/> ADDITION      |

## INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

BY:

Date: 10 January 05

Permit Number: \_\_\_\_\_

### Town of Sewall's Point BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME: John Greffen Phone (Day) \_\_\_\_\_ (Fax) \_\_\_\_\_

Job Site Address: 19 Rio Vista Drive City: Stuart State: FL Zip: 34996

Legal Description of Property: RPO Vista SID Lot 49 Parcel Number: 1238410020000004904

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: Re-roof Shingle to Shingle

WILL OWNER BE THE CONTRACTOR?: Yes  No  (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: Pacific Roofing Phone: 283-7663 Fax: 283-9505

Street: P.O. Box 2697 City: Stuart State: FL Zip: 34999

State Registration Number: CC056793 State Certification Number: \_\_\_\_\_ Martin County License Number: \_\_\_\_\_

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 10,000 (Notice of Commencement needed over \$2500)

#### SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: Pacific Roofing State: FL License Number: CC056793

ARCHITECT \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Lining: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof 3,000 Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

John Greffen

State of Florida, County of: \_\_\_\_\_

This the 10 day of January 2005

by \_\_\_\_\_ who is personally

known to me or produced

as Identification. James Nickerson

Notary Public

My Commission Expires: \_\_\_\_\_

CONTRACTOR SIGNATURE (required)

[Signature]

On State of Florida, County of: \_\_\_\_\_

This the 10 day of January 2005

by \_\_\_\_\_ who is personally

known to me or produced

As Identification. James Nickerson

Notary Public

My Commission Expires: \_\_\_\_\_



James Nickerson  
My Commission DD271437



James Nickerson  
My Commission DD271437



Permit # \_\_\_\_\_  
Tax Folio # 2238416-2000004904

INSTR # 1806352  
OR BK 01972 PG 2589  
RECORDED 01/13/2005 01:09:01 PM  
MARSHA EWING  
CLERK OF MARTIN COUNTY FLORIDA  
RECORDED BY M Ferschke

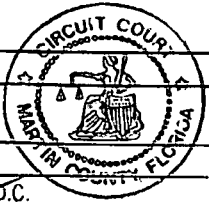
### Notice of Commencement

State of Florida  
County of Martin

The Undersigned hereby gives notice that improvement will be made to certain real property and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

- Description of the property: 19 Rio Vista Drive, Stuart, FL  
RPO Vista S/D LOT 49
- General description of improvement(s): Re-roof
- Owner information:
  - Name & address: John Griffin  
19 RPO Vista Stuart, FL 34994
  - Interest in property: \_\_\_\_\_
  - Name & address of fee simple titleholder (other than owner): \_\_\_\_\_

MARTIN COUNTY  
THIS IS TO CERTIFY THAT THE  
FOREGOING \_\_\_\_\_ PAGES IS A TRUE  
AND CORRECT COPY OF THE ORIGINAL  
MARSHA EWING, CLERK  
BY Mh DATE 1/13/05 D.C.



- Contractor's name & address: Pacific Roofing  
P.O. Box 2607 Stuart, FL 34994
  - Phone number: ( ) 283-7003
  - Fax number: ( ) 283-9503

- Surety Information:
  - Name & Address: \_\_\_\_\_
  - Phone number: ( ) \_\_\_\_\_
  - Fax number: ( ) \_\_\_\_\_

- Lender's name & address: \_\_\_\_\_
  - Phone number: ( ) \_\_\_\_\_
  - Fax number: ( ) \_\_\_\_\_

- Person within the State of Florida designated by owner upon whom notices or other documents may be served as provided by 713.13(1)(a), 7 Florida Statutes:  
Name & address: \_\_\_\_\_
  - Phone number: ( ) \_\_\_\_\_
  - Fax number: ( ) \_\_\_\_\_


- In addition to himself, owner designates \_\_\_\_\_ of \_\_\_\_\_  
To receive a copy of the Lioror's Notice as provided in Section 713.13(1)(b), Florida Statutes.

- Expiration date of Notice of Commencement (the expiration date is one (1) year from the date of the recording unless a different date is specified): \_\_\_\_\_

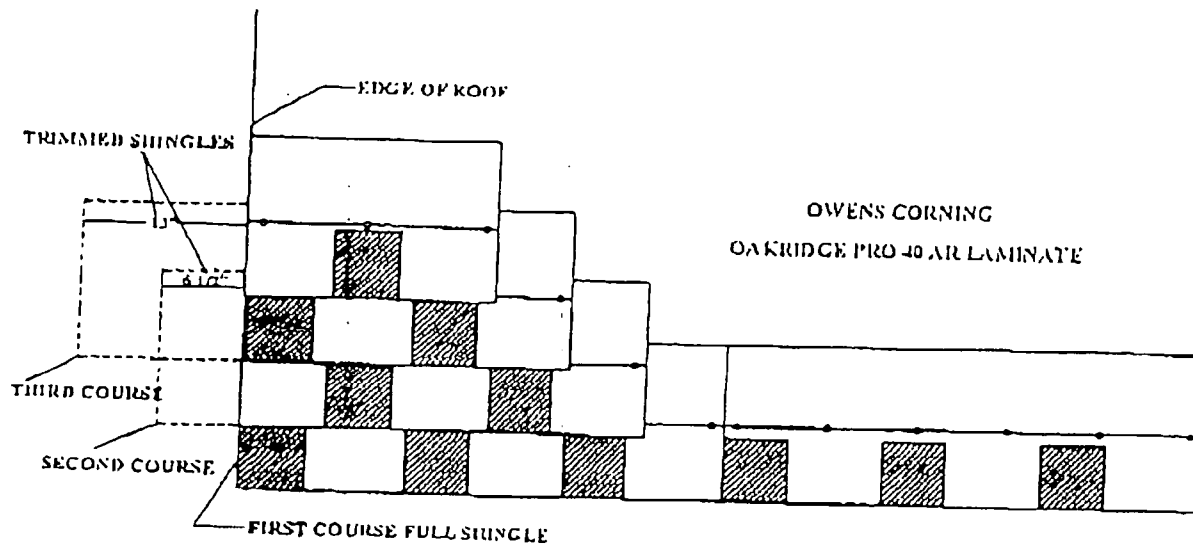
Printed Name of owner: John Griffin  
Signature of owner: John Griffin

Notary \_\_\_\_\_  
Known Personally/J.D. Shown \_\_\_\_\_  
My commission expires: \_\_\_\_\_

James Nickerson  
My Commission DD271437  
Expires December 13, 2007

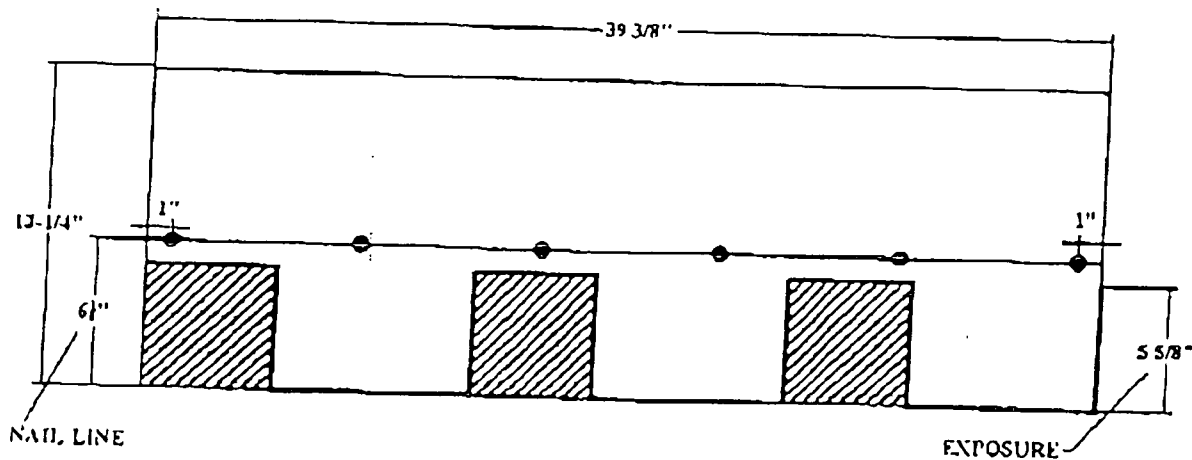


### DETAIL A



### DETAIL B

OWENS CORNING  
FASTENING PATTERN & PHYSICAL DIMENSIONS  
OAKRIDGE PRO 40 AR LAMINATE



END OF THIS ACCEPTANCE



NOA No.: 01-1127.08  
Expiration Date: 07/19/06  
Approval Date: 01/31/02  
Page 3 of 3

## ROOFING SYSTEM APPROVAL

Category: Roofing  
Sub-Category: 07310 Asphalt Shingles  
Material: Laminate

### 1. Scope:

This renews a roofing system using Owens Corning Oakridge PRO 40 AR. Asphalt shingles manufactured by Owens Corning as described in this Notice of Acceptance, designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County.

### 2. PRODUCT DESCRIPTION

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Oakridge PRO 40 AR	13 1/4" x 39 3/8"	PA 110	A heavy weight, fiberglass reinforced four tab asphalt shingle.

### 3. LIMITATIONS:

- 3.1. Fire classification is not part of this acceptance; refer to a current Approved Roofing Materials Directory for fire ratings of this product.
- 3.2. Shall not be installed on roof mean heights in excess of 33 ft.

### 4. INSTALLATION:

- 4.1 Shingles shall be installed in compliance with Miami-Dade County Product Control Shingle Installation Procedure No. 115.
- 4.2 Flashing shall be in accordance with Section 9.3 Option "B" (step-flashings) of Miami-Dade County Product Control Shingle Installation Procedure No. 115.
- 4.3 The manufacturer shall provide clearly written application instructions.
- 4.4 Exposure and course layout shall be in compliance with Detail 'A', attached.
- 4.5 Nailing shall be in compliance with Detail 'B', attached.

### 5. LABELING:

- 5.1 Shingles shall be labeled with the Miami-Dade Logo or the wording "Miami-Dade County Product Control Approved".

### 6. BUILDING PERMIT REQUIREMENTS:

- 6.1 Application for building permit shall be accompanied by copies of the following:
  - 6.1.1 This Notice of Acceptance
  - 6.1.2 Any other document required by Building Official or the Applicable Code in order to properly evaluate the installation of this system.







**BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908**

**NOTICE OF ACCEPTANCE (NOA)**

Owens Corning  
One Owens Corning Parkway  
Toledo, OH 43659

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by the BCCO and accepted by the Building Code and Product Review Committee to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The BCCO (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BCCO reserves the right to revoke this acceptance, if it is determined by BCCO that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County or Florida Building Code.

**DESCRIPTION: Oakridge PRO 40 AR**

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of pages through 3.

The submitted documentation

**FILE COPY**  
 TOWN OF SEWALLE'S POINT  
 THESE PLANS HAVE BEEN  
 REVIEWED FOR CODE COMPLIANCE  
 DATE: 1/14/05  
 BUILDING OFFICIAL  
 Gene Simmons



NOA No.: 01-1127.08  
Expiration Date: 07/19/06  
Approval Date: 01/31/02  
Page 1 of 3

---

# STOP WORK ORDER

DATE: 2/15/05

ADDRESS: 19 PALM VISTA

**OWNER/CONTRACTOR is hereby notified to STOP WORK immediately upon reading this notice.**

The work described below requires a permit:

WORK w/o PERMIT,  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Continued work from the date of this notice will constitute additional fines and prosecution through the Sewall's Point Code Enforcement Board and/or the State Licensing Board.

COENE SIMMONS  
BUILDING OFFICIAL OR INSPECTOR

**DO NOT REMOVE THIS NOTICE  
UNTIL PERMIT IS OBTAINED!**

7327

**INTERDEPARTMENTAL REFERRAL**

To:

Building Dept.     Maintenance Dept.     Police Dept.     Other

Date: 2/14/05    Time: 1145am    Location: 19 Rio Vista

Nature of Problem: Roofing being done. No

Permit

Observed By: Al K.S. [Signature] 02944

Action Taken: PERMIT HAS BEEN PULLED

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 8/3, 2005 Page 2 of     

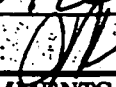


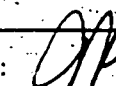
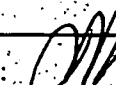
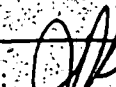
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7687	<del>COOPER</del>	<del>DRY-IN</del>	<del>PASS</del>	<del>RESCHEDULE FOR</del>
1A	33 W. HIGH POINT TOTAL ROOFING			8/5 FIRST. INSPECTOR:
7439	DIMITRIOU	FINAL ROOF	PASS	CLOSE
12	6 BANYAN FEAZEL ROOFING			INSPECTOR: <i>OW</i>
<del>7327</del>	<del>GRIFFEN</del>	<del>FINAL ROOF</del>	<del>DUPLICATION</del>	
<del>X</del>	<del>19 RIO VISTA DR</del> <del>PACIFIC ROOFING</del>			INSPECTOR:
7478	HOGLE	DRY-IN	FAIL	
1	22 N. SEWALLS PT ANCHOR ROOFING			INSPECTOR: <i>OW</i>
7571	BECKER	GENERATOR ELEC	PASS	CLOSE
2	16 E. HIGH POINT BRODY ELECTRIC			INSPECTOR: <i>OW</i>
7685	GILLEN	FINAL ROOF	FAIL	
6	5 PALMETTO PACIFIC ROOFING			\$40 FEE INSPECTOR: <i>OW</i>
<del>7327</del>	<del>GRIFFEN</del>	<del>FINAL ROOF</del>	<del>PASS</del>	<del>CLOSE</del>
5	19 RIO VISTA DR PACIFIC ROOFING			INSPECTOR: <i>OW</i>

OTHER: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 3/18, 2005 Page 1 of    

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6741	OSTEEN 1 RIDGEVIEW RD ANGUS ENT	DRIVEWAY		CANCEL Toni  INSPECTOR:
<del>7327</del>	<del>GLENN</del> 19 RIO VISTA DR PACIFIC ROOFING	<del>DRY IN</del>	<del>FAIL</del>	#40 FEE INSPECTOR: 
4				
TREE	CANTWELL 34 CASTLE HILL WY	TREE	PASS	INSPECTOR: 
10				
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7162	Palm Row Assoc	FINAL DOCK	PASS	
1	20 S. Sewall's Pt RMS ELECTRIC			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7282	SHORT	ELEC ROUGH	PASS	
7	10 N. RIVER RD O/B			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7296	BAUMGARDNER	FENCE FINAL	PASS	CLOSE
8	3 BANYAN O/B			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	PERRY	TREE	PASS	
3	24 S. SEWALL'S PT			INSPECTOR: 

OTHER:

16 CRANE'S NEST SOFFIT INSP.



7327

**TOWN OF SEWALL'S POINT**  
One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

**CORRECTION NOTICE**

ADDRESS: 19 RIO VISTA

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

DRY IN

NOT READY

MISSING ALL FLASHING & METAL WORK.

\_\_\_\_\_

\$40 FEE

\_\_\_\_\_

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 3/18

[Signature]

INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 3/21, 2005 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7256	SCHADER	Pool Pumping	<del>FAIL</del> PASS	
10	4 EMARITAWAY	POOL ELECTRIC	FAIL	INSPECTOR:
	OLYMPIC POOLS			
7350	GOVEL	FLOOR FRAMING	PASS	
9	5 RIVERVIEW			INSPECTOR:
	O/B			
<del>7327</del>	<del>GRIFFEN</del>	<del>DRY-IN</del>	<del>PASS</del>	
3	19 RIO VISTA			INSPECTOR:
	PACIFIC ROOFING			
7272	HB ASSOC.	CLG. MECH.	PASS	<del>FAIL</del>
1A	3706 SE OLAN			INSPECTOR:
	KIRCHMAN			
TREE	LIBITSKY	TREE	PASS	
	3 RIO VISTA DR			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: 
<b>OTHER:</b>				

**7735**

**REMOVE**

**REPLACE DRYWALL**



MASTER PERMIT NO. \_\_\_\_\_

**TOWN OF SEWALL'S POINT**

Date 8/17/05

**BUILDING PERMIT NO. 7735**

Building to be erected for GRIFFIN

Type of Permit R&R Det wall

Applied for by CASCO CONST INC.

(Contractor) Building Fee 35.00

Subdivision RIO VISTA Lot 49 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 19 RIO VISTA DRIVE

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Parcel Control Number:

17384100200000490000

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Amount Paid 35.00 Check # 10107 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ )

Total Construction Cost \$ 2380.00

TOTAL Fees 35.00

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

**PERMIT**

- |  |  |  |
|--|--|--|
| <input checked="" type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL    |
| <input type="checkbox"/> PLUMBING            | <input type="checkbox"/> ROOFING             | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT      | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE         |
| <input type="checkbox"/> SCREEN ENCLOSURE    | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS           |
| <input type="checkbox"/> FILL                | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION    |
| <input type="checkbox"/> TREE REMOVAL        | <input type="checkbox"/> STEMWALL            | <input type="checkbox"/> ADDITION      |

**INSPECTIONS**

- |                                   |                              |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____        | UNDERGROUND GAS _____        |
| UNDERGROUND MECHANICAL _____      | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____            | FOOTING _____                |
| SLAB _____                        | TIE BEAM/COLUMNS _____       |
| ROOF SHEATHING _____              | WALL SHEATHING _____         |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____                   |
| ROOF TIN TAG/METAL _____          | ROOF-IN-PROGRESS _____       |
| PLUMBING ROUGH-IN _____           | ELECTRICAL ROUGH-IN _____    |
| MECHANICAL ROUGH-IN _____         | GAS ROUGH-IN _____           |
| FRAMING _____                     | EARLY POWER RELEASE _____    |
| FINAL PLUMBING _____              | FINAL ELECTRICAL _____       |
| FINAL MECHANICAL _____            | FINAL GAS _____              |
| FINAL ROOF _____                  | BUILDING FINAL _____         |

RECEIVED  
8/9/05

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: 8-9-05

OWNER/TITLEHOLDER NAME: JOHN GRIFFIN Phone (Day) 220-3530 (Fax) \_\_\_\_\_

Job Site Address: 19 RIO VISTA City: SEWALL'S PT State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) LOT 49 Parcel Number: 1238410020000490

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: REMOVE AND REPLACE DAMAGED DRYWALL

WILL OWNER BE THE CONTRACTOR?:

YES

NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 2380.00

(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: \_\_\_\_\_

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: CASCO CONST. INC. Phone: 215-0941 Fax: 281-1315

Street: 2926 SE PARAMOUNT PL City: STUART State: FL Zip: 34997

State Registration Number: \_\_\_\_\_ State Certification Number: CBC1251084 Martin County License Number: \_\_\_\_\_

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004  
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)  
Anthony D'Amiano

State of Florida, County of: Martin

This the 9th day of August, 2005

by Anthony D'Amiano who is personally

known to me or produced FL DL-D550-000-28326-0

as identification. \_\_\_\_\_

My Commission Expires: Byron Sigman Schaming

CONTRACTOR SIGNATURE (required)  
Charles A. Schaming, III

On State of Florida, County of: MARTIN

This the 8th day of AUGUST, 2005

by CHARLES A. SCHAMING, III who is personally

known to me or produced \_\_\_\_\_

As identification. Joe Ireland

My Commission Expires: \_\_\_\_\_

PERMIT APPLICATIONS VALID FOR APPROVAL NOTIFICATION - PLEASE PICK UP PERMIT FROM APPROVAL OFFICE  
Expires: Oct 03, 2006  
Bonded Thru Atlantic Bonding Co., Inc.



February 15, 2005

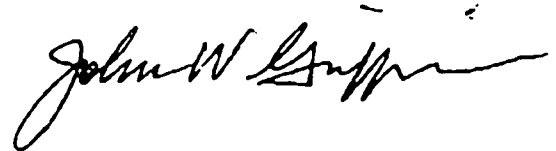
To whom it may concern,

This is to confirm that Anthony J. D'Amiano of 5 Island Road, Stuart, Florida has power of attorney to sign any documents regarding construction and/or improvements of my property at 19 Rio Vista Road, Stuart, Florida on my behalf.

Lisa A. Kalogeropoulos

*Lisa A. Kalogeropoulos*

*my Commission Expires: 2/5/2008*



John W. Griffin

<b>ACORD CERTIFICATE OF LIABILITY INSURANCE</b>		DATE (MM/DD/YYYY) 08/09/2005
<b>PRODUCER</b> C F Insurance Services, Inc. 218 South Lake Avenue P.O. Box 1189 Apopka FL 32704-1189		THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.
<b>INSURED</b> CASCO CONSTRUCTION, INC. 2926 SE PARAMOUNT PL  Stuart FL 34997		
		<b>INSURERS AFFORDING COVERAGE</b> <b>NAIC #</b>
		INSURER A: Mid-Continent Casualty Company
		INSURER B:
		INSURER C:
		INSURER D:
		INSURER E:

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	ADD'L INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YYYY)	POLICY EXPIRATION DATE (MM/DD/YYYY)	LIMITS	
A		GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	04GL000596009	07/07/2005	07/07/2006	PER OCCURRENCE	\$ 1,000,000
		DAMAGE TO RENTED PREMISES (Per occurrence) MEDICAL (Any one person)				\$ 100,000 \$ excluded	
		GENERAL AGGREGATE LIMIT APPLIES FOR <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PER ACCIDENT <input type="checkbox"/> LOC				PERSONAL & ADM INJURY	\$ 1,000,000
						GENERAL AGGREGATE	\$ 2,000,000
						PRODUCTS COMP/OP AGG	\$ 2,000,000
		<b>AUTOMOBILE LIABILITY</b>				COMBINED SINGLE LIMIT (Per accident)	\$
		ANY AUTO				BODILY INJURY (Per person)	\$
		ALL OWNED AUTOS				BODILY INJURY (Per occurrence)	\$
		SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$
		LEASED AUTOS					
		NON OWNED AUTOS					
		<b>GARAGE LIABILITY</b>				AUTO ONLY - PER ACCIDENT	\$
		ANY AUTO				OTHER THAN AUTO ONLY	EA ACC \$ AGG \$
		<b>EXCESS/UMBRELLA LIABILITY</b>				PER OCCURRENCE	\$
		<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE  <input type="checkbox"/> EXCESS/UMB RETENTION \$				AGGREGATE	\$
							\$
							\$
							\$
		<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b>				WC STATE LEGISLATIVE LIMITS	OTH- PL
		ANY FROM THE FURN/AN/NEW/EXECUTIVE OFFICER/EMPLOYEE'S EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				PL PER ACCIDENT	\$
						EL DISEASE - EA EMPLOYEE	\$
						PL DISEASE - POLICY LIMIT	\$
		<b>OTHER</b>					

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

Fax to 1772-220-4765

**CERTIFICATE HOLDER**

Town of Sewall's Point Building Department  
 1 South Sewalls Point Blvd.  
  
 Sewalls Point, FL 34998

**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE <LK>

*[Signature]*  
 © ACORD CORPORATION 1988



TOM GALLAGHER  
CHIEF FINANCIAL OFFICER

STATE OF FLORIDA  
DEPARTMENT OF FINANCIAL SERVICES  
DIVISION OF WORKERS' COMPENSATION

**\*\* CERTIFICATE OF EXEMPTION FROM FLORIDA WORKERS' COMPENSATION LAW \*\***

CONSTRUCTION INDUSTRY EXEMPTION

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation Law.

EFFECTIVE DATE: 06/21/2005

\*\* EXPIRATION DATE: 06/21/2007

PERSON: SCHAMING BRETT G

FEIN: 592827397


BUSINESS NAME AND ADDRESS: CASCO CONSTRUCTION INC  
2926 SE PARAMOUNT PL  
STUART FL 34997

SCOPE OF BUSINESS OR TRADE: 1 - CERTIFIED GENERAL CONTRACTOR

PURSUANCE REQUIREMENT

IMPORTANT: Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.

PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

<p>STATE OF FLORIDA DEPARTMENT OF FINANCIAL SERVICES DIVISION OF WORKERS' COMPENSATION</p>  <p>CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION FROM FLORIDA WORKERS' COMPENSATION LAW</p> <p>EFFECTIVE: 06/21/2005 ** EXPIRATION DATE: 06/21/2007</p> <p>PERSON: SCHAMING BRETT G FEIN: 592827397</p> <p>BUSINESS NAME AND ADDRESS: CASCO CONSTRUCTION INC 2926 SE PARAMOUNT PL STUART FL 34997</p> <p>SCOPE OF BUSINESS OR TRADE: 1- CERTIFIED GENERAL CONTRACTOR</p>	<p>F O L D</p> <p>IMPORTANT</p> <p>Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.</p> <p>QUESTIONS? (850) 413-1609</p>
--	--

CUT HERE

\* Carry bottom portion on the job, keep upper portion for your records.



TOM GALLAGHER  
CHIEF FINANCIAL OFFICER

STATE OF FLORIDA  
DEPARTMENT OF FINANCIAL SERVICES  
DIVISION OF WORKERS' COMPENSATION

**\*\* CERTIFICATE OF EXEMPTION FROM FLORIDA WORKERS' COMPENSATION LAW \*\***

CONSTRUCTION INDUSTRY EXEMPTION

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation Law.

EFFECTIVE DATE: 06/21/2005

\*\* EXPIRATION DATE: 06/21/2007

PERSON: SCHAMING CHARLES A III

FEIN: 592827397

BUSINESS NAME AND ADDRESS: CASCO CONSTRUCTION INC  
2926 S.E. PARAMOUNT PLACE  
STUART FL 34997

SCOPE OF BUSINESS OR TRADE: 1- CERTIFIED BUILDING CONTRACTOR


**IMPORTANT:** Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.

DWC - 252 CERTIFICATE OF ELECTION TO BE EXEMPT REVISED 01-04

QUESTIONS? (850) 413-1609

PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

STATE OF FLORIDA  
DEPARTMENT OF FINANCIAL SERVICES  
DIVISION OF WORKERS' COMPENSATION



CONSTRUCTION INDUSTRY  
CERTIFICATE OF EXEMPTION FROM FLORIDA  
WORKERS' COMPENSATION LAW

EFFECTIVE: 06/21/2005  
\*\* EXPIRATION DATE: 06/21/2007

PERSON: SCHAMING CHARLES A III

FEIN: 592827397

BUSINESS NAME AND ADDRESS: CASCO CONSTRUCTION INC  
2926 S.E. PARAMOUNT PLACE  
STUART FL 34997

SCOPE OF BUSINESS OR TRADE:  
1- CERTIFIED BUILDING CONTRACTOR

F  
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**IMPORTANT**

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QUESTIONS? (850) 413-1609

CUT HERE

\* Carry bottom portion on the job, keep upper portion for your records.

2004-2005 MARTIN COUNTY ORIGINAL  
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995  
(772) 288-5804

LICENSE 1900-512-317 CERT \_\_\_\_\_  
PHONE (561)287-1315 SIC NO 001521

LOCATION:  
2926 SE PARAMOUNT MAR

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR \$	.00	LIC. FEE \$	25.00
\$	.00	PENALTY \$	.00
\$	.00	COL. FEE \$	.00
\$	.00	TRANSFER \$	.00
TOTAL		25.00	

SCHAMING, CA III  
CASCO CONSTRUCTION INC  
2926 SE PARAMOUNT  
STUART FL 34997

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION:

GENERAL CONTRACTOR

OF

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

26 AUGUST 04

AND ENDING SEPTEMBER 30, 2005

12 04082501 000191



STATE OF FLORIDA

AC# 1440042

DEPARTMENT OF BUSINESS AND  
PROFESSIONAL REGULATION

CBC1251084 06/08/04 030708086

CERTIFIED BUILDING CONTRACTOR  
SCHAMING, CHARLES A III  
CASCO CONSTRUCTION, INC.

IS CERTIFIED under the provisions of Ch.489 FS.

Expiration date: AUG 31, 2006 L04060800857

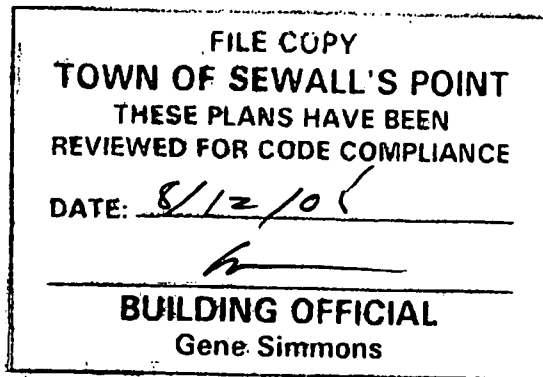
Casco Construction Inc.  
2926 SE Paramount Place  
Stuart, Florida 34997

Scope of work for:

Griffin  
19 Rio Vista Drive

Remove and replace drywall at:

Foyer ceiling  
Bedroom 1 ceiling & 1 wall  
Bedroom 2 ceiling & 1 wall  
Guest Bath – partial ceiling





**7366**

**ADD GABLE**

MAR 03 2005

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

BY: \_\_\_\_\_

Date: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: Griffen Phone (Day) 2153700 (Fax) \_\_\_\_\_

Job Site Address: 19 Rio Vista City: Sewalls Point State: FL Zip: \_\_\_\_\_

Legal Desc. Property (Subd/Lot/Block) Rio Vista Lot 49 Parcel Number: 12384100200004904

Owner Address (if different): \_\_\_\_\_ City: Sewallpoint State: FL Zip: \_\_\_\_\_

Description of Work To Be Done: Add Cable Dometer to front of House

WILL OWNER BE THE CONTRACTOR?:

YES  NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 1600

(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

Is Improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: \_\_\_\_\_

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: Jim Campbell Const Inc Phone: 203-0052 Fax: 334-2355

Street: 104 Again Trail City: Jensen Beach State: FL Zip: 34957

State Registration Number: \_\_\_\_\_ State Certification Number: BC1252023 Martin County License Number: MC00144

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic.# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

Anthony D'Amiano

State of Florida, County of: MARTIN

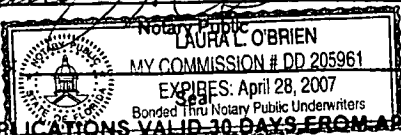
This the 15th day of FEBRUARY, 2005

by ANTHONY D'AMIANO who is personally

known to me or produced FLDY 0580000-28-326 0

as identification Daniel J. O'Brien x9/6/09

My Commission Expires \_\_\_\_\_



CONTRACTOR SIGNATURE (required)

James Campbell

On State of Florida, County of: Martin

This the 15th day of February, 2005

by James Campbell who is personally

known to me or produced \_\_\_\_\_

As identification, \_\_\_\_\_



Margaret L. Montanaro Notary Public

My Commission Expires: October 8, 2005

Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 3/4/05

BUILDING PERMIT NO. 7366

Building to be erected for GRIFFEN Type of Permit ADD GABLE TO ROOF

Applied for by Jim CAMPBELL (Contractor) Building Fee 35.00

Subdivision RIO VISTA Lot 49 Block \_\_\_\_\_ Radon Fee \_\_\_\_\_

Address 19 RIO VISTA Impact Fee \_\_\_\_\_

Type of structure SFL A/C Fee \_\_\_\_\_

Parcel Control Number: \_\_\_\_\_ Electrical Fee \_\_\_\_\_

17 38410 0200000 49040000 Plumbing Fee \_\_\_\_\_

Amount Paid 35.00 Check # \_\_\_\_\_ Cash  Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 1600.00 TOTAL Fees 35.00

Signed Shawn D. Campbell Applicant Signed Gene Simmons (GWS) Town Building Official

## PERMIT

- |  |  |  |
|--|--|--|
| <input checked="" type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL    |
| <input type="checkbox"/> PLUMBING            | <input type="checkbox"/> ROOFING             | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT      | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE         |
| <input type="checkbox"/> SCREEN ENCLOSURE    | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS           |
| <input type="checkbox"/> FILL                | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION    |
| <input type="checkbox"/> TREE REMOVAL        | <input type="checkbox"/> STEMWALL            | <input type="checkbox"/> ADDITION      |

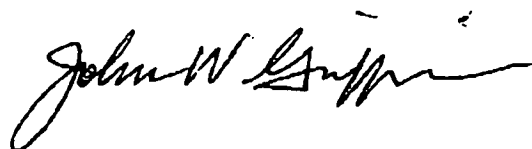
## INSPECTIONS

- |                             |       |                        |       |
|-----------------------------|-------|------------------------|-------|
| UNDERGROUND PLUMBING        | _____ | UNDERGROUND GAS        | _____ |
| UNDERGROUND MECHANICAL      | _____ | UNDERGROUND ELECTRICAL | _____ |
| STEMWALL FOOTING            | _____ | FOOTING                | _____ |
| SLAB                        | _____ | TIE BEAM/COLUMNS       | _____ |
| ROOF SHEATHING              | _____ | WALL SHEATHING         | _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS | _____ | LATH                   | _____ |
| ROOF TIN TAG/METAL          | _____ | ROOF-IN-PROGRESS       | _____ |
| PLUMBING ROUGH-IN           | _____ | ELECTRICAL ROUGH-IN    | _____ |
| MECHANICAL ROUGH-IN         | _____ | GAS ROUGH-IN           | _____ |
| FRAMING                     | _____ | EARLY POWER RELEASE    | _____ |
| FINAL PLUMBING              | _____ | FINAL ELECTRICAL       | _____ |
| FINAL MECHANICAL            | _____ | FINAL GAS              | _____ |
| FINAL ROOF                  | _____ | BUILDING FINAL         | _____ |

February 15, 2005

To whom it may concern,

This is to confirm that Anthony J. D'Amiano of 5 Island Road, Stuart, Florida has power of attorney to sign any documents regarding construction and/or improvements of my property at 19 Rio Vista Road, Stuart, Florida on my behalf.



John W. Griffin

Lisa A. Kalogeropoulos

*Lisa A. Kalogeropoulos*

*my Commission Expires: 12/15/2008*

FILED AG HIL INTAKE  
 2006-203-3400

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 3/15, 2005 Page 1 of   

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>7236</del>	<del>GREEN</del>	<del>FOUNDING</del>	<del>FAIL</del>	
6	19 RIO VISTA JIM CAMPBELL			INSPECTOR
6708	ANDERSON	PUMPING ROD	PASS	
12	9 PALMETTO DR PALM BEACH CREATIVE			INSPECTOR
6926	FRICK	FINAL REPAIR RETAINING WALL	PASS	
3	21 PALM ROAD O/B			INSPECTOR
6931	FRICK	FINAL DOCK REPAIR	PASS	
3	21 PALM ROAD O/B			INSPECTOR
6936	FRICK	FINAL ROOF REPAIR	PASS	
3	21 PALM ROAD O/B			INSPECTOR
7237	FRICK	FINAL REG. WALL	PASS	
3	21 PALM ROAD O/B			INSPECTOR
TREE	FRICK	TREE	PASS	
3	21 PALM RD			INSPECTOR

OTHER: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_



**TOWN OF SEWALL'S POINT**  
One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

7366

**CORRECTION NOTICE**

ADDRESS: 19 RIO VISTA

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

CABLE FRAMING

NO ACCESS TO INSPECT SPANNING  
& ANCHORING TO EXIST TRUSSES.

NO PERMIT OR CONSTRUCTION  
DRAWINGS ON JOB SITE

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 3/16

A handwritten signature in black ink, appearing to be "OK" or similar initials, written over a horizontal line.

INSPECTOR

**DO NOT REMOVE THIS TAG**



**7789**

**REMODEL**



### TOWN OF SEWALL'S POINT

Date 9-26-05

BUILDING PERMIT NO. 7789

Building to be erected for GRIFFIN

Type of Permit Remodel + RENOVATIONS

Applied for by CASCO

(Contractor) Building Fee \$56,765 x 9.60/1000 = 544.94

Subdivision RIO VISTA Lot 49 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 19 RIO VISTA DRIVE

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee 35.00

Electrical Fee 35.00

Parcel Control Number:

Plumbing Fee \_\_\_\_\_

12384100200000490000

Roofing Fee \_\_\_\_\_

Amount Paid 676.43 Check # 10160 Cash \_\_\_\_\_

Other Fees 10% P.R. 61.49

Total Construction Cost \$ 56,765

TOTAL Fees 676.43

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

## PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

## INSPECTIONS

- UNDERGROUND PLUMBING \_\_\_\_\_
- UNDERGROUND MECHANICAL \_\_\_\_\_
- STEMWALL FOOTING \_\_\_\_\_
- SLAB \_\_\_\_\_
- ROOF SHEATHING \_\_\_\_\_
- TRUSS ENG/WINDOW/DOOR BUCKS \_\_\_\_\_
- ROOF TIN TAG/METAL \_\_\_\_\_
- PLUMBING ROUGH-IN \_\_\_\_\_
- MECHANICAL ROUGH-IN \_\_\_\_\_
- FRAMING \_\_\_\_\_
- FINAL PLUMBING \_\_\_\_\_
- FINAL MECHANICAL \_\_\_\_\_
- FINAL ROOF \_\_\_\_\_

- UNDERGROUND GAS \_\_\_\_\_
- UNDERGROUND ELECTRICAL \_\_\_\_\_
- FOOTING \_\_\_\_\_
- TIE BEAM/COLUMNS \_\_\_\_\_
- WALL SHEATHING \_\_\_\_\_
- LATH \_\_\_\_\_
- ROOF-IN-PROGRESS \_\_\_\_\_
- ELECTRICAL ROUGH-IN \_\_\_\_\_
- GAS ROUGH-IN \_\_\_\_\_
- EARLY POWER RELEASE \_\_\_\_\_
- FINAL ELECTRICAL \_\_\_\_\_
- FINAL GAS \_\_\_\_\_
- BUILDING FINAL \_\_\_\_\_

RECEIVED  
9/1/05

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Date: 9-1-05 Permit Number: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: JOHN GRIFFIN Phone (Day) \_\_\_\_\_ (Fax) \_\_\_\_\_

Job Site Address: 19 RIO VISTA City: SEWALL'S PT State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) LOT 49 Parcel Number: 12384100200000490000

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: REPAIRS + RENOVATIONS

WILL OWNER BE THE CONTRACTOR?:

YES  NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 56,765.00  
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

Is improvement cost 50% or more of Fair Market Value? YES  NO

Method of Determining Fair Market Value: \_\_\_\_\_

(If no, fill out the Contractor & Subcontractor sections below)  
(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: CASCO CONSTRUCTION INC Phone: 287-1315 Fax: 287-1315

Street: 2926 SE PARAMOUNT PL City: STUART State: FL Zip: 34997

State Registration Number: \_\_\_\_\_ State Certification Number: CBC1251084 Martin County License Number: \_\_\_\_\_

SUBCONTRACTOR INFORMATION:

Electrical: DAWSON ELECTRIC LLC State: EC0002460 License Number: \_\_\_\_\_

Mechanical: CENTURY A/C State: CAC057676 License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT BRADEN + BRADEN Lic.#: AAC000032 Phone Number: 287-8258

Street: 417 COCONUT AVE City: STUART State: FL Zip: 34996

ENGINEER \_\_\_\_\_ Lic# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_  
Carpport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004  
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

Anthony J. Davina  
State of Florida, County of: Martin

This the 1st day of September, 2005

by ANTHONY J. DAVINA who is personally known to me or produced

as identification. Lynn Sigman Schaming

My Commission Expires: October 3, 2006

CONTRACTOR SIGNATURE (required)

Charles Schaming  
On State of Florida, County of: FLORIDA

This the 1st day of SEPTEMBER, 2005

by CHARLES SCHAMING who is personally known to me or produced

As identification. \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY

Seal: Lynn Sigman Schaming  
Commission #DD146760  
Expires: Oct 03, 2006  
Bonded Thru Atlantic Bonding Co., Inc.

Notary Public  
Michelle McVicker  
MY COMMISSION # DU 240696  
EXPIRES: August 12, 2007



**Martin County, Florida**  
Laurel Kelly, C.F.A

Site Provided by...  
governmax.com T1.2

### Summary

print | | | | | Address  
1 of 1

#### Parcel Info

Parcel ID	Unit Address	Serial ID	Index Order	Commercial	Residential
12-38-41-002-000-00490-4	19 RIO VISTA DR	27562	Address	0	1

#### Summary

- Land
- Residential Improvement
- Commercial Image
- Sales & Transfers
- Assessments →
- Taxes →
- Parcel Map →
- Full Legal →

#### Summary

**Property Location** 19 RIO VISTA DR  
**Tax District** 2200 Sewall's Point  
**Account #** 27562  
**Land Use** 101 0100 Single Family  
**Neighborhood** 120250  
**Acres**

#### Legal Description

**Property Information**  
 RIO VISTA S/D LOT 49

#### Search By

- Parcel ID
- Owner
- Address**
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

#### Owner Information

**Owner Information**  
 D'AMIANO, ELISE F  
 "GRIFFIN, JOHN W

#### Mail Information

20 ALDEN RD  
 WAYLAND MA 01778-3729

#### Assessment Info

Front Ft. 0.00

**Market Land Value** \$200,000

**Market Impr Value** \$70,840

**Market Total Value** \$270,840

#### Site Functions

- Property Search
- Feedback
- On-Line Help
- County Home
- Site Home
- County Login

#### Recent Sale

Sale Amount \$317,000

**Sale Date** 2/10/2004

**Book/Page** 1867 1110



TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # \_\_\_\_\_

TAX FOLIO # 1238410020000490

**NOTICE OF COMMENCEMENT**

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

**LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):**

Lot 49 Rio Vista R Rio Vista Dr Sewalls Pt. Fl

GENERAL DESCRIPTION OF IMPROVEMENT: REPAIRS & RENOVATIONS

OWNER: JOHN GRIFFIN

ADDRESS: 19 RIO VISTA SEWALLS POINTE FL 34996

PHONE #: 220-3530 FAX #: \_\_\_\_\_

CONTRACTOR: CASCO CONSTRUCTION INC.

ADDRESS: 2926 SE PARAMOUNT PL STUART FL 34997

PHONE #: 287-1315 FAX #: \_\_\_\_\_

SURETY COMPANY (IF ANY): N/A STATE OF FLORIDA

ADDRESS: \_\_\_\_\_ MARTIN COUNTY

PHONE #: \_\_\_\_\_

BOND AMOUNT: \_\_\_\_\_

LENDER: N/A BY: 10PHS D.C.

ADDRESS: \_\_\_\_\_ DATE: 9-1-05

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES C.A. SCHAMING III OF CASCO CONST. INC. TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: 287-1315 FAX #: 287-1315

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_ THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

[Signature]  
SIGNATURE OF OWNER

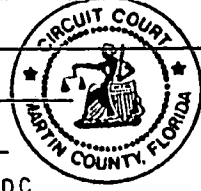
SWORN TO AND SUBSCRIBED BEFORE ME THIS 1st DAY OF September 2005 BY ANTHONY DANIANO

[Signature]  
NOTARY SIGNATURE



PERSONALLY KNOWN   
OR PRODUCED ID   
Lynn Sigman Schaming  
Commission #DD146266  
Expires: Oct 03, 2006  
Bonded Thru  
Atlantic Bonding Co., Inc.

INSR # 1869071 OR BK 02055 PG 1041 RECD 09/01/2005 02:32:20 PM  
MARSHA ENING MARTIN COUNTY DEPUTY CLERK T Copus (055t m9r)



# CASCO CONSTRUCTION INC.

2926 SE Paramount Pl. Stuart, Fl. 34997-8516  
Phone: 772-287-1315 – E-mail: ccascoc@aol.com

AUG. 31, 2005

## SCOPE OF WORK

JOB NAME: REPAIRS AND RENOVATIONS  
GRIFFIN RESIDENCE  
19 RIO VISTA  
SEWALLS POINT, FLORIDA

1. CEILING MODIFICATIONS @ GREAT ROOM AS PER PLANS
2. HARDI PLANK SIDING @ GABLE ENDS (3)
3. REMOVE AND REPLACE ALL INTERIOR CEILINGS (5/8' DRYWALL, SMOOTH FINISH) ✕
4. ELECTRICAL WORK TO CONSIST OF ADDING 8 RECSSED LIGHTS IN GREAT ROOM
5. REMOVE AND REPLACE CEILING INSULATION (R-19)
6. REMOVE AND REPLACE REAR PORCH CEILING
7. REMOVE AND REPLACE ALL WINDOWS AND SLIDING GLASS DOORS
8. REMOVE AND REPLACE EXISTING A/C DUCTWORK
9. REMOVE AND REPLACE 16' x 7' OVERHEAD DOOR AND OPERATOR
10. INSTALL ALUMINUM GUTTER AND DOWNSPOUTS
11. REMOVE AND REPLACE ALL WOOD BASEBOARDS
12. COMPLETE INTERIOR RE-PAINT
13. REPLACE DECAYED SIDING AT SOUTH SIDE OF HOUSE



ICC Evaluation Service, Inc.
www.icc-es.org

Business/Regional Office ■ 5360 Workman Mill Road, Whittier, California 90601 ■ (562) 699-0543
Regional Office ■ 900 Montclair Road, Suite A, Birmingham, Alabama 35213 ■ (205) 599-9800
Regional Office ■ 4051 West Flossmoor Road, Country Club Hills, Illinois 60478 ■ (708) 799-2305

The Subcommittee on Evaluation has reviewed the data submitted for compliance with the Standard Building Code®, the SBCCI Standard for Hurricane Resistant Residential Construction© SST10-99, the Florida Building Code, and the International One and Two Family Dwelling Code and submits to the Building Official or other authority having jurisdiction the following report. The Subcommittee on Evaluation, ICC-ES and its staff are not responsible for any errors or omissions to any documents, calculations, drawings, specifications, tests or summaries prepared and submitted by the design professional or preparer of record that are listed in the Substantiating Data Section of this report. Portions of this report were previously included in SBCCI PST & ESI Evaluation Report #2210.

REPORT NO.: 2210A

EXPIRES: See the current EVALUATION REPORT INDEX

CATEGORY: DOORS AND WINDOWS

SUBMITTED BY:

WAYNE DALTON CORPORATION
3395 ADDISON DRIVE
PENSACOLA, FLORIDA 32514

1. PRODUCT TRADE NAME

- 1.1 Wayne Mark 8000 Garage Door
1.2 Wayne Mark 8100 Garage Door
1.3 Wayne Mark 8300 Garage Door
1.4 Wayne Mark 8500 Garage Door
1.5 Wayne Mark 5150 Garage Door
1.6 Wayne Mark 5200 Garage Door

2. SCOPE OF EVALUATION

- 2.1 Structural - Transverse Wind Loads
2.2 Structural - Impact Resistance (Florida Building Code Only)
2.3 Surface Burning Characteristics

3. USES

Wayne Mark Series 8000, 8100, 8300, 8500, 5150, and 5200 Garage Doors are used as residential and commercial garage doors with specified allowable wind pressures.

4. DESCRIPTION

4.1 General

The WayneMark Series doors are sectional overhead garage doors for both residential and commercial applications, constructed of galvanized steel sections with a two coat polyester finish. The doors are 1.5 inches and 2 inches thick, with boxshaped stiles and embossed with flush or raised panel wood grain texture, tongue and groove sections.

The WayneMark Series 8000 and 8100 are 2 inch thick raised panel and are the same door with one exception. The Series Model 8000 is non-insulated. The Series Model 8100 is insulated with a 9/16 inch thick expanded polystyrene.

The WayneMark Series 8300 and 8500 are both residential insulated doors with raised panel and flush panel design and are the same door with one exception. The Series 8300 is 1.5 inches thick and the Series 8500 is 2 inches thick. Both doors have a maximum height of 8 feet.

The WayneMark Series 5150 and 5200 are both commercial insulated doors with raised panel and flush panel design and are the same door with one exception. The Series 5150 is 1.5 inches thick and the Series 5200 is 2 inches thick. Both doors have a maximum height of 16 feet.

4.2 Model 8000

WayneMark 8000 Series Garage Doors are constructed of 24 and 26 gauge ASTM A653-00 Forming Steel FS Type B, minimum yield of 56 ksi, with a finish equal to ASTM A525 made up of a G30 finish on 26 gauge doors and G90 finish on 24 gauge doors, covered with two coats of polyester paint with 16 gauge steel end stiles and 20 gauge steel center stile.

4.3 Model 8100

WayneMark 8100 Series Garage Doors are constructed of 24 and 26 gauge ASTM A653-00 Forming Steel FS Type B, minimum yield of 56 ksi, with a finish equal to ASTM A525 made up of a G30 finish on 26 gauge doors and G90 finish on 24 gauge doors, covered with two coats of polyester paint with 16 gauge steel end stiles and 20 gauge steel center stile. The Series 8100 is insulated with a 9/16" thick expanded polystyrene board.

4.4 Model 8300

WayneMark 8300 Series Garage Doors are constructed of 28 gauge ASTM A653 CS Type B, minimum yield of 42 ksi, with a finish equal to ASTM A525 made up of a G30 finish, covered with two coats of polyester paint with 18 gauge steel end caps.

ICC-ES legacy reports are not to be construed as representing aesthetics or any other attributes not specifically addressed, nor are they to be construed as an endorsement of the subject of the report or a recommendation for its use. There is no warranty by ICC Evaluation Service, Inc., express or implied, as to any finding or other matter in this report, or as to any product covered by the report.

#### 4.5 Model 8500

WayneMark 8500 Series Garage Doors are constructed of 28 gauge ASTM A653 CS Type B, minimum yield of 42 ksi, with a finish equal to ASTM A525 made up of a G30 finish, covered with two coats of polyester paint with 18 gauge steel end caps.

#### 4.6 Model 5150

WayneMark 5150 Series Garage Doors are constructed of 28 gauge ASTM A653 CS Type B, minimum yield of 42 ksi, with a finish equal to ASTM A525 made up of a G30 finish, covered with two coats of polyester paint with 18 gauge steel end caps.

#### 4.7 Model 5200

WayneMark 5200 Series Garage Doors are constructed of 28 gauge ASTM A653 CS Type B, minimum yield of 42 ksi, with a finish equal to ASTM A525 made up of a G30 finish, covered with two coats of polyester paint with 18 gauge steel end caps.

#### 4.8 Wind Loads

The WayneMark Series 8000, 8100, 8300, 8500, 5150, and 5200 Garage Doors were subjected to transverse load testing under ASTM E 330 or Miami-Dade County Protocols PA 202. Allowable transverse wind loads are given in Table 1.

Both series of the WayneMark Series 8000, 8100, 8300, 8500, 5150, and 5200 Garage Doors are braced on the inside of the doors with U-Bars and C-Channels running horizontally on each sectional panel or windload post. Each series has several models with different configuration of U-Bars, C-Channels and windload post depending of the amount of wind load resistance required. Each U-Bar is made of 20 gauge ASTM A653-00 Forming Steel FS Type B, minimum yield of 80 ksi, each C-Channel is made of 16 gauge ASTM A653-00 Forming Steel FS Type B, minimum yield of 50 ksi, both with a finish equal to ASTM A525 made up of a G-30 finish, and each windload post is made of 0.125 inch thick 6063-T5 aluminum alloy.

#### 4.9 Door Track

The WayneMark Series 8000 and 8100 Garage Door Tracks are made from 15 and 17 gauge (33,000ksi, ASTM A 653) steel with a galvanized coating (G-40).

#### 4.10 Large Missile Impact Resistance

The WayneMark Series 8000, 8100, 8300, 8500, 5150, and 5200 Garage Doors, as described in this report, were tested for large missile impact resistance under Miami-Dade County Protocol PA-201 and PA-203. The doors tested passed the large missile impact test. The doors listed in Table 2 and 3 of this report may be used as impact resistance doors to protect against windborne debris.

#### 4.11 Surface Burning Characteristics

Series 8100 is insulated with a 9/16" thick expanded polystyrene board which is labeled per Section 2603.2 in both the 1999 Standard Building Code and the 2001 Florida Building Code. The surface burning characteristics of the door was tested in accordance with ASTM E-84 and found to have a flame spread of less than 75 and a smoke development of less than 450.

Series 8300, 8500, 5150, and 5200 is insulated with foamed in place polyurethane insulation to full thickness of each doors. The insulation is labeled per Section 2603.2 in both the 1999 Standard Building Code and the 2001 Florida Building Code. The surface burning characteristics of the doors were tested in accordance with ASTM E-84 and found to have a flame spread of less than 75 and a smoke development of less than 450.

### 5. INSTALLATION

#### 5.1 General

The WayneMark Series 8000, 8100, 8300, 8500, 5150, and 5200 Garage Doors are installed in accordance with the manufacturer's published installation instructions, engineering drawings, and this report.

The manufacturer's published installation instructions and this report shall be strictly adhered to and a copy of these instructions shall be available at all times on the job site during installation.

The instructions within this report govern if there are any conflicts between the manufacturer's instructions and this report.

#### 5.2 Allowable Transverse Wind Loads

The design wind loads on the garage doors shall be determined in accordance with 1606 of the *Standard Building Code*© and the Florida Building Code and shall not exceed the allowable transverse wind loads shown in Table 1.

**TABLE 1  
ALLOWABLE TRANSVERSE WIND LOADS**

MODEL	DOOR W (MAX) FT-IN	DOOR H (MAX) FT-IN	DESIGN LOAD POSITIVE (PSF)	DESIGN LOAD NEGATIVE (PSF)	REINFORCEMENTS
8000/8100-0028 <sup>1</sup>	16-0	14-0	22.00	24.66	U-Bars
8000/8100-0108 <sup>1</sup>	9-0	14-0	30.00	30.00	U-Bars
8000/8100-0109 <sup>1</sup>	9-0	14-0	25.00	25.00	U-Bars
8000/8100-0110 <sup>1</sup>	16-0	14-0	27.00	29.00	U-Bars
8000/8100-0119 <sup>2,3</sup>	9-0	14-0	37.00	37.00	U-Bars
8000/8100-0113 <sup>2,4</sup>	9-0	14-0	37.00	37.00	U-Bars
8000/8100-0120 <sup>2,3</sup>	9-0	14-0	46.00	52.00	U-Bars
8000/8100-0114 <sup>2,4</sup>	9-0	14-0	46.00	52.00	U-Bars
8000/8100-0121 <sup>2,3</sup>	16-0	14-0	31.00	33.00	U-bars
8000/8100-0116 <sup>2,4</sup>	16-0	14-0	31.00	33.00	U-bars
8000/8100-0122 <sup>2,3</sup>	16-0	14-0	44.00	49.00	U-bars and C-channels
8000/8100-0115 <sup>2,4</sup>	16-0	14-0	44.00	49.00	U-bars and C-channels
8000/8100-0123 <sup>2,3</sup>	18-0	7-0	30.00	32.00	C-channels
8000/8100-0118 <sup>2,4</sup>	18-0	7-0	30.00	32.00	C-channels
8300-0124 <sup>1,6</sup>	16-0	8-0	27.00	29.00	U-Bars
8300-0125 <sup>1,6</sup>	16-0	8-0	22.00	25.00	U-Bars
8300-0126 <sup>1,6</sup>	16-0	8-0	44.00	49.00	U-Bars & Windload Posts
8300-0127 <sup>1,6</sup>	9-0	8-0	46.00	52.00	U-Bars
8300-0130 <sup>1,6</sup>	18-0	8-0	22.00	25.00	U-Bars
8300-0131 <sup>1,6</sup>	18-0	8-0	44.00	49.00	U-Bars & Windload Posts
8300-0132 <sup>1,5,6</sup>	9-0	8-0	31.00	36.00	U-Bars
8300-0133 <sup>1,5,6</sup>	9-0	8-0	23.00	26.00	U-Bars

**Notes:**

1. Transverse Load Test per ASTM E 330
2. Transverse Load Test per Miami-Dade County Protocols PA 202
3. Door panel steel is made from 26 gauge steel skin
4. Door panel steel is made from 24 gauge steel skin
5. Tested with windows in top panel.
6. Door panel steel is made from 28 gauge steel skin. These result can also be used for Model Numbers: 8500, 5150, and 5200 if the same Options are used.

SI Units Conversion: 1 in = 25.4 mm, 1 ft = 0.3 m, 1 psf = 48 Pa



**TABLE 2**  
**MODEL 8000/8100**  
**IMPACT RESISTANT DOORS**

Option Code	Size	Facer Steel	Reinforcements
0119	9'-0" x 7'-0"	26 ga.	5 Ubars
0113	9'-0" x 7'-0"	24 ga.	5 Ubars
0120	9'-0" x 7'-0"	26 ga.	7 Ubars
0114	9'-0" x 7'-0"	24 ga.	7 Ubars
0121	16'-2" x 7'-0"	26 ga.	9 Ubars
0116	16'-2" x 7'-0"	24 ga.	9 Ubars
0122	16'-2" x 7'-0"	26 ga.	1 Ubar & 4 C's
0115	16'-2" x 7'-0"	24 ga.	1 Ubar & 4 C's
0123	18'-2" x 7'-0"	26 ga.	4 C-channels
0118	18'-2" x 7'-0"	24 ga.	4 C-channels

**TABLE 3**  
**MODEL 8300/8500/5150/5200**  
**IMPACT RESISTANT DOORS**

Option Code	Size	Facer Steel	Reinforcements
0126	16'-0" x 8'-0"	28 ga.	4 Ubars and 1 Removable Windload Posts
0127	9'-0" x 8'-0"	28 ga.	5 Ubars
0131	18'-0" x 8'-0"	28 ga.	5 Ubars and 2 Removable Windload Posts

## 6. SUBSTANTIATING DATA

- 6.1 Manufacturer's descriptive literature, specifications, and installation instructions.
- 6.2 Test reports on transverse wind load under ASTM E 330 for WayneMark Series 8000 and 8100 Garage Door, prepared by Hurricane Engineering & Testing, Inc., are as follows:
- Report No. HETI-01-997, April 4, 2001, signed by Syed Waqar Ali, Ph.D. and Hector M. Medina, P.E.
  - Report No. HETI-01-996, April 4, 2001, signed by Syed Waqar Ali, Ph.D. and Hector M. Medina, P.E.
  - Report No. HETI-01-1029, June 7, 2001, signed by Syed Waqar Ali, Ph.D.
  - Report No. HETI-01-1014, May 10, 2001, signed by Syed Waqar Ali, Ph.D.
- 6.3 Test reports on Large Missile Impact for WayneMark Series 8000 and 8100 Garage Doors, Hurricane Engineering & Testing, Inc., are as follows:
- Report No. HETI-01-993, April 3, 2001, signed by Syed Waqar Ali, Ph.D. and Hector M. Medina, P.E.
  - Report No. HETI-01-995, April 4, 2001, signed by Syed Waqar Ali, Ph.D. and Hector M. Medina, P.E.

- Report No. HETI-01-1028, June 5, 2001, signed by Syed Waqar Ali, Ph.D. and Hector M. Medina, P.E.
- Report No. HETI-01-1026, June 44, 2001, signed by Syed Waqar Ali, Ph.D. and Hector M. Medina, P.E.
- Report No. HETI-01-1013, May 9, 2001, signed by Syed Waqar Ali, Ph.D. and Hector M. Medina, P.E.

- 6.4 Test reports on transverse wind load under Miami-Dade County Protocol PA-202 for WayneMark Series 8000 and 8100 Garage Door, prepared by Hurricane Engineering & Testing, Inc., are as follows:
- Report No. HETI-01-994, April 2, 2001, signed by Syed Waqar Ali, Ph.D. and Hector M. Medina, P.E.
  - Report No. HETI-01-1011, May 9, 2001, signed by Syed Waqar Ali, Ph.D. and Hector M. Medina, P.E.
  - Report No. HETI-01-1027, June 5, 2001, signed by Syed Waqar Ali, Ph.D. and Hector M. Medina, P.E.
  - Report No. HETI-01-1025, June 4, 2001, signed by Syed Waqar Ali, Ph.D. and Hector M. Medina, P.E.
  - Report No. HETI-01-992, April 2, 2001, signed by Syed Waqar Ali, Ph.D. and Hector M. Medina, P.E.
- 6.5 Test reports on tensile strength under ASTM E-8 for WayneMark Series 8000 and 8100 Garage Door, prepared by Hurricane Engineering & Testing, Inc., are as follows:
- Report No. HETI-01-T034, April 5, 2001, signed by Hector M. Medina, P.E.
  - Report No. HETI-01-T036, April 17, 2001, signed by Hector M. Medina, P.E.
  - Report No. HETI-01-T064, June 30, 2001, signed by Hector M. Medina, P.E.
  - Report No. HETI-01-T065, June 30, 2001, signed by Hector M. Medina, P.E.
  - Report No. HETI-01-T061, June 24, 2001, signed by Hector M. Medina, P.E.
  - Report No. HETI-01-T060, June 24, 2001, signed by Hector M. Medina, P.E.
  - Report No. HETI-01-T062, June 24, 2001, signed by Hector M. Medina, P.E.
  - Report No. HETI-01-T063, June 25, 2001, signed by Hector M. Medina, P.E.
  - Report No. HETI-01-T048, May 30, 2001, signed by Hector M. Medina, P.E.
  - Report No. HETI-01-T049, May 30, 2001, signed by Hector M. Medina, P.E.
  - Report No. HETI-01-T050, June 1, 2001, signed by Hector M. Medina, P.E.
- 6.6 Test report on surface burning characteristic under ASTM E 84 for Drew Foam EPS used in WayneMark Series 8100 Garage Door, prepared by RADCO, Report No. RAD-2935, dated November 2001, signed by Yamil Moya and Michael L. Ziemann, P.E.
- 6.7 Test report on surface burning characteristic under ASTM E 84 for Foam Enterprises, Inc., polyurethane foam insulation panel, used in WayneMark Series 8300, 8500, 5150 and 5200 Garage Doors, prepared by Southwest Research Institute, Report No. 01.04913.01.159c, dated February 13, 2002, signed by Anthony L. Saucedo and Alex B. Wenzel.
- 6.8 Test reports on transverse wind load under ASTM E 330 for WayneMark Series 8300 raised panel Garage Door, prepared by Hurricane Engineering & Testing, Inc., are as follows:
- Report No. HETI-01-1080, October 3, 2001, signed by Syed Waqar Ali, Ph.D. and Hector M. Medina, P.E.

- Report No. HETI-01-1081, October 3, 2001, signed by Syed Waqar Ali, Ph.D.
- Report No. HETI-01-1083, October 4, 2001, signed by Syed Waqar Ali, Ph.D.
- Report No. HETI-01-1084, October 5, 2001, signed by Syed Waqar Ali, Ph.D. and Hector M. Medina, P.E..
- Report No. HETI-01-1090, November 30, 2001, signed by Syed Waqar Ali, Ph.D.
- Report No. HETI-01-1091, October 30, 2001, signed by Syed Waqar Ali, Ph.D.
- Report No. HETI-01-1092, October 31, 2001, signed by Syed Waqar Ali, Ph.D.
- Report No. HETI-01-1093, November 1, 2001, signed by Syed Waqar Ali, Ph.D. and Hector M. Medina, P.E..

6.9 Test reports on Large Missile Impact for WayneMark Series 8300 raised panel Garage Doors, Hurricane Engineering & Testing, Inc., are as follows:

- Report No. HETI-01-1082, October 3, 2001, signed by Syed Waqar Ali, Ph.D. and Hector M. Medina, P.E.
- Report No. HETI-01-1085, October 5, 2001, signed by Syed Waqar Ali, Ph.D. and Hector M. Medina, P.E.
- Report No. HETI-01-1094, November 1, 2001, signed by Syed Waqar Ali, Ph.D. and Hector M. Medina, P.E.

6.10 Test reports on tensile strength under ASTM E-8 for WayneMark Series 8300 Garage Door, prepared by Hurricane Engineering & Testing, Inc., are as follows:

- Report No. HETI-01-T102, November 6, 2001, signed by Hector M. Medina, P.E.
- Report No. HETI-01-T101, October 24, 2001, signed by Hector M. Medina, P.E.

6.11 Test report on surface burning characteristic under ASTM E 84 for Foam Enterprises, Inc., polyurethane foam insulation panel, used in WayneMark Series 8300, 8500, 5150 and 5200 Garage Doors, prepared by Omega Point Laboratories, Report No. 9004-112215, dated September 24, 2002, signed by Guy A. Haby and William E. Fitch, P.E..

6.12 Quality Control Manual for Wayne Dalton, dated January 2, 2003, Revision-E, (Document No. 13990-1).

## 7. CODE REFERENCES

### *Standard Building Code*© - 1999 Edition

Section 103.7	Alternate Materials and Methods
Section 1606	Wind Loads
Chapter 17	Structural Tests and Inspections
Section 1707.4	Exterior Window and Door Assemblies
Chapter 22	Steel
Section 2204	Cold-Formed Steel Construction
Chapter 26	Foam Plastic

### *International One and Two Family Dwelling Code* - 1998 Edition

Section 108	Alternate Materials and Systems
Section 301	Design Criteria

### *Standard for Hurricane Resistant Residential Construction*© SSTD 10-99

Section 101.3	Integrity of Building Envelope
Section 101.4	Alternate Materials and Methods
Section 101.6	Design Concepts

Section 104	Design Criteria
Chapter 6	Windows and Doors
Appendix B	Design Load Assumptions

### *Florida Building Code*© - 2001 Edition

Section 103.7	Alternate Materials and Methods
Section 1606	Wind Loads
Chapter 17	Structural Tests and Inspections
Section 1707.4	Exterior Window and Door Assemblies
Chapter 22	Steel
Section 2204	Cold-Formed Steel Construction
Chapter 26	Foam Plastic

## 8. COMMITTEE FINDINGS

The Subcommittee on Evaluation in review of the data submitted finds that, in their opinion, the WayneMark Series 8000, 8100, 8300, 8500, 5150, and 5200 Garage Doors as described in this report conform with or are suitable alternates to that specified in the *Standard Building Code*©, the *SBCCI Standard for Hurricane Resistant Residential Construction*© SSTD10-99, the Florida Building Code, and the *International One and Two Family Dwelling Code* or Supplements thereto.

## 9. LIMITATIONS

- 9.1 This Legacy Evaluation Report and the installation instructions, when required by the building official, shall be submitted at the time of permit application.
- 9.2 The doors shall be installed in accordance with the installation instructions in this report and the manufacturer's published installation instructions.
- 9.3 The structural elements supporting door track brackets shall be designed by a registered professional engineer for the wind loads shown on the drawings. The calculations shall be signed, sealed, and dated, and submitted to the local building official when applying for a permit.
- 9.4 The doors shall not be installed in areas where the transverse wind loads exceed the allowable loads shown in Table 1.
- 9.5 The glazed panel performance of WayneMark Series 8000 and 8100 Garage Doors is outside the scope of this report.
- 9.6 The WayneMark Series 8100 Garage Door can only be used in one and two family dwellings.
- 9.7 The WayneMark Series 8000, 8100, 8300, 8500, 5150 and 5200 Garage Doors have not been evaluated with the ventilation louvers installed.

## 10. IDENTIFICATION

Each WayneMark Series 8000, 8100, 8300, 8500, 5150, and 5200 Garage Door covered by this report shall be labeled with the manufacturer's name and/or trademark, the SBCCI Public Safety Testing and Evaluation Services Inc. Seal or initials (SBCCI PST & ESI), and the number of this report for field identification.

## 11. PERIOD OF ISSUANCE

SEE THE CURRENT EVALUATION REPORT INDEX FOR STATUS OF THIS LEGACY EVALUATION REPORT.

For information on this report contact:

J. David Musselwhite, P.E.

205/599-9800



**MIAMI-DADE COUNTY**  
**BUILDING CODE COMPLIANCE OFFICE (BCCO)**  
**PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA**  
**METRO-DADE FLAGLER BUILDING**  
**140 WEST FLAGLER STREET, SUITE 1603**  
**MIAMI, FLORIDA 33130-1563**  
**(305) 375-2901 FAX (305) 375-2908**

**NOTICE OF ACCEPTANCE (NOA)**

**James Hardie Building Product, Inc.**  
**10901 Elm Avenue**  
**Fontana, CA 92337**

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION: ~~Hardiplank~~ Hardipanel and Hardisoffit**

**APPROVAL DOCUMENT:** Drawing No. HPNL-8X, HPLK-4X8 & HSOFFIT-8X, titled "Hardipanel, Hardiplank, & Hardisoffit Installation Details", sheets 1 through 3, prepared, signed and sealed by Ronald Ogawa, P.E., dated 4/13/99, bearing the Miami-Dade County Product Control Renewal stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING: Large and Small Missile Impact**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

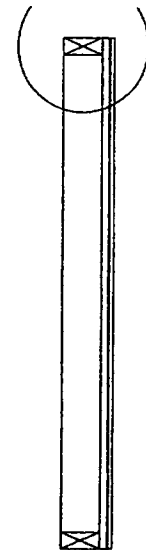
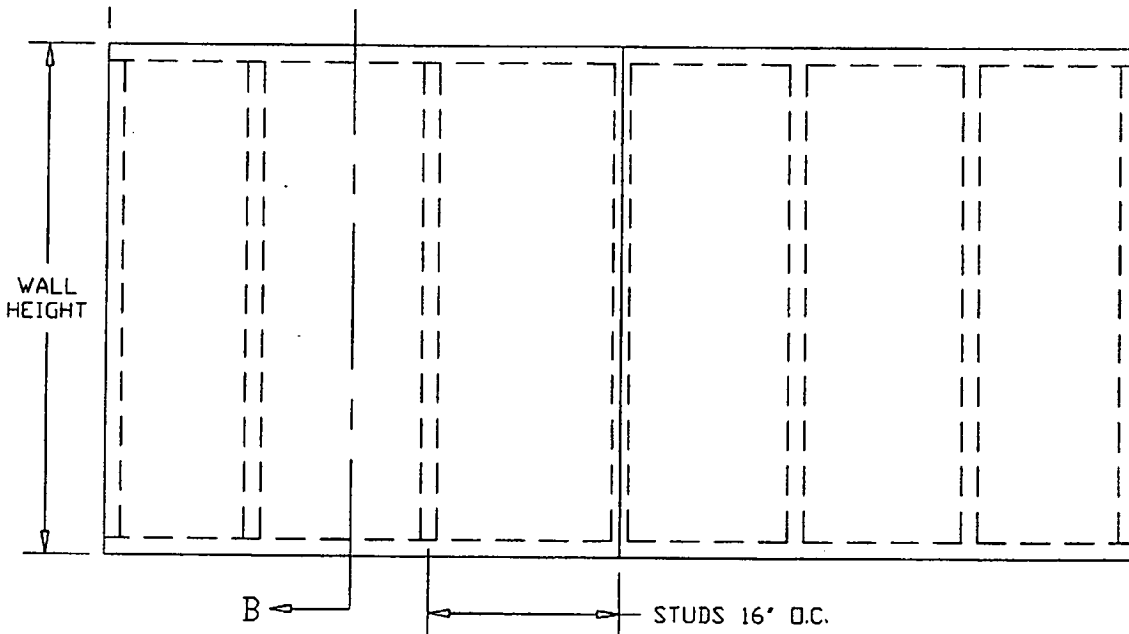
**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 99-0223.07 and, consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by **Raul Rodriguez**.



**NOA No 02-0318.08**  
**Expiration Date: May 1, 2007**  
**Approval Date: May 23, 2002**  
**Page 1**



**DESCRIPTION**  
 Hardipanel siding material is a non asbestos fiber cement product tested in accordance with ASTM C-1185 and meeting the requirements of the South Florida Building Code.

**PANEL DIMENSIONS**  
 Width Length Thickness  
 48' 8,9,10' 5/16'

**PRODUCT RENEWED**  
 as complying with the Florida Building Code  
 Acceptance No. 02-0718.08  
 Expiration Date May 1, 2007  
 By ADA  
 Miami Code Permits Control Division

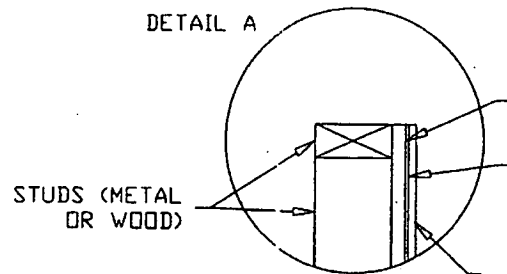
**DESIGN PRESSURE RATING**  
 Installation Design Pressure  
 Wood frame -76 PSF  
 Metal frame -104 PSF

- NOTES**
- 1) ALL INSTALLATION SHALL BE DONE IN CONFORMANCE WITH THIS NOTICE OF ACCEPTIONS, THE MANUFACTURER'S INSTALLATION RECOMMENDATIONS, AND THE APPLICABLE SECTIONS OF THE SOUTH FLORIDA BUILDING CODE.
  - 2) STUDS OF METAL OR WOOD WHERE HARDIPANEL WILL BE INSTALLED SHALL BE DESIGNED BY AN ENGINEER OR ARCHITECT PER THE S.F.B.C. AND THE REQUIREMENTS OF THIS N.D.A.

**HARDIPANEL SIDING INSTALLATION DETAILS**

The panels are applied vertically, avoiding horizontal joints, over 5/8" (5 ply) APA rated plywood supported by a minimum of 2"x4" wood studs or 20 ga. x 3 5/8" x 1 3/8" steel studs spaced a maximum of 16" o.c. When installed on wood studs panels shall be fastened with 6d x 2" long galvanized box nails; on steel studs it shall be fastened with #8 x 1 5/8" x 0.315" corrosion resistance H.D. ribbed bugle screws. The fasteners shall be placed @ 6" o.c. around the perimeter of the panel and intermediate studs, driven through the plywood sheathing into the studs. All joints shall be over studs. Nails and screws shall have a minimum edge distance of 3/8" and a minimum clearance of 2" from the corners.

**DETAIL A**



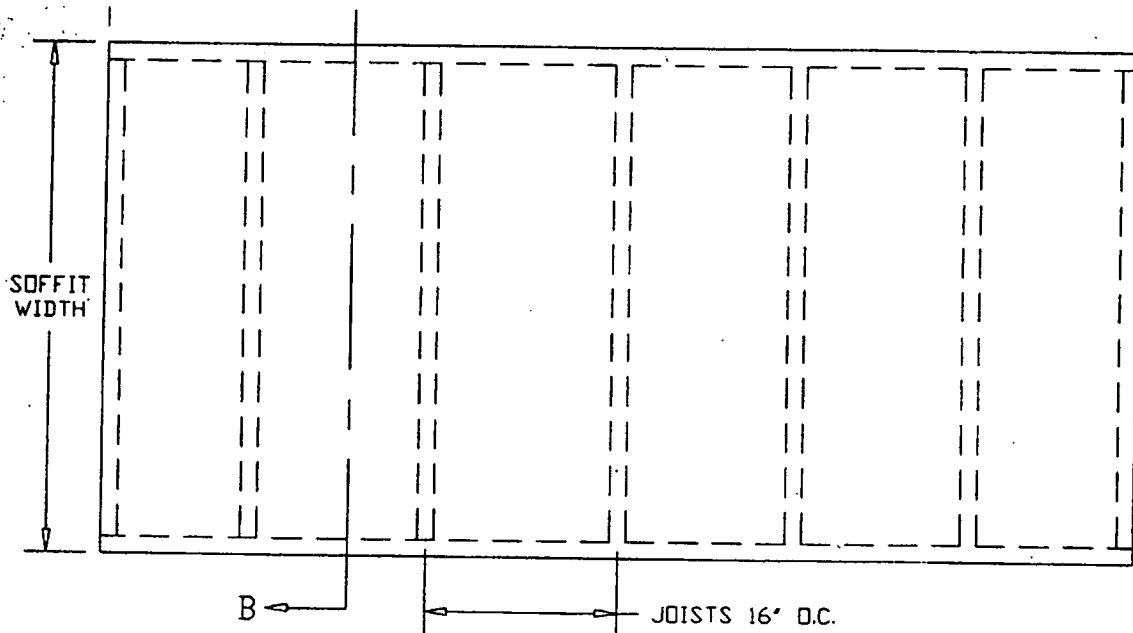
**SECTION B-B**

5/8" PLYWOOD SHEATHING WATERPROOFING PER 2704.6b OF S.F.B.C.

*Handwritten signature and date: 11/3/99*

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE  
 DATE 11/3/99 1999  
 BY [Signature]  
 PRODUCT CONTROL DIVISION  
 BUILDING CODE COMPLIANCE OFFICE  
 ACCEPTANCE NO. 99-0223-07

<b>JAMES HARDIE BUILDING PRODUCTS - USA</b> RESEARCH & DEVELOPMENT CENTER		10901 ELM AVENUE FONTANA, CA 92337 909-356-6300 FAX: 909-427-0634	
This drawing and the copyright therein are the property of the above company and accordingly the drawing must not be copied or reproduced in any material form whatsoever.		DATE: <u>3/31/99</u>	
TITLE: <b>HARDIPANEL® INSTALLATION DETAILS</b>		SCALE: <u>NTS</u>	
APPROVING ENG: <u>R. Lappin</u>		ENG DISCIPLINE: <u>CE</u>	
		SHEET NO.: ORG NO.: <u>HPNL-8X</u> DRAWN BY: <u>R LAPPIN</u> ENG NO.: <u>24121</u>	



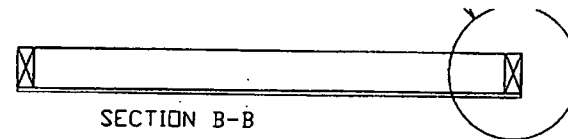
**HARDISOFFIT PANEL INSTALLATION DETAILS**

The soffit panels are to be installed over minimum 2"x4" wood joists or 20 ga. x 3 5/8" x 1 3/8" steel joists spaced a maximum of 16" o.c. When installed on wood joists Hardisoffit shall be fastened with 6d x 2" long galvanized box nails; on steel studs it shall be fastened with #8 x 1 1/4" x 0.315" corrosion resistance H.D. ribbed bugle screws. The fasteners shall be placed 4" o.c. around the perimeter of the panel and intermediate studs. Nails and screws shall have a minimum edge distance of 3/8" and a minimum clearance of 2" from corners.

**DETAIL A**

JOISTS (METAL OR WOOD)

HARDISOFFIT PANEL



**DESCRIPTION**  
 Hardisoffit panels material is a non asbestos fiber cement product tested in accordance with ASTM C-1185 and meeting the requirements of the South Florida Building Code.

**SOFFIT DIMENSIONS**  
 Width Length Thickness  
 ≤48' 8,9,10' 1/4" & 5/16"

**DESIGN PRESSURE RATING**  
 Installation Design Pressure  
 Wood frame ±53 PSF  
 Metal frame ±53 PSF

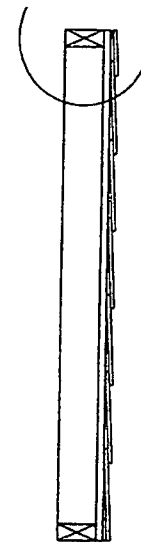
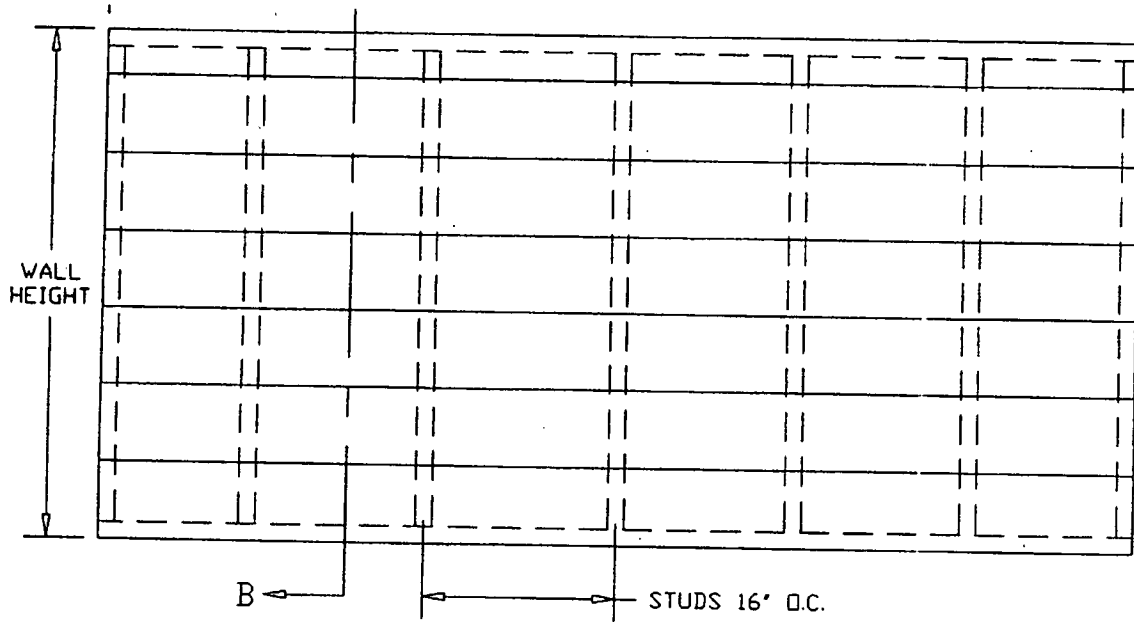
**NOTES**  
 1) ALL INSTALLATION SHALL BE DONE IN CONFORMANCE WITH THIS NOTICE OF ACCEPTIONS, THE MANUFACTURER'S INSTALLATION RECOMMENDATIONS, AND THE APPLICABLE SECTIONS OF THE SOUTH FLORIDA BUILDING CODE.  
 2) JOIST OF METAL OR WOOD WHERE HARDISOFFIT WILL BE INSTALLED SHALL BE DESIGNED BY AN ENGINEER OR ARCHITECT PER THE S.F.B.C. AND THE REQUIREMENTS OF THIS N.O.A.

*Handwritten signature and date: 4/15/99*

PRODUCT RENEWED  
 as complying with the Florida  
 Building Code  
 Acceptance No. 02-0318-08  
 Expiration Date: 1/1/2007  
 By: *[Signature]*  
 Material Data Product Control  
 Division

APPROVED AS COMPLYING WITH THE  
 SOUTH FLORIDA BUILDING CODE  
 DATE: *March 19, 99*  
 BY: *[Signature]*  
 PRODUCT CONTROL DIVISION  
 BUILDING CODE COMPLIANCE OFFICE  
 ACCEPTANCE NO. 99-0223-07

<p><b>JAMES HARDIE</b>          BUILDING PRODUCTS - USA          RESEARCH &amp; DEVELOPMENT CENTER</p>	10901 ELM AVENUE FONTANA, CA 92337 909-356-6300 FAX: 909-427-0634	
	This drawing and the copyright therein are the property of the above company and accordingly the drawing must not be copied or reproduced in any material form whatsoever.	DATE: 3/31/99 ORG NO: HSOFFIT-8X SHEET NO:
TITLE: <b>HARDISOFFIT® INSTALLATION DETAILS</b>	SCALE: NTS DRAWN BY: R LAPPIN	ENG NO: <i>24121</i>
APPROVING ENG: <i>[Signature]</i>	ENG DISCIPLINE: CE	



**DESCRIPTION**

Hardiplank siding material is a non asbestos fiber cement product tested in accordance with ASTM C-1185 and meeting the requirements of the South Florida Building Code.

**PLANK DIMENSIONS**

Width Length Thickness  
 ≤ 9 1/2' 12 & 14' 5/16"

**DESIGN PRESSURE RATING**

Installation Design Pressure By  
 Wood frame -92 PSF  
 Metal frame -92 PSF

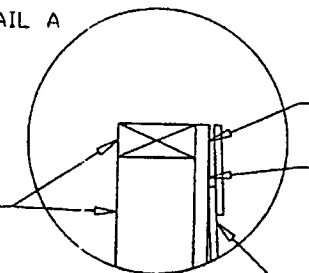
**PRODUCT RENEWED**  
 as complying with the Florida Building Code  
 Acceptance No. 02-0318-08  
 Expiration Date 07/11/07

Miami Trade Product Control Division

**NOTES**

- 1) ALL INSTALLATION SHALL BE DONE IN CONFORMANCE WITH THIS NOTICE OF ACCEPTIONS, THE MANUFACTURER'S INSTALLATION RECOMMENDATIONS, AND THE APPLICABLE SECTIONS OF THE SOUTH FLORIDA BUILDING CODE.
- 2) STUDS OF METAL OR WOOD WHERE HARDIPLANK WILL BE INSTALLED SHALL BE DESIGNED BY AN ENGINEER OR ARCHITECT PER THE S.F.B.C. AND THE REQUIREMENTS OF THIS M.O.A.

DETAIL A



STUDS (METAL OR WOOD)

SECTION B-B

5/8" PLYWOOD SHEATHING  
 WATERPROOFING PER 2704.6b OF S.F.B.C.

HARDIPLANK SIDING

**HARDIPLANK SIDING INSTALLATION DETAILS**

The planks are applied horizontally commencing from the bottom course of a wall with 1 1/4" wide laps at top of the plank. The optional PVC cover molding 1 5/8" wide is applied to the bottom plate under the bottom plank course. The vertical joints must be over framing members. Optional PVC butt joints inserts are used for on-stud jointing. The planks are to be installed over 5/8" (5 ply) APA rated plywood supported by a minimum of 2"x4" wood studs or 20 ga. x 3 5/8" x 1 3/8" steel studs spaced a maximum of 16' o.c. The siding shall be fastened through over lapping planks with 8d x 2 1/2" long galvanized box nails over wood studs or with #8 x 2 1/4" long x 0.315" corrosion resistance H.D. ribbed bugle screws over steel studs. The fasteners shall be placed in the over-lapping area ≤ 8' o.c. vertically and 16' o.c. horizontally into the studs through the 5/8" plywood sheathing. A distance of 3/4" from the edges shall always be observed.

*Handwritten signature and date: 4/13/99*

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE  
 DATE: 3/31/99  
 BY: [Signature]  
 PRODUCT CONTROL DIV. 5.01  
 BUILDING CODE COMPLIANCE OFFICE  
 ACCEPTANCE NO. 99-0223-07

<b>JAMES HARDIE BUILDING PRODUCTS - USA</b> RESEARCH & DEVELOPMENT CENTER	10901 ELM AVENUE FONTANA, CA 92337 909-356-6300 FAX: 909-427-0634
	This drawing and the copyright therein are the property of the above company and accordingly the drawing must not be copied or reproduced in any material form whatsoever.
TITLE: <b>HARDIPLANK® INSTALLATION DETAILS</b>	DATE: 3/31/99 DRG NO.: HPLK-4XB SHEET NO.:
APPROVED ENG: <i>R. LAPPIN</i>	SCALE: NTS DRAWN BY: R LAPPIN ENG NO.: 24121

# CASCO CONSTRUCTION INC.

2926 SE Paramount Pl. Stuart, Fl. 34997-8516  
Phone: 772-287-1315 – E-mail: ccascoc@aol.com

AUG. 31, 2005

## SCOPE OF WORK

JOB NAME: REPAIRS AND RENOVATIONS  
GRIFFIN RESIDENCE  
19 RIO VISTA  
SEWALLS POINT, FLORIDA

1. CEILING MODIFICATIONS @ GREAT ROOM AS PER PLANS
2. HARDI PLANK SIDING @ GABLE ENDS (3)
3. REMOVE AND REPLACE ALL INTERIOR CEILINGS (5/8' DRYWALL, SMOOTH FINISH)
4. ELECTRICAL WORK TO CONSIST OF ADDING 8 RECESSED LIGHTS IN GREAT ROOM
5. REMOVE AND REPLACE CEILING INSULATION (R-19)
6. REMOVE AND REPLACE REAR PORCH CEILING
- \*7. REMOVE AND REPLACE ALL WINDOWS AND SLIDING GLASS DOORS OMIT @  
OWNERS REQUEST
8. REMOVE AND REPLACE EXISTING A/C DUCTWORK
9. REMOVE AND REPLACE 16' x 7' OVERHEAD DOOR AND OPERATOR
10. INSTALL ALUMINUM GUTTER AND DOWNSPOUTS
11. REMOVE AND REPLACE ALL WOOD BASEBOARDS
12. COMPLETE INTERIOR RE-PAINT
13. REPLACE DECAYED SIDING AT SOUTH SIDE OF HOUSE

## CRITIQUE

Owner: John Griffin

Date: September 2, 2005

Contractor: Casco Construction

Contractor's Phone Number: 287-1315

Plan Reviewer: Gene Simmons

### PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR RENOVATION AND REMODEL LOCATED AT 19 RIO VISTA DRIVE

#### Submittals (2 copies)

1. Product approvals (**current**) from Miami/Dade or other testing institutes approved by the Florida Building Code for the following items:
  - a. Siding
  - b. Roof Material
  - c. Windows
  - d. Sliding glass doors
  - e. Garage door
  - f. Hurricane Shutters for any doors or windows that are not impact resistance.
2. Proof of Ownership
3. Copy of State, Martin County Licenses
4. Copy of Liability Insurance
5. Copy of Workmen's Compensation

#### The following documents must be signed and sealed by a registered Architect or Engineer. (2 copies)

1. Elevation Plan containing the following information:
  - a. Why are there two elevations? Are these alternates?
2. Electrical Plan containing the following information:
  - a. Show all new receptacle, switch, and light locations.
3. Truss Layout containing the following information:
  - a. Elevation Plan shows new roof system. Need truss layout with connector schedule.



<b>ACORD</b> <small>TM</small> <b>CERTIFICATE OF LIABILITY INSURANCE</b>	DATE (MM/DD/YYYY) <b>08/09/2005</b>
<b>PRODUCER</b> C F Insurance Services, Inc. 218 South Lake Avenue P.O. Box 1189 Apopka FL 32704-1189 <b>INSURED</b> <b>CASCO CONSTRUCTION, INC.</b> 2926 SE PARAMOUNT PL  Stuart FL 34997	<b>THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.</b>
<b>INSURERS AFFORDING COVERAGE</b>	<b>NAIC #</b>
INSURER A <b>Mid-Continent Casualty Company</b>	
INSURER B	
INSURER C	
INSURER D	
INSURER E	

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	<b>GENERAL LIABILITY</b>	04GL000596009	07/07/2005	07/07/2006	EACH OCCURRENCE \$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Per occurrence) \$ 100,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person) \$ excluded
					PERSONAL & ADV INJURY \$ 1,000,000
	GENERAL AGGREGATE \$ 2,000,000				PRODUCTS COMP/OP AGG \$ 2,000,000
	GENERAL AGGREGATE LIMIT APPLIES PER <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> TRAILER <input type="checkbox"/> LOC				
	<b>AUTOMOBILE LIABILITY</b>				COMBINED SINGLE LIMIT (Per accident) \$
	ANY AUTO				BODILY INJURY (Per person) \$
	ALL OWNED AUTOS				BODILY INJURY (Per accident) \$
	SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident) \$
	LIBERATED AUTOS				
	NON OWNED AUTOS				
	<b>GARAGE LIABILITY</b>				AUTO ONLY - CA ACCIDENT \$
	ANY AUTO				OTHER THAN AUTO ONLY EA ACC \$
					AGG \$
	<b>EXCESS UMBRELLA LIABILITY</b>				EACH OCCURRENCE \$
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE \$
	<input type="checkbox"/> REDUCTIBLE				\$
	RETENTION \$				\$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b>				WE STABLE EMPLOYEES OTHER \$
	ANY EMPLOYEE (EMPLOYEE/EXECUTIVE OFFICER/MEMBER EXCLUDED?)				CL FACIL ACCIDENT \$
	IF YES, DESCRIBE UNDER SPECIAL PROVISIONS below				E.L. DISEASE - EA EMPLOYEE \$
	<b>OTHER</b>				CL DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

Fax to 1772-220-4765

**CERTIFICATE HOLDER**

Town of Sewall's Point Building Department  
 1 South Sewalls Point Blvd.  
  
 Sewalls Point, FL 34996

**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

<LK>



TOM GALLAGHER  
CHIEF FINANCIAL OFFICER

STATE OF FLORIDA  
DEPARTMENT OF FINANCIAL SERVICES  
DIVISION OF WORKERS' COMPENSATION

**\*\* CERTIFICATE OF EXEMPTION FROM FLORIDA WORKERS' COMPENSATION LAW \*\***

CONSTRUCTION INDUSTRY EXEMPTION

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation Law .

EFFECTIVE DATE: 06/21/2005

\*\* EXPIRATION DATE: 06/21/2007

PERSON: SCHAMING BRETT G

FEIN: 592827397

BUSINESS NAME AND ADDRESS: CASCO CONSTRUCTION INC  
2926 SE PARAMOUNT PL  
STUART FL 34997

SCOPE OF BUSINESS OR TRADE: 1 - CERTIFIED GENERAL CONTRACTOR

**IMPORTANT:** Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.

DWC - 252 CERTIFICATE OF ELECTION TO BE EXEMPT REVISED 01 - 04

QUESTIONS? (850) 413-1609

PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

STATE OF FLORIDA  
DEPARTMENT OF FINANCIAL SERVICES  
DIVISION OF WORKERS' COMPENSATION

CONSTRUCTION INDUSTRY  
CERTIFICATE OF EXEMPTION FROM FLORIDA  
WORKERS' COMPENSATION LAW

EFFECTIVE: 06/21/2005  
\*\* EXPIRATION DATE: 06/21/2007

PERSON: SCHAMING BRETT G

FEIN: 592827397

BUSINESS NAME AND ADDRESS: CASCO CONSTRUCTION INC  
2926 SE PARAMOUNT PL  
STUART FL 34997

SCOPE OF BUSINESS OR TRADE:  
1- CERTIFIED GENERAL CONTRACTOR



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**IMPORTANT**

Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.

QUESTIONS? (850) 413-1609

CUT HERE

\* Carry bottom portion on the job , keep upper portion for your records .



TOM GALLAGHER  
CHIEF FINANCIAL OFFICER

STATE OF FLORIDA  
DEPARTMENT OF FINANCIAL SERVICES  
DIVISION OF WORKERS' COMPENSATION

**\*\* CERTIFICATE OF EXEMPTION FROM FLORIDA WORKERS' COMPENSATION LAW \*\***

CONSTRUCTION INDUSTRY EXEMPTION

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation Law.

EFFECTIVE DATE: 06/21/2005

\*\* EXPIRATION DATE: 06/21/2007

PERSON: SCHAMING CHARLES A III

FEIN: 592827397

BUSINESS NAME AND ADDRESS: CASCO CONSTRUCTION INC  
2926 S.E. PARAMOUNT PLACE  
STUART FL 34997

SCOPE OF BUSINESS OR TRADE: 1 - CERTIFIED BUILDING CONTRACTOR

**IMPORTANT:** Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.

DWC - 252 CERTIFICATE OF ELECTION TO BE EXEMPT REVISED 01 - 04

QUESTIONS? (850) 413-1600

PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

STATE OF FLORIDA  
DEPARTMENT OF FINANCIAL SERVICES  
DIVISION OF WORKERS' COMPENSATION

CONSTRUCTION INDUSTRY  
CERTIFICATE OF EXEMPTION FROM FLORIDA  
WORKERS' COMPENSATION LAW

EFFECTIVE: 06/21/2005  
\*\* EXPIRATION DATE: 06/21/2007

PERSON: SCHAMING CHARLES A III

FEIN: 592827397

BUSINESS NAME AND ADDRESS: CASCO CONSTRUCTION INC  
2926 S.E. PARAMOUNT PLACE  
STUART FL 34997

SCOPE OF BUSINESS OR TRADE:  
1- CERTIFIED BUILDING CONTRACTOR



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**IMPORTANT**

Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.

QUESTIONS? (850) 413-1600

CUT HERE

\* Carry bottom portion on the job, keep upper portion for your records.

2004-2005 MARTIN COUNTY ORIGINAL  
COUNTY OCCUPATIONAL LICENSE

Garry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995  
(772) 288-5604

LICENSE 1900-512-317 CEPT \_\_\_\_\_  
PHONE (561)287-1315 SIC NO 001521

LOCATION:  
2926 SE PARAMOUNT MAR

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>.00</u>
\$	<u>.00</u>	COL. FEE \$	<u>.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>.00</u>
TOTAL			<u>25.00</u>

SCHAMING, CA III  
CASCO CONSTRUCTION INC  
2926 SE PARAMOUNT  
STUART FL 34997

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION

**GENERAL CONTRACTOR**

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

26 DAY OF AUGUST 2004  
AND ENDING SEPTEMBER 30, 2005

12 04082501 000191

STATE OF FLORIDA AC# 1440042  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CBC1251084 06/08/04 030708086

CERTIFIED BUILDING CONTRACTOR  
SCHAMING, CHARLES A III  
CASCO CONSTRUCTION, INC.

IS CERTIFIED under the provisions of Ch.489 FS.  
Expiration date: AUG 31, 2006 L04060800857

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 12/2, 2005

Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7789	GRIFFEN	FINAL REMODEL	PASSED	
	19 RIO VISTA	+ RENOVATIONS		
2	CASCO CON	(2ND PLEASE)	<del>FAILED</del>	INSPECTOR: <i>[Signature]</i>
7813	PARKS	FOOTERS - POCC	PASSED	
1	3 MINDORO			
	PARKS & CO	(FIRST THING)		INSPECTOR: <i>[Signature]</i>
7584	SCHECODNIK	BOND BEAM	FAILED	NEED ENGR LTR
	12 S. SEWALL'S Pt			
	DRIFTWOOD HOMES	(3rd Please)		INSPECTOR: <i>[Signature]</i>
7842	ZIEGLER	SHEATHING	<del>PASSED</del>	STOP WORK
	71 S. RIVER RD	<del>FEELERS</del>	FAILED	ISSUED.
	ALL AMERICAN		<del>8/14/00</del>	INSPECTOR: <i>[Signature]</i>
6513	DUNN	POWER RELEASE	FAILED	
	31 N. RIVER ROAD			
	FIRST FLORIDA			INSPECTOR: <i>[Signature]</i>
7921	KAKAYONMS	DRY-IN	PASSED	
	80 S. RIVER ROAD	SHEATHING		
	MARC PROVENCHER			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: \_\_\_\_\_

**TOWN OF SEWALL'S POINT**

Date 9-26-05

BUILDING PERMIT NO. 7791

Building to be erected for GRIFFIN

Type of Permit SUB-ALC

Applied for by CENTURY ALC (Contractor)

Building Fee \_\_\_\_\_

Subdivision RIO VISTA Lot 49 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 19 RIO VISTA DR

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee SEE

PRINTED NAME: John M. Riley

Electrical Fee PN 7789

Parcel Control Number: St. Lic#: CAC057676

Plumbing Fee \_\_\_\_\_

12384100200000490000

Roofing Fee \_\_\_\_\_

Amount Paid \_\_\_\_\_ Check # X Cash \_\_\_\_\_ Other Fees (\_\_\_\_\_) \_\_\_\_\_

Total Construction Cost \$ X TOTAL Fees \_\_\_\_\_

Signed John M. Riley  
Applicant

Signed Gene Summers  
Town Building Official

**PERMIT**

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL          | <input checked="" type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING         | <input type="checkbox"/> ROOFING             | <input type="checkbox"/> POOL/SPA/DECK         |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE                 |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS                   |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION            |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL            | <input type="checkbox"/> ADDITION              |

**INSPECTIONS**

- |                                   |                              |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____        | UNDERGROUND GAS _____        |
| UNDERGROUND MECHANICAL _____      | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____            | FOOTING _____                |
| SLAB _____                        | TIE BEAM/COLUMNS _____       |
| ROOF SHEATHING _____              | WALL SHEATHING _____         |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____                   |
| ROOF TIN TAG/METAL _____          | ROOF-IN-PROGRESS _____       |
| PLUMBING ROUGH-IN _____           | ELECTRICAL ROUGH-IN _____    |
| MECHANICAL ROUGH-IN _____         | GAS ROUGH-IN _____           |
| FRAMING _____                     | EARLY POWER RELEASE _____    |
| FINAL PLUMBING _____              | FINAL ELECTRICAL _____       |
| FINAL MECHANICAL _____            | FINAL GAS _____              |
| FINAL ROOF _____                  | BUILDING FINAL _____         |

# ACORD CERTIFICATE OF LIABILITY INSURANCE

09/21/2005

PRODUCER (772) 334-3181 FAX (772) 334-7742  
 Rick Carroll Insurance Agency  
 2160 N.E. Dixie Highway  
 P.O. Box 877  
 Jensen Beach, FL 34958-0877

INSURED Century Air Conditioning of the Treasure Coast,  
 3044 SE Dominica Terrace  
 Stuart, FL 34997

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE		NAIC #
INSURER A:	American States Insurance	19704
INSURER B:		
INSURER C:		
INSURER D:		
INSURER E:		


## COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR	INSRC	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A		GENERAL LIABILITY	01CL3499201	11/19/2004	11/19/2005	EACH OCCURRENCE	\$ 300,000
		<input type="checkbox"/> COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 200,000
		<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$ 10,000
		<input checked="" type="checkbox"/>				PERSONAL & ADV INJURY	\$ 300,000
		GEN'L AGGREGATE LIMIT APPLIES PER:				GENERAL AGGREGATE	\$ 600,000
		<input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				PRODUCTS - COMP/OP AGG	\$ 600,000
		AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT (Ea accident)	\$
		<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
		<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$
		<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$
		<input type="checkbox"/> HIRED AUTOS					
		<input type="checkbox"/> NON-OWNED AUTOS					
		GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$
		<input type="checkbox"/> ANY AUTO				OTHER THAN AUTO ONLY: EA ACC	\$
						AGG	\$
		EXCESS/UMBRELLA LIABILITY				EACH OCCURRENCE	\$
		<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$
							\$
		<input type="checkbox"/> DEDUCTIBLE					\$
		<input type="checkbox"/> RETENTION \$					\$
		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATU-TORY LIMITS	OTH-ER
		ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				E.L. EACH ACCIDENT	\$
		If yes, describe under SPECIAL PROVISIONS below				E.L. DISEASE - EA EMPLOYEE	\$
						E.L. DISEASE - POLICY LIMIT	\$
		OTHER					

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

THIS CERTIFICATE IS FOR PROOF OF INSURANCE ONLY.

CERTIFICATE HOLDER	CANCELLATION
TOWN OF SEWELLS POINT 1 SEWELLS POINT ROAD STUART, FL 34996	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.
	AUTHORIZED REPRESENTATIVE Keith Carroll/LAG 

**Certificate of Insurance**

This certificate is issued as a matter of information only and confers no rights upon the Certificate Holder other than those provided by this policy. This certificate does not amend, extend, or alter the coverage afforded by the policies described herein.

**Named Insured(s):**

Gevity HR, Inc and its wholly owned subsidiaries including but not limited to Gevity HR, LP; Gevity HR II, LP; Gevity HR III, LP; Gevity HR IV, LP; Gevity HR V, LP; Gevity HR VI, LP; Gevity HR VII, LP; Gevity HR VIII, LP; Gevity HR IX, LP; Gevity HR X, LP; Gevity HR XI, LLC; Gevity HR XII Corp.

600 301 Boulevard West  
Bradenton, Florida 34205

**MARSH**

**Insurer Affording Coverage**

American Home Assurance Co.,  
Member of American International Group, Inc.(AIG)

**Coverages:**

This is to certify that the policy(ies) of insurance described herein have been issued to the insured named herein for the policy period indicated. Notwithstanding any requirement, term or condition of any contract or other document with respect to which the Certificate may be issued or may pertain, the insurance afforded by the policy(ies) described herein is subject to all the terms, conditions and exclusions of such policy(ies). (Aggregate) Limits shown may have been reduced by paid claims.

Type of Insurance	Certificate Exp. Date	Policy Number	Limits	
Workers' Compensation	1-1-2006	RMWC0330470 RMWC0330495	<b>Employers Liability</b>	
			Bodily Injury By Accident \$2,000,000	Each Accident
			Bodily Injury By Disease \$2,000,000	Policy Limit
			Bodily Injury By Disease \$2,000,000	Each Person

Other :

**Employees Leased To:**  
15970 Century Air Conditioning Inc

**Effective Date :** 01-JAN-2005

The above referenced workers' compensation policy(ies) provide(s) statutory benefits only to employees of the Named Insured(s) on each policy(ies), not to the employees of any other employer.

**Notice of Cancellation:** Should any of the policies described herein be cancelled before the expiration date thereof, the insurer affording coverage will endeavor to mail 30 days written notice to the certificate holder named herein, but failure to mail such notice shall impose no obligation or liability of any kind upon the insurer affording coverage, its agents or representatives.

**Certificate Holder**

TOWN OF SEWALL POINT  
1 SOUTH SEWALL POINT ROAD  
Stuart, FL 34996



**Michael C. Weiss**  
Authorized Representative of Marsh USA Inc.

(888)443-8489

Phone

21-SEP-2005

Date Issued



1514234

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ#L04073000873

DATE	BATCH NUMBER	LICENSE NBR
07/30/2004	040095129	CAC057676

The CLASS B AIR CONDITIONING CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 488  
Expiration date: AUG 31, 2006



RILEY, JOHN MATTHEW  
CENTURY A/C INC  
3044 SE DOMINICA TERRACE  
STUART FL 34997

JEB BUSH  
GOVERNOR

DISPLAY AS REQUIRED BY LAW

DIANE CARR  
SECRETARY

**2005-2006 MARTIN COUNTY ORIGINAL  
COUNTY OCCUPATIONAL LICENSE**

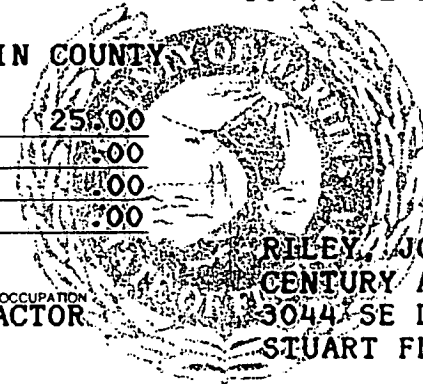
Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995  
(772) 288-5604

LICENSE 2005-518-023 CERT CAC057676  
PHONE (772)692-4886 IC NO 235110

LOCATION:  
3044 SE DOMINICA TER STU

**CHARACTER COUNTS IN MARTIN COUNTY**

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>0.00</u>
\$	<u>.00</u>	COL. FEE \$	<u>0.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>0.00</u>
TOTAL			<u>25.00</u>



IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION  
OF **AIR CONDITIONING CONTRACTOR**

**RILEY, JOHN MATTHEW**  
**CENTURY A/C OF TREASURE COAST INC.**  
**3044 SE DOMINICA TER**  
**STUART FL 34997**

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

15 DAY OF AUGUST 2005  
AND ENDING SEPTEMBER 30, 2006

12 00002004 000650

MASTER PERMIT NO. 7789

### TOWN OF SEWALL'S POINT

Date 9-21-05

BUILDING PERMIT NO. 7790

Building to be erected for GRIFFIN

Type of Permit Sub. Elec

Applied for by DAWSON ELECTRIC (Contractor)

Building Fee \_\_\_\_\_

Subdivision RIO VISTA Lot 49 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 19 RIO VISTA

Impact Fee SEE

Type of structure SFR

AC Fee PN 778

PRINT QUAL. NAME: Timothy E. Dawson

Electrical Fee \_\_\_\_\_

Parcel Control Number: ST LIC# EC0002460

Plumbing Fee \_\_\_\_\_

12384100200000490000

Roofing Fee \_\_\_\_\_

Amount Paid X Check # X Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ \_\_\_\_\_ TOTAL Fees \_\_\_\_\_

Signed E E Dawson

Signed Gene L...

Applicant

Town Building Official

## PERMIT

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> BUILDING         | <input checked="" type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL    |
| <input type="checkbox"/> PLUMBING         | <input type="checkbox"/> ROOFING               | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION            | <input type="checkbox"/> FENCE         |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE   | <input type="checkbox"/> GAS           |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS    | <input type="checkbox"/> RENOVATION    |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL              | <input type="checkbox"/> ADDITION      |

## INSPECTIONS

- |                             |       |                        |       |
|-----------------------------|-------|------------------------|-------|
| UNDERGROUND PLUMBING        | _____ | UNDERGROUND GAS        | _____ |
| UNDERGROUND MECHANICAL      | _____ | UNDERGROUND ELECTRICAL | _____ |
| STEMWALL FOOTING            | _____ | FOOTING                | _____ |
| SLAB                        | _____ | TIE BEAM/COLUMNS       | _____ |
| ROOF SHEATHING              | _____ | WALL SHEATHING         | _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS | _____ | LATH                   | _____ |
| ROOF TIN TAG/METAL          | _____ | ROOF-IN-PROGRESS       | _____ |
| PLUMBING ROUGH-IN           | _____ | ELECTRICAL ROUGH-IN    | _____ |
| MECHANICAL ROUGH-IN         | _____ | GAS ROUGH-IN           | _____ |
| FRAMING                     | _____ | EARLY POWER RELEASE    | _____ |
| FINAL PLUMBING              | _____ | FINAL ELECTRICAL       | _____ |
| FINAL MECHANICAL            | _____ | FINAL GAS              | _____ |
| FINAL ROOF                  | _____ | BUILDING FINAL         | _____ |

<b>ACORD CERTIFICATE OF LIABILITY INSURANCE</b>		OPID JD TIMOT-1	DATE (MM/DD/YYYY) 09/20/05
PRODUCER  <b>THE JOHN GALT INSURANCE AGENCY</b> 501 SE Port St. Lucie Blvd. Port St. Lucie FL 34984 Phone: 772-878-8787 Fax: 772-878-8280		THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
INSURED  <b>DAWSON ELECTRIC, LLC</b> <b>TIMOTHY DAWSON</b> 1884 SE GASKINS CIR PORT ST LUCIE FL 34952		INSURERS AFFORDING COVERAGE	NAIC #
		INSURER A: <b>MARYLAND CASUALTY COMPANY</b>	
		INSURER B:	
		INSURER C:	
		INSURER D:	
		INSURER E:	

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR	ADD'L	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS								
A		GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	SCP36172642	03/20/05	03/20/06	EACH OCCURRENCE \$ <b>1MILLION</b>								
		GENL AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				DAMAGE TO RENTED PREMISES (Ea occurrence) \$ <b>300,000</b>								
						MED EXP (Any one person) \$ <b>10,000</b>								
						PERSONAL & ADV INJURY \$ <b>1MILLION</b>								
						GENERAL AGGREGATE \$ <b>2MILLION</b>								
						PRODUCTS - COMP/OP AGG \$ <b>2MILLION</b>								
		AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$								
		GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$								
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$								
		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width:50%;">WC STATU-TORY LIMITS</td> <td style="width:50%;">OTH-ER</td> </tr> <tr> <td>E.L. EACH ACCIDENT</td> <td>\$</td> </tr> <tr> <td>E.L. DISEASE - EA EMPLOYEE</td> <td>\$</td> </tr> <tr> <td>E.L. DISEASE - POLICY LIMIT</td> <td>\$</td> </tr> </table>	WC STATU-TORY LIMITS	OTH-ER	E.L. EACH ACCIDENT	\$	E.L. DISEASE - EA EMPLOYEE	\$	E.L. DISEASE - POLICY LIMIT	\$
WC STATU-TORY LIMITS	OTH-ER													
E.L. EACH ACCIDENT	\$													
E.L. DISEASE - EA EMPLOYEE	\$													
E.L. DISEASE - POLICY LIMIT	\$													
		OTHER												

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS  
**ELECTRICAL WORK - WITHIN BUILDINGS**

**CERTIFICATE HOLDER**

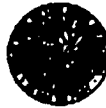
**TOWN OF SEWALLS POINT**  
**1 SEWALLS POINT**  
**SEWALLS POINT FL 34996-6736**

**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL **30** DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

*Mark Lenkin*

05-10-2004



TOM GALLAGHER  
DEPT FINANCIAL OFFICER

STATE OF FLORIDA  
DEPARTMENT OF FINANCIAL SERVICES  
DIVISION OF WORKERS' COMPENSATION

**\*\* CERTIFICATE OF EXEMPTION FROM FLORIDA WORKERS' COMPENSATION LAW \*\***

CONSTRUCTION INDUSTRY EXEMPTION

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation Law.

EFFECTIVE DATE: 01/01/2004      \*\* EXPIRATION DATE: 12/31/2005

PERSON:                    DAWSON                    TIMOTHY                    E

FEIN:                      20527701

BUSINESS NAME            DAWSON ELECTRIC LLC  
AND ADDRESS:            1884 SE GASKINS CIRCLE  
                                  PORT SAINT LUCIE        FL 34952

SCOPE OF BUSINESS OR TRADE: ELECTRICAL CONTRACTOR

**MEETS REQUIREMENTS**

**REISSUANCE REQUIREMENTS**

**IMPORTANT:** Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.

DWC - 262 CERTIFICATE OF ELECTION TO BE EXEMPT REVISED 01-04

QUESTIONS? (850) 489-2333

PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

<p>STATE OF FLORIDA DEPARTMENT OF FINANCIAL SERVICES DIVISION OF WORKERS' COMPENSATION</p> <p>CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION FROM FLORIDA WORKERS' COMPENSATION LAW</p> <p>EFFECTIVE:            01/01/2004 ** EXPIRATION DATE: 12/31/2005</p> <p>PERSON:                    DAWSON                    TIMOTHY                    E FEIN:                      20527701</p> <p>BUSINESS NAME            DAWSON ELECTRIC LLC AND ADDRESS:            1884 SE GASKINS CIRCLE                                   PORT SAINT LUCIE        FL 34952</p> <p>SCOPE OF BUSINESS OR TRADE: ELECTRICAL CONTRACTOR</p>	<p style="text-align: center;"><b>IMPORTANT</b></p> <p>Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.</p> <p style="text-align: right;">QUESTIONS? (850) 489-2333</p>
--	---

CUT HERE

\* Carry bottom portion on the job, keep upper portion for your records.

DWC - 262 CERTIFICATE OF ELECTION TO BE EXEMPT REVISED 01-04

08-17-2004



TOM GALLAGHER  
CHIEF FINANCIAL OFFICER

STATE OF FLORIDA  
DEPARTMENT OF FINANCIAL SERVICES  
DIVISION OF WORKERS' COMPENSATION

**\*\* CERTIFICATE OF EXEMPTION FROM FLORIDA WORKERS' COMPENSATION LAW \*\***

**CONSTRUCTION INDUSTRY EXEMPTION**

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation Law.

EFFECTIVE DATE: 06/23/2004

\*\* EXPIRATION DATE: 06/23/2008

PERSON: DAWSON

MARTIN

FEN: 20052

BUSINESS NAME: DAWSON ELECTRIC LLC

PHYSICAL ADDRESS: 1884 SE GASKINS CIRCLE  
PORT SAINT LUCIE FL 34952

**MEMBER REISSUANCE REQUIREMENTS**

SCOPE OF BUSINESS OR TRADE: 1- ELECTRICAL CONTRACTOR

**IMPORTANT:** Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.

IWC-252 CERTIFICATE OF ELECTION TO BE EXEMPT REVISED 01-04

QUESTIONS? (850) 413-1900

PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

STATE OF FLORIDA  
DEPARTMENT OF FINANCIAL SERVICES  
DIVISION OF WORKERS' COMPENSATION

CONSTRUCTION INDUSTRY  
CERTIFICATE OF EXEMPTION FROM FLORIDA  
WORKERS' COMPENSATION LAW

EFFECTIVE: 06/23/2004  
\*\* EXPIRATION DATE: 06/23/2008

PERSON: DAWSON  
FEN: 20052

BUSINESS NAME: DAWSON ELECTRIC LLC  
PHYSICAL ADDRESS: 1884 SE GASKINS CIRCLE  
PORT SAINT LUCIE FL 34952

SCOPE OF BUSINESS OR TRADE:  
1-ELECTRICAL CONTRACTOR

**MEMBER REISSUANCE REQUIREMENTS**

**F  
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E**

**IMPORTANT**

Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.

QUESTIONS? (850) 413-1900

CUT HERE

• Carry bottom portion on the job, keep upper portion for your records.

IWC-252 CERTIFICATE OF ELECTION TO BE EXEMPT REVISED 01-04

1483201

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
ELECTRICAL CONTRACTORS LICENSING BOARD

SEQ# L04070900510

EXPIRES	BATCH NUMBER	LICENSE NBR
07/29/2004	040023543	EC0002460

The ELECTRICAL CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2006

DAWSON, TIMOTHY EDWARD  
DAWSON ELECTRIC LLC  
1824 S.E. GASKINS CIRCLE  
PORT ST LUCIE FL 34952

JEB BUSH  
GOVERNOR

DISPLAY AS REQUIRED BY LAW

DIANE CARR  
SECRETARY

**OCCUPATIONAL TAX RECEIPT  
CITY OF PORT ST. LUCIE**

121 SW PORT ST. LUCIE BOULEVARD  
PORT ST. LUCIE, FLORIDA 34954-5099

THIS LICENSE VALID WHEN ALL STATE AND LOCAL  
REGULATED TRADE LICENSES / COMPETENCY  
CARDS ARE VALID FOR THE CURRENT FISCAL YEAR.

**TERM: October 1, 2005 to September 30, 2006**

THIS IS A RECEIPT FOR TAX PAID AND IS NOT REGULATORY IN NATURE

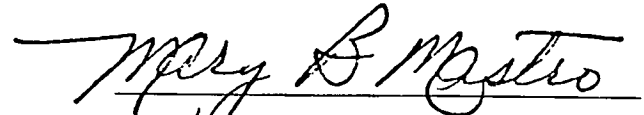
This license does not warrant or hold that the licensee is competent to perform in the business(es) as licensed, but that the licensee has paid the required fee(s) and provided the necessary documentation (if required) to be licensed in this business.

**LICENSE MUST BE EXHIBITED CONSPICUOUSLY AT YOUR PLACE OF BUSINESS.**

**VALID AT THIS BUSINESS ADDRESS ONLY.**

**Business Address:** 1884 SE GASKINS CIR  
**Classification:** CONT CONTRACTOR  
**Issued to:** DAWSON ELECTRIC LLC  
1884 SE GASKINS CIR  
  
PORT ST LUCIE FL 34952

**Business/Lic. 115678 / 06-1008649**  
**Fee:** 115.77  
**Discount:** 0.00

  
**BUSINESS LICENSE COORDINATOR**  
**BUSINESS COPY**

152 / 022 Hsoto

Fees: 115.77 Late Fees: 0.00 Total this payment : 115.77

**OCCUPATIONAL TAX RECEIPT  
CITY OF PORT ST. LUCIE**

121 SW PORT ST. LUCIE BOULEVARD  
PORT ST. LUCIE, FLORIDA 34954-5099

THIS LICENSE VALID WHEN ALL STATE AND LOCAL  
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**Issued to:** DAWSON ELECTRIC LLC  
1884 SE GASKINS CIR  
  
PORT ST LUCIE FL 34952

**Business/Lic. 115678 / 06-1008649**  
**Fee:** 115.77  
**Discount:** 0.00

**BUSINESS LICENSE COORDINATOR**  
**PAYMENT RECEIPT**

152 / 022 Hsoto

Fees: 115.77 Late Fees: 0.00 Total this payment : 115.77



## CRITIQUE

Owner: John Griffin

Date: September 2, 2005

Contractor: Casco Construction

Contractor's Phone Number: 287-1315

Plan Reviewer: Gene Simmons

287-2455

### PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR RENOVATION AND REMODEL LOCATED AT 19 RIO VISTA DRIVE

#### Submittals (2 copies)

1. Product approvals <sup>\*</sup>(current) from Miami/Dade or other testing institutes approved by the Florida Building Code for the following items:
    - a. Siding
    - b. ~~Roof Material~~
    - c. ~~Windows~~ OMIT
    - d. ~~Sliding glass doors~~ OMIT
    - e. Garage door
    - f. ~~Hurricane Shutters for any doors or windows that are not impact resistance.~~ OMIT
  2. Proof of Ownership
  3. Copy of State, Martin County Licenses
  4. Copy of Liability Insurance
  5. Copy of Workmen's Compensation
- } SUBMITTED @ DEMO PMT

#### The following documents must be signed and sealed by a registered Architect or Engineer. (2 copies)

1. Elevation Plan containing the following information: <sup>B+1</sup>
  - a. Why are there two elevations? Are these alternates?
2. Electrical Plan containing the following information:
  - a. Show all new receptacle, switch, and light locations.
3. Truss Layout containing the following information:
  - a. Elevation Plan shows new roof system. Need truss layout with connector schedule.

TRUSS MODIFICATION DETAILED ON PLAN

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri Oct 7, 2005 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7447	DIMITRIDU	WINDOW FINAL	PASS	(STOP WORK ORDER)
8	6 BANYAN	11:00 AM.		
	OAKS SYSTEMS			INSPECTOR: <i>[Signature]</i>
<del>6753</del>	<del>RADEE</del>	<del>POWER RELEASE</del>		
<del>X</del>	<del>5 HERITAGE WAY</del>	<del>SPR FINAL</del>		
	<del>ADP CONSER</del>			INSPECTOR:
TREE	O'CONNOR	TREE	PASS	
6	16 FIELDWAY			
				INSPECTOR: <i>[Signature]</i>
7714	GIFFORD	POOL ENCL. FINAL	PASS	CLOSE
3	103 HONEY SEWALL			
	AGUER TUE			INSPECTOR: <i>[Signature]</i>
TREE	BAILEY	TREE		
12	7 PERRIWINKLE			
				INSPECTOR:
6753	RADEE	PLUMB FINAL	FAIL	I HAVE RELEASE FORM IN.
5	5 HERITAGE WAY	A/C FINAL	PASS	
	<del>RADEE</del>	ELEC. FINAL	PASS	CALL F.P.C. INSPECTOR: <i>[Signature]</i>
<del>7714</del>	<del>GIFFORD</del>	<del>POOL ENCL.</del>	<del>FINAL</del>	<del>FAIL</del>
4	19 RIO VISTA	<del>RAMINA</del>	<del>MODEL</del>	<del>PASS</del>
	CASEP CONST.			INSPECTOR: <i>[Signature]</i>
OTHER:	112 N. ... PT DOOR WORK? NO PERMIT			
9				



**TOWN OF SEWALL'S POINT**  
One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

**CORRECTION NOTICE**

ADDRESS: 19 RIO VISTA

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FRAMING / ELEC. PANEL / A/C TRAYS

- ENCLOSE EXPOSED WIRES IN ATTIC IN JUNCTION BOXES
- RETAPE EXHAUST DUCT W/ APPROVED TAPE - NO GREY DUCT TAPE.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 10/7

INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 10/12, 2005 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>7500</del>	<del>TRUITT</del>	<del>FINAL ROOF</del>		
<del>X</del>	39 S. RIVER RD. TAYLOR ROOFING			INSPECTOR:
7380	BONIFACE	WINDOWS		
4	63 S. RIVER RD WILSON BLDGS			INSPECTOR:
7776	ELDER	ROVANT GAS	FAIL	
1	4 MARGUERITA PROPANE DISCOUNTERS			INSPECTOR: <i>OM</i>
<del>7500</del>	<del>TRUITT</del>	<del>FINAL ROOF</del>		<del>CAL</del>
<del>X</del>	3 S. RIVER RD TAYLOR ROOF			INSPECTOR:
<del>7799</del>	<del>GRUFFIN</del>	<del>INSULATION</del>	<del>PASS</del>	
5	19 RIO VISTA DR CASCO CONST.			INSPECTOR: <i>OM</i>
TREE	FREDERICK	TREE	PASS	
6	32 S. SEWALLS PT			INSPECTOR: <i>OM</i>
7560	RADER	FINAL GAS	PASS	CLOSE
7	5 HERITAGE WAY MARTIN GY PROPANE			INSPECTOR: <i>OM</i>

OTHER: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 11/30, 2005 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
653	DUNN	CONC. DRIVEWAY	PREPOUR	PASS
1	31 N RIVER RD	POWER RELEASE		CANCEL
	FIRST FLORIDA	(8am)		INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7797	DESANTIS	FENCE FINAL	PASS	CLOSE
7	82 S. SEWALL'S Pt			
	LAWRENCE FENCE			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7863	DESANTIS	FOOTER <sup>BACK</sup> STEPS	PASS	
7	82 S. SEWALL'S Pt	POOL PATIO		
	o/b			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7907	GRASSAM	DRY-IN	PASS	
12	8 COPAIRE ROAD	11:30		
	AFTERMATH ROOFING	FLAT DECK PRODUCT APPROVAL	FAIL	INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7789	GRIFFEN	FINAL REMODEL + RENOVATION	FAIL	
9	19 RIO VISTA			
	CASCO CONSTRUCT.			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	DEMBINSKI	TREE	FAIL	
3	4 KNOWLES RD			
				INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7860	HOLLAND	FINAL ROOF	PASS	CLOSE
5	9 MANDALAY			
	FEAZEL ROOFING			INSPECTOR: <i>OM</i>
OTHER: _____				



**TOWN OF SEWALL'S POINT**

One South Sewall's Point Road

Sewall's Point, Florida 34996

(772) 287-2455

**CORRECTION NOTICE**

ADDRESS: 19 RIO VISTA

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FINAL

GAR. DOOR BULK NEEDS LAG BOLTS  
@ 16" O.C.

EXPOSED WIRES IN GAR.  
CEILING NEED FIXTURE  
INSTALLED OR JUNCTION BOX.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 11/30

[Signature]

INSPECTOR

**DO NOT REMOVE THIS TAG**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	10105	DATE ISSUED:	MAY 23, 2012
SCOPE OF WORK:	FENCE		
CONTRACTOR:	STUART FENCE		
PARCEL CONTROL NUMBER:	123841002-000-004904	SUBDIVISION	RIO VISTA - L 49
CONSTRUCTION ADDRESS:	19 RIO VISTA DR		
OWNER NAME:	CAUSEY		
QUALIFIER:	CHESTER RICHMOND	CONTACT PHONE NUMBER:	288-1151

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

### INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

Town of Sewall's Point

Date: 5-16-12

BUILDING PERMIT APPLICATION

Permit Number: 10105

OWNER/LESSEE NAME: Matthew D Causey Phone (Day) 770-561-5404 (Fax)

Job Site Address: 19 Rio Vista Dr. City: Stuart State: FL Zip: 34996

Legal Description: Rio Vista S/D Lot 49 Parcel Control Number: 12-38-41-002-000-00490-4

Fee Simple Holder Name: N/A Address:

City: State: Zip: Telephone:

\*SCOPE OF WORK (PLEASE BE SPECIFIC): fence

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application) YES NO

Has a Zoning Variance ever been granted on this property?

YES (YEAR) NO

COST AND VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 575.00

(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10 AE9 AE8 X

FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY: Estimated Fair Market Value prior to improvement: \$

Construction Company: Stuart Fence Company Phone: 772-288-1151 Fax: 772-288-3035

Qualifiers name: Chester Richmond Street: P.O. Box 2636 City: Stuart State: FL Zip: 34995

State License Number: N/A OR: Municipality: Martin Co. License Number: MCFE 3584

LOCAL CONTACT: Chester Richmond Phone Number: 772-288-1151

DESIGN PROFESSIONAL: N/A

Street: City: State: Zip: Phone Number:

AREAS SQUARE FOOTAGE: Living: Garage: Covered Porches: Enclosed Storage:

Carpport: Total under Roof Elevated Deck: Enclosed area below BFE:

\* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

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2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007:SECT. 105.4.1, 105.4.1.1 - 5.

\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE:

X State of Florida, County of: On This the day of , 20 by who is personally known to me or produced As identification.

Notary Public

My Commission Expires:

CONTRACTOR/LICNSEE NOTARIZED SIGNATURE:

X State of Florida, County of: Martin On This the 16th day of May 2012 by Chester Richmond known to me or produced As identification.

My Commission Expires: Apr. 12, 2014

NOTARY PUBLIC DEBORAH V. NANCE Commission # DD980801 Expires: APR-12, 2014 BONDING THROUGH ATLANTIC BONDING CO., INC.

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



lm 5-15-12

# STUART FENCE COMPANY, INC.

(772) 288-1151

Fax (772) 288-3035

# CFE3584

LICENSED & INSURED  
BONDED

## PROPOSAL - CONTRACT

P.O. Box 2636  
Stuart, FL 34995

CUSTOMER'S NAME <b>David Causey - Sewall's Point</b>			DATE <b>5/15/12</b>
STREET <b>14 Rio Vista Drive</b>		CITY <b>Stuart</b>	STATE <b>FL</b>
HOME PHONE <b>19</b>	BUSINESS PHONE	Fax #	ZIP <b>34996</b>
FENCE LINE CLEARED: <b>Y / N</b>		SURVEY:	MOBIL/BEEPER# <b>770-561-5404</b>
			TOTAL FOOTAGE:

**CHAIN LINK**

FENCE TYPE \_\_\_\_\_

TOP RAIL \_\_\_\_\_

LINE POST \_\_\_\_\_

CORNER POST \_\_\_\_\_

GATE POST \_\_\_\_\_

WALK GATE \_\_\_\_\_

D.D. GATE \_\_\_\_\_

WIRE GAUGE \_\_\_\_\_

TENSION WIRE \_\_\_\_\_

Install 1-4' wide wood gate and 1-4' wide wood section/panel. All pressure treated wood. Total includes all material, labor and permit. - 6' high

**\$ 575 -**

Board on board wood privacy

\* measure across back

**WOOD**

FENCE STYLE \_\_\_\_\_

HEIGHT \_\_\_\_\_

GOOD SIDE \_\_\_\_\_

WALK GATES \_\_\_\_\_

D.D. GATES \_\_\_\_\_

LINE POSTS \_\_\_\_\_

GATE POSTS \_\_\_\_\_

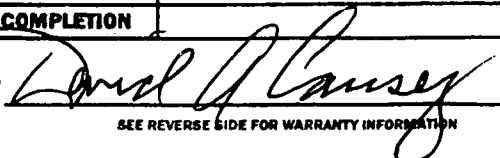
**SPECIAL INSTRUCTIONS**

**PVC/ALUMINUM**

FENCE STYLE _____	<b>OPTION "B"</b>	<b>PROPOSAL/CONTRACT SALE PRICE</b>	<b>OPTION "A"</b>
WALK GATES _____		<b>CONTRACT PRICE</b>	
D.D. GATES _____		<b>PERMIT</b>	
		<b>TOTAL</b>	
		<b>LESS DEPOSIT</b>	
POOL FENCE <b>Y / N</b>		<b>BALANCE DUE UPON COMPLETION</b>	

ACCEPTANCE OF PROPOSAL - CONTRACT: The above prices, specifications and Terms/Conditions on reverse side are satisfactory and are hereby accepted. Stuart Fence Corp. is authorized to do the work specified. Payment will be made as outlined above. Upon signing by Purchaser this becomes a binding contract.

CUSTOMER'S SIGNATURE



SEE REVERSE SIDE FOR WARRANTY INFORMATION

APPROVED AND ACCEPTED DATE \_\_\_\_\_

SALES REP. \_\_\_\_\_

STUART FENCE COMPANY, INC. IS NOT RESPONSIBLE FOR DAMAGE TO UNMARKED IRRIGATION LINES

**Martin County, Florida  
Laurel Kelly, C.F.A**

generated on 5/22/2012 10:52:08 AM EDT

**Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-002-000-00490-4	27562	19 RIO VISTA DR, SEWALL'S POINT	\$201,000	5/19/2012

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**Owner Information**

<b>Owner(Current)</b>	CAUSEY MATTHEW D WEISBRODT LINDSAY M
<b>Owner/Mail Address</b>	19 RIO VISTA DR STUART FL 34996
<b>Sale Date</b>	3/15/2012
<b>Document Book/Page</b>	2567 1142
<b>Document No.</b>	2322507
<b>Sale Price</b>	245000

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**Location/Description**

<b>Account #</b>	27562	<b>Map Page No.</b>	SP-04
<b>Tax District</b>	2200	<b>Legal Description</b>	RIO VISTA S/D LOT 49
<b>Parcel Address</b>	19 RIO VISTA DR, SEWALL'S POINT		
<b>Acres</b>	.3290		

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**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120250 RIO VISTA DRY

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**Assessment Information**

<b>Market Land Value</b>	\$127,000
<b>Market Improvement Value</b>	\$74,000
<b>Market Total Value</b>	\$201,000



Pickets 1/2" x 6" x 6'

8' Max

3" spacing

PLAN VIEW

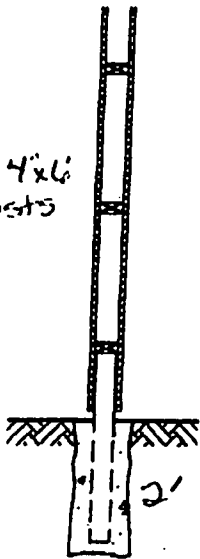
BOARD OVERLAP

INCHES

TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
FILE COPY

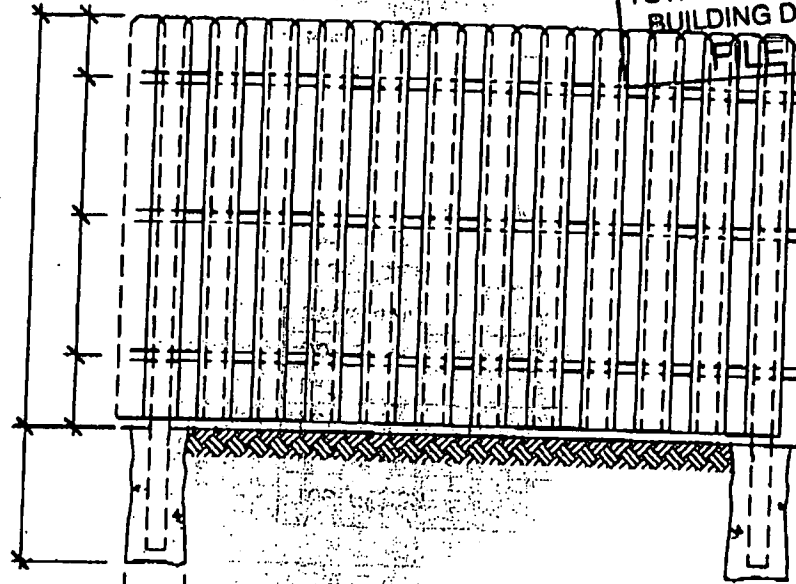
4" x 4" x 6'  
posts

6'

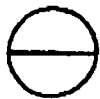


Post Holes 10"  
in diameter

SIDE VIEW



FRONT VIEW

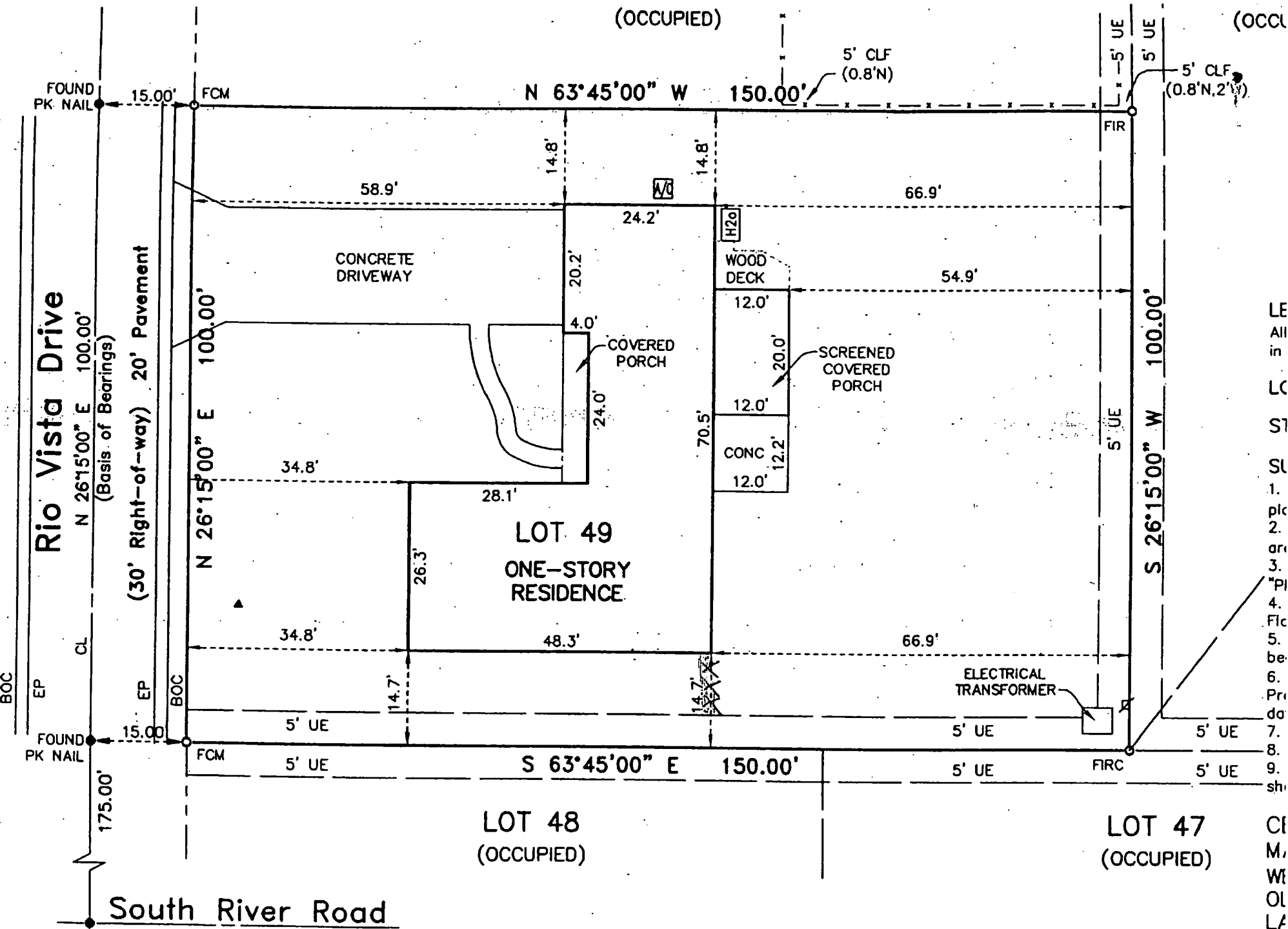


# 6' BOARD ON BOARD FENCE DETAIL

STYLE : DOG EARED (W-12)

NOTES:

SPECIFICATIONS		
COMPONENT	DIMENSIONS	MATERIAL
BACK RAILS	X X	
POSTS	X X	
PICKETS	X X	
FOOTING	DIA X DEEP	
NAILS/SCREWS		
TOP DESIGN		



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# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 5-31-12 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10076	Sharfi 73 N Sewalls TC Fence	Final fence	PASS	Close ✓  INSPECTOR <i>AT</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10105	<del>Grove</del> 19400 Vista Stuart Fence	<del>Final</del> fence	PASS	<del>Close</del>  INSPECTOR <i>AT</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
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PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	8 COLLIERE Pool Paver Deck			NO PERMIT
				INSPECTOR

**10343**  
**A/C CHANGE**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	10343	DATE ISSUED:	FEBRUARY 4, 2013
SCOPE OF WORK:	AC CHANGEOUT		
CONTRACTOR:	CLASSIC COOLING		
PARCEL CONTROL NUMBER:	123841002-000-004904	SUBDIVISION	RIO VISTA - LOT 49
CONSTRUCTION ADDRESS:	19 RIO VISTA DR		
OWNER NAME:	CECCARELLI		
QUALIFIER:	STEPHEN STRAIT	CONTACT PHONE NUMBER:	283-8710

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### INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

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**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

Permit Number: 10343

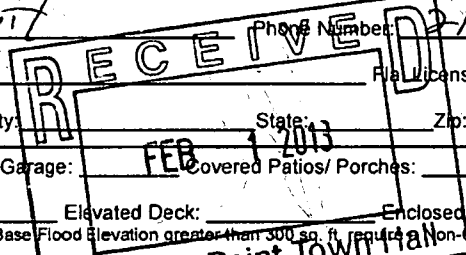
Date: \_\_\_\_\_  
 OWNER/LESSEE NAME: Michael Ceccarelli Phone (Day) 210-2213 (Fax) \_\_\_\_\_  
 Job Site Address: 19 Rio Vista Dr. City: Strait State: FL Zip: 34996  
 Legal Description \_\_\_\_\_ Parcel Control Number: \_\_\_\_\_  
 Fee Simple Holder Name: \_\_\_\_\_ Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Telephone: \_\_\_\_\_

**\*SCOPE OF WORK (PLEASE BE SPECIFIC):** NO change out.

**WILL OWNER BE THE CONTRACTOR?**  
 (If yes, Owner Builder questionnaire must accompany application)  
 YES \_\_\_\_\_ NO X  
**Has a Zoning Variance ever been granted on this property?**  
 YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO X  
 (Must include a copy of all variance approvals with application)

**COST AND VALUES: (Required on ALL permit applications)**  
 Estimated Value of Improvements: \$ 4800.00  
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
 Is subject property located in flood hazard area? VE10 \_\_\_\_\_ AE9 \_\_\_\_\_ AE8 \_\_\_\_\_ X  
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
 Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
 (Fair Market Value of the Primary Structure only, Minus the land value)  
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Classic Cooling Phone: 283-8710 Fax: 283-8725  
 Qualifiers name: Stephen A Strait Street: 1558 3rd 34th St City: Palm City State: FL Zip: 34996  
 State License Number: CAC029403 OR: Municipality: \_\_\_\_\_ License Number: \_\_\_\_\_  
 LOCAL CONTACT: Stephen A Strait Phone Number: 215-6378  
 DESIGN PROFESSIONAL: \_\_\_\_\_ Fla License# \_\_\_\_\_  
 Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Phone Number: \_\_\_\_\_  
 AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/ Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_  
 Carport: \_\_\_\_\_ Total under Roof: \_\_\_\_\_ Elevated Deck: \_\_\_\_\_ Enclosed area below BFE\*: \_\_\_\_\_  
 \* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.



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OWNER / AGENT / LESSEE NOTARIZED SIGNATURE:  
x Michael Ceccarelli  
 State of Florida, County of: Martin  
 On This the 1st day of Feb  
 by Michael Ceccarelli who is personally  
 known to me or produced NY DL # 561-673-924  
 As identification. Valerie Camlet  
 Notary Public  
 My Commission Expires: \_\_\_\_\_

CONTRACTOR LICENSEE NOTARIZED SIGNATURE: 222086  
x Stephen A Strait  
 State of Florida, County of: Martin  
 On This the 1st day of Feb 20 13  
 by Stephen A Strait who is personally  
 known to me or produced FDLH # 5363-781-54-368-0  
 As identification. Valerie Camlet  
 Notary Public  
 My Commission Expires: \_\_\_\_\_

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



**Martin County, Florida  
Laurel Kelly, C.F.A**

generated on 2/1/2013 2:08:11 PM EST

**Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-002-000-00490-4	27562	19 RIO VISTA DR, SEWALL'S POINT	\$196,240	1/26/2013

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**Owner Information**

<b>Owner(Current)</b>	CECCARELLI MICHAEL & EILEEN
<b>Owner/Mail Address</b>	PO BOX 1971 SHELTER ISLAND NY 11964
<b>Sale Date</b>	12/31/2012
<b>Document Book/Page</b>	2622 1229
<b>Document No.</b>	2369966
<b>Sale Price</b>	285000

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**Location/Description**

<b>Account #</b>	27562	<b>Map Page No.</b>	SP-04
<b>Tax District</b>	2200	<b>Legal Description</b>	RIO VISTA S/D LOT 49
<b>Parcel Address</b>	19 RIO VISTA DR, SEWALL'S POINT		
<b>Acres</b>	.3290		

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**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120250 RIO VISTA DRY

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**Assessment Information**

<b>Market Land Value</b>	\$120,000
<b>Market Improvement Value</b>	\$76,240
<b>Market Total Value</b>	\$196,240



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

Air Conditioning Change out Affidavit

Residential [checked] Commercial
Package Unit Yes [checked] No
Duct Replacement Yes [checked] No - Refrigerant line replacement Yes [checked] No
Flushing Existing Refrigerant lines Yes [checked] No - Adding Refrigerant Drier Yes [checked] No
Rooftop A/C Stand Installation Yes [checked] No - Curb Installation Yes [checked] No
Smoke Detector in Supply (over 2000 CFM) Yes [checked] No

One form required for each A/C system installed

REPLACEMENT SYSTEM COMPONENTS

Air handler: Mfg: Trane Model# GAM5A0836 Condenser: Mfg Trane Model# 47TR0420
Volts 230 CFM's 1400 Heat Strip 10 Kw Volts 230 SEER/EER 14.5 BTU's 42,500
Min. Circuit Amps 40 Wire gauge 6 Min. Circuit Amps 25 Wire gauge 8
Max. Breaker size 60 Min. Breaker size 50 Max. Breaker size 45 Min. Breaker size 40
Ref. line size: Liquid 3/8 Suction 3/4 Ref. line size: Liquid 3/8 Suction 3/4
Refrigerant type R410 Refrigerant type R410
Location: Existing [checked] New
Attic/Garage/Closet (specify) Garage Left/Right/Rear/Front/Roof Left side
Access: On Platform in Garage Condensate Location Rear of house

NOTE: CONTRACTOR MUST SUPPLY A PROPER LADDER IF REQUIRED FOR INSPECTION

EXISTING SYSTEM COMPONENTS

Air handler: Mfg: Trane Model# TWE042C Condenser: Mfg Grandaire Model# JS3BA9424A
Volts 230 CFM's 1400 Heat Strip 10 Kw Volts 230 SEER/EER ? BTU's 42,000
Min. Circuit Amps 40 Wire gauge 6 Min. Circuit Amps Wire gauge
Max. Breaker size 60 Min. Breaker size 50 Max. Breaker size 40 Min. Breaker size 35
Ref. line size: Liquid 3/8 Suction 3/4 Ref. line size: Liquid 3/8 Suction 3/4
Refrigerant type R22 Refrigerant type R22
Location: Ext. [checked] New
Attic/Garage/Closet (specify) Garage Left/Right/Rear/Front/Roof Left side
Access: on Platform in Garage Condensate Location Rear of house

Certification:

I herby certify that the information entered on this form accurately represents the equipment installed and further that this equipment is considered matched as required by FBC - R (N)1107 & 1108

Signature [Handwritten Signature]

Date 2-1-13

Trane Quick Select

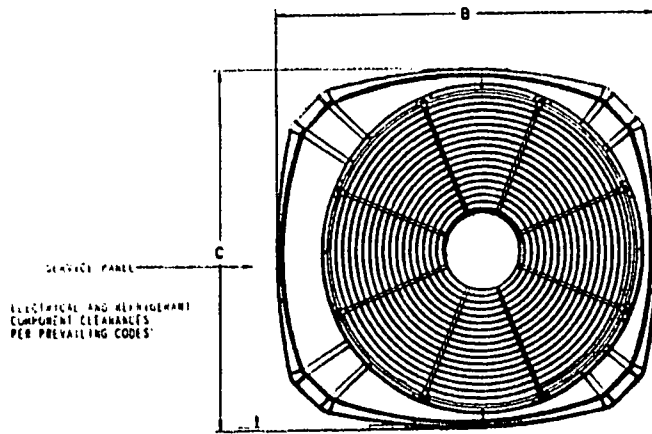
Single Phase Residential Condensing Unit Data

South Florida Trane Residential Solutions

MODELS	DIMENSIONS (INCHES)			COMPRESSOR			FACTORY INSTALLED START KIT?	ACCESSORY START KIT MODEL #	CRANKCASE HEATER	EXTREME CONDITIONS MOUNTING KIT	OD FAN MOTOR		SUCTION LINE	LIQUID LINE	MIN. BR. CIR. AMPACITY	MAX. PROTECTION (AMPS)	NET WEIGHT (LBS)	CU RATING
	H	W	D	RLA	LRA	TYPE					HP	FLA						
<b>XR 13</b>																		
4TTR3018E1000A	29	33	30	6.4	40.0	R	YES		BAYCCHT300	BAYECMT023	1/8	0.74	5/8	3/8	9	15	165	76
4TTR3024E1000A	29	33	30	8.9	48.5	R	YES		BAYCCHT300	BAYECMT023	1/8	0.74	5/8	3/8	12	20	169	75
4TTR3030E1000A	29	33	30	11.5	63.5	R	YES		BAYCCHT300	BAYECMT023	1/8	0.74	3/4	3/8	15	25	173	76
4TTR3030E1000A	29	33	30	14.0	63.0	R	YES		BAYCCHT300	BAYECMT023	1/8	0.70	3/4	3/8	18	30	190	75
4TTR3036D1000A	29	37	34	11.0	109.0	S	NO	BAYSKT260	BAYCCHT301	BAYECMT004	1/5	1.00	7/8	3/8	28	50	203	75
4TTR3042D1000A	29	37	34	11.0	109.0	S	NO	BAYSKT260	BAYCCHT301	BAYECMT004	1/5	1.00	7/8	3/8	28	50	203	75
4TTR3048D1000A	29	37	34	21.8	117.0	S	NO	BAYSKT260	BAYCCHT301	BAYECMT004	1/5	1.00	7/8	3/8	35	60	226	76
4TTR3060D1000A	37	37	34	26.8	134.0	S	YES		BAYCCHT301	BAYECMT004	1/5	1.00	7/8	3/8	35	60	226	76

4TTR3 OUTLINE DRAWING

NOTE: ALL DIMENSIONS ARE IN MM (INCHES)



ELECTRICAL AND REFRIGERANT COMPONENT CLEARANCES PER PREVAILING CODES

TOP DISCHARGE AREA SHOULD BE UNRESTRICTED FOR AT LEAST 1524 (15 FEET) ABOVE UNIT. UNIT SHOULD BE PLACED SO RAIN-OFF WATER DOES NOT POUR DIRECTLY ON UNIT, AND SHOULD BE AT LEAST 305 (12") FROM WALL AND ALL SURROUNDING SHRUBBERY ON TWO SIDES OTHER TWO SIDES UNRESTRICTED.

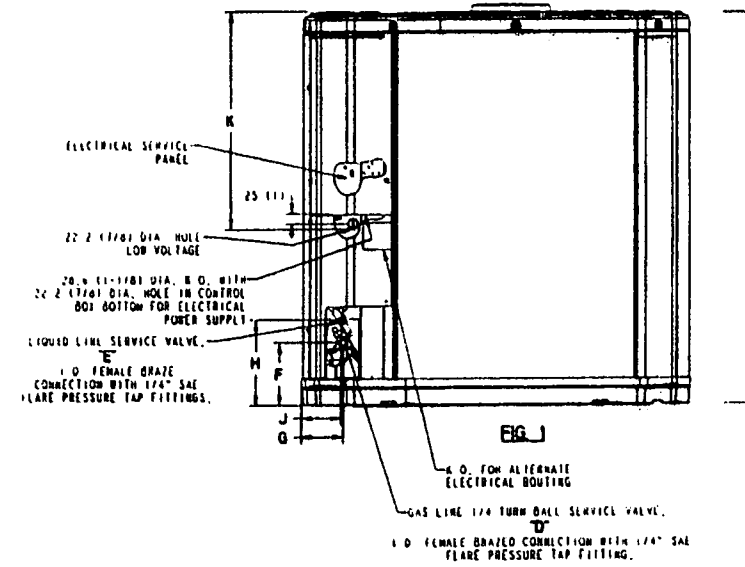


FIG. 1

MODELS	BASE	FIG.	A	B	C	D	E	F	G	H	J	K
4TTR3018E1	3	1	730 (28-3/4)	829 (32-5/8)	756 (29-3/4)	5/8	3/8	143 (5-5/8)	92 (3-5/8)	210 (8-1/4)	79 (3-1/8)	508 (20)
4TTR3024E1	3	1	730 (28-3/4)	829 (32-5/8)	756 (29-3/4)	5/8	3/8	143 (5-5/8)	92 (3-5/8)	210 (8-1/4)	79 (3-1/8)	508 (20)
4TTR3030D1	3	1	730 (28-3/4)	829 (32-5/8)	756 (29-3/4)	3/4	3/8	143 (5-5/8)	92 (3-5/8)	210 (8-1/4)	79 (3-1/8)	508 (20)
4TTR3036D1	3	1	832 (32-3/4)	829 (32-5/8)	756 (29-3/4)	3/4	3/8	143 (5-5/8)	92 (3-5/8)	210 (8-1/4)	79 (3-1/8)	508 (20)
4TTR3042D1	4	1	741 (29-1/8)	946 (37-1/4)	870 (34-1/4)	3/4	3/8	152 (6)	98 (3-7/8)	219 (8-5/8)	86 (3-3/8)	508 (20)
4TTR3048D1	4	1	741 (29-1/8)	946 (37-1/4)	870 (34-1/4)	7/8	3/8	152 (6)	98 (3-7/8)	219 (8-5/8)	86 (3-3/8)	508 (20)
4TTR3060D1	4	1	943 (37-1/8)	946 (37-1/4)	870 (34-1/4)	7/8	3/8	152 (6)	98 (3-7/8)	219 (8-5/8)	86 (3-3/8)	508 (20)

MODEL	MANUFACTURER'S BASE LIMITED WARRANTY			MANUFACTURER'S REGISTERED LIMITED WARRANTY*			OPTIONAL LEGACY EXTENDED WARRANTY 10 YEAR P & L TAYWAR004	OPTIONAL "LABOR PLUS" SYSTEM EXTENDED PARTS AND LABOR WARRANTY** TAYWRR004	DIGITAL THERMOSTATS TCONT200AN11AA (Non-program.) TCONT600AF11MA (5 DAY Prog) TCONT800AS11AA (PROG. 7 DAY)
	COMP	OD COIL	PARTS	COMP	OD COIL	PARTS			
4TTR	5	5	5	10	10	10			

\*Dual com. 20  
R=Trane Climatuff Reciprocating Compressor  
S=Trane Climatuff Scroll Compressor

# Single Phase Split Cooling Systems

South Florida Trans... Residential Solutions

B2CRXL 7/2012

NOM TONS	SEER	EER	CU MODEL #	CU PRICE	AHU MODEL #	AHU PRICE	HEATER	HTR PRICE	T-STAT	T-STAT PRICE	CFM	TC	SC	A/H DIMENSIONS			AHU WT.	FPL REBATE	SYS TOTAL	ARI REF
														H	W	D				
<b>XR13 - 4TTR3 SYSTEMS</b>																				
1.5	14.50	12.5	4TTR3018E1000A	\$ 807	GAF2A0A18S11SA	\$ 526	BAYECAA05LG1AA	\$ 46	TCONT600	\$ 57	650	20,000	14,000	39.5	17.5	21.9	107	\$125	\$ 1,436	4941077
1.5	16.25	13.5	4TTR3018E1000A	\$ 807	GAF2A0A36M31SA	\$ 639	BAYECAA05LG1AA	\$ 46	TCONT600	\$ 57	650	20,600	14,400	39.5	17.5	21.8	98	\$305	\$ 1,549	5361660
1.5	14.50	12.0	4TTR3018E1000A	\$ 807	TAM4A0A18S11SA	\$ 578	BAYEAAC05BK1AA	\$ 57	TCONT600	\$ 57	625	18,800	13,300	50.0	17.5	21.8	113	N/A	\$ 1,499	4935537
1.5	14.50	12.0	4TTR3018E1000A	\$ 807	GAM5A0A18M11SA	\$ 657	BAYEAAC10BK1AA	\$ 68	TCONT600	\$ 57	650	18,500	13,000	50.0	17.5	21.8	120	\$125	\$ 1,589	4935584
2.0	14.25	12.0	4TTR3024E1000A	\$ 835	TAM7A0A24H21SB	\$ 833	BAYEVAC05BK1AA	\$ 98	TCONT600	\$ 57	635	20,400	14,500	50.0	17.5	21.8	116	\$125	\$ 1,795	4935539
2.0	14.50	12.0	4TTR3024E1000A	\$ 835	GAF2A0A18S11SA	\$ 526	BAYECAA05LG1AA	\$ 46	TCONT600	\$ 57	675	23,200	17,500	39.5	17.5	21.9	107	\$140	\$ 1,464	4941082
2.0	15.50	13.0	4TTR3024E1000A	\$ 835	GAF2A0A24S21SA	\$ 531	BAYECAA05LG1AA	\$ 46	TCONT600	\$ 57	725	24,000	17,600	39.5	17.5	21.9	110	\$140	\$ 1,469	4941083
2.0	13.50	11.5	4TTR3024E1000A	\$ 835	GAF2A0A36M31SA	\$ 639	BAYECAA05LG1AA	\$ 46	TCONT600	\$ 57	875	24,000	17,600	39.5	17.5	21.9	110	N/A	\$ 1,577	5361661
2.0	13.50	11.5	4TTR3024E1000A	\$ 835	TAM4A0A18S11SA	\$ 578	BAYEAAC05BK1AA	\$ 57	TCONT600	\$ 57	825	24,600	17,900	39.5	17.5	21.8	98	\$265	\$ 1,577	5361661
2.0	14.50	12.0	4TTR3024E1000A	\$ 835	TAM4A0A24S21SA	\$ 582	BAYEAAC05BK1AA	\$ 57	TCONT600	\$ 57	875	23,000	17,400	50.0	17.5	21.8	113	N/A	\$ 1,527	4935586
2.0	14.50	12.0	4TTR3024E1000A	\$ 835	GAM5A0A24M21SA	\$ 684	BAYEAAC05BK1AA	\$ 57	TCONT600	\$ 57	775	24,000	17,600	50.0	17.5	21.8	116	N/A	\$ 1,531	4935587
2.0	14.50	12.0	4TTR3024E1000A	\$ 835	TAM7A0A24H21SB	\$ 833	BAYEVAC05BK1AA	\$ 98	TCONT600	\$ 57	750	24,000	17,900	50.0	17.5	21.8	120	\$140	\$ 1,633	4935686
2.5	13.00	11.0	4TTR3030E1000A	\$ 876	GAF2A0A24S21SA	\$ 531	BAYECAA08LG1AA	\$ 52	TCONT600	\$ 57	805	24,200	17,900	50.0	17.5	21.8	116	\$140	\$ 1,823	4935589
2.5	13.00	11.0	4TTR3030E1000A	\$ 876	GAF2A0A30S21SA	\$ 537	BAYECAA08LG1AA	\$ 52	TCONT600	\$ 57	950	29,400	21,800	39.5	17.5	21.9	110	N/A	\$ 1,516	5275317
2.5	14.00	11.5	4TTR3030E1000A	\$ 876	GAF2A0A36M31SA	\$ 639	BAYECAA08LG1AA	\$ 52	TCONT600	\$ 57	875	28,800	21,300	39.5	17.5	21.9	111	N/A	\$ 1,522	5275318
2.5	13.00	11.0	4TTR3030E1000A	\$ 876	TAM4A0A24S21SA	\$ 582	BAYEAAC08BK1AA	\$ 64	TCONT600	\$ 57	825	29,000	21,800	39.5	17.5	21.8	98	\$165	\$ 1,624	5275319
2.5	13.00	11.0	4TTR3030E1000A	\$ 876	TAM4A0A30S21SA	\$ 591	BAYEAAC08BK1AA	\$ 64	TCONT600	\$ 57	975	29,400	21,500	50.0	17.5	21.8	116	N/A	\$ 1,579	5274239
2.5	14.50	12.0	4TTR3030E1000A	\$ 876	GAM5A0B30M21SA	\$ 733	BAYEAAC08BK1AA	\$ 64	TCONT600	\$ 57	900	29,000	21,500	50.0	17.5	21.8	117	N/A	\$ 1,588	5274240
2.5	14.50	12.0	4TTR3030E1000A	\$ 876	TAM7A0B30H21SB	\$ 849	BAYEVAC08BK1AA	\$ 108	TCONT600	\$ 57	750	29,400	22,900	51.5	21.3	21.8	140	\$165	\$ 1,730	5275322
3.0	13.25	11.0	4TTR3036D1000A	\$ 956	GAF2A0A30S21SA	\$ 537	BAYECAA10LG1AA	\$ 57	TCONT600	\$ 57	1015	31,000	23,100	55.7	21.3	21.8	138	\$165	\$ 1,888	5274243
3.0	13.00	11.0	4TTR3036D1000A	\$ 956	GAF2A0A36S31SA	\$ 540	BAYECAA10LG1AA	\$ 57	TCONT600	\$ 57	975	33,600	25,000	39.5	17.5	21.9	111	N/A	\$ 1,607	4941088
3.0	13.50	11.5	4TTR3036D1000A	\$ 956	GAF2A0A36M31SA	\$ 639	BAYECAA10LG1AA	\$ 57	TCONT600	\$ 57	1025	33,800	24,900	39.5	17.5	21.9	112	N/A	\$ 1,610	4941089
3.0	13.00	11.0	4TTR3036D1000A	\$ 956	GAT2A0B42S31SA	\$ 628	BAYEAAC10BK1AA	\$ 68	TCONT600	\$ 57	950	33,600	25,400	39.5	17.5	21.8	98	N/A	\$ 1,709	5361662
3.0	13.25	11.0	4TTR3036D1000A	\$ 956	TAM4A0A36S31SA	\$ 628	BAYEAAC10BK1AA	\$ 68	TCONT600	\$ 57	1200	35,400	26,200	55.7	21.3	21.8	133	N/A	\$ 1,709	4941127
3.0	14.50	12.0	4TTR3036D1000A	\$ 956	TAM4A0A30S21SA	\$ 591	BAYEAAC10BK1AA	\$ 68	TCONT600	\$ 57	1125	34,400	25,300	50.0	17.5	21.8	113	N/A	\$ 1,709	4941127
3.0	14.50	12.0	4TTR3036D1000A	\$ 956	GAM5A0B30M21SA	\$ 733	BAYEAAC10BK1AA	\$ 68	TCONT600	\$ 57	975	33,600	25,000	50.0	17.5	21.8	117	N/A	\$ 1,672	4643408
3.0	14.50	12.0	4TTR3036D1000A	\$ 956	GAM5A0B36M31SA	\$ 777	BAYEAAC10BK1AA	\$ 68	TCONT600	\$ 57	1030	35,600	27,100	51.5	21.3	21.8	140	\$210	\$ 1,814	4150884
3.0	14.50	12.0	4TTR3036D1000A	\$ 956	TAM7A0C36H31SB	\$ 981	BAYEVAC10BK1AA	\$ 110	TCONT600	\$ 57	1080	35,800	26,900	55.7	21.3	21.8	150	\$210	\$ 1,858	4150885
3.5	13.50	11.0	4TTR3042D1000A	\$ 1,089	GAT2A0B42S31SA	\$ 628	BAYEAAC10BK1AA	\$ 68	TCONT600	\$ 57	1230	37,200	27,500	56.9	23.5	21.8	146	\$210	\$ 2,104	4385340
3.5	13.00	11.0	4TTR3042D1000A	\$ 1,089	TAM4A0C48S41SA	\$ 765	BAYEAAC10BK1AA	\$ 68	TCONT600	\$ 57	1300	41,500	30,700	55.7	21.3	21.8	133	N/A	\$ 1,842	4941128
3.5	13.50	11.5	4TTR3042D1000A	\$ 1,089	TAM4A0B42S31SA	\$ 714	BAYEAAC10BK1AA	\$ 68	TCONT600	\$ 57	1475	43,000	30,900	57.0	23.5	21.8	143	N/A	\$ 1,979	4646814
3.5	14.50	12.0	4TTR3042D1000A	\$ 1,089	GAM5A0C36M31SA	\$ 777	BAYEAAC10BK1AA	\$ 68	TCONT600	\$ 57	1300	42,000	31,100	55.7	21.3	21.8	133	N/A	\$ 1,926	4643411
3.5	14.50	12.0	4TTR3042D1000A	\$ 1,089	GAM5A0C42M31SA	\$ 806	BAYEAAC10BK1AA	\$ 68	TCONT600	\$ 57	1280	42,600	31,200	55.7	21.3	21.8	133	N/A	\$ 1,994	4150890
3.5	14.50	12.0	4TTR3042D1000A	\$ 1,089	TAM7A0C42H31SB	\$ 1,014	BAYEVAC10BK1AA	\$ 110	TCONT600	\$ 57	1295	44,500	33,500	56.9	23.5	21.8	151	\$265	\$ 2,020	4150891
4.0	13.50	11.0	4TTR3048D1000A	\$ 1,171	GAT2A0B42S31SA	\$ 628	BAYEAAC10BK1AA	\$ 68	TCONT600	\$ 57	1335	44,000	32,500	56.9	23.5	21.8	151	\$265	\$ 2,270	4385343
4.0	13.00	10.5	4TTR3048D1000A	\$ 1,171	GAT2A0C48S41SA	\$ 673	BAYEAAC10BK1AA	\$ 68	TCONT600	\$ 57	1425	46,500	34,100	55.7	21.3	21.8	133	N/A	\$ 1,924	4941131
4.0	13.00	11.0	4TTR3048D1000A	\$ 1,171	TAM4A0C48S41SA	\$ 765	BAYEAAC10BK1AA	\$ 68	TCONT600	\$ 57	1500	47,000	34,600	56.9	23.5	21.8	143	N/A	\$ 1,969	4941132
4.0	13.50	11.5	4TTR3048D1000A	\$ 1,171	TAM4A0B42S31SA	\$ 714	BAYEAAC10BK1AA	\$ 68	TCONT600	\$ 57	1550	47,500	34,300	57.0	23.5	21.8	143	N/A	\$ 2,061	4643413
4.0	14.50	12.0	4TTR3048D1000A	\$ 1,171	GAM5A0C42M31SA	\$ 806	BAYEAAC10BK1AA	\$ 68	TCONT600	\$ 57	1425	46,500	34,100	55.7	21.3	21.8	133	N/A	\$ 2,010	4643412
4.0	14.50	12.0	4TTR3048D1000A	\$ 1,171	GAM5A0C48M41SA	\$ 897	BAYEAAC10BK1AA	\$ 68	TCONT600	\$ 57	1275	48,500	37,200	56.9	23.5	21.8	153	\$305	\$ 2,102	4150896
4.0	14.50	12.0	4TTR3048D1000A	\$ 1,171	TAM7A0C48H41SB	\$ 1,156	BAYEVAC10BK1AA	\$ 110	TCONT600	\$ 57	1430	48,500	36,600	61.7	23.5	21.8	166	\$305	\$ 2,193	4150897
5.0	13.00	11.0	4TTR3060D1000A	\$ 1,398	GAT2A0C60S51SA	\$ 789	BAYEAAC10BK1AA	\$ 68	TCONT600	\$ 57	1495	49,000	36,600	61.7	23.5	21.8	163	\$305	\$ 2,494	4385346
5.0	13.50	11.5	4TTR3060D1000A	\$ 1,398	TAM4A0C60S51SA	\$ 851	BAYEAAC10BK1AA	\$ 68	TCONT600	\$ 57	1750	58,500	43,300	61.7	23.5	21.8	159	N/A	\$ 2,312	4941134
5.0	13.75	11.0	4TTR3060D1000A	\$ 1,398	GAM5A0C48M41SA	\$ 897	BAYEAAC10BK1AA	\$ 68	TCONT600	\$ 57	1550	58,500	44,800	61.7	23.5	21.8	159	N/A	\$ 2,374	4643414
5.0	13.75	11.0	4TTR3060D1000A	\$ 1,398	GAM5A0C60M51SA	\$ 1,035	BAYEAAC10BK1AA	\$ 68	TCONT600	\$ 57	1610	58,000	44,200	61.7	23.5	21.8	166	N/A	\$ 2,420	4150901
5.0	14.00	11.5	4TTR3060D1000A	\$ 1,398	TAM7A0C60H51SB	\$ 1,301	BAYEVAC10BK1AA	\$ 110	TCONT600	\$ 57	1695	60,000	45,200	61.7	23.5	21.8	163	\$430	\$ 2,866	4385348

ER of 14.0 or higher qualifies for FPL Residential Rebate

SPLIT SYSTEMS

Prices/Date subject to change without notice. Effective July 1, 2012



# Certificate of Product Ratings

AHRI Certified Reference Number: 4150890

Date: 1/31/2013

Product: Split System: Air-Cooled Condensing Unit, Coil with Blower

Outdoor Unit Model Number: 4TTR3042D1

Indoor Unit Model Number: GAM5A0B36M31

Manufacturer: TRANE

Trade/Brand name: XR13

Manufacturer responsible for the rating of this system combination is TRANE

Rated as follows in accordance with AHRI Standard 210/240-2008 for Unitary Air-Conditioning and Air-Source Heat Pump Equipment and subject to verification of rating accuracy by AHRI-sponsored, independent, third party testing:

Cooling Capacity (Btuh): 42500

EER Rating (Cooling): 12.00

SEER Rating (Cooling): 14.50

\* Ratings followed by an asterisk (\*) indicate a voluntary rerate of previously published data, unless accompanied with a WAS, which indicates an involuntary rerate.

#### DISCLAIMER

AHRI does not endorse the product(s) listed on this Certificate and makes no representations, warranties or guarantees as to, and assumes no responsibility for, the product(s) listed on this Certificate. AHRI expressly disclaims all liability for damages of any kind arising out of the use or performance of the product(s), or the unauthorized alteration of data listed on this Certificate. Certified ratings are valid only for models and configurations listed in the directory at [www.ahridirectory.org](http://www.ahridirectory.org).

#### TERMS AND CONDITIONS

This Certificate and its contents are proprietary products of AHRI. This Certificate shall only be used for individual, personal and confidential reference purposes. The contents of this Certificate may not, in whole or in part, be reproduced; copied; disseminated; entered into a computer database; or otherwise utilized, in any form or manner or by any means, except for the user's individual, personal and confidential reference.

#### CERTIFICATE VERIFICATION

The information for the model cited on this certificate can be verified at [www.ahridirectory.org](http://www.ahridirectory.org), click on "Verify Certificate" link and enter the AHRI Certified Reference Number and the date on which the certificate was issued, which is listed above, and the Certificate No., which is listed below.



Air-Conditioning, Heating,  
and Refrigeration Institute

©2012 Air-Conditioning, Heating, and Refrigeration Institute

CERTIFICATE NO.: 130041379610432656



# DesignStar Load Calculation

Results are intended for use with Rheem heating and cooling systems only

The New Degree of Comfort™

## Customer Information

### Location:

Street Address 19 Rio Vista Dr., Stuart, FL 34996

Latitude, Longitude 26.6726°, -80.0706°

House Square Footage: 1728 sq. ft.

Name: Mike Ceccarelli

Phone:

Email:

## House Information

SHR	.75
Number of residents	2
Ceiling height	9
Wall U-value   R-value	0.09   11
Floor U-value   R-value	0.2   5
Ceiling U-value   R-value	0.053   19
Window U-value	0.5
Window SHGF	0.85
Moisture grains	64
Duct loss %	10
Duct gain %	10
Cooling infiltration (ACH)	0.6
Heating infiltration (ACH)	0.8
Winter ventilation	0
Summer ventilation	0

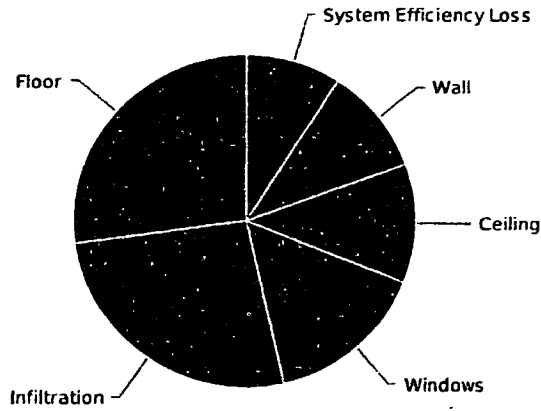
# Design Conditions

	<b>Outdoor</b>	<b>Heating</b>	<b>Cooling</b>
Dry bulb (°F)		47	90
Daily range			M
Relative humidity			50%
Moisture difference			64
	<b>Indoor</b>	<b>Heating</b>	<b>Cooling</b>
Indoor temperature (°F)		70	75
Design temperature difference(°F)		23	15

# Heating Loads

Area	Btuh	% of load
Wall	1922	10.4
Floor	5009	27.1
Ceiling	2106	11.4
Windows	2864	15.5
Infiltration	4879	26.4
System Efficiency Loss	1678	9.1
<b>Total:</b>	<b>18459</b>	

Heating Loads  
18,459 BTU/hr

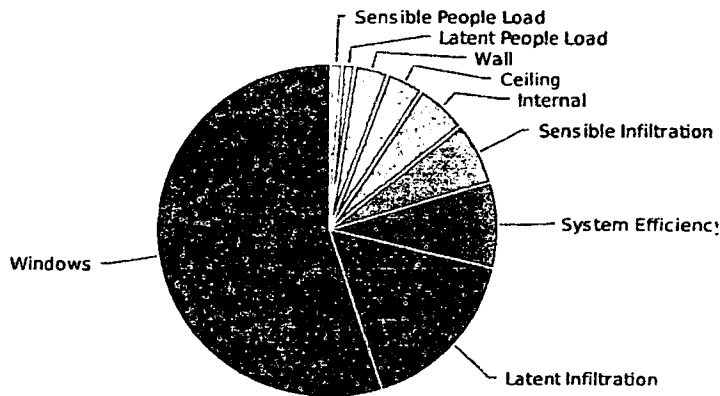




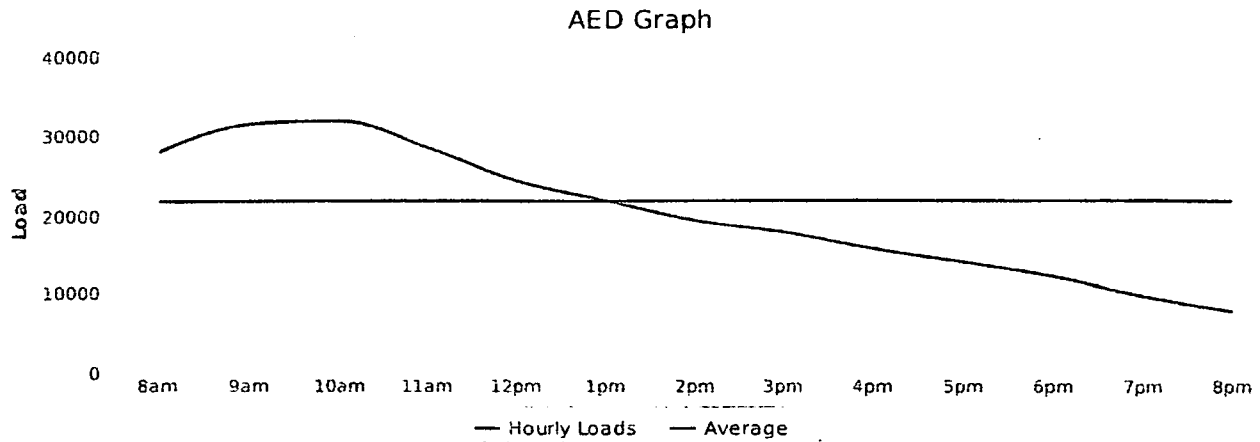
# Cooling Loads

Area	Btuh	% of load
Wall	1254	3.2
Ceiling	1374	3.5
Windows	21420	55.1
Sensible Infiltration	2386	6.1
Latent Infiltration	6294	16.2
System Efficiency Gain	3273	8.4
Internal	1939	5
Sensible People Load	460	1.2
Latent People Load	460	1.2
<b>Total:</b>	<b>38860</b>	
<b>Sensible load</b>	<b>32106</b>	
<b>Latent load</b>	<b>6754</b>	
<b>SHR</b>	<b>0.83</b>	
<b>Capacity at .75 SHR</b>	<b>3.57 Tons</b>	

Cooling Loads  
38,860 BTU/hr



## Adequate Exposure Diversity

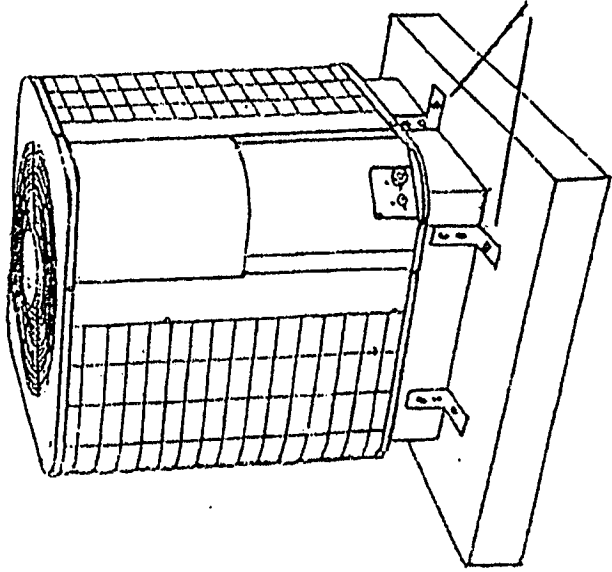


## Equipment selection

System equipment selection will be made using the following derived values

Summer Outdoor	90°F
Summer Wet Bulb	78°F
Summer Indoor	75°F
Summer Design Grains	50%
Winter Outdoor	47°F
Winter Indoor	70°F
Sensible Cooling	32,106 Btuh
Latent Cooling	6,754 Btuh
Required Cooling Airflow	1,459 CFM
Sensible Heating	18,459 Btuh
Required Heating Airflow	240 CFM

All calculations are based upon approved hvac industry standards and procedures, and comply with all local, state and federal code requirements. All computed results are Estimates. Product provided by Energy Design Systems and Idea Tree



ANCHOR CLIPS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel: 772-287-2455 Fax 772-220-4765

### FLORIDA ENERGY CONSERVATION CODE

#### Mandatory Duct Inspection Certification for HVAC change-out

For use when part of the duct and/or HVAC system has been replaced (Section 101.4.7.1.1 & FS 903.912)

Owner: Michael Ceccavelli Contractor name: Classic Cooling  
Street address: 1920 Vista Dr Jurisdiction: \_\_\_\_\_  
City: Stuart Permit No.: \_\_\_\_\_  
Zip: 34996 Final inspection date: \_\_\_\_\_

I certify that I have inspected the duct work associated with the HVAC unit referenced by the permit listed above and found it complies with the requirements of Section 101.4.7.1.1 as indicated below:

- Where needed, the existing ducts have been sealed using reinforced mastic or code-approved equivalent.
- Ducts are located within conditioned space. (Section 101.4.7.1.1 exception 1)
- The joints or seams are already sealed with fabric and mastic (Section 101.4.7.1.1 exception 2)
- System was tested (see below) and repairs were made as necessary – (Section 101.4.7.1.1 exception 3)

Signature: [Signature] Date: 2-1-13  
Printed Name: Stephen A. Strait  
Contractor License #: CACO29403

I certified I have tested the replaced air distribution system(s) referenced by the permit listed above at a pressure differential of 25 Pascals (0.10 in. w.c.).

Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Printed Name: \_\_\_\_\_



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-2204765

## A/C PERMIT APPLICATION 2010 FLORIDA BUILDING CODE

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

Please make sure you have ALL required copies before submitting permit application

1 Copy Completed permit application

2 Copies of the following:

- a. Manufacturer's data sheet to include make, model, seer/eer, tonnage, electrical requirements, refrigerant piping size, and AHRI listing page.
- b. Replacing ductwork requires Manual D layout plan with grille sizes
- c. Manual J calculations.
- d. Condenser tie down and Air Handler mounting details
- e. A/C change out affidavit
- f. Mandatory Duct inspection Certification

**\*\*\*\*NOTE: LOCKING ACCESS PORT CAPS ARE REQUIRED FOR REFRIGERANT LINES LOCATED OUT DOORS PER FBC/R - M1411.6**

### COMMERCIAL APPLICATIONS ADDITIONALLY REQUIRE

\_\_\_\_\_ 2 Copies A/C Stand NOA or Engineers letter to retrofit to existing mounts.

\_\_\_\_\_ Smoke Detectors in supply duct for units over 2000 CFM

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

Mon

Tue

Wed

Thur

Fri

2-20-13

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10313	Cecarelle	Final		
1ST	19 Wood Vista Classic Cooling	AC	PASS	INSPECTOR [Signature]
10323	Lynon	Final AC		
<del>10330</del>	108 N Sewalls Nis Air		PASS	CLOSE INSPECTOR [Signature]
10330	Anais	Final gate		
	735 Sewalls Custom Security		PASS	CLOSE INSPECTOR [Signature]
10353	SAPP			
	6 MIRIMAN CAPP'S ROOFING	FINAL ROOF	PASS	CLOSE INSPECTOR [Signature]
*	26 ISLAND RD ARTIL AC	NO PERMIT 2ND OFFENSE	\$1000 FINE	INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

**10742**

**KITCHEN REMODEL**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	10742	DATE ISSUED:	01/29/2014
SCOPE OF WORK:	KITCHEN REMODLE		
CONTRACTOR:	OWNER/BUILDER		
PARCEL CONTROL NUMBER:	123841002000004904	SUBDIVISION	RIO VISTA LOT 49
CONSTRUCTION ADDRESS:	19 RIO VISTA DRIVE		
OWNER NAME:	MICHAEL CECCARELLI		
QUALIFIER:	OWNER/BUILDER	CONTACT PHONE NUMBER:	772 210-2213

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS: 9:00AM TO 3:00PM – MONDAY THROUGH FRIDAY**

### INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**



Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: 10742

Date: 1-22-14

OWNER/LESSEE NAME: MICHAEL CECARELLI Phone (Day) 772-210-2213 (Fax)

Job Site Address: 19 RIO VISTA DRIVE City: STUART State: FL Zip: 34996

Legal Description: Single Family Parcel Control Number: 123841002-000-004904

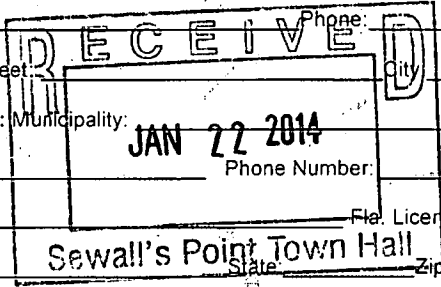
Fee Simple Holder Name: Address: City: State: Zip: Telephone:

\*SCOPE OF WORK (PLEASE BE SPECIFIC): Kitchen Renovation

WILL OWNER BE THE CONTRACTOR? (If yes, Owner Builder questionnaire must accompany application) YES [checked] NO
Has a Zoning Variance ever been granted on this property? YES (YEAR) NO [checked] (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications) Estimated Value of Improvements: \$ 25,000 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out) Is subject property located in flood hazard area? VE10 AE9 AE8 XNO FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY: Estimated Fair Market Value prior to improvement: \$ (Fair Market Value of the Primary Structure only, Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: NA Qualifiers name: Street: City: State: Zip: Phone: Fax: State License Number: OR: Municipality: License Number: LOCAL CONTACT: DESIGN PROFESSIONAL: NA FL: License# Street: City: State: Zip: Phone Number: Sewall's Point Town Hall



AREAS SQUARE FOOTAGE: Living: 1725 Garage: 20 x 24 Covered Patios/ Porches: 20 x 12 Enclosed Storage: Carport: Total under Roof: 1725 Elevated Deck: Enclosed area below BFE\*: \* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

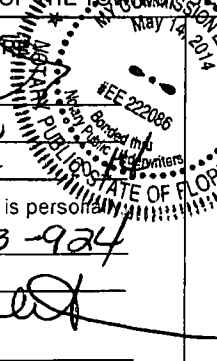
CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS: 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. 2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES. 3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95. 4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\*

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

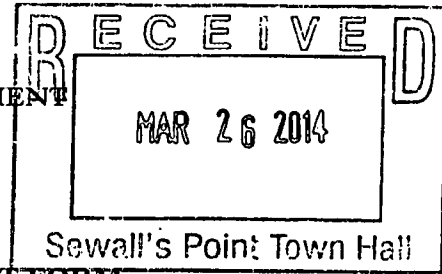
OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE: [Signature] State of Florida, County of: Martin On This the 22 day of Jan by Michael Cccarelli who is personally known to me or produced NY DL# 561-673-924 As identification [Signature] Notary Public My Commission Expires:
CONTRACTOR/LICENSSEE NOTARIZED SIGNATURE: [Signature] State of Florida, County of: This the day of 20 by who is personally known to me or produced As identification. Notary Public My Commission Expires:



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765



**REVISIONS - CORRECTIONS REQUEST FORM  
 MUST BE SUBMITTED FOR ALL CORRECTIONS AND REVISIONS**

DATE: 2-24-14 PERMIT NUMBER: 10742

JOB ADDRESS: 19 Rio Vista Drive Jewalls Pt. Florida 34996

**PLEASE CHECK ONE OF THE FOLLOWING:**

- CONDITION OF INSPECTION APPROVAL (Needed for an inspection)
- CONDITION OF PERMIT APPROVAL: (Corrections/Permit not issued, in review process)
- REVISIONS (Changes to an issued permit)

\*\*\*\*ALL PLAN REVISIONS MUST BE HIGHLIGHTED OR CLOUDED ON DRAWING\*\*\*\*

ALL REVISED PAGES ARE REQUIRED TO BE INSERTED IN FIELD PERMIT SET

DESCRIPTION OF REVISION(S): REPLACE existing front door with 2868  
CWS IMPACT DOOR AND GARAGE<sup>LANAI</sup> DOOR WITH IMPACT DOOR

DOES REVISION(S) CHANGE THE VALUE OF CONSTRUCTION? YES NO  VALUE \$                      
 \*\*\*INCREASED CONSTRUCTION VALUE WILL INCREASE PERMIT FEES AND MUST BE PAID AT TIME OF APPROVAL\*\*\*

CONTACT NAME: Michael Ceccarelli SIGNATURE: [Signature]

PHONE NUMBER: 772-210-2213 FAX NUMBER:                     

**FOR OFFICE USE ONLY:**

Reviewed by: [Signature] Date: 4-4-14 Approve  Deny

Additional conditioned space                      sq. ft. @ \$104.65 per sq. ft.                      x 2% =                     

Additional non-conditioned space                      sq. ft. @ \$ 48.90 per sq. ft.                      x 2% =                     

Other declared value increase (must be based on value not cost)                      x 2% =                     

Other additional fees: 2 INSP @ 100 Revision review fee:                      Pages @ \$25.00/Page                     

Radon Fee                      Professional Regulation Fee                      Road impact assessment                     

TOTAL ADDITIONAL BUILDING PERMIT FEE \$ 200<sup>00</sup>

Applicant notified by:                      Date:

**Martin County, Florida  
Laurel Kelly, C.F.A**

*generated on 1/22/2014 2:40:03 PM EST*

**Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-002-000-00490-4	27562	19 RIO VISTA DR, SEWALL'S POINT	\$262,030	1/18/2014

**Owner Information**

<b>Owner(Current)</b>	CECCARELLI MICHAEL & EILEEN
<b>Owner/Mail Address</b>	PO BOX 1971 SHELTER ISLAND NY 11964
<b>Sale Date</b>	12/31/2012
<b>Document Book/Page</b>	2622 1229
<b>Document No.</b>	2369966
<b>Sale Price</b>	285000

**Location/Description**

<b>Account #</b>	27562	<b>Map Page No.</b>	SP-04
<b>Tax District</b>	2200	<b>Legal Description</b>	RIO VISTA S/D LOT 49
<b>Parcel Address</b>	19 RIO VISTA DR, SEWALL'S POINT		
<b>Acres</b>	.3290		

**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120250 Rio Vista DRY

**Assessment Information**

<b>Market Land Value</b>	\$160,000
<b>Market Improvement Value</b>	\$102,030
<b>Market Total Value</b>	\$262,030

NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00 (\$7,500 Mechanical)

*Car FWP*

01:30:42 PM  
REC'D 01/23/2014  
INSTR # 2436742 OR BK 2698 PG 2794  
(1 Pgs)  
CAROLYN TIMMANN MARTIN COUNTY CLERK  
DEED DOC \$0.00, MTG DOC \$0.00, INTANGIBLE \$0.00

PERMIT #: \_\_\_\_\_ TAX FOLIO #: \_\_\_\_\_  
STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE): Rio Vista 5/2 Lot 49  
Single Family 19 Rio Vista Drive Jewell's Pt Stuart FL 34996

GENERAL DESCRIPTION OF IMPROVEMENT: New Kitchen

OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT  
NAME: Michael Ceccarelli  
ADDRESS: 19 Rio Vista Dr STATE OF FLORIDA  
PHONE NUMBER: 772-210-2213 FAX NUMBER: \_\_\_\_\_ MARTIN COUNTY  
INTEREST IN PROPERTY: OWNER

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):  
N/A THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGE(S) IS A TRUE AND CORRECT COPY OF THE ORIGINAL DOCUMENT AS FILED IN THIS OFFICE.

CONTRACTOR: Owner Build CAROLYN TIMMANN, CLERK  
ADDRESS: \_\_\_\_\_ BY: [Signature] D.C.  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_ DATE: 1/23/14

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED) N/A  
ADDRESS: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_  
BOND AMOUNT: \_\_\_\_\_

LENDER/MORTGAGE COMPANY: N/A  
ADDRESS: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (b) , FLORIDA STATUTES:  
NAME: N/A  
ADDRESS: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES N/A OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(8), FLORIDA STATUTES:  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_ EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_

**EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED**

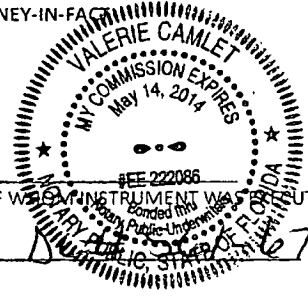
**WARNING TO OWNER:** ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

*[Signature]*  
SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY-IN-FACT  
SIGNATORY'S TITLE/OFFICE Owner

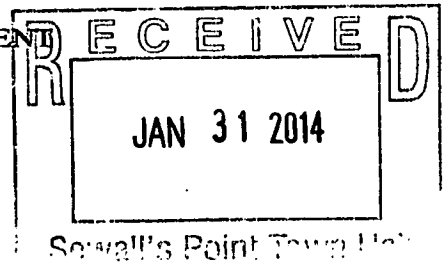
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 22 DAY OF Jan 2014  
BY: Michael Ceccarelli AS Owner FOR \_\_\_\_\_  
NAME OF PERSON TYPE OF AUTHORITY PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION  TYPE OF IDENTIFICATION PRODUCED MYS  
*[Signature]*  
NOTARY SIGNATURE/ SEAL





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765



**VERIFICATION OF CONTRACTOR**

BUILDING PERMIT NUMBER: 10742

\*\*\*IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Michael & Eileen Ceccarelli

CONSTRUCTION ADDRESS: 19 Rio Vista Drive, Sewall's Point

PERMIT TYPE:  RESIDENTIAL  COMMERCIAL

- ELECTRIC
- PLUMBING
- HVAC
- IRRIGATION
- FUEL GAS

TYPE OF SERVICE:  NEW SERVICE  EXISTING SERVICE  OTHER

SCOPE OF WORK: Move hot + cold supplies + drain to new locations

VALUE OF CONSTRUCTION \$ 2,800.00 + install fixtures

<input type="checkbox"/> LOW VOLTAGE
TYPE OF EQUIPMENT: <input type="checkbox"/> SECURITY <input type="checkbox"/> VACUUM <input type="checkbox"/> SOUND SYSTEM <input type="checkbox"/> LANDSCAPE <input type="checkbox"/> OTHER
SCOPE OF WORK: _____ VALUE: _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

[Signature] 1086 NE Industrial Blvd, Jensen Beach  
 SIGNATURE OF LICENSED CONTRACTOR ADDRESS OF CONTRACTOR  
 LONNIE CULBERTSON

COMPANY OR QUALIFIER'S NAME: Jensen Beach Plumbing, Inc.

TELEPHONE NO: 225-6600 PLEASE PRINT FAX NO: 225-6779

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: RF11067372/MCMP5260

\*\* WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

\*\*\*VERIFICATION OF PARCEL CONTROL NUMBER\*\*\*

OWNER'S FULL NAME AS STATED ON DEED: Michael & Eileen Ceccarelli

PARCEL CONTROL #: 12-38-41-002-000-00490-4

SUBDIVISION: RIO VISTA LOT: 49 BLK: \_\_\_\_\_ PHASE: \_\_\_\_\_

SITE ADDRESS: 19 RIO VISTA DR, SEWALL'S POINT

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: 10742

\*\*\*IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Michael Ceccarelli

CONSTRUCTION ADDRESS: 19 Rio Vista Dr

PERMIT TYPE: X RESIDENTIAL COMMERCIAL

- ELECTRIC
PLUMBING
X HVAC
IRRIGATION
FUEL GAS

TYPE OF SERVICE: NEW SERVICE EXISTING SERVICE X OTHER

SCOPE OF WORK: Relocate Return air grill & duct.

VALUE OF CONSTRUCTION \$ 700.00

LOW VOLTAGE
TYPE OF EQUIPMENT: SECURITY VACUUM SOUND SYSTEM LANDSCAPE OTHER
SCOPE OF WORK: VALUE

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

SIGNATURE OF LICENSED CONTRACTOR [Signature] ADDRESS OF CONTRACTOR 1259 SW 34th St. Palm City, FL

COMPANY OR QUALIFIER'S NAME: Classic Cooling

TELEPHONE NO: 772-283-8710 FAX NO: 772-283-8731

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: C1C022423

\*\* WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

\*\*\*VERIFICATION OF PARCEL CONTROL NUMBER\*\*\*

OWNER'S FULL NAME AS STATED ON DEED:

PARCEL CONTROL #:

SUBDIVISION: LOT: BLK: PHASE:

SITE ADDRESS:

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

### BUILDING PERMIT RECEIPT

PERMIT NUMBER:	10742
ADDRESS	19 RIO VISTA DRIVE
DATE 01/29/2014	SCOPE OF WORK KITCHEN REMODLE

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	25,000.00
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K) (No plan submittal fee when value is less than \$100,000)		\$	
Total square feet air-conditioned space: (@ \$121.75 per sq. ft.)		s.f.	
Total square feet non-conditioned space, or interior remodel: (@ \$59.81 per sq. ft.)		s.f.	
Total square feet remodel with new trusses: @ \$90.78 per sq. ft.		\$	
Total Construction Value:		\$	
Building fee: (2% of construction value SFR or >\$200K)		\$	
Building fee: (1% of construction value < \$200K + \$100 per insp.)			250.00
Total number of inspections (Value < \$200K)@\$100ea	8	\$	800.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min		\$	15.75
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	15.75
Road impact assessment: (.04% of construction value - \$5 min.)			10.00
Martin County Impact Fee:		\$	
<b>TOTAL BUILDING PERMIT FEE:</b>		\$	1091.50

ACCESSORY PERMIT	Declared Value:	\$	
Total number of inspections @ \$100.00 each			
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min		\$	
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	
Road impact assessment: (.04% of construction value - \$5 min.)		\$	
<b>TOTAL ACCESSORY PERMIT FEE:</b>		\$	

*pd 1/30/2014  
 CLK 759*



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**SUBCONTRACTORS LIST**  
 RESIDENTIAL, ADDITIONS, COMMERCIAL

APPLICANT'S NAME Michael Ceccarelli BLDG. PERMIT # \_\_\_\_\_

MAILING ADDRESS 19 Rio Vista Drive Sewall's Pt. Stuart FL 34996

PLEASE PROVIDE A PRELIMINARY SUBCONTRACTORS LIST FOR VERIFICATION. THIS LIST WILL BE RETURNED TO YOU WHEN THE BUILDING PERMIT IS ISSUED TO ENABLE YOU TO COMPLETE AND RETURN TO THE BUILDING DEPARTMENT. **WE REQUIRE, PRIOR TO STARTING WORK, UPDATES, CHANGES AND ADDITIONS THROUGHOUT CONSTRUCTION.** USING UNLICENSED CONTRACTORS OR SUBCONTRACTORS MAY PREVENT YOU FROM BEING ELIGIBLE FOR INSPECTIONS AND OR A CERTIFICATE OF OCCUPANCY. FOR INFORMATION CONTACT THE CONTRACTOR'S LICENSING OFFICE AT (772) 288-5482 OR (772) 288-5917. PLEASE INCLUDE ALL MUNICIPAL COMPETENCY CARD NUMBERS OR STATE CERTIFICATION NUMBERS. *(NOT OCCUPATIONAL LICENSE NUMBERS)*

	TYPE	COMPANY NAME	LICENSE NUMBER
CFO	CONCRETE - FORM		
CFI	- FINISH		
BM	BLOCK MASON		
CB	COLUMNS & BEAMS		
CA	CARPENTRY ROUGH		
GD	GARAGE DOOR		
DH	DRYWALL - HANG		
DF	- FINISH		
IN	INSULATION		
LA	LATHING		
FI	FIREPLACE		
PAV	PAVERS		
AL	ALUMINUM		
LP	LP GAS		
PAV	PAINTING		
PL	PLASTER & STUCCO		
ST	STAIRS & RAILS		
RO	ROOFING		
TM	TILE & MARBLE		
WD	WINDOWS & DOORS		
✓ PLU	* PLUMBING	Jensen Beach Plumbing	
AC	* HARV	Classic Cooling	
✓ EL	* ELECTRICAL	SELF	





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AL	* LOW VOLTAGE BURGLAR ALARM		
VS	VACUUM SOUND		
IR	* IRRIGATION		
SH	SHUTTERS		

\* REQUIRES SEPARATE VERIFICATION FORMS.

I CERTIFY THAT THE INFORMATION STATED ON THE SUBCONTRACTORS' LIST IS ACCURATE AND THAT ALL WORK WILL BE PERFORMED BY MUNICIPAL OR STATE LICENSED CONTRACTORS. I UNDERSTAND THAT A COMPLETE NOTARIZED SUBCONTRACTORS LIST IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

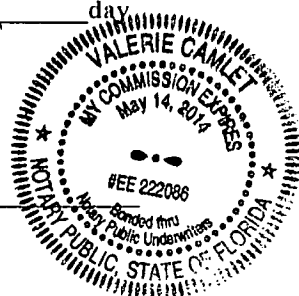
*X Michael Ceccarelli*  
 SIGNATURE OF CONTRACTOR  
 (OR OWNER BUILDER IF APPLICABLE)

STATE OF Florida  
 COUNTY OF Martin

SWORN TO AND SUBSCRIBED before me this 22 day  
 of Jan, 2014

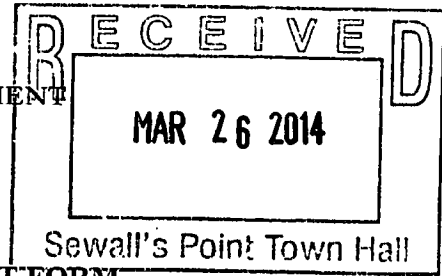
*Valerie Canlet*  
 NOTARY PUBLIC

MY COMMISSION EXPIRES: \_\_\_\_\_





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765



**REVISIONS – CORRECTIONS REQUEST FORM**  
**MUST BE SUBMITTED FOR ALL CORRECTIONS AND REVISIONS**

DATE: 2-24-14 PERMIT NUMBER: 10742

JOB ADDRESS: 19 Rio Vista Drive Sewalls Pt. Florida 34996

**PLEASE CHECK ONE OF THE FOLLOWING:**

- CONDITION OF INSPECTION APPROVAL (Needed for an inspection)
- CONDITION OF PERMIT APPROVAL: (Corrections/Permit not issued, in review process)
- REVISIONS (Changes to an issued permit)

\*\*\*\*ALL PLAN REVISIONS MUST BE HIGHLIGHTED OR CLOUDED ON DRAWING\*\*\*\*

ALL REVISED PAGES ARE REQUIRED TO BE INSERTED IN FIELD PERMIT SET

DESCRIPTION OF REVISION(S): REPLACE existing FRONT door with 2868  
CWS IMPACT DOOR AND GARAGE<sup>LANAI</sup> DOOR with IMPACT DOOR

DOES REVISION(S) CHANGE THE VALUE OF CONSTRUCTION? YES \_\_\_\_\_ NO  VALUE \$ \_\_\_\_\_  
 \*\*\*INCREASED CONSTRUCTION VALUE WILL INCREASE PERMIT FEES AND MUST BE PAID AT TIME OF APPROVAL\*\*\*

CONTACT NAME: Michael Ceccarelli SIGNATURE: [Signature]

PHONE NUMBER: 772-210-2213 FAX NUMBER: \_\_\_\_\_

FOR OFFICE USE ONLY:

Reviewed by: [Signature] Date: 4-4-14 Approve  Deny \_\_\_\_\_

Additional conditioned space \_\_\_\_\_ sq. ft. @ \$104.65 per sq. ft. \_\_\_\_\_ x 2% = \_\_\_\_\_

Additional non-conditioned space \_\_\_\_\_ sq. ft. @ \$ 48.90 per sq. ft. \_\_\_\_\_ x 2% = \_\_\_\_\_

Other declared value increase (must be based on value not cost) \_\_\_\_\_ x 2% = \_\_\_\_\_

Other additional fees: 21NSQ @ 100 Revision review fee: \_\_\_\_\_ Pages @ \$25.00/Page \_\_\_\_\_

Radon Fee \_\_\_\_\_ Professional Regulation Fee \_\_\_\_\_ Road impact assessment \_\_\_\_\_

TOTAL ADDITIONAL BUILDING PERMIT FEE \$ 200<sup>00</sup>

Applicant notified by: \_\_\_\_\_ Date: \_\_\_\_\_



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

10742

**OWNER/BUILDER QUESTIONNAIRE AND DISCLOSURE STATEMENT  
 MUST BE COMPLETED AND REVIEWED PRIOR TO PERMIT ISSUANCE**

**APPLICABLE ONLY TO OWNER-OCCUPIED SINGLE FAMILY RESIDENCES  
 AND COMMERCIAL IMPROVEMENTS LESS THAN \$75,000 IN VALUE**

NOTICE: FLORIDA STATUTE 489 REQUIRING CONSTRUCTION TO BE DONE ONLY BY LICENSED CONTRACTORS PROVIDES AN EXEMPTION FROM LICENSING FOR A PROPERTY OWNER WHO ACTS AS HIS/HER OWN CONTRACTOR UNDER SPECIFIC CONDITIONS. ANSWERS TO THE FOLLOWING QUESTIONS ARE ESSENTIAL TO DETERMINE IF THOSE STATE QUALIFICATIONS ARE SATISFIED BY AN OWNER/BUILDER APPLICANT.

ALL QUESTIONS MUST BE ANSWERED. IF A QUESTION DOES NOT APPLY, INDICATE BY WRITING "N/A"

Owner/Builder Applicant Name: Michael Ceccarelli  
 Site address of the proposed building work: 19 Rio Vista Dr. Sewall's Point FL 34996  
 Name of legal title owner of the address above: Michael + Eileen Ceccarelli  
 Describe the scope of work for the proposed new construction: Move existing kitchen AND remove non-bearing wall. Relocate existing plumbing and electric.  
 Name of Architect of Record: MARK CORSON Structural Engineer of Record: MARK CORSON  
 Who will supervise the trade work to meet the applicable code? Michael Ceccarelli  
 What provisions have you made for Liability and Property Damage Insurance? N/A

What provisions exist for withholding Social Security and Federal Income Taxes, as required by Federal Law, from wages paid to people you hire who are not licensed? N/A

What previous Owner/Builder improvements have you done in the State of Florida?

Location: N/A Scope of Work Done: \_\_\_\_\_ Year: \_\_\_\_\_  
 Location: N/A Scope of Work Done: \_\_\_\_\_ Year: \_\_\_\_\_

What code books do you have available for reference? Building: N/A  
 Electric: 2008 Electrical Code Plumbing: N/A HVAC: N/A  
 Other: \_\_\_\_\_

I have internet access and will view The Florida Building code at [www.floridabuilding.org](http://www.floridabuilding.org) YES  NO

Do you understand that as the permit holder you are liable for following all Local, County, State and Federal codes, laws and requirements, and you are also liable for anyone injured on the construction site? yes (yes/no)

Have you consulted with your Homeowner's Insurance Agent? yes Lender? N/A Attorney? N/A

In order to assure your success in this project, please signify your awareness that the function of the building department is to issue you a building permit and verify code compliance through plan review and the inspection process. I am aware that town staff is not obligated to offer supervision, design or instructional advice prior or during my project. W (initials).



**TOWN OF SEWALL'S POINT BUILDING DEPARTMENT**

One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

**OWNER/BUILDER DISCLOSURE STATEMENT**

**NOTICE: STATE LAW REQUIRES THAT ALL PERMITTING AGENCIES PROVIDE INDIVIDUALS SUBMITTING APPLICATIONS FOR OWNER/BUILDER PERMITS THE FOLLOWING INFORMATION:**

1. THE TOWN OF SEWALL'S POINT CODE OF LAWS AND ORDINANCES REQUIRES THAT ANY PERSON DESIRING TO ENGAGE IN BUSINESS AS A CONTRACTOR IN THE TOWN OF SEWALL'S POINT BE A HOLDER OF A CERTIFICATE OF COMPETENCY.
2. FLORIDA STATUTES 489.103 (7) ALLOWS YOU, AS A PROPERTY OWNER, AN EXEMPTION TO CONSTRUCT OR IMPROVE A SINGLE FAMILY DWELLING AND ACCESSORY-USE STRUCTURES ON SAID PROPERTY FOR YOUR OWN USE OR OCCUPANCY WITHOUT HAVING A CERTIFICATE OF COMPETENCY.
3. AS AN OWNER/BUILDER, YOU MUST PHYSICALLY PERFORM OR MATERIALLY SUPERVISE ALL CONSTRUCTION/IMPROVEMENTS SPECIFIED ON YOUR OWNER/BUILDER PERMIT AND YOU ARE TOTALLY RESPONSIBLE FOR ALL ACTIVITIES ASSOCIATED THEREWITH. OWNER/BUILDERS WHO WISH TO DO ELECTRICAL OR PLUMBING WORK MUST PASS A SHORT OPEN BOOK QUIZ ADMINISTERED BY THE BUILDING DEPARTMENT.
4. IF YOU DO NOT PHYSICALLY PERFORM A SPECIFIC PHASE OF SAID CONSTRUCTION/IMPROVEMENT, BUT CHOOSE TO SUB-CONTRACT IT, THEN SUCH CONSTRUCTION/IMPROVEMENT MUST BE SUB-CONTRACTED TO A LOCALLY LICENSED OR STATE CERTIFIED CONTRACTOR.
5. YOU MAY NOT HIRE AN UNLICENSED INDIVIDUAL WHO IN ANY MANNER ACTS IN THE CAPACITY OF A GENERAL CONTRACTOR, THAT IS, ONE WHO FULFILLS YOUR DUTIES UNDER PARAGRAPH (3) ABOVE.
6. UNDER AN OWNER/BUILDER PERMIT YOU MAY NOT CONSTRUCT A BUILDING WHICH YOU INTEND TO SELL OR LEASE. THE SALE OR LEASE, OR OFFERING FOR SALE OR LEASE, OF ANY SUCH STRUCTURE BY THE OWNER-BUILDER WITHIN 1 YEAR AFTER COMPLETION OF SAME CREATES A PRESUMPTION THAT THE CONSTRUCTION WAS UNDERTAKEN FOR PURPOSES OF SALE OR LEASE WHICH IS A VIOLATION OF THIS EXEMPTION.
7. THIS EXEMPTION SHALL NOT APPLY TO ANY PERSON WHO HAS LEASED, SOLD, OR OFFERED FOR SALE MORE THAN 1 STRUCTURE BUILT UNDER AN OWNER-BUILDER PERMIT IN ANY JURISDICTION WITHIN THE 5 YEARS IMMEDIATELY PRECEDING THE APPLICATION FOR A PERMIT.
8. THERE MUST BE A THIRTY-SIX (36) MONTH PERIOD BETWEEN THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE INITIAL DWELLING AND THE SUBMITTAL OF AN OWNER/BUILDER APPLICATION FOR A SUBSEQUENT DWELLING. NO OTHER BUILDING PERMIT FOR A HOME SHALL BE ISSUED TO THAT OWNER/BUILDER, THE OWNER/BUILDER'S SPOUSE OR ANY MEMBER OF THE OWNER/BUILDER'S IMMEDIATE FAMILY UNDER EIGHTEEN YEARS OF AGE UNTIL THREE YEARS AFTER THE HOME BUILT UNDER THE FIRST BUILDING PERMIT HAS RECEIVED A CERTIFICATE OF OCCUPANCY.
9. ALL CONSTRUCTION IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDER PERMIT MUST BE IN STRICT COMPLIANCE WITH FLORIDA STATE STATUTE SECTION 489, SEWALL'S POINTS CODE OF LAWS AND ORDINANCES, ALL BUILDING & ZONING CODES AND REGULATIONS PERTAINING TO SINGLE FAMILY DWELLINGS, ACCESSORY USE STRUCTURES AS APPLICABLE.
10. YOUR OWNER/BUILDER EXEMPTION DOES NOT WAIVE ANY PERMIT CONDITIONS OR REQUIREMENTS OR WAIVE ANY PORTION OR PORTIONS OF ANY APPLICABLE BUILDING OR SWIMMING POOL CODES OR TOWN ORDINANCES.
11. ALL CONSTRUCTION/IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDING PERMIT MUST ALSO BE IN STRICT COMPLIANCE WITH ALL APPLICABLE ZONING REGULATIONS (QUESTIONS REGARDING ZONING REGULATIONS SHOULD BE DIRECTED TO THE TOWN OF SEWALL'S POINT AT 772-287-2455.)



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

12. YOU MUST BE FAMILIAR WITH AND CALL FOR THE REQUIRED INSPECTIONS OF ALL CONSTRUCTION/IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDER PERMIT.

13. AS AN OWNER/BUILDER YOU MUST VERIFY THAT ALL INDIVIDUALS OR FIRMS ENGAGED IN CONSTRUCTION/IMPROVEMENTS ACTIVITIES UNDER YOUR OWNER/BUILDER PERMIT ARE PROPERLY LICENSED AS REQUIRED BY STATE LAW OR LOCAL ORDINANCE.

14. ANY PERSON WORKING ON YOUR BUILDING WHO IS NOT LICENSED MUST WORK UNDER YOUR DIRECT SUPERVISION AND MUST BE EMPLOYED BY YOU, WHICH MEANS THAT YOU MUST DEDUCT F.I.C.A. AND WITHHOLDING TAX AND PROVIDE WORKERS' COMPENSATION FOR THAT EMPLOYEE, ALL AS PRESCRIBED BY LAW.

15. I, AS AN OWNER/BUILDER, IN CONSIDERATION OF A BUILDING PERMIT ISSUED BY SEWALL'S POINT, FLORIDA, AGREE TO INDEMNIFY AND HOLD HARMLESS SAID SEWALL'S POINT, FLORIDA, ITS OFFICERS AND AGENTS FROM ANY AND ALL CLAIMS, DAMAGES, OR EXPENSES THAT SEWALL'S POINT MAY BE LIABLE FOR WHICH ARISE FROM THE CONSTRUCTION/IMPROVEMENTS ACCOMPLISHED IN CONNECTION WITH SAID BUILDING PERMIT.

I HEREBY ACKNOWLEDGE THAT I HAVE THOROUGHLY READ AND COMPLETELY UNDERSTAND THE PRECEDING PAGE OF THE OWNER/BUILDER DISCLOSURE STATEMENT.

ON THIS 22 DAY OF January, 2014.

PROPERTY ADDRESS 19 Rio Vista DR Sewall's Point

CITY Stuart STATE FL. ZIP 34996

SIGNATURE OF OWNER/BUILDER Michael Ceccarelli

SWORN TO AND SUBSCRIBED BEFORE ME THIS 22 DAY OF Jan 2014

BY Michael Ceccarelli

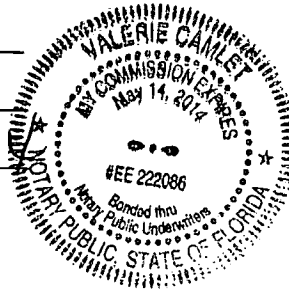
PERSONALLY KNOWN \_\_\_\_\_

OR PRODUCED ID

TYPE OF ID NYS DL# 561-673-92

Valerie Canlet

NOTARY SIGNATURE





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

**CONTRACTOR OR OWNER /BUILDER ASBESTOS NOTIFICATION STATEMENT**

Date: 1-22-14 Building Permit # \_\_\_\_\_

Site Address: 19 Rio Vista Drive Sewall's Pt. Stuart FL 34996

**FBC 104.1.10 Asbestos.** The enforcing agency shall require each building permit for the demolition or renovation of an existing structure to contain an asbestos notification statement which indicates the owner's or operator's responsibility to comply with the provisions of s. 469.003 Florida Statutes and to notify the Department of Environmental Protection of her or his intentions to remove asbestos, when applicable, in accordance with state and federal law. 469.003 License required.--

(1) No person may conduct an asbestos survey, develop an operation and maintenance plan, or monitor and evaluate asbestos abatement unless trained and licensed as an asbestos consultant as required by this chapter.

(2)(a) No person may prepare asbestos abatement specifications unless trained and licensed as an asbestos consultant as required by this chapter.

(b) Any person engaged in the business of asbestos surveys prior to October 1, 1987, who has been certified by the Department of Labor and Employment Security as a certified asbestos surveyor, and who has complied with the training requirements of s. 469.013(1)(b), may provide survey services as described in s. 255.553(1), (2), and (3). The Department of Labor and Employment Security may, by rule, establish violations, disciplinary procedures, and penalties for certified asbestos surveyors.

(3) No person may conduct asbestos abatement work unless licensed by the department under this chapter as an asbestos contractor, except as otherwise provided in this chapter.

**FBC 105.3.6 Asbestos removal. (Owner /Builder Exemption)**

Moving, removal or disposal of asbestos-containing materials on a residential building where the owner occupies the building, the building is not for sale or lease, and the work is performed according to the owner-builder limitations provided in this paragraph. To qualify for exemption under this paragraph, an owner must personally appear and sign the building permit application. The permitting agency shall provide the person with a disclosure statement in substantially the following form: **Disclosure Statement:** State law requires asbestos abatement to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own asbestos abatement contractor even though you do not have a license. You must supervise the construction yourself. You may move, remove or dispose of asbestos-containing materials on a residential building where you occupy the building and the building is not for sale or lease, or the building is a farm outbuilding on your property. If you sell or lease such building within 1 year after the asbestos abatement is complete, the law will presume that you intended to sell or lease the property at the time the work was done, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. Your work must be done according to all local, state and federal laws and regulations which apply to asbestos abatement projects. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances.

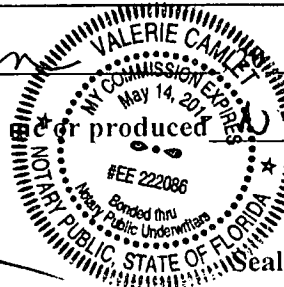
\_\_\_\_ Contractor or  Owner/Builder Signature Michael Ceccarelli

Subscribed and sworn to before me this 22 day of Jan, 2014, personally appeared

Michael Ceccarelli who is personally known to me or produced AS DLT# as

identification, and who did/did not take an oath

Notary Public Signature Valerie Camlet



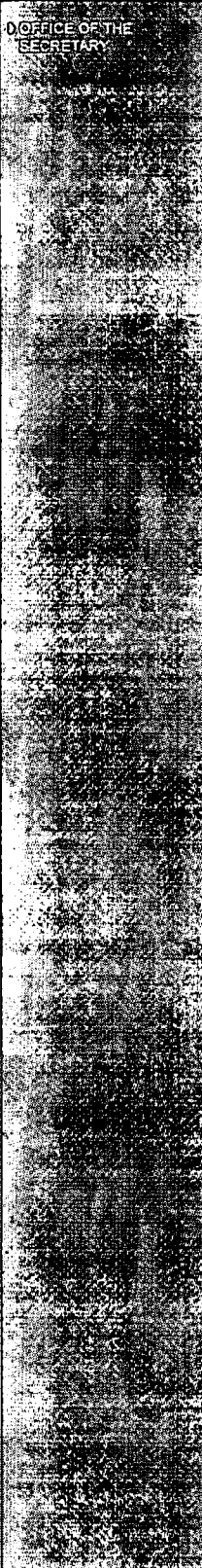
561-673-924



**Product Approval**  
USER: Public User

License efficiently. Regulate fairly.

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > [Application Detail](#)



FL #	FL14850-R1	<b>TOWN OF SEWALL'S POINT BUILDING DEPARTMENT FILE COPY</b>
Application Type	Revision	
Code Version	2010	
Application Status	Approved	
Comments		
Archived	<input type="checkbox"/>	
Product Manufacturer	Custom Window Systems Inc.	
Address/Phone/Email	1900 SW 44th Avenue Ocala, FL 34474 (352) 368-6922 Ext 207 mlafevre@cws.cc	
Authorized Signature	Michael LaFevre mlafevre@cws.cc	
Technical Representative	Brian Tenace	
Address/Phone/Email	1900 SW 44th Ave. Ocala, FL 34474 (352) 368-6922 Ext 291 btenace@cws.cc	
Quality Assurance Representative	Jeff Thompson	
Address/Phone/Email	1900 SW 44th Ave. Ocala, FL 34474 (352) 368-6922 Ext 221 jthompson@cws.cc	
Category	Exterior Doors	
Subcategory	Swinging Exterior Door Assemblies	
Compliance Method	Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer <input checked="" type="checkbox"/> Evaluation Report - Hardcopy Received	
Florida Engineer or Architect Name who developed the Evaluation Report	Lucas Turner	
Florida License	PE-58201	
Quality Assurance Entity	Keystone Certifications, Inc.	
Quality Assurance Contract Expiration Date	07/21/2020	
Validated By	Steven M. Urich, PE <input checked="" type="checkbox"/> Validation Checklist - Hardcopy Received	
Certificate of Independence	<a href="#">FL14850_R1_COI_EvalRep_CWS-641A (SD-8750_IMPACT).pdf</a>	

Referenced Standard and Year (of Standard)	Standard	Year
	AAMA/WDMA/CSA/101/I.S.2/A-440	2005
	ASTM E 1300	2004
	ASTM E 1886	2005
	ASTM E 1996	2002
	PA TAS/201/202/203	1994

Equivalence of Product Standards  
Certified By

Sections from the Code

Product Approval Method

Method 1 Option D

Date Submitted

12/12/2011

Date Validated

12/13/2011

Date Pending FBC Approval

12/20/2011

Date Approved

01/31/2012

**Summary of Products**

FL #	Model, Number or Name	Description
14850.1	SD-8750, Impact.	SD-8750 French Door w/ SD-8710 Sidelights, Impac.
<b>Limits of Use</b> <b>Approved for use in HVHZ:</b> Yes <b>Approved for use outside HVHZ:</b> Yes <b>Impact Resistant:</b> Yes <b>Design Pressure:</b> +70/-70 <b>Other:</b> Large Missile French Door w/ Sidelights, Max. French Door 6' x 8', Max. Single Door 3' x 8', Max. Sidelight 3' x 8', DP +/- 70 psf.		<b>Installation Instructions</b> <a href="#">FL14850_R1_II_CWS-641A (SD-8750, IMPACT).pdf</a> Verified By: Lucas Turner 58201 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL14850_R1_AE_DuPont PVB NOA 11-0624_01.pdf</a> <a href="#">FL14850_R1_AE_DuPont SGP NOA 11-0624_02.pdf</a> <a href="#">FL14850_R1_AE_EvalRep_CWS-641A (SD-8750, IMPACT).pdf</a> <a href="#">FL14850_R1_AE_Mikron NOA 11-0830_09.pdf</a> Created by Independent Third Party: Yes

[Back](#)

[Next](#)

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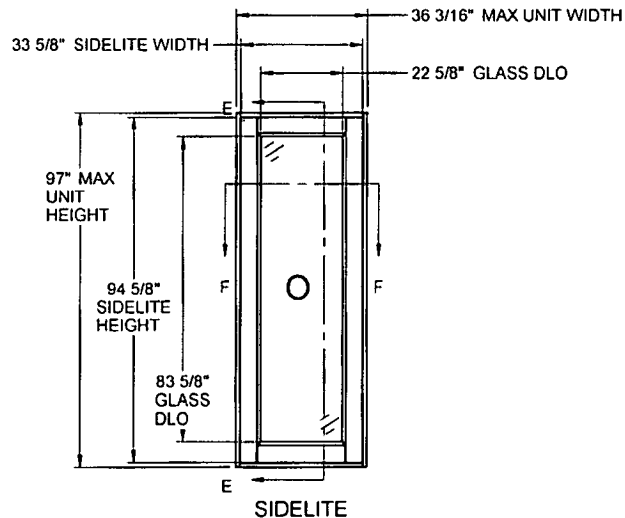
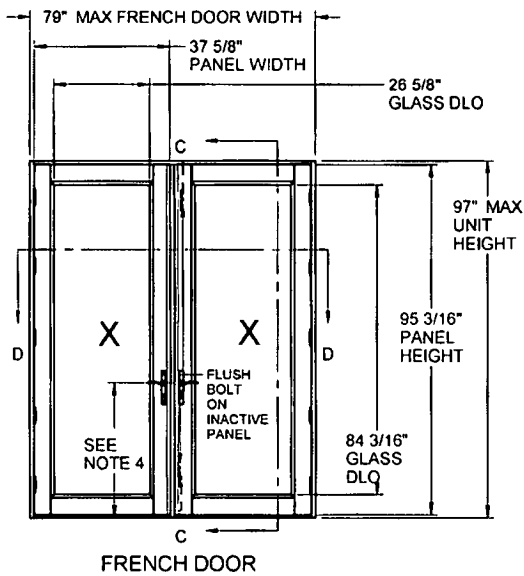
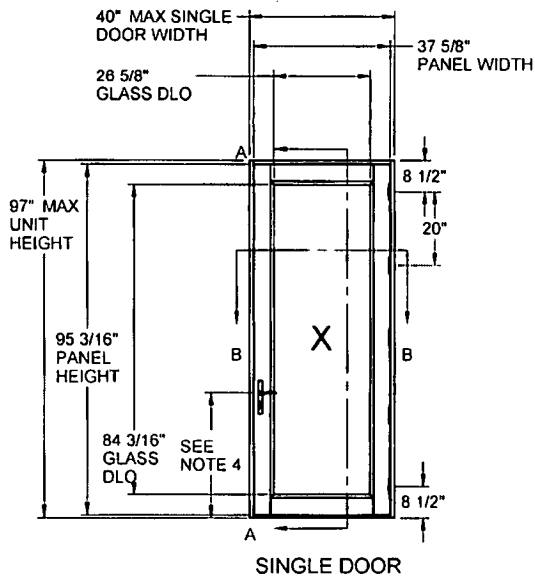
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Product Approval Accepts:







NOTE: HINGE SPACINGS ARE 8 1/2" FROM ENDS AND A MAX OF 20" ON CENTER FOR 81" TO 97" UNIT HEIGHT.

**DESIGN PRESSURE RATING**  
±70

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GENERAL NOTES & ELEVATIONS.....1-3  
 ANCHOR DETAIL & NOTES.....4  
 GLAZING DETAIL.....5  
 SECTION VIEWS.....6-8  
 BOM.....9  
 EXTRUSIONS.....10  
 INSTALLATION DETAILS.....11-14

Lucas A. Turner, P.E.

2011-12-07 09:36-05:00

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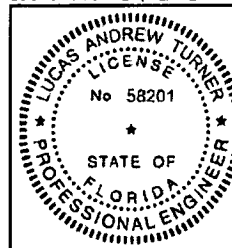
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 12/07/11

**PVC IMPACT REQUIREMENT:**

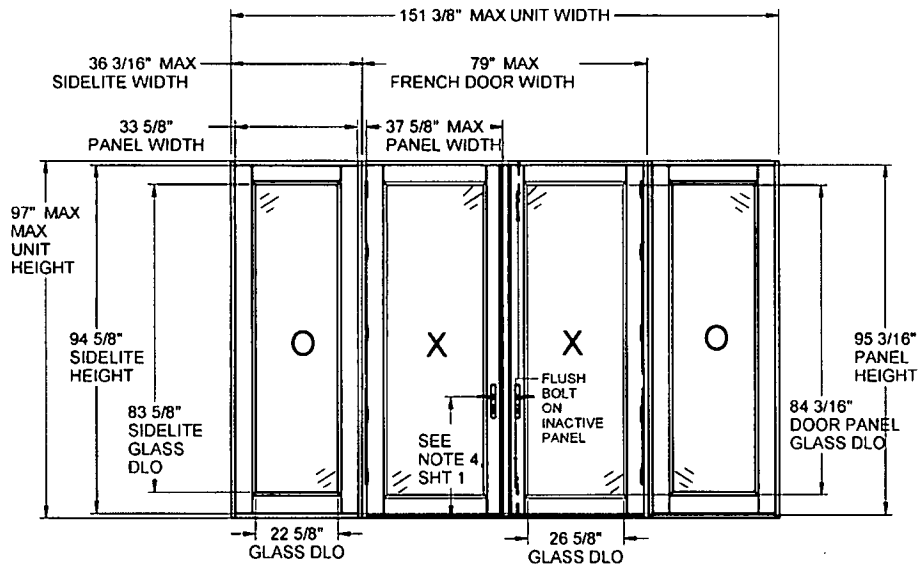
1. THE PRODUCT SHOWN HEREIN IS DESIGNED AND MANUFACTURED TO COMPLY WITH THE FLORIDA BUILDING CODE, CURRENT EDITION.
2. GLAZING DETAIL: (SEE SHEET 5)
3. APPROVED CONFIGURATIONS: SINGLE OUTSWING, SINGLE OUTSWING W/ SIDELITE(S), FRENCH DOOR(S), FRENCH DOOR(S) W/SIDELITE(S), SIDELITE NON ATTACHED
4. LOCK OPTIONS:  
 \*UPTO 6'8":  
 A.DOUBLE BORE W/ (2) INTERIOR FLUSH BOLTS(HANDLE SET @36")  
 B.MORTISE LOCK W/ (2) INTERIOR FLUSH BOLTS(HANDLE SET @ 34")  
 C.MULTIPOINT(4PT)(HANDLE SET @34").  
 \*ABOVE 6'8":  
 A.MULTIPOINT(5PT)(HANDLE SET @ 34").
5. DESIGN PRESSURES:  
 -NEGATIVE DESIGN LOADS BASED ON TESTED PRESSURE AND GLASS TABLES ASTM E-1300  
 -POSITIVE DESIGN LOADS BASED ON TESTED PRESSURE, WATER INFILTRATION TEST PRESSURE, AND GLASS TABLES ASTM E-1300.
6. ANCHORAGE: THE 33 1/3% STRESS INCREASE HAS NOT BEEN USED IN THE DESIGN OF THIS PRODUCT. SEE SHEETS 11-14 FOR INSTALLATION DETAIL. WIND LOAD DURATION FACTOR Cd=1.6 WAS USED FOR WOOD ANCHOR CALCULATIONS.
7. PRODUCTS APPROVED FOR IMPACT RESISTANCE.
8. ALL FRAMES ARE PROCESSED AND SCREWED TOGETHER. VENTS ARE PROCESSED AND TIERODED TOGETHER.
9. REFERENCE TEST REPORTS: NCTL-210-3761-1,1A, 1B, 1C, 2, 2A
10. 1x or 2x WOOD BUCK OR STUD FRAMING TO BE DESIGNED AND ANCHORED TO PROPERLY TRANSFER ALL LOADS TO STRUCTURE. BUCK OR FRAMING IS RESPONSIBILITY OF ARCHITECT OR ENGINEER OF RECORD
11. SERIES / MODEL DESIGNATION: SD-8700 , FD-8750, SLT-8710
12. SECTION CALLOUTS APPLY TO ALL CONFIGURATIONS.
13. INTERIOR FLUSH BOLTS ON ACTIVE PANEL TO BE THROWN DURING SEVERE WEATHER.
14. QUALIFIED ALTERNATIVE LOCKSET / DEADBOLT HARDWARE IS GRADE 2 BY PAMEX AND DELANY.
15. MAX PANEL WIDTHS APPLY TO ANY CONFIGURATION OF MULLED OR NON MULLED UNITS.
16. THE DESIGNATION 'X' AND 'O' STAND FOR THE FOLLOWING: X=OPERABLE DOOR, O= FIXED PANEL.

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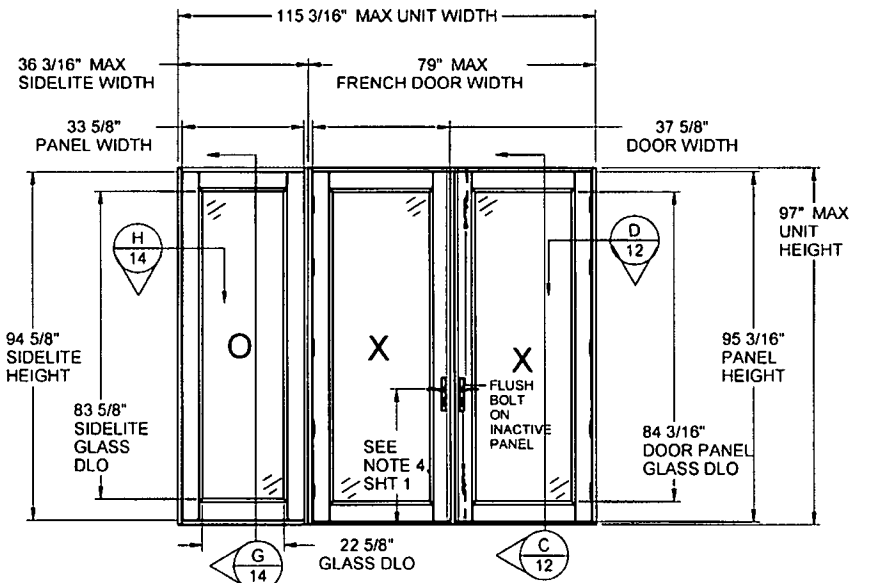
A | UPDATED PER 2010 FBC | 11/14/2011



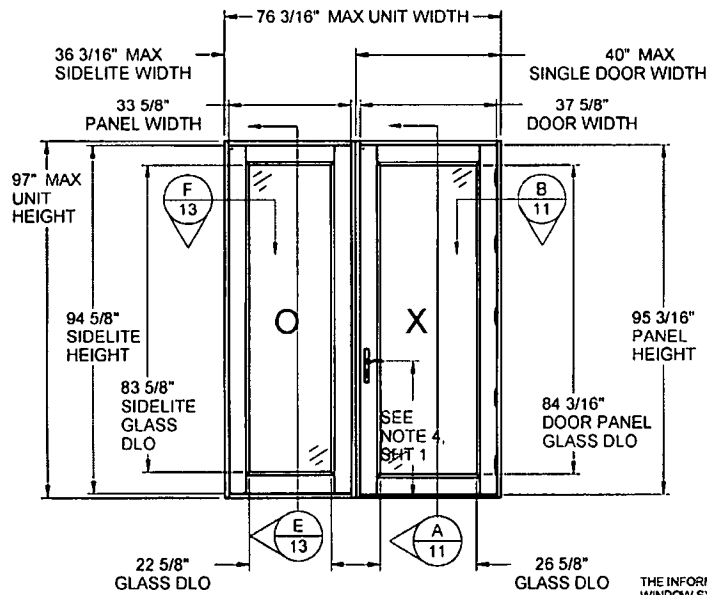
 1900 SW 44TH AVE. OCALA, FLORIDA 34474		
TITLE: GENERAL NOTES & ELEVATIONS - IMPACT		
SERIES: 8700-8750	DRAWN BY: ADE	DATE: 12/5/2011
MODEL: PVC SWING DOOR	SCALE:	DWG. NO.: CWS-641
	REV. LETTER: A	SHEET: 1 OF 14



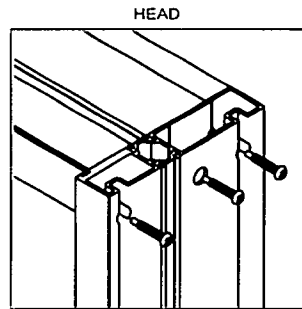
FRENCH DOOR W/ SIDELITES



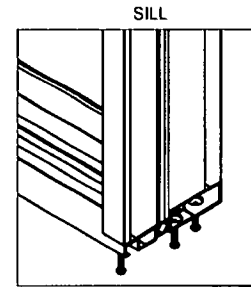
SIDELITE W/ FRENCH DOOR



SIDELITE W/ SINGLE DOOR



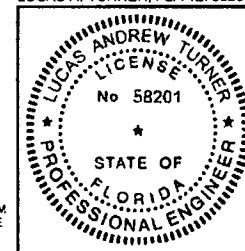
ALL FRAMES ARE MECHANICALLY FASTENED



DESIGN PRESSURE RATING ±70

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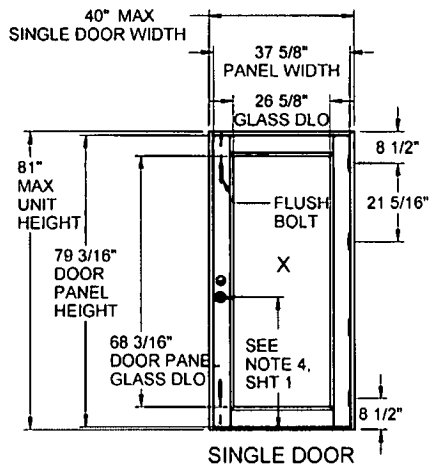
A UPDATED PER 2010 FBC 11/14/2011



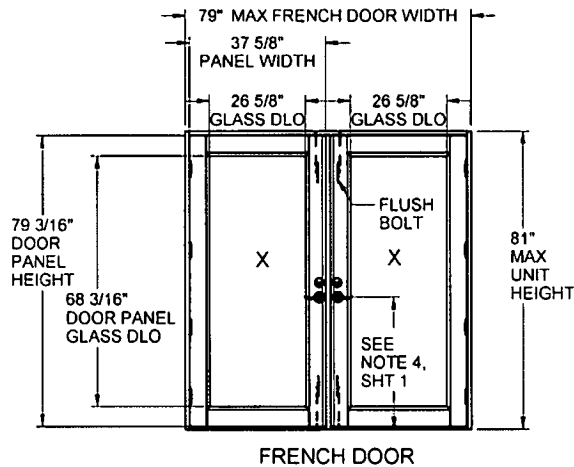
 1900 SW 44TH AVE. OCALA, FLORIDA 34474		
TITLE: ELEVATIONS 8'0" W/ FLUSH BOLTS - IMPACT		
SERIES: 8700-8750	DRAWN BY: ADE	DATE: 12/5/2011
MODEL: PVC SWING DOOR	SCALE:	DWG. NO.: CWS-641
	REV. LETTER: A	SHEET: 2 OF 14

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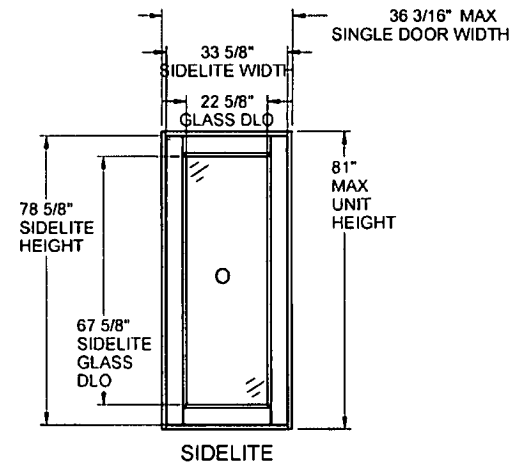
12  
 12/07/11



SINGLE DOOR

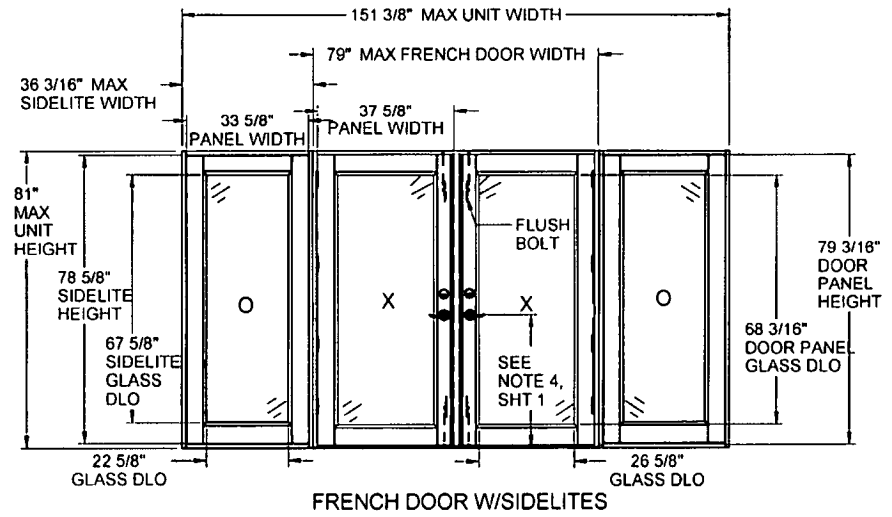


FRENCH DOOR

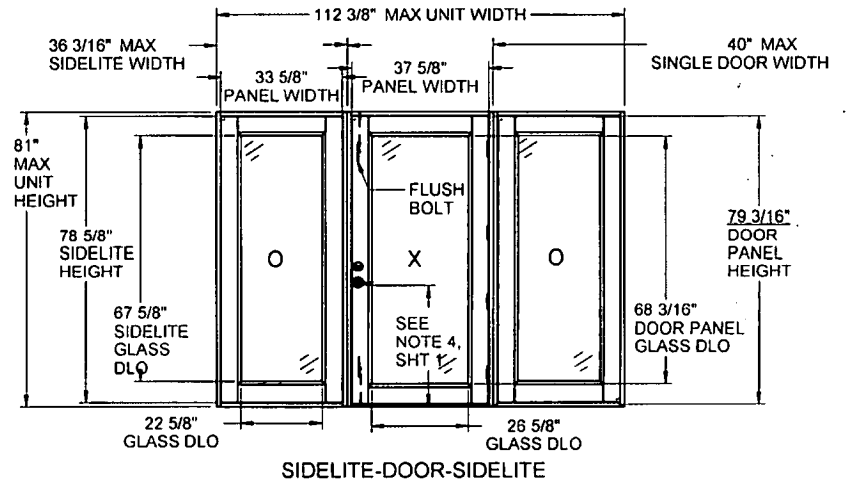


SIDELITE

NOTE: HINGE SPACINGS ARE 8 1/2" FROM ENDS AND A MAX OF 21 5/16" ON CENTER FOR UPTO 81" UNIT HEIGHT.



FRENCH DOOR W/SIDELITES



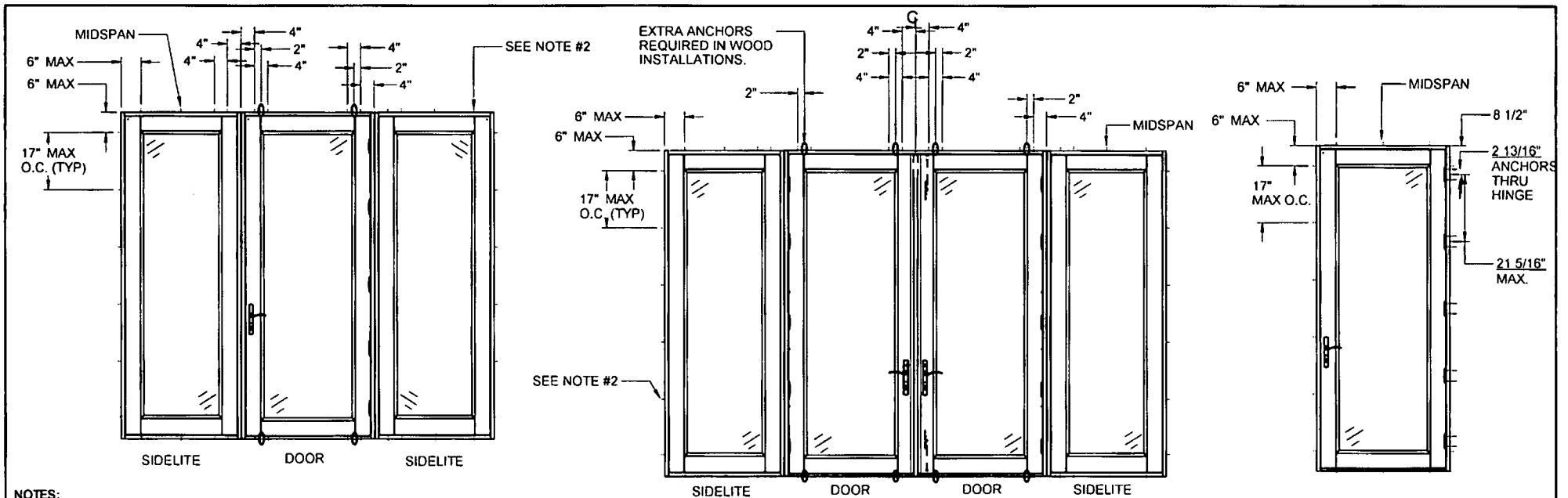
SIDELITE-DOOR-SIDELITE

DESIGN PRESSURE RATING  
±70

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LUCAS A. TURNER, FL. P.E. 58201	A	UPDATED PER 2010 FBC	11/14/2011
	1900 SW 44TH AVE. OCALA, FLORIDA 34474		
	TITLE: ELEVATIONS 6" W/ FLUSH BOLTS- IMPACT		
	SERIES: 8700-8750	DRAWN BY: ADE	DATE: 12/5/2011
MODEL: PVC SWING DOOR	SCALE:	DWG. NO.: CWS-641	
	REV. LETTER: A	SHEET: 3 OF 14	



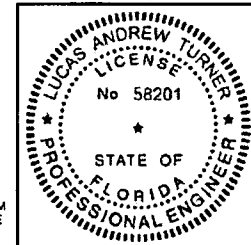
**NOTES:**

1. INSTALL ONE ANCHOR AT EACH INSTALLATION LOCATION. SILL ANCHOR SPACING SAME AS HEAD.
2. SHIM AS REQ AT EACH INSTALLATION ANCHOR USING LOAD BEARING SHIMS. MAX. ALLOWABLE SHIM STACK TO BE 1/4". USE SHIMS WHERE SPACE GREATER THAN 1/16" IS PRESENT.
3. LOAD BEARING SHIMS SHALL BE CONSTRUCTED OF HIGH DENSITY PLASTIC OR BETTER. WOOD SHIMS ARE NOT ALLOWED.
4. 1/4" DIA. ITW TAPCON MASONRY ANCHORS MUST BE OF SUFFICIENT LENGTH TO ACHIEVE A MIN. EMBEDMENT OF 1 1/4" INTO MASONRY THRU FRAME OR THRU 1 BY WOOD BUCK INTO MASONRY. A MINIMUM EDGE DISTANCE OF 2 1/2" SHALL BE ACHIEVED IN EITHER DIRECTION.
5. #12 WOOD SCREW ANCHORS MUST BE OF SUFFICIENT LENGTH TO ACHIEVE A MIN. EMBEDMENT OF 1 3/8" INTO 2 BY WOOD BUCK. A MINIMUM EDGE DISTANCE OF 1" SHALL BE ACHIEVED IN ANY DIRECTION.
6. #10 WOOD SCREWS THROUGH HINGES MUST BE OF SUFFICIENT LENGTH TO ACHIEVE A MIN. EMBEDMENT OF 1 3/8" INTO 2 BY WOOD BUCK. A MINIMUM EDGE DISTANCE OF 7/8" SHALL BE ACHIEVED IN ANY DIRECTION. 3/16" DIA. ITW TAPCON MASONRY ANCHORS THROUGH HINGES MUST BE OF SUFFICIENT LENGTH TO ACHIEVE A MIN. EMBEDMENT OF 1 1/4" INTO MASONRY. A MINIMUM EDGE DISTANCE OF 1 1/8" SHALL BE ACHIEVED IN ANY DIRECTION. A MINIMUM CENTER TO CENTER DISTANCE OF 2 13/16" SHALL BE ACHIEVED.
7. ALL INSTALLATION ANCHORS MUST BE MADE OF A CORROSION RESISTANT MATERIAL OR COATING. DISSIMILAR METALS OR MATERIALS IN CONTACT WITH PRESSURE TREATED WOOD MUST BE PROTECTED TO PREVENT REACTION.
8. INSTALLATION ANCHORS SHALL BE IN ACCORDANCE WITH ANCHOR MANUFACTURER'S INSTALLATION INSTRUCTIONS, AND ANCHORS SHALL NOT BE USED IN SUBSTRATES WITH STRENGTHS LESS THAN THE MINIMUM STRENGTH SPECIFIED BELOW.
9. INSTALLATION ANCHOR CAPACITIES FOR PRODUCTS HEREIN ARE BASED ON SUBSTRATE MATERIAL WITH THE FOLLOWING PROPERTIES:
  - A. WOOD - MINIMUM SPECIFIC GRAVITY OF G=0.55 (SOUTHERN PINE OR GREATER)
  - B. CONCRETE - MINIMUM COMPRESSIVE STRENGTH OF 3,200 PSI.
  - C. MASONRY - STRENGTH CONFORMANCE TO ASTM C-90, GRADE N, TYPE 1 (OR GREATER).
10. SEALING AND FLASHING STRATEGIES FOR OVERALL WATER RESISTANCE OF INSTALLATION SHALL BE DONE BY OTHERS IN ACCORDANCE WITH THE CURRENT VERSION OF THE FOLLOWING THE REFERENCE DOCUMENTS :
  - FMA/AAMA 100 (FIN WINDOWS), FMA/AAMA 200 (FLANGE WINDOWS), FMA/WDMA 250 (BOX WINDOWS), FMA/AAMA/WDMA 300(EXTERIOR DOORS).

22  
12/07/11

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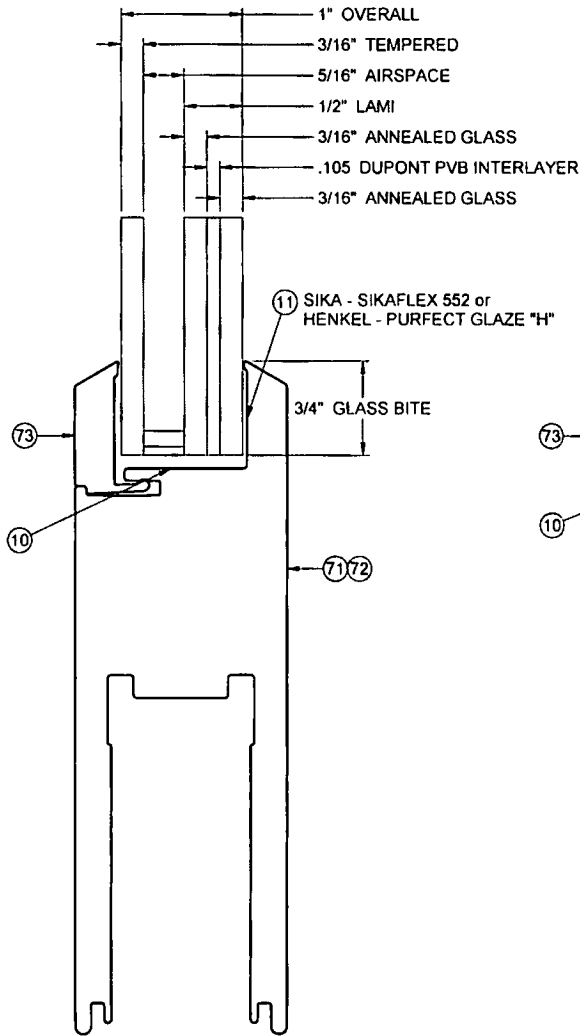
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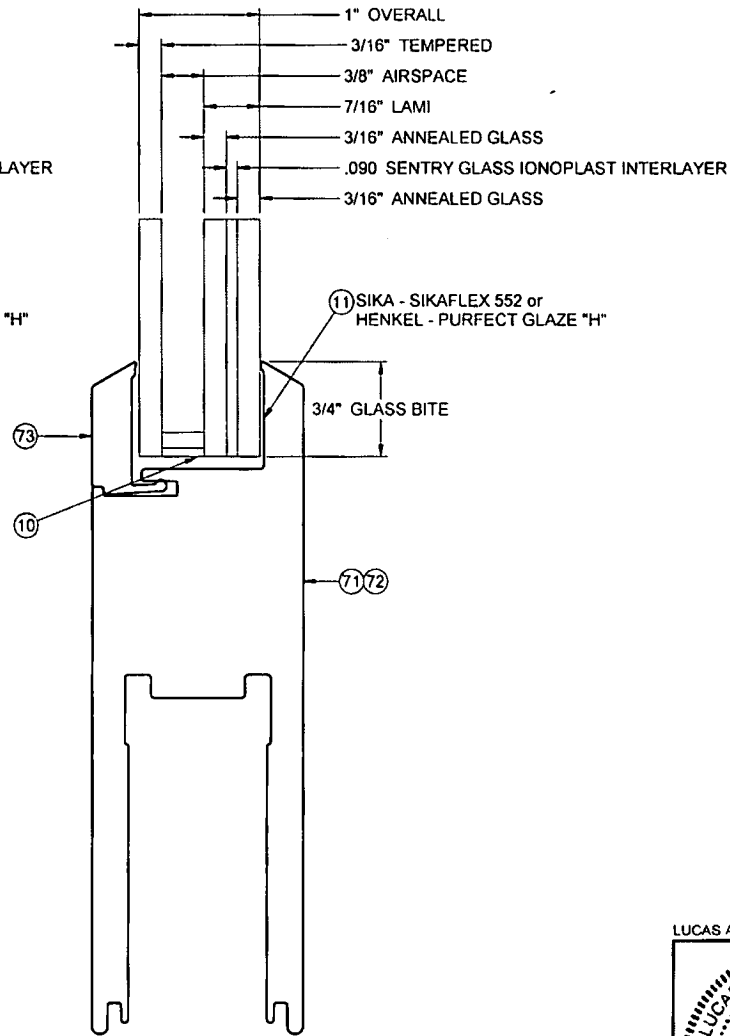
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TITLE: ANCHOR SCHEDULE & NOTES - NON IMPACT			
SERIES: 8700-8750	DRAWN BY: ADE	DATE: 12/5/2011	
MODEL: PVC SWING DOOR	SCALE:	DWG. NO.: CWS-641	
REV. LETTER: A		SHEET: 4 OF 14	

REQUIRED GLASS TYPE

HEIGHT	WIDTH		
	MAX SIDELITE	MAX SINGLE	MAX FRENCH
81" MAX	TYPE A	TYPE A	TYPE A
97" MAX	TYPE B	TYPE B	TYPE B



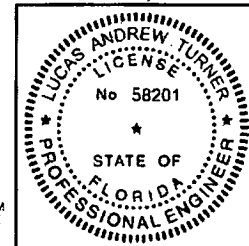
FULL SIZE  
GLASS TYPE A



FULL SIZE  
GLASS TYPE B

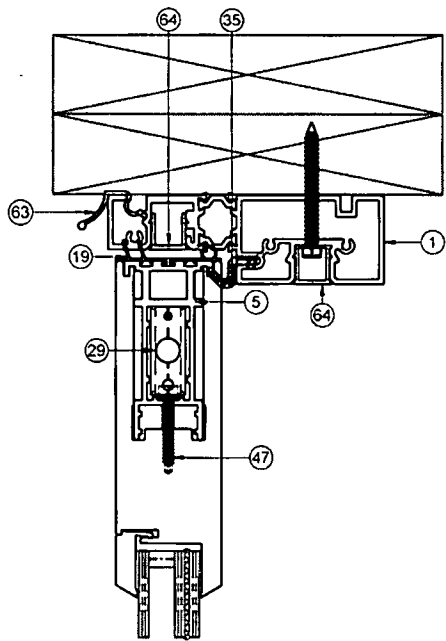
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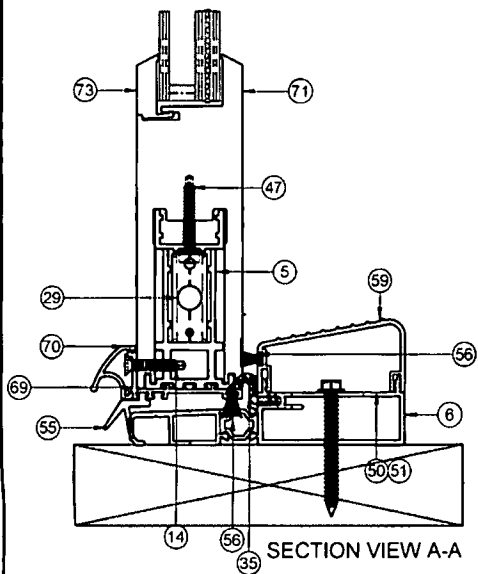


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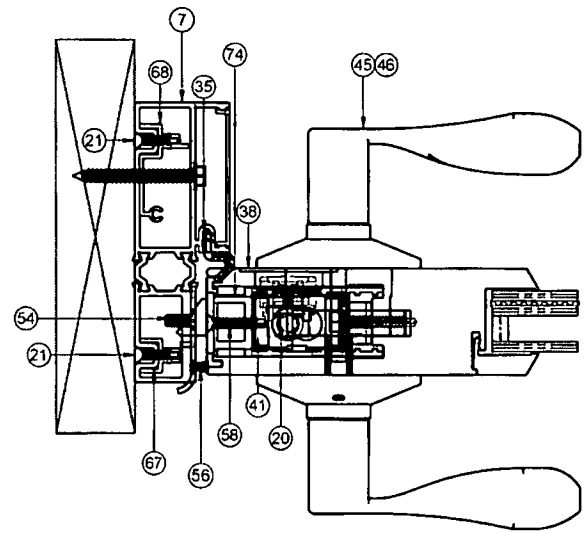
 1900 SW 44TH AVE. OCALA, FLORIDA 34474		
TITLE: GLAZING - IMPACT		
SERIES: 8700-8750	DRAWN BY: ADE	DATE: 12/5/2011
MODEL: PVC SWING DOOR	SCALE: 1:1	DWG. NO.: CWS-641
	REV. LETTER: A	SHEET: 5 OF 14



INTERIOR

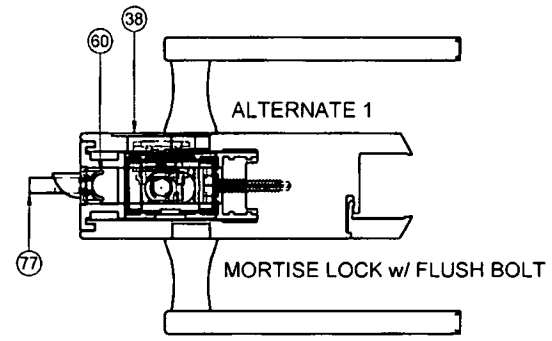
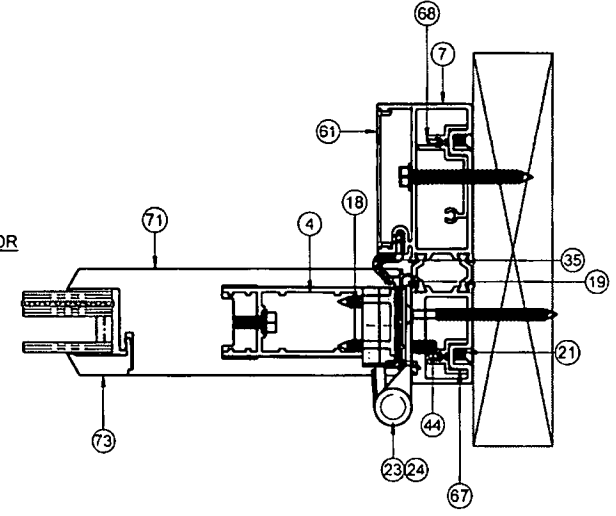


SECTION VIEW A-A



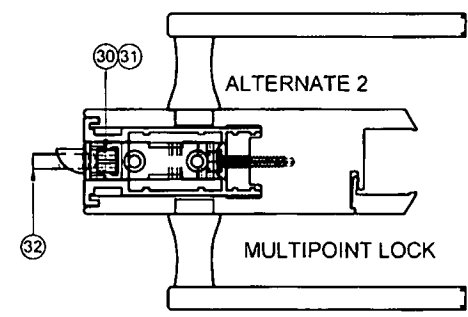
INTERIOR

SECTION VIEW B-B



ALTERNATE 1

MORTISE LOCK w/ FLUSH BOLT



ALTERNATE 2

MULTIPOINT LOCK

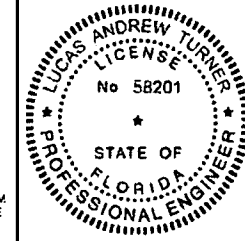
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10-12, 13, 15-17, 22, 43, 48, 54, 57, 58

ITEMS NOT USED IN VERSION SHOWN:  
2, 3, 8, 9, 15, 16, 25-28, 30-34, 36-40, 43, 52, 53, 60, 62, 65, 66, 72, 76

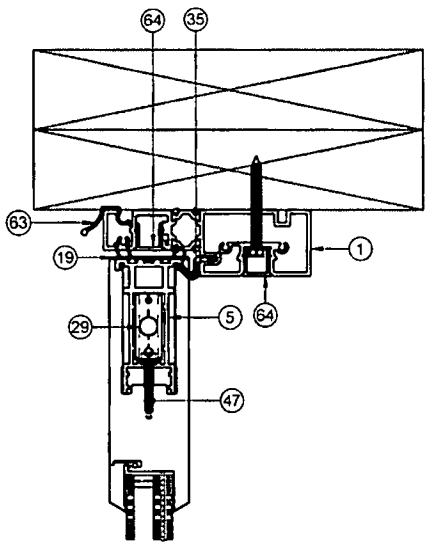
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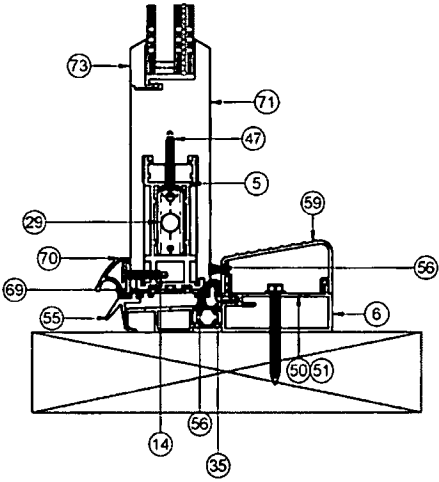
LUCAS A. TURNER, FL. P.E. 58201



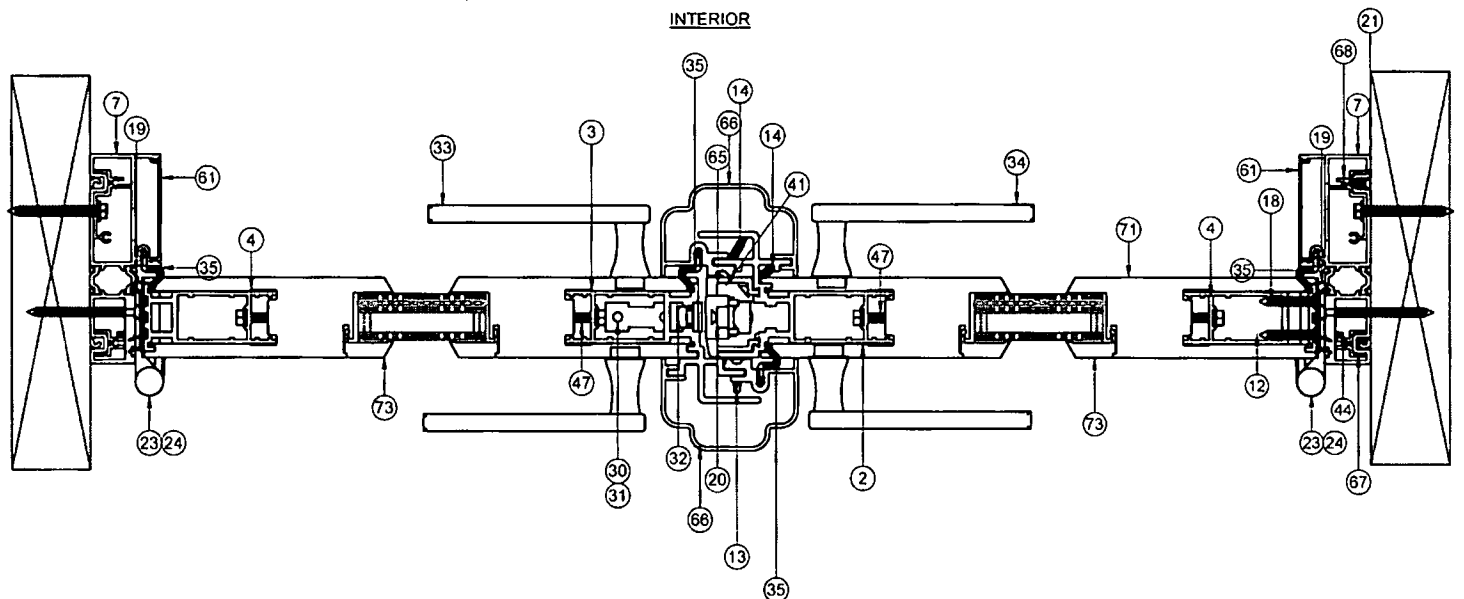
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 1900 SW 44TH AVE. OCALA, FLORIDA 34474		
TITLE: SECTION VIEW - SINGLE DOOR		
SERIES: 8700-8750	DRAWN BY: ADE	DATE: 12/5/2011
MODEL: PVC SWING DOOR	SCALE: NTS	DWG. NO.: CWS-641
	REV. LETTER: A	SHEET: 6 OF 14



INTERIOR



SECTION VIEW C-C



INTERIOR

SECTION VIEW D-D

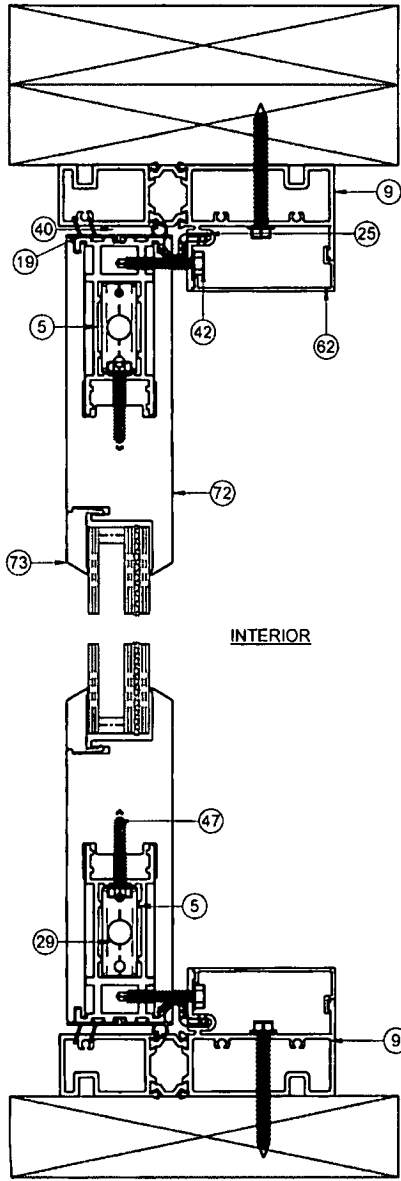
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ITEMS NOT USED IN VERSION SHOWN:  
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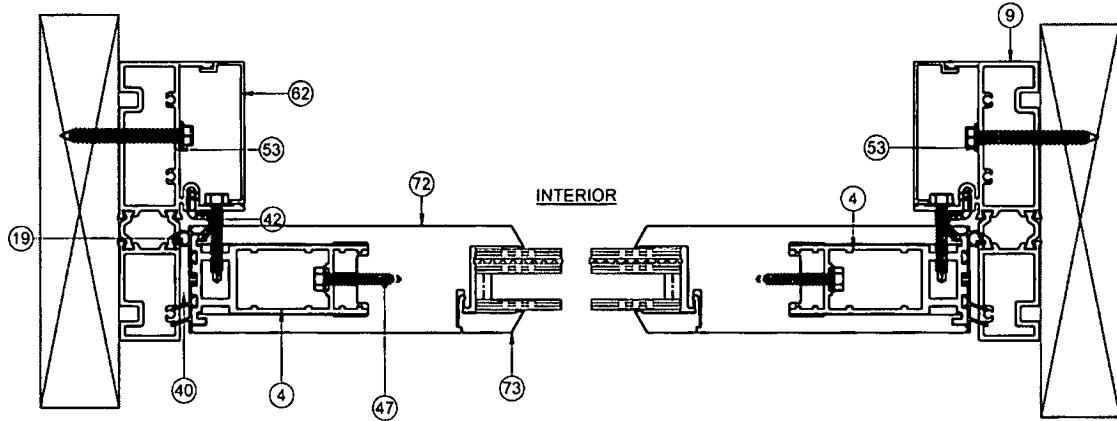
LUCAS A. TURNER, FL. P.E. 58201	A	UPDATED PER 2010 FBC	11/14/2011
1900 SW 44TH AVE. OCALA, FLORIDA 34474			
TITLE: SECTION VIEW - FRENCH DOOR			
SERIES: 8700-8750	DRAWN BY: ADE	DATE: 12/5/2011	
MODEL: PVC SWING DOOR	SCALE: NTS	DWG. NO.: CWS-841	
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12/07/11

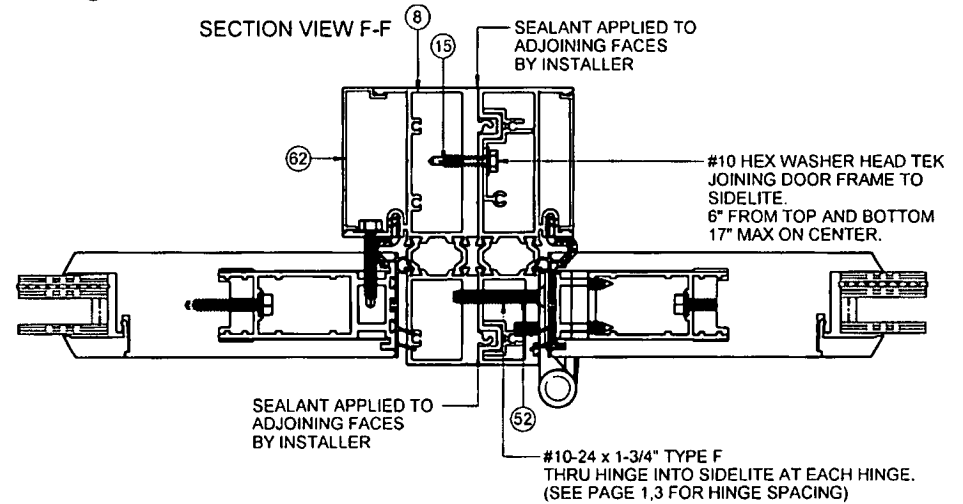
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SECTION VIEW E-E



SECTION VIEW F-F



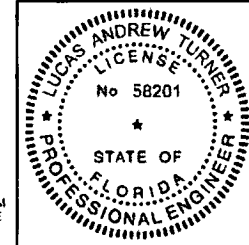
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ITEMS NOT USED IN VERSION SHOWN:  
1-3, 6, 7, 8-15, 17, 18, 20, 21, 23, 24, 26, 27, 30-39, 41, 44-46, 48-52, 54-56,  
58-61, 63-71, 74, -76

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A UPDATED PER 2010 FBC 11/14/2011

<p>1900 SW 44TH AVE. OCALA, FLORIDA 34474</p>		
TITLE: SECTION VIEW - SIDELITE		
SERIES: 8700-8750	DRAWN BY: ADE	DATE: 12/5/2011
MODEL: PVC SWING DOOR	SCALE: NTS	DWG. NO.: CWS-641
	REV. LETTER: A	SHEET: 8 OF 14



ITEM	P/N	DESCRIPTION	MAT'L	VENDOR
1	H-1833	MAIN FRAME, HEAD	ALUM	KEYMARK
2	H-1857	ASTRAGAL, ACTIVE, FD, PVC	ALUM	KEYMARK
3	H-1858	ASTRAGAL, INACTIVE, FD, PVC	ALUM	KEYMARK
4	H-1860	REINFORCEMENT, VERT.	ALUM	KEYMARK
5	H-1861	REINFORCEMENT, HORIZ.	ALUM	KEYMARK
6	H-1878	MAIN FRAME, SILL	ALUM	KEYMARK
7	H-1880	MAINFRAME, JAMB	ALUM	KEYMARK
8	H-1881	MAINFRAME, SIDELITE @ DOOR	ALUM	KEYMARK
9	H-1900	MAINFRAME, SIDELITE @ JAMB, HEAD, SILL	ALUM	KEYMARK
10	P-3039	SETTING BLOCK, 1/8 X 1 X 2		FRANKLOWE
11		TRUSEAL SIKAFLEX 552 or HENKEL PERFECT GLAZE "H"		
12	P-3503	SCREW #8 X 1/2" PH TRUSS SS @ ASTRAGAL CAP		FASTENAL
13	P-3511	SCREW #8 x 5/8" SQ. PAN TEK @ TIEROD BRKT		FASTENAL
14	P-3587	SCREW #8 X 1", PH FLAT TEK @ ASTRAGAL, INSERT, LOCK		FASTENAL
15	P-3767	SCREW, #10 X 1" HEX HEAD, TEK @ SIDELITE		FASTENAL
16	P-4146	SCREW #8 X 3/4 PHIL, FLAT SS TEK @ SIDELITE SHIM		FASTENAL
17	P-4278	FUZZY PAD, .200" x 1.250" W/ADHESIVE		ULTRAFAB
18	P-4522	#10 x 1 1/4", PH FLAT, SMS - HINGE @ PANEL		FASTENAL
19	P-4774	WSTP, BULB/LEAFS, PANEL		AMESBURY
20	P-4790	FLUSH BOLT, TOP/BTM		SULLMAN
21	P-4794	SCREW #8 x 5/8" SQ. FLAT TEK @ INSERT ATTACH		FASTENAL
22	P-4802	ALL THREADED ROD (TIE ROD)		McMASTER
23	P-4807	HINGE, GUIDE		HOPPE
24	P-4808/4909	HINGE, SET, LEFT or RIGHT		HOPPE
25	P-4814	WSTP, .50X.750 FOLDED BULB SEAL, @ SIDELITE		AMESBURY
26	P-4863	LOCK STRIKE PLATE		PADDOCK
27	P-4864	RHINO STRIKE PLATE		PADDOCK
28	P-4866	GUIDE, TIE ROD	NYLON	M&M
29	P-4871	TIE ROD BRACKET	ZINC	SULLMAN
30	P-4885	SHOOT BOLT, TOP		PADDOCK
31	P-4886	SHOOT BOLT, BOTTOM		PADDOCK
32	P-4851	LOCKBAR, INACTIVE, 8 FT		PADDOCK
32	P-4884	LOCKBAR, MULTI-POINT, 5PT, 8 FT		PADDOCK
32	P-4901	LOCKBAR, MULTI-POINT, 4PT, 6'8 FT		PADDOCK
32	P-4902	LOCKBAR, INACTIVE, 6'8 FT		PADDOCK
33	P-4903	HANDLE SET, ACTIVE		PADDOCK
34	P-4905	HANDLE SET, INACTIVE		PADDOCK
35	P-4913	WSTP, .50X.50 FOLDED BULB SEAL, @ DOOR		SCHIELGEL
36	P-4917	CAP, ASTRAGAL, OUTSIDE	NYLON	M&M
37	P-4918	GUIDE, FLUSH BOLT, INACTIVE PNL		M&M
38	P-4922	COVER, INTERIOR, FLUSH BOLT	NYLON	M&M
39	P-4925	CAP, ASTRAGAL, INSIDE	NYLON	M&M
40	P-4926	SHIM, SIDELITE, DOOR SHIPPING BLOCK	NYLON	M&M

ITEM	P/N	DESCRIPTION	MAT'L	VENDOR
41	P-4927	GUIDE, FLUSH BOLT	NYLON	M&M
42	P-4930	SCREW, #10 X 1-1/4" HEX HEAD TEK @ SIDELITE ATTACH		FASTENAL
43	P-4933	NUT, 3/8"-16 FLANGED W/ SERRATED LIP, SS, @ PANEL		McMASTER
44	P-4934	SCREW, #12-24 X 1/2", PH FLAT, MS, @ HINGE		FASTENAL
45	P-4936	DOOR KNOB, ACTIVE PANEL *		DELANY
46	P-4937	DEADBOLT, ACTIVE PANEL *		DELANY
47	P-4969	SCREW, #10 X 2" REINF. ATTACH.		FASTENAL
48	P-4997	STRIKE, DEADBOLT		PADDOCK
49	P-5127	SCREW, #12 X 2", PH PAN, SMS, ANCHOR		FASTENAL
50	P-5130	GASKET, DOOR SILL, FRONT	FOAM	HO PRODUCTS
51	P-5131	GASKET, DOOR SILL, BACK	FOAM	HO PRODUCTS
52	P-5134	SCREW, #10 X 1-3/4" FLAT SQUARE TYPE F @ HINGE		FASTENAL
53	P-5151	GASKET, SIDELITE	FOAM	HO PRODUCTS
54	P-5157	SCREW #10-24 x 1/2", Fl Undercut PH, 18-8SS @ KEEPER		FASTENAL
55	P-5158	BOTTOM SEAL	RUBBER	TEAM
56	P-5172	WSTP, .370 X .187, TRI FIN, BLACK		ULTRAFAB
57	P-5174	SCREW #8 X 3/4" HEX WASHER HEAD, @ FRAME		FASTENAL
58	P-5186	SCREW #8-32 x 1-1/4" PH, FL MS, SS @ PLUNGER	SS	FASTENAL
59	S-1783	THRESHOLD, HIGH RISE	ALUM	KEYMARK
60	S-1784	INSERT, REINFORCEMENT	ALUM	KEYMARK
61	S-1806	COVER, JAMB, ANCHOR	ALUM	KEYMARK
62	S-1816	COVER, JAMBS, HEAD, SILL, SIDELITE	ALUM	KEYMARK
63	S-1817	DRIP CAP	ALUM	KEYMARK
64	S-1840	COVER, HEAD, ANCHOR	ALUM	KEYMARK
65	S-1849	INSERT, INACTIVE PNL, LOCK HARDWARE		KEYMARK
66	S-1859	COVER, ASTRAGAL, FD	ALUM	KEYMARK
67	S-1864	INSERT, FRONT, BTM ATTACH SILL	ALUM	KEYMARK
68	S-1865	INSERT, BACK, BTM ATTACH SILL	ALUM	KEYMARK
69	S-1915	BASE SWEEP	ALUM	KEYMARK
70	S-1916	DRIP COVER, SWEEP	ALUM	KEYMARK
71	S-6083	PANEL, TOP/BTM RAIL, SIDES - DOOR	PVC	MIKRON
72	S-6083	PANEL, TOP/BTM RAIL, SIDES - SIDELITE	PVC	MIKRON
73	S-6084	GLAZING BEAD (1")	PVC	MIKRON
74	H-1888	REINFORCEMENT, VERT., SINGLE DOOR	ALUM	KEYMARK
75	GLASS	SEE PAGE 5		
76	H-1862	REINFORCEMENT, VERT.	ALUM	KEYMARK
77	P-4887	MORTISE LOCK		PADDOCK

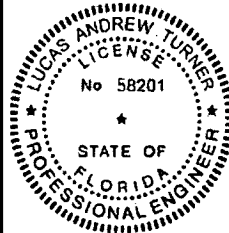
ALTERNATE APPROVED LOCKSETS:  
PAMEX GRADE 2 LOCKSET AND DEADBOLT.

PROPRIETARY AND CONFIDENTIAL  
12/07/11  
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LUCAS A. TURNER, FL. P.E. 58201

11/14/2011

UPDATED PER 2010 FBC



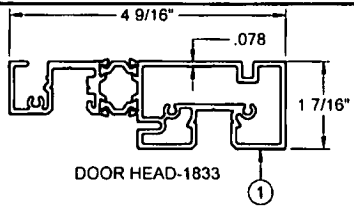
**Custom WINDOW SYSTEMS**  
1900 SW 44TH AVE.  
OCALA, FLORIDA 34474

TITLE: BOM - IMPACT

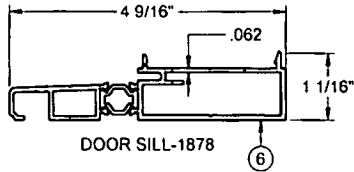
SERIES: 8700-8750      DRAWN BY: ADE      DATE: 12/5/2011

MODEL: PVC SWING DOOR      SCALE: NTS      DWG. NO.: CWS-641

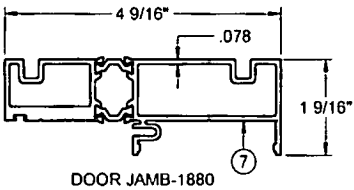
REV. LETTER: A      SHEET: 9 OF 14



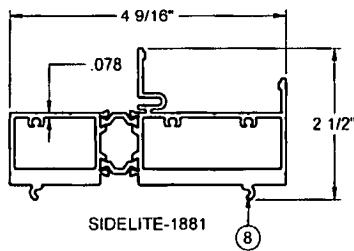
DOOR HEAD-1833



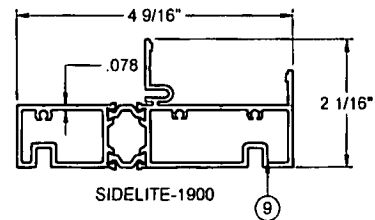
DOOR SILL-1878



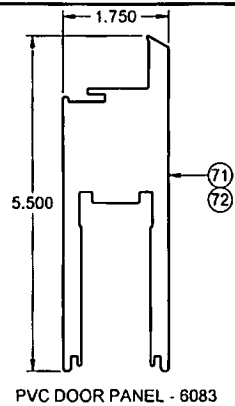
DOOR JAMB-1880



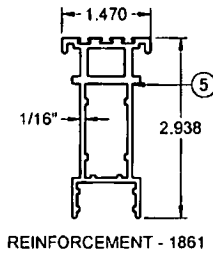
SIDELITE-1881



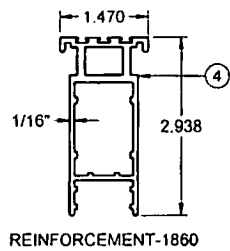
SIDELITE-1900



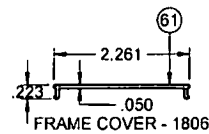
PVC DOOR PANEL - 6083



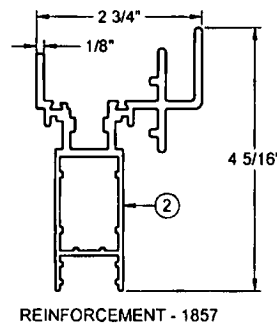
REINFORCEMENT - 1861



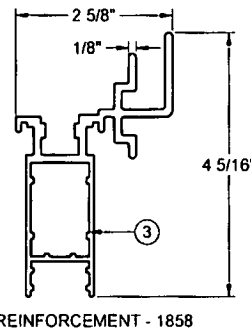
REINFORCEMENT-1860



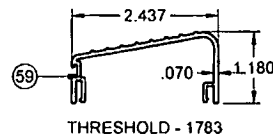
FRAME COVER - 1806



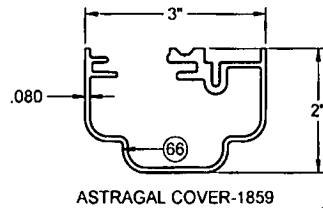
REINFORCEMENT - 1857



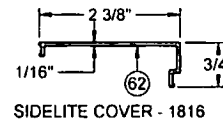
REINFORCEMENT - 1858



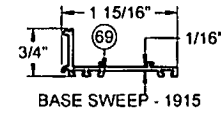
THRESHOLD - 1783



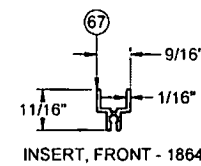
ASTRAGAL COVER-1859



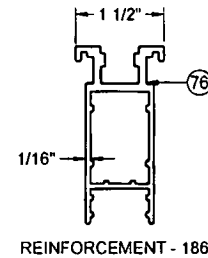
SIDELITE COVER - 1816



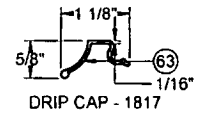
BASE SWEEP - 1915



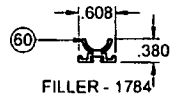
INSERT, FRONT - 1864



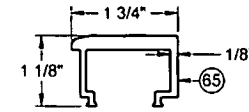
REINFORCEMENT - 1862



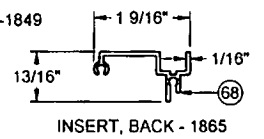
DRIP CAP - 1817



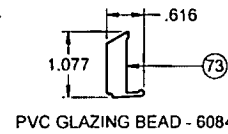
FILLER - 1784



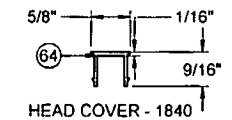
INSERT, IN ACTIVE PNL - 1849



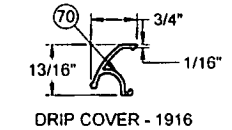
INSERT, BACK - 1865



PVC GLAZING BEAD - 6084



HEAD COVER - 1840



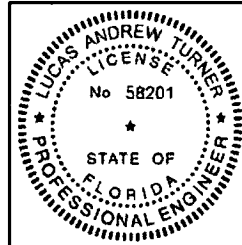
DRIP COVER - 1916

NOTE: ALL EXTRUSIONS ARE 6061-T6 ALUMINUM

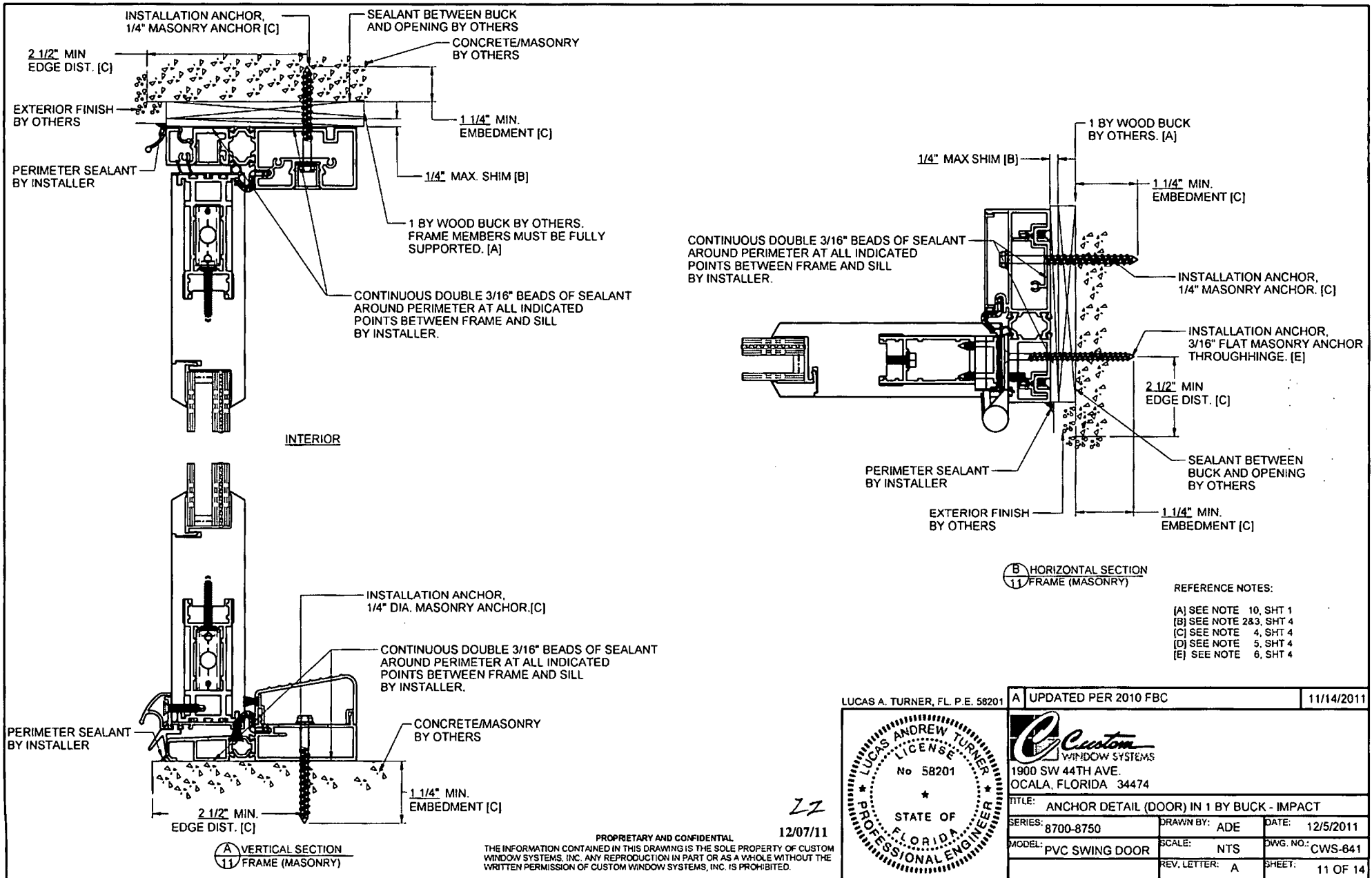
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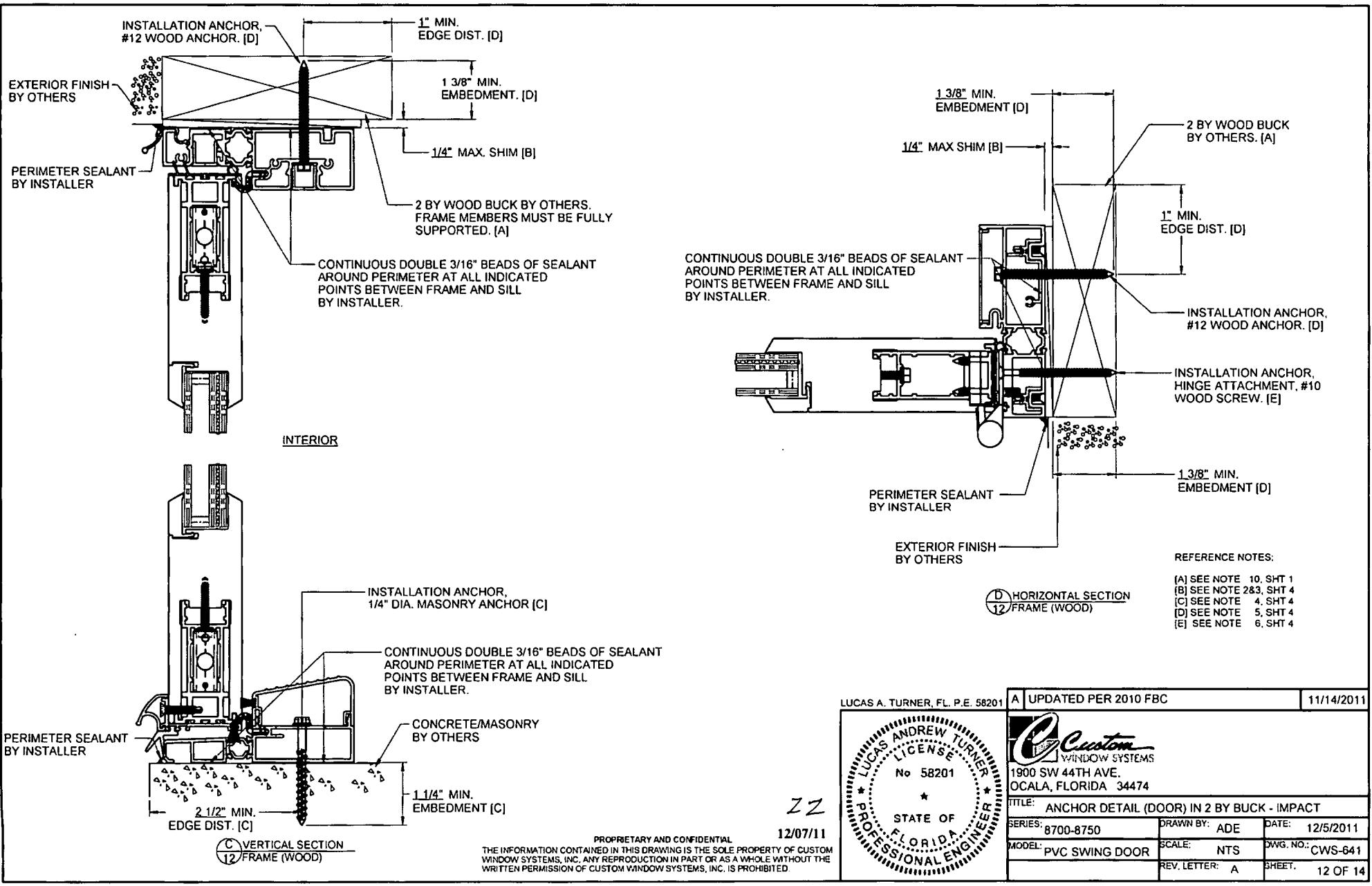
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LUCAS A. TURNER, FL. P.E. 58201



A UPDATED PER 2010 FBC		11/14/2011
 1900 SW 44TH AVE. OCALA, FLORIDA 34474		
TITLE: EXTRUSIONS - IMPACT		
SERIES: 8700-8750	DRAWN BY: ADE	DATE: 12/5/2011
MODEL: PVC SWING DOOR	SCALE: 1:2	DWG. NO.: CWS-841
	REV. LETTER: A	SHEET: 10 OF 14





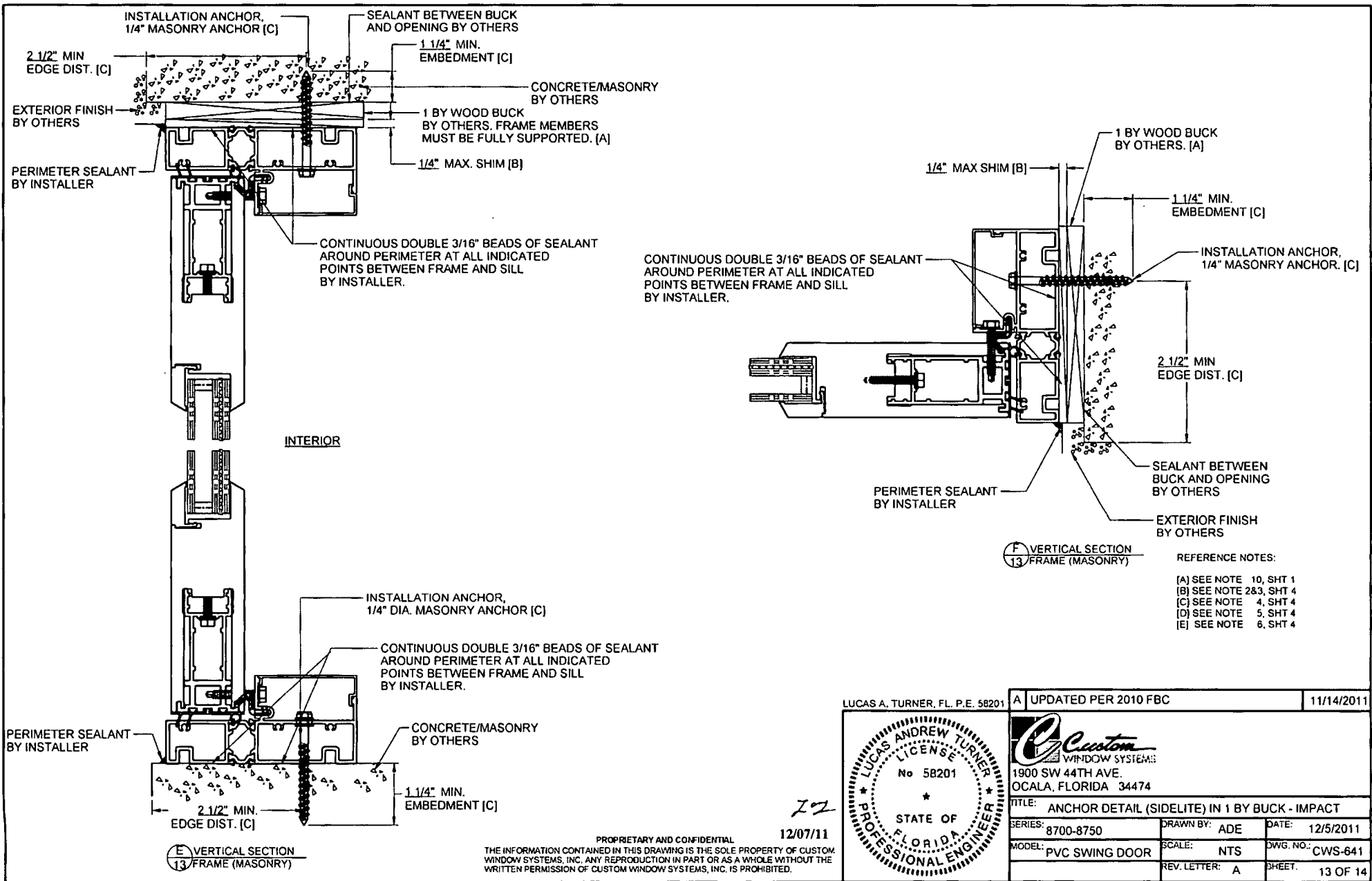
- REFERENCE NOTES:
- [A] SEE NOTE 10, SHT 1
  - [B] SEE NOTE 2&3, SHT 4
  - [C] SEE NOTE 4, SHT 4
  - [D] SEE NOTE 5, SHT 4
  - [E] SEE NOTE 6, SHT 4

Ⓛ HORIZONTAL SECTION  
12/FRAME (WOOD)

Ⓛ VERTICAL SECTION  
12/FRAME (WOOD)

LUCAS A. TURNER, FL. P.E. 58201	A	UPDATED PER 2010 FBC	11/14/2011
1900 SW 44TH AVE. Ocala, Florida 34474			
TITLE: ANCHOR DETAIL (DOOR) IN 2 BY BUCK - IMPACT			
SERIES: 8700-8750	DRAWN BY: ADE	DATE: 12/5/2011	
MODEL: PVC SWING DOOR	SCALE: NTS	DWG. NO.: CWS-641	
	REV. LETTER: A	SHEET: 12 OF 14	

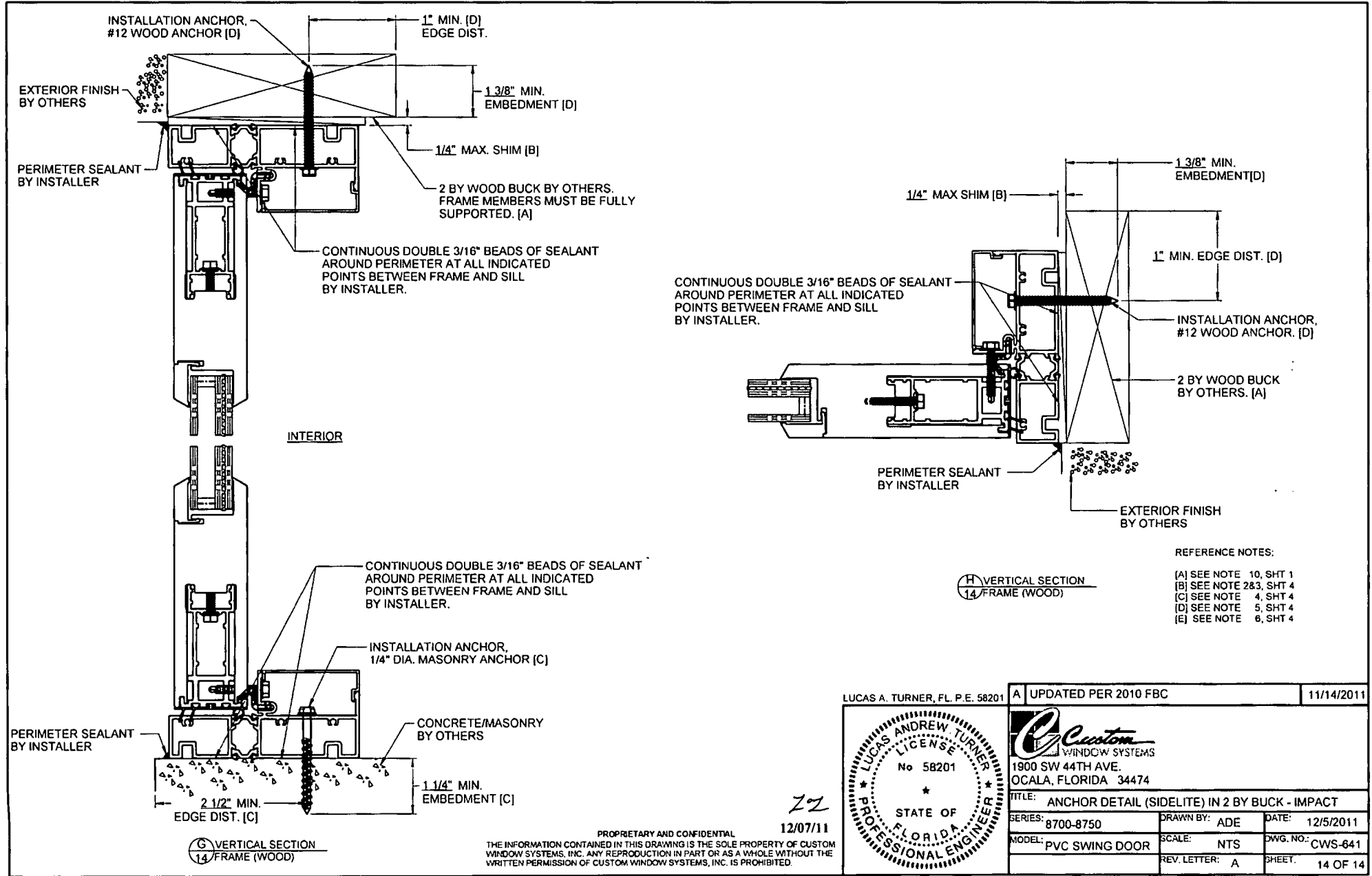
12/07/11  
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- REFERENCE NOTES:
- (A) SEE NOTE 10, SHT 1
  - (B) SEE NOTE 2&3, SHT 4
  - (C) SEE NOTE 4, SHT 4
  - (D) SEE NOTE 5, SHT 4
  - (E) SEE NOTE 6, SHT 4

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LUCAS A. TURNER, FL. P.E. 58201	A	UPDATED PER 2010 FBC	11/14/2011
	1900 SW 44TH AVE. OCALA, FLORIDA 34474		
	TITLE: ANCHOR DETAIL (SIDELITE) IN 1 BY BUCK - IMPACT		
	SERIES: 8700-8750	DRAWN BY: ADE	DATE: 12/5/2011
MODEL: PVC SWING DOOR	SCALE: NTS	DWG. NO.: CWS-641	
	REV. LETTER: A	SHEET: 13 OF 14	



- REFERENCE NOTES:
- [A] SEE NOTE 10, SHT 1
  - [B] SEE NOTE 2&3, SHT 4
  - [C] SEE NOTE 4, SHT 4
  - [D] SEE NOTE 5, SHT 4
  - [E] SEE NOTE 6, SHT 4

(H) VERTICAL SECTION  
14 / FRAME (WOOD)

(G) VERTICAL SECTION  
14 / FRAME (WOOD)

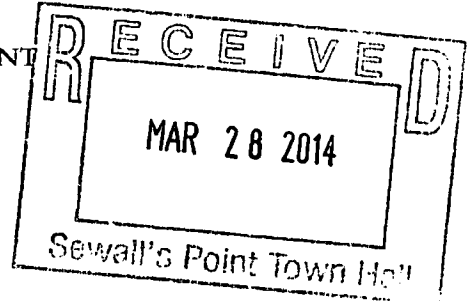
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12/07/11

LUCAS A. TURNER, FL. P.E. 58201	A	UPDATED PER 2010 FBC	11/14/2011
	1900 SW 44TH AVE. Ocala, Florida 34474		
	TITLE: ANCHOR DETAIL (SIDELITE) IN 2 BY BUCK - IMPACT		
	SERIES: 8700-8750	DRAWN BY: ADE	DATE: 12/5/2011
MODEL: PVC SWING DOOR	SCALE: NTS	DWG. NO.: CWS-641	
	REV. LETTER: A	SHEET: 14 OF 14	



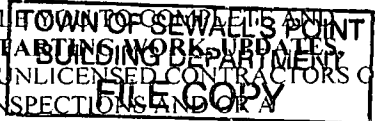
TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765



**SUBCONTRACTORS LIST**  
 RESIDENTIAL, ADDITIONS, COMMERCIAL

APPLICANT'S NAME Michael Ceccorelli BLDG. PERMIT # 10742  
 MAILING ADDRESS 19 Rio Vista Dr

PLEASE PROVIDE A PRELIMINARY SUBCONTRACTORS LIST FOR VERIFICATION. THIS LIST WILL BE RETURNED TO YOU WHEN THE BUILDING PERMIT IS ISSUED TO ENABLE YOU TO RETURN TO THE BUILDING DEPARTMENT. **WE REQUIRE, PRIOR TO STARTING WORK, ANY CHANGES AND ADDITIONS THROUGHOUT CONSTRUCTION. USING UNLICENSED CONTRACTORS OR SUBCONTRACTORS MAY PREVENT YOU FROM BEING ELIGIBLE FOR INSPECTIONS AND A CERTIFICATE OF OCCUPANCY. FOR INFORMATION CONTACT THE CONTRACTOR'S LICENSING OFFICE AT (772) 288-5482 OR (772) 288-5917. PLEASE INCLUDE ALL MUNICIPAL COMPETENCY CARD NUMBERS OR STATE CERTIFICATION NUMBERS. (NOT OCCUPATIONAL LICENSE NUMBERS)**



	TYPE	COMPANY NAME	LICENSE NUMBER
CFO	CONCRETE - FORM		
CFI	- FINISH		
BM	BLOCK MASON		
CB	COLUMNS & BEAMS		
CA	CARPENTRY ROUGH		
GD	GARAGE DOOR		
DH	DRYWALL - HANG		
DF	- FINISH		
IN	INSULATION		
LA	LATHING		
FI	FIREPLACE		
PAV	PAVERS		
AL	ALUMINUM		
LP	LP GAS		
PAV	PAINTING		
PL	PLASTER & STUCCO		
ST	STAIRS & RAILS		
RO	ROOFING		
TM	TILE & MARBLE		
WD	WINDOWS & DOORS	<u>Kamrell Window</u>	<u>COC 0611FD</u>
PLU	* PLUMBING		
AC	* HARV		
EL	* ELECTRICAL		

10742



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

AL	* LOW VOLTAGE BURGLAR ALARM		
VS	VACUUM SOUND		
IR	* IRRIGATION		
SH	SHUTTERS		

\* REQUIRES SEPARATE VERIFICATION FORMS.

I CERTIFY THAT THE INFORMATION STATED ON THE SUBCONTRACTORS' LIST IS ACCURATE AND THAT ALL WORK WILL BE PERFORMED BY MUNICIPAL OR STATE LICENSED CONTRACTORS. I UNDERSTAND THAT A COMPLETE NOTARIZED SUBCONTRACTORS LIST IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

*[Handwritten Signature]*

SIGNATURE OF CONTRACTOR  
(OR OWNER BUILDER IF APPLICABLE)

STATE OF FLORIDA  
COUNTY OF MARTIN

SWORN TO AND SUBSCRIBED before me this 28<sup>th</sup> day  
of MARCH, 20 14

*[Handwritten Signature: Christine C. Bergeron]*  
NOTARY PUBLIC



MY COMMISSION EXPIRES: \_\_\_\_\_

FLD/L T640-073-66-422-0



# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 2/7 - 14 Page      of     

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10742	Ceccarelli 19 Rio Vista Owner/Plumber	1) <sup>Knugh</sup> Plumbing 2) a/c	Pass	Plumbing defects a/c - <del>repaired</del> repeated INSPECTOR <i>AT</i>
10601	Gill 34 Rio Vista Dr. SF Const. Pools-Key	Final	Pass	772-286-7035 Close INSPECTOR <i>AT</i>
10702	Gould 48 S Sewall 6 Pt. Bill Hughes Const.	Final Deck + Elec	Pass	240-1324 341-2317 Jimmy Close INSPECTOR <i>AT</i>
				INSPECTOR
				INSPECTOR
				INSPECTOR

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 2/11 - 14 Page      of     

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>10742</del>	<del>LEONARD</del>	<del>Thinking for</del>		<del>210-2213</del>
	19 Rio Vista	Concrete	Pass	
	Owner	- SLAB -		INSPECTOR <i>AT</i>
10744	Karen Dudech 8 Miramar Rd JA Taylor Roofing	Dry in Metal <u>(1ST thing)</u>	Pass	772-466-4040  INSPECTOR <i>AT</i>
10745	Howell Blasox 158 S Renee Rd. JA Taylor	Dry in & METAL	Pass	772-466-4040  INSPECTOR <i>AT</i>
10693	Bailey 117 N. Sewall's Pt. Allen Morris Dreftwood H.	Tie Beam in Garages	Pass	215-0074 15  INSPECTOR <i>AT</i>
10688	STEJSKAL 108 S Sewall's Pt. Allen Morris - Dreftwood Homes	Column	Pass	215-0074  INSPECTOR <i>AT</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR



# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri **2/25 - 14** Page      of     

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10761	Serls 4 River Oak Pl. Apex Pavers + Pools	Final for driveway	Pass	772 419-5151 Noreen INSPECTOR <i>A</i>
10742	Accorelli 19 Red Vista owner	Insulation	Pass	710-22130 INSPECTOR <i>A</i>
10745	Blossom 158 S River Rd Taylor Roof	TILE IN PROGRESS	Pass	INSPECTOR <i>A</i>
10672	DUKE 25 ISLAND RD CDR Builders	Tie-beam & column	Pass	Curt 215-8464 w/rough like at bench insp per call INSPECTOR <i>A</i>
10100 4	HIGH POINT DRAINAGE IMP	FINAL	DU	INFO ONLY INSPECTOR
10756 3	ANN NICHOLS 17 PALMETTO DR. LSCI Inc.	Final Solar Hot Water Sys.	FAIL SEE CORRECTION NOTICE	727-571-4141 Mark. INSPECTOR <i>A</i>
10527 2	WESTON 30 S. SEWALL WESTON CONST	ROOF TILE IN PROGRESS	Pass	INSPECTOR <i>A</i>

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 2/28/14 Page      of     

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10783	BURKHART	PILE POUL		
	7 PENAWINKLE CIRC	SLAB	PASS	
				INSPECTOR <i>AT</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>10742</del>	<del>CARRELLA</del>	<del>WATER GAS</del>		
	19 RIO VISTA DR	UNDER GROUND	PASS	
	M.C. PROPANE	TANK & LINES		INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10520	SHARFI	FINAL		
	73 N. RIVER RD	WINDOW/DOOR	PASS	CLOSE
	OLEVIAN BROS			INSPECTOR <i>AT</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10659	SNAREY	PARTIAL GRADE		
	4 QUAIL RUN		PASS	
	WONKER BROS			INSPECTOR <i>AT</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10779	COCO BULLD	ROOF SHEATING		
	20 ISLAND RD		PASS	
	SMA PRO			INSPECTOR <i>AT</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10745	BLOSSOM	FINAL ROOF		
	158 S RIVER		PASS	CLOSE
	JA TAYLOR			INSPECTOR <i>AT</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	PETERSON	TREE		
	49 RIO VISTA		N.G.	
				INSPECTOR

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri **4/1 - 14** Page      of     

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10807	1107 (26) FALCO	Final H/C		692-1701
10-12 Best Time	15 N. RIVER Treasure Coast H/C		PASS	CLOSE INSPECTOR <i>[Signature]</i>
10790	<del>ADV</del> 1142 A (26) Sharfi	Final Elec		561-7195018 Chris Pickering CLOSE INSPECTOR <i>[Signature]</i>
ADV - TUES	73 N. River Rd. CSI-		PASS	
10762	327 321A Tufano	Plumbing rough In.		283-7742
adv Tues PM	16 E HIGH PT. RD. Dreamworks		CANCEL	INSPECTOR
10800	320 949A Melissa	SILT FENCE & Util. Disconnect		220-4780
adv. Tues	14 E High Pt. Scott Holmes Builders		PASS	INSPECTOR <i>[Signature]</i>
10774	Stablys	Dry in Underlayment		341-2750
adv. Tues.	114 Hillcrest Tr. Glenmark Homes		PASS	INSPECTOR <i>[Signature]</i>
10742	Eileen Ciccirelli	Door		210-2213
adv Tues PM	19 RIO VISTA		PARTIAL PASS	INSPECTOR <i>[Signature]</i>
10728	Smith	Final & Set back for pool (he needs to know)		772-260-5252
	2 Heritage Way Smith Bros.		PASS	CLOSE INSPECTOR <i>[Signature]</i>

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 4-2-14 Page 14 of     

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	GOODMAN			
	6 OAKWOOD	TREE	OK	
	ALLMAN 2 SUMMER	TREE		INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10731	WILLIAMS	EQUIPOTENTIAL		
	2A CASTLE HILL	BOND	PASS	
	S FLORIDA CUSTOM POOLS			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10810	BIRDSON	FINAL		
	N. RIVER RD 49 <del>CASTLE HILL</del>	BOAT LIFT	PASS	CLOSE
	MR HUSTLE	& PILING		INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10816	BONNEY	A/C		
	11 OAKWOOD	FINAL	PASS	CLOSE
	HONEST AIR			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10686	COOK			Bies
	12 OAKHILL WAY	ROOF FINAL	PASS	
	TRIVNE ROOFING			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10750	GARY	FINAL		
	36 RIO VISTA	ROOF	NOT READY	
	ROOF ATHON			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>10742</del>	<del>GEORGETT</del>	<del>FINAL</del>		
PM	19 RIO VISTA	DOOR	PASS	
	O/B	PARTIAL		INSPECTOR <i>[Signature]</i>

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri **4-3-14** Page      of     

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10750	GARY 36 RIO VISTA ROOF AUTHORITY	FINAL ROOF	PASS	CLOSE INSPECTOR <i>[Signature]</i>
10762	16 E. HIGH PT DREAMWORKS	PLUMB. ROUGH	PARTIAL PASS	INSPECTOR <i>[Signature]</i>
<del>10742</del>	<del>SEECOR</del> 19 RIO VISTA O/B	<del>CANCELLED</del>		INSPECTOR
10809	11 PALM RD CAPPS ROOFING	IN PROGRESS	PASS	INSPECTOR <i>[Signature]</i>
10815	DUKE 25 ISLAND RD	BOAT LIFT & ROOF DOCK FINAL	PASS	CLOSE INSPECTOR <i>[Signature]</i>
10672	DUKE 25 ISLAND CDR	TIE BEAM	PASS	INSPECTOR <i>[Signature]</i>
				INSPECTOR



# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri **4-9-14** Page      of     

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10809	CHAPMAN 11 PALM RD CAPPS ROOFING	ROOF FINN		CANCEL  INSPECTOR
10821	SAPP 6 MIRIMAR RD KIMRELL	FINAL DOOR	PASS	CLOSE  INSPECTOR <i>JA</i>
10742	<del>CICCARELLI</del> 19 RIO VISTA O/B	<del>R. ELEC</del>	PASS	  INSPECTOR <i>JA</i>
10817	LEPAW 61 S. SEWALLS RD STEVES ROOFING	Dry-IN METAL	PASS	  INSPECTOR <i>JA</i>
10688	STWISKAL 108 S. SEWALLS RD DRIFTWOOD HOMES	P/E BEAM	PASS	  INSPECTOR <i>JA</i>



**10766**  
**GAS TANK AND**  
**LINES**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	10766	DATE ISSUED:	02/07/2014
SCOPE OF WORK:	GAS - BURY 250 L.P. TANK - INTERIOR GAS LINES TO A COOK TOP		
CONTRACTOR:	MARTIN COUNTY PROPANE		
PARCEL CONTROL NUMBER:	123841002000004904	SUBDIVISION	RIO VISTA LOT 49
CONSTRUCTION ADDRESS:	19 RIO VISTA DRIVE		
OWNER NAME:	MICHAEL CECCARELLI		
QUALIFIER:	DANNY CULBERSON	CONTACT PHONE NUMBER:	772 287-1900

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE**  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

### INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

# Town of Sewall's Point BUILDING PERMIT APPLICATION

Date: 1-21-14 Permit Number: 10766

OWNER/LESSEE NAME: CECCARELLI Phone (Day) \_\_\_\_\_ (Fax) \_\_\_\_\_  
 Job Site Address: 19 Rio Vista Dr. City: Sewall's Pt. State: FL Zip: \_\_\_\_\_  
 Legal Description: Lot 49 Parcel Control Number: \_\_\_\_\_  
 Fee Simple Holder Name: \_\_\_\_\_ Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Telephone: \_\_\_\_\_

**\*SCOPE OF WORK (PLEASE BE SPECIFIC):**

GAS Bury 250 ft. P. TANK - Intention gas line to a Cook-Top

**WILL OWNER BE THE CONTRACTOR?**  
 (If yes, Owner Builder questionnaire must accompany application)  
 YES \_\_\_\_\_ NO   
**Has a Zoning Variance ever been granted on this property?**  
 YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
 (Must include a copy of all variance approvals with application)

**COST AND VALUES:** (Required on ALL permit applications)  
 Estimated Value of Improvements: \$ 700.00  
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
 Is subject property located in flood hazard area? VE10 \_\_\_\_\_ AE9 \_\_\_\_\_ AE8 \_\_\_\_\_ X \_\_\_\_\_  
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
 Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
 (Fair Market Value of the Primary Structure only, Minus the land value)  
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Martin County Propane Phone: 287-1900 Fax: 287-5961  
 Qualifiers name: Danny Culherson Street: 3586 S.W. Martin Hwy. Palm Gt. State: FL Zip: 3890  
 State License Number: 65594 OR: Municipality: \_\_\_\_\_ License Number: \_\_\_\_\_

LOCAL CONTACT: Wayne Cook Phone Number: 496-6964

DESIGN PROFESSIONAL: \_\_\_\_\_ Fla. License# \_\_\_\_\_  
 Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Phone Number: \_\_\_\_\_

AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/ Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_  
 Carport: \_\_\_\_\_ Total under Roof \_\_\_\_\_ Elevated Deck: \_\_\_\_\_ Enclosed area below BFE\*: \_\_\_\_\_  
 \* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010  
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

**WARNINGS TO OWNERS AND CONTRACTORS:**

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
- IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

**\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\***

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.  
 Expires June 21, 2014  
 Notarized Thru Troy Fair Insurance 800-385-7019

BERGERON  
 988111  
 2014

OWNER/AGENT/LESSEE - NOTARIZED SIGNATURE: Eileen Ceccarelli  
 State of Florida, County of: MARTIN  
 On This: the 21<sup>st</sup> day of FEBRUARY, 2014  
 by EILEEN CECCARELLI who is personally known to me or produced  
 As identification: NYDL 161-052-851  
 Notary Public: Christine C. Bergeron  
 My Commission Expires: \_\_\_\_\_

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE: X Danny Culherson  
 State of Florida, County of: ST. LUCAS  
 On This: the \_\_\_\_\_ day of JANUARY, 2014  
 by Danny Culherson Notary Public - State of Florida personally known to me  
 My Comm. Expires Aug 20, 2016  
 Commission # EE 197119  
 As identification: \_\_\_\_\_  
 Notary Public: \_\_\_\_\_  
 My Commission Expires: 8/20/16

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

### BUILDING PERMIT RECEIPT

<b>PERMIT NUMBER:</b>	10766	
<b>ADDRESS</b>	19 RIO VISTA DRIVE	
<b>DATE 02/07/2014</b>	<b>SCOPE OF WORK</b>	GAS - BURY 250 L.P. TANK - INTERIOR GAS LINES TO A COOK TOP

<b>SINGLE FAMILY OR ADDITION /REMODEL</b>	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned space: (@ \$121.75 per sq. ft.)		s.f.	
Total square feet non-conditioned space, or interior remodel: (@ \$59.81 per sq. ft.)		s.f.	
Total square feet remodel with new trusses: (@ \$90.78 per sq. ft.)		\$	
Total Construction Value:		\$	
Building fee: (2% of construction value SFR or >\$200K)		\$	
Building fee: (1% of construction value < \$200K + \$100 per insp.)			
Total number of inspections (Value < \$200K)@\$100ea		\$	
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	
Road impact assessment: (.04% of construction value - \$5 min.)			
Martin County Impact Fee:		\$	
<b>TOTAL BUILDING PERMIT FEE:</b>		\$	

<b>ACCESSORY PERMIT</b>	Declared Value:	\$	700.00
Total number of inspections @ \$100.00 each	2		200.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	3.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	3.00
Road impact assessment: (.04% of construction value - \$5 min.)		\$	5.00
<b>TOTAL ACCESSORY PERMIT FEE:</b>		\$	211.00

PA 2-24-14

CK 3812



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

**GAS CHECKLIST**  
**COMPLIANT TO 2010 FBC FUEL GAS CODE & NFPA 54 & 58**

**USE:**

RESIDENTIAL:  COMMERCIAL:

**HOOK UP:**

TANK  METERED UTILITY GAS:  OTHER:

**TANK SPECS:**

SIZE: 45 GALS ABOVE GROUND:  UNDERGROUND:

TANK TYPE: D.O.T.  ASME:  OTHER:

**TANK DISTANCE: (MINIMUM)**

SOURCE OF IGNITION: 10 FT. BUILDING OPENINGS: 10 FT. BUILDING: 10 FT.

**PROPOSED SETBACKS FROM LOT LINE:**

FRONT: 45 FT. SIDE 1: 12 FT. SIDE 2: 70 FT. REAR: 65 FT.

**GAS SPECS: (SEE FBC/FUEL GAS TABLES 402)**

NATURAL:  LP:  OTHER:

GAS PRESSURE OF 10 psi AND PRESSURE DROP OF 0.5

BASED ON A 0.874 SPECIFIC GRAVITY GAS

**PIPE/TUBING SPECS: (CHECK ALL THAT APPLY)**

IRON  SCH. 40  SEMI-RIGID  CSST  COPPER

POLYETHYLENE PLASTIC  S. S.:  OTHER:

**COMBUSTION AIR:**

REQUIRED: YES:  NO:

METHOD FOR SUPPLYING COMBUSTION AIR: \_\_\_\_\_

WHO PROVIDED THE COMBUSTION AIR CALCS? \_\_\_\_\_

ARCHITECT/ENGINEER OF RECORD: \_\_\_\_\_ GAS COMPANY: \_\_\_\_\_

OTHER: \_\_\_\_\_

TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY

Cook-Top @ 60,000 BTU  
 Attached Area = 20' x 19' x 8' = 3048  
 Code Required Cubic Feet ->  
 3000 Cu Ft.  
 50 Cubic Feet per 1000 BTU<sup>3</sup>

**GAS APPLIANCE SPECS: (LIST APPLIANCE TYPE AND BTU)**

APPLIANCE #1: Cook-top 60000 BTU 40 \*DIA. PIPE 40 FT.-LENGTH

APPLIANCE #2: \_\_\_\_\_ BTU \_\_\_\_\_ \*DIA. PIPE \_\_\_\_\_ FT.-LENGTH

APPLIANCE #3: \_\_\_\_\_ BTU \_\_\_\_\_ \*DIA. PIPE \_\_\_\_\_ FT.-LENGTH

APPLIANCE #4: \_\_\_\_\_ BTU \_\_\_\_\_ \*DIA. PIPE \_\_\_\_\_ FT.-LENGTH

APPLIANCE #5: \_\_\_\_\_ BTU \_\_\_\_\_ \*DIA. PIPE \_\_\_\_\_ FT.-LENGTH

APPLIANCE #6: \_\_\_\_\_ BTU \_\_\_\_\_ \*DIA. PIPE \_\_\_\_\_ FT.-LENGTH

(LENGTH BASED ON THE TOTAL PIPE LENGTH FROM THE GAS SOURCE TO THE APPLIANCE)

\*THE ABOVE PIPE SIZES WERE TAKEN FROM 2010 FBC FUEL GAS TABLE NO. \_\_\_\_\_

**Martin County, Florida  
Laurel Kelly, C.F.A**
*generated on 2/6/2014 11:14:13 AM EST*
**Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-002-000-00490-4	27562	19 RIO VISTA DR, SEWALL'S POINT	\$262,030	2/1/2014

Owner Information	
<b>Owner(Current)</b>	CECCARELLI MICHAEL & EILEEN
<b>Owner/Mail Address</b>	PO BOX 1971 SHELTER ISLAND NY 11964
<b>Sale Date</b>	12/31/2012
<b>Document Book/Page</b>	2622 1229
<b>Document No.</b>	2369966
<b>Sale Price</b>	285000

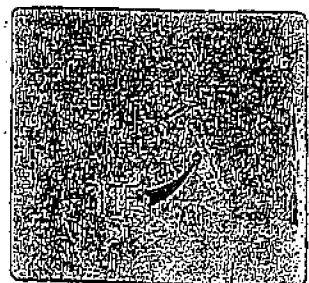
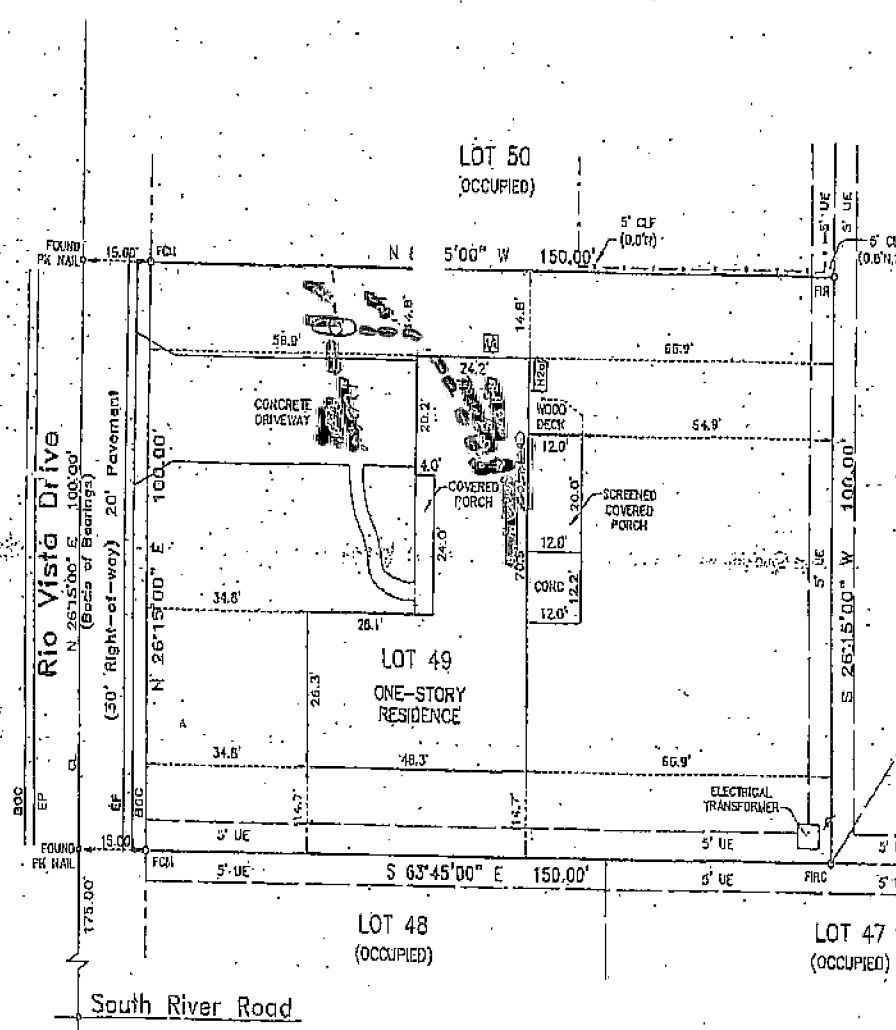
Location/Description			
<b>Account #</b>	27562	<b>Map Page No.</b>	SP-04
<b>Tax District</b>	2200	<b>Legal Description</b>	RIO VISTA S/D LOT 49
<b>Parcel Address</b>	19 RIO VISTA DR, SEWALL'S POINT		
<b>Acres</b>	.3290		

Parcel Type	
<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120250 Rio Vista DRY

Assessment Information	
<b>Market Land Value</b>	\$160,000
<b>Market Improvement Value</b>	\$102,030
<b>Market Total Value</b>	\$262,030



TOWN OF SEWALLS POINT  
BUILDING DEPARTMENT  
FILE COPY



Vicinity Map  
(Not To Scale)

LOT 54  
(OCCUPIED)

LOT 55  
(OCCUPIED)

**LEGAL DESCRIPTION:**  
All of LOT 49, RIO VISTA, according to the map or plat thereof, as recorded in Plat Book 6, of Page 25, of the Public Records of Martin County, Florida.

**LOT AREA:** 15,000 Sq. Ft.; 0.34 Acres

**STREET ADDRESS:** 19 Rio Vista Drive, Stuart, Florida.

- SURVEYORS' NOTES:**
1. Bearings shown hereon are based on the centerline of Rio Vista Drive as plotted and bears N 261°5'00" E.
  2. Written dimensions take precedence over scaled dimensions and distances are not to be scaled for construction and/or design purposes.
  3. All distances and bearings are as field measured and are coincident with "PLAT" and description data unless otherwise noted.
  4. This drawing is not valid without the signature and original raised seal of a Florida licensed Surveyor & Mapper.
  5. This survey is based upon a description furnished by the client, there has been no search of the public records done by this office.
  6. Property lies in Flood Zone "X" as scaled from the National Flood Insurance Program Rate Map, Community Panel Number 1200500154 F, with an effective date of October 4, 2002.
  7. This survey is not covered by professional liability insurance.
  8. City water & sewer are available in this area.
  9. No underground utilities or improvements were located unless otherwise shown.

**CERTIFIED TO:**  
MATTHEW D. CAUSEY;  
WELLS FARGO BANK, NA, ISAOA/ATIMA;  
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY and  
LAW OFFICES OF BONNIE A. BROWN

Date of Last field work 03/16/2012

MARCH 15, 2012  
Date of Signature

WILLIAM B. BENNETT  
Professional Surveyor & Mapper  
Florida Certificate No. 6353  
LB No. 7608

- LEGEND**
- OUE = OVERHEAD UTILITY LINES
  - ⊕ = SANITARY ACCESS UD
  - ⊖ = SANITARY CLEANOUT
  - ⊙ = WOOD POWER POLE
  - ⊙ = POLE ANCHOR
  - CL = CENTERLINE RIGHT OF WAY
  - EP = EDGE OF PAVEMENT
  - FIRC = FOUND 5/8" IRON ROD & CAP (NO LD.)
  - H2o = WATER TREATMENT PAD
  - CDNC = CONCRETE
  - ⊕ = TELEPHONE RISER
  - ⊖ = WATER METER
  - ⊙ = CABLE TELEVISION RISER
  - CLP = CHAIN LINK FENCE
  - FCH = 4" X 4" CONCRETE MONUMENT
  - DUE = DRAINAGE & UTILITY EASEMENT
  - FIR = FOUND 5/8" IRON ROD
  - A/C = AIR CONDITIONER PAD
  - ± = PLUS OR MINUS

**Bennett Surveying, Inc.**  
10225 Hunt Club Lane  
Palm Beach Gardens, Florida 33418  
Tel: 772.338.4933 Fax: 772.338.0929  
email: bennettsurveying@yahoo.com

Boundary Survey	
Prepared on the order of <b>Law Offices of Bonnie A. Brown</b>	
Field: LM/BB	Job No.: 12-0311
Drawn: YB	Date: 03/16/2012
Scale: 1"=20'	Sheet: 1 of 1

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 4/16 - 14 Page 14 of 14

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10822	Marrone 53 N. Sewall's Pt Rd On Shore Roofing	Dry in Roof Metal	PASS	772-283-1505 SHREISS  INSPECTOR <i>J</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>10766</del>	<del>CELLI</del> 19 RIO VISTA	<del>GAS FINNE</del>	PASS	<del>STATE</del>  INSPECTOR <i>M</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

# **ADMIN VARIANCE**

Prepared by and return to:  
Town of Sewall's Point  
One South Sewall's Point Road  
Stuart Florida 34996

**TOWN OF SEWALL'S POINT ADMINISTRATIVE  
VARIANCE APPROVAL**

1. Owner of Property: BRUCE S. McDONELL

2. Legal Description of Property:

Lot 49, RIO VISTA SUBDIVISION, according to the Plat thereof as  
recorded in Plat Book 6, Page 95, public records of Martin County,  
Florida.

3. Date of Administrative Variance Application: \_\_\_\_\_

Whereas, the Town of Sewall's Point Building Commissioner (the "Building Commissioner") has authority under the Town of Sewall's Point Code of Ordinances to grant administrative variances upon making certain findings of fact; and

Whereas, the Building Commissioner has reviewed an Administrative Variance Application (the "Application") for the Property described above and determined that the Application is complete; and

Whereas, the Building Commissioner has made the appropriate findings of fact and finds that:

(1) The setback violation(s) for the encroachments shown on the survey attached as Exhibit "A" (the "Survey") was/were a good faith error(s) and was/were not intentional; and

(2) The encroachment(s) is/are less than or equal to five percent (5%) of the

setback requirement(s) in effect on the date that the encroachment was first created, or twenty inches (20"), whichever is less; and

(3) No letters of objection to the administrative variance application have been filed by adjacent owners with the Town Clerk; and

(4) The Application meets the conditions of the Town of Sewall's Point Code of Ordinances for an administrative variance.

NOW, THEREFORE, the Town of Sewall's Point hereby grants and approves the Application for an administrative variance for the encroachments shown on the Survey.

Dated this 27th day of July, 1995.

The Town of Sewell's Point, a  
Florida municipal corporation

By: [Signature]  
Its: Building Commissioner

STATE OF FLORIDA  
COUNTY OF MARTIN

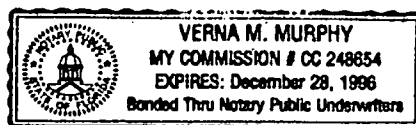
Sworn to and subscribed before me this 27th day of July, 1995,  
by Vincent A. Tassano, as Building Commissioner of the Town of Sewall's  
Point, a Florida municipal corporation, who is personally known to me or who has produced  
\_\_\_\_\_ as identification and who did not take an oath.

(NOTARY SEAL)

Verna M. Murphy  
Name: \_\_\_\_\_

I am a Notary Public of the  
State of Florida and my  
commission expires:

Dec. 28, 1996



TOWN OF SEWALL'S POINT ADMINISTRATIVE  
VARIANCE APPLICATION FORM

1. Owner of Property: BRUCE S. McDONELL

2. Address of Property: 19 Rio Vista Drive, Stuart, FL 34996

3. Address of Applicant: same

4. Phone No. of Applicant: 287-0660 (his attorney, John E. Prewitt)

5. Length and Location (front, rear, side) of Encroachment (if more than one, please list separately):

NE side 0.24'; SW side 0.08'; front 0.16'

6. Have you included the following materials with your application? yes

A. \$250.00 Filing Fee

B. \$250.00 Costs Deposit

C. Certificate of Ownership

D. Certificate of Adjacent Owners

E. Survey

F. Letters of No Objection or Proof of Mailing Notice

7. Does/do the encroachment(s) result from development under a permit for which a certificate of occupancy was issued prior to March 11, 1992? no

I hereby certify that all of the information above and the application materials I have provided are true and correct:

  
Applicant

Dated this 26 day of July, 1995.


LETTER OF NO OBJECTION

RE: Administrative Variance for Lot 49, RIO VISTA  
SUBDIVISION, according to the Plat thereof recorded  
in Plat Book 6, Page 95, public records of Martin  
County, Florida, and also described as 19 Rio Vista  
Drive, Stuart, Florida

The undersigned is owner of Lot 55, RIO VISTA SUBDIVISION, being  
one of the lots contiguous to the above described lot. I have no  
objection to the granting of an administrative variance in  
connection with the following set-back encroachments:

- a. Northeast side, approximately 0.24 feet
- b. Southwest side, approximately 0.08 feet
- c. Front approximately, 0.16 feet

Dated this 26<sup>th</sup> day of July, 1995.

  
\_\_\_\_\_  
JOHN A. HETHERINGTON

LETTER OF NO OBJECTION

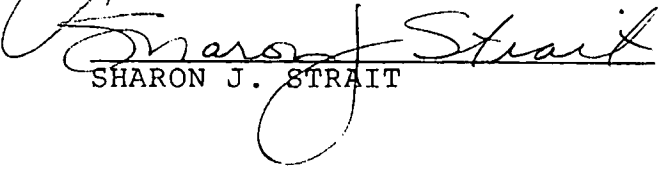
RE: Administrative Variance for Lot 49, RIO VISTA  
SUBDIVISION, according to the Plat thereof recorded  
in Plat Book 6, Page 95, public records of Martin  
County, Florida, and also described as 19 Rio Vista  
Drive, Stuart, Florida

The undersigned are owners of Lot 50, RIO VISTA SUBDIVISION,  
being one of the lots contiguous to the above described lot. We  
have no objection to the granting of an administrative variance  
in connection with the following set-back encroachments:

- a. Northeast side, approximately 0.24 feet
- b. Southwest side, approximately 0.08 feet
- c. Front approximately, 0.16 feet

Dated this 26<sup>th</sup> day of July, 1995.

  
\_\_\_\_\_  
JAMES C. STRAIT

  
\_\_\_\_\_  
SHARON J. STRAIT



LETTER OF NO OBJECTION

RE: Administrative Variance for Lot 49, RIO VISTA  
SUBDIVISION, according to the Plat thereof recorded  
in Plat Book 6, Page 95, public records of Martin  
County, Florida, and also described as 19 Rio Vista  
Drive, Stuart, Florida

The undersigned are owners of Lot 54, RIO VISTA SUBDIVISION,  
being one of the lots contiguous to the above described lot. We  
have no objection to the granting of an administrative variance  
in connection with the following set-back encroachments:

- a. Northeast side, approximately 0.24 feet
- b. Southwest side, approximately 0.08 feet
- c. Front approximately, 0.16 feet

Dated this 26 day of July, 1995.

  
\_\_\_\_\_  
ANTHONY MACRI

\_\_\_\_\_  
MARGARET MACRI  
DECEASED


LETTER OF NO OBJECTION

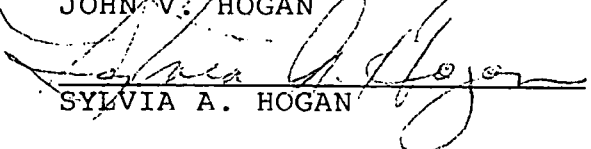
RE: Administrative Variance for Lot 49, RIO VISTA  
SUBDIVISION, according to the Plat thereof recorded  
in Plat Book 6, Page 95, public records of Martin  
County, Florida, and also described as 19 Rio Vista  
Drive, Stuart, Florida

The undersigned are owners of Lot 47, RIO VISTA SUBDIVISION,  
being one of the lots contiguous to the above described lot. We  
have not objection to the granting of an administrative variance  
in connection with the following set-back encroachments:

- a. Northeast side, approximately 0.24 feet
- b. Southwest side, approximately 0.08 feet
- c. Front approximately, 0.16 feet

Dated this 27 day of July, 1995.

  
\_\_\_\_\_  
JOHN V. HOGAN

  
\_\_\_\_\_  
SYLVIA A. HOGAN

CERTIFICATE

I, JOHN E. PREWITT, hereby certify:

1. I am a duly licensed and practicing attorney in the State of Florida.

2. I have examined title to Lot 49, RIO VISTA SUBDIVISION, according to the Plat thereof recorded in Plat Book 6, Page 95, public records of Martin County, Florida, and as of June 14, 1995, title was vested in BRUCE S. McDONELL.

3. I have checked the Martin County Property Appraiser's tax roll for 1994 and it shows the following owners of the lots adjacent to the subject property:

Lot 47 John V. and Sylvia A. Hogan  
100 South River Road  
Stuart, FL 34996

Lot 48 Ethel M. Vasko  
98 South River Road  
Stuart, FL 34996

Lot 50 James C. and Sharon J. Strait  
17 Rio Vista Drive  
Stuart, FL 34996

Lot 54 Anthony and Margaret Macri  
6 Admiral's Walk  
Stuart, FL 34996

Lot 55 John A. Hetherington  
8 Admiral's Walk  
Stuart, FL 34996

Dated this 25 day of July, 1995.

*John E. Prewitt*  
\_\_\_\_\_  
JOHN E. PREWITT

STATE OF FLORIDA  
COUNTY OF MARTIN

The foregoing instrument was acknowledged before me this 25 day of July, 1995 by JOHN E. PREWITT,

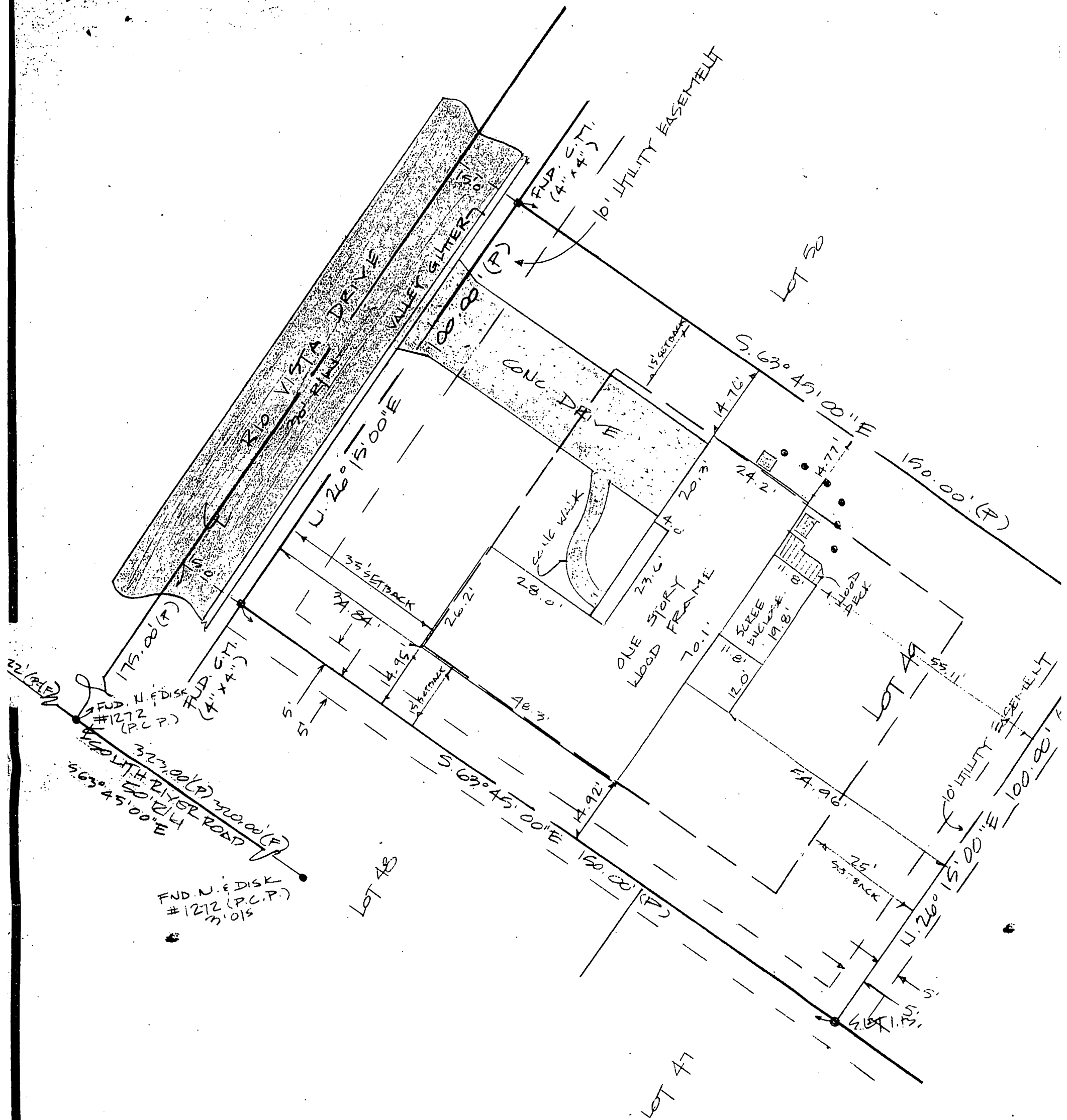
*Patricia I. Motley*  
\_\_\_\_\_  
NOTARY PUBLIC  
My Commission Expires:

(SEAL)



\_\_\_\_\_  
Printed Name of Notary

Personally known X or produced identification \_\_\_\_\_  
Type of identification produced \_\_\_\_\_



CITY SEWER & WATER AVAILABLE

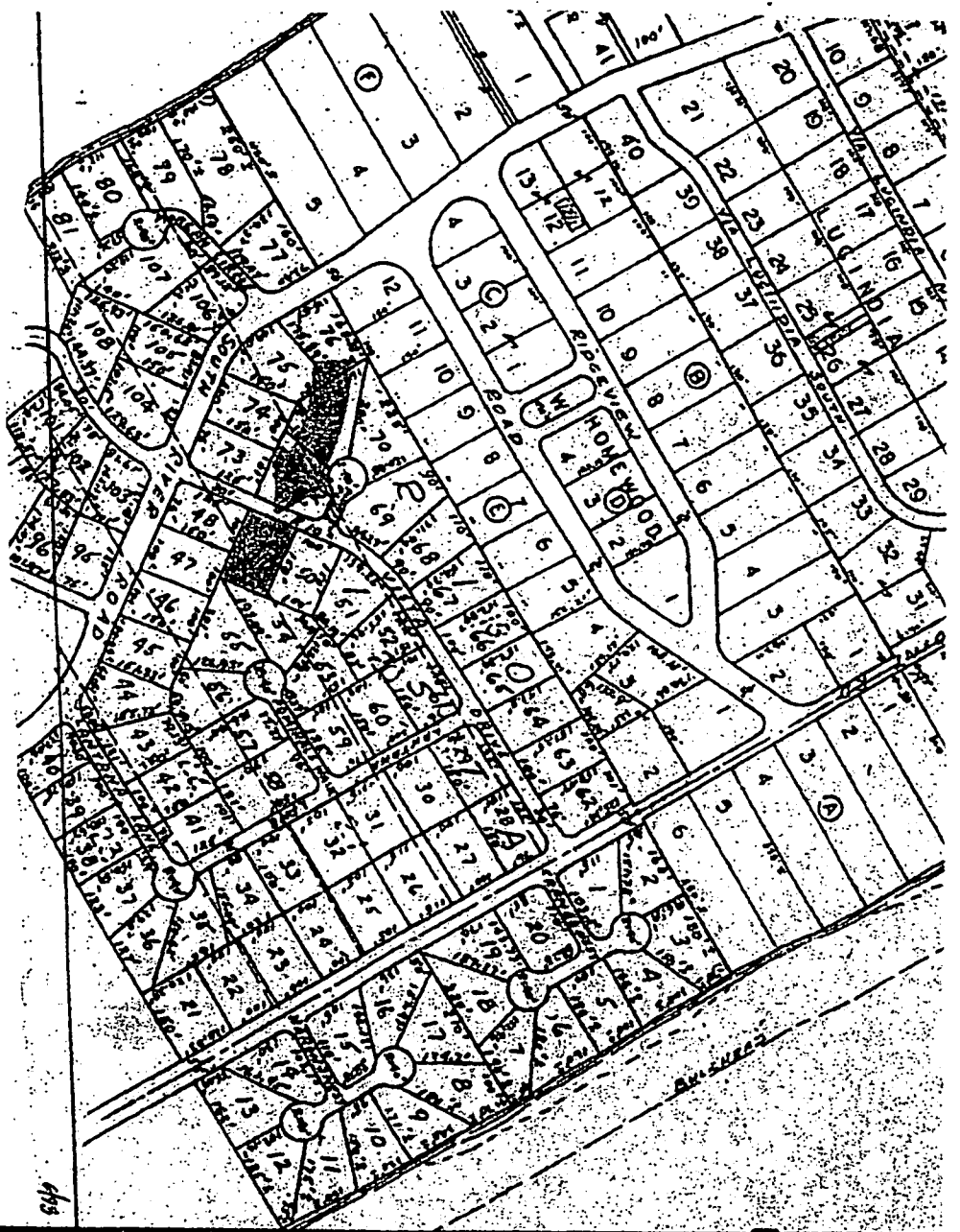
1. PROPERTY LOCATED WITHIN FLOOD ZONE "C"
2. PROPERTY ADDRESS: 19 RIO VISTA DRIVE
3. CERTIFIED TO: DONALD E. & LINDA G. HOUSTON  
ATTORNEYS TITLE INSURANCE FUND, INC.  
OUGHTERSON, OUGHTERSON, PREWITT  
& SUNDHEIM, P. A. BARNETT BANK OF  
PALM BEACH COUNTY  
TOWN OF SEWALL'S POINT

**NOTES:**

1. Survey of description as furnished by Client
2. Lands shown hereon were not abstracted for and/or rights-of-way of record.  
(P) Denotes distance or bearing by description  
(F) Denotes measured distance or bearing.  
(C) Denotes calculated distance or bearing.
3. All bearings are referenced to the instrument as shown hereon, unless otherwise noted.
4. Elevations shown hereon are relative to National Vertical Datum of 1929, and are based on the same.
5. There are no above ground encroachments, unless otherwise noted.

SET I.B. - SET 5/8 IRON BAR & CAP #4049  
 FND. - FOUND OBJECT  
 I.P. - IRON PIPE  
 C.M. - CONCRETE MONUMENT  
 I.B. - IRON BAR  
 P.K. - P.K. MAIL  
 R.R.S. - RAILROAD SPIKE  
 OHW - OVERHEAD  
 - - - - - DRAINAGE  
 M.H. - MANHOLE  
 P.P. - POINT OF BEGINNING  
 C.B. - CATCH BASIN

P.O.C. - POINT OF COMMENCEMENT



LOCATION MAP

LEGAL DESCRIPTION

KNOWN AS LOT 49, RIO VISTA  
 SUBDIVISION, AS RECORDED IN PLAT  
 BOOK 6, PAGE 95, PUBLIC RECORDS OF  
 MARTIN COUNTY, FLORIDA.

SURVEYOR'S CERTIFICATE

WE HEREBY CERTIFY THAT THE BOUNDARY SURVEY AS SHOWN  
 HEREON IS TRUE AND CORRECT TO THE BEST OF OUR KNOWLEDGE  
 AND BELIEF AS SURVEYED UNDER OUR DIRECTION. WE FURTHER  
 CERTIFY THAT IT MEETS THE MINIMUM TECHNICAL STANDARDS  
 UNDER RULE 6G17-6 FLA. ADMINISTRATIVE CODE PURSUANT TO  
 CHAPTER 472.027 FLA. STATUTES. NOT VALID UNLESS  
 SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.

STEPHEN J. BROWN INC.

*Stephen J. Brown*  
 PROFESSIONAL LAND SURVEYOR  
 REGISTRATION NO. 4049, STATE OF FLORIDA

19 Rio Vista Drive

TITLE SURVEY

PREPARED FOR: HOUSTON

**STEPHEN J. BROWN INC.**

SURVEYORS • DESIGNERS • LANDPLANNERS • CONSULTANTS

290 FLORIDA STREET, SUITE "C", STUART, FLORIDA; 34994 (407) 288 - 7176

7/26/95					
SETBACKS					

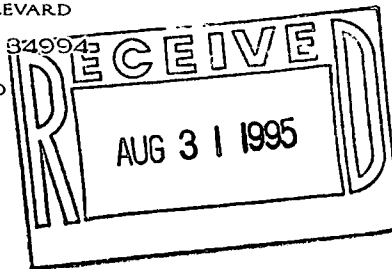
S. J. B.	DRAWN
S. J. B.	CHECKED
07/13/95	DATE
1" = 20'	SCALE
1732-10-01	JOB NO.
ONE	SHEET
ONE	SHEETS

LAW OFFICES  
OUGHTERSON, OUGHTERSON, PREWITT & SUNDHEIM, P.A.

310 SW OCEAN BOULEVARD  
STUART, FLORIDA 34994

(407) 287-0660

WM. A. OUGHTERSON  
JOHN E. PREWITT  
FREDERICK C. SUNDHEIM, JR.



T. T. OUGHTERSON  
(1904-1983)  
FAX (407) 287-0422

August 30, 1995

Town of Sewall's Point  
ATTN: Joan  
One South Sewall's Point Road  
Stuart FL 34996

RE: Lot 49, RIO VISTA SUBDIVISION  
Bruce S. McDonell sale to Houson

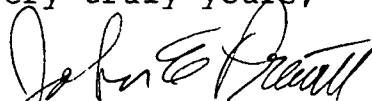
Dear Joan:

I am enclosing the original Variance Approval for the above property which has now been recorded in the Martin County public records.

It is my understanding that Mr. McDonell will receive a partial refund of the \$500 variance application fee paid on July 26. The check should be made payable to Bruce S. McDonell and forwarded to me to send directly to my client.

Thank you for your assistance.

Very truly yours,

  
John E. Prewitt  
JEP/pm

Enclosure  
M-767A

*OK  
check for \$250.00  
to*

01129143

95 AUG -2 AM 11:26

Prepared by and return to:  
Town of Sewall's Point  
One South Sewall's Point Road  
Stuart Florida 34996

**TOWN OF SEWALL'S POINT ADMINISTRATIVE  
VARIANCE APPROVAL**

1. Owner of Property: BRUCE S. McDONELL
  
2. Legal Description of Property:  
Lot 49, RIO VISTA SUBDIVISION, according to the Plat thereof as  
recorded in Plat Book 6, Page 95, public records of Martin County,  
Florida.
  
3. Date of Administrative Variance Application: July 26, 1995

Whereas, the Town of Sewall's Point Building Commissioner (the "Building Commissioner") has authority under the Town of Sewall's Point Code of Ordinances to grant administrative variances upon making certain findings of fact; and

Whereas, the Building Commissioner has reviewed an Administrative Variance Application (the "Application") for the Property described above and determined that the Application is complete; and

Whereas, the Building Commissioner has made the appropriate findings of fact and finds that:

(1) The setback violation(s) for the encroachments shown on the survey attached as Exhibit "A" (the "Survey") was/were a good faith error(s) and was/were not intentional; and

(2) The encroachment(s) is/are less than or equal to five percent (5%) of the

setback requirement(s) in effect on the date that the encroachment was first created, or twenty inches (20"), whichever is less; and

(3) No letters of objection to the administrative variance application have been filed by adjacent owners with the Town Clerk; and

(4) The Application meets the conditions of the Town of Sewall's Point Code of Ordinances for an administrative variance.

NOW, THEREFORE, the Town of Sewall's Point hereby grants and approves the Application for an administrative variance for the encroachments shown on the Survey.

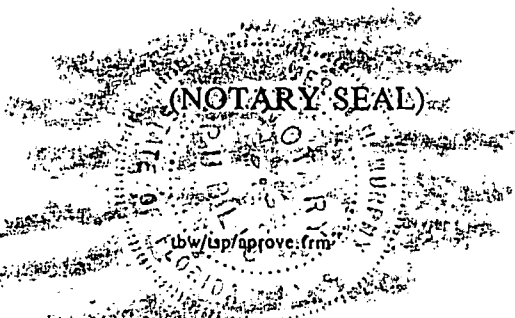
Dated this 27th day of July, 1995.

The Town of Sewell's Point, a  
Florida municipal corporation

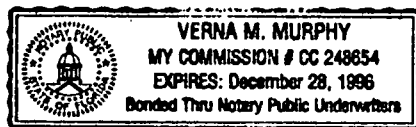
By: [Signature]  
Its: Building Commissioner

STATE OF FLORIDA  
COUNTY OF MARTIN

Sworn to and subscribed before me this 27th day of July, 1995,  
by Vincent A. Tarasso, as Building Commissioner of the Town of Sewall's  
Point, a Florida municipal corporation, who is personally known to me or who has produced  
\_\_\_\_\_ as identification and who did not take an oath.



Verna M. Murphy  
Name: \_\_\_\_\_  
I am a Notary Public of the  
State of Florida and my  
commission expires:  
Dec. 28, 1996





TOWN OF SEWALL'S POINT ADMINISTRATIVE  
VARIANCE APPLICATION FORM

1. Owner of Property: BRUCE S. McDONELL
2. Address of Property: 19 Rio Vista Drive, Stuart, FL 34996
3. Address of Applicant: same
4. Phone No. of Applicant: 287-0660 (his attorney, John E. Prewitt)
5. Length and Location (front, rear, side) of Encroachment (if more than one, please list separately):

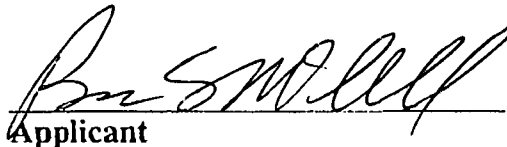
NE side 0.24'; SW side 0.08'; front 0.16'

6. Have you included the following materials with your application? yes

- |                             |   |
|-----------------------------|---|
| A. \$250.00 Filing Fee      | B. \$250.00 Costs Deposit                             |
| C. Certificate of Ownership | D. Certificate of Adjacent Owners                     |
| E. Survey                   | F. Letters of No Objection or Proof of Mailing Notice |

7. Does/do the encroachment(s) result from development under a permit for which a certificate of occupancy was issued prior to March 11, 1992? no

I hereby certify that all of the information above and the application materials I have provided are true and correct:

  
Applicant

Dated this 26 day of July, 1995.

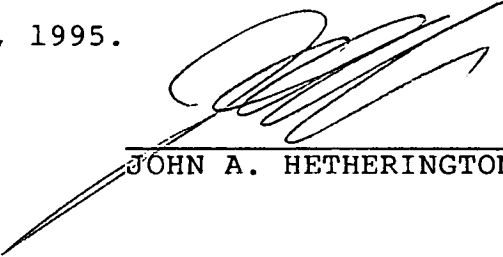
LETTER OF NO OBJECTION

RE: Administrative Variance for Lot 49, RIO VISTA  
SUBDIVISION, according to the Plat thereof recorded  
in Plat Book 6, Page 95, public records of Martin  
County, Florida, and also described as 19 Rio Vista  
Drive, Stuart, Florida

The undersigned is owner of Lot 55, RIO VISTA SUBDIVISION, being  
one of the lots contiguous to the above described lot. I have no  
objection to the granting of an administrative variance in  
connection with the following set-back encroachments:

- a. Northeast side, approximately 0.24 feet
- b. Southwest side, approximately 0.08 feet
- c. Front approximately, 0.16 feet

Dated this 26<sup>th</sup> day of July, 1995.



---

JOHN A. HETHERINGTON

LETTER OF NO OBJECTION

RE: Administrative Variance for Lot 49, RIO VISTA  
SUBDIVISION, according to the Plat thereof recorded  
in Plat Book 6, Page 95, public records of Martin  
County, Florida, and also described as 19 Rio Vista  
Drive, Stuart, Florida

The undersigned are owners of Lot 50, RIO VISTA SUBDIVISION,  
being one of the lots contiguous to the above described lot. We  
have no objection to the granting of an administrative variance  
in connection with the following set-back encroachments:

- a. Northeast side, approximately 0.24 feet
- b. Southwest side, approximately 0.08 feet
- c. Front approximately, 0.16 feet

Dated this 26<sup>th</sup> day of July, 1995.

  
\_\_\_\_\_  
JAMES C. STRAIT

  
\_\_\_\_\_  
SHARON J. STRAIT

LETTER OF NO OBJECTION

RE: Administrative Variance for Lot 49, RIO VISTA  
SUBDIVISION, according to the Plat thereof recorded  
in Plat Book 6, Page 95, public records of Martin  
County, Florida, and also described as 19 Rio Vista  
Drive, Stuart, Florida

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in connection with the following set-back encroachments:

- a. Northeast side, approximately 0.24 feet
- b. Southwest side, approximately 0.08 feet
- c. Front approximately, 0.16 feet

Dated this 26 day of July, 1995.

  
\_\_\_\_\_  
ANTHONY MACRI

\_\_\_\_\_  
MARGARET MACRI  
- DECEASED -

LETTER OF NO OBJECTION

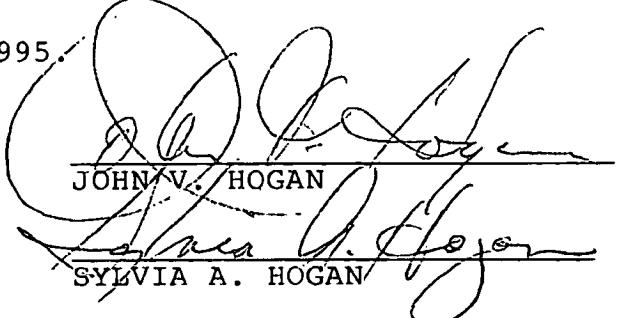
RE: Administrative Variance for Lot 49, RIO VISTA  
SUBDIVISION, according to the Plat thereof recorded  
in Plat Book 6, Page 95, public records of Martin  
County, Florida, and also described as 19 Rio Vista  
Drive, Stuart, Florida

The undersigned are owners of Lot 47, RIO VISTA SUBDIVISION,  
being one of the lots contiguous to the above described lot. We  
have not objection to the granting of an administrative variance  
in connection with the following set-back encroachments:

- a. Northeast side, approximately 0.24 feet
- b. Southwest side, approximately 0.08 feet
- c. Front approximately, 0.16 feet

Dated this 27 day of July, 1995.

  
\_\_\_\_\_  
JOHN V. HOGAN

  
\_\_\_\_\_  
SYLVIA A. HOGAN

CERTIFICATE

I, JOHN E. PREWITT, hereby certify:

- 1. I am a duly licensed and practicing attorney in the State of Florida.
- 2. I have examined title to Lot 49, RIO VISTA SUBDIVISION, according to the Plat thereof recorded in Plat Book 6, Page 95, public records of Martin County, Florida, and as of June 14, 1995, title was vested in BRUCE S. McDONELL.
- 3. I have checked the Martin County Property Appraiser's tax roll for 1994 and it shows the following owners of the lots adjacent to the subject property:

- Lot 47     John V. and Sylvia A. Hogan  
              100 South River Road  
              Stuart, FL 34996
- Lot 48     Ethel M. Vasko  
              98 South River Road  
              Stuart, FL 34996
- Lot 50     James C. and Sharon J. Strait  
              17 Rio Vista Drive  
              Stuart, FL 34996
- Lot 54     Anthony and Margaret Macri  
              6 Admiral's Walk  
              Stuart, FL 34996
- Lot 55     John A. Hetherington  
              8 Admiral's Walk  
              Stuart, FL 34996

Dated this 25 day of July, 1995.

*John E. Prewitt*  
 \_\_\_\_\_  
 JOHN E. PREWITT

STATE OF FLORIDA  
COUNTY OF MARTIN

25 The foregoing instrument was acknowledged before me this day of July, 1995 by JOHN E. PREWITT,

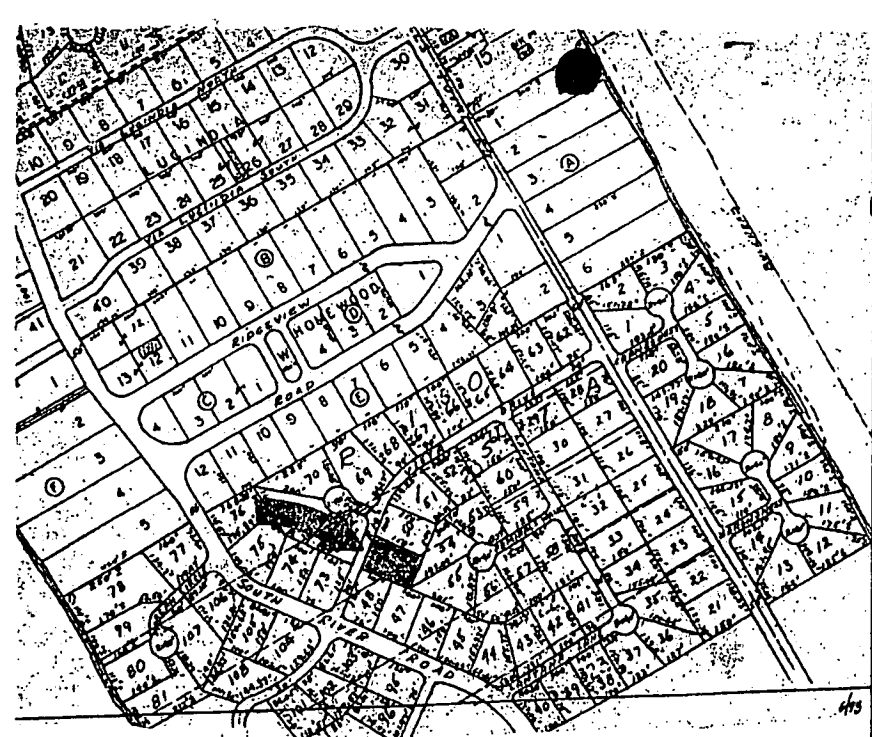
*Patricia I. Motley*  
 \_\_\_\_\_  
 NOTARY PUBLIC  
 My Commission Expires:

(SEAL)



Printed Name of Notary

Personally known X or produced identification \_\_\_\_\_  
Type of identification produced \_\_\_\_\_



LOCATION MAP

LEGAL DESCRIPTION

KNOWN AS LOT 49, RIO VISTA  
 SUBDIVISION, AS RECORDED IN PLAT  
 BOOK 6, PAGE 95, PUBLIC RECORDS OF  
 MARTIN COUNTY, FLORIDA.

SURVEYOR'S CERTIFICATE

WE HEREBY CERTIFY THAT THE BOUNDARY SURVEY AS SHOWN  
 HEREON IS TRUE AND CORRECT TO THE BEST OF OUR KNOWLEDGE  
 AND BELIEF AS SURVEYED UNDER OUR DIRECTION. WE FURTHER  
 CERTIFY THAT IT MEETS THE MINIMUM TECHNICAL STANDARDS  
 UNDER RULE 61G17-6 FLA. ADMINISTRATIVE CODE, PURSUANT TO  
 CHAPTER 472.027 FLA. STATUTES. **NOT VALID, UNLESS  
 SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.**

STEPHEN J. BROWN INC.

*Stephen J. Brown*  
 Stephen J. Brown PROFESSIONAL LAND SURVEYOR  
 REGISTRATION NO. 4049, STATE OF FLORIDA

REVISIONS	BY
7/26/95 SET BACKS	SJ JB

TITLE SURVEY

PREPARED FOR: HOUSTON

STEPHEN J. BROWN INC.

SURVEYORS • DESIGNERS • LANDPLANNERS • CONSULTANTS

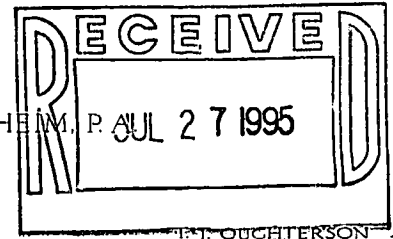
290 FLORIDA STREET, SUITE "C", STUART, FLORIDA: 34994 (407) 288 - 7176

DRAWN	S. J. B.
CHECKED	S. J. B.
DATE	07/13/95
SCALE	1" = 20'
JOB NO.	1732-10-01
SHEET	ONE
OF ONE SHEETS	

LAW OFFICES  
OUGHTERSON, OUGHTERSON, PREWITT & SUNDHEIM  
310 SW OCEAN BOULEVARD  
STUART, FLORIDA 34994

WM. A. OUGHTERSON  
JOHN E. PREWITT  
FREDERICK C. SUNDHEIM, JR.

(407) 287-0660



WM. A. OUGHTERSON  
(1904-1983)  
FAX (407) 287-0422

July 27, 1995

Mr. Dale Brown  
Town of Sewall's Point  
1 South Sewall's Point Road  
Stuart, FL 34996

RE: Lot 49, RIO VISTA SUBDIVISION  
Bruce S. McDonell

Dear Mr. Brown:

Please find enclosed an application for a variance for the above property, together with letters of no objection from four of the five adjacent property owners. Mrs. Vasko, the owner of Lot 48, is currently out of town but will return on Monday, July 31 and will sign at that time.

In addition, I enclose my certificate as to the facts, a survey of the property and a check for the application fee in the amount of \$500.00.

This property is currently scheduled for closing on Tuesday, August 1. Your assistance in obtaining a variance is greatly appreciated.

Very truly yours,

*John E. Prewitt*  
John E. Prewitt  
JEP/pm

Enclosures  
M-767A

*7-28-95  
Mary Ann Loveday  
will have this  
recorded*



Prepared by and return to:  
Town of Sewall's Point  
One South Sewall's Point Road  
Stuart Florida 34996

**TOWN OF SEWALL'S POINT ADMINISTRATIVE**  
**VARIANCE APPROVAL**

1. Owner of Property: BRUCE S. McDONELL

2. Legal Description of Property:

Lot 49, RIO VISTA SUBDIVISION, according to the Plat thereof as  
recorded in Plat Book 6, Page 95, public records of Martin County,  
Florida.

3. Date of Administrative Variance Application: \_\_\_\_\_

Whereas, the Town of Sewall's Point Building Commissioner (the "Building Commissioner") has authority under the Town of Sewall's Point Code of Ordinances to grant administrative variances upon making certain findings of fact; and

Whereas, the Building Commissioner has reviewed an Administrative Variance Application (the "Application") for the Property described above and determined that the Application is complete; and

Whereas, the Building Commissioner has made the appropriate findings of fact and finds that:

(1) The setback violation(s) for the encroachments shown on the survey attached as Exhibit "A" (the "Survey") was/were a good faith error(s) and was/were not intentional; and

(2) The encroachment(s) is/are less than or equal to five percent (5%) of the

setback requirement(s) in effect on the date that the encroachment was first created, or twenty inches (20"), whichever is less; and

(3) No letters of objection to the administrative variance application have been filed by adjacent owners with the Town Clerk; and

(4) The Application meets the conditions of the Town of Sewall's Point Code of Ordinances for an administrative variance.

NOW, THEREFORE, the Town of Sewall's Point hereby grants and approves the Application for an administrative variance for the encroachments shown on the Survey.

Dated this 27th day of July, 1995.

The Town of Sewell's Point, a  
Florida municipal corporation

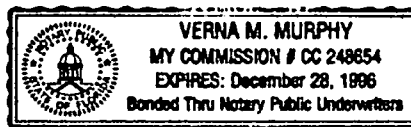
By: [Signature]  
Its: Building Commissioner

STATE OF FLORIDA  
COUNTY OF MARTIN

Sworn to and subscribed before me this 27th day of July, 1995,  
by Vincent A. Torraso, as Building Commissioner of the Town of Sewall's  
Point, a Florida municipal corporation, who is personally known to me or who has produced  
\_\_\_\_\_ as identification and who did not take an oath.

(NOTARY SEAL)

Verna M. Murphy  
Name: \_\_\_\_\_  
I am a Notary Public of the  
State of Florida and my  
commission expires:  
Dec. 28, 1996



TOWN OF SEWALL'S POINT ADMINISTRATIVE  
VARIANCE APPLICATION FORM

1. Owner of Property: BRUCE S. McDONELL

2. Address of Property: 19 Rio Vista Drive, Stuart, FL 34996

3. Address of Applicant: same

4. Phone No. of Applicant: 287-0660 (his attorney, John E. Prewitt)

5. Length and Location (front, rear, side) of Encroachment (if more than one, please list separately):

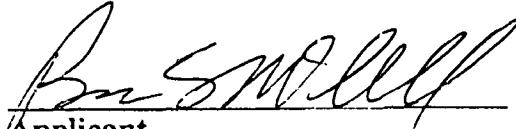
NE side 0.24'; SW side 0.08'; front 0.16'

6. Have you included the following materials with your application? yes

- |                             |   |
|-----------------------------|---|
| A. \$250.00 Filing Fee      | B. \$250.00 Costs Deposit                             |
| C. Certificate of Ownership | D. Certificate of Adjacent Owners                     |
| E. Survey                   | F. Letters of No Objection or Proof of Mailing Notice |

7. Does/do the encroachment(s) result from development under a permit for which a certificate of occupancy was issued prior to March 11, 1992? no

I hereby certify that all of the information above and the application materials I have provided are true and correct:

  
Applicant

Dated this 26 day of July, 1995.


LETTER OF NO OBJECTION

RE: Administrative Variance for Lot 49, RIO VISTA  
SUBDIVISION, according to the Plat thereof recorded  
in Plat Book 6, Page 95, public records of Martin  
County, Florida, and also described as 19 Rio Vista  
Drive, Stuart, Florida

The undersigned is owner of Lot 55, RIO VISTA SUBDIVISION, being  
one of the lots contiguous to the above described lot. I have no  
objection to the granting of an administrative variance in  
connection with the following set-back encroachments:

- a. Northeast side, approximately 0.24 feet
- b. Southwest side, approximately 0.08 feet
- c. Front approximately, 0.16 feet

Dated this 26<sup>th</sup> day of July, 1995.



---

JOHN A. HETHERINGTON

LETTER OF NO OBJECTION

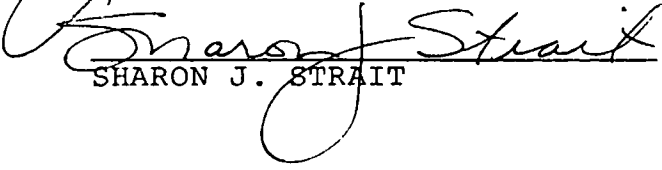
RE: Administrative Variance for Lot 49, RIO VISTA  
SUBDIVISION, according to the Plat thereof recorded  
in Plat Book 6, Page 95, public records of Martin  
County, Florida, and also described as 19 Rio Vista  
Drive, Stuart, Florida

The undersigned are owners of Lot 50, RIO VISTA SUBDIVISION,  
being one of the lots contiguous to the above described lot. We  
have no objection to the granting of an administrative variance  
in connection with the following set-back encroachments:

- a. Northeast side, approximately 0.24 feet
- b. Southwest side, approximately 0.08 feet
- c. Front approximately, 0.16 feet

Dated this 26<sup>th</sup> day of July, 1995.

  
\_\_\_\_\_  
JAMES C. STRAIT

  
\_\_\_\_\_  
SHARON J. STRAIT

LETTER OF NO OBJECTION

RE: Administrative Variance for Lot 49, RIO VISTA  
SUBDIVISION, according to the Plat thereof recorded  
in Plat Book 6, Page 95, public records of Martin  
County, Florida, and also described as 19 Rio Vista  
Drive, Stuart, Florida

The undersigned are owners of Lot 54, RIO VISTA SUBDIVISION,  
being one of the lots contiguous to the above described lot. We  
have no objection to the granting of an administrative variance  
in connection with the following set-back encroachments:

- a. Northeast side, approximately 0.24 feet
- b. Southwest side, approximately 0.08 feet
- c. Front approximately, 0.16 feet

Dated this 26 day of July, 1995.

  
\_\_\_\_\_  
ANTHONY MACRI

\_\_\_\_\_  
MARGARET MACRI  
- DECEASED -


LETTER OF NO OBJECTION

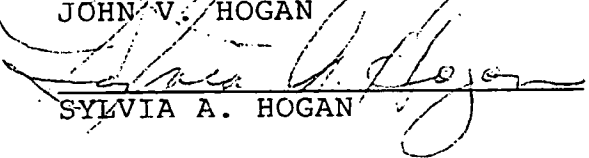
RE: Administrative Variance for Lot 49, RIO VISTA  
SUBDIVISION, according to the Plat thereof recorded  
in Plat Book 6, Page 95, public records of Martin  
County, Florida, and also described as 19 Rio Vista  
Drive, Stuart, Florida

The undersigned are owners of Lot 47, RIO VISTA SUBDIVISION,  
being one of the lots contiguous to the above described lot. We  
have not objection to the granting of an administrative variance  
in connection with the following set-back encroachments:

- a. Northeast side, approximately 0.24 feet
- b. Southwest side, approximately 0.08 feet
- c. Front approximately, 0.16 feet

Dated this 27 day of July, 1995.

  
\_\_\_\_\_  
JOHN V. HOGAN

  
\_\_\_\_\_  
SYLVIA A. HOGAN

CERTIFICATE

I, JOHN E. PREWITT, hereby certify:

1. I am a duly licensed and practicing attorney in the State of Florida.

2. I have examined title to Lot 49, RIO VISTA SUBDIVISION, according to the Plat thereof recorded in Plat Book 6, Page 95, public records of Martin County, Florida, and as of June 14, 1995, title was vested in BRUCE S. McDONELL.

3. I have checked the Martin County Property Appraiser's tax roll for 1994 and it shows the following owners of the lots adjacent to the subject property:

Lot 47 John V. and Sylvia A. Hogan  
100 South River Road  
Stuart, FL 34996

Lot 48 Ethel M. Vasko  
98 South River Road  
Stuart, FL 34996

Lot 50 James C. and Sharon J. Strait  
17 Rio Vista Drive  
Stuart, FL 34996

Lot 54 Anthony and Margaret Macri  
6 Admiral's Walk  
Stuart, FL 34996

Lot 55 John A. Hetherington  
8 Admiral's Walk  
Stuart, FL 34996

Dated this 25 day of July, 1995.

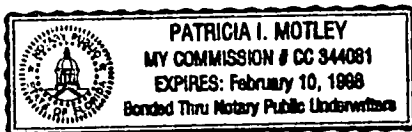
*John E. Prewitt*  
\_\_\_\_\_  
JOHN E. PREWITT

STATE OF FLORIDA  
COUNTY OF MARTIN

The foregoing instrument was acknowledged before me this 25 day of July, 1995 by JOHN E. PREWITT,

*Patricia I. Motley*  
\_\_\_\_\_  
NOTARY PUBLIC  
My Commission Expires:

(SEAL)



\_\_\_\_\_  
Printed Name of Notary

Personally known X or produced identification \_\_\_\_\_  
Type of identification produced \_\_\_\_\_

LAW OFFICES

DOUGHTERSON, DOUGHTERSON,  
PREWITT & SUNDHEIM, P.A.  
310 SW OCEAN BLVD.  
STUART, FLORIDA 34994



LAW OFFICES  
OUGHTERSON, OUGHTERSON, PREWITT & SUNDHEIM, P.A.  
310 SW OCEAN BOULEVARD  
STUART, FLORIDA 34994

WM. A. OUGHTERSON  
JOHN E. PREWITT  
FREDERICK G. SUNDHEIM, JR.

(407) 287-0660

T. T. OUGHTERSON  
(1904-1983)  
FAX (407) 287-0422

July 28, 1995

Mr. Dale Brown  
Town of Sewall's Point  
1 Sewall's Point Road  
Stuart, FL 34996

RE: Lot 49, RIO VISTA

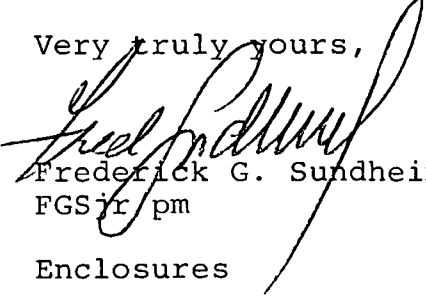
Dear Mr. Brown:

This is to acknowledge that we have received the variance for the above property and that same will be recorded on the public records of Martin County, Florida at the time of closing on August 1.

The original will be returned to you after recording.

Thank you for your assistance.

Very truly yours,

  
Frederick G. Sundheim, Jr.  
FGSjr/pm

Enclosures

# TREE PERMITS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT**

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Michael Ceccarelli Address 19 Rio Vista Dr Phone 772-210-2213

Contractor \_\_\_\_\_ Address \_\_\_\_\_ Phone \_\_\_\_\_

No. of Trees: REMOVE 2 Species: Orchid

No. of Trees: RELOCATE \_\_\_\_\_ Species: \_\_\_\_\_

No. of Trees: REPLACE \_\_\_\_\_ Species: \_\_\_\_\_

\*\*\*ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION\*\*\*

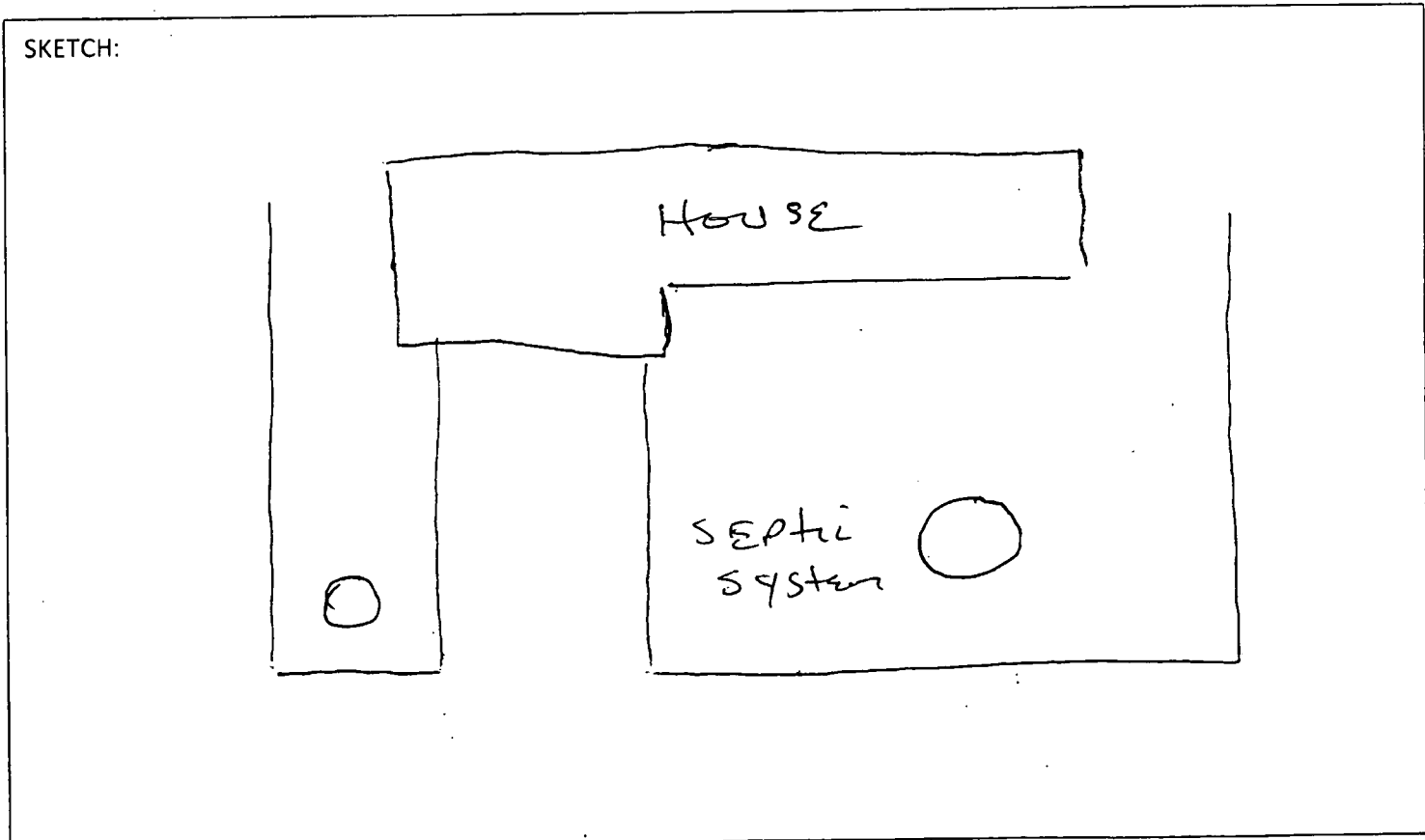
**ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY**

Reason for tree removal/relocation (See notice above) Both ARE diseased. One tree is growing into the septic system

Signature of Property Owner Michael Ceccarelli Date 1/10/13

Approved by Building Inspector: [Signature] Date 1-10-13 Fee: \$15.00

NOTES: \_\_\_\_\_





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT**

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Michael Ceccarelli Address 19 Rio Vista Dr Phone 772-210-2213

Contractor \_\_\_\_\_ Address \_\_\_\_\_ Phone \_\_\_\_\_

No. of Trees: REMOVE 2 Species: Orchid

No. of Trees: RELOCATE \_\_\_\_\_ Species: \_\_\_\_\_

No. of Trees: REPLACE \_\_\_\_\_ Species: \_\_\_\_\_

\*\*\*ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION\*\*\*

**ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY**

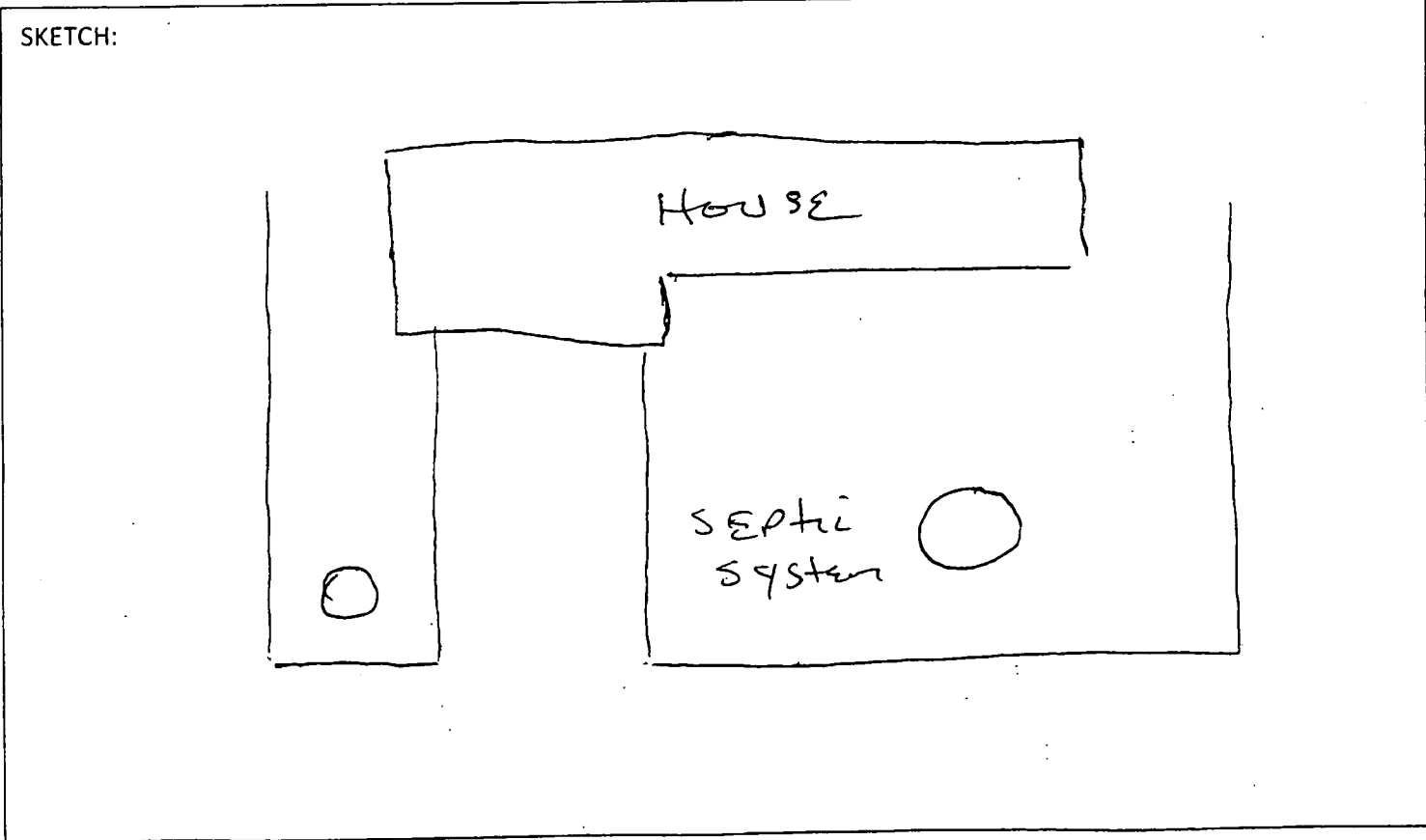
Reason for tree removal/relocation (See notice above) Both are diseased. One tree is growing into the septic system

Signature of Property Owner Michael Ceccarelli Date 1/10/13

Approved by Building Inspector: [Signature] Date 1-10-13 Fee: \$15.00

NOTES: \_\_\_\_\_

[Signature]  
AG#503





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

**TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT**

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Michael Ceccarelli Address 17 Rio Vista Dr Phone 210-2213

Contractor \_\_\_\_\_ Address \_\_\_\_\_ Phone \_\_\_\_\_

No. of Trees: REMOVE \_\_\_\_\_ Species: Trim Banyan Tree

No. of Trees: RELOCATE \_\_\_\_\_ Species: \_\_\_\_\_

No. of Trees: REPLACE \_\_\_\_\_ Species: \_\_\_\_\_

\*\*\*ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION\*\*\*

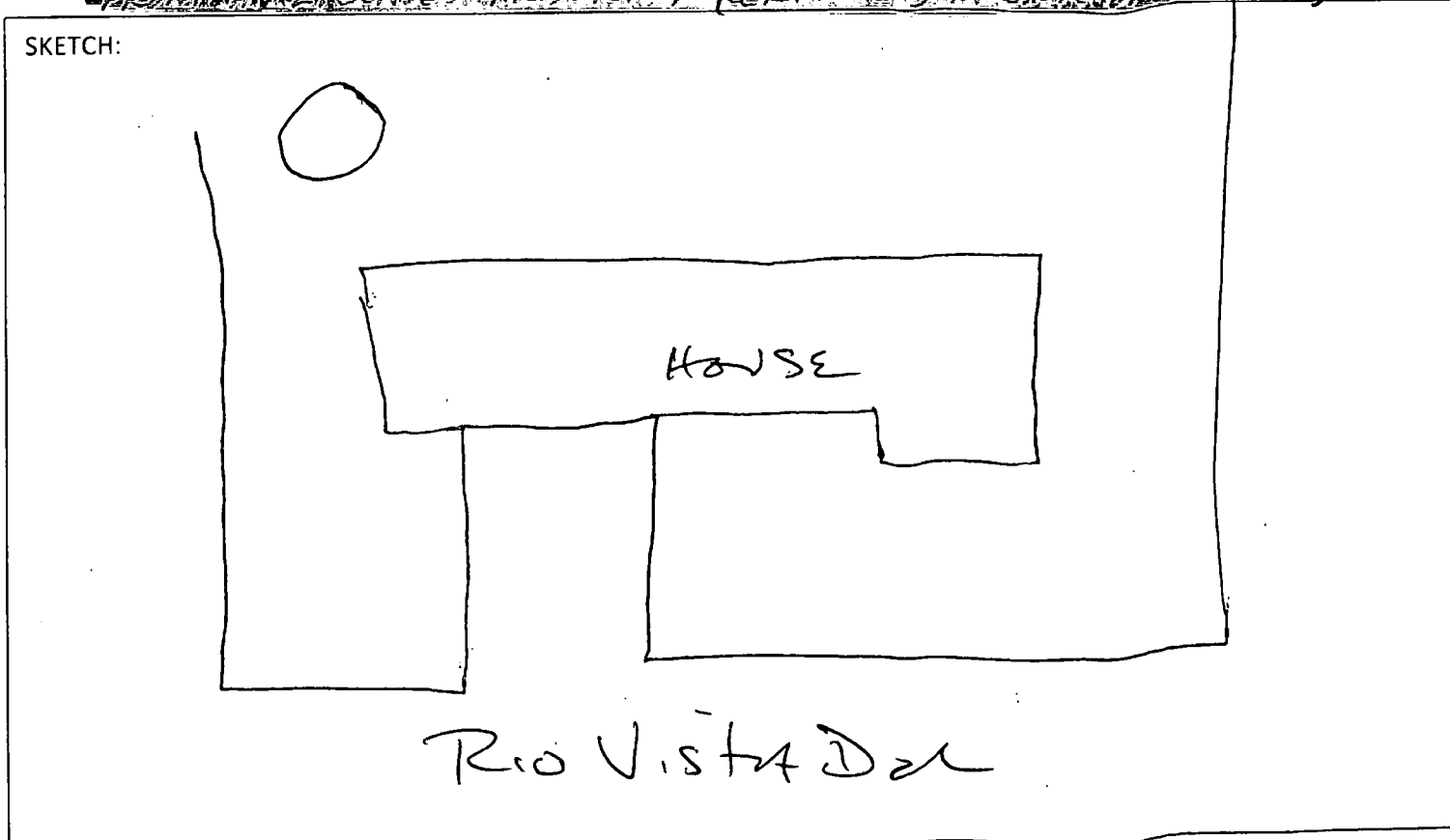
**ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY**

Reason for tree removal /relocation (See notice above) \_\_\_\_\_

Signature of Property Owner Michael Ceccarelli Date 1/10/13

Approved by Building Inspector: [Signature] Date 1-14-13 Fee: N/C

\* NOTES: ~~TRIPPING MORE THAN 25% OF THE CANOPY REQUIRES GUARANTEE FROM A LICENSED ARBORIST (CERTIFIED IN STATE OF FLORIDA)~~



514 South Colorado Avenue  
Stuart, Florida 34994  
Phone: (772) 221-9024  
Fax: (772) 221-9086  
E:Mail -steve@bonnieabrownpa.com



**FAX**

<b>To:</b>	Valerie	<b>From:</b>	Steve Piche'
<b>Fax:</b>	220-4765	<b>Date:</b>	March 13, 2012
<b>Ph:</b>	287-2455 x 13	<b>RE:</b>	Permit/Code/Utility Search

Urgent     For Review     Please Comment     Please Reply     Please Recycle

Please be advised that we are the closing agent for the real estate transaction on the above-referenced property. Please advise if you have any outstanding, pending and/or certified liens, open/outstanding balances and/or open/pending/expired permits for the above referenced property.

~~Address: 101 Rio Vista Drive~~

*No OPEN/PENDING/EXPIRED permits*

Owner: Paul and Peggy Ashley

Parcel Identification Number: 12-38-41-002-000-00490.4000

*Valerie Shryver  
Bldg Dept  
3-13-12*

Thank you in advance for your prompt attention to this matter as we are scheduled to close shortly. Kindly complete and fax back to (772) 221-9086.

Respectfully,

Steve Piche'

As of March 13, 2012 there are no outstanding code violations, etc. on the above property.

*Ann-Marie S. Basler*  
Ann-Marie S. Basler, Town Clerk

Please Note: Town records indicate that the Town of Sewall's Point has no liens or assessments on the referenced property. However, it should be noted that the complete record of liens and assessments on this property is on file with the Martin County Clerk of Circuit Court, PO Box 9016, Stuart, FL 34995-9016.

**TOWN OF SEWALL'S POINT, FLORIDA**

Date 3/27/02 19\_\_ TREE REMOVAL PERMIT No 2020

APPLIED FOR BY Atlantic Nurs. 19 Rio Vista (Contractor) or Owner)

Owner \_\_\_\_\_

Sub-division \_\_\_\_\_, Lot \_\_\_\_\_, Block \_\_\_\_\_

Kind of Trees Gumbo Limbo

No. Of Trees: REMOVE 1

No. Of Trees: RELOCATE \_\_\_\_\_ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE \_\_\_\_\_ WITHIN 30 DAYS

REMARKS Diseased Tree

Signed, \_\_\_\_\_ Applicant

Signed, [Signature]  
Town Clerk  
Bldg. Insp.

FEE \$ 0

**TOWN OF SEWALL'S POINT**

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection  
WORK HOURS 8:00 A.M. - 5:00 P.M.—NO SUNDAY WORK.

**TREE REMOVAL PERMIT**

RE: ORDINANCE 103


PROJECT DESCRIPTION \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

REMARKS \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Permit # 2020

Date Issued: 3/27/02

This application shall include a written statement giving reasons for removal, relocation, or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner LOUIS GARIBAY Address 19 RIO VISTA DR. Phone 223-3404

Contractor <sup>ATLANTA</sup> NURSERY PLUS Address 5609 S.W. GROVE ST. Phone 341-8569  
PALM CITY

Number of trees to be removed (list kinds of trees) GUMBO - LIMBO

Number of trees to be relocated within 30 days (no fee) (list kinds of trees):

Number of trees to be replaced: (list kinds of trees):

Permit Fee \$ 0  
\$15.00

(No permit fee for trees which are relocated on property or lie within a utility easement and are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

Permit good for one year. Fee for renewal of expired permit is \$5.00.

Signature of applicant [Signature] Plans approved as marked \_\_\_\_\_

Approved by Building Inspector [Signature] Date submitted: 3/27/02

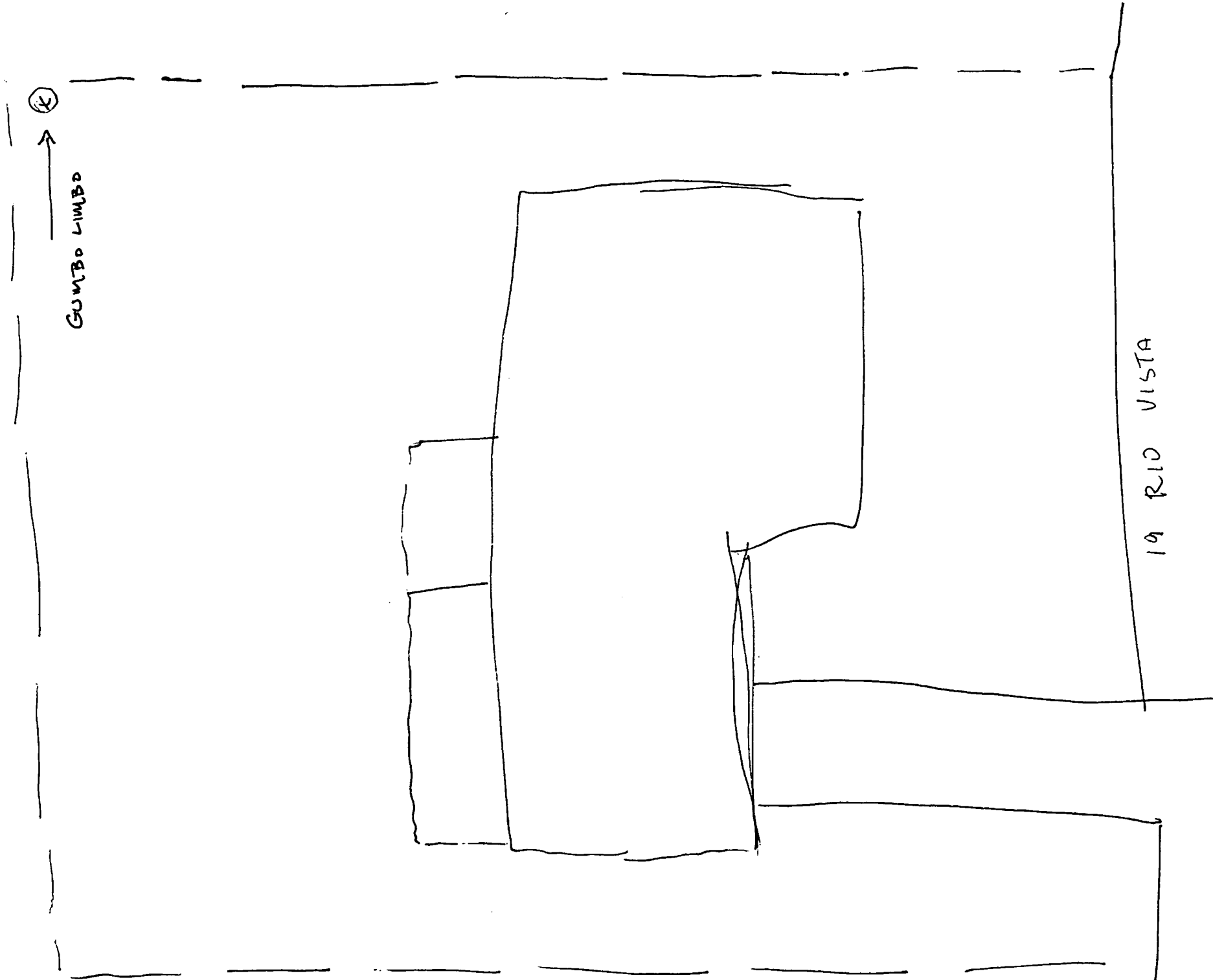
Completed \_\_\_\_\_  
Date Checked by

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT A FEE. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA

See attached Tree Species List





GUMBO LIMBO

19 RIO VISTA



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT**

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Michael Ceccarelli Address 19 Rio Vista Dr Phone 210-2213

Contractor 707 Nursery Inc. Address 925 NE Dixie Hwy Phone 772-334-3178

No. of Trees: REMOVE 1 Species: CANARY ISLAND PALM (RELOCATE)

No. of Trees: RELOCATE \_\_\_\_\_ Species: \_\_\_\_\_

No. of Trees: REPLACE \_\_\_\_\_ Species: \_\_\_\_\_

\*\*\* ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION \*\*\*

**ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY**

Reason for tree removal / relocation (See notice above) PALM IS TOO CLOSE TO HOUSE, AND IS STARTING TO LEAN FROM CONSTANT TRIMMING.

Signature of Property Owner Michael Ceccarelli Date 2/6/15

Approved by Building Inspector: [Signature] Date 2.9.15 Fee: n/a

NOTES \_\_\_\_\_

