

**33 Rio Vista Drive**

**2618**

**SWIMMING POOL**

Permit No. \_\_\_\_\_

Date 9/25/89

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

*2618*

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing setbacks; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Philip Anderson Present Address 2895 S.E. Ocean Blvd.  
C/O Seacoast Construction Stuart, Fla.  
Phone 283-6642

Contractor Olympic Pools Address 1565 S.W. Martin  
Palm City, Fla 34990  
Phone 286-6070

Where licensed State of Fla. / Martin Co. License number CPC039888

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Swimming Pool.

#33 Rio Vista Dr

State the street address at which the proposed structure will be built:

Subdivision Rio Vista Lot number 100 Block number \_\_\_\_\_

Contract price \$ 14,000 Cost of permit \$ \_\_\_\_\_

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor X [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner X [Signature]

TOWN RECORD

Date submitted \_\_\_\_\_ Approved: [Signature] 9/26/89  
Building Inspector Date

Approved: \_\_\_\_\_ Commissioner Date Final Approval given: \_\_\_\_\_ Date

Certificate of Occupancy issued (if applicable) \_\_\_\_\_ Date

SP1282

Permit No. \_\_\_\_\_

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

**2619**

**SFR**

THIS PERMIT MUST BE DISPLAYED IN FRONT OF JOB

DO NOT REMOVE UNTIL JOB IS COMPLETED

OWNER Mrs & Mrs Phillip Anderson

CONTRACTOR SEA COAST CONST CO

LOT 100 BLOCK \_\_\_\_\_ SUB RIO VISTA

NO. 33 RIO VISTA CLINIC

# TOWN OF SEWALL'S POINT BUILDING PERMIT

NO. 2619 DATE ISSUED 9/27/89

Call 287-2455 From 8:00 A.M. - 12:00 Noon and 1:00 P.M. - 4:00 P.M. For Inspections of Items 1 thru 13.

- REQUESTS FOR INSPECTIONS, REQUIRE AT LEAST 24 HOURS NOTICE.
- ALL WORK MUST BE IN COMPLIANCE WITH THE TOWN OF SEWALL'S POINT ORDINANCES, THE SOUTH FLORIDA BUILDING CODE, THE STATE OF FLORIDA ENERGY EFFICIENCY BUILDING CODE AND ELEVATIONS BASED ON THE LATEST FLOOD INSURANCE RATE MAP.
- PORTABLE TOILET FACILITIES MUST BE ON JOB SITE BEFORE INITIAL INSPECTION.
- WORKING HOURS ARE FROM 8:00 TO 5:00 P.M. MONDAY THRU SATURDAY.

REQUIRED INSPECTIONS	INSPECTOR'S FINDING	INSPECTOR'S SIGNATURE
1. LOT STAKES/SET BACKS	9/14/89	
2. TERMITE PROTECTION	10/23/89	
3. FOOTING - SLAB	Footer & Slab OK 10/21/89 DB	
4. ROUGH PLUMBING	OK 9/29/89 DB	
5. ROUGH ELECTRIC	OK 1/25/90 DB	
6. LINTEL	OK 10/20/89 DB OK 11/9/89	
7. ROOF	OK 4/21/90	
8. FRAMING	OK 1/25/90 DB	
9. INSULATION	OK 2/5/90 DB	
10. A/C DUCTS	OK 1/25/90 DB	
11. FINAL ELECTRIC		
12. FINAL PLUMBING		
13. FINAL CONSTRUCTION		

Travis Exterminating Co., Inc.  
 Pest Control - Lawn Spraying - Termite Control  
 P. O. Box 1006 Stuart, Florida 34995  
 Tel: 888-777-7441 689-7111

TO CONSTRUCT New hou:

REMARKS:

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**MARTIN COUNTY PUBLIC HEALTH UNIT**

Your septic system was inspected on 2/7/90  
 HD 89-491

Approved and Cover

Cover but hold for:

- Final Grade (see permit for specifications)
- Well Permit
- Other:

Do not cover, disapproved for the following reasons:

- Well and well reinspection fee \_\_\_\_\_
- Other:

- Final approval will not be given until both septic and water systems are completed.

- Please allow this office two working days to schedule a reinspection. If you have any questions, contact [signature] at 287-2277.

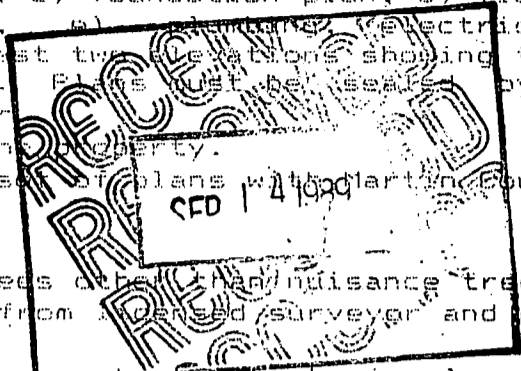
APPLICATION FOR PERMIT TO BUILD A HOUSE OR COMMERCIAL BUILDING

PERMIT NUMBER

DATE OF APPLICATION 8-28-89

To obtain a permit the following are required:

1. Florida certification of builder and sub-contractors.
2. Certification of insurance from contractor or owner/builder re: liability and workers' compensation.
3. Two sets of building plans which must include: a) 1/4" scale building drawings, b) plot plan, c) foundation plan, d) floor plans, e) wall and roof cross-sections, f) plumbing, electrical and air conditioning layouts, g) at least two elevations showing the height of building from finished floor. Plans must be sealed by a Florida registered architect or engineer.
4. Recorded warranty deed to the property.
5. Septic tank permit and one set of plans with Martin County Health Department seal.
6. Energy code calculations.
7. Tree removal permit (for trees other than nuisance trees)
8. Certification of elevation from licensed surveyor and determination of flood zone.
9. Amount of fill anticipated - rough sketch showing location of fill
10. Manufacturer's schedule of windows.



Owner MR. & MRS. PHILIP ANDERSON Current Address 1313 S ANOREWS AVE  
 Telephone 305-525-3629 FT. LAUDERDALE 33316  
 General Contractor SEACOAST CONST. Address 2895 E. OCEAN BLVD.  
 Telephone 283-6642 STUART, FLA.  
 Where Licensed STATE License Number \_\_\_\_\_  
 Plumbing Contractor ATLANTIC License Number \_\_\_\_\_  
 Electrical Contractor RIVERSIDE License Number \_\_\_\_\_  
 Roofing Contractor PANACHE License Number \_\_\_\_\_  
 A/C Contractor SUN COAST A/C License Number \_\_\_\_\_

Describe the building or alterations 22 SINGLE FAMILY RESID.  
 Name the street on which the building, its front building line and its front yard will face NORTH 29 ALVISTO DRIVE  
 Subdivision RIO VISTA Lot 100 Block \_\_\_\_\_  
 Building area (inside walls) 4457 Garage, porch, carport area 1304  
 Contract price (excluding carpet, land, appliances, landscaping) \$ 345,000.00  
 Cost of permit \$ 2,348.00 Plans approved as submitted \_\_\_\_\_ as marked \_\_\_\_\_

- In addition, the following are understood by owner and contractor:
1. Building area inside walls must be a minimum of 1,500 square feet.
  2. Building permit fees are \$5. per \$1,000. of the cost of the building, plus \$20. each for plumbing, electric, a.c. and roof. For example a \$100,000. building x \$5. = \$500. plus \$200. (a.c., pl., el., roof) = \$700. cost of permit + \$365. impact fee = \$1,065. total. Also there is a charge of 1 cent per square foot for radon gas trust fund.
  3. If no contract is submitted as proof as cost, the permit will be based on \$60. per square foot (inside walls) and \$25. per square foot (other areas). Owner-builder cost is 25% higher than the regular fee.
  4. The Town has adopted the South Florida Building Code.
  5. Building permits are issued for one year's duration.
  6. Construction must be started within 180 days or permit will be subject to revocation and forfeiture of fee.
  7. ALL changes in plans must be approved by the Building Department.
  8. Work hours are 8:AM to 5:PM Monday through Friday. NO SUNDAY WORK
  9. Portable toilets must be on all construction sites.

10. Inspections are made Monday through Friday, 8:AM to Noon, 1:PM to 4:PM. 24 hour notice is required prior to all inspections.
11. String lines along property lines to facilitate set back inspections.
12. Before a certificate of occupancy is issued, the following are required:
  - a. An owner's affidavit of building cost (form available) any discrepancy between the original fee and final fee (based on affidavit) will be adjusted.
  - b. Approval of septic tank installation by Martin Co. Health Dept.
  - c. Rough grading and clean up of grounds.
  - d. Affidavit from licensed surveyor showing slab elevation (if in "A" zone).

13. THIS SUMMARY IS NOT A SUBSTITUTE FOR TOWN ORDINANCES. APPROVAL OF THE BUILDING PLANS IN NO WAY RELIEVES THE OWNER OR CONTRACTOR FROM COMPLIANCE WITH TOWN ORDINANCES.

14. In addition to the requirements of this permit there may be additional restrictions applicable to this property that may be found in the public records of this county.

Contractor's Signature John C. Hayward Owner's Signature Philip Anderson  
 Approval by Building Inspector Delebor Date 8/26/89  
 Approval by Building Commissioner Bill Worth Date 8/29/89  
 Certificate of Occupancy issued \_\_\_\_\_ Date \_\_\_\_\_

89-40110

WARRANTY DEED

This Indenture made this 28th day of July, 1989 BETWEEN VICTOR F. deWAAL and DOLORES B. deWAAL, HUSBAND AND WIFE, as Sellers of BOX 54 JERICHO ROAD, E. HAMPTON, N.Y. 11937, GRANTOR\*, and PHILIP ANDERSON and CAROL M. ANDERSON, HUSBAND AND WIFE, as GRANTEE\*, of 1313 S. ANDREWS AVENUE, FT. LAUDERDALE, FL. 33316

WITNESSETH, That said Grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the grantee and grantee's heirs forever the following described land located in the County of MARTIN, State of Florida, to-wit:

LOT 100, RIO VISTA SUBDIVISION, ACCORDING TO THE PLAT THEREOF, FILED DECEMBER 11, 1975, IN PLAT BOOK 6, PAGE 95, MARTIN COUNTY, FLORIDA, PUBLIC RECORDS.

TAX ID # 12-38-41-002-000-01000-5-0000 SUBJECT TO TAXES ACCRUING SUBSEQUENT TO DECEMBER 31, 1988. SUBJECT TO RESTRICTIONS, COVENANTS, CONDITIONS AND ZONING AGREEMENTS OF RECORD.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever. \*Singular and plural are interchangeable as context requires.

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal this day and year first above written.

WITNESSES

[Signature]  
Judith Poppell

[Signature]  
VICTOR F. deWAAL  
[Signature]  
DOLORES B. deWAAL

COUNTY OF FLORIDA  
STATE OF MARTIN

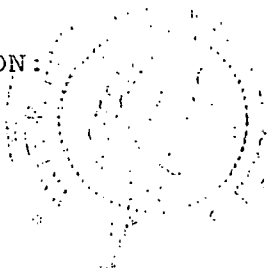
I HEREBY CERTIFY that on this 20th day of JULY, 1989, before me, an officer duly qualified to take acknowledgements, personally appeared: VICTOR F. deWAAL and DOLORES B. deWAAL to me known to be the persons described in and who executed the foregoing instrument and acknowledged before me that they executed the same.

[Signature]

NOTARY PUBLIC  
COMMISSION EXPIRATION:

Prepared by:  
SUN TITLE & ABSTRACT CO.  
SUN TITLE & ABSTRACT CO.  
10 Central Park Way  
Suite 315  
Stuart, Florida 34996

NOTARY PUBLIC  
MY COMMISSION EXPIRES





STATE OF FLORIDA  
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

PSG

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM

PERMIT NUMBER HD89-491 HOME PHONE \_\_\_\_\_  
 NAME OF APPLICANT Seacoast Const WORK PHONE 283-6642  
 MAILING ADDRESS OF APPLICANT 2895 SE. OCEAN BLVD.  
STUART, FLORIDA ZIP CODE 34996  
 LOT 100 BLOCK N/A SUBDIVISION RIO VISTA  
 IF NOT SUBDIVIDED, ATTACH A COMPLETE LEGAL DESCRIPTION  
 PLAT BOOK 6 PAGE 95 DATE SUBDIVIDED DEC. 1975  
 RESIDENTIAL: NUMBER DWELLING UNITS 1 NUMBER BEDROOMS 3  
 LOT SIZE 18400 FT<sup>2</sup> HEATED OR COOLED AREA OF HOME 4457 FT<sup>2</sup>  
 COMMERCIAL: TYPE OF BUSINESS PROPOSED N/A  
 BUILDING SIZE N/A FT<sup>2</sup>

-----AFFIDAVIT-----

I HAVE REVIEWED THIS PERMIT AND I CERTIFY THAT ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT AND ANY APPLICABLE STATE OR COUNTY REGULATIONS.

SIGNATURE OF PROPERTY OWNER OR OWNER'S LEGALLY AUTHORIZED REPRESENTATIVE  
*John C. Reynolds*

-----INSTALLATION SPECIFICATIONS-----

SEPTIC TANK CAPACITY 1050 GALLONS  
 DRAINFIELD SIZE 400 SQUARE FEET  
 DRAINFIELD ROCK MUST BE 5 FEET FROM FRONT OR REAR PROPERTY LINES AND 5 FEET FROM SIDE PROPERTY LINES. EXCAVATION CAN NOT EXTEND MORE THAN FIVE FEET FROM APPROVED INSTALLATION AREA.

SEPTIC TANK IS REQUIRED TO BE AT FINISHED SOIL GRADE, DO NOT EXCEED 18 INCHES OF COVER OVER DRAINFIELD ROCK.

ISSUED BY: A. Capertino DATE 9/14/89  
 MARTIN COUNTY PUBLIC HEALTH UNIT

PLEASE NOTE:

- (1) IF BUILDING CONSTRUCTION DOES NOT START WITHIN ONE YEAR FROM DATE OF ISSUANCE, THIS PERMIT EXPIRES. IF BUILDING CONSTRUCTION STARTS WITHIN 1 YEAR FROM DATE OF ISSUANCE, THE DATE OF EXPIRATION WILL BE EXTENDED AN ADDITIONAL 90 DAYS.
- (2) APPLICANT IS RESPONSIBLE FOR REPLACING EXCAVATED SOILS WITH A GOOD GRADE OF SAND.
- (3) NA REINSPECTION FEE IF WELL NOT INSTALLED AT TIME OF ONSITE SEWAGE DISPOSAL SYSTEM INSPECTION.
- (4) INSPECTION RESULTS WILL BE POSTED ON BUILDING PERMIT OR ON ELECTRICAL BOX.
- (5) IF BUILDING STUBOUT IS PLACED MORE THAN 20 FEET FROM SEPTIC TANK OR DRAINFIELD, A HIGHER STUBOUT ELEVATION THAN SHOWN ABOVE WILL BE REQUIRED.
- (6) IF FILL IS REQUIRED, CONTACT MARTIN COUNTY BUILDING DIVISION.
- (7) IF ANY INFORMATION ON THIS PERMIT CHANGES, AN UPDATED APPLICATION IS REQUIRED.
- (8) IF WELL OR MOUND DRAINFIELD IS PROPOSED, SEE ATTACHED SKETCH OF ADDITIONAL SPECIAL REQUIREMENTS.

-----FINAL INSPECTION-----

CONSTRUCTION APPROVED BY: \_\_\_\_\_ DATE \_\_\_\_\_  
 MARTIN COUNTY PUBLIC HEALTH UNIT

AN APPROVED SYSTEM DOES NOT GUARANTEE PERFORMANCE.





APPLICANT SEACOAST CONST.  
LEGAL DESCRIPTION LOT 100 RIO VISTA S/D

-----SITE INFORMATION-----

1. IS THERE A SEPTIC SYSTEM OR OTHER INTERFERENCE WITHIN 75 FEET OF THE PROPOSED PRIVATE WELL? No
2. IS THERE A POTABLE PRIVATE WELL WITHIN 75 FEET OF THE PROPOSED AVAILABLE AREA FOR THE PROPOSED SEPTIC SYSTEM? No
3. IS THERE AN IRRIGATION WELL WITHIN 50 FEET OF THE AVAILABLE AREA FOR THE PROPOSED SEPTIC SYSTEM? No
4. IS THERE A PUBLIC WELL THAT SERVES LESS THAN 25 PEOPLE OR LESS THAN 15 HOMES WITHIN 100 FEET OF THE PROPOSED SEPTIC SYSTEM? No
5. IS THERE A PUBLIC WELL WHICH SERVES MORE THAN 25 PEOPLE OR MORE THAN 15 HOMES WITHIN 200 FEET OF THE PROPOSED SEPTIC SYSTEM? No
6. IS THERE A GRAVITY SEWER LINE OR LIFT STATION WITHIN 100 FEET OF THE PROPOSED LOT? No
7. IS THERE A LAKE, STREAM, WETLAND, OR SURFACE WATER WITHIN 75 FEET OF THE PROPOSED AVAILABLE AREA FOR THE PROPOSED SEPTIC SYSTEM? No
8. IS THERE A PROPOSED OR EXISTING PUBLIC DRINKING WATER LINE WITHIN 10 FEET OF THE PROPOSED SEPTIC SYSTEM? No
9. IS THERE A STORM WATER RETENTION AREA OR DRAINAGE EASEMENT WITHIN 15 FEET OF THE PROPOSED SEPTIC SYSTEM? No
10. IS THE SEPTIC SYSTEM IN AN AREA PROPOSED FOR PAVING OR VEHICULAR TRAFFIC? No
11. ARE ALL PRIVATE WELLS, SEPTIC SYSTEMS AND SURFACE WATER ON ADJACENT OR CONTIGUOUS LAND WITHIN 75 FEET OF THE APPLICANT'S LOT, IF PRESENT, SHOWN ON PLOT PLAN? Yes
12. ARE ALL PUBLIC WELLS WITHIN 200 FEET OF THE APPLICANT'S LOT, IF PRESENT, SHOWN ON PLOT PLAN? Yes
13. DOES THE PLOT PLAN INCLUDE A PLAT OF THE LOT OR TOTAL SITE OWNERSHIP DRAWN TO SCALE, BOUNDARIES WITH DIMENSIONS, LOCATIONS OF BUILDING OR RESIDENCES, SWIMMING POOLS, RECORDED EASEMENTS, THE PROPOSED SEPTIC SYSTEM, ANY PROPOSED OR EXISTING WELLS, PUBLIC WATER LINES, PAVED AREAS OR DRIVEWAYS, AND SURFACE WATERS SUCH AS LAKES, PONDS, STREAMS, CANALS, OR WETLANDS? Yes
14. THERE IS 1900 SQUARE FEET OF AVAILABLE LAND TO INSTALL THE SEPTIC SYSTEM. THIS AREA EXCLUDES INTERFERENCES. SHADE THIS AVAILABLE AREA ON PLOT PLAN.

-----ELEVATIONS-----

1. CROWN OF ROAD ELEVATION 32.58  SHOW LOCATION ON PLOT PLAN. IF ROAD IS NOT PAVED, BENCHMARK ELEVATION            NGVD SHOW LOCATION ON PLOT PLAN.
2. NATURAL GRADE ELEVATION IN AREA OF PROPOSED SEPTIC SYSTEM 35.0  SHOW LOCATION ON PLOT PLAN.
2. IS BUILDING LOCATED IN FLOOD HAZARD AREA "A" OR "V" AS IDENTIFIED ON FEMA MAPS? No IF YES, WHAT IS THE MINIMUM REQUIRED FLOOD HAZARD FLOOR ELEVATION OF BUILDING?            NGVD.

NOTE: MUST BE CERTIFIED BY A FLORIDA REGISTERED SURVEYOR OF ENGINEER.

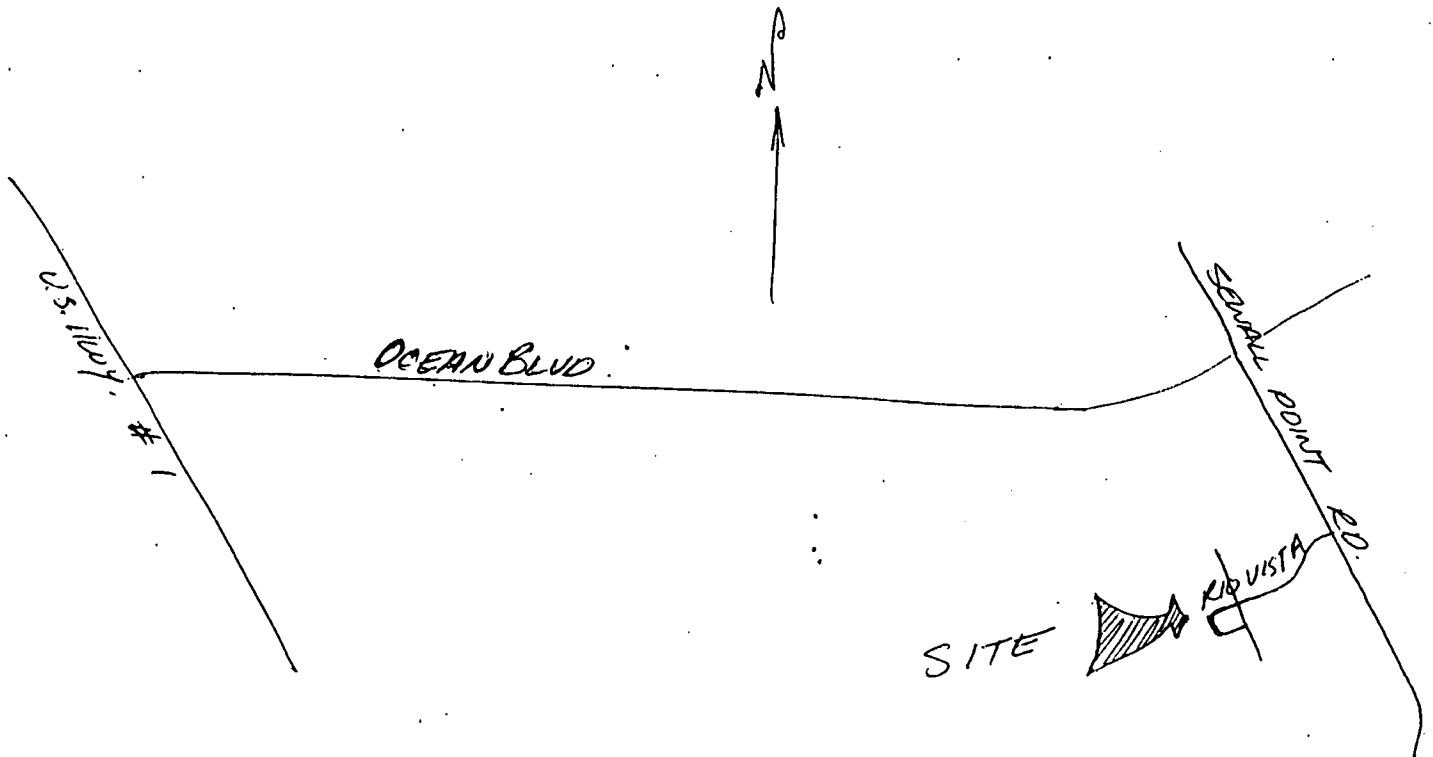
CERTIFIED BY: *Edwin A. ...*  
FL. PROFESSIONAL NO. 3954  
DATE: 9/12/89 JOB NO. 89-228



APPLICANT Sea Coast Const.

LEGAL DESCRIPTION Lot 100 Rio Vista S/D

SITE LOCATION MAP OR  
DETAILED DIRECTIONS TO SITE





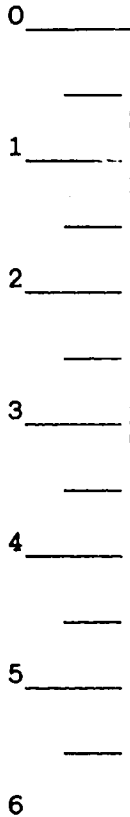
STATE OF FLORIDA  
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

SITE EVALUATION

APPLICANT: Seacoast Const.

LEGAL DESCRIPTION: Lot 100 Rio Vista

SOIL PROFILE



*gray ash silt & sand  
orange sand*

USDA SOIL TYPE Paola

USDA SOIL NUMBER 6

Restrictive soils are present  
at 7.6' below the  
surface.

*Area has been  
excavated to 100 ft  
depth  
at 10 AM on 1/11/88  
and found no site  
evidence.*

Present Water Depth Below Surface > 6'

Wet Season Range per Soil Survey > 6'

Estimated Wet Season Water Depth Below Surface > 6'

Indicator Vegetation Present scrub oak, wild oak, cabbage palm

Is Benchmark Located on Plot Plan and Present on Site? yes

Approximate Amount of Fill on Neighbor Lots None

Depth of Fill in Soil Profile 0'

How Long Has Fill Been Present None

Evaluation by: H.S. [unclear] Date: [unclear]



STATE OF FLORIDA  
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

STUBOUT ELEVATION AND EXCAVATION CERTIFICATION



APPLICANT: Seacrest Const. SEPTIC TANK PERMIT NO. 4089-491  
LEGAL DESCRIPTION: Lot 100 Rio Vista

The items which are checked off below must be certified by a surveyor or engineer and returned to the Martin County Health Unit prior to the first plumbing inspection by the Building Department.

- 1. Building Permit Number: \_\_\_\_\_ .(Certification not required for this item).
- 2. I certify that the elevation of the top of the lowest plumbing stubout is \_\_\_\_\_ inches above benchmark elevation as indicated on septic tank permit.
- 3. I certify that the top of the lowest building plumbing stubout is \_\_\_\_\_ inches above crown of road elevation shown on septic tank permit.
- 4. I certify that all severe limited soil has been removed from an area of \_\_\_\_\_ feet by \_\_\_\_\_ feet to a minimum depth of six(6) feet below top of required stubout elevation. Submit plot plan to scale of excavated area.

Date Observed: \_\_\_\_\_

- 5. I certify that the top of the drainfield pipe elevation is \_\_\_\_\_ .

- NOTE:
- a. Severe limited soil includes but is not limited to hardpan, clay, silt, marl or muck.
  - b. Drainfield must be centered in the excavated area. Drainfield will not be approved if severe limited soils are not removed.

CERTIFIED BY: \_\_\_\_\_

As applicant or applicant's representative, I understand the above requirements.

Date: \_\_\_\_\_ Job Number: \_\_\_\_\_

*John C. Reynolds*  
(Signature)

FOR MARTIN COUNTY PUBLIC HEALTH UNIT USE ONLY

\_\_\_\_\_  
Martin County Health Unit Approval Signature

\_\_\_\_\_  
(Date)

MARTIN COUNTY PUBLIC HEALTH UNIT  
ENVIRONMENTAL HEALTH  
612 SOUTH DIXIE HIGHWAY • STUART, FLORIDA 34994  
Bob Martinez, Governor • Gregory L. Coler, Secretary

Revised 12-7-88

TOWN OF SEWALL'S POINT, FLORIDA  
CERTIFICATE OF APPROVAL FOR OCCUPANCY

RECORD OF INSPECTIONS

Date 6/15/90

This is to request a Certificate of Approval for Occupancy to be issued to Mrs Philip Anderson for a structure built under Permit # 2619  
(Owner of Property)

Subdivision Rio Vista Lot 100 Street Address 29 Rio Vista

when completed in conformance with the approved plans.

Signed (Owner) \_\_\_\_\_

1. Lot Stakes/Set Backs \_\_\_\_\_
2. Termite Protection \_\_\_\_\_
3. Footing - Slab 10/2/80
4. Rough Plumbing 9/28/89
5. Rough Electric 1/28/90
6. Lintel 10/20/89
7. Roof 2/22/90
8. Framing 1/28/90
9. Insulation 2/12/90
10. A/C Ducts 1/28/90
11. Final Electric 6/15/90
12. Final Plumbing 6/15/90
13. Final Construction 6/15/90

Final Inspection for Issuance of Certificate of Occupancy.

Approved by Building Inspector DB 6/15/90 date

Approved by Building Commissioner [Signature] date

Utilities notified F.P.L. 6/15/90 date

Distribution:

original - owner

copies - Town Building Inspector, Deputy Clerk

**3604**

**STORM PANELS**

TAX FORM NO. 3604

DATE \_\_\_\_\_

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Philip and CAROL ANDERSON Present address 33 RIO VISTA DRIVE  
Hm 288-1433  
Phone WK 283-9444 STUART, FL 34996

Contractor GULFSTREAM ALUMINUM Address 197 SE MONTEREY RD  
Phone 407 - 287-6476 STUART, FL 34994

Where licensed MARTIN COUNTY License number MCO 0231

Electrical Contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing Contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: STORM PANELS

State the street address at which the proposed structure will be built:

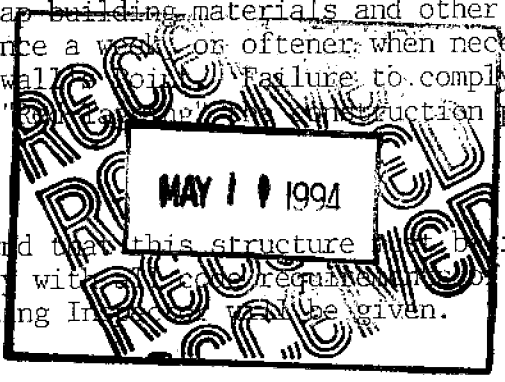
33 RIO VISTA DRIVE, STUART FL  
PARCEL CONTROL # 12-38-91-002-000-01000-5-0000

Subdivision SEWALLS POINT Lot Number \_\_\_\_\_ Block Number \_\_\_\_\_

Contract price \$ 7,530.00 Cost of permit \$ 50.00

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner stopping the construction project.



I understand that this structure must be built in accordance with the approved plans and that it must comply with all regulations of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Contractor [Signature]  
Owner X Carol M. Anderson

TOWN RECORD

Date submitted \_\_\_\_\_ Approved: Dale Brown 5/11/94  
Building Inspector Date

Approved: [Signature] 5/13/94 Final approval given: \_\_\_\_\_  
Commissioner Date Date

CERTIFICATE OF OCCUPANCY issued (if applicable) \_\_\_\_\_  
Date

PERMIT NO. \_\_\_\_\_



STATE OF FLORIDA  
COUNTY OF MARTIN

Permit No. \_\_\_\_\_

Tax Folio No. \_\_\_\_\_ THIS IS TO CERTIFY THAT THIS IS A  
TRUE AND CORRECT COPY OF THE  
ORIGINAL.

NOTICE OF COMMENCEMENT

State of Florida  
County of Martin

MARSHA STILLER, CLERK

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Legal Description of Property (include street address, if available) 33 RIO VISTA DRIVE

12 - 38 - 41 - 002 - 000 - 01000 - 5 - 0000

General Description of Improvements: STORM PANELS

Owner: Philip and CAROL ANDERSON

Address: 33 RIO VISTA DRIVE, STUART, FL 34996

Owner's interest in property: RESIDENCE

Fee Simple Title Holder (if other than owner): \_\_\_\_\_

Address: \_\_\_\_\_

Contractor: JOHN O'BRIEN GULFSTREAM ALUMINUM PRODUCTS INC

Address: 197 SE MONTEREY ROAD, STUART, FL 34994

Surety Co. (if any) \_\_\_\_\_

Address: \_\_\_\_\_ Amt. of Bond \$ \_\_\_\_\_

Lender's Name: \_\_\_\_\_

Address: \_\_\_\_\_

Persons within the State of Florida designated by Owner upon whom notices of other documents may be served as provided by Section 713.13(1) (a) 7., Florida Statutes:

Name: Don't know Statute.

Address: \_\_\_\_\_

In addition to himself, Owner designates \_\_\_\_\_ of

\_\_\_\_\_ to receive a copy of the Lienor's Notice as provided in Section 713.13(1) (b), Florida Statutes.

Expiration date of notice of commencement (the expiration date is 1 year from the date of recording unless a different date is specified) \_\_\_\_\_.

Signature of Owner

Sworn to and subscribed before me this 2<sup>nd</sup> day of May, 1994.

Notary Public

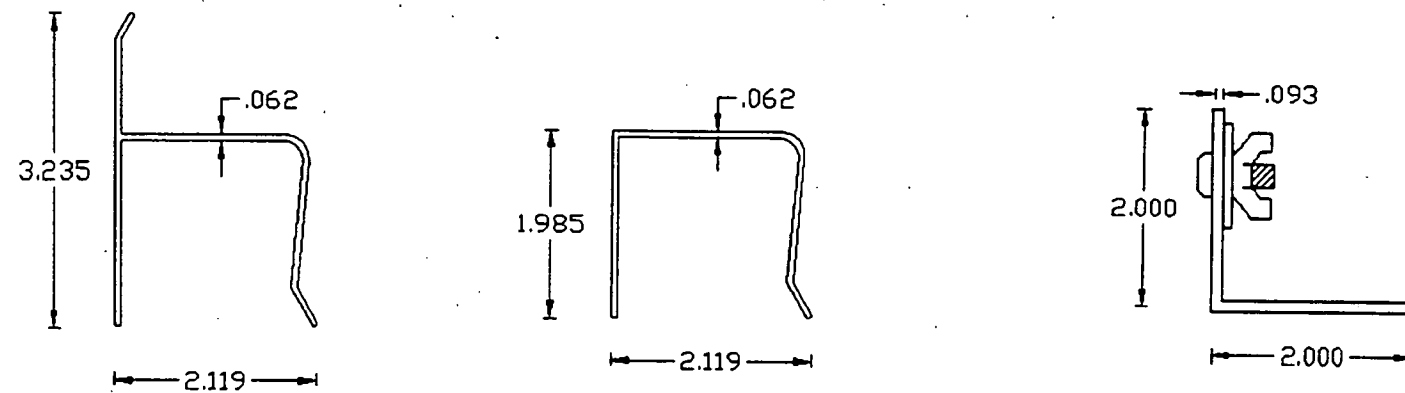
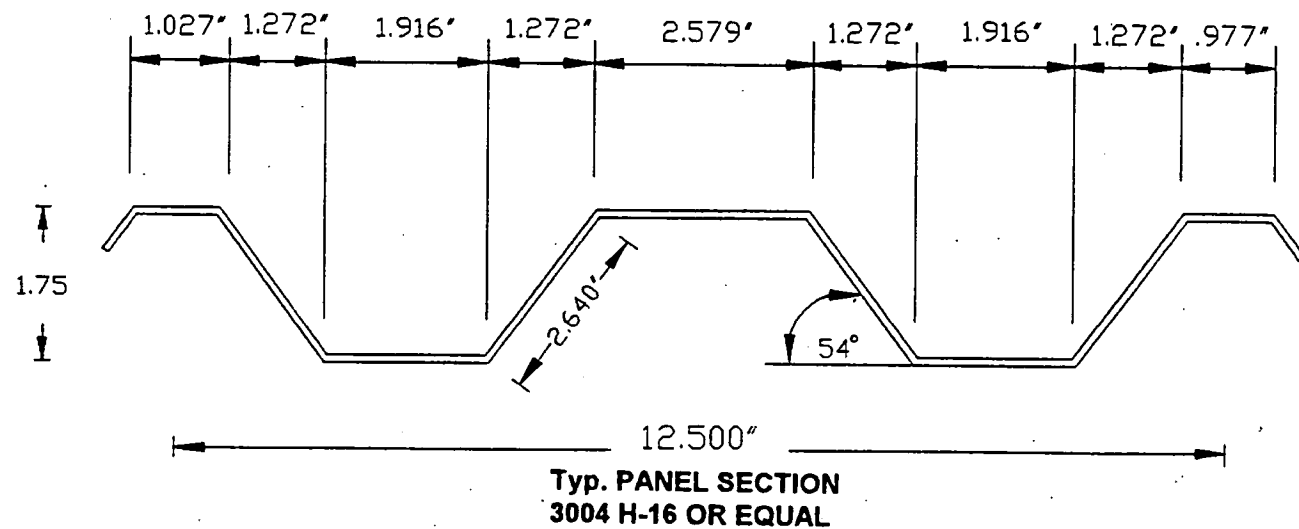
MARILYN J FEDERMEYER  
My Commission CC331185  
Expires Nov. 17, 1997  
Bonded by HAI  
800-422-1555



MARILYN J FEDERMEYER  
My Commission CC331185  
Expires Nov. 17, 1997  
Bonded by HAI  
800-422-1555

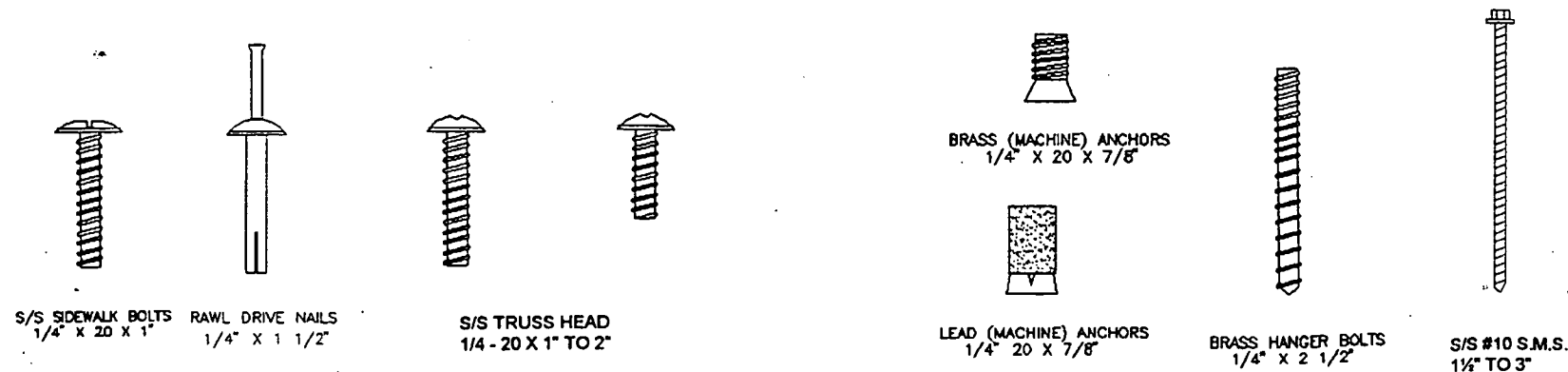


**STORM PANEL  
120 M.P.H. WINDLOAD**



**BASE AND HEADER CONNECTION MEMBERS  
ALUMINUM SECTIONS 6063 T-6**

**TYPICAL INSTALLATION FASTENERS**



**GENERAL INFORMATION**

**Specifications**

The Aluminum Construction Manual, Specifications For Aluminum Structures, the Aluminum Formed Sheet Building Sheathing Design Guide, the Engineering Data For Aluminum Structures, and The Commentary on Specifications For Aluminum Structures, published by the Aluminum Association, Inc. in Washington, D.C. are used as reference material.

Applicable ASTM specifications are designations B209, B211, B234, B241, B247, B308, and B249.

Extrusions used herein shall be 6063 T-6 aluminum, registered with the Aluminum Association, Inc. - Washington, D.C., unless otherwise noted.

**Deflections**

The deflection limits of structural aluminum members set forth shall be applicable, and conform to the Standard Building Code, the South Florida Building Code - maximum of 1" deflection - L/30.

The allowable stresses for aluminum members shall be as given in specifications for Aluminum Structures published by the Aluminum Association, Inc. - Washington, D.C.

**Tolerances**

The specified minimum thickness of extruded aluminum, aluminum coil products, and other applicable materials as detailed shall be the nominal thickness, and is subject to the tolerances published in the Aluminum Standards and Data, Aluminum Association, Washington, D.C.

**Safety Factors**

All engineering calculations used in conjunction with this design shall be based on a safety factor in accordance with table 3.3.3 of the Aluminum Construction Manual Series, section 1.

**Shape Factors**

Non-Coastal zones, class 1 and 2 buildings -1.1.  
Coastal zones, class 1 buildings -(end zones) -1.3  
Coastal zones, class 2 buildings -(end zones) -1.9

All calculations used are based on the South Florida Building Code 1988 Edition, Chapter 23, Section 2303.3 (i) and 2309.2.

**Materials**

Aluminum roll-formed panels shall be 3004-H16 alloy. Steel roll-formed panels shall be galvanized and have ASTM A-525 designation. Aluminum bolts shall be 2024-T4 alloy.

**Dissimilar Materials**

Where the aluminum alloy sections are in contact with, or are fastened to, steel members or other dissimilar materials, the aluminum shall be kept from direct contact with the steel or other dissimilar material painting.

Steel surfaces to be placed in contact with aluminum shall be painted with good quality, non-lead contaminating, priming paint such as zinc chromate primer in accordance with Federal Specification TT-P-645, followed by two coats of paint consisting of two pounds (2 lbs.) of aluminum paste pigment, ASTM Specification D962-66, Type 2, Class B, per gallon of varnish meeting Federal Specification TT-V-81, Type II, or the equivalent. Where severe corrosion conditions are expected, additional protection can be obtained by applying a suitable sealant to the faying surfaces, capable of excluding moisture from the joint during prolonged service in addition to the zinc chromate primer. Aluminized, hot-dip galvanized or electrogalvanized steel placed in contact with aluminum need not be painted. Stainless steel (300 series) placed in contact with aluminum need not be painted except in high chloride containing environments.

Aluminum should not be placed in direct contact with wood, fiberboard or other porous material that may absorb water and cause corrosion. When such contacts cannot be avoided, an insulating barrier between the aluminum and the porous material shall be installed. Aluminum or other coating providing equivalent protection before installation. Aluminum in contact with concrete or masonry should be similarly protected in cases where moisture in present and corrodents can be entrapped between the surfaces.

Prepainted aluminum generally does not need additional painting, even in contact with other materials such as wood, concrete or steel. Under (extreme) corrosive conditions, additional protection may be provided as described in the preceding sections.

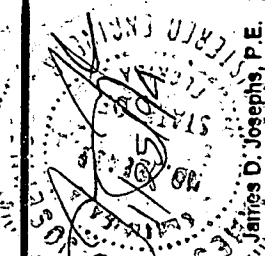
**GENERAL CONSTRUCTION REQUIREMENTS**

All fastenings, unless specified differently, shall be a maximum of twenty four inches (24") on center. Aluminum, hot-dip galvanized, electro-galvanized, aluminized steel, 300 series stainless steel, or corrosion resistant fasteners may be used, or as specified by local codes and ordinances.

Concrete anchors must be embedded a minimum of one and one quarter inches (1-1/4") into the structural concrete, and tightened properly. A longer fastener shall be required in the event that deck toppings, coatings, tile, brick or pavers are used, as these surfaces do not have to required holding ability.

Anchor types shown shall meet or exceed the safe working values as specified by the manufacturer. Any substitutions must follow these requirements.

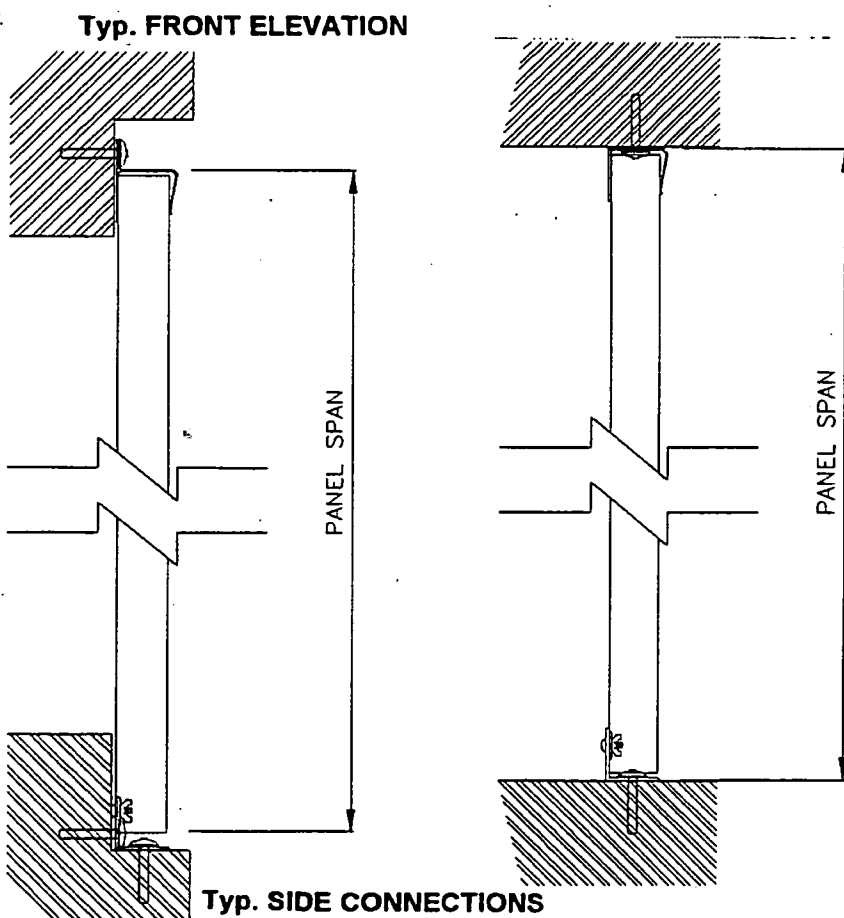
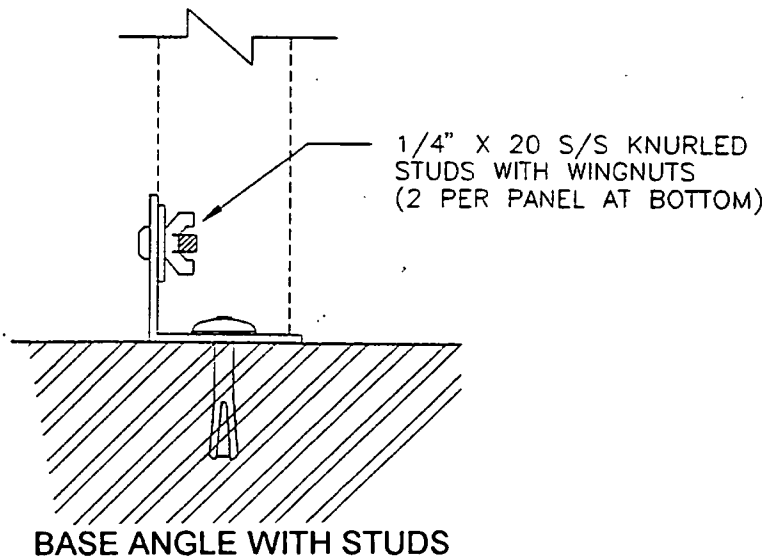
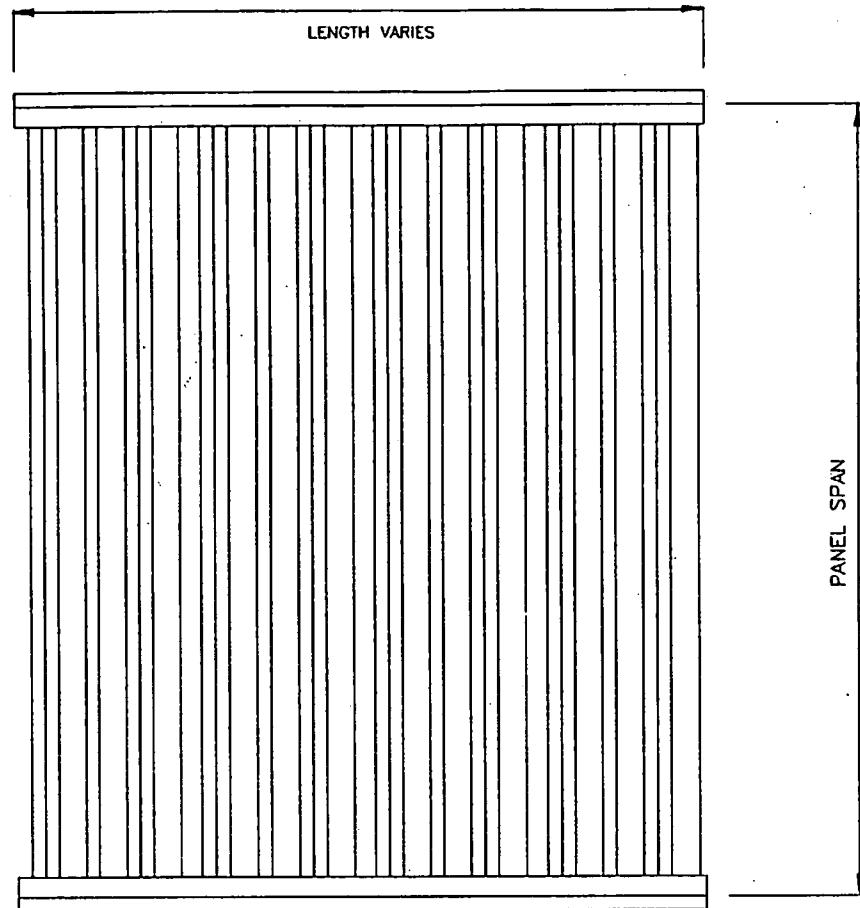
Any fastener stripped or not adequately holding must be replaced.



Page 1 of 2  
**Gulfstream**  
ALUMINUM  
PRODUCTS, INC.  
197 SE Monterey Road  
Stuart, FL 34994

AL-1, INC.  
CIVIL, STRUCTURAL  
ENGINEERING  
AL-1, Inc.  
258 West Miami Ave. Venice, FL 34285 813-486-6322

Revisions				
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**ANCHOR SPACING TABLE**

Height Above Grade	Anchor Spacing
0' - 25'	15" O/C
35' - 55'	16" O/C
55' - 100'	14" O/C

**STORM PANEL SPAN TABLE  
120 M.P.H. WINDLOAD**

HEIGHT ABOVE GRADE	NON - COASTAL ZONES		
	ALUMINUM		STEEL
	.040"	.050"	20 GA.
0' - 15'	8' - 0"	8' - 7"	10' - 5"
15' - 25'	7' - 7"	8' - 2"	9' - 11"
25' - 35'	7' - 5"	7' - 11"	9' - 8"
35' - 55'	7' - 3"	7' - 8"	9' - 5"
55' - 60'	7' - 0"	7' - 6"	9' - 1"

HEIGHT ABOVE GRADE	COASTAL ZONES		
	ALUMINUM		STEEL
	.040"	.050"	20 GA.
0' - 15'	7' - 8"	8' - 3"	10' - 0"
15' - 25'	7' - 4"	7' - 10"	9' - 6"
25' - 35'	7' - 1"	7' - 7"	9' - 3"
35' - 55'	6' - 11"	7' - 5"	8' - 11"
55' - 60'	6' - 9"	7' - 2"	8' - 5"

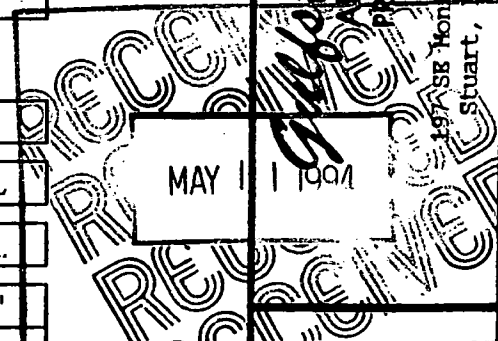
TABLE BASED ON MAX. OF 1" DEFELECTION, L/30, 120 M.P.H. AS PER S.F.B.C. - SECTION 2303.3 (I) AND 2309.2. SHAPE FACTORS OF - 1.1 AND - 1.3 (END ZONE ONLY) FOR CLASS I BUILDINGS.

NOTE: STORM PANELS MAY BE INSTALLED HORIZONTALLY

SPECIFICATIONS COMPLY TO THE REQUIREMENTS OF SECTION 1205 OF THE 1991 STANDARD BUILDING CODE

HEIGHT ABOVE GRADE	COASTAL ZONES - 140 MPH		
	ALUMINUM		STEEL
	.040"	.050"	20 GA.
0' - 15'	6' - 7"	7' - 10"	9' - 4"
15' - 25'	6' - 1"	7' - 2"	8' - 9"
25' - 35'	5' - 9"	6' - 9"	8' - 4"
35' - 55'	5' - 4"	6' - 3"	7' - 9"
55' - 60'	5' - 3"	6' - 2"	7' - 8"

*OK 5/11/94 DB*



James D. Joseph, P.E.

Page 2 of 2

**Aluminum Products, Inc.**  
1975B Monterey Road  
Stuart, FL 34994

**AL-1, INC.**  
CIVIL, STRUCTURAL  
ENGINEERING  
813-485-6322

**AL-1 Inc.**  
258 West Miami Ave. Venice, FL 34285

Revisions  
140 MPH ADDED 1/25/94

**4298**  
**SCREEN**  
**ENCLOSURE**

MASTER PERMIT NO. \_\_\_\_\_

**TOWN OF SEWALL'S POINT**

Date 12/10/97 **BUILDING PERMIT NO. 4299**  
 Building to be erected for ALISON CRANE Type of Permit SCREEN ENCL  
 Applied for by PIONEER SCREEN (Contractor) Building Fee \_\_\_\_\_  
 Subdivision ARENIPPELLIGO Lot 23 Block \_\_\_\_\_ Radon Fee \_\_\_\_\_  
 Address 2 TIMON STREET Impact Fee \_\_\_\_\_  
 Type of structure SCREEN ENCL A/C Fee \_\_\_\_\_  
(NEEDS NOTICE of COMMENCEMENT) Electrical Fee \_\_\_\_\_  
 Parcel Control Number: Plumbing Fee \_\_\_\_\_  
13-38-41-001-000-00230-80000 Roofing Fee \_\_\_\_\_  
 Amount Paid 100 Check # 1603 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) 100  
 Total Construction Cost \$ 3485 TOTAL Fees 100

Signed \_\_\_\_\_ Signed [Signature]  
 Applicant Town Building Inspector

MASTER PERMIT NO. \_\_\_\_\_

**TOWN OF SEWALL'S POINT**

Date 12/10/97 **BUILDING PERMIT NO. 4298**  
 Building to be erected for PHILIP & CAROL ANDERSON Type of Permit SCREEN ENCL  
 Applied for by PIONEER SCREEN (Contractor) Building Fee \_\_\_\_\_  
 Subdivision RIO VISTA Lot 100 Block \_\_\_\_\_ Radon Fee \_\_\_\_\_  
 Address 33 RIO VISTA Impact Fee \_\_\_\_\_  
 Type of structure Sc A/C Fee \_\_\_\_\_  
(NEEDS NOTICE of COMMENCEMENT) Electrical Fee \_\_\_\_\_  
 Parcel Control Number: Plumbing Fee \_\_\_\_\_  
1238410020000100050000 Roofing Fee \_\_\_\_\_  
 Amount Paid 100 Check # 16303 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_  
 Total Construction Cost \$ 5900 TOTAL Fees 100

Signed \_\_\_\_\_ Signed [Signature]  
 Applicant Town Building Inspector



**PIONEER SCREEN CO., INC.**  
 9011 S.W. OLD KANSAS AVENUE  
 STUART, FLORIDA 34997  
 (561) 283-9197

DATE	INVOICE	AMOUNT

63-643  
670

No 16303

PAY AMOUNT Two hundred dollars 00/100 DOLLARS  
 DATE 12/10/97 TO THE ORDER OF Town of Sewalls Point DESCRIPTION Permi CHECK NO. 16303 CHECK AMOUNT \$ 200.00  
[Signature]

TAX FOLIO NO. \_\_\_\_\_

DATE 12-2-97

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Philip Anderson Present address 33 Rio Vista  
Phone \_\_\_\_\_ Stuart FL 34997

Contractor Pioneer Screen Address 9011 SW Old Kansas  
Phone 283-9197 (Kerri) Stuart FL 34997

Where licensed State License number SCCO46064

Electrical Contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing Contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Screen enclosure over  
pool and concrete extension

State the street address at which the proposed structure will be built:  
33 Rio Vista

Subdivision Rio Vista Lot Number 100 Block Number \_\_\_\_\_

Contract price \$ 5900.00 Cost of permit \$ \_\_\_\_\_

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-Tagging" the construction project.

Contractor Craig Rice

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Craig Rice

TOWN RECORD

Date submitted \_\_\_\_\_ Approved: \_\_\_\_\_  
Building Inspector Date

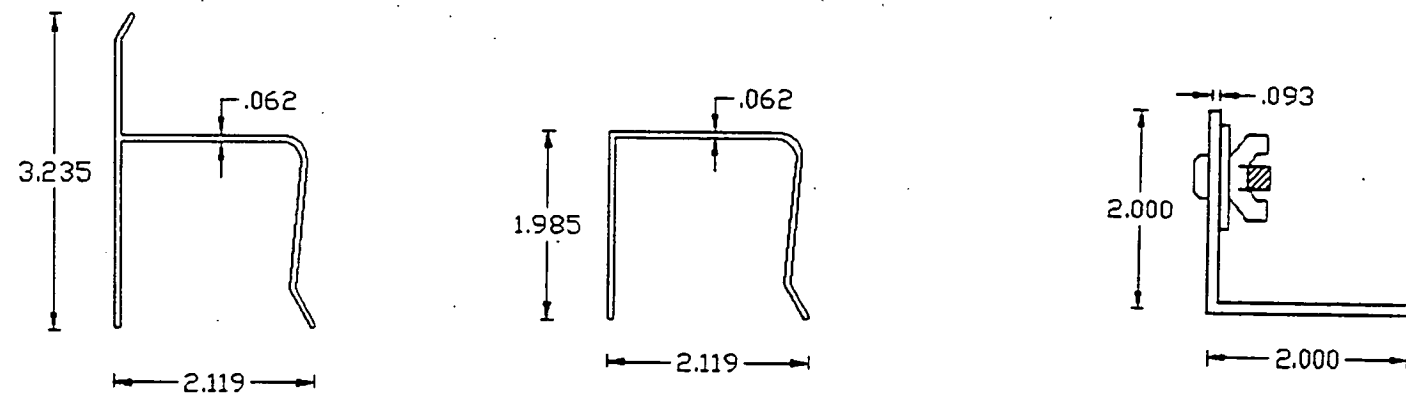
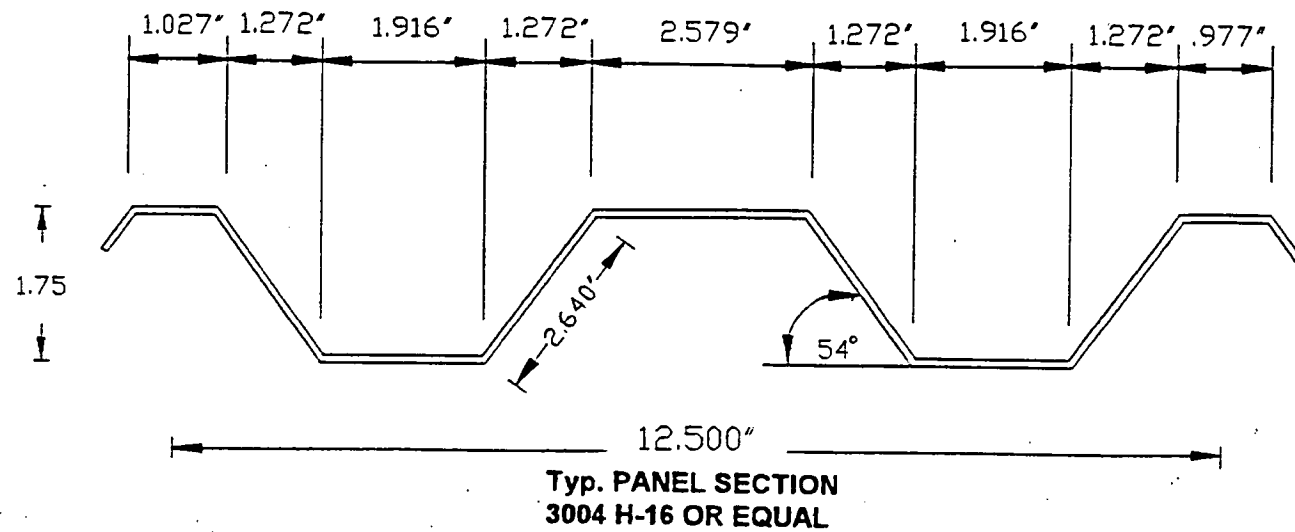
Approved: \_\_\_\_\_ Final approval given: \_\_\_\_\_  
Commissioner Date Date

CERTIFICATE OF OCCUPANCY issued (if applicable) \_\_\_\_\_  
Date

PERMIT NO. \_\_\_\_\_

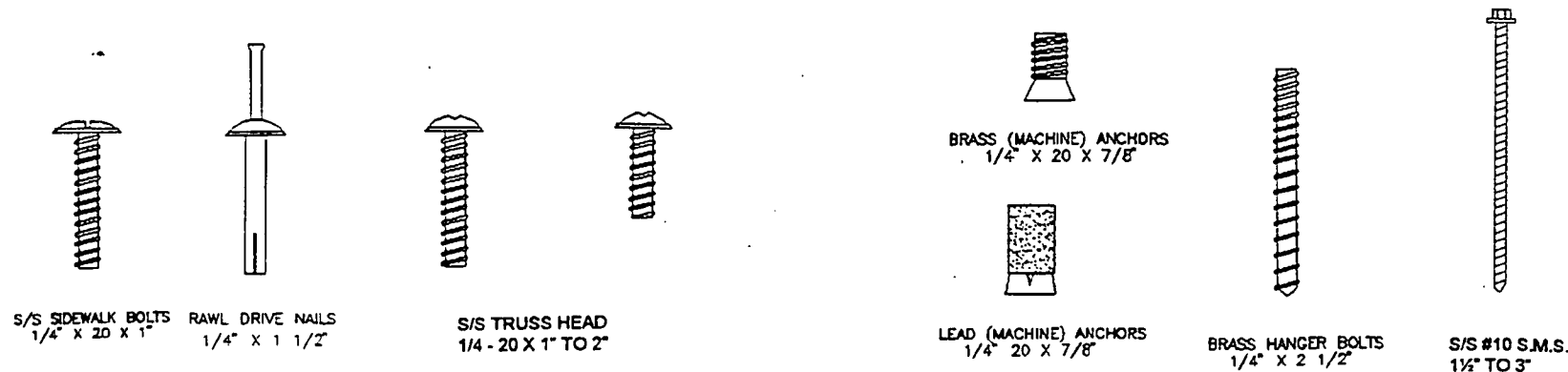
4602

**STORM PANEL  
120 M.P.H. WINDLOAD**



**BASE AND HEADER CONNECTION MEMBERS  
ALUMINUM SECTIONS 6063 T-6**

**TYPICAL INSTALLATION FASTENERS**



**GENERAL INFORMATION**

**Specifications**

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Extrusions used herein shall be 6063 T-6 aluminum, registered with the Aluminum Association, Inc. - Washington, D.C., unless otherwise noted.

**Deflections**

The deflection limits of structural aluminum members set forth shall be applicable, and conform to the Standard Building Code, the South Florida Building Code - maximum of 1" deflection - L/30.

The allowable stresses for aluminum members shall be as given in specifications for Aluminum Structures published by the Aluminum Association, Inc. - Washington, D.C.

**Tolerances**

The specified minimum thickness of extruded aluminum, aluminum coil products, and other applicable materials shall be the nominal thickness, and is subject to the tolerances published in the Aluminum Standards and Data, Aluminum Association, Washington, D.C.

**Safety Factors**

All engineering calculations used in conjunction with this design shall be based on a safety factor in accordance with the Aluminum Construction Manual Series, section 1.

**Shape Factors**

Non-Coastal zones, class 1 and 2 buildings -1.1.  
Coastal zones, class 1 buildings -(end zones) -1.3  
Coastal zones, class 2 buildings -(end zones) -1.9

All calculations used are based on the South Florida Building Code 1988 Edition, Chapter 23, Section 2303.3 (f) and 2309.2.

**Materials**

Aluminum roll-formed panels shall be 3004-H16 alloy. Steel roll-formed panels shall be galvanized and have ASTM A-525 designation. Aluminum bolts shall be 2024-T4 alloy.

**Dissimilar Materials**

Where the aluminum alloy sections are in contact with, or are fastened to, steel members or other dissimilar materials, the aluminum shall be kept from direct contact with the steel or other dissimilar material painting.

Steel surfaces to be placed in contact with aluminum shall be painted with good quality, non-lead contaminating, priming paint such as zinc chromate primer in accordance with Federal Specification TT-P-645, followed by two coats of paint consisting of two pounds (2 lbs.) of aluminum paste pigment, ASTM Specification D962-66, Type 2, Class B, per gallon of varnish meeting Federal Specification TT-V-81, Type II, or the equivalent. Where severe corrosion conditions are expected, additional protection can be obtained by applying a suitable sealant to the faying surfaces, capable of excluding moisture from the joint during prolonged service in addition to the zinc chromate primer. Aluminized, hot-dip galvanized or electrogalvanized steel placed in contact with aluminum need not be painted. Stainless steel (300 series) placed in contact with aluminum need not be painted except in high chloride containing environments.

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**GENERAL CONSTRUCTION REQUIREMENTS**

All fastenings, unless specified differently, shall be a maximum of twenty four inches (24") on center. Aluminum, hot-dip galvanized, electro-galvanized, aluminized steel, 300 series stainless steel, or corrosion resistant fasteners may be used, or as specified by local codes and ordinances.

Concrete anchors must be embedded a minimum of one and one quarter inches (1-1/4") into the structural concrete, and tightened properly. A longer fastener shall be required in the event that deck toppings, coatings, tile, brick or pavers are used, as these surfaces do not have to required holding ability.

Anchor types shown shall meet or exceed the safe working values as specified by the manufacturer. Any substitutions must follow these requirements.

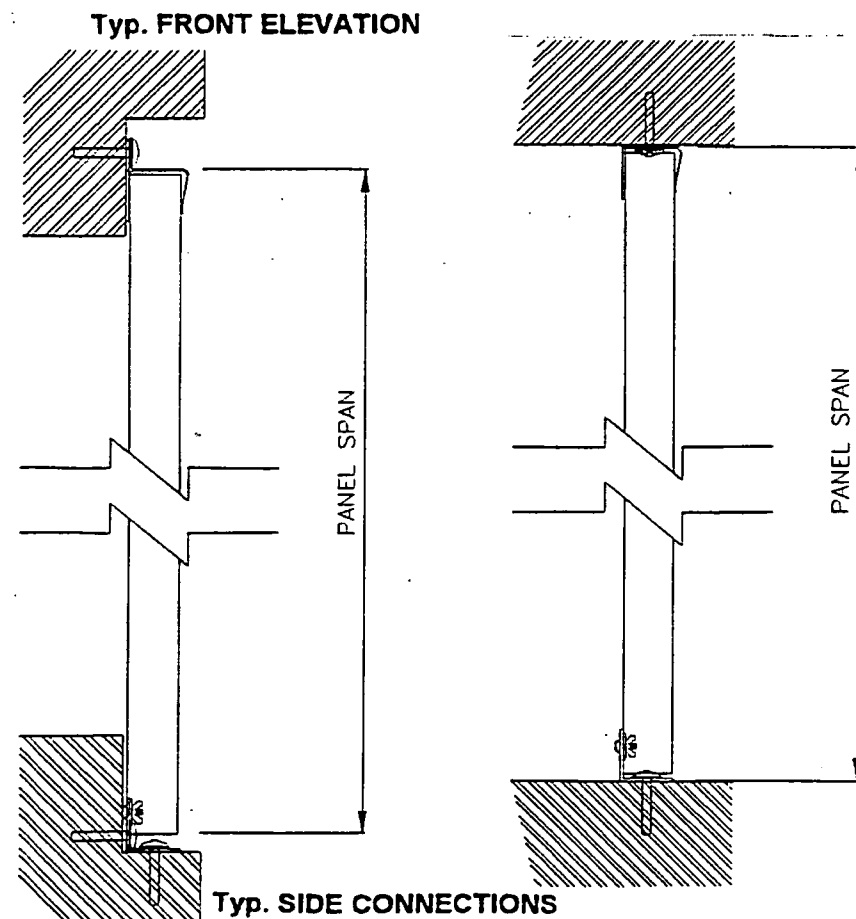
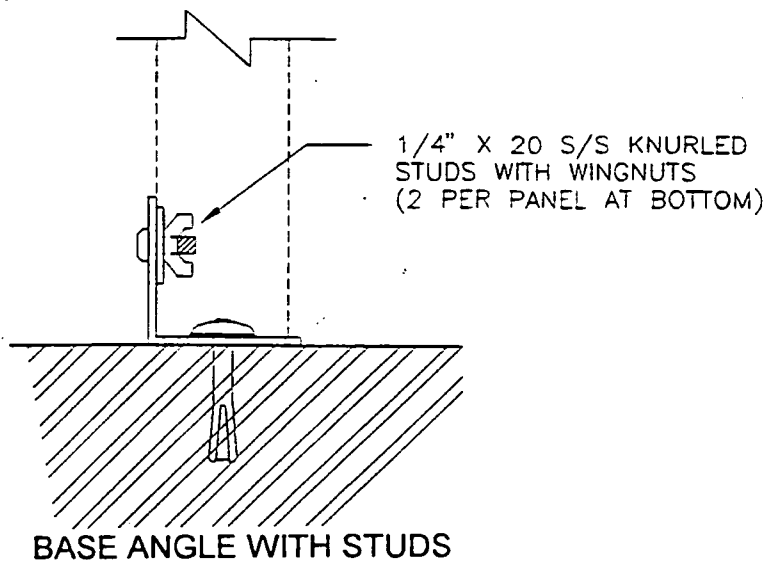
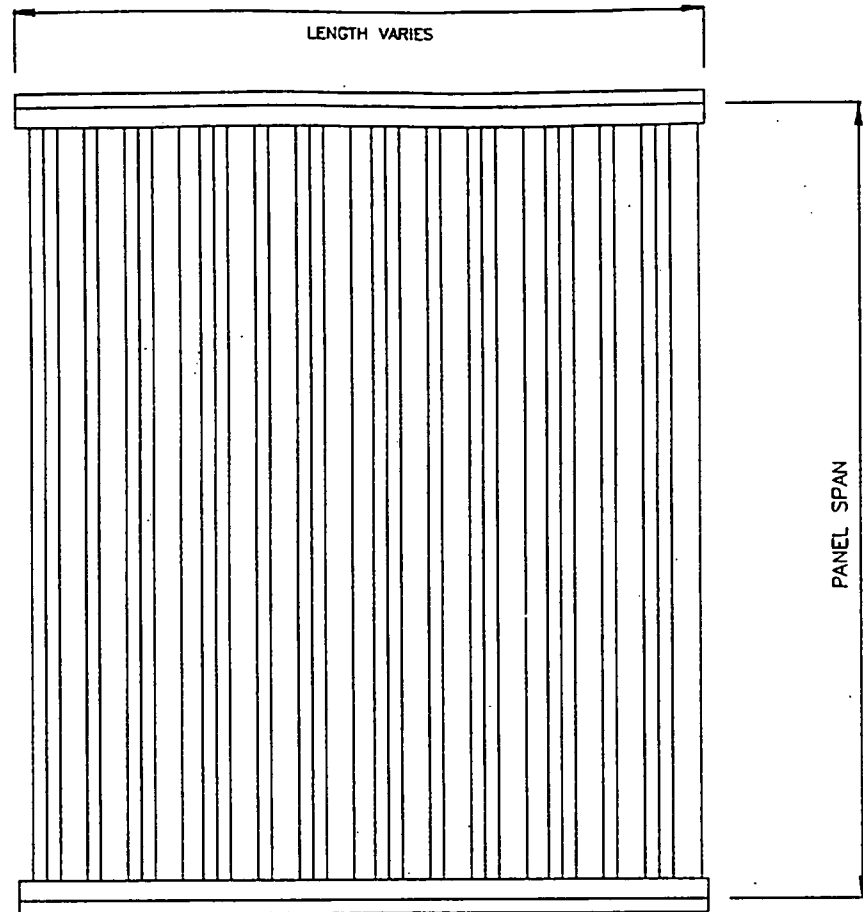
Any fastener stripped or not adequately holding must be replaced.

Page 1 of 2  
Professional Engineer  
ALUMINUM PRODUCTS, INC.  
Monterey Beach  
CA 94947

Professional Engineer  
ALUMINUM PRODUCTS, INC.  
Monterey Beach  
CA 94947

AL-1, INC.  
CIVIL, STRUCTURAL  
ENGINEERING  
AL-1, Inc.  
258 West Miami Ave. Venice, FL 34285 813-486-6322

Revisions



**ANCHOR SPACING TABLE**

Height Above Grade	Anchor Spacing
0' - 35'	18" O/C
35' - 55'	16" O/C
55' - 100'	14" O/C

**STORM PANEL SPAN TABLE  
120 M.P.H. WINDLOAD**

HEIGHT ABOVE GRADE	NON - COASTAL ZONES		
	ALUMINUM		STEEL
	.040"	.050"	20 GA.
0' - 15'	8' - 0"	8' - 7"	10' - 5"
15' - 25'	7' - 7"	8' - 2"	9' - 11"
25' - 35'	7' - 5"	7' - 11"	9' - 8"
35' - 55'	7' - 3"	7' - 8"	9' - 5"
55' - 60'	7' - 0"	7' - 6"	9' - 1"

HEIGHT ABOVE GRADE	COASTAL ZONES		
	ALUMINUM		STEEL
	.040"	.050"	20 GA.
0' - 15'	7' - 8"	8' - 3"	10' - 0"
15' - 25'	7' - 4"	7' - 10"	9' - 6"
25' - 35'	7' - 1"	7' - 7"	9' - 3"
35' - 55'	6' - 11"	7' - 5"	8' - 11"
55' - 60'	6' - 9"	7' - 2"	8' - 5"

TABLE BASED ON MAX. OF 1" DEFELECTION, L/30, 120 M.P.H.  
AS PER. S.F.B.C. - SECTION 2303.3 (f) AND 2309.2.  
SHAPE FACTORS OF - 1.1 AND - 1.3 (END ZONE ONLY) FOR CLASS 1 BUILDINGS.

NOTE: STORM PANELS MAY BE INSTALLED HORIZONTALLY

SPECIFICATIONS COMPLY TO THE REQUIREMENTS OF SECTION 1205 OF THE 1991 STANDARD BUILDING CODE

HEIGHT ABOVE GRADE	COASTAL ZONES - 140 MPH			
	ALUMINUM		STEEL	
	.040"	.050"	20 GA.	
0' - 15'	8' - 7"	7' - 10"	9' - 4"	
15' - 25'	6' - 1"	7' - 2"	8' - 9"	
25' - 35'	5' - 9"	6' - 9"	8' - 4"	
35' - 55'	5' - 4"	6' - 3"	7' - 9"	
55' - 60'	5' - 3"	6' - 2"	7' - 8"	

James D. Joseph, P.E.

Page 2 of 2

**Gulfstream**  
ALUMINUM  
PRODUCTS, INC.

197 SB Monterey Road  
Stuart, FL 34994

AL-1, INC.  
CIVIL, STRUCTURAL  
ENGINEERING

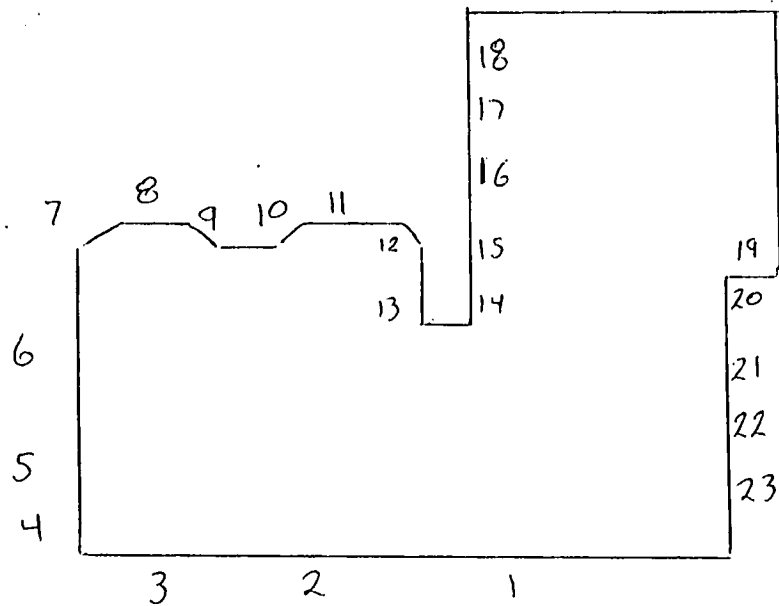
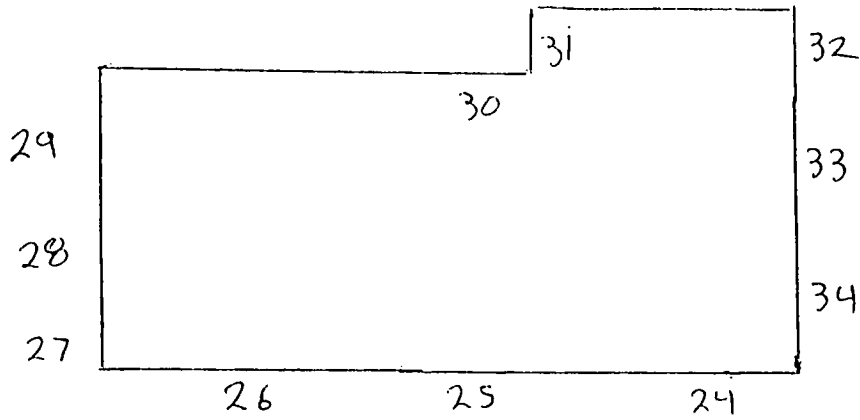
813-485-4322

**AL-1**  
Inc.  
258 West Miami Ave. Venice, FL 34285

Revisions  
140 R-111 ADDED 1/25/94

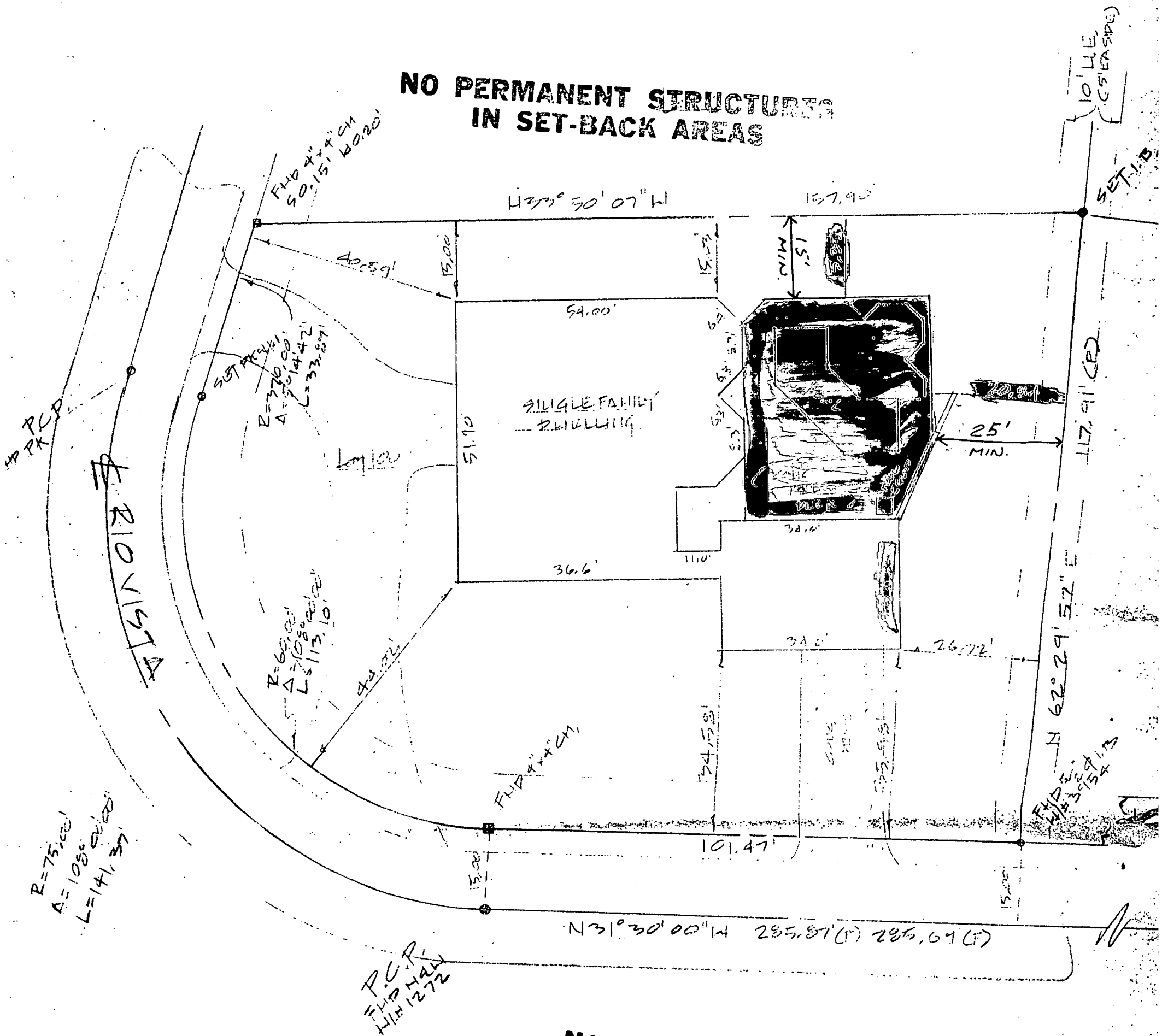
Anderson  
33 Rio Vista Dr

**GULFSTREAM ALUMINUM**  
197 S.E. Monterey Rd.  
Stuart, FL 34994  
(407) 287-6476





**NO PERMANENT STRUCTURES  
IN SET-BACK AREAS**



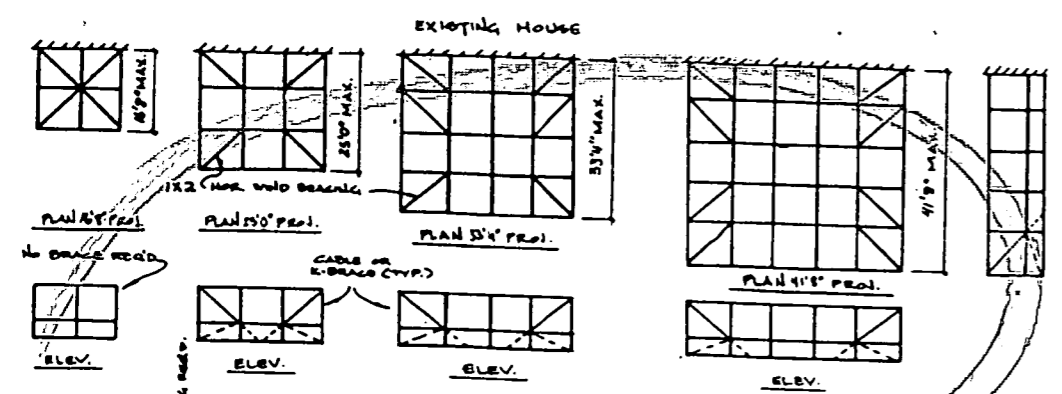
**NO PERMANENT STRUCTURES  
IN SET-BACK AREAS**

AC	ACRE	CLF	CHAINLINK FENCE	E	EAST	ICE	HOUSE	NGVD	NATIONAL
BM	BENCHMARK	CHD	CHORD DISTANCE	EP	EDGE OF PAVEMENT	I & E	INGRESS & EGRESS EASEMENT	NIC	NOT INCL
A/C	AIR CONDITIONER	CONC	CONCRETE	EW	EDGE OF WATER	INV	INVERT	NYS	NOT TO SC
ALUM	ALUMINUM	CBS	CONC. BLOCK & STUCCO	EM	ELECTRIC METER	B	IRON BAR	N	NORTH
ANC	ANCHOR	CM	CONCRETE MONUMENT	ES	ELECTRIC SERVICE	IP	IRON PIPE	NO	NUMBER
AP	ANCHOR POLE	CNR	COULD NOT READ	ELEV	ELEVATION	IB & C	IRON BAR & CAP	ORB	OFFICIAL R
ASP	ASPHALT	CPP	CONCRETE POWER POLE	ENCL	ENCLOSURE	L	ARC LENGTH	O/S	OFFSET
AVE	AVENUE	CS	CONCRETE SLAB	ENCRD	ENCROACHMENT	LE	LANDSCAPE EASEMENT	OH	OVERHANG
BRC	BEARING	CVC	CONCRETE VALLEY CURB	X 17 00	EXISTING ELEVATION	LB	LANDSCAPE BUSINESS	OC	OVERHANG
BLK	BLOCK	COR	CORNER	FT	FEET	LP	LIGHT POLE	OHPL	OVERHEAD
BLVD	BOULEVARD	CMP	CORRUGATED METAL PIPE	F	FIELD MEASUREMENT	LAE	LIMITED ACCESS EASEMENT	OHV	OVERHEAD
BE	BUFFER EASEMENT	CT	COURT	FEE	FINISH FLOOR ELEVATION	LFE	LOWEST FLOOR ELEVATION	PG	PAGE
BLDG	BUILDING	D	DEED	FH	FIRE HYDRANT	ME	MAINTENANCE EASEMENT	PK	PARKER-K
CATV	CABLE TELEVISION	DBH	DIAMETER BREAST HEIGHT	FPL	FLORIDA POWER & LIGHT	MH	MANHOLE	PK & W	PARKER-K
C	CALCULATED	DE	DRAINAGE EASEMENT	FND	FOUND	MHW	MEAN HIGH WATER LINE	PVMT	PAVEMENT
CB	CATCH BASIN	D/F	DRAINFIELD	GOVT	GOVERNMENT	H & W	HAUL & WASH	PCP	PERMANENT
Δ	CENTRAL ANGLE	ESMT	EASEMENT	HW	HEADWALL	H & W	HAUL & WASHER	PRV	PERMANENT

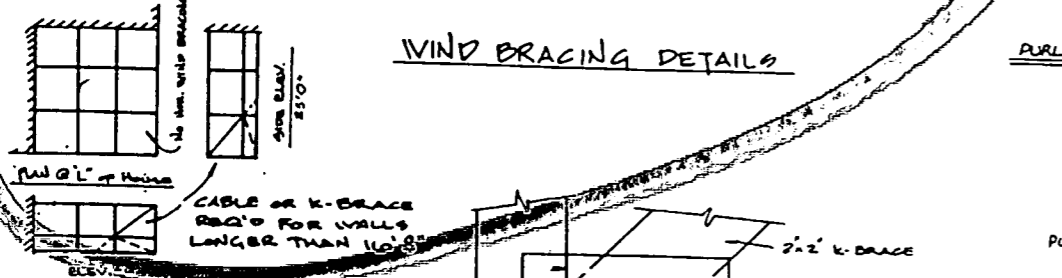
1. PROPERTY ADDRESS: 33 RIO VISTA
2. CERTIFIED TO: PHILIP S. & CAROL M. ANDERSON

NOT VALID WITHOUT THE SIGNATURE  
ORIGINAL RAISED SEAL OF A FL  
SURVEYOR AND MAPPER.

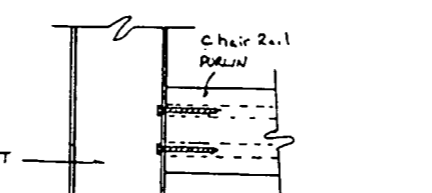
STEPHEN J. BROWN



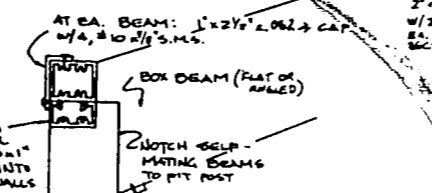
### WIND BRACING DETAILS



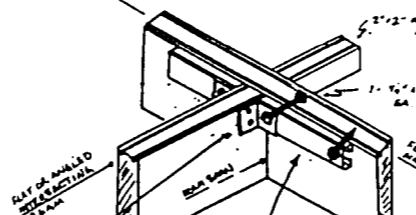
### PURLIN TO POST CONNECTION DETAIL



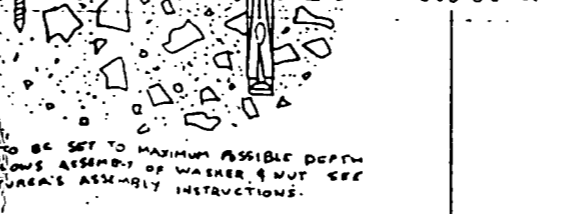
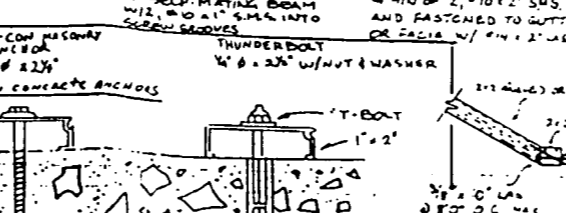
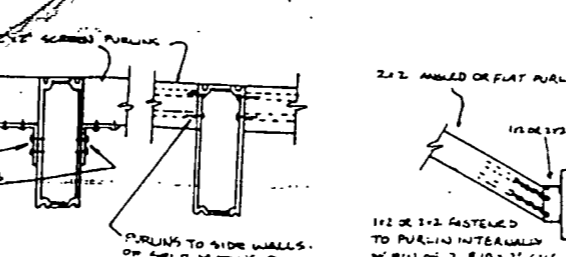
### BEAM TO POST CONNECTION DETAIL



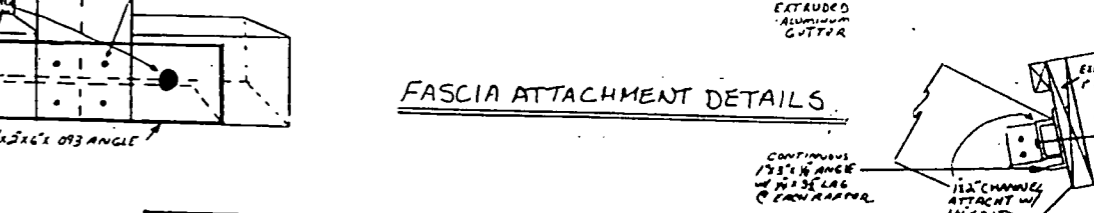
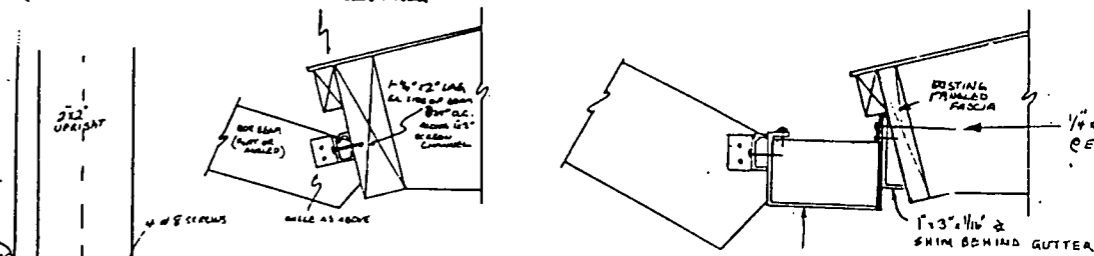
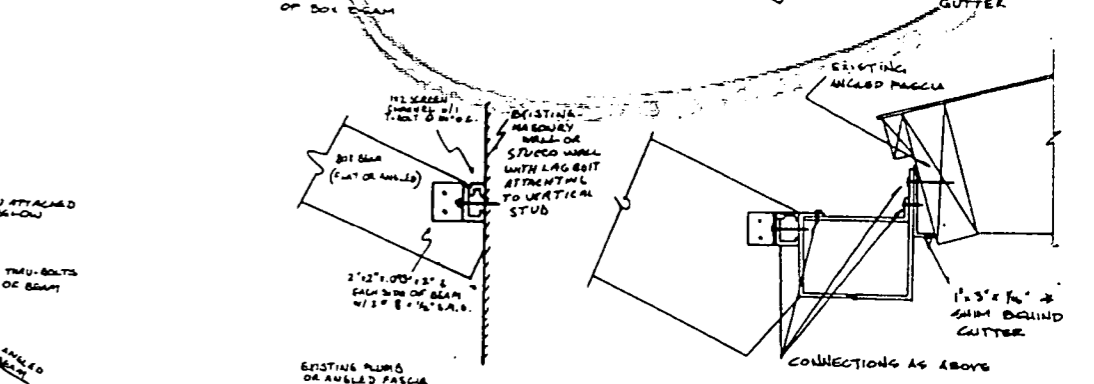
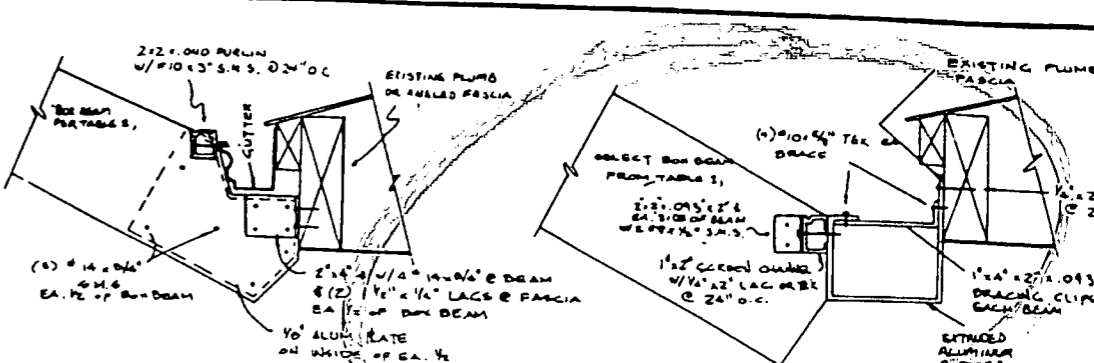
### BEAM TO BEAM CONNECTION DETAIL



### ROOF PURLIN CONNECTION DETAILS



**SPECIFICATIONS:**  
 1) SHEET METAL SCREWS (S.M.S.) SHALL BE STAINLESS OR CADAUIM PLATED  
 2) ALUMINUM BOLTS SHALL BE ALLOY 6063 T5 STEEL BOLTS SHALL BE STAINLESS OR CADAUIM PLATED  
 3) MAJOR BEAMS - ALLOY 6063 T5  
 4) POSTS, PURLINS, ANGLES, CHANNELS, ALLOY BOLTS - T5  
 5) CONCRETE: f'c - 2500 P.S.I.  
 NOTE: ALL EXTENSIONS MAY ALLOW EITHER FLAT OR ROUND BRACKETS ATTACHED TO HOLD EITHER TYPE OF BOLTED SCREWS INTO EXTRUDED SPINE GROOVES.



**TABLE 1 - POST LENGTHS AND SPACING FOR SCREEN WALLS**

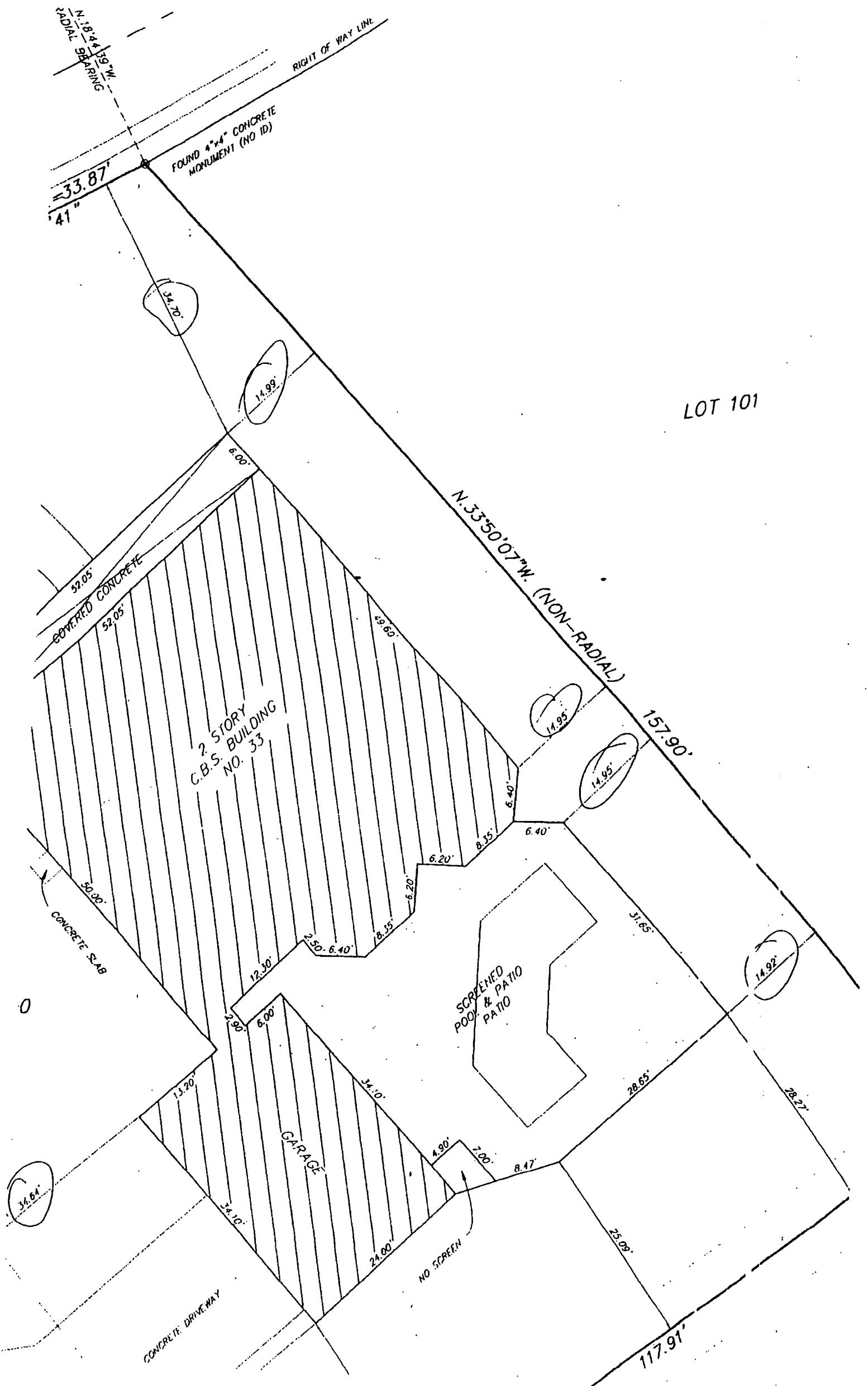
POST SIZE	MIN. WALL HEIGHT	MAX. POST SPACING O.C.
2x2 x .030 OR EQUIVALENT	7'0"	5'3"
2x3 x .050 OR EQUIVALENT	7'0"	9'0"
	8'5"	8'4"
	9'0"	7'0"
	10'0"	8'0"
	11'0"	7'6"
	12'0"	7'0"
	13'0"	6'6"
	14'0"	6'0"
	15'0"	5'6"
	16'0"	5'0"
	17'0"	4'6"
	18'0"	4'0"
	19'0"	3'6"
	20'0"	3'0"
	21'0"	2'6"
	22'0"	2'0"
	23'0"	1'6"
	24'0"	1'0"
	25'0"	6"

**TABLE 2 - SPAN TABLE FOR SCREENED ROOF BOX BEAMS**

BEAM SIZE	4'0" O.C.	5'0" O.C.	6'0" O.C.	8'0" O.C.	10'0" O.C.	12'0" O.C.	14'0" O.C.	16'0" O.C.	18'0" O.C.	20'0" O.C.
2x4 x .050	14'0"	14'0"	14'0"	14'0"	14'0"	14'0"	14'0"	14'0"	14'0"	14'0"
2x6 x .050	16'0"	16'0"	16'0"	16'0"	16'0"	16'0"	16'0"	16'0"	16'0"	16'0"
2x8 x .050	18'0"	18'0"	18'0"	18'0"	18'0"	18'0"	18'0"	18'0"	18'0"	18'0"
2x10 x .050	20'0"	20'0"	20'0"	20'0"	20'0"	20'0"	20'0"	20'0"	20'0"	20'0"
2x12 x .050	22'0"	22'0"	22'0"	22'0"	22'0"	22'0"	22'0"	22'0"	22'0"	22'0"
2x14 x .050	24'0"	24'0"	24'0"	24'0"	24'0"	24'0"	24'0"	24'0"	24'0"	24'0"
2x16 x .050	26'0"	26'0"	26'0"	26'0"	26'0"	26'0"	26'0"	26'0"	26'0"	26'0"
2x18 x .050	28'0"	28'0"	28'0"	28'0"	28'0"	28'0"	28'0"	28'0"	28'0"	28'0"
2x20 x .050	30'0"	30'0"	30'0"	30'0"	30'0"	30'0"	30'0"	30'0"	30'0"	30'0"
2x22 x .050	32'0"	32'0"	32'0"	32'0"	32'0"	32'0"	32'0"	32'0"	32'0"	32'0"
2x24 x .050	34'0"	34'0"	34'0"	34'0"	34'0"	34'0"	34'0"	34'0"	34'0"	34'0"
2x26 x .050	36'0"	36'0"	36'0"	36'0"	36'0"	36'0"	36'0"	36'0"	36'0"	36'0"
2x28 x .050	38'0"	38'0"	38'0"	38'0"	38'0"	38'0"	38'0"	38'0"	38'0"	38'0"
2x30 x .050	40'0"	40'0"	40'0"	40'0"	40'0"	40'0"	40'0"	40'0"	40'0"	40'0"
2x32 x .050	42'0"	42'0"	42'0"	42'0"	42'0"	42'0"	42'0"	42'0"	42'0"	42'0"
2x34 x .050	44'0"	44'0"	44'0"	44'0"	44'0"	44'0"	44'0"	44'0"	44'0"	44'0"
2x36 x .050	46'0"	46'0"	46'0"	46'0"	46'0"	46'0"	46'0"	46'0"	46'0"	46'0"
2x38 x .050	48'0"	48'0"	48'0"	48'0"	48'0"	48'0"	48'0"	48'0"	48'0"	48'0"
2x40 x .050	50'0"	50'0"	50'0"	50'0"	50'0"	50'0"	50'0"	50'0"	50'0"	50'0"
2x42 x .050	52'0"	52'0"	52'0"	52'0"	52'0"	52'0"	52'0"	52'0"	52'0"	52'0"
2x44 x .050	54'0"	54'0"	54'0"	54'0"	54'0"	54'0"	54'0"	54'0"	54'0"	54'0"
2x46 x .050	56'0"	56'0"	56'0"	56'0"	56'0"	56'0"	56'0"	56'0"	56'0"	56'0"
2x48 x .050	58'0"	58'0"	58'0"	58'0"	58'0"	58'0"	58'0"	58'0"	58'0"	58'0"
2x50 x .050	60'0"	60'0"	60'0"	60'0"	60'0"	60'0"	60'0"	60'0"	60'0"	60'0"
2x52 x .050	62'0"	62'0"	62'0"	62'0"	62'0"	62'0"	62'0"	62'0"	62'0"	62'0"
2x54 x .050	64'0"	64'0"	64'0"	64'0"	64'0"	64'0"	64'0"	64'0"	64'0"	64'0"
2x56 x .050	66'0"	66'0"	66'0"	66'0"	66'0"	66'0"	66'0"	66'0"	66'0"	66'0"
2x58 x .050	68'0"	68'0"	68'0"	68'0"	68'0"	68'0"	68'0"	68'0"	68'0"	68'0"
2x60 x .050	70'0"	70'0"	70'0"	70'0"	70'0"	70'0"	70'0"	70'0"	70'0"	70'0"

STRUCTURES DETAILED & SPECIFIED IN THESE PLANS WERE DESIGNED AS ACCORDANCE WITH THE STANDARD BUILDING CODE (A.S.B.C.C.) FOR WIND ZONES  
 DESIGNED TO CONFORM TO PB COUNTY CODE  
**MAGENDRA N. KHANAL P.E.**  
 3155 LILLIN ROAD  
 W.P.B. FLA. 33406  
 PH. (407) 433-5361  
 (56)  
 PLAN, SECTION, AND DETAIL VIEWS AND TECHNICAL DATA.  
 PLANS EFFECTIVE: JANUARY 10, 1997





**7695**  
**FENCE**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 7/25/05

BUILDING PERMIT NO. 7695

Building to be erected for GILL

Type of Permit FENCE

Applied for by SWART FENCE (Contractor)

Building Fee 30.00

Subdivision RIO VISTA Lot 100 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 33 RIO VISTA DRIVE

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Parcel Control Number:  
1238410020006100050000

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Amount Paid 30.00 Check # 4154 Cash \_\_\_\_\_

Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 9286.00

TOTAL Fees 30.00

Signed [Signature]

Applicant

Signed [Signature]

Town Building Official

## PERMIT

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL       |
| <input type="checkbox"/> PLUMBING         | <input type="checkbox"/> ROOFING             | <input type="checkbox"/> POOL/SPA/DECK    |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION          | <input checked="" type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS              |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION       |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL            | <input type="checkbox"/> ADDITION         |

## INSPECTIONS

- |                             |       |                        |       |
|-----------------------------|-------|------------------------|-------|
| UNDERGROUND PLUMBING        | _____ | UNDERGROUND GAS        | _____ |
| UNDERGROUND MECHANICAL      | _____ | UNDERGROUND ELECTRICAL | _____ |
| STEMWALL FOOTING            | _____ | FOOTING                | _____ |
| SLAB                        | _____ | TIE BEAM/COLUMNS       | _____ |
| ROOF SHEATHING              | _____ | WALL SHEATHING         | _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS | _____ | LATH                   | _____ |
| ROOF TIN TAG/METAL          | _____ | ROOF-IN-PROGRESS       | _____ |
| PLUMBING ROUGH-IN           | _____ | ELECTRICAL ROUGH-IN    | _____ |
| MECHANICAL ROUGH-IN         | _____ | GAS ROUGH-IN           | _____ |
| FRAMING                     | _____ | EARLY POWER RELEASE    | _____ |
| FINAL PLUMBING              | _____ | FINAL ELECTRICAL       | _____ |
| FINAL MECHANICAL            | _____ | FINAL GAS              | _____ |
| FINAL ROOF                  | _____ | BUILDING FINAL         | _____ |

RECEIVED 03  
7/20/05

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: George Gill Phone (Day) 305-89-1146 (Fax) \_\_\_\_\_  
Job Site Address: 33 Rio Vista City: Stuart State: FL Zip: 34996  
Legal Description of Property: RIO VISTA 4D LOT 100 Parcel Number: 12 38 41 002 000 01000 5  
Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: 34996  
Description of Work To Be Done: INS

WILL OWNER BE THE CONTRACTOR?: Yes  No  (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: Stuart Fence Co Phone: 288-1151 Fax: 288-3035  
Street: 2832 SE Iris St City: Stuart State: FL Zip: 34997  
State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: LFE 3584

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 9286.00 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:  
Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Phone Number: \_\_\_\_\_  
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Phone Number: \_\_\_\_\_  
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_  
Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: National Electrical Code: 2002 Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)  
[Signature]  
State of Florida, County of: Miami-Dade  
This the 11 day of JULY, 2005  
by George Gill who is personally known to me or produced as identification. Jasmine Perez  
Notary Public  
My Commission Expires: 6-20-09  
Seal

CONTRACTOR SIGNATURE (required)  
[Signature]  
On State of Florida, County of: MARTIN  
This the 18 day of JULY, 2005  
by CHESTER RICHMOND who is personally known to me or produced as identification. JAMES L. LOUDIN  
Notary Public  
My Commission Expires: May 21, 2006  
Bonded Thru Atlantic Building Co., Inc.

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

NOTARY PUBLIC  
JASMINE PEREZ  
MY COMMISSION # DD 429778  
EXPIRES: June 20, 2009  
Bonded Thru Budget Notary Services

Permit No. \_\_\_\_\_

Tax Folio No. 12 3871 002 000  
01000 5

### NOTICE OF COMMENCEMENT

State of Florida  
County of Martin

The undersigned hereby gives notice that improvement will be made to certain real Property and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. Legal description of property (include street address, if available): 33 Rio Vista  
RIO VISTA 4D LOT 100

2. General description of improvement: Fence

3. Owner information - name and address: George Gill  
33 Rio Vista, Stuart, FL 34996

Interest in property: \_\_\_\_\_

Name and address of fee simple titleholder (if other than Owner): \_\_\_\_\_

4. Contractor - name and address: Stuart Fence  
1832 SE Iris St, Stuart, FL 34995

Phone number 288-1151 Fax number 288 3035

5. Surety - name and address: \_\_\_\_\_

Phone number \_\_\_\_\_ Fax number \_\_\_\_\_ Amount of bond: \$ \_\_\_\_\_

6. Lender - name and address: \_\_\_\_\_

Phone number \_\_\_\_\_ Fax number \_\_\_\_\_

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(i)(a)7., Florida Statutes (name and address): \_\_\_\_\_

Phone number \_\_\_\_\_ Fax number \_\_\_\_\_

8. In addition to him/herself, Owner designates \_\_\_\_\_ of \_\_\_\_\_

\_\_\_\_\_ to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

Phone number \_\_\_\_\_ Fax number \_\_\_\_\_

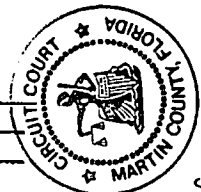
9. Expiration date of Notice of Commencement (the expiration date is 1 year from the date of recording unless a different date is specified).

[Signature]  
Signature of Owner

Sworn to and subscribed before me this 11<sup>th</sup> day of July, 2005.

Jasmine Perez  
Notary Public

My Commission Expires: June 20, 2009



THIS IS TO CERTIFY THAT THE FOREGOING PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.  
MARSHA EWING CLERK

BY: [Signature] DATE: \_\_\_\_\_

INSTR # 1855676 DR BK 02036 PG 2722 RECD 07/15/2005 02:24:05 PM  
MARSHA EWING MARTIN COUNTY DEPUTY CLERK L Wood



JASMINE PEREZ  
MY COMMISSION # DD 429778  
EXPIRES: June 20, 2009  
Bonded Thru Budget Notary Services



# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (M/YY/YY)  
8/23/04

**PRODUCER**

**MARIE HOWELL INSURANCE SERVICES**  
3215 S US 1 SUITE B-201  
FORT PIERCE FL 34982  
772-461-4733

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**INSURED**

**STUART FENCE COMPANY, INC.**  
CHESTER J. RICHMOND & JOHN JAMASON  
P O B 2636  
STUART, FL 34995

**INSURERS AFFORDING COVERAGE**

NAIC#

INSURER A: **WESTERN WORLD**

INSURER B:

INSURER C:

INSURER D:

INSURER E:

7-22501

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

PER POLICY LIMIT	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	04GL010	8/18/04	8/16/05	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (EA OCCURRENCE) \$ 50,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMPOUND AGG \$ 1,000,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (EA accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	OTHER LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
	PROFESSIONAL LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> PROSPECTIVE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$
	ADVISORS COMPENSATION AND EMPLOYERS' LIABILITY AND EMPLOYERS' COMPENSATION AND EMPLOYERS' LIABILITY EXCLUDED (See applicable SPECIAL PROVISIONS below) OTHER				E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY/LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

FENCE ERECTION

**CERTIFICATE HOLDER**

TOWN OF SEWELL'S POINT  
1 S. SEWELL'S POINT ROAD  
SEWELL'S POINT, FL 34996

ATTN: LORA  
PHONE 772-220-4765

**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL \_\_\_\_\_ DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

*M. Howell*

ACORD 25 (09/1/02)



# CERTIFICATE OF LIABILITY INSURANCE

Date  
12/16/200

**Producer:** Lion Insurance Company  
 2739 U.S. Highway 19 N.  
 Holiday, FL 34691  
 Phone: 727-938-5562 Fax: 727-937-2138

**This Certificate is issued as a matter of information only and confers no rights upon the Certificate Holder. This Certificate does not amend, extend or alter the coverage afforded by the policies below.**

## Insurers Affording Coverage

NAIC #

**Insured:** South East Personnel Leasing  
 2739 U.S. Highway 19 N.  
 Holiday, FL 34691  
 Phone : (727)938-5562

Insurer A: Lion Insurance Company  
 Insurer B:  
 Insurer C:  
 Insurer D:  
 Insurer E:

**Coverages**

The policies of insurance listed below have been issued to the insured named above for the policy period indicated. Notwithstanding any requirement, term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the policies described herein is subject to all the terms, exclusions, and conditions of such policies. Aggregate limits shown may have been reduced by paid claims.

INSR LTR	ADDL INSRD	Type of Insurance	Policy Number	Policy Effective Date (MM/DD/YY)	Policy Expiration Date (MM/DD/YY)	Limits	
		<b>GENERAL LIABILITY</b> <input type="checkbox"/> Commercial General Liability <input type="checkbox"/> Claims Made <input type="checkbox"/> Occur <hr/> General aggregate limit applies per: <input type="checkbox"/> Policy <input type="checkbox"/> Project <input type="checkbox"/> LOC				Each Occurrence	\$
						Damage to rented premises (EA occurrence)	\$
						Med Exp	\$
						Personal Adv Injury	\$
						General Aggregate	\$
						Products - Comp/Op Agg	\$
		<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> Any Auto <input type="checkbox"/> All Owned Autos <input type="checkbox"/> Scheduled Autos <input type="checkbox"/> Hired Autos <input type="checkbox"/> Non-Owned Autos				Combined Single Limit (EA Accident)	\$
						Bodily Injury (Per Person)	\$
						Bodily Injury (Per Accident)	\$
						Property Damage (Per Accident)	\$
		<b>GARAGE LIABILITY</b> <input type="checkbox"/> Any Auto				Auto Only - Ea Accident	\$
						Other Than EA Acc.	\$
						Autos Only: AGG.	\$
		<b>EXCESS/UMBRELLA LIABILITY</b> <input type="checkbox"/> Occur <input type="checkbox"/> Claims Made <input type="checkbox"/> Deductible <input type="checkbox"/> Retention				Each Occurrence	
						Aggregate	
A		<b>Workers Compensation and Employers' Liability</b> Any proprietor/partner/executive officer/member excluded? If Yes, describe under special provisions below.	WC 71949	01/01/2005	01/01/2006	X WC Statutory Limits	OTH-ER
						E.L. Each Accident	\$1000000
						E.L. Disease - Ea Employee	\$1000000
						E.L. Disease - Policy Limits	\$1000000
	Other 3465485 Stuart Fence Company	COVERAGE APPLIES ONLY TO THOSE EMPLOYEES LEASED, NOT TO SUBCONTRACTORS.					

**Descriptions of Operations/Locations/Vehicles/Exclusions added by Endorsement/Special Provisions:** ADD ON DATE: 5/10/2004  
 COVERAGE APPLIES ONLY IN THE STATE OF FLORIDA TO THOSE EMPLOYEES LEASED TO BUT NOT SUBCONTRACTORS OF Stuart Fence Company \* FAX: 772-288-3035 & 772-220-4765 / ISSUE: 10-21-04 (PDC)

## CERTIFICATE HOLDER

## CANCELLATION

TOWN OF SEWALLS POINT  
 ATTN: LAURA  
 1 S. SEWALLS POINT RD.  
 SEWALLS POINT

FL 34996

Should any of the above described policies be cancelled before the expiration date thereof, the issuing insurer will endeavor to mail 30 days written notice to the certificate holder named to the left, but failure to do so shall impose no obligation or liability of any kind upon the insurer, its agents or representatives.

**2004-2005 MARTIN COUNTY ORIGINAL  
COUNTY OCCUPATIONAL LICENSE**

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995  
(772) 288-5804

LICENSE 2004-518-003 CERT CFE3584  
PHONE 772-519-6263 SIC NO 215990

LOCATION:  
2832 SE IRIS ST MAR

**CHARACTER COUNTS IN MARTIN COUNTY**

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>.00</u>
\$	<u>.00</u>	PENALTY \$	<u>.00</u>
\$	<u>.00</u>	COL. FEE \$	<u>.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>.00</u>
TOTAL			<u>25.00</u>

IF HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION  
OF **FENCE ERECTION CONTRACTOR**

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

21 DAY OF SEPTEMBER 20 04  
AND ENDING SEPTEMBER 2005

**RICHMOND, CHESTER - QUALIFIER  
STUART FENCE COMPANY INC  
2832 SE IRIS STREET  
STUART FL 34997**

12 04091402 002561 PAID

This Certificate is subject to St. Lucie County revocation  
and suspension by Contractor Certification St. Lucie County  
Examining Board.

Chapter 20978

Statute ACTV

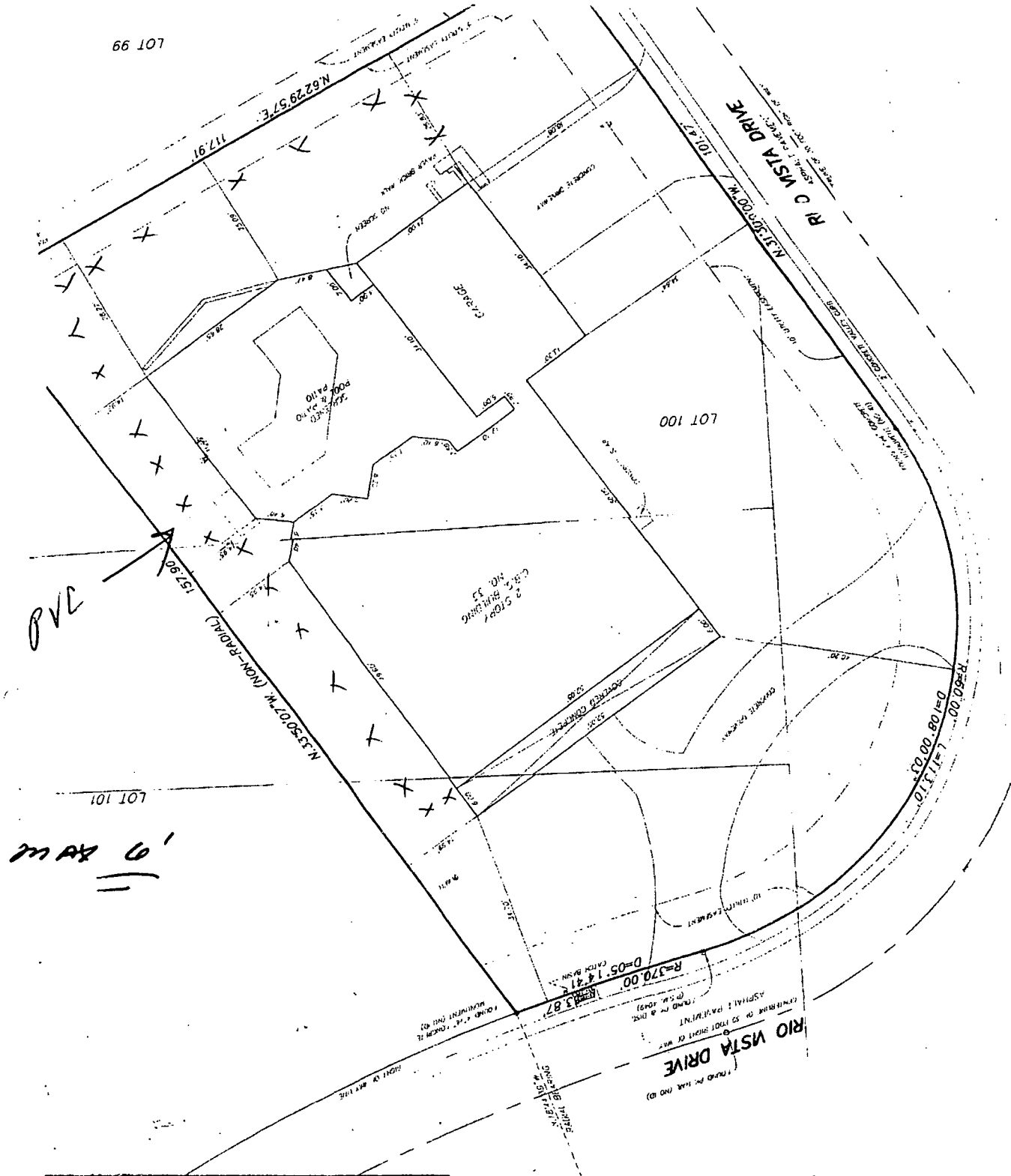
DBA: STUART FENCE CO. INC

THIS IS TO CERTIFY THAT CHESTER J. III RICHMOND has qualified  
as a certified FENCE contractor  
for period from 10/1/2004 to 9/30/2005 subject to St. Lucie  
County Code of Ordinances and Compiled Laws.

Date: 08/30/04

*Charles Wenzel*

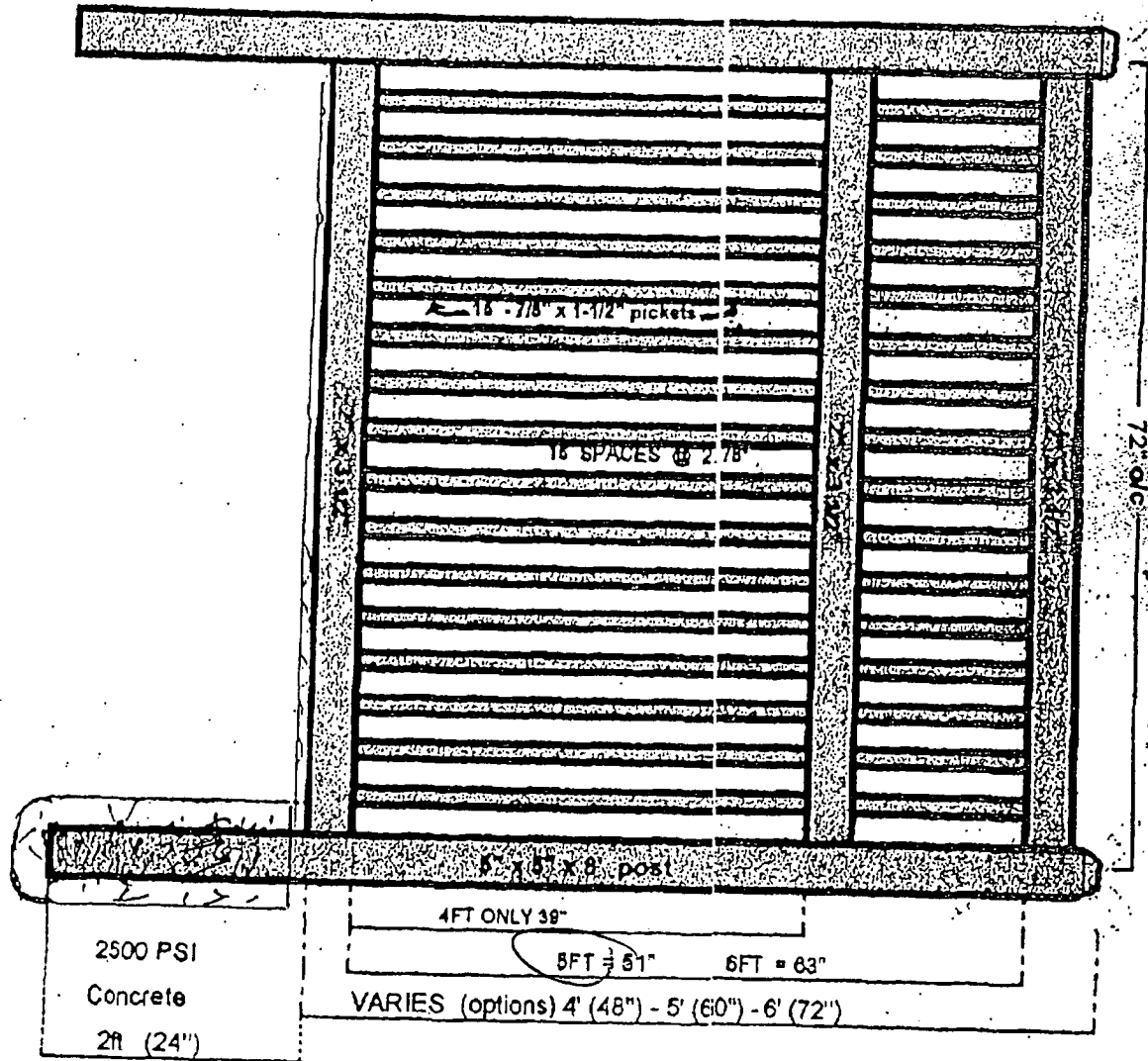
Contractor Licensing Official



*7/20/05*

**FILE COPY**  
**TOWN OF SEWALL'S POINT**  
 THESE PLANS HAVE BEEN  
 REVIEWED FOR CODE COMPLIANCE  
 DATE: 7/20/05  
 \_\_\_\_\_  
**BUILDING OFFICIAL**  
 Gene Simmons

RIO VISTA DRIVE  
 CONTRIBUTION TO IMPROVEMENT OF WAY  
 ASPHALT PAVEMENT  
 (FUND IN A DRG)  
 R=370.00  
 D=051.41  
 L=135.87



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 1/19, 2006 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7813	PARKS	SHEATHING	PASS	
1	3 MINDOLO ST PARKS + Co.			INSPECTOR: <i>[Signature]</i>
7084	JONES	FINAL DOCK REPAIR	<del>FAIL</del>	CLOSE
2	14 HERON'S NEST OJB		PASS	INSPECTOR: <i>[Signature]</i>
7727	SLATER	TWUSS ENA	FAIL	
5	4 LAGOON ISLAND CONWAY			INSPECTOR: <i>[Signature]</i>
7695	GILL	FENCE	PASS	CLOSE
3	33 RIO VISTA STUART FENCE			INSPECTOR: <i>[Signature]</i>
7976	GOLDMAN	GAS INT. BOUARDIN	FAIL	
4	4 SUMMER LA COAST GAS			INSPECTOR: <i>[Signature]</i>
	MARTIN	ROOF IN PRG.	PASS	
1A	23 BLAND ROAD PACIFIC			INSPECTOR: <i>[Signature]</i>
7836	GALE	<del>REPAIR DOCK</del>	PASS	CLOSE
7902	135 S. RIVER	REPAIR BOAT LIFT ELEC.	PASS	CLOSE INSPECTOR: <i>[Signature]</i>
OTHER: _____				

**8599**

**HURRICANE  
SHUTTERS**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 5-9-07

BUILDING PERMIT NO. 8599

Building to be erected for Gill

Type of Permit Accordian Shutters

Applied for by Kolladen Inc (Contractor)

Building Fee 120-

Subdivision Riv Vista Lot 100 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 33 Riv Vista DR

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Parcel Control Number:

123841-002-000-010005

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Amount Paid \$120 Check # 1991 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ )

Roofing Fee \_\_\_\_\_

Total Construction Cost \$ 16977-

TOTAL Fees 120-

Signed Jason Chowat  
Applicant

Signed John Adams  
Town Building Official

## PERMIT

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL                    | <input type="checkbox"/> MECHANICAL    |
| <input type="checkbox"/> PLUMBING         | <input type="checkbox"/> ROOFING                       | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION                    | <input type="checkbox"/> FENCE         |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE           | <input type="checkbox"/> GAS           |
| <input type="checkbox"/> FILL             | <input checked="" type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION    |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL                      | <input type="checkbox"/> ADDITION      |

## INSPECTIONS

- |                                   |                              |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____        | UNDERGROUND GAS _____        |
| UNDERGROUND MECHANICAL _____      | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____            | FOOTING _____                |
| SLAB _____                        | TIE BEAM/COLUMNS _____       |
| ROOF SHEATHING _____              | WALL SHEATHING _____         |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____                   |
| ROOF TIN TAG/METAL _____          | ROOF-IN-PROGRESS _____       |
| PLUMBING ROUGH-IN _____           | ELECTRICAL ROUGH-IN _____    |
| MECHANICAL ROUGH-IN _____         | GAS ROUGH-IN _____           |
| FRAMING _____                     | EARLY POWER RELEASE _____    |
| FINAL PLUMBING _____              | FINAL ELECTRICAL _____       |
| FINAL MECHANICAL _____            | FINAL GAS _____              |
| FINAL ROOF _____                  | BUILDING FINAL _____         |



RECEIVED  
4-26-07

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: George Gill Phone (Day) 305-588-2385 (Fax) \_\_\_\_\_

Job Site Address: 33 Rio Vista Dr City: Sewall's Pt State: FL Zip: 34997

Legal Desc. Property (Subd/Lot/Block) Rio Vista S/D Lot 100 Parcel Number: 12-38-41-002-000-01000 -S

Owner Address (if different): 12385 Key Stone Island Dr City: N. Miami State: FL Zip: 33181

Description of Work To Be Done: Install (18) Accordion Shutters

WILL OWNER BE THE CONTRACTOR?:

YES  NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 16,977  
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

Is Improvement cost 50% or more of Fair Market Value? YES  NO

Method of Determining Fair Market Value: \_\_\_\_\_

(If no, fill out the Contractor & Subcontractor sections below)  
(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: Rolladen, Inc Phone: 954-454-4114 Fax: 954-454-1577

Street: 550 Ansin Blvd City: Hallandale State: FL Zip: 33009

State Registration Number: 06L008964 State Certification Number: 06L008964 Martin County License Number: \_\_\_\_\_

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER Al Farooq Lic# 16337 Phone Number: 305-264-8100

Street: 1235 SW 87 Ave City: Miami State: FL Zip: 33174

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

George Gill  
State of Florida, County of: Broward

This the 13TH day of April, 2007

by George Gill who is personally

known to me or produced as identification.

MARIA MORENO  
Notary Public  
Comm # DD0491355  
Expires 11/16/2009  
Bonded thru (800) 432-4254  
Florida Notary Assn, Inc

CONTRACTOR SIGNATURE (required)

Emilio Buzan  
On State of Florida, County of: Broward

This the 13TH day of April, 2007

by Emilio Buzan who is personally

known to me or produced as identification.

MARIA MORENO  
Notary Public  
Comm # DD0491355  
Expires 11/16/2009  
Bonded thru (800) 432-4254  
Florida Notary Assn, Inc

# Martin County, Florida

generated on 4/5/2007 8:52:10 AM EDT

## Summary

Parcel ID	Unit Address	Serial ID	Index Order	Commercial	Residential
12-38-41-002-000-01000-5	33 RIO VISTA DR	27611	Address	0	1

### Summary

**Property Location** 33 RIO VISTA DR  
**Tax District** 2200 Sewall's Point  
**Account #** 27611  
**Land Use** 101 0100 Single Family  
**Neighborhood** 120250  
**Acres** 0.410

### Legal Description

**Property Information**  
 RIO VISTA S/D LOT 100

### Owner Information

**Owner Information**  
 GILL, GEORGE H & VIVIAN C

### Mail Information

12385 KEYSTONE ISLAND DR  
 NORTH MIAMI FL 33181

### Assessment Info

**Front Ft.** 0.00

**Market Land Value** \$377,000

**Market Impr Value** \$553,960

**Market Total Value** \$930,960

### Recent Sale

**Sale Amount** \$930,000

**Sale Date** 12/1/2004

**Book/Page** 1959 1308

Data updated on 03/27/2007

0110 Wayne Sampedro  
address 550 Ansin Blvd., Hallandale FL 33009  
permit # \_\_\_\_\_ Tax Folio # 12-39-41-002-000-01000

INSTR # 2009138  
OR BK 02242 PG 0813  
Pg 0813 (1pg)  
RECORDED 04/26/2007 11:50:39 AM  
MARSHA EWING  
CLERK OF MARTIN COUNTY FLORIDA  
RECORDED BY C Hunter

### NOTICE OF COMMENCEMENT

State of Florida  
County of Martin County

The undersigned hereby give notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement:

Legal Description of Property: Lot/Unit # 100, Block/Bldg# \_\_\_\_\_

Subdivision/Condominium: Rio Vista  
( ) Plat Book ( ) OR Book \_\_\_\_\_ Page \_\_\_\_\_, Broward County, Florida.

( ) Lengthy Legal, please see description attached hereto as \_\_\_\_\_

Street Address: 33 Rio Vista Dr  
(If available) Sewells Point, FL 34997

(Space above this line reserved for recording office use.)

General Description of Improvement: install hurricane shutters

Property Owner Name: George Gill 33 Rio Vista Dr  
Mailing address: Sewells Point FL 33181

and interest in property owner

Name / mailing address of fee simple titleholder (if other than owner): \_\_\_\_\_

Contractor name: Rolladen, Inc.

Address: 550 Ansin Blvd., Hallandale Florida 33009

Phone number: (954) 454-4114 Fax# (optional, if service by fax is acceptable): (954) 454-1577

If Surety Bond, name: \_\_\_\_\_  
and address of Surety: \_\_\_\_\_

and amount of Bond: \$ \_\_\_\_\_ (copy of bond must be attached to this Notice at time of recording)

Phone number: \_\_\_\_\_ Fax# (optional, if service by fax is acceptable): \_\_\_\_\_

Lender name: \_\_\_\_\_  
Address: \_\_\_\_\_

Phone number: \_\_\_\_\_ Fax# (optional, if service by fax is acceptable): \_\_\_\_\_

Persons within the State of Florida (names and addresses) designated by property owner upon whom Notices or other documents may be served as provided by Section 713.13 (1) (A) 7., Florida Statutes:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone number: \_\_\_\_\_ Fax# (optional, if service by fax is acceptable): \_\_\_\_\_

In addition to himself, Owner designates the following person(s) to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(B), Florida Statutes.

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone number: \_\_\_\_\_ Fax# (optional, if service by fax is acceptable): \_\_\_\_\_

3. Expiration Date of this Notice: \_\_\_\_\_  
(expires 1 year from date recorded unless a different date is specified)

Owner Signature: [Signature]

Printed Name: GEORGE GILL

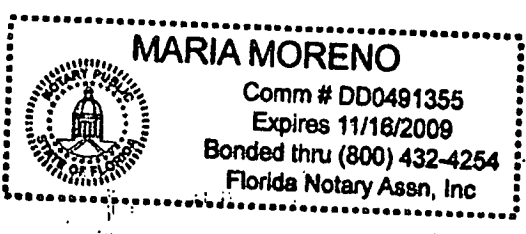
SWORN TO AND SUBSCRIBED before me this 13TH day of April, 2007, by

George Gill, who is personally known to me or who produced \_\_\_\_\_ as

identification, and who did \_\_\_\_\_ take an oath.

Signature of Notary: [Signature]

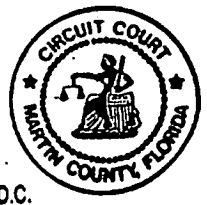
Printed Name: MARIA MORENO  
(affix seal)



STATE OF FLORIDA  
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.

MARSHA EWING, CLERK  
BY: [Signature] D.C.  
DATE: 4/26/07



Return Recorded Document to: (Name and Address)  
Rolladen, Inc.  
550 Ansin Blvd.  
Hallandale, FL 33009

(Space above this line reserved for recording office use.)

# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
01/31/2007

INSURER (954)724-7000 FAX (954)724-7024  
 Keyes Coverage, Inc.  
 100 Hiatus Road  
 Hallandale, FL 33321  
 ZIE B. EXT 2235 suzieb@keyescor.com  
 ROLLADEN, Inc.  
 Security Climate Control  
 550 Ansin Boulevard  
 Hallandale, FL 33009  
 FAX 1-954 454 4220

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE	NAIC #
INSURER A: Burlington Ins Co	23620
INSURER B: Hartford Fire Ins. Co.	19682
INSURER C: American Guarantee & Liab Ins	26247
INSURER D: Everest National Ins Co.	28312
INSURER E:	

## VERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

ADD'L INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
	<b>GENERAL LIABILITY</b> <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> Ded \$5,000 per c/m <input checked="" type="checkbox"/> BI/PD/PI/AI/ALAE GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	HGL0008443  BLKT WAIVER OF SUB	02/01/2007	02/01/2008	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 50,000 MED EXP (Any one person) \$ 1,000 PERSONAL & ADV INJURY \$ 100,000 GENERAL AGGREGATE \$ 200,000 PRODUCTS - COMP/OP AGG \$ 200,000
	<b>AUTOMOBILE LIABILITY</b> <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	21UUNLF1991	02/01/2007	02/01/2008	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$
	<b>EXCESS/UMBRELLA LIABILITY</b> <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE \$ RETENTION \$ 0	AUC3748621-05	02/01/2007	02/01/2008	EACH OCCURRENCE \$ 5,000,000 AGGREGATE \$ 5,000,000 Prod Complete \$ 5,000,000
D	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below OTHER	2700011588-071	02/01/2007	02/01/2008	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input checked="" type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ 500,000 E.L. DISEASE - EA EMPLOYEE \$ 500,000 E.L. DISEASE - POLICY LIMIT \$ 500,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

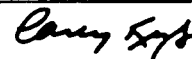
## CERTIFICATE HOLDER

City of Sewell's Point  
 1 Sewell Point Road  
 Sewell's Point, FL 34996

## CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE  
 Carey Keyes/KEY16





STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD  
1940 NORTH MONROE STREET  
TALLAHASSEE FL 32399-0783

(850) 487-1395

CUZAN, EMILIO CESAR  
ROLLADEN INC  
6422 COLLINS AVENUE  
UNIT#1802  
MIAMI BEACH

FL 33141

STATE OF FLORIDA AC# 268274  
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
 CGC008964 07/27/06 068015569  
 CERTIFIED GENERAL CONTRACTOR  
 CUZAN, EMILIO CESAR  
 ROLLADEN INC

IS CERTIFIED under the provisions of Ch.489 FS  
 Expiration date: AUG 31, 2008 L06072701124

DETACH HERE

C# 2682741

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L06072701124

DATE	BATCH NUMBER	LICENSE NBR
07/27/2006	068015569	CGC008964

The GENERAL CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2008

CUZAN, EMILIO CESAR  
ROLLADEN INC  
550 ANSIN BLVD  
HALLANDALE

FL 33009

JEB BUSH

SIMONE MARSTILLER

FD TR FR 180-4203

Board of County Commissioners, Broward County Florida

BROWARD COUNTY OCCUPATIONAL LICENSE TAX

FORM NO. 401-280/AC 25-061  
RV200625413 (Rev. 3/06)

FOR PERIOD OCTOBER 1, 2006 THRU SEPTEMBER 30, 2007

RENEWAL  TRANSFER SEC # 1-8-1-86

NEW DATE BUSINESS OPENED 10/18/00

STATE OR COUNTY CERT/REG # 008574

Business Location Address: 550 ANSIN BLVD  
HALLANDALE  
BUSINESS PHONE: (954) 454-6114

TAX: 7.00  
BACK TAX  
PENALTY  
T.C. FEE  
TRANSFER  
TOTAL: 27.00

PENALTIES IF PAID  
OCT - 10% NOV - 15%  
DEC - 20% After DEC 31 - 25%  
Plus Tax Collection Fee of up to \$25.00  
Based on Cost of License if Paid  
On or After November 30.

ACCOUNT NUMBER  
180-000556

THIS LICENSE MUST BE CONSPICUOUSLY DISPLAYED  
TO PUBLIC VIEW AT THE LOCATION ADDRESS ABOVE

ROLLADEN INC  
LUZAN, ELLIO, CESAR, QUAL  
550 ANSIN BLVD  
HALLANDALE FL 33009



TYPE OF LICENSE TAX PAID  
GENERAL CONTRACTOR  
1 UNIT

BROWARD COUNTY REVENUE COLLECTION  
115 S. Andrews Avenue, Governmental Center Annex  
FORT LAUDERDALE, FL 33301  
www.broward.org/revenue

2006 - 2007

PAYMENT RECEIVED AS VALIDATED ABOVE SEE INSTRUCTIONS ON BACK OF LAST COPY

000000000 0000002700 0000001800005564 1001

REVENUE COLLECTION DIVISION  
BROWARD COUNTY, FLORIDA  
307769.0001 of 0002  
8/17/06  
Paid 27.00

Board of County Commissioners, Broward County Florida

BROWARD COUNTY OCCUPATIONAL LICENSE TAX

FORM NO. 401-280/AC 25-061  
RV200625413 (Rev. 3/06)

FOR PERIOD OCTOBER 1, 2006 THRU SEPTEMBER 30, 2007

RENEWAL  TRANSFER SEC # 27001270

NEW DATE BUSINESS OPENED

STATE OR COUNTY CERT/REG #

Business Location Address: 550 ANSIN BLVD  
HALLANDALE  
BUSINESS PHONE: (954) 921-1522

TAX: 150.00  
BACK TAX  
PENALTY  
T.C. FEE  
TRANSFER  
TOTAL: 150.00

PENALTIES IF PAID  
OCT - 10% NOV - 15%  
DEC - 20% After DEC 31 - 25%  
Plus Tax Collection Fee of up to \$25.00  
Based on Cost of License if Paid  
On or After November 30.

ACCOUNT NUMBER  
270-000106

THIS LICENSE MUST BE CONSPICUOUSLY DISPLAYED  
TO PUBLIC VIEW AT THE LOCATION ADDRESS ABOVE

ROLLADEN INC  
550 ANSIN BLVD  
HALLANDALE FL 33009-0000



TYPE OF LICENSE TAX PAID  
SHUTTERS  
34 UNITS

BROWARD COUNTY REVENUE COLLECTION  
115 S. Andrews Avenue, Governmental Center Annex  
FORT LAUDERDALE, FL 33301  
www.broward.org/revenue

2006 - 2007

PAYMENT RECEIVED AS VALIDATED ABOVE SEE INSTRUCTIONS ON BACK OF LAST COPY

000000000 0000015000 0000002700001067 1001

REVENUE COLLECTION DIVISION  
BROWARD COUNTY, FLORIDA  
307769.0002 of 0002  
8/17/06  
Paid 150.00



ROLLADEN INCORPORATED



CUSTOMER NAME GEORGE GILL JOB ADDRESS 33 RIO VISTA
BILLING ADDRESS 12385 KEYSTONE FLD DR (SEWALLS POINT)
N: MIAMI BEACH, FL 33181 STUART, FL 34997
TELEPHONE 305-588-2385 PROPERTY OWNER SAME
OTHER PHONE

We propose to furnish and install the following:

Table with columns: UNIT NO., PRODUCT CODE, DOOR, WINDOW, ROOM, ACTUAL OPENING SIZE WIDTH X HEIGHT, ROLL SHUTTER OPERATION CRANK ONLY, MOTOR ONLY, MOTOR & CRANK, COLOR SELECTION PROFILE, FRAME, SPECIAL INSTRUCTIONS. Rows 1-10 with handwritten entries.

10 TOTAL

Rear
SEE ATTACHED
Indicate by number counter clockwise
Omit
Front

Summary table: TOTAL AMOUNT OF CONTRACT \$ 16977, DEPOSIT - 1/3 MINIMUM REQUIRED \$ 5659, 1/3 DUE PRIOR TO COMMENCEMENT OF INSTALLATION \$ 5659, BALANCE TO BE PAID TO INSTALLER \$ 5659. Installation to begin in approximately 35 to 45 weeks.

Special Instruction: NO H.O.A NEEDED (CUSTOMER WILL FAX LEGAL INFO TO OFFICE)

Is electrical labor for motor and switch installation by Rolladen included in this price? YES NO Is high work required? YES NO
Floor of Building: I have received a copy of 'Notice of Consumer Rights Under the Construction Industry Recovery Fund' as required (Initials).

TERMS OF PAYMENT: BALANCE OF PAYMENT IS DUE UPON INSTALLATION. When Building Codes require a final building inspection or if an electrical connection by Rolladen is required, a maximum of ten percent (10%) of the contract amount may be retained pending completion.

OWNER OF PROPERTY? YES NO (If NO, fill in Owner's name and address in space provided at top of form.)
Products are to be installed on the premises situated in MARTIN County, State of FL owned by Purchaser and described as: Lot Block Sub Division Folio #

CONTRACT SUBJECT TO ADDITIONAL TERMS ON REVERSE SIDE "BUYERS RIGHT TO CANCEL"

"This is a home solicitation sale, and if you do not want the goods or services, you may cancel this agreement by providing written notice to the seller in person, by telegram, or by mail. This notice must indicate that you do not want the goods or services and must be delivered or postmarked before midnight of the third business day after you sign this agreement." EXECUTED IN SIX COPIES, ONE COPY OF WHICH WAS DELIVERED TO, AND RECEIPT IS HEREBY ACKNOWLEDGED BY BUYER,

THIS 29 DAY OF APRIL, 2006.
John L. Cullen (Salesman)
(Purchaser Sign Here)
(Purchaser Sign Here)

ORDER NO. 061139529 Page 1 of 2



ROLLADEN INCORPORATED



CUSTOMER NAME GEORGE GILL JOB ADDRESS 33 RIO USTA
BILLING ADDRESS 12385 KEYSTONE FSL DR (SEWALLS POINT)
N. MIAMI BEACH, FL. 33181 STUART, FL. 34997
TELEPHONE 305-588-2385 PROPERTY OWNER SAME
OTHER PHONE

We propose to furnish and install the following:

Table with columns: UNIT NO., PRODUCT CODE, DOOR, WINDOW, ROOM, ACTUAL OPENING SIZE, ROLL SHUTTER OPERATION, COLOR SELECTION, SPECIAL INSTRUCTIONS. Rows 11-18 include details for units in rooms like BALCONY and FRONT DOOR.

Summary section including 'TOTAL' row, 'TOTAL AMOUNT OF CONTRACT' (\$ SEE Pg. 1), 'DEPOSIT - 1/3 MINIMUM REQUIRED', '1/3 DUE PRIOR TO COMMENCEMENT OF INSTALLATION', 'BALANCE TO BE PAID TO INSTALLER', and installation start/end dates (35 to 45 weeks).

Special Instruction:

Is electrical labor for motor and switch installation by Rolladen included in this price? YES NO Is high work required? YES NO
Floor of Building: I have received a copy of "Notice of Consumer Rights Under the Construction Industry Recovery Fund" as required

TERMS OF PAYMENT: BALANCE OF PAYMENT IS DUE UPON INSTALLATION. When Building Codes require a final building inspection or if an electrical connection by Rolladen is required, a maximum of ten percent (10%) of the contract amount may be retained pending completion.

OWNER OF PROPERTY? YES NO (If NO, fill in Owner's name and address in space provided at top of form.)

Products are to be installed on the premises situated in MARTIN County, State of owned by Purchaser and described as: Lot Block Sub Division Folio #

CONTRACT SUBJECT TO ADDITIONAL TERMS ON REVERSE SIDE "BUYERS RIGHT TO CANCEL"

"This is a home solicitation sale, and if you do not want the goods or services, you may cancel this agreement by providing written notice to the seller in person, by telegram, or by mail. This notice must indicate that you do not want the goods or services and must be delivered or postmarked before midnight of the third business day after you sign this agreement."

EXECUTED IN SIX COPIES, ONE COPY OF WHICH WAS DELIVERED TO, AND RECEIPT IS HEREBY ACKNOWLEDGED BY BUYER. THIS 29 DAY OF APRIL 2006.

Signatures: John L. Gillen (Salesman) and Purchaser Sign Here (dated 5/26/2006)



Rolladen Shutters

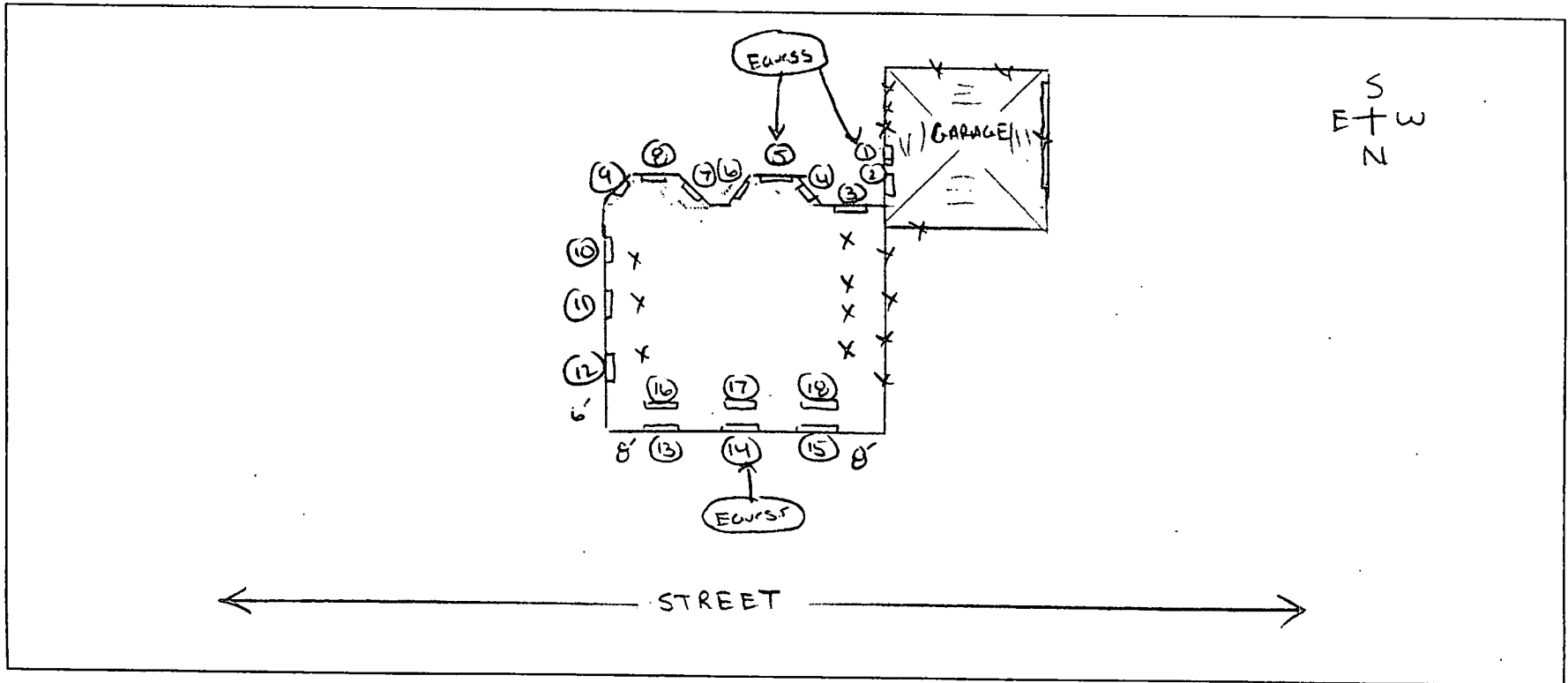
Customer: Gill, George  
33 RIO VISTA  
Stuart, FL. 34997

Seawall PT

Date: \_\_\_\_\_  
 Contract #: 06A39529  
 Color: white

Criteria Data	
Mean Roof Height:	<u>20'</u>
Exposure:	<u>C</u>
Roof Slope:	<u>&gt;10°</u>
Elevation:	<u><del>12'</del> 12'</u>
End Zone:	<u>VCS</u>
WIND CHART	<u>140</u>
Design Loads	
Positive	<u>45.5</u>
Negative Int. Zone:	<u>49.3</u>
Negative End Zone:	<u>60.9</u>

Shutter Schedule											
#	Width	Height	Zone	Product	Anchor	#	Width	Height	Zone	Product	Anchor
1	50	89	4	ACC	6/9	11	113	53 1/2	4	ACC	9"
2	50	58	4	↑	9	12	113	53 1/2	4	↑	9"
3	61	61	4	↑	9 tube	13	90	89	4	↑	6/6
4	61	61	4	↑	9"	14	130	89	4	↑	6/6
5	90	89	4	↑	6/9	15	90	89	4	↑	6/6
6	61	61	4	↑	9"	16	90	86 1/2	4	↑	6/6
7	61	61	4	↑	9"	17	90	86 1/2	4	↓	6/6
8	90	89	5	↓	6/9	18	90	86 1/2	4	ACC	6/6
9	61	61	5	↓	9"	19					
10	61	61	5	ACC	9"	20					



ROLLADEN SHUTTERS

ACCORDIAN DIMENSIONS

CUSTOMER Gill

CONTRACT # 06A39529  
 COLOR white

DATE: \_\_\_\_\_

①  
50  
37 1/2  
10" 10"  
BLADES 2 BLADES  
OFFSET: L R SPLIT STACK: L EVEN R  
A: 89  
TOP TRACK w  
BOTTOM TRACK FLP  
LOCK In φ  
REM NO  
B.O. \_\_\_\_\_  
O. H. 86 86 1/2

6" O.C.  
9" O.C.

①  
50  
37 1/2  
BLADES 2 BLADES  
OFFSET: L R SPLIT STACK: L EVEN R  
A: 58  
TOP TRACK w  
BOTTOM TRACK w  
LOCK out up lb  
REM NO  
B.O. 0-  
O. H. 53

9" O.C.

② ④ ⑥ ⑦ ⑨ ⑩  
61 1/4  
44-45  
10 BLADES 10 BLADES  
OFFSET: L R SPLIT STACK: L EVEN R  
A: 61  
TOP TRACK w  
BOTTOM TRACK w  
LOCK out up lb  
REM NO  
B.O. 0-  
O. H. 56 1/2

9" O.C.  
#9-#10  
20125

③  
61 1/4  
44-45  
10 BLADES 10 BLADES  
OFFSET: L R SPLIT STACK: L EVEN R  
A: 61  
TOP TRACK w  
BOTTOM TRACK w cut up lb  
LOCK out up lb  
REM NO  
B.O. 1-  
O. H. 56

9" O.C.

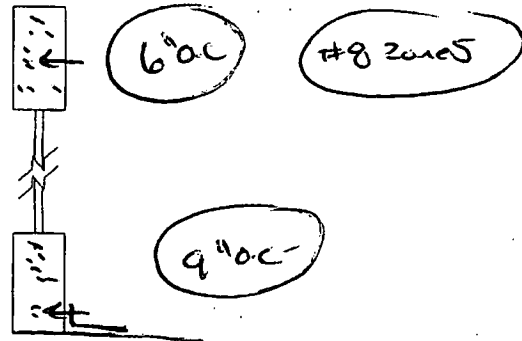
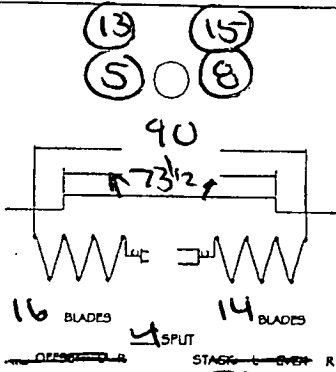
ROLLADEN SHUTTERS

ACCORDIAN DIMENSIONS

CUSTOMER Gill

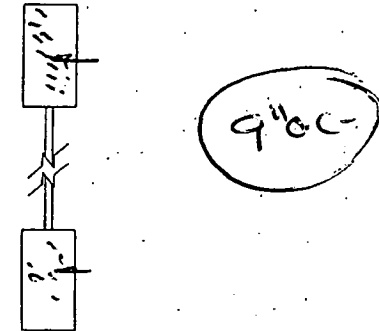
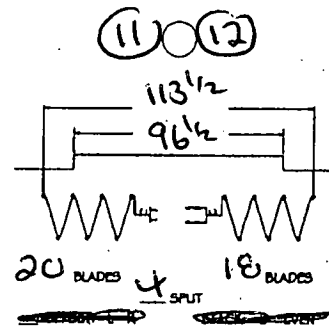
CONTRACT # 06A39529  
 COLOR white

DATE: \_\_\_\_\_

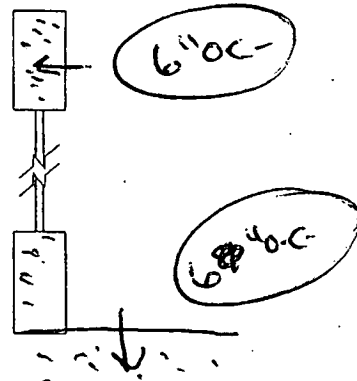
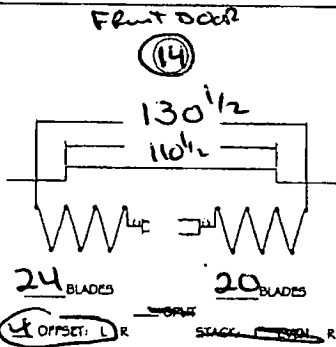


TOP TRACK w  
 BOTTOM TRACK FLR  
 LOCK #8-out 4  
 REM NO  
 B.O. 0-  
 O.H. 86 1/2

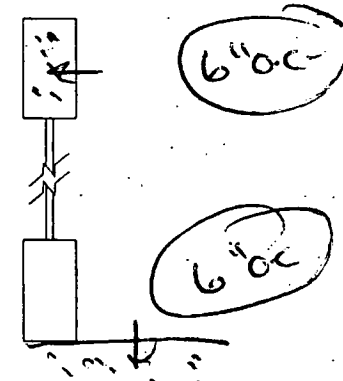
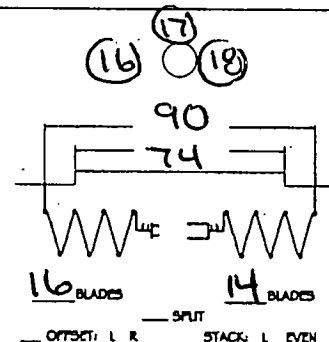
#5 In/out d  
 #13-#15 out d  
 NO bottoming



TOP TRACK w  
 BOTTOM TRACK w  
 LOCK out up 12  
 REM NO  
 B.O. 0-  
 O.H. 48 1/2



TOP TRACK w  
 BOTTOM TRACK FLR  
 LOCK In/out 4  
 REM 80"  
 B.O. 0-  
 O.H. 86 1/2



TOP TRACK w  
 BOTTOM TRACK FLR  
 LOCK out 4 #17-18 #16 In/d  
 REM NO  
 B.O. 0-  
 O.H. 84

BUILDINGS EQUAL OR LESS THAN 60 FEET HIGH						
Basic Wind Speed 140mph, Importance Factor-1.0, Exposure 'C'						
PER FLORIDA CODE AND ASCE 7						
MEAN ROOF ELEV. FEET	ROOF SLOPE > 10 DEGREES. TRIBUTARY AREA = 10 SQ. FT.			ROOF SLOPE < 10 DEGREES TRIBUTARY AREA = 10 SQ. FT.		
	ZONE	ZONE	ZONE	ZONE	ZONE	ZONE
	4 & 5	4	5	4 & 5	4	5
	(+)	(-)	(-)	(+)	(-)	(-)
=/< 15	42.7	46.2	57.1	38.4	41.6	51.4
20	45.5	49.3	60.9	41	44.4	54.8
25	47.7	51.6	63.7	42.9	46.4	57.3
30	49.4	53.5	66.1	44.5	48.2	59.5
35	51.2	55.4	68.4	46.1	49.9	61.6
40	52.6	56.9	70.3	47.3	51.2	63.3
45	54	58.4	72.2	48.6	52.6	65
50	55.1	59.6	73.6	49.6	53.6	66.2
55	56.1	60.7	75	50.5	54.6	67.5
60	57.2	61.9	76.5	51.5	55.7	68.9

**WIND LOAD TABLES FOR SHUTTERS APPLIED OVER COMPONENTS**

FLORIDA CODE AND ASCE 7  
 BASIC WIND SPEED: 140 MPH.

ROLLADEN SHUTTERS INC.  
 550 ANSIN BLVD.  
 HALLANDALE, FL., 33009

MAR 05 2007  
*Richard M. Tracy*

TRACY CONSULTANTS  
 4660 SW 128 AVENUE  
 SW RANCHES, FL. 33330  
 954-434-5035  
 PE#11363 CA#3958



**MIAMI-DADE COUNTY**  
 BUILDING CODE COMPLIANCE OFFICE (BCCO)  
 PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA  
 METRO-DADE FLAGLER BUILDING

140 WEST FLAGLER STREET, SUITE 1603  
 MIAMI, FLORIDA 33130-1563  
 (305) 375-2901 FAX (305) 375-2908

**NOTICE OF ACCEPTANCE (NOA)**

[www.miamidade.gov](http://www.miamidade.gov)

**Rolladen, Inc.**  
**550 Ansin Boulevard**  
**Hallandale, Florida 33009**

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION: Extruded Aluminum Accordion Shutter**

**APPROVAL DOCUMENT:** Drawing No. 96-19, titled "Accordion Shutter Details", sheets 1 through 6 of 6, prepared by Al-Farooq Corporation, dated April 25, 1996, last revision #F dated November 10, 2005, signed and sealed by Humayoun Farooq, P.E., bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING: Large and Small Missile Impact**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 03-0123.07 and consists of this page 1, evidence submitted pages E-1, E-2, & E-3 and approval document mentioned above.

The submitted documentation was reviewed by **Helmy A. Makar, P.E.**



*Helmy A. Makar*  
 08/10/2006

NOA No 06-0213.03  
 Expiration Date: 02/27/2008  
 Approval Date: 08/10/2006  
 Page 1

**Rolladen, Inc.**

**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

**1. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL #96-0621.01**

**A. DRAWINGS**

1. *Drawing No. 96-19, "Rolladen, Inc.", Sheets 1 thru 5 of 5, dated 11/25/96, latest revision No. C, dated 01/30/97, prepared by Al-Farooq Corporation, signed and sealed by Humayoun Farooq, P.E.*

**B. TESTS**

1. *Test report on: 1.) Uniform Static Air Pressure Test Loading, per PA 202-94 of extruded aluminum accordion shutter (120" span), prepared by Hurricane Engineering & Testing, Inc., Report No. HETI-96-535, dated 03/21/96, signed and sealed by Hector M. Medina, P.E..*
2. *Test report on: 1.) Large Missile Impact Test, per PA 201-94, and  
2.) Cyclic Wind Pressure Test, per PA 203-94  
of extruded aluminum accordion shutter, prepared by Hurricane Engineering & Testing, Inc., Report No. HETI-96-537, dated 04/01/96, signed and sealed by Hector M. Medina, P.E.*

**C. CALCULATIONS**

1. *Comparative Analysis and Anchor Analysis dated 06/11/96, 01/03/97 and 01/31/97 prepared by Al-Farooq Corporation, signed and sealed by Humayoun Farooq, P.E.*

**D. MATERIAL CERTIFICATIONS**

1. *Mill Certified Test Report issued by Benda Aluminum of Florida, with chemical composition for aluminum 6063-T6 alloy dated 03/15/96.*
2. *Tensile Test Report No. HETI-96-T17 Prepared by Hurricane Engineering & Testing, Inc., dated 04/11/96, signed and sealed by Hector M. Medina, P.E.*

**2. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL #00-0128.10**

**A. DRAWINGS**

1. *None.*

**B. TESTS**

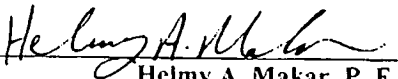
1. *None.*

**C. CALCULATIONS**

1. *None.*

**D. MATERIAL CERTIFICATIONS**

1. *None.*



Helmy A. Makar, P. E.  
Product Control Examiner  
NOA No 06-0213.03  
Expiration Date: 02/27/2008  
Approval Date: 08/10/2006

**Rolladen, Inc.**

**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

**F. OTHERS**

1. Letter from Rolladen, Inc., dated 01/20/2000, signed by Mr. Terry D. Low, stating that the product approval #96-0621.01 has not changed.
2. Letter from Al-Farooq Corporation, dated 01/20/2000, signed and sealed by H. Farooq, P.E., stating that he is still in the engineering business.

**3. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL #00-0411.07**

**A. DRAWINGS**

1. Drawing No. 96-19, titled "Accordion Shutter Details", Sheets 1 through 5 of 5, dated April 25, 1996, latest revision No. E, dated August 1, 2000, prepared by Al-Farooq Corporation, signed and sealed by Humayoun Farooq, P.E.

**B. TESTS**

1. Test report on Large Missile Impact Test, per PA 201-94, and Cyclic Wind Pressure Test, per PA 203-94 of extruded aluminum accordion shutter, prepared by Hurricane Engineering & Testing, Inc., Report No. HETI-00-864, dated 01/05/2000, signed and sealed by Hector M. Medina, P.E.

**C. CALCULATIONS**

1. Anchor Analysis, 14 sheets, dated 01/19/2000, prepared by Al-Farooq Corporation, signed and sealed by Humayoun Farooq, P.E.

**D. MATERIAL CERTIFICATIONS**

1. Mill Certified Test Report issued by Benda Aluminum of Florida, with chemical composition for aluminum 6063-T6 alloy dated 12/20/99.

**4. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL # 03-0123.07**

**A. DRAWINGS**

1. Drawing No. 96-19, titled "Accordion Shutter Details", Sheets 1 through 5 of 5, dated April 25, 1996, latest revision No. E, dated August 1, 2000, prepared by Al-Farooq Corporation, signed and sealed by Humayoun Farooq, P.E. on February 17, 2003.

**B. TESTS**

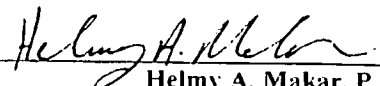
1. None.

**C. CALCULATIONS**

1. None.

**D. MATERIAL CERTIFICATIONS**

1. None.



Helmy A. Makar, P. E.  
Product Control Examiner  
NOA No 06-0213.03  
Expiration Date: 02/27/2008  
Approval Date: 08/10/2006

Rolladen, Inc.

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

**3. NEW EVIDENCE SUBMITTED**

**A. DRAWINGS:**

1. *Drawing No. 96-19, titled "Accordion Shutter Details", sheets 1 through 6 of 6, prepared by Al-Farooq Corporation, dated April 25, 1996, last revision #F dated November 10, 2005, signed and sealed by Humayoun Farooq, P.E.*

**B. TESTS:**

1. *None.*

**C. CALCULATIONS:**

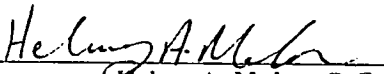
1. *Anchor analysis, 77 pages, dated January 31, 2006, prepared by Al-Farooq Corp., signed and sealed by Humayoun Farooq, P.E.*

**D. QUALITY ASSURANCE**

1. *By Miami-Dade County Building Code Compliance Office.*

**E. MATERIAL CERTIFICATION:**

1. *None.*

  
Helmy A. Makar, P. E.

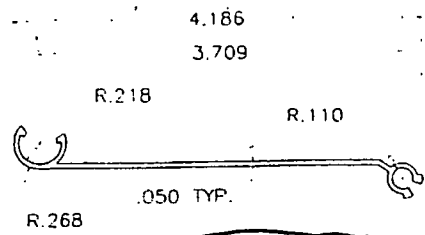
Product Control Examiner

NOA No 06-0213.03

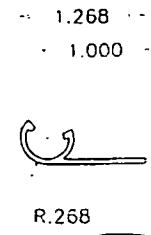
Expiration Date: 02/27/2008

Approval Date: 08/10/2006

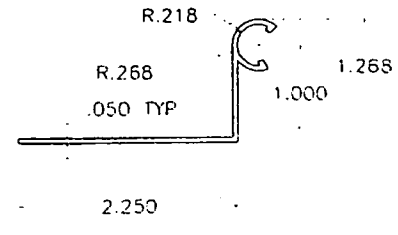




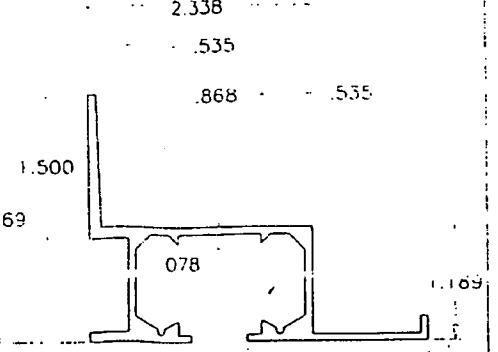
**BLADE '5905'**  
6063-T6



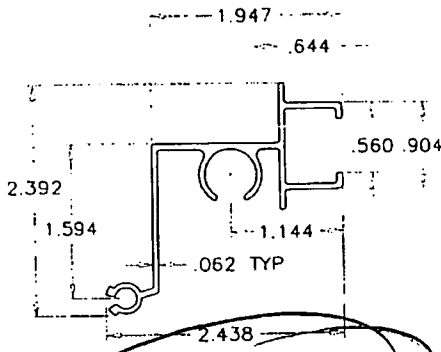
**END SLAT**  
6063-T6



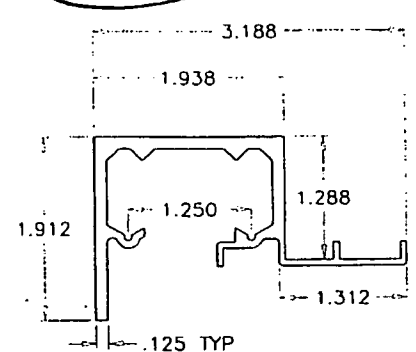
**90 END SLAT**  
6063-T6



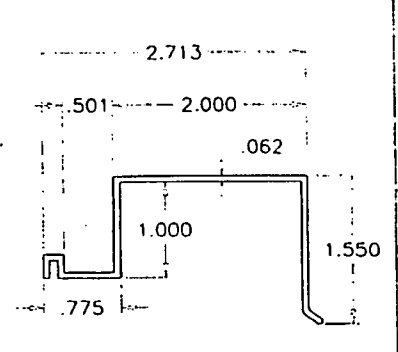
**WALL MOUNT TRACK**  
6063-T6



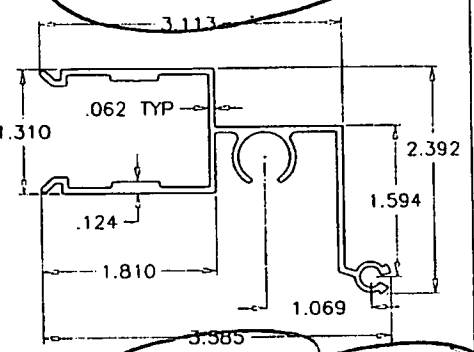
**MALE LOCK SLAT '5904'**  
6063-T6



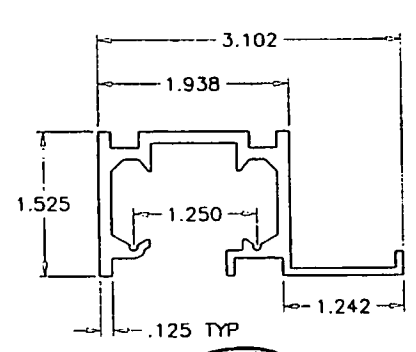
**H.D. HEADER**  
6063-T6



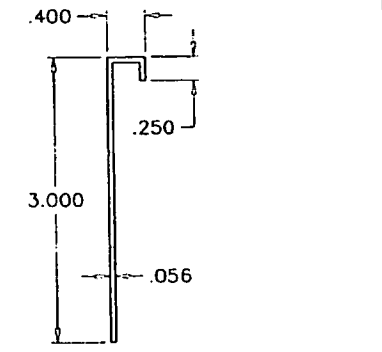
**RAIN-GUARD**  
6063-T6



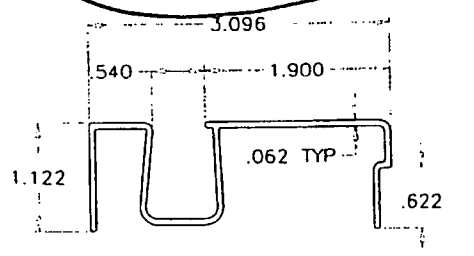
**FEMALE LOCK SLAT '5903'**  
6063-T6



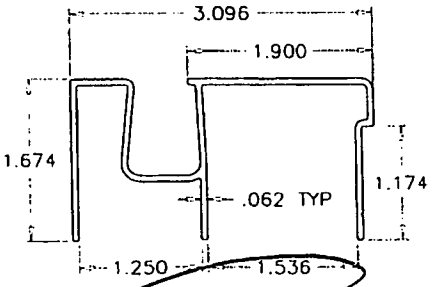
**ALT. HEADER**  
6063-T6



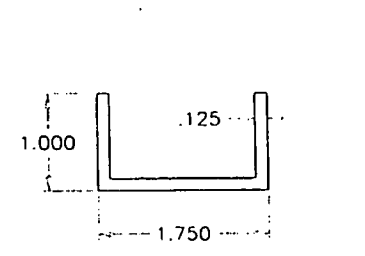
**BOTTOM GUTTER**  
6063-T6



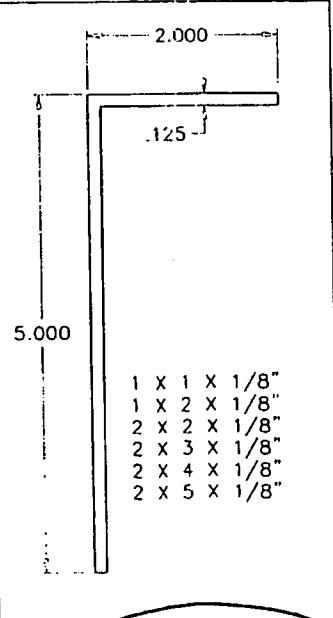
**ALT. SILL**  
6063-T6



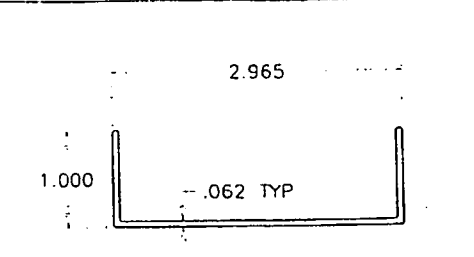
**SILL**  
6063-T6



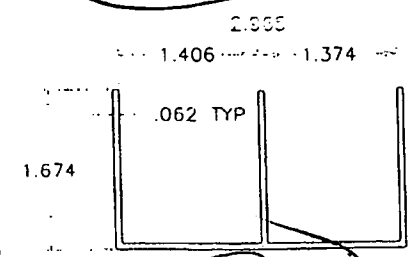
**FLOOR SHOE**  
6063-T6



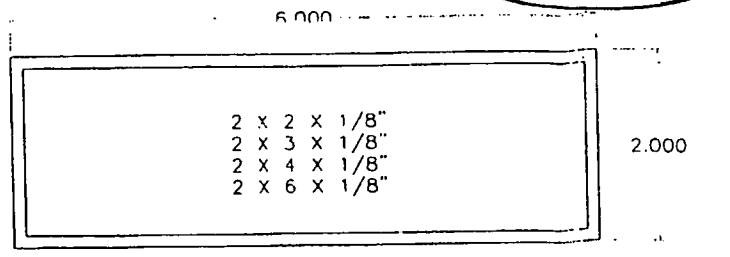
**ALUMINUM ANGLES**  
6063-T6



**ALT. SILL ADAPTER**  
6063-T6



**SILL ADAPTER**  
6063-T6



**ALUMINUM TUBES**  
6063-T6

**GENERAL NOTES**

1. THIS PRODUCT HAS BEEN DESIGNED AND TESTED TO COMPLY WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 2004 EDITION INCLUDING HIGH VELOCITY HURRICANE ZONE.
2. DESIGN CRITERIA FOR ALUMINUM, MINIMUM MECHANICAL PROPERTIES, AND SAFETY FACTORS ARE IN ACCORDANCE WITH THE "ALUMINUM CONSTRUCTION MANUAL" LATEST EDITION.
3. ALUMINUM ALLOYS: ALL EXTRUSIONS SHALL BE ALLOY AS SHOWN
4. STEEL SURFACES TO BE PLACED IN CONTACT WITH ALUMINUM SHALL BE GIVEN ONE COAT OF ZINC CHROMATE PRIMER IN ACCORDANCE WITH FEDERAL SPEC. NO. TTP-645, OR BE GALVANIZED.
5. ANCHORS SHALL BE AS SHOWN ON DETAILS. ANCHOR EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR STUCCO.
6. ALL BOLTS SHALL BE STAINLESS STEEL, ALUMINUM ALLOY 2024-T4 OR 7075-T6, OR PLATED STEEL. WING NUTS TO BE OF ZINC ALLOY.
7. DESIGN CRITERIA FOR SLATS: MAX DEFLECTION  $\leq L/30$  OR 2".
8. ANCHORING OR LOADING CONDITIONS OTHER THAN THOSE SHOWN IN THESE DETAILS ARE NOT PART OF THIS APPROVAL.
9. A LOAD DURATION INCREASE IN ALLOWABLE STRESS IS USED IN DESIGN OF WOOD ANCHORS ONLY.

DESIGN LOADS SHALL BE CALCULATED AS PER REQUIREMENTS OF ASCE 7-02 AS REQUIRED BY BUILDING CODE.

DESIGN PRESSURE RATING = + 74 PSF  
- 105 PSF

**PRODUCT MARKING**

A LABEL SHALL BE AFFIXED ON LOCKING MEMBER OF UNIT ABOVE LOCK WITH THE FOLLOWING STATEMENT:  
ROLLADEN INC., MIAMI, FL.  
'MIAMI DADE COUNTY PRODUCT CONTROL APPROVED'

PRODUCT CONTROL  
06-0213-03  
02/27/2008  
*Hedley H. Hester*  
Miami Dade County Control Division

All openings

Engr: DR. HUMAYOUN FAROOQ  
STRUCTURES  
FLA. PE # 15557  
C.A.N. 3538

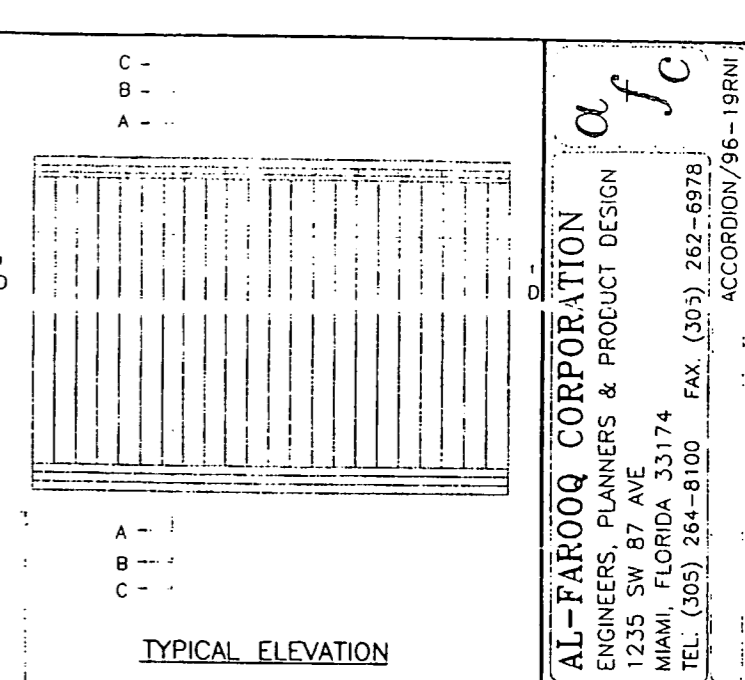
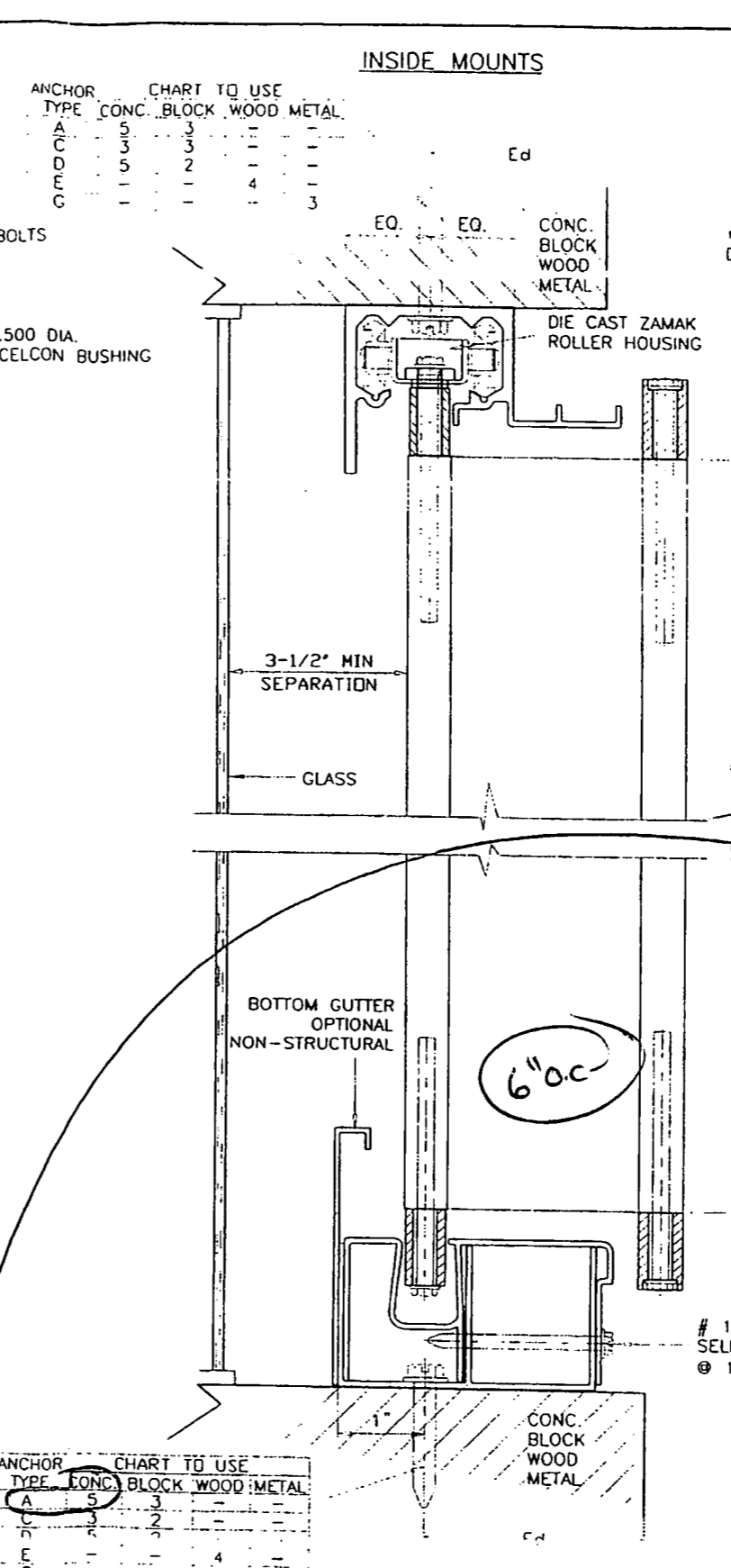
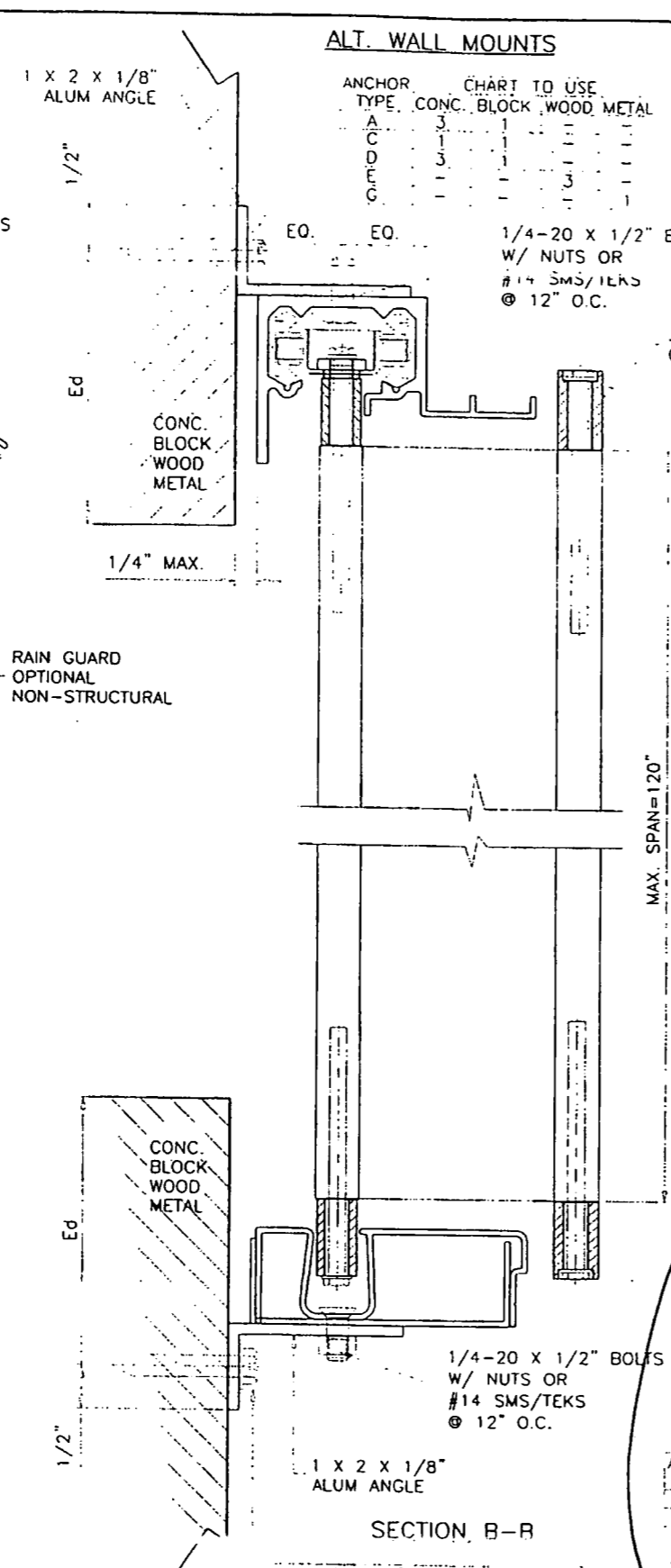
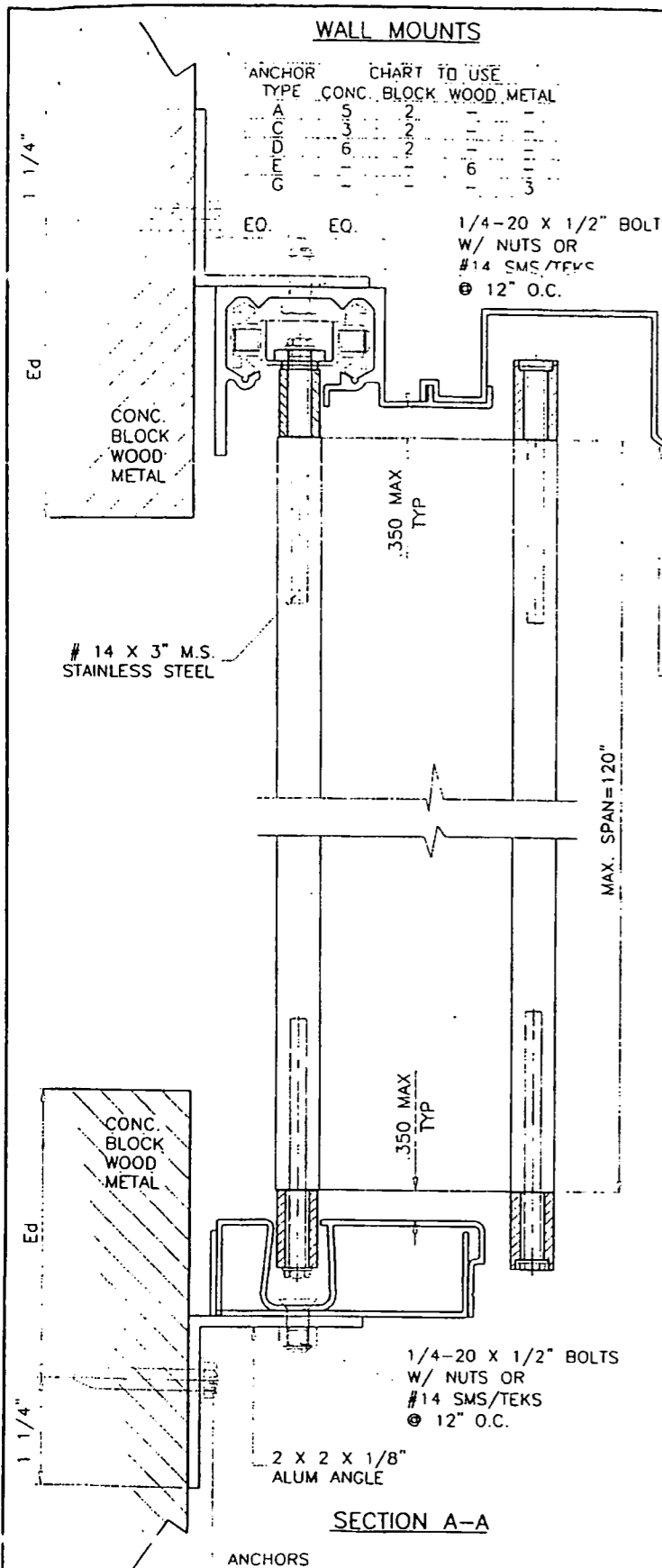
JUL 14 2008

**AL-FAROOQ CORPORATION**  
ENGINEERS, PLANNERS & PRODUCT DESIGN  
1235 SW 87 AVE  
MIAMI, FLORIDA 33174  
TEL. (305) 264-8100 FAX. (305) 262-6978  
ACCORDION/96-19RNI

ACCORDION SHUTTER DETAILS  
**ROLLADEN INC.**  
550 ANSIN BLVD.  
HALLANDALE, FL. 33009  
TEL. (954) 757-8591 FAX. (954) 454-1577

NO.	DATE	DESCRIPTION
A	01.02.97	ISS. ADAPTER & CHART 3 REV.
B	01.30.97	ALT. HOP. CHARTS REV.
C	01.14.00	WALL TRACK ASSEO
D	08.01.00	REV. PER BECO COMMENTS
E	11.10.05	UPDATED TOP 2004 FBC

date: 04-25-96  
scale: 1/2" = 1"  
drawing no. 96-19  
sheet 1 of 6



MAX. SPAN=120"

6" o.c.

BOTTOM GUTTER OPTIONAL NON-STRUCTURAL

ALTERNATE HEADER CAN BE USED IN LIEU OF H.D. HEADER.

Bottoms:  
13-14-15  
16-17-18

# 10 X 2" SELF DRILLING SCR. @ 15" O.C.

06-0213.03  
02/27/2008

Helmy A. Matar

FOR GENERAL NOTES AND EXTRUSION DETAILS SEE SHEET 1 OF 6.  
FOR WOOD INSTALLATIONS SEE SHEET 5 OF 6.  
FOR ANCHOR CHARTS SEE SHEET 6 OF 6.

Ed = TYPICAL EDGE DISTANCE  
CONC. & BLOCK = 12d (12 ANCHOR DIAMETERS)  
WOOD = 5d  
FOR LESSER EDGE DISTANCES SEE SHEET 6 OF 6.

ANCHORS: EMBEDMENT & EDGE DISTANCES SHOWN ARE BEYOND THE WALL & FLOOR COVERING (STUCCO, TILES, ETC.)

HEADER AND SILL DETAILS CAN BE USED IN ANY COMBINATIONS.

Engr: DR. HUMAYOUN FAROOQ STRUCTURES  
FLA. PE # 16557  
C.A.N. 3538

date: 04-25-96  
scale: 1/2" = 1"  
dr. by: HAVI  
chk. by:

revisions:

no.	date	by	description

ACCORDION SHUTTER DETAILS

**AL-FAROOQ CORPORATION**  
ENGINEERS, PLANNERS & PRODUCT DESIGN  
1235 SW 87 AVE  
MIAMI, FLORIDA 33174  
TEL: (305) 264-8100 FAX: (305) 262-6978  
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**ROLLADEN INC.**  
550 ANSIN BLVD.  
HALLANDALE, FL. 33009  
TEL: (954) 757-8591 FAX: (954) 454-1577

96-19  
sheet 2 of 6

**BUILT-OUT CONDITION**

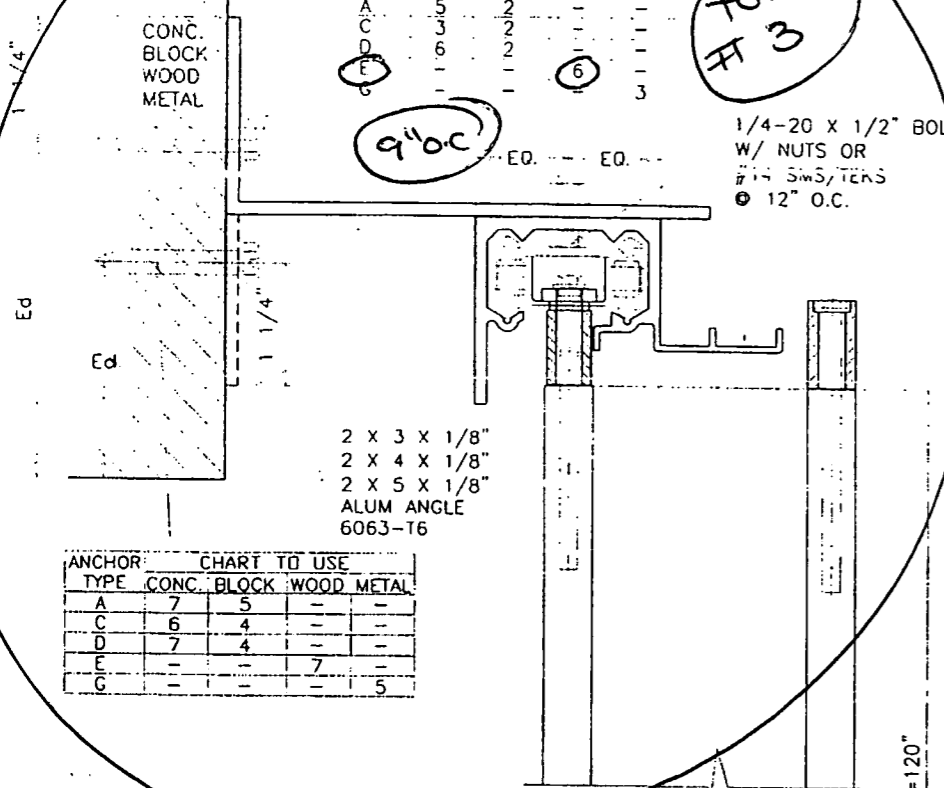
ANCHOR TYPE	CHART TO USE		
	CONC.	BLOCK	WOOD METAL
A	5	2	1
B	3	2	1
C	6	2	1
D	1	1	3
E	1	1	3
G	1	1	3

TOP #3

1/4-20 X 1/2" BOLTS W/ NUTS OR #14 SMS/TEKS @ 12" O.C.

2 X 3 X 1/8"  
2 X 4 X 1/8"  
2 X 5 X 1/8"  
ALUM ANGLE  
6063-T6

ANCHOR TYPE	CHART TO USE		
	CONC.	BLOCK	WOOD METAL
A	7	5	-
C	6	4	-
D	7	4	-
E	-	-	7
G	-	-	5



MAX. SPAN=120"

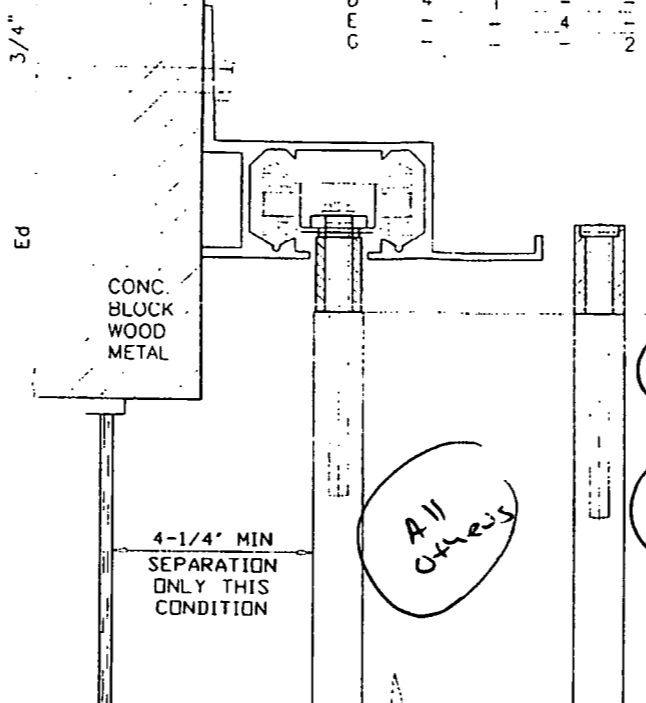
ANCHOR TYPE	CHART TO USE		
	CONC.	BLOCK	WOOD METAL
A	4	1	-
B	2	1	-
C	4	1	-
D	1	1	4
E	1	1	4
G	1	1	2

6" Decks Top

9" windows Top & Bot

All others

4-1/4" MIN SEPARATION ONLY THIS CONDITION

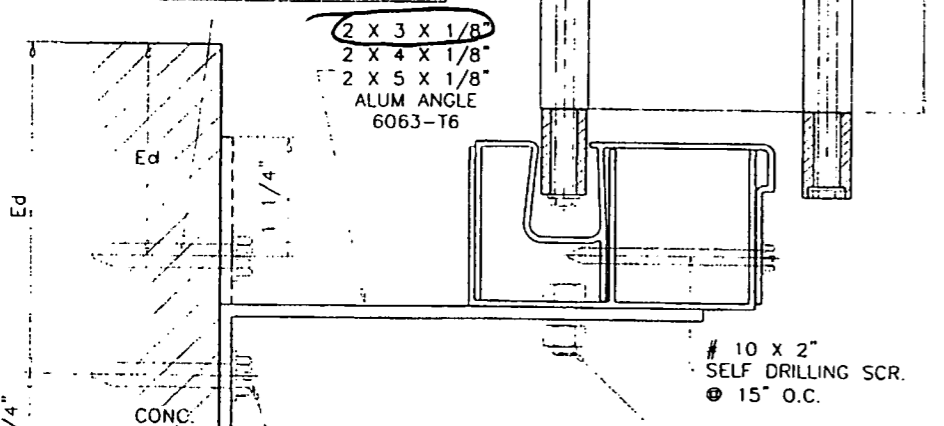


MAX. SPAN=120"

Bottoms #1-#5 #9 9" O.C.

ANCHOR TYPE	CHART TO USE		
	CONC.	BLOCK	WOOD METAL
A	6	3	-
C	4	3	-
D	7	3	-
E	-	-	6
G	-	-	4

2 X 3 X 1/8"  
2 X 4 X 1/8"  
2 X 5 X 1/8"  
ALUM ANGLE  
6063-T6



#10 X 2" SELF DRILLING SCR. @ 15" O.C.

1/4-20 X 1/2" BOLTS W/ NUTS OR #14 SMS/TEKS @ 12" O.C.

ANCHOR TYPE	CHART TO USE		
	CONC.	BLOCK	WOOD METAL
A	4	2	-
B	1	2	-
C	1	2	-
D	1	1	5
E	1	1	5
G	1	1	2

**SECTION D-D**

**WALL MOUNT TRACKS**

ANCHORS SAME AS HEADER

1 X 2 X 1/8" ALUM ANGLE CONT.

#10 X 5/8" SELF DRILLING SCR. @ 15" O.C.

#10 X 2" SELF DRILLING SCR. @ 15" O.C.

ANCHORS TYPE C AT 8" O.C. TYPE D AT 11" O.C.

**REMOVABLE SILL TRACK**

Engr: DR. HUMAYOUN FAROOQ  
STRUCTURES  
FLA. PE # 16557  
C.A.N. 3538

JUL 14 2006

06-0213.03  
02/27/2008

Heating A. Moham

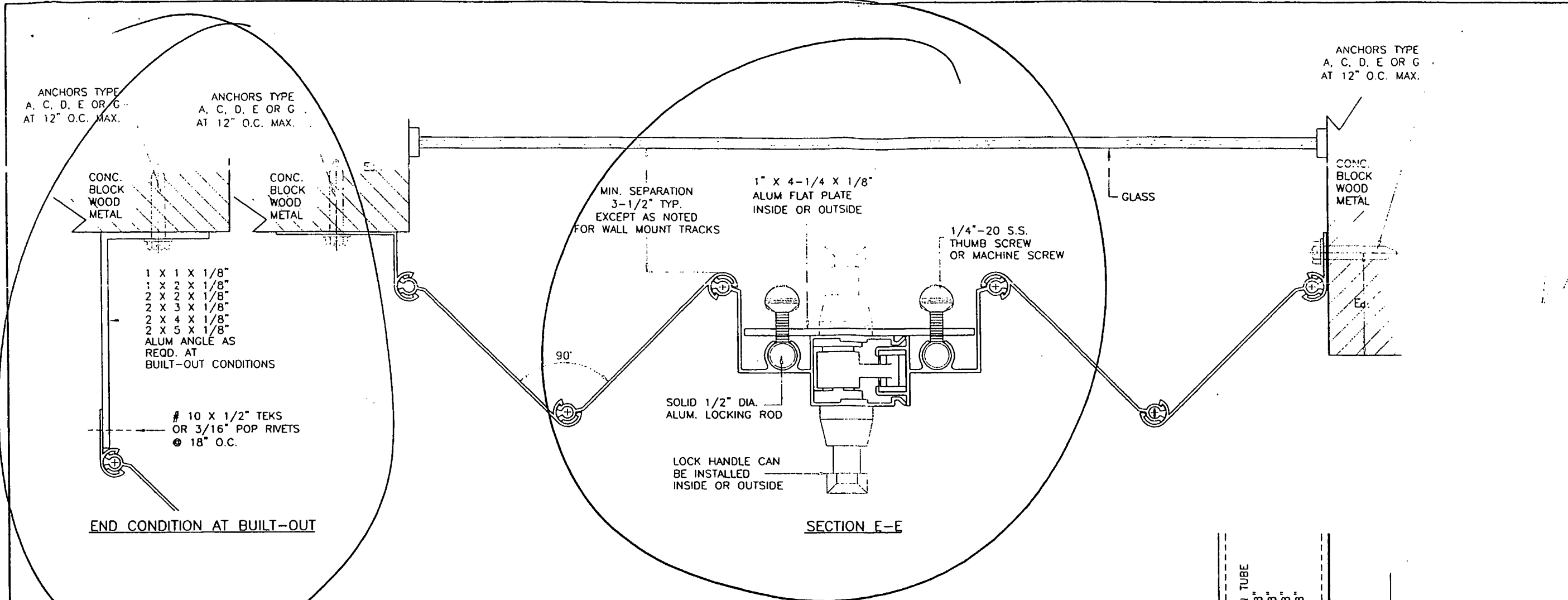
**AL-FAROOQ CORPORATION**  
ENGINEERS, PLANNERS & PRODUCT DESIGN  
1235 SW 87 AVE  
MIAMI, FLORIDA 33174  
TEL. (305) 264-8100 FAX. (305) 262-6978

**ROLLADEN INC.**  
550 ANSIN BLVD.  
HALLANDALE, FL. 33009  
TEL. (954) 757-8591 FAX. (954) 454-1577

no.	date	description

date: 04-25-96  
scale: 1/2" = 1"  
dr. by: [signature]  
chk. by: [signature]  
drawing no. 96-19  
sheet 3 of 4

ACCORDION/96-19RNI



- 1 X 1 X 1/8"
- 1 X 2 X 1/8"
- 2 X 2 X 1/8"
- 2 X 3 X 1/8"
- 2 X 4 X 1/8"
- 2 X 5 X 1/8"
- ALUM ANGLE AS REQD. AT BUILT-OUT CONDITIONS
- # 10 X 1/2" TEKS OR 3/16" POP RIVETS @ 18" O.C.

END CONDITION AT BUILT-OUT

MIN. SEPARATION 3-1/2" TYP. EXCEPT AS NOTED FOR WALL MOUNT TRACKS

1" X 4-1/4 X 1/8" ALUM FLAT PLATE INSIDE OR OUTSIDE

1/4"-20 S.S. THUMB SCREW OR MACHINE SCREW

SOLID 1/2" DIA. ALUM. LOCKING ROD

LOCK HANDLE CAN BE INSTALLED INSIDE OR OUTSIDE

SECTION E-E

ANCHORS TYPE A, C, D, E OR G AT 12" O.C. MAX.

ANCHORS TYPE A, C, D, E OR G AT 12" O.C. MAX.

ANCHORS TYPE A, C, D, E OR G AT 12" O.C. MAX.

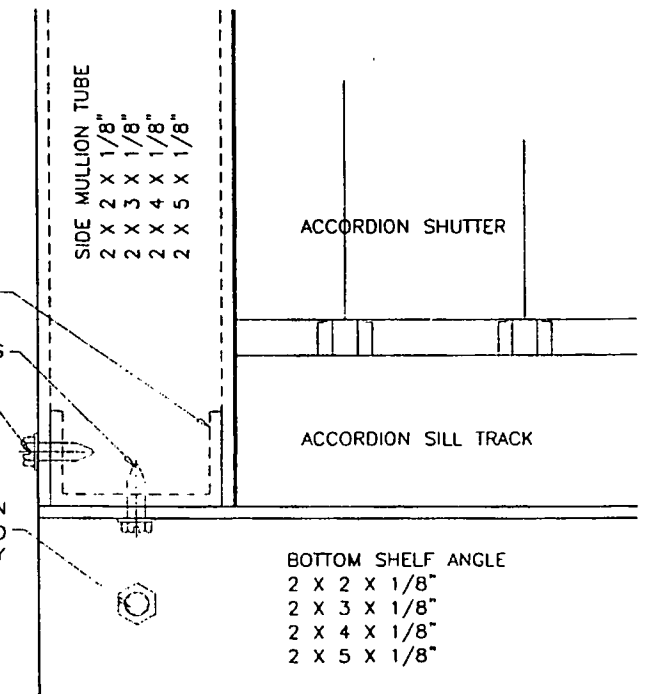
CONC. BLOCK WOOD METAL

CONC. BLOCK WOOD METAL

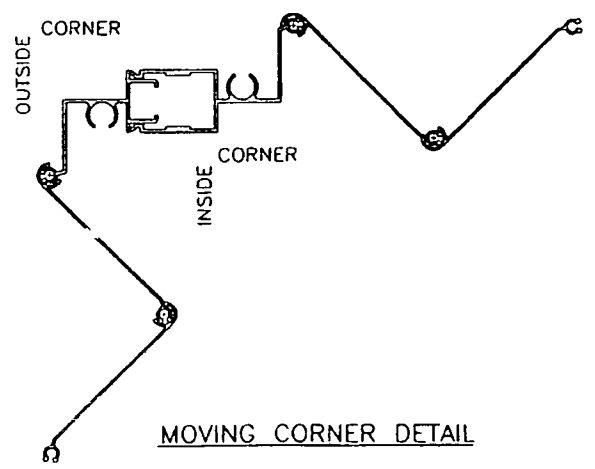
CONC. BLOCK WOOD METAL

GLASS

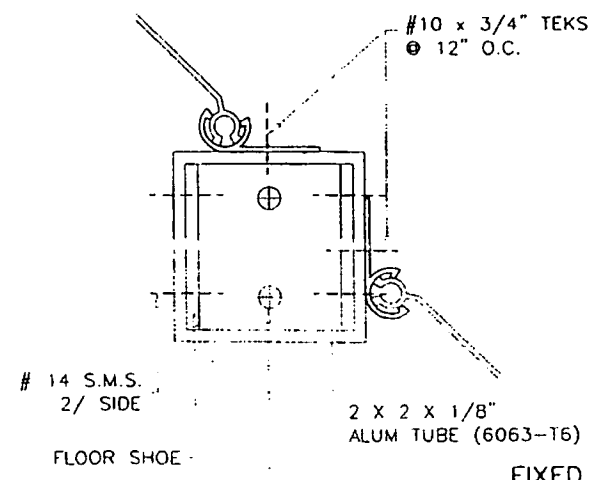
90°



SIDE MULLION TO SHELF ANGLE CONNECTION



MOVING CORNER DETAIL



FIXED CORNER DETAIL

- 2 X 2 X 1/8"
- 2 X 3 X 1/8"
- 2 X 4 X 1/8"
- 2 X 6 X 1/8"
- ALUM TUBE (6063-T6)

#10 X 3/4" TEKS 3/ANGLE

1-1/2 X 3 X 1/8" ALUM ANGLE TOP & BOTTOM

1/4" Ø TAPCONS 2/ ANGLE

# 14 S.M.S. 2/ SIDE

2 X 2 X 1/8" ALUM TUBE (6063-T6)

1/4" Ø TAPCONS 2/ CHANNEL

*afc*  
**AL-FAROOQ CORPORATION**  
 ENGINEERS, PLANNERS & PRODUCT DESIGN  
 1235 SW 87 AVE  
 MIAMI, FLORIDA 33174  
 TEL. (305) 264-8100 FAX. (305) 262-6978  
 ACCORDION/96-19RNI

ACCORDION SHUTTER DETAILS  
**ROLLADEN INC.**  
 550 ANSIN BLVD.  
 HALLANDALE, FL. 33009  
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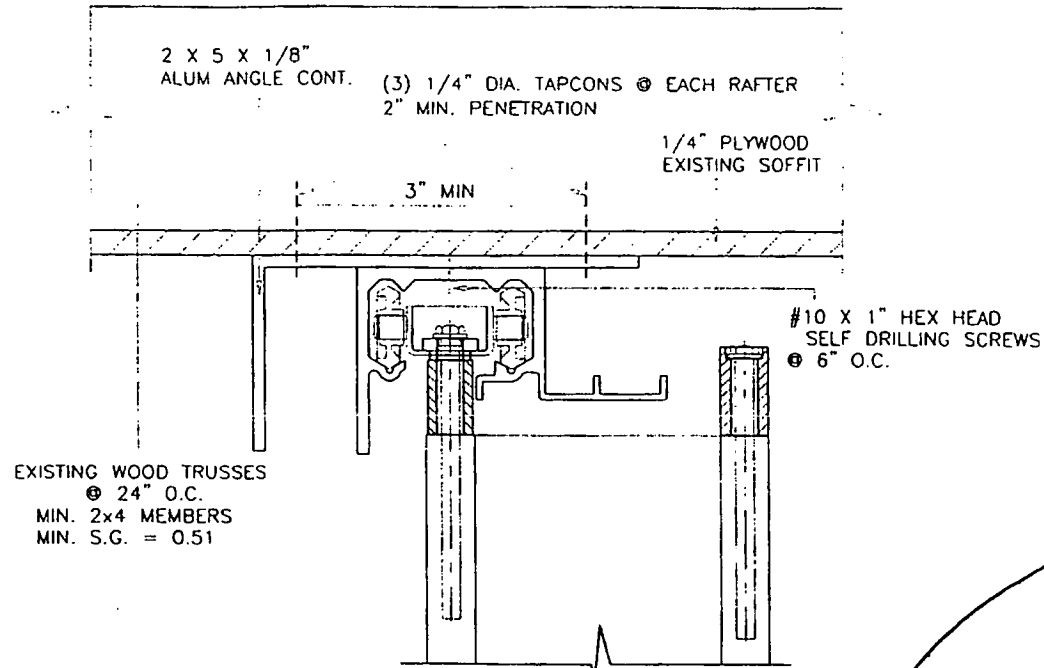
no	date	description

Engr: DR. HUMAYOON FAROOQ  
 STRUCTURES  
 FLA. PE # 18557  
 C.A.N. 3538

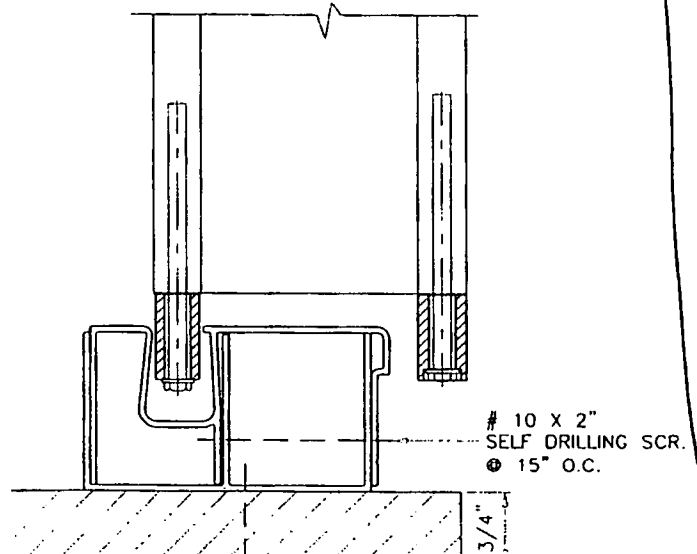
JUL 14 2006

06-0213-03  
 06/27/2005  
*Helmy A. M...*

date: 04-25-96  
 scale: 1/2" = 1"  
 dr. by: *afc*  
 cnk. by:  
 drawing no. 96-19  
 sheet 4 of 6

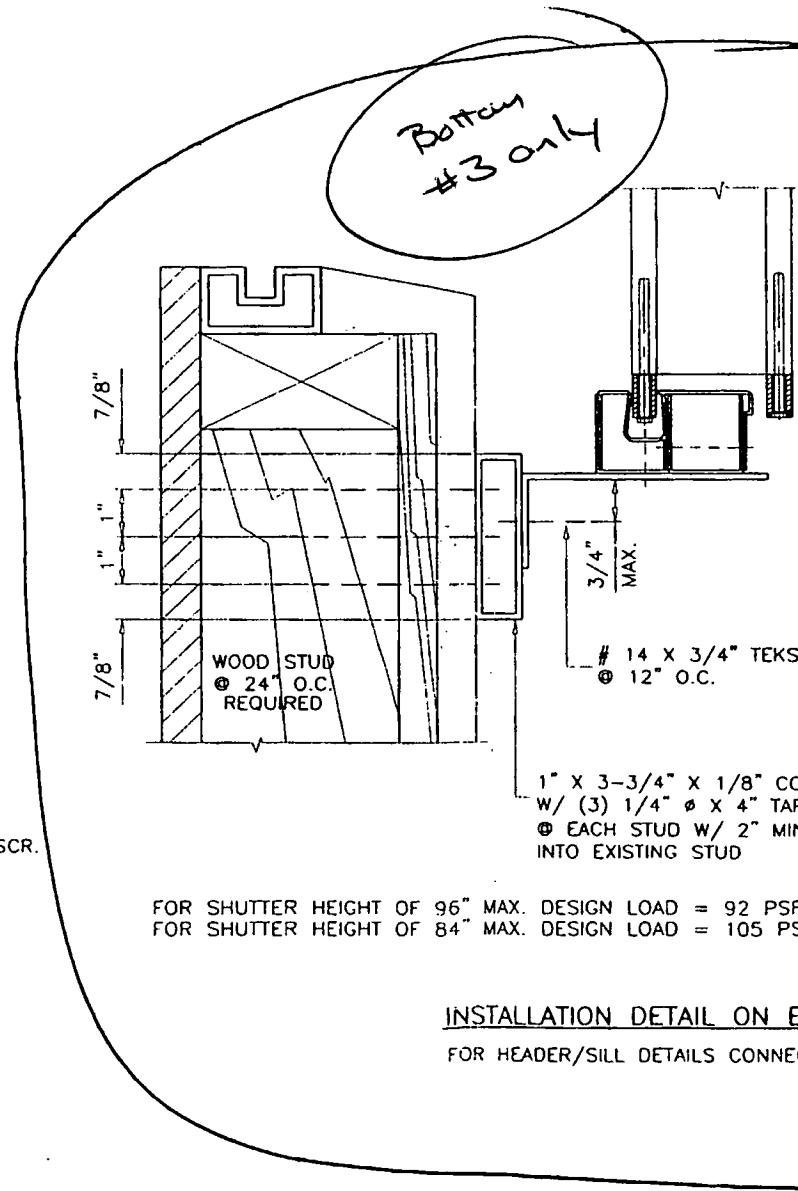


**HEADER CONNECTION TO WOOD TRUSSES**  
 FOR SHUTTER HEIGHT OF 108" MAX. DESIGN LOAD = 75 PSF  
 FOR SHUTTER HEIGHT OF 96" MAX. DESIGN LOAD = 84 PSF  
 FOR SHUTTER HEIGHT OF 84" MAX. DESIGN LOAD = 96 PSF



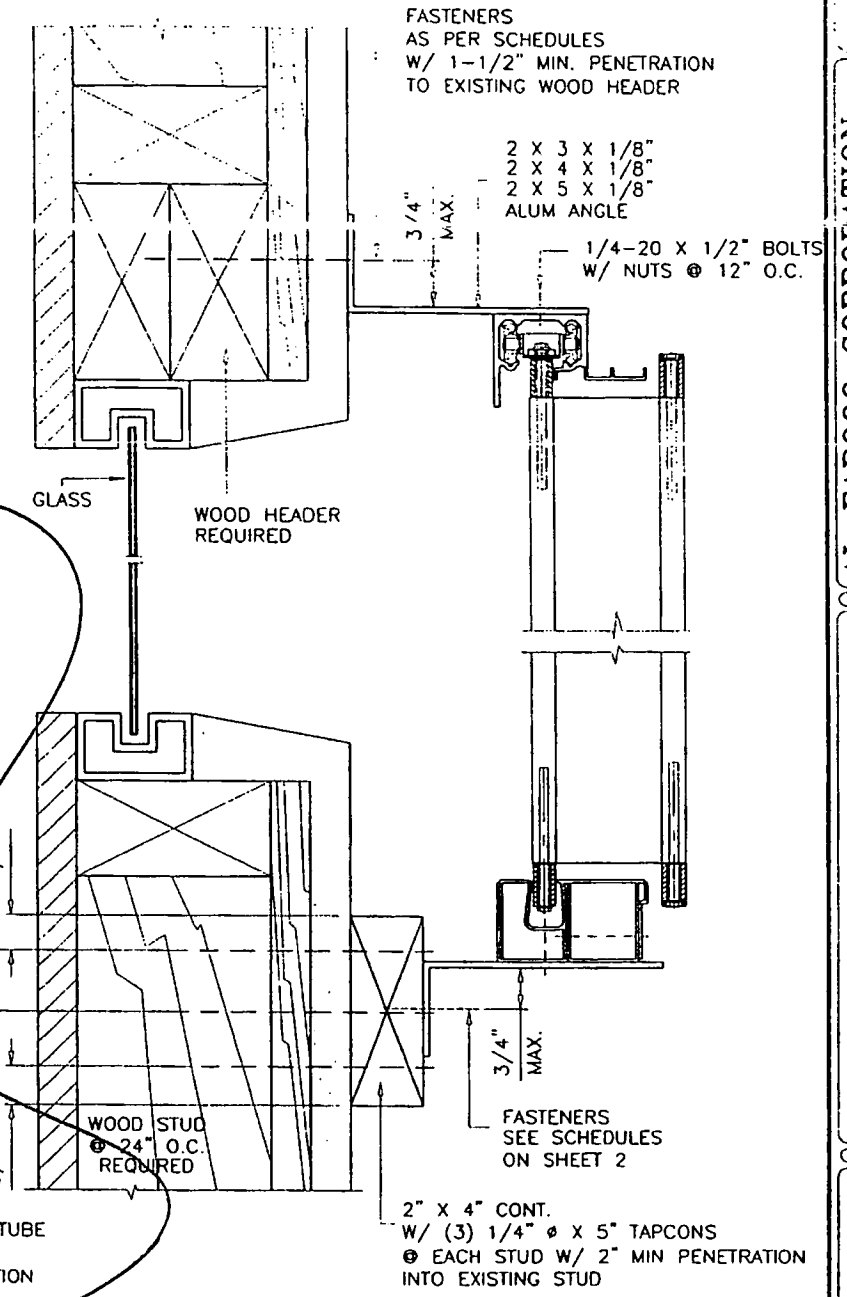
**COUNTER TOP CONDITION**  
 (PASS THRU WINDOW)  
 MAX SHUTTER HEIGHT = 6 FT.

ANCHOR TYPE	ANCHOR SPACING INCHES					
	UPTO 40 PSF		UPTO 70 PSF			
	CONCL.	BLK. WOOD	METAL	CONCL.	BLK. WOOD	METAL
A	6.3	8.1	-	9.3	4.7	-
C	10.2	7.8	-	5.8	4.5	-
D	19.6	6.6	-	11.2	3.8	-
E	-	-	23.3	-	13.3	-
G	-	-	11.2	-	6.4	-



FOR SHUTTER HEIGHT OF 96" MAX. DESIGN LOAD = 92 PSF  
 FOR SHUTTER HEIGHT OF 84" MAX. DESIGN LOAD = 105 PSF

**INSTALLATION DETAIL ON EXISTING WOOD BUCKS** SCALE: 1/4"=1"  
 FOR HEADER/SILL DETAILS CONNECTED TO CONTINUOUS WOOD MEMBERS SEE SHEETS 3 THRU 4.



FOR SHUTTER HEIGHT OF 96" MAX. DESIGN LOAD = 80 PSF  
 FOR SHUTTER HEIGHT OF 84" MAX. DESIGN LOAD = 92 PSF  
 FOR SHUTTER HEIGHT OF 72" MAX. DESIGN LOAD = 105 PSF

FASTENERS  
 AS PER SCHEDULES  
 W/ 1-1/2" MIN. PENETRATION  
 TO EXISTING WOOD HEADER

2 X 3 X 1/8"  
 2 X 4 X 1/8"  
 2 X 5 X 1/8"  
 ALUM ANGLE  
 1/4-20 X 1/2" BOLTS  
 W/ NUTS @ 12" O.C.

Engr: DR. HJMAJGUN FAROOO  
 STRUCTURES  
 FLA. PE # 16557  
 C.A.N. 3538

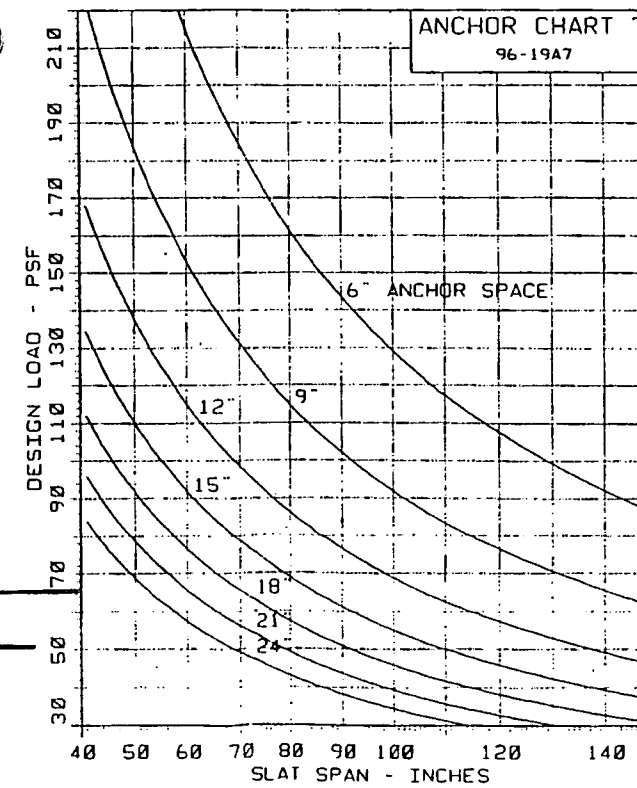
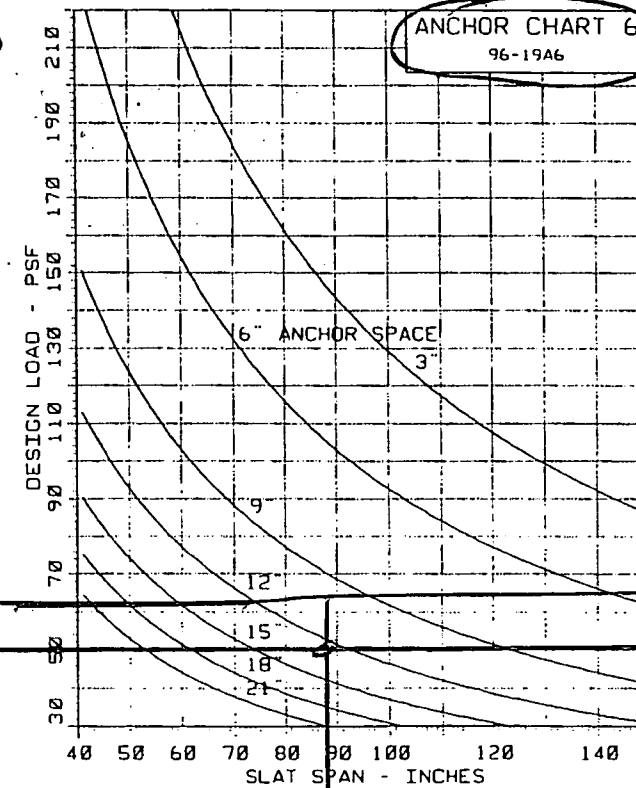
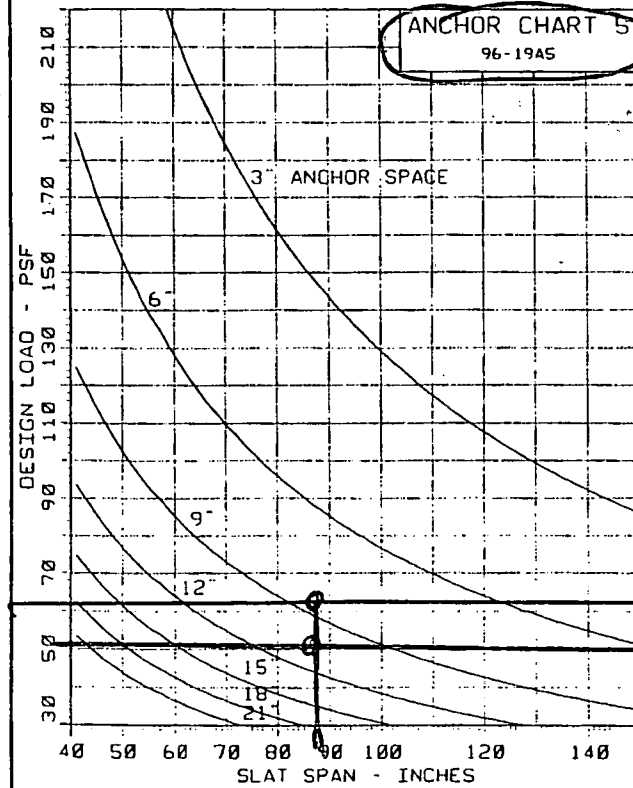
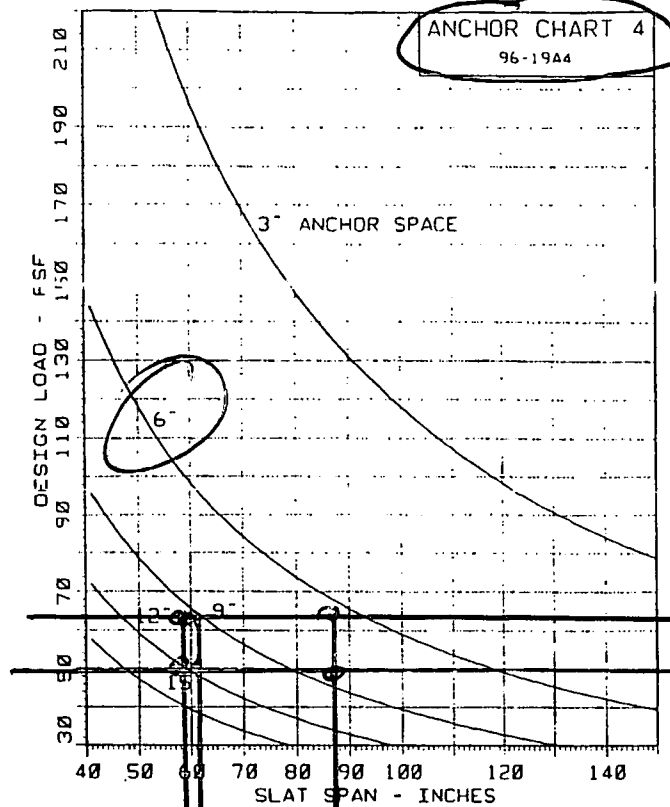
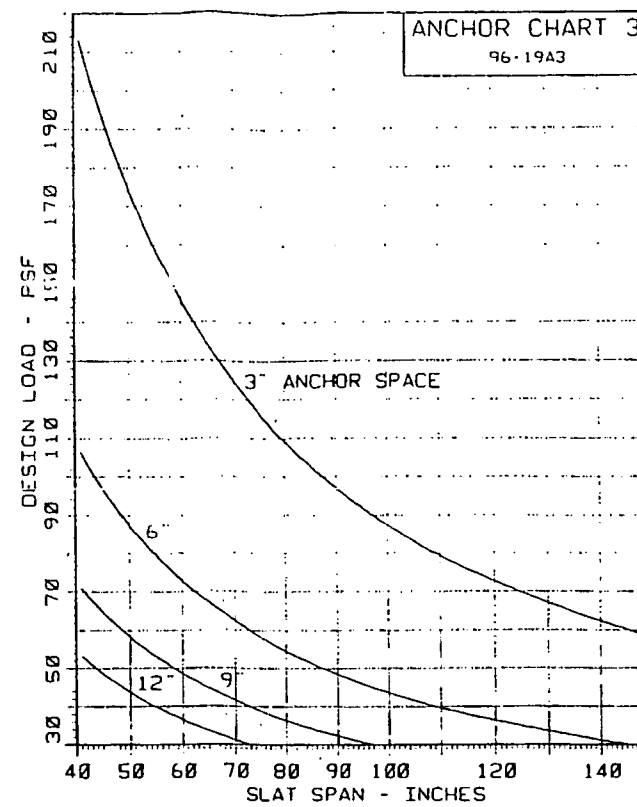
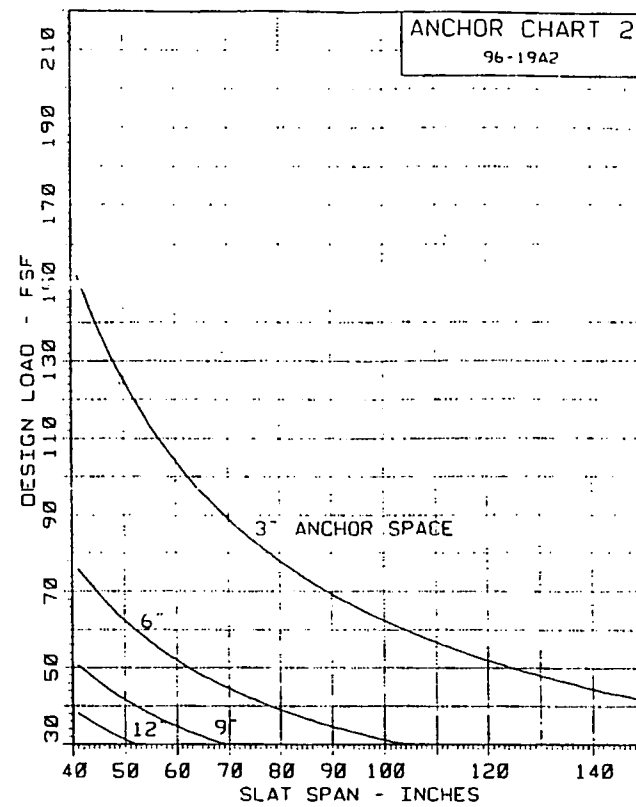
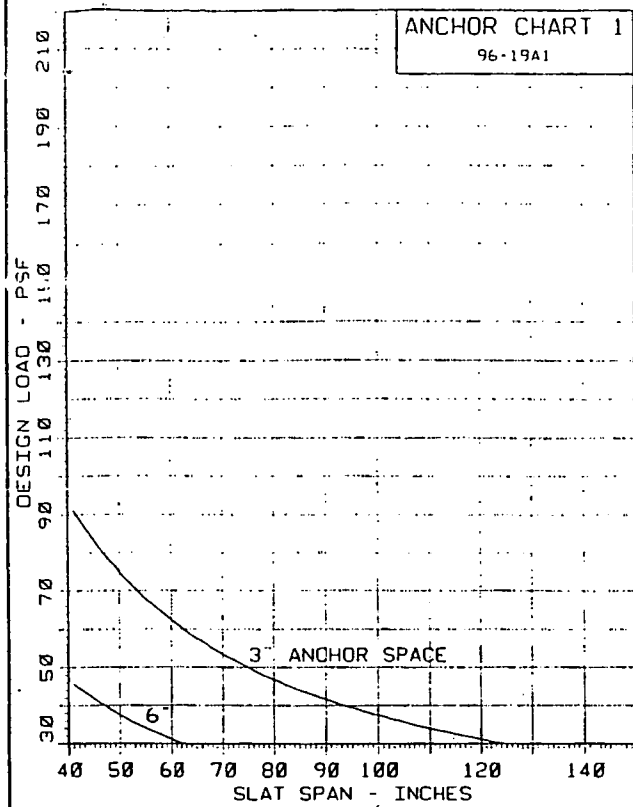
JUL 14 2006

*afc*  
**AL-FAROOQ CORPORATION**  
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 1235 SW 87 AVE  
 MIAMI, FLORIDA 33174  
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 ACCORDION/96-19RNI

**ACCORDION SHUTTER DETAILS**  
**ROLLADEN INC.**  
 550 ANSIN BLVD.  
 HALLANDALE, FL. 33009  
 TEL. (954) 757-8591 FAX. (954) 454-1577

revisions:	no	date	by	description

date: 04-25-96  
 scale: 1/2" = 1"  
 dr. by: HJMAJGUN  
 chg. by:  
 drawing no.  
**96-19**  
 sheet 5 of 6



- TYPICAL ANCHORS:**
- ANCHOR (A) = 1/4" DIA. TAPCONS (BY ELCO)  
1-3/4" EMBEDMENT INTO 3000 PSI CONC.  
1-1/4" EMBEDMENT INTO C-90 BLOCK
  - ANCHOR (C) = 1/4" ZAMAK NAILIN  
1" EMBED. INTO 3000 PSI CONC. OR BLOCK
  - ANCHOR (D) = 1/4" RAWL CALK-IN  
TOTAL ANCHOR BODY INTO 3000 PSI CONC.  
OR C-90 BLOCK
  - ANCHOR (E) = 1/4" DIA. TAPCONS  
1-1/2" MIN PENETRATION INTO WOOD(S.G.=0.55)
  - ANCHOR (G) = 1/4" DIA. KWIK-FLEX SELF DRILLING SCREWS  
INTO METAL STRUCTURES  
(STEEL OR ALUMINUM 1/8" MIN. THICK.)
- NOTE: ANCHORS EMBEDMENT SHOWN IS BEYOND WALL & FLOOR COVERINGS (STUCCO, TILES, ETC.)

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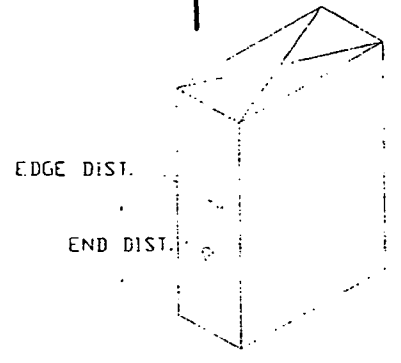
ACCORDION SHUTTER DETAILS  
**ROLLADEN INC.**  
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 HALLANDALE, FL. 33009  
 TEL. (954) 757-8591 FAX. (954) 454-1577

revisions:	no.	date	by	description

**FASTENER SPACING IN MASONRY**  
 CHARTS ARE BASED ON TYPICAL EDGE DISTANCE = 12d.  
 FOR LESSER EDGE DISTANCE DECREASE SPACING BY  
 MULTIPLYING WITH THE FACTOR BELOW

EDGE DIST.	12d=3"	10d=2-1/2"	8d=2"	6d=1-1/2"	5d=1-1/4"
FACTOR	1.00	0.86	0.71	0.57	0.50

EXAMPLE: FOR 3" EDGE DIST. SPACING = 12" O.C. (FROM CHART)  
 FOR 2" EDGE DIST. SPACING = 12 X .71 = 8.5 O.C.  
 TYPICAL EDGE DISTANCE IN WOOD = 3/4"  
 TYPICAL END DISTANCE IN WOOD = 1"  
 NO REDUCTION FACTOR IS REQUIRED



USE CHARTS 1 THRU 7 TO VERIFY ANCHOR REQUIREMENTS AND STRESS LIMITATIONS OF LOAD/SPAN COMBINATIONS FOR HEADER AND SILL.

Eng: DR. HUMAYO'UN FAROOQ  
 STRUCTURES  
 F.I.A. PE # 16557  
 C.A.N. 3538

PRODUCT REVISED:  
 re-computered with the Florida  
 code of 1997  
 06-0213.03  
 02/27/2008  
*He Long A. Alabala*

date: 04-25-95  
 scale: 1/2" =  
 dr. by: HAV  
 chk. by:  
 drawing no.  
**96-19**  
 sheet 6 of 6

# TOWN OF SEWALL'S POINT

## - Building Department - Inspection Log

Date of inspection:  Mon  Wed  Fri 6-4, 2007

Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>8599</del>	<del>Cy... ..</del>	<del>Final - ...</del>	<del>FAIL</del>	<del>740 Fee</del>
2	33 Rio Vista Koladen			INSPECTOR: <i>[Signature]</i>
<del>8551</del>			PASS	CLOSE
8552	3 PALMETTO	FINAL ROOF		INSPECTOR: <i>[Signature]</i>
8576	Cumming 83 S River Rd Wilco	cap	PASS	INSPECTOR: <i>[Signature]</i>
8592	Lelo 27 Simara St SDH	Final re-insp	PASS	CLOSE INSPECTOR: <i>[Signature]</i>
8553	Engelstadt 23 Lantana La Honer Screen	Final	PASS	CLOSE INSPECTOR: <i>[Signature]</i>
8615	DOSS 85 S River Rd Renar	Gen, Pad & Elec 201-3108 ROK. RETAINING WALL	PASS FAIL	<del>...</del> INSPECTOR: <i>[Signature]</i>
0088	Poole 94 N. Sewalls Walter white	Plumbing	FAIL	INSPECTOR: <i>[Signature]</i>
OTHER:	5 MANOALAY MASTER PIECE	2nd COLS. PORCH COLS FRONT/REAR	PASS	<i>[Signature]</i>



**TOWN OF SEWALL'S POINT**

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

**CORRECTION NOTICE**

ADDRESS: 33 RIO VISTA

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

SHUTTERS

PERMIT MUST BE POSTED  
FOR INSPECTIONS \$40 FEE

REMOVE DISCARDED SHUTTERS  
FROM SITE

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 6/4

[Signature]

INSPECTOR

**DO NOT REMOVE THIS TAG**



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 8/1, 2007 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
866A			PASS	CLOSE
4	14 KNOWLES JA Taylor Roofing	ROOF FINAL		INSPECTOR: <i>[Signature]</i>
<del>8599</del>			<del>PASS</del>	<del>CLOSE</del>
2	33 RIO VISTA	FINAL SHUTDOWN		INSPECTOR: <i>[Signature]</i>
8662			PASS	CLOSE
3	16 PERDWINKLE	FINAL A/C		CHECKED CONDENSER ONLY - INSPECTOR: <i>[Signature]</i>
6282				OLD PERMIT: BRING FILE INSPECTOR:
43 R10	STAN BOEL	FINAL		
7801	CUMMINGS		FAIL	INSPECT w/ JA
FIRST		NPDES INSP		
83	S. RIVER			INSPECTOR: <i>[Signature]</i>
8658			FAIL	
1	11 OAKWOOD	REMODEL		
		ELEC. ROUGH		INSPECTOR: <i>[Signature]</i>
8557	ROPE	GAS FINAL	CANCEL	- RESCHEDULE
1A	129 S.S. P.R.			FOR THINOM 8/6/07 INSPECTOR: <i>[Signature]</i>
OTHER:		WALL STEEL	PASS	
8535	87 S. RIVER			
1B				<i>[Signature]</i>

**9502**

**TWO**

**A/C CHANGEOUTS**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9502	DATE ISSUED:	JULY 8, 2010
SCOPE OF WORK:	2 AC CHANGEOUTS		
CONDITIONS :			
CONTRACTOR:	ADAM'S A/C		
PARCEL CONTROL NUMBER:	123841-002-000-01000-5	SUBDIVISION	RIO VISTA – LOT 100
CONSTRUCTION ADDRESS:	33 RIO VISTA DR		
OWNER NAME:	GILL		
QUALIFIER:	ADAM EMANUEL	CONTACT PHONE NUMBER:	337-6559

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

# Town of Sewall's Point

## BUILDING PERMIT APPLICATION

9502

Date: 6-25-10

Permit Number: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: GEORGE GIL

Phone (Day) 305-588-2305 (Fax) 305-893-2828

Job Site Address: 33 RIO VISTA

City: SEWALLS POINT State: FL Zip: 34996

Legal Description \_\_\_\_\_ Parcel Control Number: \_\_\_\_\_

Owner Address (if different): 13335 KEYSTONE ISLAND DR

City: MIAMI State: FL Zip: 33181

Scope of work (please be specific): 2 A/C Changeouts

**WILL OWNER BE THE CONTRACTOR?**  
 (If yes, Owner Builder questionnaire must accompany application)  
 YES \_\_\_\_\_ NO X  
**Has a Zoning Variance ever been granted on this property?**  
 YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
 (Must include a copy of all variance approvals with application)

**COST AND VALUES:** (Required on ALL permit applications)  
 Estimated Value of Improvements: \$ 6700.00  
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
 Is subject property located in flood hazard area? VE10 \_\_\_\_\_ AE9 \_\_\_\_\_ AE8 X  
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
 Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
 (Fair Market Value of the Primary Structure only, Minus the land value)  
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

*OK*

CONTRACTOR/Company: ADAM'S AIR CONDITIONING

Phone: 772-337-6559 Fax: 335-9920

Street: 1547 VILLAGE GREEN DR

City: PORT ST LUCIE State: FL Zip: 34952

State License Number: CAL1814146 OR: Municipality: \_\_\_\_\_ License Number: \_\_\_\_\_

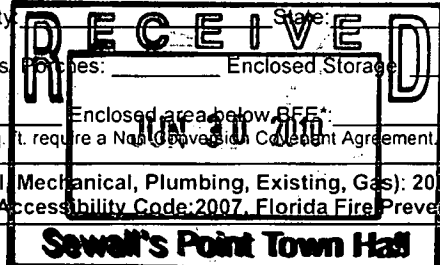
LOCAL CONTACT: ADAM EMANUEL Phone Number: 337-6559

DESIGN PROFESSIONAL: ADAM EMANUEL Lic# CAL1814146 Phone Number: 337-6559

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_  
 Carport: \_\_\_\_\_ Total under Roof: \_\_\_\_\_ Elevated Deck: \_\_\_\_\_ Enclosed area below BFE: \_\_\_\_\_  
 \* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Development Consent Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007  
 National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007



**NOTICES TO OWNERS AND CONTRACTORS:**

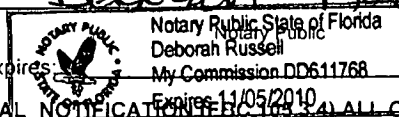
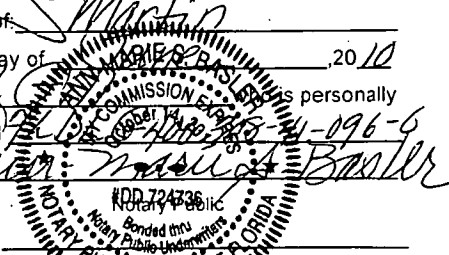
- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
- THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)  
 OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)  
 \_\_\_\_\_  
 State of Florida, County of: Martin  
 This the 25th day of June, 2010  
 by George Gil personally  
 known to me or produced  
 as identification. Deborah Russell  
 My Commission Expires: \_\_\_\_\_

CONTRACTOR SIGNATURE: (required)  
 \_\_\_\_\_  
 On State of Florida, County of: Martin  
 This the 24th day of June, 2010  
 by Adam Emanuel who is personally  
 known to me or produced  
 As identification. Deborah Russell  
 My Commission Expires: \_\_\_\_\_



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL. NOTIFICATION (FBC 105.34) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



# Martin County, Florida

## Laurel Kelly, C.F.A

Site Provided by...  
governmentmax.com T1.12

### Summary

print | | | | | Address  
1 of 1

#### Parcel Info

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
12-38-41-002-000-01000-5	33 RIO VISTA DR	27611	Address	0	1

#### Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

#### Summary

**Property Location** 33 RIO VISTA DR  
**Tax District** 2200 Sewall's Point  
**Account #** 27611  
**Land Use** 101 0100 Single Family  
**Neighborhood** 120250  
**Acres** 0.410

**Legal Description**  
**Property Information**  
 RIO VISTA S/D LOT 100

#### Search By

- Parcel ID
- Owner
- Address**
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

#### Owner Information

**Owner Information**  
 GILL, GEORGE H & VIVIAN C

#### Mail Information

12385 KEYSTONE ISLAND DR  
 NORTH MIAMI FL 33181

#### Assessment Info

**Front Ft.** 0.00

**Market Land Value** \$248,630  
**Market Impr Value** \$399,550  
**Market Total Value** \$648,180

#### Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

#### Recent Sale

**Sale Amount** \$930,000

**Sale Date** 12/1/2004  
**Book/Page** 1959 1308

Print | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 4/29/2010





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-2204765

## A/C PERMIT APPLICATION

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

Please make sure you have ALL required copies before submitting permit application

✓ 1 Copy Completed permit application

✓ 2 Copies of the following:

- a. Manufacturer's data sheet to include make, model, seer/eer, tonnage, electrical requirements, refrigerant piping size, and AHRI listing page.
- b. Replacing ductwork requires Manual D layout plan with grille sizes
- c. Replacing entire system including ductwork requires Manual J and Energy calculations.
- d. Condenser tie down and Air Handler mounting details
- e. A/C change out affidavit

### COMMERCIAL APPLICATIONS ADDITIONALLY REQUIRE

N/A 2 Copies A/C Stand NOA or Engineers letter to retrofit to existing mounts.

N/A Smoke Detectors in supply duct for units over 2000 CFM



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

FILE COPY  
**TOWN OF SEWALL'S POINT**  
 THESE PLANS HAVE BEEN  
 REVIEWED FOR CODE COMPLIANCE  
 DATE 7-1-10  
**BUILDING OFFICIAL**

Air Conditioning Change out Affidavit

Residential  Commercial \_\_\_\_\_  
 Package Unit \_\_\_ Yes  No (Use Condenser side of form below for equipment listing)  
 Duct Replacement \_\_\_ Yes  No - Refrigerant line replacement \_\_\_ Yes  No  
 Flushing Existing Refrigerant lines  Yes \_\_\_ No - Adding Refrigerant Drier  Yes \_\_\_ No  
 Rooftop A/C Stand Installation \_\_\_ Yes  No - Curb Installation \_\_\_ Yes  No  
 Smoke Detector in Supply (over 2000 CFM) \_\_\_ Yes  No

**One form required for each A/C system installed**

REPLACEMENT SYSTEM COMPONENTS

**Air handler:** Mfg: Rheem Model# RHSL  
 Volts 230 CFM's 1200 Heat Strip 10 Kw  
 Min. Circuit Amps 41/54 Wire gauge #6  
 Max. Breaker size 60 Min. Breaker size 50  
 Ref. line size: Liquid 3/8 Suction 7/8  
 Refrigerant type 410A  
 Location: Existing  New \_\_\_\_\_  
 Attic/Garage/Closet (specify) Closet  
 Access: Under stairs

**Condenser:** Mfg: Rheem Model# 13D5M  
 Volts 230 SEER/EER 13 BTU's 36000  
 Min. Circuit Amps \_\_\_\_\_ Wire gauge #8  
 Max. Breaker size 35 ~~40~~ Min. Breaker size 30  
 Ref. line size: Liquid 3/8 Suction 7/8  
 Refrigerant type 410A  
 Location: Existing  New \_\_\_\_\_  
 Left/Right/Rear/Front/Roof RIGHT SIDE  
 Condensate Location SIDE

EXISTING SYSTEM COMPONENTS

**Air handler:** Mfg: Trane Model# TVF036  
 Volts 230 CFM's 1200 Heat Strip 10 Kw  
 Min. Circuit Amps 22 Wire gauge 6  
 Max. Breaker size 60 Min. Breaker size 50  
 Ref. line size: Liquid 3/8 Suction 7/8  
 Refrigerant type R-22  
 Location: Ext.  New \_\_\_\_\_  
 Attic/Garage/Closet (specify) Closet  
 Access: Under stairs

**Condenser:** Mfg: Trane Model# DTN036  
 Volts 230 SEER/EER 10 BTU's 36000  
 Min. Circuit Amps 26 Wire gauge 8  
 Max. Breaker size 35 Min. Breaker size 30  
 Ref. line size: Liquid 3/8 Suction 7/8  
 Refrigerant type R-22  
 Location: Ext.  New \_\_\_\_\_  
 Left/Right/Rear/Front/Roof RIGHT SIDE  
 Condensate Location SIDE

**Certification:**

I hereby certify that the information entered on this form accurately represents the equipment installed and further that this equipment is considered matched as required by FBC - R (N)1107 & 1108

[Signature]  
 Signature

\_\_\_\_\_  
 Date



# Certificate of Product Ratings

AHRI Certified Reference Number: 3480973

Date: 6/24/2010

Product: Split System: Air-Cooled Condensing Unit, Coil with Blower

Outdoor Unit Model Number: 13AJM36

Indoor Unit Model Number: RHSL-HM3617+RCSL-H\*3617

Manufacturer: RHEEM MANUFACTURING COMPANY

Trade/Brand name: RHEEM 13AJM SERIES

Manufacturer responsible for the rating of this system combination is RHEEM MANUFACTURING COMPANY

Rated as follows in accordance with AHRI Standard 210/240-2006 for Unitary Air-Conditioning and Air-Source Heat Pump Equipment and subject to verification of rating accuracy by AHRI-sponsored, independent, third party testing:

Cooling Capacity (Btuh):	34200
EER Rating (Cooling):	11.15
SEER Rating (Cooling):	13.00

A \* following a rating indicates a voluntary rerate of previously published data, unless accompanied with a WAS which indicates an involuntary rerate.

### DISCLAIMER

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### CERTIFICATE VERIFICATION

The information for the model cited on this certificate can be verified at [www.ahridirectory.org](http://www.ahridirectory.org), click on "Verify Certificate" link and enter the AHRI Certified Reference Number and the date on which the certificate was issued, which is listed above, and the Certificate No., which is listed below.





# THE METAL SHOP

Custom Metal Manufacturer  
Consulting Engineer

## ANCHOR CLIPS Installer's Guide

Douglas W. Lowe, P.E.  
FL# 13365  
1206 Millennium Parkway  
Brandon, FL 33511

**WARNING - HAZARDOUS VOLTAGE - DISCONNECT POWER BEFORE SERVICING**

### PART NUMBER

- #771 (4 pk)
- #772 (100 box)
- #770 (4 pk including hardware)

### CONSTRUCTION

16 gauge galvanized steel, C-80 rated for  
corrosion coastal applications.

### PACKAGING DETAILS

All anchor clips are supplied as per  
package quantities described above.

### INSTALLATION

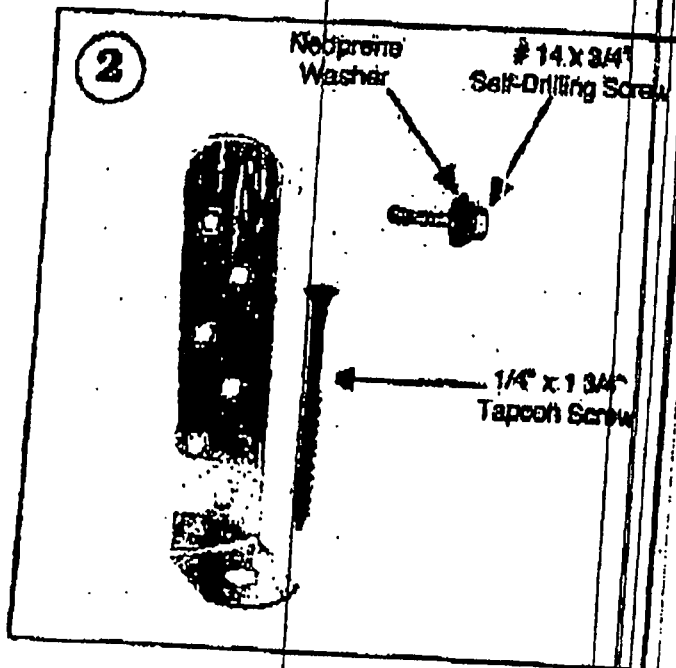
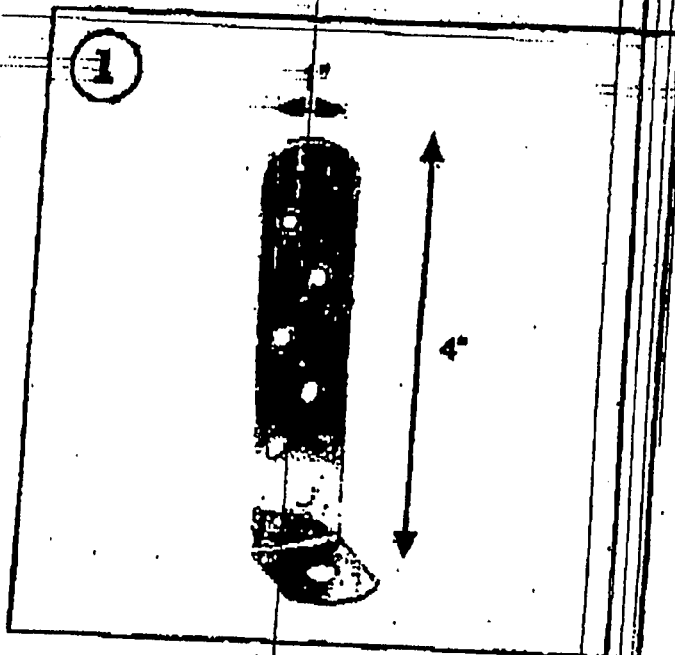
Minimum of 4 clips required per condenser unit.  
Minimum of 2 #14 x 3/4" screws with neoprene washer  
required to fasten clip to condenser unit.  
1/4" x 1 3/4" Tapcon screw required to fasten clip  
to condenser pad.  
Locate the anchor clips to fit comfortably between  
condenser unit and pad.  
Adjust clip accordingly to fit on condenser unit and  
screw together, at the same time ensuring that the  
base of the clip is still in contact with the pad.  
All hardware must be fastened prior to connecting  
refrigerant lines and electrical power to the unit.  
Suitable for grout/mortar mounted units.  
Anchor clip design meets requirements of  
The Florida Building Code 2007 (Building)  
Chapter 901.12 for wind resistance up to 140 MPH.

### FEATURES

The use of "slotted fit" screw holes compared to  
slots means that security is never compromised.  
A tight, secure fit between pad and condenser  
ensures security for the condenser and offers great  
assurance during extreme weather conditions.

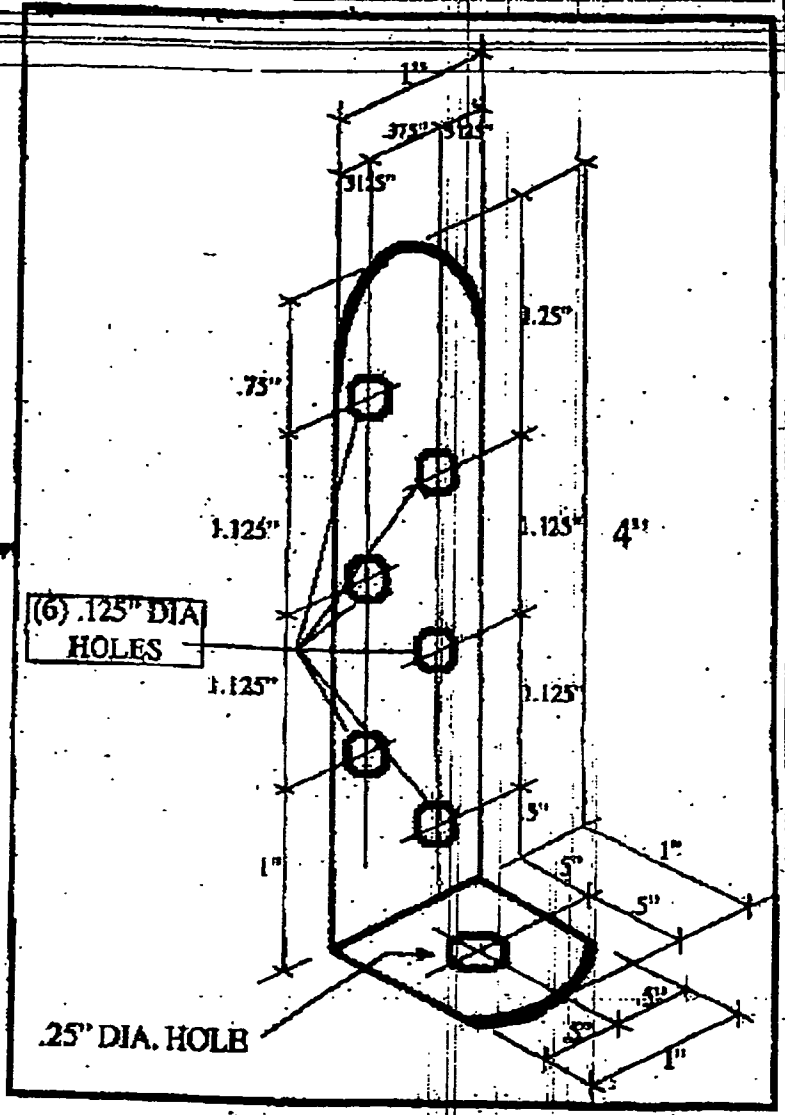
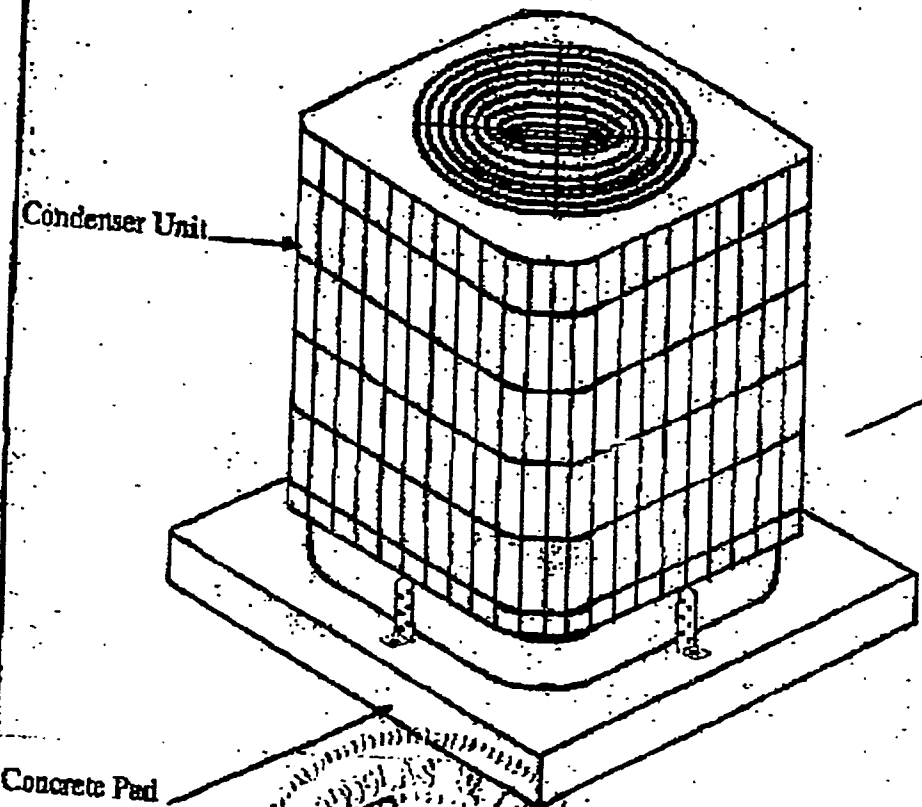
### NOTE

Above installation instruction suitable for up to  
5 ton units.



771-441-1772

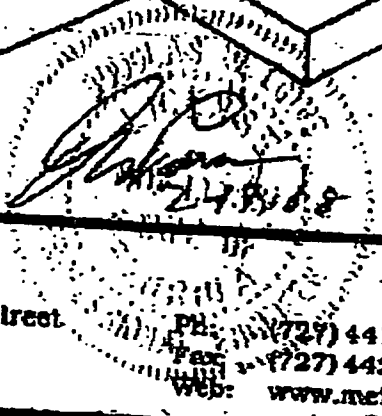
Anchor Clip



(6) .125" DIA HOLES

.25" DIA. HOLE

Metal thickness = 16 gauge



The Metal Shop  
1139 Eldridge Street  
Clearwater  
FL 33755

PH: (727) 441-2492  
Fax: (727) 442-8493  
Web: www.metalsshop.org

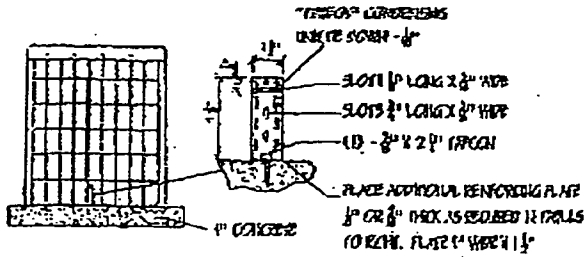
Consulting Engineer:  
Douglas W. Lowe, P.E.  
FLA # 13355  
1208 Millennium Parkway  
Brandon, FL 33511

Revision Date:  
2/14/08

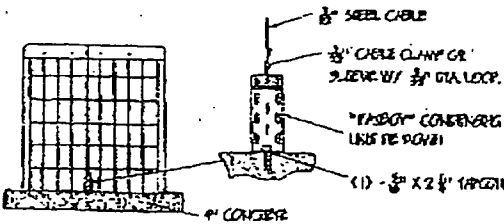
Drawn by:  
K.P.R.

Page:  
1 of 1

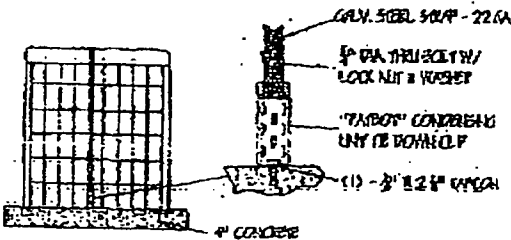
Scale - Not to scale



"FATBOY" INSTALLATION GLIDE



"FATBOY" CABLE INSTALLATION GLIDE



"FATBOY" STRAP INSTALLATION GLIDE

NOTE: SEE TABLES FOR UNIT VELOCITY AND HEIGHT OF INSTALLATION FROM CEILING. ALSO SEE TABLES FOR CONNECTION TYPE WHEN ATTACHING TO ALUMINUM OR STEEL.

FATBOY UNIT VELOCITY RANGE	UNIT HEIGHT ABOVE CEILING (FEET)		
	LESS THAN 10	10 - 20	20 - 30
0-15'	1	1	1
15'	2	2	2
15'	3	3	3
20'	2	2	2
20'	3	3	3
20'	4	4	4
20'	5	5	5
20'	6	6	6
20'	7	7	7
20'	8	8	8
20'	9	9	9
20'	10	10	10

FATBOY UNIT VELOCITY RANGE	UNIT HEIGHT ABOVE CEILING (FEET)		
	LESS THAN 10	10 - 20	20 - 30
0-15'	1	1	1
15'	2	2	2
15'	3	3	3
20'	2	2	2
20'	3	3	3
20'	4	4	4
20'	5	5	5
20'	6	6	6
20'	7	7	7
20'	8	8	8
20'	9	9	9
20'	10	10	10

GENERAL NOTES:

1. ATTACHMENT TO CONCRETE SHALL BE BY MEANS OF (ONE) (2) ANCHORS PER UNIT AS MANUFACTURED BY ELCO TOOLING CO. (INC.) 6057 H. KRYER LANE, JENNIFER, FLORIDA 32650. SEE PART 31 FOR CONNECTION TYPE WHEN ATTACHING TO ALUMINUM OR STEEL.

2. CONCRETE TO WHICH ATTACHMENT OF CLIP IS MADE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI.

3. STEEL STRAPS OVER A/C UNITS SHALL BE 22 GA. GALV. STEEL STRAP WITH 1/2" DIA. THROUGH/ LOCK NUT & WASHER WITH 1/2" DIA. THROUGH/ LOCK NUT & WASHER. SEE PART 31 FOR CONNECTION TYPE WHEN ATTACHING TO ALUMINUM OR STEEL.

4. THE STEEL STRAP SHALL BE 1" WIDE AND BE CONNECTED WITH A 1" DIA. STEEL NUT WITH WASHER AND LOCK WING.

5. ANGLE CLIP USED IN ATTACHING THE STRAP TO THE SUPPORTING STRUCTURE SHALL BE AS MANUFACTURED BY THE ORIGINAL RAY COMPANY, 200 W. 71 ST., JENNIFER, FLORIDA. SEE PART 31 FOR CONNECTION TYPE WHEN ATTACHING TO ALUMINUM OR STEEL.

6. ATTACHMENT OF CLIP TO ALUMINUM SHALL BE BY MEANS OF AN ANCHOR AS MANUFACTURED BY ELCO TOOLING CO. (INC.) 6057 H. KRYER LANE, JENNIFER, FLORIDA. SEE PART 31 FOR CONNECTION TYPE WHEN ATTACHING TO ALUMINUM OR STEEL.

7. ATTACHMENT OF CLIP TO SUPPORTING STEEL STRUCTURE SHALL BE BY A 1/2" DIA. THROUGH/ LOCK NUT & WASHER WITH 1/2" DIA. THROUGH/ LOCK NUT & WASHER. SEE PART 31 FOR CONNECTION TYPE WHEN ATTACHING TO ALUMINUM OR STEEL.

8. ADDITIONAL PLATE USED AS REINFORCING SHALL BE EQUAL SIZE CONNECTION AS CLIP AND BE SECURED WITH ONLY ONE BOLT PER SIDE WITH A MINIMUM OF 3" BOLT SPACING AND 2" BOLT TO EDGE.

9. USE OF CABLE INSTEAD OF STEEL STRAP SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS: SHALL BE 1/2" DIA. GALV. STEEL CABLE WITH 1/2" DIA. THROUGH/ LOCK NUT & WASHER WITH 1/2" DIA. THROUGH/ LOCK NUT & WASHER. SEE PART 31 FOR CONNECTION TYPE WHEN ATTACHING TO ALUMINUM OR STEEL.

10. ATTACHMENT CLIPS SHALL BE 1/2" DIA. THROUGH/ LOCK NUT & WASHER WITH 1/2" DIA. THROUGH/ LOCK NUT & WASHER. SEE PART 31 FOR CONNECTION TYPE WHEN ATTACHING TO ALUMINUM OR STEEL.

11. A/C UNITS THAT CONFORM TO THE SPECIFIED ATTACHMENT SHALL BE NO LARGER THAN 12" HIGH X 12" WIDE AND BE NO MORE THAN 140 LB. AS CALLED BY THE DESIGN.

REVISED	BY



AS NOTED

A/C UNIT ANCHORING DETAILS  
FATBOY CLIPS AS  
MANUFACTURED BY: THE  
ORIGINAL PAN CO. FOR USE  
UNDER FLORIDA BUILDING CODE

OWNER	AAA
DESIGN	AA
DATE	03-26-10
TITLE	AS NOTED
NO. IN	1
SHEET	S-1

S-1



Featuring  
New Industry Standard  
R-410A Refrigerant

**R-410A**



## 13 SEER CONDENSING UNITS

### Features

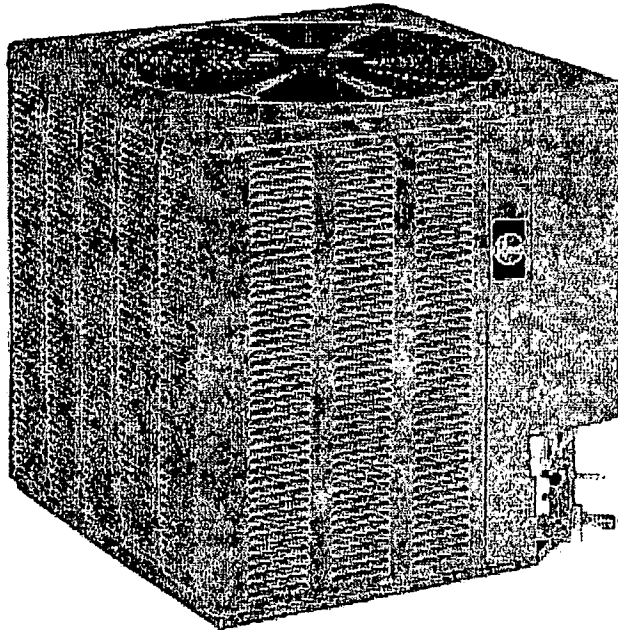
- Painted louvered steel cabinet
- Easily accessible control box
- Condenser coils constructed with copper tubing and enhanced aluminum fins
- Grille/Motor mount for quiet fan operation
- Bi-Directional Filter Drier (shipped - not installed)

### Applications

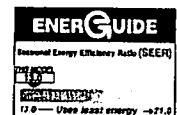
Outdoor condensing unit designed for ground level or rooftop installations. These units offer comfort and dependability for single, multi-family and light commercial applications.

### Accessories

- Low Pressure Control (RXAC-A07)
- High Pressure Control (RXAB-A07)
- Low Ambient Control (RXAD-A08)
- Compressor Time Delay Control
- Crankcase Heater
- Sound Enclosure



**13AJM SERIES**



# Performance Data @ ARI Standard Conditions—Cooling (con't.)

Model Numbers		80°F [26.5°C] DB/67°F [19.5°C] WB Indoor Air 95°F [35°C] DB Outdoor Air					Sound Rating dB	Indoor CFM (L/s)
Outdoor Unit 13AJM	Indoor Coil and/or Air Handler	Total Capacity BTU/H (kW)	Net Sensible BTU/H (kW)	Net Latent BTU/H (kW)	EER	SEER		
	RCFL-H*3621 (RGGD-09?ZCM?)	35,200 [10.3]	26,200 [7.7]	9,000 [2.6]	11.70	13.50	75	1,175 [554]
	RCFL-H*3621 (RGGD-10?ZCM?)	35,200 [10.3]	26,200 [7.7]	9,000 [2.6]	11.75	13.50	75	1,175 [554]
	RCFL-H*3621 (RGJD-06?MCK?)	34,200 [10.0]	24,400 [7.1]	9,800 [2.9]	11.60	13.50	75	1,000 [472]
	RCFL-H*3621 (RGJD-07?MCK?)	34,200 [10.0]	24,550 [7.2]	9,650 [2.8]	11.60	13.50	75	1,025 [484]
	RCFL-H*3621 (RGJD-09?ZCM?)	35,200 [10.3]	26,200 [7.7]	9,000 [2.6]	11.70	13.50	75	1,175 [554]
	RCFL-H*3621 (RGJD-10?ZCM?)	35,200 [10.3]	26,200 [7.7]	9,000 [2.6]	11.75	13.50	75	1,175 [554]
	RCFL-H*3621 (RGLR-07?AMK?)	34,400 [10.1]	24,700 [7.2]	9,700 [2.8]	11.85	14.00	75	1,025 [484]
	RCFL-H*3621 (RGLR-07?BRQ?)	35,400 [10.4]	26,600 [7.8]	8,800 [2.6]	11.85	14.00	75	1,225 [578]
	RCFL-H*3621 (RGLR-10?BRM?)	35,400 [10.4]	26,450 [7.7]	8,950 [2.6]	11.90	14.00	75	1,200 [566]
	RCFL-H*3621 (RGPR-05?BMK?)	34,200 [10.0]	24,450 [7.2]	9,750 [2.9]	11.50	13.50	75	1,000 [472]
	RCFL-H*3621 (RGPR-07?AMK?)	34,200 [10.0]	24,400 [7.1]	9,800 [2.9]	11.75	14.00	75	1,000 [472]
	RCFL-H*3621 (RGPR-07?BRQ?)	35,400 [10.4]	26,450 [7.7]	8,950 [2.6]	11.90	14.00	75	1,200 [566]
	RCFL-H*3621 (RGPR-10?BRM?)	35,400 [10.4]	26,600 [7.8]	8,800 [2.6]	11.70	13.50	75	1,225 [578]
	RCFL-H*3621 (RGRM-04?MAE?)	34,200 [10.0]	24,550 [7.2]	9,650 [2.8]	11.40	13.50	75	1,025 [484]
	RCFL-H*3621 (RGRM-06?MAE?)	34,200 [10.0]	24,450 [7.2]	9,750 [2.9]	11.50	13.50	75	1,000 [472]
	RCFL-H*3621 (RGRM-07?MAE?)	34,000 [10.0]	24,400 [7.1]	9,600 [2.8]	11.20	13.00	75	1,025 [484]
	RCFL-H*3621 (RGRM-07?YBG?)	33,800 [9.9]	24,000 [7.0]	9,800 [2.9]	11.30	13.00	75	975 [460]
	RCFL-H*3621 (RGRM-09?ZAJ?)	35,200 [10.3]	26,450 [7.7]	8,750 [2.6]	11.40	13.00	75	1,225 [578]
	RCFL-H*3621 (RGRM-10?ZAJ?)	34,800 [10.2]	25,700 [7.5]	9,100 [2.7]	11.50	13.50	75	1,150 [543]
	RCBHP-21 (RCHL-36A1) [ ]	33,800 [9.9]	24,550 [7.2]	9,250 [2.7]	11.35	13.50	75	1,200 [566]
	RCHL-36A1 (RGFD-09?ZCM?)	33,400 [9.8]	24,000 [7.0]	9,400 [2.8]	11.15	13.00	75	1,150 [543]
	RCHL-36A1 (RGFD-10?ZCM?)	33,600 [9.8]	24,400 [7.1]	9,200 [2.7]	11.10	13.00	75	1,175 [554]
	RCHL-36A1 (RGGD-09?ZCM?)	33,800 [9.9]	24,600 [7.2]	9,200 [2.7]	11.25	13.50	75	1,175 [554]
	RCHL-36A1 (RGGD-10?ZCM?)	33,800 [9.9]	24,600 [7.2]	9,200 [2.7]	11.25	13.50	75	1,175 [554]
	RCHL-36A1 (RGJD-09?ZCM?)	33,800 [9.9]	24,600 [7.2]	9,200 [2.7]	11.25	13.50	75	1,175 [554]
	RCHL-36A1 (RGJD-10?ZCM?)	33,800 [9.9]	24,600 [7.2]	9,200 [2.7]	11.25	13.50	75	1,175 [554]
	RCHL-36A1 (RGLR-07?AMK?)	33,600 [9.8]	24,450 [7.2]	9,150 [2.7]	10.95	13.00	75	1,200 [566]
	RCHL-36A1 (RGLR-07?BRQ?)	33,800 [9.9]	24,550 [7.2]	9,250 [2.7]	11.30	13.50	75	1,225 [578]
	RCHL-36A1 (RGLR-10?BRM?)	33,800 [9.9]	24,550 [7.2]	9,250 [2.7]	11.35	13.50	75	1,200 [566]
	RCHL-36A1 (RGPR-07?AMK?)	33,600 [9.8]	24,450 [7.2]	9,150 [2.7]	10.90	13.00	75	1,200 [566]
	RCHL-36A1 (RGPR-07?BRQ?)	33,800 [9.9]	24,550 [7.2]	9,250 [2.7]	11.35	13.50	75	1,200 [566]
	RCHL-36A1 (RGPR-10?BRM?)	33,800 [9.9]	24,600 [7.2]	9,200 [2.7]	11.20	13.50	75	1,225 [578]
	RCHL-36A1 (RGRM-09?ZAJ?)	33,400 [9.8]	24,250 [7.1]	9,150 [2.7]	10.85	13.00	75	1,225 [578]
	RHKL-HM3617 (RCSL-H*3617)	35,400 [10.4]	26,600 [7.8]	8,800 [2.6]	11.80	14.00	75	1,225 [578]
	RHLL-HM3617 (RCSL-H*3617)	35,400 [10.4]	26,450 [7.7]	8,950 [2.6]	12.00	14.00	75	1,200 [566]
	RHSL-HM3617 (RCSL-H*3617)	34,200 [10.0]	24,850 [7.3]	9,350 [2.7]	11.15	13.00	75	1,100 [519]
	RHSL-HM3621 (RCSL-H*3621)	34,400 [10.1]	25,250 [7.4]	9,150 [2.7]	11.15	13.00	75	1,125 [531]
42	RCFL-H*4821 [ ]	41,000 [12.0]	30,550 [9.0]	10,450 [3.1]	11.05	13.00	77	1,400 [661]
	RCFL-A*4821	41,000 [12.0]	30,550 [9.0]	10,450 [3.1]	11.05	13.00	77	1,400 [661]
	RCFL-A*4821 (RGFD-06?MCK?)	40,000 [11.7]	28,300 [8.3]	11,700 [3.4]	11.00	13.00	77	1,175 [554]
	RCFL-A*4821 (RGFD-09?ZCM?)	41,000 [12.0]	30,050 [8.8]	10,950 [3.2]	11.35	13.00	77	1,325 [625]
	RCFL-A*4821 (RGFD-10?ZCM?)	41,000 [12.0]	30,050 [8.8]	10,950 [3.2]	11.25	13.00	77	1,325 [625]
	RCFL-A*4821 (RGGD-06?MCK?)	40,500 [11.9]	29,000 [8.5]	11,500 [3.4]	11.15	13.00	77	1,225 [578]
	RCFL-A*4821 (RGGD-07?MCK?)	40,500 [11.9]	29,050 [8.5]	11,450 [3.4]	11.05	13.00	77	1,225 [578]
	RCFL-A*4821 (RGGD-09?ZCM?)	41,500 [12.2]	30,950 [9.1]	10,550 [3.1]	11.30	13.00	77	1,425 [672]
	RCFL-A*4821 (RGGD-10?ZCM?)	41,500 [12.2]	30,950 [9.1]	10,550 [3.1]	11.35	13.00	77	1,425 [672]
	RCFL-A*4821 (RGLR-07?AMK?)	40,500 [11.9]	28,800 [8.4]	11,700 [3.4]	11.45	13.50	77	1,200 [566]
	RCFL-A*4821 (RGLR-07?BRQ?)	41,000 [12.0]	29,350 [8.6]	11,650 [3.4]	11.85	14.00	77	1,225 [578]
	RCFL-A*4821 (RGLR-10?BRM?)	41,500 [12.2]	30,900 [9.1]	10,600 [3.1]	11.75	13.50	77	1,375 [649]
	RCFL-A*4821 (RGPR-05?BMK?)	40,500 [11.9]	28,900 [8.5]	11,600 [3.4]	11.05	13.00	77	1,200 [566]
	RCFL-A*4821 (RGPR-07?AMK?)	40,500 [11.9]	28,800 [8.4]	11,700 [3.4]	11.40	13.50	77	1,200 [566]
	RCFL-A*4821 (RGPR-07?BRQ?)	41,500 [12.2]	30,900 [9.1]	10,600 [3.1]	11.70	13.50	77	1,400 [661]
	RCFL-A*4821 (RGPR-10?BRM?)	41,500 [12.2]	30,950 [9.1]	10,550 [3.1]	11.45	13.50	77	1,425 [672]

⊙ Highest sales volume tested combination required by D.O.E. test procedures.

[ ] Designates Metric Conversions

# Electrical and Physical Data

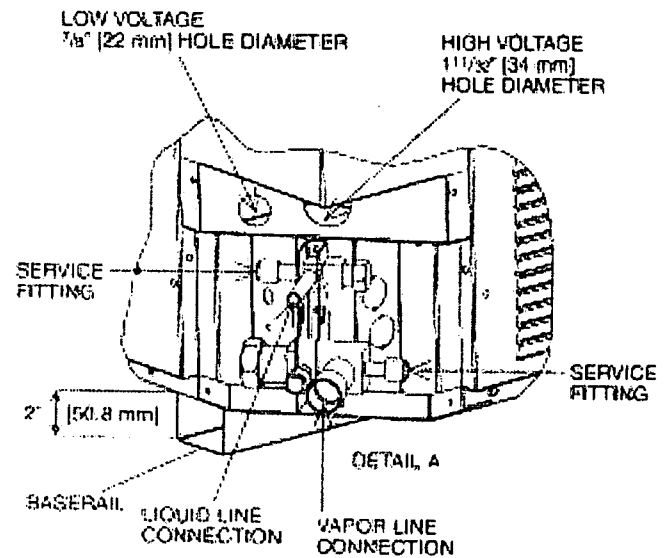
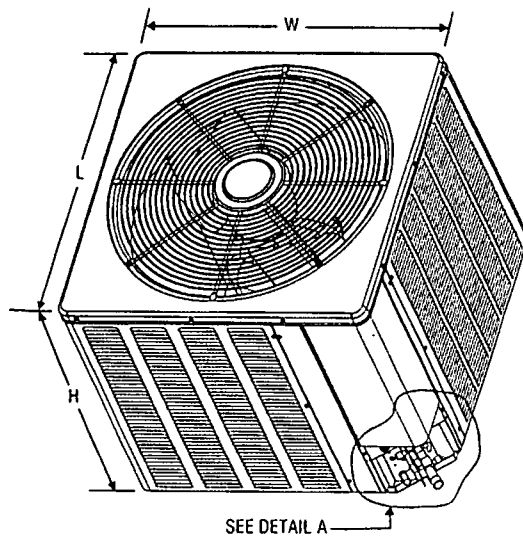
Model Number 13AJM	ELECTRICAL							PHYSICAL						
	Phase Frequency [HZ] Voltage [Volts]	Compressor		Fan Motor Full Load Amperes (FLA)	Minimum Circuit Ampacity Amperes	Fuse or HACR Circuit Breaker		Outdoor Coil			Refrigerant Per Circuit Oz. [g]	Weight		
		Rated Load Amperes (RLA)	Locked Rotor Amperes (LRA)			Minimum Amperes	Maximum Amperes	Face Area Sq. Ft. [m <sup>2</sup> ]	No. Rows	CFM [L/s]		Net Lbs. [kg]	Shipping Lbs. [kg]	
Rev. 7/29/09														
18	1-60-208/230	9/9	48	0.6	12/12	15/15	20/20	8.43 [0.78]	1	1675 [790]	75.2 [2132]	120 [54.4]	128 [58.1]	
24	1-60-208/230	13.5/13.5	58.3	0.6	18/18	25/25	30/30	8.43 [0.78]	1	1665 [786]	73.8 [2092]	121 [54.9]	129 [58.5]	
30	1-60-208/230	12.8/12.8	73	0.6	17/17	20/20	25/25	10.29 [0.96]	1	2075 [979]	86.8 [2440]	139 [63.1]	147 [66.7]	
36	1-60-208/230	16.7/16.7	79	0.8	22/22	30/30	41.35/35.5	12.43 [1.15]	1	2690 [1269]	99.6 [2722]	159 [72.1]	167 [75.8]	
42	1-60-208/230	17.9/17.9	112	0.8	24/24	30/30	40/40	16.39 [1.52]	1	2980 [1406]	126.4 [3583]	188 [85.3]	192 [87.1]	
48	1-60-208/230	21.8/21.8	117	0.8	29/29	35/35	45/45	21.85 [2.03]	1	3175 [1498]	144 [4082]	207 [93.9]	218 [98.9]	
60	1-60-208/230	26.4/26.4	134	1.2	35/35	45/45	60/60	21.85 [2.03]	1	3570 [1685]	176 [4990]	223 [101.2]	234 [106.1]	

NOTE: Factory Refrigerant Charge includes refrigerant for 15 feet of standard line set.

# Unit Dimensions

Model No. 13AJM	Unit Dimensions		
	Width "W" Inches	Length "L" Inches	Height "H" Inches
18, 24	23 <sup>5</sup> / <sub>8</sub> [600]	23 <sup>5</sup> / <sub>8</sub> [600]	24 <sup>1</sup> / <sub>4</sub> [616]
30	27 <sup>5</sup> / <sub>8</sub> [702]	27 <sup>5</sup> / <sub>8</sub> [702]	24 <sup>1</sup> / <sub>4</sub> [616]
36, 42	31 <sup>5</sup> / <sub>8</sub> [803]	31 <sup>5</sup> / <sub>8</sub> [803]	27 <sup>15</sup> / <sub>16</sub> [710]
48, 60	31 <sup>5</sup> / <sub>8</sub> [803]	31 <sup>5</sup> / <sub>8</sub> [803]	35 <sup>15</sup> / <sub>16</sub> [913]

[ ] Designates Metric Conversions



# Condensing Unit Refrigerant Line Size Information

Liquid Line Sizing (R-410A)														
System Capacity	Liquid Line Connection Size (Inch I.D.)	Line Size (Inch O.D.) (mm)	Liquid Line Size – Outdoor Unit Above Indoor Coil (Cooling Only—Does not apply to Heat Pumps)						Liquid Line Size – Outdoor Unit Below Indoor Coil					
			Total Equivalent Length—Feet [m]						Total Equivalent Length—Feet [m]					
			25 [7.62]	50 [15.24]	75 [22.86]	100 [30.48]	125 [38.10]	150 [45.72]	25 [7.62]	50 [15.24]	75 [22.86]	100 [30.48]	125 [38.10]	150 [45.72]
			Minimum Vertical Separation—Feet [m]						Maximum Vertical Separation—Feet [m]					
1 1/2 Ton	3/8" [9.53]	1/4 [6.35]	0	0	0	0	8 [2.44]	24 [7.32]	25 [7.62]	40 [12.19]	25 [7.62]	9 [2.74]	N/A	N/A
		5/16 [7.94]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	62 [18.90]	58 [17.68]	53 [16.15]	49 [14.94]
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	75 [22.86]	72 [21.95]	70 [21.34]	68 [20.73]
2 Ton	3/8" [9.53]	1/4 [6.35]	0	3 [0.91]	29 [8.84]	55 [16.76]	81 [24.69]	108 [32.92]	23 [7.01]	N/A	N/A	N/A	N/A	N/A
		5/16 [7.94]	0	0	0	0	0	0	25 [7.62]	36 [10.97]	29 [8.84]	23 [7.01]	16 [4.88]	9 [2.74]
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	72 [21.95]	70 [21.34]	68 [20.73]	65 [19.81]
2 1/2 Ton	3/8" [9.53]	1/4 [6.35]	0	14 [4.27]	56 [17.07]	98 [29.87]	N/A	N/A	25 [7.62]	N/A	N/A	N/A	N/A	N/A
		5/16 [7.94]	0	0	0	0	0	0	25 [7.62]	49 [14.94]	38 [11.58]	27 [8.23]	17 [5.18]	6 [1.83]
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	68 [20.73]	65 [19.81]	62 [18.90]	58 [17.68]
3 Ton	3/8" [9.53]	5/16 [7.94]	0	0	0	0	0	9 [2.74]	25 [7.62]	50 [15.24]	37 [11.28]	22 [6.71]	7 [2.13]	N/A
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	68 [20.73]	63 [19.20]	58 [17.68]	53 [16.15]
		5/16 [7.94]	0	0	0	16 [4.88]	35 [10.67]	54 [16.46]	25 [7.62]	23 [7.01]	4 [1.22]	N/A	N/A	N/A
3 1/2 Ton	3/8" [9.53]	5/16 [7.94]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	43 [13.11]	36 [10.97]	30 [9.14]	24 [7.32]
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	46 [14.02]	38 [11.58]	30 [9.14]	22 [6.71]	15 [4.57]
		1/2 [12.57]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	56 [17.07]	55 [16.76]	53 [16.15]	52 [15.85]
4 Ton	3/8" [9.53]	3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	56 [17.07]	55 [16.76]	53 [16.15]	52 [15.85]
		1/2 [12.57]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	56 [17.07]	55 [16.76]	53 [16.15]	52 [15.85]
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	56 [17.07]	44 [13.41]	32 [9.75]	20 [6.10]
5 Ton	3/8" [9.53]	3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	56 [17.07]	81 [24.69]	79 [24.08]	76 [23.16]
		1/2 [12.57]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	75 [22.86]	81 [24.69]	79 [24.08]	76 [23.16]
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	75 [22.86]	81 [24.69]	79 [24.08]	76 [23.16]

NOTES: \*Standard line size  
N/A = Application not recommended.

Suction Line Length/Size versus Capacity Multiplier (R-410A)									
Unit Size	1 1/2 Ton	2 Ton	2 1/2 Ton		3 Ton	3 1/2 Ton	4 Ton	5 Ton	
Suction Line Connection Size	3/4" [19.05] I.D.				7/8" [22.23] I.D.				
Suction Line Run—Feet [m]	5/8" [15.88 mm] O.D. Optional 3/4" [19.05 mm] O.D. Standard*	5/8" [15.88 mm] O.D. Optional 3/4" [19.05 mm] O.D. Standard*	5/8" [15.88 mm] O.D. Optional 3/4" [19.05 mm] O.D. Standard*	7/8" [22.23 mm] O.D. Optional	3/4" [19.05 mm] O.D. Optional 7/8" [22.23 mm] O.D. Standard*	7/8" [22.23 mm] O.D. Optional 1 1/8" [28.58 mm] O.D. Standard*			
25' [7.62]	Optional	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
	Standard	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
	Optional	—	—	1.00	—	—	—	—	—
50' [15.24]	Optional	.98	.98	.96	.98	.99	.99	.99	.99
	Standard	.99	.99	.98	.99	.99	.99	.99	.99
	Optional	—	—	.99	—	—	—	—	—
100' [30.48]	Optional	.95	.95	.94	.96	.96	.96	.96	.97
	Standard	.96	.96	.96	.97	.98	.98	.98	.98
	Optional	—	—	.97	—	—	—	—	—
150' [45.72]	Optional	.92	.92	.91	.94	.94	.95	.95	.94
	Standard	.93	.94	.93	.95	.96	.96	.96	.97
	Optional	—	—	.95	—	—	—	—	—

NOTES: \*Standard line size  
Using suction line larger than shown in chart will result in poor oil return and is not recommended.

[ ] Designates Metric Conversions

**BEFORE PURCHASING THIS APPLIANCE, READ IMPORTANT ENERGY COST AND EFFICIENCY INFORMATION AVAILABLE FROM YOUR RETAILER.**

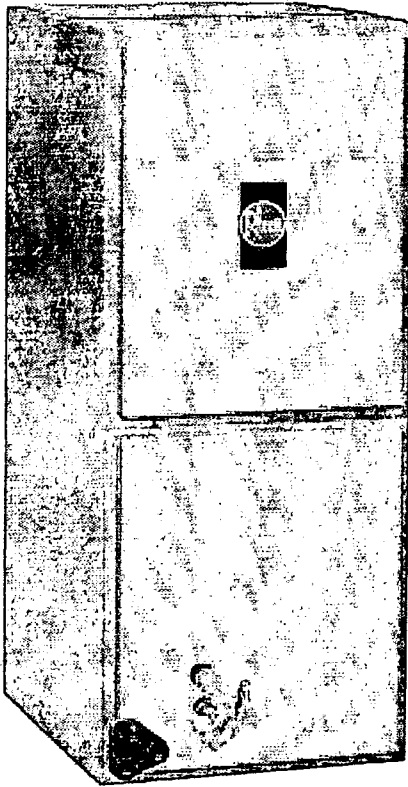
## GENERAL TERMS OF LIMITED WARRANTY

Rheem will furnish a replacement for any part of this product which fails in normal use and service within the applicable period stated, in accordance with the terms of the limited warranty.

Conditional Compressor\*  
(Registration Required).....Ten (10) Years  
Any Other Part .....Five (5) Years  
Conditional Parts\* (Registration Required) ....Ten (10) Years

\*For Complete Details of the Limited Warranty, Including Applicable Terms and Conditions, See Your Local Installer or visit [www.Rheem.com](http://www.Rheem.com).

# AIR HANDLERS



## AIR HANDLERS

### RHLL- High Efficiency

featuring Industry Standard  
R-410A Refrigerant

**R-410A**

### RHSL- Standard Efficiency

featuring Industry Standard  
R-410A Refrigerant

**R-410A**

### Features

- RHLA/RHLL feature GE's new X-13 (ECM) motor which provides enhanced SEER performance with most Rheem outdoor units.
- 1 1/2 ton [5.3 kW] through 5 ton [17.6 kW] models are between 42 1/2 to 55 1/2 inches [1080 to 1410 mm] tall and 22 inches [559 mm] deep.
- Versatile 4-way convertible design for upflow, downflow, horizontal left and horizontal right applications.
- Factory-installed high efficiency indoor coil.
- All models meet or exceed 330 to 400 CFM [156 to 189 L/s] per ton at .3 inches [.7 kPa] of external static pressure.
- Enhanced airflow up to .7" external static pressure.
- Sturdy construction with 1.0 inch [.24 kPa] of reinforced foil faced jacket insulation for excellent thermal and sound insulation.
- Field-installed auxiliary electric heater kits provide exact heat for indoor comfort. Kits include circuit breakers which meet UL and cUL requirements for service disconnect.



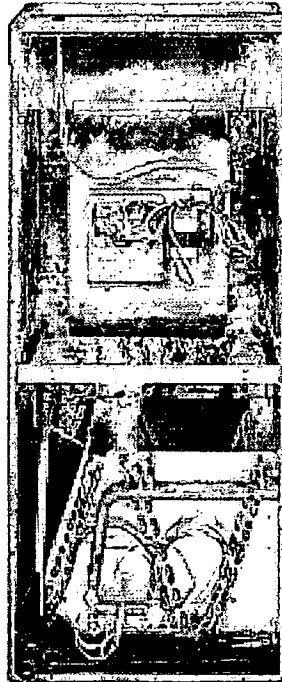


## Engineering Features

### RHLL/RHSE Series

- The most compact unit design available, all standard heat air handler models only 42 1/2 to 55 1/2 inches [1079 to 1409 mm] high.
- Attractive pre-painted cabinet exterior.
- Rugged wall steel cabinet construction, designed for added strength and versatility.
- 1.0" foil faced insulation mechanically retained in blower compartment for excellent thermal and sound performance.
- Four leg blower motor mount.
- Blower housing with controls, motor and blower. Slide out design for service and maintenance convenience.
- Traditional open wire element design for heat applications.
- Field convertible for vertical downflow, horizontal left hand or right hand air supply.
- 3 combustible floor base accessories fit all model sizes when required for downflow installations on combustible floors.
- Indoor coil design provides low air side pressure drop, high performance and extremely compact size.
- Expansion valve on indoor coil provides for operation with air conditioning or heat pump using the same coil.
- Coils are constructed of aluminum fins bonded to internally grooved copper tubing.
- Molded polymer corrosion resistant condensate drain pan is provided on all indoor coils.
- Supply duct flanges provided as standard on air handler cabinet.
- Provisions for field electrical, connections available from either side or top of the air handler cabinet.
- Connection point for high voltage wiring is inside the air handler cabinet. Low voltage connection is made on the outside of the air handler cabinet.
- Concentric knockouts are provided for power connection to cabinet. Installer may pull desired hole size up to 2 inches [51 mm] for 1 1/2 inch [38 mm] conduit.
- Front refrigerant and drain connections.

[ ] Designates Metric Conversions



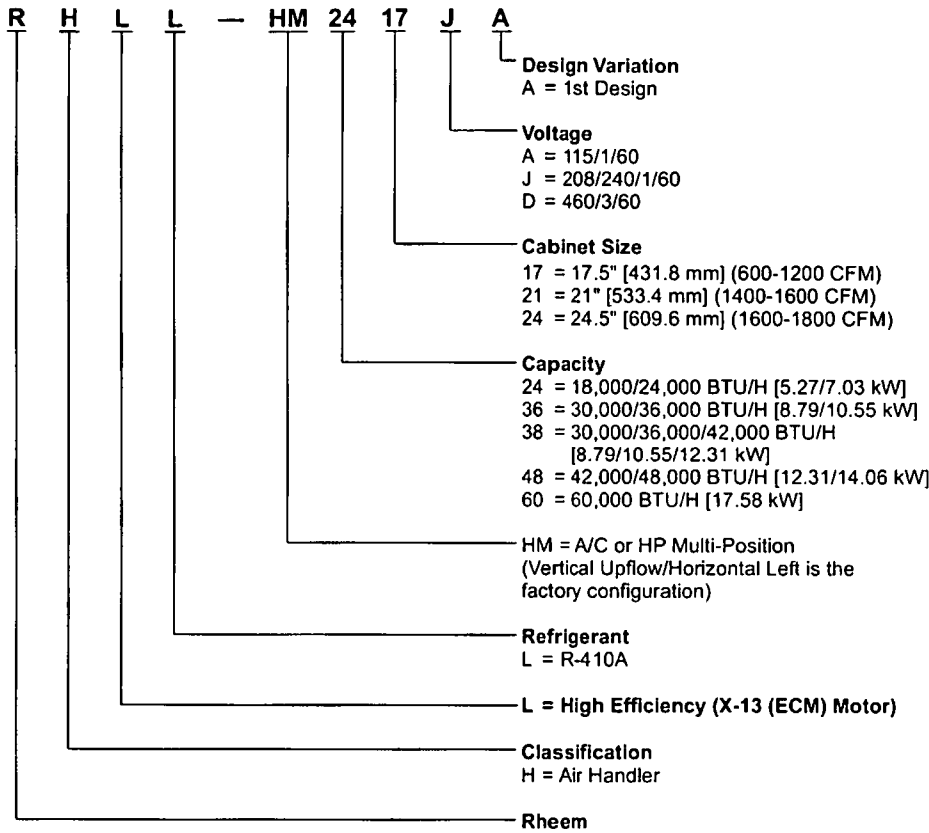
### GENERAL TERMS OF LIMITED WARRANTY

Rheem will furnish a replacement for any part of this product which fails in normal use and service within the applicable periods stated, in accordance with the terms of the limited warranty.

Conditional Parts (Registration Required) .....Ten (10) Years

For Complete Details of the Limited Warranty, Including Applicable Terms and Conditions, See Your Local Installer or Contact the Manufacturer for a Copy.

# Model Identification

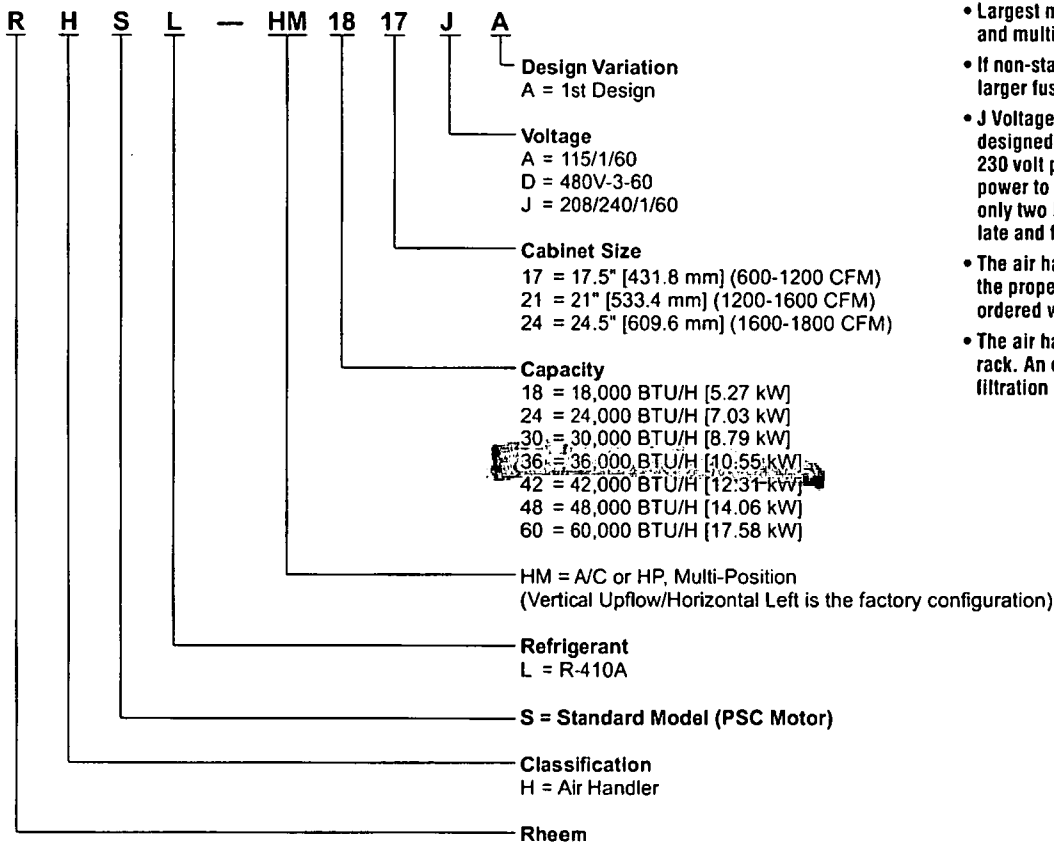


Available Models at 115V A Voltage	
RHSL-HM1817AA	RHLL-HM2417AA
RHSL-HM2417AA	RHLL-HM3617AA
RHSL-HM3017AA	RHLL-HM4821AA
RHSL-HM3617AA	RHLL-HM4824AA
RHSL-HM4221AA	RHLL-HM6024AA
RHSL-HM4821AA	RHLL-HM3821AA

Available Models at 218V J Voltage	
RHSL-HM1817JA	RHLL-HM2417JA
RHSL-HM2417JA	RHLL-HM3617JA
RHSL-HM3017JA	RHLL-HM4821JA
RHSL-HM3617JA	RHLL-HM4824JA
RHSL-HM3621JA	RHLL-HM6024JA
RHSL-HM4221JA	RHLL-HM3821JA
RHSL-HM4821JA	
RHSL-HM4824JA	
RHSL-HM6024JA*	

Available Models at D Voltage	
RHSL-HM3617DA	
RHSL-HM4221DA	
RHSL-HM4821DA	
RHSL-HM4824DA	
RHLL-HM6024DA	
RHSL-HM6024DA	

- Supply circuit protective devices may be fuses or "HACR" type circuit breakers.
- Largest motor load is included in single circuit and multiple circuit.
- If non-standard fuse size is specified, use the next larger fuse size.
- J Voltage (230V) single-phase air handler is designed to be used with single or three phase 230 volt power. In the case of connecting 3-phase power to the air handler terminal block, bring only two leads to the terminal block. Cap, insulate and fully secure the third lead.
- The air handlers are shipped from the factory with the proper indoor coil installed, and cannot be ordered without a coil.
- The air handlers do not have an internal filter rack. An external filter rack or other means of filtration is required.



[ ] Designates Metric Conversions

# Unit Dimensions

ELECTRICAL CONNECTIONS  
MAY EXIT TOP OR EITHER SIDE  
HIGH VOLTAGE CONNECTION 7/8" [22.2 mm],  
1 1/2" [27.8 mm], 1 3/4" [50 mm] DIA. KNOCKOUTS.

SUPPLY AIR ↑

NOTE: 24" CLEARANCE REQUIRED IN FRONT OF  
UNIT FOR FILTER AND COIL MAINTENANCE.

LOW VOLTAGE CONNECTION  
3/4" [15.9 mm] AND 1/2" [22.2 mm] KNOCKOUT

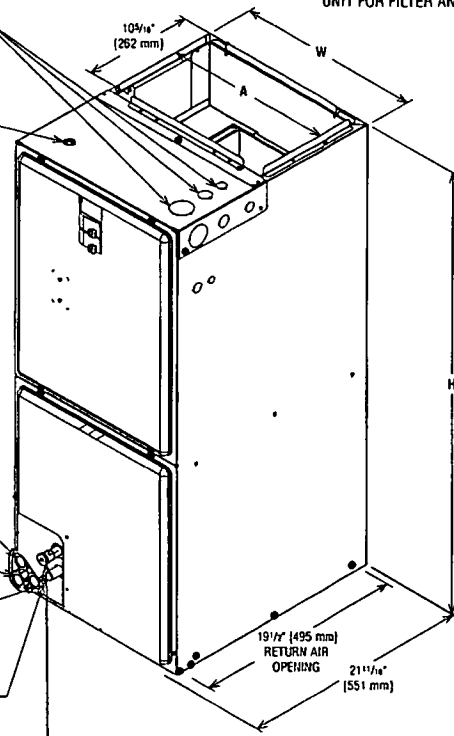
AUXILIARY DRAIN CONNECTION  
3/4" [19.1 mm] FEMALE PIPE THREAD (NPT)  
HORIZONTAL APPLICATION ONLY

PRIMARY DRAIN CONNECTION  
3/4" [19.1 mm] FEMALE PIPE THREAD (NPT)

AUXILIARY DRAIN CONNECTION  
3/4" [19.1 mm] FEMALE PIPE THREAD (NPT)  
UPFLOW/DOWNFLOW APPLICATION ONLY

LIQUID LINE CONNECTION  
COPPER (SWEAT)

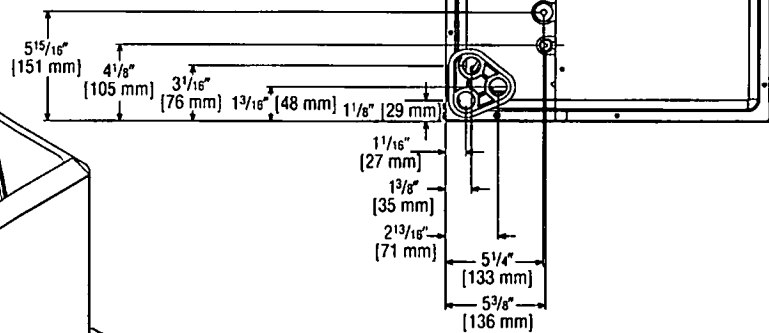
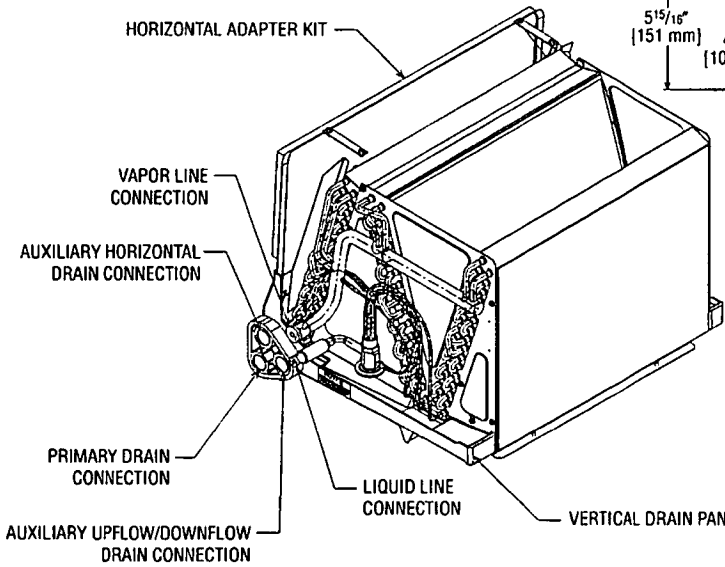
VAPOR LINE CONNECTION  
COPPER (SWEAT)



UPFLOW UNIT SHOWN:  
UNIT MAY BE INSTALLED UPFLOW, DOWNFLOW,  
HORIZONTAL RIGHT OR LEFT AIR SUPPLY.

## Return Air Opening Dimensions

Model Cabinet Size	Return Air Opening Width (Inches)	Return Air Opening Depth/Length (Inches)
17	15 7/8	19 3/4
21	19 3/8	19 3/4
24	22 7/8	19 3/4

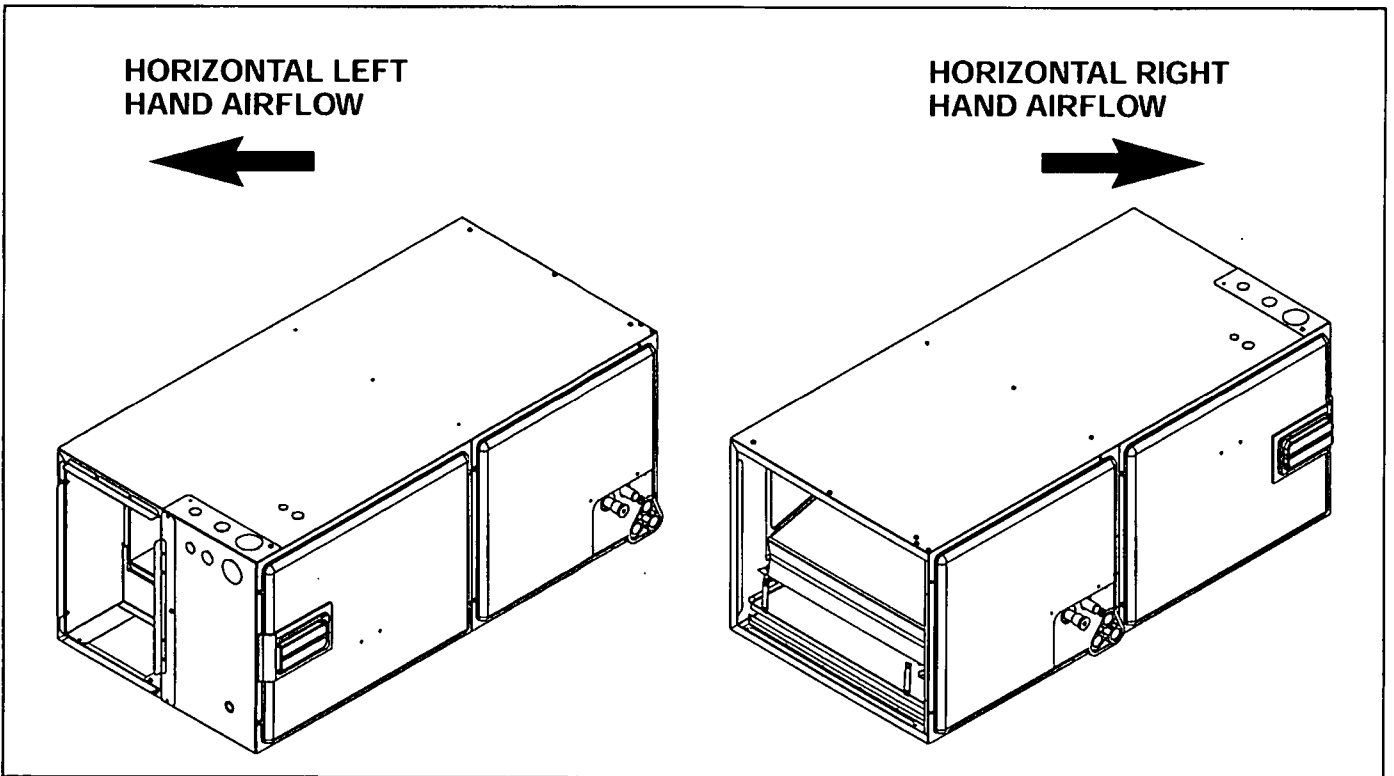
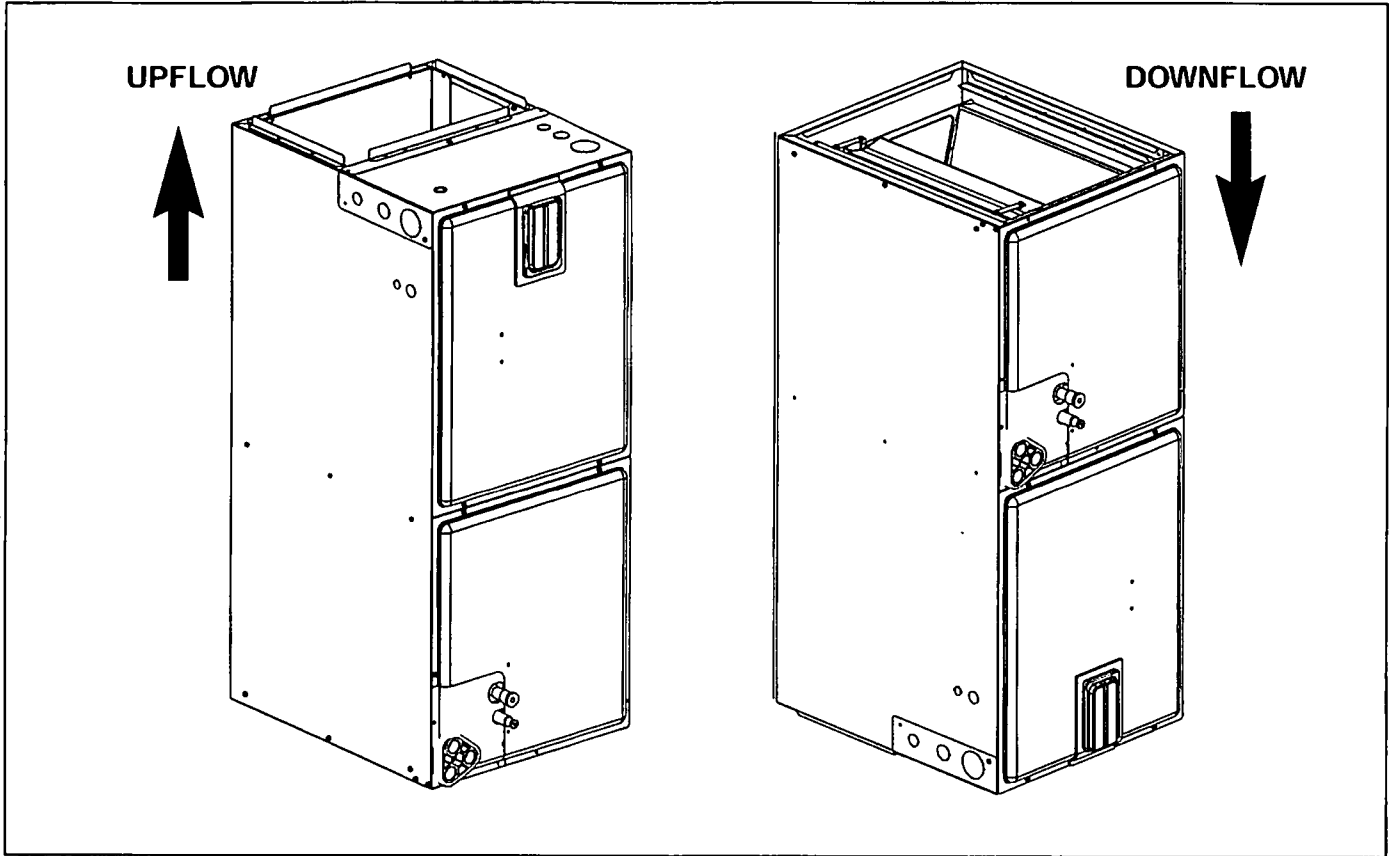


[ ] Designates Metric Conversions  
( ) Designates Unit with Double Coil Cabinet

## Unit Dimensions & Weights

Model Size RHLL & RHSL	Unit Width "W" In. (mm)	Unit Height "H" In. (mm)	Supply Duct "A" In. (mm)	Air Flow CFM (Nom.) [L/s]		Unit Weight/Shipping Weight (Lbs.) [kg] Unit With Coil (Max. KW)
				Lo	Hi	
1817/2417	17 1/2 [445]	42 1/2 [1080]	16 [406]	600 [283]	800 [378]	82/96 [37/44]
3017/3617	17 1/2 [445]	42 1/2 [1080]	16 [406]	1000 [472]	1200 [566]	92/106 [37/48]
3621	21 [533]	42 1/2 [1080]	19 1/2 [495]	1200 [566]	—	97/112 [44/51]
3821	21 [533]	50 1/2 [1282]	19 1/2 [495]	1000 [472]	1200 [566]	150/166 [68/75]
4221/4821	21 [533]	50 1/2 [1282]	19 1/2 [495]	1400 [661]	1600 [755]	150/166 [68/75]
4824	24 1/2 [622]	55 1/2 [1410]	23 [584]	1600 [755]	—	162/180 [73/81]
6024	24 1/2 [622]	55 1/2 [1410]	23 [584]	—	1800 [850]	181/198 [82/90]

# Airflow Directions



## Airflow Performance

Airflow performance data is based on cooling performance with a coil and no filter in place. Select performance table for appropriate unit size, voltage and number of electric heaters to be used. Make sure external static applied to unit allows operation within the minimum and maximum limits shown in table

below for both cooling and electric heat operation. For optimum blower performance, operate the unit in the .3 [8 mm] to .7 inches [18 mm] W.C. external static range. Units with coils should be applied with a minimum of .1 inch [3 mm] W.C. external static range.

## Airflow Operating Limits

Model Cabinet Size	17		21		21		24		
Cooling BTUH x 1,000 Cooling Tons Nominal	-018 1.5	-024 2	-030 2.5	-036 3	-038 3.5	-042 3.5	-048 4	-048 4	-060 5
Heat Pump or Air Conditioning Maximum Heat/Cool CFM [L/s] (37.5 CFM [18 L/s]/1,000 BTUH) (450 CFM [212 L/s]/Ton Nominal)	675 [319]	900 [425]	1125 [531]	1350 [637]	1350 [637]	1575 [743]	1800 [850]	1800 [850]	1930 [911]
Heat Pump or Air Conditioning Nominal Heat/Cool CFM [L/s] (33.3 CFM [16 L/s]/1,000 BTUH) (400 CFM [189 L/s]/Ton Nominal)	600 [283]	800 [378]	1000 [472]	1200 [566]	1200 [566]	1400 [661]	1600 [755]	1600 [755]	1800 [850]
Heat Pump or Air Conditioning Minimum Heat/Cool CFM [L/s] (30.0 CFM [14 L/s]/1,200 BTUH) (360 CFM [170 L/s]/Ton Nominal)	540 [255]	720 [340]	900 [425]	1080 [510]	1080 [510]	1260 [595]	1440 [680]	1440 [680]	1620 [765]
Maximum kW Electric Heating & Minimum Electric Heat CFM [L/s]	13 487 [230]	13 617 [291]	18 814 [384]	18 1054 [497]	18 1042 [492]	20 1171 [553]	25 1502 [709]	25 1502 [709]	30 1666 [786]
Maximum Electric Heat Rise °F [°C]	80 [26.7]	63 [17.2]	66 [18.9]	51 [10.6]	52 [11.1]	49 [9.4]	50 [10]	50 [10]	54 [12.2]

[ ] Designates Metric Conversions

# RHSL Electrical Data – with Electric Heat

Installation of the U.L. Listed original equipment manufacturer provided heater kits listed in the table below is recommended for all auxiliary heating requirements.

Model	Heater Model No.	Heater kW (208/240V ①)	PH/Hz	No. Elements - kW Per	Circuit	Circuit Amps.	Motor Ampacity	Minimum Circuit Ampacity	Maximum Circuit Protection
RHSL 1817 2417	RXBH-1724A03J	2.25/3.0	1/60	1 - 3.0	SINGLE	10.8/12.5	1.7	16/18	20/20
	RXBH-1724A05J	3.6/4.8	1/60	1 - 4.8	SINGLE	17.3/20.0	1.7	24/28	25/30
	RXBH-1724A07J	5.4/7.2	1/60	2 - 3.6	SINGLE	26.0/30.0	1.7	35/40	35/40
	RXBH-1724A10J	7.2/9.6	1/60	2 - 4.8	SINGLE	34.6/40.0	1.7	46/53	50/60
	RXBH-1724A13J	9.4/12.5	1/60	3-4.17	SINGLE	45.1/52.1	1.7	59/68	60/70
	RXBH-1724A13J	3.1/4.2	1/60	1-4.17	MULTIPLE CKT 1	15.0/17.4	1.7	21/24	25/25
	RXBH-1724A13J	6.3/8.3	1/60	2-4.17	MULTIPLE CKT 2	30.1/34.7	0	38/44	40/45
	RXBH-1724A07C	5.4/7.2	3/60	3 - 2.4	SINGLE	15.0/17.3	1.7	21/24	25/25
RXBH-1724A10C	7.2/9.6	3/60	3 - 3.2	SINGLE	20.0/23.1	1.7	28/31	30/35	
RXBH-1724A13C	9.4/12.5	3/60	3 - 4.17	SINGLE	26.1/30.1	1.7	35/40	35/40	
RHSL 3017 3617	RXBH-1724A03J	2.25/3.0	1/60	1 - 3.0	SINGLE	10.8/12.5	2.5	17/19	20/20
	RXBH-1724A05J	3.6/4.8	1/60	1 - 4.8	SINGLE	17.3/20.0	2.5	25/29	25/30
	RXBH-1724A07J	5.4/7.2	1/60	2 - 3.6	SINGLE	26.0/30.0	2.5	36/41	40/45
	RXBH-1724A10J	7.2/9.6	1/60	2 - 4.8	SINGLE	34.6/40.0	2.5	47/54	50/60
	RXBH-1724A13J	9.4/12.5	1/60	3-4.17	SINGLE	45.1/52.1	2.5	60/69	60/70
	RXBH-1724A13J	3.1/4.2	1/60	1-4.17	MULTIPLE CKT 1	15.0/17.4	2.5	22/25	25/25
	RXBH-1724A13J	6.3/8.3	1/60	2-4.17	MULTIPLE CKT 2	30.1/34.7	0	38/44	40/45
	RXBH-1724A15J	10.8/14.4	1/60	3-4.8	SINGLE	51.9/60.0	2.5	68/79	70/80
	RXBH-1724A15J	3.6/4.8	1/60	1 - 4.8	MULTIPLE CKT 1	17.3/20.0	2.5	25/29	25/30
	RXBH-1724A15J	7.2/9.6	1/60	2 - 4.8	MULTIPLE CKT 2	34.6/40.0	0	44/50	45/50
	RXBH-1724A18J	12.8/17.0	1/60	3-5.68	SINGLE	61.6/70.8	2.5	81/92	90/100
	RXBH-1724A18J	4.3/5.7	1/60	1-5.68	MULTIPLE CKT 1	20.5/23.6	2.5	29/33	30/35
	RXBH-1724A18J	8.5/11.3	1/60	2 - 5.68	MULTIPLE CKT 2	41.1/47.2	0	52/59	60/60
	RXBH-1724A07C	5.4/7.2	3/60	3 - 2.4	SINGLE	15.0/17.3	2.5	22/25	25/25
	RXBH-1724A10C	7.2/9.6	3/60	3 - 3.2	SINGLE	20.0/23.1	2.5	29/32	30/35
	RXBH-1724A13C	9.4/12.5	3/60	3 - 4.17	SINGLE	26.1/30.1	2.5	36/41	40/45
	RXBH-1724A15C	10.8/14.4	3/60	3 - 4.8	SINGLE	30.0/34.6	2.5	41/47	45/50
	RXBH-1724A18C	12.8/17.0	3/60	3-5.68	SINGLE	35.5/41.0	2.5	48/55	50/60
	RXBH-17A07D	7.2	3/60	2-3.6	SINGLE	8.7	1.4	13	15
	RXBH-17A10D	9.6	3/60	3 - 3.2	SINGLE	11.6	1.4	17	20
	RXBH-17A15D	14.4	3/60	3 - 4.8	SINGLE	17.3	1.4	24	25
	RXBH-17A18D	17	3/60	3 - 5.68	SINGLE	20.4	1.4	28	30
	RXBH-1724B05J	3.6/4.8	1/60	1 - 4.8	SINGLE	17.3/20.0	3.8	27/30	30/30
	RXBH-1724B07J	5.4/7.2	1/60	2 - 3.6	SINGLE	26.0/30.0	3.8	38/48	40/45
RXBH-1724B10J	7.2/9.6	1/60	2 - 4.8	SINGLE	34.6/40.0	3.8	48/55	50/60	

① This does not include "D Voltage". D Voltage = 480 Volts.

- Supply circuit protective devices may be fused or "HACR" type circuit breakers.
- If non-standard fuse size is specified, use next size larger standard fuse size.
- If the kit is listed under both single and multiple circuits, the kit is shipped from factory as multiple circuits. For single phase application, Jumper bar kit RXBJ-A21 and RXBJ-A31 can be used to convert multiple circuits to a single supply circuit. Refer to Accessory Section for details.
- Largest motor load is included in single circuit or circuit 1 of multiple circuit.
- Heater loads are balanced on 3 PH. models with 3 or 6 heaters only.

- Electric heater BTUH - (heater watts + motor watts) x 3.414 (see airflow table for motor watts.)
- No electrical heating elements are permitted to be used with "A" voltage (115V) air handler.
- J voltage (208/240V) single phase air handler is designed to be used with single or three phase 208/240V volt electric heaters. In the case of connecting 3 phase power to air handler terminal block without the heater, bring only two leads to terminal block. Cap, insulate and fully secure the third lead.
- Do not use 480V electrical heaters on 208/240V air handlers.
- Do not use 208/240V electrical heaters on 480V air handlers.

# Electrical Wiring:

## Power Wiring

- Field wiring must comply with the National Electrical Code (C.E.C. in Canada) and any applicable local ordinance.
- Supply wiring must be 75°C minimum copper conductors only.
- See electrical data for product Ampacity rating and Circuit Protector requirement.

## Grounding

- This product must be sufficiently grounded in accordance with National Electrical Code (C.E.C. in Canada) and any applicable local ordinance.
- A grounding lug is provided.

# Accessories-Kits—Parts

## • Combustible Floor Base RXHB-

Model Cabinet Size	Combustible Floor Base Model Number
17	RXHB-17
21	RXHB-21
24	RXHB-24

- **Jumper Bar Kit 3 Ckt. to 1 Ckt. RXBJ-A31** is used to convert single phase multiple three circuit units to a single supply circuit. Kit includes cover and screw for line side terminals.
- **Jumper Bar Kit 2 Ckt. to 1 Ckt. RXBJ-A21** is used to convert single phase multiple two circuit units to a single supply circuit. Kit includes cover and screw for line side terminals.
- **Note:** No jumper bar kit is available to convert three phase multiple two circuit units to a single supply circuit.

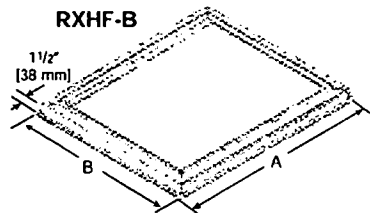
## • Auxiliary Horizontal Overflow Pan Accessory RXBM-

Nominal Cooling Capacity-Tons	Auxiliary Horizontal Overflow Pan Accessory Model Number
1½ - 3	RXBM-AC48
3½ - 5	RXBM-AC61

## • External Filter Rack RXHF-B17, B21, B24

Model Cabinet Size	Filter Size In. [mm]	Part Number*	A	B
17	16 x 20 [406 x 508]	RXHF-B17	16.90	20.77
21	20 x 20 [508 x 508]	RXHF-B21	20.40	20.77
24	25 x 20 [635 x 508]	RXHF-B24	25.00	21.04

\*Accommodates 1" filter



## • Auxiliary Electric Heater Kits RXBH-

Heater Kits include circuit breakers which meet UL and cUL requirements for service disconnect. See the Electric Heat Electrical Data in this specification sheet for specific Heater Kit Model numbers.

## • Horizontal Adapter Kit RXHH-

This horizontal adapter kit is used to convert Upflow/Downflow only models to horizontal flow. See the following table to order proper horizontal adapter kit.

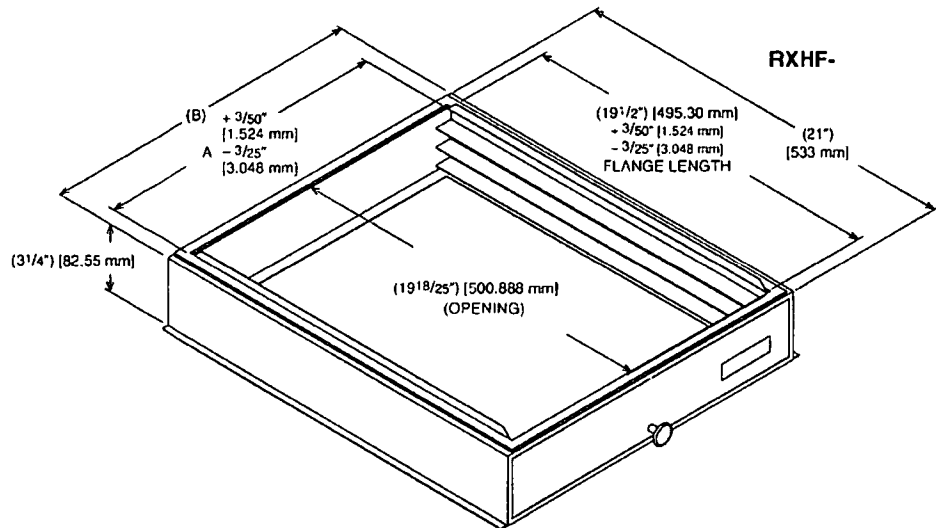
Coil Model	Horizontal Adapter Kit Model Number (Single Qty.)	Horizontal Adapter Kit Model Number (10-Pack Qty.)
2414	RXHH-A01	RXHH-A01 x 10
2417	RXHH-A02	RXHH-A02 x 10
3617/3621	RXHH-A03	RXHH-A03 x 10
3821/4821/4824	RXHH-A04	RXHH-A04 x 10
8024	RXHH-A05	RXHH-A05 x 10

## • External Filter Base RXHF-

Model Cabinet Size	Filter Size In. [mm]	Part Number*	A	B
17	16 x 20 [406 x 508]	RXHF-17	15.70	17.5
21	20 x 20 [508 x 508]	RXHF-21	19.20	21.0
24	25 x 20 [635 x 508]	RXHF-24	22.70	25.5

\*Accommodates 1" or 2" filter

[ ] Designates Metric Conversions





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

**Air Conditioning Change out Affidavit**

Residential  Commercial \_\_\_\_\_  
 Package Unit \_\_\_ Yes  No (Use Condenser side of form below for equipment listing)  
 Duct Replacement \_\_\_ Yes  No - Refrigerant line replacement \_\_\_ Yes  No  
 Flushing Existing Refrigerant lines  Yes \_\_\_ No - Adding Refrigerant Drier  Yes \_\_\_ No  
 Rooftop A/C Stand Installation \_\_\_ Yes  No - Curb Installation \_\_\_ Yes  No  
 Smoke Detector in Supply (over 2000 CFM) \_\_\_ Yes  No

**One form required for each A/C system installed**

**REPLACEMENT SYSTEM COMPONENTS**

**Air handler:** Mfg. Pneem Model# RBAP21  
 Volts 230 CFM's 1200 Heat Strip 10 Kw  
 Min. Circuit Amps 49-52 Wire gauge 6  
 Max. Breaker size 60 Min. Breaker size 50  
 Ref. line size: Liquid 3/8 Suction 7/8  
 Refrigerant type 410A  
 Location: Existing  New \_\_\_\_\_  
 Attic/Garage/Closet (specify) ATTIC  
 Access: SCUTTLE

**Condenser:** Mfg. Pneem Model# 13AJM  
 Volts 230 SEER/EER 13 BTU's 36,000  
 Min. Circuit Amps 22 Wire gauge 8  
 Max. Breaker size 35 Min. Breaker size 30  
 Ref. line size: Liquid 3/8 Suction 7/8  
 Refrigerant type 410A  
 Location: Existing  New \_\_\_\_\_  
 Left/Right/Rear/Front/Roof RIGHT SIDE  
 Condensate Location SIDE

**EXISTING SYSTEM COMPONENTS**

**Air handler:** Mfg. TRane Model# TVF026  
 Volts 230 CFM's 1200 Heat Strip 10 Kw  
 Min. Circuit Amps 40 Wire gauge 6  
 Max. Breaker size 60 Min. Breaker size 50  
 Ref. line size: Liquid 3/8 Suction 7/8  
 Refrigerant type 22  
 Location: Ext.  New \_\_\_\_\_  
 Attic/Garage/Closet (specify) ATTIC  
 Access: SCUTTLE

**Condenser:** Mfg. TRane Model# TTN  
 Volts 230 SEER/EER 10 BTU's 36,000  
 Min. Circuit Amps 26 Wire gauge 8  
 Max. Breaker size 35 Min. Breaker size 30  
 Ref. line size: Liquid 3/8 Suction 7/8  
 Refrigerant type R-22  
 Location: Ext.  New \_\_\_\_\_  
 Left/Right/Rear/Front/Roof RIGHT SIDE  
 Condensate Location SIDE

**Certification:**

I herby certify that the information entered on this form accurately represents the equipment installed and further that this equipment is considered matched as required by FBC - R (N)1107 & 1108

[Signature]  
 Signature

\_\_\_\_\_  
 Date





# Certificate of Product Ratings

AHRI Certified Reference Number: 3480957

Date: 6/22/2010

Product: Split System: Air-Cooled Condensing Unit, Coil with Blower

Outdoor Unit Model Number: 13AJM36

Indoor Unit Model Number: RBHP-21+RCHL-36A1

Manufacturer: RHEEM MANUFACTURING COMPANY

Trade/Brand name: RHEEM 13AJM SERIES

Manufacturer responsible for the rating of this system combination is RHEEM MANUFACTURING COMPANY

Rated as follows in accordance with AHRI Standard 210/240-2006 for Unitary Air-Conditioning and Air-Source Heat Pump Equipment and subject to verification of rating accuracy by AHRI-sponsored, independent, third party testing:

Cooling Capacity (Btuh): 33800

EER Rating (Cooling): 11.50

SEER Rating (Cooling): 14.00

A \* following a rating indicates a voluntary rerate of previously published data, unless accompanied with a WAS which indicates an involuntary rerate.

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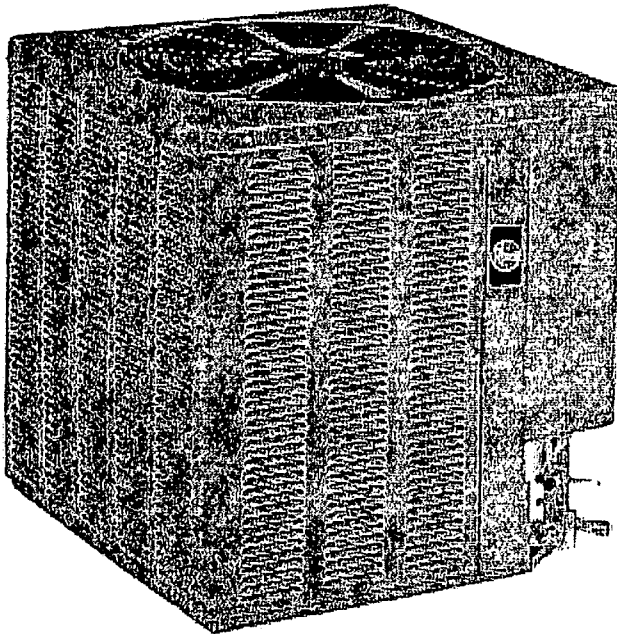


Air-Conditioning,  
Heating, and  
Refrigeration Institute



Featuring  
New Industry Standard  
R-410A Refrigerant

**R-410A**



## 13 SEER CONDENSING UNITS

### Features

- Painted louvered steel cabinet
- Easily accessible control box
- Condenser coils constructed with copper tubing and enhanced aluminum fins
- Grille/Motor mount for quiet fan operation
- Bi-Directional Filter Drier (shipped – not installed)

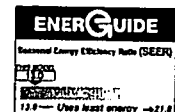
### Applications

Outdoor condensing unit designed for ground level or rooftop installations. These units offer comfort and dependability for single, multi-family and light commercial applications.

### Accessories

- Low Pressure Control (RXAC-A07)
- High Pressure Control (RXAB-A07)
- Low Ambient Control (RXAD-A08)
- Compressor Time Delay Control
- Crankcase Heater
- Sound Enclosure

**13AJM SERIES**



# Performance Data @ ARI Standard Conditions—Cooling (con't.)

Model Numbers		80°F [26.5°C] DB/67°F [19.5°C] WB Indoor Air 95°F [35°C] DB Outdoor Air					Sound Rating dB	Indoor CFM [L/s]
Outdoor Unit 13AJM	Indoor Coil and/or Air Handler	Total Capacity BTU/H [kW]	Net Sensible BTU/H [kW]	Net Latent BTU/H [kW]	EER	SEER		
36	RCFL-H*3621 (RGGD-09?ZCM?)	35,200 [10.3]	26,200 [7.7]	9,000 [2.6]	11.70	13.50	75	1,175 [554]
	RCFL-H*3621 (RGGD-10?ZCM?)	35,200 [10.3]	26,200 [7.7]	9,000 [2.6]	11.75	13.50	75	1,175 [554]
	RCFL-H*3621 (RGJD-06?MCK?)	34,200 [10.0]	24,400 [7.1]	9,800 [2.9]	11.60	13.50	75	1,000 [472]
	RCFL-H*3621 (RGJD-07?MCK?)	34,200 [10.0]	24,550 [7.2]	9,650 [2.8]	11.60	13.50	75	1,025 [484]
	RCFL-H*3621 (RGJD-09?ZCM?)	35,200 [10.3]	26,200 [7.7]	9,000 [2.6]	11.70	13.50	75	1,175 [554]
	RCFL-H*3621 (RGJD-10?ZCM?)	35,200 [10.3]	26,200 [7.7]	9,000 [2.6]	11.75	13.50	75	1,175 [554]
	RCFL-H*3621 (RGLR-07?AMK?)	34,400 [10.1]	24,700 [7.2]	9,700 [2.8]	11.85	14.00	75	1,175 [554]
	RCFL-H*3621 (RGLR-07?BRQ?)	35,400 [10.4]	26,600 [7.8]	8,800 [2.6]	11.85	14.00	75	1,025 [484]
	RCFL-H*3621 (RGLR-10?BRM?)	35,400 [10.4]	26,450 [7.7]	8,950 [2.6]	11.90	14.00	75	1,225 [578]
	RCFL-H*3621 (RGPR-05?BMK?)	34,200 [10.0]	24,450 [7.2]	9,750 [2.9]	11.50	13.50	75	1,000 [472]
	RCFL-H*3621 (RGPR-07?AMK?)	34,200 [10.0]	24,400 [7.1]	9,800 [2.9]	11.75	14.00	75	1,000 [472]
	RCFL-H*3621 (RGPR-07?BRQ?)	35,400 [10.4]	26,450 [7.7]	8,950 [2.6]	11.90	14.00	75	1,200 [566]
	RCFL-H*3621 (RGPR-10?BRM?)	35,400 [10.4]	26,600 [7.8]	8,800 [2.6]	11.70	13.50	75	1,225 [578]
	RCFL-H*3621 (RGRM-04?MAE?)	34,200 [10.0]	24,550 [7.2]	9,650 [2.8]	11.40	13.50	75	1,025 [484]
	RCFL-H*3621 (RGRM-06?MAE?)	34,200 [10.0]	24,450 [7.2]	9,750 [2.9]	11.50	13.50	75	1,000 [472]
	RCFL-H*3621 (RGRM-07?MAE?)	34,000 [10.0]	24,400 [7.1]	9,600 [2.8]	11.20	13.00	75	1,025 [484]
	RCFL-H*3621 (RGRM-07?YBG?)	33,800 [9.9]	24,000 [7.0]	9,800 [2.9]	11.30	13.00	75	975 [460]
	RCFL-H*3621 (RGRM-09?ZAJ?)	35,200 [10.3]	26,450 [7.7]	8,750 [2.6]	11.40	13.00	75	1,225 [578]
	RCFL-H*3621 (RGRM-10?ZAJ?)	34,800 [10.2]	25,700 [7.5]	9,100 [2.7]	11.50	13.50	75	1,150 [543]
	RBHP-21 (RCHL-36A1)	33,800 [9.9]	24,550 [7.2]	9,250 [2.7]	11.35	13.50	75	1,200 [566]
	RCHL-36A1 (RGFD-09?ZCM?)	33,400 [9.8]	24,000 [7.0]	9,400 [2.8]	11.15	13.00	75	1,150 [543]
	RCHL-36A1 (RGFD-10?ZCM?)	33,600 [9.8]	24,400 [7.1]	9,200 [2.7]	11.10	13.00	75	1,175 [554]
	RCHL-36A1 (RGGD-09?ZCM?)	33,800 [9.9]	24,600 [7.2]	9,200 [2.7]	11.25	13.50	75	1,175 [554]
	RCHL-36A1 (RGGD-10?ZCM?)	33,800 [9.9]	24,600 [7.2]	9,200 [2.7]	11.25	13.50	75	1,175 [554]
	RCHL-36A1 (RGJD-09?ZCM?)	33,800 [9.9]	24,600 [7.2]	9,200 [2.7]	11.25	13.50	75	1,175 [554]
	RCHL-36A1 (RGJD-10?ZCM?)	33,800 [9.9]	24,600 [7.2]	9,200 [2.7]	11.25	13.50	75	1,175 [554]
	RCHL-36A1 (RGLR-07?AMK?)	33,600 [9.8]	24,450 [7.2]	9,150 [2.7]	10.95	13.00	75	1,200 [566]
	RCHL-36A1 (RGLR-07?BRQ?)	33,800 [9.9]	24,550 [7.2]	9,250 [2.7]	11.30	13.50	75	1,225 [578]
	RCHL-36A1 (RGLR-10?BRM?)	33,800 [9.9]	24,550 [7.2]	9,250 [2.7]	11.35	13.50	75	1,200 [566]
	RCHL-36A1 (RGPR-07?AMK?)	33,600 [9.8]	24,450 [7.2]	9,150 [2.7]	10.90	13.00	75	1,200 [566]
	RCHL-36A1 (RGPR-07?BRQ?)	33,800 [9.9]	24,550 [7.2]	9,250 [2.7]	11.35	13.50	75	1,200 [566]
	RCHL-36A1 (RGPR-10?BRM?)	33,800 [9.9]	24,600 [7.2]	9,200 [2.7]	11.20	13.50	75	1,225 [578]
	RCHL-36A1 (RGRM-09?ZAJ?)	33,400 [9.8]	24,250 [7.1]	9,150 [2.7]	10.85	13.00	75	1,225 [578]
	RHKL-HM3617 (RCSL-H*3617)	35,400 [10.4]	26,600 [7.8]	8,800 [2.6]	11.80	14.00	75	1,225 [578]
	RHLL-HM3617 (RCSL-H*3617)	35,400 [10.4]	26,450 [7.7]	8,950 [2.6]	12.00	14.00	75	1,200 [566]
	RHSL-HM3617 (RCSL-H*3617)	34,200 [10.0]	24,850 [7.3]	9,350 [2.7]	11.15	13.00	75	1,100 [519]
RHSL-HM3621 (RCSL-H*3621)	34,400 [10.1]	25,250 [7.4]	9,150 [2.7]	11.15	13.00	75	1,125 [531]	
42	RCFL-H*4821 ⊕	41,000 [12.0]	30,550 [9.0]	10,450 [3.1]	11.05	13.00	77	1,400 [661]
	RCFL-A*4821	41,000 [12.0]	30,550 [9.0]	10,450 [3.1]	11.05	13.00	77	1,400 [661]
	RCFL-A*4821 (RGFD-06?MCK?)	40,000 [11.7]	28,300 [8.3]	11,700 [3.4]	11.00	13.00	77	1,175 [554]
	RCFL-A*4821 (RGFD-09?ZCM?)	41,000 [12.0]	30,050 [8.8]	10,950 [3.2]	11.35	13.00	77	1,325 [625]
	RCFL-A*4821 (RGFD-10?ZCM?)	41,000 [12.0]	30,050 [8.8]	10,950 [3.2]	11.25	13.00	77	1,325 [625]
	RCFL-A*4821 (RGGD-06?MCK?)	40,500 [11.9]	29,000 [8.5]	11,500 [3.4]	11.15	13.00	77	1,225 [578]
	RCFL-A*4821 (RGGD-07?MCK?)	40,500 [11.9]	29,050 [8.5]	11,450 [3.4]	11.05	13.00	77	1,225 [578]
	RCFL-A*4821 (RGGD-09?ZCM?)	41,500 [12.2]	30,950 [9.1]	10,550 [3.1]	11.30	13.00	77	1,425 [672]
	RCFL-A*4821 (RGGD-10?ZCM?)	41,500 [12.2]	30,950 [9.1]	10,550 [3.1]	11.35	13.00	77	1,425 [672]
	RCFL-A*4821 (RGLR-07?AMK?)	40,500 [11.9]	28,800 [8.4]	11,700 [3.4]	11.45	13.50	77	1,200 [566]
	RCFL-A*4821 (RGLR-07?BRQ?)	41,000 [12.0]	29,350 [8.6]	11,650 [3.4]	11.85	14.00	77	1,225 [578]
	RCFL-A*4821 (RGLR-10?BRM?)	41,500 [12.2]	30,900 [9.1]	10,600 [3.1]	11.75	13.50	77	1,375 [649]
	RCFL-A*4821 (RGPR-05?BMK?)	40,500 [11.9]	28,900 [8.5]	11,600 [3.4]	11.05	13.00	77	1,200 [566]
	RCFL-A*4821 (RGPR-07?AMK?)	40,500 [11.9]	28,800 [8.4]	11,700 [3.4]	11.40	13.50	77	1,200 [566]
	RCFL-A*4821 (RGPR-07?BRQ?)	41,500 [12.2]	30,900 [9.1]	10,600 [3.1]	11.70	13.50	77	1,400 [661]
	RCFL-A*4821 (RGPR-10?BRM?)	41,500 [12.2]	30,950 [9.1]	10,550 [3.1]	11.45	13.50	77	1,425 [672]

⊕ Highest sales volume tested combination required by D.O.E. test procedures.

[ ] Designates Metric Conversions

# Electrical and Physical Data

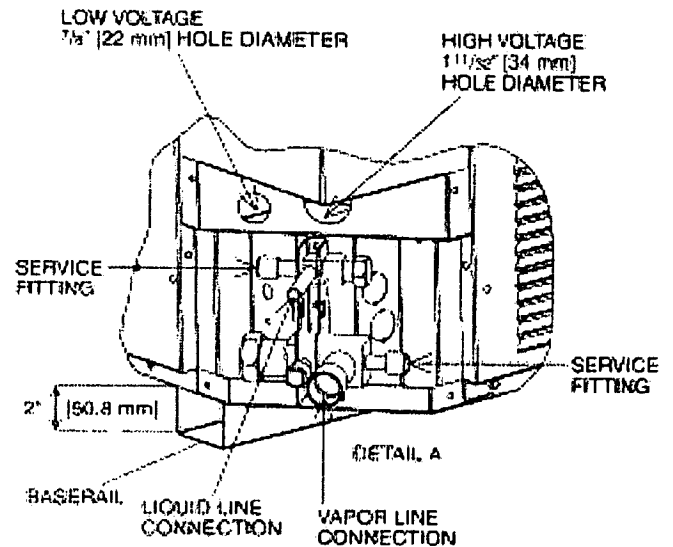
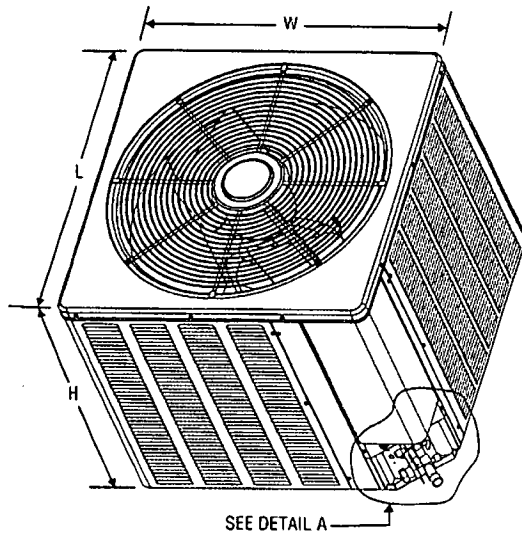
Model Number 13AJM	ELECTRICAL							PHYSICAL					
	Phase Frequency (HZ) Voltage (Volts)	Compressor		Fan Motor Full Load Amperes (FLA)	Minimum Circuit Ampacity Amperes	Fuse or HACR Circuit Breaker		Outdoor Coil			Refrigerant Per Circuit Oz. (g)	Weight	
		Rated Load Amperes (RLA)	Locked Rotor Amperes (LRA)			Minimum Amperes	Maximum Amperes	Face Area Sq. Ft. (m <sup>2</sup> )	No. Rows	CFM (L/s)		Net Lbs. (kg)	Shipping Lbs. (kg)
Rev. 7/29/09													
18	1-60-208/230	9/9	48	0.6	12/12	15/15	20/20	8.43 [0.78]	1	1675 [790]	75.2 [2132]	120 [54.4]	128 [58.1]
24	1-60-208/230	13.5/13.5	58.3	0.6	18/18	25/25	30/30	8.43 [0.78]	1	1665 [786]	73.8 [2092]	121 [54.9]	129 [58.5]
30	1-60-208/230	12.8/12.8	73	0.6	17/17	20/20	25/25	10.29 [0.96]	1	2075 [979]	86.8 [2440]	139 [63.1]	147 [66.7]
36	1-60-208/230	16.7/16.7	79	0.8	22/22	30/30	35/35	12.43 [1.15]	1	2690 [1269]	96 [2722]	159 [72.1]	167 [75.8]
42	1-60-208/230	17.9/17.9	112	0.8	24/24	30/30	40/40	16.39 [1.52]	1	2980 [1406]	126.4 [3583]	188 [85.3]	192 [87.1]
48	1-60-208/230	21.8/21.8	117	0.8	29/29	35/35	45/45	21.85 [2.03]	1	3175 [1498]	144 [4082]	207 [93.9]	218 [98.9]
60	1-60-208/230	26.4/26.4	134	1.2	35/35	45/45	60/60	21.85 [2.03]	1	3570 [1685]	176 [4990]	223 [101.2]	234 [106.1]

NOTE: Factory Refrigerant Charge includes refrigerant for 15 feet of standard line set.

## Unit Dimensions

Model No. 13AJM	Unit Dimensions		
	Width "W" Inches	Length "L" Inches	Height "H" Inches
18, 24	23 <sup>5</sup> / <sub>8</sub> [600]	23 <sup>5</sup> / <sub>8</sub> [600]	24 <sup>1</sup> / <sub>4</sub> [616]
30	27 <sup>5</sup> / <sub>8</sub> [702]	27 <sup>5</sup> / <sub>8</sub> [702]	24 <sup>1</sup> / <sub>4</sub> [616]
36, 42	31 <sup>5</sup> / <sub>8</sub> [803]	31 <sup>5</sup> / <sub>8</sub> [803]	27 <sup>15</sup> / <sub>16</sub> [710]
48, 60	31 <sup>5</sup> / <sub>8</sub> [803]	31 <sup>5</sup> / <sub>8</sub> [803]	35 <sup>15</sup> / <sub>16</sub> [913]

[ ] Designates Metric Conversions



# Condensing Unit Refrigerant Line Size Information

Liquid Line Sizing (R-410A)														
System Capacity	Liquid Line Connection Size (Inch I.D.)	Line Size (Inch O.D.) (mm)	Liquid Line Size – Outdoor Unit Above Indoor Coil (Cooling Only—Does not apply to Heat Pumps)						Liquid Line Size – Outdoor Unit Below Indoor Coil					
			Total Equivalent Length—Feet (m)						Total Equivalent Length—Feet (m)					
			25 [7.62]	50 [15.24]	75 [22.86]	100 [30.48]	125 [38.10]	150 [45.72]	25 [7.62]	50 [15.24]	75 [22.86]	100 [30.48]	125 [38.10]	150 [45.72]
			Minimum Vertical Separation—Feet (m)						Maximum Vertical Separation—Feet (m)					
1 1/2 Ton	3/8" [9.53]	1/4 [6.35]	0	0	0	0	8 [2.44]	24 [7.32]	25 [7.62]	40 [12.19]	25 [7.62]	9 [2.74]	N/A	N/A
		5/16 [7.94]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	62 [18.90]	58 [17.68]	53 [16.15]	49 [14.94]
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	75 [22.86]	72 [21.95]	70 [21.34]	68 [20.73]
2 Ton	3/8" [9.53]	1/4 [6.35]	0	3 [0.91]	29 [8.84]	55 [16.76]	81 [24.69]	108 [32.92]	23 [7.01]	N/A	N/A	N/A	N/A	N/A
		5/16 [7.94]	0	0	0	0	0	0	25 [7.62]	36 [10.97]	29 [8.84]	23 [7.01]	16 [4.88]	9 [2.74]
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	72 [21.95]	70 [21.34]	68 [20.73]	65 [19.81]
2 1/2 Ton	3/8" [9.53]	1/4 [6.35]	0	14 [4.27]	56 [17.07]	98 [29.87]	N/A	N/A	25 [7.62]	N/A	N/A	N/A	N/A	N/A
		5/16 [7.94]	0	0	0	0	0	0	25 [7.62]	49 [14.94]	38 [11.58]	27 [8.23]	17 [5.18]	6 [1.83]
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	68 [20.73]	65 [19.81]	62 [18.90]	58 [17.68]
3 Ton	3/8" [9.53]	5/16 [7.94]	0	0	0	0	0	9 [2.74]	25 [7.62]	50 [15.24]	37 [11.28]	22 [6.71]	7 [2.13]	N/A
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	68 [20.73]	63 [19.20]	58 [17.68]	53 [16.15]
3 1/2 Ton	3/8" [9.53]	5/16 [7.94]	0	0	0	16 [4.88]	35 [10.67]	54 [16.46]	25 [7.62]	23 [7.01]	4 [1.22]	N/A	N/A	N/A
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	43 [13.11]	36 [10.97]	30 [9.14]	24 [7.32]
4 Ton	3/8" [9.53]	3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	46 [14.02]	38 [11.58]	30 [9.14]	22 [6.71]	15 [4.57]
		1/2 [12.57]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	56 [17.07]	55 [16.76]	53 [16.15]	52 [15.85]
5 Ton	3/8" [9.53]	3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	56 [17.07]	44 [13.41]	32 [9.75]	20 [6.10]
		1/2 [12.57]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	75 [22.86]	81 [24.69]	79 [24.08]	76 [23.16]

NOTES: \*Standard line size  
N/A = Application not recommended.

Suction Line Length/Size versus Capacity Multiplier (R-410A)											
Unit Size	1 1/2 Ton	2 Ton	2 1/2 Ton	3 Ton	3 1/2 Ton	4 Ton	5 Ton				
Suction Line Connection Size	3/4" [19.05] I.D.			7/8" [22.23] I.D.							
Suction Line Run—Feet (m)	5/8" [15.88 mm] O.D. Optional 3/4" [19.05 mm] O.D. Standard*		5/8" [15.88 mm] O.D. Optional 3/4" [19.05 mm] O.D. Standard* 7/8" [22.23 mm] O.D. Optional		3/4" [19.05 mm] O.D. Optional 7/8" [22.23 mm] O.D. Standard*		7/8" [22.23 mm] O.D. Optional 1 1/8" [28.58 mm] O.D. Standard*				
25' [7.62]	Optional Standard Optional	1.00 1.00 —	1.00 1.00 —	1.00 1.00 1.00	1.00 1.00 —	1.00 1.00 —	1.00 1.00 —	1.00 1.00 —	1.00 1.00 —		
50' [15.24]	Optional Standard Optional	.98 .99 —	.98 .99 —	.96 .98 .99	.98 .99 —	.99 .99 —	.99 .99 —	.99 .99 —	.99 .99 —		
100' [30.48]	Optional Standard Optional	.95 .96 —	.95 .96 —	.94 .96 .97	.96 .97 —	.96 .98 —	.96 .98 —	.96 .98 —	.97 .98 —		
150' [45.72]	Optional Standard Optional	.92 .93 —	.92 .94 —	.91 .93 .95	.94 .95 —	.94 .96 —	.95 .96 —	.95 .96 —	.94 .97 —		

NOTES: \*Standard line size  
Using suction line larger than shown in chart will result in poor oil return and is not recommended.

[ ] Designates Metric Conversions

**BEFORE PURCHASING THIS APPLIANCE, READ IMPORTANT ENERGY COST AND EFFICIENCY INFORMATION AVAILABLE FROM YOUR RETAILER.**

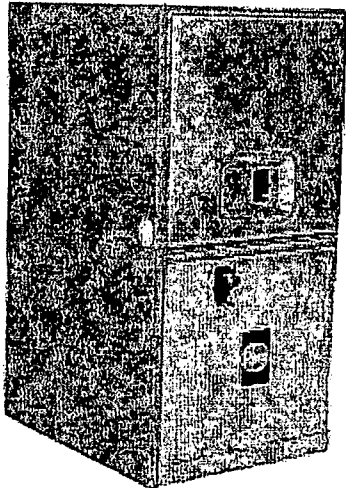
## GENERAL TERMS OF LIMITED WARRANTY

Rheem will furnish a replacement for any part of this product which fails in normal use and service within the applicable period stated, in accordance with the terms of the limited warranty.

Conditional Compressor\*  
(Registration Required)..... Ten (10) Years  
Any Other Part ..... Five (5) Years  
Conditional Parts\* (Registration Required) .... Ten (10) Years

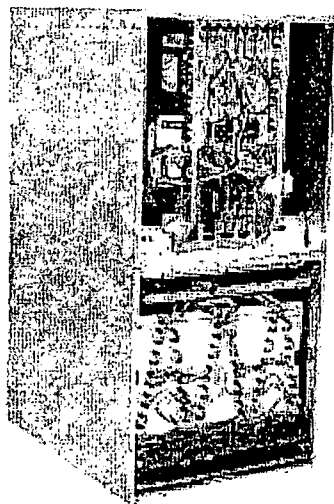
\*For Complete Details of the Limited Warranty, Including Applicable Terms and Conditions, See Your Local Installer or visit [www.Rheem.com](http://www.Rheem.com).

# AIR HANDLERS



## AIR HANDLERS RBHP-

- Models featuring R-22 Refrigerant
- Models featuring New Industry Standard R-410A Refrigerant **R-410A**
- Models featuring Electric Heat without Indoor Cooling Coil



(Model with Coil)

### Features

- Quiet and efficient X-13 (ECM) motor technology
- Only 35" tall and 4-way convertible for all those tight spaces
- Available from factory in upflow and horizontal configurations
- Nominal airflow up to 0.5" external static pressure with reduced airflow up to 1.0" external static pressure
- Factory installed MultiFlex® coils
- Sturdy steel construction with 1 inch [25.4 mm] of foil faced insulation for excellent sound and insulating characteristics
- Permanent, easily accessible and washable filter furnished standard
- Circuit breaker (standard on units with more than 11 kW) meets U.L. and cUL requirements for service disconnect
- Factory installed auxiliary electric heat provides exact heat for indoor comfort over a variety of applications
- Watt restrictors, standard on RBHP-17 models above 6 kW and on RBHP-21, RBHP-24 & RBHP-25 models above 11 kW, stage supplemental heat so that only the necessary amount is engaged to maintain comfort in the conditioned space
- Fan settings for selectable, customized cooling airflow over a wide variety of applications



## Engineering Features

### RBHP-Series

- Quiet, efficient X-13 (ECM) motor technology providing nominal airflow to 0.5 inch [12 kPa] of external static pressure.
- Field selectable airflow to meet the requirements of particular applications.
- Low continuous fan speed.
- The most compact unit design available.
- Attractive pre-painted cabinet exterior.
- Rugged steel cabinet construction, designed for added strength and versatility.
- 1" foil faced insulation mechanically retained in blower compartment.
- Four leg rubber insulated wire motor mount.
- Circuit breakers standard on models above 11 kW and optional on models with 11 kW or less.
- Models supplied with circuit breakers meet UL and cUL requirements as a service disconnect switch.
- Provisions for field electrical connections from either side of air handler cabinet.
- Tab lock blower housing with integrated electric heaters, controls, motor and blower. Slide out design for service and maintenance convenience.
- Exclusive dependable Incoloy sheath type electric heating elements located in the blower housing provide mixed warm air.
- Field convertible for vertical upflow, vertical downflow, horizontal left hand or right hand air supply.
- Common combustible floor base accessory fits all model sizes when required for downflow installations on combustible floors.
- Durable framed cleanable air filter provided as standard in unit filter rack.
- MultiFlex® indoor coil design provides low air side pressure drop, high performance and extremely compact size. All coils come with PVC condensate elbow standard.
- All indoor coils have copper tubing and aluminum fins.
- Molded polymer corrosion resistant condensate drain pan is provided on all indoor coils.
- Both supply and return duct flanges provided as standard on air handler cabinet.
- Connection points for both high voltage and low voltage control wiring inside air handler cabinet.
- Concentric knockouts are provided for power connection to cabinet. Installer may pull desired hole size up to 2 inches [51 mm] for 1 1/2 inch [38 mm] conduit.
- Patented watt restrictor on heat pump models to control electric heat during heating operation.
- Internal checked TX valves are used on the RCHJ & RCHL Heat Pump indoor coil for more quiet refrigerant metering.
- Front refrigerant and drain connections.

## Watt-restrictor

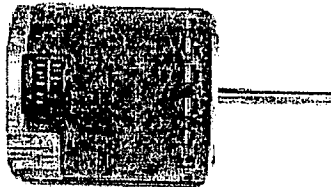
Supplemental heat, provided by electric heating elements may be necessary in some areas when heating requirements for indoor comfort exceed the capacity of the heat pump system. When supplemental heat is required, units with the Watt Restrictor will restrict the amount of supplemental electric heat that can be energized dependent on the heat output of the heat pump (temperature of the air leaving the indoor heat pump coil).

The Watt-restrictor utilizes sensing devices in the unit to sense the air temperature leaving the indoor coil and disengage unnecessary heating elements when that temperature is at least 85°F [29°C]. (In this mode your system is controlled by the first stage of the wall thermostat.) This occurs only when the second stage of the wall thermostat calls for heat.

Since the heat output of the heat pump is dependent upon the outdoor air temperature, this control performs the same function as a field installed outdoor thermostat.

An additional benefit of the Watt Restrictor is that it can sense a degradation in heat pump performance due to causes other than outdoor temperature and react accordingly to bring on more supplemental electric heat.

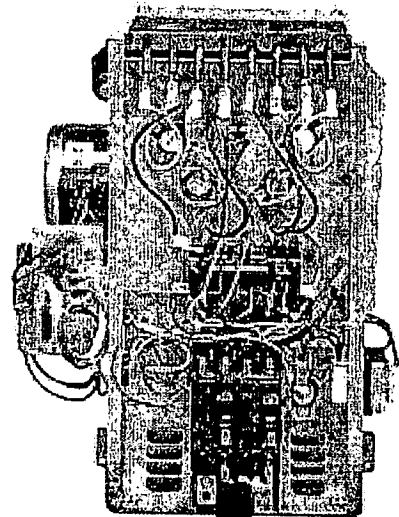
[ ] Designates Metric Conversions



X-13 (ECM)  
MOTOR



BLOWER  
SECTION



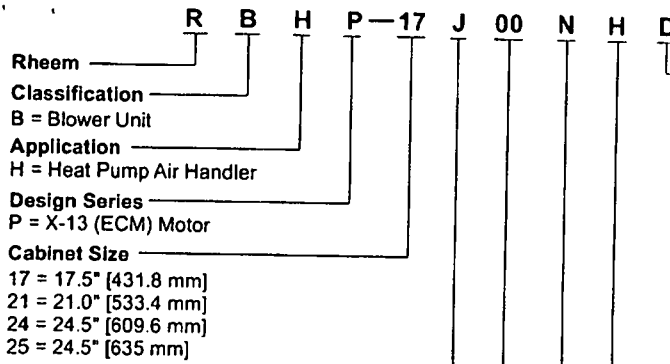
## GENERAL TERMS OF LIMITED WARRANTY

Rheem® will furnish a replacement for any part of this product which fails in normal use and service within the applicable periods stated, in accordance with the terms of the limited warranty.

Conditional Parts (Registration Required) .. Ten (10) Years

For Complete Details of the Limited Warranty, Including Applicable Terms and Conditions, See Your Local Installer or Contact the Manufacturer for a Copy.

# Model Identification



**Coil Code**  
 A = No Coil

Coil Code	Refrigerant Type	Cabinet Width			
		17	21	24	25
D	R-22	RCHJ-24A1GH17	RCHJ-36A1GH21	RCHJ-48A1GH24	
E	R-22				RCHJ-60A1GH24
1	R-410A	RCHL-24A2GH17			
2	R-410A		RCHL-36A1GH21		
4	R-410A			RCHL-48A1GH24	
7	R-410A				RCHL-60A1GH24

[ ] Designates Metric Conversions

**Airflow**  
 Horizontal Multi-Position

**Control**  
 N = No Circuit Protection (Single Circuit)  
 S = Circuit Breaker (Single Circuit)

**Electric Heat**  
 00 = No Heat            14 = 14.0 kW  
 06 = 4.9 kW            18 = 17.5 kW  
 07 = 7.0 kW            21 = 21.0 kW  
 11 = 10.0 kW

**Voltage**  
 A = 115V-1-60  
 J = 208/240V-1-60

Available Models (Without Coil)
RBHP-17J11SHA
RBHP-21J14SHA
RBHP-24J18SHA
RBHP-25J21SHA

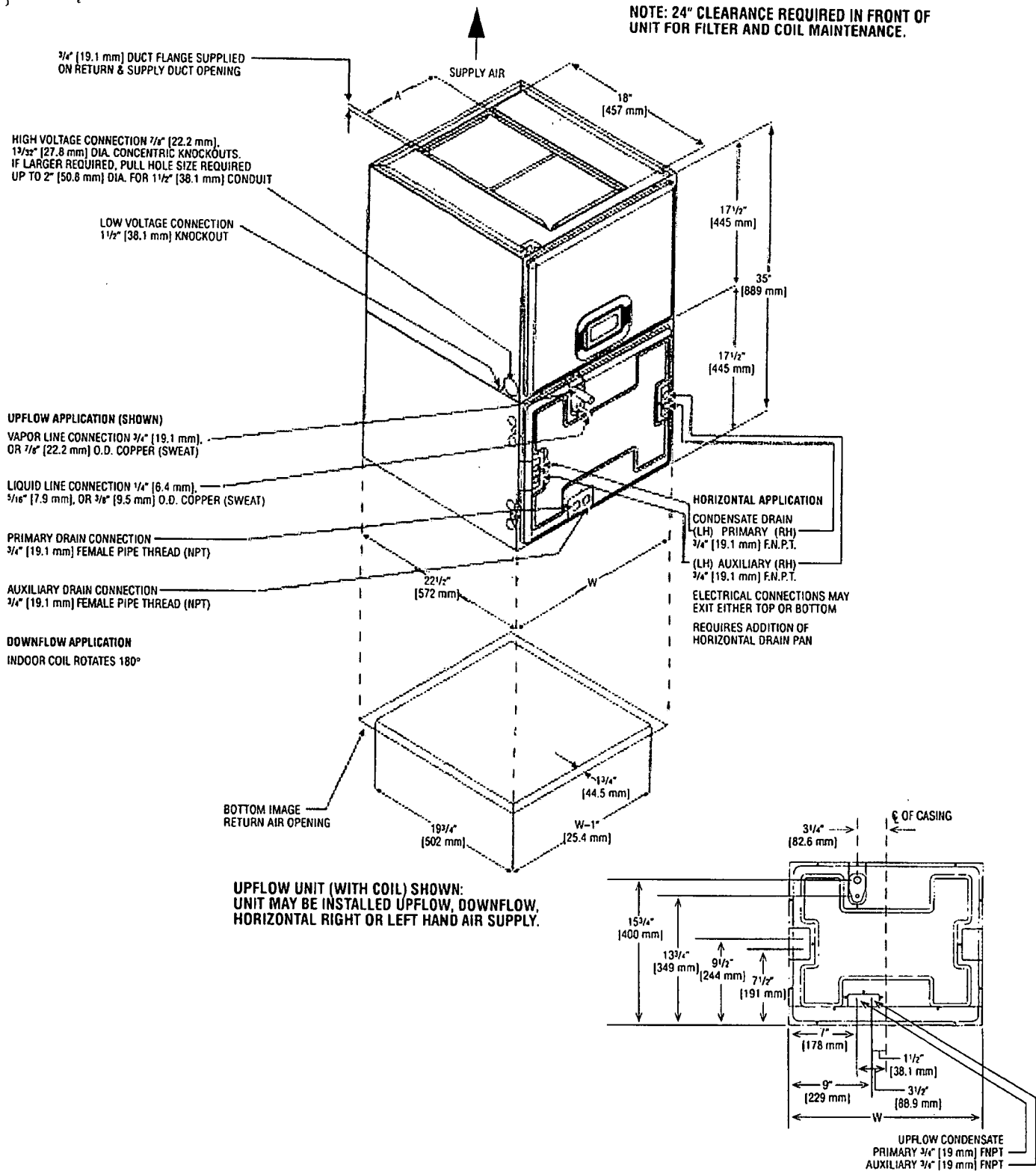
Available Models featuring R-22 Refrigerant
RBHP-17A00NHD
RBHP-17J06SHD
RBHP-17J07SHD
RBHP-17J11SHD
RBHP-21A00NHD
RBHP-21J06SHD
RBHP-21J07SHD
RBHP-21J11SHD
RBHP-21J14SHD
RBHP-24A00NHD
RBHP-24J06SHD
RBHP-24J07SHD
RBHP-24J11SHD
RBHP-24J14SHD
RBHP-24J18SHD
RBHP-25A00NHE
RBHP-25J11SHE
RBHP-25J14SHE
RBHP-25J18SHE
RBHP-25J21SHE

Available Models featuring R-410A Refrigerant
RBHP-17A00NH1
RBHP-17J06SH1
RBHP-17J07SH1
RBHP-17J11SH1
RBHP-21A00NH2
RBHP-21J06SH2
RBHP-21J07SH2
RBHP-21J11SH2
RBHP-21J14SH2
RBHP-24A00NH4
RBHP-24J06SH4
RBHP-24J07SH4
RBHP-24J11SH4
RBHP-24J14SH4
RBHP-24J18SH4
RBHP-25A00NH7
RBHP-25J11SH7
RBHP-25J14SH7
RBHP-25J18SH7
RBHP-25J21SH7



# Unit Dimensions

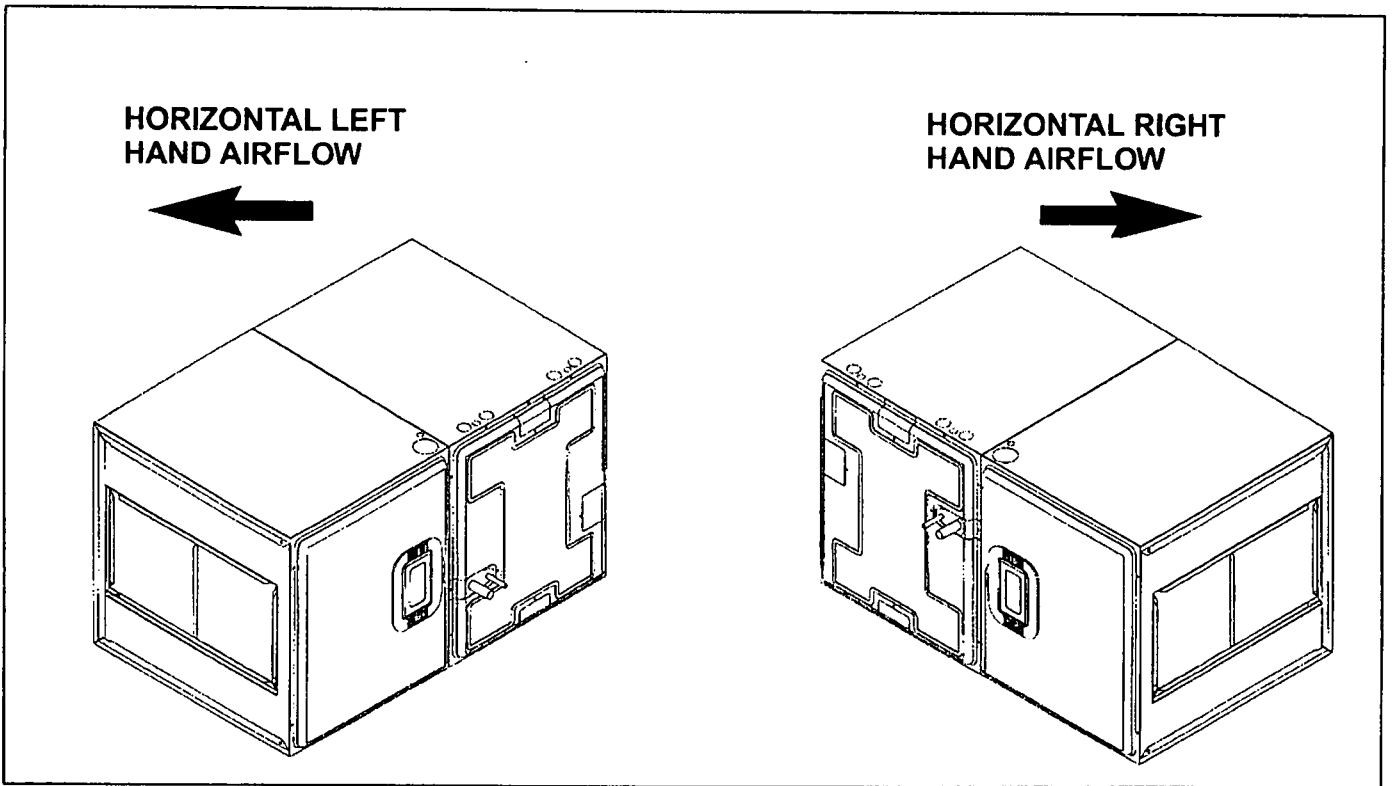
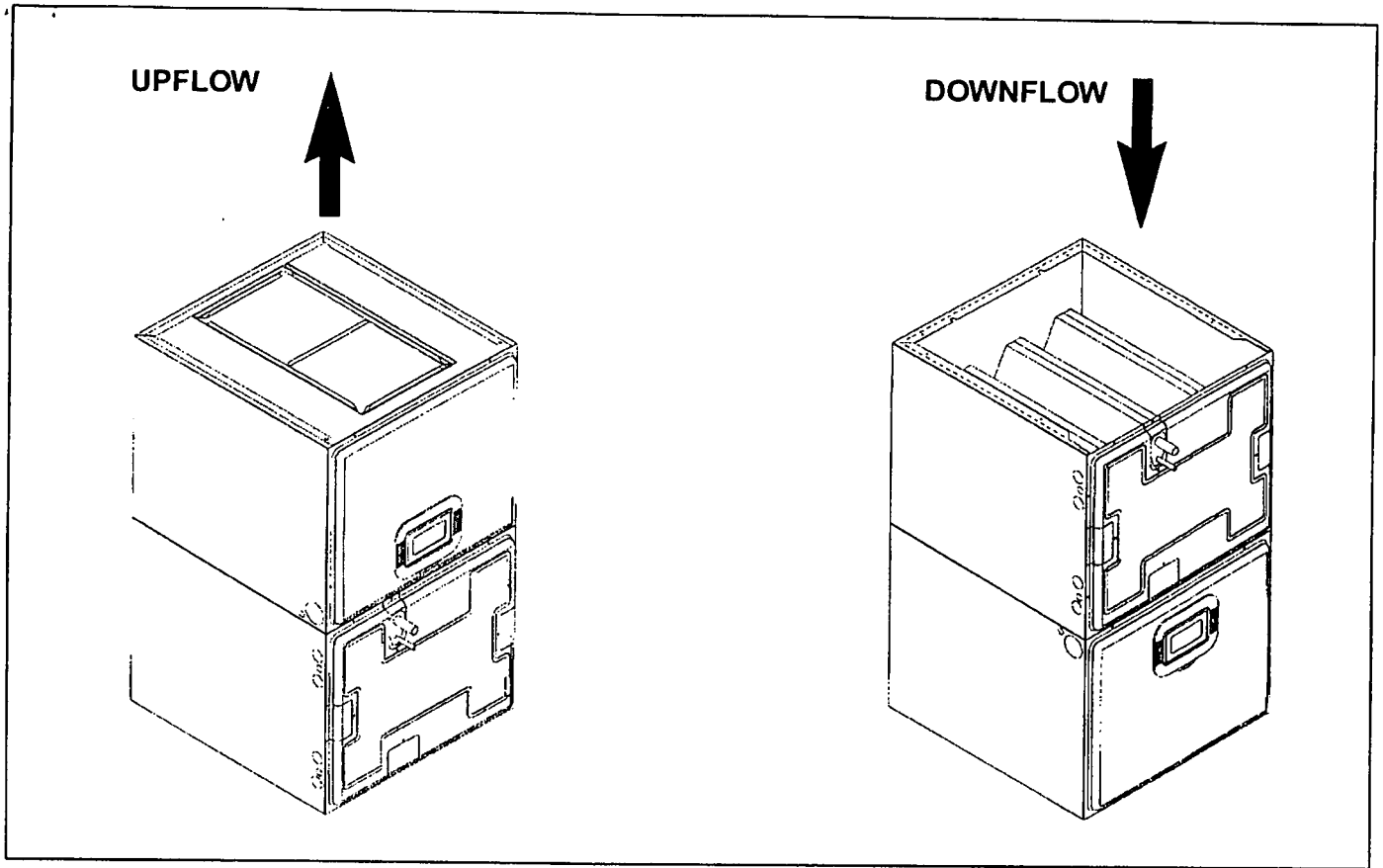
**NOTE: 24" CLEARANCE REQUIRED IN FRONT OF UNIT FOR FILTER AND COIL MAINTENANCE.**



## Unit Dimensions & Weights

Model Number Cabinet Size	Unit Width "W" In. [mm]	Supply Duct "A" In. [mm]	Unit Weight/Shipping Weight (Lbs.) [kg]	
			Unit With Coil (Max. kW)	Unit Without Coil (Max. kW)
17	17 1/2 [445]	79/16 [192]	92/99 [42/45]	66/75 [30/31]
21	21 [533]	97/16 [240]	109/117 [49/53]	79/87 [36/39]
24	24 1/2 [622]	113/4 [298]	125/134 [57/61]	88/97 [40/44]
25	24 1/2 [622]	113/4 [298]	125/134 [57/61]	88/97 [40/44]

# Airflow Directions



**NOTE:** Coil and blower section are always in a draw through configuration.

## Airflow Performance

Airflow performance data is based on cooling performance with a coil and filter in place. Select performance table for appropriate unit size, voltage and number of electric heaters to be used. Make sure external static applied to unit allows operation within the minimum and maximum limits shown in table below for both cooling and electric heat operation. For optimum blower performance, operate the unit in the .2" to .5" in. W.C.

external static range. In general, the indoor motor speed tap should be as shown in table for the appropriate cooling capacity shown. Always check to make sure proper motor speed tap is connected as units are shipped from the factory connected for high speed operation (Speed Tap 5).

## Airflow Operating Limits

Model Cabinet Size	17		21		24		25	
Cooling BTUH Cooling Tons Nominal	18,000 1.5	24,000 2	30,000 2.5	36,000 3	42,000 3.5	48,000 4	60,000 5	60,000 5
Heat Pump or Air Conditioning Maximum Heat/Cool CFM [L/s] (37.5 CFM [18 L/s]/1,000 BTUH) (450 CFM [212 L/s]/Ton Nominal)	675 [319]	900 [425]	1125 [531]	1350 [637]	1575 [743]	1800 [850]	2025 [956]	2250 [1062]
Heat Pump or Air Conditioning Nominal Heat/Cool CFM [L/s] (33.3 CFM [16 L/s]/1,000 BTUH) (400 CFM [189 L/s]/Ton Nominal)	600 [283]	800 [378]	1000 [472]	1200 [566]	1400 [661]	1600 [755]	1800 [850]	2000 [944]
Heat Pump or Air Conditioning Minimum Heat/Cool CFM [L/s] (30.0 CFM [14 L/s]/1,255 BTUH) (360 CFM [170 L/s]/Ton Nominal)	540 [255]	720 [330]	900 [425]	1080 [510]	1260 [595]	1440 [680]	1620 [765]	1800 [850]
Maximum KW Electric Heating & Minimum Electric Heat CFM [L/s]	11 560 [264]	11 560 [264]	14 900 [425]	14 900 [425]	18 1220 [576]	18 1220 [576]	21 1460 [689]	21 1460 [689]
Maximum Electric Heat Rise °F [°C]	85 [29]	85 [29]	70 [21]	70 [21]	65 [18]	65 [18]	65 [18]	65 [18]

NOTE: See Airflow Performance Data for Recommended Blower Motor Speed.

[ ] Designates Metric Conversions

# Airflow Performance Data

Model Cabinet Size	Tonnage	Electric Heaters	Blower Motor		CFM [L/s] (Watts)/External Static Pressure—Inches W.C. [kPa] with filter and Indoor Coil									
			Nominal Speed Tap	Volts	.10 [.02]	.20 [.05]	.30 [.07]	.40 [.10]	.50 [.12]	.60 [.15]	.70 [.17]	.80 [.20]	.90 [.23]	1.0 [.25]
-17	1.5 Ton Air Flow	none	2	208/240	659 [311] (74)	625 [294] (80)	581 [274] (84)	539 [254] (88)	—	—	—	—	—	—
		none	3	208/240	790 [372] (98)	759 [358] (105)	722 [340] (113)	687 [324] (119)	650 [306] (126)	615 [290] (131)	573 [270] (139)	552 [260] (145)	507 [239] (150)	460 [217] (155)
		3 (max.)	2	208/240	649 [306] (79)	615 [290] (84)	571 [269] (88)	529 [249] (92)	—	—	—	—	—	—
		3 (max.)	3	208/240	773 [365] (110)	736 [347] (113)	699 [330] (118)	677 [320] (126)	640 [302] (132)	605 [286] (141)	563 [266] (146)	542 [256] (154)	497 [235] (157)	450 [212] (162)
		none	2	115	651 [307] (76)	627 [295] (82)	583 [275] (86)	541 [255] (90)	—	—	—	—	—	—
		none	3	115	776 [366] (105)	743 [351] (109)	724 [342] (118)	687 [324] (122)	658 [311] (131)	617 [291] (136)	595 [281] (144)	555 [262] (148)	517 [244] (152)	460 [217] (162)
	2.0 Ton Air Flow	none	4	208/240	844 [398] (141)	819 [386] (146)	799 [377] (155)	764 [360] (160)	—	—	—	—	—	—
		none	5	208/240	958 [452] (162)	934 [440] (172)	914 [431] (176)	888 [419] (186)	855 [403] (189)	816 [380] (210)	785 [370] (204)	760 [358] (214)	708 [334] (223)	672 [317] (226)
		3 (max.)	4	208/240	834 [393] (146)	809 [831] (150)	789 [372] (159)	754 [355] (164)	—	—	—	—	—	—
		3 (max.)	5	208/240	946 [446] (179)	922 [435] (189)	902 [426] (193)	876 [413] (203)	843 [398] (206)	804 [380] (216)	773 [365] (221)	748 [353] (231)	696 [328] (240)	660 [311] (243)
		none	4	115	846 [399] (143)	821 [387] (148)	801 [378] (157)	766 [361] (162)	—	—	—	—	—	—
		none	5	115	964 [455] (167)	945 [446] (178)	914 [431] (181)	888 [419] (191)	861 [406] (196)	821 [387] (205)	787 [372] (210)	761 [359] (218)	726 [342] (220)	690 [326] (230)
-21	2.5 Ton Air Flow	none	2	208/240	1068 [504] (138)	1041 [491] (147)	1001 [472] (153)	972 [458] (161)	—	—	—	—	—	
		none	3	208/240	1187 [560] (180)	1162 [548] (188)	1125 [530] (192)	1099 [518] (200)	1058 [499] (208)	1013 [478] (215)	982 [463] (223)	951 [448] (232)	899 [424] (234)	855 [403] (237)
		4 (max.)	2	208/240	1035 [488] (143)	1007 [475] (152)	966 [455] (158)	936 [441] (169)	—	—	—	—	—	
		4 (max.)	3	208/240	1157 [546] (182)	1132 [534] (192)	1095 [517] (198)	1069 [505] (209)	1028 [485] (218)	983 [464] (228)	952 [449] (239)	921 [435] (250)	869 [410] (255)	825 [389] (262)
		none	2	115	1070 [504] (138)	1043 [492] (147)	1004 [473] (153)	974 [459] (161)	—	—	—	—	—	
		none	3	115	1138 [537] (175)	1113 [525] (186)	1075 [507] (191)	1053 [497] (203)	1004 [474] (210)	957 [451] (216)	932 [440] (226)	901 [425] (231)	855 [404] (242)	800 [378] (252)
	3.0 Ton Air Flow	none	4	208/240	1269 [598] (207)	1236 [583] (219)	1174 [554] (226)	1149 [542] (236)	—	—	—	—	—	
		none	5	208/240	1397 [659] (287)	1377 [649] (307)	1346 [635] (317)	1318 [622] (320)	1291 [609] (322)	1264 [596] (319)	1234 [582] (312)	1190 [561] (326)	1155 [545] (351)	1126 [531] (368)
		4 (max.)	4	208/240	1241 [585] (222)	1208 [570] (234)	1174 [554] (241)	1149 [542] (251)	—	—	—	—	—	
		4 (max.)	5	208/240	1366 [645] (302)	1346 [635] (313)	1315 [621] (323)	1287 [608] (331)	1260 [595] (341)	1233 [582] (346)	1203 [568] (358)	1159 [547] (371)	1124 [530] (381)	1095 [517] (387)
		none	4	115	1269 [598] (207)	1236 [583] (219)	1174 [554] (226)	1149 [542] (236)	—	—	—	—	—	
		none	5	115	1370 [646] (292)	1343 [634] (302)	1309 [618] (309)	1285 [607] (319)	1258 [594] (330)	1221 [576] (336)	1182 [558] (348)	1147 [542] (357)	1117 [527] (366)	1080 [510] (375)

**NOTES:**

X-13 (ECM) NOTES (X-13 (ECM) Motor Speed Changes)

X-13 (ECM) Motors require no voltage change between 208 and 240 volts.

If application exceeds 0.5" of static, adjust the motor speed to the high static speed as described below:

All X-13 (ECM) motors have 5 speed tabs. Speed tab 1 is for continuous fan. Speed 2 (Low Static) and speed tab 3 (High Static) are lower tonnage. Speed tab 4 (Low Static) and Speed tab 5 (High Static) are for higher tonnage.

The lower static speed 2 (lower tonnage) and speed tab 4 (Higher tonnage) are used for external static below 0.5".

For external static exceeding 0.5", move the blue wire from the X-13 (ECM) motor to appropriate high static speed tab 3 (Lower tonnage) or speed tab 5 (Higher tonnage)

[ ] Designates Metric Conversions

## Blower Motor Electrical Data: A Voltage (115V)

Model Size/Elec. Designation	Voltage	Phase	Hertz	HP [W]	RPM	Speeds	Circuit Amps.	Minimum Circuit Ampacity	Maximum Circuit Protector
RBHP-17A00NH*	115	1	60	1/3 [249]	300-1100	5	3.3	5.0	15
RBHP-21A00NH*	115	1	60	1/2 [373]	300-1100	5	5.0	7.0	15
RBHP-24A00NH*	115	1	60	3/4 [559]	300-1100	5	5.8	8.0	15
RBHP-25A00NH*	115	1	60	3/4 [559]	300-1100	5	7.7	10.0	15

## Blower Motor Electrical Data: J Voltage (208/240V)

Model Size/Elec. Designation	Voltage	Phase	Hertz	HP [W]	RPM	Speeds	Circuit Amps.	Minimum Circuit Ampacity	Maximum Circuit Protector
RBHP-17J00NH*	208/240	1	60	1/3 [249]	300-1100	5	2.0	3.0	15
RBHP-21J00NH*	208/240	1	60	1/2 [373]	300-1100	5	3.1	4.0	15
RBHP-24J00NH*	208/240	1	60	3/4 [559]	300-1100	5	4.2	6.0	15
RBHP-25J00NH*	208/240	1	60	3/4 [559]	300-1100	5	5.7	8.0	15

## Electric Heat Electrical Data

Model Elec./KW Designation	Heater KW Volts 208/240	PH/HZ	Heater No./KW & 240V	Type Supply Circuit Single Circuit Multiple Circuit	Circuit Amps.	Minimum Circuit Ampacity	Maximum Circuit Protector
RBHP-17J06SH*	3.7/4.9	1/60	2/2.5	Single Circuit	19.8/22.4	25/29	25/30
RBHP-17J07SH*	5.3/7.0	1/60	2/3.5	Single Circuit	27.5/31.2	35/39	40/40
RBHP-17J11SH*	7.5/10.0	1/60	3/3.3	Single Circuit	38.1/43.7	48/55	50/60
RBHP-21J06SH*	3.7/4.9	1/60	2/2.5	Single Circuit	20.9/23.5	27/30	30/30
RBHP-21J07SH*	5.3/7.0	1/60	2/3.5	Single Circuit	28.6/32.3	36/41	40/45
RBHP-21J11SH*	7.5/10.0	1/60	3/3.3	Single Circuit	39.2/44.8	49/56	50/60
RBHP-21J14SH*	10.5/14.0	1/60	4/3.5	Single Circuit	54.1/61.4	68/77	70/80
	5.3/7.0		2/3.5	Multiple Ckt. 1	28.6/32.3	36/41	40/45
	5.3/7.0		2/3.5	Multiple Ckt. 2	25.5/29.2	32/37	35/40
RBHP-24J06SH*	3.7/4.9	1/60	2/2.5	Single Circuit	22.0/24.6	28/31	30/35
RBHP-24J07SH*	5.3/7.0	1/60	2/3.5	Single Circuit	29.7/33.4	38/42	40/45
RBHP-24J11SH*	7.5/10.0	1/60	3/3.3	Single Circuit	40.3/45.9	51/58	60/60
RBHP-21J14SH*	10.5/14.0	1/60	4/3.5	Single Circuit	55.2/62.5	69/79	70/90
	5.3/7.0		2/3.5	Multiple Ckt. 1	29.7/33.4	38/42	40/45
	5.3/7.0		2/3.5	Multiple Ckt. 2	25.5/29.2	32/37	35/40
RBHP-21J18SH*	13.2/17.5	1/60	5/3.5	Single Circuit	67.7/77.1	85/97	90/100
	5.3/7.0		2/3.5	Multiple Ckt. 1	29.7/33.4	38/42	40/45
	7.9/10.5		3/3.5	Multiple Ckt. 2	38.0/43.8	48/55	50/60
RBHP-25J11SH*	7.5/10.0	1/60	3/3.3	Single Circuit	41.8/47.4	53/60	60/60
RBHP-25J14SH*	10.5/14.0	1/60	4/3.5	Single Circuit	56.7/64.0	71/81	80/90
	5.3/7.0		2/3.5	Multiple Ckt. 1	31.2/34.9	39/44	40/50
	5.3/7.0		2/3.5	Multiple Ckt. 2	25.5/29.2	32/37	35/40
RBHP-25J18SH*	13.2/17.5	1/60	5/3.5	Single Circuit	69.2/78.6	87/99	90/100
	5.3/7.0		2/3.5	Multiple Ckt. 1	31.2/34.9	39/44	40/45
	7.9/10.5		3/3.5	Multiple Ckt. 2	38.0/43.8	48/55	50/60
RBHP-25J21SH*	15.0/20.0	1/60	6/3.3	Single Circuit	77.8/89.0	98/112	100/125
	7.5/10.0		3/3.3	Multiple Ckt. 1	41.8/47.4	53/60	60/70
	7.5/10.0		3/3.3	Multiple Ckt. 2	36.1/41.7	46/53	50/60

Supply circuit protective devices may be fuses or "HACR" type circuit breakers. Largest motor load is included in single circuit and circuit 1 multiple circuit. If non-standard fuse size is specified, use next size larger standard fuse size.

[ ] Designates Metric Conversions

## Electrical Wiring

### Power Wiring

- Field wiring must comply with the National Electrical Code (C.E.C. in Canada) and any applicable local ordinance.
- Supply wiring must be 75°C minimum copper conductors only.
- See electrical data for product Ampacity rating and Circuit Protector requirement.

### Grounding

- This product must be sufficiently grounded in accordance with National Electrical Code (C.E.C. in Canada) and any applicable local ordinance.
- A grounding lug is provided.

## Combustible Floor Base for Downflow Installations

Model Cabinet Size	Combustible Floor Base Model Number	Opening Front of Unit "W" Width-Inches (mm)	Opening Side of Unit "D" Depth-Inches (mm)
All Models	RXBB-AA	14 <sup>3</sup> / <sub>8</sub> " [365]	20 <sup>5</sup> / <sub>8</sub> " [524]

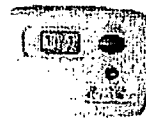
### ACCESSORIES—KITS—PARTS

- **Combustible Floor Base RXBB-AA** for downflow applications.
  - **Jumper Bar Kit 3 Ckt. to 1 Ckt. RXBJ-A31** is used to convert single phase multiple three circuit units to a single supply circuit. Kit includes cover and screw for line side terminals.
  - **Jumper Bar Kit 2 Ckt. to 1 Ckt. RXBJ-A21** is used to convert single phase multiple two circuit units to a single supply circuit. Kit includes cover and screw for line side terminals.
- Note:** No jumper bar kit is available to convert three phase multiple two circuit units to a single supply circuit.
- **Finger Safe Circuit Breaker Cover**—Part Number 45-23203-01. One is required for each circuit breaker pole, if jumper bar is removed to provide multiple supply circuits.
  - **Evaporator Horizontal Drain Pan Model RXBD-CB:** all unit sizes.
  - **External Auxiliary Horizontal Drain Pan. RXBM-AA06**—Fits all models.
  - **Replacement Filters**

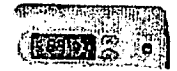
Model Cabinet Size	Filter Size In. [mm]	Part Number
17	16.25 x 21 [413 x 533]	54-23217-02
21	19.75 x 21 [502 x 533]	54-23217-03
24	23.25 x 21 [591 x 533]	54-23217-04
25	23.25 x 21 [591 x 533]	54-23217-04

[ ] Designates Metric Conversions

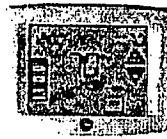
### Thermostats



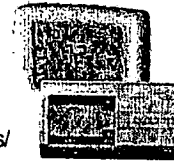
100-Series \*  
Non-Programmable



200-Series \*  
Programmable



300-Series \*  
Deluxe  
Programmable



500-Series \*  
Communicating/  
Programmable

400-Series \*  
Special Applications/  
Programmable

Brand	Unique Model Number Prefix	Descriptor (3 Characters)	Series (3 Characters)	System (2 Characters)	Type (2 Characters)
RHC	-	TST	101	GE	MS
RHC=Rheem		TST=Thermostat	100=Non-Programmable 200=Programmable 300=Deluxe Programmable 400=Special Applications/ Programmable 500=Communicating/ Programmable	GE=Gas/Oil/Electric HP=Heat Pump MD=Modulating Furnace DF=Dual Fuel UN=Universal A/C/N/P/G/E CM=Communicating	SS=Single-Stage MS=Multi-Stage

\* Photos are representative. Actual models may vary.

For detailed thermostat match-up information, see specification sheet form number T11-001.

# THE METAL SHOP

Custom Metal Manufacturer

Consulting Engineer

## ANCHOR CLIPS Installer's Guide

Douglas W. Lowe, P.E.  
FLAS 13355  
1206 Millennium Parkway  
Brandon, FL 33511

~~WARNING: HAZARDOUS VOLTAGE - DISCONNECT POWER BEFORE SERVICING~~

### PART NUMBER

- #770 (4 pk)
- #771 (100 box)
- #772 (4 pk including hardware)

### CONSTRUCTION

16 gauge galvanized steel, 0-90 rated for corrosion coastal applications.

### PACKAGING DETAILS

All anchor clips are supplied as per package quantities described above.

### INSTALLATION

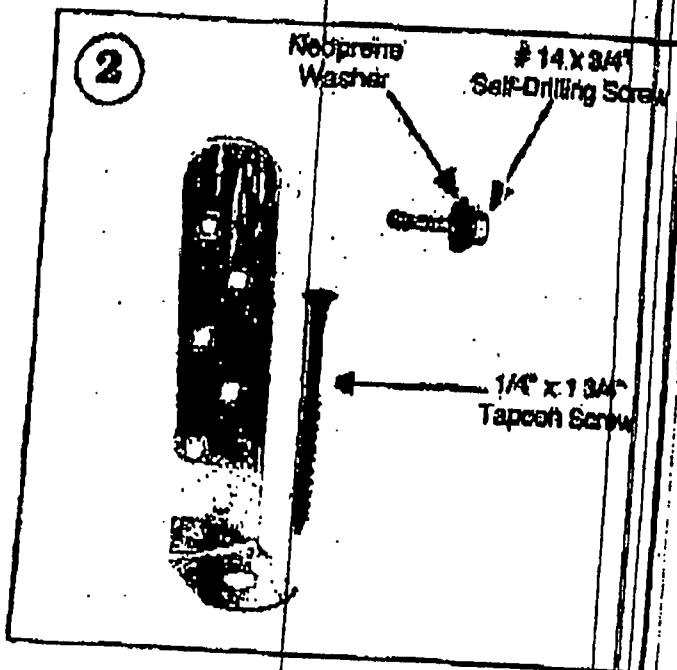
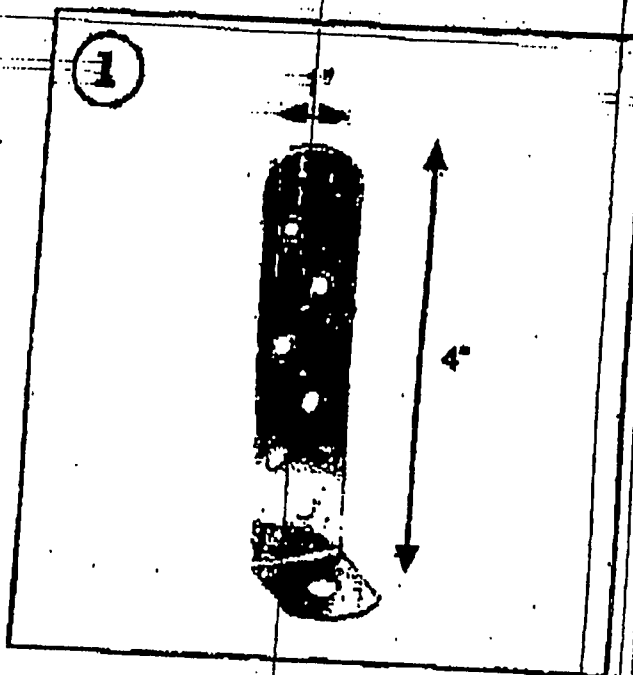
Minimum of 4 clips required per condenser unit.  
 Minimum of 2 #14 x 3/4" screws with neoprene washer required to fasten clip to condenser unit.  
 1/4" x 1 3/4" Tapcon screw required to fasten clip to condenser pad.  
 Locate the anchor clips to fit comfortably between condenser unit and pad.  
 Adjust clip accordingly to fit on condenser unit and screw together, at the same time ensuring that the base of the clip is still in contact with the pad.  
 All hardware must be fastened prior to connecting refrigerant lines and electrical power to the unit.  
 Suitable for ground mounted units.  
 Anchor clip design meets requirements of The Florida Building Code 2007 (Building) Chapter 901.12 for wind resistance up to 140 MPH.

### FEATURES

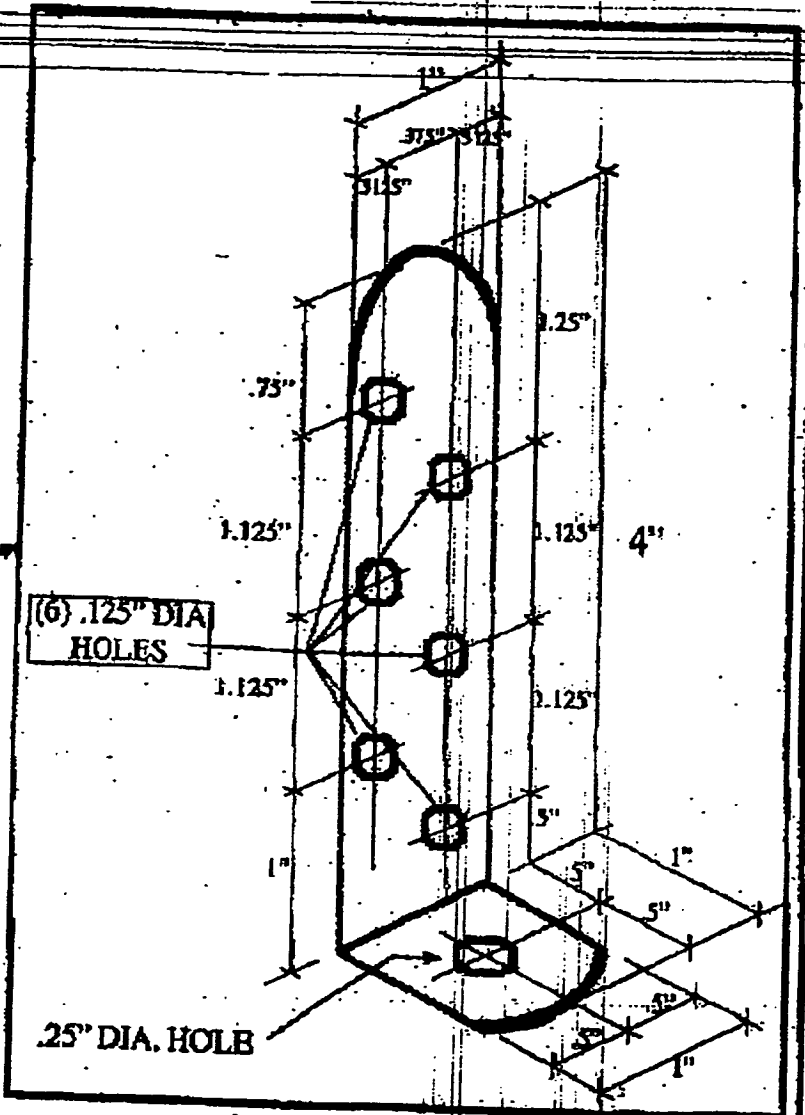
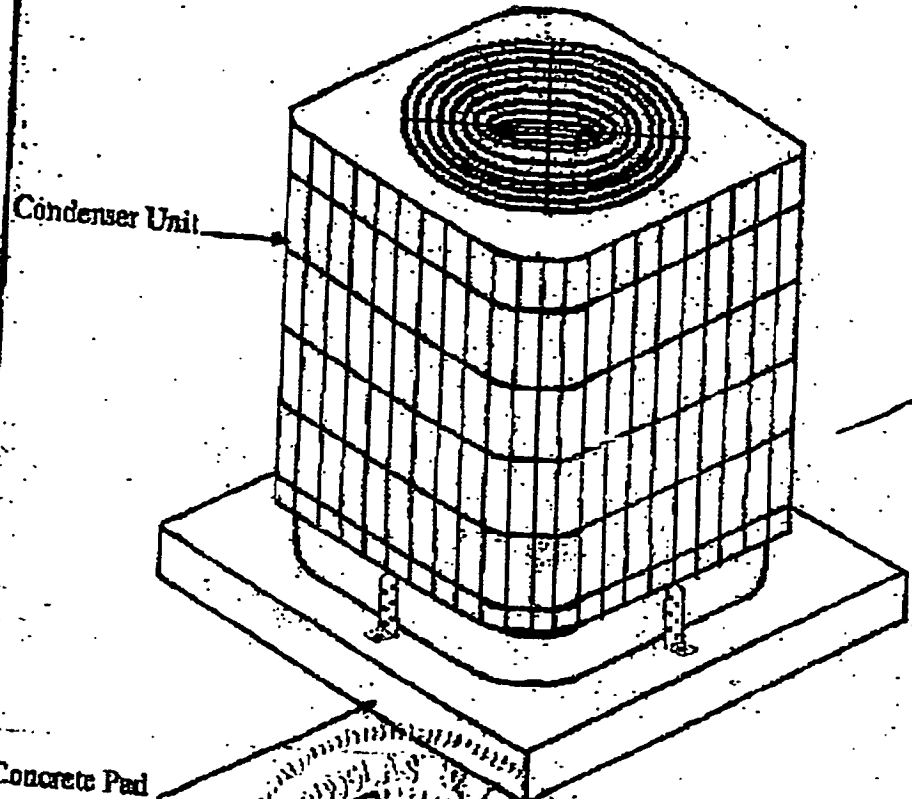
The use of "stepped" fit screw holes compared to slots means that security is never compromised. A tight, secure fit between pad and condenser ensures security for the condenser and offers great assurance during extreme weather conditions.

### NOTE

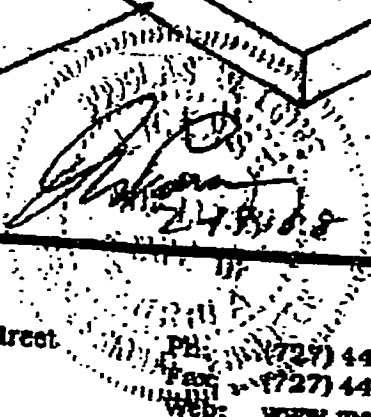
Above installation instruction suitable for up to 5 ton units.



**8771 1/4" x 1/8" 1/8" Anchor Clip**



Metal thickness = 16 gauge



The Metal Shop  
1139 Eldridge Street  
Clearwater  
FL 33755

PH: (727) 441-2492  
Fax: (727) 442-8493  
Web: www.metalsshop.org

Consulting Engineer:  
Douglas W. Lowe, P.E.  
FLA # 13355  
1208 Millennium Parkway  
Brandon, FL 33511

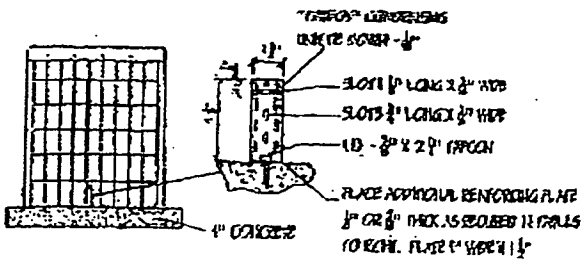
Revision Date:  
2/14/08

Drawn by:  
K.P.R.

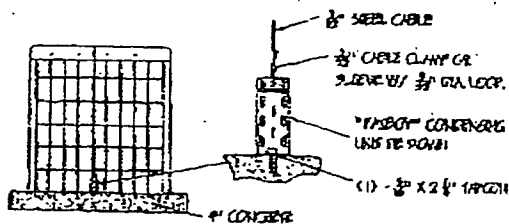
Page:  
1 of 1

Scale - Not to scale

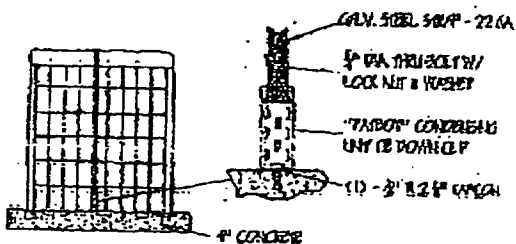




"FATBOY" INSTALLATION GUIDE



"FATBOY" CABLE INSTALLATION GUIDE



"FATBOY" STRAP INSTALLATION GUIDE

NOTE: SEE TABLES FOR RISE/VELOCITY AND HEIGHT OF INSTALLATION FROM GROUND. ALSO SEE TABLES FOR CORRECT PIPE WHEN ATTACHING TO ALUMINUM OR STEEL.

PIPE DIAMETER INCH	AS RISE WITH VERTICAL EXCEPT STRAP OR CABLE MUST BE USED TO ATTACH TO CONCRETE OR STEEL		
	CONCRETE TO CONCRETE	ALUMINUM TO ALUMINUM	CONCRETE TO STEEL
0-15'	2	3	3
15'	2	3	3
20'	1	3	3
30'	2	3	3
40'	2	2	3
50'	2	2	3
60'	2	2	1
PARALLEL PIPE			
0-15'	2	1	2
15'	1	2	1
20'	2	1	2
30'	2	2	2
40'	2	2	2
50'	2	2	2
60'	2	2	2

PARALLEL PIPE	AS RISE WITH VERTICAL EXCEPT STRAP OR CABLE MUST BE USED TO ATTACH TO CONCRETE OR STEEL		
	CONCRETE TO CONCRETE	ALUMINUM TO ALUMINUM	CONCRETE TO STEEL
0-15'	2	3	3
15'	2	3	3
20'	1	3	3
30'	2	3	3
40'	2	2	3
50'	2	2	3
60'	2	2	2
PARALLEL PIPE			
0-15'	2	2	2
15'	2	2	2
20'	2	2	2
30'	2	2	2
40'	2	2	2
50'	2	2	2
60'	1	2	2

**GENERAL NOTES:**

- ATTACHMENT TO CONCRETE SHALL BE BY MEANS OF (1) 1/2" DIAMETER FATBOY AS MANUFACTURED BY THE COMPANY IN FLA. PART #111 REVISED JANUARY 4, 1971. MINIMUM EDGE OF CONCRETE IS 3" OVER 1/2" LITHO.
- CONCRETE TO WHICH ATTACHMENT OF CLIP SHALL HAVE A COMPRESSIVE STRENGTH OF 4000 PSI.
- STEEL STRAP OVER ANCHORS SHALL BE 3 GA. GALV. VULNERATED STEEL STRIP PERMITS TO HAVE A 60° STAKE AND WITH GALVANIZED IN CONTACT WITH CONCRETE AND HAVE A YIELD STRENGTH OF 33 KSI.
- THE STEEL STRAP SHALL BE 1/2" WIDE AND BE CONNECTED WITH A 1/2" DIA. STEEL BOLT WITH WASHER AND NUT MINIMUM.
- ANGLE CLIP USED IN ATTACHING THE STRAP TO THE STRUCTURE SHALL BE AS MANUFACTURED BY THE ORIGINAL LCO COMPANY, 1324 N.W. 11<sup>TH</sup> FLD., MIAMI, FLORIDA. INSTEAD AS DETAIL IN THIS DRAWING.
- ATTACHMENT OF CLIP TO ALUMINUM SHALL BE BY MEANS A BOLTING NUT AS SEPARATOR BETWEEN CLIP AND STRUCTURE ALUMINUM STRUCTURE AND USE OF A 1/2" DIAMETER SELF TAPPING OR DRILLED SELF TAPPING WELDER AND NUT. REINFORCED STRUCTURE SHALL BE AT LEAST 1/2" THICK ALUMINUM STRUCTURE SHALL BE MIN. 6061 T6 ALLOY.
- ATTACHMENT OF CLIP TO SUPPORTING STEEL STRUCTURE SHALL BE BY A 1/2" SELF TAPPING SCREW AND INTO MATERIAL AT LEAST 1/2" THICK. SCREW MAY BE 1/2" TALL OUT FROM.
- ADDITIONAL PLATE USED AS BRACING OR E.C.L. BE EQUAL TO 1/2" DIA. FOR CONNECTIONS AND BE 1/2" THICK WITH 1/2" DIA. STRAP WITH REQUIREMENTS OF MIN. 4" DIA. AS SHOWN IN PLATE, SALES DOC. WITH A BREAKING STRENGTH OF 20 TONS AND HAVE A VOLUME RESISTANCE OF 1/2" X 1/2" STRAP.
- ATTACHMENT CLIP SHALL BE 1/2" DIA. WITH STEEL CONSTRUCTION TO 1/2" DIA. ALL STANDARDS FOR YIELD OF 33 KSI WITH CLIP DETAIL FOR ATTACHMENT LOCATIONS.
- ANCHOR TIE T CONFORM TO THE IF DESIGN AT ELEMENT SHALL BE NO LARGER THAN 3/4" DIA. X 1/2" DIA. BOLT AND BE NO LESS THAN 360 KSI. AS SHOWN IN THIS DRAWING.

REVISED	BY



A/C UNIT ANCHORING DETAILS  
 FATBOY CLIPS AS  
 MANUFACTURED BY: THE  
 ORIGINAL PAN CO. FOR USE  
 UNDER FLORIDA BUILDING CODE

OWNER	AAA
DESIGNER	AA
DATE	0-10-77
SCALE	AS NOTED
NO. OF	
DRAWING	S-1
	3 OF 3

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 9-17 2010 Page 1 of    

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>9540</del>	<del>O'Brien 36 E High Pt AmB Garage</del>	<del>Final Garage</del>	<del>See 9/15</del>	<del>INSPECTOR</del>
<del>9552</del>	<del>3300 Vista Dr</del>	<del>Final AC</del>	<del>Pass</del>	<del>Close</del>
<del>2PM</del>	<del>Adams AC</del>			<del>INSPECTOR</del>
9570	Botwinick 27 Emarita Cardinal Roofing	Final roof	Pass	Close INSPECTOR
9539	Plantation HOA Lofting way	Final ELEC lights	Pass	Close INSPECTOR
9489	Hinners 8 Riverview Freedom Homes	insulation FRAMING & TRADES RE INSPECT	Pass	INSPECTOR
9567	Mulcahy 138 S. SPTRD Lender Marine	FINAL SEAWALL	Pass	Close INSPECTOR
				INSPECTOR

**9545**  
**RE-ROOF**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK. A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS.**

PERMIT NUMBER:	9545	DATE ISSUED:	AUGUST 26, 2010
SCOPE OF WORK:	REROOF		
CONDITIONS:			
CONTRACTOR:	HEATON ROOFING		
PARCEL CONTROL NUMBER:	123841-002-000-010005	SUBDIVISION	RIO VISTA - LOT 100
CONSTRUCTION ADDRESS:	33 RIO VISTA DR		
OWNER NAME:	GILL		
QUALIFIER:	DANIEL HEATON	CONTACT PHONE NUMBER:	287-0116

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE CALL 287-2455 - 8:00AM TO 4:00PM**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number:

9545

Date: 8/16/10

OWNER/TITLEHOLDER NAME: GEORGE GILL

Phone (Day) 305-588-2385 (Fax) N/A

Job Site Address: 33 RIO VISTA DR

City SEWALL'S POINT State: FL Zip: 34996

Legal Description RIO VISTA S/D LOT 100

Parcel Control Number: 12-38-41-002-000-01000-5

Owner Address (if different): 12385 KEYSTONE ISLAND DR

City: N. MIAMI State: FL Zip: 33181

Scope of work (please be specific): TEAROFF AND ASPHALT SHINGLE REROOF

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application) YES NO X

Has a Zoning Variance ever been granted on this property?

YES (YEAR) NO X (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 20,900.00

(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10 AE9 AE8 X

FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY: Estimated Fair Market Value prior to improvement: \$ 376,850.00

(Fair Market Value of the Primary Structure only, Minus the land value)

PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: HEATON ROOFING, INC

Phone: (772) 287-0116 Fax: (772) 221-2299

Street: P.O. BOX 1143

City: PALM CITY State: FL Zip: 34991

State License Number: CCC036970

OR: Municipality: N/A License Number: N/A

LOCAL CONTACT: DAN HEATON

Phone Number: (772) 260-4418

DESIGN PROFESSIONAL: N/A

Lic# Phone Number:

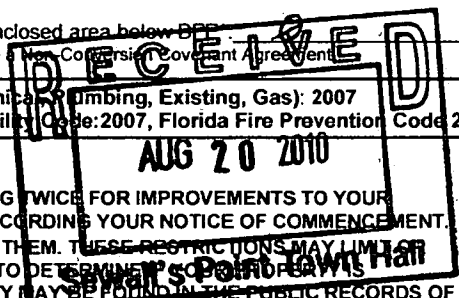
Street: City: State: Zip:

AREAS SQUARE FOOTAGE: Living: 4661 Garage: 816 Covered Patios/ Porches: 0 Enclosed Storage: 0

Carport: 0 Total under Roof 5477 Elevated Deck: 0 Enclosed area below BFE

\* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Construction Covenant Agreement

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007 National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code: 2007



NOTICES TO OWNERS AND CONTRACTORS:

- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. 2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCOMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES. 3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95. 4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)

OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

Signature of George H. Gill

State of Florida, County of: MARTIN

This the 18th day of August, 2010

by George H. Gill who is personally

known to me or produced

CONTRACTOR SIGNATURE: (required)

Signature of Daniel L. Heaton

On State of Florida, County of: MARTIN

This the 19th day of August, 2010

by Daniel L. Heaton who is personally

known to me or produced

Notary Public CORINA L. MELDAU MY COMMISSION # DD 952450 EXPIRES February 13, 2014 Bonded Thru Notary Public Underwriters

Notary Public CORINA L. MELDAU MY COMMISSION # DD 952450 EXPIRES February 13, 2014 Bonded Thru Notary Public Underwriters

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 60 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



Martin County, Florida  
Laurel Kelly, C.F.A

Site Provided by...  
governmentmax.com T1.13

Summary

print Owner 2 of 3

Tabs

Summary

- Print View
- Land
- Improvements
- Assessments & Exemptions
- Sales
- Taxes =>
- Parcel Map =>
- Full Legal =>

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
12-38-41-002-000-01000-5	27611	33 RIO VISTA DR, SEWALL'S POINT	\$541,950	08/07/2010

Owner Information

<b>Owner(Current)</b>	GILL GEORGE H & VIVIAN C
<b>Owner/Mail Address</b>	12385 KEYSTONE ISLAND DR NORTH MIAMI FL 33181
<b>Transfer Date</b>	12/01/2004
<b>Document Number</b>	1795615
<b>Document Reference No.</b>	1959 1308

Searches

- Parcel ID
- Owner
- Address
- Account #
- Land Use
- Legal Description
- Neighborhood
- Sales
- Maps =>

Account #		Location/Description	
Account #	27611	Map Page No.	SP-05
Tax District	2200	Legal Description	RIO VISTA S/D LOT 100
Parcel Address	33 RIO VISTA DR, SEWALL'S POINT		
Acres	.4100		

Functions

- Property Search
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Parcel Type	
Land Use	0100 Single Family
Neighborhood	120250 RIO VISTA DRY

Assessment Information

Market Land Value	\$165,100
Market Improvement Value	\$376,850
Market Total Value	\$541,950



Print Back to List First Previous Next Last

Legal Disclaimer / Privacy Statement

INSTR # 2227971 OR BK 02471 PG 0666 RECD 08/19/2010 10:08:05 AM Pg 0666 (1P9) MARSHA EWING MARTIN COUNTY DEPUTY CLERK C Hunter

NOTICE OF COMMENCEMENT  
TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: \_\_\_\_\_ TAX FOLIO #: 12-38-41-062 - 000 - 01000 - 5

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):  
RIO VISTA S/D LOT 100 33 RIO VISTA DR SEWALL'S POINT, FL

GENERAL DESCRIPTION OF IMPROVEMENT: ASPHALT SHINGLE REROOF

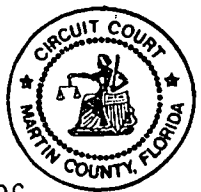
OWNER NAME: GEORGE H GILL  
ADDRESS: 12385 KEYSTONE ISLAND DR N MIAMI, FL 33181  
PHONE NUMBER: (772) 463-0696 FAX NUMBER: N/A

INTEREST IN PROPERTY: OWNER  
NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):  
N/A

CONTRACTOR: HEATON ROOFING, INC  
ADDRESS: P.O. Box 1143 PALM CITY, FL 34991  
PHONE NUMBER: (772) 287-0116 FAX NUMBER: (772) 287-2299

SURETY COMPANY (IF ANY): \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
PHONE NUMBER: N/A FAX NUMBER: \_\_\_\_\_  
BOND AMOUNT: \_\_\_\_\_

LENDER/MORTGAGE COMPANY: \_\_\_\_\_  
ADDRESS: N/A  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_  
BY: [Signature] DATE: 8.19.10 D.C.



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME: N/A  
ADDRESS: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES N/A OF \_\_\_\_\_  
TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B),  
FLORIDA STATUTES:  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: 8/18/2010  
( EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

**WARNING TO OWNER:** ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

[Signature]  
SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER  
SIGNATORY'S TITLE/OFFICE owner

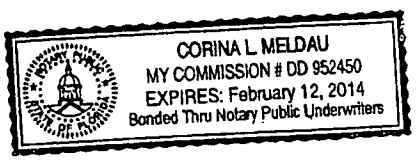
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 18<sup>th</sup> DAY OF August, 2010  
BY: George H. Gill AS Owner FOR Heaton Roofing, Inc.  
NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN  OR PRODUCED IDENTIFICATION \_\_\_\_\_  
TYPE OF IDENTIFICATION PRODUCED \_\_\_\_\_

[Signature]  
NOTARY SIGNATURE/ SEAL

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

[Signature]  
(Signature of Natural Person Signing Above)



# HEATON ROOFING, INC.

P.O. Box 1143  
 Palm City, FL 34991  
 (772) 287-0116 Fax (772) 221-2299  
 State Certified CCC036970

# Proposal & Contract

Number: 2218  
 Date: August 09, 2010

**Service To:**

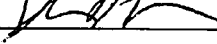

George H Gill  
 33 Rio Vista Dr  
 Stuart, FL 34996

**Bill To:**

George H Gill  
 34 Rio Vista Dr  
 Stuart, FL 34996

We Propose to Furnish All Labor and Materials for the Following:	Amount
SLOPED ROOF TOTAL	18,900.00
FLAT DECKS/CRICKETS:	
Tearoff and removal to landfill of existing roofing.	
Nail off existing sheathing to new building code 10-1-07.	
Dry in one layer ASTM D226 Type II 30 lb felt tin tagged to sheathing.	
Hot mop one layer 75 lb fiberglass base sheet	
Install 16" 16 oz copper valley metal in break area and prime	
Hot mop one layer Tamko Awaplan 170 modified bitumen granular surfaced cap sheet	
FLAT DECK TOTAL	2,000.00
Permit and dump fees included in price.	
Roof warrantied against leaks for 5 years from date of completion	
Rotten wood will be replaced at cost of labor and materials (materials plus \$40 per man hour labor)	
Payment due as follows: \$1,000 deposit at signing of contract; \$3,000 draw at start of job; \$5,000 draw when dry in is completed; \$9,000 draw when shingles are delivered to jobsite; balance due upon completion	
<b>Total</b>	<b>\$20,900.00</b>

1. Heaton Roofing, Inc. Shall not be responsible for damages or delays either before or during said work due to strikes, accidents, transportation difficulties, war, acts of God, fire storm or theft.
2. If the contract price is not paid in full, all warranties shall be null and void.
3. All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to specifications submitted and Florida roofing codes. Any alteration from above specifications involving extra cost will be executed only on written orders and will become an extra charge over and above the estimate.
4. All overdue accounts will be charged 1 1/2% per month plus court costs, attorney fees and collection costs. Please inform us of any exposed ceilings prior to start of work. Proposal may be withdrawn by us if not accepted within 30 days.
5. Our workers are fully covered by Workers' Compensation insurance.

Authorized Signature  Acceptance of Proposal   
 Date 8/16/10 Date \_\_\_\_\_



**HEATON ROOFING, INC.**

P.O. Box 1143  
 Palm City, FL 34991  
 (772) 287-0116 Fax (772) 221-2299  
 State Certified CCC036970

**Proposal & Contract**

Number: 2218  
 Date: August 09, 2010

**Service To:**

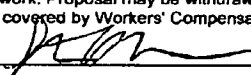

George H Gill  
 33 Rio Vista Dr  
 Stuart, FL 34996

**Bill To:**

George H Gill  
 34 Rio Vista Dr  
 Stuart, FL 34996

We Propose to Furnish All Labor and Materials for the Following:	Amount
<p>SHINGLE REROOF AND FLAT DECKS:</p> <p>SLOPED ROOF:</p> <p>Tearoff and removal to landfill of existing roofing.</p> <p>Nail off existing sheathing to new building code 10-1-07.</p> <p>Dry in one layer ASTM D226 Type II 30 lb felt tin tagged to sheathing.</p> <p>Install 3" X 2" 16 oz copper drip edge</p> <p>Install 16" 16oz copper valley metal</p> <p>Install (2) new Lomanco attic power vents</p> <p>Install (2) new Miami-Dade approved 2' X 2' self flashed skylights</p> <p>Install new lead stack flashings</p> <p>Install GAF-ELK Timberline Prestique 30 year architectural shingles using 6 nails per shingle</p> <p>Hurricane Mitigation Retrofit Rule 9B-3.0475: Remove sheathing at gable ends, hips and roof to wall connections for inspection of strapping and bracing procedures by General Contractor (included in price). Reinstall sheathing after inspection.</p> <p>If additional strapping or bracing is required, this work will be performed at cost of labor and materials</p> <p>Existing copper flashing and reglet counterflashing to remain</p>	

1. Heaton Roofing, Inc. Shall not be responsible for damages or delays either before or during said work due to strikes, accidents, transportation difficulties, war, acts of God, fire storm or theft.
2. If the contract price is not paid in full, all warranties shall be null and void.
3. All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to specifications submitted and Florida roofing codes. Any alteration from above specifications involving extra cost will be executed only on written orders and will become an extra charge over and above the estimate.
4. All overdue accounts will be charged 1 1/2% per month plus court costs, attorney fees and collection costs. Please inform us of any exposed ceilings prior to start of work. Proposal may be withdrawn by us if not accepted within 30 days.
5. Our workers are fully covered by Workers' Compensation insurance.

Authorized Signature  Acceptance of Proposal   
 Date 8/10/10 Date \_\_\_\_\_





**BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908**

**NOTICE OF ACCEPTANCE (NOA)**

**GAF Materials Corp.  
1361 Alps Rd.  
Wayne, NJ 07470**

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by the BCCO and accepted by the Building Code and Product Review Committee to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The BCCO (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BCCO reserves the right to revoke this acceptance, if it is determined by BCCO that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION: GAF-Elk Timberline Prestique 30 Shingle**

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This revises NOA #07-0507.12 and consists of pages 1 through 5.  
The submitted documentation was reviewed by Alex Tigera.



**NOA No.:08-1110.07  
Expiration Date: 02/21/12  
Approval Date: 03/04/09  
Page 1 of 5**

## ROOFING SYSTEM APPROVAL

**Category:** Roofing  
**Sub-Category:** 07310 Asphalt Shingles  
**Materials:** Dimensional  
**Deck Type:** Wood

### 1. SCOPE

This revises GAF-Elk Timberline Prestique 30 as manufactured by GAF Materials Corp described in Section 2 of this Notice of Acceptance.

### 2. PRODUCT DESCRIPTION

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
GAF-Elk Timberline Prestique 30	13 <sup>1</sup> / <sub>4</sub> " x 39 <sup>3</sup> / <sub>8</sub> "	TAS 110	Fiberglass reinforced heavy weight asphalt roof shingle, with a laminate profile

### 3. EVIDENCE SUBMITTED:

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Underwriters Laboratories, Inc.	ASTM D3462	05CA47541	11/10/06
Underwriters Laboratories, Inc.	ASTM D3462	06CA31580	11/30/06
PRI Asphalt Technologies, Inc.	ASTM D3462	GAF-101-02-02	11/02/05
Underwriters Laboratories, Inc.	ASTM D3462	06NK05159	08/09/06
PRI Asphalt Technologies, Inc.	ASTM D3462	GAF-098-02-02	11/08/05
Underwriters Laboratories, Inc.	ASTM D3462	02NK41809	08/11/02
Underwriters Laboratories, Inc.	ASTM D3462	03NK26444	10/17/03
Center for Applied Engineering	ASTM D3462	257989	05/13/97
Underwriters Laboratories, Inc.	TAS 107	01NK45803	04/13/94
Underwriters Laboratories, Inc.	TAS 107	06NK05159	08/09/06
Underwriters Laboratories, Inc.	TAS 107	04NK04273	02/20/04
Underwriters Laboratories, Inc.	TAS 107	05CA42840	11/11/05
Underwriters Laboratories, Inc.	TAS 107	02NK41811	11/11/02
Underwriters Laboratories, Inc.	TAS 107	03CA35209	10/17/03
Underwriters Laboratories, Inc.	TAS 107	04CA13850	08/30/04
Center for Applied Engineering	TAS 100	257989	04/01/97
PRI Asphalt Technologies, Inc.	TAS 100	GAF-044-02-01	01/13/04
PRI Asphalt Technologies, Inc.	TAS 100	GAF-101-02-01	11/09/05
PRI Asphalt Technologies, Inc.	TAS 100	GAF-116-02-02	03/23/06
PRI Asphalt Technologies, Inc.	TAS-100	ELK-083-02-01	10/16/02
		ELK-084-02-01	10/15/02
		ELK-085-02-01	10/14/02
		ELK-086-02-01	10/24/02
		ELK-087-02-01	10/21/02
		ELK-088-02-01	10/16/02
		ELK-107-02-01	10/09/03
		ELK-108-02-01	10/09/03
		ELK-109-02-01	10/09/03



NOA No.:08-1110.07  
 Expiration Date: 02/21/12  
 Approval Date: 03/04/09  
 Page 2 of 5

**4. LIMITATIONS**

- 4.1 Fire classification is not part of this acceptance; refer to a current Approved Roofing Materials Directory for fire ratings of this product.
- 4.2 Shall not be installed on roof mean heights in excess of 33 ft.
- 4.3 All products listed herein shall have a quality assurance audit in accordance with the Florida Building Code and Rule 9B-72 of the Florida Administrative Code.

**5. INSTALLATION**

- 5.1 Shingles shall be installed in compliance with Roofing Application Standard RAS 115.
- 5.2 Flashing shall be in accordance with Roofing Application Standard RAS 115
- 5.3 The manufacturer shall provide clearly written application instructions.
- 5.4 Exposure and course layout shall be in compliance with Detail 'A', attached.
- 5.5 Nailing shall be in compliance with Detail 'B', attached.

**6. LABELING**

- 6.1 Shingles shall be labeled with the Miami-Dade Seal or the wording "Miami-Dade County Product Control Approved".



**7. BUILDING PERMIT REQUIREMENTS**

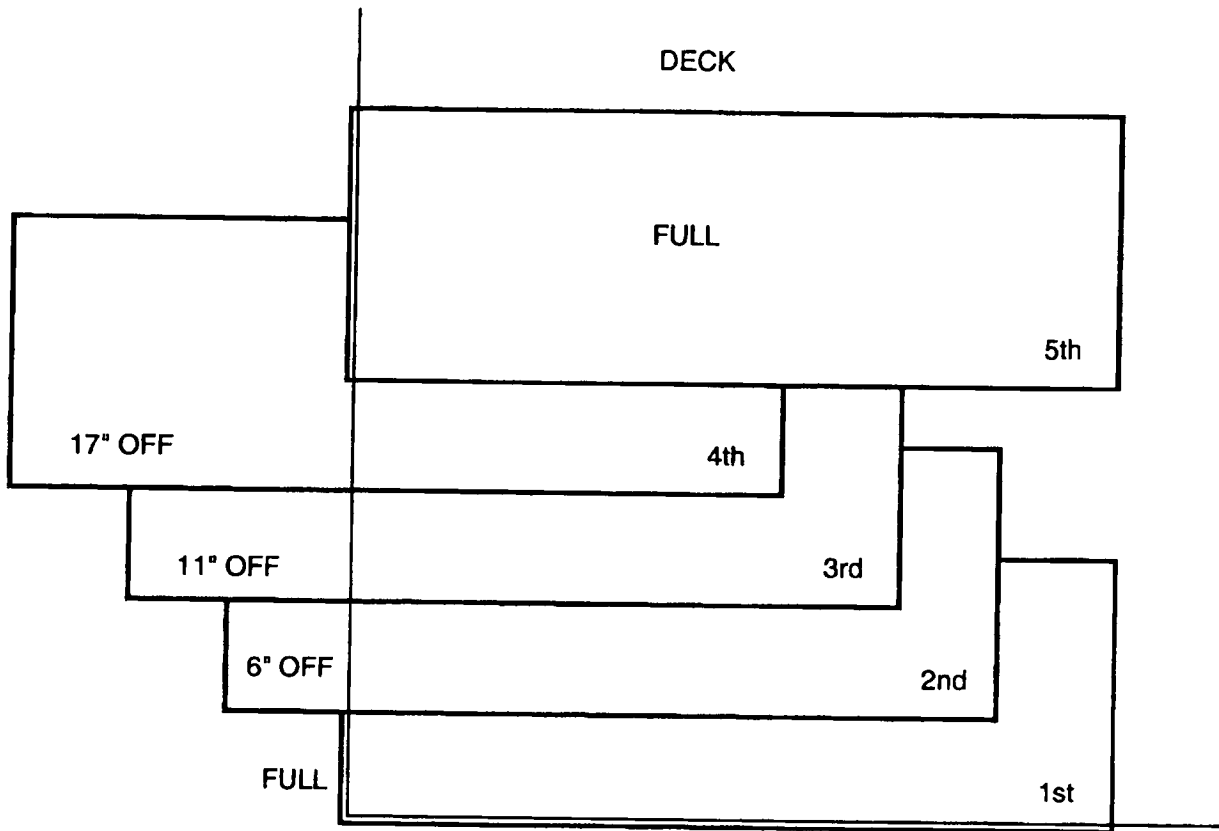
- 7.1 Application for building permit shall be accompanied by copies of the following:
  - 7.1.1 This Notice of Acceptance.
  - 7.1.2 Any other documents required by the Building Official or the applicable code in order to properly evaluate the installation of this system.

**8. MANUFACTURING PLANTS**

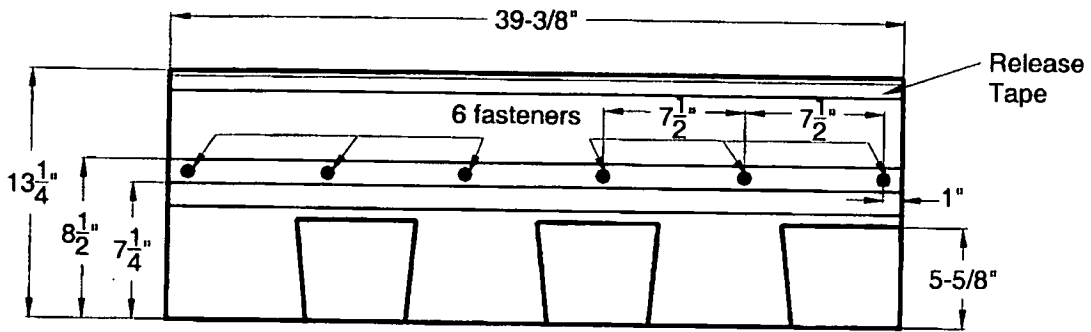
- 8.1 Tampa, FL
- 8.2 Michigan City, IN
- 8.3 Mobile, AL
- 8.4 Baltimore, MD
- 8.5 Myerstown, PA
- 8.6 Ennis, TX
- 8.7 Tuscaloosa, AL
- 8.8 Dallas, TX



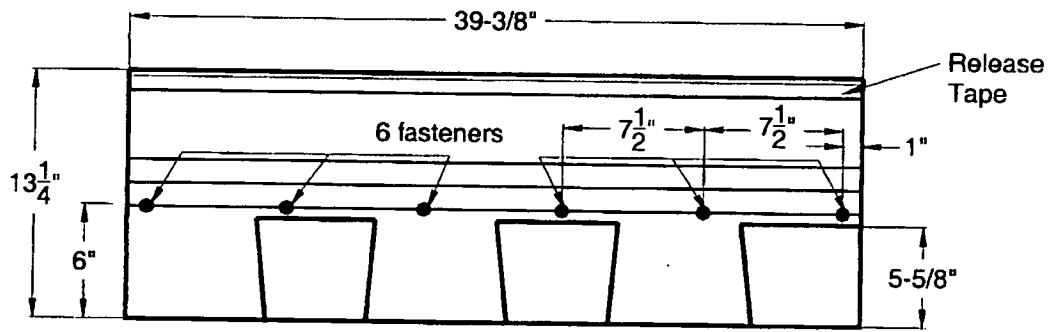
DETAIL A



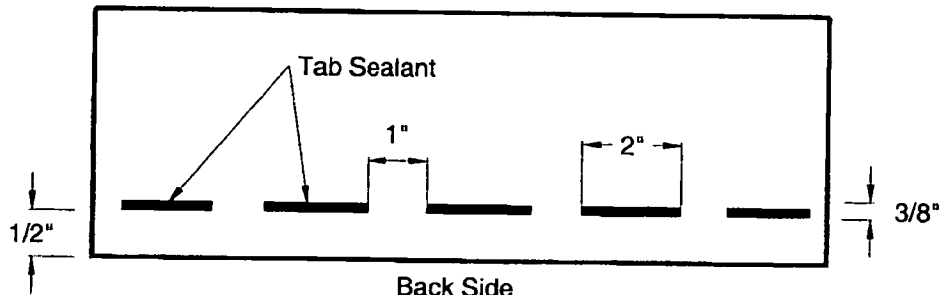
**DETAIL B**



Front Side (Maximum Slope 12:12)



Front Side (Maximum Slope 21:12)



Back Side

**END OF THIS ACCEPTANCE**





**BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908**

**NOTICE OF ACCEPTANCE (NOA)**

**Lomanco, Inc.  
2101 West main Street  
Jacksonville, AR 72076**

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION: 135 Roof Vent, Lomancool 2000 Power Vent**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This consists of pages 1 through 3.

The submitted documentation was reviewed by Jorge L. Acebo.



**NOA No.: 06-0501.11  
Expiration Date: 08/17/11  
Approval Date: 08/17/06  
Page 1 of 3**



## ROOFING COMPONENT APPROVAL

**Category:** Roofing  
**Sub-Category:** Ventilation  
**Material:** Aluminum

### TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
135 Roof Vent, Lomancool 2000 Power Vent	9" x 28.5"	TAS 100	Powered Roof Vent, with fan and thermostat with a aluminum hood.

### EVIDENCE SUBMITTED:

<u>Test Agency/Identifier</u>	<u>Name</u>	<u>Report</u>	<u>Date</u>
PR1 Asphalt Technologies, Inc.	TAS 100(A)	LOM-011-02-01	04/05/06

### APPROVED APPLICATIONS

**Cutout:** Vent must be located 18" from ridgeline. At chosen location and centered between two roof rafters, cut a 14" diameter hole through shingles and sheathing boards.

Using marked position as center point; scribe a circle that is the same diameter as the vent throat opening. Starting with the drill hole cut vent hole.

**Installation:** Vents should be evenly spaced on the rear slope of the roof.

Remove roofing nails from top row of shingles so the flashing of the roof vent will slide under shingles. Apply approved roof cement around the edge of the hole. Carefully slide base of vent under shingles with arrow facing up. Make sure the throat of the vent is centered over vent hole. Fasten the base to roof decking at corners, and approx. 4" o.c. 1" from the outside edge of the flange and 1" from stack every 45° with approved roofing nails, keeping heads of nails under shingles where possible. Use a minimum of 32 nails and shall be of sufficient length to penetrate through roof sheathing a minimum of ½". See details drawings herein. Seal all seams and nails with roofing cement.

**Net Free Area:** Refer to manufacturers published literature



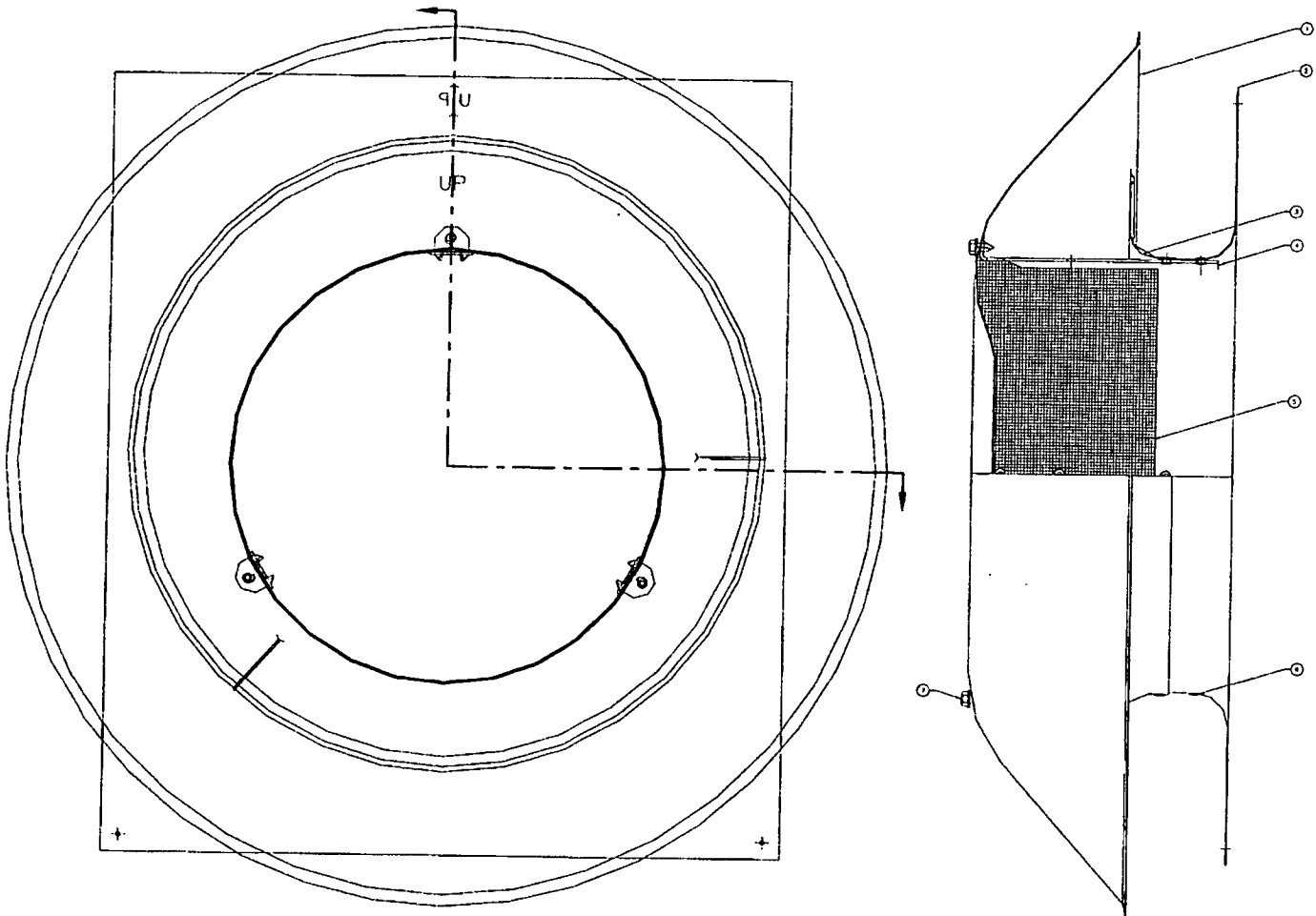
NOA No.: 06-0501.11  
Expiration Date: 08/17/11  
Approval Date: 08/17/06  
Page 2 of 3

**LIMITATIONS:**

1. Refer to applicable building codes for required ventilation.
2. 135 Roof Vent, Lomancool 2000 Power Vent, thermostat and wiring shall be installed in compliance with Lomanco, Inc. published instructions, and in accordance with applicable Building Codes.
3. This acceptance is for installations over asphaltic shingle roofs only.
4. 135 Roof Vent, Lomancool 2000 Power Vent, shall not be installed on roof mean heights greater than 33 feet.

**DETAIL DRAWINGS**  
**135 Roof Vent, Lomancool 2000 Power Vent**

PART #	ITEM	REQ	DESCRIPTION	MATERIAL	MAT WT
0201-501	1	1	DOME	.032±.0025 X 28.50 X 28.50 5005-0 AL.	3.250#
0201-502	2	1	BASE	.032±.0025 X 20 X 23 5005-0 AL	1.840#
0201-503	3	1	RAINSHIELD	.019±.0025 X 19.50 X 19.50 5005-0 AL	.913#
0410-501	4	3	BRACKET	16 GA. X 1.250 X 7.580 GALV. STEEL	.195#
0201-507	5	1	SCREEN	.028 X 5 X 41.375-8X8 MESH PERM-A-KOTE	
1404000165	6	12	RIVET	3/16" X 7/32 OVAL HD. AL	
1405000281	7	3	SCREW	#14 X 1/2 HWHD TYPEM "AB" ZINC PLT	



**END OF THIS ACCEPTANCE**



NOA No.: 06-0501.11  
 Expiration Date: 08/17/11  
 Approval Date: 08/17/06  
 Page 3 of 3



**MIAMI-DADE COUNTY**  
**BUILDING CODE COMPLIANCE OFFICE (BCCO)**  
**PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA**  
**METRO-DADE FLAGLER BUILDING**

**140 WEST FLAGLER STREET, SUITE 1603**  
**MIAMI, FLORIDA 33130-1563**  
**(305) 375-2901 FAX (305) 375-2908**

**NOTICE OF ACCEPTANCE (NOA)**

[www.miamidade.gov](http://www.miamidade.gov)

**Maxim Industries, Inc.**  
**1630 Terre Colony Court**  
**Dallas, TX 75212**

**Scope:** This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION:** Dade Curb-Mount & Self-Flashing Skylight.

**APPROVAL DOCUMENT:** Drawing No. DCM-1 & DSF-1, titled "Dade Curb Mount & Dade Self Flashing", sheets No. 1 and 2 of 2, prepared by Maxim Industries, Inc., dated 04/01/03 with no revisions, signed and sealed by Richard Boyette, P.E. on 04/10/2003, bearing the Miami-Dade County Product Control Renewal stamp with the Notice of Acceptance number and the approval date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING:** Large & Small Missile Impact

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein and the dome shall be properly marked by Sheffield Plastics.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 03-0224.11 and consists of this page 1, evidence submitted page E-1 as well as approval document mentioned above.

The submitted documentation was reviewed by Helmy A. Makar, P.E., M.S.



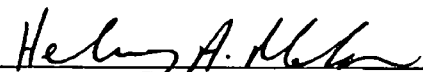
*Helmy A. Makar*  
 04/24/2008

**NOA No. 08-0219.02**  
**Expiration Date: 05/15/2013**  
**Approval Date: 04/24/2008**

**Maxim Industries, Inc.**

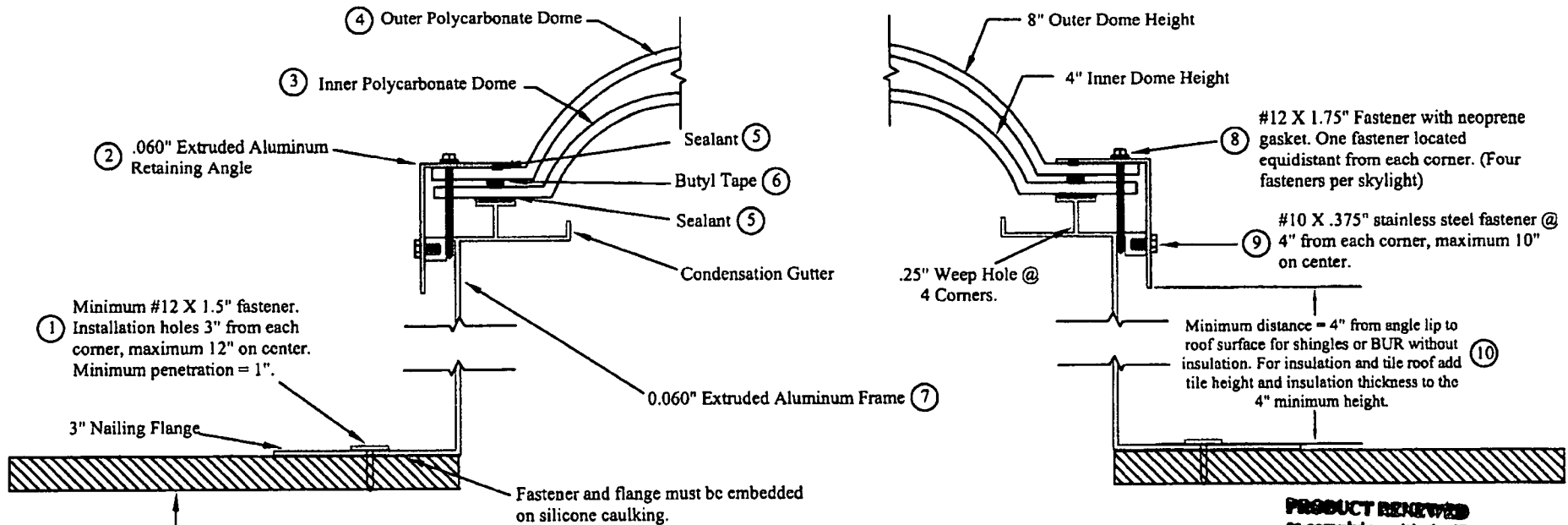
**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

- 1. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL #03-0224.11**
  - A. DRAWINGS**
    1. *Drawing No. DCM-1 & DSF-1, sheet 1 and 2 of 2, titled "Dade Curb Mount & Dade Self Flashing", prepared by Maxim Industries, Inc, dated 04/01/03, with no revision, signed and sealed by R. Boyette, P.E.*
  - B. TESTS**
    1. *Test report on Large Missile Impact Test per TAS 201, Cyclic Load Test per TAS 203 and Uniform Static air Pressure Test per TAS 202 on "Dade Self-Flashing, Dade Curb mount", prepared by Architectural Testing, Inc, report No. 01-43381.01 issued on 01/29/03, signed and sealed by S. M. Uric, P.E.*
  - C. CALCULATIONS**
    1. *Anchor calculations prepared by Richard Burette, signed and sealed by R. Burette on 02/11/03*
  - D. MATERIAL CERTIFICATIONS**
    1. *Notice of Acceptance No. 01-0709.07 issued to Sheffield Plastics, Inc. on 08/23/01, expiring on 08/27/06.*
  - E. STATEMENTS**
    1. *Code compliance letter issued by Richard Burette, P.E. on 02/11/03, signed and sealed by R. Boyette, P.E.*
- 2. NEW EVIDENCE SUBMITTED**
  - A. DRAWINGS**
    1. *None.*
  - B. TESTS**
    1. *None.*
  - C. CALCULATIONS**
    1. *None.*
  - D. QUALITY ASSURANCE**
    1. *By Miami-Dade County Building Code Compliance Office.*
  - E. MATERIAL CERTIFICATIONS**
    1. *None.*



Helmy A. Makar, P.E., M.S.  
Product Control Examiner  
NOA No. 08-0219.02  
Expiration Date: 05/15/2013  
Approval Date: 04/24/2008

- ① Minimum #12 X 1.5" fastener by others. Pre-punched installation holes 3" from each corner, maximum 12" on center. Minimum penetration = 1".
- ② .060" X 1.5" X 1.75" 6063-T6 extruded aluminum retaining angle. Aluminum angle mitered and welded @ 4 corners.
- ③ 49" X 97" X .118" Hyzod inner polycarbonate dome @ 4" height. NOA: #01-0709-07.
- ④ 49" X 97" X .118" Hyzod outer polycarbonate dome @ 8" height. NOA: #01-0709-07.
- ⑤ OSI PR 256 urethane sealant: Located between aluminum angle retainer and top dome & between bottom dome and aluminum frame.
- ⑥ Butyl tape: 1" X .125" located between top and bottom domes.
- ⑦ 6063-T5 Extruded Aluminum Frame. 0.060" shape mitered and welded @ 4 corners.
- ⑧ #12 X 1.75" Fastener. One fastener located equidistant from each corner. (Four fasteners per skylight)
- ⑨ #10 X .375" stainless steel fastener @ 4" from each corner, maximum 10" on center.
- ⑩ Minimum distance = 4" from angle lip to roof surface for shingles or BUR without insulation. For insulation and tile roof add tile height and insulation thickness to the 4" minimum height.
- ⑪ All units equal to or less than 32 square feet will be accepted under this NOA.



**PRODUCT REVIEWED**  
 as complying with the Florida  
 Building Code  
 Acceptance No. 08-0219.02  
 Expiration Date 05/15/2013  
 By: *Richard Boyette*  
 Miami Dade Product Control  
 Division

## Dade Self Flashing Model

Date: 04/01/03 Draw. #DSF-1  
 Drawing: Dade Self Flashing  
 Sheet#: 2 of 2  
 Design Pressure: 60psf +/-  
 Max. Skylight ID: 48" X 96"

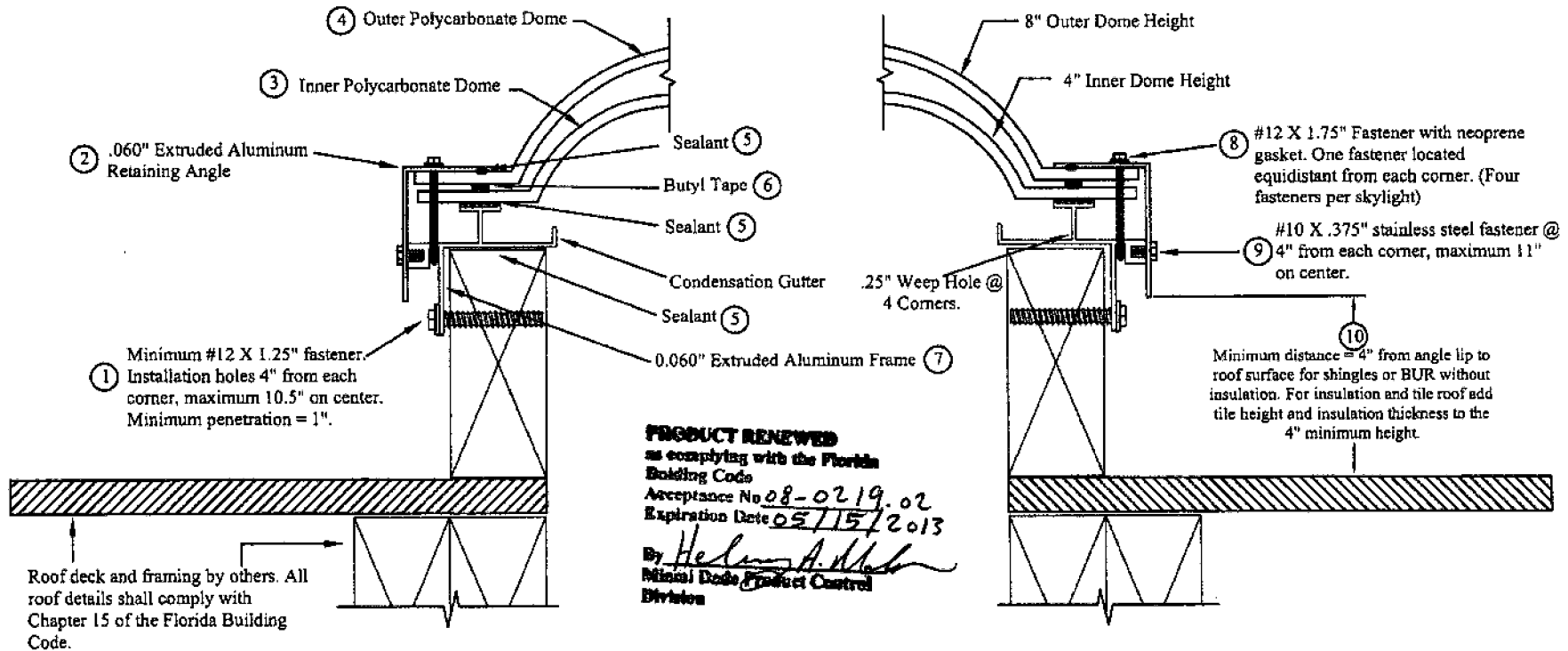
Approved as complying with the  
 Florida Building Code  
 Date: 05/15/03  
 NOA #: 05-0222-11  
 Miami Dade Product Control  
 Division  
 By: *[Signature]*

RICHARD BOYETTE  
 FL PE # 42485  
 4031 COCONUT BLVD  
 ROYAL PALM BCH FL 334  
 561-790-5766

*[Signature]*  
 5/15/03

**MAXIM**  
 INDUSTRIES, INC  
 6170 Vanderbilt Avenue Dallas, TX 75214  
 Phone: 214.824.1557 Fax: 240.371.7345

- ① Minimum #12 X 1.25" fastener by others. Pre-punched installation holes 4" from each corner, maximum 10.5" on center. Minimum penetration = 1".
- ② .060" X 1.5" X 1.75" 6063-T6 extruded aluminum retaining angle. Aluminum angle mitered and welded @ 4 corners.
- ③ 52.5" X 100.375" X .118" Hyzod inner polycarbonate dome @ 4" height. NOA: #01-0709-07.
- ④ 52.5" X 100.375" X .118" Hyzod outer polycarbonate dome @ 8" height. NOA: #01-0709-07.
- ⑤ OSI PR 256 urethane sealant: Located between aluminum angle retainer and top dome & between bottom dome and aluminum frame.
- ⑥ Butyl tape: 1" X .125" located between top and bottom domes.
- ⑦ 6063-T5 Extruded Aluminum Frame. 0.060" shape mitered and welded @ 4 corners.
- ⑧ #12 X 1.75" Fastener. One fastener located equidistant from each corner. (Four fasteners per skylight)
- ⑨ #10 X .375" stainless steel fastener @ 4" from each corner, maximum 11" on center.
- ⑩ Minimum distance = 4" from angle lip to roof surface for shingles or BUR without insulation. For insulation and tile roof add tile height and insulation thickness to the 4" minimum height.
- ⑪ All units equal to or less than 32 square feet will be accepted under this NOA.



**PRODUCT REVIEWED**  
 as complying with the Florida  
 Building Code  
 Acceptance No 08-0219.02  
 Expiration Date 05/15/2013  
 By *Helena A. Nish*  
 Miami Dade Product Control  
 Division

## Dade Curb Mount Model

RICHARD BOYETTE

Date: 04/01/03 Draw. #DCM-1  
 Drawing: Dade Curb Mount  
 Sheet#: 1 of 2  
 Design Pressure: 60psf +/-  
 Max. Skylight ID: 51.75" X 99.75"

Approved as complying with the  
 Florida Building Code  
 Date 05/15/03  
 NOA# 07-0224.11  
 Miami Dade Product Control  
 Division  
 By *[Signature]*

FL PE # 42485  
 4031 COCONUT BLVD  
 ROYAL PALM BCH FL 33411  
 561-790-5766

*[Signature]*  
 4/19/03

**MAXIM**  
 INDUSTRIES, INC  
 6170 Vanderbilt Avenue Dallas, TX 75214  
 Phone: 214.824.1557 Fax: 240.371.7345

RE-ROOF CERTIFICATION

PERMIT # \_\_\_\_\_

CONTRACTOR'S NAME: HEATON ROOFING, INC. PHONE #: (772) 287-0116 FAX: (772) 221-2299

OWNER'S NAME: GEORGE GILL

CONSTRUCTION ADDRESS: 33 RID VISTA DR CITY SEWALLS STATE FL

RE-ROOF: X RESIDENTIAL(SINGLE FAMILY)

COMMERCIAL \*\*--REMOVE/REINSTALL ROOF TOP HVAC EQUIP YES NO

\*\*...DISCONNECT/RECONNECT HVAC ELECTRIC YES NO

\*\* REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

RE-ROOF DEEMED TO COMPLY WITH 553.844 F. S. X YES NO - INSURED VALUE OF RESIDENCE \_\_\_\_\_

ROOF TYPE: X HIP BOSTON-HIP GABLE FLAT OTHER

ROOF PITCH: 5 /12 SLOPE

ROOF DECK: \* SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED

RE-SHEATH - (REMOVAL OF SPACED SHEATHING/PLYWOOD FOR APPLICATION OF NEW PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD AS PER FLORIDA BUILDING CODE "2004".

SPACED SHEATH FILL-IN - SPACES BETWEEN EXISTING SPACED-SHEATHING BOARD MAY BE FILLED-IN WITH BOARDS OF THE SAME SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2004".

X EXISTING DECK TO REMAIN/REPAIRED& RENAILED

EXISTING ROOF COVERING: ASPHALT SHINGLES EXISTING COVERING TO BE REMOVED? YES X NO

PROPOSED NEW ROOF COVERING: ASPHALT SHINGLES

MANUFACTURER GAF-ELK PRODUCT NAME TIMBERLINE PRESTIGE 30 PRODUCT APPR # 08-1110.07

(APPROVED ROOF COVERING MATERIAL WITH CURRENT FLORIDA PRODUCT APPROVAL) MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

\*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION.

PROPOSED FLASHING: X GALV./STEEL ALUMINUM COPPER OTHER

RIDGEVENT TO BE INSTALLED: YES X NO

DESCRIPTION OF WORK: TEAROFF TO SHEATHING, NAIL SHEATHING AS NEEDED, DRAY IN 1 LAYER ASTM D226 II 30 LB FT, INSTALL 26 GA. GALV. FLASH, INSTALL GAF-ELK SHINGLES WITH 6 NAILS PER SHINGLE

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

SIGNATURE OF CONTRACTOR DATE: 8-16-10

**RESIDENTIAL REROOF WINDSTORM LOSS  
MITIGATION CERTIFICATION (FLORIDA STATUTE 553.844)**

The following information is to be provided by roofing contractor or owner/builder on all re-roof applications for the purpose of obtaining compliance with recent changes to State Statute and referenced "Hurricane Mitigation Manual". Effective date: October 1, 2007.

Note: These requirements apply to residential structures built prior to implementation of the FBC on March 1, 2002.

- Value: show proof of insured value of residential structure or a copy of the ad-valorem tax value.
- Provide copy of contract

All re-roofs regardless of value shall comply with the following:

Re-nailing: All sheathing and decking shall be re-nailed per section 201.1 and a secondary water barrier installed.

- Existing fasteners that are 8d clipped head, round head or ring shank and spaced 6 in. or less o.c. may be counted. Additional fasteners shall be 8d ring shank nails with round heads spaced at 6 in. o.c. along framing.
- Indicate below which method is to be used to satisfy the secondary water barrier requirements:

\_\_\_\_\_ All joints in roof sheathing shall be covered with a minimum of 4 in. strip of self-adhering polymer modified bitumen tape. Wood deck and self-adhering tape shall be covered by one layer of approved underlayment.

\_\_\_\_\_ Entire roof deck shall be covered with an approved self-adhering polymer modified bitumen cap sheet. No additional underlayment is required.

X\_\_\_\_\_ Outside of the HVHZ, an underlayment complying with section 1507.2.3 of the Florida Building Code, Building fastened as described below or a layer of asphalt impregnated approved #30 felt shall be installed. The felt is to be fastened with 1" round plastic cap or metal cap nails, attached to a nailable deck in a grid pattern of 12 inches (305 mm) staggered between the overlaps, with 6-inch (152 mm) spacing at the overlaps. For slopes of 2:12 to 4:12 an additional layer of felt shall be installed in a single-fashion and lapped 19" and fastened as described above. (No additional underlayment shall be required over the top of this sheet.)

\_\_\_\_\_ Exception: An approved 30# underlayment installed per HVHZ using nails and tin-tags and covered with an approved self-adhering polymer modified bitumen cap sheet or an approved cap sheet hot-moped shall be deemed to meet the requirements for secondary water barrier.

Residential Structures valued at \$300,000 or more shall comply with the following:

- Roof to wall connections must be enhanced up to 15% additional cost of the re-roofing cost.
- A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
  1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
  2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
    - a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
    - b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
    - c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.



LICENSED GENERAL, BUILDING OR RESIDENTIAL CONTRACTORS' REROOF WINDSTORM LOSS MITIGATION COMPLIANCE AFFIDAVIT

A RESIDENTIAL STRUCTURE VALUED AT \$300,000 OR MORE SHALL COMPLY WITH THE FOLLOWING:

- Roof to wall connections must be enhanced up to 15% additional cost of the reroofing cost.
• A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.

A RESIDENTIAL STRUCTURE VALUED AT \$750,000 OR MORE SHALL COMPLY WITH THE FOLLOWING:

When any activity requiring a building permit that is applied for on or after July 1, 2008, and for which the estimated cost is \$50,000 or more for a building that is located in the wind borne debris region as defined in s. 1609.2 of the Florida Building Code, Building:

- a. Opening protections as required within the Florida Building Code, Building or Florida Building Code, Residential for new construction shall be provided.

TO BE COMPLETED IF INSURED VALUE OF SINGLE FAMILY IS OVER \$300,000.00 AND WAS PERMITTED PRIOR TO MARCH 1, 2002.

YEAR PERMITTED 1990 INSURED OR P.A. IMPROVED VALUE \$ 376,850

DETAILS OF MITIGATION WORK TO BE PERFORMED (Add additional sheets if necessary):

INSPECTION OF STRAPPING OR CLIPS AT ROOF TO WALL CONNECTIONS BY REMOVAL OF ROOF SHEATHING AS PER HURRICANE MITIGATION RETROFIT RULE 9A-3.0475 - IN CONJUNCTION WITH REROOF

JOB SITE ADDRESS: 33 RIO VISTA DR SEWALL'S POINT, FL 34996

QUALIFIER NAME: Donald E Woodward Jr LICENSE NO.: RR0060670

COMPANY NAME: Woodward Construction Inc PHONE NO.: 772-219-4525

Qualifier's Signature: Donald E. Woodward Jr.

Owner's Signature: [Signature]

Date: 8/20/2010

Date: 8/18/10

Sworn to and subscribed before me this 20th day of August 2010

Sworn to and subscribed before me this 18th day of August 2010

By Donald E. Woodward Jr. [Signature]

By George H. Gill [Signature]

Notary Public, State of Florida

Notary Public, State of Florida

Personally known to me

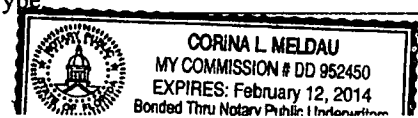
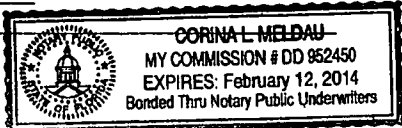
Personally known to me

Produced ID

Produced ID

Type:

Type:





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

*FWP*

RE: Permit # 9545

Date 8/31/10

**Inspection Affidavit**

I DANIEL E HEATON, licensed as a(n) Contractor\* /Engineer/Architect,  
 (please print name and circle Lic. Type) FS 468 Building Inspector\*

License #: CCL036970

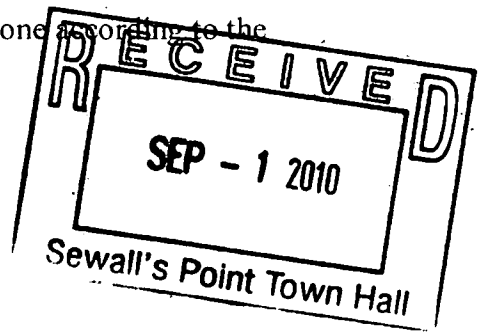
On or about 8/31/10 2:20 PM, I did personally inspect the roof  
 (Date & time)

deck nailing and/or secondary water barrier work at 33 RIO VISTA DR  
 (circle one) (Job Site Address)

SEWALLS POINT, FL 34996

Based upon that examination I have determined the installation was done according to the  
 Hurricane Mitigation Retrofit Manual (Based on 553.844 F.S.)

Signature [Handwritten Signature]



STATE OF FLORIDA  
 COUNTY OF

Sworn to and subscribed before me this 31<sup>st</sup> day of August, 20010

By DANIEL E. HEATON

Notary Public, State of Florida

[Handwritten Signature]  
 (Print, type or stamp name)

Commission No.: DD952450

Personally known  or  
 Produced Identification   
 Type of identification produced. \_\_\_\_\_



\* General, Building, Residential, or Roofing Contractor or any individual certified under 468 F.S. to make such an inspection. Include photographs of each plane of the roof with the permit # or address # clearly shown marked on the deck for each inspection.

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 9-2 2010 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9545	33 Rio Vista Heaton Roofing	dry in / metal	Pass	INSPECTOR [Signature]
9399	BALFOORD 103 Hillcrest Dr BALFOORD CONSO	PARTIAL LADRE	Pass	INSPECTOR [Signature]
9556	MOSCATELLO 11 WORTH CT Coastal	Frenal AC	Pass	Close INSPECTOR [Signature]
	JEFFERSON 14 OAKHILL	TREE	OK	INSPECTOR
9521	LAZANUS 31 S. RIVER Creation	ROUGH DOOR	Pass	INSPECTOR [Signature]
	HELMUT 288 6952			INSPECTOR

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 9-9 2010 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9507	Sharfi 73 N Sewalls Masley	tie beams columns (Hennis Ct)	CANCEL	INSPECTOR <i>[Signature]</i>
9344	Woods 32 E High Pt Capital Auto	slab 1st fl	PASS	INSPECTOR <i>[Signature]</i>
<del>9045</del>	<del>GILL</del> <del>3000 VISTA</del> HEATON ROOFING	<del>NOI/ROOFING</del>	<del>PASS</del>	INSPECTOR <i>[Signature]</i>
	FULLER 39 N RIVER	TREE	OK	INSPECTOR
9557 FM	Jones 18 Emmita Flynn's	Fenal Ae	CANCEL	INSPECTOR <i>[Signature]</i>
				INSPECTOR
				INSPECTOR

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection:  Mon  Tue  Wed  Thur  Fri 9-16 2010 Page 1 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9490	Webb/Klingensmatt 2 St Lucie Ct Ranger A/C	Final AC	FAIL	SEE C.N. INSPECTOR <i>JA</i>
9563	Justak 171 S Sewalls Nisair	Final AC	PASS	Close INSPECTOR <i>JA</i>
<del>9545</del>	<del>Go...</del> <del>33 Peach St</del> Heaton Roofing	<del>Final AC</del>	<del>PASS</del>	<del>Close</del> INSPECTOR <i>JA</i>
9567	Mulcahy 138 S Sewalls Linden Marine	dead man + tie back	PASS	INSPECTOR <i>JA</i>
	18 Perrinville La	overgrowth palm fronds in yard		INSPECTOR
9540	O'Brien 36 E High Pt Am B Garage	Final garage door	PASS	<i>JA</i> INSPECTOR <i>Close</i>
9543	Williams/Balou 6 Gumbo Limbo Advanced Concepts	R. Pump	PASS	INSPECTOR <i>JA</i>

**10543**

**A/C CHANGEOUT**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	10543	DATE ISSUED:	JULY 30, 2013
SCOPE OF WORK:	AC CHANGEOUT		
CONTRACTOR:	SHARKEY AIR		
PARCEL CONTROL NUMBER:	123841002-000-010005	SUBDIVISION	RIO VISTA - L 100
CONSTRUCTION ADDRESS:	33 RIO VISTA DR		
OWNER NAME:	GRAY		
QUALIFIER:	KEVIN SHARKEY	CONTACT PHONE NUMBER:	220-2487

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

### INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

Permit Number: 10543

Date: \_\_\_\_\_

OWNER/LESSEE NAME: GRAY GEORGE A IV & MEGAN PIPER Phone (Day) 772-285-7431 (Fax) \_\_\_\_\_

Job Site Address: 33 RIO VISTA DR City: STUART State: FL Zip: 34996-6450

Legal Description RIO VISTA S/D LOT 100 Parcel Control Number: 12-38-41-002-000-01000-5

Fee Simple Holder Name: \_\_\_\_\_ Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Telephone: \_\_\_\_\_

**\*SCOPE OF WORK (PLEASE BE SPECIFIC):**

AC Changeout

**WILL OWNER BE THE CONTRACTOR?**  
(If yes, Owner Builder questionnaire must accompany application)  
YES \_\_\_\_\_ NO   
**Has a Zoning Variance ever been granted on this property?**  
YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO   
(Must include a copy of all variance approvals with application)

**COST AND VALUES:** (Required on ALL permit applications)  
Estimated Value of Improvements: \$ 5138.00  
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
Is subject property located in flood hazard area? VE10 \_\_\_\_\_ AE9 \_\_\_\_\_ AE8   
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
(Fair Market Value of the Primary Structure only, Minus the land value)  
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: SHARKEY AIR, LLC Phone: 772-220-2487 Fax: 772-220-3787

Qualifiers name: KEVIN M. SHARKEY Street: 7862 SW ELLIPSE WAY City: STUART State: FL Zip: 34996

State License Number: CAC1816853 OR: Municipality: \_\_\_\_\_ License Number: \_\_\_\_\_

LOCAL CONTACT: KEVIN M. SHARKEY Phone Number: 772-260-0179

DESIGN PROFESSIONAL: \_\_\_\_\_ Fla. License # \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: JUL 29 2013 Zip: \_\_\_\_\_ Phone Number: \_\_\_\_\_

AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/ Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_

Carport: \_\_\_\_\_ Total under Roof \_\_\_\_\_ Elevated Deck \_\_\_\_\_ Enclosed area below BFE\* \_\_\_\_\_

\* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 feet. Require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010  
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

**WARNINGS TO OWNERS AND CONTRACTORS:**

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

**\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\***

**AFFIDAVIT:** APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

**OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE:**

X \_\_\_\_\_  
State of Florida, County of: \_\_\_\_\_  
On This the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_  
by \_\_\_\_\_ who is personally  
known to me or produced \_\_\_\_\_  
As identification \_\_\_\_\_  
Notary Public \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

**CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:**

X \_\_\_\_\_  
State of Florida, County of: MARTIN  
On This the 25th day of JULY, 2013  
by KEVIN M. SHARKEY who is personally  
known to me or produced KNOWN TO ME  
As identification \_\_\_\_\_  
Notary Public \_\_\_\_\_  
My Commission Expires: APRIL 14, 2016

**SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) PLEASE PICK UP YOUR PERMIT PROMPTLY!**

**KATE MADELINE WIEGERINK**  
MY COMMISSION # **EE179980**  
EXPIRES **April 14, 2016**  
FloridaNotaryService.com  
(407) 398-0153





CUTLER HAMMER TAW  
BAZOOKAS NOT MAKE

**PROPOSAL**

Submitted To: MAGAN GRAY Phone: 285-7431 Date: 7/25/13  
Street: 33 RIO VISTA E-mail Address: \_\_\_\_\_  
City-State-Zip: SENALES PT Air Handler Location: attic - garage \_\_\_\_\_ - closet \_\_\_\_\_

**INCLUDES:**

Furnish and install 3-ton Rheem 16 SEER split system with OKW electric heat.

- ❖ **One year parts and labor. Nine additional years on parts, coils and compressor.**
- ❖ Remove and haul away existing equipment.
- ❖ Emergency pan on horizontal units.
- ❖ Emergency float switch.
- ❖ Plenum Transitions.
- ❖ Hurricane clips attached to existing condensing unit pad.
- ❖ NOTE: We will re-use existing ductwork  , cement slab  , condensate lines  electric  and line-set .
- ❖ Rheem air handler needs filter rack? **Y**  or **N**  Air filter in return? **Y**  or **N**
- ❖ R 410A Refrigerant
- ❖ ACCESSORIES: ~~Not~~ Programmable Thermostat.
- ❖ Option: Filtration Standard Yes/No Pleated Filter Rack (\$ 495.00 additional )
- ❖ Option: UV Light: Fresh Air Blue Tub (\$ 595.00 additional )
- ❖ Options: \_\_\_\_\_
- ❖ Notes: \_\_\_\_\_
- ❖ Alternate eq: Manuf; \_\_\_\_\_ Contract Price; \$ \_\_\_\_\_ - FPL \$ \_\_\_\_\_ = \$ \_\_\_\_\_
- ❖ Includes: tax and labor.

**WE PROPOSE** HEREBY TO FURNISH MATERIAL AND LABOR-COMPLETE IN ACCORDANCE WITH ABOVE SPECIFICATIONS, FOR THE SUM OF \$

**CONTRACT AMOUNT:** \$ 5,138 - FPL Rebate \$ 585 = \$ 4,553 Out of Pocket \$4200

**PAYMENT TO BE MADE AS FOLLOWS:** Customer to pay 50% deposit and 50% upon substantial completion.

ALL MATERIAL IS GUARANTEED TO BE AS SPECIFIED.  
ALL WORK TO BE COMPLETED IN A WORKMANLIKE MANNER ACCORDING TO STANDARD PRACTICES.  
ANY ALTERATION OR DEVIATION FROM ABOVE SPECIFICATIONS INVOLVING EXTRA COSTS WILL BE EXECUTED ONLY UPON VERBAL/WRITTEN ORDERS, AND WILL BECOME AN EXTRA CHARGE OVER AND ABOVE THE ESTIMATE. ALL AGREEMENTS CONTINGENT UPON STRIKES, ACCIDENTS OR DELAYS BEYOND OUR CONTROL. OWNER TO CARRY FIRE, TORNADO AND OTHER NECESSARY INSURANCE. OUR WORKERS ARE FULLY COVERED BY WORKMEN'S COMPENSATION INSURANCE. FINAL PAYMENT WILL BE MADE PRIOR TO START UP OF NEW SYSTEM(S). IN THE EVENT THAT THE AIR CONDITIONING SYSTEM IS NOT PAID FOR, WE HAVE THE RIGHT TO REMOVE IT AT ANY TIME.

AUTHORIZED SIGNATURE [Signature]

NOTE: THIS PROPOSAL MAY BE WITHDRAWN BY US IF NOT ACCEPTED WITHIN 30 DAYS

ACCEPTANCE OF PROPOSAL - THE ABOVE PRICES, SPECIFICATIONS AND CONDITIONS ARE SATISFACTORY AND HEREBY ACCEPTED. YOU ARE AUTHORIZED TO DO THE WORK AS SPECIFIED, PAYMENT WILL BE MADE AS OUTLINED ABOVE. ANY LITIGATION AS A RESULT OF NON PAYMENT WILL TAKE PLACE IN MARTIN COUNTY, FL.

SIGNATURE: \_\_\_\_\_

DATE: 7/25/13

Phone: 772.220.2487  
Fax: 772.220.3787  
7862 SW Ellipse Way  
Stuart, FL 34997  
www.sharkeyair.com  
Lic. # CAC049289  
Lic. # CAC1816853

**Martin County, Florida  
Laurel Kelly, C.F.A**
*generated on 7/29/2013 11:36:21 AM EDT*
**Summary**

<b>Parcel ID</b>	<b>Account #</b>	<b>Unit Address</b>	<b>Market Total Value</b>	<b>Website Updated</b>
12-38-41-002-000-01000-5	27611	33 RIO VISTA DR, SEWALL'S POINT	\$605,930	7/27/2013

---

**Owner Information**

<b>Owner(Current)</b>	GRAY GEORGE A IV & MEGAN PIPER
<b>Owner/Mail Address</b>	33 RIO VISTA DR STUART FL 34996
<b>Sale Date</b>	10/1/2012
<b>Document Book/Page</b>	2604 0183
<b>Document No.</b>	2354059
<b>Sale Price</b>	714000

---

**Location/Description**

<b>Account #</b>	27611	<b>Map Page No.</b>	SP-05
<b>Tax District</b>	2200	<b>Legal Description</b>	RIO VISTA S/D LOT 100
<b>Parcel Address</b>	33 RIO VISTA DR, SEWALL'S POINT		
<b>Acres</b>	.4100		

---

**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120250 RIO VISTA DRY

---

**Assessment Information**

<b>Market Land Value</b>	\$234,000
<b>Market Improvement Value</b>	\$371,930
<b>Market Total Value</b>	\$605,930



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel: 772-287-2455 Fax 772-220-4765

**FLORIDA ENERGY CONSERVATION CODE  
 Mandatory Duct Inspection Certification for HVAC change-out**

For use when part of the duct and/or HVAC system has been replaced (Section 101.4.7.1.1 & FS 553.912)

Owner: GRAY GEORGE A IV & MEGAN PIPER Contractor name: Sharkey Air, LLC  
 Street address: 33 RIO VISTA DR Jurisdiction: Town of Sewalls Point  
 City: STUART Permit No.: \_\_\_\_\_  
 Zip: 34996 Final inspection date: \_\_\_\_\_

I certify that I have inspected the duct work associated with the HVAC unit referenced by the permit listed above and found it complies with the requirements of Section 101.4.7.1.1 as indicated below:

- Where needed, the existing ducts have been sealed using reinforced mastic or code-approved equivalent.
- Ducts are located within conditioned space. (Section 101.4.7.1.1 exception 1)
- The joints or seams are already sealed with fabric and mastic (Section 101.4.7.1.1 exception 2)
- System was tested (see below) and repairs were made as necessary – (Section 101.4.7.1.1 exception 3)

Signature: *Kevin M. Sharkey* Date: 7/25/13

Printed Name: Kevin M. Sharkey

Contractor License #: CAC1816853

I certified I have tested the replaced air distribution system(s) referenced by the permit listed above at a pressure differential of 25 Pascals (0.10 in. w.c.).

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Printed Name: \_\_\_\_\_



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY

**Air Conditioning Change out Affidavit**

Residential  Commercial \_\_\_\_\_  
 Package Unit \_\_\_ Yes  No (Use Condenser side of form below for equipment listing)  
 Duct Replacement \_\_\_ Yes  No - Refrigerant line replacement \_\_\_ Yes  No  
 Flushing Existing Refrigerant lines  Yes \_\_\_ No - Adding Refrigerant Drier  Yes \_\_\_ No  
 Rooftop A/C Stand Installation \_\_\_ Yes  No - Curb Installation \_\_\_ Yes  No  
 Smoke Detector in Supply (over 2000 CFM) \_\_\_ Yes  No

**One form required for each A/C system installed**

**REPLACEMENT SYSTEM COMPONENTS**

<b><u>Air handler:</u></b> Mfg: RHEEM _____ Model# RHL1HM3821	<b><u>Condenser:</u></b> Mfg RHEEM _____ Model# 14AJM36 _____
Volts 208/240 CFM's 1175 _____ Heat Strip 10 _____ Kw	Volts 208-230 SEER/EER 16 _____ BTU's 37600 _____
Min. Circuit Amps 49 _____ Wire gauge 6 _____	Min. Circuit Amps 23 _____ Wire gauge 10 _____
Max. Breaker size 60 _____ Min. Breaker size 50 _____	Max. Breaker size 35 _____ Min. Breaker size 30 _____
Ref. line size: Liquid 3/8 _____ Suction 3/4 _____	Ref. line size: Liquid 3/8 _____ Suction 3/4 _____
Refrigerant type 410A _____	Refrigerant type 410A _____
Location: Existing <input checked="" type="checkbox"/> New _____	Location: Existing <input checked="" type="checkbox"/> New _____
Attic/Garage/Closet (specify) ATTIC _____	Left/Right/Rear/Front/Roof WEST SIDE _____
Access: PULL DOWN STAIRS _____	Condensate Location WEST SIDE _____

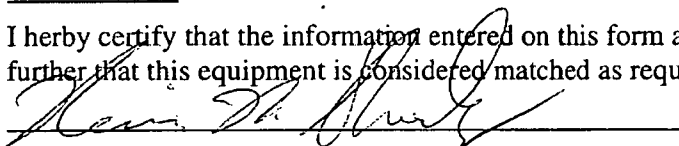
**NOTE: CONTRACTOR MUST SUPPLY A PROPER LADDER IF REQUIRED FOR INSPECTION**

**EXISTING SYSTEM COMPONENTS**

<b><u>Air handler:</u></b> Mfg: RHEEM _____ Model# RBEA1711101	<b><u>Condenser:</u></b> Mfg TRANE _____ Model# 2TTR3036A _____
Volts 208/240 CFM's 1150 _____ Heat Strip 10 _____ Kw	Volts 208/230 SEER/EER UNKNOWN BTU's 37000 _____
Min. Circuit Amps 49 _____ Wire gauge 6 _____	Min. Circuit Amps 20 _____ Wire gauge 10 _____
Max. Breaker size 60 _____ Min. Breaker size 50 _____	Max. Breaker size 35 _____ Min. Breaker size 30 _____
Ref. line size: Liquid 3/8 _____ Suction 3/4 _____	Ref. line size: Liquid 3/8 _____ Suction 3/4 _____
Refrigerant type R22 _____	Refrigerant type R22 _____
Location: Ext. <input checked="" type="checkbox"/> New _____	Location: Ext. <input checked="" type="checkbox"/> New _____
Attic/Garage/Closet (specify) ATTIC _____	Left/Right/Rear/Front/Roof WEST SIDE _____
Access: PULL DOWN STAIRS _____	Condensate Location WEST SIDE _____

**Certification:**

I hereby certify that the information entered on this form accurately represents the equipment installed and further that this equipment is considered matched as required by FBC - R (N)1107 & 1108

  
 \_\_\_\_\_  
 Signature

7-25-13  
 \_\_\_\_\_  
 Date



This combination qualifies for a Federal Energy Efficiency Tax Credit when placed in service between Feb 17, 2009 and Dec 31, 2013.

# Certificate of Product Ratings

AHRI Certified Reference Number: 3805983

Date: 7/25/2013

Product: Split System: Air-Cooled Condensing Unit, Coil with Blower

Outdoor Unit Model Number: 14AJM36

Indoor Unit Model Number: RHLL-HM3821+RCSL-H\*3821

Manufacturer: RHEEM MANUFACTURING COMPANY

Trade/Brand name: RHEEM 14AJM SERIES

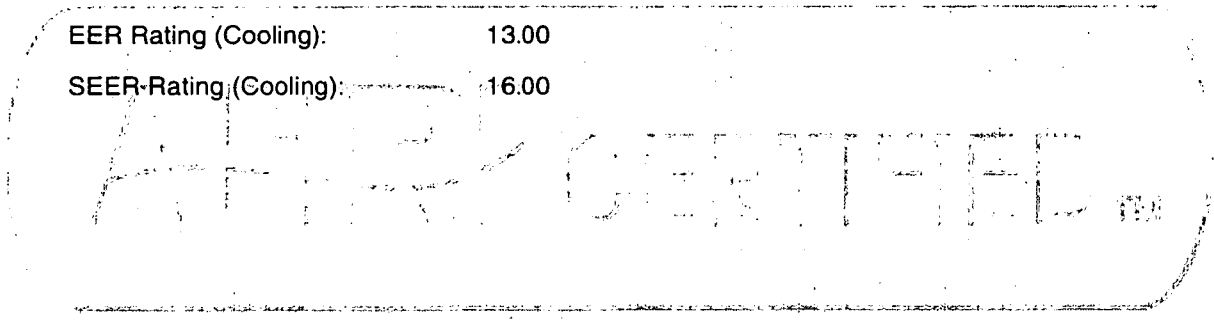
Manufacturer responsible for the rating of this system combination is RHEEM MANUFACTURING COMPANY

Rated as follows in accordance with AHRI Standard 210/240-2008 for Unitary Air-Conditioning and Air-Source Heat Pump Equipment and subject to verification of rating accuracy by AHRI-sponsored, independent, third party testing:

Cooling Capacity (Btuh): 37600

EER Rating (Cooling): 13.00

SEER-Rating (Cooling): 16.00



\* Ratings followed by an asterisk (\*) indicate a voluntary rerate of previously published data, unless accompanied with a WAS, which indicates an involuntary rerate.

#### DISCLAIMER

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#### CERTIFICATE VERIFICATION

The information for the model cited on this certificate can be verified at [www.ahridirectory.org](http://www.ahridirectory.org), click on "Verify Certificate" link and enter the AHRI Certified Reference Number and the date on which the certificate was issued, which is listed above, and the Certificate No., which is listed below.



Air-Conditioning, Heating, and Refrigeration Institute



# DesignStar Load Calculation

Results are intended for use with Rheem heating and cooling systems

The New Degree of Comfort™

## Customer Information

Street Address	33 RIO VISTA DR, Stuart, FL 34996
Latitude, Longitude	26.6726°, -80.0706°
House Square Footage:	1960 sq. ft.
Name:	GRAY
Phone:	
Email:	

## House Information

SHR	.75
Number of residents	2
Ceiling height	9
Wall U-value   R-value	0.09   11
Floor U-value   R-value	0.2   5
Ceiling U-value   R-value	0.0556   18
Window U-value	1.0
Window SHGF	0.85
Moisture grains	64
Duct loss %	10
Duct gain %	10
Cooling infiltration (ACH)	0.6
Heating infiltration (ACH)	0.8
Winter ventilation	0
Summer ventilation	0

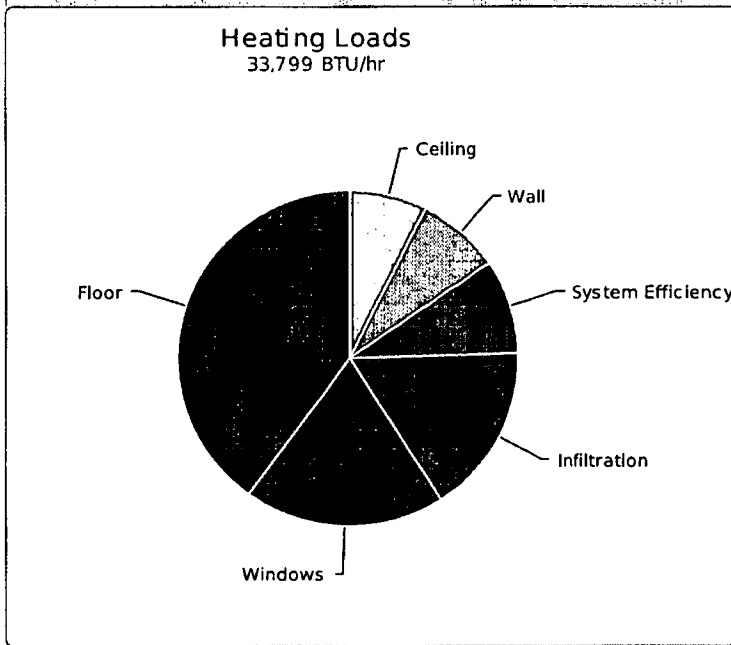
# Design Conditions

<b>Outdoor</b>	<b>Heating</b>	<b>Cooling</b>
Dry bulb (°F)	47	90
Daily range		M
Relative humidity		50%
Moisture difference		64

<b>Indoor</b>	<b>Heating</b>	<b>Cooling</b>
Indoor temperature (°F)	70	75
Design temperature difference(°F)	23	15

# Heating Loads

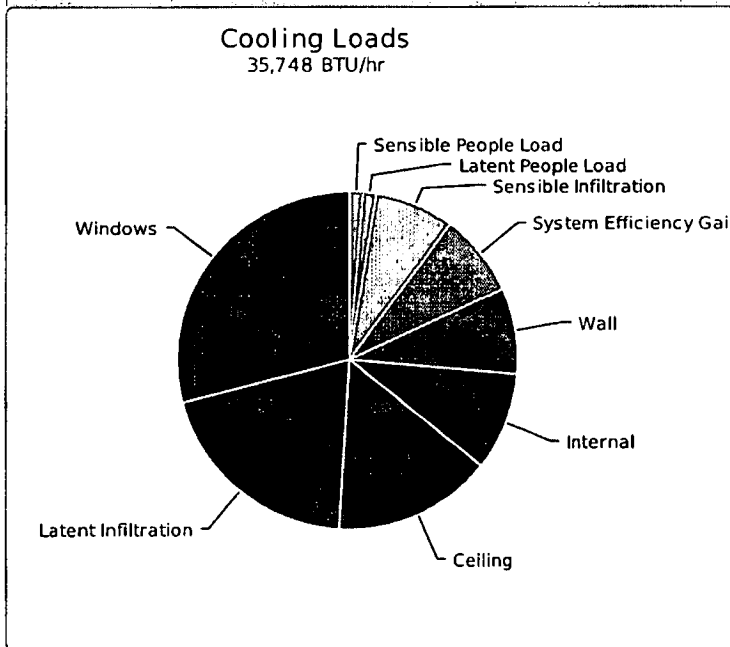
Area	Btuh	% of load
Wall	2717	8
Floor	13506	40
Ceiling	2506	7.4
Windows	6463	19.1
Infiltration	5534	16.4
System Efficiency Loss	3073	9.1
Total:	33799	



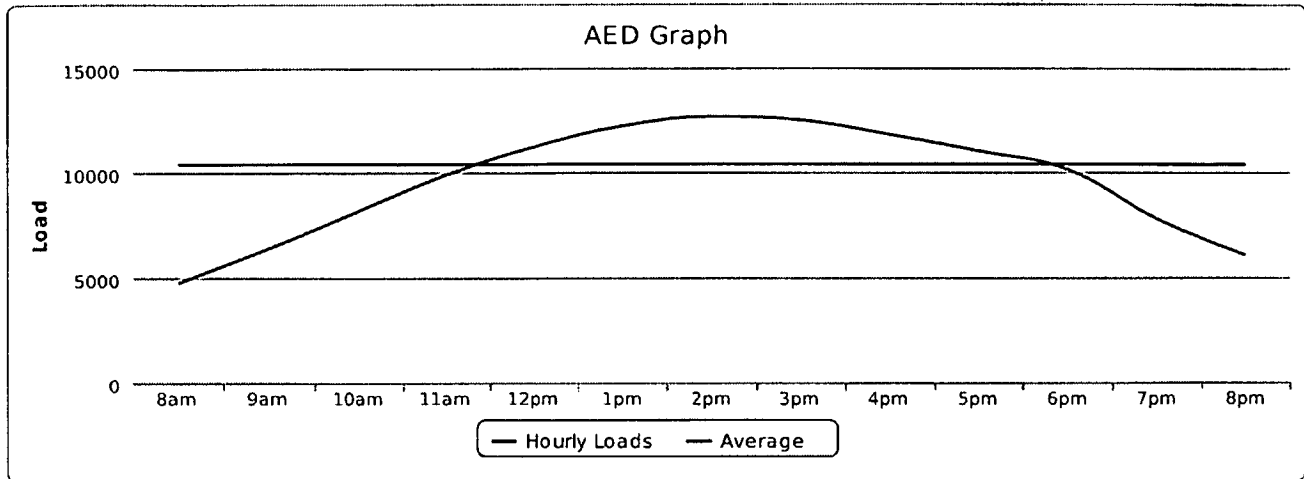


# Cooling Loads

Area	Btuh	% of load
Wall	2954	8.3
Ceiling	5449	15.2
Windows	10384	29
Sensible Infiltration	2707	7.6
Latent Infiltration	7140	20
System Efficiency Gain	2863	8
Internal	3332	9.3
Sensible People Load	460	1.3
Latent People Load	460	1.3
<b>Total:</b>	<b>35748</b>	
Sensible load	28149	
Latent load	7600	
SHR	0.79	
Capacity at .75 SHR	3.13 Tons	



# Adequate Exposure Diversity



# Equipment selection

System equipment selection will be made using the following derived values.

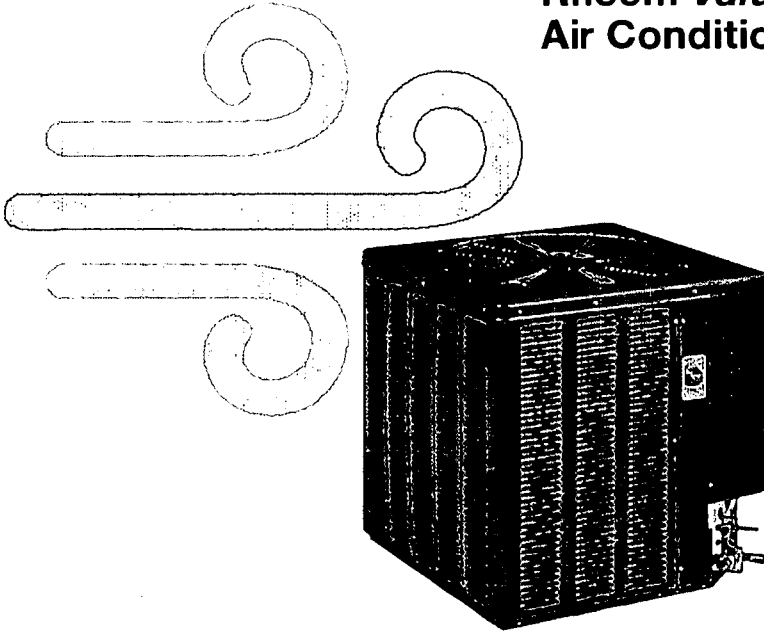
Glass (S)	142 sq. ft.
Glass (W)	20 sq. ft.
Glass (E)	20 sq. ft.
Glass (N)	99 sq. ft.
Summer Outdoor	90°F
Summer Wet Bulb	78°F
Summer Indoor	75°F
Summer Design Grains	50%
Winter Outdoor	47°F
Winter Indoor	70°F
Sensible Cooling	28,149 Btuh
Latent Cooling	7,600 Btuh
Required Cooling Airflow	1,279 CFM
Sensible Heating	33,799 Btuh
Required Heating Airflow	439 CFM

All calculations are based upon approved hvac industry standards and procedures, and comply with all local, state and federal code requirements. All computed results are Estimates. Product provided by Energy Design Systems and Idea Tree



The new degree of comfort.™

## Rheem Value Series Air Conditioners



### 14AJM- Series

Efficiencies up to 16 SEER/13 EER  
Nominal Sizes 1 1/2-5 Ton [5.28 to 17.6 kW]  
Cooling Capacities 17.3 to 60.5 kBTU  
[5.7 to 17.7 kW]



*"Proper sizing and installation of equipment is critical to achieve optimal performance. Ask your Contractor for details or visit [www.energystar.gov](http://www.energystar.gov)."*

Note: Above image does not show deep drawn basepan.

- Outdoor air conditioner designed for ground level or rooftop installations. These units offer comfort and dependability for single, multi-family and light commercial applications.
- Painted louvered steel cabinet
- Easily accessible control box
- Condenser coils constructed with copper tubing and enhanced aluminum fins
- Grille/Motor mount for quiet fan operation
- Filter Drier (shipped – not installed)



### Performance Data @ AHRI Standard Conditions—Cooling (con't.)

Model Numbers		80°F [26.5°C] DB/67°F [19.5°C] WB Indoor Air 95°F [35°C] DB Outdoor Air					Sound Rating dB	Indoor CFM [L/s]	
Outdoor Unit 14AJM	Indoor Coil and/or Air Handler	Total Capacity BTU/H [kW]	Net Sensible BTU/H [kW]	Net Latent BTU/H [kW]	EER	SEER			
36	Rev. 4/5/13	RCQD-3621+RXMD-C04	36,800 [10.8]	27,100 [7.9]	9,700 [2.8]	12.00	14.50	77	1,200 [566]
		RBHM-24J(RCQD-3624)	38,500 [11.3]	30,500 [8.9]	8,000 [2.3]	13.00	16.00	77	1,175 [554]
		RCQD-3624(RGFE-09?ZCM?)	37,600 [11.0]	27,650 [8.1]	9,950 [2.9]	13.00	15.50	77	1,200 [566]
		RCQD-3624(RGFE-10?ZCM?)	37,400 [11.0]	27,500 [8.1]	9,900 [2.9]	13.00	15.50	77	1,225 [578]
		RCQD-3624(RGFE-12?RCM?)	37,600 [11.0]	27,650 [8.1]	9,950 [2.9]	13.00	16.00	77	1,225 [578]
		RCQD-3624(RGFG-09NZCMS)	38,000 [11.1]	28,700 [8.4]	9,300 [2.7]	13.00	16.00	77	1,200 [566]
		RCQD-3624(RGFG-09EZCMS)	38,000 [11.1]	28,700 [8.4]	9,300 [2.7]	13.00	16.00	77	1,200 [566]
		RCQD-3624(RGFG-10EZCMS)	38,000 [11.1]	28,700 [8.4]	9,300 [2.7]	13.00	16.00	77	1,200 [566]
		RCQD-3624(RGFG-10NZCMS)	38,000 [11.1]	28,700 [8.4]	9,300 [2.7]	13.00	16.00	77	1,200 [566]
		RCQD-3624(RGFG-12NRCMS)	38,500 [11.3]	29,300 [8.6]	9,200 [2.7]	13.00	16.00	77	1,225 [578]
		RCQD-3624(RGFG-12ERCMS)	38,500 [11.3]	29,300 [8.6]	9,200 [2.7]	13.00	16.00	77	1,225 [578]
		RCQD-3624(RGJF-09?ZCM?)	37,600 [11.0]	27,650 [8.1]	9,950 [2.9]	13.00	16.00	77	1,225 [578]
		RCQD-3624(RGJF-10?ZCM?)	37,600 [11.0]	27,650 [8.1]	9,950 [2.9]	13.00	15.50	77	1,200 [566]
		RCQD-3624(RGJF-12?RCM?)	37,800 [11.1]	27,800 [8.1]	10,000 [2.9]	13.00	16.00	77	1,200 [566]
		RCQD-3624(RGPE-07?BRQ?)	37,000 [10.8]	26,250 [7.7]	10,750 [3.1]	13.00	16.00	77	1,050 [495]
		RCQD-3624(RGPE-10?BRM?)	37,200 [10.9]	26,600 [7.8]	10,600 [3.1]	13.00	16.00	77	1,075 [507]
		RCQD-3624(RGPE-12?ARM?)	37,200 [10.9]	26,550 [7.8]	10,650 [3.1]	13.00	16.00	77	1,075 [507]
		RCQD-3624(RGPT-07?BRQ?)	37,200 [10.9]	26,450 [7.7]	10,750 [3.1]	13.00	16.00	77	1,050 [495]
		RCQD-3624(RGPT-10?BRM?)	37,200 [10.9]	26,550 [7.8]	10,650 [3.1]	13.00	16.00	77	1,075 [507]
		RCQD-3624(RGPT-12?ARM?)	37,800 [11.1]	27,800 [8.1]	10,000 [2.9]	13.00	16.00	77	1,225 [578]
		RCQD-3624(RGRM-07?YBG?)	36,600 [10.7]	26,000 [7.6]	10,600 [3.1]	12.50	15.00	77	1,050 [495]
		RCQD-3624(RGRM-09?ZAJ?)	37,000 [10.8]	26,450 [7.7]	10,550 [3.1]	13.00	16.00	77	1,075 [507]
		RCQD-3624(RGRM-10?ZAJ?)	37,200 [10.9]	27,050 [7.9]	10,150 [3.0]	13.00	15.50	77	1,150 [543]
		RCQD-3624(RGRM-12?RAJ?)	37,000 [10.8]	26,400 [7.7]	10,600 [3.1]	13.00	16.00	77	1,075 [507]
		RCQD-3624(RGTM-07?RBG?)	38,500 [11.3]	30,200 [8.8]	8,300 [2.4]	13.00	16.00	77	1,125 [531]
		RCQD-3624(RGTM-09?ZAJ?)	38,000 [11.1]	29,500 [8.6]	8,500 [2.5]	13.00	16.00	77	1,100 [519]
		RCQD-3624(RGTM-10?RBJ?)	38,500 [11.3]	30,200 [8.8]	8,300 [2.4]	13.00	16.00	77	1,125 [531]
		RCQD-3624(ROCA-070E03)	37,400 [11.0]	27,500 [8.1]	9,900 [2.9]	13.00	15.50	77	1,200 [566]
		RCQD-3624(ROCA-070E04)	37,400 [11.0]	27,500 [8.1]	9,900 [2.9]	13.00	15.50	77	1,200 [566]
		RCQD-3624(ROLA-070E03)	37,600 [11.0]	27,650 [8.1]	9,950 [2.9]	13.00	16.00	77	1,175 [554]
		RCQD-3624(ROLA-070E04)	37,600 [11.0]	27,650 [8.1]	9,950 [2.9]	13.00	16.00	77	1,175 [554]
		RCQD-3624(ROLA-115E05)	37,800 [11.1]	27,800 [8.1]	10,000 [2.9]	13.00	16.00	77	1,200 [566]
		RCQD-3624+RXMD-C04	36,800 [10.8]	27,100 [7.9]	9,700 [2.8]	12.00	14.50	77	1,200 [566]
		RHKL-HM3617(RCSL-H*3617)	36,200 [10.6]	26,100 [7.6]	10,100 [3.0]	12.50	15.00	77	1,225 [578]
		RHLL-HM3617(RCSL-H*3617)	36,200 [10.6]	25,950 [7.6]	10,250 [3.0]	13.00	15.50	77	1,200 [566]
		RHSL-HM3617(RCSL-H*3617)	35,000 [10.3]	24,350 [7.1]	10,650 [3.1]	12.00	14.50	77	1,100 [519]
	RHSL-HM3621(RCSL-H*3621)	35,000 [10.3]	24,350 [7.1]	10,650 [3.1]	12.00	14.50	77	1,100 [519]	
	RHKL-HM3821(RCSL-H*3821)	37,400 [11.0]	27,800 [8.1]	9,600 [2.8]	13.00	16.00	77	1,200 [566]	
	RHLL-HM3821(RCSL-H*3821)	37,600 [11.0]	27,250 [8.0]	10,350 [3.0]	13.00	16.00	77	1,175 [554]	
	RHPN-HM3624(RCSN-H*3624)	39,500 [11.6]	29,850 [8.7]	9,650 [2.8]	13.00	16.00	77	1,200 [566]	
42		RCFL-H*4821+RXMD-C04 ⊕	40,500 [11.9]	29,750 [8.7]	10,750 [3.1]	12.00	14.50	77	1,425 [672]
		RCFL-A*4821(RGFE-09?ZCM?)	40,000 [11.7]	27,950 [8.2]	12,050 [3.5]	12.50	15.10	77	1,200 [566]
		RCFL-A*4821(RGFE-10?ZCM?)	40,000 [11.7]	28,100 [8.2]	11,900 [3.5]	12.50	15.10	77	1,225 [578]
		RCFL-A*4821(RGFG-09EZCMS)	40,000 [11.7]	27,800 [8.1]	12,200 [3.6]	12.50	15.10	77	1,200 [566]
		RCFL-A*4821(RGFG-09NZCMS)	40,000 [11.7]	27,800 [8.1]	12,200 [3.6]	12.50	15.10	77	1,200 [566]
		RCFL-A*4821(RGFG-10EZCMS)	40,000 [11.7]	27,800 [8.1]	12,200 [3.6]	12.50	15.00	77	1,200 [566]
		RCFL-A*4821(RGFG-10NZCMS)	40,000 [11.7]	27,800 [8.1]	12,200 [3.6]	12.50	15.00	77	1,200 [566]
		RCFL-A*4821(RGGE-06?MCK?)	39,500 [11.6]	27,500 [8.1]	12,000 [3.5]	12.00	14.50	77	1,200 [566]
		RCFL-A*4821(RGGE-07?MCK?)	39,500 [11.6]	27,500 [8.1]	12,000 [3.5]	12.00	14.50	77	1,200 [566]
		RCFL-A*4821(RGGE-09?ZCM?)	40,000 [11.7]	28,050 [8.2]	11,950 [3.5]	12.50	15.10	77	1,225 [578]

⊕ Highest sales volume tested combination required by D.O.E. test procedures.

[ ] Designates Metric Conversions



## Electrical and Physical Data

Model Number 14AJM	ELECTRICAL							PHYSICAL						
	Phase Frequency (Hz) Voltage (Volts)	Compressor		Fan Motor Full Load Amperes (FLA)	Minimum Circuit Capacity Amperes	Fuse or HACR Circuit Breaker		Outdoor Coil			Refrig. Per Circuit Oz. (g)	Weight		
		Rated Load Amperes (RLA)	Locked Rotor Amperes (LRA)			Minimum Amperes	Maximum Amperes	Face Area Sq. Ft. (m <sup>2</sup> )	No. Rows	CFM (L/s)		Net Lbs. (kg)	Shipping Lbs. (kg)	
Rev. 4/5/2013														
19	1-60-208/230	9/9	46	0.5	12/12	15/15	20/20	11.80 [1.1]	1	2805 [1324]	87 [2466]	140 [63.5]	157 [63.5]	
25	1-60-208/230	13.5/13.5	58.3	0.8	18/18	25/25	30/30	16.39 [1.52]	1	2805 [1324]	105.6 [2994]	154 [69.9]	171 [69.9]	
30	1-60-208/230	12.8/12.8	64	0.68	18/18	25/25	30/30	16.39 [1.52]	1	2915 [1376]	112 [3175]	157 [71.2]	175 [71.2]	
36	1-60-208/230	16.7/16.7	79	1.9	23/23	30/30	35/35	21.85 [2.03]	1	3435 [1621]	130.4 [3697]	181 [82.1]	201 [82.1]	
42	1-60-208/230	17.9/17.9	112	2.8	26/26	30/30	40/40	21.85 [2.03]	1	3550 [1675]	145.12 [4114]	205 [93]	225 [93]	
48	1-60-208/230	21.8/21.8	117	2.8	31/31	40/40	50/50	21.85 [2.03]	2	4310 [2034]	216 [6124]	249 [112.9]	269 [112.9]	
49	1-60-208/230	19.9/19.9	109	1.9	27/27	35/35	45/45	21.85 [2.03]	2	3615 [1706]	213 [6039]	249 [112.9]	269 [112.9]	
56	1-60-208/230	21.4/21.4	135	1.9	29/29	35/35	50/50	21.85 [2.03]	2	3615 [1706]	241 [6832]	254 [115.2]	274 [115.2]	
60	1-60-208/230	26.4/26.4	134	1.7	36/36	45/45	60/60	21.85 [2.03]	2	4310 [2034]	240 [6804]	254 [115.2]	274 [115.2]	

NOTE: Factory Refrigerant Charge includes refrigerant for 15 feet of standard line set.

[ ] Designates Metric Conversions

## Condensing Unit Refrigerant Line Size Information

Liquid Line Sizing (R-410A)														
System Capacity	Liquid Line Connection Size (Inch I.D.)	Line Size (Inch O.D.) (mm)	Liquid Line Size – Outdoor Unit Above Indoor Coil (Cooling Only—Does not apply to Heat Pumps)						Liquid Line Size – Outdoor Unit Below Indoor Coil					
			Total Equivalent Length—Feet [m]						Total Equivalent Length—Feet [m]					
			25 [7.62]	50 [15.24]	75 [22.86]	100 [30.48]	125 [38.10]	150 [45.72]	25 [7.62]	50 [15.24]	75 [22.86]	100 [30.48]	125 [38.10]	150 [45.72]
			Minimum Vertical Separation—Feet [m]						Maximum Vertical Separation—Feet [m]					
1 1/2 Ton	3/8" [9.53]	1/4 [6.35]	0	0	0	0	8 [2.44]	24 [7.32]	25 [7.62]	40 [12.19]	25 [7.62]	9 [2.74]	N/A	N/A
		5/16 [7.94]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	62 [18.90]	58 [17.68]	53 [16.15]	49 [14.94]
		3/8* [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	75 [22.86]	72 [21.95]	70 [21.34]	68 [20.73]
2 Ton	3/8" [9.53]	1/4 [6.35]	0	3 [0.91]	29 [8.84]	55 [16.76]	81 [24.69]	108 [32.92]	23 [7.01]	N/A	N/A	N/A	N/A	N/A
		5/16 [7.94]	0	0	0	0	0	0	25 [7.62]	36 [10.97]	29 [8.84]	23 [7.01]	16 [4.88]	9 [2.74]
		3/8* [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	72 [21.95]	70 [21.34]	68 [20.73]	65 [19.81]
2 1/2 Ton	3/8" [9.53]	1/4 [6.35]	0	14 [4.27]	56 [17.07]	98 [29.87]	N/A	N/A	25 [7.62]	N/A	N/A	N/A	N/A	N/A
		5/16 [7.94]	0	0	0	0	0	0	25 [7.62]	49 [14.94]	38 [11.58]	27 [8.23]	17 [5.18]	6 [1.83]
		3/8* [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	68 [20.73]	65 [19.81]	62 [18.90]	58 [17.68]
3 Ton	3/8" [9.53]	5/16 [7.94]	0	0	0	0	0	9 [2.74]	25 [7.62]	50 [15.24]	37 [11.28]	22 [6.71]	7 [2.13]	N/A
		3/8* [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	68 [20.73]	63 [19.20]	58 [17.68]	53 [16.15]
3 1/2 Ton	3/8" [9.53]	5/16 [7.94]	0	0	0	16 [4.88]	35 [10.67]	54 [16.46]	25 [7.62]	23 [7.01]	4 [1.22]	N/A	N/A	N/A
		3/8* [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	43 [13.11]	36 [10.97]	30 [9.14]	24 [7.32]
4 Ton	3/8" [9.53]	3/8* [9.53]	0	0	0	0	0	0	25 [7.62]	46 [14.02]	38 [11.58]	30 [9.14]	22 [6.71]	15 [4.57]
		1/2 [12.57]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	56 [17.07]	55 [16.76]	53 [16.15]	52 [15.85]
5 Ton	3/8" [9.53]	3/8* [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	56 [17.07]	44 [13.41]	32 [9.75]	20 [6.10]
		1/2 [12.57]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	75 [22.86]	81 [24.69]	79 [24.08]	76 [23.16]

NOTES: \*Standard line size  
N/A = Application not recommended.

Suction Line Length/Size versus Capacity Multiplier (R-410A)									
Unit Size		1 1/2 Ton	2 Ton	2 1/2 Ton	3 Ton	3 1/2 Ton	4 Ton	5 Ton	
Suction Line Connection Size		3/4" [19.05] I.D.				7/8" [22.23] I.D.			
Suction Line Run—Feet [m]		5/8" [15.88 mm] O.D. Optional 3/4" [19.05 mm] O.D. Standard*		5/8" [15.88 mm] O.D. Optional 3/4" [19.05 mm] O.D. Standard* 7/8" [22.23 mm] O.D. Optional		3/4" [19.05 mm] O.D. Optional 7/8" [22.23 mm] O.D. Standard*		7/8" [22.23 mm] O.D. Optional 1 1/8" [28.58 mm] O.D. Standard*	
25' [7.62]	Optional	1.00	1.00	1.00	1.00	1.00	1.00	1.00	
	Standard	1.00	1.00	1.00	1.00	1.00	1.00	1.00	
	Optional	—	—	1.00	—	—	—	—	
50' [15.24]	Optional	.98	.98	.96	.98	.99	.99	.99	
	Standard	.99	.99	.98	.99	.99	.99	.99	
	Optional	—	—	.99	—	—	—	—	
100' [30.48]	Optional	.95	.95	.94	.96	.96	.96	.97	
	Standard	.96	.96	.96	.97	.98	.98	.98	
	Optional	—	—	.97	—	—	—	—	
150' [45.72]	Optional	.92	.92	.91	.94	.94	.95	.94	
	Standard	.93	.94	.93	.95	.96	.96	.97	
	Optional	—	—	.95	—	—	—	—	

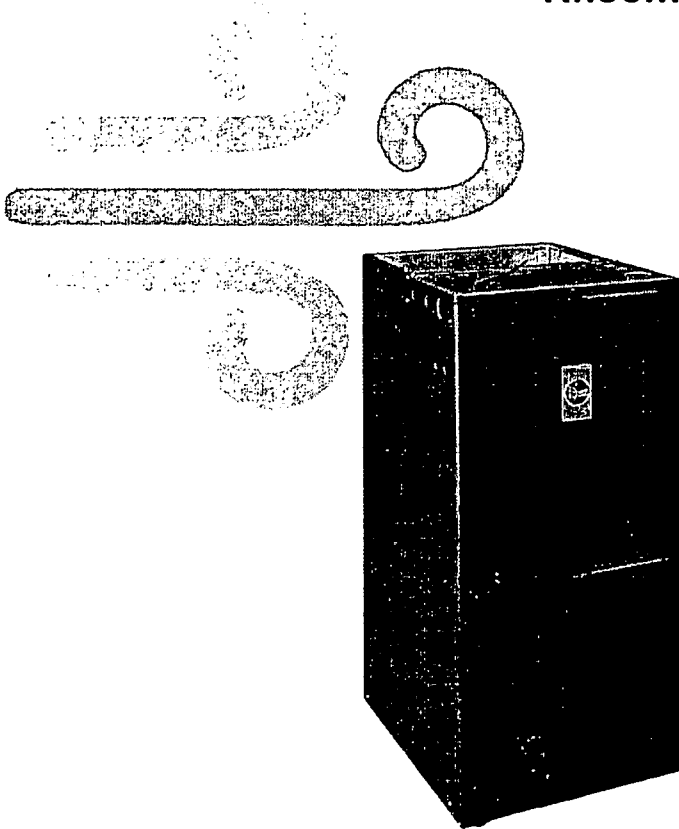
NOTES: \*Standard line size  
Using suction line larger than shown in chart will result in poor oil return and is not recommended.  
3 Ton Suction Line Connection is 3/4"

[ ] Designates Metric Conversions



The new degree of comfort™

## Rheem High Efficiency Air Handler



### RHLL- Series

X-13 (ECM) Motor

Efficiencies up to 16 SEER



- RHLL feature an X-13 (ECM) motor which provides enhanced SEER performance with most Rheem outdoor units.
- Versatile 4-way convertible design for upflow, downflow, horizontal left and horizontal right applications.
- Factory-installed high efficiency indoor coil.
- Sturdy cabinet construction with 1.0 inch [25.4 mm] of foil faced insulation for excellent sound and insulating characteristics.
- Field-installed auxiliary electric heater kits provide exact heat for indoor comfort. Kits include circuit breakers which meet U.L. and cUL requirements for service disconnect.
- 1 1/2 ton [5.3 kW] through 5 ton [17.6 kW] models are between 42 1/2 to 55 1/2 inches [1080 to 1410 mm] tall and 22 inches [559 mm] deep.
- All models meet or exceed 330 to 400 CFM [156 to 189 L/s] per ton at .3 inches [.7 kPa] of external static pressure.
- Enhanced airflow up to .7" external static pressure.



## Engineering Features

### RHLL- Series

- The most compact unit design available, all standard heat air handler models only 42½ to 55½ inches [1079 to 1409 mm] high.
  - Attractive pre-painted cabinet exterior.
  - Rugged wall steel cabinet construction, designed for added strength and versatility.
  - 1.0" foil faced insulation mechanically retained in blower compartment for excellent thermal and sound performance.
  - Four leg blower motor mount.
  - Blower housing with controls, motor and blower. Slide out design for service and maintenance convenience.
  - Traditional open wire element design for heat applications.
  - Field convertible for vertical downflow, horizontal left hand or right hand air supply.
  - 3 combustible floor base accessories fit all model sizes when required for downflow installations on combustible floors.
  - Indoor coil design provides low air side pressure drop, high performance and extremely compact size.
  - Expansion valve on indoor coil provides for operation with air conditioning or heat pump using the same coil.
  - Coils are constructed of aluminum fins bonded to internally grooved copper tubing.
  - Molded polymer corrosion resistant condensate drain pan is provided on all indoor coils.
  - Supply duct flanges provided as standard on air handler cabinet.
  - Provisions for field electrical, connections available from either side or top of the air handler cabinet.
  - Connection point for high voltage wiring is inside the air handler cabinet. Low voltage connection is made on the outside of the air handler cabinet.
  - Concentric knockouts are provided for power connection to cabinet. Installer may pull desired hole size up to 2 inches [51 mm] for 1½ inch [38 mm] conduit.
  - Front refrigerant and drain connections.
- [ ] Designates Metric Conversions





## Electrical Data – With Electric Heat

Installation of the U.L. Listed original equipment manufacturer provided heater kits listed in the following table is recommended for all auxiliary heating requirements.

Air Handler Model RHL	Heater Model No.	Heater kW (208/240V) (480V)	PH/HZ	No. Elements kW Per	Type Supply Circuit Single Circuit Multiple	Circuit Amps.	Motor Ampacity	Minimum Circuit Ampacity	Maximum Circuit Protector
2417	RXBH-1724703J	2.25/3.0	1/60	1 - 3.0	SINGLE	10.8/12.5	1.6	16/18	20/20
	RXBH-1724705J	3.6/4.8	1/60	1 - 4.8	SINGLE	17.3/20.0	1.6	24/27	25/30
	RXBH-1724707J	5.4/7.2	1/60	2 - 3.6	SINGLE	26.0/30.0	1.6	35/40	35/40
	RXBH-1724710J	7.2/9.6	1/60	2 - 4.8	SINGLE	34.6/40.0	1.6	46/52	50/60
	RXBH-1724A13J	9.4/12.5	1/60	3-4.17	SINGLE	45.1/52.1	1.6	59/68	60/70
	RXBH-1724A13J	3.1/4.2	1/60	1-4.17	MULTIPLE CKT 1	15.0/17.4	1.6	21/24	25/25
		6.3/8.3	1/60	2-4.17	MULTIPLE CKT 2	30.1/34.7	0.0	38/44	40/45
	RXBH-1724A07C	5.4/7.2	3/60	3 - 2.4	SINGLE	15.0/17.3	1.6	21/24	25/25
	RXBH-1724A10C	7.2/9.6	3/60	3 - 3.2	SINGLE	20.0/23.1	1.6	27/31	30/35
RXBH-1724A13C	9.4/12.5	3/60	3-4.17	SINGLE	26.1/30.1	1.6	35/40	35/40	
3617	RXBH-1724703J	2.25/3.0	1/60	1 - 3.0	SINGLE	10.8/12.5	2.8	17/20	20/20
	RXBH-1724705J	3.6/4.8	1/60	1 - 4.8	SINGLE	17.3/20.0	2.8	26/29	30/30
	RXBH-1724707J	5.4/7.2	1/60	2 - 3.6	SINGLE	26.0/30.0	2.8	36/41	40/45
	RXBH-1724710J	7.2/9.6	1/60	2 - 4.8	SINGLE	34.6/40.0	2.8	47/54	50/60
	RXBH-1724A13J	9.4/12.5	1/60	3-4.17	SINGLE	45.1/52.1	2.8	60/69	60/70
	RXBH-1724A13J	3.1/4.2	1/60	1-4.17	MULTIPLE CKT 1	15.0/17.4	2.8	23/26	25/30
		6.3/8.3	1/60	2-4.17	MULTIPLE CKT 2	30.1/34.7	0.0	38/44	40/45
	RXBH-1724A15J	10.8/14.4	1/60	3-4.8	SINGLE	51.9/60	2.8	69/79	70/80
	RXBH-1724A15J	3.6/4.8	1/60	1 - 4.8	MULTIPLE CKT 1	17.3/20.0	2.8	26/29	30/30
		7.2/9.6	1/60	2 - 4.8	MULTIPLE CKT 2	34.6/40.0	0.0	44/50	45/50
	RXBH-1724A18J	12.8/17	1/60	3-5.68	SINGLE	61.6/70.8	2.8	81/92	90/100
	RXBH-1724A18J	4.3/5.7	1/60	1 - 5.68	MULTIPLE CKT 1	20.5/23.6	2.8	30/33	30/35
		8.7/11.3	1/60	2 - 5.68	MULTIPLE CKT 2	41.1/47.2	0.0	52/59	60/60
	RXBH-1724A07C	5.4/7.2	3/60	3 - 2.4	SINGLE	15.0/17.3	2.8	23/26	25/30
	RXBH-1724A10C	7.2/9.6	3/60	3 - 3.2	SINGLE	20.0/23.1	2.8	29/33	30/35
	RXBH-1724A13C	9.4/12.5	3/60	3-4.17	SINGLE	26.1/30.1	2.8	37/42	40/45
	RXBH-1724A15C	10.8/14.4	3/60	3 - 4.8	SINGLE	30.0/34.6	2.8	41/47	45/50
	RXBH-1724A18C	12.8/17.0	3/60	3-5.68	SINGLE	35.5/41.0	2.8	48/55	50/60
3821/4821	RXBH-1724703J	2.25/3.0	1/60	1 - 3.0	SINGLE	10.8/12.5	4.0	19/21	20/25
	RXBH-1724705J	3.6/4.8	1/60	1 - 4.8	SINGLE	17.3/20.0	4.0	27/30	30/30
	RXBH-1724707J	5.4/7.2	1/60	2 - 3.6	SINGLE	26.0/30.0	4.0	38/43	40/45
	RXBH-1724710J	7.2/9.6	1/60	2 - 4.8	SINGLE	34.6/40.0	4.0	49/55	50/60
	RXBH-1724A13J	9.4/12.5	1/60	3-4.17	SINGLE	45.1/52.1	4.0	62/71	60/70
	RXBH-1724A13J	3.1/4.2	1/60	1-4.17	MULTIPLE CKT 1	15.0/17.4	4.0	24/27	25/30
		6.3/8.3	1/60	2-4.17	MULTIPLE CKT 2	30.1/34.7	0.0	38/44	40/45
	RXBH-1724A15J	10.8/14.4	1/60	3-4.8	SINGLE	51.9/60	4.0	70/80	70/80
	RXBH-1724A15J	3.6/4.8	1/60	1 - 4.8	MULTIPLE CKT 1	17.3/20.0	4.0	27/30	30/30
		7.2/9.6	1/60	2 - 4.8	MULTIPLE CKT 2	34.6/40.0	0.0	44/50	45/50
	RXBH-1724A18J	12.8/17	1/60	3-5.68	SINGLE	61.6/70.8	4.0	82/94	90/100
	RXBH-1724A18J	4.3/5.7	1/60	1 - 5.68	MULTIPLE CKT 1	20.5/23.6	4.0	31/35	30/35
		8.7/11.3	1/60	2 - 5.68	MULTIPLE CKT 2	41.1/47.2	0.0	52/59	60/60
	RXBH-24A20J (4-ton only)	14.4/19.2	1/60	4-4.8	SINGLE	69.2/80	4.0	92/105	100/110

- Supply circuit protective devices may be fuses or "HACR" type circuit breakers.
- Largest motor load is included in single circuit and multiple circuit 1.
- If non-standard fuse size is specified, use next size larger standard fuse size.
- J Voltage (230V) single phase air handler is designed to be used with single or three phase 230 volt electric heaters. In the case of connecting 3-phase power to the air handler terminal block without the heater, bring only two leads to the terminal block cap, insulate and fully secure the third lead.

[ ] Designates Metric Conversions

## Electrical Data – With Electric Heat (Cont.)

Installation of the U.L. Listed original equipment manufacturer provided heater kits listed in the following table is recommended for all auxiliary heating requirements.

Air Handler Model RHLL	Heater Model No.	Heater kW (208/240V) (480V)	PH/HZ	No. Elements kW Per	Type Supply Circuit Single Circuit Multiple	Circuit Amps.	Motor Ampacity	Minimum Circuit Ampacity	Maximum Circuit Protector
3821/4821	RXBH-24A20J (4-ton only)	7.2/9.6	1/60	2 - 4.8	MULTIPLE CKT 1	34.5/40.0	4.0	49/55	50/60
		7.2/9.6	1/60	2 - 4.8	MULTIPLE CKT 2	34.5/40.0	0.0	44/50	45/50
	RXBH-24A25J (4-ton only)	18.0/24.0	1/60	6-4.0	SINGLE	86.4/99.9	4.0	113/130	125/150
	RXBH-24A25J (4-ton only)	6.0/8.0	1/60	2.4.0	MULTIPLE CKT 1	28.8/33.3	4.0	41/47	45/50
		6.0/8.0	1/60	2-4.0	MULTIPLE CKT 2	28.8/33.3	0.0	36/42	40/45
		6.0/8.0	1/60	2-4.0	MULTIPLE CKT 3	28.8/33.3	0.0	36/42	40/45
	RXBH-1724A07C	5.4/7.2	3/60	3 - 2.4	SINGLE	15.0/17.3	4.0	24/27	25/30
	RXBH-1724A10C	7.2/9.6	3/60	3 - 3.2	SINGLE	20.0/23.1	4.0	30/34	30/35
	RXBH-1724A13C	9.4/12.5	3/60	3-4.17	SINGLE	26.1/30.1	4.0	38/43	40/45
	RXBH-1724A15C	10.8/14.4	3/60	3 - 4.8	SINGLE	30.0/34.6	4.0	43/49	45/50
	RXBH-1724A18C	12.8/17.0	3/60	3-5.68	SINGLE	35.5/41.0	4.0	50/57	50/60
	RXBH-24A20C (4-ton only)	7.2-9.6	3/60	3-3.2	SINGLE	40.0/46.2	4.0	55/63	60/70
	RXBH-24A20C (4-ton only)	7.2/9.6	3/60	3 - 3.2	MULTIPLE CKT 1	20.0/23.1	4.0	30/34	30/35
		7.2/9.6	3/60	3 - 3.2	MULTIPLE CKT 2	20.0/23.1	0.0	25/29	25/30
	RXBH-24A25C (4-ton only)	18.0/24.0	3/60	6-4.0	SINGLE	50.0/57.8	4.0	68/78	70/80
	RXBH-24A25C (4-ton only)	9.0/12.0	3/60	3-4.0	MULTIPLE CKT 1	25.0/28.9	4.0	37/42	40/45
9.0/12.0		3/60	3-4.0	MULTIPLE CKT 2	25.0/28.9	0.0	32/37	35/40	
4824	RXBH-1724?03J	2.25/3.0	1/60	1 - 3.0	SINGLE	10.8/12.5	4.6	20/22	20/25
	RXBH-1724?05J	3.6/4.8	1/60	1 - 4.8	SINGLE	17.3/20.0	4.6	28/31	30/35
	RXBH-1724?07J	5.4/7.2	1/60	2 - 3.6	SINGLE	26.0/30.0	4.6	39/44	40/45
	RXBH-1724?10J	7.2/9.6	1/60	2 - 4.8	SINGLE	34.6/40.0	4.6	49/56	50/60
	RXBH-1724A13J	9.4/12.5	1/60	3-4.17	SINGLE	45.1/52.1	4.6	63/71	60/70
	RXBH-1724A13J	3.1/4.2	1/60	1-4.17	MULTIPLE CKT 1	15.0/17.4	4.6	25/28	25/30
		6.3/8.3	1/60	2-4.17	MULTIPLE CKT 2	30.1/34.7	0.0	38/44	40/45
	RXBH-1724A15J	10.8/14.4	1/60	3-4.8	SINGLE	51.9/60	4.6	71/81	80/90
	RXBH-1724A15J	3.6/4.8	1/60	1 - 4.8	MULTIPLE CKT 1	17.3/20.0	4.6	28/31	30/35
		7.2/9.6	1/60	2 - 4.8	MULTIPLE CKT 2	34.6/40.0	0.0	44/50	45/50
	RXBH-1724A18J	12.8/17	1/60	3-5.68	SINGLE	61.6/70.8	4.6	83/95	90/100
	RXBH-1724A18J	4.3/5.7	1/60	1 - 5.68	MULTIPLE CKT 1	20.5/23.6	4.6	32/36	30/35
		8.7/11.3	1/60	2 - 5.68	MULTIPLE CKT 2	41.1/47.2	0.0	52/59	60/60
	RXBH-24A20J	14.4/19.2	1/60	4-4.8	SINGLE	69.2/80	4.6	93/106	100/110
	RXBH-24A20J	7.2/9.6	1/60	2 - 4.8	MULTIPLE CKT 1	34.6/40.0	4.6	49/56	50/60
		7.2/9.6	1/60	2 - 4.8	MULTIPLE CKT 2	34.6/40.0	0.0	44/50	45/50
	RXBH-24A25J	18.0/24.0	1/60	6-4.0	SINGLE	86.4/99.9	4.6	114/131	125/150
	RXBH-24A25J	6.0/8.0	1/60	2.4.0	MULTIPLE CKT 1	28.8/33.3	4.6	42/48	45/50
		6.0/8.0	1/60	2-4.0	MULTIPLE CKT 2	28.8/33.3	0.0	36/42	40/45
		6.0/8.0	1/60	2-4.0	MULTIPLE CKT 3	28.8/33.3	0.0	36/42	40/45
	RXBH-1724A07C	5.4/7.2	3/60	3 - 2.4	SINGLE	15.0/17.3	4.6	25/28	25/30
	RXBH-1724A10C	7.2/9.6	3/60	3 - 3.2	SINGLE	20.0/23.1	4.6	31/35	35/35
	RXBH-1724A13C	9.4/12.5	3/60	3-4.17	SINGLE	26.1/30.1	4.6	39/44	40/45
	RXBH-1724A15C	10.8/14.4	3/60	3 - 4.8	SINGLE	30.0/34.6	4.6	44/49	45/50
	RXBH-1724A18C	12.8/17.0	3/60	3-5.68	SINGLE	35.5/41.0	4.6	51/57	60/60
	RXBH-24A20C	7.2-9.6	3/60	3-3.2	SINGLE	40.0/46.2	4.6	56/64	60/70

- Supply circuit protective devices may be fuses or "HACR" type circuit breakers.
- Largest motor load is included in single circuit and multiple circuit 1.
- If non-standard fuse size is specified, use next size larger standard fuse size.
- J Voltage (230V) single phase air handler is designed to be used with single or three phase 230 volt electric heaters. In the case of connecting 3-phase power to the air handler terminal block without the heater, bring only two leads to the terminal block cap, insulate and fully secure the third lead.

[ ] Designates Metric Conversions

## Electrical Data – With Electric Heat (Cont.)

Installation of the U.L. Listed original equipment manufacturer provided heater kits listed in the following table is recommended for all auxiliary heating requirements.

Air Handler Model RHLL	Heater Model No.	Heater kW (208/240V) (480V)	PH/HZ	No. Elements kW Per	Type Supply Circuit Single Circuit Multiple	Circuit Amps.	Motor Ampacity	Minimum Circuit Ampacity	Maximum Circuit Protector
4824	RXBH-24A20C	7.2/9.6	3/60	3 - 3.2	MULTIPLE CKT 1	20.0/23.1	4.6	31/35	35/35
		7.2/9.6	3/60	3 - 3.2	MULTIPLE CKT 2	20.0/23.1	0.0	25/29	25/30
	RXBH-24A25C	18.0/24.0	3/60	6-4.0	SINGLE	50.0/57.8	4.6	69/78	70/80
	RXBH-24A25C	9.0/12.0	3/60	3-4.0	MULTIPLE CKT 1	25.0/28.9	4.6	37/42	40/45
		9.0/12.0	3/60	3-4.0	MULTIPLE CKT 2	25.0/28.9	0.0	32/37	35/40
4824/6024	RXBH-1724?03J	2.25/3.0	1/60	1 - 3.0	SINGLE	10.8/12.5	4.6	20/22	20/25
	RXBH-1724?05J	3.6/4.8	1/60	1 - 4.8	SINGLE	17.3/20.0	4.6	28/31	30/35
	RXBH-1724?07J	5.4/7.2	1/60	2 - 3.6	SINGLE	26.0/30.0	4.6	39/44	40/45
	RXBH-1724?10J	7.2/9.6	1/60	2 - 4.8	SINGLE	34.6/40.0	4.6	49/56	50/60
	RXBH-1724A13J	9.4/12.5	1/60	3-4.17	SINGLE	45.1/52.1	4.6	63/71	60/70
	RXBH-1724A13J	3.1/4.2	1/60	1-4.17	MULTIPLE CKT 1	15.0/17.4	4.6	25/28	25/30
		6.3/8.3	1/60	2-4.17	MULTIPLE CKT 2	30.1/34.7	0.0	38/44	40/45
	RXBH-1724A15J	10.8/14.4	1/60	3-4.8	SINGLE	51.9/60	4.6	71/81	80/90
	RXBH-1724A15J	3.6/4.8	1/60	1 - 4.8	MULTIPLE CKT 1	17.3/20.0	4.6	28/31	30/35
		7.2/9.6	1/60	2 - 4.8	MULTIPLE CKT 2	34.6/40.0	0.0	44/50	45/50
	RXBH-1724A18J	12.8/17	1/60	3-5.68	SINGLE	61.6/70.8	4.6	83/95	90/100
	RXBH-1724A18J	4.3/5.7	1/60	1 - 5.68	MULTIPLE CKT 1	20.5/23.6	4.6	32/36	30/35
		8.7/11.3	1/60	2 - 5.68	MULTIPLE CKT 2	41.1/47.2	0.0	52/59	60/60
	RXBH-24A20J	14.4/19.2	1/60	4-4.8	SINGLE	69.2/80	4.6	93/106	100/110
	RXBH-24A20J	7.2/9.6	1/60	2 - 4.8	MULTIPLE CKT 1	34.6/40.0	4.6	49/56	50/60
		7.2/9.6	1/60	2 - 4.8	MULTIPLE CKT 2	34.6/40.0	0.0	44/50	45/50
	RXBH-24A25J	18.0/24.0	1/60	6-4.0	SINGLE	86.4/99.9	4.6	114/131	125/150
	RXBH-24A25J	6.0/8.0	1/60	2.4.0	MULTIPLE CKT 1	28.8/33.3	4.6	42/48	45/50
		6.0/8.0	1/60	2-4.0	MULTIPLE CKT 2	28.8/33.3	0.0	36/42	40/45
		6.0/8.0	1/60	2-4.0	MULTIPLE CKT 3	28.8/33.3	0.0	36/42	40/45
	RXBH-24A30J (5-ton only)	21.6/28.8	1/60	6-4.8	SINGLE	103.8/120	4.6	136/156	150/175
	RXBH-24A30J (5-ton only)	7.2/9.6	1/60	2-4.8	MULTIPLE CKT 1	34.6/40.0	4.6	49/56	50/60
		7.2/9.6	1/60	2-4.8	MULTIPLE CKT 2	34.6/40.0	0.0	44/50	45/50
		7.2/9.6	1/60	2-4.8	MULTIPLE CKT 3	34.6/40.0	0.0	44/50	45/50
	RXBH-1724A07C	5.4/7.2	3/60	3 - 2.4	SINGLE	15.0/17.3	4.6	25/28	25/30
	RXBH-1724A10C	7.2/9.6	3/60	3 - 3.2	SINGLE	20.0/23.1	4.6	31/35	35/35
	RXBH-1724A13C	9.4/12.5	3/60	3-4.17	SINGLE	26.1/30.1	4.6	39/44	40/45
	RXBH-1724A15C	10.8/14.4	3/60	3 - 4.8	SINGLE	30.0/34.6	4.6	44/49	45/50
	RXBH-1724A18C	12.8/17.0	3/60	3-5.68	SINGLE	35.5/41.0	4.6	51/57	60/60
	RXBH-24A20C	7.2-9.6	3/60	3-3.2	SINGLE	40.0/46.2	4.6	56/64	60/70
	RXBH-24A20C	7.2/9.6	3/60	3 - 3.2	MULTIPLE CKT 1	20.0/23.1	4.6	31/35	35/35
		7.2/9.6	3/60	3 - 3.2	MULTIPLE CKT 2	20.0/23.1	0.0	25/29	25/30
	RXBH-24A25C	18.0/24.0	3/60	6-4.0	SINGLE	50.0/57.8	4.6	69/78	70/80
	RXBH-24A25C	9.0/12.0	3/60	3-4.0	MULTIPLE CKT 1	25.0/28.9	4.6	37/42	40/45
		9.0/12.0	3/60	3-4.0	MULTIPLE CKT 2	25.0/28.9	0.0	32/37	35/40
	RXBH-24A30C (5-ton only)	21.6/28.8	3/60	6-4.8	SINGLE	60.0/69.4	4.6	81/93	90/100
	RXBH-24A30C (5-ton only)	10.8/14.4	3/60	3-4.8	MULTIPLE CKT 1	30.0/34.7	4.6	44/50	45/50
		10.8/14.4	3/60	3-4.8	MULTIPLE CKT 2	30.0/34.7	0.0	38/44	40/45

- Supply circuit protective devices may be fuses or "HACR" type circuit breakers.
- Largest motor load is included in single circuit and multiple circuit 1.
- If non-standard fuse size is specified, use next size larger standard fuse size.
- J Voltage (230V) single phase air handler is designed to be used with single or three phase 230 volt electric heaters. In the case of connecting 3-phase power to the air handler terminal block without the heater, bring only two leads to the terminal block cap, insulate and fully secure the third lead.

[ ] Designates Metric Conversions



# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

5/19 - 14 Page \_\_\_\_ of \_\_\_\_

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10857	Emerquez 1 Kingston Ct. Felice Giuliani Hardscaper	Final Owners	Pass	Close INSPECTOR <i>A</i>
40543	<del>Gray</del> 33710 Shackelford VISITA as of 5/16/19 NO RENEW PERMIT	Final <del>Kevin Shackelford</del> was inspected not sure if Prof	<del>Pass</del>	<del>Kevin Shackelford</del> 220-2487 Close INSPECTOR <i>A</i>
10834	Twohey 112 Henry Sewalls Way Len - Sea Gate Bldrs	ROOF SHEATHING Stapdown/Tie Down & Elec. if done when you get there	Pass	Len Polansky INSPECTOR <i>A</i>
<del>10834</del>	<del>Twohey</del> 48 S Sewall's Pt Rd	<del>Stem Wall footing</del>		<del>288-9489 Bob INSPECTOR</del>
10849	COULD 48 S. Sewall's Pt. Rd Karem Huddad	Stem Wall Footing	Fail	288-9489 Bond steel/compression INSPECTOR <i>A</i>
	79 S. River	TREE	485-7683	<i>OK</i> INSPECTOR
<del>0543</del>	<del>Gray</del> 33 Hoover Dr Shackelford Ave	<del>At Front</del>		<i>see above</i> INSPECTOR

**10925**

**INTERIOR REMODEL**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	10925	DATE ISSUED:	7/7/2014
SCOPE OF WORK:	INTERIOR REMODEL		
CONTRACTOR:	GLENMARK HOMES		
PARCEL CONTROL NUMBER:	12-38-41-002-000-01000-5	SUBDIVISION	RIO VISTA LOT 100
CONSTRUCTION ADDRESS:	33 RIO VISTA DR		
OWNER NAME:	ROBSON		
QUALIFIER:	GLEN HUTCHINS	CONTACT PHONE NUMBER:	772-225-7010

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM**

INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

### INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

### BUILDING PERMIT RECEIPT

<b>PERMIT NUMBER:</b>	<b>10925</b>		
<b>ADDRESS:</b>	<b>33 RIO VISTA DR</b>		
<b>DATE ISSUED:</b>	<b>7/7/2014</b>	<b>SCOPE OF WORK:</b>	<b>INTERIOR REMODEL</b>

<b>SINGLE FAMILY OR ADDITION /REMODEL</b>	Declared Value	\$	\$ 76,500.00
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Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned spa @ \$ 121.75 per sq. ft. s.f.		\$	-
Total square feet non-conditioned space, or interior remodel: @ \$ 59.81 per sq. ft. s.f.		\$	-
Total square feet remodel with new trusses: \$ 90.78 per sq. ft. s.f.		\$	-
<b>Total Construction Value:</b>		\$	\$ 76,500.00
Building fee: (2% of construction value SFR or >\$200K)		\$	n/a
Building fee: (1% of construction value < \$200K + \$100 per insp.)		\$	765.00
Total number of inspections (Value < \$200K) \$ 100.00 per insp. # insp	\$ 8.00	\$	800.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	\$ 23.48
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	\$ 23.48
Road impact assessment: (.04% of construction value - \$5 min.)		\$	30.60
Martin County Impact Fee:		\$	
<b>TOTAL BUILDING PERMIT FEE:</b>		\$	\$ 1,642.56

<b>ACCESSORY PERMIT</b>	Declared Value:	\$	
Total number of inspections: @ \$ 100.00 per insp. # insp		\$	-
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	n/a
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	n/a
Road impact assessment: (.04% of construction value - \$5 min.)			n/a
<b>TOTAL ACCESSORY PERMIT FEE:</b>		\$	-

*ck 7191  
pd. 7/9/14*

**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

Date: 6/12/14 Permit Number: 10925  
 OWNER/LESSEE NAME: NICK & JANE ROBSON Phone (Day): 286-8581 (Fax): 0  
 Job Site Address: 33 RIO VISTA DR. City: SEWALLS PT State: FL Zip: 34996  
 Legal Description \_\_\_\_\_ Parcel Control Number: \_\_\_\_\_  
 Fee Simple Holder Name: OWNER Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Telephone: \_\_\_\_\_

**\*SCOPE OF WORK (PLEASE BE SPECIFIC):** INTENTION REMODEL KITCHEN & BATHS

**WILL OWNER BE THE CONTRACTOR?**  
 (If yes, Owner Builder questionnaire must accompany application)  
 YES \_\_\_\_\_ NO X  
**Has a Zoning Variance ever been granted on this property?**  
 YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
 (Must include a copy of all variance approvals with application)

**COST AND VALUES:** (Required on ALL permit applications)  
 Estimated Value of Improvements: \$ 26,500.  
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
 Is subject property located in flood hazard area? VE10 AE9 AE8 X  
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
 Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
 (Fair Market Value of the Primary Structure only, Minus the land value)  
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: GLENMARK HOMES INC Phone: 225-7010 Fax: 225-7010  
 Qualifiers name: GLEN HUTCHINS Street: P.O. BOX 654 City: STUART State: FL Zip: 34995  
 State License Number: CBC056057 OR: \_\_\_\_\_ Municipality: \_\_\_\_\_ License Number: \_\_\_\_\_  
 LOCAL CONTACT: GLEN HUTCHINS Phone Number: 341-2750  
 DESIGN PROFESSIONAL: DWIGHT DAVIS Fla. License# \_\_\_\_\_  
 Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Phone Number: \_\_\_\_\_

AREAS SQUARE FOOTAGE: Living: 5000 EST Garage: 500 Covered Patios/ Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_  
 Carport: \_\_\_\_\_ Total under Roof \_\_\_\_\_ Elevated Deck: \_\_\_\_\_ Enclosed area below BFE: \_\_\_\_\_  
 \* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010  
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

**WARNINGS TO OWNERS AND CONTRACTORS:**

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

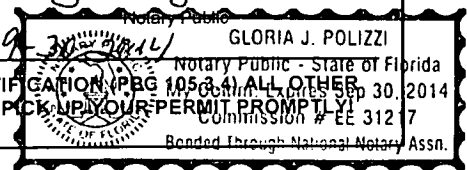
**\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\***

**AFFIDAVIT:** APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

**OWNER/AGENT/LESSEE NOTARIZED SIGNATURE:**  
X \_\_\_\_\_  
 State of Florida, County of: MARTIN  
 On This, the 12<sup>th</sup> day of JUNE, 2014  
 by NICHOLAS ROBSON who is personally known to me or produced FD/L R 125-627-61-014-0  
 As identification CHRISTINE BERGERON  
 My Commission Expires June 21, 2014

**CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:**  
X \_\_\_\_\_  
 State of Florida, County of: Martin  
 On This, the 13 day of June, 2014  
 by Glen K. Hutchins who is personally known to me or produced Florida Driver Lic.  
 As identification Martin J. Puzan  
 My Commission Expires: 9-30-2014

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY





**Martin County, Florida**  
**Laurel Kelly, C.F.A**

*generated on 7/7/2014 12:44:46 PM EDT*

**Summary**

<b>Parcel ID</b>	<b>Account #</b>	<b>Unit Address</b>	<b>Market Total Value</b>	<b>Website Updated</b>
12-38-41-002-000-01000-5	27611	33 RIO VISTA DR, SEWALL'S POINT	\$581,450	6/21/2014

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<b>Owner Information</b>	
<b>Owner(Current)</b>	ROBSON NICHOLAS & JAYNE
<b>Owner/Mail Address</b>	12 RIDGEVIEW RD N STUART FL 34996
<b>Sale Date</b>	5/23/2014
<b>Document Book/Page</b>	2720 0399
<b>Document No.</b>	2457517
<b>Sale Price</b>	615000

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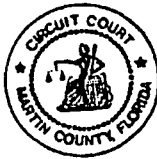
<b>Location/Description</b>			
<b>Account #</b>	27611	<b>Map Page No.</b>	SP-05
<b>Tax District</b>	2200	<b>Legal Description</b>	RIO VISTA S/D LOT 100
<b>Parcel Address</b>	33 RIO VISTA DR, SEWALL'S POINT		
<b>Acres</b>	.4100		

---

<b>Parcel Type</b>	
<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120250 Rio Vista DRY

---

<b>Assessment Information</b>	
<b>Market Land Value</b>	\$234,000
<b>Market Improvement Value</b>	\$347,450
<b>Market Total Value</b>	\$581,450



INSTR # 2462071 DR BK 2725 PG 223 RECD 06/20/2014 10:02:11 AM  
(1 Pgs)  
CAROLYN TIMMANN MARTIN COUNTY CLERK  
DEED DOC \$0.00; MTG DOC \$0.00; INTANGIBLE \$0.00

THIS IS TO CERTIFY THAT THE  
FOREGOING 1 PAGE(S) IS A TRUE  
AND CORRECT COPY OF THE ORIGINAL  
DOCUMENT AS FILED IN THIS OFFICE

CAROLYN TIMMANN, CLERK

BY [Signature] D.C.  
DATE 6/20/14

**NOTICE OF COMMENCEMENT**

To be completed when construction value exceeds \$2,500.00

PERMIT #: \_\_\_\_\_ TAX FOLIO # 12-38-41-002-000-01000-50000

STATE OF FLORIDA COUNTY OF MARTIN

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

**LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS, IF AVAILABLE):**

RIO VISTA S/D LOT 100 33 RIO VISTA DR. SEWALL'S POINT FL 34996.

GENERAL DESCRIPTION OF IMPROVEMENT: INTERIOR RENOVATIONS..

**OWNER INFORMATION OR LESSEE INFORMATION, IF THE LESSEE CONTRACTED FOR THE IMPROVEMENT:**

Name: NICK + JAYNE ROBSON  
Address: 33 RIO VISTA DR. SEWALL'S POINT, FL 34996  
Interest in property: OWNERS.  
Name and address of fee simple title holder (If different from Owner listed above): \_\_\_\_\_

CONTRACTOR'S NAME: GLENMARK HOMES INC. Phone No.: 772 225 7016  
Address: P.O. BOX 654, STUART, FL 34995

SURETY COMPANY (If applicable, a copy of the payment bond is attached):  
Name and address: \_\_\_\_\_ Bond amount: N/A.  
Phone No.: \_\_\_\_\_

LENDER'S NAME: \_\_\_\_\_ Phone No.: \_\_\_\_\_  
Address: \_\_\_\_\_

Persons within the State of Florida designated by owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7, Florida Statutes:

Name: \_\_\_\_\_ Phone No.: \_\_\_\_\_  
Address: \_\_\_\_\_

In addition to himself or herself, owner designates \_\_\_\_\_ of \_\_\_\_\_ to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.  
Phone number of person or entity designated by Owner: \_\_\_\_\_

Expiration date of Notice of Commencement:  
(the expiration date may not be before the completion of construction and final payment to the contractor, but will be 1 year from the date of recording unless a different date is specified): \_\_\_\_\_

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

Under penalty of perjury, I declare that I have read the foregoing and that the facts in it are true to the best of my knowledge and belief.

Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager/Attorney-in-fact

NICHOLAS ROBSON - OWNER  
Signatory's Title/Office

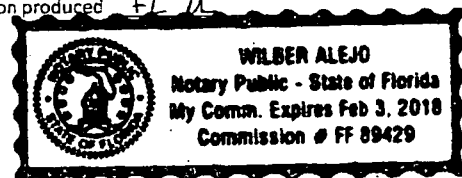
The foregoing instrument was acknowledged before me this 18th day of June, 2014

By: Nicholas G. Robson as owner for Self  
Name of person Type of authority (e.g. officer, trustee) Party on behalf of whom instrument was executed

[Signature]  
Notary's Signature

Personally known  or produced identification   
Type of identification produced FL D

(Print, Type, or Stamp Commissioned Name of Notary)





# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
6/13/2014

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Campbell-Wilson Insurance Agency 8827 SE Bridge Road  Hobe Sound FL 33455-5310		<b>CONTACT NAME:</b> Commercial Lines Department <b>PHONE (A/C No. Ext.):</b> (772) 546-5600 <b>FAX (A/C No.):</b> (772) 546-1008 <b>E-MAIL ADDRESS:</b>	
<b>INSURED</b> Glenmark Homes, Inc. PO Box 654  Stuart FL 34995-0654		<b>INSURER(S) AFFORDING COVERAGE</b>	
		<b>INSURER A:</b> Owners Insurance Company	
		<b>INSURER B:</b>	
		<b>INSURER C:</b>	
		<b>INSURER D:</b>	
		<b>INSURER E:</b>	
		<b>INSURER F:</b>	

**COVERAGES** CERTIFICATE NUMBER: 2014 REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSTR. LTR.	TYPE OF INSURANCE	ADDITIONAL INSURER	POLICY NUMBER	POLICY EFF. (MM/DD/YYYY)	POLICY EXP. (MM/DD/YYYY)	LIMITS
A	<b>GENERAL LIABILITY</b> <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR <input checked="" type="checkbox"/> Liability plus		002382 72584717 14	3/2/2014	3/2/2015	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (EA occurrence) \$ 300,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 1,000,000 PRODUCTS - COMP/OP AGG \$ 1,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC					
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> HIRED AUTOS		None			COMBINED SINGLE LIMIT (EA accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per Accident) \$
	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> EXCESS LIAB		None			EACH OCCURRENCE \$ AGGREGATE \$
	<input type="checkbox"/> WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below		None			WC STATUTORY LIMITS \$ OTHER \$ E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)  
State of Florida - Builder

<b>CERTIFICATE HOLDER</b> (772) 220-4765  Town of Sewall's Point 1 S Sewalls Point Road Sewalls Point, FL 34996	<b>CANCELLATION</b> SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.  AUTHORIZED REPRESENTATIVE  Joanne Wilson/JO
--	--

AC# 6228209

THIS DOCUMENT HAS A COLORED BACKGROUND • MICROPRINTING • LINEMARK™ PATENTED PAPER

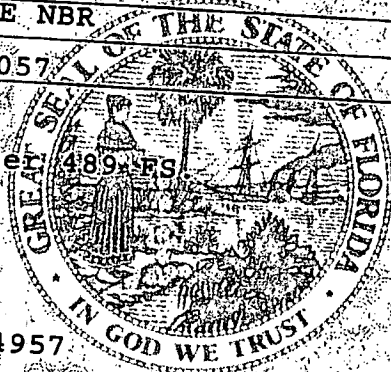
STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L1207260

DATE	BATCH NUMBER	LICENSE NBR
07/26/2012	128018725	CBC056057

The BUILDING CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489, FS  
Expiration date: AUG 31, 2014



HUTCHINS, GLEN KENNETH  
GLENMARK HOMES, INC  
1934 LAKE PL  
JENSEN BEACH

FL 34957

RICK SCOTT  
GOVERNOR

KEN LAWSON  
SECRETARY

DISPLAY AS REQUIRED BY LAW

2013-2014

MARTIN COUNTY ORIGINAL  
BUSINESS TAX RECEIPT

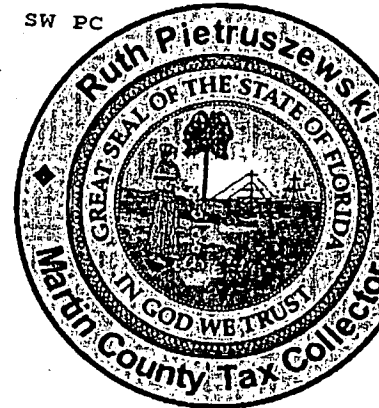
HONORABLE RUTH PIETRUSZEWSKI CFC, TAX COLLECTOR  
3485 S.E. WILLOUGHBY BLVD., STUART, FL 34994  
(772) 288-5604

ACCOUNT 2001-513-0001 CERT CBC05605  
PHONE (561) 225-7010 SIC NO 233210  
LOCATION: 9967 DR VENTURA SW PC

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR. \$ .00	LIC. FEE \$ 26.25
\$ .00	PENALTY \$ .00
\$ .00	COL. FEE \$ .00
\$ .00	TRANSFER \$ .00
TOTAL \$ 26.25	

HUTCHINS, GLEN  
GLENMARK HOMES, INC.  
PO BOX 654  
STUART, FL 34995



IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION  
OF BUILDING CONTRACTOR

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

21 DAY OF AUGUST 13

AND ENDING SEPTEMBER 30, 2014



JEFF ATWATER  
CHIEF FINANCIAL OFFICER

STATE OF FLORIDA  
DEPARTMENT OF FINANCIAL SERVICES  
DIVISION OF WORKERS' COMPENSATION

**\*\* CERTIFICATE OF ELECTION TO BE EXEMPT FROM FLORIDA WORKERS' COMPENSATION LAW \*\***

**CONSTRUCTION INDUSTRY EXEMPTION**

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation law.

**EFFECTIVE DATE:** 4/4/2014                      **EXPIRATION DATE:** 4/3/2016

**PERSON:** HUTCHINS                              GLEN

**FEIN:** 522369598

**BUSINESS NAME AND ADDRESS:**

GLENMARK HOMES INC

PO. BOX654

STUART                              FL                      34995

**SCOPES OF BUSINESS OR TRADE:**

LICENSED BUILDING  
CONTRACTOR

Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter. Pursuant to Chapter 440.05(12), F.S., Certificates of election to be exempt... apply only within the scope of the business or trade listed on the notice of election to be exempt. Pursuant to Chapter 440.05(13), F.S., Notices of election to be exempt and certificates of election to be exempt shall be subject to revocation if, at any time after the filing of the notice or the issuance of the certificate, the person named on the notice or certificate no longer meets the requirements of this section for issuance of a certificate. The department shall revoke a certificate at any time for failure of the person named on the certificate to meet the requirements of this section.

DFS-F2-DWC-252 CERTIFICATE OF ELECTION TO BE EXEMPT REVISED 07-12

QUESTIONS? (850)413-1609



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Florida Department of  
**Business & Professional Regulation**

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**Product Approval**  
USER: Public User

License efficiently. Regulate fairly.

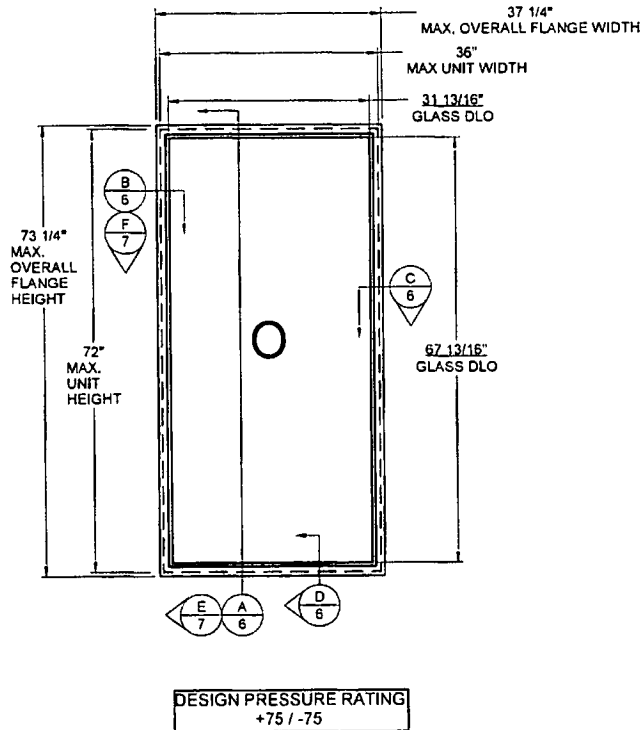
[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > [Application Detail](#)



FL #	FL13010-R1												
Application Type	Revision												
Code Version	2010												
Application Status	Approved												
Comments													
Archived	<input type="checkbox"/>												
Product Manufacturer	Custom Window Systems Inc.												
Address/Phone/Email	1900 SW 44th Avenue Ocala, FL 34474 (352) 368-6922 Ext 207 mlafevre@cws.cc												
Authorized Signature	Michael LaFevre mlafevre@cws.cc												
Technical Representative	Brian Tenace												
Address/Phone/Email	1900 SW 44th Ave. Ocala, FL 34474 (352) 368-6922 Ext 291 btenace@cws.cc												
Quality Assurance Representative	Jeff Thompson												
Address/Phone/Email	1900 SW 44th Ave. Ocala, FL 34474 (352) 368-6922 Ext 221 jthompson@cws.cc												
Category	Windows												
Subcategory	Fixed												
Compliance Method	Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer <input checked="" type="checkbox"/> Evaluation Report - Hardcopy Received												
Florida Engineer or Architect Name who developed the Evaluation Report	Lucas A. Turner												
Florida License	PE-58201												
Quality Assurance Entity	Keystone Certifications, Inc.												
Quality Assurance Contract Expiration Date	07/21/2020												
Validated By	Steven M. Urich, PE <input checked="" type="checkbox"/> Validation Checklist - Hardcopy Received												
Certificate of Independence	<a href="#">FL13010_R1_COI_EvalRep_CWS-433A (PW-8100, 36x72, IMPACT).pdf</a>												
Referenced Standard and Year (of Standard)	<table border="0"> <thead> <tr> <th><u>Standard</u></th> <th><u>Year</u></th> </tr> </thead> <tbody> <tr> <td>AAMA/WDMACSA/101/I.S.2/A440-05</td> <td>2005</td> </tr> <tr> <td>ASTM E 1300-04</td> <td>2004</td> </tr> <tr> <td>ASTM E1886-05</td> <td>2005</td> </tr> <tr> <td>ASTM E1996-02</td> <td>2002</td> </tr> <tr> <td>PA TAS 201/202/203</td> <td>1994</td> </tr> </tbody> </table>	<u>Standard</u>	<u>Year</u>	AAMA/WDMACSA/101/I.S.2/A440-05	2005	ASTM E 1300-04	2004	ASTM E1886-05	2005	ASTM E1996-02	2002	PA TAS 201/202/203	1994
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ASTM E1996-02	2002												
PA TAS 201/202/203	1994												
Equivalence of Product Standards Certified By													

**TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
FILE COPY**

**PICTURE WINDOW ELEVATIONS (LARGE MISSILE IMPACT)**



DESIGN PRESSURE RATING  
+75 / -75

**PVC IMPACT REQUIREMENT:**

1. THE PRODUCT SHOWN HEREIN IS DESIGNED AND MANUFACTURED TO COMPLY WITH THE FLORIDA BUILDING CODE, CURRENT EDITION, INCLUDING HVHZ
2. GLAZING: 7/8" OVERALL INSULATED GLASS UNIT CONSISTING OF 3/16" ANNEALED OUTBOARD + GAP + 7/16" LAMINATED LITE (3/16" ANNEALED + .105PVB + 3/16" ANNEALED).
3. CONFIGURATION: FIXED LITE "O".
4. DESIGN PRESSURES:  
-NEGATIVE DESIGN LOADS BASED ON TESTED PRESSURE AND GLASS TABLES ASTM E 1300.  
-POSITIVE DESIGN LOADS BASED ON TESTED PRESSURE, WATER INFILTRATION TEST PRESSURE AND GLASS TABLES ASTM E 1300.
5. ANCHORAGE: THE 33 1/3% STRESS INCREASE HAS NOT BEEN USED IN THE DESIGN OF THIS PRODUCT. SEE SHEET 6 FOR INSTALLATION DETAIL. WIND LOAD DURATION FACTOR Cd=1.6 WAS USED FOR WOOD ANCHOR CALCULATIONS
6. PRODUCT APPROVED FOR IMPACT RESISTANCE.
7. ALL FRAMES FULLY WELDED.
8. REFERENCE TEST REPORTS: NCTL-210-3566-1, NCTL-210-3566-1A, NCTL-210-3566-1B, NCTL-210-3566-1C
9. SERIES / MODEL DESIGNATION PW-8150.
10. 1x or 2x WOOD BUCK OR STUD FRAMING TO BE DESIGNED AND ANCHORED TO PROPERLY TRANSFER ALL LOADS TO STRUCTURE. BUCK AND FRAMING IS RESPONSIBILITY OF ARCHITECT OR ENGINEER OF RECORD.

**TABLE OF CONTENTS**

- GENERAL NOTES & ELEVATIONS.....1
- ANCHOR SCHEDULE & NOTES.....2-6
- SECTION VIEWS & GLAZING.....7
- EXTRUSIONS & B.O.M.....8
- INSTALLATION DETAILS.....9-10

Lucas A. Turner, P.E.

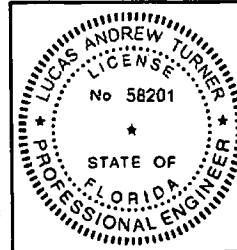
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12/14/11

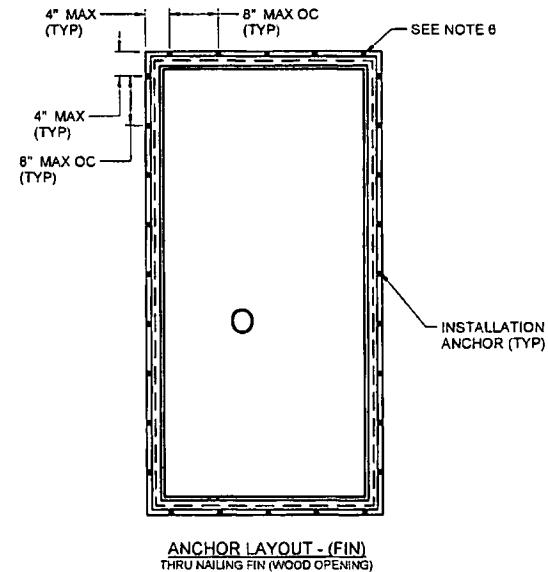
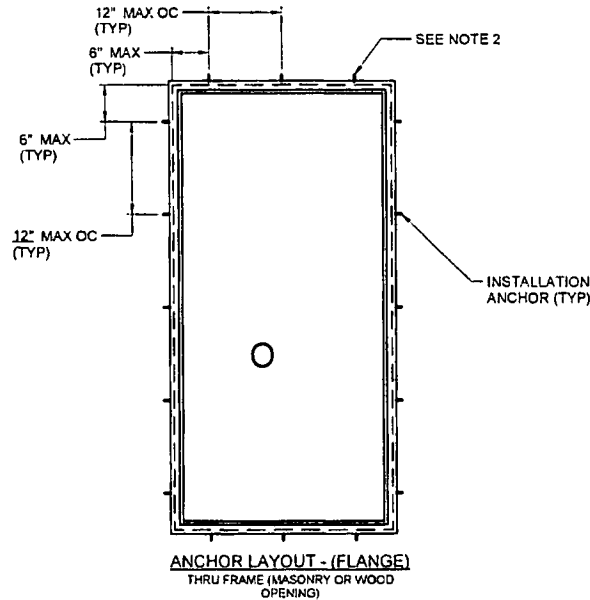
PROPRIETARY AND CONFIDENTIAL  
THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF CUSTOM WINDOW SYSTEMS, INC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF CUSTOM WINDOW SYSTEMS, INC. IS PROHIBITED.

LUCAS TURNER, FL. P.E., 58201

A UPDATED PER 2010 FBC 11/26/11



		1900 SW 44TH AVE. OCALA, FLORIDA 34474
TITLE: GENERAL NOTES & ELEVATIONS - LARGE MISSILE IMPACT		
SERIES: 8150	DRAWN BY: AAJ	DATE: 11/25/2011
MODEL: PVC FIXED LITE	SCALE: NTS	DWG. NO.: CWS-433
	REV. LETTER: A	SHEET: 1 OF 7

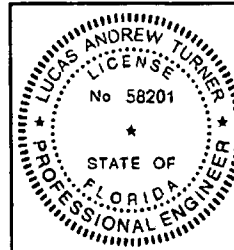


**NOTES:**

1. INSTALL ONE ANCHOR AT EACH INSTALLATION LOCATION. SILL ANCHOR SPACING SAME AS HEAD.
2. SHIM AS REQ AT EACH INSTALLATION ANCHOR USING LOAD BEARING SHIMS. MAX. ALLOWABLE SHIM STACK TO BE 1/4". USE SHIMS WHERE SPACE GREATER THAN 1/16" IS PRESENT.
3. LOAD BEARING SHIMS SHALL BE CONSTRUCTED OF HIGH DENSITY PLASTIC OR BETTER. WOOD SHIMS ARE NOT ALLOWED.
4. 3/16" DIA. ELCO ULTRACON MASONRY ANCHORS MUST BE OF SUFFICIENT LENGTH TO ACHIEVE A MIN. EMBEDMENT OF 1 1/4" INTO MASONRY THRU FRAME OR THRU 1 BY WOOD BUCK INTO MASONRY. A MINIMUM EDGE DISTANCE OF 1" SHALL BE ACHIEVED IN ANY DIRECTION.
5. #10 WOOD SCREW ANCHORS MUST BE OF SUFFICIENT LENGTH TO ACHIEVE A MIN. EMBEDMENT OF 1 1/2" INTO 2 BY WOOD BUCK. A MINIMUM EDGE DISTANCE OF 7/8" SHALL BE ACHIEVED IN ANY DIRECTION.
6. #8 WOOD SCREW ANCHORS (INSTALLATION THROUGH FIN) MUST BE OF SUFFICIENT LENGTH TO ACHIEVE A MIN. EMBEDMENT OF 1 1/2" INTO 2 BY WOOD BUCK. A MINIMUM EDGE DISTANCE OF 1/4" SHALL BE ACHIEVED IN ANY DIRECTION.
7. ALL INSTALLATION ANCHORS MUST BE MADE OF A CORROSION RESISTANT MATERIAL OR COATING. DISSIMILAR METALS OR MATERIALS IN CONTACT WITH PRESSURE TREATED WOOD MUST BE PROTECTED TO PREVENT REACTION.
8. INSTALLATION ANCHORS SHALL BE IN ACCORDANCE WITH ANCHOR MANUFACTURER'S INSTALLATION INSTRUCTIONS, AND ANCHORS SHALL NOT BE USED IN SUBSTRATES WITH STRENGTHS LESS THAN THE MINIMUM STRENGTH SPECIFIED BELOW.
9. INSTALLATION ANCHOR CAPACITIES FOR PRODUCTS HEREIN ARE BASED ON SUBSTRATE MATERIAL WITH THE FOLLOWING PROPERTIES:
  - A. WOOD - MINIMUM SPECIFIC GRAVITY OF G=0.55 (SOUTHERN PINE OR GREATER)
  - B. CONCRETE - MINIMUM COMPRESSIVE STRENGTH OF 2,700 PSI.
  - C. MASONRY - STRENGTH CONFORMANCE TO ASTM C-90, GRADE N, TYPE 1 (OR GREATER).
10. SEALING AND FLASHING STRATEGIES FOR OVERALL WATER RESISTANCE OF INSTALLATION SHALL BE DONE BY OTHERS FOLLOWING THE CURRENT VERSION OF THE REFERENCE DOCUMENTS:  
 FMA/AAMA 100(FIN WINDOWS), FMA/AAMA 200(FLANGE WINDOWS),  
 FMA/WDMA 250(BOX WINDOWS), FMA/AAMA/WDMA 300(EXTERIOR DOORS)

LUCAS TURNER, FL. P.E., 58201

A UPDATED PER 2010 FBC 11/26/11

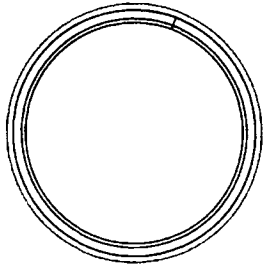


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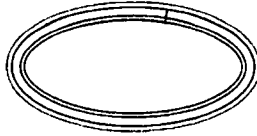
PROPRIETARY AND CONFIDENTIAL  
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 CUSTOM WINDOW SYSTEMS 1900 SW 44TH AVE. OCALA, FLORIDA 34474		TITLE: ANCHOR SCHEDULE & NOTES - LARGE MISSILE IMPACT	
		SERIES: 8150	DRAWN BY: AAJ
MODEL: PVC FIXED LITE	SCALE: NTS	DWG. NO.: CWS-433	
	REV. LETTER: A	SHEET: 2 OF 7	

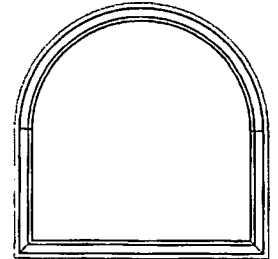




FULL CIRCLE



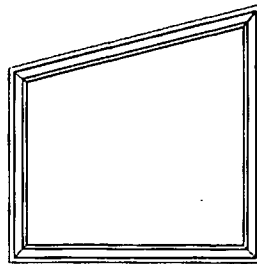
FULL ELLIPSE ("OVAL")



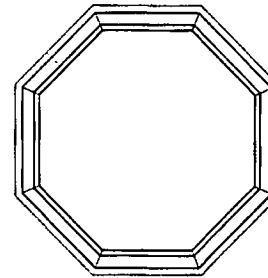
TOMBSTONE



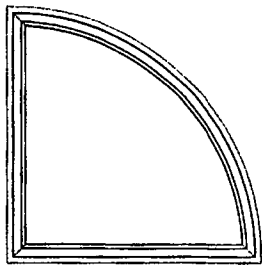
1/2 CIRCLE



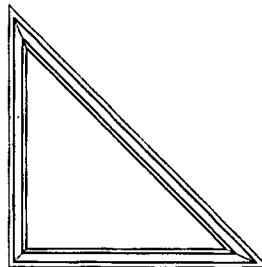
TRAPEZOID



OCTAGON



1/4 CIRCLE



TRIANGLE

NOTE:

1. SEE SHEET 2 FOR DETAILED ANCHOR INSTALLATION REQUIREMENTS
2. OVERALL SIZE MUST NOT EXCEED THE MAX WIDTH AND HEIGHT OF RECTANGULAR WINDOWS ON SHEET 1.
3. ANCHOR SPACING FOR ARCHITECTURAL FLANGE WINDOWS MUST FOLLOW NOTE 1, SHEET2.

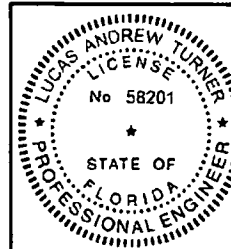
PROPRIETARY AND CONFIDENTIAL  
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 12/14/11

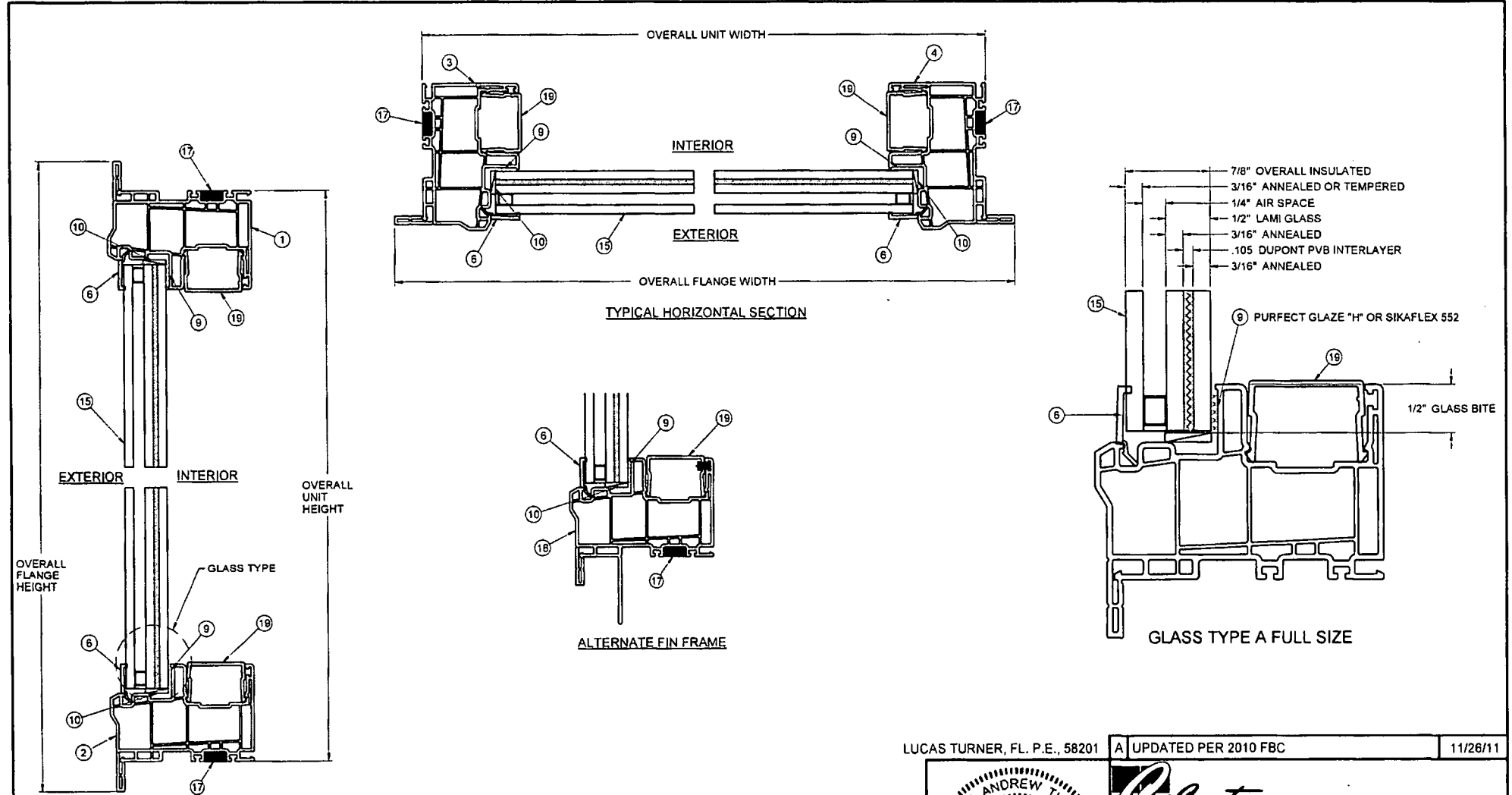
LUCAS TURNER, FL. P.E., 58201

A UPDATED PER 2010 FBC

11/26/11



<b>Custom</b> WINDOW SYSTEMS		1900 SW 44TH AVE. OCALA, FLORIDA 34474	
TITLE: ARCH. FLG ANCHOR SCHEDULE - LARGE MISSILE IMPACT			
SERIES: 8150	DRAWN BY: AAJ	DATE: 11/25/2011	
MODEL: PVC FIXED LITE	SCALE: NTS	DWG. NO.: CWS-433	
	REV. LETTER: A	SHEET: 3 OF 7	



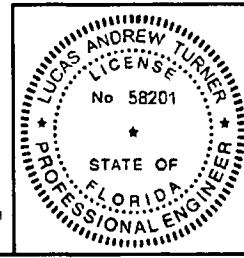
NOTE:  
ITEMS 11-14 ARE USED, BUT  
NOT SHOWN FOR CLARITY

12  
12/14/11

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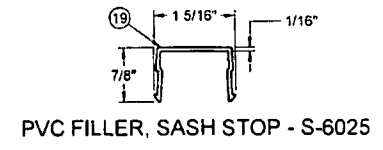
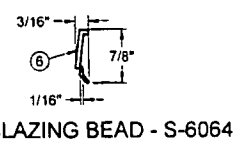
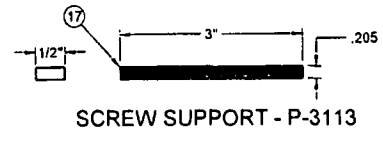
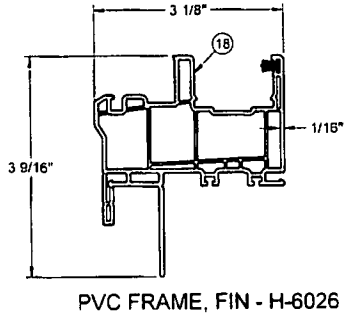
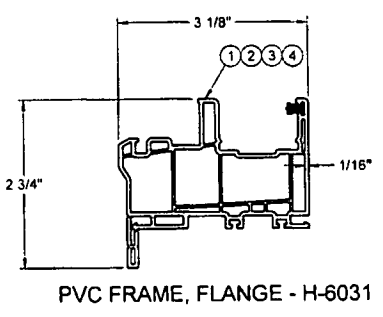
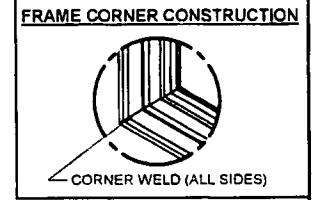
LUCAS TURNER, FL. P.E., 58201

A UPDATED PER 2010 FBC 11/26/11



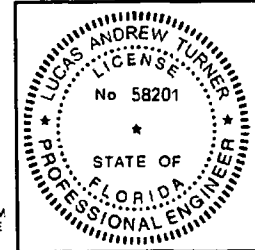
<b>Custom WINDOW SYSTEMS</b>		1900 SW 44TH AVE. OCALA, FLORIDA 34474	
TITLE: SECT. VIEWS & ALT. FIN FRAME - LARGE MISSILE IMPACT			
SERIES: 8150	DRAWN BY: AAJ	DATE: 11/25/2011	
MODEL: PVC FIXED LITE	SCALE: HALF	DWG. NO.: CWS-433	
REV. LETTER: A		SHEET: 4 OF 7	

Item #	Part #	Description	VENDOR	MATERIAL
1	H-6031	SINGLE HUNG FLANGE FRAME HEAD	MIKRON	PVC
2	H-6031	SINGLE HUNG FLANGE FRAME SILL	MIKRON	PVC
3	H-6031	SINGLE HUNG FLANGE FRAME LEFT JAMB	MIKRON	PVC
4	H-6031	SINGLE HUNG FLANGE FRAME RIGHT JAMB	MIKRON	PVC
6	S-6064	GLAZING BEAD (7/8" O.A. I.G.)	FRANK LOWE	RUBBER
9	P-4648	SIKAFLEX 552 OR HENKEL PERFECT GLAZE "H"	SIKA / HENKEL	
10	P-3352	SETTING BLOCK 85 DUROMETER 1/8" x 5/8" x 2" LG.	AMESBURY	FOAM
15		GLASS (SEE SHEET #4)	CARDINAL	
17	P-3113	SCREW SUPPORT FOR PVC		
18	H-6026	SINGLE HUNG FIN FRAME	MIKRON	PVC
19	H-6025	SASH STOP	MIKRON	PVC



LUCAS TURNER, FL. P.E., 58201

A UPDATED PER 2010 FBC 11/26/11



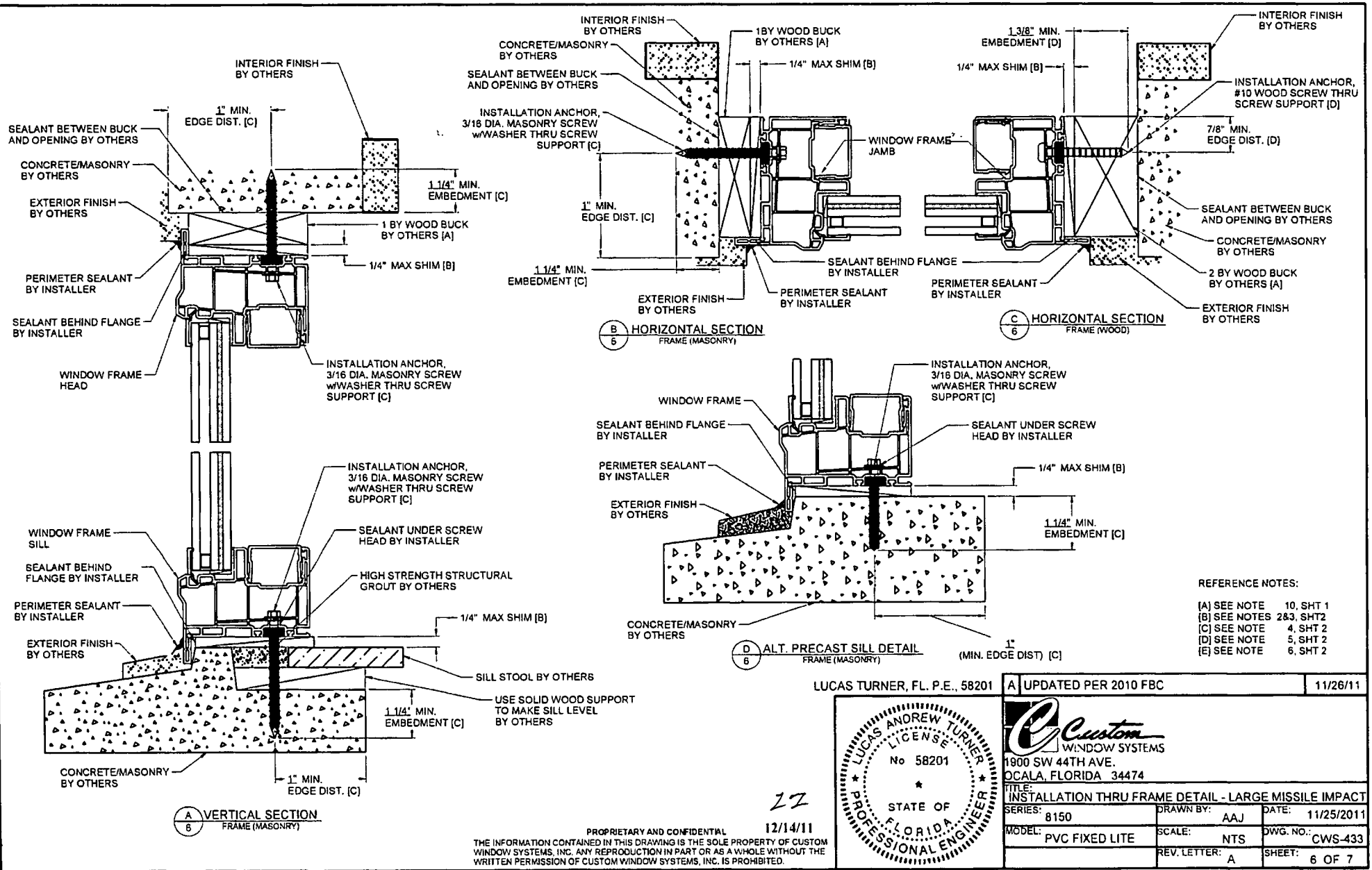
**Custom**  
WINDOW SYSTEMS  
1900 SW 44TH AVE.  
OCALA, FLORIDA 34474

TITLE: EXTRUSIONS & B.O.M. - LARGE MISSILE IMPACT

SERIES: 8150	DRAWN BY: AAJ	DATE: 11/25/2011
MODEL: PVC FIXED LITE	SCALE: NTS	DWG. NO.: CWS-433
REV. LETTER: A	SHEET: 5 OF 7	

ZZ  
12/14/11

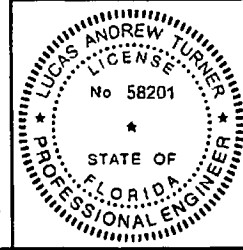
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- REFERENCE NOTES:
- (A) SEE NOTE 10, SHT 1
  - (B) SEE NOTES 2&3, SHT 2
  - (C) SEE NOTE 4, SHT 2
  - (D) SEE NOTE 5, SHT 2
  - (E) SEE NOTE 6, SHT 2

LUCAS TURNER, FL. P.E., 58201

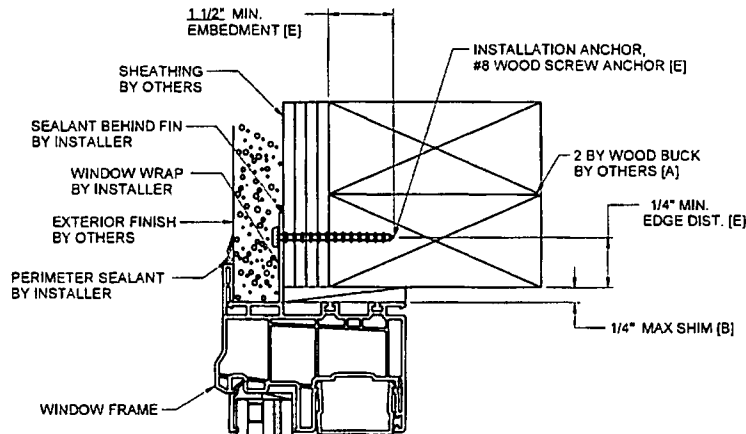
UPDATED PER 2010 FBC 11/26/11



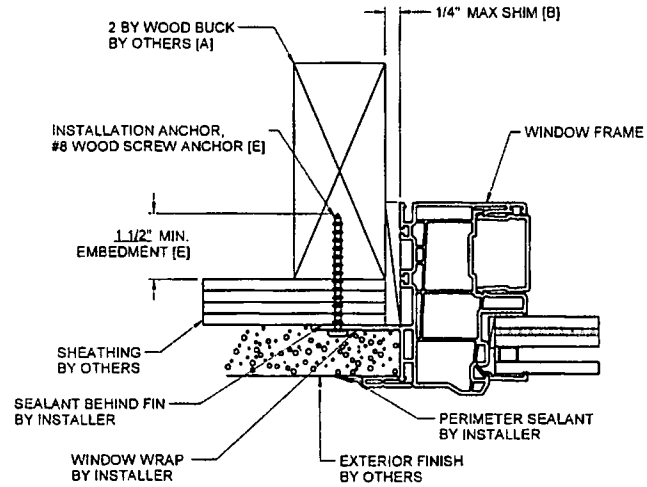
1900 SW 44TH AVE. Ocala, Florida 34474	
<b>TITLE:</b> INSTALLATION THRU FRAME DETAIL - LARGE MISSILE IMPACT	
<b>SERIES:</b> 8150	<b>DRAWN BY:</b> AAJ
<b>MODEL:</b> PVC FIXED LITE	<b>DATE:</b> 11/25/2011
<b>SCALE:</b> NTS	<b>DWG. NO.:</b> CWS-433
<b>REV. LETTER:</b> A	<b>SHEET:</b> 6 OF 7

12/14/11

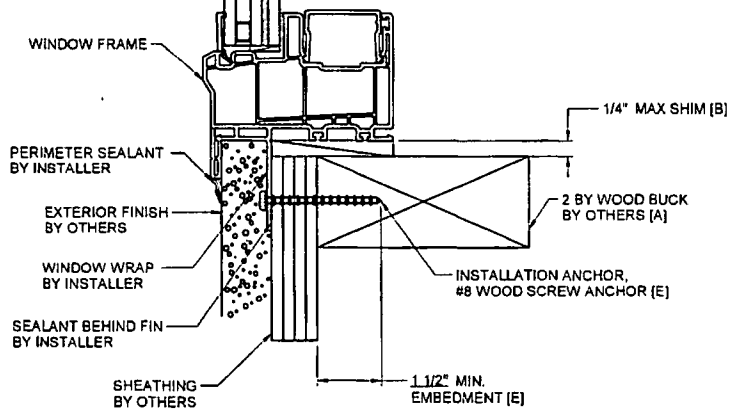
PROPRIETARY AND CONFIDENTIAL  
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**E VERTICAL SECTION**  
FIN (WOOD)



**F HORIZONTAL SECTION**  
FIN (WOOD)



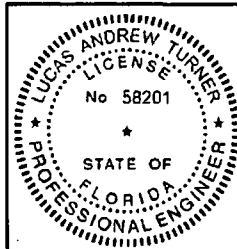
REFERENCE NOTES:

- [A] SEE NOTE 10, SHT 1
- [B] SEE NOTES 2&3, SHT 2
- [C] SEE NOTE 4, SHT 2
- [D] SEE NOTE 5, SHT 2
- [E] SEE NOTE 6, SHT 2

LUCAS TURNER, FL. P.E., 58201

A UPDATED PER 2010 FBC

11/28/11



<b>Custom</b> WINDOW SYSTEMS	
1900 SW 44TH AVE. OCALA, FLORIDA 34474	
TITLE: INSTALLATION FIN DETAIL - LARGE MISSILE IMPACT	
SERIES: 8150	DRAWN BY: AAJ
MODEL: PVC FIXED LITE	SCALE: NTS
	REV. LETTER: A
DATE: 11/25/2011	DWG. NO.: CWS-433
	SHEET: 7 OF 7

22  
12/14/11

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Sections from the Code

Product Approval Method

Method 1 Option D

Date Submitted

12/12/2011

Date Validated

12/16/2011

Date Pending FBC Approval

12/21/2011

Date Approved

01/31/2012

Summary of Products

FL #	Model, Number or Name	Description
13010.1	PW-8150 PVC Fixed Window	PW-8150 PVC Flg/Fin Fixed Window, 36" x 72".
<b>Limits of Use</b> Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +75/-75 Other: PW-8150, 36" x 72", DP = +/- 75 psf. Large Missile Impact.		<b>Installation Instructions</b> <a href="#">FL13010 R1 II CWS-433A (PW-8150, 36x72, IMPACT).pdf</a> Verified By: Lucas A. Turner 58201 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL13010 R1 AE DuPont PVB NOA 11-0624 01.pdf</a> <a href="#">FL13010 R1 AE EvalRep CWS-433A (PW-8150, 36x72, IMPACT).pdf</a> <a href="#">FL13010 R1 AE Mikron NOA 11-0830 09.pdf</a> Created by Independent Third Party: Yes
13010.2	PW-8150 PVC Fixed Window	PW-8150 PVC Flg/Fin Fixed Window, Continuous Head & Sill.
<b>Limits of Use</b> Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +67.5/-67.5 Other: Large Missile, Dp = +/- 67.5 psf, Max. size 74 1/8" x 72". Outer lite must be safety glass above 30 ft. in HVHZ.		<b>Installation Instructions</b> <a href="#">FL13010 R1 II CWS-510A (PW-8150, 74x72, ContHdSl, IMP).pdf</a> Verified By: Lucas A. Turner 58201 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL13010 R1 AE DuPont PVB NOA 11-0624 01.pdf</a> <a href="#">FL13010 R1 AE EvalRep CWS-510A (PW-8150, 74x72, ContHdSl, IMP).pdf</a> <a href="#">FL13010 R1 AE Mikron NOA 11-0830 09.pdf</a> Created by Independent Third Party: Yes
13010.3	PW-8300 PVC Fixed Window	PW-8300 PVC Fixed Window, 120" x 48".
<b>Limits of Use</b> Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +70/-70 Other: PW-8300, 120" x 48", DP = +/- 70 psf. Large Missile Impact.		<b>Installation Instructions</b> <a href="#">FL13010 R1 II CWS-373A (PW-8300, 120x48, IMPACT).pdf</a> Verified By: Lucas A. Turner 58201 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL13010 R1 AE DuPont SGP NOA 11-0624 02.pdf</a> <a href="#">FL13010 R1 AE EvalRep CWS-373A (PW-8300, 120x48, IMPACT).pdf</a> <a href="#">FL13010 R1 AE Mikron NOA 11-0830 09.pdf</a> Created by Independent Third Party: Yes
13010.4	PW-8300 PVC Fixed Window	PW-8300 PVC Flg/Fin Fixed Window.
<b>Limits of Use</b> Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: N/A Other: Large Missile Impact, See Installation Drawings for Max. size and DP's.		<b>Installation Instructions</b> <a href="#">FL13010 R1 II CWS-159B (PW-8300, IMPACT).pdf</a> Verified By: Lucas A. Turner 58201 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL13010 R1 AE DuPont PVB NOA 11-0624 01.pdf</a> <a href="#">FL13010 R1 AE DuPont SGP NOA 11-0624 02.pdf</a> <a href="#">FL13010 R1 AE EvalRep CWS-159B (PW-8300, IMPACT).pdf</a> <a href="#">FL13010 R1 AE Mikron NOA 11-0830 09.pdf</a> Created by Independent Third Party: Yes

[Back](#) [Next](#)

Contact Us :: 1940 North Monroe Street, Tallahassee FL 32399 Phone: 850-487-1824

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Under Florida law, email addresses are public records. If you do not want your e-mail address released in response to a public-records request, do not send electronic mail to this entity. Instead, contact the office by phone or by traditional mail. If you have any questions, please contact 850.487.1395. \*Pursuant to Section 455.275(1), Florida Statutes, effective October 1, 2012, licensees licensed under Chapter 455, F.S. must provide the Department with an email address if they have one. The emails provided may be used for official communication with the licensee. However email addresses are public record. If you do not wish to



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY

CONTRACTOR OR OWNER /BUILDER ASBESTOS NOTIFICATION STATEMENT

Date: 6/12/14

Building Permit # \_\_\_\_\_

Site Address: 33 RIO VISTA DR, SEWALLS PT, FL, 34996

**FBC 104.1.10 Asbestos.** The enforcing agency shall require each building permit for the demolition or renovation of an existing structure to contain an asbestos notification statement which indicates the owner's or operator's responsibility to comply with the provisions of s. 469.003 Florida Statutes and to notify the Department of Environmental Protection of her or his intentions to remove asbestos, when applicable, in accordance with state and federal law. 469.003 License required.--

- (1) No person may conduct an asbestos survey, develop an operation and maintenance plan, or monitor and evaluate asbestos abatement unless trained and licensed as an asbestos consultant as required by this chapter.
- (2)(a) No person may prepare asbestos abatement specifications unless trained and licensed as an asbestos consultant as required by this chapter.
- (b) Any person engaged in the business of asbestos surveys prior to October 1, 1987, who has been certified by the Department of Labor and Employment Security as a certified asbestos surveyor, and who has complied with the training requirements of s. 469.013(1)(b), may provide survey services as described in s. 255.553(1), (2), and (3). The Department of Labor and Employment Security may, by rule, establish violations, disciplinary procedures, and penalties for certified asbestos surveyors.
- (3) No person may conduct asbestos abatement work unless licensed by the department under this chapter as an asbestos contractor, except as otherwise provided in this chapter.

**FBC 105.3.6 Asbestos removal. (Owner /Builder Exemption)**

Moving, removal or disposal of asbestos-containing materials on a residential building where the owner occupies the building, the building is not for sale or lease, and the work is performed according to the owner-builder limitations provided in this paragraph. To qualify for exemption under this paragraph, an owner must personally appear and sign the building permit application. The permitting agency shall provide the person with a disclosure statement in substantially the following form: **Disclosure Statement:** State law requires asbestos abatement to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own asbestos abatement contractor even though you do not have a license. You must supervise the construction yourself. You may move, remove or dispose of asbestos-containing materials on a residential building where you occupy the building and the building is not for sale or lease, or the building is a farm outbuilding on your property. If you sell or lease such building within 1 year after the asbestos abatement is complete, the law will presume that you intended to sell or lease the property at the time the work was done, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. Your work must be done according to all local, state and federal laws and regulations which apply to asbestos abatement projects. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances.

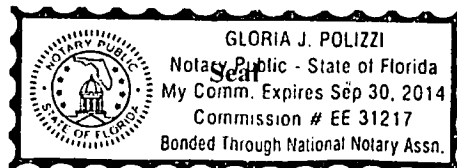
Contractor or  Owner/Builder Signature [Signature]

Subscribed and sworn to before me this 13 day of June, 2014, personally appeared

Glen K. Hutchins who is personally known to me or produced Florida Driver Lic as

identification, and who did/did not take an oath.

Notary Public Signature [Signature]





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: 10925

\*\*\*IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Robson

CONSTRUCTION ADDRESS: 33 Rio Vista Dr

PERMIT TYPE: [X] RESIDENTIAL [ ] COMMERCIAL

- [X] ELECTRIC
[ ] PLUMBING
[ ] HVAC
[ ] IRRIGATION
[ ] FUEL GAS

TYPE OF SERVICE: [ ] NEW SERVICE [X] EXISTING SERVICE [ ] OTHER

SCOPE OF WORK: Remodel as per plan

VALUE OF CONSTRUCTION \$ 7,800

Form box containing: LOW VOLTAGE, TYPE OF EQUIPMENT: [ ] SECURITY [ ] VACUUM [ ] SOUND SYSTEM [ ] LANDSCAPE [ ] OTHER, SCOPE OF WORK: VALUE

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

Brian K Emmonds (Signature) 2938 NE 62nd Hwy Okeechobee, FL 34972
SIGNATURE OF LICENSED CONTRACTOR ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: Emmonds Electric INC

TELEPHONE NO: 772-878-3881 FAX NO: 863-467-0995 (PLEASE PRINT)

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: EC13005595

\*\* WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

\*\*\*VERIFICATION OF PARCEL CONTROL NUMBER\*\*\*

OWNER'S FULL NAME AS STATED ON DEED:

PARCEL CONTROL #:

SUBDIVISION: LOT: BLK: PHASE:

SITE ADDRESS:

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT





JEFF ATWATER  
CHIEF FINANCIAL OFFICER

STATE OF FLORIDA  
DEPARTMENT OF FINANCIAL SERVICES  
DIVISION OF WORKERS' COMPENSATION

**\*\* CERTIFICATE OF ELECTION TO BE EXEMPT FROM FLORIDA WORKERS' COMPENSATION LAW \*\***

**CONSTRUCTION INDUSTRY EXEMPTION**

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation law.

EFFECTIVE DATE: 7/18/2014                      EXPIRATION DATE: 7/17/2016

PERSON: EMMONDS                                      BRIAN

FEIN: 010717586

**BUSINESS NAME AND ADDRESS:**

EMMONDS ELECTRIC INC

2938 NE 62ND PARKWAY

OKEECHOBEE                      FL                      34972

**SCOPES OF BUSINESS OR TRADE:**

LICENSED ELECTRICAL                      ELECTRICAL WIRING  
CONTRACTOR                                      WITHIN BUIL

Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter. Pursuant to Chapter 440.05(12), F.S., Certificates of election to be exempt... apply only within the scope of the business or trade listed on the notice of election to be exempt. Pursuant to Chapter 440.05(13), F.S., Notices of election to be exempt and certificates of election to be exempt shall be subject to revocation if, at any time after the filing of the notice or the issuance of the certificate, the person named on the notice or certificate no longer meets the requirements of this section for issuance of a certificate. The department shall revoke a certificate at any time for failure of the person named on the certificate to meet the requirements of this section.

2013-2014 **MARTIN COUNTY ORIGINAL BUSINESS TAX RECEIPT**  
**HONORABLE RUTH PIETRUSZEWSKI CFC, TAX COLLECTOR**  
**3485 S.E. WILLOUGHBY BLVD., STUART, FL 34994**  
**(772) 288-5804**

ACCOUNT ~~2003-520-0008~~ CERT ~~WR13012462~~  
PHONE ~~...(772)878-3881~~ SIC NO ~~235310~~  
LOCATION:  
**598 SW MADELL AVE PSL**

**CHARACTER COUNTS IN MARTIN COUNTY**

PREV YR. \$ <u>.00</u>	LIC. FEE \$ <u>26.25</u>
\$ <u>.00</u>	PENALTY \$ <u>6.56</u>
\$ <u>.00</u>	COL. FEE \$ <u>6.60</u>
\$ <u>.00</u>	TRANSFER \$ <u>.00</u>
<b>TOTAL <u>39.41</u></b>	

**EDMONDS BRIAN K**  
**EDMONDS ELECTRIC INC**  
**2938 NE 62ND PARKWAY**  
**OKECHOBEE, FL 34972**

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION  
OF **CERTIFIED MASTER ELECTRICIAN**  
AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

10 DAY OF FEBRUARY 2014  
AND ENDING SEPTEMBER 30, 2014

801 2013 02678.0001 PAID



STATE OF FLORIDA  
DEPARTMENT OF BUSINESS AND  
PROFESSIONAL REGULATION

EC13005595 ISSUED: 07/20/2014

CERTIFIED ELECTRICAL CONTRACTOR  
EMMONDS, BRIAN K  
EMMONDS ELECTRIC, INC.

IS CERTIFIED under the provisions of Ch.489 FS.  
Expiration date : AUG 31, 2016 L140720002213

**Mission:**

To protect, promote & improve the health of all people in Florida through integrated state, county & community efforts.



**Rick Scott**  
Governor

**John H. Armstrong, MD, FACS**  
State Surgeon General & Secretary

**Vision:** To be the Healthiest State in the Nation

June 06, 2014

**TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
FILE COPY**

Nickolas Robson  
12 Ricgeview Road N  
Stuart, FL 34996

RE: Contingency Letter  
Application Document No: AP1149498  
Centrax Permit Number: 43-SS-1542881  
OSTDS Number:  
33 Rio Vista Dr  
Stuart, FL 34996

Lot:100                      Block:                      Subdivision: RIO VISTA

Dear Applicant:

This will acknowledge receipt of an application dated 06/06/2014 for a permit to use an existing onsite sewage treatment and disposal system located on the above referenced property.

This office has reviewed and verified the floor plan and site plan you submitted, for the proposed remodeling addition or modification to your single-family home. Based on the information you provided, the Health Department concludes:

1. the proposed remodeling addition or modification is not adding a bedroom; and
2. it does not appear to cover any part of the existing system or encroach on the required setback or unobstructed area.
3. No existing system inspection or evaluation and assessment, or modification, replacement, or upgrade authorization is required.

Because an inspection or evaluation of the existing septic system was not conducted, the Department cannot attest to the existing system's current condition, size, or adequacy to serve the proposed use. You may request a voluntary inspection and assessment of your system from a licensed septic tank contractor or plumber, or a person certified under section 381.0101, Florida Statutes.

From a review of your completed application, it has been determined your existing system is adequate for the proposed use.

Nickolas Robson  
Page two  
June 06, 2014

If you have any questions on this matter, please call our office at (772) 221-4090 x 2114.

Sincerely,

A handwritten signature in black ink, appearing to read "Ray Cross".

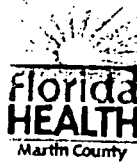
Ray Cross, Environmental Specialist

13-0402

Enclosures  
cc:

**Mission:**

To protect, promote & improve the health of all people in Florida through integrated state, county & community efforts.



**Rick Scott**

Governor

**John H. Armstrong, MD, FACS**  
State Surgeon General & Secretary

**Vision:** To be the Healthiest State in the Nation

**FOR FINAL APPROVAL TO BUILDING DEPARTMENT:**

**MARTIN COUNTY:** FAX 419-6934, PHONE 288-5489     **CITY OF STUART:** Fax 288-5388 Phone 288-5328  
 **JUPITER ISLAND:** Fax 545-0188 Phone 545-0150     **SEWALLS POINT:** Fax 220-4765 Phone 2872455

**FROM:** Ray Cross    **DATE:** 6/6/2014

**SEPTIC SYSTEMS (SS)**     **LIMITED USE PUBLIC WATER SYSTEM (57)**

**HEALTH DEPT. PERMIT #**

**BUILDING DEPT. PERMIT #**

**LOCATION**

43-SS- 154 2981

ROBSON

33 R.L.O VISTA DR

43-57- \_\_\_\_\_

43-SS- \_\_\_\_\_

43-57- \_\_\_\_\_

43-SS- \_\_\_\_\_

43-57- \_\_\_\_\_

environmental health/ostds/forms/fax



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ON-SITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM  
MARTIN COUNTY HEALTH DEPT.  
APPLICATION FOR CONSTRUCTION PERMIT

RECEIVED  
JUN 06 2014

43-55-1542881  
PERMIT NO.  
DATE 6-6-14 PAID:  
FEE 85.00 PAID:  
RECEIPT #: 2416436  
1149498

APPLICATION FOR:

- New System       Existing System       Holding Tank       Innovative  
 Repair       Abandonment       Temporary

APPLICANT: Nicholas Guy Robson & Jayne Tina Robson

AGENT: \_\_\_\_\_ TELEPHONE: 772 286 8581

MAILING ADDRESS: 12 Ridgeview Road North, Stuart, FL 34996

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 100 BLOCK: N/A SUBDIVISION: Rio Vista PLATTED: 12/11/75

PROPERTY ID #: 12-38-41-002-000-01000-5 ZONING: Res I/M OR EQUIVALENT: [ Y / N ]

PROPERTY SIZE: 0.41 ACRES WATER SUPPLY:  PRIVATE PUBLIC  <=2000GPD  >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS?  [ Y / N ] DISTANCE TO SEWER: \_\_\_\_\_ FT

PROPERTY ADDRESS: 33 Rio Vista Drive, Sewall's Point, Stuart, FL 34996

DIRECTIONS TO PROPERTY: South on S. Sewall's Point Road, right onto Rio Vista Drive, cross S. River Road and #33 is 4<sup>th</sup> lot on left at the top of Rio Vista Drive.

BUILDING INFORMATION

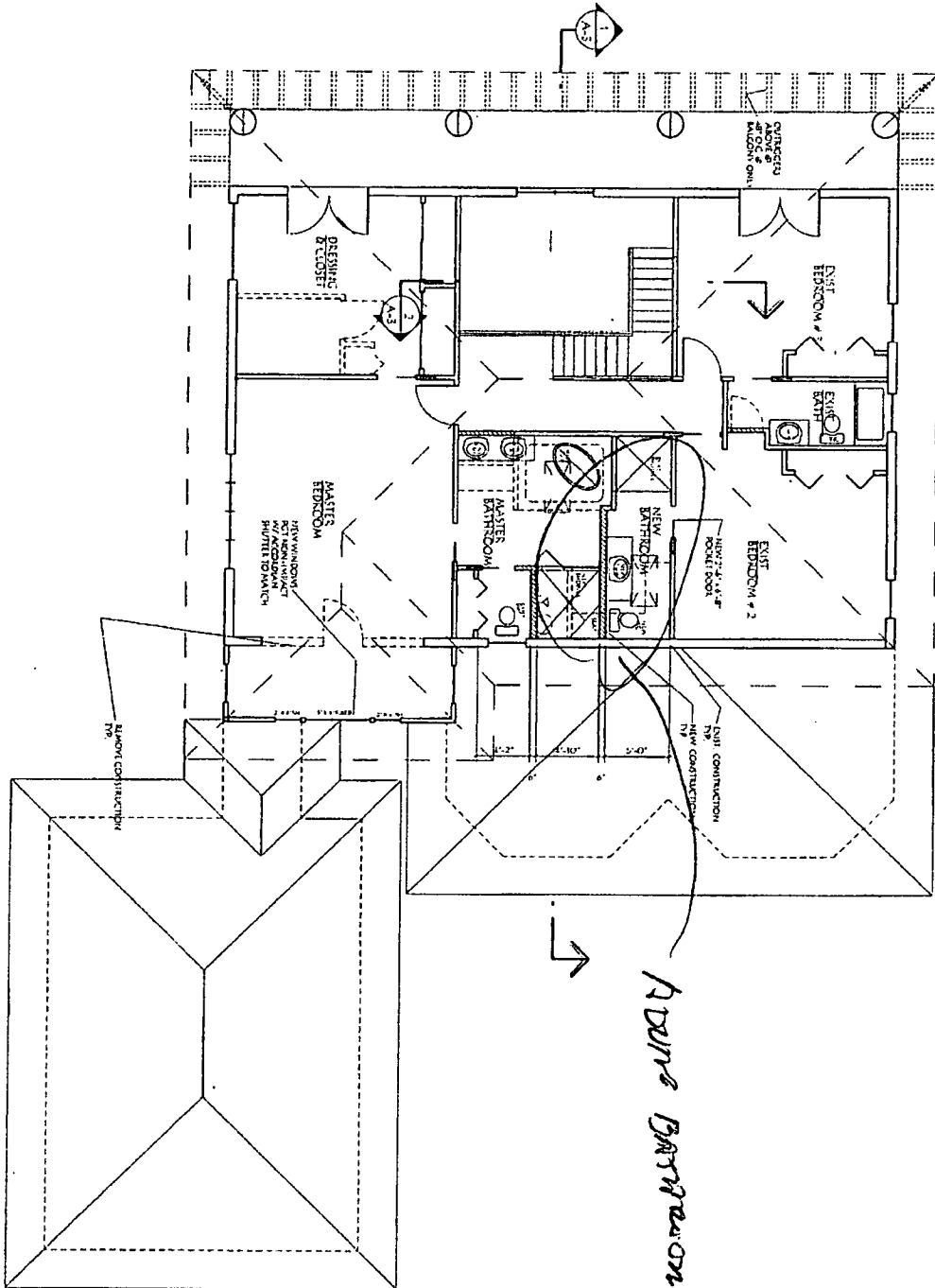
RESIDENTIAL       COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	2 story Single Family	4	4661	
2				
3				
4				

Floor/Equipment Drains       Other (Specify) \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ DATE: 05/23/2014





SECOND FLOOR PLAN

THIS PLAN IS APPROVED FOR THE HEALTH DEPARTMENT  
 Septic System Approval # 1749729 2881  
 Well Location Approval #

City Approval #  
 By: *RL* Date: *6/11/14*  
 Changes to the Plans herein approved by the Health Dept

PRELIMINARY  
 Not for Construction  
 BID SET

A-2  
 JIM THORNTON  
 ARCHITECT

Dwight Davis Architect, P. A.  
 1045 SE Riverside Drive Stuart, Florida 34996  
 (772) 781-6695  
 Florida License Number AR0016908

ROBSON RENOVATION  
 Mr. and Mrs. Nick Robson  
 33 Rio Vista Drive  
 Sewalls Point, Florida

DATE  
 06/02/14





STATE OF FLORIDA  
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

FSG

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM

PERMIT NUMBER H089-491 HOME PHONE \_\_\_\_\_  
 NAME OF APPLICANT Seacoast Const. WORK PHONE 283-6642  
 MAILING ADDRESS OF APPLICANT 2895 SE. OCEAN BLVD.  
STUART, FLORIDA ZIP CODE 34996  
 LOT 100 BLOCK N/A SUBDIVISION RIO VISTA  
 IF NOT SUBDIVIDED, ATTACH A COMPLETE LEGAL DESCRIPTION  
 PLAT BOOK 6 PAGE 95 DATE SUBDIVIDED DEC. 1975  
 RESIDENTIAL: NUMBER DWELLING UNITS 1 NUMBER BEDROOMS 3  
 LOT SIZE 18400 FT<sup>2</sup> HEATED OR COOLED AREA OF HOME 4457 FT<sup>2</sup>  
 COMMERCIAL: TYPE OF BUSINESS PROPOSED N/A  
 BUILDING SIZE N/A FT<sup>2</sup>

-----AFFIDAVIT-----

I HAVE REVIEWED THIS PERMIT AND I CERTIFY THAT ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT AND ANY APPLICABLE STATE OR COUNTY REGULATIONS.

SIGNATURE OF PROPERTY OWNER OR OWNER'S  
LEGALLY AUTHORIZED REPRESENTATIVE

*John C. Myrland*

-----INSTALLATION SPECIFICATIONS-----

SEPTIC TANK CAPACITY 1050 GALLONS  
 DRAINFIELD SIZE 400 SQUARE FEET  
 DRAINFIELD ROCK MUST BE 5 FEET FROM FRONT OR REAR PROPERTY LINES  
 AND 5 FEET FROM SIDE PROPERTY LINES. EXCAVATION CAN NOT EXTEND MORE  
 THAN FIVE FEET FROM APPROVED INSTALLATION AREA.

SEPTIC TANK IS REQUIRED TO BE AT  
FINISHED SOIL GRADE, DO NOT EXCEED  
18 INCHES OF COVER OVER DRAINFIELD ROCK.

ISSUED BY: *A. Lopez* DATE 9/14/89  
 MARTIN COUNTY PUBLIC HEALTH UNIT

PLEASE NOTE:

- (1) IF BUILDING CONSTRUCTION DOES NOT START WITHIN ONE YEAR FROM DATE OF ISSUANCE, THIS PERMIT EXPIRES. IF BUILDING CONSTRUCTION STARTS WITHIN 1 YEAR FROM DATE OF ISSUANCE, THE DATE OF EXPIRATION WILL BE EXTENDED AN ADDITIONAL 90 DAYS.
- (2) APPLICANT IS RESPONSIBLE FOR REPLACING EXCAVATED SOILS WITH A GOOD GRADE OF SAND.
- (3) NA REINSPECTION FEE IF WELL NOT INSTALLED AT TIME OF ONSITE SEWAGE DISPOSAL SYSTEM INSPECTION.
- (4) INSPECTION RESULTS WILL BE POSTED ON BUILDING PERMIT OR ON ELECTRICAL BOX.
- (5) IF BUILDING STUBOUT IS PLACED MORE THAN 20 FEET FROM SEPTIC TANK OR DRAINFIELD, A HIGHER STUBOUT ELEVATION THAN SHOWN ABOVE WILL BE REQUIRED.
- (6) IF FILL IS REQUIRED, CONTACT MARTIN COUNTY BUILDING DIVISION.
- (7) IF ANY INFORMATION ON THIS PERMIT CHANGES, AN UPDATED APPLICATION IS REQUIRED.
- (8) IF WELL OR MOUND DRAINFIELD IS PROPOSED, SEE ATTACHED SKETCH OF ADDITIONAL SPECIAL REQUIREMENTS.

-----FINAL INSPECTION-----

CONSTRUCTION APPROVED BY: *A. Lopez* DATE 3/7/90  
 MARTIN COUNTY PUBLIC HEALTH UNIT

AN APPROVED SYSTEM DOES NOT GUARANTEE PERFORMANCE.

*3-8-90*

PAGE 1

MARTIN COUNTY PUBLIC HEALTH UNIT  
131 EAST SEVENTH STREET • STUART, FLORIDA 34994

Bob Martinez, Governor • Gregory L. Coler, Secretary

(Revised 3/88)



**Martin County, Florida**  
**Laurel Kelly, C.F.A**

Site Provided by...  
 governmax.com 1.12

**Summary**



**Tabs**

**Summary**

- [Print View](#)
- [Land](#)
- [Improvements](#)
- [Assessments & Exemptions](#)
- [Sales](#)
- [Taxes →](#)
- [NEW: Navigator Parcel Map →](#)
- [Notice of Prop. Taxes →](#)

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-002-000-01000-5	27611	33 RIO VISTA DR, SEWALL'S POINT	\$605,930	5/31/2014

**Owner Information**

<b>Owner(Current)</b>	ROBSON NICHOLAS &.JAYNE
<b>Owner/Mail Address</b>	12 RIDGEVIEW RD N STUART FL 34996
<b>Sale Date</b>	5/23/2014
<b>Document Book/Page</b>	2720 0399
<b>Document No.</b>	2457517
<b>Sale Price</b>	615000

**Searches**

- [Parcel ID](#)
- [Owner](#)
- [Address](#)
- [Account #](#)
- [Use Code](#)
- [Legal Description](#)
- [Neighborhood](#)
- [Sales](#)
- [Navigator](#)
- [Maps →](#)

Account #	Location/Description	Map Page No.	Legal Description
27611		SP-05	
2200			RIO VISTA S/D LOT 100
<b>Parcel Address</b>	33 RIO VISTA DR, SEWALL'S POINT		
<b>Acres</b>	.4100		

**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120250 Rio Vista DRY

**Functions**

- Property Search**
- [Contact Us](#)
- [On-Line Help](#)
- [County Home](#)
- [Site Home](#)
- [County Login](#)

**Assessment Information**

<b>Market Land Value</b>	\$234,000
<b>Market Improvement Value</b>	\$371,930
<b>Market Total Value</b>	\$605,930

[Print](#) [First](#) [Previous](#) [Next](#) [Last](#)

[Legal Disclaimer / Privacy Statement](#)



SEACOAST CONSTR.

L100

LEGAL DESCRIPTION Lot 100 Rio Vista SEPTIC PERMIT NO. 4089-491  
 STREET ADDRESS 33 Rio Vista Dr.  
 BUILDING PERMIT NO. 2619 NUMBER OF BEDROOMS 3  
 LOT SIZE 18400 FT<sup>2</sup> HEATED OR COOLED AREA 4457 FT<sup>2</sup> BUILDING TYPE \_\_\_\_\_

WATER SUPPLY: PUBLIC  PRIVATE \_\_\_\_\_

WELL PERMIT NO.: \_\_\_\_\_

WELL DRILLER: \_\_\_\_\_

SEPTIC INSTALLER: Cooke

TANK SIZE: 1050 Gal.

DRAINFIELD DIMENSIONS: 9' x 34' = 306 FT<sup>2</sup>

SOIL TYPE: Paala

DEPTH TO IMPERVIOUS SOIL: 26'

IMPERVIOUS SOIL: 26'

WET SEASON WATER TABLE: 26'

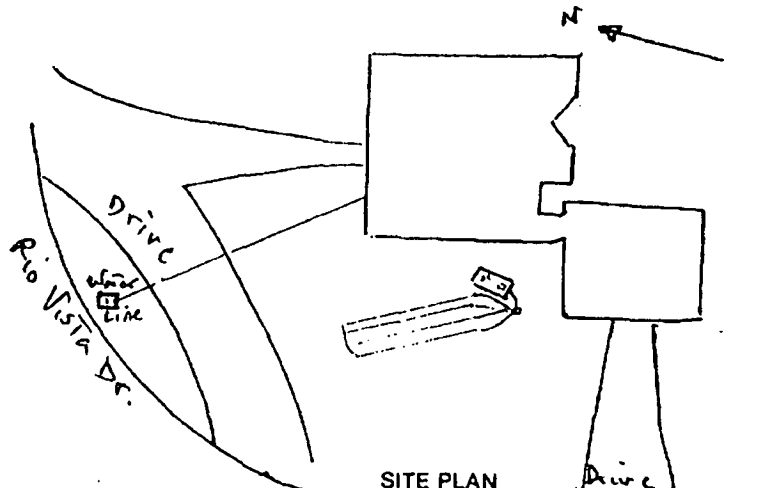
TOP OF STUBOUT IS: ESG

TOP OF TANK IS: ESG

MINIMUM DISTANCE OF DRAINFIELD \_\_\_\_\_

ROCK TO PROPERTY LINE: 5' - 5'

OTHER SITE INFO.: \_\_\_\_\_

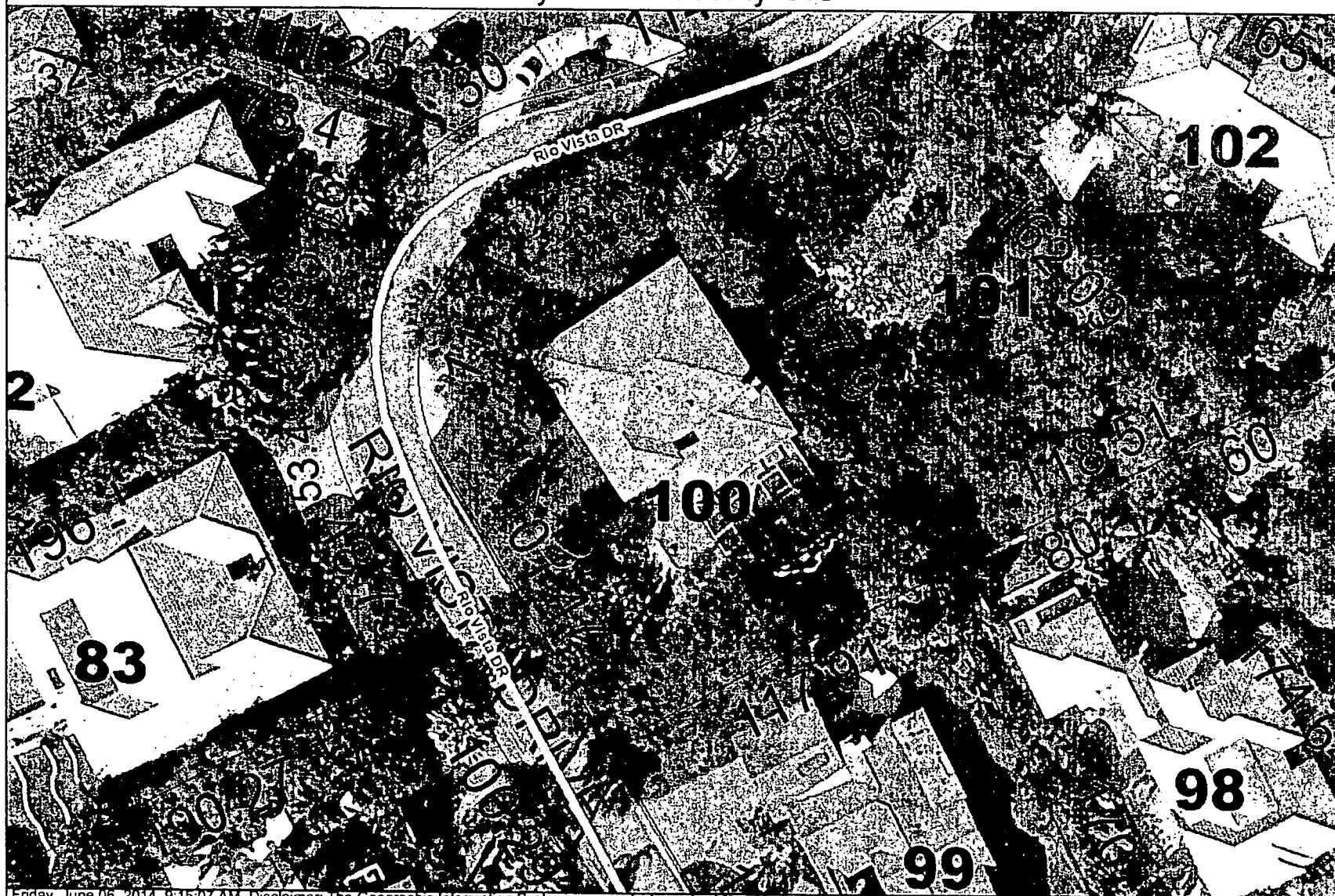


SITE PLAN

INCLUDE WELL, WATER LINE, DRIVEWAY, ROAD, SEPTIC SYSTEM, BUILDING AND NORTH ARROW.

ORIGINAL INSPECTOR [Signature]  
 DATE: 3/2/90

# MC Navigator by Martin County GIS



Friday, June 06, 2014, 9:15:07 AM, Disclaimer: The Geographic Information System map product, received from Martin County, ("COUNTY") is provided "as is" without warranty of any kind, and the COUNTY expressly disclaims all express and implied warranties, including but not limited to the implied warranties of merchantability and fitness for a particular purpose. The COUNTY does not warrant, guarantee, or make any representations regarding the use, or the results of the use, of the information provided to you by the COUNTY in terms of correctness, accuracy, reliability, timeliness or otherwise. The entire risk as to the results and performance of any information obtained from the COUNTY is entirely assumed by the recipient. Please contact the responsible Martin County Department for specific determinations.



**DWIGHT DAVIS ARCHITECT, P.A.**

Florida license #AR0016908  
1045 S.E. Riverside Drive  
Stuart, Florida 34996  
(772) 781-6695

OWP FWP  
# 10925

August 22, 2014

To: Sewalls Point Building Department

**RE: Robson**  
**33 Rio Vista Drive**  
**Sewalls Point, Florida**

This letter references two issues the Sewalls Point building inspector, John Adams, has brought to my attention:

Issue 1: The location and installation of an air handler, a pre-existing condition not involved in the scope of work in the present building permit, was originally installed in an awkward orientation that is difficult to service. It is located on the first floor below the existing stairs. I discussed this condition with the owner, and made him aware of the difficulties in servicing the unit and the owner has decided not to relocate or reorient the air-handler. Although the inspector's concerns are merited, I am unaware of any health, safety and welfare issues and believe this installation to be adequate.

Note: per the inspector's concerns about the efficiency of the air handler, the owner has added an insulated duct board plenum below the unit.

Issue 2: The owner intends to install a new KitchenAid downdraft fan model #KXD4636 YSS in the kitchen as a replacement and connect it to a pre-existing 6" PVC vent pipe within the existing concrete slab. I contacted KitchenAid to determine their requirements for this connection and they informed me this pre-existing pipe could be used with their product. I am unaware of any health, safety and welfare issues for this condition and believe the installation will be adequate.

Please contact me with any questions.

Sincerely,

  
Dwight Davis AIA

8/22/14

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 8/11 -14 Page 2 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10668	FITZSIMMONS	FINAL		
9 AM	99 N SPR Gulfstream	SCREEN / SHOOTER	PASS	CLOSE  INSPECTOR <i>AF</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10877	POND HIGH PT LLC 49W High Pt Rd Van Kirk + Sons	Perimeter Piping	PASS	  INSPECTOR <i>AF</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
7669	Dominico 6 Fieldway Drive O/B	Final Garage Door	PASS	CLOSE  INSPECTOR <i>AF</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>10924</del> 10925	<del>Robson</del> <del>33 Rio Vista Drive</del> Glenmark Homes	<del>Partial</del> <del>Rough</del> Plumbing	<del>PASS</del> <del>PASS</del>	  INSPECTOR <i>AF</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 8/21 - 14 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10570	Fetzner 2 W High Point Elite Electric	Final Mechanical A/C (Expired)	PASS	CLOSE INSPECTOR <i>A</i>
10937	Pistolee 21 Perriwinkle Florida Gas Express	Final Gas Tank	PASS	CLOSE INSPECTOR <i>A</i>
<del>10925</del> 2:00pm	Robson <del>33 Rio Vista</del> Glenmark Homes	Rough-in All Trades	<del>PASS</del>	<del>PENDING LETTER</del> <del>INSPECTOR <i>A</i></del>
10672	Duke 25 Island Rd CDR	LATH Inspection	PASS	INSPECTOR <i>A</i>
10:00	16 E. 1476A PT	JOB SITE RE: MAKE-UP ALL	<i>OK</i>	INSPECTOR
				INSPECTOR
				INSPECTOR

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

-14 Page 2 of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10627	Elder	Detached		
	110 55 PR	Garage + Driveway		Will call for
	O/B	(Expired)		INSPECTIONS NEXT WEEK
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10540	Elder	Dock + 2		
	110 55 PR	Boat lifts	PASS	CLOSE
	Otis Leonard	(Expired)		
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10925	Robson	Rough-in		CONTRACTOR HAS
	<del>BRADY/ALBERTA</del>	All Trades	FAIL	LIST
	Glen Mark			
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection  Mon  Tue  Wed  Thur  Fri 11/6/14 Page 1 of    

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11013	Hynemann 4 Michael Rd Gribben Const.	Final Remodel	Pass	Close INSPECTOR <i>[Signature]</i>
11005	Blanchard 20 N SPR Stuart Fence	Fence Final	?	INSPECTOR
<del>10925</del>	<del>Robson</del> <del>33 Rio Vista</del> Glenmark Homes	Final Interior Remodel	<del>Pass</del>	<del>Close</del> INSPECTOR <i>[Signature]</i>
10726	Gill 34 Rio Vista Morse	Final Railing	Pass	Close INSPECTOR <i>[Signature]</i>
10778	Nehme 44 S SPR Oceanfront Builders	Insulation (New SFR)	Pass	INSPECTOR <i>[Signature]</i>
11050	Duke 25 Island Rd Alexander Pools	Steel Bond Main Drain Niche	Not Ready - TIE-IN SURVEY RESET FOR MONDAY	INSPECTOR
10934	GRACY 6 ORKILL WAY SEAGATE	INSULATION	Pass	INSPECTOR

# **ADMINISTRATIVE VARIANCE**

ROBERT M. WIENKE  
Mayor

THOMAS P. BAUSCH  
Vice Mayor

DAWSON C. GLOVER, III  
Commissioner

E. DANIEL MORRIS  
Commissioner

MARC S. TEPLITZ  
Commissioner

# TOWN OF SEWALL'S POINT



JOSEPH C. DORSKY  
Town Manager

JOAN H. BARROW  
Town Clerk

LARRY E. McCARTY  
Chief of Police

GENE SIMMONS  
Building Official

JOSE TORRES, JR.  
Maintenance

October 30, 2001

Kathi Lundstrom  
Sewall's Point Real Estate  
3727 S.E. Ocean Blvd.  
Sewall's Point, Florida 34996

Re: Administrative Variance, Lot 100 Rio Vista, Anderson

Dear Ms. Lundstrom:

Enclosed is the Town's check in the amount of \$155.50, your refund regarding the above-referenced variance:

7/01	Received checks from Sewall's Point Real Estate	+\$500.00
7/01	Town of Sewall's Point - filing fee	-\$250.00
9/01	Wright Ponsoldt - legal fees	-\$ 75.00
9/01	Clerk of Circuit Court - recording fees	-\$ <u>19.50</u>
10/01	Refund to Sewall's Point Real Estate	\$155.50

Also enclosed is a copy of the recorded variance. Please do not hesitate to contact me if you require anything further.

Sincerely,  
TOWN OF SEWALL'S POINT

Joan Barrow, Town Clerk/Treasurer



One South Sewall's Point Road, Sewall's Point, Florida 34996  
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: [clerk@sewallspoint.org](mailto:clerk@sewallspoint.org)  
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: [police@sewallspoint.org](mailto:police@sewallspoint.org)

**TOWN OF SEWALL'S POINT ADMINISTRATIVE  
VARIANCE APPLICATION FORM**

- 1. Owner of Property: Philip & Carol Anderson
- 2. Address of Property: 33 Rio Vista Drive, Stuart, Fl. 34996
- 3. Address of Applicant: 33 Rio Vista Drive, Stuart, Fl. 34996
- 4. Phone No. of Applicant: 561-288-1433

5. Length and Location (front, rear, side) of Encroachment (if more than one, please

list separately): Survey discloses that the east side of the house encroaches the entire length of the home up to .08' at it's widest margin. The survey also discloses that the home at the north corner of the main structure, and the north corner of the garage encroaches .3' & .36; into the mandated 35' road frontage set back.

6. Have you included the following materials with your application? Yes

- A. \$250.00 Filing Fee
- B. \$250.00 Costs Deposit
- C. Certificate of Ownership
- D. Certificate of Adjacent Owners
- E. Survey
- F. Letters of No Objection or Proof of Mailing Notice

7. Does/do the encroachment(s) result from development under a permit for which a certificate of occupancy was issued prior to March 11, 1992? yes

I hereby certify that all of the information above and the application materials I have provided are true and correct:

Carol M. Anderson  
Applicant

Dated this 26<sup>th</sup> day of July, 2001, 199.

Town of Sewall's Point  
Administrative Variance Approval  
Page Two

setback requirement(s) in effect on the date that the encroachment was first created, or twenty inches (20"), whichever is less; and

(3) No letters of objection to the administrative variance application have been filed by adjacent owners with the Town Clerk; and

(4) The Application meets the conditions of the Town of Sewall's Point Code of Ordinances for an administrative variance.

NOW, THEREFORE, the Town of Sewall's Point hereby grants and approves the Application for an administrative variance for the encroachments shown on the Survey.

Dated this 21<sup>st</sup> day of August, 2001.

The Town of Sewell's Point, a  
Florida municipal corporation

By: [Signature]  
Its: Mayor/Commissioner

STATE OF FLORIDA  
COUNTY OF MARTIN

Sworn to and subscribed before me this 21<sup>st</sup> day of August, 2001  
by R.M. Wienke, as Mayor/Commissioner of the Town of Sewall's  
Point, a Florida municipal corporation, who is personally known to me or who has produced  
\_\_\_\_\_ as identification and who did not take an oath.

(NOTARY SEAL)

[Signature]  
Name: Joan H. Barrow  
I am a Notary Public of the  
State of Florida and my  
commission expires:  
11-30-02



INSTR # 1518568

OR BK 01577 PG 0276

RECORDED 08/23/2001 01:59 PM

MARSHA EWING

MARTIN COUNTY Florida

RECORDED BY S Johnson

Prepared by and return to:  
Town of Sewall's Point  
One South Sewall's Point Road  
Stuart Florida 34996

**TOWN OF SEWALL'S POINT ADMINISTRATIVE  
VARIANCE APPROVAL**

1. Owner of Property: Philip & Carol Anderson

2. Legal Description of Property:

Rio Vista Subdivision lot #100

3. Date of Administrative Variance Application: July 25, 2001

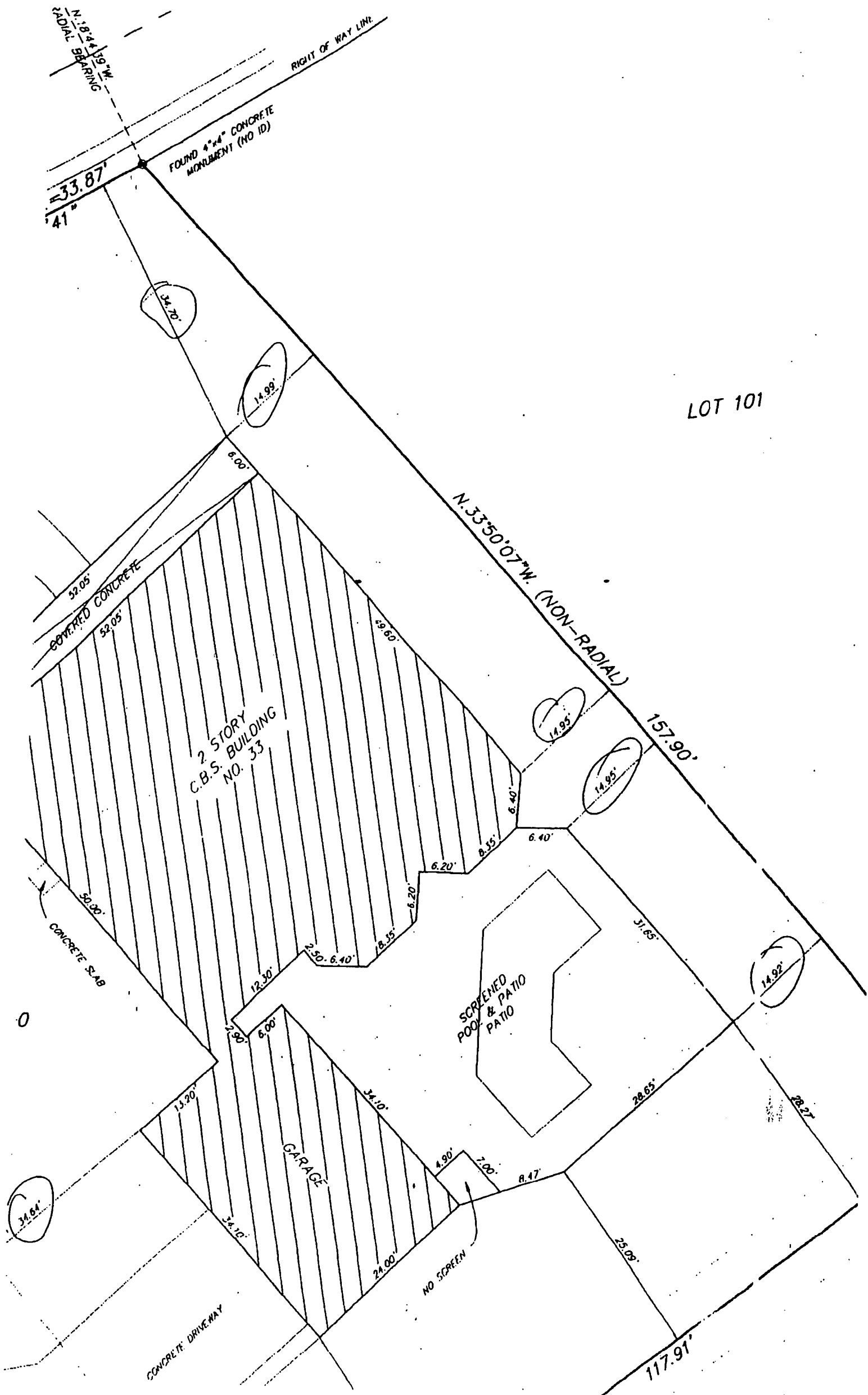
Whereas, the Town of Sewall's Point Building Commissioner (the "Building Commissioner") has authority under the Town of Sewall's Point Code of Ordinances to grant administrative variances upon making certain findings of fact; and

Whereas, the Building Commissioner has reviewed an Administrative Variance Application (the "Application") for the Property described above and determined that the Application is complete; and

Whereas, the Building Commissioner has made the appropriate findings of fact and finds that:

(1) The setback violation(s) for the encroachments shown on the survey attached as Exhibit "A" (the "Survey") was/were a good faith error(s) and was/were not intentional; and

(2) The encroachment(s) is/are less than or equal to five percent (5%) of the



LOT 101

2 STORY  
C.B.S. BUILDING  
NO. 33

SCREENED  
POOL & PATIO

GARAGE

CONCRETE DRIVEWAY

NO SCREEN

N. 18° 44' 39" W.  
RADIAL BEARING

RIGHT OF WAY LINE

FOUND 4"x4" CONCRETE  
MONUMENT (NO ID)

N. 33° 50' 07" W. (NON-RADIAL)

33.87'  
41'

34.20'

14.99'

6.00'

157.90'

6.40'

14.95'

6.40'

6.20'

8.35'

6.20'

2.50' 6.40'

18.35'

31.65'

14.92'

28.65'

28.27'

24.00'

4.90'

7.00'

8.47'

25.09'

117.91'

32.05'

COVERED CONCRETE

52.05'

39.60'

32.00'

CONCRETE SLAB

13.20'

7.90'

6.00'

34.10'

36.10'

0

**TOWN OF SEWALL'S POINT ADMINISTRATIVE  
VARIANCE APPLICATION FORM**

1. Owner of Property: Philip & Carol Anderson
2. Address of Property: 33 Rio Vista Drive, Stuart, Fl. 34996
3. Address of Applicant: 33 Rio Vista Drive, Stuart, Fl. 34996
4. Phone No. of Applicant: 561-288-1433

5. Length and Location (front, rear, side) of Encroachment (if more than one, please

list separately): Survey discloses that the east side of the house encroaches the entire length of the home up to .08' at it's widest margin. The survey also discloses that the home at the north corner of the main structure, and the north corner of the garage encroaches .3' & .36; into the mandated 35' road frontage set back.

6. Have you included the following materials with your application? Yes

A. \$250.00 Filing Fee

B. \$250.00 Costs Deposit

C. Certificate of Ownership


D. Certificate of Adjacent Owners

E. Survey

F. Letters of No Objection or Proof of Mailing Notice

7. Does/do the encroachment(s) result from development under a permit for which a certificate of occupancy was issued prior to March 11, 1992? yes

I hereby certify that all of the information above and the application materials I have provided are true and correct:

  
Applicant

Dated this 26<sup>th</sup> day of July, 2001.



Prepared by and return to:  
Town of Sewall's Point  
One South Sewall's Point Road  
Stuart Florida 34996

**TOWN OF SEWALL'S POINT ADMINISTRATIVE  
VARIANCE APPROVAL**

1. **Owner of Property:** Philip & Carol Anderson

2. **Legal Description of Property:**

Rio Vista Subdivision lot #100

---

---

---

3. **Date of Administrative Variance Application:** July 25, 2001

Whereas, the Town of Sewall's Point Building Commissioner (the "Building Commissioner") has authority under the Town of Sewall's Point Code of Ordinances to grant administrative variances upon making certain findings of fact; and

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Whereas, the Building Commissioner has made the appropriate findings of fact and finds that:

(1) The setback violation(s) for the encroachments shown on the survey attached as Exhibit "A" (the "Survey") was/were a good faith error(s) and was/were not intentional; and

(2) The encroachment(s) is/are less than or equal to five percent (5%) of the

setback requirement(s) in effect on the date that the encroachment was first created, or twenty inches (20"), whichever is less; and

(3) No letters of objection to the administrative variance application have been filed by adjacent owners with the Town Clerk; and

(4) The Application meets the conditions of the Town of Sewall's Point Code of Ordinances for an administrative variance.

NOW, THEREFORE, the Town of Sewall's Point hereby grants and approves the Application for an administrative variance for the encroachments shown on the Survey.

Dated this 21<sup>st</sup> day of August, 2001:

The Town of Sewall's Point, a  
Florida municipal corporation

By: [Signature]  
Its: Mayor/Commissioner

STATE OF FLORIDA  
COUNTY OF MARTIN

Sworn to and subscribed before me this 21<sup>st</sup> day of August, 2001  
by R.M. Wienke, as Mayor/Commissioner of the Town of Sewall's  
Point, a Florida municipal corporation, who is personally known to me or who has produced  
\_\_\_\_\_ as identification and who did not take an oath.

(NOTARY SEAL)

[Signature]  
Name: Joan H. Barrow  
I am a Notary Public of the  
State of Florida and my  
commission expires:  
11-30-02



Maps are not available  
for this area.

Maps are r  
for thi

Photo is not available.



**Martin County Tax Information**

**PID:** 12384100200001000      **SBN:** RIO VISTA      **SBN Code:** 1281002  
**Use:** 0100 / Single Family      **MAP PG:** SP-05      **NBH Code:** 1215  
**PAD:** 33 RIO VISTA DR      **Unit:**      **City:**      **Zip:**  
**Legal:** RIO VISTA S/D LOT 100

**Owner Name:** PHILIP      **Owner 2 Name:** CAROL M  
**Last Name:** ANDERSON      **Last Name:** ANDERSON  
**Address1:** 515 S CALIFORNIA AVE  
**Address2:**  
**City:** STUART      **State:** Florida      **Zip:** 34994  
**Year Built:** 1990      **Effective Year Built:**  
**Total Living Area:** 4,577      **Total Under Roof:** 6,017  
**Tax Year:** 2000      **Tax:** 4139.01

**Sales Record**

<u>Sale</u>	<u>Price</u>	<u>Rec Date</u>	<u>D-Type</u>	<u>OR BK/PG</u>	<u>Seller</u>
1 01-Aug-1989	\$112000	01-Aug-1989	WD	0822/1368	SELLER - see file for name
2 01-Aug-1989	\$112000	01-Aug-1989	WD	0822/1368	SELLER - see file for name
3 01-Jun-1980	\$71500	01-Jun-1980	2		SELLER - see file for name

**\*Tax Information**

**Market Land Val:** 97500      **Market Imp. Val:** 254830      **Mobile Home Val:** 0  
**Tot Market Val:** 352330      **Tot Appraised Val:** 352330      **Tot Assessed Val:** 261033  
**(-) AG Market Val:** 0      **(-) Cap Loss:** 91297      **(-) Exemptions:** 25000  
**(+) AG Class Val:** 0  
**Total Taxable Value:** 236033      **\*Current Market Tax Roll Multiplier:** 0.31

**FORM - WRITTEN NOTICE**

Adjacent Property Owners  
Town of Sewall's Point  
Stuart, Florida 34996

RE: Administrative Variance Application Filed by Philip & Carol Anderson

To Whom It May Concern:

Enclosed is a copy of the Administrative Variance Application filed by  
Philip & Carol Anderson If you have any objection to the Administrative Variance being  
granted by the Town of Sewall's Point, you must file a written objection with the Town Clerk  
within fifteen (15) days from the date that this notice was mailed.

Sincerely yours,

Philip & Carol Anderson

**WRIGHT, PONSOLDT & LOZEAU**  
**TRIAL ATTORNEYS, L.L.P.**

1000 S.E. Monterey Commons Boulevard  
Suite 208  
Stuart, Florida 34996  
(561) 286-5566 Telephone  
(561) 286-9102 Facsimile

Tim B. Wright  
William R. Ponsoldt, Jr.  
Louis E. Lozeau, Jr.

August 9, 2001

Vice Mayor Thomas P. Bausch  
Town of Sewall's Point  
1 South Sewall's Point Road  
Sewall's Point, Florida 34996

Re: *Town of Sewall's Point; Administrative Variance Application of  
Philip and Carol Anderson*

Dear Vice Mayor Bausch:

I have reviewed the referenced variance application and find that the application is incomplete as it does not include either letters of objection or proof of mailing of the notice letter requiring adjacent owners to file objections within fifteen (15) days of the date of mailing. Upon correction of these deficiencies, I find that the variance application meets all the other requirements of the Town of Sewall's Point Code of Ordinances.

Sincerely yours,



Tim B. Wright

TBW/mcf

cc: Mr. Edwin B. Arnold  
Mr. and Mrs. Philip Anderson

**FORM LETTER OF NO OBJECTION**

The Town of Sewall's Point  
One South Sewall's Point Road  
Stuart, Florida 34996

RE: Application for Administrative Variance Pursuant to Appendix B - Zoning, Section  
VIII.F, Town of Sewall's Point Code of Ordinances Filed by Philip & Carol Anderson

Dear Town of Sewall's Point:

I have reviewed the Administrative Variance Application filed by Philip & Carol Anderson with the  
Town of Sewall's Point. I am an adjacent property owner to the property which is the  
subject of the Administrative Variance and I have no objection to the Town of Sewall's Point  
granting the Administrative Variance.

Sincerely yours,



**Martin County Tax Information**

**PID:** 12384100200001010      **SBN:** RIO VISTA      **SBN Code:** 1281002  
**Use:** 0000 / Vacant Residential      **MAP PG:** SP-05      **NBH Code:** 1215  
**PAD:**      **Unit:**      **City:**      **Zip:**  
**Legal:** RIO VISTA S/D LOT 101

**Owner Name:** MICHELE M (CO-TR)      **Owner 2 Name:** MARIA F (CO-TR)  
**Last Name:** RUCCOLO      **Last Name:** RUCOLLO  
**Address1:** 60 NORTH RIVER RD  
**Address2:**  
**City:** STUART      **State:** Florida      **Zip:** 34996  
**Year Built:**      **Effective Year Built:**  
**Total Living Area:**      **Total Under Roof:** 0  
**Tax Year:** 2000      **Tax:** 1446.69

**Sales Record**

<u>Sale</u>	<u>Price</u>	<u>Rec Date</u>	<u>D-Type</u>	<u>OR BK/PG</u>	<u>Seller</u>	
1	08-Dec-1998	\$0	08-Dec-1998	WD	1355/0938	RUCCOLO, MICHAEL M & MARIA F
2	01-Jul-1988	\$78000	01-Jul-1988	WD	0771/1688	SELLER - see file for name
3	01-Jul-1988	\$78000	01-Jul-1988	WD	0771/1688	SELLER - see file for name

**\*Tax Information**

**Market Land Val:**      **Market Imp. Val:**      **Mobile Home Val:** 0  
**Tot Market Val:**      **Tot Appraised Val:** 82500      **Tot Assessed Val:**  
**(-) AG Market Val:** 0      **(-) Cap Loss:** 0      **(-) Exemptions:** 0  
**(+) AG Class Val:** 0  
**Total Taxable Value:** 82500      **\*Current Market Tax Roll Multiplier:** 0.00

**Building Features**

<u>Area</u>	<u>Area Description</u>	<u>Quantity</u>
LLIT	INTERIOR	1
LOT	LAND VALUE-PER LOT	1

\*TOTAL MARKET VALUE is the Property Appraiser's estimate of what the property would sell for excluding cost of sale. TOTAL APPRAISED VALUE includes the value of agricultural use - if any. TOTAL ASSESSED VALUE subtracts out any assessment cap resulting from Amendment 10 (Save Our Homes). TOTAL TAXABLE VALUE is the property value on which the actual tax is based. C.M.T.R. (Current Market Tax Roll Multiplier) is the last sale price divided by the current Market Value. If a property is sold, any assessment cap is removed and the property is reset to Total Market Value.

**PID:** 12384100200001010

**FORM LETTER OF NO OBJECTION**

PLEASE RETURN IN  
ENCLOSED STAMPED  
ENVELOPE

The Town of Sewall's Point  
One South Sewall's Point Road  
Stuart, Florida 34996

RE: Application for Administrative Variance Pursuant to Appendix B - Zoning, Section  
VIII.F, Town of Sewall's Point Code of Ordinances Filed by Philip & Carol Anderson

Dear Town of Sewall's Point:

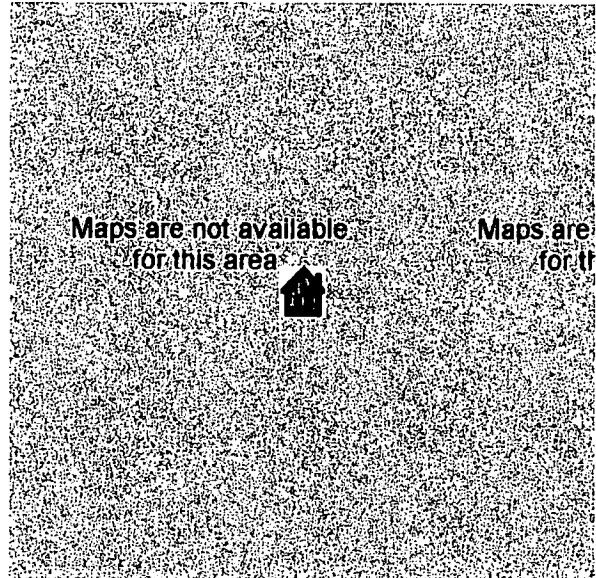
I have reviewed the Administrative Variance Application filed by Philip & Carol Anderson with the  
Town of Sewall's Point. I am an adjacent property owner to the property which is the  
subject of the Administrative Variance and I have no objection to the Town of Sewall's Point  
granting the Administrative Variance.

Sincerely yours,

Herta Heineman  
287-3596



Photo is not available.



**Martin County Tax Information**

**PID:** 12384100200000990      **SBN:** RIO VISTA      **SBN Code:** 1281002  
**Use:** 0100 / Single Family      **MAP PG:** SP-05      **NBH Code:** 1215  
**PAD:** 37 RIO VISTA DR      **Unit:**      **City:**      **Zip:**  
**Legal:** RIO VISTA S/D LOT 99

**Owner Name:** HERTA (L/E)      **Owner 2 Name:** HERTA (TR)(REM)  
**Last Name:** HEINEMAN      **Last Name:** HEINEMAN  
**Address1:** 37 RIO VISTA DR  
**Address2:**  
**City:** STUART      **State:** Florida      **Zip:** 34996  
**Year Built:** 1981      **Effective Year Built:** 1985  
**Total Living Area:** 2,795      **Total Under Roof:** 3,779  
**Tax Year:** 2000      **Tax:** 3137.96

**Sales Record**

<u>Sale</u>	<u>Price</u>	<u>Rec Date</u>	<u>D-Type</u>	<u>OR BK/PG</u>	<u>Seller</u>
1 10-May-1990	\$100	10-May-1990	WD	0859/0456	SELLER - see file for name
2 10-May-1990	\$100	10-May-1990	WD	0859/0456	SELLER - see file for name
3 21-Jun-1988	\$100	21-Jun-1988	QC	0770/0626	SELLER - see file for name

**\*Tax Information**

**Market Land Val:** 97500      **Market Imp. Val:** 166375      **Mobile Home Val:** 0  
**Tot Market Val:** 263875      **Tot Appraised Val:** 263875      **Tot Assessed Val:** 204447  
**(-) AG Market Val:** 0      **(-) Cap Loss:** 59428      **(-) Exemptions:** 25500  
**(+) AG Class Val:** 0  
**Total Taxable Value:** 178947      **\*Current Market Tax Roll Multiplier:** 0.00

**FORM LETTER OF NO OBJECTION**

PLEASE RETURN IN  
ENCLOSED STAMPED  
ENVELOPE

The Town of Sewall's Point  
One South Sewall's Point Road  
Stuart, Florida 34996

RE: Application for Administrative Variance Pursuant to Appendix B - Zoning, Section  
VIII.F, Town of Sewall's Point Code of Ordinances Filed by Philip & Carol Anderson

Dear Town of Sewall's Point:

I have reviewed the Administrative Variance Application filed by Philip & Carol Anderson with the  
Town of Sewall's Point. I am an adjacent property owner to the property which is the  
subject of the Administrative Variance and I have no objection to the Town of Sewall's Point  
granting the Administrative Variance.

Sincerely yours,

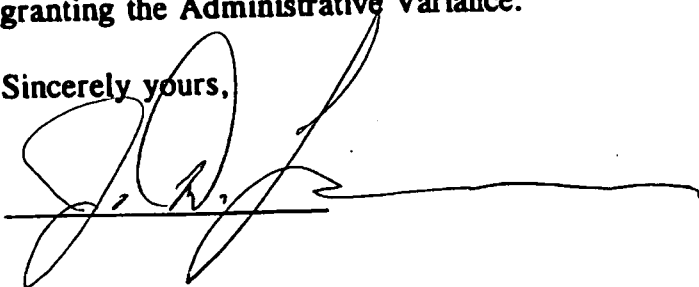


Photo is not available.

Map is not available.

**Martin County Tax Information**

**PID:** 12384100200000980      **SBN:** RIO VISTA      **SBN Code:** 1281002  
**Use:** 0000 / Vacant Residential      **MAP PG:** SP-05      **NBH Code:** 1215  
**PAD:**      **Unit:**      **City:**      **Zip:**  
**Legal:** RIO VISTA S/D LOT 98

**Owner Name:** JOHN D & ALYNE H      **Owner 2 Name:**  
**Last Name:** LEWIS      **Last Name:**  
**Address1:** 307 SE EGRET PL  
**Address2:**  
**City:** STUART      **State:** Florida      **Zip:** 34996  
**Year Built:**      **Effective Year Built:**  
**Total Living Area:**      **Total Under Roof:** 0  
**Tax Year:** 2000      **Tax:**

**Sales Record**

<u>Sale</u>	<u>Price</u>	<u>Rec Date</u>	<u>D-Type</u>	<u>OR BK/PG</u>	<u>Seller</u>
1 20-Nov-2000	\$130000	22-Nov-2000	WD	1517/2561	TRANter, JOHN E
2 20-Nov-2000	\$130000	22-Nov-2000	WD	1517/2561	TRANter, JOHN E
3 04-Jun-1999	\$100000	07-Jun-1999	WD	1398/2337	JOHNSON, SYLVIA G

**\*Tax Information**

**Market Land Val:**      **Market Imp. Val:**      **Mobile Home Val:** 0  
**Tot Market Val:**      **Tot Appraised Val:** 82500      **Tot Assessed Val:**  
**(-) AG Market Val:** 0      **(-) Cap Loss:** 0      **(-) Exemptions:** 0  
**(+) AG Class Val:** 0  
**Total Taxable Value:** 82500      **\*Current Market Tax Roll Multiplier:** 0.00

**Building Features**

<u>Area</u>	<u>Area Description</u>	<u>Quantity</u>
LLIT	INTERIOR	1
LOT	LAND VALUE-PER LOT	1

\*TOTAL MARKET VALUE is the Property Appraiser's estimate of what the property would sell for excluding cost of sale. TOTAL APPRAISED VALUE includes the value of agricultural use - if any. TOTAL ASSESSED VALUE subtracts out any assessment cap resulting from Amendment 10 (Save Our Homes). TOTAL TAXABLE VALUE is the property value on which the actual tax is based. C.M.T.R. (Current Market Tax Roll Multiplier) is the last sale price divided by the current Market Value. If a property is sold, any assessment cap is removed and the property is reset to Total Market Value.

INFORMATION DEEMED RELIABLE BUT NOT GUARANTEED.

# **ADMINISTRATIVE VARIANCE**

INSTR # 2354487 DR BK 2604 PG 1873 RECD 10/04/2012 10:13:24 AM  
(3 Pgs)  
MARSHA SWING MARTIN COUNTY - SLERK

IN RE: VARIANCE OF  
GEORGE H. AND VIVIAN C. GILL

IN THE JURISDICTION OF THE TOWN  
COMMISSION OF THE TOWN OF  
SEWALL'S POINT, FLORIDA

**FINAL ORDER**

George H. and Vivian C Gill are the owners of real property ("Owner") located at 33 Rio Vista Drive, Sewall's Point, Florida ("subject property").

**FINDINGS OF FACT**

The required front building setback for the subject property is thirty five (35') feet. However the South West corner measured at the Garage encroaches .42 feet into the required 35-foot setback.

The required rear setback for the subject property is 25 feet. However a point near the South East corner of the Screen Room encroaches .22 feet into the required 25 foot setback.

The Owner, has applied for an administrative variance (the "Application"), pursuant to the Town of Sewall's Point ("Town") Code of Ordinances Section 82-143.

3. The records of the Town's Building Department indicate that the original house building plans were approved by the Town on September 27, 1989, and the Screen Room plans were approved by the Town on May 13, 1994. At those times, the submitted proposed surveys indicated compliance with the required 35 foot setback for the house, and the required 25 foot setback for the Screen Room. It is the opinion of the Town Building Official that the original proposed plans were not followed exactly, and the House builder unintentionally sited the South West corner of the House measured at the garage .42 feet into the required 35-foot setback and the Screen Room builder sited the Screen Room at a point near the South East corner .22 feet into the required 25 foot setback. On or about September 27, 1987, and on about May 13, 1994 the Town issued a building permits for the construction of the residence and screen room respectively on the subject property, which resulted in the setback encroachments described herein due to a measuring errors by the original builders.
4. The Town Building Official received and reviewed the Application, and considered to allow:
  - a. **South West corner at the Garage:** An encroachment of .42 feet into the required 35-foot setback.

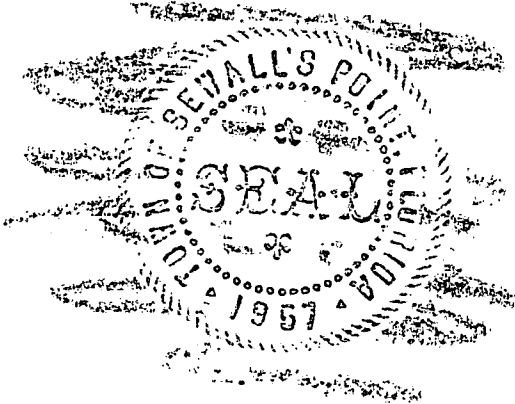
- b. **At a point near the South East corner of the Screen Room:** An encroachment of .22 feet into the required 25-foot setback.
5. The Residence and Screen Room for which the Variances are requested were constructed under valid Town permits dated September 27, 1989, and May 13, 1994 respectively. The setback violations for the encroachments shown on the survey were good faith errors and were not intentional.
6. The Applicant provided "Letters of no Objection" from the adjacent property owners to the property involved in the Variances.
7. The Building Official also considered:
  - a. That the Applicant meets all the requirements for the variances requested as set forth in Town Code Section 82-143(3).
  - b. The encroachments are less than one foot into the required setback in effect at the time the encroachment was created.
  - c. "Letters of no Objection" to the Administrative Variance request have been filed by the Owners for three (3) adjacent property owners.
8. The Town Building Official has jurisdiction over Administrative Variance Applications
9. Based upon the Application of the variance criteria to the subject property, the Town Building Official finds that the Applicant has satisfied all of the variance criteria for the variances requested.
10. The Variances as set forth herein is hereby conditionally **GRANTED** by the Town Building Official of the Town of Sewall's Point, Florida.
11. This Variance is expressly conditioned upon the Applicant reimbursing the Town for all expenses of the Town incurred in connection with the Variance Application, pursuant to Section 82-143(1), Town of Sewall's Point Code of Ordinances. **DONE AND ORDERED** in Sewall's Point this 28<sup>th</sup> day of September, 2012.

ATTEST

*Ann Marie S. Basler*  
Ann Marie S. Basler, Town Clerk

*John R. Adams*  
John R. Adams, Town Building Official

Copies to:  
George H. and Vivian Gill, 33 Rio Vista Drive, Sewall's Point, FL 34996



JACQUI-THURLOW  
LIPPISCH  
Mayor

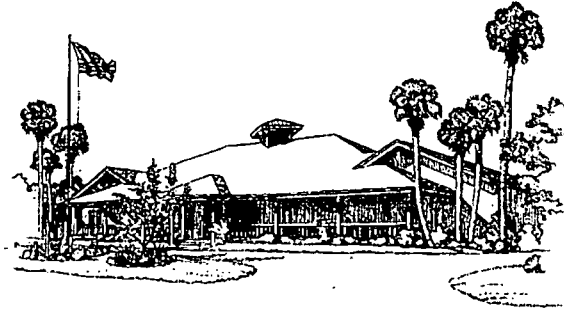
PAUL SCHOPPE  
Vice Mayor

THOMAS P. BAUSCH  
Commissioner

PAMELA M. BUSHA  
Commissioner

PAUL LUGER  
Commissioner

## TOWN OF SEWALL'S POINT BUILDING DEPARTMENT



ROBERT KELLOGG  
Town Manager

ANN-MARIE S. BASLER  
Town Clerk

ERIC CERNIGLIA  
Chief of Police

JOHN R. ADAMS  
Building Official

### ADMINISTRATIVE VARIANCE NOTICE OF STATUS

September 28, 2012

George H. & Vivian C. Gill  
33 Rio Vista Drive  
Sewall's Point, FL 34996

**REFERENCE:** Application for an Administrative Variance for George H. & Vivian C. Gill, for the property located at 33 Rio Vista Drive, Sewall's Point, FL 34996, received September 24, 2012

Dear Mr. & Mrs. Gill,

Your application for an administrative variance, more specifically:

1. Setback of 34.58 feet on the South West corner measured at the Garage in lieu of the required 35 ft.
2. Setback of 24.78 feet at appoint near the South East corner of the Screen Room in lieu of the 25 foot setback

Has been approved by the Building official.

**Sec. 82-143 Upon approval of the administrative variance, the town clerk shall record the Building Official's approval in the Martin County, Florida public records. The applicant shall be responsible for the recording costs incurred by the Town, and shall pay the Town such costs prior to the recordation of any documents.**

ANY ADDITIONAL RECORDING COSTS ARE TO BE PAID UPON RECEIPT OF APPROVAL

ADDITIONAL RECORDING COSTS: NONE

With best regards,

A handwritten signature in black ink, appearing to read 'John R. Adams'. The signature is fluid and cursive.

John R. Adams, C.B.O.



One S. Sewall's Point Road, Sewall's Point, Florida 34996  
Town Hall (772) 287-2455 • Fax (772) 220-4765 • E-Mail: [clerk@sewallspoint.martin.fl.us](mailto:clerk@sewallspoint.martin.fl.us)  
Building Department (772) 287-2455 • Fax (772) 220-4765 • E-Mail: [jadams@sewallspoint.martin.fl.us](mailto:jadams@sewallspoint.martin.fl.us)





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

*Rec'd  
 9/29/12  
 [Signature]*

**ADMINISTRATIVE VARIANCE APPLICATION AND CHECKLIST**

DESCRIBE IN DETAIL THE ENCROACHMENT(S) LENGTH AND LOCATION. IF MORE THAN ONE, PLEASE LIST EACH SEPARATELY.

*Garage and screened enclosure are slightly within the required setback along the southeasterly boundary of the property.*

UPON APPROVAL OF THE ADMINISTRATIVE VARIANCE, THE TOWN CLERK SHALL RECORD THE BUILDING OFFICIAL'S APPROVAL IN THE MARTIN COUNTY, FLORIDA PUBLIC RECORDS. THE APPLICANT SHALL BE RESPONSIBLE FOR THE RECORDING COSTS INCURRED BY THE TOWN, AND SHALL PAY THE TOWN SUCH COSTS PRIOR TO THE RECORDATION OF ANY DOCUMENTS.

THE APPLICANT UNDER SECTION 82-101 OF THE CODE MAY TAKE AN ADMINISTRATIVE APPEAL FROM A DECISION OF THE BUILDING OFFICIAL UNDER THIS SECTION. THE ADMINISTRATIVE APPEAL MAY PROCEED CONCURRENTLY WITH AN APPLICATION FOR A VARIANCE BEFORE THE BOARD OF ZONING ADJUSTMENT, AT THE ELECTION OF THE APPLICANT

✓ OWNER/APPLICANT(S) SIGNATURE *[Signatures]*  
 GEORGE H. GILL / VIVIAN C. GILL

SWORN TO AND SUBSCRIBED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

STATE OF FLORIDA COUNTY OF MIAMI-DADE

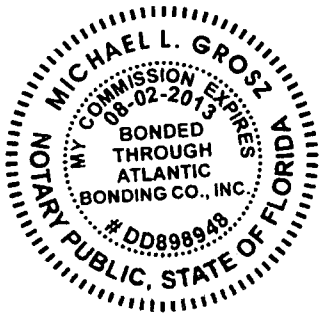
2012 BY GEORGE H. GILL and Vivian C. Gill

PERSONALLY KNOWN

OR PRODUCED ID \_\_\_\_\_

TYPE OF ID \_\_\_\_\_

✓ *[Signature]*  
 NOTARY





**Martin County, Florida**  
**Laurel Kelly, C.F.A**

Site Provided by...  
 governmentmax.com 1,12

**Summary**



Parcel ID  
 1 of 1

**Tabs**

**Summary**

- Print View
- Land
- Improvements
- Assessments & Exemptions
- Sales
- Taxes →
- NEW: Navigator
- Parcel Map →
- Notice of Prop.
- Taxes →

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-002-000-01000-527611		33 RIO VISTA DR, SEWALL'S POINT	\$479,400	9/22/2012

**Owner Information**

<b>Owner(Current)</b>	GILL GEORGE H & VIVIAN C
<b>Owner/Mail Address</b>	12385 KEYSTONE ISLAND DR NORTH MIAMI FL 33181
<b>Sale Date</b>	12/1/2004
<b>Document Book/Page</b>	1959 1308
<b>Document No.</b>	1795615
<b>Sale Price</b>	930000

**Searches**

**Parcel ID**

- Owner
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- NEW: Navigator
- Maps →

Account #		Location/Description	
27611			
<b>Tax District</b>	2200	<b>Map Page No.</b>	SP-05
<b>Parcel Address</b>	33 RIO VISTA DR, SEWALL'S POINT	<b>Legal Description</b>	RIO VISTA S/D LOT 100
<b>Acres</b>	.4100		

**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120250 RIO VISTA DRY

**Functions**

**Property Search**

- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

**Assessment Information**

<b>Market Land Value</b>	\$156,000
<b>Market Improvement Value</b>	\$323,400
<b>Market Total Value</b>	\$479,400

[Print](#) [First](#) [Previous](#) [Next](#) [Last](#)

[Legal Disclaimer](#) / [Privacy Statement](#)



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**ADMINISTRATIVE VARIANCE LETTER OF NO OBJECTION**

Building Official  
 The Town of Sewall's Point  
 One South Sewall's Point Road  
 Sewall's Point, FL 34996

**REFERENCE:** Application for an Administrative Variance Pursuant to Section 82-141 Town of Sewall's Point Code of Ordinances.

Filed by: (Property Owner's name) George & Vivian Gill  
 Located at: (Property address) 33 RIO VISTA DRIVE, SEWALLS POINT, FL 34996

Dear Building Official:

I have received the above referenced Administrative Variance application filed with the Town of Sewall's Point. I am an adjacent property owner to the property that is the subject of the Administrative Variance. I have no objection to the Town Building Official granting the Administrative Variance.

Sincerely yours,  
Herta Heineman  
 Printed Name of Adjacent Property Owner

Robert J Haas  
 Signature of Adjacent Property Owner  
 Personal Representative

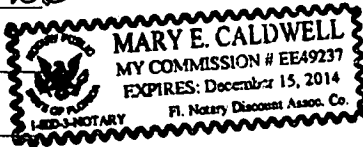
37 Rio Vista Drive, Sewalls Point  
 Address of Adjacent Property Owner

SWORN TO AND SUBSCRIBED BEFORE ME THIS 24 DAY OF September  
 STATE OF FLORIDA COUNTY OF MARTIN  
 2012 BY Robert J. Haas

PERSONALLY KNOWN \_\_\_\_\_

OR PRODUCED ID driver's license

TYPE OF ID \_\_\_\_\_  
Mary E Caldwell  
 NOTARY





**Martin County, Florida**  
**Laurel Kelly, C.F.A**

Site Provided by...  
governmentmax.com 1.13

**Summary**



Parcel ID  
1 of 1

**Tabs**

**Summary**

- Print View
- Land
- Improvements
- Assessments & Exemptions
- Sales
- Taxes →
- NEW: Navigator
- Parcel Map →
- Notice of Prop.
- Taxes →

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-002-000-00990-927610		37 RIO VISTA DR, SEWALL'S POINT	\$297,990	9/22/2012

**Owner Information**

<b>Owner(Current)</b>	HEINEMAN HERTA (L/E) HEINEMAN HERTA TR
<b>Owner/Mail Address</b>	37 RIO VISTA DR STUART FL 34996
<b>Sale Date</b>	5/10/1990
<b>Document Book/Page</b>	0859 0456
<b>Document No.</b>	
<b>Sale Price</b>	100

**Searches**

**Parcel ID**

- Owner
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- NEW: Navigator
- Maps →

Location/Description			
<b>Account #</b>	27610	<b>Map Page No.</b>	SP-05
<b>Tax District</b>	2200	<b>Legal Description</b>	RIO VISTA S/D LOT 99
<b>Parcel Address</b>	37 RIO VISTA DR, SEWALL'S POINT		
<b>Acres</b>	.4340		

**Functions**

**Property Search**

- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Parcel Type	
<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120250 RIO VISTA DRY

**Assessment Information**

<b>Market Land Value</b>	\$156,000
<b>Market Improvement Value</b>	\$141,990
<b>Market Total Value</b>	\$297,990

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TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**ADMINISTRATIVE VARIANCE LETTER OF NO OBJECTION**

Building Official  
 The Town of Sewall's Point  
 One South Sewall's Point Road  
 Sewall's Point, FL 34996

**REFERENCE:** Application for an Administrative Variance Pursuant to Section 82-141 Town of Sewall's Point Code of Ordinances.

Filed by: (Property Owner's name) George and Vivian Gill  
 Located at: (Property address) 33 Rio Vista Drive, Sewall's Point, FL 34996

Dear Building Official:

I have received the above referenced Administrative Variance application filed with the Town of Sewall's Point. I am an adjacent property owner to the property that is the subject of the Administrative Variance. I have no objection to the Town Building Official granting the Administrative Variance.

Sincerely yours,

J. D. LEWIS, III  
 Printed Name of Adjacent Property Owner

John D. Lewis, III  
 Signature of Adjacent Property Owner  
 JOHN D. LEWIS, III

43 Rio Vista Drive, Sewall's Point, FL 34996  
 Address of Adjacent Property Owner

SWORN TO AND SUBSCRIBED BEFORE ME THIS      DAY OF September 2012

STATE OF FLORIDA COUNTY OF MARTIN

20 12 BY JOHN D. LEWIS, III

PERSONALLY KNOWN     

OR PRODUCED ID     

TYPE OF ID     

Ellen A. Spader  
 NOTARY





**Martin County, Florida**  
**Laurel Kelly, C.F.A**

Site Provided by...  
 governmentmax.com 1.12

**Summary**



Parcel ID  
 1 of 1

**Tabs**

**Summary**

- Print View
- Land
- Improvements
- Assessments & Exemptions
- Sales
- Taxes →
- NEW: Navigator
- Parcel Map →
- Notice of Prop. Taxes →

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-002-000-00980-127609		43 RIO VISTA DR, SEWALL'S POINT	\$651,530	9/22/2012

**Owner Information**

<b>Owner(Current)</b>	LEWIS JOHN D & ALYNE H
<b>Owner/Mail Address</b>	43 RIO VISTA RD STUART FL 34996
<b>Sale Date</b>	11/20/2000
<b>Document Book/Page</b>	1517 2561
<b>Document No.</b>	JKL
<b>Sale Price</b>	130000

**Searches**

**Parcel ID**

- Owner
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- NEW: Navigator
- Maps →

Account #		Location/Description		Map Page No.	
27609				SP-05	
Tax District				<b>Legal Description</b>	RIO VISTA
2200					S/D
<b>Parcel Address</b>		43 RIO VISTA DR, SEWALL'S POINT			LOT
<b>Acres</b>		.3900			98

**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120250 RIO VISTA DRY

**Functions**

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

**Assessment Information**

<b>Market Land Value</b>	\$132,000
<b>Market Improvement Value</b>	\$519,530
<b>Market Total Value</b>	\$651,530

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TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**ADMINISTRATIVE VARIANCE LETTER OF NO OBJECTION**

Building Official  
 The Town of Sewall's Point  
 One South Sewall's Point Road  
 Sewall's Point, Fl 34996

**REFERENCE:** Application for an Administrative Variance Pursuant to Section 82-141 Town of Sewall's Point Code of Ordinances.

Filed by: (Property Owner's name) George & Vivian Gill

Located at: (Property address) 33 Rio Vista Dr. Sewalls Pt, Fl 34996

Dear Building Official:

I have received the above referenced Administrative Variance application filed with the Town of Sewall's Point. I am an adjacent property owner to the property that is the subject of the Administrative Variance. I have no objection to the Town Building Official granting the Administrative Variance.

Sincerely yours,

Michelle Matteo Ruccolo x Michele M Ruccolo  
 Printed Name of Adjacent Property Owner Signature of Adjacent Property Owner

Lot 101 Rio Vista Sl0  
60 N. River Rd Sewalls Pt, Fl 34996  
 Address of Adjacent Property Owner

SWORN TO AND SUBSCRIBED BEFORE ME THIS 18 DAY OF September, 2012

STATE OF Florida COUNTY OF Martin

2012 BY Jessica Briske

PERSONALLY KNOWN \_\_\_\_\_

OR PRODUCED ID

TYPE OF ID Drivers Licence

[Signature]  
 NOTARY



Jessica Briske  
 COMMISSION # DD990409  
 EXPIRES: AUG. 25, 2014  
 WWW.AARONNOTARY.com



**Martin County, Florida**  
**Laurel Kelly, C.F.A**

Site Provided by...  
governmentmax.com 1.12

**Summary**



Parcel ID  
1 of 1

**Tabs**

**Summary**

- Print View
- Land
- Improvements
- Assessments & Exemptions
- Sales
- Taxes →
- NEW: Navigator
- Parcel Map →
- Notice of Prop.
- Taxes →

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-002-000-01010-327612		UNASSIGNED, SEWALL'S POINT	\$114,000	9/22/2012

**Owner Information**

<b>Owner(Current)</b>	RUCCOLO MICHELE M (CO-TR) RUCCOLO MARIA F (CO-TR)
<b>Owner/Mail Address</b>	60 N RIVER RD STUART FL 34996
<b>Sale Date</b>	12/8/1998
<b>Document Book/Page</b>	1355 0938
<b>Document No.</b>	
<b>Sale Price</b>	0

**Searches**

**Parcel ID**

- Owner
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- NEW: Navigator
- Maps →

Location/Description			
<b>Account #</b>	27612	<b>Map Page No.</b>	SP-05
<b>Tax District</b>	2200	<b>Legal Description</b>	RIO VISTA S/D LOT 101
<b>Parcel Address</b>	UNASSIGNED, SEWALL'S POINT		
<b>Acres</b>	.3570		

**Parcel Type**

<b>Use Code</b>	0000 Vacant Residential
<b>Neighborhood</b>	120250 RIO VISTA DRY

**Functions**

**Property Search**

- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

**Assessment Information**

<b>Market Land Value</b>	\$114,000
<b>Market Improvement Value</b>	
<b>Market Total Value</b>	\$114,000

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# TREE PERMITS

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Permit # \_\_\_\_\_

Date Issued \_\_\_\_\_

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc..

Owner PHILLIP + CAROL ANDERSON Address 1313 S. ANDREWS AVE Phone 525-3629

Contractor SEACOAST CONSTRUCTION Address 2895 E OCEAN BLVD Phone 283-6642

Number of trees to be removed (list kinds of trees) 8- (2) OAK

(1) COCO PLUMB (1) CARABE 4(?)

Number of trees to be relocated within 30 days (no fee) (list kinds of trees) 0

Number of trees to be replaced within 30 days (list kinds of trees) \_\_\_\_\_

Permit Fee: \$ 12<sup>00</sup> (\$5. for first tree plus \$1. for each additional tree - not to exceed \$25.)

(No permit fee for trees which are relocated on property or lie within a utility easement and are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

Permit good for one year. Fee for renewal of expired permit \$5.

Signature of applicant Patrick Scherman Date submitted 8-28-89

Approved by Building Inspector Doh R Date 8/29/89

Approved by Building Commissioner \_\_\_\_\_ Date \_\_\_\_\_

Completed \_\_\_\_\_  
Date \_\_\_\_\_ Checked by \_\_\_\_\_

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT OBTAINING A PERMIT: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSES OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA.