

42 Rio Vista Drive

1180
Permit No. 1180

TOWN OF SEWALL'S POINT FLORIDA

RECEIVED
Date JUL 2 1980

APPLICATION FOR A PERMIT TO BUILD A HOUSE OR COMMERCIAL BUILDING

This application must be accompanied by three sets of complete plans, to scale, (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections; plumbing, electrical and air-conditioning layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house or commercial building construction.

Owner KENNETH THURSTON Present address 428 W. COOK AVE
Phone 312-362-6028 LIBERTYVILLE ILL.
General contractor ROBERT H. LOOMIS, INC. Address 923 HAWKWOOD
Phone 286-2320 STUART
Where licensed STATE License No. C6C001112
Plumbing contractor DAVES License No. 030
Electrical contractor ALTEC License No. 054
Air-conditioning contractor C & R License No. C 401 3167
Describe the building, or alteration to existing building CONSTRUCT
A SINGLE FAMILY 3 BDRM / 2 BATH RESIDENCE
Name the street on which the building, its front building line and its front yard will face 42 RIO VISTA DRIVE - lot 36
Subdivision RIO VISTA Lot No. 89 Area 15,000 SF.
Building area, inside walls (excluding garage, carport, porches, pools, etc.)...square feet 2100
Contract price (excluding land, carpeting, appliances, landscaping, etc.) \$ 78,000⁰⁰
Cost of permit \$ 420 Plans approved as submitted or, as marked

I understand that this permit is good for 12 months from the date of its issue and that the building for which this permit is issued must be completed within that time and in accordance with the approved plans. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. I agree that the building site will be clean and rough-graded before a Certificate of Occupancy is sought, and, moreover, that I shall be responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply with the above requirements may result in a Building Inspector or a Town Commissioner "Red-tagging" the building project.

Contractor Robert H. Loomis, Inc.

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood, as required by the Town's zoning ordinance.

Owner Kenneth Thurston

Note: Speculation builders will be required to sign both of the above statements.

TOWN RECORD

Date submitted

Approved by Building Inspector (date)

7/10/80

Inspector's initials

Approved by Town Commissioner (date)

7/22

Commissioner's initials

Certificate of Occupancy issued (date)



STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

RECEIVED JUL 10 1980

APPLICATION FOR SEPTIC TANK PERMIT AND FINAL INSPECTION FORM

Authority: Chapter 381, 386, 387, FS
Chapter 10D-6, FAC

DATE 5-15-80

Permit Number HD 80-367

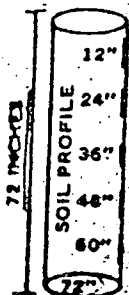
Name of Applicant Kenneth Thurston
 Mailing Address of Applicant 428 Westcoast Ave. Libertyville, Ill. 60048 Telephone No. _____
 To be installed At: (Give Street Address)* _____
 Lot No. 89 Block No. _____ Subdivision Liberty Plat Book 3 Page 35
 Area of Lot: 100' By 150' No. Living Units _____ No. Bedrooms 3
 Type of Business _____ No. Toilets _____ No. Wash Basins _____ No. People _____
 Total Square Feet in Building _____ No. Employees _____
 *Note: Attach Site Location Map and Other Supportive Documents Kenneth Thurston

Renneth Thurston
Signature of Applicant

W L Williams

SITE INFORMATION

Distance to Sanitary Sewer _____ Distance to Stream, Lake, Canal _____
Distance to Public Water Supply _____ Distance to Private Well(s) _____
Rainfall Data: _____
Is Area Subject to Flooding? _____
Which Way Does Lot Drain? Front Does Site have Good Natural Drainage? _____
Is there Standing Water in Ditches? _____ Any Perimeter Ditches? _____ Depth of Ditches _____
Distance to Nearest Residence (North _____ East _____ South _____ West _____) Are Buildings _____
In this Area on: Septic Tanks Yes Sand Filters _____ Other _____
Any Known Drainfield Failures in this Area _____



SOIL PROFILE AND PERCOLATION DATA

White paper

Water Table At 100 inches
Hard Part At _____ inches
Clay At _____ inches
Muck At _____ inches
Other At _____ inches
Soil Classification: 1-Sp.
Percolation Rate: 20 min

INSTALLATION SPECIFICATIONS

INSTALLATION SPECIFICATIONS

Septic Tank Capacity: 900 Drain Tile (Linear Ft.): 112
Dosing Tank Capacity: _____ Sand Filter Size: (Sq.Ft.) _____
Grease Trap Capacity: _____ Absorption Bed Size: (Sq.Ft.) 255
Perforated Pipe: (Linear Ft.) _____ Lateral Drainfield Size: (Sq.Ft.) _____
Other Specifications: _____

RECOMMENDATION: Approval ☒
Disapproval ☐

Permit VOID if well or septic system is installed in a location other than area permitted. PRIOR HEALTH DEPARTMENT APPROVAL REQUIRED

5-16-80

Date Processed

THIS PERMIT EXPIRES ONE (1)
YEAR FROM DATE OF ISSUANCE

Signature of Sanitarian _____

MARTIN

-County Health Department

FINAL INSPECTION DATA

FINAL INSPECTION DATA

Date and Time of Inspection _____

No. Tank Installed _____ Type of Tank (Concrete, Fiberglass, Etc.) _____

Flowing Tank Size _____ Drainfield Size _____ No. Tile Feet _____

_____ Grease Trap Size _____ Sand Filter Size _____

_____ Made Installation _____

RECOMMENDATION: Approval ☐ Disapproval ☐

ANS-N FORM 4015, Aug 78 (Replaces Gen-428)

Signature of Sanitarian

S. E. Subregion
806 South 6th Street
Fort Pierce, Florida 33450
Tel. (305) 464-8525

RECEIVED JUL 10 1980

INDIVIDUAL SEWAGE DISPOSAL FACILITIES

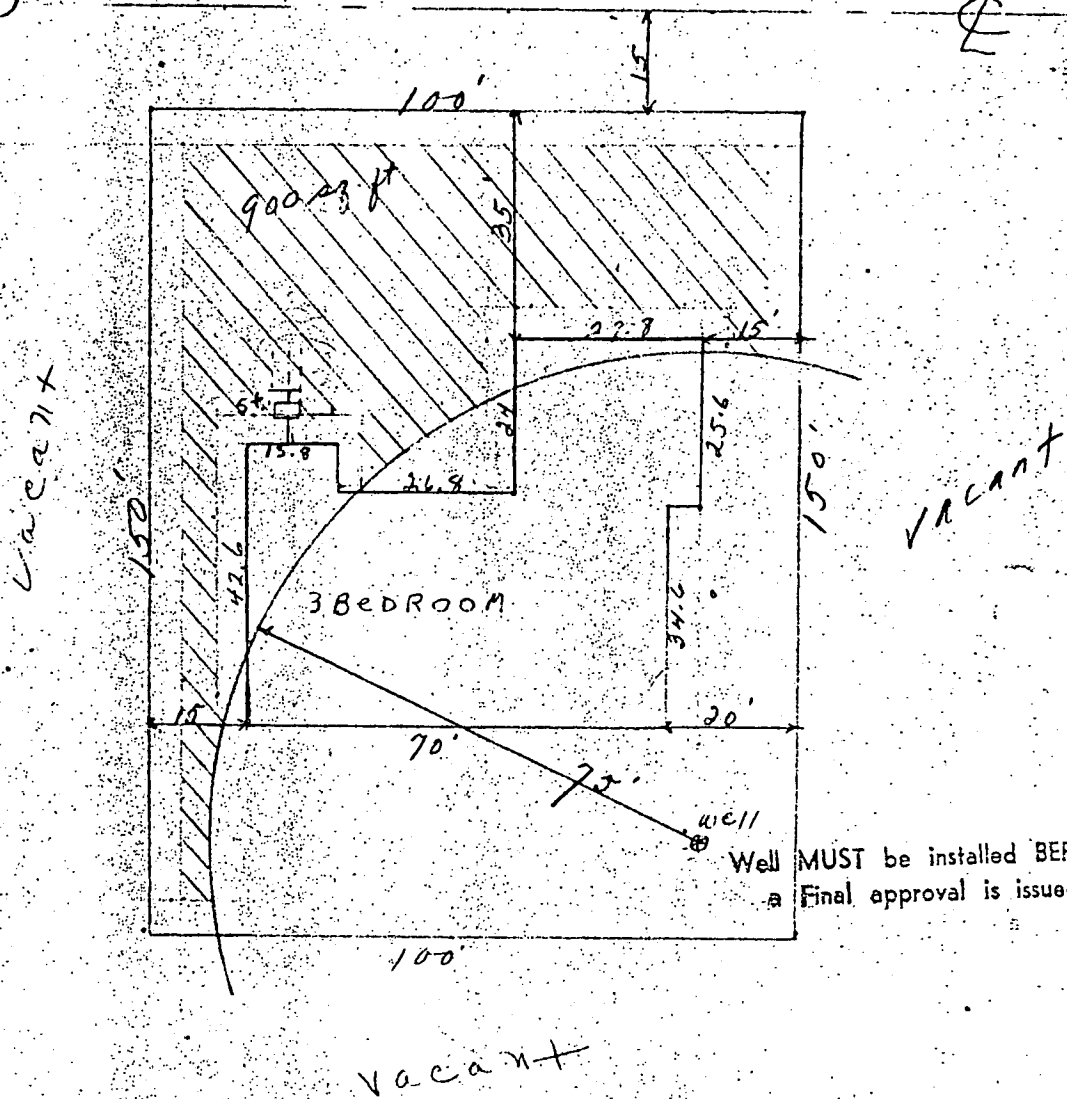
DATA SHEET

Location: Lot 89
Rio Vista
Applicant: Kenneth Thurston
County: Martin

NOTE: This septic tank system is not located within 50 feet of the high water line of a lake, stream, canal or other waters, nor within 75 feet of any private well; nor within 100 feet of any public water supply; nor within 10 feet of water supply pipes; nor within 100 feet of any public sewer system.

E. on E. Ocean to Sewall's
Pt. Rd. South to
Rio Vista Blvd. W &
Go to site

RIO VISTA DRIVE



PLAN
Scale: 1" = 30'

SOIL DATA

SOIL BORING LOG

Soil Identification: CLASS 1 GROUP SP
Soil Characteristics _____

Percolation Rate 20 sec/inch

Water Table Depth 5'

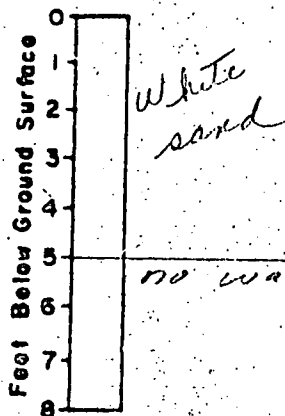
Water Table Depth 5'

During Wet Season 5'

Compacted Fill Of _____ Req'd

Compacted Fill Checked By: _____

Date _____



LEGEND

- Drainage Pattern
- Proposed Septic Tank and Drainfield
- Proposed Water Supply Well
- Existing Water Supply Well
- Soil Boring and Percolation Test Location

CERTIFIED BY: E. L. Williams

FLORIDA PROFESSIONAL No. 1272

Date 5-15-80 Job No. 000252

Sheet 2 of 2



FLORIDA MODEL ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

BOB GRAHAM
GOVERNOR

SECTION 9
POINTS METHOD

GOVERNOR'S ENERGY OFFICE
LEX HESTER, DIRECTOR

RECEIVED JUL 2 1980 PREPARED BY: BRABHAM KUHNS DEBAY-CONSULTING ENGINEERS

PROJECT NAME AND NUMBER	THURSTAN RESIDENCE	
	SINGLE FAMILY RESIDENCE	
	STUART - SEWALLS POINT	
BUILDER	ROBERT LOONIS CONTRACTOR	
OWNER	MR. & MRS. THURSTAN	

STATISTICAL DATA

ZONE:	FLOOR AREA	ROOF R-VALUE	HEATING SYSTEM TYPE					
8	1986 sqft	R- 19	STRIP: <input checked="" type="checkbox"/>	HT. PUMP: <input type="checkbox"/>	GAS: <input type="checkbox"/>	OIL: <input type="checkbox"/>	SOLAR: <input type="checkbox"/>	
EPI	WALL AREA	WALL R-VALUE	HOT WATER SYSTEM TYPE					
	1716 sqft	R- 11	ELECTRIC: <input checked="" type="checkbox"/>	HT. REC: <input type="checkbox"/>	GAS: <input type="checkbox"/>	OIL: <input type="checkbox"/>	SOLAR: <input type="checkbox"/>	
A/C SYSTEM	GLASS AREA	WALL CONSTRUCTION	NUMBER OF UNITS PER STRUCTURE					
EER-	304 sqft	CBS: <input type="checkbox"/> FRAME: <input checked="" type="checkbox"/>	SING. FAM: <input checked="" type="checkbox"/>	DUPLEX: <input type="checkbox"/>	TRIPLEX: <input type="checkbox"/>	OVER 3: <input type="checkbox"/>		

THIS DATA TO BE SENT TO THE GOVERNOR'S ENERGY OFFICE

TOTAL HOUSE POINTS	CERTIFIED BY	<i>Copeland-Smith Insulation Co.</i>
EPI- 55.8	DATE	<i>6-30-80</i>
Fewer total points mean greater energy savings.		

SOLAR WATER HEATER CALCULATION

NUMBER OF BEDROOMS IN HOUSE		
HOT WATER TANK CAPACITY		
TANK CAPACITY PER BEDROOM (= tank capacity ÷ number of bedrooms)		
DCR OF COLLECTOR (daily collection rate in Btu's at 122°F, from Mfr. data)		
DCR PER BEDROOM (= DCR ÷ number of bedrooms)		
HOT WATER POINTS (from table 9c)		
Attach copy of collector rating certificate. Collector must be mounted within 30° of south.		

HEAT RECOVERY UNIT CALCULATION

NUMBER OF BEDROOMS IN HOUSE		
HOT WATER TANK CAPACITY		
TANK CAPACITY PER BEDROOM (= tank capacity ÷ number of bedrooms)		
HRU CERTIFIED RATING (In Btuh per ton)		
BACK-UP SYSTEM (electric or gas)		
HOT WATER POINTS (from table 9c)		
Attach copy of HRU's rating certificate indicating output in Btuh/ton when operating with proposed A/C system.		

FLORIDA MODEL ENERGY EFFICIENCY CODE

FOR BUILDING CONSTRUCTION

HOUSE POINTS CALCULATION

FORM 900-789

ZONES-789

WINTER				GROSS WINTER POINTS	SUMMER				GROSS SUMMER POINTS
COMPONENT	AREA	X	WPM		COMPONENT	AREA	X	SPM	

WALLS	CONCRETE BLOCK	R0-2.9		10.9		WALLS	CONCRETE BLOCK	R0-2.9		24.8	
		R3-3.9		6.2				R3-3.9		16.6	
		R4-5.9		5.0				R4-5.9		15.0	
		R6 & UP		4.4				R6 & UP		13.9	
	FRAME & BRICK VENEER	R0-10.9		9.6			FRAME & BRICK VENEER	R0-10.9		30.5	
		R11-18.9	1412	2.5	3530			R11-18.9	1412	13.9	19627
		R19 & UP		1.5				R19 & UP		8.6	

DOORS	SOLID WOOD	28	86.5	2422	DOORS	SOLID WOOD	28	55.4	1551
	INSULATED R5		84.0			INSULATED R5		22.2	
	STORM DOOR		44.6			STORM DOOR		44.3	
	STORM DOOR R5		42.1			STORM DOOR R5		17.8	

CEILING	UNDER ATTIC	R0-10.9		23.8		CEILING	UNDER ATTIC	R0-10.9		50.9	
		R11-18.9		2.9				R11-18.9		13.3	
		R19-21.9	1912	1.9	3633			R19-21.9	1912	8.4	16061
		R22-29.9		1.7				R22-29.9		7.6	
		R30 & UP		1.5				R30 & UP		5.5	
	SINGLE ASSEMBLY (NO ATTIC)	R0-5.9		23.8			SINGLE ASSEMBLY (NO ATTIC)	R0-5.9		50.9	
		R6-7.9		5.4				R6-7.9		22.6	
		R8-9.9		4.0				R8-9.9		17.3	
		R10-11.9		3.5				R10-11.9		14.6	
		R12-18.9		2.5				R12-18.9		10.6	
		R19 & UP		1.9				R19 & UP		8.4	

FLOOR OVER UNCOND. SPACE	3/4" WOOD	R0-6.9		10.9		FLOOR OVER UNCOND. SPACE	3/4" WOOD	R0-6.9		66.5	
		R7-10.9		3.5				R7-10.9		8.4	
		R11-18.9		2.6				R11-18.9		5.5	
		R19 & UP		1.6				R19 & UP		3.3	
	CONCRETE	R0-2.9		12.9			CONCRETE	R0-2.9		70.9	
		R3-5.9		6.3				R3-5.9		17.8	
		R6-10.9		4.2				R6-10.9		9.5	
		R11-18.9		2.7				R11-18.9		5.8	
		R19 & UP		1.7				R19 & UP		3.3	

9F	WINTER OVERHANG FACTORS (WOF)							
FEET	N	NE	E	SE	S	SW	W	NW
0-99	1.00	0.99	0.85	0.75	0.83	0.98	1.00	1.00
1-1.99	1.00	0.99	0.85	0.76	0.84	0.98	1.00	1.00
2-2.99	1.00	0.99	0.86	0.77	0.86	0.99	1.00	1.00
3-3.99	1.00	0.99	0.87	0.80	0.87	0.99	1.00	1.00
4-4.99	1.00	0.99	0.89	0.83	0.90	0.99	1.00	1.00
5-5.99	1.00	0.99	0.91	0.86	0.92	1.00	1.00	1.00
6-6.99	1.00	0.99	0.92	0.90	0.94	1.00	1.00	1.00
7-7.99	1.00	1.00	0.94	0.92	0.96	1.00	1.00	1.00
8-8.99	1.00	1.00	0.96	0.95	0.97	1.00	1.00	1.00
9-9.99	1.00	1.00	0.97	0.97	0.98	1.00	1.00	1.00
10-10.99	1.00	1.00	0.98	0.98	0.99	1.00	1.00	1.00
11&UP	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00

9F	SUMMER OVERHANG FACTORS (SOF)							
FEET	N	NE	E	SE	S	SW	W	NW
0-99	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
1-1.99	1.00	1.00	0.99	0.99	0.99	0.99	0.99	1.00
2-2.99	1.00	0.98	0.95	0.93	0.92	0.93	0.95	0.98
3-3.99	1.00	0.99	0.89	0.87	0.86	0.87	0.89	0.95
4-4.99	1.00	0.91	0.84	0.81	0.80	0.81	0.84	0.91
5-5.99	0.99	0.88	0.80	0.76	0.76	0.76	0.80	0.88
6-6.99	0.99	0.89	0.76	0.72	0.72	0.72	0.76	0.85
7-7.99	0.99	0.83	0.72	0.68	0.70	0.68	0.72	0.83
8-8.99	0.98	0.81	0.69	0.66	0.68	0.66	0.69	0.81
9-9.99	0.98	0.79	0.67	0.64	0.66	0.64	0.67	0.79
10-10.99	0.98	0.78	0.65	0.62	0.65	0.62	0.65	0.78
11-11.99	0.97	0.76	0.63	0.61	0.65	0.61	0.63	0.76
12&UP	0.97	0.76	0.62	0.59	0.64	0.59	0.62	0.76

9A	HEATING SYSTEM MULTIPLIER (HSM)										
HEAT PUMP	COP	2.0-2.19	2.2-2.39	2.4-2.59	2.6-2.79	28-2.99	3.0-3.19	3.2-3.39	3.4 & UP		
	HSM	0.50	0.45	0.42	0.38	0.36	0.33	0.31	0.29		
SOLAR HEAT		(1-% CAPACITY) X (BACKUP SYSTEM HSM)									
GAS HEAT		0.50									
OIL HEAT		0.70									
ELECTRIC STRIP HEAT		1.00									

9B		EER, 8.2 COOLING SYSTEM MULTIPLIER (CSM)												
ELECTRIC	EER	6.0-6.49	6.5-6.99	7.0-7.49	7.5-7.99	8.0-8.49	8.5-8.99	9.0-9.49	9.5-9.99	10.0-10.49	10.5-10.99	11.0-11.99	12.0 & UP	
	CSM	1.08	1.00	0.93	0.87	0.81	0.76	0.72	0.68	0.65	0.62	0.59	0.54	
GAS	COP	0.40-0.44		0.45-0.49		0.50-0.54		0.55-0.59		0.60-0.65		0.65-0.69		0.70 & UP
	CSM	1.50		1.25		1.20		1.09		1.00		92		.89

Note: EER = cooling mode COP x 3.413 = ARI rated cooling output in Btuh ÷ total watts consumed

9C	HOT WATER CREDIT POINTS (HWP)	
ELECTRIC		0.0
GAS		13.1
SOLAR	MINIMUM CERTIFIED DCR OF 6000 BTU PER BEDROOM AND 15 GALLONS STORAGE PER BEDROOM	19.6
	MINIMUM CERTIFIED DCR OF 9000 BTU PER BEDROOM AND 20 GALLONS STORAGE PER BEDROOM	22.8
	MINIMUM CERTIFIED DCR OF 12,000 BTU PER BEDROOM AND 27 GALLONS STORAGE PER BEDROOM	24.5
A/C HEAT RECOVERY UNIT	MINIMUM CERTIFIED RATING OF 1500 BTUH/TON	16.3
	MINIMUM CERTIFIED RATING OF 2500 BTUH/TON	17.9
Minimum hot water storage tank with HRU - 40 gallons.		
Note: Daily collection rate (DCR) is measured at 122°F using FSEC Standard Florida Solar Day		

9D	SPECIAL DESIGN CREDIT POINTS (CP)	
CEILING FANS IN CONDITIONED SPACE - 5 POINTS MAX.		1 PER FAN
MULTIZONING A/C (Zones must be separated by operable door.) - 5 POINTS MAX PER RESIDENCE		5
WINDOWS ON TWO OR MORE SIDES OF A ROOM (Excluding inoperable or corner windows and bathrooms.) - 5 POINTS MAX.		1 PER ROOM

9E	SPECIAL DESIGN PENALTY POINTS (PP)	
WASHER & DRYER IN CONDITIONED SPACE.		3
MAXIMUM OPENING OF GLASS LESS THAN 50% OF TOTAL GLASS AREA		5

408526

WARRANTY DEED

THIS DEED dated the date set forth hereinbelow between GUSTAV SCHICKEDANZ, Individually and as Trustee, joined by his wife, ANN SCHICKEDANZ, of Toronto, Province of Ontario, Canada, the Grantor, and KENNETH B. THURSTON and MARLENE M. THURSTON, his wife, whose mailing address is 428 WEST COOK AVENUE, LIBERTYVILLE, County of _____, State of ILLINOIS 60088, Grantee,

WITNESSETH:

RECEIVED JUL 10 1980

That for the sum of Ten (\$10.00) Dollars and other good and valuable consideration, said Grantor does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the said Grantee all that certain parcel of land situate in Martin County, Florida, described as follows:

Lot 89, RIO VISTA SUBDIVISION, according to the Plat thereof, filed December 11, 1975, in Plat Book 6, Page 95, Martin County, Florida, Public Records.

SUBJECT HOWEVER, to the following:

1. Taxes accruing subsequent to December 31, 1979;
2. Zoning regulations and ordinances of the Town of Sewall's Point, Florida;
3. The provisions and easements set forth on the aforesaid plat of RIO VISTA SUBDIVISION;
4. The provisions of DECLARATION OF PROTECTIVE COVENANTS COVERING ALL OF RIO VISTA SUBDIVISION recorded in Official Records Book 393, Page 1469, Martin County, Florida, Public Records, as amended by the First Amendment to Declaration of Protective Covenants Covering All of Rio Vista Subdivision recorded in Official Records Book 403, Page 549, Martin County, Florida, Public Records;

and the said Grantor does hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the said Grantor has set forth his Hand and Seal this 5th day of February, 1980.

WITNESSES:

Guy Walker

GUSTAV SCHICKEDANZ, Individually
and as Trustee

Mary E. Ozur

Ann Schickedanz
ANN SCHICKEDANZ

DOMINION OF CANADA
PROVINCE OF ONTARIO
DISTRICT OF YORK

The foregoing instrument was acknowledged before me by GUSTAV SCHICKEDANZ, Individually and as Trustee, joined by his wife, ANN SCHICKEDANZ, on this 5th day of February, 1980.

John P. MacGowan
Notary Public

(Notary Seal)

My Commission Does Not Expire.
It is for Life.

This instrument prepared by:
JOHN FENNIMAN, CHARTERED
501 East Osceola Street
P. O. Box 2473
Stuart, Florida 33494
Phone: (305) 287-4300

JOHN FENNIMAN,
CHARTERED
NOTARY AT LAW
1000 PECO CO. 2473
ST. FLORIDA 33494
(305) 287-4300

80 FEB 29 PM 4:45
FEB 29 1980
FEB 29 1980

Certificate of Insurance



THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER.
THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES LISTED BELOW.

NAME AND ADDRESS OF AGENCY

R. V. Johnson Agency
P. O. Box 26
Stuart, Florida 33494

COMPANIES AFFORDING COVERAGES

COMPANY LETTER **A** **American States Insurance Co.**

COMPANY LETTER **B** **Lumbermens Mutual**

NAME AND ADDRESS OF INSURED

Robert L. Loomis, Inc.
P. O. Box 2197
Stuart, Florida 33494

COMPANY LETTER **C**

COMPANY LETTER **D**

RECEIVED JUL 10 1980

COMPANY LETTER **E**

This is to certify that policies of insurance listed below have been issued to the insured named above and are in force at this time. Notwithstanding any requirement, term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the policies described herein is subject to all the terms, exclusions and conditions of such policies.

COMPANY LETTER	TYPE OF INSURANCE	POLICY NUMBER	POLICY EXPIRATION DATE	Limits of Liability in Thousands (000)		
					EACH OCCURRENCE	AGGREGATE
A	GENERAL LIABILITY	CL 244871	5/12/81	BODILY INJURY	\$ 500	\$
	PROPERTY DAMAGE			\$ 100	\$ 200	
	BODILY INJURY AND PROPERTY DAMAGE COMBINED			\$	\$	
	PERSONAL INJURY			\$	\$	
	AUTOMOBILE LIABILITY			BODILY INJURY (EACH PERSON)	\$	
	BODILY INJURY (EACH ACCIDENT)			\$		
	PROPERTY DAMAGE			\$		
	BODILY INJURY AND PROPERTY DAMAGE COMBINED			\$		
	EXCESS LIABILITY			BODILY INJURY AND PROPERTY DAMAGE COMBINED	\$	\$
B	WORKERS' COMPENSATION and EMPLOYERS' LIABILITY	9CL 820477	8/22/80	STATUTORY	\$ 100	(EACH ACCIDENT)
	OTHER					

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES

Cancellation: Should any of the above described policies be cancelled before the expiration date thereof, the issuing company will endeavor to mail 10 days written notice to the below named certificate holder, but failure to mail such notice shall impose no obligation or liability of any kind upon the company.

NAME AND ADDRESS OF CERTIFICATE HOLDER:

Town of Sewalls Point
1 S. Sewalls Point Road
Jensen Beach, Florida 33457

DATE ISSUED: **July 9, 1980** **pf**

R. V. Johnson
AUTHORIZED REPRESENTATIVE

TOWN OF SEWALL'S POINT, FLORIDA

RECEIVED JUL 2 1980

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date Nov. 25, 1980

This is to request that a Certificate of Approval for Occupancy be issued to _____
For property built under Permit No. 1180 Dated July 2, 1980 when completed in
conformance with the Approved Plans.

[Signature]
Signed

RECORD OF INSPECTIONS

Item	Date	Approved by
Set-backs and footings	7/28/80 G.S.	
Rough plumbing	10/3/80 Jan	
Slab	7/30/80 G.S.	
Perimeter beam		
Close-in, roof and rough electric	10/3/80 Jan	
Final Plumbing	10/25/80 Jan	
Final Electric	11/25/80 Jan	

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector [Signature] date 11/25/80

Approved by Building Commissioner [Signature] date 11/25/80

Utilities notified Nov. 25, 1980 date

Original Copy sent to _____

(Keep carbon copy for Town files)

3556

RE-ROOF

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Kew THURSTON Present Address #42 RIO VISTA

Phone 286-4514 SEWALLS PT

Contractor PACIFIC ROOFING CORP Address 1501 DECKER AVE
RICHARD J. GOMES UNIT 103 STUART FL

Phone 407 283-7663

Where licensed STATE/MARTIN License Number CC/CO 56793

Electrical Contractor _____ License Number _____

Plumbing Contractor _____ License Number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: RE-ROOF

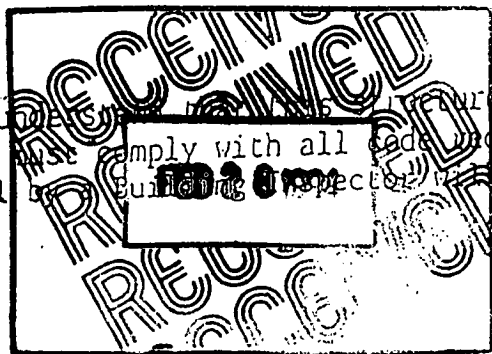
SAME AS ABOVE
State the street address at which the proposed structure will be built:

Subdivision Bio Vista Lot Number 89 Block Number _____

Contract Price \$ 12,550 Cost of Permit \$ 100.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector of Town Commissioner "Red-Tagging" the construction project.



I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector of Town Commissioner "Red-Tagging" the construction project.

Contractor RJ

Owner Kew Thurston

TOWN RECORD

Approved: Dale Brown 2/28/94
Building Inspector Date

Date submitted _____

Approved: [Signature] 3/1/94 Final Approval given: _____
Commissioner Date Date

Certificate of Occupancy issued(if applicable) _____
Date

Permit No. _____

INSTR # 1557842
OR BK 01627 PG 1489
RECORDED 03/13/2002 01:45 PM
MARSHA EWING
MARTIN COUNTY Florida
RECORDED BY L Wood

**BEFORE THE BOARD OF ZONING ADJUSTMENT
TOWN OF SEWALL'S POINT, FLORIDA**

RESOLUTION NO. 02-01

**RE: GRANTING OF APPLICATION FOR VARIANCE TO
TOWN OF SEWALL'S POINT, FLORIDA
ZONING ORDINANCES**

Legal Description:

Lot 89, RIO VISTA SUBDIVISION, according to the plat thereof filed December 11, 1975, in Plat Book 6, Page 95, Public Records of Martin County, Florida.

WHEREAS, KENNETH B. THURSTON, the owner of the above described real property, applied to the TOWN OF SEWALL'S POINT requesting a variance from the existing zoning requirements of the Sewall's Point Town Code, Section 82-274 paragraph (2) of the Code of Ordinances for the Town of Sewall's Point, pertaining to the side yard requirements on the property;

WHEREAS, notice of the public hearing on the variance application was duly posted and mailed in accordance with the provisions of the Town Code, and a public hearing thereon was held on the 31st day of January, 2002, at 7:30 P.M. at the Town Hall of Sewall's Point, Florida; and

WHEREAS, on January 31, 2002, a quorum of the Board of Zoning Adjustment was present and the public hearing was held on the subject application; and

WHEREAS, at said public hearing the applicant was present in person, and was represented by counsel; and all interested parties had an opportunity to be heard for or against such application; and

WHEREAS, based on the information presented this Board does hereby make the following findings of fact:

SEWALL'S POINT BOARD OF ZONING ADJUSTMENT
RESOLUTION 02-01 (cont'd)

1. That No objections to the proposed grant of variance have been made.
2. That the applicant is requesting a variance from the 15 foot side yard setback requirement of the Sewall's Point Town Code as follows:
 - a. As to the existing house structure, a variance from the 15 foot side setback requirement of Section 82-274(2), of the Code of Ordinances of the Town of Sewall's Point, Florida, to allow a variance for the existing house on the west side to a maximum of 2.56 feet for the existing structure, the closest distance from the structure to the side lot line being 12.44 feet.
3. That the applicant has submitted a survey showing a setback on the west side of the property for the existing house structure and screened patio from the side lot line varying from 12.44 feet to 13.51 feet.
4. That the applicant has asserted that the house when built in 1980, and approved by the Town, was believed to be in compliance with the 15 foot side yard setback requirements, based on the information available at that time, and he only recently became aware that there was a discrepancy.
5. That the existing house structure and covered screened patio encroaches into the 15 foot side yard setback requirement of the Town Code as stated in Paragraph 3 above.
6. That special conditions and circumstances exist which are peculiar to the land and structures involved, which are not applicable to other lands and structures in the same district.
7. That the special conditions and circumstances do not result from the actions of the applicant.
8. That granting the variance application will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to owners of the lands, buildings or structures in the same zoning district.
9. That literal interpretation of the provisions of the Zoning Ordinances would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of the Zoning Ordinance and would work unnecessary and undue hardship on the applicant.
10. That the variance requested is the minimum variance that will make possible the reasonable use of the land, building or structure;

**SEWALL'S POINT BOARD OF ZONING ADJUSTMENT
RESOLUTION 02-01 (cont'd)**

11. That the granting of the variance will be in harmony with the general intent and purpose of the ordinance and that such variance will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

12. That the reasons set forth in the application and as expressed during the hearing justify the granting of the variance and satisfy the requirements of Section 82-113(a)(1),(2),(3),(4),(5), and (6), of the Code of Ordinances of the Town of Sewall's Point, Florida.

NOW THEREFORE, be it resolved by the Board of Zoning Adjustment of the Town of Sewall's Point, Florida, that the application by **KENNETH B. THURSTON**, for a variance from the 15 foot rear yard setback requirement of the Section 82-274 paragraph (2) of the Code of Ordinances for the Town of Sewall's Point, Florida, of the subject property is **GRANTED** as follows:

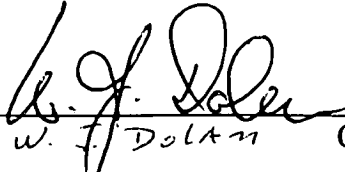
A meandering distance side setback variance for the existing house structure and existing screened patio only, on the west side, from the west side lot line varying from 1.49 feet at the northwest side of the house structure on the west side, to 2.56 feet at the southwest corner of the screened patio, as currently built.

THIS VARIANCE IS FOR THE EXISTING HOUSE AND SCREENED PATIO ONLY, AND NOT APPLICABLE FOR NEW CONSTRUCTION, ADDITIONS, OR REPLACEMENT CONSTRUCTION.

The Secretary of this Board is hereby authorized and directed to record this Resolution in the Official Public Records of Martin County, Florida, and the Clerk of the Town of Sewall's Point is hereby directed to maintain this Resolution as part of the Official Records of the Town.

Duly passed and adopted at Public Meeting on January 31, 2002.

BOARD OF ZONING ADJUSTMENT
TOWN OF SEWALL'S POINT, FLORIDA


By: 
W. J. Dolan Chairman

ATTEST:


ARMANO CIFELLI Secretary

SEWALL'S POINT BOARD OF ZONING ADJUSTMENT
RESOLUTION 02-01 (cont'd)

APPROVED AS TO FORM AND LEGALITY



Douglas K. Sands, Attorney for
the Board of Zoning Adjustment

Filed with the Clerk of the Town of Sewall's Point, Florida, on the 11th day of
March, 2002.



Joan Barrow, Town Clerk

Copy to: Walter Woods, Esq.

APPLICATION TO THE TOWN OF SEWALL'S POINT
BOARD OF ZONING ADJUSTMENT

PLEASE TYPE OR PRINT

I, KENNETH B. THURSTON of 42 Rio Vista Drive
name of applicant address
Sewall's Point, FL c/o Walter G. Woods 310 SW Ocean Blvd. Stuart, FL 34994
city state zip

do hereby make application to the Town of Sewall's Point Board of Zoning Adjustment on the following property in Sewall's Point, legally described as:

Lot 89, Block , Subdivision RIO VISTA according to map of Plat Book 6 Page 95, Section n/a, Township n/a South, Range n/a East, of the public records of Martin County, Florida, or property otherwise described by metes and bounds. (Please include current street address) (long legal description may be attached separately.)

The subject property is located at 42 Rio Vista Drive, Sewall's Point, FL

Proof of Ownership is attached hereto as Exhibit "A"

The Applicant, Kenneth B. Thurston, hereby requests a variance

for the purpose of reducing the required side-yard setback distance for
(indicate the specific section of Zoning Regulations, Zoning Resolution, Zoning Ordinance)

the residence located on the property from 15 feet to 12.44 feet.

The residence was built prior to 1984. The applicable Sewall's Point Code

Section is 82-274(2)

Variances

To authorize upon appeal such variance from the terms of the zoning ordinance as will not be contrary to the public interest when, owing to special conditions, a literal enforcement of the provisions of the zoning ordinance would result in unnecessary and undue hardship.

In order to authorize a variance, an application must be submitted and a public hearing must be held which demonstrates to the satisfaction of the Board of Zoning Adjustment that the following six criteria, as contained in the Code of the Town of Sewall's Point, have been met:

1. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district.

2. That the special conditions and circumstances do not result from the actions of the applicant.

3. That granting the variance requested will not confer on the applicant any special privilege that is denied by this ordinance to other lands, buildings or structures in the same zoning district.

4. That literal interpretation of the provisions of the ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the ordinance and would work unnecessary and undue hardship on the applicant.

5. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.

6. That the grant of the variance will be in harmony with the general intent and purpose of the ordinance and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

In granting any variance, the Board of Adjustment may prescribe appropriate conditions and safeguards in conformity with this ordinance. Violation of such conditions and safeguards, when made a part of the terms under which the variance is granted, shall be deemed a violation of the ordinance.

The Board of Adjustment may prescribe a reasonable time limit within which the action for which the variance is required shall be begun or completed or both.

No non-conforming use of the neighboring lands, structures or buildings in the same district and no permitted use of lands, structures or buildings in other districts shall be considered for the issuance of a variance.

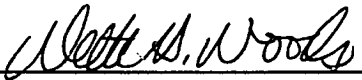
The Town shall post Notice of Public Hearing on the property for which the variance is sought and upon the Town Hall bulletin board at least 15 days prior to the date of the hearing. The Town will also see to the publication of the Notice of Hearing in a newspaper of general circulation printed in Martin County, Florida, at least fifteen (15) days prior to the date of the public hearing. All costs thereby incurred by the Town shall be reimbursed to the Town by the applicant, or charged against the applicant's cost deposit. The Applicant, at his expense, must send Notice to property owners of record within 300 feet of the subject property in accordance with the guidelines attached, to be mailed by certified mail, return receipt requested, no later than FIFTEEN (15) DAYS PRIOR TO THE DATE OF THE HEARING.

CERTIFICATION

The Applicant hereby certifies that the information which he/she has provided on and together with this application is correct and accurate to the best of his/her knowledge and belief. The Applicant also certifies that existing deed restrictions or

covenants on this property will be adhered to and that if this request is granted, all necessary permits will be obtained and that all orders, resolutions, codes, conditions, rules, regulations and ordinances pertaining to the use of the above-described property will be complied with. The Applicant further certifies that he/she has read all of the above and the Guide to Preparation of Application for Board of Zoning Adjustment and will comply therewith, understanding that failure to do so may result in a denial of the request or administrative dismissal of the application.

Dated this 19th day of November, ~~2000~~ 2001



Signature of Applicant or
Applicant's Attorney
Walter G. Woods, Attorney for
Applicant

368526

WARRANTY DEED

THIS DEED dated the date set forth hereinbelow between GUSTAV SCHICKEDANZ, Individually and as Trustee, joined by his wife, ANN SCHICKEDANZ, of Toronto, Province of Ontario, Canada, the Grantor, and KENNETH B. THURSTON and MARLENE M. THURSTON, his wife, whose mailing address is 428 WEST COOK AVENUE, LIBERTYVILLE, County of _____, State of ILLINOIS 60048, Grantee,

WITNESSETH:

That for the sum of Ten (\$10.00) Dollars and other good and valuable consideration, said Grantor does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the said Grantee all that certain parcel of land situate in Martin County, Florida, described as follows:

Lot 89, RIO VISTA SUBDIVISION, according to the Plat thereof, filed December 11, 1975, in Plat Book 6, Page 95, Martin County, Florida, Public Records.

SUBJECT HOWEVER, to the following:

1. Taxes accruing subsequent to December 31, 1979;
2. Zoning regulations and ordinances of the Town of Sewall's Point, Florida;
3. The provisions and easements set forth on the aforesaid plat of RIO VISTA SUBDIVISION;
4. The provisions of DECLARATION OF PROTECTIVE COVENANTS COVERING ALL OF RIO VISTA SUBDIVISION recorded in Official Records Book 393, Page 1469, Martin County, Florida, Public Records, as amended by the First Amendment to Declaration of Protective Covenants Covering All of Rio Vista Subdivision recorded in Official Records Book 403, Page 549, Martin County, Florida, Public Records;

and the said Grantor does hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the said Grantor has set forth his Hand and Seal this 15th day of February, 1980.

WITNESSES:

Guy Wadher

GUSTAV SCHICKEDANZ, Individually
and as Trustee

Mary E. Czukan

Ann Schickedanz
ANN SCHICKEDANZ

DOMINION OF CANADA
PROVINCE OF ONTARIO
DISTRICT OF YORK

The foregoing instrument was acknowledged before me by GUSTAV SCHICKEDANZ, Individually and as Trustee, joined by his wife, ANN SCHICKEDANZ, on this 15th day of February, 1980.

Thos. P. McJannet
Notary Public

(Notary Seal)✓

My Commission Does Not Expire.
It is for Life.

This instrument prepared by:
JOHN FENNIMAN, CHARTERED
501 East Osceola Street
P. O. Box 2473
Stuart, Florida 33494
Phone: (305) 287-4300

EXHIBIT "A"

LOUISE W. JACOBS
CLERK OF CIRCUIT COURT
D.C.

80 FEB 29 P. 2: 48

FILED FOR RECORD
MARTIN COUNTY, FLA.

STATEMENT OF BENEFITS

The subject property is located at 42 Rio Vista Drive, Sewall's Point, Florida. A residence was built on the lot in 1980 and were believed to be located at the proper location and in conformity with the setback requirements.

Unknown to the applicant, the residence was actually built on an angle instead of on a perpendicular line to the road. More significantly, there was a surveying error whereby the westerly lot line of the property was mistakenly shown and marked in the field three (3) feet to the west of the actual lot line, which error created the impression that the residence was correctly placed at least 15 feet from the side lot line. The west side-yard setback is actually 12.44 feet at the rear corner of the residence. These errors were unknown to the applicant.

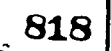
The applicant has owned the property for many years, relied on the contractor and surveyor for the proper placement of the residence and was unaware of the error until a survey was performed earlier this year. The applicant did not cause or intentionally plan, or intend the improvements to be located within the side setback distance.

The granting of the variance will not confer upon the applicant any special privilege that is denied to other lands, buildings or structures in the zoning district given the location and type of improvements. In fact, the literal interpretation of the provisions of the ordinance would deprive the applicants of rights commonly enjoyed by other properties and would cause unnecessary and undue hardship to the applicants.

The requested variance is the minimum variance that will make possible the reasonable use of the land and improvements. In addition, the existing improvements and variance are and will be in harmony with the general intent and purpose of the ordinance, are not injurious to the area involved and are not detrimental to the public welfare.

The property located to the west and which is the closest property to the area of the variance request is well buffered and will not be affected by the granting of the variance.

6 95



NOTICE OF PUBLIC HEARING

BOARD OF ZONING ADJUSTMENT FOR THE TOWN OF SEWALL'S POINT

TO THE PUBLIC AND ALL OTHERS WHOM IT MAY CONCERN:

You are notified that on **THURSDAY, JANUARY 31, 2002 at 7:30 P.M.**, at the **SEWALL'S POINT TOWN HALL**, One South Sewall's Point Road, Sewall's Point, Florida, a Hearing will be held by the **SEWALL'S POINT BOARD OF ZONING ADJUSTMENT** for the following purpose:

I. Hearing on the Application of **KENNETH B. THURSTON** requesting the granting of a variance to the following property located at **42 Rio Vista Drive**, Sewall's Point, Florida:

Lot 89, RIO VISTA SUBDIVISION, according to the plat thereof filed December 11, 1975, in Plat Book 6, Page 95, Public Records of Martin County, Florida.

The variance requested and to be considered is as follows:

A. As to the existing house structure, a variance from the 15 foot side setback requirement of Section 82-274(2), of the Code of Ordinances of the Town of Sewall's Point, Florida, to allow a variance for the existing house on the west side to a maximum of 2.56 feet for the existing structure, the closest distance from the structure to the side lot line being 12.44 feet.

II. Hearing on the Application of **MICHAEL F. ROMANO** requesting the granting of variances to the following property located at **21 Simara Street**, Sewall's Point, Florida:

Lot 41 and part of Lot 42, THE ARCHIPELAGO, according to the Plat thereof filed February 25, 1966 and recorded in Plat Book 4, Page 48, Martin County, Florida Public Records.

The variances requested and to be considered are as follows:

A. As to the existing air conditioning pads on the South side of the property, a variance from the 15 foot side setback requirement of Section 82-274(2), of the Code of Ordinances of the Town of Sewall's Point, Florida, in the amount of 4.0 feet.

BOARD OF ZONING ADJUSTMENT - SEWALL'S POINT, FLORIDA
NOTICE OF PUBLIC HEARING - JANUARY 31, 2002

Page 2 of 2

B. As to the existing second floor balcony on the South side of the house a variance from the 15 foot side setback requirement of Section 82-274(2), of the Code of Ordinances of the Town of Sewall's Point, Florida, in the amount of 4.0 feet.

C. As to the existing tiled patio in the front of the house, a variance from the 35 foot front setback requirement of Section 82-274(1), of the Code of Ordinances of the Town of Sewall's Point, Florida, in the amount of 7.2 feet.

Written comments may be sent to the Board of Zoning Adjustment, One South Sewall's Point Road, Sewall's Point, Florida 34996. The Public is invited to attend.

NOTE: If a person decides to appeal any decision made by the Board of Zoning Adjustment, with respect to any matter considered at such meeting or hearing, he will need a record of the proceedings, and that, for such purpose, he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

ROBERT M. WIENKE
Mayor

THOMAS P. BAUSCH
Vice Mayor

DAWSON C. GLOVER, III
Commissioner

E. DANIEL MORRIS
Commissioner

MARC S. TEPLITZ
Commissioner

TOWN OF SEWALL'S POINT



JOSEPH C. DORSKY
Town Manager

JOAN H. BARROW
Town Clerk

LARRY E. McCARTY
Chief of Police

GENE SIMMONS
Building Official

JOSE TORRES, JR.
Maintenance

TO: Board of Zoning Adjustment members, the public

FROM: Douglas K. Sands, Board Attorney

SUBJECT: There will be a meeting of the Board of Zoning Adjustment on Thursday, January 31, 2002 at 7:30 PM at the Sewall's Point Town Hall. The public is cordially invited to attend and encouraged to participate.

A G E N D A

1. Call to Order
2. Roll Call
3. Election of Chairman
4. Election of Vice Chairman
5. Appointment of Secretary
6. Approval of Minutes, 5/17/01 Meeting
7. Public Hearing on Variance Application of Kenneth B. Thurston, Lot 89 Rio Vista
8. Public Hearing on Variance Application of Michael F. Romano, Lot 41 and part Lot 42 Archipelago
9. Open to the public for matters not on the agenda

If any person decides to appeal any decision made by the Board of Zoning Adjustment with respect to any matter considered at such meeting or hearing he will need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.



One South Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org

The Law Offices of
Douglas K. Sands, P. A.
Attorney - Mediator - Arbitrator

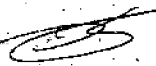
Office Address:
300 Colorado Avenue, Suite 201
Stuart, Florida 34994
Phone (772) 287-3930

Mailing Address:
P.O. Box 287
Stuart, Florida 34995
Fax (772) 287-3931

March 18, 2002

MEMORANDUM

TO: MEMBERS AND ALTERNATES OF THE SEWALL'S POINT
BOARD OF ZONING ADJUSTMENT

FROM: BOARD OF ZONING ADJUSTMENT ATTORNEY 

SUBJECT: Minutes of the meeting of January 31, 2002.

A copy of the proposed Minutes for the referenced meeting is enclosed for your review.

The proposed Minutes have been reviewed by the Board Secretary, Mr. Cifelli.

Please let me know if you have any suggestions for corrections or additions.

Thank you.

DKS/sd
Enc.
Copy w/enc: Town Clerk

THOMAS P. BAUSCH
Mayor

MARC S. TEPLITZ
Vice Mayor

E. DANIEL MORRIS
Commissioner

JAMES D. BERCAW
Commissioner

RICHARD L. BARON
Commissioner

TOWN OF SEWALL'S POINT



JOSEPH C. DORSKY
Town Manager

JOAN H. BARROW
Town Clerk

LARRY E. McCARTY
Chief of Police

GENE SIMMONS
Building Official

JOSE TORRES, JR.
Maintenance

April 2, 2002

Mr. Walter Woods
Oughterson, Sundheim & Woods, P.A.
310 S.E. Ocean Blvd.
Stuart, FL 34994

Re: Thurston Variance

Dear Mr. Woods:

This is the final accounting regarding the above-referenced variance:

11/01	Received check from K. Thurston	+\$1,075.00
11/01	Town of Sewall's Point filing fee	- 75.00
3/02	Douglas K. Sands - legal fees	- 975.00
3/02	Clerk of Circuit Court recording fees	- <u>19.50</u>
	TOTAL REFUND	\$ 5.50

Also enclosed is a copy of the recorded variance. Please do not hesitate to contact me if you require anything further.

Sincerely,

TOWN OF SEWALL'S POINT

Joan Barrow, Town Clerk



One South Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org

BOARD OF ZONING ADJUSTMENT
of
THE TOWN OF SEWALL'S POINT, FLORIDA

Minutes of Meeting of the Board of Zoning Adjustment, JANUARY 31, 2002

7:36 p.m. Meeting called to order at Sewall's Point Town Hall by Chairman W. J. Dolan.

Mr. Dolan then asked Mr. Sands to call the roll.

Present: Mr. Dolan; Mr. Richardson; ; Mr. Gabrynowicz; Mr. Cifelli; Alternate Member Mr. Danielson.

A quorum was present.

=====

Mr. Dolan noted that this is the annual reorganization meeting for the Board. Accordingly, Mr. Dolan opened the floor for a motion to elect a new chairman for the coming year.

Mr. Cifelli moved that Mr. Dolan be re-elected as Chairman.

Mr. Gabrynowicz seconded the motion.

Voting in favor: Unanimous

Voting against: None

Motion carried.

Chairman Dolan then called for a motion to elect a vice-chairman for the coming year.

Mr. Gabrynowicz moved that J. C. McKinney be re-elected Vice-Chairman.

Mr. Cifelli seconded the motion.

Voting in favor of the motion: Unanimous

Voting against the motion: None

Motion carried.

Chairman Dolan then called for a motion to appoint a Secretary for the coming year.

Mr. Gabrynowicz moved that Mr. Cifelli be appointed Secretary.

Mr. Richardson seconded the motion.

Voting in favor of the motion: Unanimous.

Voting against the motion: None

Motion carried.

=====

The Chairman then entertained a motion to approve the minutes for the meeting of May 17, 2001.

Moving approval of the Minutes as drafted was Mr. Grabrynowicz.
Motion seconded by Mr. Cifelli.

Voting in favor of the motion: Unanimous
Voting against the motion: None
Motion carried.
=====

The next item on the agenda: hearing on the application for a variance by **Mr. KENNETH B. THURSTON, Lot 89, RIO VISTA SUBDIVISION**. The owner/applicant was present, as was his attorney, Walter G. Woods of Stuart.

Mr. Sands indicated that the required notice had been timely sent to the surrounding property owners, posted on the property and posted on the Town bulletin board.

Mr. Woods represented that the original survey on the property had been in error, showing the property within the building envelope and meeting the setbacks. The construction had been permitted on that basis, and received a Certificate of Occupancy in 1980. The property owner adjoining to the west at that time had built a common fence along the line between the properties as then surveyed. This error was not known until recently when the latest property owner adjoining to the west had the lot line surveyed again and constructed a wall. Now, a subsequent survey by a different surveyor shows that there is in fact an encroachment on the west side of the existing house and screened porch structure. It would be impossible to remove the wall of the house without destroying the floor plan of the residence and at great expense, so a variance is the only practical solution to the problem.

Mr. Thurston indicated he had put his faith in the surveyor hired by the subdivision developer at the time the house was built.

Mr. Sands asked of each Board member if he had (a) visited the site and (b) had discussions with Mr. Thurston, the owner, prior to the meeting.

Mr. Cifelli indicated he had visited the site, and talked with Mr. Thurston. The other members indicated they had visited the site, but had no communication with the owner.

There were no letters in the file in opposition to the variance requests; 18 neighboring property owners had signed letters of no objection.

The public was asked if they had comments. There were none.

The Board then considered the following variance request:

Resolution 02-01, involving the granting of a variance for the existing house structure and existing screened patio only, on the west side, from the west side lot line varying from 1.49 feet at the northwest side of the house structure on the west side, to 2.56 feet at the southwest corner of the screened patio, as currently built. This variance to be for the existing house and screened patio only, and not applicable for new construction, additions, or replacement construction.

Mr. Cifelli moved approval of Resolution 02-01 granting the variance.
Motion Seconded by Mr. Danielson.

Voting in favor of the Motion: Unanimous

Voting against the Motion: None

Motion Carried. Resolution 02-01 granting the variance requested as to the existing house structure and porch was approved.

=====

The next item on the agenda: hearing on the application for a variance by **Mr. MICHAEL F. ROMANO, Lot 41 and part of lot 42, THE ARCHIPELAGO**. The owner/applicant was present, as was his attorney, Terence P. McCarthy, of Stuart.

Mr. Sands indicated that the required notice had been timely sent to the surrounding property owners, posted on the property and posted on the Town bulletin board.

Mr. Sands asked of each Board member if he had (a) visited the site and (b) had discussions with the owner, prior to the meeting.

All indicated they had visited the site, but had no communication with the owner.

Attorney McCarthy, on behalf of the owner/applicant, formally withdrew the variance application as to the existing air conditioning pads on the south side of the property, as the original construction predated the ordinance which made air conditioning pads subject to the setback requirements; he also withdrew the variance application as to the existing tiled patio in the front of the house.

As to the remaining request for variance, the existing cantilevered second floor balcony on the South side of the house, Mr. McCarthy presented information regarding the history of the property, and reviewed the Statement of Benefits which had been submitted. Because it is cantilevered on the second floor, it was not thought, at the time of construction, to be subject to the setback requirements. The house plans were dated 1969, and the house built in 1971. Mr. McCarthy noted that this balcony has been in existence for 30 years with no objection. Mr. Romano stated that his adjoining neighbor has no objection. The balcony is not enclosed, and Mr. Romano stated that he would agree not to enclose it nor otherwise materially change the balcony if the variance were to be approved.

There were no letters in the file in opposition to the variance requests.

The public was asked if they had comments. There were none.

The Board then considered the following variance request:

Resolution 02-02, involving the granting of a variance for 4.0 feet from the side setback requirement of 15.0 feet of Section 82-274(2), of the Code of Ordinances of the Town of Sewall's Point, for the existing second floor balcony only, relative to the west lot line.

Mr. Cifelli moved approval of Resolution 02-02 granting the variance, with the following language to be added to the form proposed: "This variance is subject to applicant's agreement to maintain the status quo and not materially change the balcony such as by enclosing it."

Motion Seconded by Mr. Richardson.

Voting in favor of the Motion: Unanimous

Voting against the Motion: None

Motion Carried. Resolution 02-02 granting the variance requested as to the existing second story balcony only, with language modified as proposed by Mr. Cifelli, was approved.

=====

The hearings were thereupon concluded.


=====

Next on the agenda: open to the public for items not on the agenda. No members of the public addressed the Board at this time.

=====

There being no other business on the agenda, the meeting was adjourned at 8:55 p.m.

Respectfully submitted:


Armand Cifelli, Secretary

Approved by the Board at its Meeting of: 4/18/02

ATTORNEYS' TITLE SERVICES, INC.

**Treasure Coast Branch
590 NW Peacock Blvd.
Port St. Lucie, FL 34986
(561) 879-1770**

SPECIAL CERTIFICATE No.: 42-01-4012-Amended (UPDATE)

FOR: Oughterson, Sundheim & Woods PA

We hereby certify that a search has been made of the 2000 Tax Roll of Martin County, Florida, and update through October 24, 2001 at 11:00 P.M., on ATIDS, regarding a 300 foot area surrounding a parcel of land being described as follows:

Lot 89, RIO VISTA SUBDIVISION, according to the map or plat thereof as recorded in Plat Book 6, Page(s) 95, Public Records of Martin County, Florida.

And we find that the APPARENT Titleholders of land within a 300-foot perimeter of the subject property to be as listed below:

1. King, Carl P.
30 Rio Vista Drive
Stuart, FL 34996
2. Wolcott, Hunter W. & Roseann D.
32 Rio Vista Drive
Stuart, FL 34996
3. Franzen, Mae Claire (Tr.)
34 Rio Vista Drive
Stuart, FL 34996
4. Gary, William E. & Gloria R.
221 E. Osceola Street, Suite 230
Waterside Professional Building
Stuart, FL 34994
5. Broderick, William H. & Wilhelmina A.
44 Rio Vista Drive
Stuart, FL 34996
6. Shutts, Nancy J.
46 Rio Vista Drive
Stuart, FL 34996-6422

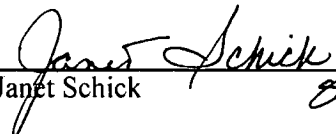
7. D'Angelo, Judith Lynn
48 Rio Vista Drive
Stuart, FL 34996
8. Gaul, Margaret M.
107 S. River Road
Stuart, FL 34996-6309
9. Potsdam, Jay & Bryna C.
50 Rio Vista Drive
Stuart, FL 34996-6422
10. Sheets, Carleton Hunter & Richard C.
6773 SE N. Marina Way
Stuart, FL 34996
11. Petersen, Uwe C. & Coletta B.
530 Sedgwick Drive
Libertyville, IL 60048
12. Allman, John B. (Tr)
1860 SW Belgrave Terrace
Stuart, FL 34997
13. Lewis, John D. & Alyne H.
307 SE Egret Place
Stuart, FL 34996
14. Heineman, Herta (L/E)
Heineman, Herta (Tr.) (REM)
37 Rio Vista Drive
Stuart, FL 34996
15. McCool, Joseph E. & Elizabeth M.
8880 S. Ocean Drive, #1103
Jensen Beach, FL 34957
16. Ruccolo, Michele M. (Co-Tr.)
Rucollo, Maria F. (Co-Tr.)
60 North River Road
Stuart, FL 34996

17. Hammock, Richard
25 Rio Vista Drive
Stuart, FL 34996-6423
18. Cacella, Frank John & Leah Marie
23 Rio Vista Drive
Stuart, FL 34996
19. Pare, Libby E.
109 S. River Road
Stuart, FL 34996-6309
20. McCarthy, Thomas O.
336 Robert Street N.
Suite 1124
St. Paul, MN 55101

This Title Search is prepared and furnished for information only. Maximum liability for incorrect information is \$1000 under Sec. 627.7843, F.S.

THE FOREGOING INFORMATION IS CERTIFIED AS OF THE 2000 TAX ROLL.

IN WITNESS WHEREOF, Attorneys' Title Insurance, Inc. has caused these presents to be signed in its name, by its duly Authorized representative this 14th day of November, 2001..



Janet Schick

Board of Zoning Adjustment
Town of Sewall's Point
1 South Sewall's Point Road
Sewall's Point, FL 34996

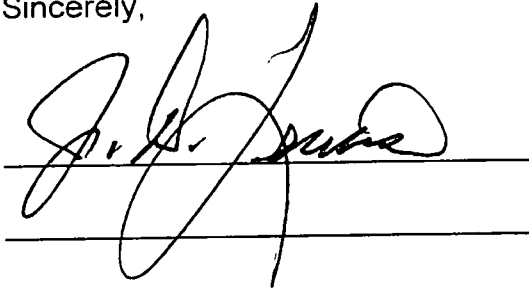
RE: Side-yard Setback Variance for Thurston Residence
Lot 89, RIO VISTA SUBDIVISION, according to the map or plat thereof as
recorded in Plat Book 6, Page 95, Public Records of Martin County, Florida.

Gentlemen:

We are the owners of the following property located at Lot 98, which
is within 300 feet of the above-referenced property.

We have no objection to the requested side-yard setback variance for the Thurston
residence.

Sincerely,

A handwritten signature, appearing to be "J. H. Smith", is written over two horizontal lines.

Board of Zoning Adjustment
Town of Sewall's Point
1 South Sewall's Point Road
Sewall's Point, FL 34996

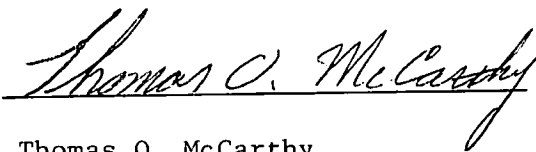
RE: Side-yard Setback Variance for Thurston Residence
Lot 89, RIO VISTA SUBDIVISION, according to the map or plat thereof as
recorded in Plat Book 6, Page 95, Public Records of Martin County, Florida.

Gentlemen:

We are the owners of the following property located at 114 S. River Road, which
is within 300 feet of the above-referenced property.

We have no objection to the requested side-yard setback variance for the Thurston
residence.

Sincerely,



Thomas O. McCarthy

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Mr Thomas McCarthy
336 Robert Street W
Ste 1124
St. Paul MN 55101

2. Article Number
(Transfer from service label)

7000 0520 0013 7372 0814

PS Form 3811, March 2001

Domestic Return Receipt

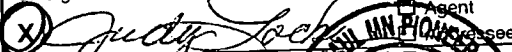
102595-01-M-1424

COMPLETE THIS SECTION ON DELIVERY

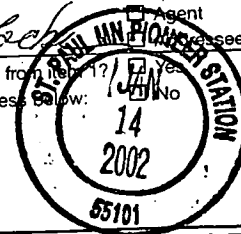
A. Received by (Please Print Clearly) B. Date of Delivery

1/14/02

C. Signature

 ☐ Agent ☐ Addressee

D. Is delivery address different from item 1? ☒ Yes ☐ No
If YES, enter delivery address below:



3. Service Type

- ☒ Certified Mail ☐ Express Mail
- ☐ Registered ☐ Return Receipt for Merchandise
- ☐ Insured Mail ☐ C.O.D.

4. Restricted Delivery? (Extra Fee) ☐ Yes

Board of Zoning Adjustment
Town of Sewall's Point
1 South Sewall's Point Road
Sewall's Point, FL 34996

RE: Side-yard Setback Variance for Thurston Residence
Lot 89, RIO VISTA SUBDIVISION, according to the map or plat thereof as
recorded in Plat Book 5, Page 95, Public Records of Martin County, Florida.

Gentlemen:

We are the owners of the following property located at 109 S. River Rd., which
is within 300 feet of the above-referenced property. Sewalls Point Fl.

We have no objection to the requested side-yard setback variance for the Thurston
residence.

Sincerely,

Libby E. Pare

SENDER: COMPLETE THIS SECTION		COMPLETE THIS SECTION ON DELIVERY											
<ul style="list-style-type: none">Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.Print your name and address on the reverse so that we can return the card to you.Attach this card to the back of the mailpiece, or on the front if space permits.		<table border="1"><tr><td>A. Received by (Please Print Clearly)</td><td>B. Date of Delivery</td></tr><tr><td><i>R. H. Pare</i></td><td><i>11/2/02</i></td></tr><tr><td>C. Signature</td><td><input type="checkbox"/> Agent <input type="checkbox"/> Addressee</td></tr><tr><td><i>X</i> <i>Libby Pare</i></td><td></td></tr><tr><td colspan="2">D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</td></tr></table>		A. Received by (Please Print Clearly)	B. Date of Delivery	<i>R. H. Pare</i>	<i>11/2/02</i>	C. Signature	<input type="checkbox"/> Agent <input type="checkbox"/> Addressee	<i>X</i> <i>Libby Pare</i>		D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No	
A. Received by (Please Print Clearly)	B. Date of Delivery												
<i>R. H. Pare</i>	<i>11/2/02</i>												
C. Signature	<input type="checkbox"/> Agent <input type="checkbox"/> Addressee												
<i>X</i> <i>Libby Pare</i>													
D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No													
1. Article Addressed to:		3. Service Type											
<i>Libby Pare</i> <i>109 S. River Road</i> <i>Stuart FL</i> <i>34996-6309</i>		<input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.											
2. Article Number (Transfer from service label)		4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes											
<i>7000 0520 0013 7372 0821</i>													

Board of Zoning Adjustment
Town of Sewall's Point
1 South Sewall's Point Road
Sewall's Point, FL 34996

RE: Side-yard Setback Variance for Thurston Residence
Lot 89, RIO VISTA SUBDIVISION, according to the map or plat thereof as
recorded in Plat Book 6, Page 95, Public Records of Martin County, Florida.

Gentlemen:

We are the owners of the following property located at 33 Rio Vista Dr, which
is within 300 feet of the above-referenced property.

We have no objection to the requested side-yard setback variance for the Thurston
residence.

Sincerely,

Elizabeth McCool
Joseph McCool

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Joseph & Elizabeth
McCool
8880 S. Ocean Drive #1103
Jensen Beach FL
34957

2. Article Number

(Transfer from service label)

7000 0520 0013 7372 0807

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X Paul Blanchard

☐ Agent

☐ Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? ☐ Yes

If YES, enter delivery address below: ☐ No

3. Service Type

☒ Certified Mail

☐ Express Mail

☐ Registered

☐ Return Receipt for Merchandise

☐ Insured Mail

☐ C.O.D.

4. Restricted Delivery? (Extra Fee)

☐ Yes

Return Receipt

102595-01-M-2509

Board of Zoning Adjustment
Town of Sewall's Point
1 South Sewall's Point Road
Sewall's Point, FL 34996

RE: Side-yard Setback Variance for Thurston Residence
Lot 89, RIO VISTA SUBDIVISION, according to the map or plat thereof as
recorded in Plat Book 6, Page 95, Public Records of Martin County, Florida.

Gentlemen:

I am
We are the owners of the following property located at 37 Rio Vista DR., which
is within 300 feet of the above-referenced property.

I
We have no objection to the requested side-yard setback variance for the Thurston
residence.

Sincerely,

Herta Heineman

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

*Herta Heineman
37 Rio Vista Drive
Stuart FL 34996*

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X Herta Heineman ☐ Agent ☐ Addressee

B. Received by (Printed Name)

HERTA HEINEMAN

C. Date of Delivery

D. Is delivery address different from item 1? ☐ Yes
If YES, enter delivery address below: ☐ No

3. Service Type

☒ Certified Mail ☐ Express Mail
☐ Registered ☐ Return Receipt for Merchandise
☐ Insured Mail ☐ C.O.D.

4. Restricted Delivery? (Extra Fee)

☐ Yes

2. Article Number

(Transfer from service label)

7000 0520 0013 7372 0791

Board of Zoning Adjustment
Town of Sewall's Point
1 South Sewall's Point Road
Sewall's Point, FL 34996

RE: Side-yard Setback Variance for Thurston Residence
Lot 89, RIO VISTA SUBDIVISION, according to the map or plat thereof as
recorded in Plat Book 6, Page 95, Public Records of Martin County, Florida.

Gentlemen:

We are the owners of the following property located at 101 RIO VISTA, which
is within 300 feet of the above-referenced property.

We have no objection to the requested side-yard setback variance for the Thurston
residence.

Sincerely,

Michele Ruccolo 1-14-02
Maria Ruccolo 1-14-02

SENDER: COMPLETE THIS SECTION		COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none">■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.■ Print your name and address on the reverse so that we can return the card to you.■ Attach this card to the back of the mailpiece, or on the front if space permits.		A. Received by (Please Print Clearly)	B. Date of Delivery 1/12/02
1. Article Addressed to: Michele Ruccolo Maria Ruccolo 60 North River Road Stuart FL 34996		C. Signature X <u>Michele Ruccolo</u>	<input type="checkbox"/> Agent <input type="checkbox"/> Addressee
		D. Is delivery address different from item 1? If YES, enter delivery address below:	<input type="checkbox"/> Yes <input type="checkbox"/> No
		3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Registered <input type="checkbox"/> Insured Mail	<input type="checkbox"/> Express Mail <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> C.O.D.
		4. Restricted Delivery? (Extra Fee)	<input type="checkbox"/> Yes
2. Article Number (Transfer from service label)		7000 0520 001373720852	

Board of Zoning Adjustment
Town of Sewall's Point
1 South Sewall's Point Road
Sewall's Point, FL 34996

RE: Side-yard Setback Variance for Thurston Residence
Lot 89, RIO VISTA SUBDIVISION, according to the map or plat thereof as
recorded in Plat Book 6, Page 95, Public Records of Martin County, Florida.

Gentlemen:

We are the owners of the following property located at 49 RIO VISTA, which
is within 300 feet of the above-referenced property.

We have no objection to the requested side-yard setback variance for the Thurston
residence.

Sincerely,

Uwe C. Petersen UWE C. PETERSEN
Coletta B. Petersen COLETTA B. PETERSEN

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none">Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.Print your name and address on the reverse so that we can return the card to you.Attach this card to the back of the mailpiece, or on the front if space permits.	<p>A. Signature <u>[Signature]</u> <input type="checkbox"/> Agent <input type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) _____ C. Date of Delivery <u>1-24-02</u></p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p>
<p>1. Article Addressed to: <u>Uwe & Coletta Peterson</u> <u>530 Sedgwick Drive</u> <u>Libertyville IL</u> <u>- 60048</u></p>	<p>3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.</p> <p>4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes</p>
<p>2. Article Number (Transfer from service label) <u>7000 0520 0013 7372 0760</u></p>	

3811, August 2001 Domestic Return Receipt 102595-01-M-2509

Board of Zoning Adjustment
Town of Sewall's Point
1 South Sewall's Point Road
Sewall's Point, FL 34996

RE: Side-yard Setback Variance for Thurston Residence
Lot 89, RIO VISTA SUBDIVISION, according to the map or plat thereof as
recorded in Plat Book 6, Page 95, Public Records of Martin County, Florida.

Gentlemen:

We are the owners of the following property located at 45 Rio Vista, which
is within 300 feet of the above-referenced property.

We have no objection to the requested side-yard setback variance for the Thurston
residence.

Sincerely,

John B. Allman
781-0169

SENDER: COMPLETE THIS SECTION		COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none">■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.■ Print your name and address on the reverse so that we can return the card to you.■ Attach this card to the back of the mailpiece, or on the front if space permits.		A. Signature <input checked="" type="checkbox"/> <u>John Allman</u> <input type="checkbox"/> Agent <input type="checkbox"/> Addressee	
1. Article Addressed to: <u>John Allman Tr.</u> <u>1860 SW Belgrave Terr.</u> <u>Stuart FL 34997</u>		B. Received by (Printed Name) <u>J. Allman</u>	C. Date of Delivery
2. Article Number (Transfer from service label) <u>7000 0520 0013 7372 0777</u>		D. Is delivery address different from item 1? If YES, enter delivery address below: <input type="checkbox"/> Yes <input type="checkbox"/> No	
		3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Registered <input type="checkbox"/> Insured Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> C.O.D.	
		4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes	

PS Form 3811, August 2001 Domestic Return Receipt 102595-01-M-2509

Board of Zoning Adjustment
Town of Sewall's Point
1 South Sewall's Point Road
Sewall's Point, FL 34996

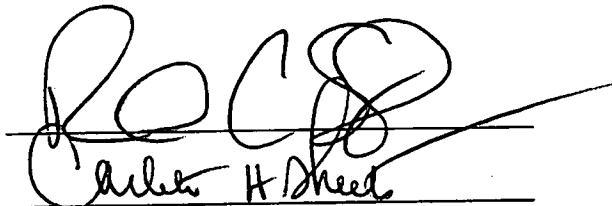
RE: Side-yard Setback Variance for Thurston Residence
Lot 89, RIO VISTA SUBDIVISION, according to the map or plat thereof as
recorded in Plat Book 6, Page 95, Public Records of Martin County, Florida.

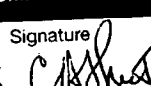
Gentlemen:

We are the owners of the following property located at 101 S. River Rd., which
is within 300 feet of the above-referenced property.

We have no objection to the requested side-yard setback variance for the Thurston
residence.

Sincerely,


Carlton H. Sheets

SENDER: COMPLETE THIS SECTION		COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none">■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.■ Print your name and address on the reverse so that we can return the card to you.■ Attach this card to the back of the mailpiece, or on the front if space permits.		<p>A. Signature <input checked="" type="checkbox"/> Agent <input type="checkbox"/> Addressee</p> <p>X </p>	
1. Article Addressed to:		B. Received by (Printed Name)	C. Date of Delivery
Carlton & Richard Sheets		C.H. Sheets	1/12/02
6773 SE N. Marina Way		D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No	
Stuart FL 34996		3. Service Type	
		<input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.	
2. Article Number		4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes	
(Transfer from service label)			
7000 0520 0013 7372 0753			

Board of Zoning Adjustment
Town of Sewall's Point
1 South Sewall's Point Road
Sewall's Point, FL 34996

RE: Side-yard Setback Variance for Thurston Residence
Lot 89, RIO VISTA SUBDIVISION, according to the map or plat thereof as
recorded in Plat Book 6, Page 95, Public Records of Martin County, Florida.

Gentlemen:

We are the owners of the following property located at 46 Rio Vista Dr, which
is within 300 feet of the above-referenced property.

We have no objection to the requested side-yard setback variance for the Thurston
residence.

Sincerely,

Nancy Shotts

SENDER: COMPLETE THIS SECTION		COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none">■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.■ Print your name and address on the reverse so that we can return the card to you.■ Attach this card to the back of the mailpiece, or on the front if space permits.		<p>A. Signature <u>Nancy Shotts</u> <input type="checkbox"/> Agent <input type="checkbox"/> Addressee</p>	
<p>1. Article Addressed to:</p> <p><u>Nancy J. Shotts</u> <u>46 Rio Vista Drive</u> <u>Stuart FL 34996</u></p>		<p>B. Received by (Printed Name) <u>Nancy Shotts</u> C. Date of Delivery <u>7/12/02</u></p>	
		<p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p>	
<p>2. Article Number (Transfer from service label) <u>7000 0520 0013 7372 0715</u></p>		<p>3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.</p>	
		<p>4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes</p>	

Board of Zoning Adjustment
Town of Sewall's Point
1 South Sewall's Point Road
Sewall's Point, FL 34996

RE: Side-yard Setback Variance for Thurston Residence
Lot 89, RIO VISTA SUBDIVISION, according to the map or plat thereof as
recorded in Plat Book 6, Page 95, Public Records of Martin County, Florida.

Gentlemen:

We are the owners of the following property located at 107 So. River Rd (Lot 93) which
is within 300 feet of the above-referenced property.

We have no objection to the requested side-yard setback variance for the Thurston
residence.

Sincerely,

Margaret M. Gaul
John B. Gaul

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

MARGARET M. GAUL
107 S. RIVER ROAD
STUART, FL 34996-6309

2. Article Number

(Transfer from service label)

7000 0520 0013 7372 0722

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X

☐ Agent

☐ Addressee

B. Received by (Printed Name)

M. Gaul

C. Date of Delivery

1/12/02

D. Is delivery address different from item 1? ☐ Yes

If YES, enter delivery address below: ☐ No

3. Service Type

☒ Certified Mail ☐ Express Mail

☐ Registered

☐ Return Receipt for Merchandise

☐ Insured Mail

☐ C.O.D.

4. Restricted Delivery? (Extra Fee)

☐ Yes

Board of Zoning Adjustment
Town of Sewall's Point
1 South Sewall's Point Road
Sewall's Point, FL 34996

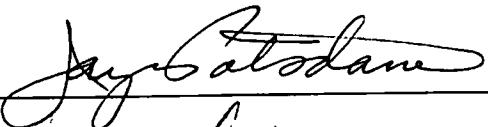
RE: Side-yard Setback Variance for Thurston Residence
Lot 89, RIO VISTA SUBDIVISION, according to the map or plat thereof as
recorded in Plat Book 6, Page 95, Public Records of Martin County, Florida.


Gentlemen:

We are the owners of the following property located at 50 RIO VISTA DR, which
is within 300 feet of the above-referenced property. LOT # 94

We have no objection to the requested side-yard setback variance for the Thurston
residence.

Sincerely,


Jay Potsdam

SENDER: COMPLETE THIS SECTION		COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none">Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.Print your name and address on the reverse so that we can return the card to you.Attach this card to the back of the mailpiece, or on the front if space permits.		<p>A. Signature  <input type="checkbox"/> Agent <input type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) <u>J. POTSDAM</u> C. Date of Delivery <u>1/12/01</u></p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If YES, enter delivery address below:</p>	
1. Article Addressed to: <u>M/M Jay Potsdam</u> <u>50 Rio Vista Drive</u> <u>Stuart FL 34996</u> <u>6422</u>		3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.	
2. Article Number (Transfer from service label) <u>7000 0520 0013 7372 0746</u>		4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes	

Board of Zoning Adjustment
Town of Sewall's Point
1 South Sewall's Point Road
Sewall's Point, FL 34996

RE: Side-yard Setback Variance for Thurston Residence
Lot 89, RIO VISTA SUBDIVISION, according to the map or plat thereof as
recorded in Plat Book 6, Page 95, Public Records of Martin County, Florida.

Gentlemen:

~~We~~ ^{I AM} are the owners of the following property located at 25 Rio Vista Dr, which
is within 300 feet of the above-referenced property.

~~We~~ ^I have no objection to the requested side-yard setback variance for the Thurston
residence.

Sincerely,

Richard Hammock 11/12/02

SENDER: COMPLETE THIS SECTION		COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none">■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.■ Print your name and address on the reverse so that we can return the card to you.■ Attach this card to the back of the mailpiece, or on the front if space permits.		<p>A. Received by (Please Print Clearly) <u>Richard Hammock</u> B. Date of Delivery <u>11/12/02</u></p> <p>C. Signature <u>X Richard Hammock</u> <input type="checkbox"/> Agent <input type="checkbox"/> Addressee</p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes <input type="checkbox"/> No If YES, enter delivery address below:</p>	
1. Article Addressed to: <u>Mr Richard Hammock</u> <u>25 Rio Vista Drive</u> <u>Stuart FL 34996-6423</u>		3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.	
2. Article Number (Copy from service label) <u>7000 0520 0013 7372 0845</u>		4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes	

Board of Zoning Adjustment
Town of Sewall's Point
1 South Sewall's Point Road
Sewall's Point, FL 34996

RE: Side-yard Setback Variance for Thurston Residence
Lot 89, RIO VISTA SUBDIVISION, according to the map or plat thereof as
recorded in Plat Book 6, Page 95, Public Records of Martin County, Florida.

Gentlemen:

We are the owners of the following property located at 48 Rio Vista Dr., which
is within 300 feet of the above-referenced property.

We have no objection to the requested side-yard setback variance for the Thurston
residence.

Sincerely,

Judith L. D'Angelo

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Judith Lynn D'Angelo
48 Rio Vista Drive
Stuart FL 34996

2. Article Number
(Transfer from service label)

7000 0520 0013 7372 0722

PS Form 3811, August 2001

Domestic Return Receipt

102595-01-M-2509

COMPLETE THIS SECTION ON DELIVERY

A. Signature [Signature] ☐ Agent
☒ Addressee

B. Received by (Printed Name) Paul Brodie C. Date of Delivery 1/12/02

D. Is delivery address different from item 1? ☐ Yes
If YES, enter delivery address below: ☐ No

3. Service Type
☒ Certified Mail ☐ Express Mail
☐ Registered ☐ Return Receipt for Merchandise
☐ Insured Mail ☐ C.O.D.

4. Restricted Delivery? (Extra Fee) ☐ Yes

Board of Zoning Adjustment
Town of Sewall's Point
1 South Sewall's Point Road
Sewall's Point, FL 34996

RE: Side-yard Setback Variance for Thurston Residence
Lot 89, RIO VISTA SUBDIVISION, according to the map or plat thereof as
recorded in Plat Book 6, Page 95, Public Records of Martin County, Florida.

Gentlemen:

We are the owners of the following property located at 44 Rio Vista, which
is within 300 feet of the above-referenced property.

We have no objection to the requested side-yard setback variance for the Thurston
residence.

Sincerely,

M/M William H Broderick

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none">■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.■ Print your name and address on the reverse so that we can return the card to you.■ Attach this card to the back of the mailpiece, or on the front if space permits.	A. Signature <input checked="" type="checkbox"/> <u>William Broderick</u> <input type="checkbox"/> Agent <input type="checkbox"/> Addressee
1. Article Addressed to: <u>Mr & Mrs. William Broderick</u> <u>44 Rio Vista Drive</u> <u>Stuart FL 34996</u>	B. Received by (Printed Name) C. Date of Delivery <u>7-14-02</u>
2. Article Number (Transfer from service label) <u>7000 0520 0013 7372 0708</u>	D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No
	3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.
	4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes

Board of Zoning Adjustment
Town of Sewall's Point
1 South Sewall's Point Road
Sewall's Point, FL 34996

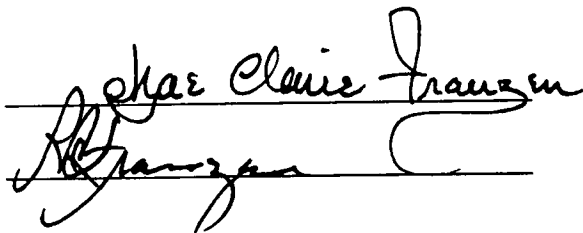
RE: Side-yard Setback Variance for Thurston Residence
Lot 89, RIO VISTA SUBDIVISION, according to the map or plat thereof as
recorded in Plat Book 6, Page 95, Public Records of Martin County, Florida.

Gentlemen:

We are the owners of the following property located at 34 Rio Vista Dr., which
is within 300 feet of the above-referenced property.

We have no objection to the requested side-yard setback variance for the Thurston
residence.

Sincerely,


Mae Claire Franzen

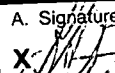
SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Mae Claire Franzen
34 Rio Vista Drive
Stuart FL 34996

COMPLETE THIS SECTION ON DELIVERY

A. Signature ☐ Agent
 ☐ Addressee
B. Received by (Printed Name) C. Date of Delivery
MAE CLAUDE FRANZEN 1/12/02
D. Is delivery address different from item 1? ☐ Yes
If YES, enter delivery address below: ☐ No

3. Service Type
☒ Certified Mail ☐ Express Mail
☐ Registered ☐ Return Receipt for Merchandise
☐ Insured Mail ☐ C.O.D.

4. Restricted Delivery? (Extra Fee) ☐ Yes

2. Article Number
(Transfer from service label)

7000 0520 001 373.72 0685

Board of Zoning Adjustment
Town of Sewall's Point
1 South Sewall's Point Road
Sewall's Point, FL 34996

RE: Side-yard Setback Variance for Thurston Residence
Lot 89, RIO VISTA SUBDIVISION, according to the map or plat thereof as
recorded in Plat Book 6, Page 95, Public Records of Martin County, Florida.

Gentlemen:

We are the owners of the following property located at 32 Rio Vista, which
is within 300 feet of the above-referenced property.

We have no objection to the requested side-yard setback variance for the Thurston
residence.

Sincerely,

Roseann J. Wolcott

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none">■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.■ Print your name and address on the reverse so that we can return the card to you.■ Attach this card to the back of the mailpiece, or on the front if space permits.	A. Signature <input checked="" type="checkbox"/> Agent <input type="checkbox"/> Addressee <u>R. Wolcott</u>
1. Article Addressed to: <u>M/M Hunter Wolcott</u> <u>32 Rio Vista Drive</u> <u>Stuart FL</u> <u>34996</u>	B. Received by (Printed Name) <u>R. Wolcott</u> C. Date of Delivery <u>4/12/02</u>
2. Article Number (Transfer from service label) <u>7000 0520 0013 7372 0678</u>	D. Is delivery address different from Item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No
	3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.
	4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes

Board of Zoning Adjustment
Town of Sewall's Point
1 South Sewall's Point Road
Sewall's Point, FL 34996

RE: Side-yard Setback Variance for Thurston Residence
Lot 89, RIO VISTA SUBDIVISION, according to the map or plat thereof as
recorded in Plat Book 6, Page 95, Public Records of Martin County, Florida.

Gentlemen:

2 am
We are the owners of the following property located at 30 Rio Vista Dr, which
is within 300 feet of the above-referenced property.

1
We have no objection to the requested side-yard setback variance for the Thurston
residence.

Sincerely,

Carl P. King

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY						
<ul style="list-style-type: none">■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.■ Print your name and address on the reverse so that we can return the card to you.■ Attach this card to the back of the mailpiece, or on the front if space permits.	<table border="1"><tr><td>A. Received by (Please Print Clearly) <i>Carl King</i></td><td>B. Date of Delivery <i>7/12/02</i></td></tr><tr><td>C. Signature <i>X Carl King</i></td><td><input type="checkbox"/> Agent <input type="checkbox"/> Addressee</td></tr><tr><td>D. Is delivery address different from item 1? If YES, enter delivery address below:</td><td><input type="checkbox"/> Yes <input type="checkbox"/> No</td></tr></table>	A. Received by (Please Print Clearly) <i>Carl King</i>	B. Date of Delivery <i>7/12/02</i>	C. Signature <i>X Carl King</i>	<input type="checkbox"/> Agent <input type="checkbox"/> Addressee	D. Is delivery address different from item 1? If YES, enter delivery address below:	<input type="checkbox"/> Yes <input type="checkbox"/> No
A. Received by (Please Print Clearly) <i>Carl King</i>	B. Date of Delivery <i>7/12/02</i>						
C. Signature <i>X Carl King</i>	<input type="checkbox"/> Agent <input type="checkbox"/> Addressee						
D. Is delivery address different from item 1? If YES, enter delivery address below:	<input type="checkbox"/> Yes <input type="checkbox"/> No						
1. Article Addressed to: <i>Carl P. King 30 Rio Vista Drive Stuart FL 34996</i>	3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.						
2. Article Number (Copy from service label) <i>7000 0520 0013 7372 0661</i>	4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes						

10443
RE-ROOF



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10443	DATE ISSUED:	MAY 7, 2013
SCOPE OF WORK:	REROOF		
CONTRACTOR:	TOTAL ROOFING SYSTEMS SPECIALIST		
PARCEL CONTROL NUMBER:	123841002-000-008900	SUBDIVISION	RIO VISTA - LOT 89
CONSTRUCTION ADDRESS:	42 RIO VISTA DR		
OWNER NAME:	HOFFMAN		
QUALIFIER:	RICARDO LARA	CONTACT PHONE NUMBER:	340-5539

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

INSPECTIONS

UNDERGROUND PLUMBING	_____
UNDERGROUND MECHANICAL	_____
STEM-WALL FOOTING	_____
SLAB	_____
ROOF SHEATHING	_____
TIE DOWN / TRUSS ENG	_____
WINDOW/DOOR BUCKS	_____
ROOF DRY-IN/METAL	_____
PLUMBING ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____
FRAMING	_____
FINAL PLUMBING	_____
FINAL MECHANICAL	_____
FINAL ROOF	_____

UNDERGROUND GAS	_____
UNDERGROUND ELECTRICAL	_____
FOOTING	_____
TIE BEAM/COLUMNS	_____
WALL SHEATHING	_____
INSULATION	_____
LATH	_____
ROOF TILE IN-PROGRESS	_____
ELECTRICAL ROUGH-IN	_____
GAS ROUGH-IN	_____
METER FINAL	_____
FINAL ELECTRICAL	_____
FINAL GAS	_____
BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

Date: 5/2/13 BUILDING PERMIT APPLICATION Permit Number: 10443

OWNER/LESSEE NAME: Kent Hoffman Phone (Day) 233-3618 (Fax) _____

Job Site Address: 42 Rio Vista Dr City: Sewall's Pt State: FL Zip: 34996

Legal Description Rio Vista S/D Lot 89 Parcel Control Number: 12-38-41-002-000-00890 - 0

Fee Simple Holder Name: _____ Address: _____

City: _____ State: _____ Zip: _____ Telephone: _____

SCOPE OF WORK (PLEASE BE SPECIFIC): Re-roof

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application)

YES _____ NO ☒

Has a Zoning Variance ever been granted on this property?

YES _____ (YEAR) _____ NO ☒

(Must include a copy of all variance approvals with application)

COST AND VALUES (Required on ALL permit applications)

Estimated Value of Improvements: \$19,500

(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10 _____ AE9 _____ AE8 ☒ X

FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:

Estimated Fair Market Value prior to improvement: \$ _____

(Fair Market Value of the Primary Structure only, Minus the land value)

PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: TOTAL ROOFING SYSTEMS SPECIALIST 240-5539 Fax: 240-2779

Qualifiers name: Ricardo Lara Street: 2100A SW CONANT AVE City: PSL State: FL Zip: 34953

State License Number: CCC1330109 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: _____ Phone Number: _____

DESIGN PROFESSIONAL: _____ License# _____

Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof 50 sq Elevated Deck: _____ Enclosed area below BFE*: _____

* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010

National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER / AGENT / LESSEE - NOTARIZED SIGNATURE:

Kent Hoffman

State of Florida, County of ST LUCIE

On This the 30th day of April, 2013

by Kent Hoffman who is personally

known to me or produced

as identification. Kelly M. Phillips

Notary Public

My Commission Expires: _____

CONTRACTOR / LICENSEE NOTARIZED SIGNATURE:

x Ricardo Lara

State of Florida, County of ST LUCIE

On This the 1ST day of MAY

by Ricardo Lara who is personally

known to me or produced

as identification. A. Scott

Notary Public

My Commission Expires: 8.21.2017

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY

NOTARY PUBLIC-STATE OF FLORIDA

Kelly M. Phillips

Commission # 20929248

Expires: 8/21/2017

Notary Public Seal

KATIE JACK
Notary Public - State of Florida
My Comm. Expires Mar 21, 2017
Commission # FF 001066

**Martin County, Florida
Laurel Kelly, C.F.A**

generated on 5/3/2013 9:41:52 AM EDT

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-002-000-00890-0	27600	42 RIO VISTA DR, SEWALL'S POINT	\$242,600	4/27/2013

	Owner Information
Owner(Current)	THURSTON MARC THURSTON DAVID JR
Owner/Mail Address	42 RIO VISTA DR STUART FL 34996
Sale Date	2/22/2013
Document Book/Page	2632 2061
Document No.	2378786
Sale Price	100

See warranty deed

	Location/Description
Account #	27600
Tax District	2200
Parcel Address	42 RIO VISTA DR, SEWALL'S POINT
Acres	.3440
Map Page No.	SP-05
Legal Description	RIO VISTA S/D LOT 89

	Parcel Type
Use Code	0100 Single Family
Neighborhood	120250 RIO VISTA DRY

	Assessment Information
Market Land Value	\$138,000
Market Improvement Value	\$104,600
Market Total Value	\$242,600

INSTR # 2392016
 OR BK 2647 PG 1675
 (3 Pgs)
 RECORDED 04/30/2013 01:56:27 PM
 CAROLYN TIMMANN
 MARTIN COUNTY CLERK
 DEED DOC TAX \$2,625.00

Prepared by and return to:

Robert A. Burson
 Attorney at Law
 Robert A. Burson, P.A.
 P.O. Box 1620
 Stuart, FL 34995
 772-286-1616
 File Number: 13-024
 Will Call No.: CH Box #39

Parcel Identification No. 12-38-41-002-000-00890.00000

[Space Above This Line For Recording Date]

Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this 25 day of April, 2013 between Marc Thurston, a married man, as to a 1/2 interest and David Thurston, Jr., a married man, as to a 1/2 interest whose post office address is 1502 First Parkway, Washington, MO 63090 and 3066 Southpark, Prescott, AZ 86305, respectively, of the States of Missouri and Arizona, grantor*, and Kent A. Hoffman and Shari L. Hoffman, husband and wife whose post office address is 42 Rio Vista, Sowalls Point, FL 34996 of the County of Martin, State of Florida, grantee*,

Witnesseth that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida, to-wit:

Lot 89, RIO VISTA SUBDIVISION, according to the plat thereof, filed December 11, 1975, in Plat Book 6, page 95, Martin County, Florida, public records.

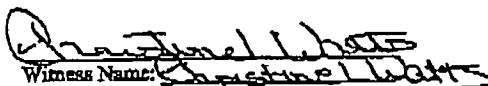
Grantors warrant that at the time of this conveyance, the subject property is not the Grantor's homestead within the meaning set forth in the constitution of the state of Florida, nor is it contiguous to or a part of homestead property. Grantors' residence and homestead addresses are in Washington, MO (Marc Thurston) and Prescott, AZ (David Thurston, Jr.), respectively.

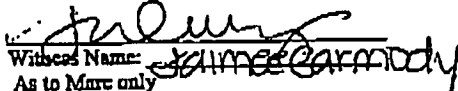
Subject to taxes for 2013 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

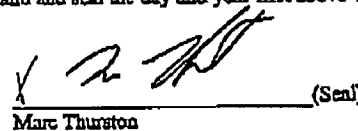
and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

* "Grantor" and "Grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written. Signed, sealed and delivered in our presence:


 Witness Name: Christine L. Waters


 Witness Name: James Carmody
 As to Marc only

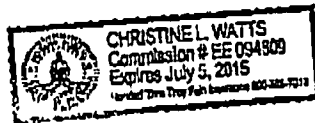

 Marc Thurston (Seal)

DoubleTime

State of Florida
County of Martin

The foregoing instrument was acknowledged before me this 4th day of April, 2013 by Marc Thurston, who ☐ is personally known or ☒ has produced a driver's license as identification.

[Notary Seal]



Christine L. Watts
Notary Public
Printed Name: _____
My Commission Expires: _____

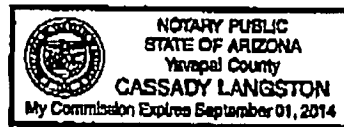
Bernadette J. Paolucci
Witness Name: BERNADETTE J. PAOLUCCI
[Signature]
Witness Name: [Signature]
As to David only

X David Thurston, Jr. (Seal)
David Thurston, Jr.

State of Arizona
County of Yavapai

The foregoing instrument was acknowledged before me this 25 day of April, 2013 by David Thurston, Jr. who ☐ is personally known or ☒ has produced a driver's license as identification.

[Notary Seal]



Cassady Langston
Notary Public
Printed Name: Cassady Langston
My Commission Expires: 09/01/14



Total Roofing Systems Specialist
2100 A SW Conant Ave. Port. St. Lucie FL 34953
Office: (772) 340-5539 Fax: (772) 340-2779

FAX TRANSMITTAL

DATE: 5/6/13

Total Pages Including Cover: 4

TO: BUDGET DEPT.

FROM: JACQUELYNNE LARA

Attention: VALERIE

Fax: 220-4705

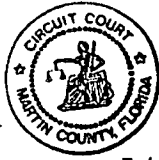
Reference: WARRANTY DEED

AS REQUESTED FOR HOFFMAN RES.

42 RD VISTA DR. SEWALLS POINT

STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGE(S) IS A TRUE
AND CORRECT COPY OF THE ORIGINAL
DOCUMENT AS FILED IN THIS OFFICE.



INSTR # 2392800
OR BK 2648 PG 1624
(1 Pgs)
RECORDED 05/03/2013 09:46:10 AM
CAROLYN TIMMANN
MARTIN COUNTY CLERK

NOTICE OF COMMENCEMENT

To be completed when construction value exceeds \$2,500.00

BY: CAROLYN TIMMANN, CLERK
DATE: 05/03/2013
STATE OF FLORIDA

D.C.

TAX FOLIO # 12-38-41-002-000-00890-0

COUNTY OF MARTIN

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS, IF AVAILABLE):
42 Rio Vista Drive - Rio vista S/D Lot 89

GENERAL DESCRIPTION OF IMPROVEMENT: Replace roof.

OWNER INFORMATION OR LESSEE INFORMATION, IF THE LESSEE CONTRACTED FOR THE IMPROVEMENT:

Name: Kent Hoffman

Address: 42 Rio Vista Drive, Sewell's Point FL 34996

Interest in property: Owner

Name and address of fee simple title holder (if different from Owner listed above):
N/A

CONTRACTOR'S NAME: Total Roofing SYSTEMS SPECIALIST Phone No.: (772) 340-5539
Address: 2100-A SW Conant Avenue, Port St. Lucie FL 34953

SURETY COMPANY (If applicable, a copy of the payment bond is attached):

Name and address: N/A

Phone No.: N/A

Bond amount: N/A

LENDER'S NAME: N/A

Address: N/A

Phone No.: N/A

Persons within the State of Florida designated by owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7, Florida Statutes:

Name: N/A

Address: N/A

Phone No.: N/A

In addition to himself or herself, owner designates N/A of N/A to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.
Phone number of person or entity designated by Owner: N/A

Expiration date of Notice of Commencement:

(the expiration date may not be before the completion of construction and final payment to the contractor, but will be 1 year from the date of recording unless a different date is specified): N/A

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Under penalty of perjury, I declare that I have read the foregoing and that the facts in it are true to the best of my knowledge and belief.

Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager/Attorney-in-fact
Kent Hoffman

OWNER
Signatory's Title/Office

The foregoing instrument was acknowledged before me this 30th day of April, 2013

By: Kent Hoffman as owner for
Name of person Type of authority (e.g. officer, trustee) Party on behalf of whom instrument was executed

Kelly M. Phillips
Notary's Signature

(Print, Type, or Stamp Commissioned Name of Notary)

Personally known ☒ or produced identification ☐
Type of identification produced

NOTARY PUBLIC-STATE OF FLORIDA
Kelly M. Phillips
Commission #DD929248
Expires: SEP. 29, 2013
BONDED THRU ATLANTIC BONDING CO., INC.



ROOFING MATERIAL LIST

[illegible]



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

RE-ROOF CERTIFICATION

PERMIT #

CONTRACTOR'S NAME: TOTAL ROOFING SYSTEMS SPECIALIST PHONE #: 340-5539 FAX: 340-2779

OWNER'S NAME: KENT HOFFMAN

CONSTRUCTION ADDRESS: 42 RIO VISTA DR. CITY SEWELL'S POINT STATE FL.

RE-ROOF: ☒ RESIDENTIAL(SINGLE FAMILY)

☐ COMMERCIAL **--REMOVE/REINSTALL ROOF TOP HVAC EQUIP ☐ YES ☒ NO

**...DISCONNECT/RECONNECT HVAC ELECTRIC ☐ YES ☒ NO

** REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

RE-ROOF DEEMED TO COMPLY WITH 553.844 F. S. ☐ YES ☐ NO - INSURED VALUE OF RESIDENCE: \$ 104,600

ROOF TYPE: ☒ HIP ☐ BOSTON-HIP ☐ GABLE ☐ FLAT ☐ OTHER

ROOF PITCH: 5 /12 SLOPE

ROOF DECK:* ☐ SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED

☐ RE-SHEATH - (REMOVAL OF SPACED SHEATHING/PLYWOOD FOR APPLICATION OF NEW PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD AS PER FLORIDA BUILDING CODE "2004".

☐ SPACED SHEATH FILL-IN - SPACES BETWEEN EXISTING SPACED-SHEATHING BOARD MAY BE FILLED-IN WITH BOARDS OF THE SAME SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2004".

☒ EXISTING DECK TO REMAIN/REPAIRED& RENAILED

EXISTING ROOF COVERING: Shingle EXISTING COVERING TO BE REMOVED? YES ☐ NO ☐

PROPOSED NEW ROOF COVERING: 5-V Crimp Metal

MANUFACTURER _____ PRODUCT NAME _____ PRODUCT APPR # _____

(APPROVED ROOF COVERING MATERIAL WITH CURRENT FLORIDA PRODUCT APPROVAL)
MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION.

PROPOSED FLASHING: ☒ GALV./STEEL ☐ ALUMINUM ☐ COPPER ☐ OTHER _____

RIDGEVENT TO BE INSTALLED: ☐ YES ☒ NO

DESCRIPTION OF WORK: RE-ROOF, REMOVAL OF EXISTING SHINGLE
& FLAT DOWN TO PLYWOOD SHEATHING.

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

Ricardo Luna DATE: 5/1/13
SIGNATURE OF CONTRACTOR



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

**RESIDENTIAL REROOF WINDSTORM LOSS
MITIGATION CERTIFICATION (FLORIDA STATUTE 553.844)**

ALL RE-ROOFS REGARDLESS OF VALUE SHALL COMPLY WITH THE FOLLOWING:

Re-nailing: All sheathing and decking shall be re-nailed per section 201.1 and a secondary water barrier installed.

- Existing fasteners that are 8d clipped head, round head or ring shank and spaced 6 in. or less o.c. may be counted. Additional fasteners shall be 8d ring shank nails with round heads spaced at 6 in. o.c. along framing.
- Indicate below which method is to be used to satisfy the secondary water barrier requirements:

_____ All joints in roof sheathing shall be covered with a minimum of 4 in. strip of self-adhering polymer modified bitumen tape. Wood deck and self-adhering tape shall be covered by one layer of approved underlayment.

☒ Entire roof deck shall be covered with an approved self-adhering polymer modified bitumen cap sheet. No additional underlayment is required.

_____ Outside of the HVHZ, an underlayment complying with section 1507.2.3 of the Florida Building Code, Building fastened as described below or a layer of asphalt impregnated approved #30 felt shall be installed. The felt is to be fastened with 1" round plastic cap or metal cap nails, attached to a nailable deck in a grid pattern of 12 inches (305 mm) staggered between the overlaps, with 6-inch (152 mm) spacing at the overlaps. For slopes of 2:12 to 4:12 an additional layer of felt shall be installed in a single-fashion and lapped 19" and fastened as described above. (No additional underlayment shall be required over the top of this sheet.)

_____ Exception: An approved 30# underlayment installed per HVHZ using nails and tin-tags and covered with an approved self-adhering polymer modified bitumen cap sheet or an approved cap sheet hot-mopped shall be deemed to meet the requirements for secondary water barrier.

Residential Structures valued at \$300,000 or more shall comply with the following:

- Roof to wall connections must be enhanced up to 15% additional cost of the re-roofing cost.
- A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
 1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
 2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
 - a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
 - b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
 - c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.



DEPARTMENT OF PERMITTING, ENVIRONMENT, AND REGULATORY
AFFAIRS (PERA)
BOARD AND CODE ADMINISTRATION DIVISION

NOTICE OF ACCEPTANCE (NOA)

**MIAMI-DADE COUNTY
PRODUCT CONTROL SECTION**

11805 SW 26 Street, Room 208
Miami, Florida 33175-2474
T (786) 315-2590 F (786) 31525-99
www.miamidade.gov/pera

CertainTeed Corporation
1400 Union Meeting Road
P.O. Box 1100
Blue Bell PA 19422

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County PERA - Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. PERA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code including the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: CertainTeed Underlayment Systems

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA No. 10-0608.01 and consists of pages 1 through 7.
The submitted documentation was reviewed by Jorge L. Acebo.



NOA No.: 11-1129.01
Expiration Date: 11/24/14
Approval Date: 07/26/12
Page 1 of 7

ROOFING COMPONENT APPROVAL

Category: Roofing
Sub-Category: Underlayment
Material: SBS

SCOPE:

This approves CertainTeed Underlayment Systems, as described in this Notice of Acceptance; designed to comply with the Florida Building Code including the High Velocity Hurricane Zone of the Florida Building Code.

TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
WinterGuard HT <i>Manufacturing Location #1</i>	36" x 65' rolls Roll Weight: 45 lbs	ASTM D 1970	Modified fiberglass reinforced, bituminous sheet material for use as an underlayment in sloped roof assemblies. Designed as an ice & rain shield.
WinterGuard Granular <i>Manufacturing Location #2</i>	36" x 65' rolls Roll Weight: 72 lbs	ASTM D 1970	Granular surfaced modified, fiberglass reinforced, bituminous sheet material for use as an underlayment in sloped roof assemblies. Designed as an ice & rain shield.
WinterGuard Sand <i>Manufacturing Location #2</i>	36" x 65' rolls Roll Weight: 72 lbs	ASTM D 1970	Embedded sand surfaced modified, fiberglass reinforced, bituminous sheet material for use as an underlayment in sloped roof assemblies. Designed as an ice & rain shield.
Diamond Deck™ <i>Manufacturing Location #3</i>	48" x 250' Roll Weight: 38 lbs.	ASTM D 226	Synthetic, scrim reinforced underlayment for use under shake, shingles, slate or metal roofing.
MetaLayment™ <i>Manufacturing Location #1</i>	39 3/8" x 61' Roll Weight: 54 lbs.	ASTM D 1970	A film surfaced, self-adhering underlayment for use under metal roofing.
Black Diamond™ Base Sheet <i>Manufacturing Location #2</i>	39 3/8" x 68' 7"; Roll Weight: 76 lbs.	ASTM D 1970	Granular surfaced modified, fiberglass reinforced, bituminous sheet material for use as an underlayment in sloped roof assemblies. Designed as an ice & rain shield. Not for use as an Anchor Sheet. Direct adhesion to wood deck not permitted in the HVHZ.
Flintlastic GTA <i>Manufacturing Location #1</i>	39 3/8" x 32' 10", Roll Weight: 105 lbs.	ASTM D 6222 Grade G Type I	Granule surfaced APP Modified Bitumen membrane with non-woven polyester mat reinforcement for torch application.

Torch Cap Sheet


 A circular seal with a black border. Inside, the text "MIAMI-DADE COUNTY" is written in a bold, sans-serif font, with "APPROVED" written in a smaller font below it.

MIAMI-DADE COUNTY
APPROVED

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<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
All Weather/Empire Base Sheet <i>Manufacturing Location #1</i>	39 ³ / ₈ " x 65' 10", Weight: 70 lbs.	ASTM D 4601 Type II	Asphalt coated fiberglass reinforced base sheet.
Flintlastic SA Cap FR <i>Manufacturing Location #1</i>	33' 11" x 39-3/8"	TAS 103	Granule surfaced, fiberglass reinforced, fire retardant, self-adhering SBS cap sheet.
DryRoof™ TU <i>Manufacturing Location #1</i>	33' 11" x 61' rolls	TAS 103	A polyester fabric surfaced, self-adhering underlayment.
Flintlastic GMS <i>Manufacturing Location #1</i>	39- ³ / ₈ " x 32' 10" Roll Weight: 97 lbs.	ASTM D 6164 Grade G Type I	Granule surfaced SBS Modified Bitumen membrane with non-woven polyester mat reinforcement for mop application.

MANUFACTURING LOCATION:

1. Little Rock, AR.
2. Shakopee, MN
3. Hangzhou, China

EVIDENCE SUBMITTED:

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Momentum Technologies, Inc.	AX31G8D	ASTM D4601	09/05/08
	AX31G8G	ASTM D6222	06/05/09
	RX02J9A	ASTM D6164	12/22/09
Exterior Research & Design, LLC	3527.10.04-R1	ASTM D1970	09/19/05
Trinity ERD	C8440.04.08	ASTM D4798, ASTM D1970	04/08/08
	C9560.05.08	ASTM D1970	06/25/08
	3530.12.05-1-R1	ASTM D1623	10/05/09
	C12960.06.09	TAS 103	06/02/09
	3523.03.05-R2	ASTM D1623	01/12/10
	C32240.03.10	ASTM D4977	03/04/10
	C3500.04.10	TAS 103	04/01/10
	C31860.05.10	ASTM D1623	05/18/10
	C30280.12.09-R2	ASTM D226	12/11/09
	C31410.10.10	ASTM D5147, ASTM D4798	10/27/10
	C30890.03.10-1	ASTM D1970	03/17/10
	C34940.09.11-R1	TAS 103, ASTM D1623, ASTM D4798	10/04/11
	CTC-075-02-01	ASTM D1623	10/07/11
PRI Construction Materials Technologies, LLC	CTC-075-02-01	TAS 103	10/07/11

MIAMI-DADE COUNTY
APPROVED

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APPROVED ASSEMBLIES:**Deck Type 1:** Wood, Non-insulated**Deck Description:** $\frac{19}{32}$ " or greater plywood or wood plank**System E(1):** Anchor sheet mechanically fastened to deck.

Anchor Sheet: (4:12 or Above) One or more plies of Diamond Deck with a minimum 4" headlap and a 6" end lap mechanically fastened to deck with approved nails and tin caps 6" o.c. at the side lap edge and in a grid pattern spaced 12" o.c. in the field of the roll.

(2:12 to < 4:12) One or more plies of Diamond Deck with a minimum 20" headlap and a 12" end lap mechanically fastened to deck with approved nails and tin caps 6" o.c. at the side lap edge and in a grid pattern spaced 12" o.c. in the field of the roll. Vertical joints should be offset 36" minimum.

Surfacing: Shall be acceptable for use in approved asphaltic shingles, wood shakes, & shingles, quarry slate, and metal roof applications. Must Comply with applicable Roofing Application Standards and Building Codes

Deck Type 1:

Wood, Non-insulated

Deck Description: $\frac{19}{32}$ " or greater plywood or wood plank**System E(2):**

Anchor sheet mechanically fastened to deck, membrane adhered.

Anchor Sheet:

One or more plies of ASTM D 226 Type II or ASTM D 2626 with a minimum 4" headlap and a 6" end lap mechanically fastened to deck with approved nails and tin caps 6" o.c. at the side lap edge and in a grid pattern spaced 12" o.c. in the field of the roll.

Membrane:

One or more plies of Flintlastic GTA torch applied to anchor sheet or WinterGuard HT, WinterGuard Granular, WinterGuard Sand, MetaLayment, DryRoof TU or Black Diamond Base Sheet self-adhering membrane adhered to the anchor sheet with a minimum 3" headlap and 6" end lap. Place the first course of membrane parallel to the eave, rolling the membrane to obtain maximum contact. Remove the release membrane as the membrane is applied. Vertical strapping of the membrane is acceptable. If membrane is strapped, then anchor sheet must also be strapped.

Surfacing:

Shall be acceptable for use in approved asphaltic shingles, wood shakes, & shingles, quarry slate, and metal roof applications. Must Comply with applicable Roofing Application Standards and Building Codes

MIAMI-DADE COUNTY
APPROVED

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- Deck Type 1:** Wood, Non-insulated
- Deck Description:** $1\frac{9}{32}$ " or greater plywood or wood plank
- System E(3):** Anchor sheet mechanically fastened to deck, membrane adhered.
- Anchor sheet:** One ply of ASTM D 226 Type II organic felt or All Weather/Empire Base mechanically attached with a minimum 4" side lap and a minimum 6" end lap. Anchor sheet shall be applied at a right angle (90°) to the slope of the deck with approved annular ring shank nails and tin caps at a fastener spacing of 6" o.c. at the side lap edge and in a grid pattern spaced 12" o.c. in the field of the roll of the base sheet.
- Ply Sheet:** (Optional) One or more plies of an ASTM D226 ply sheet adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.
- Membrane:** One ply of Flintlastic GMS adhered in a full mopping of Type IV asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. or Flintlastic GTA torch applied to the preceding sheet or DryRoof TU, Flintlastic SA Cap FR self-adhering membranes adhered to the preceding sheet with a minimum 4" side lap and 6" end lap. Place the first course of membrane parallel to the eave, rolling the membrane to obtain maximum contact. Remove the release membrane as the membrane is applied. Vertical strapping of the membrane is acceptable. If membrane is strapped, then anchor sheet and ply sheet must also be strapped. When used in Tile roof systems the cap sheet shall be back nailed to deck with approved annular ring shank nails and tin caps at a maximum of 12" o.c. at the side laps and 6" o.c. at the end laps. No nails or tin caps shall be exposed.
- Surfacing:**
- Flintlastic SA Cap FR, Flintlastic GTA, Flintlastic GMS and DryRoof TU may be used with any approved roof tile system mechanically fastened as specified in their current NOA.
 - Flintlastic SA Cap FR, Flintlastic GTA, Flintlastic GMS may be used with any approved roof tile system adhered as specified in their current NOA using any foam adhesive listed and having a current tile adhesive NOA approval.
 - DryRoof TU may be used with any approved roof tile system adhered as specified in their current NOA using Dow TileBond foam adhesive (if listed in the tile NOA) and having a current tile adhesive NOA approval.
- Must comply with appropriate Roofing Application Standard RAS 118, RAS 119, RAS 120 and applicable Building Codes.



LABELING:

All membranes or packaging shall bear the imprint or identifiable marking of the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved" or the Miami-Dade County Product Control Seal as shown below.

**BUILDING PERMIT REQUIREMENTS:**

Application for building permit shall be accompanied by copies of the following:

1. This Notice of Acceptance.
2. Any other documents required by the Building Official or applicable building code in order to properly evaluate the installation of this material.

LIMITATIONS:

1. Fire classification is not part of this acceptance.
2. CertainTeed underlayment roofing systems utilizing Flintlastic GTA, WinterGuard HT, WinterGuard Granular, WinterGuard Sand, Diamond Deck, MetaLayment, DryRoof TU or Black Diamond Base Sheet as a cap membrane shall be acceptable for use in asphaltic shingles, wood shakes, & shingles, quarry slate, and metal roof applications.
3. CertainTeed underlayment roofing systems utilizing DryRoof TU, Flintlastic SA Cap FR, Flintlastic GTA or Flintlastic GMS as a cap membrane shall be acceptable for use in foam adhesive set and mechanically fastened roof tile systems as specified in the surfacing option of the approved assemblies.
4. This acceptance is for prepared roofing applications. Minimum deck requirements shall be in compliance with applicable building code. CertainTeed underlayment roofing systems shall be installed in strict compliance with applicable Building Code.
5. CertainTeed underlayment roofing systems membranes shall be applied to a smooth, clean and dry surface with deck free of irregularities.
6. CertainTeed underlayment roofing systems membranes shall not be applied over an existing roof membrane as a recover system but may be applied over an approved roofing Base/Anchor sheet underlayment.
7. WinterGuard HT, WinterGuard Granular, WinterGuard Sand, Black Diamond Base Sheet, Flintlastic SA Cap FR, MetaLayment, Diamond Deck, Flintlastic GMS, and Flintlastic GTA shall not be left exposed as a temporary roof for longer than 180 days of application. DryRoof TU shall not be left exposed as a temporary roof for longer than 30 days after application.
8. CertainTeed underlayment products may be used with any approved roof covering Notice of Acceptance listing CertainTeed underlayment products as a component part of an assembly in the Notice of Acceptance. If CertainTeed underlayment products are not listed, a request may be made to the Authority Having Jurisdiction (AHJ) or Miami-Dade County Product Control for approval provided that appropriate documentation is provided to detail compatibility of the products, wind uplift resistance, and fire testing results.
9. All nails in the deck shall be carefully checked for protruding heads. Re-fasten any loose decking panels. Sweep the deck thoroughly to remove any dust and debris prior to application.
10. When applying the membrane in the valley, start at the low point and work to the high point, rolling the membrane from the center outward in both directions.



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LIMITATIONS:

11. Roll or broom the entire membrane surface so as to have 100% contact with the surface, giving special attention to overlap areas.
12. Flash vent pipes, stacks, chimneys and penetrations in compliance with Roof Assembly current Product Control Notice of Acceptance and applicable Building Code.
13. The maximum roof slope for use as roof tile underlayment for direct-to-deck tile assemblies shall be as follows: (See Table Below)

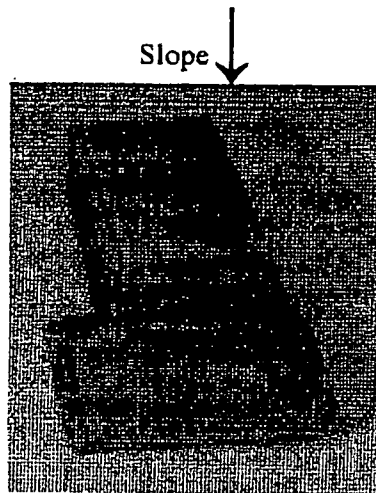
Tile Profile	Flintlastic SA Cap FR ¹ , Flintlastic GMS ¹	DryRoof TM TU ²	Flintlastic GTA ²
Flat Tile	4:12	6:12	6:12
Profiled Tile	4:12	6:12	6:12

¹The following is applicable to all systems using Flintlastic SA Cap FR and Flintlastic GMS:

- Slopes up to 4:12 – Stage by placing two tiles perpendicular to the slope followed by maximum four tiles on top parallel to the slope for a total of 6 tiles. (Illustrated in Figure 1 below).
- Slopes greater than 4:12 – Horizontal batten strips are required. Stage tiles touching horizontal battens; a maximum of 10 tiles shall be stacked parallel to the slope (See Figure 2 below).

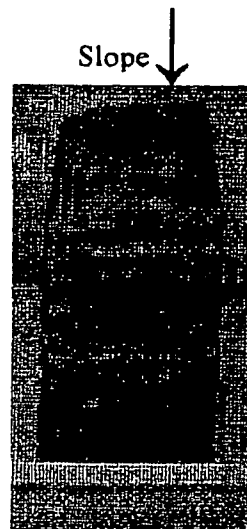
²The following is applicable to all systems using DryRoofTM TU and Flintlastic GTA:

- Tiles shall be stored on battens on roof pitches greater than 6:12".



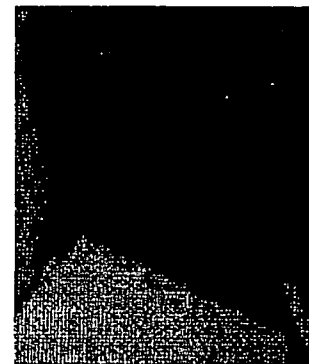
Front View

Figure 1: Staged Method,



Front View

Figure 2: Batten Method



Side View

Figure 2: Batten Method

END OF THIS ACCEPTANCE



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DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES (RER)
BOARD AND CODE ADMINISTRATION DIVISION

**MIAMI-DADE COUNTY
PRODUCT CONTROL SECTION**

11805 SW 26 Street, Room 208
Miami, Florida 33175-2474
T (786) 315-2590 F (786) 315-2599
www.miamidade.gov/economy

NOTICE OF ACCEPTANCE (NOA)

Polyglass USA Inc.
150 Lyon Drive
Fernley, NV 89408

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County RER - Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. RER reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code including the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Polyglass Polystick Underlayments

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This revises NOA #11-1229.01 and consists of pages 1 through 8.
The submitted documentation was reviewed by Alex Tigera.



NOA No.: 12-0713.02
Expiration Date: 09/13/16
Approval Date: 02/14/13
Page 1 of 8

ROOFING COMPONENT APPROVAL

Category: Roofing
Sub-Category: Underlayment
Material: SBS , APP Self-Adhering Modified Bitumen

PRODUCTS DESCRIPTION:

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
Polystick MTS underlayment <i>Manufacturing Location #2</i>	Roll: 65'8" x 3'3- ³ / ₈ " 60 mils thick	TAS 103	A homogeneous, rubberized asphalt waterproofing membrane, glass fiber reinforced with polyolefinic film on the upper surface for use as an underlayment for metal roofing, roof tile, slate tiles and shingle underlayment.
Polystick IR-Xe underlayment <i>Manufacturing Location #1 & #2</i>	Roll: 65' x 3'3- ³ / ₈ " Or 65' x 3' 60 mils thick	TAS 103 and ASTM D 1970	A fine granular/sand top surface self-adhering, APP polymer modified, fiberglass reinforced, bituminous sheet material for use as an underlayment in sloped roof assemblies. Designed as an ice & rain shield and as a flat roof tile underlayment.
Polystick TU underlayment <i>Manufacturing Location #1 & #2</i>	Roll: 32'10" x 3'3- ³ / ₈ " 100 mils thick	TAS 103 and ASTM D 1970	A heavy granuled surface self adhering, APP polymer modified, fiberglass or polyester reinforced, bituminous sheet material for use as an underlayment in sloped roof assemblies. Designed as a a roof tile underlayment.
Polystick TU Plus underlayment (Surface Printing) <i>Manufacturing Location #1 & #2</i>	Roll: 65' x 3'3- ³ / ₈ " 80 mils thick	TAS 103 and ASTM D 1970	A rubberized asphalt self-adhering, glass-fiber/polyester reinforced waterproofing membrane. Designed as a metal roofing and roof tile underlayment.
Polystick TU P underlayment <i>Manufacturing Location #2</i>	Roll: 32'10" x 3'3- ³ / ₈ " 130 mils thick	TAS 103 and ASTM D 1970	A rubberized asphalt waterproofing membrane, glass-fiber/polyester reinforced, with a granular surface designed for use as a tile roof underlayment.
Polystick Tile Pro <i>Manufacturing Location #2</i>	Roll: 61' x 3'3- ³ / ₈ " 60 mils thick	TAS 103 and ASTM D 1970	A rubberized asphalt self-adhering, glass-fiber/polyester reinforced waterproofing membrane. Designed as a metal roofing and roof tile underlayment.
Polystick Dual Pro <i>Manufacturing Location #2</i>	Roll: 61' x 3'3- ³ / ₈ " 60 mils thick	TAS 103 and ASTM D 1970	A rubberized asphalt self-adhering, glass-fiber/polyester reinforced waterproofing membrane. Designed as a metal roofing and roof tile underlayment.

PRODUCTS DESCRIPTION:

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
Polystick TU Max <i>Manufacturing Location</i> #2	Roll: 65'8" x 3'3-3/8" 60 mils thick	TAS 103 and ASTM D 1970	A rubberized asphalt self-adhering, polyester reinforced waterproofing membrane. Designed as a roof tile underlayment.

MANUFACTURING PLANTS:

1. Hazelton, PA
2. Winter Haven, FL

EVIDENCE SUBMITTED:

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Exterior Research & Design, LLC	11756.04.01-1	TAS 103	04/27/01
	11756.08.01-1	ASTM D 1970	08/14/01
Trinity ERD	02202.08.05	TAS 103	08/29/05
	P5110.08.07	TAS 103	08/29/07
	P10870.09.08-R1	TAS 103	12/04/08
	P10870.04.09	TAS 103/ASTM D4798 & G155	04/13/09
	P33360.06.10	ASTM D1970	07/01/10
	P33370.03.11	TAS 103	03/02/11
	P33370.04.11	ASTM D 1623	04/26/11
	P36900.09.11	TAS 103/ASTM D4798 & G155	09/01/11
	P37300.10.11	TAS 110/ASTM D4798 & D1970	10/19/11
	P40390. 08.12-1	TAS 103 & TAS 110	08/06/12
	P40390.08.12-2	ASTM D 1623	08/07/12
	P40390.10.12	ASTM D 1970	10/03/12
PRI Asphalt Technologies	PRI01111	ASTM D 4977	04/08/02
	PUSA-005-02-01	ASTM D 4977	01/31/02
	PUSA-018-02-01	ASTM D 2523	07/14/03
	PUSA-035-02-01	TAS 103	09/29/06
	PUSA-033-02-01	ASTM D 1970	01/12/06
	PUSA-055-02-02	TAS 103	12/10/07
	PUSA-083-02-01	TAS 103	06/30/08
	PUSA-089-02-01	TAS 103/ASTM D4798 & G155	07/06/09
Momentum Technologies, Inc.	JX20H7A	TAS 103/ASTM D4798 & G155	04/01/08
	RX14E8A	TAS 103/ASTM D4798 & G155	11/09/09
	DX23D8B	TAS 103/ASTM D4798 & G155	02/18/10
	DX23D8A	TAS 103/ASTM D4798 & G155	02/18/10

INSTALLATION PROCEDURES:

Deck Type 1:	Wood, non-insulated
Base Sheet:	One or more plies of ASTM D 226 Type II or ASTM D 2626.
Fastening:	Per FBC 1518.2 & 1518.4 Nails and tin caps 12" grid, 6" o.c. at a minimum 4" head lap. (for base sheet only)
Membrane:	Polystick membranes self-adhered.
Surfacing:	None

1. All nails in the deck shall be carefully checked for protruding heads. Re-fasten any loose decking panels, and sweep the deck thoroughly to remove any dust and debris prior to application.
2. Place the underlayment over metal drip edge in accordance with RAS 111.
3. Place the first course of membrane parallel to the eave, rolling the membrane to obtain maximum contact. Remove the release film as the membrane is applied. All side laps shall be a minimum of 3-½" and end laps shall be a minimum of 6." Roll the membrane into place after removing the release strip. Vertical strapping of the roof with Polystick is acceptable. Membrane shall be back nailed in accordance with applicable building code.
4. When applying the membrane in the valley, start at the low point and work to the high point, rolling the membrane from the center outward in both directions.
5. For ridge applications, center the membrane and roll from the center outward in both directions.
6. Roll or broom the entire membrane surface so as to have full contact with the surface, giving special attention to lap areas.
7. Flash vent pipes, stacks, chimneys and penetrations in compliance with Roof Assembly current Product Control Notice of Acceptance.
8. All protrusions or drains shall be initially taped with a 6" piece of underlayment. The flashing tape shall be pressed in place and formed around the protrusion to ensure a tight fit. A second layer of Polystick shall be applied over the underlayment.

GENERAL LIMITATIONS:

1. Fire classification is not part of this acceptance.
2. Polystick MTS, TU Plus, Tile Pro and Dual Pro may be used in asphaltic shingles, wood shakes and shingles, non-structural metal roofing, roof tile systems and quarry slate roof assemblies. Polystick IR-Xe, TU, and TU P may be used in all the previous assemblies listed except metal roofing. Polystick TU Max may be used in roof tile systems only.
3. Deck requirements shall be in compliance with applicable building code.
4. Polyglass Polystick membranes shall be applied to a smooth, clean and dry surface. The deck shall be free of irregularities.
5. Polyglass Polystick membranes and underlayments shall not be adhered directly over a pre-existing roof membrane as a recover system.
6. Polyglass Polystick membranes shall not be left exposed as a temporary roof for longer than the amount of days listed in the table below after application. Polyglass reserves the right to revise or alter product exposure times; not to exceed the preceding maximum time limitations.

Exposure Limitations (days)								
	MTS	IR-Xe	TU	TU Plus	TU P	Tile Pro	Dual Pro	TU Max
Winter Haven, FL.	180	180	180	180	180	180	180	90
Hazleton, PA.	N/A	30	30	180	N/A	N/A	N/A	N/A

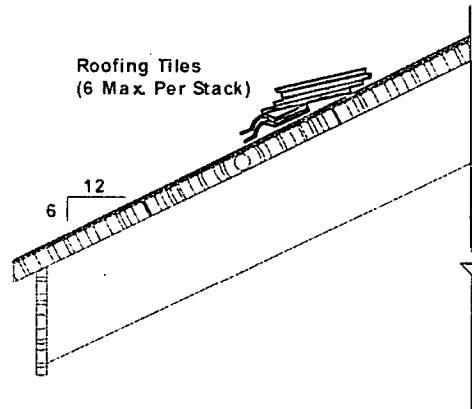
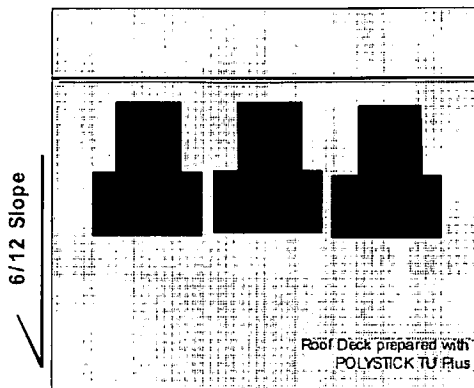
7. All products listed herein shall have a quality assurance audit in accordance with the Florida Building Code and Rule 9N-3 of the Florida Administrative Code.
8. In roof tile application, data for the attachment resistance of roof tiles shall be as set forth in the roof tile manufacturer's Notice of Acceptance. Polystick TU, TU Plus, Tile Pro and TU Max may be used in both adhesive set and mechanically fastened roof tile applications. Polystick IR-Xe, and Dual Pro are limited to mechanically fastened roof tile applications. Polystick MTS is limited to mechanically fastened with battens roof tile applications. Polystick TU P may be used in both adhesive set and mechanically fastened roof tile applications with the exception of mortar set tile applications.
9. The maximum roof slope for use as roof tile underlayment for (direct-to-deck) tile assemblies shall be as follows: (See Table Below)

Tile Profile	Polystick MTS	Polystick IR-Xe	Polystick TU, TU Plus, TU P, Tile Pro	Polystick TU Max
Flat Tile	Prohibited without battens	5:12	No limitation	No limitation
Profiled Tile	Prohibited without battens	Prohibited	No limitation	No limitation

The above slope limitations can be exceeded only by using battens and counter battens in accordance with the Approved Tile System Notice of Acceptance and applicable Florida Building Code requirements. **Battens are required for both loading and installation of tiles at all times.**

GENERAL LIMITATIONS: (CONTINUED)

10. Care should be taken during the loading procedure to keep foot traffic to a minimum and to avoid dropping of tile directly on the underlayment. Refer to Polyglass' Tile loading detail below for loading procedure for all underlayments except Polystick MTS which shall be loaded onto battens.



11. Refer to prepared roofing system Product Control Notice of Acceptance for listed approval of this product with specific prepared roofing products. Polystick MTS, IR-Xe, TU, TU Plus, TU P, TU Max, Dual Pro and Tile Pro may be used with any approved roof covering Notice of Acceptance listing Polystick MTS, IR-Xe, TU, TU Plus, TU P, TU Max, Dual Pro and Tile Pro as a component part of an assembly in the Notice of Acceptance. If Polystick MTS, IR-Xe, TU, TU Plus, TU P, TU Max, Dual Pro and Tile Pro is not listed, a request may be made to the Authority Having Jurisdiction (AHJ) or the Miami-Dade County Product Control Department for approval provided that appropriate documentation is provided to detail compatibility of the products, wind uplift resistance, and fire testing results.

LABELING:

1. All membranes or packaging shall bear the imprint or identifiable marking of the manufacturer's name or logo, city and state of manufacturing facility and the following statement: "Miami-Dade County Product Control Approved" or the Miami-Dade County Product Control Seal as shown below.



BUILDING PERMIT REQUIREMENTS:

Application for building permit shall be accompanied by copies of the following:

1. This Notice of Acceptance.
2. Any other documents required by the Building Official or applicable building code in order to properly evaluate the installation of this materials.



POLYGLASS GENERAL APPLICATION GUIDELINES FOR POLYSTICK MEMBRANES:

1. Polyglass does accept the direct application of Polystick underlayment membranes to wood decks. Installers are cautioned to refer to applicable local building codes prior to direct deck installation to ensure this is acceptable. Please also refer to applicable Product Data Sheets of the corresponding products.
2. All rolls, with the exception of Polystick TU Plus should be back-nailed in selvage edge seam as per Polyglass Back Nailing Guide. Nails shall be, 11 gauge ring shank type, applied with a minimum 1" metal disk as required in Dade County or simplex type nail as otherwise allowable in other regions, at a minimum rate of 12" o.c. Polystick TU Plus should be back nailed in designated area marked "nail area, area para clavar" on the face of membrane, with the above stated nails and/or disks. The head lap membrane is to cover the area being back-nailed. (Please refer to applicable local building codes prior to installation.)
3. All seal lap seams (selvage laps) must be rolled with a hand roller to ensure full contact.
4. All fabric over fabric; and granule over granule end laps, shall have a 6" wide, uniform layer of Polyglass Polyplus 55 Premium Modified Flashing Cement, Polyglass Polyplus 50 Premium MB Flashing Cement, Polyglass PG500 MB Flashing Cement, applied in between the application of the lap. The use of mastic between the laps does not apply to Polystick MTS.
5. A maximum of 6 tiles per stack are allowed when loading tile on the underlayments. Refer to the Polyglass Tile Loading Guidelines. See General Limitations #9 and #10.
6. Battens and/or Counter-battens, as required by the tile manufacturers NOA's, must be used on all projects for pitch/slopes of 7"/12" or greater. It is suggested that on pitch/slopes in excess of 6 1/4"/12", precautions should be taken, such as the use of battens to prevent tile sliding during the loading process.
7. Minimum cure time after membrane installation & before loading of roofing tiles is Forty-Eight (48) Hours.
8. Polystick membranes may not be used in any exposed application such as crickets, exposed valleys, or exposed roof to wall details.
9. Repair of Polystick membranes is to be accomplished by applying Polyglass Polyplus 55 Premium Modified Flashing Cement, Polyglass Polyplus 50 Premium MB Flashing Cement, Polyglass PG500 MB Flashing Cement to the area in need of repair, followed by a patch of the Polystick material of like kind should be set and hand rolled in place over the area needing such repair. Patching membrane shall be a minimum of 6 inches in either direction. The repair should be installed in such a way so that water will run parallel to or over the top of all laps of the patch.
10. All self-adhered membranes must be rolled to ensure full contact with approved substrates. Polyglass requires a minimum of 40 lbs for a weighted roller for the rolling of the field membrane. Hand rollers are acceptable for rolling of patches or small areas of the roof. Brooming may be used where slope prohibits rolling.
11. All approved substrates should be dry, clean and properly prepared, before any application of Polystick membranes commences. An approved substrate technical bulletin can be furnished upon request. It is recommended to refer to applicable building codes prior to installation to verify acceptable substrates.
12. The Polyglass Miami-Dade Notice of Acceptance (NOA) approval for Polystick membranes and PolyProtector UDL can be furnished upon request by our Technical Services Department by calling 1 (800) 894-4563.

13. Questions in regards to the application of Polyglass products should be directed to our Technical Services Department at 1 (800) 894-4563.
14. Polyglass recommends that applicators follow good roofing practices and applicable procedures as outlined by the National Roofing Contractors Association (NRCA).

PLEASE CHECK WITH LOCAL BUILDING CODES REGARDING LIMITATIONS OF SPECIFIC APPLICATIONS. LOCAL CODES MAY SUPERSEDE POLYGLASS REQUIREMENTS AND RECOMMENDATIONS.

END OF THIS ACCEPTANCE



NOA No.: 12-0713.02
Expiration Date: 09/13/16
Approval Date: 02/14/13
Page 8 of 8

Evaluation Report

"JM 5V Crimp" Metal Roof Assembly

Manufacturer:

Innovative Distribution, LLC d/b/a JM Metals
1505 Cox Road
Cocoa, Florida 32926
321.639.1537

for

Florida Product Approval

FL 12966.6 R3

Florida Building Code 2010

Per Rule 9N-3

Method: 1 - D

Category: Roofing

Sub - Category: Metal Roofing

Product: JM 5V Crimp Roof Panel
Material: Steel
Panel Thickness: 26 gauge
Panel Width: 24"
Support: Wood Deck

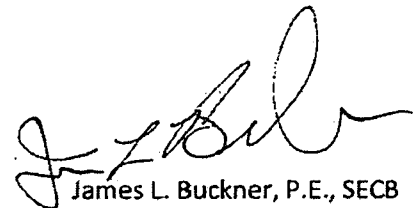
Prepared by:

James L. Buckner, P.E., S.E.C.B.
Florida Professional Engineer # 31242
Florida Evaluation ANE ID: 1916
Project Manager: Diana Galloway
Report No. 12-132-5V-S9W-ER
Date: 4 / 6 / 12

Contents:

Evaluation Report

Pages 1 - 9


James L. Buckner, P.E., SECB
Florida P.E. # 31242
4/24/12

CBUCK, Inc.

1399 N. Killian Drive, Suite 4, West Palm Beach, Florida 33403
Phone: (561)491-9927 Fax: (561)491-9928 Website: www.cbuckinc.net

Specialty Structural Engineering

CBUG, Inc. Certificate of Authorization #8064

Manufacturer: JM Metals

Product Name: JM 5V Crimp

Product Category: Roofing

Product Sub-Category: Metal Roofing

Compliance Method: State Product Approval Rule 9N-3.005 (1) (d)

Product/System Description: "JM 5V Crimp"
26 gauge Steel roof panel mechanically attached to Plywood Deck with screws.

Product Assembly as Evaluated: Refer to Page 4 of this report for product assembly components/materials & standards:

1. Roof Panel
2. Fasteners
3. Underlayment
4. Insulation (Optional)

Support: **Type:**
Wood Deck
(Design of support and its attachment to support framing is outside the scope of this evaluation.)

Description:

- 15/32 (min.) or greater plywood,
- or Wood plank (min. specific gravity of 0.42)

Slope: Minimum slope shall be in accordance with manufacturer's recommendations, FBC Section 1507.4.2 and applicable code sections.

Performance: **Wind Uplift Resistance:**

- Design Uplift Pressure:
(Refer to "Table A" attachment details herein)

METHOD 1: - 85 PSF
METHOD 2: - 114.25 PSF
METHOD 3: - 114.25 PSF

- Performance Standards:** The product described herein has demonstrated compliance with:
- UL580-06 – *Test for Uplift Resistance of Roof Assemblies*
 - UL 1897-04 – *Uplift test for roof covering systems*
 - TAS 125-03 – *Standard Requirements for Metal Roofing Systems*
- Standards Equivalency:** The UL 580-94 & UL 1897-98 standard version used to test the evaluated product assembly is equivalent with the prescribed standards in UL 580-06 & UL 1897-04 adopted by the Florida Building Code 2010.
- Code Compliance:** The product described herein has demonstrated compliance with Florida Building Code 2010, Section 1504.3.2.
- Evaluation Report Scope:** This product evaluation is limited to compliance with the structural requirements of the Florida Building Code, as related to the scope section to Florida Product Approval Rule 9N-3.001.
- Limitations and Conditions of Use:**
- Scope of "Limitations and Conditions of Use" for this evaluation:
This evaluation report for "Optional Statewide Approval" contains technical documentation, specifications and installation method(s) which include "Limitations and Conditions of Use" throughout the report in accordance with Rule 9N-3.005. Per Rule 9N-3.004, the Florida Building Commission is the authority to approve products under "Optional Statewide Approval".
 - Option for application outside "Limitations and Conditions of Use"
Rule 9N-3.005(1)(e) allows engineering analysis for "project specific approval by the local authorities having jurisdiction in accordance with the alternate methods and materials authorized in the Code". Any modification of the product as evaluated in this report and approved by the Florida Building Commission is outside the scope of this evaluation and will be the responsibility of others.
 - Design of support system is outside the scope of this report.
 - Fire Classification is outside the scope of Rule 9N-3, and is therefore not included in this evaluation.
 - This evaluation report does not evaluate the use of this product for use in the High Velocity Hurricane Zone code section. (Dade & Broward Counties)
 - This metal roof system was tested to transmit the roof loads directly to the building structural support deck.
- Quality Assurance:** The manufacturer has demonstrated compliance of roof panel products in accordance with the Florida Building Code and Rule 9N-3.0005 (3) for manufacturing under a quality assurance program audited by an approved quality assurance entity through **Keystone Certifications, Inc.** (FBC Organization #: QUA 1824).

**Components/Materials
(by Manufacturer):**

Roof Panel: "JM 5V Crimp"
Material: Steel
Thickness: 26 gauge (min.)
Panel Width: 24" (max.) Coverage
Rib Height: 3/8"
Yield Strength: 40 ksi min.
Corrosion Resistance: In compliance with FBC Section 1507.4.3:

- ASTM A792 coated, or
- ASTM A653 G90 galvanized steel

Fastener:

Type: Hex-Head Wood Screw with WSW
Size : #9 - 15 x 1"
Corrosion Resistance: Per FBC Section 1506.6 and 1507.4.4
Standard: Per ANSI/ASME B18.6.4

Adhesive/Seam Sealant:

Product Name: Bostik Chem-Calk 915
Type: One component, polyurethane adhesive
Application Size: 3/16" bead
Application Location: along male flange the full length of panel underlaps
(Refer to Table "A" and drawings Page 8)

**Components/Materials
(by Others):**

Underlayment:
Per roofing manufacturer's guidelines in compliance with FBC Section 1507.4.5

Insulation (Optional):

Type: Rigid Insulation Board
Thickness: 3" (max.)
Properties:
Density: 2.25 pcf (lbs/ft³) min.
Or Compressive Strength: 20 psi min.

Insulation shall comply with FBC Section 1508. When insulation is incorporated, fastener length shall conform to penetrate thru bottom of support a minimum of 3/16".

Specialty Structural Engineering

CBUCK, Inc. Certificate of Authorization #8064

Installation:**Installation Method:**

(Refer to drawings on Pages 6-7 of this report.)

Fastener spacing: Refer to Table "A" Below
(along the length of the panel)Row Spacing: Refer to Table "A" Below
(along the row, across the panel profile)

Rib Interlock: Lapped

Minimum fastener penetration thru bottom of support, 3/16".

For panel construction at the end of panels, refer to manufacturer's instructions and any site specific design.

TABLE "A"			
	METHOD 1:	METHOD 2:	METHOD 3:
Design Pressure:	- 85 PSF	- 114.25 PSF	- 114.25 PSF
Fastener Spacing:	12"	12"	12"
Row Spacing:	12"	12"	12"
Fastener Location:	Corrugation Peaks	Corrugation Peaks	Corrugation Valleys
Adhesive:	Not required	Refer to Drawing Details 2A & 2B	Not required

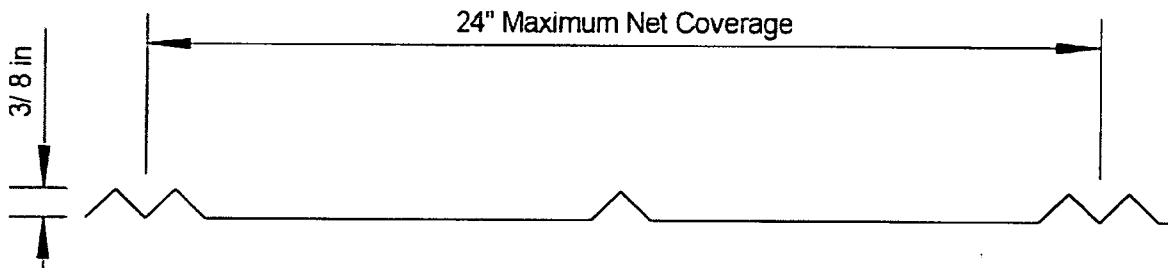
Install the "JM 5V Crimp" roof panel assembly in compliance with the installation method listed in this report and applicable code sections of FBC 2010. The installation method described herein is in accordance with the scope of this evaluation report. Refer to manufacturer's installation instructions as a supplemental guide for attachment.

Referenced Data:

1. TAS 125-03 Uplift Test
By Hurricane Test Laboratory, LLC (FBC Organization #TST ID: 1527)
Method 1: Report 0223-0307-01; Test Date: 03 / 05 / 01 - 03 / 08 / 01
Method 2: Report 0223-0913-07; Report Date: 09 / 08 / 08
Method 3: Report 0223-0517-06; Test Date: 05 / 19 / 06 - 05 / 22 / 06
2. Quality Assurance
By Keystone Certifications, Inc. (QUA ID: 1824)
JM Metals, Licensee #: 344
3. Equivalency of Test Standard Certification
By James L. Buckner, P.E. @ CBUCK Engineering
(FBC Organization # ANE 1916)
4. Certification of Independence
By James L. Buckner, P.E. @ CBUCK Engineering
(FBC Organization # ANE 1916)

Installation Method
JM Metals
"JM 5V Crimp" (26 Gauge) Roof Panel Attached to Wood Deck

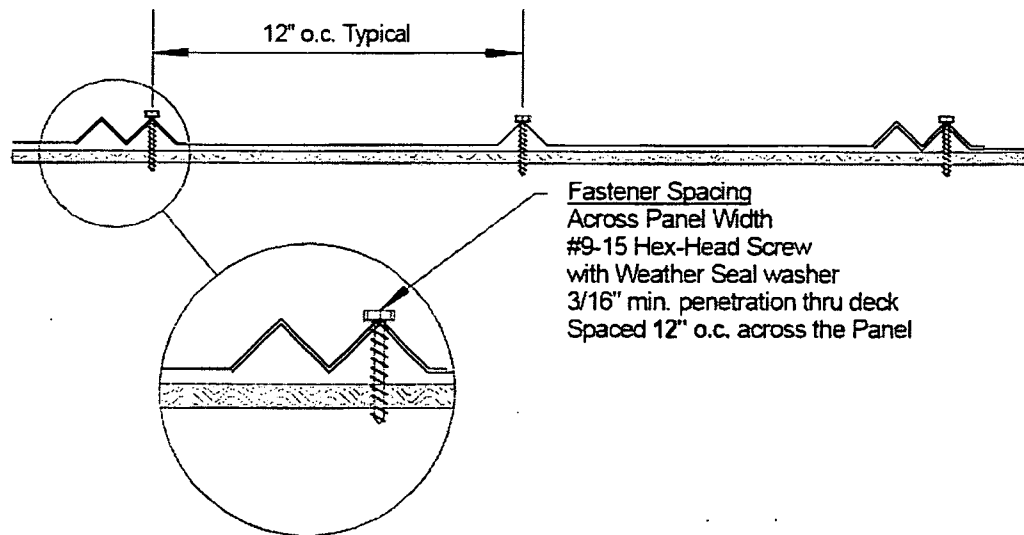
Profile Drawings



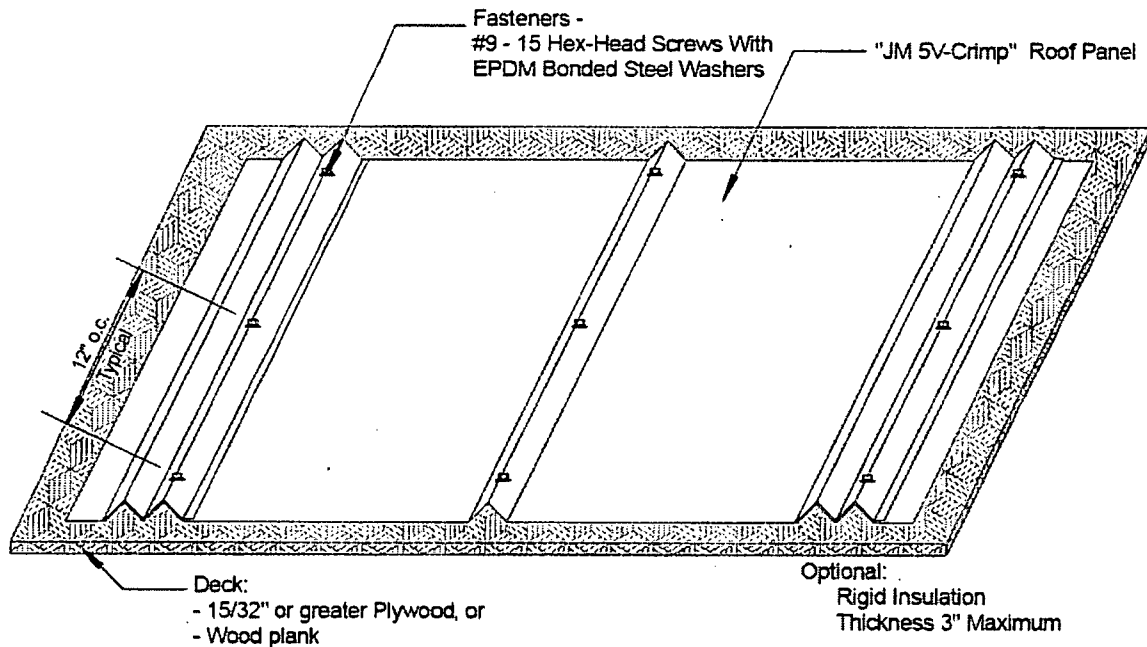
"JM 5V Crimp" Panel
Typical Panel Profile View

TABLE "A"			
	METHOD 1:	METHOD 2:	METHOD 3:
Design Pressure:	- 85 PSF	- 114.25 PSF	- 114.25 PSF
Fastener Spacing:	12"	12"	12"
Row Spacing:	12"	12"	12"
Fastener Location:	Corrugation Peaks	Corrugation Peaks	Corrugation Valleys
Adhesive:	Not required	Refer to Drawing Details 2A & 2B	Not required

Installation Method JM Metals "JM 5V Crimp" (26 Gauge) Roof Panel Attached to Wood Deck

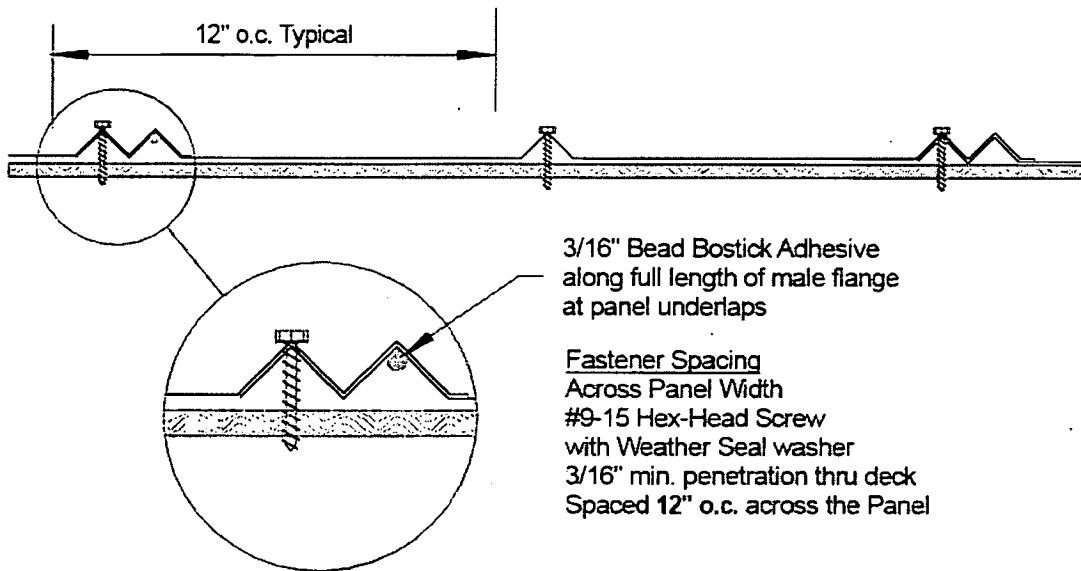


Detail 1A - Typical Assembly Profile View (METHOD 1)

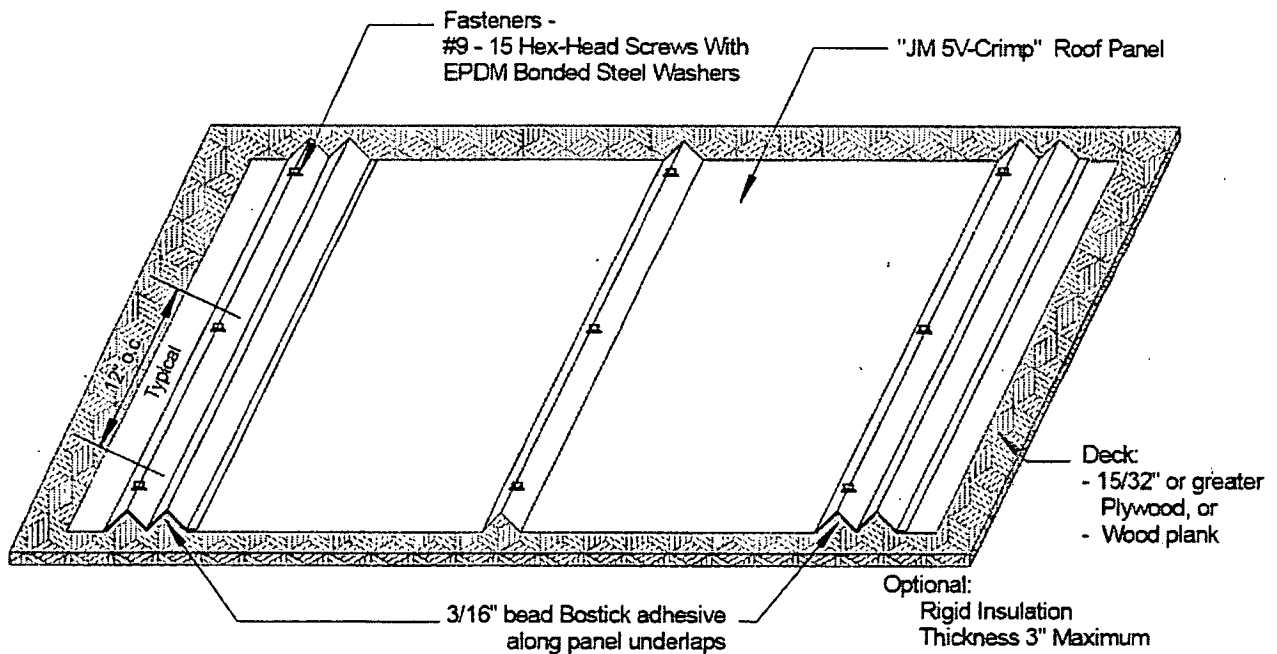


Detail 1B - Typical Assembly Isometric View (METHOD 1)

Installation Method JM Metals "JM 5V Crimp" (26 Gauge) Roof Panel Attached to Wood Deck

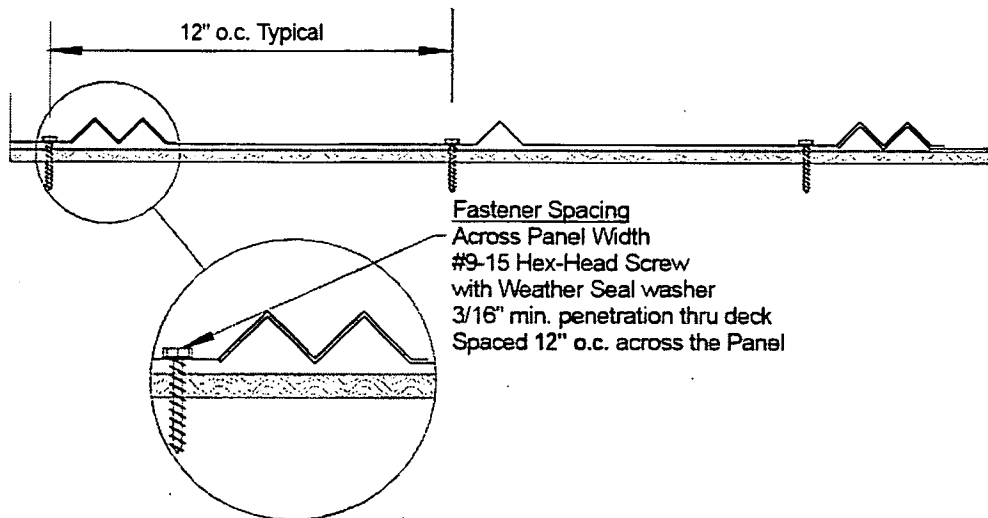


Detail 2A - Typical Assembly Profile View (METHOD 2)

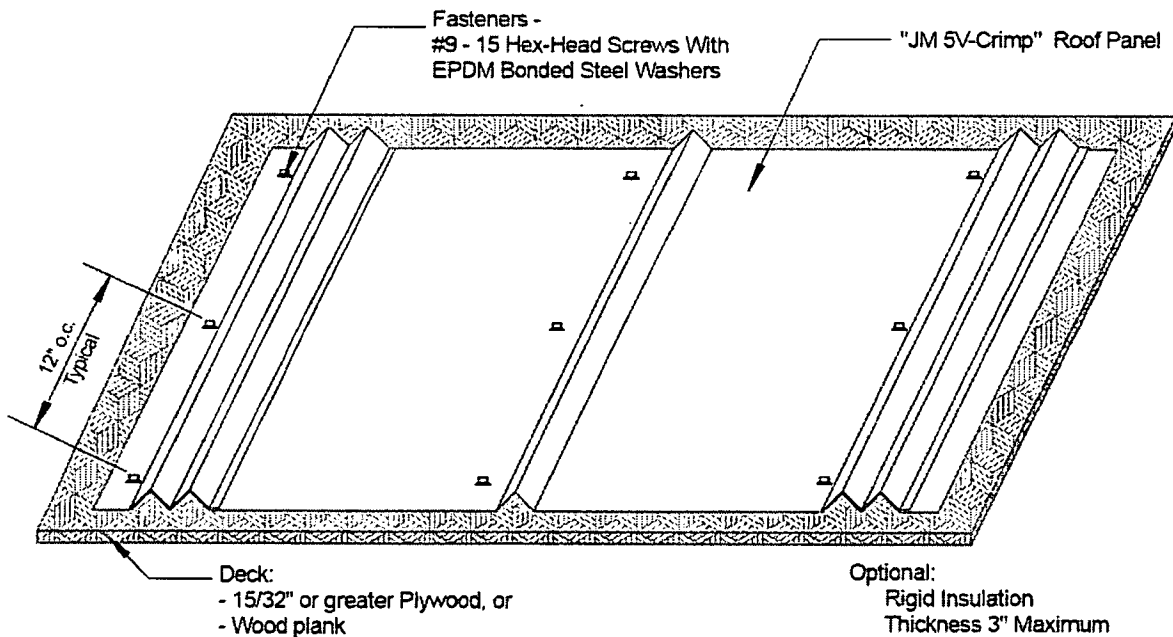


Detail 2B - Typical Assembly Isometric View (METHOD 2)

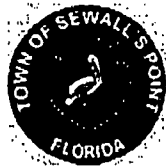
Installation Method JM Metals "JM 5V Crimp" (26 Gauge) Roof Panel Attached to Wood Deck



Detail 3A - Typical Assembly Profile View (METHOD 3)



Detail 3B - Typical Assembly Isometric View (METHOD 3)



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

*ew
LWP*

RE: Permit # 10443

Date 5/14/13

Inspection Affidavit

I Ricardo Lara licensed as a(n) Contractor* /Engineer/Architect,
(please print name and circle Lic. Type) FS 468 Building Inspector*

License #: CCC1330109

On or about 5.15.2013, I did personally inspect the roof
(Date & time)

deck nailing and/or secondary water barrier work at 42 RIO VISTA DR.
(circle one) (Job Site Address)

SEWALLS POINT, FL. 34996

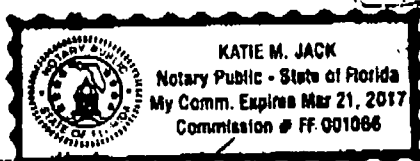
Based upon that examination I have determined the installation was done according to the
Hurricane Mitigation Retrofit Manual (Based on 553.844 F.S.)

Ricardo Lara
Signature

STATE OF FLORIDA
COUNTY OF

Sworn to and subscribed before me this 14 day of MAY, 2013

By Ricardo Lara Notary Public, State of Florida



Katie M. Jack
(Print, type or stamp name)

Commission No.: FF 001066

Personally Known ☒ or

Produced Identification ☐

Type of identification produced. _____

* General, Building, Residential, or Roofing Contractor or any individual certified under 468 F.S. to make such an inspection. Include photographs of each plane of the roof with the permit # or address # clearly shown marked on the deck for each inspection.

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

☒ Mon

☐ Tue

☐ Wed

☐ Thur

☐ Fri

5-20-13

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10415	Smith	TIE BEAM		
AM	11 PRMETTO	# Columns	PASS	
	ARK Homes			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10413	Hoffman	DRY - IN	PASS	
	42 RIG VISTA	Metal	PASS	
	TOTAL ROOFING			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

10733

STORM PANELS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10733	DATE ISSUED:	JANUARY 15, 2014
SCOPE OF WORK:	STORM PANELS FOR GARAGES "AFTER THE FACT"		
CONTRACTOR:	GULFSTREAM ALUMINUM		
PARCEL CONTROL NUMBER:	123841002-000-008900	SUBDIVISION	RIO VISTA - L 89
CONSTRUCTION ADDRESS:	42 RIO VISTA DR		
OWNER NAME:	HOFFMAN		
QUALIFIER:	JOHN O'BRIEN	CONTACT PHONE NUMBER:	287-6476

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING _____
UNDERGROUND MECHANICAL _____
STEM-WALL FOOTING _____
SLAB _____
ROOF SHEATHING _____
TIE DOWN /TRUSS ENG _____
WINDOW/DOOR BUCKS _____
ROOF DRY-IN/METAL _____
PLUMBING ROUGH-IN _____
MECHANICAL ROUGH-IN _____
FRAMING _____
FINAL PLUMBING _____
FINAL MECHANICAL _____
FINAL ROOF _____

UNDERGROUND GAS _____
UNDERGROUND ELECTRICAL _____
FOOTING _____
TIE BEAM/COLUMNS _____
WALL SHEATHING _____
INSULATION _____
LATH _____
ROOF TILE IN-PROGRESS _____
ELECTRICAL ROUGH-IN _____
GAS ROUGH-IN _____
METER FINAL _____
FINAL ELECTRICAL _____
FINAL GAS _____
BUILDING FINAL _____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

Permit Number:

10733

Date: _____

OWNER/LESSEE NAME: Kent Hoffman

Phone (Day) 815-954-1497 (Fax) _____

Job Site Address: 42 Rio Vista

City: Stuart

State: FL

Zip: 34994

Legal Description: Bio Vista S/D Lot 89

Parcel Control Number: 10-38-41-000-000-00890-0

Fee Simple Holder Name: _____

Address: _____

City: _____

State: _____

Zip: _____

Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):** Storm Panel

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application)

YES _____

NO X

Has a Zoning Variance ever been granted on this property?

YES _____

(YEAR) _____

NO _____

(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 1579.00

(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:

Estimated Fair Market Value prior to improvement: \$ _____

(Fair Market Value of the Primary Structure only, Minus the land value)

PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Gulfstream Aluminum

Phone: 887-6476

Fax: 887-9740

Qualifiers name: John L. O'Brien

Street: 3001 SE Green Pkwy

City: Stuart

State: FL

Zip: 34994

State License Number: CR058017

OR: Municipality: _____

License Number: _____

LOCAL CONTACT: Karen Ridgely

Phone Number: 887-6476

DESIGN PROFESSIONAL: N/A

Fla. License# _____

Street: _____

City: _____

State: 3 2013

Zip: _____

Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____

Garage: _____

Covered Patios/ Porches: _____

Enclosed Storage: _____

Carport: _____

Total under Roof: _____

Elevated Deck: _____

Enclosed area below BFE: _____

* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq ft require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

*******A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER/AGENT/LESSEE - NOTARIZED SIGNATURE:

X Kent Hoffman

State of Florida, County of: Martin

On This the 3 day of December, 2013

by Kent Hoffman who is personally

known to me or produced

As identification, _____

Notary Public State of Florida

Karen E. Ridgely

My Commission Expires: 03/31/15

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:

X John L. O'Brien

State of Florida, County of: Martin

On This the 03 day of October, 2013

by John L. O'Brien who is personally

known to me or produced X

As identification, _____

Notary Public

My Commission Expires: _____

Notary Public State of Florida
Karen E. Ridgely
My Commission Expires 10/03/2015

PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY

**Martin County, Florida
Laurel Kelly, C.F.A**
generated on 12/4/2013 3:17:26 PM EST
Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-002-000-00890-0	27600	42 RIO VISTA DR, SEWALL'S POINT	\$316,070	11/30/2013

Owner Information	
Owner(Current)	HOFFMAN KENT A & SHARI L
Owner/Mail Address	42 RIO VISTA STUART FL 34996
Sale Date	4/25/2013
Document Book/Page	2647 1675
Document No.	2392016
Sale Price	375000

Location/Description			
Account #	27600	Map Page No.	SP-05
Tax District	2200	Legal Description	RIO VISTA S/D LOT 89
Parcel Address	42 RIO VISTA DR, SEWALL'S POINT		
Acres	.3440		

Parcel Type	
Use Code	0100 Single Family
Neighborhood	120250 RIO VISTA DRY

Assessment Information	
Market Land Value	\$207,000
Market Improvement Value	\$109,070
Market Total Value	\$316,070

06/28/13

CERTIFICATE OF LIABILITY INSURANCE

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER R.V. Johnson Insurance 2041 SE Ocean Blvd Stuart, FL 34996 Robert C. Johnson		Phone: 772-287-3366 Fax: 772-287-4439	CONTACT NAME: PHONE (A/C, No, Ext): E-MAIL ADDRESS: FAX (A/C, No):												
INSURED Gulfstream Aluminum & Shutter Corp 3001 SE Gran Parkway Stuart, FL 34997		INSURER(S) AFFORDING COVERAGE <table border="1"> <tr> <td>INSURER A: Safeco Ins. Co. of America</td> <td>NAIC # 24740</td> </tr> <tr> <td>INSURER B: Bridgefield Employers Ins.</td> <td>10701</td> </tr> <tr> <td>INSURER C:</td> <td></td> </tr> <tr> <td>INSURER D:</td> <td></td> </tr> <tr> <td>INSURER E:</td> <td></td> </tr> <tr> <td>INSURER F:</td> <td></td> </tr> </table>		INSURER A: Safeco Ins. Co. of America	NAIC # 24740	INSURER B: Bridgefield Employers Ins.	10701	INSURER C:		INSURER D:		INSURER E:		INSURER F:	
INSURER A: Safeco Ins. Co. of America	NAIC # 24740														
INSURER B: Bridgefield Employers Ins.	10701														
INSURER C:															
INSURER D:															
INSURER E:															
INSURER F:															

COVERAGES

CERTIFICATE NUMBER:

REVISION NUMBER:

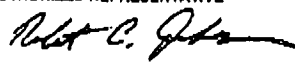
THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY		01CH9055976	07/08/13	07/08/14	EACH OCCURRENCE \$ 1,000,00
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY					DAMAGE TO RENTED PREMISES (EA occurrence) \$ 200,00
	<input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR					MED EXP (Any one person) \$ 10,00
	<input checked="" type="checkbox"/> EPLI \$10,000					PERSONAL & ADV INJURY \$ 1,000,00
	GEN'L AGGREGATE LIMIT APPLIES PER:					GENERAL AGGREGATE \$ 2,000,00
	<input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC					PRODUCTS - COMPROP AGG \$ 2,000,00
	AUTOMOBILE LIABILITY		24CC2841401	07/08/13	07/08/14	Emp Ben. \$ 1,000,00
<input checked="" type="checkbox"/>	ANY AUTO					COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,00
<input checked="" type="checkbox"/>	ALL OWNED AUTOS	<input type="checkbox"/> SCHEDULED AUTOS				BODILY INJURY (Per person) \$
<input checked="" type="checkbox"/>	HIRED AUTOS	<input checked="" type="checkbox"/> NON-OWNED AUTOS				BODILY INJURY (Per accident) \$
						PROPERTY DAMAGE (Per accident) \$
	UMBRELLA LIAB					\$
	EXCESS LIAB					EACH OCCURRENCE \$
						AGGREGATE \$
	DED	RETENTION \$				\$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY		0830-012181	06/13/13	06/13/14	WC STATU-TORY LIMITS
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)	Y/N <input type="checkbox"/>				E.L. EACH ACCIDENT \$ 1,000,00
	If yes, describe under DESCRIPTION OF OPERATIONS below	N/A				E.L. DISEASE - EA EMPLOYEE \$ 1,000,00
						E.L. DISEASE - POLICY LIMIT \$ 1,000,00

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

CERTIFICATE HOLDER

CANCELLATION

TOWN024 Town of Sewalls Point 1 S. Sewalls Point Road Stuart, FL 34996	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 
---	---

THIS DOCUMENT HAS A COLORED BACKGROUND: MICROPRINTING • LINEMARK™ PATENTED PAPER

AC# 6307438

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L12082702418

DATE	BATCH NUMBER	LICENSE NBR
08/27/2012	127011541	CRC058017

The RESIDENTIAL CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2014

O'BRIEN, JOHN L
GULFSTREAM ALUMINUM & SHUTTER CORPORATION
611 SW TIMBER TRAIL
STUART FL 34997

RICK SCOTT
GOVERNOR

KEN LAWSON
SECRETARY

DISPLAY AS REQUIRED BY LAW

2013-2014 **MARTIN COUNTY ORIGINAL
BUSINESS TAX RECEIPT**
HONORABLE RUTH PIETRUSZEWSKI CFC, TAX COLLECTOR
3485 S.E. WILLOUGHBY BLVD., STUART, FL 34994
(772) 288-5604

ACCOUNT 2008-518-0115 CFC# C058017
PHONE (772) 287-6476 SIC NO 236115
LOCATION:
3001 SE GRAN PARK WAY STU

CHARACTER COUNTS IN MARTIN COUNTY

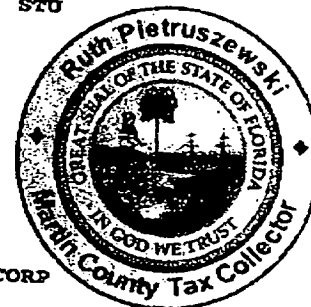
PREV YR. \$ <u>.00</u>	LIC. FEE \$ <u>26.25</u>
\$ <u>.00</u>	PENALTY \$ <u>.00</u>
\$ <u>.00</u>	COL. FEE \$ <u>.00</u>
\$ <u>.00</u>	TRANSFER \$ <u>.00</u>
TOTAL <u>26.25</u>	

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF **CERT. RESIDENTIAL CONTRACTOR**

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

24 DAY OF SEPTEMBER 20 13
AND ENDING SEPTEMBER 30, 2014

O'BRIEN, JOHN (QB52216)
GULFSTREAM ALUMINUM & SHUTTER CORP
3001 SE GRAN PARK WAY
STUART, FL 34997



11 2012 34454.0001

26.25 PAID



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

SHUTTER SCHEDULE

I.D. NO.	APPROX OPENING SIZE (WxH)	APPROX SHUTTER WIDTH	APPROX HEIGHT	# OF STORM BARS REQ'D	ANCHOR SPACING	# OF WINDOW BARS EACH SIDE	HEADER REINF. REQ'D YES/NO	REMARKS
1	192 x 80	16.5	88		12			SP
2	96 x 80	8	88		12			SP

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

Storm Panel Cut Sheet for: HOFFMAN, KENT & SHARI - HOFFMAN RES.

2 INCH Panel / Track Size for ALL Openings

OPG #	Product	Panel Qty	Pan Length	Storm Panel Description	Sq/Ft
1	2-1/4" 050 Aluminum	16.5		Track Color: White; Rem.Track: B; Hdr/Bot: PM / SA	0
2	2-1/4" 050 Aluminum			Track Color: White; Rem.Track: B; Hdr/Bot: PM / SA	0
Total Sq/Ft					0



Do It Once. Do It Right.
Since 1979

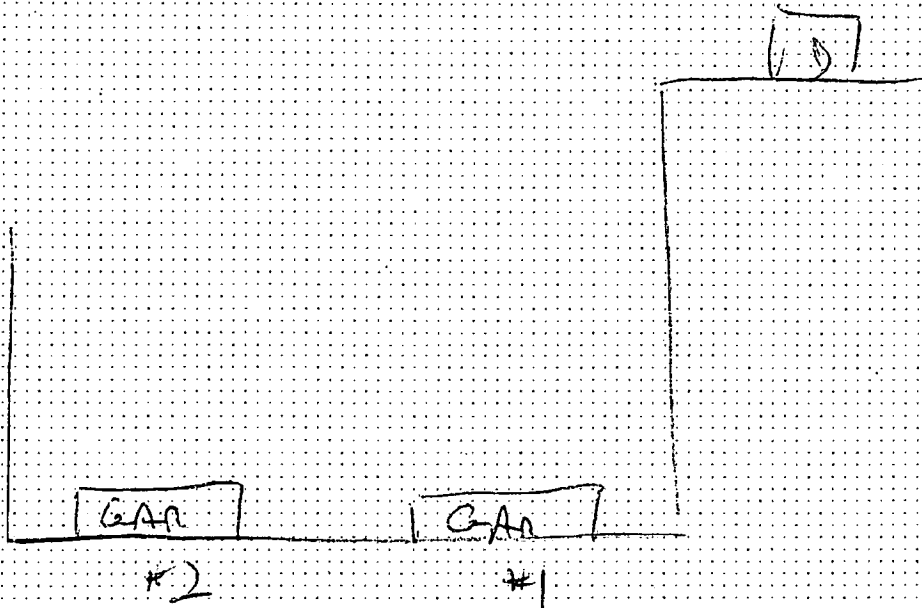
3001 S.E. Gran Park Way, Stuart, Florida 34997
(772) 287-6476 • (800) 244-4143
FAX (772) 287-9740
E-Mail: jobrien@gulfshutters.com
www.gulfshutters.com
Lic. #MC00231, SL 1211, PB# U-17051, CRC58017

LAYOUT SHEET

Page 2 of 2

Key

Storm Panels - SP	Rollups - RU
Accordions - AC	Windows/Doors - WD
Bahamas - BA	Retractable Awnings - RA
Colonials - CO	Ultra Lattice - UL



Hoffman

Special Instructions: _____

Signature _____ Date _____ Salesperson [Signature] Date 9/10/13

Gulfstream Aluminum and Shutter Corp.

Track Cut Sheet (SP)	Job:	HOFFMAN, KENT & SHARI HOFFMAN RES.	Date
----------------------	------	------------------------------------	------

9/27

112 1 INCH Panel / Track Size for ALL Openings

OPG #	Panel Type	Horiz Mount	Opening Size"		#	Panel Length	Hdr	Bot Trk	Rem.	Trk Clr	Track Length/Notes	Sq/Ft
			Width	Height								
1	2-1/4" 050 Aluminum	<input type="checkbox"/>	192	80	16.5		PM	SA	B	White	Track Color: White; Rem.Track: B; Hdr/Bot: PM / SA	123.75
2	2-1/4" 050 Aluminum	<input type="checkbox"/>	96	80	8		PM	SA	B	White	Track Color: White; Rem.Track: B; Hdr/Bot: PM / SA	60

Total Panels 24.5

Total Sq/Ft: 183.75

Panel Area 10/4



Bid Proposal

Bid Date: 9/9/2013

3001 SE Gran Park Way * Stuart, FL 34997
Phone: 772.287.6476 Fax: 772.287.9740
www.gulfshutters.com
License #: CRC058017

Prepared For:		Bid Information	
Name	KENT & SHARI HOFFMAN	Bid Type	HOME OWNER
Subdivision	SEWALL'S POINT	Job Name	HOFFMAN RES.
Job Address	42 RIO VISTA	Installed	<input checked="" type="checkbox"/>
City-State-Zip	STUART, FL 34994	Phones	Home (815) 954-1497
Sales Person	KENNY KING		

OPG #	Type	Style	Opening		Finish		Bid Item Description
			Width	Height	Width	Height	
1	SP	2-1/4" 050 Aluminu	192	80	16.5	88	Track Color: White; Rem.Track: B; Hdr/Bot: PM / SA
2	SP	2-1/4" 050 Aluminu	96	80	8	88	Track Color: White; Rem.Track: B; Hdr/Bot: PM / SA

Custom Features

Qty	Description
1	Misc-Permit

Total Bid Amount \$1,579.00

Deposit 50% \$750.00

Balance On Completion \$829.00

ONE YEAR WARRANTY MATERIAL AND LABOR

It is understood that there are no verbal agreements and all items discussed are covered by this written contract. This is a proposal until signed by an officer of this corporation at which time it becomes an executed contract. Acceptance by owner must be within 30 days of proposal date. Buyer may cancel this contract within 3 working days after signing. No changes in measurements will be allowed except at prices mutually agreed upon, at the time these changes are made. Any physical or verbal changes after signing must be approved in writing by both parties. All agreements are contingent upon strikes, lockouts, accidents, acts of God, weather, fire, carrier delays, delay or failure to receive raw material deliveries, or by other causes, whether of like or different nature beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance. All material is property of Gulfstream until final payment and can be removed if not paid.

Electric - Buyer agrees that any necessary electrical connections will be made the closest source of power. Any changes or variations will be an additional charge.

Interest - Buyer agrees to pay 1 1/4% per month interest charge on any unpaid balances.

Costs of Collection - Buyer agrees to be responsible for seller's attorney's fees (both trial and appeal) and all other costs of collection in the event full payment as outlined herein is not made within 10 days of the completion of the work outlined herein.

Acceptance of Proposal - the above prices, specifications and conditions are satisfactory and hereby accepted. You are authorized to do the work as specified. Cancellation Fee 50% of contract amount. Payment will be made as outlined above.

Material Only Customers - You are responsible for your own measurements, (width x height)

Signature: 

Date of Acceptance: 10 Sept 2013

Signature: 

Agent: Kenny King

Thank You for the opportunity to be of Service!

CK# 254
\$ 750.00
10 Sept 2013



Business
Professional
Regulation

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Product Approval
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FL #	FL11968-R1						
Application Type	Revision						
Code Version	2010						
Application Status	Approved						
Comments							
Archived							
Product Manufacturer	Eastern Metal Supply						
Address/Phone/Email	4268 Westroads Drive West Palm Beach, FL 33407 (800) 432-2204 lrdriguez@easternmetal.com						
Authorized Signature	Bill Feeley lrdriguez@easternmetal.com						
Technical Representative							
Address/Phone/Email							
Quality Assurance Representative							
Address/Phone/Email							
Category	Shutters						
Subcategory	Storm Panels						
Compliance Method	Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer ✓ Evaluation Report - Hardcopy Received						
Florida Engineer or Architect Name who developed the Evaluation Report	Walter A. Tillit, Jr.						
Florida License	PE-44167						
Quality Assurance Entity	National Accreditation and Management Institute						
Quality Assurance Contract Expiration Date	12/31/2015						
Validated By	John Henry Kampmann Jr. ✓ Validation Checklist - Hardcopy Received						
Certificate of Independence	FL11968 R1 COI EASTERN METAL Certification of Independence drwg 11-223.pdf						
Referenced Standard and Year (of Standard)	<table border="0"> <thead> <tr> <th>Standard</th> <th>Year</th> </tr> </thead> <tbody> <tr> <td>ASTM E330</td> <td>2002</td> </tr> <tr> <td>SSTD 12-99</td> <td>1999</td> </tr> </tbody> </table>	Standard	Year	ASTM E330	2002	SSTD 12-99	1999
Standard	Year						
ASTM E330	2002						
SSTD 12-99	1999						
Equivalence of Product Standards Certified By							
Sections from the Code							
Product Approval Method	Method 1 Option D						
Date Submitted	12/16/2011						
Date Validated	12/21/2011						

Date Pending FBC Approval
Date Approved

01/03/2012
01/31/2012

Summary of Products

FL #	Model, Number or Name	Description
11968.1	050" Bertha Storm Panel (2 1/4") - Drawing Number 11-222	Corrugated aluminum storm panels retained or not by tracks to provide hurricane protection.
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: N/A Other: Large Missile. Max. span is 12'-11" for +30, -30 p.s.f. ASD and 8'-2" for +75, -80 p.s.f. ASD for mountings without "H" header. See sheet 5 of installation drawings for other spans and pressures.		Installation Instructions FL11968 R1 II EASTERN METAL DRWG 11-222.pdf Verified By: American Test Lab of South Florida Inc. Created by Independent Third Party: Yes Evaluation Reports FL11968 R1 AE EASTERN METAL Product evaluation report drwg 11-222.pdf Created by Independent Third Party: Yes
11968.2	0.040" Bertha Aluminum Storm Panel (2.25" Deep) - Non-HVHZ - Drawing Number 11-224	Corrugated aluminum storm panels retained or not by tracks to provide hurricane protection.
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: N/A Other: Large Missile. Max. span is 12'-0" for +25, -25 p.s.f. ASD and 4'-0" for +125, -130 p.s.f. ASD for sections 1, 3, 4, 6, 7, 8, 8A, 9 and 11. See sheet 10 of installation drawing for other spans and pressures.		Installation Instructions FL11968 R1 II EASTERN METAL DRWG 11-224.pdf Verified By: American Test Lab of South Florida Inc. Created by Independent Third Party: Yes Evaluation Reports FL11968 R1 AE EASTERN METAL Product evaluation report drwg 11-224.pdf Created by Independent Third Party: Yes
11968.3	24 Gage Galvanized Bertha Steel Storm Panel (2.25" Deep) - Non-HVHZ - Drawing Number 11-223	corrugated galvanized steel storm panels retained or not by tracks to provide hurricane protection.
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: N/A Other: Large Missile. Max. span is 9'-8" for +30, -40 p.s.f. ASD and 7'-2" for +70, -80 p.s.f. ASD for panels mounted without "H" header. See sheet 4 of installation drawing for other spans and pressures.		Installation Instructions FL11968 R1 II EASTERN METAL DRWG 11-223.pdf Verified By: American Test Lab of South Florida Inc. Created by Independent Third Party: Yes Evaluation Reports FL11968 R1 AE EASTERN METAL Product evaluation report drwg 11-223.pdf Created by Independent Third Party: Yes
11968.4	Clear Bertha Storm Panels (2 1/4") - Drawing Number 11-220	Corrugated Polycarbonate Storm Panels retained or not by tracks to provide hurricane protection.
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: N/A Other: Large Missile. Max. span is 10'-0" for +28, -28 p.s.f. ASD and 4'-0" for +105, -110 p.s.f. ASD design load. See sheet 3 of installation drawings for other spans and pressures.		Installation Instructions FL11968 R1 II EASTERN METAL SUPPLY DRWG 11-220.pdf Verified By: American Test Lab of South Florida Inc. Created by Independent Third Party: Yes Evaluation Reports FL11968 R1 AE EASTERN METAL SUPPLY product evaluation report drwg 11-220.pdf Created by Independent Third Party: Yes



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Product Approval Accepts:



GENERAL NOTES:

1. STORM PANEL SHOWN ON THIS PRODUCT EVALUATION DOCUMENT (P.E.D.) HAS BEEN VERIFIED FOR COMPLIANCE IN ACCORDANCE WITH THE 2010 EDITION OF THE FLORIDA BUILDING CODE. THIS STORM PANEL SHALL NOT BE INSTALLED AT HIGH VELOCITY HURRICANE ZONES (MIAMI-DADE / BROWARD COUNTIES).

DESIGN WIND LOADS SHALL BE DETERMINED AS PER SECTION 1609 OF THE ABOVE MENTIONED CODE. FOR A WIND SPEED AS REQUIRED BY THE JURISDICTION WHERE THESE SHUTTERS WILL BE INSTALLED AND FOR A DIRECTIONALITY FACTOR $K_d=0.85$, USING ASCE 7-10 FOR INSTALLATIONS UNDER 2010 FBC AND SHALL NOT EXCEED THE MAXIMUM (A.S.D.) DESIGN PRESSURE RATINGS INDICATED ON SHEETS 5 THRU 9.

IN ORDER TO VERIFY THE ABOVE CONDITION, ULTIMATE DESIGN WIND LOADS DETERMINED PER ASCE 7-10 SHALL BE FIRST REDUCED TO A.S.D. DESIGN WIND LOADS BY MULTIPLYING THEM BY 0.6 IN ORDER TO COMPARE THESE W/ MAX. (A.S.D.) DESIGN PRESSURE RATINGS INDICATED ON SHEETS 5 THRU 9.

IN ORDER TO VERIFY THAT COMPONENTS AND ANCHORS ON THIS P.E.D. AS TESTED WERE NOT OVER STRESSED, A 33% INCREASE IN ALLOWABLE STRESS FOR WIND LOADS WAS NOT USED IN THEIR ANALYSIS. A DURATION FACTOR $CD=1.60$ WAS USED FOR VERIFICATION OF FASTENERS IN WOOD.

STORM PANEL'S ADEQUACY FOR IMPACT AND FATIGUE RESISTANCE HAS BEEN VERIFIED IN ACCORDANCE WITH SECTION 1609.1.2 OF THE ABOVE MENTIONED CODE AS PER ATL REPORTS # 0121.01-98R, # 0329.01-00, # 0525.01-00 AND #0512.01-03 AND #0617.02-04, AS PER SS10 12-99 STANDARD.

2. ALL ALUMINUM SHEET METAL PANELS SHALL HAVE 5052-H32 OR 3004-H34 ALLOY.

3. ALL ALUMINUM EXTRUSIONS SHALL BE ALUMINUM ASSOCIATION 6061-T6 ALLOY & TEMPER UNLESS OTHERWISE NOTED. STORM PANEL COMPONENTS (4) STUDDED PLATE AND (3) SHAP CAP ARE PATENT PENDING.

4. ALL SCREWS TO BE STAINLESS STEEL 304 OR 316 AISI SERIES OR CORROSION RESISTANT COATED CARBON STEEL AS PER DIN 50018 W/ 50 ksi YIELD STRENGTH AND 90 ksi TENSILE STRENGTH & SHALL COMPLY W/ FLORIDA BUILDING CODE SECTION 2411.3.3.4.

5. BOLTS TO BE ASTM A-307 GALVANIZED STEEL OR AISI 304 SERIES STAINLESS STEEL WITH 35 ksi MINIMUM YIELD STRENGTH.

6. ANCHORS TO WALL SHALL BE AS FOLLOWS: (UNLESS OTHERWISE NOTED)

(A) TO EXISTING POURED CONCRETE:

- 1/4" x TAPCON ANCHORS AS MANUFACTURED BY I.T.W. BUILDEX.
- 1/4" x CF TAP-GRIP ANCHORS (BERTHA STUD-CON), AS MANUFACTURED BY TRU-FAST CORPORATION.
- 1/4" x ZAMAC NAILIN ANCHORS AS MANUFACTURED BY POWER FASTENERS, INC.
- 1/4" x 7/8" CALK-IN ANCHORS OR ELCO male & female "PANELMATE" AS MANUFACTURED BY POWER FASTENERS, INC. AND ELCO CONSTRUCTION PRODUCTS, RESPECTIVELY.
- 1/4" x 3/4" ALL POINTS SOLID-SET ANCHORS AS DISTRIBUTED BY ALL POINTS SCREW, BOLT & SPECIALTY COMPANY.

NOTES:

A.1) MINIMUM EMBEDMENT INTO POURED CONCRETE OF TAPCON ANCHORS IS 1 3/4"; FOR ZAMAC NAILIN ANCHORS IS 1 3/8"; FOR ELCO PANELMATE ANCHORS IS 1 3/4" AND FOR CF TAP-GRIP ANCHORS IS 1 1/4".

A.2) 7/8" CALK-IN ANCHORS SHALL BE ENTIRELY EMBEDDED INTO THE POURED CONCRETE. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" x 20 SCREWS USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.

A.3) MINIMUM EMBEDMENT OF 1/4" x 3/4" ALL POINTS SOLID-SET ANCHORS SHALL BE 7/8" INTO THE POURED CONCRETE. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" x 20 S.S. MACHINE SCREW USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.

A.4) IN CASE THAT PRECAST STONE, PRECAST CONCRETE PANELS, OR PAVERS BE FOUND ON THE EXISTING WALL OR FLOOR, ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SUCH PANELS. ANCHORAGE SHALL BE AS INDICATED ON NOTES A.1) & A.2) ABOVE.

(B) TO EXISTING CONCRETE BLOCK WALL:

- 1/4" x TAPCON ANCHORS AS MANUFACTURED BY I.T.W. BUILDEX.
- 1/4" x CF TAP-GRIP ANCHORS (BERTHA STUD-CON), AS MANUFACTURED BY TRU-FAST CORPORATION.
- 1/4" x ZAMAC NAILIN ANCHORS AS MANUFACTURED BY POWER FASTENERS, INC.
- 1/4" x 7/8" CALK-IN ANCHORS OR ELCO male & female "PANELMATE" AS MANUFACTURED BY POWER FASTENERS, INC. AND ELCO CONSTRUCTION PRODUCTS, RESPECTIVELY.
- 1/4" x 3/4" ALL POINTS SOLID-SET ANCHORS AS DISTRIBUTED BY ALL POINTS SCREW, BOLT & SPECIALTY COMPANY.
- 1/4" x RED HEAD DYNABOLT SLEEVE ANCHORS AS MANUFACTURED BY I.T.W. BUILDEX.

NOTES:

B.1) MINIMUM EMBEDMENT OF TAPCON, ELCO PANELMATE, AND CF TAP-GRIP ANCHORS INTO CONCRETE BLOCK UNIT SHALL BE 1 1/4"; 1 3/8" FOR ZAMAC NAILIN ANCHORS AND 1 1/8" FOR RED HEAD DYNABOLT SLEEVE ANCHORS

B.2) 7/8" CALK-IN ANCHORS SHALL BE ENTIRELY EMBEDDED INTO THE CONCRETE BLOCK UNIT. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" x 20 SCREWS USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.

B.3) MINIMUM EMBEDMENT OF 1/4" x 3/4" ALL POINTS SOLID-SET ANCHORS SHALL BE 7/8" INTO THE CONCRETE BLOCK. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" x 20 S.S. MACHINE SCREW USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.

B.4) IN CASE THAT PRECAST STONE OR PRECAST CONCRETE PANELS BE FOUND ON THE EXISTING WALL, ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SUCH PANELS. ANCHORAGE SHALL BE AS INDICATED ON NOTES IN B.1) AND B.2) ABOVE.

(C) ANCHORS SHALL BE INSTALLED FOLLOWING ALL OF THE RECOMMENDATIONS AND SPECIFICATIONS OF THE ANCHOR'S MANUFACTURER.

7. PANELS MAY ALSO BE INSTALLED HORIZONTALLY FOLLOWING INSTALLATION DETAILS SHOWN ON SECTIONS 1 THRU 8 (SHEET 3 & 4 OF 9) EXCEPT THAT HEADERS 3, 4 & 5 SHALL NOT BE USED.

8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SOUNDNESS OF THE STRUCTURE WHERE SHUTTER IS TO BE ATTACHED TO INSURE PROPER ANCHORAGE. THIS SHUTTER SHALL ONLY BE ATTACHED TO CONCRETE, BLOCK OR WOOD-FRAME BUILDINGS.

9. THE INSTALLATION CONTRACTOR IS TO SEAL/CAULK ALL SHUTTER COMPONENT EDGES WHICH REMAIN IN CONTINUOUS CONTACT WITH THE BUILDING TO PREVENT WIND/RAIN INTRUSION. CAULK AND SEAL SHUTTER TRACKS ALL AROUND FULL LENGTH.

10. (a) THIS P.E.D. PREPARED BY THIS ENGINEER IS GENERIC AND DOES NOT PROVIDE INFORMATION FOR A SITE SPECIFIC PROJECT, I.E. WHERE THE SITE CONDITIONS DEVIATE FROM THE P.E.D.

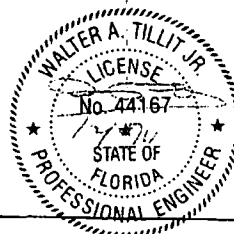
(b) CONTRACTOR TO BE RESPONSIBLE FOR THE SELECTION, PURCHASE AND INSTALLATION INCLUDING LIFE SAFETY OF THIS PRODUCT, BASED ON THIS P.E.D. PROVIDED HE/SHE DOES NOT DEVIATE FROM THE CONDITIONS DETAILED ON THIS DOCUMENT. CONSTRUCTION SAFETY AT SITE IS THE CONTRACTOR'S RESPONSIBILITY.

(c) THIS P.E.D. WILL BE CONSIDERED INVALID IF ALTERED BY ANY MEANS.

(d) SITE SPECIFIC PROJECTS SHALL BE PREPARED BY A FLORIDA REGISTERED ENGINEER OR ARCHITECT WHICH WILL BECOME THE ENGINEER OF RECORD (E.O.R.) FOR THE PROJECT AND WHO WILL BE RESPONSIBLE FOR THE PROPER USE OF THE P.E.D. ENGINEER OF RECORD, ACTING AS A DELEGATED ENGINEER TO THE P.E.D. ENGINEER, SHALL SUBMIT TO THIS LATTER THE SITE SPECIFIC DRAWINGS FOR REVIEW.

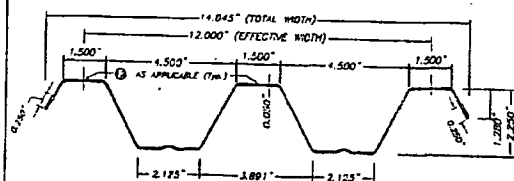
(e) THIS P.E.D. SHALL BEAR THE DATE AND ORIGINAL SEAL AND SIGNATURE OF THE PROFESSIONAL ENGINEER OF RECORD THAT PREPARED IT.

11. SHUTTER MANUFACTURER'S LABEL SHALL BE LOCATED ON A READILY VISIBLE LOCATION AT STORM PANEL IN ACCORDANCE WITH SECTION 1715.8.3 OF FLORIDA BUILDING CODE. ONE LABEL SHALL BE PLACED FOR EVERY OPENING, LABELING TO COMPLY WITH SECTION 1715.8.2 OF THE FLORIDA BUILDING CODE.

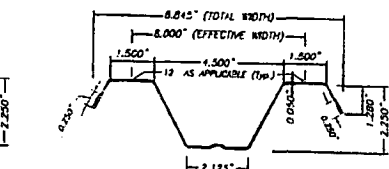


<p>©2011 TILTECO, INC.</p> <p>TILTECO INC.</p> <p>TILLIT TESTING & ENGINEERING COMPANY 8333 N.W. 11th St., Ste. 205, Miramar, FL 33189 Phone: (305) 228-1237 Fax: (305) 228-1237</p> <p>EST-0006719 WALTER A. TILLIT JR., P.E. FLORIDA LIC. # 44167</p>		<p>FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone)</p> <p>0.050" BERTHA ALUMINUM STORM PANEL (2.25" DEEP)</p> <p>EASTERN METAL SUPPLY, INC.</p> <p>4258 WEST ROADS DRIVE WEST PALM BEACH, FL 33407 PHONE: (561) 208-0263 FAX: (561) 284-1718</p>		<p>LG/PLC/LG</p> <p>DRAWN BY:</p> <p>12/04/11</p> <p>DATE:</p> <p>11-222</p> <p>DRAWING NO.</p>	
REV. NO.	DESCRIPTION	DATE	BY	REVISION	DATE
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2					

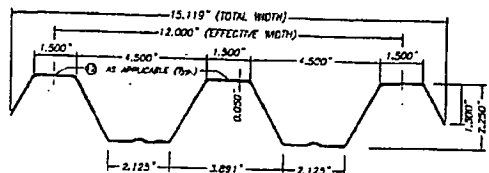
SHEET 1 OF 9



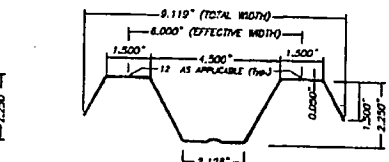
① FULL ALUMINUM PANEL W/ HEMMED EDGES



①A HALF ALUMINUM PANEL W/ HEMMED EDGES

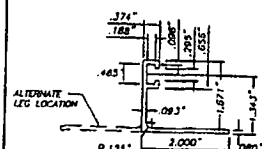


① FULL ALUMINUM PANEL W/O HEMMED EDGES

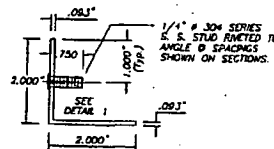


①A HALF ALUMINUM PANEL W/O HEMMED EDGES

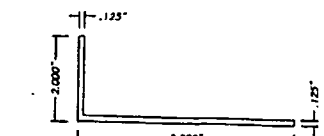
① STORM PANEL
SCALE: 1/4" = 1"



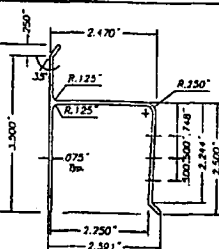
⑨ "F" TRACK ANGLE
SCALE: 1/4" = 1"



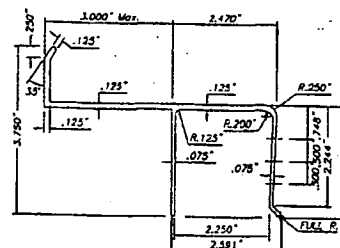
⑩ STUDDED ANGLE
6063-T5 ALLOY
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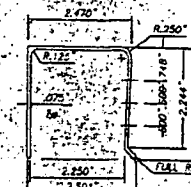
⑪ 2" x 5" (Max.) x .125" ANGLE
SCALE: 1/4" = 1"



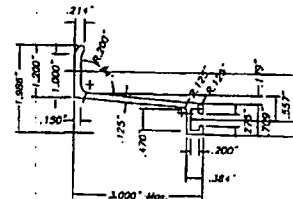
③ "H" HEADER
SCALE: 1/4" = 1"



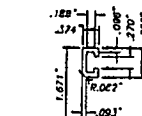
④ 3" Max. "U" BUILD OUT
SCALE: 1/4" = 1"



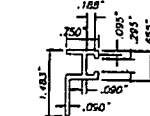
⑤ "U" HEADER
SCALE: 1/4" = 1"



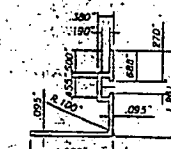
⑥ 3" ANGLE BUILD OUT
BRACKET
SCALE: 1/4" = 1"



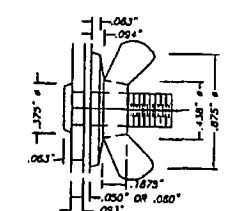
⑦ 3/8" B.O. "F" TRACK
SCALE: 1/4" = 1"



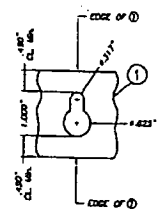
⑦A 3/4" B.O. "F" TRACK
SCALE: 1/4" = 1"



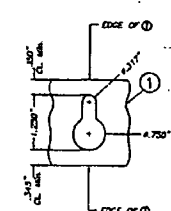
⑧ REVERSED "F" ANGLE
TRACK
SCALE: 1/4" = 1"



DETAIL 1: STUD W/ DIE CAST ZINC
NICKEL PLATED WING NUT



⑫ KEY HOLE AT PANEL
OPTION 1

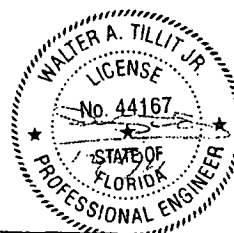


⑫A ROUND HOLE AT PANEL
(OPTION TO 12)
OPTION 2

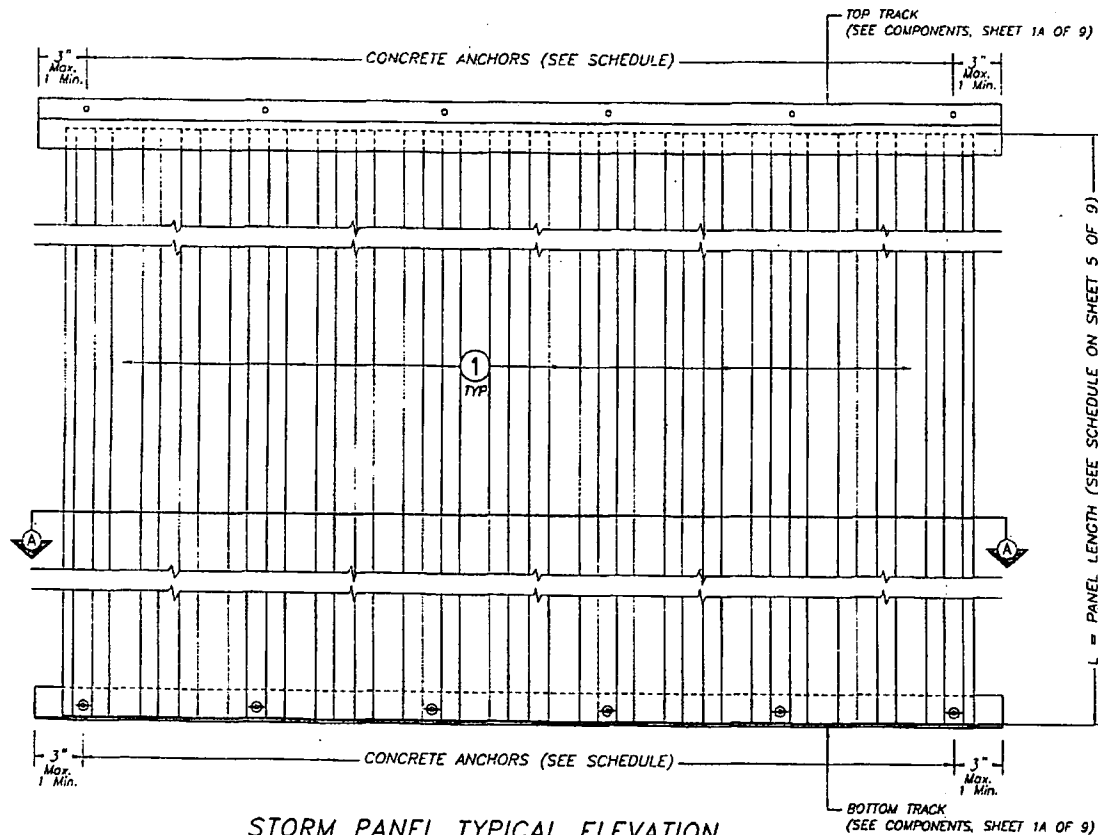
⑬ KEY HOLE WASHER
3105-1134 ALLOY
SCALE: 1/4" = 1"

⑭ STUDDED PLATE
6063-T5 ALLOY
SCALE: 1" = 1"

⑮ SNAP CAP
6063-T5 ALLOY
SCALE: 1" = 1"

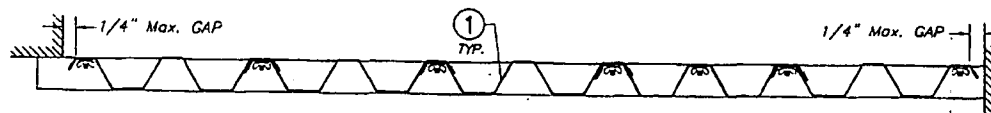


FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone) 0.050" BERTHA ALUMINUM STORM PANEL (2.25" DEEP)		L.C./R.E./A.G. DRAWN BY:	
EASTERN METAL SUPPLY, INC. 4288 WEST ROADS DRIVE WEST PALM BEACH, FL 33407 PHONE: (561)208-0263 FAX: (561)841-1716		12/06/11 DATE:	
11-222		DRAWING NO.	
REV. NO.	DESCRIPTION	DATE	BY
1	OLD CD-141	11/04/11	1
2			



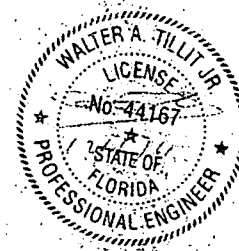
STORM PANEL TYPICAL ELEVATION

SCALE : 1/8" = 1"



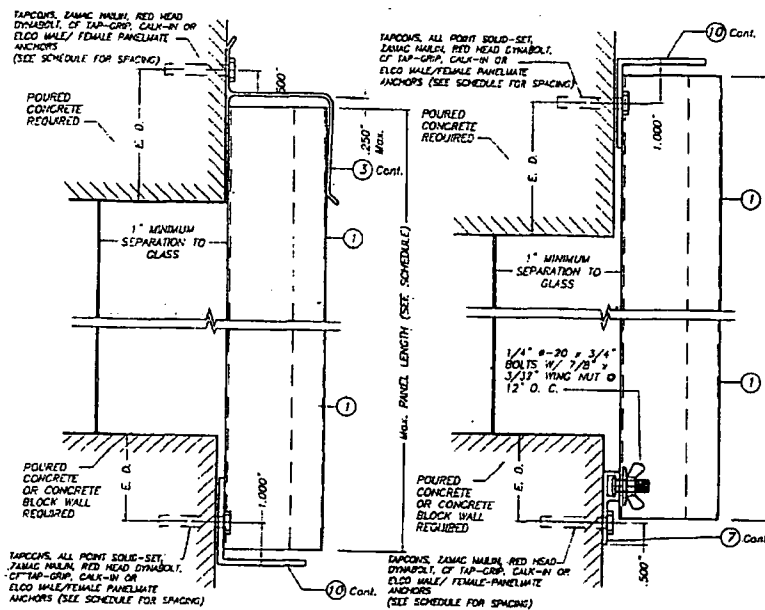
SECTION A-A

SCALE : 1/8" = 1"



FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone)

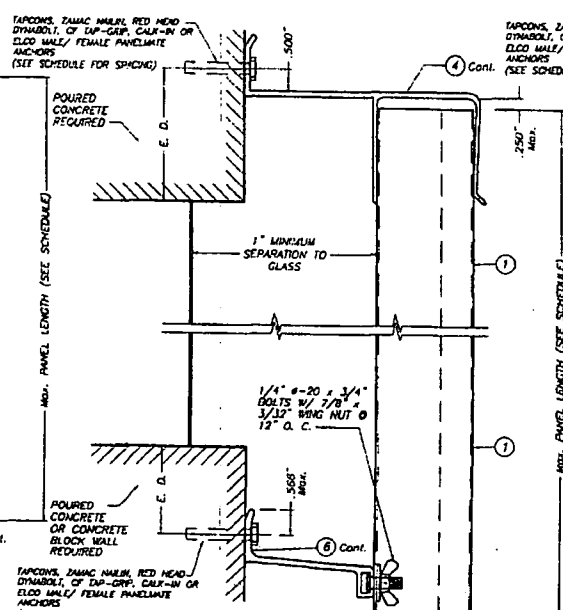
© 2011 TILTECO, INC.		0.050" BERTHA ALUMINUM STORM PANEL (2.25" DEEP)		L.A./R.E./A.G.	
TILTECO INC.		EASTERN METAL SUPPLY, INC.		12/08/11	
TILLIT TESTING & ENGINEERING COMPANY		4255 WEST ROADS DRIVE		DATE:	
4255 N.W. 24TH ST., SUITE 202, WEST PALM BEACH, FL 33411		WEST PALM BEACH, FL 33411		11-222	
Phone: (561) 871-1133, Fax: (561) 871-1131		PHONE: (561) 200-4283, FAX: (561) 241-1715		DRAWING NO.	
EB-0008719		REV. NO.		DATE	
WALTER A. TILLIT, P.E.		1		08/08/11	
FLORIDA LIC. # 44167		2		10/06/11	
		3			
		4			
				SHEET 2 OF 9	



SECTION 2 ANCHOR

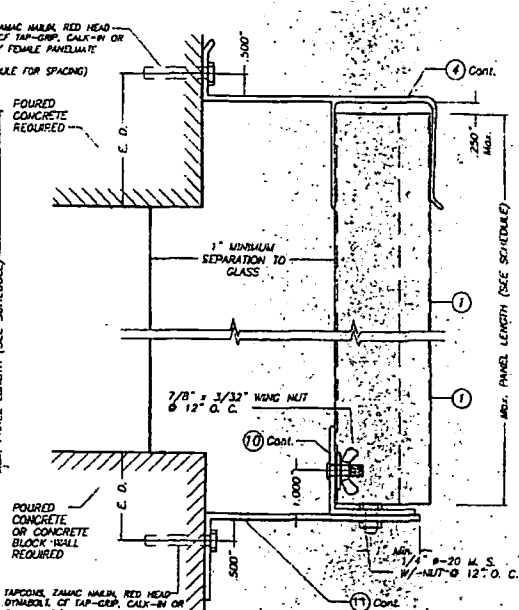
WALL MOUNTING INSTALLATION SECTION 2

SCALE: 3/8" = 1"



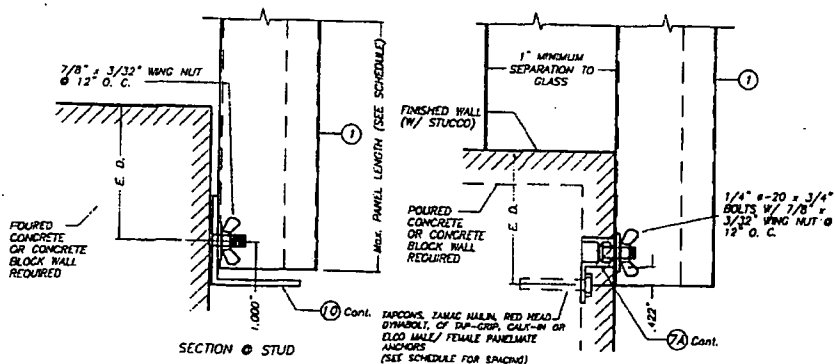
BUILD OUT INSTALLATION SECTION 3

SCALE: 3/8" = 1"



BUILD OUT INSTALLATION SECTION 4

SCALE: 3/8" = 1"



WALL MOUNTING INSTALLATION SECTION 1

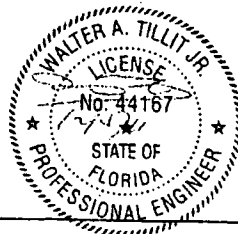
SCALE: 3/8" = 1"

WALL MOUNTING INSTALLATION SECTION 2A

SCALE: 3/8" = 1"

E. D. = EDGE DISTANCE
(SEE SCHEDULE ON SHEETS 6 & 7 OF 9)

NOTE FOR COMBINATION OF SECTIONS:
WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.



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TILTECO INC.

TILLIT TESTING & ENGINEERING COMPANY
4333 N.W. 30TH ST., SUITE 200, MIAMI GARDENS, FL 33169
Phone: (305) 871-1530 Fax: (305) 871-1531
EO-0008719

WALTER A. TILLIT JR., P.E.
FLORIDA LIC. # 44167

FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone)

0.050" BERTHA ALUMINUM STORM PANEL (2.25" DEEP)

EASTERN METAL SUPPLY, INC.

4268 WEST ROADS DRIVE
WEST PALM BEACH, FL 33417
PHONE: (561) 200-5543 FAX: (561) 941-1718

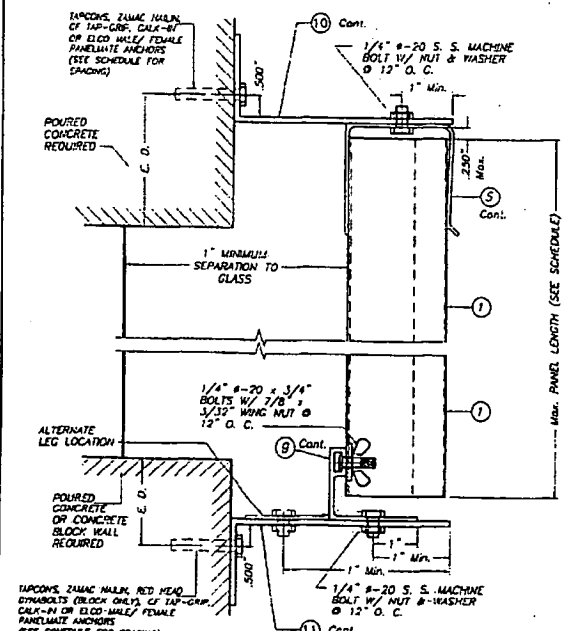
REV.	DESCRIPTION	DATE	BY	CHKD.	DATE
1	Q.S. 08-111	11/26/11			

11-222

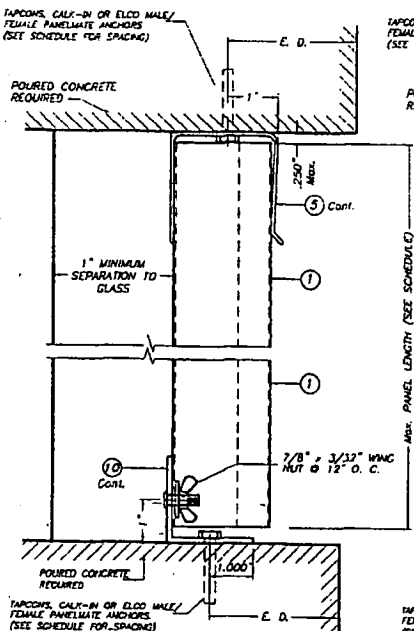
DRAWING NO.

SHEET 3 OF 9

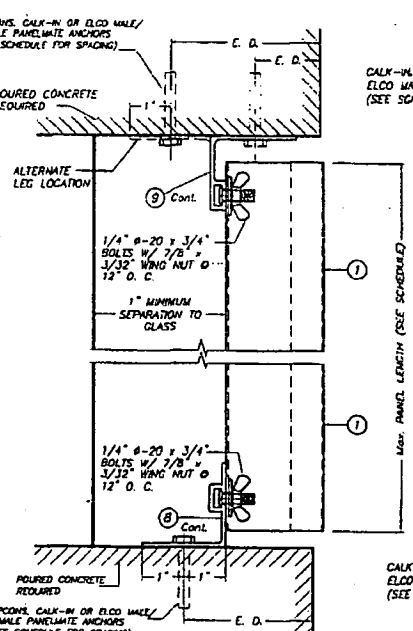
NOTE: DETAIL OF SECTION 2 STUD VALID ALSO FOR WALL MOUNTING INSTALLATION - SECTION 2 (TOP)



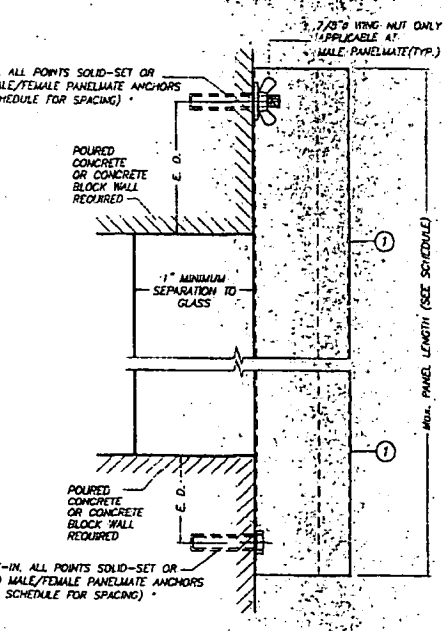
BUILD OUT INSTALLATION
- SECTION 5 SCALE: 3/8" = 1"



CEILING & FLOOR MOUNTING
INSTALLATION - SECTION 6
SCALE: 3/8" = 1"

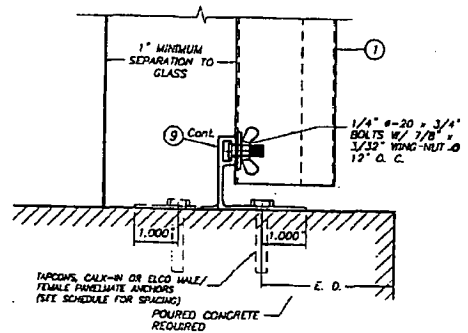


CEILING & FLOOR MOUNTING
INSTALLATION - SECTION 7
SCALE: 3/8" = 1"



WALL MOUNTING INSTALLATION (D.M.)
- SECTION 8
SCALE: 3/8" = 1"

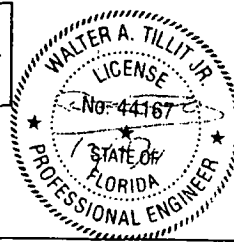
* SCREWS USED AT ANCHORS MAY BE 1/4"-20 SIDE WALK BOLT W/ 1/2" OR 1/4"-20 TRUSS HEAD BOLT W/ 1/2" & 1/2"
* SIDE WALK BOLTS ARE 3/4" x 3/32" THICK HEAD MACHINE SCREW W/ LENGTH AS PER NOTES A.2 & B.2 (SHEET 1)
* TRUSS HEAD BOLTS ARE 1/2" x 1/8" THICK HEAD MACHINE SCREW W/ LENGTH AS PER NOTES A.2 & B.2 (SHEET 1)



FLOOR MOUNTING INSTALLATION
- SECTION 5A SCALE: 3/8" = 1"

E. D. = EDGE DISTANCE (SEE SCHEDULE ON SHEET 6 & 7 OF 9)

NOTE FOR COMBINATION OF SECTIONS:
WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.



03011 TILECO, INC.
TILECO INC.
TILLIT TESTING & ENGINEERING COMPANY
1330 N.W. 30th St., Ft. Lauderdale, FL 33304
Phone: (561) 581-1330 Fax: (561) 581-1331
E.E. 0006719
WALTER A. TILLIT JR., P.E.
FLORIDA LIC. # 44167

FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone)
0.050" BERTHA ALUMINUM STORM PANEL (2.25" DEEP)
EASTERN METAL SUPPLY, INC.
4388 WEST ROADS DRIVE
WEST PALM BEACH, FL 33407
PHONE: (561) 209-0263 FAX: (561) 204-1770
L.C./R.L./A.G. DRAWN BY:
12/06/11 DATE:
11-222
DRAWING NO.
SHEET 4 OF 9

THIS SCHEDULE INDICATES REQUIRED ANCHOR SPACING FOR A GIVEN A.S.D. DESIGN LOAD AND PANEL LENGTH. HOWEVER MAXIMUM PANEL LENGTH FOR A GIVEN A.S.D. DESIGN LOAD MUST BE VERIFIED AS PER SCHEDULE ON SHEET # OF 6.

MAXIMUM A.S.D. DESIGN PRESSURE RATING (p.s.f.) AND CORRESPONDING MAXIMUM ANCHOR SPACING SCHEDULE FOR INSTALLATIONS INTO CONCRETE AND CONCRETE BLOCK STRUCTURES *

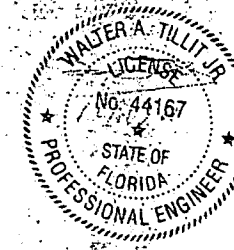
E. D. = EDGE DISTANCE

MAXIMUM A.S.D. DESIGN PRESSURE RATING (P.S.F.)	MAXIMUM ANCHORS SPACING FOR E. D. = 3 1/2" **												APPLICABLE TO SECTIONS # & ANY COMBINATION OF THEM	MAXIMUM PANEL LENGTH 1' (1L)
	TAPCONS		ZAMAC NAIL/RED HD. DYNABOLT		CALK-IN		SOLID-SET		PANELMATES		CF TAP-GRP			
	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY		
+35.0 - +10.0 OR LESS	12"	-	12" ⁺⁺	-	12"	-	-	-	12"	-	12"	-	1 (TCP)	8'-0" OR LESS
	12"	10"	12" ⁺⁺	12"	12"	8"	12"	12"	12"	12"	10 1/2"	1, 9" (BOTTOM)		
	12"	-	12" ⁺⁺	-	12"	12"	12"	12"	12"	-	12"	-	2, 9" (TOP)	
	12"	10"	12" ⁺⁺	12"	12"	8"	-	-	12"	12"	12"	10 1/2"	2 (BOTTOM)	
	12"	10"	12" ⁺⁺	12"	12"	8"	-	-	12"	12"	12"	10 1/2"	2A (BOTTOM)	
	12"	-	12" ⁺⁺	-	12"	-	-	-	12"	-	12"	-	3 & 4 (TOP)	
	12"	10"	12" ⁺⁺	12"	12"	8"	-	-	12"	12"	12"	10 1/2"	3 (BOTTOM)	
	12"	10"	12" ⁺⁺	12"	12"	8"	-	-	12"	12"	12"	10 1/2"	4 (BOTTOM)	
	12"	-	12" ⁺⁺	-	12"	-	-	-	12"	-	12"	-	5 (TOP)	
	12"	10"	12" ⁺⁺	12"	12"	8"	-	-	12"	12"	12"	10 1/2"	5 (BOTTOM)	
	12"	-	-	-	12"	-	-	-	12"	-	-	-	6 (TOP)	
	12"	-	-	-	12"	-	-	-	12"	-	-	-	6 (BOTTOM)	
+35.0 - +10.0 OR LESS	12"	-	-	-	11"	-	-	-	12"	-	-	-	5A (BOTTOM) 7 (TOP)	>8'-0" TO 10'-0"
	11"	-	-	-	12"	-	-	-	12"	-	-	-	7 (BOTTOM)	
	-	-	-	-	12"	6"	12"	12"	12"	12"	-	-	8 (TOP/BOTTOM)	
	12"	-	12" ⁺⁺	-	12"	-	-	-	12"	-	12"	-	1 (TOP)	
	12"	8"	12" ⁺⁺	12"	12"	6"	12"	12"	12"	12"	8 1/2"	1, 9" (BOTTOM)		
	12"	-	12" ⁺⁺	12"	12"	12"	12"	12"	12"	-	12"	-	2, 9" (TOP)	
	12"	8"	12" ⁺⁺	12"	12"	6"	-	-	12"	12"	12"	8 1/2"	2 (BOTTOM)	
	12"	8"	12" ⁺⁺	12"	12"	6"	-	-	12"	12"	12"	8 1/2"	2A (BOTTOM)	
	12"	-	12" ⁺⁺	-	12"	-	-	-	12"	-	12"	-	3 & 4 (TOP)	
	12"	8"	12" ⁺⁺	12"	12"	6"	-	-	12"	12"	12"	8 1/2"	3 (BOTTOM)	
	12"	8"	12" ⁺⁺	12"	12"	6"	-	-	12"	12"	12"	8 1/2"	4 (BOTTOM)	
	12"	-	12" ⁺⁺	-	12"	-	-	-	12"	-	12"	-	5 (TOP)	
12"	8"	12" ⁺⁺	12"	12"	6"	-	-	12"	12"	12"	8 1/2"	5 (BOTTOM)		
10"	-	-	-	10"	-	-	-	12"	-	-	-	6 (TOP)		
8"	-	-	-	9"	-	-	-	12"	-	-	-	6 (BOTTOM)		
8"	-	-	-	9"	-	-	-	12"	-	-	-	5A (BOTTOM) 7 (TOP)		
-	-	-	-	12"	8"	12"	12"	12"	12"	-	-	7 (BOTTOM)		
-	-	-	-	12"	8"	12"	12"	12"	12"	-	-	8 (TOP/BOTTOM)		

MAXIMUM A.S.D. DESIGN PRESSURE RATING (p.s.f.)	MAXIMUM ANCHORS SPACING FOR E. D. = 3 1/2" **												APPLICABLE TO SECTIONS # & ANY COMBINATION OF THEM	MAXIMUM PANEL LENGTH 1" (1L)
	TAPCONS		ZAMAC NAIL/ RED HD. DYNABOLT		CALK-IN		SOLID-SET		PANELMATES		CF TAP-GRP			
	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY		
+35.0 - +10.0 OR LESS	12"	-	12" ⁺⁺	-	12"	-	-	-	12"	-	12"	-	1 (TOP)	>10'-0" TO 12'-11"
	12"	8"	12" ⁺⁺	12"	12"	5"	12"	12"	12"	12"	11 1/2"	6 1/2"	1, 5" (BOTTOM)	
	12"	6"	11" ⁺⁺	-	12"	12"	12"	12"	12"	-	11 1/2"	-	2, 5" (TOP)	
	12"	6"	12" ⁺⁺	12"	12"	5"	-	-	12"	12"	11 1/2"	6 1/2"	2 (BOTTOM)	
	12"	6"	12" ⁺⁺	12"	12"	5"	-	-	12"	12"	11 1/2"	6 1/2"	2A (BOTTOM)	
	12"	-	12" ⁺⁺	-	12"	-	-	-	12"	-	11 1/2"	-	3 & 4 (TOP)	
	12"	8"	12" ⁺⁺	12"	12"	5"	-	-	12"	12"	11 1/2"	6 1/2"	3 (BOTTOM)	
	12"	6"	12" ⁺⁺	12"	12"	5"	-	-	12"	12"	11 1/2"	6 1/2"	4 (BOTTOM)	
	12"	-	12" ⁺⁺	-	12"	-	-	-	12"	-	11 1/2"	-	5 (TOP)	
	12"	8"	12" ⁺⁺	12"	12"	5"	-	-	12"	12"	11 1/2"	6 1/2"	5 (BOTTOM)	
	10"	-	-	-	10"	-	-	-	12"	-	-	-	6 (TOP)	
	8"	-	-	-	8"	-	-	-	11"	-	-	-	6 (BOTTOM)	
7"	-	-	-	7"	-	-	-	9 1/2"	-	-	-	5A (BOTTOM)		
7"	-	-	-	7"	-	-	-	10"	-	-	-	7 (TOP)		
-	-	-	-	12"	-	12"	12"	12"	12"	-	-	-	8 (TOP/BOTTOM)	

- + ONLY TAPCON ANCHORS OR ALL POINT SOLID-SET ALLOWED FOR MOUNTING SECTION 8.
- ++ ANCHORS SPACING ONLY VALID FOR ZAMAC NAIL.
- * SEE SHEET 8 & 9 OF 9 FOR ANCHORS TYPE & SPACING FOR INSTALLATIONS INTO WOOD FRAME BUILDINGS.
- ** MAXIMUM ANCHOR SPACINGS ARE VALID FOR 3 1/2" EDGE DISTANCE FOR E. D. LESS THAN 3 1/2". REDUCE ANCHOR SPACING BY MULTIPLYING SPACINGS SHOWN ON SCHEDULE BY THE FOLLOWING FACTORS. (W. E. D. FOR CALK-IN ANCHORS & ELCO PANELMATE IS 2 1/2" AND 3 1/2" FOR SOLID-SET ANCHORS)

ACTUAL E. D.	FACTOR				
	TAPCON	ZAMAC NAIL/ DYNABOLT/ PANELMATES	CALK-IN	SOLID-SET	CF TAP-GRP
3"	-	.86	.75	.78	1.00
2 1/2"	-	.71	.50	-	.80
2"	-	.50	-	-	-
1 1/2"	.35	-	-	-	-



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TILTECO INC.

TILLIT TESTING & ENGINEERING COMPANY
4228 WEST ROADS DRIVE
WEST PALM BEACH, FL 33407
PHONE: (561) 908-0044 FAX: (561) 908-1715

WALTER A. TILLIT JR. P.E.
FLORIDA Lic. # 44167

FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone)

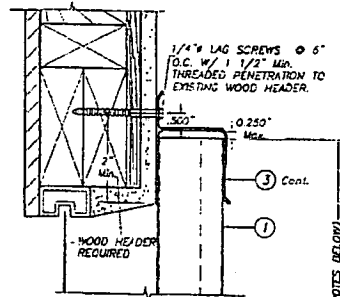
0.050" BERTHA ALUMINUM STORM PANEL (2.25" DEEP)

EASTERN METAL SUPPLY, INC.

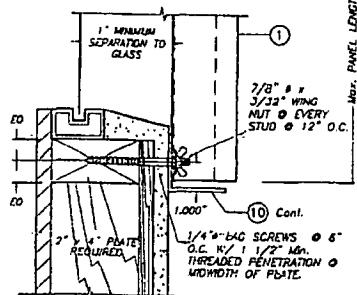
4228 WEST ROADS DRIVE
WEST PALM BEACH, FL 33407
PHONE: (561) 908-0044 FAX: (561) 908-1715

12/08/11 DATE: 11-222

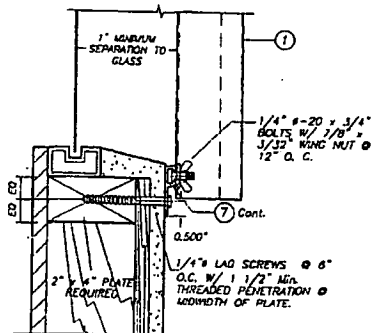
DRAWING NO. SHEET 6 OF 9



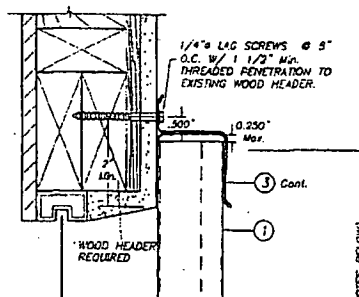
ALTERNATIVE 1



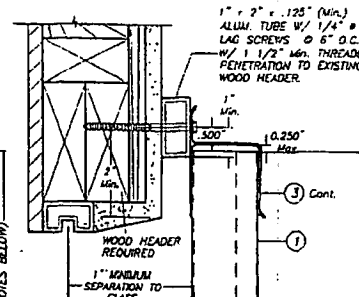
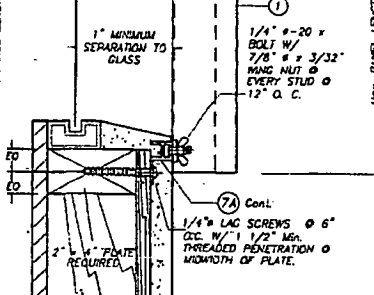
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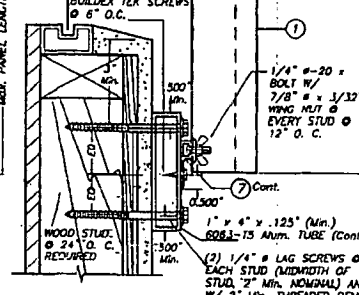
ALTERNATIVE 3



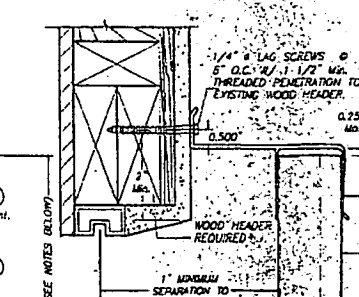
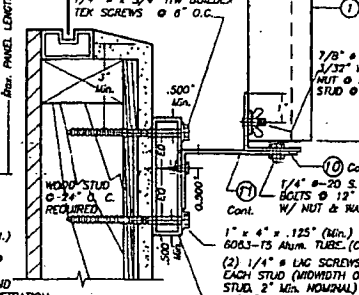
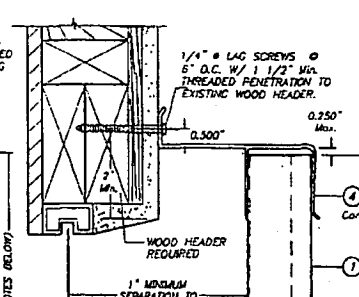
ALTERNATIVE 4



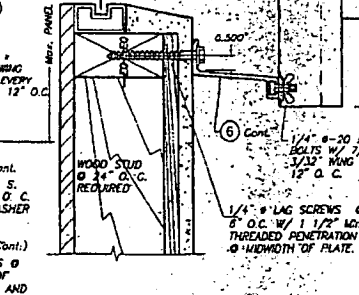
ALTERNATIVE 5



ALTERNATIVE 6



ALTERNATIVE 7



WALL MOUNTING INSTALLATIONS
SECTIONS A

SCALE: 1/4" = 1"

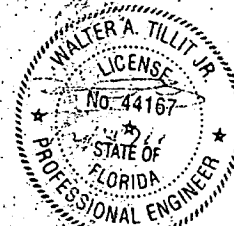
NOTES:

1. INSTALLATIONS ARE ONLY VALID FOR MAX. A.S.D. DESIGN PRESSURE RATING UP TO +85.0, -72.0 psf AND PANEL'S LENGTHS UP TO 9'-0".
2. FOR WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL.

NOTE FOR COMBINATION OF SECTIONS:

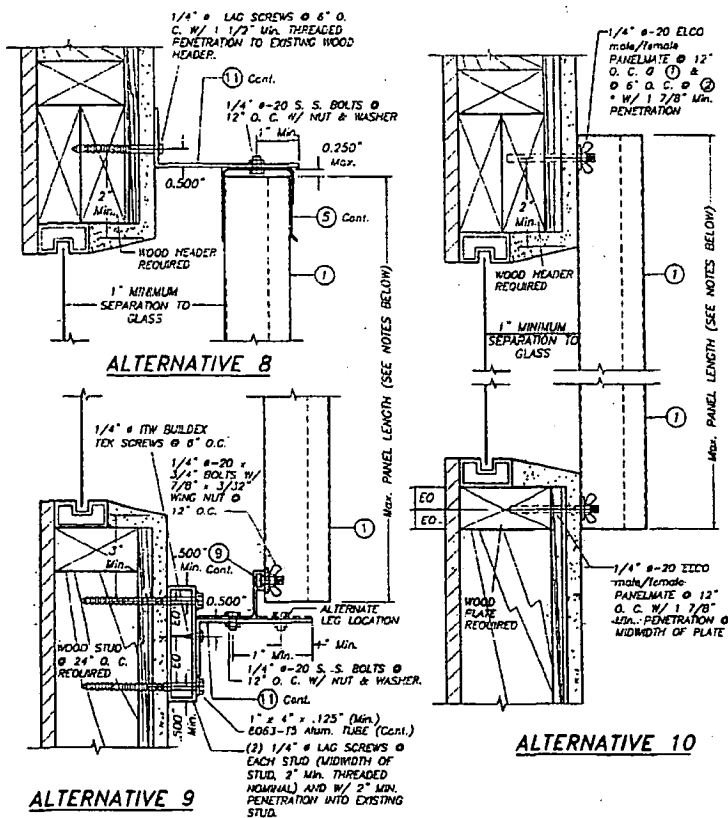
WALL MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

INSTALLATION DETAILS ON
EXISTING WOOD BUILDINGS



FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone)

<p>© 2011 TILTECO, INC.</p> <p>TILTECO INC.</p> <p>TILIT TESTING & ENGINEERING COMPANY 6125 N.W. 25th St., Ste. 200, Fort Lauderdale, FL 33309 Phone: (754) 771-1530 Fax: (754) 771-1531 ED-0006718 WALTER A. TILLIT JR., P.E. FLORIDA LIC. # 44167</p>	<p>0.050" BERTHA ALUMINUM STORM PANEL (2.25" DEEP)</p> <p>EASTERN METAL SUPPLY, INC.</p> <p>2268 WEST ROADS DRIVE WEST PALM BEACH, FL 33407 PHONE: (561) 208-8283 FAX: (561) 204-1715</p>	<p>L.A./P.E./A.G. DRAWN BY: 12/06/11 DATE: 11-222 DRAWING NO. SHEET 8 OF 8</p>
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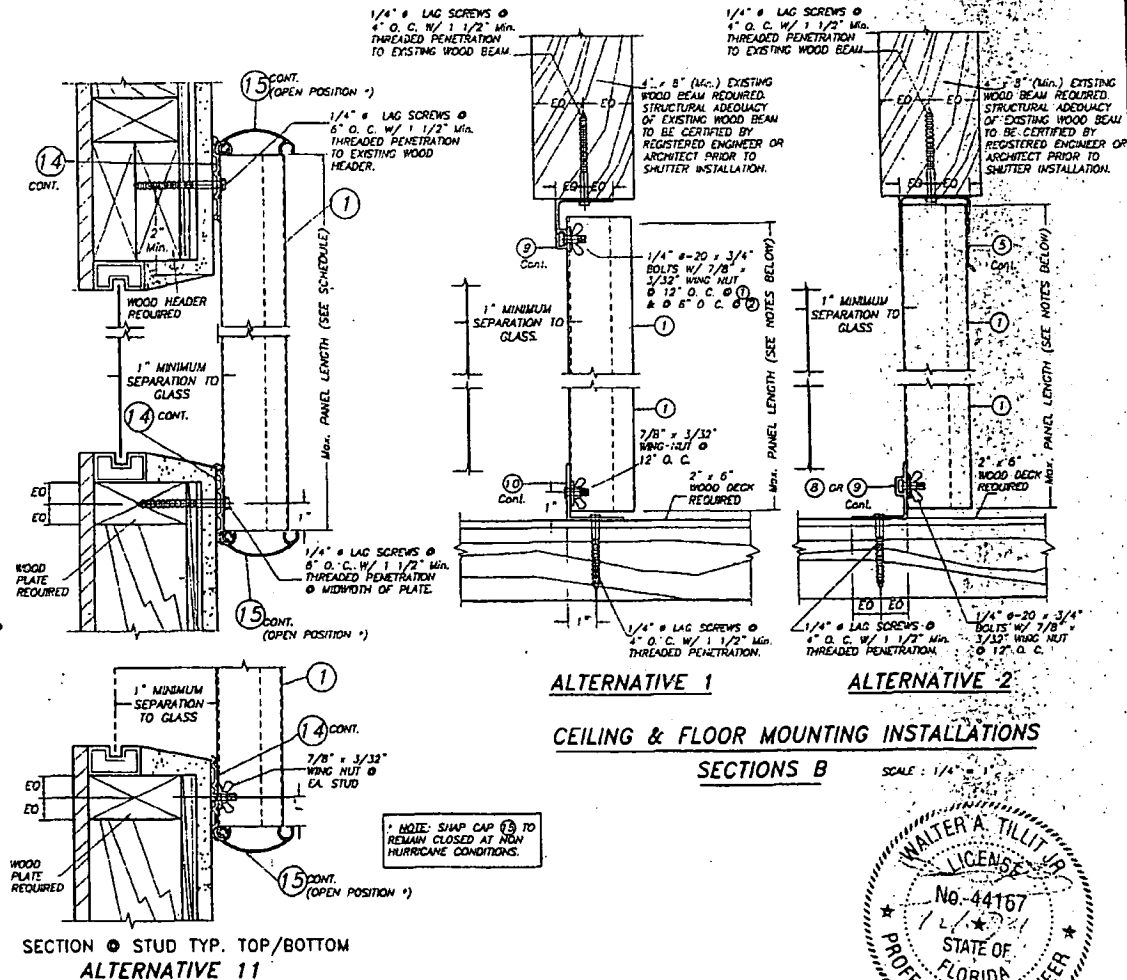
WALL MOUNTING INSTALLATIONS
SECTIONS A SCALE: 1/4" = 1"

NOTE FOR COMBINATION OF SECTIONS:

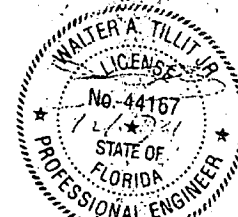
FLOOR/ WALL/ CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

NOTES:

1. INSTALLATIONS ARE ONLY VALID FOR MAX. A.S.D. DESIGN PRESSURE RATING UP TO +85.0, -72.0 psf AND PANEL'S LENGTHS UP TO 9'-0".
2. FOR WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.53 OR EQUAL.



CEILING & FLOOR MOUNTING INSTALLATIONS
SECTIONS B SCALE: 1/4" = 1"



INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS

FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone)

TILECO INC. <small>TILLIT TESTING & ENGINEERING COMPANY 4325 W. JUAN DR., SUITE 202, WEST PALM BEACH, FL 33407 PHONE: (561) 831-1530 FAX: (561) 831-1531 (561) 831-1532 FAX: (561) 831-1531 WALTER A. TILLIT & P.E. FLORIDA LIC. # 44167</small>		0.050" BERTHA ALUMINUM STORM PANEL (2.25" DEEP) EASTERN METAL SUPPLY, INC. <small>4255 WEST ROADS DRIVE WEST PALM BEACH, FL 33407 PHONE: (561) 202-8263 FAX: (561) 241-1718</small>	L.G./R.E./L.G. DRAWN BY: 12/04/11 DATE: 11-222 DRAWING NO. SHEET 3 OF 9
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Valerie Camlet

From: Kent Hoffman <KHoffman@nuco2.com>
Sent: Monday, December 09, 2013 4:48 PM
To: John Adams; Valerie Camlet
Subject: 42 Rio Vista - Garage Door Shutters
Attachments: DSC01951 A.jpg; DSC01957 A.jpg; DSC01958 A.jpg

John & Valerie,

Good Afternoon !!

John, we have not met yet. Back in April, my wife Shari and I purchased the home at 42 Rio Vista drive. One of these days, we will officially meet. I think you may have already met my wife, as we have been on Sewalls point for the past 2 ½ years.

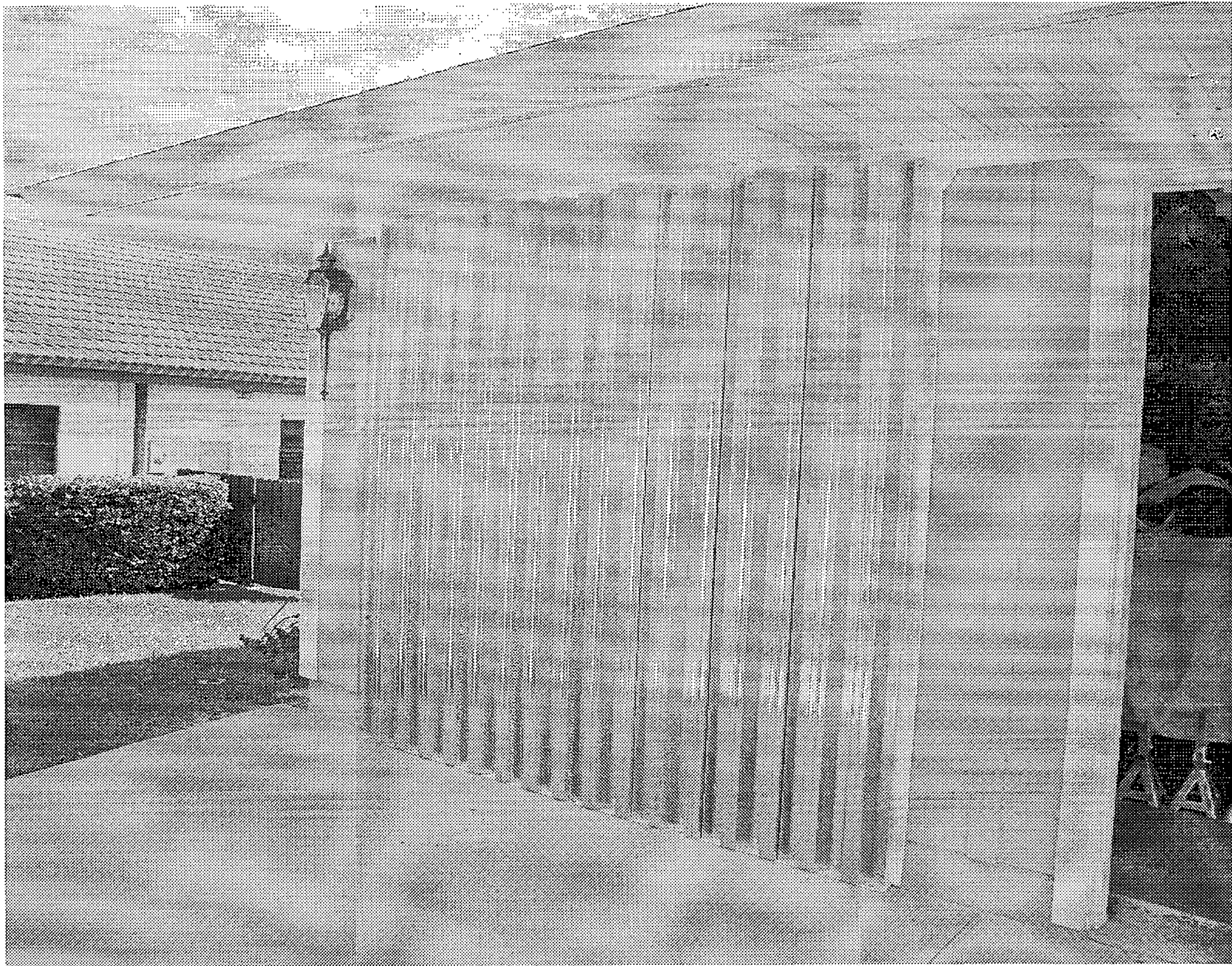
I have been calling Valerie the past few weeks asking about a permit application for my garage door hurricane shutters, through Gulfstream Aluminum. Last week, the permit application was finally filed by Gulfstream. After the work was completed, I went through the exercise of mounting the panels to insure the installation was correct. The panels fit as expected. I do not know what you need for final permit signoff, but I thought I would send a few pictures of the installed panels, to be included with the permit paperwork. I am hoping this will suffice as I have already stored the panels in the garage attic.

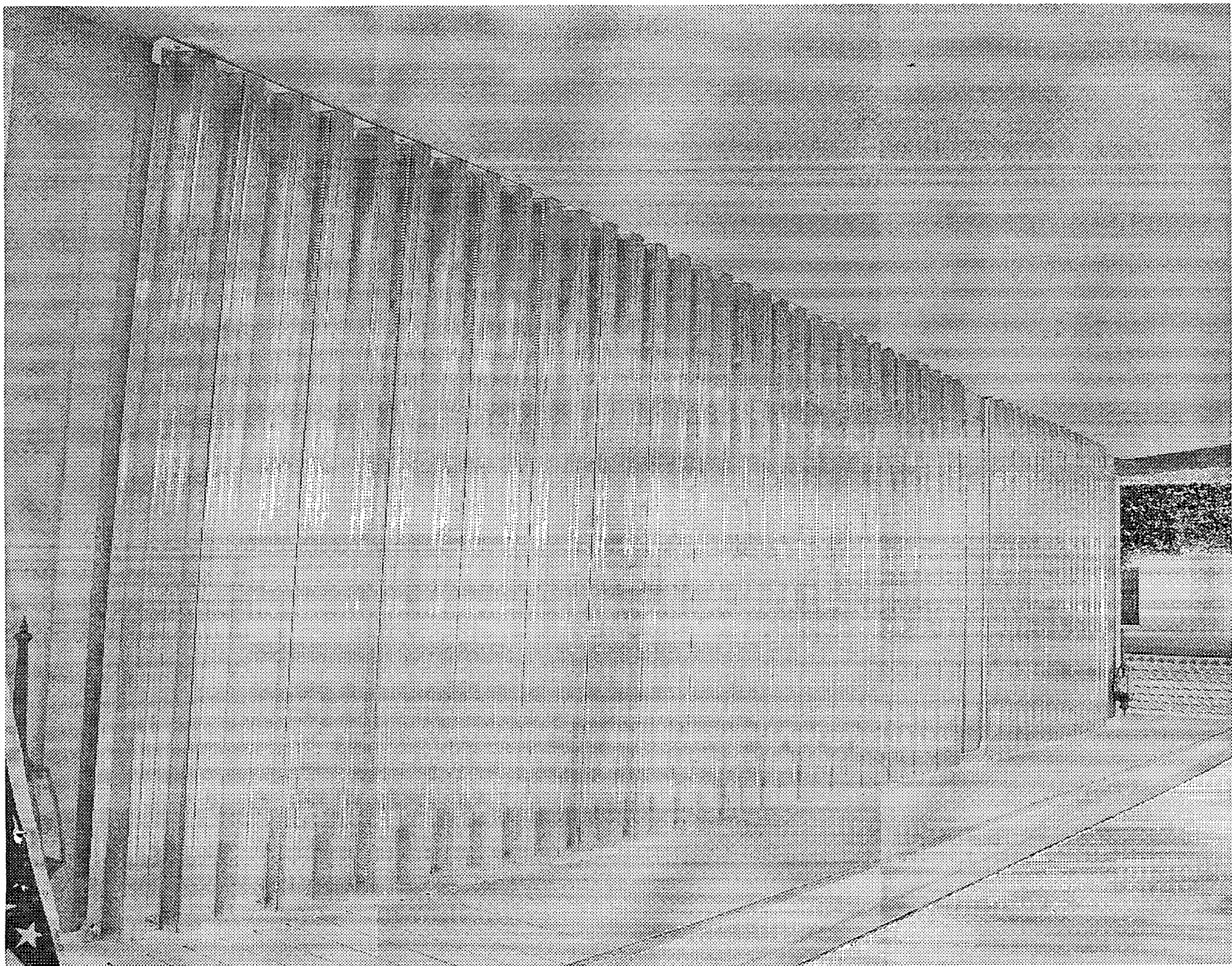
Please feel free to call me if you have any questions and/or concerns.

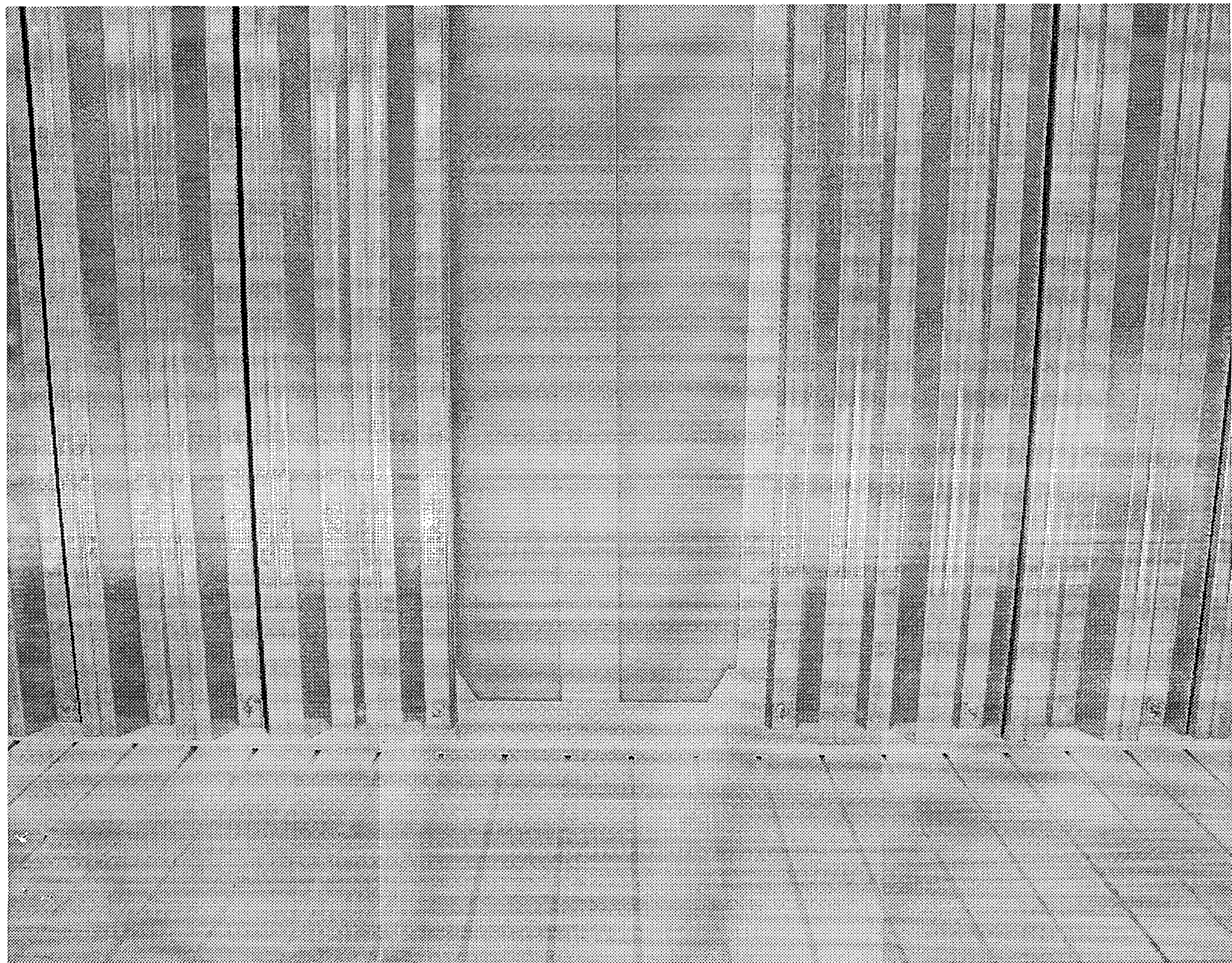
Thanks in advance for your help !!

Take care,

Kent Hoffman
Enterprise Applications Director
NuCO2, Inc.
2800 SE Market Place
Stuart, FL 34997
(O) 772-781-3511
(C) 772-233-3618
(C) 815-954-1497
KHoffman@nuco2.com









TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

IMPACT PROTECTION INSTALLATION AFFIDAVIT

BLDG. PERMIT NUMBER: _____

JOB SITE ADDRESS: 42 Bio Vista

CONTRACTOR/OWNER: Gulfstream Aluminium & Shutter Corp

PHONE NUMBER: 772-287-6476

QUALIFIER NAME: John L. O'Brien

LICENSE NUMBER: CRC058017

I John L. O'Brien, do hereby affirm:
Owner or Contractor – Please print name

The following impact protection was used as per the 2010 FBC 1609.1.4 for all exterior glazed openings at the above referenced job site.

☐ Impact Resistant Glass

☒ Approved Shutters

That I personally observed the complete installation of all hurricane panel/shutters on the above referenced project and further affirm that they are fitted properly for the openings they are intended to protect.

John L. O'Brien Date: 23 Oct 2013
Signature of Owner or Contractor

Sworn to and subscribed before me this

23 Day of October 20 13

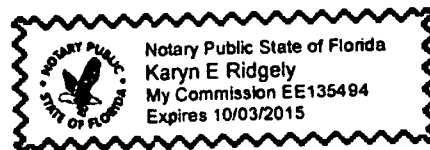
By John L. O'Brien

Notary Public, State of Florida Notary Seal/Stamp

Personally known to me Y

Produced ID _____

Type _____



Sewall' Point Building Department will inspect the structural attachment of the panel rails and/or the shutter assembly attachment to the building, per the manufacturer's product approvals, ASCE 7 and the 2010 Florida Building code at final inspection.

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection ☐ Mon ☐ Tue ☐ Wed ☒ Thur ☐ Fri 1-16-14 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10733	Hoffman	gutter		
	42 Red Vista Dr	shutter	PASS	
	Gulfstream Alum	on garage		
		we have pictures		INSPECTOR <i>AT</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10728	Smith	electric rough		
1st	2 Heritage Way		PASS	
	Smith Bros			INSPECTOR <i>AT</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	McKee	Ridge		
	31 W High Pl		<i>OK</i>	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10732	Qarvan			
	86 N. Spruce	Dug in/mem	PASS	
	Pinnacle Roofing			INSPECTOR <i>AT</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

Permit 10733

Hoffman

Karen - Gulfstream Alum -

287-6476

2/3/14

Advised
Passed

11253
PAVER PATIO
& WALK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW
FROM THE STREET PRIOR TO BEGINNING ANY WORK**

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	11253	DATE ISSUED:	April 21, 2015
SCOPE OF WORK:	Paver Patio & Walkway		
CONTRACTOR:	Felice Giuliani Hardscape Landscape		
PARCEL CONTROL NUMBER:	12-38-41-002-000-00890-0	SUBDIVISION:	Rio Vista Lot 89
CONSTRUCTION ADDRESS:	42 Rio Vista Drive		
OWNER NAME:	Hoffman		
QUALIFIER:	Renee Delahunty	CONTACT PHONE NUMBER:	225-3837

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
CALL 287-2455 - 8:00AM TO 4:00PM**

INSPECTIONS: 9:00AM TO 3:00PM – MONDAY THROUGH FRIDAY

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	11253		
ADDRESS:	42 Rio Vista Drive		
DATE ISSUED:	4/21/2015	SCOPE OF WORK:	Paver Patio & Walkway

SINGLE FAMILY OR ADDITION /REMODEL		Declared Value	\$	
---	--	-----------------------	-----------	--

Plan Submittal Fee (\$350.00 SFR, Remodel >\$200K)		\$	
Plan Submittal Fee (175.00 Remodel <\$200K, Tennant Improvement)		\$	
Plan Submittal Fee (100.00 Remodel <\$100k)		\$	
Total square feet air-conditioned spa @ per sq. ft. s.f.		\$	-
Total square feet non-conditioned space, or interior remodel: @ per sq. ft. s.f.		\$	-
Total square feet remodel with new trusses: @ per sq. ft. s.f.		\$	-
Total Construction Value:		\$	\$ -
Building fee: (2% of construction value SFR or >\$200K)		\$	n/a
Total number of inspections (Value < \$200K) \$ 150.00 per insp. # insp		\$	-
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	n/a
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	n/a
Technology Fee: (0.04% of Construction Value - \$5 min)			n/a
Road impact assessment: (0.4% of construction value - \$20 min.)			n/a
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	\$ -

ACCESSORY PERMIT	Declared Value:	\$	\$ 6,686.00
Total number of inspections: @ \$ 150.00 per insp. # insp		\$	150.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	\$ 2.25
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	\$ 2.25
Technology Fee (0.04% of Construction Value - \$5 min.)			\$ 5.00
Road impact assessment: (0.4% of construction value - \$20 min.)			\$ 26.74
TOTAL ACCESSORY PERMIT FEE:		\$	186.24

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

Date: _____

Permit Number: 11253

OWNER/LESSEE NAME: Kent Hoffman

Phone (Day) _____

(Fax) _____

Job Site Address: 42 Rio Vista Dr.

City: Sewall's Pt.

State: FL

Zip: _____

Legal Description: Lot 89, Rio Vista

Parcel Control Number: 12-38-41-002-000-00890-0

Fee Simple Holder Name: _____

Address: _____

City: _____

State: _____

Zip: _____

Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):**

Paver Patio + Walk

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application)

YES ☐

NO ☒

Has a Zoning Variance ever been granted on this property?

YES ☐ (YEAR) _____

NO ☐

(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 6,686.00

(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10 ☐ AE9 ☐ AE8 ☒

FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:

Estimated Fair Market Value prior to improvement: \$ _____

(Fair Market Value of the Primary Structure only, Minus the land value)

PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Felice Giovanni Landscape Phone: 772-225-3837 Fax: 772-405-8102

Qualifiers name: Bence Delahunt Street: 3919 NE Skyline Dr City: Jensen Beach State: FL Zip: 34957

State License Number: _____

OR: Municipality: _____

License Number: MC PB 6348

LOCAL CONTACT: Bence Delahunt

Phone Number: 772 708-2002

DESIGN PROFESSIONAL: _____

Fla. License# _____

Street: _____

City: _____

State: _____

Zip: _____

Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof: _____ Elevated Deck: _____ Enclosed area below BFE: _____

* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - 5.

*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE:

X _____
State of Florida, County of: _____
On This the _____ day of _____, 20____
by _____ who is personally
known to me or produced _____
As identification, _____

Notary Public

My Commission Expires: _____

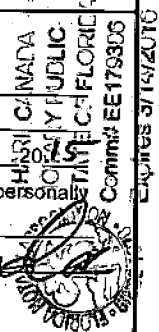
CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:

X Rence Delahunt
State of Florida, County of: Martin
On This the 1 day of April
by Rence Delahunt who is personally
known to me or produced FL DL
As identification, Handwritten

Notary Public

My Commission Expires: 03/14/2016

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #:

TAX FOLIO #:

12-38-41-002-000-00890-0

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):

GENERAL DESCRIPTION OF IMPROVEMENT:

OWNER NAME:

ADDRESS:

PHONE NUMBER:

FAX NUMBER:

INTEREST IN PROPERTY:

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR:

ADDRESS:

PHONE NUMBER:

FAX NUMBER:

SURETY COMPANY (IF ANY):

ADDRESS:

PHONE NUMBER:

FAX NUMBER:

BOND AMOUNT:

LENDER/MORTGAGE COMPANY:

ADDRESS:

PHONE NUMBER:

FAX NUMBER:

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME:

ADDRESS:

PHONE NUMBER:

FAX NUMBER:

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES

OF

TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B).

FLORIDA STATUTES:

PHONE NUMBER:

FAX NUMBER:

EXPIRATION DATE OF NOTICE OF COMMENCEMENT:

(EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

SIGNATORY'S TITLE/OFFICE:

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS

24 DAY OF April 2015

BY:

Kent Hoffman

AS

Owner

FOR

NAME OF PERSON

TYPE OF AUTHORITY

NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN ☒ OR PRODUCED IDENTIFICATION ☐

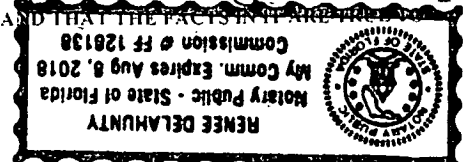
TYPE OF IDENTIFICATION PRODUCED

Renée Delahunty

NOTARY SIGNATURE/ SEAL

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

(Signature of Natural Person Signing Above)



STATE OF FLORIDA
MARTIN COUNTY
THIS IS TO CERTIFY THAT THE
FOREGOING PAGE(S) IS/ARE A TRUE
AND CORRECT COPY OF THE ORIGINAL
DOCUMENT AS FILED IN THIS OFFICE
BY Sumner
CAROLYN TIMMANN, CLERK
DATE 5-13-15 D.C.



INSR # 2514693 DR BK 2783 PG 1812 RECD 05/13/2015 12:44:19 PM
(1 Pgs)
CAROLYN TIMMANN, MARTIN COUNTY CLERK
DEED DOC \$0.00, MTG DOC \$0.00, INTANGIBLE \$0.00

Search	<input type="text" value="felice"/>	Display	15 <input type="button" value="v"/>	<input type="button" value="Go"/>					
Contractors List <input type="button" value="Reset"/>									
<u>Name</u>	<u>License Type</u>	<u>Company</u>	<u>License & Exp</u>	<u>Status</u> <input type="checkbox"/>	<u>Address</u>	<u>City</u>	<u>Phone Number</u>	<u>Liability & Exp</u>	<u>Wk Comp & Exp</u>
DELAHUNTY, RENEE L	PAVER BLOCK - MC	FELICE GIULIANI HARDSCAPE LANDSCAPE LLC	MCPB6348 (30-SEP-15)	ACTIVE	3919 NE SKYLINE DR	JENSEN BEACH FL 34957	772-708- 2002	CATHY MOSS (29-APR- 15)	CATHY MOSS (21-MAR- 16)
1 - 1									
Download Spread Sheet									

FELICE GIULIANI**LICENSE # MCPB634, 27234, U21972****HARDSCAPE /LANDSCAPE****LLC****PROPOSAL**

Submitted To: Kent Hoffman	Phone: 815-954-1497
Address: 42 Rio Vista Dr.	Date: 3/24/2015
City, State, Zip Sewalls Pt., FL	EMAIL: Khoffman540@frontier.com
Homeowner will be responsible for unforeseen circumstances such as buried construction debris, rock and roots and high depth to bedrock. Patios and walkways are warranted for foot traffic only. Permit costs and notice of commencement , if any, not included in the price of the job.	1173 sq. ft. 3 pc Castle x 2 3/8 <i>Old Chicago Brown</i>

If permits are required, we agree to obtain the permits, provide workers compensation, furnish the materials and perform the labor necessary for the following construction project:

Saw cut driveway at crack and remove existing concrete walk. Dig out 8" unstable or unsuitable materials in front walk, dig to extend front patio 1', and rear yard (per drawing provided by homeowner). Compact sub-base. Supply and place 4" recycled concrete base materials. (Install an 8" base in the semi-circular area of the rear patio.) Supply and set full size pavers atop 1.25" bedding sand, aligning and spacing them correctly. Sweep sand into the joints. Cement all edges.

TOTAL \$6,686.00

Any alteration or deviation from above specifications involving extra costs will be executed, only upon written orders, and will become an extra charge over and above the estimate. All agreements are contingent upon strikes, or delays beyond our control. This bid proposal is guaranteed 30 days and does not include sealer unless specified in bid proposal. If litigation occurs between the parties as a result of this contract the prevailing party shall be entitled to recover attorney fees and all court costs. This agreement shall be governed and constructed under the laws of the State of Florida.

ACCEPTANCE OF PROPOSAL

* Note: On front stoop do 6x9 border existing patio edge to garage going through walkway. Walk way a different paver to distinguish patio from walk.

The above prices, specifications, and conditions are satisfactory and are hereby accepted. Payments will be made as outlined and you are authorized to perform the work:

Submitted by: Renee DelahuntyDate: 4, 1, 20151st Payment 50%: paid upon signing contractClient Signature 2nd Payment 50%: paid upon completion of job

Client Signature: _____

3919 NE Skyline Dr. Jensen Beach, FL 34957 Telephone 772-708-2002 or 772-905-7575 FAX 772-405-8102

EMAIL : felicegiulianihardscape@live.com

I would like to take this opportunity to thank you for allowing me to submit this bid.



N & TT NAIL & TIN TAB

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection ☐ Mon ☐ Tue ☐ Wed ☒ Thur ☐ Fri 5/14/15 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11174	Chodera	Window/		Close
	54 N River Road	Door Final	PASS	
	Florida Home Improvement			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11223	Dunn	Final		
	31 N River Rd	Wood Trellis	PASS	Close
	Winchip			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11146	Batson	Wire		
	3 Palmetto Drive	Lath	PASS	
	O/B			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11253	Hoffman			
	42 Rio Vista Drive	Final Pavers	PASS	Close
	Felice Giuliani Hardscape			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
10672	Duke	Underground		
	25 Island Road	gaslines + Tank	PASS	
	CDE Bldrs			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
10694	Westcott	Partial		
PM Requested	53 N River Rd	Planter Footer	RESET	NOT READY
	San George			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TREE PERMITS

TOWN OF SEWALL'S POINT, FLORIDA

Date 12/14 19 99 TREE REMOVAL PERMIT No 284

APPLIED FOR BY JOHN OWENS 'I DO IT ALL' (Contractor or Owner)

Owner JANET THURSTON 42 RIO VISTA

Sub-division RIO VISTA, Lot 89, Block _____

Kind of Trees MELALEUCA

No. Of Trees: REMOVE 3

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS 12/13/99 INSPECTION; VERIFIED SPECIES & LOCATION (SEE SKETCH ON BACK OF APPLICATION)

Signed, [Signature] Applicant FEE \$ - 0 -
Signed, [Signature] Town Clerk BLING APPROVAL

TOWN OF SEWALL'S POINT

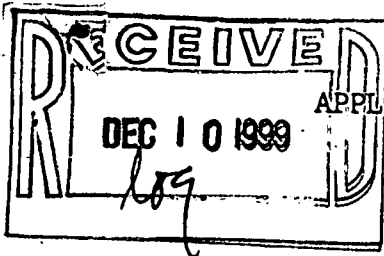
Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M.—NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

PROJECT DESCRIPTION _____

REMARKS _____



TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Permit # 284
Date Issued 12/19/99

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner Janet Thurston Address 42 Rio Vista Phone (561) 286-4514
Contractor John OWENS Address 841 E 14th Phone 286-4060
I DO IT ALLNumber of trees to be removed (list kinds of trees) Big MELALEUCA TREES
3 TREES, REMOVALNumber of trees to be relocated within 30 days (no fee) (list kinds of trees):
DON'T HAVE TO BE REPLACED
Number of trees to be replaced (list kinds of trees):Permit Fee \$ NO FEE ~~(\$25.00)~~ -- first tree plus \$10.00 - each additional tree - not to exceed \$100.00.

(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted X Plans approved, as marked

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant Janet Thurston Date submitted 12/13/99Approved by Building Inspector [Signature] Date 12-9-99

Approved by Building Commissioner _____ Date _____

Completed _____ Date _____ Checked by _____
12/13/99 FILED INSPECTION - verified location & species. OK for no-fee permit.

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT OBTAINING A PERMIT. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?

7/11/2008
C. J. GED
24

Rico V. S. 1/20
Road

Decks - 4x8

Grass
Palm

This is
the tree
by wall to
be removed



42
House

Grass

There is a wall to be removed
by the tree
to be removed

