

49 Rio Vista Drive

Permit No. 1190

Date 5 Aug 80

APPLICATION FOR A PERMIT TO BUILD A HOUSE OR COMMERCIAL BUILDING

This application must be accompanied by three sets of complete plans, to scale, (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections; plumbing, electrical and air-conditioning layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house or commercial building construction.

Owner GUSTAV SCHICKEDANZ, TRUSTEE Present address 2300 SE OCEAN BLVD

Phone 283-0060 GUSTAV SCHICKEDANZ STUART FL

General contractor SCHICKEDANZ BROS FLA Address SAME AS ABOVE

Phone SAME AS ABOVE

Where licensed STATE License No. CGCA 15077

Plumbing contractor WEDINGER License No. COUNTY 024

Electrical contractor WOFF License No. " 00011

Air-conditioning contractor Recht License No. " 00123

Describe the building, or alteration to existing building SINGLE FAMILY Dwelling with Pool

Name the street on which the building, its front building line and its front yard will face RIO VISTA DR

Subdivision RIO VISTA Lot No. 96 Area 49 Rio Vista Drive

Building area, inside walls (excluding garage, carport, porches, pools, etc.)...square feet 1870

Contract price (excluding land, carpeting, appliances, landscaping, etc.) \$ 76,000⁰⁰

Cost of permit \$ 260 ^{P 410⁰⁰} Plans approved as submitted or, as marked SEE CORRECTIONS

I understand that this permit is good for 12 months from the date of its issue and that the building for which this permit is issued must be completed within that time and in accordance with the approved plans. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. I agree that the building site will be clean and rough-graded before a Certificate of Occupancy is sought, and, moreover, that I shall be responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply with the above requirements may result in a Building Inspector or a Town Commissioner "Red-tagging" the building project.

Contractor [Signature] for Schickedanz Bros

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood, as required by the Town's zoning ordinance.

Owner [Signature] for G. Schickedanz, Trustee

Note: Speculation builders will be required to sign both of the above statements.

TOWN RECORD

Date submitted _____

Approved by Building Inspector (date) 8/11/80 Inspector's initials Jam

Approved by Town Commissioner (date) 8/11/80 Commissioner's initials AS

Certificate of Occupancy issued (date) _____

"U" VALUE CALCULATIONS FOR SUB ASSEMBLIES

Schickedanz Bros. 2300 SE Ocean Blvd. Stuart Lot 96 Rio Vista S/D 7/25/80

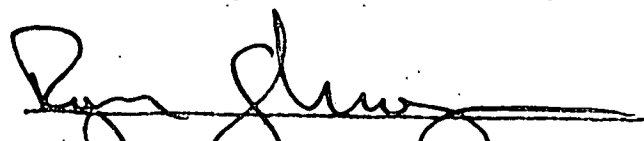
TYPE ASSEMBLY	CONC. BLOCK		FRAME		CEILING		Sewall's Point	
	R VALUE	R VALUE	R VALUE	R VALUE	R VALUE	R VALUE	R VALUE	R VALUE
	FRAMING	CAVITY	FRAMING	CAVITY	FRAMING	CAVITY	FRAMING	CAVITY
FILM EXTERIOR	.17	.17	.17	.17	.61	.61		
SURFACE TREATMENT	.10	.10	///	///	///	///		
OUTER SHEATING	1.04	1.04	.45	.45	///	///		
FRAMING	.94	///	4.35	///	15.00	///		
CAVITY: A. INSULATION	6.00	6.00	///	11.00	///	19.00		
B. AIR SPACE	///	1.01	///	///	///	///		
interior SURFACE	.45	.45	.45	.45	.45	.45		
AIR FILM INSIDE	.68	.68	.68	.68	.68	.68		
OTHER								
R _v = TOTAL	9.38	9.45	6.10	12.75	16.74	20.74		
U _o = 1/R TOTAL	.107	.106	.164	.078	.060	.048		

U_o (OVERALL "U" VALUE (ENVELOPE CALCULATIONS))

TYPE OF ASSEMBLY	DESCRIPTION	ARES	GROSS AREA RATIO	"U" VALUE	"U" X RATIO
GROSS WALL		2028			
GLASS	WINDOWS/DOORS	325	.16	1.13	.181
DOORS	WOOD	72	.03	.49	.015
BLOCK WALL	1074	FUR	107	.05	.107
		CAVITY	967	.48	.106
FRAME WALL	557	STUDS	56	.03	.164
		CAVITY	501	.25	.078
		TOTAL WALL "U" VALUE =			(.277)
CEILING	TRUSS	187	.10	.060	.006
GROSS /	CAVITY	1681	.90	.048	.043
1868		TOTAL CEILING "U" VALUE =			(.049)
THIS CODE HOUSE	WALLS	2028	.52	.277	.144
GROSS/GROSS	CEILING	1868	.48	.049	.024
3896		TOTAL CODE HOUSE "U" VALUE =			.168
		THIS HOUSE COMPLIES LESS THAN			.175/.35

I hereby Certify that the Design and Construction of this building comply with the Applicable Thermal Energy Efficiency Standard as Required in Part VII, Chapter 553, Florida Statutes. I understand that falsification of this application may subject me to Prosecution under the Law.

BANDY INSULATION, INC.
303 Candice Avenue
Jensen Beach, Fla. 33457


Signature of Owner, or Owners,
Authorized Agent



STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

APPLICATION FOR SEPTIC TANK PERMIT
AND FINAL INSPECTION FORM

Permit VOID if well or
system is installed in a loc
other than area permit
PRIOR HEALTH DEPARTMENT
APPROVAL REQUIRED

Authority:
Chapter 383, 386, 387 FS
Chapter 10D-6 FAC

DATE 05.80 Permit Number HD 80-548

Name of Applicant SCHICKEDANT BROS OF FLORIDA Telephone No. 305-222-9260
Mailing Address of Applicant 2300 S.E. OCEAN BLVD STUART 33474
To Be Installed At (Give Street Address) RIO VISTA DR. SEWALL'S POINT
Lot No. 36 Block No. 1 Subdivision RIO VISTA Plat Book 60 Page 35 Marine Cove LOT 5
Size of Lot 28 By 162 No. Living Units 1 No. Bedrooms 3 No. Bathrooms 2
Type of Building 1 No. Toilets 1 No. Wash Basins 1 No. Sinks 1
Total Square Feet of Building 1
Notes: See location map and other supporting documents

SITE INFORMATION

Water supply NONE Distance to Stream, Lake, Canal 600
Water supply 35' S of Front Property Distance to Private Wells SEE ATTACHED DATA
Elevation N/A Does site have good natural drainage? NO
For Direction South Any Perimeter Ditches? NO
Depth to Water in Well N/A
Compass Bearing North 500' East 35' South 400' West
Soil Profile PKV

SOIL PROFILE AND PERCOLATION DATA

Water Table A
Hard Pan A
Clay A
Soil Classification PKV
Percolation Rate PKV

See Attached Data Sheet

INSTALLATION SPECIFICATIONS

Drain Tile (Inlet Ft) 900
Sand Filter Size (Sq Ft) 225
Absorption Bed Size (Sq Ft) 225
Natural Drainfield Size (Sq Ft) 225

RECOMMENDATION: Approval Disapproval

04.80
Date Processed

THIS PERMIT IS VALID FOR ONE YEAR FROM DATE OF ISSUANCE
County Health Director

FINAL INSPECTION DATA

Drainfield Size 225 No. Tile Feet 225
Grease Trap Size 225 Sand Filter Size 225

RECOMMENDATION: Approval Disapproval

Signature of Sanitarian

Location of Job: East on E Ocean Blvd. South on S Ocean Blvd.
West on Rio Vista Dr. SE on S River Rd.
Rio Vista Dr (south loop) Lot 15 on north side

Arthur Gandy

RECEIVED

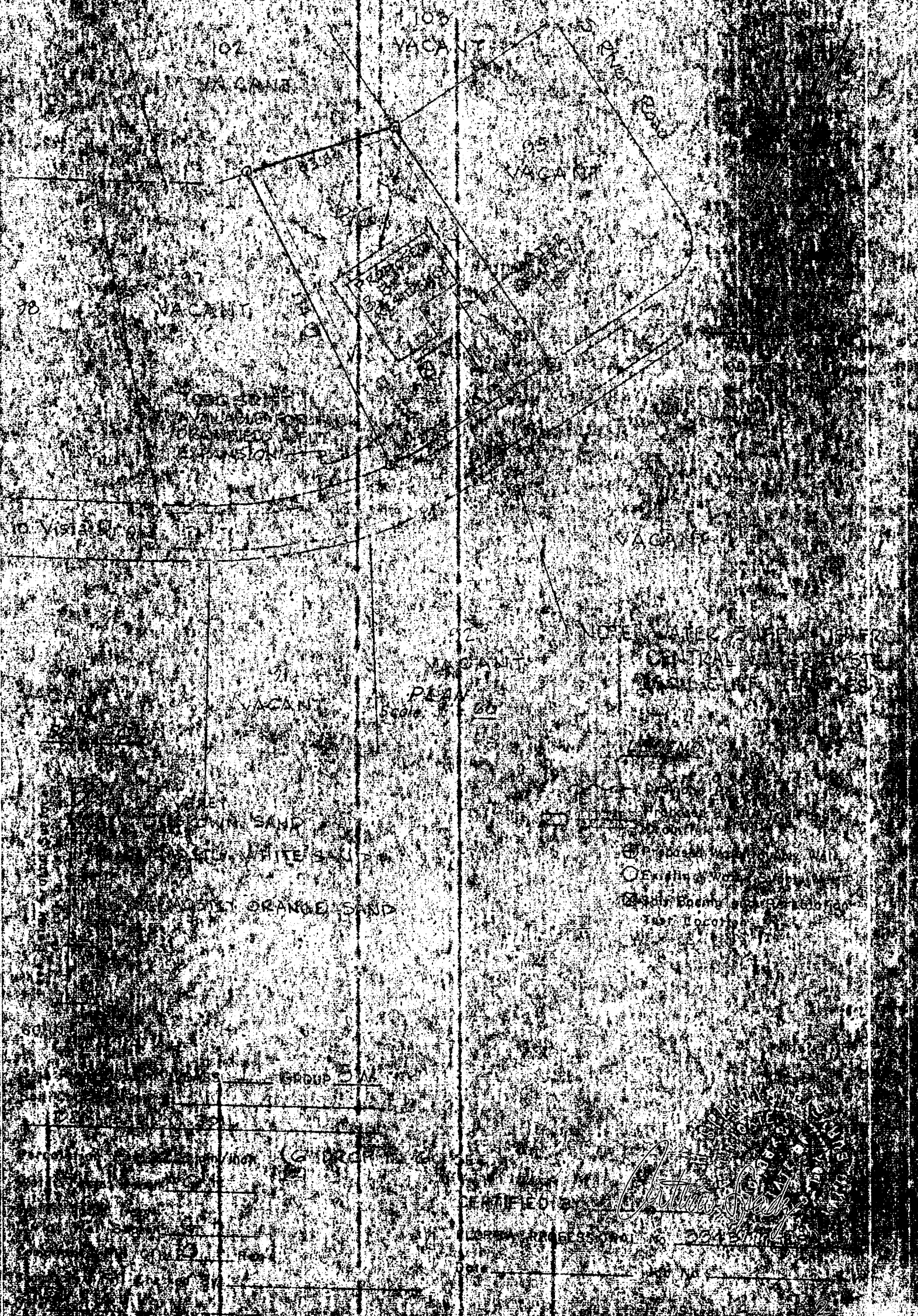
AUG 4 1980

MARTIN COUNTY
HEALTH DEPT.

INDIVIDUAL SEWAGE DISPOSAL FACILITIES
DATA SHEET

100 RIO VISTA DR. RIO VISTA S/D Applicant: Schickedanz Bros of Fla
DEWALLEY POINT County: MARTIN

Septic tank system is not located within 50 feet of the high water line of a lake, stream, canal, or other waters; not within 25 feet of any private well; not within 100 feet of any public water supply; not within 10 feet of water supply pipes; not within 100 feet of any public sewer system.



TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 1/5/81

This is to request that a Certificate of Approval for Occupancy be issued to SEKICKADANZ
For property built under Permit No. 1190 Dated 8/14/80 when completed in
conformance with the Approved Plans.

Ryan Meyer
Signed

RECORD OF INSPECTIONS

Item	Date	Approved by
Set-backs and footings	10/13/80	<u>Jerry</u>
Rough plumbing	9/22/80	
Slab	9/23/80	
Perimeter beam	10/13/80	
Close-in, roof and rough electric	11/7/80	
Final Plumbing	1/5/81	
Final Electric	1/5/81	
<u>INSULATION</u>	<u>11/19/80</u>	
Final Inspection for Issuance of Certificate for Occupancy.		

Approved by Building Inspector J. Amey date 1/5/81
Approved by Building Commissioner H. C. Trubell date 1/8/81

Utilities notified Jan 5, 1981 date

Original Copy sent to _____

(Keep carbon copy for Town files)

Rio Vista ... homes of distinction ...

SCHICKEDANZ

Residential Contractors

2300 S.E. OCEAN BOULEVARD
STUART, FLORIDA 33494
Telephone (305) 283-0060

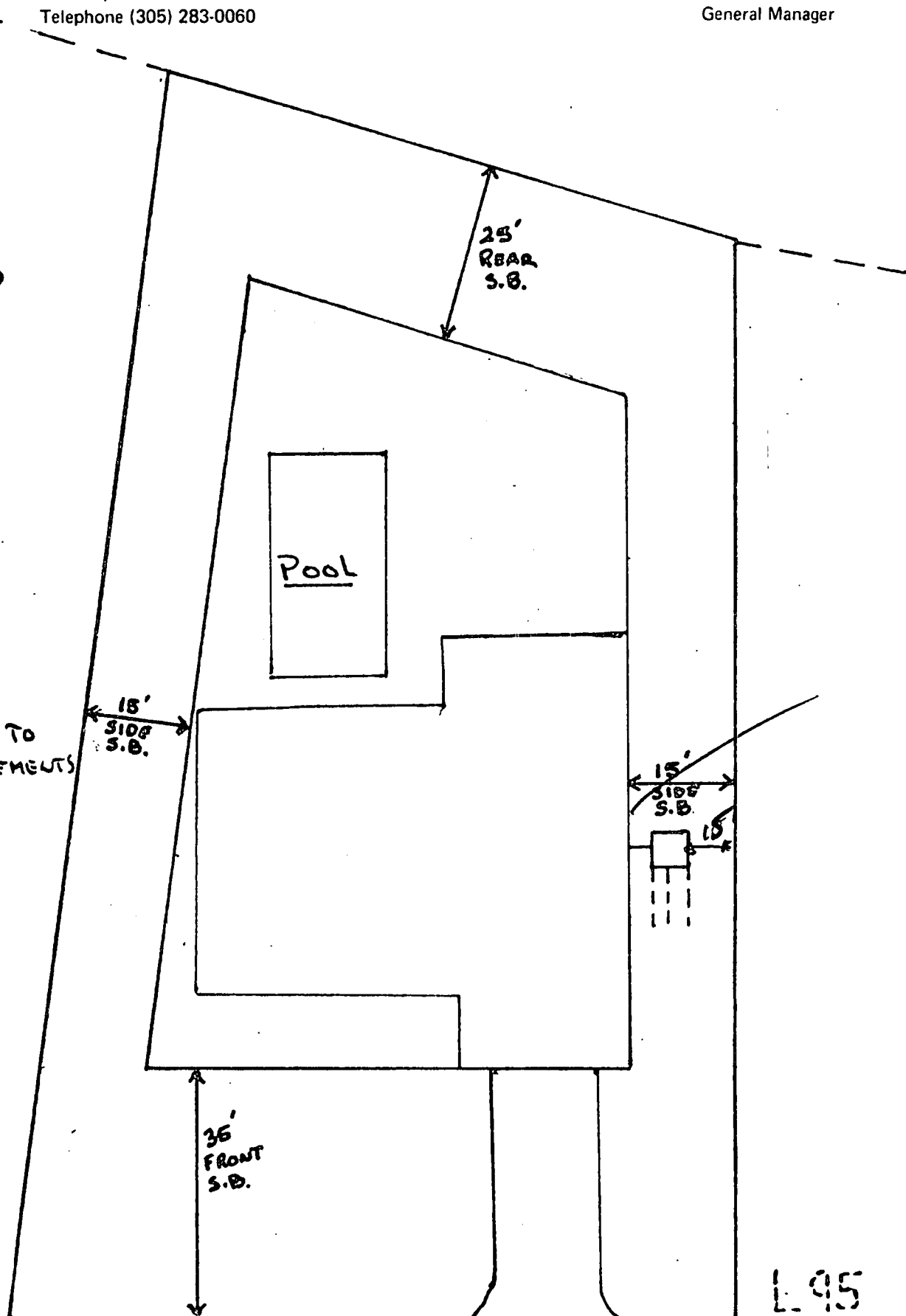
 OCEAN EAST MALL

ROGER G. MORGAN
General Manager

Lot 96
Rio Vista S/D
SCALE 1" = 20'

NOTE!
TREE REMOVAL TO
ACCOMMODATE IMPROVEMENTS
ONLY.

RIO VISTA DR.
L 97



L 95

1520

POOL

1520

Permit No. _____

Date 10-19-82

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner Mr. Mrs. Waldemar Schickedanz Present address 49 Rio Vista

Phone 283-9972

Contractor Bush Pools Address 3309 Oleander Ave

Phone 287-5902

Where licensed _____ License number _____

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Construct swimming pool

State the street address at which the proposed structure will be built:

49 Rio Vista

Subdivision Rio Vista Lot No. 96

Contract price \$ 7400.00 Cost of Permit \$ 37.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Contractor Evin B. Bush

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Paul Schickedanz

TOWN RECORD Date submitted _____

Approved: [Signature] Building Inspector Date 10/27/82

Approved: [Signature] Commissioner Date 11/3/82

Final Approval given: 1/25/83 Date

Certificate of Occupancy issued Not Required Date

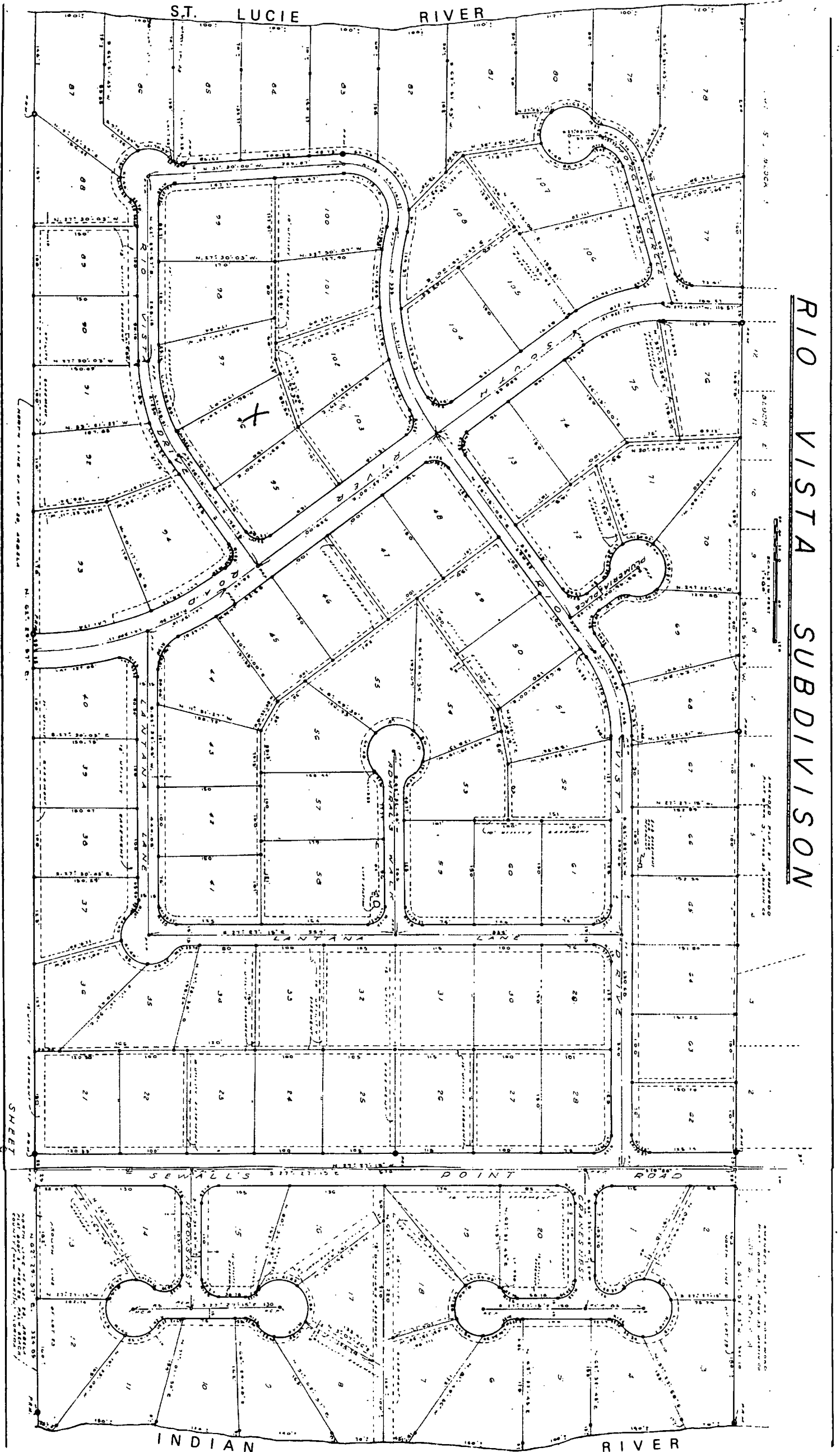
SP/1-79 Steel & Grounding 11/3/82
Patto Steel 11/19/82

RECEIVED
OCT 20 1982
Ans'd.....

7400
3700
1520

S.T. LUCIE RIVER

RIO VISTA SUBDIVISION



INDIAN RIVER

RIVER

1742

FENCE

TOWN OF SEWALL'S POINT, FLORIDA

Permit No. 1742

12/10/84 Fence in Place

Date 9/19

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Wally Schickedanz Present Address 49 Rio Vista

Phone 283-9972

Contractor Propertyguard Fence Co. Address 490 S Flagler Ave

Phone 286-7293

Where licensed Martin County License number ~~0000~~ 00574

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: 250' of 4' high chainlink fence

State the street address at which the proposed structure will be built:

49 Rio Vista St.

Subdivision _____ Lot number 96 Block number _____

Contract price \$ 947 Cost of permit \$ _____

Plans approved as submitted Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Jeff Miller

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner W Schickedanz

TOWN RECORD

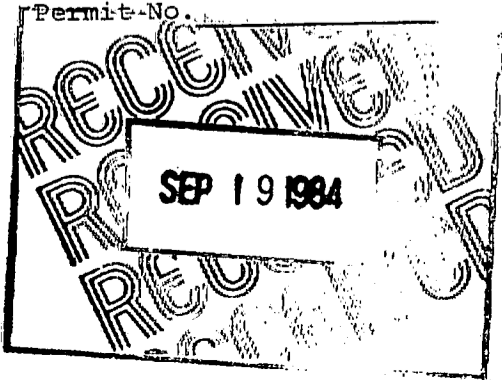
Date submitted 9/19/84 Approved: [Signature] 9/20/84
Building Inspector Date

Approved: [Signature] 9/20 Final Approval given: _____
Commissioner Date Date

Certificate of Occupancy issued (if applicable) _____
Date

SP1282

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.



DATE 9/18/84
 NAME Mrs Schickedanz
 ADDRESS 49 Rio Vista
 CITY Sewalls Pt
 PHONE 283-9972



CHAIN LINK FENCE
 WOOD FENCE
 STEEL FABRICATION

CHAIN LINK FENCE

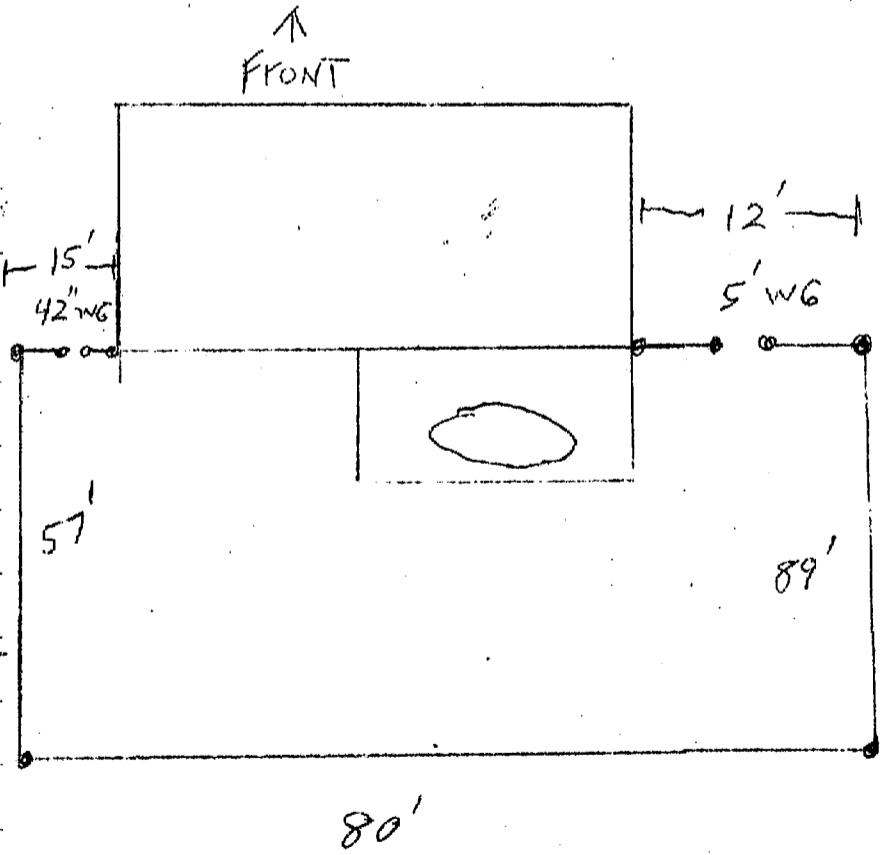
TOTAL FOOTAGE 250' FENCE HEIGHT (48") 60" 72" OTHER _____
 FABRIC: Hot dip galvanized # Aluminized _____ Vinyl Green
 FABRIC GAUGE #9 TOPOGRAPHY: Straight _____ Follow Ground _____
 COMMERCIAL _____ RESIDENTIAL ✓ OTHER _____ Knuckle or Barb _____
 TERMINAL POST 2 1/2 x 6 Weight Sched. Tubing Total Terminals _____
 GATE POST 2 1/2 x 6 Weight Sched. Tubing Total Gate Posts _____
 LINE POST 1 5/8 x 5.6 Weight Sched. Tubing Total Line Posts _____
 TOP RAIL 1 3/8 Weight Sched. Tubing Total Lengths _____
 BRACE RAIL _____ Weight Sched. _____ Total Lengths _____
 TENSION WIRE TOP _____ TENSION WIRE BOTTOM ✓ BARB WIRE _____

GATE FRAMES 1 3/8 Weight Sched. 065 Total Gates _____
1 Walk Gate(s) 4 x 4 1/2
1 Double Gate 5 x 4
 Roll Gate _____
 Other _____

Complete by 9/21/84

MISC. _____

CONTRACT PRICE: 947.00
 LESS DEPOSIT: _____
 BALANCE DUE: _____
 contractor Jeff Mahler
 customer G. Schickedanz
 AMOUNT FINANCED _____
 FINANCE CHARGE _____
 TOTAL TO BE PAID _____



or _____ monthly payments of _____
 _____ ENDING _____
 CUSTOMER _____

2398

REPLACE POOL

ENCLOSURE

Permit No. _____

Date 9-12-88

APPLICATION FOR PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner UWE PETERSON Present Address 49 RIO VISTA DRIVE

Phone 288-4486

Contractor Pioneer Screen Address 3121 SE WALKER ST. STUART

Phone 283-9197

Where licensed MARTIN COUNTY License number SP00409

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: _____

REPLACE POOL ENCLOSURE

State the street address at which the proposed structure will be built: _____

49 RIO VISTA DRIVE

Subdivision RIO VISTA PLAT Book 6 Page 95 Lot number 96 Block number _____
M. County

Contract price \$ 3400 Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Craig Davis

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

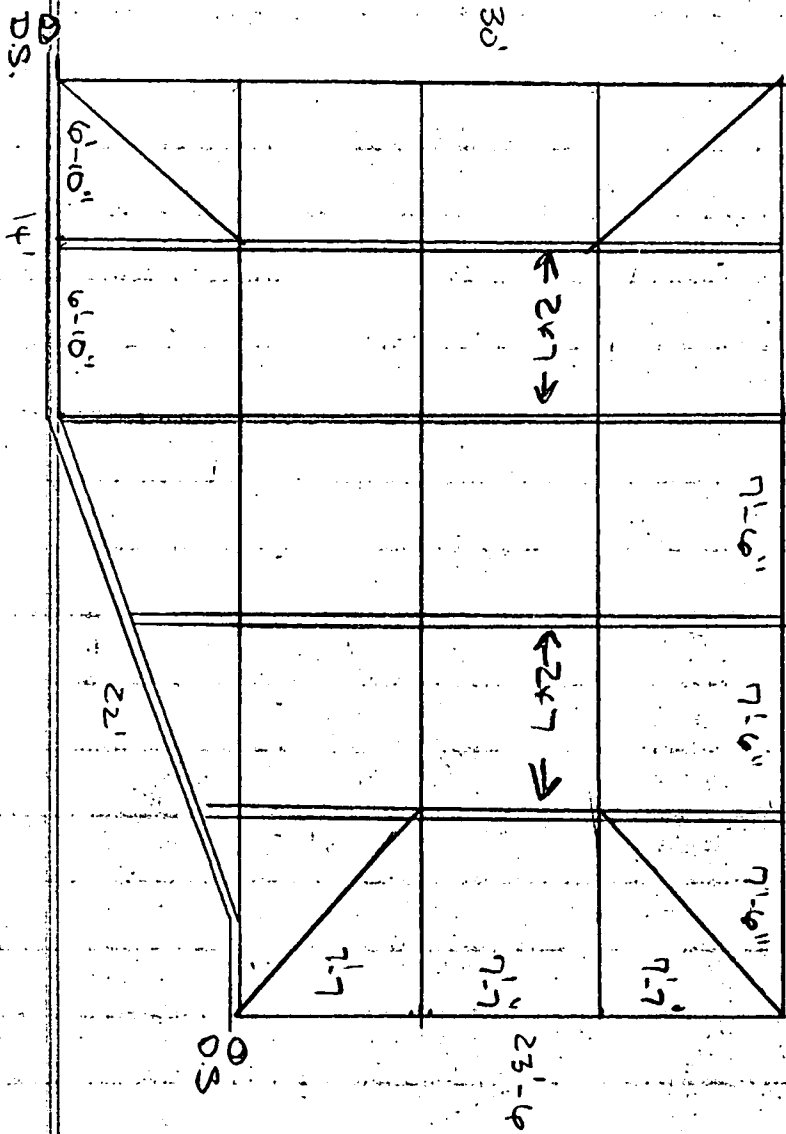
Owner Uwe Peterson

TOWN RECORD

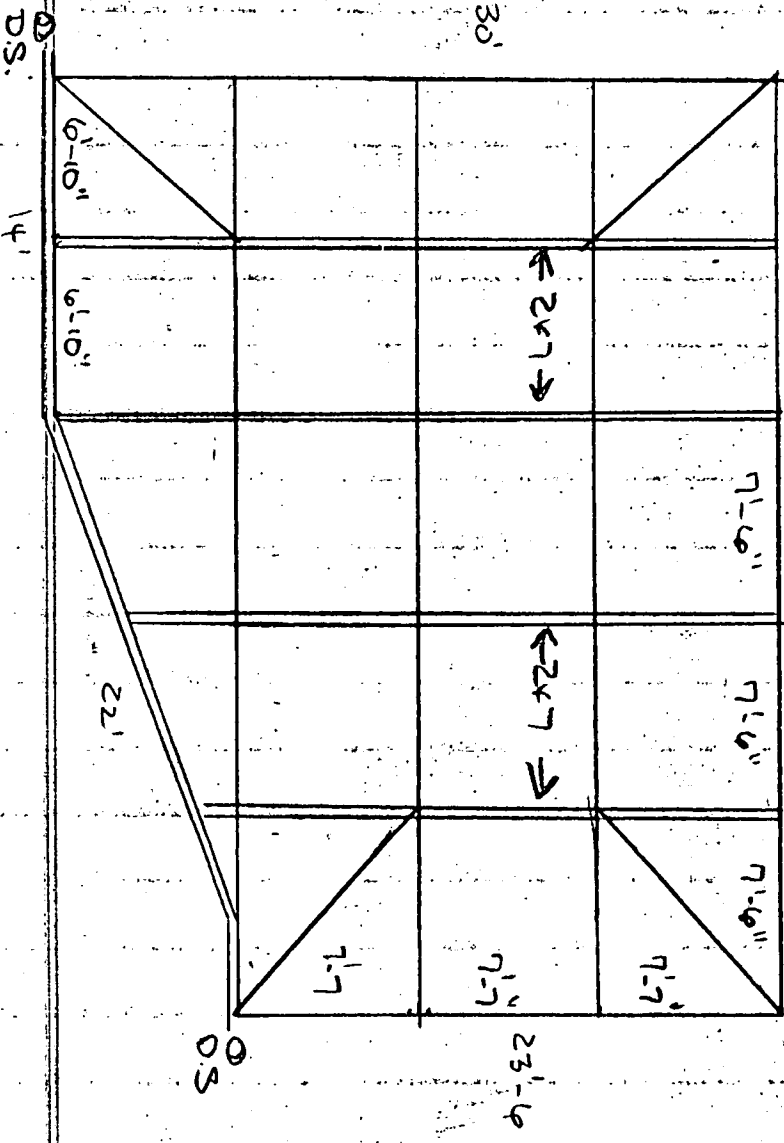
Date submitted _____

Approved: Dale Brown 9/15/88
Building Inspector _____ Date _____

Approved: _____ Commissioner _____ Date _____
Final Approval given: _____ Date _____



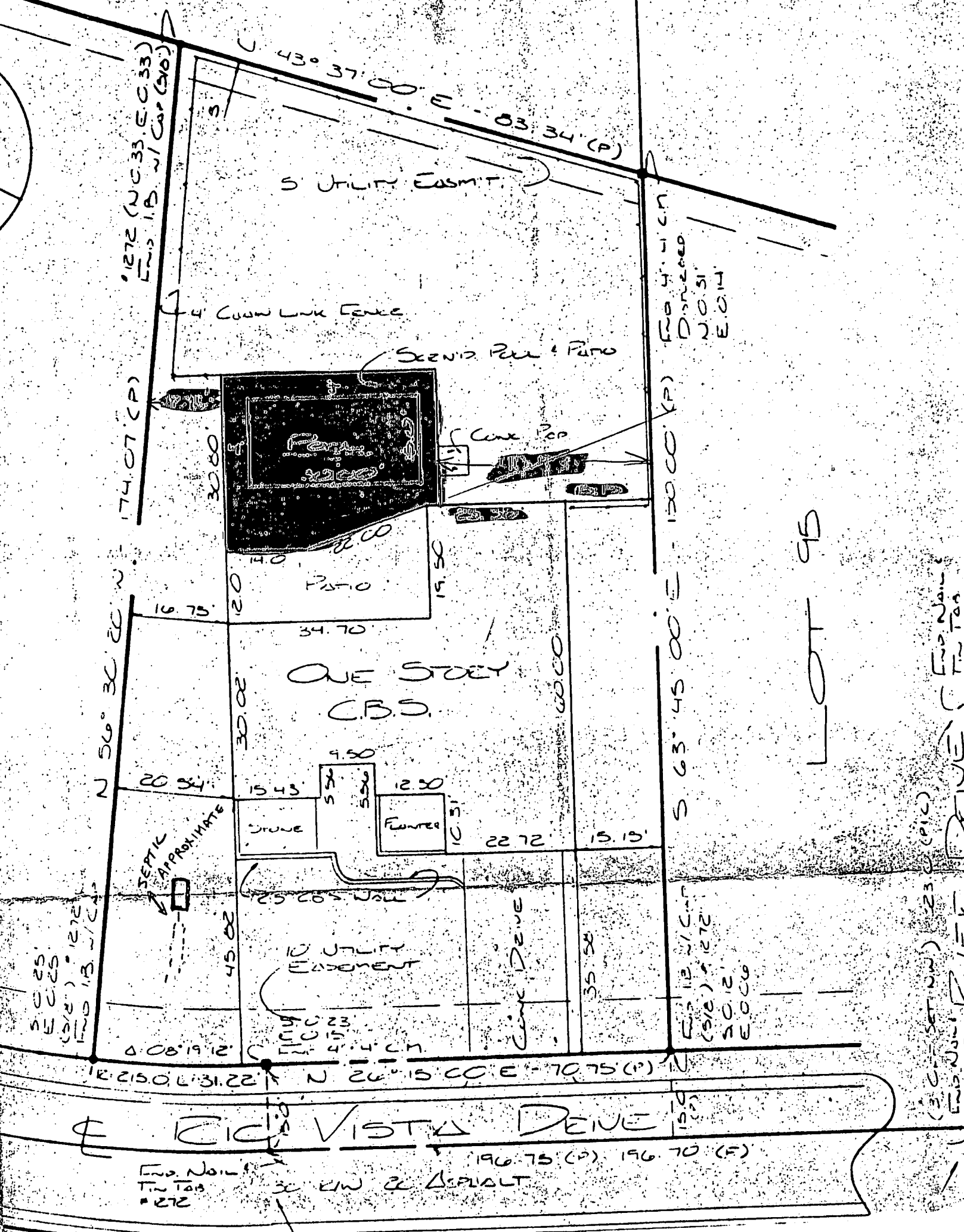
Lot 96
 49 Rio Vista Drive
 Geneva, Ohio



Lot 96
 49 R.O. VISTA DRIVE
 Geneva Point

LOT 102

LOT 101



S UTILITY EASEMENT

4' CROWN LINK FENCE

SEWER PILE & PIANO

CURB POLE

ONE STORY C.B.S.

SEPTIC TANK APPROXIMATE

25' C.B.S. WALL

10' UTILITY EASEMENT

VISTA DRIVE

END NO. 172 TR 1018 # 272

30' R/W & ADJUT

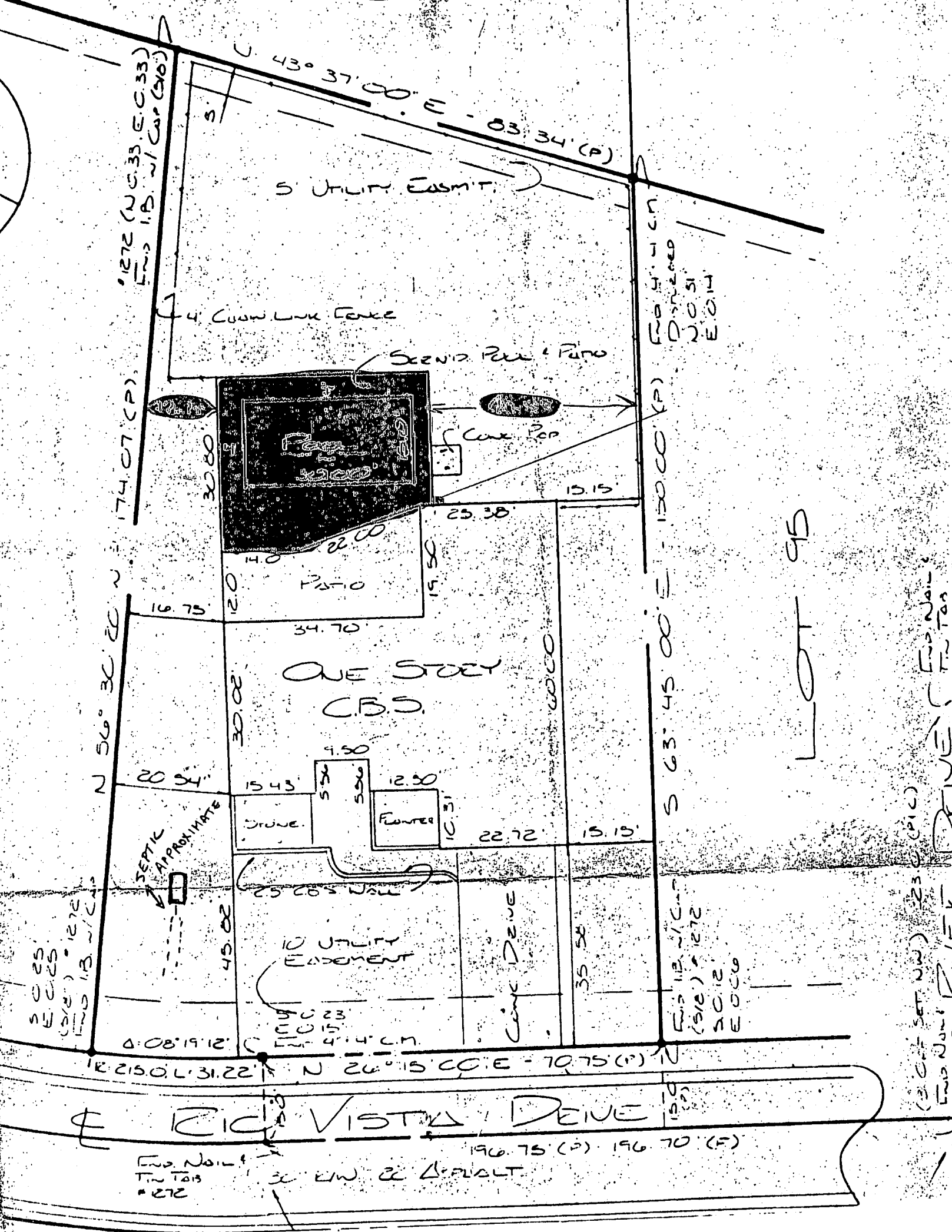
PROV. 4' W/IN DRAINAGE 15.01' E. 0.14'

LOT 95

END NO. 172 TR 1018 # 272

LOT 102

LOT 101

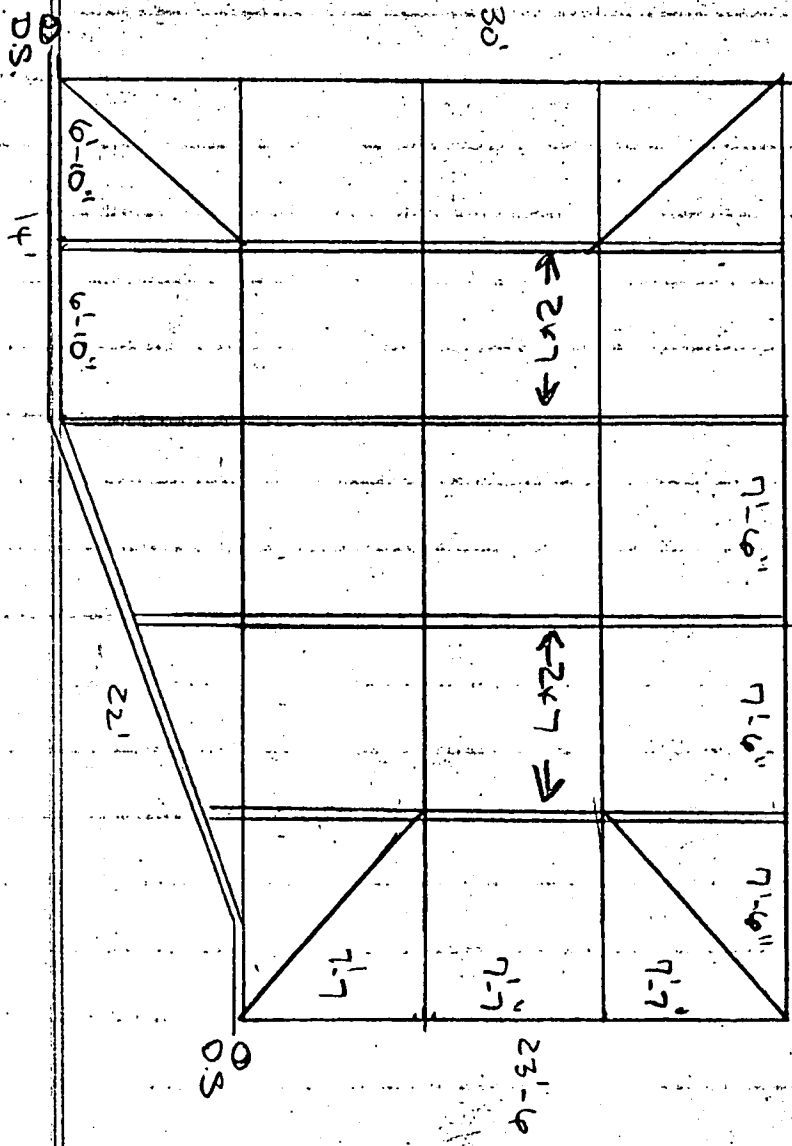


LOT 95

E 025
E 025
FWS 1.B. 1/1/00
FWS 1.B. 1/1/00

(3' CONCRETE SET NW) 23' (P) 10
FWS 1.B. 1/1/00
FWS 1.B. 1/1/00

RICH VISTA DRIVE
196.75 (P) 196.70 (F)
3' E/W & DEFAULT
E 025
E 025
FWS 1.B. 1/1/00
FWS 1.B. 1/1/00



Lot 96
 49 R.O. VISTA DRIVE
 Somers Point

SEPTEMBER 1987

TREASURE COAST CHAPTER, INC
OF THE ALUMINUM ASSOCIATION
OF FLORIDA



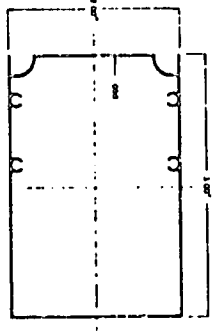
PREPARED BY:

NASH ENGINEERING, INC.
810 SATURN ST. SUITE 16
JUPITER, FLORIDA 33477
(305)747-7254

ROOF PAN (ALLOY 6063-T5)		PAN THICKNESS	Sr	MAX. SPAN @ 40 MPH WIND VELOCITIES (DOWN)
1-8x8	1-000	.032	236in ³	1000psi (1100psi @ 1170MPH)
1-8x8	1-000	.032	236in ³	11'-0"
1-8x8	1-000	.032	236in ³	11'-0"
1-8x8	1-000	.032	236in ³	13'

NOTE: PANS WITH OVERHANG 1/3 OF SPAN. SPANS MAY BE INCREASED 25% FOR EACH 1/2" OF OVERHANG UP TO 3'-0". CONSULT AN ENGINEER FOR CLEARED OVERHANG.

CLEARED ROOF PANS



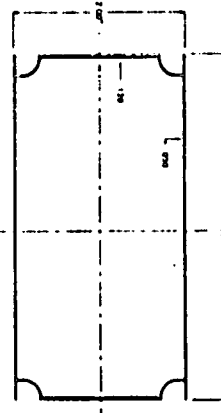
2 1/2" PATIO BEAM
ALLOY 6063-T5
A = 0.084in³
I = 0.78in⁴
Wt = 1.11lb/ft
Sx = 0.413in³
Sx = 0.213in³

SPACING	SCREEN ROOF 7/8 PER SF.	SCREEN WALL 10/8 PER SF.	SOLID WALL 23/8 PER SF.	SOLID ROOF 20/8 PER SF.
3'	16'-5"	13'-9"	8'-8"	8'-0"
4'	14'-5"	11'-11"	7'-8"	6'-11"
5'	12'-9"	10'-8"	6'-8"	6'-2"
6'	11'-8"	9'-9"	6'-2"	5'-2"
7'	10'-8"	9'-1"	5'-8"	5'-2"
8'	10'-1"	8'-5"	5'-4"	4'-10"
9'	9'-8"	7'-11"	5'-0"	4'-2"
10'	9'-1"	7'-6"	4'-8"	4'-4"

ROOF PAN (ALLOY 6063-T5)		PAN THICKNESS	Sr	MAX. SPAN @ 40 MPH WIND VELOCITIES (DOWN)
1-8x8	1-000	.024	450in ³	1000psi (1100psi @ 1170MPH)
1-8x8	1-000	.024	450in ³	13'-6"
1-8x8	1-000	.024	450in ³	13'-6"
1-8x8	1-000	.024	450in ³	13'-0"

NOTE: PANS WITH OVERHANG 1/3 OF SPAN. SPANS MAY BE INCREASED 25% FOR EACH 1/2" OF OVERHANG UP TO 3'-0". CONSULT AN ENGINEER FOR CLEARED OVERHANG.

INTERLOCKING ROOF PANS



2 1/2" SELF MATING BEAM
ALLOY 6063-T5
A = 0.084in³
I = 0.78in⁴
Wt = 1.11lb/ft
Sx = 0.413in³
Sx = 0.213in³

SPACING	SCREEN ROOF 7/8 PER SF.	SCREEN WALL 10/8 PER SF.	SOLID WALL 23/8 PER SF.	SOLID ROOF 20/8 PER SF.
3'	23'-0"	20'-11"	13'-3"	12'-0"
4'	21'-8"	18'-1"	11'-5"	10'-5"
5'	19'-4"	16'-2"	10'-3"	9'-4"
6'	17'-8"	14'-8"	9'-4"	8'-4"
7'	18'-4"	13'-8"	8'-8"	7'-11"
8'	15'-3"	12'-10"	8'-0"	7'-4"
9'	14'-4"	12'-0"	7'-8"	7'-0"
10'	13'-8"	11'-5"	7'-3"	6'-2"

SPACING	SCREEN ROOF 7/8 PER SF.	SCREEN WALL 10/8 PER SF.	SOLID WALL 23/8 PER SF.	SOLID ROOF 20/8 PER SF.
3'	8'-8"	7'-4"	4'-6"	4'-0"
4'	7'-4"	6'-2"	3'-10"	3'-8"
5'	6'-7"	5'-2"	3'-6"	3'-2"
6'	6'-0"	5'-0"	3'-2"	2'-10"
7'	5'-8"	4'-8"	2'-11"	2'-8"
8'	5'-2"	4'-4"	2'-9"	2'-6"
9'	4'-10"	4'-2"	2'-6"	2'-4"
10'	4'-8"	3'-10"	2'-5"	2'-3"

1" x 2" OPEN BACK

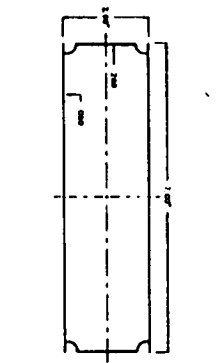


2 1/2" SELF MATING BEAM
ALLOY 6063-T5
A = 1.138in³
I = 1.07in⁴
Wt = 1.11lb/ft
Sx = 2.82in³

SPACING	SCREEN ROOF 7/8 PER SF.	SCREEN WALL 10/8 PER SF.	SOLID WALL 23/8 PER SF.	SOLID ROOF 20/8 PER SF.
3'	37'-10"	31'-8"	20'-0"	18'-3"
4'	33'-9"	27'-5"	17'-4"	15'-10"
5'	29'-4"	24'-8"	15'-4"	14'-2"
6'	28'-9"	22'-5"	14'-2"	12'-11"
7'	24'-9"	20'-8"	13'-1"	12'-0"
8'	23'-2"	18'-5"	12'-3"	11'-2"
9'	21'-10"	18'-3"	11'-8"	10'-8"
10'	20'-9"	17'-4"	11'-0"	10'-0"

SPACING	SCREEN ROOF 7/8 PER SF.	SCREEN WALL 10/8 PER SF.	SOLID WALL 23/8 PER SF.	SOLID ROOF 20/8 PER SF.
3'	10'-5"	8'-8"	5'-8"	5'-0"
4'	9'-0"	7'-6"	4'-9"	4'-4"
5'	8'-0"	6'-9"	4'-5"	3'-10"
6'	7'-4"	6'-2"	3'-10"	3'-6"
7'	6'-10"	5'-8"	3'-8"	3'-4"
8'	6'-4"	5'-4"	3'-4"	3'-0"
9'	6'-0"	5'-0"	3'-2"	2'-11"
10'	5'-8"	4'-8"	3'-0"	2'-9"

2" x 2" PATIO BEAM



2 1/2" SELF MATING BEAM
ALLOY 6063-T5
A = 1.138in³
I = 1.07in⁴
Wt = 1.11lb/ft
Sx = 4.88in³

SPACING	SCREEN ROOF 7/8 PER SF.	SCREEN WALL 10/8 PER SF.	SOLID WALL 23/8 PER SF.	SOLID ROOF 20/8 PER SF.
3'	49'-4"	41'-4"	28'-2"	25'-10"
4'	42'-9"	35'-9"	27'-8"	20'-6"
5'	38'-5"	32'-0"	20'-5"	18'-5"
6'	35'-0"	28'-2"	18'-5"	16'-10"
7'	32'-4"	27'-0"	17'-1"	15'-7"
8'	30'-3"	25'-3"	16'-0"	14'-7"
9'	28'-6"	23'-10"	15'-0"	13'-8"
10'	27'-0"	22'-6"	14'-4"	13'-0"

2" x 3" PATIO BEAM

2" x 4" SELF MATING BEAM

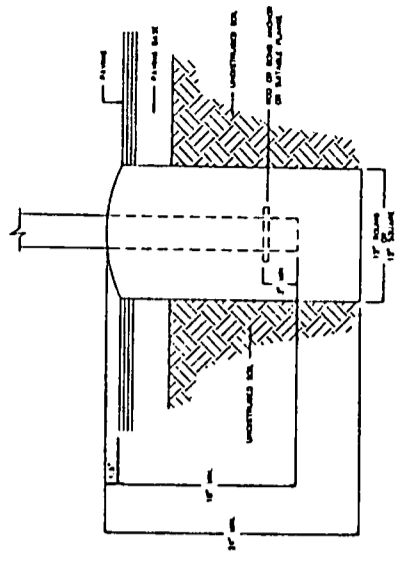
2" x 6" SELF MATING BEAM

2" x 7" SELF MATING BEAM

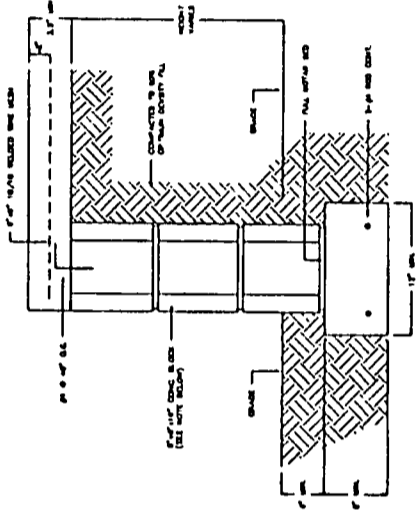
DATE	BY	DESCRIPTION

TREASURE COAST CHAPTER, INC.
OF THE ALUMINUM ASSOCIATION
OF FLORIDA

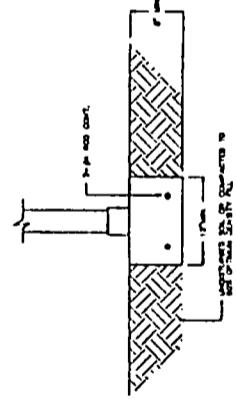
DESIGNED	CHECKED	DATE	SCALE	SHEET



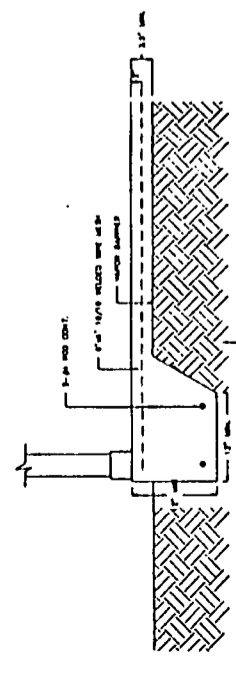
PIER TYPE FOOTING



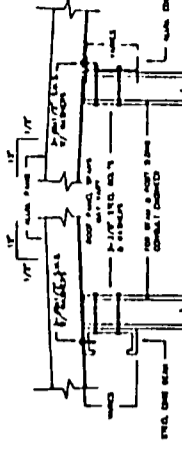
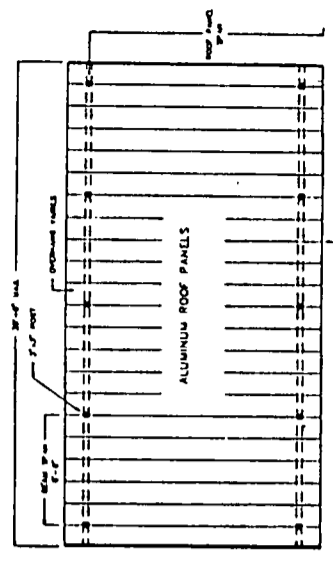
RAISED SLAB
WITH 8" CONC. BLOCK FOR ALUMINUM SCREEN ROOFS, GLASS ROOFS AND PATIO COVERS



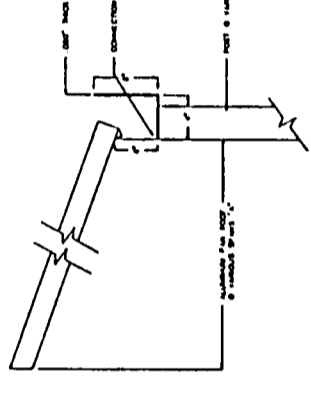
CONTINUOUS WALL FOOTING
FOR ALUMINUM ENCLOSURES WITH SOLID ALUMINUM ROOFS



SLAB ON GRADE
ALUMINUM SCREEN ROOFS, GLASS ROOFS, PATIO COVERS AND CARPORTS



NOTE: FOR BEAM A DETAIL SEE CONSULT ENGINEER
SEE THIS SHEET, CARPORT (ATTACHED), FOR DETAILS

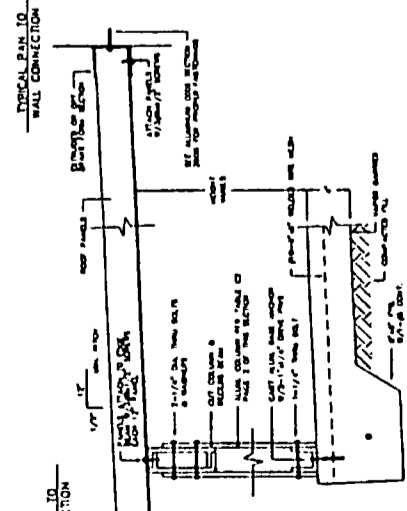
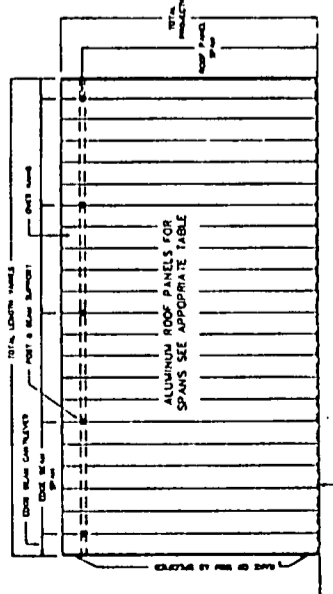


SUPER CUTTER
ALLOY 6063-T5
A = 1.200"
W = 1.144"
I = 3.946"
S_x = 1.973in⁴

SPAN TABLE - FOR SUPER CUTTER AS EDGE BEAM

GUTTER/EDGE BEAM SPAN B	VARIOUS SPANS OF PAN ROOF A			
	8'	10'	12'	14'
13'-9"	12'-4"	11'-3"	10'-5"	9'-9"

BEAM SIZE AND SHAPE	MAXIMUM CLEAR BEAM SPANS CONT. EDGE BEAM FOR ROOF SPANS BELOW				TYPICAL POST SIZE & NO. OF BASE ANCHORS
	10'	12'	14'	18'	
6" x 6" x 1/2"	6'-0"	6'-0"	6'-0"	6'-0"	4" x 4" x 1/2" POST 4 @ 12" ON CENTER
6" x 6" x 3/4"	6'-0"	6'-0"	6'-0"	6'-0"	4" x 4" x 3/4" POST 4 @ 12" ON CENTER
6" x 6" x 1"	6'-0"	6'-0"	6'-0"	6'-0"	4" x 4" x 1" POST 4 @ 12" ON CENTER
6" x 6" x 1 1/4"	6'-0"	6'-0"	6'-0"	6'-0"	4" x 4" x 1 1/4" POST 4 @ 12" ON CENTER
6" x 6" x 1 1/2"	6'-0"	6'-0"	6'-0"	6'-0"	4" x 4" x 1 1/2" POST 4 @ 12" ON CENTER
6" x 6" x 2"	6'-0"	6'-0"	6'-0"	6'-0"	4" x 4" x 2" POST 4 @ 12" ON CENTER
6" x 6" x 2 1/2"	6'-0"	6'-0"	6'-0"	6'-0"	4" x 4" x 2 1/2" POST 4 @ 12" ON CENTER
6" x 6" x 3"	6'-0"	6'-0"	6'-0"	6'-0"	4" x 4" x 3" POST 4 @ 12" ON CENTER
6" x 6" x 3 1/2"	6'-0"	6'-0"	6'-0"	6'-0"	4" x 4" x 3 1/2" POST 4 @ 12" ON CENTER
6" x 6" x 4"	6'-0"	6'-0"	6'-0"	6'-0"	4" x 4" x 4" POST 4 @ 12" ON CENTER
6" x 6" x 4 1/2"	6'-0"	6'-0"	6'-0"	6'-0"	4" x 4" x 4 1/2" POST 4 @ 12" ON CENTER
6" x 6" x 5"	6'-0"	6'-0"	6'-0"	6'-0"	4" x 4" x 5" POST 4 @ 12" ON CENTER
6" x 6" x 5 1/2"	6'-0"	6'-0"	6'-0"	6'-0"	4" x 4" x 5 1/2" POST 4 @ 12" ON CENTER
6" x 6" x 6"	6'-0"	6'-0"	6'-0"	6'-0"	4" x 4" x 6" POST 4 @ 12" ON CENTER

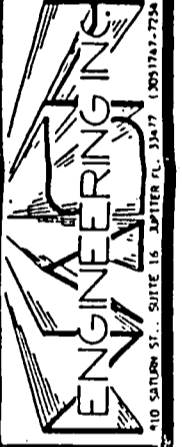


EDGE BEAM & POST SPAN TABLE C-1
(ATTACHED ROOF'S ONLY)

CARPORT
(FREE STANDING)

DATE	BY	DESCRIPTION

TREASURE COAST CHAPTER, INC.
OF THE ALUMINUM ASSOCIATION
OF FLORIDA



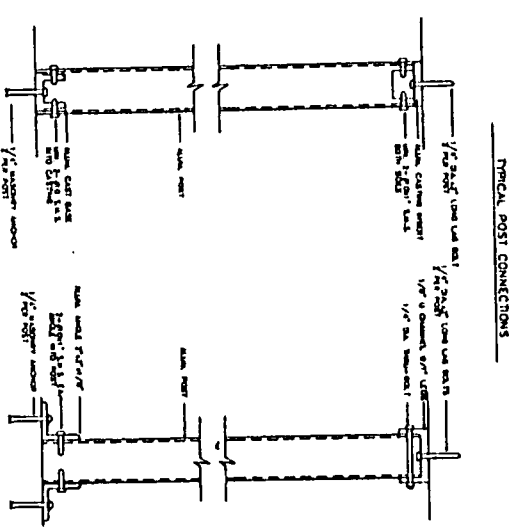
ALUMINUM CONSTRUCTION
DETAILS

DRAWN	COMPTON
CHECKED	HAS-SH
SCALE	N.T.S.
DATE	SEPTEMBER 1987
JOB NO.	87-031

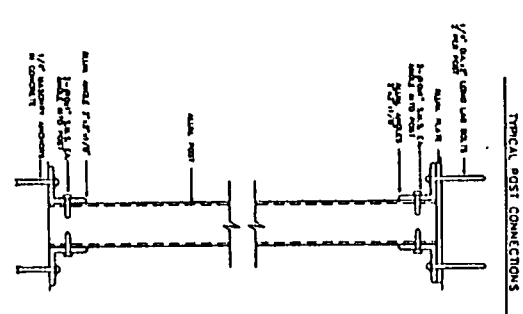
SEAL
9/29/87

SHEET
2
OF FIVE SHEETS

REVISIONS



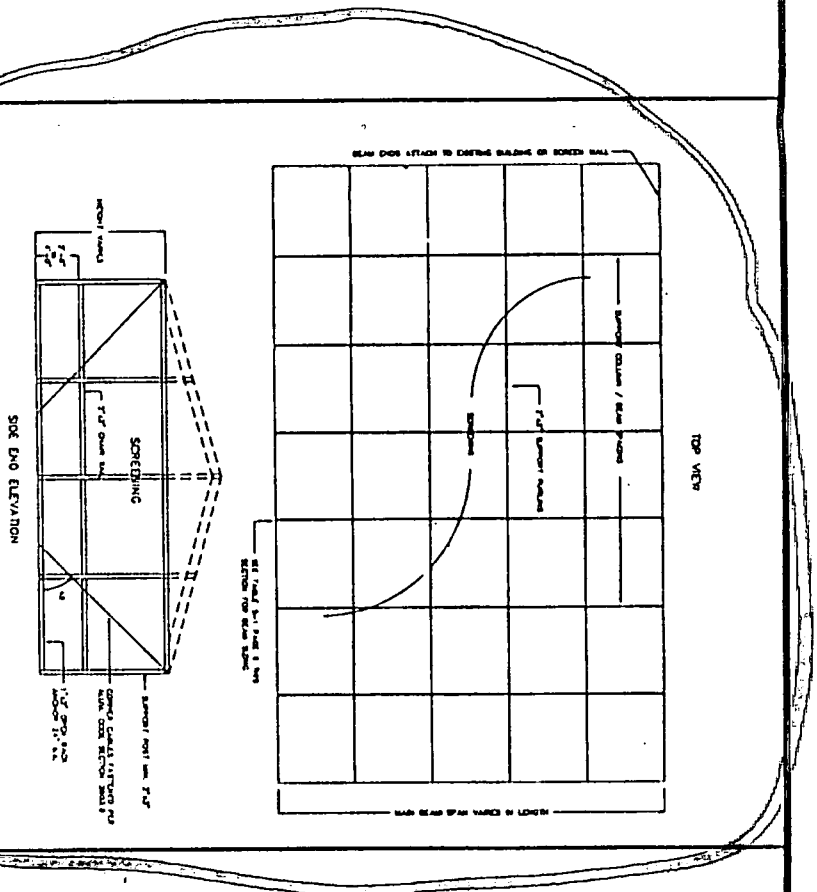
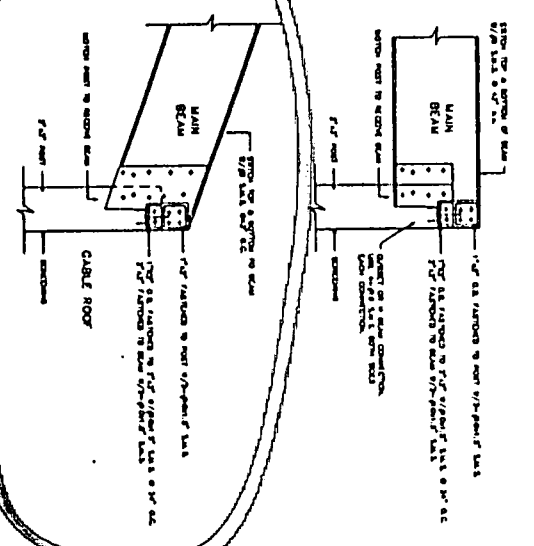
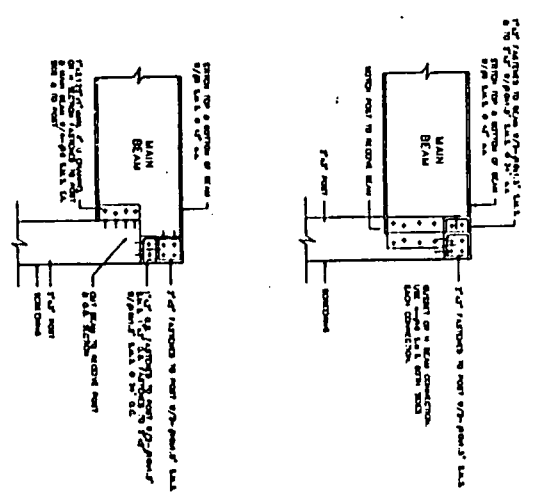
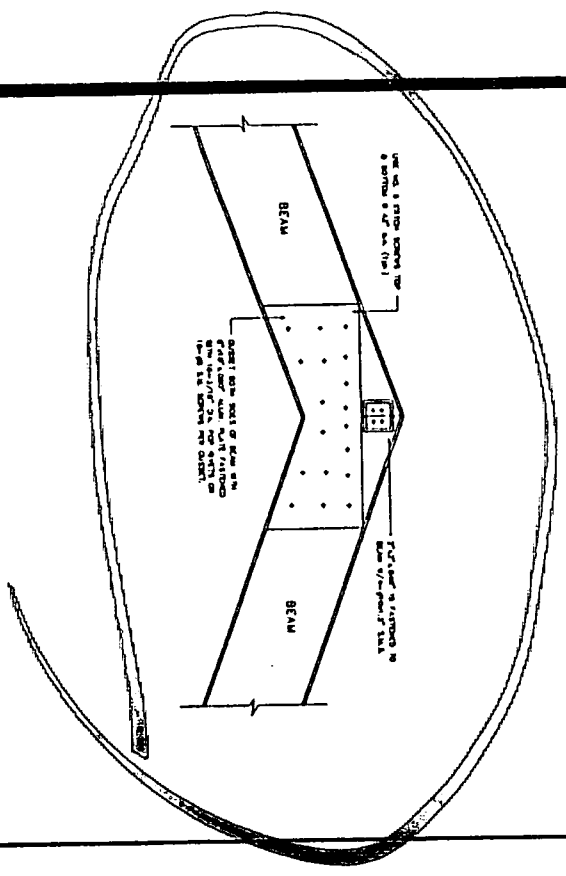
NOTE: ANGLES MAY HAVE 1 LEG INSIDE POST



NOTE: ANGLES MAY HAVE 1 LEG INSIDE POST

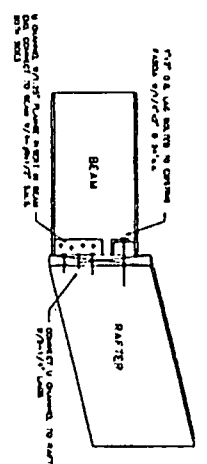
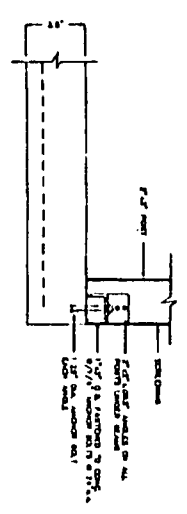
SCREEN ROOM
(UNDER WOOD ROOF)

SCREEN ROOM
(UNDER WOOD ROOF)



POOL ENCLOSURE
(TYPICAL)

POOL ENCLOSURE
(CONNECTION TYPICALS)



POOL ENCLOSURE
(CONNECTION TYPICALS)

POOL ENCLOSURE
(POST TO BEAM TYPICALS)

POOL ENCLOSURE
(POST TO BEAM TYPICALS)

SCREEN ROOF BEAM - SPAN TABLE S-1

BEAM SIZE	NATURAL CLEAR SPAN FOR SCREENED ROOF BEAMS @ VARIOUS SPACING									
	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"	8'-6"
2"x4" S.M. BEAM @ 12"	21'-8"	19'-4"	18'-8"	17'-8"	17'-0"	16'-4"	15'-10"	15'-3"		
2"x4" S.M. BEAM @ 16"	23'-5"	22'-8"	21'-8"	20'-9"	20'-0"	19'-5"	18'-8"	18'-0"		
2"x6" S.M. BEAM @ 12"	32'-8"	29'-4"	28'-0"	26'-8"	25'-8"	24'-9"	24'-0"	23'-2"		
2"x6" S.M. BEAM @ 16"	42'-9"	38'-5"	36'-7"	35'-0"	33'-8"	32'-4"	30'-5"	30'-5"		
3"x4" S.M. BEAM @ 12"	48'-3"	44'-0"	42'-0"	40'-2"	38'-8"	37'-2"	36'-0"	34'-9"		
3"x4" S.M. BEAM @ 16"	33'-10"	33'-0"	32'-5"	31'-7"	31'-0"	30'-5"	29'-11"	29'-5"		
3"x6" S.M. BEAM @ 12"	34'-10"	31'-1"	29'-10"	28'-6"	27'-5"	26'-4"	25'-5"	24'-8"		
4"x6" S.M. BEAM @ 12"	42'-10"	38'-4"	36'-8"	35'-0"	33'-9"	32'-5"	31'-5"	30'-4"		

NOTE: THIS TABLE IS BASED ON:
UNIFORM OF 120 UPM UNIFORM - 7 LB/FSQ FT. SCREEN WICH 18" x 18"

DATE	BY	DESCRIPTION

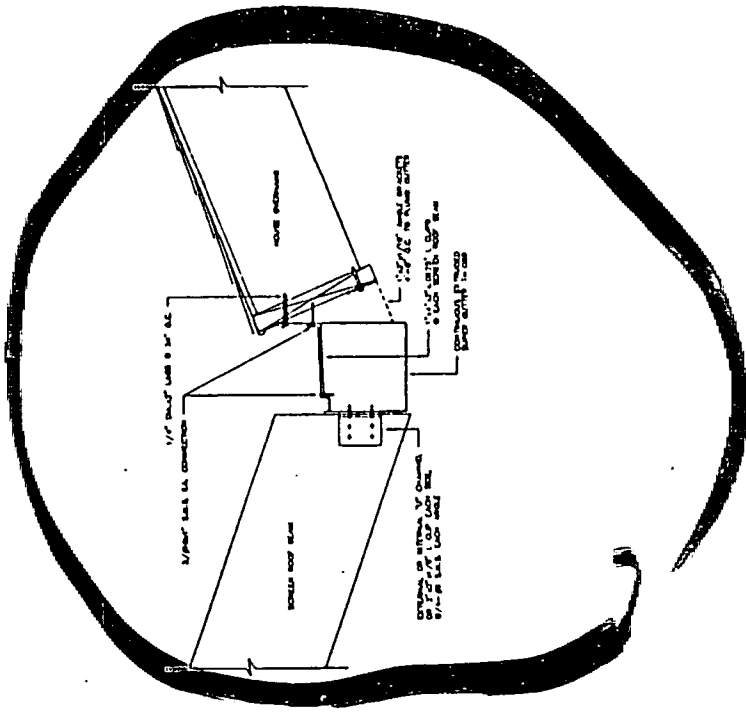
TREASURE COAST CHAPTER, INC.
OF THE ALUMINUM ASSOCIATION
OF FLORIDA



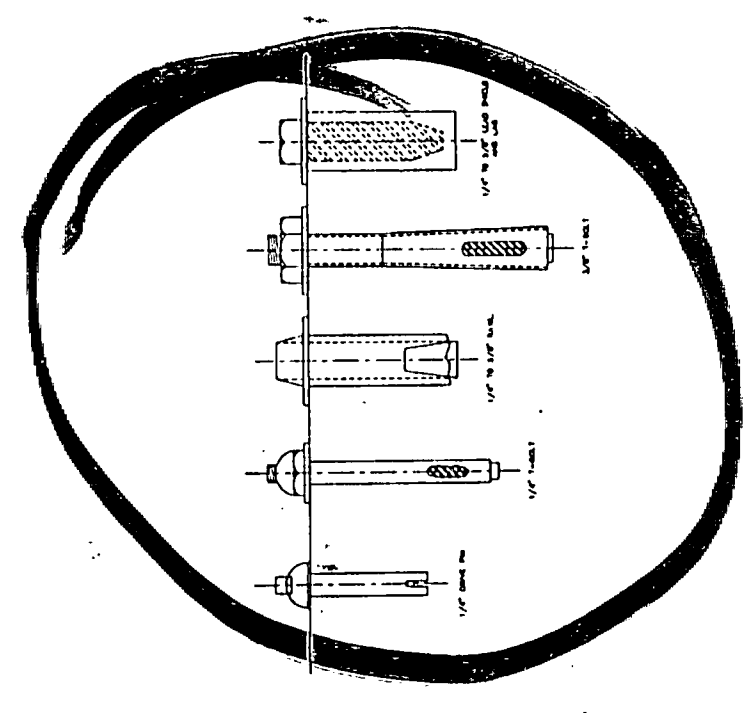
ALUMINUM CONSTRUCTION
DETAILS

DATE	BY	DESCRIPTION
SEPTEMBER, 1982	JML	DESIGNED
		SCALE
		DATE
		FOR NO.

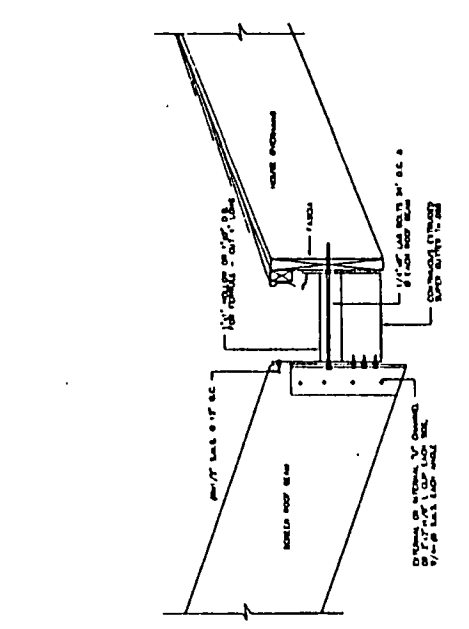
SHEET 3 OF 3



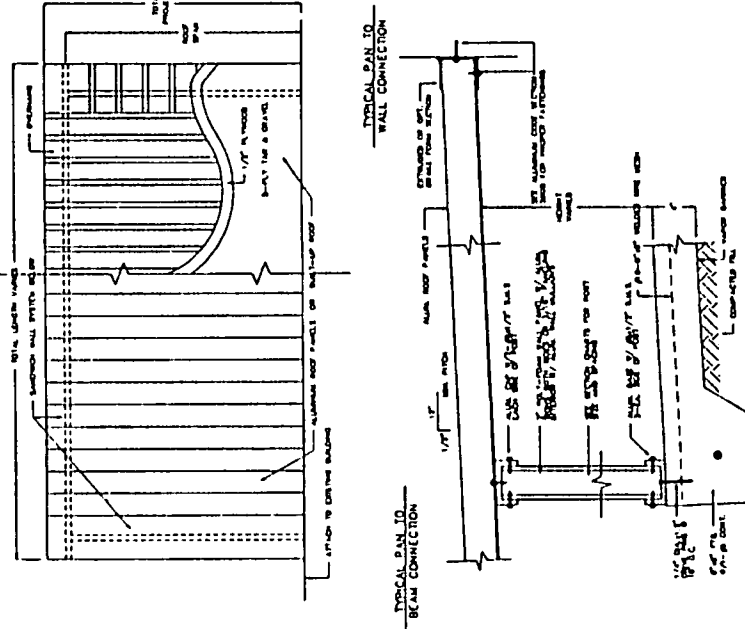
SUPER GUTTER - FASCIA ATTACHMENT
(CAULKED FASCIA TYPICAL)



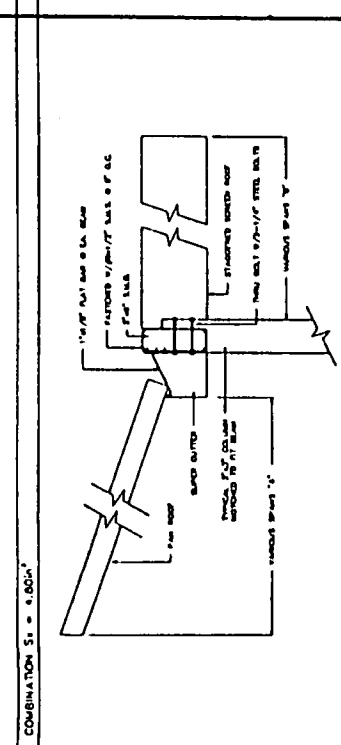
MASONRY - CONCRETE FASTENERS



SUPER GUTTER - FASCIA ATTACHMENT
(PLUMB FASCIA TYPICAL)



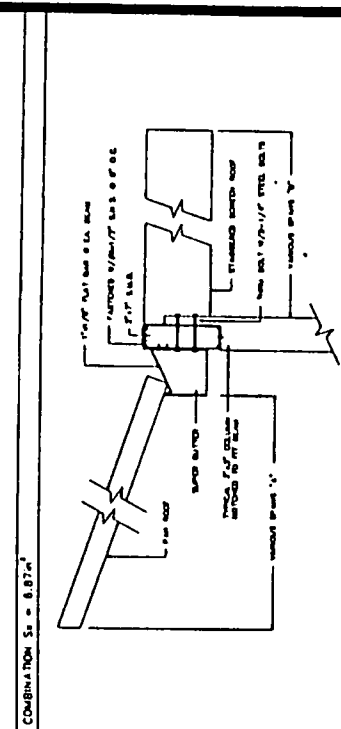
GLASS ROOMS - SANDWICH SYSTEM



SPAN TABLE - FOR COMBINATION - SUPER GUTTER - 2"x7" S.M.B.

VARIOS SPANS OF ROOF PANS "A"	VARIOS SPANS OF SCREEN ROOFS "B"										
	18'	20'	22'	24'	26'	28'	30'	32'	34'	36'	42'
4'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"
8'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"
10'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"
12'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"
14'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"

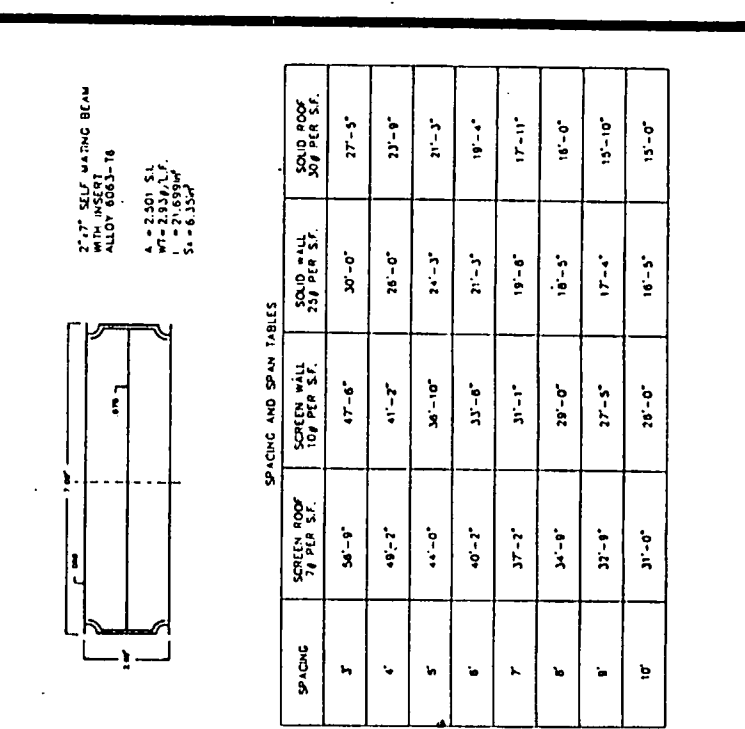
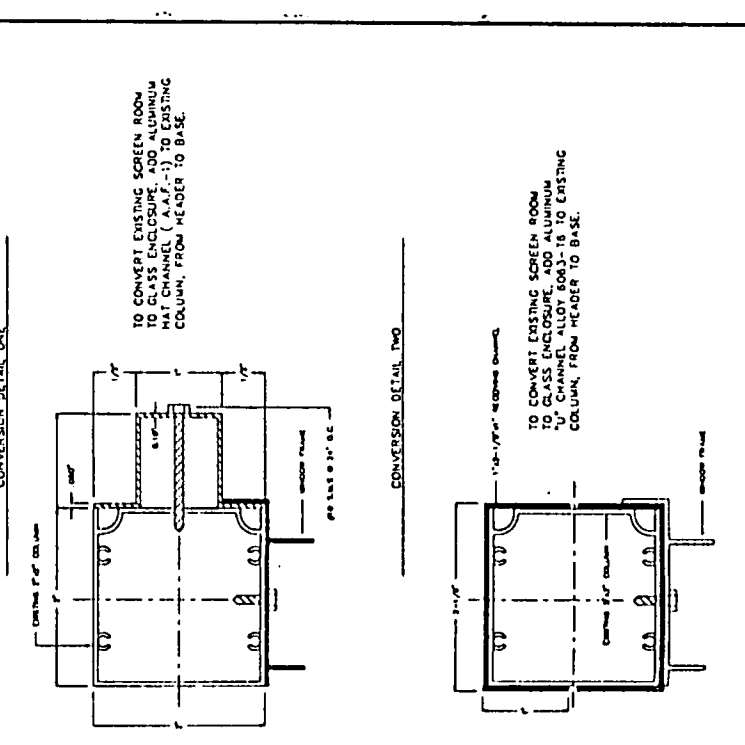
CARRIER BEAM - SPAN TABLE S-2
(SUPER GUTTER & 2"x7" S.M.B.)



SPAN TABLE - FOR COMBINATION - SUPER GUTTER - 2"x7" S.M.B.

VARIOS SPANS OF ROOF PANS "A"	VARIOS SPANS OF SCREEN ROOFS "B"										
	18'	20'	22'	24'	26'	28'	30'	32'	34'	36'	42'
4'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"
8'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"
10'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"
12'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"
14'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"	18'-0"

CARRIER BEAM - SPAN TABLE S-3
(SUPER GUTTER & 2"x7" S.M.B.)



SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 79 PER S.F.	SOLID WALL 259 PER S.F.	SOLID ROOF 509 PER S.F.
3'	58'-9"	47'-6"	30'-0"
4'	48'-2"	41'-2"	26'-0"
5'	44'-0"	38'-10"	24'-3"
6'	40'-2"	35'-8"	21'-3"
7'	37'-2"	31'-1"	19'-0"
8'	34'-8"	28'-0"	18'-0"
8'	32'-8"	27'-5"	17'-10"
10'	31'-0"	26'-0"	16'-5"

GLASS ROOM "HAT"
(REINFORCEMENT OF .040 POST)

2"x7" S.M.B. WITH INSERT

ENGINEERING

910 GALLON ST., SUITE 16, JUPITER FL. 33457 (305) 292-7724

TREASURE COAST CHAPTER, INC.
OF THE ALUMINUM ASSOCIATION
OF FLORIDA

ALUMINUM CONSTRUCTION DETAILS

GLASS ROOMS - CONCRETE FASTENERS

GLASS ROOM "HAT"
(REINFORCEMENT OF .040 POST)

2"x7" S.M.B. WITH INSERT

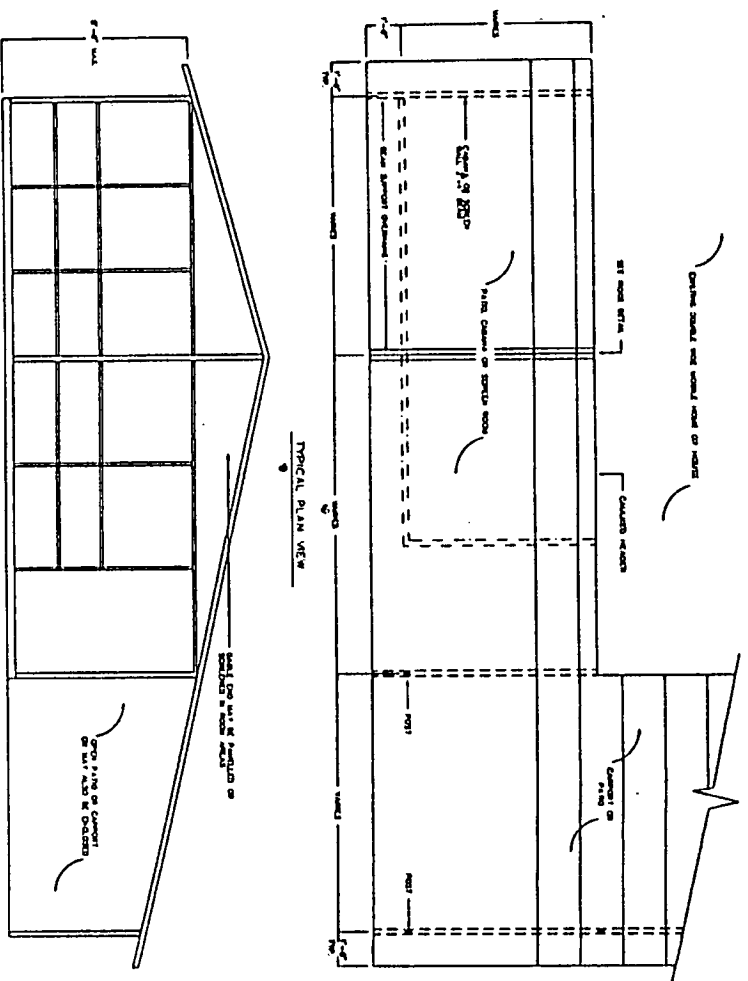
DATE	BY	DESCRIPTION	REVISIONS

DRAWN	COMPUTED	CHECKED	WASH

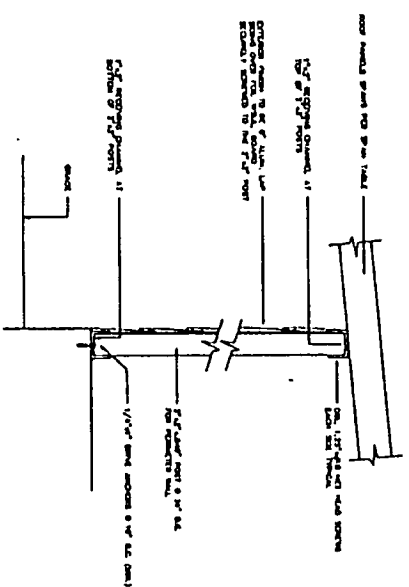
DATE: SEPTEMBER 1987
JOB NO. 87-031

SCALE: N.T.S.

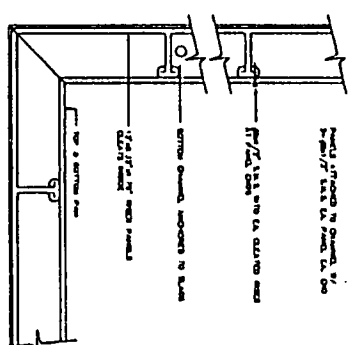
SHEET 4 OF 5



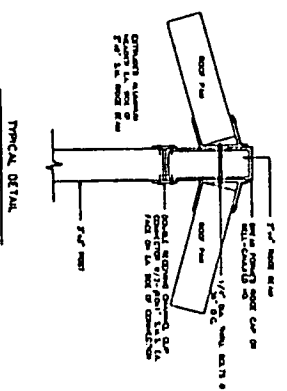
ATTACHED A-FRAME COMBINATION PATIO-CABANA OR CARPORT



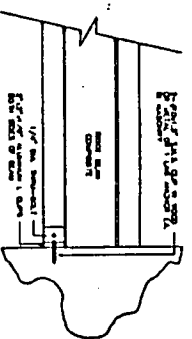
TYPICAL UTILITY ROOM



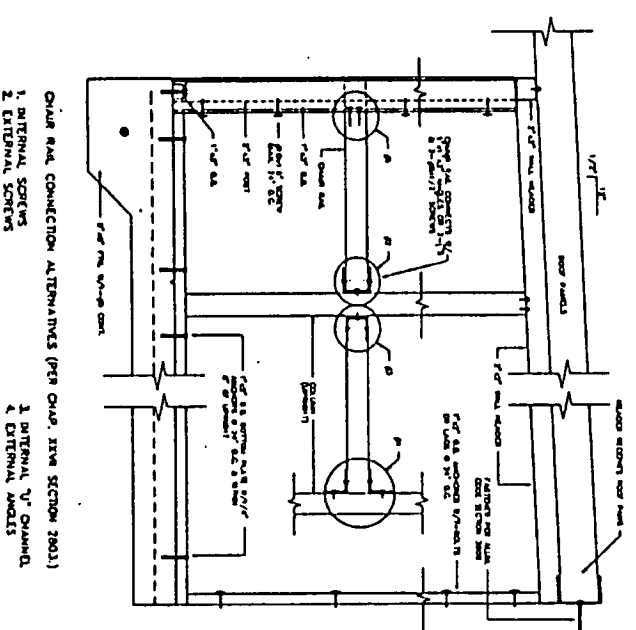
TYPICAL UTILITY ROOM



TYPICAL DETAIL



END CONNECTION



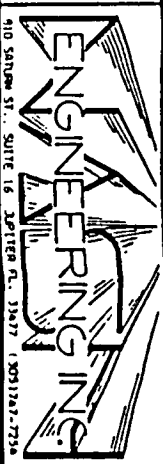
SCREEN ROOM
(WITH ALUMINUM ROOF)

RIDGE BEAM

RIDGE BEAM

DATE	BY	DESCRIPTION

TREASURE COAST CHAPTER, INC.
OF THE ALUMINUM ASSOCIATION
OF FLORIDA



ALUMINUM CONSTRUCTION
DETAILS

DESIGNER	COMPUTER
CHECKED	PLANNED
SCALE	N.T.S.
DATE	SEPTEMBER 1987
JOB NO.	87-031

SCALE
4/2/87

SHEET
5
OF
FIVE SHEETS

3157

BATHROOM

REMODEL

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

3157

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Mr. and Mrs. Uwe C. Petersen Present Address 49 Rio Vista Drive

Phone (407) 288-4486 Stuart, FL 34996

Contractor Architectural Renovations Address 3351 S.E. Federal Highway

Phone (407) 220-4965 Stuart, FL 34997

Where licensed State of Florida License number CRC-049116

John Dickinson's
Electrical contractor Electrical Enterprises License number ME00245

Plumbing by Bishop
Plumbing contractor (Gary Bishop) License number CF-C027632

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: replacing old vanity cabinets

State the street address at which the proposed structure will be built:

49 Rio Vista Drive, Stuart, FL, 34996

Subdivision Rio Vista #, Sewall's Point, Plat Book 6 Lot number 96 Block number N/A
Page 95

Contract price \$ 6,809.00 Cost of permit \$ 156.00

Plans approved as submitted Plans approved as marked

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Randy G. Wigley
Randy G. Wigley

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Colette B. Petersen

TOWN RECORD

Date submitted 3/14/92 Approved: Dale Brown 3/20/92
Building Inspector Date

Approved: [Signature] 3/25/92 Final Approval given: _____
Commissioner Date Date

Certificate of Occupancy issued (if applicable) _____
Date

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

ACORD CERTIFICATE OF INSURANCE

ISSUE DATE (MM/DD/YY)

12-4-91sp

PRODUCER

R.V. JOHNSON AGENCY
 P.O. BOX 26
 STUART, FL 34995

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY LETTER A	WEST AMERICAN
COMPANY LETTER B	
COMPANY LETTER C	
COMPANY LETTER D	FLORIDA HOME BUILDERS SIF
COMPANY LETTER E	

INSURED

ARCHITECTUAL RENOVATIONS INC.
 3351 SE FEDERAL HWY.
 STUART, FL 34997

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT	BINDER	12-4-91	12-4-92	GENERAL AGGREGATE \$ 300,000 PRODUCTS-COMP/OP AGG. \$ 300,000 PERSONAL & ADV. INJURY \$ 300,000 EACH OCCURRENCE \$ 300,000 FIRE DAMAGE (Any one fire) \$ 50,000 MED. EXPENSE (Any one person) \$ 5,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS <input type="checkbox"/> GARAGE LIABILITY				COMBINED SINGLE LIMIT \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	EXCESS LIABILITY <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$
D	WORKER'S COMPENSATION AND EMPLOYERS' LIABILITY	BINDER	12-4-91	3-1-92	STATUTORY LIMITS EACH ACCIDENT \$ 100,000 DISEASE-POLICY LIMIT \$ 500,000 DISEASE-EACH EMPLOYEE \$ 100,000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

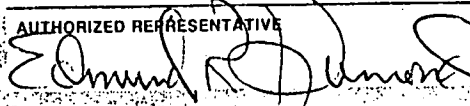
CERTIFICATE HOLDER

Town of Sewall's Point
 15 Sewall's Point Road
 Sewall's Point, FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OF LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES

AUTHORIZED REPRESENTATIVE



STATE OF FLORIDA
DEPARTMENT OF PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY
LICENSING BOARD

CERTIFIED RESIDENTIAL CONTRACTOR

WIGLEY, RANDY GENE
ARCHITECTURAL RENOVATIONS INC.

HAS PAID THE FEE REQUIRED BY CHAPTER 489 F.S.
FOR THE YEAR EXPIRING JUNE 30, 1992


LAWTON CHILES
GOVERNOR


GEORGE STUART, JR.
SECRETARY D.P.R.

NOTICE OF COMMENCEMENT

STATE OF FLORIDA
COUNTY OF MARTIN

The undersigned hereby informs all concerned that improvements will be made to certain real property, and in accordance with Section 713.13, Florida Statutes, the following information is stated in this NOTICE OF COMMENCEMENT. This notice shall be void and of no force and effect if construction is not commenced within 30 days of recordation.

DESCRIPTION OF PROPERTY:

General description of improvements: Replacement of old vanities

Owner: Mr. and Mrs. Uwe C. Petersen

Address: 49 Rio Vista Drive, Stuart, FL, 34996

Owner's interest in site of the improvement: _____

Contractor: Architectural Renovations

Address: 3351 S.E. Federal Highway, Stuart, FL, 34997

Surety (if any): _____

Address: _____

Amount of Bond: _____

Lender: Treasure Coast Federal

Address: Palm City, FL

Name of person within the State of Florida designated by owner upon whom notices or other documents may be served:

Name: _____

Address: _____

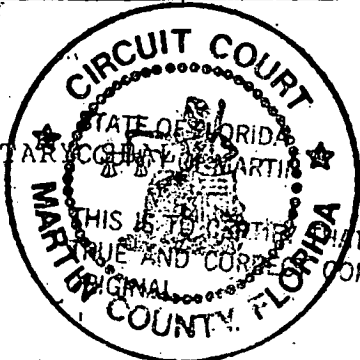
In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.06(2)(b), Florida Statutes:

Name: Treasure Coast Federal

Address: Mapp Rd, Palm City, FL

Colette B. Petersen

Sworn to and subscribed before me this 20th day of MARCH, 1992



Colette B. Petersen
I am a Notary Public of the STATE OF _____ AT LARGE, and My Commission Expires _____

Notary Public, State of Florida
My Commission Expires Feb. 14, 1994
Bonded Thru Troy Fahn - Insurance Inc.

MARSHA STYLER, CLERK
BY [Signature]
DATE 3/20/92

3249

FLAT ROOF

RE-ROOF

APPLICATION FOR PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner: UWE Petersen Present Address 49 Rio Vista Dr

Phone (708) 362-1341

Contractor Gary Marzo ^{Roofing} _{Cont} Address P.O. Box 8955 PS2

Phone 871-2489 FL 34985

Where licensed Martin Co License number SPD 1121

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: FIAT roof / roofing - permit

remove tar & gravel replace with modified bitumen
State the street address at which the proposed structure will be built:

49 Rio Vista Dr South Sewalls Pt.

Subdivision Rio VISA Lot number 96 Block number _____

12-38-41002 000 00960 3 0000

Contract price \$ 1600. Cost of permit \$ 24.00

Plans approved as submitted Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Gary Marzo per Lynn Marzo

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Uwe Petersen (dm)

TOWN RECORD

Date submitted 9/1/92 Approved: Dale Brown 9/1/92
Building Inspector Date

Approved: [Signature] 9/1/92 Final Approval given: _____
Commissioner Date Date

Certificate of Occupancy issued (if applicable) _____
Date

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

ADMIN
VARIANCE

* * * * *

ORDINANCE NO. 292

**AN ORDINANCE OF THE TOWN OF SEWALL'S POINT, FLORIDA,
AMENDING AND SUBSTANTIALLY REWRITING THE
ADMINISTRATIVE VARIANCE PROVISIONS OF THE TOWN'S
ZONING CODE; PROVIDING FOR INSERTION IN THE TOWN CODE;
PROVIDING REPEAL OF ORDINANCES AND RESOLUTIONS IN
CONFLICT THEREWITH; PROVIDING FOR SEPARATION IN THE
EVENT A SECTION OR PORTION IS DECLARED TO BE
UNCONSTITUTIONAL; PROVIDING FOR AN EFFECTIVE DATE.**

WHEREAS, the Town of Sewall's Point Zoning Ordinance prescribes various setback requirements for residential lots within the Town; and

WHEREAS, there are many instances in the Town where the setback requirements of the Zoning Ordinance have been violated ("Violations"); and

WHEREAS, the Town of Sewall's Point Board of Zoning Adjustment has reviewed certain types of Violations over the past few years and has granted variances for Violations; and

WHEREAS, the Town Commission finds this ordinance is consistent with the Town of Sewall's Point Comprehensive Plan; and

WHEREAS, to reduce time and expense for variances granted by the Board of Zoning Adjustment for certain Violations, the Town Commission wishes to amend its administrative variance procedure to include violations which are not currently allowed to be cured by the administrative variance provisions.

NOW, THEREFORE, BE IT ENACTED BY THE TOWN COMMISSION OF THE TOWN OF SEWALL'S POINT, FLORIDA, AS FOLLOWS:

I. Section 82-141 is hereby deleted and rewritten to read as follows

If the applicant meets the requirements set forth in this division, the Town Commission may grant administrative variances for certain encroachments into the setbacks.

II. Section 82-142 is hereby deleted and rewritten to read as follows:

An administrative variance from the terms of this chapter may be granted by the Town Commission if the following requirements and conditions are fulfilled:

(1) The applicant shall submit a written application for an administrative variance to the Town Commission in a form prescribed by the Town Commission, together with a filing fee of \$400.00. The Town may require a deposit and shall be reimbursed by the applicant for any extraordinary professional fees, costs and expenses incurred in connection with any application for an administrative variance as a condition of the variance.

(2) The applicant shall provide the Town Commission with a certificate certifying the applicant's ownership of the property which is the subject of the administrative variance, and certifying the name and address shown in the Official Records of the Martin County Tax Collector's Office of all owners of property located adjacent to the property which is the subject of the administrative variance.

(3) The applicant should provide the Town Commission all relevant information and documents which support the variance application for the encroaching structure(s) including:

(i) a building permit or building permit application with the building permit number indicated on it; (ii) permit drawings, plans, or surveys; and (iii) a 24" x 36" and 8 ½" x 11" current as-built survey. The as-built survey shall:

(A) Be prepared by a licensed surveyor registered in Florida in accordance with the minimum technical standards established by the Florida Board of Professional Surveyors and Mappers;

(B) Be dated not more than thirty (30) days prior to the application;

(C) Contain the address of the property, including street name and number, and show the proximity of all boundary streets;

(D) Show the location of all buildings, structures, and above-ground encroachments and improvements;

(E) Show all setback requirements under the Town of Sewall's Point Code of Ordinances;

(F) Show the location and identification of all encroachments into setbacks under this code, including the type of improvement comprising the encroachment and specifically identifying any encroachment that is the subject of the application;

(G) Contain a certification to the Town of Sewall's Point;

(H) Contain any other information the Town Commission may require to show whether the setback encroachment is entitled to an administrative variance.

(4) The applicant shall provide the Town Commission with either:

(a) Letters of no objection from all adjacent property owners; or

(b) Proof that a copy of the administrative variance application has been sent to all adjacent property owners by certified mail with a written notice informing them that any objections to the requested administrative variance must be filed with the Town Clerk within fifteen (15) days of the date that the notice was mailed.

(5) The Town Commission may grant the application if the Town Commission finds that:

- (a) The encroachment is less than or equal to thirty percent (30%) of the setback requirement in effect on the date that the encroachment was created;
- (b) Either letters of no objection have been filed by the applicant for all adjacent property owners, or 15 days have passed since the mailing to adjacent neighbors informing them of their right to file an objection with the town clerk, and no letters of objection to the administrative variance application have been timely filed.
- (c) The structure(s) for which a variance is sought was constructed under a valid permit. This requirement does not apply to variances with encroachments of less than twenty inches (20”).
- (d) The setback violation was a good faith error and was not intentional.

III. Section 82-143 is deleted and amended to read as follows:

Upon approval of the administrative variance by the Town Commission, the Town Clerk shall record, in the Martin County, Florida, public records, a copy of the administrative

variance approval along with a legible copy of the survey required above.

IV. Section 82-144 is deleted entirely.

V. Section 82-145 is deleted entirely.

VI. Section 82-146 is deleted and restated to read as follows:

An administrative appeal from a decision of the Town Commission under this section may be taken by the applicant under Section 82-101 of the Code. The administrative appeal may proceed concurrently with an application for a variance before the Board of Zoning Adjustment, at the election of the applicant.

SEPARATION.

If any section, sentence, clause, phrase or word of this Ordinance is for any reason held or declared to be unconstitutional, inoperative or void, such holding or invalidity shall not affect the remaining portions of this Ordinance, and it shall be construed to have been the intent of the Board to adopt this Ordinance without such unconstitutional, invalid or inoperative part therein, and the remainder of this Ordinance after the exclusion of such part or parts, shall be deemed and held to be valid as if such part or parts had not been included herein. If this Ordinance or any provision thereof shall be held to be inapplicable to any person, groups of persons, property, kind of property, circumstances or set of circumstances, such holdings shall not affect its applicability to any other person, property or circumstances.

REPEAL.

Town ordinances and Town resolutions, or parts thereof, in conflict with this Ordinance are hereby abolished and repealed to the extent of such conflict.

INCORPORATION IN TOWN CODE.

Provisions of this Ordinance shall be incorporated in the Town Code and the word "Ordinance" may be changed to "section," "article," or other appropriate word, and the sections of this Ordinance may be renumbered or relettered to accomplish such intention.

EFFECTIVE DATE.

This Ordinance shall become effective immediately upon adoption.

Commissioner Morris, offered the foregoing Ordinance, and moved its adoption.

The motion was seconded by Commissioner Bercaw and upon being put to a vote, the vote was as follows:

	AYE	NAY
THOMAS P. BAUSCH, Mayor	<u>✓</u>	_____
MARC S. TEPLITZ, Vice Mayor	<u>✓</u>	_____
RICHARD L. BARON, Commissioner	<u>✓</u>	_____
JAMES D. BERCAW, Commissioner	<u>✓</u>	_____
E. DANIEL MORRIS, Commissioner	<u>✓</u>	_____

Passed first reading at the regular meeting of the Town Commission held on the 9th day of September, 2002.

The foregoing Ordinance was offered for its second reading, and being put to a vote, the vote was as follows:

	AYE	NAY
THOMAS P. BAUSCH, Mayor	<u>✓</u>	_____
MARC S. TEPLITZ, Vice Mayor	<u>✓</u>	_____
RICHARD L. BARON, Commissioner	<u>✓</u>	_____
JAMES D. BERCAW, Commissioner	<u>✓</u>	_____
E. DANIEL MORRIS, Commissioner	<u>✓</u>	_____

Passed second reading at the regular meeting of the Town Commission held on the 19th of November, 2002.

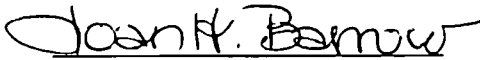
The Mayor thereupon declared this Ordinance 292 approved and adopted by the
Town Commission of the Town of Sewall's Point on this 19th day of November
2002.

TOWN OF SEWALL'S POINT, FLORIDA



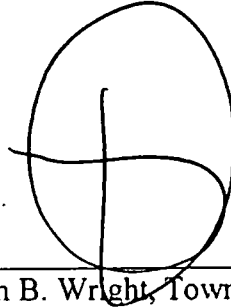
Thomas P. Bausch, Mayor

ATTEST:



Joan H. Barrow, Town Clerk

(TOWN SEAL)



Tim B. Wright, Town Attorney
Approved as to form and
legal sufficiency

INSTR # 1802532
OR BK 01967 FG 2765
RECORDED 12/29/2004 01:23:06 PM
MARSHA EWING
CLERK OF MARTIN COUNTY FLORIDA
RECORDED BY C Burkey

RESOLUTION NO. 629

A RESOLUTION OF THE TOWN COMMISSION OF THE TOWN OF SEWALL'S POINT, FLORIDA, GRANTING THE ADMINISTRATIVE VARIANCE OF UWE C. PETERSEN AND COLETTA B. PETERSEN, HIS WIFE, FOR AN ENCROACHMENT ON LOT 96, RIO VISTA, AS RECORDED IN PLAT BOOK 6, PAGE 95 OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

WHEREAS, Uwe C. Petersen and Coletta B. Petersen, his wife ("Applicants"), the owners of the above-described property located at 49 Rio Vista Drive, has applied for an administrative variance under the Code (see survey attached as Exhibit "A"); and

WHEREAS, the Town Building Department received, reviewed and recommended approval of the Applicants' application for a variance of the following:

1. An encroachment of 3.50 feet on the NW corner of the pool deck of the residence.

WHEREAS, the Town Commission held a public hearing on the variance on September 21, 2004; and

WHEREAS, notice of the public hearing was posted at the Town Hall bulletin board and notice of the public hearing was sent by certified mail, return receipt requested, by the Applicants, to all record owners of property located adjacent to the property involved in the variance and the date of the mailing was at least fifteen (15) days before the date of the hearing (or notice was waived by the adjacent owners); and

WHEREAS, the Applicants at the public hearing presented proof of the identity and address of the persons entitled to receive notice by mail and of the mailing of the notice to

those persons (or their waiver); and

WHEREAS, the Town Commission at the public hearing made the finding that: The Applicants demonstrated an extreme hardship, which justified a variance of the Town Code.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COMMISSION OF THE TOWN OF SEWALL'S POINT, FLORIDA, AS FOLLOWS:

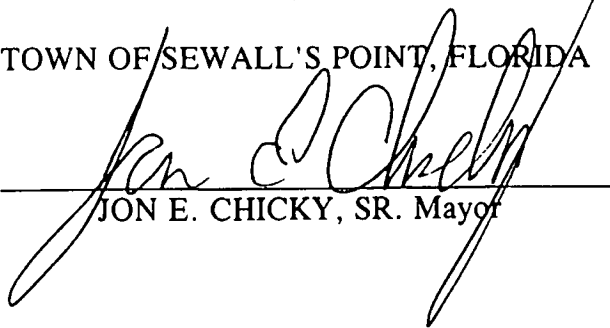
1. The Applicants' variance is hereby conditionally granted by the Town Commission of the Town of Sewall's Point, Florida;
2. This variance is expressly conditioned upon the Applicants reimbursing the Town for all professional expenses of the Town incurred in connection with the application, pursuant to Section 46-31, Town of Sewall's Point Code of Ordinances; and
3. This Resolution shall be recorded by the Applicants in the Martin County, Florida Public Records at the Applicants' expense.

The vote was as follows:

	AYE	NAY
JON E. CHICKY, Mayor	<u>✓</u>	<u> </u>
RICHARD L. BARON, Vice Mayor	<u>✓</u>	<u> </u>
PAMELA M. BUSHA	<u>✓</u>	<u> </u>
THOMAS P. BAUSCH, Commissioner	<u>absent</u>	<u> </u>
E. DANIEL MORRIS, Commissioner	<u>✓</u>	<u> </u>

The Mayor thereupon declared this Resolution approved and adopted by the Town Commission of the Town of Sewall's Point on this 21st day of September, 2004.

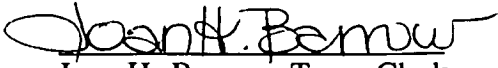
TOWN OF SEWALL'S POINT, FLORIDA



 JON E. CHICKY, SR. Mayor

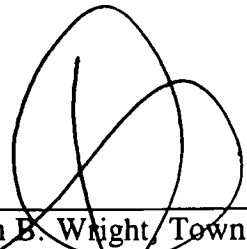
OR BK 01967 PG 2766

ATTEST:


Joan H. Barrow, Town Clerk

(TOWN SEAL)

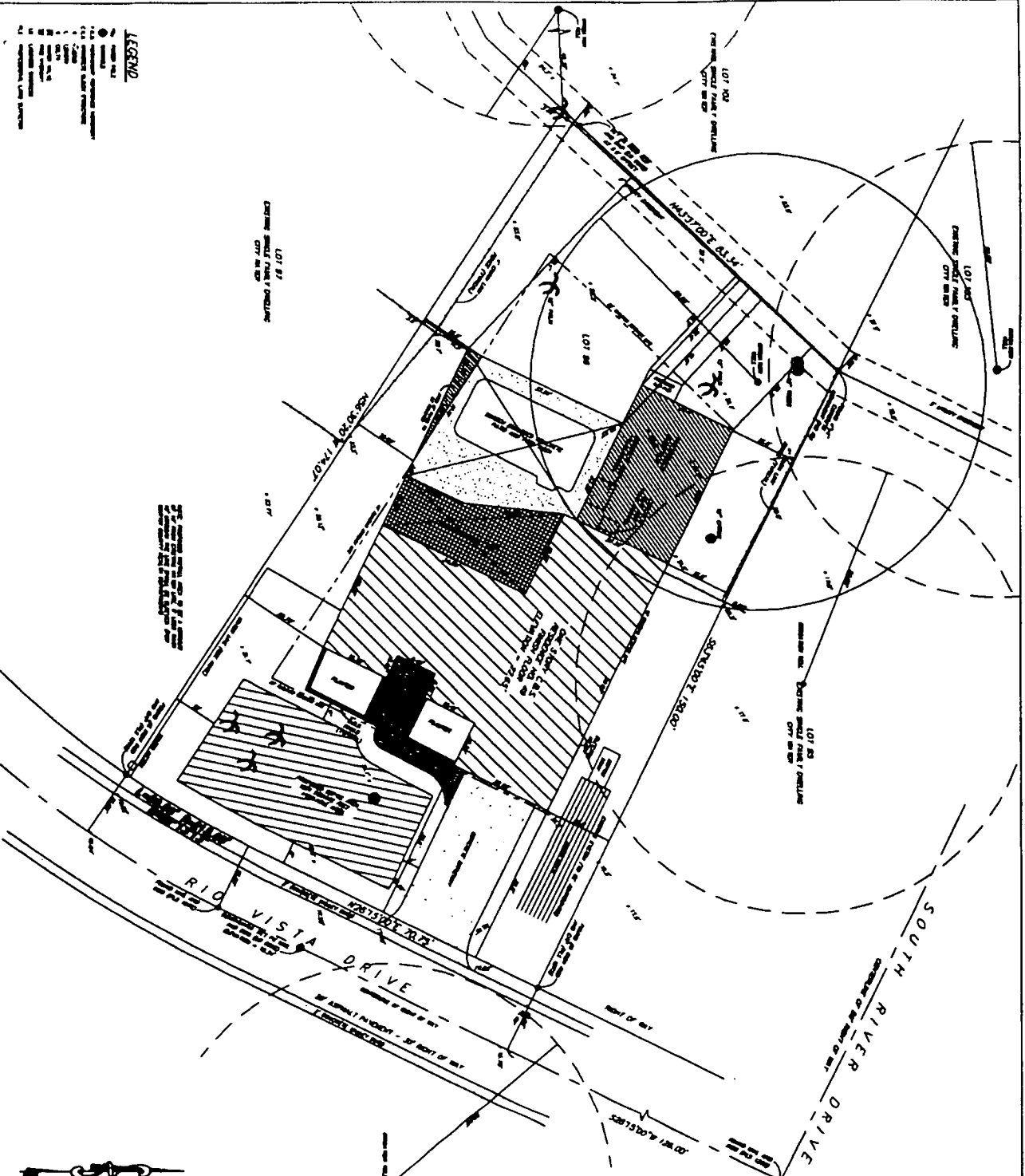




Tim B. Wright, Town Attorney
Approved as to form and
legal sufficiency

Clerk's Note:
 Legibility of this document
 determined to be substandard

BOUNDARY SURVEY
 LOT 96, RIO VISTA SUBDIVISION
 PLAT BOOK 6, PAGE 95
 MARTIN COUNTY, FLORIDA.



LEGAL DESCRIPTION:
 LOT 96, RIO VISTA SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 6, PAGE 95 OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

SURVEYOR'S NOTES:

- 1. THIS SURVEY WAS MADE BY THE SURVEYOR IN ACCORDANCE WITH THE FLORIDA SURVEYING ACTS AND THE RULES AND REGULATIONS THEREOF.
- 2. THE SURVEY WAS MADE BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF IT ACCURATELY REPRESENTS THE TRUTH.
- 3. I HAVE NOTICED THE EXISTING SURVEY OF THE SUBJECT OF THIS SURVEY AND THE EXISTING SURVEY OF THE ADJACENT LOTS AND HAVE FOUND THEM TO BE CORRECT.
- 4. I HAVE NOTICED THE EXISTING SURVEY OF THE SUBJECT OF THIS SURVEY AND THE EXISTING SURVEY OF THE ADJACENT LOTS AND HAVE FOUND THEM TO BE CORRECT.
- 5. I HAVE NOTICED THE EXISTING SURVEY OF THE SUBJECT OF THIS SURVEY AND THE EXISTING SURVEY OF THE ADJACENT LOTS AND HAVE FOUND THEM TO BE CORRECT.
- 6. I HAVE NOTICED THE EXISTING SURVEY OF THE SUBJECT OF THIS SURVEY AND THE EXISTING SURVEY OF THE ADJACENT LOTS AND HAVE FOUND THEM TO BE CORRECT.
- 7. I HAVE NOTICED THE EXISTING SURVEY OF THE SUBJECT OF THIS SURVEY AND THE EXISTING SURVEY OF THE ADJACENT LOTS AND HAVE FOUND THEM TO BE CORRECT.
- 8. I HAVE NOTICED THE EXISTING SURVEY OF THE SUBJECT OF THIS SURVEY AND THE EXISTING SURVEY OF THE ADJACENT LOTS AND HAVE FOUND THEM TO BE CORRECT.
- 9. I HAVE NOTICED THE EXISTING SURVEY OF THE SUBJECT OF THIS SURVEY AND THE EXISTING SURVEY OF THE ADJACENT LOTS AND HAVE FOUND THEM TO BE CORRECT.
- 10. I HAVE NOTICED THE EXISTING SURVEY OF THE SUBJECT OF THIS SURVEY AND THE EXISTING SURVEY OF THE ADJACENT LOTS AND HAVE FOUND THEM TO BE CORRECT.



SURVEYOR'S CERTIFICATION:
 I, THE SURVEYOR, HEREBY CERTIFY THAT THE SURVEY WAS MADE BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF IT ACCURATELY REPRESENTS THE TRUTH.

BLOOMSTER
 PROFESSIONAL LAND
 SURVEYORS, INC.
 781 NORTHEAST DIXIE HIGHWAY
 JENKS BEACH, FLORIDA 32837
 PHONE 772-331-0888

PREPARED FOR: UWE C. & COLETTA B. PETERSEN
 49 RIO VISTA DRIVE
 SCHWILS POINT, MARTIN COUNTY, FLORIDA

Reduced Copy

g. Letters of No Objection from all adjacent property owners (both husband and wife) or proof that a copy of the administrative variance application and survey had been sent to all adjacent property owners (both husband and wife) by certified return receipt mail with a written notice informing them that any objections to the requested administrative variance must be filed with the Town Clerk within fifteen days of the date that the notice was mailed.

8 The Town Commission may grant the variance if the Town Commission finds that:

- a. The encroachment is less than or equal to thirty (30) percent of the setback requirement in effect on the date that the encroachment was created.
- b. Either letters of no objection have been filed by the applicant for all adjacent property owners, or 15 days have passed since the mailing to adjacent neighbors informing them of their right to file an objection with the town clerk, and no letter of objections to the administrative variance application have been filed.
- c. The structure(s) for which a variance is sought was constructed under a valid permit. This requirement does not apply to variances with encroachments of less than twenty (20) inches.
- d. The setback violation was a good faith error and was not intentional.

I hereby certify that all of the information above and the application materials I have provided are true and correct

John C. Peterson
Applicant/Owner Signature

Corretta B. Peterson
Applicant/Owner Signature

Dated this 8-30 of 2004

TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

JON E. CHICKY
Mayor

RICHARD L. BARON
Vice Mayor

E. DANIEL MORRIS
Commissioner

THOMAS P. BAUSCH
Commissioner

PAMELA M. BUSHA
Commissioner

JAMES K. McMAHON
Town Manager

JOAN H. BARROW
Town Clerk

LARRY E. McCARTY
Chief of Police

GENE SIMMONS
Building Official

JOSE TORRES, JR.
Maintenance

To: Mayor and Commissioners

Fm: 
Gene Simmons
Building Official

Ref: Request for Administrative Variance by Uwe and Coletta Petersen for the residence located at 49 Rio Vista Drive, Sewall's Point, Florida

Date: September 14, 2004

Attached for your review and approval is an application for an administrative variance requested by Uwe and Coletta Petersen for the residence located at 49 Rio Vista Drive, Sewall's Point, Florida.

The encroachment, which need to be addressed, is as follows:

1. NW Corner of Pool Deck – existing side setback of 11.5 feet - required 15 feet side setback - encroachment of 3.50 feet exists.

Per Administrative Ordinance No. 292 dated November 19, 2002 the applicant has met the following requirements as outline in the ordinance:

1. The setback violation(s) for the encroachment(s) shown on the survey was/were a good faith error(s) and was/were not intentional.
2. I have inspected the files for 49 Rio Vista Drive and have determined that the residence and pool for which this variance is requested were permitted under one permit number 1190 dated August 11, 1980.
3. I have received surveys (24" X 36" and one 8 ½" X 11" for recording) containing all pertinent information.
4. Letters of No Objection or proof of service filed at least 15 days prior to the town meeting.
5. The encroachments are less than 30% of the setback requirements.

If any other information is requested please do not hesitate to contact me at 287-2455.



Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org

TOWN OF SEWALL'S POINT ADMINISTRATIVE VARIANCE APPLICATION

- 1. Owner of Property: UWE C. PETERSEN
- 2. Owner of Property: COLETHA B. PETERSEN
- 3. Address of Property: 49 RIO VISTA DR.
- 4. Address of Applicant: SAME CELL
- 5. Phone Number of Applicant: (847) 634-9155 (847) 687-6867
- 6. Length and location (front, rear, & side) of encroachment)if more than one, please list separately):
PIE SHAPE
3 1/2' x 27'
NE CORNER - POOL DECK 3.50'

- 7. The following items must accompany this application:
 - a. \$400.00 Filing Fee (non-refundable).
 - b. Certificate of Ownership (copy of warranty deed or tax receipt).
 - c. A list certifying the name and address of all adjacent property owners as shown in the Official Records of the Martin County Tax Collector's Office.
 - d. A building permit or building permit application with the building permit number indicated on it. (The Building Department will verify)
 - e. Original permit drawings, plans or surveys. (The Building Department will verify)
 - f. Current surveys (eight each) 24" X 36" and one (1) 8 1/2" X 11".
Surveys must be:
 - (1). Prepared by a licensed surveyor registered in Florida in accordance with the minimum technical standards established by the Florida Board of Professional Surveyors and Mappers.
 - (2). Contain the address of the property, including street name and number, and show the proximity of all boundary streets.
 - (3). Show the location of all buildings, structures, and above-ground encroachments and improvements.
 - (4). Show all setback requirements under the Town of Sewall's Point Code of Ordinances.
 - (5). Show location and identification of all encroachments into setbacks under this code, including the type of improvement comprising the encroachments and specifically identifying any encroachment that is the subject of the application.
 - (6). Contain a certification to the Town of Sewall's Point.
 - (7). Contain any other information the Town Commission may require to show whether the setback encroachment is entitled to an administrative variance.

BOUNDARY SURVEY

LOT 96, RIO VISTA SUBDIVISION
PLAT BOOK 6, PAGE 95
MARTIN COUNTY, FLORIDA.

LEGAL DESCRIPTION

LOT 96, AND WITH BOUNDARIES, ACCORDING TO THE PLAT, BEING AS RECORDED IN PLAT BOOK 6, PAGE 95 OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

SURVEYOR'S NOTES

1. AND ADJUSTMENT WILL BE MADE BY THIS SURVEY TO LOCATE THE UNDERGROUND UTILITIES (POWER, TELEPHONE, CABLE, ETC.) AND TO LOCATE THE BOUNDARIES OF ALL LOTS IN THIS SUBDIVISION. THE SURVEYOR HAS BEEN ADVISED THAT THE UTILITIES ARE LOCATED AS SHOWN ON THE PLAT AND THAT THE BOUNDARIES OF ALL LOTS IN THIS SUBDIVISION ARE AS SHOWN ON THE PLAT.
2. THE SURVEYOR HAS BEEN ADVISED THAT THE BOUNDARIES OF ALL LOTS IN THIS SUBDIVISION ARE AS SHOWN ON THE PLAT AND THAT THE UTILITIES ARE LOCATED AS SHOWN ON THE PLAT.
3. THE SURVEYOR HAS BEEN ADVISED THAT THE BOUNDARIES OF ALL LOTS IN THIS SUBDIVISION ARE AS SHOWN ON THE PLAT AND THAT THE UTILITIES ARE LOCATED AS SHOWN ON THE PLAT.
4. THE SURVEYOR HAS BEEN ADVISED THAT THE BOUNDARIES OF ALL LOTS IN THIS SUBDIVISION ARE AS SHOWN ON THE PLAT AND THAT THE UTILITIES ARE LOCATED AS SHOWN ON THE PLAT.
5. THE SURVEYOR HAS BEEN ADVISED THAT THE BOUNDARIES OF ALL LOTS IN THIS SUBDIVISION ARE AS SHOWN ON THE PLAT AND THAT THE UTILITIES ARE LOCATED AS SHOWN ON THE PLAT.
6. THE SURVEYOR HAS BEEN ADVISED THAT THE BOUNDARIES OF ALL LOTS IN THIS SUBDIVISION ARE AS SHOWN ON THE PLAT AND THAT THE UTILITIES ARE LOCATED AS SHOWN ON THE PLAT.
7. THE SURVEYOR HAS BEEN ADVISED THAT THE BOUNDARIES OF ALL LOTS IN THIS SUBDIVISION ARE AS SHOWN ON THE PLAT AND THAT THE UTILITIES ARE LOCATED AS SHOWN ON THE PLAT.
8. THE SURVEYOR HAS BEEN ADVISED THAT THE BOUNDARIES OF ALL LOTS IN THIS SUBDIVISION ARE AS SHOWN ON THE PLAT AND THAT THE UTILITIES ARE LOCATED AS SHOWN ON THE PLAT.
9. THE SURVEYOR HAS BEEN ADVISED THAT THE BOUNDARIES OF ALL LOTS IN THIS SUBDIVISION ARE AS SHOWN ON THE PLAT AND THAT THE UTILITIES ARE LOCATED AS SHOWN ON THE PLAT.
10. THE SURVEYOR HAS BEEN ADVISED THAT THE BOUNDARIES OF ALL LOTS IN THIS SUBDIVISION ARE AS SHOWN ON THE PLAT AND THAT THE UTILITIES ARE LOCATED AS SHOWN ON THE PLAT.

CERTIFICATIONS

1. I, UWE C. AND COLETTA B. PETERSEN, ARE PROFESSIONAL LAND SURVEYORS AND REGISTERED AS SUCH IN THE STATE OF FLORIDA.
2. WE, UWE C. AND COLETTA B. PETERSEN, ARE THE SURVEYORS OF THIS SURVEY.
3. WE, UWE C. AND COLETTA B. PETERSEN, ARE THE PREPARERS OF THIS SURVEY.
4. WE, UWE C. AND COLETTA B. PETERSEN, ARE THE REGISTERED PROFESSIONAL LAND SURVEYORS OF MARTIN COUNTY, FLORIDA.
5. WE, UWE C. AND COLETTA B. PETERSEN, ARE THE REGISTERED PROFESSIONAL LAND SURVEYORS OF MARTIN COUNTY, FLORIDA.
6. WE, UWE C. AND COLETTA B. PETERSEN, ARE THE REGISTERED PROFESSIONAL LAND SURVEYORS OF MARTIN COUNTY, FLORIDA.
7. WE, UWE C. AND COLETTA B. PETERSEN, ARE THE REGISTERED PROFESSIONAL LAND SURVEYORS OF MARTIN COUNTY, FLORIDA.
8. WE, UWE C. AND COLETTA B. PETERSEN, ARE THE REGISTERED PROFESSIONAL LAND SURVEYORS OF MARTIN COUNTY, FLORIDA.
9. WE, UWE C. AND COLETTA B. PETERSEN, ARE THE REGISTERED PROFESSIONAL LAND SURVEYORS OF MARTIN COUNTY, FLORIDA.
10. WE, UWE C. AND COLETTA B. PETERSEN, ARE THE REGISTERED PROFESSIONAL LAND SURVEYORS OF MARTIN COUNTY, FLORIDA.

GRAPHIC SCALE



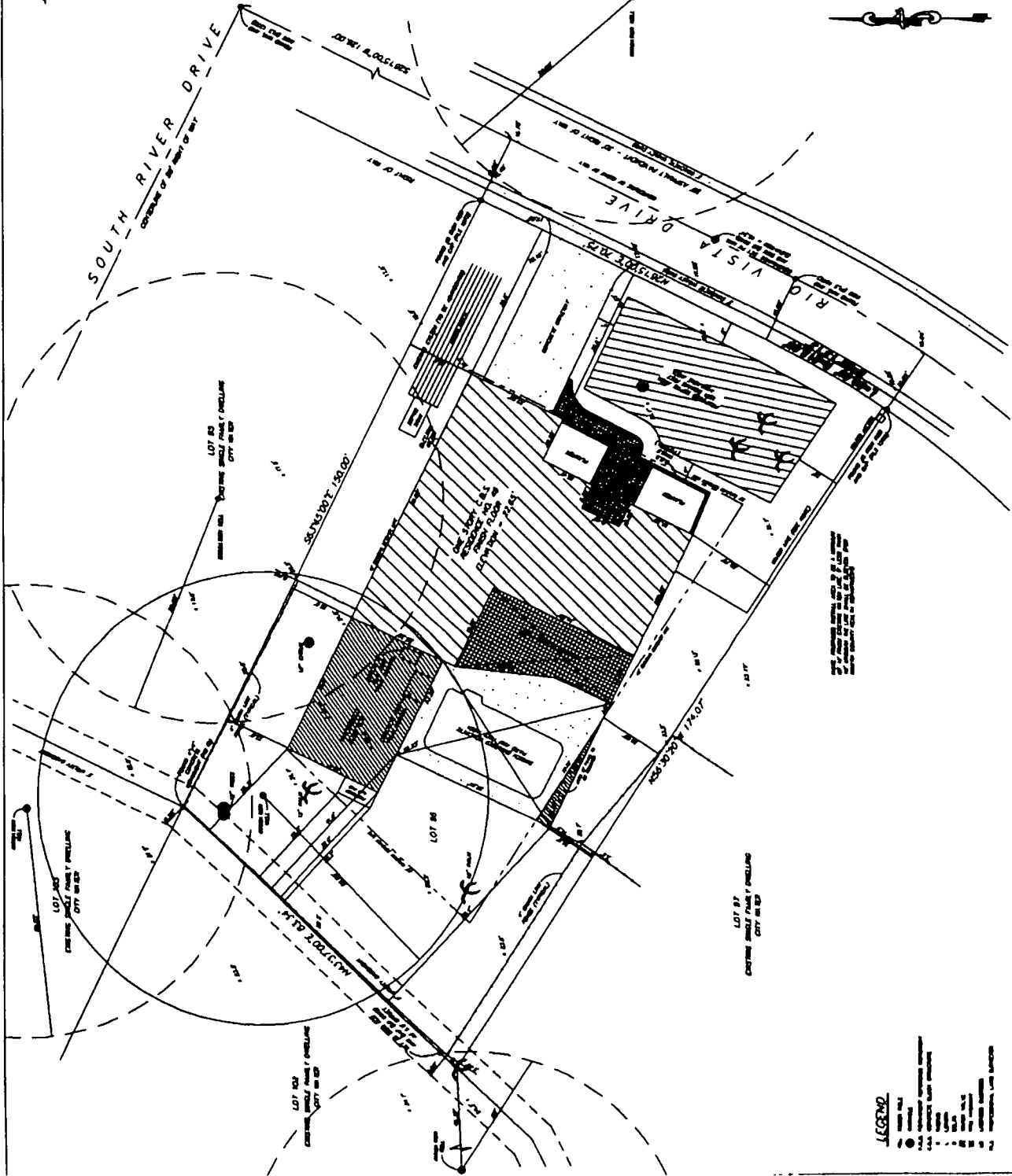
SURVEYOR'S CERTIFICATION

UWE C. AND COLETTA B. PETERSEN, REGISTERED PROFESSIONAL LAND SURVEYORS, HAVE CONDUCTED THIS SURVEY IN ACCORDANCE WITH THE FLORIDA SURVEYING ACT AND THE RULES OF THE BOARD OF PROFESSIONAL LAND SURVEYORS AND ENGINEERS. WE CERTIFY THAT THE SURVEY IS TRUE AND CORRECT AND THAT WE ARE THE REGISTERED PROFESSIONAL LAND SURVEYORS OF MARTIN COUNTY, FLORIDA.

Uwe C. Petersen
Professional Land Surveyor
No. 10076 of Florida

BLOOMSTER
PROFESSIONAL LAND SURVEYORS, INC.
U.S. 90/90
3711 NORTHEAST DUNE HIGHWAY
JONESTOWN BEACH, FLORIDA 32057
PHONE 772-334-0888

PREPARED FOR: UWE C. & COLETTA B. PETERSEN
49 RIO VISTA DRIVE, MARTIN COUNTY, FLORIDA
SEWELL'S POINT, MARTIN COUNTY, FLORIDA



LETTER OF NO OBJECTION

The Town of Sewall's Point
One South Sewall's Point Road
Sewall's Point, FL 34996

Ref: Application for Administrative Variance Pursuant to Appendix B – Zoning Section VIII.F, Town of Sewall's Point Code of Ordinances Filed by Uwe C. Petersen

Dear Town of Sewall's Point:

I have received the Administrative Variance Application filed by Uwe C. Petersen with the Town of Sewall's Point. I am an adjacent property owner to the property, which is the subject of the Administrative Variance, and I have no objection to the Town of Sewall's Point granting the Administrative Variance.

Sincerely yours,



Signature of Adjacent Property Owner

RICHARD C. SHEETS

Printed Name of Adjacent Property Owner

101 S. RIVER RD.

Address of Adjacent Property Owner

8-28-04

Date

LETTER OF NO OBJECTION

The Town of Sewall's Point
One South Sewall's Point Road
Sewall's Point, FI 34996

Ref: Application for Administrative Variance Pursuant to Appendix B – Zoning Section VIII.F, Town of Sewall's Point Code of Ordinances Filed by Uwe C. Petersen

Dear Town of Sewall's Point:

I have received the Administrative Variance Application filed by Uwe C. Petersen with the Town of Sewall's Point. I am an adjacent property owner to the property, which is the subject of the Administrative Variance, and I have no objection to the Town of Sewall's Point granting the Administrative Variance.

Sincerely yours,



Signature of Adjacent Property Owner

8/28/04
Date

Teddyan Allman
Printed Name of Adjacent Property Owner

45 RIO VISTA
Address of Adjacent Property Owner

LETTER OF NO OBJECTION

The Town of Sewall's Point
One South Sewall's Point Road
Sewall's Point, FL 34996

Ref: Application for Administrative Variance Pursuant to Appendix B – Zoning Section VIII.F, Town of Sewall's Point Code of Ordinances Filed by _____

Dear Town of Sewall's Point:

I have received the Administrative Variance Application filed by _____ with the Town of Sewall's Point. I am an adjacent property owner to the property, which is the subject of the Administrative Variance, and I have no objection to the Town of Sewall's Point granting the Administrative Variance.

Sincerely yours,

Richard Hammock

Signature of Adjacent Property Owner

8-30-04

Date

RICHARD HAMMOCK

Printed Name of Adjacent Property Owner

25 Rio Vista Dr

Address of Adjacent Property Owner

LETTER OF NO OBJECTION

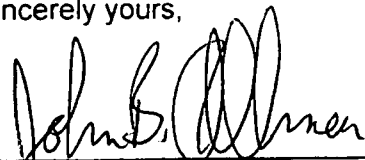
The Town of Sewall's Point
One South Sewall's Point Road
Sewall's Point, FI 34996

Ref: Application for Administrative Variance Pursuant to Appendix B - Zoning Section VIII.F, Town of Sewall's Point Code of Ordinances Filed by UWE C. Petersen

Dear Town of Sewall's Point:

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Sincerely yours,



Signature of Adjacent Property Owner

John B. Allmar

Printed Name of Adjacent Property Owner

106 S River Rd.

Address of Adjacent Property Owner

8-31-04

Date

6876

ADDITION

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 8/31/04 BUILDING PERMIT NO. 6876
 Building to be erected for PETERSEN Type of Permit ADDITION
 Applied for by DRIFTWOOD HOMES (Contractor) Building Fee 1338.24
 Subdivision RIO VISTA Lot 96 Block _____ Radon Fee —
 Address 49 RIO VISTA DRIVE Impact Fee —
 Type of structure SFR A/C Fee 120.00
 Electrical Fee 120.00
 Plumbing Fee 120.00
 Roofing Fee 120.00
 Other Fees (10% PLAN REVIEW) 181.82
 TOTAL Fees 2000.06

Parcel Control Number: 1238410020000096050000
 Amount Paid 2000.06 Check # 13623 Cash _____
 Total Construction Cost \$ 139,400.00

Signed [Signature] Applicant
 Signed [Signature] Town Building Official

PERMIT

- | | | |
|---|--|--|
| <input checked="" type="checkbox"/> BUILDING <u>SFR</u> | <input checked="" type="checkbox"/> ELECTRICAL | <input checked="" type="checkbox"/> MECHANICAL |
| <input checked="" type="checkbox"/> PLUMBING | <input checked="" type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

INSURATION <u>OK 3/7</u>		
UNDERGROUND PLUMBING	<u>OK 10/10</u>	UNDERGROUND GAS _____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL _____
STEMWALL FOOTING	_____	FOOTING _____
SLAB	<u>OK 10/15</u>	TIE BEAM/COLUMNS <u>OK 11/10</u>
ROOF SHEATHING	<u>OK 1/5</u>	WALL SHEATHING _____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH _____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS _____
PLUMBING ROUGH-IN	<u>OK 10/10 2/20</u>	ELECTRICAL ROUGH-IN <u>OK 3/7</u>
MECHANICAL ROUGH-IN	<u>OK 3/7</u>	GAS ROUGH-IN _____
FRAMING	_____	EARLY POWER RELEASE _____
FINAL PLUMBING	<u>OK 1/27</u>	FINAL ELECTRICAL <u>OK 1/27</u>
FINAL MECHANICAL	<u>OK 1/27</u>	FINAL GAS _____
FINAL ROOF	<u>OK 1/27</u>	BUILDING FINAL _____

RENEWAL: \$200.00/mo x 5 months = \$1000.00 #15344 good thru 1/31/06

C

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 8/31/04

BUILDING PERMIT NO. 6876

Building to be erected for PETERSEN

Type of Permit ADDITION

Applied for by DRIFTWOOD HOMES

(Contractor)

Building Fee 1338.24

Subdivision RIO VISTA Lot 96 Block _____

Radon Fee -

Address 49 RIO VISTA DRIVE

Impact Fee -

Type of structure SFR

AC Fee 120.00

Parcel Control Number:

1238410020000096050000

Electrical Fee 120.00

Plumbing Fee 120.00

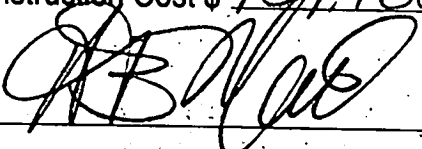
Roofing Fee 120.00

Amount Paid 2000.06 Check # 13623 Cash _____

Other Fees ^{10% PLAN} (REVIEW) 181.82

Total Construction Cost \$ 139,400.00

TOTAL Fees 2000.06

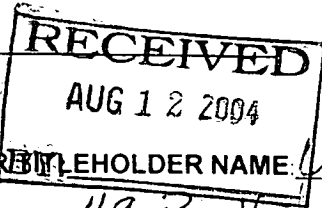
Signed 

Applicant

Signed 

Town Building Official

Date:



Permit Number:

6876

Town of Sewall's Point
BUILDING PERMIT APPLICATION

OWNER/BUILDER/LEASER NAME: UWE PETERSEN Phone (Day) 288-4486 (Fax)

Job Site Address: 49 RIO VISTA DR. City: STUART State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) RIO VISTA LOT 96 Parcel Number: 123841002000009605

Owner Address (if different): SAME City: State: Zip:

Description of Work To Be Done: MASTER SUITE ADDITION

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: DRAFTWOOD HOMES Phone: 334-2577 Fax: 334-5677

Street: 2163 PINE RIDGE ST City: JENSEN BCH State: FL Zip: 34957

State Registration Number: R20056789 State Certification Number: Martin County License Number: 4000089

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 139,400.00 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: HERITAGE ELECTRIC State: FL License Number: ME00094

Mechanical: ASSOCIATED AIR State: FL License Number: CAC026432

Plumbing: SOUTH PACIFIC PLUMBING State: FL License Number: CFC029690

Roofing: PACIFIC ROOFING State: FL License Number: CCC056793

ARCHITECT: BRADEN & BRADEN Phone Number: 287-8256

Street: 417 COCONUT AVE City: STUART State: FL Zip: 34996

ENGINEER Phone Number:

Street: City: State: Zip:

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: 943 Garage: Covered Patios: Screened Porch:
Carpport: Total Under Roof Wood Deck: Accessory Building:

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

CONTRACTOR SIGNATURE (required)

State of Florida, County of: MARTIN

On State of Florida, County of: MARTIN

This the 12th day of August, 2004

This the 12th day of August, 2004

by Uwe Petersen who is personally

by Alan Morris who is personally

known to me or produced as identification. Helen R. Morris Commission # CC967169 Expires Sep. 18, 2004 Bonded Thru Atlantic Bonding Co., Inc.

Known to me or produced As identification.

My Commission Expires:

My Commission Expires:



MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 8/31/04

BUILDING PERMIT NO. 6876

Building to be erected for PETERSEN

Type of Permit ADDITION

Applied for by DRIFTWOOD HOMES (Contractor)

Building Fee 1338.24

Subdivision RIO VISTA Lot 96 Block _____

Radon Fee —

Address 49 RIO VISTA DRIVE

Impact Fee —

Type of structure SFR

A/C Fee 120.00

Parcel Control Number:

Electrical Fee 120.00

1238410020000096050000

Plumbing Fee 120.00

Amount Paid 2000.06 Check # 13623 Cash _____

Roofing Fee 120.00

Other Fees (10% QAN REVIEW) 181.82

Total Construction Cost \$ 139,400.00

TOTAL Fees 2000.06

Signed [Signature]

Applicant

Signed [Signature]

Town Building Official

PERMIT

- BUILDING SFR
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

ASSOCIATED AIR OF PORT ST LUCIE INC
PH 772-335-7089
1538 NIEMEYER CIRCLE
PORT ST LUCIE, FL 34952

2770

2-17-05

63-1114/870

PAY TO THE ORDER OF

TOWN OF SEWALL'S POINT

\$ 40.00

Forty and

00/100

DOLLARS

RIVERSIDE NATIONAL BANK
RIVERSIDE NATIONAL BANK OF FLORIDA
ONE AVENUE OFFICE

Jerry A. Lewis

FOR Re-inspection Fee



RECEIPT

DATE 2/17/05 No. 375307

RECEIVED FROM ASSOCIATED AIR / PETERSON \$40.00

Forty and 00/100 DOLLARS

FOR RENT
FOR REINSPECTION FEE - 2/11/05 PN 6877

ACCOUNT	40.00
PAYMENT	40.00
BAL. DUE	-

CASH
 CHECK
 MONEY ORDER
FROM _____ TO _____
BY *Jerry A. Lewis*

adame 2701

TOWN OF SEWALL'S POINT
1 SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

NO. _____
DATE 10/15/04

RECEIVED FROM DRIFTWOOD HOMES 6876
Forty AND 00/100 DOLLARS
REINSPECTION FEE - PETERSEN

Account Total \$ 40.00
Amount Paid \$ 40.00
Balance Due \$ 0

[Signature]





DRIFTWOOD HOMES
ALAN B. MORRIS
(772) 334-2577
2163 N.E. PINE RIDGE ST.
JENSEN BEACH, FL 34957


PNC BANK, DELAWARE
62-15/311

13781

10/14/2004

PAID TO THE ORDER OF Town Of Sewalls Point

\$ **40.00

Forty and 00/100 ***** DOLLARS 

Town Of Sewalls Point

[Signature]

EMO

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

08/03/2004

PRODUCER (772) 567-1188 FAX (772) 778-1416

SCHLITT INSURANCE SERVICES INC
1717 INDIAN RIVER BLVD
SUITE 300
VERO BEACH, FL 32960

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

NAIC #

INSURED Driftwood Homes, LLC
DBA: Alan B Morris d/b/a
2163 Pine Ridge St
Jensen Beach, FL 34957

INSURER A: Mid-Continent Casualty Company
INSURER B:
INSURER C:
INSURER D:
INSURER E:

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	ADD NSR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS		
A		GENERAL LIABILITY	04GL000550891	06/13/2004	06/13/2005	EACH OCCURRENCE	\$ 1,000,000	
	<input checked="" type="checkbox"/>	COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 100,000	
	<input type="checkbox"/>	CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$ Excluded	
						PERSONAL & ADV INJURY	\$ 1,000,000	
						GENERAL AGGREGATE	\$ 2,000,000	
						GEN'L AGGREGATE LIMIT APPLIES PER:	PRODUCTS - COMP/OP AGG	\$ 2,000,000
						<input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC		
		AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT (Ea accident)	\$	
		<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$	
		<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$	
		<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$	
		<input type="checkbox"/> HIRED AUTOS						
		<input type="checkbox"/> NON-OWNED AUTOS						
		GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$	
		<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC	\$	
						AUTO ONLY: AGG	\$	
		EXCESS/UMBRELLA LIABILITY				EACH OCCURRENCE	\$	
		<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$	
							\$	
		<input type="checkbox"/> DEDUCTIBLE					\$	
		<input type="checkbox"/> RETENTION \$					\$	
		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATU-TORY LIMITS	OTH-ER	
		ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				E.L. EACH ACCIDENT	\$	
		If yes, describe under SPECIAL PROVISIONS below				E.L. DISEASE - EA EMPLOYE	\$	
		OTHER				E.L. DISEASE - POLICY LIMIT	\$	

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

CERTIFICATE HOLDER

Town of Sewell's Point
1 South Sewell's Point Road
Sewell's Point, FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE
Robert Schlitt Jr./LAR

ACORD. CERTIFICATE OF INSURANCE

DATE (MM/DD/YY)

05-19-04

PRODUCER

RICK CARROLL INS AGCY
2160 NE DIXIE HWY

JENSEN BEACH

FL 349570877

2948J

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY

A FLORIDA W.C. JUA

COMPANY

B

COMPANY

C

COMPANY

D

INSURED

DRIFTWOOD HOMES LLC DBA
DRIFTWOOD HOMES & IMPROVEMENTS
2163 PINE RIDGE STREET
JENSEN BEACH FL 34957

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
	GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR. <input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT.				GENERAL AGGREGATE \$ PRODUCTS-COMP/OP AGG. \$ PERSONAL & ADV. INJURY \$ EACH OCCURRENCE \$ FIRE DAMAGE (Any one fire) \$ MED. EXPENSE (Any one person) \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT \$ BODILY INJURY (Per Person) \$ BODILY INJURY (Per Accident) \$ PROPERTY DAMAGE \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EACH ACCIDENT \$ AGGREGATE \$
	EXCESS LIABILITY <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$
A	WORKER'S COMPENSATION AND EMPLOYER'S LIABILITY THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input type="checkbox"/> INCL <input checked="" type="checkbox"/> EXCL	(UB-9546A20-5-04)	04-22-04	04-22-05	STATUTORY LIMITS EACH ACCIDENT \$ 100,000 DISEASE - POLICY LIMIT \$ 500,000 DISEASE - EACH EMPLOYEE \$ 100,000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/RESTRICTIONS/SPECIAL ITEMS

THIS REPLACES ANY PRIOR CERTIFICATE ISSUED TO THE CERTIFICATE HOLDER AFFECTING WORKERS COMP COVERAGE.

CERTIFICATE HOLDER

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Charles J. Clarke
ACORD CORPORATION 1993

TOWN OF SEWELLS POINT
1 SEWELLS POINT ROAD
STUART FL 34996



Martin County Building Department

2401 SE Monterey Road

Stuart, FL 34996

(772) 288-5916

MORRIS, ALAN B
DRIFTWOOD HOMES
2163 NE PINE RIDGE ST
JENSEN BEACH, FL 34957

NOTICE TO ALL CONTRACTORS

PLEASE BE ADVISED THAT MARTIN COUNTY, FLORIDA SECTION 43.42 REQUIRES COMPLIANCE WITH THE FOLLOWING EXERPT FROM THE GENERAL ORDINANCES OF THE MARTIN COUNTY CODE:

PROHIBITED ACTIVITIES:

43.42 R Advertising contracting work in any advertisement to the public in a newspaper or telephone directory without including in the advertisement the number of the contractor license issued to the person or business being advertised.

43.42 S Operating any commercial vehicle in the course of conducting the practice of contracting that fails to display the contractor license number of the contractor.

If you have any questions relating to the information in this letter , please contact the Martin County Contractor's Licensing Division of the Martin County Building Department.



**MARTIN COUNTY, FLORIDA
Construction Industry Licensing Board
Certificate of Competency**

RESIDENTIAL CONTRACTOR MARTIN COUNTY

License Number MC00089 Expires: 30-SEP-05

MORRIS, ALAN B
DRIFTWOOD HOMES
2163 NE PINE RIDGE ST
JENSEN BEACH, FL 34957



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD
1940 NORTH MONROE STREET
TALLAHASSEE FL 32399-0783

(850) 487-1395

MORRIS, ALAN B
DRIFTWOOD HOMES & IMPROVEMENTS
2163 NE PINE RIDGE STREET
JENSEN BEACH FL 34957

STATE OF FLORIDA AC# 1001407
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
 RR0056789 08/07/2003 030083054
 REGISTERED RESIDENTIAL CONTR
 MORRIS, ALAN B
 DRIFTWOOD HOMES & IMPROVEMENTS
 (INDIVIDUAL MUST MEET ALL LOCAL
 LICENSING REQUIREMENTS PRIOR
 TO CONTRACTING IN ANY AREA)
 HAS REGISTERED under the provisions of Ch.489
 Expiration date: AUG 31, 2005 L03080701826

DETACH HERE

AC# 1001407

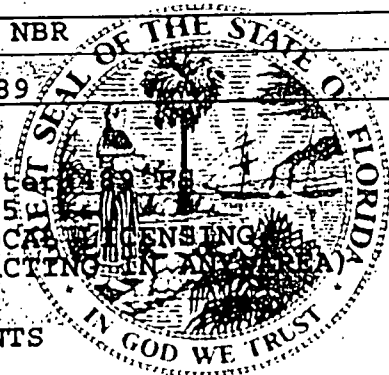
STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L03080701826

DATE	BATCH NUMBER	LICENSE NBR
08/07/2003	030083054	RR0056789

The RESIDENTIAL CONTRACTOR
 Named below HAS REGISTERED
 Under the provisions of Chapter 489
 Expiration date: AUG 31, 2005
 (INDIVIDUAL MUST MEET ALL LOCAL LICENSING
 REQUIREMENTS PRIOR TO CONTRACTING IN ANY AREA)



MORRIS, ALAN B
DRIFTWOOD HOMES & IMPROVEMENTS
2163 NE PINE RIDGE STREET
JENSEN BEACH FL 34957

JEB BUSH
GOVERNOR

DIANE CARR
SECRETARY

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 8/27/04

BUILDING PERMIT NO. 6877

Building to be erected for PETERSEN

Type of Permit SUB-A/C

Applied for by DRIFTWOOD/ASSOCIATED AC PSL (Contractor)

Building Fee _____

Subdivision RIO VISTA Lot 96 Block _____

Radon Fee _____

Address 49 RIO VISTA DRIVE

Impact Fee SEE

Type of structure SFR

A/C Fee _____

PRINT OWNER NAME: JERRY A. KREWICK

Electrical Fee PN 6876

Parcel Control Number: LIC#: CACD 26432

Plumbing Fee _____

1238410020000096050000

Roofing Fee _____

Amount Paid Check # X Cash _____ Other Fees (_____) _____

Total Construction Cost \$ _____ TOTAL Fees _____

Signed Jerry A. Krewick
Applicant

Signed [Signature]
Town Building Official

PERMIT

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input checked="" type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ACORD™ CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
06/28/2004

PRODUCER (772)231-2828 FAX (772)231-4413
Felten & Associates
 2911 Cardinal Drive (32963)
 P.O. Box 3488
 Vero Beach, FL 32964-3488

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED **Associated Air of Port St. Lucie, Inc.**
 1538 SE Niemeyer Circle
 Port St. Lucie, FL 34952

INSURERS AFFORDING COVERAGE

NAIC #

INSURER A: **Maryland Casualty Company**
 INSURER B:
 INSURER C:
 INSURER D:
 INSURER E:

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR _____ GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	SCP38417698	07/10/2004	07/10/2005	EACH OCCURRENCE \$ 500,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 300,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 500,000 GENERAL AGGREGATE \$ 1,000,000 PRODUCTS - COMP/OP AGG \$ 1,000,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$
	EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE _____ DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				WC STATU-TORY LIMITS OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
	OTHER				

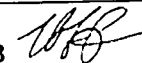
DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

CERTIFICATE HOLDER

CITY OF SEWALL'S POINT
 1 SEAWALL'S POINT ROAD
 SEWALL'S POINT, FL

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE
 Kenneth D. Felten, LUTCF/LB 

Certificate of Insurance

This certificate is issued as a matter of information only and confers no rights upon you the certificate holder. This certificate is not an insurance policy and does not amend, extend, or alter the coverage afforded by the policies listed below.

Named Insured(s):

Gevity HR, Inc and its wholly owned subsidiaries including but not limited to Gevity HR, LP; Gevity HR II, LP; Gevity HR III, LP; Gevity HR IV, LP; Gevity HR V, LP; Gevity HR VI, LP; Gevity HR VII, LP; Gevity HR VIII, LP; Gevity HR IX, LP; Gevity HR X, LP; Gevity HR XI, LLC; Gevity HR XII Corp.
600 301 Boulevard West
Bradenton, Florida 34205

MARSH

Insurer Affording Coverage

**American Home Assurance Co.,
Member of American International Group, Inc. (AIG)**

Coverages:

The policy(ies) of insurance listed below have been issued to the insured named above for the policy period indicated. The insurance afforded by the policy(ies) described herein is subject to all the terms, exclusions and conditions of such policy(ies).

Type of Insurance	Certificate Exp. Date <input type="checkbox"/> Continuous <input type="checkbox"/> Extended <input checked="" type="checkbox"/> Policy Term	Policy Number	Limits	
			Workers' Compensation	
	1-1-2005	RMWC2633886 RMWC2633892 RMWC2633912 RMWC2633913 RMWC2633920	Bodily Injury By Accident \$ 2,000,000	Each Accident
			Bodily Injury By Disease \$ 2,000,000	Policy Limit
			Bodily Injury By Disease \$ 2,000,000	Each Person

Other:

Employees Leased To:

Effective Date: 1/1/04

15279 Associated Air of Port St. Lucie Inc.

The above referenced workers' compensation policy(ies) provide(s) statutory benefits only to the employees of the Named Insured(s) on such policy(ies), not to the employees of any other employer.

*If the certificate expiration date is continuous or extended term, you will be notified if coverage is terminated or reduced before the certificate expiration date. However, you will not be notified annually of the continuation of coverage.

Notice of Cancellation: Should any of the policies described herein be cancelled before the expiration date thereof, the insurer affording coverage will endeavor to mail 30 days written notice to the certificate holder named herein, but failure to mail such notice shall impose no obligation or liability of any kind upon the insurer affording coverage, its agents or representatives.

Certificate Holder:

Michael C. Weiss

Michael C. Weiss

Authorized Representative of Marsh USA Inc.

City of Sewalls Point
1 Sewalls Point Road
Stuart, FL 34996

(866) 443-8489
Phone

1/1/2004
Date Issued

AC# 0509570

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ#L02073000512

DATE	BATCH NUMBER	LICENSE NBR
07/30/2002	621422634	CAC026432

The CLASS B AIR CONDITIONING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2004

KRENCIK, JERRY ANTHONY
ASSOCIATED AIR OF PT ST LUC IN
3002 SE ROUNDTABLE DR
PORT ST LUCIE FL 34952

JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

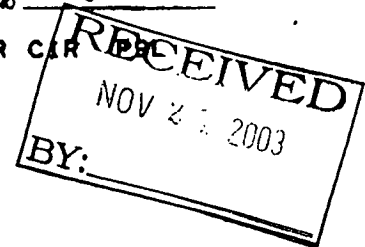
KIM BINKLEY-SEYER
SECRETARY

2003-2004 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 0013, Stuart, FL 34995
(772) 288-5604

LICENSE 1988-520-205 CERT
PHONE (561) 335-7089 SIC NO 001711

LOCATION: 1538 SE NIEMEYER CIR



CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	<u>00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>00</u>	PENALTY \$	<u>00</u>
\$	<u>00</u>	COL. FEE \$	<u>00</u>
\$	<u>00</u>	TRANSFER \$	<u>00</u>
TOTAL			<u>25.00</u>



IS HEREON LICENSED TO ENGAGE IN THE BUSINESS OF PROFESSIONAL SERVICE OF
CERT AIR COND CONTR/CLASS B

JERRY ANTHONY (OWN/QUAL)
PT ST LUCIE INC
NIEMEYER CIRCLE
PT ST LUCIE FL 34952

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

20 DAY OF AUGUST 03
AND ENDING SEPTEMBER 30, 2004 12 03081901 000140

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 8/27/04

BUILDING PERMIT NO. 6878

Building to be erected for PETERSEN

Type of Permit SUB-ELEC

Applied for by DUFFWOOD/HERITAGE ELECTRIC (Contractor)

Subdivision RIO VISTA Lot 96 Block _____

Address 49 RIO VISTA DR

Type of structure SFR

PRINT @ VAL NAME: WAYNE B GARBER

Parcel Control Number: Lic#: ME 00094

1238410020000096050 000

Amount Paid Check # Cash _____ Other Fees (_____) _____

Total Construction Cost \$ _____

Building Fee _____

Radon Fee _____

Impact Fee _____

A/C Fee Sub

Electrical Fee PN 6878

Plumbing Fee _____

Roofing Fee _____

TOTAL Fees _____

Signed Wayne B Garber
Applicant

Signed Gene Simmons (D)
Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
3-09-04

PRODUCER
Kearns Agency of Florida Inc.
P O Box 1849
Jensen Beach, Fl. 34958

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED
Heritage Electric Inc.
P O Box 1003
Jensen Beach, Fl. 34958-1003

INSURER A: **Southern Owners Insurance Co.**
INSURER B: **Auto-Owners Insurance Co.**
INSURER C:
INSURER D:
INSURER E:

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INBR LTA	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY	20634782-04	2/01/04	2/01/05	EACH OCCURRENCE \$ 300,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				FIRE DAMAGE (Any one fire) \$ 100,000
					MED EXP (Any one person) \$ 10,000
					PERSONAL & ADV INJURY \$ 300,000
					GENERAL AGGREGATE \$ 300,000
GENL AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC					
B	AUTOMOBILE LIABILITY	95-434-704-00	2/01/04	2/01/05	COMBINED SINGLE LIMIT (Ea accident) \$ 300,000
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$
	<input checked="" type="checkbox"/> SCHEDULED AUTOS				BODILY INJURY (Per accident) \$
	<input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS				PROPERTY DAMAGE (Per accident) \$
GARAGE LIABILITY					
<input type="checkbox"/> ANY AUTO					
EXCESS LIABILITY					
<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE					
<input type="checkbox"/> DEDUCTIBLE					
<input type="checkbox"/> RETENTION \$					
WORKERS COMPENSATION AND EMPLOYERS LIABILITY					
<input type="checkbox"/> WC BYAU-TORY LIMITS <input type="checkbox"/> OTH-ER					
E.L. EACH ACCIDENT \$					
E.L. DISEASE - EA EMPLOYEE \$					
E.L. DISEASE - POLICY LIMIT \$					
OTHER					

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

Electrical - State of Florida

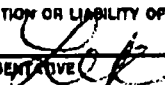
JFK
3-9-04
10-10-04

CERTIFICATE HOLDER ADDITIONAL INSURED: INSURER LETTER: CANCELLATION

Town of Sewalls Point
1 So. Sewalls Point Road
Stuart, FL 34996

Fax to: 772 220-4765

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.


 AUTHORIZED REPRESENTATIVE
Lawrence E. Kearns

ACORD CERTIFICATE OF LIABILITY INSURANCE

PRODUCER (772)334-3181
 Keith Carroll Insurance Agency
 2160 N.E. Dixie Highway
 P.O. Box 877
 Jensen Beach, FL 34958-0877

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED Heritage Electric, Inc.
 PO Box 1003
 Jensen Beach, FL 34958

INSURERS AFFORDING COVERAGE		NAIC#
INSURER A:	Harbor Specialty Insurance	
INSURER B:		
INSURER C:		
INSURER D:		
INSURER E:		

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

ISR ADD'L TR INSR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
					EACH OCCURRENCE	\$
	GENERAL LIABILITY				EACH OCCURRENCE	\$
	COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED	\$
	CLAIMS MADE				PERSONAL & ADV INJURY	\$
	GEN'L AGGREGATE LIMIT APPLIES PER:				GENERAL AGGREGATE	\$
	POLICY				PRODUCTS - COM/PROP AGG	\$
	PROJECT					
	LOC					
	AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT (Ea accident)	\$
	ANY AUTO				BODILY INJURY (Per person)	\$
	ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$
	SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$
	HIRED AUTOS					
	NON-OWNED AUTOS					
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$
	ANY AUTO				OTHER THAN AUTO ONLY: EA ACC	\$
					AGG	\$
	EXCESS/UMBRELLA LIABILITY				EACH OCCURRENCE	\$
	OCUR				AGGREGATE	\$
	CLAIMS MADE					\$
	DEDUCTIBLE					\$
	RETENTION					\$
A:	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	0599000004361204	07/10/2004	07/10/2005	WC STATU-TORY LIMITS	
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				E.L. EACH ACCIDENT	\$ 100,000
					E.L. DISEASE - EA EMPLOYEE	\$ 500,000
	If yes, describe under SPECIAL PROVISIONS below				E.L. DISEASE - POLICY LIMIT	\$ 100,000
OTHER						

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

THIS CERTIFICATE IS FOR PROOF OF INSURANCE ONLY.

CERTIFICATE HOLDER	CANCELLATION
Town of Sewalls Point 1 Sewalls Pt Road Stuart, FL 34996	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.
	AUTHORIZED REPRESENTATIVE Keith Carroll/LAG

FL BOX 1003
JENSEN BEACH

JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

KIM BINKLEY-SKYER
SECRETARY

AC# 453984

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
ELECTRICAL CONTRACTORS LICENSING BOARD SEQ# L02061101407

DATE	BATCH NUMBER	LICENSE NUMBER
06/01/2002	011131171	ER0011356

THE ELECTRICAL CONTRACTOR, **WAYNE E GARBER**,
Named below HAS REGISTERED
Under the provisions of Chapter 489 FS
Expiration date: AUG 31, 2005
(INDIVIDUAL MUST MEET ALL LOCAL LICENSING
REQUIREMENTS PRIOR TO CONTRACTING IN ANY AREA)

GARBER, WAYNE E
HERITAGE ELECTRIC INC
P.O. BOX 1003
JENSEN BEACH FL 34958

JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

KIM BINKLEY-SKYER
SECRETARY



MARTIN COUNTY, FLORIDA
Construction Industry Licensing Board
Certificate of Competency

MASTER ELECTRICIAN

License Number ME00094 Expires: 30-SEP-05

GARBER, WAYNE E
HERITAGE ELECTRIC
BOX 1003
JENSEN BEACH, FL 34958

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 8/30/04

BUILDING PERMIT NO. 6879

Building to be erected for PETERSEN

Type of Permit SUB-PLUMBING

Applied for by DRIFWOOD/SOUTH PARK PLUMBING (Contractor)

Building Fee _____

Subdivision RIO VISTA Lot 96 Block _____

Radon Fee _____

Address 49 RIO VISTA DRIVE

Impact Fee _____

Type of structure SFR

A/C Fee SEE

PRINT QUAL NAME: DELBERT W REITER JR

Electrical Fee PN 6876

Lic#: CFC029690

Parcel Control Number: _____

Plumbing Fee _____

12384100200000960500

Roofing Fee _____

Amount Paid _____ Check # _____ Cash _____

Other Fees (_____) _____

Total Construction Cost \$ _____

TOTAL Fees _____

Signed Delbert W Reiter Jr
Applicant

Signed Gene Simmons
Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
04/13/04

FEDERATED MUTUAL INSURANCE COMPANY
Home Office: P.O. Box 328
Owatonna, MN 55060
Phone: 507-455-5200

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY A FEDERATED MUTUAL INSURANCE COMPANY OR
FEDERATED SERVICE INSURANCE COMPANY

INSURED 234-095-8
**SOUTH PARK PLUMBING OF ST
LUCIE COUNTY INC**
6941 HERITAGE DR
PORT ST LUCIE FL 34952

COMPANY B
COMPANY C
COMPANY D

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	9157210	06/01/04	06/01/05	GENERAL AGGREGATE \$ 2,000,000
	<input type="checkbox"/> COMMERCIAL GENERAL LIABILITY				PRODUCTS - COMP/OP AGG \$ 2,000,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				PERSONAL & ADV INJURY \$ 1,000,000
	<input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT				EACH OCCURRENCE \$ 1,000,000
	<input checked="" type="checkbox"/> BUSINESSOWNER'S POLICY				FIRE DAMAGE (Any one fire) \$ 50,000
					MED EXP (Any one person) \$
	AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT \$
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident) \$
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE \$
	<input type="checkbox"/> HIRED AUTOS				
	<input type="checkbox"/> NON-OWNED AUTOS				
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$
	<input type="checkbox"/> ANY AUTO				OTHER THAN AUTO ONLY:
					EACH ACCIDENT \$
					AGGREGATE \$
	EXCESS LIABILITY				EACH OCCURRENCE \$
	<input type="checkbox"/> UMBRELLA FORM				AGGREGATE \$
	<input type="checkbox"/> OTHER THAN UMBRELLA FORM				\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATUTORY LIMITS OTH-ER
	THE PROPRIETOR/ PARTNERS/EXECUTIVE OFFICERS ARE: <input type="checkbox"/> INCL <input type="checkbox"/> EXCL				EL EACH ACCIDENT \$
					EL DISEASE - POLICY LIMIT \$
					EL DISEASE - EA EMPLOYEE \$
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

CERTIFICATE HOLDER

2340958 TOWN OF SEWALLS POINT 20
BUILDINGS DEPT
1 S SEWALLS POINT RD
STUART FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

[Signature]
PRESIDENT

ACORD CORPORATION 1988

RECEIVED
NOV 19 2003
BY: _____

**CITY OF PORT ST LUCIE
BUILDING DEPARTMENT
COMPUTER SERVICE MEMBER
EXPIRES SEPTEMBER 30, 2004**

KEITER JR, DELBERT W
SOUTH PARK PLUMBING/ST LUCIE CNY INC
6941 HERITAGE DRIVE
PORT ST LUCIE, FL 34952

Signature: *Delbert W. Keiter Jr.*
PLUMBING CONTRACTOR

FEE \$25.00 PSL04 1607

RECEIVED
SEP 12 2002
BY: _____

STATE OF FLORIDA AC#0455881
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CFC029690 06/13/02 011133239
CERTIFIED PLUMBING CONTRACTOR
KEITER, DELBERT W JR
SOUTH PARK PLEB/ST LUCIE CNY I
IS CERTIFIED under the provisions of Ch.489 FS.
Expiration date: AUG 31, 2004 SEQ # L02061300710

2004-2005

ST. LUCIE COUNTY OCCUPATIONAL LICENSE

BOB DAVIS, CPA, CGFO, CFC, ST. LUCIE COUNTY TAX COLLECTOR

ACCOUNT: 1711-00020162

EXPIRES SEP 30, 2005

TIES

INES

OF
ESS

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ION

IG
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ROOMS

SEATS

EMPLOYEES 1-10

1711-PLUMBING CONTRACTOR

6941 Heritage Dr
St Lucie County

Keiter Delbert W Jr DBA
South Park Plumbing
Keiter, Delbert W Jr
6941 Heritage Drive
Port St Lucie FL 34952

CO 8431

X RENEWAL
NEW LICENSE
TRANSFER-
ORIGINAL TAX 11.25

AMOUNT
PENALTY
COLLECTION COST
TOTAL 11.25

Please see back for additional information

PAID 08/04/2004

99-20040804-068004

11.25

1415328

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L04051900312

DATE	BATCH NUMBER	LICENSE NBR
/19/2004	030465530	QB31207

The BUSINESS ORGANIZATION
Named below IS QUALIFIED

Under the provisions of Chapter 489 FS.

Expiration date: AUG 31, 2005

(THIS IS NOT A LICENSE TO PERFORM WORK. THIS ALLOWS
COMPANY TO DO BUSINESS ONLY IF IT HAS A QUALIFIER.)

SOUTH PARK PLUMBING OF ST. LUCIE COUNTY INC
5941 HERITAGE DR.
PORT ST. LUCIE FL 34952

JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

DIANE CARR
SECRETARY

1440178

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L04060800993

DATE	BATCH NUMBER	LICENSE NBR
/08/2004	030709086	CFC029690

The PLUMBING CONTRACTOR

Named below IS CERTIFIED

Under the provisions of Chapter 489 FS.

Expiration date: AUG 31, 2006

KEITER, DELBERT W JR
SOUTH PARK PLUMBING OF ST LUCIE COUNTY INC
6941 HERITAGE DR
PORT ST LUCIE FL 34952-8228

ACORD™ CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
12/22/2003

PRODUCER
WORKERS' COMPENSATION GROUP, INC.
PO BOX 410
BOCA RATON FL 33429-0410
561-392-3300

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED
SOUTH PARK PLUMBING OF
ST LUCIE COUNTY, INC.
6941 HERITAGE DRIVE
PORT ST LUCIE, FL 34952

INSURER A: **AIG/AMERICAN HOME ASSURANCE**
INSURER B:
INSURER C:
INSURER D:
INSURER E:

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
	GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				EACH OCCURRENCE	\$
					FIRE DAMAGE (Any one fire)	\$
					MED EXP (Any one person)	\$
					PERSONAL & ADV INJURY	\$
					GENERAL AGGREGATE	\$
					PRODUCTS - COMP/OP AGG	\$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident)	\$
					BODILY INJURY (Per person)	\$
					BODILY INJURY (Per accident)	\$
					PROPERTY DAMAGE (Per accident)	\$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT	\$
					OTHER THAN EA ACC	\$
					AUTO ONLY: AGG	\$
	EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE	\$
					AGGREGATE	\$
						\$
						\$
						\$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY WC STATUTORY LIMITS <input checked="" type="checkbox"/> OTHER	WC7480784	01-01-04	01-01-05	E.L. EACH ACCIDENT	\$500,000
					E.L. DISEASE - EA EMPLOYEE	\$500,000
					E.L. DISEASE - POLICY LIMIT	\$500,000
	OTHER					

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

CERTIFICATE HOLDER

TOWN OF SEWALLS PAOINT
BUILDING DEPARTMENT
1 SOUTH SEWALLS POINT ROAD
STUART FL 34996
FAX: 772-220-2765

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE 

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 8/27/04

BUILDING PERMIT NO. 6880

Building to be erected for PETERSEN

Type of Permit SUB-ROOFING

Applied for by DRIFWOOD HOMES/PACIFIC ROOFING (Contractor)

Building Fee _____

Subdivision RIO VISTA Lot 96 Block _____

Radon Fee _____

Address 49 RIO VISTA

Impact Fee _____

Type of structure SEN

A/C Fee _____

Electrical Fee SEE PN 6876

Parcel Control Number:
17384100200009605000

Plumbing Fee _____

Roofing Fee _____

Amount Paid Check # Cash _____

Other Fees (_____) _____

Total Construction Cost \$

TOTAL Fees _____

Signed [Signature]
Applicant P.R.G.

Signed [Signature]
Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
10/28/2003

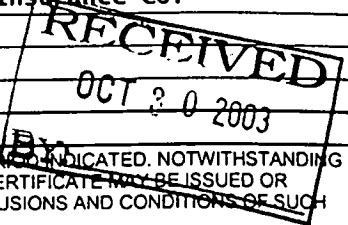
PRODUCER (561)746-4546 FAX (561)746-9599
 Tequesta Agency, Inc.
 218 S. US Highway One, Ste 300
 Tequesta, FL 33469
 Debra Hicks

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED Pacific Roofing Corp., Inc.
 PO Box 2697
 Stuart, FL 34994

INSURER A: American Casualty Company
 INSURER B: Transportation Insurance Co.
 INSURER C:
 INSURER D:
 INSURER E:



COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	C2020206931	10/28/2003	10/28/2004	EACH OCCURRENCE \$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				FIRE DAMAGE (Any one fire) \$ 50,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person) \$ 5,000
					PERSONAL & ADV INJURY \$ 1,000,000
					GENERAL AGGREGATE \$ 2,000,000
					PRODUCTS - COMP/OP AGG \$ 2,000,000
GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC.					
B	AUTOMOBILE LIABILITY	C2020206945	10/28/2003	10/28/2004	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$
	<input checked="" type="checkbox"/> SCHEDULED AUTOS				BODILY INJURY (Per accident) \$
	<input checked="" type="checkbox"/> HIRED AUTOS				PROPERTY DAMAGE (Per accident) \$
<input checked="" type="checkbox"/> NON-OWNED AUTOS					
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$
	<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC \$
					AUTO ONLY: AGG \$
	EXCESS LIABILITY				EACH OCCURRENCE \$
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE \$
					\$
	DEDUCTIBLE				\$
	RETENTION \$				\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATUTORY LIMITS OTHER
					E.L. EACH ACCIDENT \$
					E.L. DISEASE - EA EMPLOYEE \$
					E.L. DISEASE - POLICY LIMIT \$
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

CERTIFICATE HOLDER	ADDITIONAL INSURED; INSURER LETTER:	CANCELLATION
TOWN OF SEWALLS POINT ATTN: ED ARNOLD 1 SOUTH SEWALLS POINT ROAD STUART, FL 34996		SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT. BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.
		AUTHORIZED REPRESENTATIVE Mark Kasten/DEBBIE

ACORD CERTIFICATE OF LIABILITY INSURANCE		CERTIFICATE NO. / DATE AC03-790013-87038 12/4/2003 1:34:22 PM
PRODUCER Eisenmann Risk Placements, Inc. 14160 Dallas Parkway, Suite 500 Dallas, TX 75234 (972) 404-0295 Fax: (972) 404-4450	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
INSURERS AFFORDING COVERAGE		
INSURER A: PROVIDENCE PROPERTY & CASUALTY INSURANCE COMPA INSURER B: INSURER C: INSURER D: INSURER E:		
INSURED PACIFIC ROOFING CORPORATION 808 SE DIXIE HWY STUART, FL 34994 (772) 283-7663 Fax: (772) 283-9505		

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE	POLICY EXPIRATION DATE	LIMITS	
				AMOUNT	UNIT
GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				EACH OCCURRENCE	\$
				FIRE DAMAGE (Any One Fire)	\$
				MED EXP (Any one person)	\$
				PERSONAL & ADV INJURY	\$
				GENERAL AGGREGATE	\$
				PRODUCTS - COMPROP AGG	\$
AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT (Per accident)	\$
<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$
<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$
<input type="checkbox"/> HIRED AUTOS				AUTO ONLY - EA ACCIDENT	\$
<input type="checkbox"/> NON-OWNED AUTOS				OTHER THAN EA ACC	\$
GARAGE LIABILITY				AUTO ONLY	\$
<input type="checkbox"/> ANY AUTO				AGG	\$
EXCESS LIABILITY				EACH OCCURRENCE	\$
<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$
<input type="checkbox"/> DEDUCTIBLE					\$
<input type="checkbox"/> RETENTION \$					\$
A WORKERS COMPENSATION AND EMPLOYERS LIABILITY	WC0100062	12/1/2003	12/1/2004	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER	
				E.L. EACH ACCIDENT	\$ 1000000
				E.L. DISEASE - EA EMPLOYEE	\$ 1000000
				E.L. DISEASE - POLICY LIMIT	\$ 1000000
OTHER				LIMITS	\$
				LIMITS	\$

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLE(S)/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS
 1. Insured is afforded Workers Compensation & Employers Liability as a co-employer under the policy for employees leased from AMS Staff Leasing, Inc. 2. This certificate remains in effect, provided the client's account is in good standing with AMS. Coverage is not provided for any employee for which the client is not reporting wages to AMS. Applies to 100% of the employees of AMS leased to PACIFIC ROOFING CORPORATION, effective 12/01/2003.

CERTIFICATE HOLDER	ADDITIONAL INSURED; INSURER LETTER:	CANCELLATION
TOWN OF SEWALL'S POINT 1 S SEWALL'S POINT RD STUART, FL 34996		SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE: <i>[Signature]</i>

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ#2020610008

LICENSE NBR

06/10/2002 011129085 CCC056793

The ROOFING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2004

RECEIVED
NOV 05 2002
BY: _____

GOMES, RICHARD JOHN
PACIFIC ROOFING CORP
PO BOX 2697
STUART

FL 34995

JES BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

KIM BINKLEY-BRYER
SECRETARY

**2003-2004 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE**

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(772) 283-6804

LICENSE 1993-520-076 CERT _____
PHONE (561)283-7663 SIC NO 001761

LOCATION:
808 DIXIE HWY CTY

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>.00</u>
\$	<u>.00</u>	COL. FEE \$	<u>.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>.00</u>
TOTAL			<u>25.00</u>

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF **ROOFING CONTRACTOR**

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

19 DAY OF SEPTEMBER 2003
AND ENDING SEPTEMBER 2004

GOMES, RICHARD J
PACIFIC ROOFING CORP
RICHARD J GOMES
808 SE DIXIE HWY
STUART FL 34994

RECEIPT OF PAYMENT

6818 1
LARRY C. O'STEEN
99 09/17/2003 UCCI MANUAL
1993-520-076/7663
822003J09190004000X
\$25.00

RECEIVED
NOV 19 2003
BY: _____



Specializing in All metal Roofing
Tile Roofs • Cedar Shakes • Re-Roofs • Shingles • 5V Crimp
Standing Seam • Modified Roofing • All Roof Repairs
License #CCC056793

283-ROOF
808 SE Dixie Highway, Stuart, FL 34994
Office (772) 283-7663 • Fax (772) 283-9505

May 12, 2004

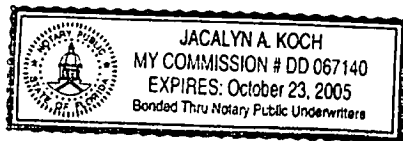
To: The Town of Sewall's Point

This is to inform you that Dwan Gomes has permission to pick up permits for Pacific Roofing Corporation. She will be doing this from time to time when needed.

Thank you for assisting her in any way possible.

Yours truly,

James Nickerson, Comptroller of
Pacific Roofing Corporation

Jacalyn A. Koch, Notary Public

P.O. Box 2697 • Stuart, Florida 34995
808 SE Dixie Highway • Stuart, Florida 34994
(772) 283-7663 • FAX (772) 283-9505 • www.pacificroofingcorp.com

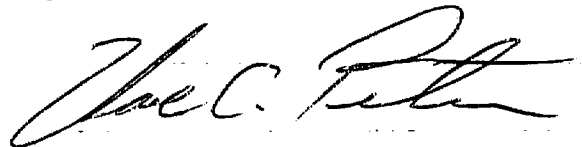
License No. CCC056793 & Insured

TO THE BUILDING DEPT. HEAD OF
SEWALLS POINT, FL.

DEAR MR. SIMMONS,

UWE & COLETTA PETERSEN RESIDENTS
OF 49 RIO VISTA DR. SEWALL'S POINT,
FL. WILL APPLY FOR A VARIANCE AT
THIS LOCATION. IT IS IN REGARD TO
THE POOL DECK THAT IS IN VIOLATION.
WHILE THE APPLICATION IS IN PROGRESS
WE WOULD LIKE YOU TO FURNISH THE
BUILDING PERMIT TO DRIFTWOOD BUILDERS.
WE, THE PETERSENS WILL STAND BY THE
DECISION OF THE BOARD IF THE VARIANCE
IS NOT APPROVED AND MAKE THE
RECOMENDED IMPROVEMENTS.

THANK YOU,
UWE C. PETERSEN



1 ATT.
4 camp/camp
1 PRK AGE UNIT.
2 camp/camp
LOKE
BOARD!



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
 governmax.com 3.2

Summary

Owner
 1 of 1

Parcel Info Summary

Parcel ID	Unit Address	Serial ID	Index Order	Card
12384100200000960549	RIO VISTA DR	27607	Owner	1 of 1

- Printable Tab
- Land
- Residential
- Improvement
- Commercial
- Image
- Transfer
- Assessments
- Taxes ➡
- Parcel Map ➡

Summary

Property Location	49 RIO VISTA DR	No. of Stories	1.00
Tax District	2200 Sewall's Point	Sq. Ft.	1979
Account #	27607	Year Built	1981
Land Use	101 0100 Single Family	Total Rooms	0
Neighborhood	120400	Full Bathrooms	2
Acres		Half Bathrooms	0
		Bedrooms	3

Legal Description
Property Information
 RIO VISTA S/D LOT 96

Search By

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map ➡

Owner Information
Owner Information
 PETERSEN, UWE C & COLETTA B

Mail Information
 530 SEDGWICK DRIVE
 LIBERTYVILLE IL 60048

Assessment Info
 Front Ft. 0.00

Market Land Value \$176,400
Market Impr Value \$184,220
Market Total Value \$360,620

Site Functions

- Property Search
- Feedback
- On-Line Help
- Home
- County Login

Recent Sale
Sale Amount \$170,000

Sale Date 6/8/1988
Book/Page 0768 1569



OWNER'S AFFIDAVIT OF BUILDING COSTS

(To be submitted at time of final inspection for Certificate of Occupancy)

STATE OF FLORIDA
MARTIN COUNTY

BEFORE ME, the undersigned authority, personally appeared the undersigned Affidavit, who, being first duly sworn, under penalty of perjury, deposes and says:

1. That Affidavit is the owner or the authorized agent of the owner of certain real estate (the Property) located within the municipal limits of the Town of Sewall's Point, Florida (the Town), having the street address set forth below Affidavit's signature.
2. That all of the improvements on the Property under current building permit(s) issued by the Town have been completed in substantial conformity with the plans and specifications on file with the Town and in accordance with all applicable state and local building codes.
3. That the total cost paid or to be paid by the owner for the complete construction of the improvements under the building permit(s), including the cost of all improvements shown on the plans and specifications filed with the Town and all machinery and equipment not shown thereon required to be installed as a condition for a certificate of occupancy under state and local law, is \$ 184,600.00.
4. That this Affidavit is made for the purpose of inducing the Building Official of the Town to issue a Certificate of Occupancy for the improvements, with the intention that it be relied upon for that purpose.

Affidavit's Signature:

Uwe C. Petersen

Property Address:

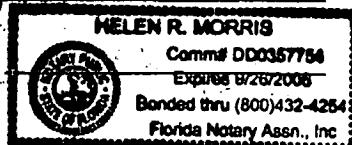
49 RIO VISTA DR,
STUART, FL.

SWORN TO and subscribed before me this 25 day of Aug., 2005, by Uwe Petersen, who is personally known to me or produced _____ as identification.

Helen R. Morris
Notary Public

My commission expires:

(Notary Seal)



TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # _____

NOTICE OF COMMENCEMENT

STATE OF Florida

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

PAPER ID #: 123841002000009605

49 RIO VISTA DRIVE SEWAS PT, FL 34996

GENERAL DESCRIPTION OF IMPROVEMENT:

MASTER SUITE ADDITION

OWNER: UWE PETERSEN

ADDRESS: 49 RIO VISTA SEWAS PT, FL 34996

PHONE #: 288-4486

FAX #: _____

CONTRACTOR: DAIRWOOD HOMES

ADDRESS: 2163 DINE RIDGE ST JENSON BCH, FL 34957

PHONE #: 334-2577

FAX #: 334-5677

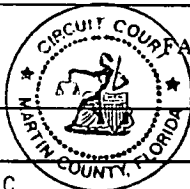
SURETY COMPANY (IF ANY)

STATE OF FLORIDA
MARTIN COUNTY

ADDRESS: _____

PHONE # _____

THIS IS TO CERTIFY THAT THE
FOREGOING _____ PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL
MARSHA EWING CLERK



FAX #: _____

LENDER: _____

ADDRESS: _____

DATE: 8-12-04

D.C.

PHONE #: _____

FAX #: _____

INSTR # 1773597
OR BK 01930 PG 1176
RECORDED 08/12/2004 03:04:43 PM
MARSHA EWING
CLERK OF MARTIN COUNTY FLORIDA
RECORDED BY S Phoenix

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____

FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____

OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____

FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____

THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 12th DAY OF August

BY UWE PETERSEN

PERSONALLY KNOWN X
PRODUCED ID _____
TYPE OF ID _____

NOTARY SIGNATURE

Helen R. Morris



OR
Helen R. Morris
Commission # CC 967169
Expires Sep. 18, 2004
Bonded Thru
Atlantic Bonding Co., Inc.

CRITIQUE

Owner: Uwe Peterson

Date: August 18, 2004

Contractor: Driftwood Homes

Contractor's Phone Number: 334-2577

Plan Reviewer: Gene Simmons

PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR MASTER SUITE ADDITION LOCATED AT 49 RIO VISTA DRIVE

Submittals (2 copies)

1. Current survey (**within one year**) containing the following information:
 - a. Location of existing and proposed a/c pads ✓
 - b. Setback requirements ✓
 - c. Site lies in X flood zone but what base flood elevation? *N/A - NO BASE FLOOD IN FLOOD ZONE X*
 - d. ✓ There is an encroachment of the pool deck into the setback area. There is no dimension from the roof porch to the property line. There might be an encroachment there also. All encroachments must be abated or variances received prior to issuance of building permit.
2. Product approvals (**current**) from Miami/Dade or other testing institutes approved by the Florida Building Code for the following items:
 - a. Awning Windows ✓
 - b. Mullions ✓
 - c. Roof System ✓
 - d. Precast Lintels ✓
 - e. Hurricane Shutters *N/A IMPACT*
3. Copy of State, Martin County Licenses } *LAURA HAS ✓*
4. Copy of Liability Insurance } *LAURA HAS ✓*
5. Copy of Workmen's Compensation } *LAURA HAS ✓*

The following documents must be signed and sealed by a registered Architect or Engineer. (2 copies)

1. Heating/Air Conditioning Plan containing the following information:
 - a. Air Handler locations showing kw rating ✓
 - b. Condensing unit locations ✓
 - c. Duct layout showing sizes of duct and size of diffusers ✓
 - d. CFM per outlet ✓
 - e. Distribution box locations ✓
 - f. Equipment callouts with name of equipment, model numbers and sizes ✓
2. Plumbing Plan containing the following information:
 - a. Piping layout showing all pipe sizes ✓
 - b. All fixtures, sanitary drainage, vents, water supply, water heaters ✓



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ON-SITE SEWAGE DISPOSAL SYSTEM
SITE EVALUATION AND SYSTEM SPECIFICATIONS

CENTRAX #: 43-SS-06711
OSTDSNBR: 04-0595-E

*Muddy location
Need site eval.*

Pg 1 of 2

#18045087
~~7/1/04~~

APPLICANT: MORRIS, ALAN - LOT 96

AGENT: N/A N/A, N/A

LOT: 96 BLOCK: SUBDIVISION: RIO VISTA ID#: ---

TO BE COMPLETED BY ENGINEER, HEALTH DEPARTMENT EMPLOYEE, OR OTHER QUALIFIED PERSON. ENGINEER'S MUST PROVIDE REGISTRATION NUMBER AND SIGN AND SEAL EACH PAGE OF SUBMITTAL. COMPLETE ALL ITEMS.

PROPERTY SIZE CONFORMS TO SITE PLAN: YES [] NO NET USABLE AREA AVAILABLE: 0.33 ACRES
TOTAL ESTIMATED SEWAGE FLOW: 400 GALLONS PER DAY [64E-6, TABLE 1]
AUTHORIZED SEWAGE FLOW: 840 GALLONS PER DAY [1500GPD/ACRE OR 2500GPD/ACRE]
UNOBSTRUCTED AREA AVAILABLE: 1271 SQFT UNOBSTRUCTED AREA REQUIRED: 666T/1000B SQFT

BENCHMARK/REFERENCE POINT LOCATION: Nail/Disk in CPd at N peak Cr of Lot @ 18.24 NGVD
ELEVATION OF PROPOSED SYSTEM SITE IS 19 [Inches] [] [Above] BENCHMARK/REFERENCE POINT

THE MINIMUM SETBACK WHICH CAN BE MAINTAINED FROM THE PROPOSED SYSTEM TO THE FOLLOWING FEATURES:
SURFACE WATER: NA FT DITCHES/SWALES: NA FT NORMALLY WET? [] YES [] NO
WELLS: PUBLIC: NA FT LIMITED USE: NA FT PRIVATE: NA FT NON-POTABLE: 50 FT
BUILDING FOUNDATIONS: 5 FT PROPERTY LINES: 5 FT POTABLE WATER LINES: 10 FT

SITE SUBJECT TO FREQUENT FLOODING: [] YES [] NO 10 YEAR FLOODING? [] YES [] NO
10 YEAR FLOOD ELEVATION FOR SITE: _____ FT NGVD SITE ELEVATION: 19.8 FT NGVD
(mean of 21.1 + 18.5)

SOIL PROFILE INFORMATION SITE 1		
Munsell #/Color	Texture	Depth
10YR 5/2	dk Br. S	0 to 12
10YR 6/6	gr Br yel S some s/l white ax.	12 to 24
10YR 4/2	dk gy S	24 to 34
10YR 7/1	lt gray s/l light S	34 to 90
10YR 7/8	yel S	70 to 84
		to
		to
		to

USDA SOIL SERIES: #6 Paola-like

SOIL PROFILE INFORMATION SITE 2		
Munsell #/Color	Texture	Depth
		to
		to
		to
		to
		to
		to
		to

USDA SOIL SERIES: _____

see attached

OBSERVED WATER TABLE: Not to 84 INCHES [BELOW] EXISTING GRADE TYPE: [APPARENT]
ESTIMATED WET SEASON WATER TABLE ELEVATION: 72 INCHES [Below] EXISTING GRADE.
HIGH WATER TABLE VEGETATION: [] YES [] NO MOTTLING: [] YES [] NO DEPTH: _____ INCHES

SOIL TEXTURE/LOADING RATE FOR SYSTEM SIZING: 1.2T / 0.8B DEPTH OF EXCAVATION: N/A INCHES
DRAINFIELD CONFIGURATION: [] TRENCH [] BED [] OTHER (SPECIFY)
REMARKS/ADDITIONAL CRITERIA: BM ✓ Street has sharp slope from L to R

Edge of DF drops off sign to prop line

SITE EVALUATED BY: Dewald 03-0115 DATE: 7/1/04



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
SITE EVALUATION AND SYSTEM SPECIFICATIONS

PERMIT #. 43-55-6711

Pg 2 of 2

APPLICANT: Morris, Alan - Lot 96 AGENT: _____

LOT: _____ BLOCK: _____ SUBDIVISION: _____

PROPERTY ID #: _____ [Section/Township/Parcel No. or Tax ID Number]

TO BE COMPLETED BY ENGINEER, HEALTH DEPARTMENT EMPLOYEE, OR OTHER QUALIFIED PERSON. ENGINEERS MUST PROVIDE REGISTRATION NUMBER AND SIGN AND SEAL EACH PAGE OF SUBMITTAL. COMPLETE ALL ITEMS.

PROPERTY SIZE CONFORMS TO SITE PLAN: [] YES [] NO NET USABLE AREA AVAILABLE: _____ ACRES
TOTAL ESTIMATED SEWAGE FLOW: _____ GALLONS PER DAY [RESIDENCES-TABLE 1/OTHER-TABLE2]
AUTHORIZED SEWAGE FLOW: _____ GALLONS PER DAY [1500 GPD/ACRE OR 2500 GPD/ACRE]
UNOBSTRUCTED AREA AVAILABLE: _____ SQFT UNOBSTRUCTED AREA REQUIRED: _____ SQFT

BENCHMARK/REFERENCE POINT LOCATION: _____
ELEVATION OF PROPOSED SYSTEM SITE IS _____ [INCHES/FT] [ABOVE/BELOW] BENCHMARK/REFERENCE POINT

THE MINIMUM SETBACK WHICH CAN BE MAINTAINED FROM THE PROPOSED SYSTEM TO THE FOLLOWING FEATURES
SURFACE WATER: _____ FT DITCHES/SWALES: _____ FT NORMALLY WET? [] YES [] NO
WELLS: PUBLIC: _____ FT LIMITED USE: _____ FT PRIVATE: _____ FT NON-POTABLE: _____ FT
BUILDING FOUNDATIONS: _____ FT PROPERTY LINES: _____ FT POTABLE WATER LINES: _____ FT

SITE SUBJECT TO FREQUENT FLOODING: [] YES [] NO 10 YEAR FLOODING? [] YES [] NO
10 YEAR FLOOD ELEVATION FOR SITE: _____ FT MSL/NGVD SITE ELEVATION: _____ FT MSL/NGVD

SOIL PROFILE INFORMATION SITE 1

MUNSELL #/COLOR	TEXTURE	DEPTH
	fill	TO
	fill	TO
10YR 6/8	fs	18 TO 26
7/10	sand	26 TO 37
• 5/11 1p/1	s	37 TO 42
6/1	sand	42 TO 50
7/12	sand	50 TO 64
8/1	sand	67 TO 72
		TO

USDA SOIL SERIES: # 6 Paola-like

SOIL PROFILE INFORMATION SITE 2

MUNSELL #/COLOR	TEXTURE	DEPTH
		TO
		TO
		TO
		TO
		TO
		TO
		TO
		TO
		TO

USDA SOIL SERIES: _____

OBSERVED WATER TABLE: Not to 79 INCHES [ABOVE / BELOW] EXISTING GRADE. TYPE: [PERCHED / APPARENT]
ESTIMATED WET SEASON WATER TABLE ELEVATION: _____ INCHES [ABOVE / BELOW] EXISTING GRADE
HIGH WATER TABLE VEGETATION: [] YES [] NO MOTTLING: [] YES [] NO DEPTH: _____ INCHES

SOIL TEXTURE/LOADING RATE FOR SYSTEM SIZING: _____ DEPTH OF EXCAVATION: _____ INCHES
DRAINFIELD CONFIGURATION: [] TRENCH [] BED [] OTHER (SPECIFY) _____

REMARKS/ADDITIONAL CRITERIA: _____

SITE EVALUATED BY: Lisa Hatch / [Signature] DATE: 7/1/04



STATE OF FLORIDA
DEPARTMENT OF HEALTH
MARTIN COUNTY HEALTH DEPARTMENT
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
CONSTRUCTION PERMIT

CENTRAX #: 43-SS-06711
OSTDSNR: 04-0595-E

owner's copy

CONSTRUCTION PERMIT FOR:

[] New System [X] Existing System [] Holding Tank [] Innovative Other
[] Repair [] Abandonment [] Temporary [] _____

APPLICANT: MORRIS, ALAN - LOT 96 AGENT: N/A, N/A

PROPERTY STREET ADDRESS: 49 RIO VISTA Dr STUART FL 34996

LOT: 96 BLOCK: _____ SUBDIVISION: RIO VISTA

PROPERTY ID #: --- [Section/Township/Range/Parcel No.]
[OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF CHAPTER 64E-6, FAC DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC TIME PERIOD. ANY CHANGE IN MATERIAL FACTS WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE OR LOCAL PERMITTING REQUIRED FOR PROPERTY DEVELOPMENT.

SYSTEM DESIGN AND SPECIFICATIONS

(EXISTING TANK)

T [1050] Gallons SEPTIC TANK * MULTI-CHAMBERED/IN SERIES: [Y]
A [0] Gallons MULTI-CHAMBERED/IN SERIES: []
N [0] GALLONS GREASE INTERCEPTOR CAPACITY
K [0] GALLONS DOSING TANK CAPACITY [0] GALLONS @ [0] DOSES PER 24 HRS # PUMPS [0]

D [500] SQUARE FEET PRIMARY DRAINFIELD SYSTEM *Bed Only ***
R [0] SQUARE FEET SYSTEM
A TYPE SYSTEM: [Y] STANDARD [N] FILLED [N] MOUND [N] _____
I CONFIGURATION: [N] TRENCH [Y] BED [N] _____

F LOCATION TO BENCHMARK: Nail/Disk In CRd At Aprox Ctr of Lot @ 18.24 NGVD
I ELEVATION OF PROPOSED SYSTEM SITE [19.0] [INCHES] [ABOVE] BENCHMARK/REFERENCE POINT
E BOTTOM OF DRAINFIELD TO BE [11.0] [INCHES] [BELOW] BENCHMARK/REFERENCE POINT
L
D FILL REQUIRED: [0.0] INCHES NATURAL/ EXISTING SOIL EXCAVATION REQUIRED: [0.0] INCHES
OTHER REMARKS:

The licensed contractor installing the system is responsible for installing the minimum category of tank in accordance with s. 64E-6.013(3)(f), F.A.C. SEPTIC CONTRACTOR IS ADVISED TO CONTACT DOH PRIOR TO INSTALLATION. System installation must meet all requirements of Chapter 64E-6, F.A.C. The drainfield must be at least 5 feet from the property line(s); additional setback may be required to account for slope of lot. Install an approved outlet filter device in the septic tank. **State Code requires a minimum drainfield size of 500 square feet bed. If gravity flow is possible, this may be met by adding additional drainfield to the existing 264 square feet bed OR it may be necessary to replace the entire drainfield. If gravity flow cannot be achieved, permit must be revised. (A separate system for the addition may also be installed; contact DOH if interested.)

Continued on Page Two

SPECIFICATIONS BY: DeWald, Angeline *DeWald* TITLE: EH Specialist II

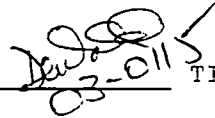
APPROVED BY: Cross, Ray TITLE: Environmental Supervisor Martin CHD

DATE ISSUED: 7/26/2004 EXPIRATION DATE: 10/26/2005

DH 4016, 03/97 (Obsoletes previous editions which may not be used)
(Stock Number: 5744-001-4016-0) [ostds_cons_4016-1]

** NOTE: See attached Applicant's notice of permitting rights. **

A minimum of 6" and a maximum of 18" of moderately or slightly limited soil cap allowed over drainfield; grading of the lot may be required. *Existing 900 gallon septic tank may be used but must be pumped prior to installation of the drainfield. Potable water lines within 10' of system must be sleeved and sealed and cannot be within 2' of the system. Potable water lines within 5' of a drainfield shall not be lower than the bottom of the drainfield. Potable water lines must be installed and exposed at time of initial installation inspection. Modified drainfield must be properly graded and stablized within 14 days of system construction approval.

SPECIFICATIONS BY: DeWald, Angeline  TITLE: EH Specialist II

APPROVED BY: Cross, Ray TITLE: Environmental Supervisor Martin CHD

DATE ISSUED: 7/26/2004 EXPIRATION DATE: 10/26/2005

DH 4016, 03/97 (Obsoletes previous editions which may not be used)
(Stock Number: 5744-001-4016-0) (ostds_cons_4016-1)

Page 2 of 2

** NOTE: See attached Applicant's notice of permitting rights. **

RECEIVED

JUN 25 2004



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ON-SITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

MARTIN COUNTY
HEALTH DEPARTMENT

PERMIT NO. 43-SS-6711
DATE PAID: 6/25/04
FEE PAID: 320-
RECEIPT #: 64545

04-0595-E

APPLICATION FOR:

- New System
- Existing System
- Holding Tank
- Repair
- Abandonment
- Temporary
- Innovative
- drop off
- Modification

APPLICANT: ALAN B. MORRIS

AGENT: _____ TELEPHONE: 334-2577

MAILING ADDRESS: 49 Rio Vista Sarasota Point Street, FL 34934

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 9C BLOCK: _____ SUBDIVISION: Rio Vista PLATTED: _____

PROPERTY ID #: _____ ZONING: _____ I/M OR EQUIVALENT: [Y / N]

PROPERTY SIZE: .33 ACRES WATER SUPPLY: [] PRIVATE PUBLIC [] <=2000GPD [] >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? [Y] [N] DISTANCE TO SEWER: _____ FT

PROPERTY ADDRESS: 49 Rio Vista Sarasota Pt. St., Sarasota, FL 34996

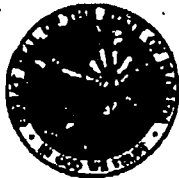
DIRECTIONS TO PROPERTY: E Ocean Blvd to Sarasota Pt Rd 6423 South to Rio Vista

BUILDING INFORMATION [RESIDENTIAL [] COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	<u>Exist.</u>	<u>3</u>	<u>2202</u>	
2	<u>Proposed</u>	<u>1</u>	<u>943</u>	
3	<u>total</u>	<u>4</u>	<u>3145</u>	
4				

[] Floor/Equipment Drains [] Other (Specify) _____

SIGNATURE: [Signature] DATE: _____



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
EXISTING SYSTEM AND SYSTEM REPAIR EVALUATION

PERMIT # 43556711

APPLICANT: Draftwood Homes 49 E. Volard Street 34996
CONTRACTOR / AGENT: Accurate Septic Services Inc
LOT: _____ BLOCK: _____ SUBDIV: Sawalks point ID#: _____

TO BE COMPLETED BY FLORIDA REGISTERED ENGINEER, DEPARTMENT EMPLOYEE, SEPTIC TANK CONTRACTOR OR OTHER CERTIFIED PERSON. SIGN AND SEAL ALL SUBMITTED DOCUMENTS. COMPLETE ALL APPLICABLE ITEMS. COMPLETE TANK CERTIFICATION BELOW OR ATTACH LETTER FROM A PERMITTED SEPTAGE DISPOSAL SERVICE.

EXISTING TANK INFORMATION

(~~1050~~) 900 per DOH records - copy attached
[] GALLONS SEPTIC TANK/GPD ATU LEGEND: UNK MATERIAL: Conc BAFFLED: [Y] [N]
[] GALLONS SEPTIC TANK/GPD ATU LEGEND: _____ MATERIAL: _____ BAFFLED: [Y] / [N]
[] GALLONS GREASE INTERCEPTOR LEGEND: _____ MATERIAL: _____ # PUMPS: []
[] GALLONS DOSING TANK LEGEND: _____ MATERIAL: _____

I CERTIFY THAT THE ABOVE NOTED TANKS WERE PUMPED ON 6/11/04. HAVE THE VOLUMES SPECIFIED, ARE STRUCTURALLY SOUND, AND HAVE A [SOLIDS DEFLECTION DEVICE / OUTLET FILTER DEVICE] INSTALLED.
David W. Wade Accurate Septic Services 6/15/04
SIGNATURE OF LICENSED CONTRACTOR BUSINESS NAME DATE

EXISTING DRAINFIELD INFORMATION

(264) per DOH Records - copy attached
[] SQUARE FEET PRIMARY DRAINFIELD SYSTEM NO. OF TRENCHES [] DIMENSIONS: 6 X 44
[] SQUARE FEET SYSTEM NO. OF TRENCHES [] DIMENSIONS: _____ X _____
TYPE OF SYSTEM: [] STANDARD [] FILLED [] MOUND []
CONFIGURATION: [] TRENCH [] BED []
DESIGN: [] HEADER [] D-BOX [] GRAVITY SYSTEM [] DOSED SYSTEM
ELEVATION OF BOTTOM OF DRAINFIELD IN RELATION TO EXISTING GRADE _____ INCHES [ABOVE / BELOW]

SYSTEM FAILURE AND REPAIR INFORMATION

[1980] SYSTEM INSTALLATION DATE TYPE OF WASTE [] DOMESTIC [] COMMERCIAL
[] GPD ESTIMATED SEWAGE FLOW BASED ON [] METERED WATER [] TABLE 1, 64E-6, FAC
SITE [] DRAINAGE STRUCTURES [] POOL [] PATIO / DECK [] PARKING
CONDITIONS: [] SLOPING PROPERTY []
NATURE OF [] HYDRAULIC OVERLOAD [] SOILS [] MAINTENANCE [] SYSTEM DAMAGE
FAILURE: [] DRAINAGE / RUN OFF [] ROOTS [] WATER TABLE []
FAILURE [] SEWAGE ON GROUND [] TANK [] D BOX/HEADER [] DRAINFIELD
SYMPTOM: [] PLUMBING BACKUP []

REMARKS/ADDITIONAL CRITERIA _____

SUBMITTED BY: [Signature] TITLE/LICENSE _____ DATE: 6/15/04



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

PGT Industries
P.O. Box 1529
Nokomis, FL 34274

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: 1" x Heavy Wall-Aluminum Tube Clipped Mullion

APPROVAL DOCUMENT: Drawing No. 6621, titled "1" Heavy Wall Mullion Arrangement Detail", sheets 1 through 6 of 6, prepared, signed and sealed by Robert L. Clark, P.E., dated 5/24/01, bearing the Miami-Dade County Product Control Revision Stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

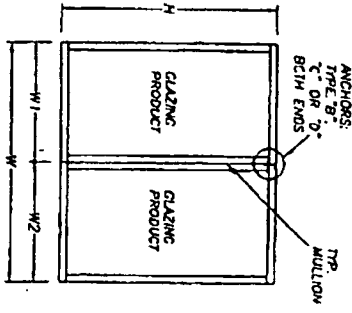
ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

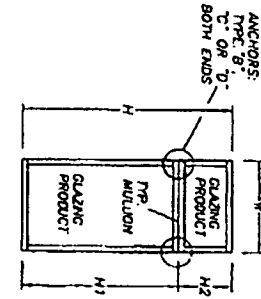
This NOA revises NOA # 01-0323.02 and, consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Theodore Berman, P.E.



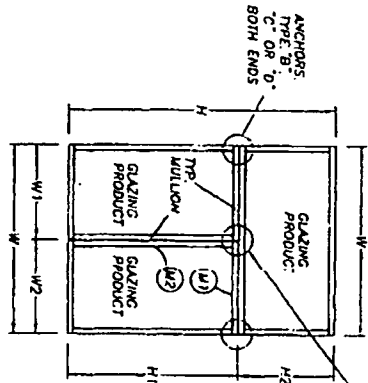
NOA No 02-0701.09
Expiration Date: June 28, 2006
Approval Date: July 12, 2002
Page 1



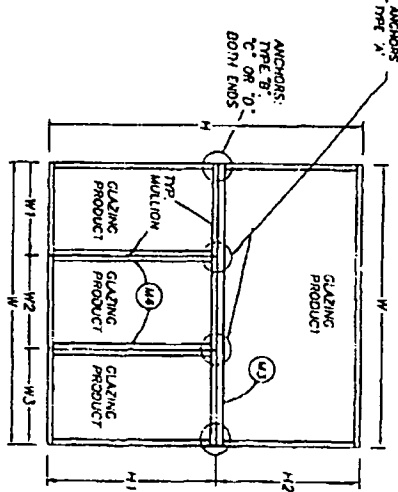
(2) WINDOWS MULLED TOGETHER
 W/ONE ABOVE
 FOR DETERMINING MAX ALLOWABLE DESIGN PRESSURE SEE TABLES ON PAGE 5 & 6
 MAX OPENING = W OR W1+W2
 MULL LENGTH = H



(1) WINDOW MULLED
 W/ONE ABOVE
 FOR DETERMINING MAX ALLOWABLE DESIGN PRESSURE SEE TABLES ON PAGE 5 & 6
 MAX OPENING = H OR H1+H2
 MULL LENGTH = W



(2) WINDOWS MULLED
 W/ONE ABOVE
 FOR DETERMINING MAX ALLOWABLE DESIGN PRESSURE SEE TABLES ON PAGE 5 & 6
 M1) MAX OPENING = H OR H1+H2
 M2) MAX OPENING = W OR W1+W2
 MULL LENGTH = H1



(2) MULTIPLE WINDOWS MULLED
 W/ONE ABOVE
 FOR DETERMINING MAX ALLOWABLE DESIGN PRESSURE SEE TABLES ON PAGE 5 & 6
 M3) MAX OPENING = H OR H1+H2
 M4) MAX OPENING = W OR W1+W2+W3
 MULL LENGTH = H1

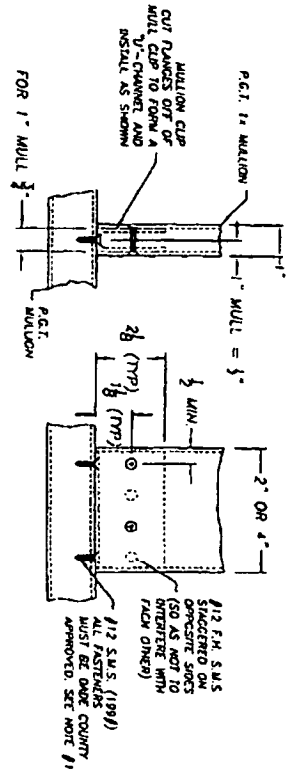
- NOTES:**
1. FOR ANCHORAGE TYPE, QUANTITY AND LOCATION REFER TO SHEETS 2, 3, 5 AND 6
 2. WINDOWS MAY BE MULLED TO A MAX. OF 5 UNITS
 3. MULLIONS ARE APPROVED FOR IMPACT AND NON-IMPACT
 4. REFERENCE TEST REPORT FTL-2902, 2903 AND 2975

[Signature]
 Robert L. Clark, P.E.
 PE 439712
 Structures

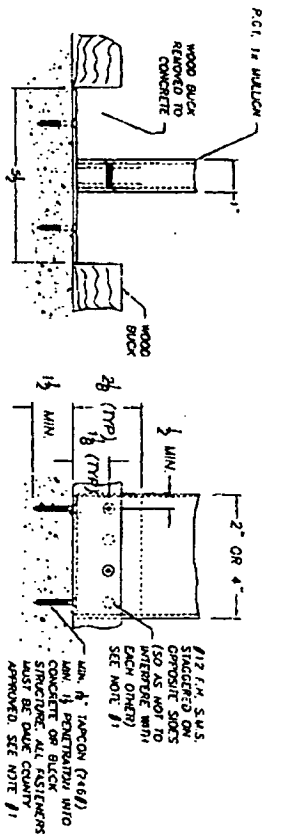
PRT INDUSTRIES		1" HEAVY WALL MULLION ARRANGEMENT DETAIL	
Order No.	Date	Order No.	Date
Order By: P.J.P.	Date: 1/28/00		
Scale/Version		Sheet	1 of 6
1010 TECHNICAL DRAFT	P.O. BOX 1329	Drawing No.	6621
MORONG, FL 34224	MULLS		

PRODUCT REVISED
 As per drawing with the Florida
 Building Code No. 01-0-201-09
 Expiration Date 01/28/09
 By: *[Signature]*
 Michael Product Control
 Division

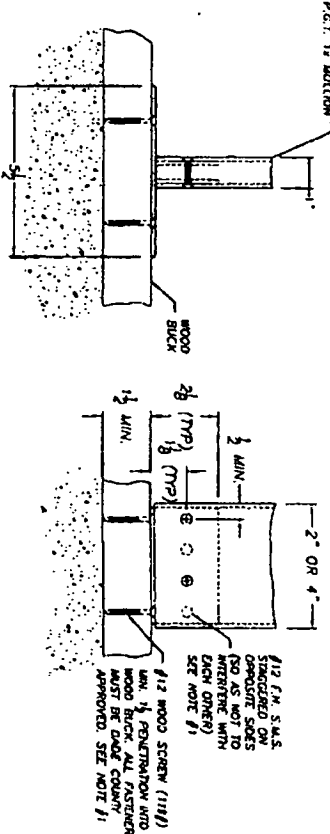
APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE: *[Signature]*
 BY: *[Signature]*
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 APPROVANCE NO. 01-01233-02



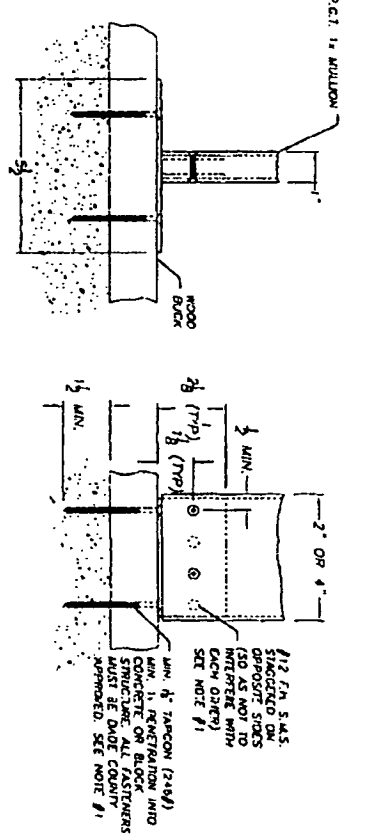
TYPICAL MULLION TO MULLION INSTALLATION TYPE "A"



TYPICAL MULLION TO STRUCTURE WITH WOOD BRICK REMOVED FROM CONC. TYPE "C"



TYPICAL MULLION TO STRUCTURE WITH WOOD BRICK TYPE "B"



TYPICAL MULLION TO STRUCTURE WITH WOOD BRICK AND CONC. TYPE "D"

- NOTE:**
- FOR MULLION SIZE AND QUANTITY OF ANCHORS REQUIRED SEE SHEETS 5 & 6. FOR ANCHOR LOCATIONS SEE SHEET 3. QUANTITY OF ANCHORS FOR MULLION-TO-CLIP IS THE SAME AS THE QUANTITY OF ANCHORS FROM CLIP-TO-OPENING.
 - REFERENCE TEST REPORT FTL-2902, 2903 AND 2975

IMPORTANT:
 QUANTITY OF ANCHORS SHOWN ARE FOR A PICTORIAL REPRESENTATION ONLY. FOR CORRECT QUANTITY OF ANCHORS PLEASE REFER TO CHARTS AND FIND THE CORRECT MULLION SIZE AND PRESSURE REQ'D FOR YOUR SPECIFIC APPLICATION.

PRODUCT REVIEWED
 in compliance with the Florida Building Code, 01-0101.09
 Issued by: 05/27/04
 By: *Robert L. Clark, P.E.*
 Member Florida Building Code Council

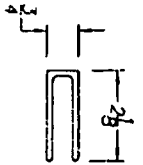
APPROVED AS CONFORMING WITH THE SOUTH FLORIDA BUILDING CODE
 DATE: 08/28/04
 BY: *Robert L. Clark, P.E.*
 PROJECT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACP PLAN NO. 01-0223.09

Robert L. Clark, P.E.
 S.E. 11/01
 P.E. 89712
 Structural

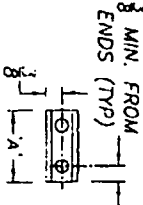
P&T INDUSTRIES		Drawn By: P.J.P.	Date: 6/28/00
1" HEAVY WALL MULLION & CLIP INSTALLATION DETAIL		Scale: 1x	Sheet: 2 of 6
1070 TECHNOLOGY WAY MORRISVILLE, N.C. 27554	210 904 1529 MORRISVILLE, N.C. 27571	Special/Notes: MULLS	Project No: 6521

IMPORTANT:
 QUANTITY OF ANCHORS SHOWN ARE FOR A PICTORIAL REPRESENTATION ONLY. FOR CORRECT QUANTITY OF ANCHORS PLEASE REFER TO CHARTS AND FIND THE CORRECT MULL SIZE AND PRESSURE REQ'D FOR YOUR SPECIFIC APPLICATION.

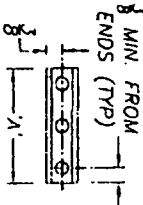
CLIP LENGTH CHART FOR 1" MULL	
MULL SIZE	1"
1 x 2 x 1	1 1/2"
1 x 2 x 1 1/2	1 3/4"
1 x 2 x 2	2"
1 x 2 x 3	2 1/2"
1 x 4 x 1	3 1/2"



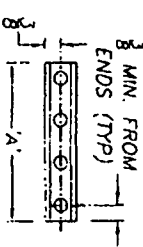
1" MULL CLIP W/TABS REMOVED
 TWO (2) ANCHOR LOCATIONS
 EXTRUSION DMC # 1095



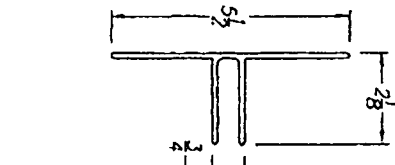
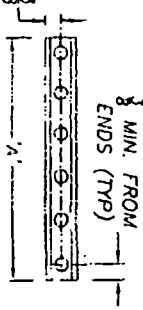
1" MULL CLIP W/TABS REMOVED
 THREE (3) ANCHOR LOCATIONS
 EXTRUSION DMC # 1095



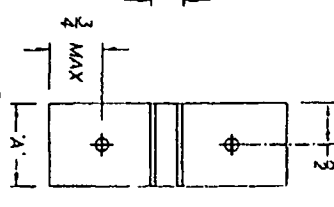
1" MULL CLIP W/TABS REMOVED
 FOUR (4) ANCHOR LOCATIONS
 EXTRUSION DMC # 1095



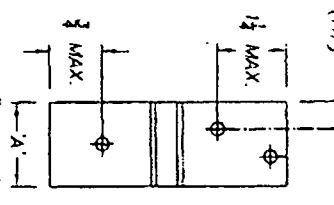
1" MULL CLIP W/TABS REMOVED
 SIX (6) ANCHOR LOCATIONS
 EXTRUSION DMC # 1095



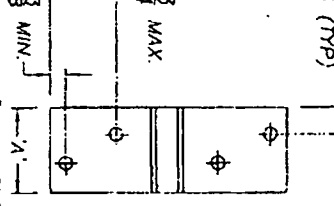
1" MULL CLIP
 TWO (2) ANCHOR LOCATIONS
 EXTRUSION DMC # 1099



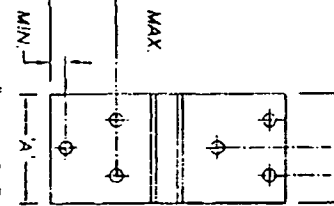
1" MULL CLIP
 THREE (3) ANCHOR LOCATIONS
 EXTRUSION DMC # 1099



1" MULL CLIP
 FOUR (4) ANCHOR LOCATIONS
 EXTRUSION DMC # 1099



1" MULL CLIP
 SIX (6) ANCHOR LOCATIONS
 EXTRUSION DMC # 1099



3/8 MIN. FROM ENDS (TYP)
 1 1/4 MAX.
 3/8 MIN. FROM ENDS (TYP)
 3/4 MAX.
 3/8 MIN. FROM ENDS (TYP)
 3/4 MAX.
 3/8 MIN. FROM ENDS (TYP)
 3/4 MAX.
 3/8 MIN. FROM ENDS (TYP)

NOTE:

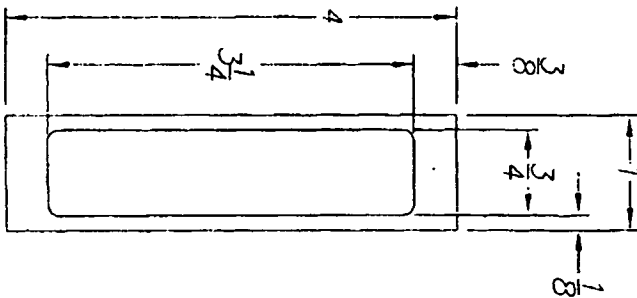
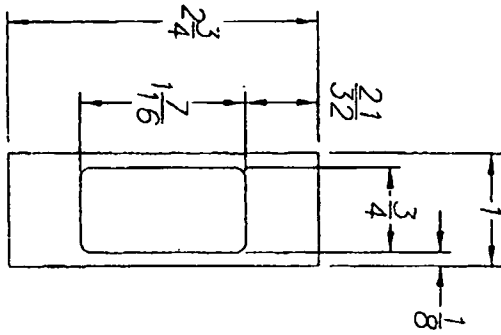
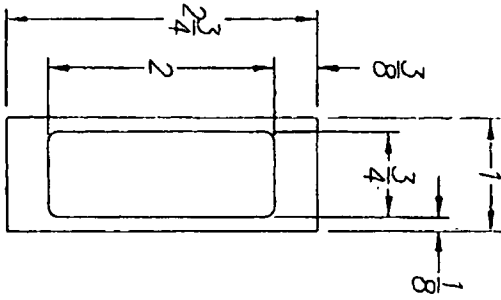
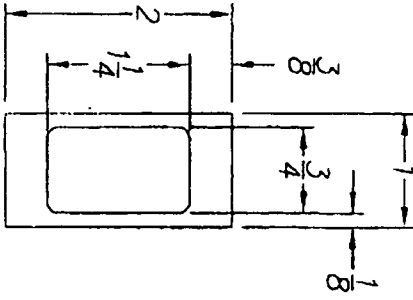
1. REFERENCE TEST REPORT FL-2902, 2903 AND 2975 STRUCTURAL

PRODUCT REVISED
 in compliance with the Florida Building Code No. 01-0301.09
 Engineering Data DE-1110
 By: *[Signature]*
 Date: 5/21/01
 Approved: *[Signature]*
 Date: 5/21/01

RGT INDUSTRIES		1070 TECHNOLOGY DRIVE MORNING, FL 32225		P.O. BOX 1329 MORNING, FL 32224	
Order Date:	5/21/01	Order By:	PJP	Order Date:	5/21/01
Product:	1" MULLION CLIP	Quantity:	1	Price:	3 @ 6
Drawn By:		Checked:		Drawing No:	6621

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE
 DATE: **JUN 28 2001**
 PROJECT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 REFERENCE NO. 01-0301.09

NOTE:
1. REFERENCE TEST REPORT FTL-2902, 2903 AND 2975



1x HEAVY WALL MULLENS

MAT'L: 6063-76

PRODUCT RELEASED
In compliance with the Florida
Building Code
Approved by the Florida
Department of Building
and Safety on 02-20-09
By: *[Signature]*
Richard Davis, President/Chief
Designer

APPROVED ASSEMBLY WITH THE
SOUTH FLORIDA BUILDING CODE
DATE: *[Signature]*
BY: *[Signature]*
PRODUCTION CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 07-053202

[Signature]
Robert L. Clark, P.E.
PE 839712
Consultant

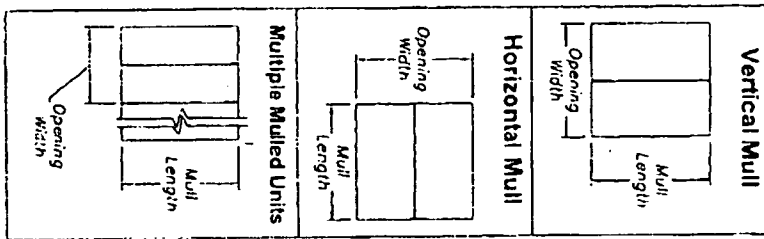
PCT INDUSTRIES	Drawn By:	Date:	Check By:	Date:	Reviewed:
	P.J.P.	5/22/00			
Description: 1" HEAVY WALL MULLION PROFILES		Sheet:	1 of 6	Ordering No.:	6621
P.O. BOX 1329 NORONAS, FL 34274		Sheet/Order:	MULLES	1x	4 of 6
P.O. BOX 1329 NORONAS, FL 34274		Sheet/Order:	MULLES	1x	4 of 6

1x2x.375 2 Anchors	OPENING WIDTH IN INCHES															
	50	60	70	80	90	100	110	120	130	140	150	160	170	180	190	200
42	155	142	134	130	130	130	130	130	130	130	130	130	130	130	130	130
48	129	116	107	102	100	99	99	99	99	99	99	99	99	99	99	99
50.625	115	100	91	85	82	80	80	80	80	80	80	80	80	80	80	80
54	94	81	73	68	64	63	62	62	62	62	62	62	62	62	62	62
60	67	58	51	47	44	42	41	41	41	41	41	41	41	41	41	41
63	58	49	44	40	37	35	34	34	34	34	34	34	34	34	34	34
66	50	43	38	34	32	30	29	28	28	28	28	28	28	28	28	28
72	38	32	29	26	24	22	21	20	20	20	20	20	20	20	20	20
76	32	27	24	22	20	18	17	17	17	17	17	17	17	17	17	17
78	30	25	22	20	18	17	16	15	15	15	15	15	15	15	15	15
84	24	20	17	16	15	14	13	13	13	13	13	13	13	13	13	13
90	19	16	14	13	12	11	11	11	11	11	11	11	11	11	11	11
96	16	13	11	10	9	9	9	9	9	9	9	9	9	9	9	9
108	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
111	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
144	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-

1x2.75x.375 3/4 Anchors	OPENING WIDTH IN INCHES															
	50	60	70	80	90	100	110	120	130	140	150	160	170	180	190	200
42	170	170	170	170	170	170	170	170	170	170	170	170	170	170	170	170
48	170	170	170	170	161	170	154	170	150	170	149	170	149	170	149	170
50.625	170	170	161	170	140	170	136	170	134	170	134	170	134	170	134	170
54	166	170	147	170	135	185	128	153	121	148	119	142	118	141	118	141
60	145	152	127	131	116	116	101	107	100	100	96	96	93	93	92	92
63	131	131	112	112	89	99	90	90	84	84	80	80	77	77	76	76
66	113	113	97	97	85	85	77	77	72	72	68	68	65	65	64	64
72	86	86	73	73	65	65	58	58	54	54	50	50	48	48	46	46
76	73	73	62	62	54	54	49	49	45	45	42	42	40	40	38	38
78	67	67	57	57	50	50	45	45	41	41	38	38	36	36	35	35
84	54	54	45	45	40	40	35	35	32	32	30	30	28	28	27	27
90	43	43	37	37	32	32	28	28	26	26	24	24	22	22	21	21
96	36	36	30	30	26	26	23	23	21	21	19	19	18	18	17	17
108	25	25	21	21	18	18	16	16	15	15	14	14	13	13	13	13
111	23	23	19	19	17	17	15	15	14	14	13	13	12	12	12	12
144	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-

- NOTES:
1. MAXIMUM ALLOWABLE PRESSURE IN PSF.
 2. DESIGN IS BASED ON OPENING WIDTH. FOR MULTIPLE UNITS, CONSIDER ONLY TWO ADJACENT UNITS AT A TIME. SEE SHEET 1.
 3. REFERENCE TEST REPORT FTL-2902, 2903 AND 2975

RJL
 5/24/04
 RL CLARK
 #39712
 STRICKLAND



PRODUCT APPROVED
 as compliant with the Florida
 Building Code
 Approved by G.I. O'NEAL, C.E.
 Inspector for the State of Florida
 P.E. License No. 12000
 P.E. Seal Expiration 12/31/04
 Date: JUN 28 2004
 APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 or
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 01-032374

PRT INDUSTRIES
 PRESSURE CHARTS
 1" HEAVY WALL MULLION

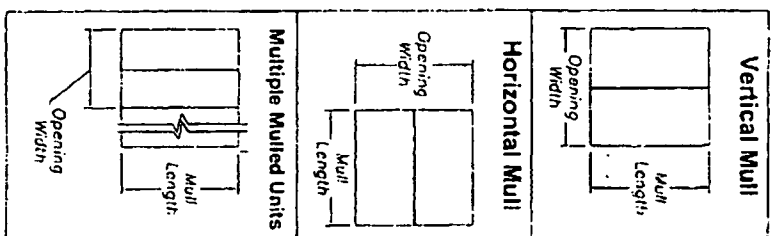
Order By: <i>F.J.P.</i>	Order By: <i>F.J.P.</i>	Quantity: <i>478/00</i>	Scale: <i>NTS</i>	Sheet: <i>5 of 6</i>	Drawing No. <i>6621</i>
1070 REYNOLDS DRIVE NORFOLK, VA 24072	P.O. BOX 1539 NORFOLK, VA 24074	1070 REYNOLDS DRIVE NORFOLK, VA 24072	NTS	5 of 6	6621

1x2.75x 650 3/4 Anchors	OPENING WIDTH IN INCHES															
	50	60	70	80	90	100	110	120	130	140	150	160	170	180	190	200
42	170	170	170	170	170	170	170	170	170	170	170	170	170	170	170	170
48	170	170	160	170	148	169	141	161	138	158	137	157	137	157	170	157
50.625	166	170	148	169	136	156	129	148	125	143	123	141	123	141	154	141
54	152	170	135	155	124	142	116	133	112	128	109	125	108	124	108	124
60	133	152	117	134	106	122	99	113	94	107	90	103	88	101	88	100
63	125	143	110	126	99	114	92	105	87	99	83	95	81	93	80	91
66	118	135	103	118	93	107	86	97	81	90	77	85	75	82	73	80
72	106	108	92	92	81	81	73	73	67	67	63	63	60	60	58	58
76	91	91	77	77	68	68	61	61	56	56	52	52	49	49	47	47
78	84	84	71	71	63	63	56	56	51	51	48	48	45	45	43	43
84	67	67	57	57	50	50	44	44	40	40	37	37	35	35	33	33
90	54	54	46	46	40	40	36	36	32	32	30	30	28	28	26	26
96	44	44	38	38	33	33	29	29	26	26	24	24	23	23	21	21
108	31	31	26	26	23	23	20	20	18	18	17	17	15	15	-	-
111	29	29	24	24	21	21	18	18	17	17	15	15	-	-	-	-
144	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-

1x4x.375 4/6 Anchors	OPENING WIDTH IN INCHES															
	50	60	70	80	90	100	110	120	130	140	150	160	170	180	190	200
42	170	170	170	170	170	170	170	170	170	170	170	170	170	170	170	170
48	170	170	170	170	170	170	170	170	170	170	170	170	170	170	170	170
50.625	170	170	170	170	170	170	170	170	170	170	170	170	170	170	170	170
54	170	170	170	170	170	170	170	170	170	170	170	170	170	170	170	170
60	170	170	170	170	170	170	170	170	170	170	170	170	170	170	170	170
63	170	170	159	170	144	170	133	170	128	170	121	170	117	169	116	165
66	170	170	150	170	135	170	125	170	117	166	112	156	108	145	105	144
72	154	170	134	170	120	165	110	148	103	136	98	127	94	120	91	115
76	144	170	125	160	112	140	102	126	95	118	90	108	86	102	83	98
78	140	170	121	148	108	129	99	116	92	106	87	99	83	93	80	89
84	128	138	111	117	98	102	90	92	83	83	77	77	73	73	69	69
90	112	112	95	95	82	82	74	74	67	67	62	62	58	58	54	54
96	92	92	78	78	67	67	60	60	54	54	50	50	47	47	44	44
108	64	64	54	54	47	47	42	42	37	37	34	34	32	30	28	28
111	59	59	50	50	43	43	38	38	34	34	31	31	29	27	27	27
144	27	27	22	22	19	19	17	17	15	15	-	-	-	-	-	-

NOTES:
 1. MAXIMUM ALLOWABLE PRESSURE IN PSF.
 2. DESIGN IS BASED ON OPENING WIDTH. FOR MULTIPLE UNITS, CONSIDER ONLY TWO ADJACENT UNITS AT A TIME. SEE SHEET 1.
 3. REFERENCE TEST REPORT FTL-2902, 2903 AND 2975

[Signature]
 K.L. OLIVE
 SVP



REVISION REQUIRED
 Mull Length
 Mull Width
 Approved by: *[Signature]*
 Date: JUN 28 2004
 APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 BY: *[Signature]*
 PROTECTIVE DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 01-0313-02

PRT INDUSTRIES

1070 TECHNOLOGY DRIVE
 MARIETTA, GA 30067

P.O. BOX 1399
 MARIETTA, GA 30067

Product: PRESSURE CHARTS
 Title: 1" HEAVY WALL MULLION

Drawn by: PJP
 Date: 4/28/00

Scale: 6" = 6"

Sheet: 6 of 6

Drawing No: 6621



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**PGT Industries
1070 Technology Drive
Nokomis, FL 34275**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Series "740" Aluminum Projected Window

APPROVAL DOCUMENT: Drawing No. 7052-7, titled "Alum. Projected Window, impact", sheets 1 through 11 of 11, prepared by manufacturer, dated 2/24/03, with revision date 8/26/03, signed and sealed by Lucas Turner, P.E., bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of this page 1 as well as approval document mentioned above.

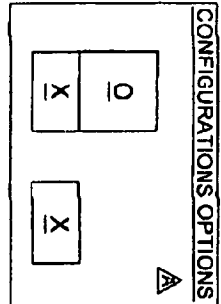
The submitted documentation was reviewed by **Theodore Berman, P.E.**



**NOA No 03-0514.10
Expiration Date: November 06, 2008
Approval Date: November 06, 2003
Page 1**

NOTES: LARGE MISSILE WINDOWS

1. GLAZING OPTIONS:
 - A. 5/16" LAMINATED GLASS COMPRISED OF (1) LITE OF 1/8" ANNEALED GLASS AND (1) LITE OF 1/8" HEAT STRENGTHENED GLASS W/ AN .090 INNER LAYER OF SOLUTIA OR DUPONT PVB.
 - B. 5/16" LAMINATED GLASS COMPRISED OF (2) LITES OF 1/8" HEAT STRENGTHENED GLASS W/ AN .090 INNER LAYER OF SOLUTIA OR DUPONT PVB.
 - C. 7/16" LAMINATED GLASS COMPRISED OF (1) LITE OF 3/16" ANNEALED GLASS AND (1) LITE OF 3/16" HEAT STRENGTHENED GLASS W/ AN .090 INNER LAYER OF SOLUTIA OR DUPONT PVB.
 - D. 7/16" LAMINATED GLASS COMPRISED OF (2) LITES OF 3/16" HEAT STRENGTHENED GLASS W/ AN .090 INNER LAYER OF SOLUTIA OR DUPONT PVB.
 - E. 13/16" I.G. GLASS COMPRISED OF (1) LITE OF 1/8" HEAT STRENGTHENED GLASS AND (1) 5/16" LAMINATED GLASS COMPONENT WITH A 3/8" AIR SPACE. 5/16" LAMINATED COMPONENT COMPRISED OF (2) LITES OF 1/8" HEAT STRENGTHENED GLASS WITH AN .090 SOLUTIA OR DUPONT INNER LAYER.



NOA DRAWING TABLE OF CONTENTS

NOTES	1
GLAZING DETAILS	2
ELEVATIONS	3
DESIGN PRESSURE TABLES	4-6
SECTIONS	7-8
CORNER CONSTRUCTION	9
EXTRUSION PROFILES	9-10
PARTS LIST	10
ANCHORAGE	11

2. CONFIGURATIONS: OX & X

3. DESIGN PRESSURE RATINGS / COMPARATIVE ANALYSIS TABLES:

- A. NEGATIVE DESIGN LOADS BASED ON TESTED PRESSURE AND GLASS TABLES ASTM E 1300-98 (AND ASTM E 1300-94 OUTSIDE MIAMI-DADE COUNTY).
- B. POSITIVE DESIGN LOADS BASED ON WATER TEST PRESSURE AND GLASS TABLES ASTM E 1300-98 (AND ASTM E 1300-94 OUTSIDE MIAMI-DADE COUNTY).
- C. DESIGN PRESSURES UNDER 40 P.S.F. NOT APPLICABLE IN MIAMI-DADE COUNTY.

4. ANCHORAGE: SINGLE ROW OF FASTENERS LOCATED AS FOLLOWS:

- JAMBS "X":** MAX. 8" FROM CORNERS
JAMBS "OX": MAX. 4" FROM "O" CORNERS
 MAX. 13" O.C.
 (2) ANCHORS 3" APART AT MID-SPAN ON FIXED LITE ONLY
 MAX. 4" & 7" ON EACH SIDE OF MEETING RAIL
 MAX. 8" FROM "X" CORNERS
HEAD & SILL: MAX. 4" FROM CORNERS
 MAX. 13" SPACING
 (2) ANCHORS 3" APART AT MID-SPAN

ALTERNATE FASTENERS: 1/4" TAPCONS OR #14 SCREWS MAY BE USED AT THE ABOVE SPACING. SEE SHEETS 4, 5, 6 AND 7 FOR ALLOWABLE DESIGN PRESSURES IF USING 3/16" TAPCONS OR #12 SCREWS.

5. SHUTTER REQUIREMENT: NONE REQUIRED
6. NARROW JOINT SEALANT IS USED ON ALL FOUR CORNERS OF THE FRAME.
7. REFERENCE TEST REPORTS: FTL-3724, FTL-3727 & FTL-3728.

Revision	1	REMOVE "C" OPTION PER MIAMI-DADE
DATE	02/24/03	
BY		
DATE		
BY		
DATE		
BY		
DATE		
BY		
DATE		

ICM TECHNICAL Q&A DRIVE
 1000 S.W. 1430
 MIAMI, FL 33135



NOTES AND TABLE OF CONTENTS

ALUM. PROJECTED WINDOW, IMPACT

Ca-710

NTS

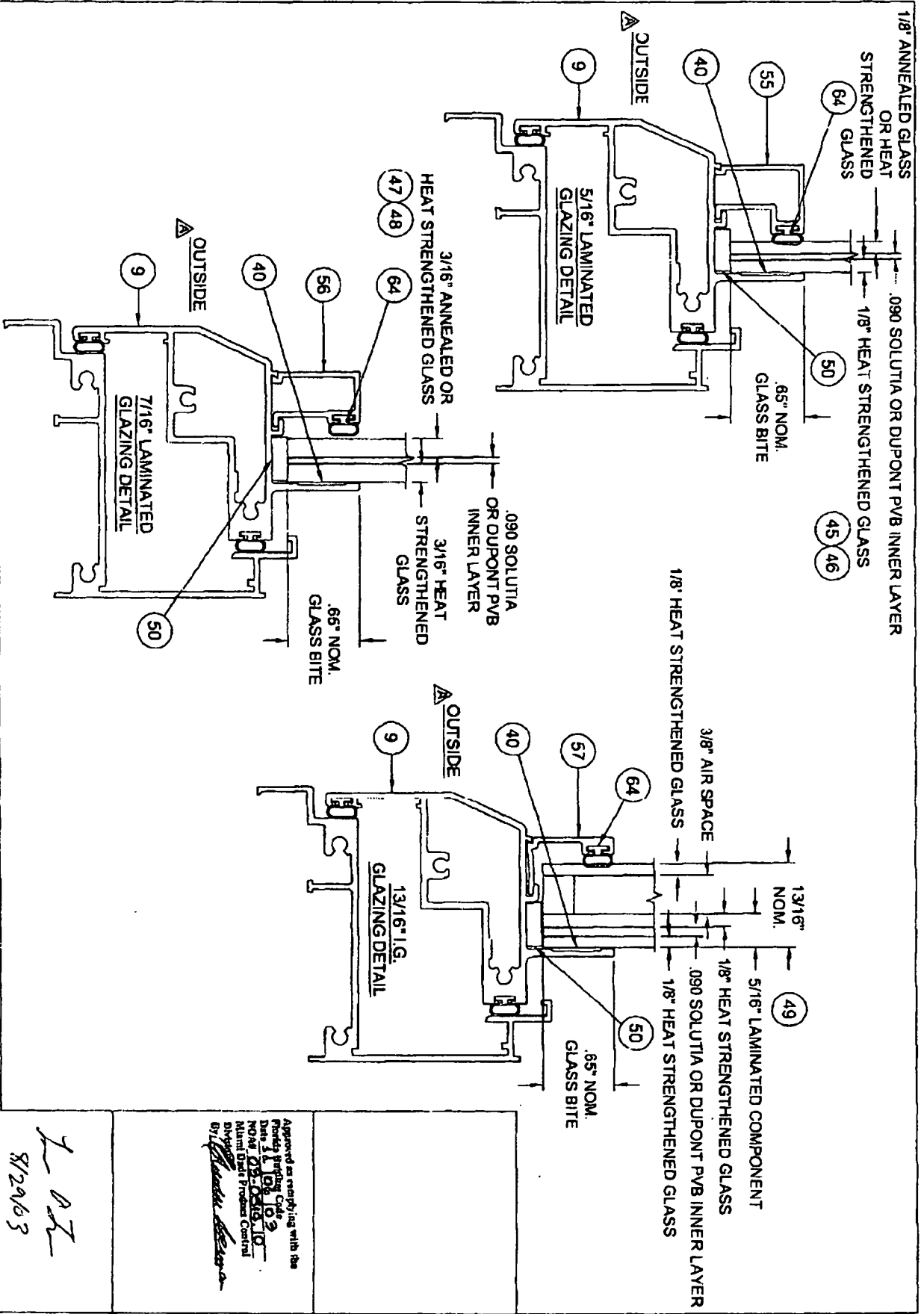
1 of 11

7052-7

A

Approved as representing with the
 Florida Building Code
 Non-Residential Division
 Miami-Dade County
 Natural Gas Product Council
 By: *[Signature]*
 Date: 8/24/03

Lucas A. Turner, P.E.
 PE INCH 01
 11/07/2003

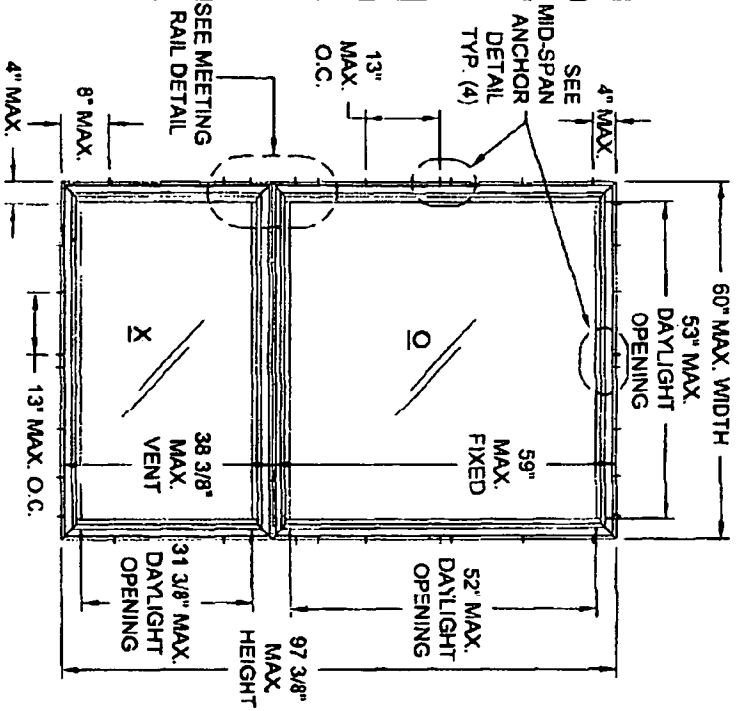


Order No.	02/24/03	Order Date	02/24/03
Project No.		Project Name	
Client		Address	
Design		Drawn By	
Check		Date	
Material		Manufacturer	
Notes	ADD 'OUTSIDE' NO. 1/11/04		
1070 TECHNICAL OFFICE	1070 TECHNICAL OFFICE		
NORFOLK, VA 23510	NORFOLK, VA 23510		
PHONE: 757-246-1429	PHONE: 757-246-1429		
FAX: 757-246-1430	FAX: 757-246-1430		
WWW.PGT.COM	WWW.PGT.COM		
Visible Better	Visible Better		
Product	ALUM. PROJECTED WINDOW, IMPACT		
Material	Ca-140	Scale	NTS
Sheet	2	of	1
Drawn To	7052-7		
Rev	A		

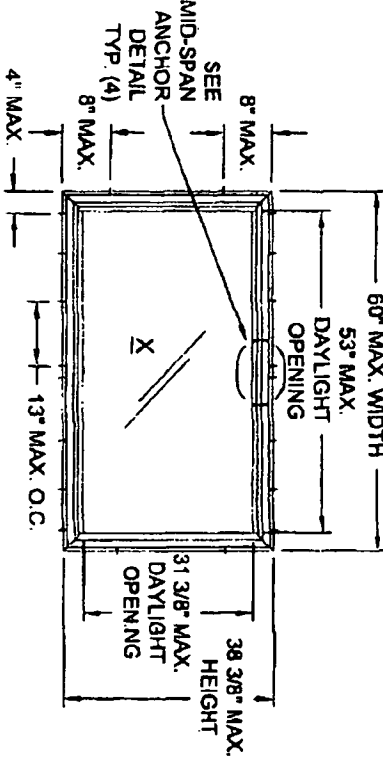
Approved as exemplified with the
 Florida Building Code
 Date: 8/24/03
 Name: [Signature]
 Miami-Dade Product Control
 Division
 By: [Signature]

LAT
 8/24/03

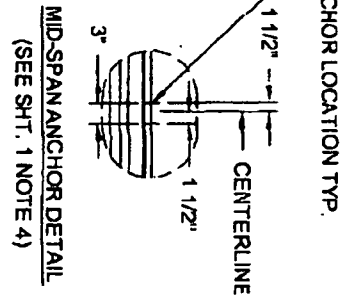
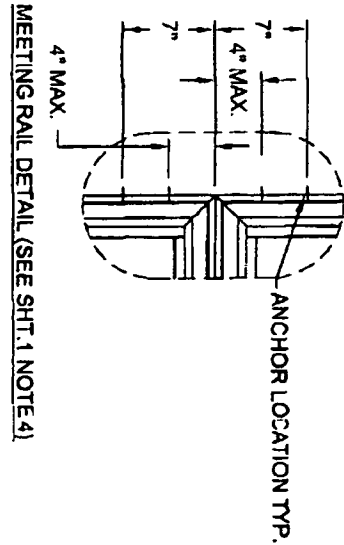
Lucas A. Turner, P.E.
 PE #54201
 Mechanical



ELEVATION "A" - "OX"
(SEE SHEETS 5 & 6 FOR PRESSURES)



ELEVATION "B" - "X"
(SEE SHEET 4 FOR PRESSURES)



Revised By:	Date:	Revised To:	Remarks:
F.K.	02/26/03	A	REMOVE "O" ELEVATION
Drawn By:	Date:	Checked By:	Date:
F.K.	02/26/03		

1080 TERNAR DRIVE
MORRISVILLE, NC 27560
P.O. BOX 1550
MORRISVILLE, NC 27560



ELEVATIONS			
ALUM. PROJECTED WINDOW, IMPACT	CA-710	NTS	3
			11
			7052-7
			A

Approved as manufactured with the
Patent Pending L-28
Series 1100 Series
NO. 1 OF 05/16/10
NO. 1 OF 05/16/10
NORWEL Door Product Company
Directed by Product Group
by *[Signature]*

L A L
8/29/03

LARRY A. TURNER, P.E.
PE #33201
Mechanical

COMPARATIVE ANALYSIS TABLE 1. (FOR 14" TAPCONS OR #14 SCREWS) "X" WINDOWS TEST REPORTS: FTL-3724, FTL-3727, FTL-3728

GLAZING OPTION:	A. 5/16" LAMI (1/8" A, .090, 1/8" HS) FTL-3727															
	VENT HEIGHT	17,000	18,000	21,000	24,000	26,000	30,000	33,000	36,000	37,000	38,375					
24,000	A 70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0
26,500	A 70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0
30,000	A 70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0
36,000	A 70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0
37,000	A 70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0
43,000	A 70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0
48,000	A 70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0
53,125	A 70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0
57,000	A 70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0
60,000	A 70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0	70.0	-75.0

GLASS OPTION B. 5/16" LAMI (1/8" HS, .090, 1/8" HS) FTL-3727 ALL THE ABOVE SIZE COMBINATIONS 70.0 -75.0

GLASS OPTION C. 7/16" LAMI (3/16" A, .090, 3/16" HS) FTL-3724 ALL THE ABOVE SIZE COMBINATIONS 70.0 -80.0

GLASS OPTION E. 13/16" I.G. (1/8" HS, 3/8" SPACE, 5/16" LAMI W/ 1/8" HS & 1/8" HS) FTL-3728 ALL THE ABOVE SIZE COMBINATIONS 70.0 -75.0

NOTE: IF USING 3/16" TAPCONS OR #12 SCREWS DESIGN PRESSURE FOR "X" WINDOWS IS LIMITED TO 80.5 P.S.F.



Drawn By: BBB/RLU	Checked By: A	NO CHANGE THIS SHEET
Scale: 1/8" = 1'-0"	Revision: 1/10/04	10/10 REVISION, ONLY CHANGE
Project: 02/24/03	Date: 08/24/03	NO. BOX 1529, MONROE, LA 70002
Client: 02/24/03	Order: 02/24/03	MONROE, LA 70002
PBT Visible Better		
DESIGN PRESSURES "X" WINDOWS		
ALUM. PROJECTED WINDOW, IMPACT	CA-170	N/S
4	4	4
7052-7		A

Approved as shown with the
 Florida Building Code
 Date: **11/05/03**
 No. **03-0518-10**
 Michael Dyer, President, Coastal
 Design & Construction, Inc.
 By: *[Signature]*

Y A L
 8/20/03

Linda A. Turner, P.E.
 PE 630201
 Mechanical

COMPARATIVE ANALYSIS TABLE 4. (FOR 1/4" TAPCONS OR #14 SCREWS) "OX" UNEQUAL LITE WINDOWS EST REPORTS: FTL-3724 FTL-3727 FTL-3728

GLAZING OPTIONS:
 A. 5/16" LAMI (1/8" H.S., .090, 1/8" H.S.) FTL-3727
 B. 5/16" LAMI (1/8" H.S., .090, 1/8" H.S.) FTL-3727
 C. 7/16" LAMI (3/16" H.S., .090, 3/16" H.S.) FTL-3724
 E. 1 1/8" I.G. (1/8" H.S., 3/8" SPACE, 5/16" LAMI W/ 1/8" H.S., 1/8" H.S.) FTL-3728

FIXED HEIGHT	WINDOW WIDTH												
	26.000	32.000	38.375	44.000	50.825	59.040	26.000	32.000	38.375	44.000	50.825	59.040	
24.000	A 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0	BE 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0	C 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0	A 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0	BE 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0	C 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0	A 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0	BE 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0	C 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0	A 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0	BE 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0 70.0 -75.0	C 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0 70.0 -90.0	

GLASS OPTION D. 7/16" LAMI (3/16" H.S., .090, 3/16" H.S.) FTL-3724
 ALL THE ABOVE SIZE COMBINATIONS 70.0 -90.0

NOTE: IF USING 3/16" TAPCONS OR #12 SCREWS DESIGN PRESSURE FOR "OX" WINDOWS IS LIMITED TO 41.4 P.S.F.

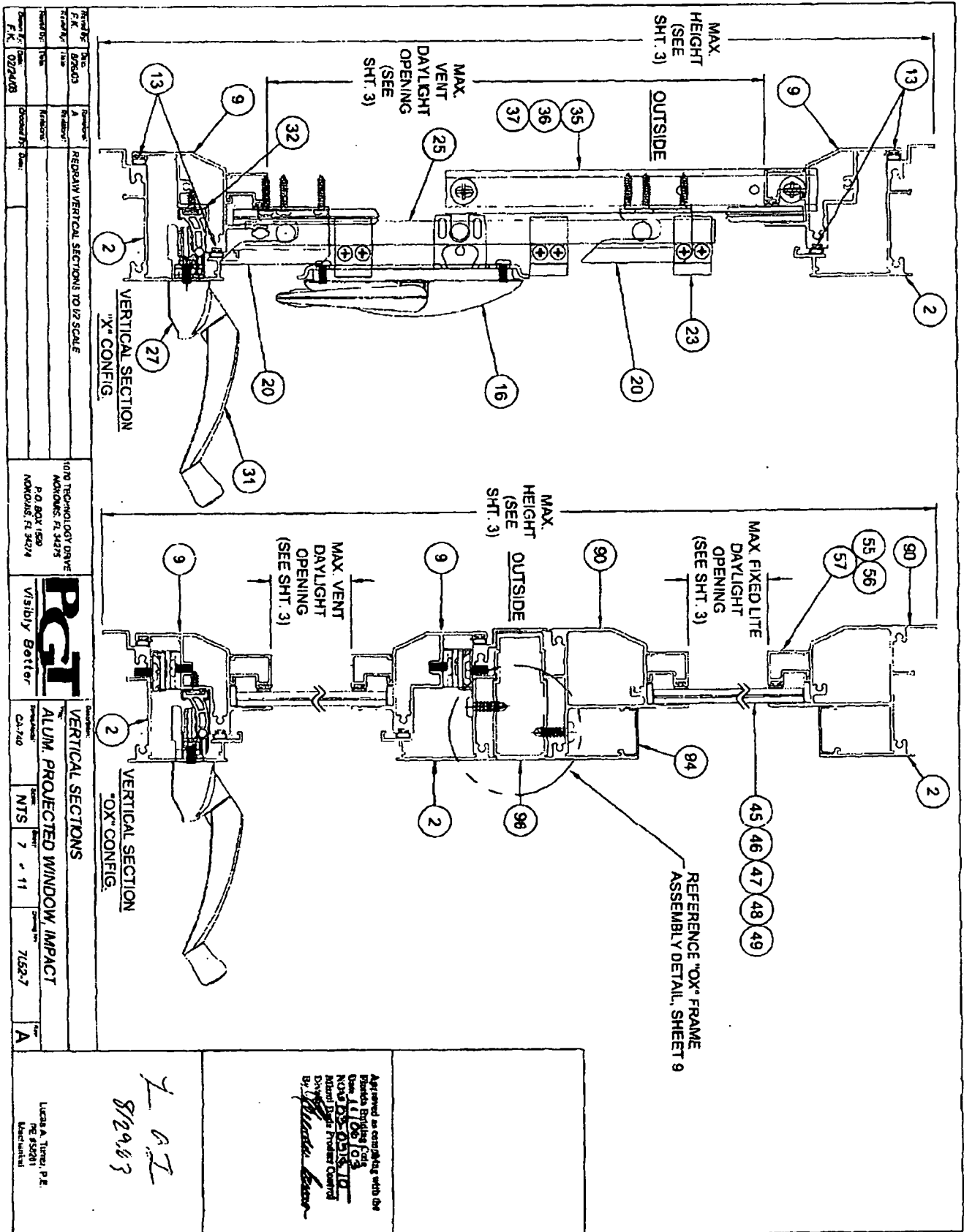
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Client:	1070 TECHNOLOGY DRIVE	Contract No:	CA-740
Address:	110 BOX 149 MORNING, FL 32071	Drawn By:	NTS
Company:	PET	Scale:	6" = 1'
Product:	DESIGN PRESSURES "OX" WINDOWS	Check By:	7052-7
Material:	ALUM. PROJECTED WINDOW, IMPACT	Date:	
Order No:		By:	A

O
X

202
8/26/03

Florida Building Code
 2001 Edition
 Section 605.10
 National Joint Products Company
 By: [Signature]

Luisa A. Turner, P.E.
 PE 820201
 Mechanical



Revised By	Disc	Revised	REGRAIN VERTICAL SECTIONS TO 1/2 SCALE
F.K.	BZ603	A	
Drawn By	124	Checked	
Scale	1/2"	Project No.	
Sheet No.	0224403	Sheet	

1070 TECHNOLOGY DRIVE
 APOKINKS, FL 34275
 P.O. BOX 1520
 NOKOMIS, FL 32274

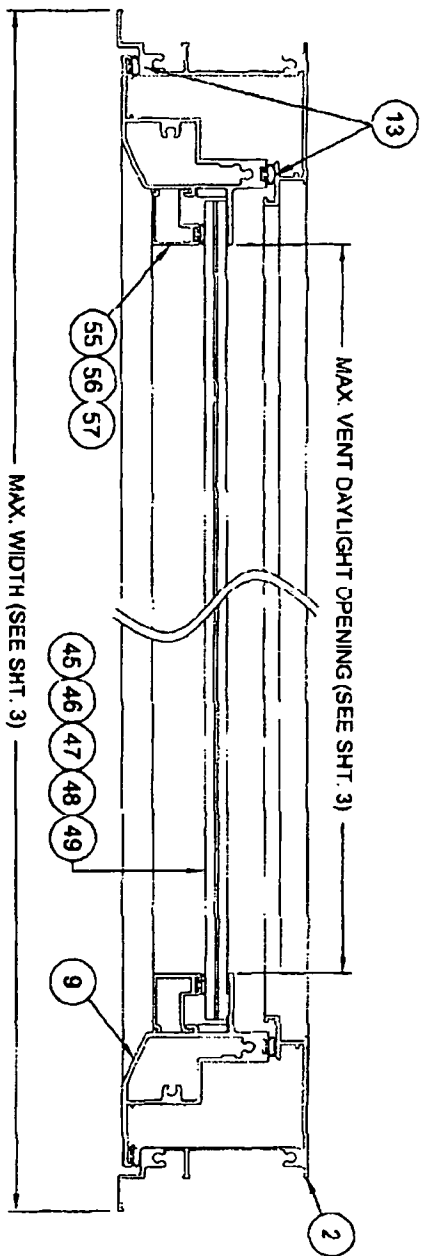


VERTICAL SECTIONS
ALUM. PROJECTED WINDOW, IMPACT
 CA 740
 NTS 7 - 11
 7152-7
 A

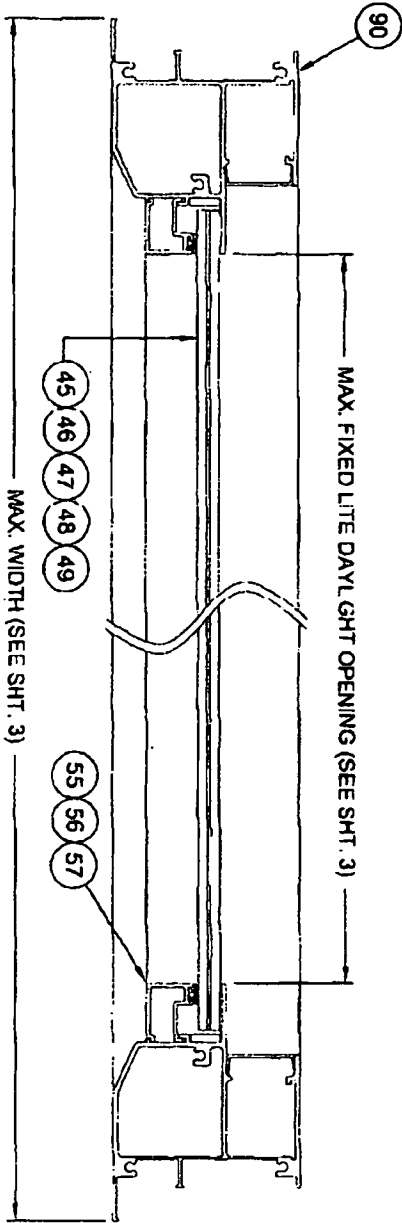
Approved as compliant with the Florida Building Code
 Use: **1108**
 NOKOMIS DISTRICT
 Robert J. Probert, County
 Director
 By: *Wanda Brown*

LUCAS A. THOMAS, P.E.
 PE 45201
 Licensed Professional Engineer

L.A.T.
8/29/03



HORIZONTAL SECTION
THROUGH VENT



HORIZONTAL SECTION
THROUGH FIXED LITE

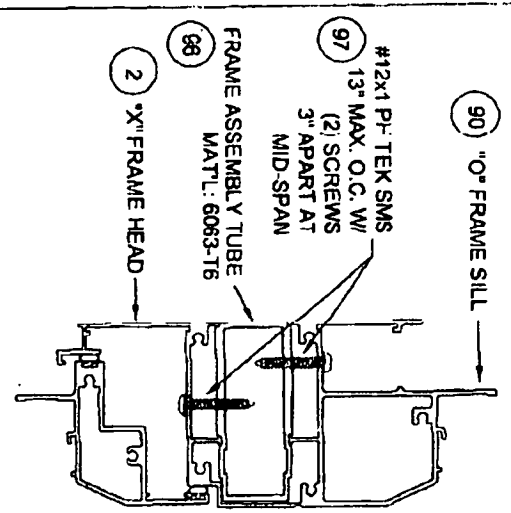
Project No.	0226603	Revision	REMAIN HORIZONTAL SECTIONS TO 1/2 SCALE
Date of Issue	08/24/04	Drawn By	
Checked By		Approved By	
Scale	1/2	Project No.	
Sheet No.	0226603	Sheet Title	
1020 TICHMOND DR P.O. BOX 1528 MOBILE, AL 36688			
PGT Visibly Better			
HORIZONTAL SECTIONS ALUM. PROJECTED WINDOW, IMPACT			
Standard	CA-740	Scale	NTS
Impact	8"	Temp.	11"
Temp.	7052-7	Temp.	
Temp.	A	Temp.	

Approved in compliance with the Florida Building Code
 Date: 11/05/03
 Name: DAVID J. JONES, P.E.
 National Board Practice Control
 Director

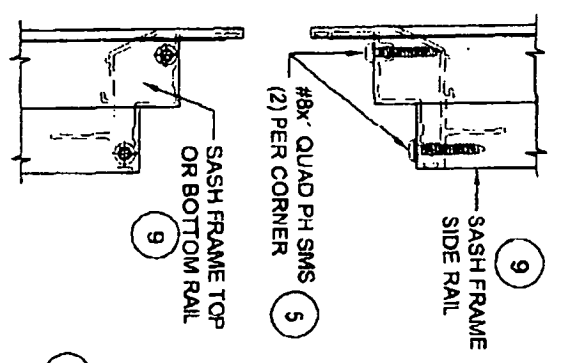
LCT
 8/24/03

LUCAS A. TURNER, P.E.
 PE 838271
 Mechanical

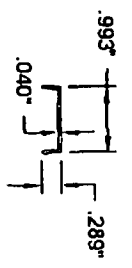
NOTE: ALL ALUMINUM SHALL BE OF 6063-T6



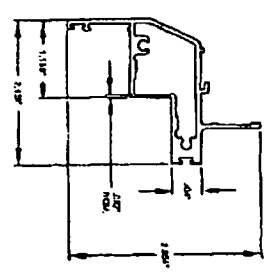
OX FRAME ASSEMBLY DETAIL



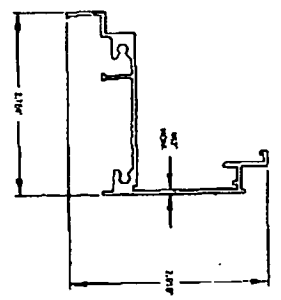
SASH FRAME ASSEMBLY DETAIL



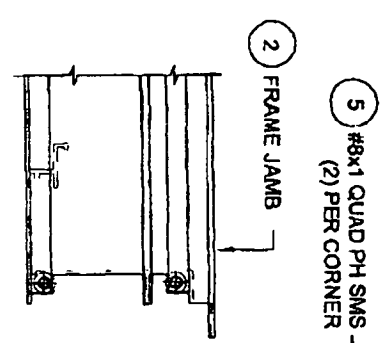
94 INSTALLATION HOLE COVER
MATL: 6063-T6
DWG# 7007



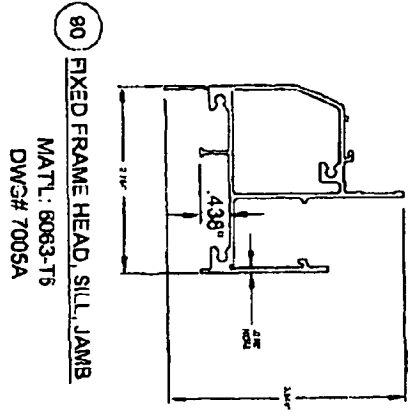
9 SASH FRAME HEAD, SILL, JAMB
MATL: 6063-T6
DWG# 7003A



2 FRAME HEAD, SILL, JAMB
MATL: 6063-T6
DWG# 7002A



MAIN FRAME ASSEMBLY DETAIL



80 FIXED FRAME HEAD, SILL, JAMB
MATL: 6063-T6
DWG# 7005A

Project No.	022903
Rev.	
Drawn By	
Checked By	
Approved By	
Revision	NO CHANGE THIS SHEET

1070 TECHNOLOGY DRIVE
NORONAS, FL 3272
P.O. BOX 1429
NORONAS, FL 32724



Product	EXTRUSIONS & ASSEMBLY DETAILS
Material	ALUM. PROJECTED WINDOW, IMPACT
Scale	9" = 1'
Sheet	NTS
Drawing No.	7052-7
Rev.	A

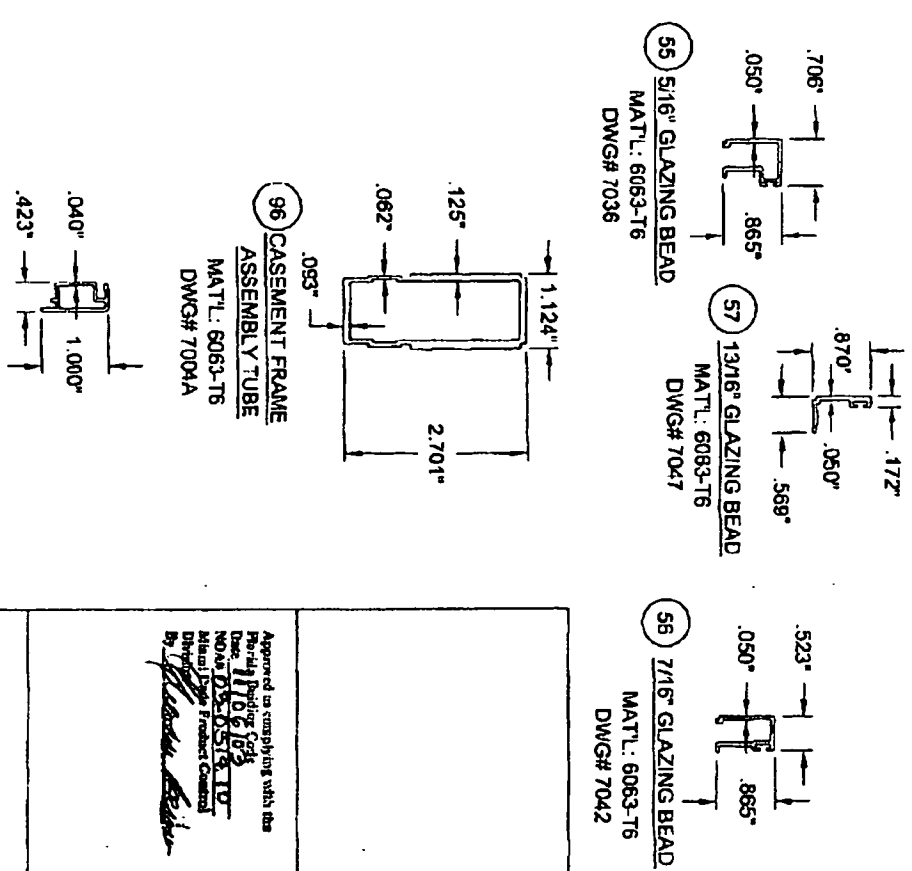
Approved and used in accordance with the
Florida Building Code
Permit No. 10-01016-10
NORONAS, FL 32724
Manufactured Product Control
By: *[Signature]*

LCT
8/29/03

Lucas A. Turner, P.E.
PE 000201
Mediawatch

ITEM	DWG #	PCT. #	DESCRIPTION
2	7002	57002A	MAIN FRAME HEAD, SILL AND JAMB
5	1155	781POA	#8 X 1 QUAD PN SMS
6	7008	781COR	FRAME CORNER KEY
7	7008	7704BK	1/2" X 1/2" X 1/8" CLOSED-CELL FOAM TAPPS
9	1155	67003A	SASH TOP, BOTTOM AND HINGED
5	1155	781POA	#8 X 1 QUAD PN SMS
14	7009	5707VK	BULB WATERSTRIP - 1.87X.185
16	7024	781COR	SASH CORNER KEY
17	7026	781COR	TRUTH #23050 92. LOCK SUPPORT PLATE
18	7014	781COR	TRUTH #19298 #10-24 X .562 PH. PN. TYPE V
20	1157	781COR	TRUTH #40928 & #40929. MULTI-LOCK KEEPER (R.H. & L.H.)
21	1157	781COR	#8 X 300 PH. PN. SMS
22	7013	781COR	TRUTH #51841. THE BAR GUIDE
23	7015	781COR	#8 X 1.00 FH. PH. SMS
24	7015	781COR	TRUTH #11901.92 (14.9) THE BAR ASSEMBLY
27	7019	781COR	TRUTH #51 02.32.011. MAXIM PROJECTED OPERATOR
28	7030	781COR	TRUTH #31882. OPERATOR GASKET
29	7031	781COR	TRUTH #21641. BACKING PLATE
30	7034	781COR	#8-32 X 375 PH. PN. TYPE B
31	7034	781COR	TRUTH #11577. SNAP-ON HANDLE
32	7034	781COR	TRUTH #11577. OPERATOR TRACK & SLIDER
33	7023	781COR	#8 X 750 PH. PN. SMS
34	7023	781COR	TRUTH #34.25.00.212. PROJECTED HINGE - 12"
35	7023	781COR	TRUTH #34.27.00.104. PROJECTED HINGE - 16"
37	7023	781COR	TRUTH #34.29.00.107. PROJECTED HINGE - 20"
38	7023	781COR	TRUTH #34.29.00.107. PROJECTED HINGE - 20"
40	7018	781COR	SILICONE - LXIV CORNING 899 OR 993
43	7018	781COR	LAMINATED GLASS (1/8" ANN. & 1/8" HS GLASS W/ AN .090
46	7018	781COR	INNER LAYER OF SOLUTIA OR DUPONT PVB
47	7018	781COR	INNER LAYER OF SOLUTIA OR DUPONT PVB
48	7018	781COR	INNER LAYER OF SOLUTIA OR DUPONT PVB
49	7018	781COR	INNER LAYER OF SOLUTIA OR DUPONT PVB
50	7018	781COR	INNER LAYER OF SOLUTIA OR DUPONT PVB

ITEM	DWG #	PCT. #	DESCRIPTION
90	7005	67005A	CASEMENT FIXED WINDOW FRAME
92	1155	781POA	#8 X 1 QUAD PN SMS
93	7010	781COR	FIXED FRAME CORNER KEY
94	7007	67007	INSTALLATION ROLE COVER - HOR.
95	7004A	67004A	PARABOND
96	7004A	67004A	CASEMENT FRAME ASS'Y. TUBE
97	7004A	712X1PPT	#12 X 1 PH PN TUB



ITEM	DWG #	PCT. #	DESCRIPTION
30	1634	71634K	SETTING BLOCK 5/32" X 7/16" X 1" IG
55	7036	67036	GLAZING BEAD (1/4 5/16 LAM)
56	7042	67042	GLAZING BEAD (1/2" IG, 7/16 LAM)
57	7047	67047	GLAZING BEAD (3/16" IG)
64	1224	61R24T	VINYL BULB W/STP (THICK)
66	7006	67006	SCREEN FRAME
68	7040	47040 W/B	SCREEN CORNER KEY
69	7006	61635K	SCREEN CLOTH
70	1633	61633K	SCREEN SPLINE - SEBRATED
71	331-A	60976	CASEMENT SCREEN CLIP
72	1157	781COR	#8 X .500 SQ. PN. TEK SMS
77	7007	781COR	TRUTH #30476. CLEAR STORY POLE
78	7007	781COR	TRUTH #20550. CLEAR STORY ADAPTER
79	7019	711573	TRUTH #11573. SNAP-ON T. HANDLE KNOB
80	7018	711573	TRUTH #11573. FOLDING HANDLE

NO CHANGE THIS SHEET

10/0 TECHNICAL COPY DRAWING
HONOLULU, HI 96827
HONOLULU, HI 96827
HONOLULU, HI 96827

PCT
Visibly Better

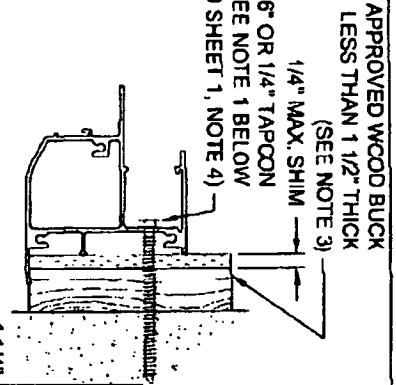
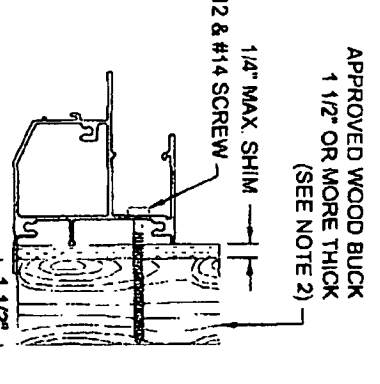
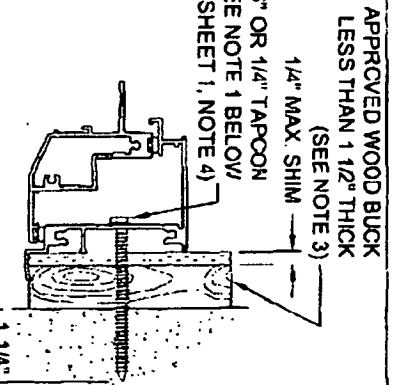
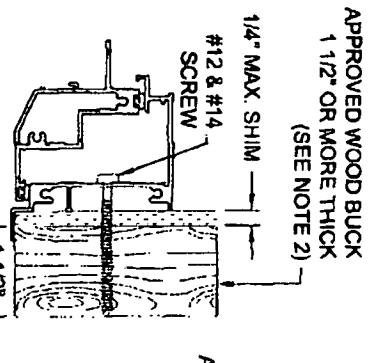
PARTS LIST & EXTRUSIONS
ALUM PROJECTED WINDOW, IMPACT

CA-740
M/T/S
10" x 11"
7052-7
A

Approved as complying with the
Permit No. 1176-103
Date: 8/19/04
NO. 44-05-0513-10
Material Product Control
By: [Signature]
Checked By: [Signature]

Lucas A. Turner, P.E.
PE 658201
Mechanical

8/19/04

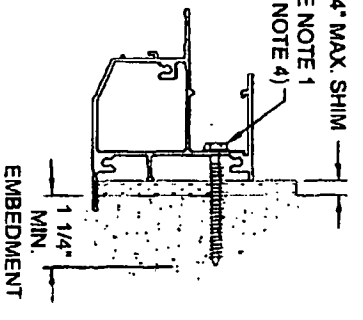
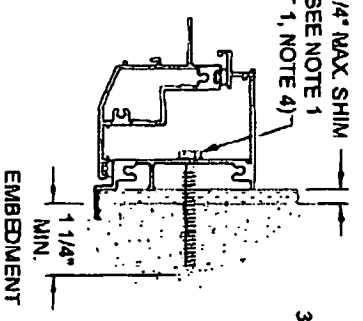


OPERABLE UNIT FRAME
TO WOOD BUCK
1 1/2" OR MORE THICK

OPERABLE UNIT FRAME
TO CONCRETE W/ WOOD BUCK
LESS THAN 1 1/2" THICK

FIXED UNIT FRAME
TO WOOD BUCK
1 1/2" OR MORE THICK

FIXED UNIT FRAME TO CONCRETE W/
WOOD BUCK LESS THAN 1 1/2" THICK



OPERABLE UNIT FRAME
TO CONCRETE

FIXED UNIT FRAME
TO CONCRETE

NOTE: ALL DETAILS
APPLY TO HEAD,
SILL, AND JAMB.

1. USE ONLY MIAMI-DADE COUNTY APPROVED ELCO OR ITW TAPCONS.
2. INSTALLATION TO THE SUBSTRATE OF WOOD BUCKS 1 1/2" OR MORE THICK TO BE ENGINEERED BY OTHERS AND TO BE REVIEWED BY BUILDING OFFICIAL.
3. INSTALLATION TO THE SUBSTRATE OF WOOD BUCKS LESS THAN 1 1/2" THICK TO BE ENGINEERED BY OTHERS.

Project No.	022910	Revision	1	NO CHANGE THIS SHEET
Drawn By	082403	Checked By		
Scale		Material		
Notes		Quantity		
1007 TECHNOLOGY DRIVE NORLANDS, FL 32755 P.O. BOX 1629 NORLANDS, FL 32754				
PGT Visibly Better				
ANCHORAGE DETAILS				
ALUM. PROJECTED WINDOW, IMPACT				
CA-710	NTS	11" x 11"	7052-7	A

Approved as complying with the
Florida Building Code
Date: 11/26/03
NOVA 03-20518-1D
Miami Dade Product Control
Division
By: *Lucas A. Turner*

LT
8/12/03

LUCAS A. TURNER, P.E.
PE 065201
Mechanical



MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33136-1563
(305) 375-2901 FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Entegra Roof Tile Corporation
1201 N.W. 18 Street
Pompano Beach, FL 33069

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT DIVISION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

Your application for Notice of Acceptance (NOA) of
Estate "S" Tile

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

PACIFIC ROOFING CORPORATION
808 SE DIXIE HIGHWAY
STUART, FLORIDA 34994-3803

Raul Rodriguez
Chief Product Control Division

ACCEPTANCE NO.: 01-0703.04
EXPIRES: 3/2006

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

APPROVED: 08/23/2001

RECEIVED AUG 23 2001

Product	Dimensions	Test Specifications	Product Description	Manufacturer
Wood Battens	<u>Vertical</u> Min. 1"x 4" <u>Horizontal</u> Min. 1"x 4" for use with vertical battens or Min. 1"x 2" for use alone	Wood Preservers Institute LP - 2	Salt pressure treated or decay resistant lumber battens	Generic (with current NOA)
Tile Nails	Min. 10dx 3"	PA 114 Appendix E	Corrosion resistant screw or smooth shank nails	Generic (with current NOA)
Tile Screws	#8x 2 1/4" long 0.335" head dia. 0.131" shank dia. 0.175" screw thread dia.	PA 114 Appendix E	Corrosion resistant, coated, square drive, galvanized, coarse thread wood screws	Generic (with current NOA)
Roof Tile Mortar ("TileTite™")	N/A	PA 123	Prepared mortar mix designed for mortar set roof tile applications.	Bermuda Roof Company, Inc. (with current NOA)
Roof Tile Mortar ("Quikrete® Roof Tile Mortar #1140")	N/A	PA 123	Prepared mortar mix designed for mortar set roof tile applications.	Quikrete Construction Products (with current NOA)
Roof Tile Mortar ("BONSAL® Roof Tile Mortar Mix")	N/A	PA 123	Prepared mortar mix designed for mortar set roof tile applications.	W. R. Bonsal Co. (with current NOA)
Roof Tile Adhesive ("Polypro® AH160")	N/A	Sec PCA	Two component polyurethane adhesive designed for adhesive set roof tile applications.	Polyfoam Products, Inc. (with current NOA)
Roof Tile Adhesive TileBond	Factory premixed canisters	Sec PCA	Single component polyurethane foam roof tile adhesive	Flexible Products (with current NOA)
Hurricane Clip & Fasteners	Clips Min. 1/2" width Min. 0.060" thick Clip Fasteners Min. 8d x 1 1/4"	PA 114 Appendix E	Corrosion resistant clips with corrosion resistant nails.	Generic (with current NOA)

ENTEGRA ROOFING CORPORATION
 808 SE DIXIE HIGHWAY
 STUART, FLORIDA 34994-3803



Frank Zuloaga, RRC
Roofing Product Control Examiner

3. LIMITATIONS

- 3.1 Fire classification is not part of this acceptance.
- 3.2 For mortar or adhesive set tile applications, a static field uplift test shall be performed in accordance with RAS 106.
- 3.3 Applicant shall retain the services of a Miami-Dade County Certified Laboratory to perform quarterly test in accordance with PA 113 Appendix 'A'. Such testing shall be submitted to the Building Code Compliance Office for review.
- 3.4 Minimum underlayments shall be in compliance with the applicable Roofing Applications Standards listed section 9.0 herein.
- 3.5 30/90 hot mopped underlayments may be installed perpendicular to the roof slope unless stated otherwise by the underlayment material manufacturers published literature.
- 3.6 This acceptance is for wood deck applications. Minimum deck requirements shall be in compliance with applicable building code.

4. INSTALLATION

- 4.1 Entegra Roof Tile Corporation and its components shall be installed in strict compliance with Miami Dade County Roofing Application Standard RAS 118, RAS 119, and RAS 120.
- 4.2 Data For Attachment Calculations

Table 1: Aerodynamic Multipliers - λ (ft²)


Tile Profile	λ (ft ²)	λ (ft ²)
	Batten Application	Direct Deck Application
Entegra Estate 'S' Roof Tile	0.267	0.289

Table 2: Restoring Moments due to Gravity - M_r (ft-lbf)

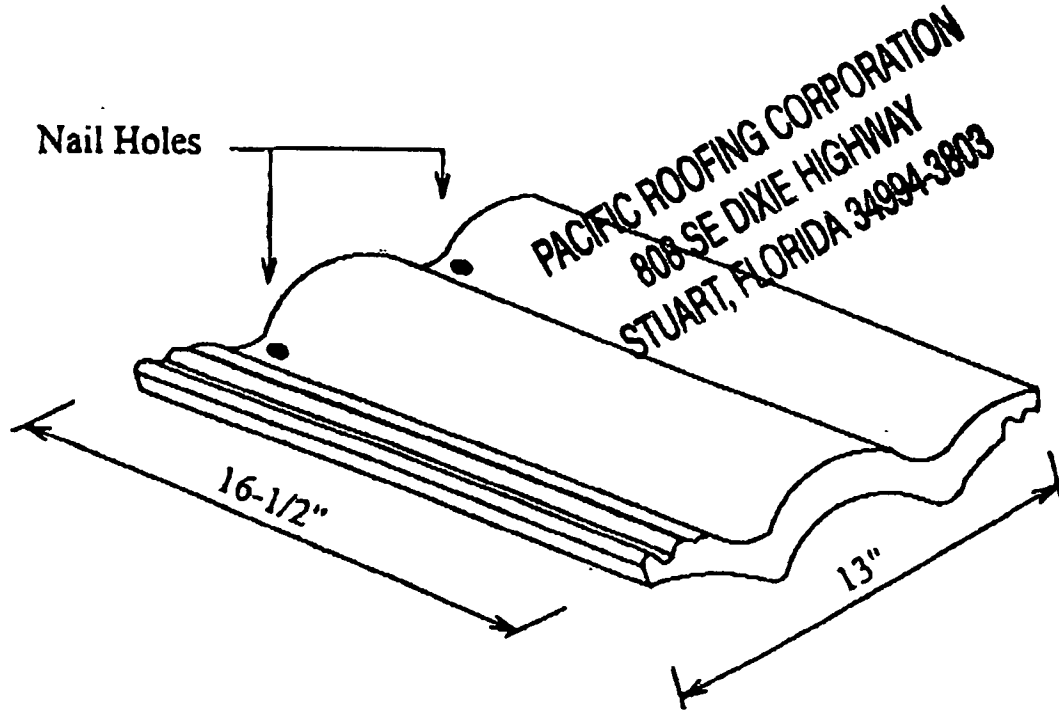
Tile Profile	3":12"		4":12"		5":12"		6":12"		7":12" or greater	
	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck
Entegra Estate 'S' Roof Tile	5.91	6.74	5.82	6.64	5.70	6.50	5.56	6.33	5.40	N/A

Table 3: Attachment Resistance Expressed as a Moment - M_r (ft-lbf) for Nail-On Systems

Tile Profile	Fastener Type	Direct Deck (min 15/32" plywood)	Direct Deck (min. 19/32" plywood)	Battens
Entegra Estate 'S' Roof Tile	2-10d Ring Shank Nails	27.8	37.4	28.8
	1-10d Smooth or Screw Shank Nail	8.8	11.8	4.1
	2-10d Smooth or Screw Shank Nails	16.4	21.9	7.1
	1 #8 Screw	25.8	25.8	22.9
	2 #8 Screw	47.1	47.1	49.1
	1-10d Smooth or Screw Shank Nail (Field Clip)	24.3	24.3	24.2


 Frank Zuloaga, RRC
 Roofing Product Control Examiner

PROFILE DRAWINGS



ENTEGRA ESTATE 'S' CONCRETE ROOF TILE

Frank Zuloaga, RRC
Roofing Product Control Examiner

NOTICE OF ACCEPTANCE STANDARD CONDITIONS

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documents, including test-supporting data, engineering documents, are no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approval", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
 - a. There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes.
 - b. The product is no longer the same product (identical) as the one originally approved.
 - c. If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product.
 - d. The engineer who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
 - a. Unsatisfactory performance of this product or process.
 - b. Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.
6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engineer need not rescal the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Notice of Acceptance consists of pages 2 through 7.

END OF THIS ACCEPTANCE



Frank Zuloaga, RRC
Roofing Product Control Examiner



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Hanson Roof Tile d.b.a. Pioneer Concrete Tile
1340 SW 34th Ave
Deerfield Beach, FL 33442

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Spanish "S" Roof Tile

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of pages 1 through 5.

The submitted documentation was reviewed by Frank Zuloaga, RRC



NOA No.: 02-0916.12
Expiration Date: 12/16/07
Approval Date: 12/19/02
Page 1 of 5

ROOFING ASSEMBLY APPROVAL

Category: Roofing
 Sub Category: Roofing Tiles
 Material: Concrete

1. SCOPE

This renews a roofing system using Hanson Spanish 'S' Roof Tile, as manufactured Hanson Roof Tile d.b.a. Pioneer Concrete Tile described in Section 2 of this Notice of Acceptance. For the locations where the pressure requirements, do not exceed the values listed in section 4 herein. The attachment calculations shall be done as a moment based system.

2. PRODUCT DESCRIPTION

<u>Manufactured by Applicant</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Hanson Spanish 'S' Roof Tile	Length: 18" Width: 9 1/4" Varying thickness	TAS 112	High profile, interlocking, one-piece, 'S' shaped, extruded concrete roof tile equipped with two nail holes and a single roll. For direct deck nail-on, mortar set, or adhesive set applications.
Trim Pieces	Length: varies Width: varies Varying thickness	TAS 112	Accessory trim, concrete roof pieces for use at hips, rakes, ridges and valley terminations. Manufactured for each tile profile.

2.1 Components or products manufactured by others

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>	<u>Manufacturer</u>
Tile Nails	Min. 10d x 3" #8 x 2 1/2" long	TAS 114 Appendix E	Corrosion resistant screw or smooth shank nails	Generic (With current NOA)
Tile Screws	0.335" head dia. 0.131" shank dia. 0.175" screw thread dia.	TAS 114 Appendix E	Corrosion resistant, coated, square drive, galvanized, coarse thread wood screws	Generic (With current NOA)
Hurricane Clip & Fasteners	Clips Min. 1/2" width Min. 0.060" thick Clip Fasteners Min. 8d x 1 1/2"	TAS 114 Appendix E	Corrosion resistant clips with corrosion resistant nails.	Generic (With current NOA)



NOA No.: 02-0916.12
 Expiration Date: 12/16/07
 Approval Date: 12/19/02
 Page 2 of 5

3. LIMITATIONS

- 3.1 Fire classification is not part of this acceptance.
- 3.2 For mortar or adhesive set tile applications, a static field uplift test in accordance with RAS 106 may be required, refer to applicable building code.
- 3.3 Applicant shall retain the services of a Miami-Dade County Certified Laboratory to perform quarterly test in accordance with TAS 112, appendix 'A'. Such testing shall be submitted to the Building Code Compliance Office for review.
- 3.4 Minimum underlayment shall be in compliance with the applicable Roofing Applications Standards listed section 4.1 herein.
- 3.5 30/90 hot mopped underlayment applications may be installed perpendicular to the roof slope unless stated otherwise by the underlayment material manufacturers published literature.
- 3.6 This acceptance is for wood deck applications. Minimum deck requirements shall be in compliance with applicable building code.

4. INSTALLATION

- 4.1 Hanson Spanish 'S' Roof Tile and its components shall be installed in strict compliance with Roofing Application Standard RAS 118, 119, & 120.
- 4.2 Data For Attachment Calculations

Table 1: Aerodynamic Multipliers - λ (ft')	
Tile Profile	λ (ft') Direct Deck Application
Hanson Spanish 'S'	0.263

Table 2: Restoring Moments due to Gravity - M_g (ft-lbf)					
Tile Profile	3": 12"	4": 12"	5": 12"	6": 12"	7": 12"
Hanson Spanish 'S'	Direct Deck 8.58	DirectDeck 8.44	DirectDeck 8.27	DirectDeck 8.07	DirectDeck 7.84

Table 3: Attachment Resistance Expressed as a Moment - M_r (ft-lbf) For Nail-On Systems			
Tile Profile	Fastener Type	Direct Deck (min 15/32" plywood)	Direct Deck (min. 19/32" plywood)
Hanson Spanish 'S'	2-10d Ring Shank Nails	28.6	41.2
	1-10d Smooth or Screw Shank Nail	5.1	6.8
	2-10d Smooth or Screw Shank Nails	6.9	9.2
	1 #8 Screw	20.7	20.7
	2 #8 Screws	43.2	43.2
	1-10d Smooth or Screw Shank Nail (Field Clip)	23.1	23.1



	1-10d Smooth or Screw Shank Nail (Eave Clip)	29.3	29.3
	2-10d Smooth or Screw Shank Nails (Field Clip)	27.6	27.6
	2-10d Smooth or Screw Shank Nails (Eave Clip)	38.1	38.1

Table 4: Attachment Resistance Expressed as a Moment M, (ft-lbf) For Two Patty Adhesive Set Systems		
Tile Profile	Tile Application	Minimum Attachment Resistance
Hanson Spanish 'S'	Adhesive	29.3 ¹
1 See manufactures component approval for installation requirements.		
2 Flexible Products Company TileBond Average weights per patty 10.7 grams. Polyfoam Product, Inc. Average weight per patty 8 grams.		

Table 4A: Attachment Resistance Expressed as a Moment - M, (ft-lbf) For Single Patty Adhesive Set Systems		
Tile Profile	Tile Application	Minimum Attachment Resistance
Hanson Spanish 'S'	Polyfoam PolyPro™	66.5 ³
	Polyfoam PolyPro™	38.7 ⁵
3 Large patty placement of 63grams of PolyPro™.		
5 Medium patty placement of 24grams of PolyPro™.		

Table 4B: Attachment Resistance Expressed as a Moment - M, (ft-lbf) For Mortar Set Systems		
Tile Profile	Tile Application	Attachment Resistance
Hanson Spanish 'S'	Mortar Set	24.5

5. LABELING

All tiles shall bear the imprint or identifiable marking of the manufacturer's name or logo, or following statement: "Miami-Dade County Product Control Approved".

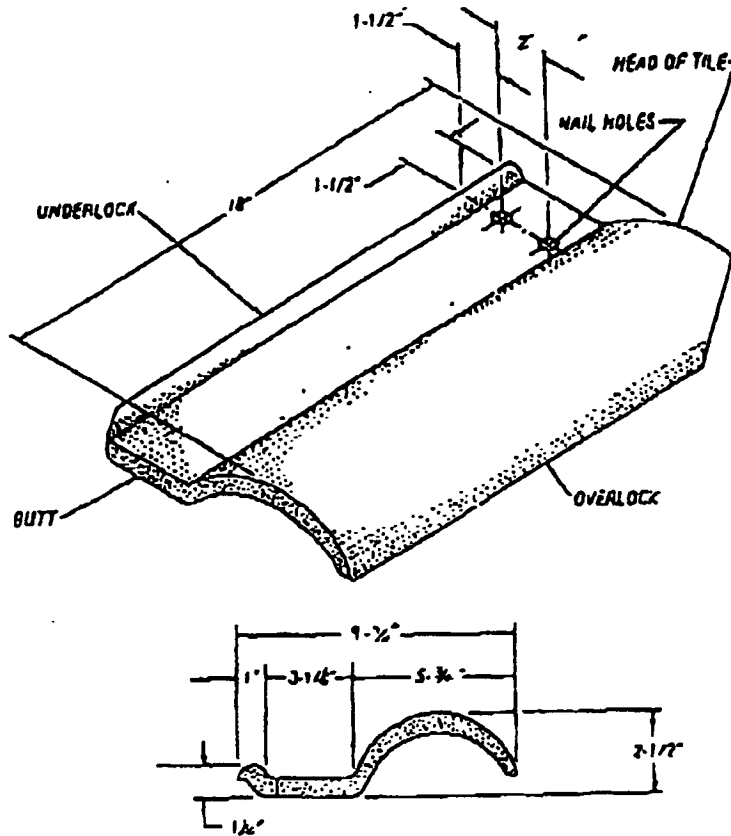
6. BUILDING PERMIT REQUIREMENTS

6.1 Application for building permit shall be accompanied by copies of the following:

- 6.1.1 This Notice of Acceptance.
- 6.1.2 Any other documents required by the Building Official or applicable building code in order to properly evaluate the installation of this system.



PROFILE DRAWINGS



HANSON SPANISH 'S' ROOF TILE

END OF THIS ACCEPTANCE



NOA No.: 02-0916.12
Expiration Date: 12/16/07
Approval Date: 12/19/02
Page 5 of 5



MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

F.E.C.P. Corporation - Cast-Crete Division
P.O. Box 24567
Tampa, FL 33623

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT DIVISION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

Your application for Notice of Acceptance (NOA) of:
"Cast-Crete" Precast and Prestressed Concrete Lintels
under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 01-0209.03
EXPIRES: 05/21/2006

Raul Rodriguez
Chief Product Control Division

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL
CONDITIONS
BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

APPROVED: 04/05/2001

F.E.C.P. Corp. - Cast-Crete Division

ACCEPTANCE NO. : 01-0209.03

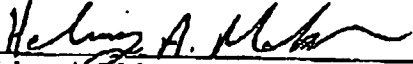
APPROVED : 04/05/2001

EXPIRES : 05/21/2006

NOTICE OF ACCEPTANCE : STANDARD CONDITIONS

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test-supporting data, engineering documents, is no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
 - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
 - b) The product is no longer the same product (identical) as the one originally approved;
 - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
 - d) The engineer, who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
 - a) Unsatisfactory performance of this product or process;
 - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purpose.
6. The Notice of Acceptance number preceded by the words Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engineer needs not reseal the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Acceptance consists of pages 1, 2, and this last page 3.

END OF THIS ACCEPTANCE



Helmy A. Makar, P.E. - Product Control Examiner
Product Control Division

F.E.C.P. Corp. - Cast-Crete Division

ACCEPTANCE NO. : 01-0209.03

APPROVED : 04/05/2001

EXPIRES : 05/21/2006

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

1. SCOPE

This renews the Notice of Acceptance No. 96-0613.01, which was issued on May 21, 1998. It approves a Precast and Prestressed Concrete Lintels, as described in Section 2 of this Notice of Acceptance, designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County, for the locations where the load requirements, as determined by SFBC Chapter 23, do not exceed the Design Load Rating values indicated in the approved drawings.

2. PRODUCT DESCRIPTION

This Precast and Prestressed Concrete Lintels and its components shall be constructed in strict compliance with the following documents: Drawing No. FD8, titled "Cast-Crete 8" Lintel Fabrication Details", sheet 1 of 1, prepared by Craig Parrino, P.E., dated June 7, 1996, revision #1 dated November 8, 1996, and Drawing No. LT8, titled "Cast-Crete 8" Lintel Safe Load Tables", sheet 1 of 1, prepared by Craig Parrino, P.E., dated June 7, 1996, revision #4 dated April 28, 1998, both bearing the Miami-Dade County Product Control Approval and Renewal stamps with the Notice of Acceptance numbers and approval dates by the Miami-Dade County Product Control Division. These documents shall hereinafter be referred to as the approved drawings.

3. LIMITATIONS

All permanent set components must be protected against corrosion, contamination and damage at all times.

4. INSTALLATION

This Precast and Prestressed Concrete Lintels and its components shall be installed in strict compliance with the approved drawings.

5. LABELING

Each lintel shall bear a permanent label with the manufacturer's name or logo and the Miami-Dade County logo.

6. BUILDING PERMIT REQUIREMENTS

6.1 Application for building permit shall be accompanied by copies of the following:

6.1.1 This Notice of Acceptance.

6.1.2 Duplicate copies of the approved drawings, as indicated in Section 2 of this Notice of Acceptance, clearly marked to show the components selected for the proposed installation.

6.1.3 Any other documents required by the Building Official or the South Florida Building Code (SFBC) in order to properly evaluate the installation of this system.



Helmy A. Makar, P.E. - Product Control Examiner
Product Control Division

NOTICE OF ACCEPTANCE (NOA)

PGT Industries
P.O. Box 1529
Nokomis, FL 34274

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Series "SH-701" Aluminum Single Hung Window

APPROVAL DOCUMENT: Drawing No.4040, titled "Aluminum Single Hung Window", sheets 1 through 5 of 5, prepared by manufacturer, dated 2/9/98 with revision on 6/3/03, signed and sealed by Robert L. Clark, P.E., bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 02-0702.04 and, consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Theodore Berman, P.E.

NOA No 03-0514.01
Expiration Date: November 01, 2006
Approval Date: November 06, 2003

Page 1


10/16/2003


LARGE MISSILE IMPACT WINDOW NOTES:

- 1.) GLAZING OPTIONS: A. 5/16" (.350) LAMINATED GLASS CONSISTING OF AN .090 PVB INNER LAYER BETWEEN (2) LITES OF 1/8" ANNEALED GLASS.
- B. 5/16" (.350) LAMINATED GLASS CONSISTING OF AN .090 PVB INNER LAYER BETWEEN (2) LITES OF 1/8" HEAT STRENGTHENED GLASS.
- C. 13/16" (.840) LAMI I.G. GLASS CONSISTING OF 1/8" HEAT STRENGTHENED GLASS, 3/8" AIR SPACE AND 5/16 LAMINATED GLASS (.090 PVB INNER LAYER BETWEEN (1) LITE OF 1/8" ANNEALED GLASS AND (1) LITE OF HEAT STRENGTHENED GLASS).
- D. 13/16" (.840) LAMI I.G. GLASS CONSISTING OF 1/8" HEAT STRENGTHENED GLASS, 3/8" AIR SPACE AND 5/16 LAMINATED GLASS (.090 PVB INNER LAYER BETWEEN (2) LITES OF 1/8" HEAT STRENGTHENED GLASS.

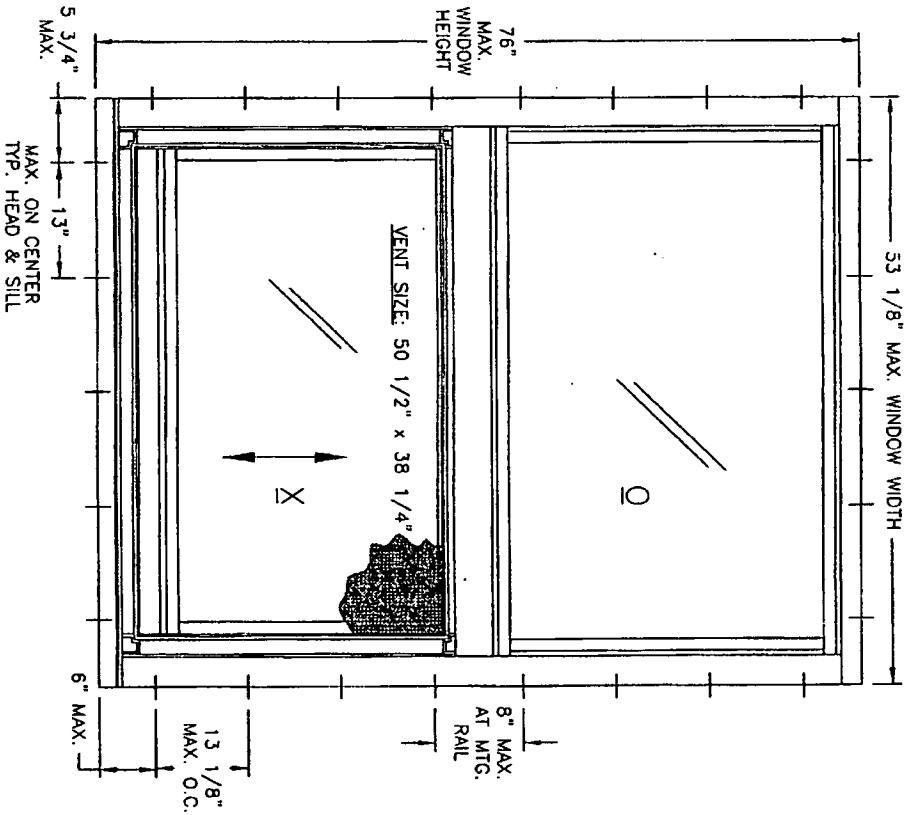
- 2.) CONFIGURATIONS: OX
- 3.) DESIGN PRESSURE RATING: SEE TABLE

- A. NEGATIVE DESIGN LOADS BASED ON TESTED PRESSURE AND GLASS TABLES ASTM E 1300-98 (AND ASTM E 1300-94 OUTSIDE MIAMI-DADE COUNTY)
- B. POSITIVE DESIGN LOADS BASED ON WATER TEST PRESSURE (FTL-1889) AND GLASS TABLES ASTM E 1300-98 (AND ASTM E 1300-94 OUTSIDE MIAMI-DADE COUNTY)

COMPARATIVE ANALYSIS TABLE:

GLASS TYPE:	WINDOW WIDTH				WINDOW HEIGHT															
	A	B	C	D	A	B	C	D												
A. 5/16" LAMINATED (1/8" A, .090, 1/8" A)	66.7	66.7	66.7	66.7	66.7	66.7	66.7	66.7												
B. 5/16" LAMINATED (1/8" HS, .090, 1/8" HS)	-80.0	-80.0	-80.0	-80.0	-80.0	-80.0	-80.0	-80.0												
C. 13/16" I.G. 1/8" HS, 3/8" SPACE, 5/16" LAMI (1/8" A, .090, 1/8" HS)	66.7	66.7	66.7	66.7	66.7	66.7	66.7	66.7												
D. 13/16" I.G. 1/8" HS, 3/8" SPACE, 5/16" LAMI (1/8" HS, .090, 1/8" HS)	-80.0	-80.0	-80.0	-80.0	-80.0	-80.0	-80.0	-80.0												
	38.375				50.625				63.000				76.000							
	A	B	C	D	A	B	C	D	A	B	C	D	A	B	C	D	A	B	C	D
28,500	66.7	-80.0	66.7	-80.0	66.7	-80.0	66.7	-80.0	66.7	-80.0	66.7	-80.0	66.7	-80.0	66.7	-80.0	66.7	-80.0	66.7	-80.0
37,000	66.7	-80.0	66.7	-80.0	66.7	-80.0	66.7	-80.0	66.7	-80.0	66.7	-80.0	66.7	-80.0	66.7	-80.0	66.7	-80.0	66.7	-80.0
53,125	66.7	-80.0	66.7	-80.0	66.7	-80.0	66.7	-80.0	66.7	-80.0	66.7	-80.0	66.7	-80.0	66.7	-80.0	66.7	-80.0	66.7	-80.0

PRODUCT REVISED
 IN CONFORMANCE WITH THE PROVISIONS
 OF THE 2001 IBC
 REVISED BY: [Signature]
 DATE: 11/11/01



ELEVATION

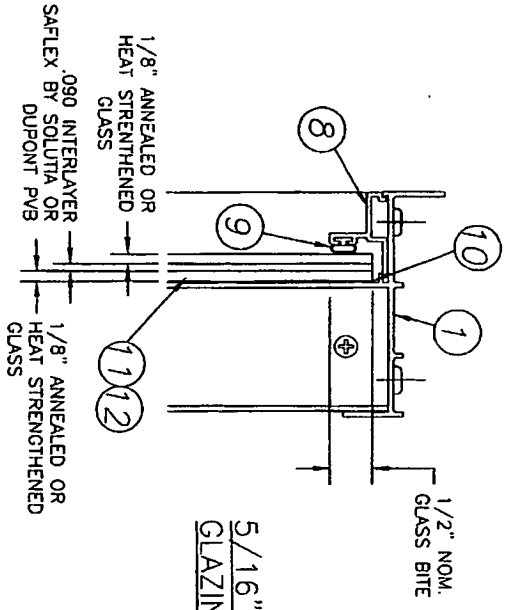
NOTES CONTINUED

- 4.) ANCHORS: MAX. 5 3/4" FROM EACH CORNER (HEAD & SILL)
- MAX. SPACING AT HEAD & SILL: 13,000
- MAX. 6" FROM EACH CORNER (JAMBS)
- MAX. SPACING AT MEETING RAIL: 8,000
- MAX. SPACING AT JAMBS OTHERWISE: 13,125
- 5.) SHUTTER REQUIREMENT: NO SHUTTERS REQUIRED
- 6.) REFERENCE TEST REPORTS: FTL-1889 & FTL-3739

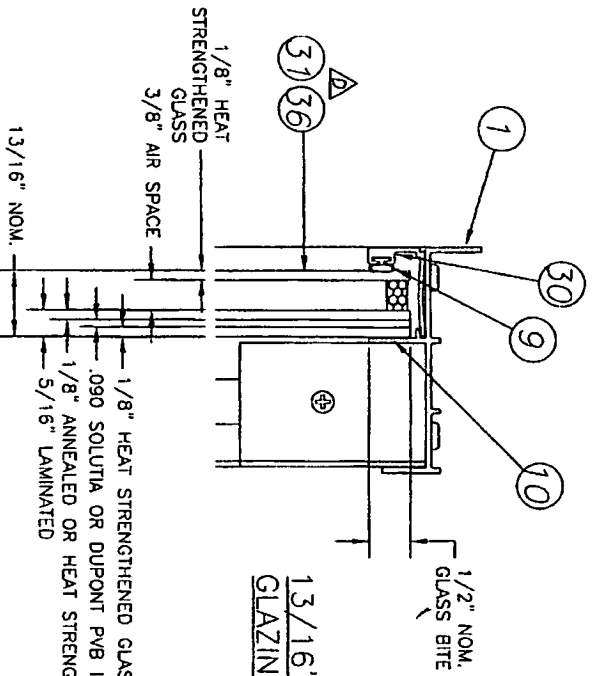
Robert L. Clark, P.E.
 PE #39712
 Structural

PRT INDUSTRIES
 1070 TECHNOLOGY DRIVE
 P.O. BOX 1529
 NOKOMIS, FL 34225
 NOKOMIS, FL 34224

Title:		ALUMINUM SINGLE HUNG WINDOW	
Serial/Model:	SH-701	Sheet:	1 of 5
Scale:	NTS	Drawing No.:	4040
Rev.:	D		



5/16" LAMINATED GLAZING DETAILS



13/16" LAMI I.G. GLAZING DETAILS

REFERENCE TEST REPORTS: FTL-1889 & FTL-3739

ITEM	DESCRIPTION	V.I. #	QTY. / LOCATION	VENDOR	VENDOR #
1	FLANGED FRAME HEAD (Alum. 6063-13)	612223	1	ALUMAX	AE-12225
2	FLANGED FRAME SILL (Alum. 6063-13)	612228	1	ALUMAX	AE-12226
3	FLANGED FRAME JAMB (Alum. 6063-13)	612227	2	ALUMAX	AE-12227
4	FIXED MEETING RAIL (Alum. 6063HS-15)	4054	1	INDALEX	64054
5	SASH TOP RAIL (Alum. 6063HS-15)	4008	1	INDALEX	64008
6	SASH BOTTOM RAIL (Alum. 6063-15)	612230	1	ALUMAX	AE-12230
7	SASH SIDE RAIL (Alum. 6063-15)	612231	2	ALUMAX	AE-12231
8	GLAZING BEAD (Alum. 6063-15)	6534571	8 (1 per Glazing Bead)	ALUMAX	AE-34571
9	WEATHERSTRIP - VINYL BULB	612247K	8	TEAM PLASTICS	TP-247
10	SILICON	82699C	2	DOV CORNING	899
11	5/16" W/SAFLEX BY SOLUTIA INTERLAYER		2	H.P.G.	
12	3/16" W/DUPONT PVB INTERLAYER	7658PFA	2	AQUA FASTENERS	
13	#8 x .750 PHIL. PN. HD. SWEEP LATCH	7658BWW	2 (16 attach Balances to Jamb) (11.5" from end of vent top rail) (2" with ts >= .42")	AQUA FASTENERS	POT-214.XX
14	#8 x .825 PHIL. FLT. HD.	7658BWW	2 (Sweep Latch Screws)	MERCHANTS FASTENER	
15	WINDLOAD ADAPTER (Alum. 6063-15)	612236	4 (when using 2 Sweep Latches)	ALUMAX	AE-12236
16	#8 x .315 PHIL. P.H. TEX	7658BWW	2 (Frame Jamb, 30" from bot.)	MERCHANTS FASTENER	TP-249
17	WEATHERSTRIP - VINYL BULB/SASH	812248K	4 (Windload Adapter Screws)	TEAM PLASTICS	TP-249
18	SASH TOP GUIDE	812248K	1 (at Vent Bottom Rail)	MASTER TOOL	
19	SCREEN		2 (1 per each balance)	VINYL TECH/PGT	
20	SCREEN		2 (1 per each balance)	WYBORG	51AVE
21	SCREEN		2 (1 per each balance)	SCHLUEBL OR EQUIV.	87S18C
22	WSP - 270 x 170 BACK FIN SEAL	1235	3 (vent jamb & vent top rail)	VINYL TECH/PGT	
23	WSP - 270 x 170 BACK FIN SEAL	1235	2 (Vent jamb, 2.5" from bot.)	SCHUEBLER IND. PROD.	AT-12244
24	SASH FACE GUIDE	71057	2 (top of each frame jamb)	ALUMAX	AE-12244
25	#6 x 500 PHIL. FLT. HD.	7658BWW	4 (Frame & Vent Assy. screws)	SCHUEBLER/ADHERHEAD	5145504
26	SASH STOP (Alum. 6063-15)	812244	4 (Frame & Vent Assy. screws)	SCHUEBLER/ADHERHEAD	5145504
27	#8 x 1.000 PHIL. P.H. SWS	854155W	2 (Frame Jamb, 30" from bot.)	INDALEX	64057
28	SEAL SEALER	81207	2 (Frame Jamb, 30" from bot.)	INDALEX	64057
29	WINDLOAD ADAPTER (GLASSIC)	4067	8	SCHUEBLER OR EQUIV.	61066C
30	GLAZING BEAD (13/16" I.G.) 6063-13	1060	1 (LEADING RAIL)	SCHUEBLER OR EQUIV.	64009
31	5/16" LAMI I.G. GLASS (1/8" HS & 5/16" AIR SPACE)	1060	1 (LEADING RAIL)	CADWELL	75SPRG
32	WSP - 187 x 230 BACK FIN SEAL	84009	2		
33	WSP - 187 x 230 BACK FIN SEAL	84009	2		
34	SPRING LATCH (OPTIONAL)		2		
35	SPRING SILL LATCH (OPTIONAL)		2		
36	5/16" LAMI I.G. GLASS (1/8" HS & 5/16" AIR SPACE)	4023-1	1 (LITE OF HS GLASS W/.090 SOLUTIA OR DUPONT PVB INNER LAYER)		

Robert L. Gark, P.E.
6/19/95
Robert L. Gark, P.E.
PE #39712
Structural

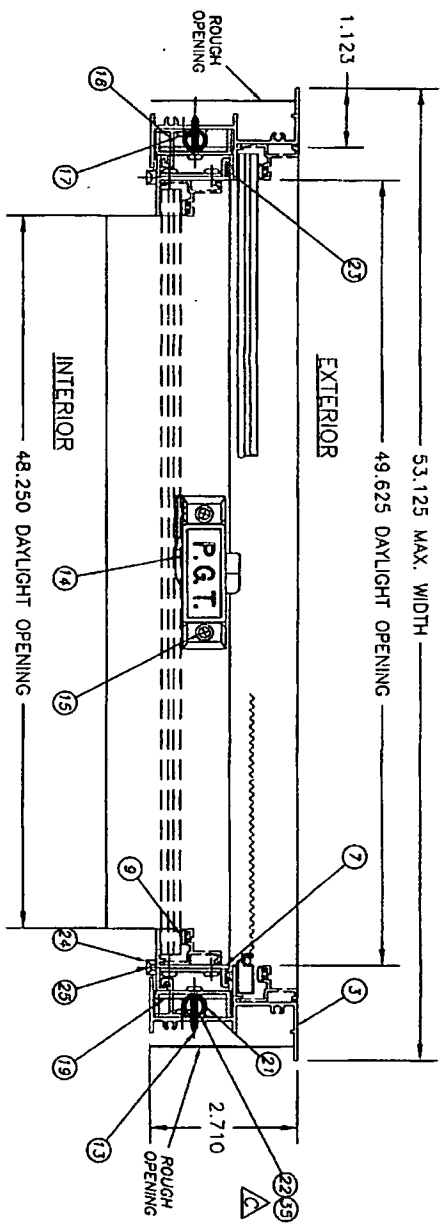
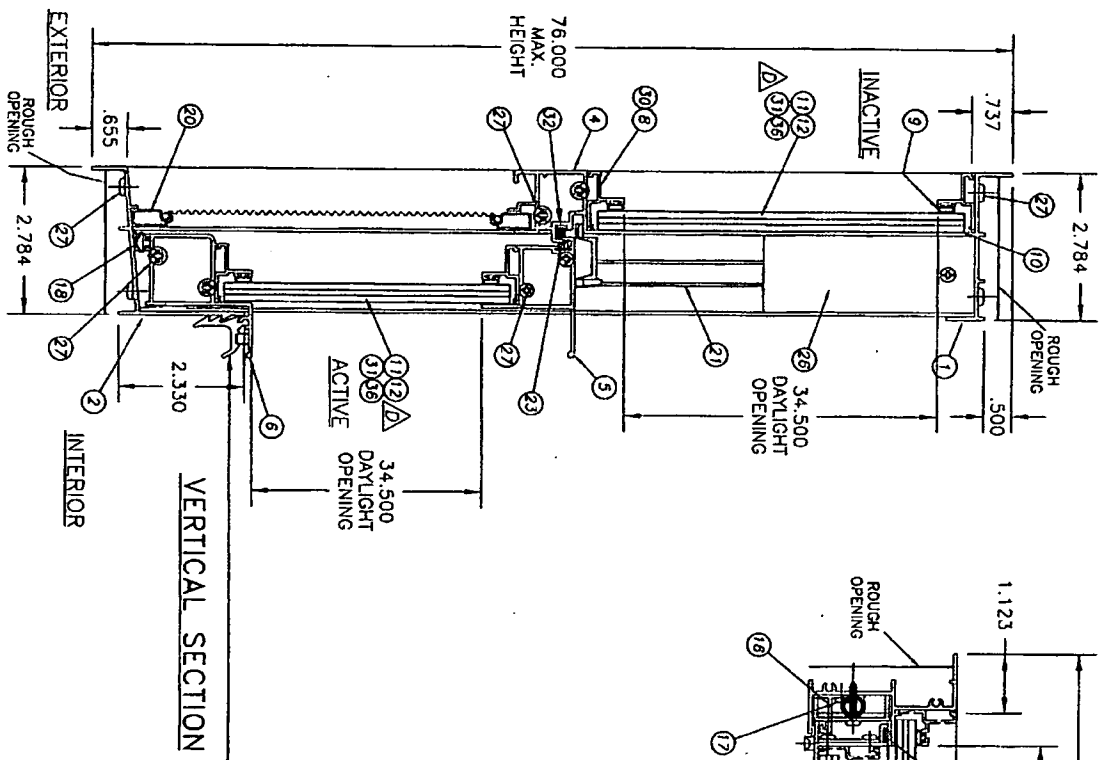
PCT INDUSTRIES
1070 TECHNOLOGY DRIVE
NOKOMIS, FL 34275
P.O. BOX 1339
NOKOMIS, FL 34274

PRODUCT REVISED
in conformance with the Florida
Building Code No. 03-0514.01
Approved Date: 11/15/94
By: *[Signature]*
Title: *[Signature]*

Parts List & Glazing Options

Title: ALUMINUM SINGLE HUNG WINDOW
Scale: NTS
Sheet: 2 of 5
Drawing No. 4040
Rev: D

REFERENCE TEST REPORTS: FTL-1889 & FTL-3739



HORIZONTAL SECTION

VERTICAL SECTION

OPTIONAL

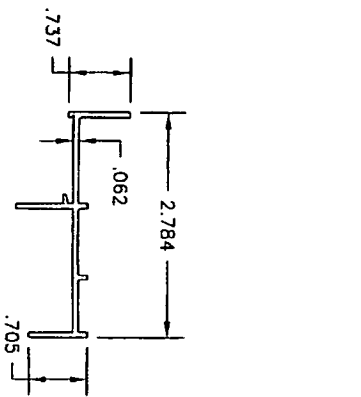
Robert L. Clark
 Robert L. Clark, P.E.
 PE #49712
 Structural

P.G.T. INDUSTRIES
 1070 TECHNOLOGY DRIVE
 NOKOMIS, FL 34275
 P.O. BOX 1529
 NOKOMIS, FL 34274

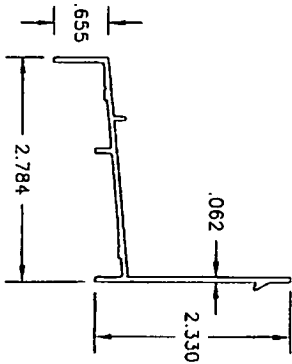
PRODUCT REVIEWED
 as manufactured with the Florida
 Building Code
 Amendment No. 09-09/14-01
 Exception Item: 1101.10.1
 By: *[Signature]*
 Head Code Product Control
 Date: 10/11/01

Revised By:	6/3/03	Revised:	D-ADD GLASS TYPE (ED) JS
Revised By:	03/28/03	Revised:	C-ADD J10-135
Revised By:	10/11/01	Revised:	TB LABEL, EXTR.
Drawn By:	8/18/98	Revised:	
Check By:	2/9/98	Revised:	

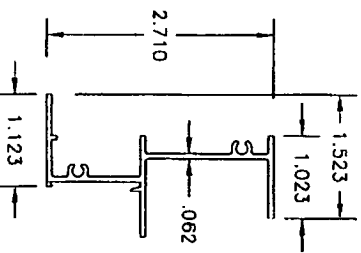
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ALUMINUM SINGLE HUNG WINDOW			
Series:	Sheet:	Drawing No.	
SH-701	NTS	3 of 5	4040
Revision:			Rev:
			D



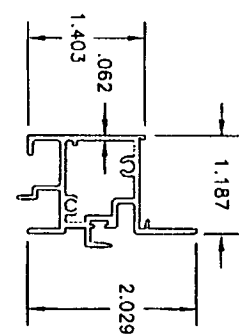
① ALUM. 6063-T5



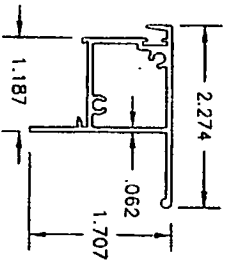
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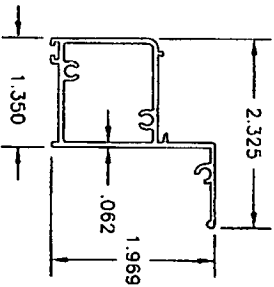
③ ALUM. 6063-T5



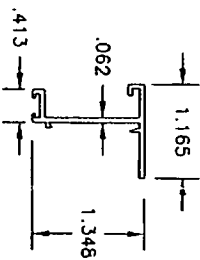
④ ALUM. 6063HS-T54



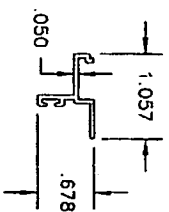
⑤ ALUM. 6063HS-T54



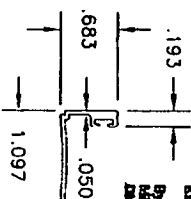
⑥ ALUM. 6063-T5



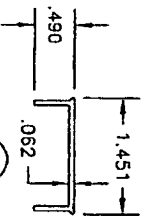
⑦ ALUM. 6063-T5



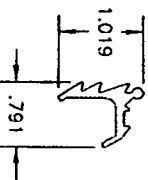
⑧ ALUM. 6063-T5



⑩ ALUM. 6063-T5



⑫ ALUM. 6063-T5



⑬ ALUM. 6063-T5

REFERENCE TEST REPORTS: FTL-1889 & FTL-3739

Robert Clark, P.E.
PE #03712
Sarasota

1070 TECHNOLOGY DRIVE
NORONIS, FL 34273
P.O. BOX 1529
NORONIS, FL 34274

RGT
INDUSTRIES

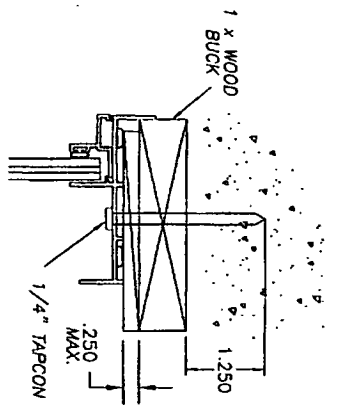
Revised By	Date	Description
F.K.	8/3/03	D-NO CHG THIS SH
F.K.	03/26/03	REVISION C-400 150.33 CHG 14.5
F.K.	10/11/01	REVISION: TB, TABLE, EXTR.
D.B.	8/18/98	REVISION:
D.B.	2/9/98	

EXTRUSIONS

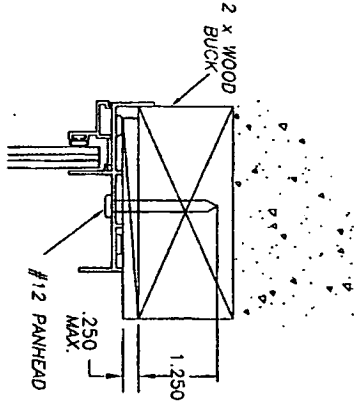
Title: ALUMINUM SINGLE HUNG WINDOW
 Series/Model: SH-701
 Scale: NTS
 Sheet: 4 of 5
 Drawing No: 4040
 Rev: D

PRODUCT REVISED
 as per drawing with the Florida
 Building Code
 Amendment No. 03-05-14, 01
 Expiration Date: 5/1/03
 Prepared by: [Signature]
 Checked by: [Signature]
 Approved by: [Signature]

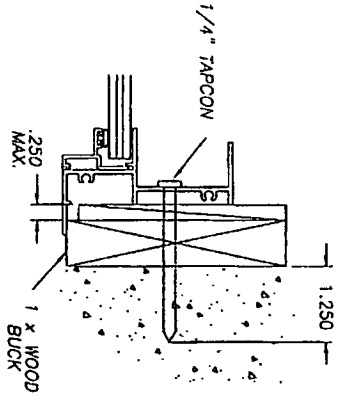
REFERENCE TEST REPORTS: FTL-1889 & FTL-3739



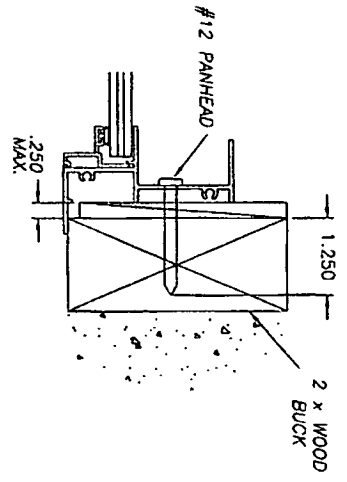
TYP. HEAD



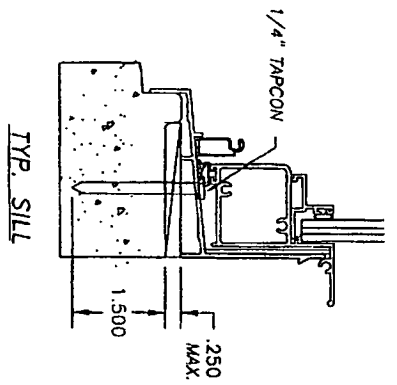
TYP. HEAD



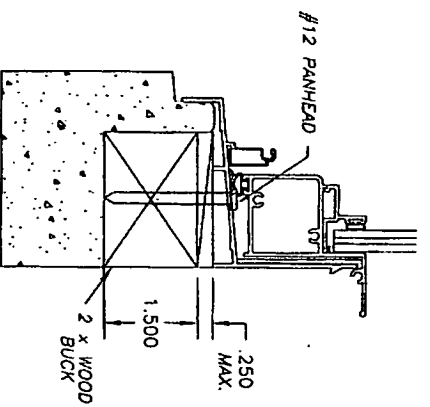
TYP. JAMB



TYP. JAMB



TYP. SILL



TYP. SILL

PRODUCT REVIEWED
in compliance with the Florida
Building Code
Amendment No. 09-0514.01
Engineering Date: 11/18/18
By: *[Signature]*
Lead Test Project Control
Date:

Revised By:	Date:	Revisions:
F.K.	6/3/03	D-NO CHG THIS SHT
F.K.	03/26/03	C-NO CHG THIS SHT.
F.K.	10/11/01	TA, TABLE, EXTR.
D.B.	8/18/98	
D.B.	2/9/98	

[Signature]
Robert Clark, P.E.
PE #39712
Structural
6/19/03

PCT INDUSTRIES
1070 TECHNOLOGY DRIVE
KOROLUIS, FL 34275
NOKOMIS, FL 34274

Title: ALUMINUM SINGLE HUNG WINDOW ANCHORAGE
Series/Model: SH-701
Scale: NTS
Sheet: 5 of 5
Drawing No. 4040
Rev: D



Project Summary
Entire House
ASSOCIATED AIR OF PSL inc.

Job: PETERSEN ADDITION
 Date: 8-2-04
 By:

1538 NIEMEYER CIR., PORT ST. LUCIE, FL 34952 Phone: 772-335-7089 Fax: 772-335-7508

Project Information

For: DRIFTWOOD CONST.
 2163 NE PINE RIDGE ST, JENSEN BEACH, FL
 Phone: 334-2577 Fax: 334-5877

Notes: R-5/R-30/TINT

Design Information

Weather: West Palm Beach, FL, US

Winter Design Conditions

Outside db 45 °F
 Inside db 70 °F
 Design TD 25 °F

Summer Design Conditions

Outside db 91 °F
 Inside db 75 °F
 Design TD 16 °F
 Daily range L
 Relative humidity 50 %
 Moisture difference 57 gr/lb

Heating Summary

Building heat loss 15965 Btuh
 Ventilation air 0 cfm
 Ventilation air loss 0 Btuh
 Design heat load 15965 Btuh

Sensible Cooling Equipment Load Sizing

Structure 14473 Btuh
 Ventilation 0 Btuh
 Design temperature swing 3.0 °F
 Use mfg. data y
 Rate/swing multiplier 1.00
 Total sens. equip. load 14473 Btuh

Infiltration

Method	Simplified	
Construction quality	Average	
Fireplaces	0	
	Heating	Cooling
Area (ft²)	875	875
Volume (ft³)	8810	8810
Air changes/hour	1.05	0.55
Equiv. AVF (cfm)	154	81

Latent Cooling Equipment Load Sizing

Internal gains 400 Btuh
 Ventilation 0 Btuh
 Infiltration 3139 Btuh
 Total latent equip. load 4731 Btuh

Total equipment load 19204 Btuh
 Req. total capacity at 0.70 SHR 1.7 ton

Heating Equipment Summary

Make n/a
 Trade
 Model n/a

Efficiency 100 EFF
 Heating input 0 Btuh
 Heating output 15965 Btuh
 Temperature rise 18 °F
 Actual air flow 800 cfm
 Air flow factor 0.050 cfm/Btuh
 Static pressure 0.00 in H2O
 Space thermostat

Cooling Equipment Summary

Make Trane
 Trade XR12
 Cond 2TTR2024A1
 Coil TWE024P13

Efficiency 12.8 SEER
 Sensible cooling 17080 Btuh
 Latent cooling 7320 Btuh
 Total cooling 24400 Btuh
 Actual air flow 800 cfm
 Air flow factor 0.055 cfm/Btuh
 Static pressure 0.00 in H2O
 Load sensible heat ratio 75 %

Bold/italic values have been manually overridden

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.



Right-J Worksheet
Entire House
ASSOCIATED AIR OF PSL Inc.

Job: PETERSEN ADDITION
Date: 8-2-04
By:

1538 NIEMEYER CIR., PORT ST. LUCIE, FL 34952 Phone: 772-335-7089 Fax: 772-335-7508

1 Room name		Entire House							MASTER BEDRM					
2 Exposed wall		10.1 ft							64.5 ft					
3 Ceiling height		875.0 ft²							11.7 ft					
4 Room dimensions		95.0 ft							1.0 x 489.3 ft					
5 Room area		875.0 ft²							489.3 ft²					
6 Ty	Construction number	U-value (Btuh/ft²-F)	Or	HTM (Btuh/ft²)		Area (ft²) or perimeter (ft)		Load (Btuh)		Area (ft²) or perimeter (ft)		Load (Btuh)		
				Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool	
6 11	W-G	13A-5ocs	0.125	n	3.13	2.47	293	248	773	611	293	248	773	611
		1A-h1om	1.270	n	31.75	31.22	45	0	1429	1405	45	0	1429	1405
	W-G	13A-5ocs	0.125	e	3.13	2.47	350	305	954	754	222	192	601	475
		1A-h1om	1.270	e	31.75	70.29	15	12	476	601	0	0	0	0
		1A-h1om	1.270	e	31.75	70.29	30	0	953	2109	30	0	953	2109
	W-G	13A-5ocs	0.125	w	3.13	2.47	358	284	886	700	240	180	561	443
		1A-h1om	1.270	w	31.75	70.29	12	9	381	481	0	0	0	0
		1A-h1om	1.270	w	31.75	70.29	20	3	638	1277	20	3	638	1277
		10A-b	0.970	w	24.25	46.51	40	2	975	1815	40	2	975	1815
	C	16B-30ad	0.032	-	0.80	1.74	875	875	700	1525	489	489	391	852
	F	22A-tpm	1.180	-	29.50	0.00	875	95	2802	0	489	65	1903	0
Envelope loss/gain								10968	11277			8224		8987
12	a) Infiltration							4237	1420			3202		1073
	b) Ventilation							0	0			0		0
13	Internal gains:	Occupants @	230	2							2			460
	Less external load	Appliances @	1200	0							0			0
	Less transfer							0	0					0
	Redistribution							0	0					0
14	Subtotal							15204	13157			11426		10520
15	Duct loads					5%		760	1316	5%		571		1052
Total room load								15965	14473			11997		11572
Air required (cfm)								800	800			601		640

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.



Right-J Worksheet
Entire House
 ASSOCIATED AIR OF PSL inc.

Job: PETERSEN ADDITION
 Date: 8-2-04
 By:

1538 NIEMEYER CIR., PORT ST. LUCIE, FL 34952 Phone: 772-335-7089 Fax: 772-335-7508

1 Room name		MAST BATH						WIC 1					
2 Exposed wall		16.0 ft						0.0 ft					
3 Ceiling height		8.0 ft						8.0 ft					
4 Room dimensions		1.0 x 163.5 ft						6.5 x 6.5 ft					
5 Room area		163.5 ft ²						42.3 ft ²					
Ty	Construction number	U-value (Btu/h/ft ² ·°F)	Or	HTM (Btu/h/ft ²)		Area (ft ²) or perimeter (ft)		Load (Btu/h)		Area (ft ²) or perimeter (ft)		Load (Btu/h)	
				Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool
6	W-G 13A-5ocs	0.125	n	3.13	2.47	0	0	0	0	0	0	0	0
	W-G 1A-h1om	1.270	n	31.75	31.22	0	0	0	0	0	0	0	0
	W-G 13A-5ocs	0.125	e	3.13	2.47	128	113	353	279	0	0	0	0
	W-G 1A-h1om	1.270	e	31.75	70.29	15	12	476	601	0	0	0	0
11	W-G 1A-h1om	1.270	e	31.75	70.29	0	0	0	0	0	0	0	0
	W-G 13A-5ocs	0.125	w	3.13	2.47	0	0	0	0	0	0	0	0
	W-G 1A-h1om	1.270	w	31.75	70.29	0	0	0	0	0	0	0	0
	W-G 1A-h1om	1.270	w	31.75	70.29	0	0	0	0	0	0	0	0
	W-G 1A-h1om	1.270	w	31.75	70.29	0	0	0	0	0	0	0	0
	W-G 10A-b	0.970	w	24.25	46.51	0	0	0	0	0	0	0	0
	C 16B-30ad	0.032	-	0.80	1.74	164	164	131	285	42	42	34	74
	F 22A-tpm	1.180	-	29.50	0.00	164	16	472	0	42	0	0	0
Envelope loss/gain								1432	1165			34	74
12	a) Infiltration							543	182			0	0
	b) Ventilation							0	0			0	0
13	Internal gains:	Occupants @	230	0		0		0	0	0		0	0
	Less external load	Appliances @	1200	0		0		0	0	0		0	0
	Less transfer			0		0		0	0			0	0
	Redistribution			0		0		0	0			0	0
14	Subtotal							1975	1347			34	74
15	Duct loads					5%	10%	99	135	5%	10%	2	7
Total room load								2074	1482			35	81
Air required (cfm)								104	82			2	4

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.



Right-J Worksheet
Entire House
 ASSOCIATED AIR OF PSL inc.

Job: PETERSEN ADDITION
 Date: 8-2-04
 By:

1538 NIEMEYER CIR., PORT ST. LUCIE, FL 34952 Phone: 772-335-7089 Fax: 772-335-7508

				WIC 2 0.0 ft heat/cool				BATH-HALL 14.5 ft heat/cool							
				8.0 ft 6.5 x 6.5 ft				8.0 ft 14.5 x 9.5 ft							
				42.3 ft ²				137.8 ft ²							
1	Room name														
2	Exposed wall														
3	Ceiling height														
4	Room dimensions														
5	Room area														
	Ty	Construction number	U-value (Btu/h/ft ² -F)	Or	HTM (Btu/h/ft ²)		Area (ft ²) or perimeter (ft)		Load (Btu/h)		Area (ft ²) or perimeter (ft)		Load (Btu/h)		
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool	
6	W	13A-5ocs	0.125	n	3.13	2.47	0	0	0	0	0	0	0	0	
	G	1A-h1om	1.270	n	31.75	31.22	0	0	0	0	0	0	0	0	
	W	13A-5ocs	0.125	e	3.13	2.47	0	0	0	0	0	0	0	0	
	G	1A-h1om	1.270	e	31.75	70.29	0	0	0	0	0	0	0	0	
11	W	13A-5ocs	0.125	w	3.13	2.47	0	0	0	0	116	104	325	257	
	G	1A-h1om	1.270	w	31.75	70.29	0	0	0	0	12	9	381	481	
	W	13A-5ocs	0.125	w	3.13	2.47	0	0	0	0	0	0	0	0	
	G	1A-h1om	1.270	w	31.75	70.29	0	0	0	0	0	0	0	0	
	G	1A-h1om	1.270	w	31.75	70.29	0	0	0	0	0	0	0	0	
	G	10A-b	0.970	w	24.25	46.51	0	0	0	0	0	0	0	0	
	C	16B-30ad	0.032	-	0.80	1.74	42	42	34	74	138	138	110	240	
	F	22A-tpm	1.180	-	29.50	0.00	42	0	0	0	138	15	428	0	
		Envelope loss/gain						34		74				1244	
12	a) Infiltration							0		0				492	
	b) Ventilation							0		0				165	
13	Internal gains:	Occupants @ 230				0				0				0	
		Appliances @ 1200				0				0				0	
	Less external load					0				0				0	
	Less transfer					0				0				0	
	Redistribution					0				0				0	
14	Subtotal					34		74						1736	
15	Duct loads					5%		10%		2		7		5% 10% 87	
		Total room load						35		81				1823	
		Air required (cfm)						2		4				91	

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.



Duct System Summary

Entire House

ASSOCIATED AIR OF PSL inc.

Job: PETERSEN ADDITION
 Date: 8-2-04
 By:

1538 NIEMEYER CIR., PORT ST. LUCIE, FL 34952 Phone: 772-335-7089 Fax: 772-335-7508

Project Information

For: DRIFTWOOD CONST.
 2163 NE PINE RIDGE ST, JENSEN BEACH, FL
 Phone: 334-2577 Fax: 334-5877

	Heating	Cooling
External static pressure	0.00 in H2O	0.00 in H2O
Pressure losses	0.00 in H2O	0.00 in H2O
Available static pressure	0.00 in H2O	0.00 in H2O
Supply / return available pressure	0.00 / 0.00 in H2O	0.00 / 0.00 in H2O
Lowest friction rate	0.000 in/100ft	0.150 in/100ft
Actual air flow	800 cfm	800 cfm
Total effective length (TEL)	221 ft	

Supply Branch Detail Table

Name	Design (Btuh)	Htg (cfm)	Clg (cfm)	Design FR	Diam (in)	Rect Size (in)	Duct Matl	Actual Ln (ft)	Ftg.Eqv Ln (ft)	Trunk
MAST BATH	c 1482	0	82	0.150	5	0x0	VIFx	3.5	95.0	
WIC 1	c 81	0	4	0.150	4	0x0	VIFx	3.8	95.0	
WIC 2	c 81	0	4	0.150	4	0x0	VIFx	4.3	95.0	
BATH-HALL	c 1257	0	69	0.150	5	0x0	VIFx	10.5	95.0	
MASTER BEDRM	c 2893	0	160	0.150	7	0x0	VIFx	23.9	195.0	st1
MASTER BEDRM-C	c 2893	0	160	0.150	7	0x0	VIFx	25.9	195.0	st1
MASTER BEDRM-B	c 2893	0	160	0.150	7	0x0	VIFx	25.7	195.0	st1
MASTER BEDRM-A	c 2893	0	160	0.150	7	0x0	VIFx	23.6	195.0	st1

Supply Trunk Detail Table

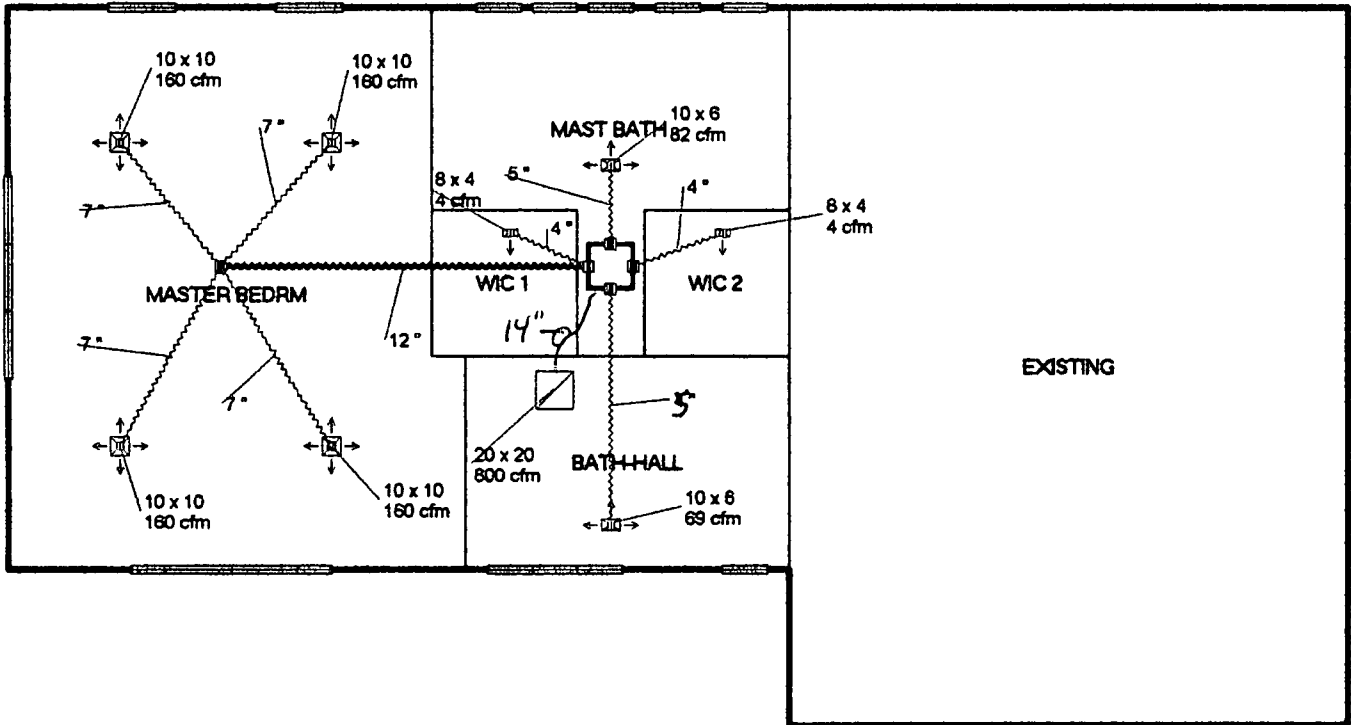
Name	Trunk Type	Htg (cfm)	Clg (cfm)	Design FR	Veloc (fpm)	Diam (in)	Rect Duct Size (in)	Duct Material	Trunk
st1	Peak AVF	0	640	0.150	814	12	0 x 0	VinIFix	

Return Branch Detail Table

Name	Grill Size (in)	Htg (cfm)	Clg (cfm)	TEL (ft)	Design FR	Veloc (fpm)	Diam (in)	RectSize (in)	Stud/Joist Opening (in)	Duct Matl	Trunk
rb1	0x0	0	800	0.0	0.000	0	0	0x 0		VIFx	

Bold/italic values have been manually overridden

Sheet 1



Job #: PETERSEN ADDITION
 Performed by for:

DRIFTWOOD CONST.
 2163 NE PINE RIDGE ST
 JENSEN BEACH, FL
 Phone: 334-2577 Fax: 334-5877

ASSOCIATED AIR OF PSL inc.

1538 NIEMEYER CIR.
 PORT ST. LUCIE, FL 34952
 Phone: 772-335-7089 Fax: 772-335-7508

Scale: 1 : 103

Page 1
 Right-Suite Residential
 5.9.11 RSR20246
 2004-Aug-03 13:50:52
 C:\My Documents\Wrightsoft HVAC\...

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name: DRIPETERSENADD943 Address: City, State: , FL Owner: PETERSEN Climate Zone: South	Builder: DRIFTWOOD Permitting Office: Permit Number: Jurisdiction Number:
---	--

<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">1. New construction or existing</td> <td style="width: 20%; text-align: center;">Addition</td> <td style="width: 30%; text-align: center;">___</td> </tr> <tr> <td>2. Single family or multi-family</td> <td style="text-align: center;">Single family</td> <td style="text-align: center;">___</td> </tr> <tr> <td>3. Number of units, if multi-family</td> <td style="text-align: center;">1</td> <td style="text-align: center;">___</td> </tr> <tr> <td>4. Number of Bedrooms</td> <td style="text-align: center;">1</td> <td style="text-align: center;">___</td> </tr> <tr> <td>5. Is this a worst case?</td> <td style="text-align: center;">No</td> <td style="text-align: center;">___</td> </tr> <tr> <td>6. Conditioned floor area (ft²)</td> <td style="text-align: center;">875 ft²</td> <td style="text-align: center;">___</td> </tr> <tr> <td>7. Glass area & type</td> <td style="text-align: center;">Single Pane Double Pane</td> <td style="text-align: center;">___</td> </tr> <tr> <td> a. Clear glass, default U-factor</td> <td style="text-align: center;">0.0 ft² 0.0 ft²</td> <td style="text-align: center;">___</td> </tr> <tr> <td> b. Default tint</td> <td style="text-align: center;">0.0 ft² 0.0 ft²</td> <td style="text-align: center;">___</td> </tr> <tr> <td> c. Labeled U or SHGC</td> <td style="text-align: center;">162.3 ft² 0.0 ft²</td> <td style="text-align: center;">___</td> </tr> <tr> <td>8. Floor types</td> <td></td> <td style="text-align: center;">___</td> </tr> <tr> <td> a. Slab-On-Grade Edge Insulation</td> <td style="text-align: center;">R=0.0, 95.0(p) ft</td> <td style="text-align: center;">___</td> </tr> <tr> <td> b. N/A</td> <td></td> <td style="text-align: center;">___</td> </tr> <tr> <td> c. N/A</td> <td></td> <td style="text-align: center;">___</td> </tr> <tr> <td>9. Wall types</td> <td></td> <td style="text-align: center;">___</td> </tr> <tr> <td> a. Concrete, Int Insul, Exterior</td> <td style="text-align: center;">R=5.0, 836.3 ft²</td> <td style="text-align: center;">___</td> </tr> <tr> <td> b. N/A</td> <td></td> <td style="text-align: center;">___</td> </tr> <tr> <td> c. N/A</td> <td></td> <td style="text-align: center;">___</td> </tr> <tr> <td> d. N/A</td> <td></td> <td style="text-align: center;">___</td> </tr> <tr> <td> e. N/A</td> <td></td> <td style="text-align: center;">___</td> </tr> <tr> <td>10. Ceiling types</td> <td></td> <td style="text-align: center;">___</td> </tr> <tr> <td> a. Under Attic</td> <td style="text-align: center;">R=30.0, 875.0 ft²</td> <td style="text-align: center;">___</td> </tr> <tr> <td> b. N/A</td> <td></td> <td style="text-align: center;">___</td> </tr> <tr> <td> c. N/A</td> <td></td> <td style="text-align: center;">___</td> </tr> <tr> <td>11. Ducts</td> <td></td> <td style="text-align: center;">___</td> </tr> <tr> <td> a. Sup: Unc. Ret: Unc. AH: Attic</td> <td style="text-align: center;">Sup. R=6.0, 71.7 ft</td> <td style="text-align: center;">___</td> </tr> <tr> <td> b. N/A</td> <td></td> <td style="text-align: center;">___</td> </tr> </table>	1. New construction or existing	Addition	___	2. Single family or multi-family	Single family	___	3. Number of units, if multi-family	1	___	4. Number of Bedrooms	1	___	5. Is this a worst case?	No	___	6. Conditioned floor area (ft ²)	875 ft ²	___	7. Glass area & type	Single Pane Double Pane	___	a. Clear glass, default U-factor	0.0 ft ² 0.0 ft ²	___	b. Default tint	0.0 ft ² 0.0 ft ²	___	c. Labeled U or SHGC	162.3 ft ² 0.0 ft ²	___	8. Floor types		___	a. Slab-On-Grade Edge Insulation	R=0.0, 95.0(p) ft	___	b. N/A		___	c. N/A		___	9. Wall types		___	a. Concrete, Int Insul, Exterior	R=5.0, 836.3 ft ²	___	b. N/A		___	c. N/A		___	d. N/A		___	e. N/A		___	10. Ceiling types		___	a. Under Attic	R=30.0, 875.0 ft ²	___	b. N/A		___	c. N/A		___	11. Ducts		___	a. Sup: Unc. Ret: Unc. AH: Attic	Sup. R=6.0, 71.7 ft	___	b. N/A		___	<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">12. Cooling systems</td> <td style="width: 50%;"></td> </tr> <tr> <td> a. Central Unit</td> <td style="text-align: right;">Cap: 24.0 kBtu/hr SEER: 12.75</td> </tr> <tr> <td> b. N/A</td> <td style="text-align: right;">___</td> </tr> <tr> <td> c. N/A</td> <td style="text-align: right;">___</td> </tr> <tr> <td>13. Heating systems</td> <td></td> </tr> <tr> <td> a. Electric Strip</td> <td style="text-align: right;">Cap: 17.0 kBtu/hr COP: 1.00</td> </tr> <tr> <td> b. N/A</td> <td style="text-align: right;">___</td> </tr> <tr> <td> c. N/A</td> <td style="text-align: right;">___</td> </tr> <tr> <td>14. Hot water systems</td> <td></td> </tr> <tr> <td> a. N/A</td> <td style="text-align: right;">___</td> </tr> <tr> <td> b. N/A</td> <td style="text-align: right;">___</td> </tr> <tr> <td> c. Conservation credits (HR-Heat recovery, Solar DHP-Dedicated heat pump)</td> <td style="text-align: right;">___</td> </tr> <tr> <td>15. HVAC credits (CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, MZ-C-Multizone cooling, MZ-H-Multizone heating)</td> <td style="text-align: right;">___</td> </tr> </table>	12. Cooling systems		a. Central Unit	Cap: 24.0 kBtu/hr SEER: 12.75	b. N/A	___	c. N/A	___	13. Heating systems		a. Electric Strip	Cap: 17.0 kBtu/hr COP: 1.00	b. N/A	___	c. N/A	___	14. Hot water systems		a. N/A	___	b. N/A	___	c. Conservation credits (HR-Heat recovery, Solar DHP-Dedicated heat pump)	___	15. HVAC credits (CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, MZ-C-Multizone cooling, MZ-H-Multizone heating)	___
1. New construction or existing	Addition	___																																																																																																										
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Glass/Floor Area: 0.19	Total as-built points: 10504 Total base points: 10840	PASS
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I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: JAK


DATE: 8-3-04

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____

DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: _____

DATE: _____

Summary Energy Code Results

Residential Whole Building Performance Method A

PETERSEN
 , FL

Project Title:
 DRIPETERSENADD943

Class 3 Rating
 Registration No. 0
 Climate: South

8/3/2004

Building Loads			
Base		As-Built	
Summer:	24368 points	Summer:	22927 points
Winter:	709 points	Winter:	1563 points
Hot Water:	0 points	Hot Water:	0 points
Total:	25077 points	Total:	24489 points

Energy Use			
Base		As-Built	
Cooling:	10395 points	Cooling:	8278 points
Heating:	445 points	Heating:	2226 points
Hot Water:	0 points	Hot Water:	0 points
Total:	10840 points	Total:	10504 points

<h2 style="margin: 0;">PASS</h2> <p style="margin: 0;">e-Ratio: 0.97</p>
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SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: , , FL,

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES											
.18 X Conditioned X BSPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt		Area X SPM X SOF = Points				
.18	875.0	32.50	5118.8	Single, SC=0.60	W	2.0	2.0	12.0	37.93	0.56	255.9
				Single, SC=0.60	E	2.0	2.0	15.0	42.96	0.53	343.4
				Single, SC=0.60	W	2.0	7.2	20.1	37.93	0.90	684.2
				Single, SC=0.43	W	1.0	7.2	40.2	25.74	0.98	1018.5
				Single, SC=0.60	E	2.0	10.5	30.0	42.96	0.96	1234.1
				Single, SC=0.60	N	2.0	10.5	45.0	17.31	0.97	752.9
				As-Built Total:				162.3			4289.0
WALL TYPES				Area X BSPM = Points		Type	R-Value	Area X SPM = Points			
Adjacent	0.0	0.00	0.0	Concrete, Int Insul, Exterior		5.0	836.3	2.00		1672.6	
Exterior	836.3	2.70	2258.0								
Base Total:				836.3	2258.0	As-Built Total:		836.3	1672.6		
DOOR TYPES				Area X BSPM = Points		Type	Area X SPM = Points				
Adjacent	0.0	0.00	0.0								
Exterior	0.0	0.00	0.0								
Base Total:				0.0	0.0	As-Built Total:		0.0	0.0		
CEILING TYPES				Area X BSPM = Points		Type	R-Value	Area X SPM X SCM = Points			
Under Attic	875.0	2.80	2450.0	Under Attic		30.0	875.0	2.77 X 1.00		2423.8	
Base Total:				875.0	2450.0	As-Built Total:		875.0	2423.8		
FLOOR TYPES				Area X BSPM = Points		Type	R-Value	Area X SPM = Points			
Slab	95.0(p)	-20.0	-1900.0	Slab-On-Grade Edge Insulation		0.0	95.0(p)	-20.00		-1900.0	
Raised	0.0	0.00	0.0								
Base Total:				-1900.0	As-Built Total:		95.0	-1900.0			
INFILTRATION				Area X BSPM = Points				Area X SPM = Points			
				875.0	18.79	16441.3			875.0	18.79	16441.3

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: , , FL,	PERMIT #:
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BASE				AS-BUILT						
Summer Base Points:		24368.0		Summer As-Built Points:			22926.6			
Total Summer Points	X System Multiplier	=	Cooling Points	Total Component	X Cap Ratio	X Duct Multiplier <small>(DM x DSM x AHU)</small>	X System Multiplier	X Credit Multiplier	=	Cooling Points
24368.0	0.4266		10395.4	22926.6	1.00	<small>(1.073 x 1.165 x 1.08)</small> 1.350	0.267	1.000		8278.1

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: , , FL,	PERMIT #:
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BASE	AS-BUILT
GLASS TYPES	
.18 X Conditioned X BWPM = Points Floor Area	Type/SC Overhang Ornt Len Hgt Area X WPM X WOF = Points
.18 875.0 2.36 371.7	Single, SC=0.60 W 2.0 2.0 12.0 5.90 1.03 72.7
	Single, SC=0.60 E 2.0 2.0 15.0 5.53 1.11 92.2
	Single, SC=0.60 W 2.0 7.2 20.1 5.90 1.00 118.6
	Single, SC=0.43 W 1.0 7.2 40.2 6.06 1.00 243.2
	Single, SC=0.60 E 2.0 10.5 30.0 5.53 1.02 168.6
	Single, SC=0.60 N 2.0 10.5 45.0 6.24 0.99 279.4
	As-Built Total: 162.3 974.7
WALL TYPES Area X BWPM = Points	Type R-Value Area X WPM = Points
Adjacent 0.0 0.00 0.0	Concrete, Int Insul, Exterior 5.0 836.3 0.90 752.7
Exterior 836.3 0.60 501.8	
Base Total: 836.3 501.8	As-Built Total: 836.3 752.7
DOOR TYPES Area X BWPM = Points	Type Area X WPM = Points
Adjacent 0.0 0.00 0.0	
Exterior 0.0 0.00 0.0	
Base Total: 0.0 0.0	As-Built Total: 0.0 0.0
CEILING TYPES Area X BWPM = Points	Type R-Value Area X WPM X WCM = Points
Under Attic 875.0 0.10 87.5	Under Attic 30.0 875.0 0.10 X 1.00 87.5
Base Total: 875.0 87.5	As-Built Total: 875.0 87.5
FLOOR TYPES Area X BWPM = Points	Type R-Value Area X WPM = Points
Slab 95.0(p) -2.1 -199.5	Slab-On-Grade Edge Insulation 0.0 95.0(p) -2.10 -199.5
Raised 0.0 0.00 0.0	
Base Total: -199.5	As-Built Total: 95.0 -199.5
INFILTRATION Area X BWPM = Points	Area X WPM = Points
875.0 -0.06 -52.5	875.0 -0.06 -52.5

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: , , FL,	PERMIT #:
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BASE				AS-BUILT						
Winter Base Points:		709.0		Winter As-Built Points:				1562.9		
Total Winter Points	X System Multiplier	=	Heating Points	Total Component	X Cap Ratio	X Duct Multiplier <small>(DM x DSM x AHU)</small>	X System Multiplier	X Credit Multiplier	=	Heating Points
709.0	0.6274		444.8	1562.9 1562.9	1.000 1.00	<small>(1.099 x 1.137 x 1.14)</small> 1.425	1.000 1.000	1.000 1.000		2226.3 2226.3

WATER HEATING & CODE COMPLIANCE STATUS

Residential Whole Building Performance Method A - Details

ADDRESS: , , FL,	PERMIT #:
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BASE				AS-BUILT						
WATER HEATING				Tank	EF	Number of	X	Tank X	Multiplier X	Credit = Total
Number of	X	Multiplier	= Total	Volume		Bedrooms	Ratio		Multiplier	
Bedrooms										
1		2369.00	0.0			1	1.00	2369.00	1.00	2369.0
As-Built Total:										0.0

CODE COMPLIANCE STATUS											
BASE					AS-BUILT						
Cooling	+	Heating	+	Hot Water	= Total	Cooling	+	Heating	+	Hot Water	= Total
Points		Points		Points	Points	Points		Points		Points	Points
10395		445		0	10840	8278		2226		0	10504

PASS



Residential Whole Building Performance Method A - Details

ADDRESS: , , FL,	PERMIT #:
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BASE	AS-BUILT					
GLASS TYPES						
.18 X Conditioned X BWPM = Points Floor Area	Type/SC	Overhang Ormt Len Hgt		Area X WPM X WOF = Points		
.18 875.0 2.36 371.7	Single, SC=0.60	W	2.0	2.0	12.0	5.90 1.03 72.7
	Single, SC=0.60	E	2.0	2.0	15.0	5.53 1.11 92.2
	Single, SC=0.60	W	2.0	7.2	20.1	5.90 1.00 118.6
	Single, SC=0.43	W	1.0	7.2	40.2	6.08 1.00 243.2
	Single, SC=0.60	E	2.0	10.5	30.0	5.53 1.02 168.6
	Single, SC=0.60	N	2.0	10.5	45.0	6.24 0.99 279.4
	As-Built Total:				162.3	974.7
WALL TYPES Area X BWPM = Points	Type	R-Value	Area X WPM = Points			
Adjacent 0.0 0.00 0.0 Exterior 836.3 0.60 501.8	Concrete, Int Insul, Exterior	5.0	836.3	0.90	752.7	
Base Total: 836.3 501.8	As-Built Total:				836.3 752.7	
DOOR TYPES Area X BWPM = Points	Type	Area X WPM = Points				
Adjacent 0.0 0.00 0.0 Exterior 0.0 0.00 0.0						
Base Total: 0.0 0.0	As-Built Total:				0.0 0.0	
CEILING TYPES Area X BWPM = Points	Type	R-Value	Area X WPM X WCM = Points			
Under Attic 875.0 0.10 87.5	Under Attic	30.0	875.0	0.10 X 1.00	87.5	
Base Total: 875.0 87.5	As-Built Total:				875.0 87.5	
FLOOR TYPES Area X BWPM = Points	Type	R-Value	Area X WPM = Points			
Slab 95.0(p) -2.1 -199.5 Raised 0.0 0.00 0.0	Slab-On-Grade Edge Insulation	0.0	95.0(p)	-2.10	-199.5	
Base Total: -199.5	As-Built Total:				95.0 -199.5	
INFILTRATION Area X BWPM = Points	Area X WPM = Points					
875.0 -0.06 -52.5	875.0 -0.06 -52.5					

Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: , , FL,

PERMIT #:

6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 6-12. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. Insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE SCORE* = 84.6

The higher the score, the more efficient the home.

PETERSEN, , , FL,

<p>1. New construction or existing</p> <p>2. Single family or multi-family</p> <p>3. Number of units, if multi-family</p> <p>4. Number of Bedrooms</p> <p>5. Is this a worst case?</p> <p>6. Conditioned floor area (ft²)</p> <p>7. Glass area & type</p> <p style="padding-left: 20px;">a. Clear - single pane</p> <p style="padding-left: 20px;">b. Clear - double pane</p> <p style="padding-left: 20px;">c. Tint/other SHGC - single pane</p> <p style="padding-left: 20px;">d. Tint/other SHGC - double pane</p> <p>8. Floor types</p> <p style="padding-left: 20px;">a. Slab-On-Grade Edge Insulation</p> <p style="padding-left: 20px;">b. N/A</p> <p style="padding-left: 20px;">c. N/A</p> <p>9. Wall types</p> <p style="padding-left: 20px;">a. Concrete, Int Insul, Exterior</p> <p style="padding-left: 20px;">b. N/A</p> <p style="padding-left: 20px;">c. N/A</p> <p style="padding-left: 20px;">d. N/A</p> <p style="padding-left: 20px;">e. N/A</p> <p>10. Ceiling types</p> <p style="padding-left: 20px;">a. Under Attic</p> <p style="padding-left: 20px;">b. N/A</p> <p style="padding-left: 20px;">c. N/A</p> <p>11. Ducts</p> <p style="padding-left: 20px;">a. Sup: Unc. Ret: Unc. AH: Attic</p> <p style="padding-left: 20px;">b. N/A</p>	<p>Addition ___</p> <p>Single family ___</p> <p>1 ___</p> <p>1 ___</p> <p>No ___</p> <p>875 ft² ___</p> <p>Single Pane ___ Double Pane ___</p> <p>0.0 ft² ___ 0.0 ft² ___</p> <p>0.0 ft² ___ 0.0 ft² ___</p> <p>162.3 ft² ___ 0.0 ft² ___</p> <p>R=0.0, 95.0(p) ft ___</p> <p>R=5.0, 836.3 ft² ___</p> <p>R=30.0, 875.0 ft² ___</p> <p>Sup. R=6.0, 71.7 ft ___</p>	<p>12. Cooling systems</p> <p style="padding-left: 20px;">a. Central Unit</p> <p style="padding-left: 20px;">b. N/A</p> <p style="padding-left: 20px;">c. N/A</p> <p>13. Heating systems</p> <p style="padding-left: 20px;">a. Electric Strip</p> <p style="padding-left: 20px;">b. N/A</p> <p style="padding-left: 20px;">c. N/A</p> <p>14. Hot water systems</p> <p style="padding-left: 20px;">a. N/A</p> <p style="padding-left: 20px;">b. N/A</p> <p style="padding-left: 20px;">c. Conservation credits (HR-Heat recovery, Solar DHP-Dedicated heat pump)</p> <p>15. HVAC credits (CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, MZ-C-Multizone cooling, MZ-H-Multizone heating)</p>	<p>Cap: 24.0 kBtu/hr ___</p> <p>SEER: 12.75 ___</p> <p>Cap: 17.0 kBtu/hr ___</p> <p>COP: 1.00 ___</p>
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I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: _____

Date: _____

Address of New Home: _____

City/FL Zip: _____



**NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStar™ designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at www.fsec.ucf.edu for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.*



A. M. ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33RD STREET

FT. PIERCE, FLORIDA 34946

LOCAL OFFICE (772) 461-7508 FAX: (772) 461-8880

REPORT OF FOUNDATION PAD COMPACTION

Client: **Driftwood Homes**

Report Date: 10/14/04

Project No:

Report No: 3556

Site: **49 RioVista Dr., Sewall's Point
Martin County, FL
Foundation Pad**

Permit No: **6876**

FILE

Density tests and Hand Cone Penetrometer (HCP) readings were made at a minimum of three locations in the building pad. Density tests were performed in the upper one foot of fill. HCP readings were taken in hand auger boreholes at one foot intervals from slab grade through the depth of fill. The density tests were performed in general compliance with ASTM D 2922. The HCP test, in conjunction with information about the soil type, is empirically correlated to the relative density of subsurface soils.

Density Test No.	Date Tested	Location	Elevation (feet)	Dry Density (pcf)		Percent Compaction
				In Place	Proctor	
3556	10/13/04	NE Corner	0 - 1	105.5	107.0	98.6
		Center	0 - 1	106.2	107.0	99.3
		SW Corner	0 - 1	105.7	107.0	98.8

* All elevations are below slab grade.

The depth of the fill was approximately two feet. The fill should extend at least five feet beyond the building perimeter. At the time of our testing no information was available regarding the foundation pad setbacks.

In the locations and depths that were tested, the fill has been compacted to a minimum of 95 percent of the modified Proctor maximum dry density (ASTM D 1557). No soil borings were performed below the recently placed fill.

Distribution:
Client - 2

Submitted by:
A. M. ENGINEERING AND TESTING, INC.

Rebecca Grant Ascoli, P.E.
Florida Registration No. 51863

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 10/6, 2004 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6861	MARCONI	SHEATHING	FAIL	
3	12 PINEWOODS MICHAEL	TINTAG		
	STUART ROOFING			INSPECTOR: <i>[Signature]</i>
6261	SMITH	Early Power Del	FAIL	
6	7 SIMARA ST			#40 FEE
	SUNRISE CONSL.			INSPECTOR: <i>[Signature]</i>
8	THOMPSON	COURTESY INSP. ROOF	DONE.	EXTREME REQUITE DAMAGE (STRUCTURAL)
	179 S. RIVER RD			INSPECTOR: <i>[Signature]</i>
6876	PETERSON	POWELL PUMPER	PASS	
4	49 RIO VISTA			
	DRIFTWOOD HOMES			INSPECTOR: <i>[Signature]</i>
6693	PISTOLE	FINAL SUTTERS	PASS	CLOSE
11	21 PERROWIN KLECE			
	GULFSTREAM			INSPECTOR: <i>[Signature]</i>
6480	WADE	RET. WALL	PASS	
1	9 E. HIGH POINT			
	PINE ORCHARD			INSPECTOR: <i>[Signature]</i>
6682	MILORD	POOL FENCE	PASS	
9	10 N. SEWALL'S Pt			
	MILORD	(take an if pass)		INSPECTOR: <i>[Signature]</i>
OTHER: _____				



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 49 RIO VISTA

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

SLAB -

- NEED SURVEY
- NEED COMPACTION TEST REPORT
- ELIMATE ABANDONED PVC PIPES
- POWELS FOR TIE IN TO EXIST. SLAB ARE NOT POSITIONED
- BOTTOM STEEL MUST HAVE MIN. 3" CLEARANCE FROM GROUND CONTACT. \$40 FEE

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 10/8

[Signature]

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 10/18, 2004 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
FLOOD INSPECT	MOSLEY	COURTESY INSP.		
7	52 S. SEWALL ST O/B	After 10:30		INSPECTOR: <i>[Signature]</i>
6232	MOORE	PRE-GRADE	PASS	
5	5 OAK HILL WAY AR MARTIN			INSPECTOR: <i>[Signature]</i>
6876	PETERSEN	SLAB	FAIL	
3	49 RIO VISTA DRIFTWOOD			\$40 FEE INSPECTOR: <i>[Signature]</i>
6143	POWERS	SLAB-GARAGE	FAIL PASS	
4	70 S. SEWALL'S FLORIDA'S FINEST	PLUMBING - AT LEVEL (PLEASE)	FAIL FAIL	INSPECTOR: <i>[Signature]</i>
PERMITS GENE	THOMPSON	233-1823		
1	179 S. RIVER RD			INSPECTOR: <i>[Signature]</i>
6212	SOKEL	FENCE	PASS	
6	7 BANYAN RD O/B			INSPECTOR: <i>[Signature]</i>
TREE	SPIEGEL	2 INFR. CONFIRM		TREES NOT DEAD
8	14 S. SEWALL	DEAD		BUT DAMAGED
OTHER:	2 TREES ARE DEAD IN FRONT			

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 10/15, 2002 Page of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6918	SLATHER	LATH	PASS	PARTIAL, DONE ON WEST & SOUTH SIDES
3	31 N.E. LOFTING. CONWAY			INSPECTOR: <i>OW</i>
6781	GANDHI	ROUGH A/C	PASS	
7	23 N. VIA LUCINDA WHITE ALUMINUM			INSPECTOR: <i>OW</i>
6876	PETERSON	POOL SUB	PASS	STILL NEEDED
8	49 RIO VISTA DRIFTWOOD HOMES			COMP. TEST. INSPECTOR: <i>OW</i>
DOUL	LEIGHTON	COURTESY/INSP.	—	
5A	43 W. HIGH POINT RD			INSPECTOR: <i>OW</i>
6413	POWERS	ROUGH PLUMB	PASS	
5B	70 S. SEWALLS PT	A/C	PASS	
	FLORIDA'S FINEST	ELEC	PASS	INSPECTOR:
		FRAMING	FAIL	
				INSPECTOR: <i>OW</i>
	SCHERLENG	TINTAG		CXL PER DATE
X	110 ABBIE CT OIB			INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 11/10, 2008 Page 3 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7031	LASKY	ROUGH GAS	PASS	
1	27 W. HIGH POINT			INSPECTOR:
6990	FRANZEN	DOOR REPAIR	FINAL PASS	CLOSE
3	34 RIO VISTA CUSTOM BUILT MACHINE			INSPECTOR:
6933	CIVIELLO	DOOR	PASS	
10	31 FIELDWAY OLB	SHEATHING		INSPECTOR:
6839	WADE	ELEC	PASS	
2	9 E. HIGH POINT PINE OAKWOOD	PUMPING	PASS	INSPECTOR:
6396	MUFSON	ROUGH ELEC	FAIL	
6	17 S. RIVER RD BUFORD	HVAC	FAIL	INSPECTOR:
6876	PERSON	TIE BEAM	PASS	
4A	49 RIO VISTA DRIFWOOD			INSPECTOR:
TREE	AMOS	TREE		RESCHEDULE FOR
	114 S. SEWALL'S PT			FRI -
				INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 1/5, 20005 Page of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6719	DONAHUE	TIE DOWN	FAIL	
4	163 S. Sewalls Hall-Sammons			INSPECTOR:
TREE	LAGANA	TREE	—	RESEARCH IN OWNER
3	19 E. High Pkwy			INSPECTOR:
7093	LANGER	GAS ROUGH	—	RESEARCH FOR
12	3 LOFTING FERREL GAS			1-5-05 INSPECTOR:
7047	D'ALESSANDRO	LATE STRUCTURE	PASS	CLOSE
10	4 EMAKITA WAY BULESTREAM	FINAL		INSPECTOR:
7139	BOOYSEN	GARAGE DOOR	PASS	CLOSE
6	48 RIO VISTA DR AMOR PAUL BEACH	FINAL		INSPECTOR:
6876	PETERSEN	ROOF SHEATHING	PASS	
7	49 RIO VISTA DRIFWOOD HOMES			INSPECTOR:
		SHEATHING		
	4 PINEAPPLE	FINISH SHEATHING		
	MAST			INSPECTOR:

OTHER: _____



6876

TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 49 KID VISTA

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

A/C ROUGH

JOB SITE LOCKED - INACCESSIBLE

\$40. FEE

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 2/11

[Signature]




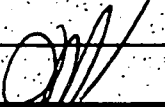
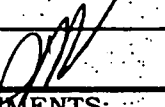
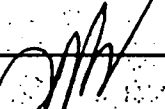

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 2/11, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7132	GIACHINO	REINSTALL FILL @ SEAWALL FINAL	PASS	CLOSE
4	63 S. RIVER RD O/B (Permit@maibox)			INSPECTOR: 
6859	GIACHINO	ALCO Final	FAIL	NO ONE HOME WILL RESCHEDULE
4	63 S. RIVER RD FLYNN'S ALC			INSPECTOR: 
6870	PETERSON	ALC ROUGH	FAIL	HOUSE OK'ED \$40 FEE
5	49 RIO VISTA DR ASSOCIATED ALC			INSPECTOR: 
7282	Shoet	Demo Int Walls	PASS	
6	10 N. RIVER RD O/B			INSPECTOR: 
6933	CIVIELLO	FINAL ROOFING	PASS	CLOSE
7	31 FIELDWAY O/B			INSPECTOR: 
7250	GALINAT	DRY-IN	PASS	
9	53 N. RIVER RD AMERICA'S CHOICE			INSPECTOR: 
6232	MOORE	FINAL SFR	PASS	CLOSE
10	5 OAK HILL WAY AR HOMES			INSPECTOR: 

OTHER: _____



6876

TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 49 RIO VISTA

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

ELECTRIC TROUGH

NEED 2 RECEPTACLES @ MASTER
LAUN- & GUEST LAUN.

MISSING RECEPT. @ MASTER POWER
NEED REVISED LAYOUT TO
INCLUDE ALL WORK -

A/C - NEED REVISED LAYOUT
- BATH EXHAUST TERMINATES IN
ATTIC. - NO RETURN AIR IN
BEDROOMS -

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 2/18


INSPECTOR

DO NOT REMOVE THIS TAG



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(561) 287-2455

CORRECTION NOTICE

ADDRESS: 49 RIO VISTA

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FRAMING

3RD BOLT MISSING @ 2X12 @
TRUSS MODIFICATION 'A'

PLUMBING - NEED REVISED
LAYOUT.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 2/10

[Signature]
INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 2/18, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6863	JOHNSTON	LATH	PASS	
2	34 W. HIGH POINT MASTERPIECE			INSPECTOR: <i>[Signature]</i>
7309	BABKIE	Dry-IN	FAIL	
3	101 S. SEWALL'S PT TACHENY ROOFING			INSPECTOR: <i>[Signature]</i>
7652	KINARD	IN PROGRESS	PASS	
6	5 TIMOR ALL AMERICAN ROOFING			INSPECTOR: <i>[Signature]</i>
7194	GREINER	Dry-IN	FAIL	
1	37 W HIGH POINT HEATON ROOFING	TINTAG SHEATHING		INSPECTOR: <i>[Signature]</i>
6876	PETERSON	A/C ROUGH	FAIL	
5	49 RIO VISTA DRIFTWOOD HOMES	ELECTRIC "	FAIL	
		PLUMBING "	FAIL	INSPECTOR: <i>[Signature]</i>
"	"	FRAMING	FAIL	
5	"			INSPECTOR: <i>[Signature]</i>
7256	SCHRADEE	POOL STEEL + MAIN DRAIN	FAIL	
7	4 EMARITA OLYMPIC POOLS			INSPECTOR: <i>[Signature]</i>

OTHER: MARRAN U.G. TANK PASS
25 FIELDWAY OKS



6876

TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 49 RIO USTA

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same. ^{PASSED}

PLUMBING/ELEC./A/C TROUBLES & FRAMING

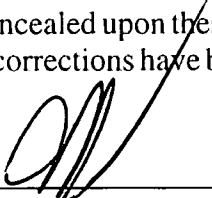
SECURE EXHAUST VENT FOR
BATHS @ ROOF.

EAST BAL - STUN GUARD @ ~~THESE~~ CABLES
ON N. WALL

SECURE CABLES @ N. WALL L. ROOM.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 2/28


INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 2/28, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6851	FIELD	FINAL ROOF	PASS	
1	14 RIDGELAND PACIFIC ROOFING			INSPECTOR: <i>[Signature]</i>
6876	PERSON	FRAMING	FAIL	
2	49 RIO VISTA DRIFTWOOD HOMES	ROUGH ALK PUMB	FAIL PASSED	INSPECTOR:
		11 Elec	FAIL	
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____



6876

TOWN OF SEWALL'S POINT

One South Sewall's Point Road

Sewall's Point, Florida 34996

(561) 287-2455

CORRECTION NOTICE

ADDRESS: 49 RIO VISTA

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

INSULATION

DOORS LOCKED - NO ACCESS

RESCHEDULE

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 3/4

[Signature]

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3/4, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7231	SCHMIDT	FINAL REROOF	PASS	
10	15 HERITAGE WAY O/B	WINDOW BUCK		INSPECTOR: <i>[Signature]</i>
7321	BAY TREE LODGE	FLAT ROOF IN PRG	---	TOO WET TO WALK
2	143 S. RIVER RD STUART ROOFING			ROOF WILL RESCHEDULE INSPECTOR: <i>[Signature]</i>
7353	CHONTOS	STEEL + DRAIN	FAIL	
5	83 S. SEWALL'S PT ADVANTAGE POOLS	SPA		INSPECTOR: <i>[Signature]</i>
16876	PETERSON	INSULATION	FAIL	
8	49 RIO VISTA DEFTWOOD			INSPECTOR: <i>[Signature]</i>
7345	BAKER	DEY-IN	PASS	
1	18 RIO VISTA DR FLORIDA REROOFING	(EARLY PLEASE)		INSPECTOR: <i>[Signature]</i>
7144	AGESADA	BACKFILL RET WALL	PASS	CLOSE
9	8 MORGAN CIRCLE O/B	FINAL		INSPECTOR: <i>[Signature]</i>
6753	RAOER	ROOF SHEATHING	---	RESCHEDULE FOR
11	5 HERITAGE WAY A & P CONST.			EARLY MONDAY 3/7 INSPECTOR: <i>[Signature]</i>

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3/7, 2008 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
	ERIC OTT	PRE INSPECT	DONE	DISCUSSED MAILING
1	26 NORTH S.P.R. O.B.	FOR FILL		INSPECTOR:
	6876 PETERSON	INSULATION	PASS	
5	49 RIO VISTA DRIFTWOOD	ROUGH ELEC. RT ROUGH AC RT	PASS PASS	INSPECTOR:
6772	ELDER	FRONT STAIRS	FAIL	
2A	4 MARGUERITA DR O/B	TIE BEAM		INSPECTOR:
6753	RADER	ROOF SHEATHING	PASS	
7	5 HERITAGE WAY A&P CONSTRUCTION			INSPECTOR:
7167	KING	FINAL ROOF	PASS	CLOSE
6	30 RIO VISTA HEATON ROOFING			INSPECTOR:
				287-0116
TREE	SHAFER	TREE	—	WILL RESCHEDULE
9A	36 CASTLE WAY			TO MEET INSPECTOR
				INSPECTOR:
TREE	JACOBI	TREE	PASS	
	4 BANYAN			INSPECTOR:

OTHER: _____



6876

TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 49 RIO VISTA

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

ADDITION FINAL

4X4 POST AT N.W. CORNER OF PORCH SUPPORTING ROOF HAS CRUMBLING METAL POST SADDLE & DECAYED 4X4 POST, THIS NEEDS TO BE ADDRESSED.

NOT PART OF ORIGINAL SCOPE OF WORK PER DISCUSSION W/ ALAN MORRIS.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 1/27

[Signature]

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 1/27, 2006 Page 1 of




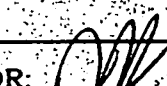

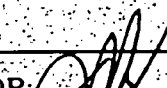
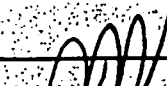
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7969	SHAFFER	POOL STEEL	PASS	
10	36 CASTLE HILL WAY			
	A&G POOLS			INSPECTOR: <i>OM</i>
7718	SCHOPPE	2ND ST TIE BEAM	PASS	
1	9 PALM ROAD			
	A&P CONSTRUCTION	A FIRST PLEASE		INSPECTOR: <i>OM</i>
7863	DESANTIS	BACK CONCR STEPS	PASS	CLOSE
7	82 S. SEWALL'S PT	FINAL		
	O/B			INSPECTOR: <i>OM</i>
6772	ELDER	CURTESY INSP. =		DISCUSSED SITE
5	4 MARBURITA	FOR FINAL		GRADING
		GRADING.		INSPECTOR: <i>OM</i>
10876	PETERSEN	FINAL ADDRESS	PASS	
2	49 RIO VISTA DR		PASS	
	DRIFTWOOD HOMES			INSPECTOR: <i>OM</i>
7851	MORAN	METER BOX	PASS	
3	2 PALM ROAD			
	HERITAGE ELEC			INSPECTOR: <i>OM</i>
6965	FENSTERER	COLUMN/STRAP	PASS	
8	71 S. SEWALL'S PT			
	O/B			INSPECTOR: <i>OM</i>

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5/18, 2005 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7361	JORDAN	Pre-Pour - Ex	FAIL	
14	12 CASTLE HILL	ENERGY STAR	PASS	
	MORNINGWOOD CARP.			INSPECTOR: 
7404	STEARNS	RIP RAP FINAL	PASS	CLOSE
15	80 N. Sewall's Pt.			
	BLUE WATER MARINE			INSPECTOR: 
	BAILEY	FINAL GAS	FAIL	NO ACCESS - NO DUE
16	7 PERRIWINKLE CR		FAIL	HOME
	PROPANE DISCOUNTS			INSPECTOR: 
6876	PETERSEN	TIE BEAM	PASS	
6	49 RIO VISTA	FENCE/WALL		
	DRIFTWOOD			INSPECTOR: 
6753	RADER	FRAMING	PASS	
1	5 HERITAGE WAY	A/C	PASS	
	A & P CONST	LATH	PASS	INSPECTOR: 
7476	AUNE	GENERATOR	PASS	FAIL
17	1 MICHAEL ROAD	ELECTRIC		
	KRAUSS + CRANE	FINAL		INSPECTOR: 
6741	OSTEEN	FINAL ELEC	PASS	
7	1 RIDGEMAN	GARAGE		
	ANGUS ENT.			INSPECTOR: 

OTHER:

7288

REROOF

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

BUILDING PERMIT NO. 7288

Date 2/9/05

Building to be erected for PETERSON Type of Permit REEROOF

Applied for by PACIFIC ROOFING CORP (Contractor) Building Fee _____

Subdivision RIO VISTA Lot _____ Block _____ Radon Fee _____

Address 49 RIO VISTA DRIVE Impact Fee _____

Type of structure SFR A/C Fee _____

Electrical Fee _____

Plumbing Fee _____

Parcel Control Number:

1238410020000096050000 Roofing Fee 120.00

Amount Paid 120.00 Check # 8006 Cash _____ Other Fees (_____) _____

Total Construction Cost \$ 28,000 TOTAL Fees 120.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official

PERMIT

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input checked="" type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | | | |
|-----------------------------|-------|------------------------|-------|
| UNDERGROUND PLUMBING | _____ | UNDERGROUND GAS | _____ |
| UNDERGROUND MECHANICAL | _____ | UNDERGROUND ELECTRICAL | _____ |
| STEMWALL FOOTING | _____ | FOOTING | _____ |
| SLAB | _____ | TIE BEAM/COLUMNS | _____ |
| ROOF SHEATHING | _____ | WALL SHEATHING | _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS | _____ | LATH | _____ |
| ROOF TIN TAG/METAL | _____ | ROOF-IN-PROGRESS | _____ |
| PLUMBING ROUGH-IN | _____ | ELECTRICAL ROUGH-IN | _____ |
| MECHANICAL ROUGH-IN | _____ | GAS ROUGH-IN | _____ |
| FRAMING | _____ | EARLY POWER RELEASE | _____ |
| FINAL PLUMBING | _____ | FINAL ELECTRICAL | _____ |
| FINAL MECHANICAL | _____ | FINAL GAS | _____ |
| FINAL ROOF | _____ | BUILDING FINAL | _____ |

Renewal for final \$120 - Pd 2/21/07
C# 1166

C

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 2/9/05

BUILDING PERMIT NO. **7288**

Building to be erected for PETERSON Type of Permit FERCOF

Applied for by PACIFIC ROOFING CORP (Contractor) Building Fee _____

Subdivision EL VISTA Lot _____ Block _____ Radon Fee _____

Address 47 EL VISTA DRIVE Impact Fee _____

Type of structure SFE A/C Fee _____

Parcel Control Number: _____ Electrical Fee _____

153K412020000096050000 Plumbing Fee _____

Amount Paid 120.00 Check # 8006 Cash _____ Other Fees (_____) _____

Total Construction Cost \$ 28,000 TOTAL Fees 120.00

Signed [Signature]
Applicant

Signed [Signature] (498)
Town Building Official

PERMIT

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input checked="" type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL _____ |

FEB 07 2005

Date: 18 January 05

Permit Number: _____

Town of Sewall's Point BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME: Coletta Peterson Phone (Day) _____ (Fax) _____

Job Site Address: 49 Rio Vista Drive City: Stuart State: FL Zip: _____

Legal Description of Property: 49 Rio Vista Drive Parcel Number: 12384100200009605

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: Re-roof Tile to Tile

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: Pacific Roofing Phone: 283-7663 Fax: 283-9525

Street: P.O. Box 2697 City: Stuart State: FL Zip: 34994

State Registration Number: C-CC056793 State Certification Number: _____ Martin County License Number: _____

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 28,000 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: Pacific Roofing State: FL License Number: C-CC056793

ARCHITECT _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carpport: _____ Total Under Roof 3,500 Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required): [Signature]
State of Florida, County of _____
This the 18 day of January, 2005
by Coletta Peterson who is personally
known to me or produced
as identification. [Signature]

Notary Publics Nickerson
My Commission Expires: _____ My Commission DD271437
Expires December 13, 2007

CONTRACTOR SIGNATURE (required): [Signature]
On State of Florida, County of _____
This the 18 day of January, 2005
by Richard J. Rome who is personally
known to me or produced
As identification. [Signature]

Notary Public
My Commission Expires: _____ James Nickerson
My Commission DD271437
Expires December 13, 2007

ACORD™ CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
12/13/2004

PRODUCER (561)746-4546 FAX (561)746-9599
 Tequesta Agency, Inc.
 218 S. US Highway One, Ste 300
 Tequesta, FL 33469
 Debra Hicks-Neumann

INSURED Pacific Roofing Corp., Inc.
 PO Box 2697
 Stuart, FL 34994

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE	NAIC #
INSURER A: Lexington	
INSURER B:	
INSURER C:	
INSURER D:	
INSURER E:	

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR INSR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR _____ GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	GLB11192004	12/12/2004	12/12/2005	EACH OCCURRENCE \$ 1,000,000
	DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000				
	MED EXP (Any one person) \$ Excluded				
	PERSONAL & ADV INJURY \$ 1,000,000				
	GENERAL AGGREGATE \$ 2,000,000				
	PRODUCTS - COMP/OP AGG \$ 2,000,000				
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS _____				COMBINED SINGLE LIMIT (Ea accident) \$
					BODILY INJURY (Per person) \$
					BODILY INJURY (Per accident) \$
					PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$
					OTHER THAN AUTO ONLY: EA ACC \$
					AGG \$
	EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE _____ DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$
					AGGREGATE \$
					\$
					\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below OTHER				WC STATU-TORY LIMITS OTH-ER \$
					E.L. EACH ACCIDENT \$
					E.L. DISEASE - EA EMPLOYEE \$
					E.L. DISEASE - POLICY LIMIT \$

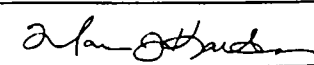
DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

CERTIFICATE HOLDER

Sewalls Point Building Dept
 1 Sewalls Point Road
 Sewalls Pont, FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE
 Mark Kasten/DEBBIE 

ACORD CERTIFICATE OF LIABILITY INSURANCE		CERTIFICATE NO. / DATE AC04-7900013-176426 12/8/2004 9:42:53 AM
PRODUCER Eisenmann Risk Placements, Inc. 14160 Dallas Parkway, Suite 500 Dallas, TX 75254 (972) 764-0965 Fax: (972) 404-4450	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
INSURERS AFFORDING COVERAGE		
INSURED PACIFIC ROOFING CORPORATION 808 SE DIXIE HWY STUART, FL 34994 (772) 283-7663 Fax: (772) 283-9505	INSURER A: PROVIDENCE PROPERTY & CASUALTY INSURANCE COMPA INSURER B: INSURER C: INSURER D: INSURER E:	

COVERAGES
 THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

TYPE	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE	POLICY EXPIRATION DATE	LIMITS
	GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER <input type="checkbox"/> POLICY <input type="checkbox"/> PRO <input type="checkbox"/> LOC				EACH OCCURRENCE \$ FIRE DAMAGE (Any One Fire) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMPROP AGG \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRE AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (E & accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY AGG \$
	EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE \$ RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	WC0100086	12/1/2004	12/1/2005	X WC STATUS <input checked="" type="checkbox"/> TOBY LIMITS <input type="checkbox"/> OTHER E L EACH ACCIDENT \$ 1000000 E L DISEASE - EA EMPLOYEE \$ 1000000 E L DISEASE - POLICY LIMIT \$ 1000000
	OTHER <input type="checkbox"/>				LIMITS \$ LIMITS \$

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS
 1. Insured is afforded Workers Compensation & Employers Liability as a co-employer under the policy for employees leased from AMS Staff Leasing, Inc. 2. This certificate remains in effect, provided the client's account is in good standing with AMS. Coverage is not provided for any employee for which the client is not reporting wages to AMS. Applies to 100% of the employees of AMS leased to PACIFIC ROOFING CORPORATION, effective 12/01/2004.
 PLEASE SEE ATTACHED EMPLOYEE ROSTER.

CERTIFICATE HOLDER	ADDITIONAL INSURED, INSURER LETTER:	CANCELLATION
Sewalls Point Building Department 1 South Sewalls Point Road Sewalls Point, FL 34996		SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>30</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE



DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD
1940 NORTH MONROE STREET
TALLAHASSEE FL 32399-0783

(850) 487-1395

GOMES, RICHARD JOHN
PACIFIC ROOFING CORP
PO BOX 2697
STUART

FL 34995

STATE OF FLORIDA AC#1601424
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
 CCC056793 09/11/04 040233678
 CERTIFIED ROOFING CONTRACTOR
 GOMES, RICHARD JOHN
 PACIFIC ROOFING CORP
 IS CERTIFIED under the provisions of Ch. 489 FS.
 Expiration date: AUG 31, 2006 L04091102194

DETACH HERE

AC#1601424

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L04091102194

DATE	BATCH NUMBER	LICENSE NBR
09/11/2004	040233678	CCC056793

The ROOFING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2006

GOMES, RICHARD JOHN
PACIFIC ROOFING CORP
PO BOX 2697
STUART

FL 34995

JEB BUSH
GOVERNOR

DIANE CARR

TOTAL P.01



Development Department

121 SW Flagler Avenue - Stuart, Florida 34994-2139

Phone (772)288-5326 Fax (772)288-5388

PACIFIC ROOFING CORP
GOMES, RICHARD J
PO BOX 2697
STUART FL, 34995

Contractor ID: AP01080463
License Type: CCC
Expires: September 30, 2005



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

FILE COPY
TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE: 2/18/05

BUILDING OFFICIAL
 Gene Simmons

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Hanson Roof Tile d.b.a. Pioneer Concrete Tiles
1340 SW 34th Ave
Deerfield Beach, FL 33442

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Spanish "S" Roof Tile

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of pages 1 through 5.
The submitted documentation was reviewed by Frank Zuloaga, RRC



ROOFING ASSEMBLY APPROVAL

Category: Roofing
 Sub Category: Roofing Tiles
 Material: Concrete

1. SCOPE

This renews a roofing system using Hanson Spanish 'S' Roof Tile, as manufactured Hanson Roof Tile d.b.a. Pioneer Concrete Tile described in Section 2 of this Notice of Acceptance. For the locations where the pressure requirements, do not exceed the values listed in section 4 herein. The attachment calculations shall be done as a moment based system.

2. PRODUCT DESCRIPTION

<u>Manufactured by Applicant</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Hanson Spanish 'S' Roof Tile	Length: 18" Width: 9 7/8" Varying thickness	TAS 112	High profile, interlocking, one-piece, 'S' shaped, extruded concrete roof tile equipped with two nail holes and a single roll. For direct deck nail-on, mortar set, or adhesive set applications.
Trim Pieces	Length: varies Width: varies Varying thickness	TAS 112	Accessory trim, concrete roof pieces for use at hips, rakes, ridges and valley terminations. Manufactured for each tile profile.

2.1 Components or products manufactured by others

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>	<u>Manufacturer</u>
Tile Nails	Min. 10dx 3"	TAS 114 Appendix E	Corrosion resistant screw or smooth shank nails	Generic (With current NOA)
Tile Screws	Min. 8x 2 1/2" long 0.335" head dia. 0.131" shank dia. 0.175" screw thread dia.	TAS 114 Appendix E	Corrosion resistant, coated, square drive, galvanized, coarse thread wood screws	Generic (With current NOA)
Hurricane Clip & Fasteners	Clips Min. 1/2" width Min. 0.060" thick Clip Fasteners Min. 8d x 1 1/2"	TAS 114 Appendix E	Corrosion resistant clips with corrosion resistant nails.	Generic (With current NOA)



3. LIMITATIONS

- 3.1 Fire classification is not part of this acceptance.
- 3.2 For mortar or adhesive set tile applications, a static field uplift test in accordance with RAS 106 may be required, refer to applicable building code.
- 3.3 Applicant shall retain the services of a Miami-Dade County Certified Laboratory to perform quarterly test in accordance with TAS 112, appendix 'A'. Such testing shall be submitted to the Building Code Compliance Office for review.
- 3.4 Minimum underlayment shall be in compliance with the applicable Roofing Applications Standards listed section 4.1 herein.
- 3.5 30/90 hot mopped underlayment applications may be installed perpendicular to the roof slope unless stated otherwise by the underlayment material manufacturers published literature.
- 3.6 This acceptance is for wood deck applications. Minimum deck requirements shall be in compliance with applicable building code.

4. INSTALLATION

- 4.1 Hanson Spanish 'S' Roof Tile and its components shall be installed in strict compliance with Roofing Application Standard RAS 118, 119, & 120.
- 4.2 Data For Attachment Calculations

Tile Profile	λ (ft)
Hanson Spanish 'S'	0.263

Tile Profile	3": 12"	4": 12"	5": 12"	6": 12"	7": 12"
Hanson Spanish 'S'	8.58	8.44	8.27	8.07	7.84

Tile Profile	Fastener Type	Direct Deck (min 15/32" plywood)	Direct Deck (min. 19/32" plywood)
Hanson Spanish 'S'	2-10d Ring Shank Nails	28.6	41.2
	1-10d Smooth or Screw Shank Nail	5.1	6.8
	2-10d Smooth or Screw Shank Nails	6.9	9.2
	1 #8 Screw	20.7	20.7
	2 #8 Screws	43.2	43.2
	1-10d Smooth or Screw Shank Nail (Field Clip)	23.1	23.1



	1-10d Smooth or Screw Shank Nail (Eave Clip)	29.3	29.3
	2-10d Smooth or Screw Shank Nails (Field Clip)	27.6	27.6
	2-10d Smooth or Screw Shank Nails (Eave Clip)	38.1	38.1

Table 4: Attachment Resistance Expressed as a Moment M_r (ft-lbf) For Two Patty Adhesive Set Systems

Tile Profile	Tile Application	Minimum Attachment Resistance
Hanson Spanish 'S'	Adhesive	29.3 ¹

1 See manufactures component approval for installation requirements.
 2 Flexible Products Company TileBond Average weights per patty 10.7 grams. Polyfoam Product, Inc. Average weight per patty 8 grams.

Table 4A: Attachment Resistance Expressed as a Moment - M_r (ft-lbf) For Single Patty Adhesive Set Systems

Tile Profile	Tile Application	Minimum Attachment Resistance
Hanson Spanish 'S'	Polyfoam PolyPro™	66.5 ³
	Polyfoam PolyPro™	38.7 ⁵

3 Large patty placement of 63grams of PolyPro™.
 5 Medium patty placement of 24grams of PolyPro™.

Table 4B: Attachment Resistance Expressed as a Moment - M_r (ft-lbf) For Mortar Set Systems

Tile Profile	Tile Application	Attachment Resistance
Hanson Spanish 'S'	Mortar Set	24.5

5. LABELING

All tiles shall bear the imprint or identifiable marking of the manufacturer's name or logo, or following statement: "Miami-Dade County Product Control Approved".

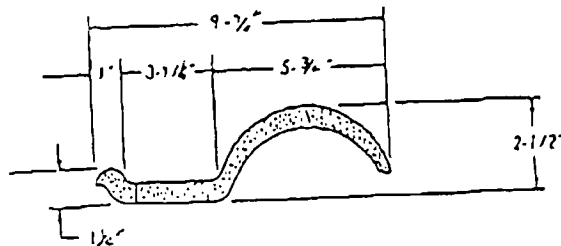
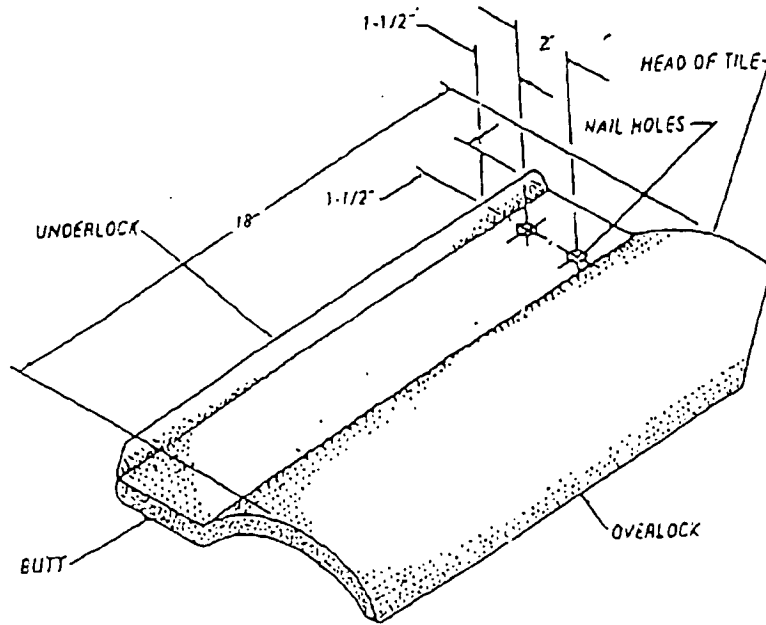
6. BUILDING PERMIT REQUIREMENTS

6.1 Application for building permit shall be accompanied by copies of the following:

- 6.1.1 This Notice of Acceptance.
- 6.1.2 Any other documents required by the Building Official or applicable building code in order to properly evaluate the installation of this system.



PROFILE DRAWINGS



HANSON SPANISH 'S' ROOF TILE

END OF THIS ACCEPTANCE



NOA No.: 02-0916.12
Expiration Date: 12/16/07
Approval Date: 12/19/02
Page 5 of 5

Permit No. _____

Tax Folio No. 123841002000009605

NOTICE OF COMMENCEMENT

State of Florida
County of Martin



The undersigned hereby gives notice that improvement will be made to certain real Property and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. Legal description of property (include street address, if available): RPO UPsta s/D LOT 96

2. General description of improvement: Re-roof

3. Owner information - name and address: Peterson Residence
49 Rio Vista Drive

Interest in property: _____

Name and address of fee simple titleholder (if other than Owner): _____

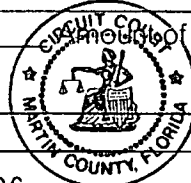
4. Contractor - name and address: Pacific Roofing
P.O. Box 2097 Stuart, FL 34994

Phone number 283-7663 Fax number 283-9505

5. Surety - name and address: _____
STATE OF FLORIDA
MARTIN COUNTY

Phone number _____ Fax number _____

6. Lender - name and address: _____
I HEREBY CERTIFY THAT THE FOREGOING _____ PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL



MARSHA EWING, CLERK
BY [Signature] D.C.
DATE 1-28-05

Phone number _____ Fax number _____

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(i)(a)7., Florida Statutes (name and address): _____

Phone number _____ Fax number _____

8. In addition to himself, Owner designates _____ of _____

_____ to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

Phone number _____ Fax number _____

9. Expiration date of Notice of Commencement (the expiration date is 1 year from the date of recording unless a different date is specified).

[Signature]
Signature of Owner

Sworn to and subscribed before me this 18 day of January, 20 05.

Margaret L. Montanaro
Notary Public

My Commission Expires: _____



Margaret L. Montanaro
My Commission DD083279
Expires October 8, 2005

INSTR # 1810243 OR BK 01977 PG 0555 RECD 01/28/2005 04:31:34 PM
MARSHA EWING MARTIN COUNTY DEPUTY CLERK S Phosonic

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 2-26, 2007 Page 1 of 3

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8504	James	Partial window installation	PASS	
8	2 Riverview JB			INSPECTOR: <i>OM</i>
6403	Peterson	Final	PASS	CLOSE
7	4 Oakwood DR Pacific Roof			INSPECTOR: <i>OM</i>
6838	Giachino	Final	PASS	CLOSE
9	11 Rio Vista Pacific Roof			INSPECTOR: <i>OM</i>
6888	Elliot	Final	FAIL	
2	25 W High Pt Pacific Roof			INSPECTOR: <i>OM</i>
6908	Walcott	Final	PASS	CLOSE
6A	Island Rd Pacific Roof			INSPECTOR: <i>OM</i>
6909	Halee	Final	FAIL	NO ONE ON JOB <i>needed</i>
1	1st 830 7 Worth Ct Pacific Roof - contractor with ladder	OFF RINGELAND		JOB INSPECTOR: <i>OM</i>
1288	Peterson	Final	PASS	CLOSE
10	49 Rio Vista Pacific Roof			INSPECTOR: <i>OM</i>
OTHER:				

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3/11, 20015 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7309	BABLIE	FINAL ROOF	PASS	CLOSE
3	101 S. SEWALLS PT TACHENY ROO			INSPECTOR:
7350	GOVEL	CONCRETE FORMBOARD	PASS	
1	5 RIVERVIEW DR O/B	EARLY PLEASE		INSPECTOR:
7143	ALLMAN	FENCE FINAL	PASS	CLOSE
2	106 S. RIVER RD O/B			INSPECTOR:
6753	RADER	TRUSS	FAIL	
5	5 HERITAGE WAY A & P CONSTRUCTION			INSPECTOR:
7349	MAUD	ELEC. FINAL	—	WILL RECHECK
8	21 N. RIVER RD KRAUSS + CRANE	DOCK		INSPECTOR:
7288	PETERSON	DECK	PASS	
4	49 RIO VISTA DR PACIFIC ROOFING			INSPECTOR:
7328	SCHMADER	STEELWORK	PASS	
1A	102 HENRY SEWALL CONWAY			INSPECTOR:
OTHER: 3 LABOURS — ISSUED STOP WORK ORDER —				

7497

FENCE

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 4/20/05

BUILDING PERMIT NO. 7.4.97

Building to be erected for PETERSEN

Type of Permit MASONRY FENCE

Applied for by DRIFTWOOD HOMES

(Contractor) Building Fee 255.44 x 2.50/ft = 612.00

Subdivision RIO VISTA Lot 63 Block _____

Radon Fee _____

Address 49 RIO VISTA

Impact Fee _____

Type of structure SEW

A/C Fee _____

Parcel Control Number:

Electrical Fee _____

12384100210000096050000

Plumbing Fee _____

Amount Paid 673.20 Check # 14393 Cash _____

Roofing Fee _____
10% PLAN REVIEW 61.20

Total Construction Cost \$ 5800.00

TOTAL Fees 673.20

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

APR 14 2005

Town of Sewall's Point BUILDING PERMIT APPLICATION

Permit Number: _____

BY: 4/13/05

OWNER/TITLEHOLDER NAME: Uwe Petersen

Phone (Day) 847-687-6968 (Fax) _____

Job Site Address: 49 RIO VISTA

City: Sewalls Pt State: FL Zip: _____

Legal Desc. Property (Subd/Lot/Block) _____

Parcel Number: _____

Owner Address (if different): SAME

City: _____ State: _____ Zip: _____

Description of Work To Be Done: FENCE

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 5,800.00
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

Is Improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

(If no, fill out the Contractor & Subcontractor sections below)
(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: DRIFTWOOD HOMES 215-0074 Phone: 334-2577 Fax: 334-5877

Street: 2163 PINERIDGE ST City: JENSEN BCH State: FL Zip: 34987

State Registration Number: KK0056789 State Certification Number: _____ Martin County License Number: MC00089

SUBCONTRACTOR INFORMATION:

Electrical: N/A State: _____ License Number: _____
 Mechanical: N/A State: _____ License Number: _____
 Plumbing: N/A State: _____ License Number: _____
 Roofing: N/A State: _____ License Number: _____

ARCHITECT BRADEN + BRADEN Lic. # AA000032 Phone Number: 267-8258
Street: 417 COCONUT AVE City: SIESTA State: FL Zip: 34987

ENGINEER N/A Lic. # _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
Uwe Petersen
State of Florida, County of: Martin
This the 13 day of April, 2005
by Uwe Petersen who is personally known to me or produced as identification.

CONTRACTOR SIGNATURE (required)
ACAN MORRIS
On State of Florida, County of: Martin
This the 14th day of APRIL, 2005
by ACAN MORRIS who is personally known to me or produced as identification.

My Commission Expires: _____
HELEN R. MORRIS
Notary Public
Comm# DD0037754
Expires 9/28/2006
Bonded thru (800) 432-4254

My Commission Expires: _____
Notary Public
LAURA L. O'BRIEN
MY COMMISSION # DD 2059
EXPIRES: April 28, 2007

PERMIT APPLICATIONS ARE NOT VALID WITHOUT APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

PERMIT # _____ TAX FOLIO # _____

NOTICE OF COMMENCEMENT

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE): 49 RIO VISTA DANE SEWALLS PT, FL 34996 ^{Price ID #:} 123841002000009600

GENERAL DESCRIPTION OF IMPROVEMENT: MASTER SUITE ADDITION

OWNER: UWE PETERSEN

ADDRESS: 49 RIO VISTA SEWALLS PT, FL 34996

PHONE #: 288-4860 FAX #: _____

CONTRACTOR: DAVID WOOD HOUSE

ADDRESS: 2163 DUNE RIDGE ST JENSON BCH FL 34957

PHONE #: 334-2577 FAX #: 334-5677

SURETY COMPANY (IF ANY) _____

ADDRESS: _____

PHONE # _____

BOND AMOUNT: _____

LENDER: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____ FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____ THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

[Signature]
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 12th DAY OF August BY UWE PETERSEN

PERSONALLY KNOWN X
PRODUCED ID _____
TYPE OF ID _____

[Signature]
NOTARY SIGNATURE Helen R. Morris

OR
Helen R. Morris
Commission # CC967169
Expires Sep. 18, 2004
Bonded Thru
Atlantic Bonding Co., Inc.

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 4/29, 2006 Page 3 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6577	LANGER	POOL DECK	PASS	
15	3 N. LOFTING WY			
	OLYMPIC POOLS			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7497	PETERSON	FOOTER FENCE	PASS	
10A	49 RIO VISTA			
	DRIFTWOOD			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6772	ELDER	BEAM BATH	PASS	TIE BM ON NORTH
4	4 MARGUERITA			SIDE.
	OLB			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
		DOCK	—	DOES NOT CONFORM
11	26 SIMARA			TO DRAWINGS
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
	JOHNSTON	FINAL	PASS	<u>CLOSE</u>
1A	34 W HIGH PT			
	MASTERPIECE			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____

1000 LEGION PL
ORLANDO FL

32801

TOWN OF SEWELLS POINT
1 SEWELLS POINT ROAD
STUART FL 34996

REINSTATEMENT NOTICE

Please take notice that the Policy designated below has been reinstated as of the effective date of the reinstatement stated below, notice of cancellation heretofore issued being hereby withdrawn as null and void.

POLICY NUMBER: (6FR13UB-9546A20-5-04)	ISSUE DATE: 01-06-05
NAME AND ADDRESS OF INSURED DRIFTWOOD HOMES LLC DBA DRIFTWOOD HOMES & IMPROVEMENTS 2163 PINE RIDGE STREET JENSEN BEACH FL 34957	PRODUCER OR AGENT RICK CARROLL INS AGCY 2948J
	ISSUING OFFICE FLORIDA WC JUA 821
EFFECTIVE DATE OF THIS NOTICE 01-19-05	VEHICLE IDENTIFICATION <i>(Complete for Auto Policies or Coverages Only)</i>
LOCATION <i>(Complete for Fire Policies or Fire Coverages ONLY)</i>	

WRITTEN NOTICE IS HEREBY GIVEN TO YOU AS:

- THE PERSON TO WHOM AN INSURANCE CERTIFICATE WAS ORIGINALLY ISSUED OR A BANK OR FINANCE COMPANY;
- AN ADDITIONAL INSURED UNDER THE TERMS OF THE POLICY;
- A MORTGAGEE

**THIS NOTICE IS GIVEN ONLY BY THE
COMPANY OR COMPANIES WHICH ISSUED
THE POLICY DESIGNATED ABOVE.**

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

08/03/2004

PRODUCER (772)567-1188 FAX (772)778-1416
 SCHLITT INSURANCE SERVICES INC
 1717 INDIAN RIVER BLVD
 SUITE 300
 VERO BEACH, FL 32960

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED Driftwood Homes, LLC
 DBA: Alan B Morris d/b/a
 2163 Pine Ridge St
 Jensen Beach, FL 34957

INSURERS AFFORDING COVERAGE	NAIC #
INSURER A: Mid-Continent Casualty Company	
INSURER B:	
INSURER C:	
INSURER D:	
INSURER E:	

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD LTR NSR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A	GENERAL LIABILITY	04GL000550891	06/13/2004	06/13/2005	EACH OCCURRENCE	\$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 100,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$ Excluded
					PERSONAL & ADV INJURY	\$ 1,000,000
					GENERAL AGGREGATE	\$ 2,000,000
					PRODUCTS - COMP/OP AGG	\$ 2,000,000
					GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	
	AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT (Ea accident)	\$
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$
	<input type="checkbox"/> HIRED AUTOS					
	<input type="checkbox"/> NON-OWNED AUTOS					
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$
	<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC	\$
					AUTO ONLY: AGG	\$
	EXCESS/UMBRELLA LIABILITY				EACH OCCURRENCE	\$
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$
						\$
	<input type="checkbox"/> DEDUCTIBLE					\$
	<input type="checkbox"/> RETENTION \$					\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				<input type="checkbox"/> WC STATU-TORY LIMITS <input type="checkbox"/> OTH-ER	
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				E.L. EACH ACCIDENT	\$
					E.L. DISEASE - EA EMPLOYEE	\$
					E.L. DISEASE - POLICY LIMIT	\$
	OTHER					

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

CERTIFICATE HOLDER

Town of Sewell's Point
 1 South Sewell's Point Road
 Sewell's Point, FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE
 Robert Schlitt Jr./LAR

ACORD CERTIFICATE OF INSURANCE

DATE (MM/DD/YY)

05-19-04

PRODUCER

RICK CARROLL INS AGCY
2160 NE DIXIE HWY

JENSEN BEACH

FL 349570877

2948J

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY

A FLORIDA W.C. JUA

COMPANY

B

COMPANY

C

COMPANY

D

INSURED

DRIFTWOOD HOMES LLC DBA
DRIFTWOOD HOMES & IMPROVEMENTS
2163 PINE RIDGE STREET
JENSEN BEACH FL 34957

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
	GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR. <input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT.				GENERAL AGGREGATE \$ PRODUCTS-COMP/OP AGG. \$ PERSONAL & ADV. INJURY \$ EACH OCCURRENCE \$ FIRE DAMAGE (Any one fire) \$ MED. EXPENSE (Any one person) \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT \$ BODILY INJURY (Per Person) \$ BODILY INJURY (Per Accident) \$ PROPERTY DAMAGE \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EACH ACCIDENT \$ AGGREGATE \$
	EXCESS LIABILITY <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$
A	WORKER'S COMPENSATION AND EMPLOYER'S LIABILITY THE PROPRIETOR/ PARTNERS/EXECUTIVE OFFICERS ARE: <input checked="" type="checkbox"/> INCL <input type="checkbox"/> EXCL	(UB-9546A20-5-04)	04-22-04	04-22-05	STATUTORY LIMITS EACH ACCIDENT \$ 100,000 DISEASE - POLICY LIMIT \$ 500,000 DISEASE - EACH EMPLOYEE \$ 100,000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/RESTRICTIONS/SPECIAL ITEMS

THIS REPLACES ANY PRIOR CERTIFICATE ISSUED TO THE CERTIFICATE HOLDER AFFECTING WORKERS COMP COVERAGE.

CERTIFICATE HOLDER

TOWN OF SEWELLS POINT
1 SEWELLS POINT ROAD
STUART

FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Charles J. Clarke

ACORD CORPORATION 1993



Martin County Building Department
2401 SE Monterey Road
Stuart, FL 34996
(772) 288-5916

MORRIS, ALAN B
DRIFTWOOD HOMES
2163 NE PINE RIDGE ST
JENSEN BEACH, FL 34957

NOTICE TO ALL CONTRACTORS

PLEASE BE ADVISED THAT MARTIN COUNTY, FLORIDA SECTION 43.42 REQUIRES COMPLIANCE WITH THE FOLLOWING EXERPT FROM THE GENERAL ORDINANCES OF THE MARTIN COUNTY CODE:

PROHIBITED ACTIVITIES:

43.42 R Advertising contracting work in any advertisement to the public in a newspaper or telephone directory without including in the advertisement the number of the contractor license issued to the person or business being advertised.

43.42 S Operating any commercial vehicle in the course of conducting the practice of contracting that fails to display the contractor license number of the contractor.

If you have any questions relating to the information in this letter , please contact the Martin County Contractor's Licensing Division of the Martin County Building Department.



MARTIN COUNTY, FLORIDA
Construction Industry Licensing Board
Certificate of Competency

RESIDENTIAL CONTRACTOR MARTIN COUNTY

License Number MC00089 Expires: 30-SEP-05

MORRIS, ALAN B
DRIFTWOOD HOMES
2163 NE PINE RIDGE ST
JENSEN BEACH, FL 34957



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD
1940 NORTH MONROE STREET
TALLAHASSEE FL 32399-0783

(850) 487-1395

MORRIS, ALAN B
DRIFTWOOD HOMES & IMPROVEMENTS
2163 NE PINE RIDGE STREET
JENSEN BEACH FL 34957

STATE OF FLORIDA AC# 1001407
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
RR0056789 030083054
REGISTERED RESIDENTIAL CONTR
MORRIS, ALAN B
DRIFTWOOD HOMES & IMPROVEMENTS
(INDIVIDUAL MUST MEET ALL LOCAL
LICENSING REQUIREMENTS PRIOR
TO CONTRACTING IN ANY AREA)
HAS REGISTERED under the provisions of Ch.489
Expiration date: AUG 31, 2005 L03080701826

DETACH HERE

AC# 1001407

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L03080701826

DATE	BATCH NUMBER	LICENSE NBR
08/07/2003	030083054	RR0056789

The RESIDENTIAL CONTRACTOR
Named below HAS REGISTERED
Under the provisions of Chapter
Expiration date: AUG 31, 2005
(INDIVIDUAL MUST MEET ALL LOCAL
REQUIREMENTS PRIOR TO CONTRACTING IN ANY AREA)

MORRIS, ALAN B
DRIFTWOOD HOMES & IMPROVEMENTS
2163 NE PINE RIDGE STREET
JENSEN BEACH FL 34957



JEB BUSH
GOVERNOR

DIANE CARR
SECRETARY

DISPLAY AS REQUIRED BY LAW

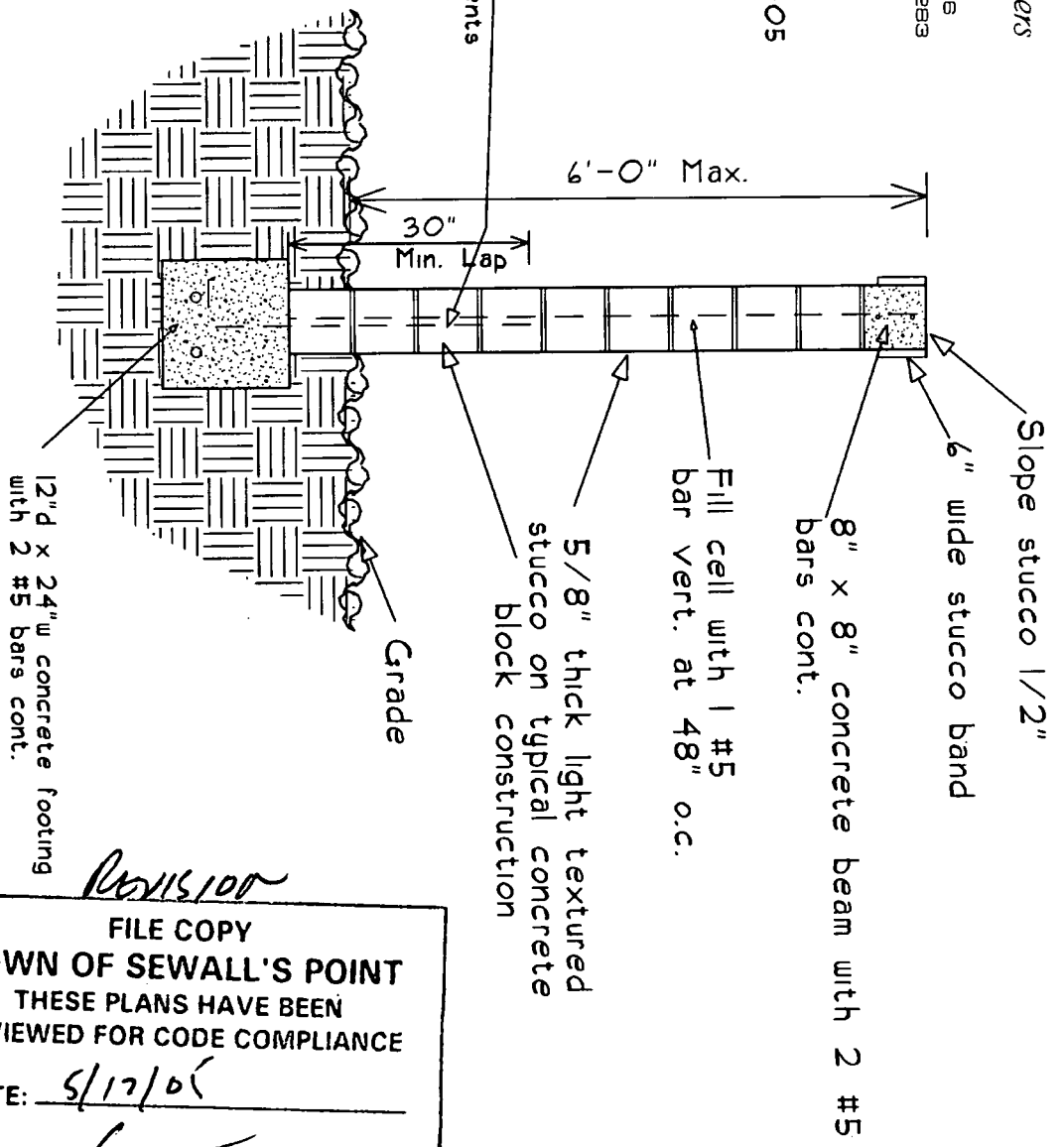
BRADEN & BRADEN, A. I. A., P. A.
Architects & Planners

417 COCONUT AVENUE, STUART, FLORIDA 34995
 TELEPHONE: (772) 287-8258 FAX (772) 287-8283
 #AAC-000032

Garden Wall For: _____
 Peterson Residence

5-16-05

Contractor to lap steel min. 30"
 per Florida building Code Requirements



Garden Wall Section

JOB# 04-68

Scale: 1/2" = 1'-0"

Revision
 FILE COPY
 TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE: 5/17/06

 BUILDING OFFICIAL
 Gene Simmons

7798

POOL ENCLOSURE

TOWN OF SEWALL'S POINT

Date 9-23-05

BUILDING PERMIT NO. 7798

Building to be erected for PETERSON

Type of Permit Pool Enclosure

Applied for by K&S INDUSTRIES (Contractor)

Building Fee 120.00

Subdivision RIO VISTA Lot 96 Block _____

Radon Fee _____

Address 49 RIO VISTA

Impact Fee _____

Type of structure SKR

A/C Fee _____

Parcel Control Number: 1238410020000096050000

Electrical Fee _____

Plumbing Fee _____

Roofing Fee _____

Amount Paid 120.00 Check # 7715 Cash _____ Other Fees (_____)

Total Construction Cost \$ 10,000.

TOTAL Fees 120.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official

PERMIT

- | | | |
|--|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input checked="" type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

RECEIVED
9/21/05

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: _____

Date: 9-16-05

OWNER/TITLEHOLDER NAME: OWE & COLTHA PETERSON Phone (Day) _____ (Fax) _____

Job Site Address: 49 RIO VISTA DR. City: SEWALL'S Pt. State: FL Zip: _____

Legal Desc. Property (Subd/Lot/Block) RIO VISTA S/D Lot 90 Parcel Number: 123841002000009005

Owner Address (if different): 530 Sedgwick Dr. City: Libertyville State: IL Zip: 60048

Description of Work To Be Done: screen pool enclosure

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 10,000

(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

(If no, fill out the Contractor & Subcontractor sections below)
(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: K&S Industries Phone: 879-6885 Fax: 879-6910

Street: 1379 SW Biltmore St. City: Port St. Lucie State: FL Zip: 34983

State Registration Number: _____ State Certification Number: _____ Martin County License Number: SP-00356

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic. # _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER AL Engineering Lic. # 28439 Phone Number: 941-205-2023

Street: 25418 E. Marion AV. City: Punta Gorda State: FL Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: 860 #

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR (AGENT) SIGNATURE (required) Stephen J. Mahlschnee

State of Florida, County of: SAINT LUCIE

This the 15th day of September, 2005

by Stephen J. Mahlschnee who is personally known to me or produced

as identification. Jerome P. Buckenmeyer

Notary Public _____ My Commission Expires: 2-7-08

CONTRACTOR SIGNATURE (required) Stephen J. Mahlschnee

On State of Florida, County of: SAINT LUCIE

This the 15th day of September, 2005

by Stephen J. Mahlschnee who is personally known to me or produced

as identification. Jerome P. Buckenmeyer

Notary Public _____ My Commission Expires: 2-7-08

Notary Public Jerome P. Buckenmeyer Commission # DD276484 My Commission Expires: 2-7-08
Seal Jerome P. Buckenmeyer Expires: Feb 07, 2008 Bonded Thru _____
Notary Public Jerome P. Buckenmeyer Commission # DD276484 My Commission Expires: 2-7-08
Seal Jerome P. Buckenmeyer Expires: Feb 07, 2008 Bonded Thru _____

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____ TAX FOLIO # 123841002000009605

NOTICE OF COMMENCEMENT

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

49 RIO VISTA DR SEWELL'S POINT, LOT 96 RIO VISTA SUB.

GENERAL DESCRIPTION OF IMPROVEMENT: SCREEN POOL ENCLOSURE

OWNER: OWE C. AND COLETTA B. PETERSEN

ADDRESS: 49 RIO VISTA DR. SEWELL'S POINT FL.

PHONE #: _____ **FAX #:** _____

CONTRACTOR: K & S INDUSTRIES Inc.

ADDRESS: 1379 S.W. BILTMORE ST. PONT ST. WOOD FL. 34983

PHONE #: 879-6885 **FAX #:** 879-6910

SURETY COMPANY (IF ANY): _____

ADDRESS: STATE OF FLORIDA

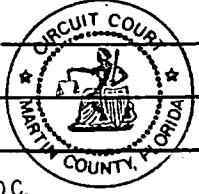
PHONE #: _____ **FAX #:** _____

BOND AMOUNT: _____ **THIS IS TO CERTIFY THAT THE FOREGOING** 1 **PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.**

LENDER: _____ **MARSHA EWING, CLERK**

ADDRESS: _____ **BY** [Signature] **D.C.**

PHONE #: _____ **DATE** 9-23-05 **FAX #:** _____



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1XA)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ **FAX #:** _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1XB), FLORIDA STATUTES.

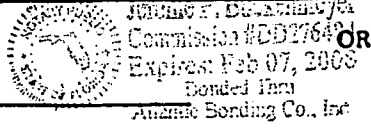
PHONE #: _____ **FAX #:** _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____ **THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.**

[Signature] / Coletta B. Petersen
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 21 **DAY OF** SEPT **2005** **BY** _____

[Signature]
NOTARY SIGNATURE



PERSONALLY KNOWN **PRODUCED ID** _____ **TYPE OF ID** _____

INSTR # 1874772 DR BK 02063 FG 2174 RECD 09/23/2005 12:11:35 PM
MARSHA EWING MARTIN COUNTY DEPUTY CLERK S Phenix

ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID LP
P&SSE-1

DATE (MM/DD/YYYY)
09/02/05

PRODUCER R.V. Johnson Agency, Inc. (JOK) 2041 E Ocean Blvd. Stuart FL 34996 Phone: 772-287-3366 Fax: 772-287-4439		THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
INSURED P & S Seamless Gutters Inc. K & S Industries of the TC Inc. 1379 SW Biltmore Street Port St. Lucie FL 34983		INSURERS AFFORDING COVERAGE	NAIC #
		INSURER A: North Pointe Ins. Co.	03510
		INSURER B: FCCI Insurance Company	20141
		INSURER C:	
		INSURER D:	
		INSURER E:	

COVERAGES

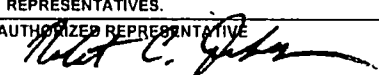
THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR	INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A		GENERAL LIABILITY	3094084292	10/01/05	10/01/06	EACH OCCURRENCE	\$ 500,000.
		<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 100,000
		<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$ 5,000.
						PERSONAL & ADV INJURY	\$ 500,000.
						GENERAL AGGREGATE	\$ 1,000,000.
						PRODUCTS - COMP/OP AGG	\$ 1,000,000.
						GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	
		AUTOMOBILE LIABILITY	NOT COVERED W/THIS AGENCY			COMBINED SINGLE LIMIT (Ea accident)	\$
		<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
		<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$
		<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$
		GARAGE LIABILITY	NOT COVERED W/THIS AGENCY			AUTO ONLY - EA ACCIDENT	\$
		<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC AGG	\$
		EXCESS/UMBRELLA LIABILITY	NOT COVERED W/THIS AGENCY			EACH OCCURRENCE	\$
		<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$
		<input type="checkbox"/> DEDUCTIBLE					\$
B		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	46301	05/26/05	05/26/06	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER	
		ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				E.L. EACH ACCIDENT	\$ 100,000
		If yes, describe under SPECIAL PROVISIONS below				E.L. DISEASE - EA EMPLOYEE	\$ 100,000
		OTHER				E.L. DISEASE - POLICY LIMIT	\$ 500,000

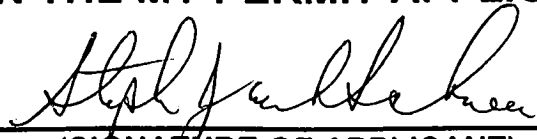
DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS
 30 days notice of cancellation for workers compensation coverage.
 Companies have the option to cancel 10 days for non-payment.

CERTIFICATE HOLDER

CANCELLATION

TOWN024 Town of Sewalls Point 1 S. Sewalls Point Road Stuart FL 34996	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10* DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE 
--	---

**ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE
ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE**



(SIGNATURE OF APPLICANT)

DATE SUBMITTED: 9-21-05



MARTIN COUNTY, FLORIDA
Construction Industry Licensing Board
Certificate of Competency

ALUMINUM/CONCRETE CONTRACTOR

License Number SP00356 Expires: 30-SEP-07

MAHLSCHNEE, STEPHEN J
K & S IND OF THE TC INC
1379 SW BILTMORE ST
PORT ST LUCIE, FL 34983

ALUMINUM EXTRUSIONS I.D. CHART

MARK	DESCRIPTION	WT/FT	AREA	WALL t	FLGE t	ALLOY
------	-------------	-------	------	--------	--------	-------

STRUCTURAL ITEMS DESCRIBED

(A)	1x2 OPEN BACK	0.276	0.230	0.044	0.044	6063-T6
(B)	1x3 OPEN BACK	0.384	0.320	0.050	0.050	6063-T6
(C)	3x2 PATIO BEAM	0.681	0.579	0.050	0.050	6063-T6
(D)	2x2 PATIO BEAM	0.510	0.441	0.044	0.044	6063-T6
(E)	2x2 SNAP BEAM	0.542	0.461	0.041	0.041	6063-T6
(F)	2x3 PATIO BEAM	0.681	0.579	0.050	0.050	6063-T6
(G)	2x3 SNAP BEAM	0.680	0.578	0.045	0.045	6063-T6
(H)	2x4 PATIO BEAM	0.799	0.679	0.050	0.050	6063-T6
(I)	2x4 SNAP BEAM	0.786	0.668	0.045	0.045	6063-T6
(J)	2x4 SMB	1.008	0.857	0.044	0.135	6063-T6
(K)	2x5 SMB	1.092	0.952	0.050	0.135	6063-T6
(L)	2x6 SMB	1.342	1.141	0.054	0.135	6063-T6
(M)	2x7 SMB	1.515	1.288	0.057	0.135	6063-T6
(N)	2x8 SMB	2.147	1.826	0.072	0.224	6063-T6
(O)	2x9 SMB	2.317	1.970	0.072	0.224	6063-T6
(P)	2x10 SMB	3.504	3.028	0.092	0.389	6063-T6
(Q)	3x2 POST BEAM	0.800	0.680	0.070	0.070	6063-T6
(AU)	3x3 SCALLOPED TUBE	0.596	0.507	.044-.078	.044-.078	6063-T6
(AV)	3x3-0.093 TUBE	1.256	1.068	0.093	0.093	6063-T6
(AW)	3x3-0.125 TUBE	1.691	1.438	0.125	0.125	6063-T6
(AX)	4x4-0.125 TUBE	2.279	1.938	0.125	0.125	6063-T6
(AY)	4x4-0.250 TUBE	4.41	3.75	0.250	0.250	6061-T6
(AZ)	6x6-0.125 TUBE	3.46	2.94	0.125	0.125	6063-T6

ANGLES DESCRIBED

(AA)	2x2x.125 ANGLE	0.569	0.484	0.125	0.125	6063-T6
(AB)	2x2x.093 ANGLE	0.427	0.363	0.093	0.093	6063-T6
(AC)	1x1x.062 ANGLE	0.141	0.120	0.062	0.062	6063-T6
(AD)	1x2x.062 ANGLE	0.214	0.182	0.062	0.062	6063-T6
(AE)	1x3x.110 ANGLE	0.323	0.275	0.110	0.110	6063-T6

RECEIVING CHANNELS DESCRIBED

(CA)	1.5x2.125x.062	0.362	0.308	0.062	0.062	6063-T6
(CB)	1.5x3.125x.062	0.438	0.372	0.062	0.062	6063-T6
(CC)	1.75x3.23x.110	0.834	0.710	0.110	0.110	6063-T6
(CD)	2x4.125x.125	1.157	0.984	0.125	0.125	6063-T6

SUPER GUTTERS DESCRIBED

(GA)	4'x4' EXTRUDED	1.270	1.080	0.070	0.070	6063-T6
(GB)	4'x5' EXTRUDED	1.358	1.155	0.075	0.075	6063-T6
(GC)	4'x7' EXTRUDED	2.342	2.012	0.100	0.100	6063-T5

NOTE: THESE EXTRUSIONS ARE AN 'OVERVIEW' OF WHAT IS READILY AVAILABLE & DOES NOT CONSTITUTE A COMPLETE LISTING OF WHAT IS AVAILABLE.

ABDR

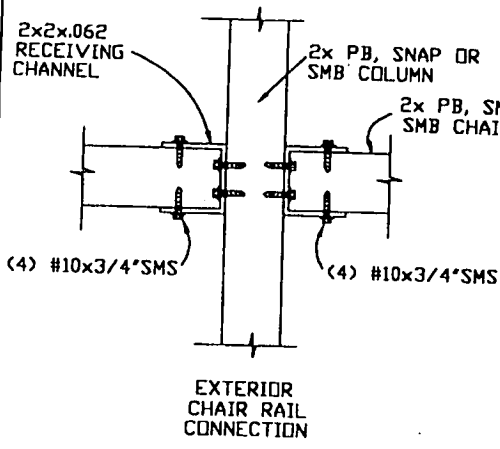
3871 TAMiami TRAIL, SUITE E
PORT CHARLOTTE, FL 33952
PHONE: (941) 627-4901
FAX: (941) 624-2382



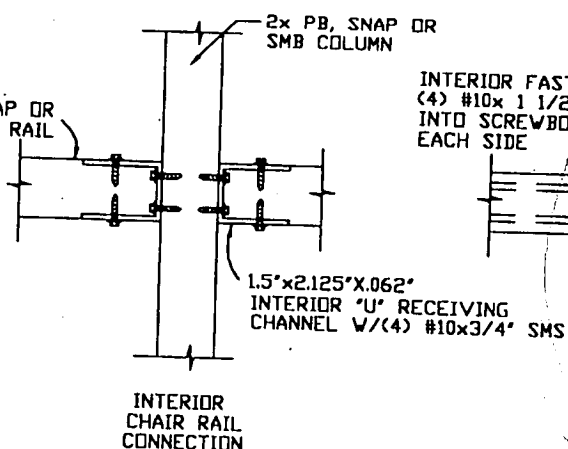
ALUMINUM STRUCTURES MASTER PLAN
ENGINEERING, INC. © COPYRIGHT AL ENGINEERING, INC. 2002
AL ENGINEERING, INC. FLORIDA LICENSE #7441

PAGE 30 OF 288
REVISED 9/27/02

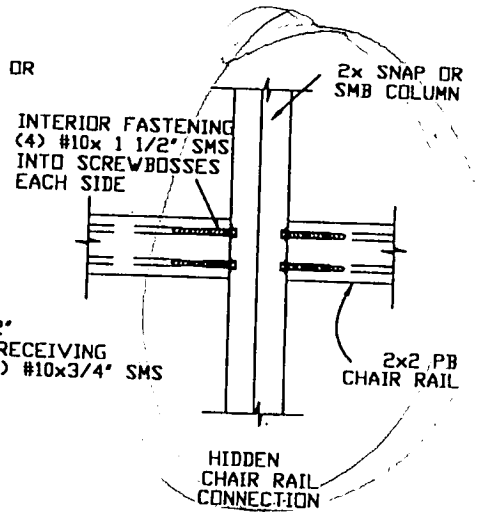
CHAIR RAIL CONNECTIONS



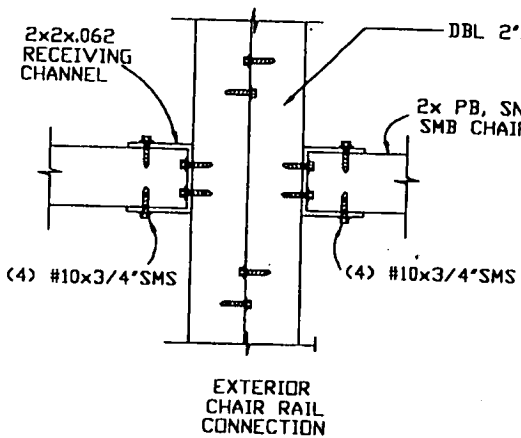
DETAIL (A)



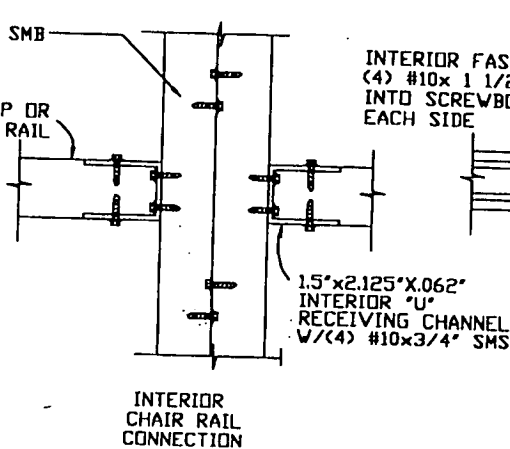
DETAIL (B)



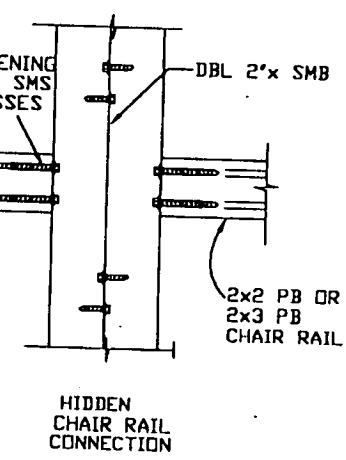
DETAIL (C)



DETAIL (C)



DETAIL (D)



DETAIL (E)

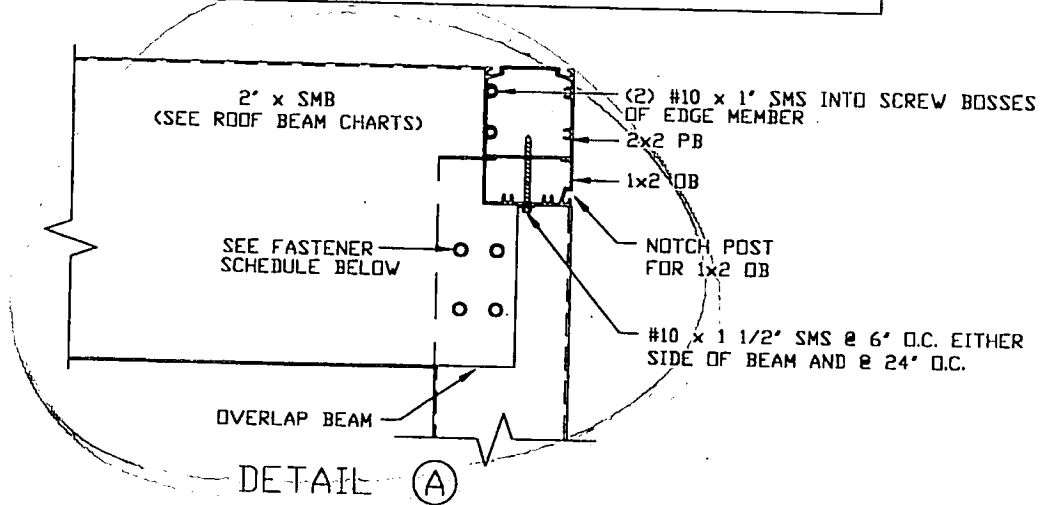
CRCD

3871 TAMIAHI TRAIL, SUITE E
 PORT CHARLOTTE, FL 33952
 PHONE: (941) 627-4901
 FAX: (941) 624-2382

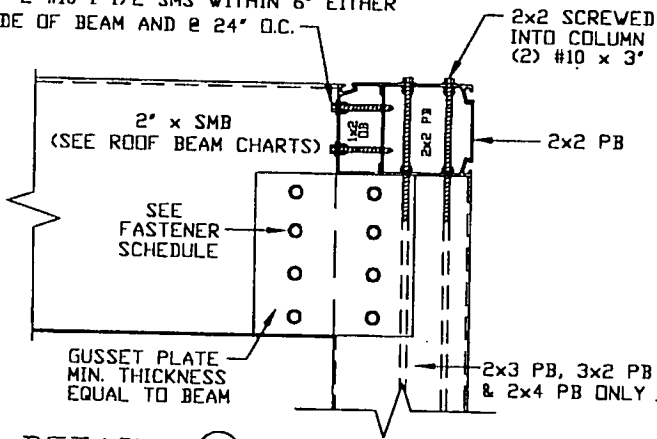


ALUMINUM STRUCTURES MASTER PLAN
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BEAM TO COLUMN CONNECTIONS

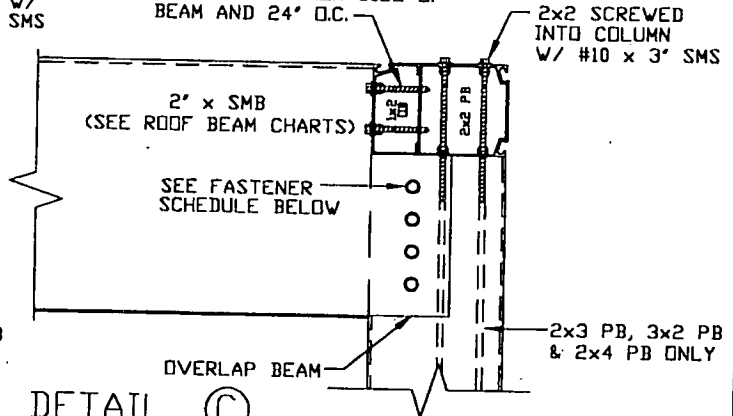


1x2 OB INTERNAL SCREWED TO 2x2 W/ 2 #10 1 1/2 SMS WITHIN 6' EITHER SIDE OF BEAM AND @ 24' O.C.



DETAIL B

1x2 OB INTERNAL SCREWED TO 2x2 W/ (2)#10 1-1/2" SMS WITHIN 6' EITHER SIDE OF BEAM AND 24' O.C.



DETAIL C

POST SIZE	TOTAL # OF FASTENERS TO COMPLETE CONNECTION	DISTANCE FROM OVERLAP	FASTENER VERTICAL SPACING	FASTENER HORIZONTAL SPACING	DISTANCE FROM EDGE
2x3 PB	16 - #10 SMS	0.5'	1'	1'	0.5'
3x2 PB	16 - #10 SMS	0.5'	1'	1'	0.5'
2x4 SB,PB,SMB	*	0.5'	1'	1'	0.5'
2x5 SMB	26 - #10 SMS	0.5'	1'	1'	0.5'
2x6 SMB	28 - #10 SMS	0.5'	1'	1.5'	0.5'
2x7 SMB	30 - #10 SMS	0.5'	1'	1.5'	0.5'
2x8 SMB	34 - #10 SMS	0.5'	1'	1.5'	0.5'
2x9 SMB	34 - #10 SMS	0.5'	1'	3'	0.5'
2x10 SMB	40 - #10 SMS	0.5'	1'	3'	0.5'

* GUSSET PLATE MUST BE USED IN CONJUNCTION WITH (18)-#10 SMS FOR A 2x4 PB,SB, OR SMB FOR ALL SCENARIOS.

NOTES: 1x2 OB AND 2x2 PB CAN BE ROTATED ON ALL CONNECTIONS DETAILS. EXAMPLE: USING DETAIL B WITH THE TOP 2x2 AND 1x2 POSITIONED UPRIGHT AS SHOWN IN DETAIL A IS OK, USE FASTENERS SCHEDULE OF GUSSET PLATE AS INDICATED.

FASTENERS SHALL BE PLACED A MINIMUM OF .5' FROM EDGE OF BEAM AND FASTENERS SHALL NOT BE PLACED LESS THAN 3d APART. IF THESE SPACINGS CANNOT BE ACHIEVED, THEN GUSSET PLATES SHALL BE INSTALLED OR AL ENGINEERING, INC. MUST REVIEW AND PROVIDE APPROVAL.

BCCPCC

3871 TAMiami TRAIL, SUITE E
PORT CHARLOTTE, FL 33952
PHONE: (941) 627-4901
FAX: (941) 624-2382



ALUMINUM STRUCTURES MASTER PLAN

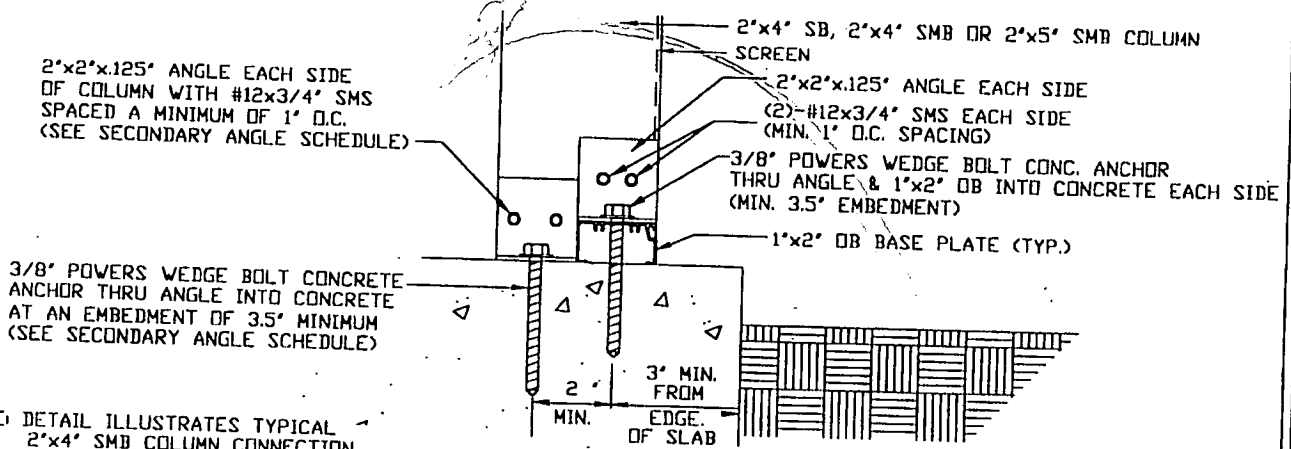
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POST/COLUMN TO CONCRETE DETAILS

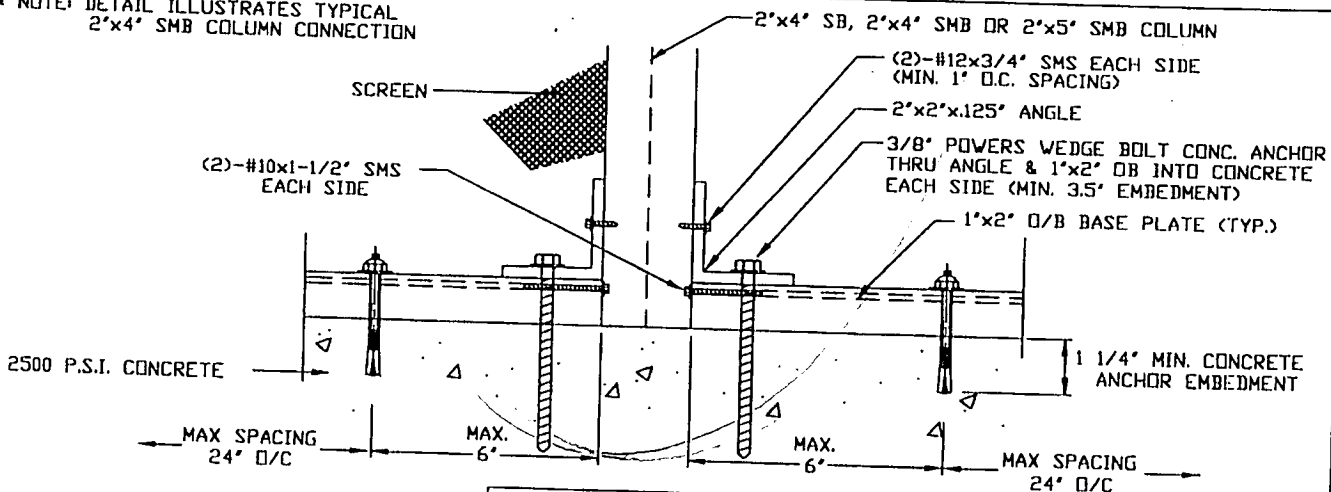
DETAIL (A)



* NOTE: DETAIL ILLUSTRATES TYPICAL 2'x4' SMB COLUMN CONNECTION

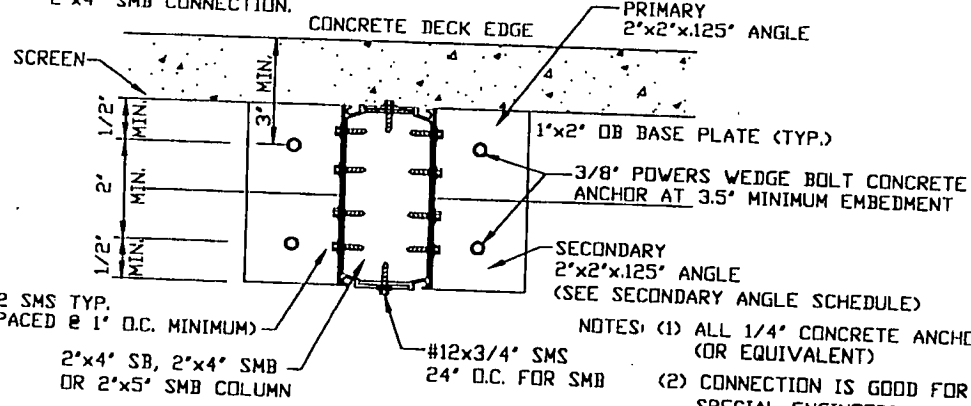
SIDE VIEW

* NOTE: DETAIL ILLUSTRATES TYPICAL 2'x4' SMB COLUMN CONNECTION



FRONT VIEW

NOTE: DETAIL ILLUSTRATES TYPICAL 2'x4' SMB CONNECTION.



SECONDARY ANGLE SCHEDULE

COLUMN SIZE SMB OR SB	TOTAL CONCRETE ANCHORS	TOTAL #12x3/4' SMS
2'x 4'	(2) 3/8"	4
2'x 5'	(2) 3/8"	4

- NOTES: (1) ALL 1/4" CONCRETE ANCHORS TO BE POWERS POWER-BOLTS (OR EQUIVALENT)
(2) CONNECTION IS GOOD FOR 3,475 POUNDS OF UPLIFT. SPECIAL ENGINEERING IS REQUIRED TO EXCEED 3,475 POUNDS.
(3) CONNECTION IS BASED ON 3" MINIMUM EDGE DISTANCE AND 2" SPACING OF FASTENERS.

TOP VIEW

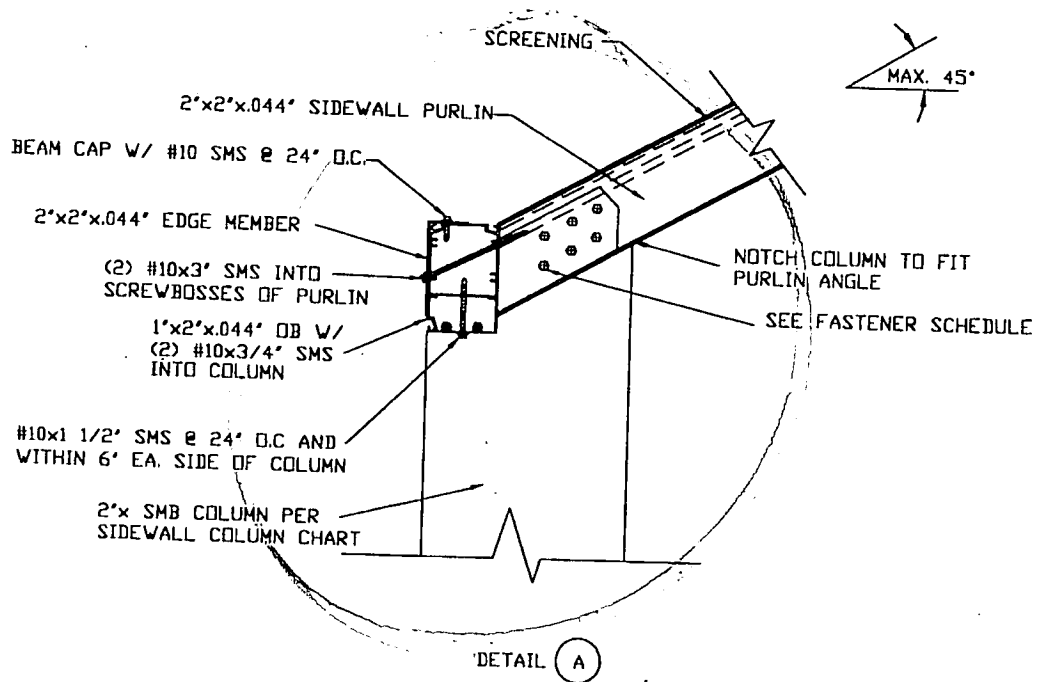
PCCD1

3871 TAMiami TRAIL, SUITE E
PORT CHARLOTTE, FL 33952
PHONE: (941) 627-4901
FAX: (941) 624-2382



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PURLIN TO COLUMN CONNECTION SCREEN WALL/SCREEN ROOF



FASTENERS SCHEDULE	
COLUMN USED	FASTENERS REQUIRED
2 x 4 PB	4 #10 SMS EACH SIDE 3 #12 SMS EACH SIDE
2 x 4 SMB	4 #10 SMS EACH SIDE 3 #12 SMS EACH SIDE
2 x 5 SMB	5 #10 SMS EACH SIDE 4 #12 SMS EACH SIDE
2 x 6 SMB	6 #10 SMS EACH SIDE 4 #12 SMS EACH SIDE

NOTES: (1) ILLUSTRATED AS 2"x6" SMB COLUMN
 (2) MINIMUM O.C. SPACING OF COLUMN TO PURLIN FASTENERS TO BE NO LESS THAN .57' FOR #10 SMS AND .75' USING #12 SMS, MINIMUM EDGE DISTANCE TO BE NO LESS THAN .5' USING EITHER SCREW

OK TO ROTATE 1/2 AND 2X2

PCC1

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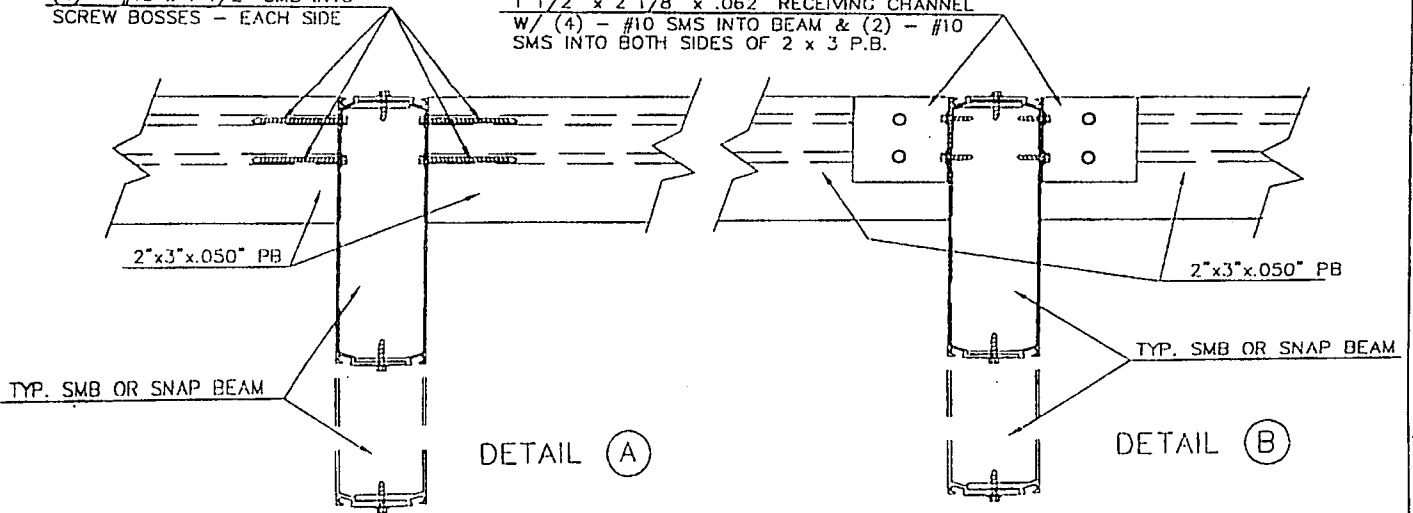


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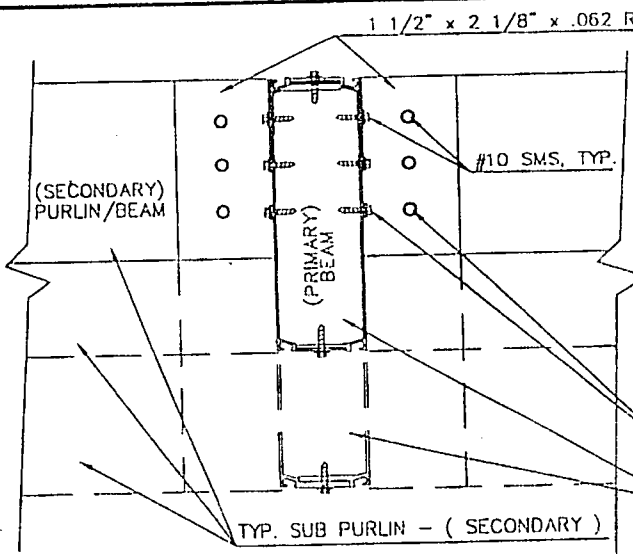
PURLIN/BEAM TO BEAM CONN. DETAILS

(4) - #10 x 1 1/2" SMS INTO SCREW BOSSES - EACH SIDE

1 1/2" x 2 1/8" x .062" RECEIVING CHANNEL
W/ (4) - #10 SMS INTO BEAM & (2) - #10 SMS INTO BOTH SIDES OF 2 x 3 P.B.



MINIMUM 1" CENTER-TO-CENTER SCREW SPACING
MINIMUM 1/2" EDGE DISTANCE



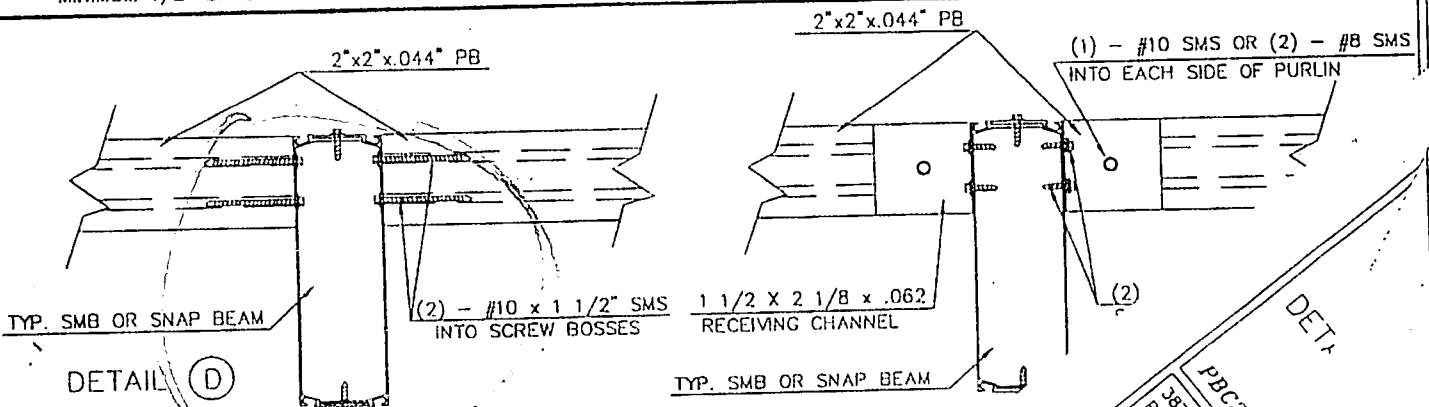
(SECONDARY) PURLIN/BEAM	#12 SMS INTO PRIMARY BEAM (BOTH SIDES)	#10 SMS EACH SIDE OF SECONDARY/BEAM (PURLIN)
2 x 4 SMB, SB OR PB	4	3
2 x 5 SMB	4	3
2 x 6 SMB	5	4
2 x 7 SMB	6	5
2 x 8 SMB	7	5
2 x 9 SMB	8	6
2 x 10 SMB	8	7

SEE SCHEDULE FOR FASTENERS

DETAIL C

NOTE: ILLUSTRATED AS 2x4 SMB SECONDARY PURLIN / BEAM

MINIMUM 1" CENTER-TO-CENTER SCREW SPACING
MINIMUM 1/2" EDGE DISTANCE FOR #12 SMS & 1" EDGE DISTANCE FOR #10 SMS



DETAIL D

NOTES: MINIMUM 1" CENTER-TO-CENTER SCREW SPACING.
MINIMUM 1/2" CENTER TO CENTER DISTANCE FROM SCREEN TO EDGE OF ML

PBC

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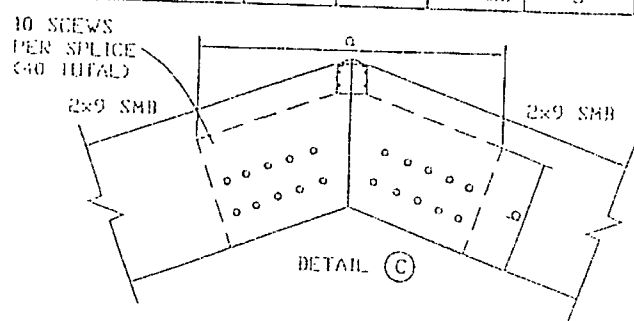
PBC2
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#49

BEAM TO BEAM CONNECTION DETAILS

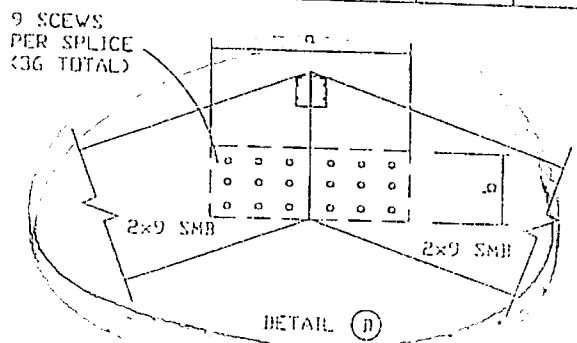
SPACING BETWEEN SCREWS SHALL NOT BE LESS THAN 3d.
 MINIMUM DISTANCE FROM SCREW TO EDGE OF MEMBER SHALL NOT BE LESS THAN 0.5".
 GUSSET THICKNESS MUST BE GREATER OR EQUAL TO WALL THICKNESS OF BEAM.

BEAM SIZE	TOTAL # OF FASTENERS TO COMPLETE CONNECTION	"a"	"b"	DISTANCE FROM SPLICE	FASTENER VERTICAL SPACING	FASTENER HORIZONTAL SPACING	DISTANCE FROM EDGE
2x4 PB	20 - #10 SMS	7.35'	2.15'	0.5'	1.12'	1.14'	0.5'
2x4 SB	24 - #10 SMS	7.35'	2.15'	0.5'	1.12'	1.14'	0.5'
2x4 SMB	28 - #10 SMS	9.5'	2.5'	0.5'	1.12'	1.14'	0.5'
2x5 SMB	28 - #10 SMS	9.75'	2.5'	0.5'	1.50'	1.14'	0.5'
2x6 SMB	32 - #10 SMS	11.25'	4'	0.5'	2.0'	1.14'	0.5'
2x7 SMB	32 - #10 SMS	12'	5'	0.5'	3'	1.14'	0.5'
2x8 SMB	36 - #10 SMS	14.75'	6'	0.5'	4'	1.14'	0.5'
2x9 SMB	40 - #10 SMS	14.75'	6'	0.5'	4'	1.14'	0.5'
2x10 SMB	44 - #10 SMS	17.5'	7'	0.5'	5'	1.14'	1'



DETAIL SHOWN AS 2x9 SMB, OTHER BEAMS ARE SIMILAR.

BEAM SIZE	TOTAL # OF FASTENERS TO COMPLETE CONNECTION	"a"	"b"	DISTANCE FROM SPLICE	FASTENER VERTICAL SPACING	FASTENER HORIZONTAL SPACING	DISTANCE FROM EDGE
2x4 PB	16 - #10 SMS	7'	2'	1.5'	0.90'	1.14'	0.5'
2x4 SB	16 - #10 SMS	7'	2'	1.5'	0.90'	1.14'	0.5'
2x4 SMB	24 - #10 SMS	8.75'	2'	1.5'	0.90'	1.14'	0.5'
2x5 SMB	24 - #10 SMS	8.75'	3'	1.5'	1.90'	1.14'	0.5'
2x6 SMB	24 - #10 SMS	8.75'	4'	1.5'	2.90'	1.14'	0.5'
2x7 SMB	28 - #10 SMS	11'	4'	1.5'	2.90'	1.14'	0.5'
2x8 SMB	32 - #10 SMS	11.5'	4'	1.5'	2.90'	1.14'	0.5'
2x9 SMB	36 - #10 SMS	13.25'	4'	1.5'	2.90'	1.14'	0.5'
2x10 SMB	44 - #12 SMS	15.5'	5'	1.5'	3.90'	1.14'	0.5'



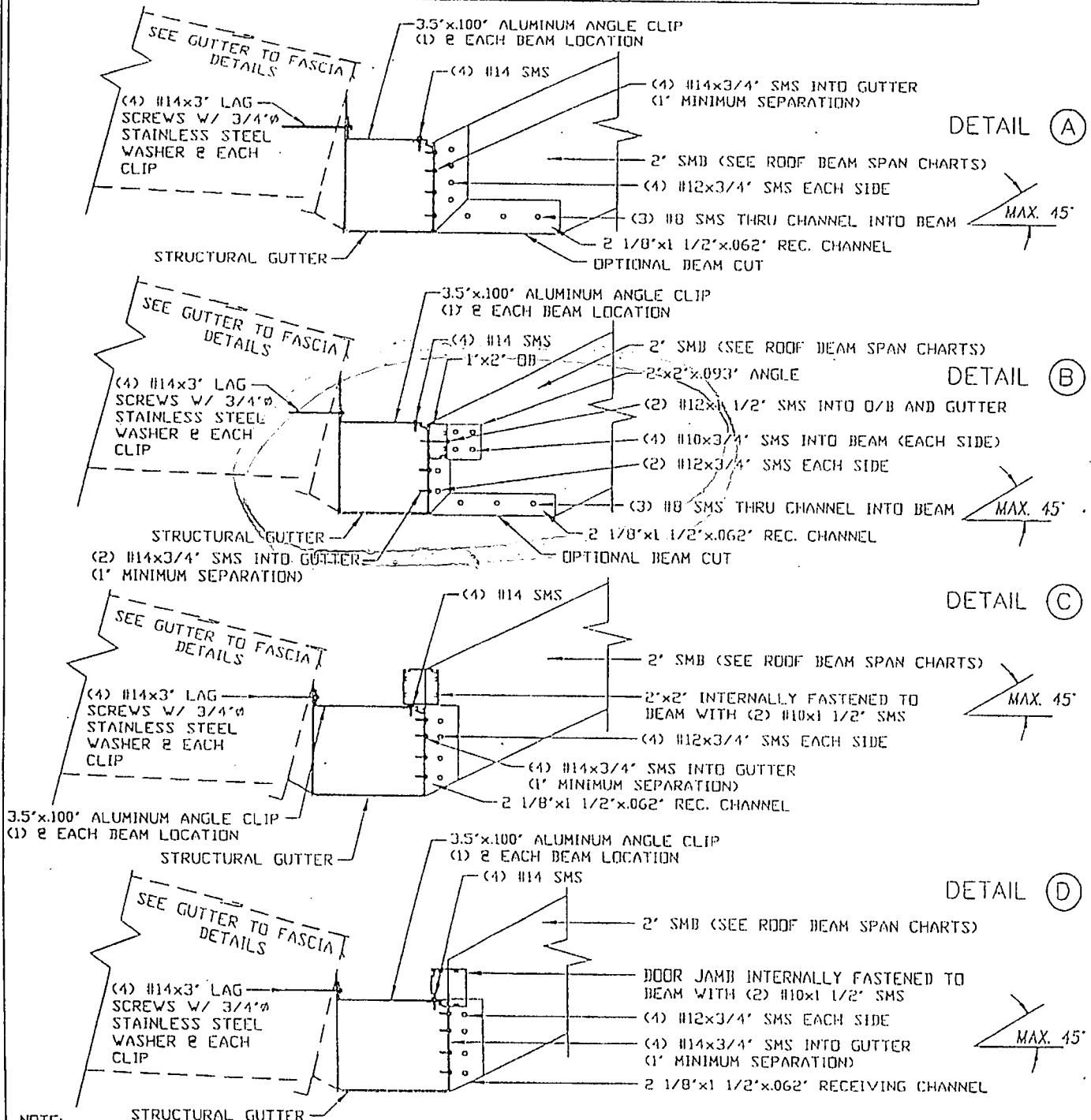
A .125" FLAT BAR MAY BE USED INSTEAD OF GUSSET PLATES CALLED OUT WITH AN APPROPRIATE LENGTH AND WIDTH TO ACCOMMODATE THE REQUIRED SCREWS AND EDGE DISTANCE SPACING

DETAIL SHOWN AS 2x9 SMB, OTHER BEAMS ARE SIMILAR.

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BEAM TO GUTTER DETAILS SCREEN WALL/SCREEN ROOF ONLY



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 - CONTRACTOR SHALL VERIFY STRUCTURAL INTEGRITY OF HOST STRUCTURE.
 - CALCULATIONS ARE BASED ON THE EXISTING STRUCTURE HAVING A 2' MAX. OVERHANG WITH A MINIMUM OF 2x4 TRUSSES SPACED 24" O.C.. TO EXCEED THESE PARAMETERS SPECIAL ENGINEERING IS REQUIRED.

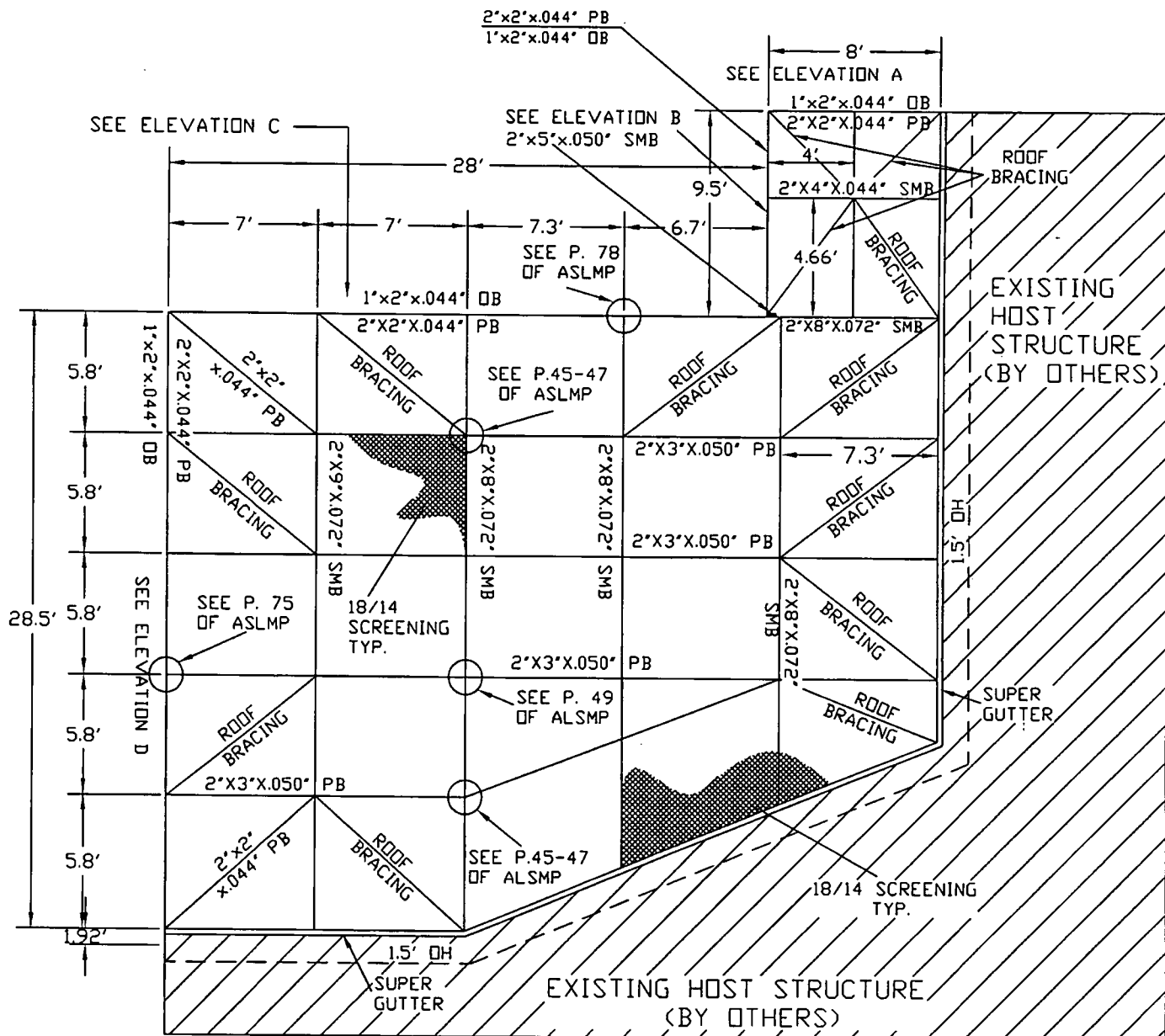
BTC

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SCREEN WALL/ SCREEN ROOF ENCLOSURE

ELEVATION B



NOTE: DIMENSIONS SHOWN ARE "ON CENTER".

JOB #: 05-2088
 CLIENT: K & S INDUSTRIES (12772)
 SCREEN WALL/ SCREEN ROOF ENCLOSURE
 49 RIO VISTA DR SEWELL'S POINT
 DRIFTWOOD HOMES

DRAWINGS NOT TO SCALE

THIS DESIGN MEETS OR EXCEEDS THE REQUIREMENTS OF CHAPTER 16 & 20 OF THE FLORIDA BUILDING CODE 2001 FOR 140mph WINDLOADING, EXPOSURE B, 0.77 IMPORTANCE FACTOR, CATEGORY I STRUCTURE.

THIS DESIGN DOES NOT CONSTITUTE ENGINEERING FOR THE EXISTING STRUCTURE.

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JULY 26, 2005



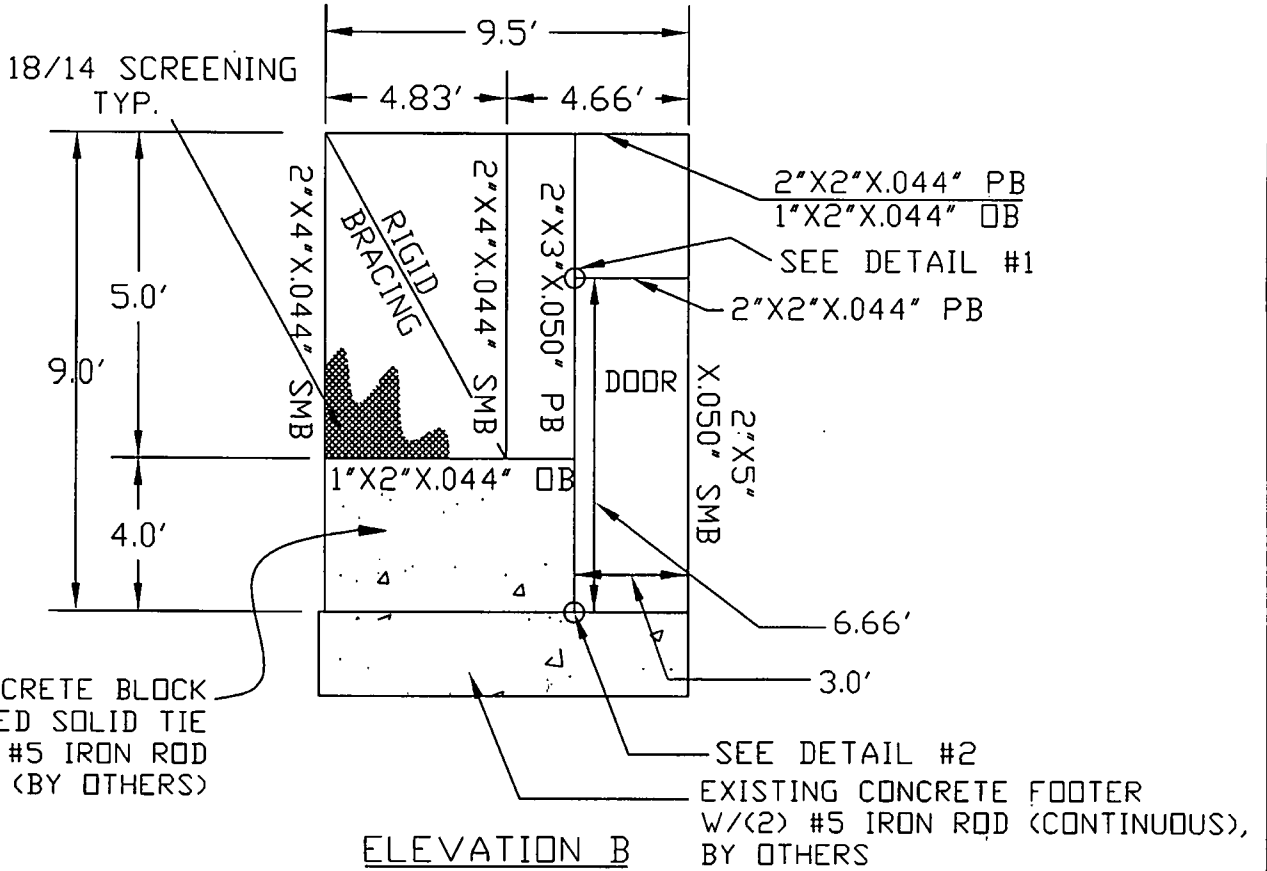
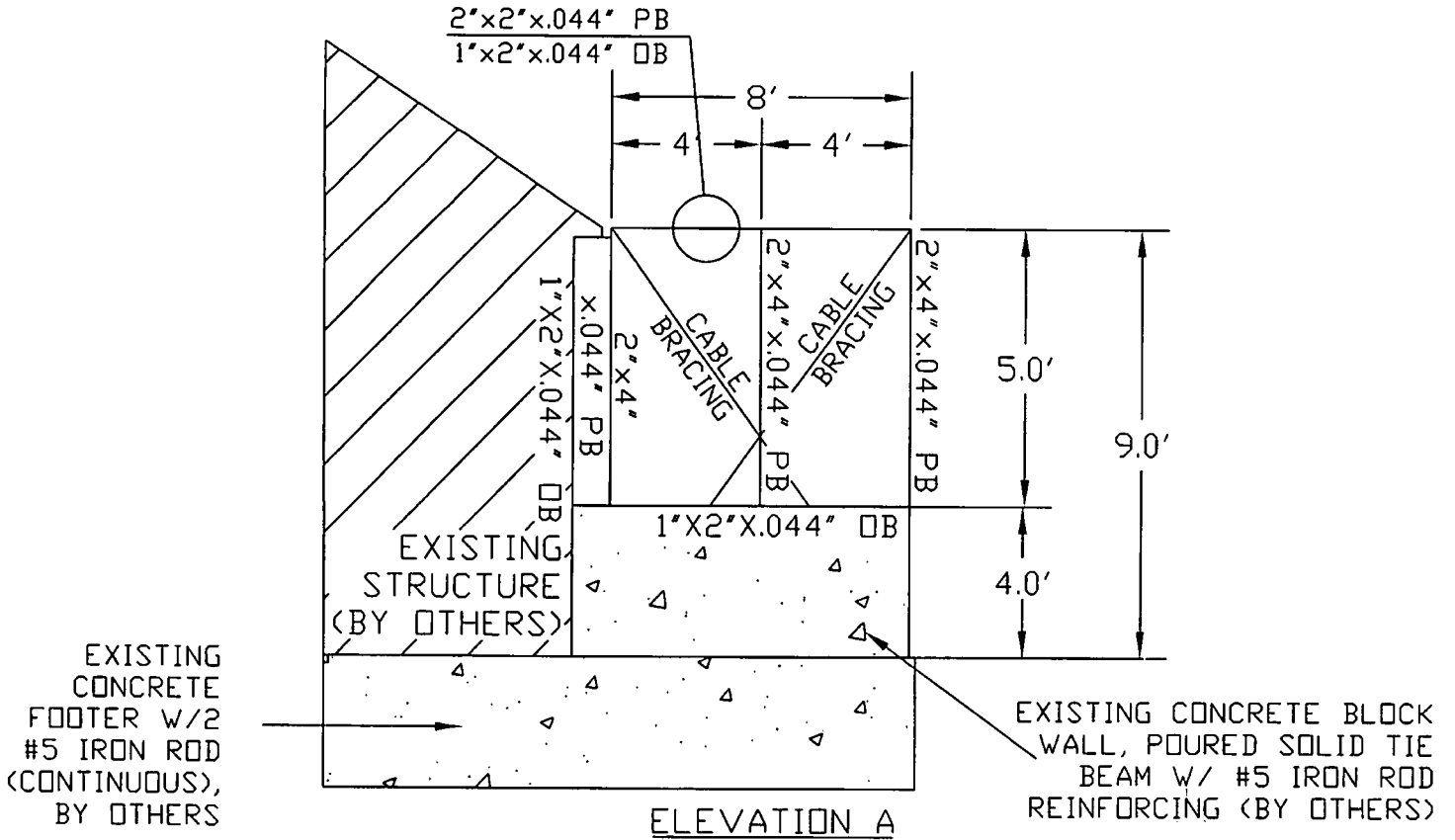
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SCREEN WALL/ SCREEN ROOF ENCLOSURE



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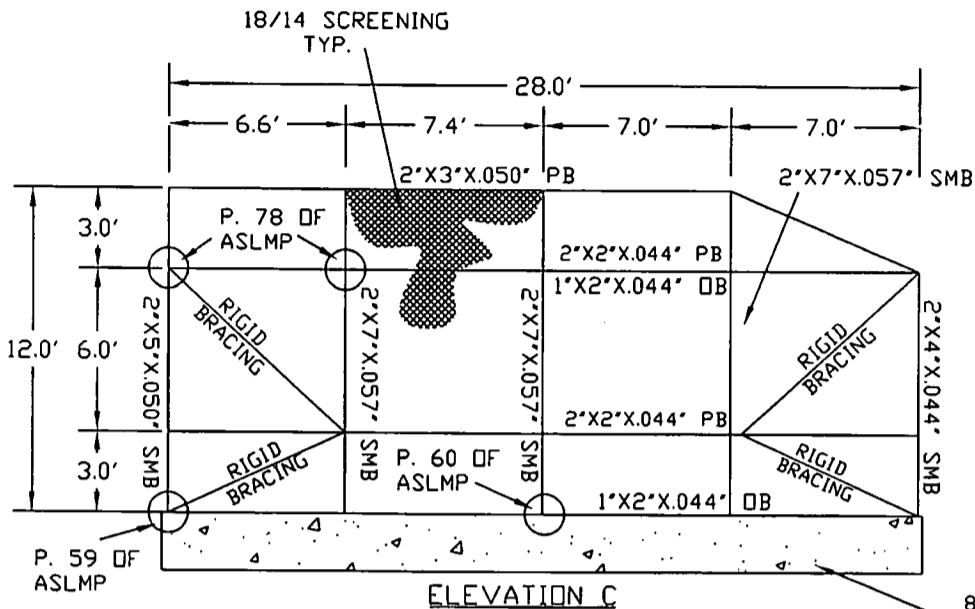
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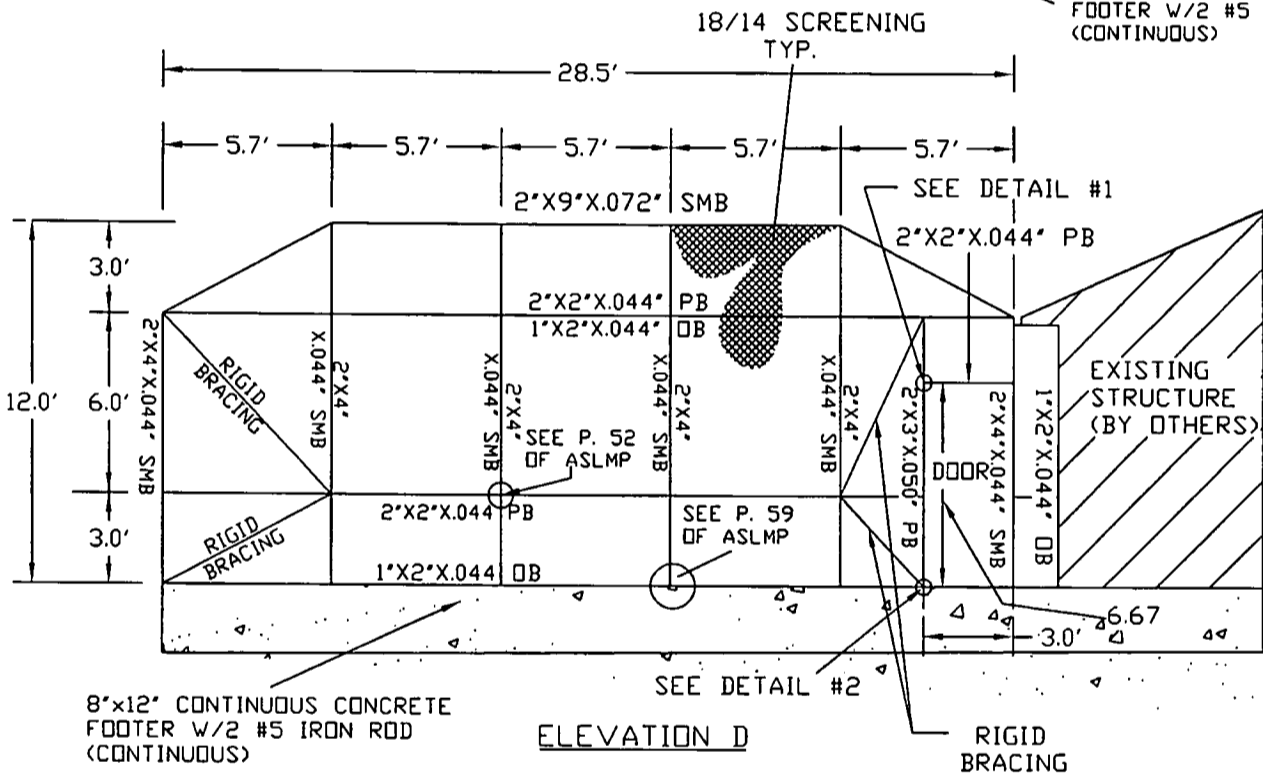
PAGE 2 OF 7

SCREEN WALL/ SCREEN ROOF ENCLOSURE



ELEVATION C

8"x12" CONTINUOUS CONCRETE FOOTER W/2 #5 IRON ROD (CONTINUOUS)



ELEVATION D

8"x12" CONTINUOUS CONCRETE FOOTER W/2 #5 IRON ROD (CONTINUOUS)

RIGID BRACING

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 CLIENT: K & S INDUSTRIES (12772)
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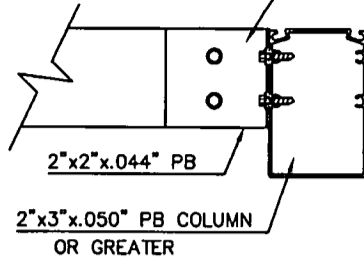
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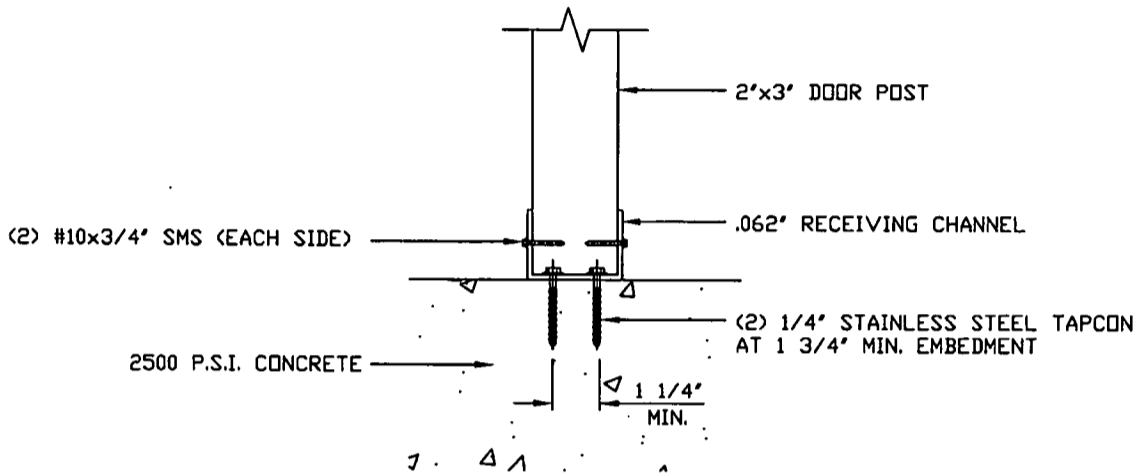
PAGE 3 OF 7

DETAIL #1

1-1/2" x 2-1/8" x .062" RECEIVING CHANNEL
w/ (4) #10 SMS INTO COLUMN & (2) #10
SMS INTO BOTH SIDES OF 2"x2" PB

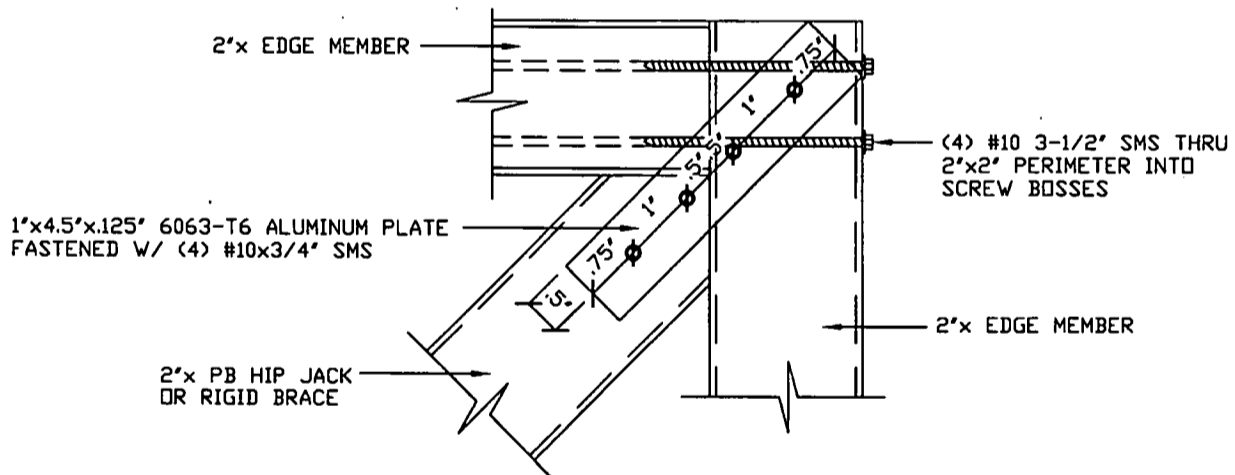


DETAIL #2



CAGE BRACING DETAILS

HIP JACK CONNECTION



NOTE:
TWO #10x3' SMS TO BE INSTALLED THRU THE BOTTOM OF THE HIP JACK AND PENETRATE THE
2'x MEMBER. FASTENERS TO BE INSTALLED @ 1' O.C. AND 1/2' FROM EDGE OF MEMBER.

NOTE:
PROPER PRECAUTIONS SHALL BE TAKEN TO PREVENT GALVANIC
ACTION DUE TO DISSIMILAR METALS AND CORROSIVE ENVIRONMENTS.

JOB #: 05-2088
CLIENT: K & S INDUSTRIES (12772)
SCREEN WALL/ SCREEN ROOF ENCLOSURE
49 RIO VISTA DR SEWELL'S POINT
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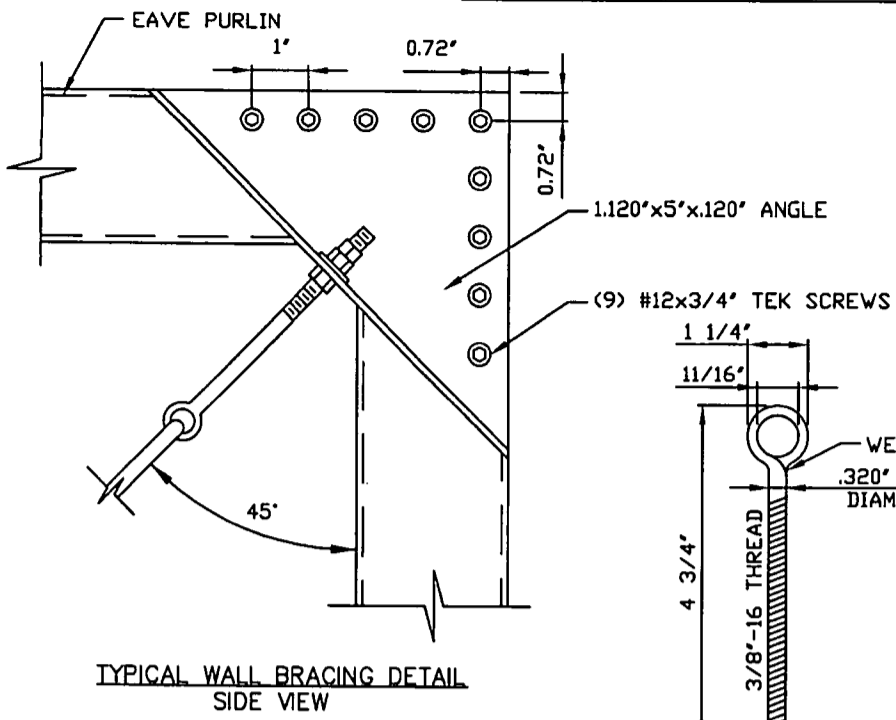
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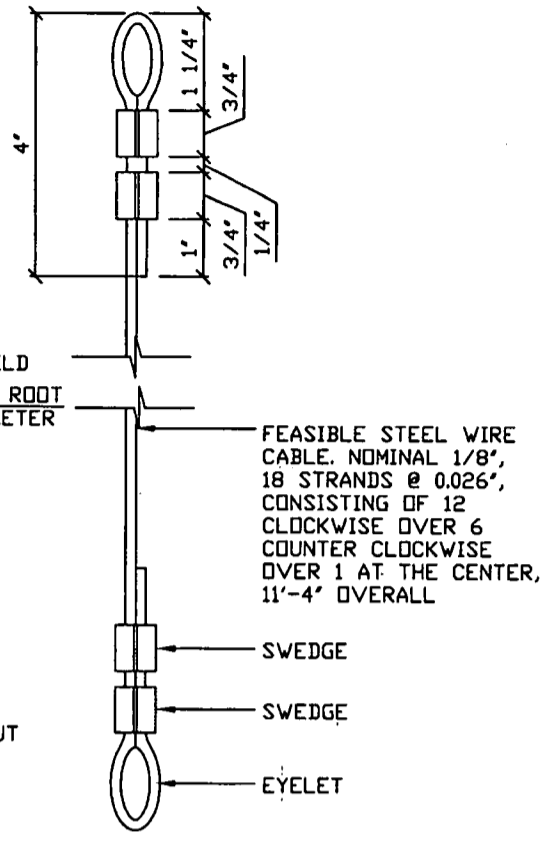
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CAGE BRACING DETAILS CONT'D

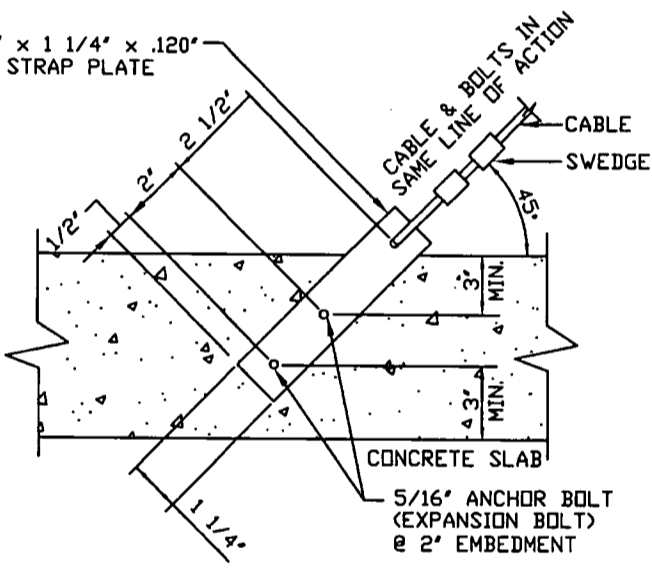


TYPICAL WALL BRACING DETAIL
SIDE VIEW

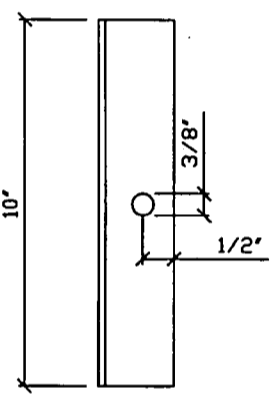
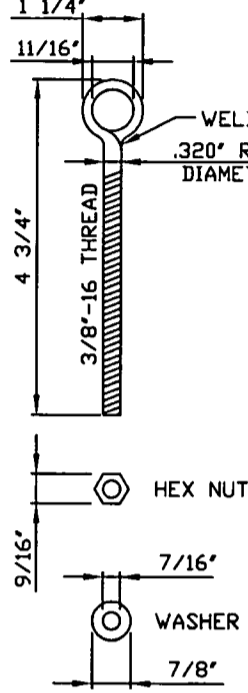


(NOTE: ALUMINUM STRAP MAY BE USED IN LIEU OF GALV. STRAP PLATE PROVIDING PROPER PRECAUTIONS ARE TAKEN TO PREVENT GALVANIC ACTIVITY DUE TO DISSIMILAR METALS)

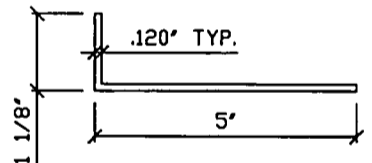
6 1/2' x 1 1/4' x .120' GALV. STRAP PLATE



CONCRETE/ STRAP DETAIL
SIDE VIEW



TRIANGULAR LOAD PLATE
FRONT VIEW - OPTION #1



TRIANGULAR LOAD PLATE
SIDE VIEW - OPTION #1

PREFABRICATED CAGE BRACING SYSTEM

NOTE:

- 1.) PROPER PRECAUTIONS SHALL BE TAKEN TO PREVENT GALVANIC ACTION DUE TO DISSIMILAR METALS AND CORROSIIVE ENVIRONMENTS.
- 2.) SILICONE, CAULK, FLASHING OR EQUIVALENT SHALL BE ADDED TO CREATE WATERTIGHT SEALS AND PREVENT LEAKAGE WHEN CONNECTING TO SUPERGUTTER.

JOB #: 05-2088
CLIENT: K & S INDUSTRIES (12772)
SCREEN WALL/ SCREEN ROOF ENCLOSURE
49 RIO VISTA DR SEWELL'S POINT
DRIFTWOOD HOMES

DRAWINGS NOT TO SCALE

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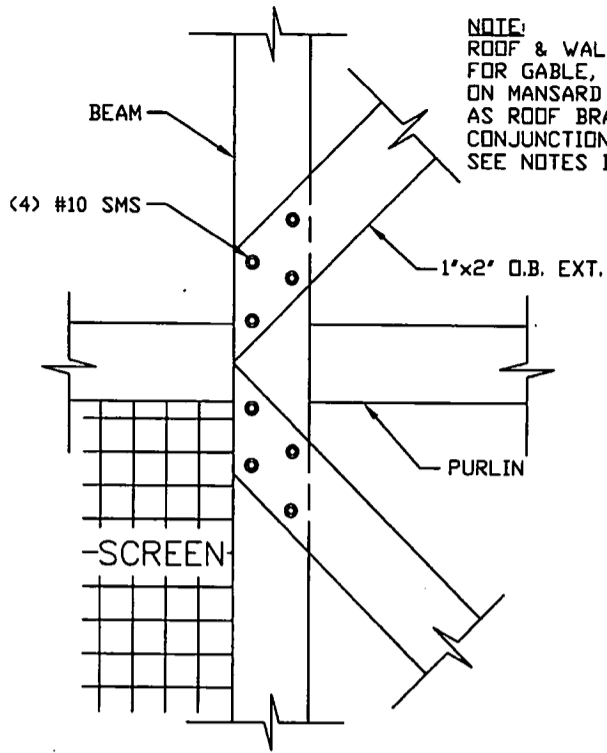


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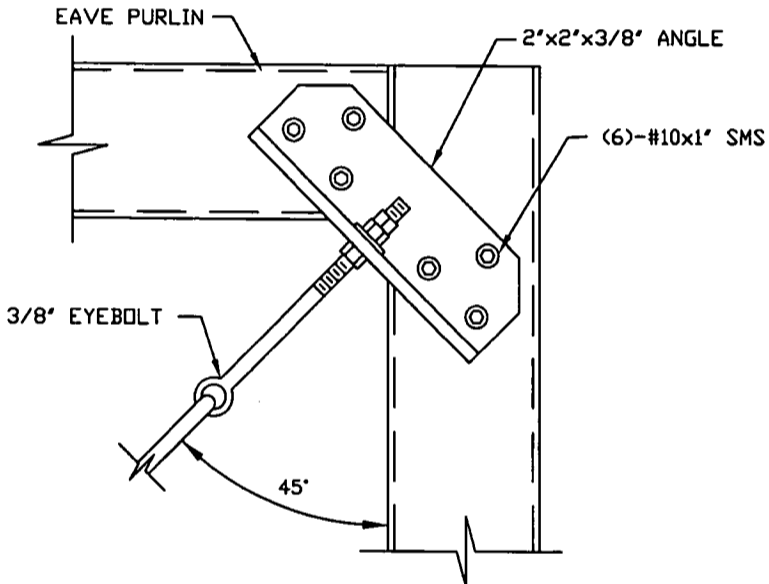
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CAGE BRACING DETAILS CONT'D

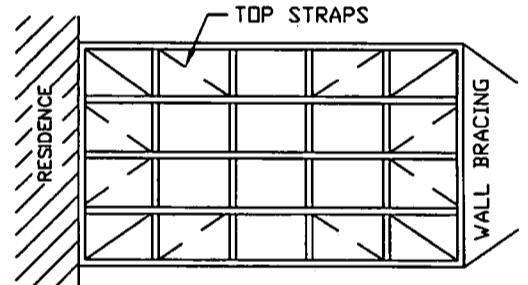
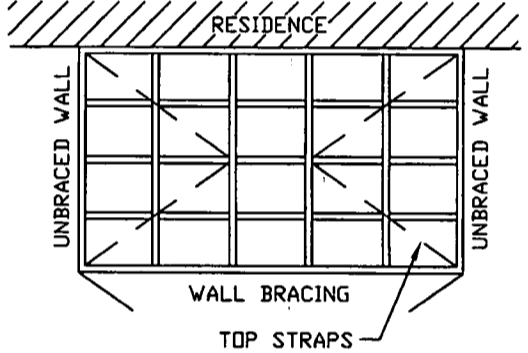
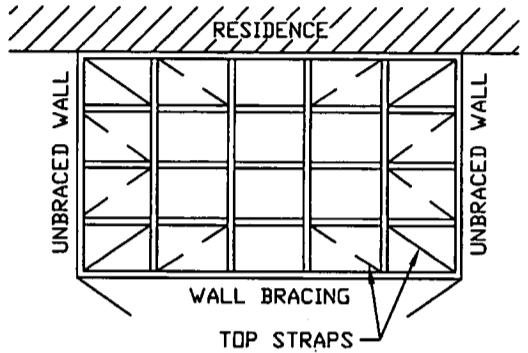
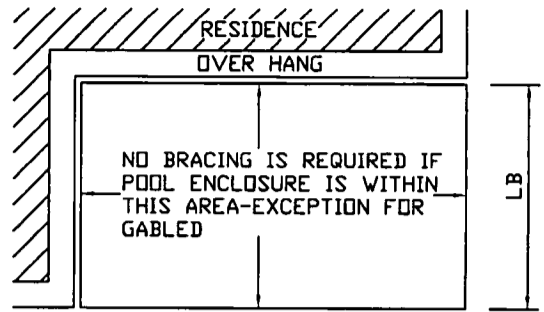


TYPICAL TOP STRAP & RIGID BRACING
PLAN VIEW



TYPICAL WALL BRACING DETAIL
SIDE VIEW - OPTION #1

NOTE:
ROOF & WALL BRACING REQUIRED FOR GABLE, HIP & FLAT. HIP JACKS ON MANSARD CONFIGURATION SERVE AS ROOF BRACING WHEN USED IN CONJUNCTION WITH WALL BRACING. SEE NOTES BELOW



NOTES:
CORNER CABLES OR RIGID BRACING SHALL BE USED ON ANY WALL NOT DIRECTLY FASTENED TO THE HOUSE IN ORDER TO RESIST DIAGONAL STRESSES DUE TO WINDLOAD. THESE CABLES SHALL EXTEND DIAGONALLY FROM EACH CORNER. TENSION SHOULD BE ADJUSTED BY THE USE OF TURNBUCKLES. TURNBUCKLES SHALL HAVE LOCKING DEVICE TO PREVENT LOOSENING. THIS STAINLESS STEEL CABLE SHALL BE AT LEAST 1750 POUNDS TEST STRENGTH. THE BOTTOM OF THE CABLE SHALL BE FASTENED TO THE SLAB WITH THREE 1/4" FASTENINGS OR TWO 5/16" FASTENINGS WITH A 1/8" STRAP. WALL BRACING AND TOP STRAPS SHALL BE REQUIRED FOR ALL GABLE, HIP AND FLAT ROOF CONFIGURATIONS.

NOTE:

- 1.) PROPER PRECAUTIONS SHALL BE TAKEN TO PREVENT GALVANIC ACTION DUE TO DISSIMILAR METALS AND CORROSIVE ENVIRONMENTS.
- 2.) SILICONE, CAULK, FLASHING OR EQUIVALENT SHALL BE ADDED TO CREATE WATERTIGHT SEALS AND PREVENT LEAKAGE.

JOB #: 05-2088
CLIENT: K & S INDUSTRIES (12772)
SCREEN WALL/ SCREEN ROOF ENCLOSURE
49 RIO VISTA DR SEWELL'S POINT
DRIFTWOOD HOMES

DRAWINGS NOT TO SCALE

THIS DESIGN MEETS OR EXCEEDS THE REQUIREMENTS OF CHAPTER 16 & 20 OF THE FLORIDA BUILDING CODE 2001 FOR 140mph WINDLOADING, EXPOSURE B, 0.77 IMPORTANCE FACTOR, CATEGORY I STRUCTURE.

THIS DESIGN DOES NOT CONSTITUTE ENGINEERING FOR THE EXISTING STRUCTURE.

THIS DESIGN IS SUBJECT TO THE SPECIFICATIONS AND DETAILS OF THE "ALUMINUM STRUCTURES MASTER PLAN" 2002 EDITION (ALSMP).

AL ENGINEERING DOES NOT WARRANT, EITHER EXPRESSLY OR IMPLIED, THE STRUCTURAL INTEGRITY OF THE EXISTING STRUCTURES IN ITS ENTIRETY.

J. Josephs
17 AUG 2005
JAMES D. JOSEPHS, P.E.
FLORIDA LICENSE #28439

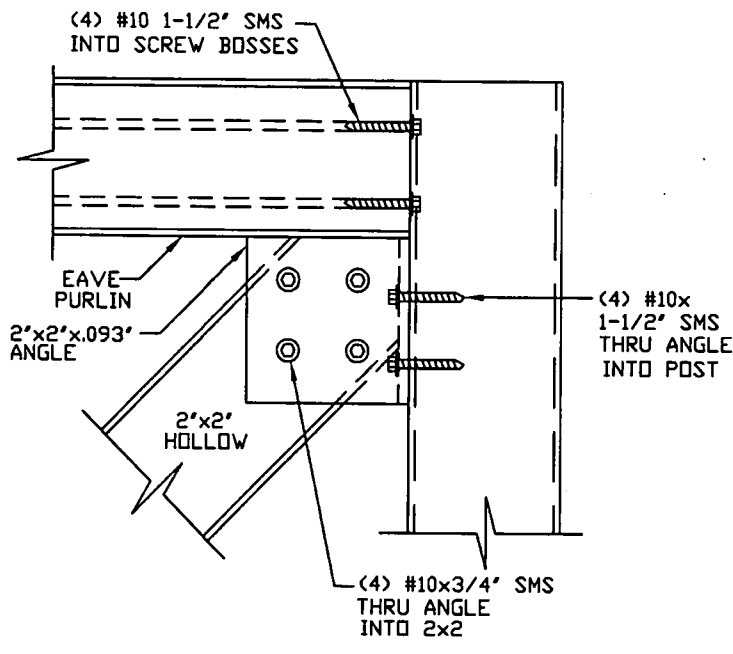
JULY 26, 2005

AL LICENSE #7441



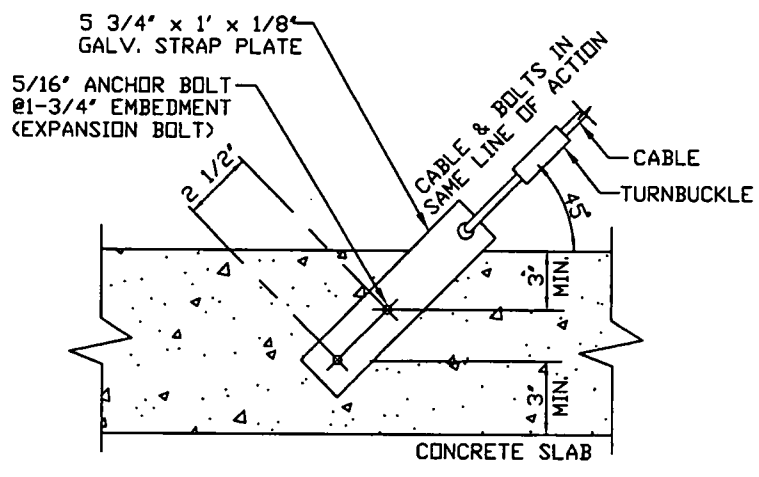
25418 EAST MARION AVE UNIT #4
PUNTA GORDA, FL 33950
PHONE: (941) 205-2013
FAX: (941) 205-2024

CAGE BRACING DETAILS CONT'D



NOTES:
 CORNER CABLES OR RIGID BRACING SHALL BE USED ON ANY WALL NOT DIRECTLY FASTENED TO THE HOUSE IN ORDER TO RESIST DIAGONAL STRESSES DUE TO WINDLOAD. THESE CABLES SHALL EXTEND DIAGONALLY FROM EACH CORNER. TENSION SHOULD BE ADJUSTED BY THE USE OF TURNBUCKLES. TURNBUCKLES SHALL HAVE LOCKING DEVICE TO PREVENT LOOSENING. THIS STAINLESS STEEL CABLE SHALL BE AT LEAST 1750 POUNDS TEST STRENGTH. THE BOTTOM OF THE CABLE SHALL BE FASTENED TO THE SLAB WITH THREE 1/4" FASTENING OR TWO 5/16" FASTENING WITH A 1/8" STRAP. WALL BRACING AND TOP STRAPS SHALL BE REQUIRED.

TYPICAL WALL & ROOF BRACING DETAIL
 SIDE VIEW - OPTION #3



CONCRETE/ STRAP DETAIL
 SIDE VIEW - OPTION #1

NOTE:

1.) PROPER PRECAUTIONS SHALL BE TAKEN TO PREVENT GALVANIC ACTION DUE TO DISSIMILAR METALS AND CORROSIVE ENVIRONMENTS.

JOB #: 05-2088
 CLIENT: K & S INDUSTRIES (12772)
 SCREEN WALL/ SCREEN ROOF ENCLOSURE
 49 RIO VISTA DR SEWELL'S POINT
 DRIFTWOOD HOMES

DRAWINGS NOT TO SCALE

THIS DESIGN MEETS OR EXCEEDS THE REQUIREMENTS OF CHAPTER 16 & 20 OF THE FLORIDA BUILDING CODE 2001 FOR 140mph WINDLOADING, EXPOSURE B, 0.77 IMPORTANCE FACTOR, CATEGORY I STRUCTURE.

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J. D. Josephs
 17 AUG 2005
 JAMES D. JOSEPHS, P.E.
 FLORIDA LICENSE #28439

JULY 26, 2005

AL LICENSE #7441



25418 EAST MARION AVE UNIT #4
 PUNTA GORDA, FL 33950
 PHONE: (941) 205-2013
 FAX: (941) 205-2024

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 11/23, 2005 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6298	PAERLS	REPAIR SEAWALL	PASS	CLOSE
1	3 MINDORO ST. PAERLS CO.	FINAL		INSPECTOR: <i>AM</i>
6661	PAERLS	FINAL DEMO OF DECK	PASS	CLOSE
1	3 MINDORO ST. PAERLS CO.			INSPECTOR: <i>AM</i>
6798	PAERLS	FINAL CONC. DECK	FAIL	
1	3 MINDORO ST. PAERLS + CO.			INSPECTOR: <i>AM</i>
7216	KRANSOE	FINAL SCREEN ENCL	PASS	CLOSE
4	112 HILLCREST PIONEER SCREEN			INSPECTOR: <i>AM</i>
TREE	LIPPS	TREE	PASS	
5	5 COPAIRE DR			INSPECTOR: <i>AM</i>
7798	PETERSEN	FINAL SCREEN ENCL	FAIL	CLOSE
3	49 RIO VISTA DR K&S INDUSTRIES			INSPECTOR: <i>AM</i>
7380	BONIFACE	EXT DOORS	FAIL	
2	63 S. RIVER RD. WILSON BLDG			INSPECTOR: <i>AM</i>

OTHER: _____

9175

A/C CHANGEOUT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9715	DATE ISSUED:	FEBRUARY 17, 2011
SCOPE OF WORK:	AC CHANGEOUT		
CONDITIONS :			
CONTRACTOR:	CLASSIC COOLING		
PARCEL CONTROL NUMBER:	123841002-000-009605	SUBDIVISION	RIO VISTA - LOT 96
CONSTRUCTION ADDRESS:	49 RIO VISTA DR		
OWNER NAME:	PETERSEN		
QUALIFIER:	STEPHEN STRAIT	CONTACT PHONE NUMBER:	283-8710

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____	UNDERGROUND GAS _____
UNDERGROUND MECHANICAL _____	UNDERGROUND ELECTRICAL _____
STEM-WALL FOOTING _____	FOOTING _____
SLAB _____	TIE BEAM/COLUMNS _____
ROOF SHEATHING _____	WALL SHEATHING _____
TIE DOWN /TRUSS ENG _____	INSULATION _____
WINDOW/DOOR BUCKS _____	LATH _____
ROOF DRY-IN/METAL _____	ROOF TILE IN-PROGRESS _____
PLUMBING ROUGH-IN _____	ELECTRICAL ROUGH-IN _____
MECHANICAL ROUGH-IN _____	GAS ROUGH-IN _____
FRAMING _____	METER FINAL _____
FINAL PLUMBING _____	FINAL ELECTRICAL _____
FINAL MECHANICAL _____	FINAL GAS _____
FINAL ROOF _____	BUILDING FINAL _____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9715
ADDRESS	49 RIO VISTA DR
DATE:	2/17/11
SCOPE:	AC CHANGEOUT

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	

**PERSONALIZED AIR CONDITIONING OF
 CLASSIC COOLING**

1259 SW 34TH ST
 PALM CITY, FL 34990-3307

1004

63-1482/670
 210

DATE 2-17-11

PAY TO THE
 ORDER OF

Town of Sewalls Point
Eighty four & 00/100

\$ 84.00

DOLLARS Security Features Details on Back



America's Most Convenient Bank®

FOR

AC Permit Peterson

MP

TOTAL BUILDING PERMIT FEE:	\$	
----------------------------	----	--

ACCESSORY PERMIT	Declared Value:	\$	<u>5300</u>
Total number of inspections @ \$75.00 each		\$	75
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 minimum)		\$	2
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 minimum)		\$	2
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5

TOTAL ACCESSORY PERMIT FEE:	\$	84
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**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

Date: 2/15/11 Permit Number: 9715

OWNER/TITLEHOLDER NAME: Vive Petersen Phone (Day) 288-4486 (Fax) _____

Job Site Address: 49 Rio Vista Dr. City: Stuart State: FL Zip: 34986

Legal Description _____ Parcel Control Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

SCOPE OF WORK (PLEASE BE SPECIFIC): AC Change out

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO X

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 5300.00
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Classic Cooling Phone: 283-8710 Fax: 283-8738

Qualifiers name: Stephen Strait Street: 1258 SW 34th St. City: Palm City State: FL Zip: 34990

State License Number: CAC029403 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: Steve Strait Phone Number: 772-215-6378

DESIGN PROFESSIONAL: _____ Fla. License# _____
Street: 1200 N. A. E. Street City: St. Lucie State: FL Zip: 33529 Phone Number: 335-7954

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE*: _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

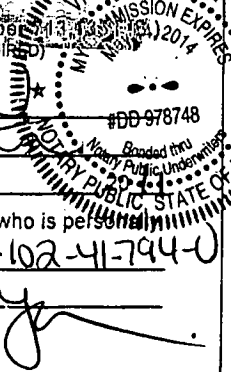
CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Electrical, Gas) 2007
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Elevator Code 2007


NOTICES TO OWNERS AND CONTRACTORS:

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
- THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - 5.

******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER NOTORIZED SIGNATURE (required per 113 F.S. (a) 2014)

Corlitta Petersen
 State of Florida, County of: Martin
 On This the 16th day of Feb
 by Corlitta Petersen who is personally known to me or produced FDW # 362-102-41-794-0
 As identification. Valerie Meyer
 Notary Public

CONTRACTOR NOTORIZED SIGNATURE (required per 113 F.S. (a) 2014)

Stephen Strait
 State of Florida, County of: Martin
 On This the 15th day of Feb
 by Stephen A Strait who is personally known to me or produced FDW # 362-102-41-794-0
 As identification. Valerie Meyer
 Notary Public

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
 governmax.com 1,12

Summary



Address
 3 of 3

Tabs

Summary

- Print View
- Land
- Improvements
- Assessments & Exemptions
- Sales
- Taxes →
- Parcel Map →
- Trim Notice →

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
12-38-41-002-000-00960-5	27607	49 RIO VISTA DR, SEWALL'S POINT	\$339,230	2/12/2011

Owner Information

Owner(Current)	PETERSEN UWE C & COLETTA B
Owner/Mail Address	530 SEDGWICK DR LIBERTYVILLE IL 60048
Sale Date	06/08/1988
Document Number	
Document Reference No.	0768 1569
Sale Price	170000

Searches

- Parcel ID
- Owner
- Address**
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Maps →

Account #		Location/Description	
Account #	27607	Map Page No.	SP-05
Tax District	2200	Legal Description	RIO VISTA S/D LOT 96
Parcel Address	49 RIO VISTA DR, SEWALL'S POINT		
Acres	.3410		

Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Parcel Type	
Use Code	0100 Single Family
Neighborhood	120250 RIO VISTA DRY

Assessment Information

Market Land Value	\$127,000
Market Improvement Value	\$212,230
Market Total Value	\$339,230

Print Back to List First Previous Next Last

Legal Disclaimer / Privacy Statement





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

Air Conditioning Change out Affidavit

Residential Commercial _____

Package Unit ___ Yes No (Use Condenser side of form below for equipment listing)

Duct Replacement ___ Yes No - Refrigerant line replacement ___ Yes No

Flushing Existing Refrigerant lines Yes ___ No - Adding Refrigerant Drier ___ Yes No

Rooftop A/C Stand Installation ___ Yes No - Curb Installation ___ Yes No

Smoke Detector in Supply (over 2000 CFM) ___ Yes No

One form required for each A/C system installed

REPLACEMENT SYSTEM COMPONENTS

Air handler: Mfg: Trane Model# 4TEC3F60
 Volts 230 CFM's 1600 Heat Strip 10 Kw
 Min. Circuit Amps 44 Wire gauge 6
 Max. Breaker size 60 Min. Breaker size 50
 Ref. line size: Liquid 3/8 Suction 7/8
 Refrigerant type R410
 Location: Existing ___ New
 Attic/Garage/Closet (specify) Garage
 Access: vertical unit in garage

Condenser: Mfg Trane Model# 4TR3048D1
 Volts 230 SEER/EER 14 BTU's 48,000
 Min. Circuit Amps 28 Wire gauge 8
 Max. Breaker size 50 Min. Breaker size 40
 Ref. line size: Liquid 3/8 Suction 7/8
 Refrigerant type R-410
 Location: Existing New ___
 Left/Right/Rear/Front/Roof Right Rear
 Condensate Location Right side

EXISTING SYSTEM COMPONENTS

Air handler: Mfg: Trane Model# TA048C
 Volts 230 CFM's 1600 Heat Strip 10 Kw
 Min. Circuit Amps 44 Wire gauge 6
 Max. Breaker size 60 Min. Breaker size 50
 Ref. line size: Liquid 3/8 Suction 7/8
 Refrigerant type R22
 Location: Ext. New ___
 Attic/Garage/Closet (specify) Garage Attic
 Access: pull down in garage

Condenser: Mfg Trane Model# TA048
 Volts 230 SEER/EER 11 BTU's 48,000
 Min. Circuit Amps 30 Wire gauge 8
 Max. Breaker size 50 Min. Breaker size 40
 Ref. line size: Liquid 3/8 Suction 7/8
 Refrigerant type R-22
 Location: Ext. New ___
 Left/Right/Rear/Front/Roof Right Rear
 Condensate Location Right side

Certification:

I herby certify that the information entered on this form accurately represents the equipment installed and further that this equipment is considered matched as required by FBC - R (N)1107 & 1108

[Signature]
 Signature

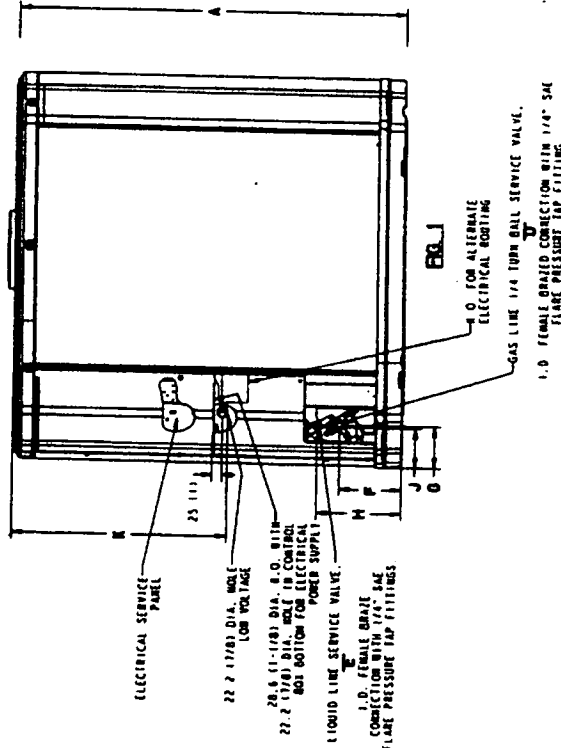
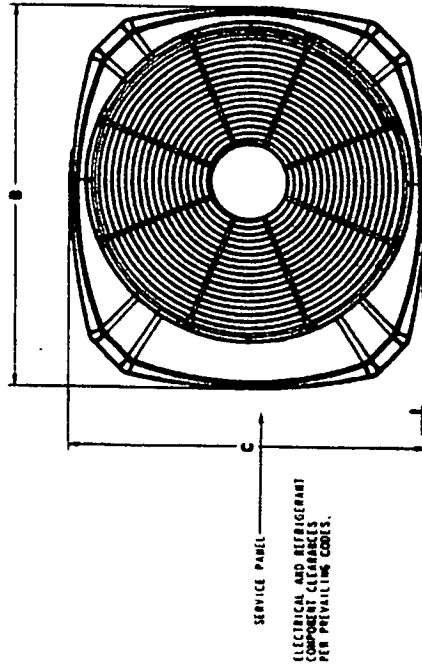
2/15/11
 Date

MODELS	DIMENSIONS (INCHES)			COMPRESSOR		FACTORY INSTALLED START KIT?	ACCESSORY START KIT MODEL #	CRANKCASE HEATER	EXTREME CONDITIONS MOUNTING KIT	OD FAN MOTOR SUCTION LINE		LIQUID LINE	MIN. BR. CIR. AMPACITY	MAX. PROTECTION (AMPS)	NET WEIGHT (LBS)	dB RATING
	H	W	D	RLA	LRA					HP	FLA					
4TTR3018D1000A	29	33	30	6.7	39.6	R	YES	BAYCCHT300	BAYECMT023	1/8	0.70	5/8	9	15	165	76
4TTR3024D1000A	29	33	30	8.3	59.0	R	YES	BAYCCHT300	BAYECMT023	1/8	0.70	5/8	11	15	169	75
4TTR3030D1000A	29	33	30	11.1	69.2	R	YES	BAYCCHT300	BAYECMT023	1/8	0.70	3/4	15	25	173	78
4TTR3038D1000A	33	33	30	14.0	63.0	R	YES	BAYCCHT300	BAYECMT023	1/8	0.70	3/4	18	30	190	75
4TTR3042D1000A	37	37	34	19.9	109.0	S	NO	BAYSKT260	BAYECMT004	1/5	1.00	3/4	25	45	188	74
4TTR3060D1000A	37	37	34	28.8	134.0	S	YES	BAYCCHT301	BAYECMT004	1/5	1.00	7/8	25	50	203	75
4TTR3060D1000A	37	37	34	28.8	134.0	S	YES	BAYCCHT301	BAYECMT004	1/5	1.00	7/8	35	60	228	78

XR 13

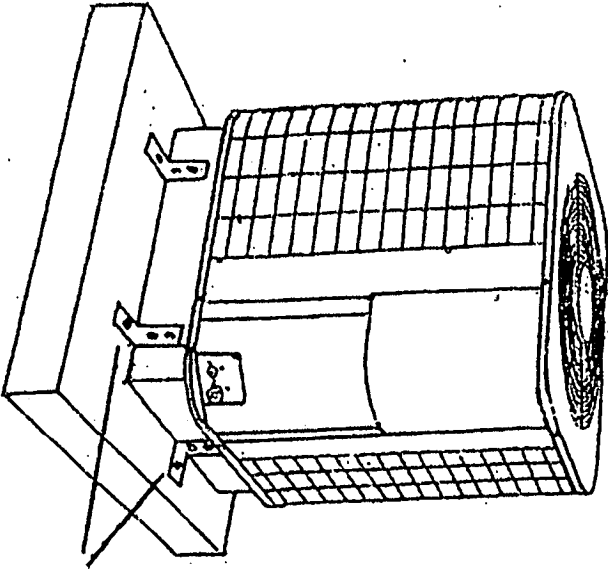
4TTR3 OUTLINE DRAWING

NOTE: ALL DIMENSIONS ARE IN MM (INCHES)



MODELS	BASE	FRQ.	A	B	C	D	E	F	G	H	J	K
4TTR3018D	3	1	730 (28-3/4)	829 (32-5/8)	756 (29-3/4)	56	36	143 (5-5/8)	92 (3-5/8)	210 (8-1/4)	79 (3-1/8)	508 (20)
4TTR3024D	3	1	730 (28-3/4)	829 (32-5/8)	756 (29-3/4)	56	36	143 (5-5/8)	92 (3-5/8)	210 (8-1/4)	79 (3-1/8)	508 (20)
4TTR3030D	3	1	730 (28-3/4)	829 (32-5/8)	756 (29-3/4)	34	36	143 (5-5/8)	92 (3-5/8)	210 (8-1/4)	79 (3-1/8)	508 (20)
4TTR3038D	3	1	832 (33-3/4)	829 (32-5/8)	756 (29-3/4)	34	36	143 (5-5/8)	92 (3-5/8)	210 (8-1/4)	79 (3-1/8)	508 (20)
4TTR3042D	4	1	741 (29-1/8)	946 (37-1/4)	870 (34-1/4)	34	36	152 (6)	98 (3-7/8)	219 (8-5/8)	88 (3-3/8)	508 (20)
4TTR3060D	4	1	843 (33-1/8)	946 (37-1/4)	870 (34-1/4)	78	36	152 (6)	98 (3-7/8)	219 (8-5/8)	88 (3-3/8)	508 (20)

MODEL	MANUFACTURER'S LIMITED WARRANTY			MANUFACTURER'S REGISTERED LIMITED WARRANTY			OPTIONAL LEGACY EXTENDED WARRANTY 10 YEAR P & L			OPTIONAL LABOR PLUS SYSTEM EXTENDED PARTS AND LABOR WARRANTY**		
	COMP	OD	COIL PARTS	COMP	OD	COIL PARTS	COMP	OD	COIL PARTS	COMP	OD	COIL PARTS
4TTR	5	5	10	5	5	10	10	10	10	TAYWAR0004	TAYWR0004	TAYWR0004
												DIGITAL THERMOSTATS
												TCONT200AN11AA (Non-program)
												TCONT600AFT11AA (5 DAY Prog)
												TCONT800AS11AA (PROG. 7 DAY)



ANCHOR CLIPS



Certificate of Product Ratings

AHRI Certified Reference Number: 3998291

Date: 2/14/2011

Product: Split System: Air-Cooled Condensing Unit, Coil with Blower

Outdoor Unit Model Number: 4TTR3048D1

Indoor Unit Model Number: 4TEC3F60B1

Manufacturer: TRANE

Trade/Brand name: XR13

Manufacturer responsible for the rating of this system combination is TRANE

Rated as follows in accordance with AHRI Standard 210/240-2006 for Unitary Air-Conditioning and Air-Source Heat Pump Equipment and subject to verification of rating accuracy by AHRI-sponsored, independent, third party testing:

Cooling Capacity (Btuh): 48000

EER Rating (Cooling): 11.50

SEER Rating (Cooling): 14.00

* Ratings followed by an asterisk (*) indicate a voluntary rerate of previously published data, unless accompanied with a WAS, which indicates an involuntary rerate.

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CERTIFICATE VERIFICATION

The information for the model cited on this certificate can be verified at www.ahridirectory.org, click on "Verify Certificate" link and enter the AHRI Certified Reference Number and the date on which the certificate was issued, which is listed above, and the Certificate No., which is listed below.



Air-Conditioning, Heating, and Refrigeration Institute

©2010 Air-Conditioning, Heating, and Refrigeration Institute

CERTIFICATE NO.: 129421912863215544

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Permit # 121

Date Issued 7/28/80

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified as to height and name, common or botanical. Groups of trees may be designated as clumps with an estimated size and number, etc..

Owner GUSTAV SCHICKEDANZ, TRUSTEE Present Address 2300 S.E. OCEAN BLVD Phone 283-0060

Contractor SCHICKEDANZ BROS FLA. Address SAME AS ABOVE Phone "

Number of trees to be removed TREE REMOVAL TO ACCOMMODATE IMPROVEMENTS ONLY!

Number of trees to be relocated within 30 days (no fee) NONE

Lot 96

Number of trees to be replaced within 30 days NONE

50

Permit Fee: \$ 25.00 (\$5. for 1st tree, plus \$1. each additional tree - not to exceed \$25.)

(No permit fee for trees which are relocated on property or lie within a utility easement and are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted _____ Plans approved as marked _____

Permit good for one (1) year. Fee for renewal of expired permit is \$5.

Signature of Applicant G. Schickedanz for Date submitted _____
G. SCHICKEDANZ, TRUSTEE

Approved by Building Inspector _____ Date _____

Approved by Building Commissioner _____ Date _____

Completed _____
Date _____ Checked by _____

120



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

utolerance@aol.com

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner LINE PETERSEN & COLETTE Address [REDACTED] Phone 772-288-4486

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 1 Species: LAUREL OAK

No. of Trees: RELOCATE _____ Species: _____

No. of Trees: REPLACE 1 Species: LAUREL OAK ?

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY

Reason for tree removal /relocation (See notice above) DEAD - DISEASED

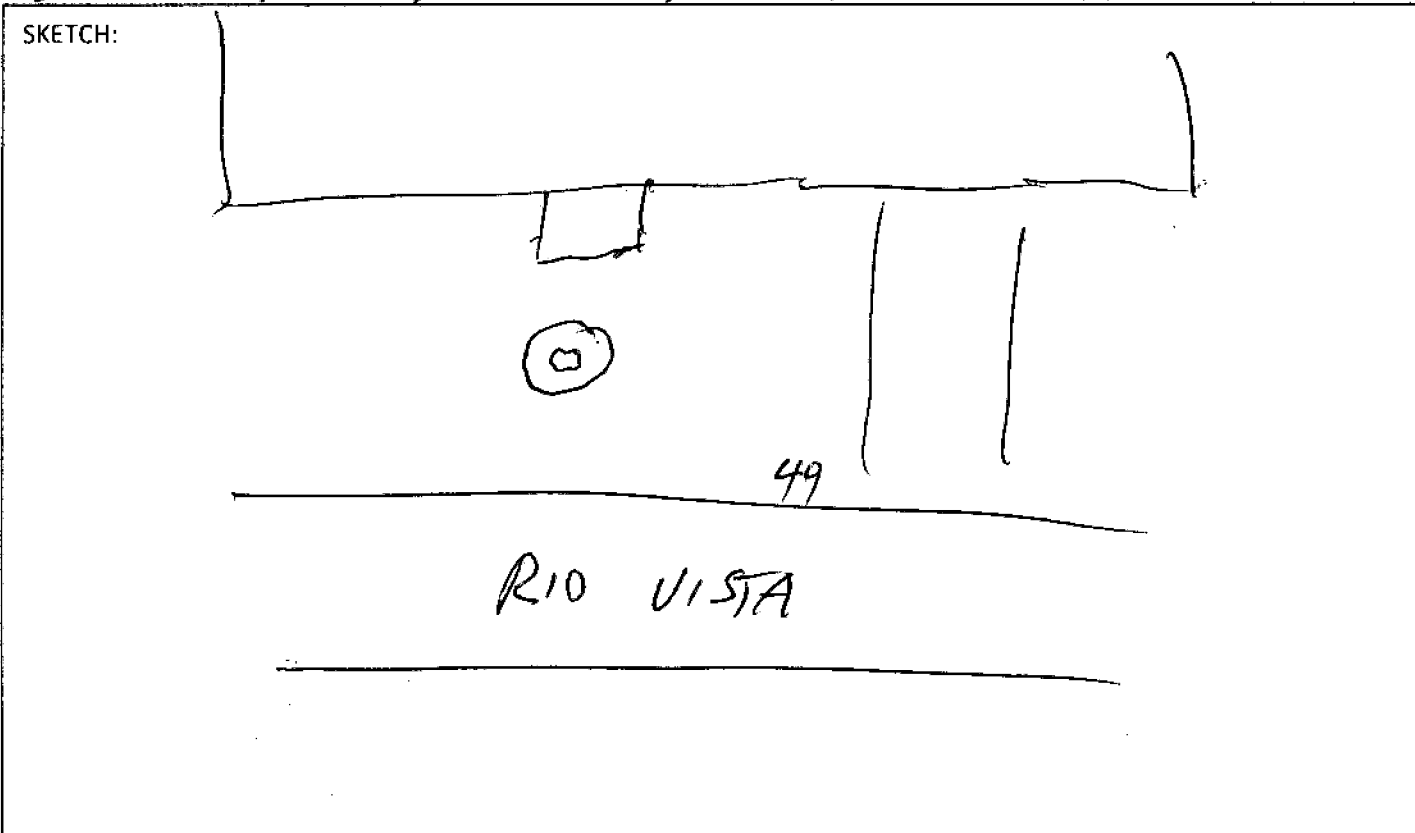
Signature of Property Owner [Signature] Date 2-26-14

Approved by Building Inspector: [Signature] Date 2-28-14 Fee: _____

NOTES: DENIED TREE APPEARS HEALTHY W/ NEW GROWTH, WILL NEED

3-3-14
9:25AM
ADVISED

WRITTEN STATEMENT FROM ARBORIST CONDEMNING TREE





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 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

utolerance@aol.co

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner LINE & COLETTE PETERSEN Address 49 RIO VISTA DR Phone 772-288-4486

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 1 Species: LAUREL OAK

No. of Trees: RELOCATE _____ Species: _____

No. of Trees: REPLACE 1 Species: LAUREL OAK ?

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY

Reason for tree removal /relocation (See notice above) DEAD - DISEASED

Signature of Property Owner [Signature] Date 2-26-14

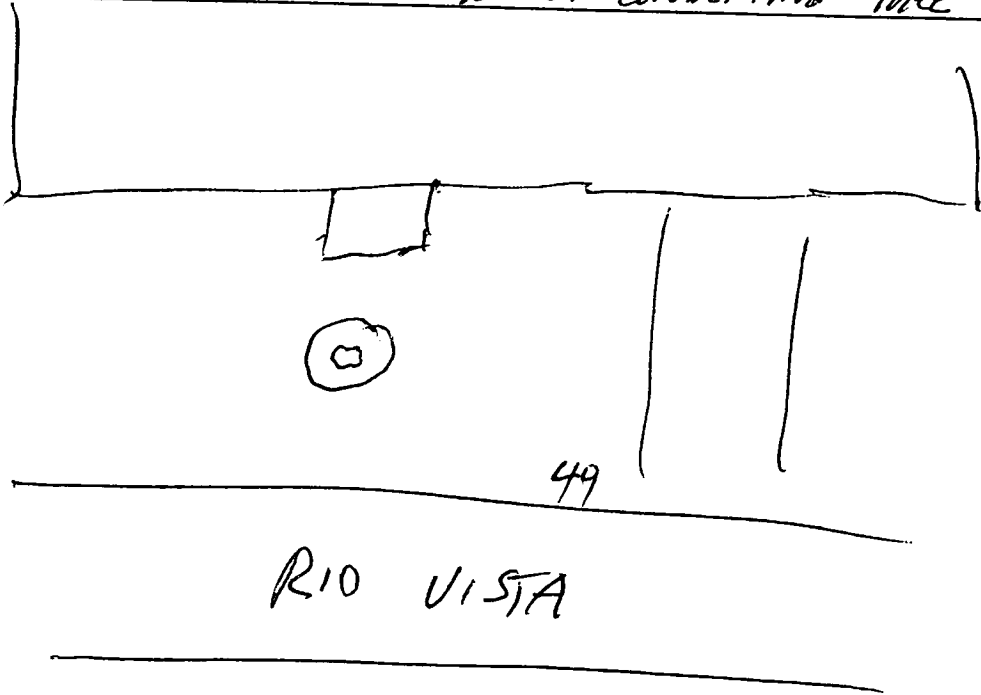
Approved by Building Inspector: [Signature] Date 2-29-14 Fee: _____

NOTES: DENIED TREE APPEARS HEALTHY w/ NEW GROWTH. WILL NEED

3-3-14
9:25AM
ADVISE!

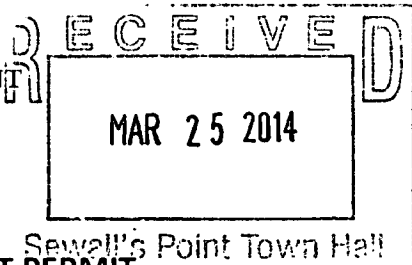
WRITTEN STATEMENT FROM ARBORIST CONDEMNING TREE

SKETCH:





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765



TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner PETERSON Address 42 RIO VISTA Phone 288-4486
 Contractor ECOTEC LANDSCAPE Address BOX 2721, STUART Phone 288-2434
 No. of Trees: REMOVE 1 Species: LAUREL OAK
 No. of Trees: RELOCATE _____ Species: _____
 No. of Trees: REPLACE _____ Species: _____

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY

Reason for tree removal /relocation (See notice above) LARGE TRUNK WOUND / SPIRAL DECLINE WITH 30% CROWN DEAD. CHRIS DE GREGORIO ISA #FL-0993A E-MAIL ATTACHED

Signature of Property Owner [Signature] Date 3/25/14

Approved by Building Inspector: [Signature] Date 4-1-14 Fee: N/C

NOTES: TREE IS DAMAGED

SKETCH: PICTURE ATTACHED

4-1-14
LM

Subject: from Ecotec re: laurel oak
From: Shawn Linnehan (sjl17@att.net)
To: landarchmike@gmail.com;
Date: Sunday, March 16, 2014 10:08 PM

Mike,

After taking a good look at the laurel oak, in the front yard of 49 Rio Vista, it is my recommendation that this tree be removed. Aside from the large trunk wound, the tree is in a spiral decline with roughly 30% of its crown dead. Being a laurel oak, I'm sure that you are aware that their life expectancy is only about 40-50 years. Having said that, this one seems to be getting up there in age. On top of that, it poses a liability being so close to pedestrian traffic. The price to submit a letter to the town would be \$55.00 and the price to remove the tree and stump grind the trunk is \$500.00. However, the cost of submitting the letter will be waived assuming Ecotec does the work.

Chris DeGregorio, I.S.A. (International Society of Arboricultue) Arborist Cert.# FI-0993A

Ecotec Landscape Services

P.O. Box 2721

Stuart, FL 34995

772-288-2434 office/fax

772-215-6693 (cell)



