

1 River Crest Court

2964

SFR

PERMIT NUMBER _____

DATE OF APPLICATION 1/7/91

To obtain a permit the following are required:

1. Florida certification of builder and sub-contractors.
2. Certification of insurance from contractor or owner/builder re: liability and workers' compensation.
3. Plans of building plans which must include: a) 1/4" scale building drawings, b) plot plan, c) foundation plan, d) floor plans, e) wall and roof cross-sections, e) plumbing, electrical and air conditioning layouts, f) at least two elevations showing the height of building from finished floor. Plans must be sealed by a Florida registered architect or engineer.
4. Recorded warranty deed to the property.
5. Septic tank permit and one set of plans with Martin County Health Department seal.
6. Energy code calculations.
7. Tree removal permit (for trees other than nuisance trees)
8. Certification of elevation from licensed surveyor and determination of flood zone.
9. Amount of fill anticipated - rough sketch showing location of fill
10. Manufacturer's schedule of windows.

2964

29th 5400

W

Owner MICHAEL LANGNIES Current Address 1617 NAUTICAL PLACE
 Telephone 334 3904 JENSEN BEACH
 General Contractor GARY HUFNAGEL Address 220 NE HOLLYHOCK
 Telephone 334 9415 JENSEN BEACH
 Where Licensed FLORIDA License Number CG C028627
 Plumbing Contractor _____ License Number _____
 Electrical Contractor _____ License Number _____
 Roofing Contractor _____ License Number _____
 A/C Contractor _____ License Number _____

Describe the building or alterations 2 STORY FRAME/STUCCO
 Name the street on which the building, its front building line and its front yard will face #1 RIVERCREST COURT
 Subdivision RIVERCREST Lot #1 Block _____
 Building area (inside walls) 4200 Garage, porch, carport area 1100
 Contract price (excluding carpet, land, appliances, landscaping) \$ 185,000
 Cost of permit \$ 2,004.00 as submitted as marked _____

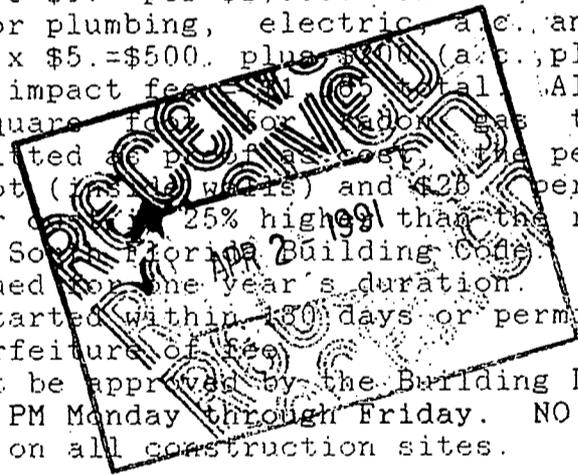
- In addition, the following are understood by owner and contractor:
1. Building area inside walls must be a minimum of 1,500 square feet.
 2. Building permit fees are \$5. per \$1,000. of the cost of the building, plus \$50. each for plumbing, electric, a/c, and roof. For example a \$100,000. building x \$5. = \$500. plus \$200. (a/c, pl., el., roof) = \$700. cost of permit + \$365. impact fee for gas trust fund. Also there is a charge of 1 cent per square foot for gas trust fund.
 3. If no contract is submitted a fee of \$50. per square foot (inside walls) and \$25. per square foot (other areas). Owner-builder 25% higher than the regular fee.
 4. The Town has adopted the South Florida Building Code.
 5. Building permits are issued for one year's duration.
 6. Construction must be started within 180 days or permit will be subject to revocation and forfeiture of fee.
 7. ALL changes in plans must be approved by the Building Department.
 8. Work hours are 8:AM to 5:PM Monday through Friday. NO SUNDAY WORK
 9. Portable toilets must be on all construction sites.

10. Inspections are made Monday through Friday, 8:AM to Noon, 1:PM to 4:PM. 24 hour notice is required prior to all inspections.
11. String lines along property lines to facilitate set back inspections.
12. Before a certificate of occupancy is issued, the following are required:
 - a. An owner's affidavit of building cost (form available). Any discrepancy between the original fee and final fee (based on affidavit) will be adjusted.
 - b. Approval of septic tank installation by Martin Co. Health Dept.
 - c. Rough grading and clean up of grounds.
 - d. Affidavit from licensed surveyor showing slab elevation (if in "A" zone).
 - e. An interim proprietary and general service fee will be charged to defray costs to the Town on newly improved property prior to imposition of ad valorem taxes on such property. Building Department will compute charge at time of c.o..

13. THIS SUMMARY IS NOT A SUBSTITUTE FOR TOWN ORDINANCES. APPROVAL OF THE BUILDING PLANS IN NO WAY RELIEVES THE OWNER OR CONTRACTOR FROM COMPLIANCE WITH TOWN ORDINANCES.

14. In addition to the requirements of this permit there may be additional restrictions applicable to this property that may be found in the public records of this County.

Contractor's Signature Dave Brown Owner's Signature Michael Langnies
 Approval by Building Inspector Dave Brown Date 4/11/91
 Approval by Building Commissioner _____ Date _____
 Certificate of Occupancy issued _____ Date _____



Prepared By and Return to: Kenneth A. Norman, Esq., Kohl, Bobko, McKey & McManus, P.A., P.O. Box 869, Stuart, FL 34995

Parcel Identification (Folio) Number(s): 35-37-41-010-000-00010-8000

WARRANTY DEED

THIS INDENTURE, made this 30th day of October, 1990, between EDANDEAN, INC., a Florida corporation, whose principal office is located at 2400 South Federal Highway, Suite 400, Stuart, Florida 34994, hereinafter referred to as "Grantor", and MICHAEL LANGNES, whose address is 1617 N.E. Nautical Place, Jensen Beach, Florida 34957, hereinafter referred to as "Grantee".

WITNESSETH

That Grantor, for and in consideration of the sum of Ten (\$10.00) Dollars and other good and valuable consideration to it in hand paid by Grantee, the receipt of which is hereby acknowledged, has granted, bargained, conveyed and sold to Grantee and Grantee's heirs and assigns forever, the following described real property situated, lying and being in Martin County, Florida, to-wit:

Lot 1, RIVER CREST, according to the Plat thereof, recorded in the Office of the Clerk of the Circuit Court in Plat Book 12, Page 11, Public Records of Martin County, Florida.

Grantee, by acceptance hereof, and by agreement with Grantor, hereby expressly assumes and agrees to be bound by and to comply with all of the covenants, terms, conditions and provisions set forth and contained in the Declaration of Covenants and Restrictions for River Crest Property Owners' Association, Inc., including, but not limited to, the obligation to pay assessments for the maintenance and operation of the River Crest Property Owners' Association, Inc.

This conveyance is made subject to the following:

- 1. Real estate taxes for the year 1990 and subsequent years;
- 2. Applicable zoning regulations and ordinances;
- 3. All of the covenants, conditions, restrictions and easements of record, if any, which may now affect the aforescribed property, and

TO HAVE AND TO HOLD the above granted, bargained and described premises in fee simple forever.

And Grantor, for itself and for its successors and assigns, does hereby covenant with Grantee that it is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land, that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under the Grantor.

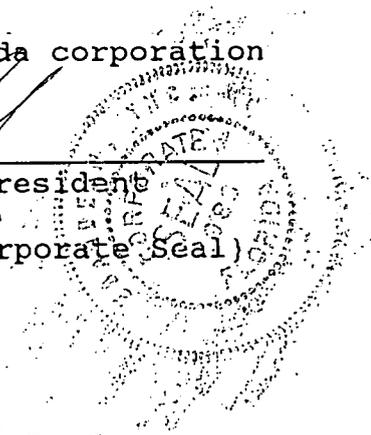
Signed, Sealed and Delivered in the Presence of:

Rosemary Luciano
Jesse L. DeStefano

EDANDEAN, INC., a Florida corporation

By: *[Signature]*
N. DEAN KOHL, JR., President

(Corporate Seal)



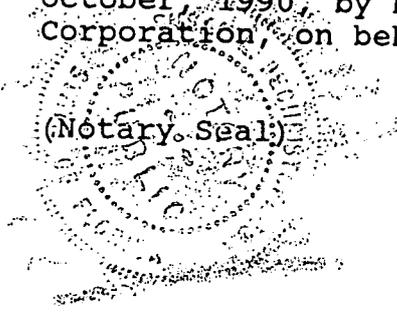
Acknowledged and Accepted in the Presence of:

[Signature]
Jesse L. DeStefano

Michael Langnes
MICHAEL LANGNES

STATE OF FLORIDA
COUNTY OF MARTIN

The foregoing instrument was acknowledged before me this 30th day of October, 1990, by N. Dean Kohl, Jr., President of Edandean, Inc., a Florida Corporation, on behalf of the corporation, the Grantor herein.

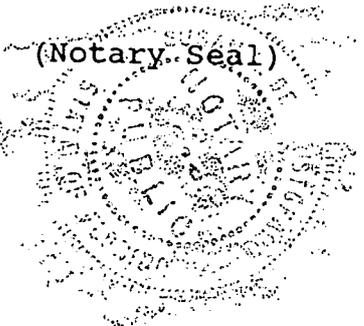


Susan L. DeChastelaine
Notary Public
My Commission Expires:

NOTARY PUBLIC, STATE OF FLORIDA.
MY COMMISSION EXPIRES: JUNE 9, 1992.
BONDED THRU NOTARY PUBLIC UNDERWRITERS.

STATE OF FLORIDA
COUNTY OF MARTIN

The foregoing instrument was acknowledged before me this 30th day of October, 1990, by Michael Langnes, the Grantee herein.



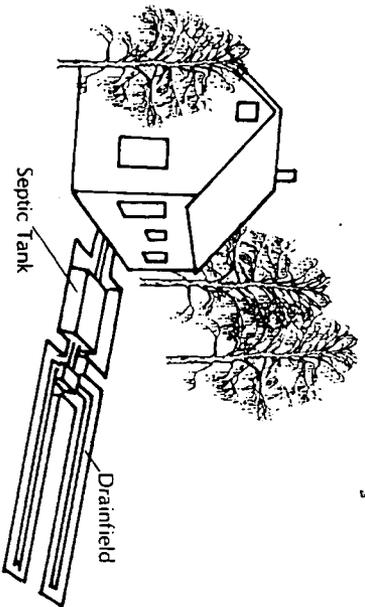
Susan L. DeChastelaine
Notary Public
My Commission Expires:

NOTARY PUBLIC, STATE OF FLORIDA.
MY COMMISSION EXPIRES: JUNE 9, 1992.
BONDED THRU NOTARY PUBLIC UNDERWRITERS.

FLA. DOC. PAID
\$ 412.50
Marsha Stillor
Clerk of Circuit Court
Martin Co., Fla.
By [Signature] D.C.

FILED FOR RECORD
MARTIN CO., FLA.
90 OCT 30 PM 3:49
MARSHA STILLER
CLERK OF CIRCUIT COURT
D.C.

The Septic Tank Home Wastewater Treatment and Disposal System



A Typical Individual Home Septic Tank Disposal System

What Is A Septic Tank System?

A septic tank system consists of a large, watertight tank that receives wastewater from the home plumbing system. The tank is followed by an underground drainfield consisting of a network of perforated pipe for distributing partially treated water from the septic tank to the soil for final treatment and disposal.

How Does It Work?

Septic tanks contain bacteria that grow best in oxygen-poor conditions. These bacteria carry out a portion of the treatment process by converting most solids into liquids and gases. Bacteria that require oxygen thrive in the drainfield and complete the treatment process begun in the septic tank. If the septic tank is working well, the wastewater which flows out of the tank is relatively clear, although it still has an odor and may carry disease organisms. It should flow nowhere except into the drainfield. NEVER ONTO THE GROUND SURFACE OR INTO FLORIDA WATERS!!!

Operation and Maintenance

After the septic tank system is placed in service, proper operation and maintenance of the system will ensure continued efficient service and prevent sudden replacement expenses. The septic tank and drainfield are designed and installed to handle a maximum calculated daily

sewage flow. Consistently exceeding the design flow will eventually overload the system and cause failure. The tank may receive new solids faster than it can dispose of the old ones and the drainfield may become saturated from excessive water use.

Various products are on the market which are said to start, accelerate or improve the action in the septic tank. Since all necessary bacterial are already present in the sewage entering the system, such products are not recommended.

Sketch the Location of Your Tank and Drainfield

Tank Capacity _____ gals. Drainfield Size _____ sq. ft.

Maintenance of a septic tank will depend largely on the daily sewage flow and individual household wastewater characteristics. With ordinary use and care, a septic tank should not require pumping out more than once every three to five years. It should, however, be inspected occasionally to determine the depth of accumulated sludge and grease.

Waste from kitchen garbage disposal units puts an extra load on a septic tank system. If a disposal is used, the capacity of the tank should be increased to handle the increased solid wastes. The tank may also require yearly pumping to remove accumulated solid waste buildup. Failure to pump out a septic tank system when indicated, will result in solids or greases overflowing into the drainfield, which in turn may become clogged and stop functioning. In this event, not only will the tank have to be pumped out, but the drainfield may also have to be replaced.

Septic tanks can be cleaned by septic tank cleaning firms permitted by the county health department. This type of work should be done only by experienced professionals who will pump the entire contents of the tank into a tank truck and dispose of the contents in an approved, sanitary manner.

Location

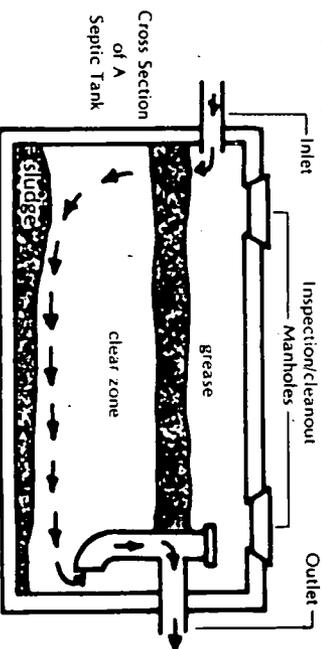
Contaminants can travel long distances in some soils. Therefore, drinking water wells should be located at least 75 feet from any part of a septic tank system. With certain exceptions, septic tanks and drainfields must be located at least 75 feet away from the high water line of ponds, rivers and lakes. Also, the drainfield should be located so that it will not be saturated by surface water drainage.

Preventing Failure

Septic Tank systems fail when the drainfield does not dispose of sewage as rapidly as it is being added to the system. Thus, improvements that reduce the amount of incoming water or improve the quality of wastewater passing through the system will increase the system's longevity. Other important considerations include the following:

A drainfield can be damaged by compaction due to vehicular traffic and can be blocked by excessive shrubbery or tree root growth. The drainfield should be unobstructed and seeded with grass. Grass and sunlight aid evaporation. Washing machines are responsible for large volumes of water entering the septic tank. The surge of wash water can create turbulence in the tank which increases the amount of solids flushed into the drainfield. Space washings throughout the week rather than doing many loads at a time, or, install a separate system for washing machine water.

Cooking oils and grease are trouble makers. The type of bacteria found in septic tanks and drainfields do not survive or function well in solidified grease. Grease and cooking fats should never be washed down the sink drain. Save grease in jars or cans for disposal in the garbage.



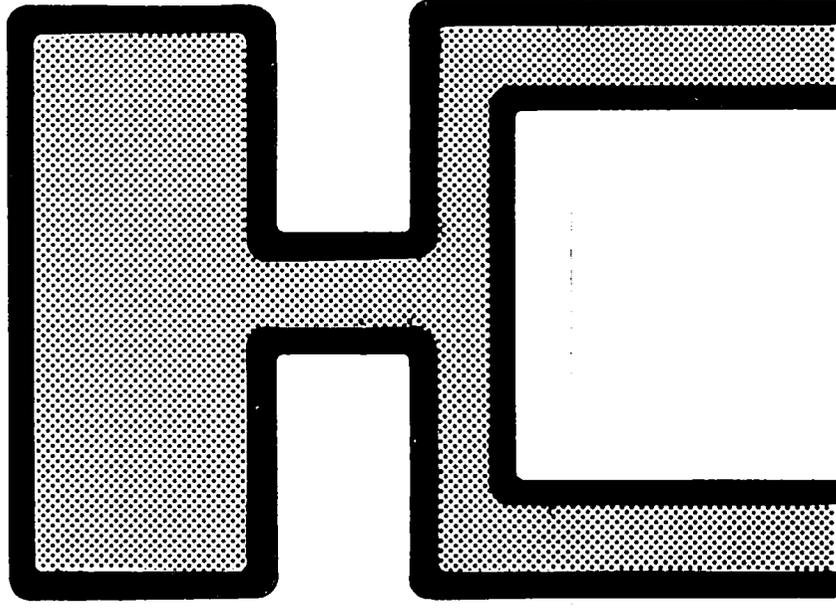
Do's

- Know the location and capacity of your septic tank system.
- Have a qualified person inspect the tank at least every three years.
- Have tank pumped when the combined depth of the sludge and scum equals 1/3 of the tank liquid volume.
- Install the system so that rainfall and surface water will flow away from the drainfield.
- Rain water from a roof should not discharge onto the drainfield.
- Grow grass or small plants above the system.
- Install water conservation fixtures or devices to reduce the total volume of water entering the system.
- Keep plumbing fixtures such as toilets and faucets in good repair to prevent leakage and wasting of water.

Don'ts

- Never flush paper towels, newspapers, wrapping paper, rags or sticks into the system.
- Never allow large, irregular, intermittent or constant volumes of clear water into the system, as with a leaking toilet or faucet.
- Never over-use ordinary household cleaning chemicals that will be flushed into the system.
- Never pour out or empty hobby or home industry chemicals into the system.
- Never allow waste from water softeners to enter the system.
- Never allow grease or other bulky waste to enter the system.
- Never flush toxic materials such as pesticides into the system.
- Never plant trees or shrubbery in the drainfield.
- Never allow vehicles (cars, trucks, etc.) to drive across or park on the drainfield. (Protect it from being crushed.)
- Never waste water.
- Never use chemical solvents to clean plumbing lines or a septic tank system.

SEPTIC TANK SYSTEMS



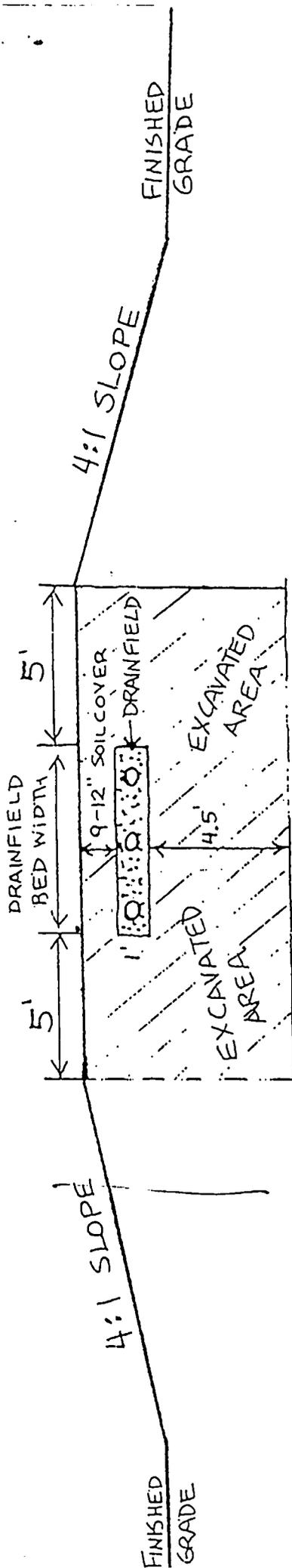
This publication was produced at an approximate cost of 5 cents per copy, to inform the public about proper use and maintenance of septic tank systems. HRS complies with the state and federal nondiscrimination policies relating to race, sex, age and handicapping conditions.

PUBLIC INFORMATION
HRS/PI 150-88, 11/89

reprint 12/89

Florida Department of Health and
Rehabilitative Services
Health Program

DRAINFIELD MOUND REQUIREMENTS

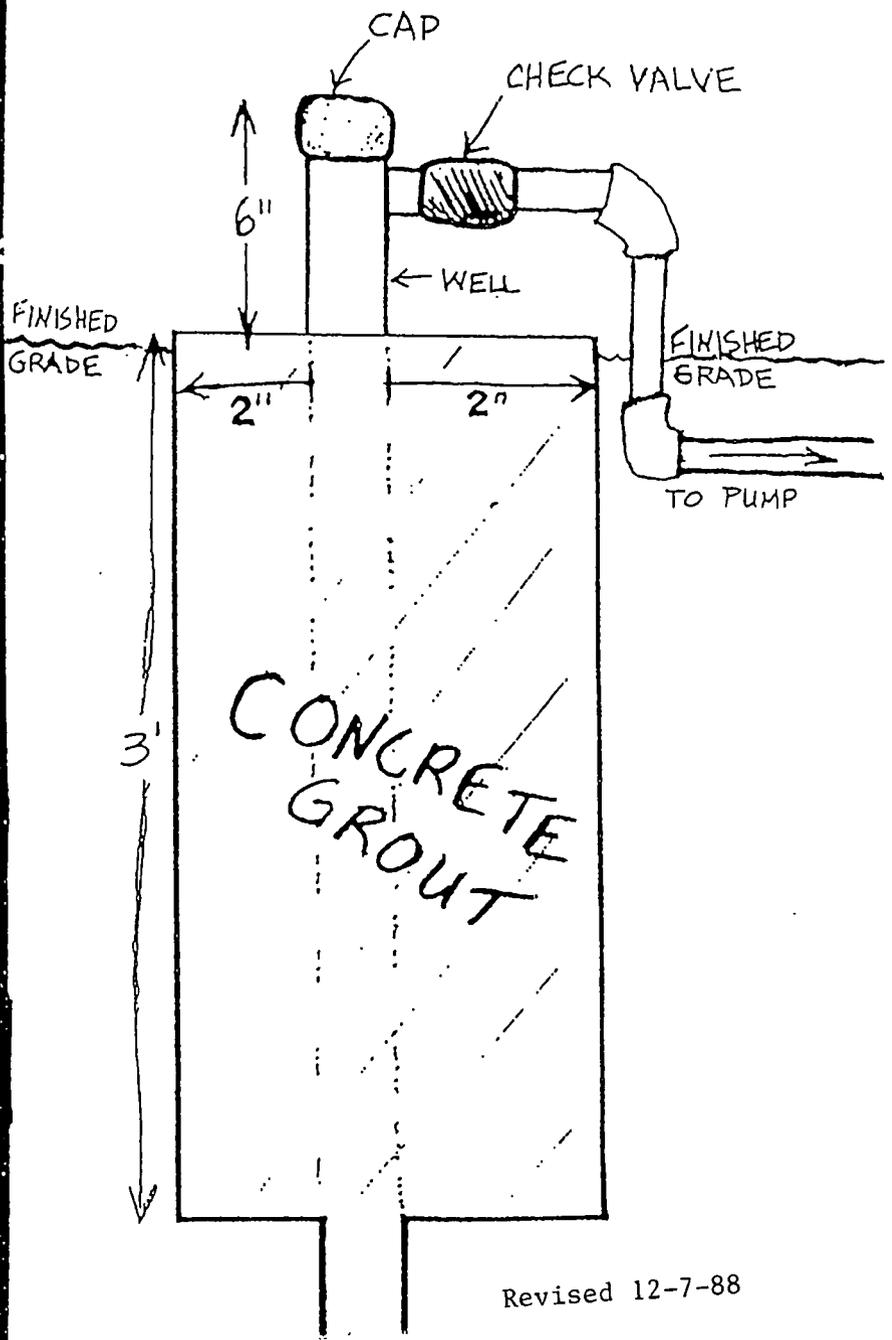


MMC 4185

WELL REQUIREMENTS

NOTE:
 ALL WELLS MUST BE GROUTED AT LEAST 2" AROUND WELL CASING TO A DEPTH OF 3'. WELL CASING MUST EXTEND 6" ABOVE FINISHED GRADE AS SHOWN BELOW. NOTE LOCATION OF CHECK VALVE.

NOTES: THESE REQUIREMENTS MUST BE MET PRIOR TO FINAL APPROVAL.



Revised 12-7-88



APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM

WS
1.5

PERMIT NUMBER 4091-003 HOME PHONE 334-3904
 NAME OF APPLICANT MICHAEL LANGRISH WORK PHONE 288-7126
 MAILING ADDRESS OF APPLICANT 1617 NAUTICAL PLACE APT 908
JENSEN BEACH, FL ZIP CODE 34957
 LOT 1 BLOCK _____ SUBDIVISION RIVERCREST
 IF NOT SUBDIVIDED, ATTACH A COMPLETE LEGAL DESCRIPTION
 PLAT BOOK 12 PAGE 11 DATE SUBDIVIDED AUGUST 1989
 RESIDENTIAL: NUMBER DWELLING UNITS 1 NUMBER BEDROOMS 4
 LOT SIZE 19,550 FT² HEATED OR COOLED AREA OF HOME 3112 FT²
 COMMERCIAL: TYPE OF BUSINESS PROPOSED _____ FT²
 BUILDING SIZE _____ FT²

JOB NO. 939-160-01 -----AFFIDAVIT-----

I HAVE REVIEWED THIS PERMIT AND I CERTIFY THAT ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT AND ANY APPLICABLE STATE OR COUNTY REGULATIONS.

SIGNATURE OF PROPERTY OWNER OR OWNER'S LEGALLY AUTHORIZED REPRESENTATIVE

STEPHEN J. BROWN

-----INSTALLATION SPECIFICATIONS-----

SEPTIC TANK CAPACITY 1200 GALLONS
 DRAINFIELD SIZE 630 SQUARE FEET
 DRAINFIELD ROCK MUST BE 18' FEET FROM FRONT OR REAR PROPERTY LINES AND 15' FEET FROM SIDE PROPERTY LINES. EXCAVATION CAN NOT EXTEND MORE THAN FIVE FEET FROM APPROVED INSTALLATION AREA.
 TOP OF BUILDING STUBOUT IS REQUIRED TO BE A MINIMUM ELEVATION OF 35" Above BM (el: 3.75 N610)
 TOP OF DRAINFIELD PIPE IS REQUIRED TO BE A MINIMUM ELEVATION OF 25" Above BM
 TOP OF SEPTIC TANK IS REQUIRED TO BE A MINIMUM ELEVATION OF 39" Above BM

EXCAVATE (19' x 45')
 EXCAVATE (25' x 31')

* System to be installed with 2 drainfields of equal size of 315 square feet to receive equal flow.
 * Driveway elevation to be 4" higher than drainfield pipe elevation.

ISSUED BY: James J. Coste DATE 1/7/91
 MARTIN COUNTY PUBLIC HEALTH UNIT

PLEASE NOTE:

- (1) IF BUILDING CONSTRUCTION DOES NOT START WITHIN ONE YEAR FROM DATE OF ISSUANCE, THIS PERMIT EXPIRES. IF BUILDING CONSTRUCTION STARTS WITHIN 1 YEAR FROM DATE OF ISSUANCE, THE DATE OF EXPIRATION WILL BE EXTENDED AN ADDITIONAL 90 DAYS.
- (2) APPLICANT IS RESPONSIBLE FOR REPLACING EXCAVATED SOILS WITH A GOOD GRADE OF SAND.
- (3) N/A REINSPECTION FEE IF WELL NOT INSTALLED AT TIME OF ONSITE SEWAGE DISPOSAL SYSTEM INSPECTION.
- (4) INSPECTION RESULTS WILL BE POSTED ON BUILDING PERMIT OR ON ELECTRICAL BOX.
- (5) IF BUILDING STUBOUT IS PLACED MORE THAN 20 FEET FROM SEPTIC TANK OR DRAINFIELD, A HIGHER STUBOUT ELEVATION THAN SHOWN ABOVE WILL BE REQUIRED.
- (6) IF FILL IS REQUIRED, CONTACT MARTIN COUNTY BUILDING DIVISION.
- (7) IF ANY INFORMATION ON THIS PERMIT CHANGES, AN UPDATED APPLICATION IS REQUIRED.
- (8) IF WELL OR MOUND DRAINFIELD IS PROPOSED, SEE ATTACHED SKETCH OF ADDITIONAL SPECIAL REQUIREMENTS.

-----FINAL INSPECTION-----

CONSTRUCTION APPROVED BY: _____ DATE _____
 MARTIN COUNTY PUBLIC HEALTH UNIT

AN APPROVED SYSTEM DOES NOT GUARANTEE PERFORMANCE



STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

Prepared By: Stephen J. Brown, Inc. Prof. Land Surveyor
290 Florida Street, Stuart, FL. 34994
407-288-7176

APPLICANT MICHAEL LANGUES

LEGAL DESCRIPTION LOT 1, RIVERCREST

- SITE INFORMATION -----
1. IS THERE A SEPTIC SYSTEM OR OTHER INTERFERENCE WITHIN 75 FEET OF THE PROPOSED PRIVATE WELL? No
 2. IS THERE A POTABLE PRIVATE WELL WITHIN 75 FEET OF THE PROPOSED AVAILABLE AREA FOR THE PROPOSED SEPTIC SYSTEM? No
 3. IS THERE AN IRRIGATION WELL WITHIN 50 FEET OF THE AVAILABLE AREA FOR THE PROPOSED SEPTIC SYSTEM? No
 4. IS THERE A PUBLIC WELL THAT SERVES LESS THAN 25 PEOPLE OR LESS THAN 15 HOMES WITHIN 100 FEET OF THE PROPOSED SEPTIC SYSTEM? No
 5. IS THERE A PUBLIC WELL WHICH SERVES MORE THAN 25 PEOPLE OR MORE THAN 15 HOMES WITHIN 200 FEET OF THE PROPOSED SEPTIC SYSTEM? No
 6. IS THERE A GRAVITY SEWER LINE OR LIFT STATION WITHIN 100 FEET OF THE PROPOSED LOT? No
 7. IS THERE A LAKE, STREAM, WETLAND, OR SURFACE WATER WITHIN 75 FEET OF THE PROPOSED AVAILABLE AREA FOR THE PROPOSED SEPTIC SYSTEM? No
 8. IS THERE A PROPOSED OR EXISTING PUBLIC DRINKING WATER LINE WITHIN 10 FEET OF THE PROPOSED SEPTIC SYSTEM? No
 9. IS THERE A STORM WATER RETENTION AREA OR DRAINAGE EASEMENT WITHIN 15 FEET OF THE PROPOSED SEPTIC SYSTEM? No
 10. IS THE SEPTIC SYSTEM IN AN AREA PROPOSED FOR PAVING OR VEHICULAR TRAFFIC? No
 11. ARE ALL PRIVATE WELLS, SEPTIC SYSTEMS AND SURFACE WATER ON ADJACENT OR CONTIGUOUS LAND WITHIN 75 FEET OF THE APPLICANT'S LOT, IF PRESENT, SHOWN ON PLOT PLAN? YES
 12. ARE ALL PUBLIC WELLS WITHIN 200 FEET OF THE APPLICANT'S LOT, IF PRESENT, SHOWN ON PLOT PLAN? YES
 13. DOES THE PLOT PLAN INCLUDE A PLAT OF THE LOT OR TOTAL SITE OWNERSHIP DRAWN TO SCALE, BOUNDARIES WITH DIMENSIONS, LOCATIONS OF BUILDING OR RESIDENCES, SWIMMING POOLS, RECORDED EASEMENTS, THE PROPOSED SEPTIC SYSTEM, ANY PROPOSED OR EXISTING WELLS, PUBLIC WATER LINES, PAVED AREAS OR DRIVEWAYS, AND SURFACE WATERS SUCH AS LAKES, PONDS, STREAMS, CANALS, OR WETLANDS? YES
 14. THERE IS 1750 SQUARE FEET OF AVAILABLE LAND TO INSTALL THE SEPTIC SYSTEM. THIS AREA EXCLUDES INTERFERENCES. SHADE THIS AVAILABLE AREA ON PLOT PLAN.

----- ELEVATIONS -----

1. CROWN OF ROAD ELEVATION _____ NCVD SHOW LOCATION ON PLOT PLAN. IF ROAD IS NOT PAVED, BENCHMARK ELEVATION 3.25 NCVD SHOW LOCATION ON PLOT PLAN.
2. NATURAL GRADE ELEVATION IN AREA OF PROPOSED SEPTIC SYSTEM 4.5 NCVD SHOW LOCATION ON PLOT PLAN.
2. IS BUILDING LOCATED IN FLOOD HAZARD AREA "A" OR "V" AS IDENTIFIED ON FEMA MAPS? Yes IF YES, WHAT IS THE MINIMUM REQUIRED FLOOD HAZARD FLOOR ELEVATION OF BUILDING? 8.00 NCVD.

NOTE: MUST BE CERTIFIED BY A FLORIDA REGISTERED SURVEYOR OF ENGINEER.

CERTIFIED BY: STEPHEN J. BROWN
FL. PROFESSIONAL NO. 4049
DATE: 1-2-91 JOB NO. 939-160-01

PAGE 2

MARTIN COUNTY PUBLIC HEALTH UNIT
131 EAST SEVENTH STREET • STUART, FLORIDA 34994

Bob Martinez, Governor • Gregory L. Coler, Secretary (Revised 3/88)



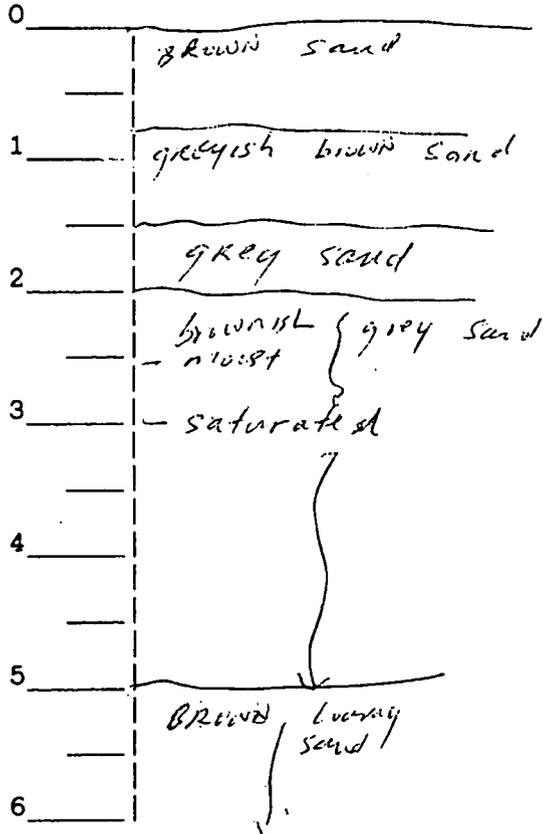
STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

SITE EVALUATION

APPLICANT: MICHAEL A. HANGES

LEGAL DESCRIPTION: Lot 1, RIVERCREST

SOIL PROFILE



USDA SOIL TYPE Pomello

USDA SOIL NUMBER #19

Restrictive soils are present at 2.5 below the surface.

Present Water Depth Below Surface 2 1/2'

Wet Season Range per Soil Survey 24-40" for 2-4 mths

Estimated Wet Season Water Depth Below Surface 18"

Indicator Vegetation Present figs, cabbage palm

Is Benchmark Located on Plot Plan and Present on Site? yes

Approximate Amount of Fill on Neighbor Lots 2' at N. (across street)

Depth of Fill in Soil Profile NONE

How Long Has Fill Been Present N/A

Evaluation by: [Signature] Date: 1-4-91

RW



STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

STUBOUT ELEVATION AND EXCAVATION CERTIFICATION

APPLICANT: Michael Longnes SEPTIC TANK PERMIT NO. HD91-003

LEGAL DESCRIPTION: lot 1 Rivercrest

The items which are checked off below must be certified by a surveyor or engineer and returned to the Martin County Health Unit prior to the first plumbing inspection by the Building Department.

- 1. Building Permit Number: _____ (Certification not required for this item).
- 2. I certify that the elevation of the top of the lowest plumbing stubout is _____ inches above benchmark elevation as indicated on septic tank permit.
- 3. I certify that the top of the lowest building plumbing stubout is _____ inches above crown of road elevation shown on septic tank permit.
- 4. I certify that all severe limited soil has been removed from an area 5 feet beyond drainfield area to a minimum depth of six (6) feet below top of required stubout elevation. Submit plot plan to scale of excavated area.

Date Observed: _____

5. I certify that the top of the drainfield pipe elevation is _____

- NOTE:
- a. Severe limited soil includes but is not limited to hardpan, clay, silt, marl or muck.
 - b. Drainfield must be centered in the excavated area. Drainfield will not be approved if severe limited soils are not removed.

CERTIFIED BY: _____

As applicant or applicant's representative, I understand the above requirements.

Date: _____ Job Number: _____

Therise Wheeler
(Signature)

FOR MARTIN COUNTY PUBLIC HEALTH UNIT USE ONLY

Martin County Health Unit Approval Signature

(Date)

MARTIN COUNTY PUBLIC HEALTH UNIT
ENVIRONMENTAL HEALTH
612 SOUTH DIXIE HIGHWAY • STUART, FLORIDA 34994
Bob Martinez, Governor • Gregory L. Coler, Secretary

Revised 12-7-88

Bob Martinez, Governor • Gregory L. Coler, Secretary

MARTIN COUNTY PUBLIC HEALTH UNIT
612 S. DIXIE HWY. • STUART, FL 34994

John Crawford -
286 - 7365
Block -



874674

Permit No.:
Tax Folio No.: 35-37-41-010-000-00010-80000

FILED FOR RECORD
MARTIN CO. FLA.
91 MAR 18 PM 4:40
MARSHA STILLER
CLERK OF CIRCUIT COURT
BY D.C.

NOTICE OF COMMENCEMENT

STATE OF FLORIDA
COUNTY OF MARTIN

The undersigned hereby gives notice that improvement will be made to certain real property; and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement:

1. Description of Property: (xxx River Crest Court, Stuart, Florida 34996)

Lot 1, RIVER CREST, according to the plat thereof, as recorded in the Office of the Clerk of the Circuit Court in Plat Book 12, Page 11, Public Records of Martin County, Florida.

2. General description of improvement: Construction of Single Family Residence

3. Owner Information: Michael Langnes and Patricia V. Cartwright
1617 N.E. Nautical Place, Jensen Beach, Florida 34957
Fee Simple Ownership

4. Contractor: Gary Hufnagel, Inc.
220 N.E. Hollyhock Terrace
Jensen Beach, Florida 34957

5. Surety: N/A

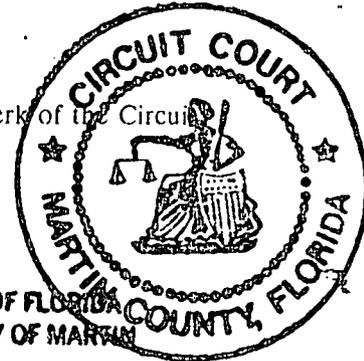
6. Lender: Sun Bank/Treasure Coast, National Association
2400 S. Federal Highway
Stuart, Florida 34994

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes:

N/A

8. In addition to himself, Owner designates Douglas A. O'Brien of Sun Bank/Treasure Coast, National Association, 2400 S. Federal Highway, Stuart, Florida 34994, to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

9. Expiration date of Notice of Commencement: 1 year from the date of recording of this instrument.



STATE OF FLORIDA
COUNTY OF MARTIN

THIS IS TO CERTIFY THAT THIS IS A TRUE AND CORRECT COPY OF THE ORIGINAL.

MARSHA STILLER, CLERK
BY Charlotte Bulkey D.C.
DATE 3-18-91

Michael Langnes
MICHAEL LANGNES
Pamela V. Cartwright
PAMELA V. CARTWRIGHT

STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this 15th day of March, 1991.

Kenneth A. Norman
Notary Public - State of Florida
Printed Name Kenneth A. Norman

Dr. 2
Brown



KELLY & KELLY ARCHITECTS

118 W SIXTH STREET, STUART, FLORIDA 33497. 283-3492

April 12, 1991

Calculations for the Langnes Residence. Lot No. One (1),
Rivercrest Subdivision, Sewalls Point, Martin County,
Florida.

AREA CALCULATIONS

Areas	Allowable Area	Actual Area
Lot		19,960 Square Feet
Structure Coverage (30%)	5,988 Square Feet	3,234 Square Feet
Impervious Coverage (50%)	9,980 Square Feet	6,185 Square Feet



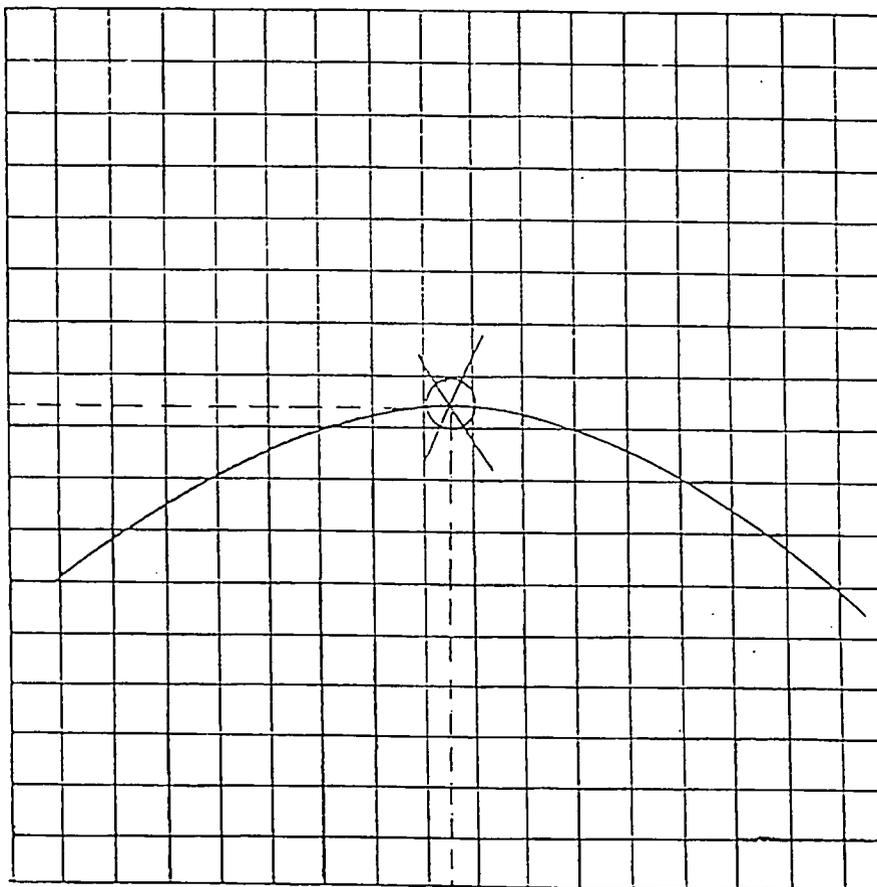
HENRIKSEN ENGINEERING, INC.
 Consultants in Geotechnical Engineering,
 Materials Testing and Construction Inspection Services

2660 S.E. Fairmont Street, Stuart, Florida 34997
 P.O. Box 1710, Stuart, Florida 34995

(407) 286-6124
 (407) 286-6047

PROJECT Lot #1 JOB/CLIENT NO 311-1030
 LOCATION Rivercrest DATE 4/11/91
 CLIENT Gary Hufnagle REPORT NO. -1-
 TYPE OF SOIL brown medium sand with marl TYPE OF PROCTOR T-180
 MAXIMUM DENSITY OF MATERIAL 110.8 (p.c.f.) OPTIMUM MOISTURE 11.2

DRY UNIT WEIGHT (pounds per cubic foot)



MOISTURE CONTENT (percent of dry weight)

Approved by *Carl H.D. Henriksen*
 Carl H.D. Henriksen, P.E.



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(407) 286-6124
 (407) 286-6047

SOILS INSPECTION

PROJECT Lot #1 PROJECT NO. 311-1030
 LOCATION Rivercrest REPORT NO. -2-
 CLIENT Gary Hufnagle DATE 4/11/91
 TYPE OF FILL brown medium sand with marl
 METHOD OF COMPACTION n/a TYPE OF PROCTOR T-180
 MAXIMUM DENSITY OF MATERIAL 110.8 DENSITY REQUIRED 95%

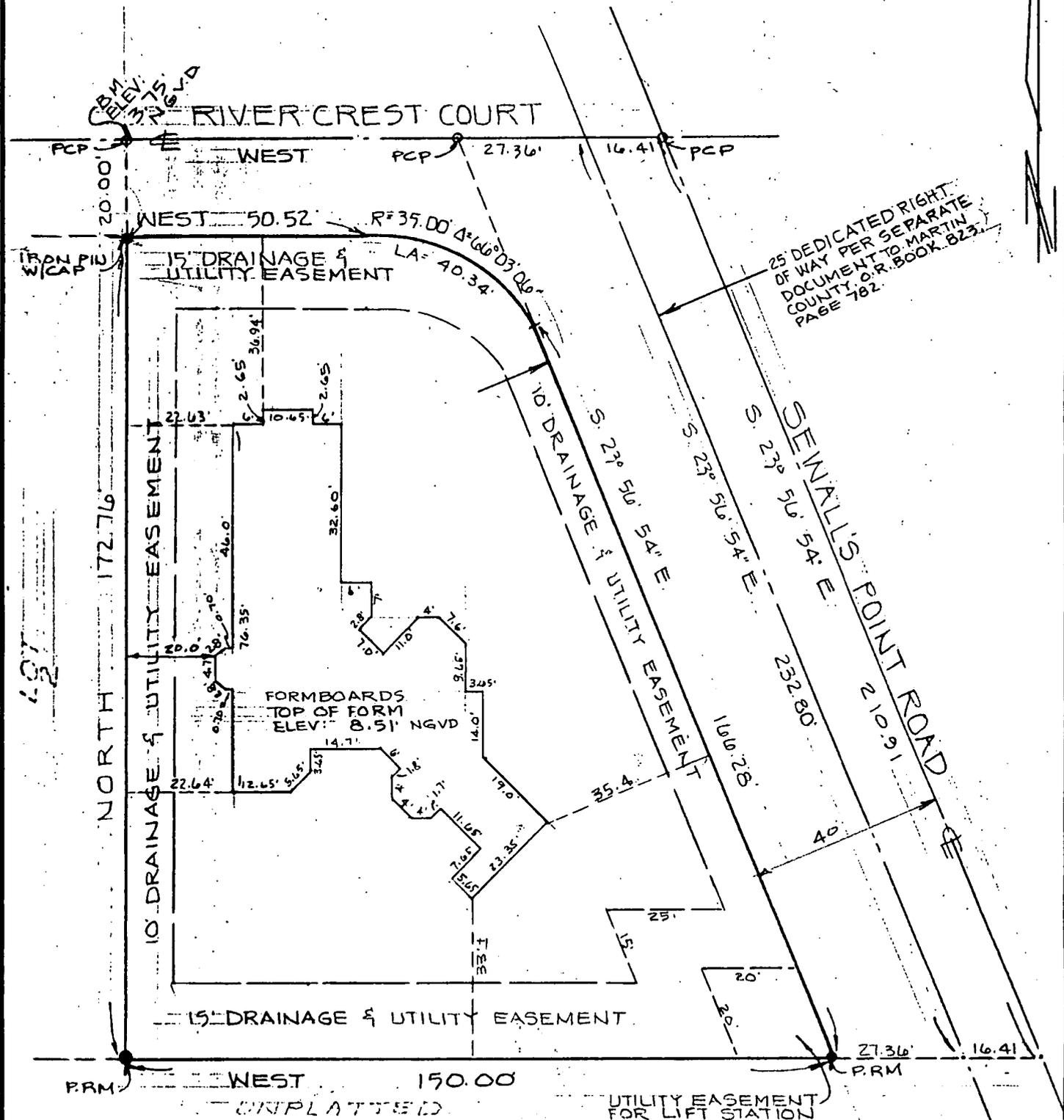
LOCATIONS AND RESULTS OF TESTS

<u>TEST NUMBER</u>	<u>TEST LOCATION</u>	<u>DEPTH BELOW FINISHED GRADE</u>	<u>PERCENT MOISTURE</u>	<u>PERCENT COMPACTION</u>
1	Northeast corner of building pad	0-1'	10.6	97.3
2	Southeast corner of building pad	0-1'	11.2	97.7
3	Southwest corner of building pad	0-1'	10.1	97.4
4	Northwest corner of building pad	0-1'	10.3	98.1
5	Center of building pad	1-2'	12.1	97.2
6	Center of building pad	2-3'	14.0	97.8

REMARKS: _____

APPROVED BY: 
 CARL H.D. HENRIKSEN, P.E.

LOCATED IN FLOODZONE "A-10" EL 8
 BEARING BASE - Q RIVER CREST COURT
 ELEVATIONS REFER TO NGVD
 Q = DENOTES CENTERLINE OF ROAD R/W
 P.R.M. = PERMANENT REFERENCE MONUMENT
 P.C.P. = PERMANENT CONTROL POINT
 SURVEY BY



A BOUNDARY SURVEY OF
 LOT 1
 RIVER CREST

ACCORDING TO THE PLAT THEREOF AS RECORDED IN
 PLAT BOOK 12, PAGE 11, PUBLIC RECORDS OF
 MARTIN COUNTY, FLORIDA

FOR:
 MICHAEL LANGNES & PATRICIA V. CARTWRIGHT

This survey meets the minimum technical standards for Land Surveying in Florida, as prescribed in Chapter 21HH-6, F.A.C.I hereby certify to Sun Bank/ Treasure Coast, N.A.; Kohl, Bobko, McKey, McManus & Higgins, P.A.; Attorney's Title Insurance Fund and Michael Langnes and Patricia V. Cartwright that the sketch shown hereon is a correct representation of a survey done under my direction and is true and correct to the best of my knowledge and belief. There are no encroachments unless otherwise shown. No search of the public records made for errors or omissions of said description. Easements of record not shown unless furnished.

DON WILLIAMS & ASSOCIATES, INC.
 LAND SURVEYORS

W.L. Williams
 W.L. WILLIAMS

38 E. OCEAN BLVD. STUART, FLA. 34994
 (305) 283-2977

R.L.S. FLA. REG. No. 1272

F.B. 25 M Page 23 W.O. # 145

SCALE: 1" = 30'	DATE 4-17-91 = OFFICE 4-17-91 = FIELD	PLAT BOOK: 12	PAGE: 11
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RECORD OF INSPECTIONS

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 10/21/91

This is to request that a Certificate of Approval for Occupancy be issued to Mr Langnes
 For property built under Permit No. 2964 Dated 4/11/91 when completed in
 conformance with the Approved Plans.

Item		
1. LOT STAKES/SET BACKS	<u>4/17/91</u>	Signed _____
2. TERMITE PROTECTION		
3. FOOTING - SLAB	<u>4/19/91 Pads 4/25/91</u>	Approved by _____
4. ROUGH PLUMBING	<u>4/17/91</u>	
5. ROUGH ELECTRIC	<u>7/15/91</u>	
6. LINTEL		
7. ROOF	<u>9/26/91</u>	
8. FRAMING	<u>7/15/91</u>	
9. INSULATION	<u>7/19/91</u>	
10. A/C DUCTS	<u>7/15/91</u>	
11. FINAL ELECTRIC	<u>10/18/91</u>	
12. FINAL PLUMBING	<u>10/18/91</u>	
13. FINAL CONSTRUCTION	<u>10/18/91</u>	

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector Dale Brown 10/21/91 date

Approved by Building Commissioner R. Chandrasekhar 10/21/91 date

Utilities notified F.P.L. 10/11/91 date

Original Copy sent to OWNER

(Keep carbon copy for Town files)

3017

POOL, SPA, DECK

Permit No. _____

Date _____

APPLICATION FOR PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

3017

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Mike Langnes Present Address 117 Nautical Pl. # 908

Phone 334-3904 _____

Contractor Kline Pools Address PDB 2901

Phone 283-6857 _____

Where licensed Martin Co License number _____

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: _____

Pool - Spa & Deck

State the street address at which the proposed structure will be built: _____

Lot 1 Rivercrest

Subdivision Rivercrest Lot number 1 Block number _____

Contract price \$ 13,500- Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that, I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Alvora

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Michael Langnes

TOWN RECORD

Date submitted 6/21/91 Approved: Dale Brown 6/24/91
Building Inspector Date

Approved: _____ Commissioner Date Final Approval given: _____ Date

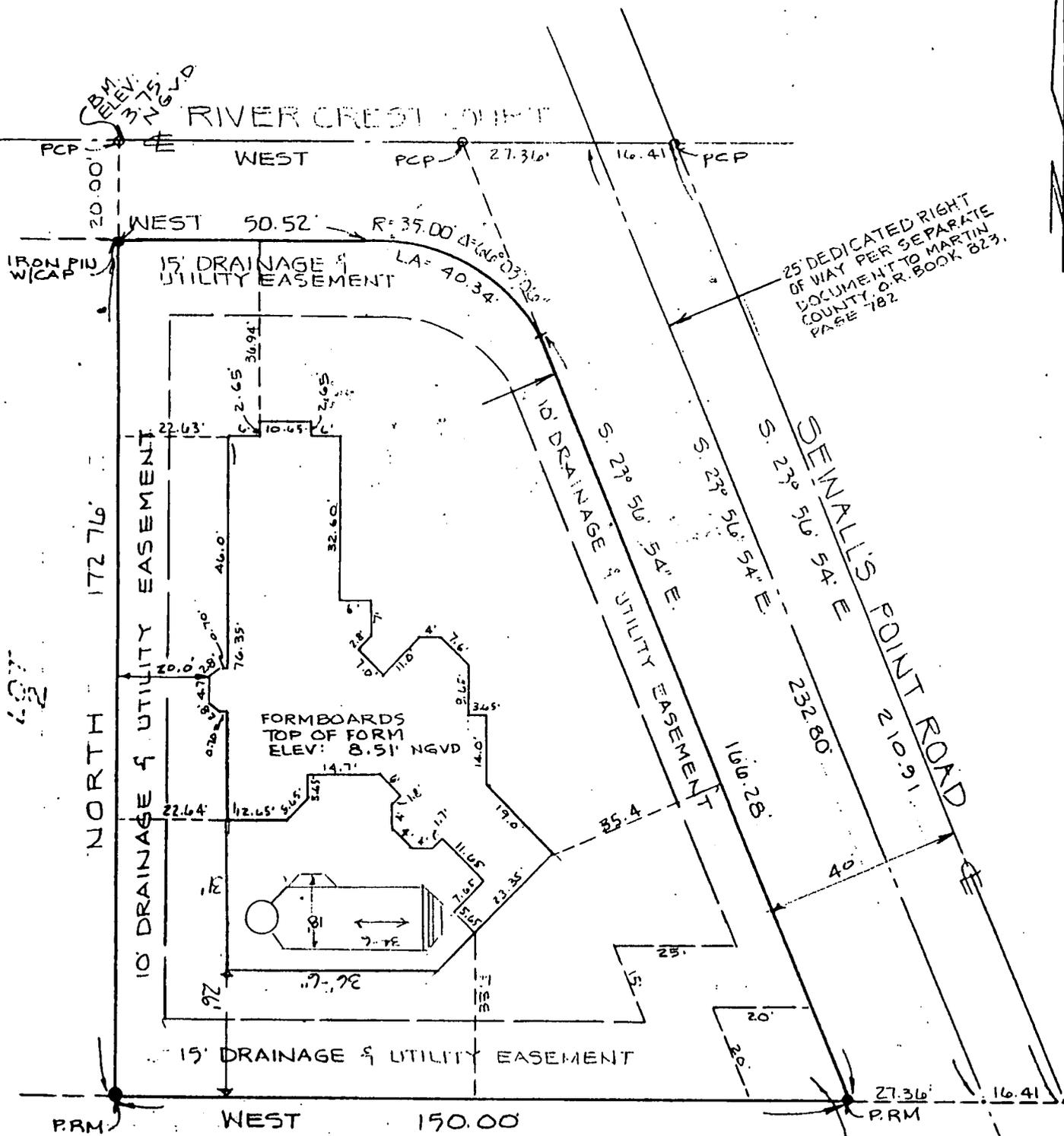
Certificate of Occupancy issued (if applicable) _____ Date

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

LOCATED IN FLOODZONE "A10" EL 8
 BEARING BASE - Q RIVER CREST CORNER
 ELEVATIONS REFER TO NGVD
 Q = DENOTES CENTERLINE OF ROAD R/W
 P.R.M. = PERMANENT REFERENCE MONUMENT
 P.C.P. = PERMANENT CONTROL POINT
 SURVEY BY



25' DEDICATED RIGHT OF WAY PER SEPARATE DOCUMENT TO MARTIN COUNTY O.R. BOOK 823, PAGE 782

A BOUNDARY SURVEY OF
 LOT 1
 RIVER CREST

ACCORDING TO THE PLAT THEREOF AS RECORDED IN
 PLAT BOOK 12, PAGE 11, PUBLIC RECORDS OF
 MARTIN COUNTY, FLORIDA

FOR
 MICHAEL LANGNES & PATRICIA V. CARTWRIGHT

This survey meets the minimum technical standards for Land Surveying in Florida, as prescribed in Chapter 21HH-6, F.A.C.I hereby certify to Sun Bank/ Treasure Coast, N.A.; Kohl, Bobko, McKey, McManus & Higgins, P.A.; Attorney's Title Insurance Fund and Michael Langnes and Patricia V. Cartwright that the sketch shown hereon is a correct representation of a survey done under my direction and is true and correct to the best of my knowledge and belief. There are no encroachments unless otherwise shown. No search of the public records made for errors or omissions of said description. Easements of record not shown unless furnished.

DON WILLIAMS & ASSOCIATES, INC.
 LAND SURVEYORS

W.L. Williams
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708 E. OCEAN BLVD. STUART, FLA. 34991

R.L.S. FLA. REG. No. 1272

(305) 283-2977

F.B. 25 M Page 23

W.O. # 145

SCALE: 1" = 30'	DATE 4-17-91 = OFFICE 4-17-91 = FIELD	PLAT BOOK: 12	PAGE: 11
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General description of improvements

pool + deck

Owner Michael Langnes

Address 1617 Nautical Pl. # 908 Jensen Beach, FL

Owner's interest in site of improvement

Fee Simple Title holder (if other than owner)

Address

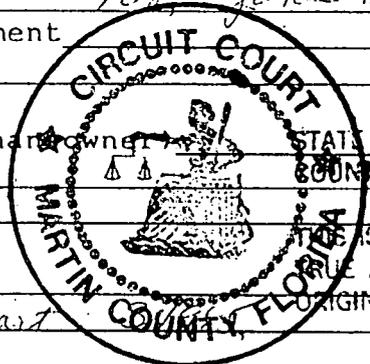
Contractor Kline Pools

Address PCB 2901 Street

Surety

Address

Amount of bond \$



STATE OF FLORIDA
COUNTY OF MARTIN
I HEREBY CERTIFY THAT THIS
IS A TRUE AND CORRECT COPY OF
THE ORIGINAL.

MARSHA STILLER, CLERK

BY [Signature]

DATE 6-20-91

Lender Sun Bank of Martin County

Address

Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7., Florida Statutes:

Name

Address

In addition to himself, owner designates _____ of _____ to receive a copy of the Lienor's Notice as provided in Section 713.12 (1) (b), Florida Statutes.

Expiration date of notice of commencement (the expiration date is one year from the date of recording unless a different date is specified).

THIS SPACE FOR RECORDING USE ONLY

X Michael Langnes
Owner

Sworn to and subscribed before me this 20 day of June 1991

Notary Public, State of Florida
My Commission Expires July 1, 1994
Bonded thru Fidelity Insurance, Inc.

Marjorie A. Stahl
Notary Public

4997

FENCE

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 6/30/00 BUILDING PERMIT NO. 4997
 Building to be erected for GARY SCHECODNIC Type of Permit FENCE (WOOD)
 Applied for by UNITED FENCE (Contractor) Building Fee \$30.00
 Subdivision RIVER CREST Lot 1 Block _____ Radon Fee _____
 Address 1 RIVER CREST CT. Impact Fee _____
 Type of structure S.F.R. A/C Fee _____

Parcel Control Number: _____
 Electrical Fee _____
 Plumbing Fee _____
 Roofing Fee _____

Amount Paid \$30.00 Check # 8957 Cash _____ Other Fees (_____)
 Total Construction Cost \$ 650.00 TOTAL Fees \$30.00

Signed [Signature] Applicant Signed [Signature] Town Building Inspector OFFICIAL

FENCE PERMIT

INSPECTIONS			
SETBACKS	DATE _____	HEIGHT	DATE _____
FOOTINGS	DATE _____	FINAL	DATE _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455
WORK HOURS – 8:00 AM UNTIL 5:00 PM
MONDAY THROUGH SATURDAY

- New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

Town of Sewall's Point

BUILDING PERMIT APPLICATION

RECEIVED
 JUN 28 2000
 BY: _____

Owner's Name: GARY & Rebecca Schesodnie Phone No. _____
 Owner's Present Address: 1 River Crest Ct Sewalls Point FL
 Fee Simple Titleholder's Name & Address if other than owner: _____

Location of Job Site: _____
 TYPE OF WORK TO BE DONE: _____
 CONTRACTOR INFORMATION
 Contractor/Company Name: UNITED FENCE Phone No. 335-2627
 COMPLETE MAILING ADDRESS: 367 NOTLEM DR., Ft. P., FL 34982
 State Registration: M.C. 00541 State License _____
 Legal Description of Property _____
 Parcel Number _____

ARCHITECT/ENGINEER INFORMATION
 Architect _____ Phone No. _____
 Address _____
 Engineer _____ Phone No. _____
 Address _____
 Area Square Footage: Living Area _____ Garage Area _____ Carport _____
 Accessory Bldg. _____ Covered Patio _____ Scr. Porch _____ Wood Deck _____
 Type Sewage: _____ Septic Tank Permit # from Health Dept. _____
 NEW electrical SERVICE SIZE _____ AMPS

Cost of Const \$650.00 *Contractor*

FLOOD HAZARD INFORMATION
 flood zone _____ minimum Base Flood Elevation (BFE) _____ NGVD
 proposed finish floor elevation _____ NGVD (minimum 1 foot above BFE)
 Cost of construction or Improvement _____
 Fair Market Value (FMV) prior to improvement _____
 Substantial Improvement 50% of FMV yes _____ No _____
 Method of determining FMV _____

SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)
 Electrical _____ State License _____
 Mechanical _____ State License# _____
 Plumbing _____ State License# _____
 Roofing _____ State License# _____

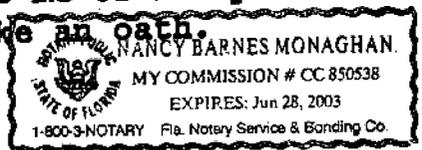
Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE George Qui
 Sworn to and subscribed before me this 22 day of June, ~~1998~~ by 2000
 _____ who is personally known to me or has produced or has produced _____ and who did (did not) take an oath.
 CONTRACTOR SIGNATURE George Qui
 Sworn to and subscribed before me this 22 day of June, ~~1998~~ by 2000
 by GEORGE QUI who is personally known to me or has produced _____ and who did (did not) take an oath.

Nancy Monaghan
 Page 1



TREE REMOVAL (Attach sealed survey)

No. of trees to be removed _____ No. to be retained _____ No. to be planted _____

Specimen tree removed _____ Fee _____ Authorized/Date _____

DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE :

- A. Property Appraiser's Parcel Number.
- B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
- C. Contractor's name, address, phone number & license numbers.
- D. Name all sub-contractors (properly licensed).
- E. Current Survey
- F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:
 1. Floor Plan
 2. Foundation Details
 3. Elevation Views - Elevation Certificate due after slab inspection.
 4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
 5. Truss layout
 6. Vertical Wall Sections (one detail for each wall that is different)
 7. Fireplace drawing: If prefabricated submit manufacturers data.

ADDITIONAL Required Documents are:

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official _____

Approved by Town Engineer _____

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
05/02/00

PRODUCER
Admiral Insurance Assocs. Inc
2213 South Kanner Highway
Stuart, FL 34994
561 781-1099

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COPY

INSURERS AFFORDING COVERAGE

INSURED
George Quinn
dba United Fence & Steel
367 Notlem Dr
Ft. Pierce, FL 34982

INSURER: ESSEX INSURANCE CO
INSURER B: _____
INSURER C: _____
INSURER D: _____
INSURER E: _____

RECEIVED
MAY 4 2000
BY: 

FILE
FILE
PERMIT

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO. SECT <input type="checkbox"/> LOC	3AP4139	04-30-00	04-30-01	EACH OCCURRENCE \$100,000 FIRE DAMAGE (Any one fire) \$ 50,000 MED EXP (Any one person) \$ 1,000 PERSONAL & ADV INJURY \$100,000 GENERAL AGGREGATE \$200,000 PRODUCTS - COMP/OP AGG \$200,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
	EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATUTORY LIMITS <input type="checkbox"/> OTHER <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

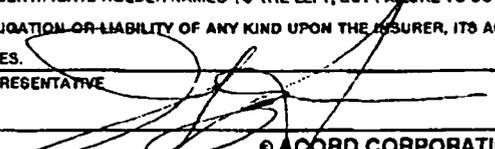
Fence Installation

CERTIFICATE HOLDER | ADDITIONAL INSURED; INSURER LETTER: | CANCELLATION

City of Sewells Point
1 S Sewells Point Road
Sewells Point, FL 34996

220-4765

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE 

NOTICE OF ELECTION TO BE EXEMPT

Please refer to the written instructions prepared by the **PAID** Division of Workers' Compensation before completing this form.

By filing this application, you elect to be exempt from the provisions of Chapter 440, Florida Statutes and waive any right you may have to workers' compensation benefits in the State of Florida should you become injured on the job. Any person who knowingly and with intent to injure, defraud, or deceive the Division or any employer, employee, or insurance company or purposes program, files a Notice of Election to be Exempt containing any false or misleading information is guilty of a felony of the third degree. Certain documentation is required by law to be attached to this application - refer to the instruction sheet for more details.

STATE USE ONLY	
Effective/Issue Date:	
Expiration Date:	
Control Number:	
Postmark Date:	NPD
Received Date:	

1799-00980018

I am applying for exemption as a (check only one box in this section):

CONSTRUCTION INDUSTRY Sole Proprietor Partner Corporate Officer (your corp. title:)

NON-CONSTRUCTION INDUSTRY Corporate Officer (your corp. title:)

CORPORATE OFFICERS AND PARTNERS: List the registration number of your business on file with the Division of Corporations, Department of State's Office (NOTE: your partnership may not have one, but all corporations must have one. If your partnership doesn't have one, state "N/A"):

RECEIVED

JAN 10 2000

Are you a sole proprietor, partner, or corporate officer in any business entity other than **BUREAU OF W & COMPLIANCE WEST PALM BEACH** to which this application applies? NO YES list the name of all other businesses in which you have an ownership interest:

THIS EXEMPTION APPLICATION APPLIES ONLY TO THE PERSON SIGNING THE APPLICATION AND ONLY FOR THE BUSINESS ENTITY LISTED IN THE FOLLOWING SECTION

Business Name: UNITED FENCE & STEEL		Trade Name; d/b/a; or a/k/a:		
Business Mailing Address: 367 NOTLEM DR		City: FT. PIERCE	State: FLA	Zip: 3498
County: ST. LUCIE	Phone No.: (888) 3352627	Nature of Business: FENCE INSTALLATION		FEIN:
Unemployment Compensation Tax No:	Date Business Established: 5.18.78	No. of Employees: NONE		

Do you have a certified or registered license issued to you pursuant to Chapter 489, Florida Statutes? YES - identify the license and list the license no. of all licenses issued to you: SP-541, SP-204, 16723, 6 NO

AFFIDAVIT OF APPLICANT: I hereby certify that the information contained herein is true and correct to the best knowledge and belief; that this election does not exceed exemption limits for corporate officers or partners as provided in Florida Statutes; and that I will secure the payment of workers' compensation benefits, pursuant to Chapter 440, Florida Statutes for any employee I now have or may hereinafter acquire, for which my business is required by Florida law to secure such benefits.

GEORGE QUINN
TYPE/PRINT NAME OF PERSON APPLYING FOR EXEMPTION

054, 34, 6262 6, 4, 1
SOCIAL SECURITY NO. mo. day

George Quinn
APPLICANT'S SIGNATURE

1. 10. 00
DATE SIGNED

NOTARY STATE OF FLORIDA, COUNTY OF St. Lucie

Sworn to and subscribed before me this 10th day of January, 2000, by GEORGE QUINN

Personally Known OR Produced Identification Type of Identification

NOTARY SIGNATURE Nancy Barnes Monaghan

My Commission Expires: 03
NANCY BARNES MONAGHAN
NOTARY PUBLIC
EXPIRES: Jun 28, 2003
1000 N. State Street, Palm Beach, FL 33480

MARTIN COUNTY CONTRACTORS
CERTIFICATE OF COMPETENCY

QUINN, GEORGE R
UNITED FENCE CO
367 NOTLEM DR
FT PIERCE

FL 34962

EXPIRES SEPTEMBER 30, 20 00

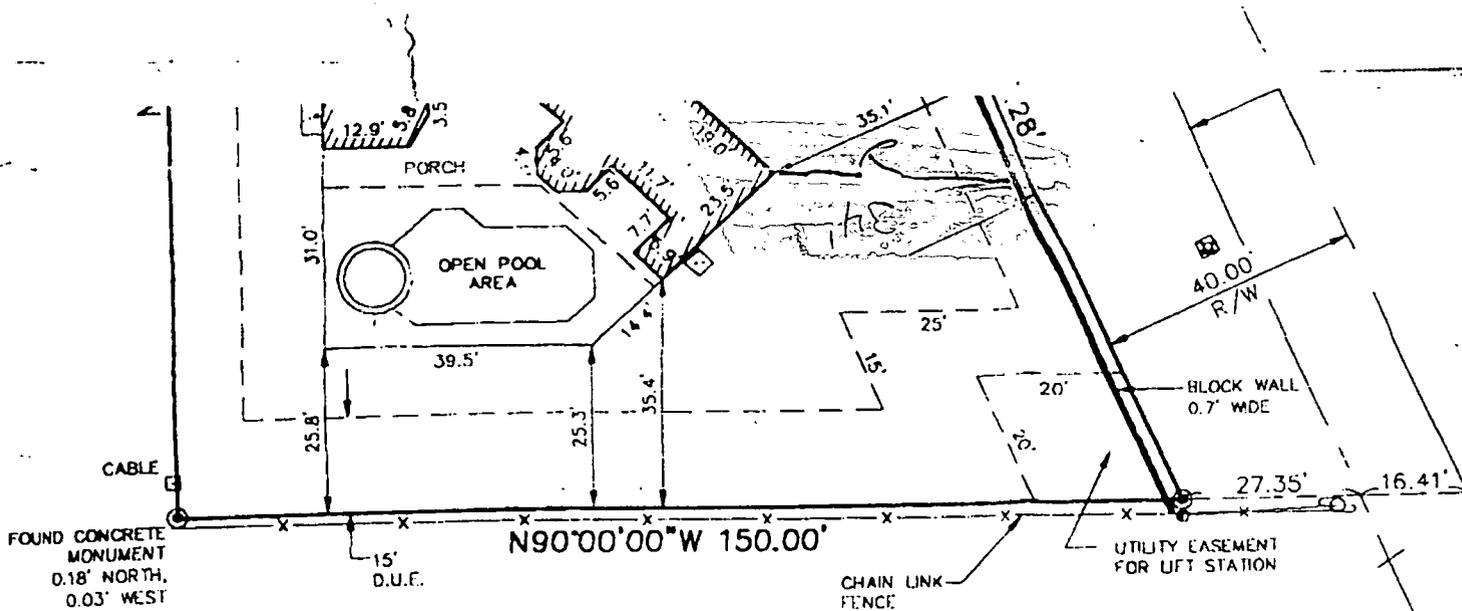
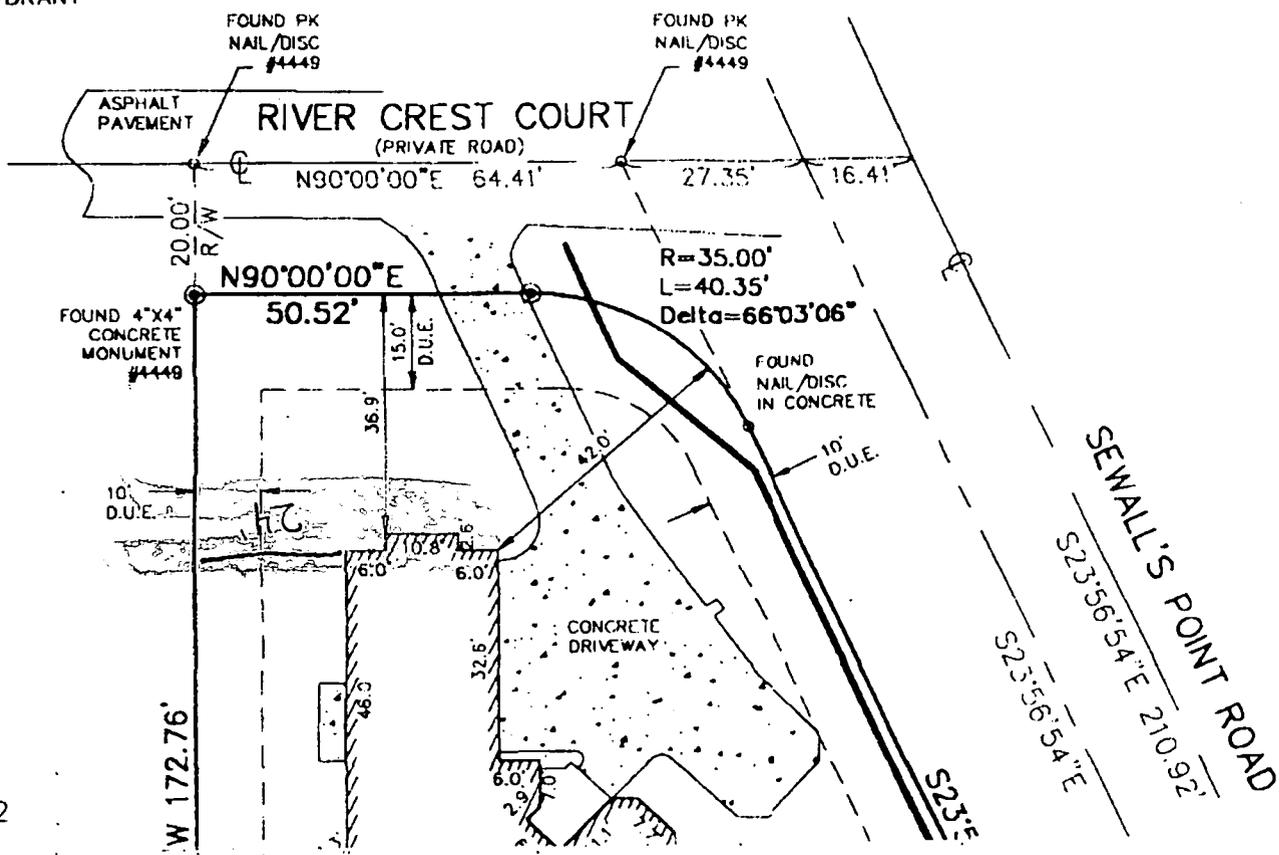
AUDIT
CONTROL
NUMBER

37028

CERTIFICATE NUMBER

SF00541

BRANCHES.
 AND UTILITIES NOT LOCATED PER THIS SURVEY.
 PERMANENT CONTROL POINT.
 PERMANENT REFERENCE MONUMENT.
 CENTERLINE OF ROAD; R/W = RIGHT-OF-WAY
 CENTER POLE; ○ = GUY WIRE
 DRAINAGE & UTILITY EASEMENT
 FENCE
 OVERHEAD ELECTRICAL WIRES
 AND 4"x4" CONCRETE MONUMENT
 UTILITY BOX
 HYDRANT



UNPLATTED

6/30/00 TOWN OF SEWALL'S POINT
 RECEIVED
 [Signature]
 BLOCK OFFICIAL

BOUNDARY SURVEY

LOT 1

RIVER CREST

ACCORDING TO THE PLAT THEREOF AS RECORDED IN
 PLAT BOOK 12, PAGE 11, PUBLIC RECORDS OF MARTIN
 COUNTY, FLORIDA:

FOR

GARY J. & REBECCA A. SCHECODNIC

FILE

TOWN COPY
 RIVER CREST CT.

PN 4997

ON VALID TO:

WHATTAN MORTGAGE
 ITS SUCCESSORS AND/OR
 THEIR INTEREST MAY APPEAR
 S' TITLE INSURANCE FUND, INC.
 ON, SUNDHEIM & WOODS, P.A.
 REBECCA A. SCHECODNIC

NOT VALID WITHOUT THE SIGNATURE AND
 SEAL OF A FLORIDA LICENSED SURVEYOR

ON:

CERTIFY THAT THE SKETCH SHOWN HEREON IS A CORRECT REPRESENTATION OF A SURVEY DONE UNDER MY DIRECTION AND IS TRUE
 OF MY KNOWLEDGE AND BELIEF. NO SEARCH OF THE PUBLIC RECORDS MADE FOR ERRORS OR OMISSIONS OF SAID DESCRIPTION.
 SHOWN UNLESS FURNISHED. I FURTHER CERTIFY THAT THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH UNDER
 C. BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS.

CHRISTIAN FENEX
 SURVEYOR AND MAPPER

[Signature]
 FLORIDA REGISTRATION # 5102

FROM: UNITED FENCE & STEEL
 367 NOTLEM DRIVE

PHONE NO. : 561+466 9009

Jun. 13 2000 03:22PM P01

10 YEAR WARRANTY



335-2627

WE BUILD ANY FENCE

CHAIN LINK & BEAUTIFUL CUSTOM WOOD FENCES AND DECKS SINCE 1964

LICENSED & INSURED

Rebecca OR

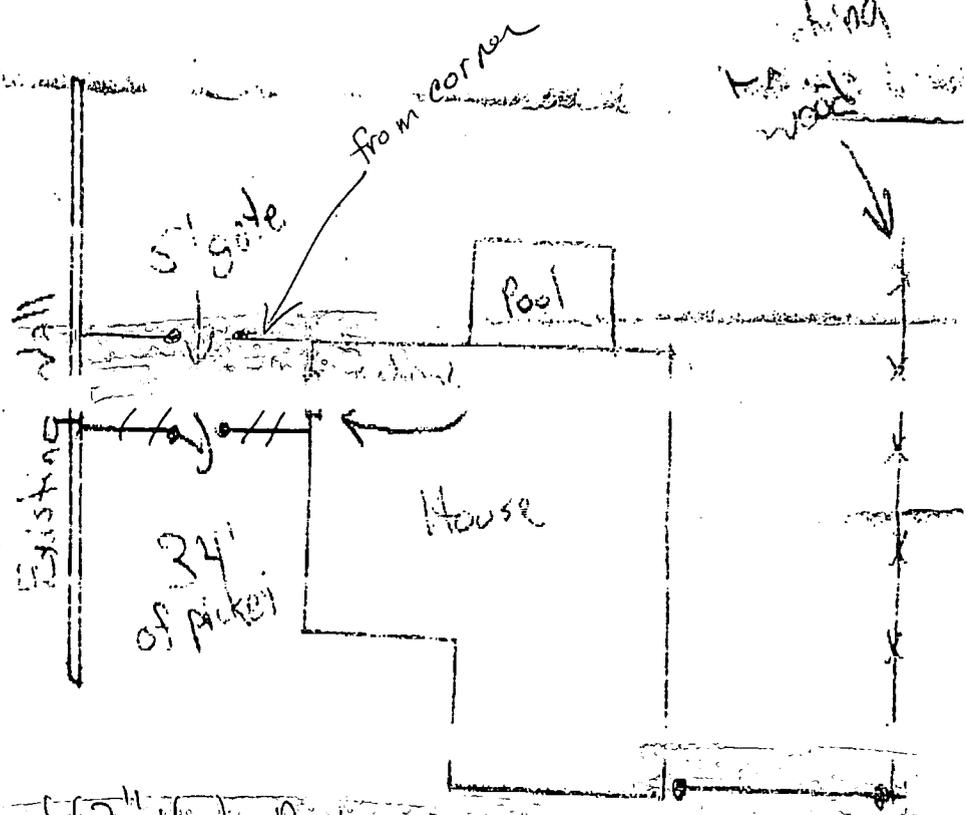
ADDRESS 1 River Cross Ct
 CITY Sewalls Pt Florida
 PHONE 232 2144

DATE 6/12/00
 TOTAL FOOTAGE 24' of 6 USB Custom
34' of 12" Gothic Space Picket

58' of Gothic Space Picket

- ALL FENCE TOP RAILS 2x4" P.T.
- CORNER POST 4x4" P.T.
- END POST 4x4" P.T.
- GATE POST 4x4" P.T.
- WALK GATES 1ea 5' wide
- DOUBLE DRIVE GATES
- WOOD FENCE YES All Pressure Treated
- WOOD POSTS " " " "
- SURVEY YES Just Done
- HOT DIPPED GALV.

	Height 1 1/2"	2"	2 1/2"
FABRIC			
TERMINAL POSTS			
LINE POSTS			
RAIL ENDS			
TENSION BARS			
TENSION BANDS			
TERMINAL CAPS			
LOOP CAPS			
TOP RAIL			
BARB ARMS			
BARB WIRE			
TIES			
MALES			
FEMALES			
FORKS			
BACKS			
DROP RODS			



42" High Picket Fence
8' space on 4x4" poles
2x4" Rails (Horizontal)
Poles 2 1/2" Deep All poles in concrete
24' of 6" USB

TOTAL PRICE \$775.00
 LESS DEPOSIT 1/2
 C.O.D. ON COMPLETION 1/2
 SALESMAN Joe Dulan 2014241
 CUSTOMER _____
 OFFICE ACCEPTANCE _____

Prices quoted do not include any clearing of fence lines. United will clear fence lines for a fee of \$35.00 per man, per hour. The above is an estimate based on our inspection and does not cover any additional labor which may be required after the work has been opened up. Occasionally, after the work has started, large buried objects are discovered which were not evident on the first inspection. Because of this the above prices may have to be renegotiated. This circumstance is rare.

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 7-7-00, 2000;

Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4997	Schecodnic	final fence	Passed	
✓ ①	T River Crest United Court		BG.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4975	ster/hoj	steel -		NO POLYBOARD SURVEY - REQUIRED
✗	106 Hillcrest	pool	Cancelled	Called +
	POOLS BY ADDRESS 692-7946	← call contractor	9:05 AM	Advised need survey
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4894	Braunstein	final	Reject	No one at home.
✓ ②	11 N. River	dock	BG.	GATE HAS LOCK ON IT. Can't get in
	TROPIC MANURE	(Two Large Dogs)		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4993	Reilly	shutters -	OK	HAS SOME EXISTING
✓ ⑦	78 S. Sewall's	final	BG.	Shutters NOT
	Tr. Coast Home Imp.			Approved.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4994	Christie	shutters -	OK	
✓ ⑥	103 S. Sewall's	final	BG.	
	Tr. Coast Home Imp.			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4996	Villa	final	OK	
✓ ⑨	24 S. Sewall's	electrical	BG.	
	RMR Electric			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4691	Wattles	temp. el.	OK	AC ONLY -
✓ ⑧	20 N. Ridgeview	hook-up	BG.	Took keys to office.

OTHER: T/R 19 CASTLE HILL DEBARKMAN PALM COAST OK 1. ✓
 9 RIVERVIEW WINTER SHAW'S OK 2. ✓
 20 PALM RD PAUCETT MONTAGS OK 3. ✓
 INSPECTOR (Name/Signature): SS WIGHT POINT KING SHAW TREE OK 4. ✓

7637

REROOF

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 6/23/05

BUILDING PERMIT NO. 7637

Building to be erected for SCHECODNIC

Type of Permit REEROOF

Applied for by GARY MARZO INC. (Contractor)

Building Fee _____

Subdivision RIVER CREST Lot 1 Block _____

Radon Fee _____

Address 1 RIVER CREST COURT

Impact Fee _____

Type of structure SR

A/C Fee _____

Electrical Fee _____

Parcel Control Number:

Plumbing Fee _____

3537410100000001080000

Roofing Fee 120.00

Amount Paid 120.00 Check # 2120 Cash _____

Other Fees (_____) _____

Total Construction Cost \$ 39,998.

TOTAL Fees 120.00

Signed [Signature]

Applicant

Signed [Signature]

Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

RECEIVED

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Date: 6/2/05 Permit Number: _____

OWNER/TITLEHOLDER NAME: Gary Schecodnic Phone (Day) 781-2515 (Fax) _____

Job Site Address: 1 River Crest Court City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) River Crest Lot: 1 Parcel Number: 353741010000000108

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: Roof-Over

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 39,998.00

Estimated Fair Market Value prior to improvement: \$ n/a

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: n/a

(If no, fill out the Contractor & Subcontractor sections below)
(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: Gary Marzo Inc. Phone: 871-2489 Fax: 405-8829

Street: 861-A SW Lakehurst Drive City: Port St Lucie State: FL Zip: 34983

State Registration Number: _____ State Certification Number CC-058193 Martin County License Number SPO1621

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____
Mechanical: _____ State: _____ License Number: _____
Plumbing: _____ State: _____ License Number: _____
Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic# _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof 6500 Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) Gary Schecodnic

State of Florida, County of: Martin

This the 15 day of June, 2005

by _____ who is personally known to me or produced as identification.

Notary Public LYNN MARZO

My Commission Expires: _____

CONTRACTOR SIGNATURE (required) Gary Marzo

On State of Florida, County of: Martin

This the 2 day of June, 2005

by Gary Marzo who is personally known to me or produced

As identification. C. J. HARRELL MY COMMISSION # DD 420050 EXPIRES: April 13, 2009

My Commission Expires: _____ Seal



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
governmax.com T1.5

Summary

Address 1 of 2

Parcel Info

Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Transfer
- Taxes →
- Assessments →
- Parcel Map →
- Full Legal →

Parcel ID

Unit Address

35-37-41-010-000-00010-8

1 RIVER CREST CT

Serial Index ID Order

Commercial Residential

9594 Address

0

1

Summary

Property Location 1 RIVER CREST CT
Tax District 2200 Sewall's Point
Account # 9594
Land Use 101 0100 Single Family
Neighborhood 120700
Acres

Legal Description

Property Information
 RIVER CREST, LOT 1
 PI#35-37-41-010-000-00010-80000

Owner Information

Owner Information
SCHECODNIC, GARY J. & REBECCA A.

Mail Information

1 RIVERCREST COURT
STUART FL 34996

Assessment Info

Front Ft. 0.00

Market Land Value \$109,200
Market Impr Value \$393,430
Market Total Value \$502,630

Search By

- Parcel ID
- Owner
- Address**
- Account #
- Use Code
- Legal Description
- Sales
- Neighborhood
- Map →

Site Functions

- Property Search**
- Feedback
- On-Line Help
- County Home
- Site Home
- County Login

Recent Sale

Sale Amount \$305,000

Sale Date 6/1/2000
Book/Page 1484 2224

Legal disclaimer / Privacy Statement

Data updated on 05/22/2005





CERTIFICATE OF LIABILITY INSURANCE

OP ID BL
GARM001DATE (MM/DD/YYYY)
10/18/04

PRODUCER
J.W. Edens & Company
 Commercial Ins of Brevard, Inc
 5005 Wickham Road
 Melbourne FL 32940
 Phone: 321-751-3737 Fax: 321-751-3738

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED

Gary Marzo, Inc.
 861 A-SW Lakehurst Drive
 Port St. Lucie FL 34983

INSURERS AFFORDING COVERAGE NAIC #

INSURER A: Canal Indemnity Company

INSURER B:

INSURER C:

INSURER D:

INSURER E:

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	22221004	10/15/04	10/15/05	EACH OCCURRENCE \$ 300,000
					DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 50,000
					MED EXP (Any one person) \$ 5,000
					PERSONAL & ADV INJURY \$ 300,000
					GENERAL AGGREGATE \$ 600,000
					PRODUCTS - COMP/OP AGG \$ 300,000
					GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
	EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				WC STATUTORY LIMITS OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
	OTHER				

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

CERTIFICATE HOLDER

SEWALLS

Town of Sewall's Point
 One South Sewall's Point Rd.
 Stuart FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

New/Theresa C. O'Brien

ACORD CORPORATION 1988



FLORIDA ROOFING, SHEET METAL & AIR CONDITIONING CONTRACTORS ASSOCIATION, INC.

SELF INSURERS FUND

P.O. BOX 4907 • WINTER PARK, FL 32793 • (407) 671-FRSA
1-800-767-3772 • FAX (407) 671-2520

CERTIFICATE OF INSURANCE

ISSUED TO:

COPY PROVIDED TO:

Town of Sewalls Point
1 South Sewalls Point Rd.
Stuart FL 34996

Gary Marzo, Inc.

861 A - S.W. Lakehurst Dr.
Port St. Lucie FL 34983

ATTN: To whom it may concern

Date: 12/07/2004

This is to certify that Gary Marzo, Inc.
861 A - S.W. Lakehurst Dr.
Port St. Lucie FL 34983

being subject to the provisions of the Florida Workers' Compensation Act, has secured the payment of compensation by insuring their risk with the FLORIDA ROOFING, SHEET METAL & AIR CONDITIONING CONTRACTORS ASSOCIATION SELF INSURERS FUND.

COVERAGE NUMBER:	<u>870-033210</u>	<u>LIMITS</u>	
EFFECTIVE DATE:	<u>01/01/2005</u>	Workers' Compensation	Statutory - State of Florida
EXPIRATION DATE:	<u>01/01/2006</u>	Employers' Liability	\$100,000 - Each Accident \$100,000 - Disease, Each Employee \$500,000 - Disease, Policy Limit

REMARKS: Non-cancelable without 30 days prior written notice, except for non-payment of premium which will be a 10 day written notice.

This certificate is not a policy and of itself does not afford any insurance. Nothing contained in this certificate shall be constructed as extending coverage not afforded by the policy(ies) shown above or as affording insurance to any insured not named above. This provides coverage for Florida policyholders and Florida domicile employees only.

By: Brett Stiegel
Brett Stiegel, Administrator
FRSA-SIF

By: Debbie Kemmerer
Debbie Kemmerer - Underwriting Manager
FRSA-SIF



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD
1940 NORTH MONROE STREET
TALLAHASSEE FL 32399-0783

(850) 487-1395

MARZO, GARY P
GARY MARZO INC
861-A SW LAKE HURST DR
PORT SAINT LUCIE FL 34983

STATE OF FLORIDA AC# 1470401
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CCC058193 07/02/04 040006040

CERTIFIED ROOFING CONTRACTOR
MARZO, GARY P
GARY MARZO INC

IS CERTIFIED under the provisions of Ch.489 FS.
Expiration date: AUG 31, 2006 L04070200962

DETACH HERE

AC# 1470405

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ#L04070200962

DATE	BATCH NUMBER	LICENSE NBR
07/02/2004	040006040	CCC058193

The ROOFING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2006

MARZO, GARY P
GARY MARZO INC
831 SW LAKEHURST DRIVE
UNIT 1-A
PORT ST LUCIE FL 34985

JEB BUSH
GOVERNOR

DIANE CARR
SECRETARY

DISPLAY AS REQUIRED BY LAW

UNIVERSAL TAX RECEIPT
CITY OF PORT ST. LUCIE
121 SW PORT ST. LUCIE BOULEVARD
PORT ST. LUCIE, FLORIDA 34954-5099

THIS LICENSE VALID WHEN ALL STATE AND LOCAL
REGULATED TRADE LICENSES / COMPETENCY
CARDS ARE VALID FOR THE CURRENT FISCAL YEAR.

TERM: October 1, 2004 to September 30, 2005

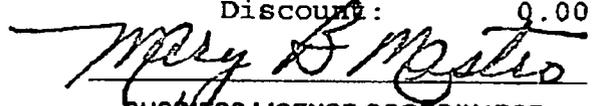
This license does not warrant or hold that the licensee is competent to perform in the business(es) as licensed, but that the licensee has paid the required fee(s) and provided the necessary documentation (if required) to be licensed in this business.
LICENSE MUST BE EXHIBITED CONSPICUOUSLY AT YOUR PLACE OF BUSINESS.

VALID AT THIS BUSINESS ADDRESS ONLY.

Business/Lic. 103179/05-1014485

Business Address: 861-A SW LAKEHURST DRIVE
Classification: CONT CONTRACTOR
Issued to: GARY MARZO INC.
861-A SW LAKEHURST DRIVE
PORT ST LUCIE FL 34983

Fee: 115.77
Discount: 0.00



BUSINESS LICENSE COORDINATOR
205/017 YB

Fees: 126.27 Late Fees: 0.00 Total this payment : 126.27

UNIVERSAL TAX RECEIPT
CITY OF PORT ST. LUCIE
121 SW PORT ST. LUCIE BOULEVARD
PORT ST. LUCIE, FLORIDA 34954-5099

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Issued to: GARY MARZO INC.
861-A SW LAKEHURST DRIVE
PORT ST LUCIE FL 34983

Fee: 115.77
Discount: 0.00

BUSINESS LICENSE COORDINATOR
205/017 YB

Fees: 126.27 Late Fees: 0.00 Total this payment : 126.27

PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR RE-ROOFING

IMPORTANT NOTICE: All items listed below must accompany your permit application. No application will be accepted unless all items that are applicable are submitted.

Application form must contain the following information:

- 1. Property Appraisers Parcel Number or Property Control Number ✓
- 2. Legal Description of property (Can be found on your deed survey or Tax Bill) ✓
- 3. Contractors name, address, phone number and license numbers. ✓
- 4. Name all sub-contractors (properly licensed) ✓
- 5. Estimated cost of construction. ✓
- 6. Original signature of owner and notarized ✓
- 7. Original signature of Contractor and notarized ✓

Submittals (2 copies)

- 1. Product approvals from Miami/Dade for the following items: ✓
 - a. Roofing
- 2. Statement of Fact (owner/builder affidavit) ✓
- 3. Proof of ownership (deed or tax recpt.) ✓
- 4. A certified copy of the Notice of Commencement for any work over \$2500.00 ✓
- 5. Copy of License (either Martin County Certificate of Competency or State Certified or Registered Contractor License) ✓
- 6. Copy of Workmen's Compensation ✓
- 7. Copy of Liability Insurance ✓

ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE

x Gary Mays
(SIGNATURE OF APPLICANT)

DATE SUBMITTED: 6-20-05



C. J. HARRELL
MY COMMISSION # DD 420650
EXPIRES: April 19, 2009
Bonded Thru Budget Notary Services

C. J. Harrell



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

Dura-Loc Roofing Systems Limited

**P.O box 220, R.R. #2
Courtland, Ontario, Canada NOJ 1E0**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: ~~Dura-Loc Continental Tile~~ **Woodshake Tile and ShadowLine Tile**

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This consists of pages 1 through 7.

The submitted documentation was reviewed by Frank Zuloaga, RRC.



FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 6/21/05

BUILDING OFFICIAL
Gene Simmons

NOA No. 02-0128-02
Expiration Date: 05/23/07
Approval Date: 05/23/02

ROOFING ASSEMBLY APPROVAL

Category: Roofing
Sub-Category: Panels
Type: Non-Structural
Sub-Type: Metal
Maximum Design Pressure: -63 psf.

TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:

<u>Product</u>	<u>Covered Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Dura-Loc Continental Tile, woodshake tile Shadowline Tile	Length: 47 1/4" Width: 15 13/16" Thickness 0.0217 galvanized	PA 110	SFQ AZ150 (AZ50) Grade 33 Acrylic Coated w/ color quartz stones
Trim pieces	Length: varies Width: varies	PA 110	SFQ AZ150 (AZ50) Grade 33 Acrylic Coated

TRADE NAMES OF PRODUCTS MANUFACTURED OTHERS:

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>	<u>Manufacturer</u>
Pop Rivets	#8	PA 114 Appendix E	Corrosion Resistant, standard steel pop rivets	Generic (With current NOA)
Tile Fixing Screws	1 1/2" #10 1/4" Hex Head	PA 114 Appendix E	Corrosion resistant, metal screws approved by manufacturer..	Generic (With current NOA)
Fire Barrier Board ("Dens Deck")	min. 1/4" thick	N/A	Fire barrier over-layment board for installation of metal panels. For Class 'A' fire rating.	Georgia-Pacific (with current NOA)
Sealant	N/A	N/A	Sealant for use at foam closure strip.	Dura-Loc (With current NOA)
Wood Battens	nominal 2" x 2"	N/A	Decay resistant lumber battens	Generic (With current NOA)



NOA No.: 02-0128.02
 Expiration Date: 05/23/07
 Approval Date: 05/23/02
 Page 2 of 7

System: A: Dura-Loc Continental Tile, Shadowline Tile and Shake Tile

Deck Type: Wood, Non-insulated

Deck Description: New Construction or $1\frac{9}{32}$ " or greater plywood or wood plank or Re-roof $1\frac{15}{32}$ " plywood.

Maximum Uplift Pressure: The maximum allowable design pressure for the panel shall be -63 psf.

Deck Attachment: In accordance with applicable building code, but in no case shall it be less using minimum #8 x $1\frac{3}{4}$ " wood screws or annular ring shank nails at a spacing of 6" o.c. at supports. In re-roofing, where the deck is less than $1\frac{9}{32}$ " thick (Minimum $1\frac{15}{32}$ ") The above attachment method must be in addition to existing attachment.

Underlayment: Minimum underlayment shall be a double layer underlayment system comprised of a #15 felt (ASTM D 226, type I) applied with a 50% overlap or application of a #30 felt (ASTM D 226, type II) or #43 coated base sheet (ASTM D 2626) installed with a minimum 6" side-laps and 2" headlaps. Underlayment shall be fastened with corrosion resistant tin-caps and $1\frac{1}{4}$ " annular ring-shank nails, spaced 6" o.c. at all laps and two staggered rows 12" o.c. in the field of the roll.

Fire Barrier Board: For class A or B fire rating, install minimum $\frac{1}{4}$ " thick Georgia Pacific "Dens Deck" (with current NOA) or minimum 4 mm thick of Tritex, RockRoof (with current NOA) or $\frac{5}{8}$ " water resistance type X gypsum sheathing with treated core and facer.

Valleys: Valley construction shall be in compliance with Roofing Application Standard RAS 133 and with the current published installation instructions and details in Dura-Loc Roofing System Limited installation instructions.

Battens: Install nominal 2" x 2" battens decay resistant lumber over underlayment at a maximum spacing of 15- $\frac{13}{16}$ " using minimum of one #12-13 x $3\frac{1}{2}$ " pan screws spaced 24" o.c. and at $\frac{1}{2}$ " from each end.

Metal Panels and Accessories: Install the "Dura-Loc Continental Tile, Woodshake Tile and Shadowline Tile" panels including flashing penetrations, valleys endlaps and accessories in compliance with "Dura-Loc Roofing Systems Limited current, published installation instructions and in compliance with the minimum requirements detailed in Roofing Application Standard RAS 133.

Fasteners shall be a minimum of #10 $1\frac{1}{2}$ " long hex head metal/wood fasteners to be installed in the front downturn, at the low profile in each panel as per manufacturer instructions. This leads to 6 fasteners per panel width and 4 fasteners in the field of the panel.



SYSTEM A-2: Dura-Loc Continental Tile, WoodShake Tile and Shadowline Tile

Deck Type: Wood, Non-insulated

Deck Description: Recover over existing Asphalt Shingle Roof $1\frac{5}{32}$ " or greater plywood

Maximum Uplift Pressure: The maximum allowable design pressure for the panel shall be -63 psf.

Deck Attachment: For recover applications, existing deck attachments shall be confirmed to be in compliance with applicable building code.

Existing Shingles: Existing shingles shall be minimum Class 'C' organic felt shingles or minimum Class 'A' fiberglass shingles to maintain a Class 'A' or 'B' fire rating, as noted below.

Underlayment: Minimum underlayment shall be a double layer underlayment system comprised of a #15 felt (ASTM D 226, type I) applied with a 50% overlap or application of a #30 felt (ASTM D 226, type II) or #43 coated base sheet (ASTM D 2626) installed with a minimum 6" side-laps and 2" headlaps. Underlayment shall be fastened with corrosion resistant tin-caps and $1\frac{1}{4}$ " annular ring-shank nails, spaced 6" o.c. at all laps and two staggered rows 12" o.c. in the field of the roll.

Fire Barrier: For class A or B fire rating, installed minimum $\frac{1}{4}$ " thick Georgia Pacific "Dens Deck" (with current NOA) or minimum 4 mm thick of Tritex, RockRoof (with current NOA) or $\frac{5}{8}$ " water resistant type X gypsum sheathing with treated core and facer.

Battens: (For a Class 'B' Fire Rating) Install minimum 2" x 2" wood battens of decay resistant lumber, running perpendicular to the roof slope, at a spacing of $15\frac{13}{16}$ " using a minimum of one #12-13 x $3\frac{1}{2}$ " pan screws spaced 24" o.c. and $\frac{1}{2}$ " from each end.

Valleys: Valley construction shall be in compliance with Roofing Application Standard RAS 133 and with current published installation instructions and details in Dura-Loc Roofing System Limited current published installation instructions.

Metal Panels and Accessories: Install the Dura-Loc Continental, WoodShake Tile and Shadowline Tile panels including flashing, penetrations, valleys, end laps and accessories in compliance with Dura-Loc Roofing Systems Limited current, published installation instructions and in compliance with the minimum requirements detailed in Roofing Application Standard RAS 133.

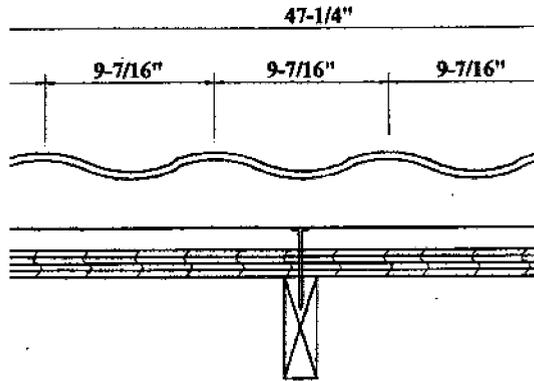
Fastener shall be #10 $1\frac{1}{2}$ " long minimum hex head metal/wood fasteners to be installed in the front downturn, at the low profile in each panel as per manufacturers instructions. This leads to 6 fasteners per panel width and 4 fasteners in the field of the panel.



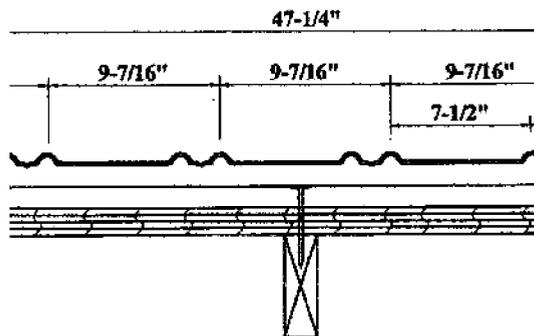
SYSTEM LIMITATIONS

1. Increased design pressure at perimeter and corner areas, in compliance with applicable building code may be met through rational analysis by increasing the number of attachment points in these areas. The maximum fasteners spacing noted in the "Systems Description" section of this approval shall not be exceeded. All rational analysis computation shall be prepared, signed and sealed by a Florida registered Professional Engineer, Registered Architect, or Registered Roof Consultant.
2. All panels shall be permanently labeled with the manufacturer's name and/or logo, and the following statement: "Miami-Dade County Product Control Approved."
3. Fire classification is not part of this acceptance; refer to a current Approved Roofing Materials Directory for fire rating of this product.
4. For minimum slope requirements, refer to applicable building code.

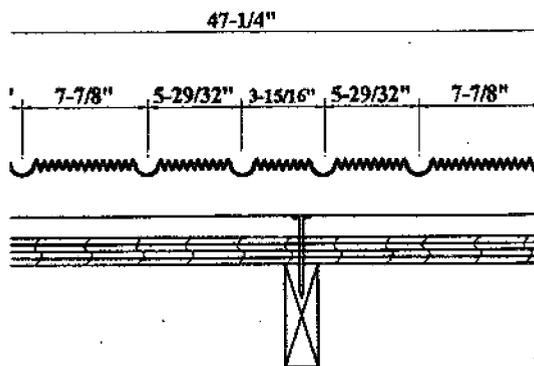




CONTINENTAL TILE



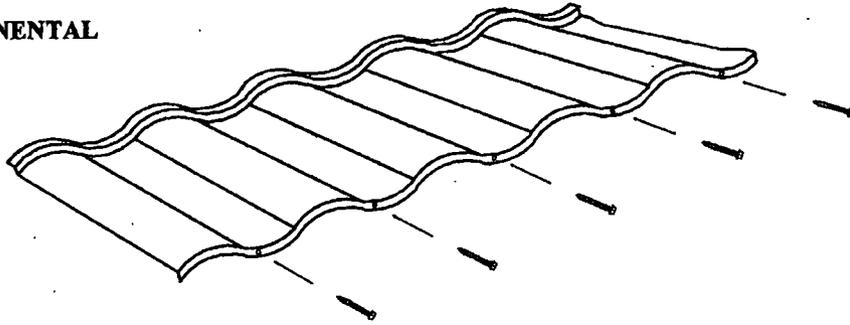
SHADOWLINE TILE



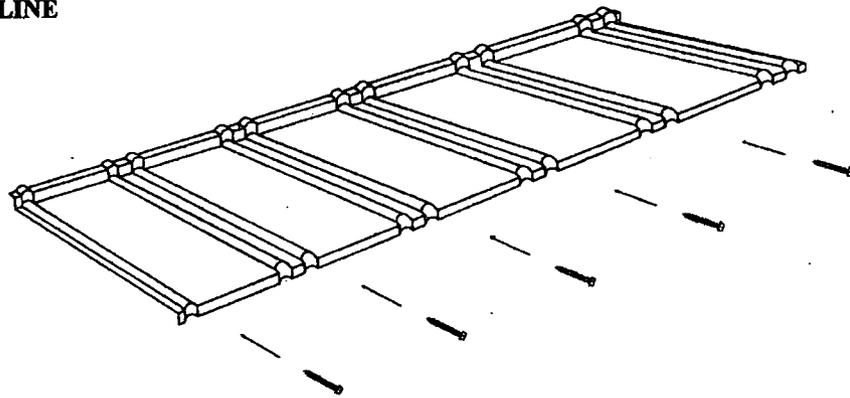
SHAKE TILE



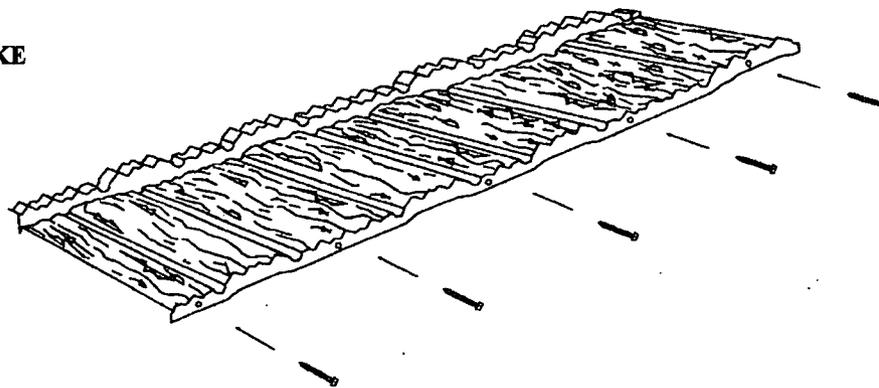
CONTINENTAL



SHADOWLINE



SHAKE



END OF THIS ACCEPTANCE



NOA No.: 02-0128.02
Expiration Date: 05/23/07
Approval Date: 05/23/02
Page 7 of 7

NOTICE OF COMMENCEMENT

Permit NO:
State Of: FLORIDA

Tax ID No: 35-37-41-010-000-00010-E
County Of: Martin

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Legal description of improvements: River Crest Lot: 1

General description of improvements: Re-roof

Owner: Gary Schecodnyk
Address: 1 River Crest Court, Stuart, FL 34996
Owner's interest in site of improvement: Residence

Fee Simple Title holder (if other than owner):

Address:

Return to Contractor: GARY MARZO, INC.

Phone # 465-2489

Address: 861 A-SW LAKEHURST DR., PORT ST. LUCIE, FLORIDA 34983 Fax # 465-8829

Surety:

Phone #

Address:

Fax #

Amount of Bond \$

Lender:

Phone #

Address:

Fax #

Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 7134.13 (1) (a) 7., Florida Statutes:

Name:

Phone #

Address:

Fax #

In addition to himself, owner designates

of

(Phone#

Fax #

) to receive a copy of the Lienor's Notice as

provided in Section 713.13 (1) (b), Florida Statutes.

Expiration date of notice of commencement is one year from the date of recording unless a different date is specified. 90 days

Gary Schecodnyk
OWNERS SIGNATURE

STATE OF FLORIDA, COUNTY OF:

The foregoing instrument was acknowledged before me this 2 day of June, 2005, by Gary Schecodnyk who is personally known to me or who has produced identification

Lynn Marzo
Signature of Notary
Lynn Marzo
Print Name / Title: Notary Public
DD 306715 Commission Number

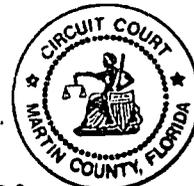


Sea LYNN MARZO
MY COMMISSION # DD 306715
EXPIRES: April 5, 2008
Bonded Thru Budget Notary Services

STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.

BY: [Signature] D.C.
DATE: 6/6/05



INSTR # 1844866 DR BK 02021 PG 0904 RECD 06/06/2005 10:52:03 AM
MARSHA EWING MARTIN COUNTY DEPUTY CLERK L Wood

Sewall's Point Building Department
One South Sewall's Point Road
Sewall's Point, Florida 34996

18th of July of 2005

Building Permit No.: 7637

Name of Project: Dr. Gary Schecodnic

Owner: Dr. Gary Schecodnic

Type of facility: Residential

Address: 1 River Crest Ct.

N. Sewall's Point, FL 34997

Contractor: Gary Marzo, Inc.

Fl. Reg. /Cert. No.: CC-C058193

Telephone No.: (772) 871-2489

Subject: Proposed Re-roofing Over Existing Shingles.

Please be advised that the proposed re-roofing of the subject residence will be performed in accordance with the following construction method:

- Use 1x4 No. 2 White Pine wood battens over existing shingles screwed through the existing plywood roof sheathing. These wood battens will be placed perpendicular to the roof eave 24" O.C using No. 10, 2 ½ " stainless steel screws installed at 6" O.C.
- Install 2x2 White Pine wood battens perpendicular to the 1x4 battens at 15" O.C. intervals using No. 10, 3" stainless steel screws.

The proposed installation method will allow the roof to resist a 140 MPH wind speed.

I hereby certify that the construction performed according to the proposed re-roofing method at the subject residential construction site complies with the current FBC (Florida Building Code).

Regards,


Mr. Julio C. Banks, P.E.
Florida Registration No. 46544
Port St. Lucie, FL 34988-0187

FIELD COPY TOWN OF SEWALL'S POINT THESE PLANS HAVE BEEN REVIEWED FOR CODE COMPLIANCE DATE: <u>7/19/05</u>  BUILDING OFFICIAL Gene Simmons
--

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 8/8, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
3 A	6413 Powers			RESCHEDULE FOR
	70 S. SEWALLS PT FLORIDA'S FINEST			8/10 FIRST/THRU INSPECTOR: <i>[Signature]</i>
5	7638 MONZON	FINAL ROOF		CANCEL
	118 Hillcrest Dr PACIFIC ROOFING			INSPECTOR:
1	7702 MILLARD	FINAL GARAGE		PASS
	5 INDIA WOOD PRAY O/B	(8:30 PLEASE)		INSPECTOR: <i>[Signature]</i>
2	7328 SCHMADER	BEAM-REMOVE		PASS
	102 HENRY SEWALL CONWAY	(8:30 PLEASE)		INSPECTOR: <i>[Signature]</i>
4	7685 GILLEN	FINAL ROOF		CANCEL
	5 PALMETTO DR PACIFIC ROOFING			INSPECTOR:
6	7568 STORCK	FINAL ROOF		CANCEL
	27 N RIVER RD PACIFIC ROOFING			INSPECTOR:
3	7691 THOMPSON THOMAS	DRY-IN		PASS
	10 PALM RD, FEAZEL RD			INSPECTOR: <i>[Signature]</i>
OTHER: SCHEDULED BATTERS FOR PASS				
7637 1 RIVERCREST METAL ROOF MARZO INC, SYSTEM.				

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 8/12, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7558	HARRELL	DEADMAN+CAP	PASS	
6	1 BAKU STREET	FOR SEWALL		
	TCBI			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7717	CONNOLLY	DEY-IN	PASS	
3	10 RIDGELAND			
	A&P CONSTR.	EARLY AS POSSIBLE		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7637	SCHECODNIC	BATTENS FOOTER	PASS	INSPECTED ABOUT 5/6 OF ROOF NORTH REMAINDER COVERED W/ PANELS
2	1 RIVERCREST	ROOF SYSTEM		
	MARZO INC	2ND PLEASE		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7338	MCCORMICK	BEAM	PASS	GROUND FLOOR
1	59 N. RIVER RD	(PARTIAL)		TIE BEAM.
	PINE ORCHARD BROS	1ST PLEASE		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7681	MACDOUGALL	FINAL GENERATOR	FAIL	
9	23 N. RIVER RD	PAD + ELEC		
	O/B			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7679	MACDOUGALL	FINAL GAS TANK	FAIL	
9	23 N. RIVER RD	+ LINES		
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7396	H B ASSOC ^{Joyce's} FLOWERS	FINAL		
	3756 SE OCEAN			
	KIRCHMAN			INSPECTOR: <i>[Signature]</i>

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 1 RIVERCREST

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FINAL ROOF

LEFTOVER ROOFING MATERIAL
& DEBRIS MUST BE
REMOVED FROM JOB SITE.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 8/22

[Signature]

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 8/22, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
2268	HASSOC-TMIMARK	FINAL FLOOR	PASS	CLOSE
4	3758 OCEAN BWP KIRCHMAN	ELEC, MECH PLUMB SINKETS		INSPECTOR:
7637	SCHIECO INC	FINAL ROOF	FAIL?	
1	1 RIVERCREST CT GARY MARZOLINO			INSPECTOR: <i>OM</i>
7726	FREUDENBERG	DRY IN	PASS	
2	115 N. SEWALLS PT SUPERIOR ROOFING			INSPECTOR: <i>OM</i>
2054	TAPPER	ROOF + WALL SHEATHING	PASS	
	22 ISLAND RD WINCLIP			INSPECTOR: <i>OM</i>
TREE	MOORE	TREE	PASS	
3	5 OAK HILL WAY			INSPECTOR: <i>OM</i>
7552	MONZON	FENCE FINAL	PASS	CLOSE
	118 HILLCREST STUART FENCE			INSPECTOR: <i>OM</i>
7741	BARRY	DEMO CABINETS	PASS	
	97 S. SEWALLS PT O/B			INSPECTOR: <i>OM</i>

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri B/24, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7605	CRANE	FOOTER	 	CANCEL
X	2 Timoe Street			
	BUE DIAMOND			INSPECTOR:
6551	LANGER	FINAL SFR	FAIL	SCHEDULE 8/26 FOR REINSPECT.
3	3 LOFTING WAY FLORIDA'S FINEST	9AM - 9:30		INSPECTOR: <i>[Signature]</i>
7637	SCHECODNIC	FINAL ROOF	PASS	CLOSE
5	IRWER CREST MARZO ROOFING			INSPECTOR: <i>[Signature]</i>
7718	SCHOPPE	FOOTER	PASS	
1	9 PALM ROAD A & P CONST.	1ST PLEAS		INSPECTOR: <i>[Signature]</i>
7742	FREUDENBERG	TINTAG/DOWN CABANA	PASS	
4	115 N. Sewall's Pt SUPERIOR ROOFING			INSPECTOR: <i>[Signature]</i>
7743	FREUDENBERG	TINTAG/DOWN GREENHOUSE	PASS	
4	115 N. Sewall's Pt			INSPECTOR: <i>[Signature]</i>
	MCGERMICK	FOOTER	PASS	
6	59 N. Sewall's Pt PINE ORCHARD	LATE AM		INSPECTOR: <i>[Signature]</i>

OTHER: _____

10900

PAVER POOL DECK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10900	DATE ISSUED:	6/19/2014
SCOPE OF WORK:	PAVER POOL DECK		
CONTRACTOR:	APEX PAVERS		
PARCEL CONTROL NUMBER:	353741010000000108	SUBDIVISION	RIVER CREST Lot 1
CONSTRUCTION ADDRESS:	1 RIVER CREST CT		
OWNER NAME:	WARREN		
QUALIFIER:	RYAN FIGMAN	CONTACT PHONE NUMBER:	772 419-5151

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

Date: 6/2/14 Permit Number: 10900
 OWNER/LESSEE NAME: Deborah Warren Phone (Day) 334-1673 (Fax) _____
 Job Site Address: 1 River Crest Ct. City: Sewalls Pt State: FL Zip: 34996
 Legal Description River Crest, Lot 1 Parcel Control Number: 35 3741 010 000 00010 8
 Fee Simple Holder Name: _____ Address: _____
 City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):** BRICK Paver Pool deck

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner Builder questionnaire must accompany application)
 YES _____ NO X
Has a Zoning Variance ever been granted on this property?
 YES _____ (YEAR) _____ NO X
 (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
 Estimated Value of Improvements: \$ 25,550
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
 Is subject property located in flood hazard area? VE10 _____ AE9 _____ AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
 Estimated Fair Market Value prior to improvement: \$ _____
 (Fair Market Value of the Primary Structure only, Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Apex Pavers Phone: 419-5151 Fax: 419-5101
 Qualifiers name: Bryan Sigman Street: 834 SE Lincoln Ave City: Stuart State: FL Zip: 34994
 State License Number: _____ OR: Municipality: Martin County License Number: MCPB 4701

LOCAL CONTACT: Doreen Buffa Phone Number: 772-419-5151
 DESIGN PROFESSIONAL: _____ Fla. License# _____
 Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: LL
 Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE*: _____
 * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:
 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
 2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
 3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
 4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

*******A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

TOWNER/AGENT/LESSEE - NOTARIZED SIGNATURE:
 x Deborah Warren
 State of Florida, County of: Martin
 On This the 2 day of June, 2014
 by Deborah Warren who is personally known to me or produced FL DL W65016366040
 As identification: Warren Buffa

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:
 x Bryan Sigman
 State of Florida, County of: Martin
 On This the 2 day of June, 2014
 by Bryan Sigman who is personally known to me or produced _____
 As identification: Warren Buffa

Notary DOREEN J. BUFFA
 MY COMMISSION # EE 150754
 EXPIRES: January 3, 2016

Notary DOREEN J. BUFFA
 MY COMMISSION # EE 150754
 EXPIRES: January 3, 2016

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY
 APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY

Sewall's Point Town Hall

JUN 4 2014



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	10900		
ADDRESS:	1 RIVER CREST CT		
DATE ISSUED:	6/19/2014	SCOPE OF WORK:	PAVER POOL DECK

SINGLE FAMILY OR ADDITION /REMODEL		Declared Value	\$	
---	--	----------------	----	--

Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned spa @ \$ 121.75 per sq. ft. s.f.		\$	-
Total square feet non-conditioned space, or interior remodel:			
@ \$ 59.81 per sq. ft. s.f.		\$	-
Total square feet remodel with new trusses: \$ 90.78 per sq. ft. s.f.		\$	-
Total Construction Value:		\$	\$ -
Building fee: (2% of construction value SFR or >\$200K)		\$	n/a
Building fee: (1% of construction value < \$200K + \$100 per insp.)		\$	-
Total number of inspections (Value < \$200K) \$ 100.00 per insp. # insp			n/a
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	n/a
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	n/a
Road impact assessment: (.04% of construction value - \$5 min.)			n/a
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	\$ -

ACCESSORY PERMIT	Declared Value:	\$	\$ 25,550.00
Total number of inspections: @ \$ 100.00 per insp. # insp		\$	1.00 \$ 100.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	\$ 2.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	\$ 2.00
Road impact assessment: (.04% of construction value - \$5 min.)		\$	10.22
TOTAL ACCESSORY PERMIT FEE:		\$	114.22

Pa 6-19-14
CK104133

Stuart CITY OF STUART
LOCAL BUSINESS TAX RECEIPT
 2013-2014

10356 23110 170580

TAX YEAR BEGINS OCTOBER 1 AND ENDS SEPTEMBER 30.
 PAYMENT OCTOBER 1 CONSTITUTES VIOLATION
 OF CITY CODE OF ORDINANCES

This local business tax receipt does not permit the holder to operate in violation of any City law, ordinance, or regulation. Any changes in location or ownership must be approved by the City License Section, subject to zoning restrictions. This receipt does not constitute an endorsement, approval, or disapproval of the holder's skill or competence or of the compliance or non-compliance of the holder with other laws, regulations, or standards.

BUSINESS TYPE	CONTRACTOR - POOL
OWNER AND LOCATION	FIGMAN, RYAN 834 SE LINCOLN AVE
ST/CITY LICENSE	CPB4701
DESCRIPT	

FEES	PENALTY	TRANSFER	MISCELLANEOUS	PAID
100.00	0.00	0.00	0.00	100.00

DATE
07/22/2013

CHERYL WHITE
 CITY CLERK

BUSINESS NAME AND MAILING ADDRESS	APEX PAVERS, INC FIGMAN, RYAN 834 LINCOLN AVE STUART FL 34996
-----------------------------------	---

KEEP THIS RECEIPT - NO TRANSFER WITHOUT ORIGINAL RECEIPT

Stuart CITY OF STUART
LOCAL BUSINESS TAX RECEIPT
 2013-2014

RECEIPT NO ACCOUNT NO CATEGORY NO
 6658 23110 170880

TAX YEAR BEGINS OCTOBER 1 AND ENDS SEPTEMBER 30.
 PAYMENT OCTOBER 1 CONSTITUTES VIOLATION
 OF CITY CODE OF ORDINANCES

This local business tax receipt does not permit the holder to operate in violation of any City law, ordinance, or regulation. Any changes in location or ownership must be approved by the City License Section, subject to zoning restrictions. This receipt does not constitute an endorsement, approval, or disapproval of the holder's skill or competence or of the compliance or non-compliance of the holder with other laws, regulations, or standards.

BUSINESS TYPE	CONTRACTOR - PAVING
OWNER AND LOCATION	FIGMAN, RYAN 834 SE LINCOLN AVE
ST/CITY LICENSE	CPB4701
DESCRIPT	

FEES	PENALTY	TRANSFER	MISCELLANEOUS	PAID
100.00	0.00	0.00	0.00	100.00

DATE
07/22/2013

CHERYL WHITE
 CITY CLERK

BUSINESS NAME AND MAILING ADDRESS	APEX PAVERS, INC FIGMAN, RYAN 834 LINCOLN AVE STUART FL 34996
-----------------------------------	---

KEEP THIS RECEIPT - NO TRANSFER WITHOUT ORIGINAL RECEIPT



Martin County Building Department

900 SE Ruhnke Street
Stuart, FL 34994
(772) 288-5482
Fax (772) 419-6935

FIGMAN, RYAN P
APEX PAVERS INC
834 LINCOLN AVE
STUART, FL 34994

NOTICE TO ALL CONTRACTORS

PLEASE BE ADVISED THAT MARTIN COUNTY, FLORIDA SECTION 43.42 REQUIRES COMPLIANCE WITH THE FOLLOWING EXERPT FROM THE GENERAL ORDINANCES OF THE MARTIN COUNTY CODE:

PROHIBITED ACTIVITIES:

43.42 R Advertising contracting work in any advertisement to the public in a newspaper or telephone directory without including in the advertisement the number of the contractor license issued to the person or business being advertised.

43.42 S Operating any commercial vehicle in the course of conducting the practice of contracting that fails to display the contractor license number of the contractor.

If you have any questions relating to the information in this letter , please contact the Martin County Contractor's Licensing Division of the Martin County Building Department.



MARTIN COUNTY, FLORIDA
Contractor's Licensing
Certificate of Competency

COMMERCIAL POOL/SPA - MC

License #: MCSP5113

Expires: 09/30/2015

FIGMAN, RYAN P
APEX PAVERS INC
834 LINCOLN AVE
STUART, FL 34994

State of Florida

Department of State

I certify from the records of this office that APEX PAVERS, INC. is a corporation organized under the laws of the State of Florida, filed on June 2, 2006, effective June 2, 2006.

The document number of this corporation is P06000076567.

I further certify that said corporation has paid all fees due this office through December 31, 2013, that its most recent annual report/uniform business report was filed on January 28, 2013, and its status is active.

I further certify that said corporation has not filed Articles of Dissolution.

*Given under my hand and the
Great Seal of the State of Florida
at Tallahassee, the Capital, this is
the Twenty eighth day of January,
2013*



Ken Detzner
Secretary of State

Authentication ID: CC9802093078

To authenticate this certificate, visit the following site, enter this ID, and then follow the instructions displayed.

<https://efile.sunbiz.org/certauthver.html>



Martin County Building Department

900 SE Ruhnke Street
Stuart, FL 34994
(772) 288-5482
Fax (772) 419-6935

FIGMAN, RYAN P
APEX PAVERS INC
834 LINCOLN AVE
STUART, FL 34994

NOTICE TO ALL CONTRACTORS

PLEASE BE ADVISED THAT MARTIN COUNTY, FLORIDA SECTION 43.42 REQUIRES COMPLIANCE WITH THE FOLLOWING EXERPT FROM THE GENERAL ORDINANCES OF THE MARTIN COUNTY CODE:

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43.42 S Operating any commercial vehicle in the course of conducting the practice of contracting that fails to display the contractor license number of the contractor.

If you have any questions relating to the information in this letter , please contact the Martin County Contractor's Licensing Division of the Martin County Building Department.



MARTIN COUNTY, FLORIDA
Contractor's Licensing
Certificate of Competency

PAVER BLOCK - MC

License #: MCPB4701 Expires: 09/30/2015

FIGMAN, RYAN P
APEX PAVERS INC
834 LINCOLN AVE
STUART, FL 34994



**STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION**

**CONSTRUCTION INDUSTRY LICENSING BOARD
1940 NORTH MONROE STREET
TALLAHASSEE FL 32399-0783**

(850) 487-1395

**FIGMAN, RYAN PAUL
APEX PAVERS INC
834 S.E. LINCOLN AVE.
STUART FL 34994**

Congratulations! With this license you become one of the nearly one million Floridians licensed by the Department of Business and Professional Regulation. Our professionals and businesses range from architects to yacht brokers, from boxers to barbeque restaurants, and they keep Florida's economy strong.

Every day we work to improve the way we do business in order to serve you better. For information about our services, please log onto www.myfloridalicense.com. There you can find more information about our divisions and the regulations that impact you, subscribe to department newsletters and learn more about the Department's initiatives.

Our mission at the Department is: License Efficiently, Regulate Fairly. We constantly strive to serve you better so that you can serve your customers. Thank you for doing business in Florida, and congratulations on your new license!



**STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND
PROFESSIONAL REGULATION**

RP252555006 ISSUED: 07/21/2013

**REG COMMERCIAL POOL/SPA CONTR
FIGMAN, RYAN PAUL
APEX PAVERS INC
(INDIVIDUAL MUST MEET ALL LOCAL
LICENSING REQUIREMENTS PRIOR
TO CONTRACTING IN ANY AREA)**

**HAS REGISTERED under the provisions of Ch. 489 FS.
Expiration date : AUG 31, 2015 L1307210000724**



The Department of State is leading the commemoration of Florida's 500th anniversary in 2013. For more information, please go to www.VivaFlorida.org.

DETACH HERE

**STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD**

LICENSE NUMBER	
	RP252555006

The **COMMERCIAL POOL/SPA CONTRACTOR**
Named below **HAS REGISTERED**
Under the provisions of Chapter 489 FS.
Expiration date: **AUG 31, 2015**
**(INDIVIDUAL MUST MEET ALL LOCAL LICENSING
REQUIREMENTS PRIOR TO CONTRACTING IN ANY AREA)**

**FIGMAN, RYAN PAUL
APEX PAVERS INC
834 S.E. LINCOLN AVE.
STUART FL 34994**



**RICK SCOTT
GOVERNOR**

**ISSUED: 07/21/2013 SEQ # L1307210000724
DISPLAY AS REQUIRED BY LAW**

**KEN LAWSON
SECRETARY**

2013-2014

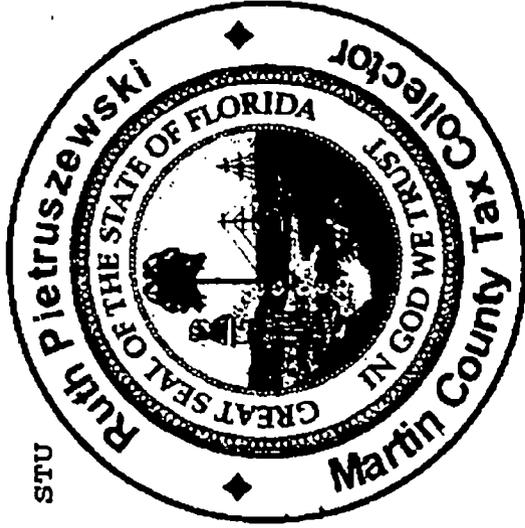
**MARTIN COUNTY ORIGINAL
BUSINESS TAX RECEIPT**

HONORABLE RUTH PIETRUSZEWSKI CFC, TAX COLLECTOR
3485 S.E. WILLOUGHBY BLVD., STUART, FL 34994
(772) 288-5604

CHARACTER COUNTS IN MARTIN COUNTY

ACCOUNT 2006-520-1455 CERT CPB4701 MARTIN
PHONE (772) 419-5151 SIC NO 235710

LOCATION: 834 LINCOLN AVE STU



PREV YR.	\$.00	LIC. FEE	\$ 26.25
	\$.00	PENALTY	\$.00
	\$.00	COL. FEE	\$.00
	\$.00	TRANSFER	\$.00
TOTAL	\$ 26.25		

FIGMAN, RYAN
APEX PAVERS, INC.
834 LINCOLN AVENUE
STUART, FL 34994

IS HEREBY LICENSED IN THE BUSINESS OF PROFESSIONAL EQUIPMENT
CONCRETE PAVER CONTRACTOR

OF

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

06 DAY OF AUGUST 2014 13
ENDING SEPTEMBER 30.

201 2012 06056.0001 PAID

THIS FORM BECOMES A RECEIPT ONLY WHEN VALIDATED BY RECEIPTING MACHINE.

ANYONE DOING BUSINESS WITHOUT A VALID BUSINESS TAX RECEIPT IS SUBJECT TO A \$250 FINE. IF NOT PAID BY OCT. 1, A DELINQUENT PENALTY OF 10% FOR THE MONTH OF OCTOBER, PLUS A 5% PENALTY FOR EACH MONTH THEREAFTER UP TO 25%, PLUS COLLECTION COSTS WILL APPLY.

NOTE - A PENALTY IS IMPOSED FOR FAILURE TO KEEP THIS BUSINESS TAX RECEIPT EXHIBITED CONSPICUOUSLY AT YOUR ESTABLISHMENT OR PLACE OF BUSINESS



CERTIFICATE OF LIABILITY INSURANCE

APEXP-5

OP ID: SO

DATE (MM/DD/YYYY)

07/02/2013

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Insurance By Ken Brown, Inc. PO Box 948117 Maitland, FL 32794-8117 Kerry C. Tait	Phone: 321-397-3870 Fax: 321-397-3888	CONTACT NAME: PHONE (A/C, No, Ext): E-MAIL ADDRESS:	FAX (A/C, No):
	INSURER(S) AFFORDING COVERAGE INSURER A : Amerisure Mutual Ins. Co INSURER B : Amerisure Ins Company INSURER C : INSURER D : INSURER E : INSURER F :		NAIC # 23396 19488
INSURED Apex Pavers, Inc. 834 SE Lincoln Ave. Stuart, FL 34994			

COVERAGES

CERTIFICATE NUMBER:

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY			GL20775270103	07/01/2013	07/01/2014	EACH OCCURRENCE \$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY						DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000
	<input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR						MED EXP (Any one person) \$ 5,000
	<input checked="" type="checkbox"/> Pool Pop						PERSONAL & ADV INJURY \$ 1,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER:						GENERAL AGGREGATE \$ 2,000,000
	<input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC						PRODUCTS - COMP/OP AGG \$ 2,000,000
B	AUTOMOBILE LIABILITY			CA20775260102	07/01/2013	07/01/2014	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000
	<input checked="" type="checkbox"/> ANY AUTO						BODILY INJURY (Per person) \$
	<input type="checkbox"/> ALL OWNED AUTOS	<input type="checkbox"/> SCHEDULED AUTOS					BODILY INJURY (Per accident) \$
	<input checked="" type="checkbox"/> HIRED AUTOS	<input checked="" type="checkbox"/> NON-OWNED AUTOS					PROPERTY DAMAGE (Per accident) \$
							\$
	UMBRELLA LIAB						EACH OCCURRENCE \$
	EXCESS LIAB						AGGREGATE \$
	DED						\$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY			36453	07/01/2013	07/01/2014	<input checked="" type="checkbox"/> WC STATU-TORY LIMITS <input checked="" type="checkbox"/> OTH-ER
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)	<input type="checkbox"/> Y/N	N/A				E.L. EACH ACCIDENT \$ 1,000,000
	If yes, describe under DESCRIPTION OF OPERATIONS below						E.L. DISEASE - EA EMPLOYEE \$ 1,000,000
							E.L. DISEASE - POLICY LIMIT \$ 1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

CERTIFICATE HOLDER

CANCELLATION

SEWALLS

City of Sewalls Point
 1 South Sewalls Point Rd.
 Sewalls Point, FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

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From: Doreen Buffa [<mailto:dbuffa@apexpavers.com>]
Sent: Friday, June 06, 2014 7:15 AM
To: Christine Bergeron
Cc: Dave Costa
Subject: Application for Warren Residence
Importance: High

Good morning Christine,

Can you please give me the status of the application we submitted for work to be performed at the Warren Residence located at 1 River Crest Court.

Thank you, I appreciate your timely response to this request.

Sincerely,
Doreen

Doreen Buffa
Apex Pavers & Pools
834 SE Lincoln Ave
Stuart, FL 34994
www.apexpaversandpools.com
772-419-5151
Fax 772-419-5101
Cell 772-486-6863

Christine Bergeron

From: Doreen Buffa <dbuffa@apexpavers.com>
Sent: Friday, June 06, 2014 9:20 AM
To: Christine Bergeron
Cc: Dave Costa
Subject: Re: Application for Warren Residence
Attachments: PastedGraphic-1.tiff; ICPI Accredited Paver Co.pdf; Angies List Award Logo.pdf

Thank you Christine, I appreciate your help. I hope you have a wonderful weekend!

Sincerely,
Doreen

Doreen Buffa
Apex Pavers & Pools
834 SE Lincoln Ave
Stuart, FL 34994
www.apexpaversandpools.com
772-419-5151
Fax 772-419-5101
Cell 772-486-6863

On Jun 6, 2014, at 9:08 AM, Christine Bergeron <CBergeron@sewallspoint.org> wrote:

Good Morning Doreen

I received your email with the attachments and placed them with the permit application. Thank you for that. Your permit is in for review and once John Adams reviews it then I will be able to process it. Once it is processed, I will call you to let you know the amount due so you can pick it up.

Christine

Christine Bergeron
Office Manager
One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

cbergeron@sewallspoint.org
www.sewallspoint.org

Christine Bergeron

From: Christine Bergeron
Sent: Thursday, June 19, 2014 8:50 AM
To: rwarren@centerstatebank.com
Cc: John Adams
Subject: FW: Follow-up for permits for 1 River Crest Ct.

The permit for Apex Pavers for your paver pool deck is ready for pick up. I advised Apex Pavers this morning.

Christine

Christine Bergeron
Office Manager
One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

cbergeron@sewallspoint.org
www.sewallspoint.org

From: John Adams
Sent: Tuesday, June 17, 2014 3:24 PM
To: Christine Bergeron
Subject: FW: Follow-up for permits for 1 River Crest Ct.

Please respond, thanks.

John R. Adams CBO
Building & Facilities Director
Town of Sewall's Point
Office: 772-287-2455 Ext. 15
Cell: 772-201-2221
jadams@swallspoint.org



Please consider the environment before printing this email.
Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this entity. Instead, contact our office by phone or in writing.

From: Roy Warren [<mailto:rwarren@centerstatebank.com>]
Sent: Tuesday, June 17, 2014 2:25 PM
To: John Adams
Subject: Follow-up for permits for 1 River Crest Ct.

Christine Bergeron

From: Roy Warren <rwarren@centerstatebank.com>
Sent: Thursday, June 19, 2014 8:51 AM
To: Christine Bergeron
Cc: John Adams
Subject: RE: Follow-up for permits for 1 River Crest Ct.

Thank you so much



Roy M. Warren | SVP | Community President – Indian River County
855 21st Street | Vero Beach, FL | 32960
Phone 772.299.6860 | Ext. 3212 | Fax 772.299.6858 | Cell 772.341-3993
rwarren@centerstatebank.com | www.centerstatebank.com
Mail Code CSBFL-500-VB-018

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From: Christine Bergeron [<mailto:CBergeron@sewallspoint.org>]
Sent: Thursday, June 19, 2014 8:50 AM
To: Roy Warren
Cc: John Adams
Subject: FW: Follow-up for permits for 1 River Crest Ct.

The permit for Apex Pavers for your paver pool deck is ready for pick up. I advised Apex Pavers this morning.

Christine

Christine Bergeron
Office Manager
One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

cbergeron@sewallspoint.org
www.sewallspoint.org

From: John Adams
Sent: Tuesday, June 17, 2014 3:24 PM
To: Christine Bergeron
Subject: FW: Follow-up for permits for 1 River Crest Ct.

Please respond, thanks.

John R. Adams CBO

I have two permits in one from Stuart Fence and one from Apex for fence and to redo my pool (no addition). They have indicated they have not heard back and I was just checking in myself to see if there were any issues I need to be aware of or anything we can do on our end.

Thanks so much for all your help.

Roy Warren



Roy M. Warren | SVP | Community President – Indian River County

855 21st Street | Vero Beach, FL | 32960

Phone 772.299.6860 | Ext. 3212 | Fax 772.299.6858 | Cell 772.341-3993

rwarren@centerstatebank.com | www.centerstatebank.com

Mail Code CSBFL-500-VB-018

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Christine Bergeron

From: John Adams
Sent: Tuesday, June 17, 2014 3:24 PM
To: Christine Bergeron
Subject: FW: 1 River Crest

FYI

From: Roy Warren [mailto:rwarren@centerstatebank.com]
Sent: Tuesday, June 17, 2014 2:27 PM
To: John Adams
Subject: 1 River Crest

From my prior email disregard Stuart Fence they are waiting on getting information on an easement from Comcast my error they have not submitted yet.

Thanks and sorry for the error.



Roy M. Warren | SVP | Community President – Indian River County

855 21st Street | Vero Beach, FL | 32960

Phone 772.299.6860 | Ext. 3212 | Fax 772.299.6858 | Cell 772.341-3993

rwarren@centerstatebank.com | www.centerstatebank.com

Mail Code CSBFL-500-VB-018

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E-mail Confidentiality Disclosure:: The information contained in this email and any document attached hereto is intended only for the named recipient(s). If you are not the intended recipient, nor the employee or agent responsible for delivering this message in confidence to the intended recipient(s), you are hereby notified that you have received this transmittal in error, and any review, dissemination, distribution or copying of this transmittal or its attachments is strictly prohibited. If you have received this transmittal and/or attachments in error, please notify me immediately by reply e-mail and then delete this message, including any attachments.

Martin County, Florida
Laurel Kelly, C.F.A

generated on 6/19/2014 8:19:45 AM EDT

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
35-37-41-010-000-00010-8	9594	1 RIVER CREST CT, SEWALL'S POINT	\$420,750	6/14/2014

Owner Information

Owner(Current)	WARREN ROY M & DEBORAH C
Owner/Mail Address	1 RIVER CREST CT STUART FL 34996
Sale Date	12/16/2013
Document Book/Page	2693 1340
Document No.	2431682
Sale Price	560000

Location/Description

Account #	9594	Map Page No.	SP-01
Tax District	2200	Legal Description	RIVER CREST, LOT 1 PI#35-37-41-010- 000-00010-80000
Parcel Address	1 RIVER CREST CT, SEWALL'S POINT		
Acres	.4410		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120900 Sewall's Lndg/Castle Hill

Assessment Information

Market Land Value	\$180,000
Market Improvement Value	\$240,750
Market Total Value	\$420,750

Apex Pavers & Pools
834 SE Lincoln Ave
Stuart FL 34994



NOTICE OF COMMENCEMENT
TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

INSTR # 2459344
RE BK 2722 PG 152

PERMIT #: _____ TAX FOLIO #: 35 37 41 000000 0000 RECORDED 06/14/2014 10:16 AM
STATE OF FLORIDA COUNTY OF MARTIN CAROLYN TIMMANN
MARTIN COUNTY CLERK

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS, IF AVAILABLE):
River Crest, lot 1, River Crest Ct, Stuart FL 34996

GENERAL DESCRIPTION OF IMPROVEMENT: Beide Paver pool deck

OWNER NAME: Deborah Warren
ADDRESS: 1 River Crest Ct, Stuart FL 34996
PHONE NUMBER: 334-1673 FAX NUMBER: _____

INTEREST IN PROPERTY: OWNER
NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

CONTRACTOR: Apex Pavers & Pools
ADDRESS: 834 SE Lincoln Ave Stuart FL 34994
PHONE NUMBER: 419-5151 FAX NUMBER: 419-5101

SURETY COMPANY (IF ANY): _____ STATE OF FLORIDA
ADDRESS: _____ MARTIN COUNTY
PHONE NUMBER: _____ FAX NUMBER: _____
BOND AMOUNT: _____

LENDER/MORTGAGE COMPANY: _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:
NAME: _____ DATE: _____ D.C.
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____



THIS IS TO CERTIFY THAT THE FOREGOING PAGE(S) IS A TRUE AND CORRECT COPY OF THE ORIGINAL DOCUMENT AS FILED IN THIS OFFICE
CAROLYN TIMMANN, CLERK

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:
PHONE NUMBER: _____ FAX NUMBER: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
(EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Deborah Warren
SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

SIGNATORY'S TITLE/OFFICE Deborah Warren, Owner

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 2 DAY OF June, 2014

BY: Deborah Warren AS OWNER FOR _____
NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

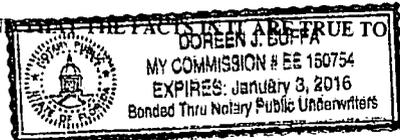
PERSONALLY KNOWN _____ OR PRODUCED IDENTIFICATION

TYPE OF IDENTIFICATION PRODUCED: FL DC
W650 163 64 6040

Warren Buzza
NOTARY SIGNATURE/ SEAL

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND BELIEVE THE FACTS SET FORTH ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

Deborah Warren
(Signature of Natural Person Signing Above)



BOUNDARY SURVEY

LEGAL DESCRIPTION:

LOT 1, RIVER CREST, ACCORDING TO THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN PLAT BOOK 12, PAGE 11, OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

SURVEYORS NOTES:

1. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS AND/OR RIGHTS OF WAY OF RECORD EXCEPT AS SHOWN ON THE RECORD PLAT IF ANY.
2. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND FOOTINGS OF BUILDINGS OR FENCES ON OR ADJACENT TO THIS SITE.
3. BEARINGS SHOWN HEREON REFER TO AN ASSUMED MERIDIAN OF S23°56'54"E ALONG THE WESTERLY RIGHT OF WAY LINE OF NORTH SEWALLS POINT ROAD.
4. THIS SITE LIES IN FLOOD ZONE 'AE' (BASE 9.0') AS SCALED AND INTERPOLATED ON FEMA MAP NO. 120164-0154-F, DATED: OCTOBER 4, 2002.
5. SITE AREA: 19195.81 SQUARE FEET.
6. LEGAL DESCRIPTION FURNISHED BY CLIENT.
7. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OF PARTIES.
8. THIS SITE WAS SURVEYED WITH THE BENEFIT OF A TITLE SEARCH PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. 11804.02. EFFECTIVE DATE: OCTOBER 30, 2013 AT 8:00 AM

EXCEPTION #11: PLAT BOOK 12, PAGE 11 - AFFECTS PROPERTY, AS SHOWN ON SKETCH
 EXCEPTION #12: BOOK 827, PG 1663 - AFFECTS PROPERTY, UNPLOTTABLE
 EXCEPTION #13: BOOK 940, PG 1046 - DOES NOT AFFECT SUBJECT PROPERTY
 EXCEPTION #14: BOOK 832, PG 2309 - AFFECTS PROPERTY, UNPLOTTABLE

CERTIFICATION:
 1. ROY M. WARREN and DEBORAH C. WARREN
 2. HARBOR COMMUNITY BANK, its successors and/or assigns, as their interests may appear
 3. FIRST AMERICAN TITLE INSURANCE COMPANY
 4. KRAMER, SOPKO & LEVENSTEIN, P.A.

SURVEYORS' CERTIFICATION:
 SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

TOWN OF SEWALLS POINT
 BUILDING DEPARTMENT
 FILE COPY
 NO. 4134 STATE OF FLORIDA

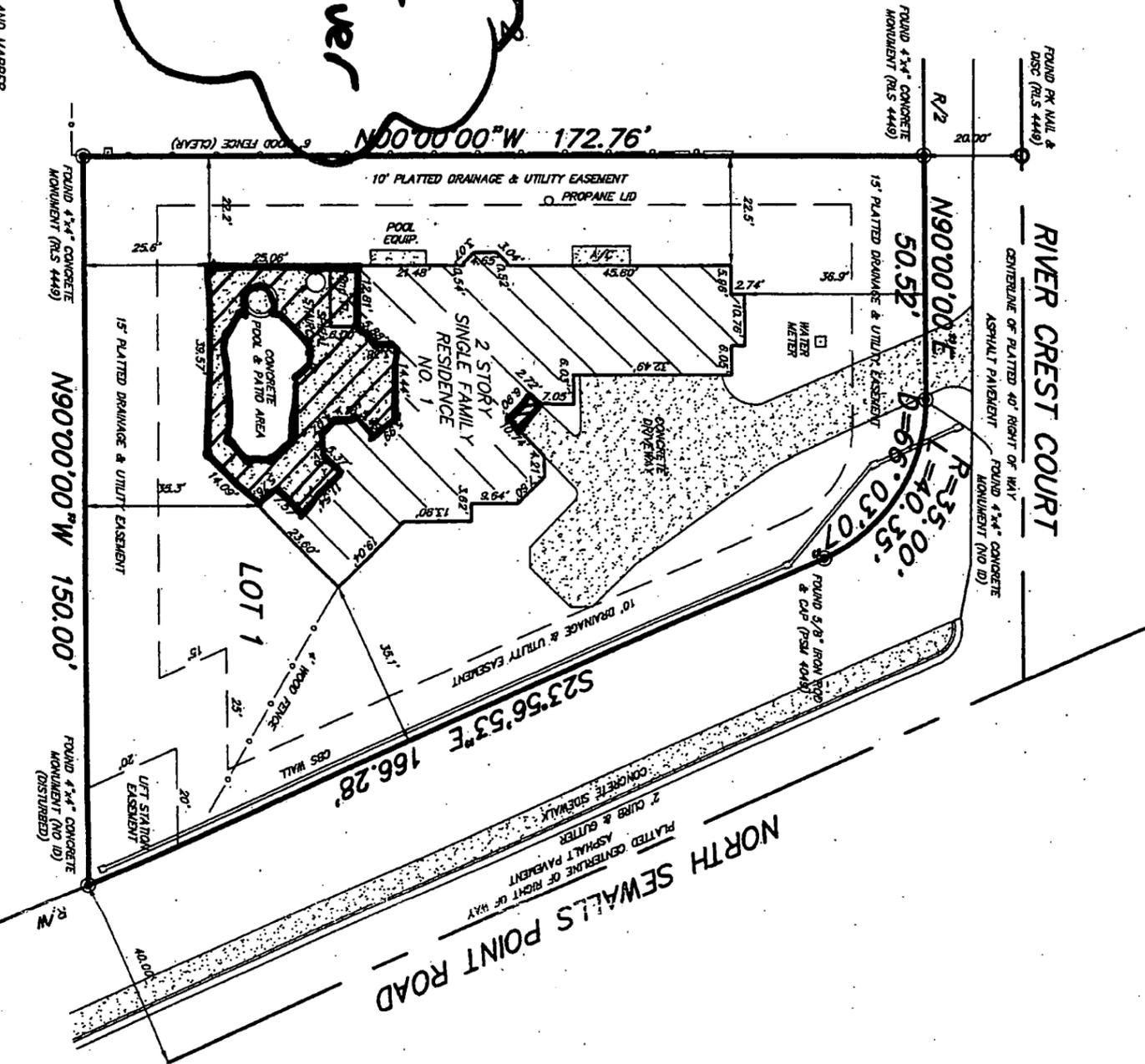
BLOOMSTER
 PROFESSIONAL LAND
 SURVEYORS, INC.
 LB #6018

641 NORTHEAST SPENCER STREET
 JENSEN BEACH, FLORIDA 34957
 PHONE 772-334-0868

SHEET 1 OF 1
DRAWN BY: DRK
SCALE: 1" = 30'
DATE: 11/12/13
T.B. SKETCH
JOB NO. 11963
REVISIONS

PREPARED FOR: ROY and DEBORAH WARREN
 1 RIVER CREST
 STUART, MARTIN COUNTY, FLORIDA

1 RIVER CREST ST 70900



- LEGEND**
- PSM = PROFESSIONAL SURVEYOR AND MAPPER
 - CBS = CONCRETE BLOCK STRUCTURE
 - RLS = REGISTERED LAND SURVEYOR
 - ID = IDENTIFICATION
 - R/W = RIGHT OF WAY
 - A/C = AIR CONDITIONER
 - R = RADIUS
 - L = LENGTH
 - D = DELTA

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

7/22 - 14

Page _____ of _____

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10900	██████████ WILSON	FINAL		
	1/2 RIVER CREST	PAVING	PASS	██████████
	APEX PAVING			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10917	CASTRO	RETAINING		
9:00	22 S. SEWALLS Pt Rd	WALL	PASS	
	ROE CONST			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
		INSPECT		
	DELAND LANE	CATCH BASIN	OK	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10934		JOB SITE		
	6 OAKHILL WAY	PRE-CON	OK	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

11232

REPLACE WINDOWS

&

DOORS

INSTALL SHUTTERS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	11232	DATE ISSUED:	April 6, 2015
SCOPE OF WORK:	Replace Windows and Door & Install Shutters		
CONTRACTOR:	Jupiter Aluminum Products		
PARCEL CONTROL NUMBER:	35-37-41-010-000-00010-8	SUBDIVISION:	River Crest
CONSTRUCTION ADDRESS:	1 River Crest Court		
OWNER NAME:	Warren		
QUALIFIER:	Mark Scher	CONTACT PHONE NUMBER:	561-747-4166

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Date: 4/1/15 Permit Number: 11232

OWNER/LESSEE NAME: ROY AND DEBBIE WARREN Phone (Day) 7722854512 (Fax) _____

Job Site Address: 1 RIVER CREST CT City: STUART State: FL Zip: 34996

Legal Description RIVER CREST Parcel Control Number: 35-37-41-010-000-00010-8

Fee Simple Holder Name: _____ Address: _____

City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):** Replace windows/Door + Shutters

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES NO

Has a Zoning Variance ever been granted on this property?
YES (YEAR) _____ NO
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 13,600.00
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: JUPITER ALUMINUM PRODUCTS Phone: 5617474166 Fax: 5617475036

Qualifiers name: MARK SCHER Street: 219 JUNO ST City: JUPITER State: FL Zip: 33458

State License Number: _____ OR: Municipality: _____ License Number: U-17382

LOCAL CONTACT: ROBIN Phone Number: 5617474166

DESIGN PROFESSIONAL: _____ Fla. License# _____

Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

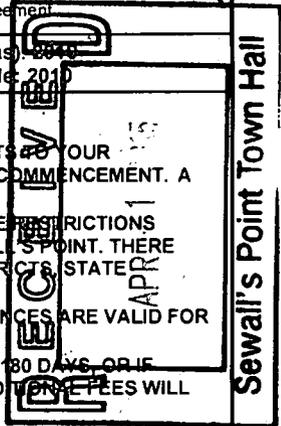
Carpport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE*: _____

* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas) 2009
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
- IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.



***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE:
X [Signature]
State of Florida, County of: _____
On This the _____ day of _____, 2015
by _____ who is personally
known to me or produced _____
As identification _____
Notary Public
My Commission Expires: _____

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:
X [Signature]
State of Florida, County of: Polk
On This the 1st day of April, 2015
by Mark Scher who is personally
known to me or produced _____
As identification _____
Notary Public # EE217363
My Commission Expires: July 17, 2016

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL. NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	11232		
ADDRESS:	1 River Crest Court		
DATE ISSUED:	4/6/2015	SCOPE OF WORK:	Replace Windows and Door & Install Shutters

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, Remodel >\$200K)		\$	
Plan Submittal Fee (175.00 Remodel <\$200K, Tennant Improvement)		\$	
Plan Submittal Fee (100.00 Remodel <\$100k)		\$	
Total square feet air-conditioned spa @ per sq. ft. s.f.		\$	-
Total square feet non-conditioned space, or interior remodel: @ per sq. ft. s.f.		\$	-
Total square feet remodel with new trusses: @ per sq. ft. s.f.		\$	-
Total Construction Value:		\$	\$ -
Building fee: (2% of construction value SFR or >\$200K)		\$	n/a
Total number of inspections (Value < \$200K) \$ 150.00 per insp. # insp		\$	-
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	n/a
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	n/a
Technology Fee: (0.04% of Construction Value - \$5 min)			n/a
Road impact assessment: (0.4% of construction value - \$20 min.)			n/a
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	\$ -

ACCESSORY PERMIT	Declared Value:	\$	\$ 13,600.00
Total number of inspections: @ \$ 150.00 per insp. # insp		\$	300.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	4.50
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	4.50
Technology Fee (0.04% of Construction Value - \$5 min.)		\$	5.44
Road impact assessment: (0.4% of construction value - \$20 min.)		\$	54.40
TOTAL ACCESSORY PERMIT FEE:		\$	368.84



ANNE M. GANNON
 CONSTITUTIONAL TAX COLLECTOR
 Serving Palm Beach County

P.O. Box 3353, West Palm Beach, FL 33402-3353
 www.pbctax.com Tel: (561) 355-2264

****LOCATED AT****
 219 JUNO STREET
 JUPITER, FL 33458-4960

Serving you.

TYPE OF BUSINESS	OWNER	CERTIFICATION #	RECEIPT #/DATE PAID	AMT PAID	BILL #
23-0004 CW ALUMINUM SPECIALTIES	SCHER MARK	U17382	U14.664382 - 08/05/14	\$185.85	B40100884

This document is valid only when received by the Tax Collector's Office.

STATE OF FLORIDA
 PALM BEACH COUNTY
 2014/2015 LOCAL BUSINESS TAX RECEIPT

JUPITER ALUMINUM PRODUCTS INC
 JUPITER ALUMINUM PRODUCTS INC
 219 JUNO STREET
 JUPITER, FL 33458-4931



LBTR Number: 199800648
EXPIRES: SEPTEMBER 30, 2015

This receipt grants the privilege of engaging in or managing any business profession or occupation within its jurisdiction and MUST be conspicuously displayed at the place of business and in such a manner as to be open to the view of the public.



ANNE M. GANNON
 CONSTITUTIONAL TAX COLLECTOR
 Serving Palm Beach County

P.O. Box 3353, West Palm Beach, FL 33402-3353
 www.pbctax.com Tel: (561) 355-2264

****LOCATED AT****
 219 JUNO STREET
 JUPITER, FL 33458-4960

Serving you.

TYPE OF BUSINESS	OWNER	CERTIFICATION #	RECEIPT #/DATE PAID	AMT PAID	BILL #
23-0151 ALUMINUM SPECIALTIES CONTRACTOR	SCHER MARK	U17382	U14.664382 - 08/05/14	\$27.50	B40100883

This document is valid only when received by the Tax Collector's Office.

STATE OF FLORIDA
 PALM BEACH COUNTY
 2014/2015 LOCAL BUSINESS TAX RECEIPT

JUPITER ALUMINUM PRODUCTS INC
 JUPITER ALUMINUM PRODUCTS INC
 219 JUNO STREET
 JUPITER, FL 33458-4931



LBTR Number: 199800651
EXPIRES: SEPTEMBER 30, 2015

This receipt grants the privilege of engaging in or managing any business profession or occupation within its jurisdiction and MUST be conspicuously displayed at the place of business and in such a manner as to be open to the view of the public.

**PALM BEACH COUNTY CONTRACTORS
 CERTIFICATE OF COMPETENCY**

CERTIFICATE # U-17382		EXPIRATION 09/30/2015
---------------------------------	--	---------------------------------

NAME : MARK A SCHER
 FIRM : JUPITER ALUMINUM PRODUCTS INC

DBA :

219 JUNO ST
 JUPITER, FL 33458

**CERTIFIED CONTRACTOR
 ALUMINUM SPECIALTIES**

FEE : 250.00
 ISSUED BY : SMATTHES ON : 08/21/2013
 ID #0033202

Signature:
 Contractor Signature Required



ANNE M. GANNON
 CONSTITUTIONAL TAX COLLECTOR
Serving Palm Beach County

P.O. Box 3353, West Palm Beach, FL 33402-3353
 www.pbctax.com Tel: (561) 355-2264

****LOCATED AT****
 219 JUNO STREET
 JUPITER, FL 33458-4960

Serving you.

TYPE OF BUSINESS	OWNER	CERTIFICATION #	RECEIPT #/DATE PAID	AMT PAID	BILL #
23-0141 CW WINDOW & DOOR CONTRACTOR	SCHER MARK	U20513	U14.664382 - 08/05/14	\$185.85	B40100881

This document is valid only when receipted by the Tax Collector's Office.

STATE OF FLORIDA
 PALM BEACH COUNTY
 2014/2015 LOCAL BUSINESS TAX RECEIPT

JUPITER ALUMINUM PRODUCTS INC.
 JUPITER ALUMINUM PRODUCTS INC
 219 JUNO STREET
 JUPITER, FL 33458-4931

LBTR Number: 200718712
EXPIRES: SEPTEMBER 30, 2015



This receipt grants the privilege of engaging in or managing any business profession or occupation within its jurisdiction and **MUST** be conspicuously displayed at the place of business and in such a manner as to be open to the view of the public.



ANNE M. GANNON
 CONSTITUTIONAL TAX COLLECTOR
Serving Palm Beach County

P.O. Box 3353, West Palm Beach, FL 33402-3353
 www.pbctax.com Tel: (561) 355-2264

****LOCATED AT****
 219 JUNO STREET
 JUPITER, FL 33458-4960

Serving you.

TYPE OF BUSINESS	OWNER	CERTIFICATION #	RECEIPT #/DATE PAID	AMT PAID	BILL #
23-0101 WINDOW & DOOR CONTRACTOR	SCHER MARK	U20513	U14.664382 - 08/05/14	\$27.50	B40100882

This document is valid only when receipted by the Tax Collector's Office.

STATE OF FLORIDA
 PALM BEACH COUNTY
 2014/2015 LOCAL BUSINESS TAX RECEIPT

JUPITER ALUMINUM PRODUCTS INC
 JUPITER ALUMINUM PRODUCTS INC
 219 JUNO STREET
 JUPITER, FL 33458-4931

LBTR Number: 200718711
EXPIRES: SEPTEMBER 30, 2015



This receipt grants the privilege of engaging in or managing any business profession or occupation within its jurisdiction and **MUST** be conspicuously displayed at the place of business and in such a manner as to be open to the view of the public.

PALM BEACH COUNTY CONTRACTORS
 CERTIFICATE OF COMPETENCY

CERTIFICATE # U-20513		EXPIRATION 09/30/2015
---------------------------------	---	---------------------------------

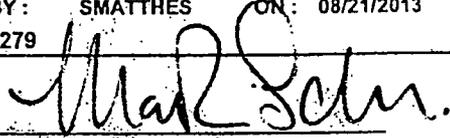
NAME : MARK A SCHER
 FIRM : JUPITER ALUMINUM PRODUCTS INC

DBA :

219 JUNO ST
 JUPITER, FL 33458

CERTIFIED CONTRACTOR WINDOW & DOOR

FEE : 250.00
ISSUED BY : SMATTHES ON : 08/21/2013
ID #0098279

Signature: 
 Contractor Signature Required

JUPITER ALUMINUM PRODUCTS, INC.

219 Juno Street • Jupiter, FL 33458
 (561) 747-4166 • Fax (561) 747-5036
 Lic. #U17382

NAME Debbie Warren PHONE 772 285 4511
 ADDRESS 1 Riverscrest Ct CITY Stuart STATE FL 34994
 SUBDIVISION SEWALLS POINT BUILDING # _____ FLOOR # 1+2 APT. # _____ ZIP _____
 APPROXIMATE DELIVERY DATE 5 to 6 weeks stucco-wood
 CIRCLE COLOR White Beige Bronze Ivory OTHER: _____
 Product: Accordion Rollup Panels Bahama Colonial Windows Patio Covers

OPG. NO.	WIDTH	HEIGHT	
1	Custom make and install ARMOR Screen Buckle + STRAK		
2	System for front door + window above #5. Black		
3	ARMOR screen Gromet system #15 16, 44 45		
4	Custom make and install Fiberglass Impact		
5	FLUSH Door for #24 white smooth		
6	Complete PREHUNG		
7	Custom make and install Aluminum Panels		
8	• 50 mill FINISH. For #1, 2, 3, 4, 6, 7, 8, 9, 10		
9	11, 12, 13, 14, 17, 18, 19, 20, 21, 22, 23, 25, 26, 27		
10	28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43		
11	TRACKS white PRICE includes material + labor		
12	Permit to be billed at cost XX PRICE includes 15% discount + AHJ fees		

JUPITER ALUMINUM PRODUCTS, INC. SHALL FABRICATE AND INSTALL THE ABOVE PURSUANT TO THE TERMS AND CONDITIONS OF THIS AGREEMENT. OUR LIMITED WARRANTY BECOMES A PART OF THIS CONTRACT UPON FINAL PAYMENT AS PROVIDED IN THIS CONTRACT.

CUSTOMER'S RIGHT TO CANCEL

This is a home solicitation sale, and if you do not want the goods or services, you may cancel this agreement by providing written notice to the seller in person, by telegram, or by mail. This notice must indicate that you do not want the goods or services and must be delivered or postmarked before midnight of the third business day after you sign this agreement. If you cancel this agreement, the seller may not keep all or part of any cash down payment.

CUSTOMER ACKNOWLEDGES READING THE FRONT & BACK SIDES OF THIS AGREEMENT AND AGREES TO BE BOUND BY ALL TERMS AND CONDITIONS AS SET FORTH ON BOTH SIDES.

DATE <u>3/14/15</u>	TOTAL PRICE	\$ <u>13,600</u>
CUSTOMER <u>D.M. Warren</u>	50% DEPOSIT <u>CIC</u>	\$ <u>6,000</u>
* FACTORY REPRESENTATIVE <u>Mike Filippelli</u>	BALANCE DUE ON COMPLETION OF INSTALLATION	<u>7,600</u>

Approved and Accepted by company official _____

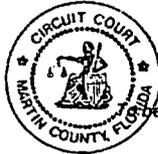
In owner's absence, name and phone number of contact for measuring, installation and payment.

ALL CHECKS PAYABLE TO
 JUPITER ALUMINUM PRODUCTS, INC.

CONTRACT SUBJECT TO ADDITIONAL TERMS
 ON REVERSE SIDE

STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGE(S) IS A TRUE
AND CORRECT COPY OF THE ORIGINAL
DOCUMENT AS FILED IN THIS OFFICE



NOTICE OF COMMENCEMENT

completed when construction value exceeds \$2,500.00

PERMIT # _____
CAROLYN TIMMANN, CLERK

TAX FOLIO # 35-37-41-010-000-00010-8

BY: SUMMARY D.C.

COUNTY OF MARTIN

DATE

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS, IF AVAILABLE):

RIVER CREST LOT 1

GENERAL DESCRIPTION OF IMPROVEMENT: ARMOR SCREEN / IMPACT DOOR / SHUTTERS

OWNER INFORMATION OR LESSEE INFORMATION, IF THE LESSEE CONTRACTED FOR THE IMPROVEMENT:

Name: ROY WARREN

Address: 1 RIVER CREST CT, STUART, FL 34996

Interest in property: OWNER

Name and address of fee simple title holder (If different from Owner listed above):

CONTRACTOR'S NAME: Jupiter Aluminum Products, Inc.

Phone No.: (561) 747-4166

Address: 219 Juno Street Jupiter, FL 33458

SURETY COMPANY (If applicable, a copy of the payment bond is attached):

Name and address:

Phone No.:

Bond amount:

LENDER'S NAME:

Address:

Phone No.:

Persons within the State of Florida designated by owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7, Florida Statutes:

Name:

Address:

Phone No.:

In addition to himself or herself, owner designates _____ of _____ to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes. Phone number of person or entity designated by Owner: _____

Expiration date of Notice of Commencement:

(the expiration date may not be before the completion of construction and final payment to the contractor, but will be 1 year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Under penalty of perjury, I declare that I have read the foregoing and that the facts in it are true to the best of my knowledge and belief.

ROY M. WARREN
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager/Attorney-in-fact

Signatory's Title/Office

The foregoing instrument was acknowledged before me this 14th day of MARCH, 2015

By: ROY M. WARREN as _____ for _____
Name of person Type of authority (e.g. officer, trustee) Party on behalf of whom instrument was executed

Notary's Signature

Personally known or produced identification

Type of identification produced PL

(Print, Type, or Stamp Commissioned Name)

MICHAEL J. FILIPPELLI

NOTARY PUBLIC

STATE OF FLORIDA

Commission Expires

Expires 3/27/2017

T:\BLD\Bldg_Forms\New Applications\Fors...

INSTR # 2507107 OR BK 2775 PG 165 RECD 03/31/2015 01:47:14 PM
(1 Pgs)
CAROLYN TIMMANN MARTIN COUNTY CLERK
DEED DOC \$0.00, MTG DOC \$0.00, INTANGIBLE \$0.00



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

SHUTTER SCHEDULE

I.D. NO.	APPOX OPENING SIZE (WXH)	APPOX SHUTTER WIDTH	APPOX HEIGHT	# OF STORM BARS REQ'D	ANCHOR SPACING	# OF WINDOW BARS EACH SIDE	HEADER REINF. REQ'D YES/NO	REMARKS
	37"X63"	45"	71"	N/A	12"	N/A	NO	EXAMPLE
26	96 x 32	105	37		12	Alum Panels		26
27	27 x 63	30	68		12			27
28	27x 63	30	68		12			28
29	37 x 38	43	43		12			29
30	26 x 50	30	55		12			30
31	26 x 50	30	55		12			31
32	32 x 50	36	55		12			32
33	32 x 38	36	43		12			33
34	48 x 26	53	31		12			34
35	32 x 38	36	43		12			35
36	26 x 63	30	68		12			36
37	26 x 50	30	55		12			37
38	37 x 50	43	55		12			38
39	26 x 50	30	55		12			39
40	26 x 63	30	68		12			40
41	26 x 63	30	68		12			41
42	108 x 81	118	86		12			42
43	53 x 63	59	68		12		43	
44	78 x 86	85	91		6	Armor Screen	44	
45	78 x 86	85	91		6		45	
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WINDOW/DOOR SCHEDULE

ID NO	APPOX OPENING SIZE (WXH)	DESIGNATION	* TYPE	IMPACT PROTECTION		REMARKS
				IMPACT GLASS	SHUTTER	
	37" X 63"	25	SH		X	EXAMPLE
1						
2						
3						
4						
5						
6						
7						
8						
9						
10						
11						
12						
13						
14						
15						
16						
17						
18						
19						
20						
21						
22						
23						
24	32 x 80					IMPACT DOOR
25						
26						
27						
28						
29						
30						

TOTAL GLAZED OPENING AREA FOR STRUCTRE: _____ S.F.

***PERCENTAGE OF NEW GLAZED AREA: _____ %**
(TOTAL INSTALLED GLAZED AREA DIVIDED BY TOTAL GLAZED OPENINGS FOR STRUCTURE)

NOTE: The replacement of more than 25% of the aggregate area of exterior glazing (windows & doors) in one & two family dwellings within a 12 month period will require impact protection on all proposed glazed opening replacement (approved shutters or impact resistant glazing) as per 2004 FBC/ EXISTING BUILDING 507.3.

*** TYPE WINDOWS**

SH – SINGLE HUNG
 DH – DOUBLE HUNG

AWN – AWNING
 CAS – CASEMENT

SL – SLIDING
 FIX – FIXED



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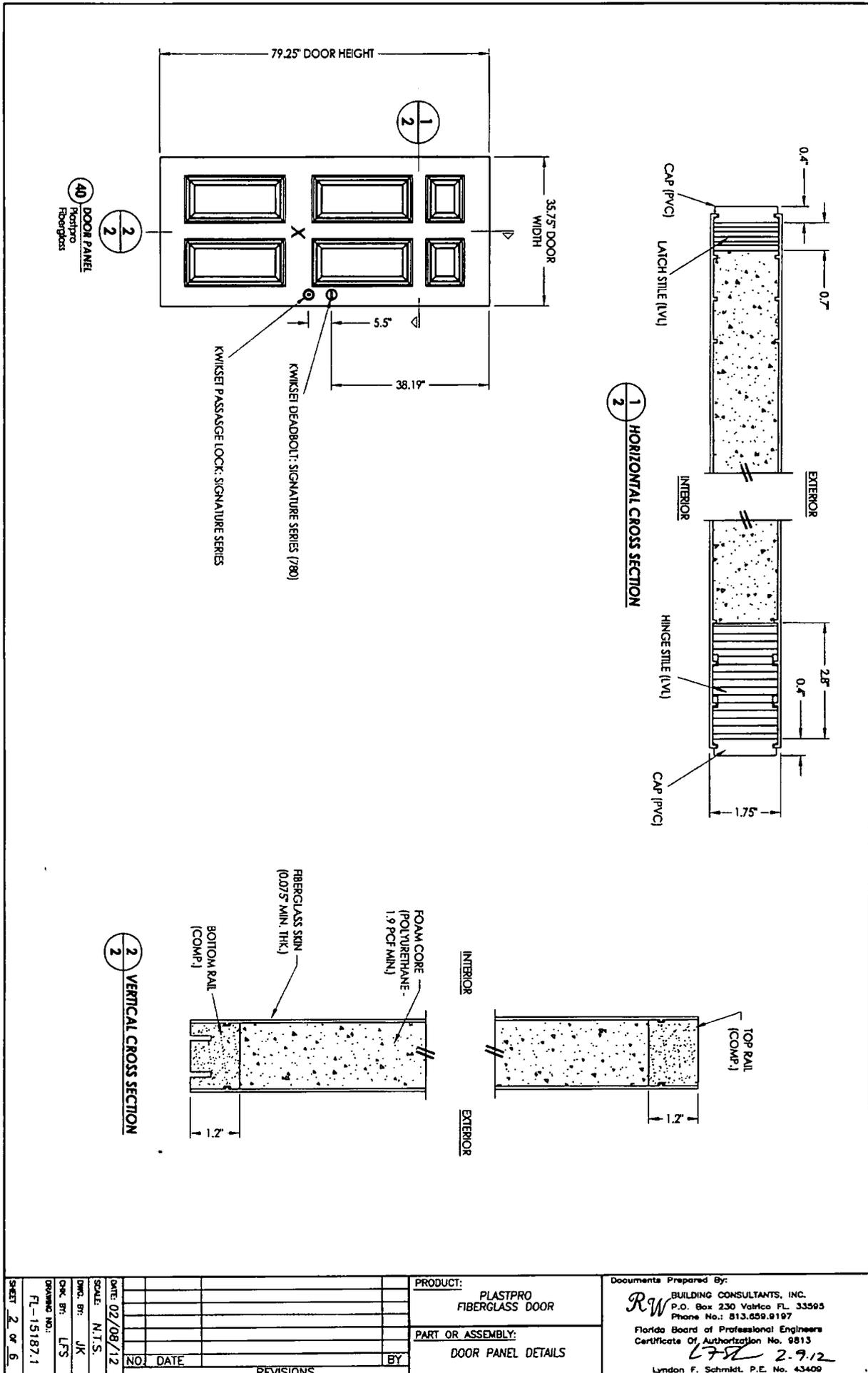


Product Approval
USER: Public User

[License efficiently. Regulate fairly.](#) [Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > [Application Detail](#)

OFFICE OF THE SECRETARY

FL #	FL15187								
Application Type	New								
Code Version	2010								
Application Status	Approved								
Comments									
Archived	<input type="checkbox"/>								
Product Manufacturer	Plastpro Inc. / Nanya Plastics Corp.								
Address/Phone/Email	5200 W CENTURY BLVD. LOS ANGELES, CA 90045 (440) 969-9773 Ext 16 rickw@rwbldgconsultants.com								
Authorized Signature	Vivian Wright rickw@rwbldgconsultants.com								
Technical Representative	Scott Johnson								
Address/Phone/Email	5200 W Century Blvd. Los Angeles, CA 90045 (440) 969-9773 Ext 18 scottjohnson@plastproinc.com								
Quality Assurance Representative	Ron O'Connell								
Address/Phone/Email	5200 W Century Blvd. Los Angeles, CA 90045 (440) 969-9773 Ext 16 ronoconnell@plastpro.com								
Category	Exterior Doors								
Subcategory	Swinging Exterior Door Assemblies								
Compliance Method	Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer <input checked="" type="checkbox"/> Evaluation Report - Hardcopy Received								
Florida Engineer or Architect Name who developed the Evaluation Report	Lyndon F. Schmidt, P.E.								
Florida License	PE-43409								
Quality Assurance Entity	National Accreditation and Management Institute								
Quality Assurance Contract Expiration Date	12/31/2018								
Validated By	Ryan J. King, P.E. <input checked="" type="checkbox"/> Validation Checklist - Hardcopy Received								
Certificate of Independence	FL15187_R0_COI_Certificate of Independence.pdf								
Referenced Standard and Year (of Standard)	<table border="0"> <thead> <tr> <th><u>Standard</u></th> <th><u>Year</u></th> </tr> </thead> <tbody> <tr> <td>ASTM E1886</td> <td>2002</td> </tr> <tr> <td>ASTM E1996</td> <td>2002</td> </tr> <tr> <td>ASTM E330</td> <td>2002</td> </tr> </tbody> </table>	<u>Standard</u>	<u>Year</u>	ASTM E1886	2002	ASTM E1996	2002	ASTM E330	2002
<u>Standard</u>	<u>Year</u>								
ASTM E1886	2002								
ASTM E1996	2002								
ASTM E330	2002								
Equivalence of Product Standards Certified By									
Sections from the Code									



NO.	DATE	REVISIONS	BY

PRODUCT: PLASTPRO FIBERGLASS DOOR

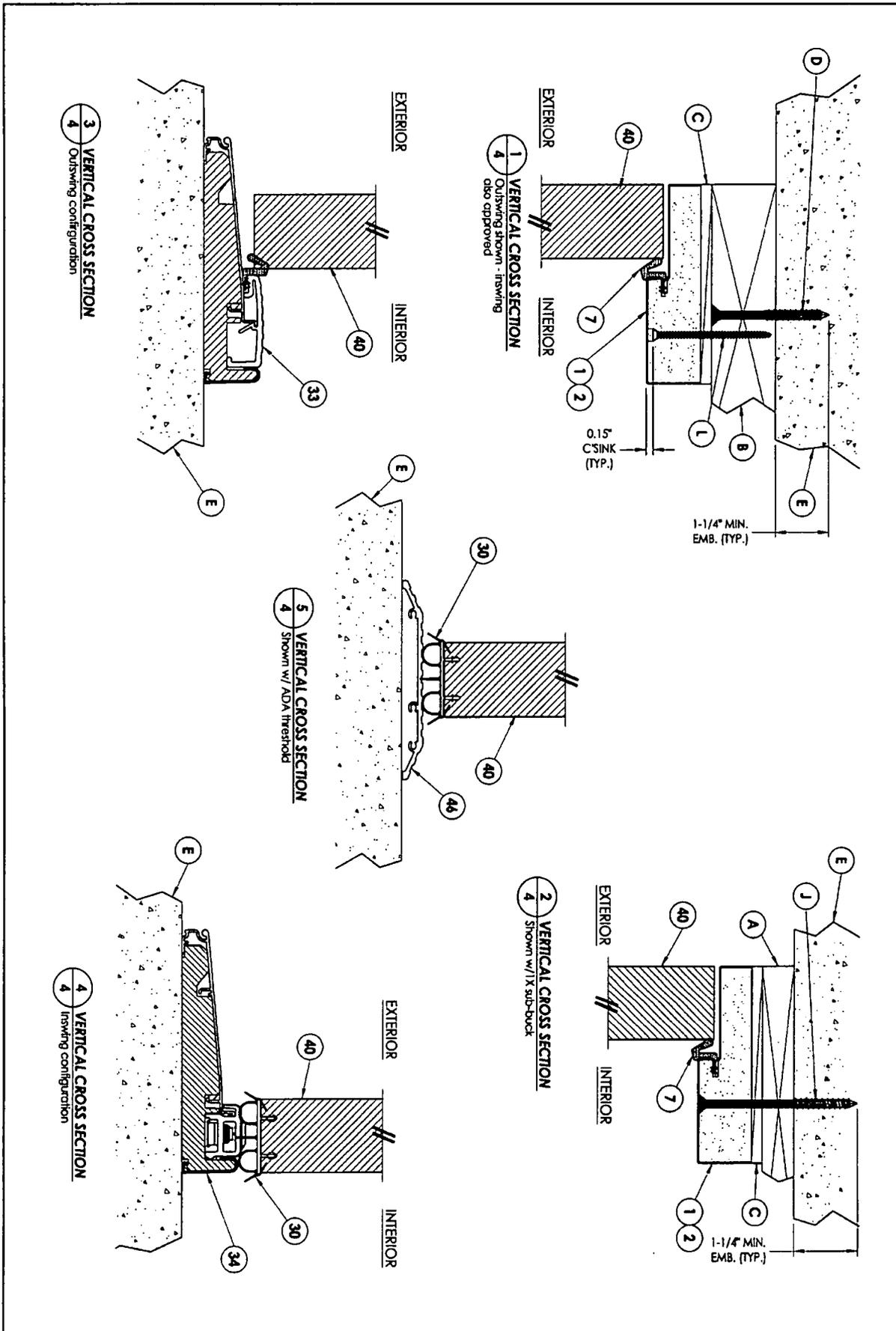
PART OR ASSEMBLY: DOOR PANEL DETAILS

Documents Prepared By:

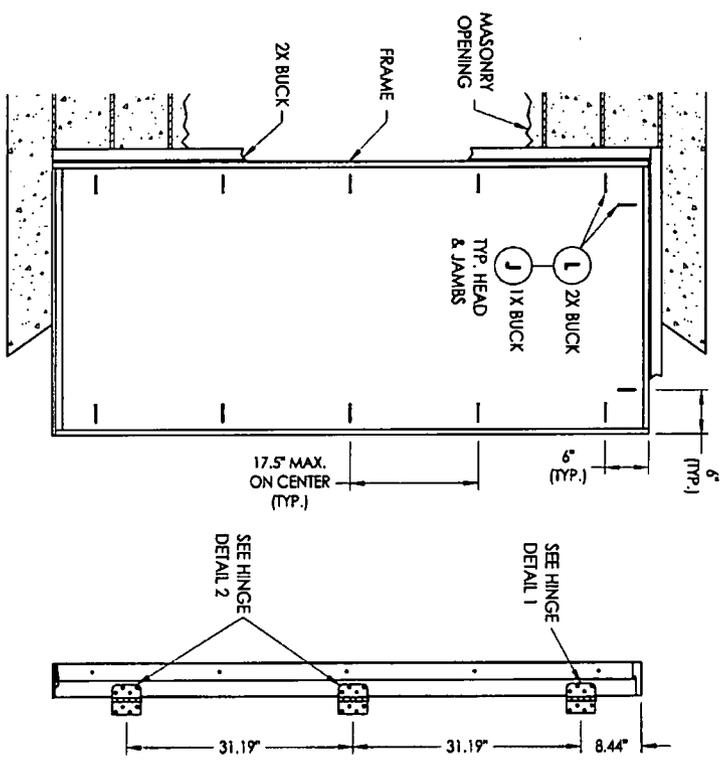
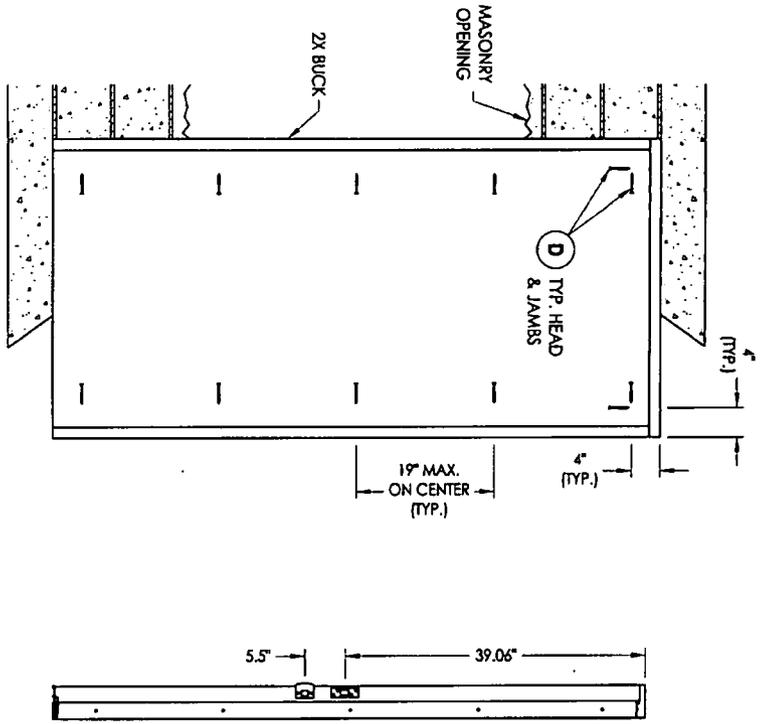
RW BUILDING CONSULTANTS, INC.
 P.O. Box 230 Valrico FL 33595
 Phone No.: 813.659.9197

Florida Board of Professional Engineers
 Certificate of Authorization No. 9813

LFS 2.9.12
 Lyndon F. Schmidt, P.E. No. 43409



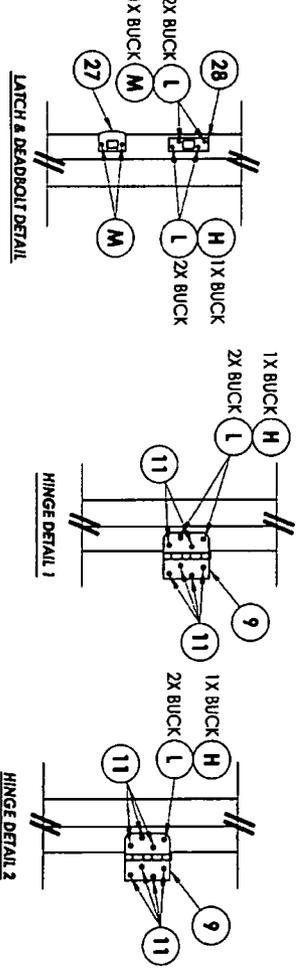
PRODUCT: PLASTPRO INC. FIBERGLASS DOOR		Documents Prepared By: <i>RW</i> BUILDING CONSULTANTS, INC. P.O. Box 230 Vero Beach, FL 33595 Phone No.: 813.659.9197 Florida Board of Professional Engineers Certificate of Authorization No. 0813 <i>LF 29.12</i> Lyndon F. Schmidt, P.E. No. 43409	
PART OR ASSEMBLY: VERTICAL CROSS SECTIONS		DATE: 02/09/12 SCALE: N.T.S. DWG. BY: JK CHK. BY: LJS DRAWING NO.: FL-15187.1 SHEET 4 OF 5	
NO.	DATE	BY	REVISIONS



CONCRETE ANCHOR NOTES:

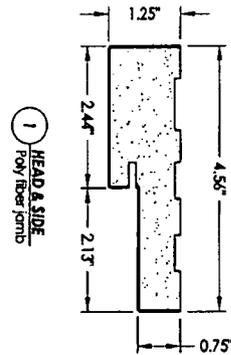
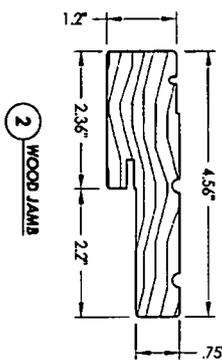
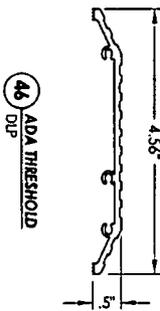
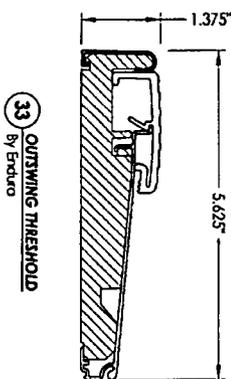
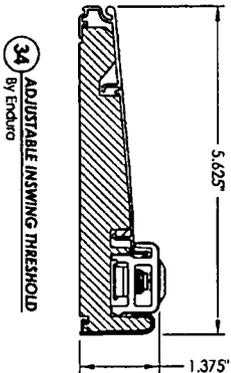
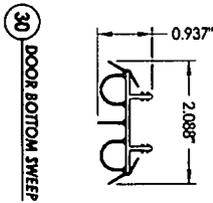
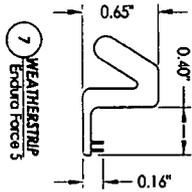
1. Substitution of equal concrete anchors from a different supplier may have different edge distance and center distance requirements.
2. Concrete anchor locations at the corners may be adjusted to maintain the min. edge distance to mortar joints. Concrete anchor locations noted as "MAX. ON CENTER" must be adjusted to maintain the min. edge distance to mortar joints; additional concrete anchors may be required to ensure the "MAX. ON CENTER" dimension are not exceeded.
3. Concrete anchor table:

ANCHOR TYPE	ANCHOR SIZE	MIN. EMBEDMENT	MIN. CLEARANCE TO MASONRY EDGE	MIN. CLEARANCE TO ADJACENT ANCHOR
ITW	1/4"	1-1/4"	2-1/2"	5"
EICO	1/4"	1-1/4"	1"	4"
ITW	3/16"	1-1/4"	2-5/8"	2-1/4"



SHEET 5 OF 6	DRAWING NO.: FL-15187.1	CHK. BY: LFS	DWC. BY: JK	DATE: 02/08/12	SCALE: N.T.S.	NO.	DATE	BY	PRODUCT:	Documents Prepared By: <i>RW</i> BUILDING CONSULTANTS, INC. P.O. Box 230 Vero Beach, FL 33595 Phone No.: 813.659.9197 Florida Board of Professional Engineers Certificate of Authorization No. 9613 <i>LFS</i> 2.9.12 Lyndon F. Schmidt, P.E. No. 43409
									PART OR ASSEMBLY: BUCK AND FRAME ANCHORING	

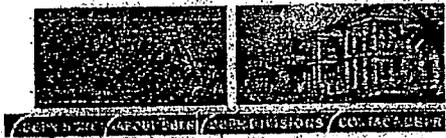
BILL OF MATERIALS		MATERIAL
ITEM #	DESCRIPTION	
A	1X BUCK SG >= 0.55	WOOD
B	2X BUCK SG >= 0.55	WOOD
C	1/4" MAX. SHIM SPACE	
D	1/4" X 2-3/4" PH ELCO OR ITW CONCRETE SCREW	STEEL
E	MASONRY - 3,192 PSI MIN. CONCRETE CONFORMING TO ACI 301 OR HOLLOW BLOCK CONFORMING TO ASTM C90	CONCRETE
H	3/16" x 3-1/4" PH ELCO OR ITW CONCRETE SCREW	STEEL
J	1/4" X 3-3/4" PH ELCO OR ITW CONCRETE SCREW	STEEL
L	#8 X 2-1/2" PH WOOD SCREW	STEEL
M	#8 X 1-1/2" PH WOOD SCREW	STEEL
1	POLY FIBER JAMB	COMP. / VINYL
2	FINGER JOINTED PINE FRAME	WOOD
7	WEATHERSTRIP	FOAM
9	4" X 4" BUTT HINGE	STEEL
11	#9 X 3/4" PH WOOD SCREW	STEEL
27	LATCH STRIKE PLATE	STEEL
28	DEADBOLT STRIKE PLATE (SECURITY)	STEEL
30	DOOR BOTTOM SWEEP	VINYL
33	OUTSWING THRESHOLD	ALUM. / WOOD
34	INSWING ADJUSTABLE THRESHOLD	ALUM. / WOOD
40	DOOR PANEL - SEE DOOR PANEL DETAIL SHEET FOR CONSTRUCTION DETAILS	
46	ADA THRESHOLD	ALUM



NO.	DATE	REVISIONS	BY

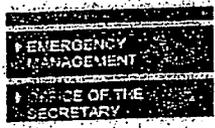
PRODUCT:	PLASTPRO INC. FIBERGLASS DOOR
PART OR ASSEMBLY:	BILL OF MATERIALS & COMPONENTS

Documents Prepared By:
RW BUILDING CONSULTANTS, INC.
 P.O. Box 230 Valrico FL 33595
 Phone No.: 813.659.9197
 Florida Board of Professional Engineers
 Certificate of Authorization No. 9813
LR 2.9.12
 Lyndon F. Schmidt, P.E. No. 43409



Product Approval
USER: Public User

Product Approval Menu > Product or Application Search > Application List > Application Detail



FL # **FL11964-R1**
 Application Type **Revision**
 Code Version **2010**
 Application Status **Approved**
 Comments
 Archived
 Product Manufacturer **Eastern Metal Supply**
 Address/Phone/Email **4268 Westroads Drive
 West Palm Beach, FL 33407
 (800) 432-2204
 lrodriguez@easternmetal.com**

Authorized Signature **Bill Feeley
 lrodriguez@easternmetal.com**

Technical Representative
 Address/Phone/Email

Quality Assurance Representative
 Address/Phone/Email

Category **Shutters**
 Subcategory **Storm Panels**

Compliance Method **Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer**
 Evaluation Report - Hardcopy Received

Florida Engineer or Architect Name who developed the Evaluation Report **Walter A. Tillit, Jr**
 Florida License **BE-44167**
 Quality Assurance Entity **National Accreditation and Management Institute**
 Quality Assurance Contract Expiration Date **12/31/2013**
 Validated By **John Henry Kampmann Jr.**
 Validation Checklist - Hardcopy Received

Certificate of Independence **FL11964 R1 COI EASTERN METAL Certification of independence drwg 11-226.pdf**

Referenced Standard and Year (of Standard)	Standard	Year
	ASTM E1886	2002
	ASTM E1996	2002
	ASTM E330	2002

Equivalence of Product Standards Certified By

Sections from the Code

Product Approval Method Method 1 Option D

Date Submitted 12/16/2011
 Date Validated 12/16/2011
 Date Pending FBC Approval 01/03/2012
 Date Approved 01/31/2012

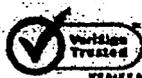
Summary of Products		
FL #	Model, Number or Name	Description
11964.1	0.050" Bertha Aluminum Storm Panel (2 inch)- Drawing number 11-221	Corrugated aluminum Storm Panels retained or not by tracks to provide hurricane protection.
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: N/A Other: Large missile. Max. span is 13'-0" for +30, -30 p.s.f. ASD and 4'-0" for +90, -130 p.s.f. ASD for retained panels. See sheet 2 of installation drawing for other spans and pressures.		Installation Instructions FL11964_R1_II_EASTERN METAL_DRWG 11-221.pdf Verified By: American Test Lab of South Florida Inc. Created by Independent Third Party: Yes Evaluation Reports FL11964_R1_AE_EASTERN METAL Product evaluation report drwg 11-221.pdf Created by Independent Third Party: Yes
11964.2	24 Gage Bertha Galvanized Steel Panel (2 inch) - Drawing number 11-226	Corrugated steel storm panels retained or not by tracks to provide hurricane protection.
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: N/A Other: Large Missile. Max. span is 9'-10" for +32.6, -32.6 p.s.f. ASD and 2'-8" for +58.0, -58.0 p.s.f. ASD See sheet 2 of installation drawing number 08-149 for other spans and pressures.		Installation Instructions FL11964_R1_II_EASTERN METAL_DRWG 11-226.pdf Verified By: American Test Lab of South Florida Inc. Created by Independent Third Party: Yes Evaluation Reports FL11964_R1_AE_EASTERN METAL Product evaluation report drwg 11-226.pdf Created by Independent Third Party: Yes

Contact Us :: 1940 North Monroe Street, Tallahassee FL 32399 Phone: 850-487-1824

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Product Approval Accepts:





WALTER A. TILLIT, JR., P.E.

PRODUCT EVALUATION REPORT

tilteco@aol.com
FL P.E. License No. 44167
FL E.B. License No. 0006719

REPORT NO.: 11-1207.03
DATE: December 7, 2011
PRODUCT CATEGORY: Hurricane Shutters
PRODUCT SUB-CATEGORY: Storm Panels
PRODUCT NAME: 0.050" Bertha Aluminum Storm Panel (2" deep)
MANUFACTURER: Eastern Metal Supply, Inc.
4268 Westroads Drive
West Palm Beach, Florida 33407

1. PURPOSE OF EVALUATION:

This is a Product Evaluation Report issued by Walter A. Tillit, Jr., P.E. (System ID # 1906) to Eastern Metal Supply, Inc., manufacturer, based on Rule Chapter No. 9B-72.070, Method 1d of the State of Florida Product Approval, Department of Community Affairs-Florida Building Commission.

This product is being issued an Evaluation Report as described herein, and has been verified for compliance in accordance with the 2010 edition of the Florida Building Code, and to verify that the product is for the purpose intended at least equivalent to that required by the Code.

This Product Evaluation Report shall be subject to review and revision in case of a Building Code Change that may affect its limitations and conditions.

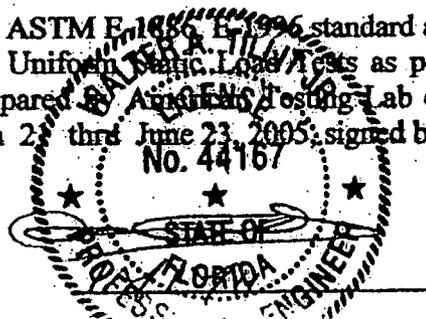
2. EVIDENCE SUBMITTED:

2.1. PRODUCT EVALUATION DOCUMENT (P.E.D.):

Drawing No. 11-221 titled "0.050" BERTHA ALUMINUM STORM PANEL (2" DEEP)", sheets 1 thru 17 of 17, including sheets 6A and 14A of 17, prepared by Tilteco, Inc.; signed and sealed by Walter A. Tillit, Jr., P.E.; dated 12/06/11. This drawing is an integral part of this Evaluation Report.

2.2. TEST REPORTS:

Large missile impact load tests were performed under ASTM E-1886, E-1996 standard as per section 1609.1.2 of the Florida Building Code. Uniform Static Load Tests as per section 1715.5.3, per ASTM E-330. Test reports prepared by American Testing Lab of South Florida, Report No. 0321.01-05, dated March 2, thru June 23, 2005, signed by



Jose L. Mir, ATL Assistant Director and signed and sealed by William R. Mehner, P.E. and Henry Hattem P.E., Report No. 0812.01-05, dated August 12 thru September 8, 2005, signed and sealed by William R. Mehner, P.E., and Henry Hattem, P.E., Report No. 0119.01-06, dated July 5, 2006, signed and sealed by William R. Mehner, P.E. and Henry Hattem, P.E.

Tensile test reports # 5DM-377, by QCM Laboratory, dated April 26, 2005 and signed and sealed by Frank E. Grate, Jr. P.E., as per ASTM E 8 and # 6AM-87, dated February 9, 2006, signed and sealed by Frank E. Grate, P.E., as per ASTM E-8.

2.3. STRUCTURAL ENGINEERING CALCULATIONS:

On 0.050" Bertha Aluminum Storm Panel (2" Deep) for maximum panel length vs. design wind load, as well as maximum anchor spacing vs. design wind load and panel length based on rational and comparative analysis, and in accordance with section 1604 of the Florida Building Code. Calculations prepared by Tiltco, Inc., dated June 23, 2006, amended May 12, 2008 for hemmed edge panels, signed and sealed by Walter A. Tillit, Jr., P.E.

3. MISSILE IMPACT RESISTANCE:

Large missile impact under section 1609.1.2 of the Florida Building Code, as per ASTM E-1886, E-1996 Standard (basic protection).

4. WIND LOADS RESISTANCE:

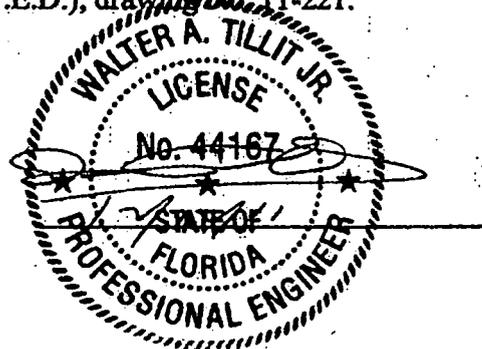
0.050" Bertha Aluminum Storm Panel (2" Deep) has been verified to sustain wind pressures. Maximum panel length shall be as indicated on sheet 2 of 17 of Product Evaluation Document (P.E.D.), drawing No. 11-221. Maximum Anchor Spacing shall be as indicated on sheets 9, 10, 11, 16 and 17 of 17, of Product Evaluation Document (P.E.D.), drawing No. 11-221. 0.050" Bertha Aluminum Storm Panel (2" Deep) has been verified for code compliance to work as a non-porous storm shutter assembly, as per ASTM E-1996 Standard, qualifying Wind Zones 1, 2 and 3.

5. INSTALLATION:

Installation shall be performed strictly in accordance with the details indicated on sheets 4 thru 8 and 12 thru 15 of 17, of Product Evaluation Document (P.E.D.), drawing No. 11-221. Minimum separation to glass shall be as indicated on sheets 4 thru 8 and 12 thru 15 of 17, of Product Evaluation Document (P.E.D.), drawing No. 11-221.

6. MATERIAL CHARACTERISTICS AND SPECIFICATIONS:

Shall be strictly in accordance with General Notes and Components indicated on sheets 1, 2 and 3 of 17, of Product Evaluation Document (P.E.D.), drawing No. 11-221.



Anchor specifications shall be as indicated on sheets 1, 5, 6, 6A, 7, 12, 13, 14, 14A and 15 of 17, of Product Evaluation Document (P.E.D.), drawing No. 11-221.

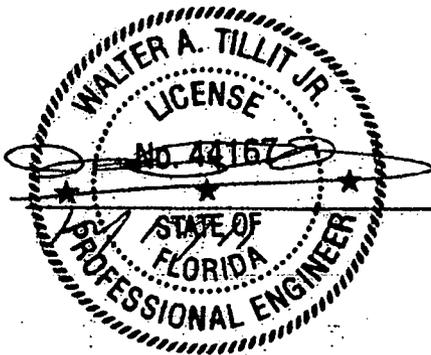
7. LIMITATIONS AND CONDITIONS OF USE:

7.1. Shall be strictly in compliance with General Notes No. 1, 7, 8, 9, 10 and 11, indicated on sheet 1 of 17, of Product Evaluation Document (P.E.D.), drawing No. 11-221 prepared by Filteco, Inc. and signed and sealed by Walter A. Tillit, Jr., P.E.

7.2. Product shall not be installed within HIGH VELOCITY HURRICANE ZONES as defined on section 1620.2 of the Florida Building Code.

7.3. Product shall only be installed into poured concrete, concrete block, and wood frame structures.

Product Evaluation Report prepared by Walter A. Tillit, Jr., P.E. (Florida License No. 44167), President of Filteco, Inc. (Florida EB-0006719).



GENERAL NOTES:

1. STORM PANEL SHOWN ON THIS PRODUCT EVALUATION DOCUMENT (P.E.D.) HAS BEEN VERIFIED FOR COMPLIANCE IN ACCORDANCE WITH THE 2010 EDITION OF THE FLORIDA BUILDING CODE. THIS STORM PANEL SHALL NOT BE INSTALLED AT HIGH VELOCITY HURRICANE ZONES (WAMI-D02 / BROWARD COUNTIES).

DESIGN WIND LOADS SHALL BE DETERMINED AS PER SECTION 1609 OF THE ABOVE MENTIONED CODE. FOR A DIRECTION WHERE THESE SHUTTERS WILL BE INSTALLED AND NOT EXCEED THE MINIMUM (A.S.D.) DESIGN PRESSURE RATINGS INDICATED ON SHEETS 2, 7, 9 THRU 17.

IN ORDER TO VERIFY THE ABOVE CONNECTION, ULTIMATE DESIGN WIND LOADS DETERMINED PER ASCE 7-10 SHALL BE FIRST REDUCED TO A.S.D. DESIGN WIND LOADS BY MULTIPLYING THEM BY 0.6 IN ORDER TO COMPARE THESE W/ MAX. DESIGN PRESSURE RATINGS INDICATED ON SHEETS 2, 7, 9 THRU 17.

IN ORDER TO VERIFY THAT COMPONENTS AND ANCHORS ON THIS P.E.D. AS TESTED WERE NOT OVER STRESSED, A 33% INCREASE IN ALLOWABLE STRESS FOR WIND LOADS WAS NOT USED IN THEIR ANALYSIS. A DURATION FACTOR CD=1.60 WAS USED FOR VERIFICATION OF FASTENERS IN WOOD.

STORM PANEL'S ADEQUATE FOR IMPACT AND FATIGUE RESISTANCE HAS BEEN VERIFIED IN ACCORDANCE WITH SECTION 1609.1.2 OF THE ABOVE MENTIONED CODE AS PER AMERICAN TEST LAB REPORTS # 021101-05, # 08121-05 AND # 01191-01-06, PER ASTM E 1886-02, E 1998-02 AND ASTM E-330 STANDARDS. QUALIFIED FOR WIND ZONES 1 AND 3, MISSILE TYPE 0 (BASIC PROTECTION ONLY) AND FOR INSTALLATION AT NON ESSENTIAL FACILITIES AS DEFINED BY SECTIONS 6.2.1.1 AND 6.2.1.2 OF ASTM E 1986-02.

2. ALL ALUMINUM SHEET METAL PANELS SHALL HAVE 5052-H32 OR 3004-H14 ALLOY.

3. ALL ALUMINUM EXTRUSIONS SHALL BE ALUMINUM ASSOCIATION 6063-T6 ALLOY & TEMPER UNLESS OTHERWISE NOTED. STORM PANEL COMPONENTS (3) STUDDED PLATE AND (3) SWAY CAP ARE PATENT PENDING.

4. ALL SCREWS TO BE STAINLESS STEEL 304 OR 316 SERIES OR CORROSION RESISTANT COATED CARBON STEEL AS PER DIN 9138 W/ 50 kg YIELD STRENGTH AND 90 kg TENSILE STRENGTH & SHALL COMPLY W/ FLORIDA BUILDING CODE SECTION 2411.3.2.4.

5. BOLTS TO BE ASTM A-307 GALVANIZED STEEL OR A31 304 SERIES STAINLESS STEEL WITH 35 kg MINIMUM YIELD STRENGTH. ANCHORS TO WALL SHALL BE AS FOLLOWS: (UNLESS OTHERWISE NOTED)

-1/4" S.G. TAPCONS AS MANUFACTURED BY ITW/BUILDER.

-1/4" S.G. PANEL MATES ANCHORS W/ TWS AS MANUFACTURED BY ELOCO CONSTRUCTION PRODUCTS.

-1/4" X 3/4" SOLID SET ANCHORS, AS DISTRIBUTED BY ALL POINTS SCREW, BOLT & SPECIALTY COMPANY.

NOTES:
A.1) MINIMUM EMBEDMENT INTO POURED CONCRETE OF TAPCON ANCHORS AND S.G. TAPCONS IS 1 3/4" FOR ELOCO PANELMATE AND ELOCO TWS IS 2".

A.2) 3/4" SOLID SET ANCHORS SHALL BE ENTIRELY EMBEDDED INTO THE POURED CONCRETE. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED.

-1/4" X 20 SCREWS USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.

A.3) IN CASE THAT PRECAST STONE, PRECAST CONCRETE PANELS, OR PARGES BE FOUND ON THE EXISTING WALL OR FLOOR, ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SUCH PANELS. ANCHORAGE SHALL BE AS INDICATED ON NOTES A.1) & A.2) ABOVE.

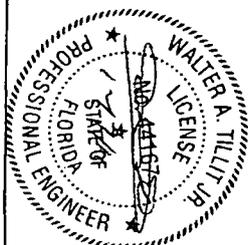
(B) TO EXISTING CONCRETE BLOCK WALL:

-1/4" S.G. TAPCON ANCHORS AS MANUFACTURED BY ITW/BUILDER.

-1/4" S.G. TAPCONS AS MANUFACTURED BY ITW/BUILDER.

-1/4" S.G. TAPCONS AS MANUFACTURED BY ELOCO CONSTRUCTION PRODUCTS.

-1/4" X 3/4" SOLID SET ANCHORS, AS DISTRIBUTED BY ALL POINTS SCREW, BOLT & SPECIALTY COMPANY.



NOTES:
B.1) MINIMUM EMBEDMENT OF TAPCON ANCHORS, S.G. TAPCONS, ELOCO PANELMATE, ELOCO TWS, INTO THE CONCRETE BLOCK UNIT SHALL BE 1 1/4".

B.2) -1/4" SOLID SET ANCHORS SHALL BE ENTIRELY EMBEDDED INTO THE CONCRETE BLOCK UNIT. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED.

1/4" X 20 SCREWS USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.

B.3) IN CASE THAT PRECAST STONE OR PRECAST CONCRETE PANELS BE FOUND ON THE EXISTING WALL, ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SUCH PANELS. ANCHORAGE SHALL BE AS INDICATED ON NOTES IN B.1) & B.2) ABOVE.

(C) TO EXISTING WOOD FRAME BUILDINGS, SEE SPECIFICATIONS ON SHEETS 12, 13, 14 & 15. ANCHORAGE SHALL BE PERFORMED BEYOND ANY FINISH MATERIAL AT WALL LIKE BRICK VENEER, STUCCO OR ANY OTHER FINISH.

(D) ANCHORS SHALL BE INSTALLED FOLLOWING ALL OF THE RECOMMENDATIONS AND SPECIFICATIONS OF THE ANCHORS' MANUFACTURER.

7. PANELS MAY ALSO BE INSTALLED HORIZONTALLY FOLLOWING INSULATION DETAILS SHOWN ON SECTIONS 1 THRU 13 (SHEET 4 THRU 8) EXCEPT THAT HEADERS 2, 3, 3A & 4 SHALL NOT BE USED.

8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SOUNDNESS OF THE STRUCTURE WHERE SHUTTER IS TO BE ATTACHED TO INSURE PROPER ANCHORAGE. THIS SHUTTER SHALL ONLY BE ATTACHED TO CONCRETE, BLOCK OR WOOD FRAME BUILDINGS.

9. THE INSTALLATION CONTRACTOR IS TO SEAL/CAULK ALL SHUTTER COMPONENT EDGES WHICH REMAIN IN CONTINUOUS CONTACT WITH THE BUILDING TO PREVENT WIND/RAIN INTRUSION. CAULK AND SEAL SHUTTER TRACKS ALL AROUND FULL LENGTH.

10. (a) THIS P.E.D. PREPARED BY THIS ENGINEER IS GENERIC AND DOES NOT PROVIDE INFORMATION FOR A SITE SPECIFIC PROJECT. I.A. WHERE THE SITE CONDITIONS DEVIATE FROM THE P.E.D.

(b) CONTRACTOR TO BE RESPONSIBLE FOR THE SELECTION, PURCHASE AND INSTALLATION INCLUDING LIFE SAFETY OF THIS PRODUCT, BASED ON THIS P.E.D. PROVIDED HE/SHE DOES NOT DEVIATE FROM THE CONDITIONS DETAILED ON THIS DOCUMENT. CONSTRUCTION SAFETY AT-SITE IS THE CONTRACTOR'S RESPONSIBILITY.

(c) THIS P.E.D. WILL BE CONSIDERED INVALID IF ALTERED BY ANY MEANS.

(d) SITE SPECIFIC PROJECTS SHALL BE PREPARED BY A FLORIDA REGISTERED ENGINEER OR ARCHITECT WHICH WILL BECOME THE ENGINEER OF RECORD (E.O.R.) FOR THE PROJECT AND WHO WILL BE RESPONSIBLE FOR THE PROPER USE OF THE P.E.D. FOR RECORD AND WHO WILL BE RESPONSIBLE FOR THE PROPER ENGINEER OF RECORD DRAWINGS FOR REVIEW.

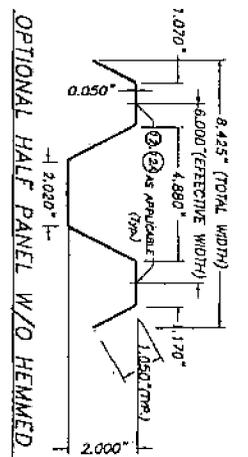
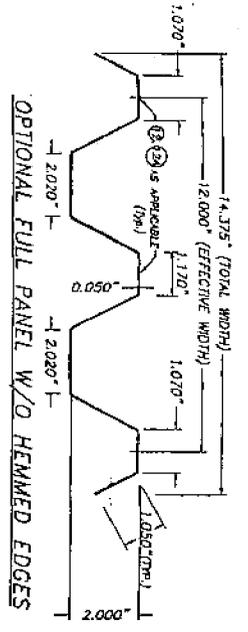
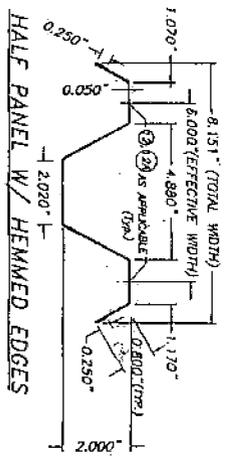
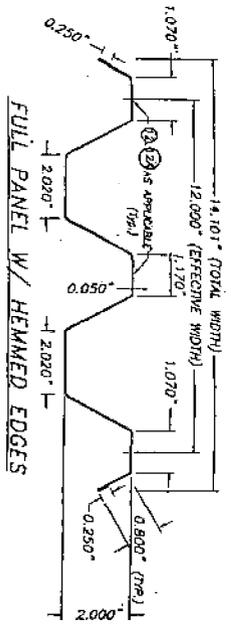
(e) THIS P.E.D. SHALL BEAR THE DATE AND ORIGINAL SEAL AND SIGNATURE OF THE PROFESSIONAL ENGINEER OF RECORD THAT PREPARED IT.

11. SHUTTER MANUFACTURER'S LABEL SHALL BE LOCATED ON A READILY VISIBLE LOCATION AT STORM PANEL IN ACCORDANCE WITH SECTION 1715.B.3 OF FLORIDA BUILDING CODE. ONE LABEL SHALL BE PLACED FOR EVERY OPENING, LABELING TO COMPLY WITH SECTION 1715.B.2 OF THE FLORIDA BUILDING CODE.

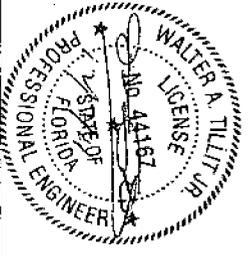
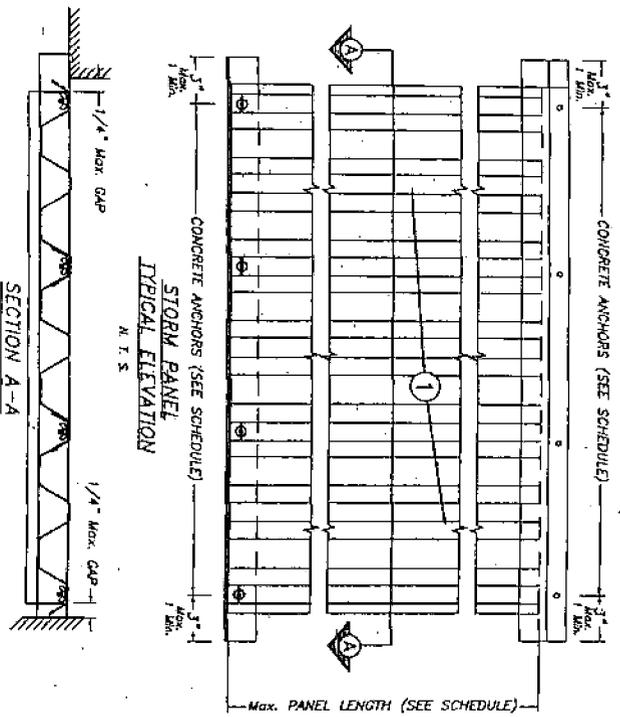
FLORIDA BUILDING CODE (Non High Velocity, Hurricane Zone)
0.050" BERTHA ALUMINUM STORM PANEL (2.00" DEEP)
K.C.V./E.L.G.
DRAWN BY: [Signature]
DATE: 12/06/11

TITECO INC.
92011 RIZCOA MC
TITESTESTING & ENGINEERING COMPANY
1435 S.W. 35th Ave., Ft. Lauderdale, FL 33309
Phone: (561) 529-1119 Fax: (561) 529-1121
WALTER A. TILLITT, JR., P.E.
FLORIDA LIC. #12787

EASTERN METAL SUPPLY, INC.
4266 WEST BOUNDARY BLVD.
WEST PALM BEACH, FL 33407
PHONE: (561) 289-4262 FAX: (561) 281-1177



OPTIONAL FULL PANEL W/O HEMMED EDGES
 ① STORM PANEL
 SCALE: 1/4" = 1'



MAXIMUM A.S.D. DESIGN PRESSURE RATING (p.s.f.) AND
 CORRESPONDING MAXIMUM PANEL LENGTH "S" SCHEDULE

PANELS RETAINED AT BOTH
 ENDS WITH TRACES

PANELS RETAINED AT LEAST
 IN ONE OF THEIR ENDS
 WITH TRACES

DESIGN PRESSURE RATING (p.s.f.)	MAX. PANEL LENGTH L (ft.)	DESIGN PRESSURE RATING (p.s.f.)	MAX. PANEL LENGTH L (ft.)
+30.0, -30.0	13'-0"	+30.0, -30.0	13'-0"
+15.0, -15.0	12'-0"	+35.0, -35.0	12'-0"
+45.0, -45.0	12'-0"	+40.0, -40.0	11'-3"
+50.0, -50.0	11'-0"	+45.0, -45.0	10'-0"
+55.0, -55.0	10'-0"	+50.0, -50.0	9'-0"
+60.0, -60.0	9'-4"	+55.0, -55.0	8'-2"
+70.0, -70.0	8'-0"	+60.0, -60.0	7'-6"
+80.0, -80.0	7'-0"	+70.0, -70.0	6'-5"
+90.0, -90.0	6'-3"	+80.0, -80.0	5'-8"
+100.0, -100.0	5'-7"	+90.0, -90.0	5'-0"
+110.0, -110.0	5'-1"	+100.0, -100.0	5'-0"
+120.0, -120.0	4'-8"	+110.0, -110.0	5'-0"
+130.0, -130.0	4'-0"	+120.0, -120.0	4'-9"
		+130.0, -130.0	4'-4 1/2"

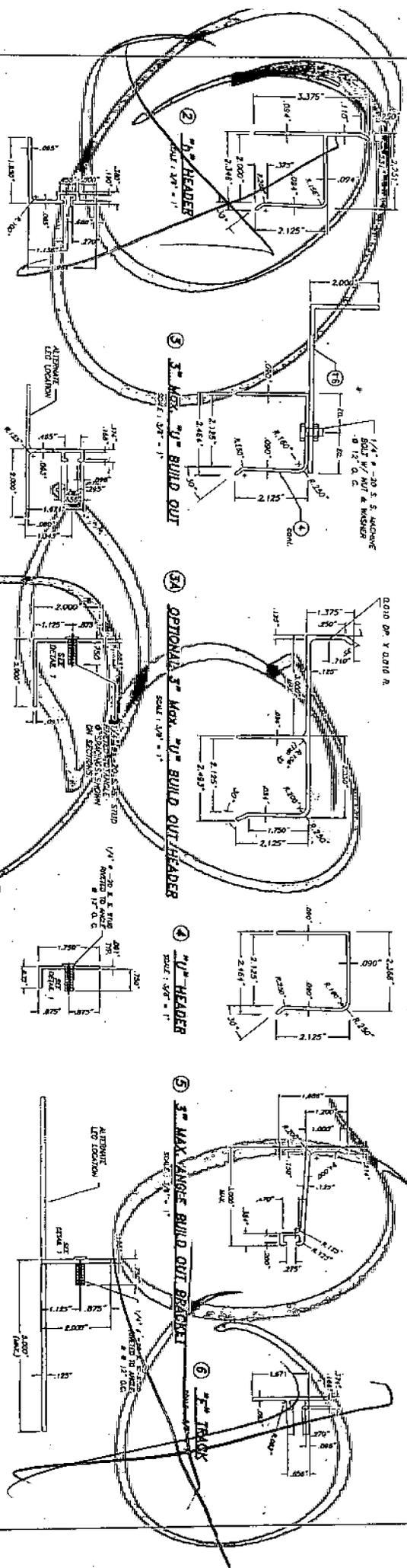
*** NOTE:**
 MAX. A.S.D. DESIGN PRESSURE RATING & MAXIMUM
 PANEL LENGTH FOR MOUNTING PANELS AS PER
 MOUNTING INSTRUCTIONS ON SHEET 7 OF 17 IS
 +50.0, -50.0 p.s.f. W/ 8" MAX. PANEL
 LENGTH.
 MAX. A.S.D. DESIGN PRESSURE RATING & MAXIMUM
 PANEL LENGTH AS PER ALTERNATIVE #1 AND #4
 ARE 45.0 p.s.f. AND 40.0 p.s.f. RESPECTIVELY FOR
 14' AND 12' PANEL LENGTHS. FOR UP TO 10' PANEL
 LENGTH.

69011 N. HICO, INC.
 0.050" BERTHA ALUMINUM STORM PANEL
 (2.00" DEEP)

TILECO INC.
 TILE TESTING & ENGINEERING COMPANY
 4300 N.W. 10th St., Ft. Myers, FL 33907
 PHONE: (889) 208-4824 FAX: (813) 841-1718
 WALTER A. TILT JR., P.E.
 FLORIDA No. 41167

EASTERN METAL SUPPLY, INC.
 4266 WEST PALM DRIVE
 WEST PALM BEACH, FL 33407
 PHONE: (561) 928-4824 FAX: (561) 944-1718

FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone)
 12/04/11
 11-2271
 SHEET 2 OF 17



⑦ REVERSED 7\"/>

⑧ 7\"/>

⑨ STUDDED ANGLE

⑩ MINI-WALL 178\"/>

⑪ 7\"/>

LARGE KEY HOLE (OPTION 1)

SMALL KEY HOLE (OPTION 2)

⑫A ROUND HOLE AT PANEL

⑫ KEY HOLE AT PANEL

⑫B ROUND HOLE AT PANEL

⑬ KEY HOLE WASHER

⑭ STUDDED PLATE

⑮ SHAP CAP

⑮ B.D. ANGLE

DETAIL 1: STUD W/ WIND NUT

COMPONENTS

©2011 TITICO INC.
TITICO INC.
 TITICO TESTING & ENGINEERING COMPANY
 4325 N.W. 20th St., 3rd Floor, Fort Lauderdale, FL 33407
 Phone: (954) 589-4283 Fax: (954) 581-1718
 Email: titico@titico.com
 WALTER A. TILLITUS, P.E.
 FLORIDA, U.S.A.

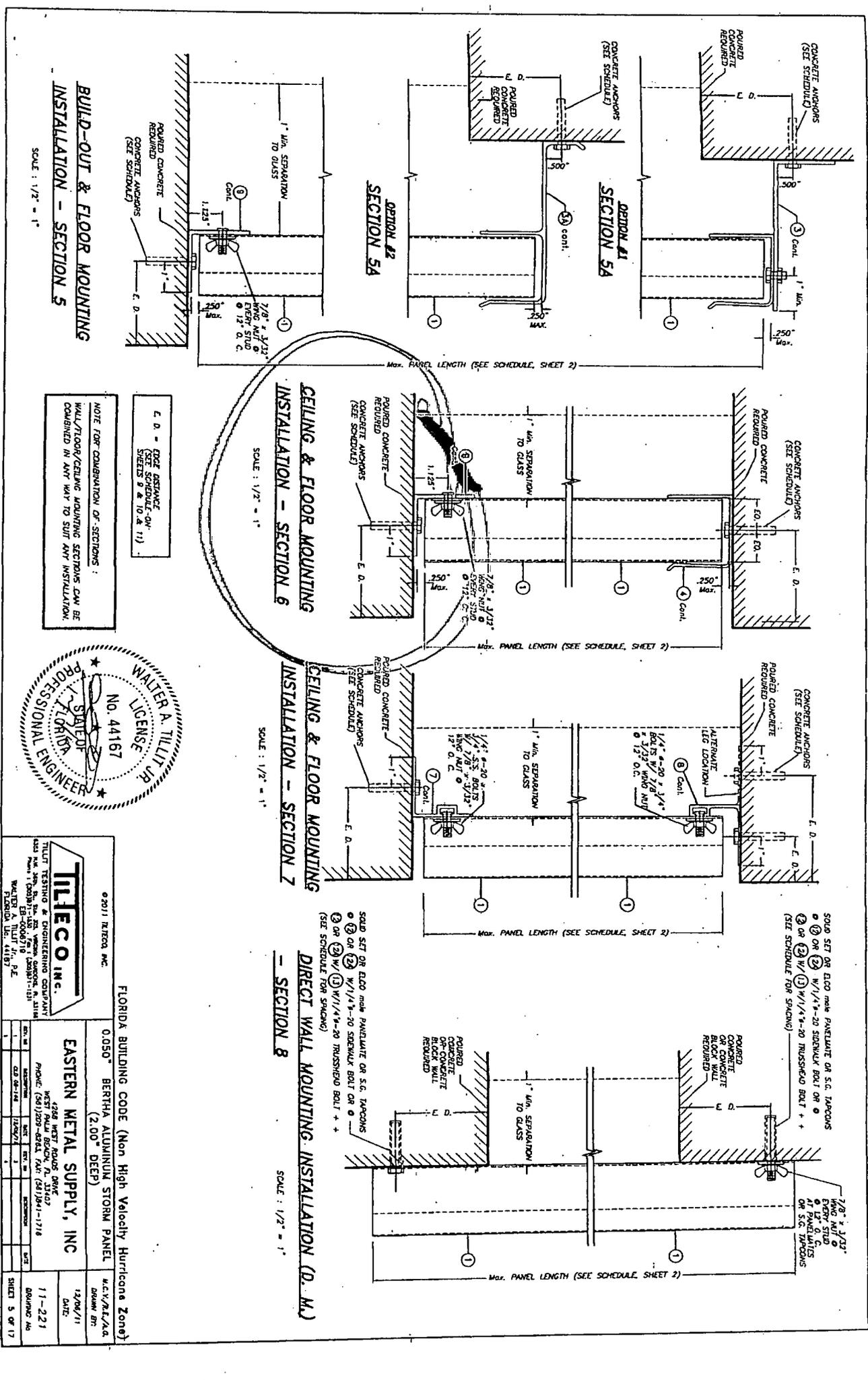
FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone)
 0.050" BERTHA ALUMINIUM STORM PANEL
 (2.00" DEEP)

EASTERN METAL SUPPLY, INC.
 4386 WEST ROYAL DRIVE
 WEST PALM BEACH, FL 33407
 PHONE: (561) 829-4283 FAX: (561) 841-1718

REV.	DATE	BY	CHK
1	12/07/11	W	W
2	12/08/11	W	W

11-221
 DRAWING NO.
 SHEET 3 OF 13



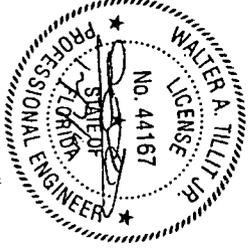


BUILD-OUT & FLOOR MOUNTING
INSTALLATION - SECTION 5

SCALE : 1/2" = 1'

NOTE FOR COMBINATION OF SECTIONS :
 WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE
 COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

E. D. = EDGE DISTANCE
 (SEE SCHEDULE SHEETS 9 & 10, & 11)



02011 TILTECO INC.
 TILTECO INC.
 TILTECO TESTING & ENGINEERING COMPANY
 4323 N.W. 24th St., Ft. Lauderdale, FL 33309
 Phone: (305) 551-0000
 FAX: (305) 551-0000
 WALTER A. TILLITT JR., P.E.
 FLORIDA DE. 44167

FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone)
 0050" BERTHA ALUMINUM STORM PANEL
 (2.00" DEEP)

EASTERN METAL SUPPLY, INC
 4288 WEST ROADS DRIVE
 WEST PALM BEACH, FL 33413
 PHONE: (561) 820-4800 FAX: (561) 841-1718

NO.	REV.	DATE	DESCRIPTION
1	1	12/06/11	ISSUED
2	1	12/06/11	ISSUED
3	1	12/06/11	ISSUED

11-221
 DRAWING NO.
 DATE
 SHEET 5 OF 17

CEILING & FLOOR MOUNTING
INSTALLATION - SECTION 6

SCALE : 1/2" = 1'

CEILING & FLOOR MOUNTING
INSTALLATION - SECTION 7

SCALE : 1/2" = 1'

DIRECT WALL MOUNTING INSTALLATION (D. M.)
- SECTION 8

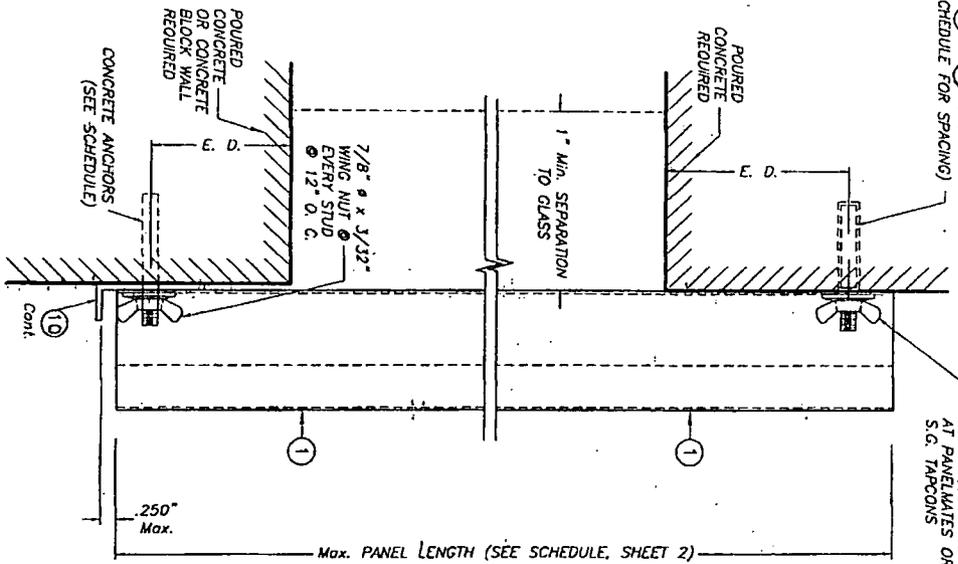
SCALE : 1/2" = 1'

- SOLID ST. OR ELCO MADE PANELS OR S.G. TAPCONS
 (1) OR (2) W/1/4"-20 SIDEWALK BOLT OR +
 (3) OR (4) W/1/4"-20 TRUSSEAD BOLT + +
 (SEE SCHEDULE FOR SPACING)

- SOLID ST. OR ELCO MADE PANELS OR S.G. TAPCONS
 (1) OR (2) W/1/4"-20 SIDEWALK BOLT OR +
 (3) OR (4) W/1/4"-20 TRUSSEAD BOLT + +
 (SEE SCHEDULE FOR SPACING)

7/8" x 3/16"
 LONG NUT
 EVERY STUD
 12" O.C.
 OR S.G. TAPCONS

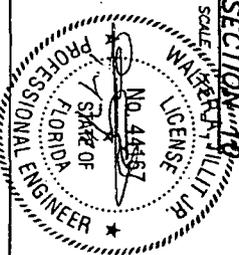
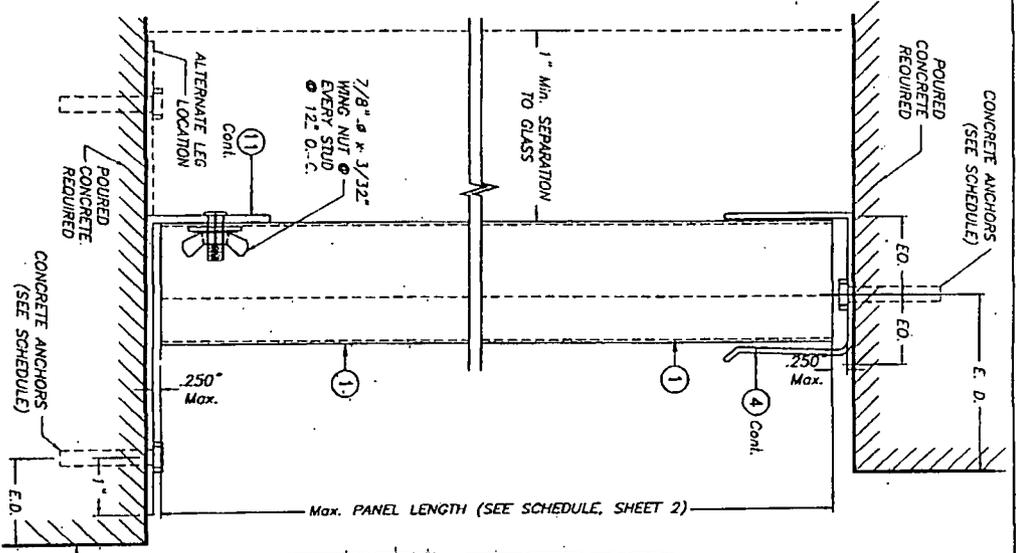
SOLID SET OR EPOXY MADE PANELMATE OR S.G. TAPCONS
 (2) OR (2A) W/1/4"-20 SIDEMAX BOLT OR
 (2B) OR (2B) W/1/4"-20 TRUSSHEAD BOLT +
 (SEE SCHEDULE FOR SPACING)
 7/8" x 3/32" WING NUTS @ 12" O.C. AT PANELMATES OR S.G. TAPCONS



SECTION 9
WALL MOUNTING INSTALLATION

SCALE: 1/2" = 1"

SECTION 10
CEILING & FLOOR MOUNTING INSTALLATION



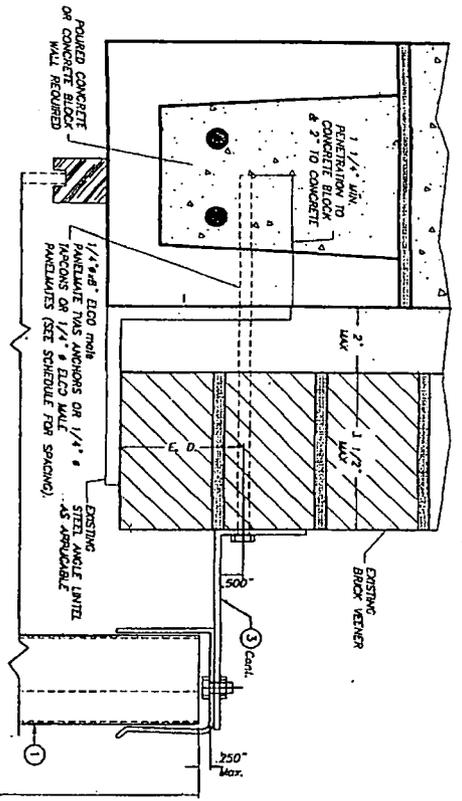
92011 RITCOA, INC.
 TILITECO INC.
 TILIT TESTING & ENGINEERING COMPANY
 4248 WEST RAVENS DRIVE
 WEST PALM BEACH, FL 33407
 PHONE: (561) 209-4222 FAX: (561) 241-1718
 WALTER A. BLITT, P.E.
 FLORIDA U.E. 4187

FLORIDA BUILDING CODE (Near High Velocity Hurricane Zone)
 0.050" BERTHA ALUMINIUM STORM PANEL
 (2.00" DEEP)
EASTERN-METAL SUPPLY, INC
 4248 WEST RAVENS DRIVE
 WEST PALM BEACH, FL 33407
 PHONE: (561) 209-4222 FAX: (561) 241-1718
 12/04/11 DATE
 11-221 DRAWING NO.
 SHEET 6 OF 17

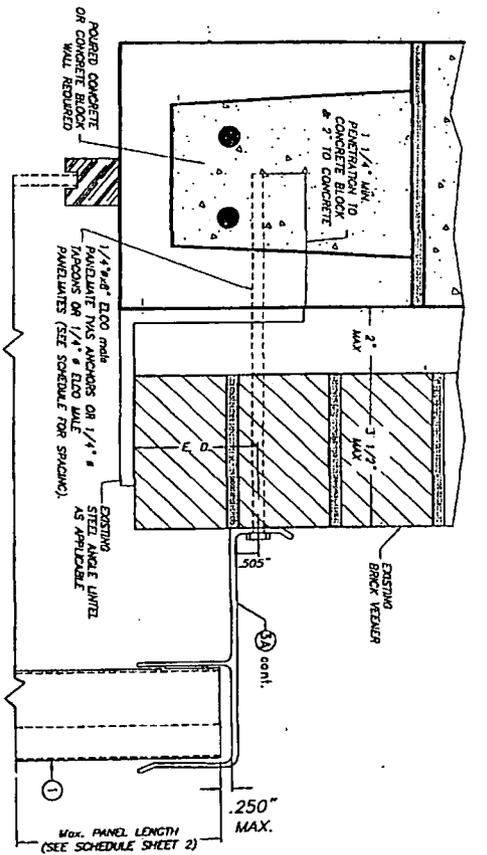
E. D. = EDGE DISTANCE (SEE SCHEDULE ON SHEETS 9 & 10 & 11)
 NOTE FOR COMBINATION OF SECTIONS:
 WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

++ SIDE WALL BOLTS ARE 3/4"x3/32" THICK HEAD MACHINE SCREW W/LENGTH AS PER NOTES A.2 & B.2 (SHEET 1)
 ++ TRUSS HEAD BOLTS ARE 1/2"x1/8" THICK HEAD MACHINE SCREW W/LENGTH AS PER NOTES A.2 & B.2 (SHEET 1)

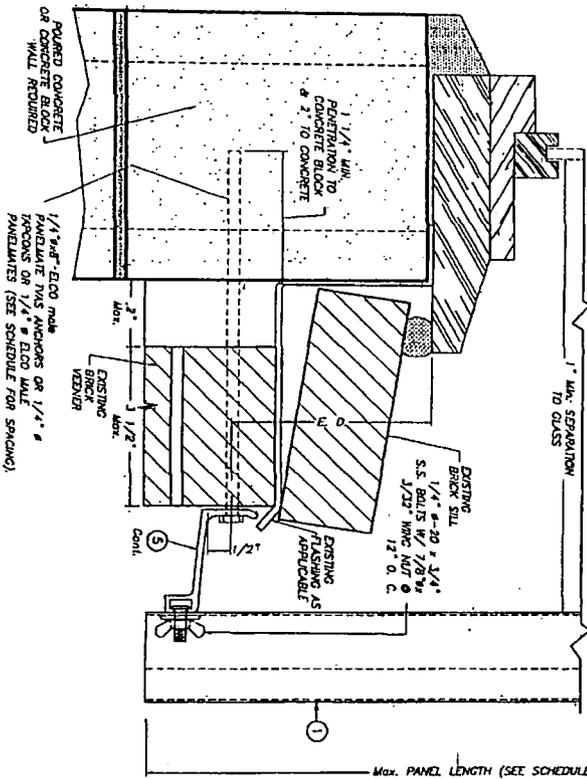
EDGE OF SLAB IF APPLICABLE



OPTION #1
SECTION 11A

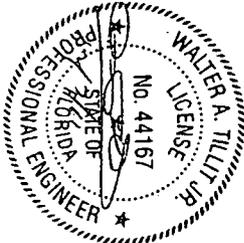


OPTION #2
SECTION 11A



BUILD OUT INSTALLATION
SECTION 11

SCALE: 3/8" = 1'



E. D. - EDGE DISTANCE
(SEE SCHEDULE ON
SHEETS 8 & 10 & 11)

NOTE FOR COMBINATION OF SECTIONS:
WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE
COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

NOTE: WALL BOLTS ARE 1/4" x 1/2" THICK
HEAD MACHINE SCREW 1/2" LENGTH
AS PER NOTES A.1 & B.2 (SHEET 1)
* MUST BE USED PER SECTION 1/4" EDO MASONRY
AS PER NOTES A.1 & B.2 (SHEET 1)

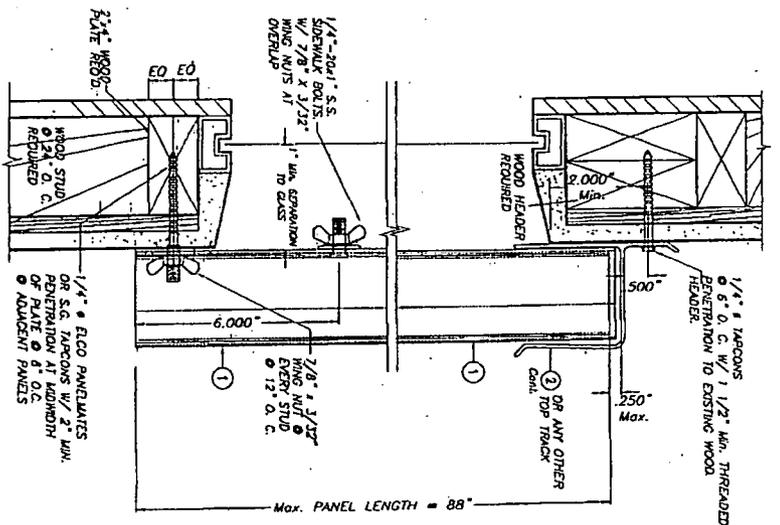
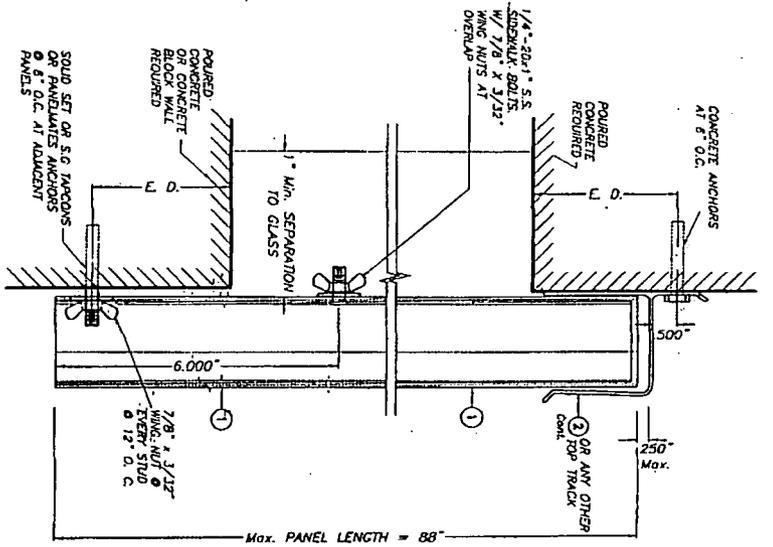
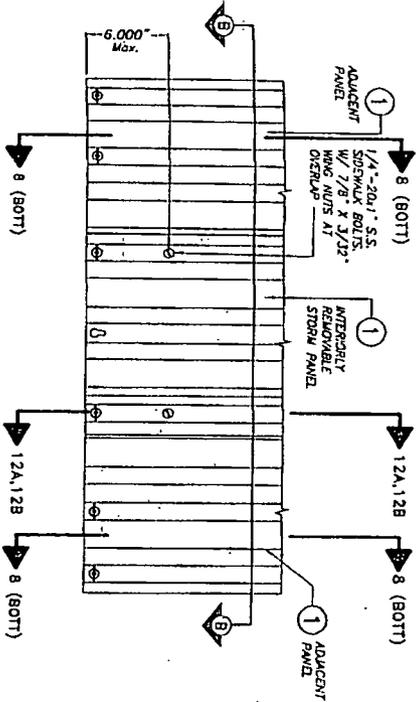
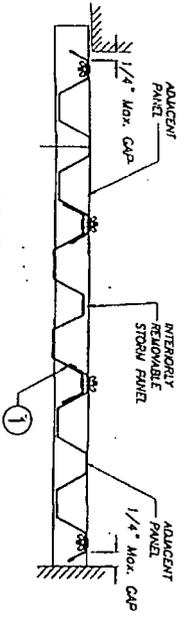
93011 FLORIDA INC.
TILECO INC.
TILIT TESTING & ENGINEERING COMPANY
1438 W. Palm Beach Blvd., Suite 200, West Palm Beach, FL 33411
Phone: (561) 839-4343 FAX: (561) 839-1178
WALTER A. TILT JR., P.E.
FLORIDA LIC. #4167

FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone)
0.050" BERTHA ALUMINUM STORM PANEL
(2.00" DEEP)

EASTERN METAL SUPPLY, INC.
4248 WEST AVENUE DRIVE
WEST PALM BEACH, FL 33407
PHONE: (561) 839-4343 FAX: (561) 839-1178

REV. NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMITS	12/20/11	1
2			
3			

11-221
DRAWING NO.
SHEET 0A OF 17

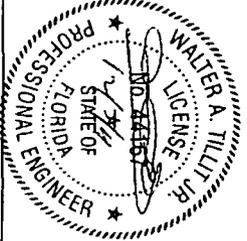


**INTERIORLY REMOVABLE STORM PANEL
PARTIAL ELEVATION**

SCALE: 1/2" = 1'

INTERIORLY REMOVABLE STORM PANEL SECTIONS

MAX. ASD DESIGN PRESSURE RATING = +50.0, -50.0 p.s.f.



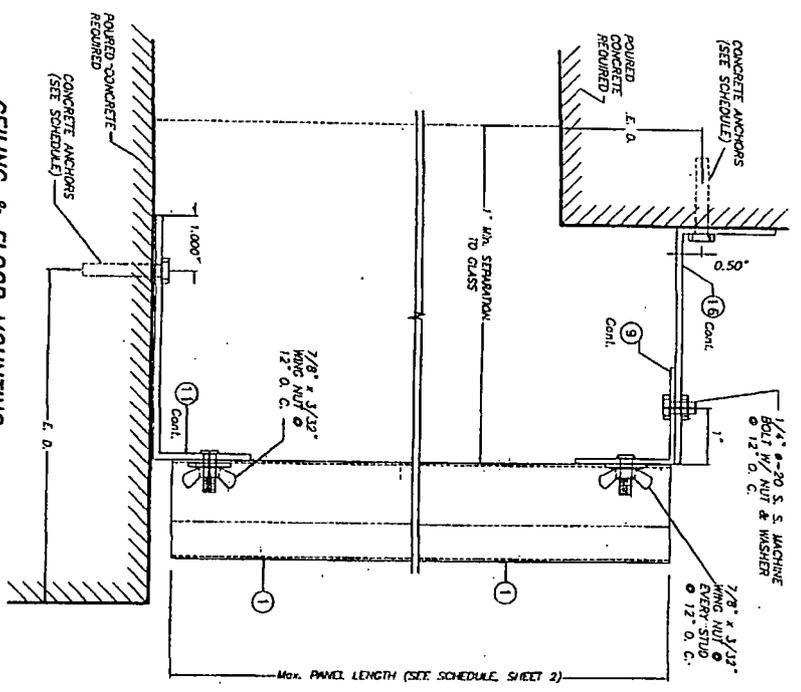
HLTECO INC.
29011 RAYCO, INC.
TILT TESTING & ENGINEERING COMPANY
1329 N.W. 29th St., Ft. Lauderdale, FL 33307
Phone: (561) 529-4644 Fax: (561) 811-1718
WALTER A. TILT, JR., P.E.
FLORIDA LIC. #44187

FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone)
0-050" BERTHA ALUMINUM STORM PANEL (2.00" DEEP)
W.C.K./R.E./A.L.A.
DRAWN BY

EASTERN METAL SUPPLY, INC.
1286 WEST MOUS DRIVE
WEST PALM BEACH, FL 33417
PHONE: (561) 529-4644 FAX: (561) 811-1718

REV.	DATE	DESCRIPTION
1	02/28/12	12/26/11
2		
3		

11-221
DRAWING NO.
SHEET 7 OF 17

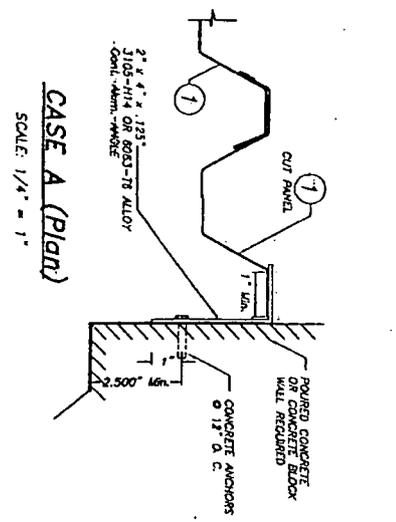


**CEILING & FLOOR MOUNTING
INSTALLATION - SECTION 13**

SCALE: 1/2" = 1'

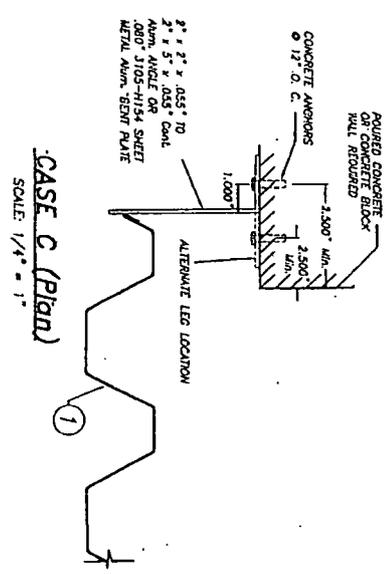
E. D. - EDGE DISTANCE
(SEE SCHEDULE ON
SHEETS E10 & E11)

NOTE FOR CONVENIENCE OF SECTIONS:
WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE
COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.



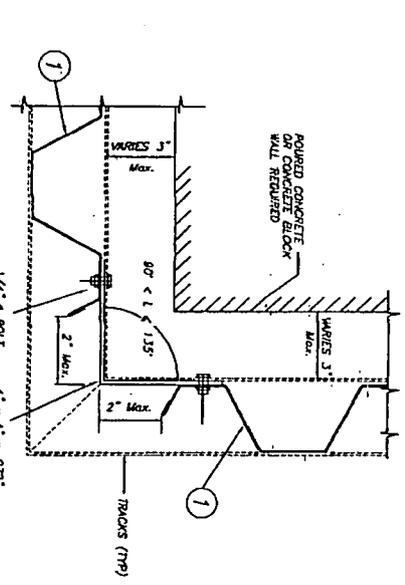
CASE A (Plan)

SCALE: 1/4" = 1'



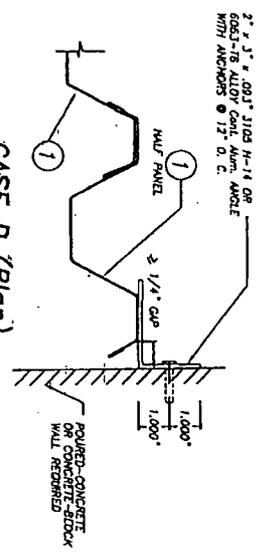
CASE C (Plan)

SCALE: 1/4" = 1'



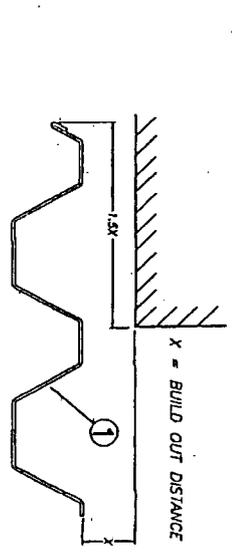
CASE B (Plan)

SCALE: 1/4" = 1'



CASE D (Plan)

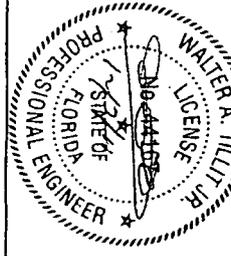
SCALE: 1/4" = 1'



CASE E (Plan)

SCALE: 1/4" = 1'

END CLOSURES DETAILS



TILECO Inc.
TILT TESTING & ENGINEERING COMPANY
4335 N.W. 36th Ave., Suite 100, Fort Lauderdale, FL 33309
Phone: (954) 583-1100, Fax: (954) 583-1101
Walter A. Tilt, Inc. P.E.
FLORIDA LIC. #44188

FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone)
0.050" BERTHA ALUMINUM STORM PANEL
(2.00" DEEP)

EASTERN METAL SUPPLY, INC
4248 WEST ROADS DRIVE
WEST PALM BEACH, FL 33407
PHONE: (561) 969-4941 FAX: (561) 961-1716

REV.	DESCRIPTION	DATE	BY	CHKD.
1	ISSUED FOR PERMIT	12/07/11	1	

11-2271
DATE: 12/04/11
DRAWING OR: W.A.T./M.E./J.A.
DASHING: No
SHEET 8 OF 17

MAXIMUM A.S.D. DESIGN PRESSURE RATING (D.S.F.) AND CORRESPONDING MAXIMUM ANCHOR SPACING SCHEDULE FOR INSTALLATIONS IN CONCRETE AND CONCRETE BLOCK STRUCTURES

ANCHOR TYPE MIN. ANCHOR SPACING (IN. MIN.)	MAXIMUM ANCHOR SPACING FOR E. O. - 1 1/2" * * *					ANCHOR TO BE USED IN SECTION 4 & ANY COMBINATION OF THEM	MAXIMUM PANEL LENGTH 1' (IN.)
	REGULAR SPACING TO CONCRETE	EDGE SET TO CONCRETE	EDGEMOUNT TO CONCRETE	PAVEMENTS TO CONCRETE	PAVEMENTS TO MASONRY		
12"	N/A	N/A	N/A	N/A	N/A	1 (BOTTOM)	12"
11"	N/A	N/A	N/A	N/A	N/A	1 (BOTTOM)	12"
10"	N/A	N/A	N/A	N/A	N/A	1 (BOTTOM)	12"
9"	N/A	N/A	N/A	N/A	N/A	1 (BOTTOM)	12"
8"	N/A	N/A	N/A	N/A	N/A	1 (BOTTOM)	12"
7"	N/A	N/A	N/A	N/A	N/A	1 (BOTTOM)	12"
6"	N/A	N/A	N/A	N/A	N/A	1 (BOTTOM)	12"
5"	N/A	N/A	N/A	N/A	N/A	1 (BOTTOM)	12"
4"	N/A	N/A	N/A	N/A	N/A	1 (BOTTOM)	12"
3"	N/A	N/A	N/A	N/A	N/A	1 (BOTTOM)	12"
2"	N/A	N/A	N/A	N/A	N/A	1 (BOTTOM)	12"
1 1/2"	N/A	N/A	N/A	N/A	N/A	1 (BOTTOM)	12"

ANCHOR TYPE MIN. ANCHOR SPACING (IN. MIN.)	MAXIMUM ANCHOR SPACING FOR E. O. - 1 1/2" * * *					ANCHOR TO BE USED IN SECTION 4 & ANY COMBINATION OF THEM	MAXIMUM PANEL LENGTH 1' (IN.)
	REGULAR SPACING TO CONCRETE	EDGE SET TO CONCRETE	EDGEMOUNT TO CONCRETE	PAVEMENTS TO CONCRETE	PAVEMENTS TO MASONRY		
12"	N/A	N/A	N/A	N/A	N/A	1 (TOP)	12"
11"	N/A	N/A	N/A	N/A	N/A	1 (TOP)	12"
10"	N/A	N/A	N/A	N/A	N/A	1 (TOP)	12"
9"	N/A	N/A	N/A	N/A	N/A	1 (TOP)	12"
8"	N/A	N/A	N/A	N/A	N/A	1 (TOP)	12"
7"	N/A	N/A	N/A	N/A	N/A	1 (TOP)	12"
6"	N/A	N/A	N/A	N/A	N/A	1 (TOP)	12"
5"	N/A	N/A	N/A	N/A	N/A	1 (TOP)	12"
4"	N/A	N/A	N/A	N/A	N/A	1 (TOP)	12"
3"	N/A	N/A	N/A	N/A	N/A	1 (TOP)	12"
2"	N/A	N/A	N/A	N/A	N/A	1 (TOP)	12"
1 1/2"	N/A	N/A	N/A	N/A	N/A	1 (TOP)	12"

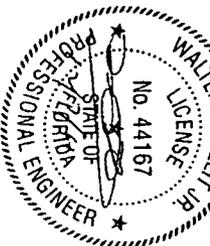
* USE 6" OC FOR PANEL LENGTHS LARGER THAN 10' - 0" AND USE 12" OC AS SHOWN ON SCHEDULE FOR PANELS LENGTHS EQUAL OR SHORTER THAN 10' - 0"

MAXIMUM ANCHOR SPACING NOT VALID FOR 3/4" EDGE DISTANCE FOR E. O. LESS THAN 3/4".
 NOTE: USE E. O. FOR SOLID ANCHORS AS 1/2".
 FOR THIS OPERATION TO BE POSSIBLE, REDUCED SPACING BETWEEN USED FACTOR SHALL NOT BE
 LESS THAN MINIMUM SPACING INDICATED FOR EACH ANCHOR TYPE AT ANCHORS LEGEND.

ACTUAL E. O.	FACTOR	SOLID SET
3"	.88	.75
2 1/2"	.71	.50
2"	.50	.50
1 1/2"	.35	.50

ANCHOR TYPE	MIN. ANCHOR SPACING
ANCHOR (REGULAR OR S.C.) PAVEMENT OR PAVEMENT THIS	3"
SOLID SET	3"

E. O. = EDGE DISTANCE



TILTECO INC.
 TILLET TESTING & ENGINEERING COMPANY
 425 West 1st St., Suite 100
 Ft. Lauderdale, FL 33301
 Phone: (561) 533-1111
 Fax: (561) 533-1112

EASTERN METAL SUPPLY, INC.
 408 W. 15th St., Suite 100
 Ft. Lauderdale, FL 33302
 Phone: (561) 209-4444
 Fax: (561) 209-4444

FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone)

0.050" BERTHA ALUMINUM STORM PANEL
 (2.00" DEEP)

W.C.V./A.L./A.
 DRAWN BY

12/04/11
 DATE

11-221
 DRAWING NO.

SHEET 9 OF 11

MARQUA A.S.D. DESIGN PRESSURE RATING (D.S.L.) AND CORRESPONDING MARQUA ANCHOR SPACING SCHEDULE FOR INSTALLATIONS IN CONCRETE AND CONCRETE BLOCK STRUCTURES

ANCHOR TYPE (MIN. ANCHOR SPACING MIN. D.A.S.)	MINIMUM ANCHOR SPACING FOR E. & S. - 1/2" ±				EAST-WEST				MINIMUM TO ANCHOR TYPE (MIN. L.S.P.)
	MINIMUM ANCHOR SPACING TO CONCRETE	MINIMUM ANCHOR SPACING TO MASONRY	MINIMUM ANCHOR SPACING TO CONCRETE	MINIMUM ANCHOR SPACING TO MASONRY	MINIMUM ANCHOR SPACING TO CONCRETE	MINIMUM ANCHOR SPACING TO MASONRY	MINIMUM ANCHOR SPACING TO CONCRETE	MINIMUM ANCHOR SPACING TO MASONRY	
12"	N/A	12"	N/A	12"	N/A	12"	N/A	12"	1 (BOTTOM)
12"	7"	12"	12"	12"	12"	12"	12"	12"	1 (BOTTOM)
12"	N/A	12"	N/A	12"	N/A	12"	N/A	12"	2 (TOP)
8"	7"	8"	8"	8"	8"	8"	8"	8"	2 (BOTTOM)
8"	N/A	8"	N/A	8"	N/A	8"	N/A	8"	3 (BOTTOM)
8"	7"	8"	8"	8"	8"	8"	8"	8"	3 (TOP)
12"	7"	12"	12"	12"	12"	12"	12"	12"	4 (BOTTOM)
12"	7"	12"	12"	12"	12"	12"	12"	12"	4 (TOP)
8"	N/A	8"	N/A	8"	N/A	8"	N/A	8"	5 (BOTTOM)
8"	N/A	8"	N/A	8"	N/A	8"	N/A	8"	5 (TOP)
10"	N/A	12"	N/A	12"	N/A	12"	N/A	12"	6 (BOTTOM)
10"	N/A	12"	N/A	12"	N/A	12"	N/A	12"	6 (TOP)
10"	N/A	12"	N/A	12"	N/A	12"	N/A	12"	7 (BOTTOM)
10"	N/A	12"	N/A	12"	N/A	12"	N/A	12"	7 (TOP)
10"	N/A	12"	N/A	12"	N/A	12"	N/A	12"	8 (BOTTOM)
10"	N/A	12"	N/A	12"	N/A	12"	N/A	12"	8 (TOP)
10"	N/A	12"	N/A	12"	N/A	12"	N/A	12"	9 (BOTTOM)
10"	N/A	12"	N/A	12"	N/A	12"	N/A	12"	9 (TOP)
10"	N/A	12"	N/A	12"	N/A	12"	N/A	12"	10 (BOTTOM)
10"	N/A	12"	N/A	12"	N/A	12"	N/A	12"	10 (TOP)
10"	N/A	12"	N/A	12"	N/A	12"	N/A	12"	11 (BOTTOM)
10"	N/A	12"	N/A	12"	N/A	12"	N/A	12"	11 (TOP)
10"	N/A	12"	N/A	12"	N/A	12"	N/A	12"	12 (BOTTOM)
10"	N/A	12"	N/A	12"	N/A	12"	N/A	12"	12 (TOP)

ANCHOR TYPE (MIN. ANCHOR SPACING MIN. D.A.S.)	MINIMUM ANCHOR SPACING FOR E. & S. - 3/4" ±				EAST-WEST				MINIMUM TO ANCHOR TYPE (MIN. L.S.P.)
	MINIMUM ANCHOR SPACING TO CONCRETE	MINIMUM ANCHOR SPACING TO MASONRY	MINIMUM ANCHOR SPACING TO CONCRETE	MINIMUM ANCHOR SPACING TO MASONRY	MINIMUM ANCHOR SPACING TO CONCRETE	MINIMUM ANCHOR SPACING TO MASONRY	MINIMUM ANCHOR SPACING TO CONCRETE	MINIMUM ANCHOR SPACING TO MASONRY	
11"	N/A	11"	N/A	11"	N/A	11"	N/A	11"	1 (TOP)
11"	4"	11"	11"	11"	11"	11"	11"	11"	1 (BOTTOM)
11"	N/A	11"	N/A	11"	N/A	11"	N/A	11"	2 (TOP)
8"	4"	8"	8"	8"	8"	8"	8"	8"	2 (BOTTOM)
8"	N/A	8"	N/A	8"	N/A	8"	N/A	8"	3 (TOP)
8"	4"	8"	8"	8"	8"	8"	8"	8"	3 (BOTTOM)
11"	4"	11"	11"	11"	11"	11"	11"	11"	4 (TOP)
11"	4"	11"	11"	11"	11"	11"	11"	11"	4 (BOTTOM)
8"	N/A	8"	N/A	8"	N/A	8"	N/A	8"	5 (TOP)
8"	N/A	8"	N/A	8"	N/A	8"	N/A	8"	5 (BOTTOM)
10"	N/A	10"	N/A	10"	N/A	10"	N/A	10"	6 (TOP)
10"	N/A	10"	N/A	10"	N/A	10"	N/A	10"	6 (BOTTOM)
10"	N/A	10"	N/A	10"	N/A	10"	N/A	10"	7 (TOP)
10"	N/A	10"	N/A	10"	N/A	10"	N/A	10"	7 (BOTTOM)
10"	N/A	10"	N/A	10"	N/A	10"	N/A	10"	8 (TOP)
10"	N/A	10"	N/A	10"	N/A	10"	N/A	10"	8 (BOTTOM)
10"	N/A	10"	N/A	10"	N/A	10"	N/A	10"	9 (TOP)
10"	N/A	10"	N/A	10"	N/A	10"	N/A	10"	9 (BOTTOM)
10"	N/A	10"	N/A	10"	N/A	10"	N/A	10"	10 (TOP)
10"	N/A	10"	N/A	10"	N/A	10"	N/A	10"	10 (BOTTOM)
10"	N/A	10"	N/A	10"	N/A	10"	N/A	10"	11 (TOP)
10"	N/A	10"	N/A	10"	N/A	10"	N/A	10"	11 (BOTTOM)
10"	N/A	10"	N/A	10"	N/A	10"	N/A	10"	12 (TOP)
10"	N/A	10"	N/A	10"	N/A	10"	N/A	10"	12 (BOTTOM)

**** MINIMUM ANCHOR SPACING ARE VALID FOR 3 1/2" EDGE DISTANCE, FOR E.D. LESS THAN 3 1/2". REDUCE ANCHOR SPACING TO 3 1/2" FOR E.D. LESS THAN 3 1/2".**

(NOTE: MIN. E.D. FOR ALL ANCHOR TYPES SHALL BE THE FOLLOWING FACTORS FOR THIS OVERLAP TO BE POSSIBLE. REDUCE SPACING OBTAINED USING ABOVE FACTORS, LESS THAN MINIMUM SPACING INDICATED FOR EACH ANCHOR TYPE AT ANCHORS LEGEND.)

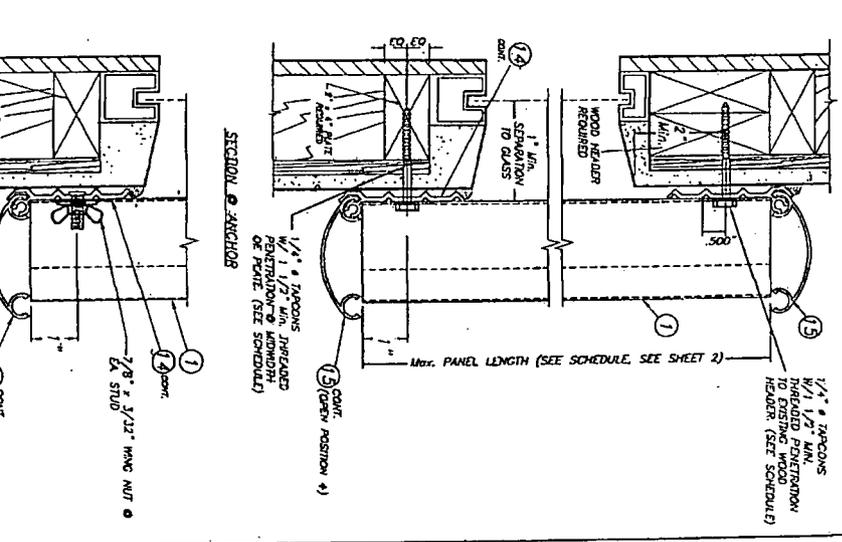
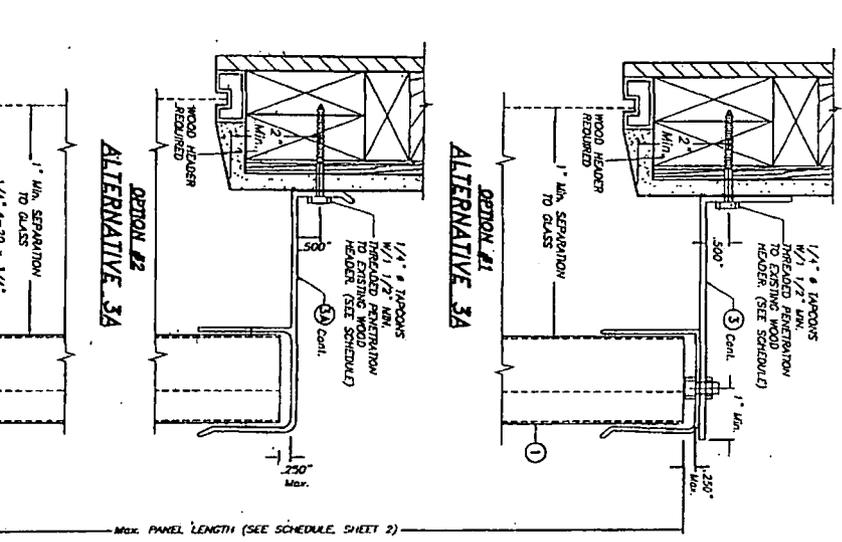
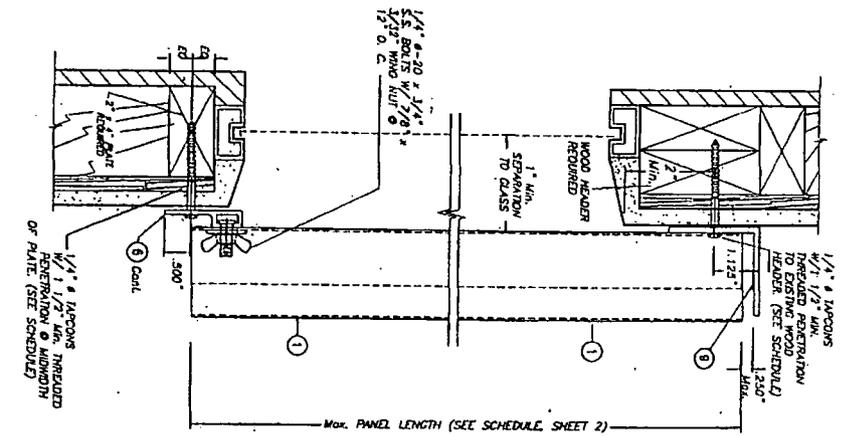
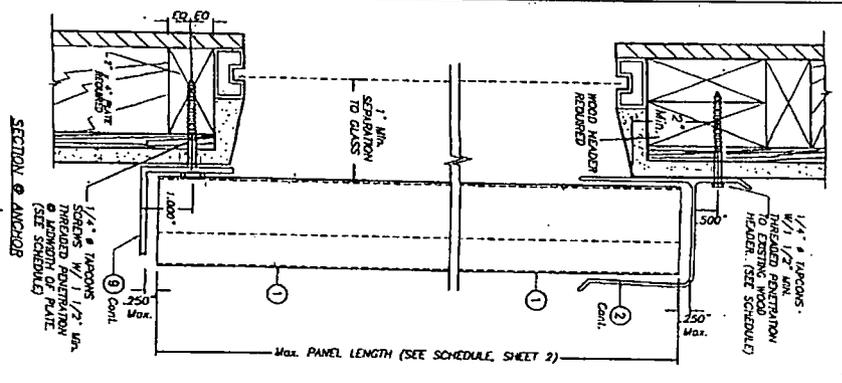
ACTUAL E. & S.	ANCHOR TYPE	ANCHOR SPACING
3"	REGULAR	28
3 1/2"	REGULAR	21
7"	REGULAR	50
1 1/2"	REGULAR	25

ANCHOR TYPE	MIN. ANCHOR SPACING
REGULAR (REGULAR OR S.C.) PANELS OR PANELS THIS	3"
SOLID SET	3"



TILECO INC.
 TILE TESTING & ENGINEERING COMPANY
 4288 WEST HAVENS DRIVE
 TAMPA, FL 33611
 PHONE: (813) 988-4211 FAX: (813) 988-1716
 WALTER A. TILLIT JR., P.E.
 LICENSE NO. 13367

FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone)
 0.050" BERTHA ALUMINUM STORM PANEL
 (2.00" DEEP)
EASTERN METAL SUPPLY, INC.
 4288 WEST HAVENS DRIVE
 TAMPA, FL 33611
 PHONE: (813) 988-4211 FAX: (813) 988-1716
 11-221
 DRAWING NO.
 SHEET 10 OF 17



NOTE FOR COMPARISON OF SECTIONS:
 SMALL JOINTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

- NOTES:
1. INSTALLATIONS ARE ONLY VALID FOR MAX. A.S.D. DESIGN PRESSURE RATING AND PANEL LENGTHS AS PER SCHEDULES ON SHEET 2
 2. SEE ANCHOR SCHEDULE ON SHEETS 16 & 17.
 3. FOR NEW WOOD FRAME CONSTRUCTION, WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL.

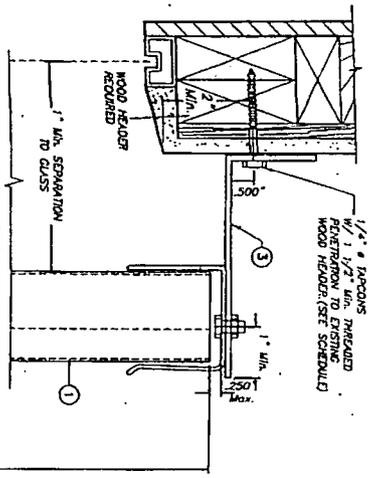


TILECO INC.
 TILE TESTING & ENGINEERING COMPANY
 455 N.W. 15th St., Ft. Lauderdale, FL 33304
 Phone: (305) 551-1500
 FAX: (305) 551-1501
 WALTER D. TILLEY, P.E.
 FLORIDA, No. 44167

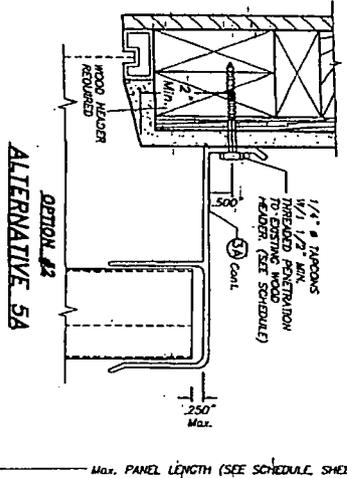
FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone)
 0.050" BERTHA ALUMINUM STORM PANEL
 (2.00" DEEP)

EASTERN METAL SUPPLY, INC.
 4308 WEST RODES DRIVE
 PHONE: (561) 209-4848 FAX: (561) 941-1716

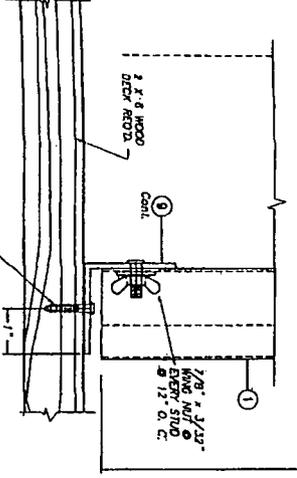
11-221
 DRAWING No.
 SHEET 12 OF 17



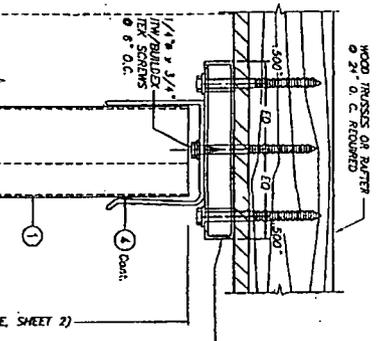
ALTERNATIVE #1



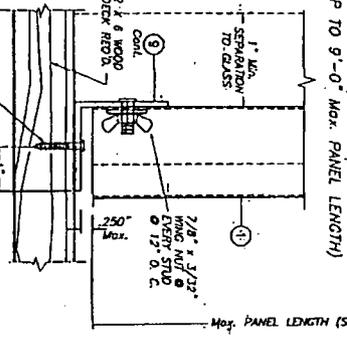
ALTERNATIVE #2



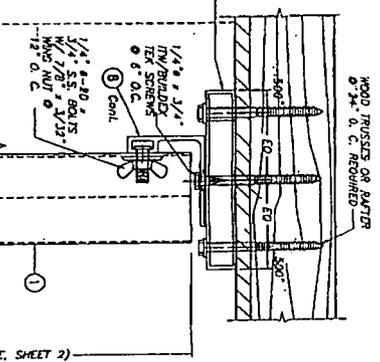
ALTERNATIVE #5



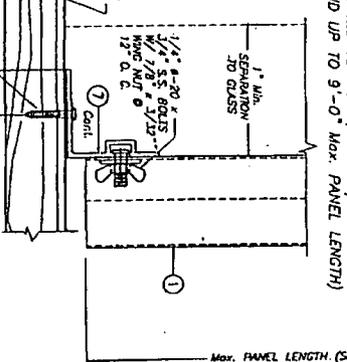
ALTERNATIVE #6A



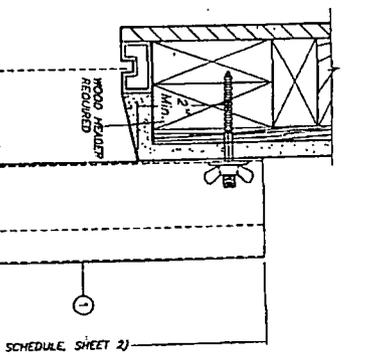
ALTERNATIVE #6



ALTERNATIVE #7A



ALTERNATIVE #7



ALTERNATIVE #8

- NOTES:
1. INSTALLATIONS ARE ONLY VALID FOR MAX. A.S.D. DESIGN PRESSURE RAINING AND PANEL LENGTHS AS PER SCHEDULES ON SHEET 2 (EXCEPT AS NOTED)
 2. SEE ANCHOR SCHEDULE ON SHEET 16 & 17.
 3. FOR NEW WOOD FRAME CONSTRUCTION, WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL.

TILECO INC.
 TILT UP TESTING & ENGINEERING COMPANY
 4320 WEST PALM BEACH, FL 33407
 PHONE: (561) 200-4244 FAX: (561) 241-1718
 WALTER A. TILLY, P.E.
 FLORIDA LIC. #1187

EASTERN METAL SUPPLY, INC.
 4320 WEST PALM BEACH, FL 33407
 PHONE: (561) 200-4244 FAX: (561) 241-1718
 WALTER A. TILLY, P.E.
 FLORIDA LIC. #1187

NOTE FOR COMBINATION OF SECTIONS:
 WALL/FLOOR/CERILING JOINTING SECTIONS CAN BE
 COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

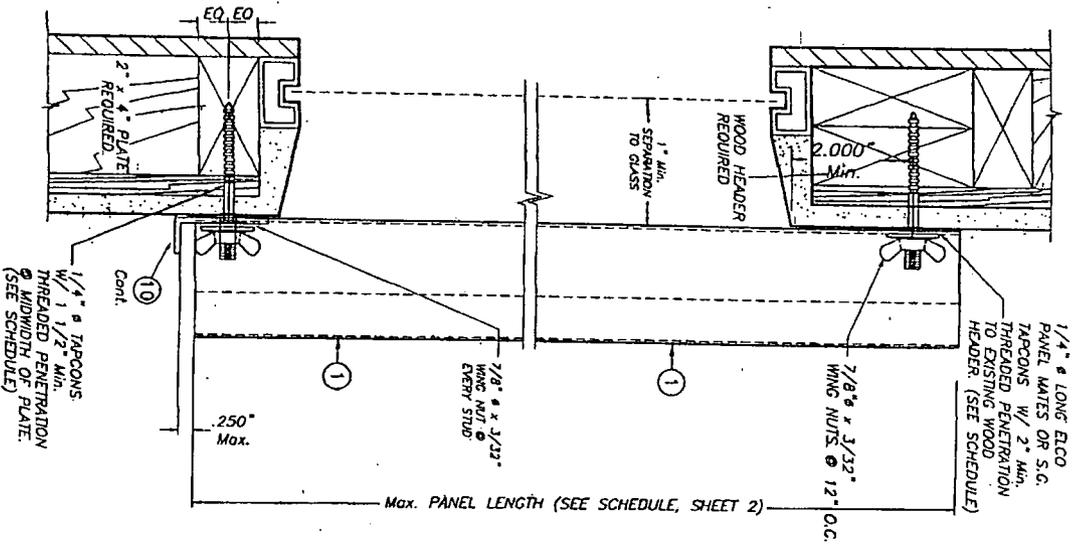
FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone)
 0.050" BERTHA ALUMINUM STORM PANEL
 (2.00" DEEP)



ALTERNATIVE #8

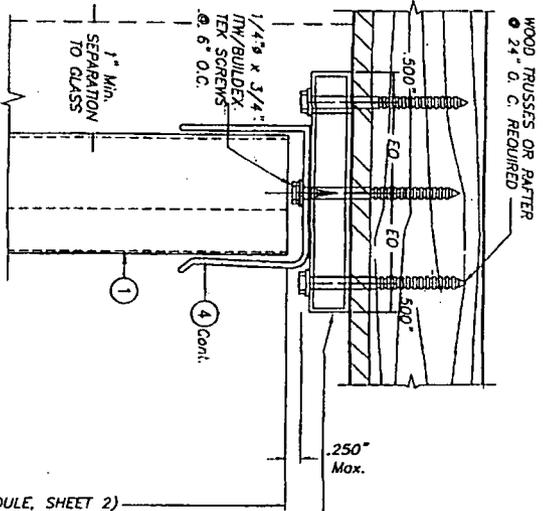
SCALE: 1/2" = 1'

Max. PANEL LENGTH (SEE SCHEDULE, SHEET 2)



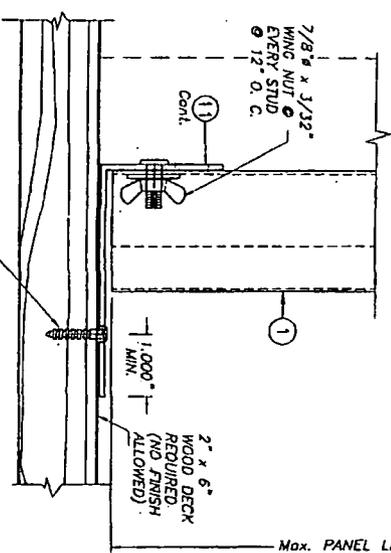
ALTERNATIVE 9
SCALE: 1/2" = 1'

INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS



ALTERNATIVE 10A
SCALE: 1/2" = 1'

(LIMITED TO +60.0, -66.0 P.S.I. DESIGN LOAD AND UP TO 9'-0" Max. PANEL LENGTH)

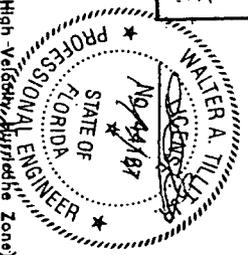


ALTERNATIVE 10
SCALE: 1/2" = 1'

- 1" x 4" x 1/8" Min. (6061-T8) ALUM. TUBE W/ (3) 3/16" x 4" LAG SCREWS TO EACH JOINT. LOCATE SCREW AT MIDWIDTH OF EXISTING WOOD MEMBER (2" Min. NOMINAL WIDTH) W/ 2" Min. THREADED PENETRATION.

- NOTES:**
1. INSTALLATIONS ARE ONLY VALID FOR MAX. A.S.B. DESIGN PRESSURE RAINING & WIND'S LENGTHS AS PER SCHEDULES ON SHEET 2 (EXCEPT AS NOTED)
 2. SEE ANCHOR SCHEDULE ON SHEET 16 & 17.
 3. FOR NEW WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL.

NOTE FOR COMBINATION OF SECTIONS:
WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.



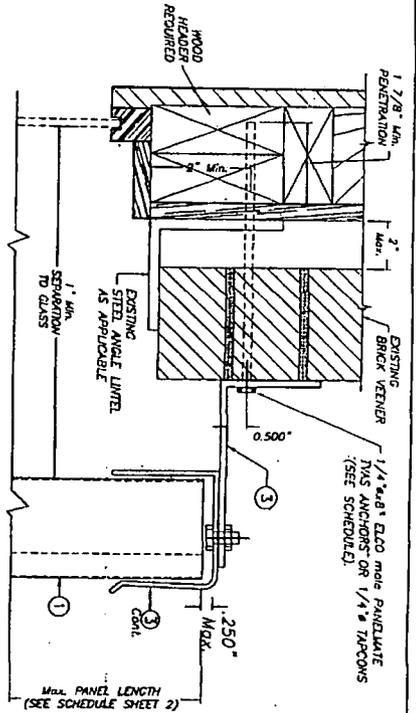
©2011 Tiltco, Inc.
FLORIDA BUILDING CODE (Non High-Velocity/Windmitive Zone)
0.050" BERTHA ALUMINUM STORM PANEL (2.00" DEEP)
K.C.R./A.L.G.
DRAWN BY

TILTECO INC.
TILTIT TESTING & ENGINEERING COMPANY
433 NW 34th St., Ft. Lauderdale, FL 33309
Phone: (954) 551-7100 Fax: (954) 551-7101
WALTER A. TILLET, P.E.
LICENSED IN FLORIDA

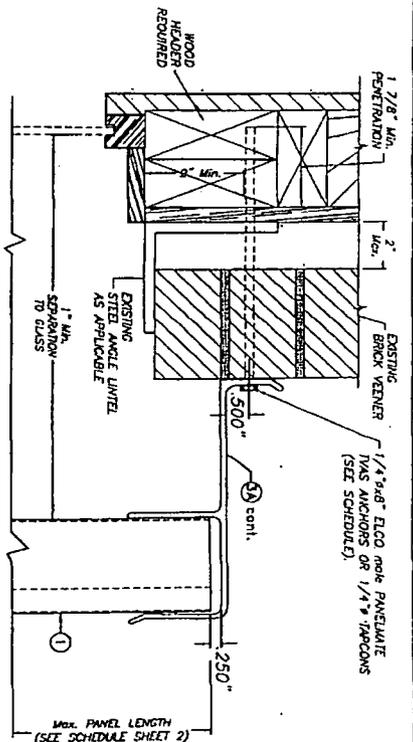
EASTERN METAL SUPPLY, INC.
4288 WEST AVENUE DRIVE
WEST PALM BEACH, FL 33411
PHONE: (561) 929-4323 FAX: (561) 941-1716

REV.	DESCRIPTION	DATE	BY	CHK.
1	ISSUED	12/06/11	1	
2				

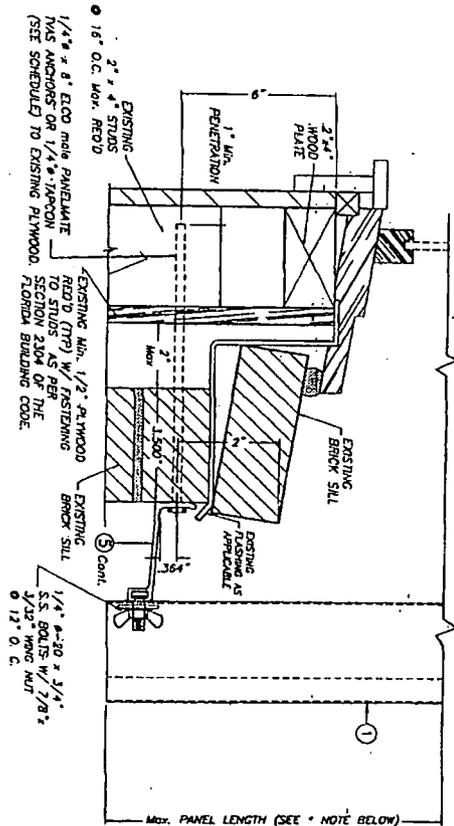
11-221
DRAWING NO.
SHEET 14 OF 17



OPTION #1
ALTERNATIVE 11A



OPTION #2
ALTERNATIVE 11A



ALTERNATIVE 11
BUILD-OUT INSTALLATION
SCALE: 1/2" = 1'

* VALID FOR MAX. A.S.D. DESIGN PRESSURE RATING +50.0, -60.0 p.s.f. FOR UP TO 78" PANEL LENGTHS AND FOR +50.0, -50.0 p.s.f. FOR PANEL LENGTHS GREATER THAN 78" UP TO 108"

INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS

- NOTES:
1. INSTALLATIONS ARE ONLY VALID FOR MAX. A.S.D. DESIGN PRESSURE RATING AND PANEL LENGTHS AS PER SCHEDULES ON SHEET 2 (EXCEPT AS NOTED).
 2. SEE ANCHOR SCHEDULE ON SHEET 2 (EXCEPT AS NOTED).
 3. FOR NEW WOOD FRAME CONSTRUCTION, WOOD MEMBERS TO BE SOUTHERN PINE NO. 2, W/ SPECIFIC DENSITY OF 0.53 OR EQUAL.

NOTE FOR COMBINATION OF SECTIONS:
WALL/FLOOR/CEILING JOINTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

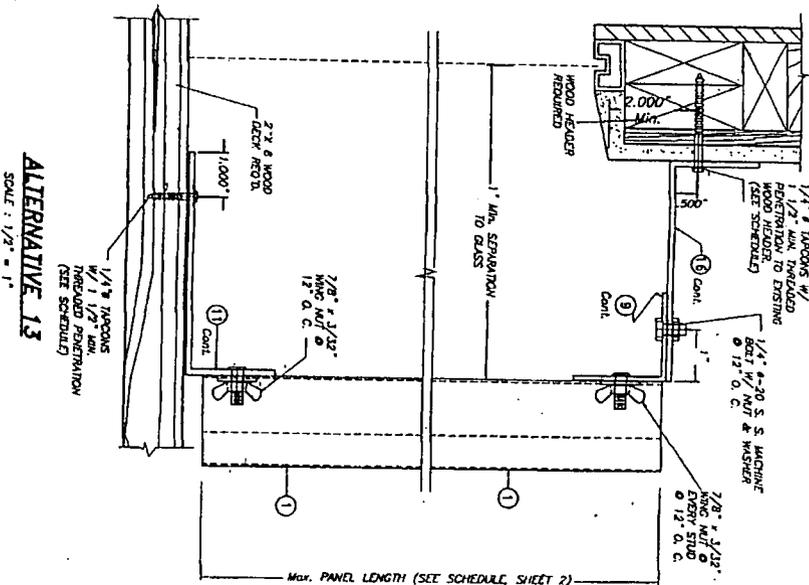


FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone)
0.050" BERTHA ALUMINUM STORM PANEL (2.00" DEEP)

TILECO INC.
2801 RIZZO, N.C.
TILE TESTING & ENGINEERING COMPANY
414 N.W. 13th St., Ft. Lauderdale, FL 33304
Phone: (305) 551-1111, (305) 551-1111
FAX: (305) 551-1111, (305) 551-1111
WALTER A. TILLECO, P.E.
FLORIDA LIC. #44187

EASTERN METAL SUPPLY, INC.
4928 WEST GARDNER DRIVE
WEST PALM BEACH, FL 33407
PHONE: (561) 209-4244 FAX: (561) 241-1716

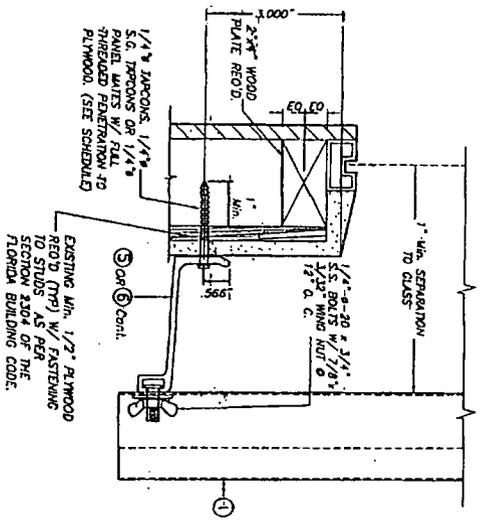
12/06/11
11-221
DRAWING NO.
SHEET 14A OF 17



ALTERNATIVE 13
SCALE: 1/2" = 1"

- NOTES:**
1. INSTALLATIONS ARE ONLY VALID FOR MAX. A.S.D. DESIGN PRESSURE RATING AND PANEL'S LENGTHS AS PER-SCHEDULES ON SHEET 2
 2. SEE ANCHOR SCHEDULE ON SHEET 16 & 17.
 3. FOR NEW WOOD FRAME CONSTRUCTION, WOOD MEMBERS TO BE SOUTHERN-PINE No. 2, W/ SPECIFIC DENSITY OF .455 OR EQUAL.

-NOTE FOR COMBINATION OF SECTIONS:
WALL MOUNTING SECTIONS CAN BE
COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.



ALTERNATIVE 14
SCALE: 1/2" = 1"

- * VALID FOR MAX. A.S.D. DESIGN PRESSURE RATING +50.0, -60.0 p.s.i. FOR UP TO 78" PANELS LENGTHS, AND FOR +50.0, -50.0 p.s.i. FOR PANEL LENGTHS GREATER THAN 78" UP TO 108"



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TITICO INC.
 TILT TESTING & ENGINEERING COMPANY
 1100 W. US HWY 90, SUITE 100
 FORT WORTH, TX 76104
 PHONE: (817) 352-1111 FAX: (817) 352-1111
 WALTER A. TILIT, JR., P.E.
 LICENSE NO. 12547
 FLORIDA, U.S.A. 11/18/07

FLORIDA-BUILDING CODE (Non High Velocity Hurricane Zone)

0.050" BERTHA ALUMINUM STORM PANEL
(2.00" DEEP)

EASTERN METAL SUPPLY, INC

11-221
DRAWING No

NO.	DESCRIPTION	DATE	BY
1	AS SHOWN	11/20/07	1

11-221
DRAWING No

11/20/07
DATE

11-221
DRAWING No

SHEET 15 OF 17

MAXIMUM A.S.D. DESIGN PRESSURE RATING (P.S.F.) AND CORRESPONDING MAXIMUM ANCHOR SPACING SCHEDULE FOR INSTALLATIONS INTO FOOD FRAME BUILDINGS

MAXIMUM A.S.D. DESIGN PRESSURE RATING (P.S.F.)	FOOD FASTENERS			APPLICABLE TO ALTERNATING WIND SPEEDS AND DIRECTION	MINIMUM PANEL LENGTH 1" (2)
	REGULAR SPACING	S.E. ANCHOR	ANCHORS OR PANELS		
+40.0, -10.0 OR LESS	12"	N/A	N/A	1 (TOP)	8'-0" OR LESS
	12"	N/A	N/A	1 (BOTTOM)	
	12"	N/A	N/A	2 (TOP)	
	9"	N/A	N/A	2 (BOTTOM)	
	6"	N/A	N/A	3A (TOP)	
	6"	N/A	N/A	3A (BOTTOM)	
	12"	N/A	N/A	4 (TOP)	
	12"	N/A	N/A	4 (BOTTOM)	
	9"	N/A	N/A	5A (TOP)	
	9"	N/A	N/A	5A (BOTTOM)	
8 1/2"	N/A	N/A	6 (BOTTOM)		
N/A	12"	12"	6 (TOP)		
N/A	12"	12"	8 (BOTTOM)		
12"	N/A	N/A	8 (TOP)		
12"	N/A	N/A	8 (BOTTOM)		
6"	N/A	N/A	10 (BOTTOM)		
6"	N/A	N/A	11A (TOP)		
6"	N/A	N/A	11 (BOTTOM)		
6"	N/A	N/A	13 (TOP)		
6"	N/A	N/A	13 (BOTTOM)		
4"	N/A	N/A	14 (BOTTOM)		

MAXIMUM A.S.D. DESIGN PRESSURE RATING (P.S.F.)	FOOD FASTENERS			APPLICABLE TO ALTERNATING WIND SPEEDS AND DIRECTION	MINIMUM PANEL LENGTH 1" (2)
	REGULAR SPACING	S.E. ANCHOR	ANCHORS OR PANELS		
+40.0, -10.0 OR LESS	12"	N/A	N/A	1 (TOP)	8'-0" OR 13'-0"
	12"	N/A	N/A	1 (BOTTOM)	
	12"	N/A	N/A	2 (TOP)	
	9"	N/A	N/A	2 (BOTTOM)	
	6"	N/A	N/A	3A (TOP)	
	6"	N/A	N/A	3A (BOTTOM)	
	12"	N/A	N/A	4 (TOP)	
	12"	N/A	N/A	4 (BOTTOM)	
	9"	N/A	N/A	5A (TOP)	
	9"	N/A	N/A	5A (BOTTOM)	
5 1/2"	N/A	N/A	6 (BOTTOM)		
5 1/2"	N/A	N/A	7 (BOTTOM)		
N/A	12"	12"	8 (TOP)		
N/A	12"	12"	8 (BOTTOM)		
12"	N/A	N/A	8 (TOP)		
12"	N/A	N/A	8 (BOTTOM)		
6"	N/A	N/A	10 (BOTTOM)		
6"	N/A	N/A	11A (TOP)		
6"	N/A	N/A	11 (BOTTOM)		
6"	N/A	N/A	13 (TOP)		
5 1/2"	N/A	N/A	13 (BOTTOM)		
4"	N/A	N/A	14 (BOTTOM)		

MAXIMUM A.S.D. DESIGN PRESSURE RATING (P.S.F.)	FOOD FASTENERS			APPLICABLE TO ALTERNATING WIND SPEEDS AND DIRECTION	MINIMUM PANEL LENGTH 1" (2)
	REGULAR SPACING	S.E. ANCHOR	ANCHORS OR PANELS		
+40.0, -10.0 UP TO +60.0, -80.0	12"	N/A	N/A	1 (TOP)	8'-0" OR LESS
	12"	N/A	N/A	1 (BOTTOM)	
	12"	N/A	N/A	2 (TOP)	
	9"	N/A	N/A	2 (BOTTOM)	
	6"	N/A	N/A	3A (TOP)	
	6"	N/A	N/A	3A (BOTTOM)	
	12"	N/A	N/A	4 (TOP)	
	12"	N/A	N/A	4 (BOTTOM)	
	9"	N/A	N/A	5A (TOP)	
	9"	N/A	N/A	5A (BOTTOM)	
8"	N/A	N/A	6 (BOTTOM)		
5 1/2"	N/A	N/A	7 (BOTTOM)		
N/A	12"	12"	8 (TOP)		
N/A	12"	12"	8 (BOTTOM)		
12"	N/A	N/A	8 (TOP)		
12"	N/A	N/A	8 (BOTTOM)		
6"	N/A	N/A	10 (BOTTOM)		
6"	N/A	N/A	11A (TOP)		
6"	N/A	N/A	11 (BOTTOM)		
6"	N/A	N/A	13 (TOP)		
6"	N/A	N/A	13 (BOTTOM)		
4"	N/A	N/A	14 (BOTTOM)		

* USE 6" OC SPACING FOR PANEL LENGTHS LARGER THAN 10' - 0" AND USE 12" OC AS SHOWN ON SCHEDULE FOR PANEL LENGTHS EQUAL OR SHORTER THAN 10' - 0" ** VALID ONLY FOR UP TO 108" PANEL LENGTHS.

* VALID ONLY FOR UP TO +50.0, -60.0 P.S.F. MAX. A.S.D. DESIGN PRESSURE RATING WITH 78" MAX. PANEL LENGTHS OR FOR UP TO +50.0, -50.0 P.S.F. MAX. A.S.D. DESIGN PRESSURE RATING WITH 96" MAX. PANEL LENGTHS.



FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone)
0.050" BERTHA ALUMINUM STORM PANEL (2.00" DEEP)

TILECO Inc.
428 WEST RAVEN DRIVE
WEST PALM BEACH, FL 33407
PHONE: (561) 969-0244 FAX: (561) 961-1718

EASTERN METAL SUPPLY, INC.
12/06/11
11-221
SHEET 16 OF 17

MAXIMUM A.S.D. DESIGN PRESSURE RATING (p.s.f.) AND CORRESPONDING MAXIMUM ANCHOR SPACING SCHEDULE FOR INSTALLATIONS INTO WOOD FRAME BUILDINGS

MAXIMUM A.S.D. DESIGN PRESSURE RATING (p.s.f.)	WOOD FASTENERS			APPLICABLE TO ALL FASTENERS & ANY COMBINATIONS OF THEM	MINIMUM PANEL LENGTH " (ft.)
	REGULAR TRACONS	SCISSOR	MINUTES MOMENT INCH		
+10.0 -60.0 UP TO -90.0	1 1/2"	N/A	N/A	1 (TOP)	9'-0" OR LESS
	1 1/2"	N/A	N/A	1 (BOTTOM)	
	1 1/2"	N/A	N/A	2 (TOP)	
	1 1/2"	N/A	N/A	2 (BOTTOM)	
	1 1/2"	N/A	N/A	3 (TOP)	
	1 1/2"	N/A	N/A	3 (BOTTOM)	
	1 1/2"	N/A	N/A	4 (TOP)	
	1 1/2"	N/A	N/A	4 (BOTTOM)	
	1 1/2"	N/A	N/A	5 (TOP)	
	1 1/2"	N/A	N/A	5 (BOTTOM)	
1 1/2"	N/A	N/A	6 (TOP)		
1 1/2"	N/A	N/A	6 (BOTTOM)		
1 1/2"	N/A	N/A	7 (TOP)		
1 1/2"	N/A	N/A	7 (BOTTOM)		
1 1/2"	N/A	N/A	8 (TOP)		
1 1/2"	N/A	N/A	8 (BOTTOM)		
1 1/2"	N/A	N/A	9 (TOP)		
1 1/2"	N/A	N/A	9 (BOTTOM)		
1 1/2"	N/A	N/A	10 (TOP)		
1 1/2"	N/A	N/A	10 (BOTTOM)		
1 1/2"	N/A	N/A	11 (TOP)		
1 1/2"	N/A	N/A	11 (BOTTOM)		
1 1/2"	N/A	N/A	12 (TOP)		
1 1/2"	N/A	N/A	12 (BOTTOM)		
1 1/2"	N/A	N/A	13 (TOP)		
1 1/2"	N/A	N/A	13 (BOTTOM)		
1 1/2"	N/A	N/A	14 (TOP)		
1 1/2"	N/A	N/A	14 (BOTTOM)		

MAXIMUM A.S.D. DESIGN PRESSURE RATING (p.s.f.)	WOOD FASTENERS			APPLICABLE TO ALL FASTENERS & ANY COMBINATIONS OF THEM	MINIMUM PANEL LENGTH " (ft.)
	REGULAR TRACONS	SCISSOR	MINUTES MOMENT INCH		
+10.0 -10.0 UP TO -30.0	12"	N/A	N/A	1 (TOP)	12'-6"
	12"	N/A	N/A	1 (BOTTOM)	
	12"	N/A	N/A	2 (TOP)	
	12"	N/A	N/A	2 (BOTTOM)	
	12"	N/A	N/A	3 (TOP)	
	12"	N/A	N/A	3 (BOTTOM)	
	12"	N/A	N/A	4 (TOP)	
	12"	N/A	N/A	4 (BOTTOM)	
	12"	N/A	N/A	5 (TOP)	
	12"	N/A	N/A	5 (BOTTOM)	
12"	N/A	N/A	6 (TOP)		
12"	N/A	N/A	6 (BOTTOM)		
12"	N/A	N/A	7 (TOP)		
12"	N/A	N/A	7 (BOTTOM)		
12"	N/A	N/A	8 (TOP)		
12"	N/A	N/A	8 (BOTTOM)		
12"	N/A	N/A	9 (TOP)		
12"	N/A	N/A	9 (BOTTOM)		
12"	N/A	N/A	10 (TOP)		
12"	N/A	N/A	10 (BOTTOM)		
12"	N/A	N/A	11 (TOP)		
12"	N/A	N/A	11 (BOTTOM)		
12"	N/A	N/A	12 (TOP)		
12"	N/A	N/A	12 (BOTTOM)		
12"	N/A	N/A	13 (TOP)		
12"	N/A	N/A	13 (BOTTOM)		
12"	N/A	N/A	14 (TOP)		
12"	N/A	N/A	14 (BOTTOM)		

MAXIMUM A.S.D. DESIGN PRESSURE RATING (p.s.f.)	WOOD FASTENERS			APPLICABLE TO ALL FASTENERS & ANY COMBINATIONS OF THEM	MINIMUM PANEL LENGTH " (ft.)
	REGULAR TRACONS	SCISSOR	MINUTES MOMENT INCH		
+10.0 -90.0 UP TO -150.0	8 1/2"	N/A	N/A	1 (TOP)	1'-0" OR LESS
	8 1/2"	N/A	N/A	1 (BOTTOM)	
	8 1/2"	N/A	N/A	2 (TOP)	
	8 1/2"	N/A	N/A	2 (BOTTOM)	
	8 1/2"	N/A	N/A	3 (TOP)	
	8 1/2"	N/A	N/A	3 (BOTTOM)	
	8 1/2"	N/A	N/A	4 (TOP)	
	8 1/2"	N/A	N/A	4 (BOTTOM)	
	8 1/2"	N/A	N/A	5 (TOP)	
	8 1/2"	N/A	N/A	5 (BOTTOM)	
8 1/2"	N/A	N/A	6 (TOP)		
8 1/2"	N/A	N/A	6 (BOTTOM)		
8 1/2"	N/A	N/A	7 (TOP)		
8 1/2"	N/A	N/A	7 (BOTTOM)		
8 1/2"	N/A	N/A	8 (TOP)		
8 1/2"	N/A	N/A	8 (BOTTOM)		
8 1/2"	N/A	N/A	9 (TOP)		
8 1/2"	N/A	N/A	9 (BOTTOM)		
8 1/2"	N/A	N/A	10 (TOP)		
8 1/2"	N/A	N/A	10 (BOTTOM)		
8 1/2"	N/A	N/A	11 (TOP)		
8 1/2"	N/A	N/A	11 (BOTTOM)		
8 1/2"	N/A	N/A	12 (TOP)		
8 1/2"	N/A	N/A	12 (BOTTOM)		
8 1/2"	N/A	N/A	13 (TOP)		
8 1/2"	N/A	N/A	13 (BOTTOM)		
8 1/2"	N/A	N/A	14 (TOP)		
8 1/2"	N/A	N/A	14 (BOTTOM)		

* USE 6" OC SPACING FOR PANEL LENGTHS LARGER THAN 10' - 0" AND USE 12" OC AS SHOWN ON SCHEDULE FOR PANEL LENGTHS EQUAL OR SHORTER THAN 10' - 0".
** VALID ONLY FOR UP TO +20.0, -30.0 P.S.F. MAX. A.S.D. DESIGN PRESSURE RATING WITH 108" MAX. PANEL LENGTHS.



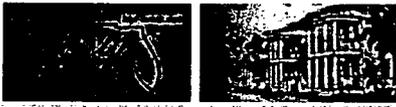
TELECO INC.
TILLIT TESTING & ENGINEERING COMPANY
455 N.W. 29th St., Ft. Lauderdale, FL 33307
Phone: (561) 533-0071 & (561) 531-1531
WALTER A. TILLIT, JR., P.E.
FLORIDA LIC. #44167

EASTERN METAL SUPPLY, INC.
4526 WEST BROADS DRIVE
WEST PALM BEACH, FL 33407
PHONE: (561) 709-6244 FAX: (561) 841-1718

FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone)
0.050" BERTHA ALUMINUM STORM PANEL
(2.00" DEEP)

W.A./M.E./A.G.
DRAWN BY: _____
DATE: 11/09/11

11-221
DRAWING NO.
SHEET 17 OF 17



Florida Department of
Business & Professional Regulation
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Product Approval Menu > Product or Application Search > Application List > Application Detail

FL #	FL8363-R4														
Application Type	Revision														
Code Version	2010														
Application Status	Approved														
Comments															
Archived	<input type="checkbox"/>														
Product Manufacturer	Armor Screen Corp.														
Address/Phone/Email	1881 Old Okeechobee Road West Palm Beach, FL 33409 (561) 841-8890 doug@armorscreen.com														
Authorized Signature	Douglas Turner doug@armorscreen.com														
Technical Representative	Douglas Turner														
Address/Phone/Email	1881 Old Okeechobee Road West Palm Beach, FL 33409 (561) 841-8890 doug@armorscreen.com														
Quality Assurance Representative	Douglas Turner														
Address/Phone/Email	1881 Old Okeechobee Road West Palm Beach, FL 33409 (561) 841-8890 doug@armorscreen.com														
Category	Shutters														
Subcategory	Products Introduced as a Result of New Technology														
Compliance Method	Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer <input checked="" type="checkbox"/> Evaluation Report - Hardcopy Received														
Florida Engineer or Architect Name who developed the Evaluation Report	Gary D. Foreman P.E., S.E., A.I.A.														
Florida License	PE-57343														
Quality Assurance Entity	National Accreditation and Management Institute														
Quality Assurance Contract Expiration Date	12/31/2014														
Validated By	Warren J. Von Weme, P.E. <input checked="" type="checkbox"/> Validation Checklist - Hardcopy Received														
Certificate of Independence	FL8363 R4 COI 8363 R1 Cert of Independence 11-15-07.pdf														
Referenced Standard and Year (of Standard)	<table border="0"> <thead> <tr> <th><u>Standard</u></th> <th><u>Year</u></th> </tr> </thead> <tbody> <tr> <td>ASTM E 1886</td> <td>2005</td> </tr> <tr> <td>ASTM E 1996</td> <td>2005</td> </tr> <tr> <td>ASTM E 330</td> <td>2002</td> </tr> <tr> <td>TAS 201</td> <td>1994</td> </tr> <tr> <td>TAS 202</td> <td>1994</td> </tr> <tr> <td>TAS 203</td> <td>1994</td> </tr> </tbody> </table>	<u>Standard</u>	<u>Year</u>	ASTM E 1886	2005	ASTM E 1996	2005	ASTM E 330	2002	TAS 201	1994	TAS 202	1994	TAS 203	1994
<u>Standard</u>	<u>Year</u>														
ASTM E 1886	2005														
ASTM E 1996	2005														
ASTM E 330	2002														
TAS 201	1994														
TAS 202	1994														
TAS 203	1994														
Equivalence of Product Standards Certified By	Florida Licensed Professional Engineer or Architect FL8363 R4 Equiv FL8363 Equivalency Letter.pdf														
Sections from the Code															

Product Approval Method

Method 1 Option D

Date Submitted

02/21/2012

Date Validated

04/20/2012

Date Pending FBC Approval

04/27/2012

Date Approved

06/11/2012

Summary of Products

FL #	Model, Number or Name	Description
8363.1	Armor Screen HVHZ Grommet and Hemcord System, Series 2000	Armor Screen HVHZ Grommet and Hemcord System, Series 2000
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +110/-115.5 Other: This system is not for use in the high velocity hurricane zone (H.V.H.Z.). Glass separation is required for installations within wind zone 4 and on essential facilities. The un-breached envelope criterion is met since the system is considered 'non-porous' and remains intact under impact and air pressure loading. The system is to enclose the protected opening all around.		Installation Instructions FL8363_R4_II_FL_8363.pdf Verified By: Gary D. Foreman P.E., S.E., A.I.A. PE-57343 Created by Independent Third Party: No Evaluation Reports FL8363_R4_AE_FL8363_Product_Evaluation_Letter.pdf Created by Independent Third Party: Yes

[Back](#)

[Next](#)

Contact Us :: 1940 North Monroe Street, Tallahassee, FL 32399 Phone: 850-487-1824

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Product Approval Accepts:



ARMOR SCREEN GROMMET AND HEMCORD SERIES 2000 HURRICANE PROTECTION

GENERAL NOTES:

- This Flexible Wind Abatement / Impact Protection System is for use outside the high velocity hurricane zone (HVHZ - Miami-Dade & Broward Counties). For information on use of this system within the HVHZ, refer to Armor Screen's Miami-Dade Notice of Acceptance (NOA) available on the Miami-Dade Product Control website. Separation from glass is required only when system is installed within wind zone 4 (wind speed > 160 mph ult) and on essential facilities.
- The design loads are calculated in accordance with the 2010 Florida Building Code and ASCE/SEI 7-10.
- Testing meets 2010 Florida Building Code; TAS 201; TAS 202; TAS 203; ASTM E 330-02; ASTM E 1996-05 Level E; and ASTM E 1886-05 per Sections 1620 and 1626 and fulfills its requirement for opening protection.
- Testing performed by Fenestration Testing Laboratory, Inc. Medley, FL:
 Test Reports: Date: 01/28/07 File #07-482 Lab #5174 Report #01
 Date: 01/28/07 File #07-482 Lab #5180 Report #02
 Date: 08/25/07 File #07-482 Lab #5279 Report #03
 Date: 12/07/07 File #07-482 Lab #5446 Report #04
 Date: 02/08/08 File #08-482 Lab #5533 Report #01
- The pores in Armor Screen are small enough that the surface tension of water causes the barrier screen to become solid in the presence of rain, and prevents damaging voluminous water intrusion, even from torrential rains.
- In dry conditions, the pores remain open, and based on testing, allow approximately 3% of the wind to pass through.
- The unbreached envelope criterion is met since the system is considered "non-porous" and remains intact under impact and air pressure loading. This envelope criterion is met when the system encloses the protected opening all around.
- Product Marking: A permanent label shall be fixed to the screen barrier with the following statement: "Armor Screen Corporation, West Palm Beach, FL, Testing Standards, Current FBC Number, Job Name and Screen Opening/Number, Patented and Patents Pending, US Patent No. 6176050".

PRODUCT DATA:

- Geosynthetic hurricane screen: The hurricane screen shall be produced from a polypropylene, woven geotextile fabric with filaments woven such that the filaments retain dimensional stability relative to each other.
- The woven geotextile fabric shall have the following minimum average roll values:
 Grab Textile Strength (ASTM D4632) 425 x 325 LBS
 Puncture Strength (ASTM D4833) 130 LBS
 Mullen Burst (ASTM D3786) 675 PSI
 Trapezoidal Tear (ASTM D4533) 150 x 125 LBS
 Wide Width Tensile Strength (ASTM D4595) 225 x 205 LBS/IN
 Thickness (ASTM D5199) 20 MIL.
 Wide Width Elongation (ASTM D4595) 22 x 21%
 Apparent Opening Size 30 US STD Sieve
 Percentage of Open Area 5%.

LIMITATIONS OF USE:

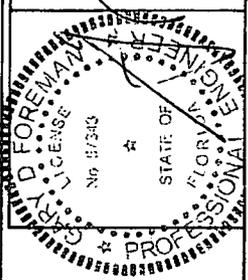
- Maximum Span 192 inches Hemcord
148 inches Grommet
- Maximum Non-Span Unlimited, Utilizing side overlapping details, page 8
- Maximum Design Pressure +110 / -110 PSF
- The design pressure may be increased 5% for negative loads.
- Span equals the distance between the primary rows of fasteners or grommets.

INSTALLATION NOTES:

- Screen may be mounted with opposing primary anchored perimeters in vertical, horizontal, or any alignment appropriate to the structure being protected.
- Deflection is the minimum glass separation measured at mid span of the screen and subject to rational analysis and may be achieved by using F-track, Storm Bars, Pneumatic Device, various Angled Style Screens and Center Hem Style Screen.
- Screen unable to return should extend past protected opening by distance equal to or greater than the minimum deflection / offset, which ever is greater.
- All specifications to be equivalent or greater in product.
- Anchor attachments may include standard Wingnut, Hex, Round, and Truss Head Machine Screws, Stainless Steel Sidewalk Bolt, Carriage Bolts or any other appropriate and equal fastener.
- All Aluminum Extrusions to be minimum 6063-T6 or as indicated.
- The thickness of typical facing materials i.e. stucco, siding, stone, brick, pavers, etc. are not to be considered part of the anchor embedment. Longer fasteners may be used to allow for facing materials.
- Anchor embedment shall be in face shell, not mortar joints.
- Drop-In and Calk-In Anchors shall be flush with substrate and shall not extend into finished facing.
- If tapcons are used with Grommet Style Screen, a washer should be utilized.
- 18" and 12" attachment spacing for short spans (less than 76") may experience large screen deflections and incomplete closure at edges between anchors.
- The screens may be installed at any height on the structure as long as the design pressure rating for the screens is not exceeded.
- All fasteners shall be corrosion resistant as specified in the IRC and IBC.
- The minimum engagement of the eyebolt into the anchor is at least 2/3 of the threaded length of the fastener. For a 1/2" diameter drop-in anchor the thread length is 13/16" and the fastener length is 2". Therefore, the minimum engagement length for the eyebolt is 9/16". The minimum engagement length for a 3/8" eyebolt is 7/16" and for a 1/4" bolt 5/16".
- In instances where a screen is made up of two pieces of fabric or for repair purposes, a flat felt seam or triple layer hem with a minimum of two rows of double lock stitch thread is acceptable. The anchor attachment, i.e. loops or buckles & strap requires three rows of double stitching and the Grommet - Hemcord System requires two rows. The fabric comes in standard lengths such as 12' wide, therefore for screens that are larger, two pieces are seamed together as noted above.
- Span side anchors are optional.
- Flaps as depicted in the drawings are optional.

All Geosynthetic Hurricane Screen assembly details depicted within these drawings are typical for the installation of this wind / rain abatement and impact system only. All other building components shown herein are depicted as existing or samples and not constructed by the screen company.

Engineering Review By: 



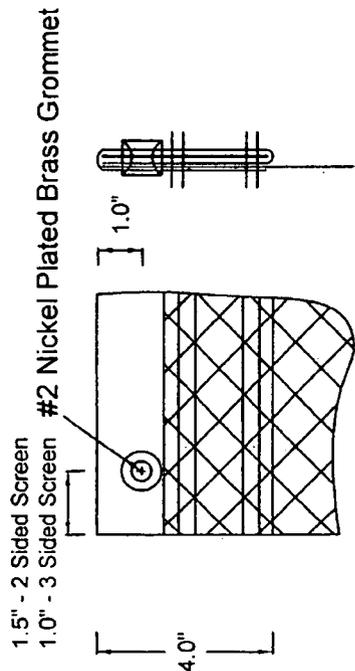
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ARMOR SCREEN
GROMMET AND HEMCORD SERIES 2000
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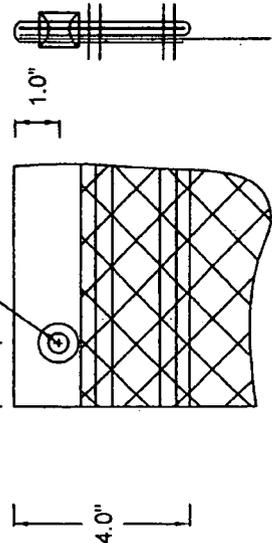
Date: 10/23/07 Rev. Date: 10/11/10 Rev. Date:
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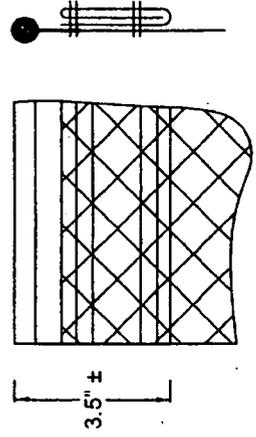
1.5" - 2 Sided Screen
1.0" - 3 Sided Screen

#2 Nickel Plated Brass Grommet



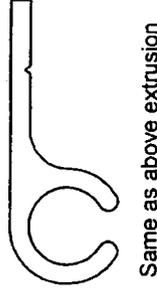
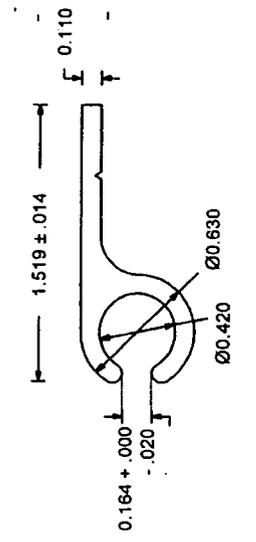
Grommet with Stitching Detail

- Support Edge, Trifold Seam around 4" Polypro webbing
- Sewing includes 2 rows, Double Lock Stitch, of Anefil Nylon T135 bonded thread or equal.
- Grommetted through seam.

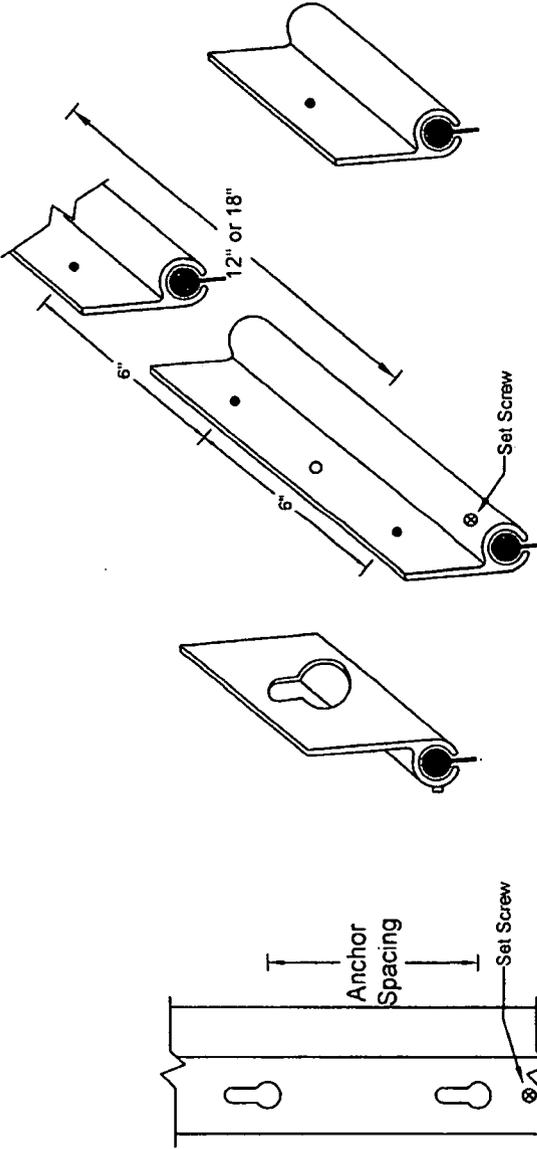


Welded Hemcord with Stitching Detail

- Hemcord Dia.: 5/16"
- Sewing includes 2 rows, Double Lock Stitch, of Anefil Nylon T135 Bonded Thread or equal.
- Reinforced welded hemcord includes a 2" trifold Polypro Seam sewn over the weld.



Same as above extrusion



Keyhole Slot in Continuous C-Channel

Keyhole Slot in Segmented C-Channel

10" Segmented C-Channel Alloy: 6063-T6 Aluminum

5" Segmented C-Channel Alloy: 6063-T6 Aluminum

C-Channel Alloy: 6063-T6 Aluminum
NOTE: Heavier alternate extrusion may be used.

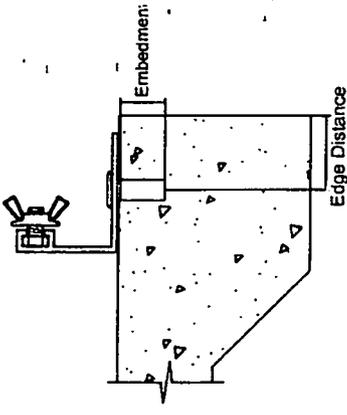
NOTES:

- The length of the segmented C-Channel is governed by the strength of the fabric to C-Channel connection, not the hardware attachment to the C-Channel.
- When a Keyhole Slot or washer is used on continuous C-Channel, a set screw through the channel and into the substrate is required to lock in place.
- For Anchor Spacing, see Anchor Tables on pages 15 - 20.
- A 1/4" TEK Screw may be used to secure the C-Channel end to limit screen movement.

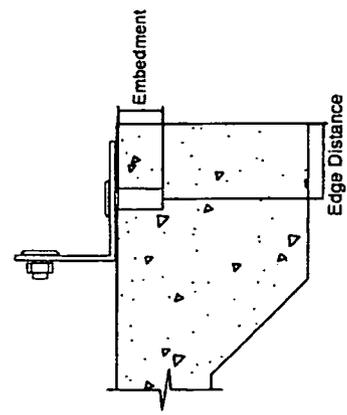
HEMCORD / C-CHANNEL

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 FL PE 57343
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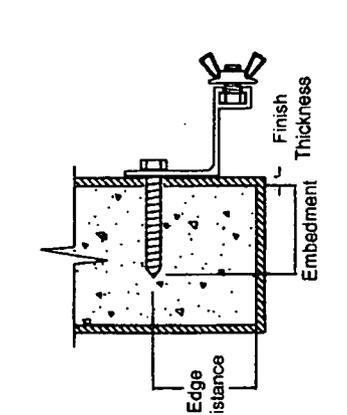
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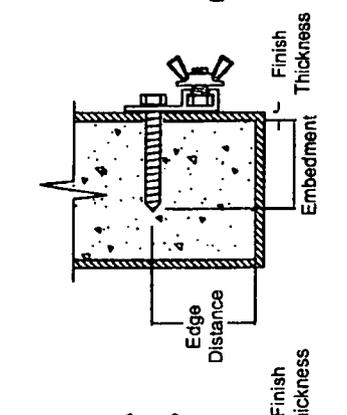
Grommet
Studded / Studless Angle F-Track
6063-T6
Anchoring Detail



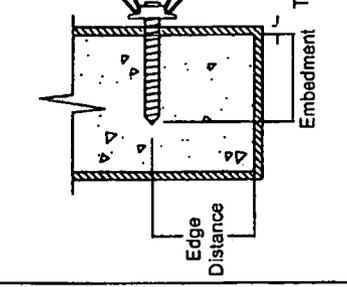
Grommet
Angle Aluminum
Minimum .125" x 6063-T6
Anchoring Detail



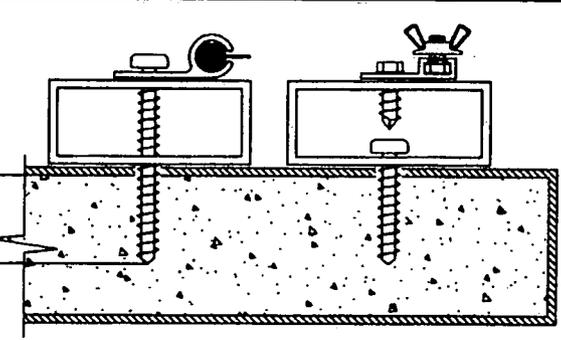
Grommet
F-Track 6063-T6
(1", 2", and 3"
Build-Out)
Anchoring Detail



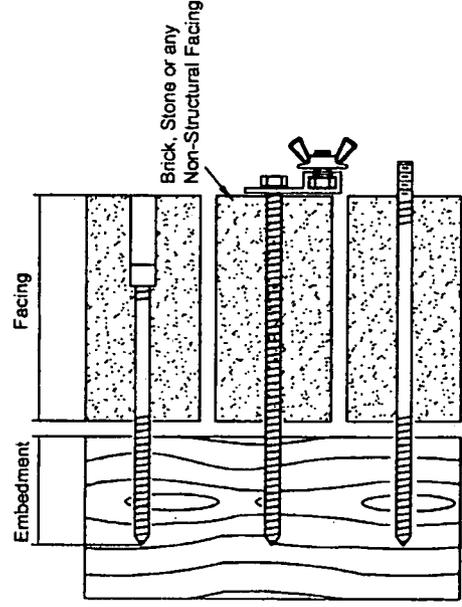
Grommet
F-Track 6063-T6
Anchoring Detail



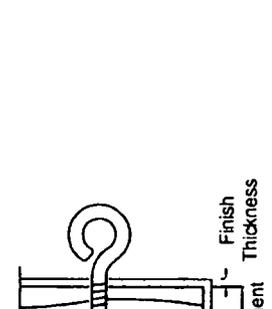
Grommet
Direct Mount
Anchoring Detail



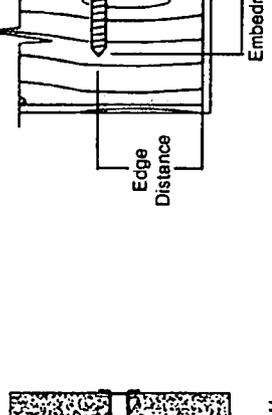
Anchoring Detail



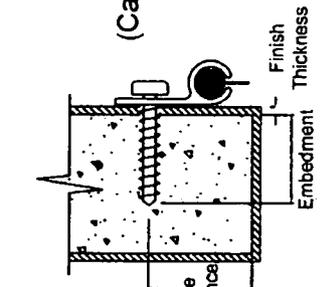
**1/4" or 3/8" Hanger Bolt with Coupler,
Panelmate or Hex Lag Screw
(Non-Structural Facing)
(Caulk or Sealant suggested to seal facing)
Some damage to the facing maybe
anticipated.**



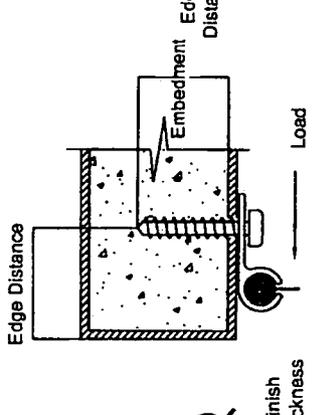
Grommet
3/8" Eye Lag
Anchoring Detail



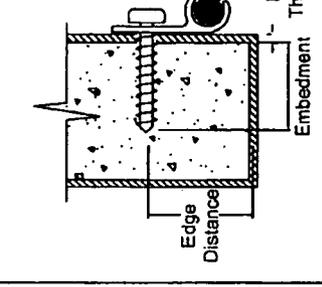
**CMU and Terracotta
Block Epoxy Anchor
see Table 5, page 18
for anchoring details**



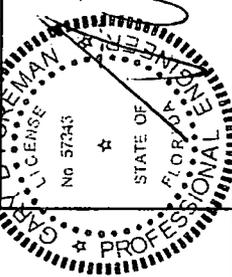
180° C-Channel



90° C-Channel



45° C-Channel



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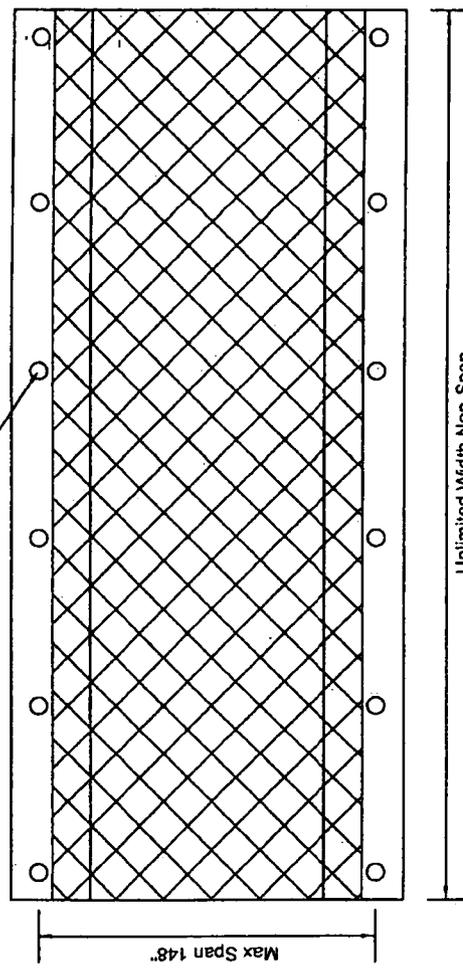
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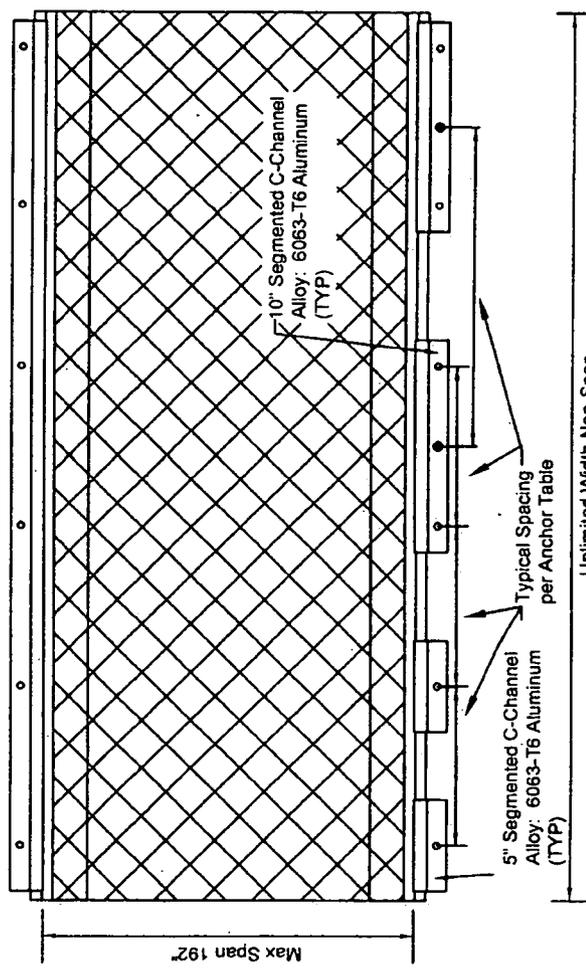
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1/8" Aluminum Tube / Angle
For Build-Out
6063-T6 Alloy

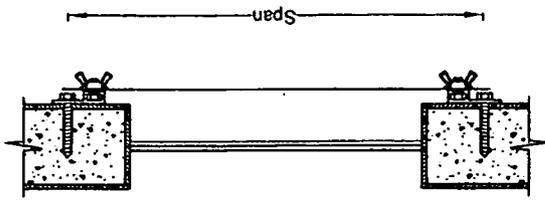
#2 Nickel Plated Brass Grommet (TYP)



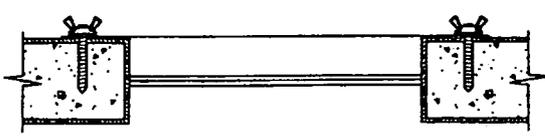
GROMMET VERTICAL INSTALLATION
(Span Sides = Welded Seam)
Unlimited Width Non-Span



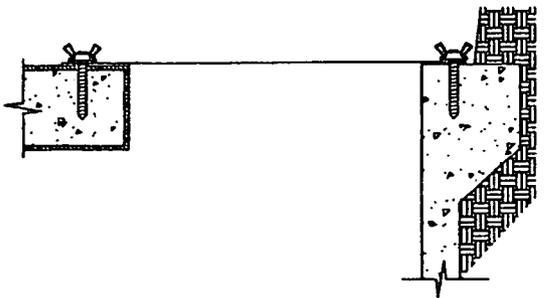
C-CHANNEL VERTICAL INSTALLATION
(Span Sides = Welded Seam)
Unlimited Width Non-Span



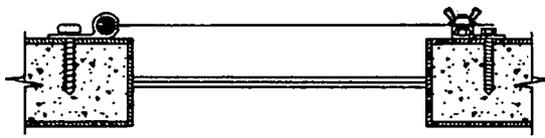
F-Track Typical Vertical Window Sectional View



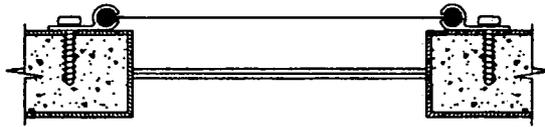
Direct Mount Typical Vertical Window Sectional View



Direct Mount Typical Vertical Window Sectional View

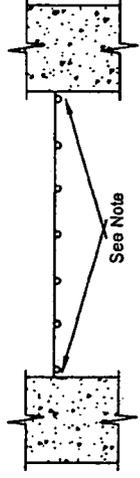


C-Channel (top) F-Track (bottom) Typical Vertical Window Sectional View



C-Channel Typical Vertical Window Sectional View

- NOTES:**
- Typical screen anchor attachment may be grommet, continuous C-Channel, segmented C-Channel or any combination.
 - The length of the Segmented C-Channel is governed by the strength of the fabric to C-Channel connection, not the hardware attachment to the C-Channel.



PLAN VIEW, VERTICAL SCREEN, TRAPPED OPENING

NOTE: For a trapped opening, side anchors are optional for the span side of the screen. Screen should butt the walls.

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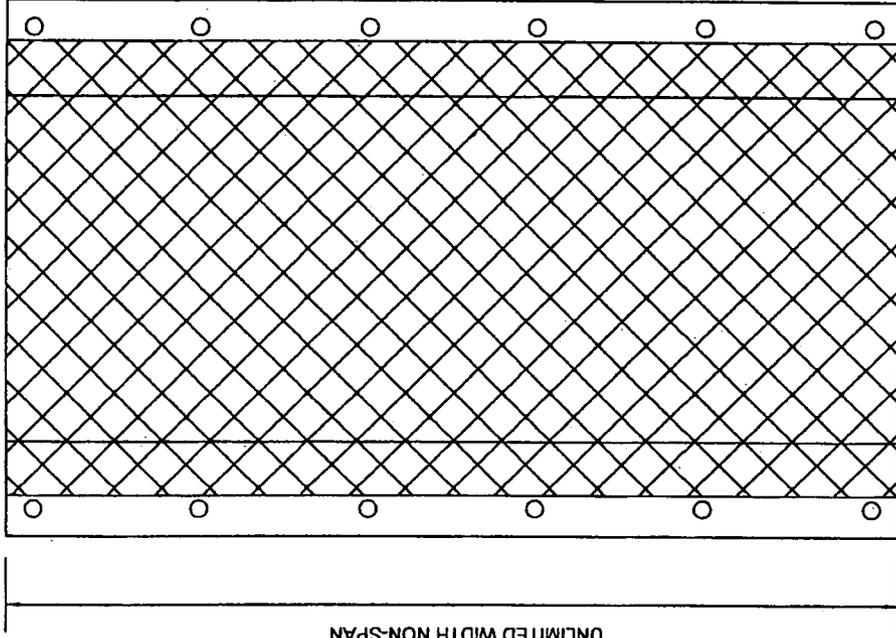
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MAX SPAN: 148" for Grommets
or 192" for Hemcord

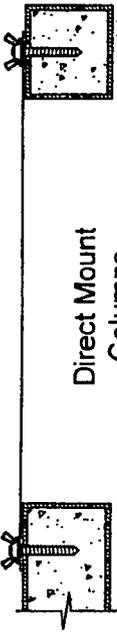


HORIZONTAL INSTALLATION

(Span Sides = Welded Seam)

NOTE:

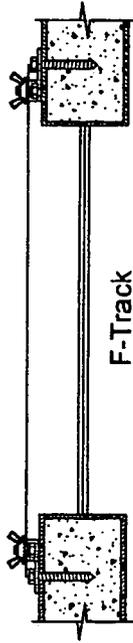
Typical screen anchor attachment may be grommet, continuous C-Channel, segmented C-Channel or any combination.



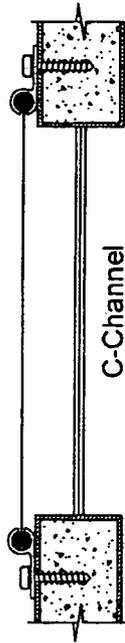
Direct Mount
Columns
Plan View



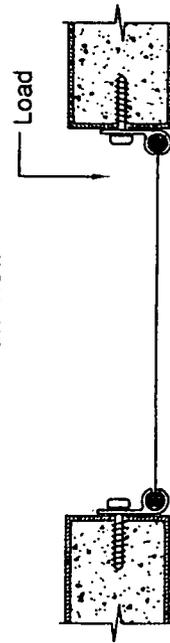
Direct Mount
Typical Window
Plan View



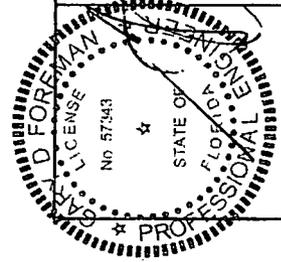
F-Track
Typical Window
Plan View



C-Channel
Maximum Span 192"
Typical Window
Plan View



C-Channel
Maximum Span 192"
Column Mount
Plan View



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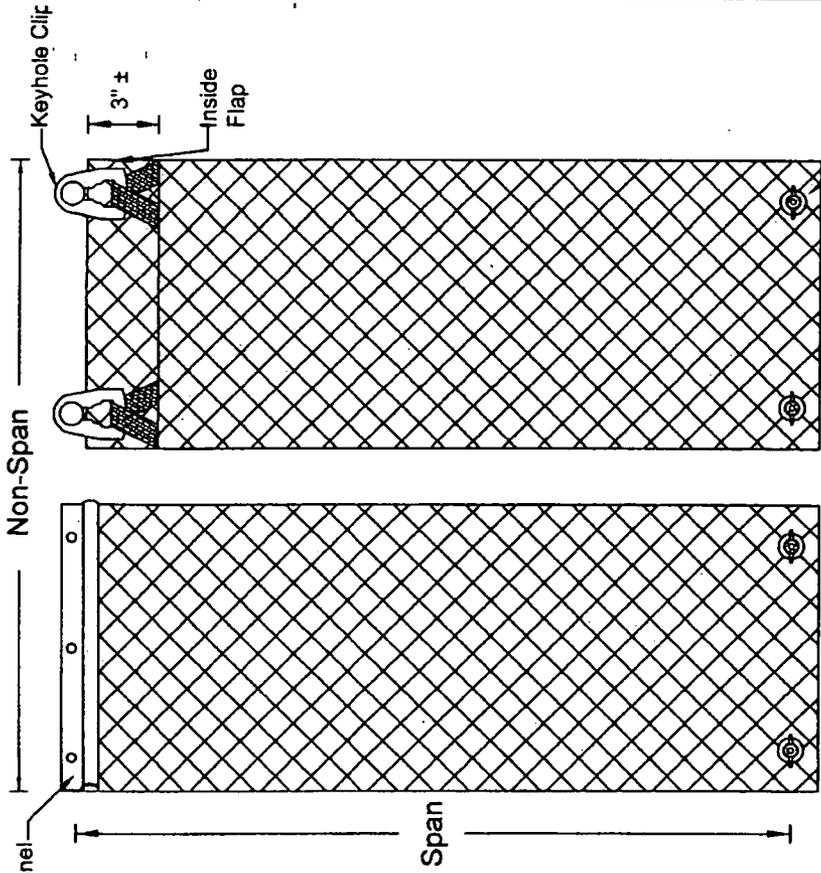
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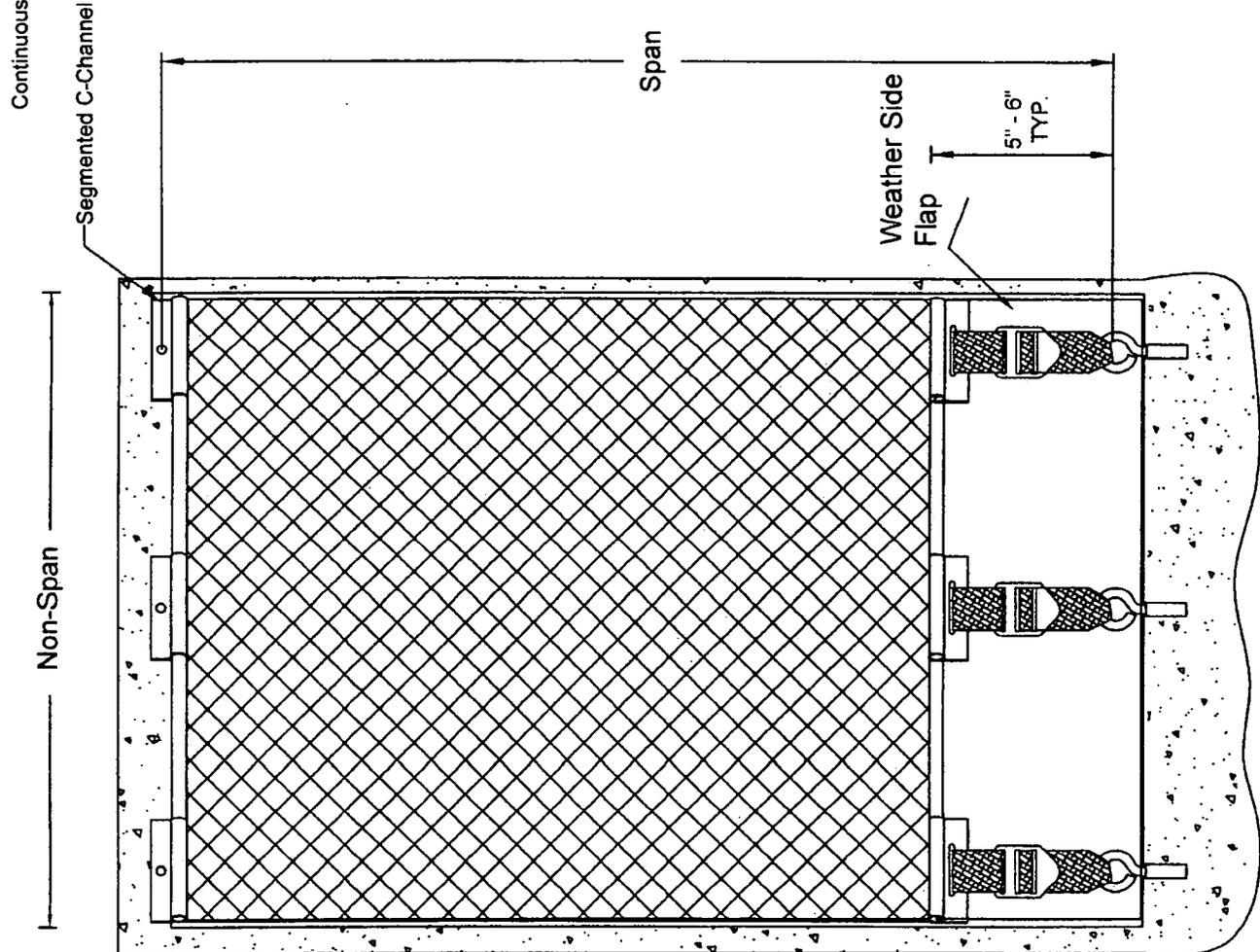
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COMBINATION ATTACHMENT
W/ KEYHOLE CLIPS AND CARRIAGE BOLTS
OR CONTINUOUS C-CHANNEL

- NOTES:**
- Typical screen anchor attachment may be grommet, continuous C-Channel, segmented C-Channel or any combination.
 - For Combination Grommet / Hemcord System, use the grommet span.
 - Strap material equal to DirectTex 2" High Tenacity Polypro black or white.
 - Buckle with raised "Armor Screen" imprint is proprietary to ArmorScreen Corp.



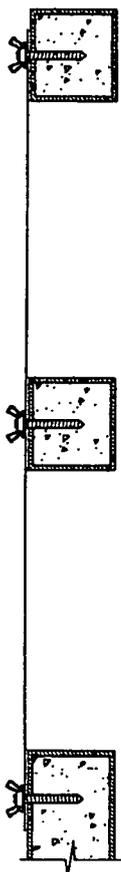
COMBINATION ATTACHMENT
W/ EYEBOLT, BUCKLE/STRAP,
AND SEGMENTED C-CHANNEL
not to scale

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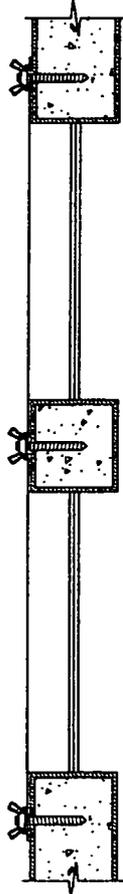
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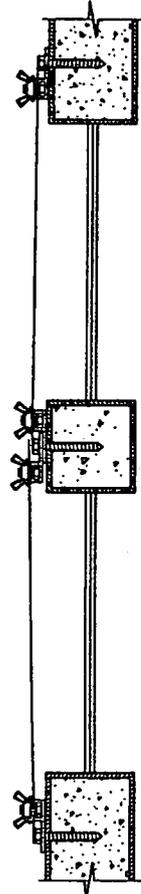
Engineering Review By: *[Signature]*
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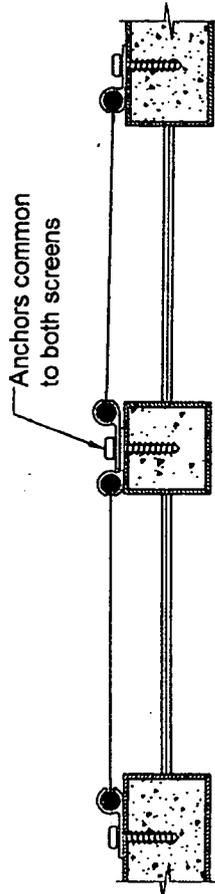
Direct Mount
Columns
Plan View



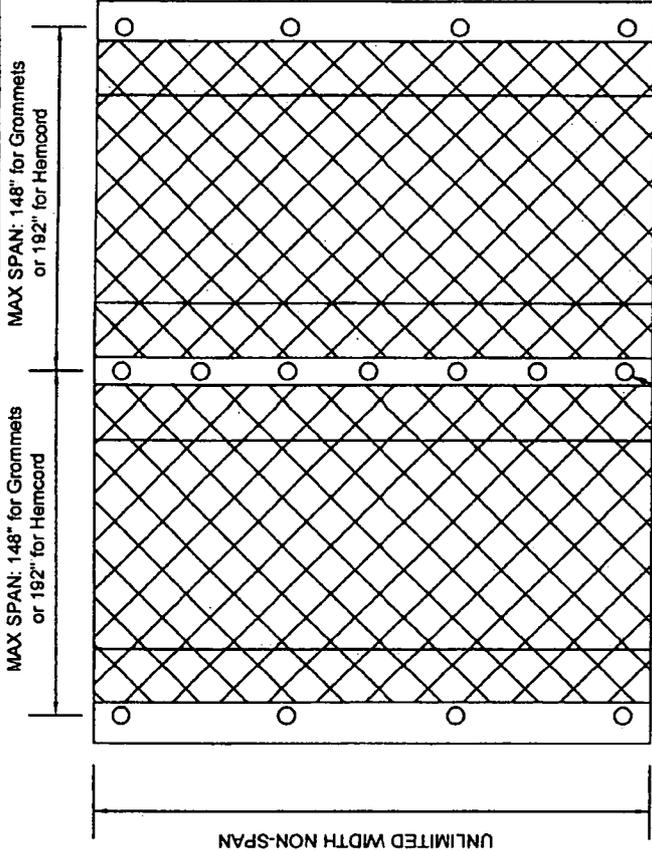
Direct Mount
Typical Window
Plan View



F-Track
Typical Window
Plan View



C-Channel Max. Span 192"
Typical Window
Plan View

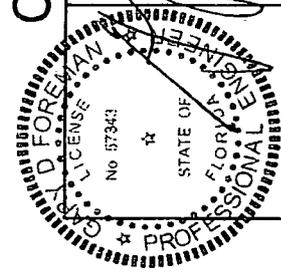


Common Anchors

NOTES:

- Two adjacent screens may share common anchors.
- Typical screen anchor attachment may be grommet, continuous C-Channel, segmented C-Channel or any combination.

COMMON ANCHORS



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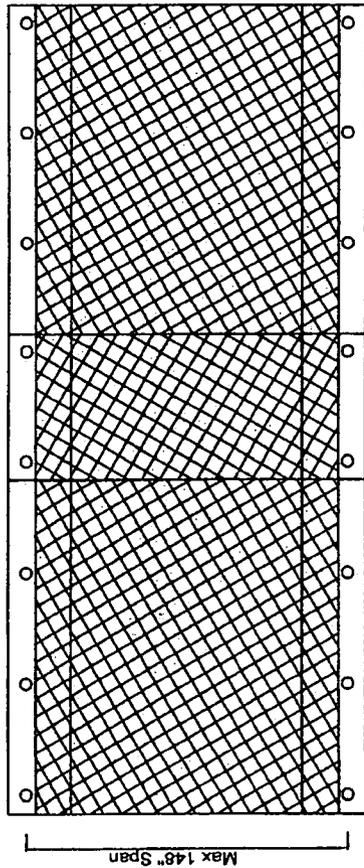
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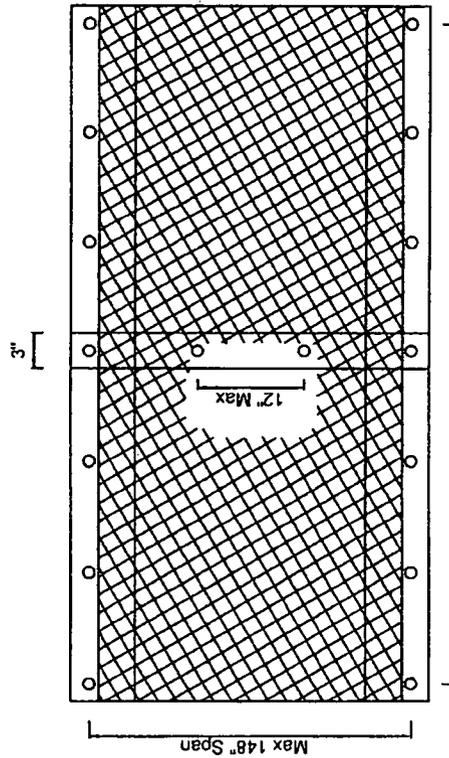
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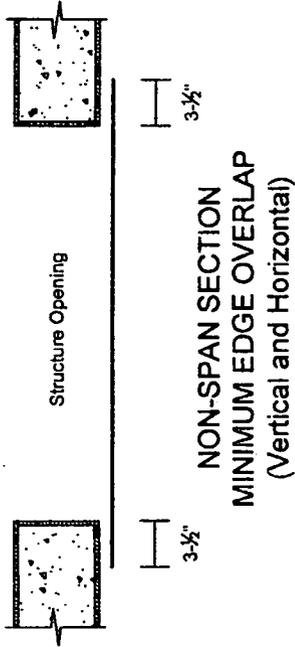
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Scale: Not to Scale | Page: 7 of 20



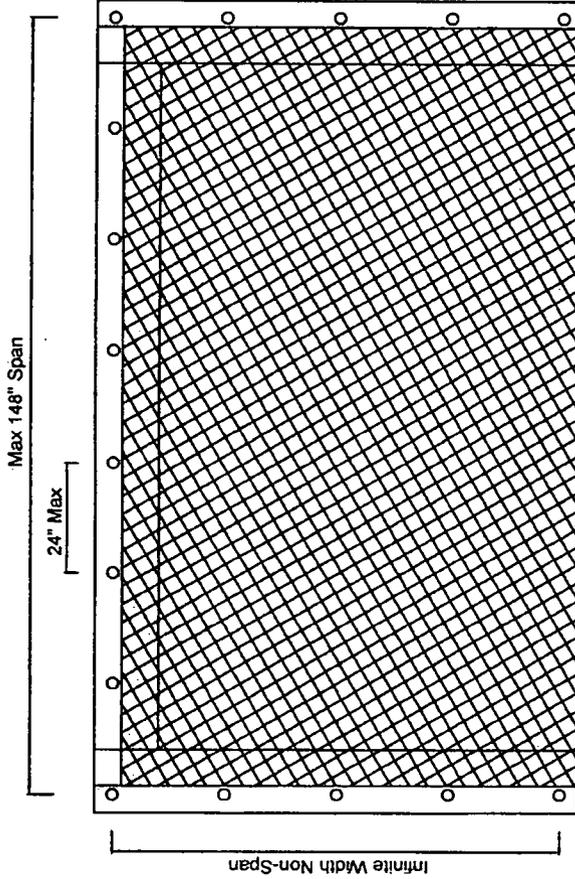
Unlimited Width Non-Span
TYPE 1 GROMMET SCREEN OVERLAP



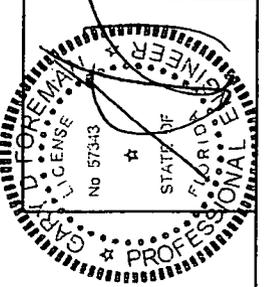
Unlimited Width Non-Span
TYPE 2 GROMMET SCREEN OVERLAP



**NON-SPAN SECTION
 MINIMUM EDGE OVERLAP
 (Vertical and Horizontal)**



THREE SIDED SCREEN - GROMMET / C-CHANNEL



Engineering Review By:

[Signature]

Gary D Foreman PE
 FL PE 57343

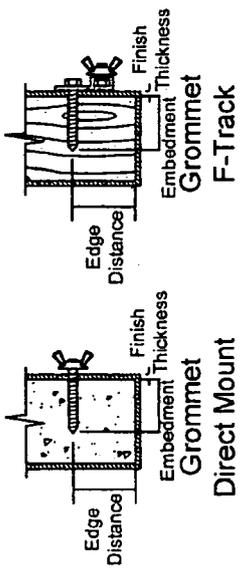
**ARMOR SCREEN
 GROMMET AND HEMCORD SERIES 2000
 HURRICANE PROTECTION**

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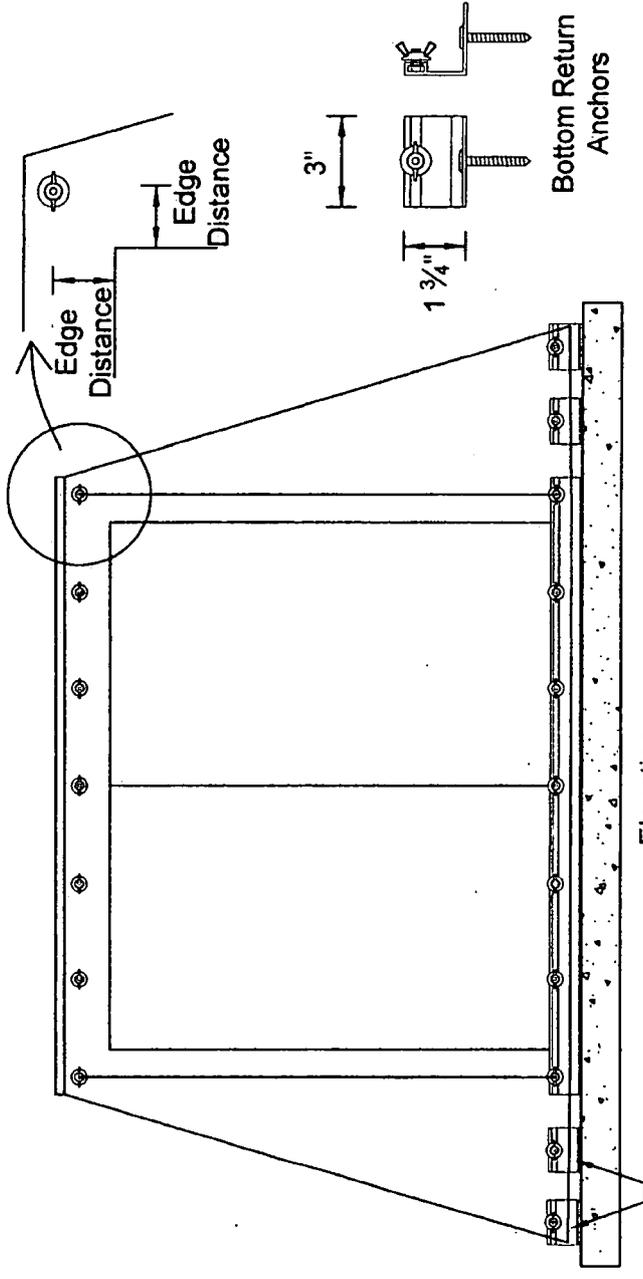
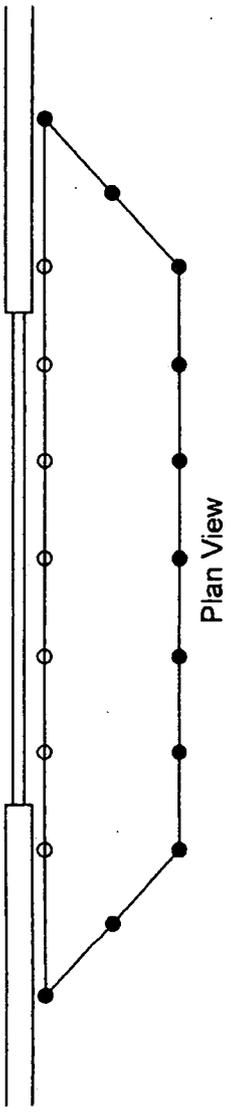
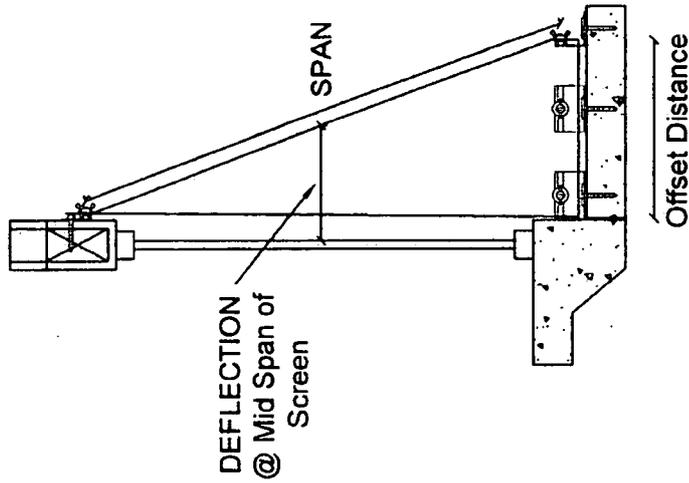
Date: 10/23/07 | Rev. Date: 10/11/10 | Rev. Date:
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NOTES:

- Span Side Anchors are optional.
- If adjacent screens are overlapped 3" and connected through the grommets with minimum deflection, a 1/4" nylon bolt / nut assembly should be used 12" on center maximum.
- Adjacent screens may also be connected with approved buckle/strap.

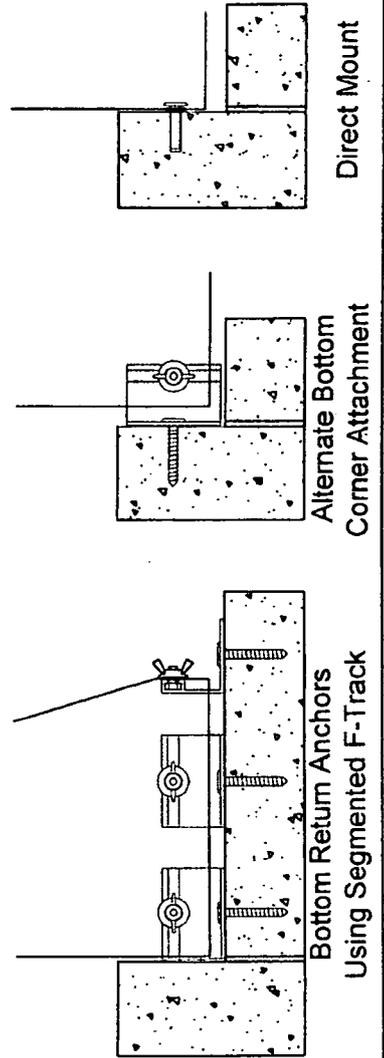


Top Anchoring Detail



ANGLED SCREEN NOTES:

1. Refer to Deflection Table D-1.1 page 14.
2. Bottom Return Requires a midpoint anchor.
3. Side Return (span side) anchors are optional.
4. Typical screen anchor attachment may be grobmet, continuous C-Channel, segmented C-Channel or any combination.



ANGLED SCREEN

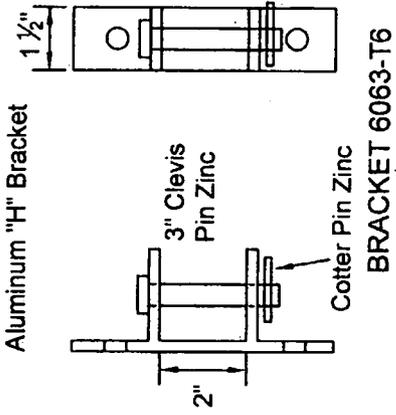
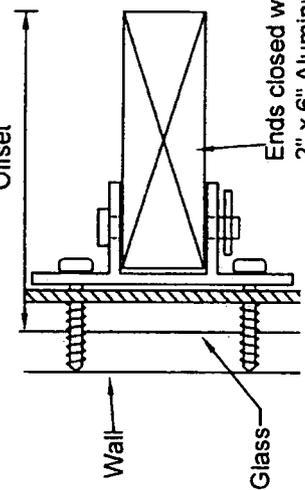
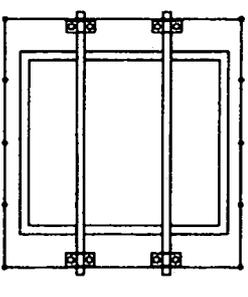
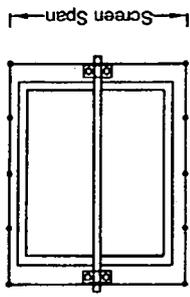
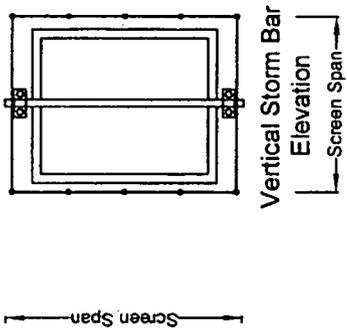
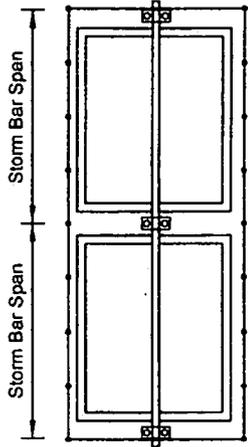
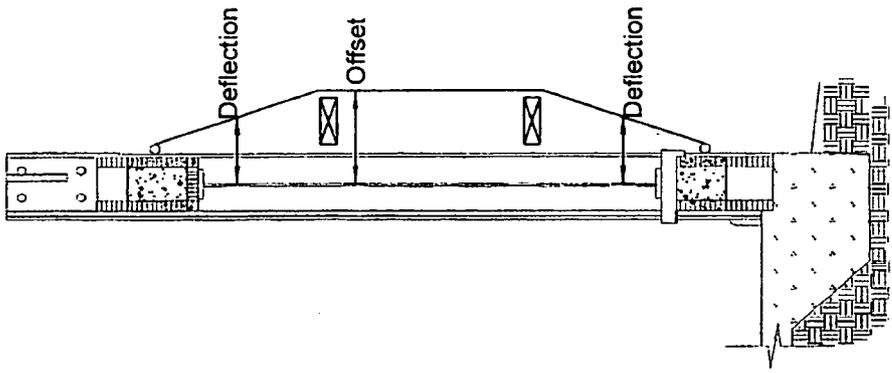
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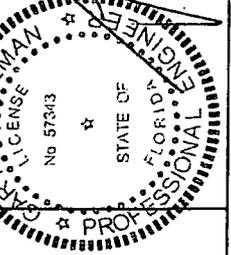
BRACKET 6063-T6

STORM BAR & BRACKET

STORM BAR SYSTEM

STORM BAR NOTES:

1. Refer to Table D-1.2 on page 14.
2. The storm bar system is designed to achieve deflection and may utilize one or more storm bars. The offset may be increased with blocking.
3. Storm bars may be positioned horizontal, vertical or as required.
4. The storm bar bracket may be permanent or removable and attached to the structure using two (2) approved 1/4 inch anchors. Refer to pages 15 - 20.
5. The storm bar and screen should extend past the protected opening by the distance equal to or greater than the required deflection / offset, which ever is greater.



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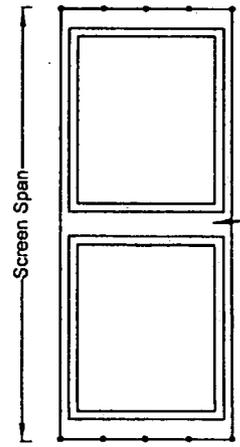
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FL PE 57343

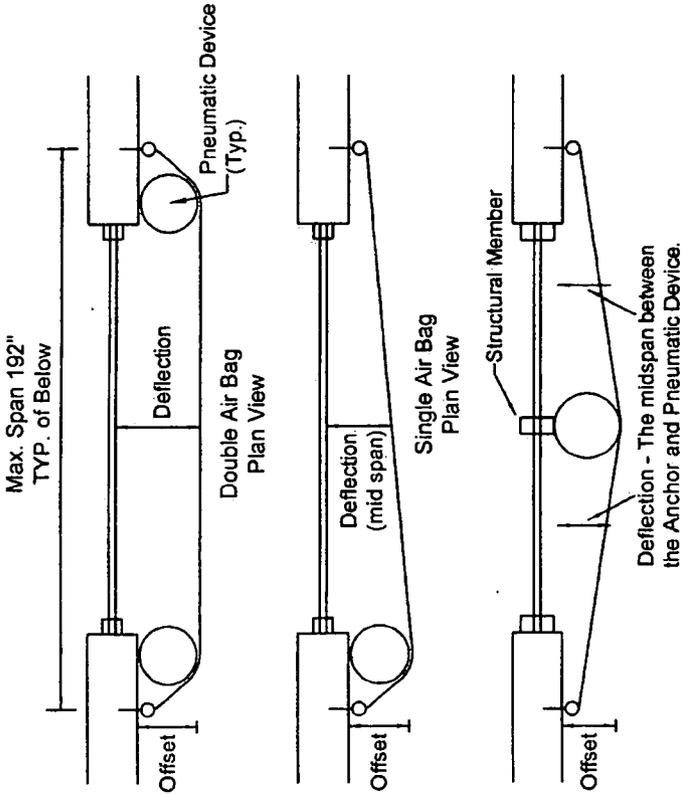
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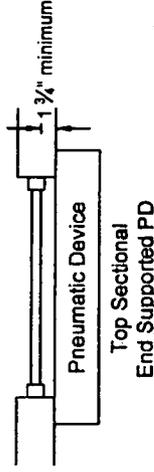
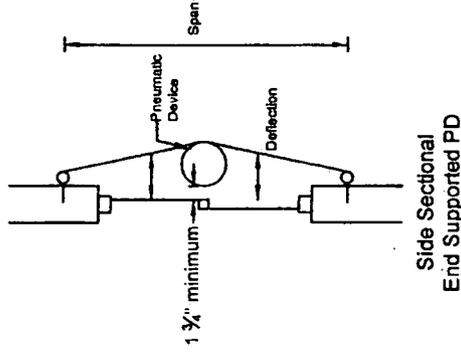
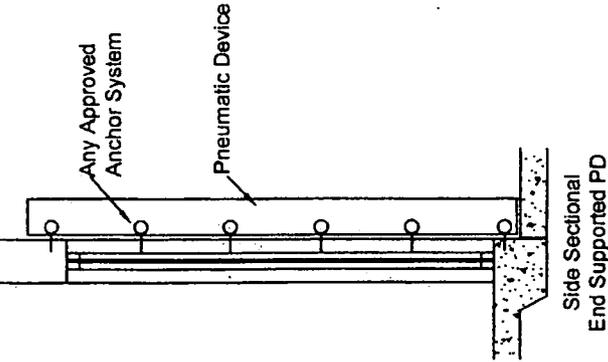
Building Structure between adjacent window / door frames may act as a Storm Bar if proper offset to the glazing is present. This applies to a vertical or horizontal applications.





STORE FRONT OR CURTAIN WALL APPLICATION
Plan View

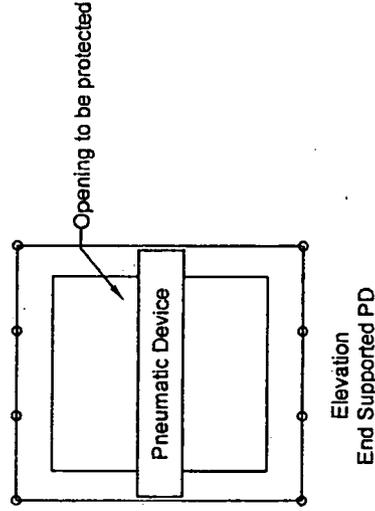
Deflection - The midspan between the Anchor and Pneumatic Device.



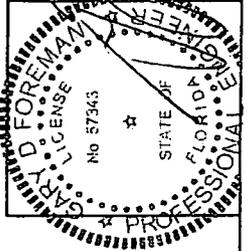
- PNEUMATIC DEVICE (PD) SPECIFICATIONS:**
1. Pneumatic Device consists of two parts, a refillable polymer air bladder capable of holding air without perceptible leakage, and a tough fabric cover for structural integrity and durability.
 2. May be inflated by any residential or commercial vacuum cleaner, or air pump intended for air mattresses or equivalent devices.
 3. Upon removal, the Pneumatic Device should be deflated and stored with screen barrier.

PNEUMATIC DEVICE (PD) DEFLECTION SYSTEM NOTES:

1. Refer to the Deflection Table D-1.1 on page 14.
2. Pneumatic device must not rest on glazing.
3. The pneumatic device may be attached to barrier and may rest on but not attached to the structure. The device may be end supported if spanning the protected opening.
4. Inflation of the device requires a minimum pressure of 2.0 psi.
5. One or more devices may be used to achieve separation.
6. This system may be positioned horizontally, vertically, or as required.
7. The pneumatic device may be permanently attached to the screen or made removable.
8. The sleeve should not be attached to the building structure unless designed as a site specific installation by a structural engineer.
9. The pneumatic device should be positioned to provide adequate deflection between the screen / barrier and surface being protected.



PNEUMATIC DEFLECTION SYSTEM



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[Signature]

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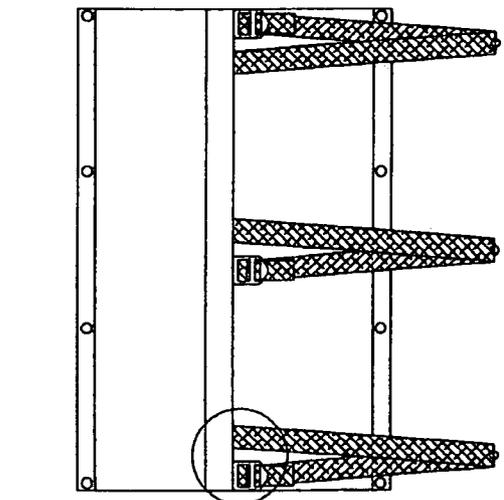
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CENTER HEM DEFLECTION SYSTEM NOTES:

1. Refer to Deflection Table D-1.1 on page 14.
2. This system is designed to achieve deflection by pulling and supporting the center of the screen towards the windward direction.
3. One or more structural hems with buckles and straps may be used to achieve deflection.
4. The support hem system may be positioned horizontal, vertical or as required.
5. Screen unable to return should extend past protected opening by distance equal to or greater than the minimum deflection / offset, which ever is greater.
6. Strap material equal to DirecTex 2" High Tenacity Polypro black or white.
7. Buckle with raised "Armor Screen" imprint is proprietary to Armor Screen Corp.



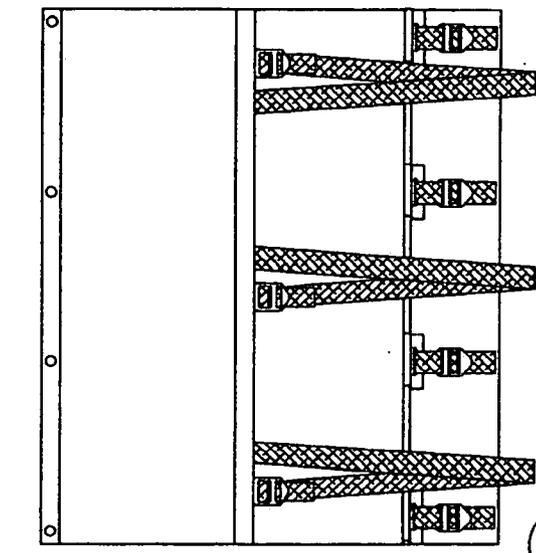
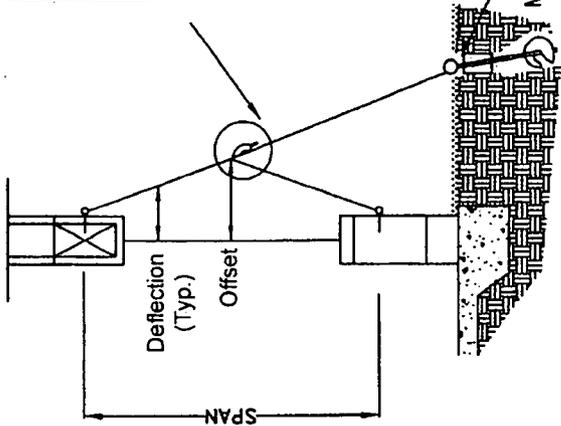
Multilayer Structural Hem at Mid-Span

Stitching Detail

- Sewing includes 2 rows, Double Lock Stitch, of Anefil Nylon T135 bonded thread or equal.

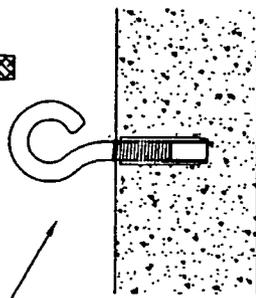
Earth Anchor

Stabilized with a 4" dia. x 6" Minimum Schedule 40 PVC Sleeve. See chart on this page.



CENTER HEM SUPPORT ANCHORS			SPAN	
ANCHOR	MIN. EMBED.	MIN. E.D.	up to 100"	up to 192"
			ANCHOR SPACING	
3/8" DROP-IN ANCHOR	1 1/2"	4"	18"	12"
1/2" DROP-IN ANCHOR	2"	5"	24"	18"
EARTH ANCHOR 1/2" x 30" SHAFT x 4" HELIX WITH WELDED EYE 3150 LBS WORKING LOAD	28"	N/A	24"	24"
PAVER ANCHOR 1/2" x 30" SHAFT x 4" HELIX WITH SS COUPLER AND SS EYEBOLT	28"	N	24"	18"

SOIL CLASS 5 MED DENSE COURSE SAND
3000 PSI CONCRETE



Drop-In Anchor

See chart on this page.

CENTER HEM DEFLECTION SYSTEM

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STATE OF FLORIDA
PROFESSIONAL ENGINEER

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FL PE 57343

TABLE D-1.1

Grommet - Hemcord Series 2000 Deflection Table											
Span in feet	Span in inches	Deflection in inches									
		30 psf	40 psf	50 psf	60 psf	70 psf	90 psf	110 psf	110 psf	110 psf	110 psf
2 ft.	24	2.0	2.1	2.3	2.5	2.6	3.0	3.4			
3 ft.	36	3.0	3.2	3.4	3.8	4.0	4.6	5.1			
4 ft.	48	3.9	4.3	4.5	5.0	5.3	6.1	6.8			
5 ft.	60	4.9	5.3	5.7	6.3	6.6	7.6	8.5			
6 ft. 4 in.	76	6.2	6.8	7.1	8.0	8.4	9.7	10.8			
7 ft. 4 in.	88	7.2	7.8	8.3	9.2	9.7	11.2	12.5			
8 ft. 4 in.	100	8.2	8.9	9.4	10.5	11.0	12.7	14.2			
9 ft. 4 in.	112	9.2	10.0	10.5	11.8	12.3	14.2	15.9			
10 ft. 4 in.	124	10.2	11.0	11.7	13.0	13.7	15.7	17.6			
11 ft. 4 in.	136	11.2	12.1	12.8	14.3	15.0	17.3	19.3			
12 ft. 4 in.	148	12.1	13.2	13.7	15.5	16.3	18.8	21.0			
Hemcord Series 2000 Deflection Table											
13 ft.	156	12.8	13.9	14.7	16.4	17.2	19.8	22.2			
14 ft.	168	13.8	15.0	15.8	17.6	18.5	21.3	23.9			
15 ft.	180	14.8	16.0	16.9	18.9	19.8	22.9	25.6			
16 ft.	192	15.7	17.1	18.0	20.2	21.2	24.4	27.3			

NOTE: Deflection is the minimum glass separation measured at mid span of the screen and subject to rational analysis.

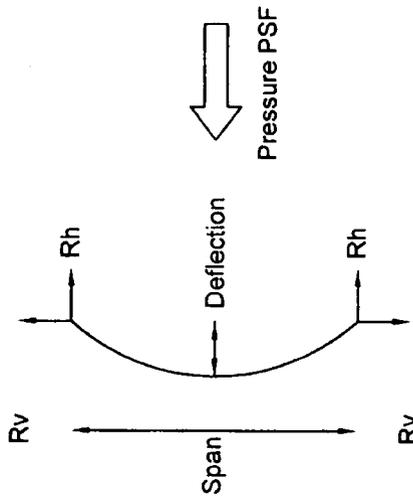
TABLE D-1.2

Grommet / Hemcord Storm Bar						
Storm Bar Span / Length	4'	5'	6'	8'	10'	12'
Max. PSF	PER TABLE D1.1					
Deflection	PER TABLE D1.1					
SYP 2" X 6"	X	X	X			
Alum. Tube 2" X 6" X 1/8"	X	X	X	X		
Alum. Tube 2" X 6" X 1/4"	X	X	X	X	X	X
Alum. Tube 6063-T6	X	X	X	X	X	X

$R_h = W \cdot L^2$
 $R_v = W \cdot (L^2) / (\text{DEFLECTION})$
 $\text{TENSION} = (R_h^2 + R_v^2)^{0.5}$

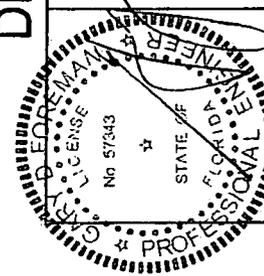
SCREEN REACTIONS FOR PRESSURE AND SPAN

Load (psf)		Span															
		2 ft.	3 ft.	4 ft.	5 ft.	6 ft.	7 ft.	8 ft.	9 ft.	10 ft.	11 ft.	12 ft.	13 ft.	14 ft.	15 ft.	16 ft.	
30	Rh	30.0	45.0	60.0	75.0	95.0	110.0	125.0	140.0	155.0	170.0	185.0	195.0	210.0	225.0	240.0	
	Rv	90.0	135.0	184.6	229.6	291.1	336.1	381.1	426.1	471.1	516.1	565.7	595.1	639.1	684.1	733.8	
40	Rh	40.0	60.0	80.0	100.0	126.7	146.7	166.7	186.7	206.7	226.7	246.7	260.0	280.0	300.0	320.0	
	Rv	114.3	168.8	223.3	283.0	353.9	413.6	468.1	522.6	582.4	636.9	691.4	729.5	784.0	843.8	898.3	
60	Rh	60.0	90.0	120.0	150.0	190.0	220.0	250.0	280.0	310.0	340.0	370.0	390.0	420.0	450.0	480.0	
	Rv	144.0	213.2	288.0	357.1	451.2	526.0	595.2	664.3	739.2	808.3	883.2	927.5	1002.3	1071.4	1140.6	
70	Rh	70.0	105.0	140.0	175.0	221.7	256.7	291.7	326.7	361.7	396.7	431.7	455.0	490.0	525.0	560.0	
	Rv	150.0	225.0	300.0	375.0	478.6	553.5	628.5	703.5	778.6	853.6	928.6	980.4	1055.4	1130.4	1205.4	
90	Rh	90.0	135.0	180.0	225.0	285.0	330.0	375.0	420.0	465.0	510.0	555.0	585.0	630.0	675.0	720.0	
	Rv	180.0	264.1	354.1	444.1	558.2	648.2	738.2	828.2	918.2	1002.3	1092.3	1152.3	1242.3	1326.4	1416.4	
110	Rh	110.0	165.0	220.0	275.0	384.3	403.3	458.3	513.3	568.3	623.3	678.3	715.0	770.0	825.0	880.0	
	Rv	194.1	291.2	388.2	485.3	612.8	709.9	806.9	904.0	1001.1	1098.1	1195.2	1256.1	1353.1	1450.2	1547.3	



- NOTES:
- Deflections are delivered from test results.
 - Reaction Rh can be positive (towards structure) or negative (away from structure).
 - Rv is always tension as shown.

DEFLECTION TABLES



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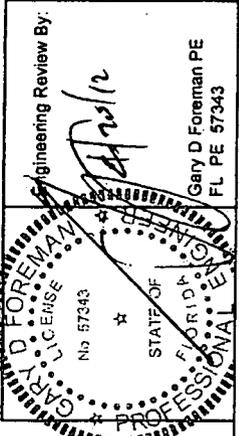
CONCRETE, 3000 PSI - 1/4" AND 5/16" ANCHORS

Anchor	Min. Embed.	Min. E.D.	Pressure (psf)	Span		
				to 48"	to 76" to 100"	to 124" to 148"
1/2" DIA. SS DROP-IN ANCHORS	1"	3 1/2"	30 (psf)	12"	12"	6"
			40 (psf)	12"	12"	6"
			60 (psf)	12"	6"	6"
			90 (psf)	12"	6"	6"
			110 (psf)	12"	6"	6"
1/2" DIA. TAPCON SG	1 3/4"	2 1/2"	30 (psf)	12"	12"	12"
			40 (psf)	12"	12"	12"
			60 (psf)	12"	12"	6"
			90 (psf)	12"	6"	6"
			110 (psf)	12"	6"	6"
1/2" DIA. X 1 3/4" SS TAPCON	1 3/4"	2 1/2"	30 (psf)	12"	12"	6"
			40 (psf)	12"	12"	6"
			60 (psf)	12"	6"	6"
			90 (psf)	12"	6"	6"
			110 (psf)	12"	6"	6"
1/2" DIA. X 2 1/4" PANELMATE (INSTALL PER MANUFACTURER'S INSTRUCTIONS)	1 3/4"	2 1/2"	30 (psf)	12"	12"	6"
			40 (psf)	12"	12"	6"
			60 (psf)	12"	6"	6"
			90 (psf)	12"	6"	6"
			110 (psf)	12"	6"	6"
1/2" DIA. SAMMY'S SSC (INSTALL PER MIAMI-DADE NOA NO. 06-0222.07)	2 1/4"	2 1/2"	30 (psf)	12"	12"	12"
			40 (psf)	12"	12"	12"
			60 (psf)	12"	6"	6"
			90 (psf)	12"	6"	6"
			110 (psf)	12"	6"	6"
1/2" ELCO CRETE FLEX 410 SS	2"	2 1/2"	30 (psf)	12"	12"	12"
			40 (psf)	12"	12"	12"
			60 (psf)	12"	6"	6"
			90 (psf)	12"	6"	6"
			110 (psf)	12"	6"	6"
1/2" POWERS POWER STUD SS	2"	3"	30 (psf)	12"	12"	6"
			40 (psf)	12"	12"	6"
			60 (psf)	12"	6"	6"
			90 (psf)	12"	6"	6"
			110 (psf)	12"	6"	6"
1/2" DIA. POWERS WEDGE BOLT 410 SS	1 3/4"	3"	30 (psf)	18"	18"	12"
			40 (psf)	18"	18"	12"
			60 (psf)	12"	12"	6"
			90 (psf)	12"	6"	6"
			110 (psf)	12"	6"	6"

CONCRETE, 3000 PSI - 3/8" AND 1/2" ANCHORS

Anchor	Min. Embed.	Min. E.D.	Pressure (psf)	Span		
				to 48"	to 76" to 100"	to 124" to 148"
1/2" DIA. ALL POINTS SOLID SET ANCHORS (VALUES AND INSTALLATION PER MIAMI-DADE NOA 05-118.04 EXP. 12-2011)	7/8"	3"	30 (psf)	12"	12"	12"
			40 (psf)	12"	12"	12"
			60 (psf)	12"	6"	6"
			90 (psf)	12"	6"	6"
			110 (psf)	12"	6"	6"
3/4" - 20 CALK-IN ANCHORS (INSTALL PER MANUFACTURER'S INSTRUCTIONS)	1 1/4"	3 1/2"	30 (psf)	12"	12"	12"
			40 (psf)	12"	12"	6"
			60 (psf)	12"	6"	6"
			90 (psf)	12"	6"	6"
			110 (psf)	12"	6"	6"
1/2" Dia. Powers SS Mushroom Spike Anchor (Install per manufacturer's instructions)	1 1/4"	3 1/2"	30 (psf)	12"	12"	6"
			40 (psf)	12"	6"	6"
			60 (psf)	12"	6"	6"
			90 (psf)	6"	6"	6"
			110 (psf)	6"	6"	6"
1/2" DIA. HOLLOW SET DROP-IN ANCHORS (INSTALL PER MANUFACTURER'S INSTRUCTIONS)	7/8"	3 1/2"	30 (psf)	12"	6"	6"
			40 (psf)	12"	6"	6"
			60 (psf)	6"	6"	6"
			90 (psf)	6"	6"	6"
			110 (psf)	6"	6"	6"
1/2" CONFAST HURRICANE SHUTTER INSERT ANCHOR W/ 1/2" DIA. INTERNAL THREAD	1"	1 1/2"	30 (psf)	12"	12"	12"
			40 (psf)	12"	12"	12"
			60 (psf)	12"	12"	6"
			90 (psf)	12"	6"	6"
			110 (psf)	12"	6"	6"
3/8" ITW BUILDDEX XL SERIES TAPCON	1 3/4"	2 1/4"	30 (psf)	12"	12"	12"
			40 (psf)	12"	12"	12"
			60 (psf)	12"	12"	6"
			90 (psf)	12"	6"	6"
			110 (psf)	12"	6"	6"

CONCRETE NOTES:
 • Provide longer fasteners, if required, to allow for thickness of finishes such as stucco, plaster, siding, etc.



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CONCRETE, 3000 PSI - 3/8" AND 1/2" ANCHORS

TABLE 3 ANCHOR SPACING

Anchor	Min. Embed.	Min. E.D.	Pressure (psf)	Span						
				to 48"	to 76"	to 100"	to 124"	to 148"	to 168" to 192"	
3/8" ASTM 304-316 SS THREADED ROD IN EPOXY W/ SS COUPLER AND EYEBOLT (INSTALL PER MANUFACTURERS INSTRUCTIONS)	3 3/8"	4"	30 (psf)	18"	18"	18"	18"	18"	18"	18"
			40 (psf)	18"	18"	18"	18"	18"	18"	18"
			60 (psf)	18"	18"	18"	18"	18"	18"	18"
			90 (psf)	18"	18"	18"	18"	18"	18"	12"
			110 (psf)	18"	18"	18"	18"	18"	12"	12"
3/8" DIA. 410 SS POWERS WEDGE BOLT (LDT)	2 1/2"	3 1/2"	30 (psf)	18"	18"	18"	18"	18"	18"	18"
			40 (psf)	18"	18"	18"	18"	18"	18"	12"
			60 (psf)	18"	18"	18"	18"	12"	12"	12"
			90 (psf)	18"	18"	18"	12"	12"	6"	6"
			110 (psf)	18"	18"	12"	12"	6"	6"	6"
3/8" DIA. SS DROP-IN ANCHORS	1 1/2"	4"	30 (psf)	18"	18"	18"	18"	12"	12"	12"
			40 (psf)	18"	18"	18"	12"	12"	12"	12"
			60 (psf)	18"	18"	12"	12"	12"	6"	6"
			90 (psf)	18"	12"	12"	6"	6"	6"	6"
			110 (psf)	18"	12"	6"	6"	6"	6"	6"
3/8"-16 CAULK-IN BOLT (INSTALL PER MANUFACTURERS INSTRUCTIONS)	1 1/4"	4"	30 (psf)	12"	12"	12"	12"	12"	12"	6"
			40 (psf)	12"	12"	12"	12"	12"	6"	6"
			60 (psf)	12"	12"	12"	6"	6"	6"	6"
			90 (psf)	12"	12"	6"	6"	6"	6"	6"
			110 (psf)	12"	6"	6"	6"	6"	6"	6"

3000 PSI CONCRETE - 3/8" ANCHORS

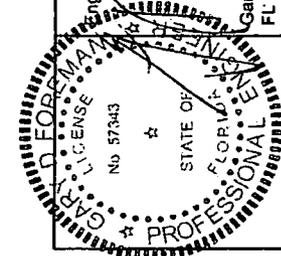
Anchor	Min. Embed.	Min. E.D.	Pressure (psf)	Span					
				to 48"	to 76"	to 100"	to 124"	to 148"	to 168" to 192"
3/8" DIA. POWERS SS MUSHROOM SPIKE ANCHOR (INSTALL PER MANUFACTURERS INSTRUCTIONS)	1 3/4"	4"	30 (psf)	12"	12"	12"	12"	12"	6"
			40 (psf)	12"	12"	12"	6"	6"	6"
			60 (psf)	12"	12"	6"	6"	6"	6"
			90 (psf)	12"	6"	6"	6"	6"	6"
			110 (psf)	12"	6"	6"	6"	6"	6"
3/8" DIA. POWERS SS MUSHROOM SPIKE ANCHOR (INSTALL PER MANUFACTURERS INSTRUCTIONS)	1 3/4"	3 1/2"	30 (psf)	18"	18"	18"	18"	18"	18"
			40 (psf)	18"	18"	18"	18"	18"	18"
			60 (psf)	18"	18"	18"	18"	18"	12"
			90 (psf)	18"	18"	18"	12"	12"	6"
			110 (psf)	18"	18"	12"	12"	6"	6"
3/8" DIA. POWERS HOLLOW SET DROP-IN ANCHORS (INSTALL PER MANUFACTURERS INSTRUCTIONS)	1 1/4"	4"	30 (psf)	18"	18"	18"	18"	18"	12"
			40 (psf)	18"	18"	18"	12"	12"	6"
			60 (psf)	18"	18"	12"	12"	12"	6"
			90 (psf)	18"	12"	12"	6"	6"	6"
			110 (psf)	18"	12"	6"	6"	6"	6"
3/8" POWERS POWER STUD SS	1 5/8"	4"	30 (psf)	12"	12"	12"	12"	12"	12"
			40 (psf)	12"	12"	12"	12"	12"	12"
			60 (psf)	12"	12"	12"	12"	12"	12"
			90 (psf)	12"	12"	12"	12"	12"	12"
			110 (psf)	12"	12"	12"	12"	12"	6"

CONCRETE NOTES:

- Provide longer fasteners, if required, to allow for thickness of finishes such as stucco, plaster, siding, etc.
- 1/2" Hardware Anchor Spacing only valid with C-Channel mounting.

Anchor	Min. Embed.	Min. E.D.	Pressure (psf)	Span					
				to 48"	to 76"	to 100"	to 124"	to 148"	to 168" to 192"
1/2" DIA. SS DROP-IN ANCHORS	2"	5"	30 (psf)	24"	24"	24"	24"	24"	18"
			40 (psf)	24"	24"	24"	24"	18"	18"
			60 (psf)	24"	24"	24"	18"	12"	12"
			90 (psf)	24"	24"	18"	12"	12"	6"
			110 (psf)	24"	24"	18"	12"	6"	6"
1/2" DIA. SS POWERS WEDGE BOLT (LDT)	3 1/2"	5"	30 (psf)	24"	24"	24"	24"	24"	24"
			40 (psf)	24"	24"	24"	24"	24"	24"
			60 (psf)	24"	24"	24"	24"	18"	18"
			90 (psf)	24"	24"	24"	24"	18"	12"
			110 (psf)	24"	24"	24"	24"	18"	12"

3000 PSI - CONCRETE



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 Gary D Foreman PE
 FL PE 57343

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CONCRETE BLOCK (CMU) - 1/4" ANCHOR SPACING

Anchor	Min. Embed.	Min. E.D.	Pressure (psf)	Span		
				to 48"	to 76"	to 100" to 148"
1/2" DIA. TAPCON SG (INSTALL PER MANUFACTURERS INSTRUCTIONS)	1 1/4" shall be in face shell, not mortar joints	2 1/2"	30 (psf)	12"	12"	12" to 148"
			40 (psf)	12"	12"	6" to 6"
			60 (psf)	12"	6"	6" to 6"
			90 (psf)	12"	6"	6" to 6"
1" DIA. ALL POINTS SOLD SET ANCHORS (VALUES AND INSTALLATION PER MANUFACTURER NOA 05-1116.04 EXP. 12-2011)	7/8" shall be in face shell, not mortar joints	3"	30 (psf)	12"	12"	6" to 6"
			40 (psf)	12"	12"	6" to 6"
			60 (psf)	12"	6"	6" to 6"
			90 (psf)	12"	6"	6" to 6"
3/4" DIA. CALK-IN ANCHORS	7/8" shall be in face shell, not mortar joints	3"	30 (psf)	12"	6"	6" to 6"
			40 (psf)	6"	6"	6" to 6"
			60 (psf)	6"	6"	6" to 6"
			90 (psf)	6"	6"	6" to 6"
1/2" DIA. X 1 3/4" TAPCON (INSTALL PER MANUFACTURER NOA 03-0114.03)	1 3/4" shall be in face shell, not mortar joints	2 1/2"	30 (psf)	12"	6"	6" to 6"
			40 (psf)	6"	6"	6" to 6"
			60 (psf)	6"	6"	6" to 6"
			90 (psf)	6"	6"	6" to 6"
1/2" DIA. X 2 1/2" PANELMATE (INSTALL PER MANUFACTURERS INSTRUCTIONS)	1 1/4" shall be in face shell, not mortar joints	3"	30 (psf)	12"	6"	6" to 6"
			40 (psf)	12"	6"	6" to 6"
			60 (psf)	6"	6"	6" to 6"
			90 (psf)	6"	6"	6" to 6"
1/2" DIA. X 2 1/2" PANELMATE (INSTALL PER MANUFACTURERS INSTRUCTIONS)	1 3/4" shall be in face shell, not mortar joints	2"	30 (psf)	12"	6"	6" to 6"
			40 (psf)	12"	6"	6" to 6"
			60 (psf)	6"	6"	6" to 6"
			90 (psf)	6"	6"	6" to 6"
CONFAST HURRICANE SHUTTER INSERT ANCHOR W/ 1/2" DIA. INTERNAL THREAD	1 5/8" shall be in face shell, not mortar joints	4"	30 (psf)	12"	6"	6" to 6"
			40 (psf)	12"	6"	6" to 6"
			60 (psf)	12"	6"	6" to 6"
			90 (psf)	6"	6"	6" to 6"
			110 (psf)	6"	6"	6" to 6"

CONCRETE BLOCK (CMU) CMU F_m = 1800 psi (note typical F_m = 1500 psi)

CONCRETE BLOCK (CMU) - 3/8" ANCHOR SPACING

Anchor	Min. Embed.	Min. E.D.	Pressure (psf)	Span		
				to 48"	to 76"	to 100" to 148"
3/8"-16 Calk-In Anchors	1 3/4" shall be in face shell, not mortar joints	4"	30 (psf)	12"	12"	12" to 188"
			40 (psf)	12"	12"	6" to 6"
			60 (psf)	12"	6"	6" to 6"
			90 (psf)	12"	6"	6" to 6"
3/8" DIA. HOLLOW SET DROP-IN ANCHORS	1" shall be in face shell, not mortar joints	4"	30 (psf)	12"	6"	6" to 6"
			40 (psf)	12"	6"	6" to 6"
			60 (psf)	6"	6"	6" to 6"
			90 (psf)	6"	6"	6" to 6"
3/8" POWERS TAPPER	1 3/4" shall be in face shell, not mortar joints	4"	30 (psf)	12"	6"	6" to 6"
			40 (psf)	12"	6"	6" to 6"
			60 (psf)	12"	6"	6" to 6"
			90 (psf)	6"	6"	6" to 6"
			110 (psf)	6"	6"	6" to 6"

CONCRETE BLOCK (CMU) CMU F_m = 1800 psi (note typical F_m = 1500 psi)

CMU AND TERRA COTTA BLOCK WITH STUCCO - 1/4" AND 3/8"

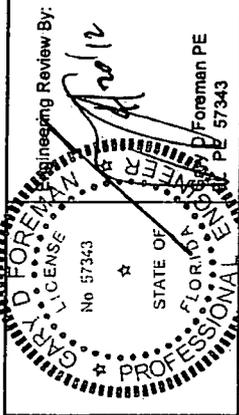
Anchor	Min. Embed.	Min. E.D.	Pressure (psf)	Span		
				to 48"	to 76"	to 100" to 148"
ELCO 1/2" X 2 1/4" CRETIFLEX MASONRY FASTENERS (INSTALL PER MANUFACTURERS INSTRUCTIONS)	1 1/4"	2 1/2"	30 (psf)	12"	12"	6" to 6"
			40 (psf)	12"	6"	6" to 6"
			60 (psf)	12"	6"	6" to 6"
			90 (psf)	6"	6"	6" to 6"
CUSTOM COUPLER IN EPOXY	3 1/4"	4"	30 (psf)	12"	12"	12" to 12"
			40 (psf)	12"	12"	12" to 6"
			60 (psf)	12"	12"	6" to 6"
			90 (psf)	12"	12"	6" to 6"
			110 (psf)	12"	12"	6" to 6"

Notes: 1. Custom fastener = 3/8" x 2 1/4" threaded rod (30455) w/ 1/2" x 1 1/4" coupler (31656) fully inserted in 1/2" dia. 3 1/2" screen tube fully filled w/ Sikadur Anchorfix-4 Injection Gel.
2. 3/8" x 1" carriage bolt, eye bolt, or machine screw

Allowable values for Terra Cotta Block with Stucco per HTL Test report #0365-0416-06 dated 05-31-06.

TABLE 5 ANCHOR SPACING

CONCRETE BLOCK (CMU) NOTES:
 • Provide longer fasteners, if required, to allow for thickness of finishes such as stucco, plaster, siding, etc.



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TABLE 6 ANCHOR SPACING

SOLID GROUTED (CMU) - 1/4" AND 3/8"

Anchor	Min. Embed.	Min. E.D.	Pressure (psf)	Span		
				to 48"	to 76"	to 100" to 124" to 148"
1/2" DIA. TAPCON SG (INSTALL PER MANUFACTURERS INSTRUCTIONS)	1 3/4" shall be in face shell, not mortar joints	2 1/2"	30 (psf)	12"	12"	12"
			40 (psf)	12"	12"	12"
			60 (psf)	12"	12"	12"
			90 (psf)	12"	12"	6"
			110 (psf)	12"	6"	6"
1/2" DIA. X 1 3/4" 410 SS TAPCON (INSTALL PER MIAMI-DADE NOA 03-0114.09)	2 1/4" shall be in face, not mortar joints	2 1/2"	30 (psf)	12"	12"	12"
			40 (psf)	12"	12"	6"
			60 (psf)	12"	12"	6"
			90 (psf)	12"	6"	6"
			110 (psf)	12"	6"	6"
1/2" DIA. 410 SS POWERS WEDGE BOLT (INSTALL PER MANUFACTURERS INSTRUCTIONS)	1 3/4" shall be in face, not mortar joints	3 3/4"	30 (psf)	12"	12"	6"
			40 (psf)	12"	12"	6"
			60 (psf)	12"	6"	6"
			90 (psf)	6"	6"	6"
			110 (psf)	6"	6"	6"
CONFAST HURRICANE SHUTTER INSERT ANCHOR W/ 1/2" DIA. INTERNAL THREAD (spacing per test #01 dated 2-8-08)	1 5/8" shall be in face, not mortar joints	4"	30 (psf)	18"	18"	18"
			40 (psf)	18"	18"	18"
			60 (psf)	18"	18"	18"
			90 (psf)	12"	12"	12"
			110 (psf)	12"	6"	6"
1/2" DIA. -20 CALK-IN ANCHOR (INSTALL PER MANUFACTURERS INSTRUCTIONS)	7/8" shall be in face, not mortar joints	3 1/2"	30 (psf)	12"	12"	6"
			40 (psf)	12"	12"	6"
			60 (psf)	12"	6"	6"
			90 (psf)	12"	6"	6"
			110 (psf)	12"	6"	6"
1/4" ELCO CRETE-FLEX 410 SS	2" shall be in face, not mortar joints	2 1/2"	30 (psf)	12"	12"	6"
			40 (psf)	12"	6"	6"
			60 (psf)	12"	6"	6"
			90 (psf)	6"	6"	6"
			110 (psf)	6"	6"	6"

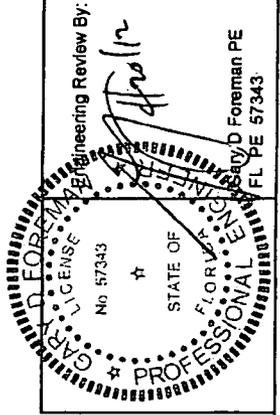
SOLID GROUTED (CMU)

Anchor	Min. Embed.	Min. E.D.	Pressure (psf)	Span							
				to 48"	to 76"	to 100"	to 124"	to 148"	to 168"	to 192"	
3/8" ASTM 304-316 SS THREADED ROD IN EPOXY AND EYEBOLT (INSTALL PER MANUFACTURERS INSTRUCTIONS)	3 1/2" shall be in face shell, not mortar joints	12"	30 (psf)	12"	12"	12"	12"	12"	12"	12"	12"
			40 (psf)	12"	12"	12"	12"	12"	12"	12"	12"
			60 (psf)	12"	12"	12"	12"	12"	12"	12"	12"
			90 (psf)	12"	12"	12"	12"	12"	12"	6"	6"
			110 (psf)	12"	12"	12"	12"	12"	6"	6"	6"
1/2" DIA. POWERS WEDGE BOLT (LDT) 410 SS (spacing per test #04 dated 12-7-07)	2 1/2" shall be in face shell, not mortar joints	4"	30 (psf)	24"	24"	24"	24"	24"	24"	24"	24"
			40 (psf)	24"	24"	24"	24"	24"	24"	24"	24"
			60 (psf)	18"	18"	18"	18"	18"	18"	18"	18"
			90 (psf)	12"	12"	12"	12"	12"	12"	6"	6"
			110 (psf)	12"	12"	12"	12"	12"	6"	6"	6"
1/2" DIA. POWERS HOLLOW SET DROP-IN ANCHOR (INSTALL PER MANUFACTURERS INSTRUCTIONS)	1 3/4" shall be in face shell, not mortar joints	5 1/4"	30 (psf)	12"	12"	12"	12"	12"	12"	12"	12"
			40 (psf)	12"	12"	12"	12"	12"	6"	6"	
			60 (psf)	12"	12"	12"	12"	6"	6"	6"	
			90 (psf)	12"	12"	12"	6"	6"	6"	6"	
			110 (psf)	12"	6"	6"	6"	6"	6"	6"	
3/8" DIA. CALK-IN ANCHOR 410 SS (INSTALL PER MANUFACTURERS INSTRUCTIONS)	1 1/4" shall be in face shell, not mortar joints	5 1/4"	30 (psf)	12"	12"	12"	12"	12"	12"	12"	12"
			40 (psf)	12"	12"	12"	12"	12"	6"	6"	
			60 (psf)	12"	12"	12"	12"	6"	6"	6"	
			90 (psf)	12"	12"	12"	6"	6"	6"	6"	
			110 (psf)	12"	6"	6"	6"	6"	6"	6"	
3/8" POWERS MUSHROOM SPIKE (SPACING PER TEST #04 DATED 12-7-07)	1 3/4" shall be in face shell, not mortar joints	4"	30 (psf)	24"	24"	24"	24"	24"	24"	24"	24"
			40 (psf)	24"	24"	24"	24"	24"	24"	24"	24"
			60 (psf)	18"	18"	18"	18"	18"	18"	18"	18"
			90 (psf)	12"	12"	12"	12"	12"	12"	6"	6"
			110 (psf)	12"	12"	12"	12"	12"	6"	6"	6"

SOLID GROUTED (CMU)

SOLID GROUTED CMU NOTES:

- Spacing for fasteners used in testing are shown at spacing used in tests
- Spacing for all other fasteners calculated with SF=3 min.



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SOLID GROUTED CMU NOTES:

- Provide longer fasteners, if required, to allow for thickness of finishes such as stucco plaster, siding, etc.

TABLE 7 ANCHOR SPACING

WOOD SYP #2 - 1/4" 5/16" 3/8" 1/2"

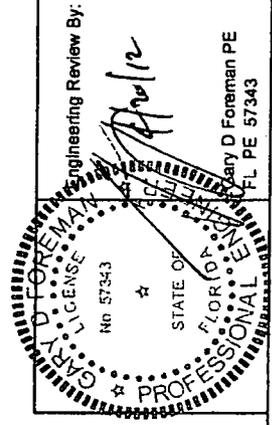
Anchor	Min. Embed.	Min. E.D.	Pressure (psf)	Span					
				to 48"	to 76"	to 100"	to 124"	to 148"	
1/2" DIA. X 2 1/2" PANELMATE (INSTALL PER MANUFACTURER'S INSTRUCTIONS)	1 3/4"	2"	30 (psf)	12"	12"	12"	12"	6"	6"
			40 (psf)	12"	12"	12"	6"	6"	6"
			60 (psf)	12"	6"	6"	6"	---	---
			90 (psf)	6"	6"	---	---	---	---
			110 (psf)	6"	6"	---	---	---	---
1/2" DIA. PANELMATE (INSTALL PER MANUFACTURER'S INSTRUCTIONS) (VALUES PER NDS FOR WOOD CONSTRUCTION)	1 3/4"	3/4"	30 (psf)	12"	12"	12"	12"	6"	6"
			40 (psf)	12"	12"	6"	6"	6"	
			60 (psf)	12"	6"	6"	6"	---	
			90 (psf)	6"	6"	---	---	---	
			110 (psf)	6"	6"	---	---	---	
1/2" DIA. X 1 3/4" TAPCON (INSTALL PER MANUFACTURER'S INSTRUCTIONS) (VALUES PER NDS FOR WOOD CONSTRUCTION)	1 3/4"	3/4"	30 (psf)	12"	12"	12"	12"	6"	6"
			40 (psf)	12"	12"	6"	6"	6"	
			60 (psf)	12"	6"	6"	6"	---	
			90 (psf)	6"	6"	---	---	---	
			110 (psf)	6"	6"	---	---	---	
1/2" DIA. SS LAG SCREWS OR EYE LAG OR HANGER BOLT	2"	1" into stud or lintel	30 (psf)	12"	12"	12"	12"	6"	6"
			40 (psf)	12"	12"	6"	6"	6"	
			60 (psf)	12"	12"	6"	6"	---	
			90 (psf)	6"	6"	---	---	---	
			110 (psf)	6"	6"	---	---	---	
5/8" DIA. SS LAG SCREWS OR EYE LAG OR HANGER BOLT	2"	1 1/4" into stud or lintel	30 (psf)	12"	12"	12"	12"	6"	6"
			40 (psf)	12"	12"	6"	6"	6"	
			60 (psf)	12"	6"	6"	6"	---	
			90 (psf)	6"	6"	---	---	---	
			110 (psf)	6"	6"	---	---	---	

WOOD SYP #2

Anchor	Min. Embed.	Min. E.D.	Pressure (psf)	Span					
				to 48"	to 76"	to 100"	to 124"	to 148"	to 168"
3/8" DIA. SS LAG SCREWS OR EYE LAG OR HANGER BOLT	2"	1 1/2" into stud or lintel	30 (psf)	12"	12"	12"	12"	6"	6"
			40 (psf)	12"	12"	12"	6"	6"	6"
			60 (psf)	12"	12"	6"	6"	---	---
			90 (psf)	12"	6"	6"	---	---	---
3/8" DIA. SS LAG SCREW OR LAG ANCHOR OR HANGER BOLT	3"	1 1/2" into stud or lintel	30 (psf)	12"	12"	12"	12"	12"	6"
			40 (psf)	12"	12"	12"	12"	6"	6"
			60 (psf)	12"	12"	6"	6"	6"	6"
			90 (psf)	12"	6"	6"	---	---	---
5/8" DIA. SS LAG SCREW OR LAG ANCHOR OR HANGER BOLT	3"	2" into side grain	30 (psf)	12"	12"	12"	12"	12"	12"
			40 (psf)	12"	12"	12"	12"	12"	6"
			60 (psf)	12"	12"	6"	6"	6"	6"
			90 (psf)	12"	12"	6"	6"	6"	6"
WOOD SYP #2			110 (psf)	12"	6"	6"	6"	6"	6"
			30 (psf)	12"	12"	12"	12"	12"	12"
			40 (psf)	12"	12"	12"	12"	12"	6"
			60 (psf)	12"	12"	12"	12"	6"	6"

WOOD SYP #2 NOTES:

- Provide longer fasteners, if required, to allow for thickness of finishes such as stucco, plaster, siding, etc.
- Design as per NDS 2005.
- *Lag Anchor to be fully embedded.
- Douglas Fir - Larch alternate acceptable wood type



Engineering Review By: *[Signature]*

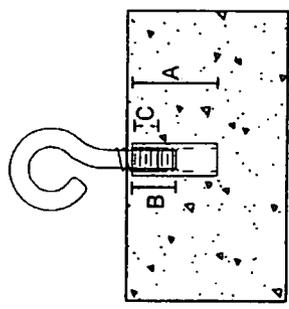
ARMOR SCREEN
GROMMET AND HEMCORD SERIES 2000
HURRICANE PROTECTION
 ARMOR SCREEN, Inc.
 1881 Old Okeechobee Road
 West Palm Beach, FL 33409
 (561) 841-8880 www.armorcreen.com
 Date: 10/23/07 Rev. Date: 10/11/10
 Scale: Not to Scale Page: 19 of 20

METAL - 1/4" - 3/8" **TABLE 8 ANCHOR SPACING**

Anchor	Min. Embed.	Min. E.D.	Pressure (psf)	Span																								
				to 48"	to 76"	to 100"	to 124"	to 148"	to 168"	to 192"																		
20 GAGE METAL 1/2"-14 TEKS SELF-TAPPING SCREWS			30 (psf)	6"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"								
			40 (psf)	6"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"							
			60 (psf)	6"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"						
			90 (psf)	6"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"					
			110 (psf)	6"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"	3"					
18 GAGE METAL 1/2"-14 TEKS SELF-TAPPING SCREWS (spacing per test #01 dated 2-8-08)			30 (psf)	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"						
			40 (psf)	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"					
			60 (psf)	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"				
			90 (psf)	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"			
			110 (psf)	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"		
3/8" STEEL 1/2"-14 TEKS SELF-TAPPING SCREWS			30 (psf)	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"					
			40 (psf)	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"			
			60 (psf)	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	
			90 (psf)	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	
			110 (psf)	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"
3/8" AND 1/2" STEEL 1/2"-14 TEKS SELF-TAPPING SCREWS		1"	30 (psf)	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"		
			40 (psf)	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	
			60 (psf)	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"
			90 (psf)	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"
			110 (psf)	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"
3/8" ALUMINUM 1/2"-14 TEKS SS SELF-TAPPING SCREWS			30 (psf)	12"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"		
			40 (psf)	12"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	
			60 (psf)	12"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"
			90 (psf)	12"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"
			110 (psf)	12"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"
3/8" ALUMINUM RIVET-NUTS INTERNALLY THREADED		1"	30 (psf)	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"		
			40 (psf)	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	
			60 (psf)	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"
			90 (psf)	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"
			110 (psf)	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"

- METAL NOTES:**
- Minimum 3 pitch shall extend past metal substrate.
 - Install as per manufacturer's instructions.
 - 3" Spacing only valid with C-Channel & F-Track mounting. Grommet spacing to be 6" on center.
 - Rivet-nuts shall be installed as per manufacturer's instructions with the appropriate tool.
 - Self drilling screws into 18 gage metal studs shall be through C-Channel with threads into metal studs.

DROP-IN ANCHOR	Embedment	
		1/4"
A	1"	1 1/8"
B	1/2"	1 1/8"
C	3/8"	7/8"



- A - Drop-In Length
- B - Drop-In Internal Thread
- C - Minimum Thread Engagement

MINIMUM BOLT ENGAGEMENT IN COUPLER

ARMOR SCREEN
GROMMET AND HEMCORD SERIES 2000
HURRICANE PROTECTION

ARMOR SCREEN, Inc.
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Date: 10/23/07 Rev. Date: 10/1/10

Scale: Not to Scale Page: 20 of 20

Engineering Review By: Gary D Foreman PE
FL PE 57343

STATE OF FLORIDA
PROFESSIONAL ENGINEER
No. 57343

- 1. 32x76
- 2. 74x76
- 3. 32x76
- 4. 74x32
- 5. 22Fx186F
- 6. 74x63
- 7. 37x85
- 8. 26x63
- 9. 26x63
- 10. 37x63
- 11. 26x63
- 12. 49x44
- 13. 111x63
- 14. 40x90
- 15. 78x101
- 16. 78x101
- 17. 48x44
- 18. 37x63
- 19. 37x63
- 20. 37x63
- 21. 37x63
- 22. 37x63
- 23. 106x85
- 24. 32x80
- 25. 26x50
- 26. 96x32
- 27. 27x63
- 28. 27x63
- 29. 37x38
- 30. 26x50
- 31. 26x50
- 32. 32x50
- 33. 32x38
- 34. 48x26
- 35. 32x38
- 36. 26x63
- 37. 26x50
- 38. 37x50
- 39. 26x50
- 40. 26x63
- 41. 26x63
- 42. 108x81
- 43. 53x63
- 44. 78x86
- 45. 78x86

Panels

ARMOR
SCREEN
BUCKLE

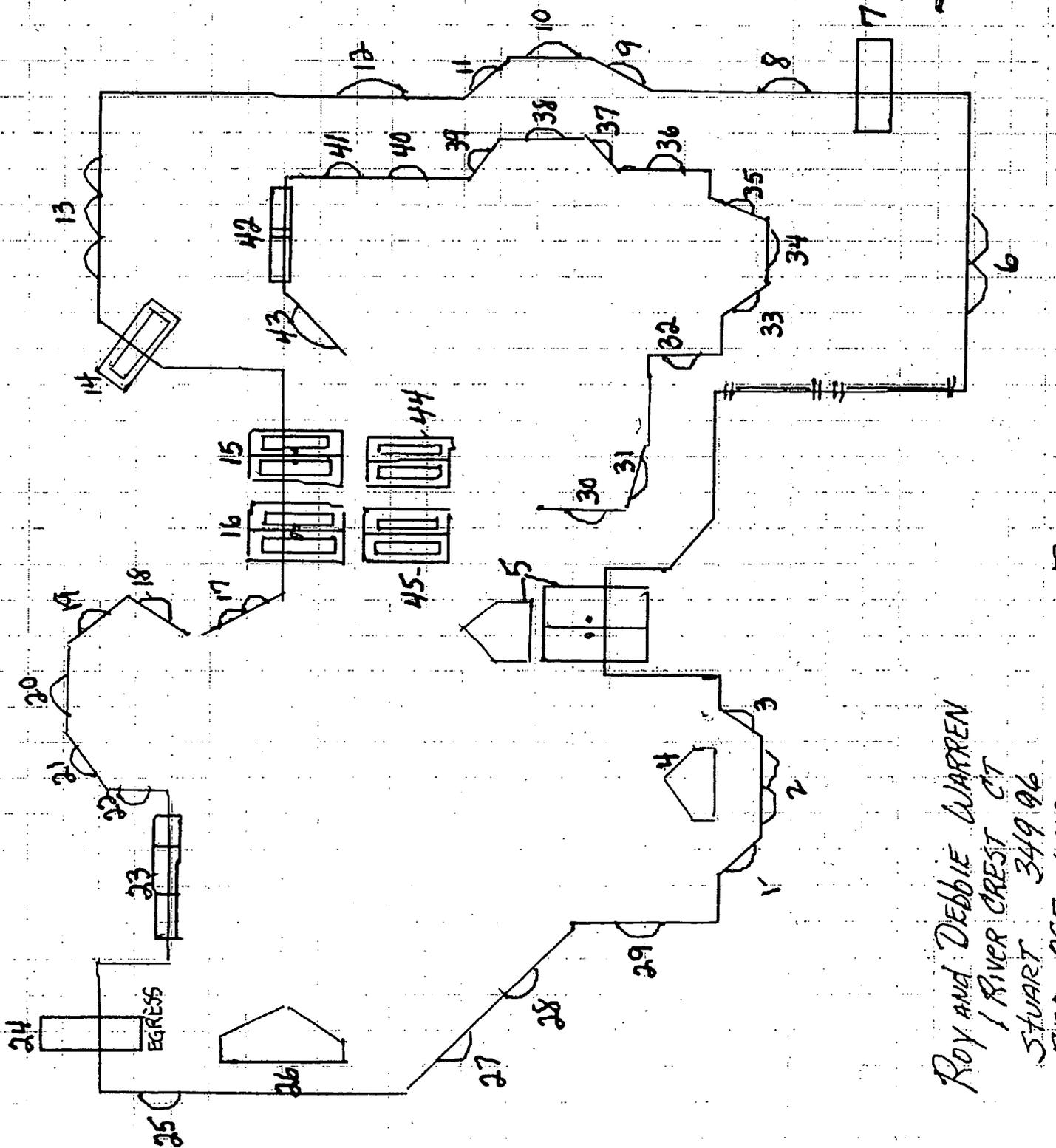
Panels

ARMOR
SCREEN
GROMMET

Panels

IMPACT
FIBERGLASS DOOR

Panels



FRONT

ROY AND DEBBIE WARREN
1 RIVER CREST CT
STUART 349 96
772 285 4512

2 STORY SINGLE FAMILY STUCCO OVER TUBED.

BUILDING INFORMATION	
Design Wind Speed	Nominal
Ultimate Wind Velocity (mph)	170
Nominal Wind Velocity (mph)	131.7
Exposure	C
Internal Pressure	
Height above ground (z) - (ft)	
Standard Wall Height - (ft)	
Mean Roof Height (z) - (ft)	25.0
Building Width (ft)	
Building Length (ft)	
Roof Slope (s:112)	
Roof Angle (degrees)	
(s) Edge Slope (ft)	0.00
End Zone (ft)	0.00
Parapet Along Roof Perimeter (ft)	



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ASCE 7-10

Version 7.1
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Building Permit Edition
Wind Load Program

JOB INFORMATION	
Client	WARREN
Address	1 River Crest Ct. Stuart, FL 34996
Company	Jupiter Aluminum Products, Inc.
Job Number	Heather Belmont
Preparer	
TOPOGRAPHIC FACTOR	
Hill Shape	Flat - No Hill
H ₁ (ft)	0.0
L ₁ (ft)	0.0
X ₁ (ft)	0.0
Z ₁ (ft)	0.0

WIND LOAD DESIGN INFORMATION

INFO.	APPLYING WIND LOAD FOR:	ZONE	OPENING ELEVATION (feet)	WIDTH (feet)	LENGTH (feet)	EFFECTIVE WIND AREA (sqft)	Nominal Wind Load Pressures		NOA Approval Number	Max Pressure Per NOA	Manufacturer	Model Number
							MAXIMUM POSITIVE PRESSURE (psf)	MAXIMUM NEGATIVE PRESSURE (psf)				
	1. Aluminum Hurricane Panels	4		2.7	6.3	17	34.2	-37.8	FL11964.R1		EMS	
	2. Aluminum Hurricane Panels	4		6.2	6.3	39	31.9	-35.5	FL11964.R1		EMS	
	3. Aluminum Hurricane Panels	4		2.7	6.3	17	34.2	-37.8	FL11964.R1		EMS	
	4. Aluminum Hurricane Panels	4		6.2	2.7	16	34.3	-37.9	FL11964.R1		EMS	
	5. Armor Screen	4		6.8	15.5	106	29.2	-32.8	FL812-R5		Armor Screen	
	6. Aluminum Hurricane Panels	4		6.2	5.3	32	32.5	-36.0	FL11964.R1		EMS	
	7. Aluminum Hurricane Panels	4		3.1	7.1	22	33.5	-37.1	FL11964.R1		EMS	
	8. Aluminum Hurricane Panels	4		2.2	5.3	11	35.3	-38.9	FL11964.R1		EMS	
	9. Aluminum Hurricane Panels	4		2.2	5.3	11	35.3	-38.9	FL11964.R1		EMS	
	10. Aluminum Hurricane Panels	4		3.1	5.3	16	34.3	-37.9	FL11964.R1		EMS	
	11. Aluminum Hurricane Panels	4		2.2	5.3	11	35.3	-38.9	FL11964.R1		EMS	
	12. Aluminum Hurricane Panels	4		4.1	3.4	14	34.8	-38.3	FL11964.R1		EMS	
	13. Aluminum Hurricane Panels	4		9.3	5.3	49	31.3	-34.9	FL11964.R1		EMS	
	14. Aluminum Hurricane Panels	4		3.3	7.5	25	33.2	-36.7	FL11964.R1		EMS	
	15. Armor Screen	4		6.5	8.4	55	31.0	-34.6	FL8363-R4		Armor Screen	
	16. Armor Screen	4		6.5	8.4	55	31.0	-34.6	FL8363-R4		Armor Screen	
	17. Aluminum Hurricane Panels	4		4.0	3.7	15	34.6	-38.2	FL11964.R1		EMS	
	18. Aluminum Hurricane Panels	4		3.1	5.3	16	34.3	-37.9	FL11964.R1		EMS	
	19. Aluminum Hurricane Panels	4		3.1	5.3	16	34.3	-37.9	FL11964.R1		EMS	
	20. Aluminum Hurricane Panels	4		3.1	5.3	16	34.3	-37.9	FL11964.R1		EMS	
	21. Aluminum Hurricane Panels	4		3.1	5.3	16	34.3	-37.9	FL11964.R1		EMS	
	22. Aluminum Hurricane Panels	4		3.1	5.3	16	34.3	-37.9	FL11964.R1		EMS	
	23. Aluminum Hurricane Panels	4		8.8	7.1	63	30.7	-34.2	FL11964.R1		EMS	
	24. Impact Fiberglass Door	4		2.7	6.7	18	34.1	-37.7	FL15187.1		Plastro	
	25. Aluminum Hurricane Panels	4		2.2	4.2	9	35.7	-39.2	FL11964.R1		EMS	
	26. Aluminum Hurricane Panels	4		8.0	2.7	21	33.6	-37.2	FL11964.R1		EMS	
	27. Aluminum Hurricane Panels	4		2.3	5.3	12	35.2	-38.8	FL11964.R1		EMS	
	28. Aluminum Hurricane Panels	4		2.3	5.3	12	35.2	-38.8	FL11964.R1		EMS	
	29. Aluminum Hurricane Panels	4		3.1	3.2	10	35.7	-39.2	FL11964.R1		EMS	
	30. Aluminum Hurricane Panels	4		2.2	4.2	9	35.7	-39.2	FL11964.R1		EMS	
	31. Aluminum Hurricane Panels	4		2.2	4.2	9	35.7	-39.2	FL11964.R1		EMS	
	32. Aluminum Hurricane Panels	4		2.7	4.2	11	35.4	-38.9	FL11964.R1		EMS	
	33. Aluminum Hurricane Panels	4		2.7	3.2	8	35.7	-39.2	FL11964.R1		EMS	
	34. Aluminum Hurricane Panels	4		4.0	2.2	9	35.7	-39.2	FL11964.R1		EMS	
	35. Aluminum Hurricane Panels	4		2.7	3.2	8	35.7	-39.2	FL11964.R1		EMS	
	36. Aluminum Hurricane Panels	4		2.2	5.3	11	35.3	-38.9	FL11964.R1		EMS	
	37. Aluminum Hurricane Panels	4		2.2	4.2	9	35.7	-39.2	FL11964.R1		EMS	

ALL OPENING INFORMATION

BUILDING INFORMATION	
Design Wind Speed	Nominal
Ultimate Wind Velocity (mph)	170
Nominal Wind Velocity (mph)	131.7
Exposure	C
Internal Pressure	
Height above ground (z) - (ft)	
Standard Wall Height - (ft)	
Mean Roof Height (h) - (ft)	25.0
Building Length (ft)	
Roof Slope (s:12)	
Roof Angle (degrees)	0.00
a) Edge Strip (ft)	0.00
End Zone (ft)	0.00
Parapet Along Roof Perimeter (ft)	



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ASCE 7-10

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Building Permit Edition

Wind Load Program

JOB INFORMATION	
Client	WARREN
Address	1 River Crest Ct, Stuart, FL 34996
Company	Jupiter Aluminum Products, Inc.
Job Number	
Prepared	Heather Belenoni

TOPOGRAPHIC FACTOR	
Hill Shape	Flat - No Hill
H ₁ (ft)	0.0
H ₂ (ft)	0.0
S ₁ (ft)	0.0
S ₂ (ft)	0.0

WIND LOAD DESIGN INFORMATION

NO.	APPLYING WIND LOAD FOR:	ZONE	OPENING ELEVATION (feet)	WIDTH (feet)	LENGTH (feet)	EFFECTIVE WIND AREA (sqft)	Nominal Wind Load Pressures		NOA Approval Number	Max Pressure Per NOA	Manufacturer	Model Number
							MAXIMUM POSITIVE PRESSURE (psf)	MAXIMUM NEGATIVE PRESSURE (psf)				
M	38. Aluminum Hurricane Panels	4		3.1	4.2	13	35.0	-38.5	FL11964.R1		EMS	
	39. Aluminum Hurricane Panels	4		2.2	4.2	9	35.7	-39.2	FL11964.R1		EMS	
	40. Aluminum Hurricane Panels	4		2.2	5.3	11	35.3	-38.9	FL11964.R1		EMS	
	41. Aluminum Hurricane Panels	4		2.2	5.3	11	35.3	-38.9	FL11964.R1		EMS	
M	42. Aluminum Hurricane Panels	4		9.0	6.8	61	30.7	-34.3	FL11964.R1		EMS	
	43. Aluminum Hurricane Panels	4		4.4	5.3	23	33.4	-36.9	FL11964.R1		EMS	
	44. Armor Screen	4		6.5	7.2	47	31.5	-35.0	FL8363.R4		Armor Screen	

45. Armor Screen 4 6.5 7.2 47 28.3 -31.5 FL8363.R4 Armor Screen

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection Mon Tue Wed Thur Fri 4/28/15 Page 1 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11258	Crane			
AM Requested	2 Timor St Flynn's Alc	Alc Final	PASS	CLOSE INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11248	Straka			
AM Requested	7 Fieldway Drive Harry Blue Bldrs, Inc	Column	PASS	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11232	Warren	Shutters +		
	2 River Crest Ct	Door final	PASS	CLOSE
	Jupiter Aluminum			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11162	Pryce	Temp		E-MAIL
*	22 Fieldway Drive Modern Movers	Power Pole	PASS	FDL INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11179	Alteslaben	Dry-in +		
	7 N River Road Independent Contractors	metal	PASS	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
10973	Conch Properties	Roof Dry-in +		
	19 Lantana Lane Conch Properties	metal, Framing wire lath	PASS	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11229	Lelo			
	27 Simara St Advantage Air	Alc Final	RESERVED	FOR THURSDAY AM INSPECTOR <i>[Signature]</i>

10915

FENCE

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: 10915

Date: _____
 OWNER/LESSEE NAME: Deborah Warren Phone (Day) _____ (Fax) _____
 Job Site Address: 1 River Crest Ct. City: Sewall's Pt State: FL Zip: _____
 Legal Description: River Crest lot 1 Parcel Control Number: 3537 41010 000 000 108
 Fee Simple Holder Name: n/a Address: _____
 City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):** FENCE

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner Builder questionnaire must accompany application)
 YES _____ NO NO
Has a Zoning Variance ever been granted on this property?
 YES _____ (YEAR) _____ NO _____
 (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
 Estimated Value of Improvements: \$ 1700.00
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
 Is subject property located in flood hazard area? VE10 _____ AE9 _____ AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
 Estimated Fair Market Value prior to improvement: \$ _____
 (Fair Market Value of the Primary Structure only, Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Stuart Fence Company Phone: 288-1151 Fax: 288-3035
 Qualifiers name: Chester J. Richmond Street: PO Box 2636 City: Stuart State: FL Zip: 34995
 State License Number: _____ OR: Municipality: _____ License Number: MC FE 3584

LOCAL CONTACT: _____ Phone Number: _____
 DESIGN PROFESSIONAL: _____ Fla. License# _____
 Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____
 Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE*: _____
 * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

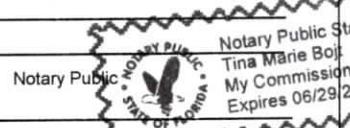
- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
- IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE:
 X Signed Contract attached
 State of Florida, County of: _____
 On This the _____ day of _____, 20____
 by _____ who is personally
 known to me or produced _____
 As identification. _____
 My Commission Expires: _____

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:
 X [Signature]
 State of Florida, County of: Martin
 On This the 17 day of JUNE, 2014
 by Chester J. Richmond who is personally
 known to me or produced _____
 As identification. [Signature]
 My Commission Expires: 06/29/2014



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

12/23/2013

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER RICK CARROLL INSURANCE AGENCY 2160 NE Dixie Highway PO Box 877 Jensen Beach FL 34958-0877	CONTACT NAME: Carla Green	
	PHONE (AC No Exh): (772) 334-3181 FAX (AC No): (772) 334-7742	
INSURED Stuart Fence Company Inc. and Stuart Retail PO Box 2636 Stuart FL 34995	E-MAIL ADDRESS: carla@rickcarroll.com	
	INSURER(S) AFFORDING COVERAGE	NAIC #
	INSURER A: First National Ins Co of Amer	19704
	INSURER B: American States Insurance	
	INSURER C:	
	INSURER D:	
	INSURER E:	
	INSURER F:	

COVERAGES CERTIFICATE NUMBER: CL13122305768 REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC		25CC1663017	8/18/2013	8/18/2014	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 200,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
B	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS		01CX3769388	12/20/2013	12/20/2014	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ Uninsured motorist combined \$ 100,000
B	UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input checked="" type="checkbox"/> RETENTION \$ 10,000		01SU41496650	8/18/2013	8/18/2014	EACH OCCURRENCE \$ 1,000,000 AGGREGATE \$ WC STATUTORY LIMITS OTHER
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	N/A				E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)
 THIS CERTIFICATE IS FOR PROOF OF INSURANCE ONLY. GENERAL LIABILITY CONTAINS ADDITIONAL INSURED ENDORSEMENTS ON A PRIMARY/NON CONTRIBUTORY BASIS - AND A WAIVER OF SUBROGATION (TRANSFER OF RIGHTS) ENDT, SEE ATTACHED.

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

Keith Carroll/DCH

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2013-2014

**MARTIN COUNTY ORIGINAL
BUSINESS TAX RECEIPT**

HONORABLE RUTH PIETRUSZEWSKI CFC, TAX COLLECTOR
3485 S.E. WILLOUGHBY BLVD., STUART, FL 34994
(772) 288-5604

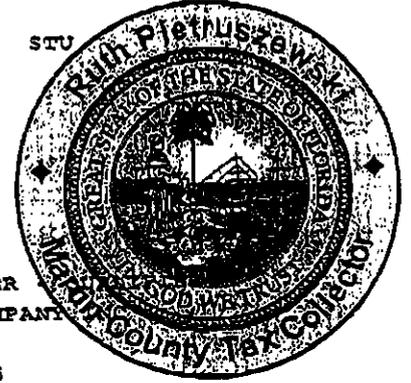
ACCOUNT 2004-518-0003 CERT# 3584

PHONE (772) 288-1151 SIC NO 238990

LOCATION:
3264 SE DIXIE HWY STU

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR.	\$.00	UIC. FEE	\$ 26.25
	\$.00	PENALTY	\$.00
	\$.00	GOL. FEE	\$.00
	\$.00	TRANSFER	\$.00
TOTAL		26.25	



RICHMOND, CHESTER
STUART FENCE COMPANY
PO BOX 2636
STUART, FL 34995

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF **FENCE ERECTION CONTRACTOR**
AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

29 DAY OF JULY 2013
AND ENDING SEPTEMBER 30, 2014

91 2012 03987.0001 26.25 PAID

**Martin County, Florida
Laurel Kelly, C.F.A**

generated on 6/27/2014 3:24:26 PM EDT

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
35-37-41-010-000-00010-8	9594	1 RIVER CREST CT, SEWALL'S POINT	\$420,750	6/21/2014

Owner Information

Owner(Current)	WARREN ROY M & DEBORAH C
Owner/Mail Address	1 RIVER CREST CT STUART FL 34996
Sale Date	12/16/2013
Document Book/Page	2693 1340
Document No.	2431682
Sale Price	560000

Location/Description

Account #	9594	Map Page No.	SP-01
Tax District	2200	Legal Description	RIVER CREST, LOT 1 PI#35-37-41-010- 000-00010-80000
Parcel Address	1 RIVER CREST CT, SEWALL'S POINT		
Acres	.4410		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120900 Sewall's Lndg/Castle Hill

Assessment Information

Market Land Value	\$180,000
Market Improvement Value	\$240,750
Market Total Value	\$420,750



MARTIN COUNTY BUILDING DEPARTMENT
900 SE BUSBYKE STREET
STUART, FL 34994
(772) 288-8916
FAX (772) 288-8911

EASEMENT AGREEMENT

Date: June 4th

Gentlemen:

I propose to apply for a Martin County permit to erect a Fence
in the (utility/drainage) easement on my property located at I. River Crest Ct.

LEGAL DESCRIPTION: LOT 1, BLOCK , SUBDIVISION

(Brief description of dimensions and location from property lines)

right front easement & left side of property

In the event you have no objection to this project, please complete this form and return to me at:

Address: Fax to 772-288-3035

City: State: Zip:

I understand your company will not be responsible in any way for repair or replacement of any portion of this Fence and that any removal or replacement of such, necessary for your use of this easement will be done at my expense.

I acknowledge that I will be responsible for any damage caused to your facilities in this (utility/drainage) easement by the construction or maintenance of this structure.

Signed: [Signature] / Roy M. Warren Phone: 772-341-3993

FOLLOWING TO BE COMPLETED BY UTILITY COMPANY

We agree to the proposed construction under the circumstances described above:

Company: Florida Power & Light Co

By: Shari Allen

Title: Project manager

Company records indicate that a potential conflict DOES DOES NOT exist. The conflict consists of



MARTIN COUNTY BUILDING DEPARTMENT
380 SE RIVERCROSS STREET
STUART, FL 34994
(772) 288-8911
FAX (772) 288-8911

EASEMENT AGREEMENT

Date: June 4th

Gentlemen:

I propose to apply for a Martin County permit to erect a Fence
in the (utility/drainage) easement on my property located at L River Cross Ct.

LEGAL DESCRIPTION: LOT 1, BLOCK , SUBDIVISION

(Brief description of dimensions and location from property lines)

right front easement & left side of property

In the event you have no objection to this project, please complete this form and return to me at:

Address: Fax to 772-288-3035

City: State: Zip:

I understand your company will not be responsible in any way for repair or replacement of any portion of this Fence and that any removal or replacement of such, necessary for your use of this easement will be done at my expense.

I acknowledge that I will be responsible for any damage caused to your facilities in this (utility/drainage) easement by the construction or maintenance of this structure.

Signed: [Signature] / Roy M. Warren Phone: 772-341-3993

FOLLOWING TO BE COMPLETED BY UTILITY COMPANY

We agree to the proposed construction under the circumstances described above.

Company: Martin County Utilities
By: Jim Christ
Title: Associate Planner

Company records indicate that a potential conflict DOES DOES NOT exist. The conflict consists of

warren.



MARTIN COUNTY BUILDING DEPARTMENT
900 SE BUHNKE STREET
STUART, FL 34994
(772) 288-8916
FAX (772) 288-8911

EASEMENT AGREEMENT

Date: June 4th

Gentlemen:

I propose to apply for a Martin County permit to erect a Fence
in the (utility/drainage) easement on my property located at L River Crest Ct.

LEGAL DESCRIPTION: LOT 1, BLOCK , SUBDIVISION

(Brief description of dimensions and location from property lines)
right front easement & left side of property

In the event you have no objection to this project, please complete this form and return to me at:
Address: Fax to 772-288-3035

City: State: Zip:

I understand your company will not be responsible in any way for repair or replacement of any portion of
this Fence and that any removal or replacement of such, necessary for your use of this
easement will be done at my expense.

I acknowledge that I will be responsible for any damage caused to your facilities in this (utility/drainage)
easement by the construction or maintenance of this structure.

Signed: [Signature] / Roy M. Warren Phone: 772-341-3993

FOLLOWING TO BE COMPLETED BY UTILITY COMPANY

We agree to the proposed construction under the circumstances described above.

Company: AT&T
By: JAMES P VIRGA
Title: MGR OSPE

Company records indicate that a potential conflict DOES DOES NOT exist. The conflict consists of

AT&T has buried facilities in this easement and facilities must be located prior to digging by calling
1-800-432-4770. Hand digging must be done within 2 feet of facilities. Should AT&T need access
to our facilities in the future, it will be at the customer's expense

if you have any questions relating to the information in this letter , please contact the Martin County Contractor's Licensing Division of the Martin County Building Department.



MARTIN COUNTY, FLORIDA
Contractor's Licensing
Certificate of Competency

FENCE ERECTION - MC

License #: MCFE3584

Expires: 09/30/2014

RICHMOND, CHESTER J III

STUART FENCE COMPANY INC

P.O. BOX 2636

STUART, FL 34995

STUART FENCE COMPANY, INC.

(772) 288-1151

Fax (772) 288-3035

CFE3584
LICENSED & INSURED
BONDED

PROPOSAL - CONTRACT

P.O. Box 2636
Stuart, FL 34995

CUSTOMER'S NAME DEBBIE WARREN			DATE 5/23/14
STREET 1 RIVER CREST CT		CITY SEWALLS POINT	STATE FL
HOME PHONE	BUSINESS PHONE	Fax #	MOBIL/BEEPER# 285-4512
FENCE LINE CLEARED: <input checked="" type="checkbox"/> Y / <input type="checkbox"/> N	SURVEY: DWARREN5@ATT.NET		TOTAL FOOTAGE: 81 LF

CHAIN LINK

FENCE TYPE _____

TOP RAIL _____

LINE POST _____

CORNER POST _____

GATE POST _____

WALK GATE _____

D.D. GATE _____

WIRE GAUGE _____

TENSION WIRE _____

REMOVE EXISTING WOOD PICKET FENCE AND DISPOSE OFF SITE. FURNISH AND INSTALL 81 LF OF 6' HIGH PRESSURE TREATED WOOD FENCE WITH ONE 5' WIDE SINGLE GATE. ALL POSTS SET IN CONCRETE. TOTAL INCLUDES ALL MATERIAL, LABOR & PERMIT FEES.

WOOD

FENCE STYLE PRIVACY

HEIGHT 5'

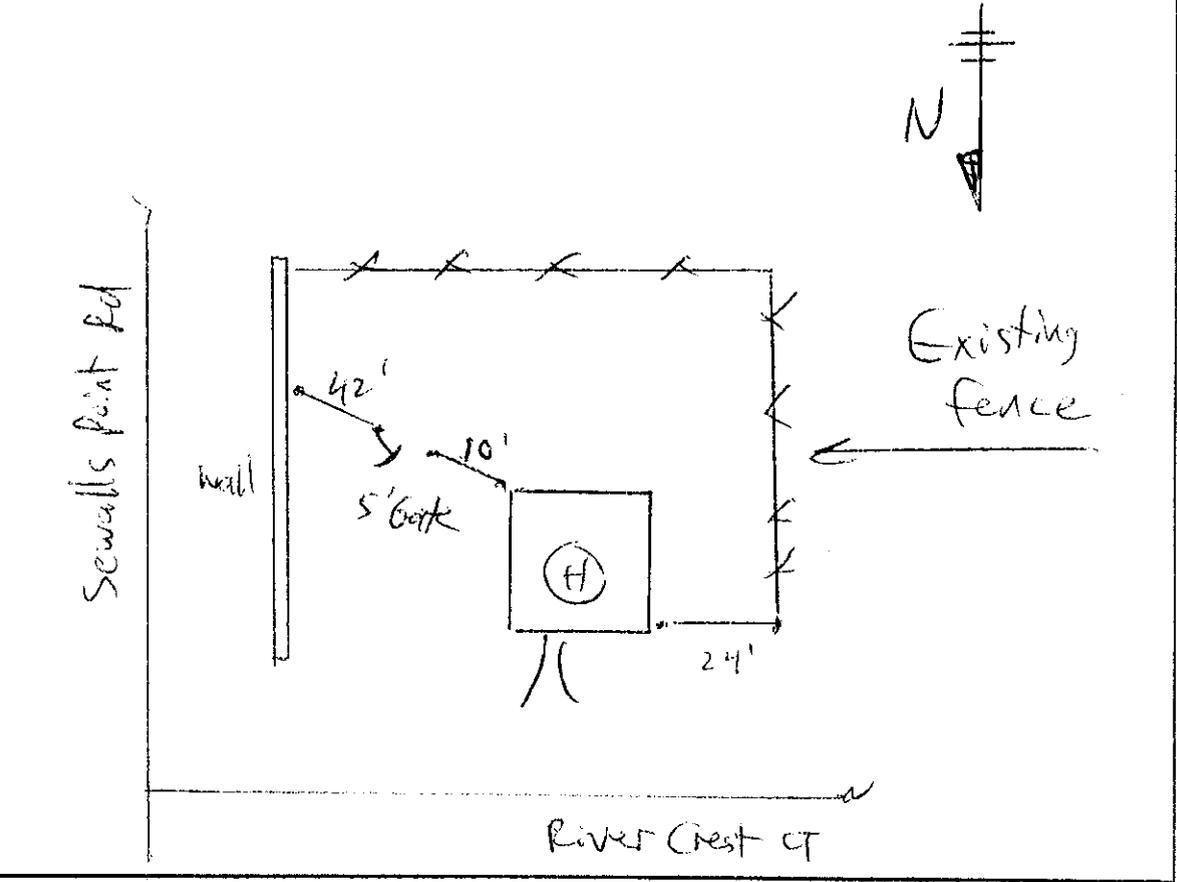
GOOD SIDE OUT

WALK GATES 1@5'

D.D. GATES 0

LINE POSTS 4X4

GATE POSTS 4X6



SPECIAL INSTRUCTIONS

	OPTION "B"	PROPOSAL/CONTRACT SALE PRICE	OPTION "A"
FENCE STYLE		CONTRACT PRICE	1700-
WALK GATES		PERMIT	Included
D.D. GATES		TOTAL	1700-
POOL FENCE <input checked="" type="checkbox"/> Y / <input type="checkbox"/> N		LESS DEPOSIT	850.00 Vth 6/2
		BALANCE DUE UPON COMPLETION	850.00

ACCEPTANCE OF PROPOSAL - CONTRACT: The above prices, specifications and Terms/Conditions on reverse side are satisfactory and are hereby accepted. Stuart Fence Corp. is authorized to do the work specified. Payment will be made as outlined above. Upon signing by Purchaser this becomes a binding contract.

CUSTOMER'S SIGNATURE: *Debbie Warren*

APPROVED AND ACCEPTED DATE: 6/2/14

SALES REP: *Chet Kelly*

STUART FENCE COMPANY, INC. IS NOT RESPONSIBLE FOR DAMAGE TO UNMARKED IRRIGATION LINES



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
 governmax.com 1.11

Summary

Owner 32 of 4

Summary

- Print View
- Land
- Improvements
- Assessments & Exemptions
- Sales
- Taxes →
- NEW: Navigator
- Parcel Map →
- Notice of Prop. Taxes →

Parcel ID	Account #	Unit Address	Market Total Value	Websit Update
35-37-41-010-000-00010-8	9594	1 RIVER CREST CT, SEWALL'S POINT	\$420,750	5/31/20

Owner Information	
Owner(Current)	WARREN ROY M & DEBORAH C
Owner/Mail Address	1 RIVER CREST CT STUART FL 34996
Sale Date	12/16/2013
Document Book/Page	2693 1340
Document No.	2431682
Sale Price	560000

Searches

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Navigator
- Maps →

Location/Description			
Account #	9594	Map Page No.	SP-C
Tax District	2200	Legal Description	RIVE CRE LOT PI#3 37-4 010- 000- 0001 8000
Parcel Address	1 RIVER CREST CT, SEWALL'S POINT		
Acres	.4410		

Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Parcel Type	
Use Code	0100 Single Family
Neighborhood	120900 Sewall's Lndg/Castle Hill

Assessment Information	
Market Land Value	\$180,000
Market Improvement Value	\$240,750
Market Total Value	\$420,750

[Print](#) [Back to List](#) [First](#) [Previous](#) [Next](#) [Last](#)

Legal Disclaimer / Privacy Statement

Christine Bergeron

From: Stuart Fence Company Inc <stuartfence@bellsouth.net>
Sent: Friday, June 27, 2014 2:36 PM
To: Christine Bergeron
Subject: Warren residence

Ms. Bergeron, I am just following up on the status for the fence permit for 1 river crest court . The homeowners are installing a pool . They are trying to coordinate the fence installation Thank You

Tina Bojt
Stuart Fence Company Inc.
3264 SE Dixie Highway
Stuart, FL 34997
772-288-1151
772-288-3035 Fax
www.stuartfence.com

Mailing Address:
P.O. Box 2636
Stuart, FL 34995

John -
Any idea
when you can
get this to me?
C

warren

BOUNDARY SURVEY

LEGAL DESCRIPTION:

LOT 1, RIVER CREST, ACCORDING TO THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN PLAT BOOK 12, PAGE 11, OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

SURVEYORS NOTES:

1. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS AND/OR RIGHTS OF WAY OF RECORD EXCEPT AS SHOWN ON THE RECORD PLAT IF ANY.
2. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND FOOTINGS OF BUILDINGS OR FENCES ON OR ADJACENT TO THIS SITE.
3. BEARINGS SHOWN HEREON REFER TO AN ASSUMED MERIDIAN OF S23°56'54"E ALONG THE WESTERLY RIGHT OF WAY LINE OF NORTH SEWALLS POINT ROAD.
4. THIS SITE LIES IN FLOOD ZONE "AE" (BASE 9.0') AS SCALED AND INTERPOLATED ON FEMA MAP NO. 120164-0154-F, DATED: OCTOBER 4, 2002.
5. SITE AREA: 19195.81 SQUARE FEET.
6. LEGAL DESCRIPTION FURNISHED BY CLIENT.
7. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
8. THIS SITE WAS SURVEYED WITH THE BENEFIT OF A TITLE SEARCH PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. 11804.02, EFFECTIVE DATE: OCTOBER 30, 2013 AT 8:00 AM.
9. SCHEDULE B - SECTION 11
10. EXCEPTION #1: PLAT BOOK 12, PAGE 11 - AFFECTS PROPERTY, AS SHOWN ON SKETCH.
11. EXCEPTION #2: BOOK 827, PG 1663 - AFFECTS PROPERTY, UNPLOTTABLE
12. EXCEPTION #3: BOOK 840, PG 1046 - DOES NOT AFFECT SUBJECT PROPERTY
13. EXCEPTION #4: BOOK 832, PG 2309 - AFFECTS PROPERTY, UNPLOTTABLE

CERTIFICATION:

1. ROY M. WARREN and DEBORAH C. WARREN
2. HARBOR COMMUNITY BANK, its successors and/or assigns, as their interests may appear
3. FIRST AMERICAN TITLE INSURANCE COMPANY
4. KRAMER, SORKO & LEVENSTEIN, P.A.

COPIES OF SEWALLS POINT ROAD PLAT BEING DEPARTMENT FILE COPY

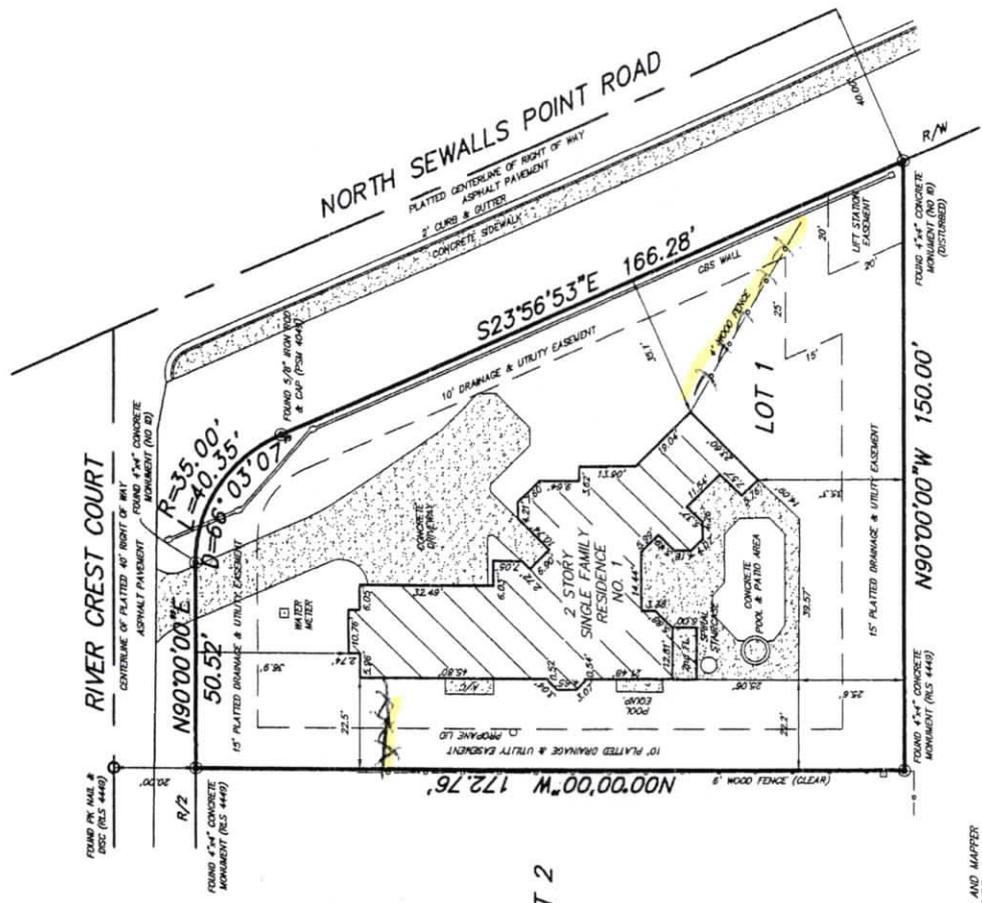
SURVEYORS' CERTIFICATION:
THIS SURVEY MAP AND REPORT OF THE SURVEY THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

Robert Bloomster Jr.
 ROBERT BLOOMSTER JR.
 PROFESSIONAL LAND SURVEYOR
 NO. 4134 STATE OF FLORIDA

BLOOMSTER
 PROFESSIONAL LAND SURVEYORS, INC.
 LB #6018
 641 NORTHEAST SPENCER STREET
 JENSEN BEACH, FLORIDA 34957
 PHONE 772-334-0868

SHEET 1 OF 1
DRAWN BY: DRK
SCALE: 1" = 30'
DATE: 11/27/13
F.B. SKETCH
JOB NO. 11963
REVISIONS

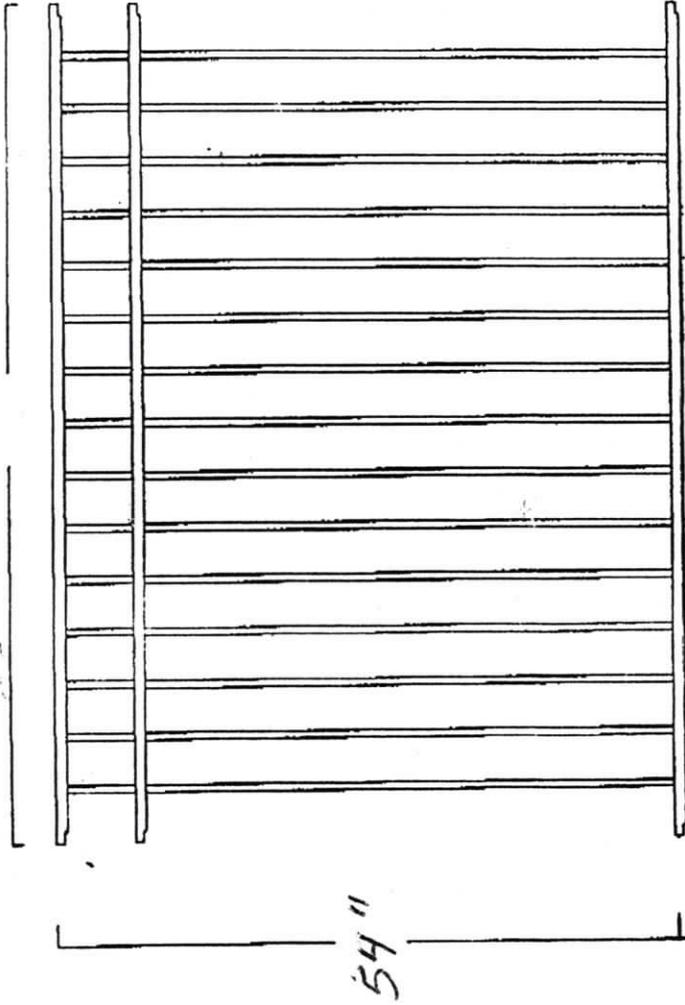
PREPARED FOR: ROY and DEBORAH WARREN
1 RIVER COURT
STUART, MARTIN COUNTY, FLORIDA



- LEGEND**
- PSM = PROFESSIONAL SURVEYOR AND MAPPER
 - CSM = CONCRETE BLOCK STRUCTURE
 - RLS = REGISTERED LAND SURVEYOR
 - ID = IDENTIFIED IRON
 - R/W = RIGHT OF WAY
 - A/C = AIR CONDITIONER
 - R = RADIUS
 - U = UTILITY
 - D = DELTA

5' bkl
3-rail
alum.

PICKETS: 5/8" SQ. X .050
RAILS: TOP WALL 1 1/16" X .062
SIDE 1" X .072



PO BOX 2638
STUART, FL 34995
TEL 772-288-1151
FAX 772-288-3035



Fax

To: ms Bergeron	From: Tina
Fax: # 220-4765	Pages: 3/2
Phone: _____	Date: 6/27/14
Re: _____	cc: _____
<input checked="" type="checkbox"/> Urgent <input type="checkbox"/> For Review <input type="checkbox"/> Please Comment <input type="checkbox"/> Please Reply <input type="checkbox"/> Please Recycle	

CERTIFICATE OF LIABILITY INSURANCE

Date
6/27/2014

Producer: Lion Insurance Company
2739 U.S. Highway 19 N.
Holiday, FL 34691
(727) 938-5562

This Certificate is issued as a matter of information only and confers no rights upon the Certificate Holder. This Certificate does not amend, extend or alter the coverage afforded by the policies below.

Insured: South East Personnel Leasing, Inc. & Subsidiaries
2739 U.S. Highway 19 N.
Holiday, FL 34691

Insurers Affording Coverage		NAIC #
Insurer A:	Lion Insurance Company	11075
Insurer B:		
Insurer C:		
Insurer D:		
Insurer E:		

Coverages

The policies of insurance listed below have been issued to the insured named above for the policy period indicated. Notwithstanding any requirement, term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the policies described herein is subject to all the terms, exclusions, and conditions of such policies. Aggregate limits shown may have been reduced by paid claims.

INSR LTR	ADDL INSRD	Type of Insurance	Policy Number	Policy Effective Date (MM/DD/YY)	Policy Expiration Date (MM/DD/YY)	Limits												
		GENERAL LIABILITY <input type="checkbox"/> Commercial General Liability <input type="checkbox"/> Claims Made <input type="checkbox"/> Occur <hr/> General aggregate limit applies per: <input type="checkbox"/> Policy <input type="checkbox"/> Project <input type="checkbox"/> LOC				Each Occurrence \$ Damage to rented premises (EA occurrence) \$ Med Exp \$ Personal Adv Injury \$ General Aggregate \$ Products - Comp/Op Agg \$												
		AUTOMOBILE LIABILITY <input type="checkbox"/> Any Auto <input type="checkbox"/> All Owned Autos <input type="checkbox"/> Scheduled Autos <input type="checkbox"/> Hired Autos <input type="checkbox"/> Non-Owned Autos				Combined Single Limit (EA Accident) \$ Bodily Injury (Per Person) \$ Bodily Injury (Per Accident) \$ Property Damage (Per Accident) \$												
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> Occur <input type="checkbox"/> Claims Made Deductible				Each Occurrence \$ Aggregate \$												
A		Workers Compensation and Employers' Liability Any proprietor/partner/executive officer/member excluded? NO If Yes, describe under special provisions below.	WC 71949	01/01/2014	01/01/2015	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/> WC Statutory Limits</td> <td style="text-align: center;"><input type="checkbox"/> OTHER</td> <td></td> </tr> <tr> <td colspan="2">E.L. Each Accident</td> <td style="text-align: right;">\$1,000,000</td> </tr> <tr> <td colspan="2">E.L. Disease - Ea Employee</td> <td style="text-align: right;">\$1,000,000</td> </tr> <tr> <td colspan="2">E.L. Disease - Policy Limits</td> <td style="text-align: right;">\$1,000,000</td> </tr> </table>	<input checked="" type="checkbox"/> WC Statutory Limits	<input type="checkbox"/> OTHER		E.L. Each Accident		\$1,000,000	E.L. Disease - Ea Employee		\$1,000,000	E.L. Disease - Policy Limits		\$1,000,000
<input checked="" type="checkbox"/> WC Statutory Limits	<input type="checkbox"/> OTHER																	
E.L. Each Accident		\$1,000,000																
E.L. Disease - Ea Employee		\$1,000,000																
E.L. Disease - Policy Limits		\$1,000,000																

Other

Lion Insurance Company is A.M. Best Company rated A- (Excellent). AMB # 12616

Descriptions of Operations/Locations/Vehicles/Exclusions added by Endorsement/Special Provisions: Client ID: 34-65-485

Coverage only applies to active employee(s) of South East Personnel Leasing, Inc. & Subsidiaries that are leased to the following "Client Company":

Stuart Fence Company, Inc.

Coverage only applies to injuries incurred by South East Personnel Leasing, Inc. & Subsidiaries active employee(s), while working in: FL.

Coverage does not apply to statutory employee(s) or independent contractor(s) of the Client Company or any other entity.

A list of the active employee(s) leased to the Client Company can be obtained by faxing a request to (727) 937-2138 or by calling (727) 938-5562.

Project Name:

FAX: (727) 220-4765 / ISSUE 12-23-13 (ND) / REISSUE 01-03-14 (TLD) / REISSUE 08-27-14 (TLD)

Begin Date 8/10/2004

CERTIFICATE HOLDER
TOWN OF SEAWALLS POINT

18 SEAWALLS POINTROAD
STUART, FL 34986

CANCELLATION

Should any of the above described policies be cancelled before the expiration date thereof, the issuing insurer will endeavor to mail 30 days written notice to the certificate holder named to the left, but failure to do so shall impose no obligation or liability of any kind upon the insurer, its agents or representatives.

[Signature]



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	10915		
ADDRESS:	1 RIVER CREST COURT		
DATE ISSUED:	6/27/2014	SCOPE OF WORK:	FENCE

SINGLE FAMILY OR ADDITION /REMODEL		Declared Value	\$	
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STUART FENCE COMPANY, INC.

PO BOX 2636
 STUART, FL 34995
 772-288-1151

1240

63-515-670

DATE JULY 1st

PAY TO THE ORDER OF Sewall's Point building department \$ 109.00
one hundred & nine dollars DOLLARS

SEACOAST NATIONAL BANK
 STUART, FL 34997

FOR Warren Permit

DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)	\$	n/a
Road impact assessment: (.04% of construction value - \$5 min.)		n/a
Martin County Impact Fee:	\$	
TOTAL BUILDING PERMIT FEE:	\$	\$ -

ACCESSORY PERMIT	Declared Value:	\$	\$ 1,700.00
Total number of inspections:	@ \$ 100.00 per insp. # insp	\$ 1.00	\$ 100.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	\$ 2.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	\$ 2.00
Road impact assessment: (.04% of construction value - \$5 min.)		\$	\$ 5.00

TOTAL ACCESSORY PERMIT FEE: \$ 109.00

*Pa 7-1-14
 CK 1240*



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10915	DATE ISSUED:	6/27/2014
SCOPE OF WORK:	FENCE		
CONTRACTOR:	STUART FENCE COMPANY		
PARCEL CONTROL NUMBER:	353741010000000108	SUBDIVISION	RIVER CREST LOT 1
CONSTRUCTION ADDRESS:	1 RIVER CREST COURT		
OWNER NAME:	WARREN		
QUALIFIER:	CHESTER RICHMOD	CONTACT PHONE NUMBER:	772 288-1151

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM** **INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	10915
ADDRESS:	1 RIVER CREST COURT
DATE ISSUED:	6/27/2014
SCOPE OF WORK:	FENCE

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
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Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K) (No plan submittal fee when value is less than \$100,000)		\$	
Total square feet air-conditioned spa @ \$ 121.75 per sq. ft. s.f.		\$	-
Total square feet non-conditioned space, or interior remodel: @ \$ 59.81 per sq. ft. s.f.		\$	-
Total square feet remodel with new trusses: \$ 90.78 per sq. ft. s.f.		\$	-
Total Construction Value:		\$	\$ -
Building fee: (2% of construction value SFR or >\$200K)		\$	n/a
Building fee: (1% of construction value < \$200K + \$100 per insp.)		\$	-
Total number of inspections (Value < \$200K) \$ 100.00 per insp. # insp			n/a
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	n/a
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	n/a
Road impact assessment: (.04% of construction value - \$5 min.)			n/a
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	\$ -

ACCESSORY PERMIT	Declared Value:	\$	\$ 1,700.00
Total number of inspections: @ \$ 100.00 per insp. # insp		\$ 1.00	\$ 100.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	\$ 2.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	\$ 2.00
Road impact assessment: (.04% of construction value - \$5 min.)		\$	\$ 5.00

TOTAL ACCESSORY PERMIT FEE:		\$	109.00
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*Pa 7-1-14
 CK 1240*