

15 South River Road

3184

REBUILD DOCK

&

BOATHOUSE

Permit No. _____

TOWN OF SEWALL'S POINT

Date 5-14-92

APPLICATION FOR PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

X Owner FREDERIC M. AYERS Present Address 963 COUNTRY WAY
Phone _____ JENSEN BEACH, FL 34959

Contractor Robert Sandy Construction, Inc. Address 3452 NE Indian Drive
phone 407-334-3046 Jensen Beach, FL 34957

Where licensed State of Florida License number CGC040310

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: REBUILD EXISTING BATHHOUSE AND DOCK. REMOVE 9' OF BATHHOUSE. BUILD 6'x50' DOCK ADDITION WITH 5'x14' AND 7.5'x25' FINGER PIER PLUS ASSOCIATED MOORING PILES.

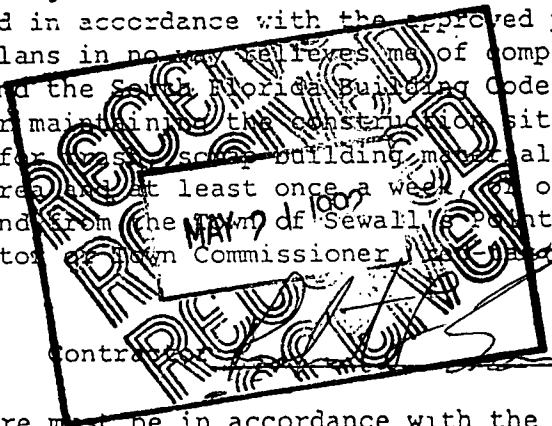
X State the street address at which the proposed structure will be built:
Lot 25, Heritage Place

X Subdivision HERITAGE PLACE Lot number 25 Block number _____

Contract price \$ 25,000.00 Cost of permit \$ 200.00

Plans approved as submitted Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for and removing building materials and other debris, such debris being gathered in one area and at least once a week or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner halting the construction project.



I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

X Owner Frederic M. Ayers

Date submitted 5/22/92 TOWN RECORD Approved: Dale Brown 5/24/92
Building Inspector Date

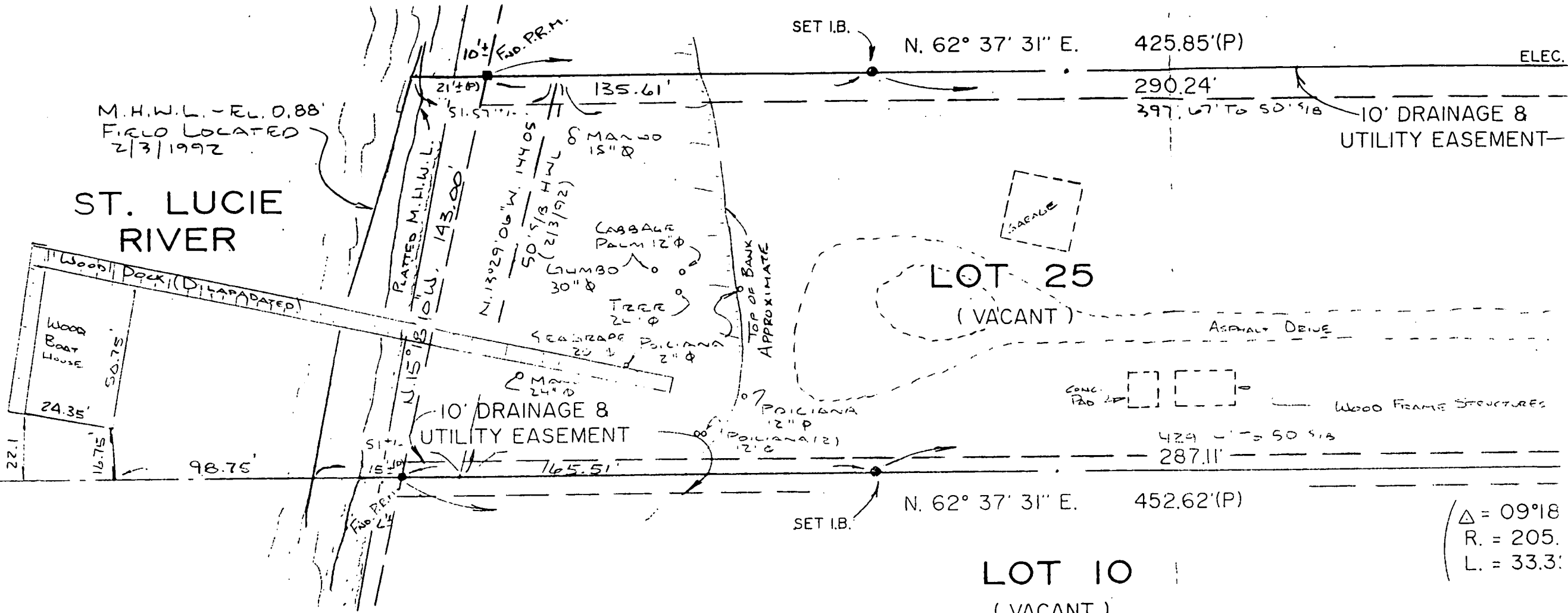
Approved: [Signature] 5/21/92 Final Approval given: 5/22/92
Commissioner Date Date

Certificate of Occupancy issued (if applicable) _____
Date

SP1282

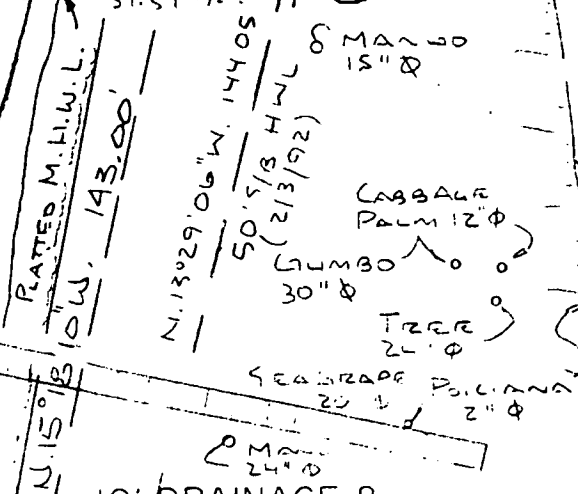
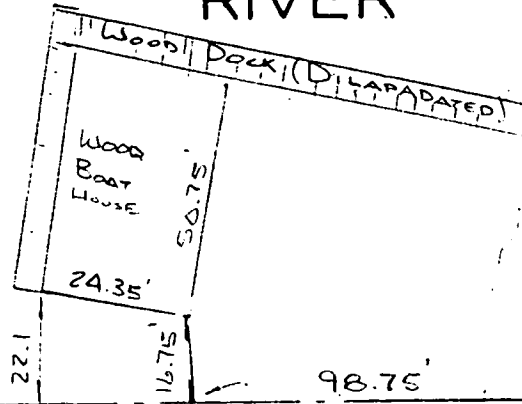
Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.



M.H.W.L. - EL. 0.88
FIELD LOCATED
2/3/1992

ST. LUCIE RIVER



SET I.B. N. 62° 37' 31" E. 425.85'(P) ELEC.

290.24'
397.67' TO 50'S.B.
10' DRAINAGE & UTILITY EASEMENT-

LOT 25
(VACANT)

10' DRAINAGE & UTILITY EASEMENT

SET I.B. N. 62° 37' 31" E. 452.62'(P)

LOT 10
(VACANT)

(Δ = 09°18'
R. = 205.
L. = 33.3'

1. PROPERTY LOCATED WITHIN FLOOD ZONE: "C"
2. PROPERTY ADDRESS:
3. CERTIFIED TO: FRED M. AYRES, ATTORNEYS TITLE INSURANCE FUND INC., GUNSTER, YOAKLEY & STEWART, P.A.

- NOTES:**
1. Survey of description as furnished by Client
 2. Lands shown hereon were not abstracted for easements and/or rights-of-way of record.
(P) Denotes distance or bearing by description as furnished.
(F) Denotes measured distance or bearing.
(C) Denotes calculated distance or bearing.
 3. All bearings are referenced to the instrument of record as shown hereon, unless otherwise noted.
 4. Elevations shown hereon are relative to National Geodetic Vertical Datum of 1929, and are based on bench mark.
 5. There are no above ground encroachments, unless otherwise shown.

**WE HEREBY
HEREON IS TR.
AND BELIEF A:
CERTIFY THAT
UNDER RULE 2
CHAPTER 472
SEALED WI**

*Note:
Area
to be
This is my
only signed
& sealed copy*

S



FLORIDA DEPARTMENT OF NATURAL RESOURCES

Marjory Stoneman Douglas Building
3900 Commonwealth Boulevard
Tallahassee, Florida 32399

Tom Gardner, Executive Director

PLEASE ADDRESS REPLY TO:

Southeast Florida Field Office
7400 N. S. Georgia Ave.
West Palm Beach, FL 33405

October 25, 1991

Lawton Chiles
Governor
Jim Smith
Secretary of State
Bob Butterworth
Attorney General
Gerald Lewis
State Comptroller
Tom Gallagher
State Treasurer
Bob Crawford
Commissioner of Agriculture
Betty Castor
Commissioner of Education

Mr. Frederic M. Ayres
963 Country Way
Jensen Beach, FL 34957

Dear Sir:

Re: File Number: 432029858
Applicant: Ayres, Frederic

We have received your application to a reduction of 9 feet to the already existing boathouse and repair to 50% or less of the boathouse and dock. It appears as though the project may be consistent with the criteria outlined in the enclosed "General Consent Criteria" summary guideline. If so, please consider that as the authority sought from the Department of Natural Resources under Section 253.77, Florida Statutes, to pursue your project. If the project does not conform with the outlined criteria, please notify me in writing of the conflicts and the mitigating reasons why compliance is not possible.

This letter in no way waives the authority and/or jurisdiction of any governmental entity nor does this letter disclaim any title interest that the State may have in this project site.

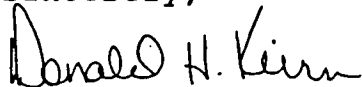
Please be advise that your facility may be inspected to ensure compliance with the attached criteria, pursuant to the attached general consent condition no. 4.

Your rights pursuant to Chapter 120, Florida Statues, are addressed in the attached notice.

October 25, 1991
Ayres
Page Two

We appreciate your cooperation. If you have any questions,
please contact me at (407)547-5825.

Sincerely,

A handwritten signature in cursive script that reads "Donald H. Keirn".

Donald H. Keirn
Division of State Lands
Southeast Florida Field Office

DHK/dwd
Enclosure

DEPARTMENT OF NATURAL RESOURCES
DIVISION OF STATE LANDS
BUREAU OF SUBMERGED LANDS AND PRESERVES

May 28, 1991

I. General Consent Criteria:

(A) The following activities are hereby authorized by the Department, provided that (1) the activities comply with the conditions specified below and those listed in paragraphs (B), (C), and (D) of this section, (2) the activity is not located in an aquatic preserve, state park, or State or Federally designated Wild and Scenic River, or Monroe County, (3) the applicant is the upland riparian property owner, and (4) the shoreline at the site is not subject to any conservation easement or restrictive covenant.

1. The construction of a private residential single dock, including pier, access pier, terminal platform, boat hoist, stairways, walkways, mooring pilings, and boathouse, provided that:
 - a. No dredging activities are required;
 - b. The cutting, trimming, removal, or destruction of wetland vegetation is restricted to the minimum amount necessary to construct the dock;
 - c. The dock is not used for revenue generating or income related activities;
 - d. The dock is designed and constructed to accommodate no more than two vessels;
 - e. The dock does not include or accommodate non-water dependent structures (e.g., gazebos, sundecks, screen houses, or other enclosed or semi-enclosed structures);
 - f. The dock does not extend waterward of the mean or ordinary high water line more than 500 feet, or 25 percent of the width of the waterbody at the location of the dock, or to a water depth greater than minus four feet at mean low water, whichever is less;
 - g. The water depth at the dock is adequate for the proposed boat use;
 - h. If the dock is constructed adjacent to a bulkhead and the water depth adjacent to the bulkhead is minus 4 feet at mean low water, the dock shall not extend more than 25 feet from the bulkhead;
 - i. The dock and associated structures shall not be located within 25 feet of riparian property lines;
 - j. The main access pier is not more than 6 feet wide;
 - k. The area of the terminal platform is no more than 250 square feet;

1. The boat house:
 - (1) Does not exceed 500 square feet;
 - (2) Is not enclosed or include sundecks, living quarters, storage rooms, or stairways or ladders providing access to the roof;
 - (3) Does not include catwalks inside the covered area that are more than 3 feet wide; and,
 - (4) Contains a roof with a slope of at least 4 horizontal: 1 vertical; and,
- m. No living, fueling or storage facilities are included.
2. Non-commercial, single boat mooring buoys.
3. Minor activities or temporary structures required to remove wrecked, abandoned, or disabled vessels, or removal of man-made obstructions to navigation, but not including maintenance dredging, shoal removal, or river bank snagging.
4. Repair or replacement of existing private residential single docks that are consistent with the criteria outlined in section (A)1.
5. The installation, repair or replacement of riprap, provided that:
 - a. If the riprap is subject to the permitting requirements of Chapter 161, Florida Statutes, it has been authorized pursuant to Chapter 161, Florida Statutes;
 - b. Clean rock material free of metal products, organic materials, and unsightly debris is used;
 - c. The toe of the riprap is located at or within 10 feet of the mean or ordinary high water line;
 - d. The slope is not greater than 2 horizontal: 1 vertical;
 - e. The length does not exceed 150 linear feet;
 - f. It does not damage or destroy wetland vegetation on sovereign lands;
 - g. Only a minimum amount of material is used; and,
 - h. The activity is necessary to prevent erosion or is required as part of an authorization granted by another agency.

6. The installation, repair or replacement of seawalls, provided that:
 - a. The structure is not subject to the permitting requirements of Chapter 161, Florida Statutes;
 - b. Any new seawall is located landward of the mean or ordinary high water line, while the repair or replacement of an existing seawall is located at or within 18 inches of the existing seawall;
 - c. Any fill associated with the structure shall be landward of the seawall;
 - d. The structure does not damage or destroy wetland vegetation on sovereign, submerged lands;
 - e. The length of the structure does not exceed 150 linear feet;
 - f. Riprap is installed at the toe of seawall pursuant to the conditions in paragraph 5 above; and,
 - g. No more than the minimum dredging or excavation necessary to install, repair or replace the structure is undertaken.
- (B) In addition to the above conditions, the following special conditions must be complied with in order for the General Consent set forth in paragraph (A) of this section to be valid:
1. The structure or activity shall not interfere with navigation;
 2. The structure or activity shall not take place in a concentrated shellfish area;
 3. The structure or activity shall not harm or injure an endangered or threatened species nor adversely impact critical habitat of such species;
 4. The structure shall be properly maintained;
 5. All state, local, and federal approvals are obtained or waived, including the issuance of permits by the Florida Department of Environmental Regulation and the U.S. Army Corps of Engineers; and,
 6. The structure or activity is undertaken to avoid or minimize the impact on wetlands, benthic communities, shellfish areas, and aquatic plant and animal species.
- (C) The General Consent Criteria does not grant any property rights or exclusive privilege or authorize any injury to property or right of others.
- (D) The General Consent Criteria for private residential single docks does not authorize a developer to construct any docks nor does it allow a single property owner within a residential development to construct more than one private single-family residential dock.

Page 4
May 28, 1991

If the above criteria and conditions are met, consider this the authority sought from the Department of Natural Resources under Section 253.77, Florida Statutes, to pursue your project. Please check for local requirements. Where local governments have more stringent standards and criteria, the more stringent standards shall prevail. You must also obtain a permit or exemption from the Department of Environmental Regulation and the U.S. Army Corps of Engineers.

Please retain this as part of your permanent file since your project may be inspected by authorized state personnel and it may be needed for future reference. This consent does not waive the authority and/or jurisdiction of any other governmental entity, nor does it disclaim any title interest that the State may have in the project site.

Please note that, should you violate the above standards and criteria, you could be subject to administrative fines pursuant to Chapter 18-14, Florida Administrative Code. THE MINIMUM FINE IS \$500.

Bureau of Submerged Lands
and Preserves
Division of State Lands
Department of Natural Resources

N O T I C E

TO:

DATE: _____

DNR. FILE NUMBER: _____

The applicant (Lessee/Grantee) and any other person whose interest may be affected by this decision has the right to request an administrative hearing pursuant to Chapter 120, Florida Statutes. However, any request must be received by the Department of Natural Resources no later than 21 days from the date of receipt of this notification and must be directed to:

Office of General Counsel
Department of Natural Resources
Mail Station No. 35, Douglas Building
3900 Commonwealth Boulevard
Tallahassee, Florida 32399

The request for hearing must contain a petition setting forth the factual and legal grounds for contesting this decision. Upon receipt, the petition will be filed by the Department of Natural Resources with the Division of Administrative Hearings and notification of all future proceedings will come from that agency.

Failure to request a hearing in a timely manner, and in the manner prescribed will cause this decision to become final as to any person receiving such notice, pursuant to Section 120.68, Florida Statutes, and Rules 9.030(b)(1)(c) and 9.110, Florida Rules of Appellate Procedure. To initiate an appeal of this order once it becomes final, a Notice of Appeal must be filed of the Final Order Court of Appeal within 30 days of the filing of the Final Order with the Agency Clerk. A Notice of Appeal filed with the District Court of Appeal must be accompanied by the filing fee specified in Section 35.22(3), Florida Statutes.

Bureau of Submerged Lands and Preserves



Tom Gardner, Executive Director

Marjory Stoneman Douglas Building
3900 Commonwealth Boulevard
Tallahassee, Florida 32399

Attorney General
Cerald Lewis
State Comptroller
Tom Callagher
State Treasurer
Bob Crawford
Commissioner of Agriculture
Betty Castor
Commissioner of Education

DEPARTMENT OF NATURAL RESOURCES
DIVISION OF STATE LANDS
GENERAL CONSENT CONDITIONS

Project No. _____

1. No activities other than those set forth in the attached letter dated _____ are authorized. Any additional activities on state-owned sovereignty submerged lands must receive further consent from the Governor and Cabinet, sitting as the Board of Trustees of the Internal Improvement Trust Fund (hereinafter the "Board") or their properly designated agent.
2. Grantee agrees that all title and interest to all lands lying below the historical mean high water line or ordinary high water line are vested in the Board, and shall make no claim of title or interest in said lands by reason of the occupancy or use thereof.
3. Grantee agrees to use or occupy the subject premises for those purposes specified herein, and Grantee shall not permit the premises or any part thereof to be used or occupied for any other purpose or knowingly permit or suffer any nuisances of illegal operations of any kind on the premises.
4. Grantee agrees to maintain the premises in good condition in the interest of the public health, safety and welfare. The premises are subject to inspection by the Board or its designated agent at any reasonable time.
5. Grantee agrees to indemnify, defend and hold harmless the Board and the State of Florida from all claims, actions, lawsuits and demands arising out of this consent.
6. No failure, or successive failures, on the part of the Board to enforce any provision, waiver or successive waivers on the part of the Board of any provision herein, shall operate as a discharge thereof or render the same inoperative or impair the right of the Board of enforce the same in the event of subsequent breach.
7. Grantee binds itself and its successors and assigns, to abide by the provisions and conditions set forth herein. In the event Grantee fails or refuses to comply with the provisions and conditions of this consent, the consent of use may be terminated by the Board after written notice to the Grantee. Upon receipt of such notice, the Grantee shall have thirty (30) days in which to correct the violation. Failure to correct the violations within this period shall result in the automatic revocation of this Letter of Consent.

8. All costs, including attorneys' fees, incurred by the Board in enforcing

and shall make no claim or title or interest in the occupancy or use thereof.

3. Grantee agrees to use or occupy the subject premises for those purposes specified herein, and Grantee shall not permit the premises or any part thereof to be used or occupied for any other purpose or knowingly permit or suffer any nuisances of illegal operations of any kind on the premises.

4. Grantee agrees to maintain the premises in good condition in the interest of the public health, safety and welfare. The premises are subject to inspection by the Board or its designated agent at any reasonable time.

5. Grantee agrees to indemnify, defend and hold harmless the Board and the State of Florida from all claims, actions, lawsuits and demands arising out of this consent.

6. No failure, or successive failures, on the part of the Board to enforce any provision, waiver or successive waivers on the part of the Board of any provision herein, shall operate as a discharge thereof or render the same inoperative or impair the right of the Board to enforce the same in the event of subsequent breach.

7. Grantee binds itself and its successors and assigns, to abide by the provisions and conditions set forth herein. In the event Grantee fails or refuses to comply with the provisions and conditions of this consent, the consent of use may be terminated by the Board after written notice to the Grantee. Upon receipt of such notice, the Grantee shall have thirty (30) days in which to correct the violation. Failure to correct the violations within this period shall result in the automatic revocation of this Letter of Consent.

8. All costs, including attorneys' fees, incurred by the Board in enforcing the terms and conditions of this consent shall be paid by the Grantee. Grantee agrees to accept service by certified mail of any notice required by Chapter 18-14, Florida Administrative Code, at the address shown on page one of this Agreement and further agrees to notify the Board in writing of any change of address at least ten days before the change becomes effective.

9. Grantee agrees to assume responsibility for all liabilities that accrue to the sovereignty submerged land or to the improvements thereon, including any and all drainage or special assessments or taxes of every kind and description which are now or may be hereafter lawfully assessed and levied against the property during the effective period of this consent.

10. Grantee agrees that any dispute arising from matters relating to this consent shall be governed by the laws of Florida and initiated only in Leon County, Florida.

11. The Letter of Consent associated with these General Consent Conditions as well as these conditions themselves are subject to modification after 5 years in order to reflect any applicable changes in statutes, rule or policies of the Board or its designated agent.

12. In the event that any part of the structure(s) consented to herein is determined by a final adjudication issued by a court of competent jurisdiction to encroach on or interfere with adjacent riparian rights, Grantee agrees to either obtain written consent for the offending structure from the affected riparian owner or to remove the interference or encroachment within 60 days from the date of the adjudication. Failure to comply shall constitute a material breach of this consent and shall be grounds for its immediate termination.



DEPARTMENT OF THE ARMY
JACKSONVILLE DISTRICT CORPS OF ENGINEERS
P. O. BOX 4970
JACKSONVILLE, FLORIDA 32232-0019

REPLY TO
ATTENTION OF

November 20, 1991

Regulatory Section
91LP-41507

Mr. Frederic M. Ayres
963 Country Way
Jensen Beach, Florida 34957

Dear Mr. Ayres:

This is in reference to your request for a permit to perform work in or affecting navigable waters of the United States. Upon recommendation of the Chief of Engineers, pursuant to Section 10 of the River and Harbor Act of 3 March 1899 (33 U.S.C. S403), you are authorized

to reconstruct an existing 140' x 50' boathouse, .28 miles to the channel on the St. Lucie River, Seawall's Point

in Section 1, Township 38 South, Range 41 East, Martin County, Florida

in accordance with the enclosed plans and conditions which are incorporated in, and made a part of, the permit.

Enclosed is a Notice of Authorization which should be displayed at the construction site. When you begin work, you must notify the District Engineer's representative, at the appropriate Area Office as shown on the enclosed map, of:

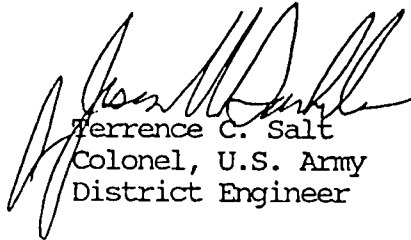
1. The date of commencement of work,
2. The dates of work suspensions and resumptions if work is suspended over a week, and
3. The date of final completion.

Area Engineer addresses and telephone numbers are shown on the enclosed map.

If the work authorized is not completed on or before November 20, 1996,

this authorization, if not previously revoked or specifically extended, shall cease and be null and void.

BY AUTHORITY OF THE SECRETARY OF THE ARMY:



Terrence C. Salt
Colonel, U.S. Army
District Engineer

- 3 Encl
1. Notice of Authorization
2. Plans and Conditions
3. Area Office Map

1. GENERAL CONDITIONS:

a. That all activities identified and authorized herein shall be consistent with the terms and conditions of this permit; and that any activities not specifically identified and authorized herein shall constitute a violation of the terms and conditions of this permit which may result in the modification, suspension, or revocation of this permit, in whole or in part, as set forth more specifically in General Conditions j or k hereto, and in the institution of such legal proceedings as the United States Government may consider appropriate, whether or not this permit has been previously modified, suspended or revoked in whole or in part.

b. That all activities authorized herein shall, if they involve a discharge or deposit into navigable waters or ocean waters, be at all times consistent with applicable water quality standards, effluent to Sections 301, 302, 306, and 307 of the Federal Water Pollution Control Act of 1972 (P.L. 92-500; 86 Stat. 816) or pursuant to applicable State and local law.

c. That when the activity authorized herein involves a discharge or deposit or dredged or fill material into navigable waters, the authorized activity shall, in applicable water quality standards are revised or modified during the term of this permit, be modified if necessary, to conform with such revised or modified water quality standards within six months of the effective date of any revision or modification of water quality standards, or as directed by an implementation plan contained in such revised or modified standards, or within such longer period of time as the District Engineer, in consultation with the Regional Administrator of the Environmental Protection Agency, may determine to be reasonable under the circumstances.

d. That the permittee agrees to make every reasonable effort to prosecute the construction or work authorized herein in a manner so as to minimize any adverse impact of the construction or work on fish, wildlife, and natural environmental values.

e. That the permittee(s) agrees to prosecute the construction or work authorized herein in a manner so as to minimize any degradation of water quality.

f. That the permittee shall permit the District Engineer on his authorized representative(s) or designee(s) to make periodic inspections at any time deemed necessary in order to assure that the activity being performed under authority of this permit is in accordance with the terms and conditions prescribed herein.

g. That the permittee shall maintain the structure or work authorized herein in good condition and in accordance with the plans and drawings attached hereto.

h. That this permit does not convey any property rights, either in real estate or material, or any exclusive privileges; and that it does not authorize any injury to property or invasion of rights or any infringement of Federal, State or local laws or regulations, nor does it obviate the requirement to obtain State or local assent required by law for the activity authorized herein.

i. That this permit does not authorize the interference with any existing or proposed Federal project and that the permittee shall not be entitled to compensation for damage or injury to the structures on work authorized herein which may be caused by or result from existing or future operations undertaken by the United States in the public interest.

j. That this permit may be summarily suspended, in whole or in part, upon a finding by the District Engineer that immediate suspension of the activity authorized herein would be in the general public interest. Such suspension shall be effective upon receipt by the permittee of a written notice thereof which shall indicate (1) the extent of the suspension, (2) the reasons for action, and (3) any corrective or preventive measures to be taken by the permittee which are deemed necessary by the District Engineer to abate imminent hazards to the general public interest. The permittee shall take immediate action to comply with the provisions of this notice. Within 10 days following receipt of this notice of suspension, the permittee may request a hearing in order to present information relevant to a decision as to whether his permit should be reinstated, modified or revoked. If a hearing is requested, it shall be conducted pursuant to procedures prescribed by the Chief of Engineers. After completion of the hearing or within a reasonable time after issuance of the suspension notice to the permittee if no hearing is requested, the permit will either be reinstated, modified or revoked.

k. That this permit may be either modified, suspended or revoked in whole or in part if the Secretary of the Army or his authorized representative determines that there has been a violation of any of the terms or conditions of this permit or that such action would otherwise be in the public interest. Any such modification, suspension, or revocation shall become effective 30 days after receipt by the permittee of written notice of such action which shall specify the facts or conduct warranting same unless (1) within the 30 day period the permittee is able to satisfactorily demonstrate that (a) the alleged violation of the terms and the conditions of this permit did not, in fact, occur or (b) the alleged violation was accidental, and the permittee

has been operating in compliance with the terms and conditions of the permit and is able to provide satisfactory assurances that future operations shall be in full compliance with the terms and conditions of this permit or (2) within the aforesaid 30-day period, the permittee requests that a Public Hearing be held to present oral and written evidence concerning the proposed modification, suspension or revocation. The conduct of this hearing and the procedures for making a final decision either to modify, suspend or revoke this permit in whole or in part shall be pursuant to procedures prescribed by the Chief of Engineers.

l. That in issuing this permit the Government has relied on the information and data which the permittee has provided in connection with his permit application. If, subsequent to the issuance of this permit, such information and data prove to be false, incomplete or inaccurate, this permit may be modified, suspended or revoked, in whole or in part and/or the Government may in addition, institute appropriate legal proceedings.

m. That any modification, suspension, or revocation of this permit shall not be the basis for any claim for damages against the United States.

n. That the permittee shall notify the District Engineer at what time the activity authorized herein will be commenced (as far in advance of the time of commencement as the District Engineer may specify), and of any suspension of work if for a period of more than one week, of resumption of work, and of completion of work.

o. That if the activity authorized herein is not completed on or before the date indicated on the permit to which these conditions are attached, that permit, if not previously revoked or extended shall automatically expire.

p. That no attempt shall be made by the permittee to prevent the full and free use by the public of all navigable waters at or adjacent to the activity authorized by this permit.

q. That if the display of lights and signals on any structure or work authorized herein is not otherwise provided for by law, such lights and signals as may be prescribed by the United States Coast Guard shall be installed and maintained by and at the expense of the permittee.

r. That this permit does not authorize or approve the construction of particular structures, the authorization or approval of which may require authorization by the Congress or other agencies of the Federal Government.

s. That if and when the permittee desires to abandon the activity authorized herein, unless such abandonment is part of a transfer procedure by which the permittee is transferring his

interests herein to a third party pursuant to General Condition v hereof, he must restore the area to a condition satisfactory to the District Engineer.

t. That is the recording of this permit is possible under applicable State or local law, the permittee shall take such action as may be necessary to record this permit with the Registrar of Deeds or other appropriate official charged with the responsibility for maintaining records of title to and interests in real property.

u. That there shall be no unreasonable interference with navigation by the existence or use of the activity authorized herein.

v. That this permit may not be transferred to a third party without prior written notice to the District Engineer, either by the transferee's written agreement to comply with all terms and conditions of this permit or by the transferee subscribing to this permit in the space provided below and hereby agreeing to comply with all terms and conditions of this permit. In addition, if the permittee transfers the interests authorized herein by conveyance of realty, the deed shall reference this permit and the terms and conditions specified herein and this permit shall be recorded along with the deed with the Registrar of Deeds or other appropriate official.

II. SPECIAL CONDITIONS ARE CHECKED BELOW:

(x) Structures For Small Boats: That permittee hereby recognizes the possibility that the structure permitted herein may be subject to damage by wave wash from passing vessels. The issuance of this permit does not relieve the permittee from taking all proper steps to insure the integrity of the structure permitted herein and the safety of boats moored thereto from damage by wave wash and permittee shall not hold the United States liable for any such damage.

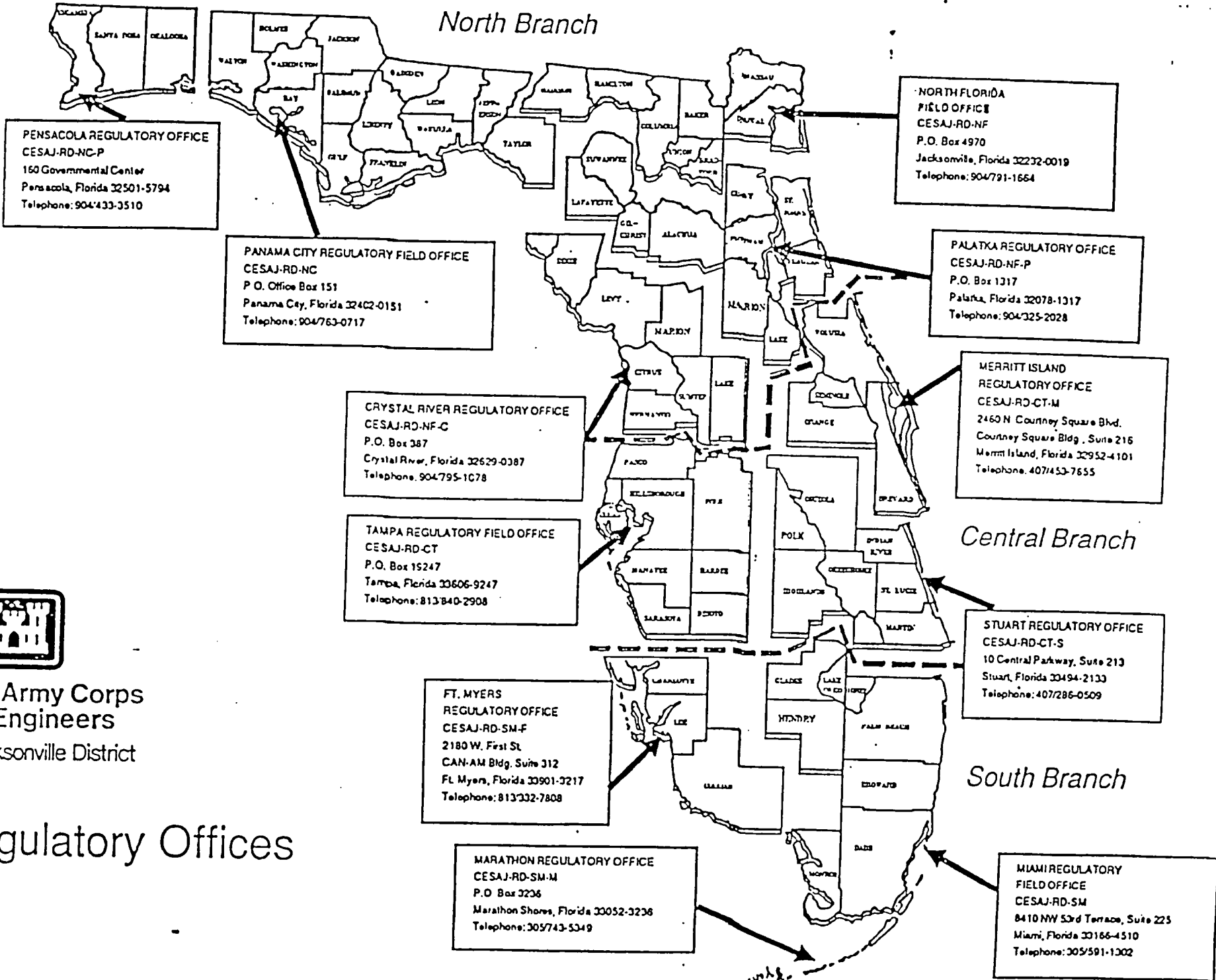
() Discharge Of Dredged Material Into Ocean Waters: That the permittee shall place a copy of this permit in a conspicuous place in the vessel to be used for the transportation and/or dumping of the dredged material as authorized herein.

(x) Erection Of Structure In Or Over Navigable Waters: That the permittee, upon receipt of a notice of revocation of of this permit or upon its expiration before completion of the authorized structure or work, shall, without expense to the United States and in such time and manner as the Secretary of the Army or his authorized representative may direct, restore the waterway to its former condition. If the permittee fails to comply with the direction of the Secretary of the Army or his authorized representative, the Secretary or his designa may

restore the waterway to its former condition, by contract or otherwise, and recover the cost thereof from the permittee.

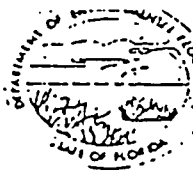
() Maintenance Dredging: (1) That when the work authorized herein includes periodic maintenance dredging, it may be performed under this permit for _____ years from the date of issuance of this permit: and (2) That the permittee will advise the District Engineer in writing at least two weeks before he intends to undertake any maintenance dredging.

North Branch



US Army Corps
of Engineers
Jacksonville District

Regulatory Offices



RECEIVED Florida Department of Environmental Regulation

17-312 900(1)
Joint App. for Works in the Water
June 5, 1991
DER Approved by
RECEIVED

DEPT. OF ENVIRONMENTAL REG.
WEST PALM BEACH

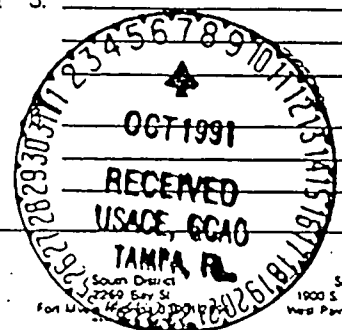
Joint Application for Works in the Waters of Florida

Department of the Army (Corps)/Florida Department of Environmental Regulation (DER)
Department of Natural Resources (DNR)/Delegated Water Management District (Delegated WMD)

Type or Print Legibly

P 109-01

Corps Application Number (official use only) 199141507		DER Application Number (official use only) 432009858	
1. Applicant's Name and Address			
Name AYRES FREDERIC M. <small>Last Name, First Name (if Individual); Corporate Name; Name of Govt. Agency</small>			
Street 963 COUNTRY WAY			
City JEWSEW Bch.		State FLORIDA	Zip 34957
Telephone (407) 334-1131 (Day)		(407) 334-1346 (Night)	
2. Name, Address, Zip Code, Telephone Number and Title of Applicant's Authorized Agent			
Name N/A <small>Last Name, First Name</small>			
Corporate Name; Name of Govt. Agency _____			
Street _____			
City _____		State _____	Zip _____
Telephone (_____) _____ (Day)		(_____) _____ (Night)	
3. Name of Waterway at Work Site: St. Lucie River			
4. Street, Road or Other Location of Work South River Road			
Incorporated City or Town The Town of Sewall's Point			
Section 01	Township 38	Range 41	
Section _____	Township _____	Range _____	
Section _____	Township _____	Range _____	
County(ies) Martin			
Coordinates in Center of Project: See attached survey copy.		Federal Projects Only: _____ x _____	
Latitude _____		Longitude _____	
Lot 25	Block N/A	Subd Heritage Place	Plat Bk 10 Pg 2
Directions to Locate Site: Located approximately 600 feet south of the Evans Crary Bridge on the Eastern shore of the St. Lucie River. OR South on Sewall's Pt. Rd. to Heritage Place, turn right to River Road, property on river with driveway access.			
5. Names, Addresses, and Zip Codes of Adjacent Property Owners Whose Property Also Adjoins the Water (Excluding App. Show Numbers or Names of These Owners on Plan Views. If More Than Six (6) Owners Adjoin the Project, You May Be Re to Publish a Public Notice for the DER.			
1. Dr. and Mrs. Robert Pare	2. Dr. and Mrs. William Hewson	3. _____	
105 So. Sewall's Pt. Rd	9 So. River Road	_____	
Stuart, FL. 34996	Stuart, FL. 34996	_____	
4. _____	5. _____	_____	
_____	_____	_____	
_____	_____	_____	



6. Proposed Use (Check one or more as applicable) Private Single Family Multi Family
 Public Commercial New Work Alteration of Existing Works Maintenance Other (Explain) _____

7. Desired Permit Duration (see Fee Schedule)
 5 Yr 10 Yr Other (Specify) _____

8. General Permit or Exemption Requested
 DER General Permit FAC Rule 17-312. DER Exemption FAC Rule 17-312. _____ Section 403. _____

9. Total Extent of Work in Jurisdictional Open Waters or Wetlands: (Use additional sheets and provide complete breakdown of ea category if more space is needed.)

a. Within Corps Jurisdiction:
 Fill: _____ Sq. Ft. _____ Acres _____ Cu. Yds
 Excavation: _____ Sq. Ft. _____ Acres _____ Cu. Yds

b. Within DER Jurisdiction:
 Fill: _____ Sq. Ft. _____ Acres _____ Cu. Yds
 Excavation: _____ Sq. Ft. _____ Acres _____ Cu. Yds
 Excavation Waterward of MHW _____ cu. yds. (Information needed for DNR)

c. DER Jurisdictional Area Severed (Area Landward of Fill Structures which will be Severed):
 _____ Sq. Ft. _____ Acres

d. DER Jurisdictional Area Created (New Excavation from Uplands, Exclusive of Mitigation):
 _____ Sq. Ft. _____ Acres

e. Docks, Piers, and Over Water Structures:
 Total Number of Slips 1 Total Number of Mooring Pilings Approx 36
 Length 140' Width 50' Height above MHW _____
 Length _____ Width _____ Height above MHW _____
 Number of Finger Piers _____ Length _____ Width _____ Height _____
 Number of Finger Piers _____ Length _____ Width _____ Height _____
 Total area of structure over waters & wetlands 2720 sq' sq.
 Use of structure BATHHOUSE FOR PRIVATE HOME

Will the docking facility provide:	No	Yes	Number
Liveaboard Slips	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Fueling Facilities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Sewage Pump-out Facilities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Other Supplies or Services Required for Boating (Excluding refreshments, bait and tackle)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____

f. Seawall length N/A ft. Seawall material _____
 Riprap revetment length _____ ft. Slope _____ H: _____ V _____ Toe width _____
 Riprap at toe of seawall length _____ ft. Slope _____ H: _____ V _____ Toe width _____
 Size of riprap _____
 Type of riprap or seawall material _____

g. Other (See Item 10).

RECEIVED

SEP 30 1991

Dept. of Environmental Reg.
P.O. Box 1000
Tallahassee, FL 32304

DER Form	17-312.900(1)
Form Title	JOINT APPLIC. FOR WORKS IN THE WATERS OF FLORIDA
Effective Date	JUNE 5, 1991
DER Application No.	#REQ in DE DER.

10. Description of Work (be specific; use additional sheets as necessary).

REMOVE 9' of EXISTING BOATHOUSE FROM SOUTH END OF STRUCTURE (to ACCOMMODATE PROPERTY SETBACK REQUIREMENTS). RENOVATE REMAINING BOATHOUSE AND DOCK STRUCTURE (PER SOUTH FLORIDA BUILDING CODE.)

11. Turbidity, Erosion, and Sedimentation Controls Proposed:

12. Date Activity is Proposed to Commence 1/92 ; to be Completed 2/92
Total Time Required to Construct 30 DAYS

13. Previous Applications for this Project have been:

	DER No.	Corps No.
A. Denied (date) _____	_____	_____
B. Issued (date) _____	_____	_____
C. Other (please explain) _____	_____	_____

Differentiate between existing work and proposed work on the drawings.

14. Certification. Application is hereby made for a permit or permits to authorize the activities described herein.

A. I Certify That: (Please check appropriate space)

- I am the record owner , lessee , or the record easement holder of the property on which the proposed project is to be undertaken, as described in the attached legal document.
- I am not the record owner, lessee, or record easement holder of the property on which the proposed project is to be undertaken, as described in the attached legal document, but I will have, before undertaking the proposed work, the requisite property interest. (Please explain what the interest will be and how it will be acquired.)

Attach legal description of property or copy of deed to the property on which project is to occur (must be provided)

B. I understand I may have to provide any additional information/data that may be necessary to provide reasonable assurance or evidence that the proposed project will comply with the applicable State Water Quality Standards or other environmental standards both before construction and after the project is completed.

C. In addition, I agree to provide entry to the project site for inspectors with proper identification or documents as required by law from the environmental agencies for the purpose of inspecting the site. Further, I agree to provide entry to the project site for such inspectors to monitor permitted work, if a permit is granted.

D. This is a Joint Application and is not a Joint Permit. I hereby acknowledge the obligation and responsibility for obtaining all of the required state, federal or local permits before commencement of construction. I also understand that before commencement of this proposed project, I must be granted separate permits or authorizations from the U.S. Corps of Engineers, the U.S. Coast Guard, the Department of Environmental Regulation, the Delegated Water Management District (where applicable), and the Department of Natural Resources, as necessary.

E. I am familiar with the information contained in this application, and that to the best of my knowledge and belief, such information is true, complete and accurate. I further certify that I possess the authority to undertake the proposed activities or am acting as the authorized agent of the applicant. I understand that knowingly making any false statement or representation in this application is a violation of Section 403.161, F.S. and Chapter 837, F.S.

FREDERIC M. AYRES
Typed/Printed Name of Applicant or Agent

[Signature]
Signature of Applicant or Agent

9/27/91
Date

(Corporate Title if applicable)

AN AGENT MAY SIGN ABOVE IF APPLICANT COMPLETES THE FOLLOWING:

I hereby designate and authorize the agent listed above to act on my behalf as my agent in the processing of this permit application and to furnish on request, supplemental information in support of the application.

Typed/Printed Name of Applicant

Signature of Applicant

Date

(Corporate Title if applicable)

15. For your information: Section 370.034, Florida Statutes, requires that all dredge and fill equipment owned, used, leased, rented or operated in the state shall be registered with the Department of Natural Resources. Before selecting your contractor or equipment you may wish to determine if this requirement has been met. For further information, contact the Chief of the Bureau of Saltwater Licenses and Permits, Department of Natural Resources, 3900 Commonwealth Boulevard, Tallahassee, Florida 32399, Telephone No. (904) 487-3122. This is not a requirement for a permit from the Department of Environmental Regulation.

18 U.S.C. Section 1001 provides that, Whoever, in any manner within the jurisdiction of any department or agency of The United States knowingly and willfully falsifies, conceals, or covers up by any trick, scheme, or device a material fact or makes any false, fictitious or fraudulent statements or representations or makes or uses any false writing or document knowing same to contain any false, fictitious or fraudulent statement or entry, shall be fined not more than \$10,000 or imprisoned not more than five years, or both.

16. Please submit this completed form, with attached drawings and the complete DER processing fee (see Fee Schedule in F.A.C. Rule 17-4.050(4)(c), copy attached) to the appropriate DER or Delegated WMD office with jurisdiction over the project site.



MAGNETIC
VAR 3°15' W (1965)
ANNUAL INCREASE 9

Cable Area
Surfaced Ramps
BASCULE BRIDGE
HOR. CL. 90 FT.
VERT. CL. 24 FT. (AT CENTER)
OVHD. PWR. CAB.
SUBM. AT MAIN CHAN.

INDIAN RIVER
Jensen Beach
Ocean Breeze Park
Rocas Pt.
Pineah Hill
Snug Harbor
Sewalls Point
Hall Gate Pt.

RIO

ST. LUCIE RIVER

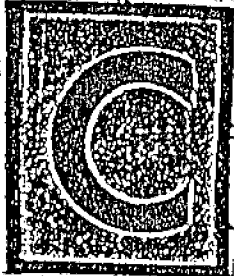
STUART

ST. ALA.

Sleefa Pt.

William Field

AERO
Rot. W & G



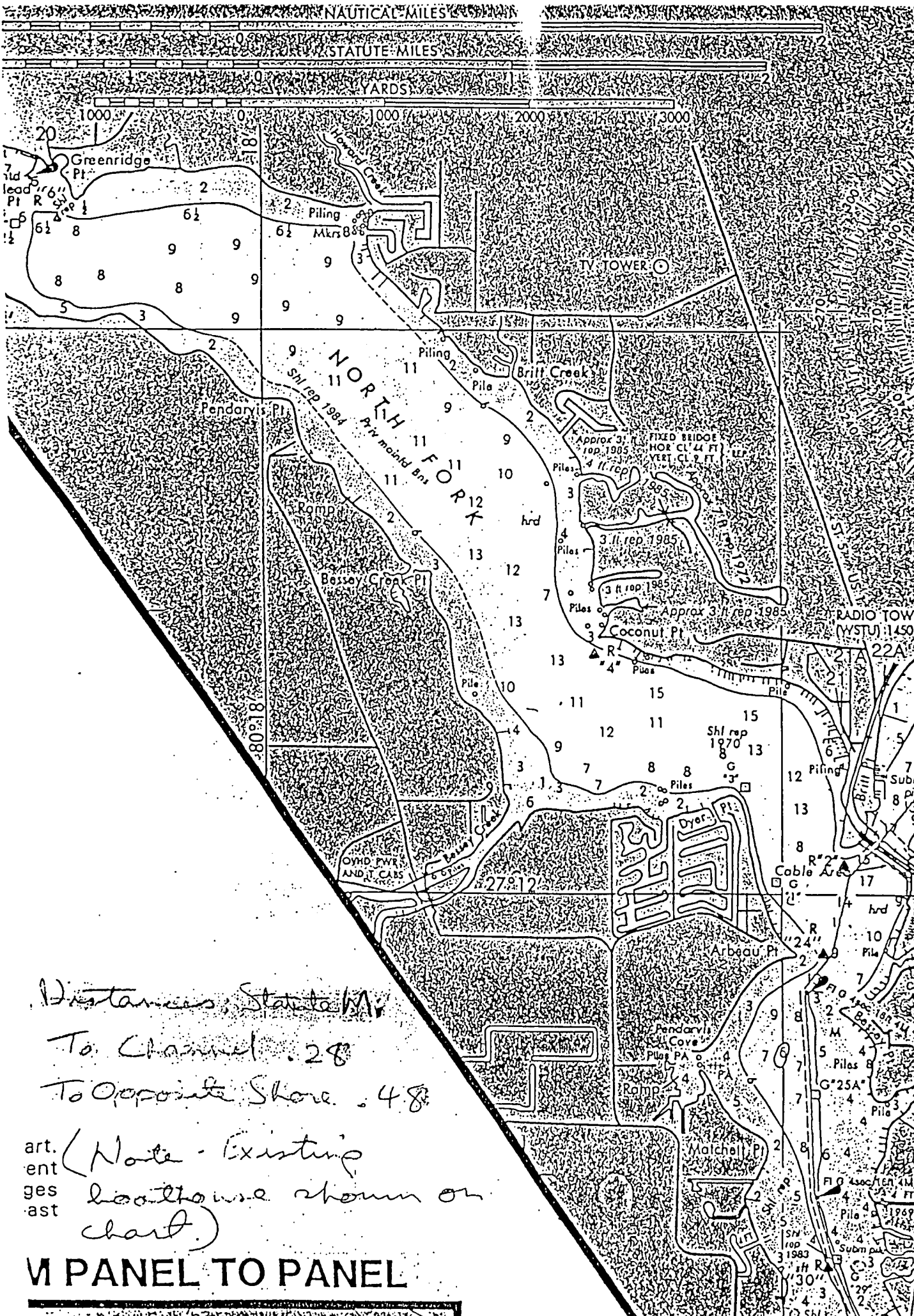
STORM WARNINGS

TANK
FEC RR BASCULE BRIDGE
HOR. CL. 50 FT.
VERT. CL. 7 FT. (AT CENTER)
AUTOMATIC CONTROL
SEE NOTE FOR FEC RR
TWO BASCULE BRIDGES
HOR. CL. 80 FT.
VERT. CL. 14 FT. (AT CENTER)
OVHD. PWR. CAB.
AUTH. CL. 75 FT.
(OVER MAIN CHANNEL)

ST. LUCIE RIVER SPAN
BASCULE BRIDGE
HOR. CL. 89 FT.
VERT. CL. 31 FT.
(AT CENTER)

50 FT.
55 FT.

12 Sign
18
13
10
14



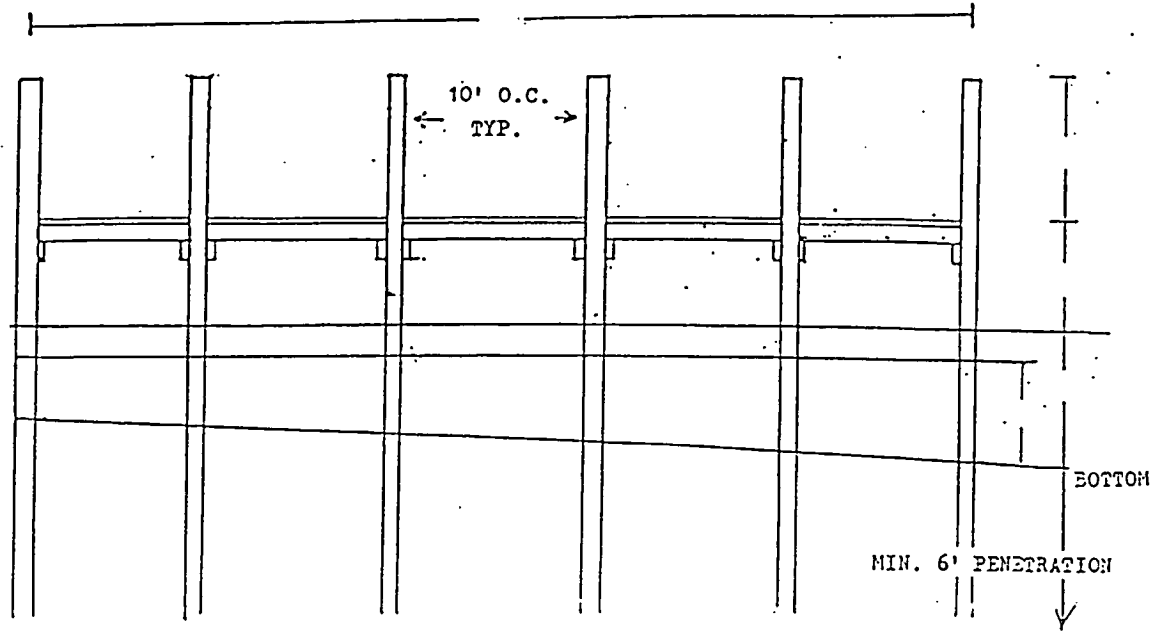
Distances Statute Miles
 To Channel . 28
 To Opposite Shore . 4.8

(Note - Existing
 boathouse shown on
 chart)

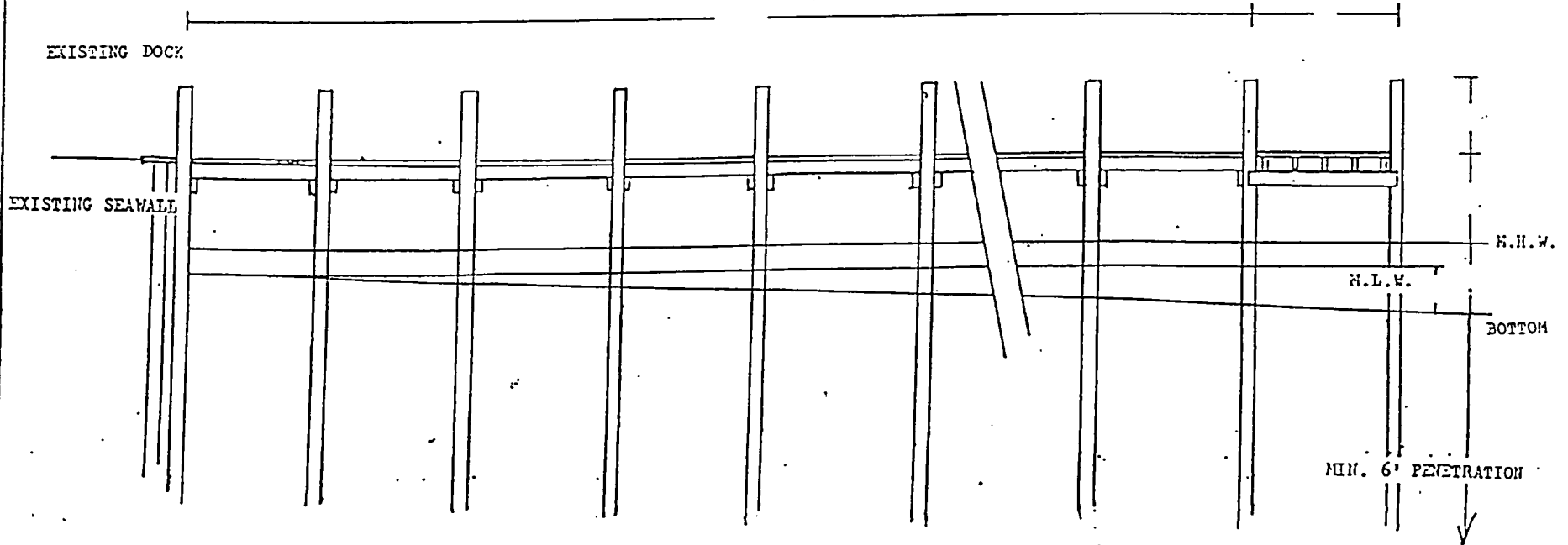
VI PANEL TO PANEL

Robert Sandy Construction, Inc.
3452 N.E. Indian Drive
Jensen Beach, FL 34957
407-334-3046

PROPOSED DOCK



EXISTING DOCK



Applicant: FREDERIC M. AYRES
 Water Body: ST. LUCIE RIVER
 County: MARTIN
 Date: _____

Purpose: Remove 9' Bathhouse + Renovat
 Original Work Maintenance
 Sheet No. _____ of _____
 Date: 9/27/91

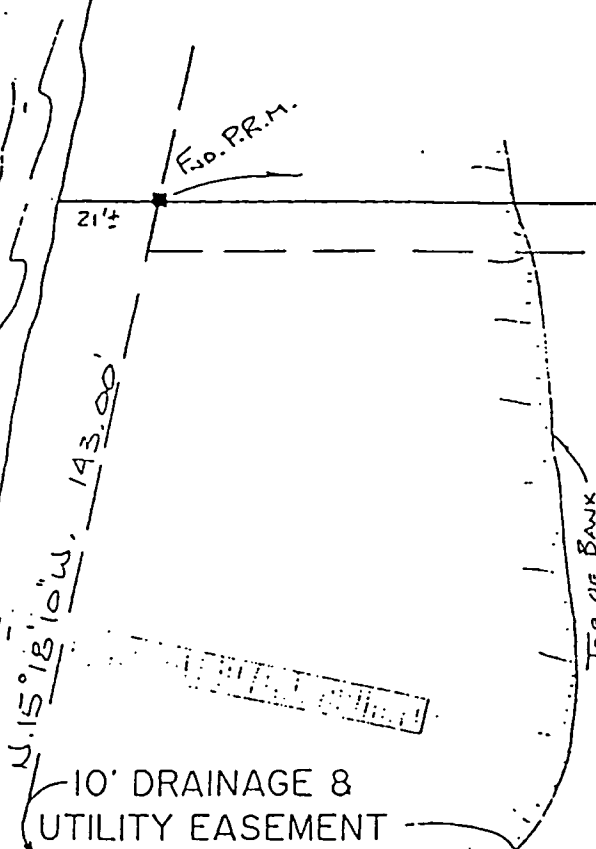
~~1065~~ #. 2
 1235 ft²
 2155 ft²

DOCK AND REMAINING
 BOATHOUSE TO BE
 RENOVATED TO S. FLA.
 BUILDING CODE.

ST. LUCIE
 RIVER



Outside L
 164 ft²
 Dock
 756 ft²



SET I.B. N. 62° 37' 31" E

SET I.B. N. 62° 37' 31" E

NOTES:

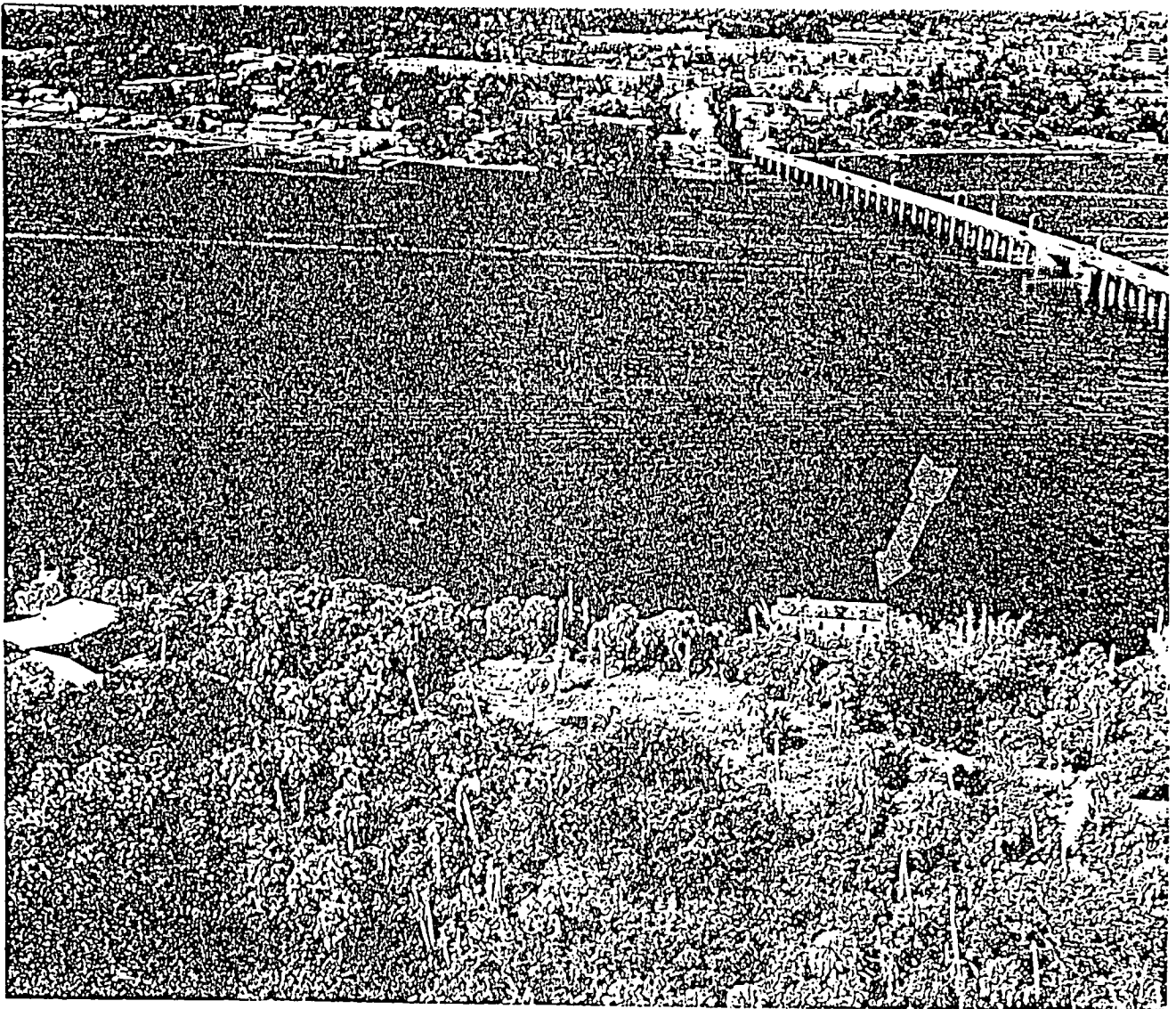
LOT 25
 (VACANT)

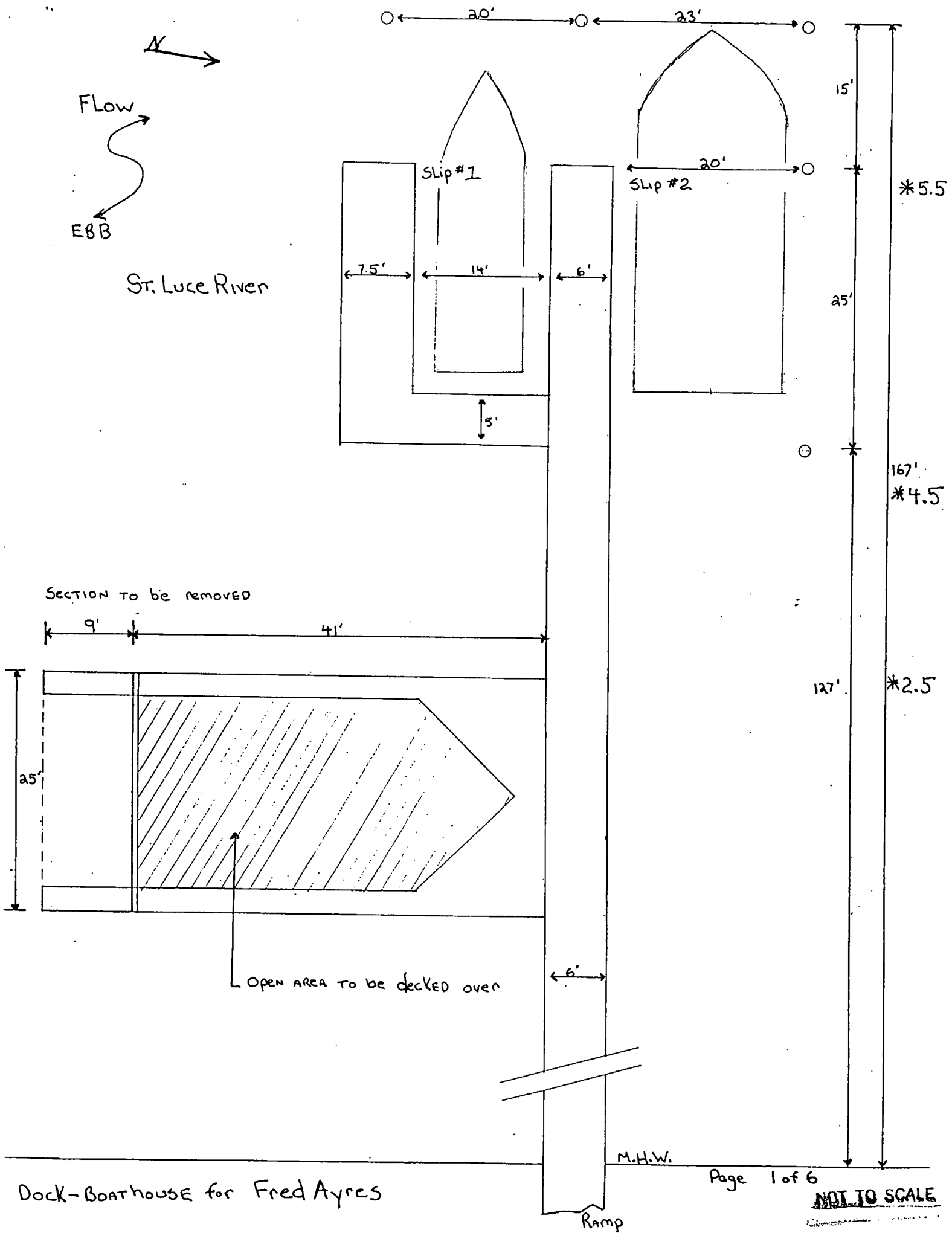
LOT 1
 (VACANT)

Tax ID: 1 3841 013 000 00250

Legal description: Heritage Place Subdivision, Lot 25
Stuart, Florida 34996

The property is to be acquired by purchase. It will be Fee Simple Interest
with a General Warranty Deed in my name.





N
 Flow
 EBB

St. Luce River

Slip #1

Slip #2

SECTION TO BE REMOVED

OPEN AREA TO BE DECKED OVER

M.H.W.

Page 1 of 6

Dock-Boathouse for Fred Ayres

Ramp

NOT TO SCALE

*5.5

167'
*4.5

127'
*2.5

15'

25'

20' 23'

7.5' 14' 6'

5'

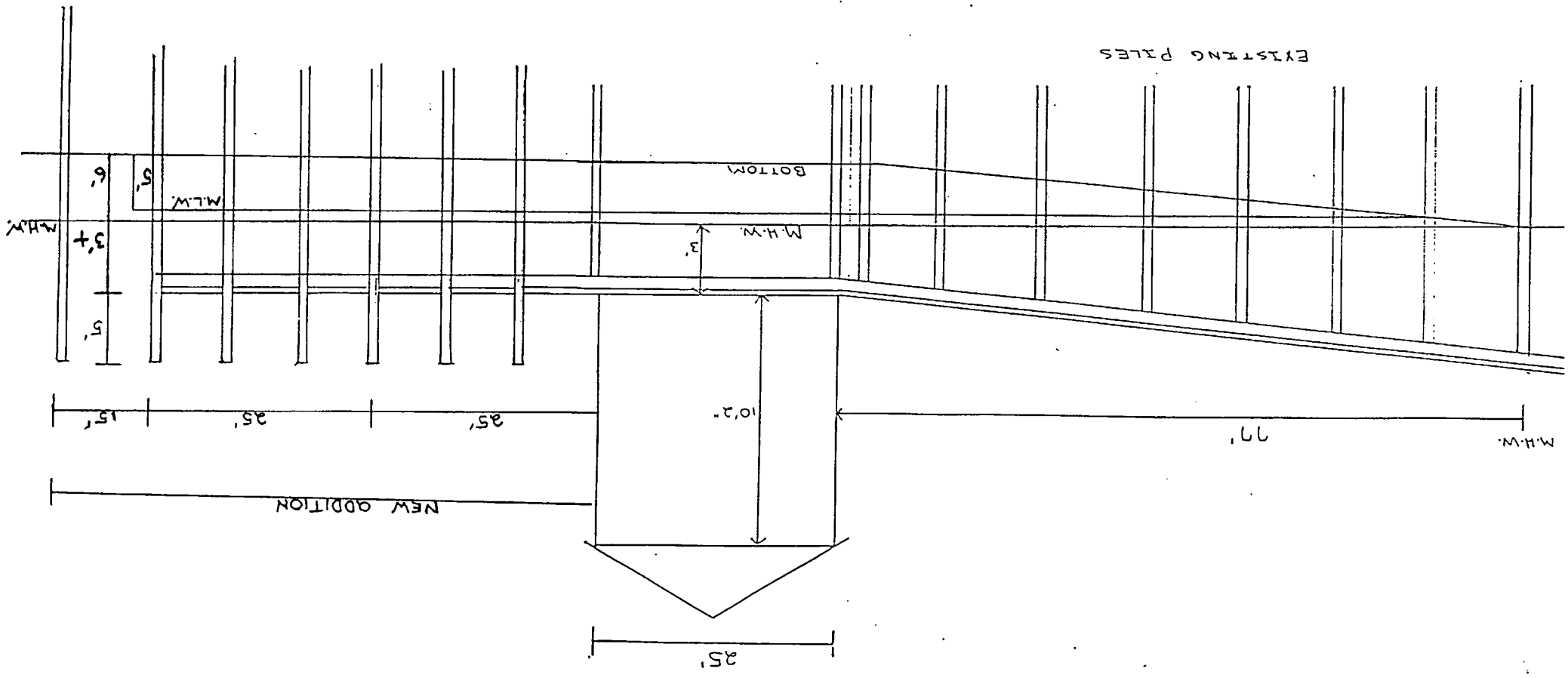
20'

9' 41'

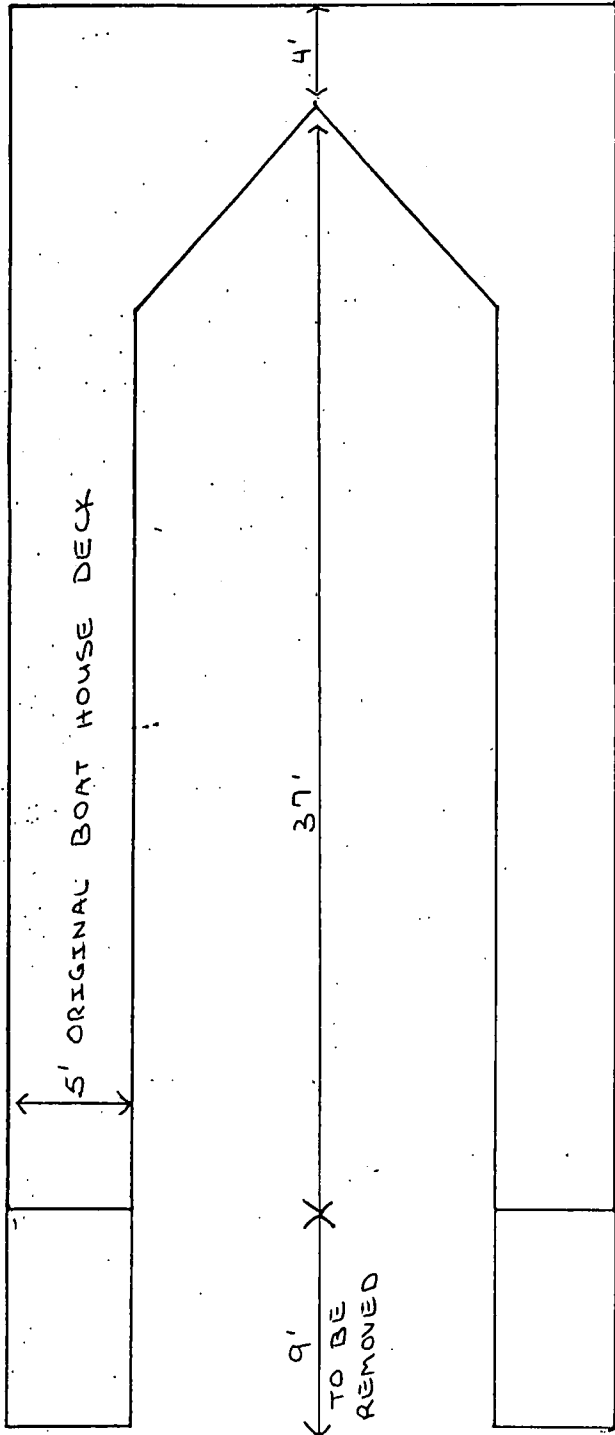
25'

6'

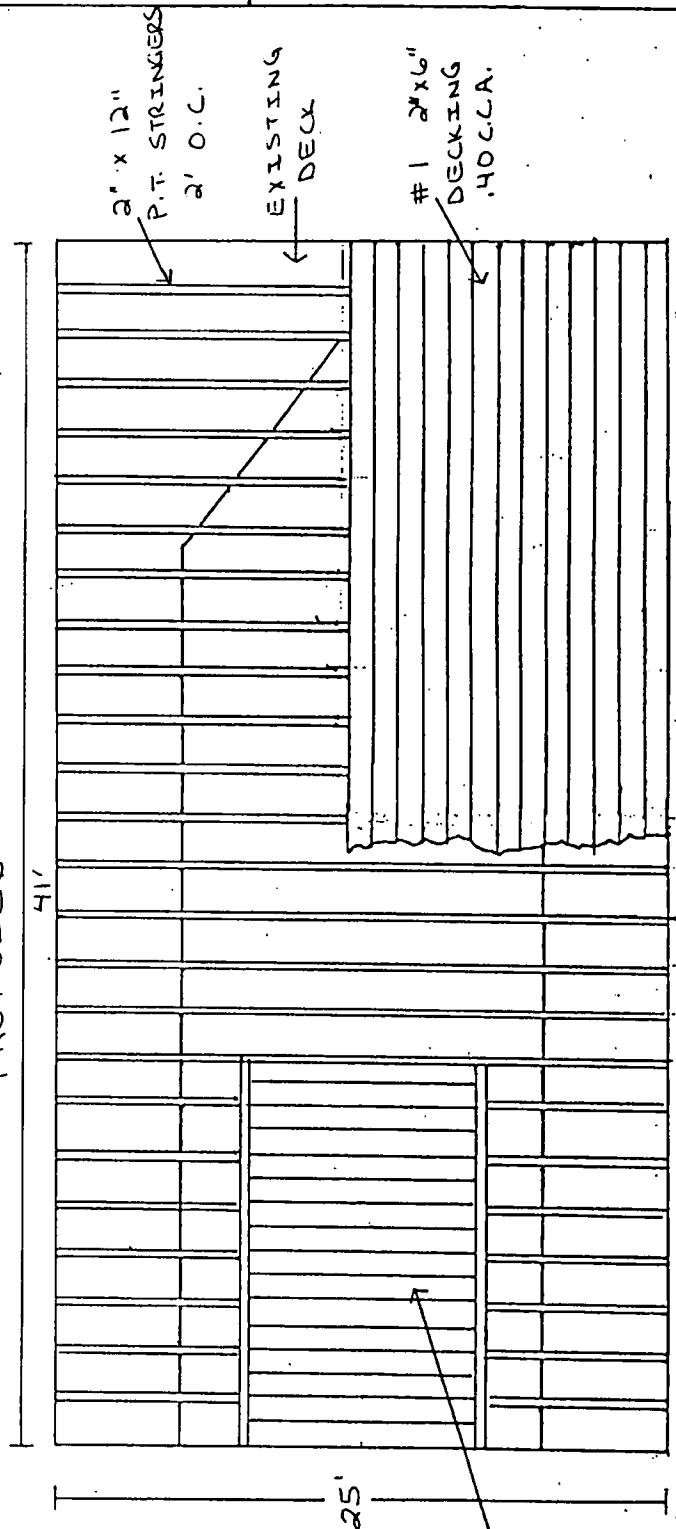
NOT TO SCALE



EXISTING



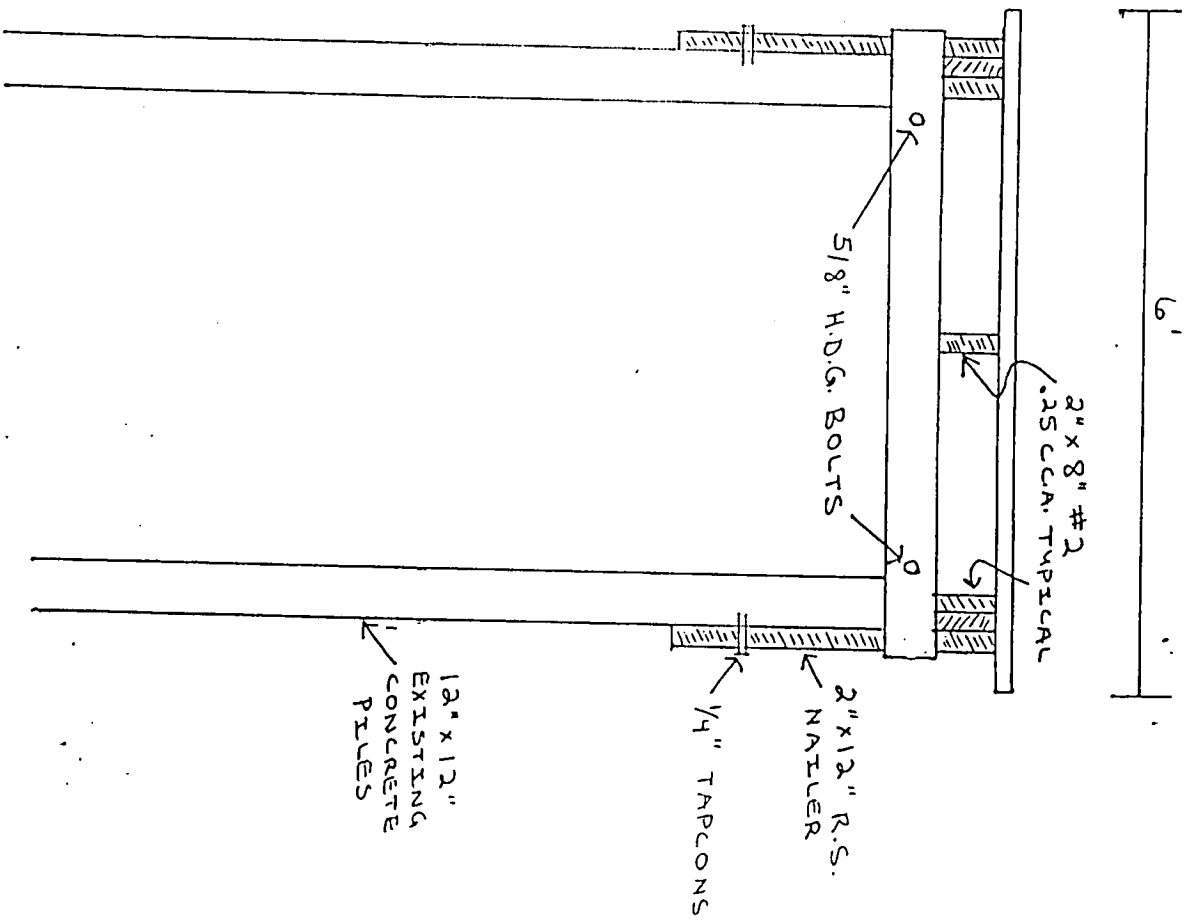
PROPOSED



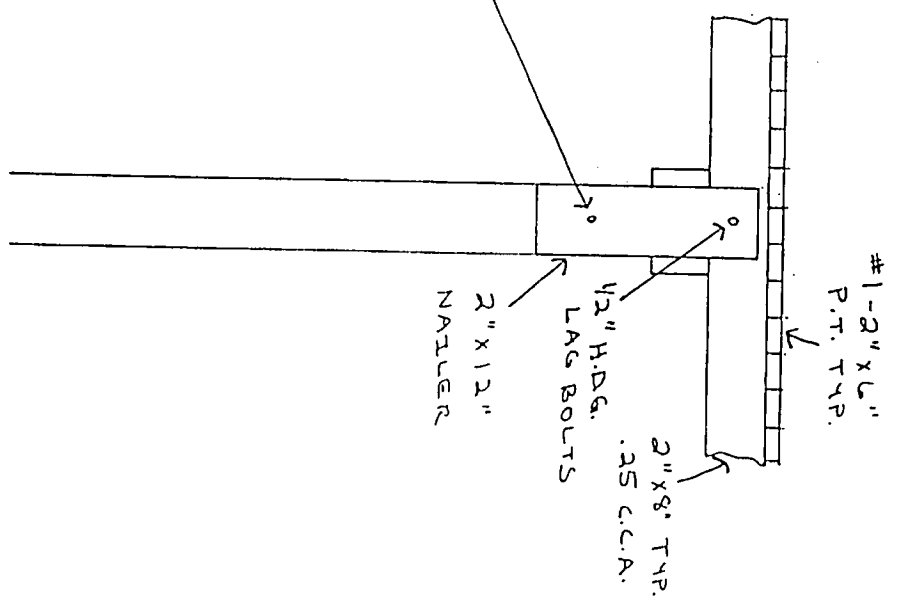
10' x 15'
 DECK TO BE
 BUILT AT
 ORIGINAL
 DECK HEIGHT

Robert Sandy Construction, Inc.
 3452 N.E. Indian Drive
 Jensen Beach, FL 34957
 407-334-3046

TYPICAL ELEVATION

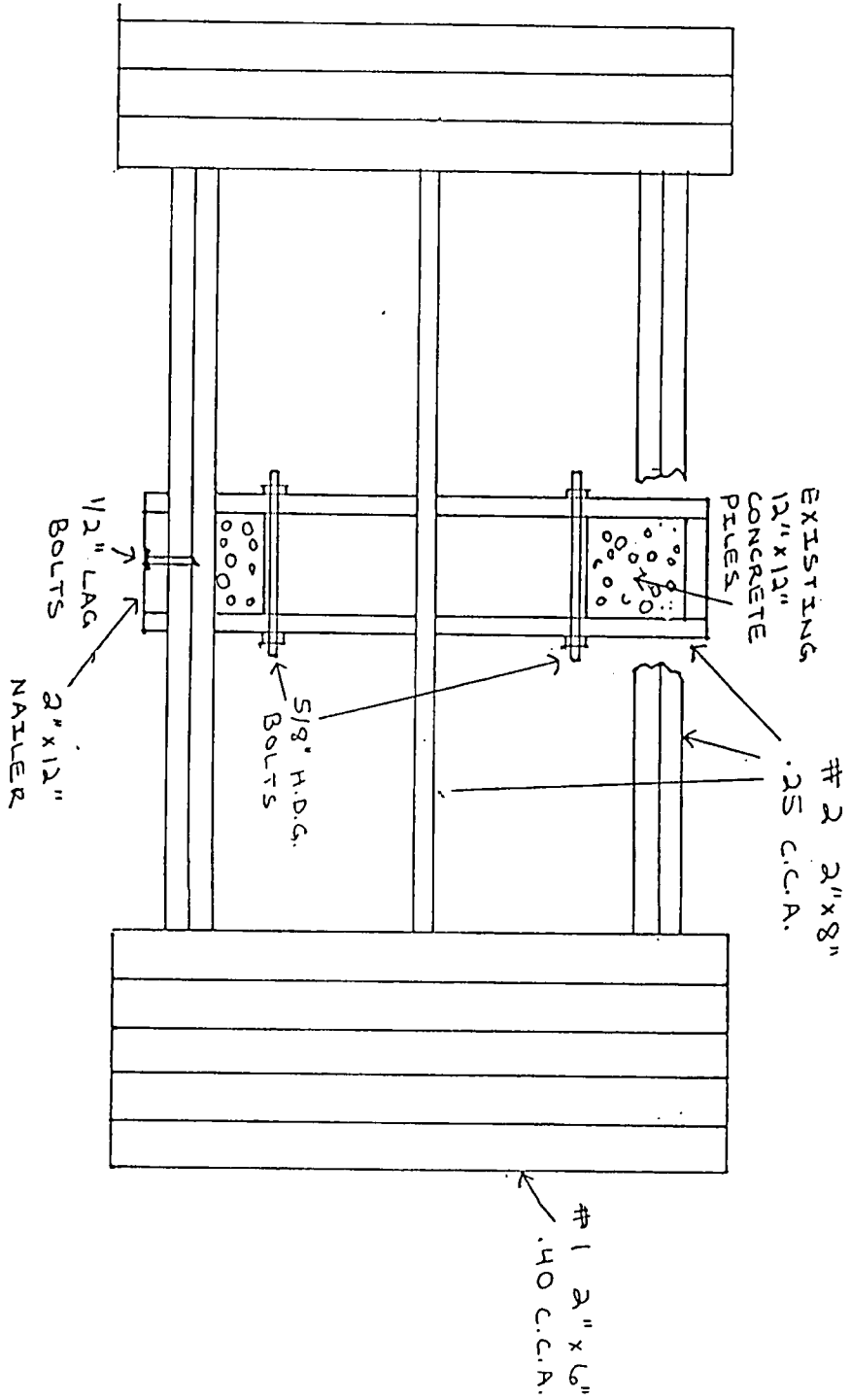


Details of old section



NOT TO SCALE

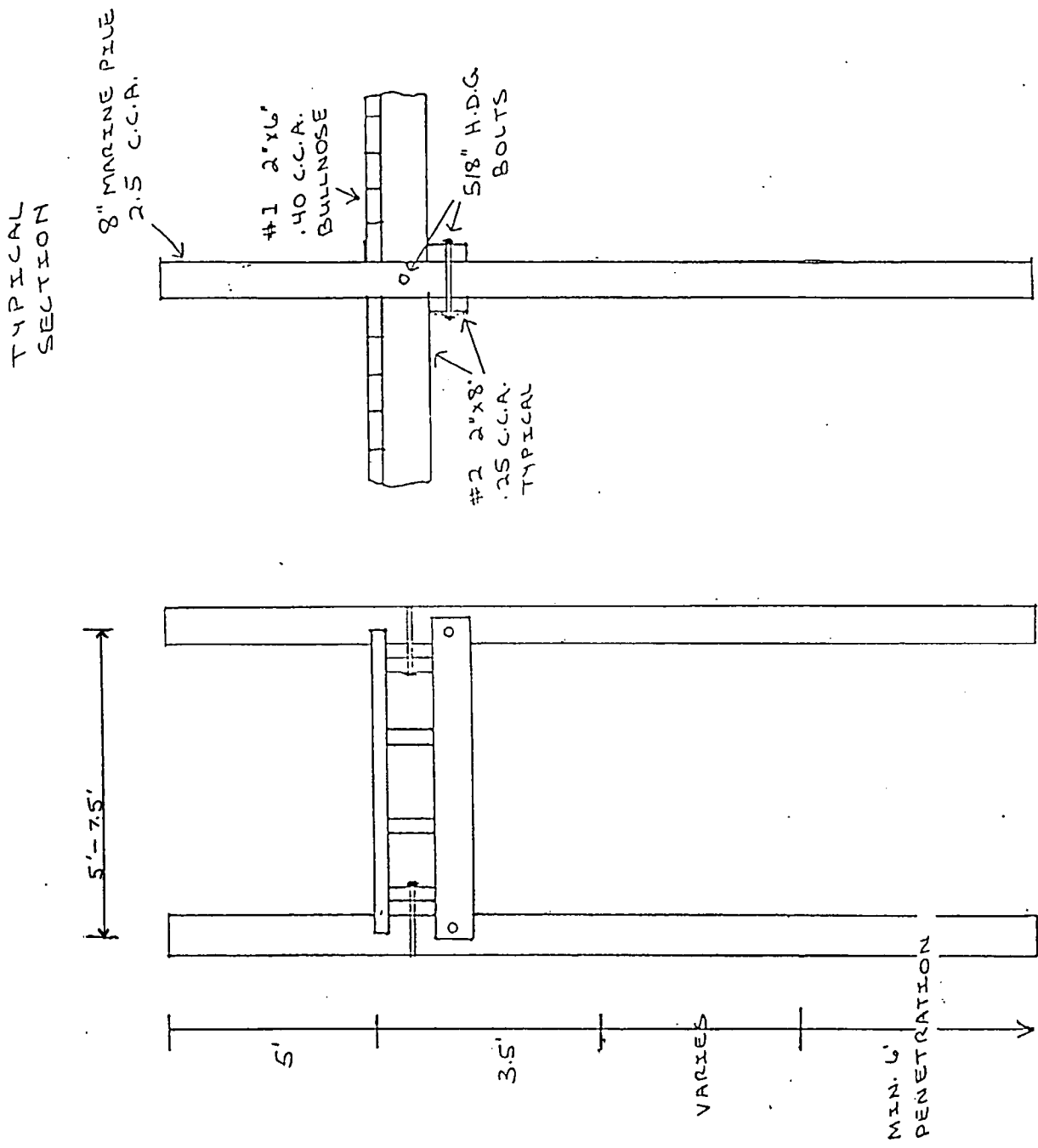
TOP VIEW



Dock for Fred Ayres (OLD Section)

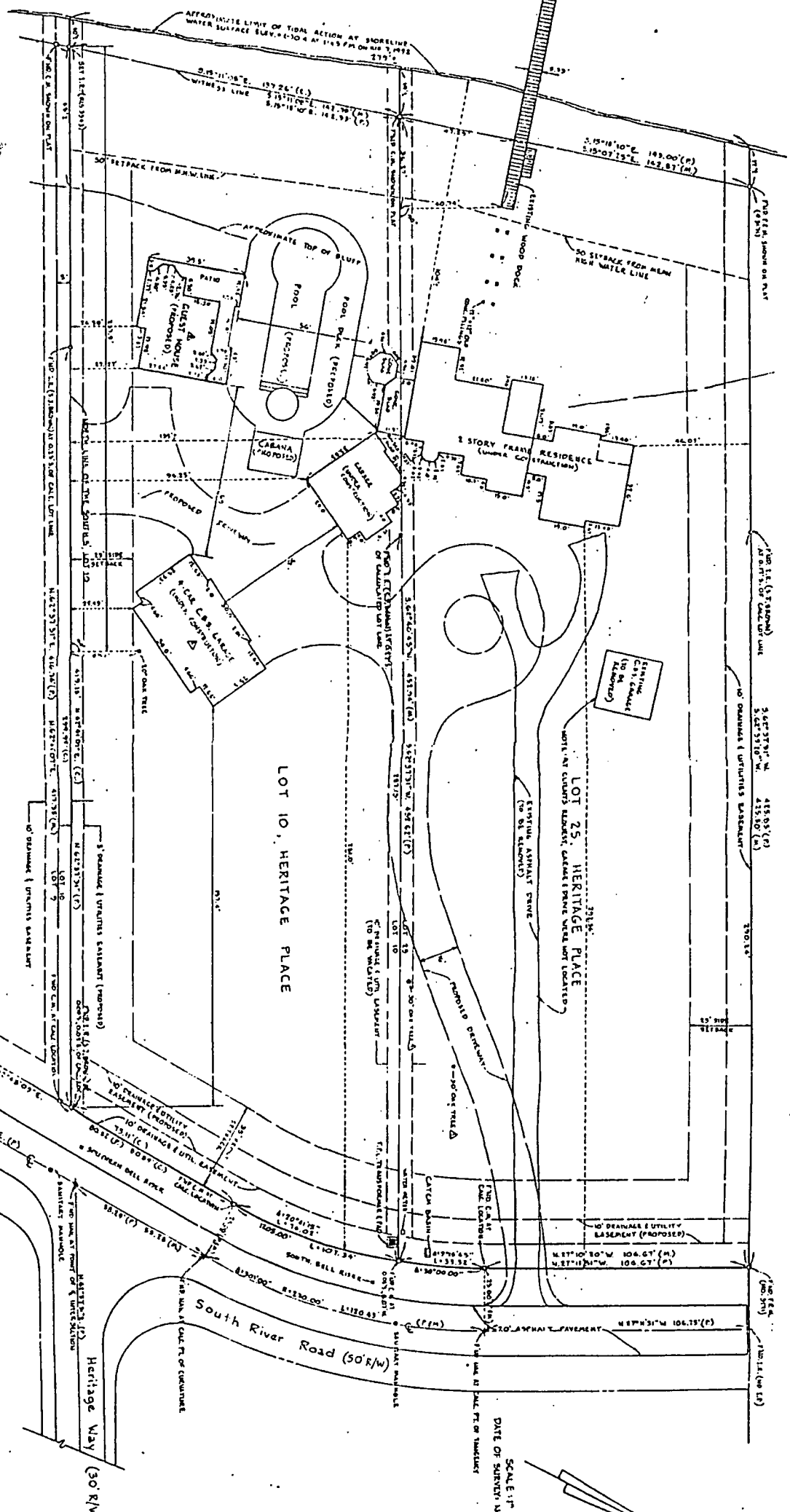
MILIO SCALE

DETAILS for new addition



NOT TO SCALE

St. Lucie River



NOTES:
 1. ALL DISTANCES ARE SHOWN AS OF A 0.0000 AND ARE SHOWN IN FEET ABOVE MEAN SEA LEVEL (MSL) UNLESS OTHERWISE NOTED. ALL DISTANCES ARE SHOWN AS OF A 0.0000 AND ARE SHOWN IN FEET ABOVE MEAN SEA LEVEL (MSL) UNLESS OTHERWISE NOTED.
 2. THE PROPERTY IS SUBJECT TO THE EASEMENTS AND RESTRICTIONS SHOWN ON THE PLAT OF LOT 10, HERITAGE PLACE, AS RECORDED IN PLAT BOOK 10, PAGE 21, OF THE PUBLIC RECORDS OF HERNANDO COUNTY, FLORIDA.
 3. THE PROPERTY IS SUBJECT TO THE EASEMENTS AND RESTRICTIONS SHOWN ON THE PLAT OF LOT 10, HERITAGE PLACE, AS RECORDED IN PLAT BOOK 10, PAGE 21, OF THE PUBLIC RECORDS OF HERNANDO COUNTY, FLORIDA.
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LOT 9

TABLE OF PERMEABLE/IMPERMEABLE AREAS

TOTAL LOT AREA:	175,639 SQ. FT. = 2.884 AC.
IMPERMEABLE AREAS:	
POOL HOUSE	4400 SQ. FT.
POOL DECK	1640 SQ. FT.
POOL	1640 SQ. FT.
POOL HOUSE	1640 SQ. FT.
POOL DECK	5500 SQ. FT.
POOL	15000 SQ. FT.
TOTAL PERMEABLE	27,130 SQ. FT.
TOTAL IMPERMEABLE	75,543 SQ. FT.
LOT COVERAGE (IMPERMEABLE AREA ÷ TOTAL AREA)	43.00% (75,543 ÷ 175,639) = 0.43 = 23 PERCENT

PROPERTY DESCRIPTION:
 ALL OF LOT NO. 10, LESS THE SOUTH FIVE (5) FEET STRIP, IN HERITAGE PLACE, SUBJECT TO THE MATTERS OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR HERITAGE PLACE, AND THOSE PUBLIC RECORDS OF HERNANDO COUNTY, FLORIDA.

SETBACK INFORMATION:

FRONT	35'
REAR	30' (25' IF GUEST HOUSE IS PLANNED)
LEFT	30' FROM RIVER

LEGEND:

- (A) 4" CONC. CURB (NO. 10)
- (B) 4" CONC. CURB (NO. 10)
- (C) 4" CONC. CURB (NO. 10)
- (D) 4" CONC. CURB (NO. 10)
- (E) 4" CONC. CURB (NO. 10)
- (F) 4" CONC. CURB (NO. 10)
- (G) 4" CONC. CURB (NO. 10)
- (H) 4" CONC. CURB (NO. 10)
- (I) 4" CONC. CURB (NO. 10)
- (J) 4" CONC. CURB (NO. 10)
- (K) 4" CONC. CURB (NO. 10)
- (L) 4" CONC. CURB (NO. 10)
- (M) 4" CONC. CURB (NO. 10)
- (N) 4" CONC. CURB (NO. 10)
- (O) 4" CONC. CURB (NO. 10)
- (P) 4" CONC. CURB (NO. 10)
- (Q) 4" CONC. CURB (NO. 10)
- (R) 4" CONC. CURB (NO. 10)
- (S) 4" CONC. CURB (NO. 10)
- (T) 4" CONC. CURB (NO. 10)
- (U) 4" CONC. CURB (NO. 10)
- (V) 4" CONC. CURB (NO. 10)
- (W) 4" CONC. CURB (NO. 10)
- (X) 4" CONC. CURB (NO. 10)
- (Y) 4" CONC. CURB (NO. 10)
- (Z) 4" CONC. CURB (NO. 10)

BOUNDARY SURVEY

One of One

LAST PAGE

LETTER OF NO OBJECTION

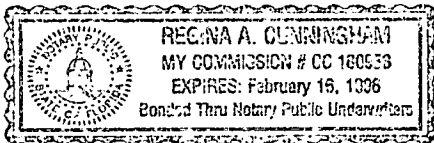
We, W. A. Hewson and Ruthann Hewson
being the owner(s) of certain property adjacent to and
abutting the property of Fred Ayres, ^{Lot 25} Heritage Place who
have applied for a dock permit for construction, have
read and reviewed the drawing of the dock as proposed
and I have no objection to the proposed dock pursuant
to the plan attached herein.

W A Hewson

Ruthann Hewson

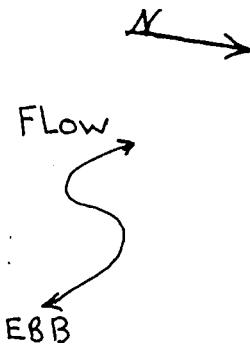
STATE OF FLORIDA
COUNTY OF MARTIN

The foregoing instrument was acknowledged before me
this 8th day of May, 19 92, by
W. A. Hewson and Ruthann Hewson, who is/are
personally known to me or who has/have produced _____
_____ as identification and who did
not take an oath.

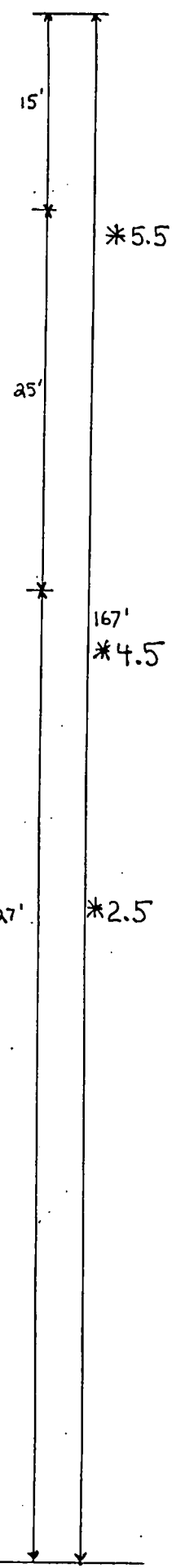
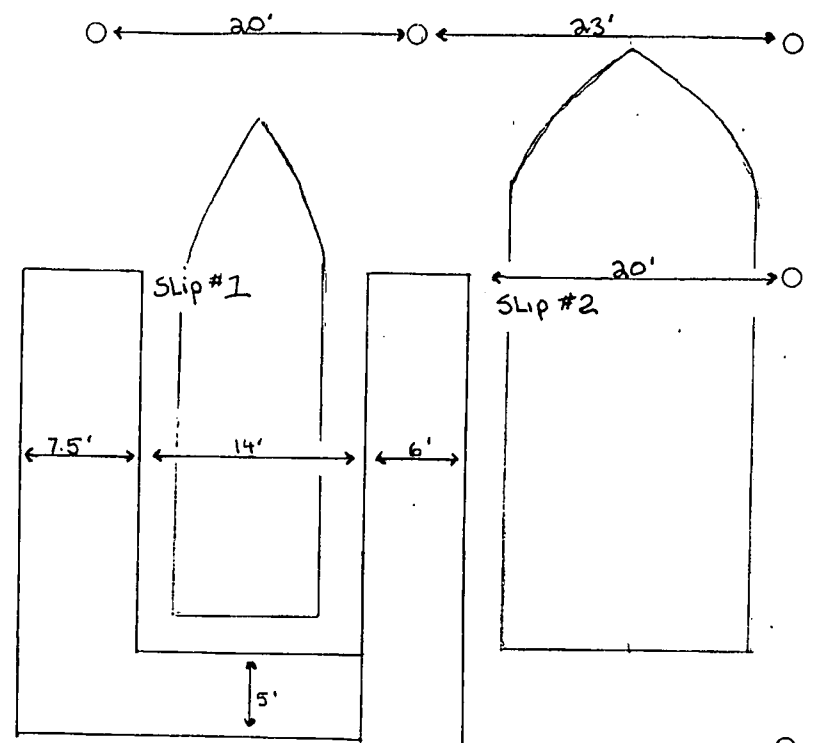


Regina A. Cunningham
Signature of Notary Public

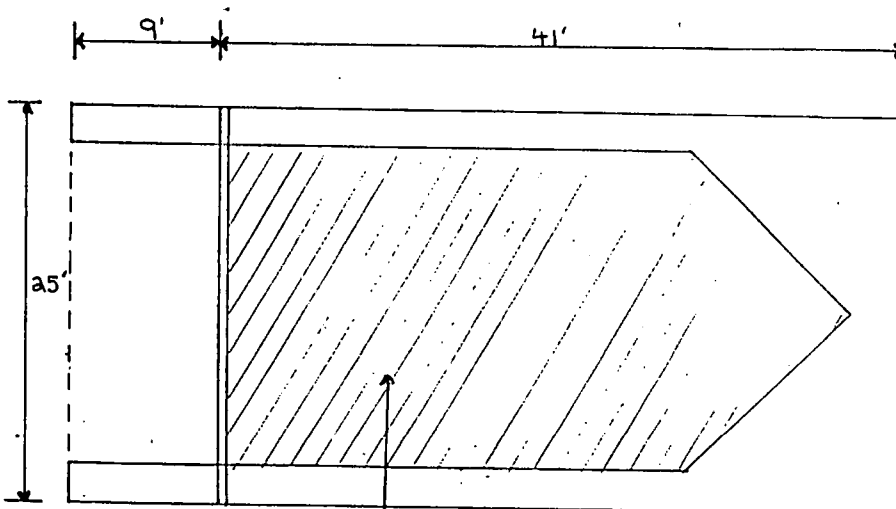
Regina A. Cunningham
Print, Type or Stamp Commissioned
Name of Notary Public



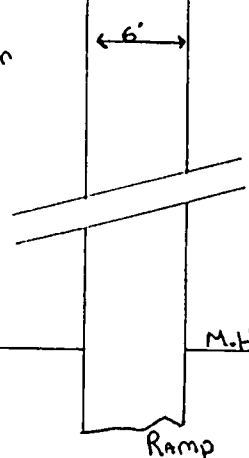
St. Luce River



SECTION TO BE REMOVED



Open AREA TO be decked over

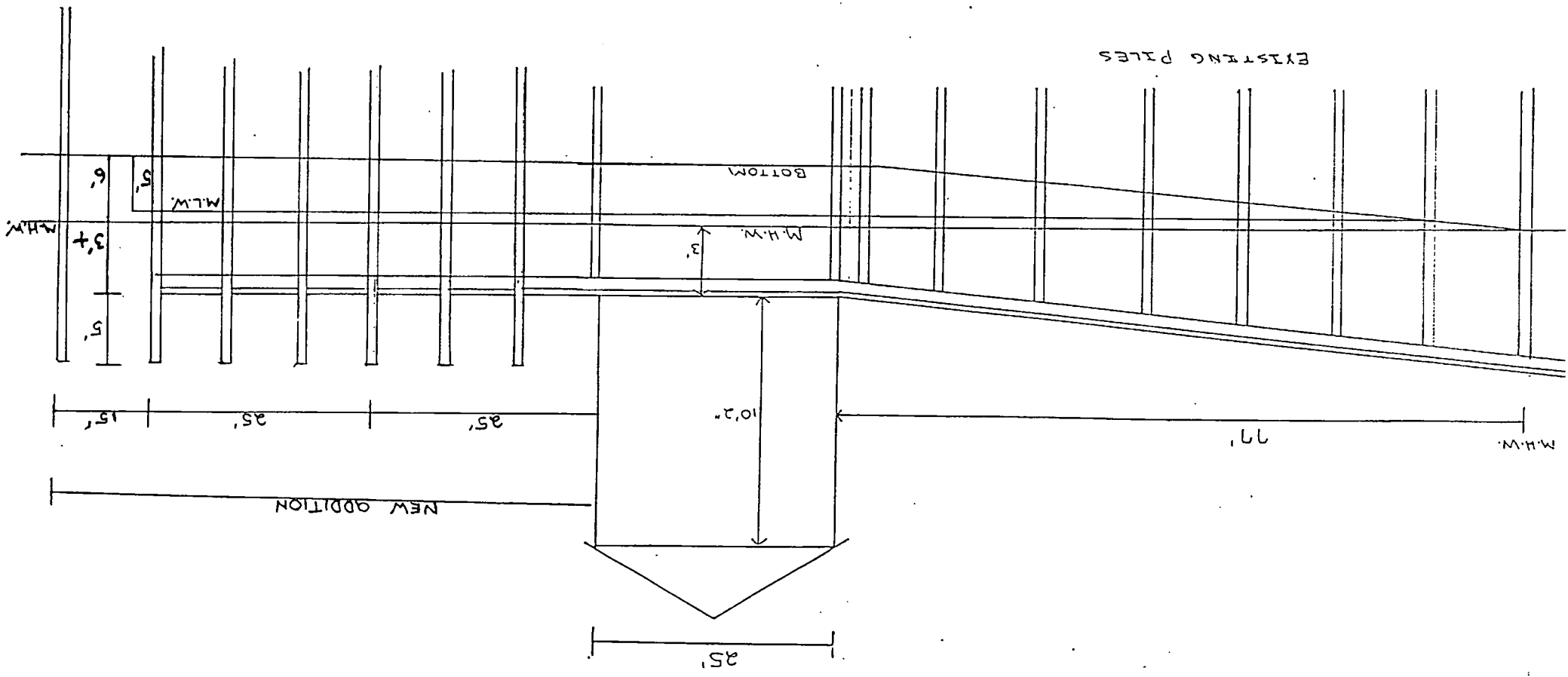


M.H.W.

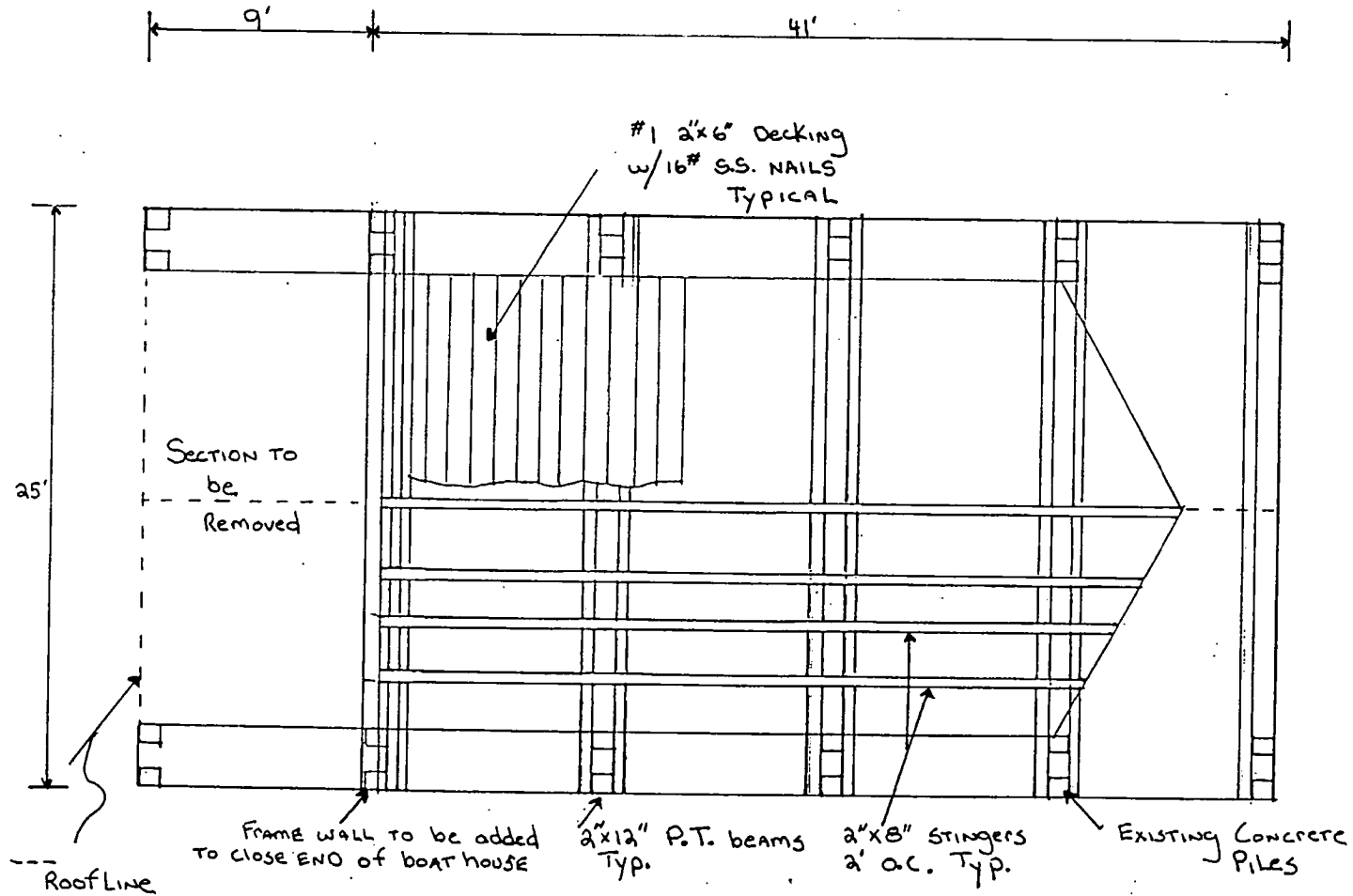
Dock-Boathouse for Fred Ayres

NOT TO SCALE

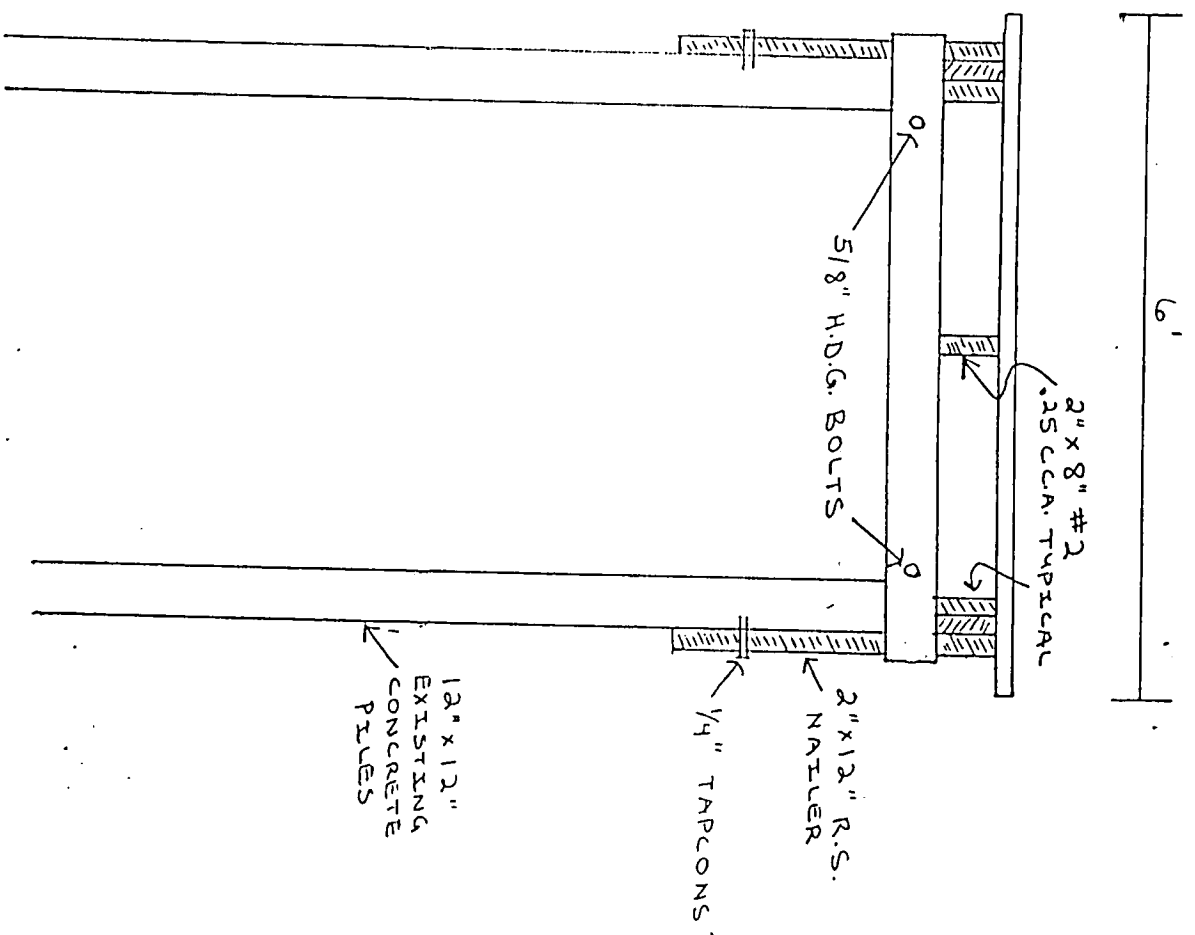
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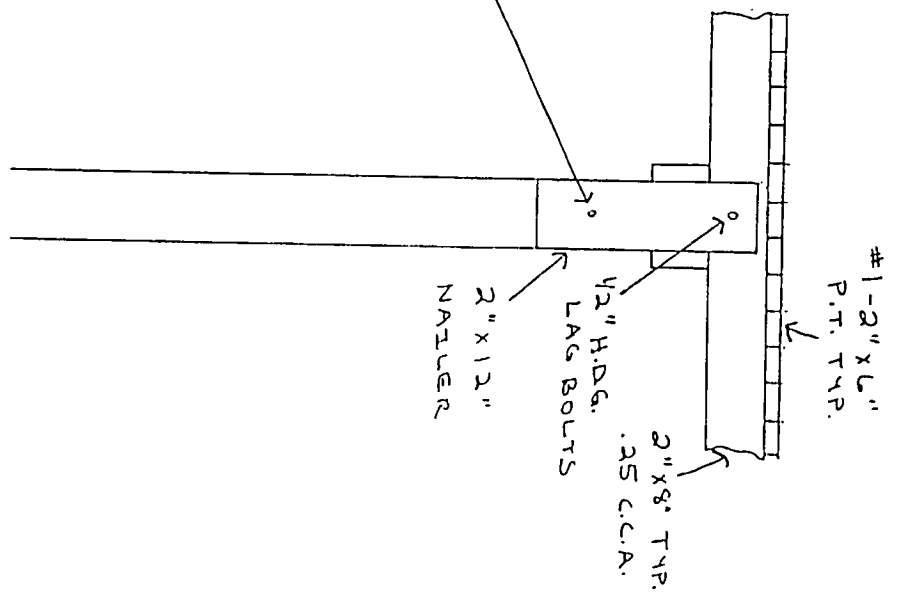
Boat house to be closed in
to be used for storage



TYPICAL ELEVATION



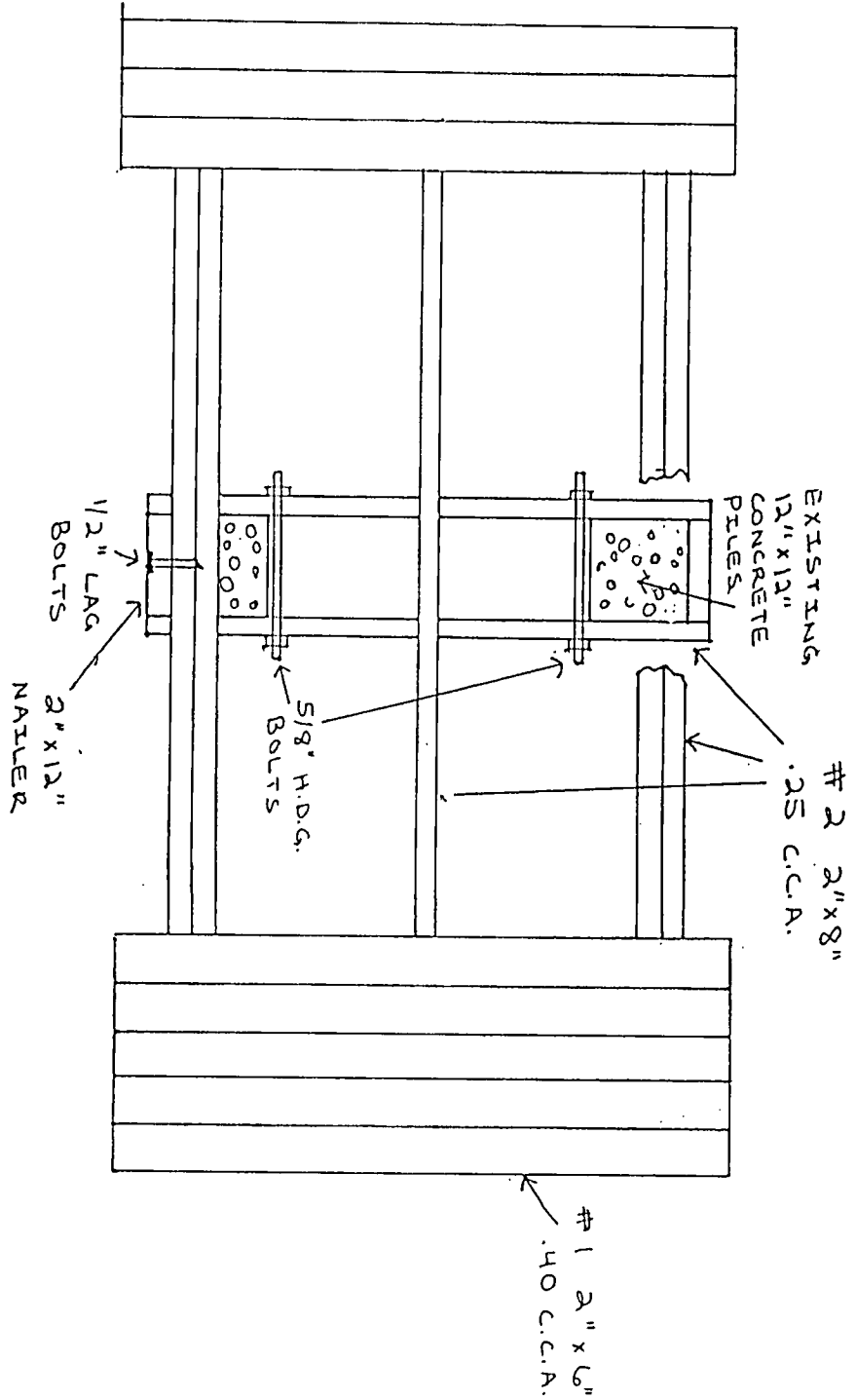
Details of old section



- Dock for Fred Ayres

NOT TO SCALE

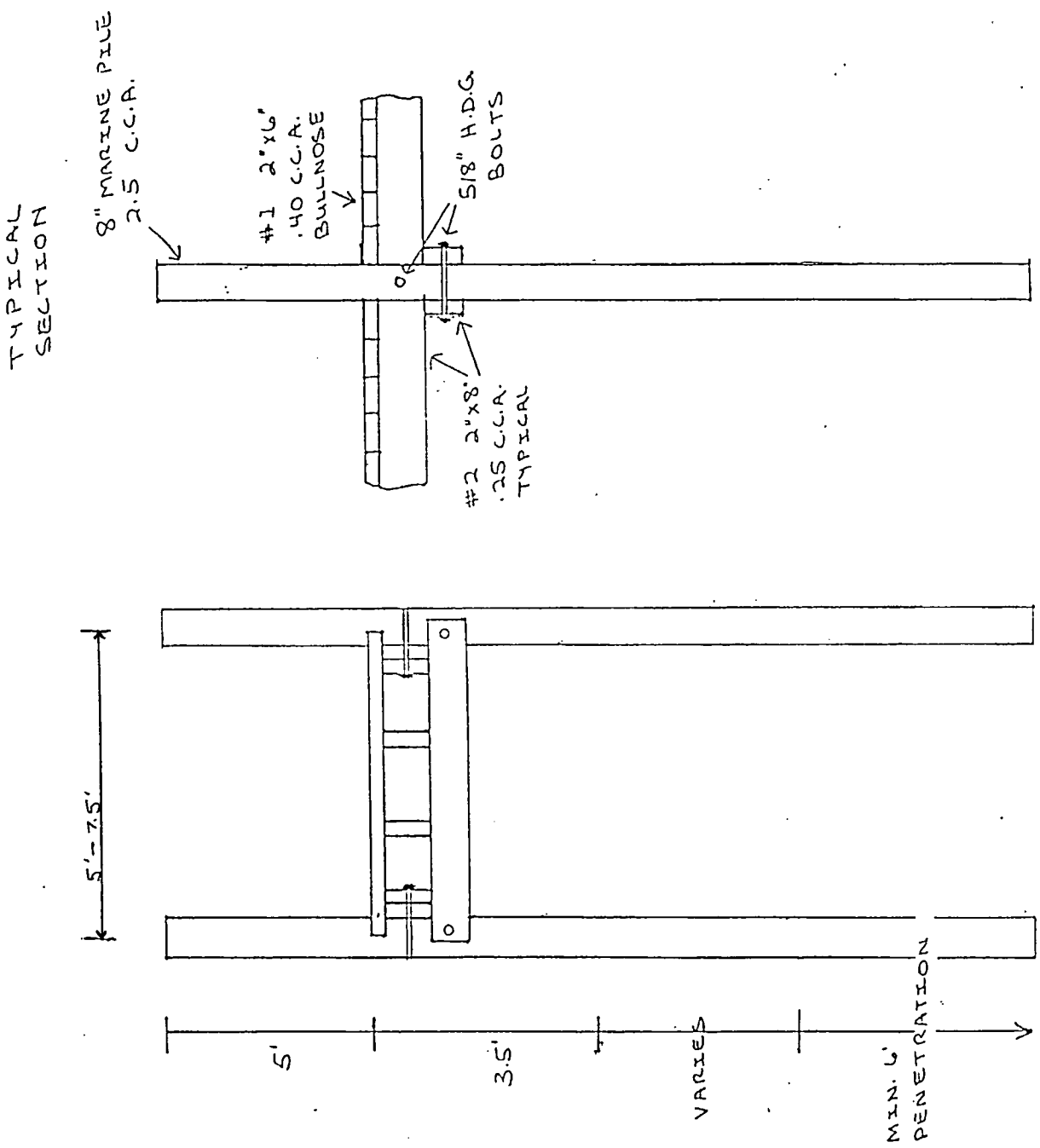
TOP VIEW



Dock for Fred Ayres (OLD SECTION)

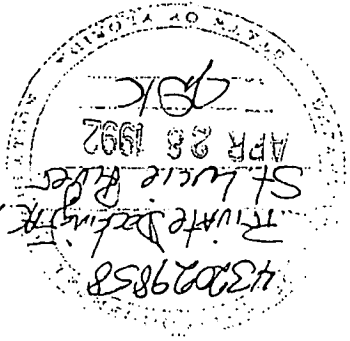
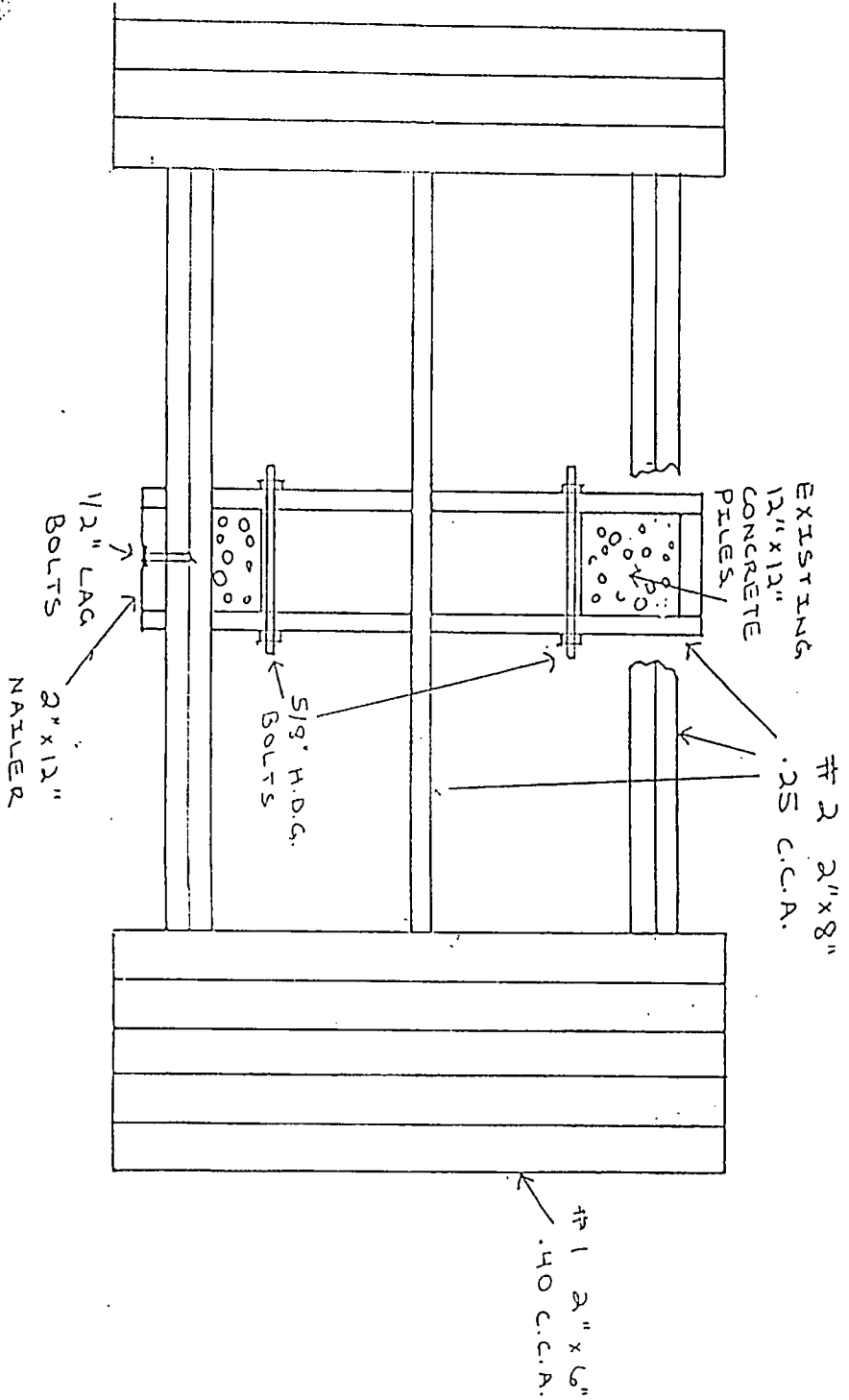
MULTI SCALE

DETAILS for NEW ADDITION



REVERSED

TOP VIEW

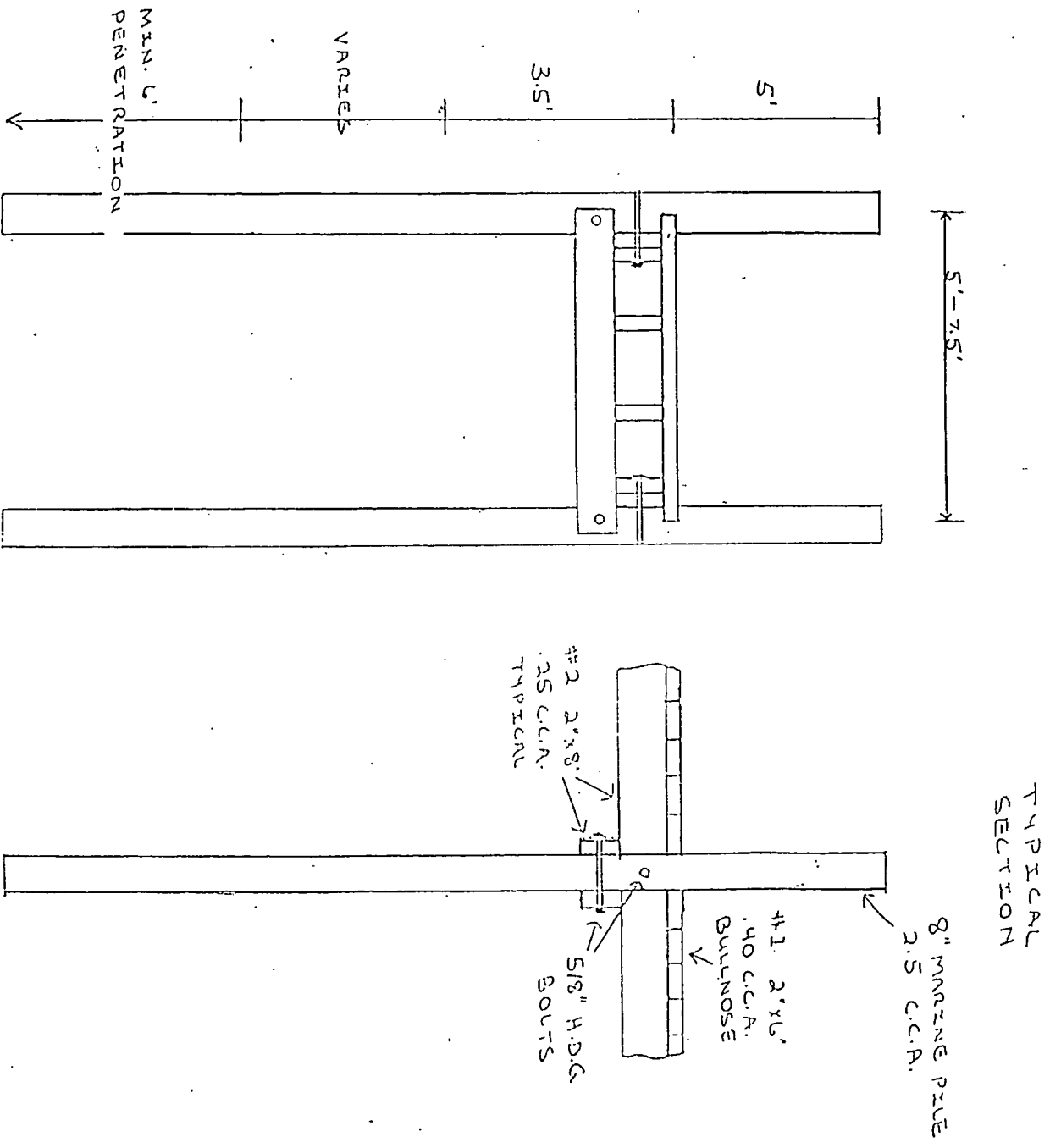


Dock for Fred Ayres (OLD SECTION)

NOT TO SCALE

Page 5 of 6

DETAILS for new addition



TYPICAL SECTION

NOT TO SCALE

432027858
Printed Packaging
St. Lucie Ridge
APR 28 1992
PK

Dock for Fred Ayres

3226

DOCK

ELECTRIC HOOK

UP

TAX FOLIO NO.

Date 3226

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner: Frederic M. Ayres ^{Ayres} Present Address 963 Country Way
Phone 334-2302 Jensen beach 34959

Contractor Mr Michael Flanagan Address 132 W Park Ave #12
Phone 800 451-4508 Edgewater Fl 32132

Where licensed _____ License number _____

Electrical contractor Maftin Co License number 00448

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: _____

300a Service to Property; 100a service and equipment at boathouse + dock
State the street address at which the proposed structure will be built:

Heritage Way, Sewalls Point

Subdivision Heritage Place Lot number 25 Block number _____

Contract price \$ 5000 Cost of permit \$ 40.00

Plans approved as submitted Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner ~~red-tapping~~ the construction project.

Contractor Michael Flanagan

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Frederic M. Ayres

TOWN RECORD

Date submitted 7/22/92 Approved: Dale Brown 7/22/92
Building Inspector Date

Approved: [Signature] 7/22/92 Final Approval given: 7/22/92
Commissioner Date Date

Certificate of Occupancy issued (if applicable) _____
Date

SP1282

Permit No. 3226

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Building Code.

3250

FINGER PIER

Permit No. _____

TOWN OF SEWALL'S POINT

Date 8-11-92

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner FREDERICK M. MYERS Present Address 963 COUNTRY WAY

Phone _____ JENSEN BEACH FL 34959

Contractor Robert Sandy Construction, Inc. Address 3452 NE Indian Drive

Phone 407-334-3046 Jensen Beach, FL 34957

Where licensed State of Florida License number CGC040310

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: BUILD A 6' X 50' DOCK ADDITION WITH 5' X 14'

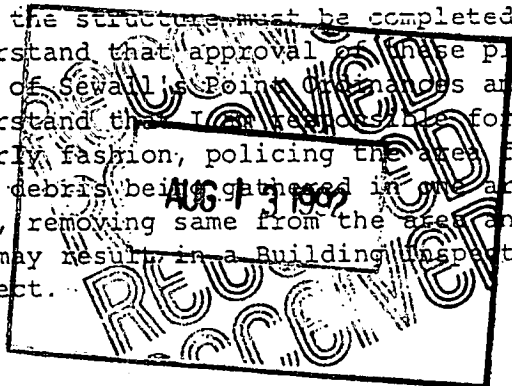
AND 4' X 25' FINGER PIER PLUS ASSOCIATED MOORING PILES
State the street address at which the proposed structure will be built: _____

Subdivision HERITAGE PLACE Lot number 25 Block number _____

Contract price \$ 10,000.00 Cost of permit \$ 200.00

Plans approved as submitted Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.



Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

Date submitted 8/13/92 Approved: Dale Brown 9/1/92
Building Inspector _____ Date _____

Approved: [Signature] 9/1/92 Final Approval given: _____
Commissioner _____ Date _____ Date _____

Certificate of Occupancy issued (if applicable) _____
Date _____

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.



Virginia B. Wetherell
Executive Director

SOUTHEAST FLORIDA FIELD OFFICE
7400 H SO. GEORGIA AVENUE
WEST PALM BEACH, FL 33405

FLORIDA DEPARTMENT OF NATURAL RESOURCES

Marjory Stoneman Douglas Building
3900 Commonwealth Boulevard
Tallahassee, Florida 32399

July 30, 1992

Lawton Chiles
Governor
Jim Smith
Secretary of State
Bob Butterworth
Attorney General
Gerald Lewis
State Comptroller
Tom Gallagher
State Treasurer
Bob Crawford
Commissioner of Agriculture
Betty Castor
Commissioner of Education

Frederic M. Ayres
963 Country Way
Jensen Beach, FL 34957

Re: File No.: 432029858
Applicant: Ayres, Frederic M.

Dear Sir:

Thank you for notifying the Division of State Lands, staff to the Board of Trustees of the Internal Improvement Trust fund, of your intent to construct a single-family dock. The Division of State Lands has reviewed the information you have provided and determined that the project qualified for a consent to use. The determination is based upon the fact that your proposed project is NOT exempt from making application to the Department of Environmental Regulation, as defined in Chapter 403, Florida Statutes, and that your project preempts no more than 10 square feet of submerged lands for every linear foot of shoreline you own.

This notice in no way waives the authority and/or jurisdiction of any government entity, nor does it disclaim any title interest the state may have in the project site. Please check with your local government for specific requirements. Where local governments have more stringent standards, the more stringent standards shall apply.

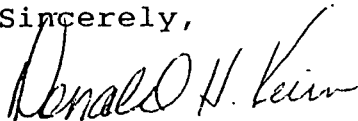
Please retain this notice, as it constitutes review and consent by the Division of State Lands. Please be aware that your single-family dock may be inspected by authorized state personnel in the future to ensure compliance with appropriate laws and rules. If your dock is not in compliance, you may be subject to enforcement action.

July 30, 1992
Page Two

General information concerning single-family dock standards and criteria, tips on building a dock and proprietary information concerning submerged lands are provided for your review.

Thank you for applying to the Division of State Lands. If you have any further questions, please do not hesitate to contact me at the above letterhead address or at 407-547-5825.

Sincerely,



for Diane Willoughby
Planner II
Southeast Florida District

Enclosures 120 Notice
 General Single-family Dock Information
 General Consent Conditions
 Consent to Use State-owned Lands Pamphlet
 Tips on Dock Construction
 Excerpts from Florida Administrative Code 18-21



DEPARTMENT OF THE ARMY
JACKSONVILLE DISTRICT CORPS OF ENGINEERS
P. O. BOX 4970
JACKSONVILLE, FLORIDA 32232-0019

REPLY TO
ATTENTION OF

July 14, 1992

Tampa Regulatory
Field Office
199141507 (MOD)

CORRECTED COPY

Mr. Fred M. Ayers
c/o Robert Sandy Construction
ATTN: Mr. Sandy
3452 North East Indian Drive
Jensen Beach, Florida 34957

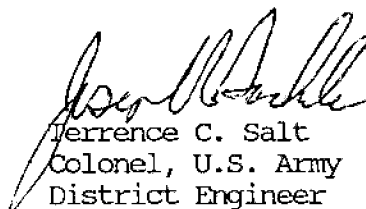
Dear Mr. Sandy:

Reference is made to your letter dated July 1, 1992, in which you asked to modify/revise the plans authorized by Department of the Army Permit 199141507.

You are authorized to replace a dock and boat house structure. The dock is 152 foot long by 6 foot wide with an L shaped platform 25' x 7.5' long and 14' x 5' foot wide. The boathouse is 41 foot by 25 foot, located on the St. Lucie River in Section 1, Township 38S, Range 41E, Martin County, Florida, in accordance with the enclosed drawings and conditions which are incorporated in, and made a part of, the permit.

The impacts of the proposed work on navigation and the environment have been evaluated and found to be insignificant. The permit is hereby modified in accordance with your request. You should attach this letter and the enclosed revised project plans to the permit.

BY AUTHORITY OF THE SECRETARY OF THE ARMY:


Terrence C. Salt
Colonel, U.S. Army
District Engineer

Enclosure



DEPARTMENT OF THE ARMY
JACKSONVILLE DISTRICT CORPS OF ENGINEERS
P. O. BOX 4970
JACKSONVILLE, FLORIDA 32232-0019

REPLY TO
ATTENTION OF

November 20, 1991

Regulatory Section
91LP-41507

Mr. Frederic M. Ayres
963 Country Way
Jensen Beach, Florida 34957

Dear Mr. Ayres:

This is in reference to your request for a permit to perform work in or affecting navigable waters of the United States. Upon recommendation of the Chief of Engineers, pursuant to Section 10 of the River and Harbor Act of 3 March 1899 (33 U.S.C. S403), you are authorized

to reconstruct an existing 140' x 50' boathouse, .28 miles to the channel on the St. Lucie River, Seawall's Point

in Section 1, Township 38 South, Range 41 East, Martin County, Florida

in accordance with the enclosed plans and conditions which are incorporated in, and made a part of, the permit.

Enclosed is a Notice of Authorization which should be displayed at the construction site. When you begin work, you must notify the District Engineer's representative, at the appropriate Area Office as shown on the enclosed map, of:

1. The date of commencement of work,
2. The dates of work suspensions and resumptions if work is suspended over a week, and
3. The date of final completion.

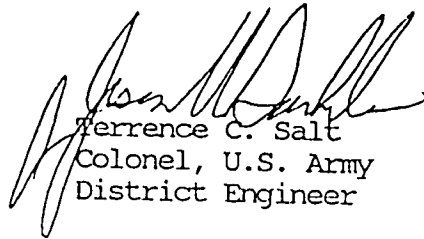
Area Engineer addresses and telephone numbers are shown on the enclosed map.

If the work authorized is not completed on or before November 20, 1996,



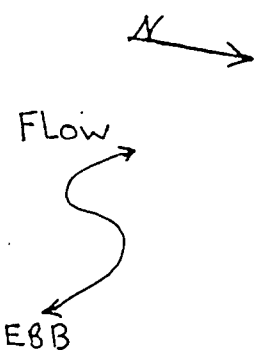
this authorization, if not previously revoked or specifically extended, shall cease and be null and void.

BY AUTHORITY OF THE SECRETARY OF THE ARMY:

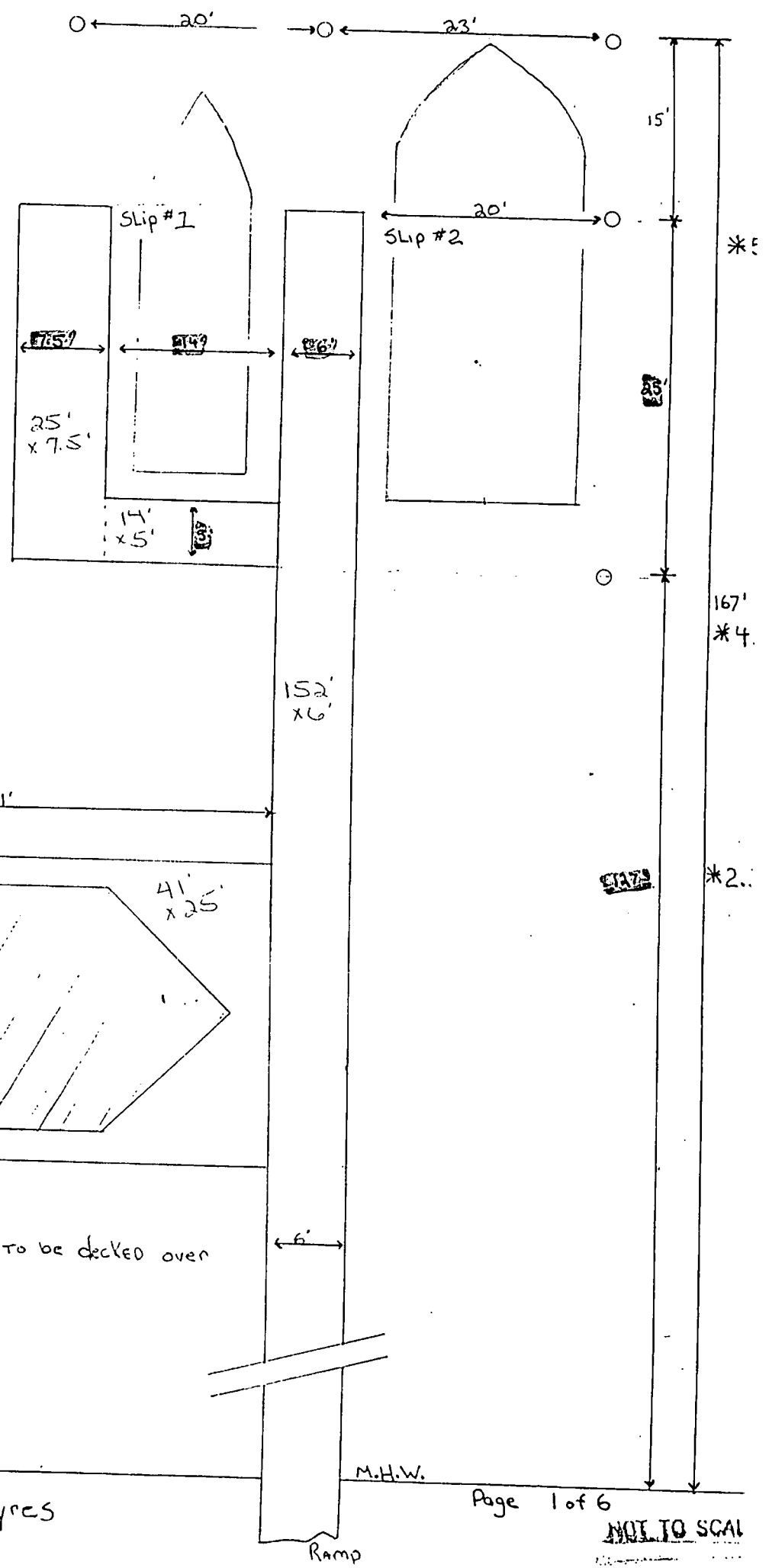

Terrence C. Salt
Colonel, U.S. Army
District Engineer

- 3 Encl
1. Notice of Authorization
2. Plans and Conditions
3. Area Office Map

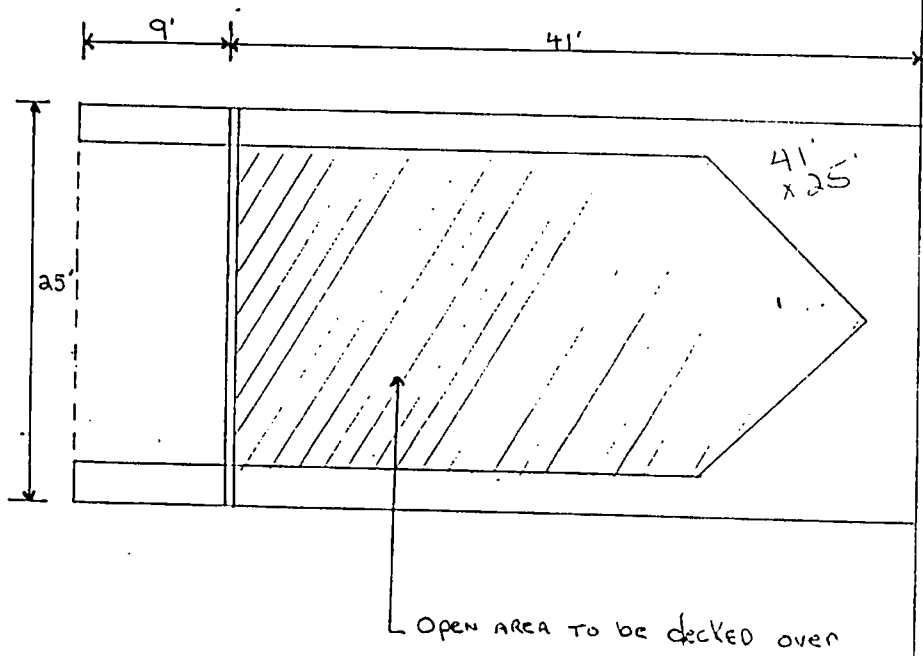




St. Luce River



SECTION TO BE REMOVED



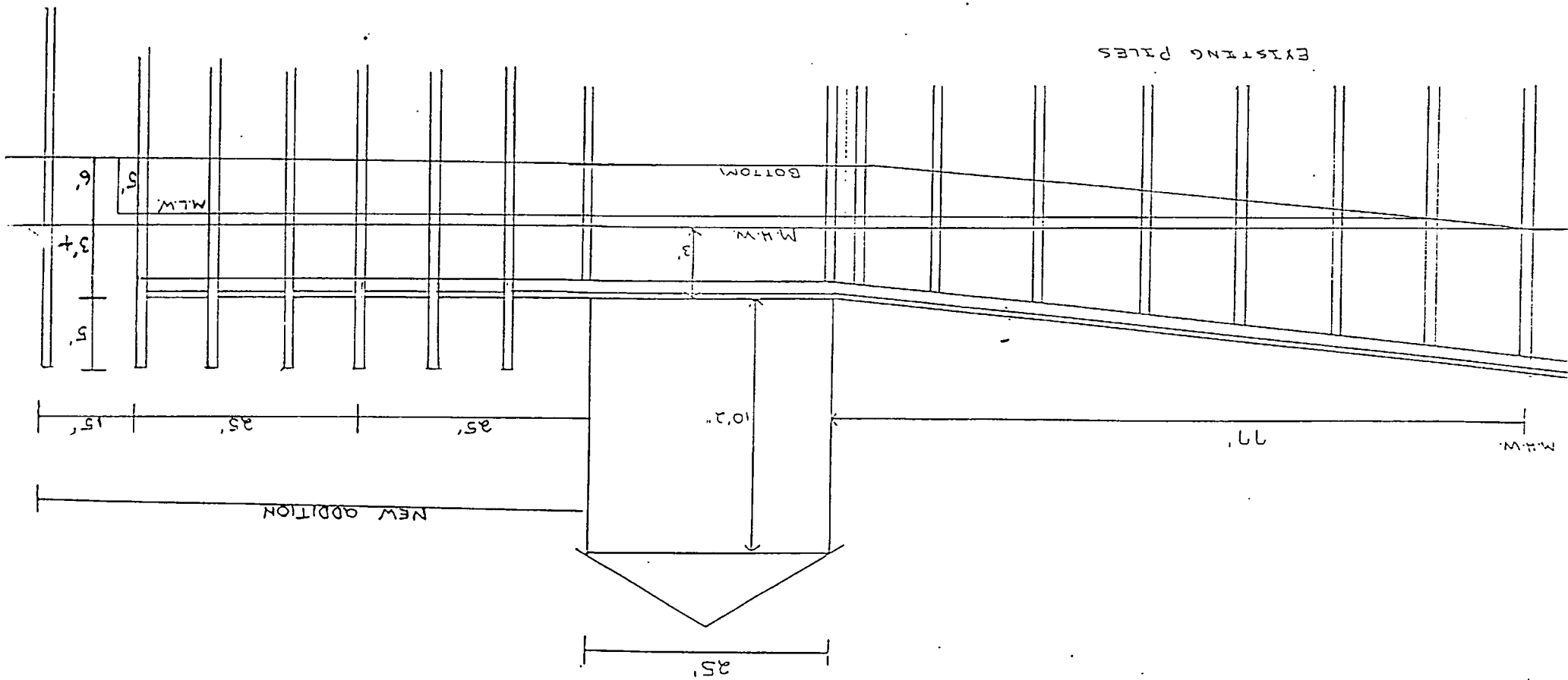
Dock-Boathouse for Fred Ayres

M.H.W.

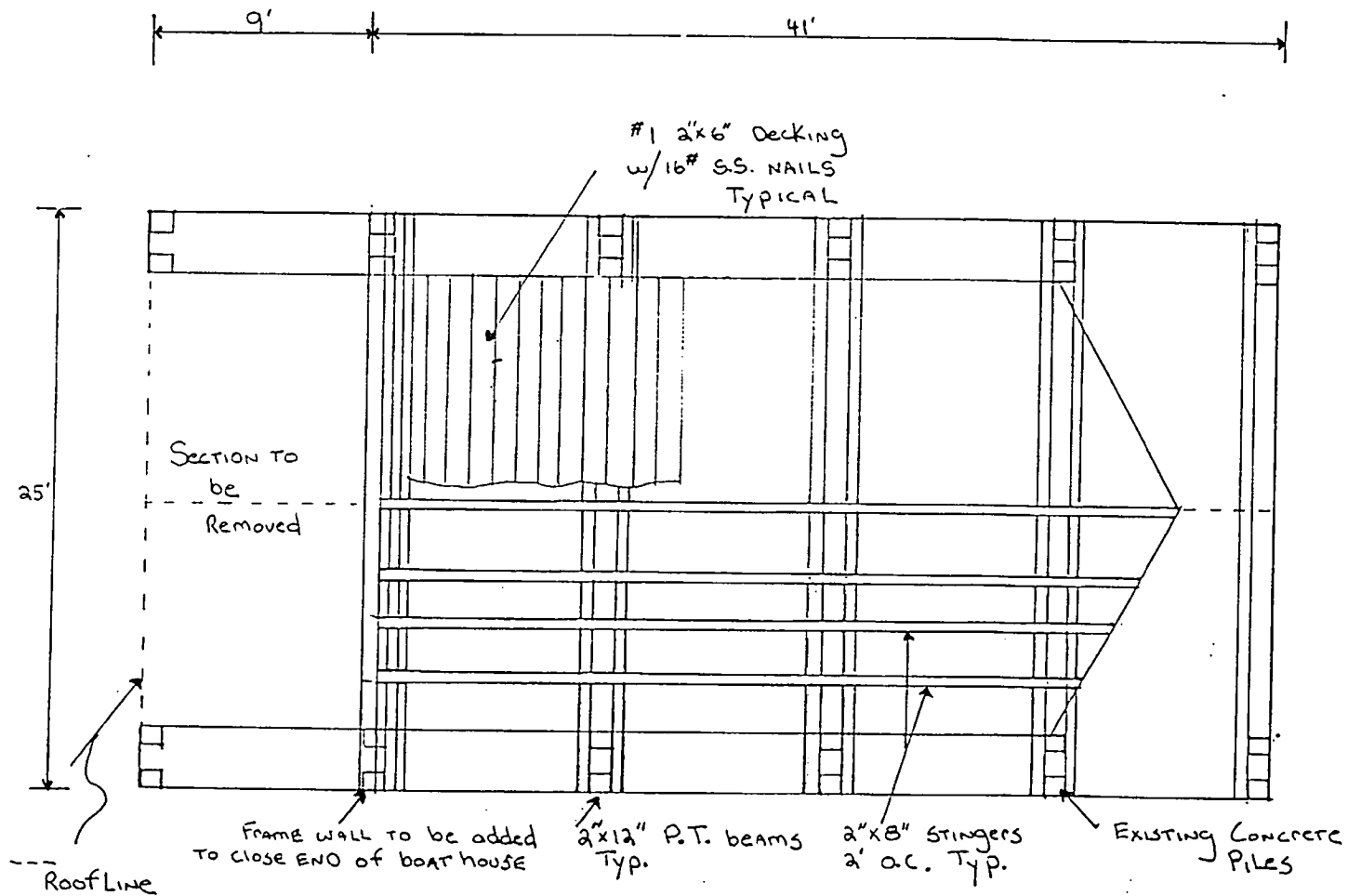
Dock/Rathouse for Fred Avres

ASPILO SCALE

Page 2 of 6



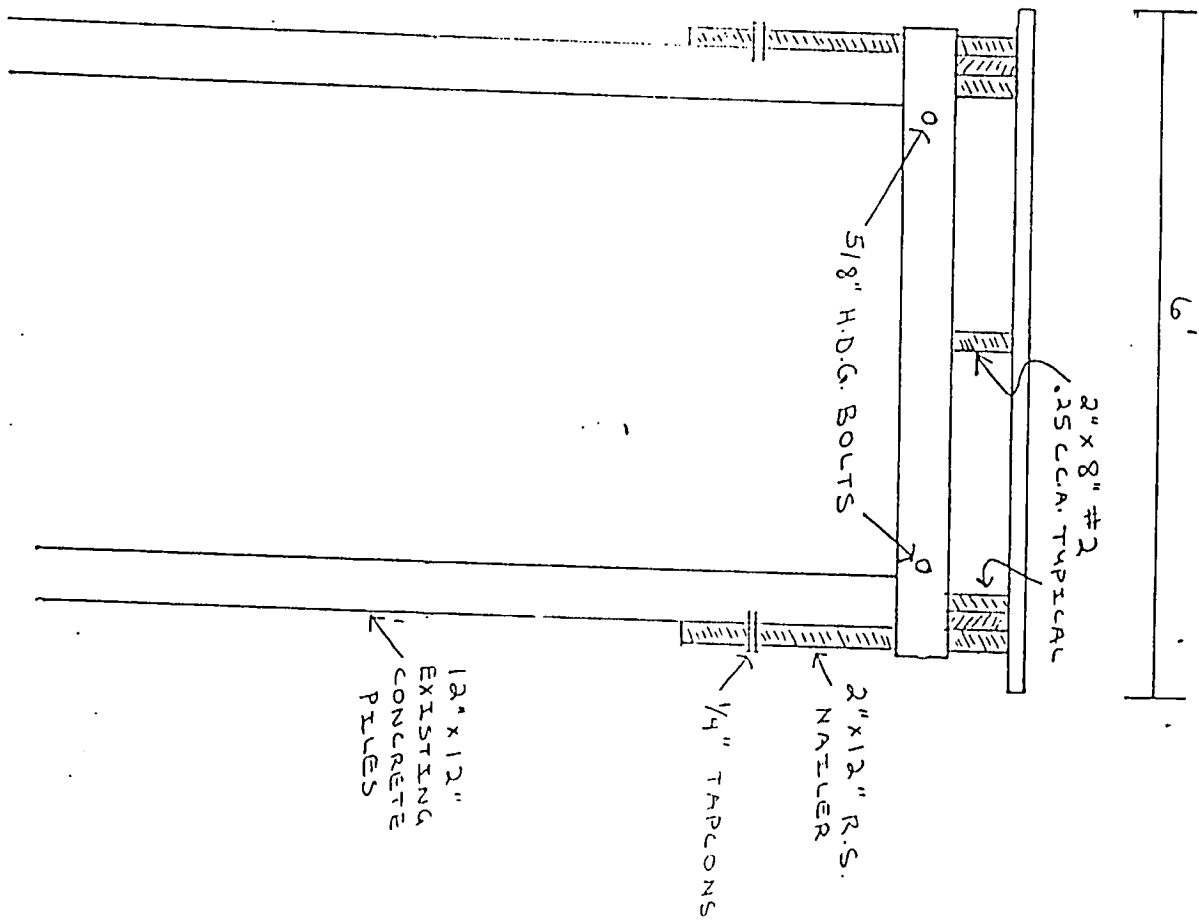
Boat house to be closed in
To be used for storage



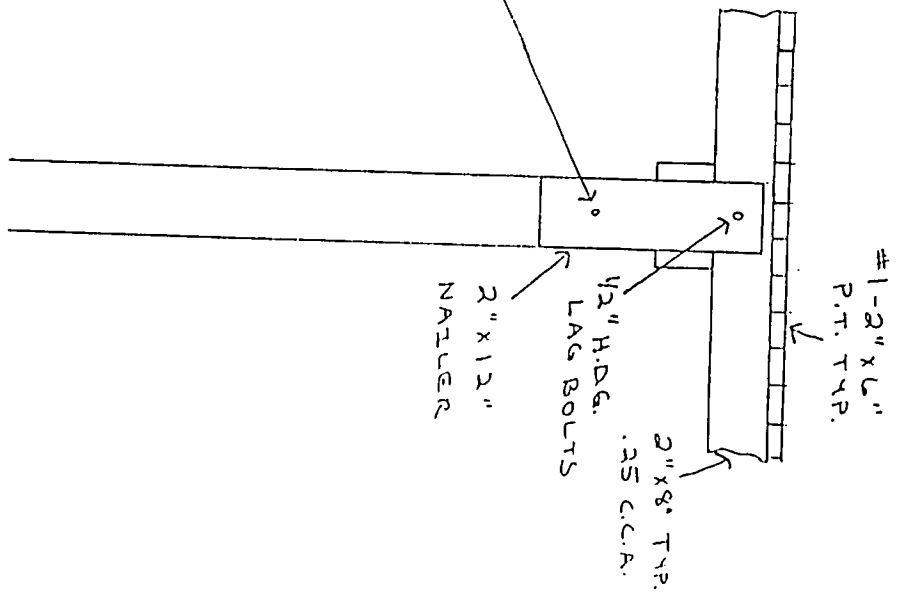
Boathouse for Fred Ayres

NOT TO SCALE

TYPICAL ELEVATION

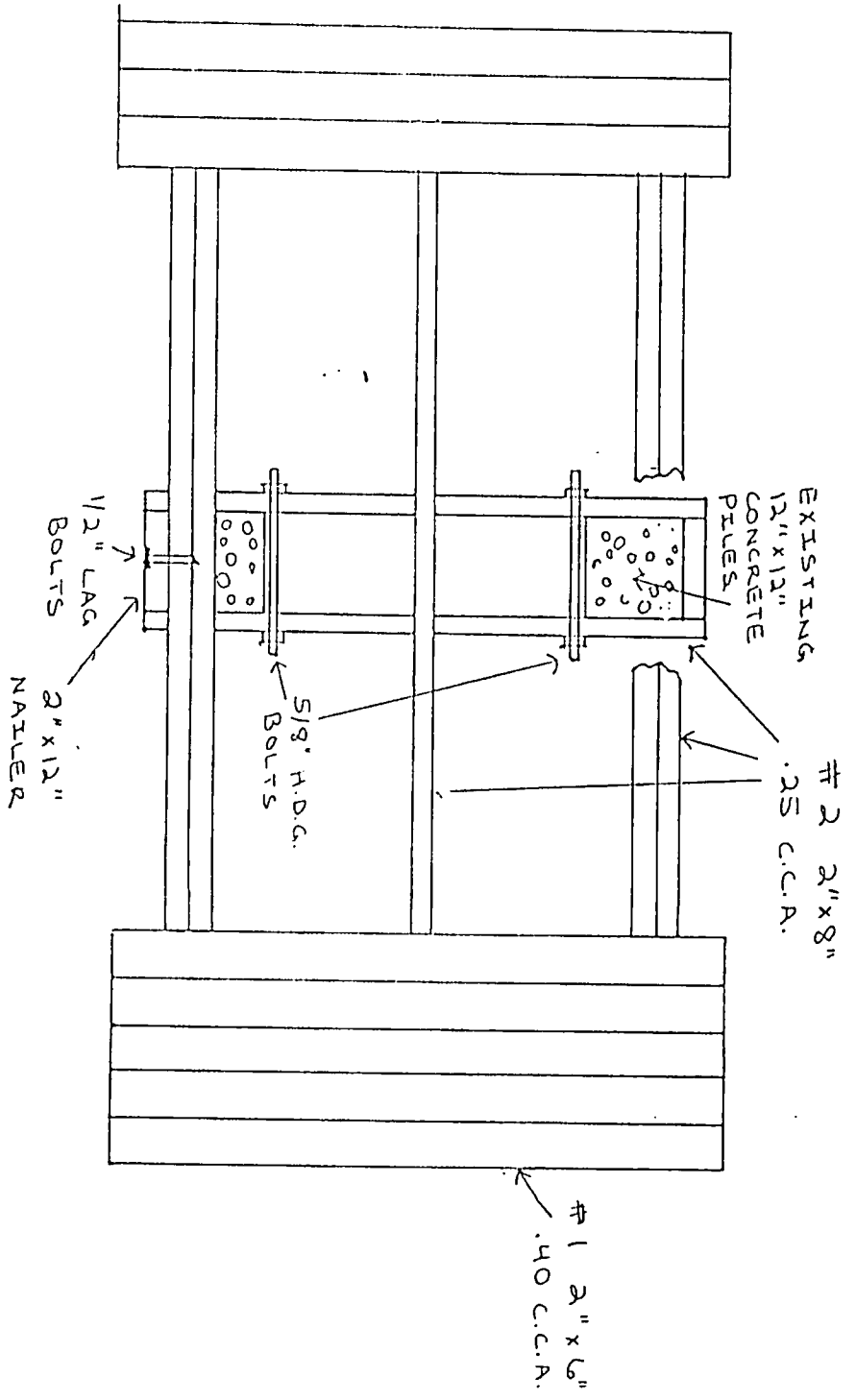


Details of old section



NOT TO SCALE

TOP VIEW

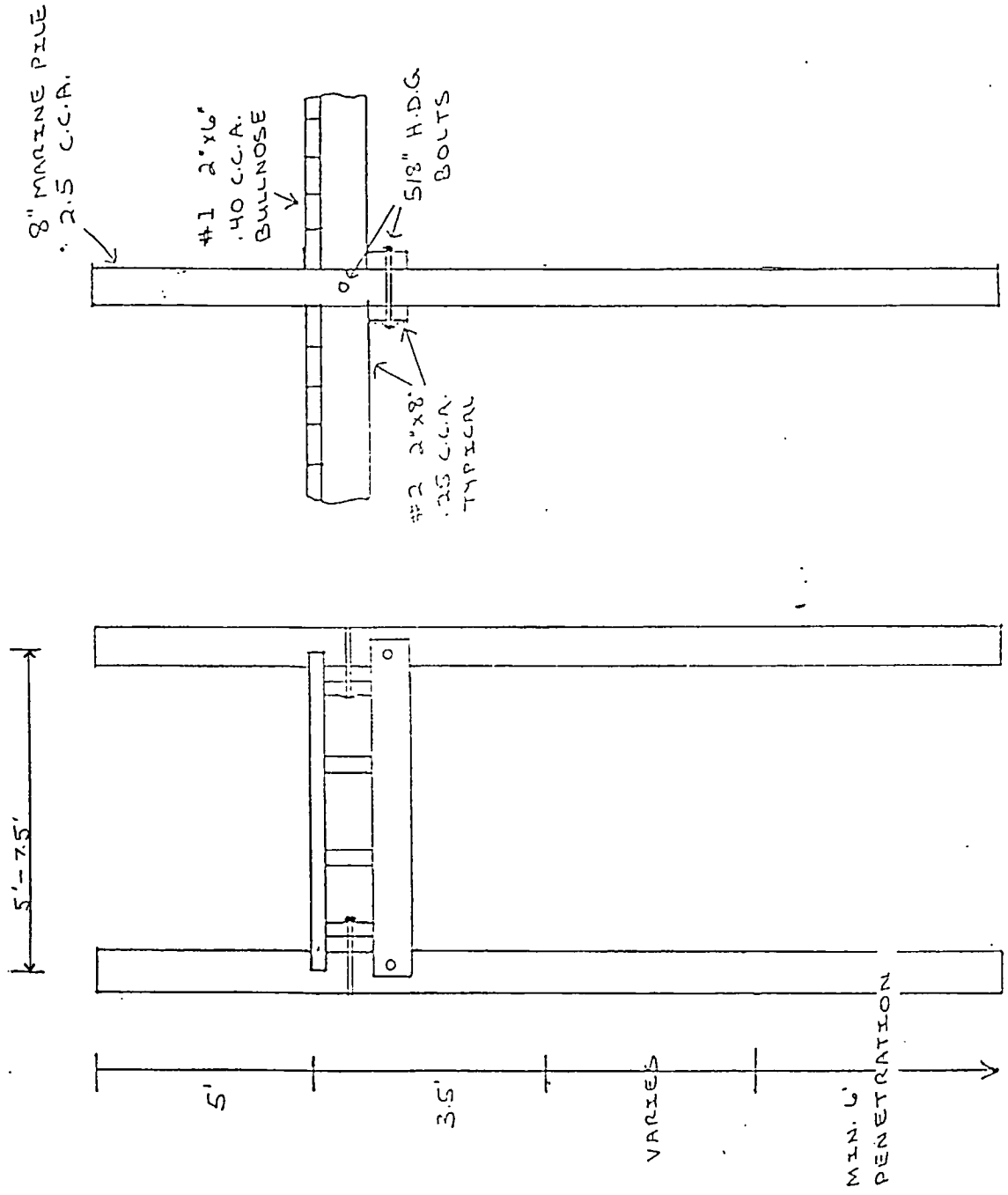


Dock for Fred Ayres (OLD SECTION)

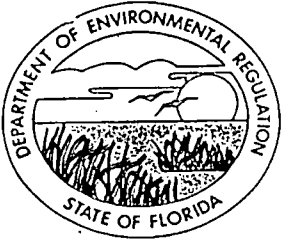
NOT TO SCALE

DETAILS for NEW addition

TYPICAL SECTION



NOT TO SCALE



Florida Department of Environmental Regulation

Southeast District Branch Office • 1801 S.E. Hillmoor, Suite C202 • Port St. Lucie, FL 34952

Lawton Chiles, Governor

Carol M. Browner, Secretary

APR 28 1992

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL REGULATION
NOTICE OF PERMIT ISSUANCE

In the Matter of an Application
for Permit by:

DER File No. 432029858

Frederic M. Ayers
963 Country Way
Jensen Beach, Florida 34957

Dear Mr. Ayers:

Enclosed is Permit Number 432029858 to construct a private docking facility issued pursuant to Chapter 403, Florida Statutes.

A person whose substantial interests are affected by this permit may petition for an administration proceeding (hearing) in accordance with Section 120.57, Florida Statutes. The petition must contain the information set forth below and must be filed (received) in the Office of General Counsel of the Department at 2600 Blair Stone Road, Tallahassee, Florida 32399-2400, within 14 days of receipt of this Permit. Petitioner shall mail a copy of the petition to the applicant at the address indicated above at the time of filing. Failure to file a petition within this time period shall constitute a waiver of any right such person may have to request an administrative determination (hearing) under Section 120.57 Florida Statutes.

The Petition shall contain the following information:

(a) The name, address, and telephone number of each petitioner, the applicant's name and address, the Department Permit File Number and the county in which the project is proposed;

(b) A statement of how and when each petitioner received notice of the Department's action or proposed action;

Page Two
Frederic M. Ayers
Permit No. 432029858

(c) A statement of how each petitioner's substantial interest are affected by the Department's action or proposed action;

(d) A statement of the material facts disputed by petitioner, if any;

(e) A statement of facts which petitioner contends warrant reversal or modification of the Department's action or proposed action;

(f) A statement of which rules or statutes petitioner contends require reversal or modification of the Department's action or proposed action; and

(g) A statement of the relief sought by petitioner, stating precisely the action petitioner wants the Department to take with respect to the Department's action or proposed action.

If a petition is filed, the administrative hearing process is designed to formulate agency action. Accordingly, the Department's final action may be different from the position taken by it in this permit. Persons whose substantial interest will be affected by any decision of the Department with regard to the application have the right to petition to become a party to the proceeding. The petition must conform to the requirements specified above and be filed (received) within 14 days of receipt of this notice in the Office of General Counsel at the above address of the Department. Failure to petition within the allowed time frame constitutes a waiver of any right such person has to request a hearing under Section 120.57, F.S., and to participate as a party to this proceeding. Any subsequent intervention will only be at the approval of the presiding office upon motion filed pursuant to Rule 28-5.207, F.A.C.

This permit is final and effective on the date filed with the Clerk of the Department unless a petition is filed in accordance with the above paragraphs or unless a request for extension of time in which to file a petition is filed within the time specified for filing a petition and conforms to Rule 17-103.070, F.A.C. Upon timely filing of a petition or a request for an extension of time this permit will not be effective until further order of the Department.

Page Three
Frederic M. Ayers
Permit No. 432029858

When the Order (Permit) is final, any party to the Order has the right to seek judicial review of the Order pursuant to Section 120.68, Florida Statutes, by the filing of a Notice of Appeal pursuant to Rule 9.110, Florida Rules of Appellate procedure, with the Clerk of the Department in the Office of General Counsel, 2600 Blair Stone Road, Tallahassee, Florida 32399-2400; and by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate District Court of Appeal.

The Notice of Appeal must be filed within 30 days from the date the Final Order is filed with the Clerk of the Department.

Any questions regarding this permit should be directed to Jackie Kelly at (407) 878-3890.

Executed in West Palm Beach, Florida

STATE OF FLORIDA DEPARTMENT
OF ENVIRONMENTAL REGULATION

BAC: jkw

Bobby A. Cooley April 27, 1992
Bobby A. Cooley (Date)
Acting Director of District Management
1900 S. Congress Avenue, Suite A
West Palm Beach, Florida 33406
(407) 433-2650

Page Four
Frederic M. Ayers
Permit No.432029858

CERTIFICATE OF SERVICE

This is to certify that this NOTICE OF PERMIT and all copies were mailed before the close of business on APR 28 1992 to the listed persons.

Clerk Stamp

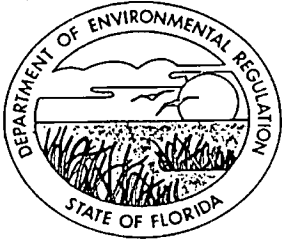
FILING AND ACKNOWLEDGMENT

FILED, on this date pursuant to § 120.52(9), Florida Statutes with the designated Department Clerk, receipt of which is hereby acknowledged

Louella W. Labak
(Clerk)

APR 28 1992
(Date)

cc: U.S. Army Corps of Engineers, Tampa
Department of Natural Resources, WPB
Martin County Property Appraiser
Town of Sewall's Point



Florida Department of Environmental Regulation

Southeast District Branch Office • 1801 S.E. Hillmoor, Suite C202 • Port St. Lucie, FL 34952

Lawton Chiles, Governor

Carol M. Browner, Secretary

APR 28 1992

PERMITTEE:

Frederic M. Ayers
963 Country Way
Jensen Beach, FL 34957

I.D. Number: 5143P01343
Permit/Certificate: 432029858
Date of Issue: April 28, 1992
Expiration Date: April 28, 1997
County: Martin
Latitude/Longitude: 27°11'54"/80°12'08"
Section/Township/Range: 01/38S/41E
Project: Private Docking Facility/
Boathouse

This permit is issued under the provisions of Chapter 403, Florida Statutes, Public Law 92-500 and Title 17, Florida Administrative Code Rules. The above named permittee is hereby authorized to perform the work or operate the facility shown on the application and approved drawing(s) plans, and other documents attached hereto or on file with the Department and made a part hereof and specifically described as follows:

TO:

Construct a 2,194.5 square foot docking facility and boat house structure. The main access pier measures 152 ft. long by 6 ft. wide and includes an "L" shaped platform 25 ft. by 7.5 ft. and 14 ft. by 5 ft. The enclosed boat house structure to be rebuilt measures 41 ft. by 25 ft.

IN ACCORDANCE WITH:

The six (6) stamped drawings which are attached and a part hereof and DER Application form 17-1.203(1) dated September 27, 1991 and signed by Frederic M. Ayers (not attached).

LOCATED AT:

Lot 25, Heritage Place, St. Lucie River, Class III waters, Section 1, Township 38 South, Range 41 East, Sewall's Point, Martin County.

SUBJECT TO:

GENERAL CONDITIONS one (1) through fifteen (15) and SPECIFIC CONDITIONS one (1) through ten (10).

GENERAL CONDITIONS:

1. The terms, conditions, requirements, limitations and restrictions set forth in this permit, are "permit conditions" and are binding and enforceable pursuant to Sections 403.141, 403.727, or 403.859 through 403.861, F.S. The permittee is placed on notice that the Department will review this permit periodically and may initiate enforcement action for any violation of these conditions.

2. This permit is valid only for the specific processes and operations applied for and indicated in the approved drawings or exhibits. Any unauthorized deviation from the approved drawings, exhibits, specifications, or conditions of this permit may constitute grounds for revocation and enforcement action by the Department.

3. As provided in subsections 403.087(6) and 403.722(5), F.S., the issuance of this permit does not convey any vested rights or any exclusive privileges. Neither does it authorize any injury to public or private property or any invasion of personal rights, nor any infringement of federal, state, or local laws or regulations. This permit is not a waiver of or approval of any other Department permit that may be required for other aspects of the total project which are not addressed in this permit.

4. This permit conveys no title to land or water, does not constitute State recognition or acknowledgement of title, and does not constitute authority for the use of submerged lands unless herein provided and the necessary title or leasehold interests have been obtained from the State. Only the Trustees of the Internal Improvement Trust Fund may express State opinion as to title.

5. This permit does not relieve the permittee from liability for harm or injury to human health or welfare, animal, or plant life, or property caused by the construction or operation of this permitted source, or from penalties therefore; nor does it allow the permittee to cause pollution in contravention of Florida Statutes and Department rules, unless specifically authorized by an order from the Department.

6. The permittee shall properly operate and maintain the facility and systems of treatment and control (and related appurtenances) that are installed and used by the permittee to achieve compliance with the conditions of this permit, are required by Department rules. This provision includes the operation of backup or auxiliary facilities or similar systems when necessary to achieve compliance with the conditions of the permit and when required by Department rules.

7. The permittee, by accepting this permit, specifically agrees to allow authorized Department personnel, upon presentation of credentials or other documents as may be required by law and at reasonable times, access to the premises where the permitted activity is located or conducted to:

- (a) Have access to and copy any records that must be kept under conditions of the permit;
- (b) Inspect the facility, equipment, practices, or operations regulated or required under this permit; and
- (c) Sample or monitor any substances or parameters at any location reasonably necessary to assure compliance with this permit or Department rules.

Reasonable time may depend on the nature of the concern being investigated.

8. If, for any reason, the permittee does not comply with or will be unable to comply with any condition or limitation specified in this permit, the permittee shall immediately provide the Department with the following information:

- (a) A description of and cause of noncompliance; and
- (b) The period of noncompliance, including dates and times; or, if not corrected, the anticipated time the noncompliance is expected to continue, and steps being taken to reduce, eliminate, and prevent recurrence of the noncompliance. The permittee shall be responsible for any and all damages which may result and may be subject to enforcement action by the Department for penalties or for revocation of this permit.

GENERAL CONDITIONS:

9. In accepting this permit, the permittee understands and agrees that all records, notes, monitoring data and other information relating to the construction or operation of this permitted source which are submitted to the Department may be used by the Department as evidence in any enforcement case involving the permitted source arising under the Florida Statutes or Department rules, except where such use is prescribed by Section 403.111 and 403.73, F.S. Such evidence shall only be used to the extent it is consistent with the Florida Rules of Civil Procedure and appropriate evidentiary rules.

10. The permittee agrees to comply with changes in Department rules and Florida Statutes after a reasonable time for compliance; provided, however, the permittee does not waive any other rights granted by Florida Statutes or Department rules.

11. This permit is transferable only upon Department approval in accordance with Rule 17-4.120 and 17-30.300, F.A.C., as applicable. The permittee shall be liable for any non-compliance of the permitted activity until the transfer is approved by the Department.

12. This permit or a copy thereof shall be kept at the work site of the permitted activity.

13. This permit also constitutes:

- () Determination of Best Available Control Technology (BACT)
- () Determination of Prevention of Significant Deterioration (PSD)
- () Certification of compliance with state Water Quality Standards (Section 401, PL 92-500)
- () Compliance with New Source Performance Standards

14. The permittee shall comply with the following:

- (a) Upon request, the permittee shall furnish all records and plans required under Department rules. During enforcement actions, the retention period for all records will be extended automatically unless otherwise stipulated by the Department.
- (b) The permittee shall hold at the facility or other location designated by this permit records of all monitoring information (including all calibration and maintenance records and all original strip chart recordings for continuous monitoring instrumentation) required by the permit, copies of all reports required by this permit, and records of all data used to complete the application for this permit. These materials shall be retained at least three years from the date of the sample, measurement, report, or application unless otherwise specified by Department rule.
- (c) Records of monitoring information shall include:
 1. the date, exact place, and time of sampling or measurements;
 2. the person responsible for performing the sampling or measurements;
 3. the dates analyses were performed;
 4. the person responsible for performing the analyses;
 5. the analytical techniques or methods used;
 6. the results of such analyses.

15. When requested by the Department, the permittee shall within a reasonable time furnish any information required by law which is needed to determine compliance with the permit. If the permittee becomes aware the relevant facts were not submitted or were incorrect in the permit application or in any report to the Department, such facts or information shall be corrected promptly.

PERMITTEE:

Frederic M. Ayers
963 Country Way
Jensen Beach, FL 34957

I.D. Number: 5143P01343
Permit/Certificate: 432029858
Date of Issue: April 28, 1992
Expiration Date: April 26, 1997
County: Martin
Latitude/Longitude: 27°11'54"/80°12'08"
Section/Township/Range: 01/38S/41E
Project: Private Docking Facility/
Boathouse

SPECIFIC CONDITIONS:

1. Written notification shall be provided to the Department of Environmental Regulation, Southeast Florida District Branch Office in Port St. Lucie, a minimum of forty-eight (48) hours prior to commencement of construction and a maximum of forty-eight (48) hours after completion of construction.
2. An effective means of turbidity control, such as, but not limited to turbidity curtains, shall be employed during all operations that may create turbidity in excess of 29 NTU's above background as provided in Chapter 17-302 of the Florida Administrative Code. Turbidity control shall remain in place until all turbidity has subsided.
3. Reflective devices shall be installed on the dock terminus in such a way that will alert night boat traffic of its presence.
4. No liveaboards shall be allowed at this facility at any time. For the purpose of this condition, a liveaboard is considered to be any boat which is occupied overnight for two or more consecutive nights.
5. The boat house structure shall be fully enclosed, to be used for storage only and not to be utilized as a livable abode.
6. Vessels utilizing this structure shall at all times maintain a minimum of one (1) foot clearance between the deepest draft of the vessel/motor and the submerged bottom.
7. All other necessary State, Federal, or Local permits must be applied for and received prior to the start of work.

PERMITTEE:

Frederic M. Ayers
963 Country Way
Jensen Beach, FL 34957

I.D. Number: 5143P01343
Permit/Certificate: 432029858
Date of Issue: April 28, 1992
Expiration Date: April 28, 1997
County: Martin
Latitude/Longitude: 27°11'54"/80°12'08"
Section/Township/Range: 01/38S/41E
Project: Private Docking Facility/
Boathouse

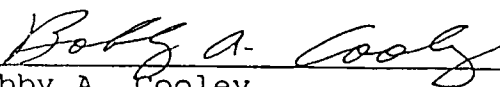
SPECIFIC CONDITIONS:

8. "If historical or archaeological artifacts, such as Indian canoes, are discovered at any time within the project site the permittee shall immediately notify the district office and the Bureau of Historic Preservation, Division of Archives, History and Records Management, R.S. Gray Building, Tallahassee, Florida 32301."
9. "No person shall commence any excavation, construction, or other activity involving the use of sovereign or other lands of the state, title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund or the Department of Natural Resources under Chapter 253, until such person has received from the Board of Trustees of the Internal Improvement Trust Fund the required lease, license, easement, or other form of consent authorizing the proposed use." Pursuant to Florida Administrative Code Rule 160-14, if such work is done without consent, or if a person otherwise damages state land or products of state land, the Board of Trustees may levy administrative fines of up to \$10,000 per offense.
10. The permittee shall be aware of and operate under the attached "General Permit Conditions Number 1 thru 15". General Permit Conditions are binding upon the permittee and enforceable pursuant to Chapter 403 of the Florida Statutes.

Issued this 27th day of April, 1992

STATE OF FLORIDA DEPARTMENT
OF ENVIRONMENTAL REGULATION

BAC: jkw

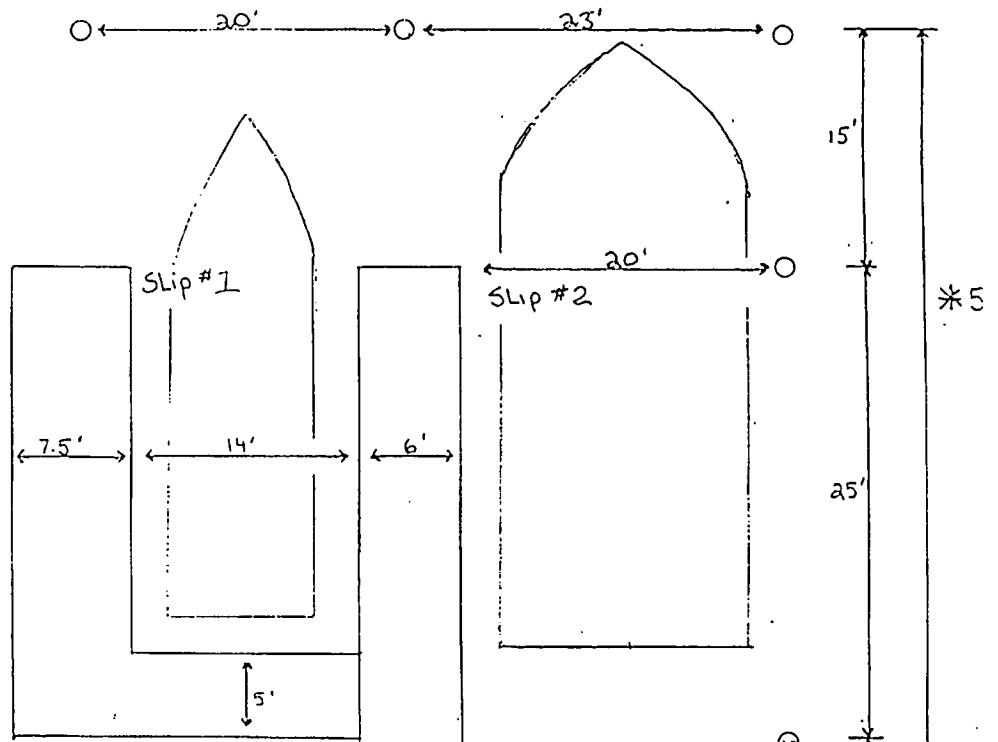


Bobby A. Cooley
Acting Director of District Management

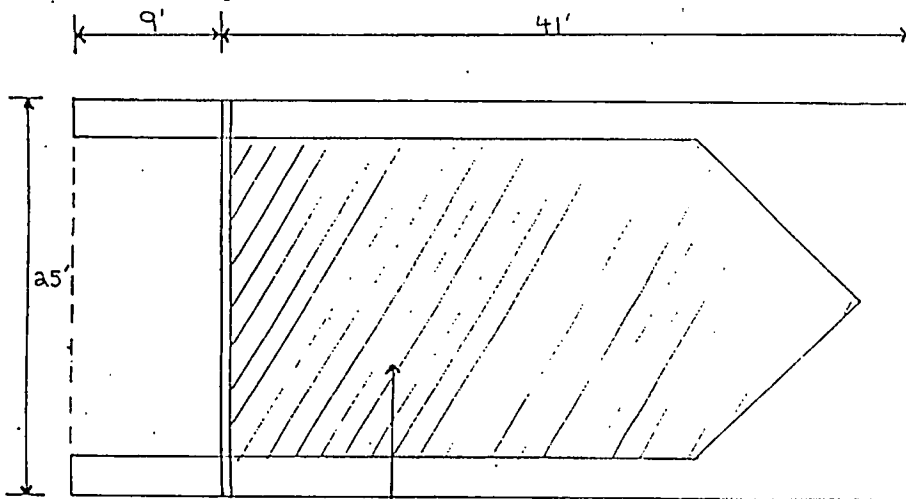
6 pages attached



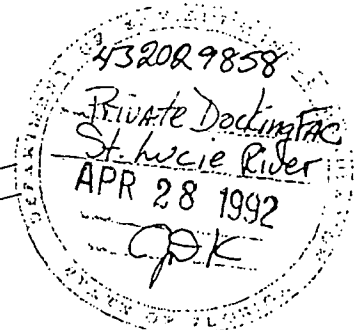
St. Luce River



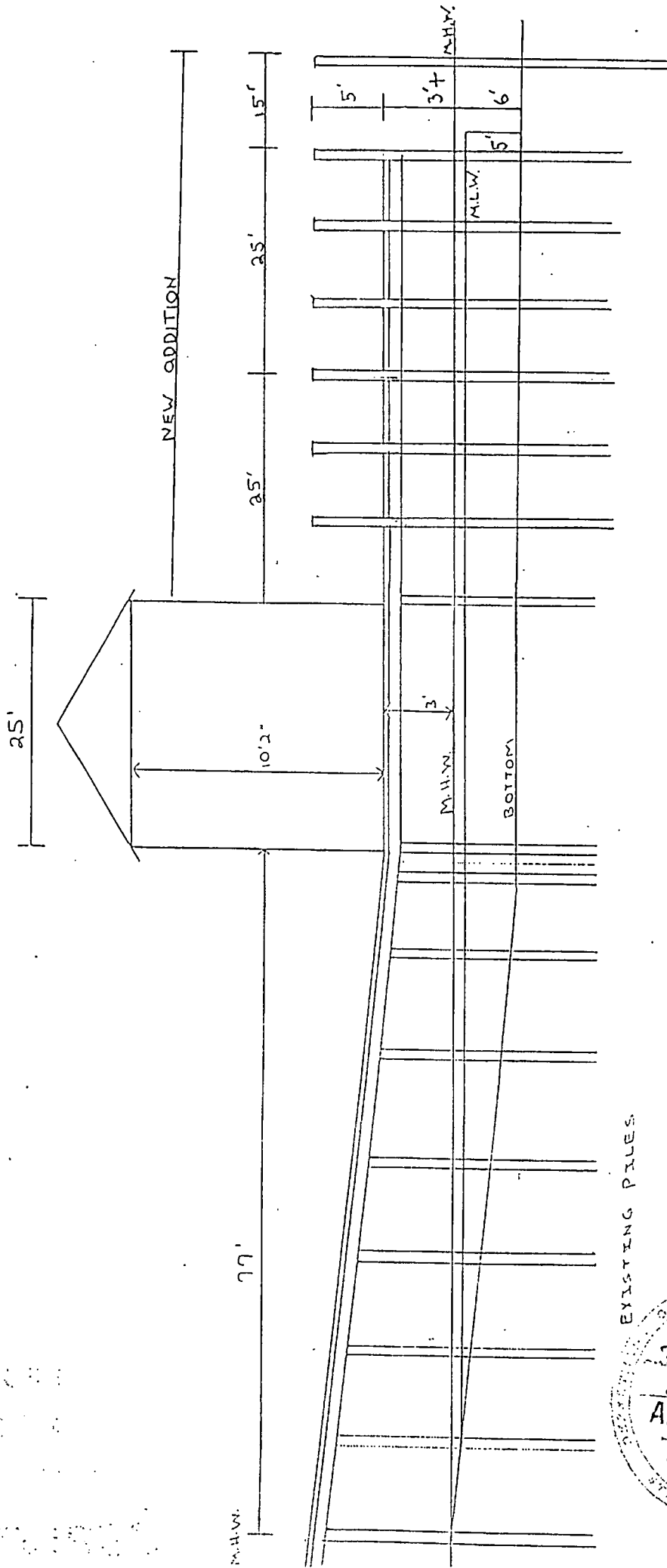
SECTION TO BE REMOVED



OPEN AREA TO BE DECKED OVER



M.H.W.

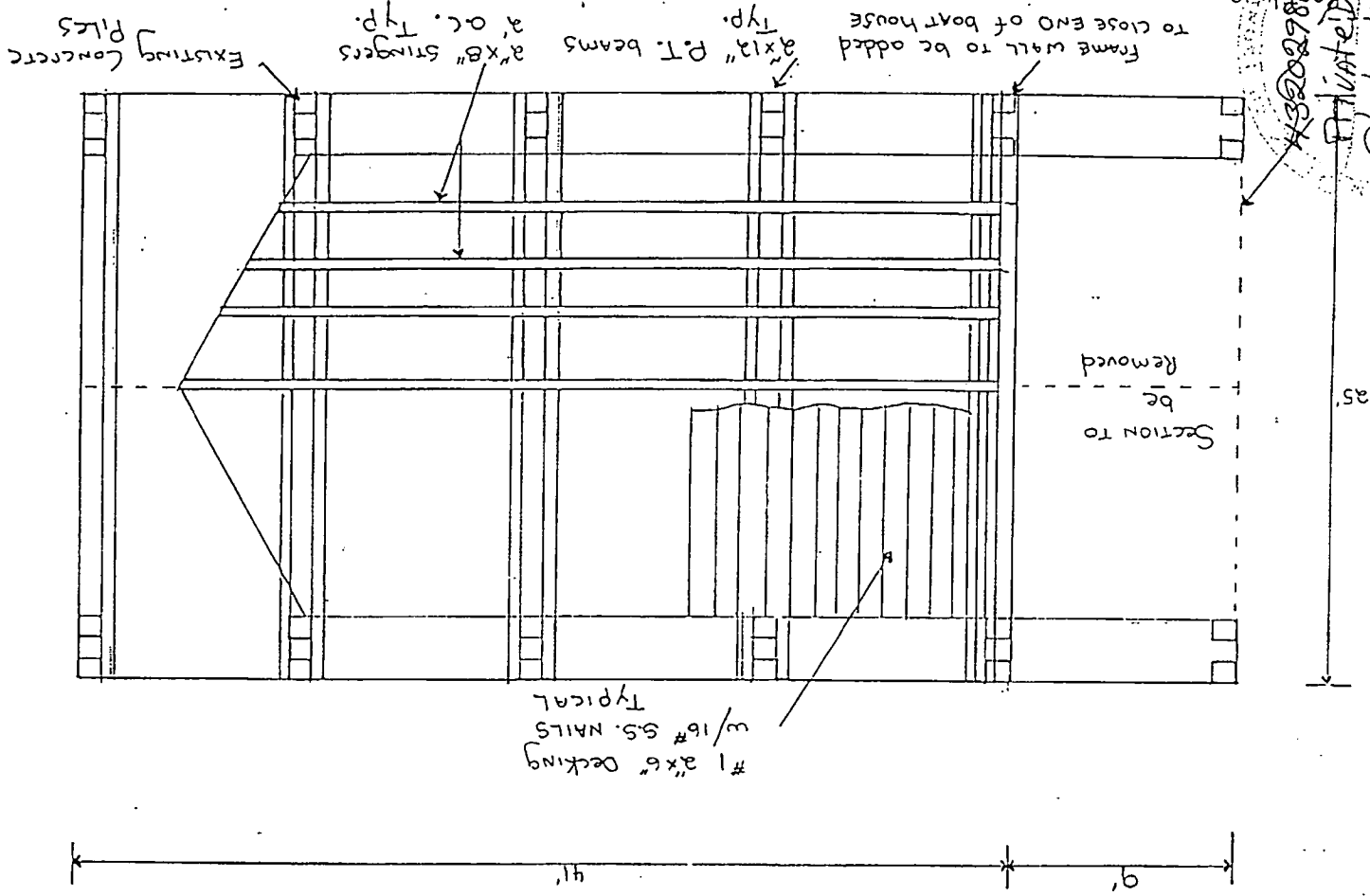


432029858
 Private Docking Fee
 St Lucie River
 APR 28 1992
 JPK

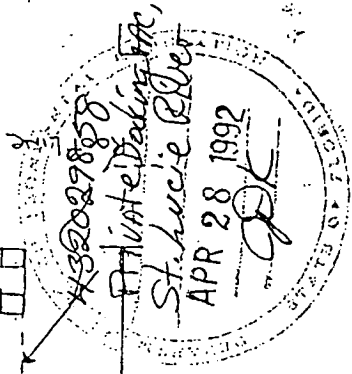
1/4" = 1' SCALE

NOT TO SCALE

Boathouse for Fred Ayres



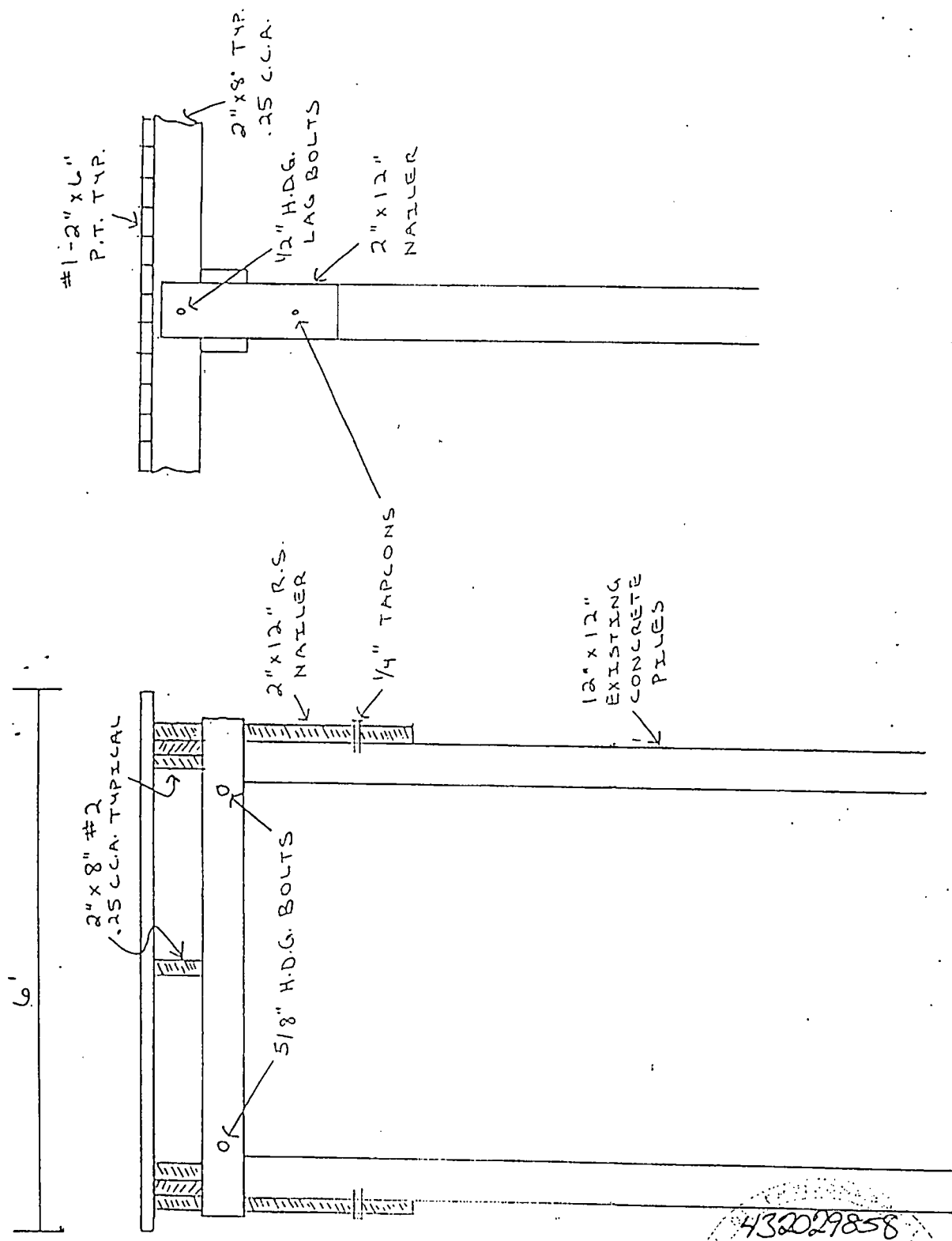
Boathouse to be closed in
To be used for storage



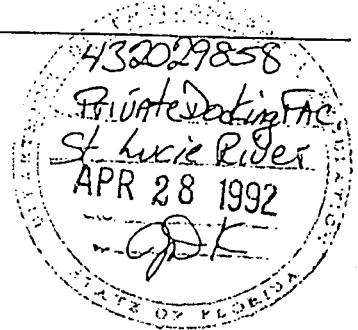
REMOVED

TYPICAL ELEVATION

Details of old section



REVISED



NOT TO SCALE

3593

DEMO

TAX ID NO.

DATE 4/27/94

3593

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner FREDERIC M. AYERS Present address PO 2803 JENSEN BOLT

Phone 334-1130 FL 34958

Contractor Jack White Tudy Address _____

Phone 283-2091

Where licensed _____ License number _____

Electrical Contractor _____ License number _____

Plumbing Contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: DEMOLISH 2 EXISTING BUILDINGS

APPR. BK12 - AND CLEAR

State the street address at which the proposed structure will be built:

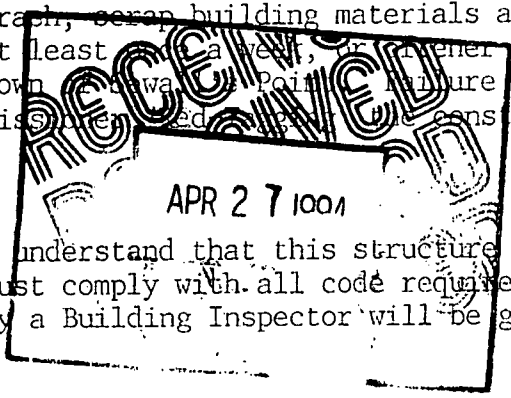
15 So. Sewall's Point Rd

Subdivision Heritage Place Lot Number 25-10 Block Number _____

Contract price \$ 1000.00 Cost of permit \$ 50.00

Plans approved as submitted N/A Plans approved as marked N/A

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least a week, or longer when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner being called to the construction project.



Contractor Richard [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Frederic Ayers
et al

TOWN RECORD

Approved: Dale Brown 4/27/94
Building Inspector Date

Date submitted _____

Approved: [Signature] 5/13/94
Commissioner Date

Final approval given: _____
Date

CERTIFICATE OF OCCUPANCY issued (if applicable) _____
Date

PERMIT NO. _____

**MARTIN COUNTY
1993 COUNTY OCCUPATIONAL LICENSE 1994**

THIS FORM REQUIRES A RECEIPT ONLY WHEN VALIDATED BY RECEIPTING MACHINE
SHOWING TRANSACTION NUMBER, DATE AND AMOUNT PAID

PENALTY 10% FOR MONTH OF OCTOBER,
5% ADDITIONAL EACH MONTH THEREAFTER
AFTER UP TO 25% PLUS COLLECTION COSTS.

PREV YR. \$ _____	UC. FEE \$ <u>11.00</u>
TRANSFER \$ _____	HAZ. WST. \$ <u>10.00</u>
DEL PEN \$ _____	COL FEE \$ <u>3.00</u>
SUBTOTAL \$ _____	SUBTOTAL \$ <u>24.00</u>
TOTAL _____	

IS HENRY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
HAULING TRASH & GRAD

AT ABOVE ADDRESS FOR THE PERIOD BEGINNING ON THE

1ST DAY OF **OCTOBER** 1993 SEC. _____
AND EXPIRING FIRST DAY OF OCTOBER A. D. 1994

LICENS: 77-275-540 CERT. _____
PHONE: 800-283-7091 SIGN: 0000
LOCAT: 2535 SE ALHAMBRA AVE

33 27554077 00002400 1

MAKE CHECKS PAYABLE TO:
Larry C. O'Steen, Tax Collector, P.O. Box 9011, Stuart, FL 34995
(407) 288-5604

JACK WHITE TRUCKING
P O BOX 744
PALM CITY FLA 34990

002192 0000002400 001346 09 091593

NOTE - A PENALTY IS IMPOSED FOR FAILURE TO KEEP THIS LICENSE EXHIBITED CONSPICUOUSLY AT YOUR ESTABLISHMENT OR PLACE OF BUSINESS.

3599

SFR

3599

Tax Folio No. _____

TOWN OF SEWALL'S POINT, FLORIDA

BUILDING PERMIT APPLICATION

Owner's Name FREDERIC M. AYRES

Owner's Address 60 S. SEWALLS Pt. Rd *'

Owner's Telephone (H) 288-2833 (O) 334-1130
1131

Fee Simple Titleholder's Name (if other than owner) _____

Fee Simple Titleholder's Address (if other than owner) _____

City SEWALLS Pt. State FL Zip 34996

Contractor's Name Bexford Bldgs Inc.

Contractor's Address P.O. Box 650099

City Vero Beach, FL State FL Zip 32965

Contractor's Telephone 4075644087 License Number CBC 026756

Job Name AYRES RESIDENCE

Job Address 15 S. RIVER Rd.

City Town of Sewall's Point State Florida Zip 34996

Legal Description Lot 25 and Lot 10 (less the south 5') HERITAGE PLACE

Bonding Company _____

Bonding Company Address _____

City _____ State _____

Architect/Engineer's Name Joseph P. McCarty

Architect/Engineer's Address 900 E. OSCEOLA St., STUART

Mortgage Lender's Name N/A

Mortgage Lender's Address N/A

*' (Mailing Address) P.O. Box 2803
JENSEN Bch., FL.
34958-2803

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS and AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS APPLICATION, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, MARTIN COUNTY, STATE AGENCIES, OR FEDERAL AGENCIES.

Plumbing Contractor SOUTH PARK License No. MP00049
Electrical Contractor COOK Elec License No. ME00152
Roofing Contractor PACIFIC ROOFING License No. 93520-076
A/C Contractor FYNN AC License No. SP00017
Description of Building or Alterations House
SINGLE FAMILY RESIDENCE
Name of Street Designated as Front Building Line and Front Yard
15 S. SEWALLS POINT RD.
Subdivision HERITAGE Lot 25 & 16 Block LESS 51074 5'
Building Area (air conditioned) 5,940 sq. ft.
Garage, Porch, Carport Area 3292 sq. ft.
Contract Price (excluding carpet, land, appliance, landscaping)
\$ 438,700

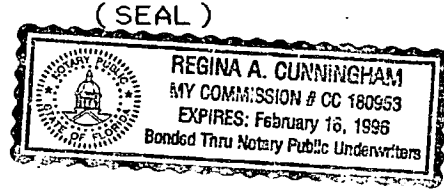
Kevin M. Nynes
(Owner or Authorized Agent)

DATE 5/2/94

Sworn and Subscribed before me this
2nd day of May 1994

Regina A. Cunningham

NOTARY PUBLIC
State of Florida at Large
My Commission Expires: 2/16/96



Sara F. Rexford
(Contractor)

DATE 4-29-94

Sworn and Subscribed before me this
29th day of April 1994

[Signature]
NOTARY PUBLIC

State of Florida at Large
My Commission Expires:

(SEAL)
PATRICIA L. CRAWFORD
Notary Public, State of Florida
My Comm. Expires Aug. 13, 1994
No. CC038788

Certificate of Competency Holder

Contractor's State Certification or Registration No. CGC026756

Contractor's Certificate of Competency No. _____

APPLICATION APPROVED BY Dale Brown Permit Officer

[Signature] V.V. BADC. Comm.

For Official Use Only

Plans approved as submitted _____ Date _____

Plans approved as marked Dale Brown Date 5/9/94

A/C Area 5940 sq. ft. x \$60. = \$ 356,400

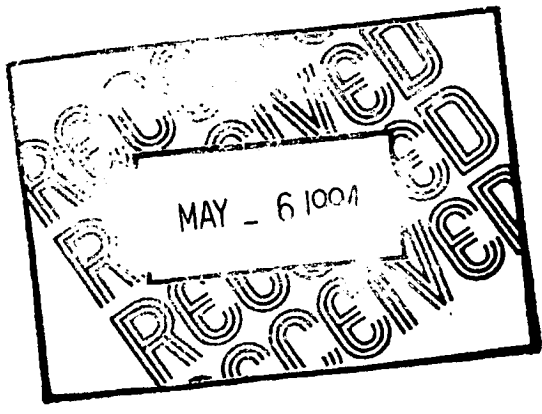
Non A/C Area 3292 sq. ft. x \$25. = \$ 82,300

Total = \$ 438,700

Contract Price \$ 438000 (fee will be charged on higher amount)

_____ M. x \$8.00 = \$	<u>3,512.00</u>	Building Fee
A/C Fee	\$ <u>100.00</u>	
Electrical Fee	\$ <u>100.00</u>	
Plumbing Fee	\$ <u>100.00</u>	
Roofing Fee	\$ <u>100.00</u>	
Radon Fee	\$ <u>92.32</u> ✓	
County Impact Fee	\$ <u>N/A</u>	
TOTAL PERMIT FEE	\$ <u>4004.32</u>	
PAYMENT RECEIVED	<u>Dale Brown</u>	<u>5/9/94</u>
	Signature	Date

3912



3-MARTIN COUNTY
PUBLIC HEALTH UNIT

Permit was inspected on 3-23-95

14-52

and Cover
holder for
ade (see Permit for specifications)

ver, disapproved for the following

dition fee _____
d well _____
reinspection Not Approved

de Pass-System Approved

low this office two working days to
a reinspection. If you have any

contact McPhail at 221-4090.

REV. 4/90

3 POINT ERMIT

PARCEL CONTROL NUMBER _____

PERMIT NUMBER 14-52-95

DATE ISSUED 3/23/95

OWNER Mr. Frederick Byres

CONTRACTOR OR OWNER/BLDR. Robert Byres

ADDRESS _____

ADDRESS PO Box 6500

CITY/ST/ZIP SP

CITY/ST/ZIP Vero Beach, FL

TELEPHONE _____

TELEPHONE 569-8000

FLOOD ZONE C

ONE PER BLDG. PERMIT. MAX. THREE
SIGNS PER JOB. MAX. SIZE TWO
SQUARE FEET. BLACK & WHITE.

TO BE CONSTRUCTED New house

SITE ADDRESS 15 SRR

SUBDIVISION Heritage

BLDG. PERMIT GOOD FOR ONE YEAR.
AT EXPIRATION A NEW PERMIT FEE MUST
BE PAID.

CONSTRUCTION VALUE 438,700

FEES

REMODELING/NEW CONSTRUCTION NEW

PLUMBING 100.00

IMPACT NA

ELECTRICAL 100.00

RADON 92.32

MECH./A.C. 100.00

SEPTIC _____

ROOF 100.00

WELL _____

WALL _____

FENCE _____

POOL ENCLOSURE _____

POOL _____

OWNER/BUILDER NA

DOCK _____

TOTAL 4004.32

PAID BY CHECK #104

Garage Rough Plumb ok 7/21/94
Garage Rough Plumb ok 7/21/94

BUILDING INSPECTION (SIGN OFF)

(FOR OFFICIAL USE ONLY)

FORM BOARD SURVEY _____ DATE _____
ROUGH PLUMBING _____ DATE _____
TERMITE PROTECTION _____ DATE _____
FOOTING-SLAB ok DATE 7/21/94
LINTEL _____ DATE _____
ROUGH ELECTRIC _____ DATE _____
FRAMING _____ DATE _____
A/C DUCTS _____ DATE _____

NAILING _____ DATE _____
ROOF _____ DATE _____
INSULATION _____ DATE _____
FINAL ELECTRIC _____ DATE _____
FINAL PLUMBING _____ DATE _____
SEPTIC FINAL _____ DATE _____
DRIVEWAY _____ DATE _____
FINAL C.O. _____ DATE _____

PERMIT AUTHORIZED BY Walter Byres

- Call 287-2455 from 8:00 a.m. to 4:00 p.m. for inspections.
- Requests for inspections require 24 hours notice.
- All work must be in compliance with the Town of Sewall's Point ordinances, the South Florida Building Code, the State of Florida Energy Efficiency Building Code and Elevations based on the latest flood insurance rate map.
- Portable toilet facilities and haul-off trash container must be in job site before initial inspection.
- Working hours are from 8:00 a.m. to 5:00 p.m. Monday through Saturday.
- No trucks, trailers or other commercial vehicles may be left on job site overnight unless totally concealed. Violators will be cited. Questions regarding such equipment should be directed to the Building or Police Departments.

ADDITIONAL MATERIALS REQUIRED
WITH
BUILDING PERMIT APPLICATION

THIS LIST IS FOR THE APPLICANT'S CONVENIENCE ONLY. THE APPLICANT MAY BE REQUIRED TO SUBMIT MATERIALS TO THE TOWN IN CONNECTION WITH THE BUILDING PERMIT APPLICATION WHICH ARE NOT LISTED HERE. COMPLETE INFORMATION REGARDING BUILDING PERMIT APPLICATION MATERIALS AND LAND DEVELOPMENT REGULATIONS ARE FOUND IN CHAPTERS 2, 2.5, 4, 6.1, 11, 13, APPENDIX A AND APPENDIX B OF THE TOWN CODE OF ORDINANCES, THE SOUTH FLORIDA BUILDING CODE, AND THE TOWN OF SEWALL'S POINT COMPREHENSIVE PLAN.

1. Florida Certification of Contractor and Sub-Contractor.
2. Certification of Liability and Workers' Compensation Insurance.
3. Three sets of Building Plans which must include:
 - a. 1/4" scale building drawings.
 - b. Plot plan at a minimum scale of 1" = 10' certifying proposed coverage by impermeable materials; show existing trees 4 or more inches in diameter at chest height; show all completed structures (C.O. issued), existing or proposed wells, all structures under construction (Building Permit issued), and all proposed structures (Building Permit Application filed or being filed); detailed surface water management practices shall be shown through use of swales, berms, retaining walls, etc. designed to meet the water quality requirements of South Florida Water Management District retain, on site, water from a 3-day 25-year storm event, and to prevent normal run-off onto adjoining parcels. Common swales on property lines are encouraged.
 - c. A topographic survey, sealed by an appropriate professional, indicating existing natural grade and grade changes proposed on the site, except when grade changes are limited to the area beneath the floor of dwelling units.

Each sheet of plans, and the cover sheet of specifications, for buildings and structures; alterations; repairs and improvements; replacements and additions; costing \$15,000.00 or more, shall bear the date, impress seal and signature of a licensed Architect or registered Professional Engineer. Plans for work which is predominately of Architectural nature shall be prepared by and bear the impress seal of a licensed Architect, and work which involves extensive computation based on structural stresses shall, in addition, bear the impress seal of a Professional Engineer.

- c. Foundation Plan.
- d. Floor Plan.

TOWN OF SEWALL'S POINT, FLORIDA

Before a certificate of occupancy is issued, development permit holders shall provide an "as built" survey meeting the requirements prescribed below. This shall apply to all new building construction and any improvements to existing buildings which alter the dimension or height of the building. The survey shall:

- (a) Be prepared by a licensed surveyor registered in Florida, signed, dated and sealed, and shall bear the name, firm or residence address, city, certificate number of the surveyor and date of the field survey;
- (b) Be dated not more than 30 days prior to the certificate of occupancy;
- (c) Contain a complete legal description;
- (d) Reference the source of information used in making the survey;
- (e) Contain the address of the property, including street name and number, and show the proximity of all boundary streets;
- (f) Indicate the flood zone(s) in which any portion of the building is located, even though the property may not be in a flood hazard area;
- (g) Show the exact lot dimensions, including boundary lines and arcs, which must match the Plat, with any variations being noted;
- (h) The scale of the map shown on the survey shall be at least 1" = 10'.
- (i) Show the location, dimensions, and accurate identity of all easements as required under Rule 21 HH-6.03(15) of the Minimum Technical Standards;
- (j) Show all setback requirements;
- (k) Show the location and identification of all encroachments, including the type of improvement comprising the encroachment;
- (l) Show the location and dimension of all structures, driveways, sidewalks, irrigation wells, septic tanks, drain fields and drainage improvements (including swales, berms and pipe invert elevation);
- (m) Contain a certification to the Town of Sewall's Point;
- (n) State for whom the survey is done;
- (o) Show the location, dimensions and square footage of the native habitat preservation area required by Section 11-60 of this Code.

- e. Wall and Roof cross-sections.
 - f. Plumbing, electrical and A/C layouts.
 - g. At least two elevations showing height of building from finished floor.
4. Landscaping and Habitat Management Permit if the removal, relocation, or replacement of any vegetation or habitat is necessitated by the land development
 5. Recorded warranty deed to the property.
 6. Septic tank permit and one set of plans with Martin County Health Department seal.
 7. Energy code calculations.
 8. Certification of elevation from licensed surveyor and determination of flood zone.
 9. Amount of fill anticipated - rough sketch showing location and height of fill.
 10. Manufacturers' schedule of windows.
 11. Except for an improvement which is exempt pursuant to Florida Statutes, an owner or authorized agent before actually commencing to improve any real property, or re-commencing completion of any improvement after default or abandonment, whether or not a project has a payment bond complying with Florida Statutes, shall record a Notice of Commencement in the clerk's office and immediately post either a certified copy of the notice or a notarized statement that the Notice of Commencement has been filed for recording along with a copy of the unrecorded notice.
 12. In special flood hazard areas, a certificate of an appropriately licensed professional stating fully enclosed areas below lowest floor are designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of flood waters.
 13. In coastal high hazard areas (V Zones), a certificate of an appropriately licensed professional stating breakaway wall collapse shall result from a water load less than that which would occur during the base flood; and the elevated portion of the building and supporting foundation shall not be subject to collapse, displacement or other structural damage due to the effects of wind and water loads acting simultaneously on all building components (structural and non-structural).

THE TOWN'S APPROVAL OF A BUILDING PERMIT APPLICATION DOES NOT RELIEVE OWNER OR CONTRACTOR FROM COMPLIANCE WITH THE TOWN CODE OF ORDINANCES OR OTHER REGULATIONS.

THE TOWN OFFICE HOURS ARE 8:00 A.M. TO 4:00 P.M. MONDAY THROUGH FRIDAY. INSPECTIONS ARE MADE FROM 8:00 A.M. TO 12:00 P.M. NOON ONLY. TWENTY-FOUR HOURS PRIOR NOTICE IS REQUIRED FOR INSPECTIONS.

(p) Indicate the lowest habitable floor, average natural grade, and average crown of road elevations in accordance with applicable Code provisions.

(q) Contain a tabulation of the impermeable and permeable areas;

(r) In coastal high hazard areas (V-Zones), indicate the elevation of the top of pier, pile or column.

(s) Contain any other information the building department may require to confirm the construction or improvements comply with applicable Code provisions. *(BUILDING HEIGHT FROM F.F.E.)*

Ordinance # 215, 3/11/92

FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33rd STREET

FORT PIERCE, FLORIDA 34946

FORT PIERCE: (407) 461-7508
 VERO BEACH: (407) 567-6167
 STUART: (407) 283-7711

Report of DENSITY OF SOIL IN PLACE ASTM D2922

Client Madsen Builders

Date July 15, 1994

Contractor Client

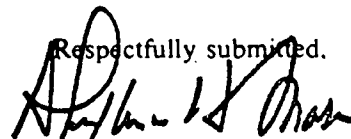
Site 15 S. River Dr.
 Sewalls Point
 Foundation Pad

Permit # 2599

Test No.	Location	Elevation	In Place Dry Density	Moisture Density Relationship		Percent Compaction
				Test No.	Max Dry Density	
8982	N.W. Corner	0 - 1'	103.6	8982	105.1	98.6
	"	1 - 2'	103.9			98.9
	Center	0 - 1'	104.1			99.0
	"	1 - 2'	103.7			98.7
	S.E. Corner	0 --1'	103.6			98.6
	"	1 - 2'	103.7			98.7
All elevations below slab grade.						

Copies Client - 1
 Sewalls Pt. Bldg. Dept. - 1

Respectfully submitted.



 ALEXANDER H. FRASER, P. E.

FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33rd STREET

FORT PIERCE, FLORIDA 34946

FORT PIERCE: (407) 481-7508

VERO: (407) 587-8167

STUART: (407) 283-7711

Report
of
MOISTURE DENSITY RELATIONSHIP
ASTM 1557-70

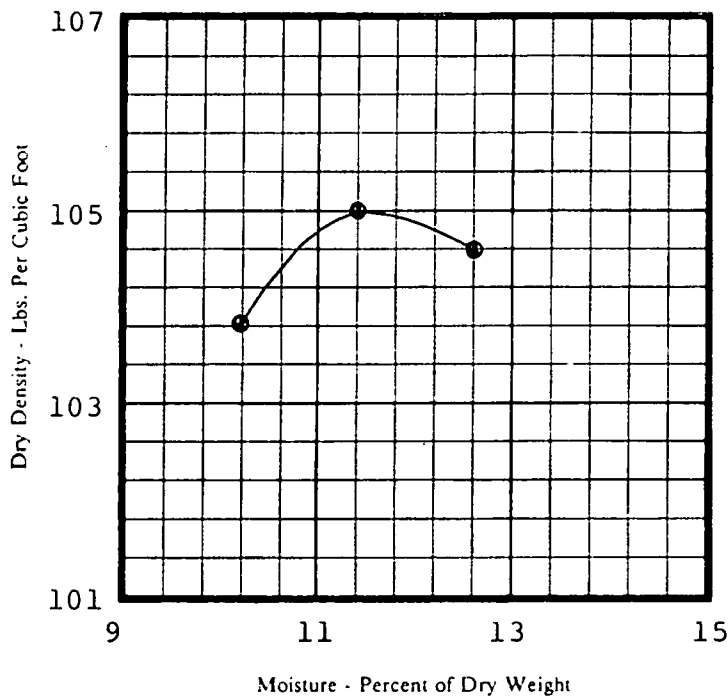
Client Madsen Builders

Date July 15, 1994

Contractor Client

Site 15 S. River Dr.
Sewalls Point
Foundation Pad

Permit #2599



Test No.	Test Method	Sample Location	Optimum Moisture %	Max Dry Density-P.C.F.	Soil Description
8982	B	Composite	11.4	105.1	Orange fine sand.

Copies

Respectfully submitted,

Alexander H. Fraser
ALEXANDER H. FRASER, P. E.

FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33rd STREET

FORT PIERCE, FLORIDA 34946

FORT PIERCE: (407) 461-7508
 VERO BEACH: (407) 567-6167
 STUART: (407) 283-7711

Report of DENSITY OF SOIL IN PLACE ASTM D2922

Client Madsen Builders

Date June 16, 1994

Contractor Client

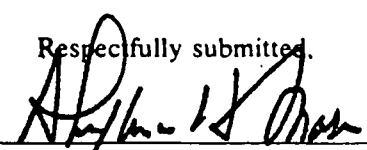
Site 15 S. River Rd.
 Garage Foundation Area

Permit #3599

Test No.	Location	Elevation	In Place Dry Density	Moisture Density Relationship		Percent Compaction
				Test No.	Max Dry Density	
8891	N.W. Corner	0 - 1'	103.4	8891	105.5	98.0
	"	1 - 2'	103.5			98.1
	"	2 - 3'	100.2			95.0
	S.E. Corner	0 - 1'	103.7			98.3
	"	1 - 2'	103.9			98.5
	"	2 - 3'	100.3			95.1
All elevations below slab grade.						

Copies Client - 2
 Sewalls Point Bldg. Dept. - 1

Respectfully submitted,


 ALEXANDER H. FRASER, P. E.

FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33rd STREET

FORT PIERCE, FLORIDA 34946

FORT PIERCE: (407) 461-7508

VERO: (407) 567-6167

STUART: (407) 283-7711

Report
of
MOISTURE DENSITY RELATIONSHIP
ASTM 1557-70

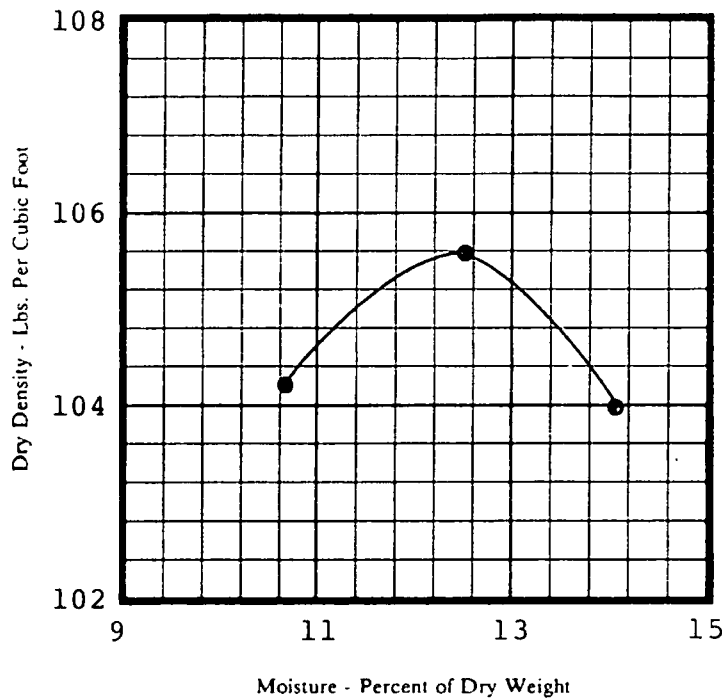
Client Madsen Builders

Date June 16, 1994

Contractor Client

Site 15 S. River Rd.
Garage Foundation Area

Permit #3599



Test No.	Test Method	Sample Location	Optimum Moisture %	Max Dry Density-P.C.F.	Soil Description
8891	A	Composite	12.5	105.5	Orange and gray fine sand.

Copies

Respectfully submitted,

ALEXANDER H. FRASER, P. E.

OWNER'S AFFIDAVIT OF BUILDING COSTS

STATE OF FLORIDA
COUNTY OF MARTIN

BEFORE ME, the undersigned notary public, personally appeared the undersigned Affiant, who, being first duly sworn, under penalties of perjury, deposes and says:

1. That Affiant is the owner or the authorized agent of the owner of certain real estate (the Property) located within the municipal limits of the Town of Sewall's Point, Florida (the Town), having the street address set forth below Affiant's signature.

2. That all of the improvements on the Property under current building permit(s) issued by the Town have been completed in substantial conformity with the plans and specifications on file with the Town and in accordance with all applicable state and local building codes.

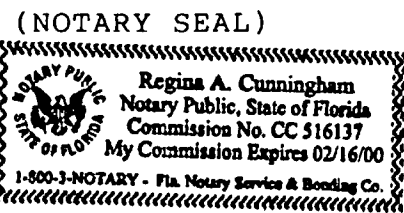
3. That the total cost paid or to be paid by the owner for the complete construction of the improvements under the building permit(s), including the cost of all improvements shown on the plans and specifications filed with the Town and all machinery and equipment not shown thereon required to be installed as a condition for a certificate of occupancy under state and local law, is \$ 510,000.00 .

4. That this affidavit is made for the purpose of inducing the building official of the Town to issue a certificate of occupancy for the improvements, with the intention that it be relied upon for that purpose.

Carol M. Ayub
Affiant
Property street address:
16 S. RIVER Rd.
SEWALL'S PT., FL.

Sworn to and subscribed
before me this 23rd day of
February, 1996.

Regina A. Cunningham
Notary Public
STATE OF FLORIDA AT LARGE
My Commission Expires: 2/16/00



PROJECT NAME: AND ADDRESS:	BUILDER: <u>Lexford</u>	PERMITTING OFFICE:	CLIMATE ZONE: 7 <input type="checkbox"/> 8 <input type="checkbox"/> 9 <input type="checkbox"/>
OWNER: <u>Fred Ayres</u>	PERMIT NO.:	JURISDICTION NO.:	

- New construction or addition
- Single family detached or Multifamily attached
- If Multifamily—No. of units covered by this submission
- If Multifamily, is this a worst case (yes / no)
- Conditioned floor area (sq. ft.)
- Predominant eave overhang (ft.)
- Porch overhang length (ft.)
- Glass type and area:
 - Clear glass
 - Tint, film or solar screen
- Floor type and insulation:
 - Slab on grade (R-value + perimeter)
 - Wood, raised (R-value + sq. ft.)
 - Concrete, raised (R-value)
- Net Wall type, area and insulation:
 - Exterior:
 - Concrete block (Insulation R-value)
 - Wood frame (Insulation R-value)
 - Steel frame (Insulation R-value)
 - Log (Insulation R-value)
 - Adjacent:
 - Concrete block (Insulation R-value)
 - Wood frame (Insulation R-value)
 - Steel frame (Insulation R-value)
 - Log (Insulation R-value)
- Ceiling type, area and insulation:
 - Under attic (Insulation R-value)
 - Single assembly (Insulation R-value)
- Air distribution system:
 - Ducts (Insulation + Location)
 - Air Handler (Insulation + Location)
- Cooling system:
(Types: central-split, central-single pkg., room unit, PTAC, none)
- Heating system:
(Types: heat pump, elec. strip, nat. gas, L.P. gas, room or PTAC, none)
- Hot water system:
(Types: elec., natural gas, solar, L.P. gas, none)
- Hot Water Credits:
 - Heat Recovery (HR)
 - Dedicated Heat Pump (DHP)
- Infiltration practice: 1, 2 or 3
- HVAC Credits (Type in Letter designation: CF-Ceiling Fan, CV-Cross vent, HF-Whole house fan, RB-Attic radiant barrier, MZ-Multizone)
- EPI (must not exceed 100 points)

Please Type CK

1.	<u>New</u>	
2.	<u>single family</u>	
3.	<u>N/A</u>	
4.	<u>N/A</u>	
5.	<u>2140</u>	sq. ft.
6.	<u>3.0</u>	ft.
7.	<u>3.0</u>	ft.
	Single Pane	Double Pane
8a.	<u>981</u>	sq. ft.
8b.		sq. ft.
9a.	R= <u>19.0</u>	sq. ft.
9b.	R= <u>2980</u>	sq. ft.
9c.	R=	sq. ft.
10a-1	R=	sq. ft.
10a-2	R= <u>19</u>	<u>3151</u> sq. ft.
10a-3	R=	sq. ft.
10a-4	R=	sq. ft.
10b-1	R=	sq. ft.
10b-2	R= <u>19</u>	<u>1100</u> sq. ft.
10b-3	R=	sq. ft.
10b-4	R=	sq. ft.
11a.	R= <u>2-19</u>	<u>12600</u> sq. ft.
11b.	R= <u>2-19</u>	<u>17600</u> sq. ft.
12a.	R= <u>6.0</u>	(cond./uncond.)
12b.	R=	(cond./uncond.)
13a.	Type: <u>central split</u>	
13b.	SEER/EER/COP: <u>11.0</u>	
13c.	Capacity:	
14a.	Type: <u>central split</u>	
14b.	HSPF/COP/AFUE:	
14c.	Capacity:	
15a.	Type: <u>elec. strip</u>	
15b.	EE:	
16a.		
16b.		
17.	<u>A</u>	
18.		
19.	<u>93.9</u>	
19a.	<u>108130</u>	
19b.	<u>101750</u>	

a. Total As-Built points
 b. Total-Base points

$$EPI = \frac{\text{Total As-Built points}}{\text{Total Base points}} \times 100$$

I hereby certify that the plans and specifications covered by the calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature] DATE: 2/21/93

I hereby certify that this building is in compliance with the Florida Energy Code.

OWNER AGENT: _____ DATE: _____

Review of plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.908, F.S.

BUILDING OFFICIAL: _____

DATE: _____

Department of Community Affairs - FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION
 FORM 600A-93 Residential Whole Building Performance Method A SOUTH 7 8 9

PROJECT NAME: AND ADDRESS:	BUILDER: <u>Rexford</u>	PERMITTING OFFICE:	CLIMATE ZONE: 7 <input type="checkbox"/> 8 <input type="checkbox"/> 9 <input type="checkbox"/>
OWNER: <u>Fred Ayres</u>	PERMIT NO.:	JURISDICTION NO.:	

- New construction or addition
- Single family detached or Multifamily attached
- If Multifamily—No. of units covered by this submission
- If Multifamily, is this a worst case (yes / no)
- Conditioned floor area (sq. ft.)
- Predominant eave overhang (ft.)
- Porch overhang length (ft.)
- Glass type and area:
 - Clear glass
 - Tint, film or solar screen
- Floor type and insulation:
 - Slab on grade (R-value + perimeter)
 - Wood, raised (R-value + sq. ft.)
 - Concrete, raised (R-value)
- Net Wall type, area and insulation:
 - Exterior:
 - Concrete block (Insulation R-value)
 - Wood frame (Insulation R-value)
 - Steel frame (Insulation R-value)
 - Log (Insulation R-value)
 - Adjacent:
 - Concrete block (Insulation R-value)
 - Wood frame (Insulation R-value)
 - Steel frame (Insulation R-value)
 - Log (Insulation R-value)
- Ceiling type, area and insulation:
 - Under attic (Insulation R-value)
 - Single assembly (Insulation R-value)
- Air distribution system:
 - Ducts (Insulation + Location)
 - Air Handler (Insulation + Location)
- Cooling system:
(Types: central-split, central-single pkg., room unit, PTAC., none)
- Heating system:
(Types: heat pump, elec. strip, nat. gas, L.P. gas, room or PTAC, none)
- Hot water system:
(Types: elec., natural gas, solar, L.P. gas, none)
- Hot Water Credits:
 - Heat Recovery (HR)
 - Dedicated Heat Pump(DHP)
- Infiltration practice: 1, 2 or 3
- HVAC Credits (Type in Letter designation: CF-Ceiling Fan, CV-Cross vent, HF-Whole house fan, RB-Attic radiant barrier, MZ-Multizone)
- EPI (must not exceed 100 points)

	Please Type	CK
1.	<u>new</u>	
2.	<u>single family</u>	
3.	<u>1</u>	
4.	<u>no</u>	
5.	<u>5140</u> sq. ft.	
6.	<u>3.0</u> ft.	
7.	<u>3.0</u> ft.	
8a.	<u>881</u> sq. ft.	
8b.		
9a.	R= _____	
9b.	R= <u>19.0</u> , <u>2980</u> sq. ft.	
9c.	R= _____	
10a-1	R= _____	
10a-2	R= <u>19</u> <u>3151</u> sq. ft.	
10a-3	R= _____	
10a-4	R= _____	
10b-1	R= _____	
10b-2	R= <u>19</u> <u>1100</u> sq. ft.	
10b-3	R= _____	
10b-4	R= _____	
11a.	R= <u>2-19</u> <u>12100</u> sq. ft.	
11b.	R= <u>2-19</u> <u>17600</u> sq. ft.	
12a.	R= <u>6.0</u> , _____ (cond/uncond.)	
12b.	R= _____, <u>cond</u> (cond/uncond.)	
13a.	Type: <u>central split</u>	
13b.	SEER/EER/COP: <u>11.0</u>	
13c.	Capacity: _____	
14a.	Type: <u>central split</u>	
14b.	HSPF/COP/AFUE: _____	
14c.	Capacity: _____	
15a.	Type: <u>elec. strip</u>	
15b.	EF: _____	
16a.	_____	
16b.	_____	
17.	<u>1</u>	
18.	_____	
19.	<u>93.9</u>	
19a.	<u>109130</u>	
19b.	<u>1017512</u>	

a. Total As-Built points
 b. Total Base points

$$EPI = \frac{\text{Total As-Built points}}{\text{Total Base points}} \times 100$$

I hereby certify that the plans and specifications covered by the calculation are in compliance with the Florida Energy Code.

PREPARED BY: _____ DATE: 3/31/93

I hereby certify that this building is in compliance with the Florida Energy Code.

OWNER AGENT: _____ DATE: _____

Review of plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.908, F.S.

BUILDING OFFICIAL: _____

DATE: _____

SUMMER CALCULATIONS

CLIMATE ZONES 7 8 9

	GLASS AREA	BASE SUMMER PT. MULT.	BASE SUMMER POINTS
N	155	109.7	
NE	33	109.7	
E	155	109.7	
SE	20	-109.7	
S	61	109.7	
SW	20	109.7	
W	331	109.7	
NW		109.7	
H ¹	20	109.7	
<hr/>			
	90	109.7	
<hr/>			
	881	109.7	97012

	GLASS AREA	SINGLE-PANE SUMMER POINT MULT. OR		DOUBLE-PANE SUMMER POINT MULT.		SUMMER OVERHANG FACTOR (6A-1)	AS-BUILT GLASS SUM. PTS
		CLEAR	TINT ²	CLEAR	TINT ²		
N	155	64.5	65.2	60.2	54.9	1	9997
NE	33	94.8	94.5	88.0	78.2	.81	1234
E	155	136.3	133.9	127.0	109.5	.81	28557
SE	20	146.2	143.0	135.0	116.1	1.04	1871
S	61	135.6	132.5	124.2	107.7		8221
SW	20	146.2	143.0	135.0	116.1	.78	2730
W	331	136.3	133.9	127.0	109.5	.81	372010
NW		94.8	94.5	88.0	78.2		
H ¹	20	428.7	354.7	380.6	278.9		5578
<hr/>							
	90	135.1				.75	9763

.15	x	COND FLOOR AREA	=	TOTAL GLASS AREA	=	BASE ADJUST. FACTOR	x	BASE GLASS SUBTOTAL	=	ADJUSTED GLASS BASE SP
.15		5940		881		1.01		98012		100302

AS-BUILT GLASS SUBTOTAL	17501
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COMPONENT DESCRIPTION	AREA	BASE SUMMER POINT MULT.	BASE SUMMER POINTS
WALL EXTERIOR	3151	1.6	5042
WALL ADJACENT	100	1.0	100

COMPONENT DESCRIPTION	AREA	SUMMER POINT MULT. (6A-2 THRU 6A-6)	AS-BUILT SUMMER POINTS
WALL EXTERIOR	3151	1.6	5042
WALL ADJACENT	100	1.0	100

DOORS	EXTERIOR	AREA	BASE SUMMER POINT MULT.	BASE SUMMER POINTS
DOORS EXTERIOR	43	43	6.4	275
DOORS ADJACENT	18	18	2.6	47

DOORS	EXTERIOR	AREA	SUMMER POINT MULT.	AS-BUILT SUMMER POINTS
DOORS EXTERIOR	43	43	9.4	404
DOORS ADJACENT	18	18	3.8	68

CEILING	UNDER ATTIC OR SINGLE ASSEMBLY	AREA	BASE SUMMER POINT MULT.	BASE SUMMER POINTS
CEILING UNDER ATTIC	1200	1200	.8	1024
CEILING UNDER ATTIC	1720	1720	.8	2195

CEILING	UNDER ATTIC OR SINGLE ASSEMBLY	AREA	SUMMER POINT MULT.	AS-BUILT SUMMER POINTS
CEILING UNDER ATTIC	1200	1200	1.5	1890
CEILING UNDER ATTIC	1720	1720	1.5	4300

BASE CEILING AREA EQUALS FLOOR AREA DIRECTLY UNDER CEILING, AS-BUILT CEILING AREA EQUALS ACTUAL CEILING SQUARE FOOTAGE.

FLOOR	SLAB (PERIMETER)	AREA	BASE SUMMER POINT MULT.	BASE SUMMER POINTS
FLOOR SLAB (PERIMETER)	20.0			
FLOOR RAISED (AREA)	-2.16	2980		-437

FLOOR	SLAB (PERIMETER)	AREA	SUMMER POINT MULT.	AS-BUILT SUMMER POINTS
FLOOR SLAB (PERIMETER)				
FLOOR RAISED (AREA)		2980	.4	-1192

FOR SLAB ON GRADE USE PERIMETER LENGTH AROUND CONDITIONED FLOOR. FOR RAISED FLOORS USE AREA OVER UNCONDITIONED SPACE.

INFILTRATION	5940	14.7	87318
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INFILTRATION	5940	18.0	110484
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USE TOTAL FLOOR AREA OF CONDITIONED SPACE.

TOTAL COMPONENT BASE SUMMER POINTS	190428
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TOTAL COMPONENT AS-BUILT SUMMER POINTS	221007
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COOLING SYSTEM	BASE COOLING SYSTEM MULTIPLIER	TOTAL BASE SUMMER POINTS	BASE COOLING POINTS
COOLING SYSTEM	.37	190428	70458

TOTAL AS-BUILT SUM. PTS.	AS-BUILT DM (6A-7)	AS-BUILT CSM (6A-8)	AS-BUILT CCM (6A-19)	AS-BUILT COOLING POINTS
TOTAL AS-BUILT SUM. PTS.	1.1	.34	.90	221007

HOT WATER SYSTEM	NUMBER OF BEDROOMS	BASE HOT WATER MULTIPLIER	BASE HOT WATER POINTS
HOT WATER SYSTEM	7	3319	23233

AS-BUILT HOT WATER SYSTEM DESC.	NUMBER OF BEDROOMS	AS-BUILT HWM (6A-9)	AS-BUILT HWCM (6A-20)	AS-BUILT HOT WATER POINTS
AS-BUILT HOT WATER SYSTEM DESC.	7	2530		17710

¹H = HORIZONTAL GLASS (SKYLIGHTS) ²FOR GLASS WITH KNOWN SHADING COEFFICIENT, SEE SECTION 1.1 APPENDIX C. TINT MULTIPLIERS MAY BE USED FOR GLASS WITH SOLAR SCREENS, FILM, OR TINT.

WINTER CALCULATIONS

CLIMATE ZONES 7 8 9

GLASS	GLASS AREA	BASE WINTER PT. MULT.	BASE WINTER POINTS
N	155	-4	
NE	33	-4	
E	255	-4	
SE	20	-4	
S	21	-4	
SW	20	-4	
W	331	-4	
NW		-4	
H'	20	-4	
<hr/>			
Σ	910		
<hr/>			
	881	4	352

GLASS	GLASS AREA	SINGLE-PANE WINTER POINT MULT. OR		DOUBLE-PANE WINTER POINT MULT.		WINTER OVERHANG FACTOR (6A-10)	AS-BUILT GLASS WIN. PTS
		CLEAR	TINT	CLEAR	TINT		
N	155	3.7	3.7	2.2	2.4	1.17	573
NE	33	2.9	2.9	1.4	1.8		112
E	255	.1	.2	-1.1	-.6	5.04	128
SE	20	-2.1	-2.0	-3.3	-2.5	1.04	79
S	21	-2.0	-1.8	-3.1	-2.4		172
SW	20	-2.1	-2.0	-3.3	-2.5	1.04	79
W	331	.1	.2	-1.1	-.6	5.04	190
NW		2.9	2.9	1.4	1.8		
H'	20	-8.9	-7.8	-7.3	-5.7		-114
<hr/>							
Σ	910					1.05	-12

.15	x	COND FLOOR AREA	+	TOTAL GLASS AREA	=	BASE ADJUST. FACTOR	x	BASE GLASS SUBTOTAL	=	ADJUSTED GLASS BASE WP
.15		5940		881		1.01		3100		314

AS-BUILT GLASS SUBTOTAL	157
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WALL	COMPONENT DESCRIPTION	AREA	x	BASE WINTER POINT MULT.	=	BASE WINTER POINTS
WALL	EXTERIOR	3151		.3		945
	ADJACENT	100		.5		80

WALL	COMPONENT DESCRIPTION	AREA	x	WINTER POINT MULT. (6A-11THRU 6A-15)	=	AS-BUILT WINTER POINTS
WALL	EXTERIOR	3151		.3		945
	ADJACENT	100		.5		80

DOORS	COMPONENT DESCRIPTION	AREA	x	BASE WINTER POINT MULT.	=	BASE WINTER POINTS
DOORS	EXTERIOR	43		1.8		77
	ADJACENT	18		1.3		-23

DOORS	COMPONENT DESCRIPTION	AREA	x	WINTER POINT MULT. (6A-11THRU 6A-15)	=	AS-BUILT WINTER POINTS
DOORS	EXTERIOR	43		1.8		77
	ADJACENT	18		1.3		-34

CEILING	COMPONENT DESCRIPTION	AREA	x	BASE WINTER POINT MULT.	=	BASE WINTER POINTS
		UNDER ATTIC OR SINGLE ASSEMBLY	1700		.1	
		1720		.1		172

CEILING	COMPONENT DESCRIPTION	AREA	x	WINTER POINT MULT. (6A-11THRU 6A-15)	=	AS-BUILT WINTER POINTS
		UNDER ATTIC OR SINGLE ASSEMBLY	1700		.3	
		1720		.3		514

BASE CEILING AREA EQUALS FLOOR AREA DIRECTLY UNDER CEILING. AS-BUILT CEILING AREA EQUALS ACTUAL CEILING SQUARE FOOTAGE.

FLOOR	COMPONENT DESCRIPTION	AREA	x	BASE WINTER POINT MULT.	=	BASE WINTER POINTS
		SLAB (PERIMETER RAISED (AREA))	2980		-2.1	
				-.28		

FLOOR	COMPONENT DESCRIPTION	AREA	x	WINTER POINT MULT. (6A-11THRU 6A-15)	=	AS-BUILT WINTER POINTS
		SLAB (PERIMETER RAISED (AREA))	2980		-1.1	

FOR SLAB ON GRADE USE PERIMETER LENGTH AROUND CONDITIONED FLOOR. FOR RAISED FLOORS USE AREA OVER UNCONDITIONED SPACE.

INFILTRATION	5940	1.2	7128
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INFILTRATION	5940	1.9	11286
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USE TOTAL FLOOR AREA OF CONDITIONED SPACE.

TOTAL COMPONENT BASE WINTER POINTS	8113
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TOTAL COMPONENT AS-BUILT WINTER POINTS	13918
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HEATING SYSTEM	BASE HEATING SYSTEM MULTIPLIER	x	TOTAL BASE WINTER POINTS	=	BASE HEATING POINTS
	1.1		8113		8924

TOTAL AS-BUILT WIN. PTS.	AS-BUILT DM (6A-16)	x	AS-BUILT HSM (6A-17)	x	AS-BUILT HCM (6A-18)	=	AS-BUILT HEATING POINTS
13918	1.1		-		.95		14439

TOTAL	BASE COOLING POINTS (From P. 2)	+	BASE HEATING POINTS	+	BASE HOT WATER POINTS (From P. 2)	=	TOTAL BASE POINTS (Enter on P. 1)
	7045		14439		25733		10710

TOTAL	AS-BUILT COOLING POINTS (From P. 2)	+	AS-BUILT HEATING POINTS	+	AS-BUILT HOT WATER POINTS (From P. 2)	=	TOTAL AS-BUILT POINTS (Enter on P. 1)
	69007		14439		17710		10710

'H' = HORIZONTAL GLASS (SKYLIGHTS) *FOR GLASS WITH KNOWN SHADING COEFFICIENT, SEE SECTION 1.1 APPENDIX C. TINT MULTIPLIERS MAY BE USED FOR GLASS WITH SOLAR SCREENS, FILM, OR TINT.

SUMMER POINT MULTIPLIERS (SPM)

CLIMATE ZONES 7 8 9

6A-1 SUMMER OVERHANG FACTORS (SOF) FOR SINGLE AND DOUBLE PANE GLASS.

SELECT BY OR	OH RATIO	.00-.11'	.12-.17	.18-.26	.27-.35	.36-.46	.47-.57	.58-.70	.71-.83	.84-1.18	1.19-1.72	1.73-2.73	2.74+
	N	1.00	.94	.91	.87	.84	.80	.77	.74	.74	.70	.64	.58
NE/NW	1.00	.95	.92	.86	.81	.76	.72	.68	.68	.64	.56	.50	.44
E/W	1.00	.95	.93	.87	.81	.75	.70	.65	.65	.59	.46	.41	.34
SE/SW	1.00	.95	.92	.85	.78	.70	.64	.58	.58	.52	.42	.34	.28
S	1.00	.94	.91	.83	.75	.67	.60	.54	.54	.48	.39	.33	.30
OH LENGTH*	0 ft.	1 ft.	1½ ft.	2 ft.	3 ft.	3½ ft.	4½ ft.	5½ ft.	6½ ft.	9½ ft.	14 ft.	20 ft.+	

*To select by Overhang Length, no part of glass shall be more than 8 ft. below the overhang.

6A-2 WALL SUMMER POINT MULTIPLIERS (SPM)

FRAME					CONCRETE BLOCK ¹				FACE BRICK		LOG	
R-VALUE	WOOD		STEEL		R-VALUE	INT. INSULATION NORMAL WT.		EXT. INSUL NOR. WT.	R-VALUE	WOOD.FR	6 INCH	
	EXT	ADJ	EXT	ADJ		-EXT	ADJ		EXT	0-6.9	4.6	R-VALUE
0-6.9	8.5	3.4	11.6	4.4	0-2.9	4.2	1.9	4.2	7-10.9	1.3	0-2.9	2.8
7-10.9	3.2	1.3	5.5	2.1	3-4.9	2.7	1.3	1.7	11-18.9	1.1	3-6.9	1.9
11-12.9	2.7	1.0	4.2	1.6	5-6.9	2.0	1.1	1.2	19-25.9	.6	7 & Up	1.5
13-18.9	2.4	.9	3.9	1.5	7-10.9	1.6	.8	.7	R-VALUE	BLOCK	8 INCH	
19-25.9	1.6	.6	3.4	1.3	11-18.9	1.0	.6	.3	0-2.9	2.3	R-VALUE	EXT
26 & Up	1.0	.3	1.9	.7	19-25.9	.5	.3		3-6.9	1.6	0-2.9	1.9
					26 & Up	.3	.2		7-9.9	.9	3-6.9	1.4
									10 & Up	.7	7 & Up	1.2

6A-3 DOOR SUMMER POINT MULTIPLIERS (SPM)

DOOR TYPE	EXTERIOR	ADJACENT
WOOD	9.4	3.8
INSULATED	6.4	2.6

6A-4 CEILING SUMMER POINT MULTIPLIERS (SPM)

UNDER ATTIC		SINGLE ASSEMBLY		CONCRETE DECK ROOF		
R-VALUE	SPM	R-VALUE	SPM	CEILING TYPE		
19-21.9	1.5	10-10.9	4.0	R-VALUE	DROPPED	EXPOSED
22-25.9	1.3	11-12.9	3.6	10-13.9	4.1	4.6
26-29.9	1.0	13-18.9	3.3	14-20.9	2.9	3.1
30-37.9	.8	19-25.9	2.5	21 & Up	1.9	2.0
38 & Up	.6	26-29.9	1.6			
		30 & Up	1.2			

6A-5 FLOOR SUMMER POINT MULTIPLIERS (SPM)

SLAB-ON-GRADE EDGE INSULATION		RAISED CONCRETE		RAISED WOOD ²			
R-VALUE	SPM	R-VALUE	SPM	POST OR PIER CONSTRUCTION		STEM WALL w/ UNDER FLOOR INSULATION	ADJACENT
R-VALUE	SPM	R-VALUE	SPM	R-VALUE	SPM	SPM	SPM
0-2.9	-20.0	0-2.9	.8	0-6.9	2.4	-4.2	3.4
3-4.9	-17.4	3-4.9	-3	7-10.9	-3	-9	1.3
5-6.9	-16.6	5-6.9	-4	11-18.9	-3	-6	1.0
7 & Up	-16.0	7 & Up	-5	19 & Up	-3	-4	.6

6A-6 INFILTRATION SUMMER POINT MULTIPLIERS (SPM)

INFILTRATION PRACTICE (SEE TABLE 6A-21)	SPM
PRACTICE #1	18.6
PRACTICE #2	14.7
PRACTICE #3	10.1

6A-7 DUCT MULTIPLIERS (DM)

	R-VALUE	RETURN DUCTS IN UNCONDITIONED SPACE	RETURN DUCTS IN CONDITIONED SPACE
		SUPPLY DUCTS IN UNCONDITIONED SPACE ³	4.2-5.9
	6.0-6.6	1.10	1.07
	6.7 & Up	1.09	1.06
SUPPLY DUCTS IN CONDITIONED SPACE ³	4.2-5.9	1.10	1.00
	6.0-6.6	1.07	1.00
	6.7 & Up	1.06	1.00

6A-8 COOLING SYSTEM MULTIPLIERS (CSM)

SYSTEM TYPE		COOLING SYSTEM MULTIPLIERS (CSM)										
Central Units (SEER)	Rating		7.5-7.9	8.0-8.4	8.5-8.8	8.9-9.4	9.5-9.9	10.0-10.4	10.5-10.9	11.0-11.4	11.5-11.9	12.0-12.4
	CSM		.45	.43	.40	.38	.36	.34	.32	.31	.30	.28
PTAC & Room Units (EER)	Rating	12.5-12.9	13.0-13.4	13.5-13.9	14.0-14.4	14.5-14.9	15.0-15.4	15.5-15.9	16.0-16.4	16.5-16.9	17.0-17.4	17.5 & Up
	CSM	.27	.26	.25	.24	.24	.23	.22	.21	.21	.20	.19

MINIMUMS: CENTRAL UNITS-AIR COOLED SPLIT SYSTEM 10.0 SEER, SINGLE PKG. 9.7 SEER, GROUND WATER HEAT PUMP 11.0 EER. PTAC-SEE TABLE 6-2.

6A-9 HOT WATER MULTIPLIERS (HWM)

SYSTEM TYPE		HOT WATER MULTIPLIERS (HWM)										
Electric Resistance	EF				.80-.81	.82-.83	.84-.85	.86-.87	.88-.90	.91-.93	.94-.96	.97 & Up
	HWM				3650	3561	3476	3395	3318	3208	3106	3010
Natural Gas	EF	43-47	48-49	50-51	52-53	54-55	56-57	58-59	60-61	62-63	64-65	66 & Up
	HWM	2602	2331	2238	2151	2072	1998	1929	1865	1804	1748	1695
LP Gas	HWM	3295	2951	2833	2724	2624	2530	2443	2361	2285	2214	2147

¹ FOR MULTIPLIERS FOR OTHER TYPES OF CONCRETE BLOCK CONSTRUCTION SEE SECTION 2.1 OF APPENDIX C. ² MULTIPLIERS FOR OTHER TYPES OF RAISED WOOD ASSEMBLIES SEE SECTION 3.1 OF APPENDIX C. ³ DUCTS IN CONDITIONED SPACE NEED TO BE INSULATED ONLY TO THE R-VALUE NECESSARY TO PREVENT CONDENSATION.

ADDITIONAL TABLES

CLIMATE ZONES 7, 8, 9

6A-18 HEATING CREDIT MULTIPLIERS (HCM)

SYSTEM TYPE		HEATING CREDIT MULTIPLIERS (HCM)					
Attic Radiant Barrier	HCM	.98					
Multizone	HCM	.95					
Natural Gas	AFUE	68-72	73-77	78-82	83-87	88-92	93 & Up
	HCM	.56	.52	.49	.46	.44	.41
L.P. Gas	HCM	.71	.66	.62	.58	.55	.52

6A-19 COOLING CREDIT MULTIPLIERS (CCM)

SYSTEM TYPE	COOLING CREDIT MULTIPLIERS (CCM)	
Ceiling Fans	.86*	*Credit may be taken for only one of these system types concurrently.
Cross Ventilation	.95*	
Whole House Fan	.95*	
Multizone	.95	
Attic Radiant Barrier	.95	

6A-20 HOT WATER CREDIT MULTIPLIERS (HWCM)

SYSTEM TYPE		HOT WATER CREDIT MULTIPLIERS (HWCM)			
Heat Recovery Unit	With	Air Conditioner		Heat Pump	
	HWCM	.62		.58	
Dedicated Heat Pump	EF	2.0-2.49	2.5-2.99	3.0-3.49	3.5 & Up
	HWCM	.44	.35	.29	.25
Solar	EF	1.0-1.9	2.0-2.9	3.0-3.9	4.0-4.9
	HWCM	.84	.42	.28	.21

A HWCM MUST BE USED IN CONJUNCTION WITH ALL HWCM. SEE TABLE 6A-9. EF MEANS ENERGY FACTOR.

6A-21 INFILTRATION REDUCTION PRACTICE COMPLIANCE CHECKLIST (SEE SECTION 606)

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
PRACTICE #1	606.1	COMPLY WITH ALL INFILTRATION-PRESCRIPTIVES.	
Windows		Maximum of 0.34 CFM per linear foot of operable sash crack (includes sliding glass doors).	
Exterior & Adjacent Doors		Maximum of 0.5 CFM per sq. ft. of door area; solid core, wood panel, insulated or glass doors only.	
Exterior Joints & Cracks		To be caulked, gasketed, weatherstripped or otherwise sealed.	
PRACTICE #2	606.1	COMPLY WITH #1 AND THE FOLLOWING:	
Exterior Walls and Floors		Top plate penetrations sealed. Infiltration barrier installed. Sole plate/floor joint caulked or sealed.	
Exterior Walls & Ceilings		Penetrations, joints and cracks on interior surface caulked, sealed or gasketed.	
Ductwork		Ductwork in unconditioned space must be sealed.	
Fireplaces		Equipped with outside combustion air, doors, and flue dampers.	
Exhaust Fans		Equipped with dampers. Combustion devices see 606.1.A.2	
PRACTICE #3	606.1	COMPLY WITH PRACTICES #1 AND #2 AND THE FOLLOWING:	
Ceilings		Infiltration barrier installed.	
Interior Walls		Top penetrations sealed or joints & cracks on interior walls caulked, sealed or gasketed.	
Recessed Lights		Sealed from conditioned & insulated from ventilated attic spaces.	
Ductwork		All ductwork located in conditioned space.	
Combustion Appliances		Be in unconditioned space (except direct vent); draw air from unconditioned space, exhaust by-products to outside. Combustion cooking appliances see Section 606.1.A.3.	

6A-22. OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 6-11. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower Heads	612.1	Water flow must be restricted to no more than 3 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics must be insulated to a minimum of R-6. Air handlers shall not be installed in attics unless in mechanical closet.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings—Min. R-19. Common walls—Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	



STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

pmj

STUBOUT ELEVATION AND EXCAVATION CERTIFICATION

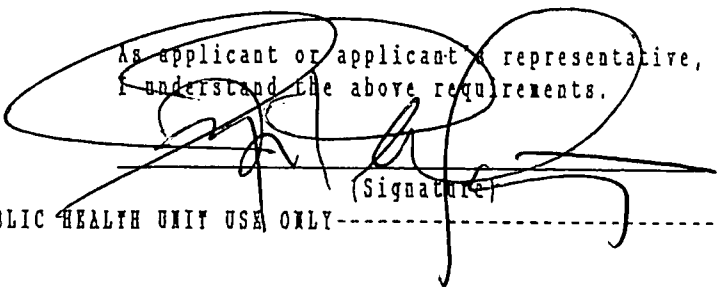
APPLICANT: Frederic M. Ayres. SEPTIC TANK PERMIT NO. HD94-52
LEGAL DESCRIPTION: Lots 10 and 25 Heritage Place

The items which are checked off below must be certified by a surveyor or engineer and returned to the Martin County Health Unit prior to the first plumbing inspection by the Building Department. Approval of this stubout elevation certification constitutes commencement of building construction for septic system permits.

- 1. Building Permit Number: _____ (Certification not required for this item).
- 2. I certify that the elevation of the top of the lowest plumbing stubout is _____ inches (circle one) above / below benchmark elevation as indicated on septic tank permit.
- 3. I certify that the top of the lowest building plumbing stubout is _____ inches (circle one) above/ below crown of road elevation shown on septic tank permit.
- 4. I certify that the top of the drainfield pipe elevation is _____.
- 5. I certify that all severely limited soil has been removed from an area of _____ feet by _____ feet a minimum depth of six(6) feet below top of required stubout elevation. Surveyor must submit 2 plot plans to scale of excavated area. (See diagram ___A/ ___B on reverse side) Date Observed: ___/___/___
- 6. I certify that all moderately and severely limited soils have been removed in an area _____ feet wide or 33% of the area of the drainfield. This area is centered in the drainfield and extends to a depth of _____ feet where slightly limited soils exist. Surveyor must submit 2 plot plans to scale of excavated area. (See diagram B on reverse side) Date Observed: ___/___/___
- 7. I certify that all severely limited soils have been removed from an area one foot beyond the perimeter of the drainfield rock and the excavation meets all detail requirements as shown in _____ 'Diagram A', or _____ 'Diagram B' on reverse side. Surveyor must submit 2 plot plans to scale of excavated area. Date Observed: ___/___/___

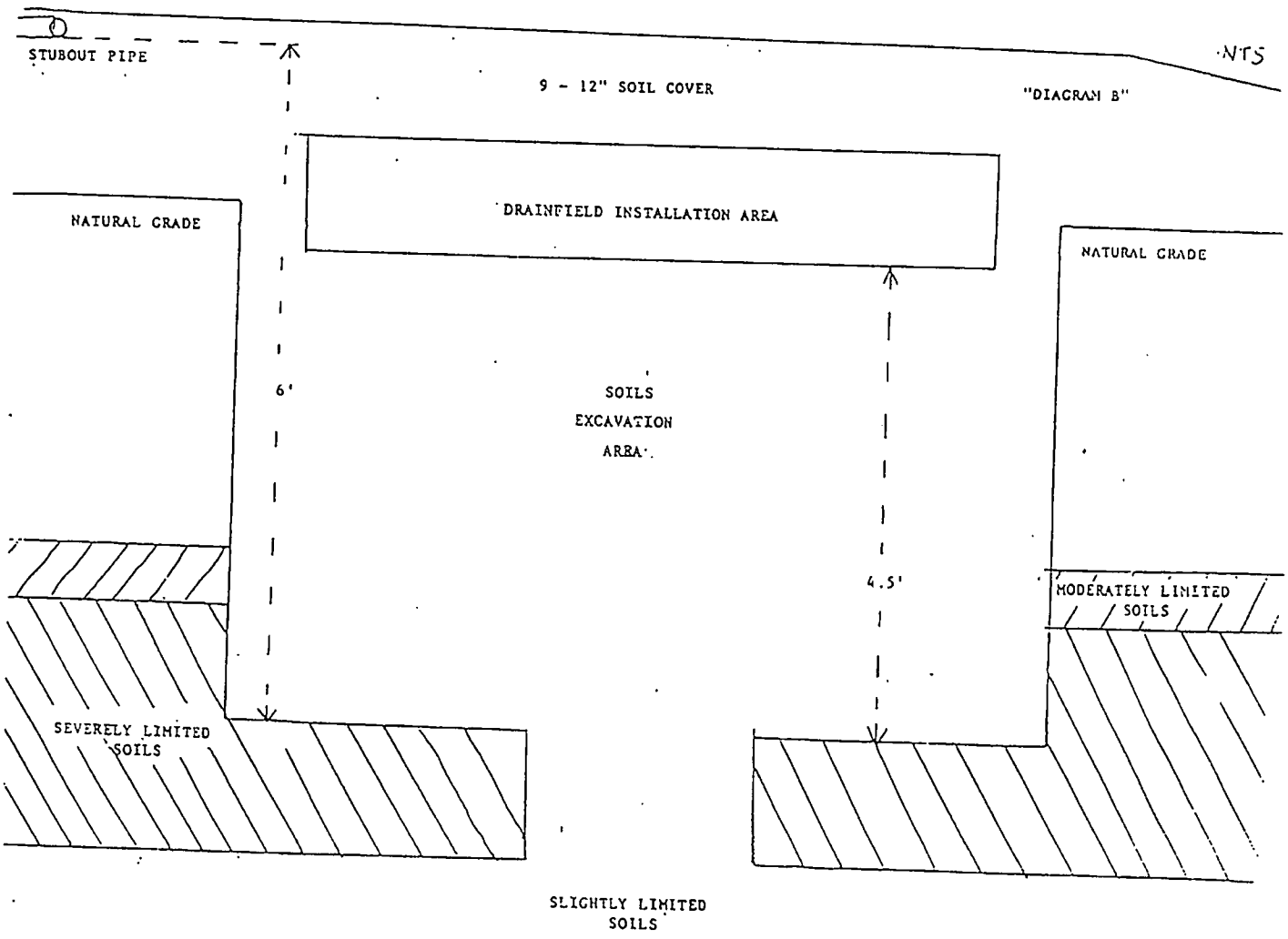
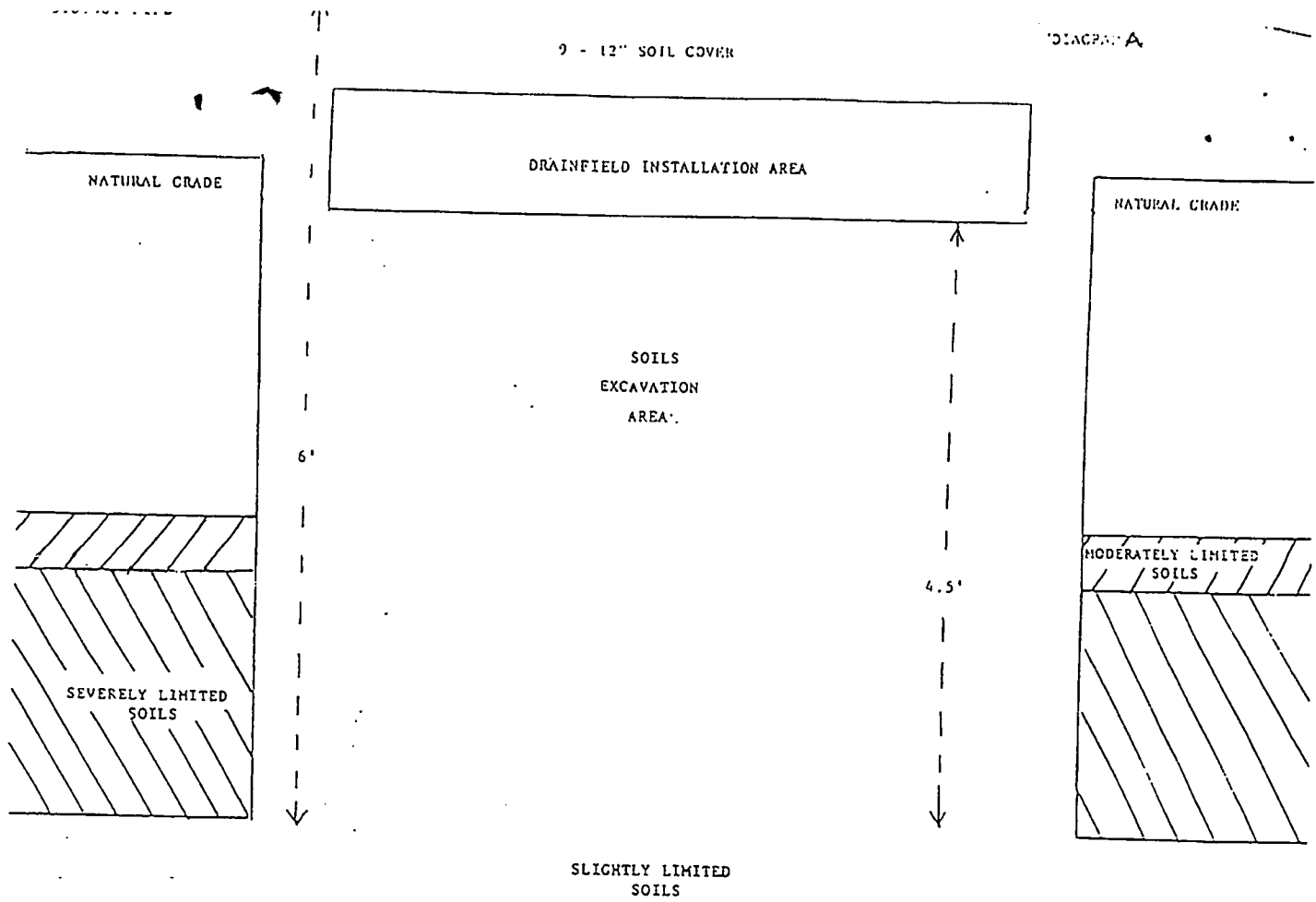
NOTE: a. Severely limited soil includes but is not limited to hardpan, clay, silt, marl or rock.
b. Drainfield must be centered in the excavated area. Drainfield will not be approved if severe limited soils are not removed.
c. Condition numbers 5, 6 and 7 may be satisfied with excavation certification from the certified septic installer responsible for drainfield installation.

CERTIFIED BY: _____
Date: _____ Job Number: _____

As applicant or applicant's representative,
I understand the above requirements.

(Signature)

-----FOR MARTIN COUNTY PUBLIC HEALTH UNIT USE ONLY-----

Martin County Health Unit Approval Signature (Date)





STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES
ONSITE SEWAGE DISPOSAL SYSTEM
CONSTRUCTION PERMIT

PERMIT # HD94-52
DATE PAID _____
FEE PAID \$ _____
RECEIPT # _____
Building Permit# _____

HD94-52
PERMIT NO. / APPLICANT
Aynes

Authority: Chapter 381, FS & Chapter 10D-6, FAC
H.R.S. - MARTIN COUNTY PUBLIC HEALTH UNIT

CONSTRUCTION PERMIT FOR:

- New System Existing System Holding Tank Temporary/Experimental
 Repair Abandonment Other (Specify) _____

APPLICANT: Frederic M. Aynes AGENT: _____

PROPERTY STREET ADDRESS: S. River Road

LOT: 10#25 BLOCK: — SUBDIVISION: Heritage Place

PROPERTY ID #: _____ [SECTION/TOWNSHIP/RANGE/PARCEL NUMBER]
[OR TAX ID NUMBER]

=====

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF CHAPTER 10D-6, FAC REPAIR PERMITS AND HOLDING TANK PERMITS EXPIRE 90 DAYS FROM THE DATE OF ISSUE. ALL OTHER PERMITS EXPIRE ONE YEAR FROM THE DATE OF ISSUE. HRS APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID.

=====

~~SEPTIC TANK IS REQUIRED TO BE AT~~
**FINISHED SOIL GRADE, DO NOT EXCEED
18 INCHES OF COVER OVER DRAINFIELD ROCK.**

SYSTEM DESIGN AND SPECIFICATIONS

T [200] [GALLONS / ~~GPD~~] SEPTIC TANK/AEROBIC UNIT CAPACITY MULTI-CHAMBERED/IN-SERIES:
A [—] [GALLONS / GPD] _____ CAPACITY MULTI-CHAMBERED/IN SERIES:
N [—] GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK: 1250 GALLONS]
K [—] GALLONS PER DOSE DOSING TANK CAPACITY DOSE RATE PER 24 HRS NO. OF PUMPS:

D [857] SQUARE FEET PRIMARY DRAINFIELD SYSTEM 5 Trenches x 5'8" L
R [—] SQUARE FEET _____ SYSTEM
A TYPE SYSTEM: STANDARD FILLED MOUND _____
I CONFIGURATION: TRENCH BED _____

N NOTE: If trenches are used, each trench must be ~~2ft~~ 3ft wide w/ 2ft between each trench.
F LOCATION OF BENCHMARK/ Fixed Point of Reference: 26.66' NGVD

I ELEVATION OF PROPOSED SYSTEM SITE [22.9] [INCHES/FT] [ABOVE/BELOW] BENCHMARK/REFERENCE POINT
E BOTTOM OF DRAINFIELD TO BE [47] [INCHES/FT] [ABOVE/BELOW] BENCHMARK/REFERENCE POINT
L

D FILL REQUIRED: [NA] INCHES EXCAVATION REQUIRED: [NA] INCHES
-Drainfield rock must be 5 ft. from property lines. Excavation must be a minimum of
O One/ Three ft. beyond drainfield installation area ftW x ftL x ftD
T -Top of building stubout is required to be a minimum elv. of 27" BELOW BM 26.66' NGVD
H -Top of drainfield pipe is required to be a minimum elv. of 37" BELOW BM " "
E -Top of septic tank is required to be a minimum elv. of 23" BELOW BM " "
R

** SEE ATTACHED SPECIAL CONDITIONS FORM **

SPECIFICATIONS BY: _____ TITLE: _____

APPROVED BY: [Signature] TITLE: E. S. I [Signature] CPHU

DATE ISSUED: 03-11-94 Variance Y (10) EXPIRATION DATE: 03-11-95

(NA) (Includes Variance Expiration)



SEPTIC TANK SYSTEM SPECIAL CONDITIONS LIST

APPLICATION NAME: Ayres PERMIT NO. (HD) 94-52
SUBDIVISION: _____

N O T E Special Condition(s) marked "X" are in effect.

- 1. Drainfield must be maintained under grass; ___ and protected from vehicular traffic (traffic barriers).
- 2. Operational test of dosing pump(s) and high water alarm (audible / visual) required prior to final construction appr.
- 3. Driveway / sidewalk elevation must be 9" higher than drainfield pipe elevation.
- 4. Septic system must be 75' from surface water / wetlands / mean high water line.
- 5. Excavate one / three feet beyond drainfield area to a depth of 4.5' below drainfield rock.
- 6. In addition to item #5, 33% of unsuitable soils at depths greater than 4.5' below the bottom of the drainfield must be removed to a depth of slightly limited soils.
- 7. Existing well(s) must be properly abandoned by a certified well driller. The attached well abandonment form(s) must be completed by the well driller and submitted to this office prior to initial building construction or system installation.
- 8. Septic tank abandonment notices from the Septic Tank Contractor must be received by this office prior to final construction approval.
- 9. Mound area must be sodded or stabilized with seed and hay prior to final grade inspection.
- 10. Any future ponds or surface water created onsite must be 75' from septic system(s).
- 11. Available area for septic installation must to be evenly filled and leveled.
- SEE REVERSE SIDE FOR ADDITIONAL REQUIREMENTS.

SPECIAL CONDITION REQUIREMENTS

Page 2

12. Septic system must be a minimum of 15 feet from drainage culverts, dry retention areas, storm water drainage systems.
13. Occupational approval will not be given until all requirements for public water system/ foodservice/ institutional/ septic system are met.
-
14. Septic tank/ dosing chamber/ grease trap must have traffic lids with two manholes covers per tank extending to the surface.
15. _____ gallon outside grease trap(s) is required. The grease trap should be connected with the outlet tee extending to within 8" of the bottom of the tank. The following must be connected to the grease trap.
- a) handwash sink(s).
 - b) three compartment sink(s).
 - c) floor drains.
 - d) can wash, janitor's sink(s).
 - e) dishwasher if present.

All other greaseless flow should be connected directly to the septic tank.

16. _____ to be dosed two / six times in a twenty-four hour period is required. A high water alarm that gives audible and visual signals is required. If two drainfields are used, each field must be connected to an individual pump.
17. Two pumps are required to alternately dose into at least two separate fields.
18. No sprinklers, roof drainage or gutter drains are allowed to drain into drainfield rock area.
19. Water line must be ten feet from drainfield or; A. Double sleeved. B. Encased in concrete.
20. All wells installed onsite must be 25' or greater from the building foundation.
21. Other: No plumbing allowed in the Four Car Garage.
-
-

N O T E - \$25.00 REINSPECTION FEE WILL BE CHARGED IF REQUIREMENTS ARE NOT MET DURING INSPECTION.

Questions concerning special conditions can be answered by calling EUR at (407) 221-4090.



STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES
ONSITE SEWAGE DISPOSAL SYSTEM
SITE EVALUATION AND SYSTEM SPECIFICATIONS

PERMIT # HRS-452

APPLICANT: Alper AGENT: Spudif
LOT: 10+25 BLOCK: _____ SUBDIVISION: Heritag Place
PROPERTY ID #: _____ [Section/Township/Range/Parcel No. or Tax ID Number]

TO BE COMPLETED BY ENGINEER, HEALTH UNIT EMPLOYEE, OR OTHER QUALIFIED PERSON. ENGINEER'S MUST PROVIDE REGISTRATION NUMBER AND SIGN AND SEAL EACH PAGE OF SUBMITTAL. COMPLETE ALL ITEMS.

PROPERTY SIZE CONFORMS TO SITE PLAN: YES [] NO NET USABLE AREA AVAILABLE: _____ ACRES
TOTAL ESTIMATED SEWAGE FLOW: 1500 GALLONS PER DAY [RESIDENCES-TABLE 1 / OTHER-TABLE 2]
AUTHORIZED SEWAGE FLOW: 1500 GALLONS PER DAY [1500 GPD/ACRE OR 2500 GPD/ACRE]
UNOBSTRUCTED AREA AVAILABLE: 4200 SQFT UNOBSTRUCTED AREA REQUIRED: 2668 SQFT

BENCHMARK/REFERENCE POINT LOCATION: BM 20.66' Nail in tree
ELEVATION OF PROPOSED SYSTEM SITE IS 25 [INCHES/FT] [ABOVE/BELOW] BENCHMARK/REFERENCE POINT

THE MINIMUM SETBACK WHICH CAN BE MAINTAINED FROM THE PROPOSED SYSTEM TO THE FOLLOWING FEATURES:
SURFACE WATER: 140 FT DITCHES/SWALES: N/A FT NORMALLY WET? [] YES [] NO
WELLS: PUBLIC: N/A FT LIMITED USE: N/A FT PRIVATE: N/A FT NON-POTABLE: 90 FT
BUILDING FOUNDATIONS: 8 FT PROPERTY LINES: 23' 100' tree FT POTABLE WATER LINES: _____ FT

SITE SUBJECT TO FREQUENT FLOODING: [] YES NO 10 YEAR FLOODING? [] YES [] NO
10 YEAR FLOOD ELEVATION FOR SITE: N/A FT MSL/NGVD SITE ELEVATION: 24.75 FT MSL/NGVD

SOIL PROFILE INFORMATION SITE 1

Munsell #/Color	Texture	Depth
<u>10YR 5/1 gray</u>	<u>fine sand</u>	<u>0 to 24</u>
<u>10YR 7/1 light gray</u>	<u>fine sand</u>	<u>24 to 48</u>
<u>10YR 5/2 yellow</u>	<u>medium sand</u>	<u>48 to 72</u>
		to
		to
		to
		to
		to
		to
		to
USDA SOIL SERIES: <u>Paola #6</u>		

SOIL PROFILE INFORMATION SITE 2

Munsell #/Color	Texture	Depth
		to
		to
		to
		to
		to
		to
		to
		to
		to
		to
USDA SOIL SERIES: _____		

OBSERVED WATER TABLE: 772 INCHES [ABOVE / BELOW] EXISTING GRADE. TYPE: [PERCHED / APPARENT]
ESTIMATED WET SEASON WATER TABLE ELEVATION: 48 INCHES [ABOVE / BELOW] EXISTING GRADE.
HIGH WATER TABLE VEGETATION: [] YES NO MOTTLING: [] YES NO DEPTH: N/A INCHES
SOIL TEXTURE/LOADING RATE FOR SYSTEM SIZING: 1.75 DEPTH OF EXCAVATION: N/A INCHES
DRAINFIELD CONFIGURATION: [X] TRENCH [] BED [] OTHER (SPECIFY) _____
REMARKS/ADDITIONAL CRITERIA: _____

SITE EVALUATED BY: Janet Doremus DATE: 2-25-94

** SITE EVALUATION FIELD NOTES **

1. WET SEASON (SEASONAL HIGH) WATER TABLE PER USDA SOIL SURVEY 72 in.
(Below / ~~Above~~ - Ground surface.)

2. ESTIMATED SEASONAL HIGH WATER TABLE FROM FIELD VISIT 72 in.
(Below / ~~Above~~ - Ground surface.)

3. JUSTIFICATION FOR ESTIMATED SEASONAL HIGH WATER TABLE (IF NOT CONSISTENT WITH USDA MARTIN COUNTY SOIL SURVEY):
N/A

4. FIELD NOTES (EXPLAIN UNIQUE CONDITIONS FOUND AT SITE): N/A

5. IS THE SITE PLAN ACCURATE? Y N , IF NO, EXPLAIN _____

6. NATIVE VEGETATION PRESENT N/A

7. OTHER COMMENTS N/A



STATE OF FLORIDA
 DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES
 ONSITE SEWAGE DISPOSAL SYSTEM
 APPLICATION FOR CONSTRUCTION PERMIT
 Authority: Chapter 381, FS & Chapter 10D-6, FAC

PERMIT # HD94-59
 DATE PAID 2-22-94
 FEE PAID \$ 195
 RECEIPT # 11683

HD94-59

APPLICATION FOR:
 New System [] Existing System [] Holding Tank [] Temporary/Experimental
 Repair [] Abandonment [] Other (Specify) _____

APPLICANT: Frederic M. Ayres TELEPHONE: 334-2302 work
334-1346

AGENT: Arthur Speedy, P.L.S.; P.O. Box 92; Stuart, FL 34995

MAILING ADDRESS: P.O. Box 2803; Jensen Beach, FL 34958

===== TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. ATTACH BUILDING PLAN AND TO-SCALE SITE PLAN SHOWING PERTINENT FEATURES REQUIRED BY CHAPTER 10D-6, FLORIDA ADMINISTRATIVE CODE. =====

===== PROPERTY INFORMATION [IF LOT IS NOT IN A RECORDED SUBDIVISION, ATTACH LEGAL DESCRIPTION OR DEED] =====

LOTS 10 & 25 BLOCK: SUBDIVISION: HERITAGE PLACE DATE OF 9-24-1985
 SUBDIVISION: _____

PROPERTY ID #: _____ [Section/Township/Range/Parcel No.] ZONING: _____

PROPERTY SIZE: 2.9 ACRES [Sqft/43560] PROPERTY WATER SUPPLY: [] PRIVATE PUBLIC

PROPERTY STREET ADDRESS: XXX S. River Road; Sewall's Point

DIRECTIONS TO PROPERTY: SEE ATTACHED SITE LOCATION MAP

BUILDING INFORMATION RESIDENTIAL [] COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	# Persons Served	Business Activity For Commercial Only
1	SINGLE FAMILY RESIDENCE	6	5940	—	
2	GUEST HOUSE	2	1540	—	
3					
4					

Garbage Grinders/Disposals Spas/Hot Tubs [] Floor/Equipment Drains
 Ultra-low Volume Flush Toilets [] Other (Specify) _____

APPLICANT'S SIGNATURE: Arthur Speedy for Fred Ayres DATE: 2-23-94



STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

APPLICANT Frederic M. Ayres

LEGAL DESCRIPTION Lots 10 & 25
HERITAGE PLACE

-----SITE INFORMATION-----

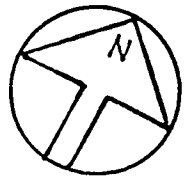
1. IS THERE A SEPTIC SYSTEM OR OTHER INTERFERENCE WITHIN 75 FEET OF THE PROPOSED PRIVATE WELL? NO
2. IS THERE A POTABLE PRIVATE WELL WITHIN 75 FEET OF THE PROPOSED AVAILABLE AREA FOR THE PROPOSED SEPTIC SYSTEM? NO
3. IS THERE AN IRRIGATION WELL WITHIN 50 FEET OF THE AVAILABLE AREA FOR THE PROPOSED SEPTIC SYSTEM? NO
4. IS THERE A PUBLIC WELL THAT SERVES LESS THAN 25 PEOPLE OR LESS THAN 15 HOMES WITHIN 100 FEET OF THE PROPOSED SEPTIC SYSTEM? NO
5. IS THERE A PUBLIC WELL WHICH SERVES MORE THAN 25 PEOPLE OR MORE THAN 15 HOMES WITHIN 200 FEET OF THE PROPOSED SEPTIC SYSTEM? NO
6. IS THERE A GRAVITY SEWER LINE OR LIFT STATION WITHIN 100 FEET OF THE PROPOSED LOT? NO
7. IS THERE A LAKE, STREAM, WETLAND, OR SURFACE WATER WITHIN 75 FEET OF THE PROPOSED AVAILABLE AREA FOR THE PROPOSED SEPTIC SYSTEM? NO
8. IS THERE A PROPOSED OR EXISTING PUBLIC DRINKING WATER LINE WITHIN 10 FEET OF THE PROPOSED SEPTIC SYSTEM? NO
9. IS THERE A STORM WATER RETENTION AREA OR DRAINAGE EASEMENT WITHIN 15 FEET OF THE PROPOSED SEPTIC SYSTEM? NO
10. IS THE SEPTIC SYSTEM IN AN AREA PROPOSED FOR PAVING OR VEHICULAR TRAFFIC? NO
11. ARE ALL PRIVATE WELLS, SEPTIC SYSTEMS AND SURFACE WATER ON ADJACENT OR CONTIGUOUS LAND WITHIN 75 FEET OF THE APPLICANT'S LOT, IF PRESENT, SHOWN ON PLOT PLAN? YES
12. ARE ALL PUBLIC WELLS WITHIN 200 FEET OF THE APPLICANT'S LOT, IF PRESENT, SHOWN ON PLOT PLAN? YES
13. DOES THE PLOT PLAN INCLUDE A PLAT OF THE LOT OR TOTAL SITE OWNERSHIP DRAWN TO SCALE, BOUNDARIES WITH DIMENSIONS, LOCATIONS OF BUILDING OR RESIDENCES, SWIMMING POOLS, RECORDED EASEMENTS, THE PROPOSED SEPTIC SYSTEM, ANY PROPOSED OR EXISTING WELLS, PUBLIC WATER LINES, PAVED AREAS OR DRIVEWAYS, AND SURFACE WATERS SUCH AS LAKES, PONDS, STREAMS, CANALS, OR WETLANDS? YES
14. THERE IS 4200+ SQUARE FEET OF AVAILABLE LAND TO INSTALL THE SEPTIC SYSTEM. THIS AREA EXCLUDES INTERFERENCES. SHADE THIS AVAILABLE AREA ON PLOT PLAN.

-----ELEVATIONS-----

1. CROWN OF ROAD ELEVATION _____ NCVD SHOW LOCATION ON PLOT PLAN. IF ROAD IS NOT PAVED, BENCHMARK ELEVATION 26.66 NCVD SHOW LOCATION ON PLOT PLAN.
2. NATURAL GRADE ELEVATION IN AREA OF PROPOSED SEPTIC SYSTEM 24.75 NCVD SHOW LOCATION ON PLOT PLAN.
3. IS BUILDING LOCATED IN FLOOD HAZARD AREA "A" OR "V" AS IDENTIFIED ON FEMA MAPS? NO IF YES, WHAT IS THE MINIMUM REQUIRED FLOOD HAZARD FLOOR ELEVATION OF BUILDING? _____ NCVD.

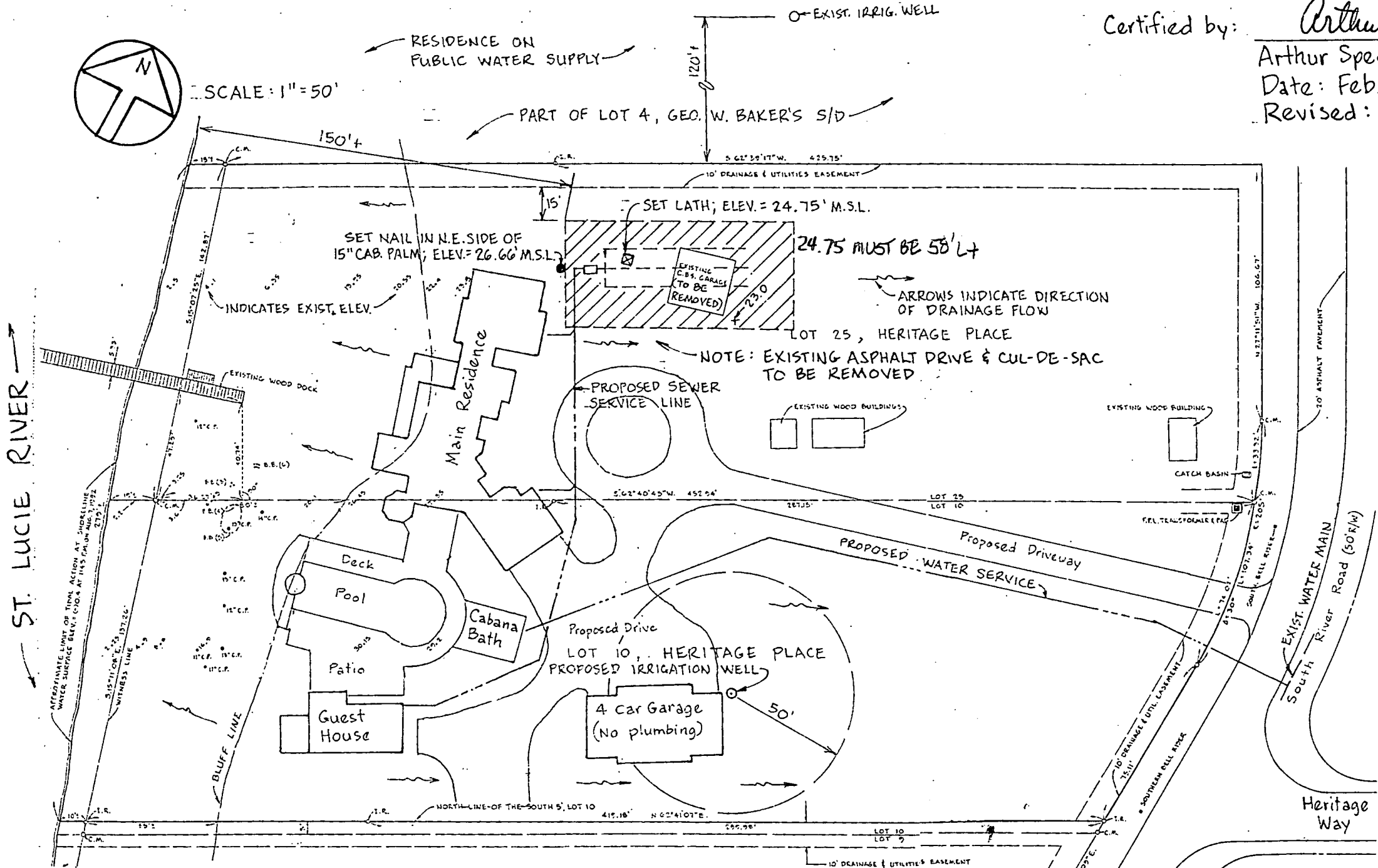
NOTE: MUST BE CERTIFIED BY A FLORIDA REGISTERED SURVEYOR OR ENGINEER.

CERTIFIED BY: Arthur J. Jedy
FL. PROFESSIONAL NO. 3343 R.L.S.
DATE: 2-23-94 JOB NO. _____



SCALE: 1" = 50'

Certified by: Arthur Speedy
Arthur Speedy, P.E.S., Fla. Cert. No. 3343
Date: Feb. 23, 1994
Revised: March 7, 1994



NOTE:
- THE GENERAL SLOPE OF THE PROPERTY, RECORDED EASEMENTS FROM THE RECORD PLAT,
FILLED AREAS AND DRAINAGE FEATURES ARE AS SHOWN

Site plan for Septic System Permit
Lots 10 & 25, HERITAGE PLACE
Sewall's Point for Fred Ayres

Plan Approved Not Approved Date 03-11-94
By Arthur Speedy #DSY-52
Martin County Public Health Unit
This must be approved by the County Public Health Unit

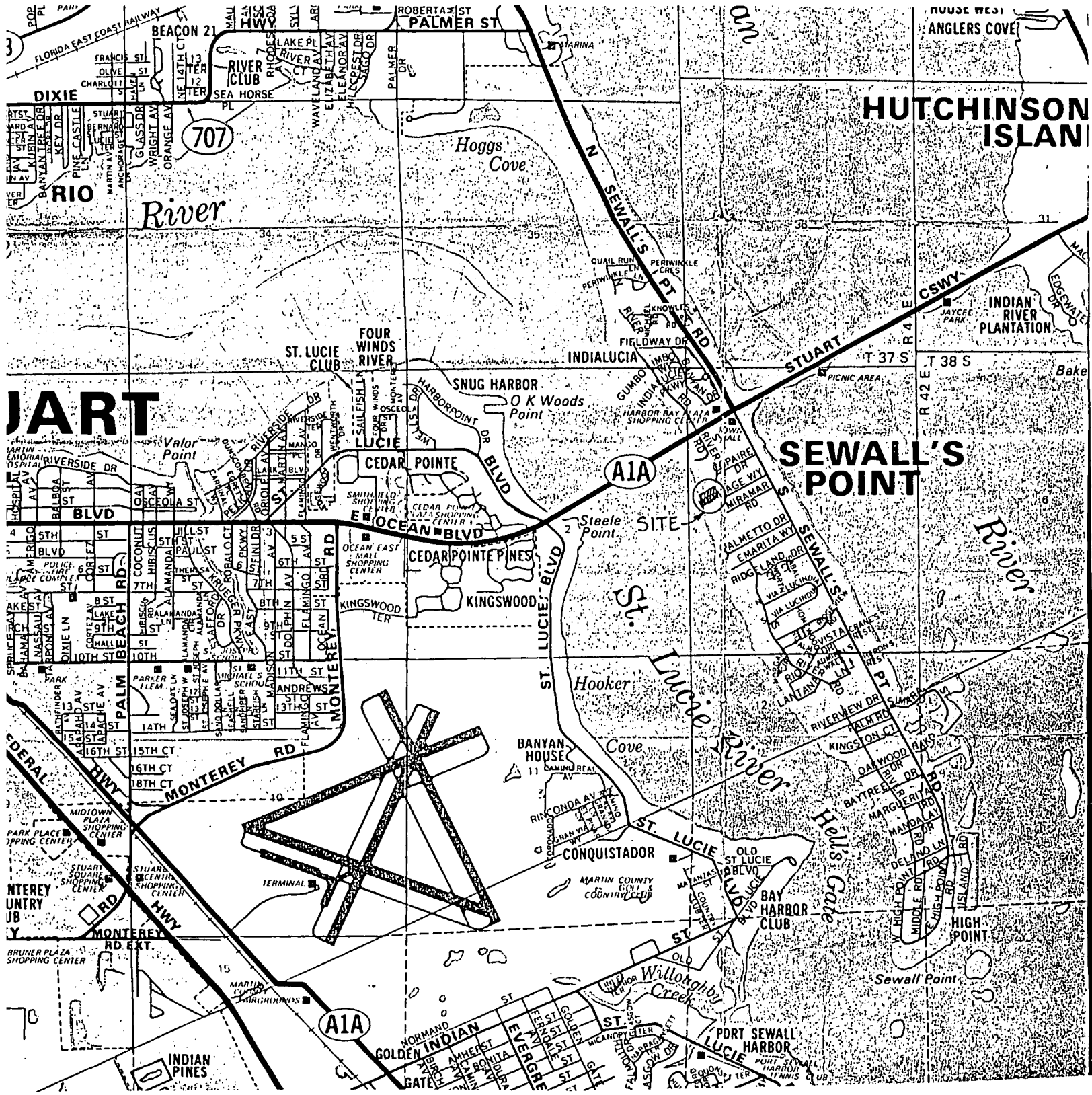


STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

APPLICANT: Frederic M. Ayres PERMIT NO.: HD

LEGAL DESCRIPTION: Lots 10 & 25, HERITAGE PLACE; Sewall's Point

SITE LOCATION MAP OR WRITTEN DETAILED DIRECTIONS TO SITE



FOR OFFICE USE ONLY

SITE SPECIFICATIONS:
 PROPERTY ADDRESS: _____ CITY: _____
 NEW SYSTEM: _____ EXISTING SYSTEM UPGRADE: _____ REPAIR: _____ OTHER: _____
 DAILY COMMERCIAL SEWAGE FLOW: _____ G.P.D. DAILY TOTAL OTHER: _____
 DESCRIBE HOW FLOW WAS DETERMINED: _____
 RESIDENTIAL FLOWS; NO. BEDROOMS _____ NO. OF UNITS _____ G.P.D. _____

MARTIN COUNTY PUBLIC HEALTH UNIT
612 S. DIXIE HWY. • STUART, FL 34994

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BY V. J. GERLEY

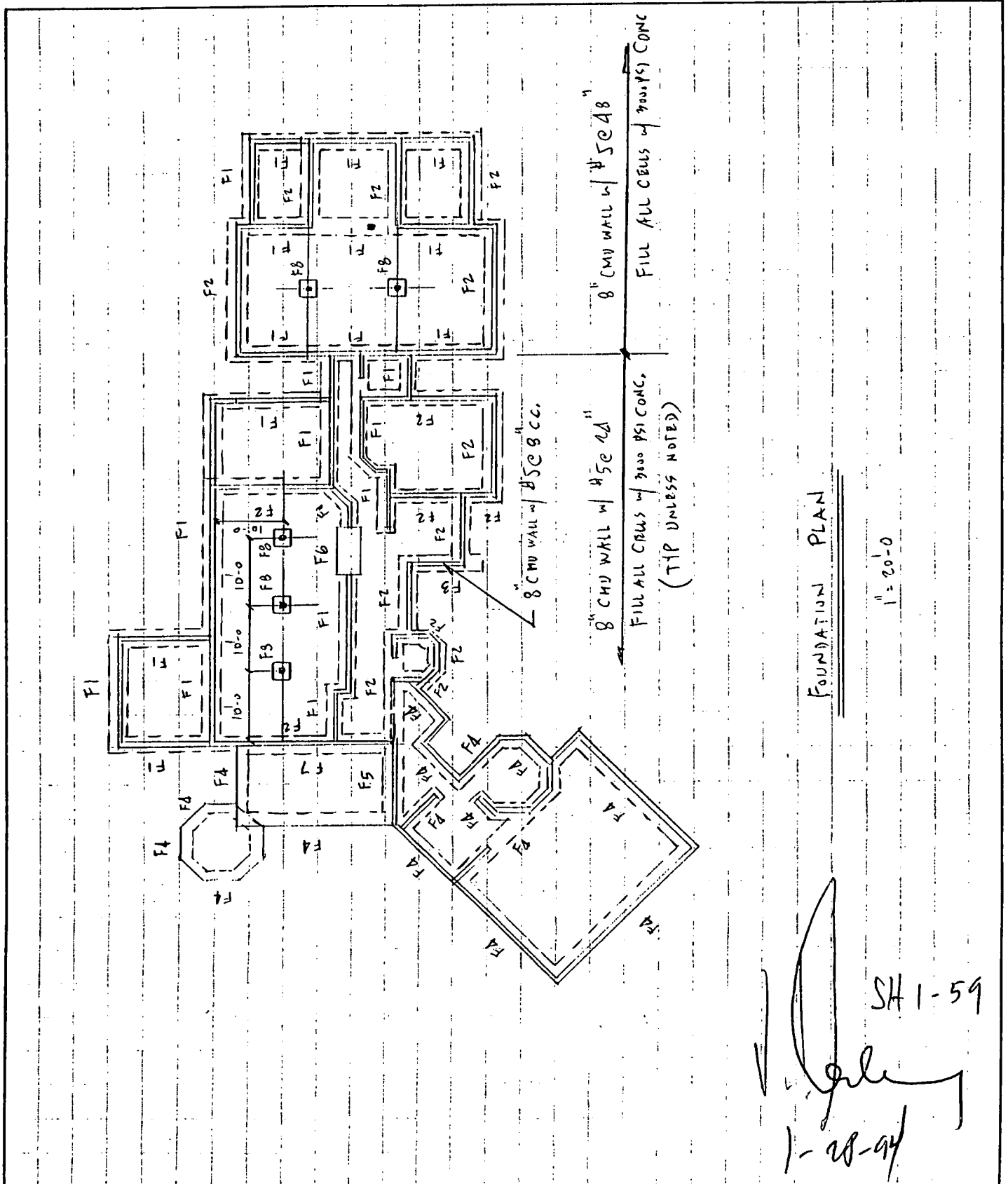
DATE 1-28-94

SHEET 1 OF 59

PROJECT

AYRES RESIDENCE

SUBJECT



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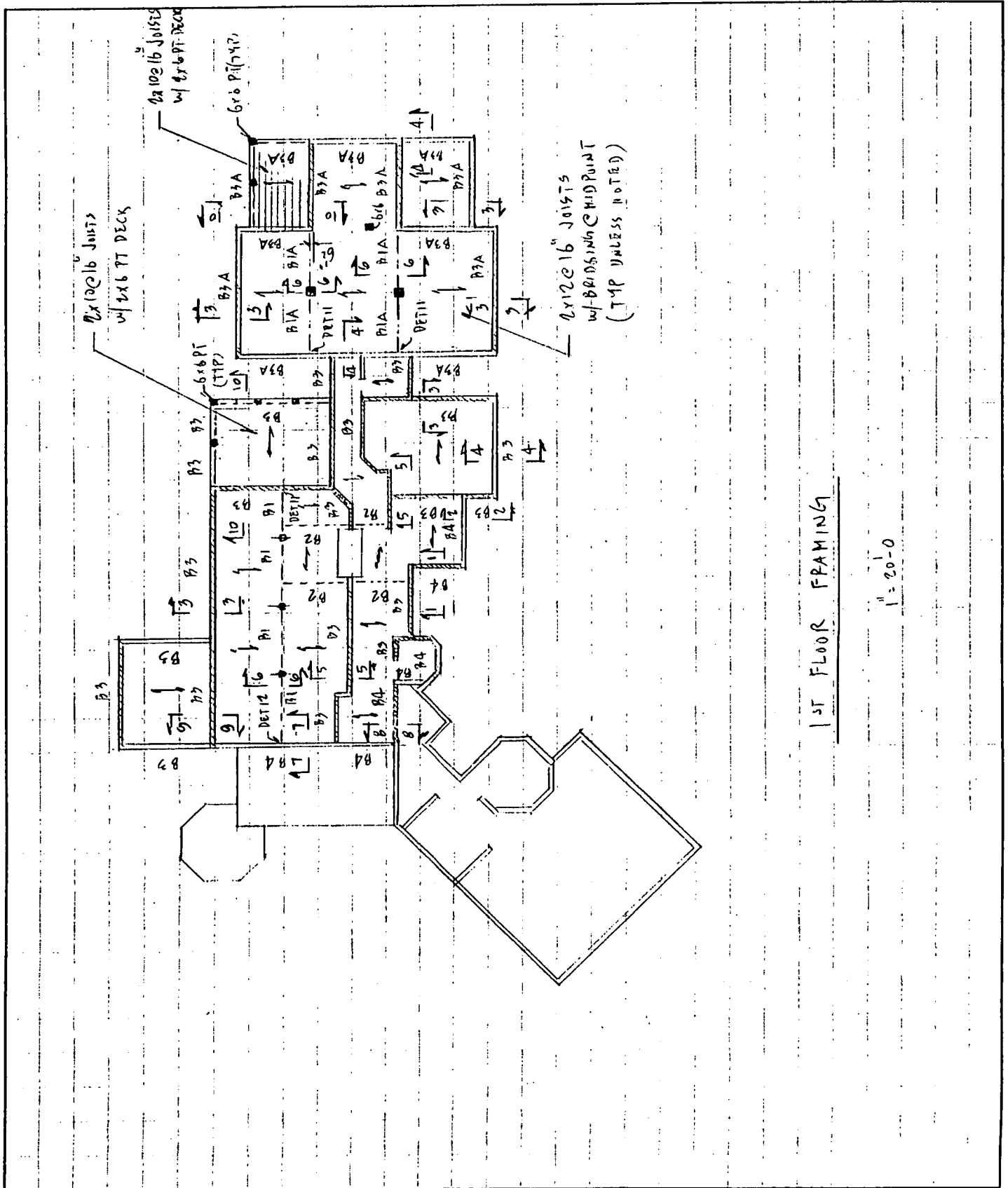
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SHEET 3 OF

PROJECT AYRES RESIDENCE

SUBJECT 1ST FLOOR FRAMING



1ST FLOOR FRAMING

1" = 20'-0"

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SHEET 5 OF

PROJECT AYRES RESIDENCE

SUBJECT

BEAM SCHEDULE

MARK	SIZE	REINF	STIRRUPS	T/RL
B1	3-2x12 PT	-	-	28'-5 1/4"
B1A	3-2x12 PT	-	-	26'-5 1/4"
B2	2-2x12 PT	-	-	28'-5 1/4"
B2A	2-2x12 PT	-	-	26'-5 1/4"
B3	8x12	2 ^d STAB	#3 @ 24"	27'-2 3/4"
B3A	8x12	"	"	25'-2 3/4"
B4	8x14 1/2"	"	"	18'-5 1/4"
2B1	3-1 3/4 x 16 HLAM	-	-	
2B2	"			
2B3	2-1 3/4 x 16 HLAM			
2B4	3-2x10 w/ 1/2" FIBERS			
2B5	2-1 3/4 x 16 HLAM			
2B6	3-1 3/4 x 16 HLAM			
2B7	4-1 3/4 x 16 HLAM			
2B8	3-2x12 w/ 1/2" FIBERS			
2B9	6x10 PT			
2B10	4-1 3/4 x 16 HLAM			
2B11	3-1 3/4 x 16 HLAM			
2B12	4-1 3/4 x 16 HLAM			
2B13				
R01	6 3/4 x 16 1/2 GLAM			
R02	3-2x10 w/ 1/2" FIBERS			
R03	6x12 PT			
R04	6x10 PT			

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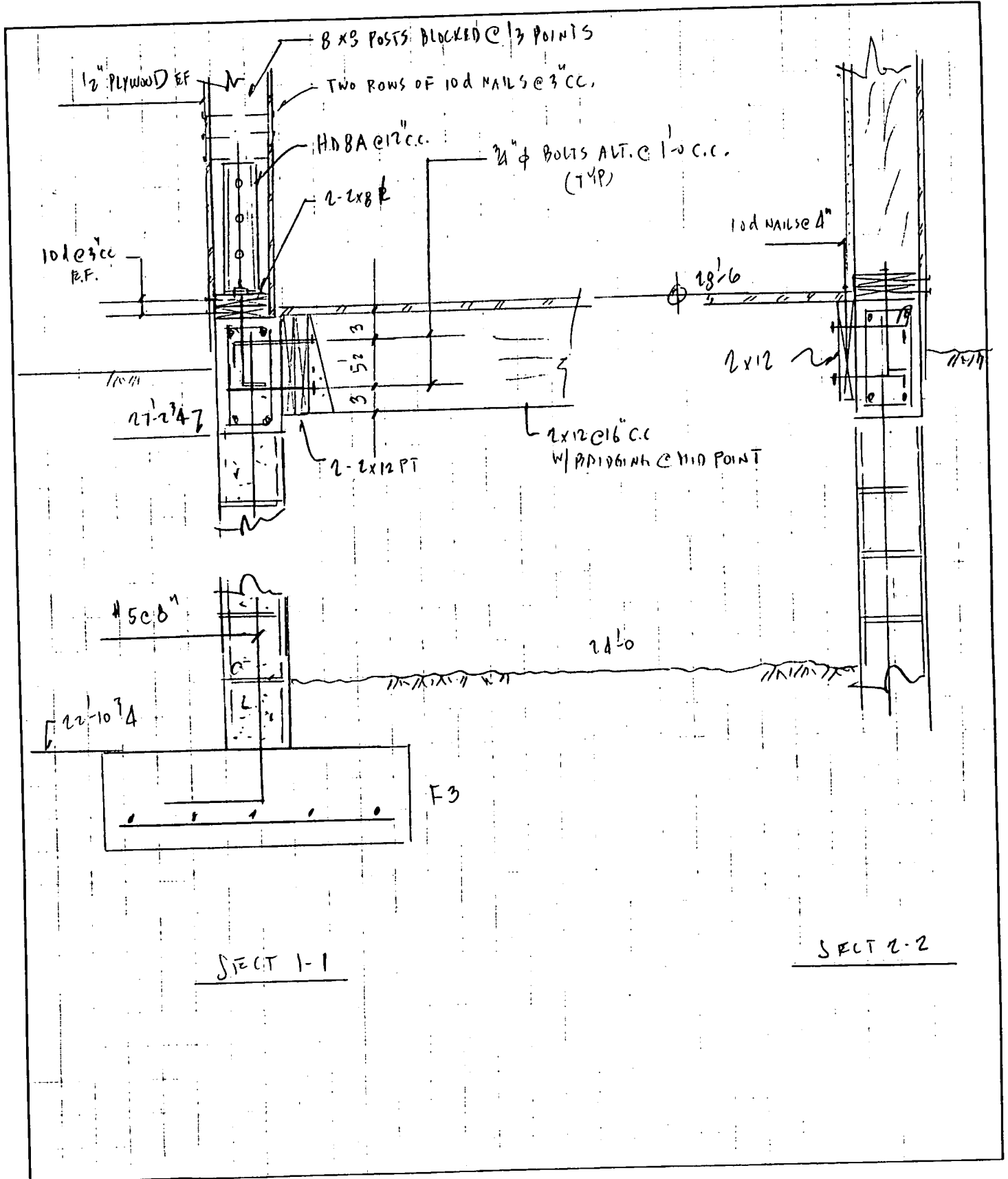
DATE 1-28-94

SHEET 6 OF

PROJECT

AYRES RESIDENCE

SUBJECT



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R1

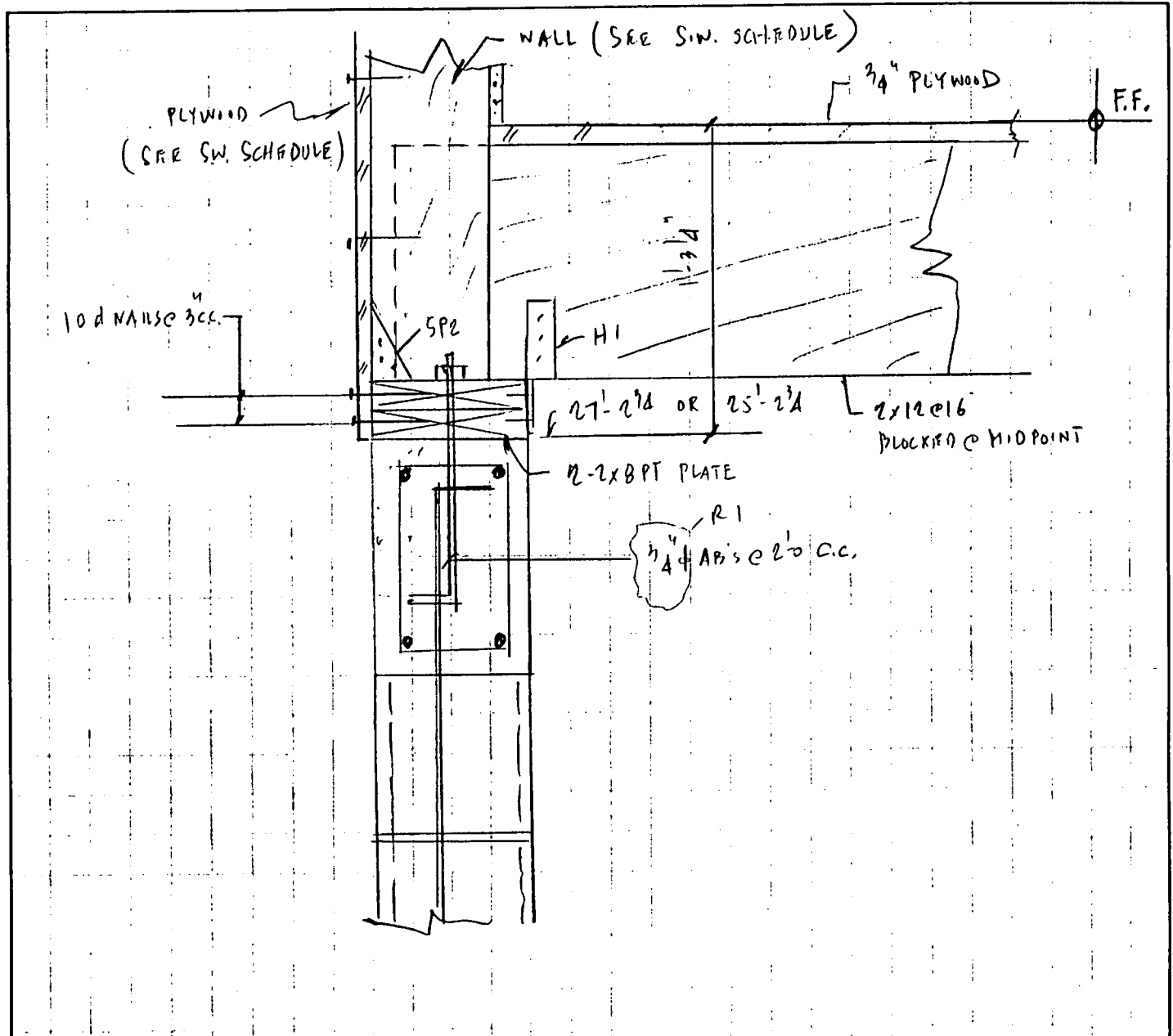
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SHEET 7 OF

PROJECT AYRES RESIDENCE

SUBJECT



SECT 3-3

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R 1

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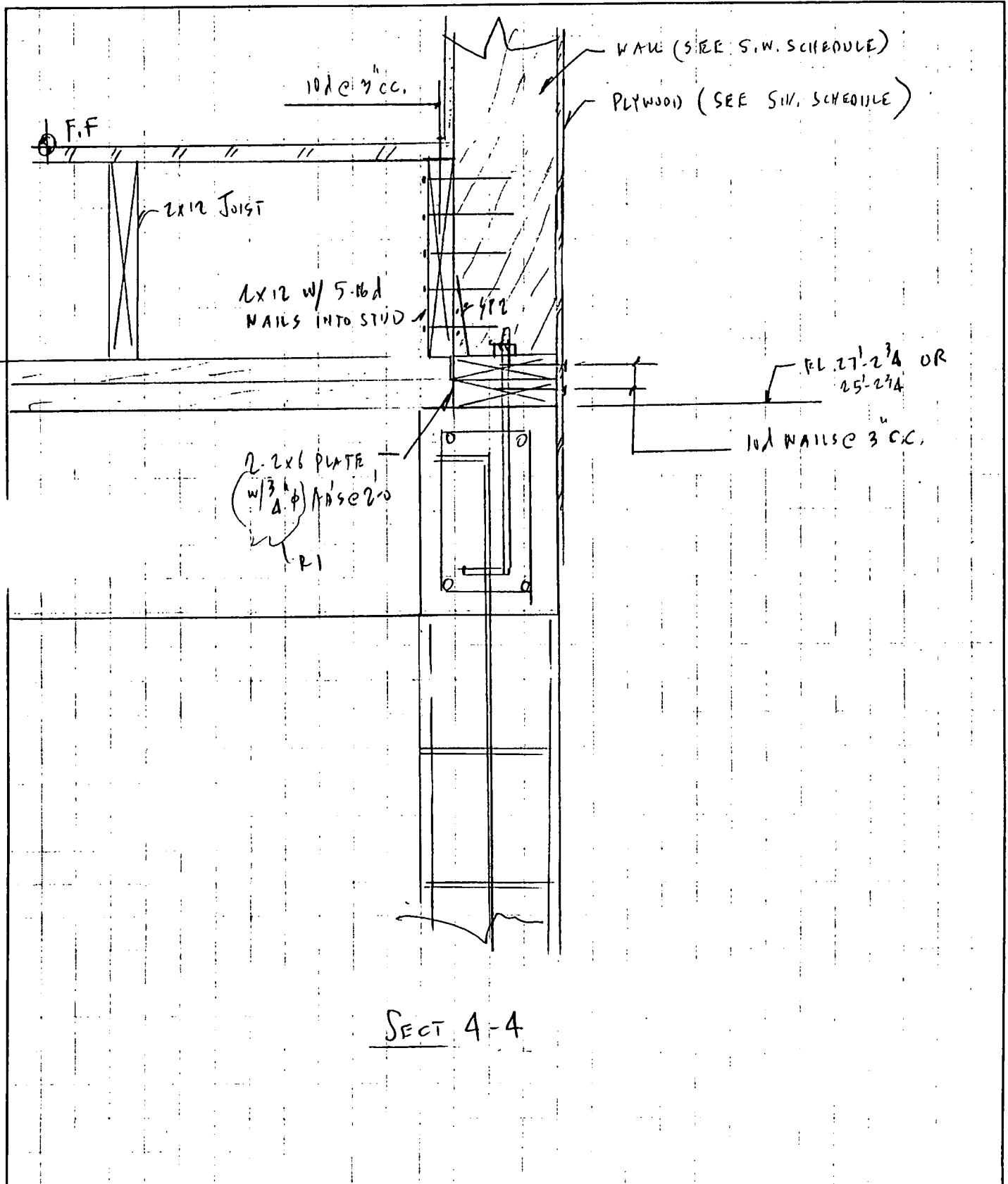
BY V. J. Gerley

DATE 1-28-74

SHEET 8 OF

PROJECT AYRES RESIDENCE

SUBJECT



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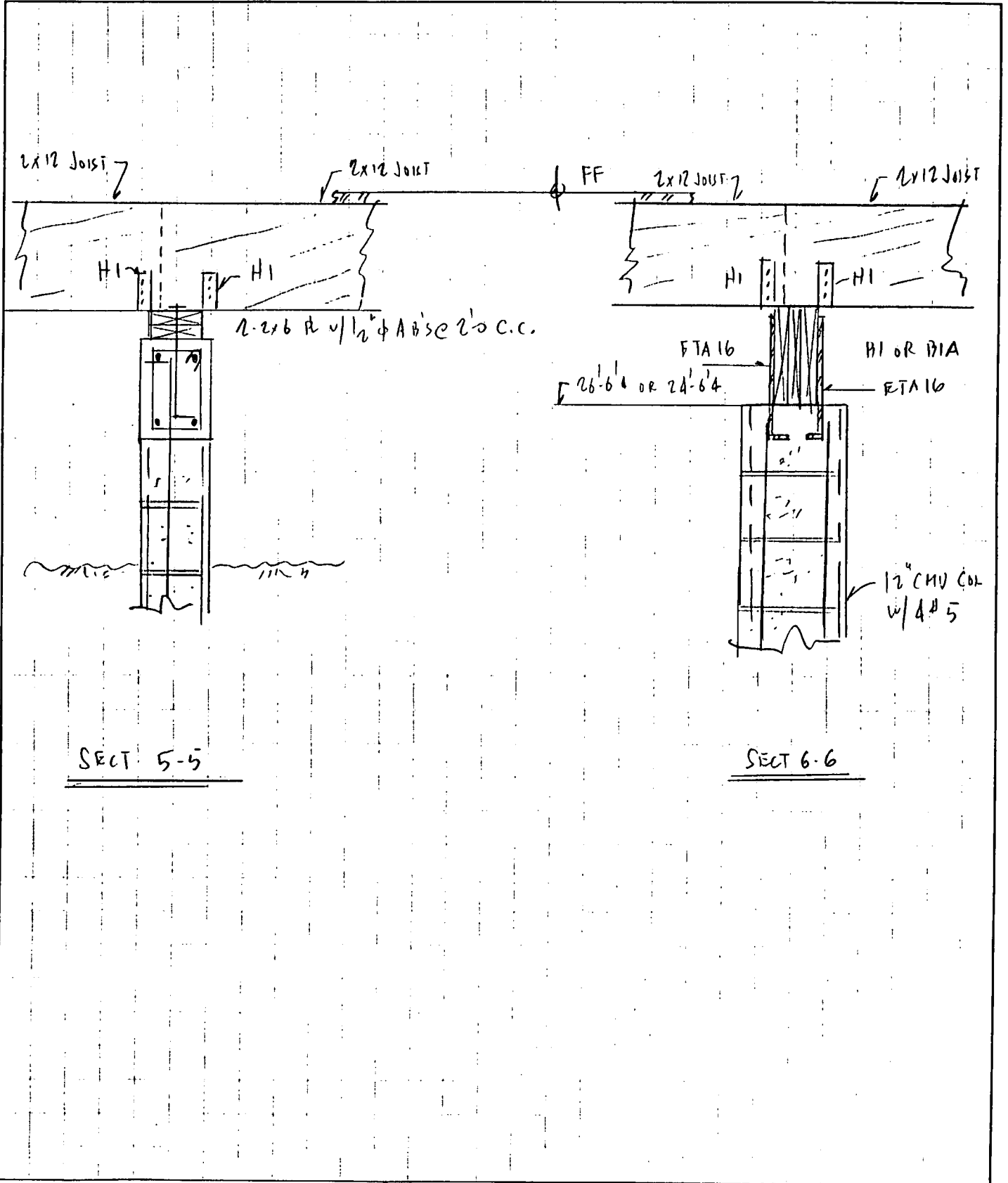
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SHEET 9 OF

PROJECT AYRES RESIDENCE

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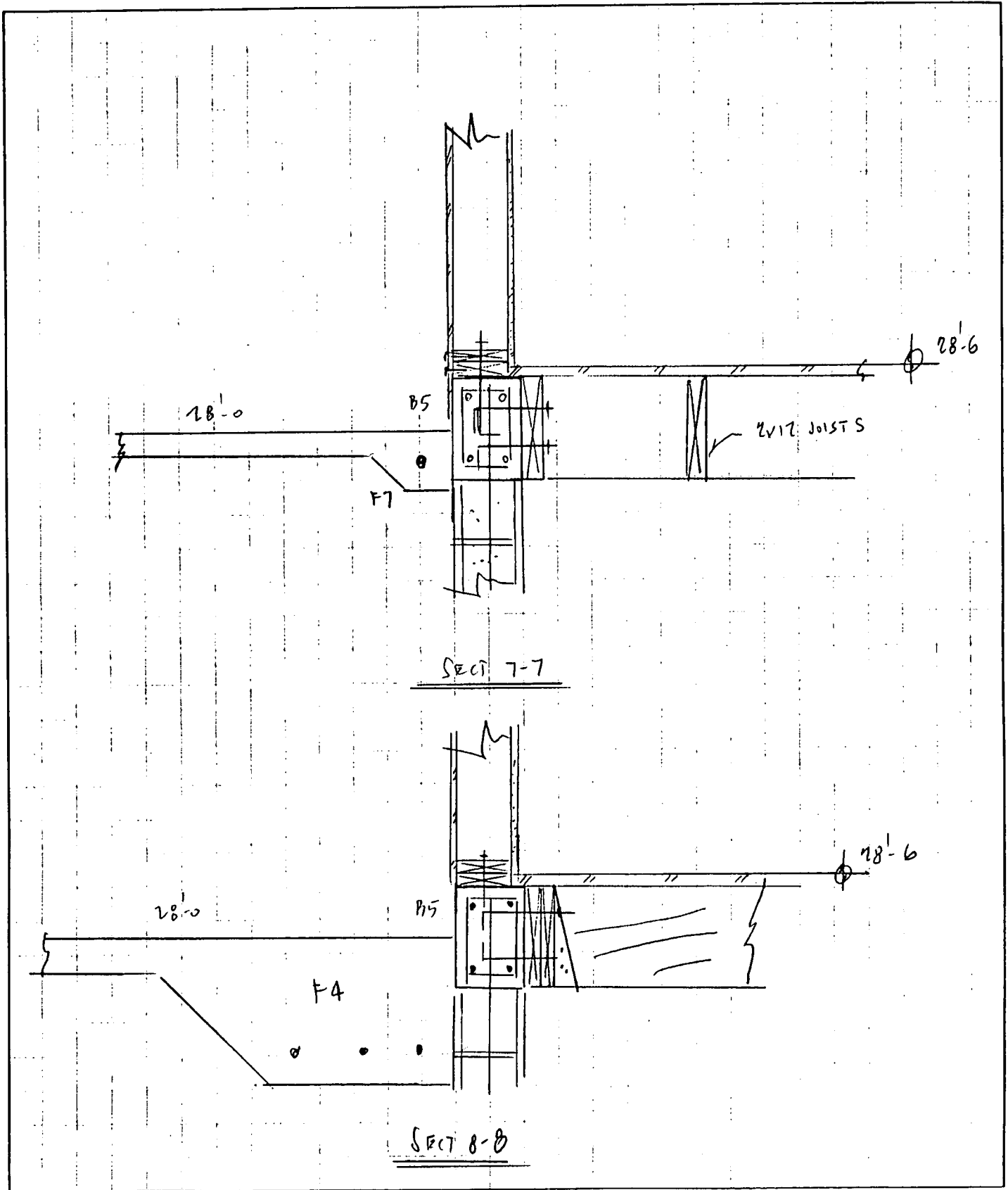
BY V.J. GERLEY

DATE 1-28-74

SHEET 10 OF

PROJECT AYRES RESIDENCE

SUBJECT



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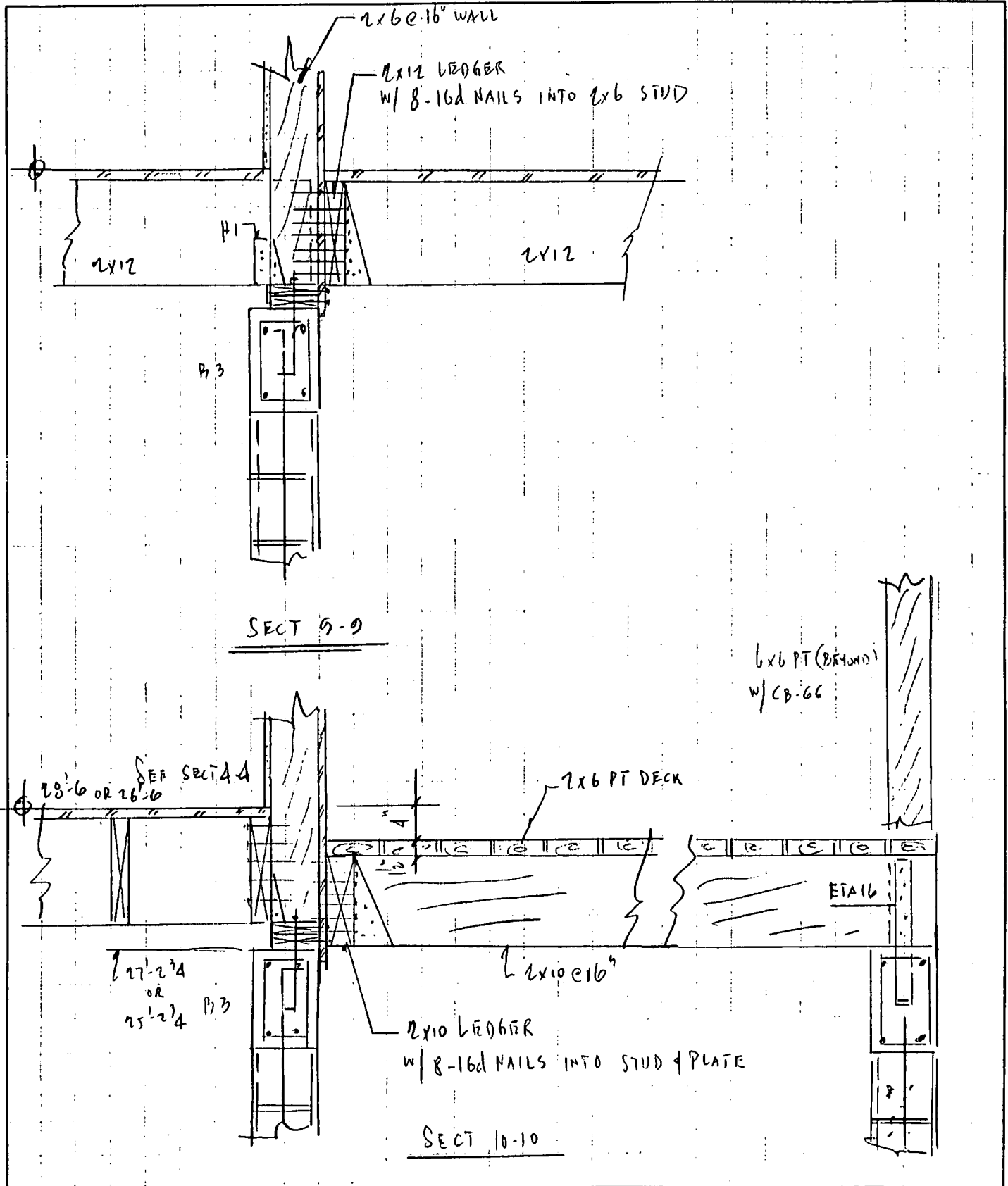
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SHEET 11 OF

PROJECT AYRES RES.

SUBJECT



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R1

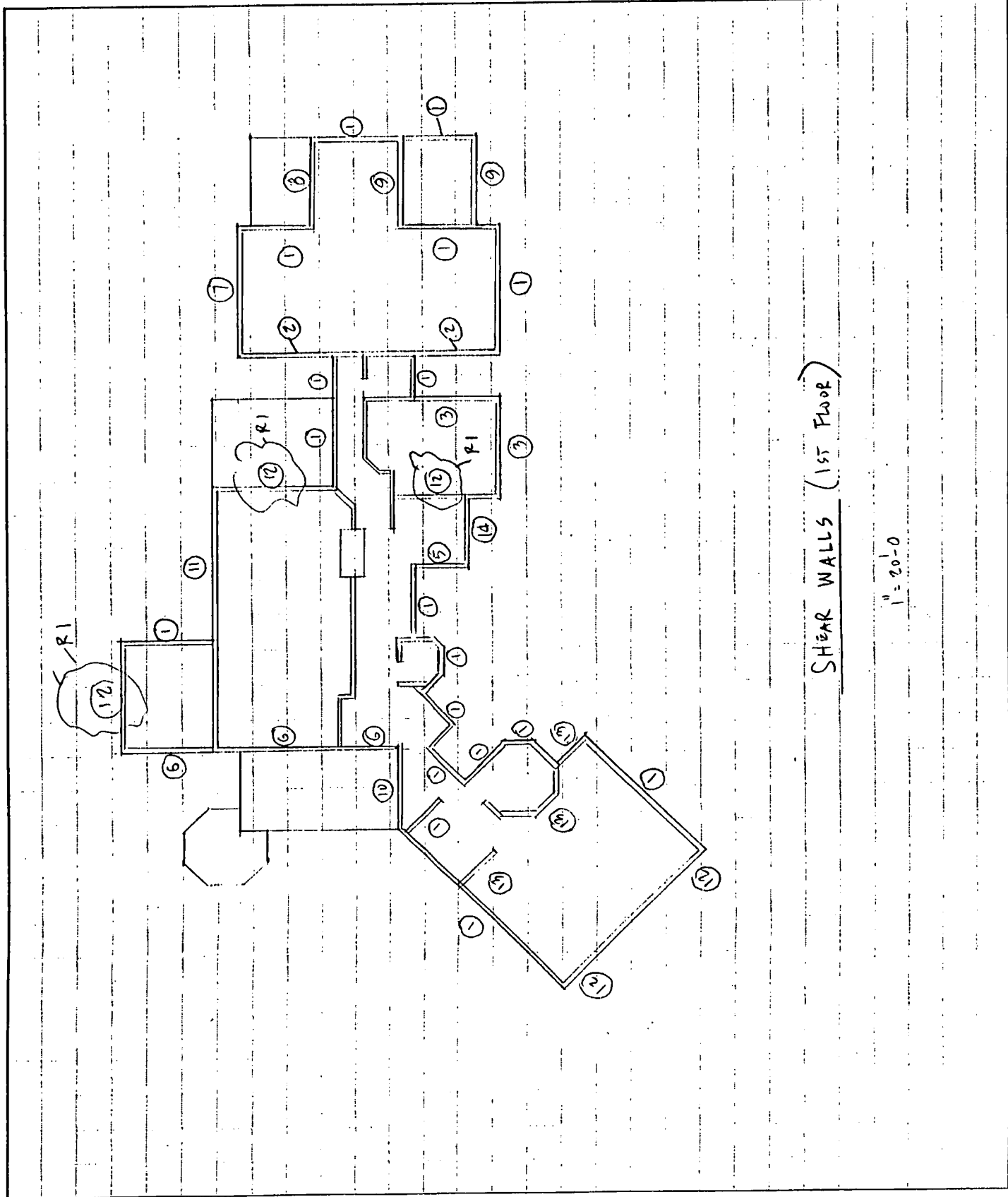
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BY V. J. GERLEY DATE 1-28-94

SHEET 13 OF

PROJECT AYRES RESIDENCE

SUBJECT SHEAR WALLS (1ST FLOOR)



SHEAR WALLS (1ST FLOOR)

1/4" = 20'-0"

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BY V. J. GERLEY DATE 1-28-84

SHEET 14 OF

PROJECT AYRES RESIDENCE

SUBJECT SHEAR WALLS

S.W. SUMMARY

(2-2x6 w/ 1/2" ϕ AB'S @ 2'0" C.C. POT &
w/ SPZ ANCHOR FROM PLATE TO STUD)
(TYP)

SW #	DESCRIPTION
1	2x6 @ 16" BLOCKED @ 1/3 POINTS w/ 1/2" PLYWOOD ONE FACE w/ 10d NAILS @ 3" C.C. (2 ROWS IN PLATE) & 1/2" DRYWALL ON ONE FACE OR E.F. w/ SD NAILS @ 4" C.C.
2	SAME AS SW # 1
3	SAME AS SW # 1
4, 4A	SAME AS SW # 1
5	8x8 POSTS @ 12" C.C. w/ HDBA ANCHORS & 1/2" PLYWOOD E.F. w/ 10d @ 3" C.C. BLOCKED @ 1/3 PTS
6	SAME AS SW # 1
7	2x6 @ 16" BLOCKED @ 1/3 POINTS w/ 5/8" PLYWOOD O.F. w/ 10d NAILS @ 2" C.C. (2 ROWS IN PLATE)
8	2-2x6 @ 12" C.C. BLOCKED @ 1/3 POINTS w/ HDBA ANCHORS & 5/8" PLYWOOD O.F. w/ 10d @ 2" C.C.
9	2x6 @ 16" BLOCKED @ 1/3 PTS w/ 1/2" PLYWOOD ONE FACE w/ 10d NAILS @ 3" C.C. (2 ROWS IN PLATE) & 2-SPZ PLATE TIES @ 16" C.C. & 1/2" DRYWALL w/ SD @ 4" C.C.
10	SAME AS SW # 8
11	SAME AS SW # 1
12	2x6 @ 12" BLOCKED @ 1/3 PTS w/ 1/2" PLYWOOD E.F. w/ 10d @ 3" C.C.
13	SAME AS SW # 1
14	2-2x6 @ 2'0" BLOCKED @ 1/3 PTS w/ 1/2" PLYWOOD O.F. w/ 10d @ 3" C.C.

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754 JENSEN BEACH BLVD. JENSEN BEACH, FL 34957 (407) 334-2600

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DATE 1-28-94

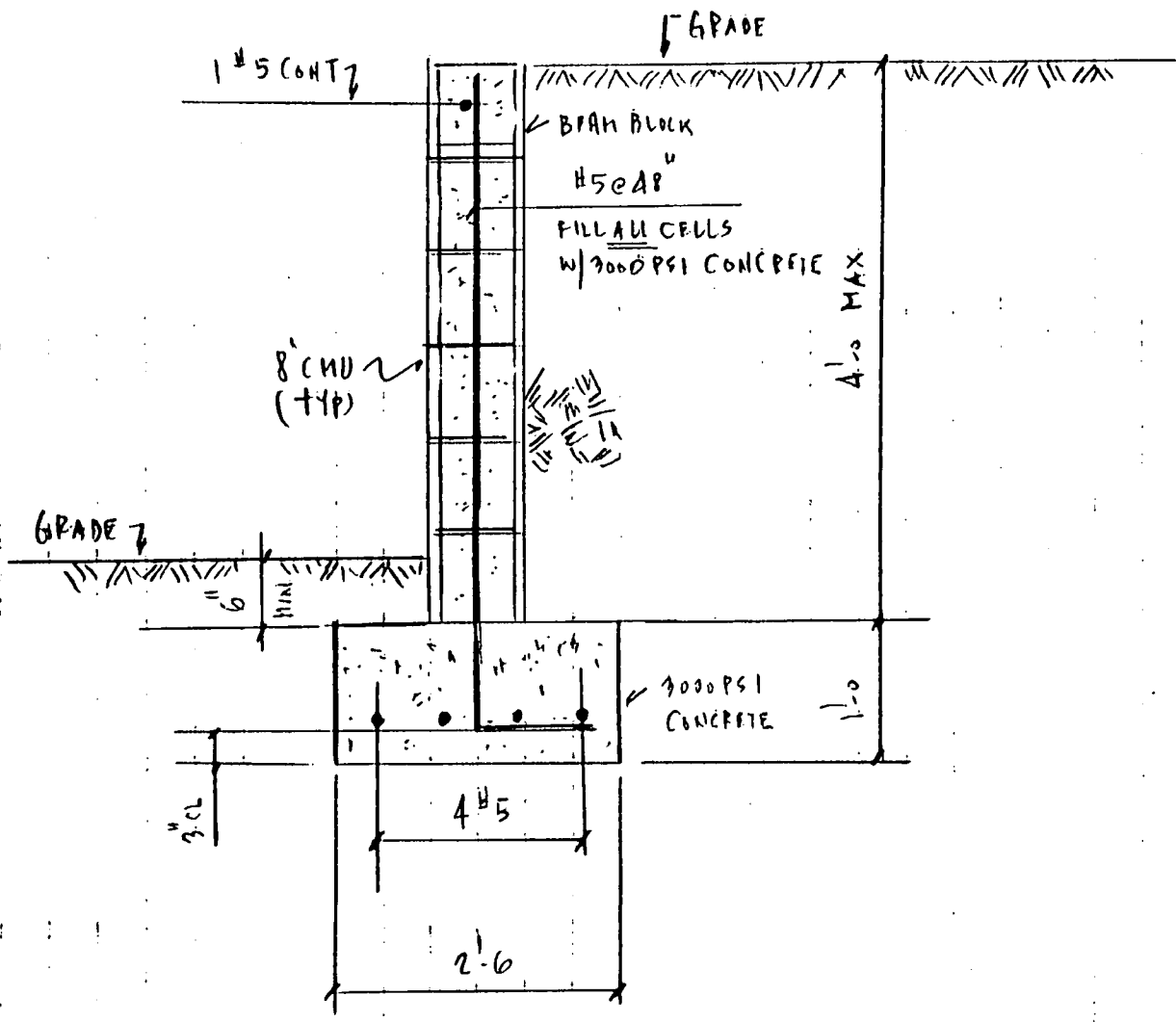
SHEET 15 OF _____

PROJECT _____

AYRES RES.

SUBJECT _____

4'-0" RETAINING WALL



TYPICAL SECTION

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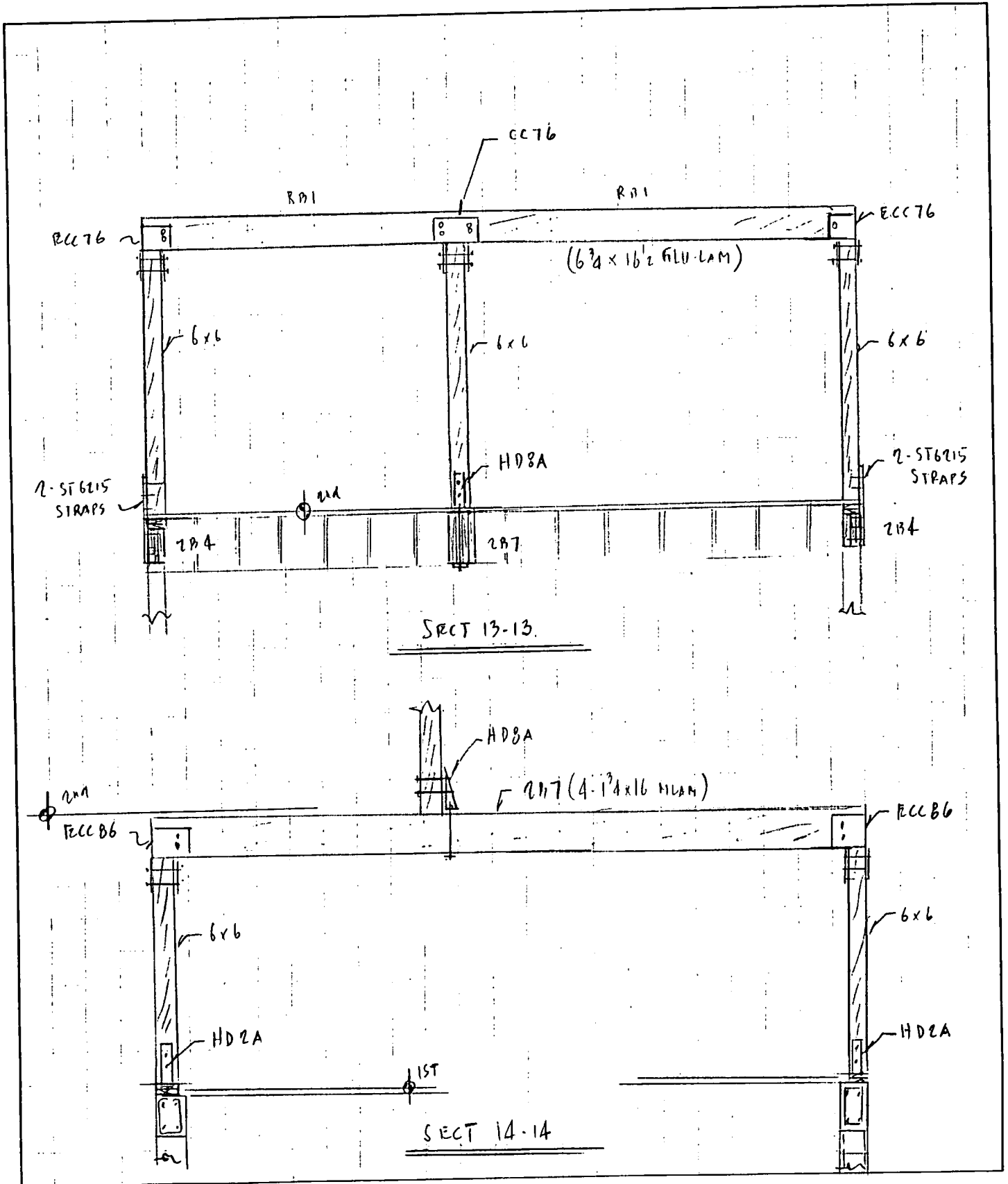
BY V. J. GERLEY

DATE 1-29-64

SHEET 16 OF

PROJECT AYRES RESIDENCE

SUBJECT



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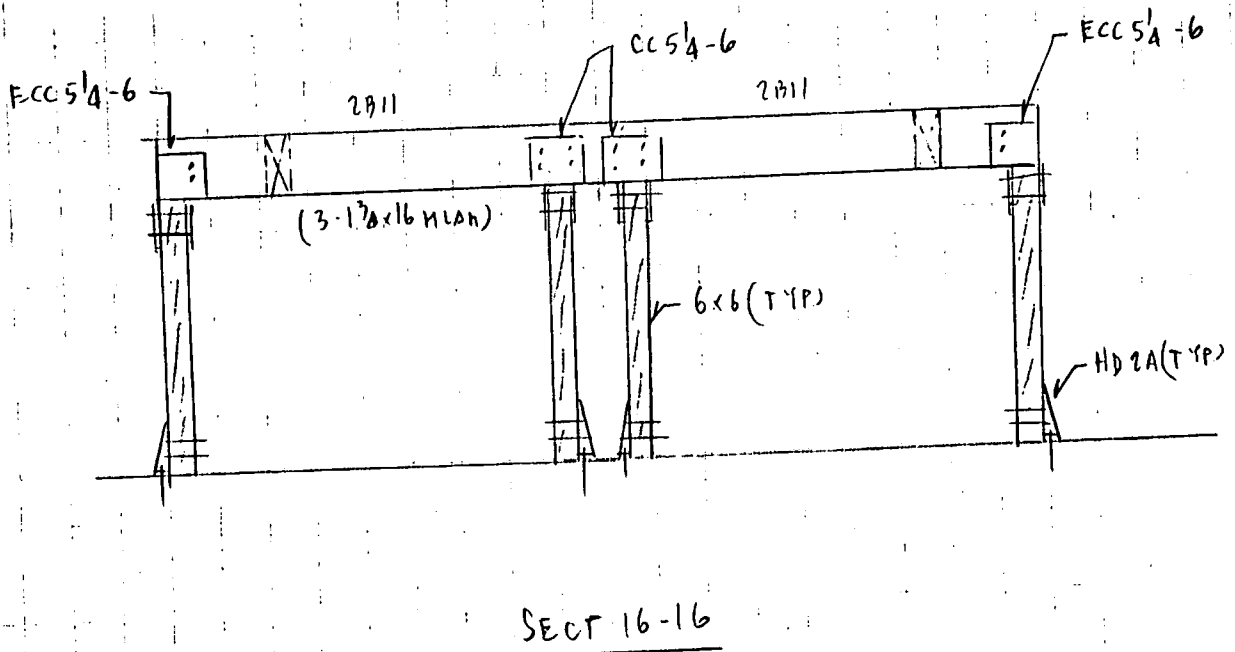
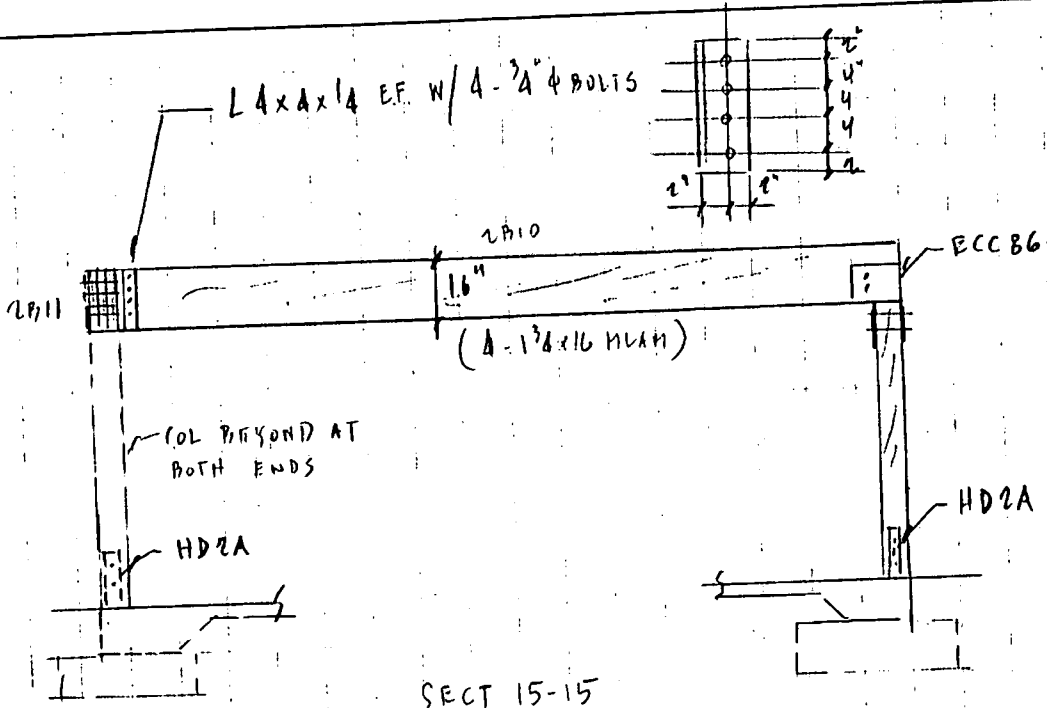
DATE 1-28-94

SHEET 17 OF

AYROS RES.

PROJECT

SUBJECT



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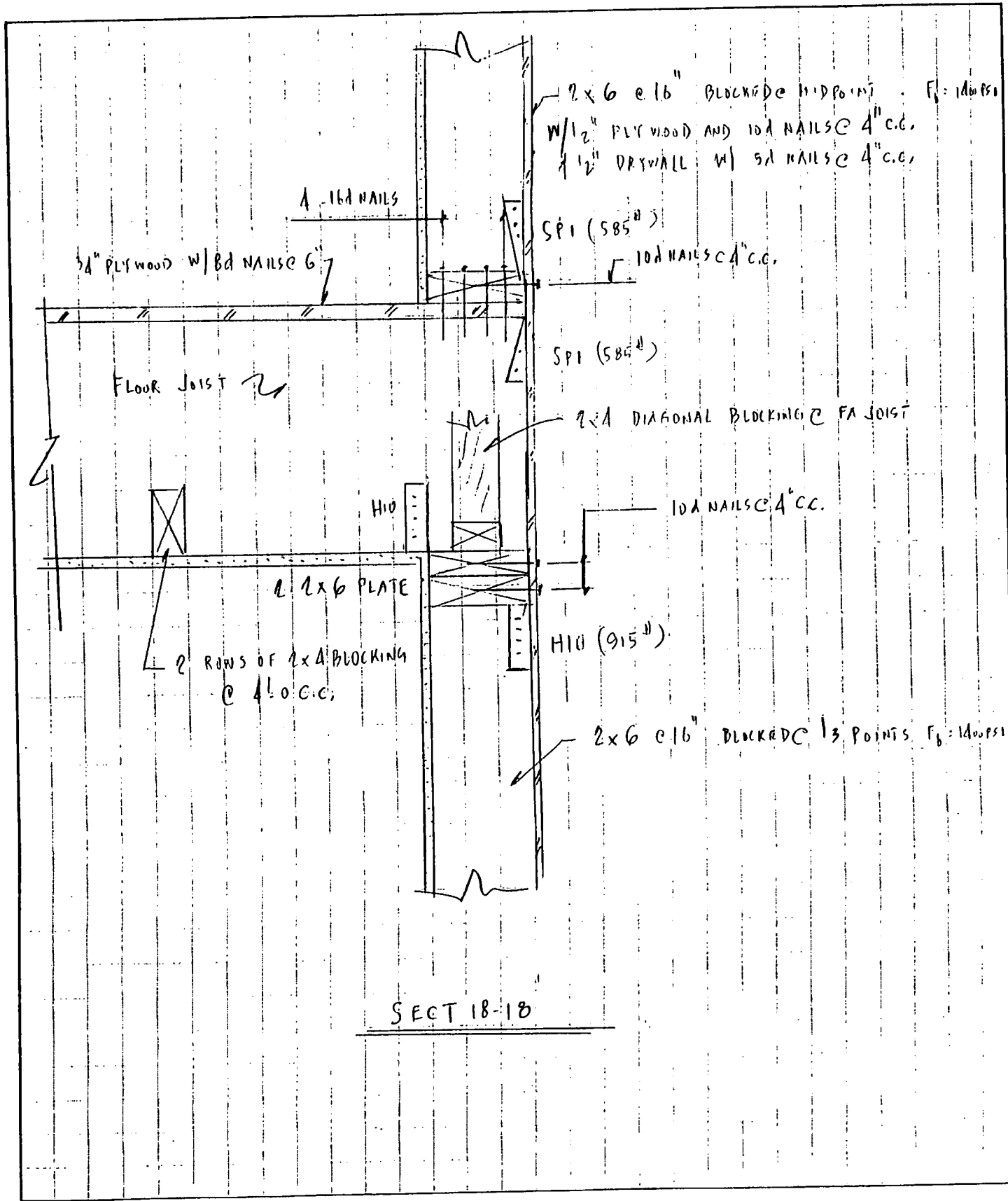
3190 N.E. MAPLE AVENUE JENSEN BEACH, FL 34957 (407) 334-2600

BY V. J. GERLEY DATE 1-18-94

SHEET 19 OF

PROJECT AYRES RES.

SUBJECT



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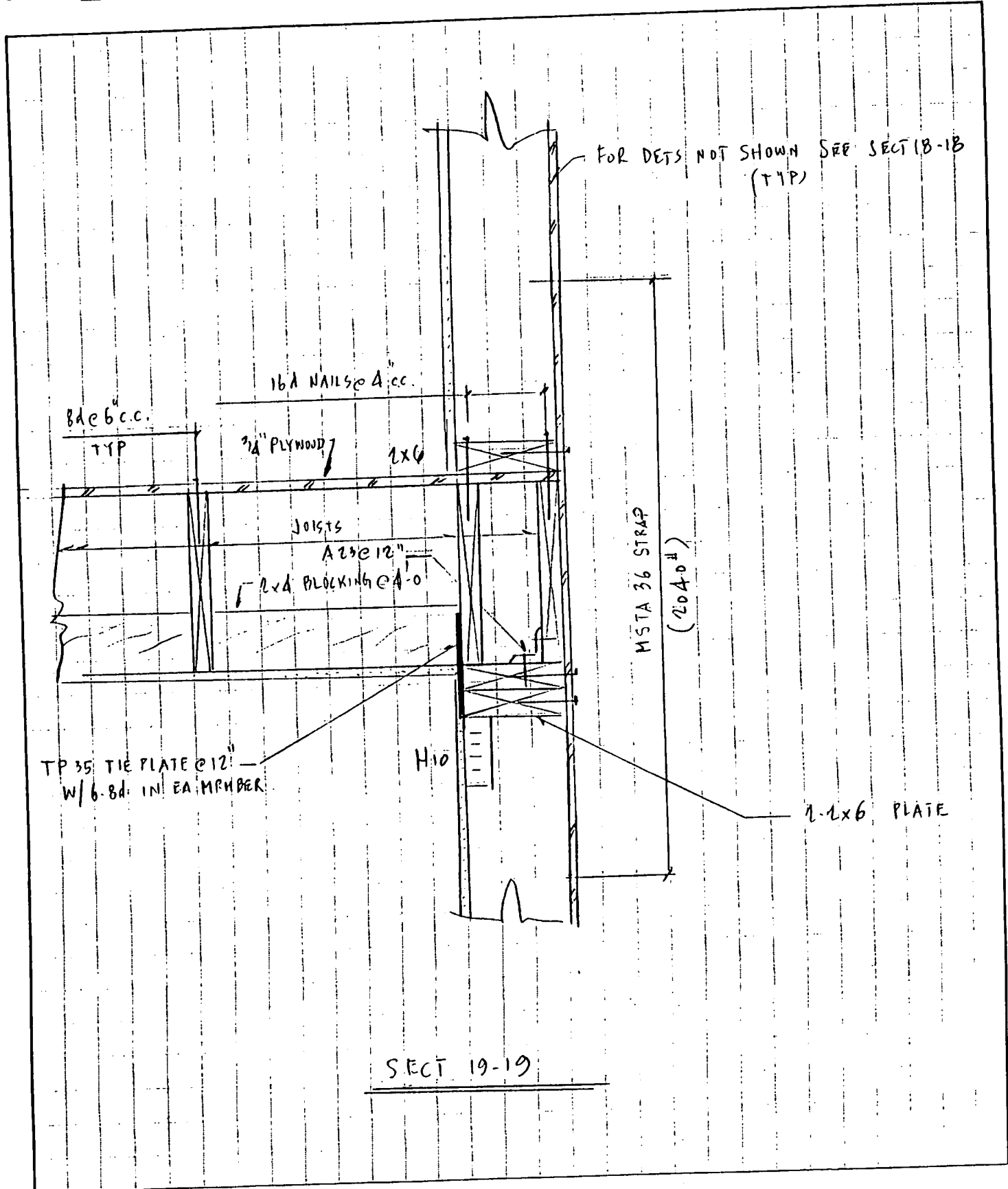
DATE 1-28-94

SHEET 20 OF

AYRES RES.

PROJECT

SUBJECT



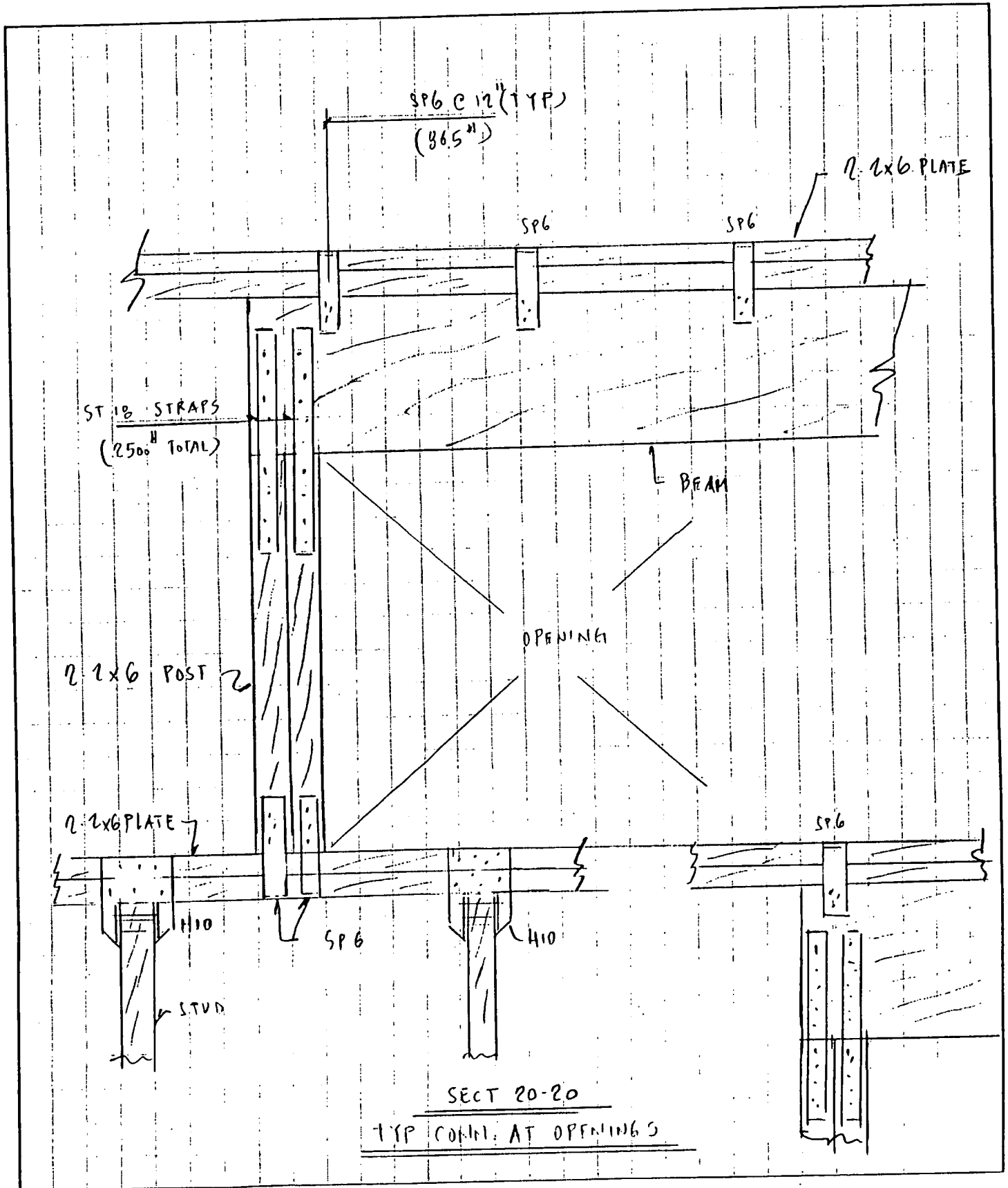
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BY V. J. GERLEY DATE 1-28-94 SHEET 21 OF

PROJECT AKRES RES.

SUBJECT



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BY V. J. GERLEY

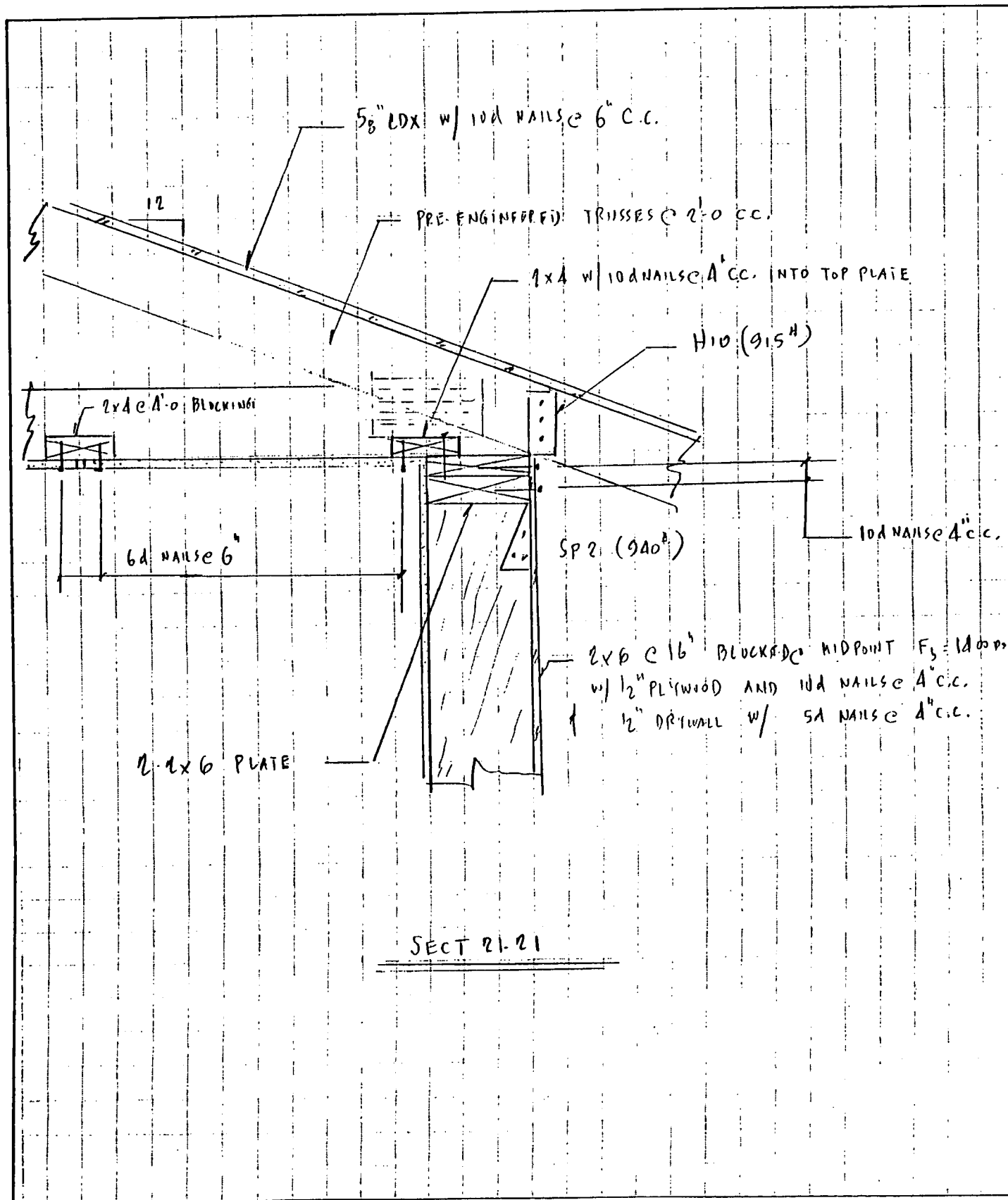
DATE 1-28-94

SHEET 22 OF

PROJECT

AYRES RES.

SUBJECT



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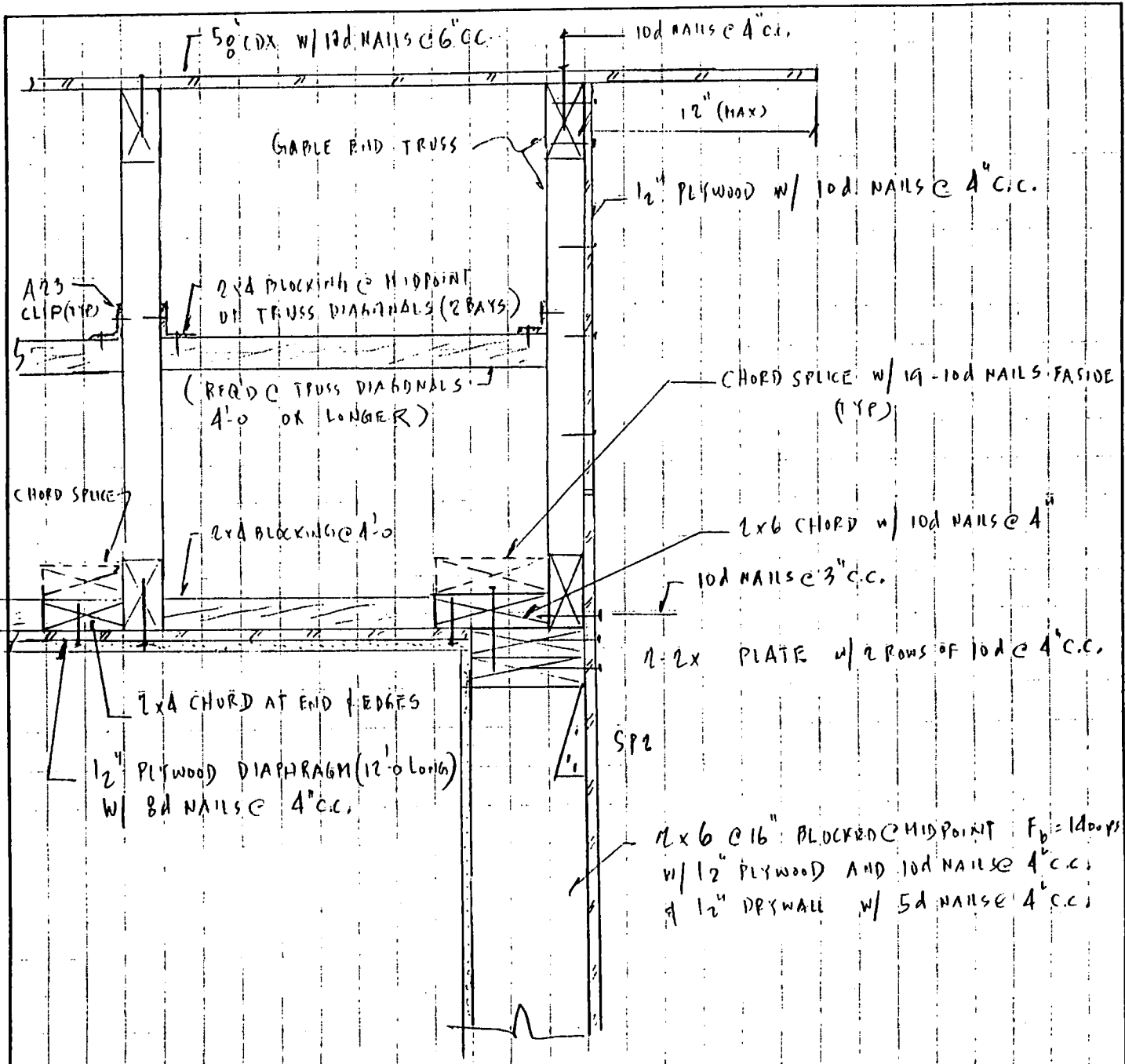
BY V. J. GERLEY

DATE 1-18-94

SHEET 23 OF

PROJECT AYRES RES.

SUBJECT



SECT 22-22

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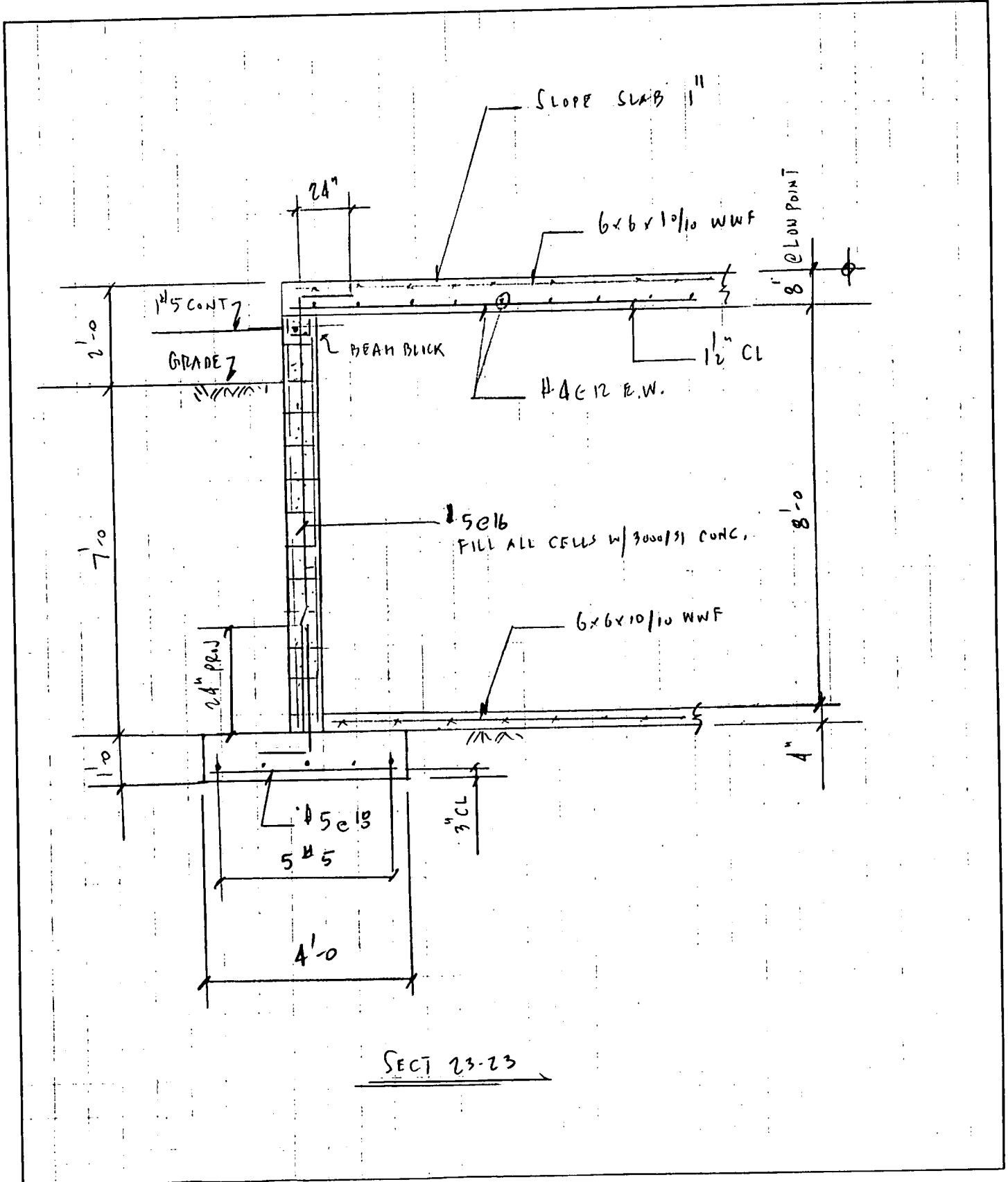
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BY V. J. GERLEY DATE 1-23-91

SHEET 24 OF _____

PROJECT AYRES RESIDENCE

SUBJECT _____



GENERAL NOTES

DESIGN:

Design of the structure is based on the South Florida Building Code and all other applicable Standards.

SUPERIMPOSED LOADS:

Floor:	40psf L.L.	Wind Velocity:	120 mph
Roof :	30psf L.L.	15psf D.L.(Partitions)	
Balcony:	60psf L.L.	60psf D.L.(Block walls)	

SOIL:

Clear the building areas of trees, roots, organics and other deleterious materials.
 Backfill with selected granular material in 15" maximum lifts and compact to a minimum density of 95% as determined by ASTM D-1557
 Areas that are re-excavated for foundation installation shall be tested and satisfy a minimum of 95% Modified Proctor density. Allowable gross soil pressure for foundation design shall be 2500 psf and shall be verified by a Testing Laboratory.

CONCRETE:

Concrete shall develop a minimum strength of 3000 psi at 28 days.
 All concrete shall be ready-mixed and in accordance with ASTM C-94.

Slump and cylinder tests shall be performed by an independent testing laboratory. Provide 4 tests for each concrete placement and/or 4 tests for each 50 cu.yds.
 Maximum allowable slump shall be 5 inches.

REINFORCING:

Reinforcing steel shall be deformed, new billet steel in accordance with ASTM A-615 Grade 60 and detailed per ACI 315. All splices shall be in accordance with Chapter 7 of ACI 318-81, with a minimum splice of 40 bar diameters. Fabricator shall submit four sets of shop drawings for the review and approval of the Architect.

MASONRY:

Concrete block units shall conform with ASTM C-90. Placement of unit masonry shall be in sraight,plumb and true to a tolerance of 1/8" in ten feet. Provide "Dur-O-Wal" standard weight all galvanized #9 gage truss reinforcing at every second course of masonry. Lay concrete blocks in running bond with successive courses lapped 1/2 of a unit.

STRUCTURAL STEEL:

Structural steel shall conform to the latest editions of the AISC Specifications for the design,fabrication and erection of structural steel and ASTM A-36,latest edition. Welding electrodes shall be E70 XX unless otherwise noted. All field welds shall be repainted with two coats of rust inhibitive paint of the same brand and type as the shop coat.

WOOD:

Wood for beams,columns and studs shall be SOUTHERN PINE #2 and shall be pressure treated for exterior exposures and for members in contact with concrete.
Minimum Fb=1500 psi and E=1,600,000 psi

MICRO-LAM beams shall be fabricated and erected in accordance with the specifications of the TRUS JOIST CORPORATION.

```

WIND1.WKS          ENCL.BLDG.          PROJECT:AYRES RES.
                20<A<30          -0.8=u          -0.7=u          V=140 mph
                22.2086 H to select w          H3          GCps=-0.8(roof)
                10.5 H1          H2          GCps=1.30(wall)
                9 H2          H1          GCpc=1.50(overhg)
                5.4171 H3 select A          V3          GCpc=1.10(wall)
                26 B          H2          U
                3 b Overhang          H1          V2
                .02184 u uplift(psf)          -Vwall-          V1
                .4410764 U Uplift(k/ft)
                .04849 p
                .2545725 V1
                .4727775 V2
                .2430737 V3 select A
                9.7041 Mbase(k-ft/ft)
                .7158512 Vwall(k/ft)
                37.3 w select
                1 Use factor
    
```

H	w	SLOPE	TAN A(To calc.H3 & V3)	
		<30		
5	30	3:12	.25	Roof D.L.=8psf
15	37	4:12	.3333	End Zone X=20'
25	45	5:12	.4167	1991 SBCCI
35	50	6:12	.5	
		7:12	.5833	Wall design w= .04103
				Wall moment = .4154288

Variables H,w,S effect: u,p,Wwall,Mwall

WIND.WKS	STORY	ANGLE	TYPE
1	2	10<30	ENCL
2	2	30<45	ENCL
3	1	10<30	PART ENCL
4	1	30<45	PART ENCL
5	1	10<25	OPEN
6	1	25<45	OPEN
7	1	10<30	ENCL
8	1	30<45	ENCL
9	2	0<10	ENCL
10	1	0<10	ENCL
11	1	0<10	PART ENCL
12	1	0<10	OPEN

(g) Hydrodynamic Loads

Hydrodynamic loads shall consider the maximum water pressures resulting from the motion of the water mass associated with the design storm. Full intensity loading shall be applied on all structural surfaces above the design grade which would affect the flow velocities.

(h) Design Conditions - General

1. Foundations for all major structures shall be designed for the horizontal and vertical pressures generated by wave forces between the elevation of the design breaking wave crests or wave uprush superimposed upon the storm surge and the stable soil elevation of the site.

2. All major structures, except mobile homes, shall be designed to withstand 140 mph windspeeds. Horizontal wind velocity pressures shall not be less than the value given below:

BASIC WIND VELOCITY DESIGN PRESSURE
(Pounds per Square Foot)

<u>Standard Building Code</u>		<u>South Florida Building Code</u>	
<u>Height (ft)</u>	<u>Pressure (psf)</u>	<u>Height (ft)</u>	<u>Pressure (psf)</u>
0-30	41	0-5	30
31-50	54	5-15	37
51-100	65	25-35	45
101-200	79	35-55	50
201-300	92	55-75	63
301-400	101	75-100	68
401-500	109	100-150	75
501-800	121	150-250	83
801-1000	133	250-350	97
over 1000	137	350-550	109
		550-750	121
		750-1000	132
		over 1000	137

* The above table is based upon the formula $P = .00256 \times V^2 \times (H/30)^{2/7}$, where: P = pressure in pounds/square foot
V = 140 mph
H = height above grade in feet

3. Appropriate shape factors shall be applied for resistance against overturning and uplift as required elsewhere in this code. Internal pressures on internal walls, ceilings and floors resulting from damaged windows or doors shall also be considered in the design unless the specified windows and doors have been tested by an

- (2) Horizontal Surfaces (including surfaces with less than 10 percent inclination to the horizontal):

	Windward *1/3 of surface	Leeward **2/3 of surface
(aa) Enclosed Buildings	-1.0	-0.75
(bb) Buildings with one or more open sides	-1.5	-1.25
(cc) Overhangs & Eaves	-1.5	-1.5

* The direction from which the wind is coming

** The direction towards which the wind is going

- (3) Inclined Surfaces:

Angles from the Horizontal	Normal to Windward Surface	Normal to Leeward Surface
(aa) Above 70 to 90	+0.90	-0.80
Above 60 to 70	+0.70	-0.80
Above 50 to 60	+0.50	-0.80
Above 40 to 50	+0.30	-0.80
Above 30 to 40	-0.30	-0.80
Above 20 to 30	-0.70	-0.80
Above 10 to 20	-0.90	-0.80

(bb) Overhangs and Eaves (all cases)
.....-1.50

(cc) For buildings with one or more open sides, add -1.0 to the negative factors for inclined surfaces.

(dd) For gabled roofs, a factor of -0.80 shall be used when the wind is assumed to blow parallel with the roof ridge.

(ee) The wind pressure on a curved roof due to wind blowing at right angles to the axis of the roof shall be computed on the divided into not less than five equal segments. The pressure on each segment, whether positive or negative, shall be determined by the use of shape factors in Sub-paragraph 2309.3(aa), above, appropriate to the slope of the chords of the segments.

- (b) Shape factors for building components transferring wind loads to the structural frame shall be taken as:

(1) Vertical Surface Shape Factors

Surface Type	Factor Inward	Factor Outward
(aa) Exterior walls of enclosed buildings, including fixed lites of glass, glazing and all supporting members	+1.1	-1.1
(bb) Operative doors and windows, including all constituent parts	+1.1	-1.1
(cc) Exterior walls of buildings with one or more sides open	+1.1	-1.5

- (2) Horizontal Surface Shape Factors as set forth in Sub-paragraph 2309.3 (a)(2) herein.
- (3) Inclined Surface Shape Factors as set forth in Sub-paragraph 2309.3 (a)(3) herein.
- (4) Buildings having characteristics likely to exceed the values for design pressures obtained by use of the shape factors set forth in Paragraph 2309.3 (a) and (b) herein shall be designed with appropriate shape factors.

2309.4 OVERTURNING MOMENT AND UPLIFT:

- (a) Computations for overturning moment and uplift shall be based on the building as a whole and shall include appropriate vertical surface shape factors.
- (b) Overturning stability of any building; structure or part thereof taken as a whole shall be provided, and shall be not less than 150 percent of its wind load overturning moment.
- (c) Uplift stability shall be provided for any building, structure, part thereof or isolated component thereof and shall be not less than 150 percent of the wind load uplift thereon.
- (d) Stability may be provided by dead loads, anchors, attachments, the weight of earth superimposed over footings or anchors, the withdrawal resistance of piles or the resisting moment of vertical members embedded in the ground.

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SHEET 31 OF

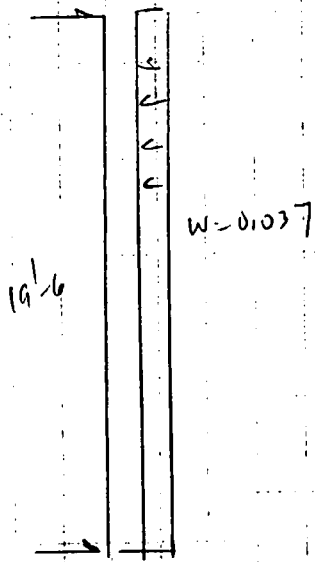
PROJECT AIRPS RES.

SUBJECT

WALL @ STAIRWAY

$$W = 33 \times 1.1 = 37 \text{ (psf)}$$

TOP 2x8 @ 12"



$$M = 0.037 \times \frac{19.5^2}{8} = 1.76 \text{ k-ft}$$

$$S = \frac{1.76 \times 12}{1.4 \times 1.33} = 11.3 \text{ in}^3 < 15.23 \text{ in}^3 \text{ OK USE } 2 \times 8 @ 12"$$

$$\Delta = \frac{5 \times 0.037 \times 19.5^4 \times 1728}{384 \times 1800 \times 57.1} = 1.17 \text{ in}$$

USE 2x8 FOR COLUMNS

$$\Delta_{ALLOW} = \frac{19.5 \times 12}{240} = 1 \text{ in OK}$$

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SHEET 32 OF

PROJECT AYRES RES.

SUBJECT

1st Floor Joists:			
2x12 @ 16" C.C.		$S = 36 \text{ in}^3$	$I = 706 \text{ in}^4$
$f_b = 1.4$			
$E = 1500$			
$65 \text{ psf} \times 1.33 = 0.087 \text{ klf}$			
SPAN	M (k-ft)	SR	Δ
8'-0"	0.7	6.0	-
9'-0"	0.88	7.5	-
10'-0"	1.09	9.3	-
11'-0"	1.32	11.3	-
12'-0"	1.57	13.5	-
13'-0"	1.84	15.8	-
14'-0"	2.13	18.3	-
15'-0"	2.45	21.0	0.32"
16'-0"	2.78	23.8	0.42"
17'-0"	3.14	27.0	0.53"

MEAN	3x2x12 CAPACITY
$M = 1.04 \times \frac{9^2}{8} = 10.6 \text{ k-ft}^2$	$S = 36 \times 3 = 108$
$S_R = \frac{10.6 \times 12}{1.4} = 90.6 \text{ in}^3 < 108 \text{ in}^3 \text{ OK}$	$I = 706 \times 3 = 2118$
$\Delta = \frac{5 \times 1.04 \times 9^4 \times 1728}{384 \times 1500 \times 2118} = 0.17" \text{ OK}$	$W = 0.087 \times 12 = 1.04$
	$L = 9'-0"$

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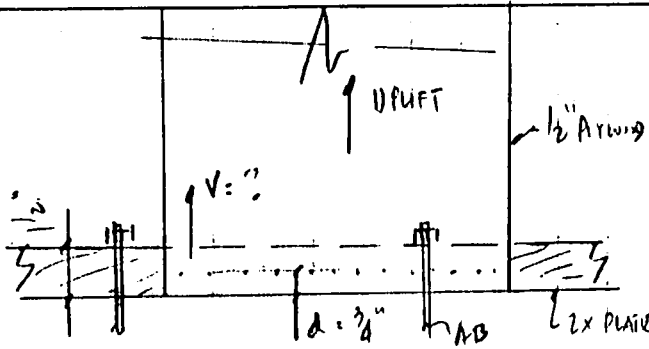
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DATE 1-28-91

SHEET 33 OF

PROJECT AYRES RES.

SUBJECT



$$f_v = \frac{3V}{2bd}$$

$$f_v = 1.5V = 150 \text{ psi}$$

$$b = 1/2" \text{ (PLYWOOD)}$$

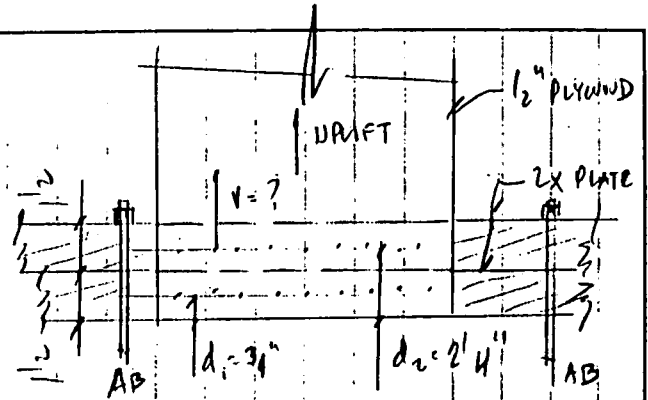
$$d = 3/4"$$

$$V = f_v b d \times \frac{2}{3}$$

$$V = 150 \times 0.5 \times 0.75 \times \frac{2}{3} \times 1.33 \text{ (WIND)}$$

$$V = 50 \text{ LBS/NAIL}$$

NAIL SPACING	V (lbs)	A.B. SPEC
12	50	5.83'
6	100	4.1'
4	150	3.4'
3	200	2.9'
2	300	2.4'



$$V = f_v b d \times \frac{2}{3}$$

$$V = 150 \times 0.5 \times 1.5 \times \frac{2}{3} \times 1.33 \times 2 \text{ (WIND)}$$

$$V = 200 \text{ LBS/SET OF NAILS}$$

$$b = 1/2"$$

$$d_1 = 3/4"$$

$$d_2 = 2 1/4"$$

$$d_{AVG} = 1.5"$$

$$n = 2$$

NAIL SPACING	V (lbs)	A.B. SPEC	
		1-2x4	2-2x6
12	200	5.3'	6.6'
6	400	3.7'	4.7'
4	600	3.1'	3.8'
3	800	2.6'	3.3'
2	1200	2.2'	2.7'
2"	2x1200	—	1.9' over 2.0'

54

TABLE 1710.2B ALLOWABLE SHEAR (plf) FOR PLYWOOD SHEAR WALLS WITH FRAMING OF DOUGLAS FIR, LARCH OR SOUTHERN PINE¹ FOR WIND OR SEISMIC LOADING⁶

Plywood Grade	Minimum Nominal Plywood Thickness ² (in)	Minimum Nail Penetration in Framing (in)	Plywood Applied Direct To Framing				Plywood Applied Over 1/2-in or 5/8-in Gypsum Sheathing					
			Nail Size (Common or Galvanized Box)	Nail Spacing at Panel Edges (in) ²				Nail Size (Common or Galvanized Box)	Nail Spacing at Panel Edges (in) ²			
				6	4	3	2 ¹		6	4	3	2 ¹
STRUCTURAL I	5/16	1 1/4	6d	200	300	390	510	8d	200	300	390	510
	3/8	1 1/2	8d	230 ^a	360 ^a	460 ^a	610 ^a	10d ¹	280	430	550	730
	15/32	1 1/2	8d	280	430	550	730	10d ¹	280	430	550	730
	15/32	1 5/8	10d ¹	340	510	665	870	—	—	—	—	—
C-D Sheathing, C-C Exterior, Plywood Panel Siding and other grades covered in PS 1.	5/16 ^b	1 1/4	6d	180	270	350	450	8d	380	270	350	450
	3/8	1 1/2	6d	200	300	390	510	8d	200	300	390	510
	3/8	1 1/2	8d	220 ^a	320 ^a	410 ^a	530 ^a	10d ¹	260	380	490	640
	15/32	1 1/2	8d	260	380	490	640	10d ¹	260	380	490	640
	15/32	1 5/8	10d ¹	310	460	600	770	—	—	—	—	—
	19/32	1 5/8	10d ¹	340	510	665	870	—	—	—	—	—
Plywood Panel Siding and other grades covered in PS 1	5/16 ^b	1 1/4	Nail Size (galvanized casing)	140	210	275	360	Nail Size (galvanized casing)	140	210	275	360
			8d					8d				
	3/8	1 1/2	8d	160	240	310	410	10d ¹	160	240	310	410

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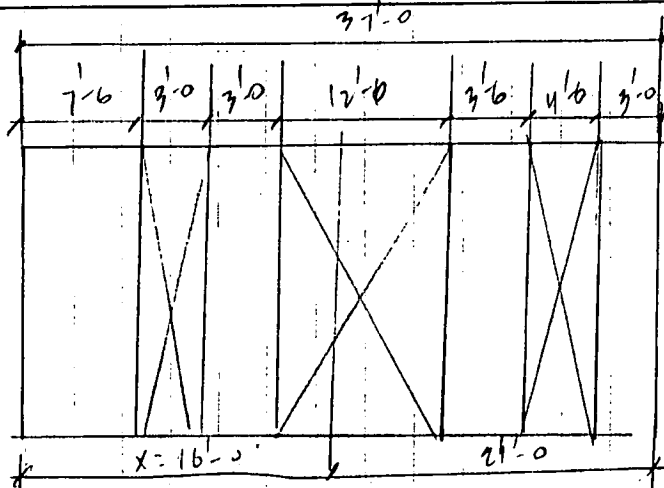
BY V. J. GERLEY DATE 1-28-91

SHEET 35 OF

PROJECT A YRHS RES,

SUBJECT

SW # 1
 $V_{WALL} = 17'-0"$
 $V = 9.1 \text{ K}$
 $w = 12.3 \text{ K/L}$



$$f_v = \frac{9.1}{17} = 535 \text{ PSI}$$

$$\bar{x} = \frac{7.5 \times 3.75 + 3 \times 12 + 3.5 \times 27.75 + 3 \times 35.5}{17}$$

$$I_{WALL} = \frac{0.5}{12} \times (7.5^3 + 3^3 + 3.5^3 + 3^3)$$

$$\bar{x} = 15.75' \text{ USR } 16'-0"$$

$$+ 0.5 (7.5 \times 12.75^2 + 3 \times 4^2 + 3 \times 19.5^2 + 3.5 \times 11.75^2)$$

$$= 1420 \text{ FT}^4$$

$$S_1 = 1420 \div 16 = 89 \text{ FT}^3$$

$$S_2 = 1420 \div 21 = 68 \text{ FT}^3$$

$$f_m = \frac{12.3}{68} = 1.81 \text{ KSF} = 12.6 \text{ PSI}$$

$$T_{MAX} = 12.6 \times 6 \times 16 = 1210 \text{ LBS}$$

WALL	20 x 10	=	- 200
ROOF	20 x 10	=	- 100
FLOOR	18 x 10	=	- 90
NET UPLIFT		=	820 LBS

USE 2x6 @ 16" ON CENTER 13 POINTS w/ 2x6 PLATES
 w/ 1/2" PLYWOOD ONE FACE w/ 10" SPACERS
 & 1/2" DRYWALL ON OTHER FACE $f_v = 600 \text{ PSI} > 535$

UPLIFT CAPACITY = 800 LBS $\approx 820 \text{ LBS}$ OK

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SHEET 37 OF

PROJECT AYRES RES.

SUBJECT

$$\begin{array}{l} \text{SWH 4A} \quad V = 14.1 \text{ k} \\ L = 28'0" \quad W = 141 \text{ k} \end{array}$$

$$\begin{aligned} I_{\text{MAX}} &= 0.5 \times 2 \times \frac{14^3}{12} \\ &\quad + 0.5 \times 14 \times 2 \times 11^2 \\ &= 1923 \text{ FT}^4 \end{aligned}$$

$$S = \frac{1923}{22} = 88 \text{ FT}^3$$

$$f_v = \frac{14.1}{28} = 50.7 \text{ ft}$$

$$f_w = \frac{141}{88} = 2.17 \text{ ksf} = 15.1 \text{ psi}$$

$$T_{\text{MAX}} = 15.1 \times 6 \times 16 = 1447 \text{ \#}$$

USE SAME AS SWH 1

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SHEET 38 OF

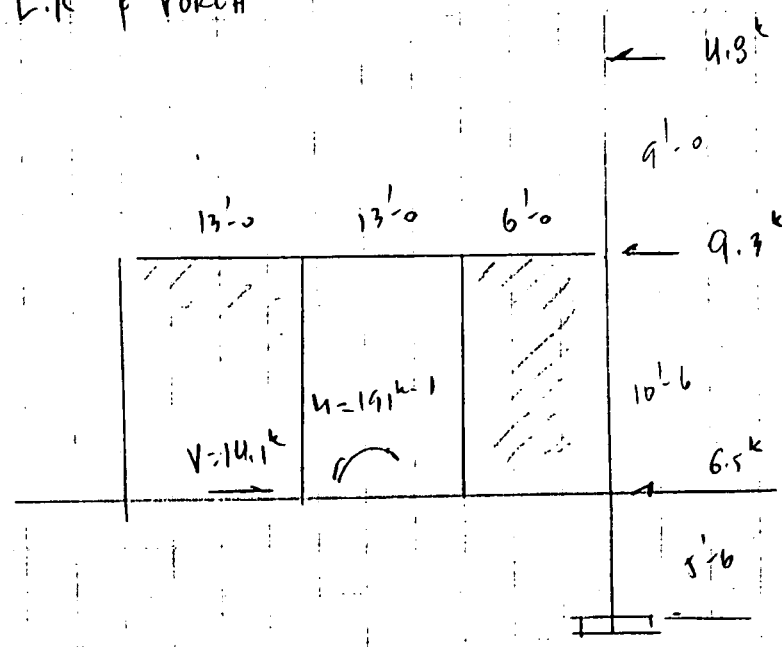
PROJECT APRES RES.

SUBJECT

SW between L.R. & PORCH

SW # 11A

l_{max} = 19'-0"



$$f_v = \frac{14.1}{19} = 742 \text{ p/ft}$$

$$I_{max} = 2 \times 0.5 \times \frac{9.5^3}{12} + 2 \times 0.5 \times 9.5 \times \frac{11.75^2}{12}$$

$$= 1273 \text{ ft}^4$$

$$S = \frac{1273}{14.5} = 87.8 \text{ ft}^3$$

$$f_m = \frac{191}{88} = 2.17 = 15.1 \text{ psi}$$

$$T_{max} = 15.1 \times 6 \times 16 = 145 \text{ #}$$

USE SW # 12

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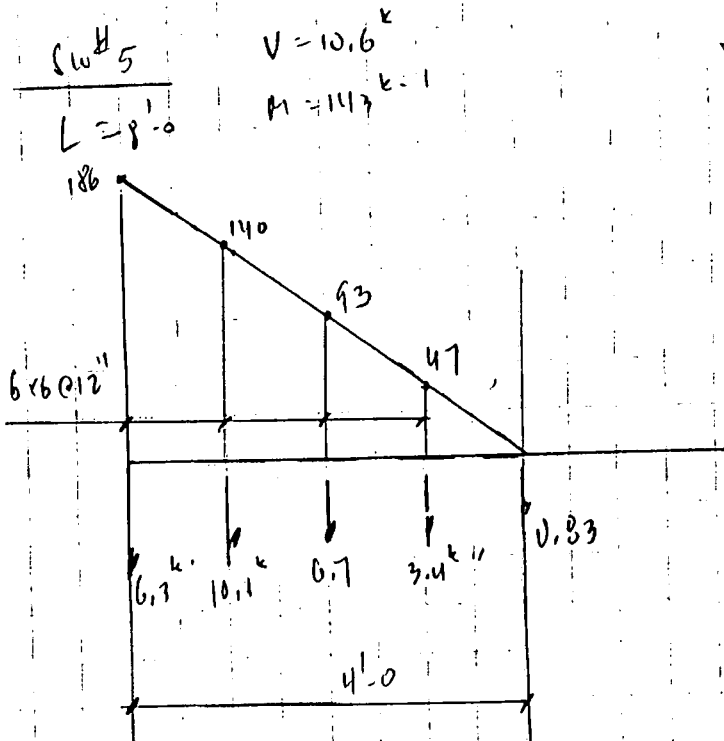
DATE 1-28-91

SHEET 30 OF

PROJECT

AYRES RES

SUBJECT



$$fv = \frac{10.6}{8} = 1.33 \text{ k/ft}$$

$$fn = \frac{114.7 \times 6}{0.5 \times 8^2} = 26.8 \text{ k/ft} = 186 \text{ psi}$$

$$T_{max} = 114.0 \times 6 \times 12 = 10.1 \text{ k}$$

USE: 6x6 POST @ 12" CC
w/ HD 8A ANCHORS P = 9.33
1/2" PLYWOOD DF w/ 10d @ 3" CC
IN 2 ROWS @ EA POST

SW # 6
L = 18'-0"

V = 10.6 k
M = 114.7 k-ft

$$fv = \frac{10.6}{28} = 378 \text{ y/ft}$$

$$fn = \frac{114.7 \times 6}{0.5 \times 28^2} = 2.2 \text{ k/ft} = 15.3 \text{ psi}$$

$$T_{max} = 15.3 \times 6 \times 16 = 1468 \text{ lb}$$

USE SAME AS SW # 1

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SHEET 40 OF

PROJECT AYRES RES.

SUBJECT

Sub # 7

L = 6'-0"

$V = 5.1^k$

$H = 69^k \cdot 1$

$f_v = \frac{5.1}{6} = 850 \text{ plf}$

$I = 2 \times 0.5 \times \frac{3^3}{12} + 2 \times 0.5 \times 3 \times \frac{8^2}{8} = 194 \text{ Ft}^4$

$S = \frac{194}{9.5} = 20.4 \text{ Ft}^3$

$f_u = \frac{69}{20.4} = 3.4 \text{ ksi} = 23.5 \text{ psi}$

$T_{MAX} = 2 \times 6 \times 12 = 1512 \text{ H}$

$- \text{ROOF, WALL, FLOOR} = \frac{312}{1200 \text{ H}} \text{ NAT VPKTS}$

Sub # 8

L = 5'-0"

$V = 4.2$

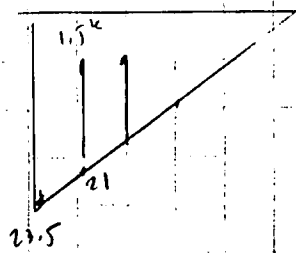
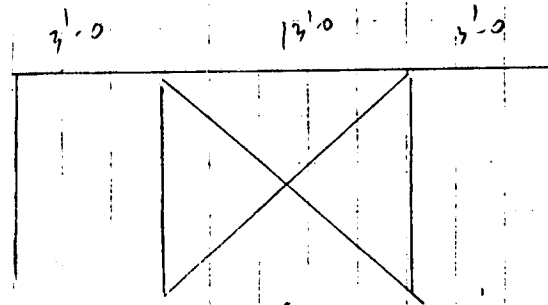
$H = 57^k \cdot 1$

$f_v = \frac{4.2}{5} = 840 \text{ plf}$

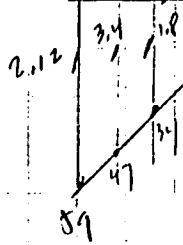
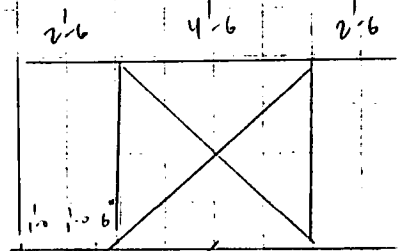
$I = 2 \times 0.5 \times \frac{2.5^3}{12} + 2 \times 0.5 \times 2.5 \times \frac{3.5^2}{8} = 32$

$S = \frac{32}{4.75} = 6.7 \text{ Ft}^3$

$f_u = \frac{57}{6.7} = 8.5 \text{ ksi} = 59 \text{ psi}$



USE: 2x6 @ 16" c.c.
w/ 5/8" PLY FF w/ 10d @ 2" f_v = 870
ID =



USE: 2-2x6 @ 12" c.c.
w/ HD 2x6 @ 12" (P = 3.2k)
w/ 5/8" PLY D.F w/ 10d @ 2" c.c. f_v = 870

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DATE 1-28-91

SHEET 41 OF

PROJECT AIRPS RES.

SUBJECT

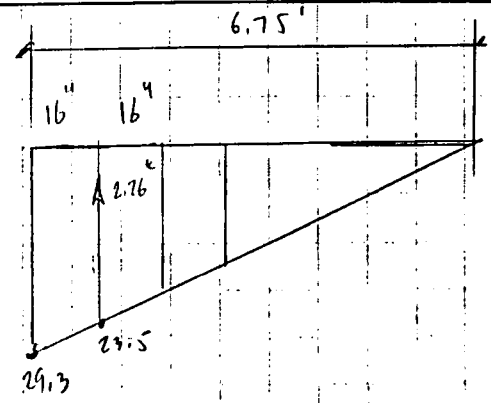
SW# 9
L = 13'-6"

$V = 4.7^k$
 $M = 64^k-ft$

$f_v = \frac{4.7}{13.5} = 3.48 \text{ psi}$

$f_m = \frac{64 \times 6}{0.5 \times 13.5^2} = 4.21 \text{ ksi} = 21.3 \text{ psi}$

$T_{MAX} = 6 \times 16 \times 23.5 = 2260 \text{ #}$

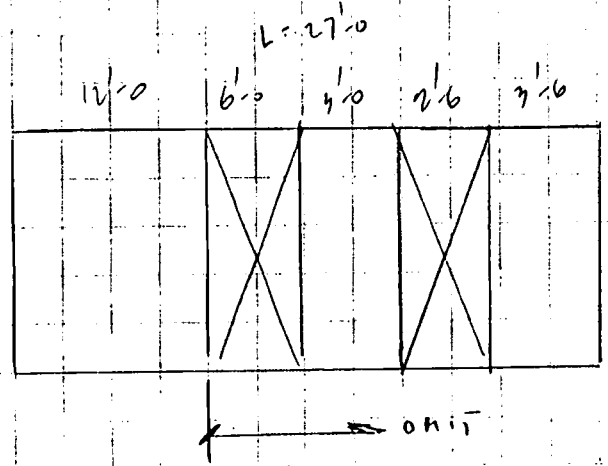


USE: 2x6 @ 16" w/ 2-2x6 PLATES
w/ 1/2" PLYWOOD ONE FACE w/ 10d @ 3"
w/ # 2 SIZ PLATE

0.8
1.88
2.68

SW# 10

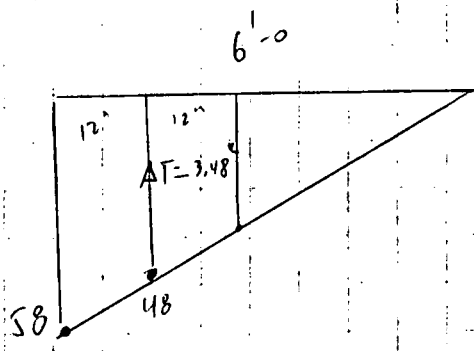
$V = 7.4^k$
 $M = 100^k-ft$
 $L_{WOM} = 18'-6"$
 $f_v = 4.00 \text{ psi}$



$f_m = \frac{100 \times 6}{0.5 \times 12^2} = 8.33 \text{ ksi} = 58 \text{ psi}$

$T_{MAX} = 48 \times 6 \times 12 = 3.48^k$

USE SAME AS SW# 8



SW# 11

USE SW# 11

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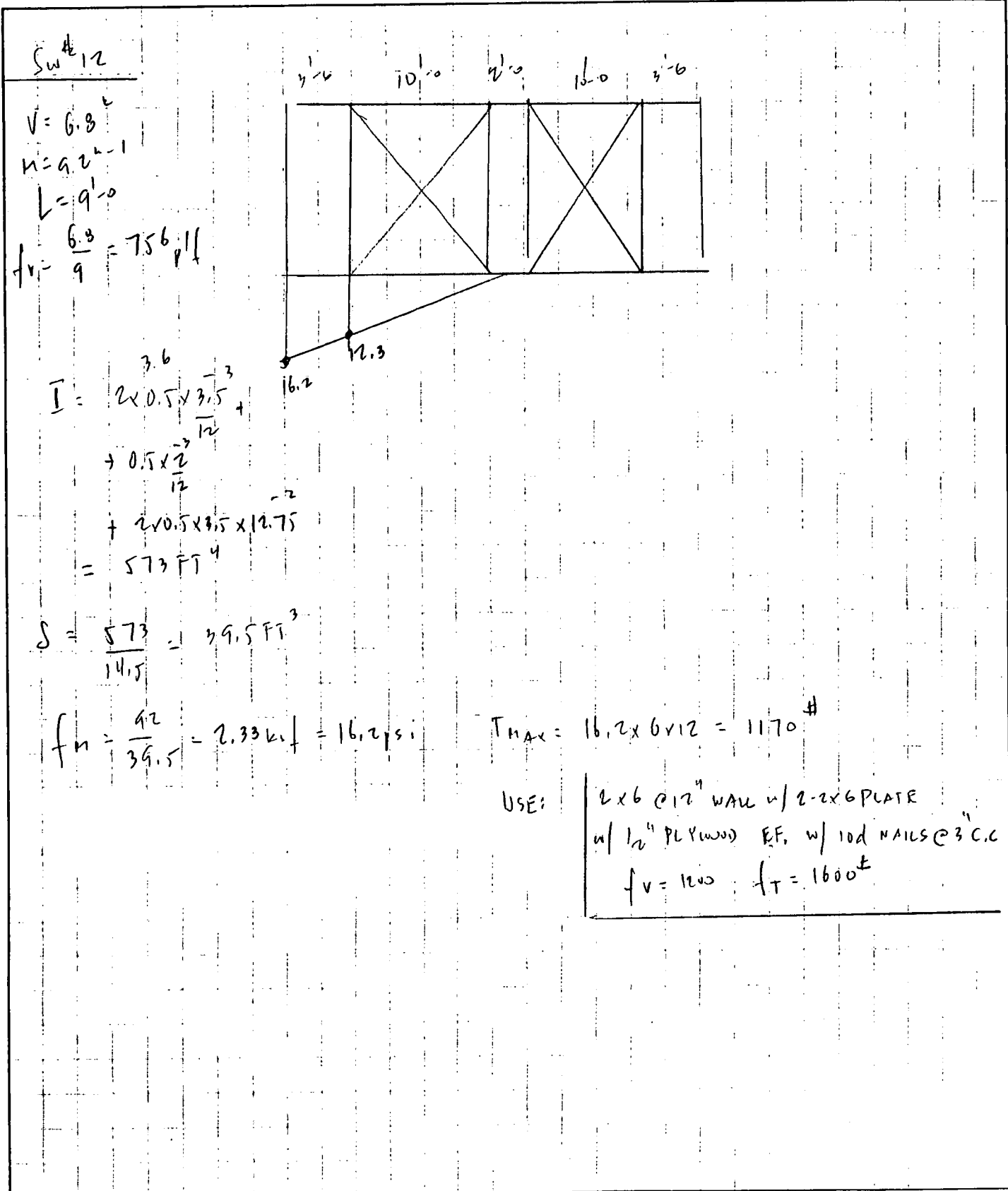
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DATE 1-28-91

SHEET 42 OF

PROJECT APRES RES.

SUBJECT



$\sum w^2 = 12$

$V = 6.8 \text{ k}$
 $h = 9.2 \text{ ft} - 1$
 $L = 9.1 \text{ ft}$
 $f_v = \frac{6.8}{9} = 756 \text{ psi}$

$I = \frac{2 \times 0.5 \times 3.5^3}{12} + 0.5 \times \frac{2^3}{12} + 2 \times 0.5 \times 3.5 \times 12.75$
 $= 573 \text{ FT}^4$

$S = \frac{573}{14.5} = 39.5 \text{ FT}^3$

$f_m = \frac{92}{39.5} = 2.33 \text{ ksi} = 16,2 \text{ psi}$

$T_{MAX} = 16.2 \times 6 \times 12 = 1170 \text{ #}$

USE: $2 \times 6 @ 12''$ WALL w/ 2×6 PLATE
w/ $1/2''$ PLYWOOD EF. w/ 10d NAILS @ 3" C.C.
 $f_v = 1200$ $f_t = 1600 \text{ #}$

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DATE 1-20-64

SHEET 43 OF

PROJECT APRIS PHS.

SUBJECT

SW # 13

$$V = 8.8$$

$$H = 119 \text{ ft}^{-1}$$

$$V = 25 \text{ ft}^{-1}$$

$$f_v = \frac{8.8}{25} = 352 \text{ ft}^{-1}$$

$$f_v = \frac{119 \times 6}{0.5 \times 25^2} = 2.78 \text{ ksf} = 16 \text{ yds}$$

$$T_{MAX} = 16 \times 6 \times 16 = 1536 \text{ #}$$

USE SAME AS SW # 1

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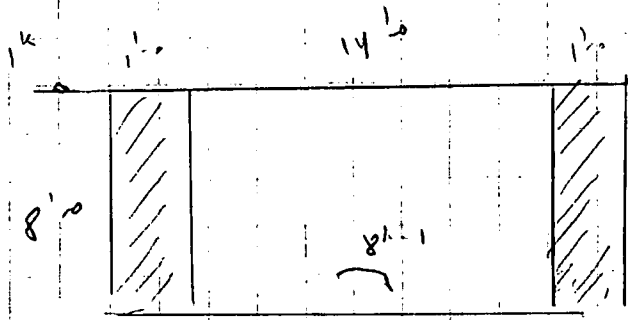
BY V. J. GERLEY DATE 1-18-84

SHEET 44 OF

PROJECT AYRES RES.

SUBJECT

(SW) C DINING ROOM



$$f_r = \frac{1}{2} = 50 \text{ psf}$$

USE 1/2" PLYWOOD PF.

$$I = 0.5 \times \frac{1^3}{12} + 2 \times 0.5 \times 1 \times 7.5^2 = 56.3 \text{ FT}^4$$

$$S = \frac{56.3}{8} = 7.03 \text{ FT}^3$$

$$f_w = \frac{8}{7.03} = 1.14 \text{ ksf} = 7.9 \text{ psf} \quad T_{\text{max}} = 7.9 \times 6 \times 12 = 576 \text{ #}$$

USE SW # 12

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DATE 1-18-94

SHEET 45 OF

PROJECT AYRIS RRS.

SUBJECT

2nd Floor SW's

$$V_{max} = 4.8^k$$
$$M_{max} = 43^k \cdot ft$$
$$L = 17'-0"$$

$$f_v = \frac{4.8}{17} = 282 \text{ psi}$$

$$f_t = \frac{43 \times 6}{0.5 \times 17^2} = 1.78 \text{ ksi} = 1780 \text{ psi}$$

$$T_{max} = 1780 \times 6 \times 16 = 172,800 \text{ #}$$

USE MSTA 36 STRAPS (L-36)

FROM 2nd FLOOR WALKS
TO 1st " " "

1/2" PLYWOOD ON EXT. FACE
w/ 10d NAILS @ 3" C.C.

$$f_v = 600 \text{ psi}$$

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SHEET 46 OF

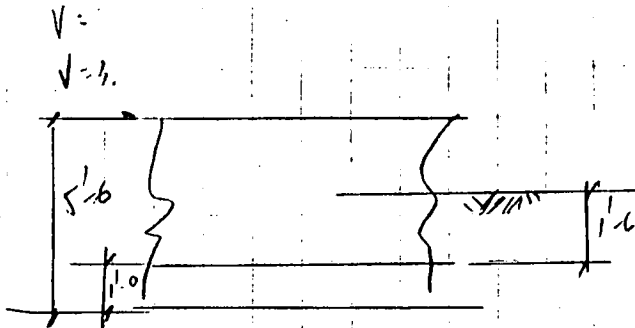
PROJECT ATRS PPS.

SUBJECT

(F1)

@ SW #1A

V = 4.7 k
M = 51 k-ft
L = 25'-0"
TRY 1'-0" x 1'-0"



WADS:

WAL 20 x 0.01 = 0.20
CHU 4 x 0.08 = 0.32
FTG 2 x 0.15 = 0.30
SOIL 1.5 x 0.1 = 0.15
0.97 k/ft

$$SP = \frac{0.49}{2} \times \frac{0.25}{2 \times 25^2} = \frac{51 \times 6}{2 \times 25^2} = 0.74 \text{ ksf} \quad \text{OK}$$

USE (F1)

(FC)

@ SW #1

V = 13.3 k
M = 144 k-ft
L = 39'-0"
USE TRY 2'-0" x 1'-0"

WADS: WAL = 0.2
CHU = 0.32
2nd FLOOR $\frac{18 \times 0.01}{2} = 0.09$
FTG 2 x 0.15 = 0.30
SOIL 1.5 x 1.5 x 0.1 = 0.225
1.11

$$SP = \frac{.56}{2} + \frac{0.29}{2 \times 39^2} = \frac{144 \times 6}{2 \times 39^2} = 0.85 \text{ ksf} \quad \text{OK}$$

$$e = \frac{M}{P} = \frac{144}{1.41 \times 16} = 6.11 \text{ ft}$$

$$a = 8 - 6.11 = 1.89$$

$$3a = 5.67$$

$$SP = \frac{2 \times 1.11 \times 16}{4.8 \times 3} = 3.13 \text{ ksf} \quad \text{OK} < 2.5 \times 1.33 = 3.33 \text{ ksf}$$

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BY V. J. Gerley DATE 1-18-94 SHEET 47 OF

PROJECT AYRES RES.

SUBJECT

~~(F2)~~ USE (F1)
@ SW # 2

$V = 10.4^k$
 $H = 113^k$
 $L = 29'-0$

SIMILAR TO SW # 1 USE (F1)

~~(F2)~~ USE (F1)
@ SW # 3

$V = 8.8^k$
 $H = 95^k$
 $L = 21'-0$

USE
TRY $2'-0 \times 1'-0$
 $SP_H = \frac{95 \times 6}{2 \times 21^2} = 0.65 \text{ ksf}$

$\Sigma \text{LOADS} = 1.11^{k/1}$
 $SP = \frac{1.11}{2} \pm \frac{.65 \times 6}{2 \times 21^2} = 1.21 \text{ ksf} \quad \text{OK}$

(F2) @ SW # 4
 $3'-0 \times 1'-0$

$V = 10.4^k$
 $H = 113^k$
 $L = 18'-0$

LOADS:	WALL	
		= 0.2
	(M1)	= 0.32
	1ST FLR $\frac{25}{2} \times 0.01$	= 0.13
	FTG 3×0.15	= 0.45
	SOIL $2.33 \times 1.5 \times 0.1$	= 0.35
		<hr/> 1.45 ^{k/1}

$e = \frac{H}{P} = \frac{113}{1.15 \times 18} = 4.33'$

$a = 9 - 4.33 = 4.67$

$SP = \frac{2 \times 1.15 \times 18}{3 \times 4.67 \times 3} = 1.24 \text{ ksf} \quad \text{OK}$

SLIDING
 $\Sigma P = 1.15 \times 18 = 20.7$
 $\mu = 0.4$
 $F = 0.4 \times 20.7 = 8.28^k$
 $F_s = \frac{10.14}{8.28} = 1.0 + \quad \text{OK}$

V. J. GERLEY & ASSOCIATES
CONSULTING ENGINEERS

3190 N.E. MAPLE AVENUE JENSEN BEACH, FL 34957 (407) 334-2600

BY V. J. Gerley

DATE 1-28-61

SHEET 49 OF

PROJECT AGRES RES.

SUBJECT

~~F4~~ @ SW #6
USE (F2)

V = 15.5 k
M = 229 k-ft
L = 40'-0"

WADS
WALL + CHD = 0.52
FTG 3 x 0.15 = 0.45
SOIL 2.33 x 1.5 x 1 = 0.35
1.32

$$SP = \frac{1.32}{3} + \frac{229 \times 6}{3 \times 40^2} = 0.731 \text{ ksf}$$

SLIDING F = 0.4 x 40 x 1.32 = 21.1
FS = $\frac{21.1}{15.5} = 1.36$ OK

~~F4~~ @ SW #7
USE (F2)

V = 6.2
M = 75 k-ft
L = 20'-0"

USE (F2)

~~F4~~ @ SW #8
USE (F2)

V = 7.1
M = 73 k-ft
L = 16'-0"

WADS:
WALL + CHD = 0.52
1st FLR = $\frac{22 \times 0.01}{2} = 0.11$
2nd FLR = 0.11
FTG 3 x 0.15 = 0.45
SOIL 2.33 x 1.5 x 0.1 = 0.35
1.54

$$SP = \frac{1.54}{3} + \frac{73 \times 6}{3 \times 16^2} = 1.08 \text{ ksf OK}$$

SLIDING F = 0.11 x 16 x 1.54 = 9.85
FS = $\frac{9.85}{7.1} = 1.39$ OK

USE (F2)

V. J. GERLEY & ASSOCIATES
CONSULTING ENGINEERS

3190 N.E. MAPLE AVENUE JENSEN BEACH, FL 34957 (407) 334-2600

BY V. J. Gerley DATE 1-28-11

SHEET 51 OF

PROJECT A YAES RES.

SUBJECT

(211)

L = 14'-0"

$$\begin{aligned} W_{\text{FLOOR}} &= 0.07 \times \frac{14}{2} = 0.49 \\ W_{\text{WALL}} &= 8 \times 0.02 = 0.16 \\ W_{\text{ROOF}} &= 12.5 \times 0.05 = 0.63 \\ & \underline{\hspace{1.5cm}} \\ & 1.28 \text{ k/ft} \end{aligned}$$

$$H = 1.78 \times \frac{14^2}{8} = 31.4 \text{ k-ft}$$

USE
~~1 1/2"~~ 3-1 3/4" x 16 H LAM

$$S_R = \frac{31.4 \times 12}{2.8} = 135.4 \text{ }^3 < 222 \text{ OK}$$

$$\begin{aligned} S &= 3 \times 74 = 222 \\ I &= 595 \times 3 = 1785 \end{aligned}$$

$$\Delta = \frac{5 \times 1.78 \times 14^4 \times 1785}{384 \times 2000 \times 1785} = 0.31 \text{ " OK}$$

(212)

L = 12'-0"

$$\begin{aligned} W_{\text{FLOOR}} &= \frac{8.5}{2} \times 0.07 = 0.30 \\ W_{\text{WALL}} &= 8 \times 0.02 = 0.16 \\ W_{\text{ROOF}} &= 18.5 \times 0.05 = 0.93 \\ & \underline{\hspace{1.5cm}} \\ & 1.39 \text{ k/ft} \end{aligned}$$

$$H = 1.39 \times \frac{12^2}{8} = 27.2 \text{ k-ft}$$

USE 3-1 3/4" x 16 H LAM

(213)

L = 18'-0"

$$\begin{aligned} W_{\text{FLOOR}} &= 3 \times 0.07 = 0.21 \\ W_{\text{WALL}} &= 8 \times 0.02 = 0.16 \\ & \underline{\hspace{1.5cm}} \\ & 0.4 \text{ k/ft} \end{aligned}$$

$$H = 0.4 \times \frac{18^2}{8} = 16.2 \text{ k-ft}$$

USE
~~1 1/2"~~ 2-1 3/4" x 16 H LAM

$$S_R = \frac{16.2 \times 12}{2.8} = 69.4 \text{ }^3$$

$$\begin{aligned} S &= 148 \\ I &= 1190 \end{aligned}$$

$$\Delta = \frac{5 \times 0.4 \times 18^4 \times 1190}{384 \times 2000 \times 1190} = 0.4 \text{ " OK}$$

V. J. GERLEY & ASSOCIATES
CONSULTING ENGINEERS

3190 N.E. MAPLE AVENUE JENSEN BEACH, FL 34957 (407) 334-2600

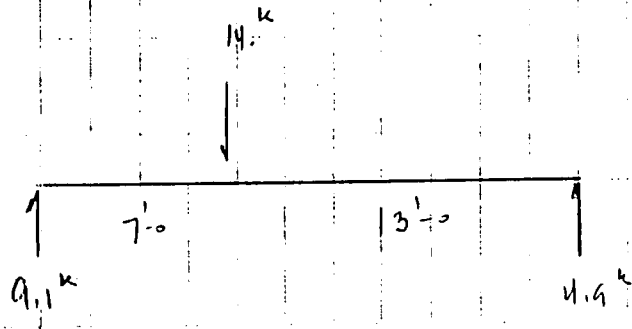
BY L. L. GALEY DATE 1-28-91

SHEET 53 OF

PROJECT AYRES RES.

SUBJECT

287



$$M = 9.1 \times 7 = 63.7 \text{ k-ft}$$

$$S_r = \frac{63.7 \times 12}{2.8} = 273 \text{ in}^3$$

USE
~~TYP~~ 4-1³4 x 16 HUAN

$$\Delta = \frac{14 \times 7 \times 13 (7 + 2 \times 13) \sqrt{3 \times 7 (7 + 2 \times 13)} \times 1778}{27 \times 2000 \times 2380 \times 20}$$

$$S = 4 \times 711 = 2844$$

$$I = 4 \times 595 = 2380$$

$$\Delta = 0.744 = \frac{1}{322} \text{ OK}$$

288

BALCONY

$$W = 0.027 \times 0.90 = 0.024 \text{ k-ft}$$

$$L = 15'-0"$$

$$W = \frac{0.024 \times 11}{2} = 0.132$$

$$M = \frac{0.132 \times 15^2}{8} = 2.925 \text{ k-ft}$$

$$S_r = \frac{2.925 \times 12}{1.44} = 24.3 \text{ in}^3$$

USE 3-2x12 w/1/2" FLOOR

$$S = \frac{5.5 \times 11.5^2}{6} = 121$$

$$\Delta = 0.48 \text{ OK}$$

$$I = 696 \text{ in}^4$$

JOISTS

$$L = 11'-0"$$

$$M = \frac{0.08 \times 1.33 \times 11^2}{8} = 1.6 \text{ k-ft}$$

$$S = \frac{1.6 \times 12}{1.44} = 13.3 \text{ in}^3$$

USE 2x10 @ 16" OC

$$\Delta = \frac{5 \times 0.106 \times 11^4 \times 1778}{384 \times 1300 \times 116} = 0.2 \text{ OK}$$

289

USE 6x10 PT (EXPOSED)

V. J. GERLEY & ASSOCIATES
CONSULTING ENGINEERS

3190 N.E. MAPLE AVENUE JENSEN BEACH, FL 34957 (407) 334-2600

BY V. J. Gerley DATE 1-18-91

SHEET 54 OF

PROJECT AYRFS RFS.
SUBJECT

(2410)
L = 24'-0"

$$W_{ROOF} = 14 \times 0.05 = 0.70$$

$$W_{WALL} = 8 \times 0.02 = \frac{0.16}{0.86}$$

$$H = 0.86 \times \frac{24^2}{8} = 61.9 \text{ k-ft}$$

$$R = 11.5 \text{ k}$$

$$S_R = \frac{61.9 \times 12}{2.8} = 265 \text{ in}^3$$

USE
TR/1 A-1³ 4x16 H/LAM

$$\Delta = \frac{5 \times 0.86 \times 24^4 \times 1728}{38.1 \times 2000 \times 2380} = 1.35 \text{ in}$$

$$= L/213$$

$$S = 4 \times 74 = 296 \text{ in}^3$$

$$I = 4 \times 595 = 2380$$

(2411) GARAGE
L = 10'-6"

$$W_{ROOF} = 6 \times 0.05 = 0.3$$

$$W_{WALL} = 8 \times 0.02 = 0.16$$

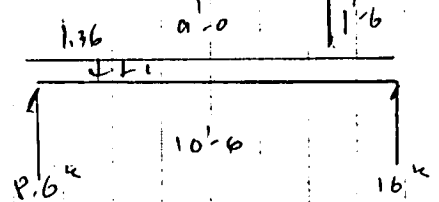
$$W_{FLOOR} = 15 \times 0.06 = \frac{0.90}{1.36} \text{ L-11}$$

$$P = 10.3 \text{ k @ 1'-6"}$$

10.3 k (2410)

$$H = 8.6 \times 6.33 - \frac{1.36 \times 6.33^2}{2} = 27.2 \text{ k-ft}$$

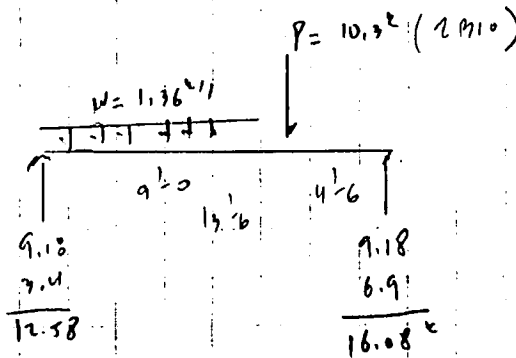
$$S = \frac{27.2 \times 12}{2.8} = 117 \text{ in}^3$$



USE 3-1³ 4x16 H/LAM

$$S = 222$$

(2412) GARAGE
L = 13'-6"



$$H_{MAX} = 12.58 \times 9 = 113.6 \times \frac{9}{2} = 58 \text{ k-ft}$$

$$S_R = \frac{58 \times 12}{2.8} = 249 \text{ in}^3$$

USE 4-1³ 4x16 H/LAM
S = 266 in³

V. J. GERLEY & ASSOCIATES
CONSULTING ENGINEERS

3190 N.E. MAPLE AVENUE JENSEN BEACH, FL 34957 (407) 334-2600

BY I. I. HANEY DATE 1-28-94

SHEET 55 OF

PROJECT APRES RES.

SUBJECT

(RB2) USE 3-2X10 w/ 1/4" FLANGES

$$S = 83$$

$$I = 393$$

SEE (2B4)

(RB3) $L = 17'-0"$

$$W_{D+L} = 7 \times 0.05 = 0.35 \text{ k/ft}$$

$$W_{WIND} = 1.8 \times 20 \times 7 = 0.25 \text{ k/ft}$$

$$M = \frac{0.35 \times 17^2}{8} = 12.6 \text{ k-ft}$$

$$S_P = \frac{12.6 \times 12}{1.4} = 108$$

USE 6x12 PT

$$S = 121$$

$$I = 696$$

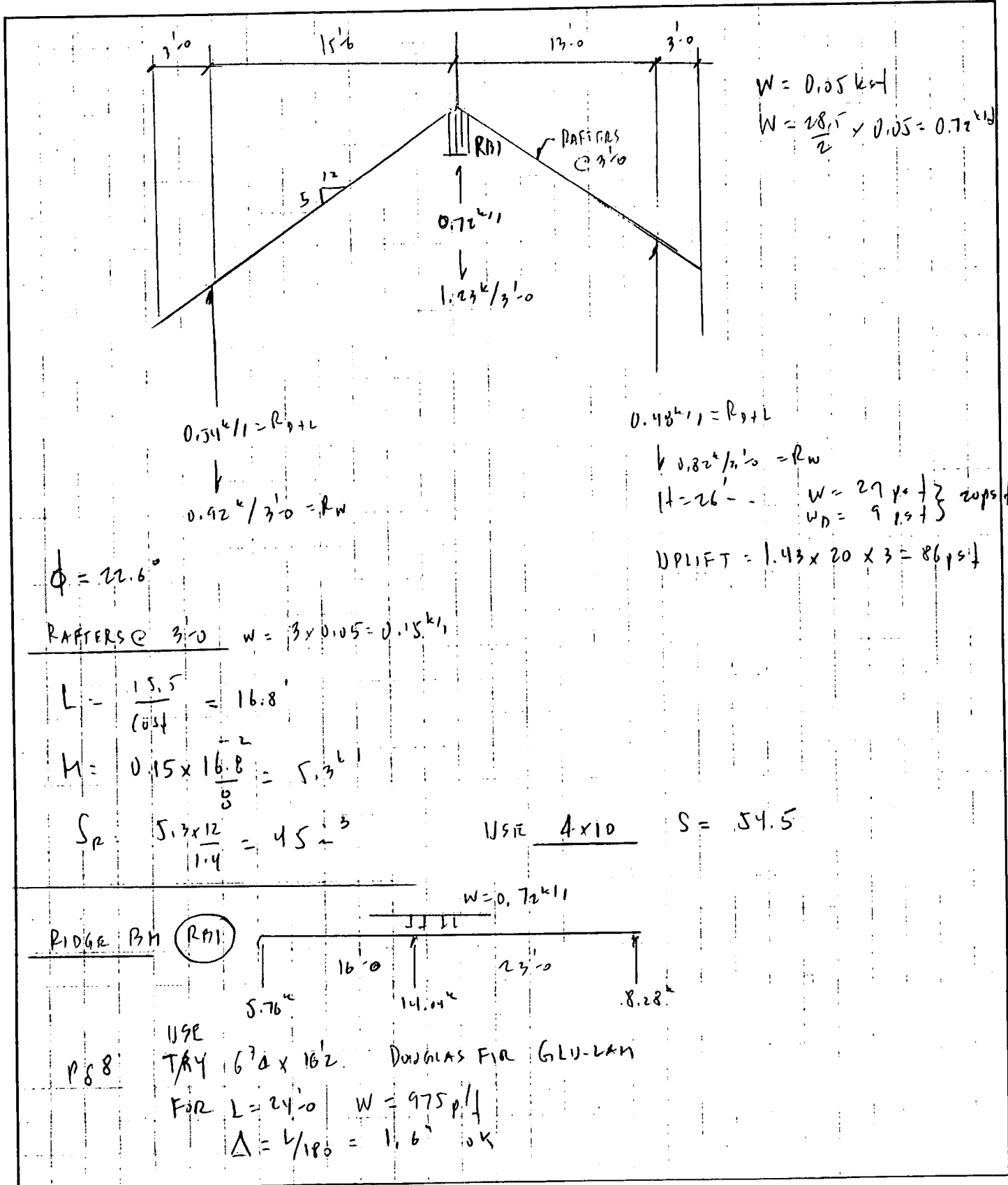
V. J. GERLEY & ASSOCIATES
CONSULTING ENGINEERS

3190 N.E. MAPLE AVENUE JENSEN BEACH, FL 34957 (407) 334-2600

BY V. J. GERLEY DATE 1-28-94 SHEET 56 OF

PROJECT AYRES PFS.

SUBJECT



V. J. GERLEY & ASSOCIATES
CONSULTING ENGINEERS

3190 N.E. MAPLE AVENUE JENSEN BEACH, FL 34957 (407) 334-2600

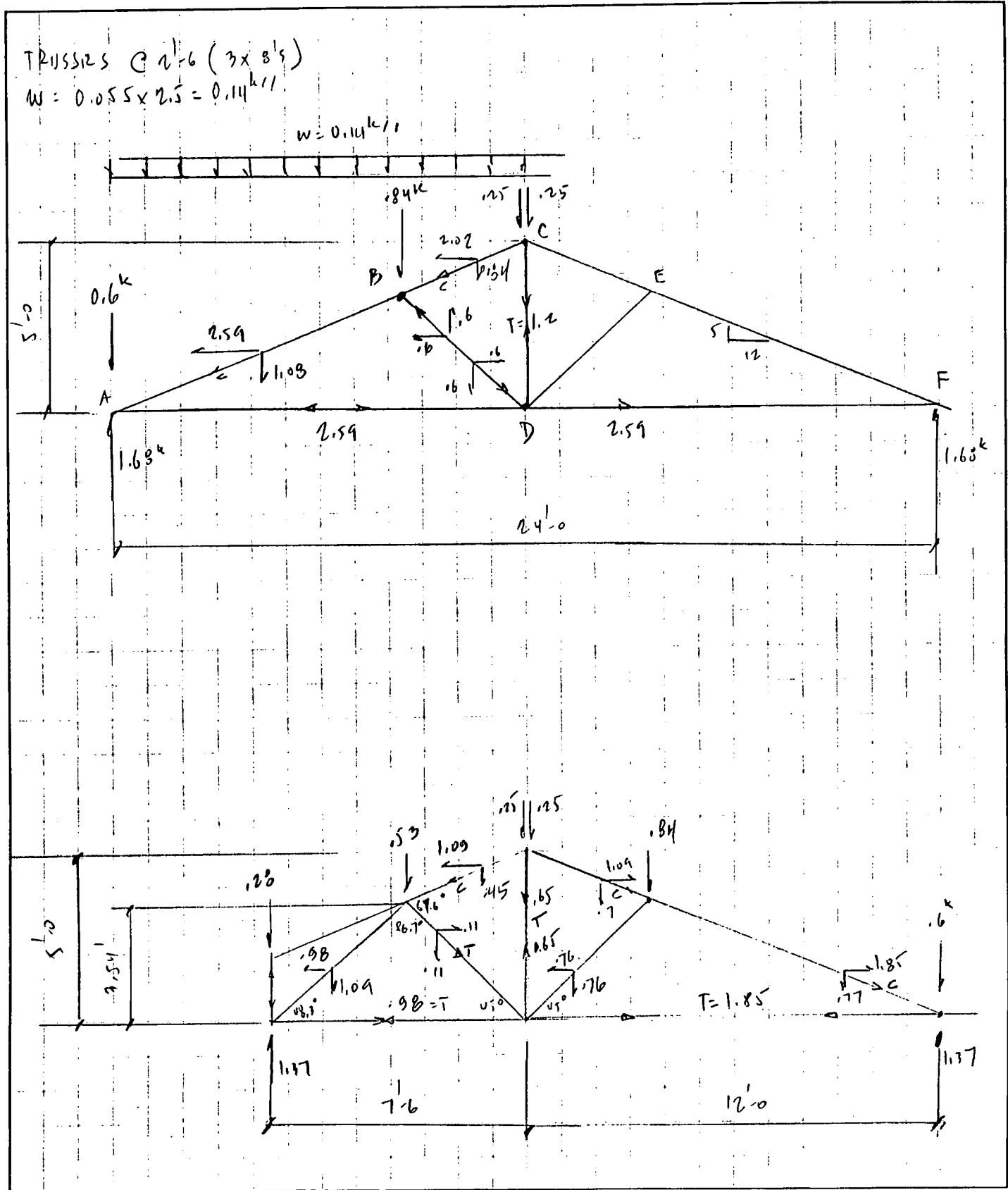
BY V. J. Gerley

DATE 1-18-01

SHEET 57 OF

PROJECT AYRES PITS.

SUBJECT



V. J. GERLEY & ASSOCIATES
CONSULTING ENGINEERS

3190 N.E. MAPLE AVENUE JENSEN BEACH, FL 34957 (407) 334-2600

BY V. J. Gerley

DATE 1-18-64

SHEET 50 OF

PROJECT

APRFS RES.

SUBJECT

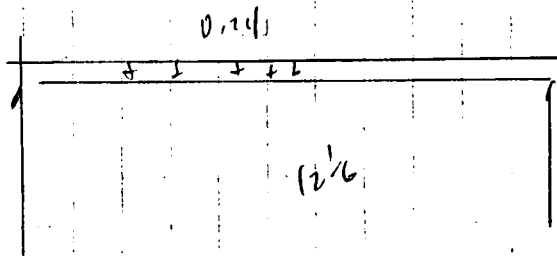
SHELF

8" SLAB

$$w_{SUP} = 0.67 \times 0.15 \times 1.4 = .14$$

$$w_{LL} = 0.06 \times 1.7 = .1$$

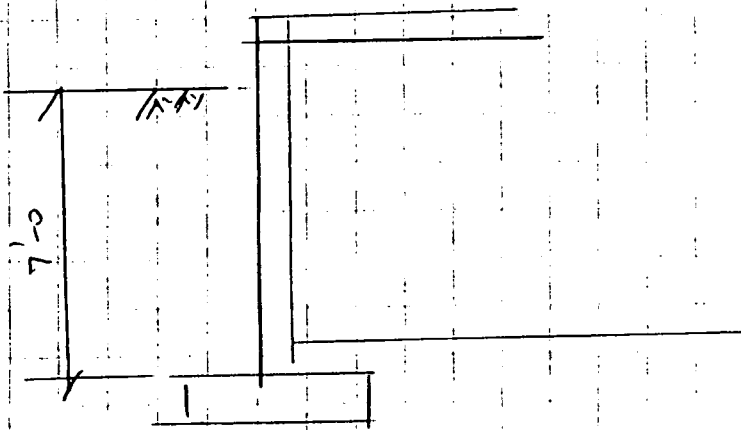
$$\frac{.14}{.14 + .1} = .56$$



$$h = 0.24 \times \frac{12.5}{8} = 4.7$$

$$A_s = \frac{4.7}{3.5 \times 6} = 0.22$$

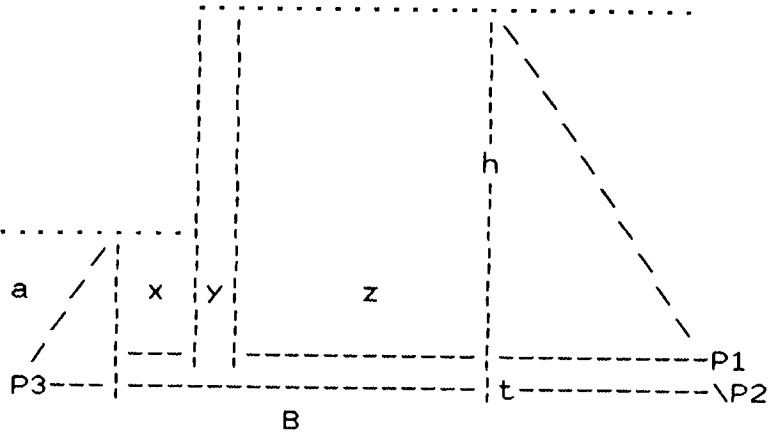
Use #4 @ 12" P.T. R.W.



RETWALL.WKS

PROJECT:AYRES RES

.14 w conc.
 .11 w soil
 .33 Ka
 3 Kp
 1.67 x
 .67 y
 1.66 z
 4 B
 1 t
 7 h
 1.5 a=t+.5(min.)



.2541 P1
 .2904 P2
 .495 P3

2.07515 Mwall

.3094652 A_s (WSD for CMU)

3.81 d

3.0976 OTM

6.56507 RM

✓ 2.11941 F.S.(OT)

2.58665 Sum of P

2.53806 x'(CG loads)

.5380596 e

1.39177 Me

1.70583 Sum M (OTM-Me)

1.1616 Sum Ha

37125 Sum Hp

1.21032 F.S.(Sliding) $u=.4$ OK TEMPORARY

.6594739 e'

1.34053 a'if $> B/3$ $SP=P/A+M/S$

1.28639 SP

.0225387 Deflection

.23148 A_s (USD for CIP wall)

1.28635 $SP=P/A+M/S$

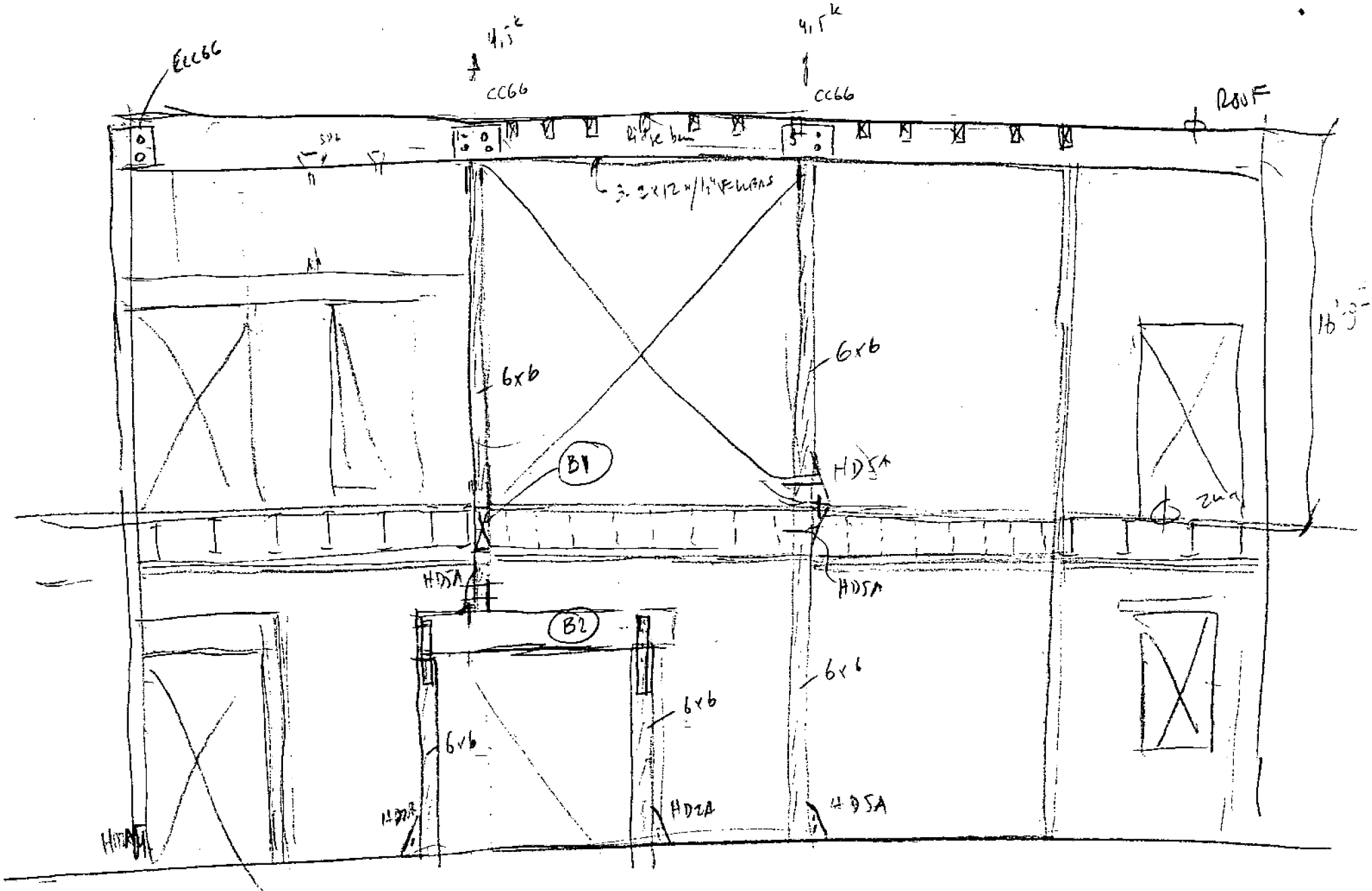
.0329946 A_s (Ftg,top)

↓ Sell $A_s = 0.23 \text{ in}^2$ OK since load is temporary

AYRES BURST HOUSE

Sw 1

V.J. Gerley & Associates
3190 N.E. Maple Ave.
Jensen Beach, FL 34957



RECORD OF INSPECTIONS
TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 3/7/96

This is to request that a Certificate of Approval for Occupancy be issued to Mr Fred Ayres.

For property at 15 South River Road built under Permit No. 3599 Dated 5/9/94 when completed in conformance with the Approved Plans.

Signed Karl M. Ayres

ITEM	DATE	APPROVED BY: (initials)
1. Form board tie in	<u>6/19/94</u>	<u>DB</u>
2. Termite protection	<u>6/21/94</u>	<u>DB</u>
3. Footing - slab	<u>5/12/94</u>	<u>DB</u>
4. Rough plumbing - slab	<u>7/7/94</u> <u>7/21/94</u>	<u>DB</u>
5. Rough electric - slab	<u>N/A</u>	<u>—</u>
6. Lintel	<u>8/19/94</u>	<u>DB</u>
7. Dry in (final)	<u>3/14/95</u>	<u>DB</u>
8. Roof	<u>4/11/95</u>	<u>DB</u>
9. Framing	<u>12/24/94</u>	<u>DB</u>
10. Rough electric	<u>12/22/94</u>	<u>DB</u>
11. Rough plumbing	<u>12/22/94</u>	<u>DB</u>
12. A/C Ducts	<u>12/22/94</u>	<u>DB</u>
13. Insulation	<u>2/5/95</u>	<u>DB</u>
14. Final electric	<u>3/6/96</u>	<u>DB</u>
15. Final plumbing	<u>3/6/96</u>	<u>DB</u>
16. Final construction	<u>3/6/96</u>	<u>DB</u>
17. As-built survey	<u>2/5/96</u>	<u>DB</u>
18. Affidavit of cost	<u>3/6/96</u>	<u>DB</u>

Final Inspection for Issuance of Certificate for Occupancy

Approved by Building Inspector Dale Brown 3/7/96 date

Approved by Building Commissioner _____ date

Utilities notified F.P.L. 2/14/96 date

Original Copy sent to OWNER date
(owner)

(Keep carbon copy for Town files)

3693

GUEST HOUSE

TOWN OF SEWALL'S POINT BUILDING PERMIT

PARCEL CONTROL NUMBER _____

PERMIT NUMBER 3693

DATE ISSUED 11/29/94

OWNER Mr Fred Ayres

CONTRACTOR OR OWNER/BLDR. Rex Ford

ADDRESS _____

ADDRESS PO Box

CITY/ST/ZIP _____

CITY/ST/ZIP Vero Beach

TELEPHONE _____

TELEPHONE 287 9854

FLOOD ZONE NONE

TO BE CONSTRUCTED HOUSE

SITE ADDRESS 15 SRK

SUBDIVISION HERITAGE

CONSTRUCTION VALUE 136000

ONE PER BLDG. PERMIT. MAX. THREE SIGNS PER JOB. MAX. SIZE TWO SQUARE FEET. BLACK & WHITE.

BLDG. PERMIT GOOD FOR ONE YEAR. AT EXPIRATION A NEW PERMIT FEE MUST BE PAID.

FEES

REMODELING/NEW CONSTRUCTION _____

PLUMBING 100.00

IMPACT MR

ELECTRICAL 100.00

RADON 26.50

MECH./A.C. 100.00

SEPTIC _____

ROOF 100.00

WELL _____

WALL _____

FENCE _____

POOL ENCLOSURE _____

POOL _____

OWNER/BUILDER _____

DOCK _____

TOTAL 1514.50

PAID BY CHECK 304

BUILDING INSPECTION

(FOR OFFICIAL USE ONLY)

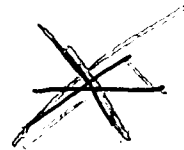
(SIGN OFF)

FORM BOARD SURVEY _____	DATE _____	NAILING _____	DATE _____
ROUGH PLUMBING _____	DATE <u>2/21/95</u>	ROOF <u>9/11/95 DB</u>	DATE _____
TERMITE PROTECTION _____	DATE _____	INSULATION <u>3/14/95 DB</u>	DATE _____
FOOTING-SLAB <u>OK</u>	DATE <u>10/20/94 DB</u>	FINAL ELECTRIC _____	DATE _____
LINTEL <u>NK</u>	DATE _____	FINAL PLUMBING _____	DATE _____
ROUGH ELECTRIC <u>OK</u>	DATE <u>2/21/95 DB</u>	SEPTIC FINAL _____	DATE _____
FRAMING <u>OK</u>	DATE <u>2/21/95 DB</u>	DRIVEWAY _____	DATE _____
A/C DUCTS <u>OK</u>	DATE <u>2/21/95 DB</u>	FINAL C.O. _____	DATE _____

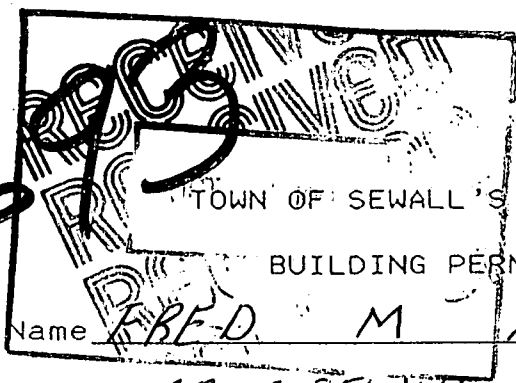
PERMIT AUTHORIZED BY _____

Dale Brown

- Call 287-2455 from 8:00 a.m. to 4:00 p.m. for inspections.
- Requests for inspections require 24 hours notice.
- All work must be in compliance with the Town of Sewall's Point ordinances, the South Florida Building Code, the State of Florida Energy Efficiency Building Code and Elevations based on the latest flood insurance rate map.
- Portable toilet facilities and haul-off trash container must be in job site before initial inspection.
- Working hours are from 8:00 a.m. to 5:00 p.m. Monday through Saturday.
- No trucks, trailers or other commercial vehicles may be left on job site overnight unless totally concealed. Violators will be cited. Questions regarding such equipment should be directed to the Building or Police Departments.



36993



Tax Folio No. _____

TOWN OF SEWALL'S POINT, FLORIDA

BUILDING PERMIT APPLICATION

(SEE TAX ROLL
NAME IS:
Frederic M. Ayres)

Owner's Name FRED M AYRES

Owner's Address 60 S. SEWALLS Pt. Rd. PO Box 2803 SEWALLS Pt. FL 34996

Owner's Telephone 288-2833

Fee Simple Titleholder's Name (if other than owner) _____

Fee Simple Titleholder's Address (if other than owner) _____

City _____ State _____ Zip _____

Contractor's Name REXFORD BIRDS INC

Contractor's Address P.O. Box 650099

City VERO BEACH State FL Zip _____

Contractor's Telephone 287-9854 License Number CB0 026756

Job Name AYRES

Job Address 15 S. RIVER Rd. SEWALLS Pt. FL

City Town of Sewall's Point State Florida Zip 34996

Legal Description 15 S. RIVER Rd. lots 10+25

HERITAGE PLACE SEWALLS Pt. FL 34996

Bonding Company _____

Bonding Company Address _____

City _____ State _____

Architect/Engineer's Name J. MCCARTY

Architect/Engineer's Address 414 BIRWOOD STUART FL

Mortgage Lender's Name _____

Mortgage Lender's Address _____

UNITY OF TITLE

The undersigned, Frederick M. Ayres, does hereby certify that he is the owner in fee simple of two adjacent parcels of land being more particularly described as follows:

Lot No. 10, less the south five feet thereof, of Heritage Place, according to the Plat thereof recorded in Plat Book 10, Page 2, Public Records of Martin County, Florida; and

Lot No. 25 of Heritage Place, according to the Plat thereof recorded in Plat Book 10, Page 2, Public Records of Martin County, Florida (Lot 10 and Lot 25 hereinafter collectively referred to as the "Lots"), and

does hereby covenant and agree to restrict the use of said Lots in the following manner:

1. Said Lots shall be considered as one plot and parcel of land, shall be held under single ownership and shall not be transferred, conveyed, sold, devised, assigned or otherwise transferred separately in any unit other than in its entirety.

2. Nothing herein contained shall limit, in any manner, the undersigned's ability, or that of his successors or assigns, to lease, mortgage or encumber the property or any part thereof.

3. The undersigned further agrees that this condition, restriction and limitation shall be deemed a covenant running with the land and shall remain in full force and effect and be binding on the undersigned, his successors and assigns, until such time as the same may be released in writing by the Town Commission for the Town of Sewall's Point, Florida.

4. The undersigned further agrees that this instrument shall be recorded in the Public Records of Martin County, Florida.

IN WITNESS WHEREOF, the undersigned has executed these presents on the date indicated below.

Signed, sealed and delivered in the presence of:

Brenda Atkemper
Signature

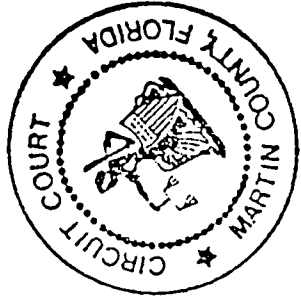
Brenda Atkemper
Print Name

Peter A. Mudgett
Signature

Peter A. Mudgett
Print Name

Frederick M. Ayres
Frederick M. Ayres

Date: 4/12/94



STATE OF FLORIDA

COUNTY OF MARTIN

I HEREBY CERTIFY that the foregoing instrument was acknowledged before me this 12th day of April, 1994, by Frederick M. Ayres. Frederick M. Ayres is personally known to me or has produced _____ as identification.

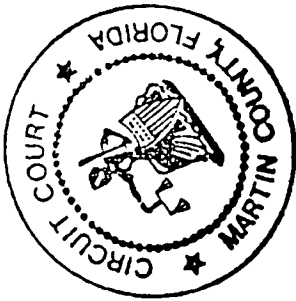
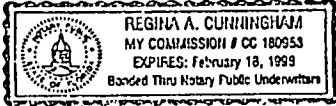
NOTARY

Regina A. Cunningham
Signature

Regina A. Cunningham
Print Name

2/16/96
Commission Expiration Date

(NOTARIAL SEAL)



STATE OF FLORIDA
COUNTY OF MARTIN

THIS IS TO CERTIFY THAT THIS IS A
TRUE AND CORRECT COPY OF THE
ORIGINAL

MARSHA STILLER, CLERK
BY W. J. Williams, Jr.
DATE 4-14-94

WARNER, FOX, SEELEY, DUNGEY & SWEET

ATTORNEYS, P.A.

1100 S. FEDERAL HIGHWAY
P.O. DRAWER 6
STUART, FLORIDA 34995-0006
(407) 287-4444
TELEFAX (407) 220-1489

DEBORAH B. BEARD
KENNETH W. FROMKNECHT, II
LOUIS E. LOZEAU, JR.
BETH TEARDO PRINZ
TIM B. WRIGHT

JUPITER (407) 744-6499

RICHARD J. DUNGEY*
M. LANNING FOX*
THOMAS R. SAWYER*
ROBERT L. SEELEY
GARY L. SWEET
THOMAS E. WARNER**

AARON A. FOOSANER
OF COUNSEL

*BOARD CERTIFIED REAL ESTATE LAWYER
**BOARD CERTIFIED CIVIL TRIAL LAWYER

ST. LUCIE COUNTY OFFICE
BARNETT CENTER
900 EAST PRIMA VISTA BOULEVARD
SUITE 400
PORT ST. LUCIE, FLORIDA 34952
(407) 878-3814
TELEFAX (407) 879-6327

November 9, 1994

Ms. Karen D. Kaplan
Gunster, Yoakley & Stewart, P.A.
10 Central Parkway
Suite 400
Stuart, FL 34994

(Via Telefax)
(288-0610)

RE: **Town of Sewall's Point; Fred M. Ayres**

Dear Karen:

This letter confirms our telephone conversation of Monday, November 7, 1994. Mr. Ayres' application for permission to construct a guest house on his property has been forwarded to us for review. We have reviewed the proposed plans and will recommend that the application be granted, assuming that the plans for the proposed guest house otherwise meet the technical requirements of the Town of Sewall's Point Code of Ordinances.

In connection with our review of the guest house application, however, it has come to our attention that the primary residence and detached garage currently under construction are located over a ten-foot drainage and utility easement which runs between the two lots (the "Easement"). The Easement was not shown on the plans submitted with the building permit application for the primary residence, which is a violation of Section 4-17(D) of the Town Code. The Town has the authority under the Town Code to revoke the building permit for the primary residence. As an accommodation to Mr. Ayres, the Town Building Commissioner has decided not to do so at this time, provided that this accommodation shall not be construed as an express or implied ratification of Mr. Ayres' building permit, which was obtained in violation of the Town Code. In addition, this accommodation is contingent on Mr. Ayres making application for the abandonment of the Easement within ten (10) days. Any construction Mr. Ayres elects to continue on the property will be at his own risk.

While we do not now see any major legal obstacles to the Town abandoning the Easement upon a proper application by Mr. Ayres, the Town Building Department does not and cannot agree or imply that the Easement will be abandoned. The decision regarding abandonment

Ms. Karen D. Kaplan
November 9, 1994
Page - 2 -

can only be made by the Town Commission after appropriate public notice and hearing and upon the advice of the utility companies and the Town Engineer (and South Florida Water Management District, if it has jurisdiction over the surface water management plan for the subdivision) regarding the necessity of the easement. Therefore, this letter must be considered as formal notice to Mr. Ayres that no certificate of occupancy for the primary residence or any other structures encroaching into the Easement will be granted unless and until the Easement is abandoned by the Town.

With respect to abandonment of the Easement, because the Code of Ordinances does not have a standard set of requirements relating to abandonment of utility easements, the Town uses the procedure for closing, vacating, or altering streets found in Section 13-31 of the Code of Ordinances (a copy of that section is enclosed for your convenience).

Under Section 13-31, you should submit a written request to the Town for a resolution declaring the Town's intention to abandon the Easement. Please submit this request to the Town at least ten (10) days prior to the Workshop Meeting at which the resolution will be discussed. The Town holds its Workshop Meetings on the first Wednesday of each month and its Regular Meetings on the second Wednesday.

Once passed, a copy of the resolution of intent to abandon the Easement must be served by Certified U.S. Mail on each of the owners of the property abutting the property upon which the utility easement will be abandoned (in Mr. Ayres' case, he should be the only owner of property abutting the petition site, however, you should certify this as described below). The resolution must state the time, date, and place of the public meeting at which the ordinance to abandon the utility will be adopted, and that interested persons may attend the meeting and object to the abandonment at that time. In addition to sending the resolution by Certified U.S. Mail, the notice of the meeting in which the Town Commission intends to adopt the ordinance abandoning the Easement must be published in a newspaper of general circulation (the Stuart News or the Palm Beach Post) at least fifteen (15) days prior to the public meeting at which all persons who object to the abandonment may appear and be heard. After a hearing on the objections, the Town Commission may then, by ordinance, vacate the Easement. Your applicant will be required to complete both the mailing and the publication and to provide appropriate certificates at or before the meeting at which the abandonment ordinance is to be adopted. In addition to the requirements set forth in Section 13-31, the Town will also require, prior to issuing a resolution of its intent to abandon the utility easement, the following items:

1. A complete list of the owners abutting the petition site, certified by a lawyer or title company.

Ms. Karen D. Kaplan
November 9, 1994
Page - 3 -

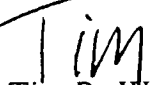
2. The written approval or consent of Southern Bell, Florida Power & Light Company, Adelphia Cable, Martin County Public Utilities, and any other utilities providing services to or within the Easement or utilizing the Easement.

3. The written approval or nonjurisdictional determination of South Florida Water Management District.

The applicant is also responsible for reimbursing the Town for its fees and expenses in connection with the application. Under Section 11-7 of the Code (copy enclosed), the Town is entitled to reimbursement for all expenses incurred in connection with the abandonment. The Town requires a deposit from your client of \$1,000.00 before scheduling this matter on the agenda for consideration.

Please contact us if you have any questions or if you need additional information regarding the abandonment.

Sincerely yours,


Tim B. Wright

Enclosures

cc: Commissioner Vincent A. Vorraso
Mr. Joseph W. Capra
Mr. Dale Brown
Mr. M. Lanning Fox
Mrs. Joan H. Barrow

kathy/tosp/letters/kaplan.2

WARNER, FOX, SEELEY, DUNGEY & SWEET

ATTORNEYS, P.A.

1100 S. FEDERAL HIGHWAY
P.O. DRAWER 6
STUART, FLORIDA 34995-0006
(407) 287-4444
TELEFAX (407) 220-1489

ST. LUCIE COUNTY OFFICE
BARNETT CENTER
900 EAST PRIMA VISTA BOULEVARD
SUITE 400
PORT ST. LUCIE, FLORIDA 34952
(407) 878-3814
TELEFAX (407) 879-6327

RICHARD J. DUNGEY*
M. LANNING FOX*
THOMAS R. SAWYER*
ROBERT L. SEELEY
GARY L. SWEET
THOMAS E. WARNER**

AARON A. FOOSANER
OF COUNSEL

*BOARD CERTIFIED REAL ESTATE LAWYER
**BOARD CERTIFIED CIVIL TRIAL LAWYER

NOV 23 1994
DEBORAH B. BEARD
KENNETH W. FROMKNECHT, II
LOUIS E. LOZEAU, JR.
BETH TEARDO PRINZ
TIM B. WRIGHT

JUPITER (407) 744-6499

November 21, 1994

Ms. Karen D. Kaplan
Gunster, Yoakley & Stewart, P.A.
10 Central Parkway
Suite 400
Stuart, FL 34994

RE: Town of Sewall's Point; Fred M. Ayres

Dear Karen:

Enclosed is a copy of my proposed resolution granting the guest house request for Mr. Ayres. By copy of this letter to Joan Barrow, I am asking her to circulate the original for signature by the Commissioners at the December 7, 1994 meeting. Please contact me if you have any proposed revisions to the form of the resolution.

Sincerely yours,


Tim B. Wright

Enclosure

cc: Commissioner Vincent A. Vorraso
Mr. Joseph W. Capra
~~Mr. Dale Brown~~
Mr. M. Lanning Fox
Mrs. Joan H. Barrow

RESOLUTION NO. _____

A RESOLUTION OF THE TOWN OF SEWALL'S POINT, FLORIDA, GRANTING PERMISSION TO FREDERICK M. AYRES TO CONSTRUCT A GUEST HOUSE ON LOTS 10 AND 25 OF HERITAGE PLACE, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 10, PAGE 2, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

WHEREAS, Frederick M. Ayres (the "Applicant"), has applied to the Town Commission of the Town of Sewall's Point for permission to construct a guest house on Lots 10 and 25, of Heritage Place, according to the plat thereof recorded in Plat Book 10, Page 2, Public Records of Martin County, Florida, as more particularly described in the Unity of Title of the Applicant recorded on April 14, 1994 in Official Records Book 1066, Page 0538, of the Public Records of Martin County, Florida (the "Property"); and

WHEREAS, the Town Commission finds that the proposed guest house shown on the Site Plan prepared for the Applicant by Arthur Speedy dated May 1992, drawn by A.S. and revised 4-94, 5-94, 6-18-94, 8-18-94, and 10-18-94 (the "Site Plan") meets the requirements of the Town of Sewall's Point Code of Ordinances; and

WHEREAS, the Town Commission has determined that it is in the interest of the health, safety, and welfare of the Town to grant the Applicant's request.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COMMISSION OF THE TOWN OF SEWALL'S POINT, FLORIDA, THAT:

1. The Applicant's request for permission to construct the proposed guest house shown on the Site Plan is hereby granted.
2. The Applicant shall attach a reduced copy of the Site Plan to the original of this Resolution and record it at the Applicant's expense, in the Martin County, Florida, Public Records.

Resolution No. _____
Page 2

PASSED AND ADOPTED this _____ day of _____, 1994.

ATTEST:

JOAN BARROW, Town Clerk

Approved as to form and
correctness:

M. LANNING FOX
Town Attorney

B. J. ESCUE, Mayor - Commissioner

DAVID L. MILLARD, Vice-Mayor Commissioner

ERIC B. HOLLY, Commissioner

JOAN PERRY WILCOX, Commissioner

VINCENT A. VORRASO, Commissioner

WARNER, FOX, SEELEY, DUNGEY & SWEET

ATTORNEYS, P.A.

1100 S. FEDERAL HIGHWAY
P.O. DRAWER 6
STUART, FLORIDA 34995-0006
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ROBERT L. SEELEY
GARY L. SWEET
THOMAS E. WARNER**

AARON A. FOOSANER
OF COUNSEL

*BOARD CERTIFIED REAL ESTATE LAWYER
**BOARD CERTIFIED CIVIL TRIAL LAWYER

NOV 23 1994

DEBORAH B. BEARD
KENNETH W. FROMKNECHT, II
LOUIS E. LOZEAU, JR.
BETH TEARDO PRINZ
TIM B. WRIGHT

JUPITER (407) 744-6499

November 21, 1994

Ms. Karen D. Kaplan
Gunster, Yoakley & Stewart, P.A.
10 Central Parkway
Suite 400
Stuart, FL 34994

RE: Town of Sewall's Point; Fred M. Ayres

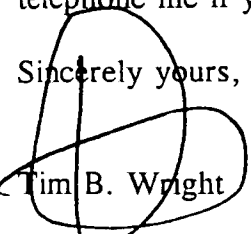
Dear Karen:

I received a copy of your letter to Mayor Escue dated November 16, 1994 and the application materials for the easement abandonment. I have the following comments:

1. Paragraph 4 of your proposed resolution should be modified so that the hearing date for the first reading of the *ordinance* is January 11, 1995.
2. The operative language of your proposed ordinance should read "is hereby declared closed and abandoned."

Please provide me with the consents of the utilities at your earliest convenience. Please telephone me if you have any questions.

Sincerely yours,


Tim B. Wright

cc: Commissioner Vincent A. Vorraso
Mr. Joseph W. Capra
~~Mr. Dale Brown~~
Mr. M. Lanning Fox
Mrs. Joan H. Barrow

01102497

95 FEB -7 AM 11:08

RESOLUTION NO. 439

A RESOLUTION OF THE TOWN OF SEWALL'S POINT, FLORIDA, GRANTING PERMISSION TO FREDERICK M. AYRES TO CONSTRUCT A GUEST HOUSE ON LOTS 10 AND 25 OF HERITAGE PLACE, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 10, PAGE 2, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

WHEREAS, Frederick M. Ayres (the "Applicant"), has applied to the Town Commission of the Town of Sewall's Point for permission to construct a guest house on Lots 10 and 25, of Heritage Place, according to the plat thereof recorded in Plat Book 10, Page 2, Public Records of Martin County, Florida, as more particularly described in the Unity of Title of the Applicant recorded on April 14, 1994 in Official Records Book 1066, Page 0538, of the Public Records of Martin County, Florida (the "Property"); and

WHEREAS, the Town Commission finds that the proposed guest house shown on the Site Plan prepared for the Applicant by Arthur Speedy dated May 1992, drawn by A.S. and revised 4-94, 5-94, 6-18-94, 8-18-94, and 10-18-94 (the "Site Plan") meets the requirements of the Town of Sewall's Point Code of Ordinances; and

WHEREAS, the Town Commission has determined that it is in the interest of the health, safety, and welfare of the Town to grant the Applicant's request.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COMMISSION OF THE TOWN OF SEWALL'S POINT, FLORIDA, THAT:

1. The Applicant's request for permission to construct the proposed guest house shown on the Site Plan is hereby granted.

2. The Applicant shall attach a reduced copy of the Site Plan to the original of this Resolution and record it at the Applicant's expense, in the Martin County, Florida, Public Records.

PASSED AND ADOPTED this 9th day of November, 1994.

ATTEST:

Joan Barrow
JOAN BARROW, Town Clerk

B. J. Escue
B. J. ESCUE, Mayor - Commissioner

Approved as to form and
correctness:

M. Manning Fox (for)
Town Attorney

David L. Millard
DAVID L. MILLARD, Vice-Mayor Commissioner

Eric B. Holly
ERIC B. HOLLY, Commissioner

Joan Perry Wilcox
JOAN PERRY WILCOX, Commissioner

Vincent A. Vorraso
VINCENT A. VORRASO, Commissioner



kathy/tosp/resol/ayres

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS and AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS APPLICATION, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, MARTIN COUNTY, STATE AGENCIES, OR FEDERAL AGENCIES.

Plumbing Contractor So Park License No. _____
Electrical Contractor Cook License No. _____
Roofing Contractor _____ License No. _____
A/C Contractor Flynns License No. _____
Description of Building or Alterations guest house

Name of Street Designated as Front Building Line and Front Yard

RIVER PL.

Subdivision HERITAGE PL. Lot 10125 Block _____

Building Area (air conditioned) 2000 sq. ft.

Garage, Porch Carport Area 650 sq. ft.

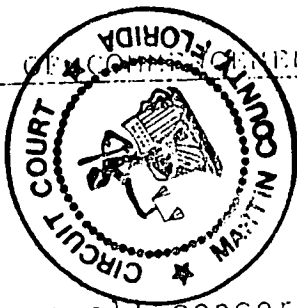
Contract Price (excluding carpet, land, appliance, landscaping)

\$ 136,000

NOTICE OF COMMENCEMENT

THIS IS TO CERTIFY THAT THIS IS A TRUE AND CORRECT COPY OF THE ORIGINAL.

STATE OF Florida
COUNTY OF Martin



MARSHA STILLER, CLERK

BY W. J. [Signature]

The undersigned hereby informs all concerned that improvements will be made to certain real property, and in accordance with Section 713.13, Florida Statutes, the following information is stated in this NOTICE OF COMMENCEMENT. This notice shall be void and of no force and effect if construction is not commenced within 30 days of recordation.

DESCRIPTION OF PROPERTY: 15 S. River Road
Lots 10 & 25, Heritage Place
Sewall's Pt., FL 34996
General description of improvements: New residence

Owner: Frederic M. Ayres
Address: 60 S. Sewall's Pt. Rd. P.O. Box 2803
Sewall's Pt., FL 34996 Jensen Beach, FL 34958-2803
Owner's interest in site of the improvement: 100%

Contractor: REXFORD BLDG. INC.
Address: PO Box 50099 VERO BEACH, FL

Surety (if any): N/A

Address: _____
Amount of Bond: _____

Lender: N/A

Address: _____

Name of person within the state of Florida designated by owner upon whom notices or other documents may be served:

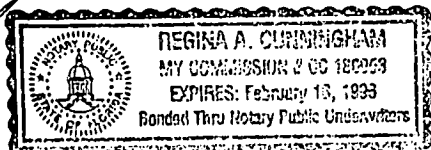
Name: R. G. MADSEN
Address: 4609 Rocky Point Way
STUART FL, 34997

In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.06(2)(b), Florida Statutes:

Name: N/A
Address: _____

[Signature: Fred M. Ayres]

Sworn to and subscribed before me this 11th day of May, 1994



(NOTARY SEAL)

Regina A. Cunningham

I am a Notary Public of the STATE OF Florida AT LARGE, and My Commission Expires:

2/16/96

*


Carol M. Ayres DATE 10/19/94
(Owner or Authorized Agent)

Sworn and Subscribed before me this
19th day of October 1994 (SEAL)

Joan H. Brown
NOTARY PUBLIC
State of Florida at Large Notary Public, State of Florida
My Commission Expires: Nov. 15, 1994
Bonded Thru: Troy Fidelity Insurance Inc.

Sara F. Rexford DATE 10-21-94
(Contractor)

Sworn and Subscribed before me this
20th day of October 1994 (SEAL)

 Madonna J. Velez
NOTARY PUBLIC
State of Florida at Large
My Commission Expires:
COMMISSION # CC 300384
EXPIRES JUN 7, 1998
BONDED THRU ATLANTIC BONDING CO., INC.

Certificate of Competency Holder

Contractor's State Certification or Registration No. CGC 026756

Contractor's Certificate of Competency No. _____

APPLICATION APPROVED BY Dale Brown Permit Officer
[Signature]

For Official Use Only

Plans approved as submitted ✓ Date _____

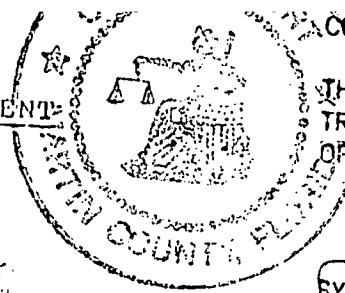
Plans approved as marked _____ Date _____

A/C Area 2,000 sq. ft. x \$60. = \$ 120,000
Non A/C Area 650 sq. ft. x \$25. = \$ 16,250
Total = \$ 136,250

Contract Price \$ 136,000 (fee will be charged on higher amount)

955633

NOTICE OF COMMENCEMENT



THIS IS TO CERTIFY THAT THE TRUE AND CORRECT COPY ORIGINAL.

MARSHA STILLER, CLERK

BY [Signature] 8-11-92

STATE OF FLORIDA
COUNTY OF MARTIN

The undersigned hereby informs all concerned that improvements will be made to certain real property, and in accordance with Section 713.13, Florida Statutes, the following information is stated in this NOTICE OF COMMENCEMENT. This notice shall be void and of no force and effect if construction is not commenced within 30 days of recordation.

LEGAL
X DESCRIPTION OF PROPERTY: LOT 25, HERITAGE PLACE

General description of improvements: REBUILD EXISTING BOATHOUSE AND DOCK. REMOVE 9' OF BOATHOUSE. BUILD 6' X 50' DOCK ADDITION WITH 5' X 14' AND 7.5' X 25' FINGER PIER PLUS ASSOCIATED MOORING PILES.

X Owner: FREDERIC M. AYERS
X Address: 963 COUNTRY WAY, TENSEN BEACH, FL 34959

Owner's interest in site of the improvement: OWNER

Contractor: ROBERT SANDY CONSTRUCTION, INC.
Address: 3452 NE INDIAN DRIVE, TENSEN BEACH FL 34957

Surety (if any): _____
Address: _____
Amount of Bond: _____

Lender : _____
Address: _____

Name of person within the State of Florida designated by owner upon whom notices or other documents may be served:

Name: _____
Address: _____

In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.06(2)(b), Florida Statutes:

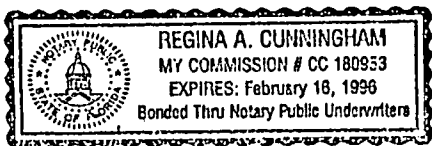
Name: _____
Address: _____

X [Signature: Frederic M. Ayers]

"Sworn to and subscribed before me this 8th day of May, 1992.

[Signature: Regina A. Cunningham]

(NOTARY SEAL)



I am a Notary Public of the STATE OF Florida AT LARGE, and My Commission Expires: February 18, 1996

Regina A. Cunningham
Print, Type, or Stamp Commissioned Name of Notary Public

Personally Known OR Produced Identification _____
Type of Identification Produced _____

TOWN OF SEWALL'S POINT, FLORIDA

Before a certificate of occupancy is issued, development permit holders shall provide an "as built" survey meeting the requirements prescribed below. This shall apply to all new building construction and any improvements to existing buildings which alter the dimension or height of the building. The survey shall:

(a) Be prepared by a licensed surveyor registered in Florida, signed, dated and sealed, and shall bear the name, firm or residence address, city, certificate number of the surveyor and date of the field survey;

(b) Be dated not more than 30 days prior to the certificate of occupancy;

(c) Contain a complete legal description;

(d) Reference the source of information used in making the survey;

(e) Contain the address of the property, including street name and number, and show the proximity of all boundary streets;

(f) Indicate the flood zone(s) in which any portion of the building is located, even though the property may not be in a flood hazard area;

(g) Show the exact lot dimensions, including boundary lines and arcs, which must match the Plat, with any variations being noted;

(h) The scale of the map shown on the survey shall be at least 1" = 10'.

(i) Show the location, dimensions, and accurate identity of all easements as required under Rule 21 HH-6.03(15) of the Minimum Technical Standards;

(j) Show all setback requirements;

(k) Show the location and identification of all encroachments, including the type of improvement comprising the encroachment;

(l) Show the location and dimension of all structures, driveways, sidewalks, irrigation wells, septic tanks, drain fields and drainage improvements (including swales, berms and pipe invert elevation);

(m) Contain a certification to the Town of Sewall's Point;

(n) State for whom the survey is done;

(o) Show the location, dimensions and square footage of the native habitat preservation area required by Section 11-60 of this Code.

(p) Indicate the lowest habitable floor, average natural ground and average crown of road elevations in accordance with applicable Code provisions.

(q) Contain a tabulation of the impermeable and permeable areas;

(r) In coastal high hazard areas (V-Zones), indicate the elevation of the top of pier, pile or column.

(s) Contain any other information the building department may require to confirm the construction or improvements comply with applicable Code provisions. *(BUILDING HEIGHT FROM F.F.E.)*

Ordinance # 215, 3/11/92

ADDITIONAL MATERIALS REQUIRED
WITH
BUILDING PERMIT APPLICATION

THIS LIST IS FOR THE APPLICANT'S CONVENIENCE ONLY. THE APPLICANT MAY BE REQUIRED TO SUBMIT MATERIALS TO THE TOWN IN CONNECTION WITH THE BUILDING PERMIT APPLICATION WHICH ARE NOT LISTED HERE. COMPLETE INFORMATION REGARDING BUILDING PERMIT APPLICATION MATERIALS AND LAND DEVELOPMENT REGULATIONS ARE FOUND IN CHAPTERS 2, 2.5, 4, 6.1, 11, 13, APPENDIX A AND APPENDIX B OF THE TOWN CODE OF ORDINANCES, THE SOUTH FLORIDA BUILDING CODE, AND THE TOWN OF SEWALL'S POINT COMPREHENSIVE PLAN.

1. Florida Certification of Contractor and Sub-Contractor.
2. Certification of Liability and Workers' Compensation Insurance.
3. Three sets of Building Plans which must include:
 - a. 1/4" scale building drawings.
 - b. Plot plan at a minimum scale of 1" = 10' certifying proposed coverage by impermeable materials; show existing trees 4 or more inches in diameter at chest height; show all completed structures (C.O. issued), existing or proposed wells, all structures under construction (Building Permit issued), and all proposed structures (Building Permit Application filed or being filed); detailed surface water management practices shall be shown through use of swales, berms, retaining walls, etc. designed to meet the water quality requirements of South Florida Water Management District retain, on site, water from a 3-day 25-year storm event, and to prevent normal run-off onto adjoining parcels. Common swales on property lines are encouraged.
 - c. A topographic survey, sealed by an appropriate professional, indicating existing natural grade and grade changes proposed on the site, except when grade changes are limited to the area beneath the floor of dwelling units.

Each sheet of plans, and the cover sheet of specifications, for buildings and structures; alterations; repairs and improvements; replacements and additions; costing \$15,000.00 or more, shall bear the date, impress seal and signature of a licensed Architect or registered Professional Engineer. Plans for work which is predominately of Architectural nature shall be prepared by and bear the impress seal of a licensed Architect, and work which involves extensive computation based on structural stresses shall, in addition, bear the impress seal of a Professional Engineer.

- c. Foundation Plan.
- d. Floor Plan.

- e. Wall and Roof cross-sections.
 - f. Plumbing, electrical and A/C layouts.
 - g. At least two elevations showing height of building from finished floor.
4. Landscaping and Habitat Management Permit if the removal, relocation, or replacement of any vegetation or habitat is necessitated by the land development
 5. Recorded warranty deed to the property.
 6. Septic tank permit and one set of plans with Martin County Health Department seal.
 7. Energy code calculations.
 8. Certification of elevation from licensed surveyor and determination of flood zone.
 9. Amount of fill anticipated - rough sketch showing location and height of fill.
 10. Manufacturers' schedule of windows.
 11. Except for an improvement which is exempt pursuant to Florida Statutes, an owner or authorized agent before actually commencing to improve any real property, or re-commencing completion of any improvement after default or abandonment, whether or not a project has a payment bond complying with Florida Statutes, shall record a Notice of Commencement in the clerk's office and immediately post either a certified copy of the notice or a notarized statement that the Notice of Commencement has been filed for recording along with a copy of the unrecorded notice.
 12. In special flood hazard areas, a certificate of an appropriately licensed professional stating fully enclosed areas below lowest floor are designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of flood waters.
 13. In coastal high hazard areas (V Zones), a certificate of an appropriately licensed professional stating breakaway wall collapse shall result from a water load less than that which would occur during the base flood; and the elevated portion of the building and supporting foundation shall not be subject to collapse, displacement or other structural damage due to the effects of wind and water loads acting simultaneously on all building components (structural and non-structural).

THE TOWN'S APPROVAL OF A BUILDING PERMIT APPLICATION DOES NOT RELIEVE OWNER OR CONTRACTOR FROM COMPLIANCE WITH THE TOWN CODE OF ORDINANCES OR OTHER REGULATIONS.

THE TOWN OFFICE HOURS ARE 8:00 A.M. TO 4:00 P.M. MONDAY THROUGH FRIDAY. INSPECTIONS ARE MADE FROM 8:00 A.M. TO 12:00 P.M. NOON ONLY. TWENTY-FOUR HOURS PRIOR NOTICE IS REQUIRED FOR INSPECTIONS.

OWNER'S AFFIDAVIT OF BUILDING COSTS

STATE OF FLORIDA
COUNTY OF MARTIN

BEFORE ME, the undersigned notary public, personally appeared the undersigned Affiant, who, being first duly sworn, under penalties of perjury, deposes and says:

1. That Affiant is the owner or the authorized agent of the owner of certain real estate (the Property) located within the municipal limits of the Town of Sewall's Point, Florida (the Town), having the street address set forth below Affiant's signature.

2. That all of the improvements on the Property under current building permit(s) issued by the Town have been completed in substantial conformity with the plans and specifications on file with the Town and in accordance with all applicable state and local building codes.

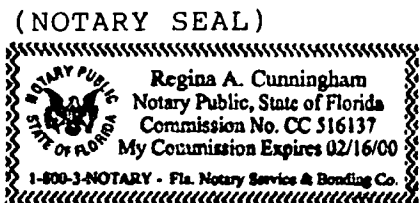
3. That the total cost paid or to be paid by the owner for the complete construction of the improvements under the building permit(s), including the cost of all improvements shown on the plans and specifications filed with the Town and all machinery and equipment not shown thereon required to be installed as a condition for a certificate of occupancy under state and local law, is \$ 140,000.00 .

4. That this affidavit is made for the purpose of inducing the building official of the Town to issue a certificate of occupancy for the improvements, with the intention that it be relied upon for that purpose.

Keo M. Myers
Affiant
Property street address:
15 S. RIVER RD.
SEWALL'S PT., FL.
(Guest House)

Sworn to and subscribed before me this 03rd day of February, 1996 .

Regina A. Cunningham
Notary Public
STATE OF FLORIDA AT LARGE
My Commission Expires: 2/16/00



FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33rd STREET

FORT PIERCE, FLORIDA 34946

FORT PIERCE: (407) 461-7508
 VERO BEACH: (407) 567-6167
 STUART: (407) 283-7711

Report of DENSITY OF SOIL IN PLACE ASTM D2922

Client Madsen Builders

Date October 7, 1994

Contractor Client

Site 15 S. River Road
 Guest House Pad

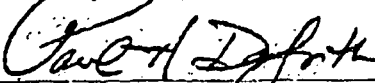
Permit #3599

Test No.	Location	Elevation	In Place Dry Density	Moisture Density Relationship		Percent Compaction
				Test No.	Max Dry Density	
9317	S.W. Corner	0 - 1'	102.4	9317	105.9	97.1
	"	1 - 2'	102.1			96.8
	"	2 - 3'	103.7			98.3
	Center	0 - 1'	102.9			97.5
	"	1 - 2'	103.7			98.3
	"	2 - 3'	102.6			97.3
	N.E. Corner	0 - 1'	103.5			98.1
	"	1 - 2'	104.9			99.4
	"	2 - 3'	104.0			98.5
	All elevations below slab grade.					

Copies

Client - 1
 Sewalls Point Bldg. Dept. - 1

Respectfully submitted,


 PAUL H. DANFORTH, P.E.

FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33rd STREET

FORT PIERCE, FLORIDA 34946

Report
of
MOISTURE DENSITY RELATIONSHIP
ASTM 1557-70

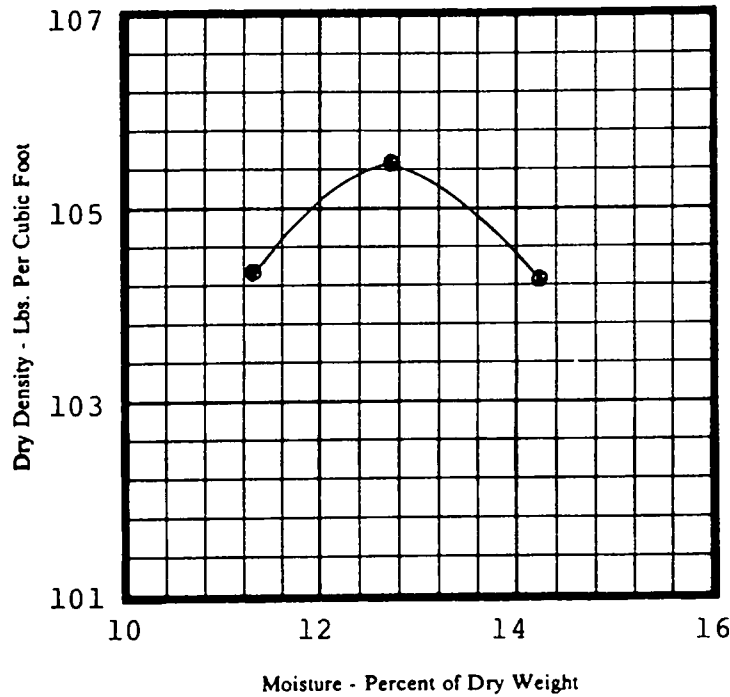
Client Madsen Builders

Date October 7, 1994

Contractor Client

Site 15 S. River Road
Guest House Pad

Permit #3599



Test No.	Test Method	Sample Location	Optimum Moisture %	Max Dry Density-P.C.F.	Soil Description
9317	B	Composite	12.7	105.5	Orange fine sand.

Copies

Respectfully submitted,

PAUL H. DANFORTH, P.E.

V. J. GERLEY & ASSOCIATES
CONSULTING ENGINEERS

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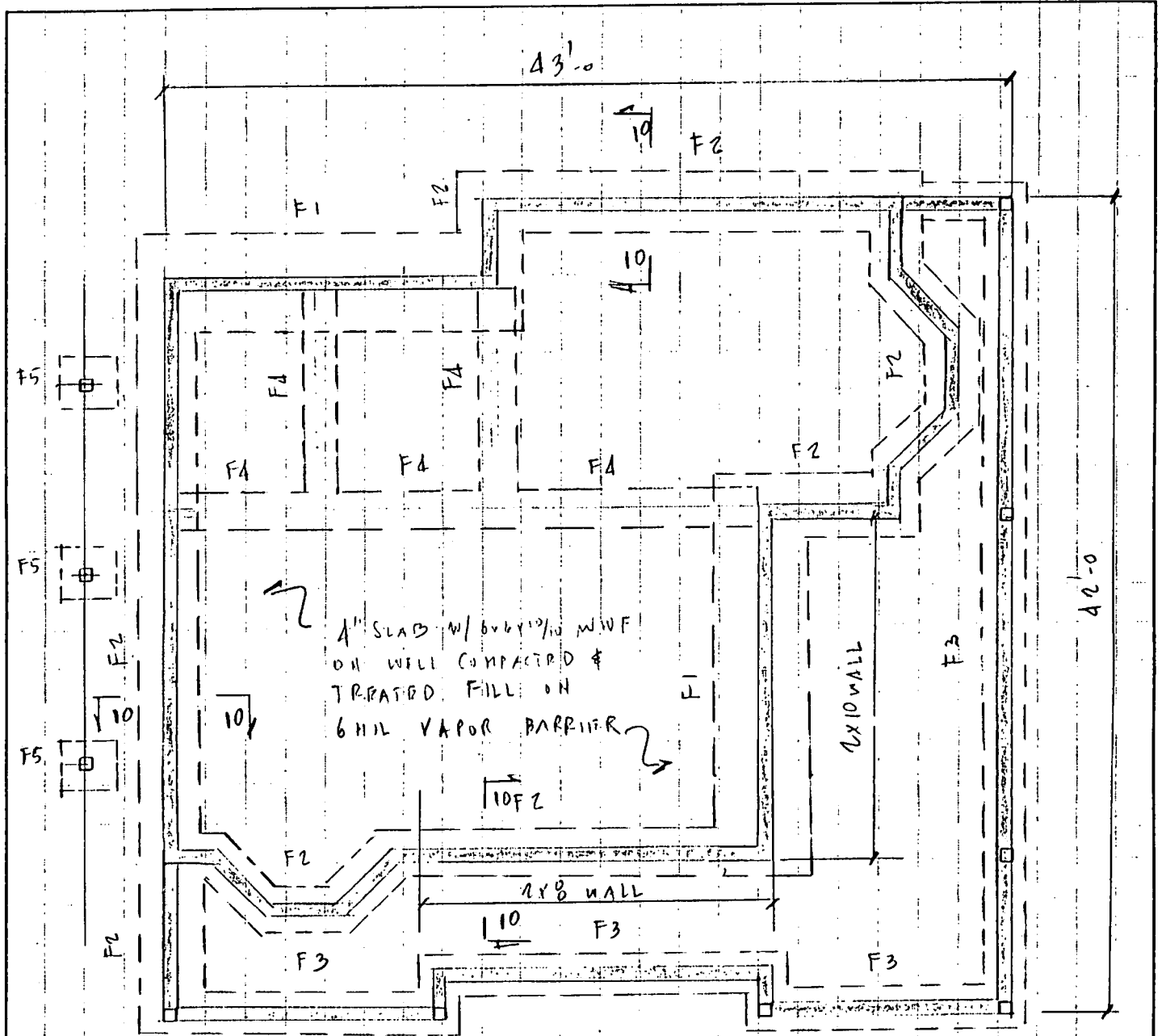
BY V. J. GERLEY

DATE 8-25-94

SHEET 1 OF 40

PROJECT AYRES GUEST HOUSE

SUBJECT



NOTE: FOR DIMENSIONS REFER TO ARCH. DWGS.

FOUNDATION PLAN

1/8" = 1'-0"

[Signature]
10-17-94

AYRES GUEST HOUSE

FOOTING SCHEDULE

MK	SIZE B D t	REINFORCING	T/EL	REMARKS
F1	5'-0" x L x 1'-0"	6 #5 BOT LONG #5 @ 24 BOT SHORT	(-) 2'-8"	
F2	3'-0" x L x 1'-0"	4 #5 BOT LONG #5 @ 24 BOT SHORT	(-) 2'-8"	
F3	2'-0" x L x 1'-0"	3 #5 BOT LONG	(-) 2'-8"	
F4	2'-0" x L x 1'-6"	3 #5 T & B	0'-0"	
F5	3'-0" x 3'-0" x 1'-0"	4 #5 BOT F.W.	(-) 2'-8"	
F6				
F7				
F8				
F9				
F10				
F11				
F12				
F13				
F14				
F15				

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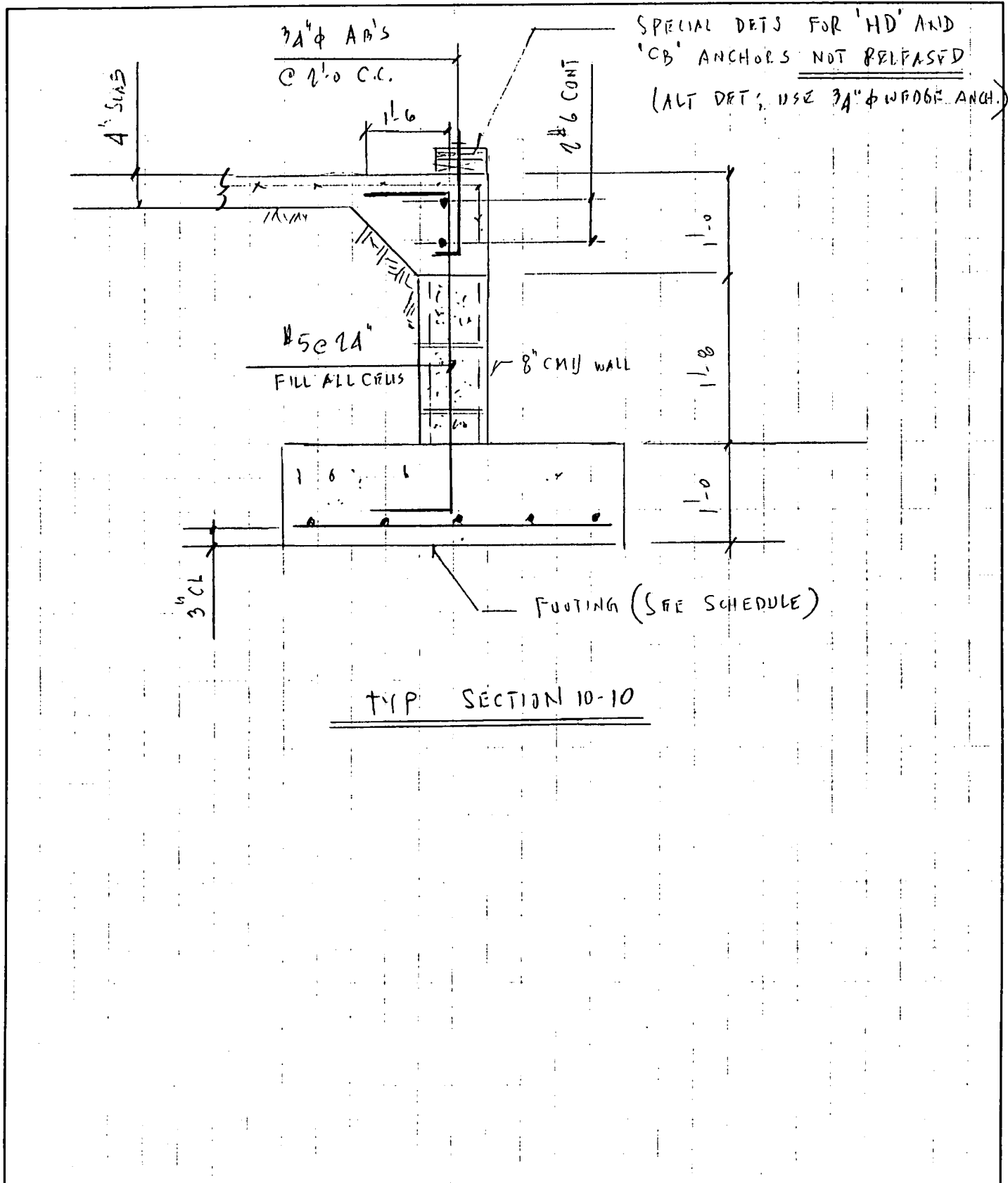
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SHEET 3 OF

PROJECT AYRES GUEST HOUSE

SUBJECT



AYRBS GUEST HOUSE

COLUMN SCHEDULE

MK	SIZE	REINFORCING	TIES	TYPE	REMARKS
C1	8x8 PT	-	-	-	w/ HD BA ANCHOR
C2	6x6 PT	-	-	-	w/ HD SA ANCHOR
C3					
C4					
C5					
C6					
C7					
C8					
C9					
C10					
C11					
C12					
C13					
C14					
C15					

LEGEND: CIP=CAST-IN-PLACE
 CMU=CONCRETE MASONRY UNIT

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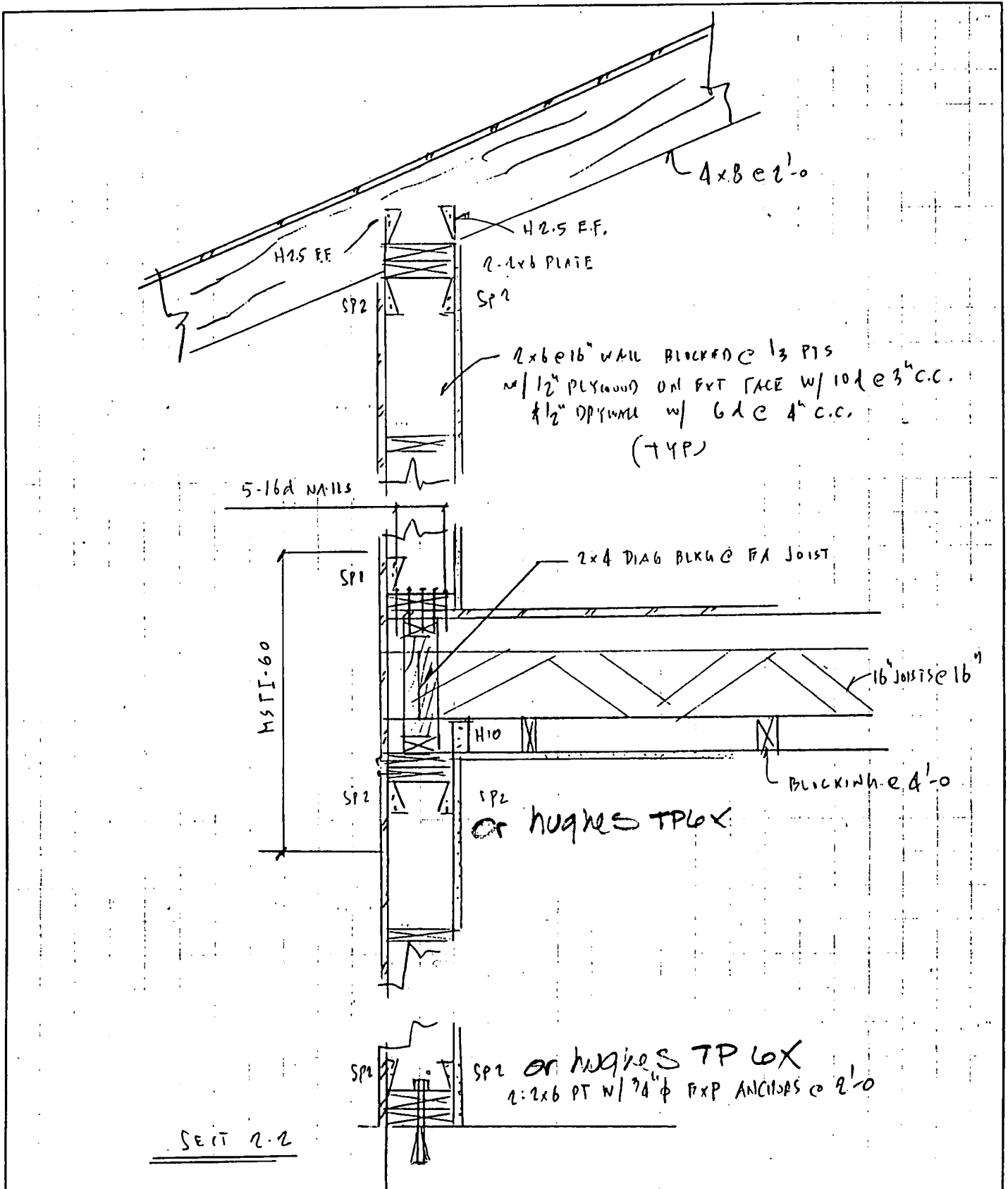
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SHEET 7 OF

PROJECT AYRPS GUEST HOUSE

SUBJECT



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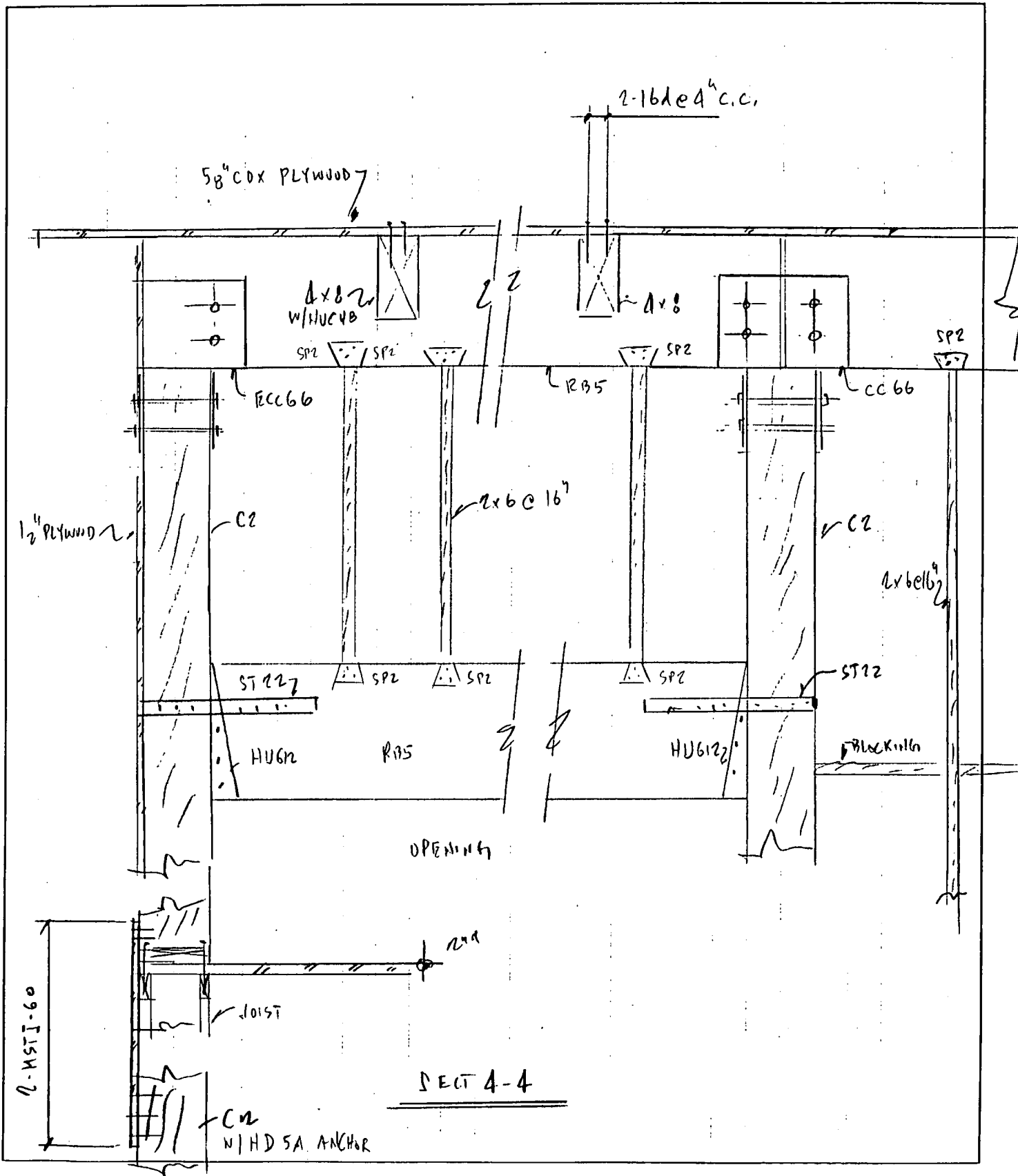
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SHEET 9 OF

PROJECT AYRES GUSTI HOUSE

SUBJECT



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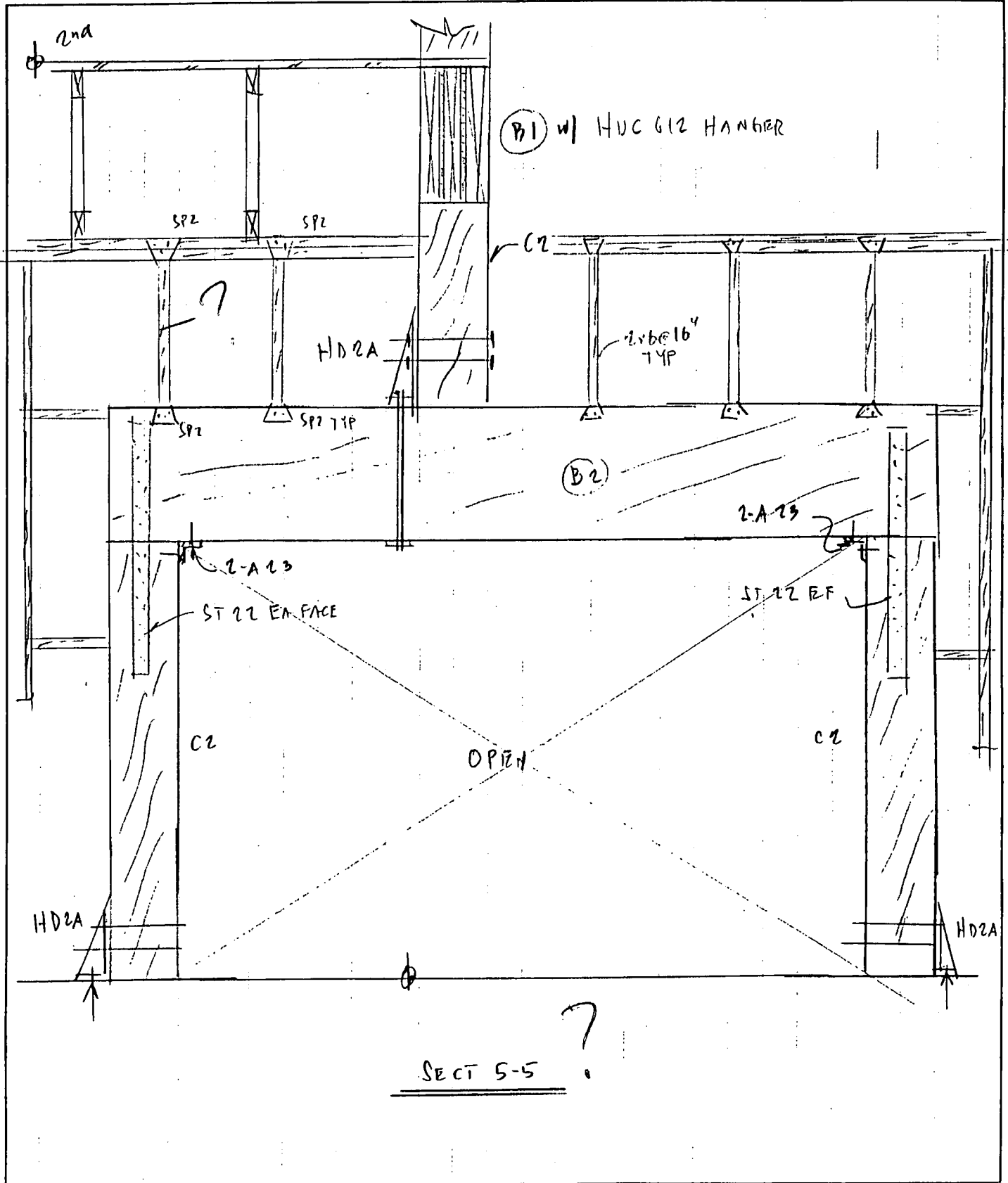
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SHEET 10 OF

PROJECT ASPES GUEST HOUSE

SUBJECT



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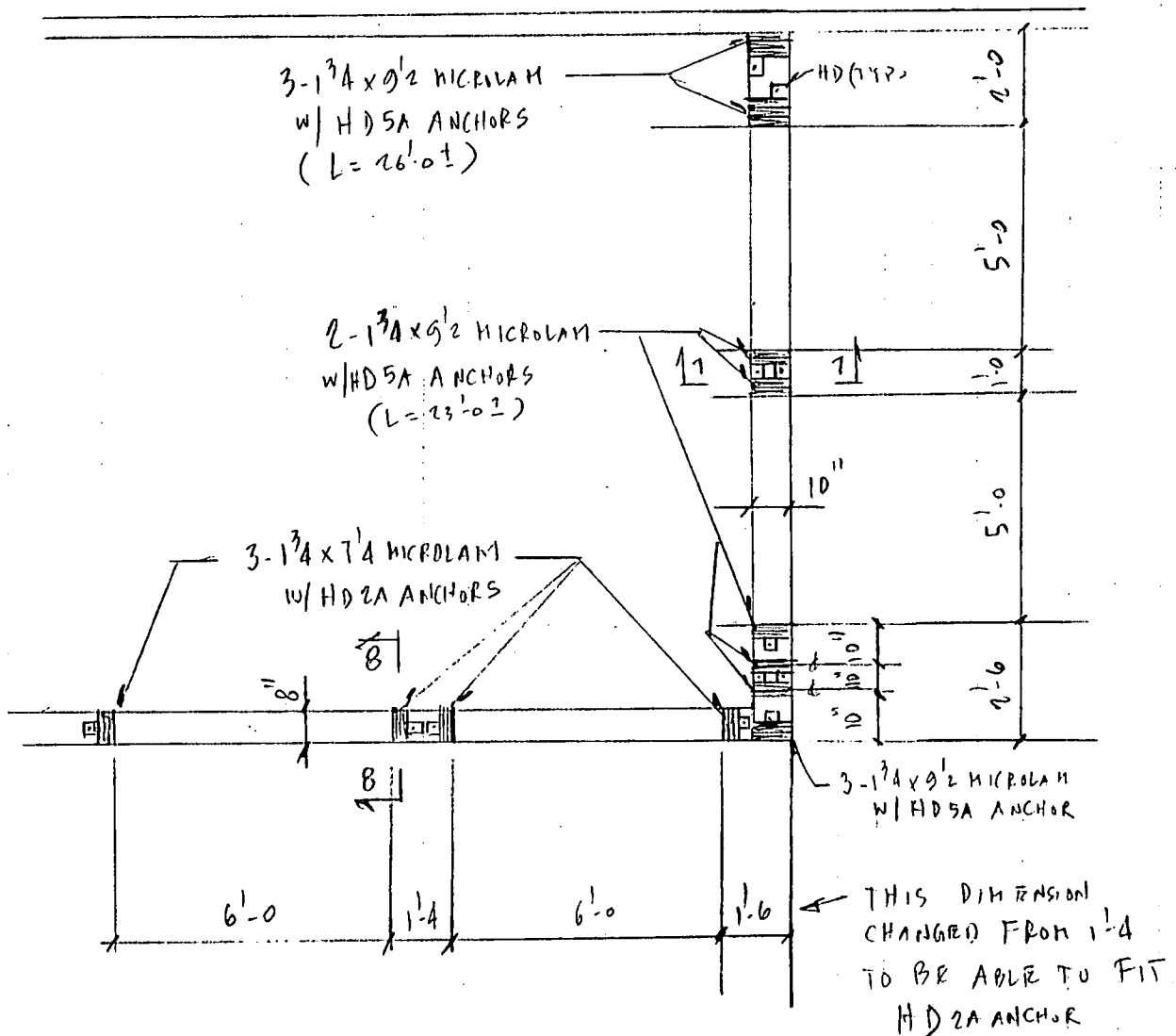
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SHEET 11 OF

PROJECT AYRES GUEST HOUSE

SUBJECT



PLAN CLEAR STORY

DET 6

NOTE: ALL COLUMNS SHOWN
ARE CONTINUOUS FROM
SLAB TO ROOF

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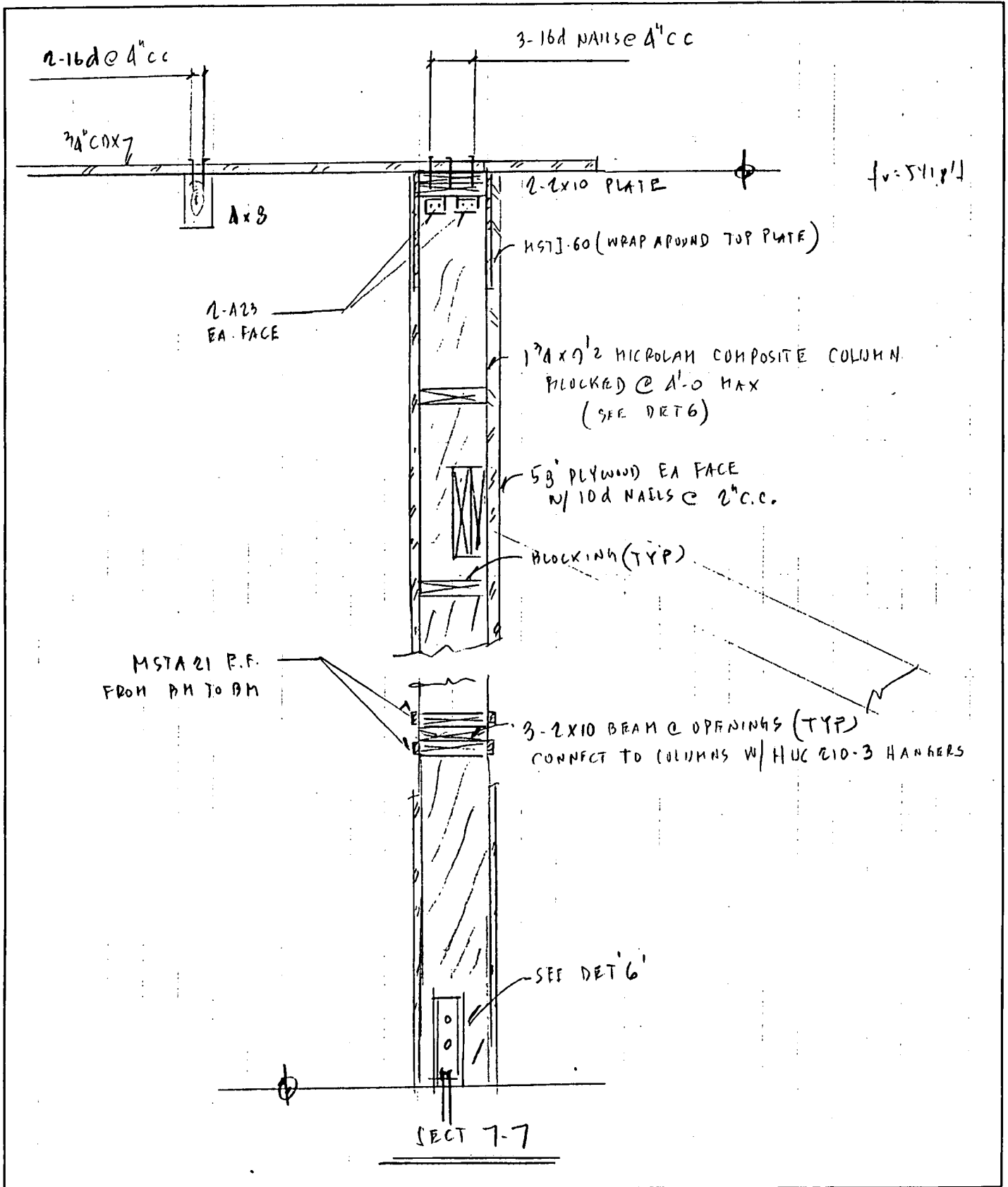
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SHEET 12 OF

PROJECT AYRES GUEST HOUSE

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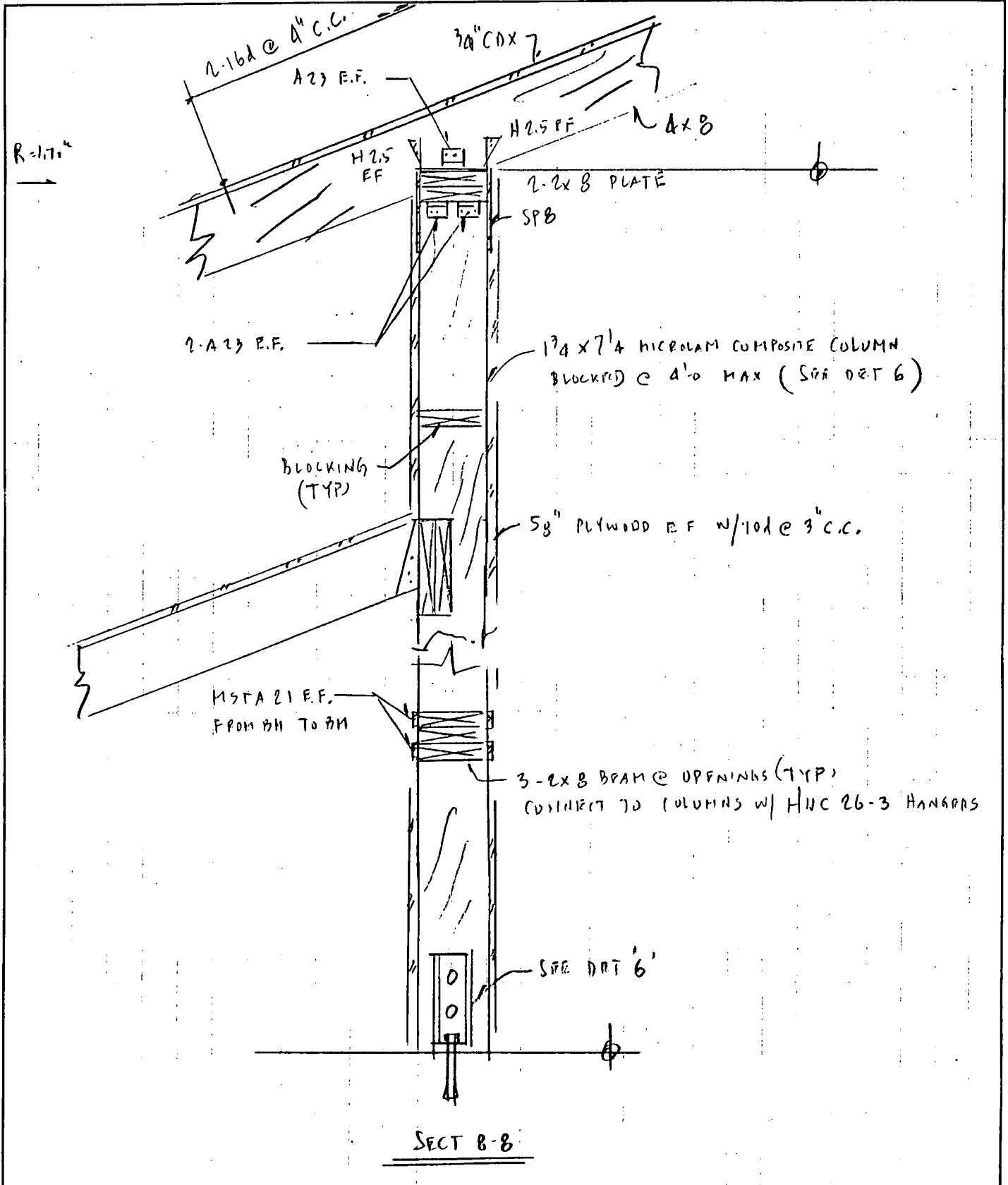
BY V. J. GERLEY

DATE 10-11-94

SHEET 13 OF

PROJECT AYRES GUEST HOUSE

SUBJECT



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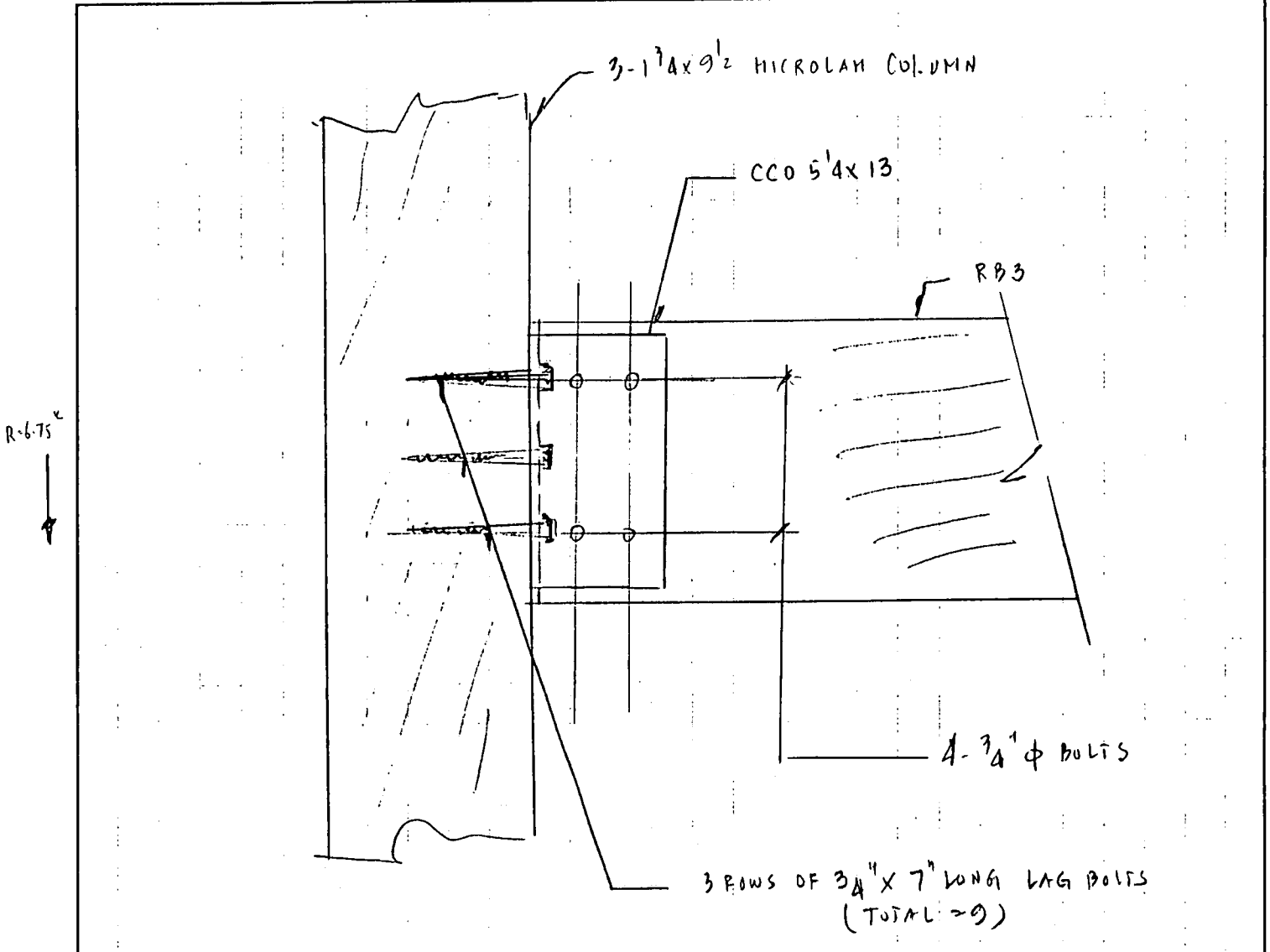
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SHEET 14 OF

PROJECT AYRES GUEST HOUSE

SUBJECT



V=C

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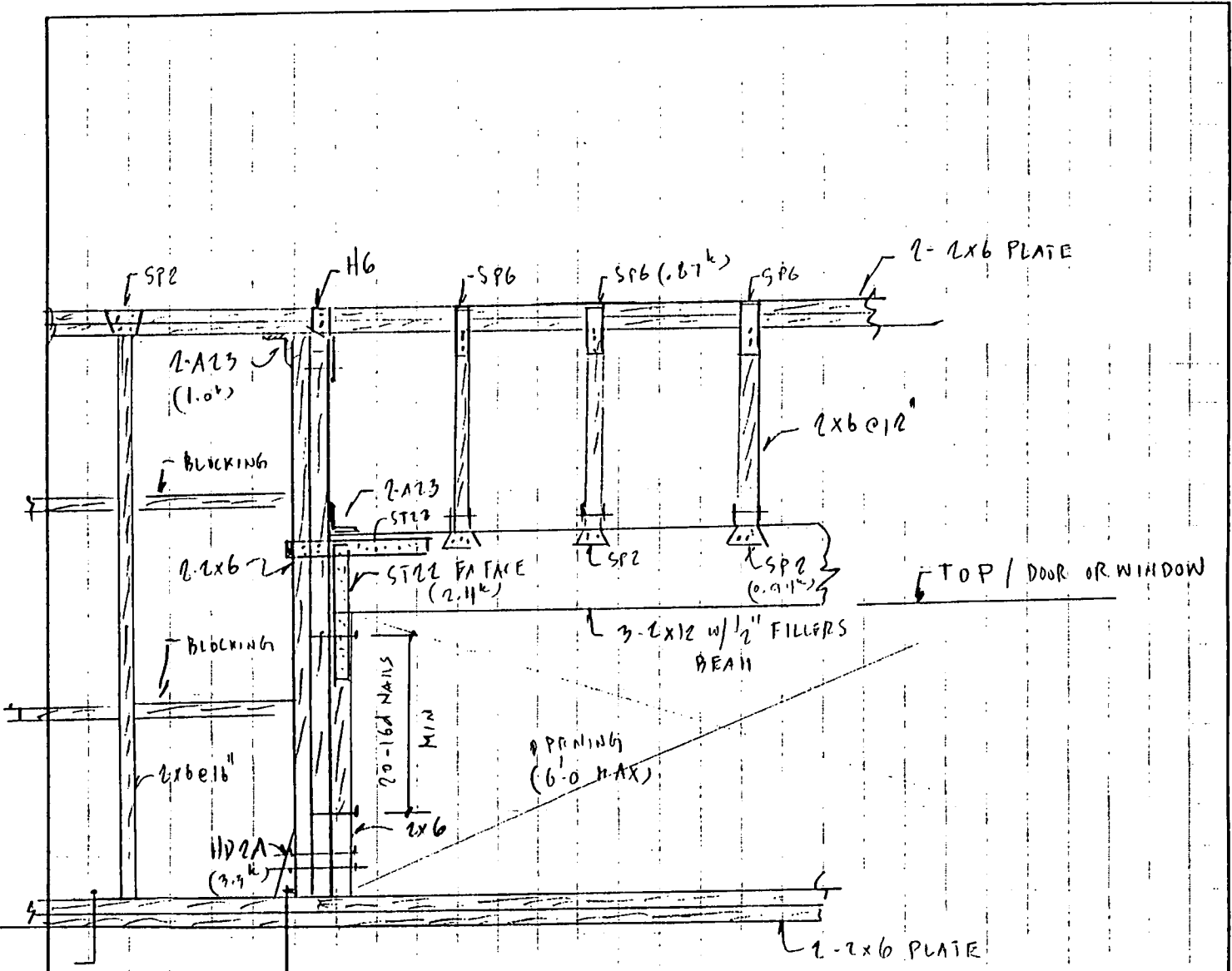
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SHEET 15 OF

PROJECT AYRES GUEST HOUSE

SUBJECT



TYP ELEVATION @ OPENINGS

```

SFBC6.WKS          ENCL.BLDG.          PROJECT:AYRES          SO.FLA.BLDG CODE
                   20<A<30          -0.8=u          -0.7=u          V=140 mph
22.9861 H to select w          H3          GCps=-0.8(roof)
  9.67 H1          H2          GCps=1.30(wall)
  9.67 H2          H1          GCpc=1.50(overhg)
7.29225 H3 select A          V3---->          GCpc=1.10(wall)
  35 B          H2          <
  3 b Overhang          H1          <
  .0272 u uplift(psf)          U          <
  .7106 U Uplift(k/ft)          <
  .0572 p          <
  .276562 V1          <
  .553124 V2          <
.3141483 V3 select A          <
11.4243 Mbase(k-ft/ft)          <
.8672723 Vwall(k/ft)          <
  44 w select          <

```

H	w	SLOPE	TAN A(To calc.H3 & V3)
		20<30	
0-5	30		
6-15	37		
16-25	45	5:12	.4167
26-35	50	6:12	.5
36-55	56	7:12	.5833

Wall design w= .0484
 Wall moment = .5657288
 Roof D.L.=8psf

Variables H,w,S effect: u,p,Wwall,Mwall

SFBC.WKS	STORY	ANGLE	TYPE
1	1	10<20	ENCL
2	1	20<30	ENCL
3	1	30<40	ENCL
4	1	40<50	ENCL

5	2	10<20	ENCL
6	2	20<30	ENCL
7	2	30<40	ENCL
8	2	40<50	ENCL

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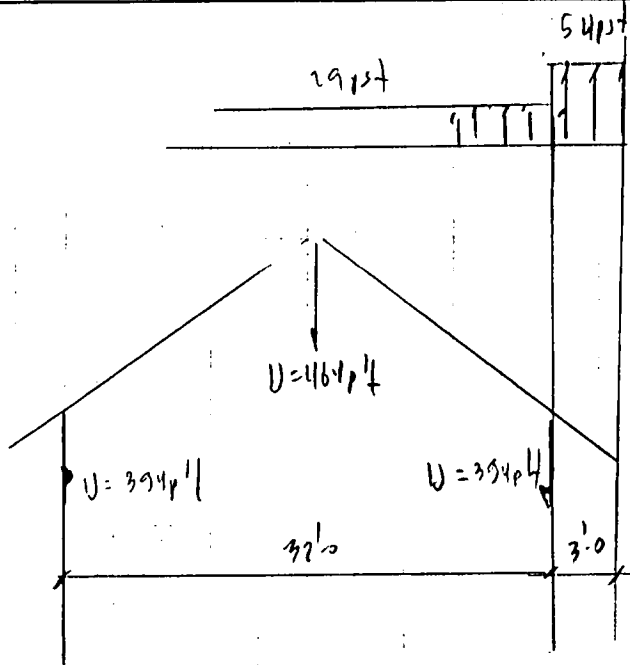
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DATE 10-10-91

SHEET 17 OF

PROJECT AYRES GUEST HOUSE

SUBJECT



$$w = 0.8 \times (44 - 8) = 29 \text{ psf}$$
$$w = 1.5 \times (44 - 8) = 54 \text{ psf}$$

USE L-H5 P = 930^d

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VOID

BY V.J. Gerley DATE 8-23-64

SHEET 18 OF

PROJECT AYRES GUEST HOUSE

SUBJECT

COLS @ CLEAR STORY

$$L = 19.33'$$

$$W_{WALL} = 0.0484 \text{ ksf}$$
$$W = 4 \times 0.0484 = 0.194 \text{ klf}$$

$$M = 0.194 \times \frac{19.33^2}{6} = 9.06 \text{ k-ft}$$

$$S_R = \frac{9.06 \times 12}{1.4 \times 1.33} = 59 \text{ in}^3$$

TRY 5-2x8 S = 76.2
 I = 285.5

$$\Delta = \frac{5 \times 0.194 \times 19.33^4 \times 1778}{384 \times 1800 \times 285.5} = 1.19'' > 0.97'' = \frac{L}{240}$$

USE 6-2x8

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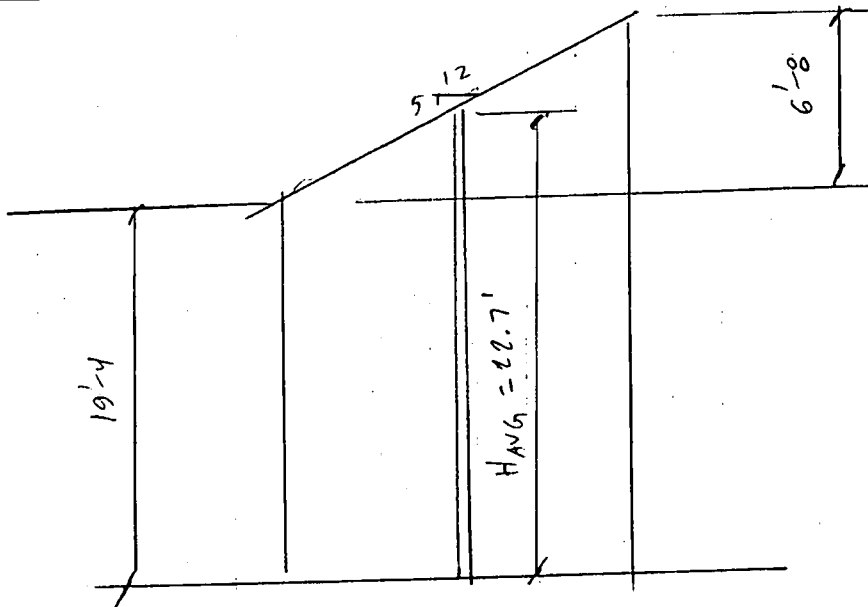
BY V. J. Gerley DATE 11-7-94

SHEET 19 OF

PROJECT ATRES GUEST HOUSE

SUBJECT

COLS @ CLEAR STORY (EAST SIDE)



$$W = 3 \times 0.0484 = 0.145 \text{ k/1}$$

$$M = 0.145 \times \frac{22.7^2}{8} = 9.31 \text{ k-ft}$$

$$S_R = \frac{9.31 \times 12}{2.8 \times 1.33} = 30 \text{ in}^3$$

USE 2-1 1/2" x 9" MICROLAM

$$S = 52.6$$

$$I = 125 \times 2 = 250$$

$$\Delta = \frac{5 \times 0.145 \times 22.7 \times 1778}{48 \times 2000 \times 250} = 1.73 \text{ in} = 1/160 \text{ OK}$$

SOUTH SIDE $H = 19.33'$

$$R = 1.72 \text{ k}$$

$$W = 3.67 \times 0.0484 = 0.178$$

$$M = 0.178 \times \frac{19.33^2}{8} = 8.31$$

$$S = \frac{8.31 \times 12}{2.8 \times 1.33} = 27 \text{ in}^3$$

USE 3-1 1/2" x 7" HLAM

$$S = 45.6$$

$$I = 165$$

$$\Delta = \frac{5 \times 0.178 \times 19.33 \times 1778}{48 \times 2000 \times 165} = 1.65 \text{ in}$$

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SHEET 20 OF

PROJECT AYRES GUEST HOUSE

SUBJECT

GABLE END WIND

$$L = \frac{14.5 \pm}{5100}$$

$$W = 0.0494 \times 1.33 = 0.0644 \text{ k/1}$$

$$h = 0.0644 \times \frac{11^2}{8} = 1.58 \text{ k/1}$$

$$S = \frac{1.58 \times 12}{1.4 \times 1.33} = 10.2 \text{ in}^3 > 8.19 \text{ in}^3$$

USE 2x6 @ 12"

$$L_{MAX} \text{ FOR } 2x6 @ 12" \quad \underline{L = 12'-6"} \quad \underline{\hspace{2cm}}$$

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DATE 10-10-94

SHEET 21 OF

PROJECT AYRES GUEST HOUSE

SUBJECT

(B1)

$L = 16'-0$

WALL $16 \times 0.02 = 0.32$
 FLOOR $1 \times 0.07 = 0.07$
 $\underline{\hspace{1cm}}$
 0.39

$H = 0.39 \times \frac{16^2}{8} = 12.48 \text{ k}'$

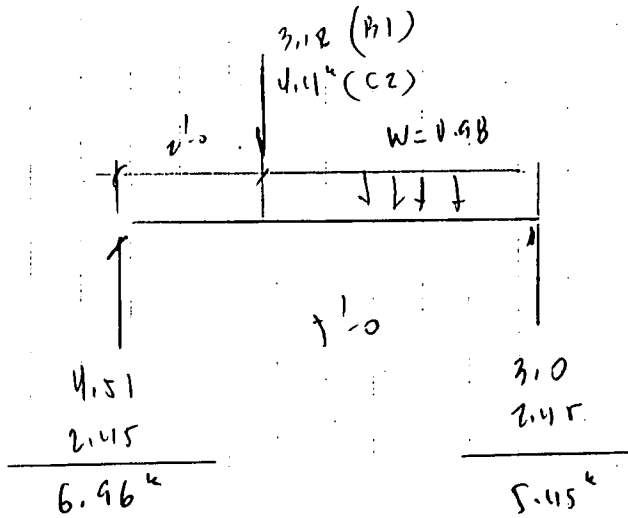
$R = 3.12 \text{ k}'$

$S = \frac{12.48 \times 12}{1.14} = 127 \text{ in}^3$

USE 3-2x12 w/ 1/2" FILLER

$S = \frac{5.5 \times 11.5^2}{6} = 121 \text{ in}^3 \text{ OK}$

(B2)



$W = 11 \times 0.07 = 0.77 \text{ k}$
 Floor

$H_{MAX} = 6.96 \times 2 - 0.77 \times \frac{16^2}{2} = 11.96 \text{ k}'$

USE 3-2x12 w/ 1/2" FILLERS

$S = \frac{11.96 \times 12}{1.14} = 123 \text{ in}^3 < 121 \text{ in}^3 \text{ OK}$

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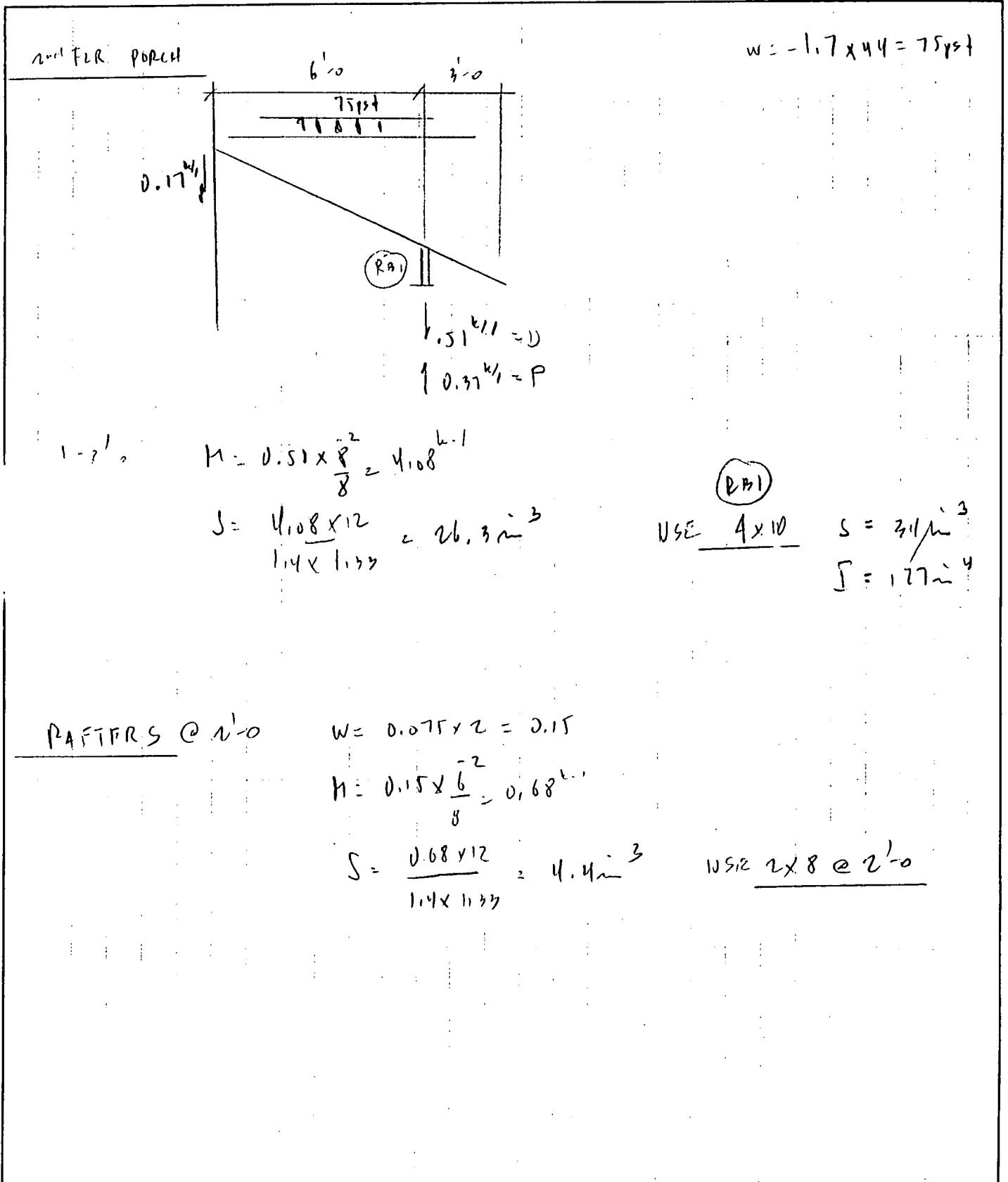
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SHEET 22 OF

PROJECT

AYRES GUEST HOUSE

SUBJECT



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DATE 10-7-94

SHEET 24 OF _____

PROJECT AYRES GUEST HOUSE

SUBJECT _____

(R94)

$L = 17'-0"$

$$w_u = 0.51$$

$$M = 0.51 \times \frac{17^2}{8} = 18.4 \text{ k-ft}$$

$$S = \frac{18.4 \times 12}{2.8 \times 1.33} = 59.4 \text{ in}^3 \quad \text{USE } \underline{3-1/4 \times 12 \text{ H LAM}}$$

USE CC 5'-8" AT TOP TYP

HD 8" @ 12" (TOP)
(8" @ 8" (COL))

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BY V. J. GERLEY DATE 10-7-01

SHEET 25 OF

PROJECT ATRS GUEST HOUSE

SUBJECT

ROOF RAFTER

$L = 16' = 0$

$W = 16 \times 0.055 = 0.88$

$H = 0.88 \times \frac{16^2}{8} = 3.52 \text{ k-ft}$

$S = \frac{3.52 \times 12}{1.4} = 30.2 \text{ in}^3$

USE TRAY 4 x 8 $S = 34$

$\Delta = \frac{5 \times 0.88 \times 16^4 \times 1.778}{384 \times 1500 \times 127} = 0.85'' \approx 0.80 = \frac{1}{240}$

OK

UPLIFT = $0.8 \times (14 - 8) = 2.9 \text{ psf}$

UPLIFT @ RIDGE PM = $\frac{16}{2} \times 0.029 = 2.30 \text{ plf} \times 2 = 4.60 \text{ / RAFTER}$

RIDGE PM (R135)

$L = 10' = 0$

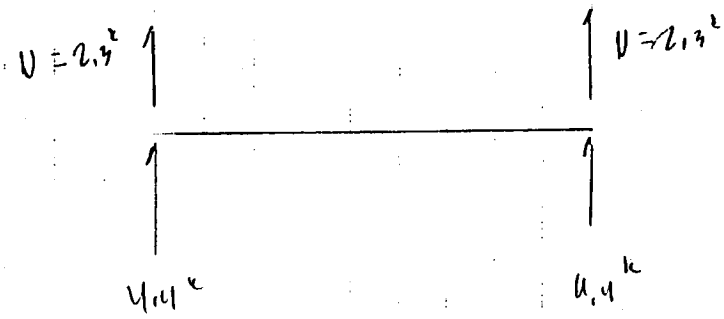
$W = 16 \times 0.055 = 0.88 \text{ k-ft}$

$H = 0.88 \times \frac{10^2}{8} = 11 \text{ k-ft}$

$S_p = \frac{11 \times 12}{1.4} = 94.2 \text{ in}^3$

USE 6 x 12 $S = 121.2$

OR 3-2 x 12 w/ $\frac{1}{2}$ " FILLS



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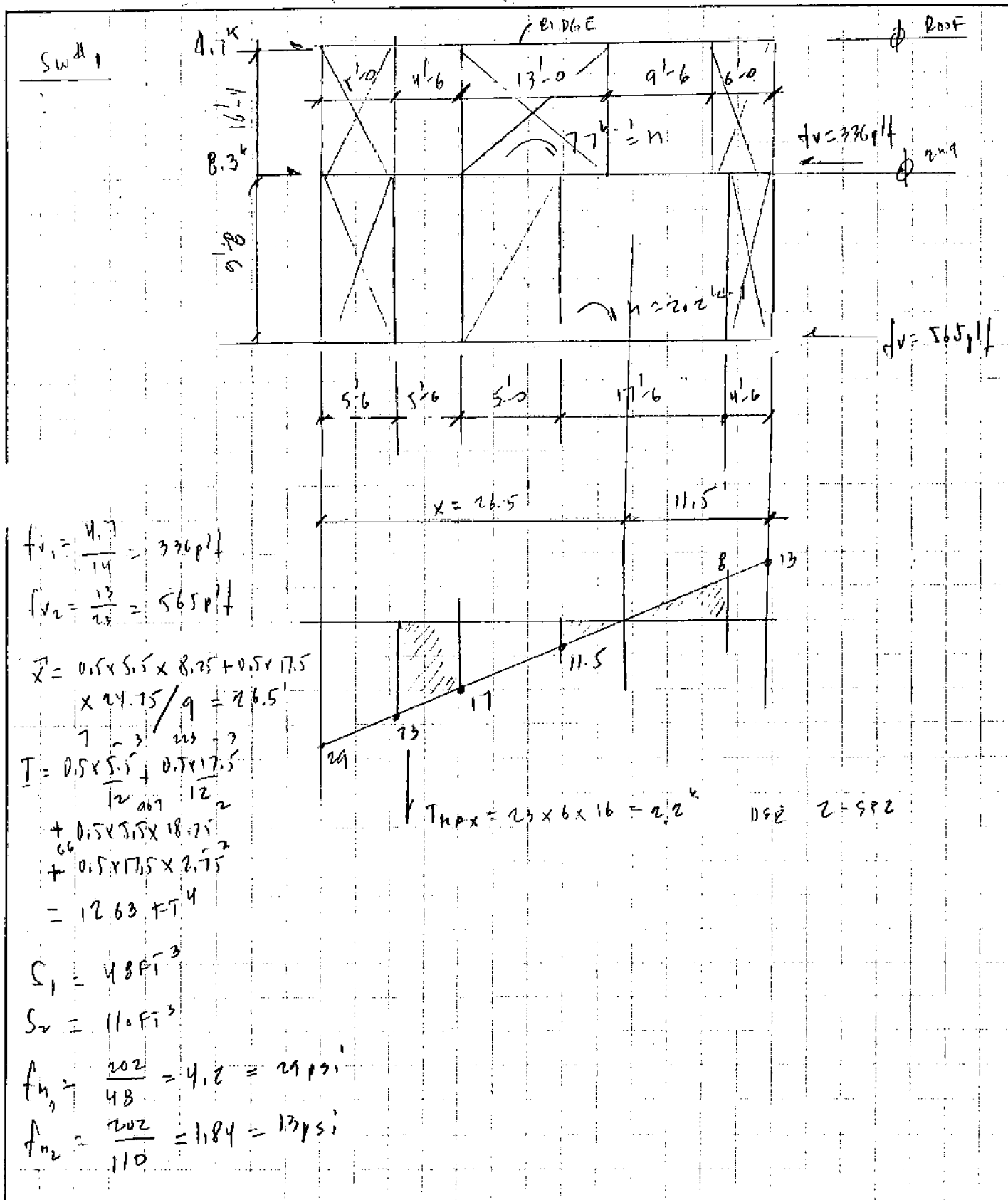
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SHEET 27 OF

PROJECT AYRES GUEST HOUSE

SUBJECT



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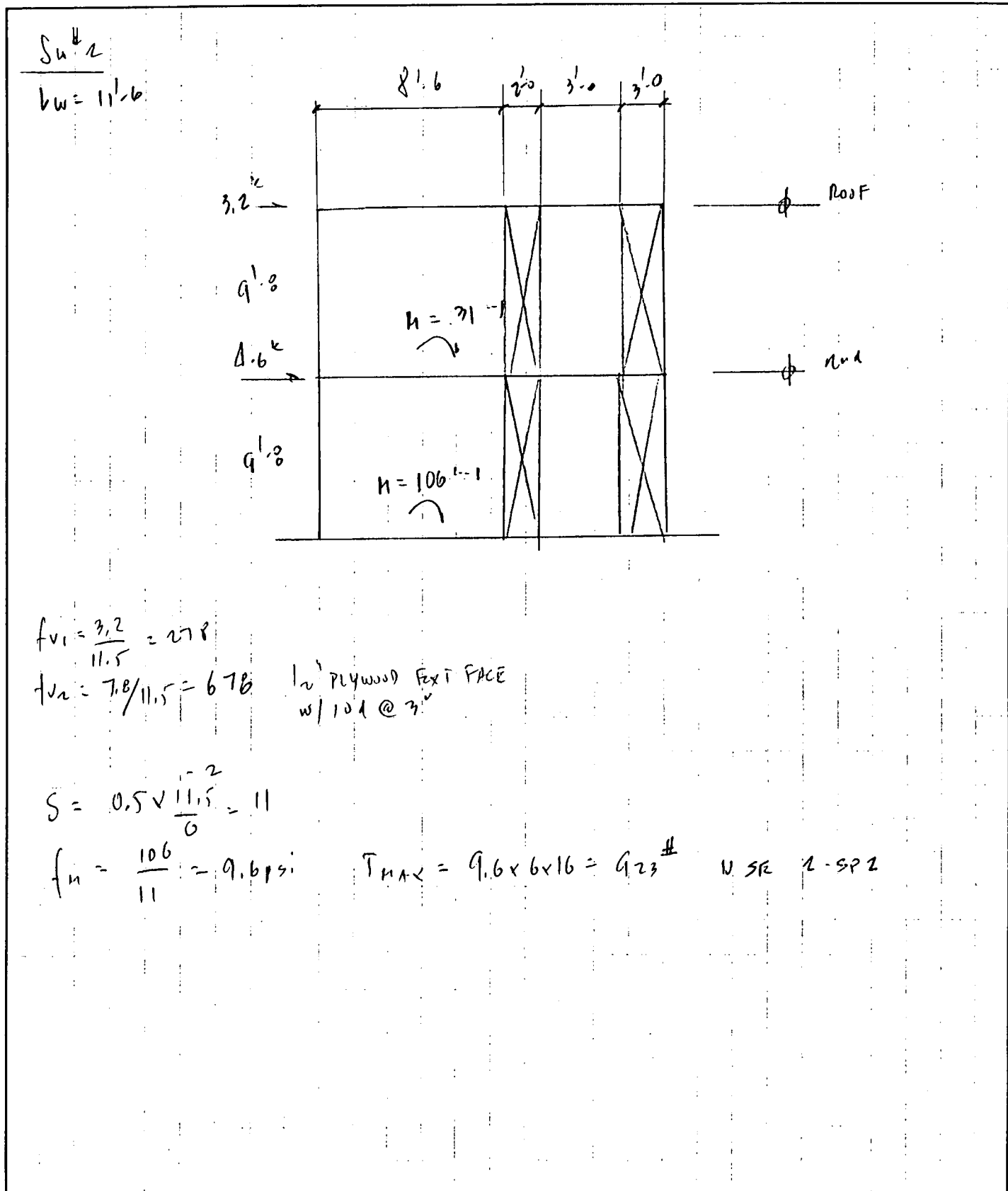
3190 N.E. MAPLE AVENUE JENSEN BEACH, FL 34957 (407) 334-2600

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SHEET 18 OF

PROJECT AYRES GUEST HOUSE

SUBJECT



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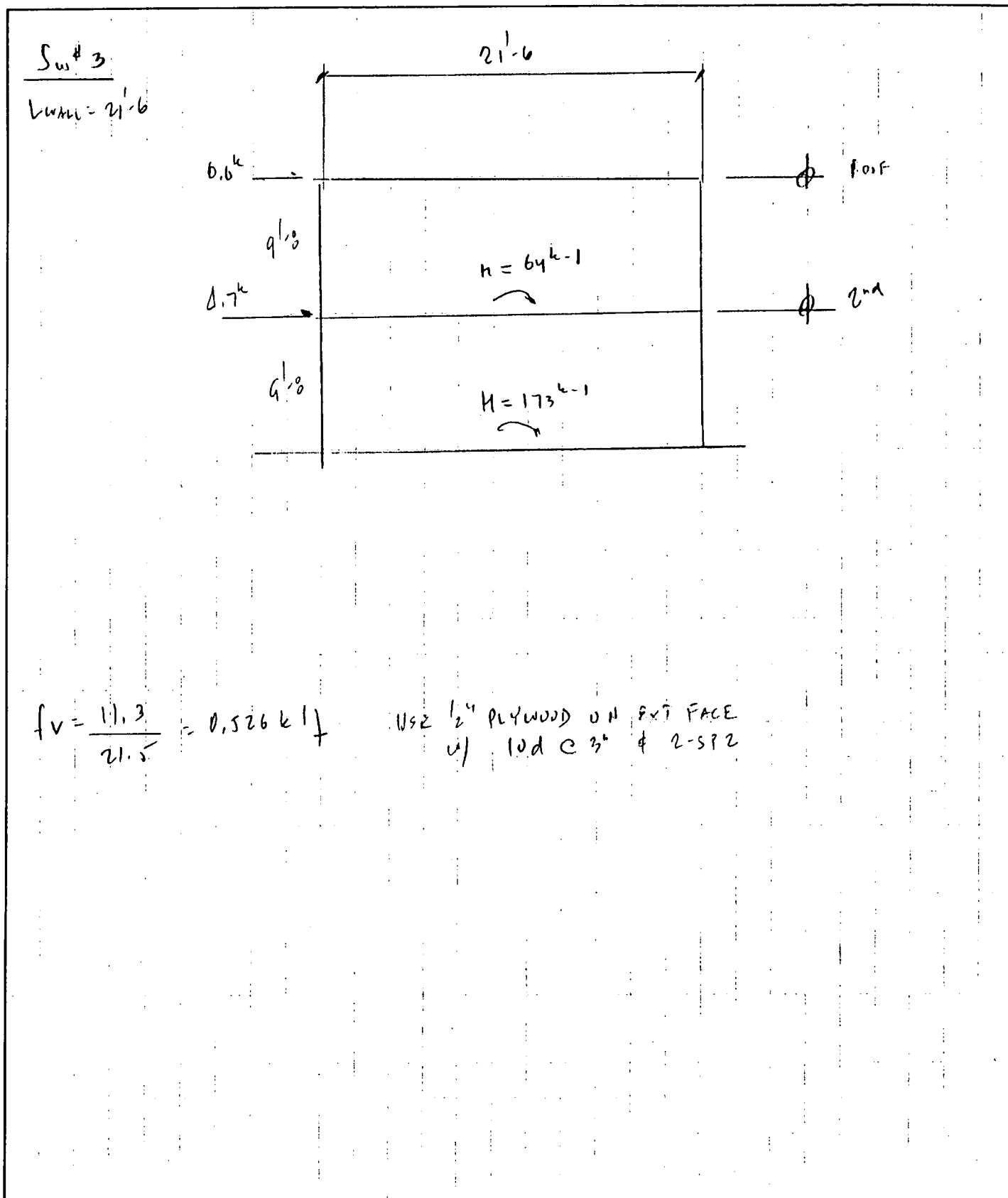
DATE 10-7-94

SHEET 29 OF

PROJECT

AIRPS GUEST HOUSE

SUBJECT



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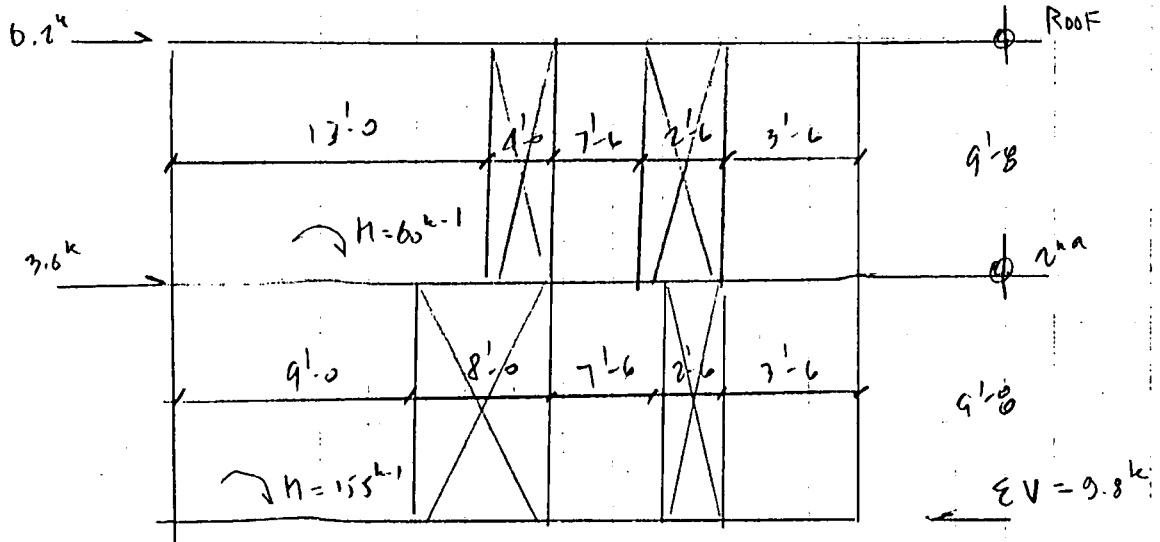
DATE 10-7-64

SHEET 30 OF

PROJECT AYRES GUEST HOUSE

SUBJECT

S_w # 4



$$A_v = \frac{9.8}{20} = 490 \text{ plf}$$

USE 1/2" PLYWOOD @ 10' @ 3" @ 2-SP2

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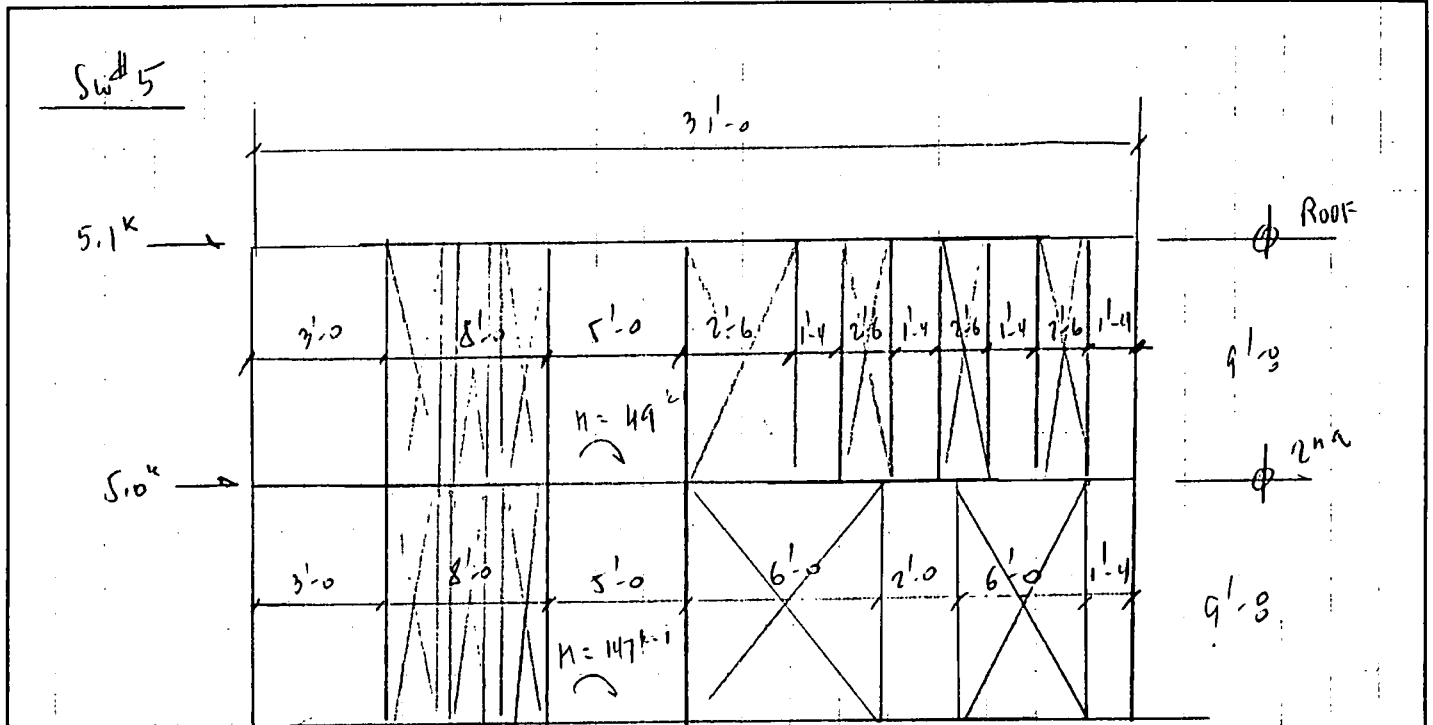
BY V. J. Gerley

DATE 10-7-91

SHEET 91 OF

PROJECT APPS GUEST HOUSE

SUBJECT



$$f_{v1} = \frac{5.1}{13} = 392 \text{ k/ft}$$

$$f_{v2} = \frac{10.1}{11.33} = 891 \text{ v/ft}$$

USE 1/2" PLYWOOD ON EXT. FACE w/ 10d @ 3"
1/2" DRYPAN w/ 6d @ 4"

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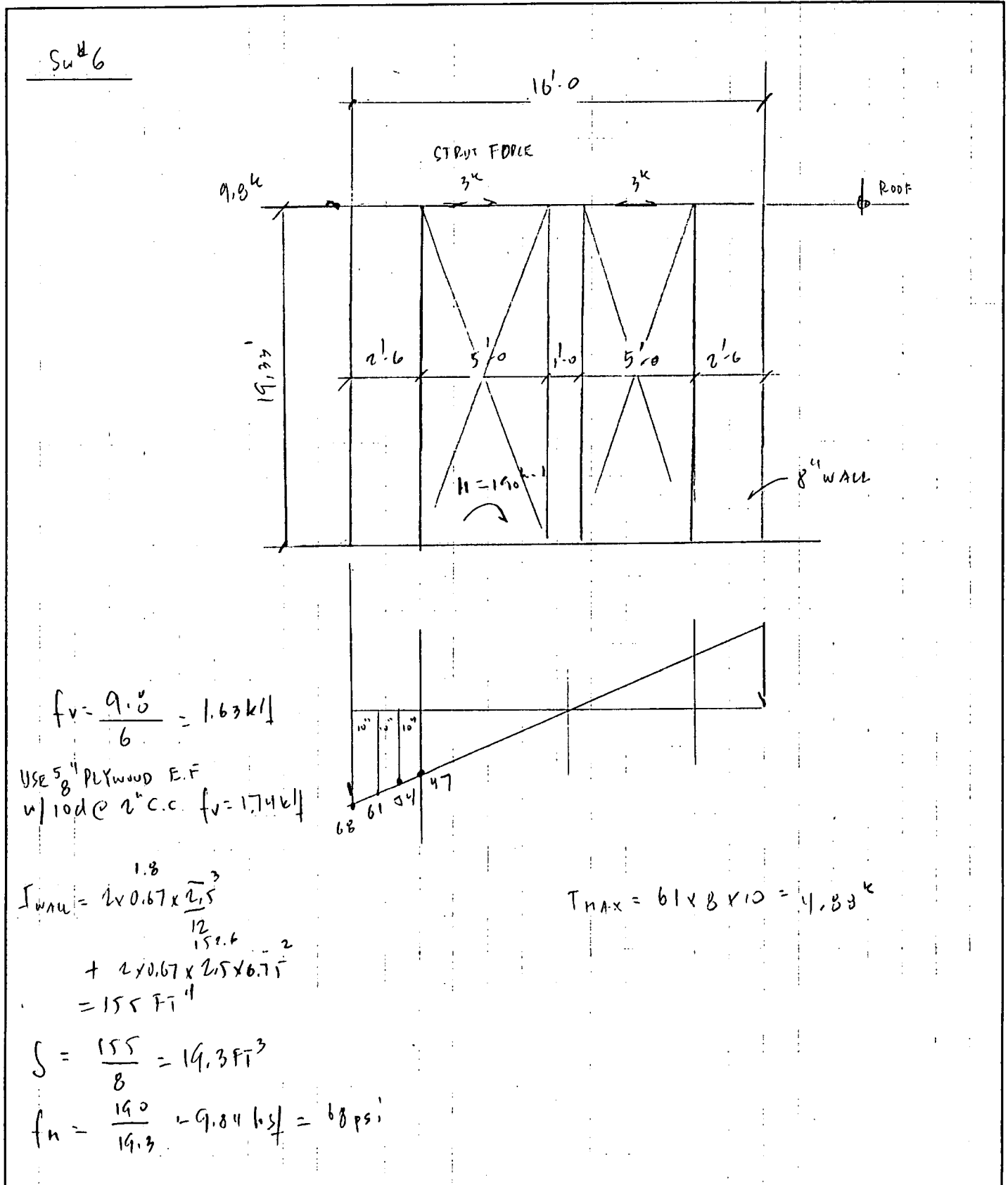
BY V. J. GERLEY

DATE 10-7-64

SHEET 32 OF

PROJECT AYRES GUEST HOUSE

SUBJECT



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BY V. J. Gerley

DATE 8-25-94

SHEET 33 OF

PROJECT A PRES GUEST HOUSE

SUBJECT

FTH @ SW#1

~~1/4~~ ^{USE} 2'-0" x 1'-6" x 30 (NOVNO)

FTH 2 x 1.5 x 30 x 0.15 = 13.5
WAN 20 x 0.015 x 10 = 3.0
2nd FLR 8 x 0.02 x 30 = 4.8
21.3

M = 8.3 x 11.5 = 95.5^{ft-lb}

e = M/P = 95.5 / 21.3 = 4.5

a = 15 - 4.5 = 10.5 > 10 OK

SP = $\frac{21.3}{2 \times 30} + \frac{95.5 \times 6}{2 \times 30^2} = 0.68 \text{ ksi OK}$

RECALCULATE

FTH @ SW#2

~~1/4~~ ^{USE} 5'-0" x 1'-0" x 16'-0

FTH 5 x 1 x 0.15 x 16 = 12.0
SOIL 4.43 x 1.5 x 0.1 x 16 = 10.4
CHU 2.67 x 0.18 x 16 = 3.4
WAN 12 x 0.015 x 20 = 3.6
29.4

M = 152 + 10.2 x 3.07 = 190^{ft-lb}

e = M/P = 190 / 29.4 = 6.5' a = 8 - 6.5 = 1.5'

SP = $\frac{2 \times 29.4}{3 \times 1.5 \times 16} = 0.82 \text{ ksi}$

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DATE 10-7-94

SHEET 34 OF

PROJECT AYRES GUEST HOUSE

SUBJECT

FTG July 1 Revised

$$M = 202^{k-1} + 13 \times 1.5 = 222^{k-1}$$

$$e = M/P = \frac{222}{26.9} = 8.2$$

$$a = 15 - 8.2 = 6.8$$

$$SP = \frac{2 \times 26.9}{3 \times 6.8 \times 2} = 1.3269 \quad OK$$

ROOF	11' x 0.015' x 30	=	6.3
WALL	23' x 0.015' x 14	=	3.5
2nd	8' x 0.015' x 30	=	3.6
FTG	291.5' x 30' x 0.015'	=	13.5
			<u>26.9^k</u>

V. J. GERLEY & ASSOCIATES
CONSULTING ENGINEERS

3190 N.E. MAPLE AVENUE JENSEN BEACH, FL 34957 (407) 334-2600

BY V. J. Gerley

DATE 8-15-01

SHEET 35 OF

PROJECT APRS GUEST HOUSE

SUBJECT

FTG @ SW #3

~~TPS~~ ^{USE} $3'0 \times 1'0 \times 21.6$

FTG	$3 \times 0.15 \times 21.5 =$	9.7
SOIL	$2.33 \times 1.5 \times 0.1 \times 21.5 =$	7.5
CMU	$2.67 \times 0.08 \times 21.5 =$	4.6
WALL	$2.0 \times 0.15 \times 20 =$	6.0
		<u>27.8</u>

$H = 173 + 11.3 \times 3.67 = 215^{k-1}$

$e = H/p = 215 / 27.8 = 7.7' \quad a = 10.75 - 7.7 = 3.05$

$SP = \frac{2 \times 27.8}{3 \times 3.05 \times 21.5} = 0.29125 \quad OK$

V. J. GERLEY & ASSOCIATES
CONSULTING ENGINEERS

3190 N.E. MAPLE AVENUE JENSEN BEACH, FL 34957 (407) 334-2600

BY V. J. GERLEY DATE 8.25.91

SHEET 36 OF

PROJECT AYRES GUEST HOUSE

SUBJECT

FTG @ SW # 4

USE
~~TRY~~ $3'-0" \times 1'-0" \times 30'-0"$

FTG	$3 \times 0.15 \times 30$	=	13.5
SOIL	$2.33 \times 2 \times 0.1 \times 30$	=	14.0
CHU	$2.67 \times 0.08 \times 30$	=	6.4
WALL	$20 \times 0.015 \times 20$	=	6.0
			<hr/>
			39.9 ^k

$H = 155 + 9.8 \times 3.67 = 191^{k-l}$

$e = H/P = 191/39.9 = 4.8'$ $a = 15 - 4.8 = 10.2' > 10.0', OK$

$SP = \frac{.44}{3 \times 30} + \frac{.13}{3 \times 30^2} = 0.87 \text{ ksi} \quad OK$

FTG @ SW # 5

USE
~~TRY~~ $3'-0" \times 1'-0" \times 31'-0"$

FTG	$3 \times 0.15 \times 31$	=	14.0
SOIL	$2.33 \times 2 \times 0.1 \times 31$	=	14.5
CHU	$2.67 \times 0.08 \times 31$	=	6.6
WALL	$13 \times 0.015 \times 20$	=	3.9
			<hr/>
			39.0 ^k

$H = 219 + 13.8 \times 3.67 = 270^{k-l}$

$e = H/P = 270/39 = 6.9'$

$a = 15.5 - 6.9 = 8.6'$

$SP = \frac{2 \times 39}{3 \times 8.6 \times 3} = 1.0 \text{ ksi} \quad OK$

V. J. GERLEY & ASSOCIATES
CONSULTING ENGINEERS

3190 N.E. MAPLE AVENUE JENSEN BEACH, FL 34957 (407) 334-2600

BY V.J. Gerley DATE 8-21-94

SHEET 37 OF

PROJECT APRES GUEST HOUSE

SUBJECT

FTG @ SW 1/6

TRF 4'0" x 1'0" x 18'0"

FTG	4 x 0.15 x 18 =	10.8
SOIL	2 x 3.33 x 0.1 x 18 =	12.0
CHU	2.67 x 0.08 x 18 =	3.9
WAN	6 x 0.015 x 20 =	1.8
		<u>28.5^k</u>

$$H = 190 + 9.8 \times 3.67 = 226^{k-l}$$

$$e = \frac{H}{P} = \frac{226}{28.5} = 7.9'$$

$$a = 9 - 7.9 = 1.1'$$

$$SP = \frac{2 \times 28.5}{3 \times 1.1 \times 4} = 4.32 \text{ ksf} > 1.33 \times 2.5 = 3.33 \text{ ksf} \quad N.G.$$

USE
TRF 5'0" x 1'0" x 18'0"

FTG	5 x 0.15 x 18 =	13.5
SOIL	2 x 4.33 x 18 x 0.1 =	15.6
CHU		3.9
WAN		1.8
		<u>34.8^k</u>

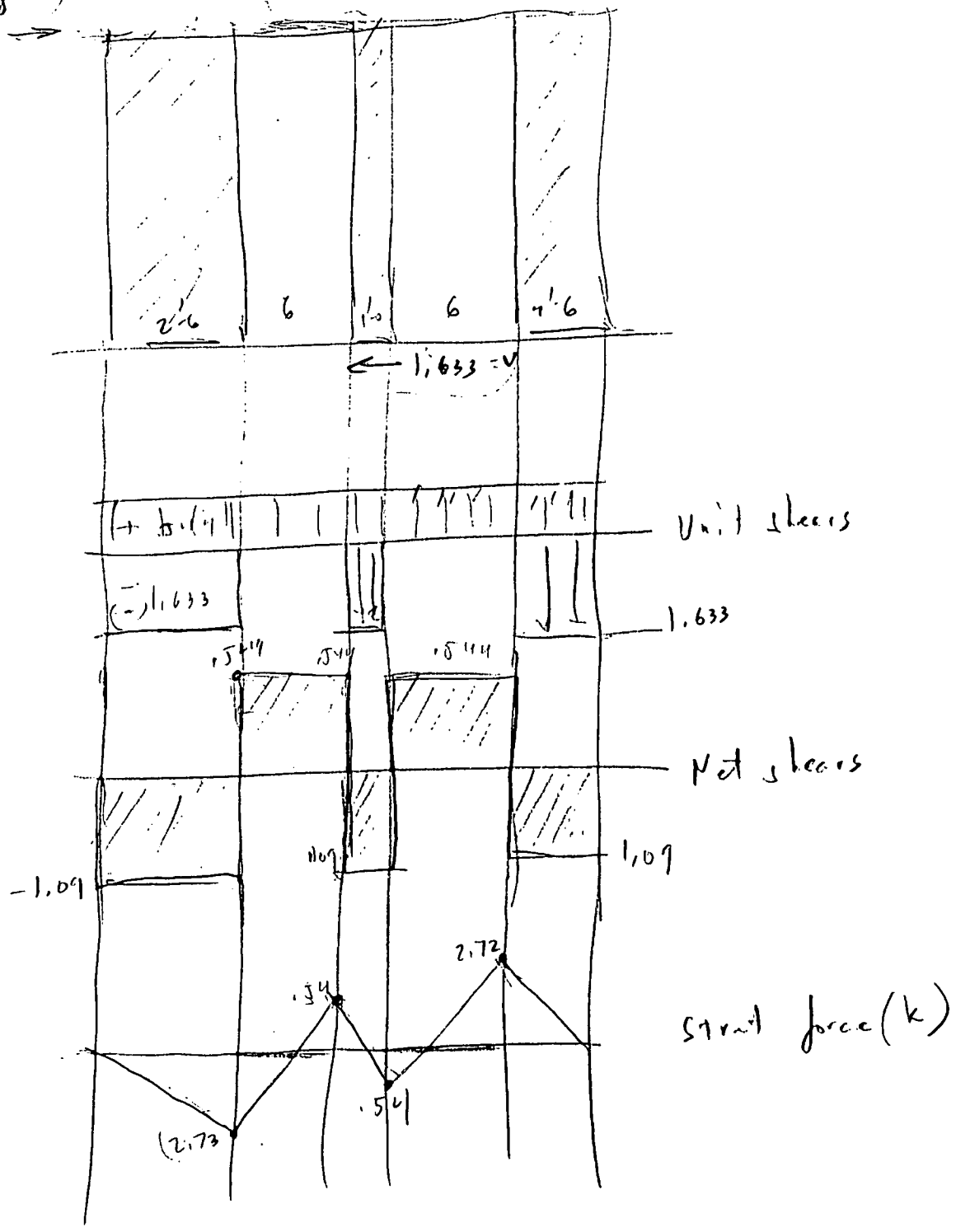
$$e = \frac{226}{34.8} = 6.5 \quad a = 2.5'$$

$$SP = \frac{2 \times 34.8}{3 \times 2.5 \times 5} = 1.86 \text{ ksf} \quad OK$$

Ayers guest house SW# 6

V.J. Gerley & Associates
3190 N.E. Maple Ave.
Jensen Beach, FL 34957

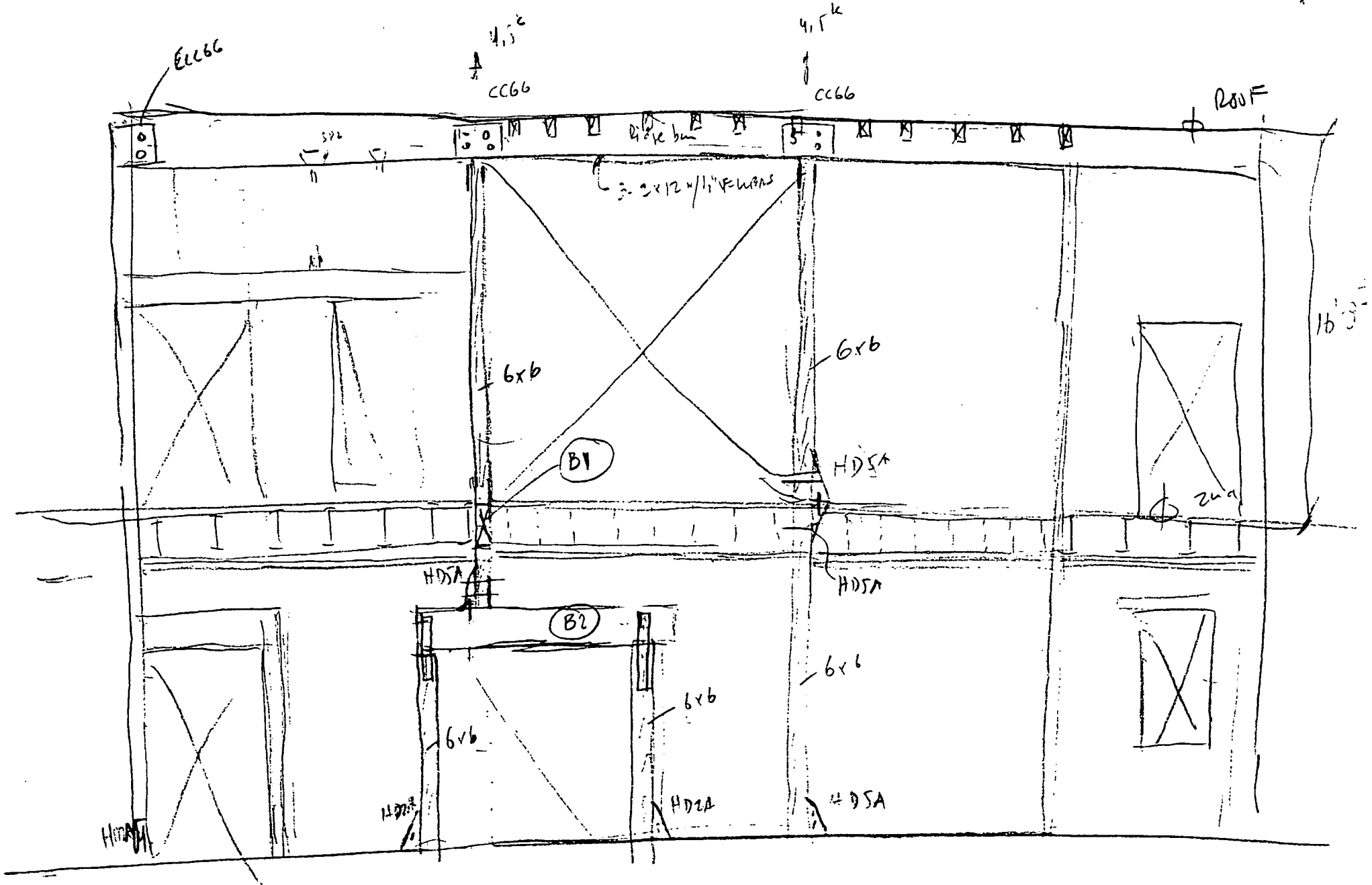
9.8^k
 $V = 9.8/18 = 544 \text{ plf}$



AYRES GUEST HOUSE

Sw 1

V.J. Gerley & Associates
3190 N.E. Maple Ave.
Jensen Beach, FL 34957



RECORD OF INSPECTIONS
TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 3/7/96

This is to request that a Certificate of Approval for Occupancy be issued to Mr Fred Ayres.

For property at 15 South River Road built under Permit No. 3693 Dated 11/29/94 when completed in conformance with the Approved Plans.

Signed *Robert J. Brown*

ITEM	DATE	APPROVED BY (initials)
1. Form board tie in	<u>10/18/94</u>	<u>RB</u>
2. Termite protection	<u>10/11/94</u>	<u>RB</u>
3. Footing - slab	<u>10/20/94</u>	<u>RB</u>
4. Rough plumbing - slab	<u>N/A</u>	<u>—</u>
5. Rough electric - slab	<u>N/A</u>	<u>—</u>
6. Lintel	<u>N/A</u>	<u>—</u>
7. Dry in (final)	<u>1/26/95</u>	<u>RB</u>
8. Roof	<u>4/11/95</u>	<u>RB</u>
9. Framing	<u>2/21/95</u>	<u>RB</u>
10. Rough electric	<u>2/21/95</u>	<u>RB</u>
11. Rough plumbing	<u>2/21/95</u>	<u>RB</u>
12. A/C Ducts	<u>2/21/95</u>	<u>RB</u>
13. Insulation	<u>3/14/95</u>	<u>RB</u>
14. Final electric	<u>1/5/96</u>	<u>RB</u>
15. Final plumbing	<u>1/5/96</u>	<u>RB</u>
16. Final construction	<u>1/5/96</u>	<u>RB</u>
17. As-built survey	<u>2/5/96</u>	<u>RB</u>
18. Affidavit of cost	<u>3/6/96</u>	<u>RB</u>

Final Inspection for Issuance of Certificate for Occupancy

Approved by Building Inspector Robert Brown 3/7/96 date

Approved by Building Commissioner _____ date

Utilities notified F.P.L 2/16/96 date

Original Copy sent to OWNER date
(owner)

(Keep carbon copy for Town files)

3714

REROOF/RESIDE

BOAT HOUSE

3714

TAX FOLIO NO. _____

DATE 1/5/95

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner FREDERIC M. MYERS Present address 60 S. SEWALLS Pt Rd. SEWALLS RT 39946

Phone 287-9854

Contractor Rexford B/ks INC Address PO Box 650099 VERO BEACH FL

Phone 407-287-9854
407-569-4087

Where licensed FL License number CBC 026756

Electrical Contractor _____ License number _____

Plumbing Contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: RE ROOF + RE SIDE BOAT HOUSE

State the street address at which the proposed structure will be built:

15 S. RIVER Rd.

Subdivision HERITAGE Lot Number 10+25 Block Number _____

Contract price \$ 9,000.00 Cost of permit \$ 172.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-Tagging" the construction project.

Contractor Sara F Rexford

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Kee M. Myers

TOWN RECORD

Date submitted _____

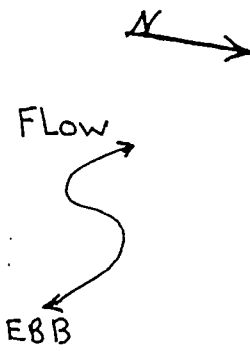
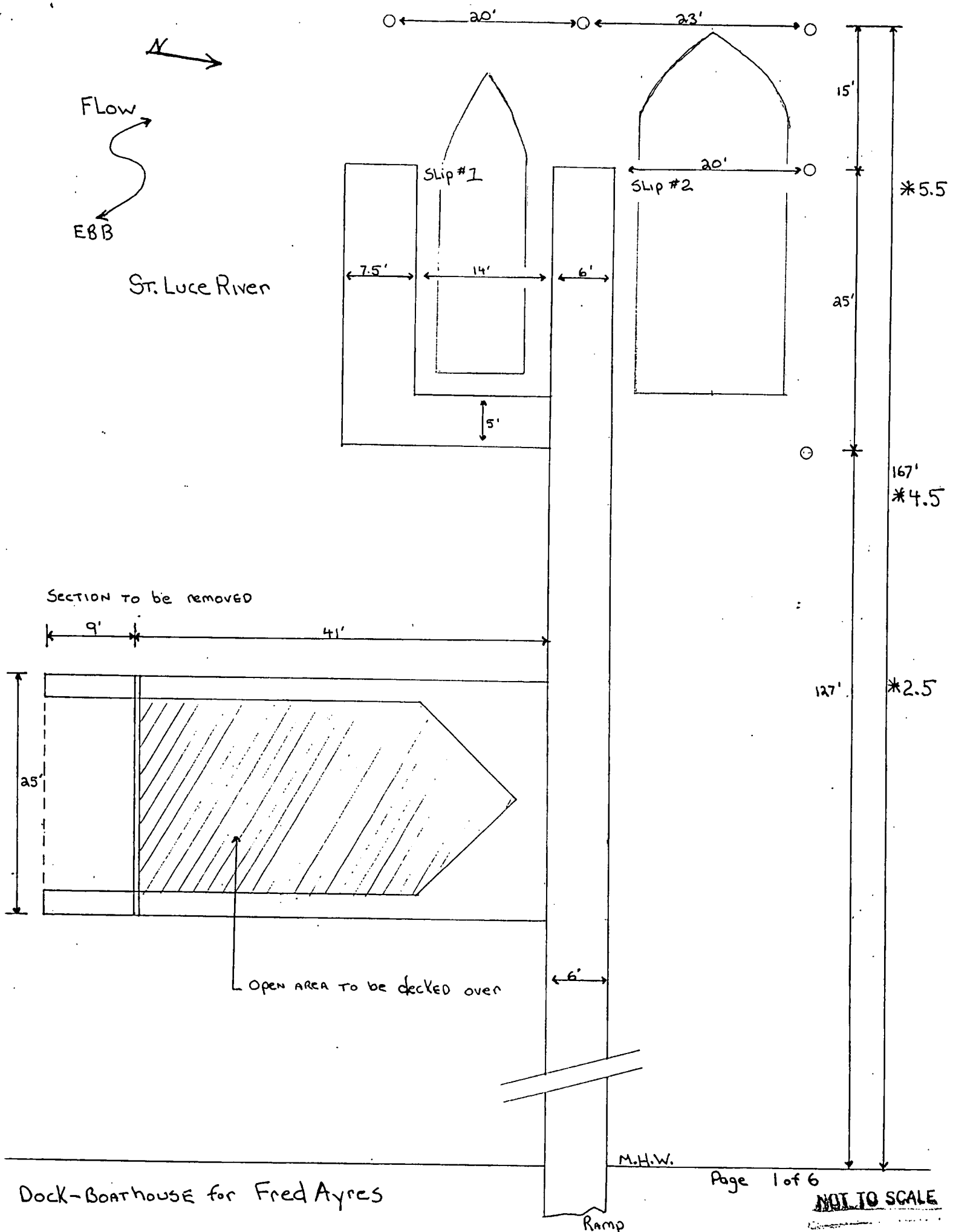
Approved: Dale Brown 1/4/95
Building Inspector Date

Approved: [Signature]
Commissioner Date

Final approval given: _____
Date

CERTIFICATE OF OCCUPANCY issued (if applicable) _____
Date

PERMIT NO. _____



St. Luce River

20' 23'

Slip #1

Slip #2

7.5' 14' 6'

5'

15'

*5.5

25'

167'
*4.5

SECTION TO BE REMOVED

9' 41'

25'

127'

*2.5

OPEN AREA TO BE DECKED OVER

6'

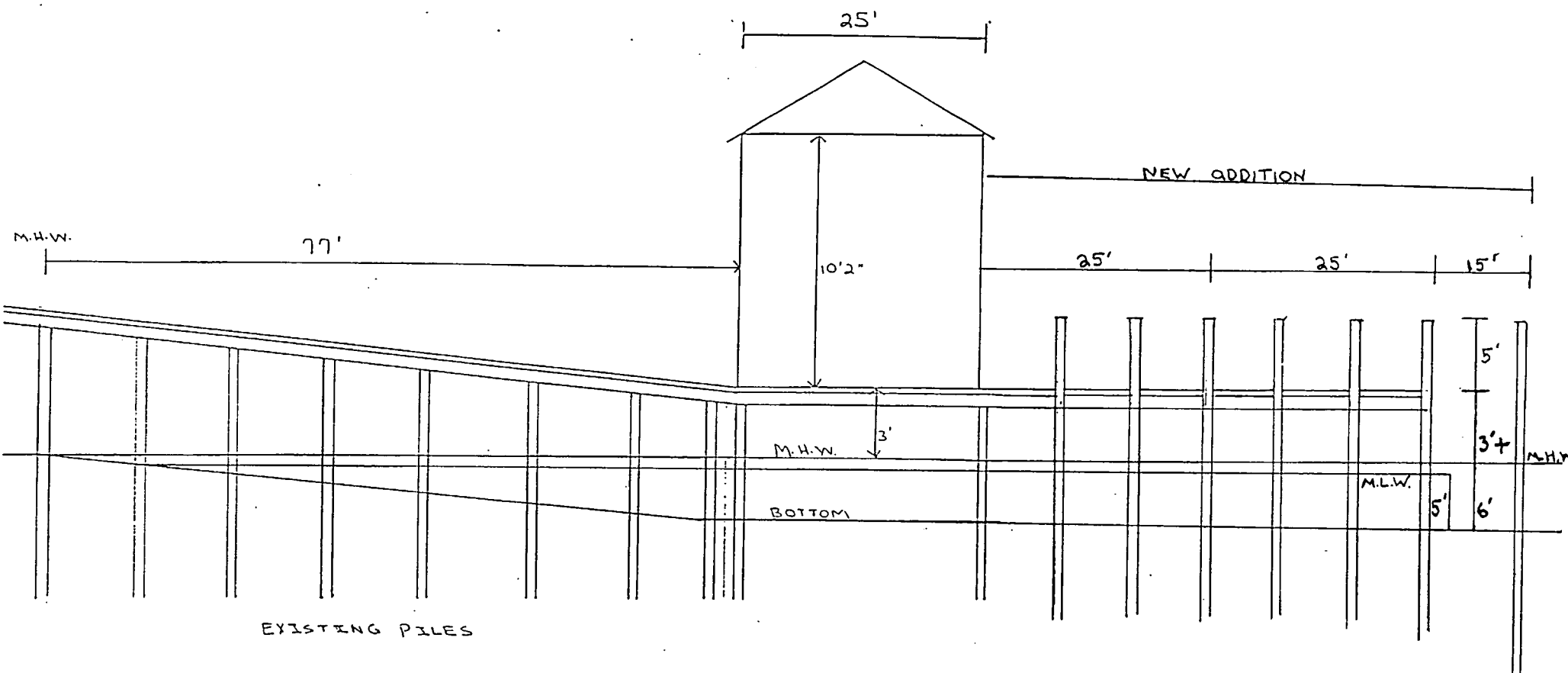
M.H.W.

Ramp

DOCK-BOATHOUSE for Fred Ayres

Page 1 of 6

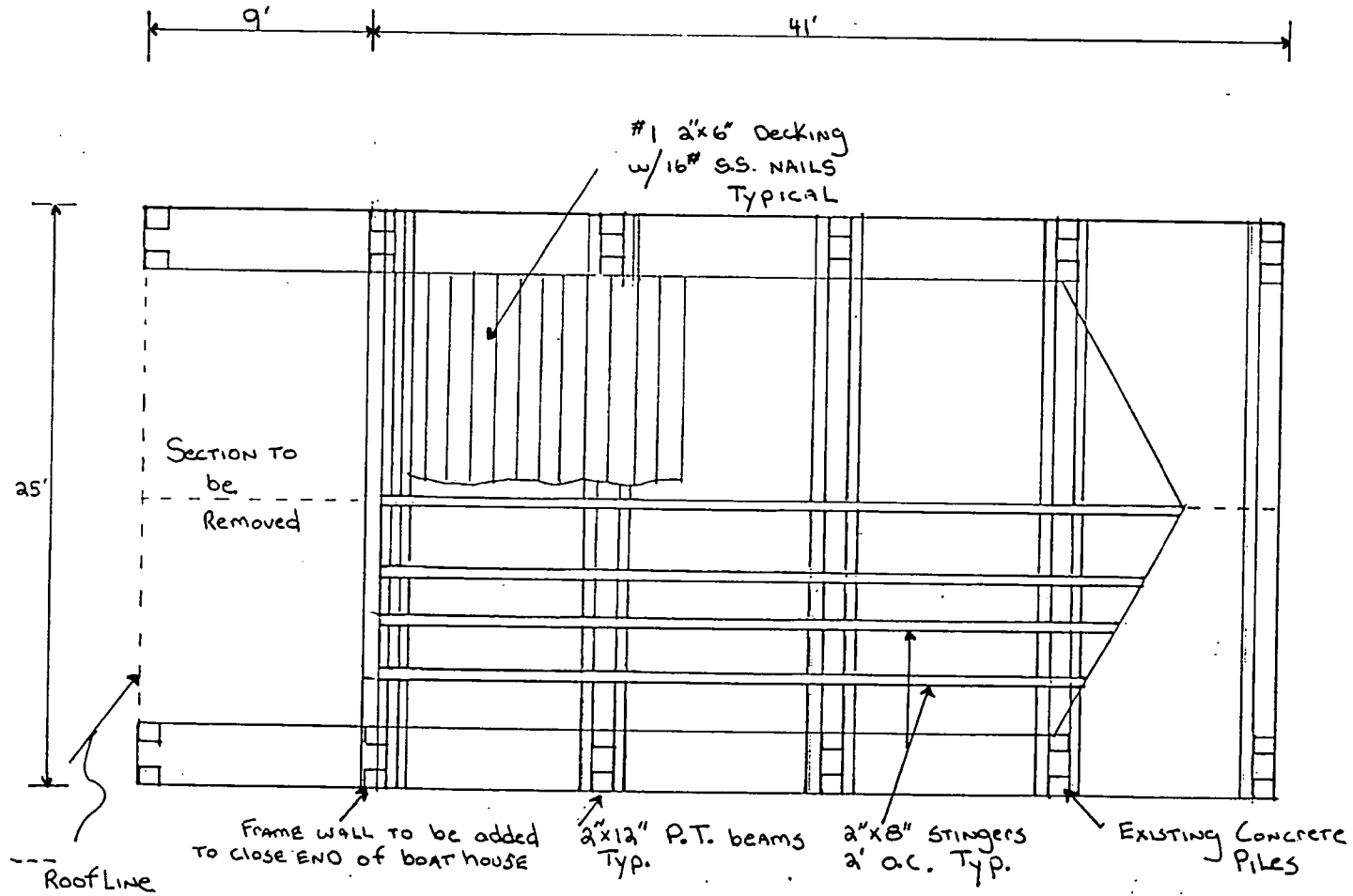
NOT TO SCALE



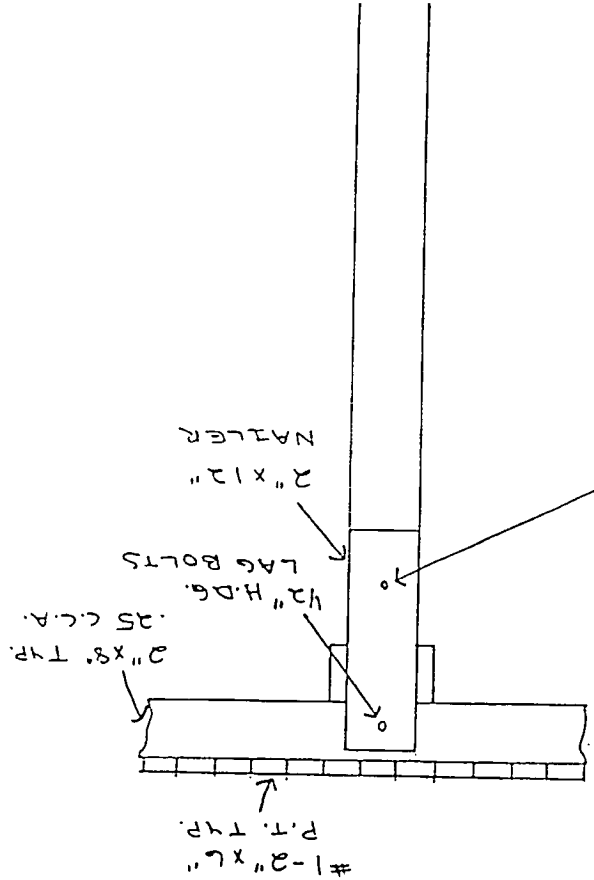
Dock/Boathouse for Fred Ayres

MULTI SCALE

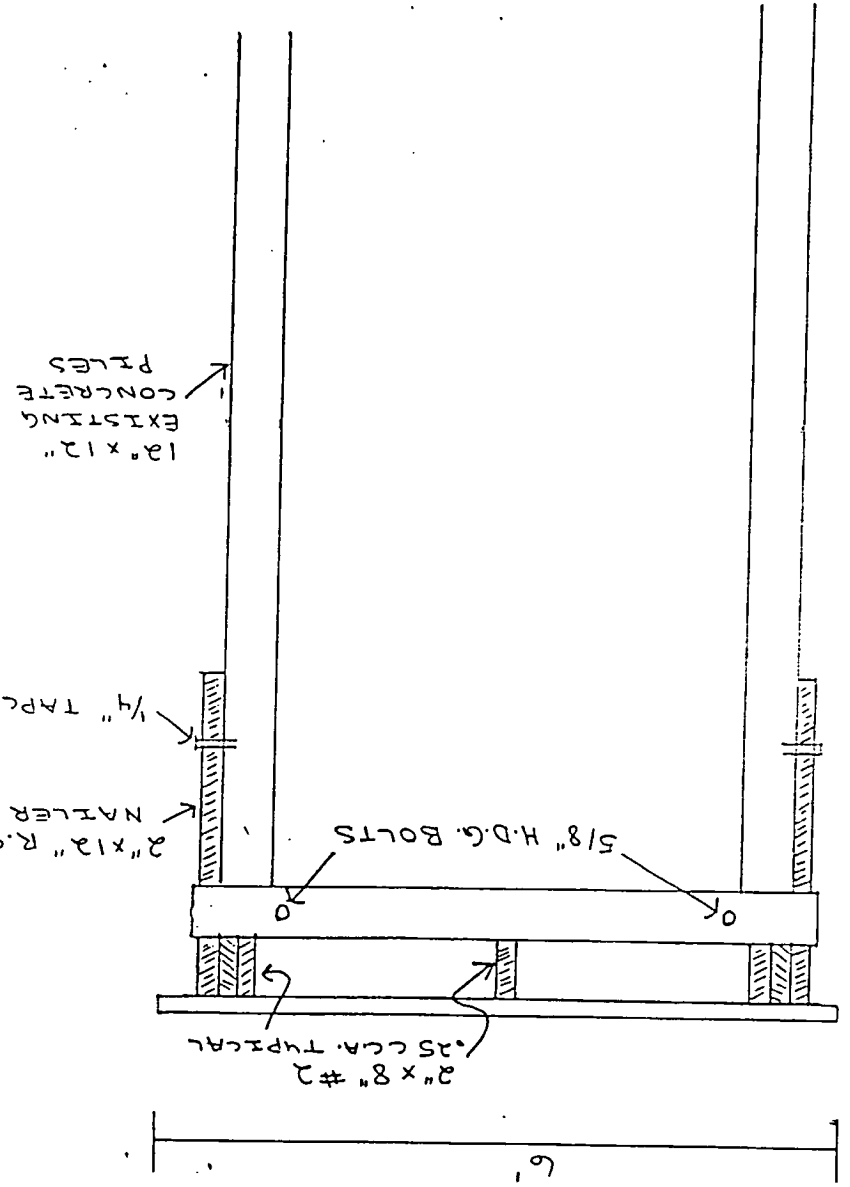
Boat house to be closed in
To be used for storage



NOT TO SCALE

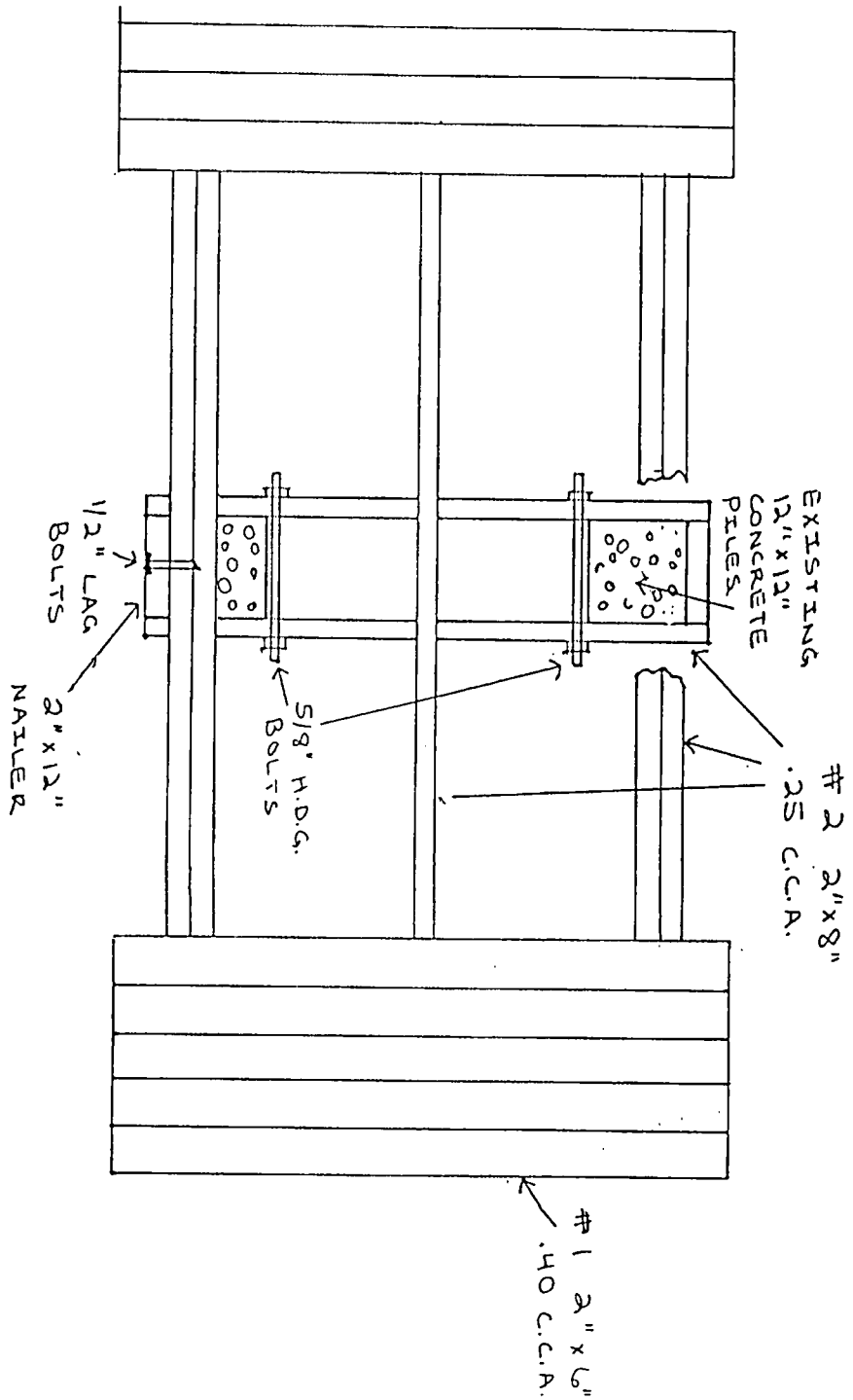


Details of old section



TYPICAL ELEVATION

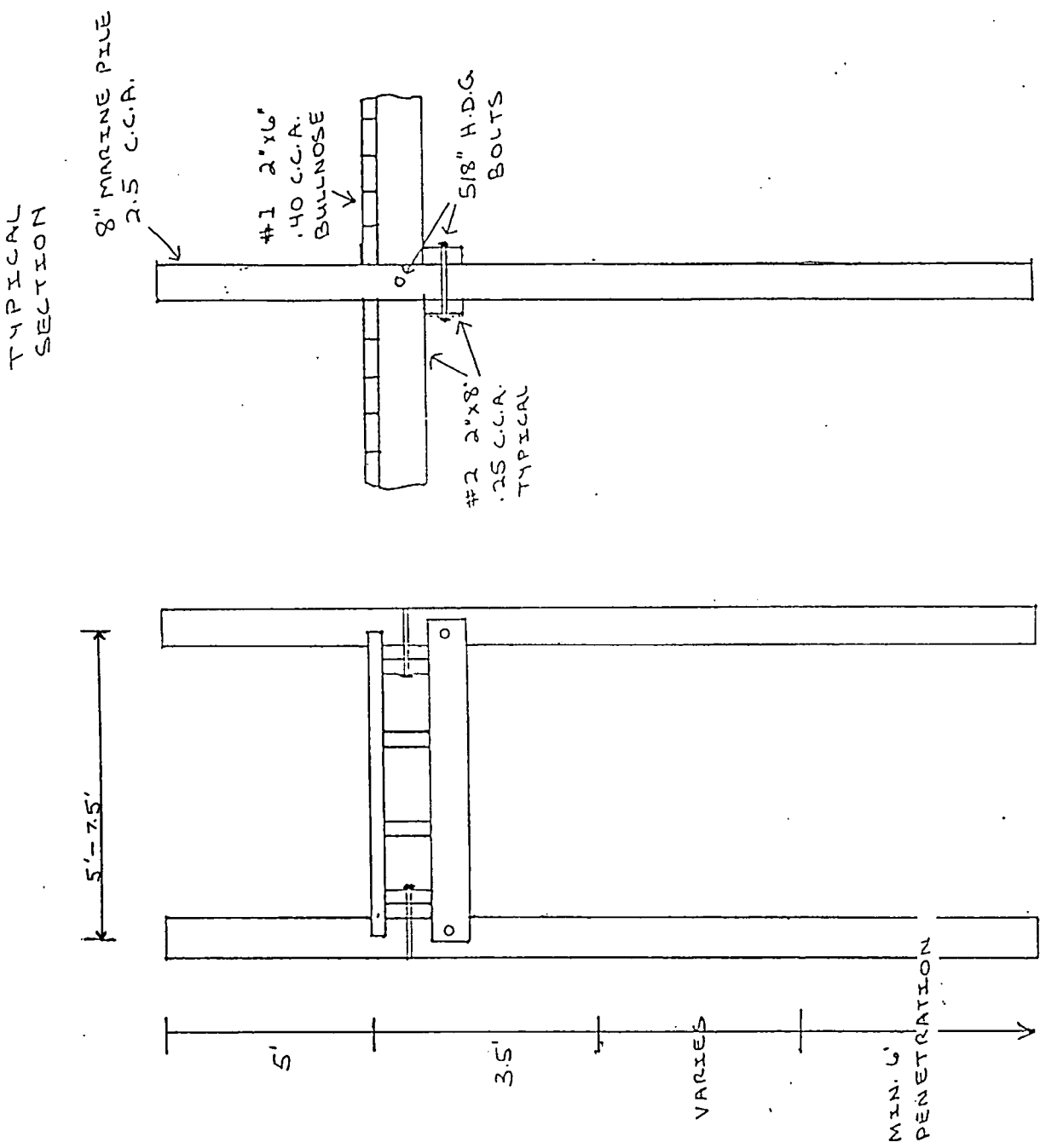
TOP VIEW



Dock for Fred Ayres (OLD SECTION)

SCALE

DETAILS for NEW ADDITION



NOT TO SCALE

3736

REROOF/RESIDE

GARAGE

3736

TAX PHOTO NO.

DATE 2/9/95

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner FREDERIC M. ATRES Present address 60 SEWALLS PT. RD.

Phone 287-9854 SEWALLS PT. 34946

Contractor Bexford Bldg Address PO 650099

Phone _____ VERO BEACH FL.

Where licensed FL. License number CGC 026756

Electrical Contractor _____ License number _____

Plumbing Contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Re roof + make EXISTING GARAGE

State the street address at which the proposed structure will be built:

15 S. RIVER RD.

Subdivision HERITAGE Lot Number 10425 Block Number _____

Contract price \$ 7,500- Cost of permit \$ 100.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-Tagging" the construction project.

Contractor Sara F Bexford

I understand that these plans must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.



Owner Frederic M. Atres

TOWN RECORD

Date submitted _____

Approved: Dele Brown 2/9/95
Building Inspector Date

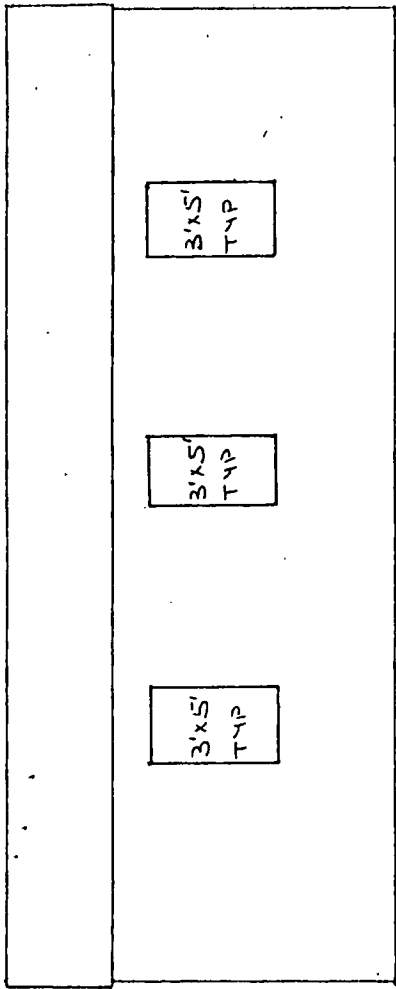
Approved: [Signature]
Commissioner Date

Final approval given: _____
Date

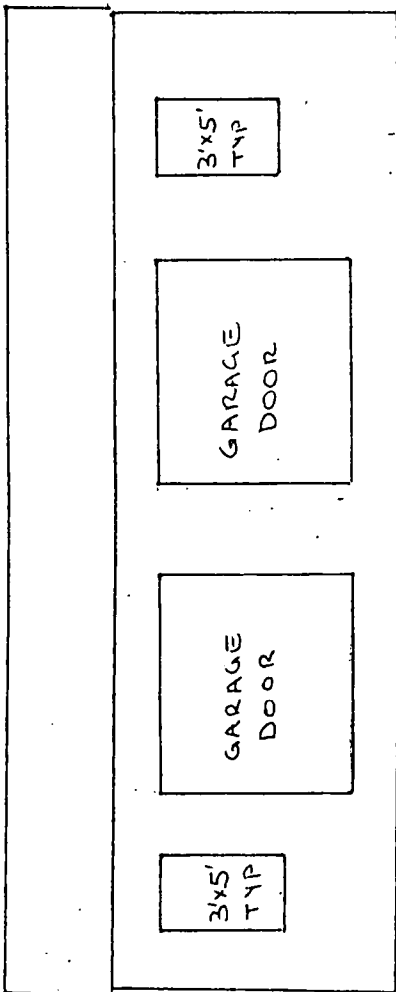
CERTIFICATE OF OCCUPANCY issued (if applicable) _____
Date

PERMIT NO. _____

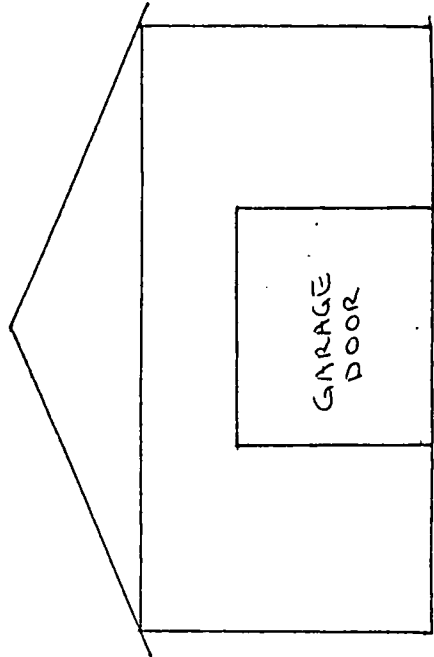
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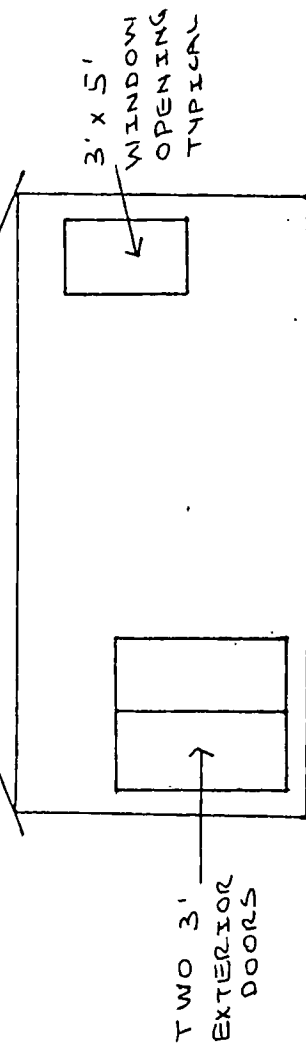
W



S



N



3788

POOL

TAX FOLIO NO.

3788

DATE 4/25/95

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner FREDM. AYRES Present address 60 S. SEWALLS PT. Rd.

Phone 334-1130 PO BOX 2803
JENSEN Bch. FL

Contractor OWNER BUILDER Address _____

Phone _____

Where licensed _____ License number _____

Electrical Contractor _____ License number _____

Plumbing Contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Pool

State the street address at which the proposed structure will be built:

15 S. RIVER Rd

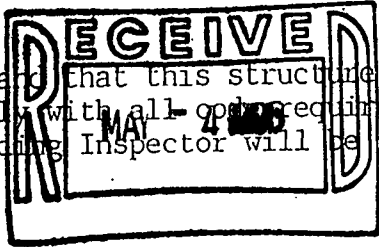
Subdivision HERITAGE PLACE SEWALLS Point FL Lot Number 10+25 Block Number _____

Contract price \$ 15,000.00 Cost of permit \$ 200.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-Tagging" the construction project.

Contractor Karl M. Ayres
OWNER BUILDER



I understand that this structure must be in accordance with the approved plans and that it must comply with all other requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Karl M. Ayres

TOWN RECORD

Date submitted _____

Approved: Rich Brown 5/4/95
Building Inspector Date

Approved: [Signature]
Commissioner Date

Final approval given: _____
Date

CERTIFICATE OF OCCUPANCY issued (if applicable) _____
Date

PERMIT NO. _____

3873

FENCE

TAX FOLIO NO. _____

DATE 10/10/95

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, PORCH OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner FREDRICK AYRES Present address 60 S. SEWALLS RD

Phone 334-1130

Contractor REXFORD BIDES Address PO 650046

Phone 287-9854 VERD BEH FL.

Where licensed F/ License number CGC 026 756

Electrical Contractor _____ License number _____

Plumbing Contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: FENCE

State the street address at which the proposed structure will be built:

15 S. RIVER RD.

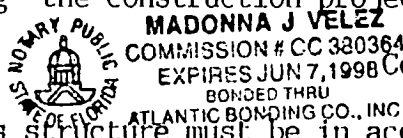
Subdivision HERITAGE Lot Number 10725 Block Number _____

Contract price \$ 35,000 Cost of permit \$ 280.00

Plans approved as submitted Plans approved as marked _____

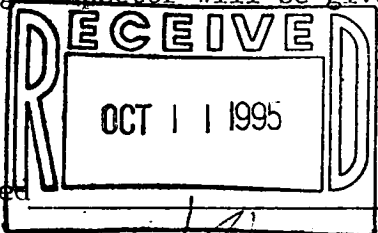
I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-Tagging" the construction project.

Madonna J Velez
10-10-95



Contractor Sara F. Resford

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.



Owner Karl M. Ayres

Date submitted _____

TOWN RECORD

Approved: Dale Brown 10/11/95
Building Inspector Date

Approved: [Signature] Commissioner Date

Final approval given: _____ Date

CERTIFICATE OF OCCUPANCY issued (if applicable) _____ Date

PERMIT NO. _____

8405

REBUILD DOCK

&

BOAT HOUSE

Abandoned roof 4/5/07

Mastriener

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 10-5-06

BUILDING PERMIT NO. 8405

Building to be erected for Oyers

Type of Permit Rebuild dock

Applied for by Custom built Marine

(Contractor) 960/300 Building Fee 2880.00

Subdivision Heritage Pl Lot 25 Block _____

Radon Fee _____

Address 15 S River Rd

Impact Fee _____

Type of structure SFR

A/C Fee _____

Electrical Fee 35.00

Parcel Control Number:
13841-013-000-00100-60000

Plumbing Fee _____

Roofing Fee _____

Amount Paid \$2915 Check # 11862 Cash _____ Other Fees (_____) _____

Total Construction Cost \$ 300000

TOTAL Fees 2915.00

Signed: [Signature]
Applicant

Signed: [Signature]
Town Building Official

5-9-07-called Bob left mess.

5-10- spoke to Bob \$29150/mo x

PERMIT

- | | | |
|--|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input checked="" type="checkbox"/> DOCK/BOATHOUSE | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

abandoned 4/5/07 Renew 4mo @ 291.50/mo

4/5/07 to 8/5/07 \$1166 Pd 5/11/07 MASTER PERMIT NO. _____

Renew: 1mo @ 291.50 TOWN OF SEWALL'S POINT

CR# 13704

Date 10-5-06 - 8/5/07 - 9/5/07 - Pd 8/2/07 CR# 14313

BUILDING PERMIT NO. 8405

Building to be erected for Oyers Type of Permit Rebuild dock

Applied for by Custom Built Marine (Contractor) 960/300 Boathouse

Subdivision Heritage Pl Lot 25 Block _____ Radon Fee _____

Address 15 S River Rd Impact Fee _____

Type of structure SFR A/C Fee _____

Parcel Control Number: _____ Electrical Fee 35.00

13841-013-000-00100-60000 Plumbing Fee _____

Amount Paid \$2915 Check # 11862 Cash _____ Other Fees (_____) _____

Total Construction Cost \$ 300000 Roofing Fee _____

TOTAL Fees 2915.00

Signed [Signature]
Applicant

Signed John Adams
Town Building Official

CUSTOM BUILT MARINE CONSTRUCTION, INC.
P. O. BOX 3016
STUART, FL 34995
(772) 288-4254

RIVERSIDE NATIONAL BANK
989 south federal hwy.
stuart, fl 34994
63-1114/670

~~000001~~

8/2/07

PAY TO THE ORDER OF

TOWN OF SEWALL'S POINT

\$ 291.50

Two Hundred Ninety One / 50 / 100 DOLLARS

MEMO

Fred Adams Dock

[Signature]
AUTHORIZED SIGNATURE

~~000001~~ ~~000001~~

abandoned 4/5/07 Renew 4mo @ 291⁵⁰/mo

4/5/07 to 8/5/07 \$1166 Pds/1110 CK#13704

TOWN OF SEWALL'S POINT

MASTER PERMIT NO. _____
BUILDING PERMIT NO. 8405

Date 10-5-06

Building to be erected for sub

Type of Permit Rebuild dock

Applied for by Custombuilt Marine

(Contractor) 760/300 Boat House
Building Fee 2880.00

Subdivision Heritage Pt Lot 25 Block _____

Address 5500 Brier Rd

Radon Fee _____

Type of structure SR

Impact Fee _____

A/C Fee _____

Parcel Control Number:

Electrical Fee 35.00

10841013-000-00100-60000

Plumbing Fee _____

Amount Paid 2915 Check # 11868 Cash _____

Roofing Fee _____

Total Construction Cost \$ 300000

Other Fees (_____) _____

TOTAL Fees 2915.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official

PERMIT

510 - spots to Bob \$291⁵⁰/mo x

- | | | |
|--|--|--|
| <input checked="" type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input checked="" type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input checked="" type="checkbox"/> DOCK/BOATHOUSE | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | | | |
|-----------------------------|-------|------------------------|-------|
| UNDERGROUND PLUMBING | _____ | UNDERGROUND GAS | _____ |
| UNDERGROUND MECHANICAL | _____ | UNDERGROUND ELECTRICAL | _____ |
| STEMWALL FOOTING | _____ | FOOTING | _____ |
| SLAB | _____ | TIE BEAM/COLUMNS | _____ |
| ROOF SHEATHING | _____ | WALL SHEATHING | _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS | _____ | LATH | _____ |
| ROOF TIN TAG/METAL | _____ | ROOF-IN-PROGRESS | _____ |
| PLUMBING ROUGH-IN | _____ | ELECTRICAL ROUGH-IN | _____ |
| MECHANICAL ROUGH-IN | _____ | GAS ROUGH-IN | _____ |
| FRAMING | _____ | EARLY POWER RELEASE | _____ |
| FINAL PLUMBING | _____ | FINAL ELECTRICAL | _____ |
| FINAL MECHANICAL | _____ | FINAL GAS | _____ |
| FINAL ROOF | _____ | | |

Date: 9-18-06

Permit Number: _____

Revised
9/20/06

Town of Sewall's Point BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME: FRED AYERS Phone (Day) 223-5510 (Fax) _____

Job Site Address: 155 RIVER ROAD City: SEWALLS POINT State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) HERITAGE PLACE LOT #10 1438 S. 5TH + LOT #25 Parcel Number: 01-38-41-013-000-00100-6

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: REBUILT BOAT DOCK + BOAT HOUSE. SAME FOOTPRINT AS EXISTING. PRIOR TO 04 STORMS

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: CUSTOM BUILT MARINE CONSTRUCTION, INC. Phone: 772 288-4254 Fax: 772 288-2802

Street: P.O. Box 3016 City: STUART State: FL Zip: 34995

State Registration Number: AC 07049760 State Certification Number: CGC 1507592 Martin County License Number: SP01118

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 300,000.00 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION: 785-6001 FAX 785-6003

Electrical: NORFOLK ELECTRIC State: FL License Number: FC 1902

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER ATLANTIC COASTAL ENGINEERING, INC. Phone Number: 772 288-4254

Street: PO Box 3016 City: STUART State: FL Zip: 34995

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Deck: 1166.53 S.F. DOCK Accessory Building: 540 S.F. BOAT HOUSE

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: National Electrical Code: 2002 Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
[Signature]

State of Florida, County of: MARTIN
This the 18 day of Sept, 2006

by [Signature] who is personally known to me or as identification.

Notary Public Seal
#DD 281356
My Commission Expires: 5-15-08

CONTRACTOR SIGNATURE (required)
[Signature]

On State of Florida, County of: MARTIN
This the 18 day of Sept, 2006

by [Signature] who is personally known to me or as identification.

Notary Public Seal
#DD 281356
My Commission Expires: 5-15-08

PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITALS FOR BOAT DOCK & BOAT LIFT

IMPORTANT NOTICE: All items listed below must accompany your permit application.
No application will be accepted unless all items that are applicable are submitted.

Application form must contain the following information:

1. Property Appraisers Parcel Number or Property Control Number
2. Legal Description of property (Can be found on your deed survey or Tax Bill)
3. ✓ Contractors name, address, phone, fax and license numbers.
4. ✓ Name all sub-contractors (properly licensed)
5. ✓ Architects or Engineers name, address, & phone number.
6. ✓ Scope of Work
7. ✓ Estimated cost of construction.
8. ✓ Original signature of owner and notarized
9. ✓ Original signature of Contractor and notarized.

Submittals (2 copies)

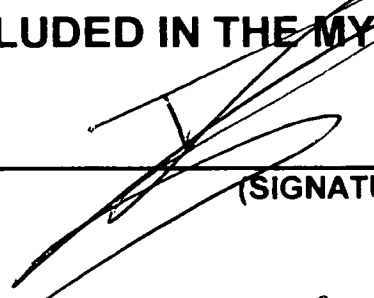
1. ✓ Current Mean High-water Survey (for docks and mooring piling) containing the following information:
 - a. Legal Description of Lot
 - b. Lot dimensions and bearings
 - c. Street and Waterway names
 - d. Riparian lines extended to the full length of the proposed dock
 - e. Adjacent occupied/unoccupied
 - f. Easements
 - g. ROW's
 - h. Canals, Ponds, or Riverfront locations
 - i. Existing and proposed docks, boatlifts, mooring pilings, etc.
 - j. Distances from existing and proposed docks and mooring pilings from riparian lines (minimum 25 feet) and adjacent docks (minimum 50 feet).
 - k. Length of existing and/or proposed dock and mooring pilings from the mean high water line
2. Department Of Environmental Protection Permit Approval for proposed dock or boatlift.
3. Corps Of Engineers Permit Approval for proposed dock or boat lift (if applicable)
4. Statement of Fact –Owner/Builder Affidavit (for owner/builder)
5. ✓ Letters of No Objection from all adjacent riparian property owners or certifications (green cards) that individual service was received for all property owners of adjacent riparian properties.
6. ✓ Proof of ownership (deed or tax recpt.)
7. ✓ Application for tree removal or relocation, if applicable (attach tree survey and removal or relocation plan)
8. ✓ A certified copy of the Notice of Commencement for any work over \$2500.00

- 9. ✓ Copy of License (either Martin County Certificate of Competency or State Certified or Registered Contractor License)
- 10. ✓ Copy of Workmen's Compensation
- 11. ✓ Copy of Liability Insurance

The following documents must be signed and sealed by a registered Architect or Engineer. (2 copies)

- 1. **Plot/Site plan containing the following information:**
 - a. Signed and sealed construction drawings for dock and or boatlift

**ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE
ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE**



(SIGNATURE OF APPLICANT)

DATE SUBMITTED: 9-19-06

MARTIN COUNTY BUILDING DEPARTMENT PRODUCT APPROVAL CHECKLIST

Permit Type: _____ Permit #: _____ Owner's Name: AYRES, FRED
 Design Professional Name A/E: MCGAHEE, S Job Site Location: 15 S. RIVER, SEWALL'S POINT

Rule 9 B-72 requires the following information as promulgated by the Florida Building Commission. In the event that information required for product approval has been incorporated in to the plans, specifications, or general notes, simply indicate page number on the affidavit.

PRODUCT	MODEL NUMBER	MANUFACTURER	EVALUATION AGENCY	EXPIRATION DATE
Windows	SH-4000 AL. SINGLE HUNG.	PGT	MIAMI-DADE NOA No. 05-0112.01	10.03.06
Exit Doors	STA-TRU W/E 6'8"	STANLEY DOOR SYSTEMS	MIAMI-DADE NOA No. 01-0928.07	11.01.06
Garage Doors (ROLL-UP DOORS)	DS-350	WAYNE DALTON	ARCHITECTURAL TESTING INC. ASTM E 330 FL# FL1421, FL1672	—
Skylights				
Shutters				
Roofing Materials	PRO 40 A2	OAKIDGE	NOA No. 01.1127.03	
Panel Walls				
Structural Components				
New/Alternative Materials				

In accordance with the Florida Architects and Engineers product approval system, this affidavit certifies that I have performed the building envelope evaluation as required by the Florida Building Code.

 8-21-06
 Architect/Engineer's Signature

No. 57536
 FL. Cert./Reg. Number

CAPTEC Engineering, Inc.

301 N.W. Flagler Avenue, Stuart, FL 34994
772.692.4344 * Fax: 772.692.4341 - captec1@aol.com



Invoice

Tuesday, September 26, 2006

Invoice Number: 9743

To: Fred Ayers

15 S River Road
Stuart, FL 34996

Project: 932.62 Town of Sewall's Point Review: to rebuild dock and boat house destroyed from 2004 hurricanes

Professional Services for the Period: 9/1/2006 to 9/30/2006

Task 2: Permit Application Review

Professional Services

Task 2: Permit Application Review

	<u>Bill Hours</u>	<u>Charge</u>
Assistant Office Manager	0.25	16.25
P.E. / Project Manager	0.25	30.00
P.E. / Project Manager	1.00	110.00
P.E. / Project Manager	0.50	55.00
Project Coordinator	0.25	13.75
Project Coordinator	0.25	13.75

Task 2: Permit Application Review Total:

2.50

\$238.75

Professional Services Totals:

\$238.75

***** Total Project Invoice Amount :**

\$ 238.75

CUSTOM BUILT MARINE CONSTRUCTION, INC.
P. O. BOX 3016
STUART, FL 34995
(772) 288-4254

RIVERSIDE NATIONAL BANK
989 south federal hwy.
stuart, fl 34994
63-1114/670

11861

10-4-06

PAY TO THE ORDER OF

CAPTEC ENGINEERING

\$ 238.75

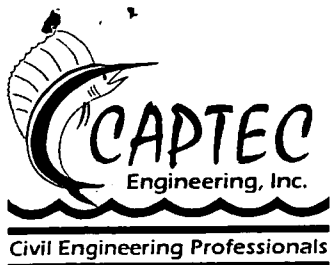
Two Hundred Thirty Eight + 75/100

DOLLARS

MEMO:

FRED AYERS
BOAT HOUSE

Mary Berry
AUTHORIZED SIGNATURE



September 25, 2006
932.62

Mr. Fred Ayers
15 S. River Road
Stuart, Fl 34996

RE: *Building Permit Application to rebuild dock and boat house destroyed from 2004 hurricanes*

Dear Mr. Ayers:

Please be advised that a review has been performed of the materials received in our office on September 22, 2006, for the above referenced project and offer no objection to the permit request to rebuild the dock and boathouse destroyed by the 2004 hurricanes in accordance with Section 82-172(d).

CAPTEC Engineering, Inc., a professional consultant, has been retained by the Town of Sewall's Point to assist the community with zoning issues relative to building permits. Any service provided by CAPTEC Engineering, Inc. will be a 'pass-thru' fee to the applicant.

CAPTEC Engineering, Inc. performed this review for the Town of Sewall's Point in order to confirm compliance with the applicable Codes and Regulations. Neither the Reviewer nor the Town of Sewall's Point is the Design Engineer or Architect of Record and, therefore, neither entity accepts responsibility for the accuracy or contents of the design documents and/or other data submitted by the Applicant. The owner is responsible to obtain all regulatory agency permits as needed.

Please note suggestions provided by CAPTEC Engineering, Inc. are offered in order to assist the Applicant in complying with the Town of Sewall's Point Codes and Regulations. However, the Applicant bears the burden of demonstrating that their submittal meets the applicable Town Code requirements.

If you should need further clarification or have any questions with regard to this matter, please feel free to contact me.

Sincerely,


Morica Graziani,
Project Manager/Planner



MARSHA EWING MARTIN COUNTY DEPUTY CLERK S Phoenix

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # _____

NOTICE OF COMMENCEMENT

STATE OF Florida

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE): HERITAGE PLACE LOT #10 Cass SOUTH 5 FT. + LOT #25
158 S. RIVER RD. SWANVILLE POINT, FL. 34996 (ZONING # 01-38-41-013-000-00100-6)

GENERAL DESCRIPTION OF IMPROVEMENT: REBUILT BOAT HOUSE AND BOAT DOCK

OWNER: FRED AYERS
ADDRESS: 158 S. RIVER RD. SWANVILLE POINT, FL. 34996
PHONE #: 772-223-5510 FAX #: _____

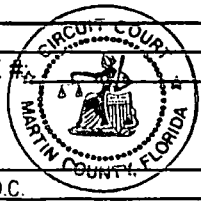
INTEREST IN PROPERTY: OWNER'S RESIDENCE

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

CONTRACTOR: CUSTOM BUILT MARINE CONSTRUCTION, INC.
ADDRESS: PO BOX 3016 STUART, FL. 34995
PHONE #: 772-288-4254 FAX #: 772-288-2802

SURETY COMPANY (IF ANY) _____
ADDRESS: _____
PHONE # _____
BOND AMOUNT: _____

STATE OF FLORIDA
MARTIN COUNTY
THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.
MARSHA EWING, CLERK



LENDER/MORTGAGE COMPANY _____
ADDRESS: _____
PHONE #: _____
DATE: 9-19-06

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____
ADDRESS: _____
PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____
OF _____ TO RECEIVE A COPY OF THE LIENOR'S
NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.
PHONE #: _____ FAX #: _____

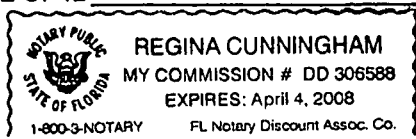
EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Fred M. Ayres
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 11th DAY OF September 2006
BY Fred M. Ayres

PERSONALLY KNOWN
OR PRODUCED ID _____
TYPE OF ID _____

Regina Cunningham
NOTARY SIGNATURE



TOWN OF SEWALL'S POINT
VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: 0405

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Ayres
CONSTRUCTION ADDRESS: 15 S River Rd

PERMIT TYPE: RESIDENTIAL COMMERCIAL

- ELECTRIC
- PLUMBING
- HVAC
- IRRIGATION
- FUEL GAS

TYPE OF SERVICE: NEW SERVICE EXISTING SERVICE OTHER

SCOPE OF WORK: WIRING FOR BOATHOUSE

VALUE OF CONSTRUCTION \$ 2000⁰⁰

<input type="checkbox"/> LOW VOLTAGE	
TYPE OF EQUIPMENT:	<input type="checkbox"/> SECURITY <input type="checkbox"/> VACUUM <input type="checkbox"/> SOUND SYSTEM <input type="checkbox"/> LANDSCAPE <input type="checkbox"/> OTHER
SCOPE OF WORK:	VALUE

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

Dick Mc Brown 78 Masters Drive, St. Augustine Fl.
SIGNATURE OF LICENSED CONTRACTOR ADDRESS OF CONTRACTOR 32084

COMPANY OR QUALIFIER'S NAME: Mc Brown Electric
PLEASE PRINT

TELEPHONE NO: 904-669-1252 FAX NO: 904 824 3599

MARTIN COUNTY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: EC 0002888

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

***VERIFICATION OF PARCEL CONTROL NUMBER

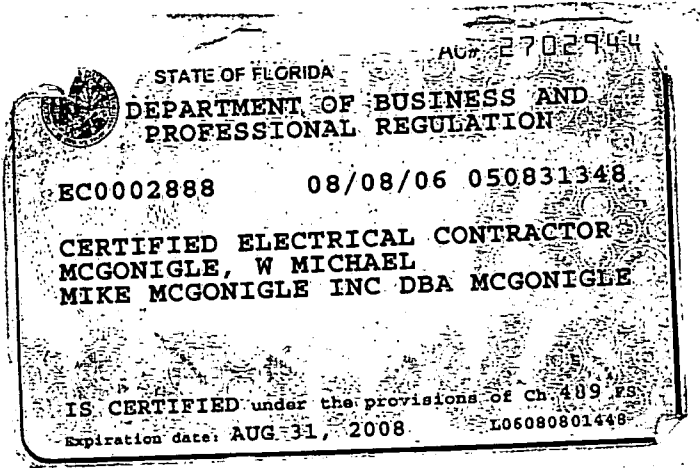
OWNER'S FULL NAME AS STATED ON DEED: AYRES, FREDERICK

PARCEL CONTROL #: B840-013-000-00100-6

SUBDIVISION: Heritage PL LOT: 10+25 BLK: _____ PHASE: _____

SITE ADDRESS: 15 S River Rd

Send or Fax to:
Town of Sewall's Building Department
1 S. Sewall's Point Road
Sewall's Point, FL 34996
FAX # (772) 220-4765



STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND
PROFESSIONAL REGULATION

EC0002888 08/08/06 050831348

CERTIFIED ELECTRICAL CONTRACTOR
MCGONIGLE, W MICHAEL
MIKE MCGONIGLE INC DBA MCGONIGLE

IS CERTIFIED under the provisions of Ch. 489, F.S.
Expiration date: AUG 31, 2008 L06080801448

8/18/2006

ACORD CERTIFICATE OF LIABILITY INSURANCE

ORDER
 Paul Lynch & Associates, Inc.
 701 N Federal Hwy, Suite 401
 Stuart, FL 34994
 772 232-9371

SURED
 Custom Built Marine Construction, Inc.
 1321 SE Decker
 PO Box 3016
 Stuart, FL 34995
 772-288-4254 Fax (772) 288-2802

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

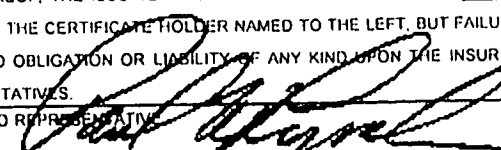
INSURERS AFFORDING COVERAGE		NAIC#
INSURER A:	Lloyds/Osprey	
INSURER B:	Commerce & Industry	
INSURER C:		
INSURER D:		
INSURER E:		

OVERAGES
 THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

SR ADD'L OR INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE(MM/DD/YY)	POLICY EXPIRATION DATE(MM/DD/YY)	LIMITS	
A	GENERAL LIABILITY	M5061178	08/20/06	08/20/07	EACH OCCURRENCE	\$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 50,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$
	<input checked="" type="checkbox"/> P&I (ex-Crew)				PERSONAL & ADV INJURY	\$ 1,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER:				GENERAL AGGREGATE	\$ 2,000,000
	<input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				PRODUCTS - COMP/OP AGG	\$ 1,000,000
	AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT (Ea accident)	\$
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$
	<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC	\$
					AUTO ONLY: AGG	\$
	EXCESS/UMBRELLA LIABILITY				EACH OCCURRENCE	\$
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$
						\$
	DEDUCTIBLE					\$
	RETENTION \$					\$
B	WORKERS COMPENSATION AND EMPLOYERS LIABILITY	WC 295-56-05 Including USL&H	01/19/06	01/19/07	<input checked="" type="checkbox"/> WC STATU-TORY LIMITS <input type="checkbox"/> OTH-ER	
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				E.L. EACH ACCIDENT	\$ 1,000,000
	If yes, describe under SPECIAL PROVISIONS below				E.L. DISEASE - EA EMPLOYEE	\$ 1,000,000
A	OTHER MEL	M5051304000	01/19/06	01/19/07	E.L. DISEASE - POLICY LIMIT	\$ 1,000,000
A	Equipment/Leased	M3060070	01/26/06	01/26/07		\$1,000,000 (Jones Act)
A	Equipment/Leased	M3060070	01/26/06	01/26/07		\$100,000 per occurrence
						\$100,000 aggregate

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS
 Marine Contractor.

CERTIFICATE HOLDER
 Town of Sewalls Pt.
 Building Department
 1 S. Sewalls Pt. Rd.
 Sewalls Point, FL 34996

CANCELLATION
 SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.
 AUTHORIZED REPRESENTATIVE: 



Martin County Building Department

2401 SE Monterey Road
Stuart, FL 34996
(772) 288-5482
Fax (772) 288-5911

CORRIGAN, DAVID H
CUSTOM BUILT MARINE CONST INC.
BOX 3016
STUART, FL 34995

NOTICE TO ALL CONTRACTORS

PLEASE BE ADVISED THAT MARTIN COUNTY, FLORIDA SECTION 43.42 REQUIRES COMPLIANCE WITH THE FOLLOWING EXERPT FROM THE GENERAL ORDINANCES OF THE MARTIN COUNTY CODE:

PROHIBITED ACTIVITIES:

43.42 R Advertising contracting work in any advertisement to the public in a newspaper or telephone directory without including in the advertisement the number of the contractor license issued to the person or business being advertised.

43.42 S Operating any commercial vehicle in the course of conducting the practice of contracting that fails to display the contractor license number of the contractor.

If you have any questions relating to the information in this letter , please contact the Martin County Contractor's Licensing Division of the Martin County Building Department.



MARTIN COUNTY, FLORIDA
Construction Industry Licensing Board
Certificate of Competency

MARINE CONTRACTOR

License Number SP01118 Expires: 30-SEP-07

CORRIGAN, DAVID H
CUSTOM BUILT MARINE CONST INC.
BOX 3016
STUART, FL 34995



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD
1940 NORTH MONROE STREET
TALLAHASSEE FL 32399-0783

(850) 487-1395

CUSTOM BUILT MARINE CONSTRUCTION INC
1321 SE DECKER AVE
PO BOX 3016
STUART FL 34994

STATE OF FLORIDA AC# 2048760
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

QB33169 06/23/05 040976637

QUALIFIED BUSINESS ORGANIZATION
CUSTOM BUILT MARINE CONSTRUCTION

(NOT A LICENSE TO PERFORM WORK.
ALLOWS COMPANY TO DO BUSINESS IF
IT HAS A LICENSED QUALIFIER.)

IS QUALIFIED under the provisions of ch. 489
Expiration date: AUG 31, 2007 L05062301310

DETACH HERE

AC# 2048760 STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD SEQ# L05062301310

DATE	BATCH NUMBER	LICENSE NBR
06/23/2005	040976637	QB33169

The BUSINESS ORGANIZATION
Named below IS QUALIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2007
(THIS IS NOT A LICENSE TO PERFORM WORK. THIS ALLOWS
COMPANY TO DO BUSINESS ONLY IF IT HAS A QUALIFIER.)

CUSTOM BUILT MARINE CONSTRUCTION INC
3170 SE WALLER STREET
STUART FL 34997

JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

DIANE CARR
SECRETARY

2006-2007 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(772) 288-5604

LICENSE # 1988-520-0255 CERT SPO1118
PHONE (772)288-4254 SIC NO 234990

LOCATION:
1321 SE DECKER AVE STU

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>.00</u>
\$	<u>.00</u>	COL. FEE \$	<u>.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>.00</u>
TOTAL		<u>.00</u>	

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF **MARINE CONSTRUCTION CONTRACTOR**

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

09 DAY OF AUGUST 2006
AND ENDING SEPTEMBER 302007

2 2005 10449.0003 PAID

CUSTOM BUILT MARINE CONST., INC.
CORRIGAN AND COMPANY
CORRIGAN, DAVID H (OWN/QUAL)
P.O. BOX 3016
STUART, FL 34995

2006-2007 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(772) 288-5604

LICENSE # 1988-267-0431 CERT _____
PHONE (772)288-4254 SIC NO 561730

LOCATION:
1321 SE DECKER AVE STU

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>.00</u>
\$	<u>.00</u>	COL. FEE \$	<u>.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>.00</u>
TOTAL		<u>25.00</u>	

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF **LANDSCAPING**

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

09 DAY OF AUGUST 2006
AND ENDING SEPTEMBER 302007

RECEIPT of PAYMENT
LARRY C. O'STEEN
99 08/09/2006 NORMA
19880005200025
002 2005 0010449.
CORRIGAN & CO

CORRIGAN, DAVID & RAYMOND
CORRIGAN & CO
P.O. BOX 3016
STUART, FL 34995

2006-2007 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(772) 288-5604

LICENSE # 900-283-0013 CERT _____
PHONE (772)288-4254 SIC NO 007299

LOCATION:
1321 SE DECKER AVE STU

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>.00</u>
\$	<u>.00</u>	COL. FEE \$	<u>.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>.00</u>
TOTAL		<u>.00</u>	

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF **MOVABLE BUSINESS**

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

09 DAY OF AUGUST 2006
AND ENDING SEPTEMBER 302007

2 2005 10449.0001 PAID

CORRIGAN, RAYMOND & DAVID
CUSTOM BUILT MARINE
CONSTRUCTION, INC.
P.O. BOX 3016
STUART, FL 34995

C# 2587606

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L06051600968

DATE	BATCH NUMBER	LICENSE NBR
05/16/2006	058083345	CGC1507592

The GENERAL CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2008

BEGANO, ROBERT LOU JR.
CUSTOM BUILT MARINE CONSTRUCTION INC
3170 SE WAALER STREET
STUART FL 34997

JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

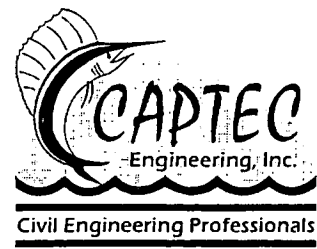
SIMONE MARSTILLER
SECRETARY

CAPTÈC Engineering, Inc.

301 N.W. Flagler Avenue, Stuart, FL 34994

772.692.4344 * Fax: 772.692.4341 - captec1

@aol.com



Invoice

Tuesday, September 26, 2006

Invoice Number: 9743

To: Fred Ayers

15 S River Road
Stuart, FL 34996

Project: 932.62 Town of Sewall's Point Review: to rebuild dock and boat house destroyed from 2004 hurricanes

Professional Services for the Period: 9/1/2006 to 9/30/2006

Task 2: Permit Application Review

Professional Services

	<u>Bill Hours</u>	<u>Charge</u>
<u>Task 2: Permit Application Review</u>		
Assistant Office Manager	0.25	16.25
P.E. / Project Manager	0.25	30.00
P.E. / Project Manager	1.00	110.00
P.E. / Project Manager	0.50	55.00
Project Coordinator	0.25	13.75
Project Coordinator	0.25	13.75
<i>Task 2: Permit Application Review Total:</i>	2.50	\$238.75
Professional Services Totals:		\$238.75

***** Total Project Invoice Amount :**

\$ 238.75

Aged Receivables: Please note - All project work will stop if receivables reach 60 days.

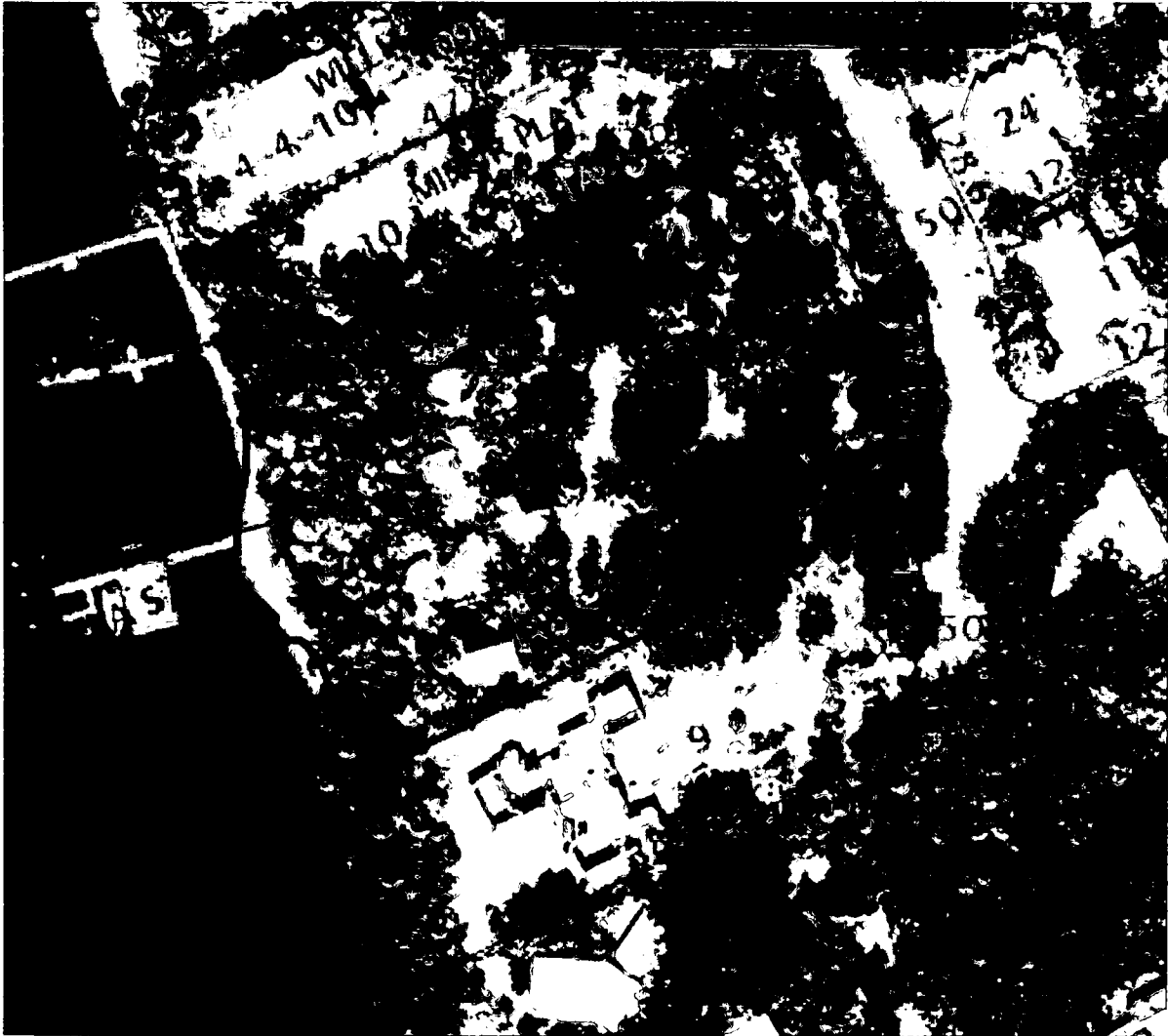
<u>Current</u>	<u>+30 Days</u>	<u>+60 Days</u>	<u>+90 Days</u>	<u>120 Days +</u>
\$238.75	\$0.00	\$0.00	\$0.00	\$0.00



SMART DATA STRATEGIES



Martin County



Martin County, Florida Disclaimer
Information deemed reliable but not guaranteed.
Copyright © 2006



Martin County, Florida
 Laurel Kelly, C.F.A

Site Provided by...
 governmax.com T1.14

Summary

Parcel ID
 1 of

Parcel Info

- Summary
- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Taxes =>
- Assessments =>
- Parcel Map =>
- Full Legal =>

Parcel ID	Unit Address	Serial Index ID	Order	Parcel ID	Commercial	Residential
01-38-41-013-000-00100-6	RIVER ROAD	17832			0	2

Summary

Property Location RIVER ROAD
Tax District 2200 Sewall's Point
Account # 17832
Land Use 101 0100 Single Family
Neighborhood 193170
Acres

Legal Description

Property Information
 HERITAGE PLACE, LOT 10 (LESS S 5') & LOT 25

Search By

- Parcel ID
- Owner
- Address
- Account #
- Use Code
- Legal Description
- Sales
- Neighborhood
- Map =>

Owner Information

Owner Information
 AYRES, FREDERIC M III (L/E)
 "AYRES, FREDERIC M III (TR)

Mail Information

PO BOX 2803
 JENSEN BEACH FL 34958

Assessment Info

Front Ft.

Market Land Value \$2,598,000
Market Impr Value \$1,190,370
Market Total Value \$3,788,370

Site Functions

- Property Search
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

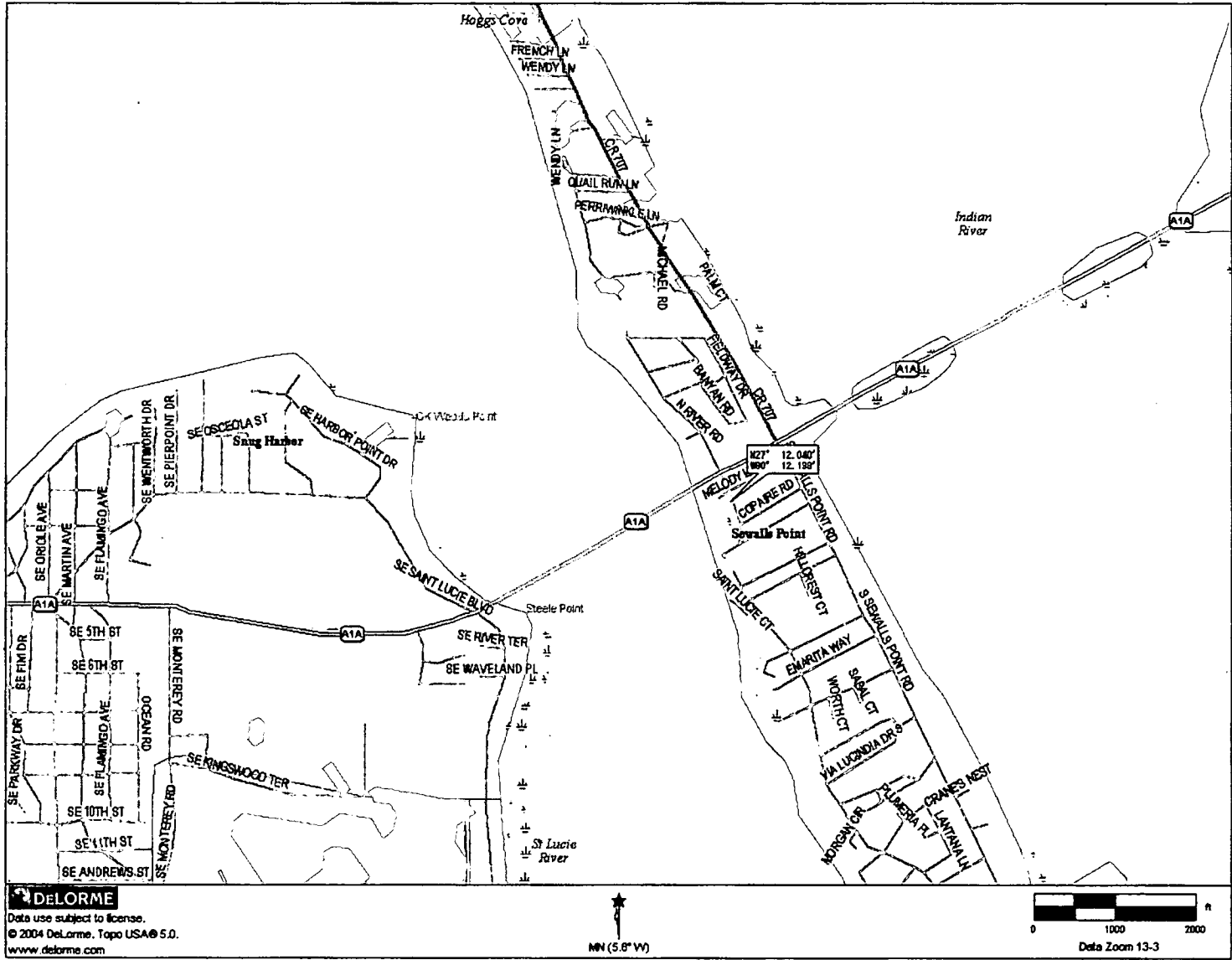
Recent Sale
Sale Amount \$0

Sale Date 5/14/2004
Book/Page 1898 1168

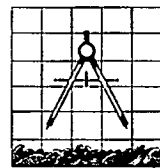
Legal disclaimer / Privacy Statement

Data updated on 02/05/2006





Fred Ayres
15 S. River Road
Stuart, FL 34996



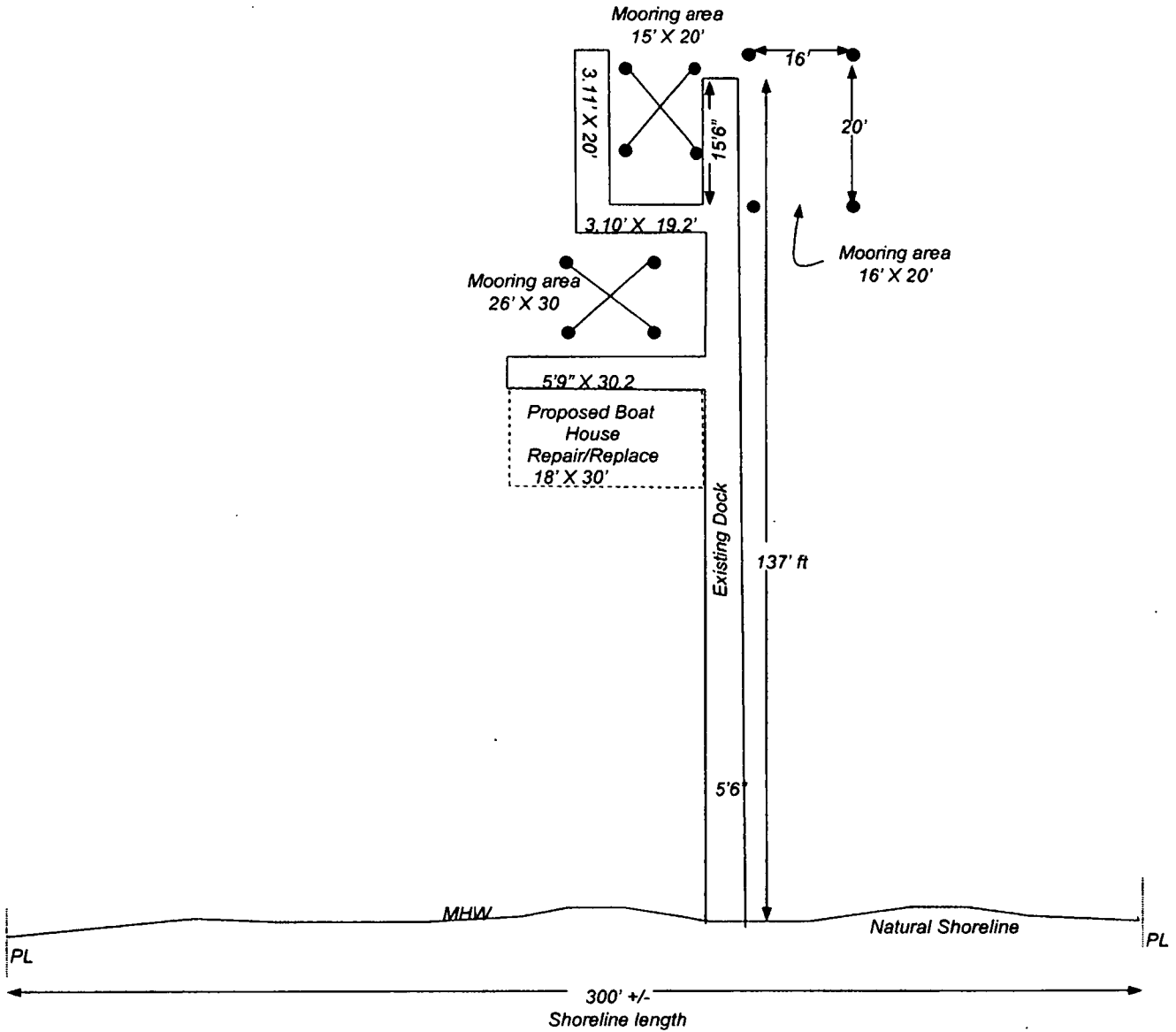
Design & Drawing by: DR
Jemer & Associates, Inc.
 Environmental Consulting
 110 SW. 5th Street
 Stuart, FL 34994
 Ph. (772) 283-2950 / Fax (772) 283-2760

NTS	Sheet 1 of 3
Date: 06/13/05	

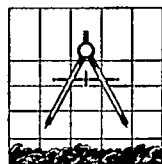


St. Lucie River

Ebb/Flood



Fred Ayres
15 S. River Road
Stuart, FL 34996

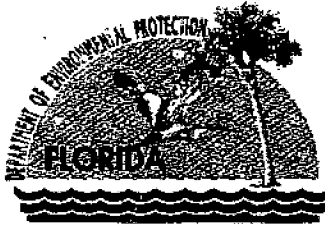


Design & Drawing by: DR
Jemer & Associates, Inc.
 Environmental Consulting
 110 SW. 5th Street
 Stuart, FL 34994
 Ph. (772) 283-2950 / Fax (772) 283-2760

Scale: Dimensioned

Date: 11/10/05

Sheet 2 of 3



Department of Environmental Protection

Jeb Bush
Governor

Port St. Lucie Branch Office
1801 SE Hillmoor Drive
Suite C-204
Port St. Lucie, FL 34952
(772)398-2806 Fax (772)398-2815

Colleen M. Castille
Secretary

DEC 09 2005

Fred Ayers
15 South River Road
Stuart, FL 34996

Re: File No.: Ayers, Fred
File Name: 43-0252793-001

Dear Mr. Ayers:

On July 28, 2005, we received your application for an exemption to perform the following activity: repair and replace a 540 square foot boathouse measuring 18-foot wide by 30-foot long. The project is located on the St. Lucie River, Class III Waters of the State, adjacent to 15 South River Road, Stuart (Section 1, Township 38 South, Range 41 East), in Martin County (Latitude 27° 11' 58.17" N, Longitude 80° 12' 11.01" W).

Your application has been reviewed to determine whether it qualifies for any of three kinds of authorization that may be necessary for work in wetlands or waters of the United States. The kinds of authorization are (1) regulatory authorization, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal authorization. The authority for review and the outcomes of the reviews are listed below. Please read each section carefully. Your project may not have qualified for all three forms of authorization. If your project did not qualify for one or more of the authorizations, refer to the specific section dealing with that authorization for advice on how to obtain it.

1. Regulatory Review. – GRANTED

The Department has the authority to review your project under Part IV of Chapter 373, Florida Statutes (F.S.), Title 62, Florida Administrative Code (F.A.C.), and in accordance with operating agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F.A.C.

Based on the information you submitted, we have determined that your project is exempt from the need to obtain a DEP Environmental Resource Permit under Rule 40E-4.051(3)(d), F.A.C.

2. Proprietary Review (related to state-owned lands). – GRANTED

The Department acts as staff to the Board of Trustees of the Internal Improvement Trust Fund (Board of Trustees) and issues certain authorizations for the use of sovereign submerged lands. The Department has the authority to review your project under Chapters 253 and 258, F.S., Chapters 18-20 and 18-21, F.A.C., and Section 62-343.075, F.A.C.

Your project will occur on sovereign submerged land and will require authorization from the Board of Trustees to use public property. As staff to the Board of Trustees, we have reviewed the proposed project and have determined that, as long as it is located within the described boundaries and is consistent with the attached general consent conditions, the project qualifies for a letter of consent to use sovereign submerged lands. Therefore, pursuant to Chapter 253.77, Florida Statutes, you may consider this letter as authorization from the Board of Trustees to perform the project.

3. Federal Review (State Programmatic General Permit). – GRANTED

Federal authorization for the proposed project is reviewed by DEP pursuant to an agreement between the Department and the U.S. Army Corps of Engineers (Corps). The agreement is outlined in a document titled *Coordination Agreement Between the U.S. Army Corps of Engineers and the Florida Department of Environmental*

"More Protection, Less Process"

Printed on recycled paper.

Protection State Programmatic General Permit, Section 10 of the Rivers and Harbor Act of 1899 and Section 404 of the Clean Water Act.

Your project has been reviewed for compliance with a State Programmatic General Permit (SPGP). As shown on the attached drawings, the proposed project is consistent with the SPGP program. The attached Corps general conditions apply to your project. No further permitting for this activity is required by the Corps.

The determinations in this letter are based solely on the information provided to the Department and on the statutes and rules in effect when the application was submitted. The determinations are effective only for the specific activity proposed. These determinations shall automatically expire if site conditions materially change or if the governing statutes or rules are amended. In addition, any substantial modifications in your plans should be submitted to the Department for review, as changes may result in a permit being required. In any event, this determination shall expire after one year.

This letter does not relieve you from the responsibility of obtaining other permits (federal, state, or local) that may be required for the project.

NOTICE OF RIGHTS OF SUBSTANTIALLY AFFECTED PERSONS

This letter acknowledges that the proposed activity is exempt from ERP permitting requirements under Rule 40E-4.051(3)(d), F.A.C. This determination is final and effective on the date filed with the Clerk of the Department unless a sufficient petition for an administrative hearing is timely filed under sections 120.569 and 120.57 of the Florida Statutes as provided below. If a sufficient petition for an administrative hearing is timely filed, this determination automatically becomes only proposed agency action subject to the result of the administrative review process. Therefore, on the filing of a timely and sufficient petition, this action will not be final and effective until further order of the Department. The procedures for petitioning for a hearing are set forth in the attached notice.

This determination is based on the information you provided the Department and the statutes and rules in effect when the application was submitted and is effective only for the specific activity proposed. This determination shall automatically expire if site conditions materially change or the governing statutes or rules are amended. In addition, any substantial modifications in your plans should be submitted to the Department for review, as changes may result in a permit being required. In any event, this determination shall expire after one year.

Be advised that your neighbors and other parties who may be substantially affected by the proposed activity allowed under this determination of exemption have a right to request an administrative hearing on the Department's decision that the proposed activity qualifies for this exemption. Because the administrative hearing process is designed to redetermine final agency action on the application, the filing of a petition for an administrative hearing may result in a final determination that the proposed activity is not authorized under the exemption established under Rule 40E-4.051(3)(d), F.A.C.

The Department will not publish notice of this determination. Publication of this notice by you is optional and is not required for you to proceed. However, in the event that an administrative hearing is held and the Department's determination is reversed, proceeding with the proposed activity before the time period for requesting an administrative hearing has expired would mean that the activity was conducted without the required permit.

If you wish to limit the time within which all substantially affected persons may request an administrative hearing, you may elect to publish, at your own expense, the enclosed notice (Attachment A) in the legal advertisement section of a newspaper of general circulation in the county where the activity is to take place. A single publication will suffice.

If you wish to limit the time within which any specific person(s) may request an administrative hearing, you may provide such person(s), by certified mail, a copy of this determination, including Attachment A.

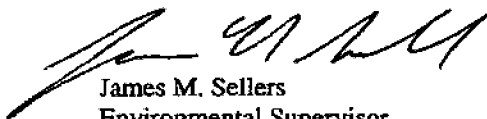
File Name: Ayers, Fred
FDEP File No. 43-0252793-001
Page 3

For the purposes of publication, a newspaper of general circulation means a newspaper meeting the requirements of sections 50.011 and 50.031 of the Florida Statutes. In the event you do publish this notice, within seven days of publication, you must provide to the following address proof of publication issued by the newspaper as provided in section 50.051 of the Florida Statutes. If you provide direct written notice to any person as noted above, you must provide to the following address a copy of the direct written notice.

Florida Department of Environmental Protection
Southeast District Branch Office
1801 SE Hillmoor Drive, Suite C-204
Port St. Lucie, FL 34952

If you have any questions, please contact Eric Shea at 772/398-2806 or at eric.shea@dep.state.fl.us. When referring to your project, please use the FDEP file name and number listed above.

Sincerely,



James M. Sellers
Environmental Supervisor
Florida Department of Environmental Protection
Southeast District Branch Office

Enclosures

cc: USACOE - Palm Beach Gardens [without enclosures]
Dana Rankin, Jerner and Associates, Inc.(agent) [without enclosures]

STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
NOTICE OF DETERMINATION OF EXEMPTION

The Department of Environmental Protection gives notice that the repair and replacement of a 540 square foot boathouse measuring 18-foot wide by 30-foot long has been determined to be exempt from requirements to obtain an environmental resource permit. The project is located on the St. Lucie River, Class III Waters of the State, adjacent to 15 South River Road, Stuart (Section 1, Township 38 South, Range 41 East), in Martin County (Latitude 27° 11' 58.17" N, Longitude 80° 12' 11.01" W).

A person whose substantial interests are affected by the Department's action may petition for an administrative proceeding (hearing) under sections 120.569 and 120.57 of the Florida Statutes. The petition must contain the information set forth below and must be filed (received by the clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000.

Mediation is not available.

If a timely and sufficient petition for an administrative hearing is filed, other persons whose substantial interests will be affected by the outcome of the administrative process have the right to petition to intervene in the proceeding. Intervention will be permitted only at the discretion of the presiding officer upon the filing of a motion in compliance with rule 28-106.205 of the Florida Administrative Code.

In accordance with rule 62-110.106(3), F.A.C., petitions for an administrative hearing must be filed within 21 days of publication of the notice or receipt of written notice, whichever occurs first. Under rule 62-110.106(4) of the Florida Administrative Code, a person whose substantial interests are affected by the Department's action may also request an extension of time to file a petition for an administrative hearing. The Department may, for good cause shown, grant the request for an extension of time. Requests for extension of time must be filed with the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000 prior to the applicable deadline. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon. Upon motion by the requesting party showing that the failure to file a request for an extension of time before the deadline was the result of excusable neglect, the Department may also grant the requested extension of time.

The petitioner shall mail a copy of the petition to the applicant at the address indicated above at the time of filing. The failure of any person to file a petition for an administrative hearing within the appropriate time period shall constitute a waiver of that right.

A petition that disputes the material facts on which the Department's action is based must contain the following information:

- (a) The name and address of each agency affected and each agency's file or identification number, if known;
- (b) The name, address, and telephone number of the petitioner; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding; and an explanation of how the petitioner's substantial interests are or will be affected by the agency determination;
- (c) A statement of when and how the petitioner received notice of the agency decision;
- (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;
- (e) A concise statement of the ultimate facts alleged, including the specific facts the petitioner contends warrant reversal or modification of the agency's proposed action;
- (f) A statement of the specific rules or statutes that the petitioner contends require reversal or modification of the agency's proposed action; and
- (g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wishes the agency to take with respect to the agency's proposed action.

A petition that does not dispute the material facts on which the Department's action is based shall state that no such facts are in dispute and otherwise shall contain the same information as set forth above, as required by rule 28-106.301.

Under sections 120.569(2)(c) and (d) of the Florida Statutes, a petition for administrative hearing shall be dismissed by the agency if the petition does not substantially comply with the above requirements or is untimely filed.

Complete copies of all documents relating to this determination of exemption are available for public inspection during normal business hours, 8:00 a.m. to 5:00 p.m., Monday through Friday, at the Southeast District Branch Office, 1801 SE Hillmoor Drive, Suite C-204, Port St. Lucie, FL 34952.

GENERAL CONDITIONS FOR FEDERAL AUTHORIZATION FOR SPGP III-R1

General Conditions

1. The time limit for completing the work authorized ends on December 17, 2005.
2. You must maintain the activity authorized by this permit in good condition and in conformance with the terms and conditions of this permit. You are not relieved of this requirement if you abandon the permitted activity, although you may make a good faith transfer to a third party in compliance with General Condition 4 below. Should you wish to cease to maintain the authorized activity or should you desire to abandon it without a good faith transfer, you must obtain a modification of this permit from this office, which may require restoration of the area.
3. If you discover any previously unknown historic or archeological remains while accomplishing the activity authorized by this permit, you must immediately notify this office of what you have found. We will initiate the Federal and State coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.
4. If you sell the property associated with this permit, you must obtain the signature and mailing address of the new owner in the space provided below and forward a copy of the permit to this office to validate the transfer of this authorization.
5. You must allow representatives from this office to inspect the authorized activity at any time deemed necessary to ensure that it is being or has been accomplished in accordance with the terms and conditions of your permit.

Further Information:

1. Limits of this authorization.
 - a. This permit does not obviate the need to obtain other Federal, State, or local authorizations required by law.
 - b. This permit does not grant any property rights or exclusive privileges.
 - c. This permit does not authorize any injury to the property or rights of others.
 - d. This permit does not authorize interference with any existing or proposed Federal projects.
2. Limits of Federal Liability. In issuing this permit, the Federal Government does not assume any liability for the following:
 - a. Damages to the permitted project or uses thereof as a result of other permitted or unpermitted activities or from natural causes.
 - b. Damages to the permitted project or uses thereof as a result of current or future activities undertaken by or on behalf of the United States in the public interest.
 - c. Damages to persons, property, or to other permitted or unpermitted activities or structures caused by the activity authorized by this permit.
 - d. Design or construction deficiencies associated with the permitted work.
 - e. Damage claims associated with any future modification, suspension, or revocation of this permit.
3. Reliance on Applicant's Data: The determination of this office that issuance of this permit is not contrary to the public interest was made in reliance on the information you provided.

4. **Reevaluation of Permit Decision:** This office may reevaluate its decision on this permit at any time the circumstances warrant. Circumstances that could require a reevaluation include, but are not limited to, the following:

- a. You fail to comply with the terms and conditions of this permit.
- b. The information provided by you in support of your permit application proves to have been false, incomplete, or inaccurate (see 3 above).
- c. Significant new information surfaces which this office did not consider in reaching the original public interest decision.

Such a reevaluation may result in a determination that it is appropriate to use the suspension, modification, and revocation procedures contained in 33 CFR 325.7 or enforcement procedures such as those contained in 33 CFR 326.4 and 326.5. The referenced enforcement procedures provide for the issuance of an administrative order requiring you comply with the terms and conditions of your permit and for the initiation of legal action where appropriate. You will be required to pay for any corrective measures ordered by this office, and if you fail to comply with such directive, this office may in certain situations (such as those specified in 33 CFR 209.170) accomplish the corrective measures by contract or otherwise and bill you for the cost.

When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. To validate the transfer of this permit and the associated liabilities associated with compliance with its terms and conditions, have the transferee sign and date below.

(TRANSFEEE-SIGNATURE)

(DATE)

(NAME-PRINTED)

(ADDRESS)

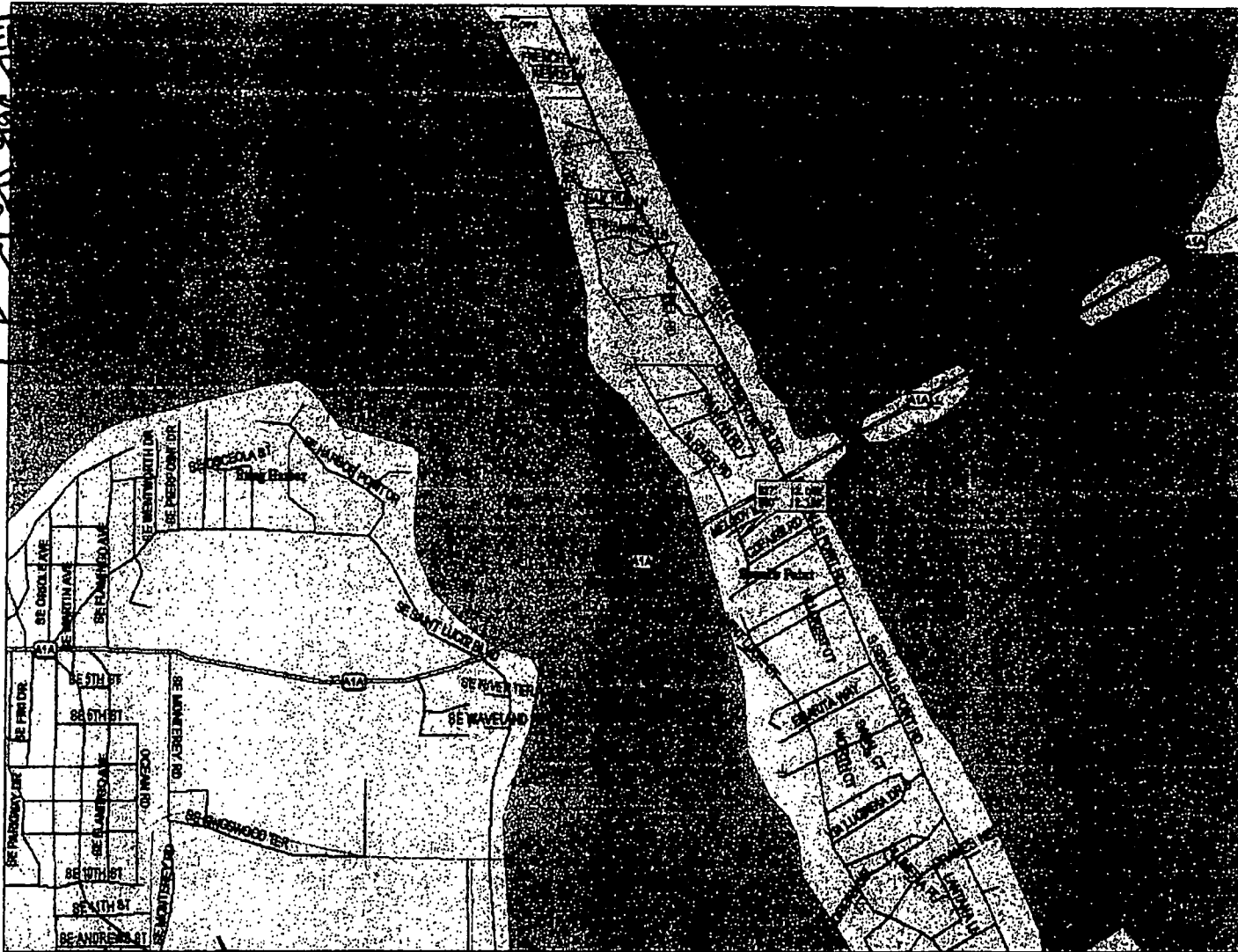
Manatee Conditions for Federal Authorization

1. The permittee shall instruct all personnel associated with the project of the potential presence of manatees and the need to avoid collisions with manatees. All construction personnel are responsible for observing water-related activities for the presence of manatee(s).
2. The permittee shall advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act of 1972, the Endangered Species Act of 1973, and the Florida Manatee Sanctuary Act of 1978. The permittee and/or contractor may be held responsible for any manatee harmed, harassed, or killed as a result of construction activities.
3. Siltation barriers shall be installed and shall be made of material in which manatees cannot become entangled, shall be properly secured, and shall be monitored regularly to avoid manatee entrapment. Barriers shall not block manatee entry to or exit from essential habitat.
4. All vessels associated with the project shall operate at "no wake/idle" speeds at all times while in water where the draft of the vessel provides less than four feet clearance from the bottom and that vessels shall follow routes of deep water whenever possible.
5. If a manatee is sighted within 100 yards of the project area, all appropriate precautions shall be implemented by the permittee/contractor to ensure protection of the manatee. These precautions shall include the operation of all moving equipment no closer than 50 feet of a manatee. Operation of any equipment closer than 50 feet to a manatee shall necessitate immediate shutdown of that equipment. Activities will not resume until the manatee(s) has departed the project area of its own volition.
6. Any collision with and/or injury to a manatee shall be reported immediately to the "Manatee Hotline" at 1-888-404-FWCC (1-888-404-3922). **Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Vero Beach (1-772-562-3909) in south Florida.**
7. Temporary signs concerning manatees shall be posted prior to and during construction/dredging activities. All signs are to be removed by the lessee/grantee upon completion of the project. A sign measuring at least 3 feet by 4 feet which reads *Caution: Manatee Area* will be posted in a location prominently visible to water related construction crews. A second sign should be posted if vessels are associated with the construction, and should be placed visible to the vessel operator. The second sign should be at least 8 1/2 inches by 11 inches which reads:

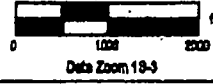
Caution: Manatee Habitat. Idle speed is required if operating a vessel in the construction area. All equipment must be shutdown if a manatee comes within 50 feet of the operation. A collision with and/or injury to a manatee shall be reported immediately to the Florida Marine Patrol at 1-888-404-FWCC (1-888-404-3922) and the U.S. Fish and Wildlife Service at (1-772-562-3909) for south Florida.

GENERAL CONSENT CONDITIONS:

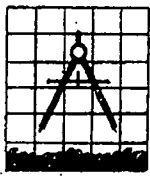
- (1) Authorizations are valid only for the specified activity or use. Any unauthorized deviation from the specified activity or use and the conditions for undertaking that activity or use shall constitute a violation. Violation of the authorization shall result in suspension or revocation of the grantee's use of the sovereignty submerged land unless cured to the satisfaction of the Board.
- (2) Authorizations convey no title to sovereignty submerged land or water column, nor do they constitute recognition or acknowledgment of any other person's title to such land or water.
- (3) Authorizations may be modified, suspended or revoked in accordance with their terms or the remedies provided in Sections 253.04 and 258.46, F.S., or Chapter 18-14, F.A.C.
- (4) Structures or activities shall be constructed and used to avoid or minimize adverse impacts to sovereignty submerged lands and resources.
- (5) Construction, use, or operation of the structure or activity shall not adversely affect any species which is endangered, threatened or of special concern, as listed in Rules 68A-27.003, 68A-27.004, and 68A-27.005, F.A.C.
- (6) Structures or activities shall not unreasonably interfere with riparian rights. When a court of competent jurisdiction determines that riparian rights have been unlawfully affected, the structure or activity shall be modified in accordance with the court's decision.
- (7) Structures or activities shall not create a navigational hazard.
- (8) Structures shall be maintained in a functional condition and shall be repaired or removed if they become dilapidated to such an extent that they are no longer functional. This shall not be construed to prohibit the repair or replacement subject to the provisions of Rule 18-21.005, F.A.C., within one year, of a structure damaged in a discrete event such as a storm, flood, accident, or fire.
- (9) Structures or activities shall be constructed, operated, and maintained solely for water dependent purposes, or for non-water dependent activities authorized under paragraph 18-21.004(1)(f), F.A.C., or any other applicable law.



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www.delorme.com



Fred Ayres
15 S. River Road
Stuart, FL 34996



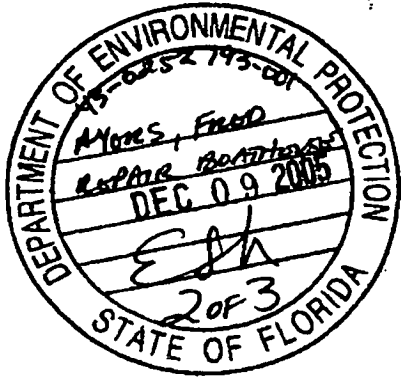
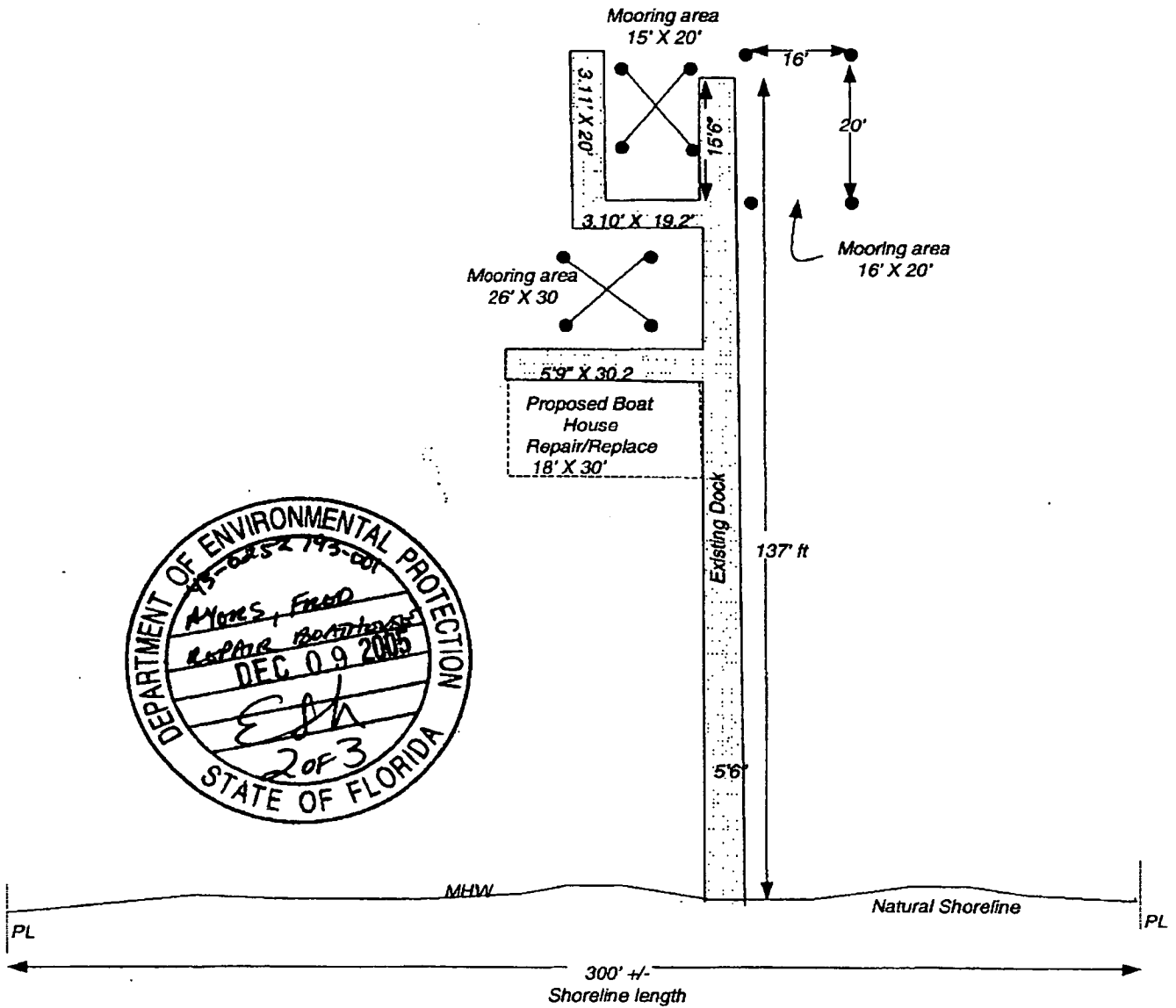
Design & Drawing by: DR
Jemer & Associates, Inc.
Environmental Consulting
110 SW 5th Street
Stuart, FL 34994
Ph. (772) 283-2950 / Fax (772) 283-2760

NTS	Sheet 1 of 3
Date: 06/13/05	

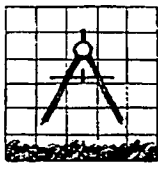


St. Lucie River

Ebb/Flood



Fred Ayres
 15 S. River Road
 Stuart, FL 34996



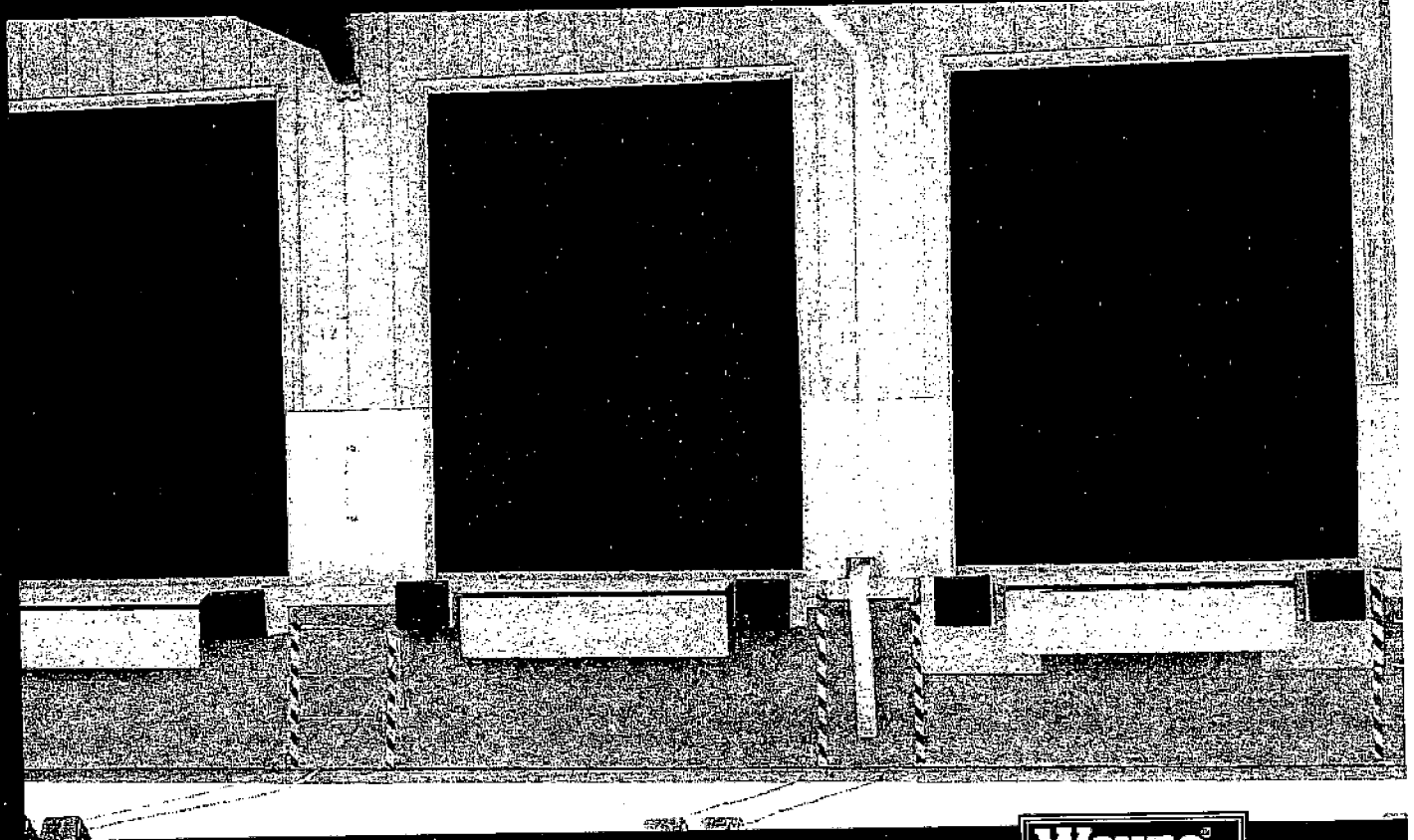
Design & Drawing by: DR
Jerner & Associates, Inc.
 Environmental Consulting
 110 SW. 5th Street
 Stuart, FL 34994
 Ph. (772) 283-2950 / Fax (772) 283-2760

Scale: Dimensioned
 Date: 11/10/05

Sheet 2 of 3

Commercial roll-up steel door
with windload rating.

DS-350



Windload Rated DS-350 Roll-Up Steel Doors



WINDLOAD RATING				
Maximum Width	Panel Profile	Design Pressure	Equiv. Basic Wind Speed	
			EXP. B	EXP. C
10'0"	ROUND	±37PSF	150 MPH	130 MPH
16'0"		±28 PSF	130 MPH	110 MPH
10'0"	SQUARE	±44 PSF	150 MPH	140 MPH
12'0"		±40 PSF		130 MPH
16'0"		±34 PSF		

PRESS./SPEED CONVERSIONS PER FLORIDA BLDG. CODE TBL. 1606.2E, TESTING PER ASTM E 330

DS-350 doors have State-wide Florida Product Approval for windload protection up to 150 mph and have been third party tested for uniform static air pressure.

DS-350 roll-up doors are available in round or square profiles. The continuous curtains are made from hot-dipped galvanized steel, and then finished

with silicone polyester paint for beauty and durability. Heavy-duty 13 gauge guides attach to 8 gauge wall angles to give maximum windload protection.

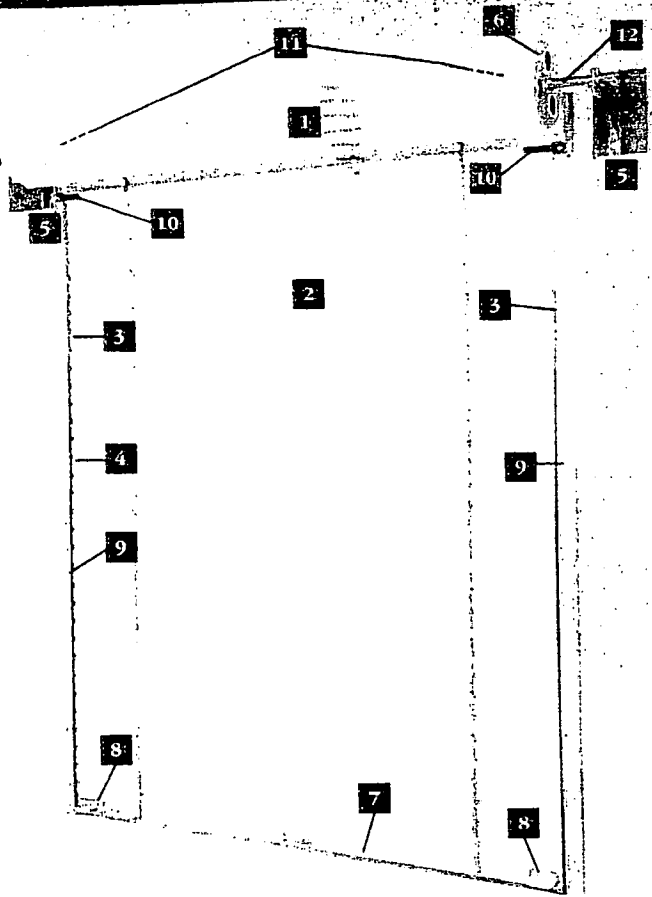
Installation to masonry or steel is quick and simple with no special preparation or overhead tracks needed.

Steel slide-bolt assemblies at each bottom corner secure the closed door from inside. For added security, the slide-bolts also accept padlocks. A sliding curtain lock is available for securing the door from outside.

DS-350 Windload Roll-Up Steel Doors are available in sizes up to 16' X 16', and come in a variety of standard and special colors. You get the doors you need with timely delivery and attractive pricing. Write, call or fax us for specifying or ordering information.

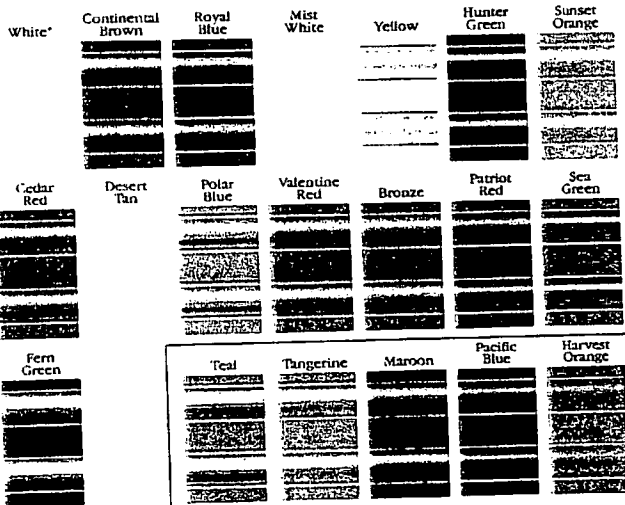
ONE FIRST AFTER ANOTHER.SM

DS-350 protect against windstorms.



- 1 **Corrugated top sheet assembly** forms a strong torque cylinder for strength and easy operation, and conceals the spring mechanism.
- 2 **Corrugated door curtain available in round or square profile**, curtain is hot-dipped, galvanized 26-Ga. steel, primed then finished with high gloss silicone polyester paint.
- 3 **Polypropylene anti-wear strips** on continuous guides for sliding metal parts, providing quieter operation and longer service life.
- 4 **Cast windlocks** are riveted to curtain as required for windload rating.
- 5 **Axle casting assembly** holds constant door tension, and allows easy adjustments. Heavy-duty steel bracket plates rigidly support axle, spring and door.
- 6 **Drum wheel** is deep-drawn galvanized steel with 1-5/16" steel bearings.
- 7 **Bottom angle assembly** includes heavy-duty steel angle, extruded aluminum bottom bar and replaceable tubular-type vinyl astragal.
- 8 **Slide-bolt assemblies** made of heavy-duty steel lock the closed door from inside at the bottom corners. For added security, both slide bolts accept padlocks. Exterior curtain lock also available.
- 9 **Windload door guides** are formed from 13-Ga. galvanized steel. DS-350 guides install readily to masonry, concrete, or steel construction.
- 10 **Automatic door stops** prevent door from rolling up past header.
- 11 **Tempered steel springs** are engineered to counterbalance different door sizes and weights for smooth, easy operation and long service life. Both springs are clip-welded to the axle for correct location and extension.
- 12 **Heavy-duty steel axle** supports door curtain and counterbalance system.

20 Year Warranty Against Chalk and Fade



10 Year Warranty Against Chalk and Fade

* White is also available in a Glossy White finish



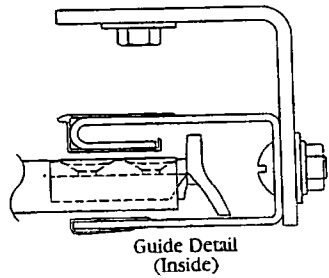
Optional direct-drive chain hoist is available for doors to 10' wide or high, standard for larger doors.

Optional 4:1 reduce-drive chain hoist is available for doors over 12' wide or high.

Optional electric operator kit adapts any door to motorized operation.

Optional steel mounting plates provide lateral extension of jamba.

Optional door insulation features two layers of aluminum mylar film laminated to two layers of heavy-duty polyethylene air-bubble material. Its "R"-value of 4 helps control heat gain/loss. Includes flexible vinyl top and side draft stops as weather seals between the door and the building.



Warranty: Wayne-Dalton Corp. and its subsidiaries back all of their doors and fittings with a **LIMITED WARRANTY** against defects in materials and workmanship. Paint has a limited warranty to hold up against weather induced chipping, cracking, and peeling for 25 years. Refer to each color for the number of years warranted not to chalk or change color. A copy of this warranty is available upon request.

Because of continuing product improvements, we reserve the right to change the product specifications and designs without prior notice.



www.wayne-dalton.com

Wayne-Dalton Corp. • Door & Systems Division • 2589 C.R. 168 • Dundee, OH 44624
Toll-free: 800-795-5095 • Phone: 330-893-3233 • Fax: 330-893-3371

Printed in U.S.A. Rev. 1/2001 Item # 279087

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FEB 22 2002 10:35 FR OWENS CORNING

419 242 7357 TO 94193259444

P. 01/03



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Owens Corning
One Owens Corning Parkway
Toledo, OH 43659

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by the BCCO and accepted by the Building Code and Product Review Committee to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The BCCO (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BCCO reserves the right to revoke this acceptance, if it is determined by BCCO that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County or Florida Building Code.

DESCRIPTION: Oakridge PRO 40 AR

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of pages 1 through 3.

The submitted documentation was reviewed by Frank Zuloaga, RRC



NOA No.: 01-1127.0R
Expiration Date: 07/19/06
Approval Date: 01/31/02
Page 1 of 3

ROOFING SYSTEM APPROVAL

Category: Roofing
Sub-Category: 07310 Asphalt Shingles
Material: Laminare

1. Scope:

This renova a roofing system using Owens Corning Oakridge PRO 40 A.R. Asphalt shingles manufactured by Owens Corning as described in this Notice of Acceptance, designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County.

2. PRODUCT DESCRIPTION

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Oakridge PRO 40 A.R.	13 1/2" x 39 1/4"	PA 110	A heavy weight, fiberglass reinforced four tab asphalt shingle.

3. LIMITATIONS:

- 3.1. Fire classification is not part of this acceptance; refer to a current Approved Roofing Materials Directory for fire ratings of this product.
- 3.2. Shall not be installed on roof mean heights in excess of 33 ft.

4. INSTALLATION:

- 4.1 Shingles shall be installed in compliance with Miami-Dade County Product Control Shingle Installation Procedure No. 115.
- 4.2 Flashing shall be in accordance with Section 9.3 Option "B" (step-flashings) of Miami-Dade County Product Control Shingle Installation Procedure No. 115.
- 4.3 The manufacturer shall provide clearly written application instructions.
- 4.4 Exposure and course layout shall be in compliance with Detail "A", attached.
- 4.5 Nailing shall be in compliance with Detail "B", attached.

5. LABELING:

- 5.1 Shingles shall be labeled with the Miami-Dade Logo or the wording "Miami-Dade County Product Control Approved".

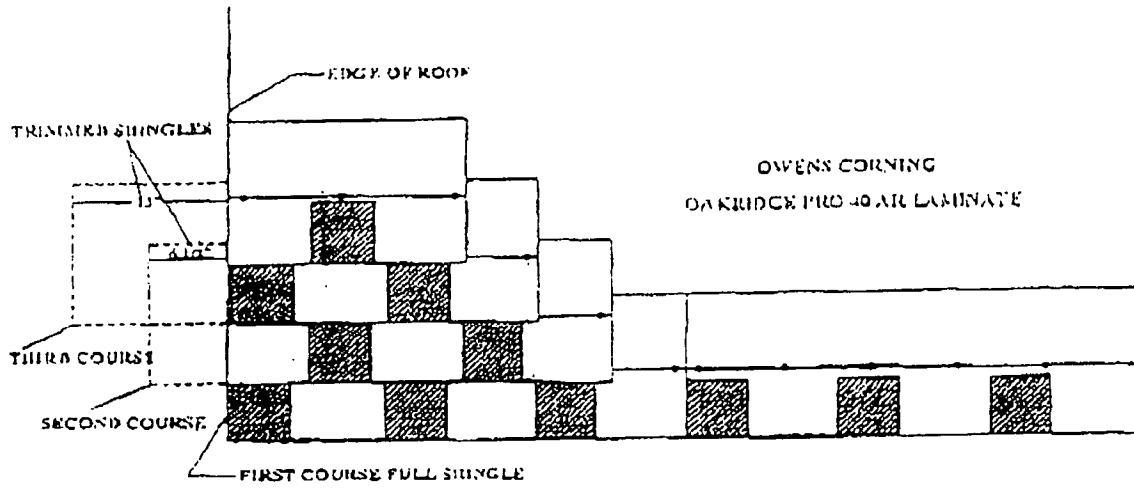
6. BUILDING PERMIT REQUIREMENTS:

- 6.1 Application for building permit shall be accompanied by copies of the following:
 - 6.1.1 This Notice of Acceptance
 - 6.1.2 Any other document required by Building Official or the Applicable Code in order to properly evaluate the installation of this system.



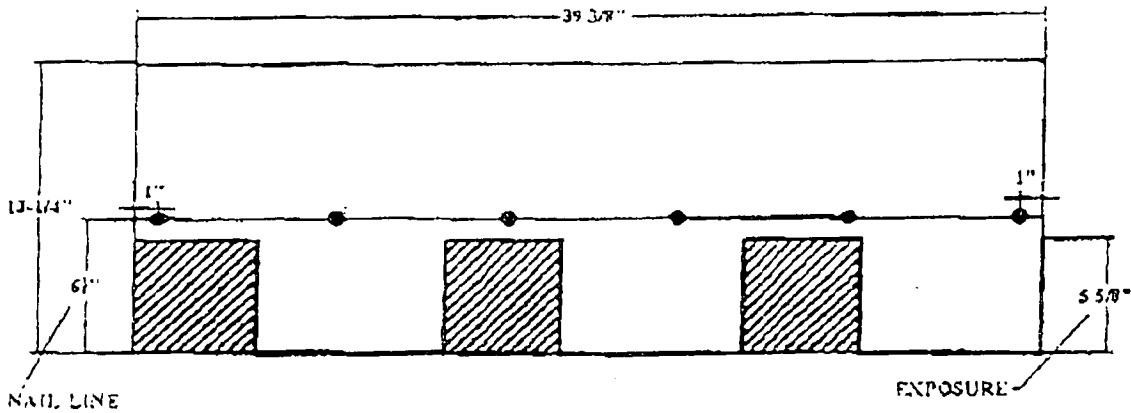
NOA No.: 01-1127.08
 Expiration Date: 07/19/06
 Approval Date: 01/31/02
 Page 2 of 3

DETAIL A



DETAIL B

OWENS CORNING
FASTENING PATTERN & PHYSICAL DIMENSIONS
OAKRIDGE PRO 40 AR LAMINATE



END OF THIS ACCEPTANCE



NOA No: 01-1127.08
 Expiration Date: 07/19/06
 Approval Date: 01/31/02
 Page 3 of 3



Catalog No. 397 (PDF)

Search
Keyword(s)

LOG IN

User ID

Password

Remember my login

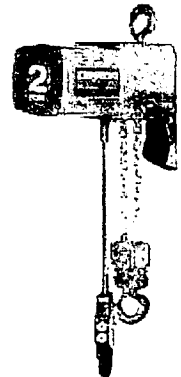
Item Details

Material Handling > Hoist Winch and Rigging > Electric Hoists

Hoist,Chain,2 Ton

Single Speed Electric Chain Hoist, Capacity 2 Tons, Lift Speed 8 FPM, Current @ Low Voltage Amps, Motor Power Rating 1 HP, Motor Phase Single, Motor Voltage @ 60 Hz 115/230 V, 15 Feet, Control Cord 11 Feet, Minimum Distance between Hooks 21 3/4 Inches, Housing 24 1/8 Inches, Housing Depth 8 3/8 Inches, Housing Width 7 15/16 Inches. With 2Z619 chain cor

Grainger Item #	7E989
Price (ea.)	\$2,027.00
Brand	DAYTON
Mfr. Model #	JLC4008-1-15
Ship Qty.	1
Sell Qty. (Will-Call)	1
Ship Weight (lbs.)	130.3
Usually Ships**	Today
Catalog Page No.	2075



Qty.

Enlarge

Price shown may not reflect your price. Log in or register.

Techn Specs	Additional Information	Notes & Restrictions	MSDS	Required Accessories	Optional Accessories	Alternate Products	Repair Parts
Item							
Capacity (Tons)			2				
Lift Speed (FPM)			8				
Motor - P			1				
Voltage @ 60 Hz			115/230				
Motor Phase			1				
Amps @ Low Volts			6.0				
Control Cord (Ft.)			11				
Min. Between Hooks (In.)			19 3/4				
Housing Length (In.)			24 1/8				
Housing Width (In.)			7 15/16				
Housing Depth (In.)			8 3/8				
Brake							Multiple Disc Motor. Stops and Holds the Load even with Loss of



BUILDING CODE COMPLIANCE OFFICE (BCCO)
 PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
 METRO-DADE FLAGLER BUILDING
 140 WEST FLAGLER STREET, SUITE 1603
 MIAMI, FLORIDA 33130-1563
 (305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

PGT Industries
 1070 Technology Drive
 Nokomis, FL 34275

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Series SH-4000 Aluminum Single Hung Window W/H.D. MTG. Rail

APPROVAL DOCUMENT: Drawing No. 2737, titled " Series SH-4000 Alum. Single Hung Window W/ H.D. MTG. Rail", dated 04/18/01 with revision "3" on 12/16/04, sheets 1 through 8 of 8, prepared by manufacturer, signed and sealed by Robert L. Clark, P.E., bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: None

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

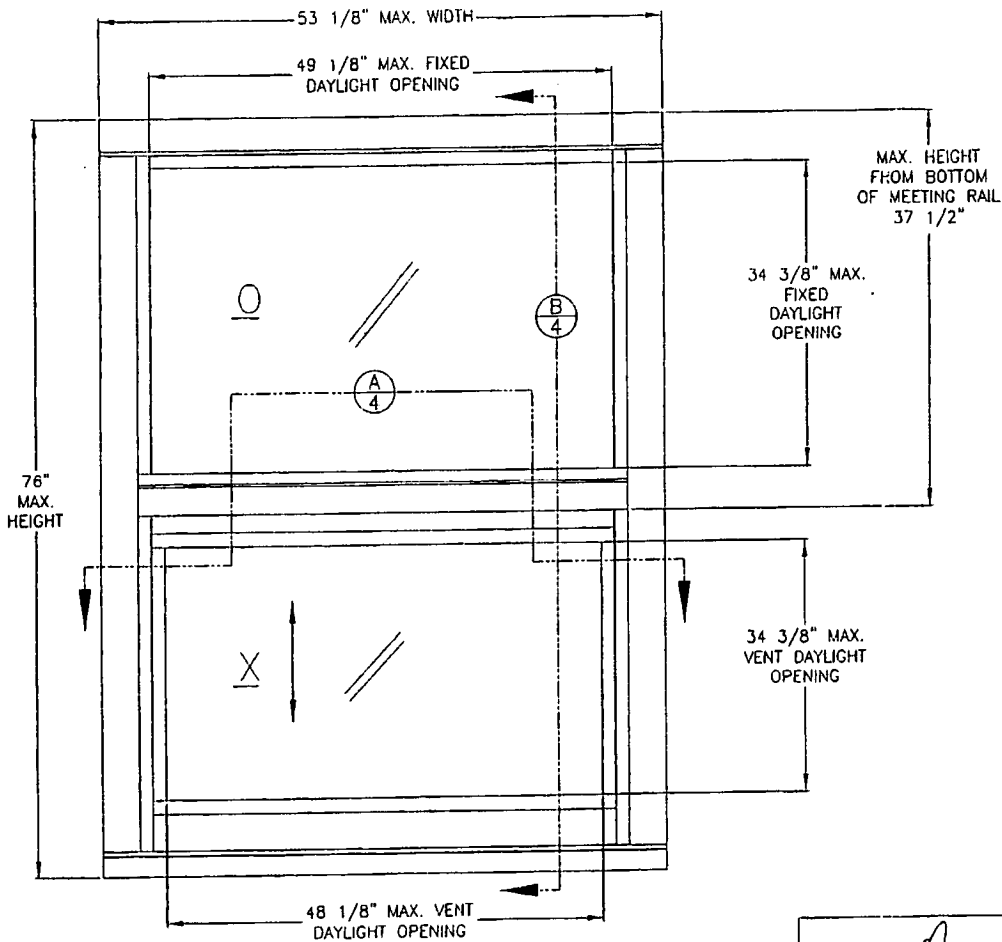
INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 04-0319.02 and, consists of this page 1 and evidence pages E-1, E-2 and E-3, as well as approval document mentioned above.

The submitted documentation was reviewed by **Herminio F. Gonzalez, P.E., Director, BCCO**



NOA No 05-0112.01
 Expiration Date: October 08, 2006
 Approval Date: March 31, 2005
 Page 1



OUTSIDE ELEVATION

NOTES: NON-IMPACT WINDOWS

- △1.) GLAZING OPTIONS: (SEE TABLES, SHEET 3 FOR DESIGN PRESSURES)
 - A.) 3/16" TEMPERED GLASS
 - B.) 3/16" ANNEALED GLASS
 - C.) 1/2" I.G. GLASS (1/8" TEMPERED, AIR SPACE, 1/8" TEMPERED)
 - D.) 1/2" I.G. GLASS (1/8" ANNEALED, AIR SPACE, 1/8" ANNEALED)
 - E.) 1/2" I.G. GLASS (3/16" TEMPERED, AIR SPACE, 1/8" TEMPERED)
 - F.) 1/2" I.G. GLASS (3/16" ANNEALED, AIR SPACE, 1/8" ANNEALED)
 - G.) 1/4" TEMPERED GLASS
 - H.) 1/4" ANNEALED GLASS
- 2.) MANUFACTURED WITH HEAVY DUTY MEETING RAIL
- △3.) SHUTTERS ARE REQUIRED WHERE IMPACT RESISTANCE IS REQUIRED. SHUTTERS MUST BE MIAMI-DADE COUNTY APPROVED FOR INSTALLATION IN MIAMI-DADE COUNTY.
- △4.) SEE SHEET 4 FOR SECTION DETAILS.
- △5.) FOR ANCHORAGE REQUIREMENTS SEE SHEETS 7 AND 8.
- △6.) SEALANTS: FRAME CORNERS, FIXED MEETING RAIL SEAMS AND VENT CORNERS WITH CLEAR COLORED SEALANT.
- △7.) REFERENCE TEST REPORTS: FTL-2957, FTL-2958, FTL-3986, FTL3987, FTL-4253 AND FTL-4378

NOA DRAWING MAP

TOPIC	SHEET
GENERAL NOTES.....	1
ELEVATIONS.....	1
GLAZING DETAILS.....	2
DESIGN PRESSURES.....	3
VERT. SECTIONS.....	4
HORIZ. SECTIONS.....	4
PARTS LIST.....	5-6
EXTRUSIONS.....	5-6
ANCHORAGE.....	7-8

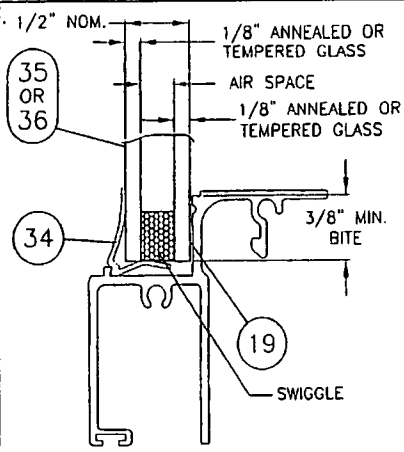
PRODUCT REVISED
 as complying with the Florida
 Building Code
 Acceptance No. 05-0112-01
 Expiration Date 10/08/16
 By *[Signature]*
 Miami Dade Product Control
 Division

Revised By: F.K.	Date: 12/16/04	Revisions: F-ADD ALT. EXTRUSIONS
Revised By: F.K.	Date: 5/24/04	Revisions: E-MARKED CORRECTIONS
Revised By: F.K.	Date: 12/05/03	Revisions: D-ADD IG GLASS & NOTES
Drawn By: F.K.	Date: 4/18/01	

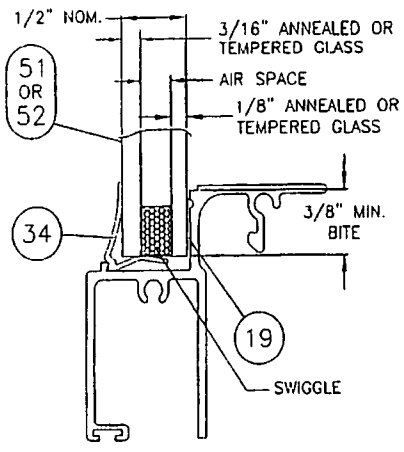
[Signature]
 01/10/15
 Robert L. Clark, P.E.
 PE #39712
 Structural

PGI
 Visibly Better
 1070 TECHNOLOGY DRIVE
 NOKOMIS, FL 34275
 P.O. BOX 1529
 NOKOMIS, FL 34274

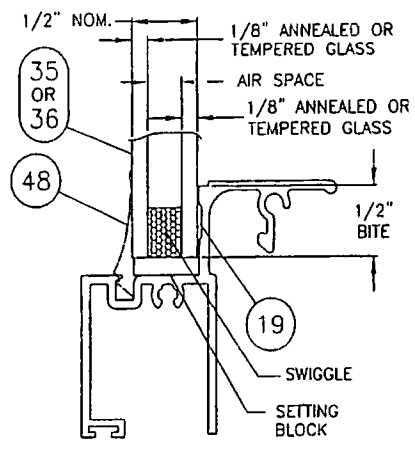
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Title: ALUM. SINGLE HUNG WINDOW W/ H.D. MTG. RAIL				
Series/Model: SH-4000	Scale: NTS	Sheet: 1 of 8	Drawing No. 2737	Rev: F



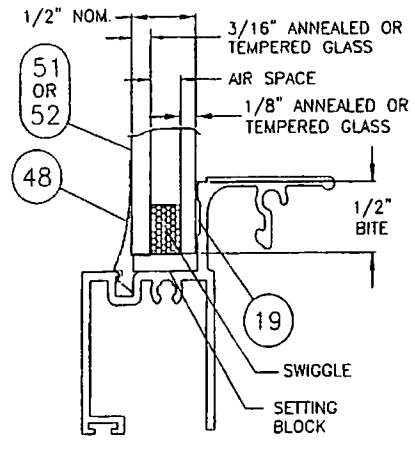
1/2" I.G. GLAZING DETAIL
(ORIGINAL DESIGN)



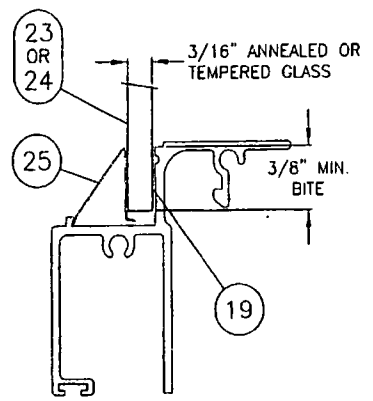
1/2" I.G. GLAZING DETAIL Δ
(ORIGINAL DESIGN)



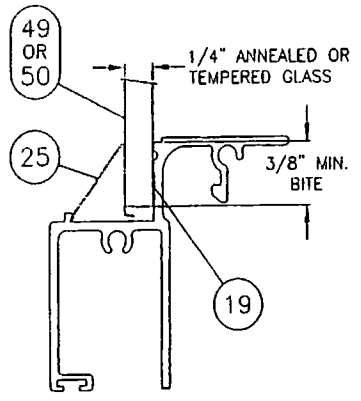
1/2" I.G. GLAZING DETAIL Δ
(ALTERNATE DESIGN)



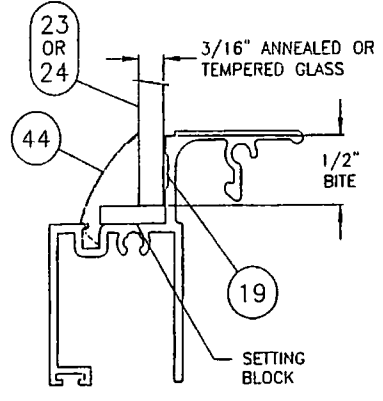
1/2" I.G. GLAZING DETAIL Δ
(ALTERNATE DESIGN)



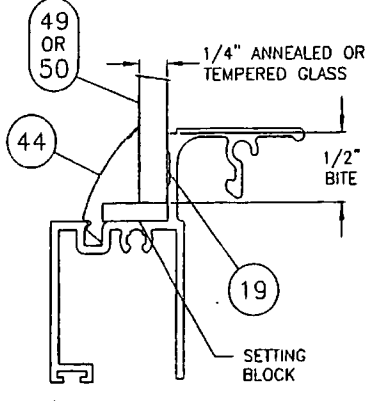
3/16" GLAZING DETAIL
(ORIGINAL DESIGN)



1/4" GLAZING DETAIL Δ
(ORIGINAL DESIGN)



3/16" GLAZING DETAIL Δ
(ALTERNATE DESIGN)



1/4" GLAZING DETAIL Δ
(ALTERNATE DESIGN)

PRODUCT REVISED
in compliance with the Florida
Building Code
Acceptance No. 05-0112-01
Expiration Date 12/31/06
By *M. Hall*
Miami-Dade Product Control
Division

Robert L. Clark
Robert L. Clark, P.E.
PE #39712
Structural

PGT
Visibly Better

1070 TECHNOLOGY DRIVE
NOKOMIS, FL 34275
P.O. BOX 1529
NOKOMIS, FL 34274

Revised By: F.K.	Date: 12/16/04	Revisions: F-ADD ALT. EXTR & GLAZING
Revised By:	Date:	Revisions: NEW SHEET
Drawn By: F.K.	Date: 4/18/01	

Description: GLAZING DETAILS			
Title: ALUM. SINGLE HUNG WINDOW W/ H.D. MTG. RAIL			
Series/Model: SH-4000	Scale: FULL	Sheet: 2 of 8	Drawing No. 2737
			Rev: F

COMPARATIVE ANALYSIS FOR: FTL- 2957, FTL-4253 & FTL-4378

GLASS A. 3/16" TEMPERED
 TYPES: G. 1/4" TEMPERED

WINDOW WIDTH	WINDOW HEIGHT									
	26.000		38.375		50.625		63.000		76.000	
19.125	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-100.4
24.000	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-87.5
26.500	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-83.2
32.000	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-77.5
37.000	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-75.7
40.000	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-75.6
44.000	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-75.6
48.000	+56.7	-110.0	+56.7	-110.0	+56.7	-109.6	+56.7	-98.5	+56.7	-75.8
53.125	+56.7	-110.0	+56.7	-110.0	+56.7	-95.7	+56.7	-83.3	+56.7	-75.8

COMPARATIVE ANALYSIS FOR: FTL-2958

GLASS TYPE B. 3/16" ANNEALED
 H. 1/4" ANNEALED

WINDOW WIDTH	GLASS TYPE	WINDOW HEIGHT									
		26.000		38.375		50.625		63.000		76.000	
19.125	B.	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-86.3
	H.	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-86.3
24.000	B.	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-100.3	+56.7	-75.2
	H.	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-100.3	+56.7	-75.2
26.500	B.	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-97.0	+56.7	-71.6
	H.	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-97.0	+56.7	-71.6
32.000	B.	+56.7	-110.0	+56.7	-110.0	+56.7	-101.7	+56.7	-81.9	+56.7	-66.7
	H.	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-94.6	+56.7	-66.7
37.000	B.	+56.7	-110.0	+56.7	-110.0	+56.7	-86.4	+56.7	-70.9	+56.7	-61.9
	H.	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-94.6	+56.7	-65.0
40.000	B.	+56.7	-110.0	+56.7	-110.0	+56.7	-80.9	+56.7	-65.8	+56.7	-57.7
	H.	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-86.4	+56.7	-65.0
44.000	B.	+56.7	-110.0	+56.7	-110.0	+56.7	-73.1	+56.7	-59.2	+52.3	-52.3
	H.	+56.7	-110.0	+56.7	-110.0	+56.7	-103.3	+56.7	-77.8	+56.7	-65.0
48.000	B.	+56.7	-110.0	+56.7	-104.4	+56.7	-64.8	+53.9	-53.9	+48.0	-48.0
	H.	+56.7	-110.0	+56.7	-110.0	+56.7	-93.8	+56.7	-71.8	+56.7	-60.2
53.125	B.	+56.7	-110.0	+56.7	-99.7	+56.7	-59.5	+47.9	-47.9	+43.1	-43.1
	H.	+56.7	-110.0	+56.7	-100.9	+56.7	-82.3	+56.7	-65.2	+54.5	-54.5

- NOTES:**
1. NEGATIVE DESIGN LOADS BASED ON TESTED PRESSURE AND GLASS TABLES ASTM E 1300-98 (ASTM E 1300-94 OUTSIDE MIAMI-DADE COUNTY).
 2. POSITIVE DESIGN LOADS BASED ON WATER TEST PRESSURE AND GLASS TABLES ASTM E 1300-98 (ASTM E 1300-94 OUTSIDE MIAMI-DADE COUNTY).
 3. SEE SHEETS 7 AND 8 FOR ANCHORAGE INFORMATION. **A**

COMPARATIVE ANALYSIS FOR: FTL-3986

GLASS C. 1/2" I.G. (1/8" TEMPERED, AIR SPACE, 1/8" TEMPERED)
 TYPES: E. 1/2" I.G. (3/16" TEMPERED, AIR SPACE, 1/8" TEMPERED)


WINDOW WIDTH	WINDOW HEIGHT									
	26.000		38.375		50.625		63.000		76.000	
19.125	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-99.6
24.000	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-86.8
26.500	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-82.6
32.000	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-109.1	+56.7	-76.9
37.000	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-109.1	+56.7	-75.1
40.000	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-109.1	+56.7	-75.0
44.000	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-109.1	+56.7	-75.0
48.000	+56.7	-110.0	+56.7	-110.0	+56.7	-108.7	+56.7	-95.7	+56.7	-75.0
53.125	+56.7	-110.0	+56.7	-110.0	+56.7	-94.9	+56.7	-82.8	+56.7	-75.0

COMPARATIVE ANALYSIS FOR: FTL-3987


GLASS D. 1/2" I.G. (1/8" ANNEALED, AIR SPACE, 1/8" ANNEALED)
 TYPES: F. 1/2" I.G. (3/16" ANNEALED, AIR SPACE, 1/8" ANNEALED)

WINDOW WIDTH	WINDOW HEIGHT									
	26.000		38.375		50.625		63.000		76.000	
19.125	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-86.3
24.000	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-100.3	+56.7	-75.2
26.500	+56.7	-110.0	+56.7	-110.0	+56.7	-110.0	+56.7	-97.0	+56.7	-71.6
32.000	+56.7	-110.0	+56.7	-110.0	+56.7	-103.3	+56.7	-91.4	+56.7	-66.7
37.000	+56.7	-110.0	+56.7	-110.0	+56.7	-101.7	+56.7	-89.3	+56.7	-65.0
40.000	+56.7	-110.0	+56.7	-110.0	+56.7	-94.5	+56.7	-81.5	+56.7	-65.0
44.000	+56.7	-110.0	+56.7	-110.0	+56.7	-85.5	+56.7	-72.1	+56.7	-59.1
48.000	+56.7	-110.0	+56.7	-110.0	+56.7	-81.3	+56.7	-64.3	+56.7	-53.6
53.125	+56.7	-110.0	+56.7	-110.0	+56.7	-77.7	+55.7	-55.7	+53.4	-49.6

Robert L. Clark, P.E.
 PE #33712
 Structural



Robert L. Clark, P.E.
 PE #33712
 Structural



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 Visibly Better

1070 TECHNOLOGY DRIVE
 NOKOMIS, FL 34275

P.O. BOX 1529
 NOKOMIS, FL 34274

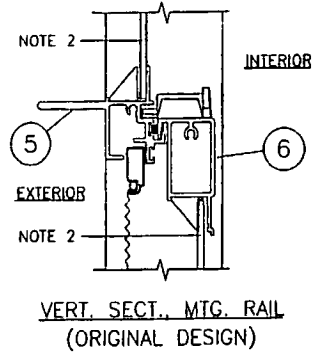
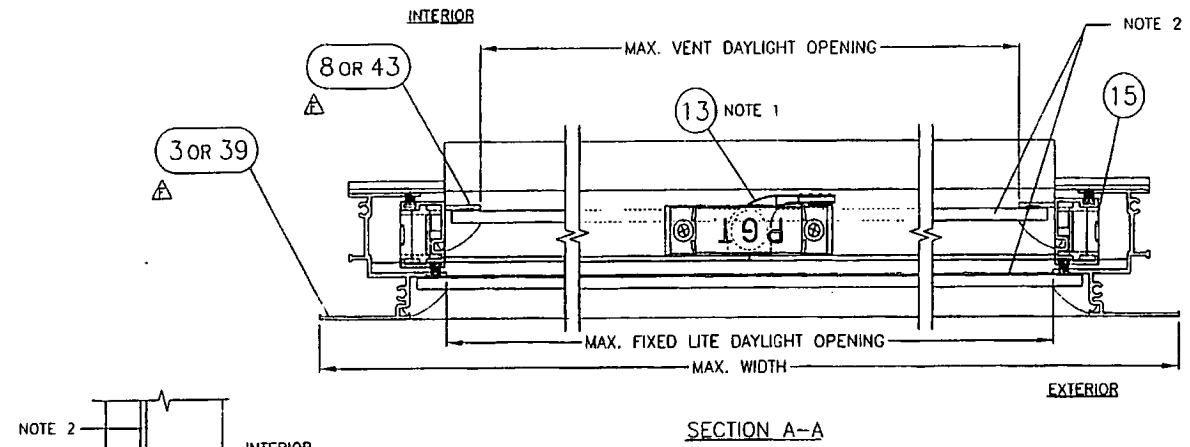
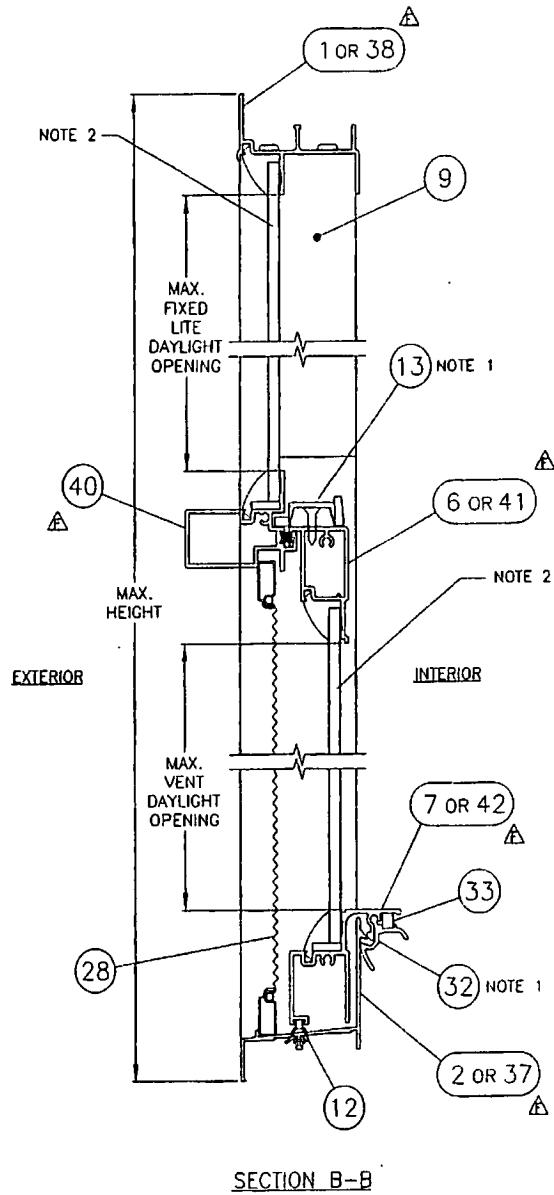
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Revised By: F.K.	Date: 5/24/04	Revisions: E-UPDATE TABLES
Revised By: F.K.	Date: 12/05/03	Revisions: D-NEW SHT, ADD IG
Drawn By: F.K.	Date: 4/18/01	

DESIGN PRESSURES

Title: **ALUM. SINGLE HUNG WINDOW W/ H.D. MTG. RAIL**

Series/Notes: SH-4000	Scale: NTS	Sheet: 3 of 8	Drawing No: 2737	Rev: F
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PRODUCT REVISED
 in compliance with the Florida
 Building Code
 Amendment No. 05-0112.01
 Effective Date 10/08/06
 By: *[Signature]*
 Michael Wade, President
 Michael Wade Windows & Doors
 Division



NOTES:

1. WINDOWS ARE EQUIPPED WITH ITEM 13, SWEEP LATCH LOCATED ON THE VENT TOP RAIL OR ITEM 32, BOTTOM LOCK LOCATED ON THE VENT BOTTOM RAIL.
2. WINDOWS ARE GLAZED WITH ONE OF THE FOLLOWING GLASS ITEMS 24, 25, 35, 36, 49, 50, 51, OR 52.

PRODUCT REVISED
 as complying with the Florida
 Building Code
 Amendment No. 03-0112-C1
 Effective Date 10/08/08
 By: *[Signature]*
 Michael Smith, Vendor Contact
 Director

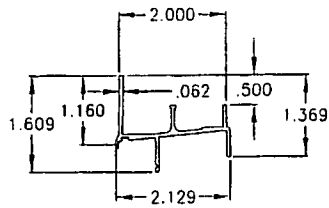
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Revised By: F.K.	Date: 5/24/04	Revisions: E-ADD 37 & CORRECTIONS
Revised By: F.K.	Date: 12/05/03	Revisions: D-MOVE NOTES SHIT 1
Drawn By: F.K.	Date: 4/18/01	

[Signature]
 01/10/05
 Robert L. Clark, P.E.
 PE #39712
 Structural

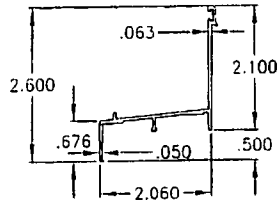
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 Visibly Better

1070 TECHNOLOGY DRIVE
 NOKOMIS, FL 34275
 P.O. BOX 1523
 NOKOMIS, FL 34274

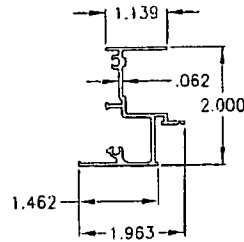
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Title: ALUM. SINGLE HUNG WINDOW W/ H.D. MTG. RAIL			
Series/Model: SH-4000	Scale: HALF	Sheet: 4 of 8	Drawing No. 2737
			Rev: F



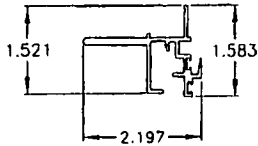
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6063-T6



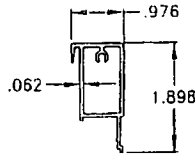
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6063-T6



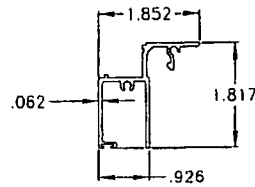
③ #2705. JAMB
6063-T6



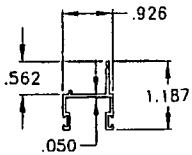
⑤ #2710. HD MTG.
RAIL, 6063-T6



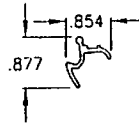
⑥ #2707. VENT TOP
RAIL, 6063-T6



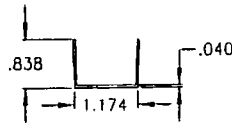
⑦ #2708. VENT BOTTOM
RAIL, 6063-T6



⑧ #2709. VENT SIDE
RAIL, 6063-T6



③② #2740. BOTTOM
LOCK, 6063-T6



⑨ #2770. VENT
STOP, 6063-T6

ITEM	DESCRIPTION	PGT #	VENDOR/MAT'L	DWG.#
1	FLANGED FRAME HEAD	62703	6063-T6	2703
2	FLANGED FRAME SILL	62704	6063-T6	2704
3	FLANGED FRAME JAMB	62705	6063-T6	2705
5	HEAVY DUTY FIXED MEETING RAIL	6534525	6063-T6	2710
6	VENT TOP RAIL	6534522	6063-T6	2707
7	VENT BOTTOM RAIL	6534523	6063-T6	2708
8	VENT SIDE RAIL	6534524	6063-T6	2709
9	VENT STOP	66387	6063-T6	2770
10	VENT CAM INSERT (L.H. & R.H.)	42800	NYLON 6/6	2748
11	#8 x .750 QUAD PAN HEAD SMS	7834PA	SPENCER OR =	
12	WEATHERSTRIP, VINYL BULB W/LEAF	6TP249	TEAM PLASTICS OR =	
13	SWEEP LATCH	71096	MINIATURE DIE CASTING OR =	
14	#8 x .625 PHILLIPS FLAT HEAD SMS	7858	SPENCER OR =	
15	BALANCE		CALDWELL OR =	
16	WEATHERSTRIP, .187 x .270 FIN	61062	TEAM PLASTICS OR =	
17	WEATHERSTRIP, .187 x .200, FIN	67919	SCHLEGEL OR =	
18	BALANCE TAKE-OUT CLIP	7121UM	CALDWELL OR =	
19	SILICON GLAZING SEALANT	62899	DOW, GE OR =	
23	3/16" ANNEALED GLASS			
24	3/16" TEMPERED GLASS			
25	3/16", 1/4" GLAZING BEAD	65196	FLORIDA SCREEN OR =	
26	#8 x 1.000 QUAD PAN HEAD SMS	781PQ	SPENCER OR =	
27	1" x 1.5" OPEN CELL FOAM PAD			
28	SCREEN ASSEMBLY			
32	VENT RAIL BOTTOM LOCK	62721	6063-T6	2740

Roben L. Clark
Roben L. Clark, P.E.
PE #38712
Structural

PGT
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1070 TECHNOLOGY DRIVE
NOKOMIS, FL 34275
P.O. BOX 1529
NOKOMIS, FL 34274

Revised By: F.K.	Date: 12/16/04	Revisions: F-UPDATE MAT'L & DWG#S
Revised By: F.K.	Date: 5/24/04	Revisions: E-ADD 37 & CORRECTIONS
Revised By: F.K.	Date: 12/05/03	Revisions: D-ADD ITEMS 34, 35 & 36
Drawn By: F.K.	Date: 4/18/01	

PRODUCT REVISED
to comply with the Florida
Building Code
Amendment No. 05-0117.01
Expiration Date 10/08/06
By *M. Hall*
Miami-Dade Product Control
Division

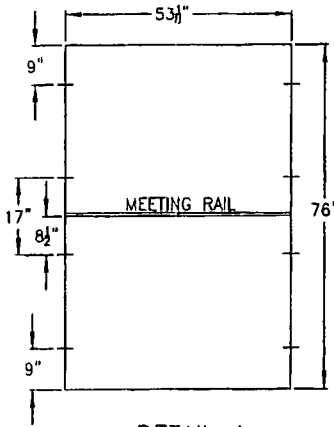
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Title: ALUM. SINGLE HUNG WINDOW W/ H.D. MTG. RAIL				
Series/Model: SH-4000	Scale: HALF	Sheet: 5 of 8	Drawing No. 2737	Rev. F

QUANTITY OF ANCHORS PER JAMB

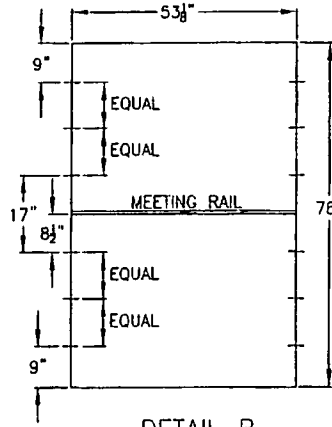
WINDOW SIZE	COMPARATIVE ANALYSIS PRESSURE			
	FULL PSF		75 PSF MAX.	
	1/4" Tapcon	#12 Screw	1/4" Tapcon	#12 Screw
26 1/2 x 26	2	2	2	2
26 1/2 x 35	2	2	2	2
26 1/2 x 38 3/8	4	4	4	4
26 1/2 x 50 5/8	4	4	4	4
26 1/2 x 56	4	4	4	4
26 1/2 x 63	4	4	4	4
26 1/2 x 76	4	4	4	4
32 x 26	2	2	2	2
32 x 35	2	4	2	2
32 x 38 3/8	4	4	4	4
32 x 50 5/8	4	4	4	4
32 x 56	4	4	4	4
32 x 63	4	6	4	4
32 x 76	4	4	4	4
37 x 26	2	4	2	2
37 x 35	2	4	2	2
37 x 38 3/8	4	4	4	4
37 x 50 5/8	4	4	4	4
37 x 56	4	6	4	4
37 x 63	4	6	4	4
37 x 76	4	4	4	4
40 x 26	2	4	2	2
40 x 35	4	4	2	2
40 x 38 3/8	4	4	4	4
40 x 50 5/8	4	6	4	4
40 x 56	4	6	4	4
40 x 63	4	6	4	4
40 x 76	4	6	4	6
48 x 26	2	4	2	2
48 x 35	4	4	2	4
48 x 38 3/8	4	4	4	4
48 x 50 5/8	4	6	4	4
48 x 56	4	6	4	4
48 x 63	4	6	4	6
48 x 76	4	6	4	6
53 1/8 x 26	4	4	2	2
53 1/8 x 35	4	4	2	4
53 1/8 x 38 3/8	4	6	4	4
53 1/8 x 50 5/8	4	6	4	4
53 1/8 x 56	4	6	4	6
53 1/8 x 63	4	6	4	8
53 1/8 x 76	4	6	4	6

MIAMI-DADE COUNTY ANCHORAGE SPACING:

- ANCHORS ARE NOT REQUIRED IN THE HEAD OR SILL (REF. TEST REPORTS FTL-4253 AND FTL-4378). Δ
- SPACING FOR (4) OR LESS ANCHORS PER JAMB: (DETAIL A)
MAX. 9" FROM CORNERS
MAX. 17" AT MEETING RAIL (DIMENSIONED FROM 8 1/2" BELOW MEETING RAIL)
- SPACING FOR MORE THAN (4) ANCHORS PER JAMB: (DETAIL B)
MAX. 9" FROM CORNERS
MAX. 17" AT MEETING RAIL (DIMENSIONED FROM 8 1/2" BELOW MEETING RAIL)
ONE ADDITIONAL ANCHOR REQUIRED ABOVE AND BELOW THE MEETING RAIL AT CENTERLINE BETWEEN THE CORNER AND MEETING RAIL ANCHORS.
- WHEN INSTALLING OUTSIDE MIAMI-DADE COUNTY WITH 1/4" TAPCONS OR #12 SCREWS, SPACE ANCHORS PER NOTE 2 FOR FULL COMPARATIVE ANALYSIS PRESSURE.



DETAIL A



DETAIL B

PRODUCT REVISED
to comply with the Florida
Building Code
Amendment No. 05-0112.01
Implementation Date 1/1/05
[Signature]
Miami-Dade County Council
Member

[Signature]
01/10/05
Robert L. Clark, P.E.
PE #39712
Structural

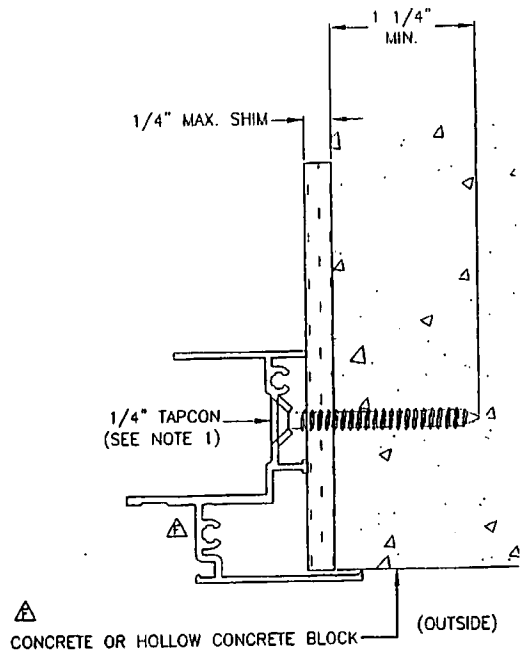
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Visibly Better
1070 TECHNOLOGY DRIVE
NOKOMIS, FL 34273
P.O. BOX 1529
NOKOMIS, FL 34274

Revised By: F.K.	Date: 12/16/04	Revisions: F-UPDATE NOTE 1
Revised By: F.K.	Date: 5/24/04	Revisions: E-NEW SHEET
Drawn By: F.K.	Date: 4/18/01	

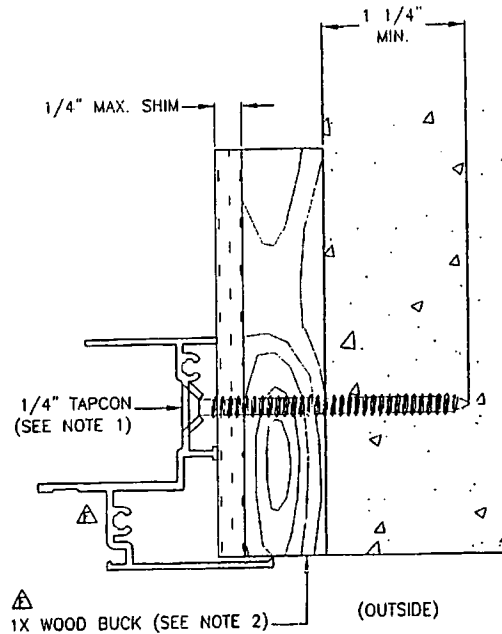
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ANCHORAGE SPACING

Title:
ALUM. SINGLE HUNG WINDOW W/ H.D. MTG. RAIL

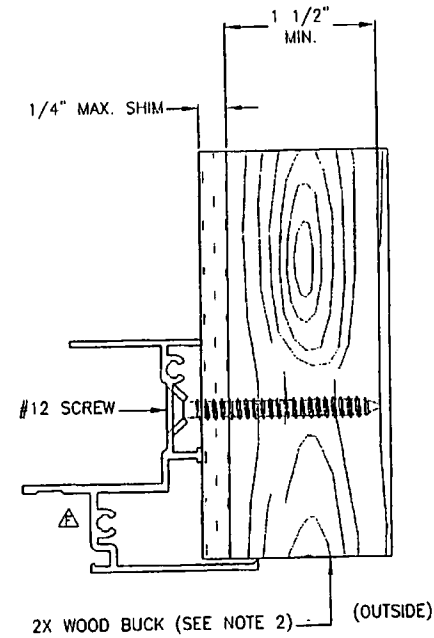
Series/Model: SH-4000	Scale: NTS	Sheet: 7 of 8	Drawing No. 2737	Rev. F
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DETAIL 1



DETAIL 2



DETAIL 3

TYPICAL JAMB ANCHORAGE

NOTES: Δ

- FOR CONCRETE APPLICATIONS IN MIAMI-DADE COUNTY, USE ONLY MIAMI-DADE COUNTY APPROVED TAPCONS.
- INSTALLATION OF WOOD BUCKS TO THE SUBSTRATE TO BE ENGINEERED BY OTHERS OR AS APPROVED BY AUTHORITY HAVING JURISDICTION.
- FOR ATTACHMENT TO ALUMINUM: THE MATERIAL SHALL BE A MINIMUM STRENGTH OF 6063-T5 AND A MINIMUM OF 1/16" THICK. THE ALUMINUM STRUCTURAL MEMBER SHALL BE OF A SIZE TO PROVIDE FULL SUPPORT TO THE WINDOW JAMB SIMILAR TO THAT SHOWN IN DETAIL 3 ABOVE FOR 2x WOOD BUCKS. THE ANCHOR SHALL BE A #12 SHEET METAL SCREW WITH FULL ENGAGEMENT INTO THE ALUMINUM. IF THESE CRITERIA ARE MET THE PRESSURES AND ANCHORAGE SPACING FOR #12 SCREWS SHOWN ON SHEET 7 MAY BE USED.

[Signature]
01/10/04
Robert L. Claiborne, P.E.
#39712
Structural

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1070 TECHNOLOGY DRIVE
NOKOMIS, FL 34275
P.O. BOX 1529
NOKOMIS, FL 34274

Revised By: F.K.	Date: 12/16/04	Revisions: F-UPDATE EXTR & NOTES
Revised By: F.K.	Date: 5/24/04	Revisions: E-UPDATE ANCHORAGE
Revised By: F.K.	Date: 12/05/03	Revisions: D-UPDATED W/ NOTES
Drawn By: F.K.	Date: 4/18/01	









































PRODUCT REVISED
to comply with the Florida
Building Code
Amendment No. 05-0112.01
Effective Date 10/10/05
By *[Signature]*
Michael Keith Product Control
Director

Description: ANCHORAGE DETAILS				
Title: ALUM. SINGLE HUNG WINDOW W/ H.D. MTG. RAIL				
Series/Model: SH-4000	Scale: 2X	Sheet: 8 of 8	Drawing No: 2737	Rev: F

SINGLE HUNG - SERIES SH500

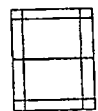
SIZE CHART & STANDARD COLONIAL CONFIGURATIONS

NOMINAL

ACTUAL WINDOW WIDTH	17 1/2	19 1/2	23 1/2	27 1/2	29 1/2	31 1/2	35 1/2	39 1/2	43 1/2	47 1/2
WOOD FRAME OPENING	17 3/4	19 3/4	23 3/4	27 3/4	29 3/4	31 3/4	35 3/4	39 3/4	43 3/4	47 3/4
35 1/2 35 3/4	 1630	 1830	 2030	 2430	 2630	 2830	 3030	 3430	 3830	 4030
37 1/2 37 3/4	 1632	 1832	 2032	 2432	 2632	 2832	 3032	 3432	 3832	 4032
43 1/2 43 3/4	 1638	 1838	 2038	 2438	 2638	 2838	 3038	 3438	 3838	 4038
45 1/2 45 3/4	 16310	 18310	 20310	 24310	 26310	 28310	 30310	 34310	 38310	 40310

ACTUAL WINDOW HEIGHT

WOOD FRAME OPENING



Brittany
6-lite
(standard)











































Brittany
9-lite
(custom)

DESIGN PRESSURE GUIDE

STYLE	TESTED PRESSURE	WATER-TESTED PRESSURE	TESTED SIZE	TYPE OF TEST
Single Hung	+60/-70 psf	9.0 psf	52 1/8" x 75"	AAMA/NWWDA 101/I.S.2-97 and ASTM E1886/E1996

SIZE CHART & STANDARD COLONIAL CONFIGURATIONS

NOMINAL (CONTINUED)

ACTUAL WINDOW WIDTH		17 ¹ / ₂	19 ¹ / ₂	23 ¹ / ₂	27 ¹ / ₂	29 ¹ / ₂	31 ¹ / ₂	35 ¹ / ₂	39 ¹ / ₂	43 ¹ / ₂	47 ¹ / ₂
WOOD FRAME OPENING		17 ³ / ₄	19 ³ / ₄	23 ³ / ₄	27 ³ / ₄	29 ³ / ₄	31 ³ / ₄	35 ³ / ₄	39 ³ / ₄	43 ³ / ₄	47 ³ / ₄
47 ¹ / ₂	47 ³ / ₄	 1640	 1840	 2040	 2440	 2640	 2840	 3040	 3440	 3840	 4040
49 ¹ / ₂	49 ³ / ₄	 1642	 1842	 2042	 2442	 2642	 2842	 3042	 3442	 3842	 4042
51 ¹ / ₂	51 ³ / ₄	 1644	 1844	 2044	 2444	 2644	 2844	 3044	 3444	 3844	 4044
53 ¹ / ₂	53 ³ / ₄	 1646	 1846	 2046	 2446	 2646	 2846	 3046	 3446	 3846	 4046












































ACTUAL WINDOW HEIGHT

WOOD FRAME OPENING

DESIGN PRESSURE GUIDE

STYLE	TESTED PRESSURE	WATER-TESTED PRESSURE	TESTED SIZE	TYPE OF TEST
Single Hung	+60/-70 psf	9.0 psf	52 ¹ / ₈ " x 75"	AAMA/NWWDA 101/I.S.2-97 and ASTM E1886/E1996

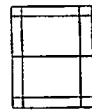
SIZE CHART & STANDARD COLONIAL CONFIGURATIONS

			COMMODITY				MODULAR				
WINDOW WIDTH	18 ¹ / ₈	25 ¹ / ₂	36	52 ¹ / ₈	23	31	39	43	47		
MASONRY OPENING*	19 ⁷ / ₈	27 ¹ / ₄	37 ³ / ₄	53 ⁷ / ₈	24 ³ / ₄	32 ³ / ₄	40 ³ / ₄	44 ³ / ₄	48 ³ / ₄		
WOOD FRAME OPENING	18 ³ / ₈	25 ³ / ₄	36 ¹ / ₄	52 ³ / ₈	23 ¹ / ₄	31 ¹ / ₄	39 ¹ / ₄	43 ¹ / ₄	47 ¹ / ₄		
25	26	25 ¹ / ₄									
			12	H32	22	32	2022	2822	3422	3822	4022
37 ³ / ₈	38 ³ / ₈	37 ⁵ / ₈									
			13	H33	23	33	2033	2833	3433	3833	4033
49 ⁵ / ₈	50 ⁵ / ₈	49 ⁷ / ₈									
			14	H34	24	34	2043	2843	3443	3843	4043
62	63	62 ¹ / ₄									
			15	H35	25	35	2053	2853	3453	3853	4053
75	76	75 ¹ / ₄									
			16	H36	26		2064	2864	3464	3864	

ACTUAL WINDOW HEIGHT

MASONRY OPENING*

WOOD FRAME OPENING



Brittany
6-lite
(standard)



Brittany
9-lite
(custom)



















































**Note: Openings calculated using 1/8" shim space (maximum 1/4" allowed), 1x bucks and pre-cast sills. If using poured sills add 3/4". Framing dimensions are calculated with drywall butted.*

DESIGN PRESSURE GUIDE

STYLE	TESTED PRESSURE	WATER-TESTED PRESSURE	TESTED SIZE	TYPE OF TEST
Single Hung	+60/-70 psf	9.0 psf	52 ¹ / ₈ " x 75"	AAMA/NWWDA 101/I.S.2-97 and ASTM E1886/E1996

SIZE CHART & STANDARD COLONIAL CONFIGURATIONS

NOMINAL (CONTINUED)

ACTUAL WINDOW WIDTH		17 1/2	19 1/2	23 1/2	27 1/2	29 1/2	31 1/2	35 1/2	39 1/2	43 1/2	47 1/2
WOOD FRAME OPENING		17 3/4	19 3/4	23 3/4	27 3/4	29 3/4	31 3/4	35 3/4	39 3/4	43 3/4	47 3/4
59 1/2	59 3/4	 1650	 1850	 2050	 2450	 2650	 2850	 3050	 3450	 3850	 4050
61 1/2	61 3/4	 1652	 1852	 2052	 2452	 2652	 2852	 3052	 3452	 3852	 4052
65 1/2	65 3/4	 1656	 1856	 2056	 2456	 2656	 2856	 3056	 3456	 3856	 4056
71 1/2	71 3/4	 1660	 1860	 2060	 2460	 2660	 2860	 3060	 3460	 3860	 4060
73 1/2	73 3/4	 1662	 1862	 2062	 2462	 2662	 2862	 3062	 3462	 3862	 4062

ACTUAL WINDOW HEIGHT

WOOD FRAME OPENING



MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT DIVISION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Stanley Door Systems
7300 Reames Rd.
Charlotte ,NC 28216

Your application for Notice of Acceptance (NOA) of:

"Sta-Tru" W/E 6'8 Out-swing Opaque Res. Ins. Steel Door-Impact w/wo Non-impact Sidelites
under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 01-0928.07
EXPIRES: 11/01/2006

Raul Rodriguez
Chief Product Control Division

**THIS IS THE COVERSHEET. SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL
CONDITIONS
BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

APPROVED: 11/01/2001

Stanley Door Systems

ACCEPTANCE No.: 01-0928.07

APPROVED : November 01, 2001

EXPIRES : November 01, 2006

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

1. SCOPE

1.1 This renews the Notice of Acceptance No. 01-0226.03, which was issued on April 19, 2001 It approves a residential insulated steel door, as described in Section 2 of this Notice of Acceptance, designed to comply with the South Florida Building Code (SFBC), 1994 Edition for Miami-Dade County, for the locations where the pressure requirements, as determined by SFBC Chapter 23, do not exceed the Design Pressure Rating values indicated in the approved drawings.

2. PRODUCT DESCRIPTION

2.1 The Series "Sta-Tru" W/E 6' 8" Outswing Opaque Residential Insulated Steel Door w / wo Sidelites - Large Missile Impact Resistant Doors / Non -Impact Resistant Sidelites and its components shall be constructed in strict compliance with the following documents: Drawing No. 39639 titled "Stanley Outswing Opaque 11-4 x 6-8 Woodedge Door-W/ & W/O Sidelites" Sheets 1 thru 7 of 7, dated 6/5/00 and last revised on 03/10/01, prepared by R.W Building Consultants, Inc., bearing the Miami-Dade County Product Control approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division. These documents shall hereinafter be referred to as the approved drawings.

3. LIMITATIONS

3.1 This approval applies to single unit applications of pair of doors and single door with or without sidelites, as shown in approved drawings. Single door units shall include all components described in the active leaf of this approval.

4. INSTALLATION

4.1 The residential insulated steel door and its components shall be installed in strict compliance with the approved drawings.

4.2 Hurricane protection system (shutters):

4.2.1 Door: the installation of this unit will not require a hurricane protection system.

4.2.2 Sidelite: the installation of this unit will require a hurricane protection system.

5. LABELING

5.1 Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved".

6. BUILDING PERMIT REQUIREMENTS

6.1 Application for building permit shall be accompanied by copies of the following:

6.1.1 This Notice of Acceptance

6.1.2 Duplicate copies of the approved drawings, as identified in Section 2 of this Notice of Acceptance, clearly marked to show the components selected for the proposed installation.

6.1.3 Any other documents required by the Building Official or the South Florida Building Code (SFBC) in order to properly evaluate the installation of this system.

Ishaq I. Chanda
Ishaq I. Chanda, P.E. Product Control Examiner
Product Control Division

Stanley Door Systems

ACCEPTANCE No.: 01-0928.07

APPROVED : November 01, 2001

EXPIRES : November 01, 2006

NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
 - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
 - b) The product is no longer the same product (identical) as the one originally approved;
 - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
 - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
 - a) Unsatisfactory performance of this product or process.
 - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purpose.
6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engineer need not reseal the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Notice of Acceptance consists of pages 1, 2 and this last page 3.

Ishaq I. Chanda
Ishaq I. Chanda, P.E. Product Control Examiner
Product Control Division

END OF THIS ACCEPTANCE

STANLEY DOOR SYSTEMS

8A-TRU OUTSWING 8-8 OPAQUE STEEL DOOR
W/AND W/OUT SIDELITES IN A WOOD FRAME

GENERAL NOTES

1. THIS PRODUCT IS DESIGNED TO MEET THE SOUTH FLORIDA BUILDING CODE 1994 EDITION FOR MIAMI-DADE COUNTY.
2. WOOD BUCKS BY OTHERS, MUST BE ANCHORED PROPERLY TO TRANSFER LOADS TO THE STRUCTURE.
3. PRODUCT ANCHORS SHALL BE AS LISTED AND SPACED AS SHOWN ON DETAILS. ANCHOR EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR STUCCO.
4. MIAMI-DADE APPROVED IMPACT RESISTANT SHUTTERS ARE REQUIRED FOR SIDELITES.
5. DESIGNED PRESSURE RATING SEE TABLES PAGE 1.
6. SIDELITES ARE AN OPTION AND CAN BE IN A SINGLE OR DOUBLE DOOR CONFIGURATION.

RESIDENTIAL INSULATED STEEL DOOR (Common to all frame conditions)

Door Panel & Sidelite Construction:

Face sheets: 24 GA.(0.023") minimum thickness,
Galvanized steel A-525 commercial quality - AKDQ per ASTM
820 with yield strength $F_y(\text{min.})=24,000$ psi (flush panels)
with yield strength $F_y(\text{min.})=40,000$ psi (embossed panels)
Core design: Polyurethane foam core,
with 1.7 lbs. density by BASF.

Door Panel Construction: Flush or embossed type. The vertical
edges of the skin are flush and glued to the top and
bottom finger jointed pine stiles.
The horizontal edges of the panel skin are roll formed over
the finger jointed hinge stile and LVL latch stile to
form a mechanical lock.

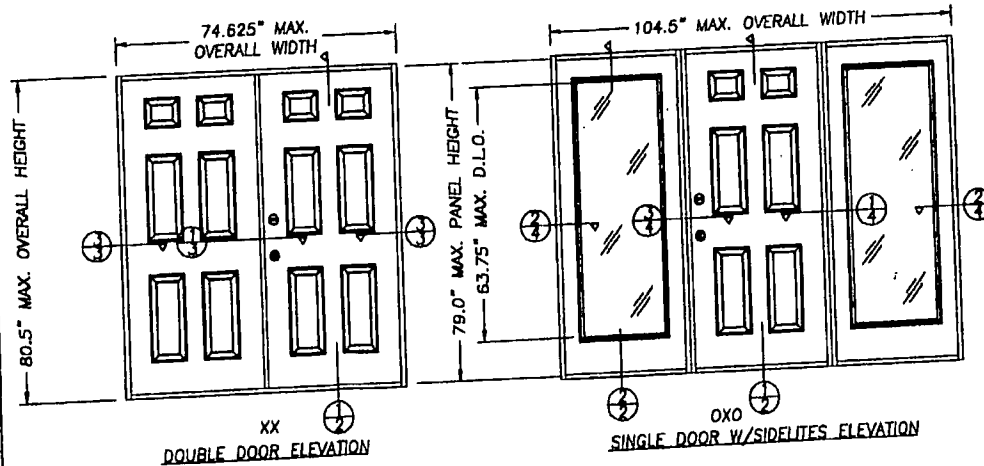
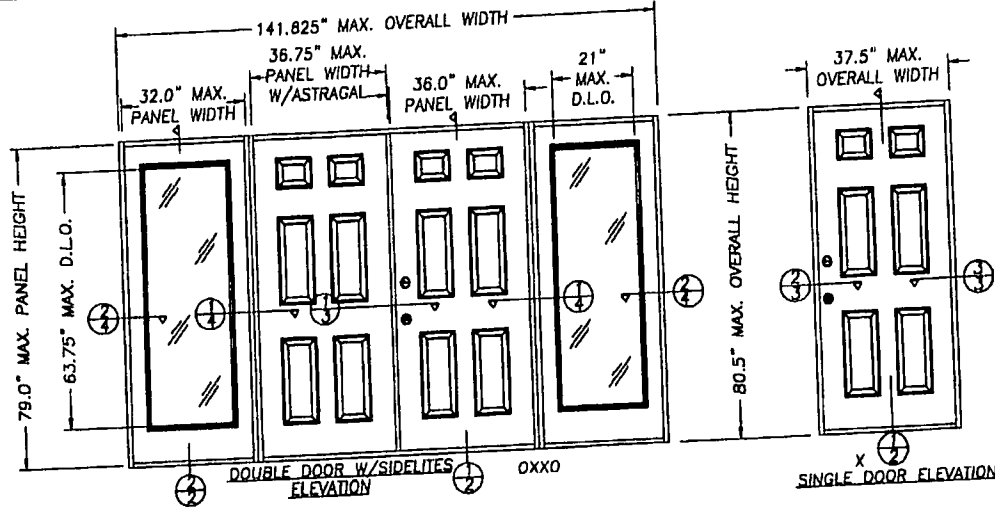
Sidelite Panel Construction: The vertical edges of the skin
are flush and glued to the top and bottom finger jointed
pine stiles. The horizontal edges of the panel skin are
roll formed over the finger jointed side stiles to form a
mechanical lock. Panels are sandwich glazed using a two
piece plastic lite frame with mitered & welded corners.

TABLE OF CONTENTS

SHEET #	DESCRIPTION
1	COMMON (GENERAL NOTES, TYPICAL ELEVATION)
2	VERTICAL CROSS SECTIONS & BILL OF MATERIALS
3	HORIZONTAL CROSS SECTIONS
4	HORIZONTAL CROSS SECTIONS
5	ANCHORING LOCATIONS & DETAILS
6	ANCHORING LOCATIONS, DOOR MODELS & GLAZING DETAIL
7	FRAME COMPONENTS

DESIGN PRESSURE RATING

UNIT TYPE	WHERE WATER INFILTRATION REQUIREMENT IS NEEDED	
SINGLE	+55.0	-60.0 PSF
SINGLE W/SIDELITES	+50.0	-50.0 PSF
DOUBLE	+50.0 -44.0 PSF W/IMPERIAL AST.	+55.0 -60.0 PSF W/WINDJAMBER II AST.
DOUBLE W/SIDELITES	+50.0 -44.0 PSF W/IMPERIAL AST.	+50.0 -50.0 PSF W/WINDJAMBER II AST.



STANLEY

STANLEY DOOR SYSTEMS
7300 REAMES ROAD
CHARLOTTE, NC 28216
PH. (704) 921-3470

PRODUCT: OUTSWING OPAQUE
STANLEY 11-4 x 6-8 WOODEDGE
DOOR W/A W/O SIDELITES
PART OR ASSEMBLY:
ELEVATIONS AND
GENERAL NOTES

NO.	DATE	REVISIONS
3	3/10/01	CORRECT B.O.M
2	1/12/01	ADD ASA MATERIAL
1	12/20/00	GENERAL

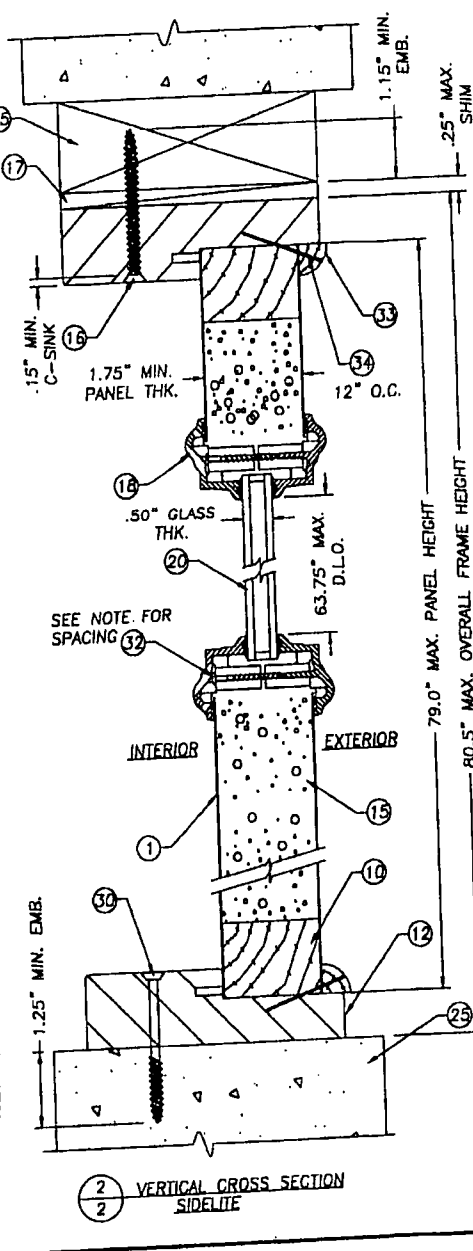
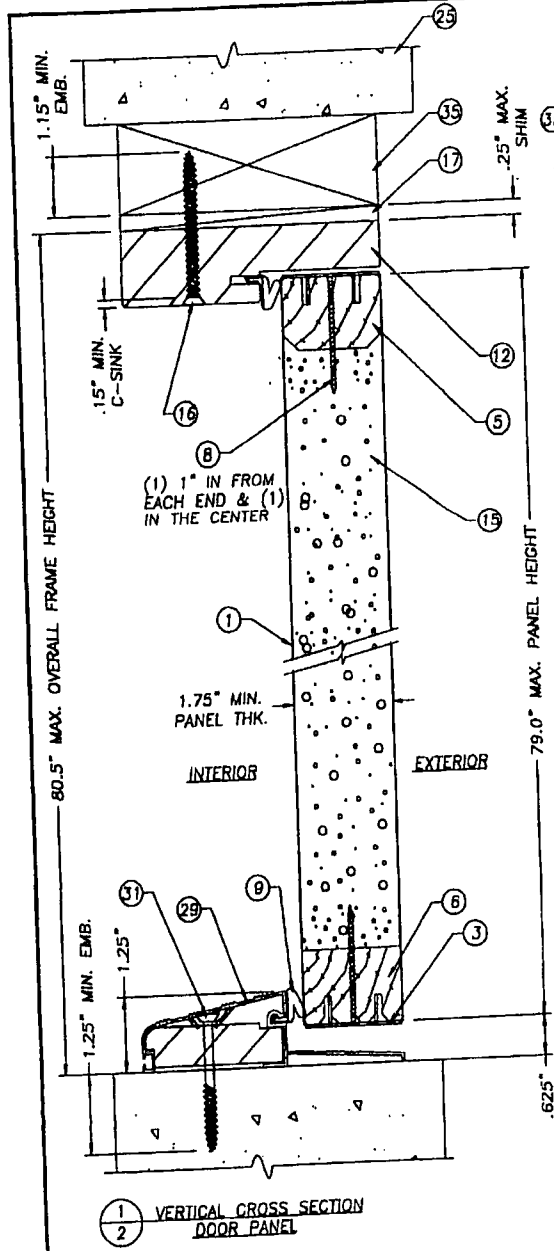
RW BUILDING
CONSULTANTS, INC.
813.684.3831

DATE	6/5/00
SCALE	N.T.S.
DRG. BY:	TJH
CHEK BY:	RW
PRODUCT CONTROL DIVISION	
BUILDING CODE COMPLIANCE OFFICE	
ACCEPTANCE NO. 01-0226-03	
DRAWING NO.:	38638
SHEET	1 of 7

ALL DOOR MODELS ARE VIEWED
FROM THE INTERIOR SIDE
(OUTSWING DOORS)

PRODUCT RENEWED
ACCEPTANCE NO. 01-0928-07
EXPIRATION DATE NOVEMBER 01, 2008
By: Islag I. Chando
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE APRIL 19, 2004
BY: *Manuel Diaz*
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 01-0226-03



ITEM	DESCRIPTION	MATERIAL
1	DOORSKIN (.023" MIN. STEEL)	STEEL
2	1.68" x 4.0" LATCH STILE	LVL
3	DOOR PANEL TOP & BOTTOM REIN. (.040" THK.)	STEEL
4	1.68"x1.22" HINGE STILE (PONDEROSA PINE)	PINE
5	1.68"x1.22" TOP RAIL (PONDEROSA PINE)	PINE
6	1.68"x1.00" BOTTOM RAIL (PONDEROSA PINE)	PINE
7	HINGES 4" x 4" X .088 WT. (STANLEY)	STEEL
8	#6 x 2" PHILLIPS FLAT HEAD SCREW	STEEL
9	COMPRESSION WEATHERSTRIP (SCHLEGAL QDS 650)	FOAM
10	SIDELITE TOP & BOTTOM RAIL (PONDEROSA PINE)	PINE
11	SIDELITE BLANK JAMB (PONDEROSA PINE)	PINE
12	HEAD JAMB (PONDEROSA PINE)	PINE
13	HINGE JAMB (PONDEROSA PINE)	PINE
14	LATCH JAMB (PONDEROSA PINE)	PINE
15	POLYURETHANE FOAM CORE (BASF) TYPE A. INFINITY: RESIN (P14120R) ISOCYANATE (P1001), CYCLOPENTANE. TYPE B. RETRO: RESIN (P12430R), ISOCYANATE (P1036).	STEEL
16	#8 x 2 1/2" PFH WS	STEEL
17	1/4" SHIM MATERIAL	-
18	LITE FRAME (ODL Spartech Polycam PP5530 C13)	POLYPROP. ASA
19	LITE FRAME (Trinity GE ASA Polycarbonate) (SEE GLAZING DETAILS SHEET 6 OF 7)	SILICONE
20	GLAZING COMPOUND SILICONE CALULK (GE WINDOW & DOOR)	-
21	GLASS - 1/2" AND 1" INSULATED (SEE GLAZING DETAILS SHEET 6 OF 7)	-
22	KWIKSET 660 DEADBOLT	-
23	KWIKSET SERIES 200 DL PASSAGE	STEEL
24	#8 x 2" PFH WOOD SCREW	CONCRETE
25	MASONRY	CONCRETE
26	GLAZING TAPE (VENTURE TAPE .30" W. x .037" THK.)	FOAM
27	#9 x 1.00 F.H. WD SCREWS	STEEL
28	#8 x 2" P. H. WD SCREWS	STEEL
29	BUMP THRESHOLD (WORLD WIDE)	ALUMINUM
30	3/16" TAPCON (TW) OR 3/16" (ELCO) 2 1/2" LG.	STEEL
31	3/16" TAPCON (TW) OR 3/16" (ELCO) 2 1/4" LG.	STEEL
32	#8-1 1/4" TEK SCREW (LITE FRAME SCREW)	STEEL
33	GLAZING STOP QUARTER ROUND (1/2" x 1/2")	PINE
34	BRAD TRIM NAIL 2" LG.	STEEL
35	2X BUCK	WOOD
36	OPTIONAL EXTRUDED ALUMINUM ASTRAGAL (IMPERIAL)	ALUM.
37	1.68"x1.22" BLANK STILE (PONDEROSA PINE)	PINE
38	ASTRAGAL EXTRUDED ALUM. (WR88S NUMBER 1)	ALUM.

NOTE: SPACING FOR ITEM #32: TOP & BOTTOM (1) 3 1/2" IN FROM CORNERS & (1) IN THE CENTER. SIDES: (8) SCREWS 3 1/4", 13 3/4", 26 1/2", 39 3/8", 52" & 62 5/8".

PRODUCT RENEWED
ACCEPTANCE NO. 01-0928-07
EXPIRATION DATE: Nov 1, 2006
By: Isela J. Claudio
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE
DATE: APRIL 19, 2001
By: Mauro J. [Signature]
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 01-0226-03

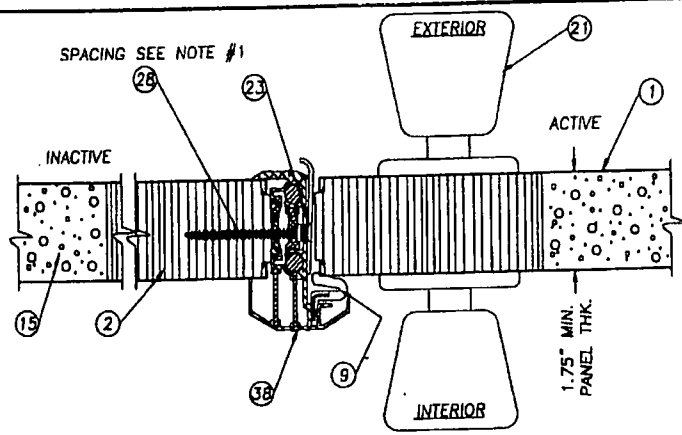
DATE: 6/5/00
SCALE: 1/2"=1"
DWG. BY: TJH
CHK. BY: RW
DRAWING NO.: 39639
SHEET 2 OF 7

STANLEY
STANLEY DOOR SYSTEMS
7300 REAMES ROAD
CHARLOTTE, NC 28216
PH. (704) 921-3470

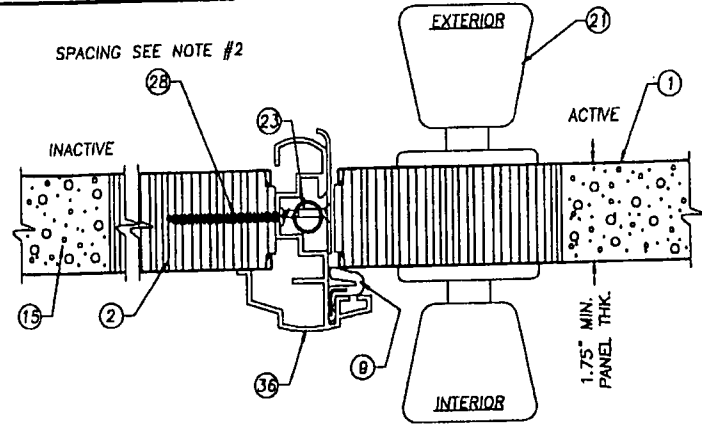
PRODUCT: STANLEY OUTSWING OPAQUE 1 1/4" x 6-8" WOODEDGE DOOR W/ 6" W/O SIDELITES
PART OR ASSEMBLY: VERTICAL CROSS SECTIONS & BILL OF MATERIALS

RW	BY	DATE	REVISIONS
3	3/10/01	CORRECT B.O.M.	
2	1/12/01	ADD ASA MATERIAL	
1	12/20/00	GENERAL	

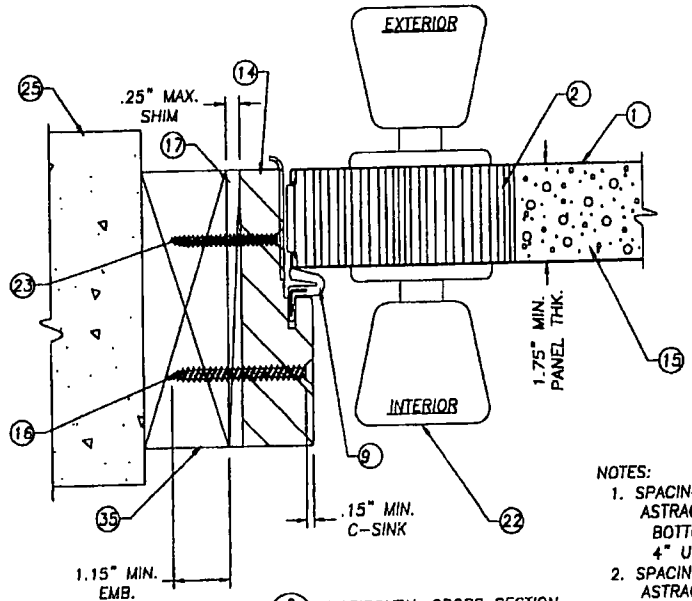
RW BUILDING CONSULTANTS, INC.
813.684.3831



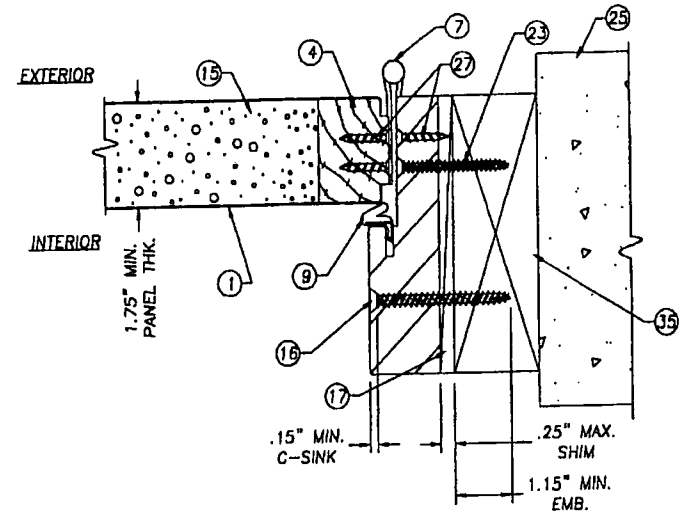
1 HORIZONTAL CROSS SECTION
3 AT ASTRAGAL TYP. (W/ITEM #38 WR68S)



1 OPTIONAL HORIZONTAL CROSS SECTION
3 AT ASTRAGAL TYP. (W/ITEM #36 IMPERIAL)



2 HORIZONTAL CROSS SECTION
3 AT LATCH JAMB TO BUCK TYP.



3 HORIZONTAL CROSS SECTION
3 AT HINGE JAMB TO BUCK TYP.

- NOTES:
1. SPACING FOR ITEM #28 ON THE WR68S ASTRAGAL IS AS FOLLOWS: TOP DOWN & BOTTOM UP; 1", 3", 5", 26", & (1) 4" UP FROM THE STRIKE.
 2. SPACING FOR ITEM #28 ON THE IMPERIAL ASTRAGAL IS AS FOLLOWS: TOP DOWN & BOTTOM UP; 1", 2 1/2", 4", 5 1/2", 13", 18" & 26".

PRODUCT RENEWED
 ACCEPTANCE NO. 01-0928-07
 EXPIRATION DATE NOV 1, 2006
 By Ushay I. Chandra
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE
 DATE APR 19, 2007
 BY Maunick
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 01-0726-03

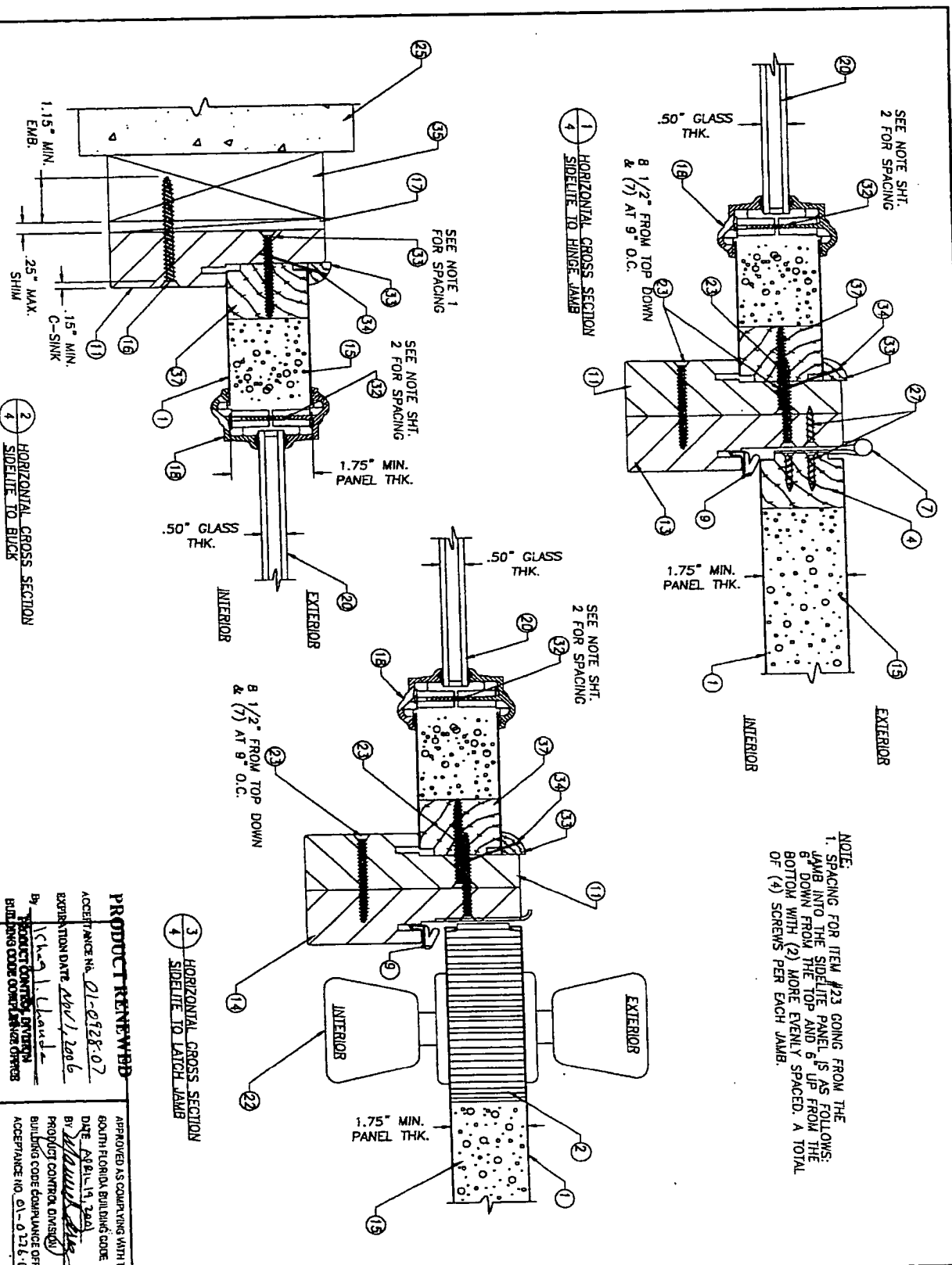
STANLEY
 STANLEY DOOR SYSTEMS
 7300 REAMES ROAD
 CHARLOTTE, NC 28216
 PH. (704) 921-3470

PRODUCT: STANLEY OUTSWING OPAQUE 11-4 x 6-8 WOODEDGE DOOR W/ & W/O SIDELITES PART OR ASSEMBLY

NO.	DATE	REVISIONS	BY
3	3/10/01	CORRECT B.O.M.	RW
2	1/7/01	ADD ASA MATERIAL	RW
1	1/12/00	GENERAL	RW

RW BUILDING CONSULTANTS, INC.
 813.884.3831

DATE: 6/5/00
 SCALE: 1/2" = 1"
 DWD. BY: TJH
 CHK. BY: RW
 DRAWING NO.: 39639
 SHEET 3 OF 7



NOTE:
 1. SPACING FOR ITEM #23 GOING FROM THE JAMB INTO THE SIDELITE PANEL IS AS FOLLOWS: 8" DOWN FROM THE TOP AND 6" FROM THE BOTTOM WITH (2) MORE EVENLY SPACED. A TOTAL OF (4) SCREWS PER EACH JAMB.

PRODUCT REVIEWED
 ACCEPTANCE NO. 01-0128-07
 EXPIRATION DATE Nov 1, 2006
 By: [Signature]
 PROJECT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE

APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE APR 19, 2004
 BY: [Signature]
 PROJECT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 01-0128-07

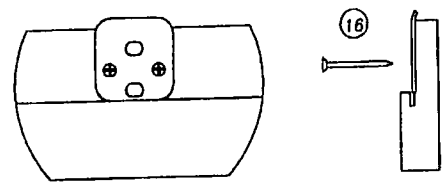
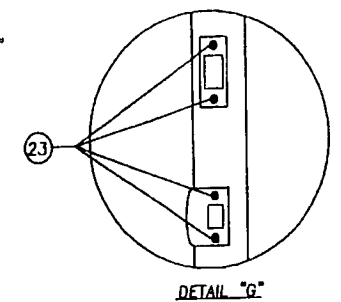
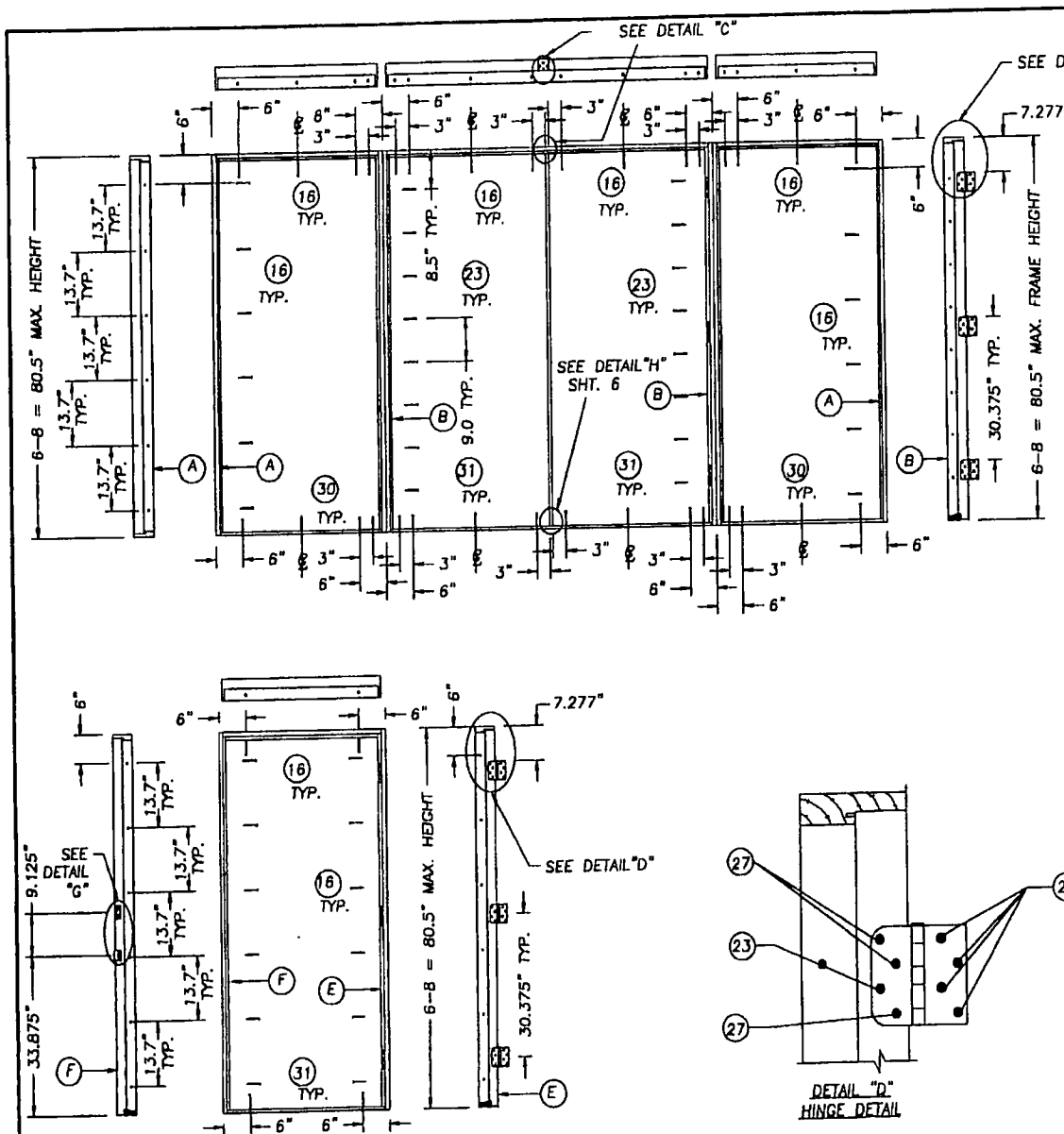
DATE: 6/5/00
 SCALE: 1/2" = 1"
 Dwg. No. 13H
 CDR. BY: RW
 DRAWING NO. 39639
 SHEET 4 OF 7

PAW BUILDING CONSULTANTS, INC.
 813.684.3831

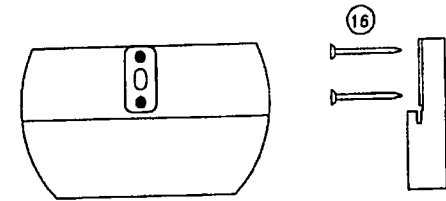
NO.	DATE	REVISIONS	BY
3	3/10/01	CORRECT B.O.M.	RW
2	1/12/01	ADD ASA MATERIAL	RW
1	12/20/00	GENERAL	RW

PRODUCT:
 STANLEY OUTSWING OPAQUE
 11-4 x 6-8 WOODEDGE
 DOOR W/& W/O SIDELITES
 PART OR ASSEMBLY:
 HORIZONTAL
 CROSS SECTIONS

STANLEY
 STANLEY DOOR SYSTEMS
 7300 REAMES ROAD
 CHARLOTTE, NC 28216
 PH. (704) 921-3470

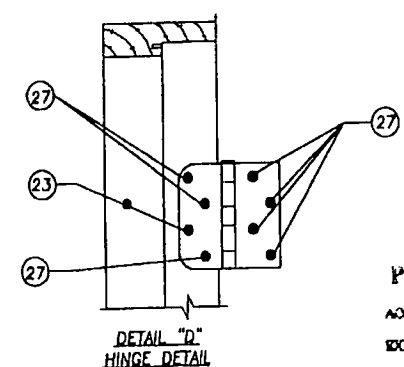


DETAIL "C"
ATTACH WR68S ASTRAGAL THROW BOLT STRIKE PLATE TO FRAME AS SHOWN.



DETAIL "C"
ATTACH IMPERIAL ASTRAGAL THROW BOLT STRIKE PLATE TO FRAME AS SHOWN.

DOOR PANELS NOT SHOWN FOR CLARITY OF ANCHORING LOCATIONS



STANLEY
STANLEY DOOR SYSTEMS
7300 REAMES ROAD
CHARLOTTE, NC 28216
PH. (704) 921-3470

PRODUCT:
STANLEY OUTSWING OPAQUE
11-4, 6-8 WOODEDGE
DOOR W/ & W/O SIDELITES
PART OR ASSEMBLY:
ANCHORING LAYOUTS
& DETAILS

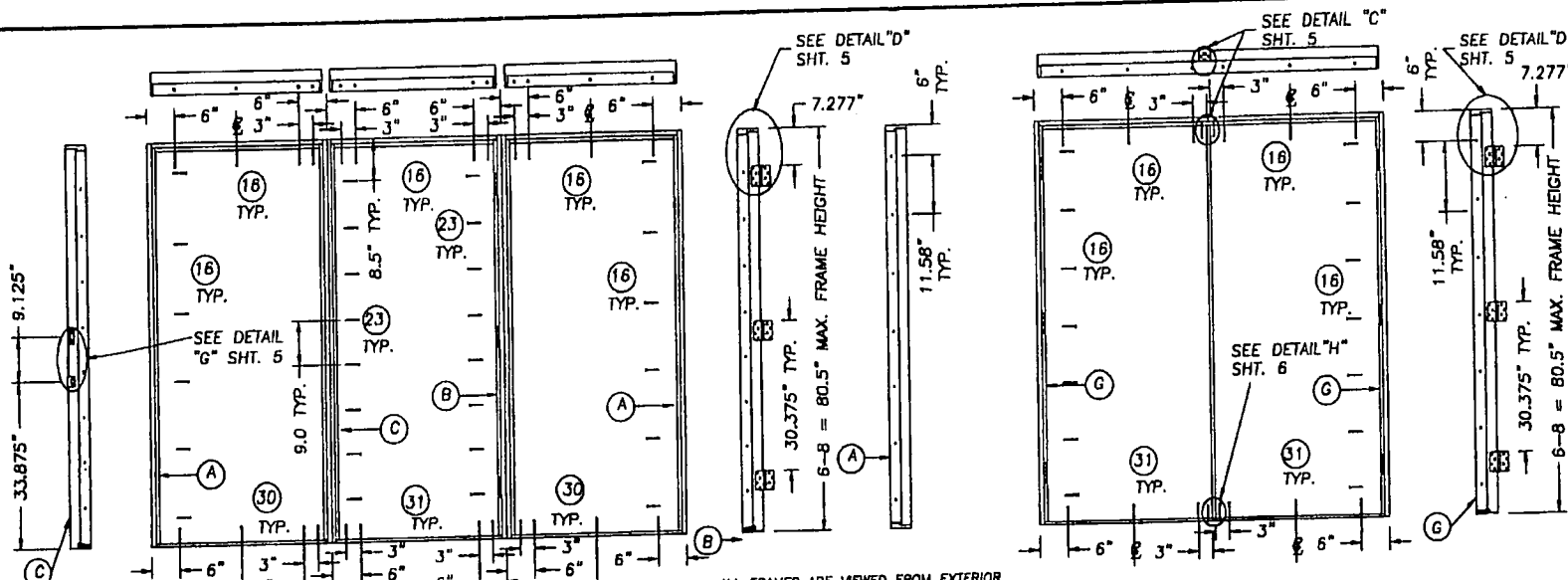
NO	DATE	REVISIONS	BY
3	3/10/01	CORRECT B.O.M.	RW
2	1/12/01	ADD ASA MATERIAL	RW
1	12/20/00	GENERAL	RW

RW BUILDING CONSULTANTS, INC.
813.684.3831

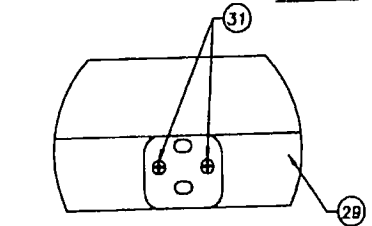
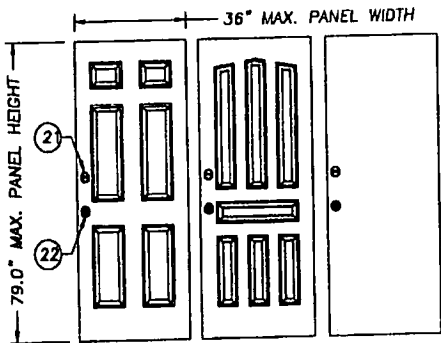
PRODUCT REVIEWED
ACCEPTANCE NO. 01-0928-07
EXPIRATION DATE Nov 1, 2006
By: Shrey I. Chandra
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE APRIL 19, 2007
BY: Maurice [Signature]
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 01-0224-03

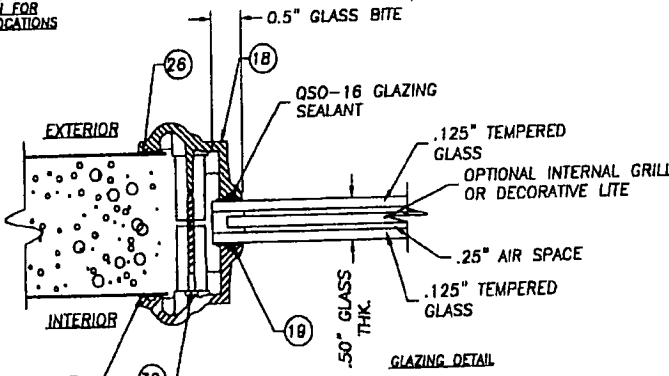
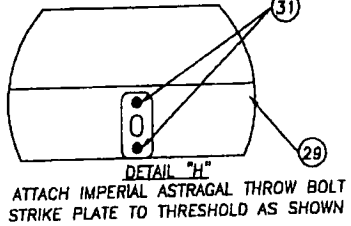
DATE: 6/5/00
SCALE: N.T.S.
DWG. BY: TJH
CHK. BY: RW
DRAWING NO.: 39639
SHEET 5 OF 7



ALL FRAMES ARE VIEWED FROM EXTERIOR
 DOOR PANELS NOT SHOWN FOR
 CLARITY OF ANCHORING LOCATIONS



NOTE: ANCHORING
 ASTRAGAL STRIKE PLATE SCREWS
 AT THE HEADER & THRESHOLD
 MUST BE USED TO ACHIEVE
 FULL ANCHORING LOAD.



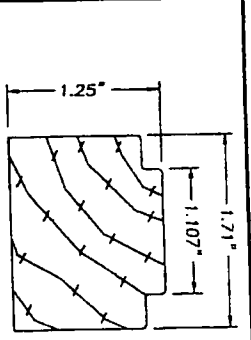
NOTE: GLASS LITE FRAME SURROUNDS
 ODL Spartech Polycom PP5530 C13
 Trinity GE ASA Polycarbonate

PRODUCT REVIEWED
 ACCEPTANCE NO. 01-0928-07
 EXPIRATION DATE Nov 1, 2006
 By: Ishaq I. Lhanda
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE

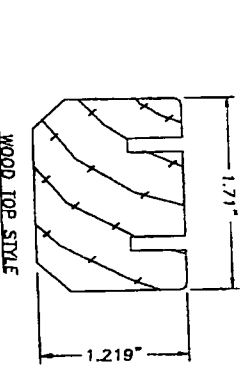
APPROVED AS COMPLYING WITH
 SOUTH FLORIDA BUILDING CODE
 DATE April 13, 2004
 BY: W. Marshall
 PRECAST CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 01-0276-02

STANLEY STANLEY DOOR SYSTEMS 7300 REAMES ROAD CHARLOTTE, NC 28216 PH. (704) 921-3470	
PRODUCT: STANLEY OUTSWING OPAQUE 11-4 x 6-8 WOODEDGE DOOR W/ & W/O SIDELITES PART OR ASSEMBLY: ANCHORING LAYOUTS, DOOR MODELS & GLAZING DETAIL	REMISIONS NO. DATE 1 12/20/00 2 1/12/01 3 3/10/01
CORRECT B.O.M. ADD ASA MATERIAL GENERAL	BY BT
RW BUILDING CONSULTANTS, INC. 813.884.3831	
DATE: 6/5/00 SCALE: N.T.S. DWG. BY: TJH CHK. BY: RW DRAWING NO.: 38639 SHEET 6 OF 7	

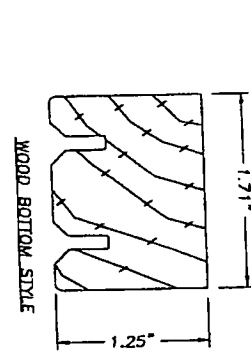
OPAQUE DOOR MODELS



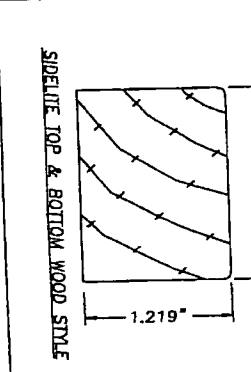
WOOD HINGE & BLANK SIDE STYLE



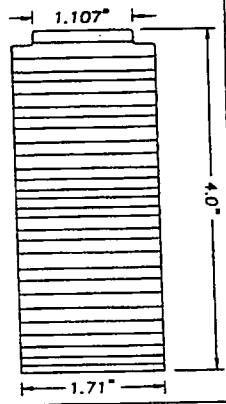
WOOD TOP STYLE



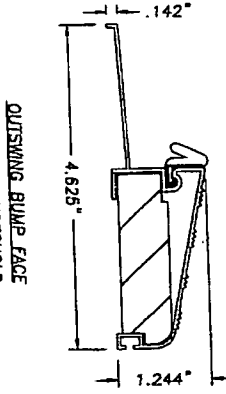
WOOD BOTTOM STYLE



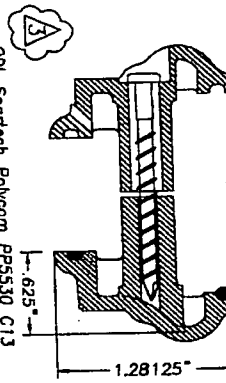
SIDEITE TOP & BOTTOM WOOD STYLE



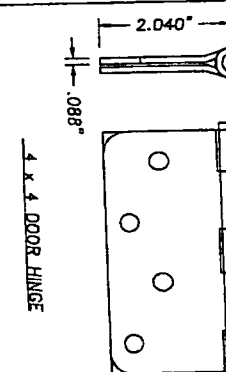
LM LATCH STYLE



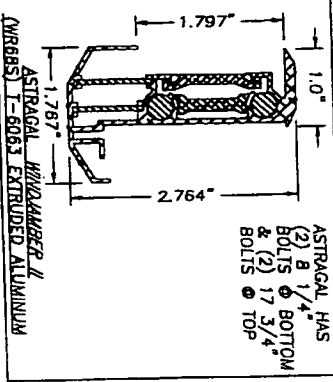
OUTSWING BUMPS FACE ALUMINUM THRESHOLD .045\"/>



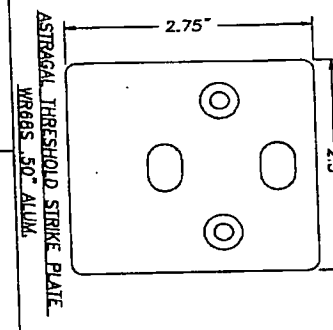
ODL Spantech Polycarb PPS330 C13 Trihity GE ASA Polycarbonate Life Frame



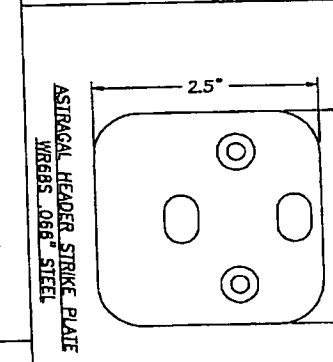
4 x 4 DOOR HINGE



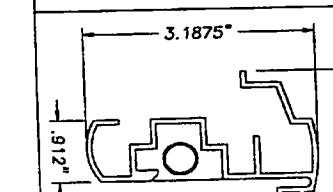
ASTRAGAL HAS (2) 8 1/4\"/>



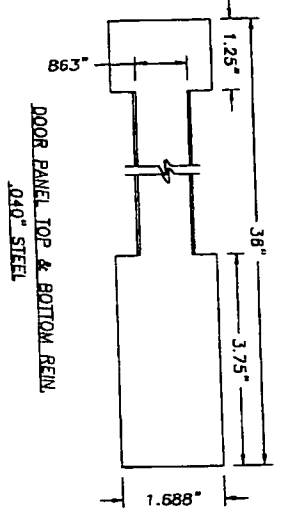
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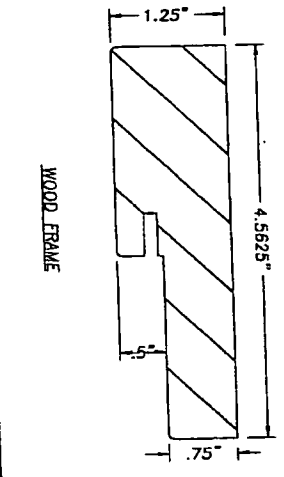
ASTRAGAL HEADER STRIKE PLATE W/REBS .08\"/>



OPTIONAL ASTRAGAL (LINEAR) .075\"/>



DOOR PANEL TOP & BOTTOM REIN .040\"/>



WOOD FRAME

PRODUCT RENEWED
ACCEPTANCE NO. 01-0526-07
EXPIRATION DATE AUGUST 01, 2006
By: *Charles J. Cleveland*
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE DATE APRIL 19, 2001
BY: *William J. Stiles*
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 01-0216-03

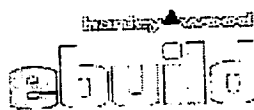
DATE: 6/5/00
SCALE: N.T.S.
DWG. NO.: T/H
CHK. NO.: RW
ISSUED NO.: 39639
SHEET: 2 OF 2

RSI BUILDING CONSULTANTS, INC.
813.884.3831

NO.	DATE	REVISIONS	BY
3	3/10/01	CORRECT B.O.M.	RW
2	1/12/01	ADD ASA MATERIAL	RW
1	12/20/00	GENERAL	RW

PRODUCT: STANLEY OUTSWING OPAQUE 11-14 x 6-8 WOODEDGE DOOR W/ & W/O SIDEITES
PART OR ASSEMBLY: FRAME COMPONENTS

STANLEY
STANLEY DOOR SYSTEMS
7300 REAMES ROAD
CHARLOTTE, NC 28216
PH. (704) 921-3470



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Sta-Tru® Plus

Size Type

No Preference

Stock

Nominal Height

No Preference

80 in.

82 in.

Nominal Width

No Preference

39 in.

Exterior Color/Finish

No Preference

White

Primed

Texture

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Smooth

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Stanley Door Systems

ebuild Ref. No. TK01-3284

Sta-Tru® Plus 6-panel Steel Entry Door--32 in. x 84 in.

List Price: [Contact Distributor retail price information](#)

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Photo may show features different from actual specs for the ebuild Ref. No. listed below.

Product Specifications

ITEM LAST UPDATED MARCH 06, 2002

Manufacturer Model No.	TK01
Unit Height	86 in.
Unit Width	34 1/4 in.
Exterior Color/Finish Options	Primed, Bright White
Interior Face Material	Steel
Panel Style	Raised panel
Top Profile	Square
No. of Decorative Panels	6
No. of Lites	0
No. of Sidelites	0
Installation Type	Pre-hung

[RETURN TO TOP](#)

Additional Product Information

No Preference
Flush panel
Raised panel

Top Profile

No Preference
Square

No. of Decorative Panels

No Preference
0
6

No. of Lites

No Preference
0

Lite Configuration

No Preference

Lite Shape

No Preference

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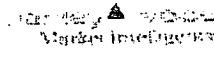
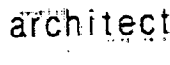
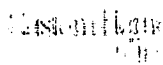
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Wayne Dalton

**WAYNE-DALTON DOOR SYSTEMS
DS75/DS100 WINDLOAD RATED DOOR**

TESTED BY HURRICANE ENGINEERING & TESTING INC. SEE TEST REPORTS
 UNIFORM STATIC AIR PRESSURE TEST: #HETI-01-1115 AND #HETI-01-1117
 LARGE MISSILE IMPACT TEST: #HETI-01-1114 AND #HETI-01-1118
 TENSILE TEST: #HETI-01-T111 AND #HETI-01-T112

MAXIMUM DOOR WIDTH	POSITIVE DESIGN PRESSURE	NEGATIVE DESIGN PRESSURE	EQUIVALENT DESIGN WIND SPEED			
			INTERIOR MOUNT		EXTERIOR MOUNT	
			EXP. B	EXP. C	EXP. B	EXP. C
10'-0"	30PSF	34PSF	140MPH	130MPH	N/A	N/A

*IF MEAN ROOF HEIGHT EXCEEDS 18'-0", THEN 120MPH

289633

Wayne Dalton

**WAYNE-DALTON DOOR SYSTEMS
DS-350 WINDLOAD RATED DOOR**

TESTED TO ASTM E 330 BY ARCHITECTURAL TESTING INC.
 FLORIDA APPROVAL #FL1421, & #FL1672 PER WWW.FLORIDABUILDING.ORG

MAXIMUM WIDTH	PANEL PROFILE	DESIGN PRESSURE	EQUIV. BASIC WIND SPEED	
			EXP. B	EXP. C
10'-0"	ROUND	±37PSF	150MPH	130MPH
16'-0"		±28PSF	130MPH	110MPH
10'-0"	SQUARE	±44PSF	150MPH	140MPH
12'-0"		±40PSF		130MPH
16'-0"		±34PSF		



PRESS./SPEED CONVERSIONS PER FLORIDA BLDG. CODE TBL. 1608.2E

289632

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 8-3, 2007 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8405	Ayers	Dock + boathouse	PASS	
3	15 S River Rd Custom Built Marine			INSPECTOR: <i>[Signature]</i>
8676	Hill	Final-generator	PASS	CLOSE
5	48 N. River Rd Wire Elect			INSPECTOR: <i>[Signature]</i>
8563	Kelso	Final-turse	PASS	CLOSE
1	18 Rio Vista Sanco			INSPECTOR: <i>[Signature]</i>
7345	(old permit)	FROM FEB 2005	PASS	CLOSE
1	18 Rio Vista	Roof final		INSPECTOR: <i>[Signature]</i>
8589	Hardin	main house wall steel	PASS	
2	27 S River Rd Shaticon			INSPECTOR: <i>[Signature]</i>
0088	foole	Roof final	PASS	
4	94 N Sewalls Walter White			INSPECTOR: <i>[Signature]</i>
8673	Jones	Final fence	PASS	CLOSE
6	2 Fieldway o/B			INSPECTOR: <i>[Signature]</i>
OTHER:	FRAMING		FAIL	
1A	MANUAL MASTERS			<i>[Signature]</i>

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed ~~Thurs~~ 9-6, 2007 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8700	Quinn 985 Sewall Pt Alum Concepts	final-fence	PASS	CLOSE INSPECTOR: <i>ON</i>
8701	Leplitz 25 N River Terrell Gas	tank-ug	PASS	INSPECTOR: <i>ON</i>
8655	MUSCATELLO 1 NORTH AVE. O/B.	Plb. & Elec. ROUGH. OFF RINCEMAN	PASS	INSPECTOR: <i>ON</i>
8405	Oyers 15 S River Rd Custom Bld	final- electrical	PASS	CLOSE INSPECTOR: <i>ON</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT, FLORIDA

Date 03/21/00 TO TREE REMOVAL PERMIT No 0305

APPLIED FOR BY F.M. AYRES (Contractor or Owner)

Owner 15 S. RIVER RD

Sub-division _____, Lot _____, Block _____

Kind of Trees COCONUT PALM

No. Of Trees: REMOVE 3

DEAD (NO REPLACEMENT REQUIRED)

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS SEE APPL. FOR LOCATION

FILED INSP 3/10/02

Signed, [Signature] Applicant 3/21/00

Signed, [Signature] Town Clerk PLUG OVER

FEES 50

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M.—NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

PROJECT DESCRIPTION _____

REMARKS _____

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

REMOVED
3/16/00

FILED
WSP
3/8

RECEIVED
MAR - 7 2000
BY: g

Permit # 0305
Date Issued 3/21/00

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner F. M. Ayres Address 15 S. RIVER RD Phone 334-1131

Contractor Artes Tree Serv Address _____ Phone 253-8828

Number of trees to be removed (list kinds of trees) (3) TWO - COCO NUT TREES

JANUIN TALK diseased - dead Number of trees to be relocated within 30 days (no fee) (list kinds of trees): 1 on front house entry @ back by walking

Number of trees to be replaced _____ (list kinds of trees): _____

Permit Fee \$ _____ (\$25.00 - first tree plus \$10.00 - each additional tree - not to exceed \$100.00.)

(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted _____ Plans approved, as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant Thomas Smith Date submitted 3/7/00

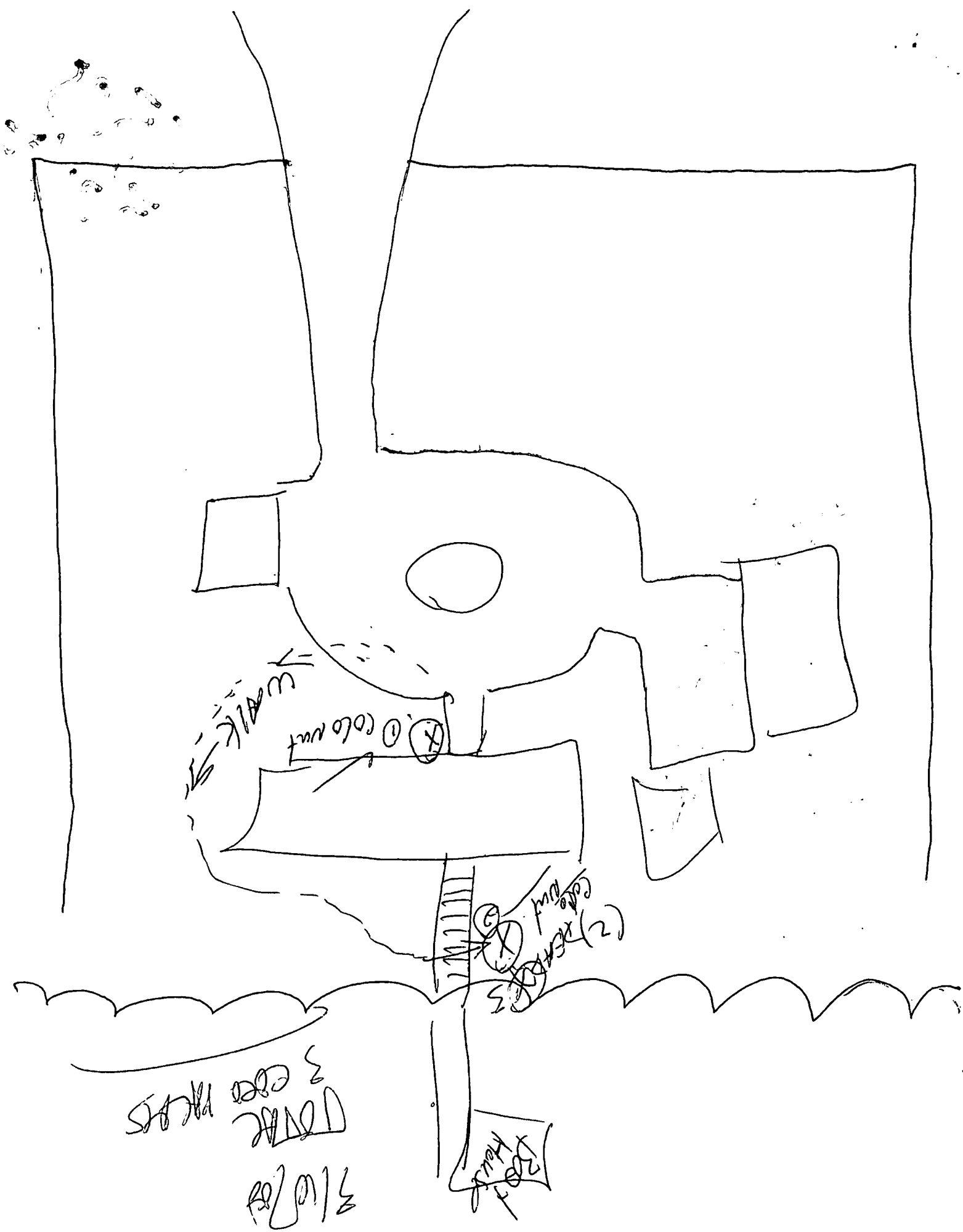
Approved by Building Inspector [Signature] Date 3/10/00

Approved by Building Commissioner _____ Date _____

Completed _____ Date _____ Checked by _____

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT OBTAINING A PERMIT. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?



TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3-8-, 2000; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4748	Dunn	final	Passed	Bill; CALL ME FROM SITE.
⑥	7 Via Lucinda No. TYRELL CONST.	CARPORT ADDN.	B.G.	Give me Survey FOR FD.
4711	Guerard	final	Passed	Enclosure only.
⑧	104 Abbie Crt. ADVANTAGE POOL BLDRS	pool enc.	B.G.	
4823	Benzig	final	Passed	
⑦	137 S. River Rd. EAST COAST SPEC.	pool enc.	B.G.	Screen Boarded.
4857	Conway	temp. 3/19/00	Elec. OK	VERIFY DUMPSTER/WATER/SEW
②	4 Oak Hill Way need water	elec. Dumpster + part	1/4 Test	CONTR. TO DELIVER RCD'D W/D \$ SCHOOL IMPACT FEE RPT/T/R FEE
4717	Zano	stair led stair	Partial	
①	124 W S. Pt Rd	inspect. LATE	B.G.	
4651	Demackarian	Re-inspect	Partial	Pending Revised
③	19 Castle Hill Way	all trades	B.G.	plan for moving p 1st fl. + 2nd fl. Balco + Left.
4628	Hillman!	all trades	Reject	Need Firestops
④	11 Castle Hill Way			through out.

OTHER: T/R APPL. 15 S. RIVER RD. - APRES; no access - dog loop on premises
no one home

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3-10, 2000; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4840	Schuchmann	nailing	Passed	
(5)	4 Fieldway (O/B)	felt (REINSPECTION)	BG	
4757	Franzen	steel		re-scheduled
	34 Rio Vista Dr.	(RET. WALL W/TIE BARS)		for Mon. 3-13
	CUSTOM KUILT MARINE			
4576	Lio	ceiling	Consultation	PERMIT EXPIRED - MUST
(8)	6 Island Pt SCOTT J. HOLMES	power	Walk-thru	RENEW; TEMP. ELECT AGMT. SUBMITTED PRIOR TO INSP.
4527	Seeley	tie beam	Partial	HAVE CONTRACTOR COME TO
(3)	37 Lofting Way GRIBBEN CONST.	S. Patch	BG	OFFICE RE: PERMIT RENEWAL (ORIG. ISSUE 12/21/98)
4808	Hammock	roof final	Passed	
(6)	25 Rio Vista PACIFIC RFG.		BG	
4820	Fraraccio	roof final	Passed	
(7)	36 L. High Point PACIFIC RFG.		BG	
4736	Cicoria	framing	Passed	No plan on Job
(2)	126 N.S.P. Rd. TROPIC MARINE	dock	BG	Normal Deck Need Plan For Final

OTHER: ~~TR PERMIT (REINSP)~~ APRES 15 S. RIVER (TOM SMITH PROP MGR) 343-3250-BEPPER ✓
334-431 2. " " CARELL 17 S. RIDGEVIEW ✓

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT, FLORIDA

FILE

Date 12/6/80 19 80 TREE REMOVAL PERMIT No 0385

APPLIED FOR BY FRED APRES (Contractor or Owner)

Owner 15 RIVER RD (CONTR: MONTE'S TREE SERVICE)

Sub-division _____, Lot _____, Block _____

Kind of Trees JAMAICA PALMS (DISEASED/DEAD)

No. Of Trees: REMOVE 4

No. Of Trees: RELOCATE -0- WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE -0- WITHIN 30 DAYS

REMARKS SEE APPLICATION FOR LOCATION

Fee \$ -0-

Signed, (SIGNATURE ON FILE)
Applicant

Signed, [Signature]
Town Clerk [Signature]

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Empty table with 10 rows and 1 column.

PROJECT DESCRIPTION _____

Empty lines for project description.

REMARKS _____

Empty lines for remarks.

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

SCHED. 10SP. 12/1

12/4 PHL

RECEIVED

NOV 28 2000

Permit #

Date Issued

0385
12/6/00

(UPDATE TO UTILITY
REQUEST FROM SITE)

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner AYRES, FRED Address 15 S. RIVER Rd Phone 288-2833

Contractor MONTE Address _____ Phone _____

Number of trees to be removed (list kinds of trees): 4 (dead) Jamucian Tall Palm Trees

Number of trees to be relocated within 30 days (no fee) (list kinds of trees): N/A

Number of trees to be replaced _____ (list kinds of trees): _____

Permit Fee \$ 15.00 (~~\$25.00~~ first tree plus \$10.00 - each additional tree - not to exceed \$100.00)

(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted _____ Plans approved, as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant Fred Ayres Date submitted 11/28/00

Approved by Building Inspector _____ Date _____

Approved by Building Commissioner _____ Date _____

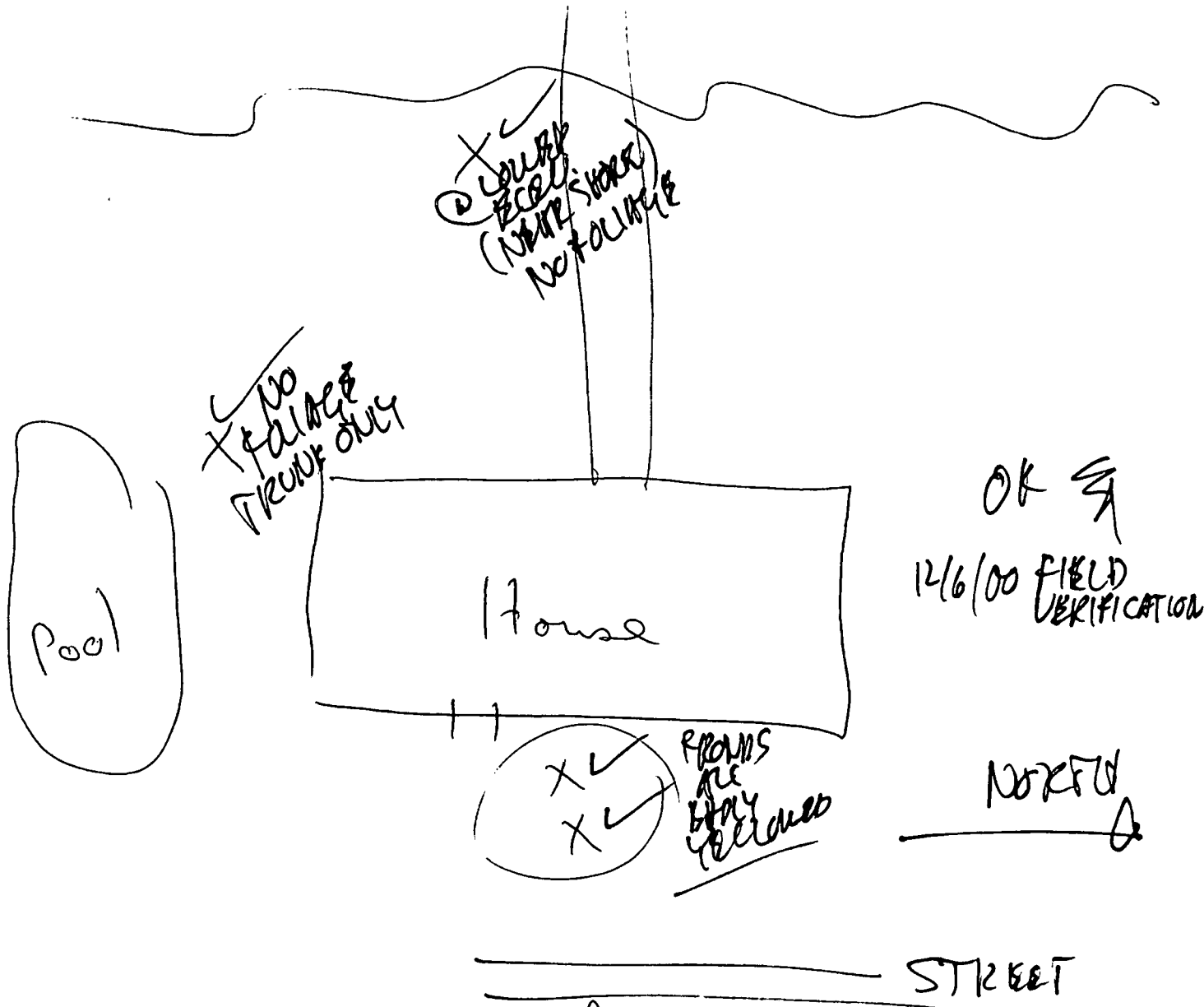
Completed _____ Date _____ Checked by _____

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT ~~OBTAINING A PERMIT~~. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?



189 P 5
MAY 10 1900
RECEIVED FROM...



Two outside front door (W. side)
 One N. ~~W.~~ end of pool deck,
 One S. side of walkway to dock
 near river.

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: ~~Mon~~ Wed Fri ~~2/4~~ _____, 2000; Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S	5100 MCKENZIE ① 1 RIVERVIEW DR. LOUDEN	POOL PATIO / DECK	PASSED ↗	ROLL OVER FROM 12/1
✓ N	5118 OSBORNE/LOYOLA ⑩ 20 CASTLE HILL WAY PLAZA MARINE	DOCK - FINAL	FAILED ↘	ROLL OVER FROM 12/1 - INTERMEDIATE STRINGERS @ PLATFORM EXCEED 30" A (BASED ON 9) BOLT STRINGERS TO LAND AND PU
✓ S	5116 OLNEY ② 91 S. SEWALL'S POINT RD. LOUDEN	POOL DECK	PASSED ↗	"ROLL OVER" FROM 12/1
✓ S	FR APRES ⑦ 15 S. SEWALL'S PT. RD. MONTE'S TREE SERV.	SMOOTH WALLS	PASS ↗	"ROLL OVER" FROM 12/1 UNABLE TO IDENTIFY TREE LOCATIONS
✓ N	4717 129 N. SEWALL'S PT. RD. ⑨ ZARRO BURFORD	DRIVEWAY (FINAL PORTION - LAST YS TO STREET)	PASSED ↗	
✓	4775 CAMPO ⑪ S PRIMA WAY SEAGATE BLDGS.	FINAL	PASSED ↗	- KOP'L DOCUMENTATION REQUIRED FOR C.O. (MTC. 12/5/00)

OTHER: _____

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed ~~12/6/00~~ 12/6/00, 2000; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S	5167 GIBSON ③ 134 S. RIVER RD. A&W RFG.	FINAL (FUT)	Pass ☞	12/6/00
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S	5013 Dennis ⑥ 16 Ridgeland Fla's Finest	beam (SLABS)	FAILED ☞	REV. ENG'G RCD 12/5/00 PTC. 105P. 12/4/00 → PTC. NOT PER ENG'G.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S	5161 Brennan ⑤ 111 H. Sewall Way Hutchins	footing	PASSED ☞	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N	5132 Brent ④ 16 Knowles New Roofing	Roof - Final	Pass ☞	12/6/00
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S	5170 V W Bank Minn. ② 18 Heron's Nest Pacific	tin-top metal	Pass ☞	12/6/00
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S	5168 Schulk ① 8 Palm Road Pacific A&W	dry-in Metal/Tin Top	Pass ☞	12/6/00
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
S	5173 ACRES 288-2833 ⑦ 552122 23 MONTE'S TREE SERVICE	288-2833 (2 ND ATTEMPT)	288-2833 ☞	

OTHER: _____

NOTE: ALL INSPECTIONS BY HELMUT GUDELE UNDER DIRECT SUPERVISION OF BLDG. OFFICIAL. ☞

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

4/20/01 SCHEN. 105P.

RECEIVED
APR 18 2001
BY: [Signature]

Permit # 0430
Date Issued 4/23/01

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner Fred Ayres Address 15 S. River Rd Phone 288-2833

Contractor Monte's Tree Service Address _____ Phone _____

Number of trees to be removed (list kinds of trees) 3 (dead or dying) PALMS
N/A

Number of trees to be relocated within 30 days (no fee) (list kinds of trees):
N/A

Number of trees to be replaced _____ (list kinds of trees):

Permit Fee \$ NO FEE (~~\$25.00~~) first tree plus \$10.00 - each additional tree - not to exceed ~~\$100.00~~ \$15.00

(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted _____ Plans approved, as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant [Signature] Date submitted 04-18-01

Approved by Building Inspector [Signature] Date 4/20/01

Approved by Building Commissioner _____ Date _____

Completed _____ Date _____ Checked by _____

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT ~~OBJECTING PERMITS~~ ^{FEE.} BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?

0530
16/5/14

Pos 1

~~⊗~~
dead

House

X - dead

X
dying

Numerous
PALMS
group

Drive way

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 4/20, 2001; Page 1 of 1.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5113	JAMIESON	EXT. WALL	Passed	
S (3)	132 S. RIVER RD. COMM. CONST.	REPAIR - FINAL		INSPECTOR: <u>[Signature]</u> 4/20 ✓
✓ 4895	SEELY	FINAL - CO	Passed	Late AM 11:00
N (6)	37 NE LOFTING GRIBBEN	OK ELEC. RELEASE		DOC'S REQUIRED TO CLOSE INSPECTOR: <u>[Signature]</u> 4/20 ✓
✓ T/R	AYRES	FIELD VERIFICATION	O.k. to	remove dead/dying trees (3 Palms)
S (5)	155. RIVER RD. MONTE'S TREE SERVICE			INSPECTOR: <u>[Signature]</u> ✓
5204	COOPER	TIE BEAM +	Passed	WILL BE POURING AT 11:30
S (1)	33 W. HIGHPOINT B K MARINE	COLUMNS		INSPECTOR: <u>[Signature]</u> 4/20 ✓
✓ 5294	LEHMAN	ROUGH PLUMB.	Passed	
S (4)	6 RIDGELAND HOWARD BROTH./GRIBBEN			INSPECTOR: <u>[Signature]</u> 4/20 ✓
✓ 5228	FOGLIA	TRUSS ENG.	Passed	
S (2)	102 ABBIE CT.	+ STRAPPING		INSPECTOR: <u>[Signature]</u> 4/20 ✓
✓ 5262	Musso	Tie Beam	Passed	
S (7)	18 S. River Rd. Harry Blue			INSPECTOR: <u>[Signature]</u> 4/20 ✓

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri AUGUST 31, 2001; Page 3 of 3.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5380	GIFFORD	POOL DECK	Passed	Co. for. Fest.
N (16)	85 N. SEWALL'S POINT RD A&G CONCRETE POOLS			Waterfall area only INSPECTOR: J 8/31
✓ 5489	STRACUZZI ⁽²⁸³⁻²⁸¹⁵⁾ (260-1495 con)	U/G PLUMB.	Passed	
S (7)	12 RIO VISTA DR. RUCCOLO			INSPECTOR: J 8/31
✓ 5324	HECKENBERG	MAS. WALL - FINAL	Passed	PN 5405 - ENTRY COL. (STAT?)
N (13)	SLAGOON ISLAND CT. U/B (JAMIE 718-2777)		Passed	INSPECTOR: J 8/31
✓ T/R	TENNY	FIELD VERIF.	Passed	(AMENDED PLAN -) (W/O GUMBO LIMBO)
S (9)	10 S. SEWALL'S POINT RD GORDON'S TREE SERVICE			INSPECTOR: J 8/31
✓ T/R	AYRES	FIELD VERIF.	Passed	
S (8)	15 S. RIVER RD. MONTE'S TREE SERVICE			INSPECTOR: J 8/31
✓ 5482	RAO	IRRIGATION - FINAL	Passed	MPN 5192
N (15)	30 CASTLE HILL WAY FRITZ IRRIGATION			INSPECTOR: J 8/31
✓ 5521	FOGLIA	IRRIGATION - FINAL	Passed	MPN 5228
S (12)	102 ABBIE COURT FOGLIA CONTRACTING			INSPECTOR: J 8/31

OTHER: _____

TOWN OF SEWALL'S POINT, FLORIDA

Date 10-23-02 19____ TREE REMOVAL PERMIT No 1222

APPLIED FOR BY FREDERIC AYRES (Contractor or Owner)

Owner 15 S. River Rd - Monte's Svc - cell-772-971-7953

Sub-division _____, Lot _____, Block _____

Kind of Trees 7 DEAD Palms - 1 dead BAY - 3 Plum

No. Of Trees: REMOVE 12

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 0

Signed, _____ Applicant Signed, Yeu Semmons (npr) Town Clerk

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Blank lined area for notes or details.

PROJECT DESCRIPTION _____

Blank lined area for project description.

REMARKS _____

Blank lined area for remarks.

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Permit # _____

Date Issued: _____

This application shall include a written statement giving reasons for removal, relocation, or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner FREDERICA YAES Address 15 S. RIVER RD Phone 288-2833

Contractor MONTRE'S Address _____ Phone 283-8828

Number of trees to be removed (list kinds of trees) 7 PALMS, 1 DEAD ~~ONE~~ ^{DRAP} ² BAY
3 PLUM

Number of trees to be relocated within 30 days (no fee) (list kinds of trees): _____

Number of trees to be replaced: _____ (list kinds of trees): _____

Permit Fee \$ _____

\$15.00

(No permit fee for trees which are relocated on property or lie within a utility easement and are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted _____ Plans approved as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00.

Signature of applicant [Signature] Plans approved as marked _____

Approved by Building Inspector _____ Date submitted: _____

Completed _____
Date _____ Checked by _____

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT A FEE. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA

See attached Tree Species List

Dennis
463
0989
Cell:
772-
971-795

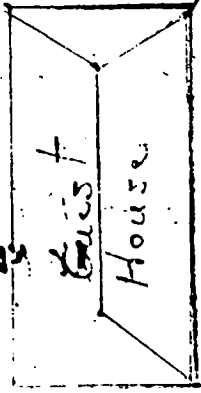
Rivers edge

X GUT DOWN

X

PALMS
DEAD

113102.981 0118



Guest House

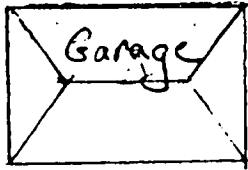
Pool

Main House

PALMS
DEAD



Garage



Garage

DEAD PALMS

Location of
Palms That died

X
DEAD PALMS

X

PLUMS

X X X
X

X

~~THE~~ BAY

S. Entrance Wall

N. Entrance Wall

"The Nest"

FILE

TOWN OF SEWALL'S POINT, FLORIDA

Date 8/31/01 19 TREE REMOVAL PERMIT No 0493

APPLIED FOR BY Monte's Tree Serv. (Contractor or Owner)

Owner 15 S. River Rd.

Sub-division _____, Lot _____, Block _____

Kind of Trees Palm

No. Of Trees: REMOVE 2

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS Both palms dead

Signed, Sign a file Applicant FEE \$ 0.00
Signed, [Signature] Town Clerk
Bldg. Insp.

Field verified
8/31

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M.—NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Empty grid area for drawing or site plan]

PROJECT DESCRIPTION _____

REMARKS _____

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

8/31/01 IMP. SCHED

RECEIVED
AUG 30 2001
BY: [Signature]

Permit #

Date Issued

[Handwritten signatures and initials]

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner Frederic Ayres Address 15 S. River Rd. Phone 288-2833

Contractor Monte's Address _____ Phone 283-8828

Number of trees to be removed (list kinds of trees) 2, Palm trees - Died
None NO FEE

Number of trees to be relocated within 30 days (no fee) (list kinds of trees):

None - right away, possibly fruit trees
Number of trees to be replaced _____ (list kinds of trees):

Permit Fee \$ -0- (~~\$25.00~~ first tree plus \$10.00 - each additional tree - not to exceed ~~\$100.00~~ \$15.00)

(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted Plans approved, as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant [Signature] Date submitted 8/30/01

Approved by Building Inspector _____ Date _____

Approved by Building Commissioner _____ Date _____

Completed _____ Date _____ Checked by _____

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT ~~OBTAINING A PERMIT~~ ^{FEE.} BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?

18752 1701 2191

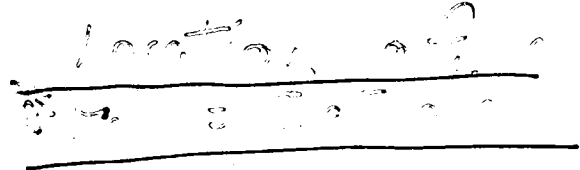


Main House

Gange

Gange

N. Wall



S. Entrance Wall

Co. Entrance Wall

The Nest



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner McCarthy Address 15 S. River Rd Phone [redacted]
Contractor Valleycrest Address 340 Dixie Hwy Stuart Fl Phone 772-631-6903
No. of Trees: REMOVE 11 Species: Exotic Type Trees
No. of Trees: RELOCATE 0 Species: _____
No. of Trees: REPLACE 0 Species: _____

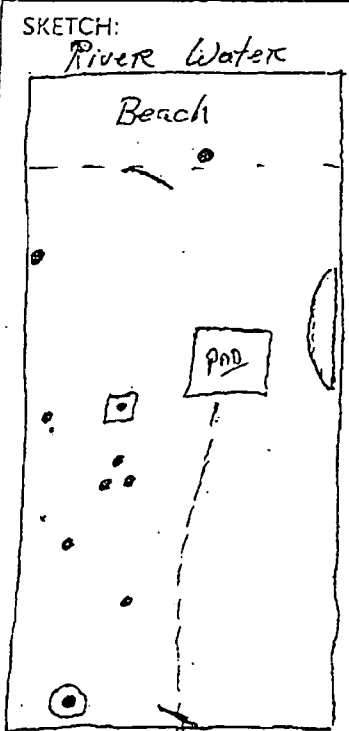
ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

Reason for tree removal/relocation (See notice above) Unwanted, Exotic Type Trees
for Removal, prohibited Species.

Signature of Property Owner X Thomas O. McCarthy Date X 6/22/11

Approved by Building Inspector: [Signature] Date 6-23-11 Fee: 0

NOTES:



- Key**
- ⊙ - Live OAK, Trim only 3 main Branches (Limb-up, out of Road)
 - - Exotic Type = Removal & Disposal
 - ◻ - Unwanted Rain Tree Removal & Disposal
 - ⌒ - Trim BR. Pepper Fence line (Trunk Tree over Fence)

C-14 River Rd

From: Peter Roppolo <PRoppolo@valleycrest.com>
 Subject: **DOC023.PDF /// Proposal for Exotic Tree Removal**
 Date: June 22, 2011 3:51:46 PM EDT
 To: "McCarthy Lot Sewalls Point (stahlr@gmail.com)" <stahlr@gmail.com>
 Cc: John Rose <JRose@valleycrest.com>, Peter Roppolo <PRoppolo@valleycrest.com>
 1 Attachment, 35.8 KB

Afternoon,

Please review the attached proposal for the exotic tree removal for the empty lot in Sewall's Point. This Proposal goes with the Permit from the town that ValleyCrest sent to you on Wed 22nd. for your signature. Please reply back via this email for approval & i will schedule work. Any questions contact me via this email or Mobil # 772-631-6903

thank you
 Pete



No. 1018740
 No. Locals

Authorization for Extra Work

Date: 6/20
 Client Name: McCarthy Res
 Client/Job Site Phone No.: _____
 Job Name: Service
 Description of Work: _____
 INTERNAL USE ONLY
 Client Number: _____
 Job Number/Coding: 0111 300
 Purchase/Work Order: _____
 Tax Code: _____

Do not mail; send invoice back to branch
 Attach copy of signed approval letter w/invoice

Item No.	Type of Labor, Equipment or Materials Used	Hours or Quantity	Unit Price	Total
①	Exotic Tree Removal			
	Per Town of Sewall Point Permit			
	& Photos Emailed 6/22			
	L ABER			
	Removal & Disposal			
	Flush cut STUBS			
	Even top in Red tape			
	10x Tree Removal			
	1x Large Oak Trim (Front Face)			
	Total Labor & Materials, including Sales Tax			<u>1574.00</u>
	THIS BID IS VALID FOR 60 CALENDAR DAYS UNLESS OTHERWISE APPROVED BY VALLEYCREST LANDSCAPE MAINTENANCE			
	THIS IS NOT AN INVOICE			

Instructions to Job Superintendent: No work to be performed without this written authorization being correctly completed and signed by the authorized agent of the Contractor or Owner. Give Customer's Copy to the agent. All other copies (with the exception of the Field Copy) MUST be submitted to your branch office promptly upon completion of work.
 Instructions to Contractor or Owner: This work order properly signed by your agent has been prepared in accordance with the procedures set forth in the contract. All work will be performed in accordance with the contract terms and conditions which are printed on reverse and are incorporated herein by reference.
 Approved by Valley Crest Representative: Peter Roppolo
 Approved by Client Representative: Thomas McCarthy Date: 6/22/11

TOWN OF SEWALL'S POINT, FLORIDA

Date MAY 3 * 2004 TREE REMOVAL PERMIT No 2247

APPLIED FOR BY AYRES (Contractor or Owner)

Owner 15 S. RIVER ROAD

Sub-division _____, Lot _____, Block _____

Kind of Trees 2 PALMS, 1 PLUM, 1 JACARANDA

No. Of Trees: REMOVE 4

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 0

Signed, _____ Applicant

Signed, Gene Simmons (Rob)
Town Clerk
Building Official

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspe
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WO

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Large empty rectangular box for drawing or site plan.

PROJECT DESCRIPTION _____

REMARKS _____

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than one inch.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Mariberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

*Call Dennis
772-
971-7953**

Owner FRED AYRES Address 15 S. RIVER RD Phone 288-2833

Contractor MONTY'S TREE SERVICE Address _____ Phone _____

No. of Trees: REMOVE 4 Type: 2 DEAD PALMS

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: 1 DEAD PLUM

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: 1 DEAD JACARANDA

Written statement giving reasons: _____

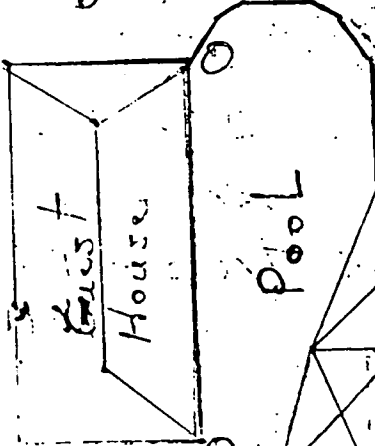
Signature of Applicant [Signature] Date 4/29/04

Approved by Building Inspector: [Signature] Date 5/3 Fee: 0-

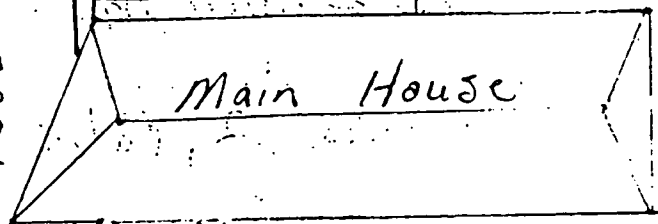
Plans approved as submitted _____ Plans approved as revised/marked: _____

Rivers edge

DEAD PALM



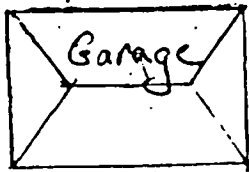
Main House



S. wall

DEAD PALM

DEAD
O
JACARANDA



N. Entrance Wall
DEAD O
PLUM

S. Entrance Wall

"The Nest"

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5/3, 2004 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6513	DUNN	TIE BEAM	PASS	
5	31 N. RIVER RD FIRST FLORIDA			INSPECTOR:
6396	MUFSON	TRUSS	FAIL	
8	17 S. RIVER ROAD BUFORD	UPPER R/S SHEATHING TIED DOWN	PASS	RESCHEDULE INSPECTOR:
6413	POWERS	ROOF SHEATHING	PASS	
4	70 S. SEWALLS PERD FLORIDA'S FINEST	WALL SHEATHING COLUMNS STEEL	PASS	INSPECTOR:
6632	SCHIEPLER	CEILING STEM WALL FOOTER	PASS	
1	110 ABBIE COURT O/B	* FIRST PLEASE *		INSPECTOR:
6544	LANCASTER	TIE BEAM STEEL		NO APPROVED DRAWINGS ON SITE
2	8 PINEAPPLE MASTERPIECE BLDG			INSPECTOR:
6446	WILBERDING	FINAL POOL	PASS	CLOSE
6	2 PALAMA OLYMPIC POOLS			INSPECTOR:
TEEE	AYRES	TREE	PASS	
8A	15 S. RIVER RD			INSPECTOR:

OTHER:

DROD OFF FIELD WAY TO 112 S SEWALLS

CHRIS - 215 - 9010 MASTERPIECE

TOWN OF SEWALL'S POINT, FLORIDA

Date JANUARY 25 2005 TREE REMOVAL PERMIT No 2627

APPLIED FOR BY AYRES (Contractor or Owner)

Owner 15 S. RIVER ROAD

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 13 Palm

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

FEE \$ 0
Signed, _____ Applicant Signed Gene Simmons (RD)
Town Clerk
BUILDING OFFICIAL

Call 287-2455 - 8:00 A.M.-12:00 Noon for inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK

TOWN OF SEWALL'S POINT

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Large empty rectangular box for drawing or site plan]

PROJECT DESCRIPTION _____

REMARKS _____

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new single family resident see above.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner DIANE AYRES Address 15 S. RIVER RD Phone 288-2833
 Contractor Monte's Tree Service Address P.O. Box 523 Palm City Phone 283-8828

No. of Trees: REMOVE 13 Type: Palm

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: Dead due to hurricane's

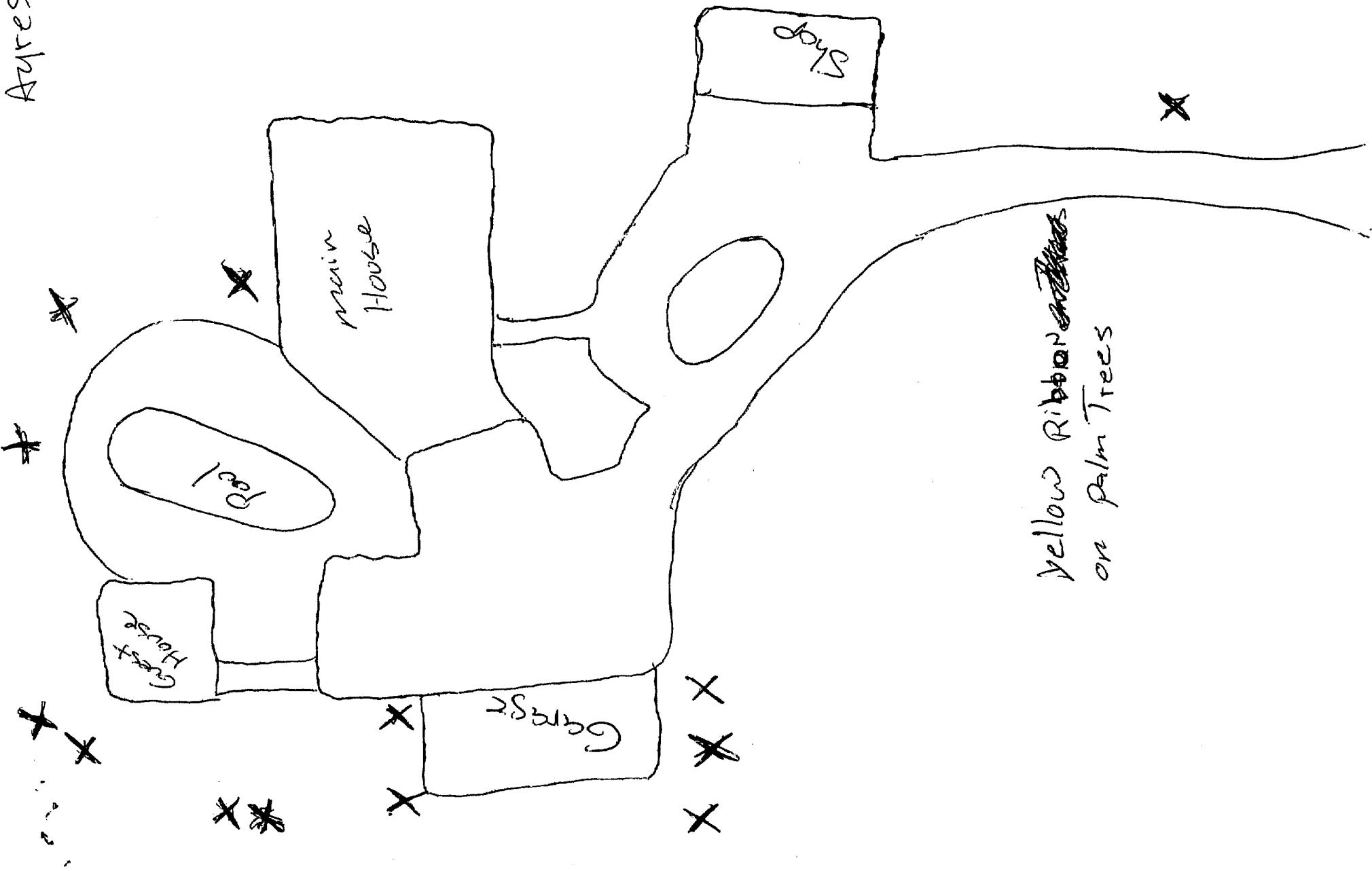
Signature of Property Owner Diane Ayres Date 01-24-06

Approved by Building Inspector: [Signature] Date 1/25 Fee: 0

Plans approved as submitted _____ Plans approved as revised/marked: _____

Dog will not be outside

Ayres



Yellow Ribbon ~~and~~
on Palm Trees

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 1/25, 2006 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7338	MCCORMICK	TIE BEAM	FAIL	
4	59 N. RIVER RD	DIANE (SUPER)		INSPECTOR: <i>OM</i>
	PINE ORCHARD	561-262-5443		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
Tree	BECKHAM	TREE	PASS	
6	6011 Cast. Hill	*Ham*		INSPECTOR: <i>OM</i>
	(WOULD BE #7042 Hillway)			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7338	WHALEN	ELEC REMODEL	PASS	CLOSE
3	9 KNOWLES	BATHS		INSPECTOR: <i>OM</i>
	LOYD JOHNSON FEE			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7993	GIACHINO	STEM WALL FOOTING	FAIL	
5	11 WENDY LANE	10:30	PASS	REINSPECTED LATE
	SEAGATE BUILDERS			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7969	SHAFFER	POOL STEEL	CANCEL	
2	36 CASTLE HILLWAY			INSPECTOR: <i>OM</i>
	A&G POOLS			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
Tree	AYRES	TREE	PASS	
1	15 S. RIVER RD			INSPECTOR: <i>OM</i>
	OB			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7999	MADER	POOL PLG.	PASS	
	106 ABBIE CT			INSPECTOR: <i>OM</i>
	ADVANTAGE POOLS			

OTHER: _____

CORRESPONDENCE

MARSHALL S. MILLER
CLERK OF CIRCUIT COURT
MARTIN CO., FL

RECORDED & VERIFIED
BY *RO* D.C.

01056852

94 APR 14 PM 4:23

9832/040494

UNITY OF TITLE

The undersigned, Frederick M. Ayres, does hereby certify that he is the owner in fee simple of two adjacent parcels of land being more particularly described as follows:

Lot No. 10, less the south five feet thereof, of Heritage Place, according to the Plat thereof recorded in Plat Book 10, Page 2, Public Records of Martin County, Florida; and

Lot No. 25 of Heritage Place, according to the Plat thereof recorded in Plat Book 10, Page 2, Public Records of Martin County, Florida (Lot 10 and Lot 25 hereinafter collectively referred to as the "Lots"), and

does hereby covenant and agree to restrict the use of said Lots in the following manner:

1. Said Lots shall be considered as one plot and parcel of land, shall be held under single ownership and shall not be transferred, conveyed, sold, devised, assigned or otherwise transferred separately in any unit other than in its entirety.

2. Nothing herein contained shall limit, in any manner, the undersigned's ability, or that of his successors or assigns, to lease, mortgage or encumber the property or any part thereof.

3. The undersigned further agrees that this condition, restriction and limitation shall be deemed a covenant running with the land and shall remain in full force and effect and be binding on the undersigned, his successors and assigns, until such time as the same may be released in writing by the Town Commission for the Town of Sewall's Point, Florida.

4. The undersigned further agrees that this instrument shall be recorded in the Public Records of Martin County, Florida.

IN WITNESS WHEREOF, the undersigned has executed these presents on the date indicated below.

Signed, sealed and delivered in the presence of:

Brenda A. Kamper
Signature

Brenda A. Kamper
Print Name

Peter A. Mudgett
Signature

Peter A. Mudgett
Print Name

Frederick M. Ayres
Frederick M. Ayres

Date: 4/12/94

PREPARED BY AND RETURN TO:
Karen Kaplan, Esq.
Gunster, Yoakley & Stewart, P.A.
10 Central Parkway, Suite 400
Stuart, FL 34994

STATE OF FLORIDA

COUNTY OF MARTIN

I HEREBY CERTIFY that the foregoing instrument was acknowledged before me this 12th day of April, 1994, by Frederick M. Ayres. Frederick M. Ayres is personally known to me or has produced _____ as identification.

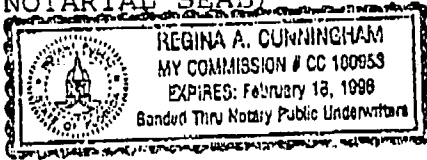
NOTARY

Regina A. Cunningham
Signature

Regina A. Cunningham
Print Name

2/16/96
Commission Expiration Date

(NOTARIAL SEAL)



LAST PAGE