

31 South River Road

2237

SFR

THIS PERMIT MUST BE DISPLAYED IN FRONT OF JOB

DO NOT REMOVE UNTIL JOB IS COMPLETED

OWNER JEFFREY & JACQUELINE LAZARUS
CONTRACTOR John d Hill
LOT 4 BLOCK _____ SUB Arabella
NO. 31 S SPR St. or Ave.

NO. 2237 Date Issued 1/29/88

Call 287-2455 From 8:00 A.M. - 12:00 Noon and
1:00 P.M. - 4:00 P.M. For Inspections of Items 1 thru 13.

TOWN OF SEWALL'S POINT BUILDING PERMIT

- * REQUESTS FOR INSPECTIONS REQUIRE AT LEAST 24 HOURS NOTICE.
- * ALL WORK MUST BE IN COMPLIANCE WITH THE TOWN OF SEWALL'S POINT ORDINANCES, THE SOUTH FLORIDA BUILDING CODE, THE STATE OF FLORIDA ENERGY EFFICIENCY BUILDING CODE AND ELEVATIONS BASED ON THE LATEST FLOOD INSURANCE RATE MAP.
- * WORKING HOURS ARE FROM 8:00 to 5:00 P.M. MONDAY THRU SATURDAY. PORTABLE TOILET FACILITIES MUST BE ON JOB SITE BEFORE INITIAL INSPECTION.

REQUIRED INSPECTIONS	INSPECTOR'S FINDING	INSPECTOR'S SIGNATURE
1. LOT STAKES/SET BACKS		
2. TERMITE PROTECTION	<i>absolute Perit 2/13/88</i>	
3. FOOTING - SLAB	<i>OK 2/15/88 D.B.</i>	
4. ROUGH PLUMBING	<i>OK 2/16/88 D.B.</i>	
5. ROUGH ELECTRIC	<i>OK 6/21/88 D.B.</i>	
6. LINTEL		
7. ROOF		
8. FRAMING	<i>OK 6/24/88 D.B.</i>	
9. INSULATION	<i>OK 6/24/88 D.B.</i>	
10. A/C DUCTS	<i>OK 6/27/88 D.B.</i>	
11. FINAL ELECTRIC		
12. FINAL PLUMBING		
13. FINAL CONSTRUCTION	<i>12/2/88 SC</i>	

TO CONSTRUCT New Residence

REMARKS:

TOWN OF SEWALL'S POINT, FLORIDA
APPLICATION FOR PERMIT TO BUILD A HOUSE OR COMMERCIAL BUILDING 4

PERMIT NUMBER 2237 DATE OF APPLICATION 12-21-87

To obtain a permit the following are required:

1. Florida certification of builder and sub-contractors.
2. Certification of insurance from contractor or owner/builder re: liability and workers' compensation.
3. Two sets of building plans which must include: a) 1/4" scale building drawings, b) plot plan, c) foundation plan, d) floor plans, e) wall and roof cross-sections, e) plumbing, electrical and air conditioning layouts, f) at least two elevations showing the height of building from finished floor.
4. Recorded warranty deed to the property.
5. Septic tank permit and one set of plans with Martin County Health Department seal.
6. Energy code calculations.
7. Notarized copy of attached affidavit re: removal of nuisance trees.
8. Tree removal permit (for trees other than #7 above).
9. Certification of elevation from licensed surveyor and determination of flood zone.
10. Amount of fill anticipated - rough sketch showing extent of fill on lot.
11. Manufacturer's schedule of windows.

Owner JEFFREY & JAQUELINE LAZARUS Current Address 1838 TREASURE POINT STUART FL 34994
 Telephone 692-2013
 General Contractor JOHN J. HILL CONST. Address 736 N.W. BUICK HENDRY WAY STUART FL. 34994
 Telephone 692-2889
 Where Licensed FLA. License Number CFC 024800
 Plumbing Contractor TROPIC PLUMBING License Number CFC 032565
 Electrical Contractor HALDANE ELEC. License Number _____
 Roofing Contractor TURNER ROOFING License Number SP00230
 A/C Contractor PERSONALIZED License Number MC 160

Describe the building or alterations NEW SINGLE FAMILY RESIDENCE
 Name the street on which the building, its front building line and its front yard ~~31 S. RIVER ROAD~~ 31 S. RIVER ROAD AR Bella
 Subdivision SEE ATTACHED WARRANTY DEED Lot part of lot #4 Block _____
 Building area (inside walls) 5655 Garage, porch, carport area 2128
 Contract price (excluding carpet, land, appliances, landscaping) \$ 392,000
 Cost of permit \$ 3365 Plans approved as submitted _____ as marked _____

- In addition, the following are understood by owner and contractor:
1. Building area inside walls must be a minimum of 1,500 square feet.
 2. Building permit fees are \$5. per \$1,000. of the cost of the building, plus \$10. each for plumbing, electric, a.c. and roof. For example a \$100,000. building x \$5. = \$500. plus \$40. (a.c., pl., el., roof) = \$540. cost of permit + \$365. impact fee = \$905. total.
 3. If no contract is submitted as proof as cost, the permit will be based on \$60. per square foot (inside walls) and \$25. per square foot (other areas).
 4. The Town has adopted the South Florida Building Code as a part of its ordinances.
 5. Building permits are issued for one year's duration.
 6. Construction must be started within 180 days or permit will be subject to revocation and forfeiture of fee.
 7. ALL changes in plans must be approved by the Building Department.
 8. Work hours are 8:AM to 5:PM Monday through Friday. NO SUNDAY WORK
 9. Portable toilets must be on all construction sites.
 10. Inspections are made Monday through Friday, 8:AM to Noon, 1:PM to 4:PM. 24 hour notice is required prior to all inspections.
 11. String lines along property lines to facilitate set back inspections.
 12. Before a certificate of occupancy is issued, the following are required:
 - a. An owner's affidavit of building cost (form available) any discrepancy between the original fee and final fee (based on affidavit) will be adjusted.
 - b. Approval of septic tank installation by Martin Co. Health Dept.
 - c. Rough grading and clean up of grounds.
 - d. Affidavit from licensed surveyor showing slab elevation (if in "A" zone).
 - e. Certification by a qualified engineer or architect of the structural adequacy of the building.
 13. THIS SUMMARY IS NOT A SUBSTITUTE FOR TOWN ORDINANCES. APPROVAL OF THE BUILDING PLANS IN NO WAY RELIEVES THE OWNER OR CONTRACTOR FROM COMPLIANCE WITH TOWN ORDINANCES.

Contractor's Signature John J. Hill Owner's Signature Jackie Lazarus
 Approval by Building Inspector Walter Brown Date 11/7/88
 Approval by Building Commissioner JC Strubell Date 1/5/88
 Certificate of Occupancy issued Dee Brown Date 12/9/88

NOTICE OF COMMENCEMENT

STATE OF Florida
COUNTY OF Martin

The undersigned hereby informs all concerned that improvements will be made to certain real property, and in accordance with Section 713.13, Florida Statutes, the following information is stated in this NOTICE OF COMMENCEMENT. This notice shall be void and of no force and effect if construction is not commenced within 30 days of recordation.

DESCRIPTION OF PROPERTY:

General description of improvements: Single Family Residence

Owner: Jeffrey & Jacqueline Lazarus
Address: 1838 Treasure Point Avenue, Stuart, Florida 34994

Owner's interest in site of the improvement: _____

Contractor: John J. Hill Construction
Address: 736 NW Buck Hendry Way, Stuart, Florida 34994

Surety (if any): N/A
Address: _____
Amount of Bond: _____

Lender : Barnett Bank of St. Lucie County
Address: P.O. Box 85-7220, 900 East Prima Vista Blvd., Port St. Lucie, FL 33485

Name of person within the State of Florida designated by owner upon whom notices or other documents may be served:

Name: Wilma Briscuso
Address: 541 SW South River Drive #205, Stuart, Florida 34997

In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.06(2)(b), Florida Statutes:

Name: Contractor
Address: _____

John J. Hill

Sworn to and subscribed before me this 5th day of February, 1988

Donald Bamco

(NOTARY SEAL)

I am a Notary Public of the STATE OF Florida AT LARGE, and My Commission Expires:

NOTARY PUBLIC STATE OF FLORIDA
BY COMMISSION EXP. NOV 16, 1990
BOULEVARD GENERAL BKS. USD.



STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

TO: Sewalls Pt. Bldg. Dept
FROM: Martin County Public Health Unit

Be it known that the onsite sewage disposal system(s) installed on
Lot 4 Arabella 33 S. River Rd
for Jeff & Jacky Lazarus
has been found to be in compliance with Chapter 10D-6, Florida
Administrative Code, and therefore is granted final approval.

HD # 87-805 By: Keith F. Fern
Environmental Health Specialist

BUILDING PERMIT # 2237 DATE 9-15-88

3/88

MARTIN COUNTY PUBLIC HEALTH UNIT
131 EAST SEVENTH STREET • STUART, FLORIDA 34994
Bob Martinez, Governor • Gregory L. Coler, Secretary

662325

TILTON & WOODS, P.A.
1935 N.E. Ricou Terrace P.O. Box 1534
JENSEN BEACH, FLORIDA 33457

Warranty Deed

(STATUTORY FORM—SECTION 689.02 F.S.)

This Indenture, Made this 27th day of May, 1987, Between

PETER LOPILATO and D. MARJORIE CENTRONE, as Joint Trustees and Individually

of the County of _____, State of _____, grantor*, and

JEFFERY LAZARUS and JACQUELINE LAZARUS, his wife

whose post office address is 1838 Treasure Point
Stuart, Florida 34994

of the County of Martin, State of Florida, grantee*.

Witnesseth. That said grantor, for and in consideration of the sum of -----

-----TEN AND NO/100 (\$10.00)-----Dollars,
and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida, to-wit:

SEE ATTACHED EXHIBIT A

Subject to Restrictions, Easements, and Zoning of Record.

The Grantor warrants that the above property is not Homestead.
The Grantor, D. Marjorie Centrone, further warrants that she lives in the State of New York.
The Grantor, Peter Lopilato, further warrants that he lives at 8 Palmetto Drive, Stuart, Florida.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

* "Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof, Grantor has hereunto set grantor's hand and seal the day and year first above written.
Signed, sealed and delivered in our presence:

[Handwritten signatures of witnesses]

[Signature: D. Marjorie Centrone] (Seal)
D. Marjorie Centrone (Seal)
[Signature: Peter Lopilato] (Seal)
Peter Lopilato (Seal)

STATE OF NEW YORK
COUNTY OF Queens

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments, personally appeared
D. MARJORIE CENTRONE, as Joint Trustee and Individually

to me known to be the person described in and who executed the foregoing instrument and acknowledged before me that She executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 27 day of May, 1987

My commission expires:

10/31/88

[Signature: Phyllis J. Boyle]
Phyllis J. Boyle
Notary Public, State of New York
No. 41-4756884

Qualified in Queens County
Commission Expires 10/31/1988

EXHIBIT A

A portion of Lot 4, plat of ARBELLA, as recorded in Plat 3, Page 29, public records of Palm Beach, now Martin County, Florida, being more particularly described as follows: Commence at the Southeasterly corner of Lot 18, MIRAMAR, as recorded in Plat Book 3, Page 111, Martin County, Florida, public records bear South 62 Degrees 49 Minutes 30 Seconds West, along the South line of said lot 18, a distance of 10 feet; thence South 27 Degrees 10 Minutes 30 Seconds East, 120 feet to the Point of Beginning; thence South 62 Degrees 49 Minutes 30 seconds West, a distance of 358 feet to the waters of St. Lucie River; thence Southerly along said waters to the Southerly line of said Lot 4; thence North 62 Degrees 49 minutes 30 Seconds East, along said line, a distance of 390 more or less to a point, said point being on a bearing of South 27 Degrees 10 Minutes 30 Seconds East, and a distance 120.00 feet from the Point of Beginning; thence North 27 Degrees 10 Minutes 30 Seconds West, a distance of 120.00 feet to the Point of Beginning. Containing 44,846 square feet.

STATE OF FLORIDA
COUNTY OF MARTIN

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments, personally appeared

PETER LOPILATO, as Joint Trustee and Individually

to me known to the person described in and who executed the foregoing instrument and acknowledged before me that he executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this day of June, 1987

[Signature]
Notary Public

My Commission Expires:
My Commission expires 18 Jan., 1988

BOOK 724 PAGE 1566

MARTIN
COUNTY
9 5 2 7
6 1

STATE OF FLORIDA
DOCUMENTARY STAMP TAX
DEPT. OF REVENUE
JUN 23 '87
\$ 25.00

FLORIDA
STAMP TAX
\$ 00.00

925
4625
3700
776

07 JUN 23 4 9: 57
BY *[Signature]*
S.C.

MARTIN COUNTY PUBLIC HEALTH UNIT
131 East 7th Street
Stuart, Florida, 34997
287-2277

STUBOUT ELEVATION AND EXCAVATION CERTIFICATION

APPLICANT: Jeff + Jacky Lazarus
LEGAL DESCRIPTION: P04 Arbella S/D
SEPTIC TANK PERMIT NUMBER: HD-87-805

The items noted below must be certified by a surveyor or engineer and returned to the Health Department prior to the first plumbing inspection by the Building Department.

- 1. Building Permit Number: _____.
- 2. I certify that the elevation of the top of the lowest plumbing stubout is _____ inches above benchmark elevation as indicated on septic tank permit.
- 3. I certify that the top of the lowest building plumbing stubout is _____ inches above crown of road elevation shown on septic tank permit.
- 4. I certify that all severe limited soil has been removed from an area of _____ feet by _____ feet to a minimum depth of six (6) feet below top of required stubout elevation. Submit plot plan to scale of excavated area.

Date Observed: _____

- NOTE: a. Severe limited soil includes but is not limited to hardpan, clay, silt, marl or muck.
- b. Drainfield must be centered in the excavated area. Please set stakes to identify the excavated area boundaries. Drainfield will not be approved if severe limited soils are not removed.

CERTIFIED BY: _____

As applicant or applicant's representative, I understand the above requirements.

Date: _____ Job Number: _____

X Daphnia M. Futo
(Signature)

FOR MARTIN COUNTY PUBLIC HEALTH UNIT USE ONLY

(Signature of Environmental Health Specialist) (Date)

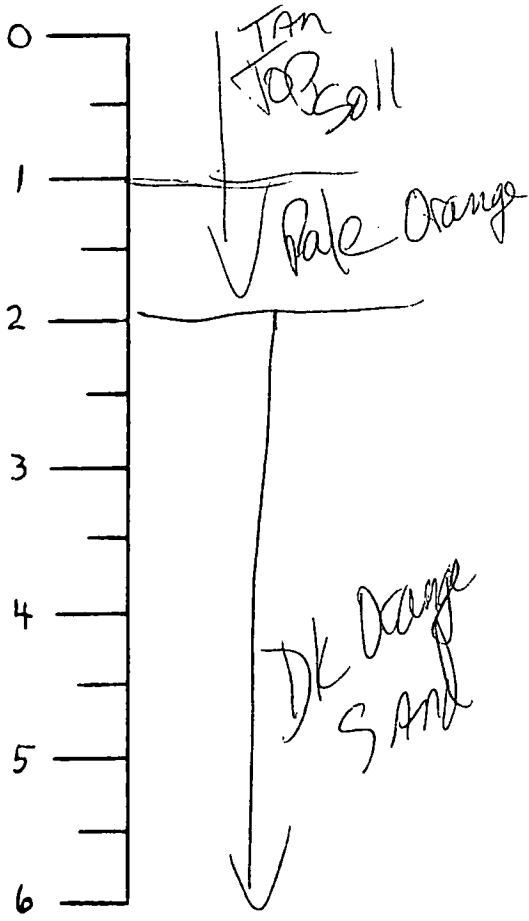
MARTIN COUNTY PUBLIC HEALTH UNIT
131 East 7th Street
Stuart, Florida 34997
287-2277

SITE EVALUATION

APPLICANT: Jeffrey & Jackie Lagan

LEGAL DESCRIPTION: P.O 4 Arbella 5/10

SOIL PROFILE



USDA SOIL TYPE Paola
USDA SOIL NUMBER 6

Impervious soils are present at 26' below natural grade.

Present Water Depth Below Natural Grade >6'

Wet Season Range Per Soil Survey >6'

Estimated Wet Season Water Depth Below Natural Grade 6'

Indicator Vegetation Present Cabbage Palm, Banyan Trees

Is Benchmark Located on Plot Plan and Present on Site? Yes

Approximate Amount of Fill on Neighboring Lots N/A

Other Findings:

EVALUATION BY: Jacqueline Kelly
DATE: 12-18-77

ws (6)

MARTIN COUNTY PUBLIC HEALTH UNIT
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM

PERMIT NUMBER: HD 87-805

NAME OF APPLICANT: Jeffrey & Jackie Lagans HOME PHONE: 692-2013

MAILING ADDRESS OF APPLICANT: 31 South River Rd. Sewells Pt. WORK PHONE _____

LOT 0.4 BLOCK N/A SUBDIVISION ARBELLA S/D

PLAT BOOK 3 PAGE 29 DATE SUBDIVIDED _____

RESIDENTIAL: NUMBER DWELLING UNITS 1 NUMBER BEDROOMS 5
HEATED OR COOLED AREA OF HOME 5655 SQUARE FEET

COMMERCIAL: TYPE OF BUSINESS PROPOSED _____ NUMBER PEOPLE _____

AFFIDAVIT

I HAVE REVIEWED THIS PERMIT AND I CERTIFY THAT ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT AND ANY APPLICABLE STATE OR COUNTY REGULATIONS.

SIGNATURE OF PROPERTY OWNER OR OWNER'S LEGALLY AUTHORIZED REPRESENTATIVE:

[Signature]

INSTALLATION SPECIFICATIONS

SEPTIC TANK CAPACITY 1350 GALLONS Drainfield must be 15x40

DRAINFIELD SIZE 600 SQUARE FEET

TOP OF BUILDING STUB OUT IS REQUIRED TO BE A MINIMUM ELEVATION OF

Finish Soil grade

Not to exceed 18" of cover over drainfield rock

MINIMUM SETBACK REQUIRED FROM PROPERTY LINES TO DRAINFIELD ROCK IS 5'

ISSUED BY: Jeff Auello DATE: 12-8-87
ENVIRONMENTAL HEALTH SPECIALIST

- PLEASE NOTE:
1. THIS PERMIT EXPIRES ONE YEAR FROM DATE OF ISSUANCE.
 2. IF BUILDING STUBOUT IS MORE THAN 20 FEET FROM SEPTIC TANK AND DRAINFIELD, A HIGHER STUBOUT ELEVATION THAN SHOWN ABOVE WILL BE REQUIRED.
 3. IF FILL IS REQUIRED, CONTACT MARTIN COUNTY BUILDING DIVISION.
 4. IF ANY INFORMATION ON THIS PERMIT CHANGES, PLEASE SUBMIT AN UPDATED APPLICATION TO THIS OFFICE.
 5. IF WELL OR MOUND DRAINFIELD IS PROPOSED, SEE ATTACHED SKETCH OF ADDITIONAL SPECIAL REQUIREMENTS.

Permit VOID if well or septic system is installed in a location other than area permitted. PRIOR HEALTH DEPARTMENT APPROVAL REQUIRED

Inspection Results Will be Posted on Building Permit or on Electrical Box.

FINAL INSPECTION

CONSTRUCTION APPROVED BY: _____ DATE: _____
ENVIRONMENTAL HEALTH SPECIALIST

AN APPROVED SYSTEM DOES NOT GUARANTEE PERFORMANCE

MARTIN COUNTY PUBLIC HEALTH UNIT
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM

SITE INFORMATION

1. IS THERE A SEPTIC SYSTEM OR OTHER INTERFERENCE WITHIN 75 FEET OF THE PROPOSED PRIVATE WELL? No
2. IS THERE A PRIVATE WELL WITHIN 75 FEET OF THE PROPOSED SEPTIC SYSTEM? No
3. IS THERE A LIMITED USE NON-COMMUNITY OR OTHER PUBLIC WELL WITHIN 100 FEET OF PROPOSED SEPTIC SYSTEM? No
4. IS THERE A PUBLIC WELL WITHIN 200 FEET OF THE PROPOSED SEPTIC SYSTEM? No
5. IS THERE A PUBLIC SEWER WITHIN 100 FEET OF THE PROPOSED LOT? No
6. IS THERE A LAKE, STREAM, WETLAND, OR OTHER BODY OF WATER WITHIN 75 FEET OF THE PROPOSED SEPTIC SYSTEM? No
7. IS THERE A PROPOSED OR EXISTING PUBLIC WATER LINE WITHIN TEN FEET OF THE PROPOSED SEPTIC SYSTEM? No
8. IS THERE A STORM WATER RETENTION AREA OR DRAINAGE EASEMENT WITHIN 15 FEET OF THE PROPOSED SEPTIC SYSTEM? No
9. IS THE SEPTIC SYSTEM IN AN AREA PROPOSED FOR PAVING OR VEHICULAR TRAFFIC? No
10. ARE ALL PRIVATE WELLS, SEPTIC SYSTEMS AND SURFACE WATER ON ADJACENT OR CONTIGUOUS LAND WITHIN 75 FEET OF THE APPLICANT'S LOT, IF PRESENT, SHOWN ON PLOT PLAN? Yes
11. ARE ALL PUBLIC WELLS WITHIN 200 FEET OF THE APPLICANT'S LOT, IF PRESENT, SHOWN ON PLOT PLAN? Yes
12. DOES THE PLOT PLAN INCLUDE A PLAT OF THE LOT OR TOTAL SITE OWNERSHIP DRAWN TO SCALE, BOUNDARIES WITH DIMENSIONS, LOCATIONS OF BUILDINGS OR RESIDENCES, SWIMMING POOLS, RECORDED EASEMENTS, THE PROPOSED SEPTIC SYSTEM, ANY PROPOSED OR EXISTING WELLS, PUBLIC WATER LINES, PAVED AREAS OR DRIVEWAYS, AND SURFACE WATERS SUCH AS LAKES, PONDS, STREAMS, CANALS, OR WETLANDS? Yes
13. THERE IS 2000 SQUARE FEET OF AVAILABLE LAND TO INSTALL THE SEPTIC SYSTEM. THIS AREA EXCLUDES INTERFERENCES. SHADE THIS AVAILABLE AREA.

ELEVATIONS

1. CROWN OF ROAD ELEVATION _____ SHOW LOCATION ON PLOT PLAN. IF ROAD IS NOT PAVED, BENCHMARK ELEVATION 38.25 SHOW LOCATION ON PLOT PLAN.
2. NATURAL GRADE ELEVATION IN AREA OF PROPOSED SEPTIC SYSTEM 37.0 SHOW LOCATION ON PLOT PLAN.
3. IS BUILDING LOCATED IN FLOOD HAZARD AREA "A" OR "V" AS IDENTIFIED ON FEMA MAPS? _____ IF YES, WHAT IS THE MINIMUM REQUIRED FLOOD HAZARD FLOOR ELEVATION OF BUILDING? _____ NCVD 1929 (ELEVATION OPTIONAL)

NOTE: MUST BE CERTIFIED BY REGISTERED SURVEYOR OF ENGINEER IN THE STATE OF FLORIDA.

CERTIFIED BY: [Signature]
FL. PROFESSIONAL NO: 3957
DATE: 11-24-87 JOB NO: 87-522

SITE DIRECTIONS

ATTACH SITE LOCATION MAP OR EXPLAIN DIRECTION TO SITE BELOW

RECORD OF INSPECTIONS

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 12/9/88

This is to request that a Certificate of Approval for Occupancy be issued to LAZARUS
 For property built under Permit No. 2237 Dated 12/21/87 when completed in
 conformance with the Approved Plans.

Item	
1. LOT STAKES/SET BACKS	<u>2/10/88</u>
2. TERMITE PROTECTION	<u>2/13/88</u>
3. FOOTING - SLAB	<u>2/15/88</u>
4. ROUGH PLUMBING	<u>2/10/88</u>
5. ROUGH ELECTRIC	<u>6/21/88</u>
6. LINTEL	
7. ROOF	<u>4/21/88</u>
8. FRAMING	<u>4/21/88</u>
9. INSULATION	<u>6/24/88</u>
10. A/C DUCTS	<u>6/27/88</u>
11. FINAL ELECTRIC	<u>12/9/88</u>
12. FINAL PLUMBING	<u>12/9/88</u>
13. FINAL CONSTRUCTION	<u>12/9/88</u>

Signed John J. Hill

Approved by

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector Dale Brown 12/9/88 date

Approved by Building Commissioner Patricia Clark 12/9/88 date

Utilities notified FPL 12/9/88 date

Original Copy sent to _____

(Keep carbon copy for Town files)

2246

DOCK

TOWN OF SEWALL'S POINT, FLORIDA

2246

Permit Number _____

Date _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEARING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner DR. SARKIS LAZARUS Present Address 31 S. RIVER RD. STUART.
 Phone 692-2013
 Contractor HI-TIDE MARINE CONST. Address 3191 S.E. WALKER ST.
 Phone 283-9354.
 Where licensed FLORIDA License number CBCA11094
 Electrical contractor _____ License number _____
 Plumbing contractor _____ License number _____
 Roofing contractor _____ License number _____
 Air conditioning contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: _____

TO CONSTRUCT DOCK.

State the street address at which the structure will be built: _____

A PORTION OF LOT #4 / 31 S. RIVER RD STUART.

Subdivision SEWALLS POINT Lot number # 4 Block number 4

Contract price \$ 5,400 Cost of permit \$ 30.⁰⁰

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances, the State of Florida Model Energy Efficiency Building Code and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor [Signature] - P.P.O.

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

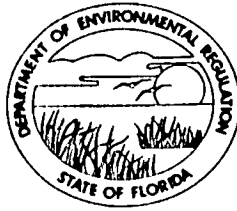
Date submitted _____ Approved [Signature] 1/13/85
Building Inspector Date

Approved [Signature] 1/5/85 Final Approval given _____
Commissioner Date Date

Certificate of Occupancy issued (if applicable) _____
Date

STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL REGULATION

SOUTHEAST FLORIDA DISTRICT
BRANCH OFFICE
2745 SOUTHEAST MORNINGSIDE BOULEVARD
PORT ST. LUCIE, FLORIDA 33452



BOB MARTINEZ
GOVERNOR
DALE TWACHTMANN
SECRETARY

October 8, 1987

Jeffrey Lazarus
c/o Hi-Tide Marine Construction
3191 SE Waaler Street
Stuart, Florida 33497

DF - Martin County
Private Dock
St. Lucie River

Dear Mr. Lazarus:

This is to acknowledge receipt of your application, file number 431402248, for a permit to:

construct a 400 square foot dock measuring 100' by 4'. This project is to be located at 31 South River Road, Class III waters, St. Lucie River, Section 1, Township 38 South, Range 41 East, Sewalls Point, Martin County.

At this time no permit is required for your project by this Department. Any modifications in your plans should be submitted for review, as changes may result in permits being required. This letter does not relieve you from the need to obtain any other permits (local, state or federal) which may be required. This project, as proposed, is exempt from permitting pursuant to 403.813(2)(b), Florida Statutes, in accordance with the four (4) attached stamped drawings.

A copy of your application has also been sent to the Department of Natural Resources for review. Consent of use of State owned lands may be required from the Department of Natural Resources prior to construction. For further information, you may contact Mr. David Roach at (305) 967-6057.

If you have any questions, please contact Brad Rieck of this office. When referring to this project, please use the file number indicated.

Sincerely,

John Meyer
Supervisor, Dredge & Fill Permitting

JM:brv/8

cc: Army Corp's of Engineers, Miami
David Roach, D.N.R. (with application)



DEPARTMENT OF THE ARMY
SOUTH FLORIDA AREA OFFICE, JACKSONVILLE DISTRICT CORPS OF ENGINEERS
P. O. BOX 1327
CLEWISTON, FLORIDA 33440

December 3, 1987

REPLY TO
ATTENTION OF

Regulatory Section
Miami
87GP30604
SAJ-20

RECEIVED DECO 81987

Dr. Jeffrey Lazarus
c/o HI-TIDE MARINE CONSTRUCTION, Inc.
3191 SE Waaler Street
Stuart, Florida 33497

Dear Dr. Lazarus:

Reference is made to your application for a Department of the Army permit concerning:

construction of a dock 100 feet long, 4 feet wide, in the St. Lucie River at 31 South River Road, Sewall's Point, in Section 1, Township 38 South, Range 41 East, Martin County, Florida.

The project as proposed is authorized by General Permit SAJ-20, a copy of which is enclosed for your information and use. You are authorized to proceed with the project in accordance with the enclosed drawings subject to all conditions of the permit.

This letter of authorization does not obviate the necessity to obtain any other Federal, state or local permits which may be required.

Thank you for your cooperation with the Corps permit program.

Sincerely,

Charles A. Schnepel
Charles A. Schnepel
Chief, Regulatory Section

Enclosures

431402248

DIVISION OF STATE LANDS/DEPARTMENT OF NATURAL RESOURCES
PRIVATE RESIDENTIAL SINGLE-FAMILY DOCKS - STATE OF FLORIDA

The Division of State Lands has no objection to construction of your proposed private residential single-family dock project not located within an aquatic preserve or the Florida Keys if it is constructed within the following standards and criteria pursuant to Chapter 18-21, Florida Administrative Code:

RECEIVED OCT 22 1982

I. Private Residential Single-family Docks

- 1. The dock and/or boathouse cannot be used as a revenue generating/income-related activity;
- 2. The dock and its use cannot create a navigation hazard;
- 3. There can be no dredging;
- 4. The dock cannot be designed or constructed to accommodate more than two boats;
- 5. Nonwater-dependent structures or activities cannot be allowed (Examples are: gazebos, sun decks, and screen houses);
- 6. The dock cannot extend waterward of the mean or ordinary high water line more than 500 feet or 25 percent of the width of the waterbody at that particular location, whichever is less;
- 7. The dock cannot extend out from the shoreline any further than a maximum depth of minus four (-4) feet at mean low water;
- 8. When the water depth is minus four (-4) feet at mean low water adjacent to an existing bulkhead, the dock cannot extend further than 25 feet from the bulkhead, subject to modifications accommodating shoreline vegetation overhang;
- 9. The dock and all associated structures can be no closer than 25 feet from your side riparian property lines;
- 10. The main access pier cannot be greater than six feet in width; and,
- 11. The terminal platform/activity area size cannot be more than 200 square feet. If a boathouse is constructed, the total activity area (includes the terminal platform, catwalks and boathouse) cannot exceed a total of 300 square feet and the boathouse cannot have enclosed side walls.

II. Riprap

- 1. Must be located at or within ten feet of mean high water;
- 2. Can be no greater than a 2 to 1 slope; and,
- 3. Can only be placed on nonvegetated shorelines (i.e., no wetlands such as mangroves, marshes or river swamps).

III. Seawalls or Bulkhead Replacement

- 1. Must not be located on a sandy beach which requires a permit from the Division of Beaches and Shores, Department of Natural Resources.
- 2. Must be located at or within one foot of mean high water;
- 3. Any fill associated with a seawall or bulkhead replacement must be at or within one foot of mean high water;
- 4. Can only be located on nonvegetated shorelines (i.e., no wetlands such as mangroves, marshes or river swamps);
- 5. Can be no greater than a maximum of 100 linear feet in length, or less; and,
- 6. There can be no dredging.

DEPARTMENT OF THE ARMY PERMIT

NOV 1 1988

GENERAL PERMIT SAJ-20

PRIVATE SINGLE-FAMILY PIERS - STATE OF FLORIDA

Upon recommendation of the Chief of Engineers, pursuant to Section 10 of the Rivers and Harbors Act of 3 March 1899 (33 U.S.C. 403), general authority is hereby given to construct private single-family piers in navigable waters of the United States within the State of Florida subject to the following conditions:

SPECIAL CONDITIONS:

1. Structures authorized under this general permit are private single-family piers including normal appurtenances such as boat hoists, boat shelters with open sides, stairways, walkways, mooring piling, dolphins, and maintenance of same.

2. No work shall be performed until the applicant submits satisfactory plans for the proposed structure and receives written authorization from the District Engineer.

3. No structures shall be authorized by the general permit in:

a. Florida DNR or U.S. Fish and Wildlife Service established boat regulatory zones, sanctuaries or reserves.

b. Crystal, Salt, and Homosassa Rivers, Citrus County, where the structure extends waterward greater than minus (-) three (3) feet mean low water (mlw).

c. Faka Union Canal in Collier County.

4. The permittee agrees the contractor will instruct all personnel associated with the construction of the facility, of the presence of manatees and the need to avoid collisions with manatees.

5. The permittee agrees all personnel will be advised that there are civil and criminal penalties for harming, harassing, or killing manatees, which are protected under the Endangered Species Act of 1973, the Marine Mammal Protection Act of 1972, and the Florida Manatee Sanctuary Act. The permittee and/or contractor will be held responsible for any manatees harmed, harassed, or killed as a result of construction of the project.

6. The permittee agrees that any collision with a manatee shall be reported immediately on the manatee "hotline" (1-800-342-1821) and to the U.S. Fish and Wildlife Service, Jacksonville Endangered Species Field Station (904-791-2580).

7. The permittee agrees the contractor shall keep a log detailing sitings, collisions, or injury to manatees which have occurred during the contract period.

8. The permittee agrees that following project completion, a report summarizing the above incidents will be submitted to the Chief, Regulatory Division, Jacksonville District, Corps of Engineers, (P.O. Box 4970, Jacksonville, Florida 32232) and the U.S. Fish and Wildlife Service (3100 University Boulevard South, Suite 120, Jacksonville, Florida 32216-2732).

9. The permittee agrees all vessels associated with the project will operate at "no-wake" speeds at all times while in water where the draft of the vessel provides less than 3 feet clearance from the bottom and that vessels would follow routes of deep water to the maximum extent practicable.

10. The permittee agrees to establish and maintain a permanent educational display at a prominent location of all commercial facilities to increase the awareness of boat operators using the facility, of the presence of manatees, and need to minimize the threat of boats to these animals. The display should include information on the location of the facility with respect to boat speed zones in the area, the threat which boats pose to manatees, the manatee "hotline" number (1-800-342-1821), and other information which may aid in the conservation of the species. The permittee agrees to install and maintain a minimum of one (1) manatee awareness sign on the docks within the facility.

11. Where multiple slip facilities are authorized, the dock must be clumped to minimize shoreline disruption.

12. In the Intracoastal and Okeechobee Waterways, no structure, including mooring piles, authorized under this general permit, will be within 100 feet of the near-bottom edge of the channel unless it is a 5-foot marginal pier.

13. No living, fueling, or storage facilities over navigable waters of the United States are authorized under this general permit.

14. The structure shall not adversely affect or disturb properties listed as eligible for inclusion in the National Register of Historic Places.

15. No structures shall be authorized by this general permit on the following environmentally sensitive areas identified in the Wild and Scenic Rivers Act (16 U.S.C. 1371, et seq.): The Northwest Fork of the Loxahatchee River; and that portion of the Myakka River within the Myakka River State Park. These activities shall require an individual permit.

16. Authorization is contingent upon the issuance of permits from the Florida Department of Environmental Regulation and the Department of Natural Resources as appropriate.

17. A structure authorized under this general permit must not interfere with general navigation.

18. A structure which by its size or location may adversely affect water quality, fish and wildlife habitat, or photosynthetic processes will not be authorized under this general permit.

19. No work shall be performed until after notification of the owner or operator of any marked utilities in the area of the structure.

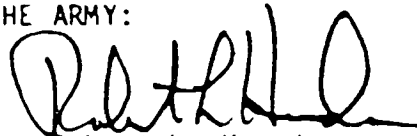
20. This general permit will be valid until suspended or revoked by issuance of a public notice by the District Engineer. Reviews will be conducted to determine if continuance of the permit is not contrary to the public interest.

21. Conformance with the description contained herein does not necessarily guarantee authorization under this general permit.

22. The District Engineer reserves the right to require that any request for authorization under this general permit be processed as an individual permit.

23. The General Conditions attached hereto are made a part of this permit (Atch 1).

BY AUTHORITY OF THE SECRETARY OF THE ARMY:



Robert L. Herndon
Colonel, U.S. Army
District Engineer

TO WHOM IT MAY CONCERN:

I/WE MR. LAPILATO

the owner/owners of 29 S. River Road, Sewall's Point

adjacent to Dr. Jeffrey Lazarus
31 S. River Road

owned by A portion of Lot #4, Plat of Arbella
Sewall's Point

have examined the drawings for the proposed project and have no objection
to the project.

[Handwritten Signature]

Notary:

STATE OF FLORIDA

COUNTY OF MARTIN

I HEREBY CERTIFY that on this day, before me, as officer duly authorized in
the State aforesaid and in the county aforesaid to take acknowledgments,
personally appeared

to me known to be the person/persons described in and who executed the
foregoing instrument and acknowledged before that
executed the same.

WITNESS my hand and official seal in the County and State last aforesaid
this *22nd* day of *December* A.D. *1987*

[Handwritten Signature]

Notary Public,

My commission expires

NOTARY PUBLIC, STATE OF FLORIDA.
MY COMMISSION EXPIRES: AUG. 1, 1991.
BONDED THRU NOTARY PUBLIC UNDERWRITERS

TO WHOM IT MAY CONCERN:

DALE R. TAFT and WINIFRED W TAFT

~~FAIRFAX COUNTY~~ ~~NEW SOUTH WARE~~ ~~VA~~ ~~12200~~ ~~RD~~ ~~W~~ ~~100~~ ~~FT~~ ~~W~~ ~~100~~ ~~FT~~

the ~~owner~~ owners of Lot 18, Hillcrest

adjacent to Dr. Jeffrey Lazarus
31 S. River Road
owned by a portion of Lot #4, plat of Arbella
Sewall's Point

have examined the drawings for the proposed project and have no objection to the project.

Dale R. Taft
Winifred W. Taft

Notary:

STATE OF ~~FLORIDA~~ OF VIRGINIA
COUNTY OF ~~MARTIN~~ OF FAIRFAX

I HEREBY CERTIFY that on this day, before me, as officer duly authorized in the State aforesaid and in the county aforesaid to take acknowledgments, personally appeared DALE R. TAFT AND

WINIFRED W. TAFT

to me known to be the person/persons described in and who executed the foregoing instrument and acknowledged before that executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 22nd day of December A.D. 1987

Rammi R. Taft

Notary Public,
My commission expires Nov. 2, 1990

VERIFICATION OF PARCEL CONTROL NUMBER

(To Be Completed By Applicant)

RECEIVED SEP 25 1987

LEGAL DESCRIPTION:

SECTION 01 TWNSP 38 RANGE 41 BLOCK 4 LOT 4

SUBDIVISION A Portion of Lot 4, Plat of Arbella Sowalls Point

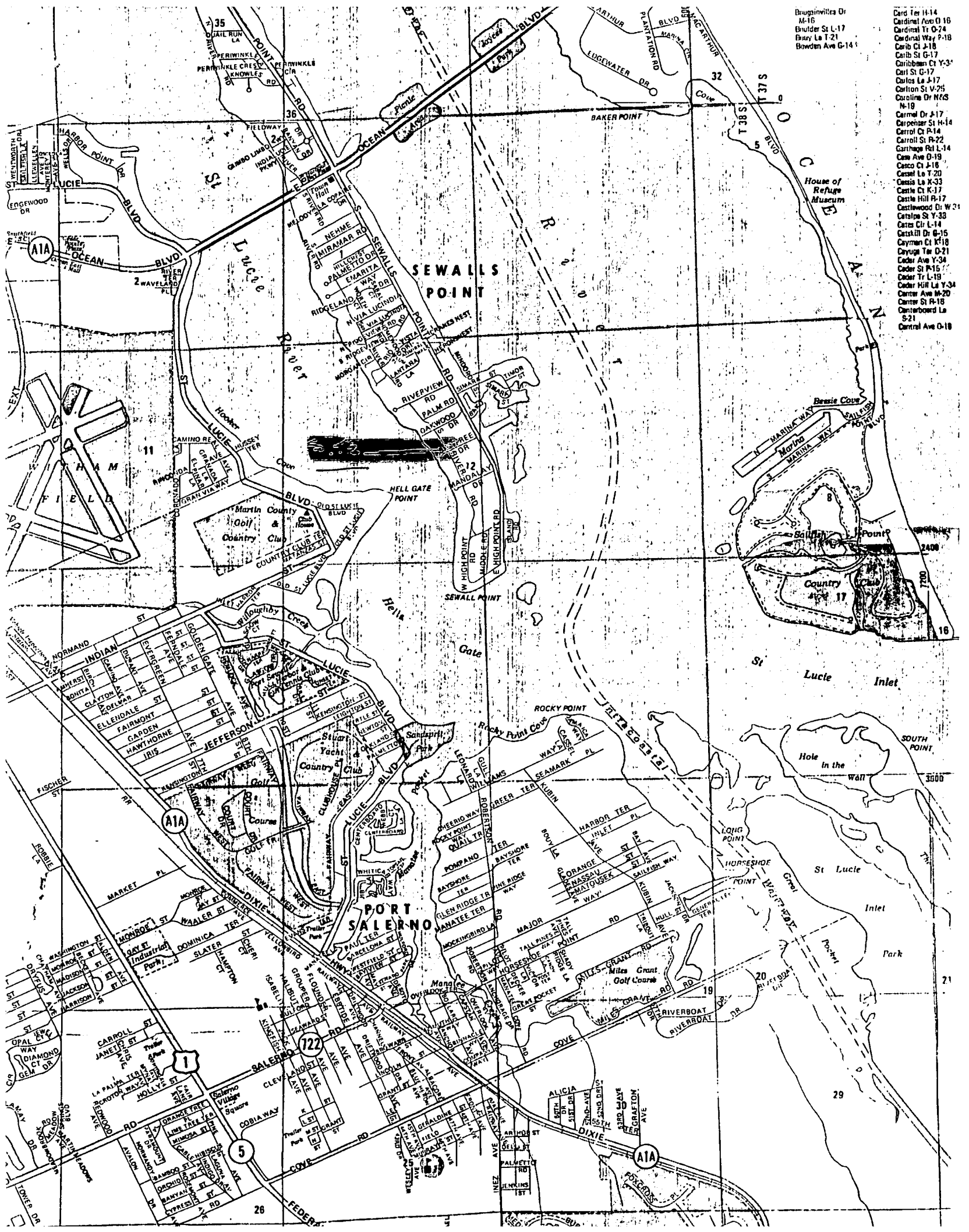
ADDRESS 31 S. River Rd Stuart, Florida

(To Be Completed By Property Appraiser's Office)

THE PARCEL CONTROL NO. FOR THE ABOVE REFERENCED PROPEPTY IS:

01-38-41-001-004-00040 / 5

Signed Paula B. Hurst
Property Appraiser's Office



- Drugginsville Dr
- M-16
- Blutler St L-17
- Bray La T-21
- Briden Ave G-14
- Card Ter H-14
- Cardinal Ave O-16
- Cardinal Tr O-74
- Cardinal Way F-18
- Carib Ct J-18
- Carib St G-17
- Caribbean Ct Y-31
- Carl St G-17
- Carlos La J-17
- Carlton St V-25
- Caroline Dr N-5
- N-19
- Carmel Dr J-17
- Carpenter St H-14
- Carroll Ct R-14
- Carroll St R-22
- Carriage Rd L-14
- Casa Ave O-19
- Casco Ct J-16
- Cassell Lo T-20
- Cassia La X-33
- Castle Ct K-17
- Castle Hill R-17
- Castlewood Dr W-21
- Catalpa St Y-33
- Cates Ct L-14
- Castell Dr G-15
- Cayman Ct F-18
- Cayuga Tr O-21
- Cedar Ave Y-34
- Cedar St R-15
- Cedar Tr L-19
- Cedar Hill La Y-34
- Center Ave M-20
- Center St R-18
- Centerboard La S-21
- Central Ave O-18

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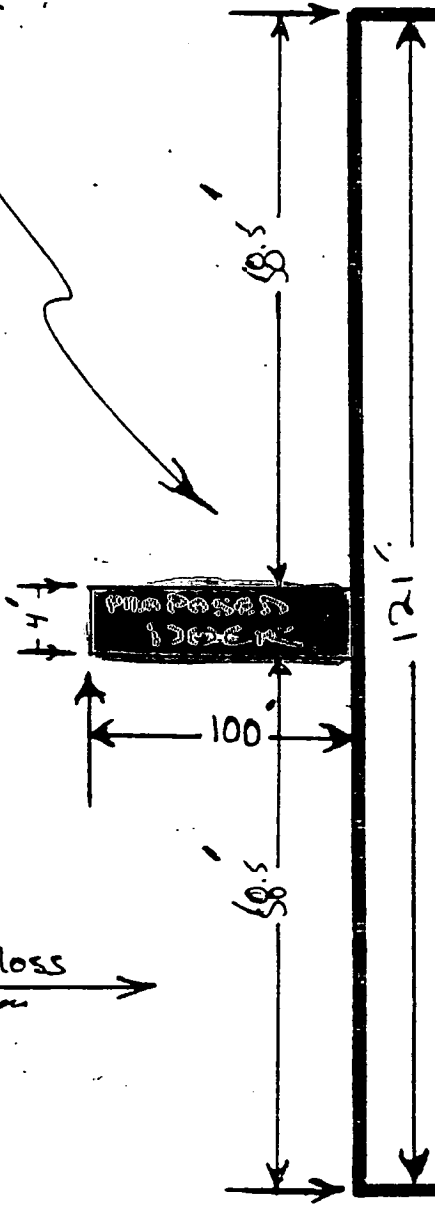
2

1

St. Lucie River

Across

NOTE:
No Handrails
in Dock
Areas.



LOT # 4
SEWALLS POINT

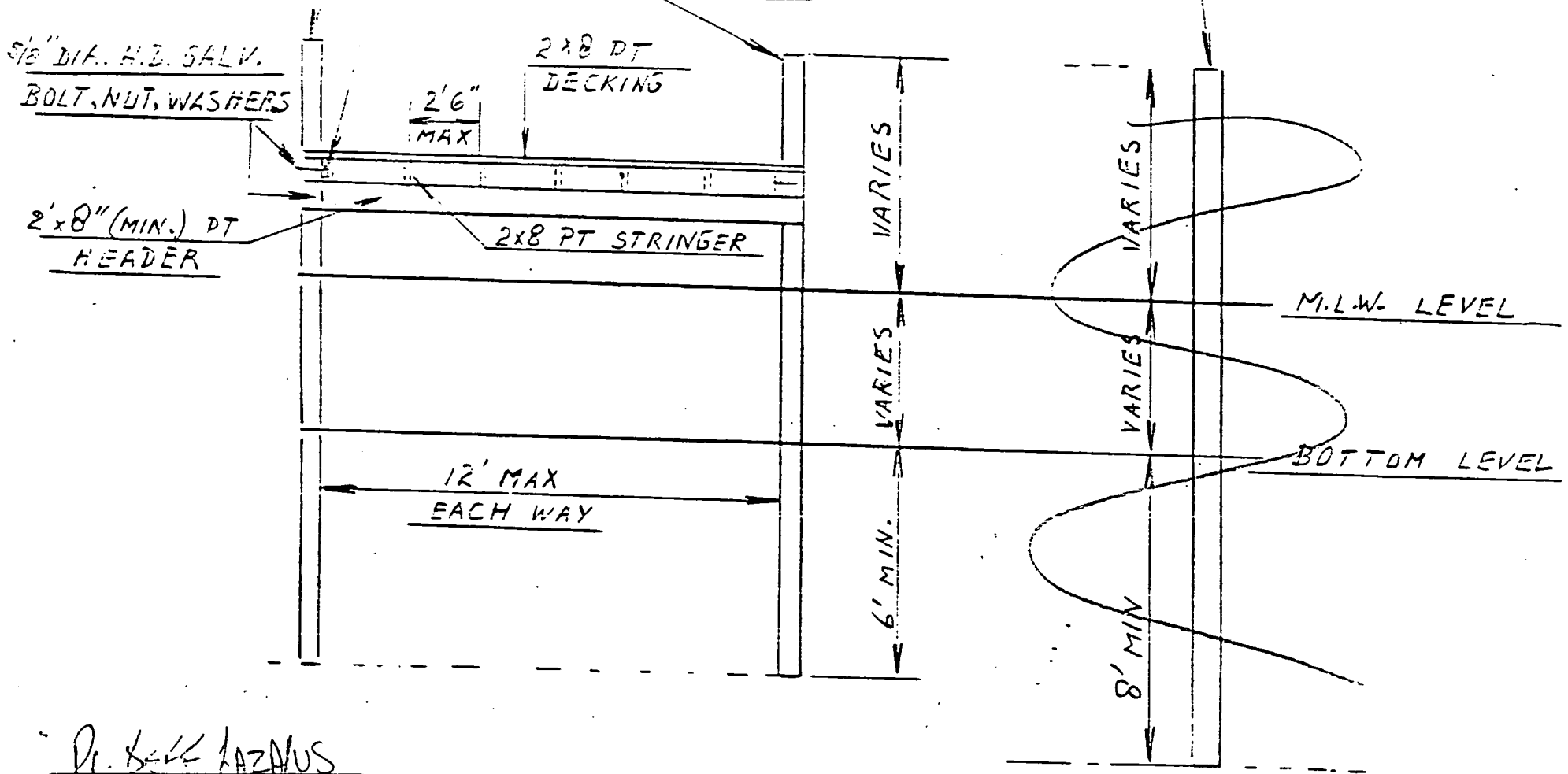
HITIDE MARINE CONST., INC.
3191 S.E. Waler Street
Stuart, FL 33497
Ph: (305) 283-9354

Dr. SEYMOUR LAZARUS
31 S. RIVER ROAD
SEWALLS POINT FL
SEPT 21/07. Vol 3 and 4

2" (MIN. BUTT DIAM) CCA (2.5#/FT³)

8" (MIN. BUTT DIAM)
(CCA 2.5#/FT³)

2-2x8 PT STRINGER
T-BOLTED TO PILING



Dr. Kelle LAZARUS
31. S. RIVER ROAD
SEWELL Pt. FL.
3348 1st St. Dunedin, FL

DOCK SECTION
1/4" = 1' 0"

TIE PILING

H. TIDE MARINE CONST.
PIE PILING SECT.

2329

POOL

Permit No. _____

Date 6-16-88

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

2329

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner JEFFERY LAZARUS Present Address _____

Phone _____

Contractor ALLEN POOLS, INC Address 10110 S. US # 1

Phone 335-5300 PORT ST LUCIE, FL

Where licensed STATE CERTIFIED License number CPCO 29630

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: POOL AND PATIO

State the street address at which the proposed structure will be built:

33 S. RIVER ROAD SEWALLS POINT, FL

Subdivision ARABELLA Lot number 4 Block number _____

Contract price \$ 13,000.00 Cost of permit \$ 100.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner ~~red-tacking~~ the construction project.

Contractor X [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner X Jackie Lazarus

Date submitted 6/30/88 TOWN RECORD Approved: Dale Brown 6/30/88
Building Inspector Date

Approved: _____ Commissioner Date Final Approval given: _____ Date

Certificate of Occupancy issued (if applicable) _____ Date

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

2452

FENCE

Permit No. _____

Date _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner LAZARUS Present Address 31 S. RIVER RD

Phone _____

Contractor ALL AMERICAN FENCE Address 554 N.W. MARION AVE

Phone 335-0928

Where licensed MARTIN License number S100872

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: 4' CHAIN LINK FENCE

~~31 S. RIVER RD~~

State the street address at which the proposed structure will be built:

31 S RIVER RD

Subdivision ARABELLA Lot number 4 Block number _____

Contract price \$ 2369 Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor *Michael J. Dempsey*

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner *Jackie Lazarus* M.D.

TOWN RECORD

Date submitted _____ Approved: _____ Building Inspector _____ Date _____

Approved: _____ Commissioner _____ Date _____ Final Approval given: _____ Date _____

Certificate of Occupancy issued (if applicable) _____ Date _____

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.



All American Fence Contractors Inc.

554 N.W. Marion Ave • Port St. Lucie, FL 34983
(407) 335-0928 / 878-1650

LICENSES
St. Lucie County #2151
Indian River County #1060
Martin County #00872
State of Florida #RX0054663

Date 11-16-88

Name <u>John T. Hill Coast</u>		Job Name <u>Mr. Lazarus</u>	
Address <u>PO Box 1516</u>		Job Address <u>31 S. River Rd.</u>	
City <u>Fort Pierce FL 34985</u>		County <u>Sarasota FL</u>	
Phones		Job Phone	Installation Date Week of:

LEGAL DESCRIPTION

Lot <u>4</u>	Block	Section <u>Arabella</u>	Plat	Subdivision
--------------	-------	-------------------------	------	-------------

SPECIFICATIONS

Top Rail Straight
 Follow Contour
 Split
 Knuckle Up
 Barb Up
 Lines Clear of Obstruction

CHAIN LINK Black System

Total Footage 229' of 4" 44' of 6"

Height 4' x 6" Black

Gauge Wire 9 Black

Dia. Top Rail 1 3/8" 1 5/8"

Dia. Line Post 1 5/8" 2"

Dia. Terminal Post 2 1/2"

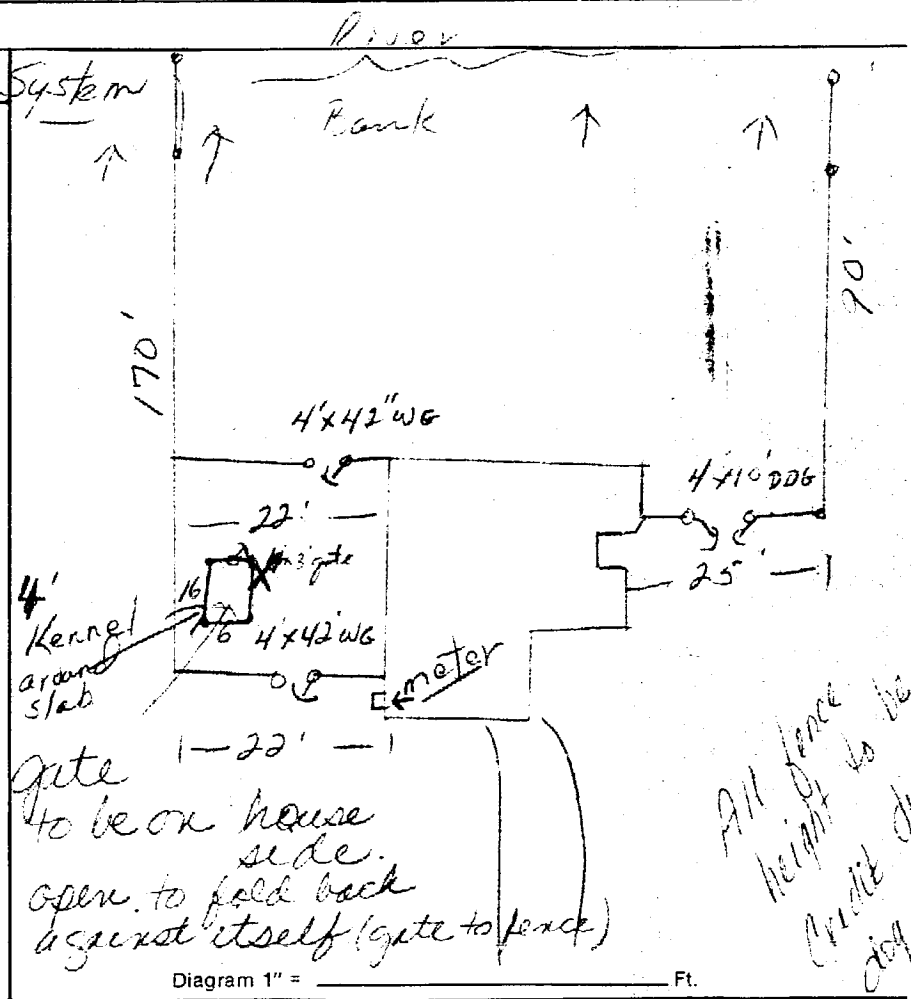
Dia. Gate Post 2 1/2"

Gates 2 ea. 4' x 42'

Sizes 1 ea. 4' x 10' DDG
1 ea. 3' x 6'

Tension Wire around Kennel

Specialty Items



WOOD

Style _____

Height _____

Stain _____

Sections _____ In Out

All material is guaranteed to be as specified. All work is to be completed in a workmanlike manner according to standard practice. Any alteration or deviation from specifications involving extra costs will be executed only upon written orders. and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry Fire, Tornado and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance.

THE FENCE REMAINS THE PROPERTY OF ALL AMERICAN FENCE CONTRACTORS INC. UNTIL CHARGES ARE COMPLETELY PAID.

ALL AMERICAN FENCE CONTRACTORS INC. IS NOT RESPONSIBLE FOR PROPERTY LINES OR UNDERGROUND UTILITIES, INCLUDING SPRINKLER SYSTEMS.

Total Price 12369.00

Deposit 1/2 HOME

Balance Due on Completion 1/2 PAID IN FULL

Authorized Signature William [Signature]

ACCEPTED: The above prices, specifications and conditions are satisfactory and are hereby accepted. you are authorized to do the work as specified. Payment will be made as outlined above)

Date 11-23-88

Signature Sadie Lazarus

3109

DOCK

Permit No. _____

Date _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

3109

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Dr. & Mrs. LAZARUS Present Address 31 South River Rd.

Phone (407) 288-6587 STUART, FL 34996

Contractor Blue Water Marine Const. Inc. Address 2497 SE. Dixie Hwy.

Phone (407) 286-5181 STUART, FL 34996

Where licensed Martin License number SP01560

Electrical contractor NA License number _____

Plumbing contractor NA License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Dock construction

State the street address at which the proposed structure will be built:

31 South River Rd.

Subdivision Arbella Lot number 4 Block number 0

Contract price \$ 8400.00 Cost of permit \$ 200.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Wade E. [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Other: Jaqueline Lazarus

TOWN RECORD

Date submitted _____ Approved: Dale Brown 12/13/91
Building Inspector Date

Approved: _____ Commissioner Date Final Approval given: _____ Date

Certificate of Occupancy issued (if applicable) _____
Date

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code



DEPARTMENT OF THE ARMY
MIAMI FIELD OFFICE, 8410 NW 53RD TERRACE MONTEREY BLDG., SUITE 225
MIAMI, FLORIDA 33166-4565

28 August 1990

REPLY TO
ATTENTION OF
Regulatory Section
Miami
90GP30226

Jackie Lazarus
c/o Blue Water Marine Construction
2497 S.E. Dixie Hwy
Stuart, Fl 34996

Dear Ms. Lazarus:

Re: access ramp extension 34'x4' with "L"
section 16'x12' and moving 3 existing
mooring piles waterward and existing
boat-lift removal, Martin County

Reference is made to your request for a Department of the Army permit.

The project as proposed is authorized by General Permit 20, a copy of which is enclosed for your information and use. You are authorized to proceed with the project in accordance with the enclosed drawings subject to all conditions of the permit.

This letter of authorization does not obviate the necessity to obtain any other Federal, State, or local permits which may be required.

It appears that a permit from the Florida Department of Environmental Regulation may be required. A list of addresses of the appropriate State offices is enclosed for your information and use.

Thank you for your cooperation with our permit program.

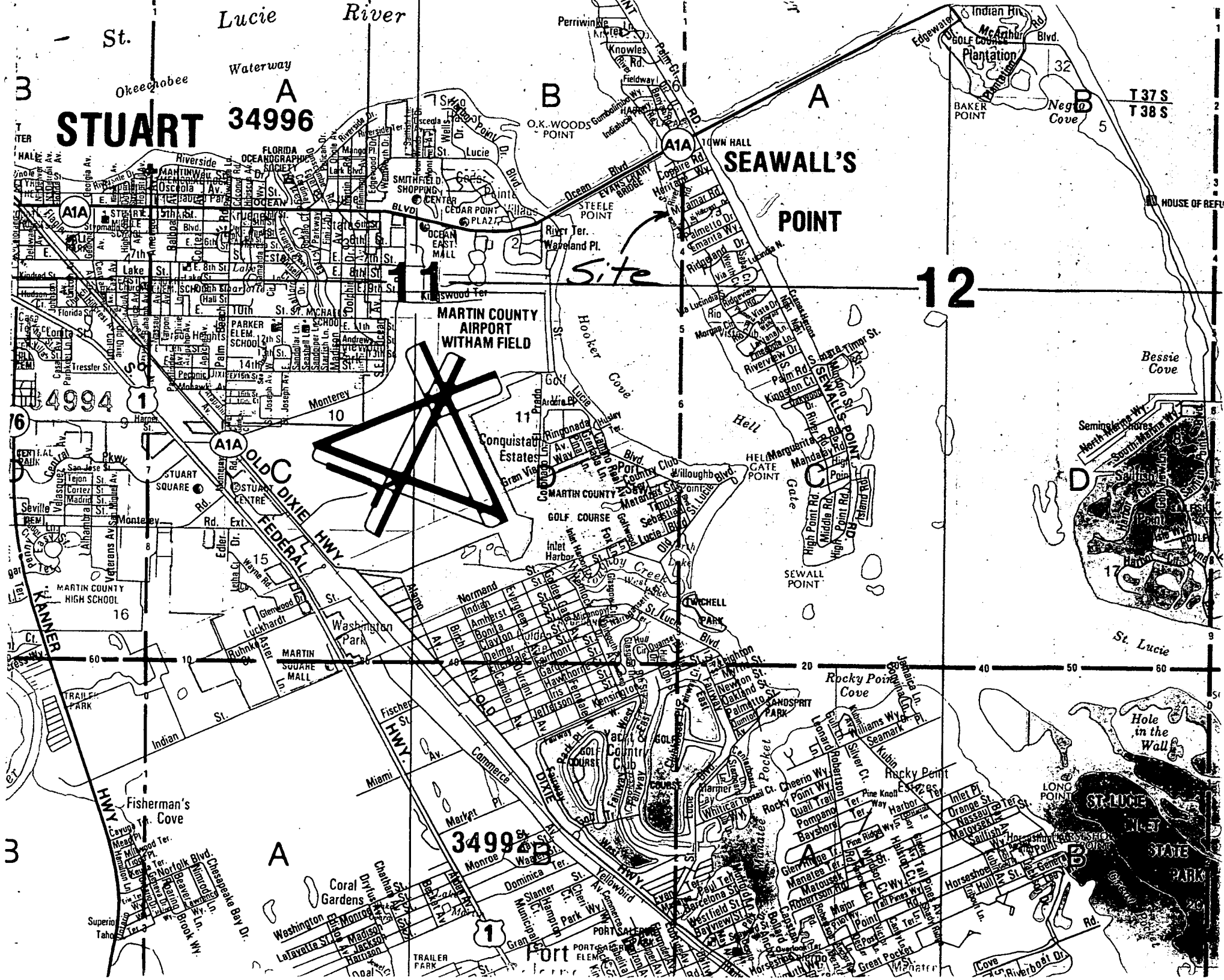
Sincerely,

Charles A. Schnepel
Charles A. Schnepel
Chief, Regulatory Section

DOCK SPECIFICATIONS

1. Pilings shall be 8 inch minimum butt diameter marine pressure treated to 2.5 pounds per cubic foot C.C.A. treatment.
2. Framing and decking shall be 2" X 8" yellow pine treated to 0.25 pounds per cubic foot C.C.A. treatment.
3. All headers shall be 2" X 8" bolted through pilings with 5/8" diameter hot dip galvanized bolts.
4. Outside and inside framing shall be double 2" X 8" bolted through pilings with 5/8" diameter hot dip galvanized bolts.
5. Intermediate framing shall be 2" X 8" and spaced a maximum of thirty inches between framing. All intermediate framing shall be lapped over headers.
6. Decking shall be nailed with hot dip galvanized ring shank nails. (Stainless steel ring shank nails are an extra cost option.)
7. All dock pilings shall have a minimum penetration of six feet into solid bearing bottom. Silt and mud penetration is not counted in the six foot penetration specification.
8. All tie pilings (dolphin) and lift support pilings shall have a minimum penetration of eight feet into solid load-bearing bottom.
9. Dock shall be 1" X 2" edged.
10. All work meets or exceeds all applicable Federal, State, of Florida and local codes.

BLUE WATER MARINE CONSTRUCTION
2497 S.E. Dixie Hwy.
Stuart, Florida 34996
(407) 286-5181



STUART 34996

SEAWALL'S POINT

MARTIN COUNTY AIRPORT WITHAM FIELD

Site

12

34996

ST. LUCIE INLET STATE PARK



Tom Gardner, Executive Director

PLEASE ADDRESS REPLY TO:

FLORIDA DEPARTMENT OF NATURAL RESOURCES

Marjory Stoneman Douglas Building
3900 Commonwealth Boulevard
Tallahassee, Florida 32399

September 13, 1991

Southeast Florida Field Office
7400 N. S. Georgia Ave.
West Palm Beach, FL 33405

Ms. Jackie Lazarus
c/o Blue Water Marine Construction
2497 S.E. Dixie Hwy
Stuart, FL 34996

Dear Ms. Lazarus:

Re: File Number: 431819308
Applicant: Lazarus, Jackie

We have received your application to construct a single family dock. It appears as though the project may be consistent with the criteria outlined in the enclosed "General Consent Criteria" summary guideline. If so, please consider that as the authority sought from the Department of Natural Resources under Section 253.77, Florida Statutes, to pursue your project. If the project does not conform with the outlined criteria, please notify me in writing of the conflicts and the mitigating reasons why compliance is not possible.

This letter in no way waives the authority and/or jurisdiction of any governmental entity nor does this letter disclaim any title interest that the State may have in this project site.

Please be advise that your facility may be inspected to ensure compliance with the attached criteria and conditions as indicated by general consent condition no. 4.

Lawton Chiles
Governor

Jim Smith
Secretary of State

Bob Butterworth
Attorney General

Gerald Lewis
State Comptroller

Tom Gallagher
State Treasurer

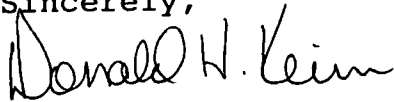
Bob Crawford
Commissioner of Agriculture

Betty Castor
Commissioner of Education

September 13, 1991
Lazarus
Page Two

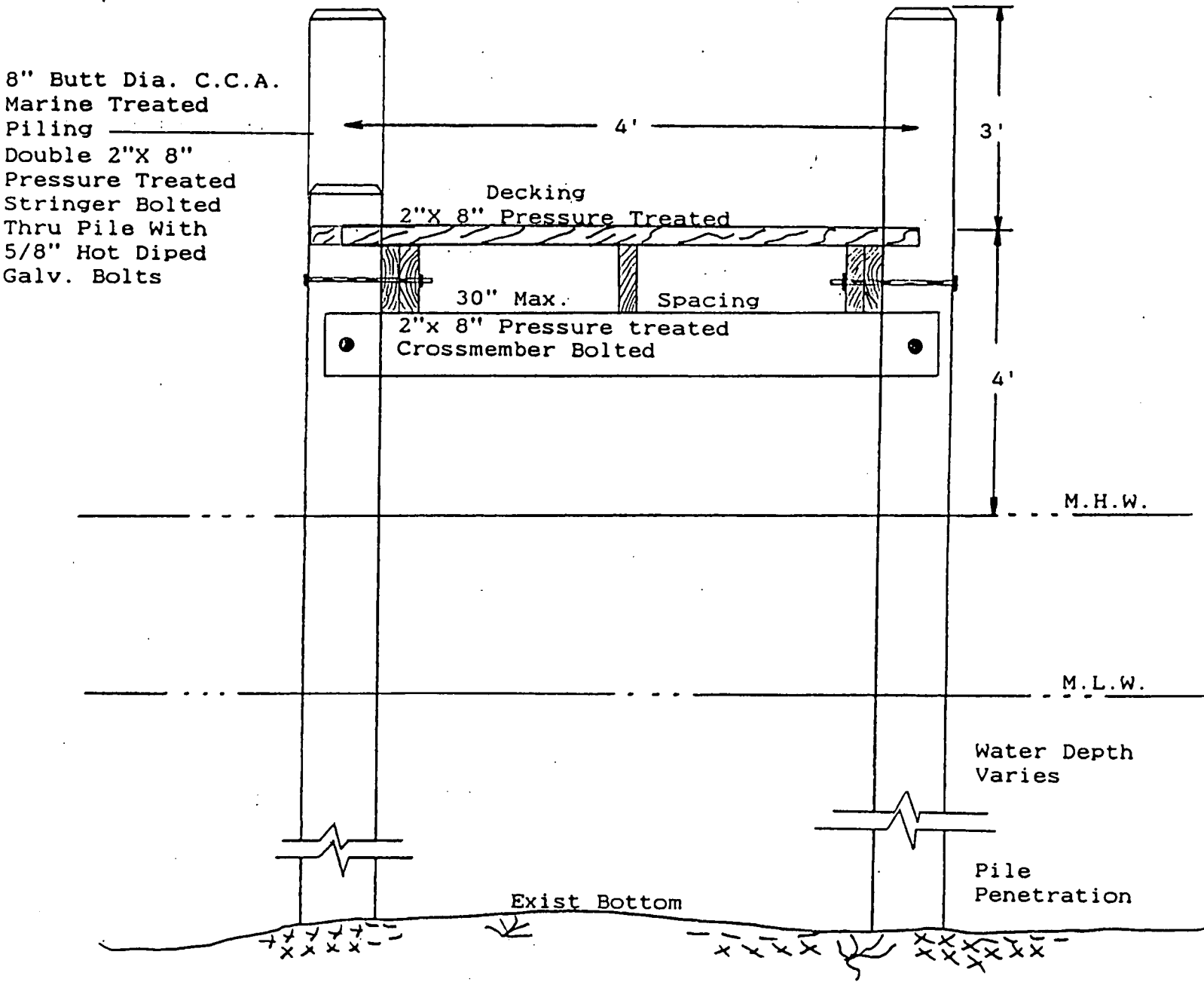
We appreciate your cooperation. If you have any questions,
please contact me at (407)547-5825.

Sincerely,

A handwritten signature in cursive script that reads "Donald H. Keirn".

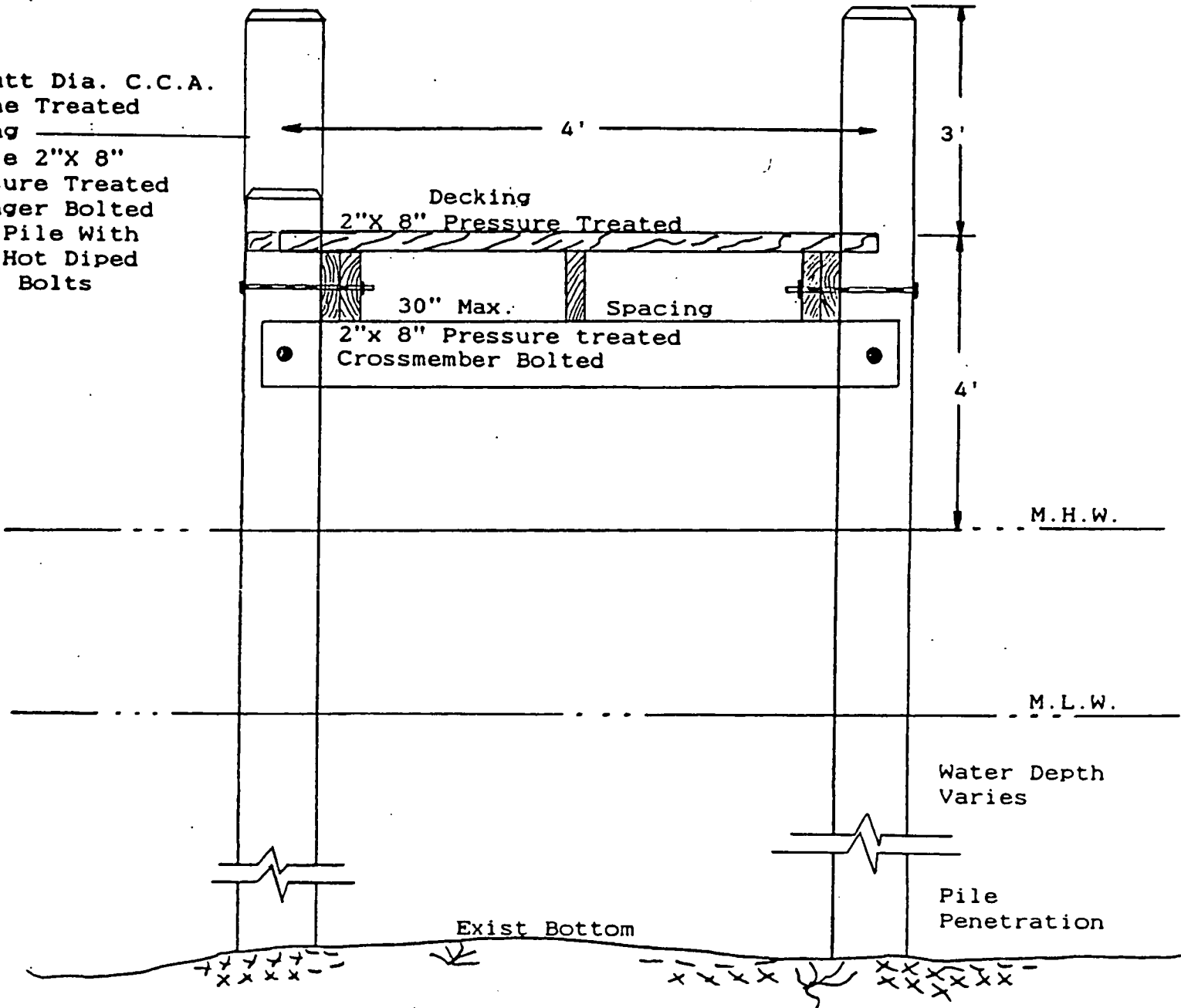
Donald H. Keirn
Division of State Lands
Southeast Florida Field Office

DHK/bd
Enclosure

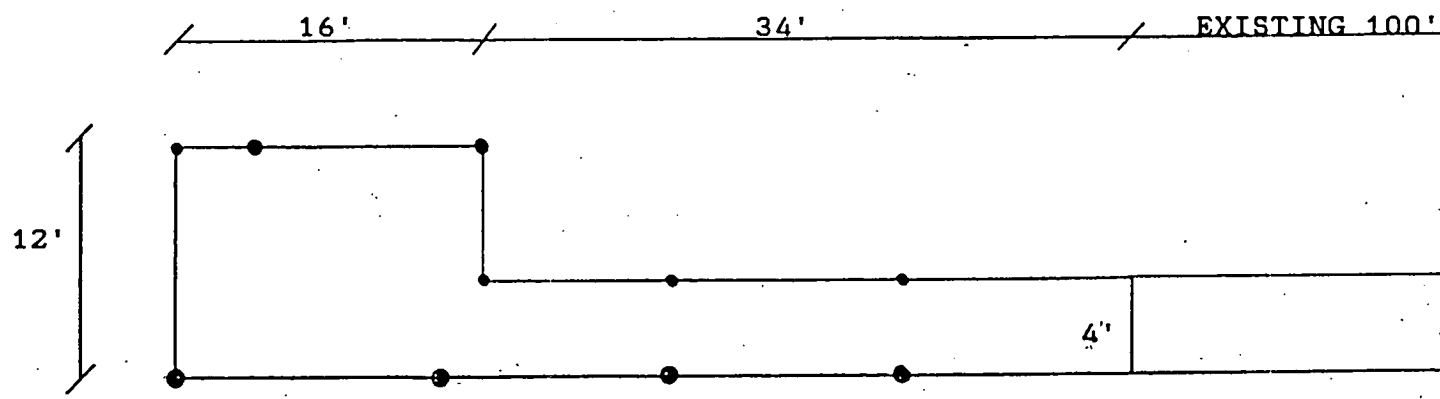


Dock Cross Section

8" Butt Dia. C.C.A.
Marine Treated
Piling
Double 2"x 8"
Pressure Treated
Stringer Bolted
Thru Pile With
5/8" Hot Diped
Galv. Bolts

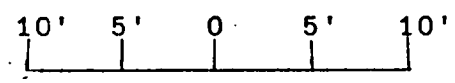
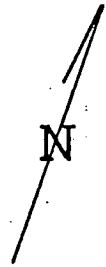


Dock Cross Section



FLORIDA
DEPARTMENT OF ENVIRONMENTAL
REGULATION
EXEMPT
PURSUANT TO F.S. 403.813(2)(b)
DATE JUL 03 1990
SIGNATURE *Tom Franklyn*

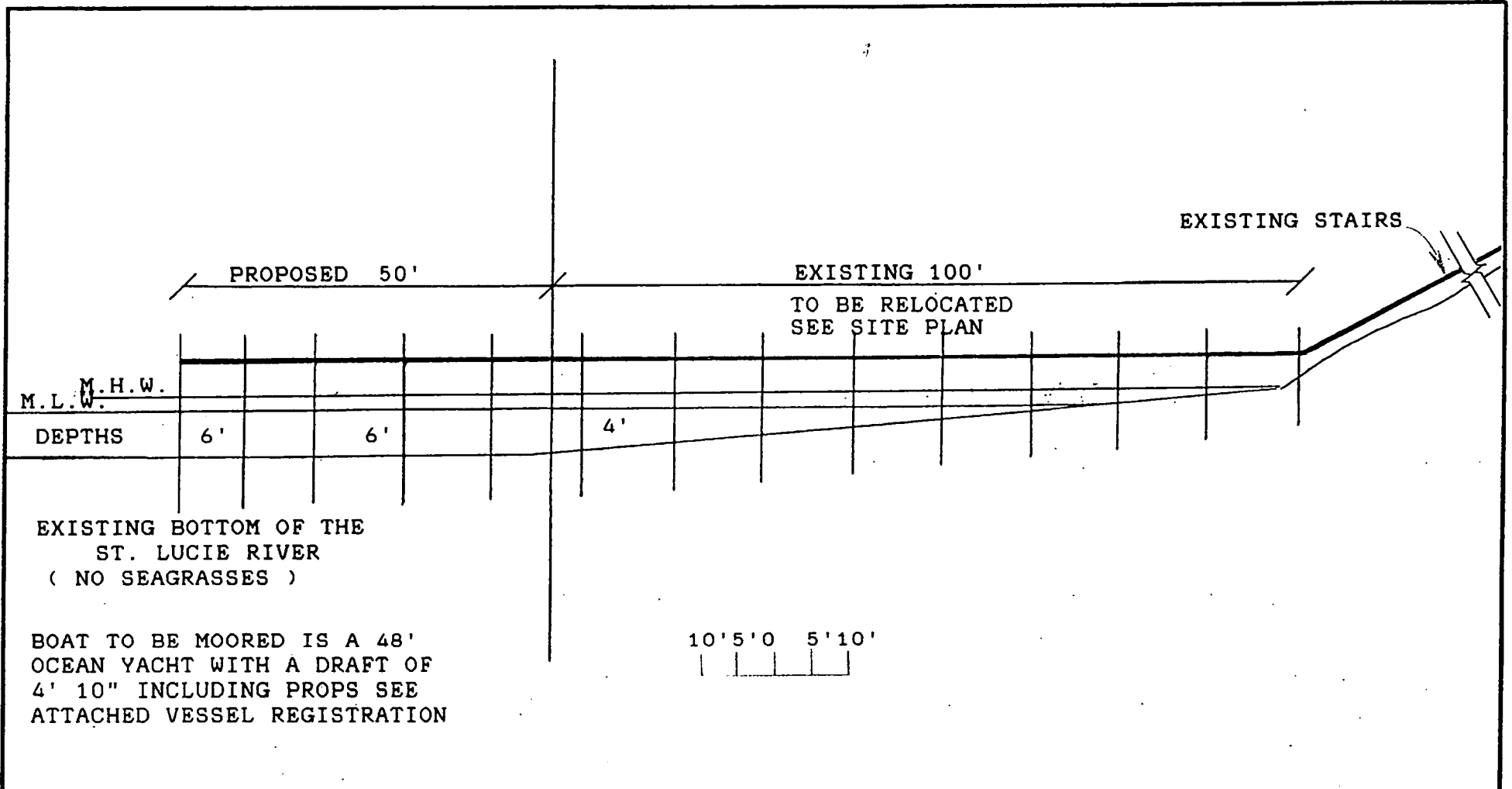
ST. LUCIE RIVER



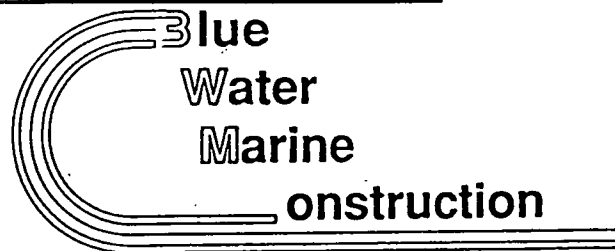
(3) MOORINGS MOVED FROM EXISTING LOCATION AS SHOWN ON SITE PLAN

Blue
Water
Marine
Construction

PROJECT: DOCK CONSTRUCTION Jeffery Lazarus 31 S. River Rd. Sewalls Pt. Stuart, FL 34996		
SCALE: 1" = 10'	APPROVED BY: <i>Wade E. Dickerson</i>	DRAWN BY WED
DATE: 5/24/90		REVISED
PERMITS: State, Local		
		DRAWING NUMBER



CROSS SECTION

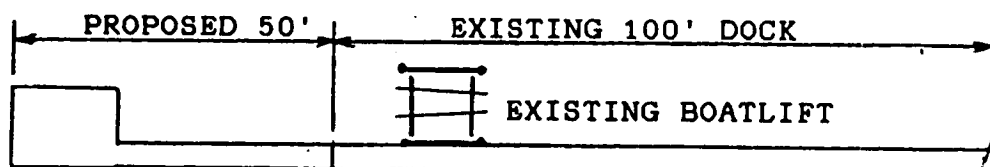


PROJECT: DOCK CONSTRUCTION Jeffery Lazarus 31 S. River Rd. Sewalls Pt. Stuart, FL 34996		
SCALE: 1" = 20'	APPROVED BY: <i>Wanda E. Robinson</i>	DRAWN BY WED
DATE: 5/24/90		REVISED 6/6/91
PERMIT: State, Local		
		DRAWING NUMBER

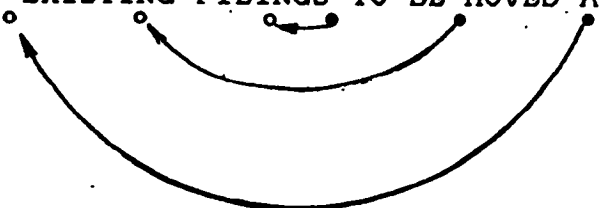
2497 S.E. Dixie Highway, Stuart, FL 34996 ↓ (407) 286-5181

ST. LUCIE RIVER

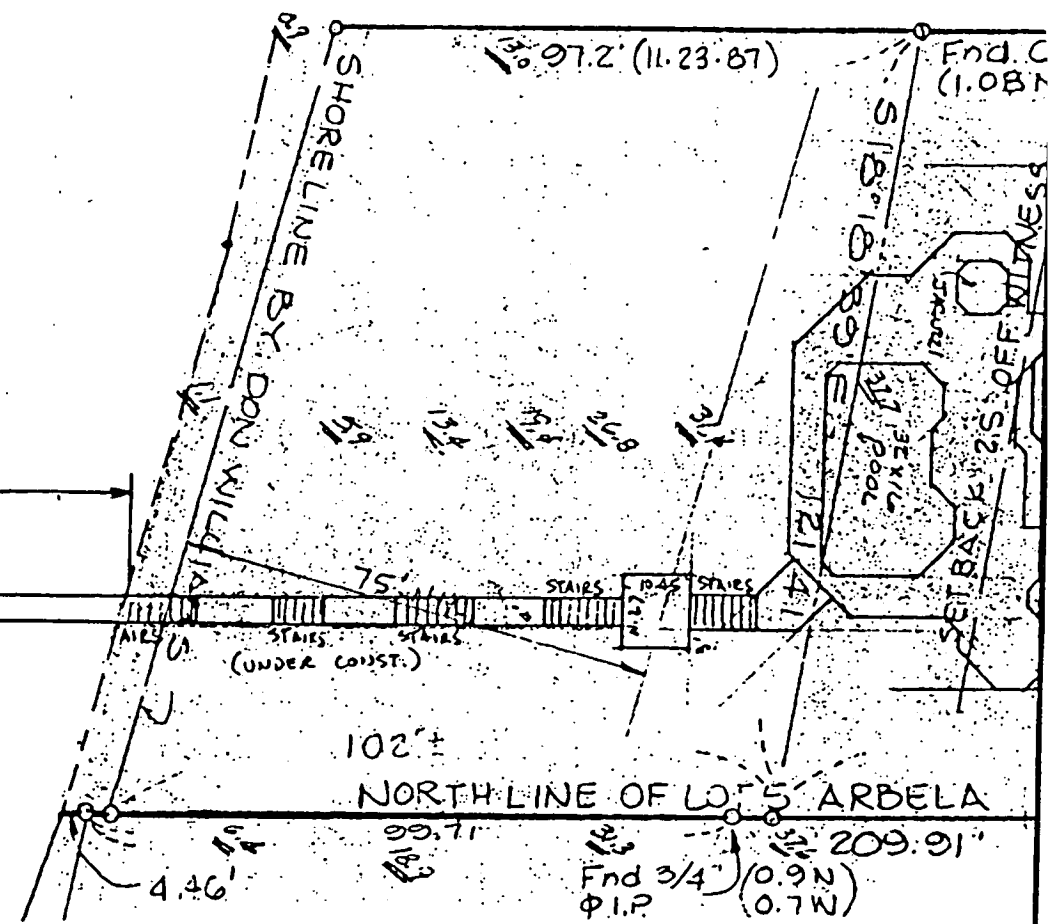
N



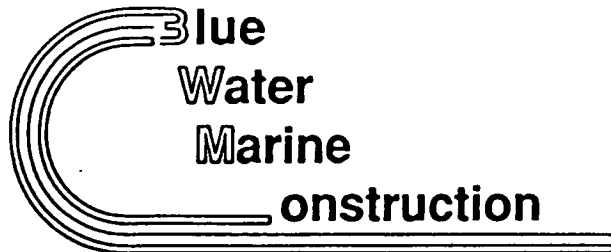
EXISTING PILINGS TO BE MOVED AS SHOWN



20' 10' 0 10' 20'

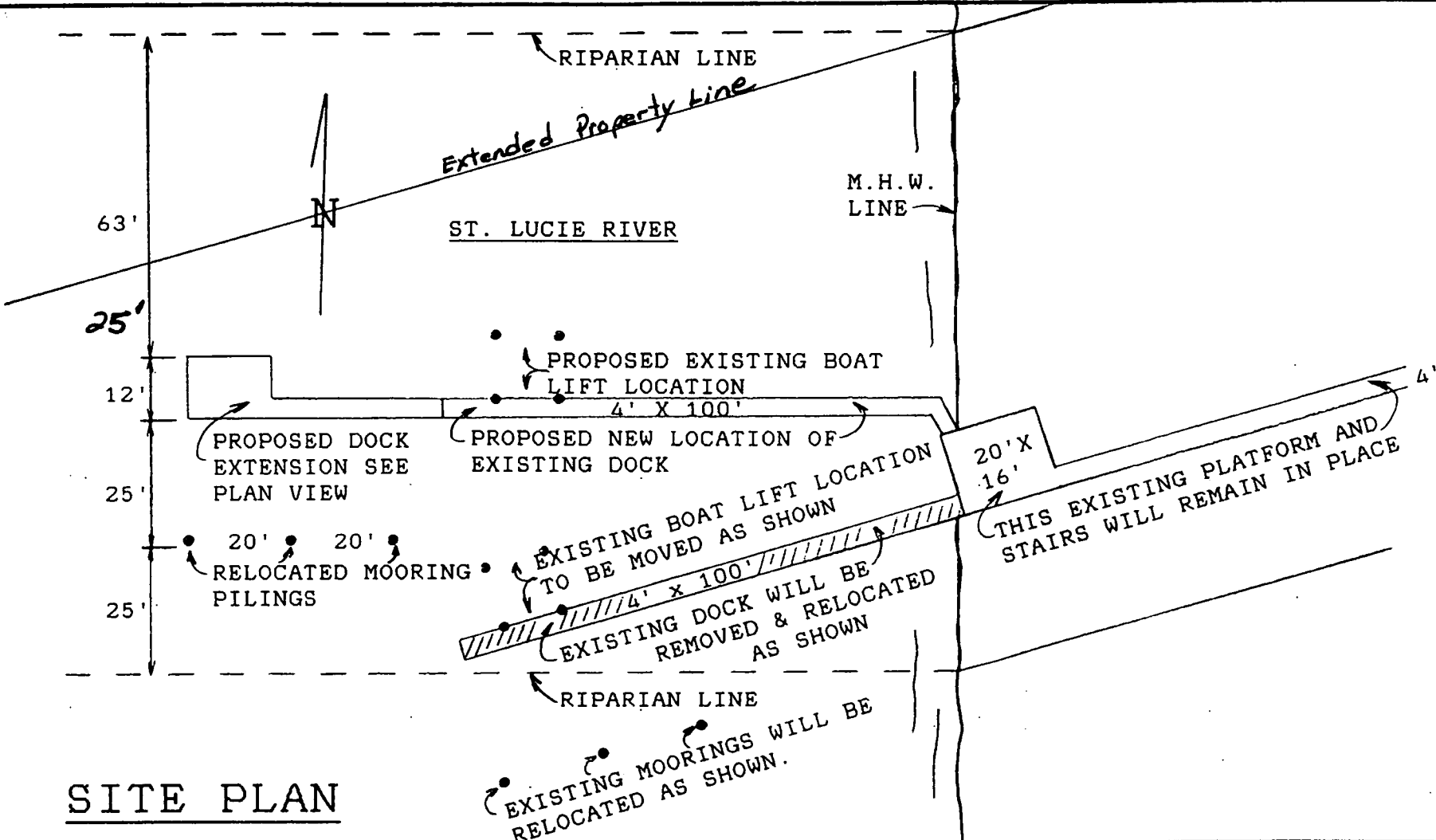


SITE PLAN

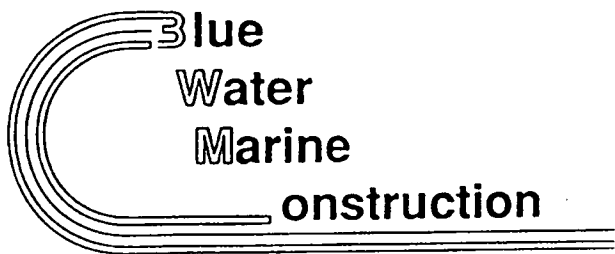


PROJECT: DOCK CONSTRUCTION Jeffrey Lazarus 31 S. River Rd. Sewells Pt. Stuart, FL 34996		
SCALE: 1" = 30'	APPROVED BY: <i>W. E. Dickman</i>	DRAWN BY WED
DATE: 5/24/90		REVISED
PERMIT: State, Local		
		DRAWING NUMBER

2497 S.E. Dixie Highway, Stuart, FL 34996 ↓ (407) 286-5181



SITE PLAN



PROJECT: Dock Relocation and Proposed Dock Extension Jeffrey Lazarus 31 S. River Rd., Sewells Pt., Stuart, FL 34996		
SCALE: 1" = 30'	APPROVED BY:	DRAWN BY WED
DATE: 5/24/90		REVISED 6/6/91
PERMIT: Federal, State, Local		
		DRAWING NUMBER

DEPARTMENT OF NATURAL RESOURCES
DIVISION OF STATE LANDS
BUREAU OF SUBMERGED LANDS AND PRESERVES

May 28, 1991

I. General Consent Criteria:

- (A) The following activities are hereby authorized by the Department, provided that (1) the activities comply with the conditions specified below and those listed in paragraphs (B), (C), and (D) of this section, (2) the activity is not located in an aquatic preserve, state park, or State or Federally designated Wild and Scenic River, or Monroe County, (3) the applicant is the upland riparian property owner, and (4) the shoreline at the site is not subject to any conservation easement or restrictive covenant.
1. The construction of a private residential single dock, including pier, access pier, terminal platform, boat hoist, stairways, walkways, mooring pilings, and boathouse, provided that:
 - a. No dredging activities are required;
 - b. The cutting, trimming, removal, or destruction of wetland vegetation is restricted to the minimum amount necessary to construct the dock;
 - c. The dock is not used for revenue generating or income related activities;
 - d. The dock is designed and constructed to accommodate no more than two vessels;
 - e. The dock does not include or accommodate non-water dependent structures (e.g., gazebos, sundecks, screen houses, or other enclosed or semi-enclosed structures);
 - f. The dock does not extend waterward of the mean or ordinary high water line more than 500 feet, or 25 percent of the width of the waterbody at the location of the dock, or to a water depth greater than minus four feet at mean low water, whichever is less;
 - g. The water depth at the dock is adequate for the proposed boat use;
 - h. If the dock is constructed adjacent to a bulkhead and the water depth adjacent to the bulkhead is minus 4 feet at mean low water, the dock shall not extend more than 25 feet from the bulkhead;
 - i. The dock and associated structures shall not be located within 25 feet of riparian property lines;
 - j. The main access pier is not more than 6 feet wide;
 - k. The area of the terminal platform is no more than 250 square feet;

1. The boat house:
 - (1) Does not exceed 500 square feet;
 - (2) Is not enclosed or include sundecks, living quarters, storage rooms, or stairways or ladders providing access to the roof;
 - (3) Does not include catwalks inside the covered area that are more than 3 feet wide; and,
 - (4) Contains a roof with a slope of at least 4 horizontal: 1 vertical; and,
- m. No living, fueling or storage facilities are included.
2. Non-commercial, single boat mooring buoys.
3. Minor activities or temporary structures required to remove wrecked, abandoned, or disabled vessels, or removal of man-made obstructions to navigation, but not including maintenance dredging, shoal removal, or river bank snagging.
4. Repair or replacement of existing private residential single docks that are consistent with the criteria outlined in section (A)1.
5. The installation, repair or replacement of riprap, provided that:
 - a. If the riprap is subject to the permitting requirements of Chapter 161, Florida Statutes; it has been authorized pursuant to Chapter 161, Florida Statutes;
 - b. Clean rock material free of metal products, organic materials, and unsightly debris is used;
 - c. The toe of the riprap is located at or within 10 feet of the mean or ordinary high water line;
 - d. The slope is not greater than 2 horizontal: 1 vertical;
 - e. The length does not exceed 150 linear feet;
 - f. It does not damage or destroy wetland vegetation on sovereign lands;
 - g. Only a minimum amount of material is used; and,
 - h. The activity is necessary to prevent erosion or is required as part of an authorization granted by another agency.

6. The installation, repair or replacement of seawalls, provided that:
 - a. The structure is not subject to the permitting requirements of Chapter 161, Florida Statutes;
 - b. Any new seawall is located landward of the mean or ordinary high water line, while the repair or replacement of an existing seawall is located at or within 18 inches of the existing seawall;
 - c. Any fill associated with the structure shall be landward of the seawall;
 - d. The structure does not damage or destroy wetland vegetation on sovereign, submerged lands;
 - e. The length of the structure does not exceed 150 linear feet;
 - f. Riprap is installed at the toe of seawall pursuant to the conditions in paragraph 5 above; and,
 - g. No more than the minimum dredging or excavation necessary to install, repair or replace the structure is undertaken.
- (B) In addition to the above conditions, the following special conditions must be complied with in order for the General Consent set forth in paragraph (A) of this section to be valid:
1. The structure or activity shall not interfere with navigation;
 2. The structure or activity shall not take place in a concentrated shellfish area;
 3. The structure or activity shall not harm or injure an endangered or threatened species nor adversely impact critical habitat of such species;
 4. The structure shall be properly maintained;
 5. All state, local, and federal approvals are obtained or waived, including the issuance of permits by the Florida Department of Environmental Regulation and the U.S. Army Corps of Engineers; and,
 6. The structure or activity is undertaken to avoid or minimize the impact on wetlands, benthic communities, shellfish areas, and aquatic plant and animal species.
- (C) The General Consent Criteria does not grant any property rights or exclusive privilege or authorize any injury to property or right of others.
- (D) The General Consent Criteria for private residential single docks does not authorize a developer to construct any docks nor does it allow a single property owner within a residential development to construct more than one private single-family residential dock.

Page 4
May 28, 1991.

If the above criteria and conditions are met, consider this the authority sought from the Department of Natural Resources under Section 253.77, Florida Statutes, to pursue your project. Please check for local requirements. Where local governments have more stringent standards and criteria, the more stringent standards shall prevail. You must also obtain a permit or exemption from the Department of Environmental Regulation and the U.S. Army Corps of Engineers.

Please retain this as part of your permanent file since your project may be inspected by authorized state personnel and it may be needed for future reference. This consent does not waive the authority and/or jurisdiction of any other governmental entity, nor does it disclaim any title interest that the State may have in the project site.

Please note that, should you violate the above standards and criteria, you could be subject to administrative fines pursuant to Chapter 18-14, Florida Administrative Code. THE MINIMUM FINE IS \$500.

Bureau of Submerged Lands
and Preserves
Division of State Lands
Department of Natural Resources

TO WHOM IT MAY CONCERN:

I/~~we~~ Peter Lopilato

the owner/~~owners~~ of Lot 3 Arbela S/D 28 S. River Rd.
adjacent to 31 S. River Rd
owned by Jeffrey LAZARUS

have examined the drawings for the proposed project and have
no objection to the project.

Peter Lopilato

Notary:

STATE OF FLORIDA

COUNTY OF MARTIN

I HEREBY CERTIFY that on this day, before me, as officer duly
authorized in the State aforesaid and in the county aforesaid to
take acknowledgments, personally appeared Peter Lopilato
to me known to be the person/persons described in and who executed
the foregoing instrument and acknowledged before that
executed the same.

WITNESS my hand and official seal in the County and State last
aforesaid this 4th day of Sept. A.D. 1991

Phyllis Lopilato
Notary Public,

my commission expires 8/1/95

TO WHOM IT MAY CONCERN:

I/We Michael and Genevieve Craig

the owner/owners of 6 St. Lucie Ct.

adjacent to 31 S. River Rd.

owned by Jeffrey Lazarus

have examined the drawings for the proposed project and have no objection to the project.

Michael Craig
Genevieve Craig

Notary:

STATE OF FLORIDA

COUNTY OF MARTIN

I HEREBY CERTIFY that on this day, before me, as officer duly authorized in the State aforesaid and in the county aforesaid to take acknowledgments, personally appeared Michael Craig or Genevieve Craig to me known to be the person/persons described in and who executed the foregoing instrument and acknowledged before that executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this Tues day of October 22 A.D. 1991

Ronda Coleman
Notary Public,

my commission expires

RECEIVED

JUN 08 1990

JOINT APPLICATION
DEPARTMENT OF THE ARMY/FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION
For Activities in the Waters of the State Dept. of Environmental Reg.

CORPS APPLICATION NUMBER (official use only)

DER APPLICATION NUMBER (official use only)

Port St. Lucie

431819308

1. APPLICANT'S NAME AND ADDRESS

JACKIE LAZARUS

NAME

311 South River Rd

STREET

SITUITA

CITY

FL 34996

STATE ZIP

TELEPHONE NUMBER (Day) (407) 288-6587 (Night) () Same

2. Name, address, zip code and title of applicant's authorized agent for permit application coordination

BLUE WATER MARINE CONSTRUCTION

2497 S.E. Dixie Hwy.

Stuart, Florida 34996

Telephone Number () (407) 286-5181

3. NAME OF WATERWAY AT LOCATION OF THE ACTIVITY.

St. Lucie River

DER Code: _____

W/W. Code: _____

4. LOCATION WHERE PROPOSED ACTIVITY EXISTS OR WILL OCCUR.

31 South River Rd
Street, road or other descriptive location

1
Section

385
Township

41E
Range

Sewalls Pt, Stuart
Incorporated city or town

Latitude

Longitude

Martin
County

Tax Assessor's Description: (if known)

Map No.

Subdiv. No.

Lot No.

5. NAME AND ADDRESS INCLUDING ZIP CODE OF ADJOINING PROPERTY OWNERS WHOSE PROPERTY ALSO ADJOINS THE WATERWAY.

(1) William Shaw
46 S Sewalls Pt Rd.
Stuart, FL 34996

(2) Peter Lopilato
29 S. River Rd
Stuart FL 34996

6. PROPOSED USE

Private Single Dwelling [X]
Commercial []

Private Multiple Dwelling []
Other [] (Explain in Part 5)

FLORIDA
DEPARTMENT OF ENVIRONMENTAL
REGULATION

EXEMPT

Page 1 of

DER FORM 17-12.900(1)

Effective November 30, 1982

PURSUANT TO

F.S. 403.813(2)(b)
JUL 03 1990

DATE

SIGNATURE Tom Franklin

7. DESCRIPTION OF PROJECT (Use additional sheets, if necessary)

A. Structures: 1. New work Maintenance of existing structure []

2. Piers, docks and use: Commercial [] Private Public []

a. Single pier length 50' width 4'

b. Number of piers [] length _____ width _____

c. Number of boat slips [] length _____ width _____

d. Number of finger piers [] length _____ width _____

e. Other (please describe) W/ 12' X 16 Terminal Platform

W/ 3. 50' dock extension length "L" shaped

a. Type: Vertical [] Riprap [] Slope: _____ Horizontal: _____ Vertical

b. Material to be used _____

4. Other type of structure _____

W/ B. Excavation or Dredging: New Work [] Maintenance work [] Total acreage involved _____

1. Access Channel [] or Canal [] Length _____ ft. Width _____ ft. Depth _____ ft.

2. Boat Basin [] or Boat Slip [] Length _____ ft. Width _____ ft. Depth _____ ft.

3. Other _____ Length _____ ft. Width _____ ft. Depth _____ ft.

4. Cubic yards: Total for project _____

a. _____ cyd. waterward/ _____ cyd. landward of ordinary/mean high water

b. Type of material to be excavated/dredged _____

W/ C. Fill:

1. Amount of material

a. Cubic yards placed waterward of ordinary/mean high water _____

b. Cubic yards placed landward of ordinary/mean high water _____

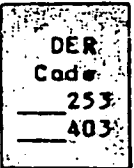
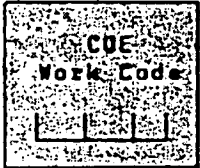
c. Total acreage to be filled _____ Total acreage of wetlands involved _____

2. Containment for fill

a. Dikes [] b. Seawall, etc. [] c. Other (please explain) _____

3. Type of fill material to be used _____

4. Source of fill material to be used _____



FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION EXEMPT PURSUANT TO F.S. 403.813 (2)(b) DATE JUL 03 1990 SIGNATURE Tom Franklin Page 2 of 4

7974

DOCK REPAIR

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 12-22-05

BUILDING PERMIT NO. 7974

Building to be erected for LAZARUS

Type of Permit Dock Repair

Applied for by O/B (Contractor)

Building Fee 240.00

Subdivision Aruba Lot Pt 4 Block _____

Radon Fee _____

Address 31 S. RIVER ROAD

Impact Fee _____

Type of structure SFR DOCK

A/C Fee _____

Parcel Control Number:

0138410010040004050000

Electrical Fee _____

Plumbing Fee _____

Roofing Fee _____

Amount Paid 330.00 Check # 5699 Cash _____

Other Fees (10% PR) 24.00
25% OB 66.00

Total Construction Cost \$ 34,345

TOTAL Fees 330.00

Signed Jacqueline Lazarus
Applicant

Signed Gene Summers
Town Building Official

PERMIT

- | | | |
|--|--|--|
| <input checked="" type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input checked="" type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input checked="" type="checkbox"/> DOCK/ BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input checked="" type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | | | |
|-----------------------------|-------|------------------------|-------|
| UNDERGROUND PLUMBING | _____ | UNDERGROUND GAS | _____ |
| UNDERGROUND MECHANICAL | _____ | UNDERGROUND ELECTRICAL | _____ |
| STEMWALL FOOTING | _____ | FOOTING | _____ |
| SLAB | _____ | TIE BEAM/COLUMNS | _____ |
| ROOF SHEATHING | _____ | WALL SHEATHING | _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS | _____ | LATH | _____ |
| ROOF TIN TAG/METAL | _____ | ROOF-IN-PROGRESS | _____ |
| PLUMBING ROUGH-IN | _____ | ELECTRICAL ROUGH-IN | _____ |
| MECHANICAL ROUGH-IN | _____ | GAS ROUGH-IN | _____ |
| FRAMING | _____ | EARLY POWER RELEASE | _____ |
| FINAL PLUMBING | _____ | FINAL ELECTRICAL | _____ |
| FINAL MECHANICAL | _____ | FINAL GAS | _____ |
| FINAL ROOF | _____ | BUILDING FINAL | _____ |

RECEIVED
12/16/05

Town of Sewall's Point

288-6587

Date: December 16, 2005

BUILDING PERMIT APPLICATION

Permit Number: _____

OWNER/TITLEHOLDER NAME: Jacqueline Lazarus & Jeffrey Lazarus Phone (Day) 323-6270 (Fax) 288-2747

Job Site Address: 31 South River Road City: Sewall's Point State: Florida Zip: 34996

Legal Desc. Property (Subd/Lot/Block): Arbela, part of lot 4, beg 120' Parcel Number: 01-38-41-001-004-0040-9

Owner Address (if different): 50 SE Cor Lot 18 Miramar WLY 358' City: _____ State: _____ Zip: _____

Description of Work To Be Done: Rebuild dock damaged in hurricane to original dimensions

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 34,345.00

(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

(If no, fill out the Contractor & Subcontractor sections below)

Is improvement cost 60% or more of Fair Market Value? YES NO

(If yes, Owner Builder Affidavit must accompany application)

Method of Determining Fair Market Value: _____

CONTRACTOR/Company: _____ Phone: _____ Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT: _____ Lic#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER: _____ Lic#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof: _____ Wood Deck: _____ Accessory Building: _____

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
Jacqueline Lazarus

CONTRACTOR SIGNATURE (required)

State of Florida, County of: MARTIN

On State of Florida, County of: _____

This the 16th day of December 2005

This the _____ day of _____ 200

by JACQUELINE LAZARUS who is personally

by _____ who is personally

known to me or produced _____

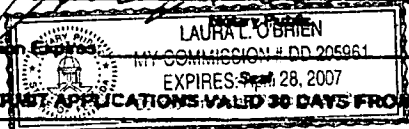
known to me or produced _____

as identification FD 262-433-52-708-0

as identification _____

My Commission Expires _____

My Commission Expires: _____ Notary Public



PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: Jacqueline Lazarus **Date:** 12-16-05

Signature: Jacqueline Lazarus

Address: 31 South River Road

City & State: Stuart, FL 34996

Permit No. _____

Martin County, Florida



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
governmax.com

Summary

Parcel Info

Summary

Land

Residential

Improvement

Commercial

Image

Sales & Transfers

Taxes →

Assessments →

Parcel Map →

Full Legal →

Search By

Parcel ID

Owner

Address

Account #

Use Code

Legal Description

Sales

Neighborhood

Map →

Site Functions

Property Search

Contact Us

On-Line Help

County Home

Site Home

County Login

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
01-38-41-001-004-00040-5	31 S RIVER ROAD	17563	Owner	0	1

print

Serial Index ID Order Commercial Residential

17563 Owner 0 1

Summary

Property Location 31 S RIVER ROAD

Tax District 2200 Sewall's Point

Account # 17563

Land Use 101 0100 Single Family

Neighborhood 193170

Acres

Legal Description

Property Information

ARBELA, PART OF LOT 4 DESC AS:

BEG 120' S/O SE COR LOT 18

MIRAMAR, WLY 358' M/L TO RIVER

Owner Information

Owner Information

LAZARUS, JEFFREY & JACQUELINE

Mail Information

31 S RIVER RD
STUART FL 34996

Assessment Info

Front Ft. 1.00

Market Land Value \$1,560,000

Market Impr Value \$784,560

Market Total Value \$2,344,560

Recent Sale

Sale Amount \$355,000

Sale Date 6/23/1987

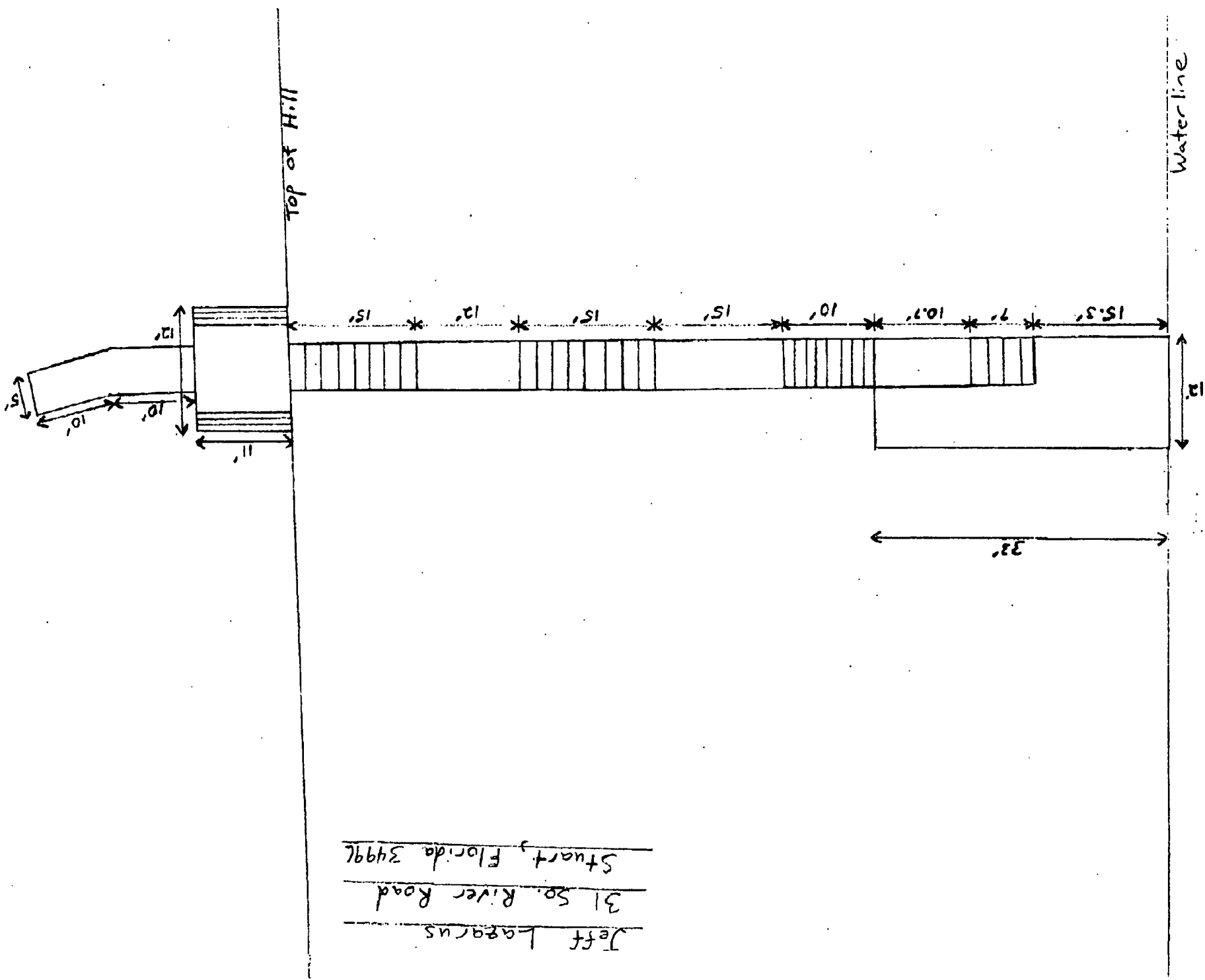
Book/Page 0724 1565

[Print](#) | [Back to List](#) | << [First](#) < [Previous](#) [Next](#) > [Last](#) >>

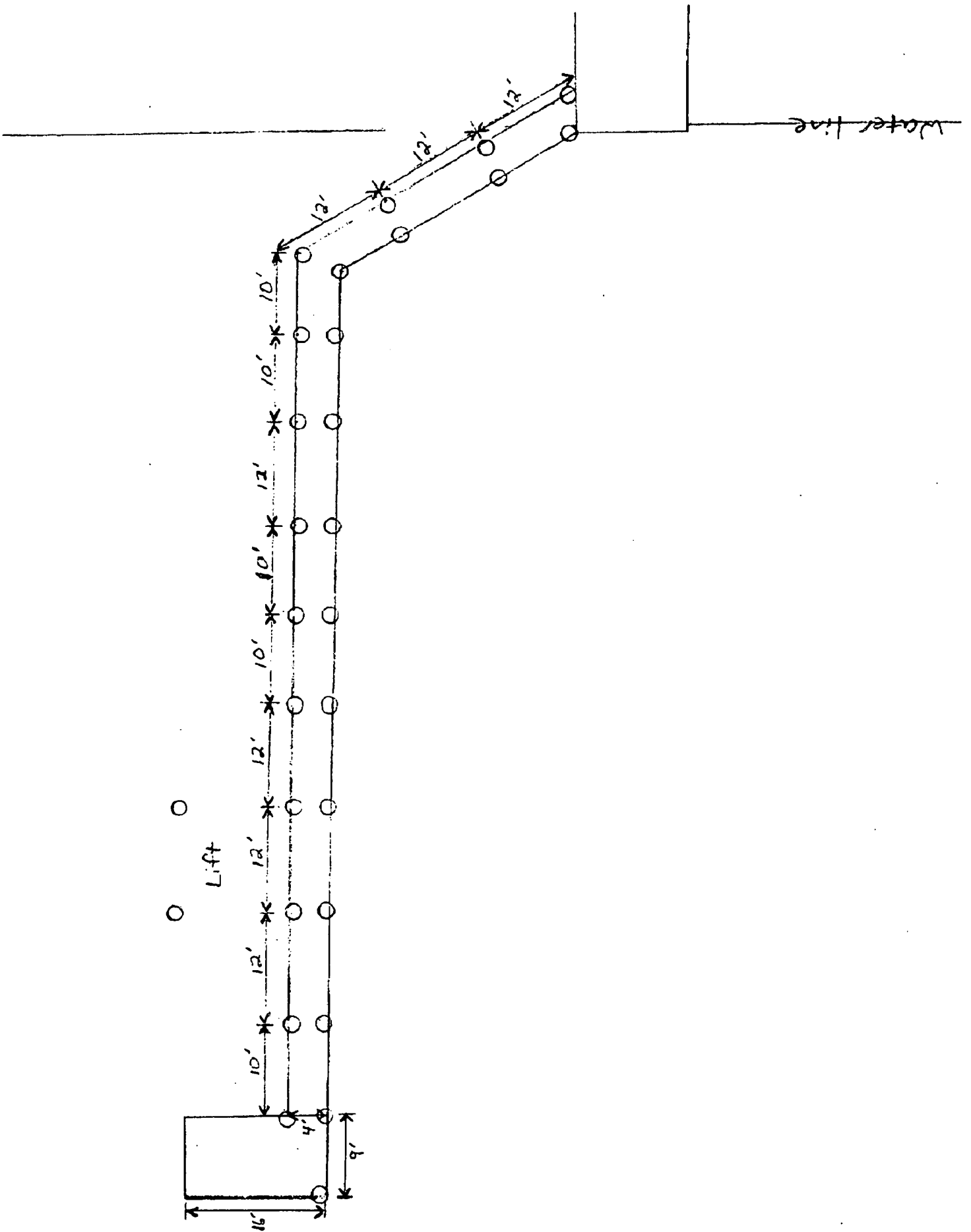
[Legal disclaimer](#) / [Privacy Statement](#)

Date updated on 12/16/2005





Jeff Lagarus
 31 So. River Road
 Stuart, Florida 34996



TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # Parcel # 01-38-41-001-004-00040-5

NOTICE OF COMMENCEMENT

STATE OF FL

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

Arbela, part of lot 4, beg 100' s/o SE Corner Lot 18 Miramar wly 358'

GENERAL DESCRIPTION OF IMPROVEMENT: Rebuild Deck damaged in Hurricane Wilma

OWNER: Jeffrey & Jacqueline Lazarus

ADDRESS: 31 South River Road Stuart FL 34996

PHONE #: 772 288-6589 FAX #: 772 288-2747

CONTRACTOR: owner builder

ADDRESS: _____

PHONE #: _____ FAX #: _____

SURETY COMPANY (IF ANY): _____

ADDRESS: _____

PHONE #: _____

BOND AMOUNT: _____

LENDER: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1XA)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1XB), FLORIDA STATUTES.

PHONE #: _____ FAX #: _____

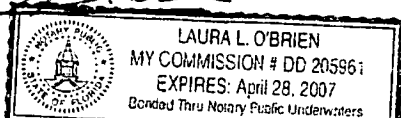
EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____ THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

jacqueline Lazarus
SIGNATURE OF OWNER

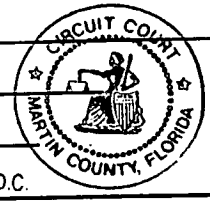
SWORN TO AND SUBSCRIBED BEFORE ME THIS 11th DAY OF December 2005 BY Jacqueline M. Lazarus

Laura L. O'Brien
NOTARY SIGNATURE

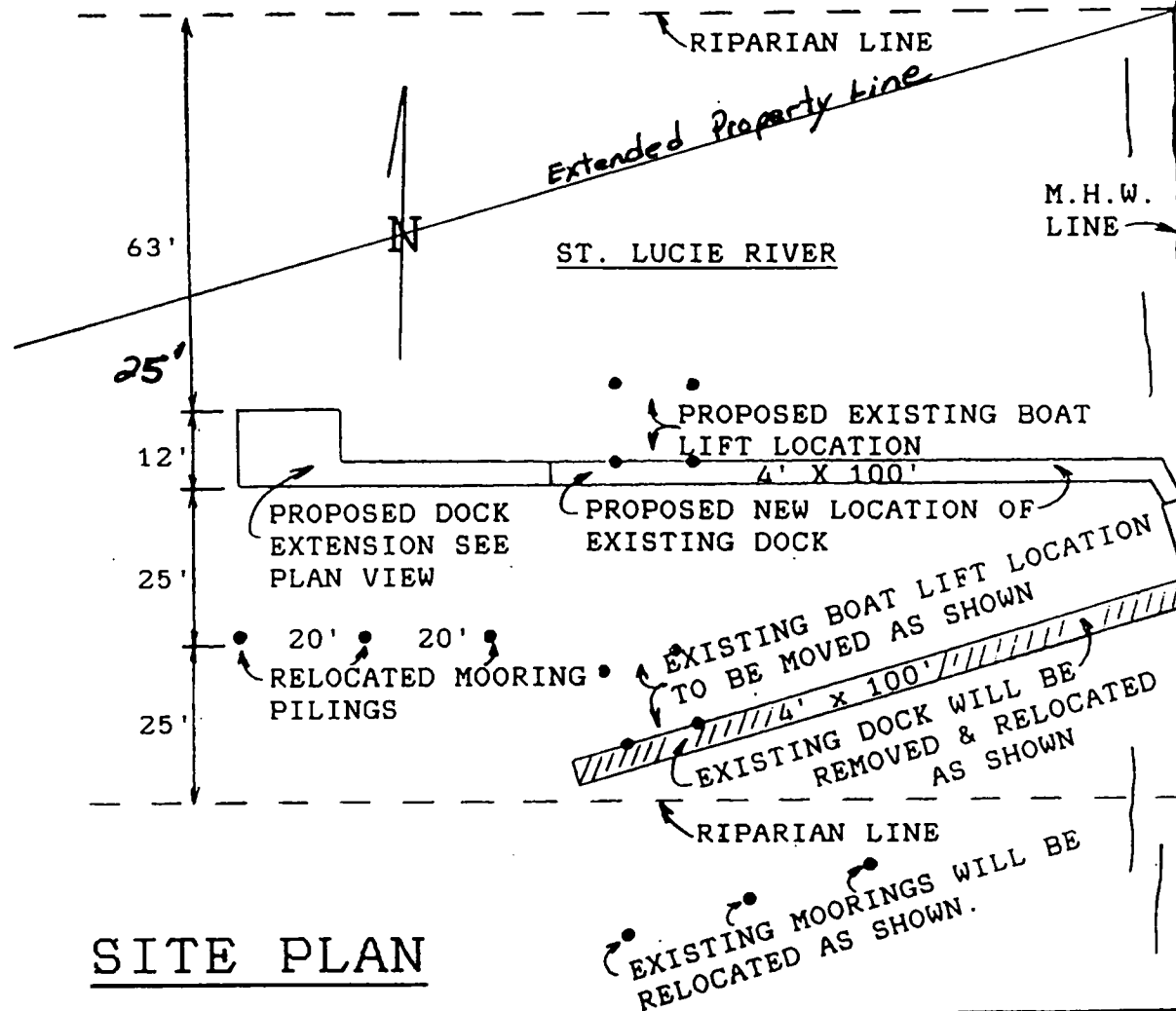
OR PERSONALLY KNOWN PRODUCED ID FDL 262-433-728-0 TYPE OF ID 6/28/07



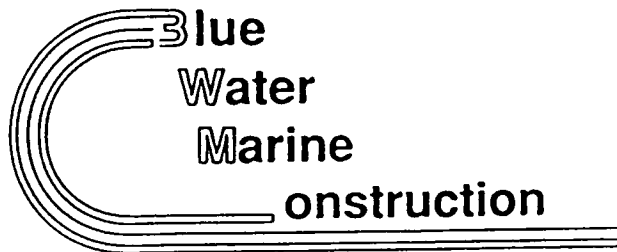
INSTR # 1898016 OR BK 02095 PG 0921 RECD 12/22/2005 11:00:52 AM
MARSHA EWING MARTIN COUNTY DEPUTY CLERK S. Phoenix



THIS IS TO CERTIFY THAT THE FOREGOING _____ PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.
MARSHA EWING, CLERK
BY [Signature] D.C.
DATE 12-22-05



SITE PLAN

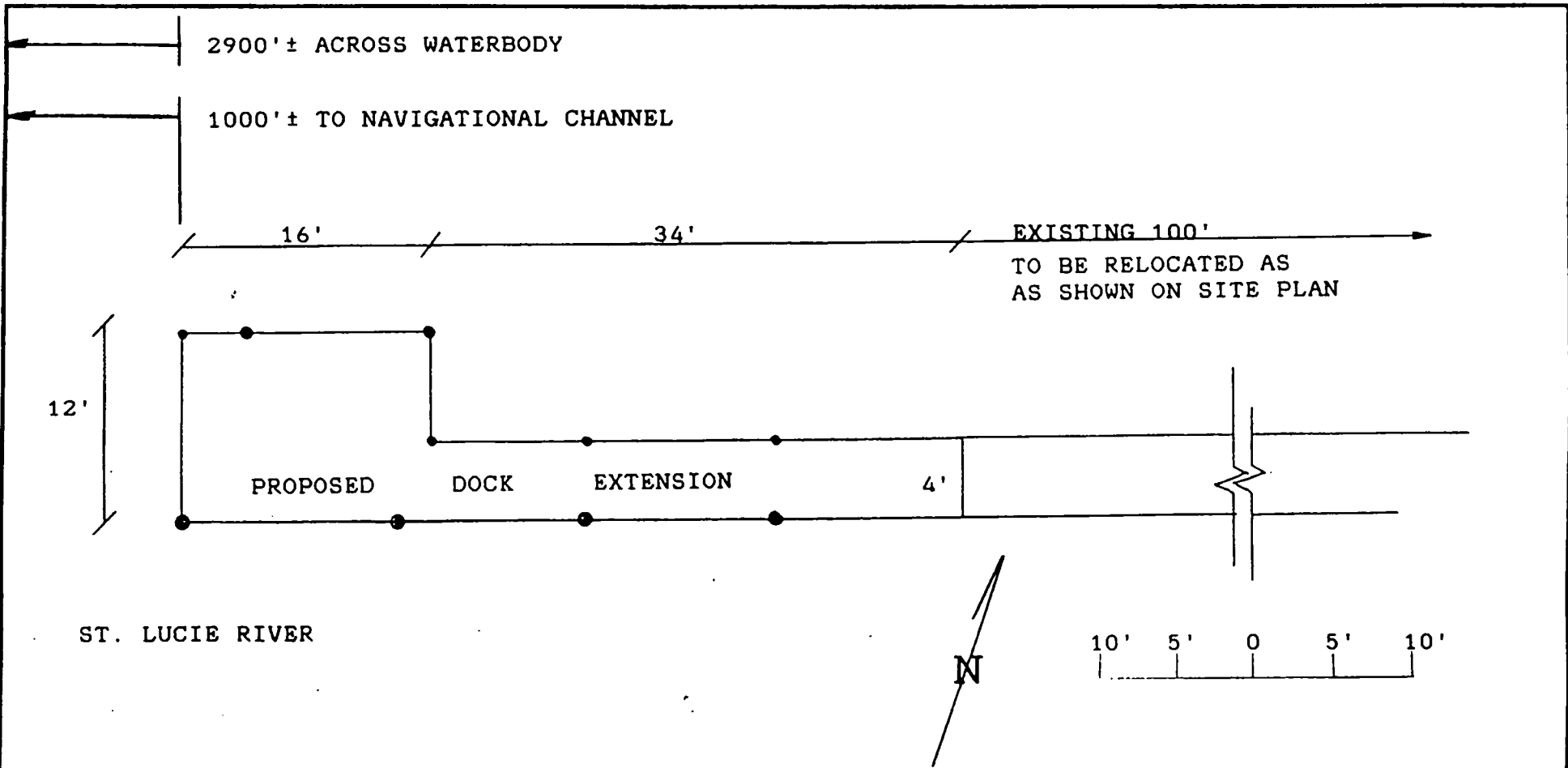


FILE COPY
TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE: 12/19/05
BUILDING OFFICIAL
 Gene Simmons

THIS EXISTING PLATFORM AND
 STAIRS WILL REMAIN IN PLACE

**REPAIR WORK FOR
 HURRICANE DAMAGE**

PROJECT: Dock Relocation and Proposed Dock Extension Jeffrey Lazarus 31 S. River Rd., Sewells Pt., Stuart, FL 34996		
SCALE: 1" = 30'	APPROVED BY:	DRAWN BY WED
DATE: 5/24/90		REVISED 6/6/91
PERMIT: Federal, State, Local		
		DRAWING NUMBER



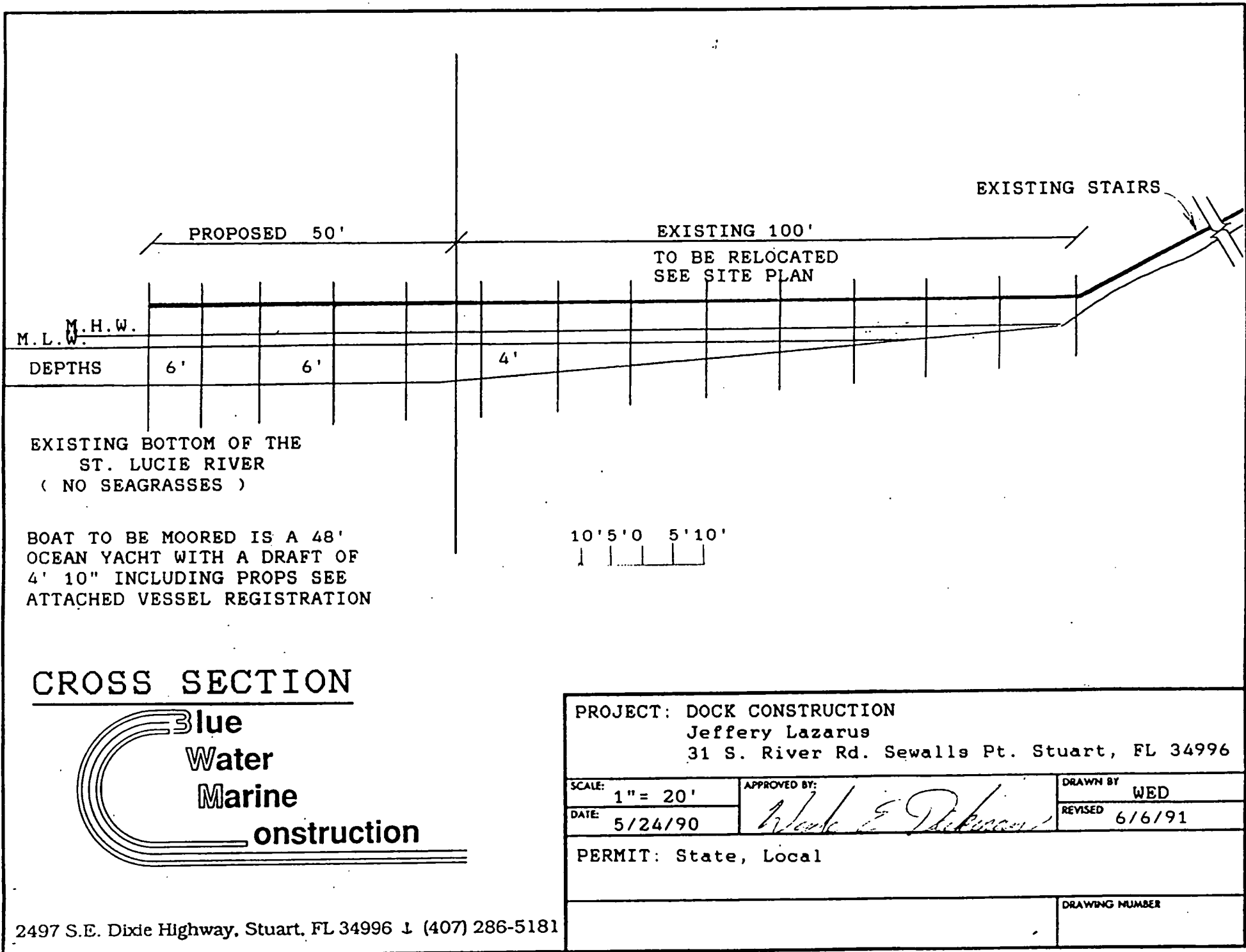
(3) MOORINGS MOVED FROM EXISTING LOCATION AS SHOWN ON SITE PLAN

Blue Water Marine Construction

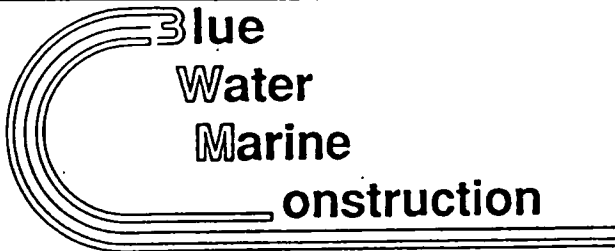
PLAN VIEW

PROJECT: DOCK CONSTRUCTION Jeffery Lazarus 31 S. River Rd. Sewalls Pt. Stuart, FL 34996		
SCALE: 1" = 10'	APPROVED BY: <i>Jeffery Lazarus</i>	DRAWN BY WED
DATE: 5/24/90		REVISED 6/6/91
PERMITS: State, Local		
		DRAWING NUMBER

2497 S.E. Dixie Highway, Stuart, FL 34996 ↓ (407) 286-5181



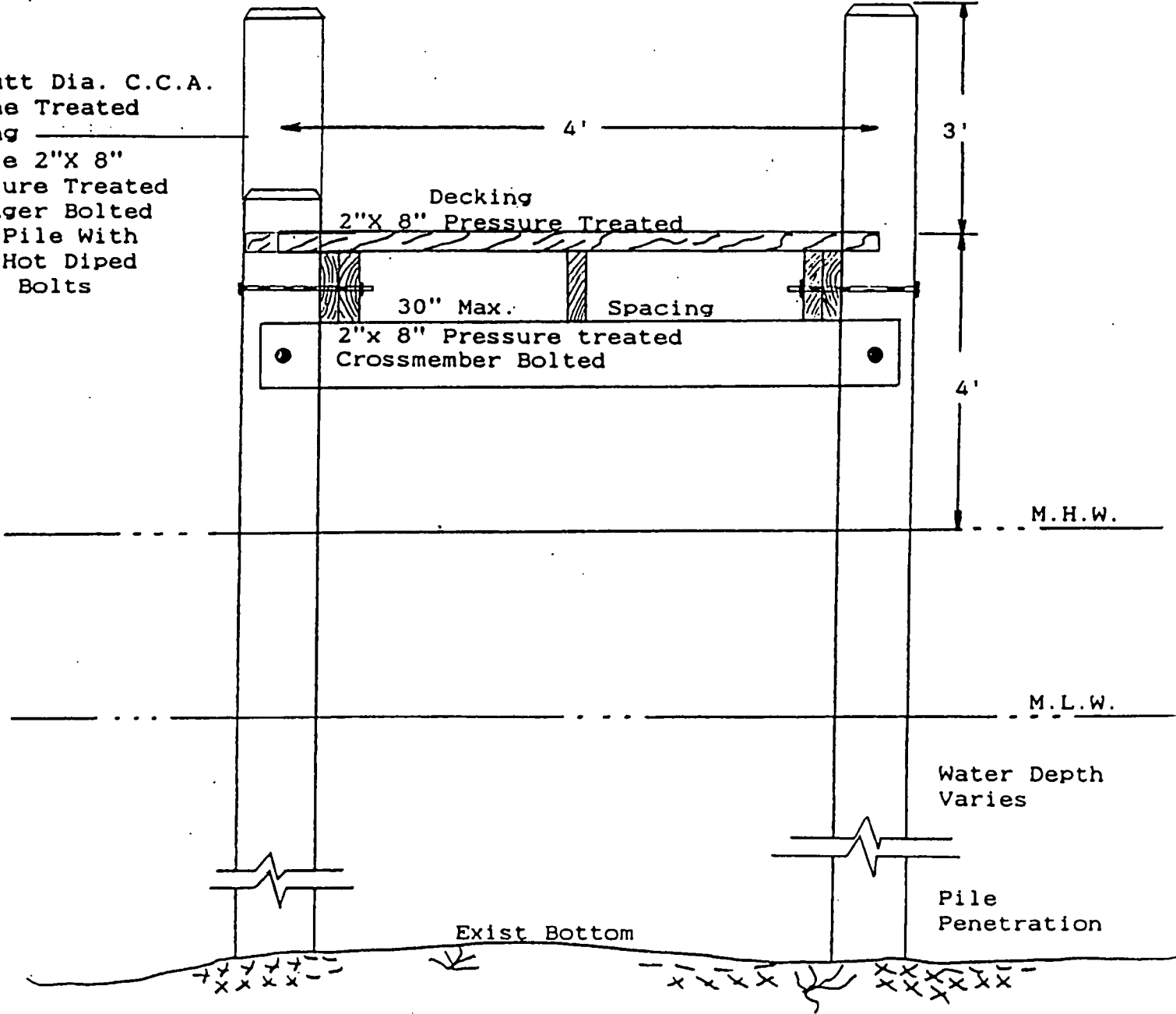
CROSS SECTION



PROJECT: DOCK CONSTRUCTION Jeffery Lazarus 31 S. River Rd. Sewalls Pt. Stuart, FL 34996		
SCALE: 1" = 20'	APPROVED BY: <i>Walter E. DeRosier</i>	DRAWN BY: WED
DATE: 5/24/90		REVISED: 6/6/91
PERMIT: State, Local		
		DRAWING NUMBER

2497 S.E. Dixie Highway, Stuart, FL 34996 ↓ (407) 286-5181

8" Butt Dia. C.C.A.
Marine Treated
Piling
Double 2"x 8"
Pressure Treated
Stringer Bolted
Thru Pile With
5/8" Hot Dipped
Galv. Bolts

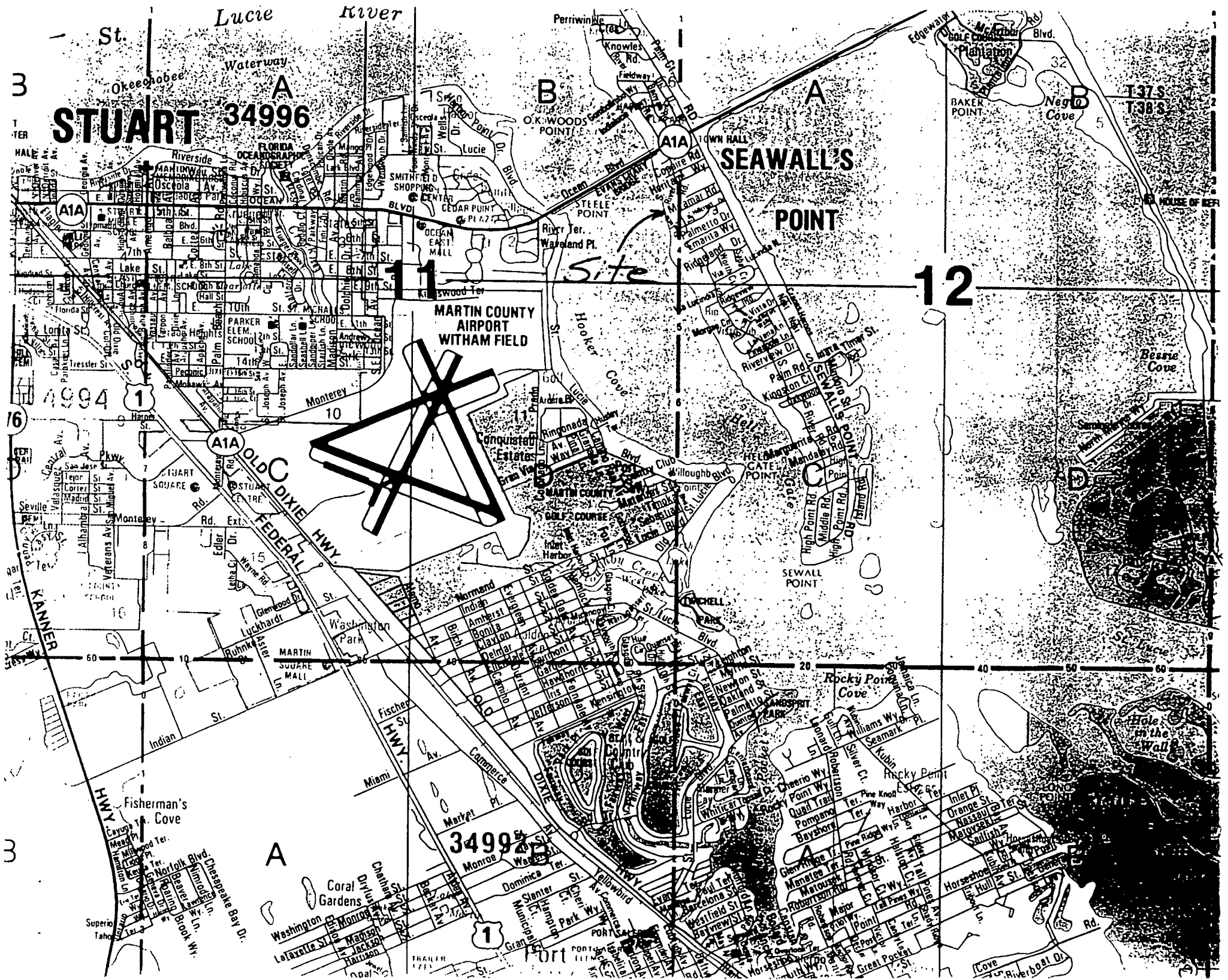


Dock Cross Section

DOCK SPECIFICATIONS

1. Pilings shall be 8 inch minimum butt diameter marine pressure treated to 2.5 pounds per cubic foot C.C.A. treatment.
2. Framing and decking shall be 2" X 8" yellow pine treated to 0.25 pounds per cubic foot C.C.A. treatment.
3. All headers shall be 2" X 8" bolted through pilings with 5/8" diameter hot dip galvanized bolts.
4. Outside and inside framing shall be double 2" X 8" bolted through pilings with 5/8" diameter hot dip galvanized bolts.
5. Intermediate framing shall be 2" X 8" and spaced a maximum of thirty inches between framing. All intermediate framing shall be lapped over headers.
6. Decking shall be nailed with hot dip galvanized ring shank nails. (Stainless steel ring shank nails are an extra cost option.)
7. All dock pilings shall have a minimum penetration of six feet into solid bearing bottom. Silt and mud penetration is not counted in the six foot penetration specification.
8. All tie pilings (dolphin) and lift support pilings shall have a minimum penetration of eight feet into solid load-bearing bottom.
9. Dock shall be 1" X 2" edged.
10. All work meets or exceeds all applicable Federal, State, of Florida and local codes.

BLUE WATER MARINE CONSTRUCTION
2497 S.E. Dixie Hwy.
Stuart, Florida 34996
(407) 286-5181



STUART 34996

SEAWALL'S POINT

MARTIN COUNTY AIRPORT WITHAM FIELD

Site

12

OLD DIXIE FEDERAL HWY

34998

3

16

3

T-37 S
T-38 S

11

20

3

(A)

DEPARTMENT OF THE ARMY PERMIT

NOV 1 1988

GENERAL PERMIT SAJ-20

PRIVATE SINGLE-FAMILY PIERS - STATE OF FLORIDA

Upon recommendation of the Chief of Engineers, pursuant to Section 10 of the Rivers and Harbors Act of 3 March 1899 (33 U.S.C. 403), general authority is hereby given to construct private single-family piers in navigable waters of the United States within the State of Florida subject to the following conditions:

SPECIAL CONDITIONS:

1. Structures authorized under this general permit are private single-family piers including normal appurtenances such as boat hoists, boat shelters with open sides, stairways, walkways, mooring piling, dolphins, and maintenance of same.

2. No work shall be performed until the applicant submits satisfactory plans for the proposed structure and receives written authorization from the District Engineer.

3. No structures shall be authorized by the general permit in:

a. Florida DNR or U.S. Fish and Wildlife Service established boat regulatory zones, sanctuaries or reserves.

b. Crystal, Salt, and Homosassa Rivers, Citrus County, where the structure extends waterward greater than minus (-) three (3) feet mean low water (mlw).

c. Faka Union Canal in Collier County.

4. The permittee agrees the contractor will instruct all personnel associated with the construction of the facility, of the presence of manatees and the need to avoid collisions with manatees.

5. The permittee agrees all personnel will be advised that there are civil and criminal penalties for harming, harassing, or killing manatees, which are protected under the Endangered Species Act of 1973, the Marine Mammal Protection Act of 1972, and the Florida Manatee Sanctuary Act. The permittee and/or contractor will be held responsible for any manatees harmed, harassed, or killed as a result of construction of the project.

6. The permittee agrees that any collision with a manatee shall be reported immediately on the manatee "hotline" (1-800-342-1821) and to the U.S. Fish and Wildlife Service, Jacksonville Endangered Species Field Station (904-791-2580).

7. The permittee agrees the contractor shall keep a log detailing sitings, collisions, or injury to manatees which have occurred during the contract period.

8. The permittee agrees that following project completion, a report summarizing the above incidents will be submitted to the Chief, Regulatory Division, Jacksonville District, Corps of Engineers, (P.O. Box 4970, Jacksonville, Florida 32232) and the U.S. Fish and Wildlife Service (3100 University Boulevard South, Suite 120, Jacksonville, Florida 32216-2732).

9. The permittee agrees all vessels associated with the project will operate at "no-wake" speeds at all times while in water where the draft of the vessel provides less than 3 feet clearance from the bottom and that vessels would follow routes of deep water to the maximum extent practicable.

10. The permittee agrees to establish and maintain a permanent educational display at a prominent location of all commercial facilities to increase the awareness of boat operators using the facility, of the presence of manatees, and need to minimize the threat of boats to these animals. The display should include information on the location of the facility with respect to boat speed zones in the area, the threat which boats pose to manatees, the manatee "hotline" number (1-800-342-1821), and other information which may aid in the conservation of the species. The permittee agrees to install and maintain a minimum of one (1) manatee awareness sign on the docks within the facility.

11. Where multiple slip facilities are authorized, the dock must be clumped to minimize shoreline disruption.

12. In the Intracoastal and Okeechobee Waterways, no structure, including mooring piles, authorized under this general permit, will be within 100 feet of the near-bottom edge of the channel unless it is a 5-foot marginal pier.

13. No living, fueling, or storage facilities over navigable waters of the United States are authorized under this general permit.

14. The structure shall not adversely affect or disturb properties listed as eligible for inclusion in the National Register of Historic Places.

15. No structures shall be authorized by this general permit on the following environmentally sensitive areas identified in the Wild and Scenic Rivers Act (16 U.S.C. 1371, et seq.): The Northwest Fork of the Loxahatchee River; and that portion of the Myakka River within the Myakka River State Park. These activities shall require an individual permit.

16. Authorization is contingent upon the issuance of permits from the Florida Department of Environmental Regulation and the Department of Natural Resources as appropriate.

17. A structure authorized under this general permit must not interfere with general navigation.

18. A structure which by its size or location may adversely affect water quality, fish and wildlife habitat, or photosynthetic processes will not be authorized under this general permit.

19. No work shall be performed until after notification of the owner or operator of any marked utilities in the area of the structure.

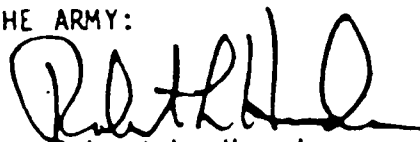
20. This general permit will be valid until suspended or revoked by issuance of a public notice by the District Engineer. Reviews will be conducted to determine if continuance of the permit is not contrary to the public interest.

21. Conformance with the description contained herein does not necessarily guarantee authorization under this general permit.

22. The District Engineer reserves the right to require that any request for authorization under this general permit be processed as an individual permit.

23. The General Conditions attached hereto are made a part of this permit (Atch 1).

BY AUTHORITY OF THE SECRETARY OF THE ARMY:



Robert L. Herndon
Colonel, U.S. Army
District Engineer



DEPARTMENT OF THE ARMY
MIAMI FIELD OFFICE, 8410 NW 53RD TERRACE MONTEREY BLDG., SUITE 225
MIAMI, FLORIDA 33166-4565

28 August 1990

REPLY TO
ATTENTION OF
Regulatory Section
Miami
90GP30226

Jackie Lazarus
c/o Blue Water Marine Construction
2497 S.E. Dixie Hwy
Stuart, Fl 34996

Dear Ms. Lazarus:

Re: access ramp extension 34'x4' with "L"
section 16'x12' and moving 3 existing
mooring piles waterward and existing
boat-lift removal, Martin County

Reference is made to your request for a Department of the Army permit.

The project as proposed is authorized by General Permit 20, a copy of which is enclosed for your information and use. You are authorized to proceed with the project in accordance with the enclosed drawings subject to all conditions of the permit.

This letter of authorization does not obviate the necessity to obtain any other Federal, State, or local permits which may be required.

It appears that a permit from the Florida Department of Environmental Regulation may be required. A list of addresses of the appropriate State offices is enclosed for your information and use.

Thank you for your cooperation with our permit program.

Sincerely,

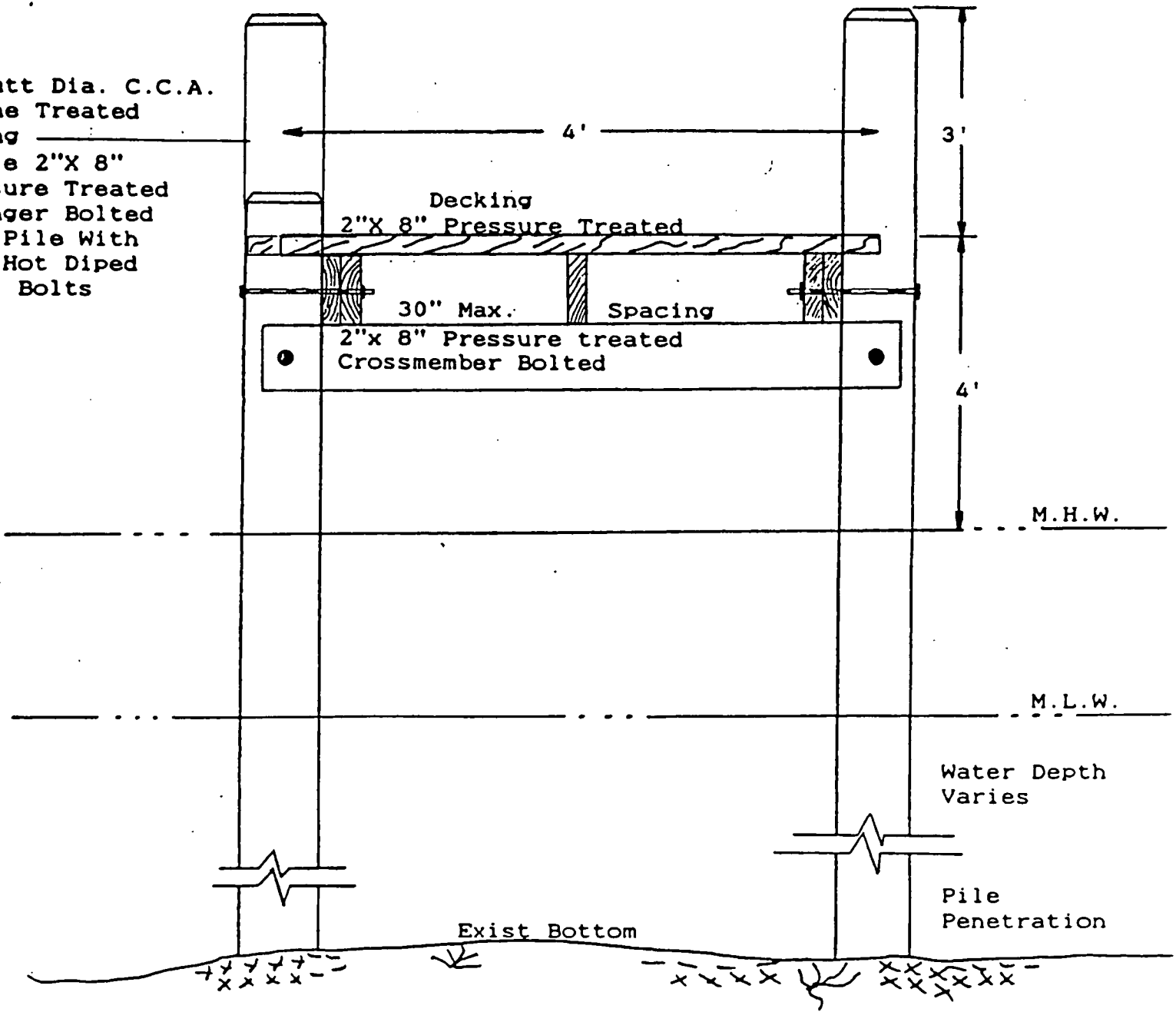
Charles A Schnepel
Charles A. Schnepel
Chief, Regulatory Section

DOCK SPECIFICATIONS

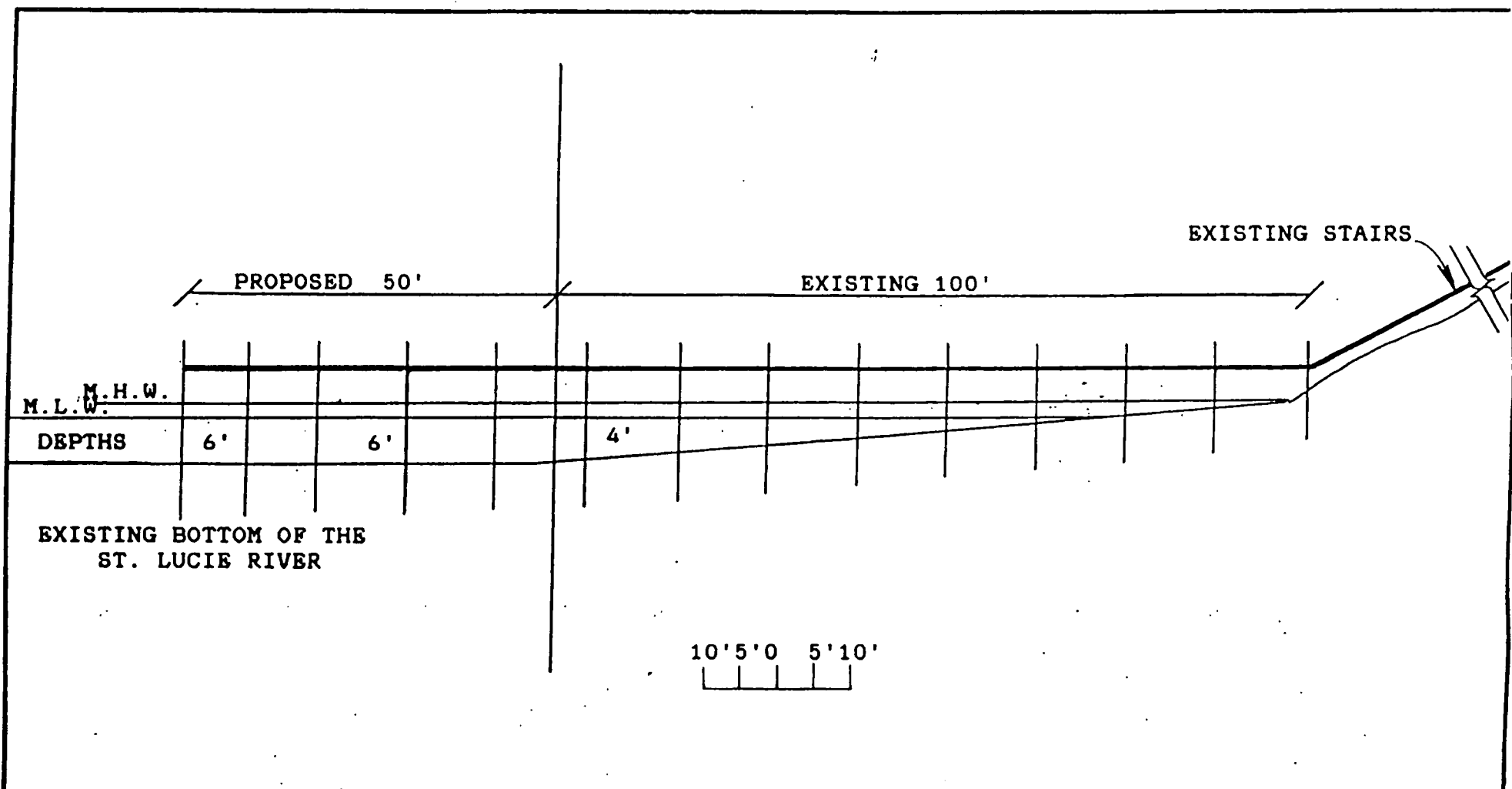
1. Pilings shall be 8 inch minimum butt diameter marine pressure treated to 2.5 pounds per cubic foot C.C.A. treatment.
2. Framing and decking shall be 2" X 8" yellow pine treated to 0.25 pounds per cubic foot C.C.A. treatment.
3. All headers shall be 2" X 8" bolted through pilings with 5/8" diameter hot dip galvanized bolts.
4. Outside and inside framing shall be double 2" X 8" bolted through pilings with 5/8" diameter hot dip galvanized bolts.
5. Intermediate framing shall be 2" X 8" and spaced a maximum of thirty inches between framing. All intermediate framing shall be lapped over headers.
6. Decking shall be nailed with hot dip galvanized ring shank nails. (Stainless steel ring shank nails are an extra cost option.)
7. All dock pilings shall have a minimum penetration of six feet into solid bearing bottom. Silt and mud penetration is not counted in the six foot penetration specification.
8. All tie pilings (dolphin) and lift support pilings shall have a minimum penetration of eight feet into solid load-bearing bottom.
9. Dock shall be 1" X 2" edged.
10. All work meets or exceeds all applicable Federal, State, of Florida and local codes.

BLUE WATER MARINE CONSTRUCTION
2497 S.E. Dixie Hwy.
Stuart, Florida 34996
(407) 286-5181

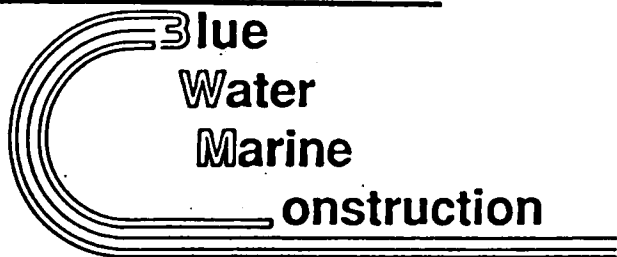
8" Butt Dia. C.C.A.
Marine Treated
Piling
Double 2"x 8"
Pressure Treated
Stringer Bolted
Thru Pile With
5/8" Hot Diped
Galv. Bolts



Dock Cross Section

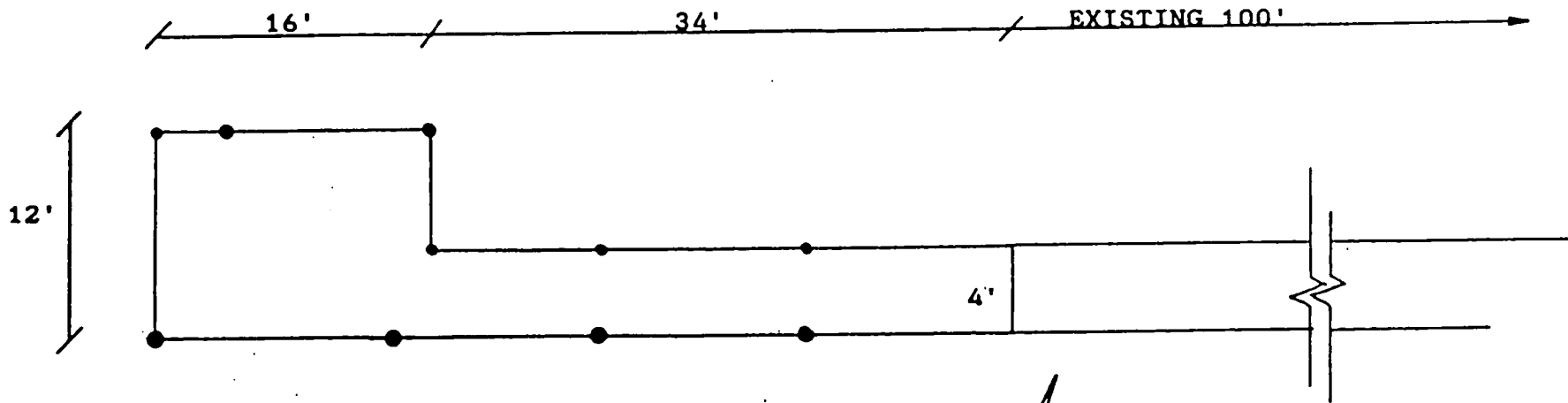


CROSS SECTION



PROJECT: DOCK CONSTRUCTION Jeffery Lazarus 31 S. River Rd. Sewalls Pt. Stuart, FL 34996		
SCALE: 1" = 20'	APPROVED BY: <i>Wade E. Dickman</i>	DRAWN BY WED
DATE: 5/24/90		REVISED
PERMIT: State, Local		
		DRAWING NUMBER

2497 S.E. Dbde Highway, Stuart, FL 34996 ↓ (407) 286-5181



ST. LUCIE RIVER

(3) MOORINGS MOVED FROM EXISTING LOCATION AS SHOWN ON SITE PLAN

Blue
Water
Marine
Construction

PROJECT: DOCK CONSTRUCTION
 Jeffery Lazarus
 31 S. River Rd. Sewalls Pt. Stuart, FL 34996

SCALE: 1" = 10'

APPROVED BY:

DRAWN BY WED

DATE: 5/24/90

Wade E. Dickman

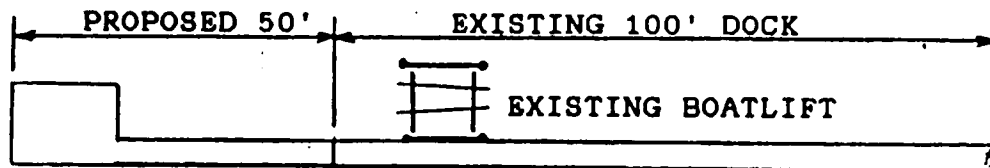
REVISED

PERMITS: State, Local

2497 S.E. Dixie Highway, Stuart, FL 34996 ↓ (407) 286-5181

DRAWING NUMBER

ST. LUCIE RIVER

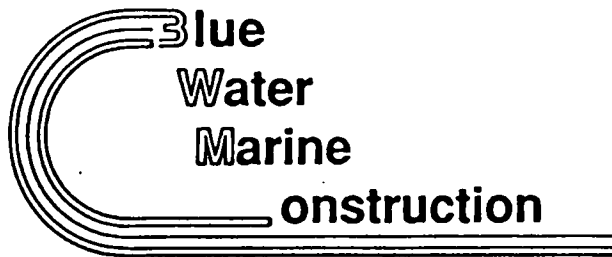


EXISTING PILINGS TO BE MOVED AS SHOWN

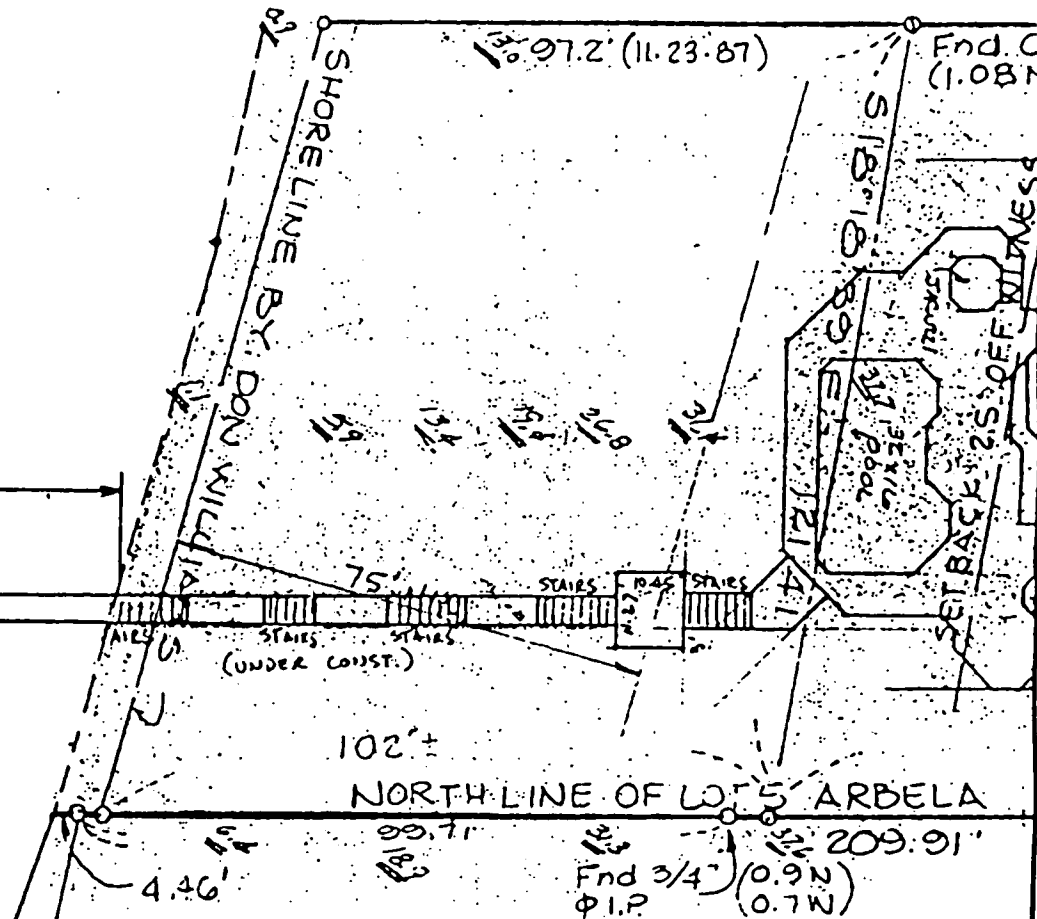


20' 10' 0 10' 20'

SITE PLAN

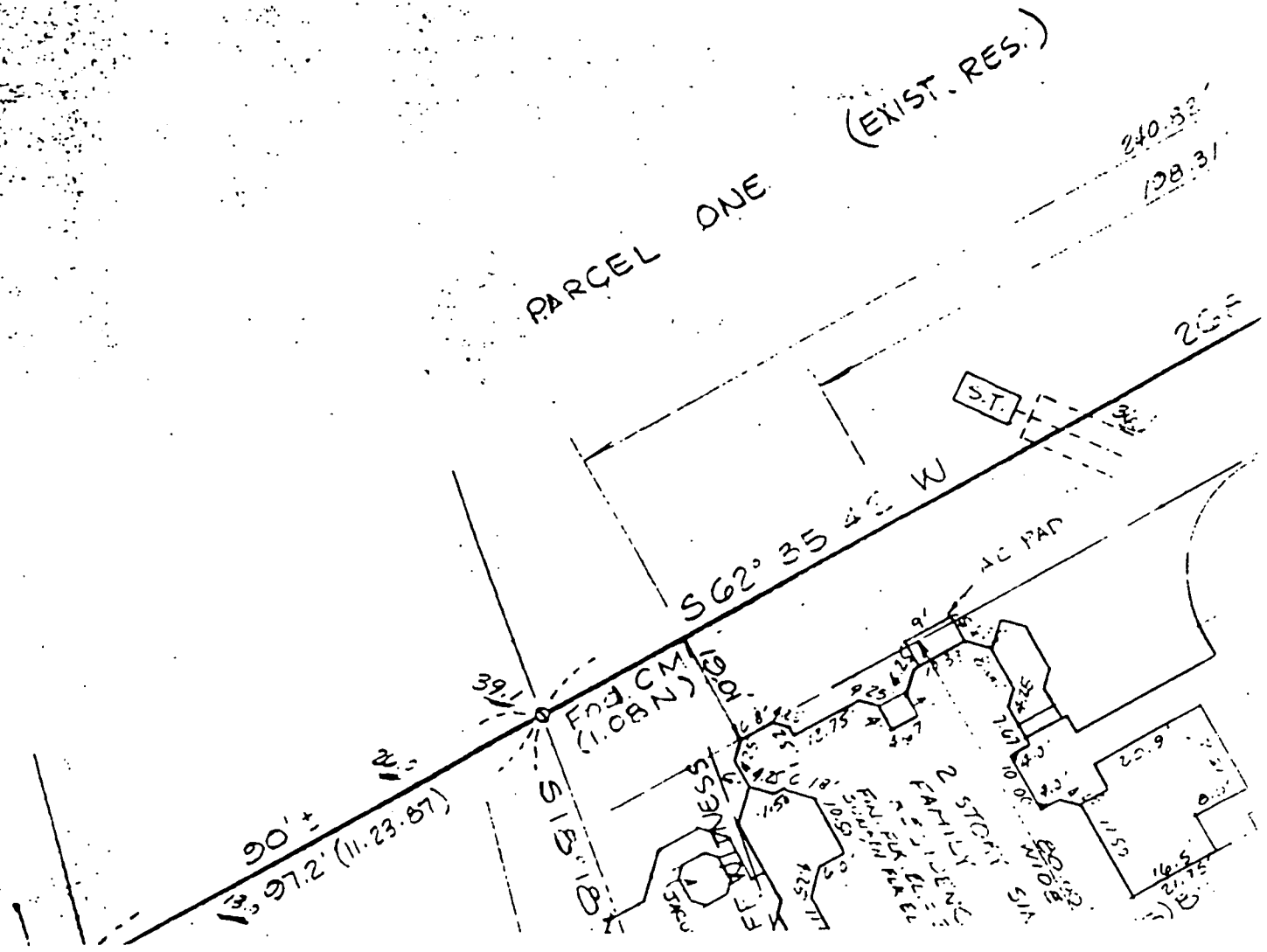


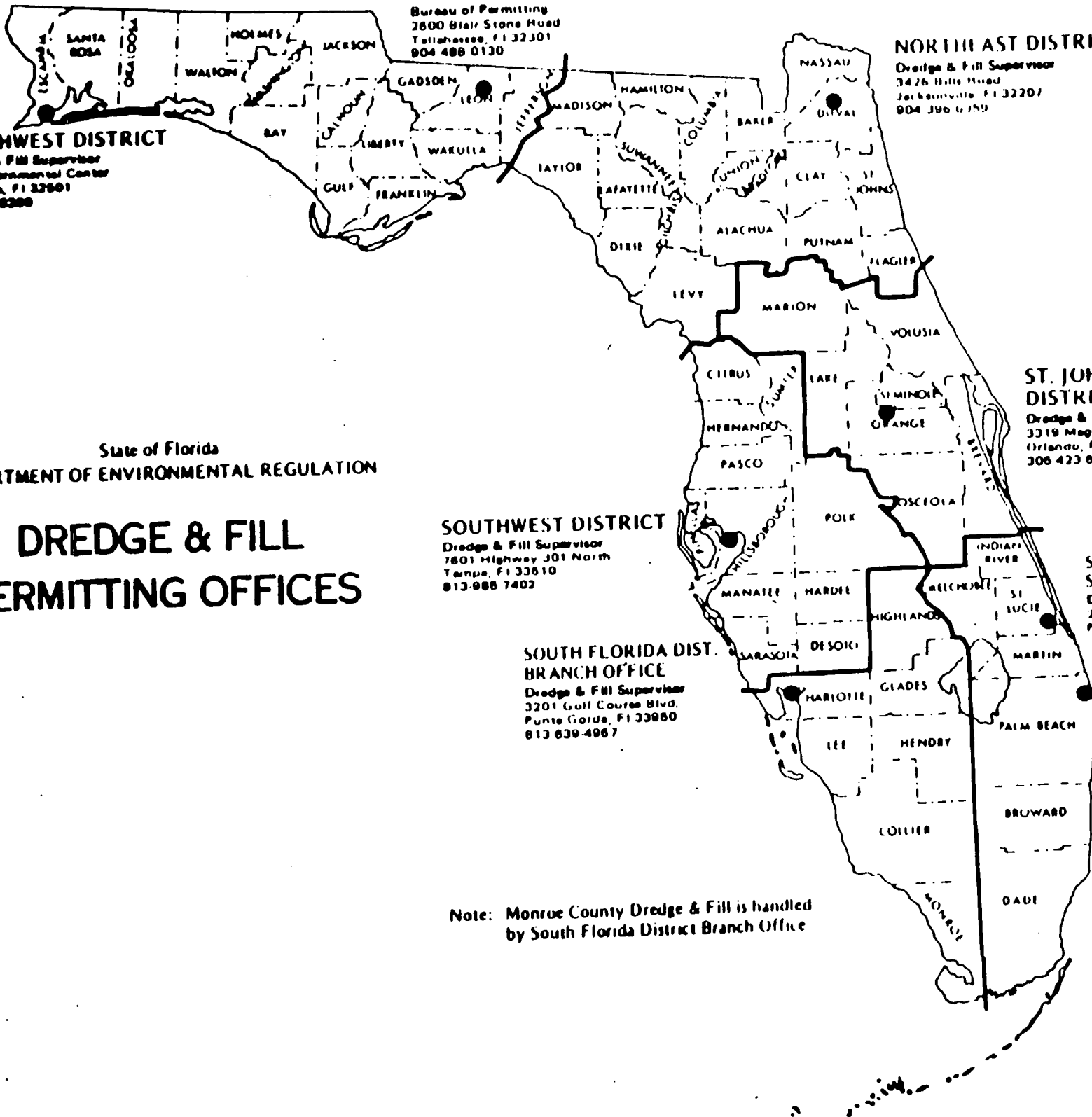
PROJECT: DOCK CONSTRUCTION Jeffrey Lazarus 31 S. River Rd. Sewells Pt. Stuart, FL 34996		
SCALE: 1" = 30'	APPROVED BY: <i>W. E. Dickman</i>	DRAWN BY: WED
DATE: 5/24/90		REVISED:
PERMIT: State, Local		
		DRAWING NUMBER:



PROPERTY DESCRIPTION

Portion of Lot 4, Plat of Miramar, as recorded in Plat Book 3, Page 29, public records of Palm Beach, now Martin County, Florida, being more particularly described as follows: Commence at the Southeasterly corner of Lot 18, MIRAMAR, as recorded in Plat Book 3, Page 111, Martin County, Florida, public records bear thence North 82° 35' West, along the South line of said Lot 18, a distance of 10 feet; thence South 27° 10' 30" East, 120 feet to the Point of Beginning; thence South 82° 35' West, a distance of 358 feet to the waters of St. Lucie river; thence southerly along said waters to the Southerly line of said Lot 4; thence North 82° 35' East, along said line, a distance of 390 more or less to a Point, said point being on a bearing of South 27° 10' 30" East, and a distance of 119.91 feet from the Point of Beginning; thence North 27° 10' 30" West, a distance of 119.91 feet to the Point of Beginning.
Containing 44,846 square feet.





Bureau of Permitting
2600 Blair Stone Road
Tallahassee, FL 32301
904 488 0130

NORTHEAST DISTRICT
Dredge & Fill Supervisor
3426 Hills Blvd
Jacksonville, FL 32207
904 390 6159

NORTHWEST DISTRICT
Dredge & Fill Supervisor
166 Governmental Center
Panama, FL 32401
904 438 6288

ST. JOHNS RIVER DISTRICT
Dredge & Fill Supervisor
3319 McGuire Blvd., Suite 237
Orlando, FL 32803
306 423 6380

SOUTHWEST DISTRICT
Dredge & Fill Supervisor
7601 Highway 301 North
Tampa, FL 33610
813 988 7402

SOUTHEAST FLORIDA SUBDISTRICT
Dredge & Fill Supervisor
2746 Southeast Morningstar Blvd.
Port St. Lucie, FL 33482
305-894-7555

SOUTH FLORIDA DIST. BRANCH OFFICE
Dredge & Fill Supervisor
3201 Golf Course Blvd.
Punta Gorda, FL 33980
813 639 4867

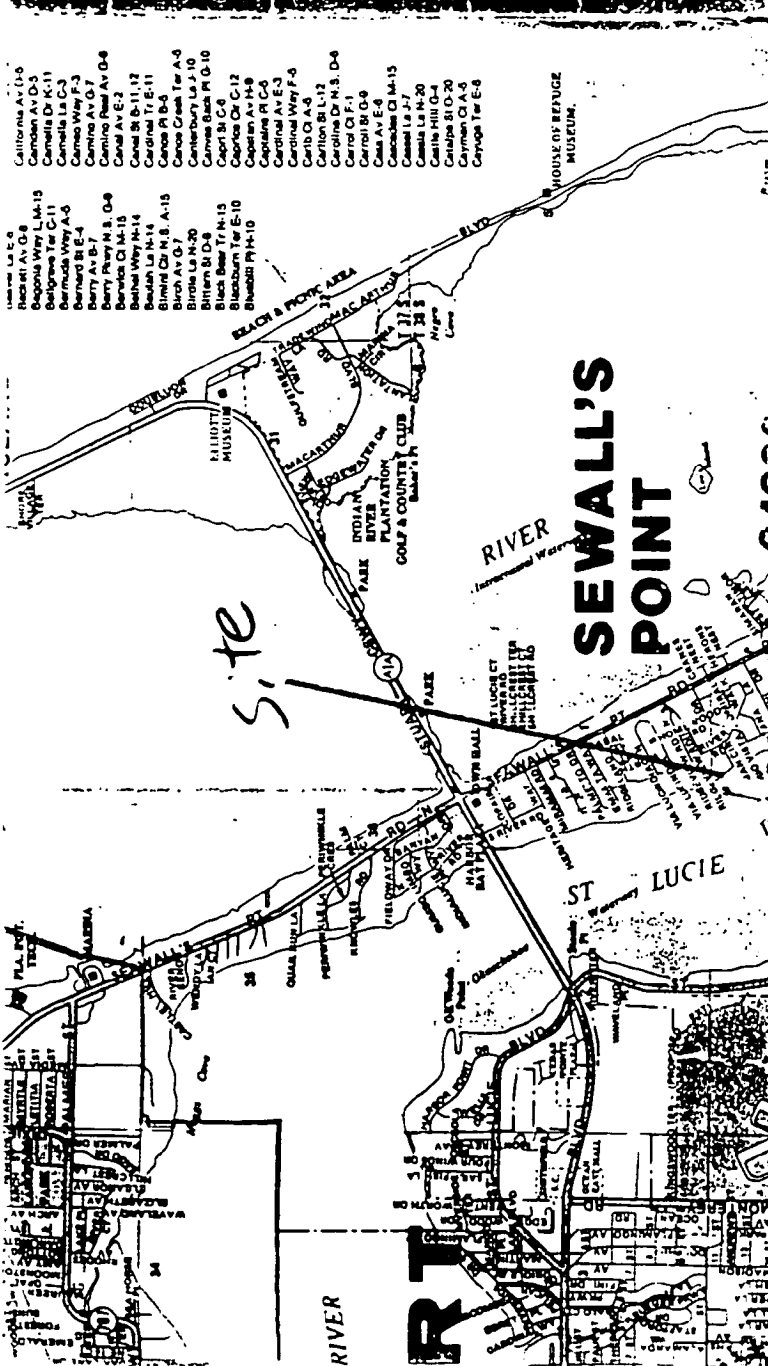
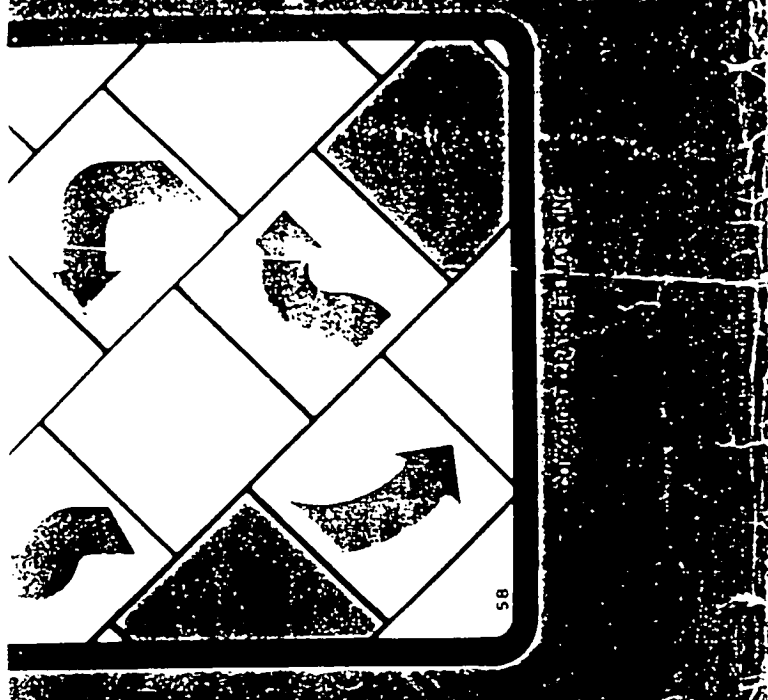
SOUTHEAST FLORIDA DISTRICT
Dredge & Fill Supervisor
3301 Gun Club Road
P. O. Box 3868
W. Palm Beach, FL 33402
306 689 6800

Note: Monroe County Dredge & Fill is handled by South Florida District Branch Office

State of Florida
DEPARTMENT OF ENVIRONMENTAL REGULATION

DREDGE & FILL PERMITTING OFFICES





- California Av D-6
- Cambon Av D-5
- Carnelia Dr K-11
- Carnelia La C-3
- Carnelia Way F-3
- Carnelia Way G-3
- Carnelia Way H-3
- Carnelia Way I-3
- Carnelia Way J-3
- Carnelia Way K-3
- Carnelia Way L-3
- Carnelia Way M-3
- Carnelia Way N-3
- Carnelia Way O-3
- Carnelia Way P-3
- Carnelia Way Q-3
- Carnelia Way R-3
- Carnelia Way S-3
- Carnelia Way T-3
- Carnelia Way U-3
- Carnelia Way V-3
- Carnelia Way W-3
- Carnelia Way X-3
- Carnelia Way Y-3
- Carnelia Way Z-3

- Flamingo Way
- L-12, N-20, Dr B-17
- F-12, K-10
- Florida Av L-18
- Florida Av L-19
- Florida Av L-20
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- Florida Av L-50

- Cedar St F-2
- Cedar St G-2
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- Cherokee St C-48
- Cherokee St C-49
- Cherokee St C-50



FLORIDA DEPARTMENT OF NATURAL RESOURCES

Marjory Stoneman Douglas Building
3900 Commonwealth Boulevard
Tallahassee, Florida 32399

Tom Gardner, Executive Director

PLEASE ADDRESS REPLY TO:

September 13, 1991

Southeast Florida Field Office
7400 N. S. Georgia Ave.
West Palm Beach, FL 33405

Ms. Jackie Lazarus
c/o Blue Water Marine Construction
2497 S.E. Dixie Hwy
Stuart, FL 34996

Dear Ms. Lazarus:

Re: File Number: 431819308
Applicant: Lazarus, Jackie

We have received your application to construct a single family dock. It appears as though the project may be consistent with the criteria outlined in the enclosed "General Consent Criteria" summary guideline. If so, please consider that as the authority sought from the Department of Natural Resources under Section 253.77, Florida Statutes, to pursue your project. If the project does not conform with the outlined criteria, please notify me in writing of the conflicts and the mitigating reasons why compliance is not possible.

This letter in no way waives the authority and/or jurisdiction of any governmental entity nor does this letter disclaim any title interest that the State may have in this project site.

Please be advise that your facility may be inspected to ensure compliance with the attached criteria and conditions as indicated by general consent condition no. 4.

Lawton Chiles
Governor

Jim Smith
Secretary of State

Bob Butterworth
Attorney General

Gerald Lewis
State Comptroller

Tom Gallagher
State Treasurer

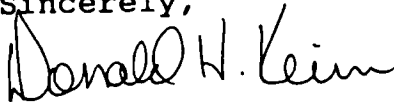
Bob Crawford
Commissioner of Agriculture

Betty Castor
Commissioner of Education

September 13, 1991
Lazarus
Page Two

We appreciate your cooperation. If you have any questions,
please contact me at (407)547-5825.

Sincerely,



Donald H. Keirn
Division of State Lands
Southeast Florida Field Office

DHK/bd
Enclosure

DEPARTMENT OF NATURAL RESOURCES
DIVISION OF STATE LANDS
BUREAU OF SUBMERGED LANDS AND PRESERVES

May 28, 1991

I. General Consent Criteria:

- (A) The following activities are hereby authorized by the Department, provided that (1) the activities comply with the conditions specified below and those listed in paragraphs (B), (C), and (D) of this section, (2) the activity is not located in an aquatic preserve, state park, or State or Federally designated Wild and Scenic River, or Monroe County, (3) the applicant is the upland riparian property owner, and (4) the shoreline at the site is not subject to any conservation easement or restrictive covenant.
1. The construction of a private residential single dock, including pier, access pier, terminal platform, boat hoist, stairways, walkways, mooring pilings, and boathouse, provided that:
 - a. No dredging activities are required;
 - b. The cutting, trimming, removal, or destruction of wetland vegetation is restricted to the minimum amount necessary to construct the dock;
 - c. The dock is not used for revenue generating or income related activities;
 - d. The dock is designed and constructed to accommodate no more than two vessels;
 - e. The dock does not include or accommodate non-water dependent structures (e.g., gazebos, sundecks, screen houses, or other enclosed or semi-enclosed structures);
 - f. The dock does not extend waterward of the mean or ordinary high water line more than 500 feet, or 25 percent of the width of the waterbody at the location of the dock, or to a water depth greater than minus four feet at mean low water, whichever is less;
 - g. The water depth at the dock is adequate for the proposed boat use;
 - h. If the dock is constructed adjacent to a bulkhead and the water depth adjacent to the bulkhead is minus 4 feet at mean low water, the dock shall not extend more than 25 feet from the bulkhead;
 - i. The dock and associated structures shall not be located within 25 feet of riparian property lines;
 - j. The main access pier is not more than 6 feet wide;
 - k. The area of the terminal platform is no more than 250 square feet;

1. The boat house:
 - (1) Does not exceed 500 square feet;
 - (2) Is not enclosed or include sundecks, living quarters, storage rooms, or stairways or ladders providing access to the roof;
 - (3) Does not include catwalks inside the covered area that are more than 3 feet wide; and,
 - (4) Contains a roof with a slope of at least 4 horizontal: 1 vertical; and,
- m. No living, fueling or storage facilities are included.
2. Non-commercial, single boat mooring buoys.
3. Minor activities or temporary structures required to remove wrecked, abandoned, or disabled vessels, or removal of man-made obstructions to navigation, but not including maintenance dredging, shoal removal, or river bank snagging.
4. Repair or replacement of existing private residential single docks that are consistent with the criteria outlined in section (A)1.
5. The installation, repair or replacement of riprap, provided that:
 - a. If the riprap is subject to the permitting requirements of Chapter 161, Florida Statutes, it has been authorized pursuant to Chapter 161, Florida Statutes;
 - b. Clean rock material free of metal products, organic materials, and unsightly debris is used;
 - c. The toe of the riprap is located at or within 10 feet of the mean or ordinary high water line;
 - d. The slope is not greater than 2 horizontal: 1 vertical;
 - e. The length does not exceed 150 linear feet;
 - f. It does not damage or destroy wetland vegetation on sovereign lands;
 - g. Only a minimum amount of material is used; and,
 - h. The activity is necessary to prevent erosion or is required as part of an authorization granted by another agency.

6. The installation, repair or replacement of seawalls, provided that:
 - a. The structure is not subject to the permitting requirements of Chapter 161, Florida Statutes;
 - b. Any new seawall is located landward of the mean or ordinary high water line, while the repair or replacement of an existing seawall is located at or within 18 inches of the existing seawall;
 - c. Any fill associated with the structure shall be landward of the seawall;
 - d. The structure does not damage or destroy wetland vegetation on sovereign, submerged lands;
 - e. The length of the structure does not exceed 150 linear feet;
 - f. Riprap is installed at the toe of seawall pursuant to the conditions in paragraph 5 above; and,
 - g. No more than the minimum dredging or excavation necessary to install, repair or replace the structure is undertaken.

(B) In addition to the above conditions, the following special conditions must be complied with in order for the General Consent set forth in paragraph (A) of this section to be valid:

1. The structure or activity shall not interfere with navigation;
2. The structure or activity shall not take place in a concentrated shellfish area;
3. The structure or activity shall not harm or injure an endangered or threatened species nor adversely impact critical habitat of such species;
4. The structure shall be properly maintained;
5. All state, local, and federal approvals are obtained or waived, including the issuance of permits by the Florida Department of Environmental Regulation and the U.S. Army Corps of Engineers; and,
6. The structure or activity is undertaken to avoid or minimize the impact on wetlands, benthic communities, shellfish areas, and aquatic plant and animal species.

(C) The General Consent Criteria does not grant any property rights or exclusive privilege or authorize any injury to property or right of others.

(D) The General Consent Criteria for private residential single docks does not authorize a developer to construct any docks nor does it allow a single property owner within a residential development to construct more than one private single-family residential dock.

Page 4
May 28, 1991.

If the above criteria and conditions are met, consider this the authority sought from the Department of Natural Resources under Section 253.77, Florida Statutes, to pursue your project. Please check for local requirements. Where local governments have more stringent standards and criteria, the more stringent standards shall prevail. You must also obtain a permit or exemption from the Department of Environmental Regulation and the U.S. Army Corps of Engineers.

Please retain this as part of your permanent file since your project may be inspected by authorized state personnel and it may be needed for future reference. This consent does not waive the authority and/or jurisdiction of any other governmental entity, nor does it disclaim any title interest that the State may have in the project site.

Please note that, should you violate the above standards and criteria, you could be subject to administrative fines pursuant to Chapter 18-14, Florida Administrative Code. THE MINIMUM FINE IS \$500.

Bureau of Submerged Lands
and Preserves
Division of State Lands
Department of Natural Resources

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 11-6, 2006

Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8132	Rucks	Final	PASS	CLOSE
6	20 N. Sewalls Pt Harbor Bay Pool			INSPECTOR: <i>[Signature]</i>
8428	Caplan/Merkley	Final	PASS	CLOSE
2	10 E High Pt Elite Elec.			INSPECTOR: <i>[Signature]</i>
1914	Lazarus	Final-dock repair	PASS	CLOSE
5	31 S. River Rd O/B			INSPECTOR: <i>[Signature]</i>
8031	Lazarus	boatlift final	PASS	CLOSE
5	31 S River Rd O/B			INSPECTOR: <i>[Signature]</i>
Tree	Govel	Tree	PASS	
7	24 Castle Hill Way Natl Balance			INSPECTOR: <i>[Signature]</i>
8089	Walcott	Final-dock	PASS	CLOSE
3	32 Rio Vista O/B			INSPECTOR: <i>[Signature]</i>
7801	Cummings	beams/column	PASS	2ND FL. T.B ELEVATOR T.B.
4	835 River Rd Elias			INSPECTOR: <i>[Signature]</i>

OTHER: _____

8031

BOATLIFT

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 1/24/06

BUILDING PERMIT NO. **8031**

Building to be erected for LAZARUS

Type of Permit BOATLIFT

Applied for by O/B

(Contractor) Building Fee 240.00

Subdivision ARBELA

Lot 4

Block _____

Radon Fee _____

Address 31 S. RIVER ROAD

Impact Fee _____

Type of structure BOATLIFT

A/C Fee _____

Electrical Fee _____

Parcel Control Number:

Plumbing Fee _____

138410010040004050000

Roofing Fee _____

Amount Paid 264.00

Check # _____

Cash _____

Other Fees (10% PR) 24.00

Total Construction Cost \$ 6,000.

TOTAL Fees 264.00

Signed [Signature]

Applicant

Signed [Signature]

Town Building Official

PERMIT

- BUILDING
- PLUMBING
- BOAT/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

RECEIVED

Permit Number: _____

Town of Sewall's Point
BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME: Jeffrey Lazarus Phone (Day) 215-2117 (Fax) 0

Job Site Address: 31 S. River R.D. City: Stuart State: Fla Zip: 34996

Legal Description of Property: Part of Lot 4 Beg 120' S/O S.E. Cor Let 18 WLY 358 ML To River Parcel Number: 1-38-41-001-004-00040.50000

Owner Address (if different): 31 S. River R.D. City: Stuart State: Fla Zip: 34996

Description of Work To Be Done: Install Boat Lift in Mooring Area

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: owner/Builder Phone: 215-2117 Fax: 0

Street: "" City: "" State: "" Zip: ""

State Registration Number: N/A State Certification Number: N/A Martin County License Number: _____

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 6,000.00 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION: Electrical: Not AT This Time State: License Number: Mechanical: State: License Number: Plumbing: State: License Number: Roofing: State: License Number:

ARCHITECT Copy on File Phone Number: Street: City: State: Zip:

ENGINEER Copy on File Phone Number: Street: City: State: Zip:

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: Garage: Covered Patios: Screened Porch: Carport: Total Under Roof Wood Deck: Accessory Building:

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001 National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) X [Signature] State of Florida, County of: MARTIN This the 17 day of November, 2005 by Jeffrey Lazarus who is personally known to me or produced as identification.

CONTRACTOR SIGNATURE (required) X [Signature] On State of Florida, County of: MARTIN This the 17 day of November, 2005 by Jeffrey Lazarus who is personally known to me or produced as identification.

My Commission Expires: #DD 078017 Notary Public Lisa Finley

My Commission Expires: #DD 078907 Notary Public Lisa Finley

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: Jeffrey LAZARUS **Date:** 11-17-05

Signature: X 

Address: 31 S. River R.D.

City & State: Stuart Fla. 34996

Permit No. _____

INSTR # 1904341 OF BK 02104 PG 0207 RECD 01/20/2006 09:40:51 AM

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # 1-38-41-001-004-00040:5000

NOTICE OF COMMENCEMENT

STATE OF Fla.

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

beg 120' sk se cor lot 18 Miramar, Wly 358' M/L To River

GENERAL DESCRIPTION OF IMPROVEMENT:

put 12000 LB Boat Lift in Mooring Area

OWNER: Jeffrey LAZARUS

ADDRESS: 31. S. River R.D. Stuart Fla. 34994

PHONE #: 215-2117 FAX #: _____

CONTRACTOR: owner/Builder

ADDRESS: 31. S. River R.D. Stuart Fla. 34994

PHONE #: 215-2117 FAX #: _____

SECURITY COMPANY (IF ANY) _____

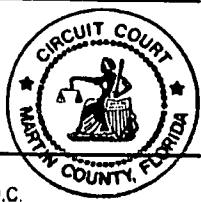
STATE OF FLORIDA

MARTIN COUNTY

THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.

BY [Signature] MARSHA EWING, CLERK

DATE 1/20/00



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: RAYMOND WOOLLEY

ADDRESS: 1158. S.E. MONTEREY R.D. Stuart Fla. 34994

PHONE #: 215-2117 FAX #: 0

IN ADDITION TO HIMSELF, OWNER DESIGNATES RAYMOND WOOLLEY OF HIMSELF TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

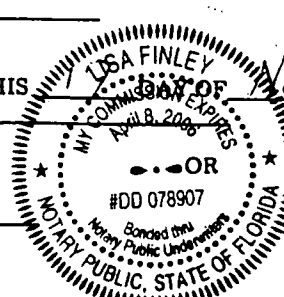
PHONE #: 215-2117 FAX #: 0

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

[Signature]
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 20th DAY OF November 2000 BY JEFFREY LAZARUS

[Signature]
NOTARY SIGNATURE



PERSONALLY KNOWN
PRODUCED ID FL D.L.
TYPE OF ID L262-430-48-089-C
Expires 3-09-07

CRITIQUE

Owner: Jeffery Lazarus

Date: January 20, 2006

Contractor: Owner/Builder

Contractor's Phone Number: 215-2117

Plan Reviewer: Gene Simmons

PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITALS FOR BOATLIFT LOCATED AT 31 SOUTH RIVER ROAD

Submittals (2 copies)

1. Current Mean High Water Survey (**within one year**) containing the following information:
 - a. Location of existing dock and mooring pilings with distances from riparian lines to the north and south adjoining upland riparian property owners dock or mooring pilings, whichever is closest.
 - b. Certification to the Town Of Sewall's Point

MASTER PERMIT NO. 8031

TOWN OF SEWALL'S POINT

Date 5-17-06

BUILDING PERMIT NO. 8236

Building to be erected for Lazarus

Type of Permit Sub-Electric

Applied for by RMS Electric

(Contractor)

Building Fee _____

Subdivision Arbela Lot 4 Block _____

Radon Fee _____

Address 31 S River Rd

Impact Fee _____

Type of structure Boatlift

A/C Fee _____

Electrical Fee 35.00

Parcel Control Number:

Plumbing Fee _____

1384100100400040500000

Roofing Fee _____

Amount Paid \$35

Check # _____

Cash _____

Other Fees (_____)

Total Construction Cost \$ 1500

TOTAL Fees 35.00

Signed X

Applicant

Signed Valuedmeyer
Town Building ~~Official~~ Dept Clerk

PERMIT

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input checked="" type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | | | |
|-----------------------------|-------|------------------------|-------|
| UNDERGROUND PLUMBING | _____ | UNDERGROUND GAS | _____ |
| UNDERGROUND MECHANICAL | _____ | UNDERGROUND ELECTRICAL | _____ |
| STEMWALL FOOTING | _____ | FOOTING | _____ |
| SLAB | _____ | TIE BEAM/COLUMNS | _____ |
| ROOF SHEATHING | _____ | WALL SHEATHING | _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS | _____ | LATH | _____ |
| ROOF TIN TAG/METAL | _____ | ROOF-IN-PROGRESS | _____ |
| PLUMBING ROUGH-IN | _____ | ELECTRICAL ROUGH-IN | _____ |
| MECHANICAL ROUGH-IN | _____ | GAS ROUGH-IN | _____ |
| FRAMING | _____ | EARLY POWER RELEASE | _____ |
| FINAL PLUMBING | _____ | FINAL ELECTRICAL | _____ |
| FINAL MECHANICAL | _____ | FINAL GAS | _____ |

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

Permit Number: _____

Date: 1 / 1 / 2006

OWNER/TITLEHOLDER NAME: LAZARUS Phone (Day) _____ (Fax) _____

Job Site Address: 315 River Rd City: _____ State: _____ Zip: _____

Legal Desc. Property (Subd/Lot/Block) _____ Parcel Number: _____

Owner Address (if different): See PN 8031 City: _____ State: _____ Zip: _____

Description of Work To Be Done: _____

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 15000
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

Is Improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: RMS Electric, INC Phone: 220 1052 Fax: 220 3628

Street: 1501 Decker Ave #113 City: Stuart State: FL Zip: 34984

State Registration Number: _____ State Certification Number: EC0002707 Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: RMS Elect INC State: FL License Number: EC0002707

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carpport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

State of Florida, County of: _____
This the _____ day of _____, 2006
by _____ who is personally
known to me or produced _____
as identification. _____

Notary Public

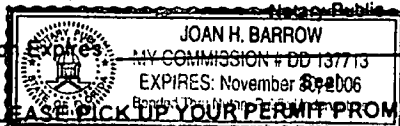
My Commission Expires: _____

Seal

CONTRACTOR SIGNATURE (required)

R. Brackenrich
On State of Florida, County of: Martin
This the 17 day of May, 2006
by R. Brackenrich who is personally
known to me or produced FL del.
As Identification Joan H. Barrow

My Commission Expires: _____



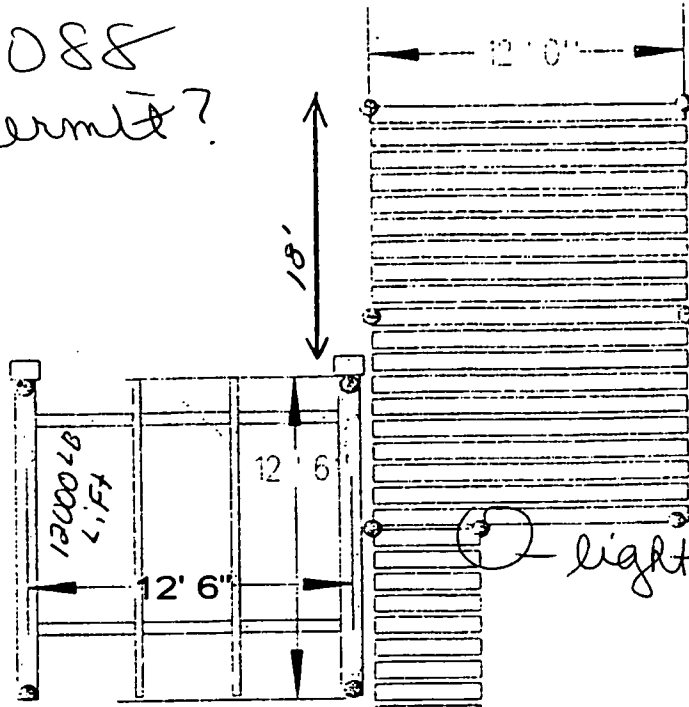
Rick RMS Electric
260-1088

PN 8031

Does he need permit?

31 S.R.R.

Existing Mooring Area



Install New Lift in Existing Mooring Area Already in Use

150' approx

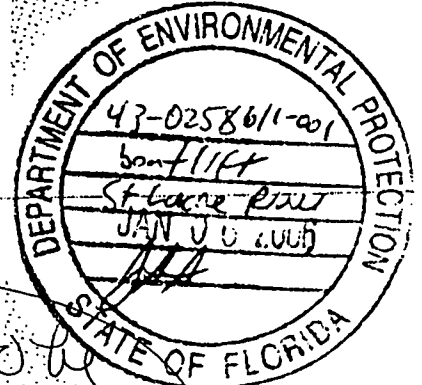
Electric for boat left to be re-considered

We are Not creating Any New Mooring area's
No Electric To add
Electric will be Existing as for Dock & Existing lift
if any More Electric Required will apply Later.

To shore line

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE

DATE: PN 8031 approved
by BO on 11/24/06
B&E Electric permit review
BUILDING DEPARTMENT
SECTION 4 8: 21
RECEIVED



Jeffrey Lazarus
31 S River Road
Stuart, FL 34996-6723

Existing lights to be reinstalled

31 S.R.R. (written vertically)

Master
8031

Sub-Cont

Electronics

\$35

ACORD CERTIFICATE OF LIABILITY INSURANCE		OP ID LE RMSEL-1	DATE (MM/DD/YYYY) 05/18/06
PRODUCER R.V. Johnson Agency, Inc. 2041 SE Ocean Blvd Stuart FL 34996 Phone: 772-287-3366 Fax: 772-287-4255		THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
INSURED R M S Electric Inc 1501 Decker Ave #113 Stuart FL 34994		INSURERS AFFORDING COVERAGE	
		INSURER A: Owners Insurance Company	
		INSURER B:	
		INSURER C:	
		INSURER D:	
		NAIC # 32700	

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR	ADDL	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS								
A		GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	2058370206	02/08/06	02/08/07	EACH OCCURRENCE \$ 1,000,000								
						DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 50,000								
						MED EXP (Any one person) \$ 5000								
						PERSONAL & ADV INJURY \$ 1,000,000								
						GENERAL AGGREGATE \$ 1,000,000								
						PRODUCTS - COMP/OP AGG \$ 1,000,000								
		AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS	NOT COVERED W/THIS AGENCY			COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$								
		GARAGE LIABILITY <input type="checkbox"/> ANY AUTO	NOT COVERED W/THIS AGENCY			AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$								
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE RETENTION \$	NOT COVERED W/THIS AGENCY			EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$								
		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below	NOT COVERED W/THIS AGENCY			<table border="0" style="width:100%;"> <tr> <td style="width:50%;"><input type="checkbox"/> WC STATUTORY LIMITS</td> <td style="width:50%;"><input type="checkbox"/> OTHER</td> </tr> <tr> <td colspan="2">E.L. EACH ACCIDENT \$</td> </tr> <tr> <td colspan="2">E.L. DISEASE - EA EMPLOYEE \$</td> </tr> <tr> <td colspan="2">E.L. DISEASE - POLICY LIMIT \$</td> </tr> </table>	<input type="checkbox"/> WC STATUTORY LIMITS	<input type="checkbox"/> OTHER	E.L. EACH ACCIDENT \$		E.L. DISEASE - EA EMPLOYEE \$		E.L. DISEASE - POLICY LIMIT \$	
<input type="checkbox"/> WC STATUTORY LIMITS	<input type="checkbox"/> OTHER													
E.L. EACH ACCIDENT \$														
E.L. DISEASE - EA EMPLOYEE \$														
E.L. DISEASE - POLICY LIMIT \$														
		OTHER												

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

CERTIFICATE HOLDER TOWN024 Town of Sewalls Point 1 S. Sewalls Point Road Stuart FL 34996	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>10*</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE
---	---

STATE OF FLORIDA AC# 1541629
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
 EC0002707 08/13/04 040143919
 CERTIFIED-ELECTRICAL CONTRACTOR
 BRACKENRICH, RICK-L
 RMS ELECTRIC INC
 IS CERTIFIED under the provisions of Ch.489 FS.
 Expiration date: AUG 31, 2006 L04081305225

STATE OF FLORIDA
 DEPARTMENT OF FINANCIAL SERVICES
 DIVISION OF WORKERS' COMPENSATION
 CONSTRUCTION INDUSTRY
 CERTIFICATE OF EXEMPTION FROM FLORIDA
 WORKERS' COMPENSATION LAW

EFFECTIVE: 02/27/2006
 ** EXPIRATION DATE: 02/27/2008

PERSON: RICK L BRACKENRICH
 FEIN: 850026532

BUSINESS NAME: RMS ELECTRIC INC
 AND ADDRESS: 1501 DECKER AVENUE #113
 STUART FL 34994

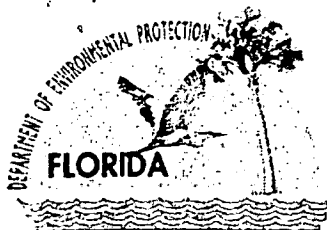
SCOPE OF BUSINESS OR TRADE:
 1- ELECTRICAL CONTRACTOR

F
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R
E

IMPORTANT

Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.

QUESTIONS? (850) 413-1609



Department of Environmental Protection

Jeb Bush
Governor

Port St. Lucie Branch Office
1801 SE Hillmoor
Suite C-204
Port St. Lucie, FL 34952
(772)398-2806 Fax (772)398-2815

Colleen M. Castille
Secretary

JAN 06 2006

Jeffrey Lazarus
31 South River Road
Stuart, FL 34996

Re: File No.: 43-0258611-001
File Name: Lazarus, Jeffrey

Dear Mr. Lazarus:

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 1/24/06

BUILDING OFFICIAL
Gene Simmons

On December 9, 2005, we received your application for an exemption to perform the following activities: install a boat lift in the location and configuration shown in the attached drawings. The project is located on the St. Lucie River Class III Waters of the State, adjacent to 31 South River Road, (Section 1, Township 38 South, Range 41 East), Stuart, Martin County (Latitude 27° 11' 50.60"N, Longitude 80° 12' 7.50"W).

Your application has been reviewed to determine whether it qualifies for any of three kinds of authorization that may be necessary for work in wetlands or waters of the United States. The kinds of authorization are (1) regulatory authorization, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal authorization. The authority for review and the outcomes of the reviews are listed below. Please read each section carefully. Your project **may not** have qualified for all three forms of authorization. If your project did not qualify for one or more of the authorizations, refer to the specific section dealing with that authorization for advice on how to obtain it.

1. Regulatory Review. – EXEMPTION VERIFIED

The Department has the authority to review your project under Part IV of Chapter 373, Florida Statutes (F.S.), Title 62, Florida Administrative Code (F.A.C.), and in accordance with operating agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F.A.C.

Based on the information you submitted, we have determined that your project is exempt from the need to obtain a DEP Environmental Resource Permit under Rule 40E-4.051(3)(a), F.A.C.

2. Proprietary Review (related to state-owned lands). – GRANTED

The Department acts as staff to the Board of Trustees of the Internal Improvement Trust Fund (Board of Trustees) and issues certain authorizations for the use of sovereign submerged lands. The Department has the authority to review your project under Chapters 253 and 258, F.S., Chapters 18-20 and 18-21, F.A.C., and Section 62-343.075, F.A.C.

Your project will occur on sovereign submerged land and will require authorization from the Board of Trustees to use public property. As staff to the Board of Trustees, we have reviewed the proposed project and have determined that, as long as it is located within the described boundaries and is consistent with the attached general consent conditions, the project qualifies for a consent by rule to use sovereign submerged lands. Therefore, pursuant to Chapter 253.77, Florida Statutes, you may consider this letter as authorization from the Board of Trustees to perform the project.

3. Federal Review (State Programmatic General Permit). – GRANTED

Federal authorization for the proposed project is reviewed by DEP pursuant to an agreement between the Department and the U.S. Army Corps of Engineers (Corps). The agreement is outlined in a document titled *Coordination Agreement Between the U.S. Army Corps of Engineers and the Florida Department of Environmental Protection State Programmatic General Permit, Section 10 of the Rivers and Harbor Act of 1899 and Section 404 of the Clean Water Act.*

Your project has been reviewed for compliance with a State Programmatic General Permit (SPGP). As shown on the attached drawings, the proposed project is consistent with the SPGP program. The attached Corps general conditions apply to your project. No further permitting for this activity is required by the Corps.

The determinations in this letter are based solely on the information provided to the Department and on the statutes and rules in effect when the application was submitted. The determinations are effective only for the specific activity proposed. These determinations shall automatically expire if site conditions materially change or if the governing statutes or rules are amended. In addition, any substantial modifications in your plans should be submitted to the Department for review, as changes may result in a permit being required. In any event, this determination shall expire after one year.

This letter does not relieve you from the responsibility of obtaining other permits (federal, state, or local) that may be required for the project.

NOTICE OF RIGHTS OF SUBSTANTIALLY AFFECTED PERSONS

This letter acknowledges that the proposed activity is exempt from ERP permitting requirements under Rule 40E-4.051(3)(a), F.A.C. This determination is final and effective on the date filed with the Clerk of the Department unless a sufficient petition for an administrative hearing is timely filed under sections 120.569 and 120.57 of the Florida Statutes as provided below. If a sufficient petition for an administrative hearing is timely filed, this determination automatically becomes only proposed agency action subject to the result of the administrative review process. Therefore, on the filing of a timely and sufficient petition, this action will not be final and effective until further order of the Department. The procedures for petitioning for a hearing are set forth in the attached notice.

This determination is based on the information you provided the Department and the statutes and rules in effect when the application was submitted and is effective only for the specific activity proposed. This determination shall automatically expire if site conditions materially change or the governing statutes or rules are amended. In addition, any substantial modifications in your plans should be submitted to the Department for review, as changes may result in a permit being required. In any event, this determination shall expire after one year.

Be advised that your neighbors and other parties who may be substantially affected by the proposed activity allowed under this determination of exemption have a right to request an administrative hearing on the Department's decision that the proposed activity qualifies for this exemption. Because the administrative hearing process is designed to redetermine final agency action on the application, the filing of a petition for an administrative hearing may result in a final determination that the proposed activity is not authorized under the exemption established under Rule 40E-4.051(3)(a), F.A.C.

The Department will not publish notice of this determination. Publication of this notice by you is optional and is not required for you to proceed. However, in the event that an administrative hearing is held and the Department's determination is reversed, proceeding with the proposed activity before the time period for requesting an administrative hearing has expired would mean that the activity was conducted without the required permit.

If you wish to limit the time within which all substantially affected persons may request an administrative hearing, you may elect to publish, at your own expense, the enclosed notice (Attachment A) in the legal advertisement

File Name: Lazarus, Jeffrey
FDEP File No.: 43-0258611-001
Page 3

section of a newspaper of general circulation in the county where the activity is to take place. A single publication will suffice.

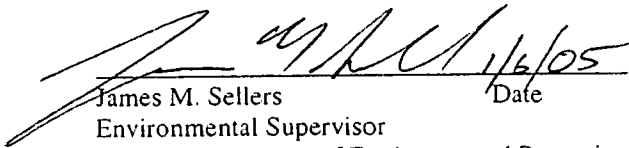
If you wish to limit the time within which any specific person(s) may request an administrative hearing, you may provide such person(s), by certified mail, a copy of this determination, including Attachment A.

For the purposes of publication, a newspaper of general circulation means a newspaper meeting the requirements of sections 50.011 and 50.031 of the Florida Statutes. In the event you do publish this notice, within seven days of publication, you must provide to the following address proof of publication issued by the newspaper as provided in section 50.051 of the Florida Statutes. If you provide direct written notice to any person as noted above, you must provide to the following address a copy of the direct written notice.

Florida Department of Environmental Protection
Southeast District Branch Office
Submerged Lands & Environmental Resources Program
1801 SE Hillmoor Drive Suite C-204
Port St. Lucie, FL 34952

If you have any questions, please contact Jason Storrs at (772) 398 2806 or at Jason.Storrs@dep.state.fl.us. When referring to your project, please use the FDEP file name and number listed above.

Sincerely,

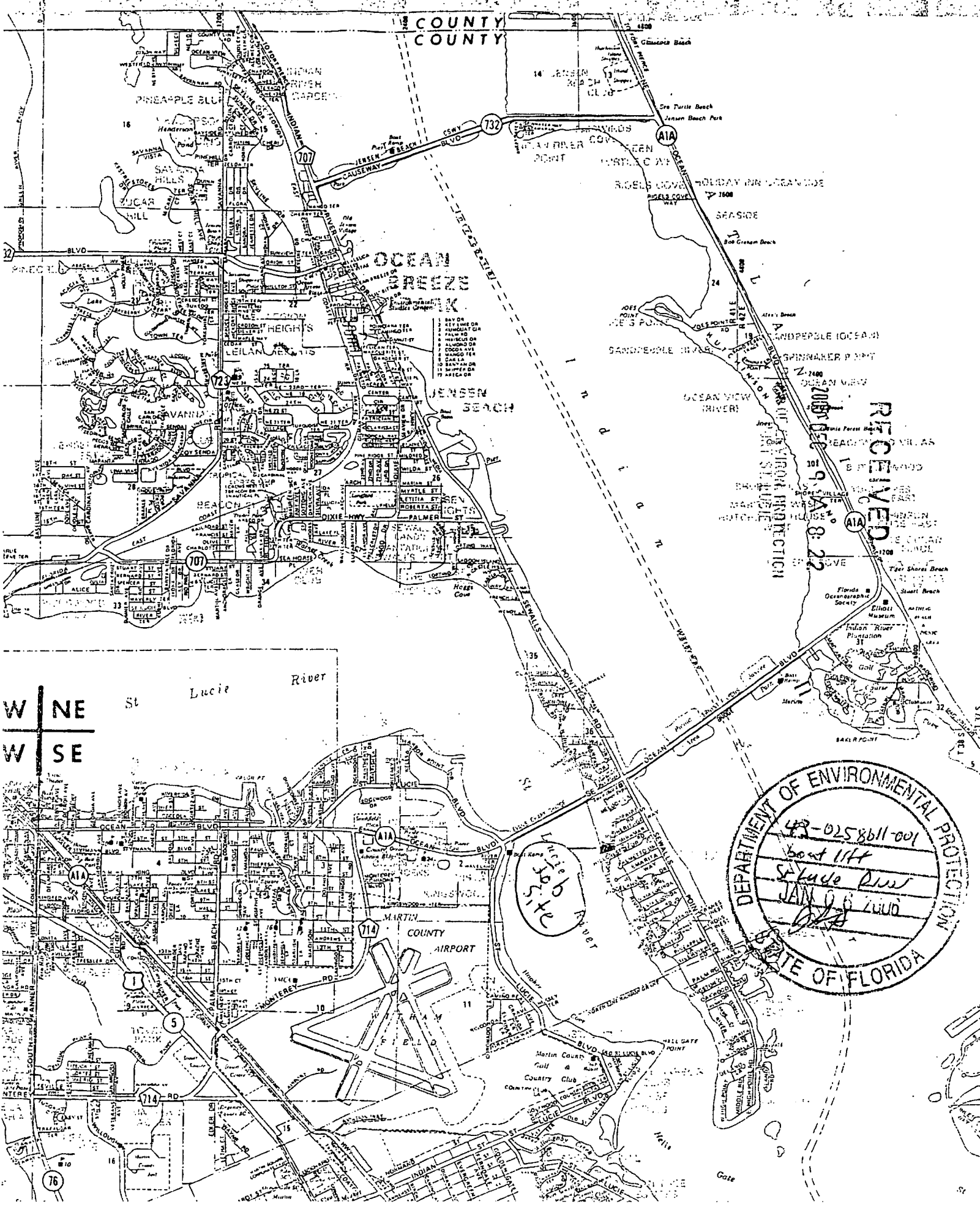

James M. Sellers
Environmental Supervisor
Florida Department of Environmental Protection
Southeast District Branch Office

Date
1/6/05

JMS/JSS

Enclosures: Federal Manatee Conditions, Federal General Conditions for SPGP III-R1 and Transfer Request
Attachment A- Notice of Determination of Qualification for Exemption
General Conditions for Authorization

cc: USACOE – Palm Beach Gardens Brandon.Howard@saj02.usace.army.mil [without enclosures]
Ray Woolley, FOR, 1158 Southeast Monterey Road, Stuart, FL 34994 (Agent) [without enclosures]



W NE
W SE

COUNTY
COUNTY

DEPARTMENT OF ENVIRONMENTAL PROTECTION
43-0258611-001
boat lift
St Lucie River
JAN 06 2000
DJA
STATE OF FLORIDA

Boat Lift Site

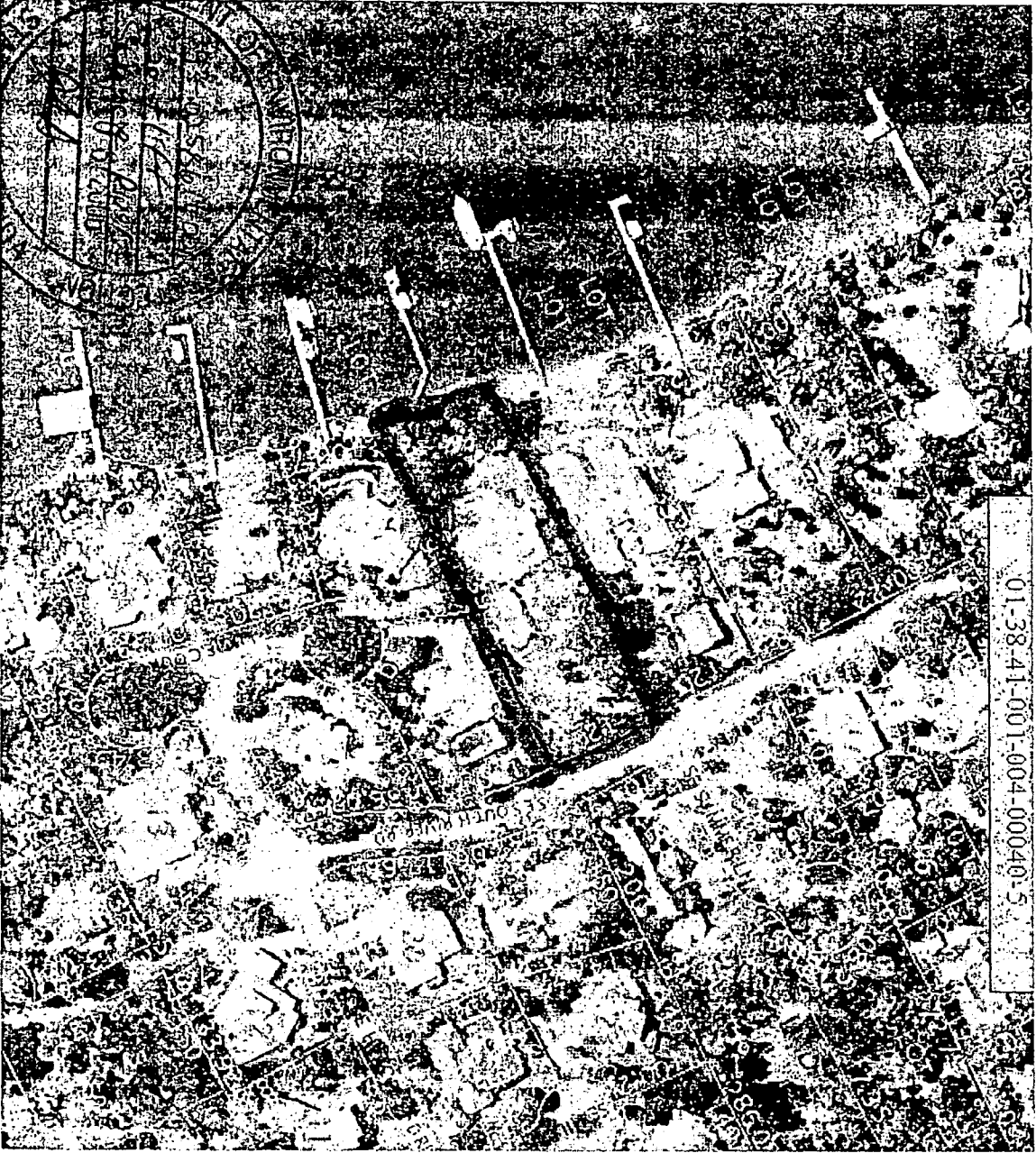
RECEIVED
JAN 06 9 AM 8:22
DEPARTMENT OF ENVIRONMENTAL PROTECTION

s d s

2004-01-01 TO 2004-01-01

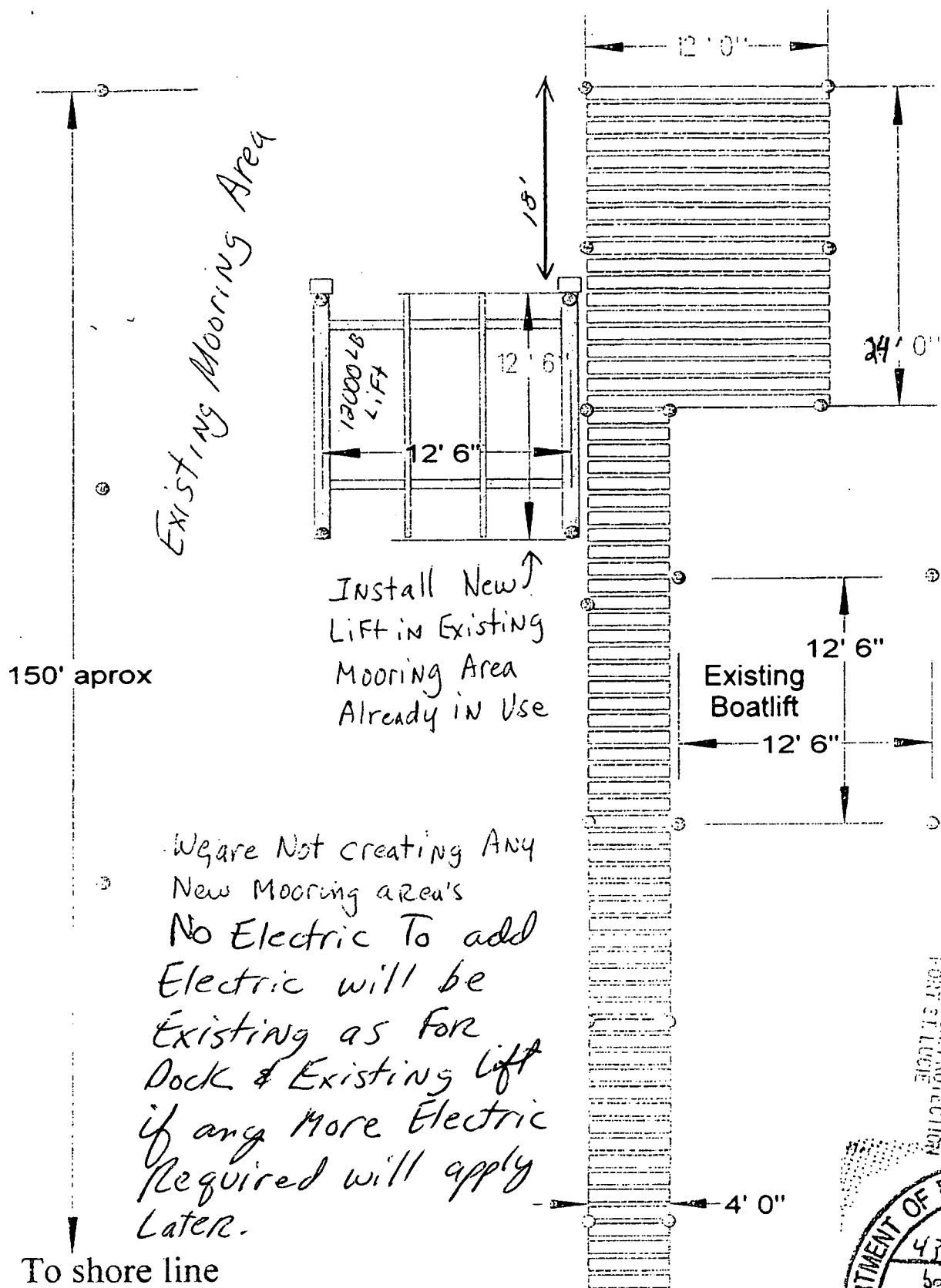


Martin County



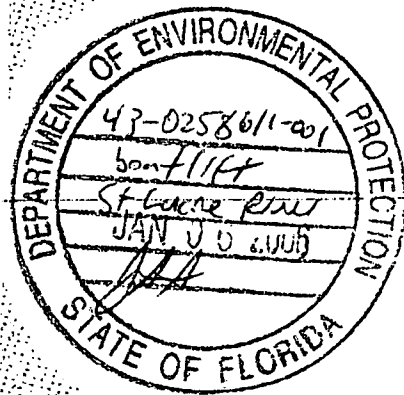
01-38-41-001-004-00040-5

Martin County, Florida Disclaimer
Information deemed reliable but not guaranteed.
Copyright © 2005



We are Not creating Any
 New Mooring area's
 No Electric To add
 Electric will be
 Existing as For
 Dock & Existing lift
 if any More Electric
 Required will apply
 Later.

Jeffrey Lazarus
 31 S River Road
 Stuart, FL 34996-6723



12'-6"

Top Beam lift

Jeffery LAZARUS

8'-10" OFF M.H.W

9.14" dia.

Bottom Tray

M.H.W

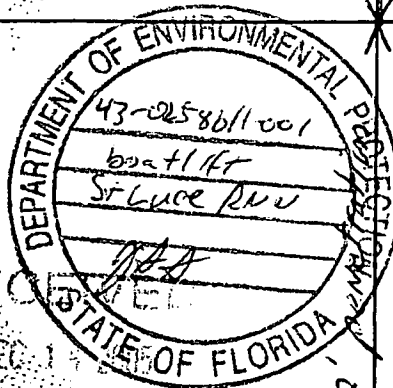
Natural ground

5'

10'-12"

Pole

Pole



RECEIVED

DEC 1 1971

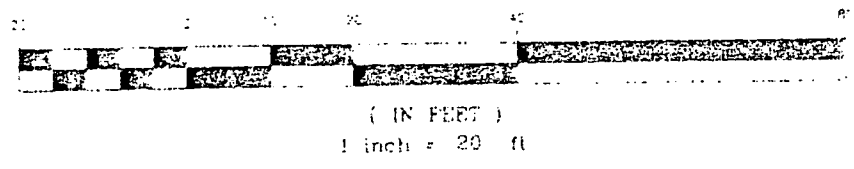
Dept. of Environ. Protection
 Fort St. Lucie

REVISED

BUILDING & COVERED AREAS: 2816.11 SQUARE FEET OR 0.088 ACRES MORE OR LESS (8.44%)
 CONCRETE DRIVEWAY & SLABS: 6185.83 SQUARE FEET OR 0.142 ACRES MORE OR LESS (13.64%)

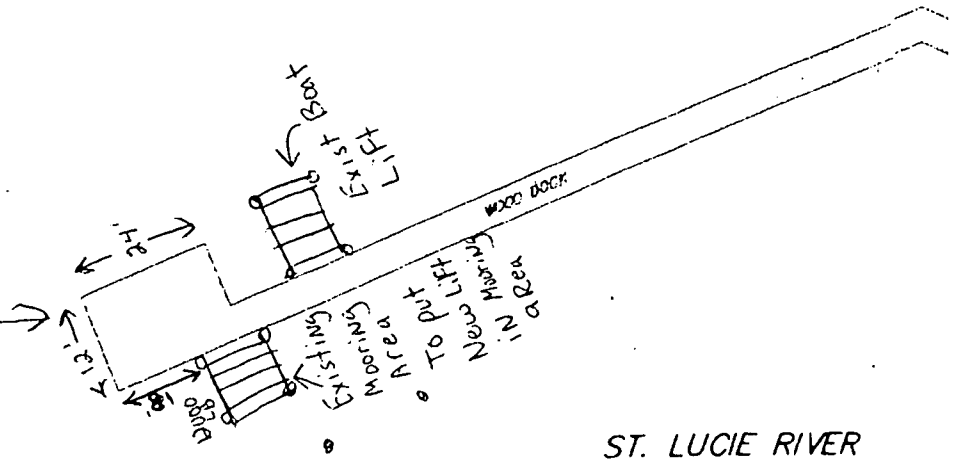
PROPOSED RETAINING WALL, STEPS & RAMP: 1027.50 SQUARE FEET 0.024 ACRES MORE OR LESS (2.4%)
 PROPOSED PERVIOUS AREA: 34166.77 SQUARE FEET OR 0.784 ACRES MORE OR LESS (75.60%)
 PROPOSED IMPERVIOUS AREA: 11029.43 SQUARE FEET OR 0.253 ACRES MORE OR LESS (24.40%)

GRAPHIC SCALE



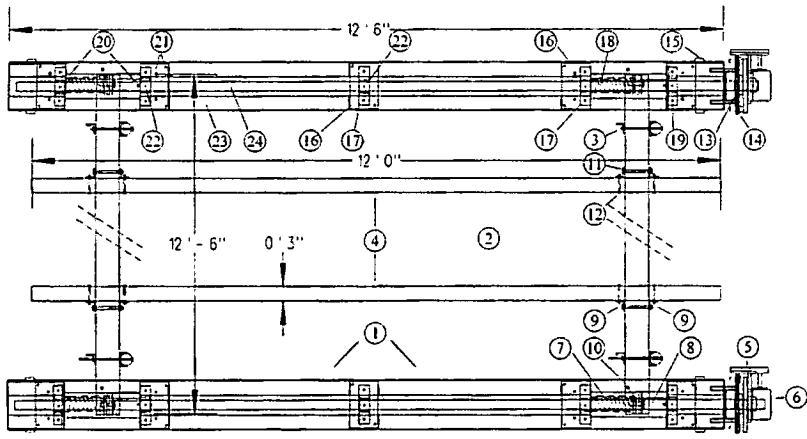
RECEIVED

2005 DEC -9 A 8:21
 DEPT OF ENVIRONMENTAL PROTECTION
 PALM BEACH COUNTY



ST. LUCIE RIVER

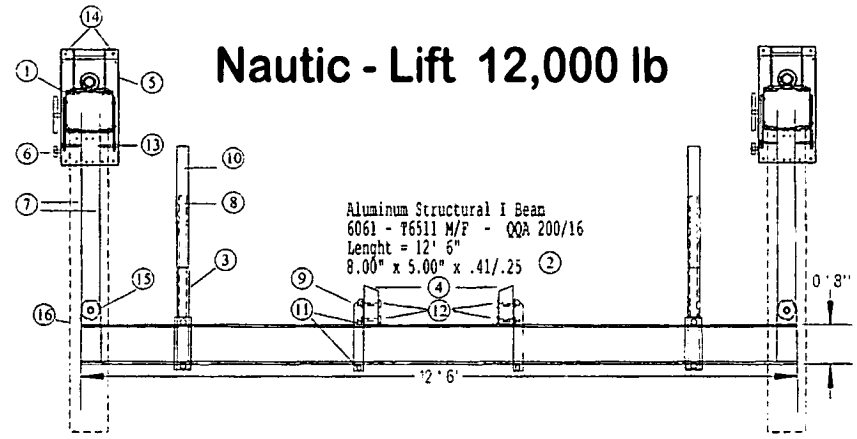
Not
 Creating
 Any New
 Areas



**Nautic - Lift 12,000 lb
Top View**
Drawing # NL-12-OV-TOP

Item	DWG #	Description	Qty.	Item	DWG #	Description	Qty.
17	NL-12-BRO-01	Bearing	10				
16		1/4" alum plate 6" x 9 1/2"	10				
15		Bolt S.S. 3/16" x 1 1/2"	16				
14		Bolt S.S. 1/2" x 1 1/2"	4				
13		Bolt S.S. 3/16" x 1"	2				
12		Bolt S.S. 3/8" x 4"	16				
11		Bolt S.S. 1/8" x 6"	8				
10		5/16" NP angr fitting	4				
9	NL-12-BRO-01	Beam brackets	4				
8		Cable winder - Sch. 80 alum. pipe	4				
7		3/16" S.S. cable	4	24		Winch shaft Sch. 80 Galv. steel, 1 13/16" OD	4
6		Miter, 1 hp Elec.	4	23	NL-12-TR-01	Alum. channel (F-4061 8" x 3")	4
5		Clear Unit Assy	2	22		Grease fitting	10
4		Wood Deck - 3" x 10" x 12' PT/RS	2	21		Bolt S.S. 3/16" x 1"	36
3	NL-12-OPB-1	Guide Pole Bracket Assy.	4	20		Bolt S.S. 3/16" x 3 1/2"	8
2	NL-12-CCL-01	Cradle Assy.	1	19		Bolt S.S. 3/16" x 1 1/2"	20
1	NL-12-TR-01	Top Rail Assy.	2	18		1/2" cable clamp - inside winch shaft	4
Item	DWG #	Description	Qty.	Item	DWG #	Description	Qty.

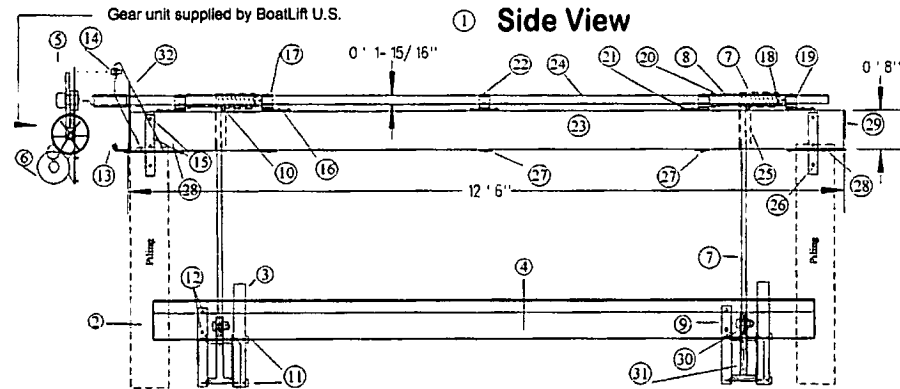
LIFT & DAVIT COMPANY, INC.
1501 Decker Ave. # 416 / Stuart, FL 34994 /
(561) 287-7962



**Nautic - Lift 12,000 lb
Front View**
Drawing # NL-12-OV-FRONT

Item	DWG #	Description	Qty.	Item	DWG #	Description	Qty.
17	NL-12-BRO-01	Bearing	10				
16	NL-12-FB-01	Lifter Beam Sheave Assy.	4				
15		4" alum. sheave with 3/4" S.S. bolt 4"	4	31			
14		Bolt S.S. 1/2" x 1 1/2"	4	31			
13		3" S.S. Lag Bolt 3"	8	30			
12		Bolt S.S. 3/8" x 4"	16	29			
11		Bolt S.S. 3/8" x 6"	8	28			
10		2" Sch 40 PVC Guide poles	4	27			
9	NL-12-BRO-01	Beam brackets	4	26			
8		Weights - Sch. 80 Galv. pipe 1 1/2" OD	4	25			
7		3/16" S.S. cable	4	24			
6		Miter, 1 hp Elec.	4	23			
5		Clear Unit Assy.	2	22			
4		Wood Deck - 3" x 10" x 12' PT/RS	2	21			
3	NL-12-OPB-1	Guide Pole Bracket Assy.	4	20			
2	NL-12-CCL-01	Cradle Assy.	1	19			
1	NL-12-TR-01	Top Rail Assy.	2	18			
Item	DWG #	Description	Qty.	Item	DWG #	Description	Qty.

LIFT & DAVIT COMPANY, INC.
1501 Decker Ave. # 416 / Stuart, FL 34994 /
(561) 287-7962



**Nautic - Lift 12,000 lb
Side View**
Drawing # NL-12-OV-SIDE

Item	DWG #	Description	Qty.	Item	DWG #	Description	Qty.
17	NL-12-BRO-01	Bearing	10				
16		1/4" alum plate 6" x 9 1/2"	10	32	NL-12-OD-01	Top Rail Gear mount Assy.	2
15		Bolt S.S. 3/16" x 1 1/2"	16	31	NL-12-FB-01	Lifter Beam Sheave Assy.	4
14		Bolt S.S. 1/2" x 1 1/2"	4	30		4" alum. sheave with 3/4" S.S. bolt 4"	4
13		Bolt S.S. 3/16" x 1"	2	29		1/4" alum plate 8" x 10"	2
12		Bolt S.S. 3/8" x 4"	16	28		1/4" alum plate 12 1/2" x 9 1/2"	4
11		Bolt S.S. 3/8" x 6"	8	27		1/4" alum plate 3" x 9 1/2"	6
10		5/16" NP angr fitting	4	26		3" S.S. Lag Bolt 3"	8
9	NL-12-BRO-01	Beam brackets	4	25		1 1/2" Sch. 40 Alum. pipe	4
8		Cable winder - Sch. 80 alum. pipe	4	24		Winch shaft Sch. 80 Galv. steel, 1 13/16" OD	4
7		3/16" S.S. cable	4	23	NL-12-TR-01	Alum. channel (F-4061 8" x 3")	4
6		Miter, 1 hp Elec.	4	22		Grease fitting	10
5		Clear Unit Assy	2	21		Bolt S.S. 3/16" x 1"	36
4		Wood Deck - 3" x 10" x 12' PT/RS	2	20		Bolt S.S. 3/16" x 3 1/2"	8
3	NL-12-OPB-1	Guide Pole Bracket Assy.	4	19		Bolt S.S. 3/16" x 1 1/2"	20
2	NL-12-CCL-01	Cradle Assy.	1	18		1/2" cable clamp - inside winch shaft	4
1	NL-12-TR-01	Top Rail Assy.	2				
Item	DWG #	Description	Qty.	Item	DWG #	Description	Qty.

LIFT & DAVIT COMPANY, INC.
1501 Decker Ave. # 416 / Stuart, FL 34994 /
(561) 287-7962

**COPY
ON FILE**

Lift & Davit Company, Inc.

3196 SE Waaler St.
Stuart, FL 34997
(772) 221-9449

NOTICE OF AD VALOREM TAXES & NON-AD VALOREM ASSESSMENTS

ORIGINAL		FOR MARTIN COUNTY		REAL ESTATE	
AD VALOREM TAXES					
P.D. NUMBER: 1-38-41-001-004-00040.50000		2003		TAX DISTRICT: 2200	
ASSESSED VALUE: 1,095,212		EXEMPTIONS: 25,000		TAXABLE VALUE: 1,070,212	
TAXING AUTHORITY		MILLAGE RATE		TAX AMOUNT	
COUNTY	COUNTY-GENERAL FUND-OP		5.3950		5,773.79
	CNTY-GOVT BONDS 1986		.2340		250.43
	CNTY-BONDS LANDS FOR YOU		.1260		134.85
	CNTY-F.I.T. BOND		.0520		55.65
SCHOOL	SCHOOL-GENERAL FUND		8.2630		8,843.16
CHILD SVC	CHILDRENS SERVICES ORDNCS		.3155		337.65
P.L.N.D.	FL-INLAND NAVIGATION DIST		.0385		41.20
CITY	SEWALLS POINT		1.8890		2,021.63
S.F.W.M.	SOUTH FLA WATER MANAGEMNT		.6970		745.94

TOTAL MILLAGE 17.01000 AD VALOREM TAXES 18,204.30

NON-AD VALOREM ASSESSMENTS	
COMBINED TAXES & ASSESSMENTS TOTAL: 18,204.30	

Pol 12-30-02

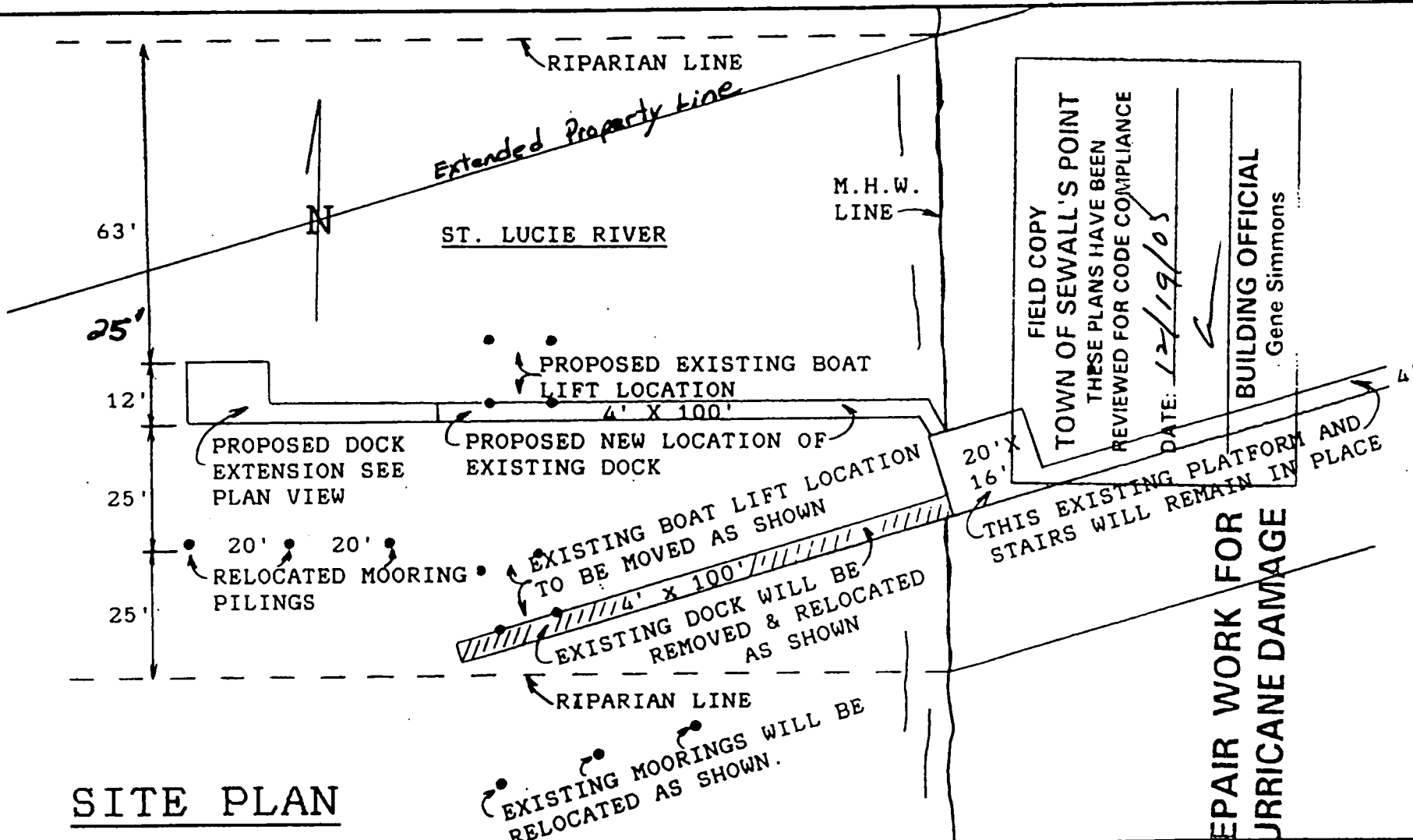
EXEMPTION: REG HMST 25,000
PROPERTY
ADDR: 31 S RIVER ROAD SP

01 38 41
ARBELA, PART OF LOT 4 DESC AS:
BEG 120' S/O SE COR LOT 18
MIRAMAR, WLY 358' M/L TO RIVER
SLY TO S/LN LOT 4, E 390' M/L
& NLY 120' TO POB



1-38-41-001-004-00040.50000 2003
LAZARUS, JEFFREY & JACQUELINE
31 S RIVER RD
STUART FL 34996-6723

NOV 1-NOV 30 17,476.13 DEC 1-DEC 31 17,658.17 JAN 1-JAN31 17,840.21 FEB 1-FEB29 18,022.26 MAR 1-MAR 31 18,204.30 DELINQUENT ON APRIL 1, 2004
SEE REVERSE SIDE FOR INSTRUCTIONS PLEASE DETACH AND RETURN BOTTOM PORTION WITH YOUR PAYMENT

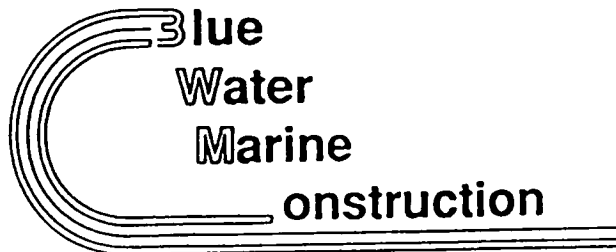


FIELD COPY
 TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE: 12/19/05
 BUILDING OFFICIAL
 Gene Simmons

20' X 16'
 THIS EXISTING PLATFORM AND
 STAIRS WILL REMAIN IN PLACE

REPAIR WORK FOR
 HURRICANE DAMAGE

SITE PLAN



PROJECT: Dock Relocation and Proposed Dock Extension Jeffrey Lazarus 31 S. River Rd., Sewells Pt., Stuart, FL 34996		
SCALE: 1" = 30'	APPROVED BY:	DRAWN BY WED
DATE: 5/24/90		REVISED 6/6/91
PERMIT: Federal, State, Local		
		DRAWING NUMBER

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 6-16, 2006 Page 2 of 3

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
Tree	Young	Tree	PASS	
12	40 N River Rd OB			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
Trees	Carlson/Premier	Trees	PASS	
5	#2 Tuscan La Masterpiece (Lot 2)			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8190	Kiplinger	Dry-in &	PASS	
8186	143 S River Rd Stuart Roofing	metal (BOAT HOUSE)		INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7900	Hart	Final	PASS	CLOSE
3	61 S River Rd Whisper Court.			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8230	Larsons	Foundation	PASS	CLOSE
sub 7	31 S River Rd Rms Elec.			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8123	Loluh	Beam	PASS	
1	20 E. High Rd Seagate			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
016		FTR / SCAB	FAIL	
4	3 ENARITA			INSPECTOR: <i>OM</i>

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 11-6, 2006

Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8132	Rucks	Final	PASS	CLOSE
6	20 N. Sewalls Pt Harbor Bay Pool			INSPECTOR: <i>[Signature]</i>
8428	Caplan/Merlotz	Final	PASS	CLOSE
2	10 E High Pt Elite Elec.			INSPECTOR: <i>[Signature]</i>
1974	Lazarus	Final-dock repair	PASS	CLOSE
5	31 S. River Rd O/B			INSPECTOR: <i>[Signature]</i>
8081	Lazarus	boatlift final	PASS	CLOSE
5	31 S River Rd O/B		P	INSPECTOR: <i>[Signature]</i>
Tree	Govel	Tree	PASS	
7	24 Castle Hill Way Nat'l Balance			INSPECTOR: <i>[Signature]</i>
8089	Wolcott	Final-dock	PASS	CLOSE
3	32 Rio Vista O/B			INSPECTOR: <i>[Signature]</i>
7801	Cummings	beams/column	PASS	2ND FL. T.B ELEVATOR T.B.
4	835 River Rd Elias			INSPECTOR: <i>[Signature]</i>

OTHER: _____

8329

REMODEL KITCHEN

TOWN OF SEWALL'S POINT

Date 7-26-06
Building to be erected for Lasarus
Applied for by Ken Wendell GC
Subdivision Arhula Lot 4 Block _____
Address 31 S River Rd
Type of structure SFR

Receipt
BUILDING PERMIT NO. 8329
Type of Permit Remodel Kitchen
(Contractor) 960x75' Building Fee 720.00
Radon Fee _____
Impact Fee _____
A/C Fee 35.00
Electrical Fee 35.00
Plumbing Fee 35.00
Roofing Fee _____
TOTAL Fees 825.00

Parcel Control Number:
13841-001-004-00040-50000

Amount Paid \$825 Check # _____ Cash _____ Other Fees (_____)
Total Construction Cost \$ 15000 TOTAL Fees 825.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official [Signature]

MASTER PERMIT NO. 8329
MC# 0064

TOWN OF SEWALL'S POINT

Date 7-26-06

BUILDING PERMIT NO. 8331

Building to be erected for Lazarus

Type of Permit Sub-Electric

Applied for by Lloyd Johnson Electric (Contractor)

Building Fee _____

Subdivision Arbella Lot 4 Block _____

Radon Fee _____

Address 31 S River Rd

Impact Fee _____

Type of structure SFR

A/C Fee _____

Qualifier Lloyd Johnson

Electrical Fee See

IL No # EC0003162

Plumbing Fee PN

Parcel Control Number:
13841-001-004-00040-50000

Roofing Fee 8329

Amount Paid ~~_____~~ Check # ~~_____~~ Cash ~~_____~~ Other Fees (_____) _____

Total Construction Cost \$ _____ TOTAL Fees _____

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official Dept Clerk

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

MASTER PERMIT NO. 8329

TOWN OF SEWALL'S POINT

Date 7-25-06

BUILDING PERMIT NO. 8330

Building to be erected for Razans

Type of Permit Sub-Plumbing

Applied for by Davis Plumbing (Contractor)

Building Fee /

Subdivision Arhela Lot 4 Block _____

Radon Fee /

Address 315 River Rd

Impact Fee /

Type of structure SFR

A/C Fee See

Qualifier DAVID E HERNANDEZ

Electrical Fee PN

License # CFC 051625

Plumbing Fee 8329

Parcel Control Number: 13841-001-004-00040-5000

Roofing Fee /

Amount Paid X Check # _____ Cash X Other Fees (_____)

Total Construction Cost \$ _____ TOTAL Fees _____

Signed David Hernandez
Applicant

Signed Valerie Meyer
Town Building Official Dept Clerk

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

MASTER PERMIT NO. 8329
MG#0064

TOWN OF SEWALL'S POINT

Date 7-26-06

BUILDING PERMIT NO. 8332

Building to be erected for Lazarus

Type of Permit Sub-A/C

Applied for by Century Air Cond. (Contractor)

Building Fee _____

Subdivision Arbella Lot 4 Block _____

Radon Fee _____

Address 31 Skinner Rd

Impact Fee _____

Type of structure SFR

A/C Fee See

Qualifier John M. Riley

Electrical Fee PN 8329

PLR# CAC057676

Plumbing Fee _____

Parcel Control Number: 13841-001-004-00040-50000

Roofing Fee _____

Amount Paid Check # _____ Cash _____ Other Fees (_____) _____

Total Construction Cost \$ _____ TOTAL Fees _____

Signed JMR
Applicant

Signed Valuedmey
Town Building Official Dept Clerk

PERMIT

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input checked="" type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL _____ |



MARTIN COUNTY BUILDING PERMIT

CARD MUST BE POSTED IN A CONSPICUOUS PLACE ON THE FRONT OF THE PREMISES WITHIN VIEW OF THE STREET BEFORE WORK IS STARTED.

Permit Number: SP01 - 20060064
Permit Type: SEWALLS POINT
Date Issued: 27-JUN-06
Project:
Scope of Work: Kitchen Remodel

Applicant/Contact:	WENDELL, KENNETH J /		
Parcel Control Number:	01-38-41-001-004-0004.0-50000		
Subdivision:	ARBELA		
Construction Address:	31 SOUTH RIVER RD		
Location Description:	LAZARUS, JEFFREY & JACQUELINE		
Owner Name:			
Prime Contractor:	WENDELL, KENNETH J 3000 SE WAALER ST STUART, FL 34997	772-223-0800	License No.: CGC060321

In consideration of the granting of this permit, it is agreed that in all respects the work will be performed and completed in accordance with the permitted plans and the applicable codes for Martin County, Florida. This permit may be revoked at any time upon the violation of any of the provisions of said laws, ordinances or rules and regulations or upon any change in the plans and specifications unauthorized by this department. Permit expires one hundred eighty (180) days from the date of issuance if work is not started or if work is suspended for a period of six months. Per FBC Section 3305, sanitary facilities shall be provided during construction, remodeling, or demolition activities.

"NOTICE: IN ACCORDANCE TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES."

**"WARNING TO OWNER; YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."
A CERTIFIED COPY OF RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE ISSUING AUTHORITY PRIOR TO THE FIRST INSPECTION.**

ALL REINSPECTIONS OR ADDITIONAL INSPECTIONS WILL BE CHARGED AT A RATE ESTABLISHED BY THE BOARD OF COUNTY COMMISSION. NOTICE: DO NOT ORDER CONCRETE UNTIL INSPECTION IS APPROVED.

UPON COMPLETION OF WORK, A FINAL INSPECTION MUST BE CALLED FOR BY THE CONTRACTOR. FAILURE TO DO SO WILL RESULT IN A DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR.

INSPECTIONS

Phone 221-2364 (interactive voice) or 288-5489 for inspections. 24 hour notice is required.
The inspections listed below may not represent all necessary required inspections for the scope of work.

3050 R/Elec	_____	5050 R/Plumb	_____	4031 Rough Duct	_____
6099 Residential Final	_____	5010 Ug/Plumg	_____	6050 Frame	_____
6064 Insulation	_____				

MARTIN COUNTY BUILDING PERMIT CONDITIONS

Conditions

1. ELECTRIC VERIFICATION-6099

Must be done prior to inspection: 6099

SUBMITTAL OF ELECTRICAL VERIFICATION REQUIRED PRIOR TO FINAL INSPECTION

2. HARV VERIFICATION-4031

Must be done prior to inspection: 4031

SUBMITTAL OF COMPLETED HARV VERIFICATION REQUIRED PRIOR SCHEDULING ROUGH DUCT INSPECTION.

3. PLUMBING VERIFICATION-5010

Must be done prior to inspection: 5010

SUBMITTAL OF COMPLETED PLUMBING VERIFICATION NEED PRIOR TO SCHEDULING UNDER GROUND PLUMBING INSPECTION.

RECEIVED
6-27-06

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: _____

Date: 6/21/06

OWNER/TITLEHOLDER NAME: Jeffrey & Jacqueline Lazarus Phone (Day) 288 6587 (Fax) None

Job Site Address: 31 S. River Rd. City: Sewallis Pt. State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Arbela - 4 Parcel Number: 1-38-41-001-004-0040-50000

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: Kitchen Remodel

WILL OWNER BE THE CONTRACTOR?:

YES NO

(If no, fill out the Contractor & Subcontractor sections below)
(If yes, Owner Builder Affidavit must accompany application)

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 75000
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$2,344,560.

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: Tax Roll.

CONTRACTOR/Company: Ken Wendell GC, INC Phone: 912-223-0800 Fax: 912-223-1613

Street: 3000 SE. Waaler St. City: Stuart State: FL Zip: 34997

State Registration Number: _____ State Certification Number: CGC 060321 Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: LLOYD JOHNSON ELECTRIC INC State: _____ License Number: EC 0003162
Mechanical: FERREW GAS - SEPARATE PERMIT State: _____ License Number: SP00125
Plumbing: DAVE'S PLUMBING State: _____ License Number: CFC 051625
Roofing: CENTURY AIR CONDITIONER State: _____ License Number: CAC 057676
AIR COND

ARCHITECT _____ Lic.#: _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER B & B Engineers & Consultants Lic# PE 55141 Phone Number: 772-708-7785
Street: 706 S. 7th St City: Ft. Pierce State: FL Zip: 34950

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

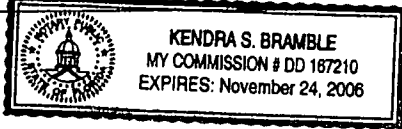
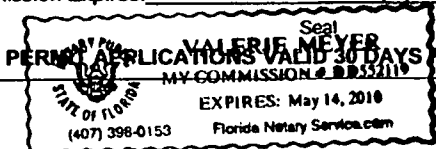
NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
Jacqueline Lazarus
State of Florida, County of: Martin
This the 21st day of May, 2006
by Jacqueline Lazarus who is personally known to me or produced FL Drivers License as identification.
Valerie Meyer
Notary Public
My Commission Expires: _____

CONTRACTOR SIGNATURE (required)
KENNETH WENDELL
On State of Florida, County of: _____
This the 23 day of MAY, 2006
by KENNETH WENDELL who is personally known to me or produced _____ as identification.
Kendra S. Bramble
Notary Public
My Commission Expires: 11/24/06



PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

ACORD CERTIFICATE OF LIABILITY INSURANCE		OP ID LE KERNZ-1	DATE (MM/DD/YYYY) 02/01/06
PRODUCER R.V. Johnson Agency, Inc. 2041 SE Ocean Blvd Stuart FL 34996 Phone: 772-287-3366 Fax: 772-287-4255		THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
		INSURERS AFFORDING COVERAGE	
INSURED Ken Wendell General Contractors, Inc. 3000 SE Naaler Street Stuart FL 34997		INSURER A: Southern Owners Insurance	10190
		INSURER B: Auto-Owners Insurance Co	18988
		INSURER C:	
		INSURER D:	
		INSURER E:	

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS			
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> CGL Plus	20606623	08/12/05	08/12/06	EACH OCCURRENCE: \$ 1,000,000			
	GENL AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC							
	DAMAGE TO RENTED PREMISES (Ea occurrence): \$ 100,000							
	MED EXP (Any one person): \$ 10,000							
PERSONAL & ADV INJURY: \$ 1,000,000								
GENERAL AGGREGATE: \$ 1,000,000								
PRODUCTS - COM/POP AGG: \$ 1,000,000								
B	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS	9659858800	02/06/06	02/06/07	COMBINED SINGLE LIMIT (Ea accident): \$ 100000			
	BODILY INJURY (Per person): \$							
	BODILY INJURY (Per accident): \$							
	PROPERTY DAMAGE (Per accident): \$							
GARAGE LIABILITY <input type="checkbox"/> ANY AUTO								
NOT COVERED W/THIS AGENCY								
EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$								
NOT COVERED W/THIS AGENCY								
WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below								
NOT COVERED W/THIS AGENCY								
OTHER A Equipment Floater 20606623 08/12/05 08/12/06 A Property Section 20606623 08/12/05 08/12/06								
DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS								

CERTIFICATE HOLDER

CANCELLATION

TOWN024 Town of Sewalls Point Building Department 1 S. Sewalls Point Road Stuart FL 34996	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10* DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE
--	--

ACORD™ CERTIFICATE OF LIABILITY INSURANCE

Form
2/1/2006

Producer: Lion Insurance Company
2739 U.S. Highway 19 N.
Holiday, FL 34691
Phone: 727-938-5562 Fax: 727-937-2138

This Certificate is issued as a matter of information only and confers no rights upon the Certificate Holder. This Certificate does not amend, extend or alter the coverage afforded by the policies below.

Insured: South East Personnel Leasing, Inc.
2739 U.S. Highway 19 N.
Holiday, FL 34691
Phone: (727)938-5562

Insurers Affording Coverage		NAIC #
Insurer A:	Lion Insurance Company	11075
Insurer B:		
Insurer C:		
Insurer D:		
Insurer E:		

Coverages

The policies of insurance listed below have been issued to the insured named above for the policy period indicated. Notwithstanding any requirement, term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the policies described herein is subject to all the terms, exclusions, and conditions of such policies. Aggregate limits shown may have been reduced by paid claims.

INSR LTR	ADOL INSRD	Type of Insurance	Policy Number	Policy Effective Date (MM/DD/YY)	Policy Expiration Date (MM/DD/YY)	Limits									
		GENERAL LIABILITY <input type="checkbox"/> Commercial General Liability <input type="checkbox"/> Claims Made <input type="checkbox"/> Occur General aggregate limit applies per: <input type="checkbox"/> Policy <input type="checkbox"/> Project <input type="checkbox"/> LOC				Each Occurrence	\$								
						Damage to rented premises (EA occurrences)	\$								
						Med Exp	\$								
						Personal Advr Injury	\$								
						General Aggregate	\$								
						Products - Comp/Op Agg	\$								
		AUTOMOBILE LIABILITY <input type="checkbox"/> Any Auto <input type="checkbox"/> All Owned Autos <input type="checkbox"/> Scheduled Autos <input type="checkbox"/> Hired Autos <input type="checkbox"/> Non-Owned Autos				Combined Single Limit (EA Accident)	\$								
						Bodily Injury (Per Person)	\$								
						Bodily Injury (Per Accident)	\$								
						Property Damage (Per Accident)	\$								
		GARAGE LIABILITY <input type="checkbox"/> Any Auto				Auto Only - Ea Accident	\$								
						Other Than EA Acc.	\$								
						Autos Only AGG.	\$								
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> Occur <input type="checkbox"/> Claims Made <input type="checkbox"/> Deductible <input type="checkbox"/> Retention				Each Occurrence									
						Aggregate									
A		Workers Compensation and Employers' Liability Any proprietor/partner/executive officer/member excluded? If Yes, describe under special provisions below.	WC 71949	01/01/2006	01/01/2007	X	<table border="1"> <tr> <td>WC Statutory Limits</td> <td>OTHEL</td> </tr> <tr> <td>E.L. Each Accident</td> <td>\$1000000</td> </tr> <tr> <td>E.L. Disease - Ea Employee</td> <td>\$1000000</td> </tr> <tr> <td>E.L. Disease - Policy Limits</td> <td>\$1000000</td> </tr> </table>	WC Statutory Limits	OTHEL	E.L. Each Accident	\$1000000	E.L. Disease - Ea Employee	\$1000000	E.L. Disease - Policy Limits	\$1000000
WC Statutory Limits	OTHEL														
E.L. Each Accident	\$1000000														
E.L. Disease - Ea Employee	\$1000000														
E.L. Disease - Policy Limits	\$1000000														

Other 2101581
Ken Wendell Gen. Contractors, Inc.

COVERAGE APPLIES ONLY TO THOSE EMPLOYEES LEASED, NOT TO SUBCONTRACTORS.

Descriptions of Operations/Locations/Vehicles/Exclusions added by Endorsement/Special Provision:

ADD ON DATE: 4/22/2002

COVERAGE APPLIES ONLY IN THE STATE OF FLORIDA TO THOSE EMPLOYEES LEASED TO BUT NOT SUBCONTRACTORS OF Ken Wendell Gen. Contractors, Inc. FAX: 772-223-1613 / ISSUE 2-01-08 (SH)

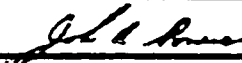
Lion Insurance Company is A.M. Best Company rated A- (Excellent). A.M.B. # 12616

CERTIFICATE HOLDER

CANCELLATION

TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
1 SOUTH SEWALL POINT RD
SEWALL FL 34896

Should any of the above described policies be cancelled before the expiration date thereof, the issuing insurer will endeavor to mail 30 days written notice to the certificate holder named to the left, but failure to do so shall impose no obligation or liability of any kind upon the insurer, its agents or representatives.





TOM GALLAGHER
CHIEF FINANCIAL OFFICER

STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION

**** CERTIFICATE OF EXEMPTION FROM FLORIDA WORKERS' COMPENSATION LAW ****

CONSTRUCTION INDUSTRY EXEMPTION

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation Law.

EFFECTIVE DATE: 02/17/2005 ** EXPIRATION DATE: 02/17/2007.

PERSON: WENDELL KENNETH J JR

FEIN: 200534647

BUSINESS NAME AND ADDRESS: KEN WENDELL GENERAL CONTRACTORS INC
3000 S E WAALER ST
STUART FL 34997

SCOPE OF BUSINESS OR TRADE: 1 - CERTIFIED GENERAL CONTRACTOR

IMPORTANT: Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.

JWC-252 CERTIFICATE OF ELECTION TO BE EXEMPT REVISED 01-04

QUESTIONS? (850) 413-1

PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION



CONSTRUCTION INDUSTRY

CERTIFICATE OF EXEMPTION FROM FLORIDA
WORKERS' COMPENSATION LAW

EFFECTIVE 02/17/2005

** EXPIRATION DATE 02/17/2007

PERSON: WENDELL KENNETH J JR

FEIN: 200534647

BUSINESS NAME AND ADDRESS: KEN WENDELL GENERAL CONTRACTOR
3000 S E WAALER ST
STUART FL 34997

SCOPE OF BUSINESS OR TRADE:
1-CERTIFIED GENERAL CONTRACTOR

F
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L
D

H
E
R
E

IMPORTANT

Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.

QUESTIONS? (850) 413-160

CUT HERE

* Carry bottom portion on the job, keep upper portion for your records.



DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD
1940 NORTH MONROE STREET
TALLAHASSEE FL 32399-0783

(850) 487-1395

WENDELL, KENNETH JAMES
KEN WENDELL - GENERAL CONTRACTORS INC
P O BOX 3266
STUART FL 34997

STATE OF FLORIDA AC# 1788188
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CGC060321 12/14/04 040468055

CERTIFIED GENERAL CONTRACTOR
WENDELL, KENNETH JAMES
KEN WENDELL - GENERAL CONTRACTORS

IS CERTIFIED under the provisions of Ch.489 FS.
Expiration date: AUG 31, 2006 L04121401524

DETACH HERE

#1788188

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L04121401524

DATE	BATCH NUMBER	LICENSE NBR
2/14/2004	040468055	CGC060321

The GENERAL CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2006

WENDELL, KENNETH JAMES
KEN WENDELL - GENERAL CONTRACTORS INC
3000 SE WALER ST
STUART FL 34997

JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

DIANE CARR
SECRETARY

2005-2006 MARTIN COUNTY ORIGINAL COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34996
(772) 288-5604

LICENSE 1999-513-014 CERT CGC 060321
PHONE (772)223-0800 SIC NO 233210

LOCATION: 3000 SE WAALER ST MAR

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR \$	<u>.00</u>	LIC. FEE \$	_____
\$	<u>.00</u>	PENALTY \$	_____
\$	<u>.00</u>	COL. FEE \$	_____
\$	<u>.00</u>	TRANSFER \$	_____
TOTAL			<u>25.00</u>



KENNETH JAMES
GELL GENERAL CONTRACTOR
SE WAALER ST
STUART FL 34997

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION OF
CERTIFIED GENERAL CONTRACTOR
AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

17 DAY OF AUGUST 20 05
AND ENDING SEPTEMBER 30 2006

RECEIPT of PAYMENT
6818 1
LARRY C. O'STEEN
9X76/172885 DCC1 N0RNR1
199951388814880
8228858A17865839CK
\$25.00

ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID LW
LLOYD-7

DATE (MM/DD/YYYY)
09/26/05

PRODUCER Atlantic Pacific Insurance-PBG 11382 Prosperity Farms, #123 Palm Beach Gardens FL 33410 Phone: 800-538-0487 Fax: 561-626-3153	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
	INSURERS AFFORDING COVERAGE	NAIC #
INSURED LLOYD Johnson Electric, Inc. PO Drawer O Port Salerno FL 34992	INSURER A: Transcontinental Insurance Co.	20486
	INSURER B:	
	INSURER C:	
	INSURER D:	
	INSURER E:	

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR	INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A		GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	B2048001285	09/25/05	09/25/06	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 1,000,000 PRODUCTS - COMP/OP AGG \$ 1,000,000	
		AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$	
		GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$	
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE \$ RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$	
		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				WC STATUTORY LIMITS | OTHER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$	
		OTHER					

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

CERTIFICATE HOLDER

TOWNSEW

Town of Sewalls Point
1 South Sewalls Point Road
Sewalls Point FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE
Peace and Associates, Inc. *Robert J. Minich*

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
04/15/06

PRODUCER
MIKE C KELLEY INS'INC
581-747-5888
851 W INDIANTOWN RD STE D
JUPITER, FL., 33458

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED
LLOYD JOHNSON ELECTRIC INC
P O BOX 0
PT SALERNO, FL 34992

INSURERS AFFORDING COVERAGE
INSURER A:
INSURER B: ALLSTATE
INSURER C: CYBERCOMP
INSURER D:
INSURER E:

COVERAGES

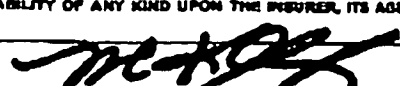
THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

TYPE	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY COMMERCIAL GENERAL LIABILITY CLAIMS MADE <input type="checkbox"/> OCCUR <input type="checkbox"/>				EACH OCCURRENCE \$ FIRE DAMAGE (Any one fire) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$
	GENT. AGGREGATE LIMIT APPLIES PER: POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC <input type="checkbox"/>				
B	AUTOMOBILE LIABILITY ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> X SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input type="checkbox"/> X NON-OWNED AUTOS <input checked="" type="checkbox"/>	048143163	02/05/06	02/05/07	COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ 100,000 BODILY INJURY (Per accident) \$ 300,000 PROPERTY DAMAGE (Per accident) \$ 50,000
	GARAGE LIABILITY ANY AUTO <input type="checkbox"/>				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ ADD \$
	EXCESS LIABILITY OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE \$ RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$
	OTHER				
C	WORKERS COMPENSATION AND EMPLOYERS LIABILITY	WCX0017821	04/17/06	04/17/07	X WC STATUTORY LIMITS <input checked="" type="checkbox"/> OTHER <input type="checkbox"/> E.L. EACH ACCIDENT \$ 100,000 E.L. DISEASE - EA EMPLOYEE \$ 100,000 E.L. DISEASE - POLICY LIMIT \$ 500,000

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENTS/SPECIAL PROVISIONS
30 DAYS NOTICE WILL BE GIVEN FOR CANCELLATION OF WORKERS COMPENSATION

CERTIFICATE HOLDER X **ADDITIONAL INSURED** **INSURER LETTER:**

TOWN OF SEWALLS POINT
1 SOUTH SEWALLS POINT RD
SEWALLS POINT, FL 34995

CANCELLATION
SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.
AUTHORIZED REPRESENTATIVE 



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

**ELECTRICAL CONTRACTORS LICENSING BOARD
1940 NORTH MONROE STREET
TALLAHASSEE FL 32399-0783**

(850) 487-1395

**JOHNSON, O LLOYD
LLOYD JOHNSON ELECTRIC INC
PO DRAWER O
PORT SALERNO FL 34992**

STATE OF FLORIDA AC# 1500443
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
 EC0003162 07/21/04 040074844
**CERTIFIED ELECTRICAL CONTRACTOR
 JOHNSON, O LLOYD
 LLOYD JOHNSON ELECTRIC INC**

IS CERTIFIED under the provisions of Ch. 489 FS.
 Expiration date: AUG 31, 2006 L04072101915

DETACH HERE

AC# 1500443

STATE OF FLORIDA

**DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
ELECTRICAL CONTRACTORS LICENSING BOARD**

SEQ# L04072101915

DATE	BATCH NUMBER	LICENSE NBR
07/21/2004	040074844	EC0003162

The **ELECTRICAL CONTRACTOR**
Named below IS **CERTIFIED**
Under the provisions of Chapter 489 FS.
Expiration date: **AUG 31, 2006**

**JOHNSON, O LLOYD
LLOYD JOHNSON ELECTRIC INC
PO DRAWER O
PORT SALERNO FL 34992**

**2005-2006 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE**

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34998
(772) 288-5604

LICENSE ~~1996-508-001~~ CERT ~~EC-0003162~~
PHONE ~~(561)223-7397~~ LIC NO ~~001731~~

LOCATION:

2552 SE CLAYTON ST MAR

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	<u> .00</u>	LIC. FEE \$	<u> 25.00</u>
\$	<u> .00</u>	PENALTY \$	<u> .00</u>
\$	<u> .00</u>	COL. FEE \$	<u> .00</u>
\$	<u> .00</u>	TRANSFER \$	<u> .00</u>
TOTAL			<u> 25.00</u>



IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION

of **ELECTRICAL CONTRACTOR** CERTIFIED **DRIVER 0**

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

16 DAY OF **AUGUST** 2005

AND ENDING SEPTEMBER 30, **2006**

12 00002004 002604

LLOYD QUALIFIER
LLOYD JOHNSON ELECTRIC INC
PORT SALERNO, FL 34992

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
01/04/06

PRODUCER

FEDERATED MUTUAL INSURANCE COMPANY
 302 Perimeter Center North
 Atlanta, GA 30348
 Phone: 770-390-3900
 Home Office: Owatonna, MN 55060

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY A FEDERATED MUTUAL INSURANCE COMPANY OR
FEDERATED SERVICE INSURANCE COMPANY

INSURED 141-263-4
DAVES PLUMBING INC
 499 SE SEVILLE STREET
 STUART FL 34994

COMPANY B

COMPANY C

COMPANY D

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT	9040854	04/01/06	04/01/07	GENERAL AGGREGATE \$ 2,000,000
					PRODUCTS - COMP/OP AGG \$ 2,000,000
					PERSONAL & ADV INJURY \$ 1,000,000
					EACH OCCURRENCE \$ 1,000,000
					FIRE DAMAGE (Any one fire) \$ 100,000
					MED EXP (Any one person) \$
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	9040854	04/01/06	04/01/07	COMBINED SINGLE LIMIT \$ 1,000,000
					BODILY INJURY (Per person) \$
					BODILY INJURY (Per accident) \$
					PROPERTY DAMAGE \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$
					OTHER THAN AUTO ONLY: \$
					EACH ACCIDENT \$
					AGGREGATE \$
	EXCESS LIABILITY <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$
					AGGREGATE \$
					\$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input type="checkbox"/> INCL <input type="checkbox"/> EXCL	9041337	04/01/06	04/01/07	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER \$ 500,000
					EL EACH ACCIDENT \$ 500,000
					EL DISEASE - POLICY LIMIT \$ 500,000
					EL DISEASE - EA EMPLOYEE \$ 500,000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

CERTIFICATE HOLDER

CANCELLATION

1412634
TOWN OF SEWALLS POINT 310
 ONE SOUTH SEWALLS POINT DR
 STUART FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

[Signature]
 PRESIDENT



MARTIN COUNTY, FLORIDA
Construction Industry Licensing Board
Certificate of Competency

MASTER PLUMBER

License Number MP00030 Expires: 30-SEP-07

HUSNANDER, DAVE
DAVE'S PLUMBING INC
499 SE SEVILLE ST
STUART, FL 34994

STATE OF FLORIDA

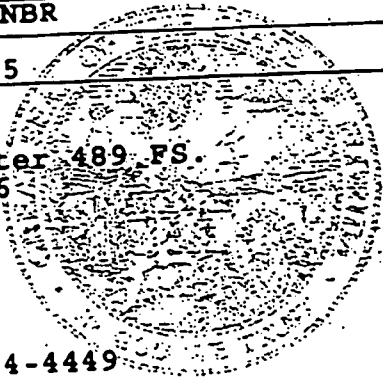
AC# 1462733

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L0406240065

DATE	BATCH NUMBER	LICENSE NBR
06/24/2004	030745402	CFC051625

The PLUMBING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489, FS.
Expiration date: AUG 31, 2006



HUSNANDER, DAVID E JR
DAVE'S PLUMBING INC
499 SE SEVILLE ST
STUART

FL 34994-4449

JEB BUSH
GOVERNOR

DIANE CARR
SECRETARY

DISPLAY AS REQUIRED BY LAW

2005 006 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steel Tax Collector, P.O. Box 9013, Stuart, FL 34995
(772) 288-5604

LICENSE 1900-524-007 CERT 1
PHONE (561) 287-8128 SIC NO 023511
LOCATION 499 SE SEVILLE ST MAR 6810

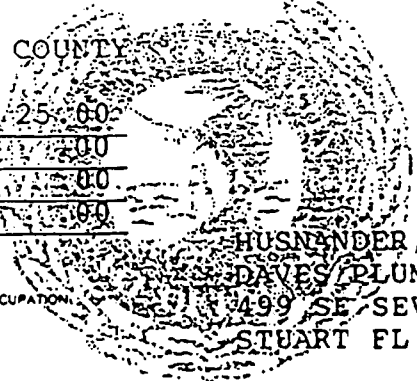
CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	.00	LIC. FEE \$	25.00
\$	.00	PENALTY \$	.00
\$	.00	COL FEE \$	.00
\$	.00	TRANSFER \$	25.00
TOTAL			

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION OF PLUMBING

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

12 DAY OF AUGUST 05
AND ENDING SEPTEMBER 30, 2006



HUSNANDER, DAVID E
DAVE'S PLUMBING INC
499 SE SEVILLE ST
STUART FL 34997

RECEIPT OF PAYMENT

LARRY C. O'STEEN
93 06/12/2005 OCC1 NORMAL
19005240007000
0220050812005639CK \$25.00

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
12/07/2005

PRODUCER (772)334-3181 FAX (772)334-7742
 Rick Carroll Insurance Agency
 2160 N.E. Dixie Highway
 P.O. Box 877
 Jensen Beach, FL 34958-0877

INSURED Century Air Conditioning of the Treasure Coast,
 3044 SE Dominica Terrace
 Stuart, FL 34997

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE		NAIC #
INSURER A:	American States Insurance	19704
INSURER B:		
INSURER C:		
INSURER D:		
INSURER E:		

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR	INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A		GENERAL LIABILITY	01CL3499202	11/19/2005	11/19/2006	EACH OCCURRENCE	\$ 300,000
		<input type="checkbox"/> COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 200,000
		<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$ 10,000
		<input checked="" type="checkbox"/>				PERSONAL & ADV INJURY	\$ 300,000
		GEN'L AGGREGATE LIMIT APPLIES PER:				GENERAL AGGREGATE	\$ 600,000
		<input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				PRODUCTS - COM/POP AGG	\$ 600,000
		AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT (Ea accident)	\$
		<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
		<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$
		<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$
		<input type="checkbox"/> HIRED AUTOS					
		<input type="checkbox"/> NON-OWNED AUTOS					
		GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$
		<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC	\$
						AUTO ONLY: AGG	\$
		EXCESS/UMBRELLA LIABILITY				EACH OCCURRENCE	\$
		<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$
		<input type="checkbox"/>					\$
		<input type="checkbox"/> DEDUCTIBLE					\$
		<input type="checkbox"/> RETENTION \$					\$
		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATU-TORY LIMITS	OTH-ER
		ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				E.L. EACH ACCIDENT	\$
		If yes, describe under SPECIAL PROVISIONS below				E.L. DISEASE - EA EMPLOYEE	\$
		OTHER				E.L. DISEASE - POLICY LIMIT	\$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

THIS CERTIFICATE IS FOR PROOF OF INSURANCE ONLY.

CERTIFICATE HOLDER

TOWN OF SEWELLS POINT
 1 SEWELLS POINT ROAD
 STUART, FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE
 Keith Carroll/LAG



Certificate of Insurance

This certificate is issued as a matter of information only and confers no rights upon the Certificate Holder other than those provided by this policy. This certificate does not amend, extend, or alter the coverage afforded by the policies described herein.

Named Insured(s):

Gevity HR, Inc and its wholly owned subsidiaries including but not limited to Gevity HR, LP; Gevity HR II, LP; Gevity HR III, LP; Gevity HR IV, LP; Gevity HR V, LP; Gevity HR VI, LP; Gevity HR VII, LP; Gevity HR VIII, LP; Gevity HR IX, LP; Gevity HR X, LP; Gevity HR XI, LLC; Gevity HR XII Corp.
600 301 Boulevard West
Bradenton, Florida 34205

MARSH

Insurer Affording Coverage

American Home Assurance Co.,
Member of American International Group, Inc. (AIG)

Coverages:

This is to certify that the policy(ies) of insurance described herein have been issued to the insured named herein for the policy period indicated. Notwithstanding any requirement, term or condition of any contract or other document with respect to which the Certificate may be issued or may pertain, the insurance afforded by the policy(ies) described herein is subject to all the terms, conditions and exclusions of such policy(ies). (Aggregate) Limits shown may have been reduced by paid claims.

Type of Insurance	Certificate Exp. Date	Policy Number	Limits	
			Employers Liability	
Workers' Compensation	1-1-2007	RMWC9426922 RMWC9431313	Bodily Injury By Accident	Each Accident
			\$ 2,000,000	
			Bodily Injury By Disease	Policy Limit
			\$ 2,000,000	
			Bodily Injury By Disease	Each Person
			\$ 2,000,000	

Other:

Employees Leased To:

Effective Date: 1/1/06

15970 Century Air Conditioning Inc.

The above referenced workers' compensation policy(ies) provide(s) statutory benefits only to the employees of the Named Insured(s) on such policy(ies), not to the employees of any other employer.

Notice of Cancellation: Should any of the policies described herein be cancelled before the expiration date thereof, the insurer affording coverage will endeavor to mail 30 days written notice to the certificate holder named herein, but failure to mail such notice shall impose no obligation or liability of any kind upon the insurer affording coverage, its agents or representatives.

Certificate Holder:

Town of Sewall Point
1 S Sewalls Point Rd
Stuart, FL 34996-6736



Michael C. Weiss

Michael C. Weiss
Authorized Representative of Marsh USA Inc.

(866) 443-8489
Phone

12/15/2005
Date Issued

1514234

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ#L04073000873

DATE	BATCH NUMBER	LICENSE NBR
07/30/2004	040095129	CAC057676



The CLASS B AIR CONDITIONING CONTRACTOR
 Named below IS CERTIFIED
 Under the provisions of Chapter 489
 Expiration date: AUG 31, 2006

RILEY, JOHN MATTHEW
 CENTURY A/C INC
 3044 SE DOMINICA TERRACE
 STUART FL 34997

JEB BUSH
 GOVERNOR

DISPLAY AS REQUIRED BY LAW

DIANE CARR
 SECRETARY

**2005-2006 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE**

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(772) 288-5604

LICENSE 2005-518-023 CERT CAC057676

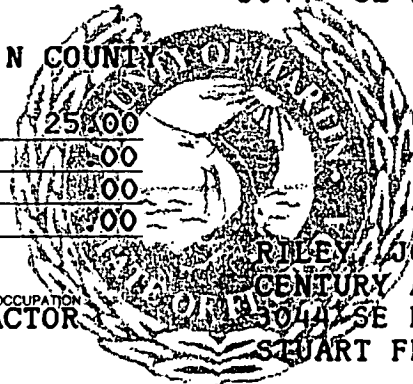
PHONE (772)692-4886 IC NO 235110

LOCATION:

3044 SE DOMINICA TER STU

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>0.00</u>
\$	<u>.00</u>	COL. FEE \$	<u>0.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>0.00</u>
TOTAL			<u>25.00</u>



**RILEY JOHN MATTHEW
CENTURY A/C OF TREASURE COAST INC.
3044 SE DOMINICA TER
STUART FL 34997**

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF **AIR CONDITIONING CONTRACTOR**

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

15 DAY OF AUGUST 2005
AND ENDING **SEPTEMBER 30, 2006**

12 00002004 000650

INSTR # 1942273 OR BK 02154 PG 2334 RECD 06/21/2006 10:12:06 AM
Pg 2334 (1pg)
MARSHA EWING MARTIN COUNTY DEPUTY CLERK S Phoenix

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # 01-38-41-001-004-00040-

NOTICE OF COMMENCEMENT

STATE OF FLORIDA

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):
Arbela, part of lot 4, beg 120' s/o SE Corner Lot 18 Miramar WLY 358'

GENERAL DESCRIPTION OF IMPROVEMENT: Kitchen & bathroom renovation

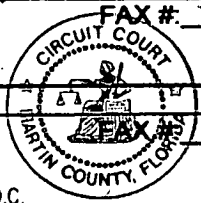
OWNER: Jeffrey & Jacqueline Lazarus
ADDRESS: 31 South River Rd Stuart FL 34996
PHONE #: 772 288-6587 FAX #: 772 288-2747

INTEREST IN PROPERTY: owner

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

CONTRACTOR: Kenwendell General Contractors
ADDRESS: 3000 State of Florida Water Street Stuart FL 34997
PHONE #: 772 223-0000 FAX #: 772 223-1613

THIS IS TO CERTIFY THAT THE SURETY COMPANY (IF ANY) GOING PLACES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.
ADDRESS: _____
PHONE # _____
BOND AMOUNT: _____
BY Joanna Ewing D.C.
MARTIN COUNTY CLERK



LENDER/MORTGAGE COMPANY 621-06
ADDRESS: _____
PHONE #: _____ FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____
ADDRESS: _____
PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.
PHONE #: _____ FAX #: _____

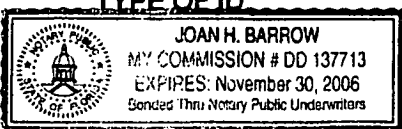
EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Joaceline Lazarus
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 4 DAY OF April 2006
BY Joaceline & Jeffrey Lazarus

PERSONALLY KNOWN ✓
OR PRODUCED ID _____
TYPE OF ID _____

Joanna Ewing
NOTARY SIGNATURE



0064
 31 S. RIVER. ~~31 S. RIVER~~
 FILE

B & B
 Engineers & Consultants, Inc.

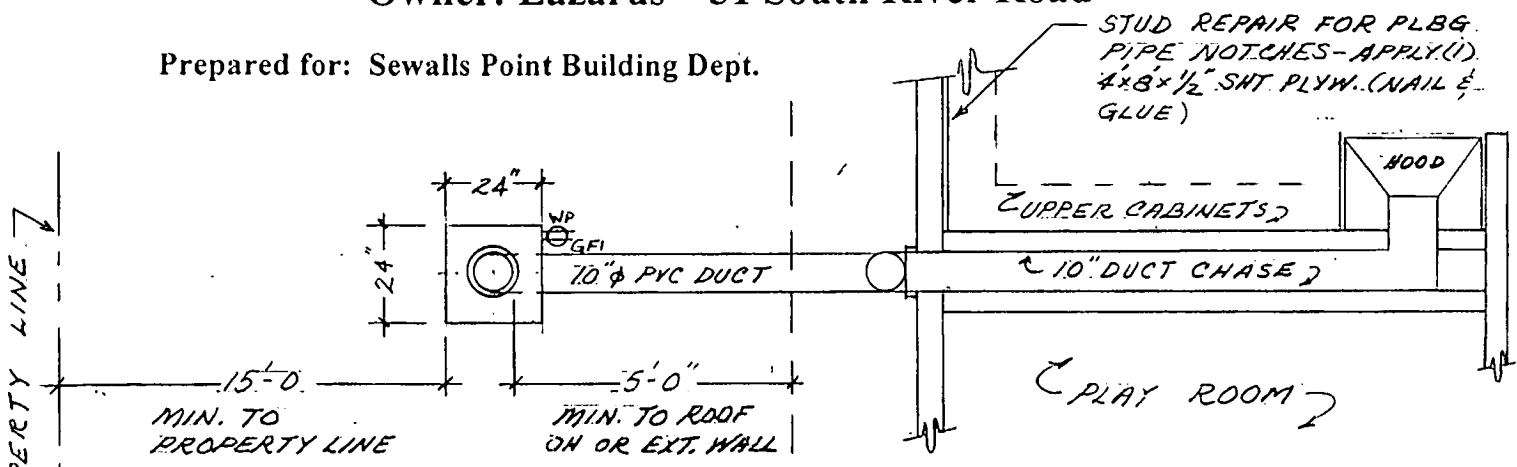
706 SOUTH 7th STREET
 FT. PIERCE, FL. 34950
 TEL (772) 708-7785
 FAX (863) 467-1292

September 8, 2006

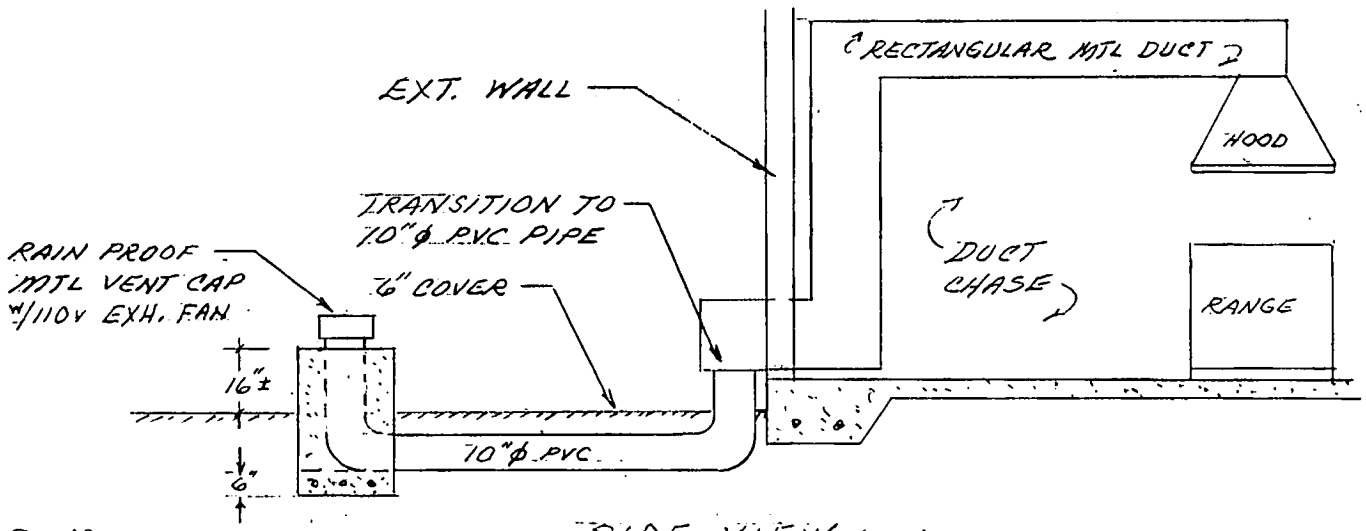
CHANGE
 (WITH STRUCTURAL CERTIFICATION)

Re: **Permit # SPOI20060064**
Owner: Lazarus - 31 South River Road

Prepared for: Sewalls Point Building Dept.



PLAN VIEW (NTS)



SIDE VIEW (NTS)

NEW DUCT DETAIL.

Certify,

Oscar M. Bermudez
 Oscar M. Bermudez, PE 9/12/06
 FL Lic. #55141

B & B
Engineers & Consultants, Inc.

706 SOUTH 7th STREET
FT. PIERCE, FL. 34950
TEL (772) 708-7785
FAX (863) 467-1292

September 14, 2006

INSPECTION

Re: Permit # SPOI20060064 *FILE*
Project: Lazarus
31 South River Road

Prepared for: Sewalls Point Building Dept. (Attn. Phillip Wintercorn)

Client: Ken Wendell General Contractors, Inc.

Background:

The inspection by the Building Dept. was completed on 9/13/06. The inspector had questioned the structural integrity of the exterior 2x4 partition which was modified by the plumbing contractor and repaired by the general contractor with 1/2" plywood that was applied (nailed & glued) over the damaged studs from floor level to 6' above.


Opinion:

In our opinion the repair is satisfactory and does restore the structural integrity of this wall section.

Limitations:

Our professional services have been performed, our findings obtained and our opinions are in accordance with general accepted structural engineering principles and practices. This company is not responsible for the conclusions, opinions or recommendations made by others based on these findings. The scope of this inspection was intended to evaluate the repair of the studs damaged by the plumbing contractor. The opinions submitted in this report are based upon the field inspection made on 9/13/06.

Submitted by,


Richard A. Jemison
Engineer

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 8-28, 2006 Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
0058	BAUM	FINAL EAS	PASS	CLOSE
1	105 ABBIE CT			INSPECTOR: <i>[Signature]</i>
102		DRY-IN		
11	25 N. RIVER	SHEATHING	PASS	INSPECTOR: <i>[Signature]</i>
0033		FTC/SLAB	PASS	
12	27 N. RIVER			INSPECTOR: <i>[Signature]</i>
0088	POOLE	FOOTERS	FAIL	
8	94 N. S.P.R.			INSPECTOR: <i>[Signature]</i>
0087		DECK	PASS	
9	144 N. S.P.R.			INSPECTOR: <i>[Signature]</i>
0064		UG. PLUMBING	PASS	
6	31 S. RIVER RD			INSPECTOR: <i>[Signature]</i>
0110		ROOF SHEATH.	PASS	
5	98 S. RIVER RD.			INSPECTOR: <i>[Signature]</i>
OTHER: _____				

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9/1, 2006

Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
0016		LATH	FAIL	
7	3 EMALITA			INSPECTOR: <i>[Signature]</i>
0090	Bush	ROOF FINAL	PASS	
5	2 MINORO			INSPECTOR: <i>[Signature]</i>
0064	31 SOUTH RIVER	FTR SCAB	PASS	
8	Ken Wendell			INSPECTOR: <i>[Signature]</i>
		ROUGH TRADES	FAIL	
6	72 SOUTH RIVER	FRAMING		DUPLICATION INSPECTOR: <i>[Signature]</i>
0027		UG PLUMBING	PASS	
10	3 TUSCAN LN.			INSPECTOR: <i>[Signature]</i>
0097		FRAMING	FAIL	
9	14 S. VIA LUCINDA Ken Wendell			INSPECTOR: <i>[Signature]</i>
				INSPECTOR:

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 31 SPRIVER

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

INSULATION

INSULATE EXT. WALL
@ 2ND FLOOR TRUSS
SPACE

FINISH CG & EXT. WALL
@ 2ND FL. BATH.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 9/13

[Signature]

INSPECTOR


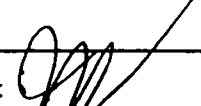
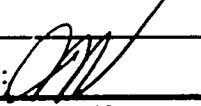
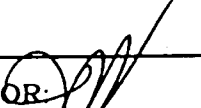
DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9-13, 2006

Page 3 of 3

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
0079		PLY-IN	CANCEL	RE-SCHEDULE
3	18 RIVERVIEW DR.		PASS	INSPECTOR: 
0079		TIN-TAG	CANCEL	RE-SCHEDULE
3	18 RIVERVIEW		PASS	INSPECTOR: 
0004	██████████	██████████	██████████	██████████
11	31 S. RIVER	(LATE)		INSPECTOR: 
	83 S. RIVER			INSPECTOR:
0051		FENCE FINAL	PASS	CLOSE
	105 ABBIE CT			INSPECTOR: 
				INSPECTOR:
				INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 1-5, 2007

Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8121	Hardin	Roofing Final	PASS	CLOSE
1	275 River Rd OB	DEMO		INSPECTOR: <i>OM</i>
7966	Hardin	Final dock	PASS	CLOSE
1	275 River Rd OB			INSPECTOR: <i>OM</i>
0011	Rozz...	Insulation	PASS	
2	31 S River Rd Ken Wendell	Framing - rough	PASS	INSPECTOR: <i>OM</i>
0008		FINAL DR.	PASS	CLOSE
	100 HILLCREST			INSPECTOR: <i>OM</i>
0028		FINAL DEMO	PASS	CLOSE
	E R10 USTA			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 31 S. RIVER

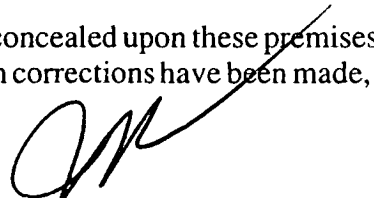
I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FINAL

GFI IN KIT. IS DEFECTIVE
GROUT N.C & BIDET
RESET GFI IN MASTER BATH

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 1/12



INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 1-12, 2007

Page 2 of 3

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
0043	Vieren	file in progress	PASS	
4	10 Pineapple Ln All Am Roof.			INSPECTOR: <i>AM</i>
0075	Nahijl	Final door	PASS	CLOSE
0072	26 W High Pt			
3	OB			INSPECTOR: <i>AM</i>
7960	Altetablen	Door	PASS	CLOSE
12	7 N River Rd			
	OB	Submitted papers -		see file INSPECTOR: <i>AM</i>
Tree	Zechiel	Tree	PASS	
6	1 Riverview Dr Tropical Palms			INSPECTOR: <i>AM</i>
8429	Hepworth	Plumbing	PASS	
7	8 Rio Vista Sand Castle	Electric	PASS	INSPECTOR: <i>AM</i>
8482	Gemsheimer	Pt window install	PASS	
11	63 N. River Rd Masterpiece			INSPECTOR: <i>AM</i>
0064	Lazarus	Final	FAIL	
1	315 River Rd Ken Wendell			INSPECTOR: <i>AM</i>
OTHER:				

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed ... 1-17, 2007 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
1	Carlson/Bremner	STRAPPING	FAIL	
	3 TUSCAN			
	MASTERPIECE			INSPECTOR: <i>[Signature]</i>
8123	Lulok	STRAPPING	FAIL	
with John + 7	20 E High Pt - Seagate	9:30		INSPECTOR: <i>[Signature]</i>
7885	Kiplinger	Final seawall	PASS	CLOSE
11AM	1435 River Rd Custom Built Marine			INSPECTOR: <i>[Signature]</i>
6995	Kiplinger	Final dock repair	PASS	CLOSE
11AM	1435 River Rd Custom Built Marine			INSPECTOR: <i>[Signature]</i>
7757	Kiplinger	Final - restore boathouse dock	PASS	CLOSE
11AM	143 S. River Rd Custom Built Marine			INSPECTOR: <i>[Signature]</i>
8490	Guthrie	Final garage		
6	2 Sunbeam	Call with time 286-9471		will call to reschedule
0064	Ragnarus	Final	PASS	CLOSE
4	31 S River Rd Ken Wendell	LATE MORN		INSPECTOR: <i>[Signature]</i>
OTHER: _____				

LAZARUS



Martin County, Florida

Home | Residents | Visitors | Business | Government | News | Services | Kids/Teens | Contact | Events
 Help Home Look Up Genealogy Summary

Permit Summary

Permit:	SP01 20060064	Flags	NO
Temporary:	SP01 T65		
Description:	SEWALLS POINT		
Project:			
Status:	OPEN	Entered:	06/22/06
Issued:	06/27/06	Completed:	
Decision:			
Expiration:		Last Renew Date:	06/22/06
Location Desc.:			

Parcel Information	
Address	APN
31 SOUTH RIVER RD	0138410010040004050000

Subdivision: ARBELA Block: 004 Lot: 0004
Section: 01 Township: 38 Range: 41
Domain: C Type: PAR

Scope of Work
Kitchen Remodel

Applicant Information	
Company:	
Applicant:	WENDELL, KENNETH J
Representative:	
Title:	CONTACT
Address:	3000 SE WAALER ST
City / State / ZIP:	STUART, FL, 34997
Work Phone:	772-223-1613
Home Phone:	
E-Mail:	
	Extension:
	FAX:

Contact Information	
Company:	
Name:	
Representative:	
Title:	
Address:	
City / State / ZIP:	
Work Phone:	Extension:
Home Phone:	FAX:
E-Mail:	

Permit Owner	
Name:	LAZARUS, JEFFREY & JACQUELINE
Address:	31 S RIVER RD
City / State / ZIP:	STUART, FL 34996
Country:	
Phone:	FAX:
E-Mail:	

Professionals / Contractors	
RILEY, JOHN M as AC 3044 SE DOMINICA TER STUART, FL 34997 CAC - A/C STATE CERTIFIED License: CAC057676 Expires: 08/31/08	Phone: 772-781-3040
JOHNSON, LLOYD as EL DRAWER O PORT SALERNO, FL 34992 CEC - ELECTRICAL CERTIFIED License: EC0003162 Expires: 08/31/08	Phone: 772-223-7397
HUSNANDER, DAVE as PL 499 SE SEVILLE ST STUART, FL 34994 CMP - MASTER PLUMBER License: MP00030 Expires: 09/30/07	Phone: 772-287-8128
WENDELL, KENNETH J as PRIME 3000 SE WAALER ST STUART, FL 34997 CGC - GENERAL CONTRACTOR CERTIFIED License: CGC060321 Expires: 08/31/08	Phone: 772-223-0800

Conditions of Approval			
Seq.	Condition	Description	Status
1	BNOC-21	NOTICE OF COMMENCEMENT	DONE
2	BELEC-12	ELECTRIC VERIFICATION-6099	DONE
3	BHARV	HARV VERIFICATION-4031	DONE
4	BPLUMBING	PLUMBING VERIFICATION-5010	DONE

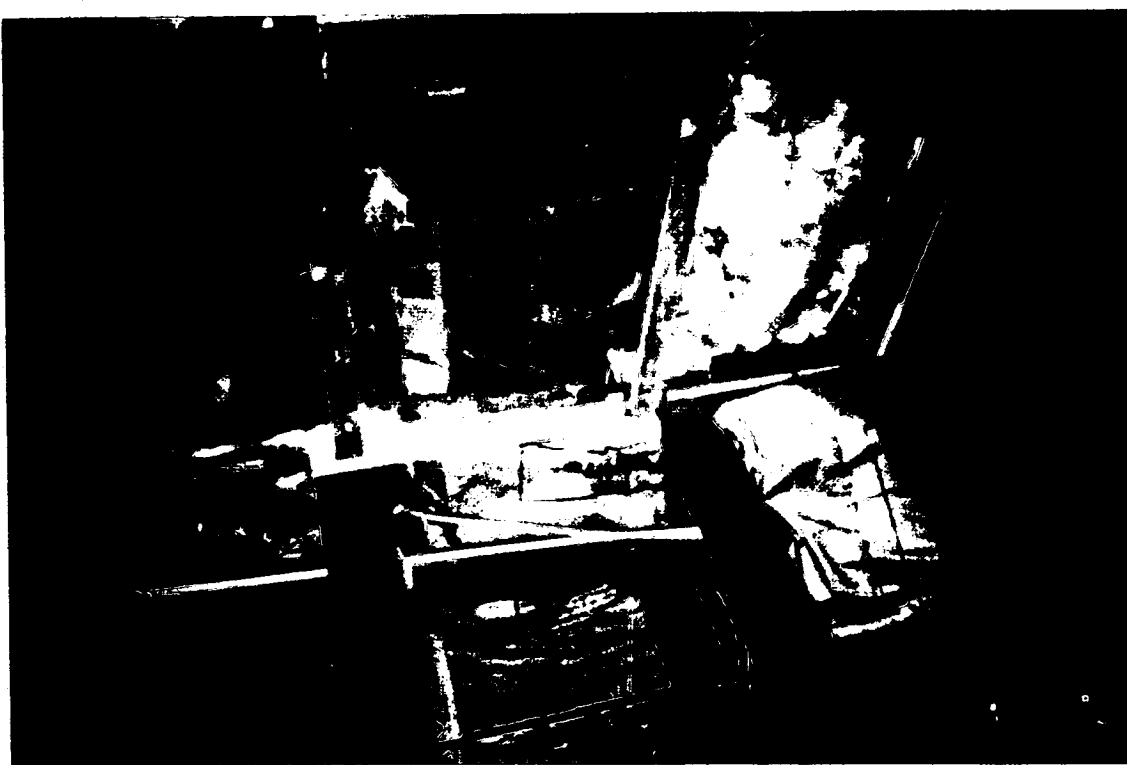
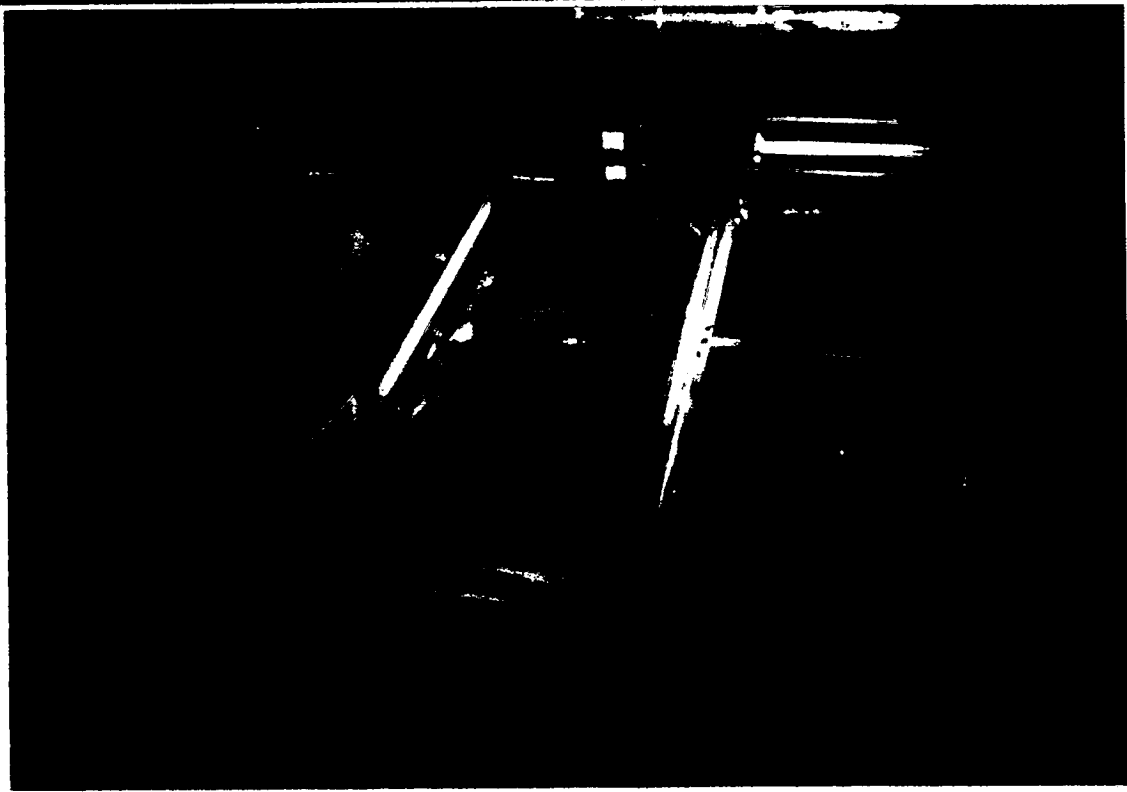
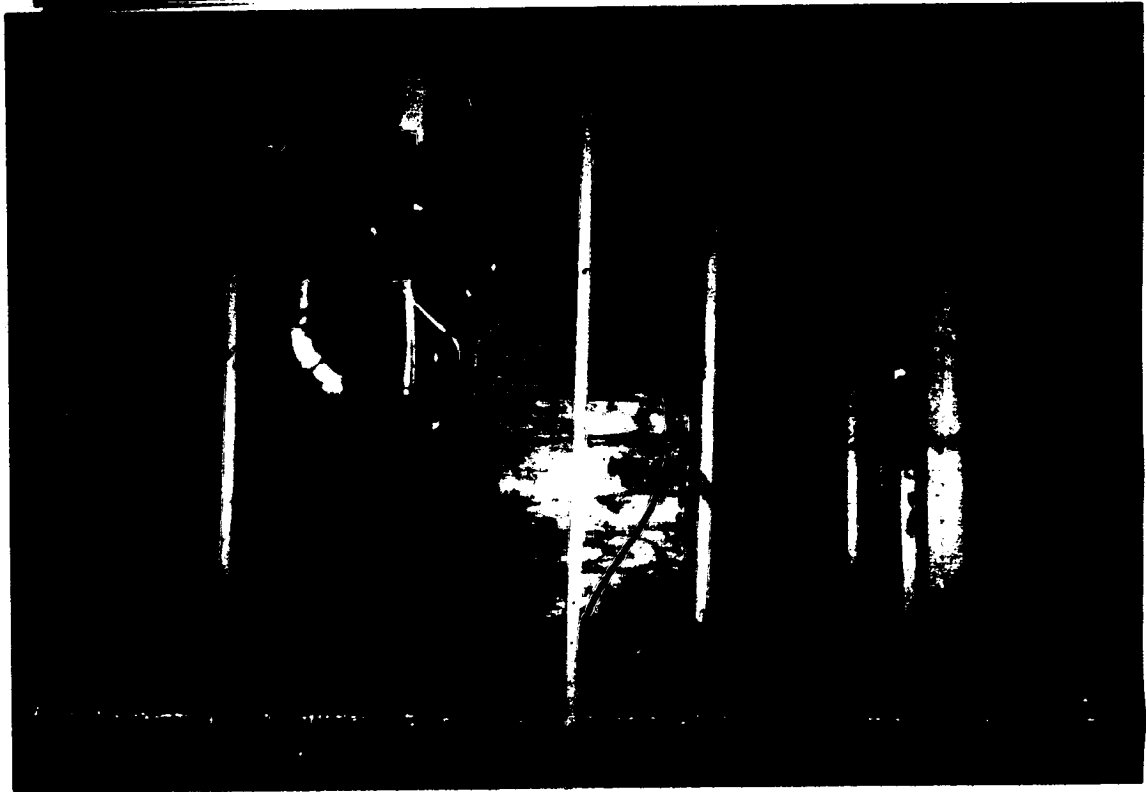
Required Inspections			
Inspection	Description	Clear Date	Cleared By
3050	R/ELEC		
5050	R/PLUMB		
4031	ROUGH DUCT		
6099	RESIDENTIAL FINAL	06/22/06	PGRE
5010	UG/PLUMG	08/28/06	PWIN
6050	FRAME		
6064	INSULATION		

Inspections							
Inspection	Result	Completed Date	Completed By	Schedule	C		
					O	C	N
6064 - INSULATION	FAIL	09/13/06	PWIN	09/13/06	0	0	Y
6010 - RES-FRAME/ROUGH TRADES	FAIL	09/13/06	PWIN	09/13/06	0	0	Y
2015 - CONT CHECK	PASS	09/05/06	DKEM	09/05/06	0	0	Y
6026 - FTR/SLAB	PASS	09/01/06	PWIN	09/01/06	0	0	N
5010 - UG/PLUMG	PASS	08/28/06	PWIN	08/28/06	0	0	N
5010 - UG/PLUMG	RESCH	08/25/06	PWIN	08/25/06	0	0	N

Activities						
Description	Assigned	Est. Completion	Target End	Decision	Compl	
STRUCTURAL REVIEW	AREVW	06/26/06	06/26/06	PASS	06/27/06	
DECISION ON PLAN REVIEW PASS/FAIL	PRTECH	06/27/06	06/27/06	PASS	06/27/06	
PERMIT READY/NOTIFY APPLICANT	TECH1	06/28/06	06/28/06	PASS	06/27/06	

Permit Flags		
Flag	Description	Status
There are no flags on this application		

Report Link Or Other Problem



8414

GAS TANK

&

LINES

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 10-17-06

BUILDING PERMIT NO. 8414

Building to be erected for Lazarus

Type of Permit Gas tank & lines

Applied for by Terrell Gas

(Contractor)

Building Fee _____

Subdivision Orbela Lot 4

Block _____

Radon Fee _____

Address 31 S. River Rd

Impact Fee _____

Type of structure SFR

A/C Fee _____

Electrical Fee _____

Parcel Control Number:

Plumbing Fee _____

13841-001-004-000-405-0000

Roofing Fee _____

Amount Paid \$35 Check # _____ Cash

Other Fees (Gas) 35

Total Construction Cost \$ 2100

TOTAL Fees 35

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

RECEIVED
8900

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Date: 7-12-06

Permit Number: _____

OWNER/TITLEHOLDER NAME: JEFF LAZARUS Phone (Day) 772-288-6587 (Fax) _____

Job Site Address: 31 South River Road City: Stuart State: FLA Zip: 34992

Legal Desc. Property (Subd/Lot/Block) _____ Parcel Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: INSTALL 500 ASME U/G TANK AND 3/4" SERVICE LINE TO RANGE

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 2100.00
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

(If no, fill out the Contractor & Subcontractor sections below)

Is improvement cost 50% or more of Fair Market Value? YES NO

(If yes, Owner Builder Affidavit must accompany application)

Method of Determining Fair Market Value: _____

CONTRACTOR/Company: FERRER/1645 Phone: 287-4330 Fax: 287-3456

Street: 3232 SE Dixie Hwy City: Stuart State: FLA Zip: 34997

State Registration Number: _____ State Certification Number: _____ Martin County License Number: 000001189

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic.# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

Jeannine Lazarus

State of Florida, County of: Martin

This the 28 day of July, 2006

by J. Lazarus who is personally

known to me or produced fl-gh

as identification. Joan H. Barrow

Notary Public

My Commission Expires _____

CONTRACTOR SIGNATURE (required)

Ranny Lee

On State of Florida, County of: Palm Beach

This the 20th day of July, 2006

by Ranny Lee who is personally

known to me or produced Fla D. W.

As identification. C. D. W.

NOTARY PUBLIC-STATE OF FLORIDA

- My Commission Expires: _____

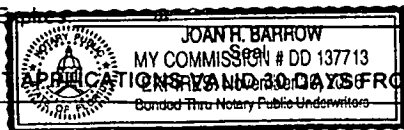
Ronny Gene Lee, Sr.

Commission # DD414717

EXPIRES: APRIL 04, 2009

Bonded Thru Atlantic Bonding Co., Inc.

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT FROM



MARTIN COUNTY GAS CHECKLIST
COMPLIANT TO 2004 FBC/FUEL GAS CODE & NFPA 54 & 58

OWNER: JERRY & JACQUELINE LAZARUS DATE: 10-3-06
JOB ADDRESS: 31 South River Road
CITY/STATE: STUART FL
ZIP CODE: 34996
CONTRACTOR: FETCRE/GAS

USE:
RESIDENTIAL: COMMERCIAL:

HOOK UP:
TANK METERED UTILITY GAS OTHER

TANK SPECS:
SIZE: 500 GALS ABOVE GROUND: UNDERGROUND
TANK TYPE: D.O.T. ASME: OTHER:

TANK DISTANCE: (MINIMUM)
SOURCE OF IGNITION: 12 FT. BUILDING OPENINGS: 12 FT.
BUILDING: 12 FT. PROPOSED SETBACKS FROM LOT LINE: FRONT 12 FT.,
SIDE 1 FT., SIDE 2 FT., REAR FT.

GAS SPECS: (SEE FBC/FUEL GAS TABLES 402)
NATURAL LP OTHER
GAS PRESSURE OF 10 psi AND PRESSURE DROP OF 1 PSI
BASED ON A 0.52 SPECIFIC GRAVITY GAS

PIPE/TUBING SPECS. (CHECK ALL THAT APPLY)
IRON SCH. 40 SEMI-RIGID CSST
COPPER POLYETHYLENE PLASTIC S. S.: OTHER:

COMBUSTION AIR:
REQUIRED: YES NO
METHOD FOR SUPPLYING COMBUSTION AIR: _____
WHO PROVIDED THE COMBUSTION AIR CALCS: _____
ARCHITECT/ENGINEER OF RECORD: _____ GAS COMPANY: _____
OTHER: _____

GAS APPLIANCE SPECS: (LIST APPLIANCE TYPE AND BTU)
APPLIANCE #1: Range 65,000 BTU 3/4 *DIA. PIPE 25 FT.-LENGTH
APPLIANCE #2: _____ BTU _____ *DIA. PIPE _____ FT.-LENGTH
APPLIANCE #3: _____ BTU _____ *DIA. PIPE _____ FT.-LENGTH
APPLIANCE #4: _____ BTU _____ *DIA. PIPE _____ FT.-LENGTH
APPLIANCE #5: _____ BTU _____ *DIA. PIPE _____ FT.-LENGTH
APPLIANCE #6: _____ BTU _____ *DIA. PIPE _____ FT.-LENGTH
(LENGTH BASED ON THE TOTAL PIPE LENGTH FROM THE GAS SOURCE TO THE APPLIANCE)

*THE ABOVE PIPE SIZES WERE TAKEN FROM 2004 FBC/FUEL GAS TABLE NO. _____

ACORD™ CERTIFICATE OF LIABILITY INSURANCE

08/01/2007

DATE (MM/DD/YY)
07/17/2006

PRODUCER
Lockton Companies
444 W. 47th Street, Suite 900
Kansas City Mo 64112-1906
(816) 960-9000

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED
80265
FERRELLGAS, LP
ONE LIBERTY PLAZA
LIBERTY, MO 64068

INSURER A: ACE AMERICAN INSURANCE COMPANY

INSURER B:

INSURER C:

INSURER D:

INSURER E:

COVERAGES FERCO03 YA

THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER AND THE CERTIFICATE HOLDER.

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> (500,000 SIR) GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	XSL G21732552	08/01/2006	08/01/2007	EACH OCCURRENCE \$ 3,000,000 FIRE DAMAGE (Any one fire) \$ 1,000,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 3,000,000 GENERAL AGGREGATE \$ 7,500,000 PRODUCTS - COMP/OP AGG \$ Included
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	ISA H08221510	08/01/2006	08/01/2007	COMBINED SINGLE LIMIT (Ea accident) \$ 3,000,000 BODILY INJURY (Per person) \$ XXXXXXXX BODILY INJURY (Per accident) \$ XXXXXXXX PROPERTY DAMAGE (Per accident) \$ XXXXXXXX
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO	NOT APPLICABLE			AUTO ONLY - EA ACCIDENT \$ XXXXXXXX OTHER THAN EA ACC \$ XXXXXXXX AUTO ONLY: AGG \$ XXXXXXXX
	EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> UMBRELLA FORM RETENTION \$	NOT APPLICABLE			EACH OCCURRENCE \$ XXXXXXXX AGGREGATE \$ XXXXXXXX \$ XXXXXXXX \$ XXXXXXXX \$ XXXXXXXX
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	WLR C44442310 (AOS)	08/01/2006	08/01/2007	<input checked="" type="checkbox"/> WC STATU-TORY LIMITS <input type="checkbox"/> OTH-ER
A		SCF C44442322(WI)	08/01/2006	08/01/2007	E.L. EACH ACCIDENT \$ 1,000,000
					E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
A	OTHER CARGO	ISA H08221510	08/01/2006	08/01/2007	\$100,000

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

CERTIFICATE HOLDER

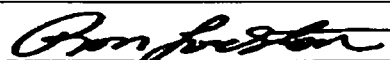
ADDITIONAL INSURED; INSURER LETTER: _____

CANCELLATION

1681228
TOWN OF SEWALLS POINT
1 SOUTH SEWALLS POINT RD
STUART, FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE



IMPORTANT

If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

DISCLAIMER

The Certificate of Insurance on the reverse side of this form does not constitute a contract between the issuing insurer(s), authorized representative or producer, and the certificate holder, nor does it affirmatively or negatively amend, extend or alter the coverage afforded by the policies listed thereon.

2005-2006 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(772) 288-5604

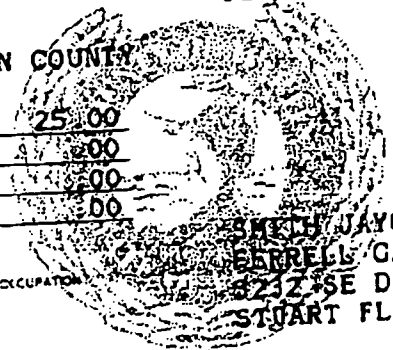
LICENSE 1967-249-008 CERT SPO 0125

PHONE (772) 287-4330 SIC NO 221210

LOCATION:
3232 SE DIXIE HWY MAR

CHARACTER COUNTS IN MARTIN COUNTY

PFEV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>.00</u>
\$	<u>.00</u>	COL. FEE \$	<u>.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>.00</u>
TOTAL			<u>25.00</u>



SMITH JAYCE GENERAL MANAGER
FERRELL'S GAS
3232 SE DIXIE HWY
STUART FL 34997

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF COUNTY ONLY

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

18 DAY OF AUGUST 20 05
AND ENDING SEPTEMBER 30 2006

12 05081801 003826

Florida Department of Agriculture and Consumer Services
Bureau of Liquefied Petroleum Gas
P.O. Box 6720
Tallahassee, Florida 32399-6720

License Number: 01237

Business Mailing Address

Licensed Location Address:

FERRELLGAS #5539
3232 SE DIXIE HWY
STUART, FL 34997-5239

FERRELLGAS #5539
3232 SE DIXIE HWY
STUART, FL 34997-5239

The liquefied petroleum gas license at the bottom of this form is valid ONLY for the company located at the address on the license. Each business location of a company must be licensed. All LP Gas licenses must be renewed annually. Any license allowed to expire shall become inoperative because of failure to renew. The fee for restoration of a license is equal to the original license fee and must be paid before the licensee may resume operations.

Pursuant to Chapter 527, Florida Statutes, LP Gas licensees must present proof of licensure to any consumer, owner, or end user upon request when engaged in the business of servicing, testing, repairing, maintaining or installing LP Gas systems and/or equipment.

For future correspondence, please make any needed corrections or changes to your business mailing address and/or your licensed location address and return the UPPER PORTION with corrections to:

Florida Department of Agriculture and Consumer Services
Bureau of Liquefied Petroleum Gas
P.O. Box 6720
Tallahassee, Florida 32399-6720



Cut Here



POST LICENSE
CONSPICUOUSLY

State of Florida
Department of Agriculture and Consumer Services

Division of Standards
Bureau of Liquefied Petroleum Gas
(850) 921-8001
Tallahassee, Florida

License Number: 01237
Expiration Date: August 31, 2006
Date of Issue: September 1, 2005
License Fee: \$25.00
Type and Class: 0E01

Liquefied Petroleum Gas License

CATEGORY I LP GAS DEALER

GOOD FOR ONE LOCATION

This license is issued under authority of Section 527.02, Florida Statutes, to:

FERRELLGAS #5539
3232 SE DIXIE HWY
STUART, FL 34997-5239

Charles H. Brinson
CHARLES H. BRINSON
COMMISSIONER OF AGRICULTURE

REVISIONS - CORRECTIONS REQUEST FORM

DATE: 10-3-06 PERMIT/TRACKING#: SP01-T118

PLEASE CHECK ONE OF THE FOLLOWING:

- CONDITION OF APPROVAL (Needed for an inspection)
 - CORRECTION(S): (Permit not issued/still in review process)
 - REVISIONS (Make changes to an issued permit)
- All revisions must be highlighted or clouded

RECEIVED

DESCRIPTION OF REVISION: _____

OCT - 3 2006

CONTACT NAME: SONNY WEAVER

MARTIN COUNTY
BUILDING DEPARTMENT

PHONE NUMBER: 287-4330 FAX NUMBER: 287-3456

FOR OFFICE USE ONLY:
Route to:

- Zoning/Site Compliance:

Decision: _____ Approve _____ Approve w/Conditions _____ Deny _____ N/A

Reviewed by: _____ Date: _____

- Structural and/or Electrical (please circle the appropriate review):

Decision: _____ Approve _____ Approve w/Conditions _____ Deny _____ N/A

Reviewed by: _____ Date: _____

- Fire Review

Decision: _____ Approved _____ Approve w/Conditions _____ Deny _____ N/A

Reviewed by: _____ Date: _____

Applicant notified by: _____ Date: _____

MARTIN COUNTY GAS CHECKLIST
COMPLIANT TO 2004 FBC/FUEL GAS CODE & NFPA 54 & 58

OWNER: JEFFREY & JACQUELINE LAZARUS DATE: 10-3-06
JOB ADDRESS: 31 South River Road
CITY/STATE: Stuart FL
ZIP CODE: 34996
CONTRACTOR: FERRER/GAS

USE:
RESIDENTIAL: COMMERCIAL:

HOOK UP:
TANK METERED UTILITY GAS OTHER

TANK SPECS:
SIZE: 500 GALS ABOVE GROUND: UNDERGROUND
TANK TYPE: D.O.T. ASME: OTHER:

TANK DISTANCE: (MINIMUM)
SOURCE OF IGNITION: 12 FT. BUILDING OPENINGS: 12 FT.
BUILDING: 12 FT. PROPOSED SETBACKS FROM LOT LINE: FRONT 12 FT.,
SIDE 1 FT., SIDE 2 FT., REAR FT.

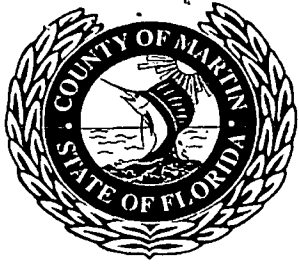
GAS SPECS: (SEE FBC/FUEL GAS TABLES 402)
NATURAL LP OTHER
GAS PRESSURE OF 10 psi AND PRESSURE DROP OF 1 PSI
BASED ON A .52 SPECIFIC GRAVITY GAS

PIPE/TUBING SPECS. (CHECK ALL THAT APPLY)
IRON SCH. 40 SEMI-RIGID CSST
COPPER POLYETHYLENE PLASTIC S. S.: OTHER:

COMBUSTION AIR:
REQUIRED: YES NO
METHOD FOR SUPPLYING COMBUSTION AIR: _____
WHO PROVIDED THE COMBUSTION AIR CALCS:
ARCHITECT/ENGINEER OF RECORD: _____ GAS COMPANY: _____
OTHER: _____

GAS APPLIANCE SPECS: (LIST APPLIANCE TYPE AND BTU)
APPLIANCE #1: Range 65,000 BTU 3/4 *DIA. PIPE 25 FT.-LENGTH
APPLIANCE #2: _____ BTU _____ *DIA. PIPE _____ FT.-LENGTH
APPLIANCE #3: _____ BTU _____ *DIA. PIPE _____ FT.-LENGTH
APPLIANCE #4: _____ BTU _____ *DIA. PIPE _____ FT.-LENGTH
APPLIANCE #5: _____ BTU _____ *DIA. PIPE _____ FT.-LENGTH
APPLIANCE #6: _____ BTU _____ *DIA. PIPE _____ FT.-LENGTH
(LENGTH BASED ON THE TOTAL PIPE LENGTH FROM THE GAS SOURCE TO THE APPLIANCE)

*THE ABOVE PIPE SIZES WERE TAKEN FROM 2004 FBC/FUEL GAS TABLE NO. _____



Martin County Conditions for Approval

10/02/06

Application Number:	SP01 - T110
Application Type:	SEWALLS POINT
Date Issued:	
Project:	
Scope of Work:	Install 500 ASMG Tank and 3/4" service line to range

Applicant/Contact:	EILERS, LISA /		
Parcel Control Number:	01-38-41-001-004-0004.0-50000		
Subdivision:	ARBELA		
Construction Address:	31 SOUTH RIVER RD		
Location Description:			
Owner Name:	LAZARUS, JEFFREY & JACQUELINE		
Prime Contractor:	EILERS, LISA 400 NORTH OLD DIXIE HWY JUPITER, FL 33458-4986	FERRELLGAS License No.: 01189 Phone: 561-746-4534	Fax:

Conditions:

PPMISC - PLAN REVIEW COMMENTS

Contact: DIANE LANKFORD

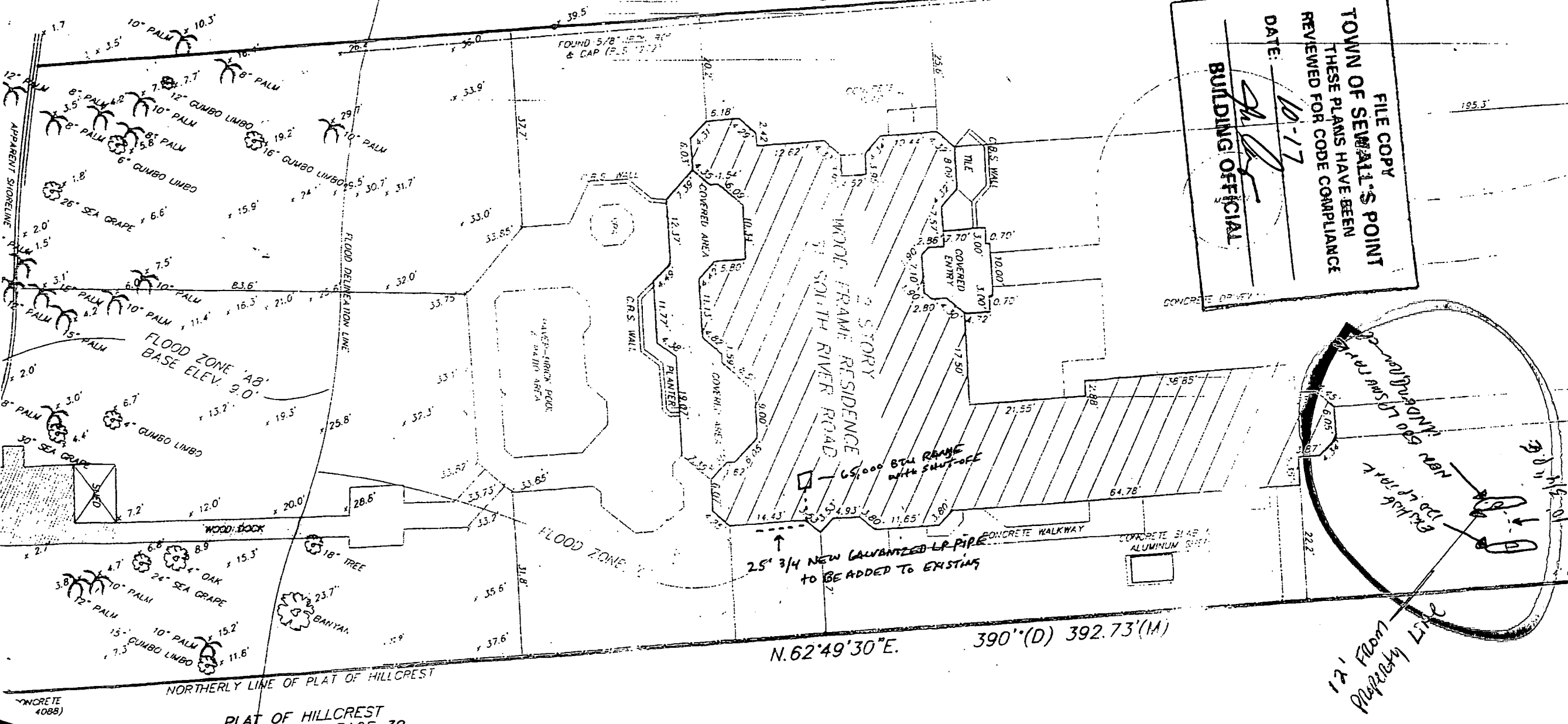
Must fill out the Martin County gas checklist (3 copies) and show dimensions of new tank to house and property line.

BENCHMARK #1
FOUND 608 N.E. PALM TREE
ELEVATION = 38.00'

S. 62°49'30" W. 358.00'(D) 364.8'±(M)

268.19'(M)

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 10-17
BUILDING OFFICIAL



N. 62°49'30" E. 390''(D) 392.73'(M)

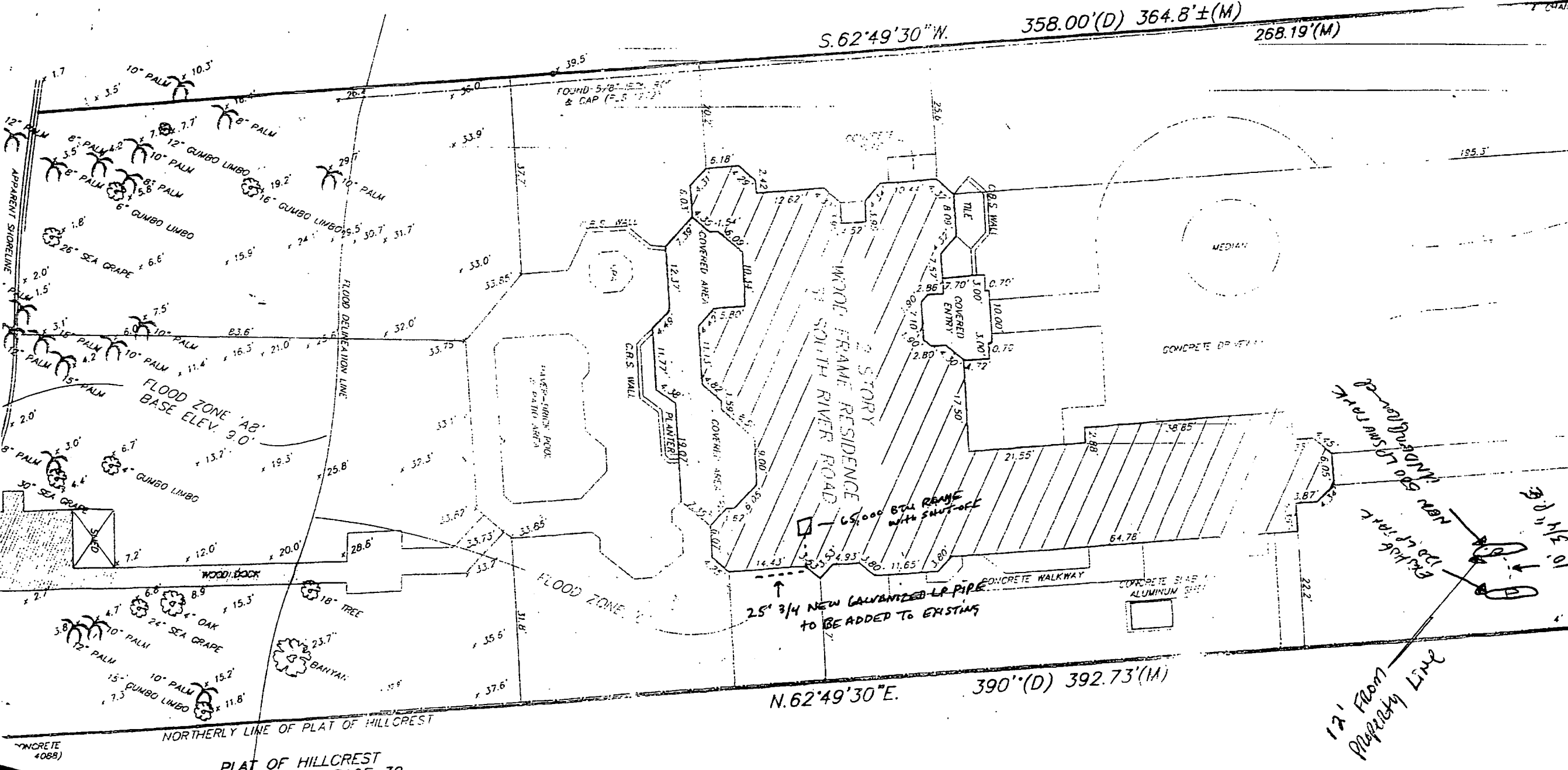
12' Floor Property Line

CONCRETE 4088)

PLAT OF HILLCREST

BENCHMARK #1
FOUND 608 14.1" PALM TREE
ELEVATION = 38.00'

S. 62° 49' 30" W. 358.00'(D) 364.8'±(M) 268.19'(M)



CONCRETE 4088)

PLAT OF HILLCREST

12' Floor Property Line

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 10-20, 2006 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
C.O	Silas	railing final		Postponed to Mon
	10 Castle Hill Way			
	Greulichberg			INSPECTOR:
8400	Clark	Final (doors)	PASS	CLOSE
9:30 9:00	33 Feldway Dr Olson		283 No.C. 5607	INSPECTOR: <i>AM</i>
8145	Qisinger	duck structural	FAIL	
1st 1	8 Castle Hill O/B	8:30 AM Please		INSPECTOR: <i>AM</i>
8155	Schroedner	gas rough	PASS	
10	12 S Sewall Pt Terrell gas			INSPECTOR: <i>AM</i>
8414	Larsons	gas rough	PASS	
9	31 S. River Rd Terrell gas			INSPECTOR: <i>AM</i>
8409	Van Fossen	dry-in	FAIL	
6	158 S River Rd Pacific Roof			INSPECTOR: <i>AM</i>
8387	McKelvey	Final - driveway	PASS	CLOSE
5	219 High Pt Watt hick			INSPECTOR: <i>AM</i>

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 1-10, 2007 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
0064	31 Sliver Rd	Final		RESCHEDULE FOR
7	31 Sliver Rd 0414 Ken Wendell / Fuel Gas	FINAL	PASS	1/12/07 INSPECTOR: <i>[Signature]</i>
7794	Wilkinson 8 Oakwood Dr Home Depot	Final roof	PASS	CLOSE INSPECTOR: <i>[Signature]</i>
8475	Hexworth 8 Riv Vista Elite	Interior rough	FAIL	#40 FEE ✓ INSPECTOR: <i>[Signature]</i>
Tree	Kelso	Tree	PASS	
4	18 Riv Vista OB			INSPECTOR: <i>[Signature]</i>
8488	Zorn 11 N. Via Mancini Stuart Fence	Final	PASS	CLOSE INSPECTOR: <i>[Signature]</i>
8398	Helfman 8 Ridgeland Dr Hardware Elec	Final-generator	FAIL	#40 FEE ✓ INSPECTOR: <i>[Signature]</i>
8186	Baytree Hipling 1435 Sliver Rd	Final-tracker	FAIL	INSPECTOR: <i>[Signature]</i>

OTHER: 4H 57.53 P.R. PUMPS FOR IMAGINATION.

8978

RE-ROOF/

CHIMNEY REPAIR



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	8978	DATE ISSUED:	AUGUST 11, 2008
SCOPE OF WORK:	REROOF & 2 CHIMNEY REPAIRS		
CONDITIONS :			
CONTRACTOR:	CODE RED ROOFERS		
PARCEL CONTROL NUMBER:	013841001004000405	SUBDIVISION	ARBELA-LOT4
CONSTRUCTION ADDRESS:	31 S RIVER RD		
OWNER NAME:	LAZARUS		
QUALIFIER:	DOUGLAS ROE	CONTACT PHONE NUMBER:	287-2829

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

RECEIVED
DATE: 8-6-08
TOWN OF SEWALL'S POINT

Date: 8-6-08 Town of Sewall's Point BUILDING PERMIT APPLICATION Permit Number: _____

OWNER/TITLEHOLDER NAME: JEFFREY LAZARUS Phone (Day) 288-6587 (Fax) 288-2747

Job Site Address: 31 South River Rd City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) ARBELA, Part of Lot 4 Desc. A5 Parcel Number: 01-38-41-001-004-00040-5

Owner Address (if different): BEG 120' S/O SE Cor Lot 18 MIRAMAR, WLY 358' M/L to River City: _____ State: _____ Zip: _____

Scope of work: RE-ROOF & 2 chimney Repairs

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO X

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 49,900
(Notice of Commencement required when over \$2500 prior to first inspection)
Is subject property located in flood hazard area? V _____ A9 _____ A8 X _____
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ 791,660
Fair Market Value of the Primary Structure only (Minus the land value)
*** PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION***

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)

CONTRACTOR/Company: Code Red Roofers, Inc Phone: 287-2829 Fax: 287-7763

Street: 3341 S.E. SLATER ST City: Stuart State: FL Zip: 34997

State Registration Number: CCC1326574 State Certification Number: _____ Municipality License Number: _____

PROJECT SUPERINTENDANT: Brian McMahon CONTACT NUMBER: 287-2829

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQ. FOOTAGE (W/SEWER & ELECTRIC): Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof 5300 37800 S.F. Wood Deck: _____ Accessory Building: _____

CODE EDITIONS IN EFFECT FOR THIS APPLICATION: Florida Building Code - Res., Build, Mech., Plmb., Fuel Gas): 2004 (W/2006 Rev.)
National Electrical Code: 2005 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Prevention Code 2004

NOTICES TO OWNERS AND CONTRACTORS:
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.

THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - 5.
I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

OWNER SIGNATURE (required)
[Signature]
State of Florida, County of Martin
This the 6th day of August, 2008
by JEFFREY LAZARUS who is personally

CONTRACTOR SIGNATURE (required)
[Signature]
On State of Florida, County of: Martin
This the 6 day of August 2008
by DOUGLAS E. ROE who is personally

NOTARY PUBLIC STATE OF FLORIDA
as identification. Donna K. Malizia
Commission # DD392071 Public
Expires: FEB. 02, 2009
My Commission Expires: _____

NOTARY PUBLIC STATE OF FLORIDA
as identification. Donna K. Malizia
Commission Expires 2371
Expires: FEB. 02, 2009
My Commission Expires: _____

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	8978		
ADDRESS	31 S RIVER RD		
DATE:	8/11/08	SCOPE:	REROOF & 2 CHIMNEY REPAIRS

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	

2662



CODE RED ROOFERS, INC.
 3341 SE SLATER STREET
 STUART, FL 34997
 (772) 287-2829

BANKATLANTIC
 PALM BEACH GARDENS BRANCH #1166
 63-8376-2670

Aug 11, 08

PAY
 TO THE
 ORDER OF

TOWN OF SEWALL'S POINT

\$ 320 -
 DOLLARS

Three hundred and twenty

[Signature]
 AUTHORIZED SIGNATURE

MEMO

Security features. Details on back.

TOTAL BUILDING PERMIT FEE:	\$	
ACCESSORY PERMIT	Declared Value:	\$ 49,900
Total number of inspections @ \$75.00 each	4	\$ 300
Road impact assessment: (.04% of construction value - \$5.00 min.)	\$	20
TOTAL ACCESSORY PERMIT FEE:	\$	320

NOTICE OF COMMENCEMENT
TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: _____ TAX FOLIO #: 01-38-41-001-00400040-5

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):

AIRBELA, PART OF Lot 4 Desc. REG 120' SLO SE COR Lot 18 MIRAMAR, WLY 358' M/L TO RIVER

GENERAL DESCRIPTION OF IMPROVEMENT: RE-ROOF

OWNER NAME: JEFFREY LAZARUS

ADDRESS: 31 S. RIVER Rd Stuart, FL 34996

PHONE NUMBER: 288-6587 FAX NUMBER: _____

INTEREST IN PROPERTY: OWNER

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR: Code Red Roofers

ADDRESS: 3341 S.E. SLATER ST Stuart FL 34997

PHONE NUMBER: 287-2829 FAX NUMBER: 287-2763

SURETY COMPANY (IF ANY): _____

ADDRESS: _____

PHONE NUMBER: _____ FAX NUMBER: _____

BOND AMOUNT: _____

LENDER/MORTGAGE COMPANY: _____

ADDRESS: _____

PHONE NUMBER: _____ FAX NUMBER: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE NUMBER: _____ FAX NUMBER: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE NUMBER: _____ FAX NUMBER: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT:

(THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

[Signature]
SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

SIGNATORY'S TITLE/OFFICE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 30 DAY OF June, 2008

BY Jeffrey Lazarus AS owner FOR _____
NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION _____

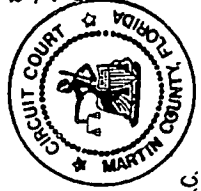
TYPE OF IDENTIFICATION PRODUCED: Gerald Begley

Donald Begley Commission # DD790302

NOTARY SIGNATURE [Signature] Expires: JUNE 18, 2012
NOTARY SEAL
BONDED THRU ATLANTIC BONDING CO., INC.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

[Signature]
(Signature of Natural Person Signing Above)



THIS IS TO CERTIFY THAT THE FOREGOING _____ PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.
BY [Signature] MARCHA EWING, CLERK
DATE: 07-01-2008 D.C.

INSTR # 2093333 OR BK 02337 PG 2064 RECD 07/01/2008 09:51:26 AM
P9 20647 (1P9)
MARSHA EWING MARTIN COUNTY DEPUTY CLERK Y Gorney



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

FILE COPY
TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE 8-7-08
 BUILDING OFFICIAL

RE-ROOF PERMIT CERTIFICATION

PERMIT # _____

CONTRACTOR'S NAME: Code Red Roofers PHONE #: 287-2829 FAX: 287-7763

OWNER'S NAME: JEFFREY LAZARUS

CONSTRUCTION ADDRESS: 31 South River Rd CITY Stuart STATE FL

RE-ROOF: RESIDENTIAL(SINGLE FAMILY)

_____ COMMERCIAL **--REMOVE/REINSTALL ROOF TOP HVAC EQUIP _____ YES _____ NO

**...DISCONNECT/RECONNECT HVAC ELECTRIC _____ YES NO

** REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

RE-ROOF DEEMED TO COMPLY WITH 553.844 F. S. YES _____ NO - INSURED VALUE OF RESIDENCE 794,660

RE-ROOF INSPECTION AFFIDAVIT TO BE PROVIDED IN LIEU OF BUILDING DEPARTMENT INSPECTION _____ YES _____ NO

ROOF TYPE: HIP _____ BOSTON-HIP GABLE _____ FLAT _____ OTHER _____

ROOF PITCH: 4.5 /12 SLOPE

ROOF DECK:* _____ SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED

_____ RE-SHEATH - (REMOVAL OF SPACED SHEATHING/PLYWOOD FOR APPLICATION OF NEW PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD AS PER FLORIDA BUILDING CODE "2004".

_____ SPACED SHEATH FILL-IN - SPACES BETWEEN EXISTING SPACED-SHEATHING BOARD MAY BE FILLED-IN WITH BOARDS OF THE SAME SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2004".

EXISTING DECK TO REMAIN/REPAIRED & RENAILED

EXISTING ROOF COVERING: Cement Tiles EXISTING COVERING TO BE REMOVED? YES NO _____

PROPOSED NEW ROOF COVERING: 13" Flat Cement Tiles

MANUFACTURER Entegra PRODUCT NAME SKANDIA PRODUCT APPR # 05-0413.01

(APPROVED ROOF COVERING MATERIAL WITH CURRENT FLORIDA PRODUCT APPROVAL)
 MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION.

PROPOSED FLASHING: _____ GALV./STEEL _____ ALUMINUM _____ COPPER _____ OTHER _____

RIDGEVENT TO BE INSTALLED: _____ YES NO

DESCRIPTION OF WORK: TEAR OFF old Roof, install 30lb Felt, 170 modified, Entegra
13" Flat tile

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

[Signature] DATE: 8-6-08
 SIGNATURE OF CONTRACTOR



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

**RESIDENTIAL REROOF WINDSTORM LOSS
MITIGATION CERTIFICATION
(FLORIDA STATUTE 553.844)**

The following information is to be provided by roofing contractor or owner/builder on all re-roof applications for the purpose of obtaining compliance with recent changes to State Statute and referenced "Hurricane Mitigation Manual". Effective date: October 1, 2007.

Note: These requirements apply to residential structures built prior to implementation of the FBC on March 1, 2002.

- Value: show proof of insured value of residential structure or a copy of the ad-valorem tax value.
- Provide copy of contract

All re-roofs regardless of value shall comply with the following:

Re-nailing: All sheathing and decking shall be re-nailed per section 201.1 and a secondary water barrier installed.

- Existing fasteners that are 8d clipped head, round head or ring shank and spaced 6 in. or less o.c. may be counted. Additional fasteners shall be 8d ring shank nails with round heads spaced at 6 in. o.c. along framing.
- Indicate below which method is to be used to satisfy the secondary water barrier requirements:

_____ All joints in roof sheathing shall be covered with a minimum of 4 in. strip of self-adhering polymer modified bitumen tape. Wood deck and self-adhering tape shall be covered by one layer of approved underlayment.

_____ Entire roof deck shall be covered with an approved self-adhering polymer modified bitumen cap sheet. No additional underlayment is required.

X Exception: An approved 30# underlayment installed per HVHZ using nails and tin-tags and covered with an approved self-adhering polymer modified bitumen cap sheet or an approved cap sheet hot-mopped shall be deemed to meet the requirements for secondary water barrier.

Residential Structures valued at \$300,000 or more shall comply with the following:

- Roof to wall connections must be enhanced up to 15% additional cost of the re-roofing cost.
- A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
 1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
 2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
 - a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
 - b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
 - c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

ROOFING MATERIAL LIST

NO	MATERIAL	QUANTITY	UNIT	REMARKS
0	GAF Timberline 30 shingles	25	SQ	EXAMPLE
	30lb ASTM D224	88	SQ	
	170 Tamko Modified Cap	88	SQ	
	Entegra 13" Scandia Flat Tiles	88	SQ	
	2x2 drip Edge	4		
	Hardi Plank	2 units		
	New Metal Fabrication			
	Chimney Tops			

FRSA/TRI Model Tile Guidelines – August 2005

PART IV - TILE APPLICATION

4.01 Tile Layout

NOTE: When utilizing a single-ply mechanical fastened underlayment or when utilizing battens, a 3" tile head lap must be used (unless restricted by product design).

A. Layout - Horizontal (3" tile head laps or batten installation)

1. Chalk horizontal lines beginning one tile length from eave less desired overhang. Overhang shall be 3/4" to 2", depending on the tile type, use of gutter, or other functional requirements.

NOTE: For batten installation only, chalk line 1 1/2" from ridge.

2. Chalk succeeding lines for a minimum 3" head lap unless restricted by product design.
3. Increase head lap when necessary for equal course spacing.

NOTE: When utilizing a single-ply peel and stick underlayment or a two-ply asphaltic adhesive underlayment system, a minimum 2" head lap may be used unless restricted or dictated by product design.

or,

PH ~~B. Layout - Horizontal (for 2" head lap)~~

1. Chalk horizontal lines beginning one tile length from eave less desired overhang. Overhang shall be 3/4" to 2", depending on tile type, use of gutter, or other functional requirements.
2. Chalk succeeding lines to accommodate a minimum 2" tile head lap unless restricted by product design.
3. Increase head lap when necessary for equal course spacing.

C. Layout - Vertical - choose one of the following:

1. Staggered/cross bond tile installation (Recommended for flat/low profile tile)

a. Gable end roof

- i. Chalk vertical lines one full tile and one half tile width plus 1" to 2" from starting gable to accommodate rake tile.
- or,
- ii. Chalk vertical lines one full and one half tile width from starting gable to accommodate flush finish.
- iii. Chalk additional lines, if necessary, to maintain alignment.

NOTE: Flush finish gable treatment can only be used when utilizing a single-ply peel and stick underlayment or a two-ply asphaltic adhesive underlayment system.

b. Hip roof

- i. Chalk vertical line 90 degrees from eave line.
- ii. Chalk second line parallel to first to accommodate staggered/cross bonded tile.
- iii. Chalk additional lines, if necessary, to maintain alignment.

or,

2. Straight bond tile installation (Not recommended for flat tile)

a. Gable end roof

- i. Chalk vertical line one full tile width plus 1" to 2" from starting gable.
- ii. Chalk additional lines, if necessary, to maintain alignment.

b. Hip roof

- i. Chalk vertical lines, if necessary, to maintain alignment.
- ii. Chalk additional lines, if necessary, to maintain alignment.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

LICENSED GENERAL, BUILDING OR RESIDENTIAL CONTRACTORS'
REROOF WINDSTORM LOSS MITIGATION COMPLIANCE AFFIDAVIT

A residential Structure valued at \$300,000 or more shall comply with the following:

- Roof to wall connections must be enhanced up to 15% additional cost of the reroofing cost.
- A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.

TO BE COMPLETED IF INSURED VALUE OF SINGLE FAMILY IS OVER \$300,000 AND WAS PERMITTED PRIOR TO MARCH 1, 2002.

YEAR PERMITTED 1988 INSURED OR P.A. IMPROVED VALUE \$ 791,660

DETAILS OF MITIGATION WORK TO BE PERFORMED (Add additional sheets if necessary):

- 1 Clay & Concrete roof tiles roof systems ARE EXEMPT from 2nd water Barrier
2 Strapping- Already built to Code - SEE AS BUILT AS Florida Rule 9B-3.0475 status

JOB SITE ADDRESS: 31 South River Rd, Stuart, FL 34996

QUALIFIER NAME: Douglas E. Roe LICENSE NO.: CCC1326574

COMPANY NAME: Code Red Roofers, Inc PHONE NO.: 287-2829

Qualifier's Signature [Signature]

Date: 8/6/08

Owner's Signature [Signature]

Date: 8/6/08

Sworn to and subscribed before me this 6 day of AUG 20 08

By Douglas E. Roe

Sworn to and subscribed before me this 6 day of Aug 2008

By Jeffrey Lazarus

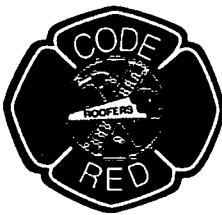
Notary Public, State of Florida
Personally known to me
Produced ID

NOTARY PUBLIC-STATE OF FLORIDA
Donna K. Malizia
Commission # DD392371
Expires: FEB. 02, 2009
Bonded Thru Atlantic Bonding Co., Inc.

NOTARY PUBLIC-STATE OF FLORIDA
Donna K. Malizia
Commission # DD392371
Expires: FEB. 02, 2009
Bonded Thru Atlantic Bonding Co., Inc.

Code Red Roofers, Inc.

3341 SE Slater Street
Stuart, FL 34997



Office: (772) 287-2829

Fax: (772) 287-7763

License # CRC1326582

August 6, 2008

Town of Sewall's Point
Building Dept.
1 South Sewall's Point Rd.
Sewall's Point, FL 34996
287-2455 Office
220-4765 Fax

Re: Lazarus Residence
31 South River Rd.
Sewall's Point, FL

To Whom It May Concern:

Based on the following information, I request that you release the permit for the roofing work on the residence referenced above.

I have examined the strapping for the roof trusses in the attic of this residence, and have found that the strapping is on par with a Simpson HETA 20, 20-gauge embedded strap. The straps are embedded four inches. Ten 10D, 1 1/2" nails are utilized, providing 1,805 lbs. of uplift pressure, equaling 180 lbs. of uplift per nail. Each of these straps have at least five nails in each strap. The spacing of the trusses is two feet on center and no trusses were found to be more than 30 feet in length.

If you have any questions concerning these findings, please contact me.

Sincerely,

Douglas E. Roe
President

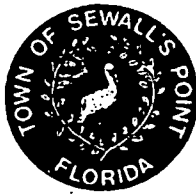
TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon ~~Tues~~ Wed Fri 8-26, 2008 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8918	31 S River Rd	dry-in metal	Pass	Inspector: [Signature]
	31 S River Rd	dry-in metal	Pass	INSPECTOR:
	Code Red Roof			
8920	Skinner	door bucks	Pass	INSPECTOR: [Signature]
	15 Palmetto			
	Tuscany Bay			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 31 S. RIVER

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FINAL ROOF

PER NOA Pg 4 of 6 - TILE

HEADLAP TO BE 4" -

MEASURED APPROX 2 1/2"

HEADLAP - (14" TILE EXPOSURE)

TILE INSTALLATION IS NOT IN

ACCORDANCE W/ NOA.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 9/25/08

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed ~~Th~~ Th 9-25, 2008

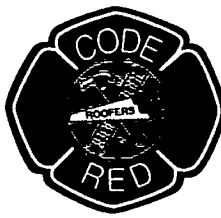
Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<u>1</u>	<u>Duane Estates</u>	<u>Trees</u>	<u>PASS</u>	
<u>2</u>	<u>15 Mandalay</u>			INSPECTOR: <u>[Signature]</u>
930	[scribble]	[scribble]	FAIL	[scribble]
<u>1 930</u>	<u>31 S River Rd</u> <u>Code led Roofing</u>	<u>Roofing</u>	<u>FAIL</u>	<u>RECEIVED MINOR REPAIRS</u> <u>DATE 09/23/08</u> INSPECTOR: <u>[Signature]</u>
		<u>unlicensed</u>		
	<u>8 Kingston Ct</u> <u>Dr Donna Mc. Licensee</u>	<u>Painted</u>		INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____

Code Red Roofers, Inc.

3341 SE Slater Street
Stuart, FL 34997



Office: (772) 287-2829

Fax: (772) 287-7763

License # CCC1326574

Address: Jeffrey Lazarus
31 South River Rd.
Sewalls Point, FL 34996

PN # 8978 FILE

To whom it may concern,

Code Red Roofers, Inc. has nailed the sheathing in accordance with applicable Building Codes and Florida Product Approval, 2 and 3/8" long ring shank nails, nailed at 4" on center on the seams, and 6" on center on the field. Also, tin tag ASTM D226 30lb. Felt with 1 1/4" Rink Shank Nails to plywood decking on deck, 6" o.c. at the 2" side lap, and two 12" o.c. staggered rows along the center of the sheet.

Witness:

[Handwritten signature]

By:

[Handwritten signature]

Douglas E. Roe/President

State of Florida

County of Martin

I hereby acknowledge that the statement contained in the foregoing is true and correct.

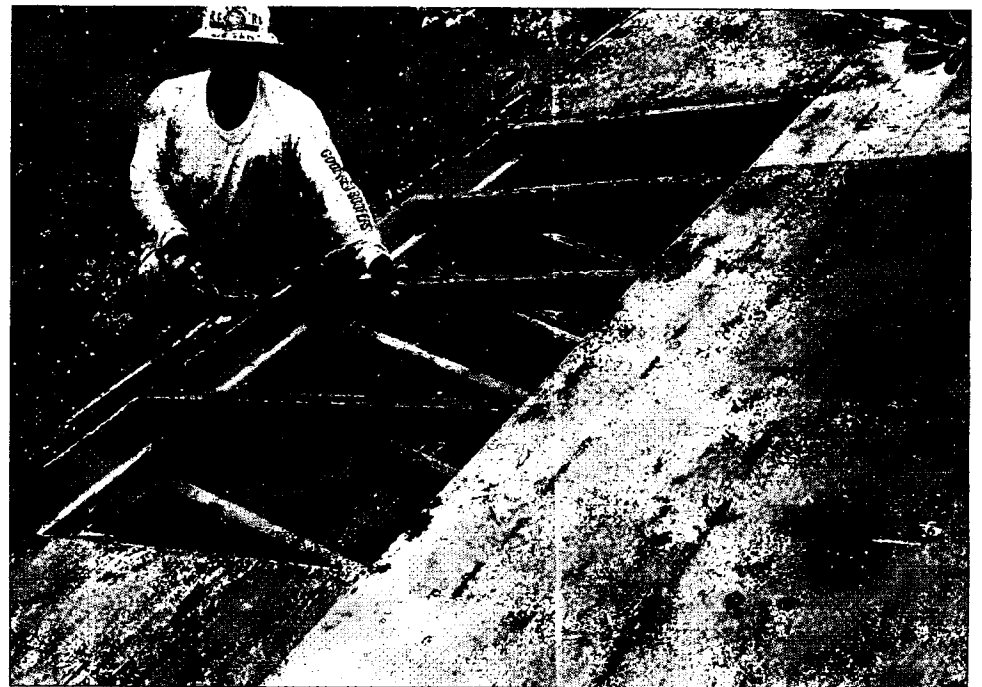
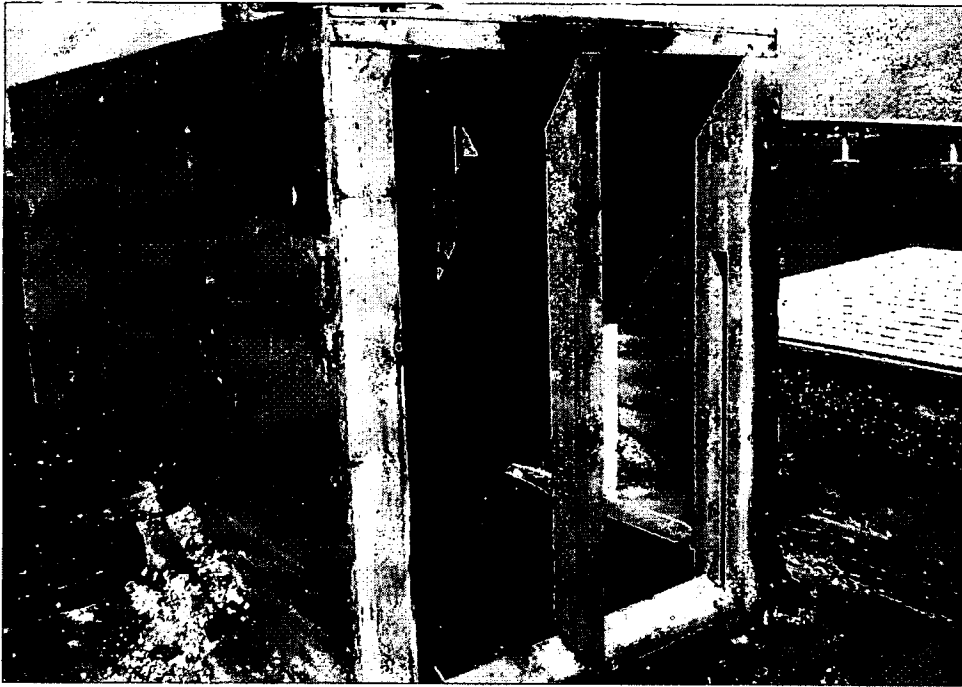
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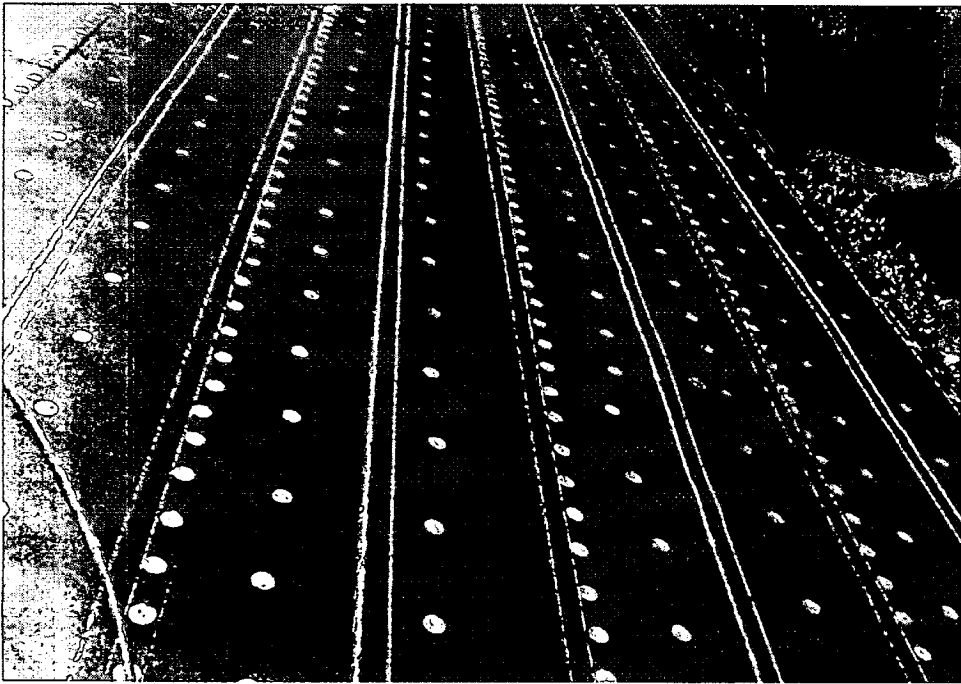
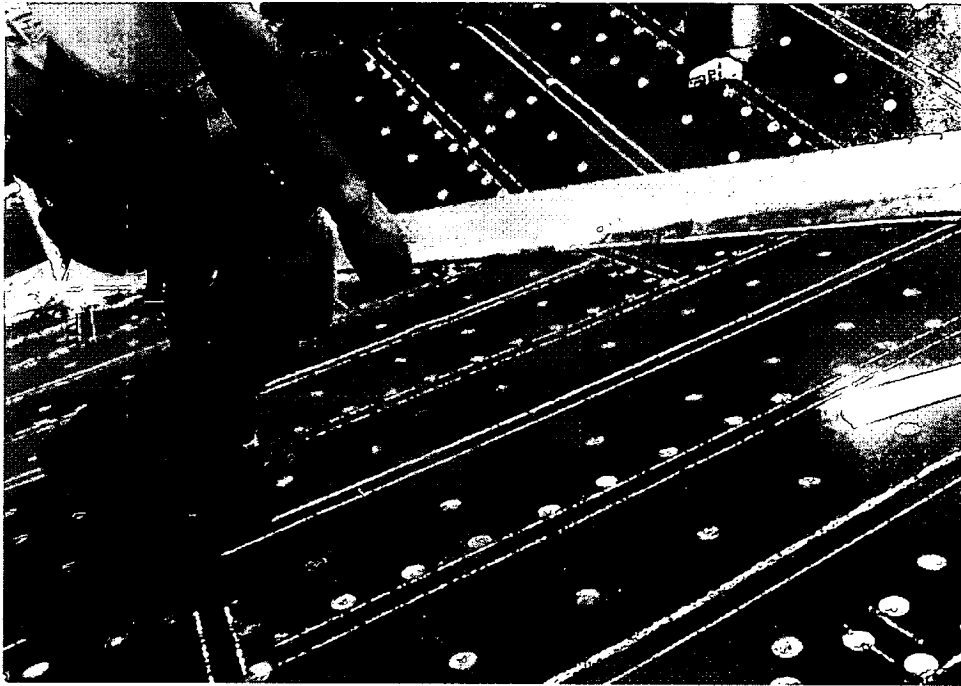
Donna K. Malizia

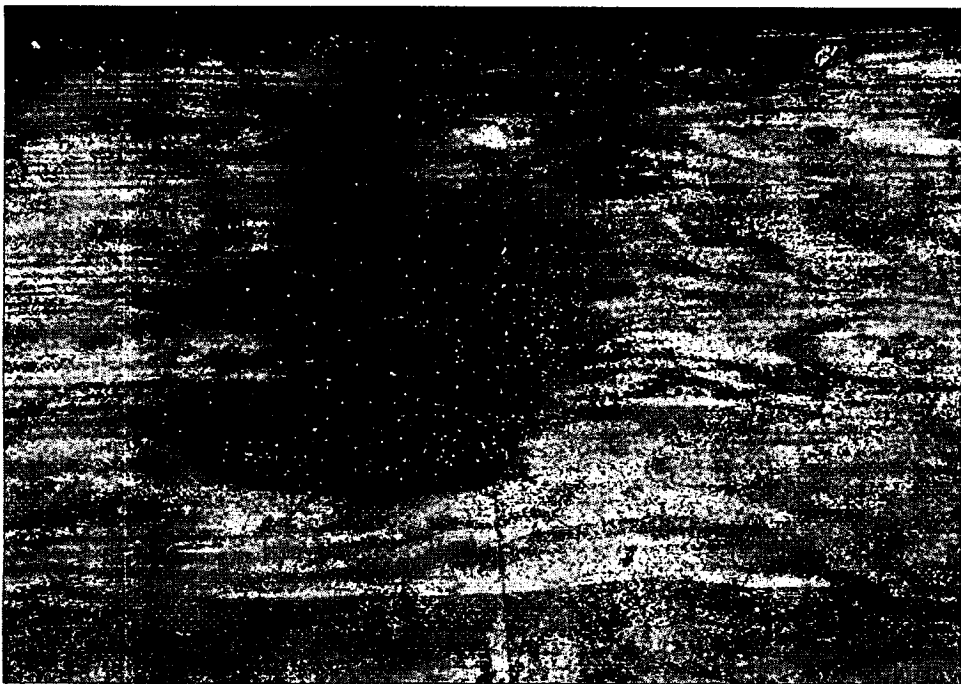
Swore to and subscribed before me this 23 day of Sept, 2008.

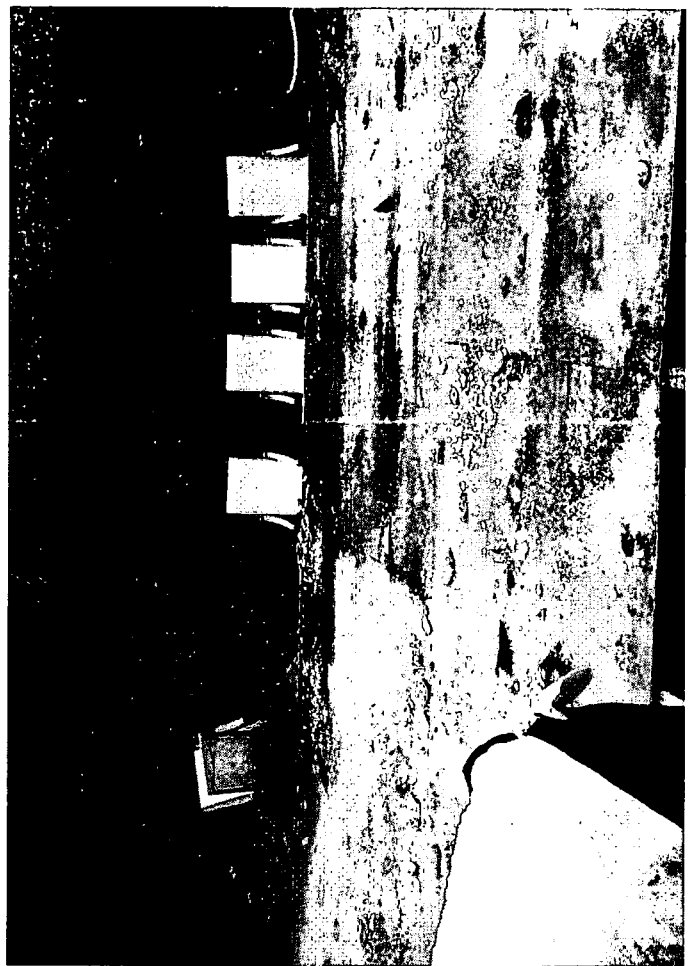
My commission expires:

NOTARY PUBLIC-STATE OF FLORIDA
Donna K. Malizia
Commission # DD392371
Expires: FEB. 02, 2009
Bonded Thru Atlantic Bonding Co., Inc.



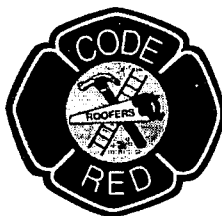






Code Red Roofers, Inc.

3341 SE Slater Street
Stuart, FL 34997



Office: (772) 287-2829

Fax: (772) 287-7763

License # CCC1326574

Address: Jeff and Jacqueline Lazarus
31 South River Road
Stuart, FL 34996

To whom it may concern,

Code Red Roofers, Inc. has nailed the sheathing in accordance with applicable Building Codes and Florida Product Approval, 2 and 3/8" long ring shank nails, nailed at 4" on center on the seams, and 6" on center on the field. The 30lb ASTM D226 Felt was installed with 1 1/4" Ring Shank nails along with 1" Tin Tag 4" on center on laps, and 2 rows at 8" on center in the field. The 2x2 Drip Edge was installed with 1 1/4" Ring Shank Nails 4" on center.

Witness:

[Handwritten Signature]

By: *[Handwritten Signature]*
Code Red Roofers, Inc.

State of Florida

County of Martin

I hereby acknowledge that the statement contained in the foregoing is true and correct.

[Handwritten Signature]
Donna K. Malizia

Swore to and subscribed before me this 27 day of Aug, 2008.

My commission expires:

NOTARY PUBLIC-STATE OF FLORIDA
Donna K. Malizia
Commission # DD392371
Expires: FEB. 02, 2009
Bonded Thru Atlantic Bonding Co., Inc.



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**Entegra Sales, Inc.
819 S. Federal Highway, Suite 300
Stuart, FL 34994**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Skandia Roof Tile

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA No. 00-1106.03 and consists of pages 1 through 6.
The submitted documentation was reviewed by Jorge L. Acebo



**NOA No.: 05-0413.01
Expiration Date: 12/08/10
Approval Date: 12/08/05
Page 1 of 6**

ROOFING ASSEMBLY APPROVAL

Category: Roofing
Sub Category: Roofing Tiles
Material: Concrete

1. SCOPE

This renews a roofing system using Entegra "Skandia" concrete roof tile, as manufactured for Entegra Sales, Inc. as described in Section 2 of this Notice of Acceptance. For the locations where the pressure requirements, as determined by applicable Building Code, does not exceed the values listed in section 4 herein. The attachment calculations shall be done as a moment based system.

2. PRODUCT DESCRIPTION

<u>Manufactured by Applicant</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Skandia. Skandia ABC Duratile USA "E" USA Trim Pieces	Length: 16½" Width: 13"	TAS 112	Flat concrete roof tile for direct deck or batten nail-on.
	Length: varies Width: varies Thickness: varies	TAS 112	Accessory trim, concrete roof pieces for use at hips, rakes ridges and valley terminations

2.1 COMPONENTS OR PRODUCTS MANUFACTURED BY OTHERS

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>	<u>Manufacturer</u>
Tile Nails	Min. 10dx 3"	TAS 114 Appendix E	Corrosion resistant screw or smooth shank nails	Generic (With current NOA)
Tile Screws	#8x 2 ½" long 0.335" head dia. 0.131" shank dia. 0.175" screw thread dia.	TAS 114 Appendix E	Corrosion resistant, coated, square drive, galvanized, coarse thread wood screws	Generic (With current NOA)
Rainproof II	30" x 75' roll 36" x 75' roll 60" x 75' roll	TAS 104	Single ply, nail-on underlayment with 2" self adhering top edge	Protect-O-Wrap, Inc.
Ice and Water Shield	36" x 75' roll	TAS 103	Self-adhering Underlayment	W.R. Grace Co.
TU Underlayment	39 ¾" x 32' 10" roll	TAS 103	Self-adhering Underlayment	Polyglass USA, Inc.



NOA No.: 05-0413.01
 Expiration Date: 12/08/10
 Approval Date: 12/08/05
 Page 2 of 6

Roof Tile Mortar ("TileTite™")	N/A	TAS 123	Prepared mortar mix designed for mortar set roof tile applications	Bermuda Roof Company, Inc.
Roof Tile Mortar ("Quickrete® Roof Tile Mortar #1140)	N/A	TAS 123	Prepared mortar mix designed for mortar set roof tile applications	Quickrete Construction Products
Roof Tile Mortar ("BONSAL® Roof Tile Mortar Mix)	N/A	TAS 123	Prepared mortar mix designed for mortar set roof tile applications	W.R. Bonsal Co.
Roof Tile Adhesive ("Polypro® AH 160")	Various	See NOA	Two component polyurethane adhesives designed for adhesive set roof tile applications	Polyfoam Products, Inc.
Roof Tile Adhesive ("Tile Bond")	Factory premixed containers	See NOA	Single component polyurethane adhesives designed for adhesive set roof tile applications	Flexible Products
Hurricane Clip & Fasteners	Clips Min. ½" width Min. 0.060" thick Clip Fasteners Min. 8d x 1 ¼"	TAS 114 Appendix E	Corrosion resistant clips with corrosion resistant nails.	Generic (With current NOA)

3. LIMITATIONS

- 3.1 Fire classification is not part of this acceptance.
- 3.2 For mortar or adhesive set tile applications, a static field uplift test in accordance with RAS 106 may required, refer to applicable building code.
- 3.3 Applicant shall retain the services of a Miami-Dade County Certified Laboratory to perform quarterly test in accordance with TAS 112, appendix 'A'. Such testing shall be submitted to the Building Code Compliance Office for review.
- 3.4 Minimum underlayment shall be in compliance with the applicable Roofing Applications Standards listed section 4.1 herein.
- 3.5 30/90 hot mopped underlayment applications may be installed perpendicular to the roof slope unless stated otherwise by the underlayment material manufacturers published literature.
- 3.6 This acceptance is for wood deck applications. Minimum deck requirements shall be in compliance with applicable building code.

4. INSTALLATION

- 4.1 "Entegra Sales Inc. Skandia Flat and its components shall be installed in strict compliance with Roofing Application Standard RAS 118,119, & 120
- 4.2 Data For Attachment Calculations



Table 1: Aerodynamic Multipliers - λ (ft ³)		
Tile Profile	λ (ft ³) Batten Application	λ (ft ³) Direct Deck Application
Skandia	0.267	0.289

Table 2: Restoring Moments due to Gravity - M_g (ft-lbf)										
Tile Profile	3": 12"		4": 12"		5": 12"		6": 12"		7": 12" or greater	
	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck
Entegra Skandia	6.85	7.79	6.75	7.67	6.61	7.52	6.44	7.32	6.26	N/A

Table 3: Attachment Resistance Expressed as a Moment - M_t (ft-lbf) For Nail-On Systems				
Tile Profile	Fastener Type	Direct Deck (Min 15/32" plywood)	Direct Deck (Min. 19/32" plywood)	Battens
Skandia	2-10d Ring Shank Nails	30.9	38.1	17.2
	1-10d Smooth or Screw Shank Nail	7.3	9.8	4.9
	2-10d Smooth or Screw Shank Nails	14.0	18.8	7.4
	1 #8 Screw	30.8	30.8	18.2
	2 #8 Screw	51.7	51.7	24.4
	1-10d Smooth or Screw Shank Nail (Field Clip)	24.3	24.3	24.2
	1-10d Smooth or Screw Shank Nail (Eave Clip)	19.0	19.0	22.1
	2-10d Smooth or Screw Shank Nails (Field Clip)	35.5	35.5	34.8
	2-10d Smooth or Screw Shank Nails (Eave Clip)	31.9	31.9	32.2
	2-10d Ring Shank Nails ¹	50.3	65.5	48.3

¹ Installation with a 4" tile headlap and fasteners are located a minimum of 2½" from the head of tile.

Table 4: Attachment Resistance Expressed as a Moment M_t (ft-lbf) For Two Patty Adhesive Set Systems		
Tile Profile	Tile Application	Minimum Attachment Resistance
Skandia	Adhesive	31.3 ³

² See manufactures component approval for installation requirements.
³ Flexible Products Company TileBond Average weights per patty 13.9 grams.
Polyfoam Product, Inc. Average weight per patty 8 grams.



Table 4A: Attachment Resistance Expressed as a Moment - M_r (ft-lbf) For Single Patty Adhesive Set Systems		
Tile Profile	Tile Application	Minimum Attachment Resistance
Skandia	PolyPro™	118.9 ⁴
	PolyPro™	40.4 ⁵
4 Large paddy placement of 45 grams of PolyPro™.		
5 Medium paddy placement of 24 grams of PolyPro™.		

Table 4B: Attachment Resistance Expressed as a Moment - M_r (ft-lbf) for Mortar Set Systems		
Tile Profile	Tile Application	Attachment Resistance
See specific mortar manufacturer's Notice of Acceptance.		

5. LABELING

- 5.1 All tiles shall bear the imprint or identifiable marking of the manufacturer's name or logo, or following statement: "Miami-Dade County Product Control Approved".
- 5.2 Entegra Sales Inc., Skandia Roof Tile bears the following markings: Skandia, Skandia ABC, Duratile, USA "E" USA, where the E is a stylized logo.

6. BUILDING PERMIT REQUIREMENTS

- 6.1 Application for building permit shall be accompanied by copies of the following:
- 6.1.1 This Notice of Acceptance.
- 6.1.2 Any other documents required by the Building Official or applicable Building Code in order to properly evaluate the installation of this system.

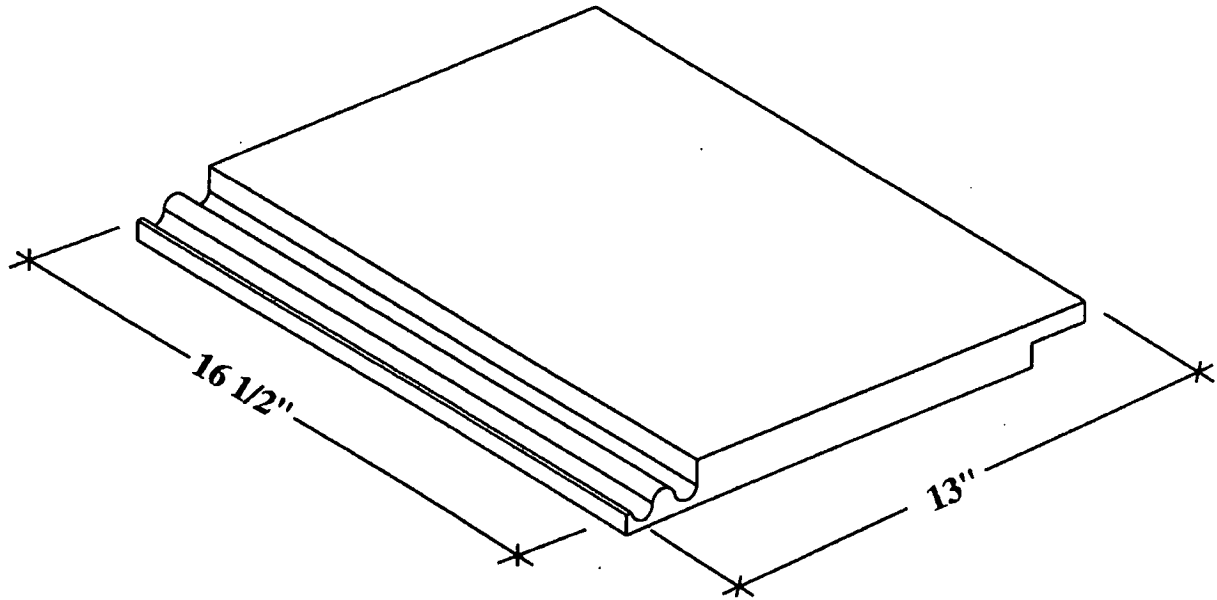
7. MANUFACTURING LOCATIONS

- 7.1 Indiantown, FL



PROFILE DRAWING

SKANDIA FLAT CONCRETE TILE



SKANDIA

END OF THIS ACCEPTANCE



NOA No.: 05-0413.01
Expiration Date: 12/08/10
Approval Date: 12/08/05
Page 6 of 6



BUILDING CODE COMPLIANCE OFFICE (BCCO)
 PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
 METRO-DADE FLAGLER BUILDING
 140 WEST FLAGLER STREET, SUITE 1603
 MIAMI, FLORIDA 33130-1563
 (305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Tamko Building Products, Inc.
 P.O. Box 1404
 Joplin, MO 64802

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: TAMKO Modified Bitumen Roof System Over Wood Decks

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA #04-0506.03 and consists of pages 1 through 19.
 The submitted documentation was reviewed by Alex Tigera.



NOA No.: 07-0111.03
 Expiration Date: 05/23/12
 Approval Date: 05/10/07
 Page 1 of 19

ROOFING SYSTEM APPROVAL

Category: Roofing
Sub-Category: SBS/APP, Modified Bitumen
Deck Type: Wood
Maximum Design Pressure -60 psf
Fire Classification: See General Limitation #1

TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:

TABLE 1

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
Awaplan 170 FR	Roll weight: 98 lbs.; 33' 11" x 39 ^{3/8} "	ASTM D 5147 ASTM D 6164 Type I, Grade G	A 180 g/m ² polyester reinforced SBS modified bitumen membrane surfaced with granules and treated for additional fire resistance. Applied in hot asphalt or cold adhesive.
Awaplan 170™	Roll weight: 98 lbs.; 33' 11" x 39 ^{3/8} "	ASTM D 5147 ASTM D 6164 Type I Grade G	A 180 g/m ² polyester reinforced SBS modified bitumen membrane surfaced with granules. Applied in hot asphalt or cold adhesive.
Awaplan Heat Welding™	Roll weight: 96 lbs.; 25' 5" x 39 ^{3/8} "	ASTM D 5147 ASTM D 6164 Type II Grade G	A 250 g/m ² polyester reinforced SBS modified bitumen membrane surfaced with granules. Applied by torch and also used as a walkway material.
Awaplan Premium FR™	Roll weight: 101 lbs.; 33' 11" x 39 ^{3/8} "	ASTM D 5147 ASTM D 6164 Type II Grade G	A 250 g/m ² polyester reinforced modified bitumen membrane surfaced with granules. Applied by hot asphalt and also used as a walkway material.
Awaplan Premium™	Roll weight: 101 lbs.; 33' 11" x 39 ^{3/8} "	ASTM D 5147 ASTM D 6164 Type II Grade G	A 250 g/m ² polyester reinforced SBS modified bitumen membrane surfaced with granules. Applied in hot asphalt or cold adhesive, and also used as a walkway material.
Awaflex	Roll weight: 76 lbs; 35.9' x 36"	ASTM D 5147	SBS modified cap sheet constructed with a 155gm/m ² non- woven polyester mat saturated with asphalt, coated on both sides with SBS rubber modified asphalt and surfaced with ceramic granules for UV protection.
Awaflex FR	Roll weight: 76 lbs; 35.9' x 36"	ASTM D 5147	SBS FR modified cap sheet constructed with a 155gm/m ² non- woven polyester mat saturated with asphalt, coated on both sides with SBS rubber modified asphalt, FR treated, and surfaced with ceramic granules for UV protection.



NOA No.: 07-0111.03
 Expiration Date: 05/23/12
 Approval Date: 05/10/07
 Page 2 of 19

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
Awaplan Versa-Smooth	Roll weight: 100 lbs. 33' 11" x 39 ³ / ₈ "	ASTM D 5147 ASTM D 6164 Type I Grade S	A 180 g/m ² polyester reinforced SBS modified bitumen membrane. Applied in hot asphalt, by torch, or mechanically fastened, as a base ply in 2 ply modified systems.
Awaplan Versa-Flex	Roll weight: 76 lbs; 33' 11" x 39-3/8"	ASTM D 5147 ASTM D 6164 Type I Grade S	A 170 g/m ² nonwoven polyester reinforced SBS modified bitumen membrane. Applied in hot asphalt, as a base ply in 2 ply modified systems.
Base-N-Ply®	Roll weight: 72 lbs.; 97'-6" x 39 ³ / ₈ "	ASTM D 4601 Type II	Asphalt impregnated and coated glass fiber base sheet for use in conventional and modified bitumen built-up roofing.
Glass-Base™	Roll weight: 72 lbs.; 97' 6" x 39 ³ / ₈ "	ASTM D 4601 Type II	Asphalt impregnated and coated glass fiber base sheet for use in conventional and modified bitumen built-up roofing.
Tam-Cap™	Roll weight: 83 lbs.; 32' 11" x 39 ³ / ₈ "	ASTM D 3909	Asphalt impregnated and coated felt surfaced with mineral granules used as the top ply in conventional built-up roof membranes.
Tam-Glass Premium™	Roll weight: 53 lbs.; 161' 9" x 39 ³ / ₈ "	ASTM D 2178 Type VI	Asphalt impregnated glass felt for use in conventional and modified bitumen built-up roofing.
Tam-Ply IV™	Roll weight: 44 lbs.; 161' 9" x 39 ³ / ₈ "	ASTM D 2178 Type IV	Asphalt impregnated glass felt for use in conventional and modified bitumen built-up roofing.
Type 43 Base Sheet	Roll weight: 85 lbs.; 72' x 36"	ASTM D 2626	An organic felt reinforced asphalt base sheet. Applied in hot asphalt or mechanically fastened.
Vapor-Chan™	Roll weight: 86 lbs.; 32' 11" x 39 ³ / ₈ "	ASTM D 4897	Heavy duty fiber glass base sheet impregnated and coated on both sides with asphalt with or without a fine mineral stabilizer. Surfaced on the bottom side with coarse mineral granules embedded in hot asphaltic coating.
Versa-Base FR™	Roll weight: 60 lbs.; 48' 2" x 39 ³ / ₈ "	ASTM D 5147	Asphalt impregnated and coated glass fiber base sheet for use in conventional and modified bitumen built-up roofing.
Versa-Base™	Roll weight: 94 lbs.; 48' 2" x 39 ³ / ₈ "	ASTM D 5147 ASTM D 6163 Type I, Grade G	Asphalt impregnated and coated glass fiber base sheet for use in conventional and modified bitumen built-up roofing.
Versa-Cap FR™	Roll weight: 87 lbs.; 33' x 39 ³ / ₈ "	ASTM D 5147	A fiberglass reinforced, mineral surfaced, SBS modified bitumen top membrane.
Tam-Pro 846 Fibered Emulsion Coating	5 gallon	ASTM D 1227, type II	Protective coating.
Tam-Pro 813 Quick-Dry Primer	5 gallon	ASTM D 41	Asphalt based primer



<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
Tam-Pro 842 Fire Rated Fibered Aluminum Roof coating	5 gallons	ASTM D2824, type III	Flame retardant protective coating

APPROVED INSULATIONS:

TABLE 2

Product Name	Product Description	Manufacturer (With Current NOA)
Pyrox, White Line	Isocyanurate Insulation	Apache Products Co.
ACFoam Composite	Isocyanurate Insulation with perlite facer	Atlas Roofing Corp.
ACFoam II	Isocyanurate Insulation	Atlas Roofing Corp.
ConPearl	Expanded perlite mineral fiber	Conglas
EnergyGuard Perlite	Expanded mineral fiber	GAF Mat'l. Corp.
EnergyGuard Fiberboard	Wood fiber board	GAF Mat'l. Corp.
Dens Deck	Silicon treated gypsum	G-P Products
Sturdi-Top	Wood fiber insulation board.	G-P Products
Wood Fiberboard	Regular wood fiber insulation	Generic
High Density Wood Fiberboard	High Density Wood Fiber insulation board.	Generic
Perlite Insulation Board	Perlite Insulation	Generic
Armor Board Regular Fiberboard	Wood fiber board	Honeywell Int'l. Inc.
Hubert Fiberboard	Wood fiber board	Huebert Fiberboard, Inc.
ENRGY 2, ENERGY 3, PSI-25	Isocyanurate Insulation.	Johns Manville
Retro-Fit Board, DuraBoard	A high-density perlite roof insulation.	Johns Manville
Fesco Board	Rigid perlite roof insulation board.	Johns Manville
Kop-R Wood Fiber	Wood fiber board	Koppers Industries, Inc.
Structodeck, Structodek FS	High Density Wood Fiber insulation board.	Masonite



APPROVED FASTENERS:

TABLE 3

Fastener Number	Product Name	Product Description	Dimensions	Manufacturer (With Current NOA)
1.	Dekfast Fasteners #12, #14 & #15	Insulation fastener for wood, steel and concrete decks		SFS Intec, Inc.
2.	Dekfast Hex Plate	Galvalume hex stress plate.	2 7/8" x 3 1/4"	SFS Intec, Inc.
3.	#12 Roofgrip Fasteners	Insulation fastener for wood and steel.		ITW Buildex Corp.
4.	Metal Plate	Galvalume stress plate.	3" round 3" square	ITW Buildex Corp.
5.	Olympic Fastener #12 & #14	Insulation fastener		Olympic Mfg Group, Inc..
6.	Olympic G-2	Galvalume AZ55 steel plate	3.5" round	Olympic Mfg Group, Inc.
7.	Olympic Standard	Galvalume AZ50 steel plate	3" round	Olympic Mfg Group, Inc.
8.	Insul-Fixx Fastener	Insulation fastener for steel and wood decks		SFS Intec, Inc.
9.	Insul-Fixx S Plate	Galvalume AZ50 steel plate	3" round	SFS Intec, Inc.
10.	Tru-Fast	Insulation fastener for steel and wood decks		The Tru-Fast Corp.
11.	Tru-Fast Plates	Galvalume AZ55 steel plate	3" round	The Tru-Fast Corp.

EVIDENCE SUBMITTED:

<u>Test Agency/Identifier</u>	<u>Name</u>	<u>Report</u>	<u>Date</u>
Factory Mutual Research Corp.	Comparative Rupture Testing	J.I. 4D0A7.AM	10.21.98
	Class 1 Fire	J.I. 0Z4A3.AM	08.27.97
	Class 1 Fire; 1-90 Windstorm	J.I. 1D4A7.AM	10.20.97
	Class 1 Fire; 1-90 Windstorm	J.I. 3B5A9.AM	08.27.98
Exterior Research & Design, LLC	Wind Uplift Testing	4444.06.98-1	06.15.98
	Wind Uplift Testing	4449.08.99-1	08.03.99



NOA No.: 07-0111.03
 Expiration Date: 05/23/12
 Approval Date: 05/10/07
 Page 5 of 19

Membrane Type: SBS
Deck Type 1: Wood, Non-insulated
Deck Description: $\frac{19}{32}$ " or greater plywood or wood plank
System Type: Tile Underlayment, Base Sheet mechanically attached.

All General and System Limitations shall apply.

Anchor sheet: Tamko No. 30 UL, Type 43 Coated Base, Base-N-Ply®, Vapor-Chan™, or Versa-Base™ base sheet applied with a minimum 2" side lap and a minimum 6" end lap. Base sheet may be applied at a right angle (90°) to the slope of the deck with approved annular ring shank nails and tin caps at a fastener spacing of 6" o.c. at the 2" side lap, and two 12" o.c. staggered rows along the center of the sheet.

Ply Sheet: (Optional) One or more plies Tam-Ply IV™ or Tam-Glass Premium™ sheet adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.

Cap Sheet: One ply Awaplan Premium™, Awaplan 170™, Awaflex, Tamko ASTM Slate Surface or Tamko ASTM Tile Underlayment. Cap sheet may be applied at a right angle (90°) to the slope of the deck* adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. Cap sheet shall be back nailed to deck with approved annular ring shank nails and tin caps at a maximum 12" o.c. at the side laps and 6" o.c. at the end laps. No nails or tin caps shall be exposed.

*Cap Sheet may also be installed parallel to the slope of the roof (i.e. strapping). If membrane or cap sheet is strapped, then anchor sheet and ply sheet must also be strapped.

Maximum Design Pressure: Refer to Tile Manufacturer's NOA.

Maximum Slope: Must Comply with Roofing Application Standard RAS 118, RAS 119, RAS 120 and Applicable Building Code.



WOOD DECK SYSTEM LIMITATIONS:

1. A slip-sheet is required with Ply 4 and Ply 6 when used as a mechanically fastened base or anchor sheet.

GENERAL LIMITATIONS:

1. Fire classification is not part of this acceptance, refer to a current Approved Roofing Materials Directory for fire ratings of this product.
2. Insulation may be installed in multiple layers. The first layer shall be attached in compliance with Product Control Approval guidelines. All other layers shall be adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq., or mechanically attached using the fastening pattern of the top layer
3. All standard panel sizes are acceptable for mechanical attachment. When applied in approved asphalt, panel size shall be 4' x 4' maximum.
4. An overlay and/or recovery board insulation panel is required on all applications over closed cell foam insulations when the base sheet is fully mopped. If no recovery board is used the base sheet shall be applied using spot mopping with approved asphalt, 12" diameter circles, 24" o.c.; or strip mopped 8" ribbons in three rows, one at each sidelap and one down the center of the sheet allowing a continuous area of ventilation. Encircling of the strips is not acceptable. A 6" break shall be placed every 12' in each ribbon to allow cross ventilation. Asphalt application of either system shall be at a minimum rate of 12 lbs./sq. **Note: Spot attached systems shall be limited to a maximum design pressure of -45 psf.**
5. Fastener spacing for insulation attachment is based on a Minimum Characteristic Force (F') value of 275 lbf., as tested in compliance with Testing Application Standard TAS 105. If the fastener value, as field-tested, are below 275 lbf. insulation attachment shall not be acceptable.
6. Fastener spacing for mechanical attachment of anchor/base sheet or membrane attachment is based on a minimum fastener resistance value in conjunction with the maximum design value listed within a specific system. Should the fastener resistance be less than that required, as determined by the Building Official, a revised fastener spacing, prepared, signed and sealed by a Florida Registered Engineer, Architect, or Registered Roof Consultant may be submitted. Said revised fastener spacing shall utilize the withdrawal resistance value taken from Testing Application Standards TAS 105 and calculations in compliance with Roofing Application Standard RAS 117.
7. Perimeter and corner areas shall comply with the enhanced uplift pressure requirements of these areas. Fastener densities shall be increased for both insulation and base sheet as calculated in compliance with Roofing Application Standard RAS 117. **(When this limitation is specifically referred within this NOA, General Limitation #9 will not be applicable.)**
8. All attachment and sizing of perimeter nailers, metal profile, and/or flashing termination designs shall conform with Roofing Application Standard RAS 111 and applicable wind load requirements.
9. The maximum designed pressure limitation listed shall be applicable to all roof pressure zones (i.e. field, perimeters, and corners). Neither rational analysis, nor extrapolation shall be permitted for enhanced fastening at enhanced pressure zones (i.e. perimeters, extended corners and corners). **(When this limitation is specifically referred within this NOA, General Limitation #7 will not be applicable.)**
10. All products listed herein shall have a quality assurance audit in accordance with the Florida Building Code and Rule 9B-72 of the Florida Administrative Code.

END OF THIS ACCEPTANCE



NOA No.: 07-0111.03
Expiration Date: 05/23/12
Approval Date: 05/10/07
Page 19 of 19



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**Polyfoam Products, Inc.
11715 Boudreaux Road
Tomball, TX 77375**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by the BCCO and accepted by the Building Code and Product Review Committee to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The BCCO (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BCCO reserves the right to revoke this acceptance, if it is determined by BCCO that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Polypro® AH160

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA No.01-0521.02 and consists of pages 1 through 7
The submitted documentation was reviewed by Jorge L. Acebo.



**NOA No.: 06-0201.02
Expiration Date: 05/10/11
Approval Date: 04/13/06
Page 1 of 7**

ROOFING ASSEMBLY APPROVAL:

Category: Roofing
Sub Category: Roof tile adhesive
Materials: Polyurethane

SCOPE:

This approves Polypro® AH160 as manufactured by Polyfoam Products, Inc. as described in Section 2 of this Notice of Acceptance. For the locations where the design pressure requirements, as determined by applicable building code, does not exceed the design pressure values obtained by calculations in compliance with Roofing Application Standard RAS 127, for use with approved flat, low, and high profile roof tiles system using Polypro® AH 160. Where the attachment calculations are done as a moment based system for single patty placement, and as an uplift based system for double patty systems

PRODUCTS MANUFACTURED BY APPLICANT:

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Polypro® AH160	N/A	TAS 101	Two component polyurethane foam adhesive
Foampro® RTF1000	N/A		Dispensing Equipment
ProPack® 30 & 100	N/A		Dispensing Equipment

PRODUCTS MANUFACTURED BY OTHERS:

Any Miami-Dade County Product Control Accepted Roof Tile Assembly having a current NOA which list moment resistance values with the use of Polypro AH160 roof tile adhesive.

PHYSICAL PROPERTIES:

<u>Property</u>	<u>Test</u>	<u>Results</u>
Density	ASTM D 1622	1.6 lbs./ft. ³
Compressive Strength	ASTM D 1621	18 PSI Parallel to rise 12 PSI Perpendicular to rise
Tensile Strength	ASTM D 1623	28 PSI Parallel to rise
Water Absorption	ASTM D 2127	0.08 Lbs./Ft ²
Moisture Vapor Transmission	ASTM E 96	3.1 Perm / Inch
Dimensional Stability	ASTM D 2126	+0.07% Volume Change @ -40° F., 2 weeks +6.0% Volume Change @158°F., 100% Humidity, 2 weeks
Closed Cell Content	ASTM D 2856	86%

Note: The physical properties listed above are presented as typical average values as determined by accepted ASTM test methods and are subject to normal manufacturing variation.



EVIDENCE SUBMITTED:

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Center for Applied Engineering	#94-060	TAS 101	04/08/94
	257818-1PA	TAS 101	12/16/96
	25-7438-3	SSTD 11-93	10/25/95
	25-7438-4		
	25-7438-7	SSTD 11-93	11/02/95
Miles Laboratories Polymers Division	25-7492	SSTD 11-93	12/12/95
	NB-589-631	ASTM D 1623	02/01/94
Ramtech Laboratories, Inc.	9637-92	ASTM E 108	04/30/93
Southwest Research Institute	01-6743-011	ASTM E 108	11/16/94
Trinity Engineering	01-6739-062b[1]	ASTM E 84	01/16/95
	7050.02.96-1	TAS 114	03/14/96
Celotex Corp. Testing Services	528454-2-1	TAS 101	10/23/98
	528454-9-1		
	528454-10-1		
	520109-1	TAS 101	12/28/98
	520109-2		
	520109-3		
	520109-6		
	520109-7		
	520191-1	TAS 101	03/02/99
520109-2-1			

LIMITATIONS:

1. Fire classification is not part of this acceptance. Refer to the Prepared Roof Tile Assembly for fire rating.
2. Polypro® AH160 shall solely be used with flat, low, & high tile profiles.
3. Minimum underlayment shall be in compliance with the Roofing Application Standard RAS 120.
4. Roof Tile manufactures acquiring acceptance for the use of Polypro® AH160 roof tile adhesive with their tile assemblies shall test in accordance with TAS 101.
5. Roof Tile manufactures acquiring acceptance for the use of HANDI-STICK roof tile adhesive with their tile assemblies shall test in accordance with TAS 101 with section 10.4 as modified herein.

$$F = \frac{2}{MS} W$$



INSTALLATION:

1. Polypro® AH160 may be used with any roof tile assembly having a current NOA that lists uplift resistance values with the use of Polypro® AH160.
2. Polypro® AH160 shall be applied in compliance with the Component Application section and the corresponding Placement Details noted herein. The roof tile assembly's adhesive attachment with the use of Polypro® AH160 shall provide sufficient attachment resistance, expressed as an uplift based system, to meet or exceed the uplift resistance determined in compliance with Miami-Dade County Roofing Application Standards RAS 127. The adhesive attachment data is noted in the roof tile assembly NOA
3. Polypro® AH160 roof tile adhesive and its components shall be installed in accordance with Roofing Application Standard RAS 120, and Polyfoam Products, Inc. Polypro® AH160 Operating Instruction and Maintenance Booklet.
4. Installation must be by a Factory Trained 'Qualified Applicator' approved and licensed by Polyfoam Products, Inc. Polyfoam Products Inc. shall supply a list of approved applicators to the authority having jurisdiction.
5. Calibration of the Foampro® dispensing equipment is required before application of any adhesive. The mix ratio between the "A" component and the "B" component shall be maintained between 1.0-1.15 (A): 1.0 (B). The dispense timer shall be set to deliver 0.0175 to 0.15 pounds per tile as determined at calibration. No other settings shall be approved.
6. Polypro® AH160 shall be applied with Foampro RTF1000 or ProPack® 30 & 100 dispensing equipment only.
7. Polypro® AH160 shall not be exposed permanently to sunlight.
8. Tiles must be adhered in freshly applied adhesive. Tile must be set within 2 to 3 minutes after Polypro® AH160 has been dispensed.
9. Polypro® AH160 placement and minimum patty weight shall be in accordance with the 'Placement Details' herein. Each generic tile profile requires the specific placement noted herein.

Tile Profile	Placement Detail	Single Paddy Weight Min. (grams)	Two Paddy Weight per paddy Min. (grams)
Flat, Low, High Profiles	#1	35	N/A
High Profile (2 Piece Barrel)	#1	17/side on cap and 34/pan	N/A
Flat, Low, High Profiles	#2	24	N/A
Flat, Low, High Profiles	#3		8

LABELING:

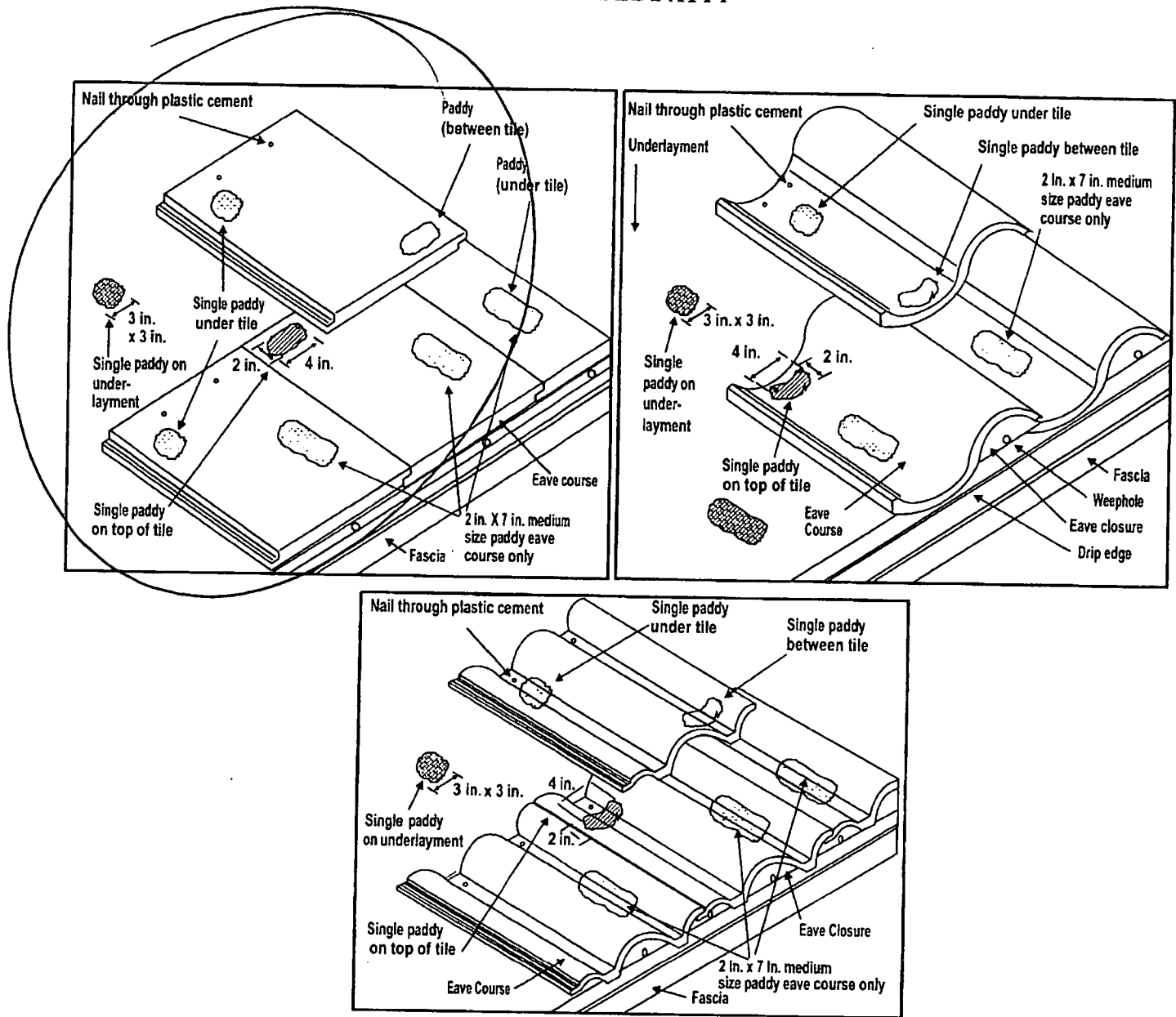
All Polypro® AH160 containers shall comply with the Standard Conditions listed herein.

BUILDING PERMIT REQUIREMENTS:

As required by the Building Official or applicable building code in order to properly evaluate the installation of this system.



ADHESIVE PLACEMENT DETAIL 3 DOUBLE PATTY



END OF THIS ACCEPTANCE



NOA No.: 06-0201.02
 Expiration Date: 05/10/11
 Approval Date: 04/13/06
 Page 7 of 7

System Four

Adhesive-Set Tile Guidelines Underlayment Option “A”

NOTE: The following table provides the contractor with the choices available for underlayment systems. These systems can only be used on pitches designated in the table below:

Slope of Roof	Battens or Direct Deck	Choice of Underlayments	Plastic or Compatible Cement at Penetrating Underlayments	Reference
4" : 12" and greater	Either	1. Single-ply 90# Organic Cap Sheet or Modified Cap Sheet	Not Required	3.02A
4" : 12" and greater	Either	2. Hot Mop Application - No.30 or No.43 / 90# Organic or Modified Cap Sheet	Not Required	3.02B
4" : 12" and greater	Either	3. Cold Process Application - No.30 or No.43 / 90# Organic or or Modified Cap Sheet	Not Required	3.02C
4" : 12" and greater	Either	4. Self-Adhered Underlayment -Applied Direct to Wood Deck	Not Required	3.02D
4" : 12" and greater	Either	5. No.30/Self-Adhered Underlayment	Not Required	3.02E
As tested	Either	6. Alternative Membranes	Not Required	3.02F
<p>NOTE: All applications above must use preformed flashings with metal edge returns and a 3" tile headlap unless restricted or dictated by product design.</p> <p>NOTE: Not all tiles are designed to be engaged over battens. Check with roof tile manufacturer.</p>				

System #4 - Option “A”

3.02 Underlayment Application - Choose one of the following:

NOTE: On cap sheet, cut fishmouths and seal with compatible flashing cement and membrane where applicable.

NOTE: Anchor sheet fastening shall be in accordance with Tables 1 to 5C.

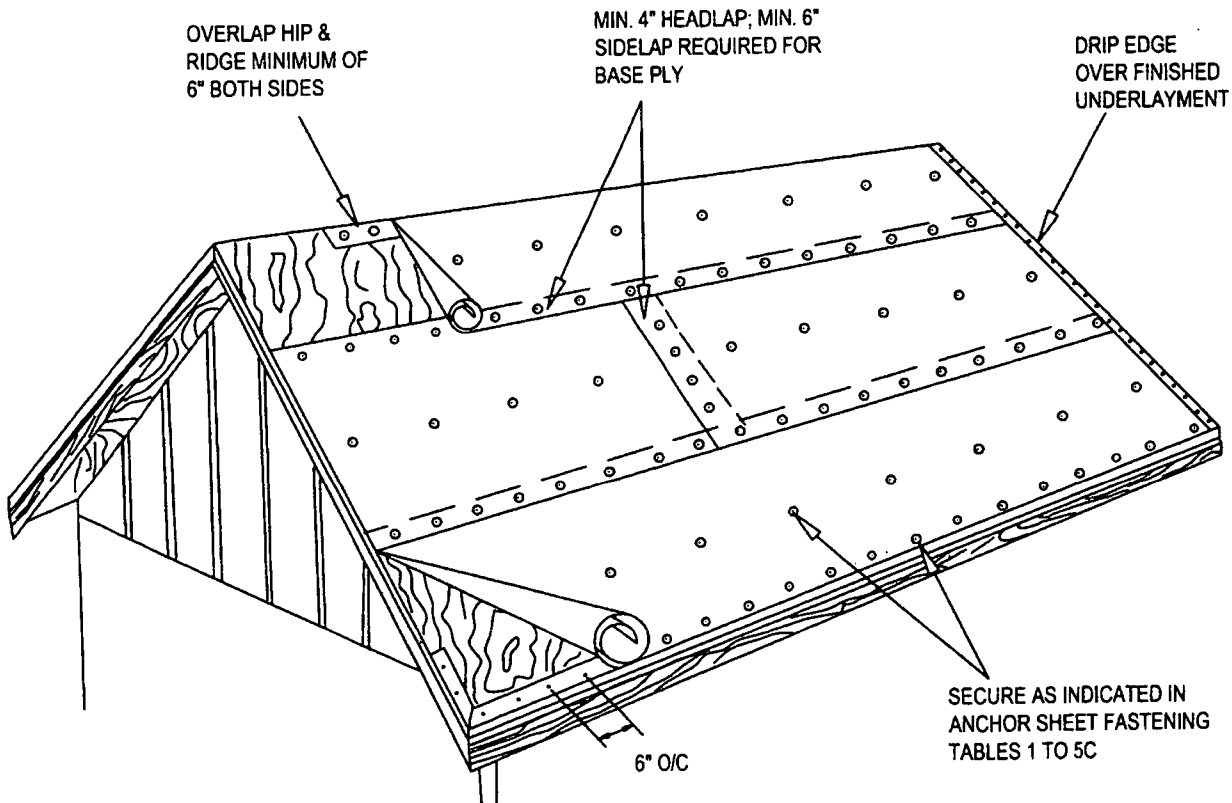
NOTE: Anchor sheet shall be a minimum 2-ply in the valley.

NOTE: A No.15, No.30 or No.43 can be used as a dry in prior to installing the underlayment with this system (except on 3.02 D).

A. Single-ply 90# Organic Cap Sheet or Modified Cap Sheet (See Drawing A-1)

A 90# organic cap sheet or modified cap sheet underlayment application can be installed with tiles applied direct to the cap sheet. Prior to applying the 90# or modified cap sheet, attach a 36" wide strip of same underlayment, (sweat sheet) down the center of the valley. Secure near the edge of the felt 24" on center. Apply a 90# or modified cap sheet perpendicular to the slope of the roof and mechanically attached to the wood deck with nails and tin caps, round cap nails or other fasteners according to the Anchor Sheet Fastening Tables 1 to 5C near the top edge of felt. Use a minimum 4" head lap and 6" side laps. Extend anchor sheet up vertical surfaces a minimum 4". Overlap hip and ridges a minimum of 6". Secure near the edge of felt 12" on center at overlaps and side laps of the underlayment.

DRAWING A-1





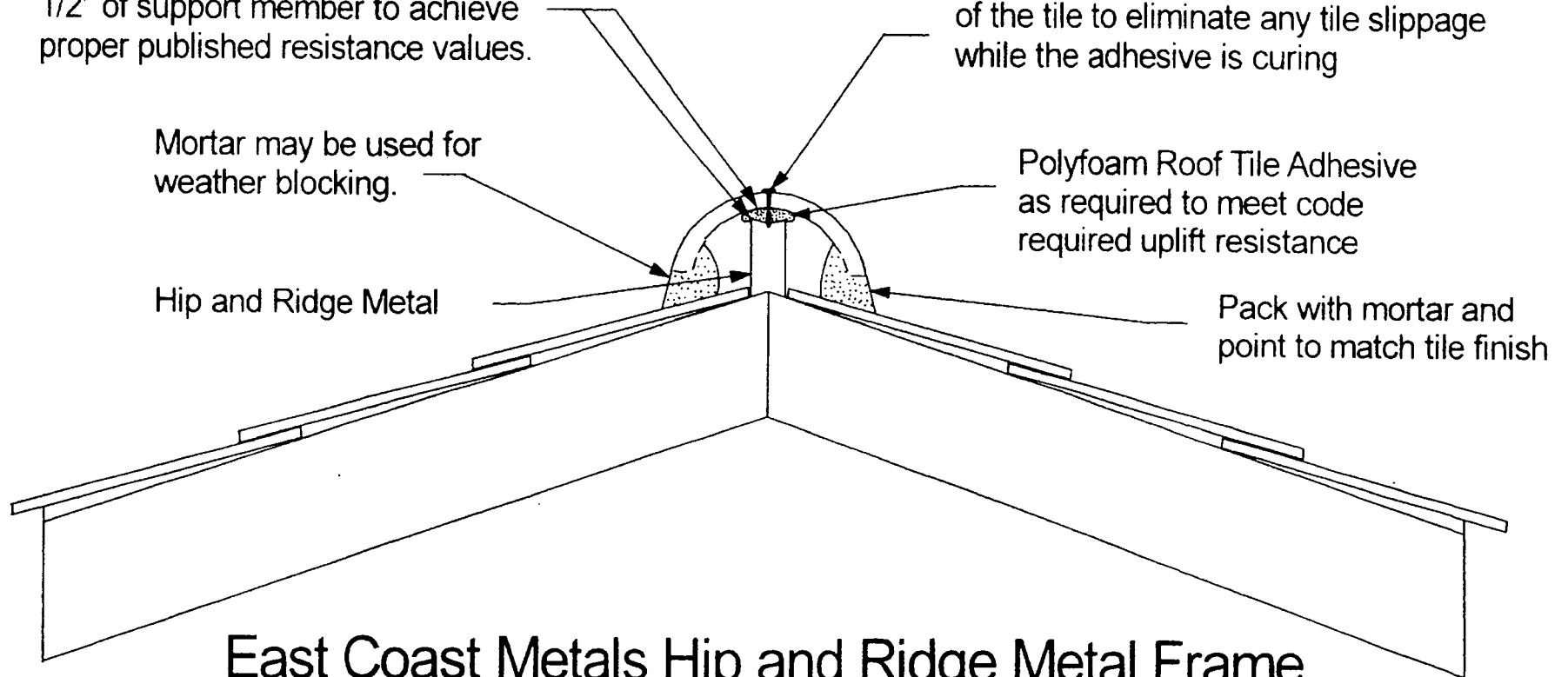
POLYFOAM PRODUCTS, INC.

10798 NW 53rd Street Sunrise, FL 33351 Phone: (954) 578-1559 Fax: (954) 578-1042

Important Note:

Head of tile must be within 1/2" of support member to achieve proper published resistance values.

When required on steep slopes, attach with a #8 course headscrew at the head of the tile to eliminate any tile slippage while the adhesive is curing



East Coast Metals Hip and Ridge Metal Frame
Tile Fastened with Polyfoam Adhesive
and using Mortar as a Weather Block



Certificate of Authorization #9503

EXTERIOR RESEARCH & DESIGN, LLC.
2 MATTOON ROAD
WATERBURY, CT 06488
PHONE: (203) 596-7884
FAX: (203) 596-7058

EVALUATION REPORT

East Coast Metals
2301 West 8 Lane
Hialeah, FL 33010

ERD Evaluation Report 2005.E0960C.09.05
FL5374
Date of Issuance: 09/21/2005

SCOPE:

This Evaluation Report is issued under Rule 9B-72 and the applicable rules and regulations governing the use of construction materials in the State of Florida. The documentation submitted has been reviewed by Robert Nieminen, P.E. for use of the product under the Florida Building Code. The product described herein has been designed to comply with the Florida Building Code.

DESCRIPTION: Hip & Ridge Metal

LABELING: Each unit shall bear a permanent label with the manufacturer's name, logo, city, state and logo of the Accredited Quality Assurance Agency noted herein.

CONTINUED COMPLIANCE: This Evaluation Report is valid until such time as the named product(s) changes, the referenced Quality Assurance documentation changes, or provisions of the Code that relate to the product change. Acceptance of this Evaluation Report by the named client constitutes agreement to notify ERD or Robert Nieminen, P.E. if the product changes or the referenced Quality Assurance documentation changes.

ADVERTISEMENT: The Evaluation Report number preceded by the words "ERD Evaluated" may be displayed in advertising literature. If any portion of the Evaluation Report is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire Evaluation Report shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This Evaluation Report consists of pages 1 through 3, plus five (5) pages of Appendices.

Prepared by:

Robert J.M. Nieminen, P.E.
Florida Registration No. 59166
Florida DCA ANE1983

CERTIFICATION OF INDEPENDENCE:

1. ERD East does not have, nor does it intend to acquire or will it acquire, a financial interest in any company manufacturing or distributing products it evaluates.
2. ERD East is not owned, operated or controlled by any company manufacturing or distributing products it evaluates.
3. Robert Nieminen, P.E. does not have nor will acquire, a financial interest in any company manufacturing or distributing products for which the evaluation reports are being issued.
4. Robert Nieminen, P.E. does not have, nor will acquire, a financial interest in any other entity involved in the approval process of the product.


Certificate of Authorization #9503
ROOFING COMPONENT EVALUATION:
1. SCOPE:

Product Category: Roofing

Sub-Category: Other - Hip and Ridge Metal

Compliance Statement: Hip & Ridge Metal, as produced by East Coast Metals, has demonstrated compliance with the intent of the Florida Building Code through testing in accordance with the Standards set forth herein. Compliance is subject to the Installation Requirements and Limitations / Conditions of Use set forth herein.

2. STANDARDS:

<u>Section</u>	<u>Property</u>	<u>Standard</u>	<u>Year</u>
1507.4.3	Physical properties	ASTM A653	2001
1715.2.1	Static Uplift	SSTD 11	1997

3. REFERENCES:

<u>Entity</u>	<u>Examination</u>	<u>Reference</u>	<u>Date</u>
PRI Asphalt Tech.	SSTD 11	ECM-001-02-01	09/21/2001
Architectural Testing	A653 & Quality Control	Participation Letter	09/21/2005
Miami-Dade BCCO	Attach Requirements	Roof Construction Methods	11/08/1999
Florida Building Code	Attach Requirements	RAS 118, 119 and 120	1995

4. PRODUCT DESCRIPTION:

Hip & Ridge Metal is a 26 ga., ASTM A653 (G-90) pre-formed metal channel available in 10 foot lengths designed for use as a hip and ridge base to which roof tiles are bonded in FBC Approved roof tile adhesive. Detail drawings for the product are provided as Appendix 1.

5. LIMITATIONS:

- 5.1 For HVHZ jurisdictions, refer to memo dated 11/08/1999 attached as Appendix 2 and FBC RAS 118, Drawing 13, Detail 3, RAS 119, Drawing 12, Detail 3 and RAS 120, Drawing 16, Detail 3.
- 5.2 Hip & Ridge Metal may be used with any approved roof tile adhesive which lists Hip & Ridge Metal as a component part of a hip & ridge tile installation in the Product Approval. If Hip & Ridge Metal is not listed, a request may be made to the AHJ for approval provided that appropriate wind load resistance data from an FBC Approved laboratory is submitted.
- 5.3 For wind resistance performance data, refer to roof tile adhesive manufacturer's Product Approval. Installations are limited to projects having an Aerodynamic Uplift Moment (M_u)¹ or Moment Resistance (M_r)² not greater than the values published in the roof tile adhesive Product Approval.
- 5.4 All products in the roof assembly shall have quality assurance audit in accordance with the Florida Building Code and F.A.C. Rule 9B-72.

¹ Determined in accordance with 2004 FBC Section 1609.7.3.

² Determined in accordance with RAS 127.

**Certificate of Authorization #9503****6. INSTALLATION:**

- 6.1 The roof deck shall be minimum 15/32-inch plywood attached in accordance with FBC Chapter 23 to the satisfaction of the AHJ.
- 6.2 Hip & Ridge Metal shall be installed using min. 11 ga. x 1¼-inch long x 3/8-inch head diameter galvanized annular ring shank nails spaced 6-inch o.c. along both deck-flanges. Fasteners shall be positioned ¾-inch from the outside edge of each deck-flange, set in a bed plastic roof cement.

7. LABELING:

Each unit shall bear a permanent label with the manufacturer's name, logo, city, state and logo of the Accredited Quality Assurance Agency noted herein.

8. BUILDING PERMIT REQUIREMENTS:

As required by the Building Official or Authority Having Jurisdiction in order to properly evaluate the installation of this product.

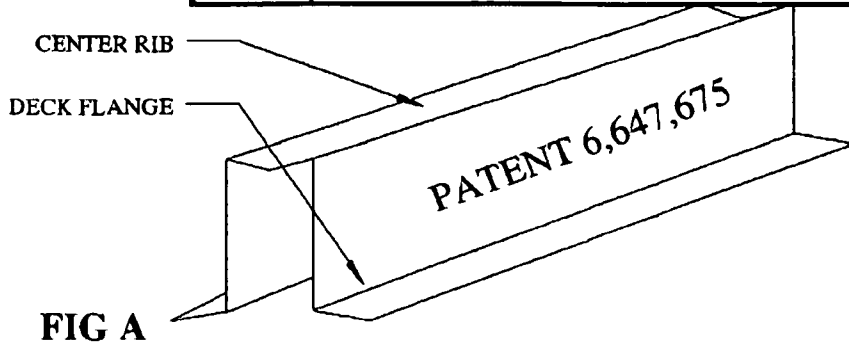
9. MANUFACTURING PLANTS:

Hialeah, FL

10. QUALITY ASSURANCE ENTITY:

Architectural Testing - QUA1844

- THE TWO (2) APPENDICES THAT FOLLOW FORM PART OF THIS EVALUATION REPORT -



DETAILS AND SPECIFICATIONS

LENGTH:
APPROXIMATE 10' L.(FT)

CENTER RIB:
FIG A - APPROXIMATE 2 3/8" INCHES

DECKFLANGE:
FIG A - APPROXIMATE 1-1/2" INCHES

HEIGHT:
FIG B - LOW PROFILE 3" INCHES
FIG C - MEDIUM PROFILE 4" INCHES
FIG D - LARGE PROFILE 6" INCHES

GAUGE:
26 GAUGE GALVANIZED

INSTALLATION TIPS
CHOOSE THE RIGHT PROFILE
HEIGHT DEPENDING ON THE
TILE HEIGHT.

FOR MORE INSTALLATION DETAIL
PLEASE REFER TO YOUR LOCAL
COUNTY CODES

NOTES:
FOR MORE INFORMATION
PLEASE CONTACT THE
EAST COAST METALS SALES
DEPARTMENT AT 1-800-579-0944

CHANNEL METAL - HIP & RIDGE METAL
PATENT 6,647,675

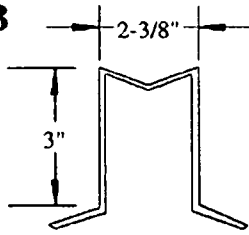
THIS INSTALLATION DOES NOT
CONSTITUTE THE USERS
OWN WORKPLACE RISK
ASSESSMENT, WHICH IS REQUIRED
UNDER OSHA (OCCUPATIONAL
SAFETY & HEALTH ADMINISTRATION)



PLEASE HANDLE WITH CAUTION

FIG A

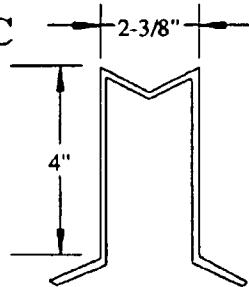
FIG B



LOW PROFILE 3" INCHES

RECOMMENDED TILE
FLAT TILE - CEDAR LITE - RUSTIC SHAKE
HACIENDA TILE

FIG C

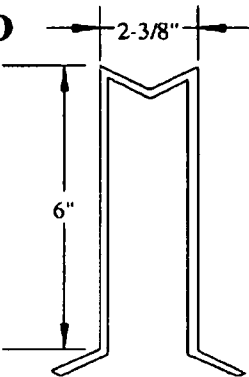


MEDIUM PROFILE 4" OR 5" INCHES
DEPENDIG ON THE HEIGHT YOU
WANT TO ACHIEVE

RECOMMENDED TILE
ALL OTHER ROLL TILES

CAPRI	PALEMA
VANGUARD	EUROPA WAVE
SPANISH S	CEE TILE
REGAL	VERONA
ESTATE	BOLD ROLL

FIG D



HIGH PROFILE 6" INCHES

RECOMMENDED TILE
ALTUSA
ESPANA
SANTA FE



EAST COAST METALS

2301 WEST 8 LANE, HIALEAH FL 33010

TEL: 3058859991 FAX: 3058858008

WWW.EASTCOAST-METALS.COM

**HIP & RIDGE METAL (PATENT 6,647,675)
CHANNEL METAL
RECOMMENDED PROFILE**

NOT DRAWN TO SCALE

R230

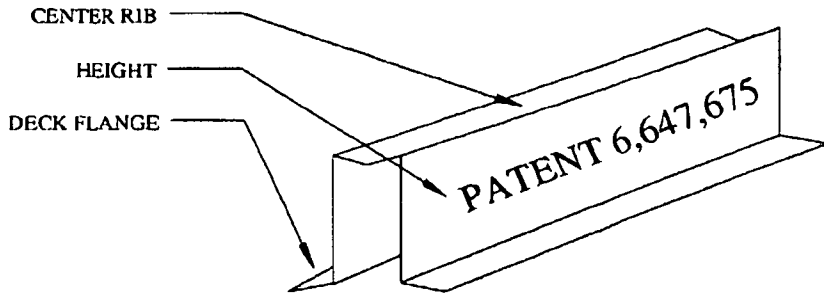


FIG A

DETAILS AND SPECIFICATIONS

LENGTH:

APPROXIMATE 10' L(FT)

GAUGE:

26 GAUGE GALVANIZED

DECK FLANGE:

APPROXIMATE 1-1/2" INCHES

HEIGHT:

FIG B - LOW PROFILE 3" INCHES

FIG C - MEDIUM PROFILE 4" INCHES

FIG D - HIGH PROFILE 6" INCHES

NOTES

THIS DETAIL IS SHOWN AS PER SOUTH FLORIDA BUILDING CODE APPROVAL

FOR MORE DETAIL PLEASE REFER TO YOUR LOCAL COUNTY CODES

INSTALLATION TIPS

FIG F: FASTENED 6-0" INCH O.C. WITH APPROVED 1-1/4" X 3/8" INCH HEAD RING SHANK ROOFING NAILS IN A BED OF APPROVED PLASTIC CEMENT

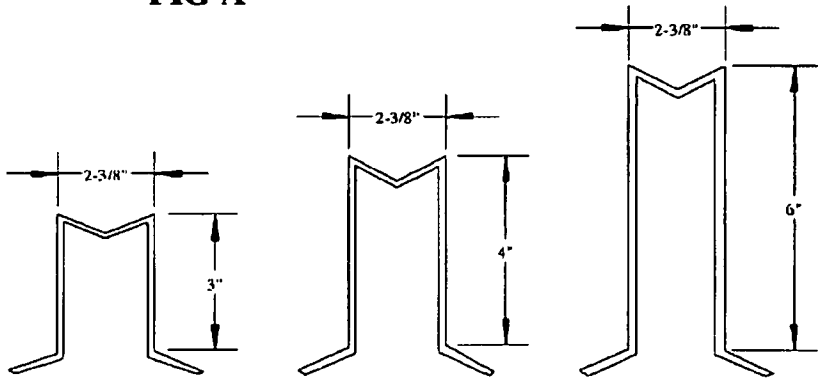


FIG B

FIG C

FIG D

CHOOSE THE RIGHT PROFILE HEIGHT DEPENDING ON THE TILE HEIGHT. FOR MORE INFORMATION PLEASE CONTACT THE EAST COAST METALS SALES DEPARTMENT

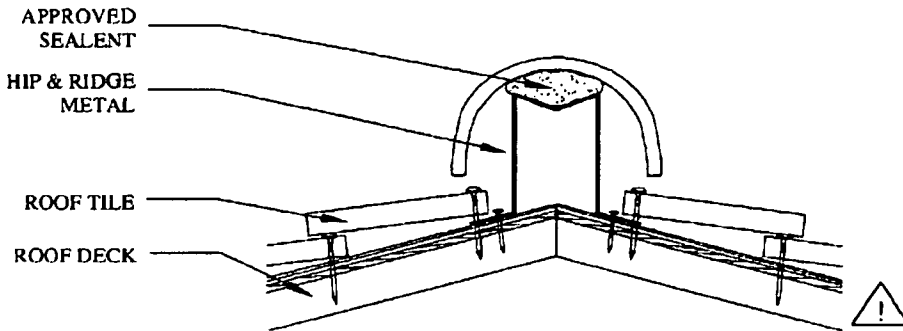


FIG E

CHANNEL METAL - HIP & RIDGE METAL PATENT 6,647,675

THIS INSTALLATION SHEET DOES NOT CONSTITUTE THE USERS OWN WORKPLACE RISK ASSESSMENT, WHICH IS REQUIRED UNDER OSHA (OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION)

PLEASE HANDLE WITH CAUTION

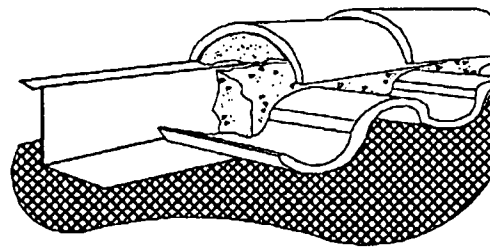

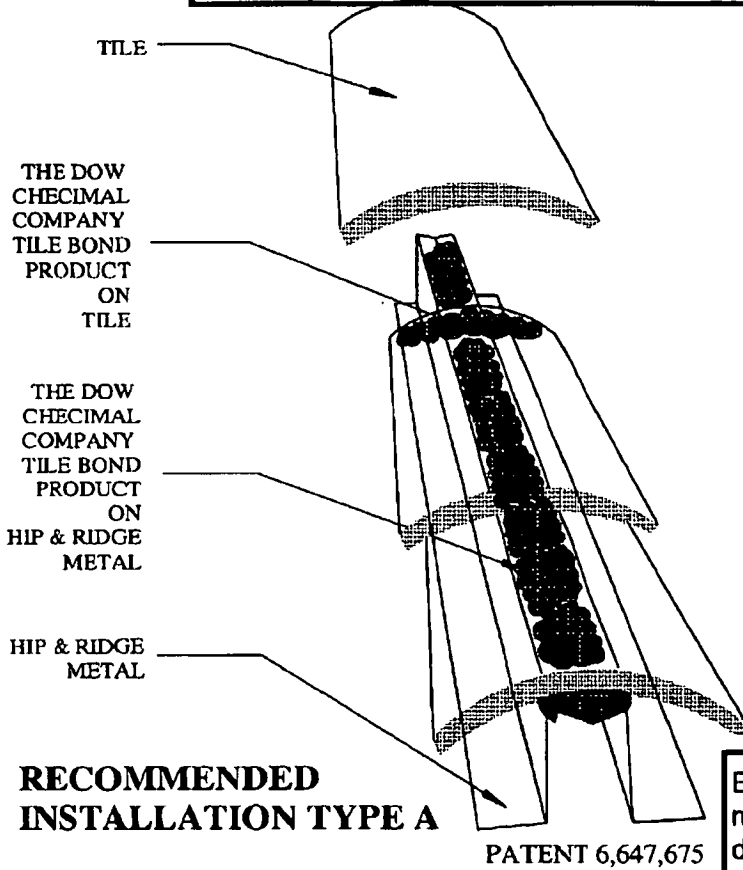


FIG F

 <p>EAST COAST METALS 2301 WEST 8 LANE, HIALEAH FL 33010 TEL: 3058859991 FAX: 3058859008 WWW.EASTCOAST-METALS.COM</p>	<p>HIP & RIDGE METAL (PATENT 6,647,675) CHANNEL METAL METAL SIZES</p>	<p>NOT DRAWN TO SCALE</p>	<p>S230 11/2001</p>
---	--	---------------------------	--------------------------------

ERD Report 2005.E0960C.09.05 - 09/21/2005 - Appendix 1, Product Details - Page 3 of 3



DETAILS AND SPECIFICATIONS

RECOMMENDED INSTALLATION BY THE DOW CHEMICAL COMPANY

FOR MORE DETAILED INFORMATION ON LIMITATIONS AND INSTALLATION PLEASE CONTACT THE DOW CHEMICAL COMPANY DIRECT AT 1-800-800-3626

OR VISIT THEIR WEB SITE AT <http://www.getdow.com>

IMPORTANT

FOR MORE DETAIL PLEASE REFER TO YOUR LOCAL COUNTY BUILDING CODES

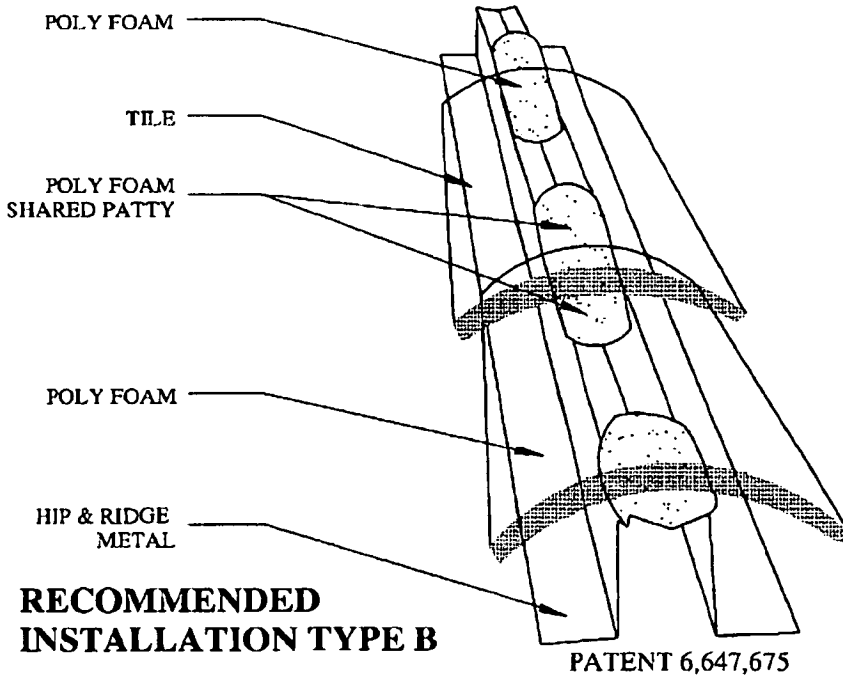
CHANNEL METAL - HIP & RIDGE METAL PATENT 6,647,675

THIS INSTALLATION DOES NOT CONSTITUTE THE USERS OWN WORKPLACE RISK ASSESSMENT, WHICH IS REQUIRED UNDER OSHA (OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION)



PLEASE HANDLE WITH CAUTION

ERD NOTE: Refer to roof tile adhesive manufacturer's Product Approval for performance data and limits of use over Hip & Ridge Metal.



DETAILS AND SPECIFICATIONS

RECOMMENDED INSTALLATION BY POLYFOAM

FOR MORE DETAILED INFORMATION ON LIMITATIONS AND INSTALLATION PLEASE CONTACT POLYFOAM DIRECT AT 1-888-774-1099

OR VISIT THEIR WEB SITE AT <http://www.polyfoam.cc>

IMPORTANT

FOR MORE DETAIL PLEASE REFER TO YOUR LOCAL COUNTY BUILDING CODES

CHANNEL METAL - HIP & RIDGE METAL PATENT 6,647,675

THIS INSTALLATION DOES NOT CONSTITUTE THE USERS OWN WORKPLACE RISK ASSESSMENT, WHICH IS REQUIRED UNDER OSHA (OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION)



PLEASE HANDLE WITH CAUTION



EAST COAST METALS

2301 WEST 8 LANE, HIALEAH FL 33010

TEL : 3058859991 FAX : 3058859008

WWW.EASTCOAST-METALS.COM

**HIP & RIDGE METAL (PATENT 6,647,675)
CHANNEL METAL
FOAM INSTALLATION**

NOT DRAWN TO SCALE

F230

**METROPOLITAN DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING**

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1565
(305) 375-2901
FAX (305) 375-2908

PRODUCT CONTROL SECTION
(305) 375-2902
FAX (305) 372-6339

MEMO

TO: All Building Officials in Dade County

FROM: Francisco J. Quintana, R.A. Director
Building Code Compliance Office

DATE: November 8, 1999

SUBJECT: Use of Roofing Construction Methods
Drawing #13 of Section 3.11 of -RAS 118
Drawing #12 of Section 3.12 of RAS 119

A handwritten signature in black ink that reads "Francisco J. Quintana".

It has been brought to our attention that industry has significant concerns with the use of the above referenced construction methods.

The attached two approved details represent alternate methods of construction to address the condition. These have been approved by this office for use in lieu of the aforementioned details.

Subsequently, this issue will be presented to the Board Of Rules and Appeals (BORA) in their meeting of November 18, 1999. Our intention is to also submit these details to the Board of County Commissioners as code change as soon as possible.

FJQ/TB jfo'b

Attachments

S:\CODCOMPL\MUNICIPAL\INFOMUN\99 110S Alternate Roofing Materials.doc

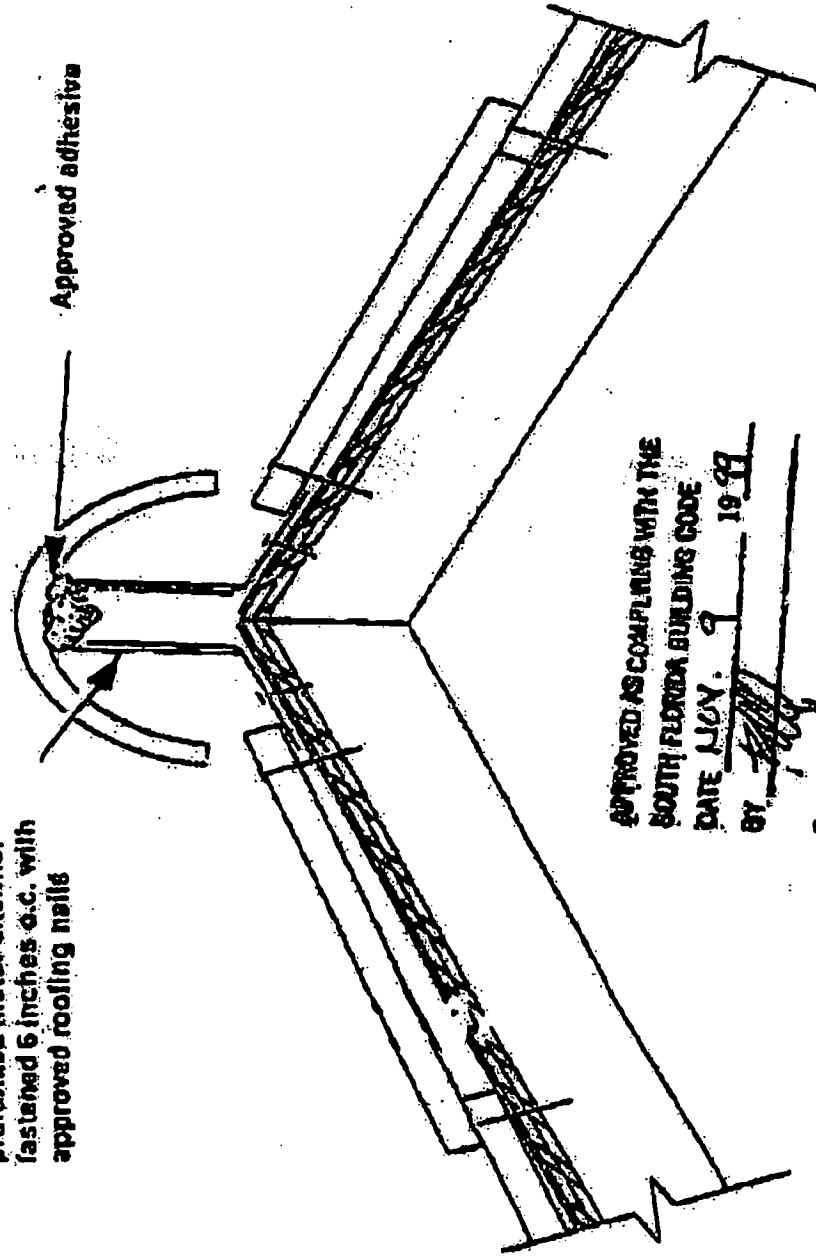
Internet mail address:
Postmaster@buildingcodonline.com



Homepage
<http://www.buildingcodonline.com>

Detail 3

26 gage G-90
preformed metal channel
fastened 6 inches o.c. with
approved roofing nails



APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE MAY. 9 1999
BY: [Signature]
BUILDING CODE COMPLIANCE OFFICE

ATTACHMENT # 2



The Florida Department of Community Affairs Building Code Information System



SITE NAVIGATION

- Home
- Course Accreditation
- Florida Building Code
- Manufact. Buildings
- Prototype Building
- Surcharges
- Training
- Product Approval
- License Search
- Mailing List
- Florida Building Commission

PRODUCT APPROVAL Product Type Detail

SUPPORT

- Log In
- New User
- Contact Us
- About

Overview Product Search Organization Search Product Application

User: Public User - Not Associated with Organization -

[Need Help ?](#)

Application #: FL1365-R1
 Date Submitted: 06/07/2005
 Code Version: 2004

Product Manufacturer: Polyfoam Products, Inc
 Address/Phone/email: 11715 Boudreaux Roar
 Tomball, TX 77377
 (954) 579-1559

Technical Representative: Bob Ferrante
 Technical Representative Address/Phone/email: 10798 N.W. 53rd. Street
 Sunrise, FL 33351
 (954) 578-1559
 bob@polyfoam.cc

Quality Assurance Representative: Mr. Pat Donahue
 Quality Assurance Representative Address/Phone/email: 11715 Boudreaux Road
 Tomball, TX 77375-7370
 (281) 350-8888
 patd@polyfoam.cc

Category: Roofing
 Subcategory: Cements-Adhesives-Coatings

Evaluation Method: Evaluation Report from a Florida Registered Architect or Florida Professional Engineer

Referenced Standards from the Florida Building Code:	Section	Standard	Year
	2612.2	ASTM D 1929	2000
	2612.2	ASTM E 84	2001
	1504.3.1	FM 4470	1992
	1504.3.1	UL 1897	1998
	1523.6.2	TAS 114	1995

Florida Engineer or Architect Name: Robert JM Nieminen

Florida License: PE- 59166

Quality Assurance Entity: FM Approvals - QA

Validation Entity: Vladimir John Knezevich

Authorized Signature: Robert Ferrante
bob@polyfoam.cc

Evaluation/Test Reports Uploaded: PTID_1365_R1_T_er092004FINAL_02760.03C_R2_060805_.pdf
PTID_1365_R1_T_ERD Cert of Independence.pdf

Installation Documents Uploaded:

Product Approval Method: Method 1 Option D

Application Status: Approved

Date Validated: 06/08/2005

Date Approved: 06/29/2005

Date Certified to the 2004 Code:

Page:

Page 1 / 1

App/Seq #	Product Model # or Name	Model Description	Limits of Use
			1. The roof cover shall be installed in accordance with the manufacturer's published installation instructions and shall be compliant with FBC Chapter 15, including fire classification, wind resistance, impact resistance and physical properties. 2. The roof cover shall be Approved for use with the specific insulation components. 3. Limitations relating to wind load performance are provided in Appendix 1. A. The overall wind performance of the completed roof assembly shall be the lesser of maximum design pressure listed in Appendix 1 compared to that for the roof cover adhered to the referenced insulation, as documented through an FBC Approved Test Laboratory, Evaluation Agency or Certification Agency. B. Wood decking and its attachment shall be as specified by the Designer of Record to meet project design criteria in accordance with FBC Chapter 23 to the

1365.1	TITSEET Roofing Adhesive	<p>TITSEET Roofing Adhesive is a spray applied, two-part reactive urethane foam adhesive supplied in refillable and disposable cylinders.</p>	<p>satisfaction of the AHJ. Bonding directly to wood decking is not permitted within the HVHZ. C. Steel decking and its attachment shall be as specified by the Designer of Record in accordance with FBC Chapter 22 to the satisfaction of the AHJ. D. Structural concrete roof decks shall be as specified by the Designer of Record in accordance with FBC Chapter 19 to the satisfaction of the AHJ. E. Existing roof decks shall comply with the applicable sections of the FBC. F. For recover installations, the existing roof shall be examined in accordance with FBC Sections 1510 and/or 1521. G. The following points apply to bonded roof assemblies: • The maximum design pressure for the selected assembly shall meet or exceed critical design pressure determined in accordance with FBC Chapter 16. • For existing substrates in a recover installation with bonded insulation, the existing roof system shall be capable of resisting project design pressures on its own merit to the satisfaction of the AHJ, as documented through field uplift testing in accordance with ASTM E907, FM LPDS 1-52 or TAS 124 (required for HVHZ). • If the existing roof assembly fails to meet the wind uplift criteria for the project, bonding to its top surface as a means of new roof assembly securement shall not be permitted, unless supplemental mechanical attachment is employed. Supplemental attachment calculations for an existing roof assembly shall be conducted and documented by a qualified</p>
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		<p>design professional. H. The following points apply to systems involving mechanically attached insulation: • The maximum design pressure for the selected assembly shall meet or exceed the field area (Zone 1) design pressure determined in accordance with FBC Chapter 16. Perimeter and corner areas (Zones 2 and 3) shall employ an attachment density designed by a qualified design professional to resist the elevated pressure criteria. Commonly used methods are FM LPDS 1-29 and RAS 117 (required for HVHZ). • For existing roof decks (reroof or recover), fasteners shall be tested in the existing deck for withdrawal resistance. A qualified design professional shall review the data for comparison to the minimum requirements for the system. Testing and analysis shall be in accordance with TAS 105. I. For existing roof decks in a re-roof (tear off) installation or existing roof covers in a recover installation, the deck or existing roof surface shall be clean, smooth and free of foreign debris. Existing roof decks or roof surfaces shall be examined by a representative of Polyfoam Products for suitability of use with TITSETE® Roofing Adhesive.</p>
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Next

FOR INFORMATION ONLY: THIS DOCUMENT IS UNOFFICIAL AND SUBJECT TO CHANGE WITHOUT NOTICE. THE OFFICIAL BUILDING CODE IS THE FLORIDA BUILDING CODE, WHICH IS AVAILABLE AT www.floridabuilding.org.



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9168

PAVER DRIVEWAY



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9168	DATE ISSUED:	MAY 26, 2009
SCOPE OF WORK:	PAVER DRIVEWAY		
CONDITIONS :	NOC AND DRIVEWAY COVENANT PRIOR TO FINAL INSPECTION		
CONTRACTOR:	RIZON CORPORATION		
PARCEL CONTROL NUMBER:	013841001-004-000405	SUBDIVISION	ARBELA - LOT 4
CONSTRUCTION ADDRESS:	31 S RIVER RD		
OWNER NAME:	LAZARUS		
QUALIFIER:	GREGORY LINEBURG	CONTACT PHONE NUMBER:	772-461-3738

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

RECEIVED
DATE: 5-20-09
TOWN OF SEWALL'S POINT

Town of Sewall's Point
BUILDING PERMIT APPLICATION Permit Number: _____

Date: May 20, 09
OWNER/TITLEHOLDER NAME: Jeff & Jacqueline Lazarus Phone (Day) 288-6587 (Fax) _____

Job Site Address: 31 South River Road City: Stuart State: FL Zip: 34996

Legal Description: Portion of Lot 4, Plat of Arbella
Plat Book 3, Page 29 Parcel Control Number: _____
Sewall's Point

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Scope of work (please be specific): Replace Driveway with Brick Pavers

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 17,000.00

(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10 AE9 AE8 X

FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: Rizon Corporation Phone: (772) 461-3738 Fax: (772) 461-0138

Street: 895 woodlands Drive City: PSL State: FL Zip: 34952

State License Number: CBC-026174 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: Greg Lineburg Phone Number: (772) 461-3738

DESIGN PROFESSIONAL: _____ Lic# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREAS SQUARE FOOTAGE: Living: Driveway: 3,800 sq ft Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE*: _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007 Edition
National Electrical Code: 2005 Florida Energy Code: 2007 Florida Accessibility Code: 2007 Florida Fire Prevention Code 2007

- NOTICES TO OWNERS AND CONTRACTORS:**
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
 2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
 3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
 4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*******

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

State of Florida, County of: St. Lucie

This the 20th day of MAY, 2009

by Jeffrey Lazarus who is personally known to me or produced _____ as identification.

MARY FRANCES LINEBURG
MY COMMISSION # DD667381
EXPIRES: April 29, 2011
Notary Public
Florida Notary Discount Assoc. Co.
200-1-NOTARY

My Commission Expires: _____

CONTRACTOR SIGNATURE (required)

State of Florida, County of: St. Lucie Martin

This the 20th day of MAY, 2009

by Gregory L. Lineburg who is personally known to me or produced _____ as identification.

VALERIE MEYER
MY COMMISSION # DD65521200
EXPIRES: May 14, 2010
Florida Notary Public
(407) 998-0183

My Commission Expires: _____

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9168		
ADDRESS	31 S RIVER RD		
DATE:	5/26/09	SCOPE:	PAVER DRIVEWAY

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned			

2676
 63-643/670
 BRANCH 00698

RIZON BUILDERS, INC.
 895 WOODLANDS DR.
 PORT ST. LUCIE, FL 34952

DATE May 26 09

\$ 81.80

PAY TO THE ORDER OF **TOWN OF SEWALL'S POINT** DOLLARS

Eighty one Eighty ^{no}/₁₀₀

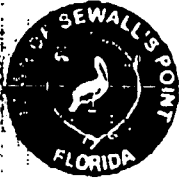
FOR Driveway

[Signature]

Security Features Details on Back.

TOTAL BUILDING PERMIT FEE:	\$	
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ACCESSORY PERMIT	Declared Value:	\$	17.000
Total number of inspections @ \$75.00 each	1	\$	75
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	6.80
TOTAL ACCESSORY PERMIT FEE:		\$	81.80



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

9168

**RIGHT OF WAY DRIVEWAY COVENANT
FOR MATERIAL OTHER THAN BROOM FINISHED CONCRETE OR ASPHALT**

STATE OF FLORIDA _____ PERMIT NUMBER _____
COUNTY OF MARTIN _____

THIS COVENANT, made by Jeffrey & Jacqueline Lazarus and legal owners (hereinafter "The Owners") of the property described as: Lot 4 Block ---, according to the Plat of Arbella as recorded in Plat Book 3 Page 29 of the Public Records of Martin County, Florida, also known as 31 South River Road, Stuart, Florida (Street address)

WHEREAS, the Owners have applied for a permit to construct a driveway of Beick Pavers construction, a portion of which will be constructed in the Town right-of-way, and such construction will not be of asphalt or regular broom finish concrete, typical for driveways in right-of-way, and such construction will not be of asphalt or regular broom finish concrete, typical for driveways in right-of-way authorized by the Town of Sewall's Point or of driveway materials which the Town constructs, repairs, or replaces when it performs activities in its rights-of ways; and

WHEREAS, the Owners desire to construct the driveway and wish to recognize that the Town of Sewall's Point shall have no responsibility to replace the driveway if it performs any activity on the right-of-way.

NOW THEREFORE, in return for the benefits that will accrue from the construction of their driveway, and in accordance with the criteria for permits for constructing driveways other than those types aforementioned through Land Covenant right-of-way, The Owners of the above described property hereby agree and covenant that the Town of Sewall's Point shall not bear any responsibility for replacement of such driveway located within the right-of-way on this said property, should the need arise.

The Owners agree and covenant that the cost of replacement of the driveway, if required, will be borne by the Owners, their heirs, assigns and successors. This Covenant shall run with the land.

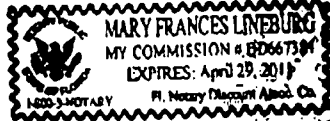
J. Lazarus
OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 17 DAY OF June 2009

BY Jacqueline Lazarus

PERSONALLY KNOWN OR PRODUCED ID _____

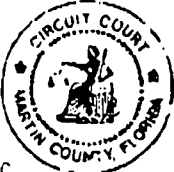
TYPE OF ID _____
Mary Frances Lineburg
NOTARY SIGNATURE



THIS COVENANT MUST BE RECORDED AT THE CLERK'S OFFICE AND THE RECORDED COPY SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO ISSUING CERTIFICATE OF OCCUPANCY FOR A FINAL DRIVEWAY INSPECTION.

SEAL OF MARTIN COUNTY

THIS IS TO CERTIFY THAT THE FOREGOING _____ PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL AS SUBMITTED TO THE BUILDING DEPARTMENT BY _____



BY [Signature] D.C.
DATE: 8-19-09

MARTIN COUNTY CLERK'S OFFICE
P. 15197 (1p.9)
MARTIN COUNTY DEPUTY CLERK S. PROSITIK

AFTER RECORDING RETURN TO:

INSTR # 2163379 OR BK 02407 PG 1518 RECD 08/19/2009 03:02:00 PM
Pg 1518: (109)
MARSHA EWING MARTIN COUNTY DEPUTY CLERK S Phoenix

PERMIT NUMBER:

NOTICE OF COMMENCEMENT

The undersigned hereby given notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida statutes the following information is provided in the Notice of commencement.

- 1. DESCRIPTION OF PROPERTY (Legal description and street address) TAX FOLIO NUMBER: 013841001-004-000401
SUBDIVISION SEWALL'S POINT BLOCK --- TRACT --- LOT 4 BLDG --- UNIT Plat of Arbellia
- 2. GENERAL DESCRIPTION OF IMPROVEMENT: PAVER DRIVEWAY
- 3. OWNER INFORMATION: a. Name Jeffrey & Jacqueline Lazarus
b. Address 31 South River Road, Stuart, FL c. interest in property Fee Simple
d. Name and address of fee simple titleholder (if other than owner) NONE
- 4. CONTRACTOR'S NAME, ADDRESS AND PHONE NUMBER: Rizon Corporation
895 Woodlands Drive, PSL Florida 34952
- 5. SURETY'S NAME, ADDRESS AND PHONE NUMBER AND BOND AMOUNT: NONE
- 6. LENDER'S NAME, ADDRESS AND PHONE NUMBER: NONE
- 7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (1)(a) 7., Florida Statutes:
NAME, ADDRESS AND PHONE NUMBER: NONE
- 8. In addition to himself or herself, Owner designates the following to receive a copy of the Lienor's Notice as provided in Section 713.13 (1)(b), Florida Statutes:
NAME, ADDRESS AND PHONE NUMBER: NONE
- 9. Expiration date of notice of commencement (the expiration date is 1 year from the date of recording unless a different date is specified) --- 20 ---

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
MARTIN COUNTY

Jeorgueline Lazarus Signature of Owner or
Jeorgueline Lazarus Print Name and Provide Signatory's Title/Office
Owner's Authorized Officer/Director/Partner/Manager

DATE 8-19-09 BY Phoenyx DEPUTY CLERK

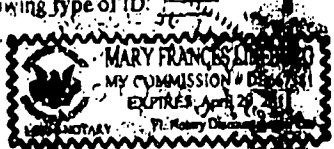
State of Florida
County of St. Lucie

The foregoing instrument was acknowledged before me this 17th day of June, 2009
By Jeorgueline Lazarus as Owner
(Name of person) (Type of authority...e.g. Owner, officer, trustee, attorney in fact)



For --- (Name of party on behalf of whom instrument was executed) Personally Known or produced the following type of ID: ---

Mary Frances Linburg (Printed Name of Notary Public)
Mary Frances Linburg (Signature of Notary Public)



Under penalties of perjury, I declare that I have read the foregoing and that the facts in it are true to the best of my knowledge and belief (section 92.525, Florida Statutes).

Signature(s) of Owner(s) or Owner(s)' Authorized Officer/Director/Partner/Manager who signed above

By Jeorgueline Lazarus Ry 6-17-09

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **8-24** 2009 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9035	haraccio	Final		
1SI	26 E High Pt Rd Om Palm Beach Garage	Garage Doors	PASS	Close INSPECTOR <i>JH</i>
9043	Neff	Final		
2nd 10AM	25 Perruinkle Ln 370-2085	Fence	PASS	Close INSPECTOR <i>JH</i>
9071	Neff	Final		
	25 Perruinkle Ln Galeway	Renovation	PASS	Close INSPECTOR <i>JH</i>
9161	31 S. River	DRIVE	PASS	Close
	31 S. River Rizon Corp	DRIVE	PASS	Close INSPECTOR <i>JH</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

9521

DOOR



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9521	DATE ISSUED:	07/26/2010
SCOPE OF WORK:	MAN DOOR @ GARAGE REPLACEMENT		
CONDITIONS :			
CONTRACTOR:	CREATION BUILDERS		
PARCEL CONTROL NUMBER:	013841001004000405	SUBDIVISION	ARBELA - Lot 4
CONSTRUCTION ADDRESS:	31 S RIVER RD.		
OWNER NAME:	LAZARUS		
QUALIFIER:	JIM WALTON	CONTACT PHONE NUMBER:	370-0549

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____	UNDERGROUND GAS _____
UNDERGROUND MECHANICAL _____	UNDERGROUND ELECTRICAL _____
STEM-WALL FOOTING _____	FOOTING _____
SLAB _____	TIE BEAM/COLUMNS _____
ROOF SHEATHING _____	WALL SHEATHING _____
TIE DOWN /TRUSS ENG _____	INSULATION _____
WINDOW/DOOR BUCKS _____	LATH _____
ROOF DRY-IN/METAL _____	ROOF TILE IN-PROGRESS _____
PLUMBING ROUGH-IN _____	ELECTRICAL ROUGH-IN _____
MECHANICAL ROUGH-IN _____	GAS ROUGH-IN _____
FRAMING _____	METER FINAL _____
FINAL PLUMBING _____	FINAL ELECTRICAL _____
FINAL MECHANICAL _____	FINAL GAS _____
FINAL ROOF _____	BUILDING FINAL _____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

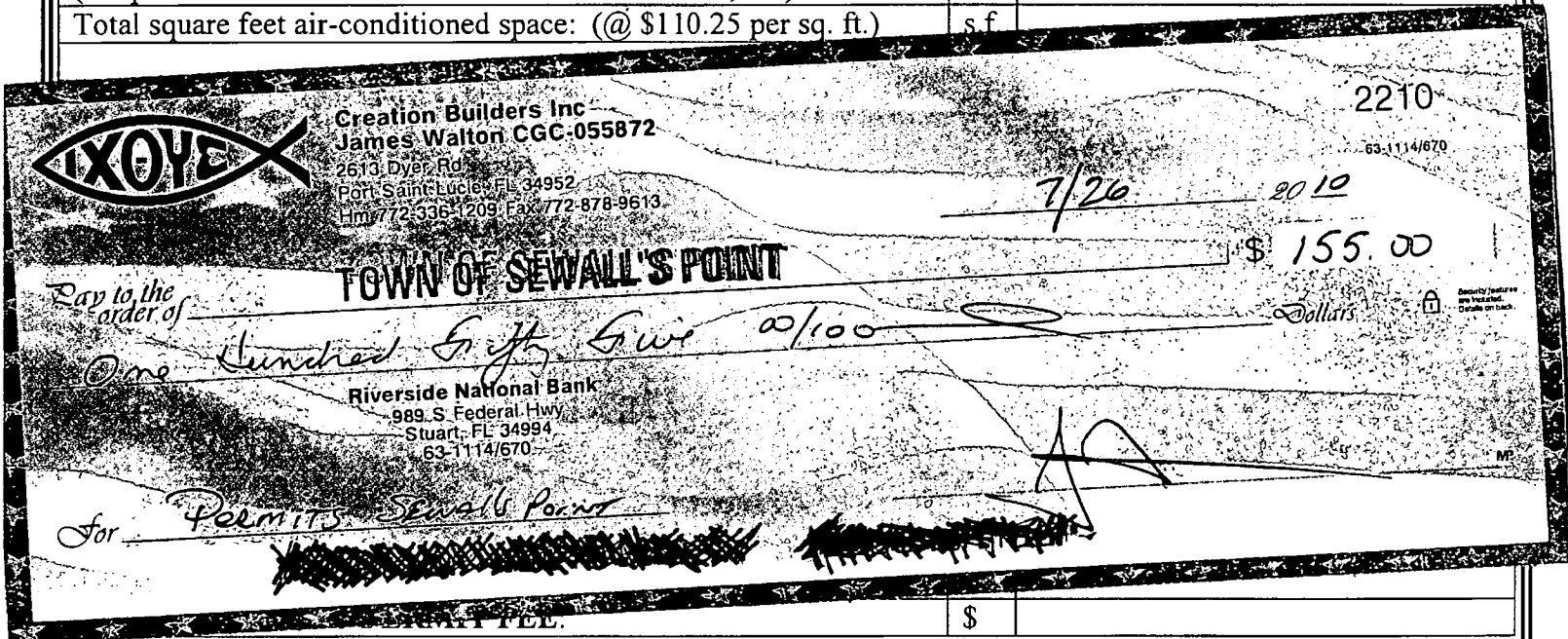


TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9521		
ADDRESS	31 S. RIVER RD.		
DATE:	07/26/2010	SCOPE:	DOOR REPLACEMENT

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned space: (@ \$110.25 per sq. ft.)		s f	



ACCESSORY PERMIT	Declared Value:	\$	
Total number of inspections @ \$75.00 each	2	\$	150.00
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5.00
TOTAL ACCESSORY PERMIT FEE:		\$	155.00

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

Date: 6/29 Permit Number: 9521

OWNER/TITLEHOLDER NAME LAZARUS, JACKIE Phone (Day) 288-6587 (Fax) _____

Job Site Address 31 SOUTH River Rd City Sewalls Pt State FL Zip 34996

Legal Description PART of LOT 4 Parcel Control Number 01-38-41-001-004-00040-5

Owner Address (if different): _____ City _____ State _____ Zip _____

Scope of work (please be specific): DOOR

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO X

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 895.00
(Floor of Commencement requires a lien over \$2500 prior to first inspection \$7500 on HVAC change out)

Is subject property located in flood hazard area? VE10 AE9 AE8 X

FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only. Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: Creanon Builders Inc. Phone: 370-0549 Fax: 878-9613

Street: 2613 DYER RD City: PSL State FL Zip: 34952

State License Number: CGC 055872 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: James Watson Phone Number: 370-0549

DESIGN PROFESSIONAL: N/A Lic# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches _____ Enclosed Storage: _____

Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BF: _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Approval Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR LOANING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
- THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 WI 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - 5.

******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *******

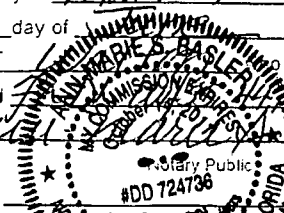
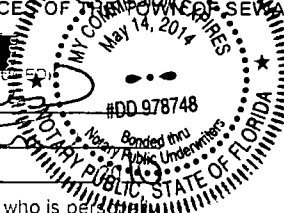
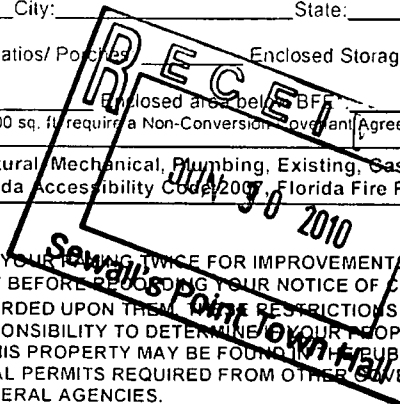
APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCE OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

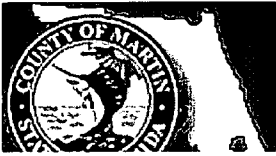
OWNER SIGNATURE: (required)
Jacqueline Lazarus
OR OWNER'S LEGALLY AUTHORIZED AGENT (PROOF REQUIRED)
State of Florida, County of: Martin
This the 2nd day of July
by Jacqueline Lazarus who is personally
known to me or produced FULL# 862-420-5272 & -0
as identification. Valerie Muge
Notary Public

CONTRACTOR SIGNATURE: (required)
James Watson
On State of Florida, County of: Martin
This the 30th day of July 2010
by James Watson who is personally
known to me or produced FULL# 63-409-0
As identification. Valerie Muge
Notary Public

My Commission Expires: _____ My Commission Expires: _____

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL. NOTIFICATION OF ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP PERMITS PROMPTLY!





Martin County, Florida

Laurel Kelly, C.F.A

Site Provided by...
governmax.com T1.14

Summary

print Owner 1 of 4

Parcel Info

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
01-38-41-001-004-00040-5	31 S RIVER ROAD	17563	Owner	0	1

Summary

- Land
- Residential Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Summary

Property Location 31 S RIVER ROAD
Tax District 2200 Sewall's Point
Account # 17563
Land Use 101 0100 Single Family
Neighborhood 193170
Acres 1.075

Legal Description

Property Information

ARBELA, PART OF LOT 4 DESC AS: BEG 120' S/O SE COR LOT 18 MIRAMAR, WLY 358' M/L TO RIVER SLY TO S/LN LOT 4, E 390' M/L & NLY 120' TO POB

Search By

- Parcel ID
- Owner
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

Owner Information

Owner Information
LAZARUS, JEFFREY & JACQUELINE

Mail Information

31 S RIVER RD
STUART FL 34996

Assessment Info

Front Ft. 1.00

Market Land Value \$1,478,400

Market Impr Value \$678,020

Market Total Value \$2,156,420

Site Functions

Property Search

- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Recent Sale

Sale Amount \$365,000

Sale Date 6/23/1987

Book/Page 0724 1565

Print | Back to List | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 4/29/2010





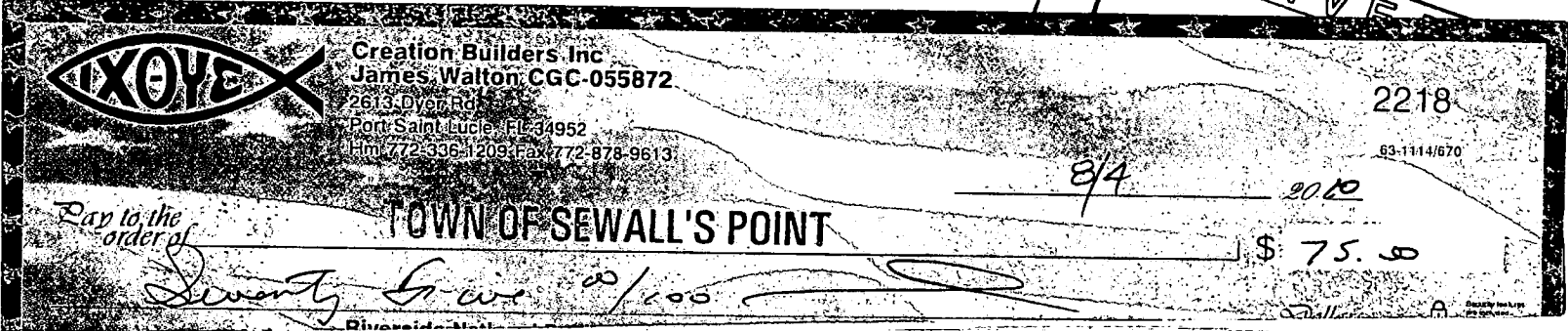
TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

REVISIONS - CORRECTIONS REQUEST FORM
 MUST BE SUBMITTED FOR ALL CORRECTIONS AND REVISIONS

DATE: 8/4 PERMIT NUMBER: ~~9521~~ 2218
 JOB ADDRESS: 31 S. River Rd



PLEASE CHECK ONE OF THE FOLLOWING:



DESCRIPTION OF REVISION(S): App Double French Door Replacement

DOES REVISION(S) CHANGE THE VALUE OF CONSTRUCTION? YES NO VALUE \$ 820.00
 INCREASED CONSTRUCTION VALUE WILL INCREASE PERMIT FEES AND MUST BE PAID AT TIME OF APPROVAL

CONTACT NAME: James Walton SIGNATURE: [Signature]
 PHONE NUMBER: 370-0549 FAX NUMBER: 878-9613

FOR OFFICE USE ONLY:

Reviewed by: [Signature] Date: 8-4-10 Approve Deny

Additional conditioned space _____ sq. ft. @ \$104.65 per sq. ft. _____ x 2% = _____

Additional non-conditioned space _____ sq. ft. @ \$ 48.90 per sq. ft. _____ x 2% = _____

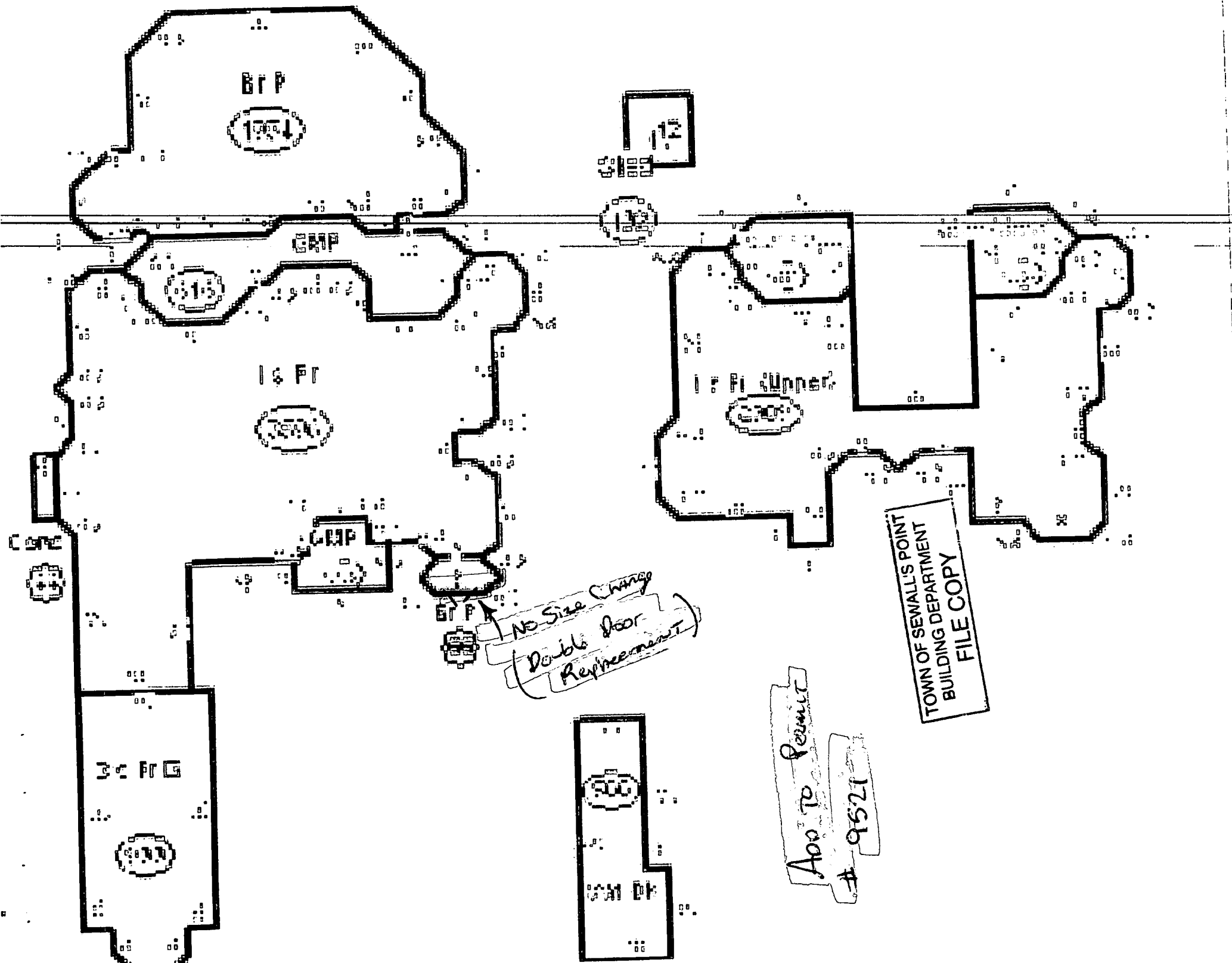
Other declared value increase (must be based on value not cost) _____ x 2% = _____

Other additional fees: 1- INSP @ 75 Revision review fee: _____ Pages @ \$25.00/Page _____

Radon Fee _____ Professional Regulation Fee _____ Road impact assessment _____

TOTAL ADDITIONAL BUILDING PERMIT FEE \$ 75.00

Applicant notified by: Valerie 8-4-10 Date: FD CK# 2218



No Size Change
(Double Door
Replacement)

App To Permit
9521

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

www.buildingcodeonline.com

Trinity Glass International
4621 192nd Street East
Tacoma, WA 98446

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: "Premium" 8' - 0" Outswing Glazed Fiberglass Doors w/ and w/o Sidelites.

APPROVAL DOCUMENT: Drawing No. S-2610, titled Glazed Premium Fiberglass Doors with & w-out Sidelite(s) Outswing "Non-Impact", sheets 1 through 7 of 7, dated 11/14/05 with revision #1 dated 03/16/06, prepared by RW Building Consultants, Inc., signed and sealed by Lyndon, F. Schmidt, P.E., bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: None

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official. This NOA consists of this page 1 and evidence page E-1, as well as approval document mentioned above. The submitted documentation was reviewed by Manuel Perez, P.E.



NOA No 05-1130.04
Expiration Date: April 13, 2011
Approval Date: April 13, 2006

Trinity Glass International

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

A. DRAWINGS

1. Manufacturer's die drawings and sections.
2. Drawing No **S-2610**, Sheets 1 through 7 of 7 titled Glazed Premium Fiberglass Doors with & w-out Sidelite(s) Outswing "Non-Impact", dated 11/14/05 with revision #1 on 03/16/06, prepared by RW Building Consultants, Inc., signed and sealed by Lyndon, F. Schmidt, P.E.

B. TESTS

1. Test reports on 1) Air Infiltration Test, per FBC, TAS 202-94
2) Uniform Static Air Pressure Test, Loading per FBC TAS 202-94
3) Water Resistance Test, per FBC, TAS 202-94
4) Forced Entry Test, per FBC, 2411 3.2.1 TAS 202-94
along with marked-up drawings and installation diagram of 3'0 x 6'8 "Premium Glazed Fiberglass Door, prepared by Testing Evaluation Laboratories, Inc., Test Report No. **TEL-05-1026-2**, dated 08/08-15/05, signed and sealed by Wendell W. Hancy, P.E.

C. CALCULATIONS

1. Anchor verification calculations complying with FBC 2004, dated 11/21/05, prepared by RW Building Consultants, Inc., signed and sealed by Lyndon F. Schmidt, P.E.
Complies with ASTM E 1300-98

D. QUALITY ASSURANCE

1. Miami Dade Building Code Compliance Office (BCCO).

E. MATERIAL CERTIFICATIONS

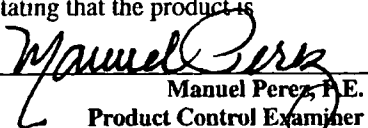
1. Test Report No. **ETC-05-781-17122.0**, prepared by ETC Laboratories., issued to Trinity Glass International, dated 10/19/05, Polyurethane Foam, tested per **ASTM D2843** "Self Ignition Temperature"; **ASTM E84** "Flame Spread Index", **ASTM E84** "Smoke Developed Index", signed and sealed by Joseph Labora Doldan, P.E.
2. Notice of Acceptance No. **05-1206.01** issued to Trinity Glass International, for their Unfinished Fiberglass Door Skin approved on 03/02/06 and expiring on 03/02/11.
3. Notice of Acceptance No. **02-0429.11** issued to Trinity Glass International, for their Trinity Lite Frame approved on 07/3/02 and expiring on 07/03/07.

F. STATEMENTS

1. Statement letter of conformance and no financial interest, dated 11/21/05, signed and sealed by Lyndon F. Schmidt, P.E.
2. Statement letter of no financial interest, dated 07/21/05, signed by Andrew Na.

G. OTHER

1. Letter from the consultant, dated March 02, 2006, stating that the product is compliance with the Florida Building Code (FBC).


Manuel Perez, P.E.
Product Control Examiner
NOA No 05-1130.04
Expiration Date: April 13, 2011
Approval Date: April 13, 2006



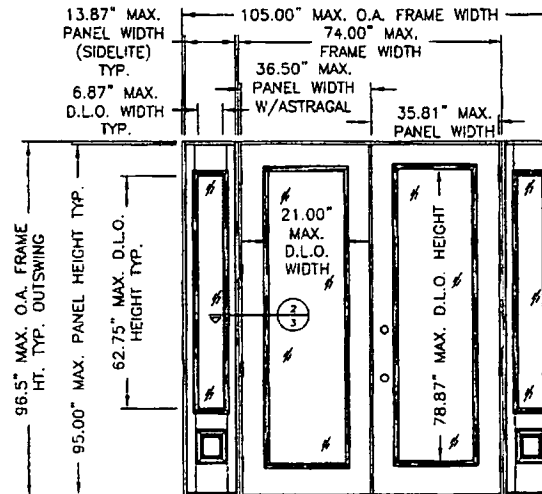
4621 192nd STREET EAST TACOMA, WA 98446
TEL: 253-875-7300 FAX: 253-875-7301

GLAZED PREMIUM FIBERGLASS DOORS WITH & W/OUT SIDELITE(S) - OUTSWING "NON-IMPACT"

GENERAL NOTES

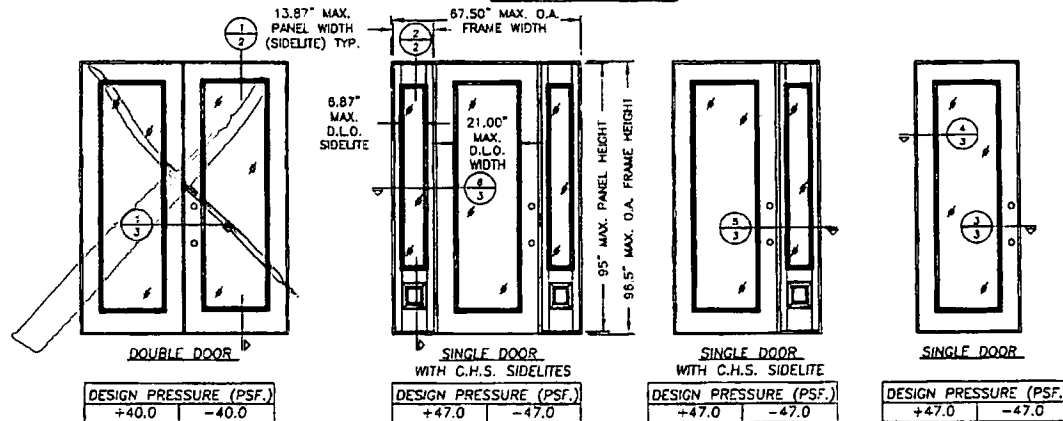
1. THIS PRODUCT HAS BEEN EVALUATED AND IS IN COMPLIANCE WITH THE FLORIDA BUILDING CODE INCLUDING THE "HIGH VELOCITY HURRICANE ZONE".
2. PRODUCT ANCHORS SHALL BE AS LISTED AND SPACED AS SHOWN ON DETAILS. ANCHOR EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR STUCCO.
3. WHEN USED IN THE "HIGH VELOCITY HURRICANE ZONE" THIS PRODUCT IS REQUIRED TO BE PROTECTED WITH AN IMPACT RESISTANT COVERING THAT COMPLIES WITH SECTION 1626 OF THE FLORIDA BUILDING CODE.
4. FOR 2X STUD FRAMING CONSTRUCTION, THE ANCHORING OF THESE UNITS SHALL BE THE SAME AS THAT SHOWN FOR 2X BUCK MASONRY CONSTRUCTION.
5. CONDITIONS NOT COVERED BY THIS DRAWING ARE SUBJECT TO FURTHER ENGINEERING ANALYSIS.
6. WOOD BUCKS BY OTHERS, MUST BE ANCHORED PROPERLY TO TRANSFER LOADS TO STRUCTURE AND TO BE REVIEWED BY BUILDING OFFICIAL.
7. FOR DESIGN PRESSURE RATING SEE CHARTS THIS SHEET.
8. THIS PRODUCT MEETS THE WATER REQUIREMENTS FOR HIGH VELOCITY HURRICANE ZONES.

TABLE OF CONTENTS	
1	TYPICAL ELEVATIONS, DESIGN PRESSURES & GENERAL NOTES
2	VERTICAL CROSS SECTIONS & ASSEMBLY NOTES
3	HORIZONTAL CROSS SECTIONS
4	FRAME ANCHORING SINGLE, SINGLE W/SIDELITE & SIDELITES
5	FRAME ANCHORING DOUBLE & DOUBLE W/SIDELITES
6	COMPONENTS
7	BILL OF MATERIALS & GLAZING DETAILS



DOUBLE DOOR WITH SIDELITES (BOXED)

DESIGN PRESSURE (PSF.)	
+40.0	-40.0



DESIGN PRESSURE (PSF.)	
+40.0	-40.0

DESIGN PRESSURE (PSF.)	
+47.0	-47.0

DESIGN PRESSURE (PSF.)	
+47.0	-47.0

DESIGN PRESSURE (PSF.)	
+47.0	-47.0

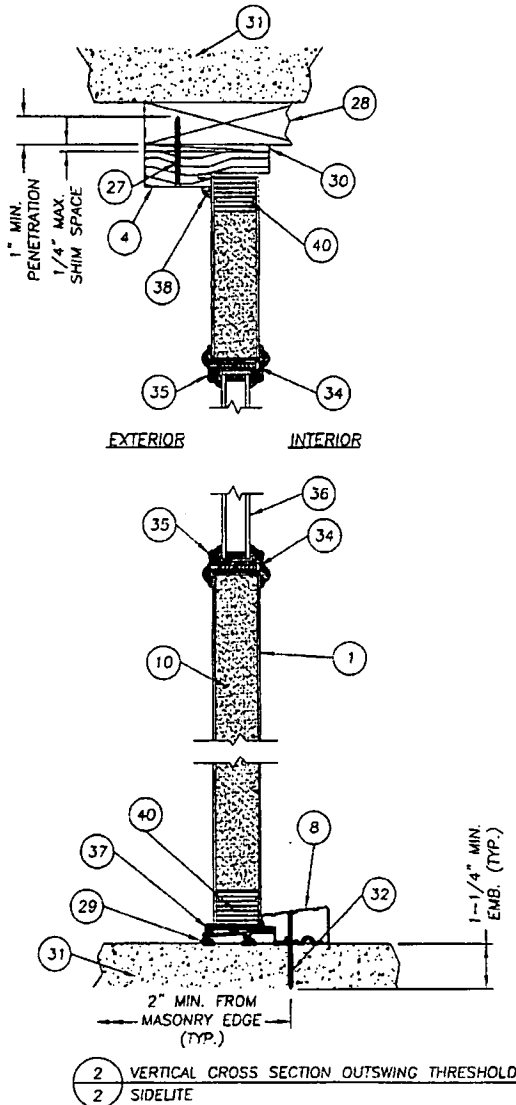
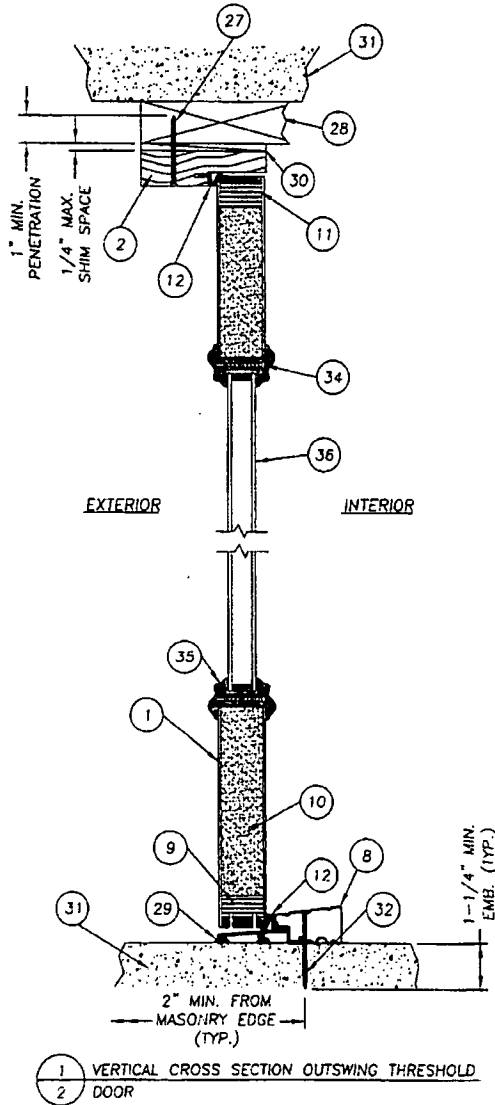
Documents Prepared By: **RW** BUILDING CONSULTANTS, INC.
P.O. Box 230 Venice FL 33595
Phone No.: 813.858.9197
Florida Board of Professional Engineers
Certificate of Authorization No. 9813
Lyndon, F. Schmidt, P.E. No. 43109

PRODUCT: GLAZED PREMIUM FIBERGLASS DOORS WITH & W/OUT SIDELITE(S) OUTSWING "NON-IMPACT"
PART OR ASSEMBLY: TYPICAL ELEVATIONS, DESIGN PRESSURES & GENERAL NOTES

NO.	DATE	REVISIONS	BY
1	03/16/05	REVISE PER DATE LETTER	LW

DATE: 11/14/05
SCALE: N.T.S.
DWG. BY: AEM
CHK. BY: LFS
DRAWING NO.: 5-2610
SHEET 1 OF 2

Approved as complying with the Florida Building Code
Date: APRIL 13, 2006
NOVA 05-1130.04
Miami Back Product Control
By: *W. Manuel Terry*



ASSEMBLY NOTES

1. DEADBOLT CENTER LINE LOCATED @ 49.00" FROM TOP OF DOOR PANEL.
2. LOCK CENTER LINE LOCATED @ 61.875" FROM TOP OF DOOR PANEL.
3. HINGES (4) LOCATED @ 8.5", 34.5", 60.5" AND 86.5" FROM TOP OF DOOR PANEL TO CENTER LINE OF HINGE. (SEE DETAIL "A" TOP HINGE & DETAIL "B" LOWER HINGES SHEET 4 OF 7 FOR HINGE ANCHORING)
4. ASTRAGAL ATTACHED WITH (14) #8 X 1" PFH DRYWALL SCREWS, (2) @ 2.5", (1) @ 3.5", (1) @ 10.375", (1) @ 18.375", (1) @ 26.25", (1) @ 34.25", (1) @ 44.25", (2) @ 77.25".
5. THE BOXED SIDELITES ARE ATTACHED TO THE DOOR JAMBS UTILIZING (6) #10 X 2.0" PFH WOOD SCREWS LOCATED 6.0" FROM THE TOP AND (5) MORE CONTINUOUS MAX. 13.625" ON CENTER.
6. THE SIDELITE PANELS ARE ATTACHED TO THE JAMBS UTILIZING (8) #9 X 2.25" PFH SCREWS (4) EACH SIDE 6.0" FROM THE TOP AND BOTTOM WITH 2 MORE EQUALLY SPACED.
7. 3/16" TAPCONS REQUIRE A MINIMUM 2" CLEARANCE TO MASONRY EDGES AND A MINIMUM 2-5/16" CLEARANCE TO ADJACENT TAPCONS.

Documents Prepared By: **RW** BUILDING CONSULTANTS, INC.
P.O. Box 230 Vero Beach, FL 33595
Phone No.: 813.650.9197
Florida Board of Professional Engineers
Certificate of Authorization No. 9893
Lyndon, F. Schmidt, P.E. No. 43408

PRODUCT: GLAZED PREMIUM FIBERGLASS DOORS WITH & W/O SIDELITE(S) PART OR ASSEMBLY: QUISHING, NON-IMPACT

VERTICAL CROSS SECTIONS & ASSEMBLY NOTES

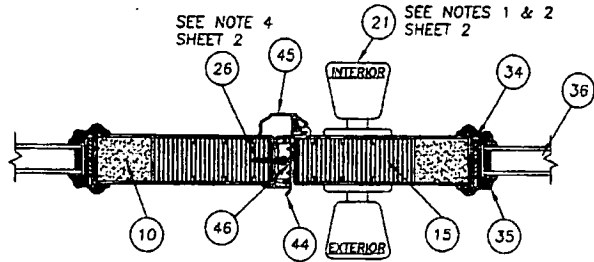
NO.	DATE	REVISE PER	BY
1	05/16/06	REVISE PER DATE LETTER	EW
			BY

REVISIONS

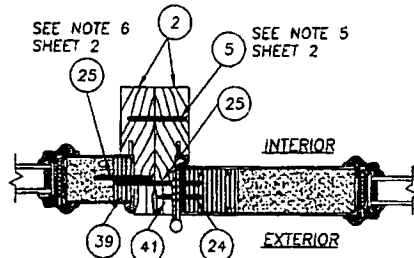
DATE: 11/14/05
SCALE: N.T.S.
DWC. BY: AEM
CHK. BY: LFS
DRAWING NO.: S-2610
SHEET 2 OF 7

Approved for assembly with the Florida Building Code
APR 13 2006
05-1130-04
Minuteman Products Company
By: *W. J. ...*

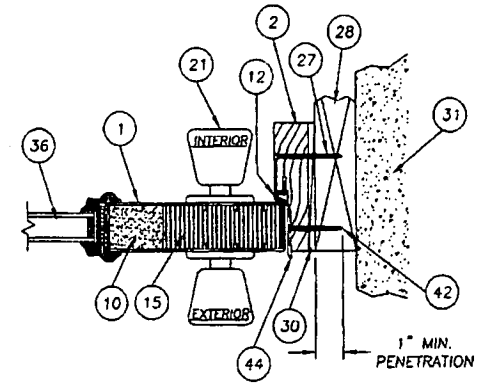
P:\PM01_801 - 9001\FB20\SR010 - 05 GLAZED REV-INS-P001-3A.DWG



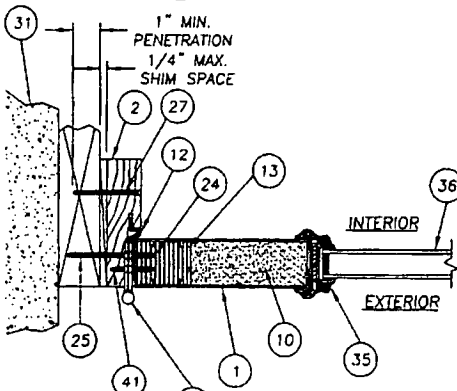
1 HORIZONTAL CROSS SECTION
3 DOUBLE DOOR with ASTRAGAL



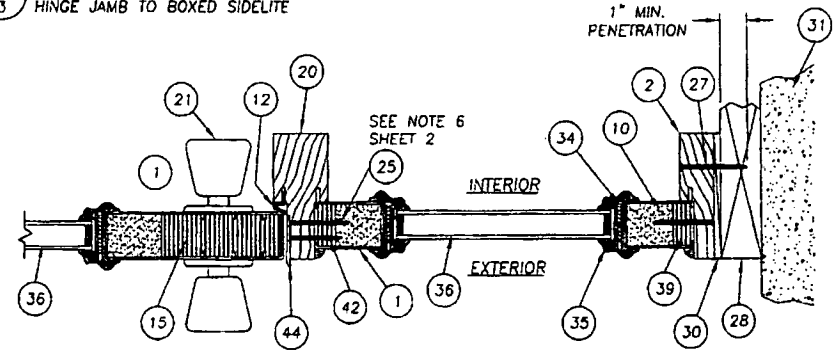
2 HORIZONTAL CROSS SECTION
3 HINGE JAMB TO BOXED SIDELITE



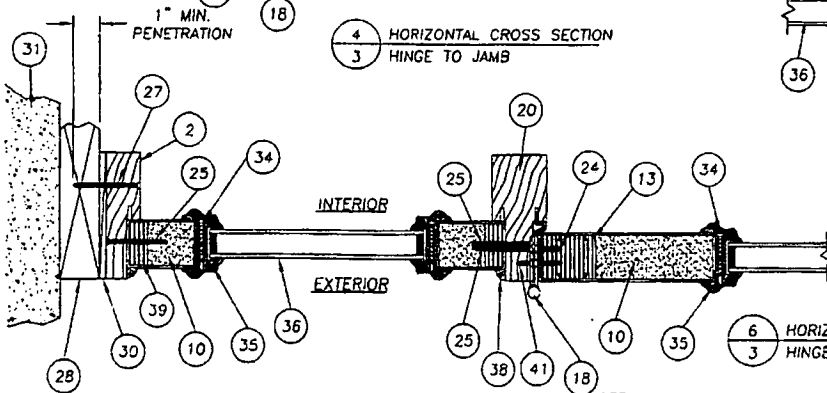
3 HORIZONTAL CROSS SECTION
3 LATCH JAMB



4 HORIZONTAL CROSS SECTION
3 HINGE TO JAMB



5 HORIZONTAL CROSS SECTION
3 LATCH TO SIDELITE C.H.S.



6 HORIZONTAL CROSS SECTION
3 HINGE TO SIDELITE C.H.S.

SEE NOTE 3 SHEET 2

Documents Prepared By:
RW BUILDING CONSULTANTS, INC.
 P.O. Box 230 Venice, FL 33599
 Phone No. 813-988-8187
 Florida Board of Professional Engineers
 Certificate of Authorization 9813
 Lynden, F. Schmidt, P.E. No. 43400

PRODUCT: GLAZED PREMIUM FIBERGLASS DOORS WITH & W/O SIDELITE(S) QUIESCENT NON-IMPACT PART OR ASSEMBLY

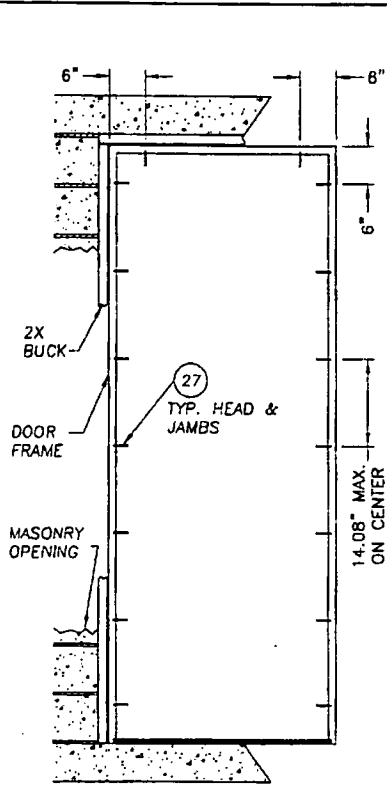
HORIZONTAL CROSS SECTIONS

NO.	DATE	REVISIONS	BY
1	03/16/05	REVISE PER DADE LETTER	EW

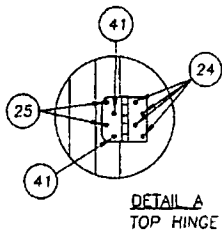
DATE: 11/14/05
 SCALE: N.T.S.
 DWG. BY: AEM
 CHK. BY: LFS
 DRAWING NO.: 5-2610
 SHEET 3 OF 7

APR 13 2004
 05-1130-04
 R: *Manned*

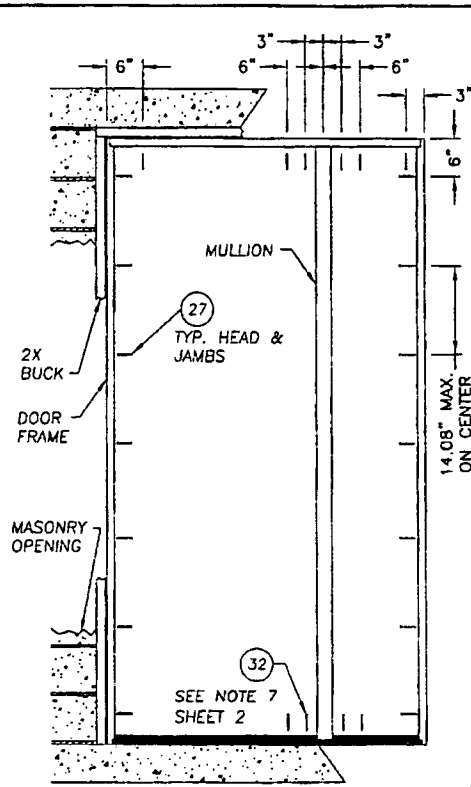
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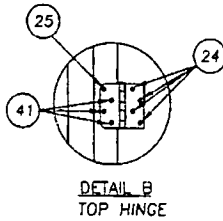
FRAME ANCHORING
SINGLE DOOR



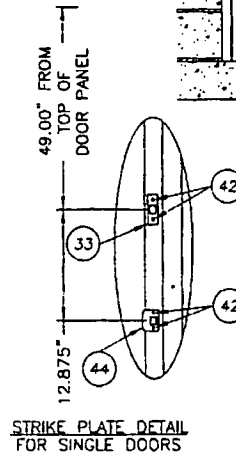
DETAIL A
TOP HINGE



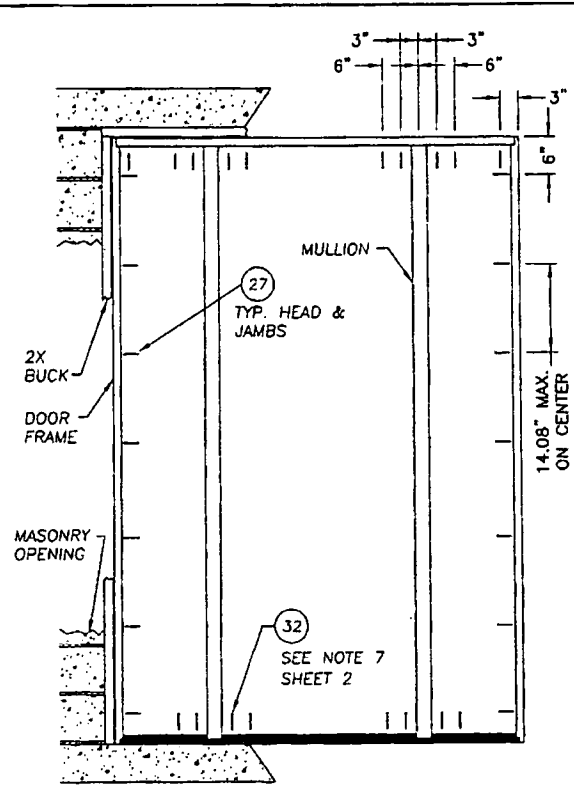
FRAME ANCHORING
SINGLE DOOR W/SIDELITE



DETAIL B
TOP HINGE



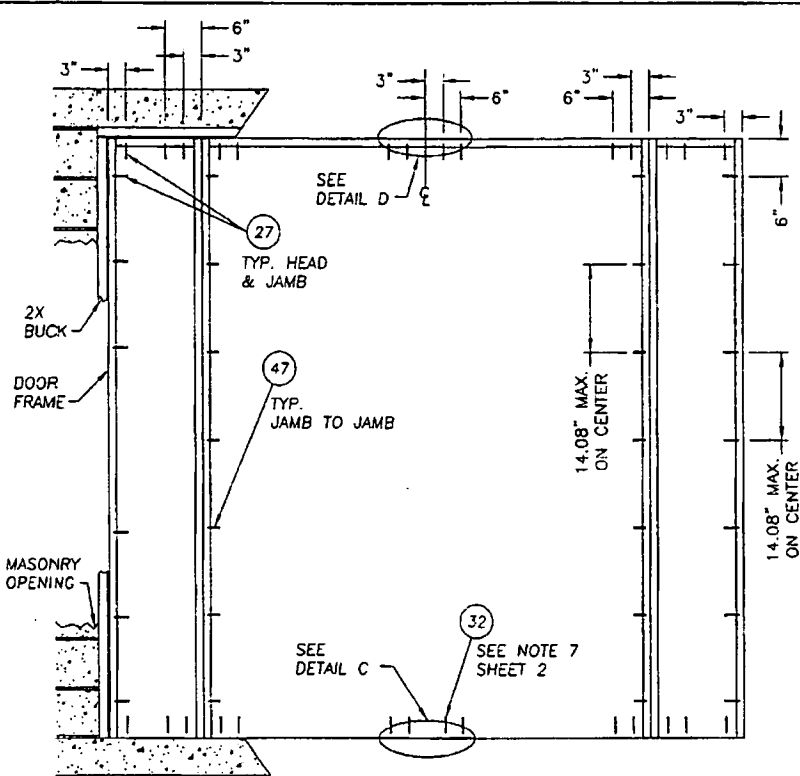
STRIKE PLATE DETAIL
FOR SINGLE DOORS



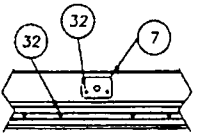
FRAME ANCHORING
SINGLE DOOR W/SIDELITES

Documents Prepared By:		BUILDING CONSULTANTS, INC. P.O. Box 2113, Boca Raton, FL 33486 Florida Board of Professional Engineers Certificate of Authorization No. 9814	
PRODUCT:		PREMIUM FIBERGLASS GLAZED WITH & W/OUT SIDELITE(S) DOORS WITH & W/OUT SIDELITE(S) OUTSWING, NON-IMPACT PART OR ASSEMBLY:	
NO.		REV	
DATE		REVISIONS	
1-03/16/06		REVISE PER DADE LETTER	
DATE: 11/14/05		SCALE: N.T.S.	
DRAWING NO.: S-2610		DWG. BY: AEM	
SHEET 4 OF 7		CHK. BY: LFS	
APPROVED TO COMPLY WITH THE MARK'S THE GIG CODE DATE: APRIL 13, 2006 NO. 05-1130.04 MADE FROM PRODUCT CONTROL BY: <i>[Signature]</i>		Lynch, F. Schmitt, P.E. No. 43063	

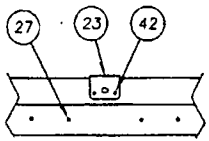
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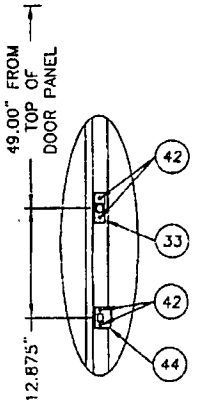
**FRAME ANCHORING
DOUBLE DOOR W/SIDELITES**



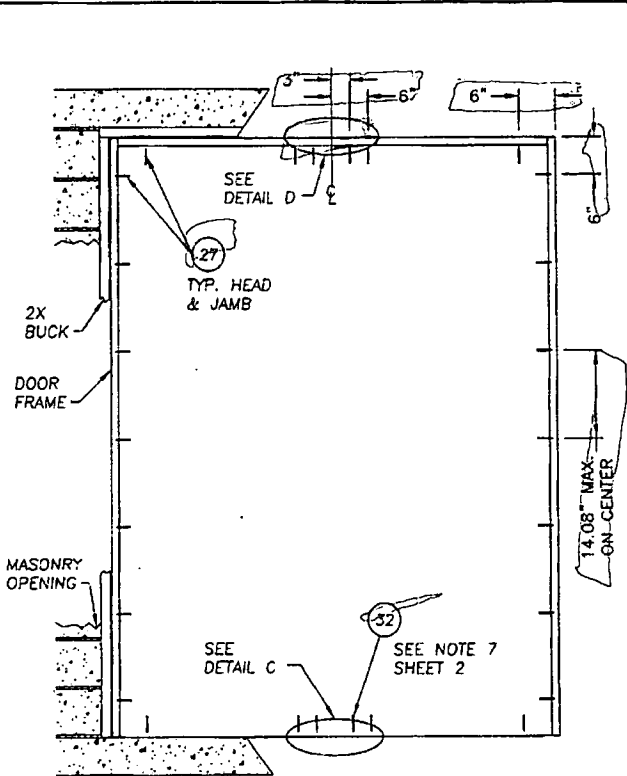
DETAIL C



DETAIL D



**STRIKE PLATE DETAIL
FOR DOUBLE DOORS**



**FRAME ANCHORING
DOUBLE DOOR**

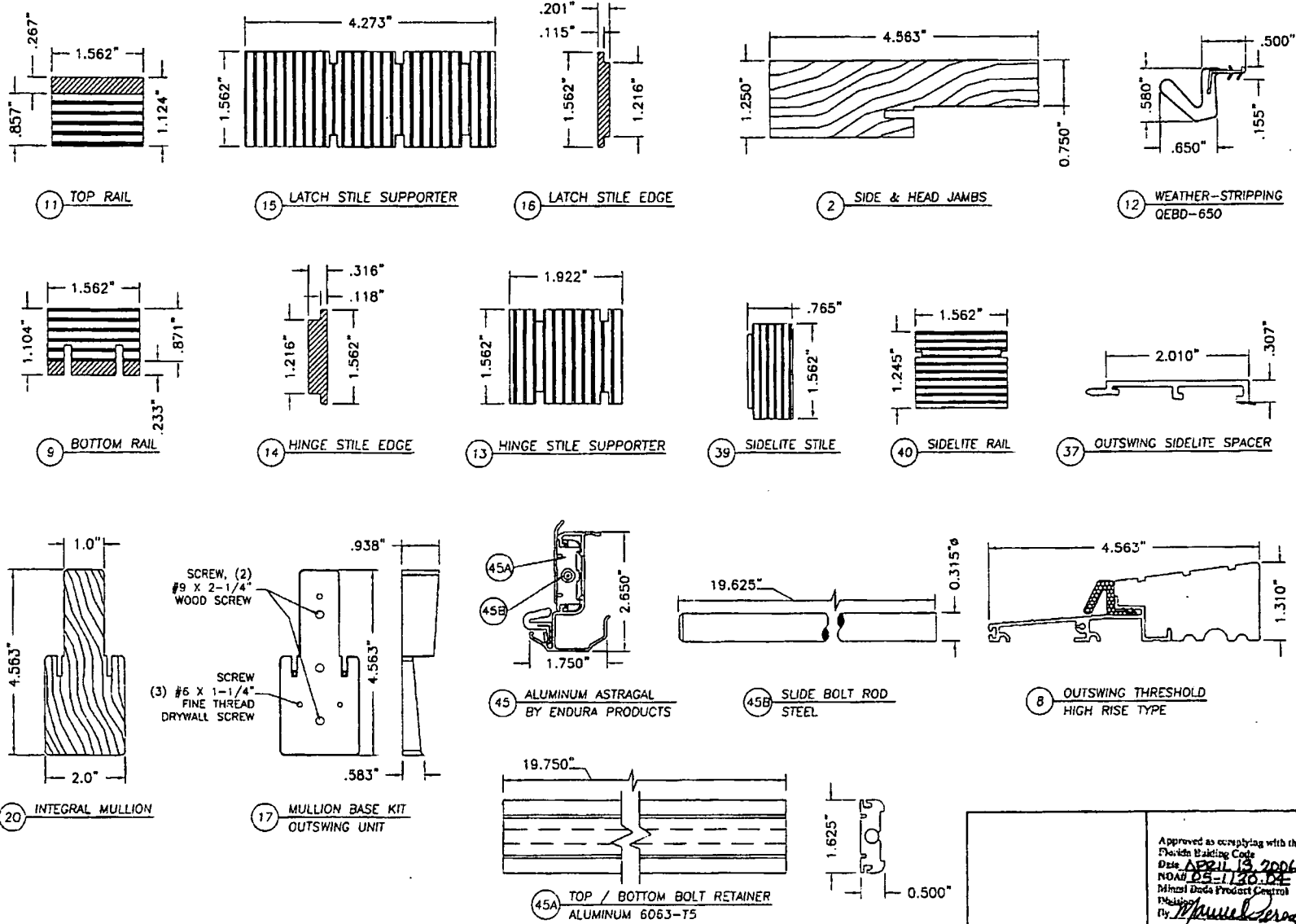
Documents Prepared By:
RW BUILDING CONSULTANTS, INC.
 P.O. Box 230 Venice FL 33595
 Phone No.: 813.852.9197
 Florida Board of Professional Engineers
 Certificate Of Authorization No. 98713
 Lyndon F. Schmidt, P.E. No. 43409

PRODUCT:		GLAZED PREMIUM FIBERGLASS DOORS WITH & W/O SIDELITE(S) OUTSWINGING NON-IMPACT
PART OR ASSEMBLY:		FRAME ANCHORING DOUBLE & DOUBLE W/SIDELITES
NO.	DATE	REVISION
1	10/3/18/06	REVISE PER DATE LETTER
		EW
		BY

DATE: 11/14/05
 SCALE: N.T.S.
 DWG. BY: AEM
 CHK. BY: LFS
 DRAWING NO.: S-2610
 SHEET 5 OF 7

Approved as complying with the Florida Building Code this **APR 13 2006**
 MOVED **08-11-04**
 Licensed Building Professional Control
 By: *[Signature]*

W:\product\ndc\prod 811 - 900\p10\B52610 - 05 Glazed 88x-115-21D-6a.dwg



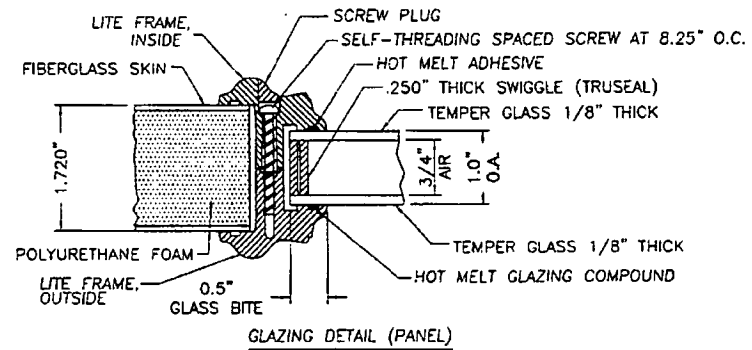
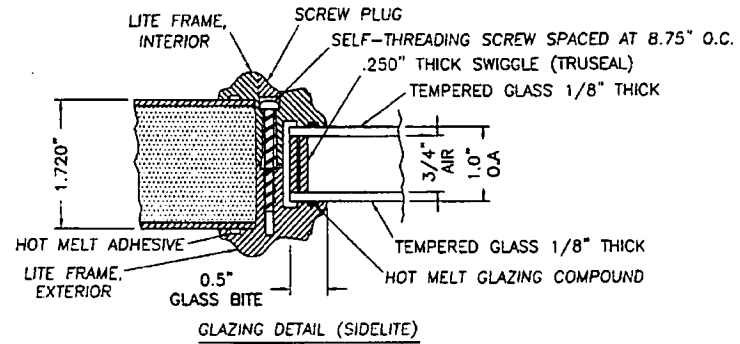
Documents Prepared By: **RW** BUILDING CONSULTANTS, INC.
 P.O. Box 230 Vero Beach, FL 33593
 Phone No.: 813.659.0107
 Florida Board of Professional Engineers
 Certificate Of Authorization No. 9813
 Lynden, F. Schmidt, P.E. No. 43466

PRODUCT: GLAZED PREMIUM FIBERGLASS DOORS WITH & W/O SIDELITE(S) OUTSWING - NON-IMPACT	COMPONENTS
PART OR ASSEMBLY:	
NO.	DATE
1	03/19/05
REVISIONS	
DATE: 11/14/05	SCALE: N.T.S.
DWG. BY: AEM	CHEK. BY: LFS
DRAWING NO.: S-2610	
SHEET 6 OF 7	

Approved as complying with the Florida Building Code
 Date: APRIL 13, 2006
 NOAH 05-1120-04
 Minimal Data Product Control
 By: *[Signature]*

\\p01c01\hvac\proj\801 - 900\p803\526.10 - OS Glazed REV-11S-2610-76.dwg

ITEM	DESCRIPTION	MATERIAL
1	FIBERGLASS SKIN 0.079" MIN. THICKNESS	FIBERGLASS
2	JAMB	WOOD
3	NOT USED	-
4	NOT USED	-
5	#10 x 2" PFH WS	STEEL
6	NOT USED	-
7	STRIKE PLATE AT SILL	STEEL
8	OUTSWING THRESHOLD ALUMINUM W/ COMPOSITE SUBSTRATE	ALUM. / COMP.
9	PVC COMPOSITE & LVL BOTTOM RAIL	PVC / LVL
10	URETHANE CORE FOAMED IN PLACE 2.5 LBS. / cu.ft. DENSITY	POLYURETHANE
11	PVC COMPOSITE & LVL TOP RAIL	PVC / LVL
12	WEATHER-STRIP QEBD650 Q-LON	FOAM
13	LVL HINGE STILE SUPPORTER	POPLAR
14	COMPOSITE HINGE STILE EDGE	PVC
15	LVL LATCH STILE SUPPORTER	POPLAR
16	COMPOSITE LATCH STILE EDGE	PVC
17	MULLION BASE KIT (OUTSWING UNIT)	PVC
18	3.983" X 4.0" HINGE MIN 0.098" THICK	STEEL
19	SILL KEY	PC/ASA
20	INTEGRAL MULLION FOR CONTINUOUS HEAD & SILL ASSEMBLIES	WOOD
21	KWIKSET LATCH GRADE II	STEEL
22	KWIKSET DEADBOLT GRADE II	STEEL
23	STRIKE PLATE AT HEAD	STEEL
24	#9 x 1.0" PFHWS	STEEL
25	#9 x 2.25" PFHWS	STEEL
26	ASTRAGAL SCREW #8 X 1.0" PFH DRYWALL SCREW	STEEL
27	#8 X 2.5" - PEH-SMB	STEEL
28	2X BUCK	WOOD
29	LATEX CAULK	LATEX
30	MAX. 1/4" SHIM	WOOD
31	MASONRY	CONCRETE
32	3/16" X 2-1/4" TAPCON	STEEL
33	DEADBOLT STRIKE PLATE	STEEL
34	LITE FRAME SCREW #8 X 1-1/2" SELF THREADING	STEEL
35	LITE FRAME	PC/ASA
36	1" INSULATED GLASS - 1/8" TEMPERED - AIR - 1/8" TEMPERED	GLASS
37	OUTSWING SIDELITE SPACER	PVC
38	1/4" BEAD	WOOD
39	LVL SIDELITE STILE	POPLAR
40	LVL SIDELITE RAIL	POPLAR
41	HINGE TO JAMB #9 X 5/8" PFHWS	STEEL
42	#8 X 2" PFH WS	STEEL
43	NOT USED	-
44	LATCH STRIKE PLATE	STEEL
45	ASTRAGAL BY ENDURA	ALUMINUM
46	10-32 X 5/8" MS	STEEL



Documents Prepared By: BUILDING CONSULTANTS, INC.
 P.O. Box 230 Venice FL 33595
 Phone No.: 813-659-0100
 Florida Board of Professional Engineers
 Certificate of Authorization No. 9813
 Lynden F. Schmidt, P.E. No. 43408

Product: GLAZED PREMIUM FIBERGLASS DOORS WITH & W/O SIDELITE(S) OUTSWING, NON-IMPACT PART OR ASSEMBLY: 1 03/16/08/REVISE PER DADE LETTER

REVISIONS

NO.	DATE	BY	REVISIONS
1	03/16/08	EW	REVISE PER DADE LETTER

Approved as complying with the Florida Building Code
 Date: APR 11 13 2006
 NO AP 05-1130-04
 Miami Dade Product Control Division
 By: *[Signature]*

DATE: 11/14/05
 SCALE: N.T.S.
 DWG. BY: AEM
 CHK. BY: LFS
 DRAWING NO.: S-2610
 SHEET 7 OF 7

WINDOW/DOOR SCHEDULE

ID NO	APPROX OPENING SIZE (W X H)	DESIGNATION	* TYPE	IMPACT PROTECTION		REMARKS
				IMPACT GLASS	SHUTTER	
	37" X 63"	25	SH		X	EXAMPLE
1	36x80	Swing Door Unit				Jedwen
2						
3						
4						
5						
6						
7						
8						
9						
10						
11						
12						
13						
14						
15						
16						
17						
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27						
28						
29						
30						

FILE COPY
TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE 8-1-10
BUILDING OFFICIAL

TOTAL GLAZED OPENING AREA FOR STRUCTURE: 1810 S.F.

*PERCENTAGE OF NEW GLAZED AREA: .001 %
 (TOTAL INSTALLED GLAZED AREA DIVIDED BY TOTAL GLAZED OPENINGS FOR STRUCTURE)

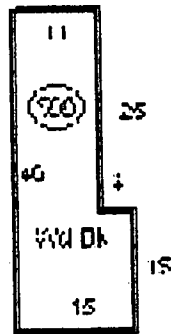
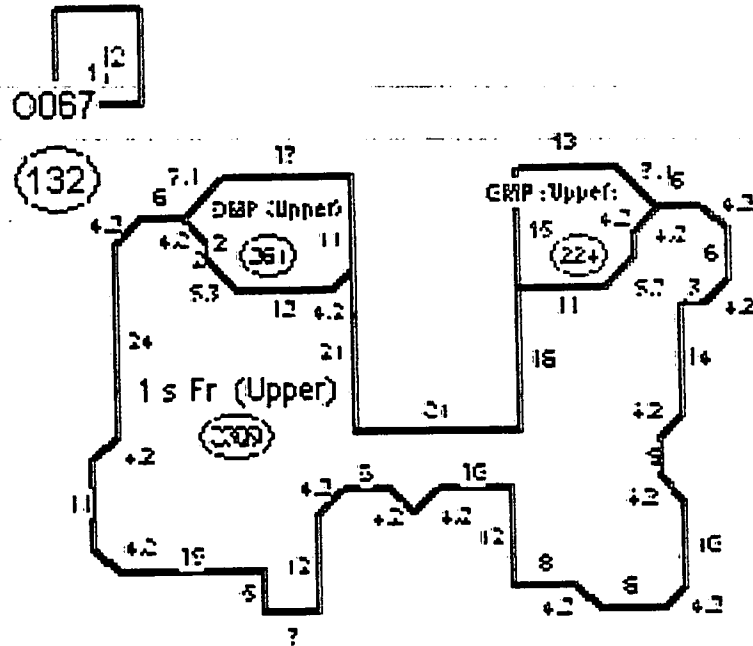
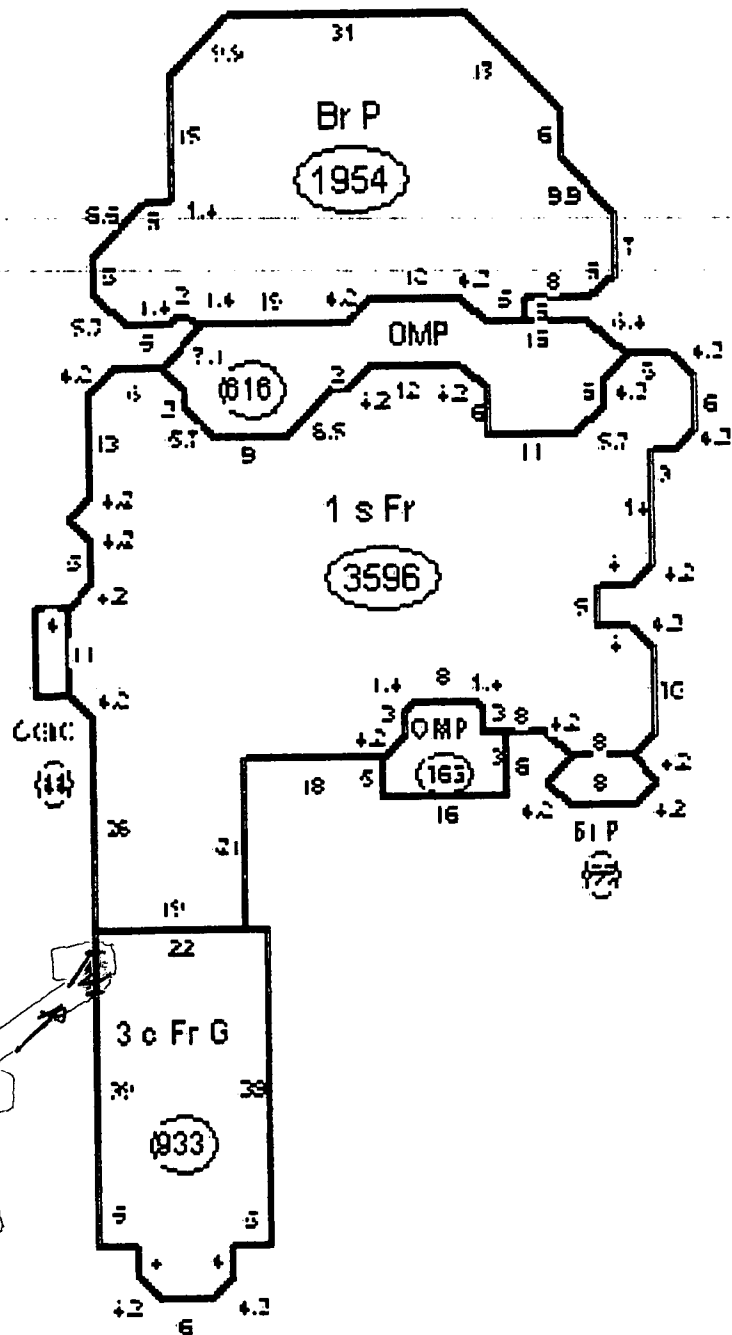
NOTE: The replacement of more than 25% of the aggregate area of exterior glazing (windows & doors) in one & two family dwelling, within a 12 month period will require impact protection on all proposed glazed opening replacement (approved shutters or impact resistant glazing) as per 2007 FBC EXISTING BUILDING 507.2.

*** TYPE WINDOWS**

SH - SINGLE HUNG
 DH - DOUBLE HUNG

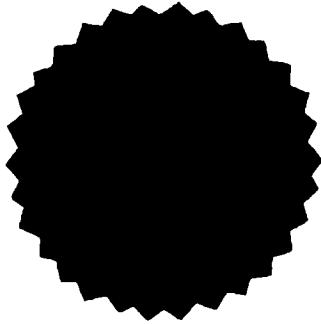
AWN - AWNING
 CAS - CASEMENT

SL - SLIDING
 FIX - FIXED



FL 11949.1

NOTICE OF PRODUCT CERTIFICATION



Company: Jeld-Wen Exterior Doors
3737 Lakeport Boulevard
Klamath Falls, OR 97601

Certification No.: NI009690-R4
Certification Date: 11/06/2008
Expiration Date: 07/31/2011
Revision Date: 02/28/2009

Product: Premium Opaque Fiberglass Door w/ or w/o Sidelites (Door Manufacturer: RightConcept™)

Specifications Tested To: TAS 202-94/ASTM E330-02

The "Notice of Product Certification" is only valid if the NAMI Certification Label has been applied to the product as described within this document. The certification label represents product conformity to the applicable specification and that all certification criteria has been satisfied. This product has been approved for listing within NAMI's Certified Product Listing at www.NamIcertification.com. NAMI's Certification Program is accredited by The American National Standards Institute (ANSI).

Configuration	Inswing or Outswing	Glazed or Opaque	Maximum Size	Design Pressure Pos/Neg	Missile Impact Rated	Test Report Number & Comments
X Single	I/S or O/S	Opaque	3'2" x 6'9"	+55/-55	No	TEL 05-0813-1/W-1420 Maximum Door Panel: 3'0" x 6'8" Installation Detail: JW001
XX Double	I/S or O/S	Opaque	6'4" x 6'9"	+55/-55	No	TEL 05-0813-1/W-1420 Maximum Door Panel: 3'0" x 6'8" Installation Detail: JW001
OX/XO Single w/Sidelite	I/S or O/S	Door-Opaque Sidelite-Glazed	4'4" x 6'9"	+55/-55	No	TEL 05-0813-1/W-1420 Maximum Door Panel: 3'0" x 6'8" Sidelite Glazing: IG-1/8" Tempered Glass Sidelite Daylight Opening: 7" x 5'3" (CHS) Installation Detail: JW001
OXO Single w/Sidelites	I/S Or O/S	Door-Opaque Sidelites-Glazed	5'9" x 6'9"	+43/-43	No	TEL 05-0813-1/W-1420 Maximum Door Panel: 3'0" x 6'8" Sidelite Glazing: IG-1/8" Tempered Glass Sidelite Daylight Opening: 7" x 5'3" Installation Detail: JW001
XXO/OXX Double w/Sidelite	I/S or O/S	Door-Opaque Sidelite-Glazed	7'6" x 6'9"	+55/-55	No	TEL 05-0813-1/W-1420 Maximum Door Panel: 3'0" x 6'8" Sidelite Glazing: IG-1/8" Tempered Glass Sidelite Daylight Opening: 7" x 5'3" Installation Detail: JW001

National Accreditation & Management Institute, Inc./11870 Merchants Walk Suite 202/Newport News, VA 23606
Tel-757.594.8658/Fax-757.594.8659

NAMI AUTHORIZED SIGNATURE: _____

JELD-WEN

6'8" OPAQUE, PREMIUM FIBERGLASS DOOR IN SWING/OUT SWING

INSTALLATION NOTES:

- ONE (1) INSTALLATION ANCHOR IS REQUIRED AT EACH ANCHOR LOCATION SHOWN.
- THE NUMBER OF INSTALLATION ANCHORS DEPICTED IS THE MINIMUM NUMBER OF ANCHORS TO BE USED FOR PRODUCT INSTALLATION.
- INSTALL INDIVIDUAL INSTALLATION ANCHORS WITHIN A TOLERANCE OF 1/2 INCH OF THE DEPICTED LOCATION IN THE ANCHOR LAYOUT DETAIL. (I.E., WITHOUT CONSIDERATION OF TOLERANCES, TOLERANCES ARE NOT CUMULATIVE FROM ONE INSTALLATION ANCHOR TO THE NEXT.)
- SPACING REQUIRED AT EACH INSTALLATION ANCHOR WITH LOAD BEARING OR REST. MAXIMUM ALLOWABLE SPACING TO BE 1/4 INCH. SHIM WIDTHS SPACING OF 1/2 INCH OR GREATER DISTANCE SHALL BE CONSTRUCTED OF HIGH DENSITY PLASTIC OR BETTER.
- FOR INSTALLATION INTO WOOD FRAMING USE #10 WOOD SCREWS OF SUFFICIENT LENGTH TO ACHIEVE 1 1/2 INCH MINIMUM EMBEDMENT INTO WOOD SUBSTRATE.
- FOR INSTALLATION THROUGH 1X 4 BUCKS AND 2X BUCK TO CONCRETE/MASONRY OR DIRECTLY INTO CONCRETE/MASONRY, USE 3/16 INCH DIAMETER TYP TAPCON OF SUFFICIENT LENGTH TO ACHIEVE 1 1/4 INCH MINIMUM EMBEDMENT.
- MINIMUM EMBEDMENT AND EDGE DISTANCE, EXCLUDE WALL FINISHES INCLUDING BUT NOT LIMITED TO STUCCO, FOAM, BRICK VENEER, AND SIDING.
- INSTALLATION ANCHORS AND ASSOCIATED HARDWARE MUST BE MADE OF CORROSION RESISTANT MATERIAL OR HAVE A CORROSION RESISTANT COATING.
- FOR HOLLOW BLOCK AND GROUT FILLED BLOCK DO NOT INSTALL INSTALLATION ANCHORS INTO MORTAR JOINTS. EDGE DISTANCE IS MEASURED FROM FREE EDGE OF BLOCK OR EDGE OF MORTAR JOINT INTO FACE SHELL OF BLOCK.
- INSTALLATION ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH ANCHOR MANUFACTURER'S INSTALLATION INSTRUCTIONS AND ANCHORS SHALL NOT BE USED IN SUBSTRATES WITH STRENGTHS LESS THAN THE MINIMUM STRENGTH SPECIFIED BY THE ANCHOR MANUFACTURER.
- INSTALLATION ANCHOR CAPACITIES FOR PRODUCTS HEREIN ARE BASED ON SUBSTRATE MATERIALS WITH THE FOLLOWING PROPERTIES:
 - WOOD - MINIMUM SPECIFIC GRAVITY OF 0.55.
 - CONCRETE - MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI.
 - MASONRY - STRENGTH CONFORMANCE TO ASTM C 90, GRADE N, TYPE 1 OR GREATER.

GENERAL NOTES:

- THE PRODUCT SHOWN HEREIN IS DESIGNED AND MANUFACTURED TO COMPLY WITH THE 2007 FLORIDA BUILDING CODE (FBC), INCLUDING HVAC AND HAS BEEN EVALUATED ACCORDING TO THE FOLLOWING:
 - TAS 002-04
- ADEQUACY OF THE CUSTOMER STRUCTURAL CONCRETE/MASONRY AND/OR FRAMING AS A MAIN WIND FORCE RESISTING SYSTEM CAPABLE OF WITHSTANDING ANY TRANSMISSION APPLIED PRODUCT LOADS TO THE FOUNDATION IS THE RESPONSIBILITY OF THE ENGINEER OR ARCHITECT OF RECORD FOR THE PROJECT OF INSTALLATION.
- 1X AND 2X BUCKS (WHEN USED) SHALL BE DESIGNED AND ANCHORED TO PROPERLY TRANSFER ALL LOADS TO THE STRUCTURE. BUCK DESIGN AND INSTALLATION IS THE RESPONSIBILITY OF THE ENGINEER OR ARCHITECT OF RECORD FOR THE PROJECT OF INSTALLATION.
- THE INSTALLATION DETAILS DESCRIBED HEREIN ARE GENERIC AND MAY NOT REFLECT ACTUAL CONDITIONS FOR A SPECIFIC SITE. IF SITE CONDITIONS CAUSE INSTALLATION TO DEVIATE FROM THE REQUIREMENTS DETAILED HEREIN, A LICENSED ENGINEER OR ARCHITECT SHALL PREPARE SITE SPECIFIC DOCUMENTS FOR USE WITH THIS DOCUMENT.
- APPROVED IMPACT PROTECTIVE SYSTEM IS REQUIRED ON THIS PRODUCT IN AREAS REQUIRING IMPACT RESISTANCE.
- DOOR FRAME MATERIAL: FIBERGLASS
- GLASS TYPE AND THICKNESS MAY VARY ACCORDING TO THE REQUIREMENTS OF ASTM E 1300 GLASS CHARTS. SEE SHEET 9-PCA GLAZING DETAIL.
- DESIGNATIONS "X" AND "O" STAND FOR THE FOLLOWING:
 - X: OPERABLE PANEL
 - O: FIXED PANEL
- APPROVED CONFIGURATION:
 - X, OX, XX, XOX, OXX, XXX, OXXX
- ANCHORS CAN BE PLACED IN 3/4 INCH THICK SECTION OF JAMB AND HEAD AS AN OPTION TO THE 1 1/4 INCH THICK SECTION.

TABLE OF CONTENTS		
SHEET	REVISION	SHEET DESCRIPTION
1	A	INSTALLATION & GENERAL NOTES
2		ELEVATIONS
3		ANCHOR LAYOUTS
4		ANCHOR LAYOUT & DETAILS
5	A	VERTICAL SECTIONS
6	A	VERTICAL SECTIONS
7	A	VERTICAL AND HORIZONTAL SECTIONS
8	A	HORIZONTAL SECTIONS
9	A	COMPONENTS, GLAZING DETAIL & BILL OF MATERIALS

DESIGN PRESSURE RATING		
CONFIG	DESIGN PRESSURE	MISSILE IMPACT RATING
X	+/- 55 PSF*	NOT RATED
XX	+/- 55 PSF*	NOT RATED
OX	+/- 55 PSF*	NOT RATED
OXO	+/- 43 PSF*	NOT RATED
OXX	+/- 55 PSF*	NOT RATED
OXXO	+/- 55 PSF*	NOT RATED

* IN SWING DOOR NOT TO BE INSTALLED WHERE WATER REQUIREMENTS ARE NEEDED

TITLE: PREMIUM FIBERGLASS DOOR INSTALLATION & GENERAL NOTES
 PREPARED FOR: JELD-WEN, INC.
 3731 LAURET BLVD
 BLANCKEN, OH 47603
 614-299-3000 FAX: 614-299-3004

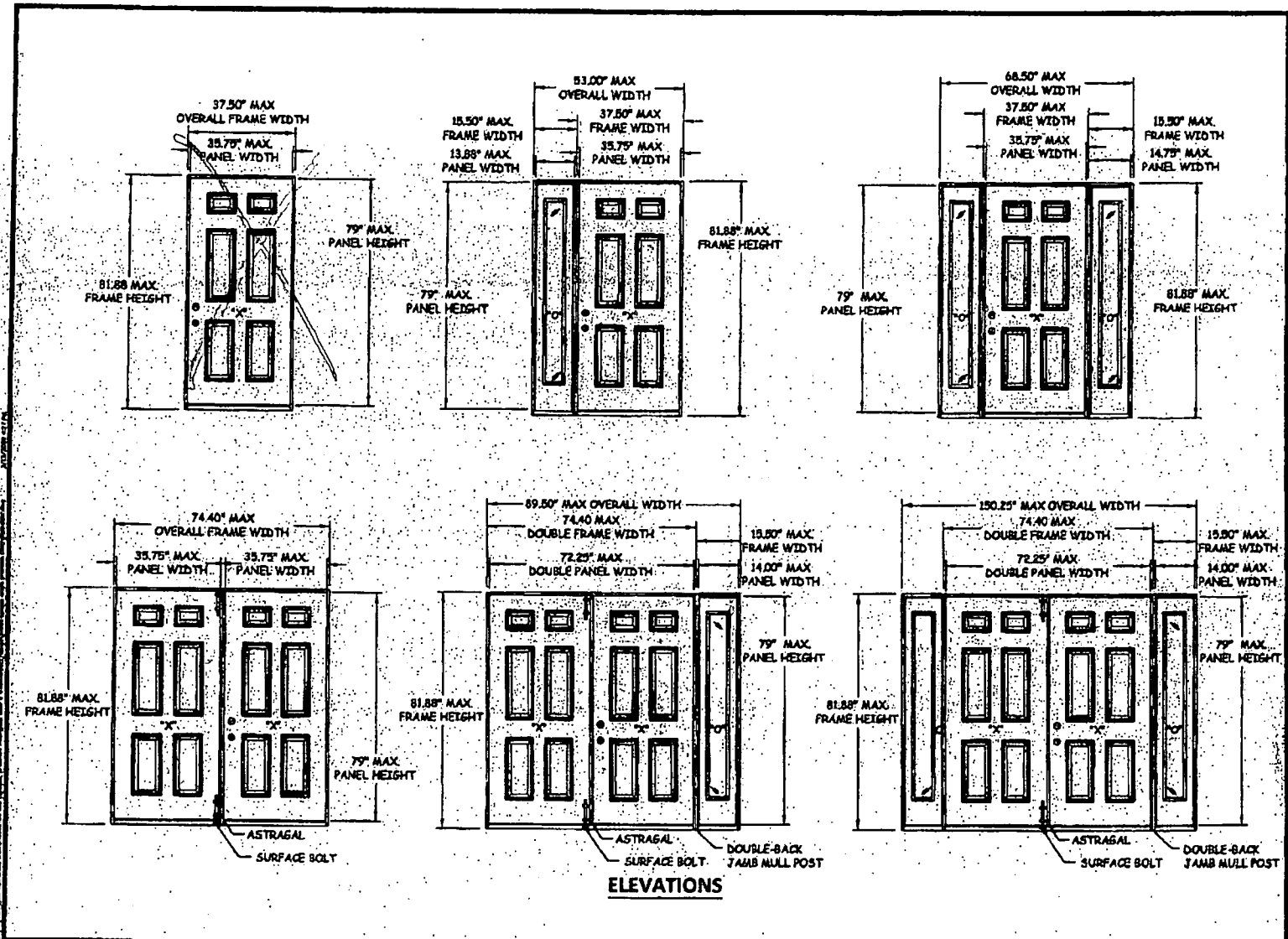
REVISIONS	
NO.	DATE
1	03/25/09
2	
3	
4	
5	
6	
7	
8	
9	



DATE: 03/25/09
 DRAWN BY: GRN
 CHECK BY: JHN
 SCALE: NTS
 DWS #: JW001
 SHEET: 1 OF 9

Approved to NAMI

Certification No: N1009698-24
 Reviewed By: [Signature]
 Date Reviewed: 4/6/09



ELEVATIONS

JELD-WEN
WINDOWS & DOORS

TITLE: PREMIUM FIBERGLASS DOOR
ELEVATIONS
PREPARED FOR: JELD-WEN
3777 LAKEPORT BLVD
BLAKETH FALLS, OR 97140
PH: 503-262-2400 FAX: 503-262-2444

NO.	DESCRIPTION	BY	DATE

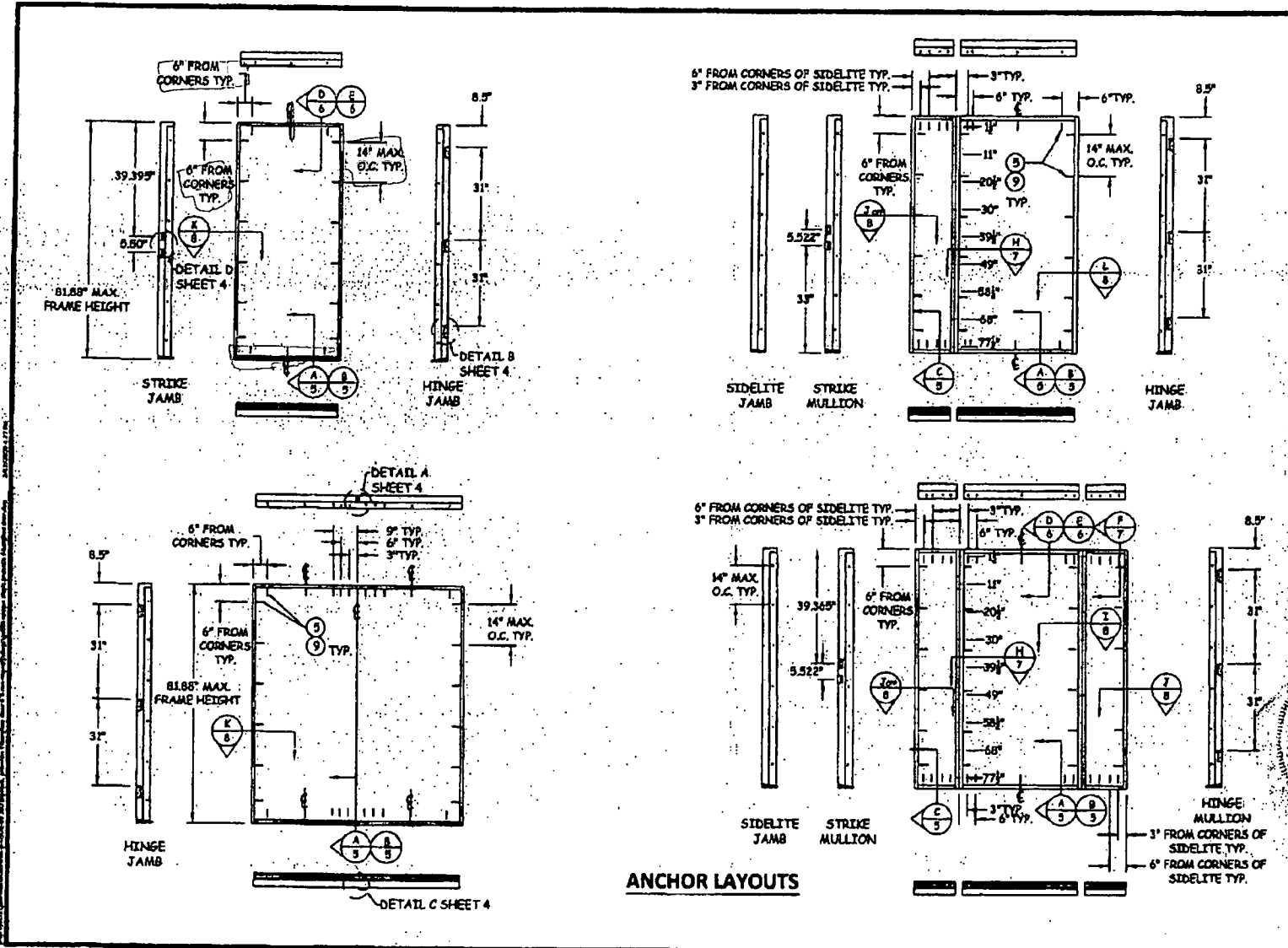


DATE: 06.09.09	DATE: 06.09.09	DATE: 06.09.09	DATE: 06.09.09
DWN BY: GRN	CHK BY: MN	SCALE:	NTS

DWG #: **JW001**
SHEET: **2 OF 9**

ADDENDUM TO NAMI

Certification No.: N1009690-24
Reviewed By: [Signature]
Date Reviewed: 4/16/09



JELD-WEN
WINDOWS & DOORS

TITLE: PREMIUM FIBERGLASS DOOR
ANCHOR LAYOUTS
PREPARED FOR: JELD-WEN
3737 LAUREL BLVD
KLAMATH FALLS, OR 97601
P.O. BOX 10000
KAMATH FALLS, OR 97601

NO.	DESCRIPTION	DATE	BY

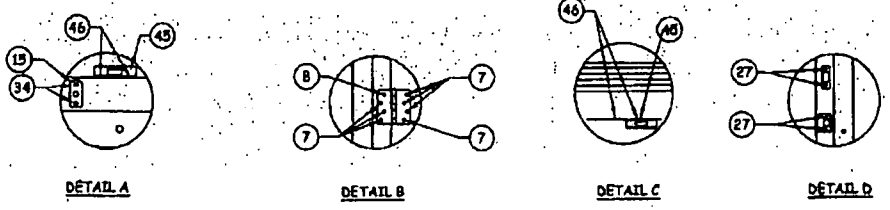
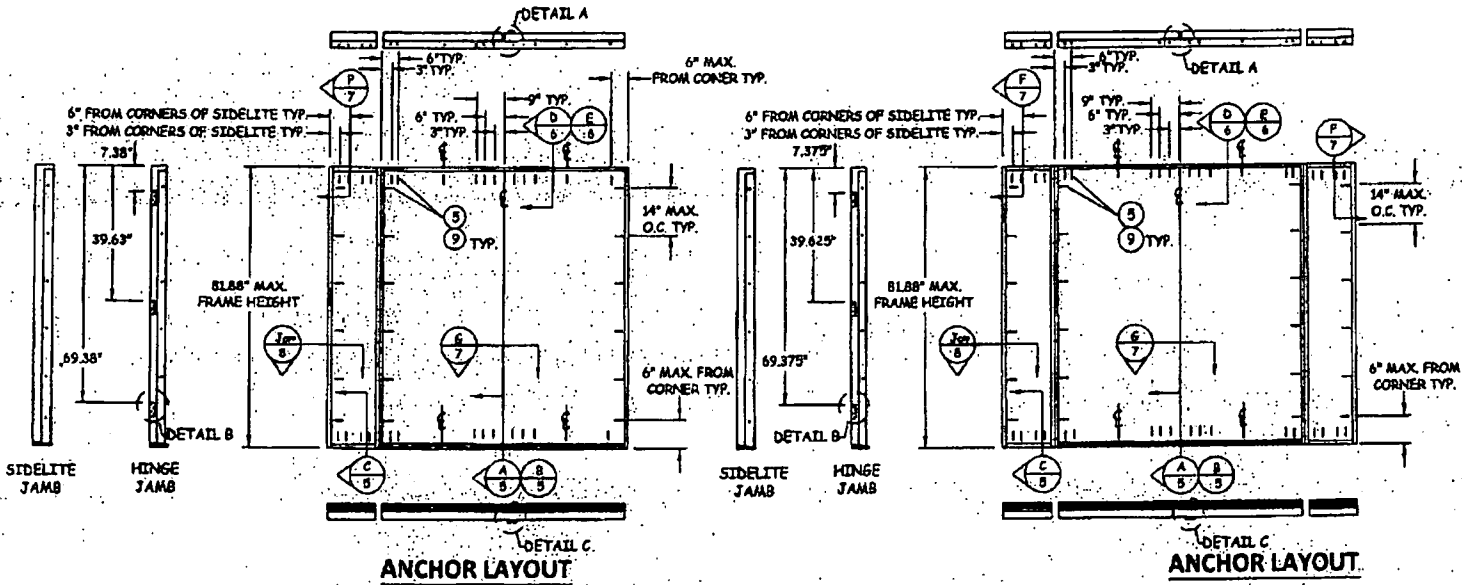


DATE: 02/09/09	DRAWN BY: JAW	CHECKED BY: JAW	SCALE: NTS
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DWG #: JW001
SHEET: 3 OF 9

Addendum to NAMI

Certification No.: N1009690-24
Reviewed By: [Signature]
Date Reviewed: 4/6/09



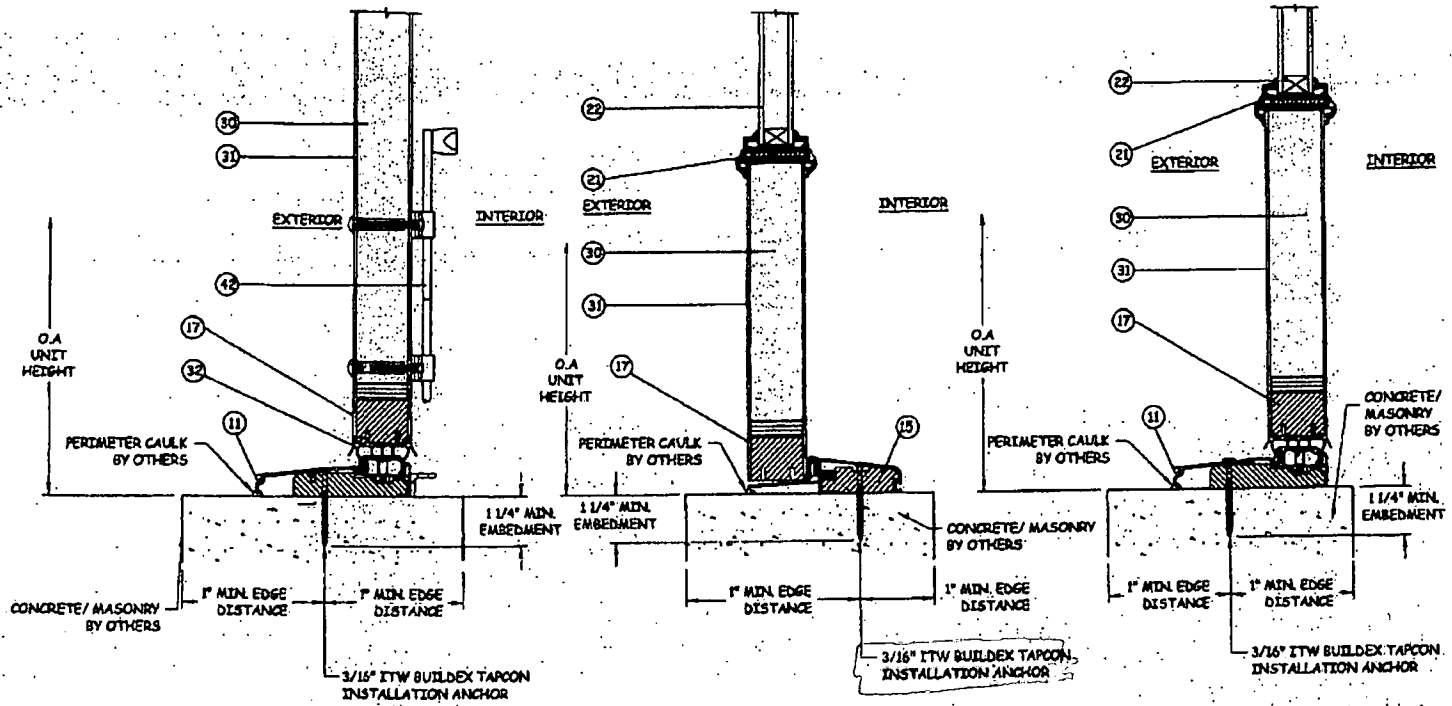
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PREPARED FOR:	JELD-WEN 3737 LAKEPORT BLVD ALABAMA FALLS, OR 97601 PO BOX 243170 97123-2170
REVISIONS	BY DATE
DESCRIPTION	
NO.	



DATE:	02.09.09	CHK BY:	HN	SCALE:	NTS
DWN BY:	GRN				
DWG #:		JW001			
SHEET:		4 OF 9			

Aquarium to Miami

Certification No.: N1009699-24
 Reviewed By: [Signature]
 Date Reviewed: 4/6/09

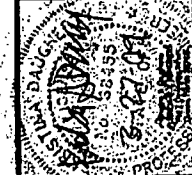


A
5
VERTICAL SECTION
CONCRETE/ MASONRY
INSWING ACTIVE DOOR TYP.

B
5
VERTICAL SECTION
CONCRETE/ MASONRY
OUTSWING ACTIVE/INACTIVE DOOR TYP.

C
5
VERTICAL SECTION
CONCRETE/ MASONRY
FIXED SIDELITE TYP.

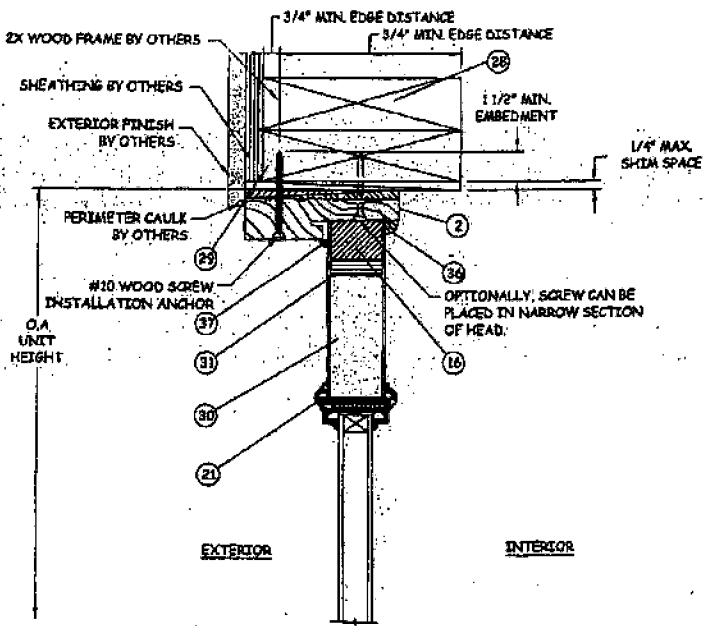
TITLE: PREMIUM FIBERGLASS DOOR		VERTICAL SECTIONS	
NO.	DESCRIPTION	DATE	PREPARED FOR:
A.	REVISED DOUBLE CALLOUTS	08/01/09	JELD-WEN 3737 LAKEPORT BLVD ELAMATH FALLS, OR 97601 P.O. #77503-0046 PR



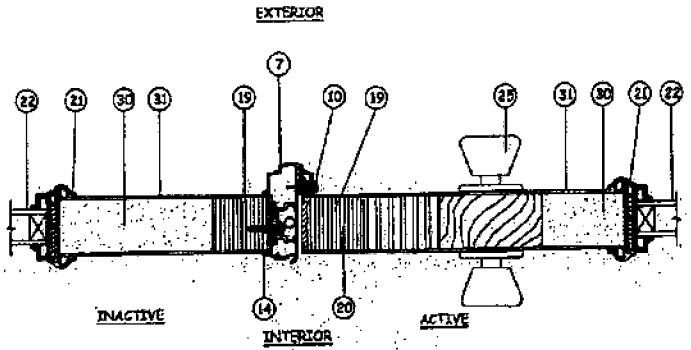
DATE:	02/09/09	SCALE:	NTS
DRAWN BY:	GRN	CHECK BY:	HN
DWG #:	JW001	SHEET: 5 OF 9	

Addendum to NAMI

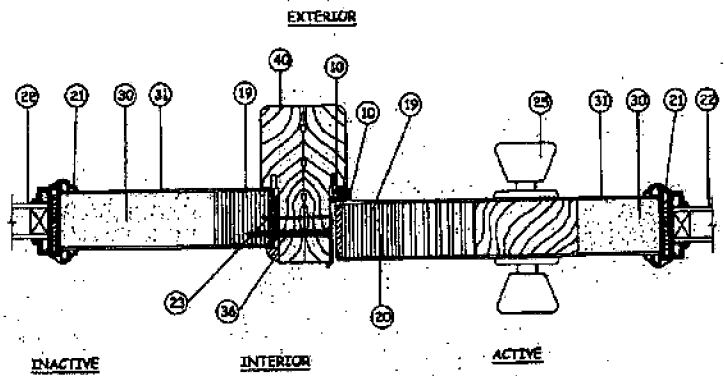
Certification No.: N10091690-R4
 Reviewed By: [Signature]
 Date Reviewed: 4/6/09



F
7
VERTICAL SECTION
2x WOOD FRAME
FIXED SIDELITE TYP.



G
7
HORIZONTAL SECTION
ENDURA ASTRAGAL



H
7
HORIZONTAL SECTION
SIDELITE MULL POST

JELD-WEN
WINDOWS & DOORS

TITLE: PREMIUM FIBERGLASS DOOR
VERTICAL &
HORIZONTAL SECTIONS
PREPARED FOR: JELD-WEN
3737 LAKEPORT BLVD
CLAMATH FALLS, OR 97601
PK 941-882-3401, FX 877-282-2448

REVISIONS

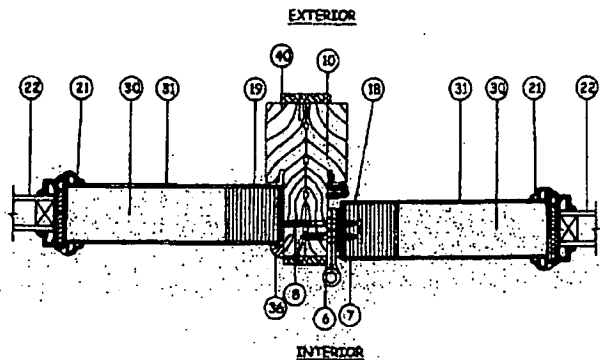
NO.	DESCRIPTION	BY	DATE
1	REVISED DOUBLE MULL 7448	GRN	03/25/09



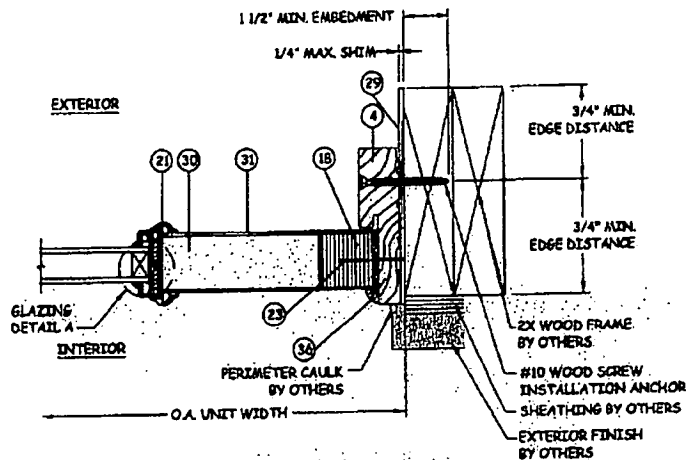
DATE: 03/25/09
DRAWN BY: GRN
CHK BY: JN
SCALE: NTS
DWG #: **JW001**
SHEET: 7 OF 9

Addendum to NAMI

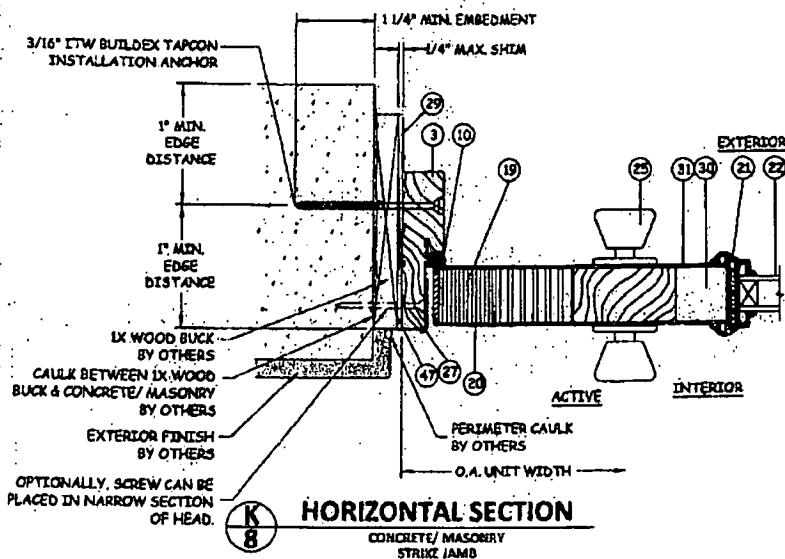
Certification No.: N1009490-24
Reviewed By: [Signature]
Date Reviewed: 4/6/09



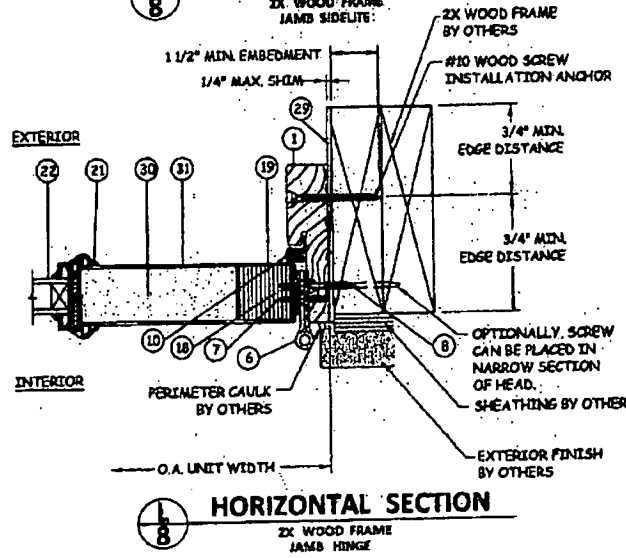
I
HORIZONTAL SECTION
DOUBLE BACK JAMB MULLION



J
HORIZONTAL SECTION
2X WOOD FRAME JAMB SIDELITE



K
HORIZONTAL SECTION
CONCRETE/MASONRY STRIKE JAMB



L
HORIZONTAL SECTION
2X WOOD FRAME JAMB HINGE

JELD-WEN
WINDOWS & DOORS

TITLE: PREMIUM FIBERGLASS DOOR
BY: HORIZONTAL SECTIONS
DATE: PREPARED FOR:
JELD-WEN
3737 LAKEPORT BLVD
KILAMATH FALLS, OR 97601
REG. 541-388-3861 FAX: 541-388-3866

REVISIONS

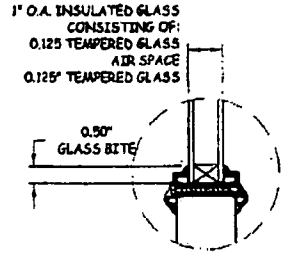
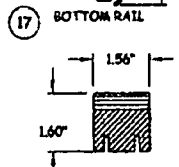
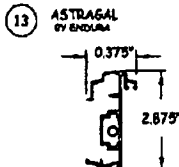
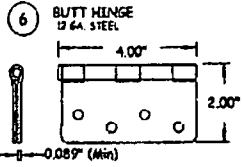
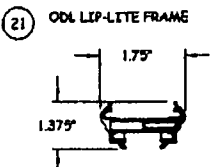
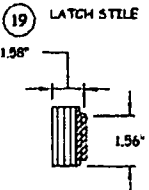
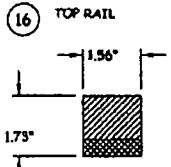
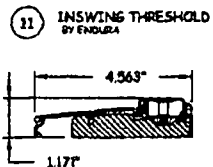
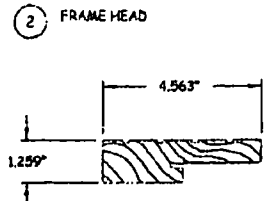
NO.	DATE	DESCRIPTION
1	03/21/09	REVISED MATCH PATTERN



DATE: 03/21/09	DATE: 03/21/09	DATE: 03/21/09	DATE: 03/21/09
DWG #: JW001	SCALE: NTS	SHEET: 8	OF 9

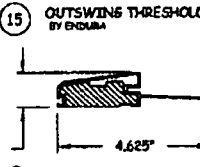
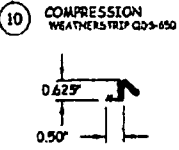
ADDENDUM TO NAMI

Revision No: N1009496-24
Reviewed By: [Signature]
Date Reviewed: 4/6/09



GLAZING DETAIL A

NOTE:
GLASS THICKNESS AND TYPE MAY VARY
ACCORDING TO THE REQUIREMENTS OF
ASTM E 1300 GLASS CHART.



Item	DESCRIPTION	Material
1	HINGE JAMB (1 1/4"x4-5/8" FINGERJOINTED PINE)	PINE
2	FRAME HEAD (1 1/4"x4-5/8" FINGERJOINTED PINE)	PINE
3	LATCH JAMB (1-1/4"x4-5/8" FINGERJOINTED PINE)	PINE
4	SIDELITE JAMB (1-1/4"x4-5/8" FINGERJOINTED PINE)	PINE
5	#10 PHILLIPS FLATHEAD WOOD SCREW WITH 1 1/2" MIN. EMBEDMENT	STEEL
6	4" x 4" BUTT HINGE 12GA. (0.089" MIN)	STEEL
7	#9 x 3/4" PHILLIPS FLATHEAD WOOD SCREW	STEEL
8	#10 x 1 1/2" PHILLIPS FLATHEAD WOOD SCREW	STEEL
9	3/16" ITW BUILD-EX TAPCON WITH 1 1/4" MIN. EMBEDMENT	STEEL
10	COMPRESSION WEATHERSTRIP (LexSeal 9650)	
11	INSWING THRESHOLD ENDURA	ALUMINUM
12	NOT USED	ALUMINUM
13	EXTRUDED ASTRAGAL (ENDURA)	ALUMINUM
14	#10 X 1" PHILLIPS PAN HEAD SHEET METAL SCREW	STEEL
15	OUTSWING SWING THRESHOLD ENDURA	ALUMINUM
16	TOP RAIL (LAMINATED VENEER LUMBER)	LVL
17	BOTTOM RAIL (LAMINATED VENEER LUMBER)	LVL
18	HINGE SIDE STILE (LAMINATED VENEER LUMBER)	LVL
19	LATCH SIDE STILE (LAMINATED VENEER LUMBER)	LVL
20	LOCK BLOCK x 12" LVL	LVL
21	ODL LIP-LITE FRAME	PLASTIC
22	1.00" OVER ALL INSULATED TEMPERED GLASS	GLASS
23	16 G. 7/16" CROWN x 2" LONG STAPLES	STEEL
24	CORRUGATED NAIL 1/2" x 1-1/16"	STEEL
25	KWIKSET LOCK - SERIES 200 (GRADE II)	
26	KWIKSET DEADBOLT - SERIES 600 (GRADE II)	
27	#8 x 2" PHILLIPS FLATHEAD WOOD SCREW	STEEL
28	2x WOOD BUCK	WOOD
29	NON-COMPRESSION SHIM	WOOD
30	FOAM CORE	POLYURETHANE
31	FIBERGLASS SKIN 0.175" MIN. THICKNESS (Fy = 5,200 PSI MIN.)	FIBERGLASS SKIN
32	INSWING VINYL DOOR BOTTOM SWEEP	VINYL
33	CORNER PADS 2" LOCATED AT THE BOTTOM OF EACH JAMB LEG SETTING ON TOP OF THE SILL, BEHIND THE WEATHERSTRIP	FOAM
34	#6 x 1 1/2" PHILLIPS WOOD SCREW	STEEL
35	NOT USED	
36	3/8" ROUNDED SCOTIA	WOOD
37	SILICONE BEAD	SILICONE
38	NOT USED	
39	0.75" OVERALL INSULATED TEMPERED GLASS (VENT LITE PANELS)	
40	DOUBLE BACK JAMB (FINGERJOINTED PINE)	PINE
41	#8 x 1" PHILLIPS FLATHEAD WOOD SCREW	STEEL
42	IVES SURFACE BOLT #434 8.0" LG. X .25" THK	STEEL
43	ASTRAGAL BOLT	STEEL
44	SEX BOLT 10-32 X 1-9/16 LG X 9/16 BARREL	STEEL
45	IVES SURFACE BOLT STRIKE PLATE	STEEL
46	#8 X 3/4" LG FLATHEAD WOODSCREWS FOR STRIKE PLATE	STEEL
47	OPTIONAL 1X WOOD BUCK	WOOD

JELD-WEN
WINDOWS & DOORS

TITLE: PREMIUM FIBERGLASS DOOR COMPONENTS, GLAZING DT'S & BILL OF MATERIALS
PREPARED FOR: JELD-WEN 1737 LAUREY BLVD KLAMATH FALLS, OR 97601
P: 518-861-2421 F: 517-824-2442

REVISIONS

NO.	DESCRIPTION	DATE	BY
1	REVISED BILL OF MATERIALS	03/29/09	GRN



DATE: 02/29/09
DWG BY: JWW
CHK BY: GRN
SCALE: NTS
DWG #: JW001
SHEET: 9 OF 9

Addendum to NAMI

Revision No: N1009690-24
Reviewed By: [Signature]
Reviewed: 4/6/09

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri *7/26* 2010 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9519	BILLS			
	3 N. VIA LUCINDIA	GARAGE DOOR	PASS	Close
	CHAMPION DOORS	FINAL		INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9455	WHITE			
	15 RIDGELAND	FRAME &	<i>CANCEL</i>	
	TUSCANY BAY	TRADES		INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9287	SHARFI			FPL <i>sent</i>
	BNSPR	METAL FINN	PASS	
	Station			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9508	SHARFI	GREEN HOUSE		
	73 NSPR	Footers	PASS	
	Masley			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	Woods			
		R. PLUMB	CANCEL & RESOT FOR TUES	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9501	LARZENS			
	31 S. RIVER	Door	PASS	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 9-2 2010 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9545	Gill 33 Rivista Heaton Roofing	dry in / metal	PASS	INSPECTOR <i>[Signature]</i>
9399	BALFOORD 103 Hillcrest Dr BALFOORD CONDO	PARTIAL LADDER	PASS	INSPECTOR <i>[Signature]</i>
9556	Muscattello 11 Wouth Ct Coastal	Fernal AC	PASS	Close INSPECTOR <i>[Signature]</i>
	JEFFERSON 14 OAKHILL	TREE	OK	INSPECTOR
9521	LAZARUS 31 S. RIVER Creation	ROUGH DOWN	YET PASS	INSPECTOR <i>[Signature]</i>
				INSPECTOR
				INSPECTOR
				INSPECTOR
	HELMUT	288 6952		INSPECTOR

TOWN OF SEWALL'S POINT, FLORIDA

FILE

Date 7/25/01 ¹⁵ TREE REMOVAL PERMIT No 0480

APPLIED FOR BY Sude Tree, Inc. (Contractor or Owner)

Owner Dr. Lazarus, 31 S. River Rd.

Sub-division _____, Lot _____, Block _____

Kind of Trees 1 Sabal Palms

No. Of Trees: REMOVE 1

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

Field verified
7/25

REMARKS O.K. to remove, endangers next door property

Signed, Sign on file Applicant Signed, [Signature] FEE \$ _____
Town Clerk
Mag. Insp.

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Empty grid area for notes or photos]

PROJECT DESCRIPTION _____

REMARKS _____

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

7/25 SCHED. INSP.

RECEIVED
JUL 24 2001
BY: [Signature]

Permit # 0480

Date Issued 7/25/01

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner DR LAZARUS Address 31⁵ RIVER RD. Phone

Contractor SHADE TREE INC Address 913 INDUSTRIAL BLVD Phone 334-2010

Number of trees to be removed(list kinds of trees) 1-SABAL PALM - HAZARD

TO NEIGHBOR PROPERTY. ✓ NO FEE

Number of trees to be relocated within 30 days(no fee)(list kinds of trees):

Number of trees to be replaced (list kinds of trees):

Permit Fee \$ -0- ~~(\$25.00 first tree plus \$10.00 - each additional tree - not to exceed \$100.00 \$15.00~~

(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted ✓ Plans approved as marked

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant [Signature] Date submitted 9-24-01

Approved by Building Inspector [Signature] Date 7/25/01

Approved by Building Commissioner Date

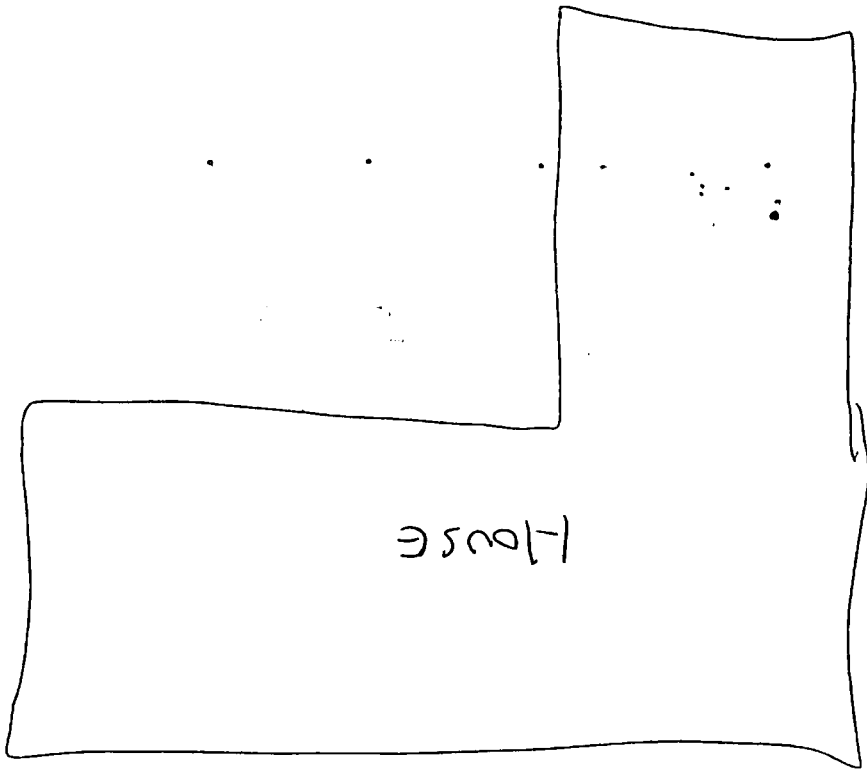
Completed Date Checked by

SEE

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT ~~OBSTRUCTION PERMITS~~. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?

SOUTH RIVER RD.



SARAL TO REMOVE

WOUND AREA

RIVER

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri Sat Sun, 2001; Page 4 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5234	R. McCarthy 45 W Highpoint Wilson	Sheathing (Part.)	Passed	INSPECTOR: [Signature] 7/25
✓ 5437	DENNIS (MPN 5015) 16 RIDGELAND A+G POOLS	STL./GRD. (POOL)	Passed	*LATE AS POSSIBLE ART-878-7052 INSPECTOR: [Signature] 7/25
✓ TIR	SMITH 133 ^S RIVER RD. SHADE TREE	FIELD VERIF.	Passed	INSPECTOR: [Signature] 7/25
✓ TIR	LAZARUS 3:5 RIVER RD.	FIELD VERIF.	Passed	INSPECTOR: [Signature] 7/25
✓ TIR	SARTAIN 41 S. SPR TIMBERTREE	FIELD VERIF.	Passed	INSPECTOR: [Signature] 7/25
✓ 5358	INGRAM 101 N. SEWALL'S POINT BUFORD CONST. (AMDK: 201-9153)	(PTL) TIE BK (Part.)	Passed	INSPECTOR: [Signature] 7/25
✓ 5427	FOGUA 105 ABBLE CT. FOGUA CONTR. (TODD 954-444-6126)	STEM WALL FTG.	Passed	called PPL 8 ⁰⁵ mrg. early INSPECTOR: [Signature] 7/25

OTHER: 26 Fieldway Dr. check lat & nails

TOWN OF SEWALL'S POINT, FLORIDA

Date APRIL 14 18 2004 TREE REMOVAL PERMIT No 2237

APPLIED FOR BY LAZARUS (Contractor or Owner)

Owner 31 S. RIVER ROAD

Sub-division _____, Lot _____, Block _____

Kind of Trees PALM

No. Of Trees: REMOVE 1

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 0

Signed, _____ Applicant Signed, Gene Simmons (GTS) Town Clerk
Building Official

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspectio
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Large empty rectangular box for notes or drawings]

PROJECT DESCRIPTION _____

[Lined area for project description]

REMARKS _____

[Lined area for remarks]

TOWN OF SEWALL'S POINT

539

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Permit # _____

Date Issued _____

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner Jeffrey Lazarus Address 31 S. River Road Phone 288-6587 H; 335-3200 O

Contractor _____ Address _____ Phone _____

Number of trees to be removed(list kinds of trees) 1 Mango. Repeatedly frozen back
and infected with insects.

Number of trees to be relocated within 30 days(no fee)(list kinds of trees): _____

Number of trees to be replaced _____ (list kinds of trees): _____

Permit Fee \$ _____ (\$25.00 - first tree plus \$10.00 - each additional tree - not to exceed \$100.00.

(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted Plans approved as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant Dail J. Sugg Date submitted 12/11/92

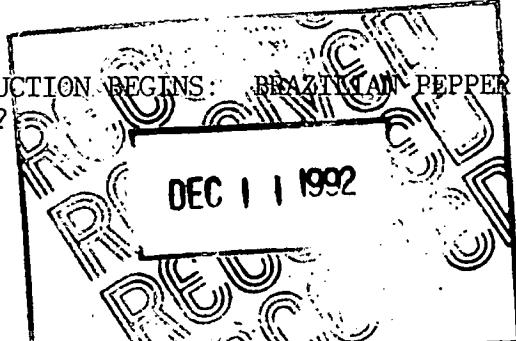
Approved by Building Inspector Dale Brown Date 12/11/92

Approved by Building Commissioner [Signature] 12/11/92 Date _____

Completed _____ Date _____ Checked by _____

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT OBTAINING A PERMIT. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

OK

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Jeffrey & Jacqueline Lazarus Address 31 South River Rd Phone 772 288-6587

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 1 Species: Hong Kong Orchid

No. of Trees: RELOCATE _____ Species: _____

No. of Trees: REPLACE _____ Species: _____

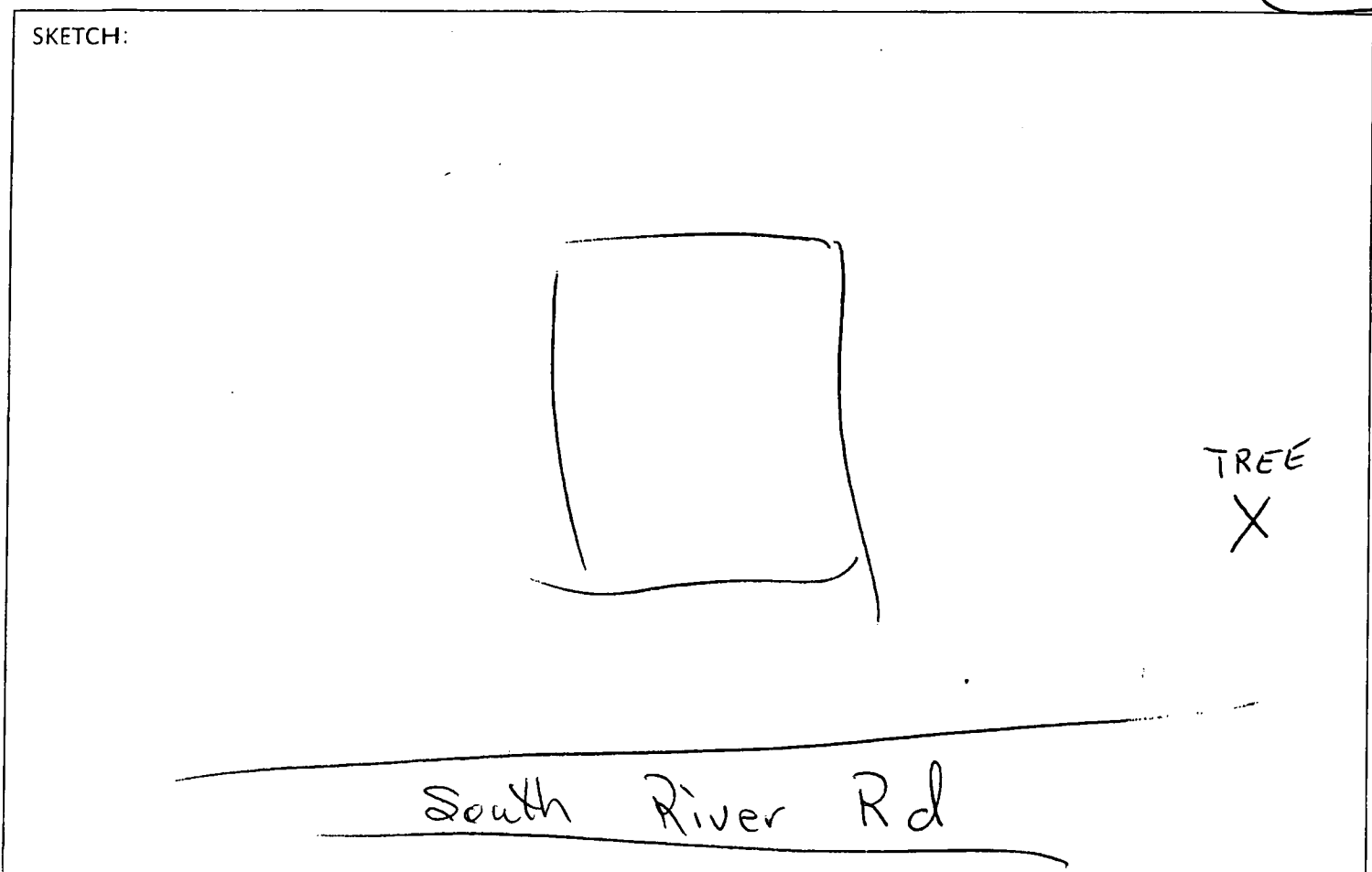
ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

Reason for tree removal/relocation (See notice above) diseased & dying. Concerned it may blow down in a storm

Signature of Property Owner Jacqueline Lazarus Date 6-30-10

Approved by Building Inspector: [Signature] Date 7-1-10 Fee: N/C

NOTES: 1-12-11 OK'd by John



TOWN OF SEWALL'S POINT APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than one inch.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Mariberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Jeffrey & Jackie Lazarus Address 31 South River Rd Phone 288-6587

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 1 Type: Palm

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: Tree is dead

Signature of Applicant Jackie Lazarus Date 4-12-04

Approved by Building Inspector: [Signature] Date 4/14 Fee: 0

Plans approved as submitted _____ Plans approved as revised/marked: _____

at Lucie River

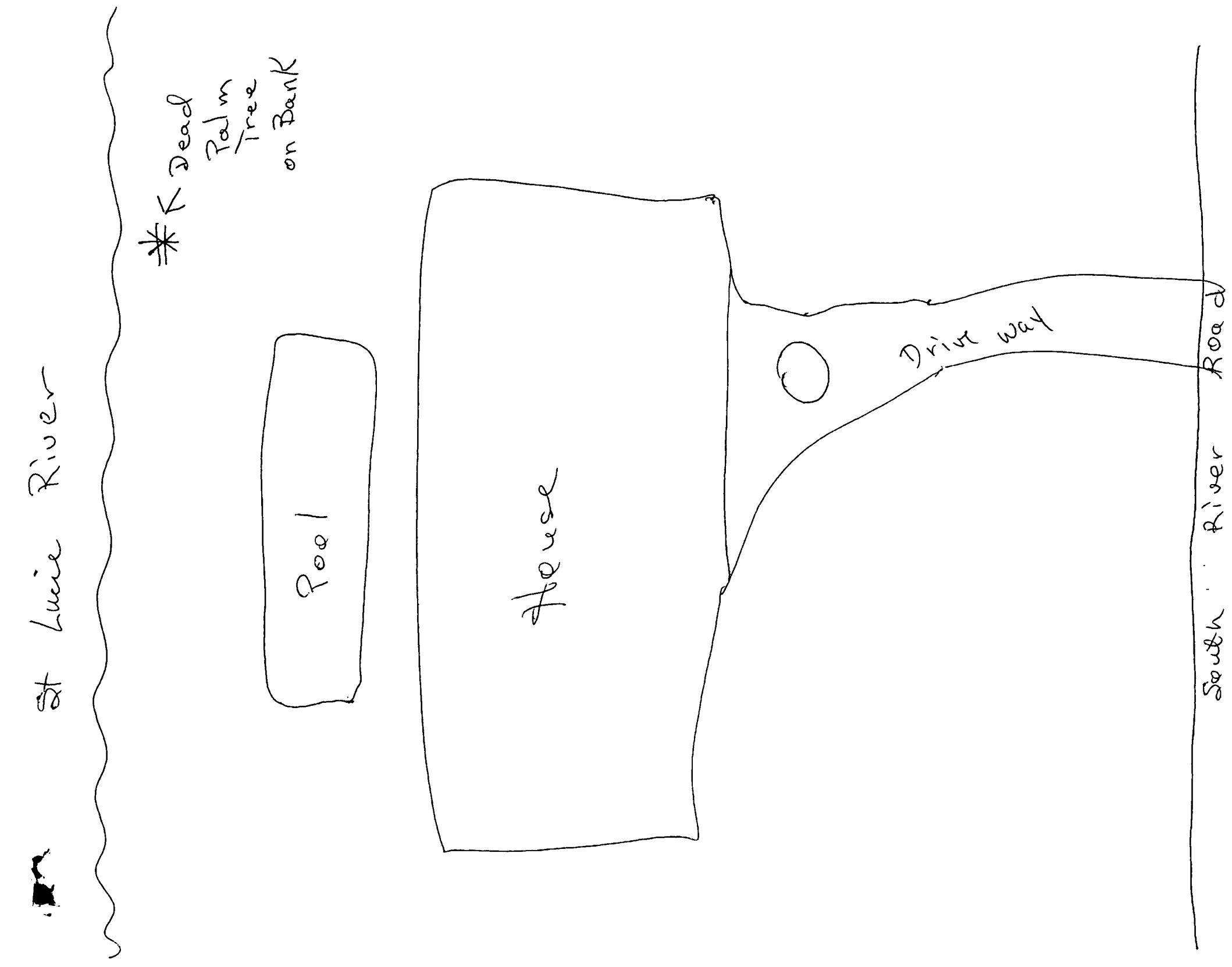
* K Dead
Palm
Tree
on Bank

Pool

House

Drive way

South River Road



VERY RAINY & WET DAY

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 2/25, 2005 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7174	GOVEL	DRY IN	FAIL	
2	5 RIVERVIEW GOLD COAST ROOFING			#40 FEE INSPECTOR: <i>OW</i>
7266	LAZARUS	TINS	PASS	
5	315 EVELL			INSPECTOR: <i>OW</i>
7203	ACCESS 38 W. HIGH PT. PACIFIC	TIN TAG.	PASS	INSPECTOR: <i>OW</i>
7052	Kinard 5 Timor Rd All American Roofing	Final Roof - inspection	PASS	CLOSE INSPECTOR: <i>OW</i>
7096	Michigan 20 Fieldway Drive Sparrow Construction	Ridge Vents	PASS	CLOSE INSPECTOR: <i>OW</i>
7091	Butler 6 Emarita Way Dalton	Garage door	PASS	CLOSE INSPECTOR: <i>OW</i>
6876	Petersen 49 Rio Vista Driftwood Homes	Framing all subs	CANCEL	RESCHEDULE FOR 2/28 MONDAY INSPECTOR:

OTHER:

14 EMARITA - O.H. SUEC IS RESTING ON ROOF.

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 4/14, 2004 Page 2 of 3

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6501	BEAN	TIN TAUGHT METAL		
	112 S. SEWALLS PT			
	DIXIEWOOD			INSPECTOR:
6040	SANDLER	FINAL ELEC SPA	PASS	CLOSE
	2 COPAIRE	+ SPRINKLER		
13	ELECTRICAL CONNECTIONS			INSPECTOR: <i>[Signature]</i>
6327	PFEIFFER	FINAL POOL	PASS	CLOSE
5	104 HENRY SEWALL			
	ADVANTAGE POOLS			INSPECTOR: <i>[Signature]</i>
8	LAZARUS	TREE	PASS	
8	31 S. RIVER RD			INSPECTOR: <i>[Signature]</i>
6233	MOORE	TEMP POLE	PASS	
9	5 OAK HILL WAY			
	SIR ELECTRIC			INSPECTOR: <i>[Signature]</i>
6391	WHITWELL	ROUGH PLUMBING		CANCEL
	MARGUERITA	ROUGH A/C	REINSR.	
11	Hemmingway Homes	FRAMING		INSPECTOR:
6520	NMES	(RE-INSPECT) TRUSS ENGR.	PASS	
6	113 HENRY SEWALLS WY			
	WINCHIP			INSPECTOR: <i>[Signature]</i>

OTHER: _____

TOWN OF SEWALL'S POINT, FLORIDA

Date JULY 27 ~~18~~ 2005 TREE REMOVAL PERMIT No 2542

APPLIED FOR BY LAZARUS (Contractor or Owner)

Owner 31 S. RIVER RD

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 2 QUEEN PALM, SABAL PALM

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 0

Signed, _____ Applicant Signed, Jane Summers (R/S) Town Clerk BUILDING OFFICIAL

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Large empty rectangular box for drawing or site plan]

PROJECT DESCRIPTION _____

REMARKS _____

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than two inches.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Jeffrey & Jackie Lazarus Address 31 South River Rd Phone 288-6587*

Contractor Shade Tree Address P.O. Box 2801
Stuart, FL 34995 Phone 334-7010

No. of Trees: REMOVE 2 Type: Queen Palm, Sabal Palm

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: Sabal Palm is dead
Queen Palm originally planted by us has grown too big & too close to house.
Concerned it may damage home if it falls over in a storm.

Signature of Property Owner [Signature] Date 7-23-05

Approved by Building Inspector: [Signature] Date 7/27 Fee: 0

Plans approved as submitted _____ Plans approved as revised/marked: _____

St. Lucie River

* Sabal Palm

Queen Palm *

Pool

House
31 South River Rd

RIVER ROAD

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 7/27, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6813	MADER	TIE BEAM	FAIL	
3	106 ABBIE COURT BUFORD		PASS	REINSPECTED ^{LATE MORN} INSPECTOR: <i>[Signature]</i>
7684	OTY	DRY-IN	PASS	
9	26 N. Sewall's Pt ADDUDDEN ROOFING			INSPECTOR: <i>[Signature]</i>
TREE	SLATER	TREE	PASS	
10	4 NE LABONIS			INSPECTOR: <i>[Signature]</i>
TREE	LAZARUS	TREE	PASS	
8	31 S. RIVER RD			INSPECTOR: <i>[Signature]</i>
7223	RAOS	POOL DECK	FAIL	
11	16 CASTLE HILL WY SCHILLER POOLS			INSPECTOR: <i>[Signature]</i>
7431	MAC DOUGALL	STEEL-RET WALL		
15	23 N. RIVER RD CUSTOM BUILT MARINE	FOOTING	PASS	INSPECTOR: <i>[Signature]</i>
7687	COOPER	IN PROGRESS		WILL RESCHEDULE
2	33 W. HIGHPOINT TOTAL ROOFING	DRY-IN		INSPECTOR: <i>[Signature]</i>

OTHER: _____

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Application procedures:

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 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new single family resident see above.
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4. Permit must be picked up and on site prior to work proceeding.
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4-26-07 - Called for signs.

Owner Det + Mrs LAZARUS Address 31 S River Rd Phone 288-6587
 Contractor SHADE TREES E Address PO Box 517 Phone 223-7809

No. of Trees: REMOVE 1 Type: POINCIANA

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: Power lines / well / oak tree interference
Location Front LEFT corner of property

Signature of Property Owner [Signature] Date 4-27-07

Approved by Building Inspector: [Signature] Date 4/27 Fee: 0

Plans approved as submitted _____ Plans approved as revised/marked: _____

TOWN OF SEWALL'S POINT, FLORIDA

Date FEBRUARY 25th 2005 TREE REMOVAL PERMIT No 2427

APPLIED FOR BY LAZAUS (Contractor or Owner)

Owner 31 S. RIVER ROAD

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 5 1 FICUS, 4 COCONUT PALM

No. Of Trees: RELOCATE 1 WITHIN 30 DAYS (NO FEE) Sabal Palm

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 0

Signed, _____ Applicant Signed Gene Simmons (A18) Town Clerk Building Official

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Owner JEFF LAZARUS Address 31 S. RIVER RD Phone 288-6587

Contractor SHADE TREE Address PO BOX 2801 Phone 334-7010
STUART, 34995

No. of Trees: REMOVE 5 Type: 1 FICUS, 4 COCONUT PALM

No. of Trees: RELOCATE 1 WITHIN 30 DAYS Type: SHRUB PALM

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: FICUS TREE IS LIFTING CONCRETE SLAB.

COCONUT PALMS ARE CLOSE TO ROOF & OVERGROWN / SHRUB PALM IS OVERGROWN

Signature of Property Owner [Signature] Date 2/27/05

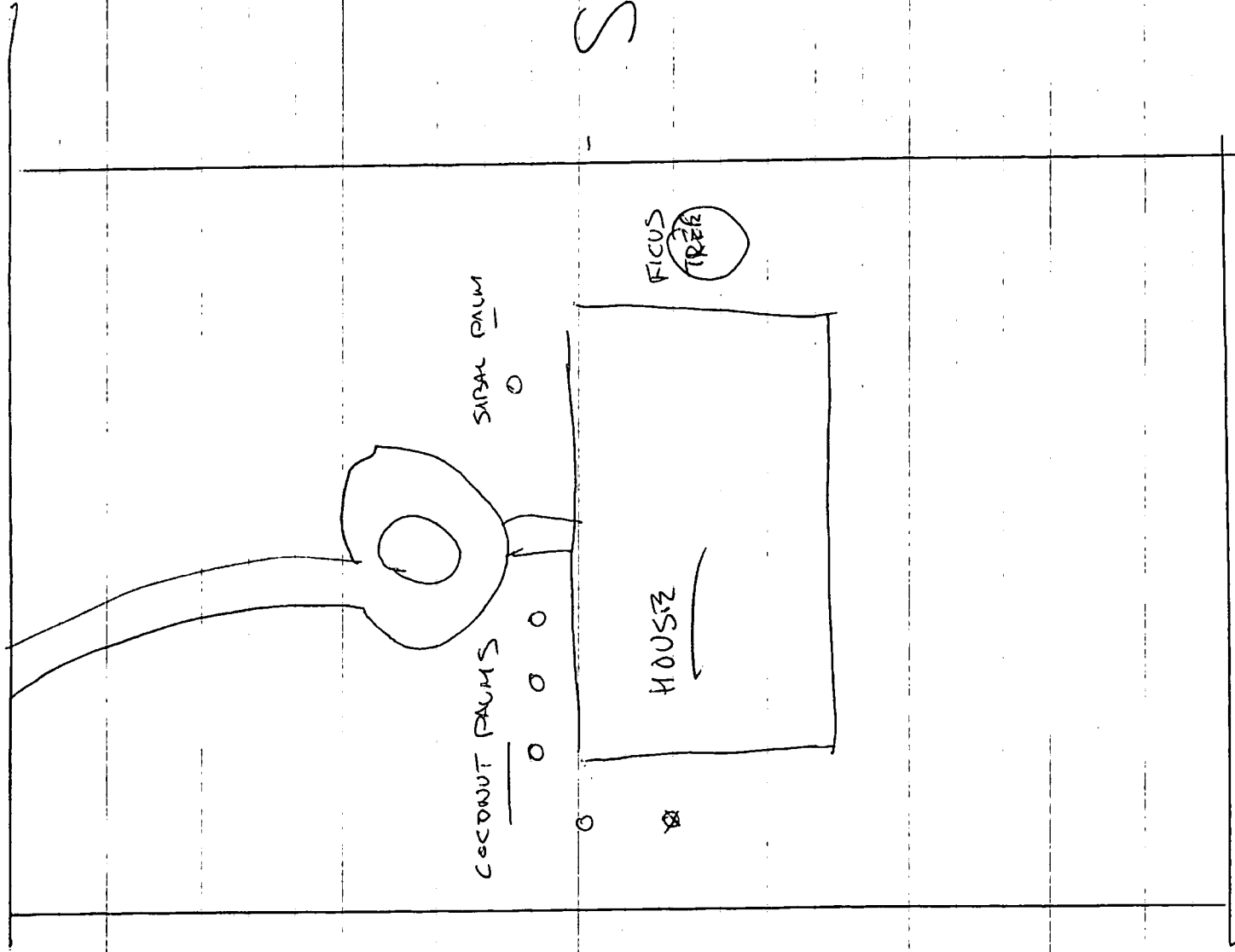
Approved by Building Inspector: [Signature] Date 2/25 Fee: 0

Plans approved as submitted _____ Plans approved as revised/marked: _____



E

S. RIVER RD



2

S

ST. LUCIE RIVER

W