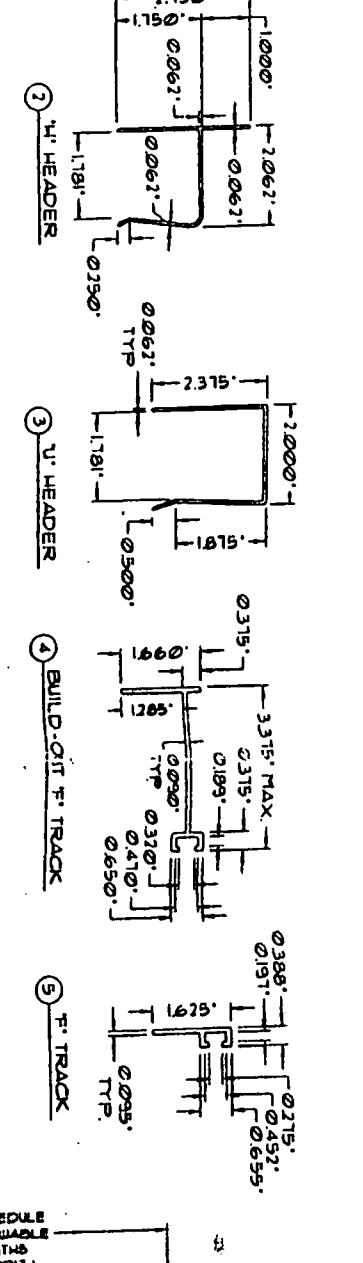
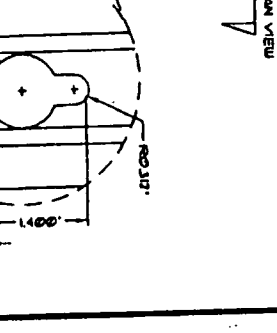
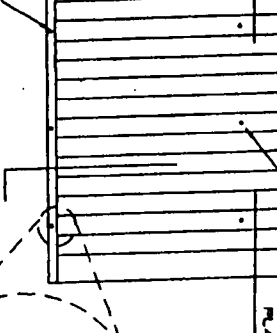
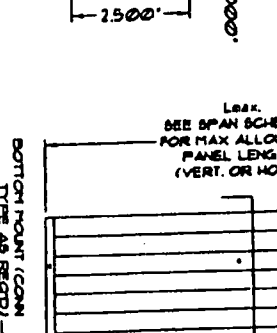
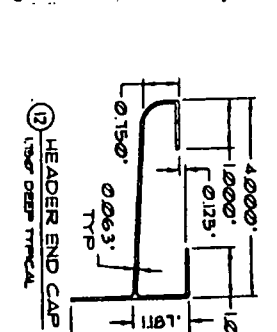
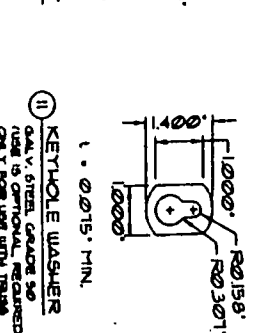
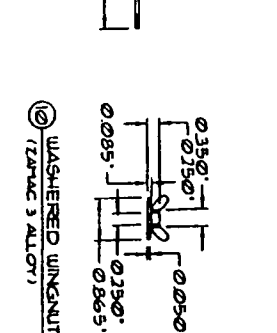
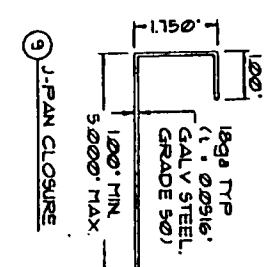
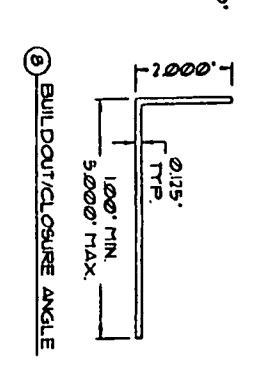
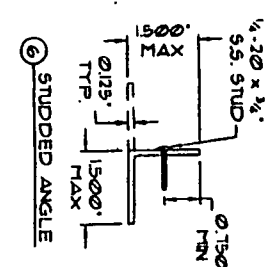
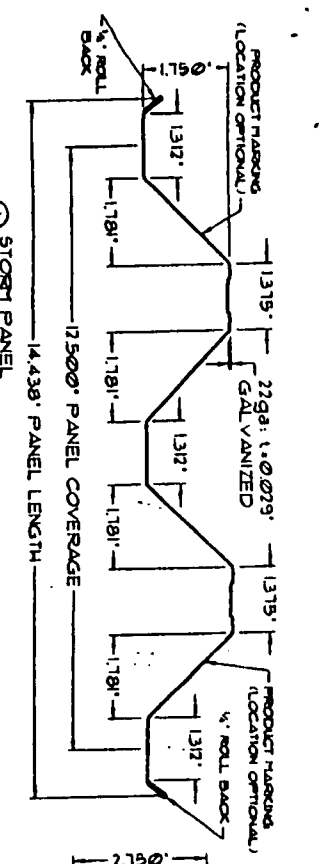


72 South River Road

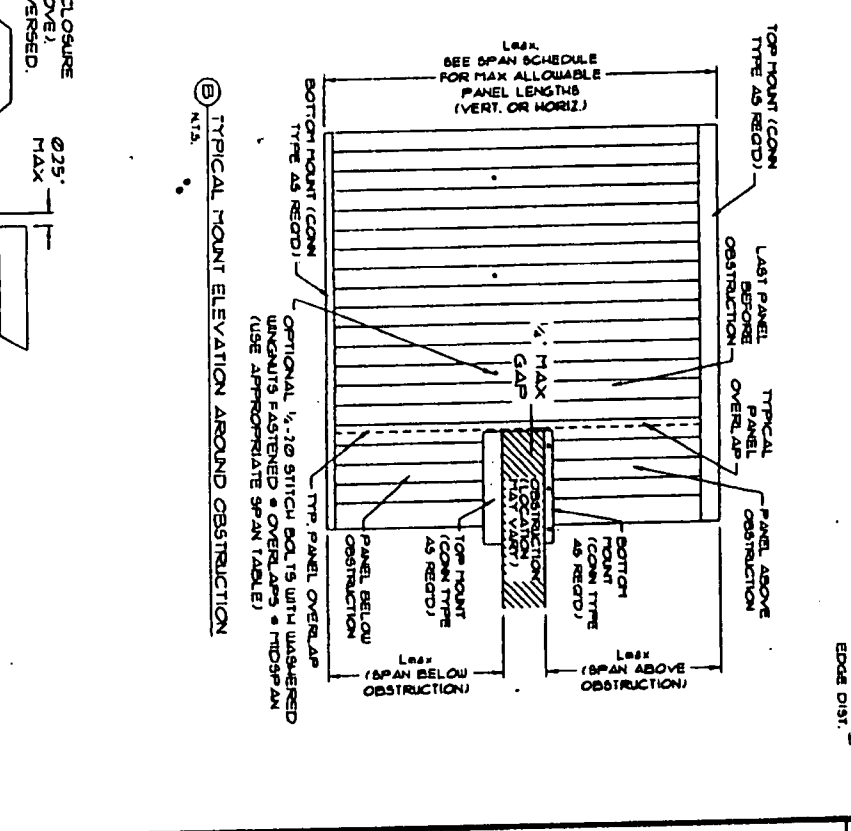
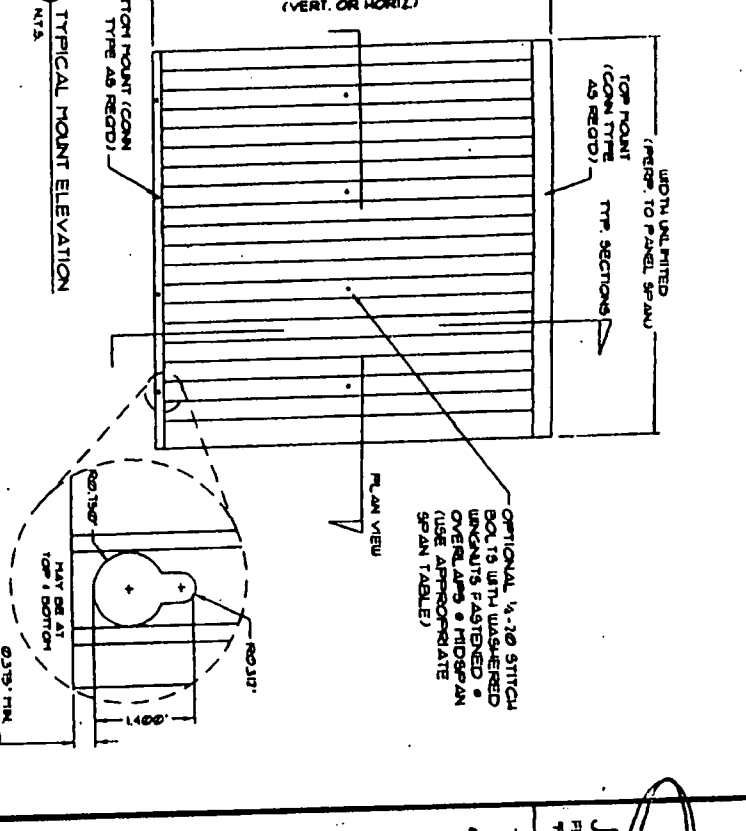
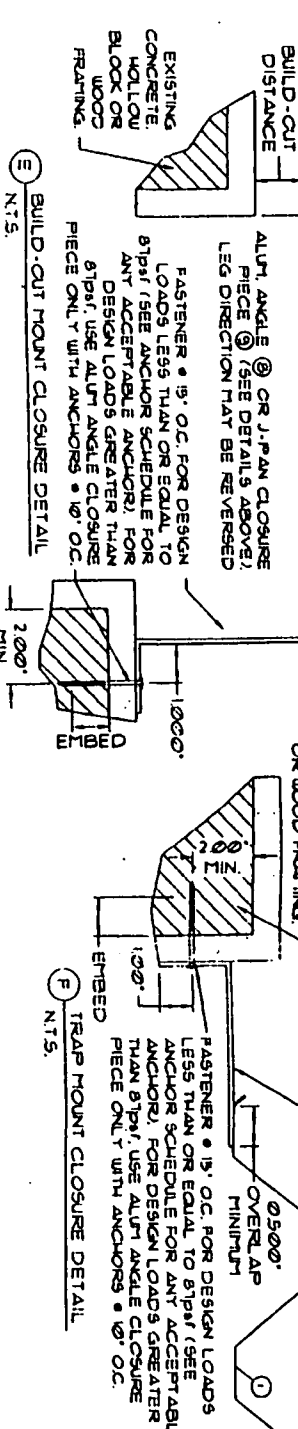
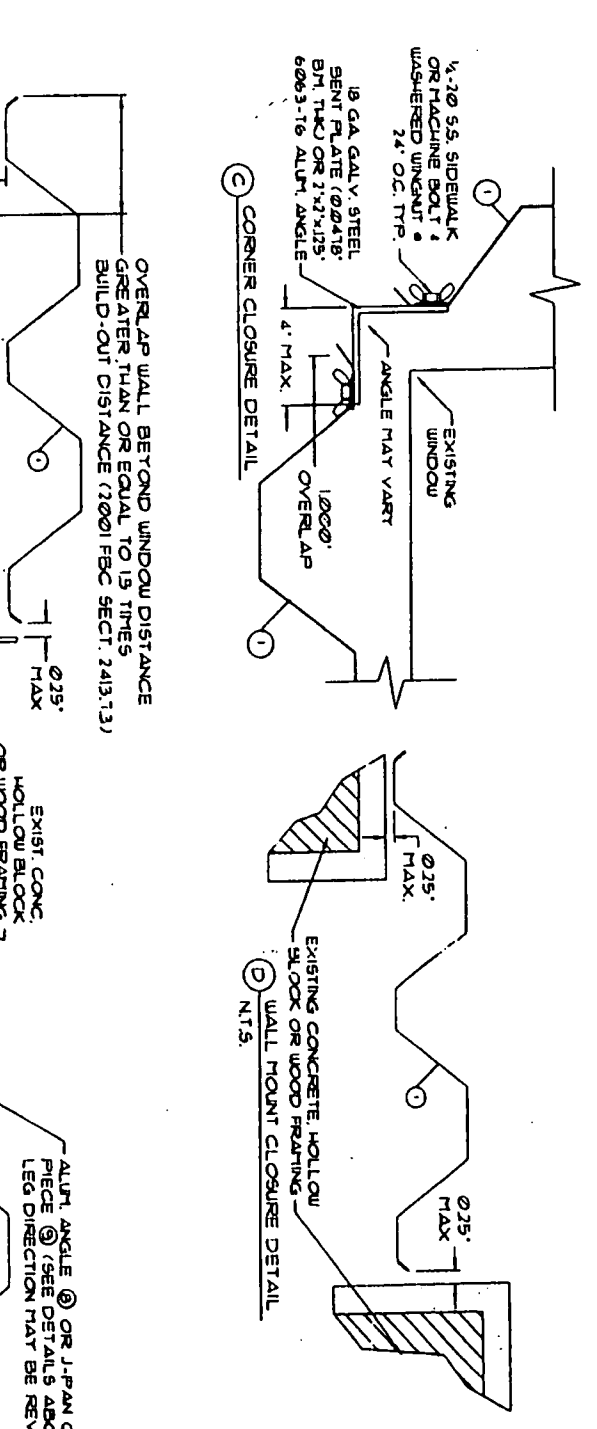
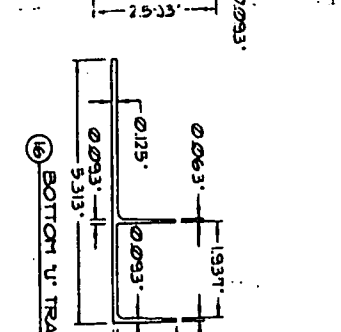
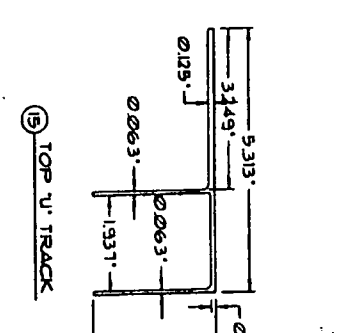
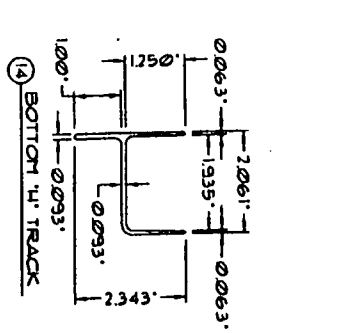
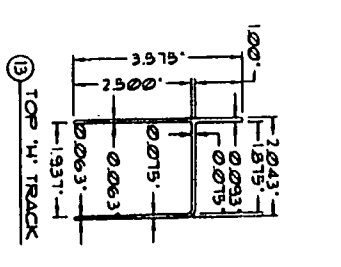


GENERAL NOTES:

- THIS SHUTTER SYSTEM HAS BEEN DESIGNED AND TESTED AS A LARGE MISSILE IMPACT PROTECTIVE SYSTEM IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2001 AND PROTOCOLS T-510 FOR LARGE MISSILE IMPACT T-510 FOR UNIFORM STATIC AIR PRESSURE AND T-520 FOR CYCLIC WIND LOADING.
- NO 33% INCREASE IN ALLOWABLE STRESS HAS BEEN USED IN THE DESIGN OF THE ANCHOR SPACING TABLES.
- POSITIVE AND NEGATIVE DESIGN PRESSURES TO BE USED WITH THESE DRAWINGS SHALL BE DETERMINED BY OTHERS ON A JOB-SPECIFIC BASIS IN ACCORDANCE WITH THE GOVERNING CODE. WHEN ASCE 7-98 IS USED TO CALCULATE PRESSURES FOR USE WITH THIS PRODUCT, THE USE OF A DIRECTIONALITY FACTOR $K_d=0.85$ IS ALLOWED.
- THE SHUTTER SYSTEM DETAILED HEREIN IS GENERIC AND DOES NOT PROVIDE INFORMATION FOR A SPECIFIC SITE. IF SITE CONDITIONS DEVIATE FROM THE CONDITIONS DETAILED HEREIN, A LICENSED ENGINEER OR REGISTERED ARCHITECT SHALL PREPARE SITE SPECIFIC DOCUMENTS TO BE USED IN CONJUNCTION WITH THIS DOCUMENT.
- PERMIT HOLDER SHALL VERIFY THE ADEQUACY OF THE EXISTING STRUCTURE TO WITHSTAND ADDITIONAL IMPOSED LOADS.
- STORM PANELS SHALL BE 22GA STEEL (GALVANIZED THICKNESS 1.0293" MIN), CONFORMING TO ASTM A653, STRUCTURAL QUALITY, GRADE 80, G50 GALV. COATING WITH A MIN. F_{1.5} @ 95. ALL EXTRUSIONS SHALL BE 6063-T6 ALUMINUM ALLOY, UNO.

- PANELS SHALL BE PERMANENTLY LABELED WITH A MINIMUM OF ONE MARKING PER PANEL AS FOLLOWS:
FLORIDA STORM PANELS, INC.
OPA-LOCKA, FLORIDA
MIAMI DADE COUNTY PROD. CONTROL APPROVED
- STORM PANELS HAVE BEEN DESIGNED AND TESTED TO THE MAXIMUM SPANS AND LOADS SHOWN ON THESE DRAWINGS. REFERENCE CONSTRUCTION TESTING CORPORATION (C.T.C.) OF MIAMI, FL. TEST REPORT NO. 07-041.
- TOP & BOTTOM DETAILS SHOWN MAY BE INTERCHANGED AS FIELD CONDITIONS DICTATE. PANELS MAY BE MOUNTED HORIZONTALLY WHERE APPLICABLE, EXCEPT FOR MOUNTING CONDITIONS INCLUDING "U" OR "V" HEADERS.
- ALL BOLTS & WASHERS SHALL BE ZINC COATED, GALVANIZED OR STAINLESS STEEL WITH A MINIMUM TENSILE STRENGTH OF 60 KSI.

- OVERLAP WALL BEYOND WINDOW DISTANCE GREATER THAN OR EQUAL TO 19 TIMES BUILD-OUT DISTANCE (2001 FBC SECT. 2413.13)
- EXIST. CONC. HOLLOW BLOCK OR WOOD FRAMING.
- ALUM. ANGLE @ OR J-PAN CLOSURE PIECE @ (SEE DETAILS ABOVE) LEG DIRECTION MAY BE REVERSED.
- FASTENER @ 19" OC FOR DESIGN LOADS LESS THAN OR EQUAL TO 81PSF (SEE ANCHOR SCHEDULE FOR ANY ACCEPTABLE ANCHORS). FOR DESIGN LOADS GREATER THAN 81PSF, USE ALUM. ANGLE CLOSURE PIECE ONLY WITH ANCHORS @ 10" OC.
- ALUM. ANGLE @ OR J-PAN CLOSURE PIECE @ (SEE DETAILS ABOVE) LEG DIRECTION MAY BE REVERSED.
- FASTENER @ 19" OC FOR DESIGN LOADS LESS THAN OR EQUAL TO 81PSF (SEE ANCHOR SCHEDULE FOR ANY ACCEPTABLE ANCHORS). FOR DESIGN LOADS GREATER THAN 81PSF, USE ALUM. ANGLE CLOSURE PIECE ONLY WITH ANCHORS @ 10" OC.



Approved as complying with the Florida Building Code
Date 01/13/2003
NO. CF-1120-01
Miami Dade Product Control
By Frank L. Bennardo, P.E.

REVISIONS	DATE

DATE: 01/13/03
DRAWN BY: CL
CHECKED BY: FB
PRINT DATE: 1/13/03
DWS: 07-06B-111

FLORIDA STORM PANELS, INC.
14475 N.W. 26th AVENUE
OPA-LOCKA, FL 33054
22ga GALVANIZED
STEEL STORM PANELS

FRANK L. BENNARDO, P.E.
CONSULTING ENGINEER
4441 NORTH DIXIE HIGHWAY
BOCA RATON, FL 33431
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WWW.FLBENGINEERING.COM
EMAIL: FRANK@FLBENGINEERING.COM

JAN 09 2003
FRANK L. BENNARDO, P.E.
PE00045345

MINIMUM SEPARATION FROM GLASS SCHEDULE

Positive Load (psf)	Span Less Than:	Separation (inches) at $\leq 30'$	Separation (inches) at $> 30'$
30	6'-0"	2.75"	1.22"
	8'-8"	2.75"	1.94"
	10'-5"	3.00"	3.00"
35	6'-0"	2.75"	1.25"
	8'-8"	2.75"	2.10"
	10'-0"	3.00"	3.00"
40	6'-0"	2.75"	1.29"
	8'-8"	2.75"	2.26"
	9'-8"	3.00"	3.00"
45	6'-0"	2.75"	1.32"
	8'-8"	2.75"	2.41"
	9'-4"	2.92"	2.92"
50	6'-0"	2.75"	1.36"
	8'-10"	2.75"	2.73"
60	6'-0"	2.75"	1.43"
	8'-1"	2.75"	2.44"
70	6'-0"	2.75"	1.51"
	7'-6"	2.75"	2.24"

TABLE T2 NOTES:

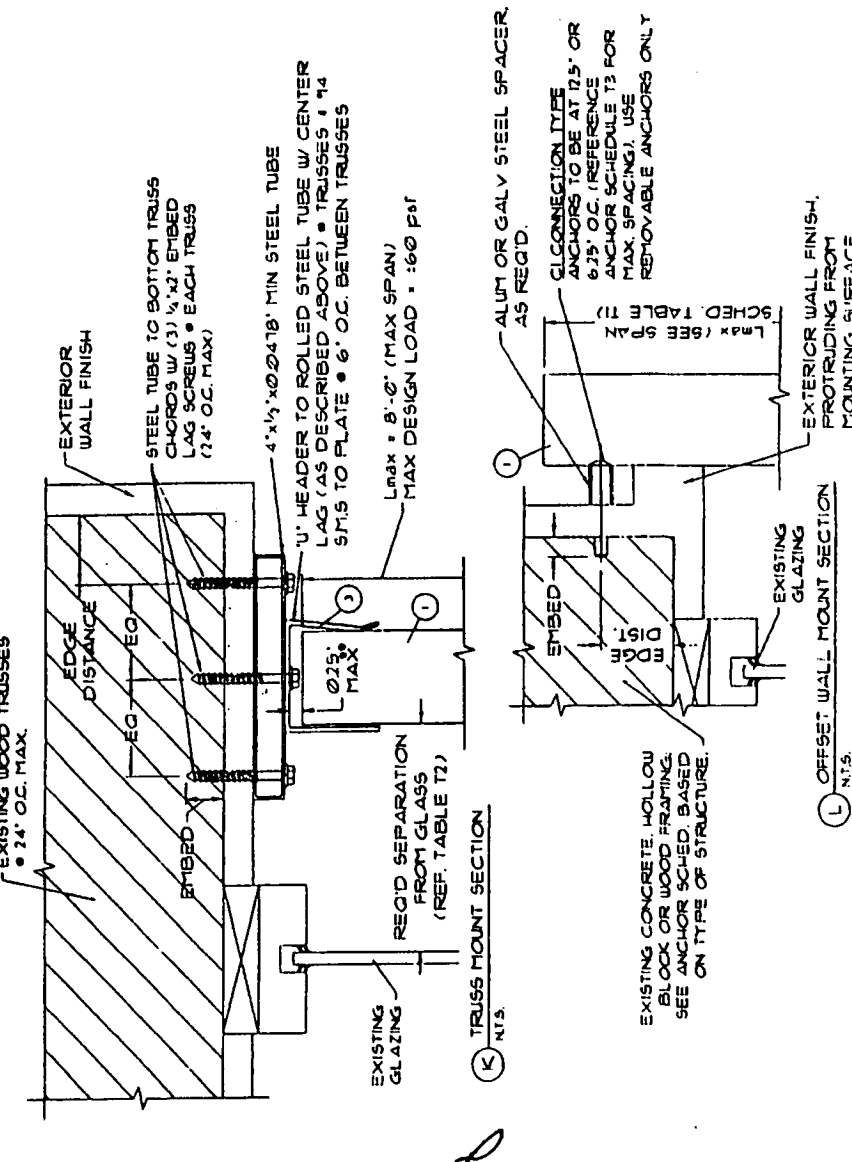
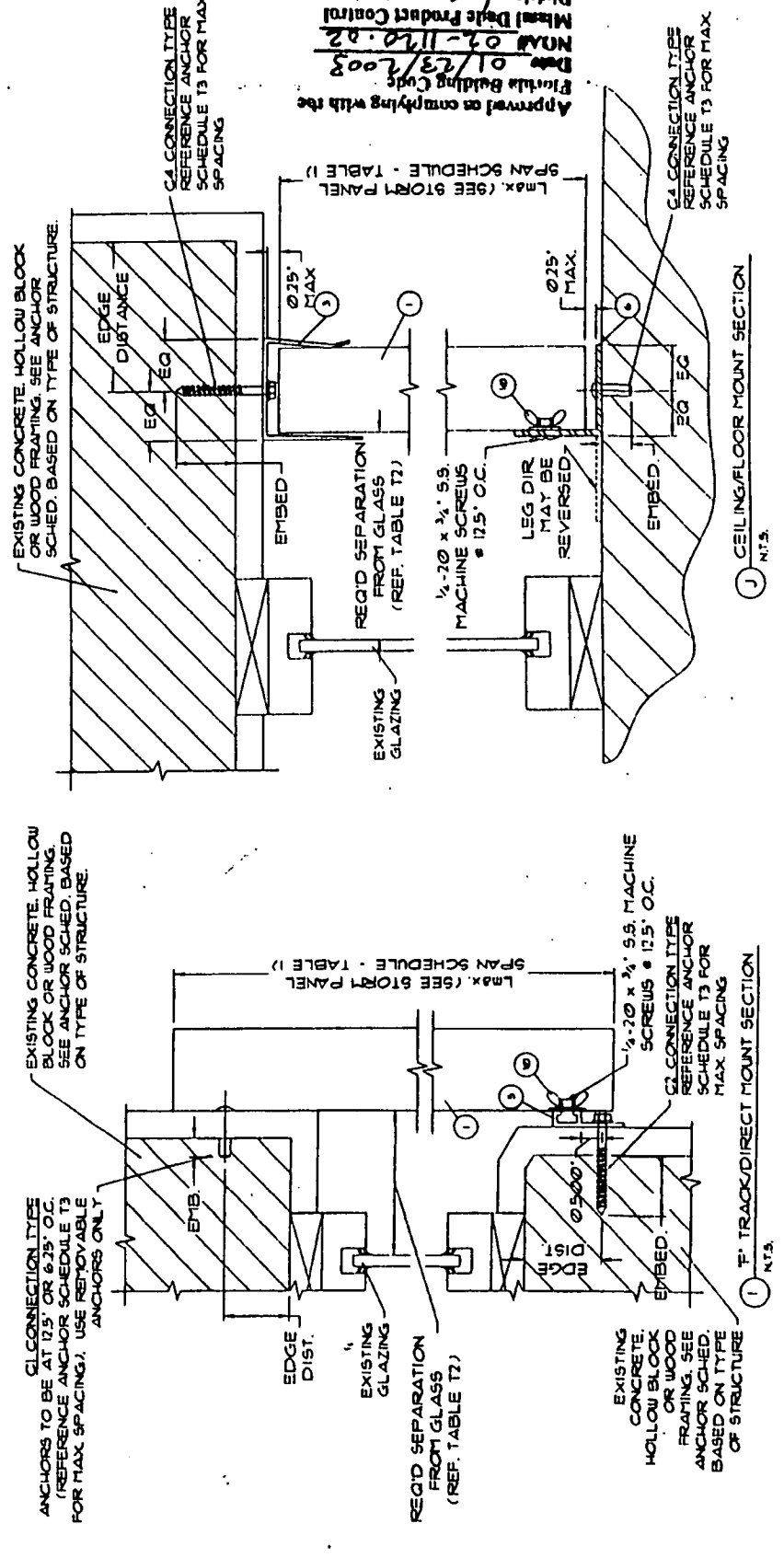
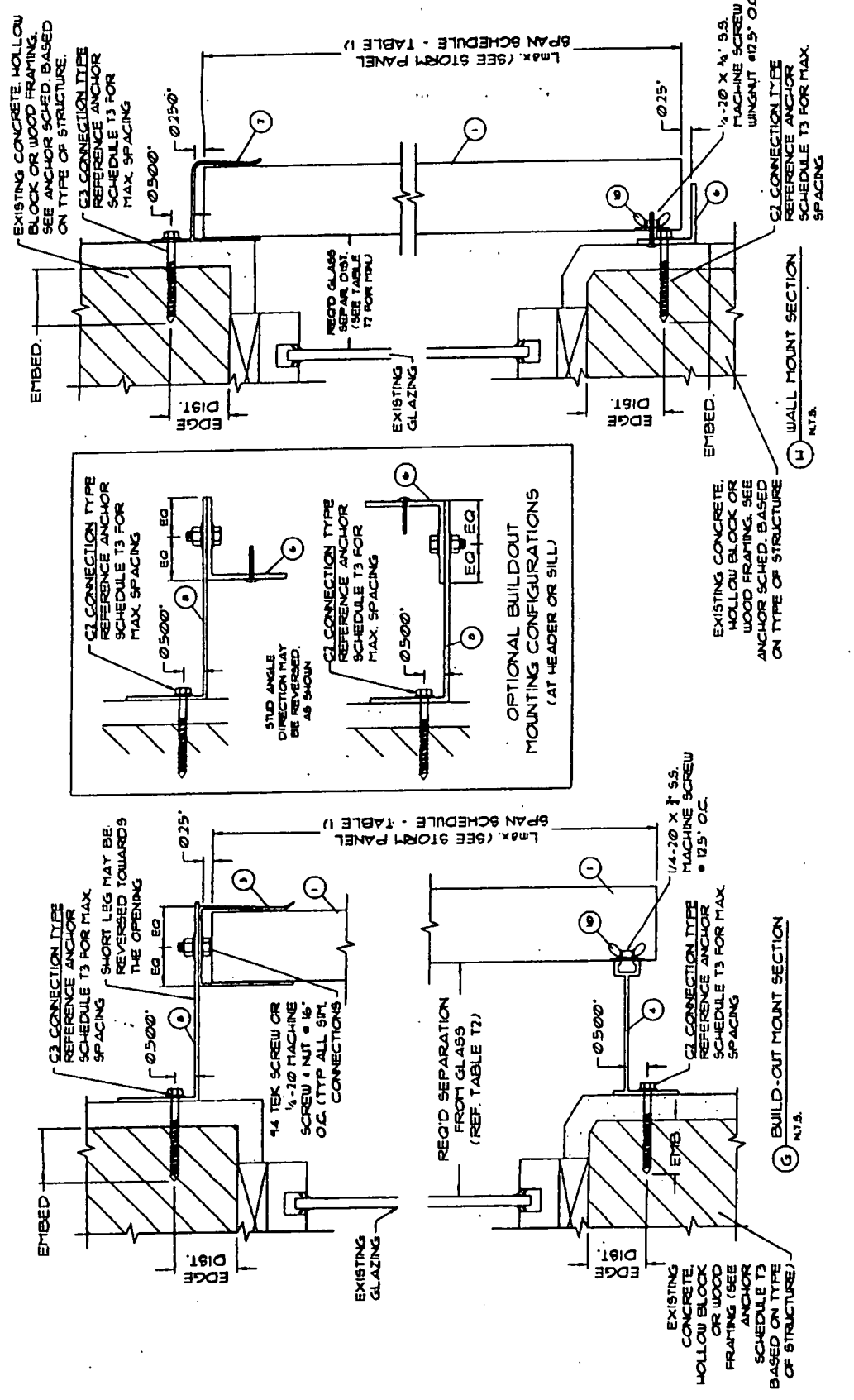
1. ENTER SPAN SCHEDULE WITH POSITIVE DESIGN LOAD TO DETERMINE MINIMUM ALLOWABLE STORM PANEL SEPARATION FROM GLASS OR DOOR TO BE PROTECTED. SCHEDULE IS REQUIRED FOR USE WITH POSITIVE LOADS ONLY.
2. INTERPOLATION BETWEEN LOADS IS ACCEPTABLE. OTHERWISE USE NEXT HIGHER LOAD.

MAXIMUM ALLOWABLE SPAN SCHEDULE

Load W (psf)	No Stitch Bolts L _{MAX} (ft)	Stitch Bolts At Midspan L _{MAX} (ft)
25	10'-7"	10'-7"
30	10'-5"	10'-5"
35	10'-0"	10'-0"
39	9'-9"	9'-9"
40	9'-8"	9'-8"
45	9'-4"	9'-5"
49	8'-11"	8'-3"
50	8'-10"	8'-2"
55	8'-5"	8'-11"
58	8'-2"	8'-10"
60	8'-1"	8'-9"
65	7'-9"	8'-3"
70	7'-6"	7'-8"
72	7'-4"	7'-6"
75	7'-2"	7'-2"
80	6'-9"	6'-9"
90	6'-0"	6'-0"
100	5'-4"	5'-4"
110	4'-10"	4'-10"
120	4'-6"	4'-6"
130	4'-1"	4'-1"

SPAN SCHEDULE NOTES:

1. ENTER SPAN SCHEDULE WITH NEGATIVE DESIGN LOAD TO DETERMINE MAXIMUM ALLOWABLE STORM PANEL SPAN. SCHEDULE IS ACCEPTABLE FOR USE WITH POSITIVE LOADS LESS THAN OR EQUAL TO NEGATIVE DESIGN LOADS.
2. INTERPOLATION BETWEEN LOADS IS ACCEPTABLE. OTHERWISE USE NEXT HIGHER LOAD.



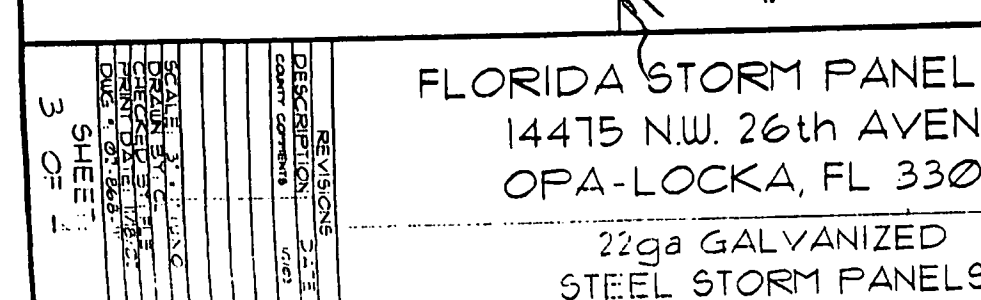
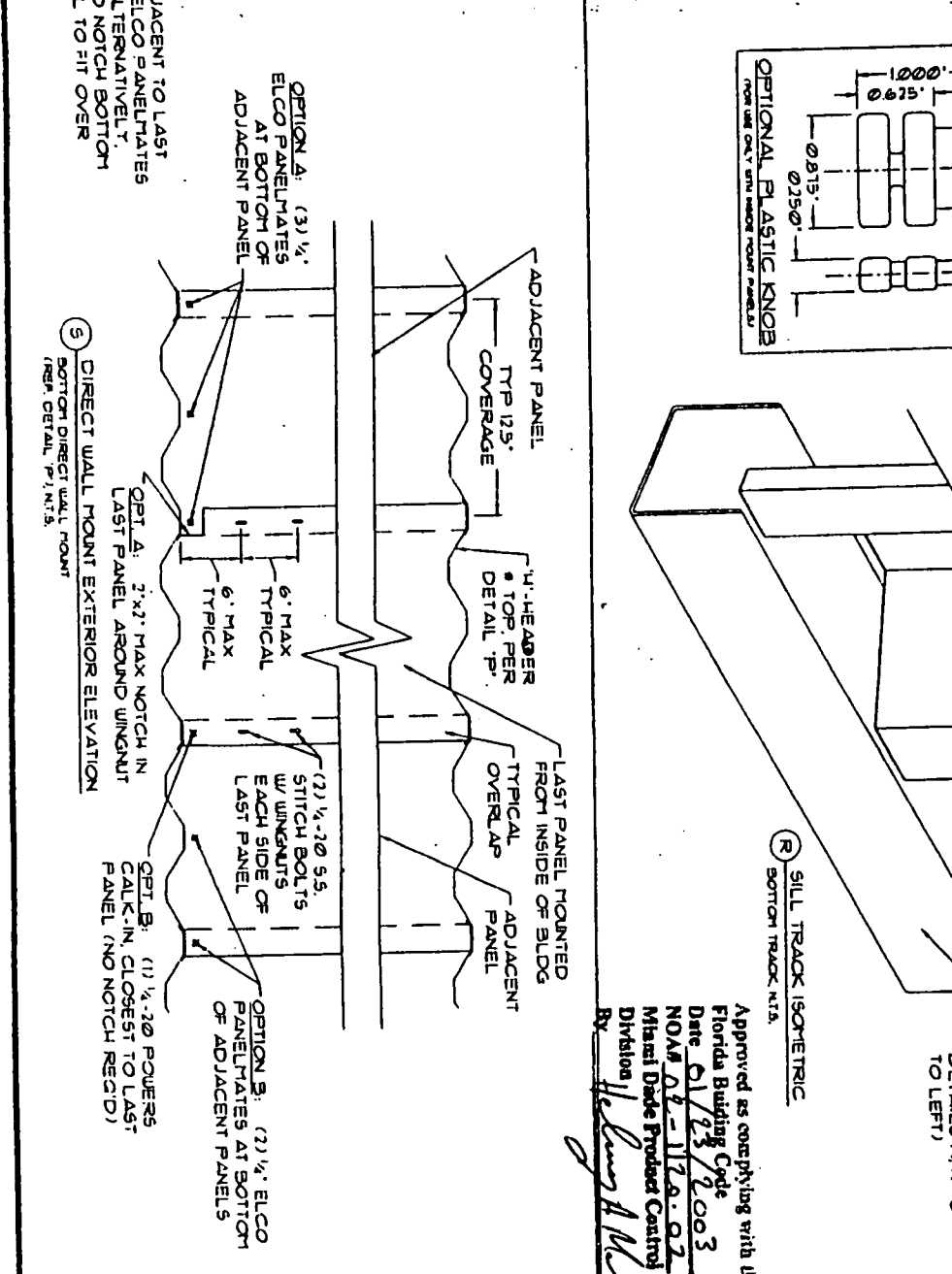
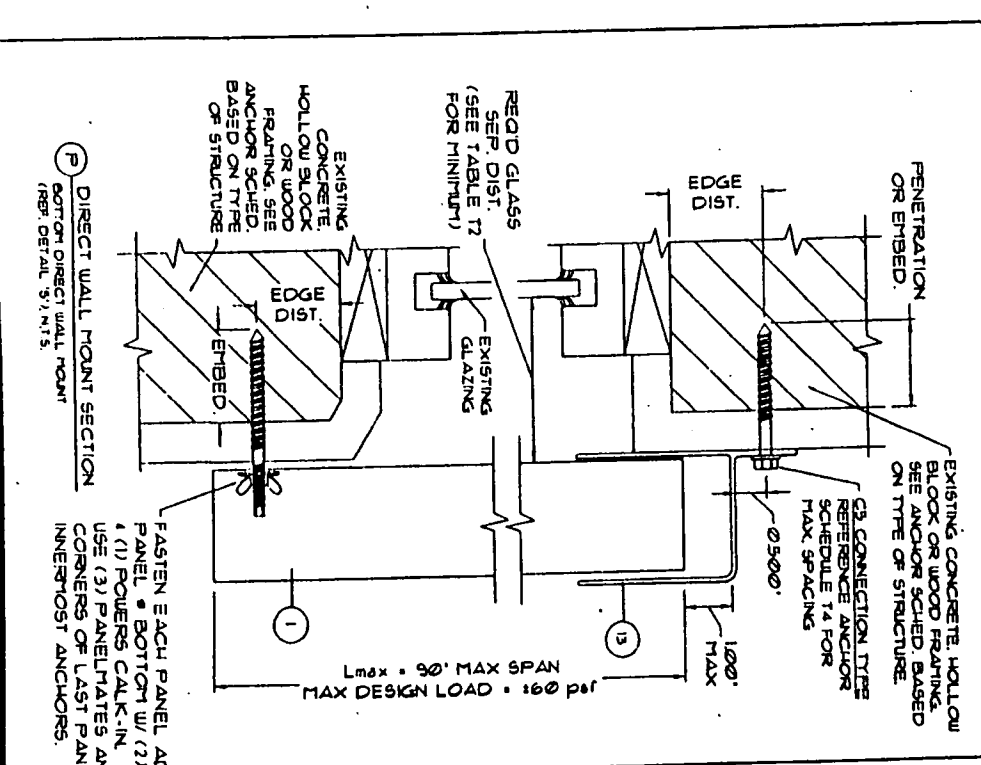
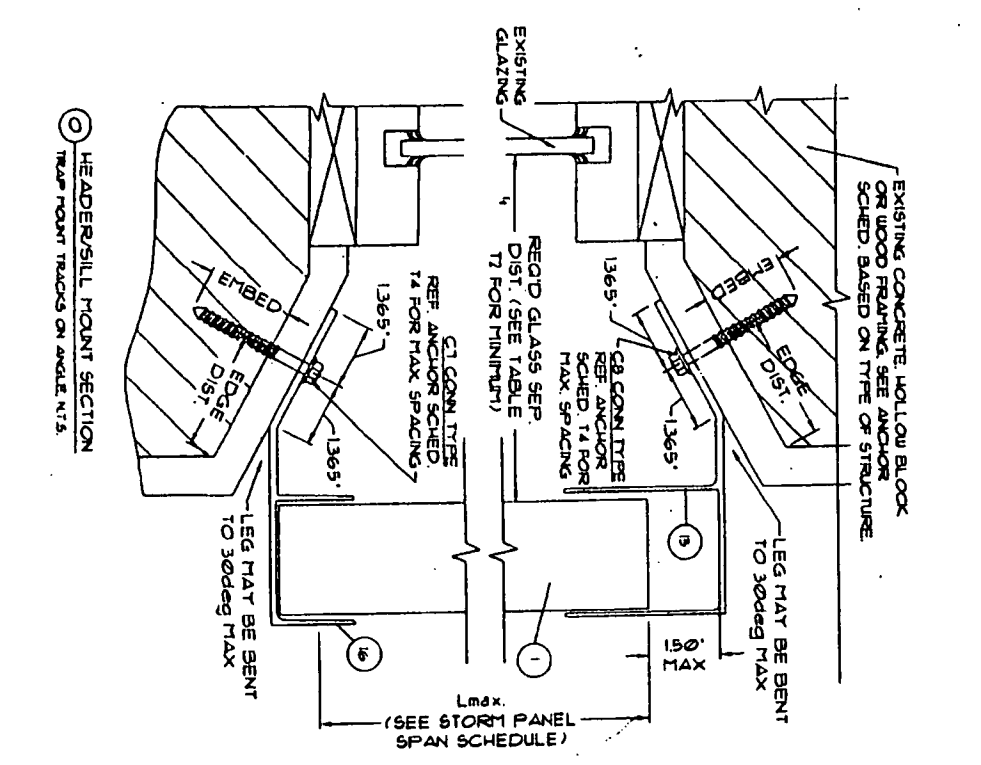
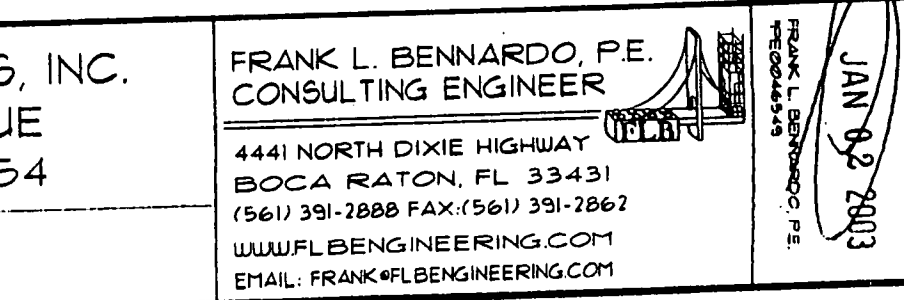
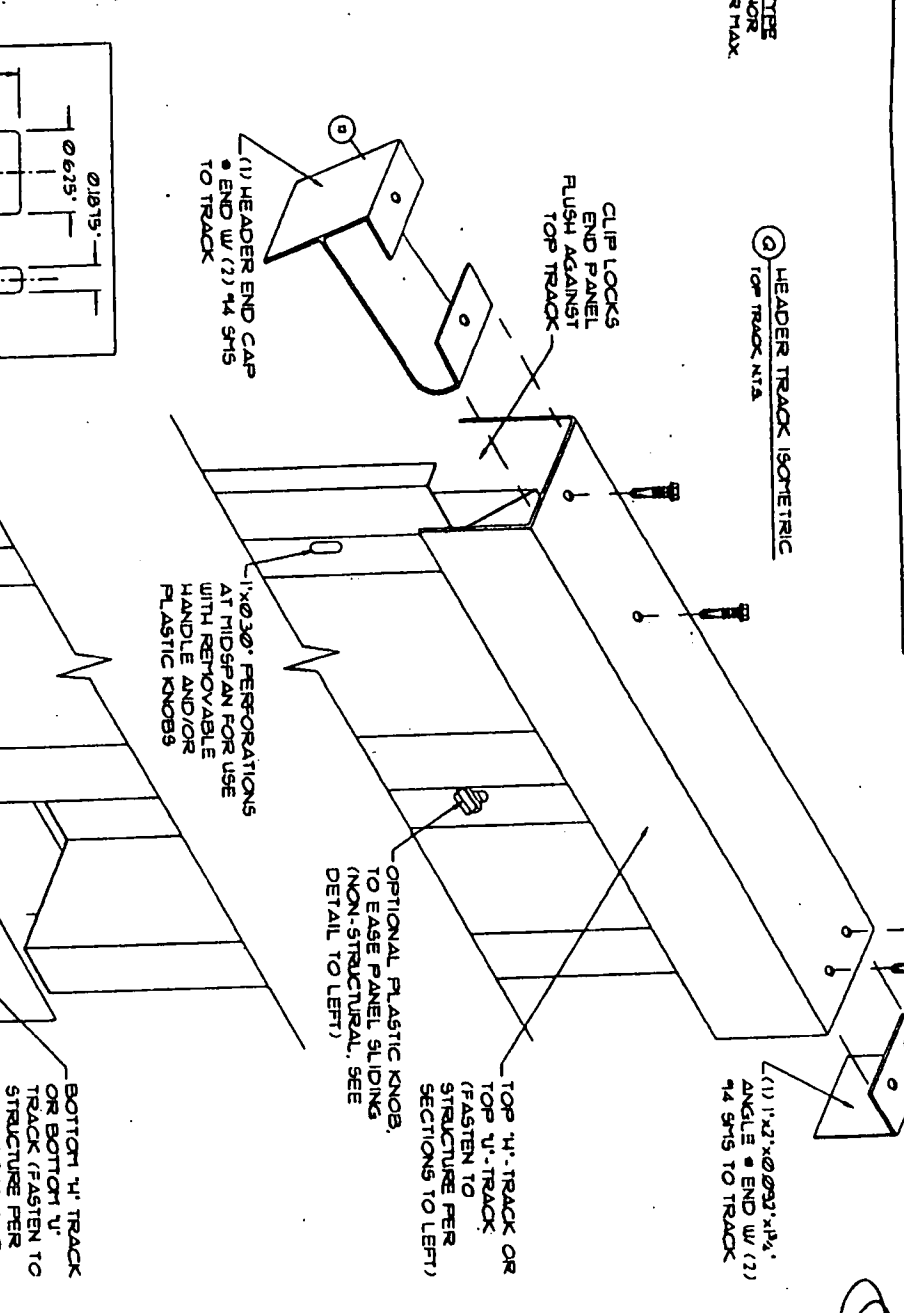
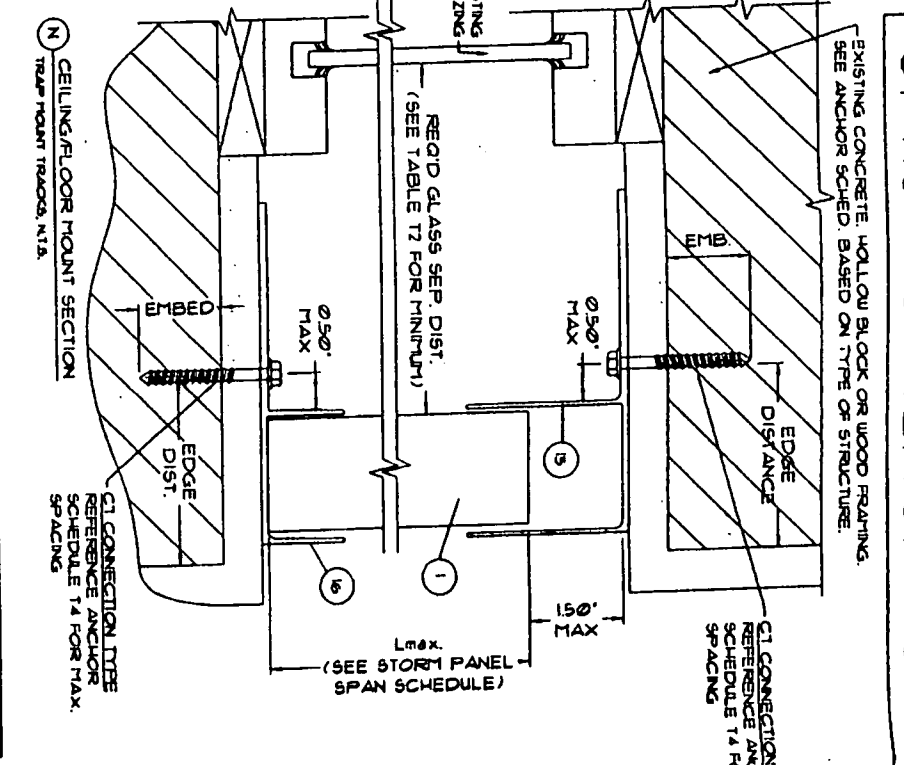
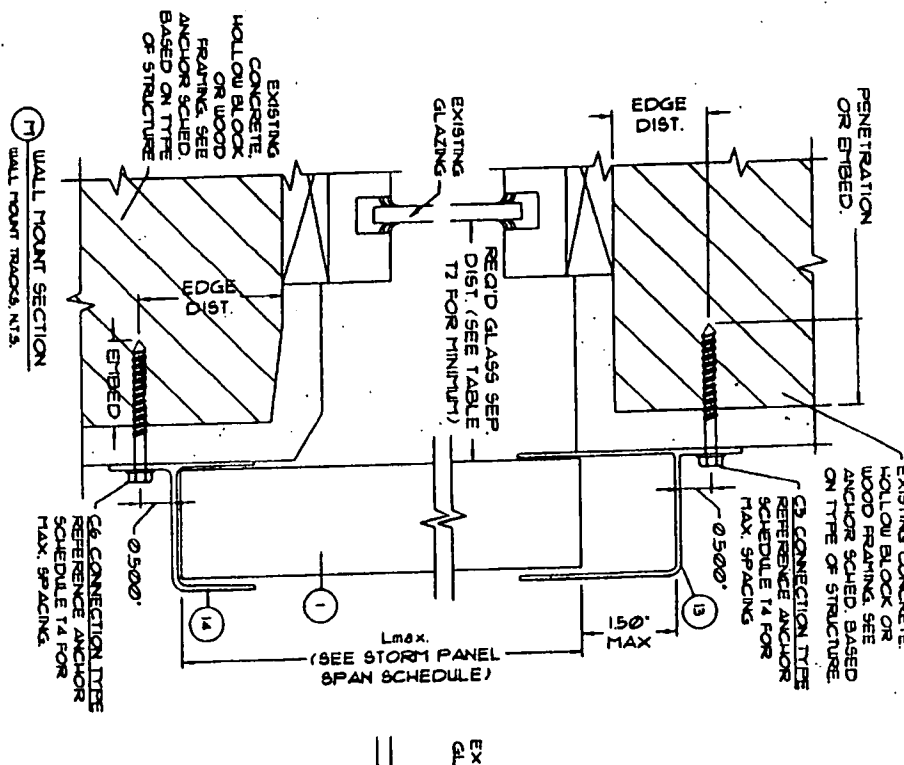
FLORIDA STORM PANELS, INC.
 14475 N.W. 26th AVENUE
 OPA-LOCKA, FL 33054
 22ga GALVANIZED
 STEEL STORM PANELS

FRANK L. BENNARDI, P.E.
 CONSULTING ENGINEER
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 BOCA RATON, FL 33431
 (561) 391-2888 FAX: (561) 391-2862
 WWW.FLBENGINEERING.COM
 EMAIL: FRANK@FLBENGINEERING.COM

JAN 02 2003

REVISIONS
 DESCRIPTION DATE
 COUNTY COMMENTS
 SCALE: 1/4" = 1'-0"
 DRAWN BY: J.C.
 CHECKED BY: J.C.
 DATE: 01/23/2003
 PLOT: 01/23/2003
 SHEET: 2 OF 4

OPTIONAL INTERIOR MOUNT INSTALLATION DETAILS



APPROVED AS COMPLYING WITH THE
 Florida Building Code
 Date 01/23/2003
 NO. 07-1172-07
 Miscal Dade Product Control
 Division
 By: *William H. W.*

FRANK L. BENNARDO, P.E.
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 WWW.FLBENGINEERING.COM
 EMAIL: FRANK@FLBENGINEERING.COM

JAN 22 2003
 FRANK L. BENNARDO, P.E.
 P.E. 00044545

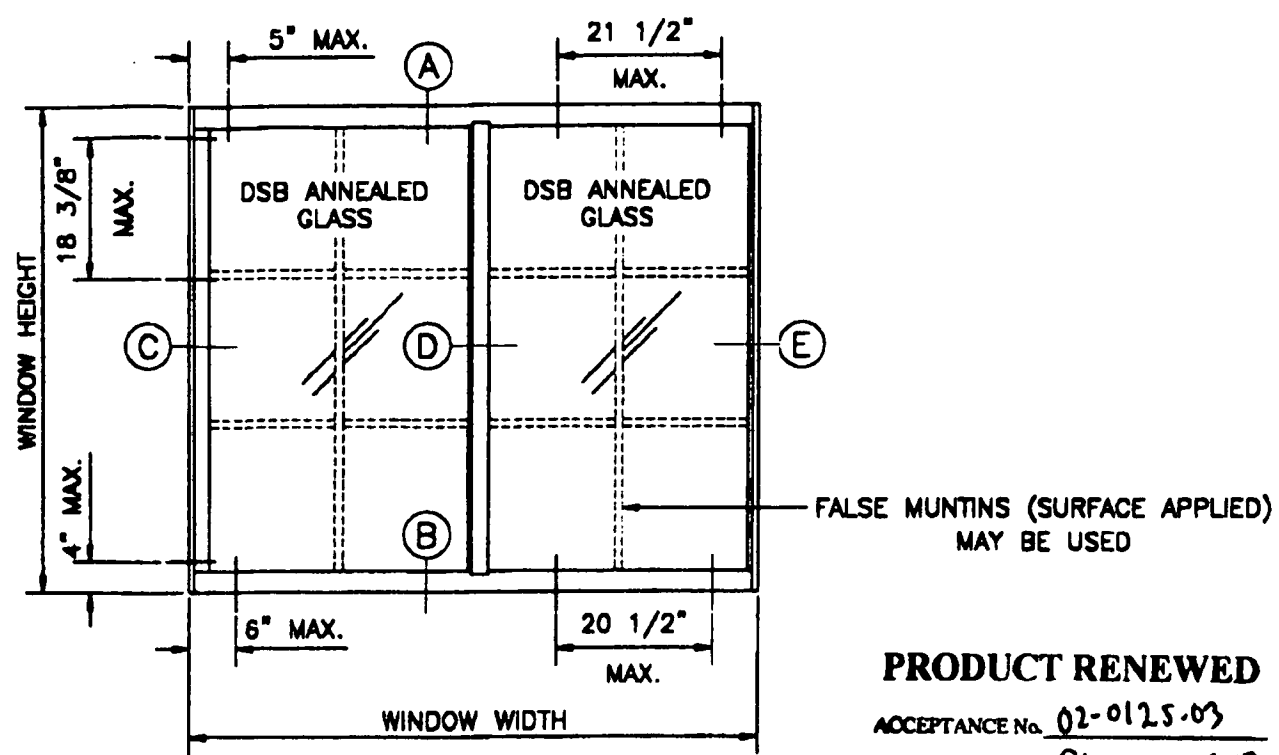
FLORIDA STORM PANELS, INC.
 14475 N.W. 26th AVENUE
 OPA-LOCKA, FL 33054
 22ga GALVANIZED
 STEEL STORM PANELS

REVISIONS
 DESCRIPTION
 DATE
 1
 2
 3

SCALE: 3/8\"/>

3 OF 1 SHEET

COMPARATIVE ANALYSIS CHART								
SERIES-1690								
ALUMINUM HORIZONTAL SLIDING WINDOW (XO)								
DESIGN LOAD CAPACITY-PSF								
WINDOW DIMENSION		ANCHORS		1 3/4" SILL		2 1/2" SILL		
		PER HEAD & SILL	PER JAMB	EXT.	INT.	EXT.	INT.	
WIDTH	HEIGHT							
STANDARD SIZES	28 1/2"	26"	3	3	55.3	140.0	70.0	140.0
	37"		3		55.3	140.0	70.0	140.0
	53 1/8"		4		55.3	115.3	70.0	115.3
	74"		5		55.3	80.1	70.0	80.1
	28 1/2"	38 3/8"	3	3	55.3	140.0	70.0	140.0
	37"		3		55.3	110.1	70.0	110.1
	53 1/8"		4		55.3	72.8	70.0	72.8
	74"		5		50.6	50.6	50.6	50.6
	37"	50 5/8"	3	4	55.3	80.7	70.0	80.7
	53 1/8"		4		53.4	53.4	53.4	53.4
	74"		5		37.1	37.1	37.1	37.1
	37"		3		55.3	83.6	63.6	63.6
MODULAR SIZES	53 1/8"	63"	4	5	42.0	42.0	42.0	42.0
	74"		5		29.2	29.2	29.2	29.2
	24"	24"	2	2	55.3	140.0	70.0	140.0
	36"		3		55.3	140.0	70.0	140.0
	48"		4		55.3	140.0	70.0	140.0
	60"		4		55.3	111.2	70.0	111.2
	72"	5	55.3	91.1	70.0	91.1		
	24"	36"	2	3	55.3	140.0	70.0	140.0
	36"		3		55.3	122.4	70.0	122.4
	48"		4		55.3	87.8	70.0	87.8
	60"		4		55.3	68.5	68.5	68.5
	72"	5	55.3	56.1	56.1	56.1		
36"	48"	3	4	55.3	88.4	70.0	88.4	
48"		4		55.3	63.5	63.5	63.5	
60"		4		49.5	49.5	49.5	49.5	
72"		5		40.6	40.6	40.6	40.6	
36"	60"	3	5	55.3	69.2	69.2	69.2	
48"		4		49.7	49.7	49.7	49.7	
60"		4		38.7	38.7	38.7	38.7	
72"		5		31.7	31.7	31.7	31.7	



TYPICAL ELEVATION (XO)

PRODUCT RENEWED
 ACCEPTANCE No. 02-0125-03
 EXPIRATION DATE February 28, 2007
 By: *[Signature]*
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE

NOTES:
 1.-SUB-BUCKS SHALL BE PRESSURE TREATED MATERIAL AT LEAST 2" NOMINAL THICKNESS, AND SECURED IN AT LEAST 6 POINTS ON EACH LEG WITH 3" LONG FASTENERS OR EQUIVALENT.
 2.-FASTENERS MUST HAVE THEIR OWN NOTICE OF ACCEPTANCE AND MUST BE MADE OF STAINLESS STEEL OR HAVE ADEQUATE PROTECTION AGAINST CORROSION, PER DIN 50018. ALUMINUM CONTACTING METALS NOT CONSIDERED COMPATIBLE SHALL BE PROPERLY PROTECTED.

MIAMI-DADE IMPACT RESISTANT SHUTTERS REQUIRED

BASED ON FTL-1004 DATED 12-22-84
 TEST SIZE= 74" X 63" (XO)
 TEST LOADS= EXTERIOR PRESSURE +88.2 PSF
 INTERIOR PRESSURE -83.1 PSF
 DESIGN LOADS= EXTERIOR PRESSURE +45.4 PSF
 INTERIOR PRESSURE -55.4 PSF
 WATER INFILTRATION TEST= 8.3 AND 10.5 PSF
 TESTED GLASS= DSB ANNEALED

APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE April 01 1999
 BY: *[Signature]*
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 99-0202-12

[Signature]
 3-20-99
 FRANCISCO HERNANDEZ
 FLORIDA PE # 51393

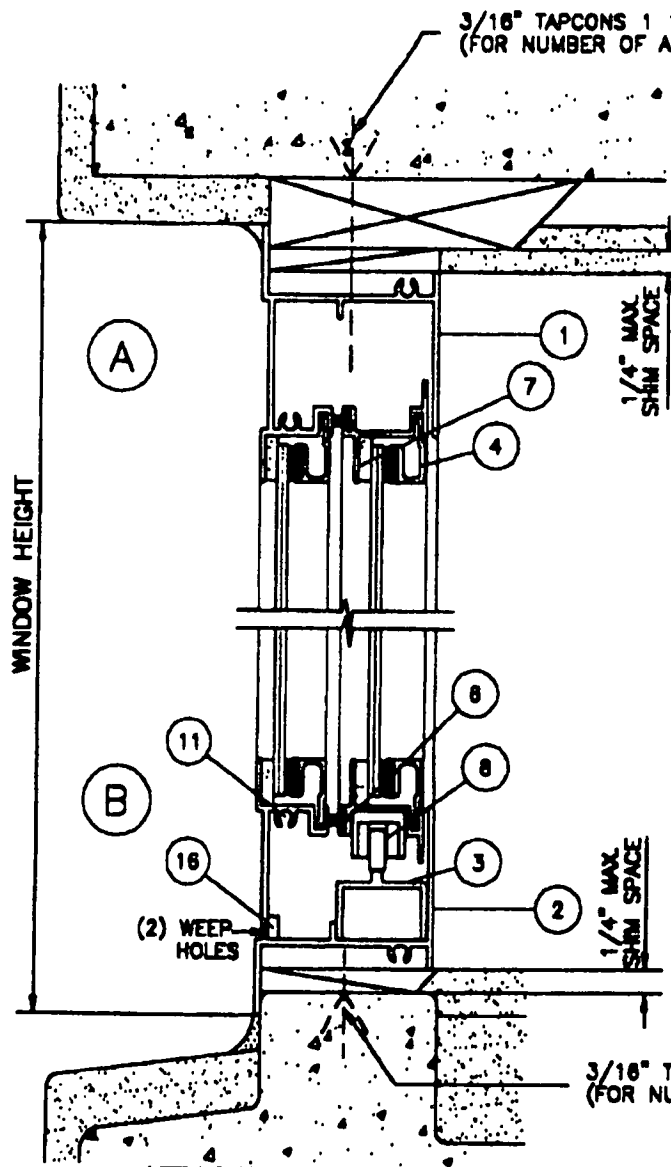
Sunshine Windows
 Manufacturing, Inc.
 1745 W. 33rd Place
 Hialeah, Florida 33012
 Ph: (305) 364-9882
 Fax: (305) 828-8118

FRANCISCO HERNANDEZ, P.E.
 Structural Engineering
 351 NW 82nd Ave #1118
 Miami, Florida 33126
 Phone (305) 266 6670
 Fax (305) 266 3427

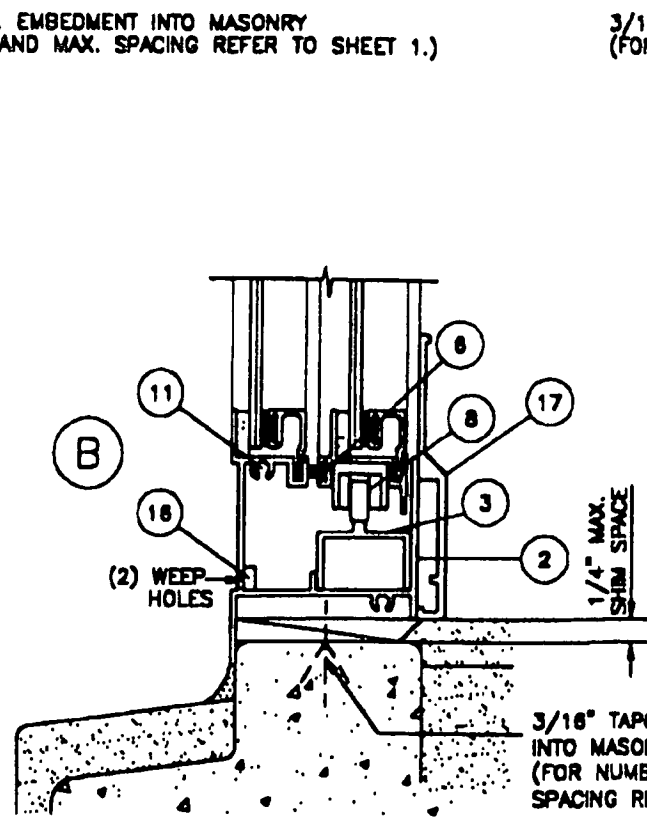
**SERIES 1690 ALUMINUM
 HORIZONTAL SLIDING WINDOW (XO)
 DSB ANNEALED GLASS**

Drawn By: JN
 Date: 3-4-99
 Scale: 1/2" = 1'
 Revision: _____
 Revision: _____

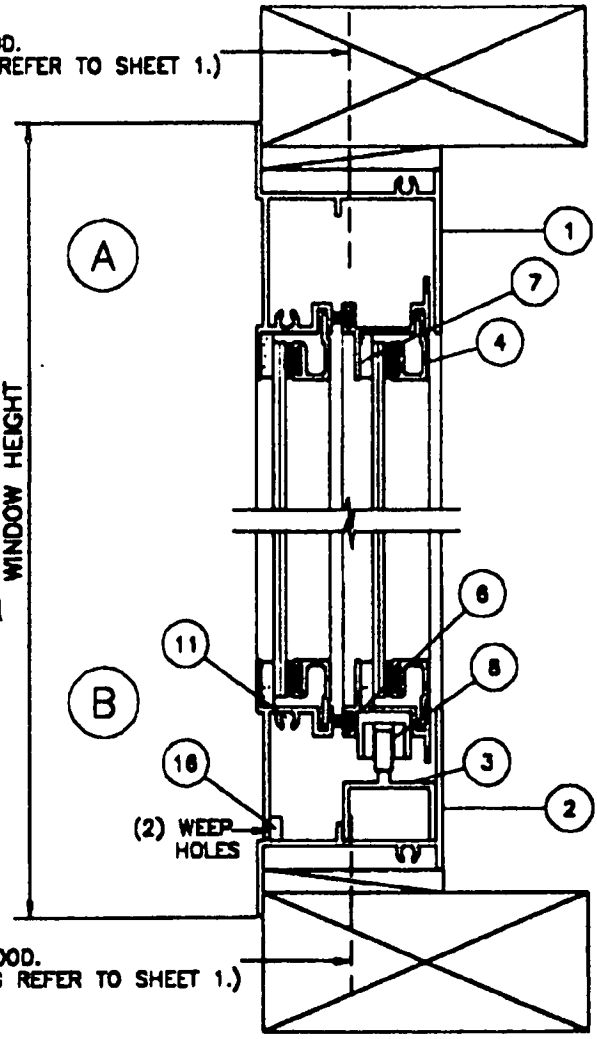
DRAWING NO.
 HS99-01
 SHEET
 1 OF 3



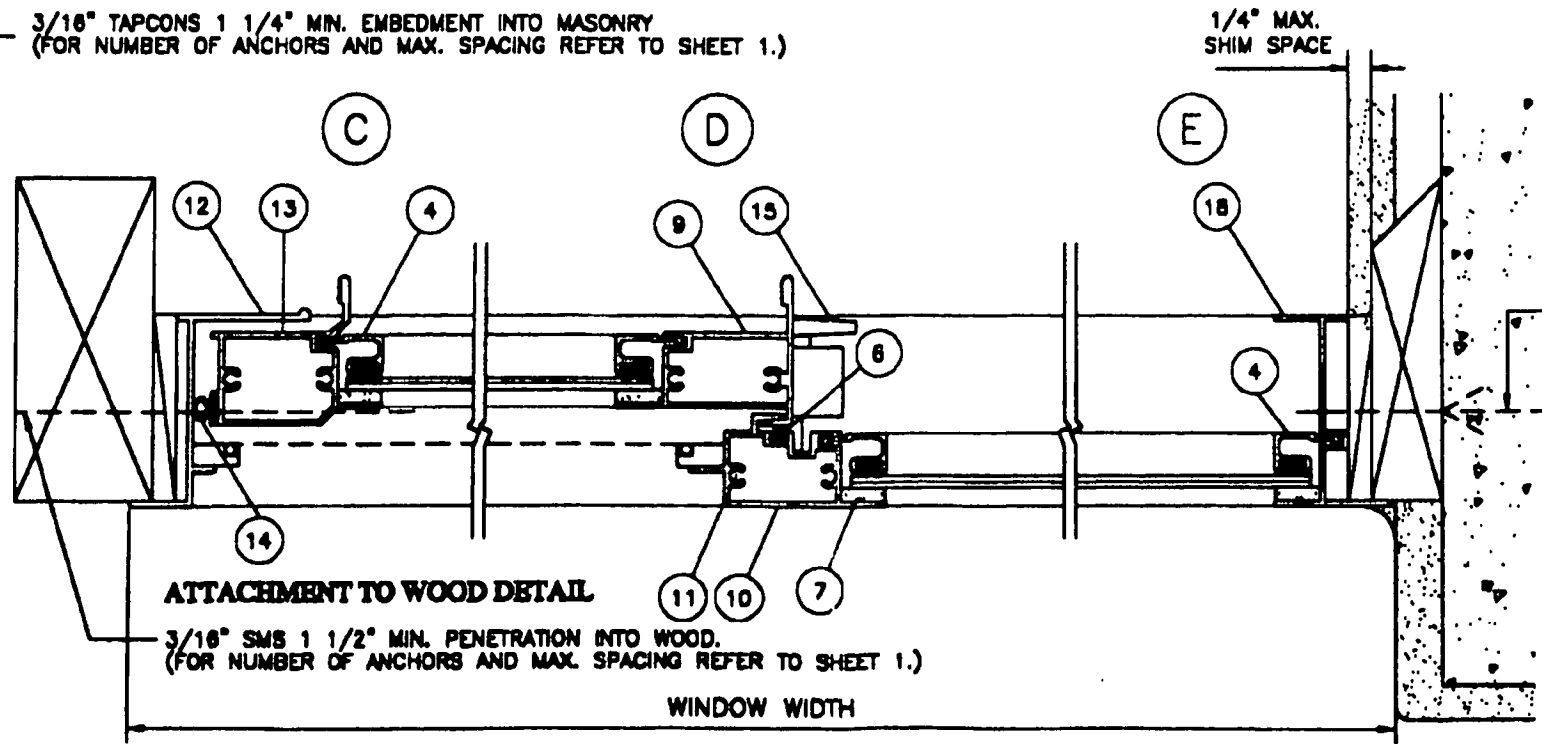
ATTACHMENT TO MASONRY
VERTICAL SECTION



VERTICAL SECTION
WITH SILL RISER



ATTACHMENT TO WOOD
VERTICAL SECTION



ATTACHMENT TO WOOD DETAIL

ATTACHMENT TO MASONRY DETAIL
3/16" TAPCONS 1 1/4" MIN. EMBEDMENT
INTO MASONRY.
(FOR NUMBER OF ANCHORS AND MAX.
SPACING REFER TO SHEET 1.)

HORIZONTAL SECTION

3/16" SMS 1 1/2" MIN. PENETRATION INTO WOOD.
(FOR NUMBER OF ANCHORS AND MAX. SPACING REFER TO SHEET 1.)

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE April 01 1999
BY Manuel Hernandez
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 99-0207-12

PRODUCT RENEWED

ACCEPTANCE No. 02-0125-03
EXPIRATION DATE February 28, 2007
By [Signature]
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE

3/16" TAPCONS 1 1/4" MIN. EMBEDMENT
INTO MASONRY.
(FOR NUMBER OF ANCHORS AND MAX.
SPACING REFER TO SHEET 1.)

3/16" SMS 1 1/2" MIN. PENETRATION INTO WOOD.
(FOR NUMBER OF ANCHORS AND MAX. SPACING REFER TO SHEET 1.)

3/16" TAPCONS 1 1/4" MIN. EMBEDMENT INTO MASONRY
(FOR NUMBER OF ANCHORS AND MAX. SPACING REFER TO SHEET 1.)

1/4" MAX. SHIM SPACE

3/16" SMS 1 1/2" MIN. PENETRATION INTO WOOD.
(FOR NUMBER OF ANCHORS AND MAX. SPACING REFER TO SHEET 1.)

WINDOW WIDTH

GLAZING METHOD:

USE ADHESIVE BEDDING COMPOUND AND GLAZING
FOAM TAPE ON EXTERIOR.
EXTRUDED ALUMINUM SNAP ON GLAZING BEAD WITH
VINYL BULB ON INTERIOR.

WOOD BUCKS NOT BY SUNSHINE WINDOWS MUST
SUSTAIN IMPOSED LOADS BY GLAZING SYSTEM.

HORIZONTAL SLIDING WINDOW SECTIONS

[Signature]
3/8/99
FRANCISCO HERNANDEZ
FLORIDA PE # 51393

Sunshine Windows
Manufacturing, Inc.

1745 W. 33rd Place
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Ph: (305) 364-9952
Fax: (305) 828-8118

FRANCISCO HERNANDEZ, P. E.
Structural Engineering
351 NW 82nd Ave #1118
Miami, Florida 33126
Phone: (305) 266-8670
Fax: (305) 266-3427

SERIES 1650 ALUMINUM
HORIZONTAL SLIDING WINDOW (XO)
DSB ANNEALED GLASS

Drawn By: JN
Date: 3-4-99
Scale: 1/2" = 1"
Revision: _____
Revision: _____

DRAWING NO.
HS99-01

SHEET
2 OF 3

Sunshine Windows
Manufacturing, Inc.

1746 W. 33rd Place
Miami, Florida 33122
Ph: (305) 364-8852
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FRANCISCO HERNANDEZ P. E.
Structural Engineering
351 NW 82nd Ave #1118
Miami, Florida 33126
Phone: (305) 288 8870
Fax: (305) 288 3427

SERIES 1650 ALUMINUM
HORIZONTAL SLIDING WINDOW (XO)
DSB ANNEALED GLASS

Drawn By: JN

Date: 3-4-99

Scale: 1/2" = 1"

Revision: _____

Revision: _____

DRAWING NO.

HS99-01

SHEET
3 OF 3

MATERIAL LIST

ITEM #	PART #	REQD.	DESCRIPTION	MATERIAL
1	SW-019	1	FRAME HEAD	6063-T5
2	SW-019	1	FRAME SILL	6063-T5
3	SWxxx21	1	INSERT TRACK	6063-T5
4	SW-018	AS REQD	GLAZING BEAD	6063-T5
5	SW-012	2	SLIDER TOP/BOTTOM RAIL	6063-T5
6	SW3019	AS REQD	FIN SEAL PILE	FELT
7	SW1520	AS REQD	GLAZING TAPE	FOAM
8	SW321W	2	WHEEL	BRASS
9	SW-017	1	MOVING MEETING RAIL	6063-T5
10	SW4011	1	FIXED MEETING RAIL	6063-T5
11	SW-AS	AS REQD	ASSEMBLY SCREWS	# 8X1" SMS.
12	SW-013	1	JAMB TO MOVING PANEL	6063-T5
13	SW-016	1	MOVING SIDE RAIL	6063-T5
14	SW3257	AS REQD	WEATHER STRIP BULB	VINYL
15	SW-667	AS REQD	LATCH	ZINC
16	SW-S10	2/SILL	RETICULATED FILTER	FOAM
17	SW40771	1	SILL RISER	6063-T5
18	SW-014	1	JAMB TO FIXED PANEL	6063-T5

PRODUCT RENEWED

ACCEPTANCE No. 02-0125-03

EXPIRATION DATE February 26, 2007

By: *[Signature]*
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE

DATE April 21, 1999

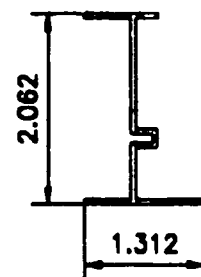
BY: *[Signature]*

PRODUCT CONTROL DIVISION

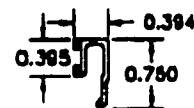
BUILDING CODE COMPLIANCE OFFICE

ACCEPTANCE NO. 99-0202-12

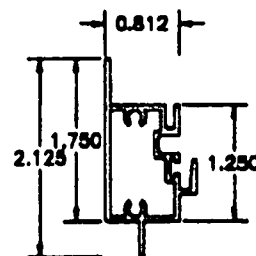
[Signature]
3/8/99
FRANCISCO HERNANDEZ
FLORIDA PE # 51393



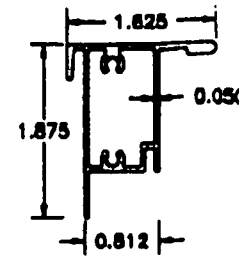
JAMB TO FIXED PANEL
SW-014
6063-T5



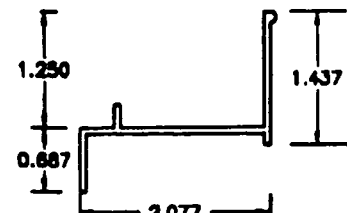
GLAZING STOP
SW-018
6063-T5



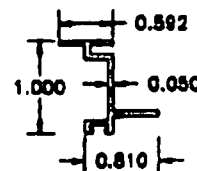
FIXED MEETING RAIL
SW-40111
6063-T5



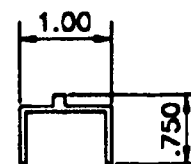
MOVING MEETING RAIL
SW-017
6063-T5



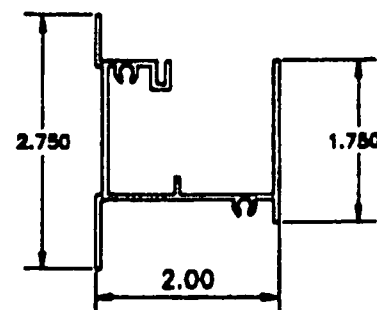
FRAME JAMB TO MOVING PANEL
SW-013
6063-T5



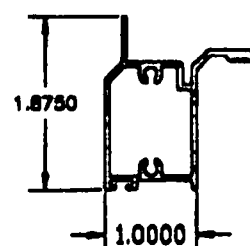
SLIDER TOP AND BOTTOM RAIL
SW-012
6063-T5



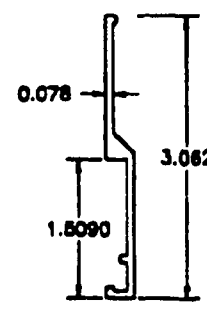
INSERT TRACK
SW-xxx21
6063-T5



FRAME HEAD AND SILL
SW-019
6063-T5



MOVING SIDE RAIL
SW-016
6063-T5



SILL RISER
SW-40771
6063-T5

DESIGN PRESSURE CHART - PSF

SERIES-2000 ALUMINUM SINGLE HUNG WINDOW

HURRICANE PROTECTION IS REQUIRED

WINDOW DIMENSION		ANCHOR SCHEDULE		LIGHT DUTY				MEDIUM DUTY				HEAVY DUTY (W/ STEEL REINFORCEMENT)					
				3/16" TAPCONS				3/16"-ANNEALED GLASS				3/16"-ANNEALED GLASS		1/4"-ANN. GLASS			
				DSB ANN. GLASS	3/16" ANN. GLASS	3/16" TAPCONS	1/4" TAPCONS	3/16" TAPCONS	1/4" TAPCONS	3/16" TAPCONS	1/4" TAPCONS	1/4" TAPCONS	1/4" TAPCONS				
WIDTH	HEIGHT	PER HEAD AND SILL	PER JAMB	EXT.	INT.	EXT.	INT.	EXT.	INT.	EXT.	INT.	EXT.	INT.	EXT.	INT.		
19 1/8"	28"	2	3	80.7	67.5	60.7	122.5	98.0	122.5	98.0	122.5	98.0	122.5	98.0	122.5	184.8	
26 1/2"		2		80.7	67.5	60.7	122.5	98.0	122.5	98.0	122.5	98.0	122.5	98.0	122.5	98.0	184.8
37"		3		80.7	67.5	60.7	122.5	98.0	122.5	98.0	122.5	98.0	122.5	98.0	122.5	98.0	184.8
53 1/8"		4		80.7	67.5	60.7	88.7	98.0	113.1	98.0	122.5	98.0	113.1	98.0	122.5	98.0	184.8
19 1/8"	36 3/8"	2	3	80.7	67.5	60.7	122.5	98.0	122.5	98.0	122.5	98.0	122.5	98.0	122.5	184.8	
26 1/2"		2		80.7	67.5	60.7	122.5	98.0	122.5	98.0	122.5	98.0	122.5	98.0	122.5	184.8	
37"		3		80.7	67.5	60.7	108.8	98.0	120.3	98.0	122.5	98.0	120.3	98.0	122.5	98.0	184.8
53 1/8"		4		80.7	64.8	60.7	64.8	90.6	90.6	97.1	97.1	90.6	90.6	98.0	122.5	98.0	144.3
19 1/8"	50 5/8"	2	4	80.7	67.5	60.7	122.5	98.0	122.5	98.0	122.5	98.0	122.5	98.0	122.5	184.8	
26 1/2"		2		80.7	67.5	60.7	119.1	98.0	119.1	98.0	122.5	98.0	119.1	98.0	122.5	98.0	184.8
37"		3		80.7	67.5	60.7	94.7	98.0	99.2	98.0	122.5	98.0	99.2	98.0	122.5	98.0	184.8
53 1/8"		4		52.6	52.6	53.2	53.2	79.8	79.8	79.8	79.8	83.8	83.8	95.5	95.5	98.0	118.5
19 1/8"	63"	2	5	80.7	67.5	60.7	122.5	98.0	122.5	98.0	122.5	98.0	122.5	98.0	122.5	184.8	
26 1/2"		2		80.7	67.5	60.7	111.9	98.0	111.9	98.0	122.5	98.0	111.9	98.0	122.5	98.0	184.8
37"		3		80.7	61.5	60.7	89.5	89.6	89.6	98.0	111.6	89.6	89.6	98.0	111.6	98.0	168.3
53 1/8"		4		41.3	41.3	46.7	46.7	70.0	70.0	70.0	70.0	74.9	74.9	74.9	74.9	98.0	104.0
19 1/8"	74 1/4"	2	5	80.7	67.5	60.7	119.2	98.0	119.2	98.0	122.5	98.0	119.2	98.0	122.5	184.8	
26 1/2"		2		80.7	67.5	60.7	91.2	91.2	91.2	98.0	122.5	91.2	91.2	98.0	122.5	98.0	184.8
37"		3		51.4	51.4	60.7	71.5	71.5	71.5	93.3	93.3	71.5	71.5	93.3	93.3	98.0	140.8

BASED ON MTL-16143 DATED 7-12-94
TEST SIZE= 63 1/8" X 63" (1 OVER 1)
TEST LOADS= +70.0 -70.0 PSF
DESIGN LOADS= +46.7 -46.7 PSF
WATER INFILTRATION TEST= 6.1 PSF
TESTED GLASS= DSB ANNEALED

BASED ON MTL-16176 DATED 7-12-94
TEST SIZE= 63 1/8" X 63" (1 OVER 1)
TEST LOADS= +105.0 -105.0 PSF
DESIGN LOADS= +70.0 -70.0 PSF
WATER INFILTRATION TEST= 14.7 PSF
TESTED GLASS= 3/16" ANNEALED

BASED ON MTL-16176 DATED 7-12-94
TEST SIZE= 63 1/8" X 63" (1 OVER 1)
TEST LOADS= +155.0 -155.0 PSF
DESIGN LOADS= +88.0 -88.0 PSF
WATER INFILTRATION TEST= 14.7 PSF
TESTED GLASS= 3/16" ANNEALED

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE June 02, 2000
BY Manuel Perez
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 02-0403-07

PRODUCT RENEWED
ACCEPTANCE No. 02-021202
EXPIRATION DATE April 23, 2007
BY [Signature]
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE

[Signature]
3-25-00
FRANCISCO HERNANDEZ
FL PE# 51393

Sunshine Windows
Manufacturing, Inc.

1748 W. 33rd Place
Miami, Florida 33018
Ph: (305) 364-8882
Fax: (305) 328-5118

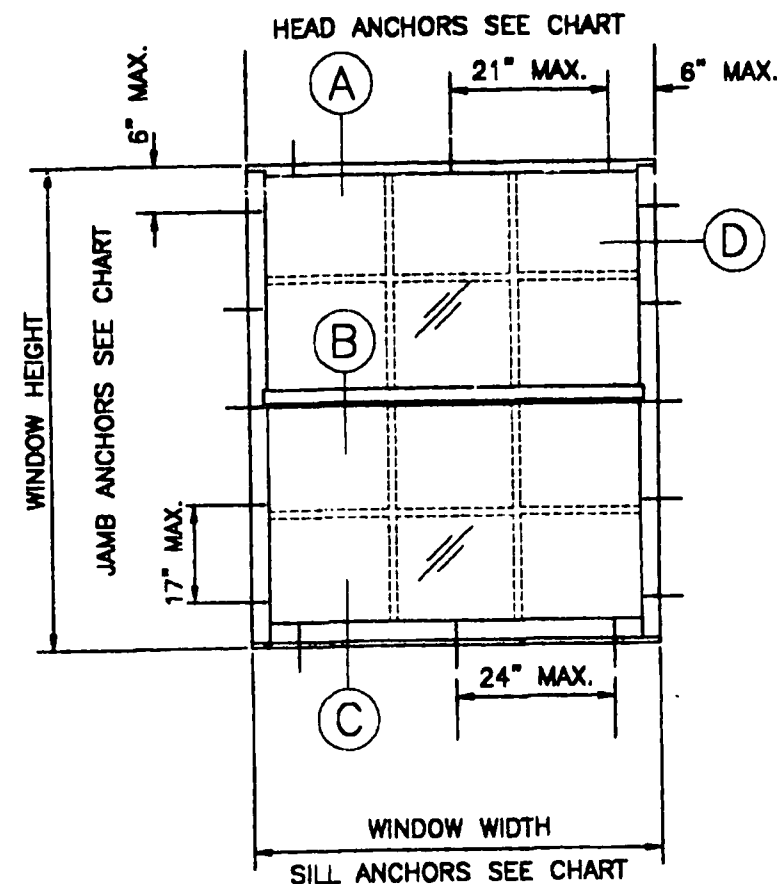
FRANCISCO HERNANDEZ, P.E.
Structural Engineering
351 NW 82nd Ave #1116
Miami, Florida 33126
Phone (305) 266 8670
Fax (305) 266 3427

SERIES 2000 ALUMINUM
SINGLE HUNG WINDOW

Drawn By: JN
Date: 3-25-99
Scale: 1/2"=1'
Revision: 3-25-00
Revision:

DRAWING NO.
SH98-04

SHEET
1 OF 5

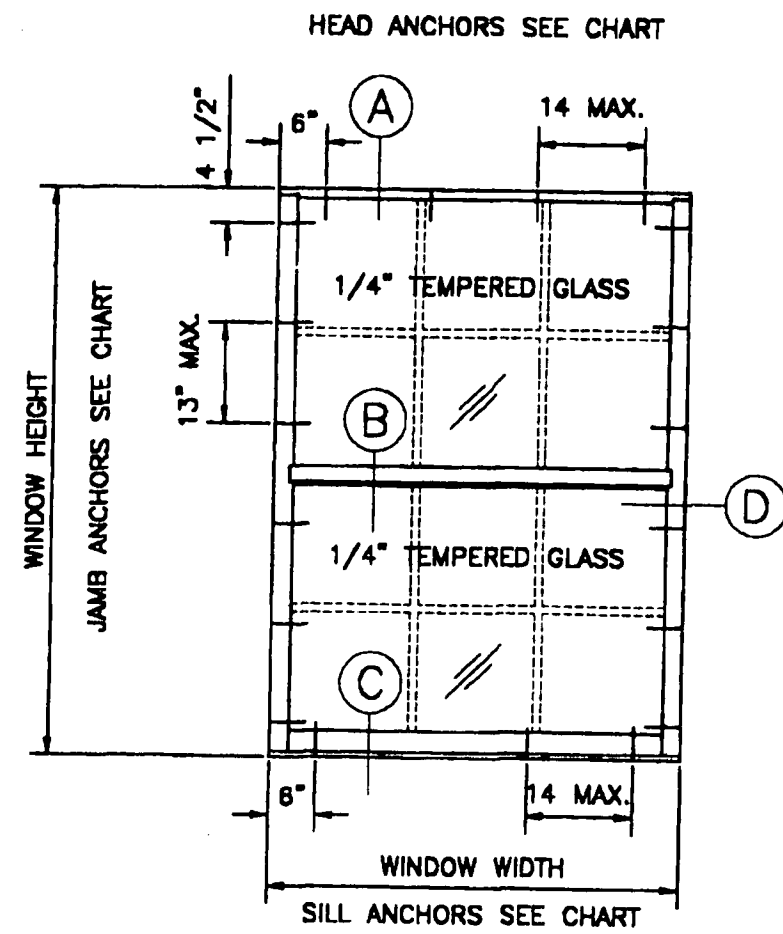


TYPICAL ELEVATION 1 OVER 1

FALSE MUNTINS (SURFACE APPLIED)
MAY BE USED

DESIGN PRESSURE CHART - PSF											
SERIES-2000 ALUMINUM SINGLE HUNG WINDOW											
WINDOW DIMENSION		ANCHOR SCHEDULE		1/4" TEMPERED GLASS FOR LIGHT, MEDIUM AND HEAVY DUTY WINDOWS							
				HURRICANE PROTECTION IS REQUIRED							
				STANDARD SILL				3" HIGH SILL			
				3/16" TAPCONS		1/4" TAPCONS		3/16" TAPCONS		1/4" TAPCONS	
WIDTH	HEIGHT	PER HEAD AND SILL	PER JAMB	EXT.	INT.	EXT.	INT.	EXT.	INT.	EXT.	INT.
19 1/8"	26"	2	3	66.7	281.4	66.7	300.0	75.0	281.4	75.0	300.0
26 1/2"		2		66.7	252.1	66.7	300.0	75.0	252.1	75.0	300.0
37"		3		66.7	141.8	66.7	246.6	75.0	141.8	75.0	246.6
53 1/8"		4		66.7	113.1	66.7	154.0	75.0	113.1	75.0	154.0
19 1/8"	38 3/8"	2	4	66.7	214.0	66.7	300.0	75.0	214.0	75.0	300.0
26 1/2"		2		66.7	177.2	66.7	300.0	75.0	177.2	75.0	300.0
37"		3		66.7	129.3	66.7	188.9	75.0	129.3	75.0	188.9
53 1/8"		4		66.7	90.6	66.7	112.4	75.0	90.6	75.0	112.4
19 1/8"	50 5/8"	2	5	66.7	187.7	66.7	300.0	75.0	187.7	75.0	300.0
26 1/2"		2		66.7	148.9	66.7	300.0	75.0	148.9	75.0	300.0
37"		3		66.7	124.0	66.7	164.4	75.0	124.0	75.0	164.4
53 1/8"		4		66.7	83.8	66.7	92.3	75.0	83.8	75.0	92.3
19 1/8"	63"	2	6	66.7	173.2	66.7	300.0	75.0	173.2	75.0	300.0
26 1/2"		2		66.7	134.2	66.7	300.0	75.0	134.2	75.0	300.0
37"		3		66.7	107.5	66.7	155.4	75.0	107.5	75.0	155.4
53 1/8"		4		66.7	81.0	66.7	81.0	75.0	81.0	75.0	81.0
19 1/8"	74 1/4"	2	6	66.7	143.0	66.7	300.0	75.0	143.0	75.0	300.0
26 1/2"		2		66.7	109.5	66.7	251.6	75.0	109.5	75.0	251.6
37"		3		66.7	85.8	66.7	155.0	75.0	85.8	75.0	155.0
53 1/8"		4		66.7	69.8	66.7	75.0	69.8	66.8	75.0	75.0

BASED ON FTL-1837 DATED 11-19-97
 TEST SIZE= 53 1/8" X 74 1/4" (1 OVER 1)
 TEST LOADS= +112.5 -112.5 PSF
 DESIGN LOADS= +75.0 -75.0 PSF
 WATER INFILTRATION TEST= 10.0 PSF WITH STD. SILL
 11.3 PSF WITH 3" HIGH SILL
 TESTED GLASS= 1/4" TEMPERED



TYPICAL ELEVATION 1 OVER 1

FALSE MUNTINS (SURFACE APPLIED) MAY BE USED

APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE June 02, 2007
 BY Manuel Perez
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 00-0403.07

PRODUCT RENEWED
 ACCEPTANCE No. 02-0217.02
 EXPIRATION DATE April 22, 2007
 By [Signature]
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE

[Signature]
 3-25-00
 FRANCISCO HERNANDEZ
 FL. PE# 51393

**Sunshine Windows
 Manufacturing, Inc.**
 1746 W. 33rd Place
 Deltona, Florida 32718
 Tel: (305) 384-8882
 Fax: (305) 828-5118

FRANCISCO HERNANDEZ, P. E.
 Structural Engineering
 351 NW 82nd Ave #1118
 Miami, Florida 33126
 Phone: (305) 266-8870
 Fax: (305) 266-3427

**SERIES 2000 ALUMINUM
 SINGLE HUNG WINDOW**

Drawn By: JN
 Date: 3-25-99
 Scale: 1/2"=1'
 Revision: 3-25-00
 Revision: _____

DRAWING NO.
SH98-04
 SHEET
2 OF 5

PRODUCT RENEWED

ACCEPTANCE No. 82-0212.02

EXPIRATION DATE APR 22, 2007

By *[Signature]*
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE

WOOD BUCKS NOT BY SUNSHINE WINDOWS.
 MUST SUSTAIN LOADS IMPOSED BY GLAZING
 SYSTEM AND TRANSFER THEM TO THE BUILDING
 STRUCTURE

MATERIAL LIST (VERTICAL SECTION)

ITEM #	PART #	REQD.	DESCRIPTION	MATERIAL
1	SW-014	1	FRAME HEAD	6063-T5
2	SW-52101	1	FRAME SILL	6063-T5
4	SW-015	1	MEETING RAIL	6063-T5
5	SW-017	1	SASH TOP RAIL	6063-T5
6	SW-43355	1	SASH BOTTOM RAIL	6063-T5
7	SW-40771	1	3" RISER	6063-T5
8	SW-AS	14	ASSEMBLY SCREWS	# 8X1" PH PHILLIP CRS
11	SW-667	2/VENT	LATCH	ZINC
12	SW-1820	AS RQD	SEAL PILE	FELT
13	SW-3257	AS RQD	WEATHER STRIP BULB	VNYL
14	SW-1520	AS RQD	GLAZING TAPE	FOAM
15	SW-018	AS RQD	GLAZING BEAD	6063-T5
17	SW-3082	AS RQD	WEATHER STRIP BULB	VINYL
18	SW-013	1	FRAME SILL/3" RISER	6063-T5
19	SW-40770	1	BOTTOM RAIL/3" RISER	6063-T5
20	SW-43353	2/VENT	LATCH BOTTOM RAIL	6063-T5

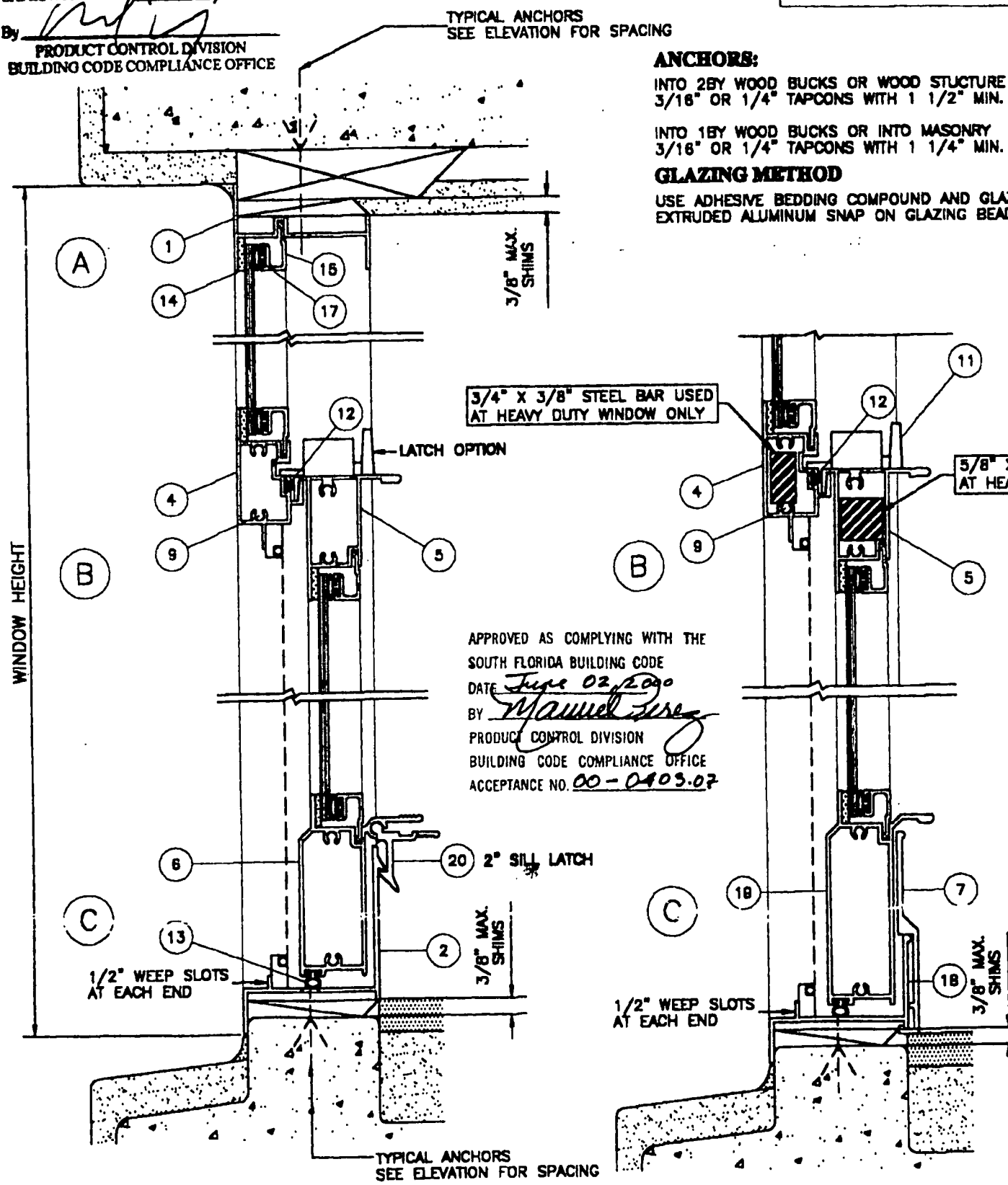
ANCHORS:

INTO 2BY WOOD BUCKS OR WOOD STRUCTURE
 3/16" OR 1/4" TAPCONS WITH 1 1/2" MIN. PENETRATION INTO WOOD

INTO 1BY WOOD BUCKS OR INTO MASONRY
 3/16" OR 1/4" TAPCONS WITH 1 1/4" MIN. EMBED INTO MASONRY

GLAZING METHOD

USE ADHESIVE BEDDING COMPOUND AND GLAZING FOAM TAPE ON EXTERIOR
 EXTRUDED ALUMINUM SNAP ON GLAZING BEAD WITH VINYL BULB ON INTERIOR



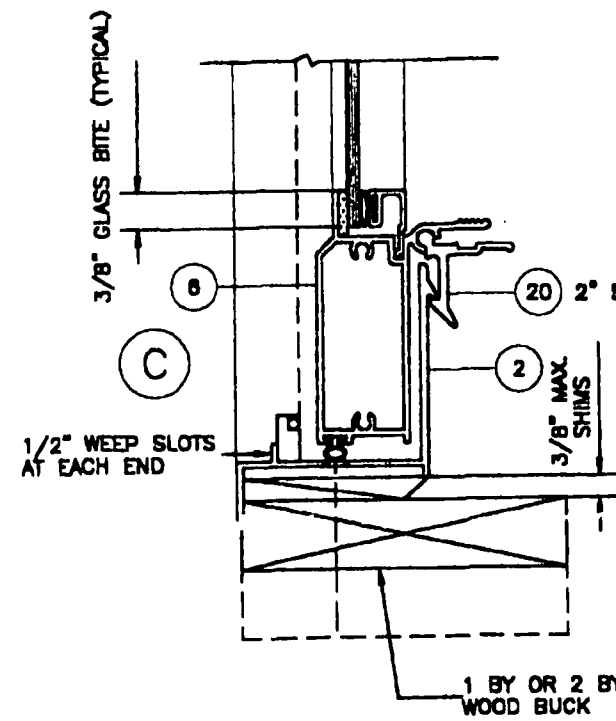
3/4" X 3/8" STEEL BAR USED
 AT HEAVY DUTY WINDOW ONLY

5/8" X 5/8" STEEL BAR USED
 AT HEAVY DUTY WINDOW ONLY

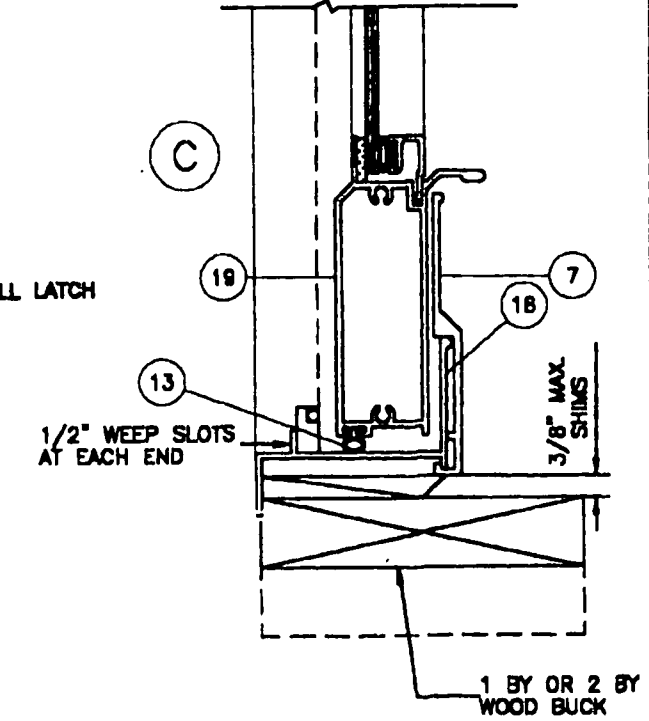
APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE *June 03, 2000*
 BY *Manuel Perez*
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. *00-0403.07*

LIGHT DUTY

MEDIUM AND HEAVY DUTY



LIGHT DUTY



MEDIUM AND HEAVY DUTY

[Signature]
 3-25-00
 FRANCISCO HERNANDEZ
 FL. PE# 51393

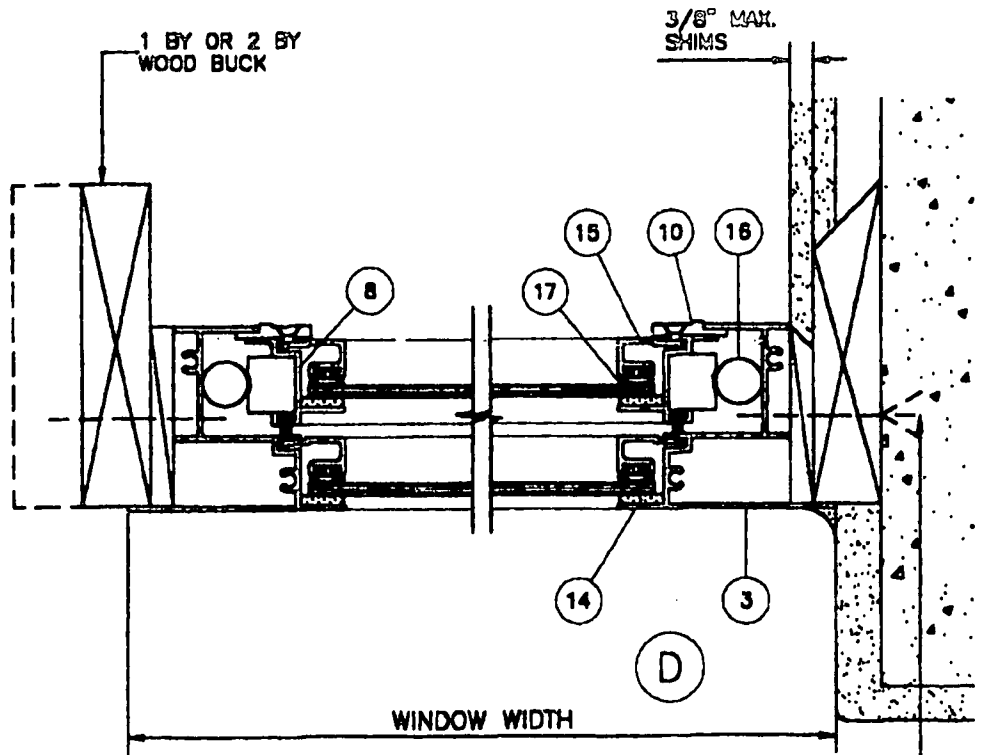
Sunshine Windows
 Manufacturing, Inc.
 1746 W. 33rd Place
 Miami, Florida 33128
 Tel: (305) 286-8800
 Fax: (305) 286-5118

FRANCISCO HERNANDEZ P.E.
 Structural Engineering
 351 NW 82nd Ave #1118
 Miami, Florida 33128
 Phone: (305) 286-8670
 Fax: (305) 286-3427

**SERIES 2000 ALUMINUM
 SINGLE HUNG WINDOW**

Drawn By: *JN*
 Date: *3-25-99*
 Scale: *1/2"=1"*
 Revision: _____
 Revision: _____

DRAWING NO.
 SH98-04
 SHEET
 3 OF 5



HORIZONTAL SECTION

TYPICAL ANCHORS
SEE ELEVATION AND
CHART FOR SPACING

MATERIAL LIST (HORIZONTAL SECTION)

ITEM #	PART #	REQD.	DESCRIPTION	MATERIAL
3	SW-011	2	FRAME JAMB	6063-T5
8	SW-012	2	SASH SIDE RAIL	6063-T5
10	SW-8202A	4/VENT	FACE GUIDES	NYLON
14	SW-1520	AS RQD	GLAZING TAPE	FOAM
15	SW-018	AS RQD	GLAZING BEAD	6063-T5
16	SW-640	2	SPIRAL BALANCE	ALUMINUM
17	SW-3082	AS RQD	WEATHER STRIP BULB	VINYL

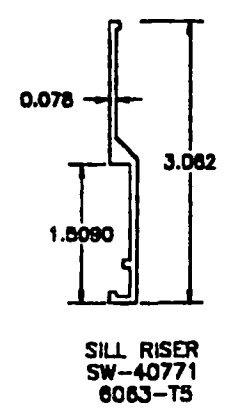
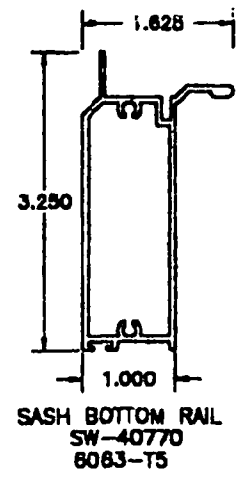
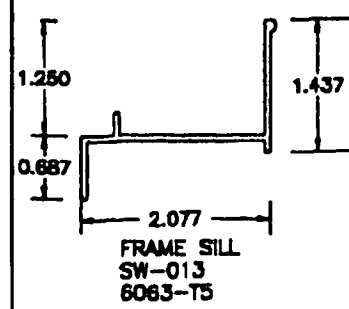
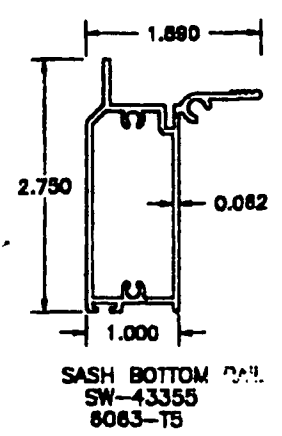
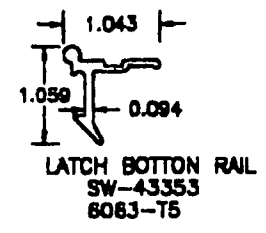
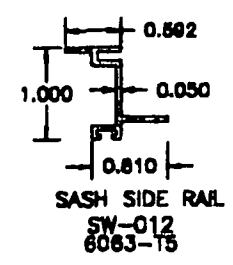
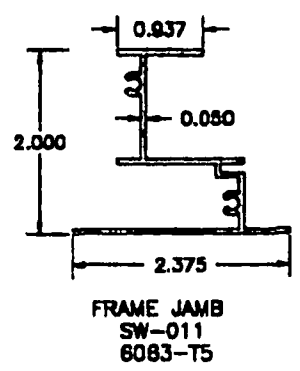
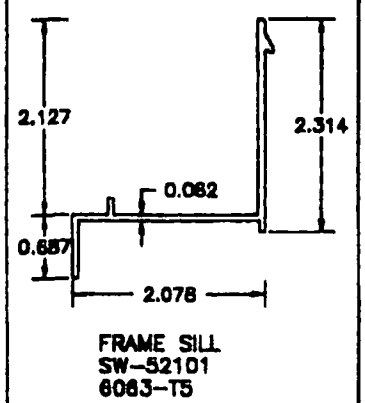
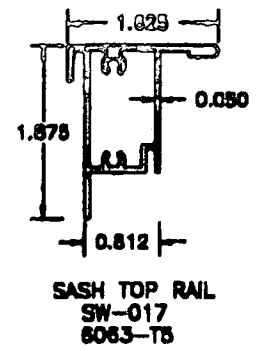
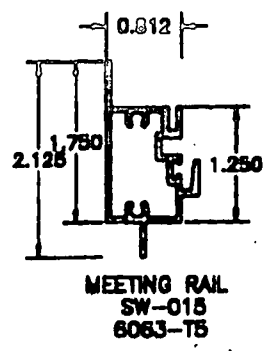
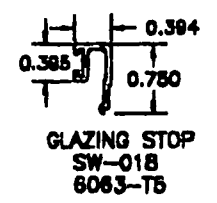
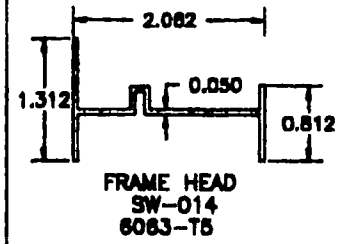
PRODUCT RENEWED

ACCEPTANCE No. 02-0712-01

EXPIRATION DATE APR 22, 2007

By [Signature]
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE June 02, 2000
BY [Signature]
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 00-0403-07



Sunshine Windows
Manufacturing, Inc.

1749 W. 38th Place
Miami, Florida 33122
Ph: (305) 384-8882
Fax: (305) 828-5118

FRANCISCO HERNANDEZ P. E.
Structural Engineering
351 NW 82nd Ave #1118
Miami, Florida 33126
Phone: (305) 266 6670
Fax: (305) 266 3427

**SERIES 2000 ALUMINUM
SINGLE HUNG WINDOW**

Drawn By: JN
Date: 3-25-99
Scale: 1/2"=1"
Revision: 3-25-00
Revision:

[Signature]
3-25-00

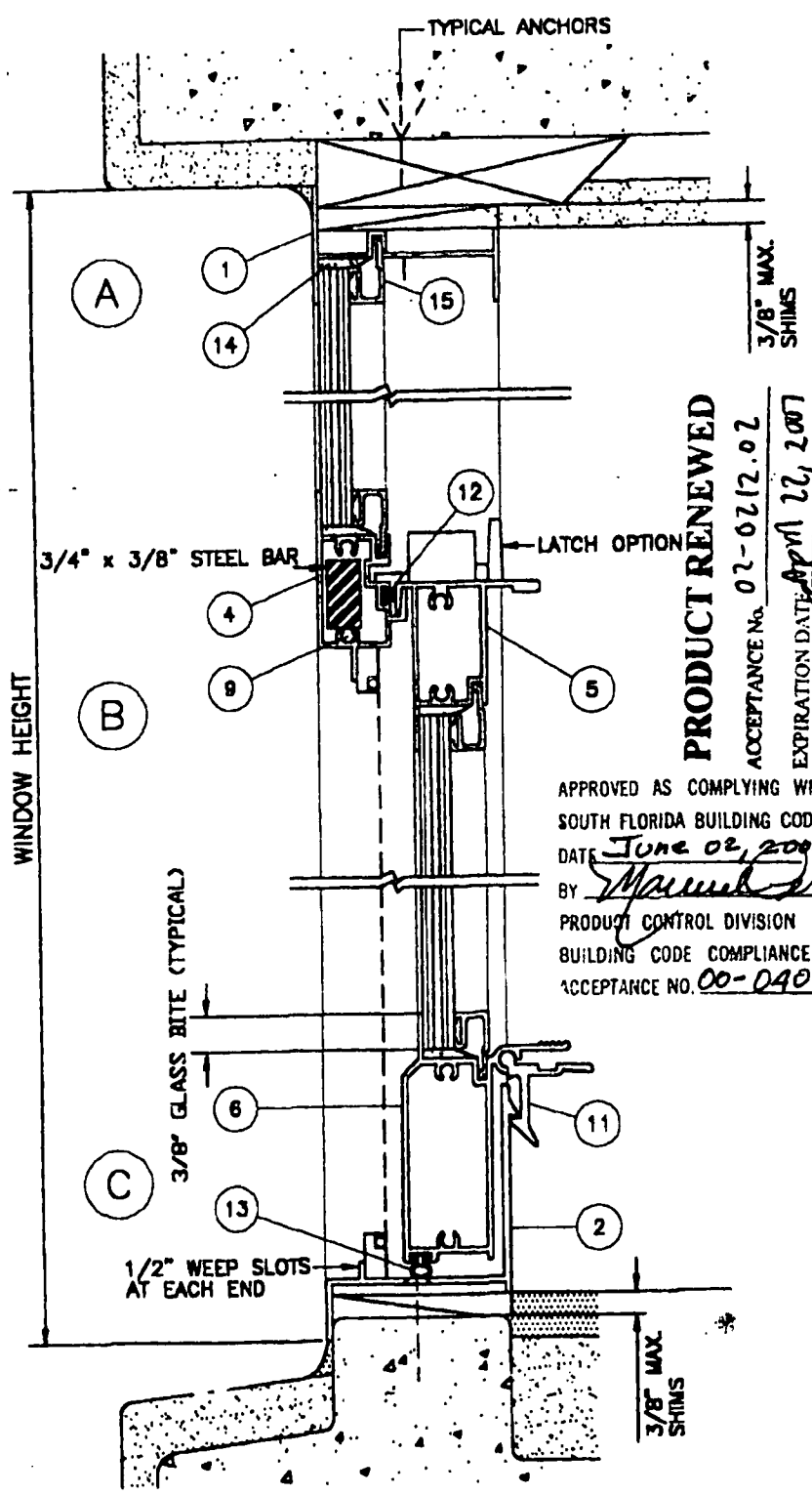
FRANCISCO HERNANDEZ
FL PE# 51393

DRAWING NO.
SH98-04

SHEET
4 OF 5

MATERIAL LIST

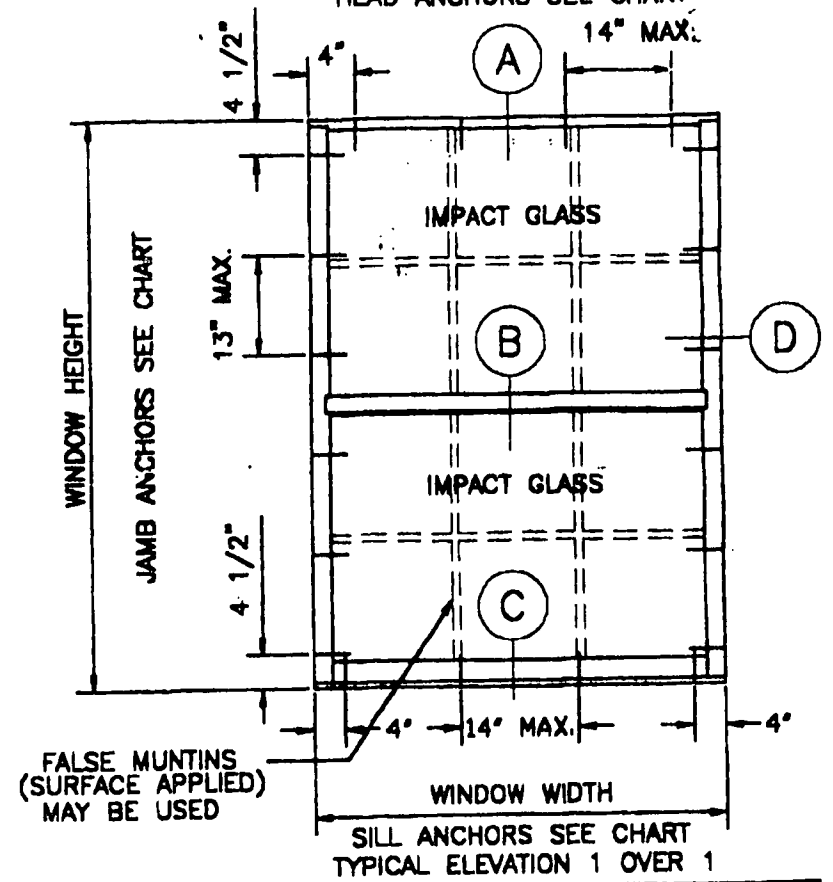
ITEM #	PART #	REQD.	DESCRIPTION	MATERIAL
1	SW-014	1	FRAME HEAD	6063-T5
2	SW52101	1	FRAME SILL	6063-T5
3	SW-011	2	FRAME JAMB	6063-T5
4	SW4011	1	MEETING RAIL	6063-T5
5	SW-017	1	SASH TOP RAIL	6063-T5
6	SW43355	1	SASH BOTTOM RAIL	6063-T5
7	SW8202E	2	SASH CAM	NYLON
8	SW-012	2	SASH SIDE RAIL	6063-T5
9	SW-AS	AS REQ	ASSEMBLY SCREWS	# 8X1" PH PHILLIP CRS
10	SW8202A	4/VENT	FACE GUIDES	NYLON
11	SW43353	2/VENT	LATCH	6063-T5
12	SW1820	AS RQD	SEAL FILE	FELT
13	SW3257	AS RQD	WEATHER STRIP BULB	VINYL
14	-	AS RQD	SILICONE	DC-795/SM-5731
15	SW-018	AS RQD	GLAZING BEAD	6063-T5
16	SW540	2	SPIRAL BALANCE	ALUMINUM



PRODUCT RENEWED
 ACCEPTANCE NO. 02-0212.02
 EXPIRATION DATE: April 22, 2007

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE
 DATE: June 02, 2000
 BY: *Maurice...*
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 00-0403-02

GLAZING:
GLASS OPTIONS:
 A) 3/8" OVERALL LAMINATED GLASS USING TWO LIGHTS OF 1/8" HEAT STRENGTHENED GLASS WITH AN 0.010" INTERLAYER FILM, GLASSLAM SAFETY PLUS AND A 3/8" WIDE CLOSED CELL FOAM, FRANK LOWE RUBBER & GASKET S-10 ON EACH SIDE OF FILM AT PERIMETER EDGE.
 B) 3/8" OVERALL LAMINATED GLASS USING TWO LIGHTS OF 1/8" HEAT STRENGTHENED GLASS WITH AN 0.090" INTERLAYER FILM, DUPONT WITH BUTALITE.
METHOD:
 INTERIOR GLAZED WITH 3/8" GLAZING PENETRATION USING A CLEAR COLORED ADHESIVE BEDDING COMPOUND, SCHNEE MOREHEAD 5731 OR DOW CORNING 795, AND AN EXTRUDED ALUMINUM SNAP ON GLAZING BEAD FASTENED TO FRAME WITH TWO NO. 8 X 3/4" PHSMS PER BEAD.

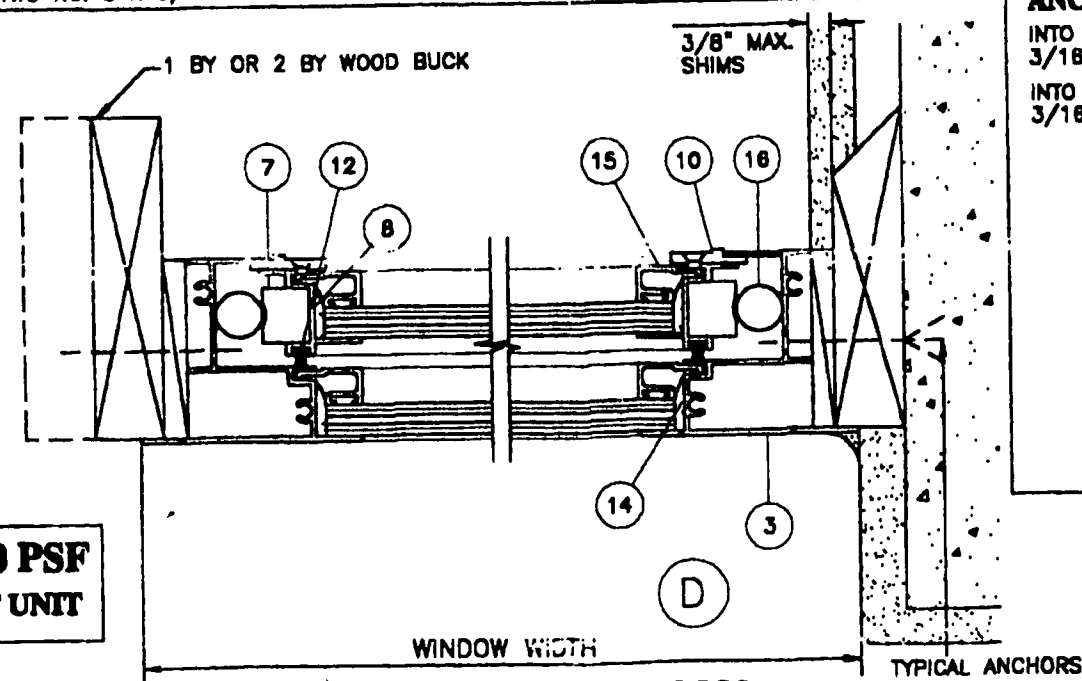


BASED ON FTL-1982 DATED 8-4-98
 TEST SIZE= 53 1/8" X 73 3/4" (1 OVER 1)
 TEST LOADS= +135.0 -135.0 PSF
 DESIGN LOADS= +70.0 -90.0
 WATER INFILTRATION TEST= 10.5 PSF
 TESTED GLASS= 3/8" HEAT STRENGTHENED LAMINATED
 CYCLIC WIND LOAD TEST= +90.0 -90.0 PSF

HURRICANE RESISTANT SHUTTERS ARE NOT REQUIRED

ANCHORS:
 INTO 2BY WOOD BUCKS OR WOOD STRUCTURE
 3/16" TAPCONS WITH 1 1/2" MIN. PENETRATION INTO WOOD.
 INTO 1BY WOOD BUCKS OR INTO MASONRY
 3/16" TAPCONS WITH 1 1/4" MIN. EMBEDMENT INTO MASONRY.

WINDOW WIDTH	ANCHORS PER HEAD & SILL	WINDOW HEIGHT	ANCHORS PER JAMB
19 1/8"	2	26"	3
26 1/2"	3	38 3/8"	4
37"	4	50 5/8"	5
53 1/8"	5	63"	6
		73 3/4"	8



DESIGN PRESSURE RATING + 70.0 PSF - 90.0 PSF
 FOR ALL WINDOW SIZES EQUAL OR SMALLER THAN TEST UNIT

IMPACT RESISTANT WINDOW

HORIZONTAL SECTION

[Signature]
 3-26-00
 FRANCISCO HERNANDEZ
 FL. PE# 51393

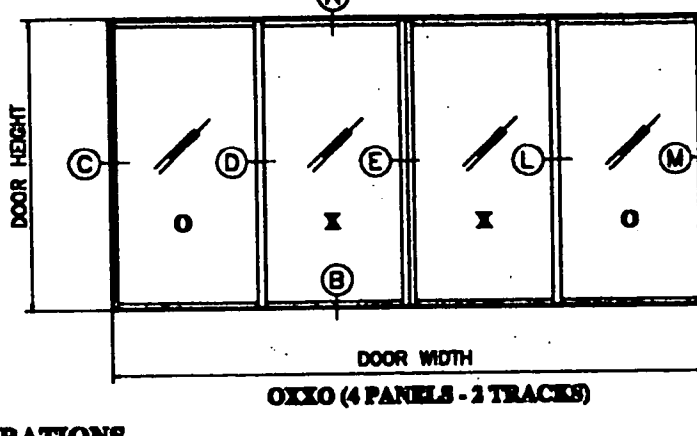
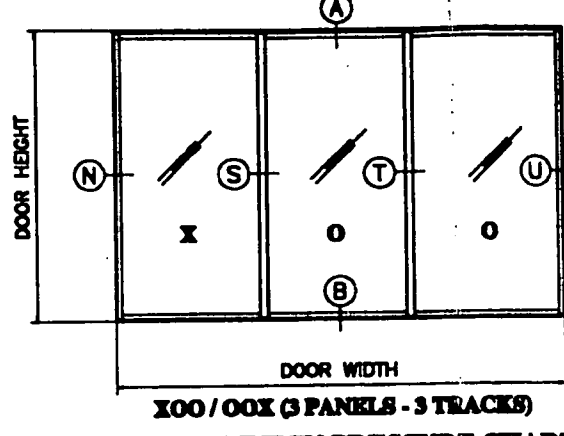
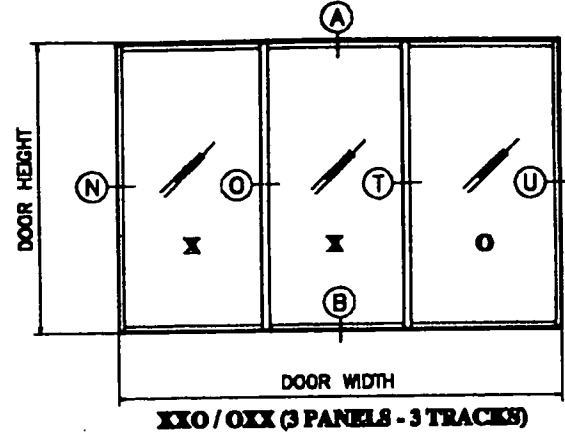
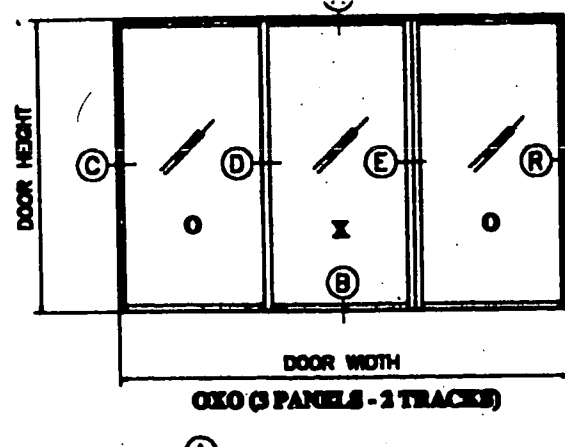
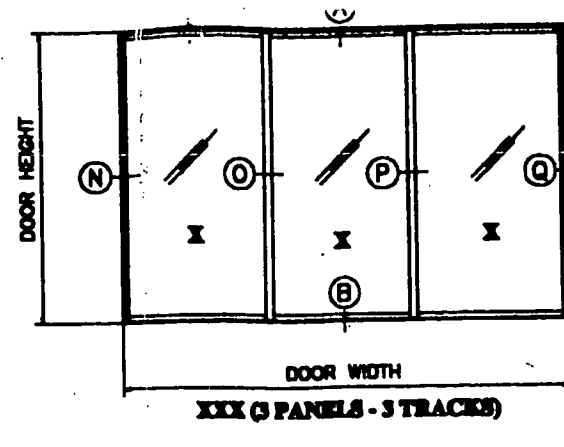
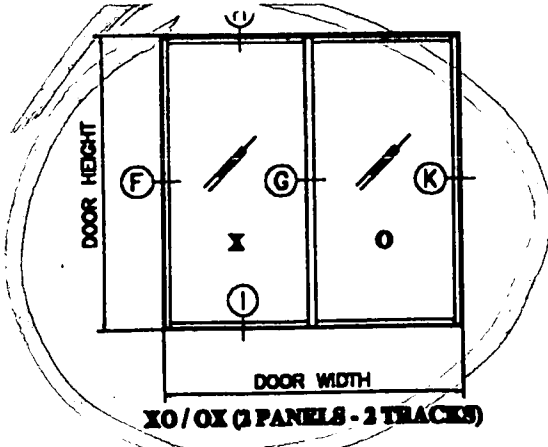
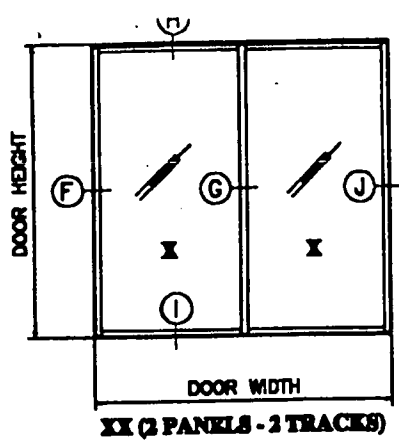
Sunshine Windows Manufacturing, Inc.
 1748 W. 33rd Place
 Miami, Florida 33012
 Ph: (305) 364-8882
 Fax: (305) 328-8118

FRANCISCO HERNANDEZ, P.E.
 Structural Engineering
 351 NW 82nd Ave #1118
 Miami, Florida 33126
 Phone (305) 266 8670
 Fax (305) 266 3427

SERIES 2000 ALUMINUM SINGLE HUNG WINDOW

Drawn By: JN
 Date: 3-25-99
 Scale: 1/2"=1"
 Revision: 3-25-00
 Revision:

DRAWING NO. SH98-04
 SHEET 5 OF 5



USE PANEL DIMENSIONS IN DESIGN PRESSURE CHART FOR ALL DOOR CONFIGURATIONS

MATERIAL LIST

ITEM #	PART #	REQD.	DESCRIPTION	MATERIAL
1	SW-002	1	2 TRACKS HEAD	6063-T5
2	SW-066	1	3 TRACKS HEAD	6063-T5
3	SSW-0015	1	2 TRACKS SILL	6063-T5
4	SW-065A	1	3 TRACKS SILL	6063-T6
5	SSW-0002	1	2 TRACKS HI-RISE SILL	6063-T5
6	SW-065B	1	3 TRACKS HI-RISE SILL	6063-T6
7	SW-001	2	2 TRACKS JAMB	6063-T5
8	SW-067	2	3 TRACKS JAMB	6063-T5
9	SW-006	AS REQ'D	LOCK STILE	6063-T5
10	SW-007	AS REQ'D	FIXED STILE	6063-T5
11	SW-41674	AS REQ'D	HD INTERLOCK	6063-T6
12	SW-005	1/PANEL	TOP RAIL	6063-T5

MATERIAL LIST

ITEM #	PART #	REQD.	DESCRIPTION	MATERIAL
13	SW-004	1/PANEL	BOTTOM RAIL	6063-T5
14	SW-3781	AS REQ'D	HD FEMALE ASTRAGAL	6063-T5
15	SW-3782	AS REQ'D	STIFFENER FOR ASTRAGAL	6063-T5
16	SW-1254	AS REQ'D	GLAZING GASKET	VINYL
17	SW-1125	DOUBLE ROW	PILE WEATHER STRIP ULTRAFAB. # 250	POLYPROPYLENE
18	SW-628	2/PANEL	ROLLER & HOUSING REFLECTOR LIGHT #19-A-112-A	STEEL
19	SW-2227	SINGLE ROW	FLAP WEATHER STRIP WYBORG # 3725/WV-2227	VINYL
20	SW-3257	SINGLE ROW	BULB WEATHER STRIP WYBORG # 470-12/WV-3257	VINYL
21	SW-3082	DOUBLE ROW	BULB WEATHER STRIP WYBORG # 470-12/WV-3082	VINYL
22	SW-STEEL	1/INTERLOCK	1/2" X 1 1/2"	STEEL
23	SW-7130	1/LOCKSTILE	FLUSH MOUNT METALIC HOOK LOCK DECO # 619218K20	ZINC
24	SW-AS	AS REQ'D	ASSEMBLY SCREWS	#8 X 1"

PRODUCT REVIEWED
as complying with the Florida
Building Code
Acceptance No 02-0308.07
Expiration Date MAY 20 2003
By: [Signature]
Miami Dade Product Control
Division

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE June 15, 2000
By: [Signature]
PRODUCT CONTROL DIVISION
JUNIOR CODE COMPLIANCE OFFICER
ACCEPTANCE NO. 02-0403.08

[Signature]
3-25-0
FRANCISCO HERNANDEZ
FLORIDA PE # 51393

SERIES 1600 ALUMINUM SLIDING GLASS DOOR

DESIGN PRESSURE CHART - PSF

PANEL DIMENSION IN INCHES		XX / OX / XO WITHOUT RETAINER ANGLES		ALL CONFIGURATIONS WITH RETAINER ANGLES XX / OX / XO / OXO / OXX / XXO / XOO / OOX / XXX / OXXO								
		3/16" TEMPERED GLASS		3/16" TEMPERED GLASS				1/4" TEMPERED GLASS				
		3/16" TAPCONS		3/16" TAPCONS		1/4" TAPCONS		3/16" TAPCONS		1/4" TAPCONS		
WIDTH	HEIGHT	EXT.	INT.	EXT.	INT.	EXT.	INT.	EXT.	INT.	EXT.	INT.	
2" SILL HEIGHT	24	80	57.0	120.3	62.0	167.9	62.0	167.9	60.7	167.9	60.7	167.9
	30	80	57.0	101.2	62.0	109.8	62.0	141.2	60.7	109.8	60.7	141.2
	36	80	57.0	88.7	62.0	96.5	62.0	123.8	60.7	96.5	60.7	123.8
	48	80	57.0	74.1	62.0	82.5	62.0	103.4	60.7	82.5	60.7	103.4
	24	96	57.0	97.0	62.0	135.4	62.0	135.4	60.7	135.4	60.7	135.4
	30	96	57.0	85.4	62.0	101.6	62.0	119.1	60.7	101.6	60.7	119.1
	36	96	57.0	70.2	62.0	87.1	62.0	98.0	60.7	87.1	60.7	98.0
	48	96	57.0	57.0	62.0	72.6	62.0	80.0	60.7	72.6	60.7	80.0
3" SILL HEIGHT	24	80	-	-	-	-	-	-	90.0	167.9	90.0	167.9
	30	80	-	-	-	-	-	-	90.0	109.8	90.0	141.2
	36	80	-	-	-	-	-	-	90.0	96.5	90.0	123.8
	48	80	-	-	-	-	-	-	82.5	82.5	90.0	103.4
	24	96	-	-	-	-	-	-	90.0	135.4	90.0	135.4
	30	96	-	-	-	-	-	-	90.0	101.6	80.0	119.1
	36	96	-	-	-	-	-	-	87.1	87.1	80.0	98.0
	48	96	-	-	-	-	-	-	72.6	72.6	80.0	80.0
HURRICANE PROTECTION		REQUIRED		REQUIRED				REQUIRED				
		BASED ON FTL-1547 DATED 1-21-97 TEST SIZE= 98" X 96" (XX) TEST LOADS= EXTERIOR PRESSURE +86.0 PSF INTERIOR PRESSURE -86.0 PSF DESIGN LOADS=EXTERIOR PRESSURE +57.0 PSF INTERIOR PRESSURE -57.0 PSF WATER INFILTRATION TEST= 8.6 PSF TESTED GLASS= 3/16" TEMPERED		BASED ON FTL-1265 DATED 9-17-96 TEST SIZE= 193" X 96" (OXXO) TEST LOADS= EXTERIOR PRESSURE +93.0 PSF INTERIOR PRESSURE -120.0 PSF DESIGN LOADS=EXTERIOR PRESSURE +82.0 PSF INTERIOR PRESSURE -80.0 PSF WATER INFILTRATION TEST= 9.3 PSF TESTED GLASS= 3/16" TEMPERED				BASED ON FTL-1841 DATED 12-10-97 TEST SIZE=193" X 96" (OXXO) TEST LOADS=EXTERIOR PRESSURE +120.0 PSF INTERIOR PRESSURE -120.0 PSF DESIGN LOADS=EXTERIOR PRESSURE +80.0 PSF INTERIOR PRESSURE -80.0 PSF WATER INFILTRATION TEST=9.1 AND 13.5 PSF TESTED GLASS= 1/4" TEMPERED				
ANCHOR SPACING AND EMBEDMENT		ANCHOR SPACING AND EMBEDMENT										
		DOUBLE ROW AT 6" MAX. FROM CORNERS AND 17" MAX. AT HEAD, JAMB AND SILL 1 1/4" MIN. EMBEDMENT INTO MASONRY AND 1 1/2" MIN. INTO WOOD		DOUBLE ROW AT 6" MAX. FROM CORNERS AND 20" O.C. MAX. AT HEAD AND SILL AND 17" O.C. MAX. AT JAMBS. 1 1/4" MIN. EMBEDMENT INTO MASONRY AND 1 1/2" MIN. INTO WOOD.								

Sunshine Windows Manufacturing, Inc.
 1745 W. 33rd Place
 Miami, Florida 33122
 Ph: (305)384-9982
 Fax: (305)828-8118

FRANCISCO HERNANDEZ, P. E.
 Structural Engineering
 351 NW 82nd Ave #1118
 Miami, Florida 33128
 Phone (305) 266 8670
 Fax (305) 266 3427

SERIES 1600 ALUMINUM SLIDING GLASS DOOR

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE
 DATE June 15, 2000
 BY Manuel J. J...
 PROJECT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 00-0403-08

PRODUCT RENEWED as complying with the Florida Building Code
 Acceptance No 02-0308.07
 Expiration Date MAY 20, 2007
 By [Signature]
 Miami Dade Product Control Division

Drawn By: JN
 Date: 4-6-99
 Scale: N.T.S.
 Revision: 3-25-00
 Revisions: _____

[Signature]
 3-25-00
 FRANCISCO HERNANDEZ
 FLORIDA PE # 51383

DRAWING NO. SGD98-01
 SHEET 2 OF 8

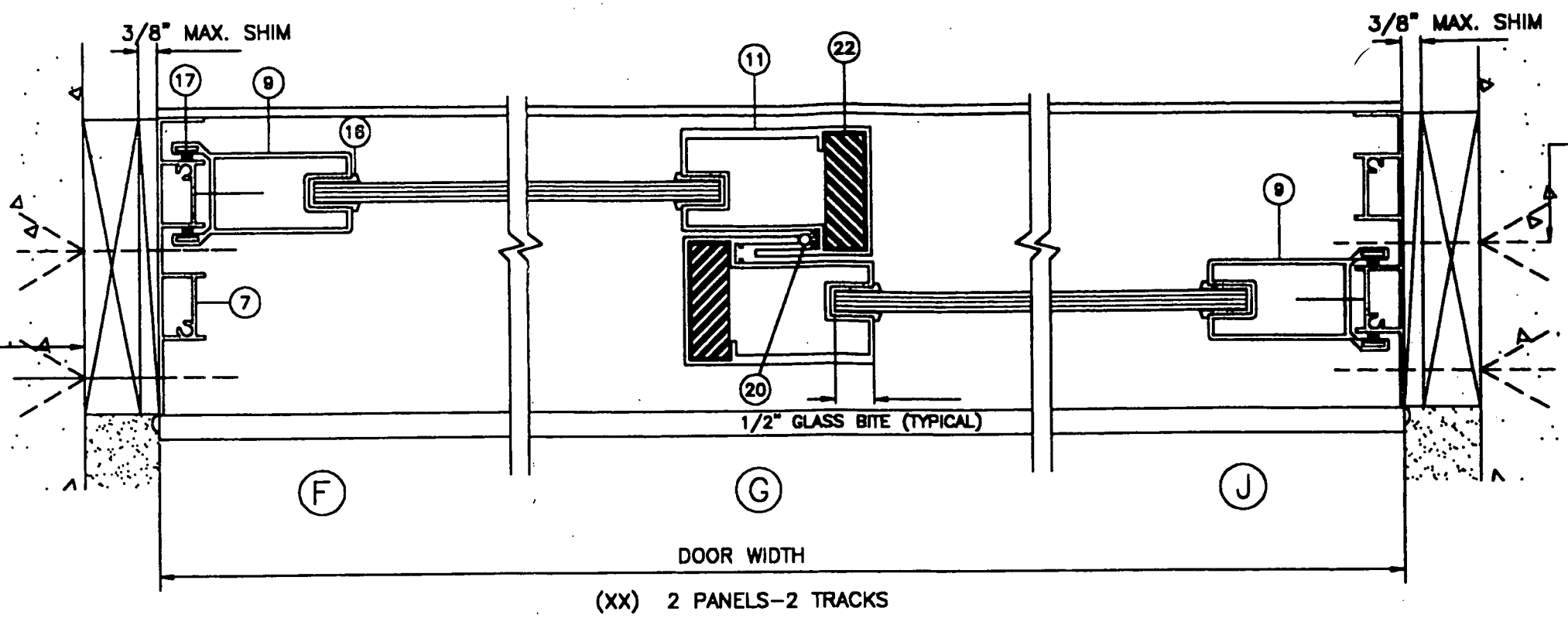
Sunshine Windows Manufacturing, Inc.
 1746 W. 33rd Place
 Hialeah, Florida 33012
 Ph: (305) 364-9982
 Fax: (305) 228-8118

FRANCISCO HERNANDEZ, P. E.
 Structural Engineering
 351 NW 82nd AVE #1118
 Miami, Florida 33126
 Phone (305) 266 8670
 Fax (305) 266 3427

SERIES 1600
 ALUMINUM SLIDING GLASS DOOR

Drawn By: JN
 Date: 4-6-99
 Scale: 1/2" = 1"
 Revision: 3-25-00
 Revision:

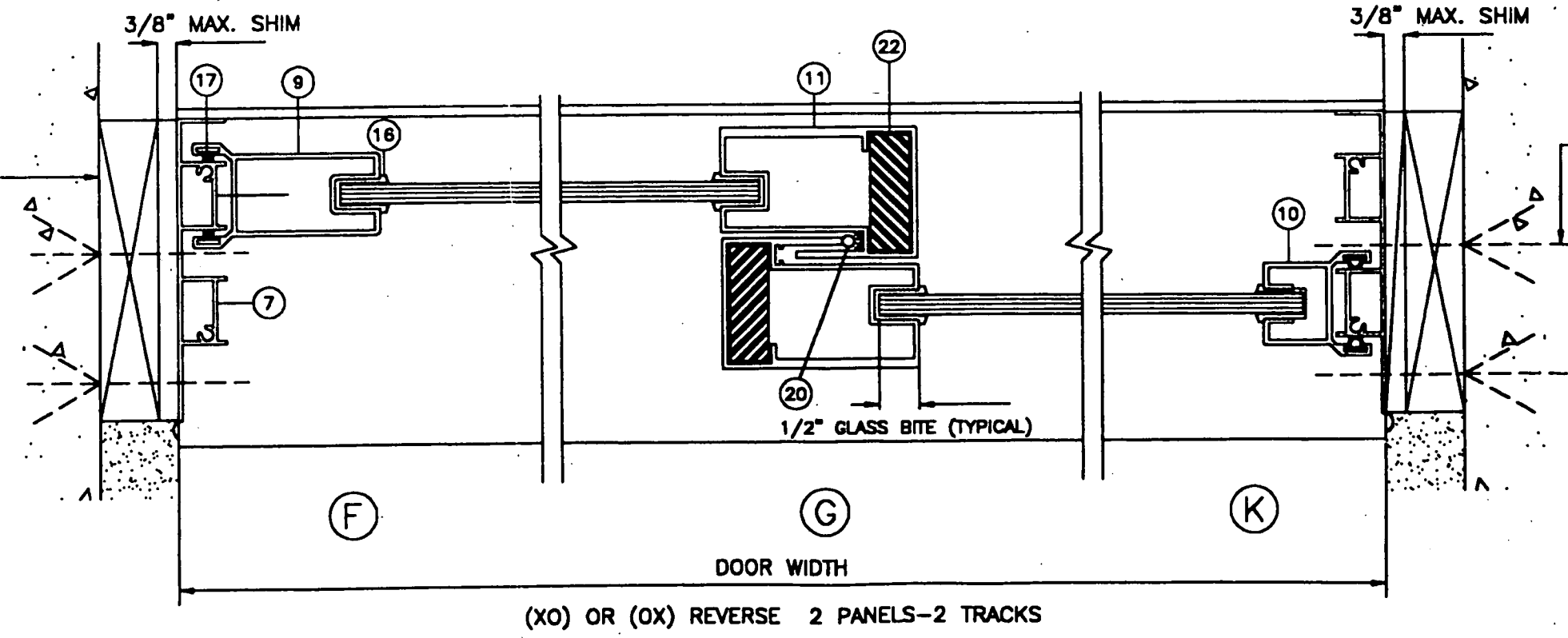
DRAWING NO.
 SGD98-01
 SHEET
 3 OF 8



SEE COMPARATIVE ANALYSIS CHART FOR ANCHOR SPACING AND EMBEDMENT (TYPICAL)

1 BY OR 2 BY WOOD BUCK NOT BY SUNSHINE WINDOWS MUST SUSTAIN IMPOSED LOADS BY GLAZING SYSTEM

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE
 DATE: June 15, 2000
 BY: Manuel Ortiz
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 00-0403.08



SEE COMPARATIVE ANALYSIS CHART FOR ANCHOR SPACING AND EMBEDMENT (TYPICAL)

PRODUCT RENEWED as complying with the Florida Building Code
 Acceptance No. 02-0308.07
 Expiration Date: May 20, 2007
 By: [Signature]
 Miami Trade Product Control Division

HORIZONTAL SECTIONS

[Signature]
 3-25-00
 FRANCISCO HERNANDEZ
 FLORIDA P.E. # 81383

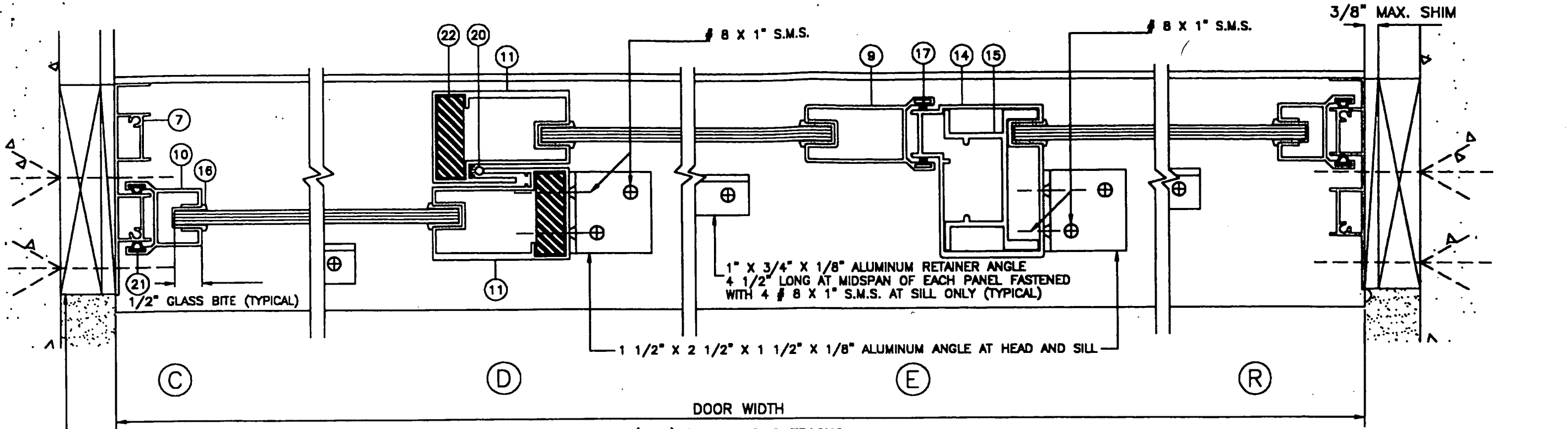
Sunshine Windows Manufacturing, Inc.
 1746 W. 33rd Place
 Hialeah, Florida 33012
 Ph: (305) 364-8852
 Fax: (305) 828-5118

FRANCISCO HERNANDEZ P. E.
 Structural Engineering
 351 NW 82nd Ave #1118
 Miami, Florida 33126
 Phone: (305) 266 8670
 Fax: (305) 266 3427

SERIES 1600
 ALUMINUM SLIDING GLASS DOOR

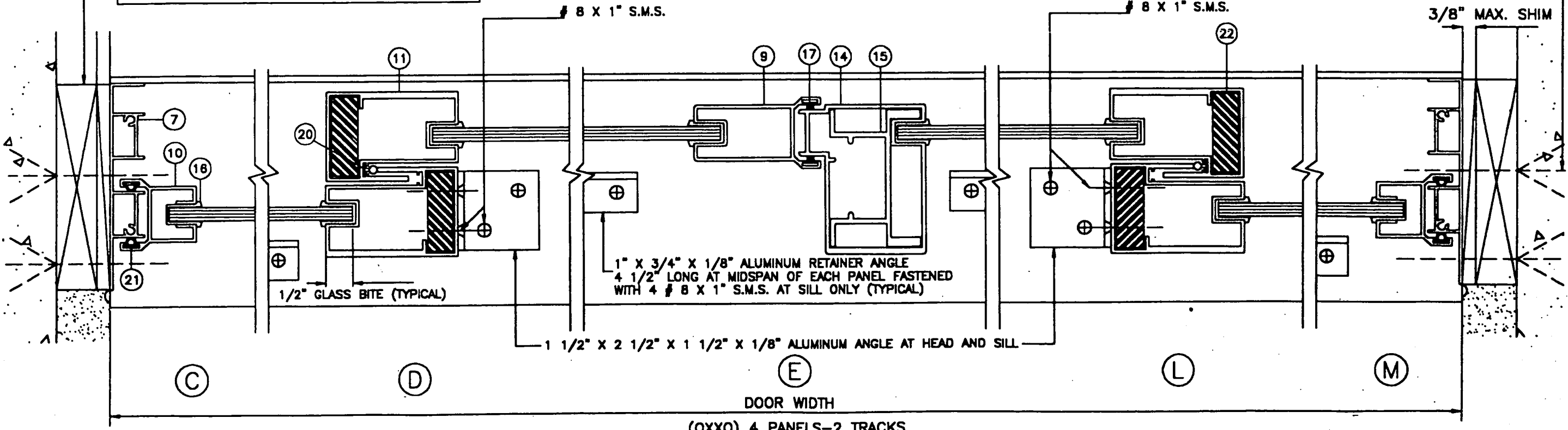
Drawn By: JN
 Date: 4-6-99
 Scale: 1/2" = 1"
 Revision: 3-25-00
 Revisions:

DRAWING NO.
 SGD98-01
 SHEET
 4 OF 8



1 BY OR 2 BY WOOD BUCK NOT BY SUNSHINE WINDOWS
 MUST SUSTAIN IMPOSED LOADS BY GLAZING SYSTEM

SEE COMPARATIVE ANALYSIS
 CHART FOR ANCHOR SPACING
 AND EMBEDMENT (TYPICAL)



PRODUCT RENEWED
 as complying with the Florida
 Building Code
 Acceptance No. 02-0308-07
 Expiration Date May 20, 2007
 By: [Signature]
 Miami Dade Product Control
 Division

HORIZONTAL SECTIONS

APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE June 15, 2000
 BY [Signature]
 PROJECT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 02-0403-08

[Signature]
 3-25-00
 FRANCISCO HERNANDEZ
 FLORIDA PE # 51393

Sunshine Window Manufacturing, Inc.
 1745 W. 32nd St.
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 Fax (305) 288-8111

FRANCISCO HERNANDEZ P. E.
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 Miami, Florida 33126
 Phone (305) 288 8670
 Fax (305) 288 3427

SERIES 1600
 ALUMINUM SLIDING GLASS DOOR

Drawn By: JN
 Date: 4-6-98
 Scale: 1/2"=1'
 Revisions: 3-25-00
 Revisions:

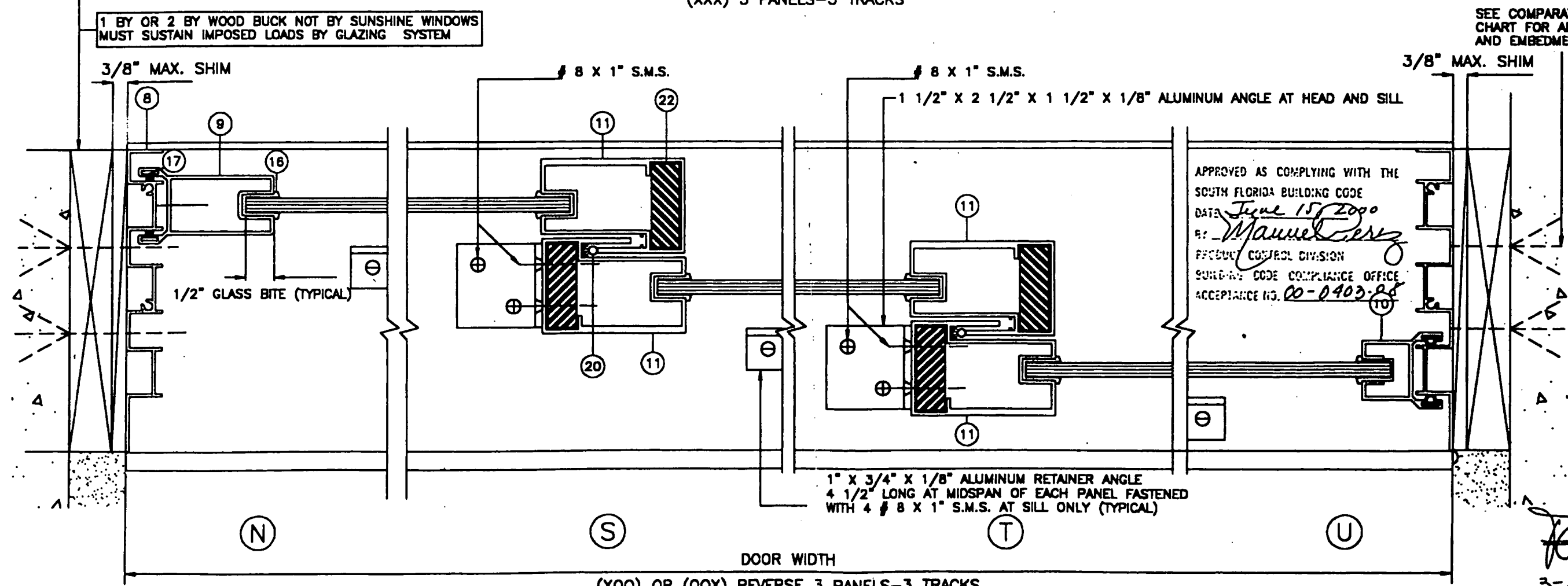
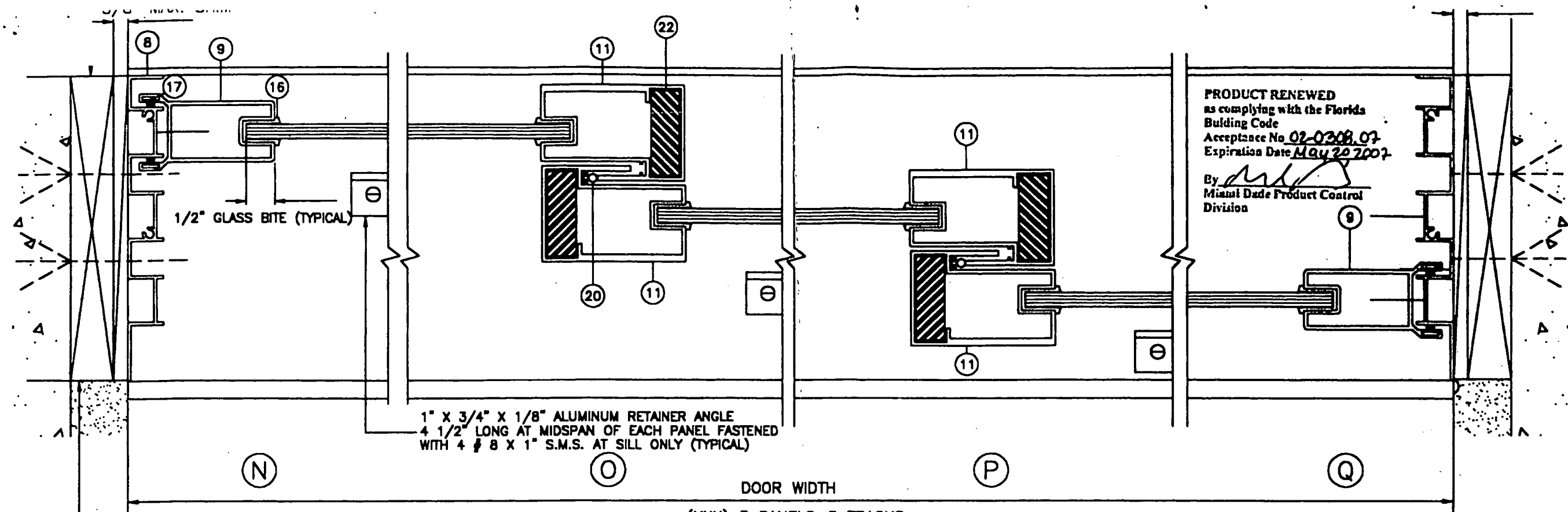
DRAWING NO.
 SGD98-01
 SHEET
 5 OF 8

PRODUCT RENEWED
 as complying with the Florida
 Building Code
 Acceptance No. 02-0308.07
 Expiration Date May 20 2007
 By: *[Signature]*
 Miami Dade Product Control
 Division

APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE June 15 2000
 BY: *[Signature]*
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 00-0403-28

SEE COMPARATIVE ANALYSIS
 CHART FOR ANCHOR SPACING
 AND EMBEDMENT (TYPICAL)

[Signature]
 3-28-00
 FRANCISCO HERNANDEZ
 FLORIDA PE # 51383



HORIZONTAL SECTIONS

Sunshine Window Manufacturing, Inc.
 1726 N.W. 11th St.
 Miami, Florida 33136
 Phone (305) 266-8870
 Fax (305) 266-4728

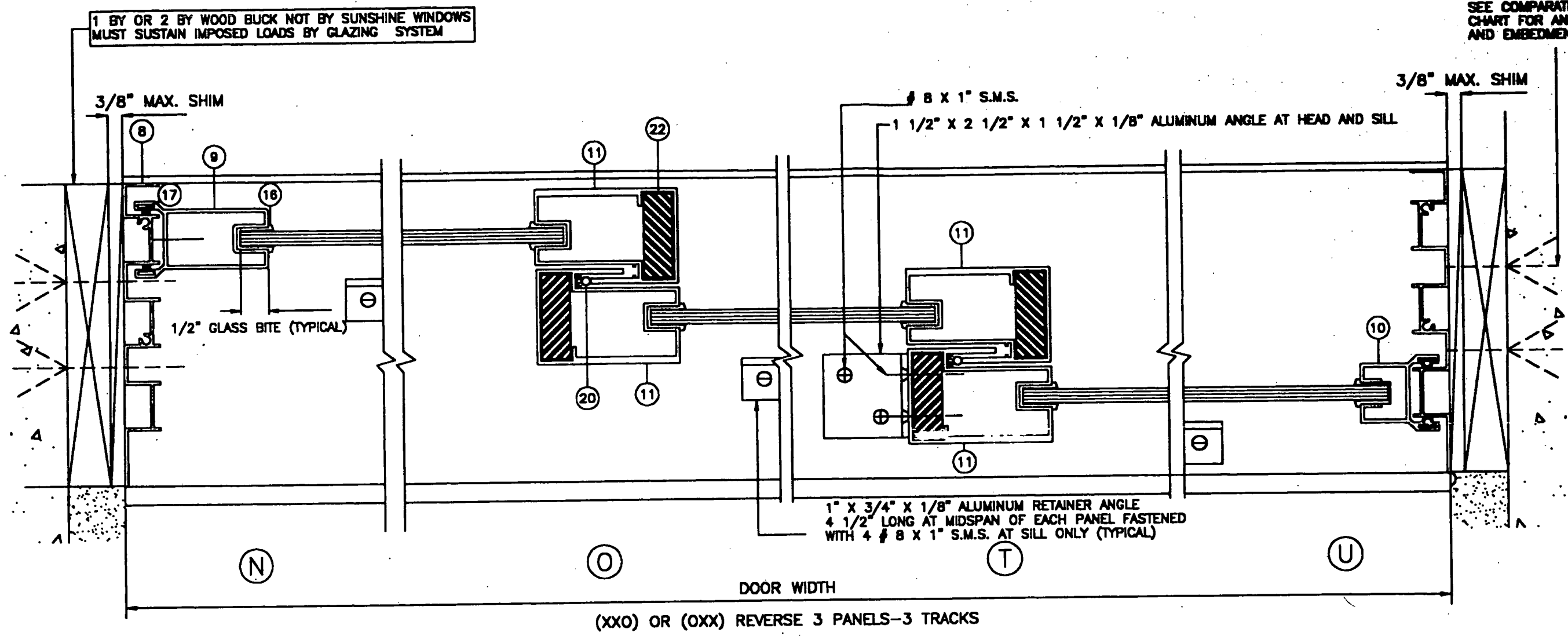
FRANCISCO HERNANDEZ P. E.
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 Miami, Florida 33126
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 Fax (305) 266-3427

SERIES 1600
ALUMINUM SLIDING GLASS DOOR

Drawn By: **JN**
 Date: **4-6-99**
 Scale: **1/2"=1'**
 Revision: **3-25-00**

DRAWING NO.
SGD98-01
 SHEET
6 OF 8

SEE COMPARATIVE ANALYSIS CHART FOR ANCHOR SPACING AND EMBEDMENT (TYPICAL)



1 BY OR 2 BY WOOD BUCK NOT BY SUNSHINE WINDOWS MUST SUSTAIN IMPOSED LOADS BY GLAZING SYSTEM

3/8" MAX. SHIM

3/8" MAX. SHIM

8 X 1" S.M.S.
 1 1/2" X 2 1/2" X 1 1/2" X 1/8" ALUMINUM ANGLE AT HEAD AND SILL

1/2" GLASS BITE (TYPICAL)

1" X 3/4" X 1/8" ALUMINUM RETAINER ANGLE
 4 1/2" LONG AT MIDSPAN OF EACH PANEL FASTENED WITH 4 # 8 X 1" S.M.S. AT SILL ONLY (TYPICAL)

DOOR WIDTH

(XXO) OR (OXX) REVERSE 3 PANELS-3 TRACKS

PRODUCT RENEWED
 as complying with the Florida Building Code
 Acceptance No. **07-0308.07**
 Expiration Date **May 22, 2007**

By: *[Signature]*
 Miami Dade Product Control Division

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE
 DATE **June 15, 2000**
 BY: *[Signature]*
 PROJECT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. **00-0403.08**

[Signature]
 3-26-00
 FRANCISCO HERNANDEZ
 FLORIDA PE # 81383

HORIZONTAL SECTIONS

Sunshine Windows Manufacturing, Inc.
 1748 W. 25th St.
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FRANCISCO HERNANDEZ P. E.
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 351 NW 82nd Ave #1118
 Miami, Florida 33128
 Phone (305) 288-8670
 Fax (305) 288-3427

SERIES 1600
 ALUMINUM SLIDING GLASS DOOR

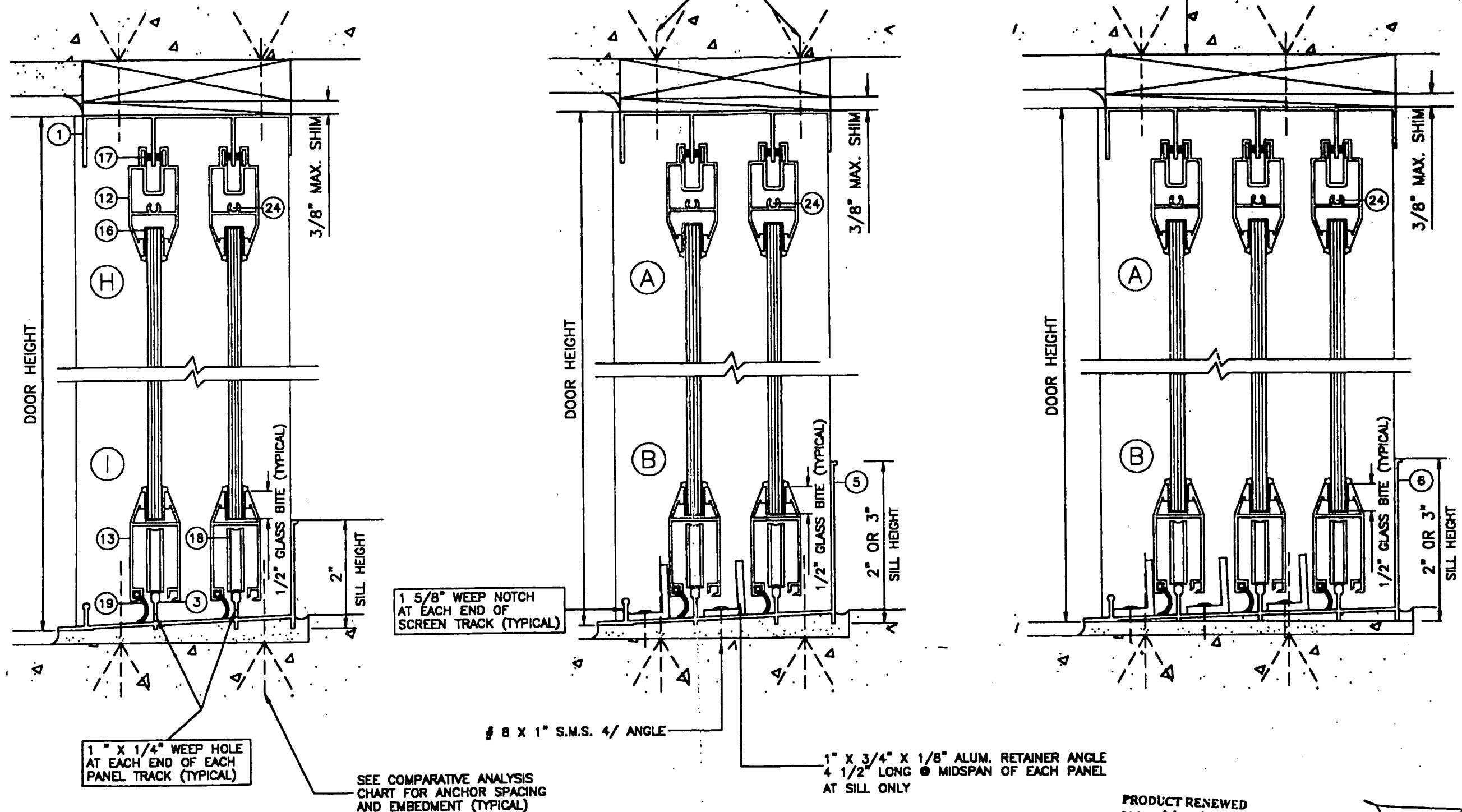
Drawn By: JN
 Date: 4-6-99
 Scale: 1/2" = 1"
 Revision: 3-25-00

DRAWING NO.
 SGD98-01
 SHEET
 7 OF 8

APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE: June 15, 2000
 BY: *Manuel...*
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 00-0403.08

1 BY OR 2 BY WOOD BUCK NOT BY SUNSHINE WINDOWS
 MUST SUSTAIN IMPOSED LOADS BY GLAZING SYSTEM

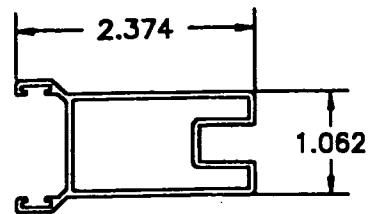
SEE COMPARATIVE ANALYSIS
 CHART FOR ANCHOR SPACING
 AND EMBEDMENT (TYPICAL)



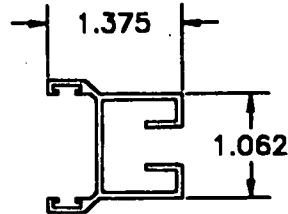
VERTICAL SECTIONS

PRODUCT RENEWED
 as complying with the Florida
 Building Code
 Acceptance No. 02-0309.07
 Expiration Date May 22, 2007
 By: *[Signature]*
 Miami Dade Product Control
 Division

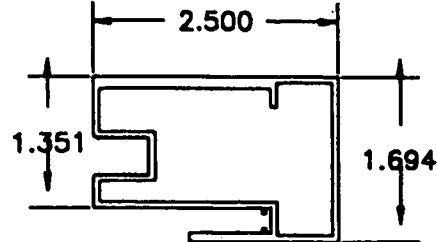
[Signature]
 3-25-00
 FRANCISCO HERNANDEZ
 FLORIDA PE # 51303



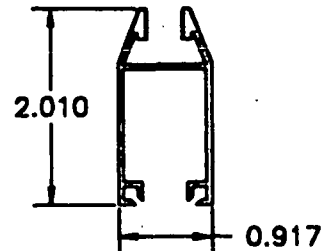
LOCK STILE
SW-006
6063-T5



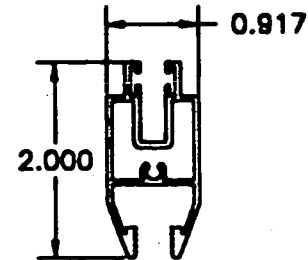
FIXED STILE
SW-007
6063-T5



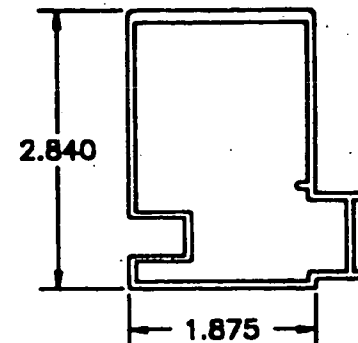
HD INTERLOCK
SW-41674
6063-T6



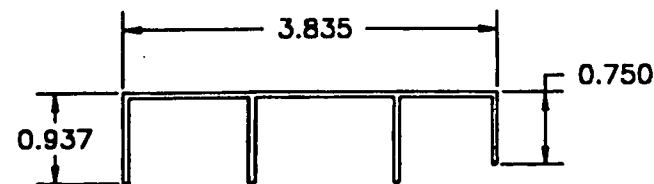
BOTTOM RAIL
SW-004
6063-T5



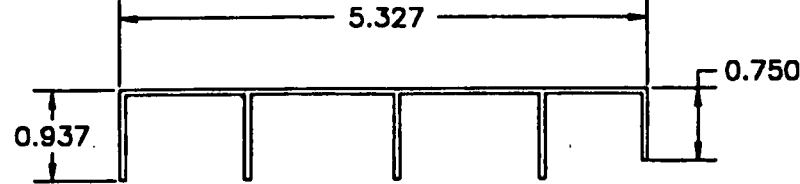
TOP RAIL
SW-005
6063-T5



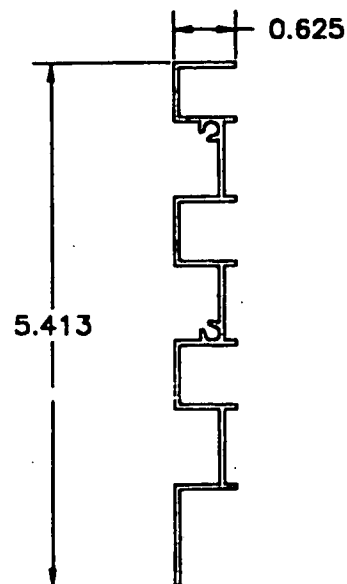
HD FEMALE ASTRAGAL
SW-3781
6063-T5



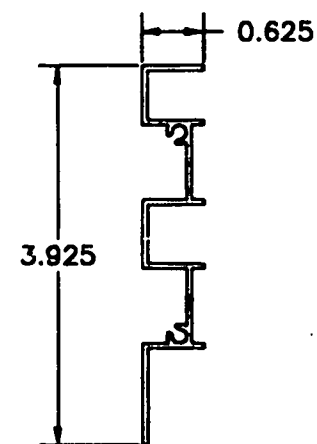
2T HEAD
SW-002
6063-T5



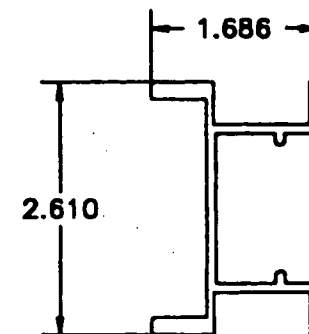
3T HEAD
SW-066
6063-T5



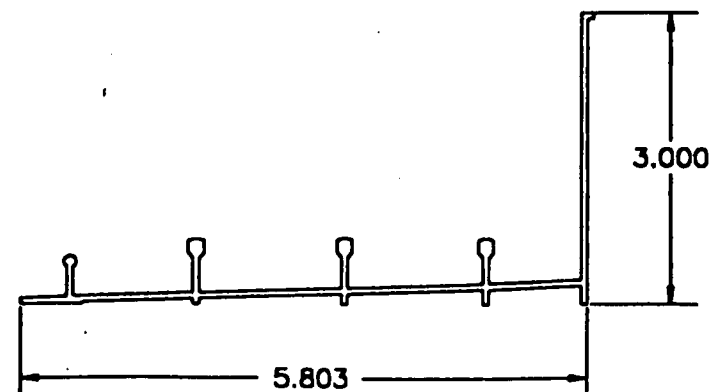
3T JAMB
SW-067
6063-T5



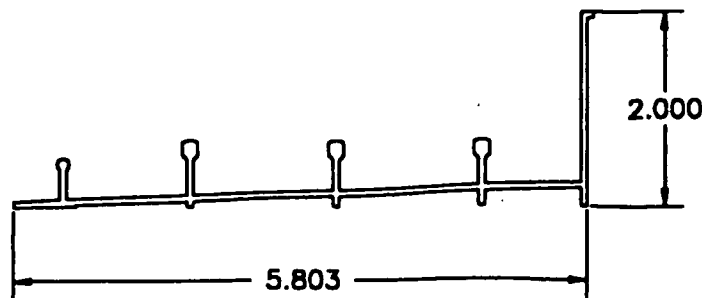
2T JAMB
SW-001
6063-T5



STIFFENER FOR FEMALE ASTRAGAL
SW-3782
6063-T5

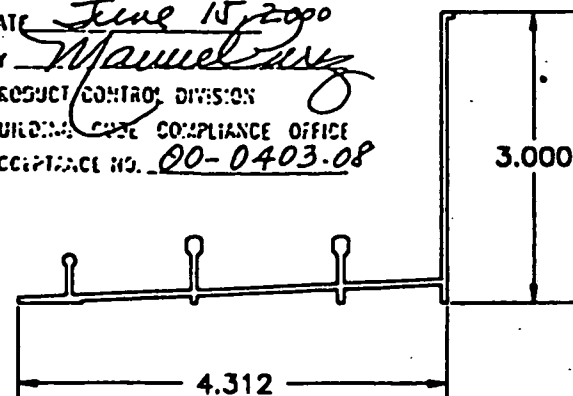


3T HI-RISE SILL
SW-065B
6063-T6

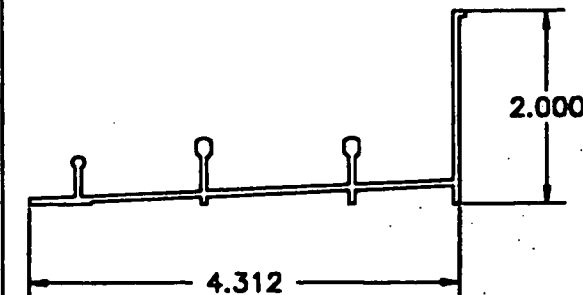


3T SILL
SW-065A
6063-T6

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE June 15, 2000
BY Manuel...
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 00-0403.08



2T HI-RISE SILL
SSW-0002
6063-T5



2T SILL
SSW-0015
6063-T5

PRODUCT RENEWED
as complying with the Florida
Building Code
Acceptance No. 02-0308.02
Expiration Date 12/25/2002
By [Signature]
Final Date Product Control
Division

[Signature]
3-25-00
FRANCISCO HERNANDEZ
FLORIDA PE # 81383

Sunshine Windows
Manufacturing, Inc.
1748 W. 32nd Street
Miami, Florida 33126
Phone (305) 266-8670
Fax (305) 266-8118

FRANCISCO HERNANDEZ P.E.
Structural Engineering
351 NW 82nd Ave #1118
Miami, Florida 33126
Phone (305) 266-8670
Fax (305) 266-3427

SERIES 1600
ALUMINUM SLIDING GLASS DOOR

Drawn By: JN
Date: 4-6-99
Scale: 1/2"=1"
Revision: 3-25-00
Revision:

DRAWING NO.
SGD98-01
SHEET
8 OF 8

Sunshine Windows
Manufacturing, Inc.

1745 W. 33rd Place
Hialeah, Florida 33012

Ph: (305)364-9952
Fax:(305)828-5118

HR

HORIZONTAL SLIDING WINDOW (DSB ANNEALED GLASS)

NOA: 02-0125.03

EXP. 02-28-2007



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**Sunshine Windows Manufacturing, Inc.
1745 W. 33rd Place
Hialeah, FL 33012**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by the BCCO and accepted by the Building Code and Product Review Committee (BCPRC) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The BCCO (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BCPRC reserves the right to revoke this acceptance, if it is determined by BCCO that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County or Florida Building Code.

DESCRIPTION: Series "1650" Horizontal Sliding Window

APPROVAL DOCUMENT: Drawing No. HS99-01, titled "Series 1650 Aluminum Horizontal Sliding Window (XO) DSB Annealed Glass", sheet 1 through 3, prepared, signed and sealed by Francisco Hernandez, P.E., dated 3/4/99, bearing the Miami-Dade County Product Control Renewal stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: None

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 99-0202.12 and, consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Raul Rodriguez.



**NOA No 02-0125.03
Expiration Date: February 28, 2007
Approval Date: March 7, 2002
Page 1**

SH

Sunshine Windows
Manufacturing, Inc.

1745 W. 33rd Place
Hialeah, Florida 33012

Ph: (305)364-9952
Fax:(305)828-5118

**SINGLE HUNG WINDOW
(LARGE, SMALL AND NONE MISSILE IMPACT.)**

NOA: 02-0212.02

EXP. 04-22-2007



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**Sunshine Windows MFG., Inc.
1745 West 33rd Place
Hialeah, FL 33012**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Series "2000" Aluminum Single Hung Window

APPROVAL DOCUMENT: Drawing No. SH98-04, titled "Series 2000 Aluminum Single Hung Window", sheets 1 through 5, prepared, signed and sealed by Francisco Hernandez, P.E., dated 3/25/99, bearing the Miami-Dade County Product Control Renewal stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large, Small and None Missile Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 00-0403.07 and, consists of the page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Raul Rodriguez.



**NOA No 02-0212.02
Expiration Date: April 22, 2007
Approval Date: March 21, 2002
Page 1**

Sunshine Windows
Manufacturing, Inc.

1745 W. 33rd Place
Hialeah, Florida 33012

Ph: (305)364-9952
Fax:(305)828-5118

S.G.D

ALUMINUM SLIDING GLASS DOOR

NOA: 02-0308.07

X	X
----------	----------

X	O

X	X	X
----------	----------	----------

O	X	O

X	X	O
----------	----------	----------

X	O	O
----------	----------	----------

O	X	X	O

EXP. 05-20-2007



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**Sunshine Windows Manufacturing, Inc.
1745 W 33rd Place
Hialeah, FL 33012**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Series 1600 Aluminum Sliding Glass Door

APPROVAL DOCUMENT: Drawing No. SGD98-01, titled "Series 1600 Aluminum Sliding Door", sheets 1 through 8 of 8, prepared, signed and sealed by Francisco Hernandez, P.E., dated 3/25/00, bearing the Miami-Dade County Product Control Renewal stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: None

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 00-0403.08 and, consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Raul Rodriguez.



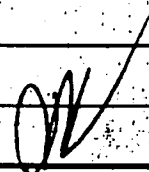
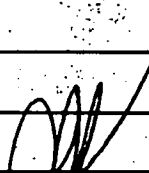
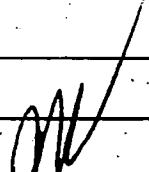
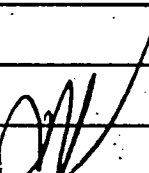
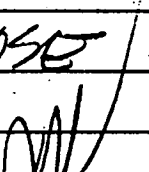
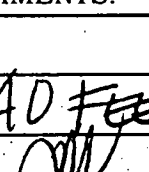
**NOA No 02-0308.07
Expiration Date: May 20, 2007
Approval Date: April 04, 2002
Page 1**

370-0700

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 8/11, 2004 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6655	WHITWELL	UG TANK/LINE	PASS	
2	MARGUERITA FERRELL GAS			INSPECTOR: 
6781	SANGRAJKA	ROUGH PUMPK	PASS	
4	20 S. VIA LUCINDA SOUTH PINE PUMPK	ROUGH A/C ROUGH ELEC	PASS PASS	INSPECTOR: 
6849	FENSTERER	FEET FOOTER	PASS	
8	71 S. SEWALL'S PT RD O/B			INSPECTOR: 
6771	ALMAN	PUR POUR SLAB	FAIL	
4	106 S. RIVER RD O/B			INSPECTOR: 
6852	HOCKSTETTER	SCREW INSPECTION	PASS	CLOSE
9	72 S. RIVER RD ALPHA SOUTH	HURRICANE SHUT.	PASS	INSPECTOR: 
6851	DEBENIAN	TENANT IMP ROUGH	FAIL	
1	3725 E. OCEAN CALIBER CONST.			\$40 FEE INSPECTOR: 
6880				INSPECTOR:

OTHER: _____

7595

REROOF

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 6/1/05

BUILDING PERMIT NO. 7595

Building to be erected for HOCHSTETTER

Type of Permit REMOVE

Applied for by QUADROS (Contractor)

Building Fee _____

Subdivision LUCINDIA Lot 21 Block _____

Radon Fee _____

Address 72 S. RIVER ROAD

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:

Electrical Fee _____

0138410070000021010000

Plumbing Fee _____

Amount Paid 120.00 Check # 9367 Cash _____

Roofing Fee 120.00

Total Construction Cost \$ 2450.00

TOTAL Fees 120.00

Signed Jack Mecca Applicant

Signed Gene Simmons Town Building Official

PERMIT

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input checked="" type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

APR 01 2005
BY: _____

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Date: _____ Permit Number: _____

OWNER/TITLEHOLDER NAME: Andrew Hochstetter Phone (Day) _____ (Fax) _____

Job Site Address: 72 S River Road City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Lucinda lot 21 Parcel Number: 01-38-41-007-000-00210-1

Owner Address (if different): Same City: _____ State: _____ Zip: _____

Description of Work To Be Done: Re-roof

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 2450.00
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

(If no, fill out the Contractor & Subcontractor sections below)
(If yes, Owner Builder Affidavit must accompany application)

Is improvement cost 50% or more of Fair Market Value? YES NO
Method of Determining Fair Market Value: _____

CONTRACTOR/Company: Quakro's Inc, Jack Mecca Pres Phone: 772 335-4600 Fax: 772 335-1919

Street: 1591 SE Port St Lucie Blvd Suite # City: Port St Lucie State: FL Zip: 34952

State Registration Number: _____ State Certification Number: 166038784 Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____
Mechanical: _____ State: _____ License Number: _____
Plumbing: _____ State: _____ License Number: _____
Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic# _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
Andrew Hochstetter
State of Florida, County of: St Lucie
This the 31 day of March, 2005
by Andrew Hochstetter who is personally known to me or produced El Dr Lic as identification.

CONTRACTOR SIGNATURE (required)
Jack Mecca President
On State of Florida, County of: Martin
This the 29th day of MARCH, 2005
by Jack Andrew Mecca who is personally known to me or produced El Dr Lic as identification.

My Commission Expires: _____
OFFICIAL NOTARY SEAL
JESSIE M COX
NOTARY PUBLIC STATE OF FLORIDA
COMMISSION NO. 15016598
MY COMMISSION EXPIRES MAY 6, 2005

My Commission Expires: _____
LAURA O'BRIEN
NOTARY PUBLIC STATE OF FLORIDA
COMMISSION NO. 205961
EXPIRES: April 28, 2007
Bonded Thru Notary Public Underwriters

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP

ACORD™ CERTIFICATE OF LIABILITY INSURANCE		Date 3/21/2005
Producer: Lion Insurance Company 2739 U.S. Highway 19 N. Holiday, FL 34691 Phone: 727-938-5562 Fax: 727-937-2138	This Certificate is issued as a matter of information only and confers no rights upon the Certificate Holder. This Certificate does not amend, extend or alter the coverage afforded by the policies below.	
Insured: South East Personnel Leasing, Inc. 2739 U.S. Highway 19 N. Holiday, FL 34691 Phone : (727)938-5562	Insurers Affording Coverage	NAIC #
	Insurer A: Lion Insurance Company	11075
	Insurer B:	
	Insurer C:	
	Insurer D:	
	Insurer E:	

Coverages

The policies of insurance listed below have been issued to the insured named above for the policy period indicated. Notwithstanding any requirement, term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the policies described herein is subject to all the terms, exclusions, and conditions of such policies. Aggregate limits shown may have been reduced by paid claims.

INSR LTR	ADDL INSRD	Type of Insurance	Policy Number	Policy Effective Date (MM/DD/YY)	Policy Expiration Date (MM/DD/YY)	Limits																
		GENERAL LIABILITY <input type="checkbox"/> Commercial General Liability <input type="checkbox"/> Claims Made <input type="checkbox"/> Occur <hr/> General aggregate limit applies per: <input type="checkbox"/> Policy <input type="checkbox"/> Project <input type="checkbox"/> LOC				Each Occurrence \$ Damage to rented premises (EA occurrence) \$ Med Exp \$ Personal Adv Injury \$ General Aggregate \$ Products - Compl/Op Agg \$																
		AUTOMOBILE LIABILITY <input type="checkbox"/> Any Auto <input type="checkbox"/> All Owned Autos <input type="checkbox"/> Scheduled Autos <input type="checkbox"/> Hired Autos <input type="checkbox"/> Non-Owned Autos				Combined Single Limit (EA Accident) \$ Bodily Injury (Per Person) \$ Bodily Injury (Per Accident) \$ Property Damage (Per Accident) \$																
		GARAGE LIABILITY <input type="checkbox"/> Any Auto				Auto Only - Ea Accident \$ Other Than EA Acc. \$ Autos Only: AGG. \$																
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> Occur <input type="checkbox"/> Claims Made <input type="checkbox"/> Deductible <input type="checkbox"/> Retention				Each Occurrence Aggregate																
A		Workers Compensation and Employers' Liability Any proprietor/partner/executive officer/member excluded? If Yes, describe under special provisions below.	WC 71949	01/01/2005	01/01/2006	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">X</td> <td style="font-size: x-small;">WC Statutory Limits</td> <td style="text-align: center;">OTH-ER</td> <td></td> </tr> <tr> <td colspan="3">E.L. Each Accident</td> <td style="text-align: right;">\$1000000</td> </tr> <tr> <td colspan="3">E.L. Disease - Ea Employee</td> <td style="text-align: right;">\$1000000</td> </tr> <tr> <td colspan="3">E.L. Disease - Policy Limits</td> <td style="text-align: right;">\$1000000</td> </tr> </table>	X	WC Statutory Limits	OTH-ER		E.L. Each Accident			\$1000000	E.L. Disease - Ea Employee			\$1000000	E.L. Disease - Policy Limits			\$1000000
X	WC Statutory Limits	OTH-ER																				
E.L. Each Accident			\$1000000																			
E.L. Disease - Ea Employee			\$1000000																			
E.L. Disease - Policy Limits			\$1000000																			
	Other 3066005 Quadros, Inc.	COVERAGE APPLIES ONLY TO THOSE EMPLOYEES LEASED, NOT TO SUBCONTRACTORS.																				

Descriptions of Operations/Locations/Vehicles/Exclusions added by Endorsement/Special Provisions: ADD ON DATE: 12/27/2004
 COVERAGE APPLIES ONLY IN THE STATE OF FLORIDA TO THOSE EMPLOYEES LEASED TO BUT NOT SUBCONTRACTORS OF Quadros, Inc. * FAX: 772-335-1919 & 772-220-4765 / ISSUE 3-21-05 (JOM)

CERTIFICATE HOLDER TOWN OF SEWALLS POINT BUILDING DEPARTMENT ONE S SEWALLS POINT RD SEWALLS POINT FL 34996	CANCELLATION Should any of the above described policies be cancelled before the expiration date thereof, the issuing insurer will endeavor to mail 30 days written notice to the certificate holder named to the left, but failure to do so shall impose no obligation or liability of any kind upon the insurer, its agents or representatives.

- STATE FARM GENERAL INSURANCE COMPANY, Bloomington, Illinois
- STATE FARM FIRE AND CASUALTY COMPANY, Bloomington, Illinois
- STATE FARM FLORIDA INSURANCE COMPANY, Scarborough, Ontario
- STATE FARM LLOYDS, Dallas, Texas

Insures the following policyholder for the coverages indicated below:

Name of policyholder QUADROS INC
 Address of policyholder 2022 SE ALLAMANDA DR, PORT ST. LUCIE, FL 34952-5804
 Location of operations _____
 Description of operations _____

The policies listed below have been issued to the policyholder for the policy periods shown. The insurance described in these policies is subject to all the terms, exclusions, and conditions of those policies. The limits of liability shown may have been reduced by any paid claims.

POLICY NUMBER	TYPE OF INSURANCE	POLICY PERIOD		LIMITS OF LIABILITY (at beginning of policy period)
		Effective Date	Expiration Date	
98-QJ-8000-8 B This insurance includes:	Comprehensive Business Liability <input type="checkbox"/> Products - Completed Operations <input type="checkbox"/> Contractual Liability <input type="checkbox"/> Underground Hazard Coverage <input type="checkbox"/> Personal Injury <input type="checkbox"/> Advertising Injury <input type="checkbox"/> Explosion Hazard Coverage <input type="checkbox"/> Collapse Hazard Coverage <input type="checkbox"/> <input type="checkbox"/>	02/01/05	02/01/06	BODILY INJURY AND PROPERTY DAMAGE Each Occurrence \$ 300,000 General Aggregate \$ 600,000 Products - Completed Operations Aggregate \$
	EXCESS LIABILITY <input type="checkbox"/> Umbrella <input type="checkbox"/> Other			BODILY INJURY AND PROPERTY DAMAGE (Combined Single Limit) Each Occurrence \$ Aggregate \$
	Workers' Compensation and Employers Liability			Part 1 STATUTORY Part 2 BODILY INJURY Each Accident \$ Disease Each Employee \$ Disease - Policy Limit \$
POLICY NUMBER	TYPE OF INSURANCE	POLICY PERIOD		LIMITS OF LIABILITY (at beginning of policy period)
		Effective Date	Expiration Date	

THE CERTIFICATE OF INSURANCE IS NOT A CONTRACT OF INSURANCE AND NEITHER AFFIRMATIVELY NOR NEGATIVELY AMENDS, EXTENDS OR ALTERS THE COVERAGE APPROVED BY ANY POLICY DESCRIBED HEREIN.

If any of the described policies are canceled before its expiration date, State Farm will try to mail a written notice to the certificate holder 30 days before cancellation. If however, we fail to mail such notice, no obligation or liability will be imposed on State Farm or its agents or representatives.

Name and Address of Certificate Holder

TOWN OF SEWALLS POINT
 1 SOUTH SEWALLS POINT RD
 SEWALLS POINT, FL 34996



FRANK WARREN, Agent
 810 SW Martin Downs Boulevard
 P.O. Box 1018
 Stuart, Florida 34995-1018
 Business: (772) 288-7400
 Fax: (772) 288-3058

Frank Warren / pm
 Signature of Authorized Representative
 AGENT _____ 15 MAR 05
 Title _____ Date

Agent's Code Stamp
 AFO Code F607

**OCCUPATIONAL TAX RECEIPT
CITY OF PORT ST. LUCIE**

121 SW PORT ST. LUCIE BOULEVARD
PORT ST. LUCIE, FLORIDA 34954-5099

THIS LICENSE VALID WHEN ALL STATE AND LOCAL
REGULATED TRADE LICENSES / COMPETENCY
CARDS ARE VALID FOR THE CURRENT FISCAL YEAR.

TERM: October 1, 2004 to September 30, 2005

THIS IS A RECEIPT FOR TAX PAID AND IS NOT REGULATORY IN NATURE

This license does not warrant or hold that the licensee is competent to perform in the business(es) as licensed, but that the licensee has paid the required fee(s) and provided the necessary documentation (if required) to be licensed in this business.

LICENSE MUST BE EXHIBITED CONSPICUOUSLY AT YOUR PLACE OF BUSINESS.

VALID AT THIS BUSINESS ADDRESS ONLY.

Business/Lic. 100472/05-1014592

Business Address: 1591 SE PORT ST LUCIE BLVD
Classification: CONT CONTRACTOR
Issued to: QUADROS INC
1591 SE PORT ST LUCIE BLVD
SUITE A
PORT ST LUCIE FL 34952

Fee: 115.77
Discount: 0.00



BUSINESS LICENSE COORDINATOR
209/032 MBM **BUSINESS COPY**

Fees: 115.77 Late Fees: 0.00 Total this payment : 115.77

* 2004-2005

ST. LUCIE COUNTY OCCUPATIONAL LICENSE

ACCOUNT 1500-00914059

FACILITIES OR MACHINES ROOMS SEATS EMPLOYEES 1-10
BOB DAVIS, CPA, CGFO, CFC, ST. LUCIE COUNTY TAX COLLECTOR

EXPIRES SEP 30, 2005

TYPE OF BUSINESS 1500-BUILDING CONTRACTOR

BUSINESS LOCATION 2022 SE Allamanda Dr
City of Pt St Lucie

X RENEWAL
NEW LICENSE
TRANSFER-
ORIGINAL TAX 11.25

NAME Mailing Address Mecca Jack A DBA
Quadros Inc CO 09059
Mecca, Jack A.
2022 SE Allamanda Drive
Port St Lucie FL 34952

AMOUNT PENALTY
COLLECTION COST
TOTAL 11.25

Please see back for additional information

PAID 08/11/2004 99-20040811-069735 11.25

City of Fort Pierce, Florida
Contractor Licensing
P.O. Box 1480
Fort Pierce, Florida 34954
Local License: CONT924--05
Expiration: 9/30/2005
Type: GENERAL CONTRACTOR (CERTIFIED)
QUADROS INC
Qualifier Jack A. Mecca





STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD
1940 NORTH MONROE STREET
TALLAHASSEE FL 32399-0783

(850) 487-1399

MECCA, JACK A
QUADROS INC
2022 SE ALLAMANDA DR
PT ST LUCIE FL 34952-5804

STATE OF FLORIDA AC# 1452
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CGC038784 06/16/04 0307274
CERTIFIED GENERAL CONTRACTOR
MECCA, JACK A
QUADROS, INC
IS CERTIFIED under the provisions of Ch. 489
Expiration date: AUG 31, 2006 L040616020

DETACH HERE

AC# 1452002 STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD SEQ# L040616020

DATE	BATCH NUMBER	LICENSE NBR
06/16/2004	030727469	CGC038784

The GENERAL CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2006

MECCA, JACK A
QUADROS INC
2022 SE ALLAMANDA DR
PT ST LUCIE FL 34952-5804

JEB BUSH GOVERNOR

DIANE CARR SECRETARY

DISPLAY AS REQUIRED BY LAW



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**CertainTeed Corporation
1400 Union Meeting Road
Blue Bell, PA 19422**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Landmark 30 (and-AR) (and WideTrack QB), Landmark 40 (and-AR) (and WideTrack QB) and Landmark 50 (and-AR) (and WideTrack QB)

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of pages 1 through 4.
The submitted documentation was reviewed by Miami-Dade County Product Control Division.



FILE COPY
TOWNE OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 4/4/05
BUILDING OFFICIAL
Gene Simmons

NOA No.: 02-1219.03
Expiration Date: 02/28/07
Approval Date: 03/27/03
Page 1 of 4

ROOFING ASSEMBLY APPROVAL

Category: Roofing
Sub-Category: 07310 Asphalt Shingles
Materials Dimensional
Deck Type: Wood

1. SCOPE

This revises **CertainTeed Landmark 30 and AR (and WideTrack QB), CertainTeed Landmark 40 and AR (and WideTrack QB), CertainTeed Landmark 50 and AR (and WideTrack QB)** Shingles as manufactured by **CertainTeed Corporation** described in Section 2 of this Notice of Acceptance.

2. PRODUCT DESCRIPTION

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
CertainTeed Landmark 30 and AR (and WideTrack QB)	13¼" x 38 ¾"	PA 110	A heavy weight, 247lb/sq, dimensional asphalt shingle.
CertainTeed Landmark 40 and AR (and WideTrack QB)	13¼" x 38 ¾"	PA 110	A heavy weight, 264lb/sq, dimensional asphalt shingle.
CertainTeed Landmark 50 and AR (and WideTrack QB)	13¼" x 38 ¾"	PA 110	A heavy weight, 296lb/sq, dimensional asphalt shingle.
Accessory Shingles	various	proprietary	Accessory shingles for hip, ridge and starter strip applications.

3. EVIDENCE SUBMITTED:

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Underwriters Laboratories, Inc.	R684	UL 790	04/02/01
PRI Asphalt Technologies, Inc.	PCTC-01-02-01 CTC-006-02-01	PA 100	01/12/01 11/12/02
Underwriters Laboratories, Inc.	94NK9632 02NK42448	Wind uplift resistance PA 107	11/30/00 11/08/02

4. LIMITATIONS

- 4.1 Fire classification is not part of this acceptance; refer to a current Approved Roofing Materials Directory for fire ratings of this product.
- 4.2 Shall not be installed on roof mean heights in excess of 33 ft.

5. INSTALLATION

- 5.1 Shingles shall be installed in compliance with Roofing Application Standard RAS 115.
- 5.2 Flashing shall be in accordance with Roofing Application Standard RAS 115
- 5.3 The manufacturer shall provide clearly written application instructions.
- 5.4 Exposure and course layout shall be in compliance with Detail 'A', attached.
- 5.5 Nailing shall be in compliance with Detail 'B', attached.



NOA No.: 02-1219.03
Expiration Date: 02/28/07
Approval Date: 03/27/03
Page 2 of 4

6. LABELING

6.1 Shingles shall be labeled with the Miami-Dade Logo or the wording "Miami-Dade County Product Control Approved".

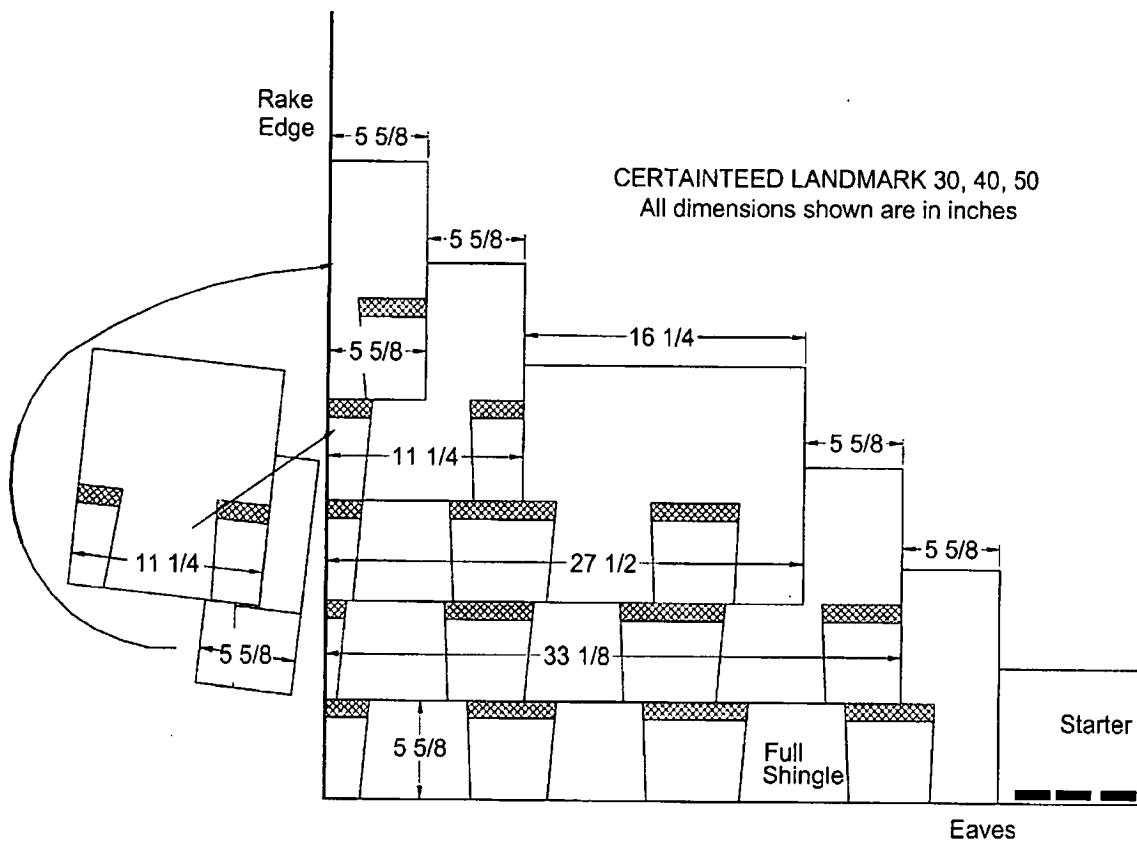
7. BUILDING PERMIT REQUIREMENTS

7.1 Application for building permit shall be accompanied by copies of the following:

7.1.1 This Notice of Acceptance.

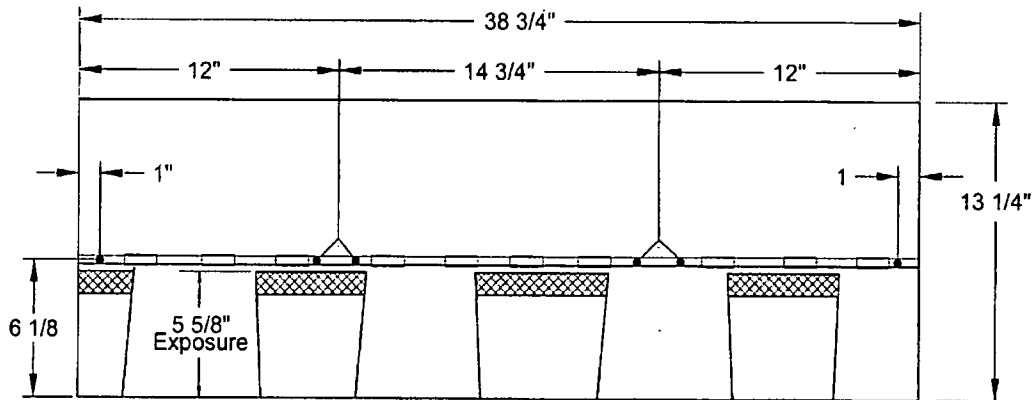
7.1.2 Any other documents required by the Building Official or the applicable code in order to properly evaluate the installation of this system.

DETAIL A

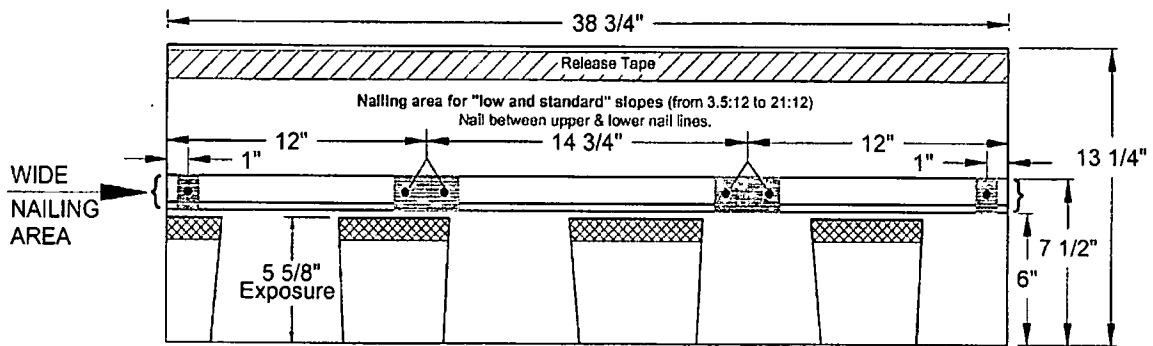


NOA No.: 02-1219.03
Expiration Date: 02/28/07
Approval Date: 03/27/03
Page 3 of 4

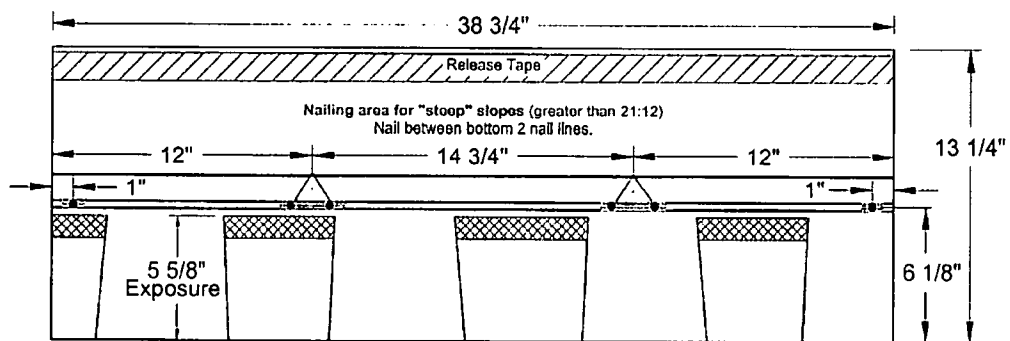
DETAIL B



LANDMARK 30, 40, 50 (AND AR)



LANDMARK 30, 40, 50 (AND AR) - WIDETRACK QB
(Low and Standard Slope)



LANDMARK 30, 40, 50 (AND AR) - WIDETRACK QB
(Steep Slope)

END OF THIS ACCEPTANCE



NOA No.: 02-1219.03
 Expiration Date: 02/28/07
 Approval Date: 03/27/03
 Page 4 of 4



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**GAF Materials Corp.
1361 Alps Rd.
Wayne, NJ 07470**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by the BCCO and accepted by the Building Code and Product Review Committee to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The BCCO (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BCCO reserves the right to revoke this acceptance, if it is determined by BCCO that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County or Florida Building Code.

DESCRIPTION: Timberline 30

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

~~**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.~~

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of pages 1 through 3.

The submitted documentation was reviewed by Frank Zuloaga, RRC

7595



FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE

DATE: 6/13/05

[Signature]

BUILDING OFFICIAL

NOA No.:01-1203.07
Expiration Date: 02/21/07
Approval Date: 02/21/02
Page 1 of 3

ROOFING SYSTEM APPROVAL

Category: Roofing
Sub-Category: 07310 Asphalt Shingles
Material: Laminate

1. SCOPE:

This renews a roofing system using **Timberline 30**, asphalt shingles manufactured by GAF Materials Corporation as described in this Notice of Acceptance, designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County.

2. PRODUCT DESCRIPTION:

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Timberline 30	13 ¼ " x 39 ¾ "	PA 110	Fiberglass reinforced heavy weight asphalt roof shingle, with a laminate profile.

3. LIMITATION:

- 3.1 Fire Classification is not part of this acceptance, refer to a current Approved Roofing Materials Directory for fire ratings of this product.
- 3.2 Shall not be installed on roof mean heights in excess of 33 ft.
- 3.3 System shall not be installed at slopes less than 2":12".

4. INSTALLATION:

- 4.1 Shingles shall be installed in compliance with Miami-Dade County Product Control Shingles Installation Procedure No.115
- 4.2 Flashing shall be in accordance with Section 9.3 Option "B" (step-flashings) of Miami-Dade County Product Control Shingle Installation Procedure No.115.
- 4.3 The manufacturer shall provide clearly written application instruction.
- 4.4 Exposure and course layout shall be in compliance with Detail "A", attached.
- 4.5 Nailing shall be in compliance with Detail "B", attached.

5. LABELING:

- 5.1 Shingles shall be labeled with the Miami-Dade Logo or the wording "Miami-Dade County Product Control Approved"

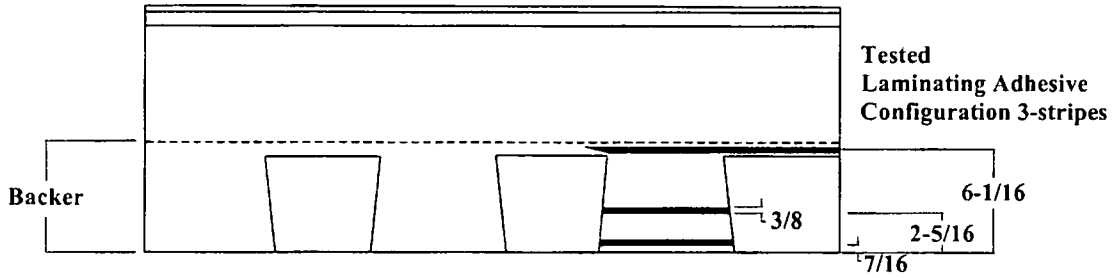
6. BUILDING PERMIT REQUIREMENTS:

- 6.1 Application for building permit shall be accompanied by copies of the following:
 - 6.1.1 This Notice of Acceptance
 - 6.1.2 Any other document required by Building Official or the Applicable Code in order to Properly evaluate the installation of this system.



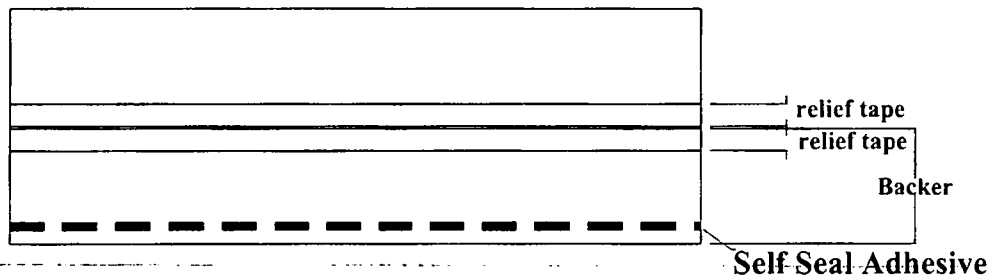
NOA No.:01-1203.07
Expiration Date: 02/21/07
Approval Date: 02/21/02
Page 2 of 3

DETAIL "A"

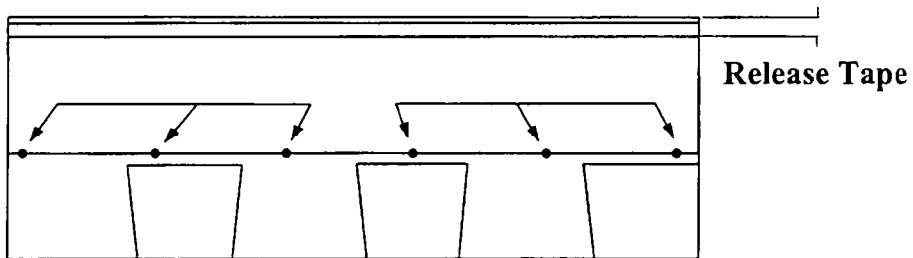


DETAIL "B"

Back of Shingle



Face of Shingle



END OF THIS ACCEPTANCE



Product Information for N.O.A. 01-1203.07

NOA	<u>01-1203.07</u>
Category	Roofing
Subcategory	07310 Asphalt Shingles
Material	Laminate
Applicant	<u>G.A.F. Materials Corporation</u>
Status	File Approved
Expiration_Date	February/21/2007
Impact_Rate	[None]
Maximum_Design_Pressure_Positive	0
Maximum_Design_Pressure_Negative	0
Description	Timberline 30

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 6/15, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7400	HB ASSOC PATCHINGTON	FINAL	PASSED	<i>[Signature]</i>
* 17	3762 OCEAN BVD	ELEC, MECH. ^{REPAIR}		
	KIRCHMAN CONST.	PLUMB. BLDG		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7617	BURLEY	DRIVEWAY	PASS	CLOSE
16	15 BANYAN			
	O/B			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	POTTER	TREE	PASS	
15	4 PERREWINKLER			
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	BRADEN	TREE	PASS	AS MODIFIED
4	12 OAKWOOD DR			
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7395	HOALSETTER	DECK	PASS	
6	72 S. RIVER ROAD			
	QUADROS INC			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	CHONTOS	TREE	PASS	
5	83 S. SEWALL			
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7196	HARVEY	DOCK FINAL	PASS	CLOSE
12	1 RIDGELAND G			
	O/B			INSPECTOR: <i>[Signature]</i>
OTHER:				
13	POWERS 70 S. SEWALL	COMPLAIN ABOUT FILL RUNOFF		?
		2 COMPLAINS -		



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 72 S. RIVER RD.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

SFR FINAL ROOF

REMOVE ROOFING MATERIAL
& DEBRIS IN DRIVEWAY
WEST SIDE & SOUTH SIDE.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 9/9

[Signature]

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9/9/, 2005 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7595	HOCHSTETTER	FINAL ROOF	FAIL	
6	72 S. RIVER RD QUADROS			INSPECTOR: <i>OW</i>
7662	HOCHSTETTER	FINAL GARAGE	FAIL	
6	72 S. RIVER RD QUADROS			INSPECTOR: <i>OW</i>
TREE	PETERSON	TREE	PASS	
3	4 OAKWOOD DR			INSPECTOR: <i>OW</i>
7750	COOPER	SLAB INSP. (GENERATOR)	PASS	
12	33 W. H DELTA PETROLEUM	*11:30 PLEASE*		INSPECTOR: <i>OW</i>
7574	DALTON	HVER. SHUTTERS	PASS	CLOSE
5	6 PRO VISTA O/B			INSPECTOR: <i>OW</i>
7338	MCCORMICK	FORMBOARD	PASS	
11	59 N. RIVER RD PINE ORCHARD			INSPECTOR: <i>OW</i>
				INSPECTOR: <i>OW</i>
OTHER:	9 PINEAPPLE DECK REMOVAL. STOP WORK ORDER W/O PERMIT.			

220-4765

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9/12, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7723	ZAVATKAY	FINAL ROOF	FAIL	
4	6 LOPAIRE ROAD			INSPECTOR: <i>OM</i>
	PROF. ROOFING			
7584	SCHECODNIC	Column	PASS	
3	12 S. Sewall's Pt			INSPECTOR: <i>OM</i>
	DRIFTWOOD Homes			
7595	HOCHSTETTER	FINAL ROOF	PASS	CLOSE
1	72 S. RIVER RD			INSPECTOR: <i>OM</i>
	QUADROS			
7662	HOCHSTETTER	FINAL GARAGE ROOF	PASS	CLOSE
1	72 S. RIVER RD			INSPECTOR: <i>OM</i>
	QUADROS			
Tree	LESTER	TREE	PASS	
5	15 LOFTING WAY			INSPECTOR: <i>OM</i>
7755	BARILE	FINAL ROOF	FAIL	
6	17 FIELDWAY			INSPECTOR: <i>OM</i>
	SUPERIOR ROOFING			
7490	WILCOX	FINAL ROOF	FAIL	
2	11 RIVERVIEW			INSPECTOR: <i>OM</i>
	SOUTHERN COAST			

OTHER: _____
220 4990 PROF SCHMIDT

7662

GARAGE REROOF

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 7/1/05

BUILDING PERMIT NO. 7662

Building to be erected for HOCHSTETTER Type of Permit Garage Release

Applied for by QUADROS, INC. (Contractor) Building Fee _____

Subdivision LUCINDIA Lot 21 Block _____ Radon Fee _____

Address 72 S. RIVER RD Impact Fee _____

Type of structure SFR GARAGE A/C Fee _____

Parcel Control Number: _____ Electrical Fee _____

138410070000021010000 Plumbing Fee _____

Amount Paid 120.00 Check # 9475 Cash _____ Other Fees (_____) _____

Total Construction Cost \$ 2200 TOTAL Fees 120.00

Signed Jack Mcca
Applicant

Signed Gene Simmons
Town Building Official

PERMIT

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input checked="" type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL _____ |

RECEIVED

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: _____

Date: 6/25/05

OWNER/TITLEHOLDER NAME: Andrew Hochsletter Phone (Day) 772-260-1678 (Fax) 772-468-3564

Job Site Address: 72 S. River Rd. City: Stuart State: FL Zip: 34956

Legal Desc. Property (Subd/Lot/Block) Lusindia Parcel Number: 21

Owner Address (if different): Same City: _____ State: _____ Zip: _____

Description of Work To Be Done: Garage Re-roof

WILL OWNER BE THE CONTRACTOR?:

Handwritten 'NO' in a circle

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 2200

(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: Quadron, Inc Phone: 772-335-4660 Fax: 772-335-1919

Street: 1591 Port St. Lucie Blvd. City: Port St. Lucie State: FL Zip: 34952

State Registration Number: CGC038784 State Certification Number: _____ Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____
Mechanical: _____ State: _____ License Number: _____
Plumbing: _____ State: _____ License Number: _____
Roofing: _____ State: _____ License Number: _____

ARCHITECT: n/a Lic.#: _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER: n/a Lic.#: _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: 625 Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) Andrew Hochsletter

CONTRACTOR SIGNATURE (required)

State of Florida, County of: MARTIN

On State of Florida, County of: _____

This the 27th day of JUNE, 2005

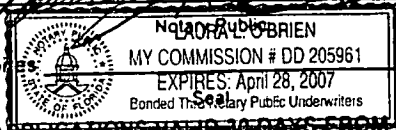
This the _____ day of _____, 2005

by Andrew Jennings Hochsletter who is personally known to me or produced EDL H23300-68-064-0

by _____ who is personally known to me or produced _____

as identification _____

As identification. _____



Notary Public

My Commission Expires: _____

Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**OCCUPATIONAL TAX RECEIPT
CITY OF PORT ST. LUCIE**

121 SW PORT ST. LUCIE BOULEVARD
PORT ST. LUCIE, FLORIDA 34954-5099

THIS LICENSE VALID WHEN ALL STATE AND LOCAL
REGULATED TRADE LICENSES / COMPETENCY
CARDS ARE VALID FOR THE CURRENT FISCAL YEAR.

TERM: October 1, 2004 to September 30, 2005

THIS IS A RECEIPT FOR TAX PAID AND IS NOT REGULATORY IN NATURE

This license does not warrant or hold that the licensee is competent to perform in the business(es) as licensed, but that the licensee has paid the required fee(s) and provided the necessary documentation (if required) to be licensed in this business.

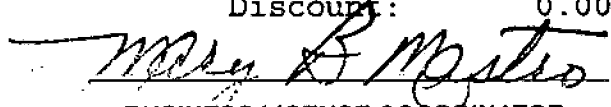
LICENSE MUST BE EXHIBITED CONSPICUOUSLY AT YOUR PLACE OF BUSINESS.

VALID AT THIS BUSINESS ADDRESS ONLY.

Business/Lic. 100472/05-1014592

Business Address: 1591 SE PORT ST LUCIE BLVD
Classification: CONT CONTRACTOR
Issued to: QUADROS INC
1591 SE PORT ST LUCIE BLVD
SUITE A
PORT ST LUCIE FL 34952

Fee: 115.77
Discount: 0.00



BUSINESS LICENSE COORDINATOR
209/032 MBM BUSINESS COPY

Fees: 115.77 Late Fees: 0.00 Total this payment : 115.77

2004-2005

ST. LUCIE COUNTY OCCUPATIONAL LICENSE

BOB DAVIS, CPA, CGFO, CFC, ST. LUCIE COUNTY TAX COLLECTOR

ACCOUNT 1500-00914059

EXPIRES SEP 30, 2005

FACILITIES OR MACHINES ROOMS SEATS EMPLOYEES 1-10

TYPE OF BUSINESS 1500-BUILDING CONTRACTOR

BUSINESS LOCATION 2022 SE Allamanda Dr
City of Pt St Lucie

X RENEWAL
NEW LICENSE
TRANSFER-
ORIGINAL TAX 11.25

NAME MAILING ADDRESS Mecca Jack A DBA
Quadros Inc CO 09059
Mecca, Jack A.
2022 SE Allamanda Drive
Port St Lucie FL 34952

AMOUNT PENALTY COLLECTION COST TOTAL 11.25

Please see back for additional information

PAID 08/11/2004 99-20040811-069735 11.25

City of Fort Pierce, Florida
Contractor Licensing
P. O. Box 1480

Fort Pierce, Florida 34954
Local License: CONT924-05
Expiration: 9/30/2005

Type: GENERAL CONTRACTOR (CERTIFIED)

QUADROS INC

Qualifier Jack A. Mecca





STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD
1940 NORTH MONROE STREET
TALLAHASSEE FL 32399-0783

(850) 487-1399

MECCA, JACK A
QUADROS INC
2022 SE ALLAMANDA DR
PT ST LUCIE FL 34952-5804

STATE OF FLORIDA AC# 1452
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
PROFESSIONAL REGULATION
CGC038784 030727469
CERTIFIED GENERAL CONTRACTOR
MECCA, JACK A
QUADROS INC
IS CERTIFIED under the provisions of Ch. 489
Expiration date: AUG 31, 2006 L040616020

DETACH HERE

AC# 1452002 STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD SEQ# L0406160207

DATE	BATCH NUMBER	LICENSE NBR
06/16/2004	030727469	CGC038784

The GENERAL CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489, FS.
Expiration date: AUG 31, 2006

MECCA, JACK A
QUADROS INC
2022 SE ALLAMANDA DR
PT ST LUCIE FL 34952-5804

JEB BUSH GOVERNOR

DIANE CARR SECRETARY

DISPLAY AS REQUIRED BY LAW

ACORD <small>TM</small> CERTIFICATE OF LIABILITY INSURANCE		Date 3/21/2005
Producer: Lion Insurance Company 2739 U.S. Highway 19 N. Holiday, FL 34691 Phone: 727-938-5562 Fax: 727-937-2138	This Certificate is issued as a matter of information only and confers no rights upon the Certificate Holder. This Certificate does not amend, extend or alter the coverage afforded by the policies below.	
Insured: South East Personnel Leasing, Inc. 2739 U.S. Highway 19 N. Holiday, FL 34691 Phone : (727)938-5562	Insurers Affording Coverage	
	Insurer A: Lion Insurance Company	NAIC # 11075
	Insurer B:	
	Insurer C:	
	Insurer D:	
Insurer E:		

Coverages

The policies of insurance listed below have been issued to the insured named above for the policy period indicated. Notwithstanding any requirement, term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the policies described herein is subject to all the terms, exclusions, and conditions of such policies. Aggregate limits shown may have been reduced by paid claims.

INSR LTR	ADDL INSRD	Type of Insurance	Policy Number	Policy Effective Date (MM/DD/YY)	Policy Expiration Date (MM/DD/YY)	Limits	
		GENERAL LIABILITY <input type="checkbox"/> Commercial General Liability <input type="checkbox"/> Claims Made <input type="checkbox"/> Occur General aggregate limit applies per: <input type="checkbox"/> Policy <input type="checkbox"/> Project <input type="checkbox"/> LOC				Each Occurrence	\$
						Damage to rented premises (EA occurrence)	\$
						Med Exp	\$
						Personal Adv Injury	\$
						General Aggregate	\$
						Products - Comp/Op Agg	\$
		AUTOMOBILE LIABILITY <input type="checkbox"/> Any Auto <input type="checkbox"/> All Owned Autos <input type="checkbox"/> Scheduled Autos <input type="checkbox"/> Hired Autos <input type="checkbox"/> Non-Owned Autos				Combined Single Limit (EA Accident)	\$
						Bodily Injury (Per Person)	\$
						Bodily Injury (Per Accident)	\$
						Property Damage (Per Accident)	\$
		GARAGE LIABILITY <input type="checkbox"/> Any Auto				Auto Only - Ea Accident	\$
						Other Than EA Acc.	\$
						Autos Only AGG	\$
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> Occur <input type="checkbox"/> Claims Made <input type="checkbox"/> Deductible <input type="checkbox"/> Retention				Each Occurrence	
						Aggregate	

A	Workers Compensation and Employers' Liability Any proprietor/partner/executive officer/member excluded? If Yes, describe under special provisions below.	WC 71949	01/01/2005	01/01/2006	X	WC Statutory Limits	O	OT	H	E	R		
					E.L. Each Accident								\$1000000
					E.L. Disease - Ea Employee								\$1000000
					E.L. Disease - Policy Limits								\$1000000

Other 3066005 Quadros, Inc. COVERAGE APPLIES ONLY TO THOSE EMPLOYEES LEASED, NOT TO SUBCONTRACTORS.

Descriptions of Operations/Locations/Vehicles/Exclusions added by Endorsement/Special Provisions: ADD ON DATE: 12/27/2004
 COVERAGE APPLIES ONLY IN THE STATE OF FLORIDA TO THOSE EMPLOYEES LEASED TO BUT NOT SUBCONTRACTORS OF Quadros, Inc. ' FAX: 772-335-1919 & 772-220-4765 / ISSUE 3-21-05 (JOM)

CERTIFICATE HOLDER TOWN OF SEWALLS POINT BUILDING DEPARTMENT ONE S SEWALLS POINT RD SEWALLS POINT FL 34998	CANCELLATION Should any of the above described policies be cancelled before the expiration date thereof, the issuing insurer will endeavor to mail 30 days written notice to the certificate holder named to the left, but failure to do so shall impose no obligation or liability of any kind upon the insurer, its agents or representatives. <div style="text-align: right;"><i>John A. Roman</i></div>
---	---

- STATE FARM GENERAL INSURANCE COMPANY, Bloomington, Illinois
- STATE FARM FIRE AND CASUALTY COMPANY, Bloomington, Illinois
- STATE FARM FLORIDA INSURANCE COMPANY, Scarborough, Ontario
- STATE FARM LLOYDS, Dallas, Texas

Insures the following policyholder for the coverages indicated below:

Name of policyholder QUADROS INC
 Address of policyholder 2022 SE ALLAMANDA DR, PORT ST. LUCIE, FL 34952-5804
 Location of operations _____
 Description of operations _____

The policies listed below have been issued to the policyholder for the policy periods shown. The insurance described in these policies is subject to all the terms, exclusions, and conditions of those policies. The limits of liability shown may have been reduced by any paid claims.

POLICY NUMBER	TYPE OF INSURANCE	POLICY PERIOD		LIMITS OF LIABILITY (at beginning of policy period)
		Effective Date	Expiration Date	
98-QJ-8000-8 B This insurance includes:	Comprehensive Business Liability	02/01/05	02/01/06	BODILY INJURY AND PROPERTY DAMAGE
	<input type="checkbox"/> Products - Completed Operations <input type="checkbox"/> Contractual Liability <input type="checkbox"/> Underground Hazard Coverage <input type="checkbox"/> Personal Injury <input type="checkbox"/> Advertising Injury <input type="checkbox"/> Explosion Hazard Coverage <input type="checkbox"/> Collapse Hazard Coverage <input type="checkbox"/> <input type="checkbox"/>			Each Occurrence \$ 300,000 General Aggregate \$ 600,000 Products - Completed Operations Aggregate \$
	EXCESS LIABILITY	POLICY PERIOD		BODILY INJURY AND PROPERTY DAMAGE (Combined Single Limit)
	<input type="checkbox"/> Umbrella <input type="checkbox"/> Other	Effective Date	Expiration Date	Each Occurrence \$ Aggregate \$
	Workers' Compensation and Employers Liability			Part 1 STATUTORY Part 2 BODILY INJURY Each Accident \$ Disease Each Employee \$ Disease - Policy Limit \$
POLICY NUMBER	TYPE OF INSURANCE	POLICY PERIOD		LIMITS OF LIABILITY (at beginning of policy period)
		Effective Date	Expiration Date	

THE CERTIFICATE OF INSURANCE IS NOT A CONTRACT OF INSURANCE AND NEITHER AFFIRMATIVELY NOR NEGATIVELY AMENDS, EXTENDS OR ALTERS THE COVERAGE APPROVED BY ANY POLICY DESCRIBED HEREIN.

Name and Address of Certificate Holder

TOWN OF SEWALLS POINT
 1 SOUTH SEWALLS POINT RD
 SEWALLS POINT, FL 34996



FRANK WARREN, Agent
 910 SW Martin Downs Boulevard
 P.O. Box 1018
 Stuart, Florida 34995-1018
 Business: (772) 286-7400
 Fax: (772) 286-3058

If any of the described policies are canceled before its expiration date, State Farm will try to mail a written notice to the certificate holder 30 days before cancellation. If however, we fail to mail such notice, no obligation or liability will be imposed on State Farm or its agents or representatives.

Frank Warren / pm
 Signature of Authorized Representative
 AGENT _____ Date 15 MAR 05
 Title _____

Agent's Code Stamp
 AFO Code F607

FLINTLASTIC® BLACK DIAMOND OR WHITE DIAMOND GTA™

APP MODIFIED BITUMEN ROLL ROOFING PRODUCTS

Product Description

Product Use: FLINTLASTIC BLACK DIAMOND OR WHITE DIAMOND GTA is designed for use as a roofing membrane over various types of substrates for both new construction and re-roofing installations. It is suitable for both low and medium sloped roof decks and may be used for roof system flashings including wall treatments, base and field flashings.

Limitations: FLINTLASTIC BLACK DIAMOND OR WHITE DIAMOND GTA is intended for torch application only and should not be exposed to adhesives or solvent based materials. Rolls should be stored off ground, completely protected against weather. Roof decks shall be structurally sound, dry, smooth and meet or exceed minimum requirements of the deck manufacturer, local code and CertainTeed. Additional specifications and precautions are contained in the CertainTeed Commercial Systems Specifications Manual.

Product Composition and Features: FLINTLASTIC Modified Bitumen products are manufactured on state-of-the-art, dedicated Modified Bitumen roofing lines that were exclusively designed for the production of the products. FLINTLASTIC BLACK DIAMOND OR WHITE DIAMOND GTA is produced with a high performance, non-woven polyester mat and a superior grade, Modified Bitumen compound.

	<u>FLINTLASTIC BLACK DIAMOND OR WHITE DIAMOND GTA</u>	<u>FLINTLASTIC BLACK DIAMOND OR WHITE DIAMOND GTA/II</u>
Sizes:	39 ³ / ₈ " X 33'3"	19 ¹¹ / ₁₆ " X 31'0"
Coverage*:	One square	One square
(*When applied according to CertainTeed's specification)		
Approximate Weight:	95 lbs./per roll (.87 lbs./sq.ft.)	47 lbs./per roll
Top Surface:	Fine Black or White Ceramic Particles	Fine Black or White Ceramic Particles
Back Surface:	Polyethylene Torchable Film	Polyethylene Torchable Film

Applicable Standards: FLINTLASTIC BLACK DIAMOND OR WHITE DIAMOND GTA is approved by Underwriters Laboratories for use in various A, B, or C roof assemblies with aggregate and other types of optional surfacings by SBCCI (#9401A), by ICBO (#ER4887), by Factory Mutual (J.I. 3Y8A1.AM) and by Dade County (Protocol #97-0520.01-.06 and 97.0521.04) Consult CertainTeed, UL, SBCCI, ICBO, F.M., or Dade County for details. Meets ASTM D6222 Grade G, Type II and Canadian General Standards.

Technical Data

Modified Bitumen Coating: Non-oxidized (Flux) asphalt, blended with various thermoplastic atactic poly-propylene polymers and co-polymers.

Support Mat: High performance, puncture and tear resistant, non-woven polyester mat.

<u>Test Description</u>	<u>Test Method</u>	<u>Results*</u>
Softening Point:	ASTM D-36	310°F
Tensile Strength:	ASTM D-5147 @ 73.4 +/- 3.6°F MD/XD @ 0 +/- 3.6°F MD/XD	106/92 lbs./in. 133/116 lbs./in.
Elongation:	ASTM D-5147 @ 73.4 +/- 3.6°F MD/XD @ 0 +/- 3.6°F MD/XD	57%/62% 20%/22%
Dimensional Stability:	ASTM D-5147 MD/XD	0.5%/0.3%
Low Temperature Flex:	ASTM D-5147	Pass @ 8°F
Compound Stability:	ASTM D-5147	250°F
Thickness:	ASTM D-5147	4.3mm (172mils.)

*NOTE: Published results are nominal production values confirmed by independent laboratory testing.

Product Application

FLINTLASTIC Modified Bitumen roofing systems shall be applied in accordance with installation procedures contained in the CertainTeed Commercial Systems Specifications Manual. The following information is intended for general information purposes only and is not all-inclusive.

Preparation: Substrates to receive a roof system shall be firmly attached, smooth, dry, clean and free of sharp projections and depressions. Substrates requiring priming shall be primed with asphalt primer and be allowed to completely dry. Substrates shall provide positive drainage. Roof shall be tapered to drains.

Installation: Install one ply of GLASBASE or other CertainTeed approved alternate Base Sheet lapping: 2" on sides and 4" on ends. Base Sheet shall be mechanically fastened to nailable substrates, and either solid or spot mopped in hot asphalt to non-nailable or insulated substrates as specified in the CertainTeed Commercial Systems Specifications Manual. Apply Base Sheet in such a manner to provide and maintain a minimum 6" offset between side and end laps of base ply and FLINTLASTIC finishing membrane. Over the base ply, install one ply of FLINTLASTIC BLACK DIAMOND OR WHITE DIAMOND GTA lapping 3¹/₄" on sides and 6" on ends with end laps diagonally staggered, not less than 3 feet apart. Side and ends laps should be inspected to insure a minimum ³/₈" flow of modified compound has been achieved.

Precautions: Cold weather applications require special handling to prevent damage to the rolls and to insure satisfactory installation. Do not apply roofing systems over improperly prepared substrates or substrates which contain moisture. Follow all safety recommendations relating to the use and maintenance of liquid propane gas torches and equipment. Refer to the CertainTeed Systems Specifications Manual for additional safety information.

Maintenance: FLINTLASTIC Roof Systems do not require any additional maintenance beyond normal yearly roof maintenance procedures. CertainTeed recommends regular roof maintenance and inspection to determine the condition of drains, flashings and other similar items.

Warranties

CertainTeed offers a number of different types of Roof Membrane Warranties designed to meet the building owner's specific requirements. Contact your nearest CertainTeed office for additional information and requirements.

Technical Assistance and Services

CertainTeed provides technical assistance in the design, selection, specification and application for all CertainTeed Commercial Roof Systems. Architectural and field representatives are available for consultation within each region.

Caution: Fire Hazard

Torch down installation of this product may create a risk of FIRE, including SMOLDERING FIRES. The roofing applicator is solely responsible for insuring and enforcing safe and proper application of CertainTeed Roofing products by competent and qualified personnel. Only properly trained roofing professionals are authorized to install this product.

Never apply flame directly to combustible materials or allow the flame to enter into hidden or protected areas that may contain combustible materials. Follow all local code requirements. Have a Class A-B-C fire extinguisher available to each applicator. Thoroughly inspect the job site whenever torching equipment has been used. Be certain that all chances of a fire have been eliminated.

Refer to the CertainTeed's Commercial Systems Specifications Manual, Midwestern Roofing Contractors Association (MRCA) CERTA program, National LP Gas Association, National Roofing Contractors Association (NRCA), National Fire Protection Association (NFPA), and Asphalt Roofing Manufacturers Association (ARMA) for further information and safety recommendations.



CertainTeed 

www.certainteed.com

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Western Region
2021 Las Positas Court, Suite 129
Livermore, CA 94550
(925) 606-7434
(925) 606-1097 fax

Central Region
5525 MacArthur Blvd., Suite 900
Irving, TX 75038
(972) 580-5600
(972) 580-5645 fax

Eastern Region
2900 Bird Street
Charleston, SC 29405
(843) 744-7451
(843) 744-7338 fax

COMM-013



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**CertainTeed Corporation (PA)
1400 Union Meeting Road
Blue Bell, PA 19422**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by the BCCO and accepted by the Building Code and Product Review Committee to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The BCCO (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BCCO reserves the right to revoke this acceptance, if it is determined by BCCO that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: Flintlastic SA Roofing Systems Over Wood Decks

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This new NOA consists of pages 1 through 7.
The submitted documentation was reviewed by Frank Zuloaga, RRC.

FILE COPY

TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE

DATE: 01/27/05

BUILDING OFFICIAL
Gene Simmons



NOA No.: 04-0623.01
Expiration Date: 04/13/10
Approval Date: 04/13/05
Page 1 of 7

ROOFING ASSEMBLY APPROVAL

Category: Roofing
Sub-Category: SBS Modified Bitumen
Deck Type: Wood
Maximum Design Pressure -60 psf
Fire Classification: See General Limitation #1

TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:

TABLE 1			
<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
Flintlastic SA NailBase	66'6" x 39-3/8"	ASTM D4601, Type II	Fiberglass reinforced, SBS modified bitumen base sheet.
Flintlastic SA Mid Ply	33'11" x 39-3/8"	ASTM D6164	Polyester and Fiberglass scrim reinforced, SBS modified ply sheet
Flintlastic SA Cap	33'11" x 39-3/8"	ASTM D6164	Polyester and Fiberglass scrim reinforced, SBS cap sheet
FlintPrime SA	1, 3 or 5 gal pail	Proprietary	Water based, polymer modified primer

APPROVED INSULATIONS:

TABLE 2		
<u>Product</u>	<u>Product Description</u>	<u>Manufacturer (with current NOA)</u>
FlintBoard	Polyisocyanurate insulation	CertainTeed Corp.
ACFoam II	Polyisocyanurate insulation	Atlas Roofing Corp.
ENRGY 3	Polyisocyanurate insulation	Johns Manville
Multi-Max FA	Polyisocyanurate insulation	R-Max, Inc.
DensDeck	Gypsum coverboard	Georgia Pacific



APPROVED FASTENERS:

TABLE 3

<u>Fastener Number</u>	<u>Product Name</u>	<u>Product Description</u>	<u>Manufacturer (with current NOA)</u>
1.	Dekfast 14 with Dekfast Hex Plate	Roofing screw with hexagonal steel plate	SFS Intec, Inc.
2.	Tru-Fast HD with MP-3 Plate	Roofing screw with 3" round steel plate	Tru-Fast Corporation
3.	Roofgrip #14 with Flat Bottom Plate	Roofing screw with 3" square steel plate	ITW Buildex
4.	Olympic HD with Standard Plate	Roofing screw with 3" round steel plate	Olympic Manufacturing
5.	FlintFast Fastener with MP-3 Plate	Roofing screw with 3" round steel plate	CertainTeed

EVIDENCE SUBMITTED:

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Description</u>	<u>Date</u>
Exterior Research & Design, LLC	3518.12.03	Physical Properties, TAS 114 (FM Standard 4470)	12/01/03
Exterior Research & Design, LLC	3519.12.03	Wind Uplift, TAS 114 (FM Standard 4470)	12/22/03
Momentum Technologies, Inc.	DX08C4A	Physical Properties	03/22/04
Momentum Technologies, Inc.	DX20E3A	Physical Properties	03/22/04
Underwriters Laboratories, Inc.	R11656	Fire Classification	Published Annually



APPROVED ASSEMBLIES:

Deck Type II: Wood, Insulated

Deck Description: Min 1⁹/₃₂" thick plywood or wood plank. Attached in accordance with applicable building code. In re-roofing, where deck is less than 1⁹/₃₂" thick (minimum 1⁵/₃₂") the code required attachment method must be in addition to existing attachment.

System Type C: All layers of insulation simultaneously attached.

All General and System Limitations apply.

One or more layers of any of the following insulations.

(Optional) Base Insulation Layer	Insulation Fasteners (Table 3)	Fastener Density/ft²
FlintBoard, ACFoam II, ENRGY 3, Multi-Max FA Minimum 1.5" thick	N/A	N/A

Note: All layers shall be simultaneously fastened; see top layer below for fasteners and density.

Top Insulation Layer	Insulation Fasteners (Table 3)	Fastener Density/ft²
DensDeck Minimum 1/4" thick	1, 2, 3, 4,5	1:1.3 ft ²

Note: All layers of insulation shall be mechanically attached using the fastener density listed above. The insulation panels listed are minimum sizes and dimensions; if larger panels are used, the number of fasteners shall be increased maintaining the same fastener density. Please refer to Roofing Application Standard RAS 117 for insulation attachment.

- Primer:** Apply FlintPrime SA to DensDeck surface at 0.3 gal/square.
- Base Sheet:** One or more layer of Flintlastic SA Mid Ply, self-adhered
- Ply Sheet:** (Optional) One or more layer of Flintlastic SA Mid Ply, self-adhered
- Membrane:** One or more layer of Flintlastic SA Cap, self-adhered
- Surfacing:** None
- Maximum Design Pressure:** -45 psf (See General Limitation #7.)



Deck Type 1: Wood, Non-Insulated

Deck Description: Min ¹⁹/₃₂" thick plywood attached in accordance with the Florida Building code, High Velocity Hurricane Zone.

System Type E(1): Base sheet mechanically fastened

All General and System Limitations apply.

Separation Sheet: (Optional) One or more layers of GlasBase, loose laid.

Anchor/Base Sheet: One or more layers of Flintlastic SA NailBase, mechanically attached as described below.

Fastening: Anchor/Base sheet shall be fastened with approved 11 gauge 1-1/4" annular ring-shank roofing nails and tin caps spaced 8" o.c. at the min. 3" wide sidelap. With three additional (equally spaced) staggered rows in the center of the sheet spaced 8 inches o.c. for a total of four rows.

Ply Sheet: (Optional) One or more layers of Flintlastic SA Mid Ply, self-adhered

Membrane: One or more layers of Flintlastic SA Cap, self-adhered

Surfacing: None

Maximum Design Pressure: -52.5 psf (See General Limitation #7.)



Deck Type 1: Wood, Non-Insulated
Deck Description: Min ¹⁹/₃₂" thick plywood attached using approved nails spaced 4" o.c. at wood joists spaced max. 24" o.c.

System Type E(2): Base sheet mechanically fastened

All General and System Limitations apply.

Separation Sheet: (Optional) One or more layers of GlasBase, loose laid.

Anchor/Base Sheet: One or more layers of Flintlastic SA NailBase, mechanically attached as described below.

Fastening: Anchor/Base sheet shall be fastened with approved 11 gauge 1-1/4" annular ring-shank roofing nails and tin caps spaced 8" o.c. at the min. 3" wide sidelap. With three additional (equally spaced) staggered rows in the center of the sheet spaced 8 inches o.c. for a total of four rows.

Ply Sheet: (Optional) One or more layers of Flintlastic SA Mid Ply, self-adhered

Membrane: One or more layers of Flintlastic SA Cap, self-adhered

Surfacing: None

Maximum Design Pressure: -60 psf (See General Limitation #7.)



GENERAL LIMITATIONS:

1. Fire classification is not part of this acceptance, refer to a current Approved Roofing Materials Directory for fire ratings of this product.
2. Insulation may be installed in multiple layers. The first layer shall be attached in compliance with Product Control Approval guidelines. All other layers shall be adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq., or mechanically attached using the fastening pattern of the top layer
3. All standard panel sizes are acceptable for mechanical attachment. When applied in approved asphalt, panel size shall be 4' x 4' maximum.
4. An overlay and/or recovery board insulation panel is required on all applications over closed cell foam insulations when the base sheet is fully mopped. If no recovery board is used the base sheet shall be applied using spot mopping with approved asphalt, 12" diameter circles, 24" o.c.; or strip mopped 8" ribbons in three rows, one at each sidelap and one down the center of the sheet allowing a continuous area of ventilation. Encircling of the strips is not acceptable. A 6" break shall be placed every 12' in each ribbon to allow cross ventilation. Asphalt application of either system shall be at a minimum rate of 12 lbs./sq. **Note: Spot attached systems shall be limited to a maximum design pressure of -45 psf.**
5. Fastener spacing for insulation attachment is based on a Minimum Characteristic Force (F') value of 275 lbf., as tested in compliance with Testing Application Standard TAS 105. If the fastener value, as field-tested, are below 275 lbf. insulation attachment shall not be acceptable.
6. Fastener spacing for mechanical attachment of anchor/base sheet or membrane attachment is based on a minimum fastener resistance value in conjunction with the maximum design value listed within a specific system. Should the fastener resistance be less than that required, as determined by the Building Official, a revised fastener spacing, prepared, signed and sealed by a Florida registered Professional Engineer, Registered Architect, or Registered Roof Consultant may be submitted. Said revised fastener spacing shall utilize the withdrawal resistance value taken from Testing Application Standards TAS 105 and calculations in compliance with Roofing Application Standard RAS 117.
7. Perimeter and corner areas shall comply with the enhanced uplift pressure requirements of these areas. Fastener densities shall be increased for both insulation and base sheet as calculated in compliance with Roofing Application Standard RAS 117. Calculations prepared, signed and sealed by a Florida registered Professional Engineer, Registered Architect, or Registered Roof Consultant **(When this limitation is specifically referred within this NOA, General Limitation #9 will not be applicable.)**
8. All attachment and sizing of perimeter nailers, metal profile, and/or flashing termination designs shall conform with Roofing Application Standard RAS 111 and applicable wind load requirements.
9. The maximum designed pressure limitation listed shall be applicable to all roof pressure zones (i.e. field, perimeters, and corners). Neither rational analysis, nor extrapolation shall be permitted for enhanced fastening at enhanced pressure zones (i.e. perimeters, extended corners and corners). **(When this limitation is specifically referred within this NOA, General Limitation #7 will not be applicable.)**
10. All products listed herein shall have a quality assurance audit in accordance with the Florida Building Code and Rule 9B-72 of the Florida Administrative Code.

END OF THIS ACCEPTANCE



NOA No.: 04-0623.01
Expiration Date: 04/13/10
Approval Date: 04/13/05
Page 7 of 7

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9/9/, 2005 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7595	HOCHSTETTER	FINAL ROOF	FAIL	
6	72 S. RIVER RD QUADROS			INSPECTOR: <i>[Signature]</i>
7662	HOCHSTETTER	FINAL GARAGE	FAIL	
6	72 S. RIVER RD QUADROS			INSPECTOR: <i>[Signature]</i>
TREE	PETERSON	TREE	PASS	
3	4 OAKWOOD DR			INSPECTOR: <i>[Signature]</i>
7750	COOPER	SLAB INSP. (GENERATOR)	PASS	
12	33 W. H DELTA PETROLEUM	*11:30 RELEASE*		INSPECTOR: <i>[Signature]</i>
7574	DALTON	Horiz. SHUTTERS	PASS	CLOSE
5	6 PRO VISTA O/B			INSPECTOR: <i>[Signature]</i>
7338	MCCORMICK	FORMBOARD	PASS	
11	59 N. RIVER RD PINE ORCHARD			INSPECTOR: <i>[Signature]</i>
				INSPECTOR: <i>[Signature]</i>

OTHER: 9 PINEAPPLE DEZIL REMOVAL STOP WORK
W/O PERMIT. ORDER

220-4765

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9/12, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7723	ZAVATKAY	FINAL ROOF	FAIL	
4	6 LOPAIRE ROAD PROF. ROOFING			INSPECTOR: <i>[Signature]</i>
7584	SCHECODNIC	Column	PASS	
3	12 S. Sewall's Pt DRIFTWOOD HOMES			INSPECTOR: <i>[Signature]</i>
7595	HOCHSTETTER	FINAL ROOF	PASS	CLOSE
1	72 S. RIVER RD QUADROS			INSPECTOR: <i>[Signature]</i>
7662	HOCHSTETTER	FINAL GARAGE ROOF	PASS	CLOSE
1	72 S. RIVER RD QUADROS			INSPECTOR: <i>[Signature]</i>
Tree	LEGER	TREE	PASS	
5	15 LOFTING WAY			INSPECTOR: <i>[Signature]</i>
7755	BARILE	FINAL ROOF	FAIL	
6	17 FIELDWAY SUPERIOR ROOFING			INSPECTOR: <i>[Signature]</i>
7490	WILCOX	FINAL ROOF	FAIL	
2	11 RIVERVIEW SOUTHERN COAST			INSPECTOR: <i>[Signature]</i>

OTHER:

220 4990 PROF ROOFING

8346

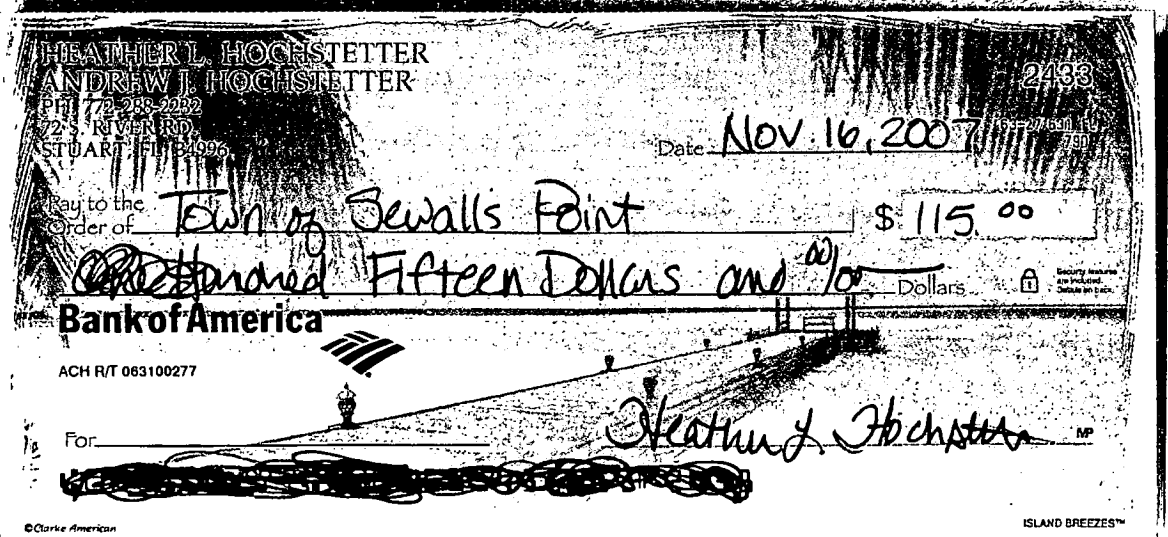
RENOVATIONS

Renewal: 8/4/07 - 8/4/08 \$115
Permit # 16107CK#2433
Malden County # SP01-
MASTER PERMIT NO. 20060000

TOWN OF SEWALL'S POINT

Date 8-4-06
Building to be erected for Hochstetter Type of Permit Interior Renovation
Applied for by O/B (Contractor) Building Fee 250-
Subdivision Lucinda Lot 21 Block _____ Radon Fee _____
Address 72 S River Rd Impact Fee _____
Type of structure SFR A/C Fee _____
Parcel Control Number: 13841-007-000-0021010000 Electrical Fee _____
Amount Paid \$250 Check # _____ Cash _____ Other Fees (_____) Plumbing Fee _____
Total Construction Cost \$ 12000- Roofing Fee _____
TOTAL Fees 250-

Signed [Signature] Applicant Signed [Signature] Town Building Official
Dept Clerk



2-7-08. called - left mess - permit abandoned - call back with status -
spoke to Andy - partial - till for
Monday - Final

8407/8408
\$115-

Martin County #371
MASTER PERMIT NO. 20060000

TOWN OF SEWALL'S POINT

Date 8-4-06

BUILDING PERMIT NO. 8346

Building to be erected for Hochstetter

Type of Permit Interior Renovation

Applied for by QB (Contractor)

Building Fee 250-

Subdivision Piccadilly Lot 21 Block _____

Radon Fee _____

Address 72 S River Rd

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number: 13841-007-000-0021010000

Double fee ²³⁰⁴
\$250-

Electrical Fee _____

Plumbing Fee _____

Roofing Fee _____

Amount Paid \$250 Check # _____ Cash _____ Other Fees (_____) _____

Total Construction Cost \$ 12000-

TOTAL Fees 250-

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official / Dept Clerk

4-25-07
called mth
left mess on vm
Abandoned insp.
no passing insp.

getting to final - ran out
of money - at least 6mo until
they're able to complete
Phil to inspect 5/2/07 to determine status

9-19-07 called mth - 260-1678 - left mess -
Elec & plumbing - done
Bath tiling in showers ~~not~~ not done

needs to renew - \$115-
Abandoned



RECEIVED
R-2002D

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: _____

Date: 7/25/06

OWNER/TITLEHOLDER NAME: Andrew Hochstetter Phone (Day) 772-260-1678 (Fax) 772-468-3564

Job Site Address: 72 S. River Rd. City: S.P. State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Landia Parcel Number: Lot 21

Owner Address (if different): Same City: _____ State: _____ Zip: _____

Description of Work To Be Done: Flood Repair Interior renovations

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 12,000
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ 650,000

Is Improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: _____ Phone: _____ Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carpport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
Andrew Hochstetter

State of Florida, County of: Martin

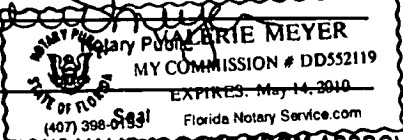
This the 26th day of July, 2006

by ANDREW J HOCHSTETTER who is personally

known to me or produced FLDL# H233-010-68-0640

as identification. Valerie Meyer

My Commission Expires: _____



CONTRACTOR SIGNATURE (required)

On State of Florida, County of: _____

This the _____ day of _____, 2006

by _____ who is personally

known to me or produced _____

As identification. _____

My Commission Expires: _____

Notary Public

Seal

STOP WORK ORDER

DATE: 7/24/06 288-2232

ADDRESS: 72 S. RIVER

OWNER/CONTRACTOR is hereby notified to STOP WORK immediately upon reading this notice.

The work described below requires a permit:

PLUMBING, ELECTRICAL, A/C,
EXT. DOORS, PARTITIONS &
DRYWALL

CONFER W/ PHIL WINTERCORN
AT CLUB MEET. TO SET
COURSE OF ACTION

He called 725- will stop in @ Bam Wed

Double fees -

Continued work from the date of this notice will constitute additional fines and prosecution through the Sewall's Point Code Enforcement Board and/or the State Licensing Board.

[Signature]
BUILDING OFFICIAL OR INSPECTOR

**DO NOT REMOVE THIS NOTICE
UNTIL PERMIT IS OBTAINED!**



MARTIN COUNTY BUILDING PERMIT

CARD MUST BE POSTED IN A CONSPICUOUS PLACE ON THE FRONT OF THE PREMISES WITHIN VIEW OF THE STREET BEFORE WORK IS STARTED.

Permit Number: SP01 - 20060100
Permit Type: SEWALLS POINT
Date Issued: 01-AUG-06
Project:
Scope of Work: Flood repair interior renovations

Applicant/Contact:	HOCHSTETTER, ANDREW J	/
Parcel Control Number:	01-38-41-007-000-0021.0-10000	
Subdivision:	LUCINDIA	
Construction Address:	72 SOUTH RIVER RD	
Location Description:		
Owner Name:	HOCHSTETTER, ANDREW J	
Prime Contractor:	OWNER	CONTACT OWNER
		License No.:

In consideration of the granting of this permit, it is agreed that in all respects the work will be performed and completed in accordance with the permitted plans and the applicable codes for Martin County, Florida. This permit may be revoked at any time upon the violation of any of the provisions of said laws, ordinances or rules and regulations or upon any change in the plans and specifications unauthorized by this department. Permit expires one hundred eighty (180) days from the date of issuance if work is not started or if work is suspended for a period of six months. Per FBC Section 3305, sanitary facilities shall be provided during construction, remodeling, or demolition activities.

"NOTICE: IN ACCORDANCE TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES."

"WARNING TO OWNER; YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."
A CERTIFIED COPY OF RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE ISSUING AUTHORITY PRIOR TO THE FIRST INSPECTION.

ALL REINSPECTIONS OR ADDITIONAL INSPECTIONS WILL BE CHARGED AT A RATE ESTABLISHED BY THE BOARD OF COUNTY COMMISSION. NOTICE: DO NOT ORDER CONCRETE UNTIL INSPECTION IS APPROVED.

UPON COMPLETION OF WORK, A FINAL INSPECTION MUST BE CALLED FOR BY THE CONTRACTOR. FAILURE TO DO SO WILL RESULT IN A DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR.

INSPECTIONS

Phone 221-2364 (interactive voice) or 288-5489 for inspections. 24 hour notice is required.
The inspections listed below may not represent all necessary required inspections for the scope of work.

6099 Residential Final _____

TOWN OF SEWALL'S POINT

ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT

(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: Andrew Hochstetter Date: 7/25/06

Signature: 

Address: 72 S. River Rd.

City & State: Stuart, FL 34996

Permit No. _____

PERMIT # _____

TAX FOLIO # _____

NOTICE OF COMMENCEMENT

STATE OF FL

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY(INCLUDE STREET ADDRESS IF AVAILABLE):

Lucindia Lot 21

GENERAL DESCRIPTION OF IMPROVEMENT: Flood Repairs to Master Bed/Bath

OWNER: Andrew Hochstetter

ADDRESS: 72 S. River Rd., Stuart, FL 34996

PHONE #: 772-288-2232 FAX #: 772-468-3564

CONTRACTOR: (owner)

ADDRESS: Same

PHONE #: _____ FAX #: _____

SURETY COMPANY(IF ANY) _____

ADDRESS: _____

PHONE #: _____

BOND AMOUNT: _____

LENDER: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1XA)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____

OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1XB), FLORIDA STATUTES.

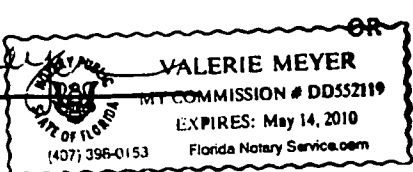
PHONE #: _____ FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

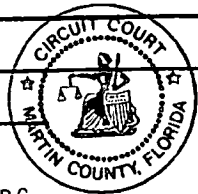
Andrew Hochstetter
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 26th DAY OF July 2006
BY Andrew JENNINGS HOCHSTETTER

Valerie Meyer
NOTARY SIGNATURE



PERSONALLY KNOWN _____
PRODUCED ID _____
TYPE OF ID FLDL# 11233-010-68064-0



STATE OF FLORIDA
MARTIN COUNTY
THIS IS TO CERTIFY THAT THE
FOREGOING _____ PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL
MARSHA EWING, CLERK
BY: T. Copus D.C.
DATE: 7/26/06

INSTR # 1949692 OR BK 02165 PG 1580 RECD 07/26/2006 08:49:50 AM
MARSHA EWING, CLERK T. Copus (Pest Mar)
120799

General Description of repairs at Hochstetter Residence, 72 S. River Road:

- Remediate flood damage of 5/6/06
 - Replace carpet
 - Replace drywall and baseboards
 - Repair/replace toilet in masterbath
 - Replace bathroom cabinet
 - Replace one set exterior doors

- Other repairs/renovations
 - Add partitions for walk-in closet
 - Replace old A/C system
 - Move ceiling fan
 - Replace ceiling in bedroom and bathroom
 - Install can lights in ceiling
 - Replace crown molding in bedroom
 - Retile masterbath

IMPORTANT NOTICE
ALL CONSTRUCTION IN MARTIN COUNTY MUST MEET CODE.
Failure to provide complete specifications and construction details in the building plans does not relieve the building designer and permit holder from responsibility for compliance with the applicable sections and editions of the following:
1 The Florida Building Code 2004 - Building
2 The Florida Building Code 2004 - Residential
3 The Florida Building Code 2004 - Existing Building
4 The Florida Building Code 2004 - Plumbing
The Florida Building Code 2004 - Mechanical
The Florida Building Code 2004 - Fuel Gas
The Florida Building Code 2004 - Fire
The Florida Building Code 2004 - Electrical
International Electrical Code (NECA 70 & 71)
Martin County Code and Ordinances
FEMA National Flood Insurance Program
Martin County Building Department
Permit Review
DATE FOR CODE COMPLIANCE: 8/1/04



MCO100

TOWN OF SEWALL'S POINT
One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 72 S. RIVER
NEED EMERGENCY SHUT OFF SWITCH.
I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

- MECH. / ELEC. ROUGH
- CENTER COND. UNIT ON PAD & SECURE
- NEED ENGR. LTR ADDRESSING AHU
- LOAD AT TRUSSES,
- COMPLETE DUCT WORK - CAN NOT
- REST ON INSULATION IN ATTIC.
- CHECK MAX CKT BREAKER SIZES FOR
- NEW A/C EQUIP. (E)
- CHECK NEW WIRING SIZE AT 20 A. BREAKER (E)
- SECURE ALL CABLES IN ATTIC WITHIN
- 6' OF SCUTTLE. (E)
- EXTEND A/C CONDENSATE AWAY FROM WALL,

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 8/4

NEED SMOKE DETECTORS - INSPECTOR (E)
DO NOT REMOVE THIS TAG
SUBMIT PRODUCT APPROVAL FOR EXT. DOORS

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 8-4, 2006

Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5185	Jones (Spiegel)	Final	DONE	223-2024
1st	14 Heron's Nest	Final		DUSSEL.
	OB	COURTESY INSP.		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8072	Schweder	Final Roof	PASS	CLOSE
3	4 Ridgeland Dr			INSPECTOR: <i>[Signature]</i>
	Cardinal Roof.			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
786	Walker	wire latte	PASS	PARTIAL REAR
1st	6 Crane's Nest	stucco for soffits		& NORTH SIDE
	Janaro			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6149	Briscoe	Day In	FAIL	
4	5 Gumbo Limbo Way			INSPECTOR: <i>[Signature]</i>
	TC Roofing			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6010	HOOPER	Removal	FAIL	
2A	725 River			INSPECTOR: <i>[Signature]</i>
	OB			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
		COURTESY	DONE	
	27. N. RIVER			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 72 S. RIVER

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

A/C TROUGH NEED ENGR. LTR ADDRESSING
ADDITION DEAD LOAD OF AHU
ON TRUSSES.

MECH. TROUGH - NEED SMOKE
DETECTOR IN SLEEPING ROOM.

SUBMIT PRODUCT APPROVAL FOR
EXTERIOR PINEACH DOORS -

PROPERLY LABEL PANEL INDICATING
CONDUCT #15 FOR EA. AHU &
COMP. / COND.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 9/1/06

INSPECTOR

DO NOT REMOVE THIS TAG

~~WED 8/30~~ OR, Fri 9/1

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9/1, 2006 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8147	Lelo	windows	PASS	CLOSE
4	27 Sumara 504 call Scott 260-3154 to meet			INSPECTOR: <i>[Signature]</i>
8193	Cobiella	final roof	PASS	CLOSE
11	8 N. Sewalls Pt Chabot - 283-1505 Katee	11:00 P.M.		INSPECTOR: <i>[Signature]</i>
8055	Haynes	Final	PASS	CLOSE
3	6 Palm Rd Storm Depot			INSPECTOR: <i>[Signature]</i>
Tree	Heckenberg	Tree	PASS	
12	5 Lagoon Isl.			INSPECTOR: <i>[Signature]</i>
8123	Lelo	partial roof making	PASS	
2	20 E High Pt Seagate			INSPECTOR: <i>[Signature]</i>
MC 0100 1	Hochstetler 92 S River Rd O/B	reinspect	FAIL	INSPECTOR: <i>[Signature]</i> 15 Please 288-2232
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER:



PROFESSIONAL STRUCTURAL CONSULTANTS
404 SW Camden Ave., Stuart, FL 34994

September 19, 2006

Martin County Building Department
900 Ruhnkey Road
Stuart, FL 34994

Re: Permit No. SF01-20060100 Hochstetter Residence, 72 S River Road, Sewalls Point,
FL

Attn: Mr. Phil Wintercorn

I have reviewed the hung air handler installation at the above referenced project. The air handler has an operational weight of 175 pounds. The supports as installed are more than adequate to safely support this machine.

If you have any further questions or concerns, or if I can be of any future service, please do not hesitate to contact me.

Respectfully submitted,

T. Stiles Peet

T. Stiles Peet, P.E.

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 10-2, 2006 Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
0100	HOCKSTETTER	ELEC. ROUGH	PASS	
3	72. S. RIVER	ELEC. ROUGH	PASS	INSPECTOR: <i>[Signature]</i>
0110		IN PROGRESS ROOF.	PASS	
2	92 S. RIVER RD.			INSPECTOR: <i>[Signature]</i>
1	124 S. S. P. R.	DECK EXPOACH?	YES	INSPECTOR:
0110		ROOF IN PROGRESS	PASS	
3A	98. S. RIVER RD.			INSPECTOR:
	PERRIWINKLE	WEST SIDE OF INDIAN RIVER DR.	OK	LARGE PEPPER TREE ON N.W. CORNER - NEEDS REMOVAL INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 72 S. RIVER

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

TRADES

RESCHEDULE WHEN ACCESS IS AVAILABLE TO HOUSE INTERIOR.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 10/4

[Signature]
INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 10-4, 2006 Page 2 of 2

5

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7801		2ND FLOOR	PASS	REVISED / RESTAMPED
4	83 S RIVER RD	DECK TOPPING		PLANS READY INSPECTOR:
8	12 SSPR	COMPLAINT ABOUT A/C EQUIPMENT ON HOUSE UNDER CONSTRUCTION SEE J.P.		COMPLAINANT MR WINSLOW 954-944-8611 INSPECTOR:
0107		POOL DECK	FAIL	
9	78 N. S. P. H.			INSPECTOR: <i>[Signature]</i>
0107		FINAL	FAIL	
9	78 N. S. P. H.			INSPECTOR: <i>[Signature]</i>
0100		FRAME / ROUGH TRAYS		NO ADDRESS RESCHEDULE
5	72 S. RIVER			INSPECTOR: <i>[Signature]</i>
0097		FRAME ROUGH TRAYS		CANCEL
6	14 S. VIA LUCINDIA			INSPECTOR: <i>[Signature]</i>
5B	9 RIO VISTA	FENCE VIOLATION		REMOVED FENCE REINSTALLED EXIST FENCE FROM HURRICANE DAMAGE INSPECTOR: <i>[Signature]</i>
OTHER:		ELEC. ROUGH PLUMBING "	FAIL FAIL	
5A	18 RIO VISTA			<i>[Signature]</i>

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5-2, 2007 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
0100	Hockett 1st 12 S River Rd O/B	Courtesy Admirer status	FAIL	THICKED w/ owner INSPECTOR: <i>[Signature]</i>
7711	Utrata 117 N Sewalls Pt J+B Boatlift	Final DOCK	PASS	CLOSE INSPECTOR: <i>[Signature]</i>
1001	Summings 83 S River Rd Separate	Site not needed	FAIL	 INSPECTOR:
8441	Dressler 3 12 Island Rd Harbor Court	2nd Fl Column & roof beam	CANCEL	 INSPECTOR: <i>[Signature]</i>
8468	Mariano 2 23 Middle Rd Heaton Roof	In progress	PASS	 INSPECTOR: <i>[Signature]</i>
8528	Masterpiece 4 5 Mandalay Masterpiece	slab AFTER 9:00	PASS	 INSPECTOR: <i>[Signature]</i>
8478	Villar 10 92 N Sewalls Pt Mager	insulation	FAIL	 INSPECTOR: <i>[Signature]</i>

OTHER:

C.E.

26 N.S.P.R.

WEEDS & BOAT
IN BACKYARD.

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 2-11, 2008

Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
0312	Lockwood	Final	Pass	OK
1	72 S River Rd O/B	(tile patrol?) see file		INSPECTOR: <i>[Signature]</i>
Tree	Lepaw	Tree	FAIL	
2	61 S Sewall St Tree O/B			INSPECTOR: <i>[Signature]</i>
C.E.	106 N. S. P. R.	TICKET HUT w/o PERMIT		HAVE PHOTO EVIDENCE
				INSPECTOR:
0312	Hepworth 3100 Sand Cause	stem work CANCEL		INSPECTOR:
C.E.	23 CASTLE HILL	DEAD TREE		COMPLAINT BY NEIGHBOR
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER:

10593

BALCONY



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10593	DATE ISSUED:	SEPTEMBER 18, 2013
SCOPE OF WORK:	BALCONY MODIFICATION		
CONTRACTOR:	QUADROS INC		
PARCEL CONTROL NUMBER:	013841007-000-002101	SUBDIVISION	LUCINDIA - LOT 21
CONSTRUCTION ADDRESS:	72 S RIVER RD		
OWNER NAME:	HOCHSTETTER		
QUALIFIER:	JACK MECCA	CONTACT PHONE NUMBER:	370-6020

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

Date: 9-6-13

BUILDING PERMIT APPLICATION

Permit Number: 10593

OWNER/LESSEE NAME: Andy Hochstetter

Phone (Day) 260-1678

(Fax)

Job Site Address: 72 S RIFLER RD

City: Sewall's Point

State: FLA

Zip: 34996

Legal Description

Parcel Control Number:

Fee Simple Holder Name:

Address:

City:

State:

Zip:

Telephone:

*SCOPE OF WORK (PLEASE BE SPECIFIC):

Palcony

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application)

YES NO X

Has a Zoning Variance ever been granted on this property?

YES (YEAR) NO

(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 2300.00

(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10 AE9 AE8 X

FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:

Estimated Fair Market Value prior to improvement: \$

(Fair Market Value of the Primary Structure only, Minus the land value)

PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Quarcher Inc

Phone (772) 370-6020

Fax:

Qualifiers name: Jack Mecca

Street: 2022 SE Allamanda Dr

City: PSL

State: FL

Zip: 34952

State License Number: CGC 038784

OR: Municipality

License Number:

LOCAL CONTACT:

John Foster

ARCHITECT

DESIGN PROFESSIONAL: John Foster

Street: 11205 Ridge Ave

City: Ft. Pierce

Living: Garage: Covered Patios/ Porches: Enclosed Storage:

Carpport: Total under Roof

Elevated Deck

Enclosed area below BFE:

* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO STATE AND CERTIFY TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE:

X Andy Hochstetter

State of Florida County of: Martin

On This the 10 day of Sept 2013

by Andrew J Hochstetter who is personally

known to me or produced PD# H 233-010-68-064-0

As identification: Valerie Camlet

Notary Public

My Commission Expires:

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:

X Jack Mecca Quarcher Inc

State of Florida, County of: Martin

On This the 6th day of September 2013

by Jack A. Mecca who is personally

known to me or produced PD# MA 421501480

As identification: Ann-Marie S. Basler

Notary Public State of Florida

My Commission Expires:

My Comm. Expires Oct 14, 2015

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	10593
ADDRESS	72 S RIVER RD - HOCHSTETTER
DATE 9/18/13	SCOPE OF WORK BALCONY MODIFICATION

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
------------------------------------	----------------	----	--

HEATHER L HOCHSTETTER
 ANDREW J HOCHSTETTER
 72 S RIVER RD (772) 370-2054
 STUART, FL 34996

2864
63-27/631 FL
23289

Sept. 18, 2013
Date

Pay to the Order of **TOWN OF SEWALL'S POINT** \$ 211.00
 Two Hundred Eleven and 00/100 Dollars

Bank of America
 ACH R/T 063100277

For *Heather L Hochstetter*

ISLAND BREEZESSM

Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)	\$	
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)	\$	
Road impact assessment: (.04% of construction value - \$5.00 min.)	\$	
Martin County Impact Fee:	\$	
TOTAL BUILDING PERMIT FEE:	\$	

ACCESSORY PERMIT	Declared Value:	\$	2300
Total number of inspections @ \$100.00 each	2		200
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	3
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	3
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5
TOTAL ACCESSORY PERMIT FEE:		\$	211

**Martin County, Florida
Laurel Kelly, C.F.A**
generated on 9/11/2013 11:03:34 AM EDT
Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
01-38-41-007-000-00210-1	17706	72 S RIVER RD, SEWALL'S POINT	\$305,490	9/7/2013

Owner Information

Owner(Current)	HOCHSTETTER ANDREW J HOCHSTETTER HEATHER L
Owner/Mail Address	72 S RIVER RD STUART FL 34996
Sale Date	10/7/1999
Document Book/Page	1429 0166
Document No.	
Sale Price	262000

Location/Description

Account #	17706	Map Page No.	SP-04
Tax District	2200	Legal Description	LUCINDIA LOT 21
Parcel Address	72 S RIVER RD, SEWALL'S POINT		
Acres	.5410		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120350 LUCINDIA

Assessment Information

Market Land Value	\$156,200
Market Improvement Value	\$149,290
Market Total Value	\$305,490



Florida Department of
**Business & Professional
Regulation**

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Product Approval
USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#)

OFFICE OF THE SECRETARY

Search Criteria

[Refine Search](#)

Code Version	2010	FL#	5444
Application Type	ALL	Product Manufacturer	ALL
Category	ALL	Subcategory	ALL
Application Status	ALL	Compliance Method	ALL
Quality Assurance Entity	ALL	Quality Assurance Entity Contract Expired	ALL
Product Model, Number or Name	ALL	Product Description	ALL
Approved for use in HVHZ	ALL	Approved for use outside HVHZ	ALL
Impact Resistant	ALL	Design Pressure	ALL
Other	ALL		

Search Results - Applications

FL#	Type	Manufacturer	Validated By	Status
FL5444-R5 History	Editorial Change	CertainTeed Corporation-Roofing Category: Roofing Subcategory: Asphalt Shingles	John W. Knezevich, PE (954) 772-6224	Approved

*Approved by DBPR. Approvals by DBPR shall be reviewed and ratified by the POC and/or the Commission if necessary.

[Contact Us](#) :: 1940 North Monroe Street, Tallahassee FL 32399 Phone: 850-487-1824

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Under Florida law, email addresses are public records. If you do not want your e-mail address released in response to a public-records request, do not send electronic mail to this entity. Instead, contact the office by phone or by traditional mail. If you have any questions, please contact 850.487.1395. *Pursuant to Section 455.275(1), Florida Statutes, effective October 1, 2012, licensees licensed under Chapter 455, F.S. must provide the Department with an email address if they have one. The emails provided may be used for official communication with the licensee. However email addresses are public record. If you do not wish to supply a personal address, please provide the Department with an email address which can be made available to the public. To determine if you are a licensee under Chapter 455, F.S., please click [here](#).

Product Approval Accepts:



**TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY**



EXTERIOR RESEARCH & DESIGN, LLC.
 Certificate of Authorization #9503
 353 CHRISTIAN STREET, UNIT #13
 OXFORD, CT 06478
 PHONE: (203) 262-9245
 FAX: (203) 262-9243

EVALUATION REPORT

CertainTeed Corporation
1400 Union Meeting Road
Blue Bell, PA 19422

Evaluation Report 3532.09.05-R5
FL5444-R5
Date of Issuance: 09/22/2005
Revision 5: 02/20/2013

SCOPE:

This Evaluation Report is issued under Rule 9N-3 and the applicable rules and regulations governing the use of construction materials in the State of Florida. The documentation submitted has been reviewed by Robert Nieminen, P.E. for use of the product under the Florida Building Code and Florida Building Code, Residential Volume. The products described herein have been designed to comply with the 2010 Florida Building Code.

DESCRIPTION: CertainTeed Asphalt Roofing Shingles.

LABELING: Each unit shall bear labeling in accordance with the requirements of the Accredited Quality Assurance Agency noted herein.

CONTINUED COMPLIANCE: This Evaluation Report is valid until such time as the named product(s) changes, the referenced Quality Assurance documentation changes, or provisions of the Code that relate to the product change. Acceptance of this Evaluation Report by the named client constitutes agreement to notify Robert Nieminen, P.E. if the product changes or the referenced Quality Assurance documentation changes. Trinity|ERD requires a complete review of this Evaluation Report relative to updated Code requirements with each Code Cycle.

ADVERTISEMENT: The Evaluation Report number preceded by the words "Trinity|ERD Evaluated" may be displayed in advertising literature. If any portion of the Evaluation Report is displayed, then it shall be done in its entirety.

INSPECTION: Upon request, a copy of this entire Evaluation Report shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This Evaluation Report consists of pages 1 through 10.

Prepared by:

Robert J.M. Nieminen, P.E.
 Florida Registration No. 59166, Florida DCA ANE1983



The facsimile seal appearing was authorized by Robert Nieminen, P.E. on 02/20/2013. This does not serve as an electronically signed document. Signed, sealed hardcopies have been transmitted to the Product Approval Administrator and to the named client.

CERTIFICATION OF INDEPENDENCE:

1. Trinity|ERD does not have, nor does it intend to acquire or will it acquire, a financial interest in any company manufacturing or distributing products it evaluates.
2. Trinity|ERD is not owned, operated or controlled by any company manufacturing or distributing products it evaluates.
3. Robert Nieminen, P.E. does not have nor will acquire, a financial interest in any company manufacturing or distributing products for which the evaluation reports are being issued.
4. Robert Nieminen, P.E. does not have, nor will acquire, a financial interest in any other entity involved in the approval process of the product.



ROOFING SYSTEMS EVALUATION:

1. SCOPE:

Product Category: Roofing
Sub-Category: Asphalt Shingles
Compliance Statement: CertainTeed Asphalt Roofing Shingles, as produced by CertainTeed Corporation, have demonstrated compliance with the following sections of the Florida Building Code and Florida Building Code, Residential Volume through testing in accordance with the following Standards. Compliance is subject to the Installation Requirements and Limitations / Conditions of Use set forth herein.

2. STANDARDS:

<u>Section</u>	<u>Property</u>	<u>Standard</u>	<u>Year</u>
1507.2.5, R905.2.4	Physical Properties	ASTM D3462	2007
1507.2.7.1, R905.2.6.1	Wind Resistance	ASTM D3161, Class F	2006
1507.2.7.1, R905.2.6.1	Wind Resistance	ASTM D7158, Class H	2007

3. REFERENCES:

<u>Entity</u>	<u>Examination</u>	<u>Reference</u>	<u>Date</u>
UL (TST 1740)	ASTM D3161	94NK9632	05/15/1998
UL (TST 1740)	ASTM D3161	99NK26506	11/23/1999
UL (TST 1740)	ASTM D3161	03CA12702	05/27/2003
UL (TST 1740)	ASTM D3161	03CA12702	06/16/2003
UL (TST 1740)	ASTM D3161	03NK29847	10/03/2003
UL (TST 1740)	ASTM D3161	04CA11329	05/24/2004
UL (TST 1740)	ASTM D3161	04CA32986	12/03/2004
UL (TST 1740)	ASTM D3161	05NK07049	04/15/2005
UL (TST 1740)	ASTM D3161	05NK16778	05/12/2005
UL (TST 1740)	ASTM D3161	05CA16778	05/12/2005
UL (TST 1740)	ASTM D3161	05NK14836	05/22/2005
UL (TST 1740)	ASTM D3161	05NK22800	06/22/2005
UL (TST 1740)	ASTM D3462	R684	09/21/2005
UL (TST 1740)	ASTM D7158	05NK08037	06/28/2006
UL (TST 1740)	ASTM D3161 & D3462	09CA28873	07/23/2009
UL (TST 1740)	ASTM D3462	10CA41303	10/07/2010
UL (TST 1740)	ASTM D3161	10CA41303	10/08/2010
UL (TST 1740)	ASTM D7158	10CA41303	10/27/2010
UL (TST 1740)	ASTM D3161 & D3462	10CA44960	11/11/2010
UL LLC (QUA 9625)	Quality Control	Service Confirmation	Exp. 02/13/2016



4. PRODUCT DESCRIPTION:

- 4.1 CT20™, XT™ 25 and XT™ 30 are fiberglass reinforced, 3-tab asphalt roof shingles.
- 4.2 Carriage House Shingle®, Centennial Slate™, Grand Manor Shingle®, Landmark™, Landmark™ Pro (formerly Landmark™ Plus), Landmark™ Premium, Landmark™ TL and Landmark™ Solaris are fiberglass reinforced, laminated asphalt roof shingles.
- 4.3 Presidential Shake™ and Presidential Shake TL™ are fiberglass reinforced, architectural asphalt roof shingles.
- 4.4 Hatteras™ and Highland Slate™ are fiberglass reinforced, 4-tab asphalt roof shingles.
- 4.5 Presidential Accessory, Accessory for Hatteras, Shangle Ridge™, Shadow Ridge™ and Cedar Crest™ are fiberglass reinforced accessory shingles for hip and ridge installation.
- 4.6 Any of the above listed shingles may be produced in AR (algae resistant) versions.

5. LIMITATIONS:

- 5.1 This Evaluation Report is not for use in the HVHZ
- 5.2 Fire Classification is not part of this Evaluation Report; refer to current Approved Roofing Materials Directory for fire ratings of this product.
- 5.3 Wind Classification:
 - 5.3.1 All shingles noted herein are Classified in accordance with FBC Tables 1507.2.7.1 and R905.2.6.1 to ASTM D3161, Class F and/or ASTM D7158, Class H, indicating the shingles are acceptable for us in all wind zones up to $V_{asd} = 150$ mph ($V_{ult} = 194$ mph). Refer to Section 6 for installation requirements to meet this wind rating.
 - 5.3.2 Presidential Accessory, Accessory for Hatteras, Shangle Ridge, Shadow Ridge and Cedar Crest hip & ridge shingles have been evaluated in accordance with ASTM D3161, Class F when BASF Sonolastic NP 1 adhesive or Henkel PL® Polyurethane Roof & Flashing Sealant, applied as specified in manufacturer's application instructions, indicating the shingles are acceptable for us in all wind zones up to $V_{asd} = 150$ mph ($V_{ult} = 194$ mph).
 - 5.3.3 Classification by ASTM D7158 applies to exposure category B or C and a building height of 60 feet or less. Calculations by a qualified design professional are required for conditions outside these limitations. Contact the shingle manufacturer for data specific to each shingle.
- 5.4 All products in the roof assembly shall have quality assurance audits in accordance with the Florida Building Code and F.A.C. Rule 9N-3.

6. INSTALLATION:

- 6.1 Roof deck, slope, underlayment and fasteners shall comply with FBC 1507.2 / R905.2 and the shingle manufacturer's minimum requirements.
- 6.1.1 Underlayment shall be acceptable to CertainTeed Corporation and shall hold current Florida Statewide Product Approval, or be Locally Approved per Rule 9N-3, per FBC Sections 1507.2.3, 1507.2.4 or R905.2.3.
- 6.2 Installation of asphalt shingles shall comply with the manufacturer's current published instructions, using minimum four (4) nails per shingle in accordance with FBC 1507.2.7 or Section R905.2.6 and the minimum requirements herein.
- 6.2.1 Fasteners shall be in accordance with manufacturer's published requirements, but not less than FBC 1507.2.6 or R905.2.5. Staples are not permitted.
- 6.2.2 Where the roof slope exceeds 21 units vertical in 12 units horizontal, use the "Steep Slope" directions.
- 6.3 CertainTeed asphalt shingles are acceptable for use in reroof (tear-off) or recover applications, subject to the limitations set forth in FBC Section 1510 and CertainTeed published installation instructions.
- 6.3.1 **CT20™, XT™ 25, and XT™ 30:**

LOW AND STANDARD SLOPE

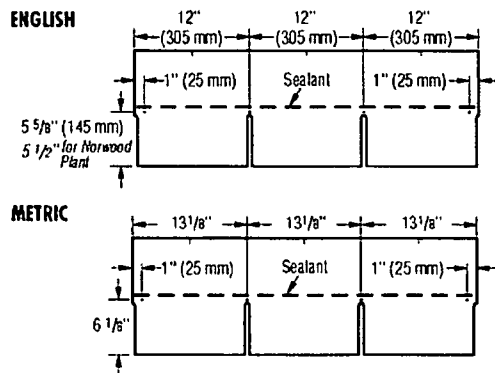


Figure 11-3: Use four nails for every full shingle.

STEEP SLOPE

Use four nails and six spots of asphalt roofing cement* for every full shingle (Figure 11-4). Asphalt roofing cement meeting ASTM D4586 Type II is suggested.

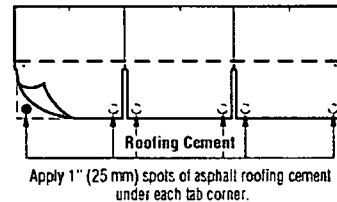


Figure 11-4: Use four nails and six spots of asphalt cement on steep slopes.

*CAUTION: Excessive use of roofing cement can cause shingles to blister.

6.3.1.1 Hip & Ridge: Cut Shingles

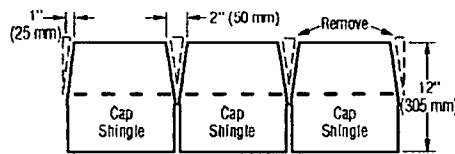


Figure 11-24: Cut tabs, then trim back to make cap shingles (English dimensions shown).

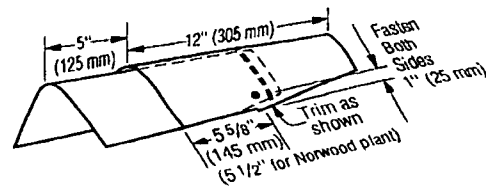


Figure 11-25: Installation of caps along the hips and ridges.

Note: For ASTM D3161 - Class F, use BASF Sonolastic NP 1 adhesive or Henkel PL® Polyurethane Roof & Flashing Sealant, in accordance with manufacturer's instructions.

6.3.2 **Carriage House Shingle®, Centennial Slate™ and Grand Manor Shingle®:**

LOW AND STANDARD SLOPE

Use five nails for every full Shingle.

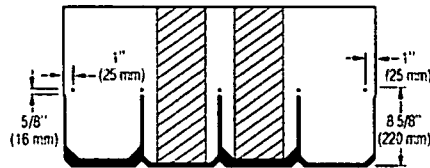


Figure 17-4: Use five nails for every full Grand Manor Shingle, Carriage House Shingle, or Centennial Slate.

STEEP SLOPE

Use seven nails and three spots of asphalt roofing cement for every full Grand Manor Shingle. Use five nails and three spots of asphalt roofing cement for every full Carriage House Shingle and Centennial Slate. Apply asphalt roofing cement 1" (25 mm) from edge of shingle (Figure 17-5). Asphalt roofing cement meeting ASTM D4586 Type II is suggested.

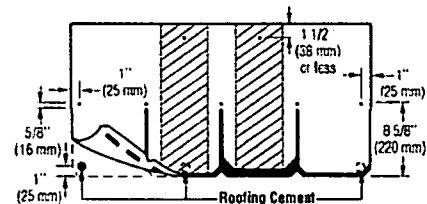


Figure 17-5: When installing Grand Manor Shingles on steep slopes, use seven nails and three spots of asphalt roofing cement.

6.3.2.1 Hip & Ridge: Shingle® Ridge

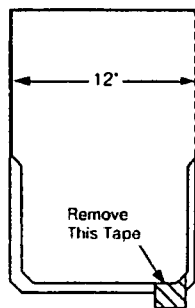


Figure 17-18: Shingle® Ridge.

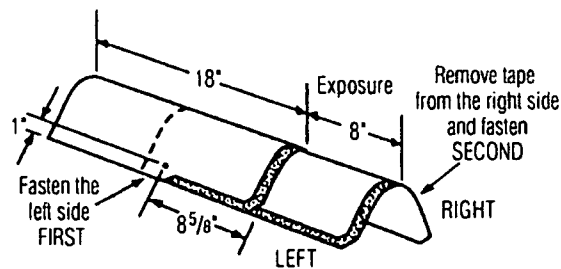


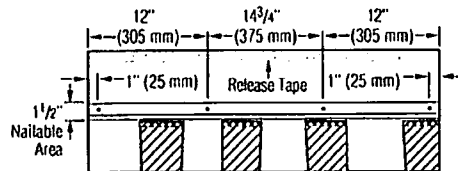
Figure 17-19: Installation of Shingle® Ridge shingles on hips and ridges.

Note: For ASTM D3161 - Class F, use BASF Sonolastic NP 1 adhesive or Henkel PL® Polyurethane Roof & Flashing Sealant in accordance with manufacturer's instructions.

6.3.3 **Landmark™, Landmark™ Pro (formerly Landmark™ Plus), Landmark™ Premium, Landmark™ TL and Landmark™ Solaris:**

LOW AND STANDARD SLOPE

METRIC DIMENSIONS



LANDMARK TL

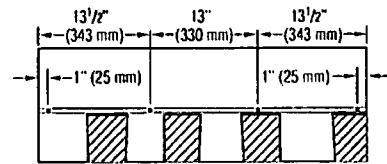
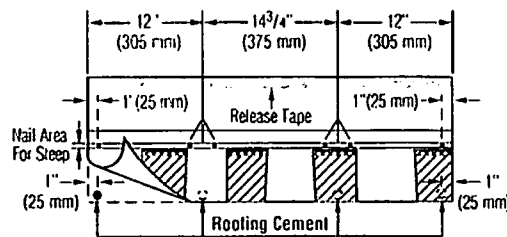


Figure 13-4: Use four nails for every full shingle.

STEEP SLOPE

Use six nails and four spots of asphalt roofing cement for every full laminated shingle. See below. Asphalt roofing cement should meet ASTM D4586 Type II. Apply 1" spots of asphalt roofing cement under each corner and at about 12" to 13" in from each edge.

METRIC DIMENSIONS



LANDMARK TL

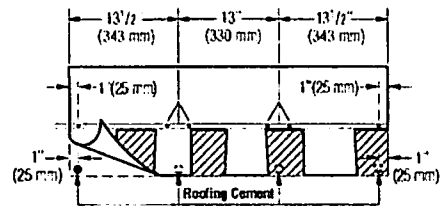
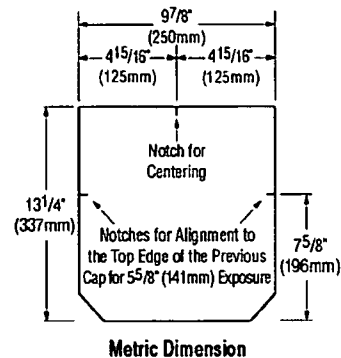
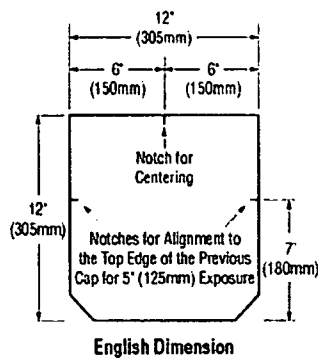


Figure 13-5: Use six nails and four spots of asphalt roofing cement on steep slopes.

6.3.3.1 **Hip & Ridge, Option 1: Shadow Ridge™**



Figure 13-16: Shadow Ridge accessory shingles detach easily from three-piece units to make 72 individual cap pieces.



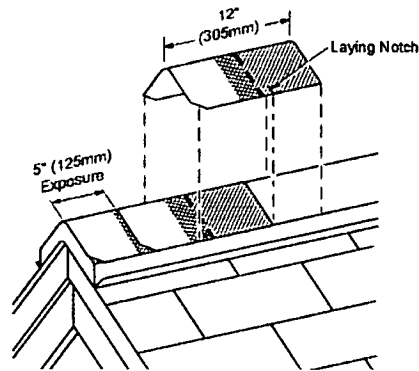
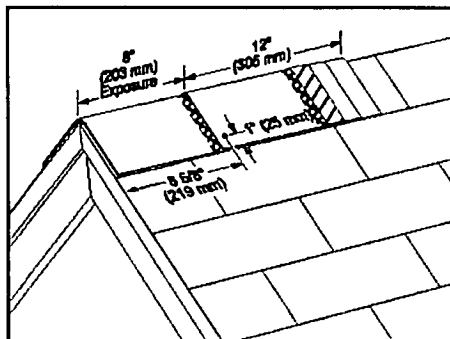


Figure 13-20: Use laying notches to center shingles on hips and ridges, and to locate the correct exposure.

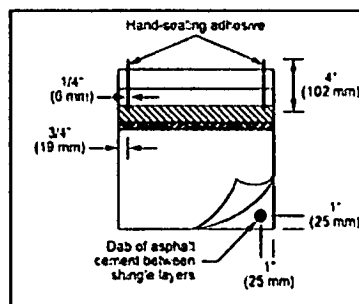
Note: For ASTM D3161 - Class F, use BASF Sonolastic NP 1 adhesive or Henkel PL® Polyurethane Roof & Flashing Sealant in accordance with manufacturer's instructions.

6.3.3.2 Hip & Ridge, Option 2: Cedar Crest™

Use two fasteners per shingle. For the starter shingle, place fastener 1-inch from each side edge and about 2-inch up from the starter shingle's exposed butt edge. For each full Cedar Crest shingle, please fasteners 8-5/8-inch up from its exposed butt edge and 1-inch from each side edge.



Note: For ASTM D3161 - Class F, use BASF Sonolastic NP 1 adhesive or Henkel PL® Polyurethane Roof & Flashing Sealant to hand-seal Cedar Crest shingles. Apply NP 1 or PL adhesive from the middle of the shingle's raised overlay on the top piece and extending approximately 4-inch along the sides of the headlap along a line 3/4 to 1-inch from each side of the shingle's headlap. Immediately align and apply the overlying shingle, gently pressing tab sides into the adhesive, and install nails. To secure the other side, apply a 1-inch diameter spot of NP 1 or PL adhesive between the shingle layers.



6.3.4 **Presidential Shake™ and Presidential Shake TL™:**

LOW AND STANDARD SLOPE:

For low and standard slopes, use five nails for each full Presidential shingle as shown below.

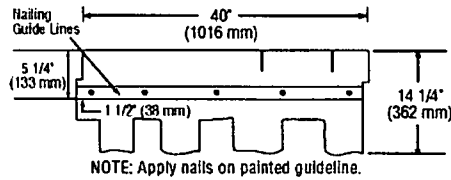


Figure 16-6: Fastening Presidential and Presidential TL Shakes shingles on low and standard slopes.

STEEP SLOPE:

For steep slopes, use nine nails for each full Presidential shingle and apply 1" diameter spots of asphalt roofing cement under each shingle tab. After applying 5 nails in between the nailing guide lines, apply 4 nails 1" above tab cutouts making certain tabs of overlying shingle cover nails.

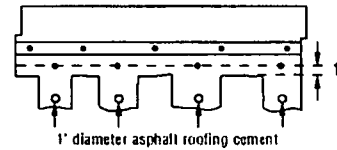


Figure 16-7: Fastening Presidential and Presidential TL Shakes shingles on steep slopes.

6.3.4.1 Hip & Ridge, Option 1: Presidential Accessory

PRESIDENTIAL ACCESSORY

Presidential accessory shingles can be used for covering hips and ridges. Apply shingles up to the ridge (expose no more than 7" from the bottom edge of the "tooth." Fasten each accessory with two fasteners. The fasteners must be 1 3/4" long or longer, so they penetrate either 3/4" into the deck or completely through the deck. Presidential accessory comes in two different sizes: Accessory produced in Birmingham, AL is 12" x 12"; Portland, OR produces 9 7/8" x 13 1/4" accessory.

Note: For ASTM D3161 - Class F, use BASF Sonolastic NP 1 adhesive or Henkel PL® Polyurethane Roof & Flashing Sealant in accordance with manufacturer's instructions.

6.3.4.2 Hip & Ridge, Option 2: Refer to instructions herein for Cedar Crest™ hip and ridge shingles.

6.3.5 **Hatteras™:**

LOW, STANDARD AND STEEP SLOPE:

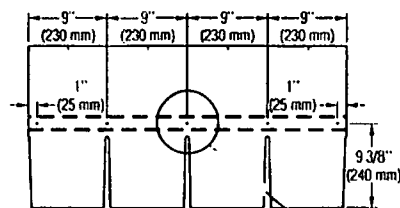


Figure 15-3: Fastening Hatteras Shingles on Low and Standard Slopes

For low and standard slopes, use five nails for each full Hatteras shingle as shown above.

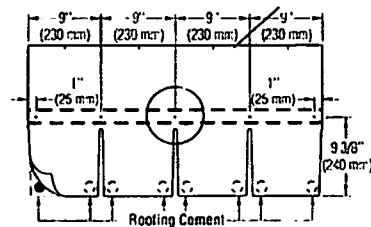


Figure 15-4: Fastening Hatteras shingles on steep slopes

For steep slopes, use five nails and eight spots of asphalt roofing cement for each full Hatteras shingle as shown above. Apply 1" (25mm) diameter spots of roofing cement (ASTM D-4586 Type II suggested) under each tab corner. Press shingle into place; do not expose cement.

CAUTION: Too much roofing cement can cause shingles to blister.

6.3.5.1 Hip & Ridge, Option 1: Accessory for Hatteras

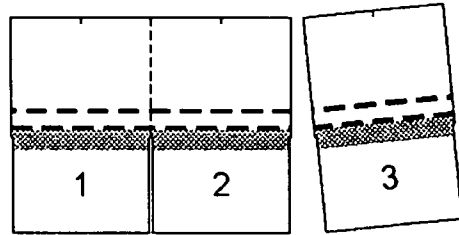
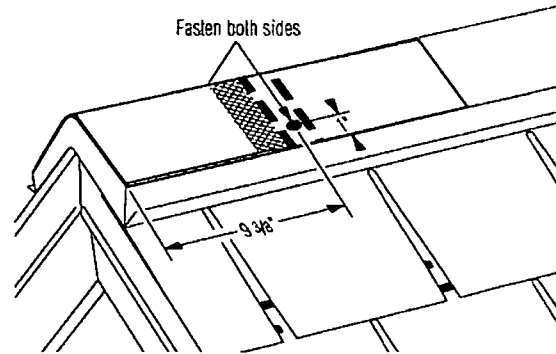


Figure 15-14: 18 three-piece units separate to make 54 Hatteras Accessory shingles.



Note: For ASTM D3161 - Class F, use BASF Sonolastic NP 1 adhesive or Henkel PL® Polyurethane Roof & Flashing Sealant in accordance with manufacturer's instructions.

6.3.5.2 Hip & Ridge, Option 2: Cut Hatteras Shingles

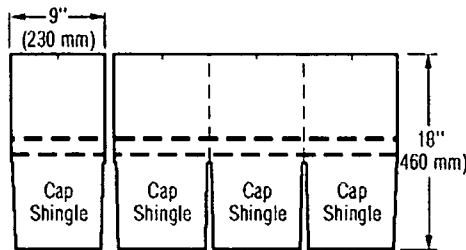


Figure 15-20: Cut Hatteras shingles to make cover cap.

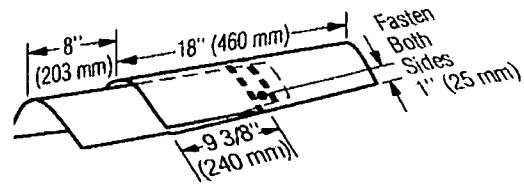


Figure 15-21: Installation of caps along hips and ridges.

Note: For ASTM D3161 - Class F, use BASF Sonolastic NP 1 adhesive or Henkel PL® Polyurethane Roof & Flashing Sealant in accordance with manufacturer's instructions.

6.3.6 **Highland Slate™:**

LOW AND STANDARD SLOPE:

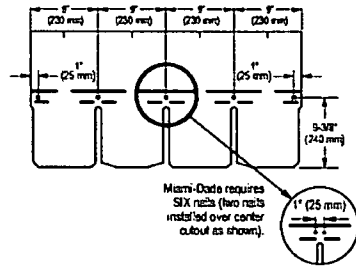


Figure 11-3: Use FIVE nails for every Highland Slate shingle.

STEEP SLOPE:

Use FIVE nails and EIGHT spots of asphalt roofing cement* for each full Highland Slate shingle. For Miami-Dade, SIX nails are required. Apply 1" diameter spots of asphalt roofing cement under each tab corner. Asphalt roofing cement meeting ASTM D4586 Type II is suggested.

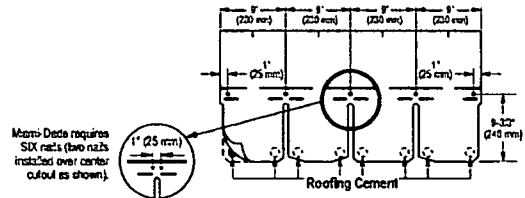


Figure 11-3A: Use FIVE nails and eight spots of asphalt roofing cement under each tab corner.

*CAUTION: Excessive use of roofing cement can cause shingles to blister.

6.3.6.1 Hip & Ridge, Option 1: Refer to instructions herein for Cedar Crest™ or Shangle Ridge™ hip and ridge shingles.

7. LABELING:

- 7.1 Each unit shall bear a permanent label with the manufacturer's name, logo, city, state and logo of the Accredited Quality Assurance Agency noted herein.
- 7.2 Asphalt shingle wrappers shall indicate compliance with one of the required classifications detailed in FBC Table 1507.2.7.1 / R905.2.6.1.

8. BUILDING PERMIT REQUIREMENTS:

As required by the Building Official or Authority Having Jurisdiction in order to properly evaluate the installation of this product.

9. MANUFACTURING PLANTS:

Contact the named QA entity for information on which plants produce products covered by Florida Rule 9N-3 QA requirements.

10. QUALITY ASSURANCE ENTITY:

UL LLC – QUA9625; (414) 248-6409; karen.buchmann@us.ul.com

- END OF EVALUATION REPORT -

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 11-12-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10593	Hochstetler	Final	P	
	W. S. Powell	rebar deck railing	OK	OK
	QUADROS Inc			INSPECTOR <u>A</u>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	DE JOHN			
	10 HERITAGE	TREE	OK	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
tree	Copaire near S. River Rd	Banyan tree branch		
	Beverly Powell 337-3565	City or owner	SEE	<u>OK</u>
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	PLANTATION HOA			
	LOFTING WAY	TREE	OK	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

10621

POOL



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10621	DATE ISSUED:	OCTOBER 7, 2013
SCOPE OF WORK:	NEW POOL (INSIDE EXISTING POOL)		
CONTRACTOR:	HORIZON POOLS		
PARCEL CONTROL NUMBER:	013841007-000-002101	SUBDIVISION	LUCINDIA - L 21
CONSTRUCTION ADDRESS:	72 S RIVER RD		
OWNER NAME:	HOCHSTETTER		
QUALIFIER:	WADE CLARKE	CONTACT PHONE NUMBER:	772-405-1130

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING	_____
UNDERGROUND MECHANICAL	_____
STEM-WALL FOOTING	_____
SLAB	_____
ROOF SHEATHING	_____
TIE DOWN /TRUSS ENG	_____
WINDOW/DOOR BUCKS	_____
ROOF DRY-IN/METAL	_____
PLUMBING ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____
FRAMING	_____
FINAL PLUMBING	_____
FINAL MECHANICAL	_____
FINAL ROOF	_____
UNDERGROUND GAS	_____
UNDERGROUND ELECTRICAL	_____
FOOTING	_____
TIE BEAM/COLUMNS	_____
WALL SHEATHING	_____
INSULATION	_____
LATH	_____
ROOF TILE IN-PROGRESS	_____
ELECTRICAL ROUGH-IN	_____
GAS ROUGH-IN	_____
METER FINAL	_____
FINAL ELECTRICAL	_____
FINAL GAS	_____
BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: 10621

Date:
OWNER/LESSEE NAME: ANDREW HOCHSTETTER Phone (Day) 772-260-1678 (Fax)
Job Site Address: 72 S River Road City: Sewalls PT State: FL Zip: 34996
Legal Description: 120350 LUCINDA LOT #1 Parcel Control Number: 01-38-41-007-000-00210-1
Fee Simple Holder Name: Address:
City: State: Zip: Telephone:

*SCOPE OF WORK (PLEASE BE SPECIFIC): INSTALL NEW POOL INSIDE EXISTING POOL

WILL OWNER BE THE CONTRACTOR?
(if yes, Owner Builder questionnaire must accompany application)
YES NO [X]
Has a Zoning Variance ever been granted on this property?
YES (YEAR) NO
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 38,000
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: HORIZON POOLS Phone: 772 405-1130 Fax:
Qualifiers name: WADE M. CLARKE Street: 5423 Stately Oaks City: Ft Pierce State: FL Zip: 34981
State License Number: RPO067256 OR: Municipality: License Number:

LOCAL CONTACT:
DESIGN PROFESSIONAL:
Street: City: State: Zip: Phone Number:
Fla. License #: OCT - 1 2013

AREAS SQUARE FOOTAGE: Living: 2424 Garage: Covered Patios/ Porches: Enclosed Storage:
Carport: Total under Roof Elevated Deck:
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-85.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5

*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE:
Andrew Hochstetter
State of Florida, County of: St Lucie
On This the 28 day of Sept 2013
by Andrew Hochstetter who is personally known to me or produced
As identification: Cassandra A Londo
JOYLANDRA A. LONDO Notary Public
My Commission Expires: STATE OF FLORIDA

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:
WADE M CLARKE
State of Florida, County of: St Lucie
On This the 28 day of Sept 2013
by WADE M CLARKE who is personally known to me or produced
As identification: Cassandra A Londo
JOYLANDRA A. LONDO Notary Public
My Commission Expires: STATE OF FLORIDA

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY! Expires 3/9/2016



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	10621
ADDRESS	72 S RIVER RD - HOCHSTETTER
DATE 10/7/13	SCOPE OF WORK POOL

SINGLE FAMILY OR ADDITION /REMODEL Declared Value

Plan Submit (No plan sub) Total square

HORIZON POOLS INC.
 5423 STATELY OAKS ST.
 FORT PIERCE, FL 34981

63-215/631 1487
 1000094974135
 DATE Oct 1, 2013 Shield™

Total square \$ 633.20

PAY TO THE ORDER OF Town of Sewall's Point

Six Hundred Thirty Three and 20/100 DOLLARS

SUNTRUST ACH RT 061000104

MEMO Permit HOCHSTETTER

Shelley J Clarke MP

Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)	\$	
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)	\$	
Road impact assessment: (.04% of construction value - \$5.00 min.)		
Martin County Impact Fee:	\$	
TOTAL BUILDING PERMIT FEE:	\$	

ACCESSORY PERMIT	Declared Value:	\$	38,000
Total number of inspections @ \$100.00 each			600
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)	\$	9	
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)	\$	9	
Road impact assessment: (.04% of construction value - \$5.00 min.)	\$	15.20	
TOTAL ACCESSORY PERMIT FEE:	\$	633.20	

Handwritten signature and permit number
 CK# 1487

**Martin County, Florida
Laurel Kelly, C.F.A**

generated on 10/2/2013 11:24:07 AM EDT

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
01-38-41-007-000-00210-1	17706	72 S RIVER RD, SEWALL'S POINT	\$305,490	9/28/2013

Owner Information

Owner(Current)	HOCHSTETTER ANDREW J HOCHSTETTER HEATHER L
Owner/Mail Address	72 S RIVER RD STUART FL 34996
Sale Date	10/7/1999
Document Book/Page	1429 0166
Document No.	
Sale Price	262000

Location/Description

Account #	17706	Map Page No.	SP-04
Tax District	2200	Legal Description	LUCINDIA LOT 21
Parcel Address	72 S RIVER RD, SEWALL'S POINT		
Acres	.5410		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120350 LUCINDIA

Assessment Information

Market Land Value	\$156,200
Market Improvement Value	\$149,290
Market Total Value	\$305,490

INSTR # 2419098
OR BK 2679 PG 1151

NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00 (1 Pgs)
RECORDED 09/30/2013 04:36:16 PM
CAROLYN TIMMANN
COUNTY CLERK

PERMIT #: _____ TAX FOLIO #: 01-38-41-007-000

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):
LUCINDIA LOT 21

GENERAL DESCRIPTION OF IMPROVEMENT: SWIMMING POOL + DECK

OWNER NAME OR LESSEE INFORMATION: IF LESSEE CONTRACTED FOR THE IMPROVEMENT
NAME: ANDREW HOCHSTETTER
ADDRESS: 725 RIVER ROAD SEWALTS Pt, FL
PHONE NUMBER: 772 260 1678 FAX NUMBER: _____
INTEREST IN PROPERTY: owner

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): N/A

CONTRACTOR: HORIZON POOLS
ADDRESS: 5423 STATELY OAKS FAIRFELLS FL
PHONE NUMBER: 405-1136 FAX NUMBER: _____

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED) N/A
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____
BOND AMOUNT: _____

LENDER/MORTGAGE COMPANY: N/A
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (b), FLORIDA STATUTES:
NAME: N/A
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:

PHONE NUMBER: _____ FAX NUMBER: _____ EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____

EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

Andrew Hochstetter
SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY-IN-FACT
SIGNATORY'S TITLE/OFFICE OWNER

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 28 DAY OF Sept, 2013

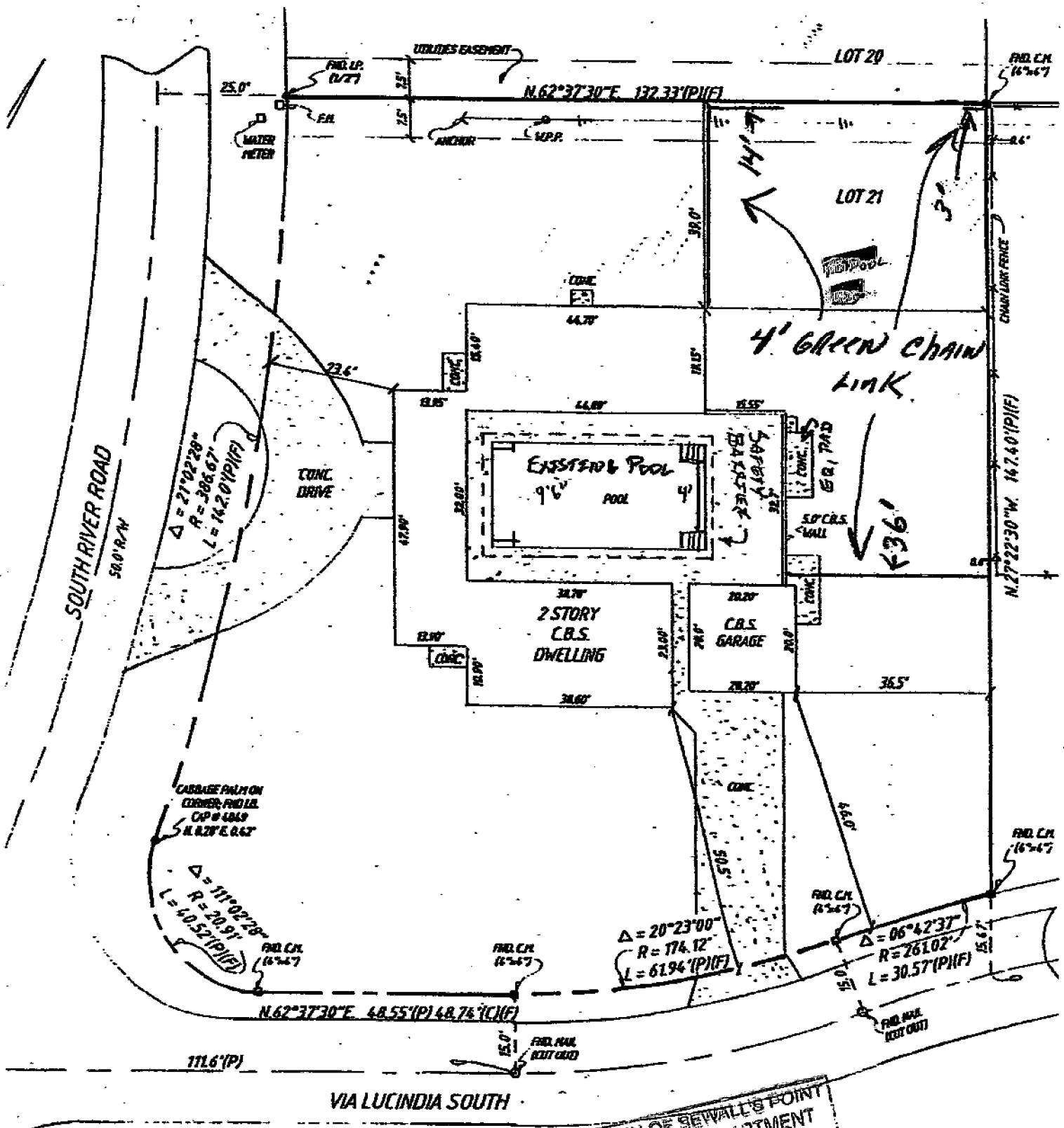
BY: Andrew Hochstetter owner FOR _____
NAME OF PERSON TYPE OF AUTHORITY PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION _____ TYPE OF IDENTIFICATION PRODUCED _____

Josandra A Londo
NOTARY SIGNATURE/ SEAL

JOSANDRA A. LONDO
NOTARY PUBLIC
STATE OF FLORIDA
Comm# EE172194
Expires 3/9/2016

STATE OF FLORIDA
MARTIN COUNTY
THIS IS TO CERTIFY THAT THE FOREGOING PAGE(S) IS A TRUE AND CORRECT COPY OF THE ORIGINAL DOCUMENT AS FILED IN THIS OFFICE.
BY: Carolyn Timmann
DATE: _____
CAROLYN TIMMANN, CLERK
CIRCUIT COURT
MARTIN COUNTY
FLORIDA



TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE

ED WITHIN FLOOD ZONE: "C"
 EL NUMBER - 128164 0002 D

ADDRESS: 72 SOUTH RIVER ROAD
 STUART, FL 34996

ANDREW HOCHSTETTER AND HEATHER HOCHSTETTER
 MAC MORTGAGE CORPORATION, ITS SUCCESSORS AND OR ASSIGNS
 TOWNSHIP OF MARTIN COUNTY



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

THIS FORM MUST BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION

SWIMMING POOL AND SPA SUBCONTRACTORS LIST

Applicant's Name HORIZON POOLS Permit # _____
 Mailing Address 5423 STATELY OAKS City FT Pierce State FL Zip 34981

Please provide a subcontractors list for verification. Any changes to this list must be provided prior to final inspection. Using unlicensed contractors or subcontractors may prevent you from being eligible for inspections. For further information, please contact the Town of Sewall's Point Building Department at 772-287-2455.

Please include all Competency Card or State Certification numbers. Do not use occupational license numbers.

<u>CONTRACTOR/TRADE</u>	<u>COMPANY NAME</u>	<u>LICENSE #</u>
CONCRETE POOL DECK	HORIZON POOLS	RP0067256
DECK FINISH	HORIZON POOLS	RP0067256
MASTER ELECTRICIAN	DORGAN Electric	EC13002303
POOL GUNITE	PRESTIGE GUNITE	CPC056953
INTERIOR POOL FINISH	HORIZON POOLS	RP0067256
POOL STEEL	HORIZON POOLS	RP0067256
BARRIER/ALARM	HORIZON POOLS	RP0067256

I certify that the above information is accurate and that all work will be performed by eligible competency card holders or State Certified contractors.

I understand that a complete notarized subcontractors list is required prior to final inspection.

[Signature]
 Signature of applicant

Sworn to and subscribed before me this Sept 28 day of 2013 by

[Signature]
 Notary Public, State of Florida, County of Martin
 Personally Known Produced Identification

Type of ID Produced: _____



JOSANDRA A. LONDO
 NOTARY PUBLIC
 STATE OF FLORIDA
 Comm# EE172194
 Expires 3/9/2016



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: _____

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Andrew Hochstetter

CONSTRUCTION ADDRESS: 72 S. River Rd, Sewalls Pt, FL

PERMIT TYPE: RESIDENTIAL _____ COMMERCIAL

- _____ ELECTRIC
- PLUMBING
- _____ HVAC
- _____ IRRIGATION
- _____ FUEL GAS

TYPE OF SERVICE: NEW SERVICE _____ EXISTING SERVICE _____ OTHER

SCOPE OF WORK: Plumb Swimming Pool

VALUE OF CONSTRUCTION \$ 1,000.00

_____ LOW VOLTAGE
TYPE OF EQUIPMENT: _____ SECURITY _____ VACUUM _____ SOUND SYSTEM _____ LANDSCAPE _____ OTHER
SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

[Signature] _____ 5423 Stately Oaks, Ft Pierce FL
 SIGNATURE OF LICENSED CONTRACTOR ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: HORIZON Pools

TELEPHONE NO: 405-1130 PLEASE PRINT FAX NO: _____

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: RP0067256

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER
 OWNER'S FULL NAME AS STATED ON DEED: Andrew J. Hochstetter

PARCEL CONTROL #: 01-38-41-007-000-00210-1

SUBDIVISION: Lucindia LOT: 21 BLK: _____ PHASE: _____

SITE ADDRESS: 72 S. River Rd Sewalls Pt, FL

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

SUBCONTRACTORS LIST
RESIDENTIAL, ADDITIONS, COMMERCIAL

APPLICANT'S NAME HORIZON POOLS BLDG. PERMIT # _____

MAILING ADDRESS 5423 STATELY OAKS

PLEASE PROVIDE A PRELIMINARY SUBCONTRACTORS LIST FOR VERIFICATION. THIS LIST WILL BE RETURNED TO YOU WHEN THE BUILDING PERMIT IS ISSUED TO ENABLE YOU TO COMPLETE AND RETURN TO THE BUILDING DEPARTMENT. WE REQUIRE, PRIOR TO STARTING WORK, UPDATES, CHANGES AND ADDITIONS THROUGHOUT CONSTRUCTION. USING UNLICENSED CONTRACTORS OR SUBCONTRACTORS MAY PREVENT YOU FROM BEING ELIGIBLE FOR INSPECTIONS AND OR A CERTIFICATE OF OCCUPANCY. FOR INFORMATION CONTACT THE CONTRACTOR'S LICENSING OFFICE AT (772) 288-5482 OR (772) 288-5917. PLEASE INCLUDE ALL MUNICIPAL COMPETENCY CARD NUMBERS OR STATE CERTIFICATION NUMBERS. (NOT OCCUPATIONAL LICENSE NUMBERS)

	TYPE	COMPANY NAME	LICENSE NUMBER
CFO CFI	CONCRETE - FORM - FINISH	HORIZON POOLS	RP0067256
BM	BLOCK MASON		
CB	COLUMNS & BEAMS		
CA	CARPENTRY ROUGH		
GD	GARAGE DOOR		
DH DF	DRYWALL - HANG - FINISH		
IN	INSULATION		
LA	LATHING		
FI	FIREPLACE		
PAV	PAVERS		
AL	ALUMENUM		
LP	LP GAS		
PAV	PAINING		
PL	PLASTER & STUCCO	HORIZON POOLS	RP0067256
ST	STAIRS & RAILS		
RO	ROOFING		
TM	TILE & MARBLE		
WD	WINDOWS & DOORS		
PLU	* PLUMBING	HORIZON POOLS	RP0067256
AC	* HARV		
EL	ELECTRICAL	Dorgan Electric Inc.	EC13002303

GL



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

AL	* LOW VOLTAGE BURGLAR ALARM		
VS	VACUUM SOUND		
IR	* IRRIGATION		
SH	SHUTTERS		

* **REQUIRES SEPARATE VERIFICATION FORMS.**

I CERTIFY THAT THE INFORMATION STATED ON THE SUBCONTRACTORS' LIST IS ACCURATE AND THAT ALL WORK WILL BE PERFORMED BY MUNICIPAL OR STATE LICENSED CONTRACTORS. I UNDERSTAND THAT A COMPLETE NOTARIZED SUBCONTRACTORS LIST IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

SIGNATURE OF CONTRACTOR
 (OR OWNER BUILDER IF APPLICABLE)

STATE OF FLORIDA
 COUNTY OF St. Lucie

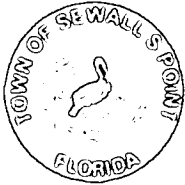
SWORN TO AND SUBSCRIBED before me this 28 day
 of Sept, 20 13

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____



JOSANDRA A. LONDO
 NOTARY PUBLIC
 STATE OF FLORIDA
 Comm# EE172494
 Expires 3/9/2016



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: _____

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Andrew Hochstetter

CONSTRUCTION ADDRESS: 72 S. River Rd, Sewalls Pt, FL

PERMIT TYPE: RESIDENTIAL _____ COMMERCIAL

- ELECTRIC
- PLUMBING
- HVAC
- IRRIGATION
- FUEL GAS

TYPE OF SERVICE: _____ NEW SERVICE _____ EXISTING SERVICE OTHER

SCOPE OF WORK: Wire Pool Pump & Pool Light

VALUE OF CONSTRUCTION \$ 400.⁰⁰/_{KA}

_____ LOW VOLTAGE	
TYPE OF EQUIPMENT: _____ SECURITY _____ VACUUM _____ SOUND SYSTEM	LANDSCAPE _____ OTHER
SCOPE OF WORK: _____	VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

Grand Doryan _____ 355 SE. Norfolk Blvd., Stuart Florida
 SIGNATURE OF LICENSED CONTRACTOR ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: Doryan Electric Inc.

TELEPHONE NO: 772-260-6235 FAX NO: 772-220-9102

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: EC 13002303

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: Andrew J. Hochstetter

PARCEL CONTROL #: 01-38-41-007-000-00210-1

SUBDIVISION: LucINDIA LOT: 21 BLK: _____ PHASE: _____

SITE ADDRESS: 72 S. River Rd Sewalls Pt, FL

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

R4101.17.1 Outdoor swimming pools. Outdoor swimming pools shall be provided with a barrier complying with R4101.17.1.1 through R4101.17.1.14.

R4101.17.1.1 The top of the barrier shall be at least 48 inches (1219 mm) above grade measured on the side of the barrier which faces away from the swimming pool. The maximum vertical clearance between grade and the bottom of the barrier shall be 2 inches (51 mm) measured on the side of the barrier which faces away from the swimming pool. Where the top of the pool structure is above grade the barrier may be at ground level or mounted on top of the pool structure. Where the barrier is mounted on top of the pool structure, the maximum vertical clearance between the top of the pool structure and the bottom of the barrier shall be 4 inches (102 mm).

R4101.17.1.2 The barrier may not have any gaps, openings, indentations, protrusions, or structural components that could allow a young child to crawl under, squeeze through, or climb over the barrier as herein described below. One end of a removable child barrier shall not be removable without the aid of tools. Openings in any barrier shall not allow passage of a 4-inch-diameter (102 mm) sphere.

R4101.17.1.3 Solid barriers which do not have openings shall not contain indentations or protrusions except for normal construction tolerances and tooled masonry joints.

R4101.17.1.4 Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is less than 45 inches (1143 mm), the horizontal members shall be located on the swimming pool side of the fence. Spacing between vertical members shall not exceed 13/4 inches (44 mm) in width. Where there are decorative cutouts within vertical members, spacing within the cutouts shall not exceed 13/4 inches (44 mm) in width.

R4101.17.1.5 Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is 45 inches (1143 mm) or more, spacing between vertical members shall not exceed 4 inches (102 mm). Where there are decorative cutouts within vertical members, spacing within the cutouts shall not exceed 13/4 inches (44 mm) in width.

R4101.17.1.6 Maximum mesh size for chain link fences shall be a 2 1/4 inch square (57 mm) unless the fence is provided with slats fastened at the top or bottom which reduce the openings to no more than 13/4 inches (44 mm).

R4101.17.1.7 Where the barrier is composed of diagonal members, the maximum opening formed by the diagonal members shall be no more than 13/4 inches (44 mm).

R4101.17.1.8 Access gates, when provided, shall be self-closing and shall comply with the requirements of Sections R4101.17.1.1 through R4101.17.1.7 and shall be equipped with a self-latching locking device located on the pool side of the gate. Where the device release is located no less than 54 inches (1372 mm) from the bottom of the gate, the device release mechanism may be located on either side of the gate and so placed that it cannot be reached by a young child over the top or through any opening or gap from the outside. Gates that provide access to the swimming pool must open outward away from the pool. The gates and barrier shall have no opening greater than 1/2 inch (12.7 mm) within 18 inches (457 mm) of the release mechanism.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

PERMIT # _____

**RESIDENTIAL SWIMMING POOLS, SPA AND HOT TUB SAFETY ACT
AFFIDAVIT OF REQUIREMENT COMPLIANCE**

I (We) acknowledge that a new swimming pool, spa or hot tub has been constructed or installed at (Print street address) 72 S. River Drive, and hereby affirm that one of the following methods has been used to meet the requirements of Chapter 515, Florida Statutes and 2010 Florida Building Code. Please check your choice of compliance.

Residential swimming pool safety feature options:

In order to pass final inspection and receive a certificate of completion, a residential swimming pool must meet the following requirements relating to pool safety features:

PLEASE NOTE THAT IF THE ALARM OPTION IS SELECTED, THIS AFFIDAVIT MUST BE ACCOMPANIED BY A LETTER OF CERTIFICATION FROM A FLORIDA LICENSED ALARM CONTRACTOR, ARCHITECT, OR ENGINEER STATING FULL COMPLIANCE WITH 2010 FBC R4101.17.1.9. PLEASE INDICATE BY INITIALING THE FOLLOWING:

- (a) The pool/spa must be equipped with an approved safety pool cover (4101.17 exceptions, no other barrier feature required).
- (b) The pool/spa must be isolated from access by an enclosure that meets the pool barrier requirements of section (R4101.17.1 thru R4101.17.3;)
- (c) Where a wall of a dwelling serves as part of the barrier one (1) of the following shall apply: (R4101.17.1.9)
 - 1. All doors and windows providing direct access from the home to the pool shall be equipped with an exit alarm which produces an audible continuous warning when the door and its screen are opened. The alarm shall sound immediately after the door is opened and be capable of being heard **throughout the house during normal household activities**. The alarm shall be equipped with a manual means to temporarily deactivate the alarm for a single opening. Such deactivation shall last no more than 15seconds. The deactivation switch shall be located at least 54 inches above the threshold of the door.

Exceptions:

- a. Screened or protected windows having a bottom sill height of 48 inches or more measured from the interior finished floor at the pool access level.
 - b. Windows facing the pool on floor above the first story.
 - c. Screened or protected pass-through kitchen windows 42 inches or higher with a counter beneath. (R4101.17.1.9 (1))
2. All doors providing direct access from the home to the pool must be equipped with a self-closing, self-latching device with positive mechanical latching/locking installed a minimum of 54 inches above the threshold, which is approved by the authority having jurisdiction. (R4101.17.1.9 (2))



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

AFFIDAVIT OF REQUIREMENT COMPLIANCE

I understand that not having one of the above installed at the time of final inspection, or when the pool is completed for contract purposes, will constitute a violation of Chapter 515, F.S. and will be considered as committing a misdemeanor of the second degree, punishable as established in the Florida Statute.

Wade M. Clarke
 CONTRACTOR'S SIGNATURE & DATE

Cheryl Hochstetter
 OWNER'S SIGNATURE & DATE

NOTARY AS TO CONTRACTOR:

STATE OF FLA
 COUNTY OF St Lucie

ON THIS 28 DAY OF Sept, 2013

BEFORE ME PERSONALLY APPEARED:

Wade M. Clarke

TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FORGOING INSTRUMENT AND ACKNOWLEDGED THAT HE / SHE EXECUTED THE SAME AS HIS / HER FREE ACT AND DEED.

SEAL (SIGNED) *Josandra A. Londo*
 JOSANDRA A. LONDO
 NOTARY PUBLIC
 STATE OF FLORIDA
 Comm# EE172194
 Expires 3/9/2016

NOTARY AS TO OWNER:

STATE OF FLA
 COUNTY OF St Lucie

ON THIS 28 DAY OF Sept 2013

BEFORE ME PERSONALLY APPEARED:

Andrew Hochstetter

TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FORGOING INSTRUMENT AND ACKNOWLEDGED THAT HE / SHE EXECUTED THE SAME AS HIS / HER FREE ACT AND DEED.

SEAL (SIGNED) *Josandra A. Londo*
 JOSANDRA A. LONDO
 NOTARY PUBLIC
 STATE OF FLORIDA
 Comm# EE172194
 Expires 3/9/2016

THIS FORM MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO SCHEDULING THE FINAL INSPECTION.

Life Saver Pool Fence Systems, Inc.

Removable Pool Safety Mesh Barrier Fencing Technical Specifications

Life Saver Pool Fence Systems, Inc. has manufactured removable pool safety fencing for over 13 years and has continuously evolved their methods and materials, often-time leading industry wide changes. A Manufacturer's Limited Lifetime Warranty guarantees every system for as long as they own it. Life Saver Pool Fence meets and exceeds all code requirements throughout Florida. Below you will find technical specifications on the components used in assembling the Life Saver Pool Fence.

Textilene Mesh

Textilene mesh has been used as the highest quality material to the pool fence industry for over 15 years. Laboratory testing shows its strengths to surpass all code specifications and applicable ASTM standards.

Item Number: T70 DFS

Product Description:

Fabric using .025" dia. vinyl-coated 1000 den. polyester core yarns in the warp and fill.

Attribute	ASTM	Warp	Fill	Typical
Construction, end/inch	D3775-96	13.0 ± .5	11.0 ± .5	
Weight, oz/yd ²	D3776-96	--	--	9.9
Tensile Strength (grab), lbf	D5034-95	221.4	213.3	
Tensile Strength (strip), lbf	D5035-95	194.9	153.8	
Tear Strength, (Trapezodial), lbf	D1117-97	65.4	54.0	
Ball Burst, lbf	D3787-89		335	
Bursting Strength, psi	D3786-89		433	
Elongation, %	D5035-95	24.3	21.6	
Abrasion Resistance (CS10/500 cycles/ with no added weight)	D3884-92		No exposure of core yarn	
Flammability Rating			CS-191-53 & CA 117E	
Weatherability, 1200 hours	G53-96		No discoloration	
Mildew Resistance	G21-96		No growth	

** The above results are a representative of real data from single test samples.
Presently no specification is incorporated.

Warp refers to the horizontal threading while fill refers to the vertical threading. As shown, all testing confirms Textilene mesh meets and, on all strength tests, amply exceeds the set code requirements.

LIFE SAVER POOL FENCE SYSTEM SPECIFICATIONS

General Description:

Pool fence designed specifically to provide a barrier around residential swimming pools for toddlers and young children. Life Saver Pool Fence Systems ® does not have any gaps, openings, indentations, protrusions, or structural components that could allow a young child to crawl under, squeeze through, or climb over the barrier. Our exclusive Perma Locking System will not allow the barrier to be removed without the aid of tools. Life Saver Pool fence is manufactured and installed in compliance with the 2004 Florida Building Code R4101.17.1.1 through R4101.17.1.14 and the Florida Statute 515.29.

System:

Tension based system utilizing a series of 15 foot sections of fence with inserts for mounting in non-conducting polypropylene sleeves core drilled 4 inches deep into a concrete deck, paver deck, or other substantial surface, connected in series at the top with our exclusive 2 1/2 inch Perma Locking System.

Construction:

Mesh: Polyester mesh fabric with a mildew resistant polyvinyl coating to provide for years of use in direct sunlight.

Continuous basket weave with a tensile strength rating of 270 lbs. Per inch making it impossible to rip under normal use.

Color selection is black, white, green, brown. Available in 48 or 60 in. heights.

Bordered on all four sides by a reinforced vinyl material with a rating of 387 lbs. To prevent sagging and provide the necessary tension to insure the fence's integrity for its intended purpose both at the top and bottom.

The mesh is pre-mounted on aluminum solid or quad-x poles and secured by aluminum cove molding strips.

Poles: Poles are constructed of marine grade aluminum, black, white, green, brown or tan powder coated or silver finish.

Pole spacing is optional at either 30 or 36 inches.

Stainless steel screws (14) are utilized for securely attaching the aluminum cove molding to the poles and mesh.

Surface of the poles are finished for handling and to prevent injuries from physical contact.

The poles are capped to provide a neat finished appearance.

Reinforced 1" Aluminum Pole

Life Saver Pool Fence uses Reinforced 6063T6 1" Aluminum Poles spaced no more than 36" apart. Mesh is secured to the pole via an aluminum cove molding using roundhead screws spaced no greater than 6".

The temper rating of T6 scores the highest tensile strength (30 ksi) within the 6063 alloy classification.

On July 14th, 2003, Life Saver Pool Fence Systems, Inc. contracted Nutting Engineers of Florida, Inc., an ASTM standards testing lab established in 1967, to test the pole strength as per the Florida Building Code section R4101.17.1.1 through R4101.17.1.14.

At the time of testing, a lateral force was applied to a single pole at a measurement of 36" from the surface of the deck. In the test, the resistance to lateral pressure was found to exceed 70 lbs. of pressure before failure on any single pole in a free standing installation, thus exceeding the 52 lbs. of horizontal force prescribed by the Florida Building Code.

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 10-24-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10614	Whalen 9 Knowles Rd Rite Sence	Fence Final 10/24	Pass	Terry - 340-077 CLOSE INSPECTOR <i>GF</i>
10588	24 Castle Williams Res. Driftwood Homes	Dryin-Roof Metal SOFFIT ELECTRIC 10/24	Pass	Monis 215-0074 INSPECTOR <i>GF</i>
10638	Alison Nourin 111 S. Sewalls	Re check Deck boards 10/23		425-418 3542 INSPECTOR
10621	Wachstetter 12 S. Bern - Horizon -	Existing Pool Pool BOND 10/24	Pass	Wade 801-8510 INSPECTOR <i>GF</i>
10628	COLES 22 PALM NISAIR	A/C FINIR	Pass	CLOSE INSPECTOR <i>GF</i>
	WILCOX	TREES	OK	INSPECTOR
1:30	5 M. RIMM	POOL PNE CON	OK	INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **11-5-13** Page **1** of **1**

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10001	Gill 34 Rio Vista Soft Custom Pools	Pool Piping Equipotential bond	Pass	INSPECTOR <i>[Signature]</i>
10577	Cantwell 34 Castle Hill Way All Am Air	Trial AC (enclosed)	Pass - close pending check from owner	INSPECTOR <i>[Signature]</i>
10102	Hoehehatter 72 River Rd Hoyson Pools	Piping Pool Piping	Pass	INSPECTOR <i>[Signature]</i>
10656 11 AM PM	Hoffmann 20 Palm Rd Breake Healden	Trial AC	Pass	Close INSPECTOR
10415	Smith 11 Palmetto Ark Homes	Trial for CO	Pass	Process C.O. INSPECTOR <i>[Signature]</i>
Light	Hilcrest Terr & Hilcrest Ct	light is out	FPL	SOLE INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 12-9-13 Page 2 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10678	Nichols 17 Palmetto Dr Home Depot	window attachment	FAIL	NOT READY INSPECTOR <i>JA</i>
	vacant lot west of 102 Hillcrest Dr	needs clearing in rear	OK	no violation INSPECTOR
10621	Hochstetter 72 S. RIVER RD Houzon Pools	Exam. Potential Band & Deck 616 APC INCOME	OK	INSPECTOR <i>JA</i>
1-130	Gill 34 RIO VISTA	WALK DANGER	OK	INSPECTOR
10674	Moran 2 Palm Rd Brownie	tempower	PASS	contact FPL INSPECTOR <i>JA</i>
				INSPECTOR
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **1-15-14** Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10621	FOC H STEPPER 72 S. RIVER RD HORIZON	ELEC FINAL POOL	PASS	INSPECTOR <i>[Signature]</i>
10720	Walker 21 W. HIGH PT Wm Day Inc	SLAB	PASS	INSPECTOR
10731	Williams 24 CASTLE HILL S. FLORIDA CUSTOM	POOL SPOOL POOL SPOOL BOND M/D	PASS	INSPECTOR <i>[Signature]</i>
10688	Steyskal 108 S Sewalls Duffwood	grade beam slab	PASS	INSPECTOR <i>[Signature]</i>
LATE AM				
10689	Birdsall 49 N. RIVER T Coast Panels	FINAL DWAY	PASS	CLOSE INSPECTOR
		SERVICE CHANGE	CANCEL	INSPECTOR
pm	10 E. HIGH PT			
10601	Gill 34 RIO VISA S.F. CUSTOM POOLS	BARRIER POOL	PASS	INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 2/19 - 14 Page of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10634	Richard Gaudes 25 S River Rd. Team Parks - Dock Contractor -	Final/Dock	FAIL NOT READY FOR RE-INSPECTION	Chris Roden 260-9271 MONDAY 2/24
10710	Darrow 7 Oak Hill Way FLL	Temp Pole	Passed on 2/18/14	Sylvia 772-340-2546 INSPECTOR
10650	MARTIN LO PROPANE 1225 SEWALLS PT	GAS FINAL	PASS	CLOSE INSPECTOR <i>[Signature]</i>
10621	HICKSTEER 72 S. River Rd HAMILTON POOLS	POOL FINAL	PASS	CLOSE INSPECTOR <i>[Signature]</i>
	9 LANDANA LA	FENCE FINAL	PASS	CLOSE INSPECTOR
	GARY RIVISTA	COURTSON CORR RG: ROOF	OK	INSPECTOR
				INSPECTOR

10677

DRIVEWAY



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10677	DATE ISSUED:	NOVEMBER 15, 2013
SCOPE OF WORK:	REPLACE DRIVEWAY		
CONTRACTOR:	QUADROS INC		
PARCEL CONTROL NUMBER:	013841007-000-002101	SUBDIVISION	LUCINDIA - L 21
CONSTRUCTION ADDRESS:	72 S RIVER RD		
OWNER NAME:	HOCHSTETTER		
QUALIFIER:	JACK MECCA	CONTACT PHONE NUMBER:	335-4660

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

Date: 11-13-13

BUILDING PERMIT APPLICATION

Permit Number: 10677

OWNER/LESSEE NAME: Andrew Hochstetler Phone (Day) 260-1678 (Fax)
Job Site Address: 72 S. Rivin Drive City: Sewall's Point State: FL Zip:
Legal Description Parcel Control Number: 013841007-000-002101
Fee Simple Holder Name: Address:
City: State: Zip: Telephone:

*SCOPE OF WORK (PLEASE BE SPECIFIC):

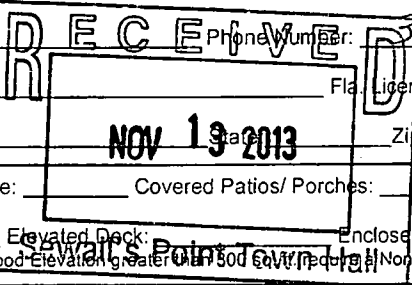
Repair wood porch facade Replace Driveway

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES NO
Has a Zoning Variance ever been granted on this property?
YES (YEAR) NO
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$2350.00
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Quadros Inc Phone: 335-4660 Fax:
Qualifiers name: Jack Mecca Street: 20225E Allamanda City: PSL State: FL Zip: 34952
State License Number: CGC 038784 OR: Municipality: License Number:
Cell 370-6020

LOCAL CONTACT: Jack Mecca Phone Number: 370-6020
DESIGN PROFESSIONAL:
Street: City: State: Zip: Phone Number:



AREAS SQUARE FOOTAGE: Living: Garage: Covered Patios/ Porches: Enclosed Storage:
Carport: Total under Roof Elevated Deck: Enclosed area below BFE:
* Enclosed non-habitable areas below the Base Flood Elevation greater than 500 feet require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

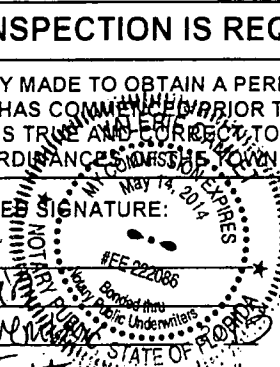
WARNINGS TO OWNERS AND CONTRACTORS:

- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

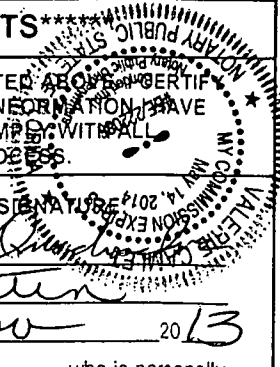
*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE AND CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE:
x Heather Hochstetler
State of Florida, County of: Martin
On This the 13 day of November 2013
by Heather L Hochstetler who is personally known to me or produced PDL# H233-332-68-673-0
As identification: Valerie Carmel
Notary Public
My Commission Expires:



CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:
x Jack Mecca
State of Florida, County of: Martin
On This the 13 day of Nov 2013
by Jack A Mecca who is personally known to me or produced PDL# M200-421-50-148-0
As identification: Valerie Carmel
Notary Public
My Commission Expires:



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	10677 10677	10677
ADDRESS	72 S RIVER RD - HOCHSTETTER	
DATE 11/15/13	SCOPE OF WORK	DRIVEWAY REPLACEMENT

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned space: (@ \$121.75 per sq ft)			
Total sq ft			
Total square feet			
Total Construction			
Building fee			
Building fee			
Total number of units			
Dept. of Construction			
DBPR License			
Road impact assessment			
Martin County			
TOTAL BUILDING PERMIT FEE:		\$	211.00

HEATHER L HOCHSTETTER
 ANDREW J HOCHSTETTER
 72 S RIVER RD (772) 370-2054
 STUART, FL 34996

November 13, 2013
 Date

2879
 63-27/631 FL
 23289

Pay to the Order of City of Sewall's Point \$ 211.00
Two Hundred Eleven Dollars and 00/100 Dollars

Bank of America

Heather L Hochstetter

ACH R/T 063100277

For ~~██~~

ISLAND BREEZES®

ACCESSORY PERMIT	Declared Value:	\$	2350
Total number of inspections @ \$100.00 each	2		200
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	3
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	3
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5
TOTAL ACCESSORY PERMIT FEE:		\$	211

Heather L Hochstetter
 CK# 2879

**Martin County, Florida
Laurel Kelly, C.F.A**

generated on 11/14/2013 10:54:33 AM EST

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
01-38-41-007-000-00210-1	17706	72 S RIVER RD, SEWALL'S POINT	\$305,490	11/9/2013

Owner Information

Owner(Current)	HOCHSTETTER ANDREW J HOCHSTETTER HEATHER L
Owner/Mail Address	72 S RIVER RD STUART FL 34996
Sale Date	10/7/1999
Document Book/Page	1429 0166
Document No.	
Sale Price	262000

Location/Description

Account #	17706	Map Page No.	SP-04
Tax District	2200	Legal Description	LUCINDIA LOT 21
Parcel Address	72 S RIVER RD, SEWALL'S POINT		
Acres	.5410		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120350 LUCINDIA

Assessment Information

Market Land Value	\$156,200
Market Improvement Value	\$149,290
Market Total Value	\$305,490



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
9/9/2013

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Tequesta Agency, Inc. dba Tequesta Insurance Advisors 218 S US Highway One, Ste 300 Tequesta FL 33469 INSURED Quadros, Inc. 2022 SE Allamanda Drive Port St Lucie FL 34952	CONTACT NAME: Gloria Arslan PHONE (A/C No. Exl): (561) 746-4546 FAX (A/C No.): (561) 746-9599 E-MAIL ADDRESS: garslan@tequestainsurance.com <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 80%;">INSURER(S) AFFORDING COVERAGE</th> <th style="width: 20%;">NAIC #</th> </tr> <tr> <td>INSURER A: Southern Owners Insurance Co</td> <td>10190</td> </tr> <tr> <td>INSURER B:</td> <td></td> </tr> <tr> <td>INSURER C:</td> <td></td> </tr> <tr> <td>INSURER D:</td> <td></td> </tr> <tr> <td>INSURER E:</td> <td></td> </tr> <tr> <td>INSURER F:</td> <td></td> </tr> </table>	INSURER(S) AFFORDING COVERAGE	NAIC #	INSURER A: Southern Owners Insurance Co	10190	INSURER B:		INSURER C:		INSURER D:		INSURER E:		INSURER F:	
INSURER(S) AFFORDING COVERAGE	NAIC #														
INSURER A: Southern Owners Insurance Co	10190														
INSURER B:															
INSURER C:															
INSURER D:															
INSURER E:															
INSURER F:															

COVERAGES **CERTIFICATE NUMBER:** 13/14 GL Master **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDITIONAL INSURER	SUBROGATION	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY			72050120	2/23/2013	2/23/2014	EACH OCCURRENCE \$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY						DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 50,000
	<input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR						MED EXP (Any one person) \$ 10,000
							PERSONAL & ADV INJURY \$ 1,000,000
							GENERAL AGGREGATE \$ 2,000,000
							PRODUCTS - COMP/OP AGG \$ 2,000,000
							\$
	GEN'L AGGREGATE LIMIT APPLIES PER						
	<input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO.JECT <input type="checkbox"/> LOC						
	AUTOMOBILE LIABILITY						COMBINED SINGLE LIMT (Ea accident) \$
	<input type="checkbox"/> ANY AUTO						BODILY INJURY (Per person) \$
	<input type="checkbox"/> ALL OWNED AUTOS						BODILY INJURY (Per accident) \$
	<input type="checkbox"/> HIRED AUTOS						PROPERTY DAMAGE (Per accident) \$
							\$
							\$
	UMBRELLA LIAB						EACH OCCURRENCE \$
	<input type="checkbox"/> EXCESS LIAB						AGGREGATE \$
							\$
							\$
	DED						
	RETENTION \$						
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY						WC STATUTORY LIMITS OTH-ER
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)						E.L. EACH ACCIDENT \$
	If yes, describe under DESCRIPTION OF OPERATIONS below						E.L. DISEASE - EA EMPLOYEE \$
							E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

CERTIFICATE HOLDER (772) 220-4765 Town of Sewall's Point 1 S. Sewall's Point Road Sewall's Point, FL 34996	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE Mark Kasten/GLORIA <i>[Signature]</i>
---	---

100%



JEFF AYHATER
CHIEF FINANCIAL OFFICER

STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION

**** CERTIFICATE OF ELECTION TO BE EXEMPT FROM FLORIDA WORKERS' COMPENSATION LAW ****

CONSTRUCTION INDUSTRY EXEMPTION

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation law.

EFFECTIVE DATE: 5/25/2013

EXPIRATION DATE: 5/25/2015

PERSON: MECCA

JACK

A

FEIN: 591780661

BUSINESS NAME AND ADDRESS:

QUADROS INC

1881 SE PORT ST. LUCIE BLVD

PORT SAINT LUCIE FL 34952

SCOPE OF BUSINESS OR TRADE:

LICENSED GENERAL
CONTRACTOR

Notice to Employer: 440.05(14), F.S., an employer who elects exemption from this chapter by filing a certificate of election under this section may not employ workers or compensation under this chapter. Pursuant to Chapter 440.05(12), F.S., Certificate election to be exempt... 6/1/13

DFW-2-DWG-2-N CERTIFICATE OF ELECTION TO BE EXEMPT REVISED 07-13

QUESTIONS? (800)410-1009



STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD
 1940 NORTH MONROE STREET
 TALLAHASSEE FL 32399-0783

(850) 487-1395

MECCA, JACK A
 QUADROS INC
 2022 SE ALLAMANDA DR
 PT ST LUCIE FL 34952-5804

Congratulations! With this license you become one of the nearly one million Floridians licensed by the Department of Business and Professional Regulation. Our professionals and businesses range from architects to yacht brokers, from boxers to barbeque restaurants, and they keep Florida's economy strong.

Every day we work to improve the way we do business in order to serve you better. For information about our services, please log onto www.myfloridalicense.com. There you can find more information about our divisions and the regulations that impact you, subscribe to department newsletters and learn more about the Department's initiatives.

Our mission at the Department is: License Efficiently, Regulate Fairly. We constantly strive to serve you better so that you can serve your customers. Thank you for doing business in Florida, and congratulations on your new license!

STATE OF FLORIDA AC# 618080
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
 CGC038784 07/02/12 120003217
 CERTIFIED GENERAL CONTRACTOR
 MECCA, JACK A
 QUADROS INC
 IS CERTIFIED under the provisions of Ch. 489 FS
 Expiration date: AUG 31, 2014 L12070200993

DETACH HERE

THIS DOCUMENT HAS A COLORED BACKGROUND • MICROPRINTING • FIREMARK™ PATENTED PAPER

AC# 6180807

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L12070200993

DATE	BATCH NUMBER	LICENSE NBR
07/02/2012	120003217	CGC038784

The GENERAL CONTRACTOR
 Named below IS CERTIFIED
 Under the provisions of Chapter 489 FS
 Expiration date: AUG 31, 2014

MECCA, JACK A
 QUADROS INC
 2022 SE ALLAMANDA DR
 PT ST LUCIE

FL 34952-5804

RICK SCOTT
GOVERNOR

KEN LAWSON
SECRETARY

DISPLAY AS REQUIRED BY LAW

EXPIRES SEPTEMBER 30, 2014

FACILITIES OR MACHINES / ROOMS SEATS EMPLOYEES 10

TYPE OF BUSINESS 1500 BUILDING CONTRACTOR (BUILDING)

BUSINESS/ Mecca Jack A

DBA NAME Quadros Inc
 MAILING Mecca Jack A
 ADDRESS 2022 SE Allamanda Dr
 PSL, FL 34952



RENEWAL ORIGINAL TAX \$12.35
 PENALTY
 COLLECTION COST
 TOTAL \$12.35

BUSINESS LOCATION 2022 SE Allamanda Dr
 PSL, FL 34952

City of Pt St Lucie

CGC038784

Paid 08/13/2013 12.35

0128-20130813-005940

Law requires this Local Business Tax Receipt to be displayed conspicuously at the place of business in such a manner that it can be open to the view of the public and subject to inspection by all duly authorized officers of the county. Upon failure to do so, the Local Business Taxpayer shall be subject to the payment of another Local Business Tax for the same business, profession, or occupation.

Pursuant to State Law, all Local Business Tax Receipts shall be sold by the Tax Collector beginning July 1st of each year and shall expire on September 30th of the succeeding year. Those Local Business Tax Receipts renewed beginning October 1st shall be delinquent and subject to a delinquency penalty of 10% for the month of October, plus an additional 5% penalty for each month of delinquency thereafter until paid; provided that the total delinquency penalty shall not exceed 25% of the Local Business Tax for the delinquent establishment.

In addition to the penalty, the Tax Collector shall be entitled to a collection cost fee of from \$1.00 to \$5.00, based on the amount of the Local Business Tax, which shall be collected from delinquent taxpayers after September 30th, of the business year.

This receipt is a Local Business Tax only. It does not permit the Local Business Taxpayer to violate any existing regulatory or zoning laws of the state, county or cities. It also does not exempt the Local Business Taxpayer from any other taxes, licenses or permits that may be required by law.

Local Business Taxes are subject to change according to law.

Mecca Jack A
 2022 SE Allamanda Dr
 PSL, FL 34952

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 12-3-13 Page 2 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
1007	H. K. Kettler 22 S. River Rd Quadras	Three Four driveway	Fail Need Report	12-4-13 PERMITE TREAT @ GARAGE

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS

PN 10677



Pre-Construction Termite Treatment



7670 Okeechobee Blvd., West Palm Beach, FL. 33411
Phone: 1-800-285-7378 Fax: 561-684-0122

Property Information	Builder/Contractor
Treatment Date _____ Time _____	_____
Lot _____ Block _____	Name of Builder _____
Subdivision Name _____	Shell Contractor _____
<u>72 S River Rd</u> Street Address (If known)	Construction Type
<u>Stuart FL 34996</u> City State Zip	<input type="checkbox"/> Monolithic <input type="checkbox"/> Floating/Stemwall <input type="checkbox"/> Patio
Owner's Name (If known) _____	<input type="checkbox"/> Entry <input checked="" type="checkbox"/> Driveway <input type="checkbox"/> Other: _____

Product/Treatment Information

Treatment Type: Underslab Patio/Driveway/Entry Final
 Wood Treatment Bait System Other

Product: Disodium Octaborate Cypermethrin
 Imidacloprid Bifenthrin
 Permethrin Other: _____

Concentration .05 Mixed Product Applied 15 gal
Square Feet Treated _____ Linear Feet Treated 37

If this box is checked, then Final Perimeter treatment has been completed and the following statement is applicable:

Certificate of Compliance: This building has received a complete treatment for the prevention of subterranean termites. This treatment is in accordance with the laws and rules established by the Florida Department of Agriculture and Consumer Services.

James Graham
Applicator's Name (please print)

[Signature]
Applicator's Signature

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **12-3-13** Page **2** of **2**

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10077	Hocketter 125 River Rd Quadra	Driveway	Fail Need report	PERMITE TREAT @ GARAGE

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS

INSPECTOR *[Signature]*

12/3/13

INSPECTOR

PAMELA M. BUSHA
Mayor

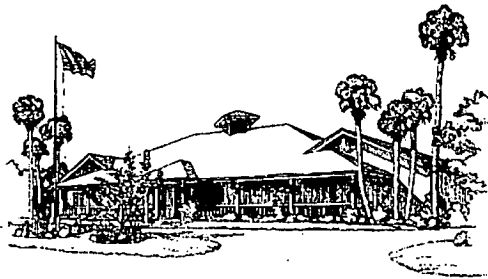
PAUL LUGER
Vice Mayor

VINCENT N. BARILE
Commissioner

THOMAS BAUSCH
Commissioner

JACQUI THURLOW-LIPPISCH
Commissioner

TOWN OF SEWALL'S POINT



PAMELA MAC'KIE WALKER
Town Manager

ANN-MARIE S. BASLER
Town Clerk

TINA CIECHANOWSKI
Chief of Police

JOHN ADAMS
Building & Facilities Director

JOSE TORRES
Maintenance

August 7, 2014

NOTICE OF EXPIRED PERMIT

This correspondence is intended as a follow-up to a building permit and specific improvements associated with 72 S. River Road more specifically permit # 10677 issued on November 15, 2013 for replacement of driveway.

Town records indicate that at least 180 days have passed without a successful recorded inspection. Your permit is now expired without benefit of a required final inspection.

Town of Sewall's Point Code of Ordinances section 50-94 states: Failure to obtain an approved inspection within 180 days of the previous approved inspection shall constitute suspension or abandonment. (2) If a new permit is not obtained within 180 days from the date the initial permit became null and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and the work required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date of issuance of the new permit.

In order to avoid further administrative action please arrange to schedule a final inspection of this permit by the Town of Sewall's Point Building Department no later than ten days from date of this letter. Your permit will need to be renewed and is subject to any applicable renewal or inspection fees.

Failure to renew your permit and receive a final inspection will result in your permit becoming null and void, and the Town will report this to the property owner and the appropriate agencies as required. This will also constitute justification for denying any future permits requested by you, or your company.

Please contact me with any questions.

With Best Regards,

John R. Adams, C.B.O.
Building Official



One South Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (772) 287-2455 • Fax (772) 220-4765 • E-Mail: pwalker@sewallspoint.org
Police Department (772) 781-3378 • Fax (772) 286-7669 • E-Mail: sppd@sewallspoint.org

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 8/14 - 14 Page 1 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10566	Winslow	Rough-in		
9AM	10 S SPR Green	Electrical	CANCEL	INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10827	De Rosa	Partial		
	16 N SPR	Strapping	PASS	
		Post Cap Inspection		INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10940	Escobar	Final A/c		
11AM	22 E High PT Krauss + Crane	Mechanical	PASS	CLOSE INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
8955	Dayton	Final		
	14 NE Palm Ct	Siding	PASS	CLOSE
	Wesley Mac Mullen	(notice of expired permit)		INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
8924	Davis	Final		
9AM	11 Miramar Rd	windows/door	PASS	CLOSE
	Frank's X-Pert	(notice of expired permit)		INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10611	Hochstetter	Final		
	J.S. River	Driveway	PASS	CLOSE
	Jack Mecca	(notice of expired permit)		INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10934	Fabricy	Riding Column & Beam		
9:100 10934	6 Oakhill Way Seagate	Inspection.		INSPECTOR

TOWN OF SEWALL'S POINT, FLORIDA

Date 10-16-02 19____ TREE REMOVAL PERMIT No 1218

APPLIED FOR BY Hochstetter (Contractor or Owner)

Owner 72 S. River Rd 288-2232

Sub-division _____, Lot _____, Block _____

Kind of Trees 1 Palm

No. Of Trees: REMOVE 1

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 0

Signed, _____ Applicant Signed, [Signature] Town Clerk

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M.—NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

PROJECT DESCRIPTION _____

REMARKS _____

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Permit # _____

Date Issued: _____

This application shall include a written statement giving reasons for removal, relocation, or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner Hochstetter Address 725. River Rd. Phone 288-22-32

Contractor Sunshine LD. Address _____ Phone _____

Number of trees to be removed (list kinds of trees) 1 Palm

growing into' house (See Back page for drawing)
Number of trees to be relocated within 30 days (no fee) (list kinds of trees):

Number of trees to be replaced: _____ (list kinds of trees): _____

Permit Fee \$ 0

\$15.00

(No permit fee for trees which are relocated on property or lie within a utility easement and are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted _____ Plans approved as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00.

Signature of applicant _____ Plans approved as marked _____

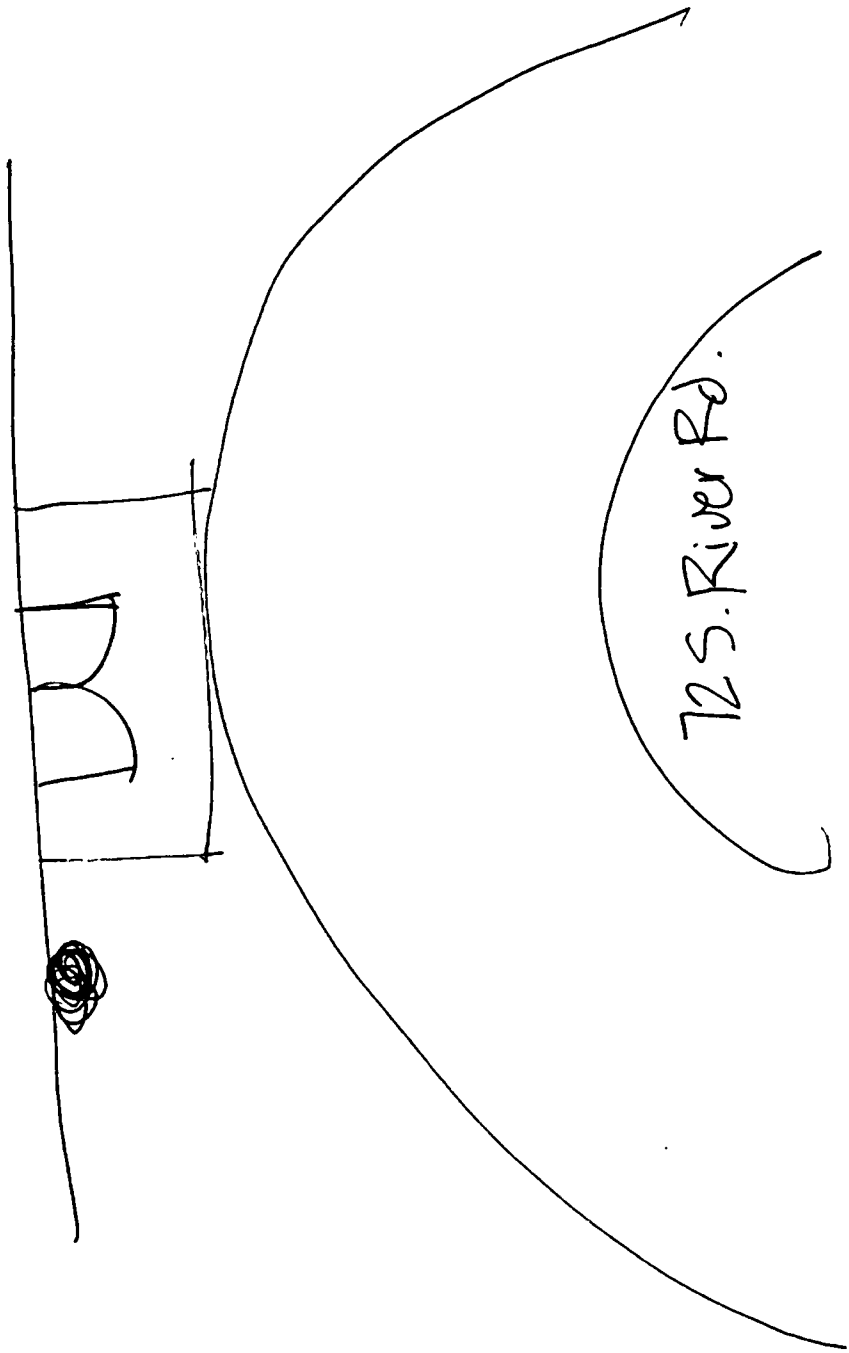
Approved by Building Inspector [Signature] Date submitted: 6/16/97

Completed _____
Date _____ Checked by _____

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT A FEE. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA

See attached Tree Species List



TOWN OF SEWALL'S POINT, FLORIDA

Date OCTOBER 29th 2003 TREE REMOVAL PERMIT No 2130

APPLIED FOR BY HOCHSTETTER (Contractor or Owner)

Owner 72 S. RIVER ROAD

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 1 TROPICAL ALMOND

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE 2 WITHIN 30 DAYS 1 TROP. ALMOND, 1 SEGO PALM

REMARKS _____

_____ FEE \$ 0

Signed, _____ Applicant Signed Gene Simmons (GAS) Town Clerk Building Official

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M.—NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Large empty rectangular box for drawing or site plan]

PROJECT DESCRIPTION _____

[Empty lines for project description]

REMARKS _____

[Empty lines for remarks]

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than one inch.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner HOCHSTETTER Address 72 S. RIVER RD. Phone 788-2232

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 1 Type: Tropical Almond

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

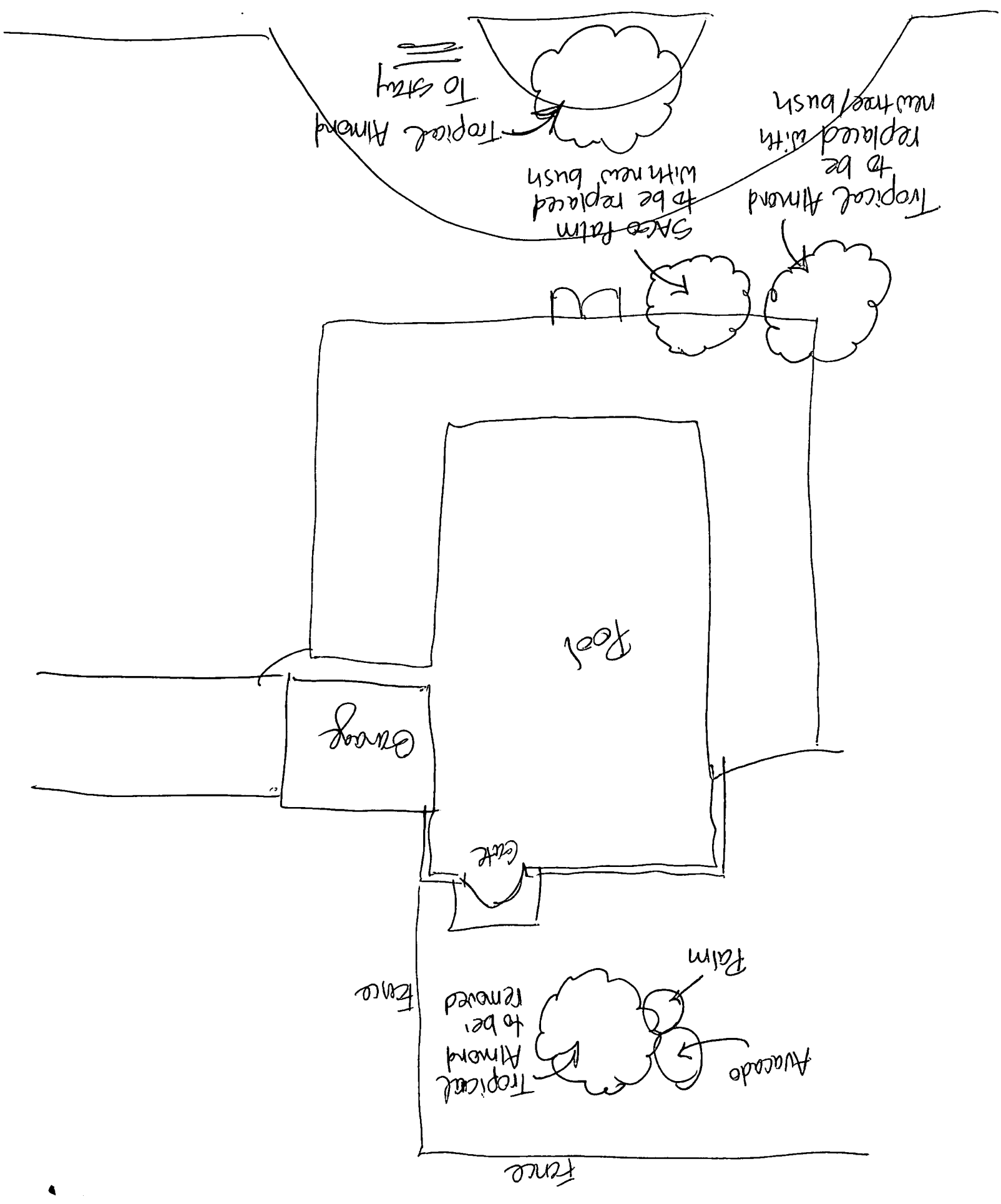
No. of Trees: REPLACE 2 WITHIN 30 DAYS Type: 1 Tropical Almond, 1 Sago Palm

Written statement giving reasons: Sago Palm - Dying. 2 Tropical Almonds: Front-Drops nuts on roof over baby's room/leaves: Back - Killing grass - no sun

Signature of Applicant Heather J. Hochstetter Date 10-27-03

Approved by Building Inspector: [Signature] Date 10/29/03 Fee: 0

Plans approved as submitted _____ Plans approved as revised/marked: _____



TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 10/29, 2008 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6410	HALL	DECK	Passal	
(3)	4 N VIA LUCINDIA TWIN POOLS			INSPECTOR: <i>[Signature]</i>
6438	BONING	FINAL ROOF	Passal	* Gate ?
(2)	5 ST LUCIE COURT STUART ROOFING			4/16/8 INSPECTOR: <i>[Signature]</i>
TR	HOCHSTETTER	TREE	Passal	
(4)	72 S. RIVER RD			INSPECTOR: <i>[Signature]</i>
6330	BUSSEY	ELEC. MECH	Passal/Passal	
(8)	1 PALMETTO WORRELL	PLUMBING WINDOWS	Passal	late am pass → ridey INSPECTOR: <i>[Signature]</i>
TR	BEAN	TREE	Passal	
(5)	112 S. SEWALLS PT			INSPECTOR: <i>[Signature]</i>
TR	MCMANON	TREE	Passal	
(6)	5 MELODY AVE			INSPECTOR: <i>[Signature]</i>
6470	JAMES	ROUGH PLUMBING	Passed	
(1)	5 S. RIDGEVIEW MELRY CONSTR.	Electric		INSPECTOR: <i>[Signature]</i>
OTHER:	133 S. River 745 0394 Permit/CO/Bldg. \$/Occupancy			
(7)				

CORRESPONDENCE

931 E. Ocean Blvd.
Stuart, Florida 33494

October 14, 1977

Town Commissioners
Town of Sewall's Point
Jensen Beach, Florida 33457

RE: Lot 21, LUCINDIA

Gentlemen:

Your Resolution No. 131 was delivered to me recently concerning "An abandoned swimming pool which is creating a dangerous and hazardous condition for children and a breeding ground for mosquitoed" on my above captioned property.

I would like to ask your indulgence and forbearance in this matter as the property is under contract for sale, with a closing date of November 15, 1977.

In order to be cooperative with the Town, I did cover the swimming pool with wood, and thought that would suffice.

It is my understanding that the new purchasers have intentions of reactivating the pool, and building around same, so it would completely destroy their plans to fill same with either sand or soil as you suggest.

As stated above, may I ask you to please bear with me in this situation, until something permanent may be resolved in the near future with a reconstruction on the site. An architect will be working with the new owners, and I believe that something attractive and in keeping with the area will be built.

If for any reason this is not reasonable and satisfactory to you, may I ask you to please be in touch with me. I do think you'll agree it would be a shame, at this point, to fill the pool with sand or soil as suggested.

Respectfully submitted,

F. F. Krauskopf
F. F. Krauskopf

2/9/77

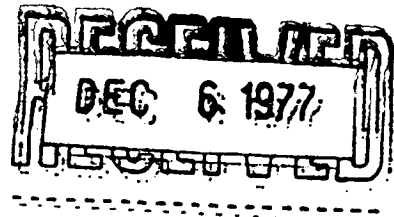


C.W. COOK & SONS, REALTORS

#20 Monterey Plaza, 201 S.W. Monterey Road, Stuart, (305) 283-1700, Mail: P. O. Box 2413, Stuart, Florida 33494

November 30, 1977

Kramer copy



Mr. John Rossiter
c/o Sewall's Point Town Hall
1 Sewall's Point Road
Stuart, Florida 33494

Dear Mr. Rossiter:

This letter is intended to confirm our telephone conversation of last week, at which time we discussed the situation pertaining to the existing improvement located on Lot 21, Lucindia. As you know, I am the contractual owner of this lot and intend to have a successful closing on same on or about December 5, 1977, at which time I will become the owner of record.

As per our conversation, I expressed my intentions of renovating the existing pool and making additions to the property to create a single family residence which will meet current zoning and deed restriction requirements. After discussions with my architect and pool contractor, I find that the plan which I have is sound and feasible.

Further discussions with my architect show that I should have my plans completed prior to January 1978 and at that point I plan to submit same to your office for city approval. After plan approval and successful financing arrangements I intend to begin construction. The pool will be renovated to new condition and the residence which I have designed will be an asset to the town, while preserving a portion of Martin County's history.

Sincerely,

Douglas S. Cook

DSC/dt

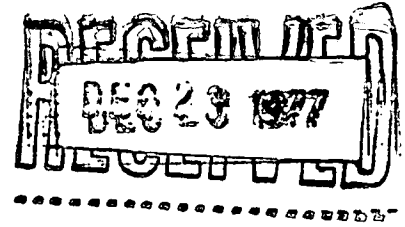
Copy to all Comm. & Town Atty
12/23/77



C.W. COOK & SONS, REALTORS

#20 Monterey Plaza, 201 S.W. Monterey Road, Stuart, (305) 283-1700, Mail: P. O. Box 2413, Stuart, Florida 33494

December 19, 1977



Mr. John Rossiter
c/o Town Hall, Town of Sewalls Point
1 Sewall's Point Road
Stuart, Florida 33494

Dear Mr. Rossiter:

Just a short note to let you know that per our agreement, I have removed the "cover" from the pool on Lot 21 Lucindia. I agreed to have the cover removed on or prior to December 18, 1977, at your last Town Meeting. The work was completed on December 17, 1977.

Thanks once again to you and the other elected officials present who have helped us with this matter and I look forward to seeing you later in the month with our building plans.

Sincerely,

Douglas S. Cook
Realtor-Associate

DSC/dt

Sold to
DONALD C. COLLINS
2933 N.W. 4th Terrace, FT. LAUD. 33311
2/27/78

4/6 - Ry -

10/5 Res. Mem. to remove and/or fill with sand or silt
Kraichops to come to Collins - Only remaining work
Pool still there - open - hanging -

RESOLUTION NO. 131

A RESOLUTION OF THE TOWN OF SEWALL'S POINT DIRECTING THE REMOVAL AND/OR FILLING WITH SAND OR SOIL OF AN ABANDONED SWIMMING POOL WHICH IS CREATING A DANGEROUS AND HAZARDOUS CONDITION FOR CHILDREN AND A BREEDING GROUND FOR MOSQUITOES, IN ACCORDANCE WITH SECTION 3 OF ARTICLE VIII OF THE CHARTER OF THE TOWN OF SEWALL'S POINT; AND FURTHER DIRECTING THAT IN THE EVENT OF THE FAILURE OF THE LAND OWNER TO CORRECT THE HAZARDOUS AND UNHEALTHFUL CONDITIONS, WITHIN THIRTY DAYS FROM RECEIPT OF NOTICE OF THIS RESOLUTION, THE TOWN COMMISSION SHALL ASSESS AND COLLECT THE EXPENSE OF FILLING THE SWIMMING POOL WITH SAND OR SOIL TO ALLEVIATE THE HAZARDOUS AND UNHEALTHFUL CONDITIONS AS A LIEN AGAINST THE SAID REAL PROPERTY

WHEREAS, Section 3 of Article VIII of the Charter of the Town of Sewall's Point, provides that whenever the Town Commission of the Town of Sewall's Point shall deem it necessary or expedient for the preservation of the public health or safety, or for the general welfare of the Town, or for any other good reason, the Town Commission shall have the power to direct and require any land owner to remove debris, brush, weeds, palmettos, and trash from land within the boundaries of the Town of Sewall's Point, and to remove buildings or other structures in a dangerous condition; and

WHEREAS, the said Town Charter further provides that in the event of the failure of the land owner to obey the directive of the Town Commission within thirty days from receipt of a copy of the Resolution of the Town Commission setting forth such directive, it shall thereupon be lawful for the Commission to cause said directive to be accomplished and to pay therefor and to charge, assess and collect the expense thereof, as a lien against the said land or as a claim against the owner or owners thereof pursuant to the provisions of the Charter of the Town of Sewall's Point; and

WHEREAS, the Town Commission has deemed it necessary and expedient for the preservation of the public health and safety, and for the general welfare of the Town of Sewall's Point, that the abandoned swimming pool located on Lot 21, LUCINDIA, according to the plat thereof recorded in Plat Book 3, page 130, public records of Martin County, Florida be filled with sand or soil by the owner of said lot;

NOW, THEREFORE, be it resolved by the Town Commission of the Town of Sewall's Point that:

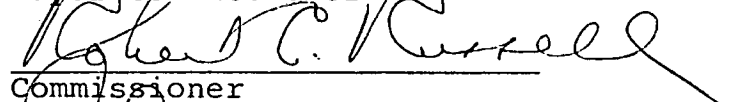
1. F. F. Krauskopf, the owner of record of the lands in the Town of Sewall's Point, Lot 21, LUCINDIA, according to the plat thereof recorded in Plat Book 3, page 130, public records of Martin County, Florida, is hereby directed by the Town Commission of the Town of Sewall's Point to remove and/or fill with sand or soil the abandoned swimming pool on said lands within 30 days from the time that a copy of this Resolution shall be served upon said owner or upon the agent of said owner, or in lieu of such service, within thirty (30) days from posting a copy hereof upon said land and at the front door of the Town Hall of the Town of Sewall's Point, all as provided in the Charter of the Town of Sewall's Point; and

2. That upon the failure of F. F. Krauskopf, the owner of record of the said lands hereinabove described to remove and/or fill with sand or soil said abandoned swimming pool within thirty (30) days from receiving notice of this Resolution, the Town Commission shall cause the said abandoned swimming pool to be filled with sand or soil to bring it to the level of the surrounding lands, shall pay therefor, and shall charge, assess and collect the expense thereof, as a lien against the said lands and against the owner thereof, all in accordance with, and pursuant to, the provisions of Section 3, Article VIII, of the Charter of the Town of Sewall's Point.

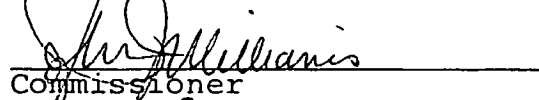
PASSED AND ADOPTED at a regularly called meeting of the Town Commission of the Town of Sewall's Point, Florida, this 14 day of **SEPT.** , 1977.



Mayor-Commissioner



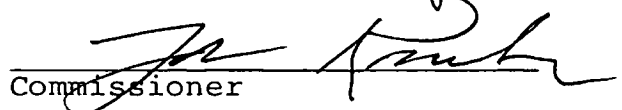
Commissioner



Commissioner



Commissioner



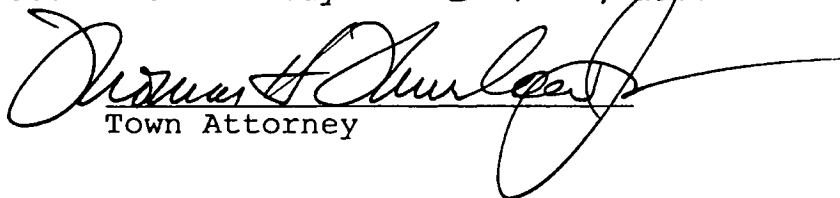
Commissioner

ATTEST:



Town Clerk

Approved as to form and correctness this 5 day of OCT. , 1977.



Town Attorney

12 Oct 77 J.J.W.

2. Revision of Ordinance #64, Continued

Considerable discussion took place on to whether or not mandatory parks should be included in new S/Ds. The Commissioners agreed that this should be left strictly to the Subdivider.

Engineer Hellstrom requested that the Proposed new Ordinance be sent to local engineers:

Larson & O'Neill, Inc.,
Hutcheon Engineers,
Lee Brock, P.E.
Greenlees & Montgomery,
Ferrari Engineering Management,

before it is finally passed.

First reading will be at Regular Meeting, October 12, 1977.

3. Codification of Ordinances

Attorney Thurlow had a call from Tallahassee re the print-out they had sent earlier, and told them it would be sent after the Regular October Meeting.

Attorney Thurlow advised that the Charter may be amended by ordinance - changes do not have to go through the State Legislature.

Town Clerk Miller will send copies of Ordinances #96 to #105 to Mr. Vaught of Municipal Code Corporation. (Sent October 7, 1977.)

Special Meeting will be held for Codification review only on October 19, 1977 at 7:30 - Attorney Thurlow to advise Tallahassee.

4. Resolution #131 - Krauskopf Abandoned Swimming Pool

Resolution to alleviate the hazardous and unhealthful conditions created by abandoned swimming pool - Lot 21 Lucindia was signed and will be delivered by Chief Matuszewski.

5. Resolution re Desantis Barn/Garage Attorney Thurlow contacted Mr. Desantis who intends to build within six months and remove old building, and will call him back advising that if not done within 30 days, resolution will be prepared as per Minutes September 14 - page 3.6. Report on Stone Decision Mayor Gluckler has not yet received the promised letter from Bob Stone re prosecuting attorney and will write to Attorney General Robert L. Shevin. Attorney Thurlow gave report on phone call he had with Assistant Bruce Colton. (See letter from Mayor Gluckler to Robert Shevin October 11, 1977).

E

11/23/77
11:30

Talked to Trudi Kennedy
re Krasnopf property.
Doug Cook (Real Estate) has
signed contract to close Dec 1st.
He intends to build almost
immediately & will use pool.
Has already talked to Jerry
McCarthy re, so Trudi says
I will not have to contact him
as directed at Meeting Nov 9.
? m

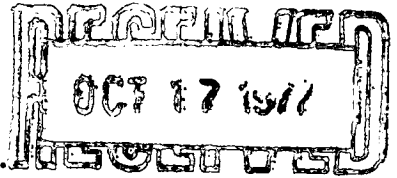
JM
Check with Jerry

QAY

11/28/77 Jerry says no.
m

@K: QAY

To Board Members
I would agree to wait
if the prospective purchaser agrees to
take actions - what do you think?
EAS



931 E. Ocean Blvd.
Stuart, Florida 33494

October 14, 1977

Town Commissioners
Town of Sewall's Point
Jensen Beach, Florida 33457

I agree - I think it would be
unreasonable for us to require Dr. K
to fill it in if it will be used by new
owners.
10/18/77 HAK

RE: Lot 21, LUCINDIA

Gentlemen:

Your Resolution No. 131 was delivered to me recently concerning "An abandoned swimming pool which is creating a dangerous and hazardous condition for children and a breeding ground for mosquitoed" on my above captioned property.

I would like to ask your indulgence and forbearance in this matter as the property is under contract for sale, with a closing date of November 15, 1977.

In order to be cooperative with the Town, I did cover the swimming pool with wood, and thought that would suffice.

It is my understanding that the new purchasers have intentions of reactivating the pool, and building around same, so it would completely destroy their plans to fill same with either sand or soil as you suggest.

As stated above, may I ask you to please bear with me in this situation, until something permanent may be resolved in the near future with a reconstruction on the site. An architect will be working with the new owners, and I believe that something attractive and in keeping with the area will be built.

If for any reason this is not reasonable and satisfactory to you, may I ask you to please be in touch with me. I do think you'll agree it would be a shame, at this point, to fill the pool with sand or soil as suggested.

O.K. [Signature]

Respectfully submitted,

[Signature]
F. F. Krauskopf

[Handwritten initials]

297655

RECORDED
MAR 6 1978
NOTARY PUBLIC

This instrument was prepared by:
George W. Sommer 78-95
SOMMER, FRASIER & FENNIMAN, P.A. mvb
Attorneys at Law
Post Office Box 2210
Stuart, Florida 33494

Warranty Deed

(STATUTORY FORM — SECTION 689.02 F.S.)

This Indenture, Made this 27th day of February 1978. Between

JUNE E. COOK,
of the County of Martin, State of Florida, grantor, and

DONALD C. COLLINS,
whose post office address is 2933 N.W. 6th Terrace, Fort Lauderdale, Florida 33311
of the County of Broward, State of Florida, grantee.

Witnesseth. That said grantor, for and in consideration of the sum of
----- TEN AND 00/100 ----- (\$10.00) ----- Dollars,
and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby
acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the fol-
lowing described land, situate, lying and being in Martin County, Florida, to-wit:

Lot 21 and the East 15 feet of the West 35 feet of Lot 26,
LUCINDIA, according to the Plat thereof filed 19 April 1960,
recorded in Plat Book 3, Page 130, Martin County, Florida,
public records; TOGETHER with an easement over, upon and under
the Northerly 7½ feet of Lots 22, 23, 24 and 25, and The West
20 feet of Lot 26, for purposes of water and electrical supply
lines. TOGETHER with improvements thereon and any and all riparian
rights appurtenant thereto.

SUBJECT to that certain Mortgage in favor of Frederick F. Krauskopf,
also known as F. F. Krauskopf, dated December 5, 1977, filed
December 6, 1977, and recorded in O. R. Book 433, Page 313,
Martin County, Florida, public records, which the Grantee herein
assumes and agrees to pay.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims
of all persons whomsoever.

* "Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof, Grantor has hereunto set grantor's hand and seal the day and year first above written.
Signed, sealed and delivered in our presence:

Joan L. Keim _____
Donald C. Collins _____

_____ (Seal)

STATE OF FLORIDA
COUNTY OF MARTIN

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments, personally
appeared JUNE E. COOK,

to me known to be the person described in and who executed the foregoing instrument and acknowledged before
me that she executed the same.
WITNESS my hand and official seal in the County and State last aforesaid this 27th day of February,
1978.

My commission expires:

O.R. BOOK 433 PAGE 2555

Joan L. Keim
Notary Public
Notary Public, State of Florida at Large
My Commission Expires May 18, 1981
Bonded by Aetna Life & Casualty Company

see letter from Cook under "Lucindia"

TOWN OF SEWALL'S POINT

RESUME WORKSHOP MEETING - DECEMBER 7, 1977 (TAPES 90 - 93)

Present: Mayor Edward H. Gluckler, Vice Mayor Robert C. Russell, Commissioner John Rossiter, Commissioner Earl R. Crawford, Town Clerk Margaret Miller, Town Attorney Terence P. McCarthy, Town Engineer Richard Hellstrom, one reporter and several others.

The Meeting was called to order by Mayor Gluckler at 7:30 p.m.

13. Resolution #131 re Krauskopf/Cook Pool Hazard

Douglas Cook, new owner was present with drawing of what he hoped to create at Lot 21, Lucindia. Cover will be removed from pool, stacked elsewhere on property to eventually use as form lumber, and the pool pumped out, possibly this coming weekend, but no later than the following weekend.

He expects to have house plans ready in January and be ready to build by February, 1978. Mr. Cook was welcomed to the Community and commended for his projected plans for the property, which will be an asset to the area.

4. East Gate S/D - Portion Lot 24, Arbella

Engineer Hellstrom reported that plans submitted seem to meet all requirements of Ordinance #106. Agenda Regular Meeting December 14, 1977.

19 (a) Steger - Clean up North Sewall's Point Road

Mr. S. J. Steger of 102 North Sewall's Point Road complained of overgrowth, animals and debris on North Sewall's Point Road and right-of-way. Commissioner Crawford said the Police carry a shovel to take care of dead animals on the road and Commissioner Rossiter said we are about ready to have the rights-of-way mowed again, although it is expensive to have the bottles, etc. picked up.

1. South River Road - White Fence Acres to Riverview S/D

Attorney McCarthy had a telephone call from Attorney Anderson this afternoon, requesting that the Town (Commissioner Rossiter) make another attempt to contact Dr. Equi and make arrangements for a meeting with the contractor re pipe. Commissioner Rossiter ... will try again.

Re the broken wire on the Braden property - this wire was on Town property, is not live, and cannot be used in the new Oakwood S/D.

Put on Agenda for Regular Meeting with a view to wrapping up, including release of approximately \$450.00 holdback to Dickerson, Inc., and release of Surety Bond.

H. OLD BUSINESS, Continued

2. South River Road - White Fence Acres to Riverview

Substantially, the work has been done, except for the Braden and Equi problems. Payment approved under D, Page 1, covers everything except 10% holdback retainage on Invoice S-643 - \$449.72.

3. Krauskopf Pool (See Resolution #131)

Trude Kennedy was present and said sale of the property was to go through November 15, 1977, and will advise new owner.

It was moved by Commissioner Rossiter, seconded by Vice Mayor Russell that upon notification from Mrs. Trude Kennedy that the sale of the property has gone through, the new owner be advised by the Town Clerk of the Resolution #131 re swimming pool. Carried.

4. Archipelago Bridge Engineer Hellstrom reported he had been depending on a second party to get a diver to inspect under bridge, which has not been done to date.

It was moved by Commissioner Rossiter, seconded by Commissioner Williams that Commissioners Crawford and Rossiter hire a diver to go down under the Archipelago Bridge and get the necessary information for Engineer Hellstrom, diver to be paid from Town funds. Carried.

5. EDA Contract - Reconstitue South Sewall's Point Road

There was a Special Meeting November 7, 1977 for Bid Opening re EDA Grant Award - Project No. 04-51-26826. (See Minutes) The only bid received, from Dickerson, Inc. was examined by Engineer Hellstrom and included in his letter to the Board of Commissioners dated November 8, 1977 was his recommendation that the bid be accepted.

It was moved by Commissioner Rossiter, seconded by Vice Mayor Russell that the bid of Dickerson, Inc., opened at the Special Meeting November 7, 1977, for Leveling and Resurfacing with Type II Asphaltic Concrete, complete with all required associated work, of South Sewall's Point Road - EDA Project No. 04-51-26826 - in the amount of Twenty-eight Thousand, Six Hundred Dollars (\$28,600.00) be accepted. Carried.

Engineer Hellstrom had also provided Bid Tabulation Sheet, with covering letter, as required by EDA. Statement to be signed by Authorized Representative (Commissioner Rossiter) will be prepared by Attorney McCarthy. These, along with proof of publication of the bid advertisement and copy of official minutes of the bid opening will be sent to the Atlanta office. Work must be started by December 25, 1977.

RECEIVED
APR 11 1978

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Permit No. 813

Date 4/17/78

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable) Copy of property Deed required for new home construction.

Owner Don Collins Present Address 865 SE ST. LUCINDIA Ph 286-2886

General Contractor OWNER Address SAME Ph _____

Where licensed _____ License No. _____

Plumbing Contractor _____ License No. _____

Electrical Contractor _____ License No. _____

Street building will front on 72 S. RIVER RD

Subdivision LUCINDIA Lot No. 21 Area SEAWALL PT.

Building area, inside walls (excluding garage, carport, porches) Sq ft 2400

Other Construction (Pools, additions, etc.) Pool REPAIR

Contract Price (excluding land, rugs, appliances, landscaping) \$ 40,800

Total cost of permit \$ 225.00

Plans approved as submitted Plans approved as marked _____

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

Don Collins
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

Don Collins
Signed by Owner

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted April 17 1978

Date approved 4/19/78

Certificate of Occupancy issued 22 September 1978 Date

#813

297655

RECORDED
FEB 6 1978

This instrument was prepared by:
George W. Sommer 78-95
SOMMER, BRASIER & PENNIMAN, P.A.
Attorneys at Law
Post Office Box 2210
Stuart, Florida 33494

Warranty Deed

(STATUTORY FORM --- SECTION 689.02 F.S.)

This Indenture, Made this 27th day of February 1978, Between:
JUNE E. COOK,
of the County of Martin, State of Florida, grantor and
DONALD C. COLLINS,
whose post office address is 2933 N.W. 6th Terrace, Fort Lauderdale, Florida 33311
of the County of Broward, State of Florida, grantee.

Witnesseth, That said grantor, for and in consideration of the sum of
----- TEN AND 00/100 ----- (\$10.00) ----- Dollars,
and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby
acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the fol-
lowing described land, situate, lying and being in Martin County, Florida, to-wit:

Lot 21 and the East 15 feet of the West 35 feet of Lot 26,
LUCINDIA, according to the Plat thereof filed 19 April 1960,
recorded in Plat Book 3, Page 130, Martin County, Florida,
public records; TOGETHER with an easement over, upon and under
the Northerly 7 1/2 feet of Lots 22, 23, 24 and 25, and The West
20 feet of Lot 26, for purposes of water and electrical supply
lines. TOGETHER with improvements thereon and any and all riparian
rights appurtenant thereto.

SUBJECT to that certain Mortgage in favor of Frederick W. Krauskopf,
also known as F. F. Krauskopf, dated December 5, 1977, filed
December 6, 1977, and recorded in O. R. Book 433, Page 313,
Martin County, Florida, public records, which the Grantee herein
assumes and agrees to pay.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims
of all persons whomsoever.
* "Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof, Grantor has hereunto set grantor's hand and seal the day and year first above written.
Signed, sealed and delivered in our presence.

Joan L. Keim
Donald C. Collins

June E. Cook (Seal)
June E. Cook

_____ (Seal)

STATE OF FLORIDA
COUNTY OF MARTIN

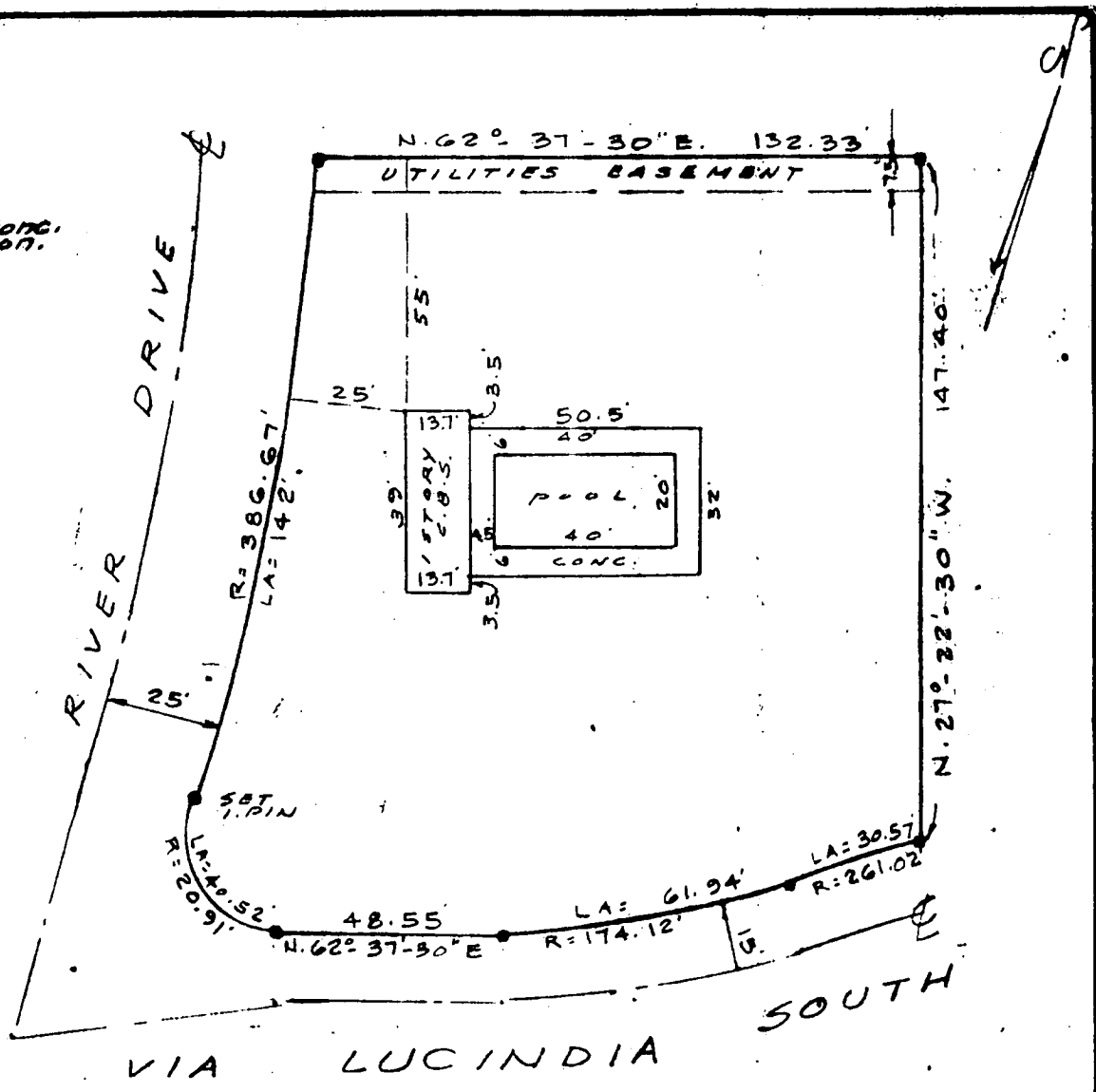
I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments, personally
appeared JUNE E. COOK,

to me known to be the person described in and who executed the foregoing instrument and acknowledged before
me that She executed the same.
WITNESS my hand and official seal in the County and State last aforesaid this 27th day of February,
1978.

My commission expires: TOP 438 REC 2555

Joan L. Keim
Notary Public
Entry of this instrument at the
County Clerk's Office on May 18, 1978
Filed by A. J. ...

*see letter from Cook
... "Lucindia"*



A SURVEY OF
 LOT 21
 LUCINDIA
 MARTIN COUNTY
 FLORIDA
 FOR
 DON COLLINS

RECEIVED
 APR 11 1978
 REGISTERED

SCALE: 1" = 30'	DATE: 3-13-78	PLAT BOOK: 3	PAGE: 130
-----------------	---------------	--------------	-----------

I Hereby Certify that the sketch shown hereon is a correct representation of a survey done under my direction and is true and correct to the best of my knowledge and belief.

DON WILLIAMS & ASSOCIATES, INC.

W.L. Williams
 W.L. WILLIAMS
 R.L.S. FLA. REG. No. 1272

LAND SURVEYORS
 P.O. BOX 2301 STUART, FLORIDA

F.B. 169 Page 44

#813

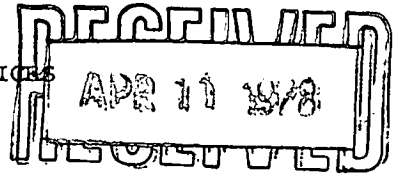
Application/Permit No. HD 78-287

THIS PERMIT EXPIRES ONE (1) YEAR FROM DATE OF ISSUANCE

MARTIN County Health Department

Permit VOID if well or septic system is installed in a location other than area permitted. PRIOR HEALTH DEPARTMENT APPROVAL REQUIRED

DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES
DIVISION OF HEALTH
Application and Permit of
Individual Sewage Disposal Facilities



Section I - Instructions:

1. Percolation test data, soil profile and water table elevation information must be attached. (Note: Test must be made at proposed location of system).
2. Existing building and proposed buildings on lot must be shown and drawn to scale at their location or proposed location. (Use block on this sheet or attach plot plan).
3. Proposed location of septic tank must be shown on plan.
4. Any pond or stream areas must be indicated on the plan.
5. Indicate name and date of recording of subdivision. If not recorded, attach metes and bounds description.
6. Complete the following information section.

- Notes:
1. Not valid if sewer is available.
 2. Individual well must be 75 feet from any part of system.
 3. Call 287-2277 and give this office a 24-hour notice when ready for inspection.

Section II - Information:

1. Property Address (Street & House No.)
Lot 21 Block --- Subdivision LUCINDIA, PB 5, 1960
Date Recorded 4-17-60 Directions to Job ---
2. Owner or Builder CLAUDE BOUQUART
P.O. Address 900 Egan City Suite 201, First National Bank
3. Specifications Craig, Stuart
3-BEDROOMS
Tank _____ Drainfield _____ Scale 1" = 50'
Gals. _____ ft. of 6" clay tile or 5" perforated plastic drain in a _____ (Rear)
900 Gals. 255 ft. of 4" clay drain or 4" perforated plastic drain in an 18" trench
4. House to be constructed:
Check one: _____ FHA
_____ VA Conventional

REMOVE ALL IMPERVIOUS MATERIALS TO A DEPTH OF 6' AND BACKFILL WITH A GOOD GRADE OF SAND IN ENTIRE AREA OF DRAINFIELD.

SEE ATTACHED

This is to certify that the project described in this application, and as detailed by the plans and specifications and attachments will be constructed in accordance with state requirements.

Applicant: Don Collins
Please Print

Signature: Don Collins Date: 10-25-77

***** DO NOT WRITE BELOW THIS LINE *****

Section III - Application Approval & Construction Authorization
Installation subject to following special conditions: _____

The above signed application has been found to be in compliance with Chapter 17-13, Florida Administrative Code, and construction is hereby approved, subject to the above specifications and conditions.

By John S. Colquhoun County Health Dept. Martin Date 4/5/78

Section IV - Final Construction Approval

Construction of installation approved: _____ Yes _____ No

Date: _____ By: _____
FHA No. _____ VA No. _____

#813

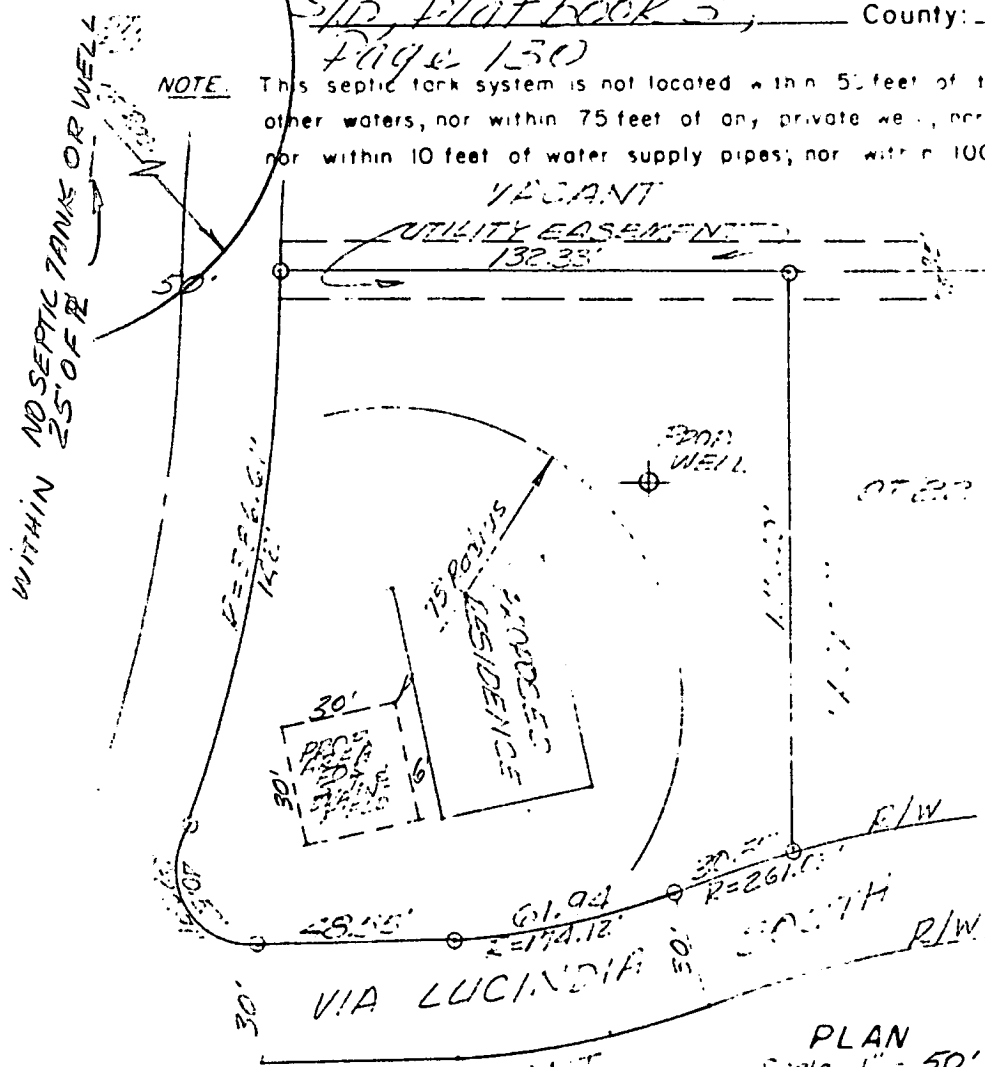
FLORIDA DEPARTMENT OF POLLUTION CONTROL

S.E. Subregion
 9000 G.W.P. Blvd., Tallahassee, Florida 32309
 Telephone: 904-879-8100

INDIVIDUAL SEWAGE DISPOSAL FACILITIES
 DATA SHEET

Location: LOT 21, LUCINDIA Applicant: Claude Bankinger
S/D, Plot Book 3, County: Martin
Page 130

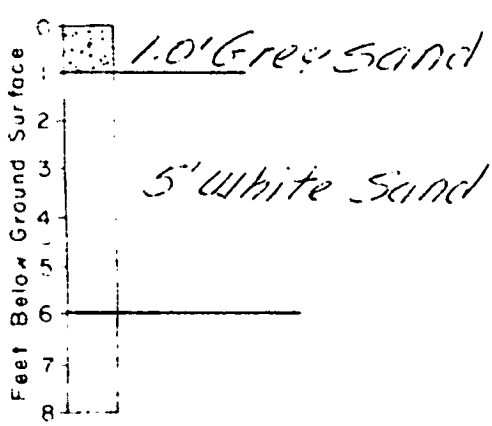
NOTE: This septic tank system is not located within 50 feet of the high water line of a lake, stream, canal or other waters, nor within 75 feet of any private well, nor within 100 feet of any public water supply, nor within 10 feet of water supply pipes, nor within 100 feet of any public sewer system.



Plan must show all data required in the code book and all other pertinent data.

THE DISTANCE BETWEEN SEPTIC TANKS AND WELLS MUST BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR.

SOIL DATA



SOIL BORING LOG

Soil Identification CLASS I GROUP S/D
 Soil Characteristics white and grey sand
 Percolation Rate 1.30 min/inch
 Water Table Depth 7' 6"
 Water Table Depth During Wet Season 3' 6"
 Compacted Fill Of _____ Req'd
 Compacted Fill Checked By _____
 Date _____

LEGEND

- ▶ Storage Pattern
- ▭ Proposed Septic Tank and Drifted
- (○) Proposed Water Supply Well
- (●) Existing Water Supply Well
- [] Soil Boring and Percolation Test Location

RECEIVED
 APR 11 1978
 REGISTERED

CERTIFIED BY David W. Bethas #813
 FLORIDA PROFESSIONAL No 3199
 Date 10-25-77 Job No 111-300
 Sheet 1 of 2

TOWN OF SEWALL'S POINT

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date _____

This is to request that a Certificate of Approval for Occupancy be issued to _____

For property built under Permit No. 813 Dated 4/17/78

when completed in conformance with the Approved Plans.

Jon Collier
Signed _____

RECORD OF INSPECTIONS

<u>Item</u>	<u>Date</u>	<u>Approved by</u>
Footings + SLAB	5/2/78	
Rough plumbing	4/28	
Perimeter beam		
Rough electric	6/28/78	
Close in	6/28/78	
Final plumbing	9/18 + 9/22/78	
Final electric	9/18 + 9/22/78	

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector Chas. Dwyer date _____

Approved by ^{Bldg} ~~Town~~ Commissioner John P. Guinther date 22 Sept '78

Utilities notified 22 Sept. 1978 date _____

Original Copy sent to _____

(Keep carbon copy for Town files)

3954

REROOF

TAX FOLIO NO. 38-41-007-006-00210-1000

DATE 3-21-96

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner ROBERT TOTH Present address 72 S. RIVER RD

Phone 223-5080

Contractor PACIFIC ROOFING Address 1501 DECKER AVE #304
STUART, FL 34994

Phone 283-7663

Where licensed FLORIDA License number CC056793

Electrical Contractor License number _____

Plumbing Contractor License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: RE ROOF

State the street address at which the proposed structure will be built:

72 SOUTH RIVER ROAD

Subdivision LODINDIA Lot Number 21 Block Number _____

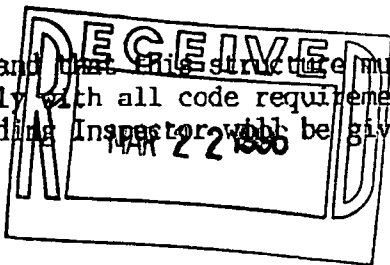
Contract price \$ 7940.00 Cost of permit \$ 100.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-Tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.



Owner [Signature]

TOWN RECORD

Date submitted _____

Approved: [Signature] 3/22/96
Building Inspector Date

Approved: [Signature]
Commissioner Date

Final approval given: _____
Date

CERTIFICATE OF OCCUPANCY issued (if applicable) _____
Date

PERMIT NO. _____

4783

FENCE

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 01/07/00

BUILDING PERMIT NO. 4783

Building to be erected for ANDREW HOCHSTETTER Type of Permit FENCE

Applied for by TREASURE COAST FENCE (Contractor) Building Fee \$30.00

Subdivision LUCINDIA Lot 21 Block _____ Radon Fee _____

Address 72 S. RIVER ROAD Impact Fee _____

Type of structure S.F.R. A/C Fee _____

Electrical Fee _____

Plumbing Fee _____

Roofing Fee _____

Parcel Control Number: _____

Amount Paid \$30.00 Check # 0723 Cash _____ Other Fees (_____) _____

Total Construction Cost \$ _____ TOTAL Fees \$30.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Inspector OFFICIAL

FENCE PERMIT

INSPECTIONS			
SETBACKS	DATE _____	HEIGHT	DATE _____
FOOTINGS	DATE _____	FINAL	DATE <u>1/14/00</u>

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455

WORK HOURS – 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

- New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

Bldg. Pmt# 4783
01/07/00

Town of Sewall's Point
BUILDING PERMIT APPLICATION

DATE 12/29/99
DEC 29 1999

Owner's Name: ANDREW & HEATHER HOCHSTETTER Phone No. 286-2232
Owner's Present Address: 72 S. RIVER RD. STUART, FL 34916
Fee Simple Titleholder's Name & Address if other than owner _____

Location of Job Site: YARD
TYPE OF WORK TO BE DONE: CHAIN-LINK FENCE
CONTRACTOR INFORMATION
Contractor/Company Name: TREASURE COAST FENCE Phone No. 286-6694
COMPLETE MAILING ADDRESS 2340 SW DEERWOOD PASS, PALM CITY, FLA
State Registration _____ State License SP01861
Legal Description of Property LUCINDIA LOT #21
Parcel Number 01-3841-007000-00210

ARCHITECT/ENGINEER INFORMATION
Architect _____ Phone No. _____
Address _____
Engineer _____ Phone No. _____
Address _____
Area Square Footage: Living Area _____ Garage Area _____ Carport _____
Accessory Bldg. _____ Covered Patio _____ Scr. Porch _____ Wood Deck _____
Type Sewage: _____ Septic Tank Permit # from Health Dept. _____
NEW electrical SERVICE SIZE _____ AMPS

FLOOD HAZARD INFORMATION
flood zone _____ minimum Base Flood Elevation (BFE) _____ NGVD
proposed finish floor elevation _____ NGVD (minimum 1 foot above BFE)
Cost of construction or Improvement 1075.00
Fair Market Value (FMV) prior to improvement _____
Substantial Improvement 50% of FMV yes _____ No _____
Method of determining FMV _____

SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)
Electrical _____ State License _____
Mechanical _____ State License# _____
Plumbing _____ State License# _____
Roofing _____ State License# _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE _____
Sworn to and subscribed before me this _____ day of _____, 1998 by _____ who is personally known to me or has produced or has produced _____ and who did (did not) take an oath.
CONTRACTOR SIGNATURE Gary A. Kasperowski
Sworn to and subscribed before me this 29th day of December, 1999 by Gary Kasperowski who is personally known to me or has produced _____ and who did (did not) take an oath.



JOHN H. BROWN
MY COMMISSION # CC763645 EXPIRES
November 30, 2002
BONDED THRU TROY FAIR INSURANCE INC

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
One South Sewall's Point Road
Sewall's Point, Florida 34996
Tel: (561) 287-2455
Fax: (561) 220-4765

PLAN REVIEW NOTES

SINGLE FAMILY RESIDENCE; ADDITION; DOCK; POOL; FENCE; _____

OWNER: ANDREW HOCHSTETTER; ADDRESS: 72 S. RIVER ROAD

PROJECT ADDRESS: (SAME); LEGAL: LOT 21 BLK _____ SUB LUCINDIA

GENERAL CONTRACTOR: TREASURE COAST FENCE; LIC/CERT No. _____

ADDRESS: 2340 S.W. DEERWOOD PASS, PALM CITY, FL; TEL: 286-6694; FAX _____

ARCHITECT OR ENGINEER: N/R; LIC/REG. No. _____

ADDRESS: _____; TEL _____; FAX _____

Review of the application, supporting documents, plans and specifications submitted on the above project indicate the following items are required for submittal and/or revision:

- ROUT
01/05*
- 1. SURVEY/SITE PLAN (2 COPIES) W/FENCE LOCATION.
 - 2. FENCE DETAILS/SECTION
 - POSTS; SPEC & ANCHORAGE
 - RAIL
 - LINKS
 - 3. CONTRACTOR LIC & INS (LIAB & W/C)
 - 4. COST OF IMPROVEMENT
 - 5. RECORDED N.O.C. (IF OVER \$2500.)
- NEED on file 01/05*

- verbally reviewed w/contractor from submittal documents prior to preparation of review notes

Prepared By: [Signature] Title: BLDG. OFFICER Date: 12/30/99

AGORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
03/03/1999

PRODUCER (561)546-5600 FAX (561)546-1008
Campbell-Wilson Ins. Agency
8882 SE Bridge Road
Hobe Sound, FL 33455

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

- COMPANY A Auto Owners Insurance Company
- COMPANY B ZC Insurance Company
- COMPANY C
- COMPANY D

Y: Ext:
JURED
Recreational Svcs. Inc. Treasure Coast Fence
2340 SW Deepwood Pass
Palm City, FL 34990
#65 0175607

RECEIVED
LIAB, W/C
3/14

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR OWNER'S & CONTRACTOR'S PROT <input checked="" type="checkbox"/> Liability plus	902312 20411544 99	03/02/1999	03/02/2000	GENERAL AGGREGATE \$ 300,000 PRODUCTS - COMP/OP AGG \$ 300,000 PERSONAL & ADV INJURY \$ 300,000 EACH OCCURRENCE \$ 300,000 FIRE DAMAGE (Any one fire) \$ 100,000 MED EXP (Any one person) \$ 10,000
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO ALL OWNED AUTOS SCHEDULED AUTOS HIRED AUTOS NON-OWNED AUTOS	95-423-065-00	03/02/1999	03/02/2000	COMBINED SINGLE LIMIT \$ 300,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	GARAGE LIABILITY ANY AUTO	NONE			AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EACH ACCIDENT \$ AGGREGATE \$
	EXCESS LIABILITY UMBRELLA FORM OTHER THAN UMBRELLA FORM	NONE			EACH OCCURRENCE \$ AGGREGATE \$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input type="checkbox"/> INCL <input type="checkbox"/> EXCL OTHER	19736580099	03/01/1999	03/01/2000	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER EL EACH ACCIDENT \$ 100,000 EL DISEASE - POLICY LIMIT \$ 500,000 EL DISEASE - EA EMPLOYEE \$ 100,000

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS
State of Florida - Tennis court construction/fence I/S/R

CERTIFICATE HOLDER

Town of Sewall's Point
Fax (561) 220 4765
1 S Sewalls Point Road
Sewalls Point, FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Joanne Wilson/JO

Joanne Wilson

Sent 3/3/99 received 7/8/99

MARTIN COUNTY CONTRACTORS
CERTIFICATE OF COMPETENCY

KASPEROWSKI, GARY A
TREASURE COAST FENCE
2340 SW DEEPWOOD PASS
PALM CITY FL 34990

EXPIRES SEPTEMBER 30, 20

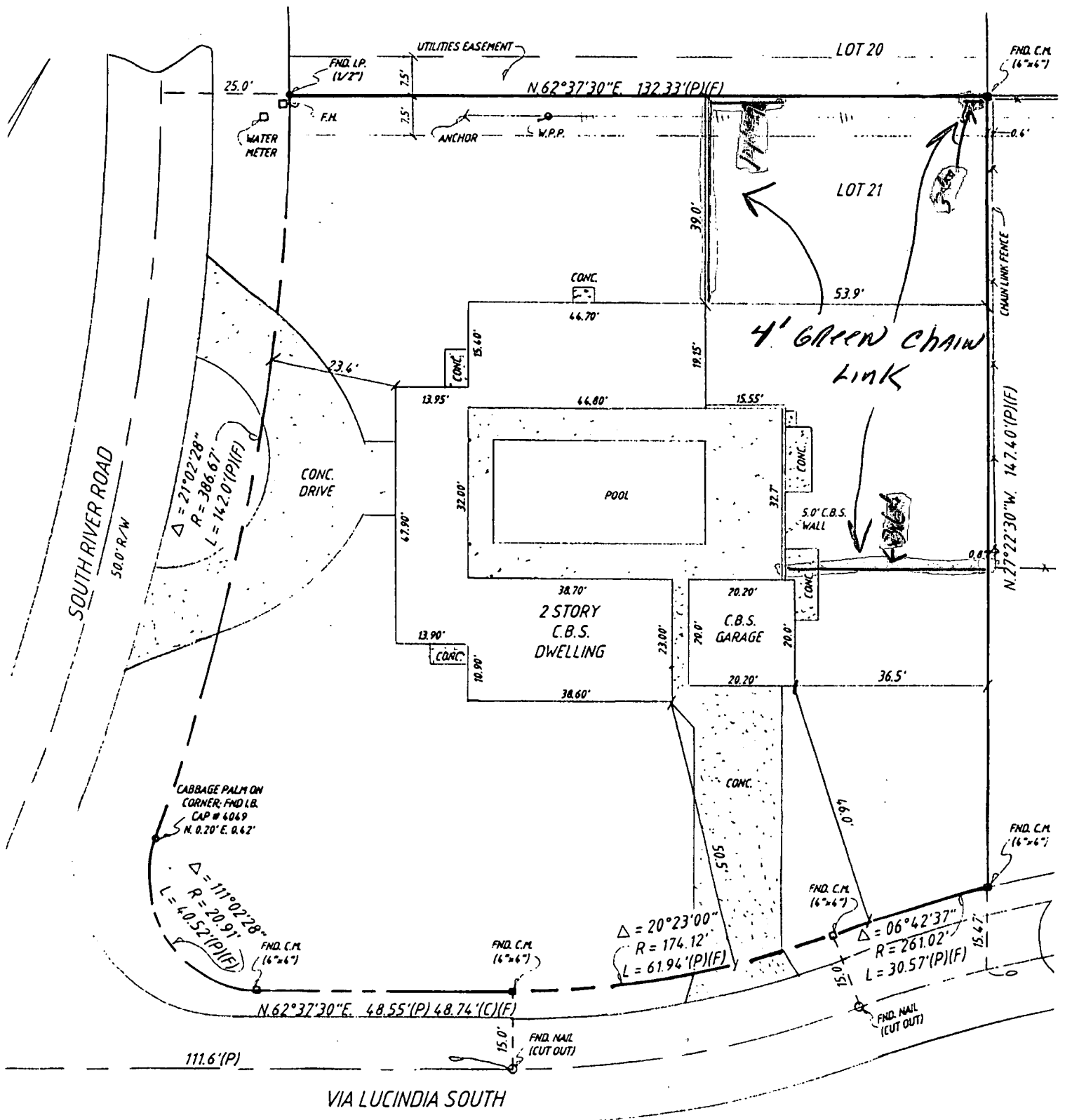
00

AUDIT
CONTROL
NUMBER

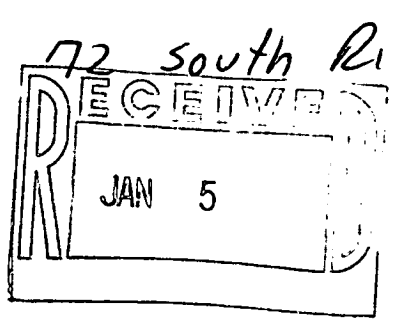
36518

CERTIFICATE NUMBER

SP01861



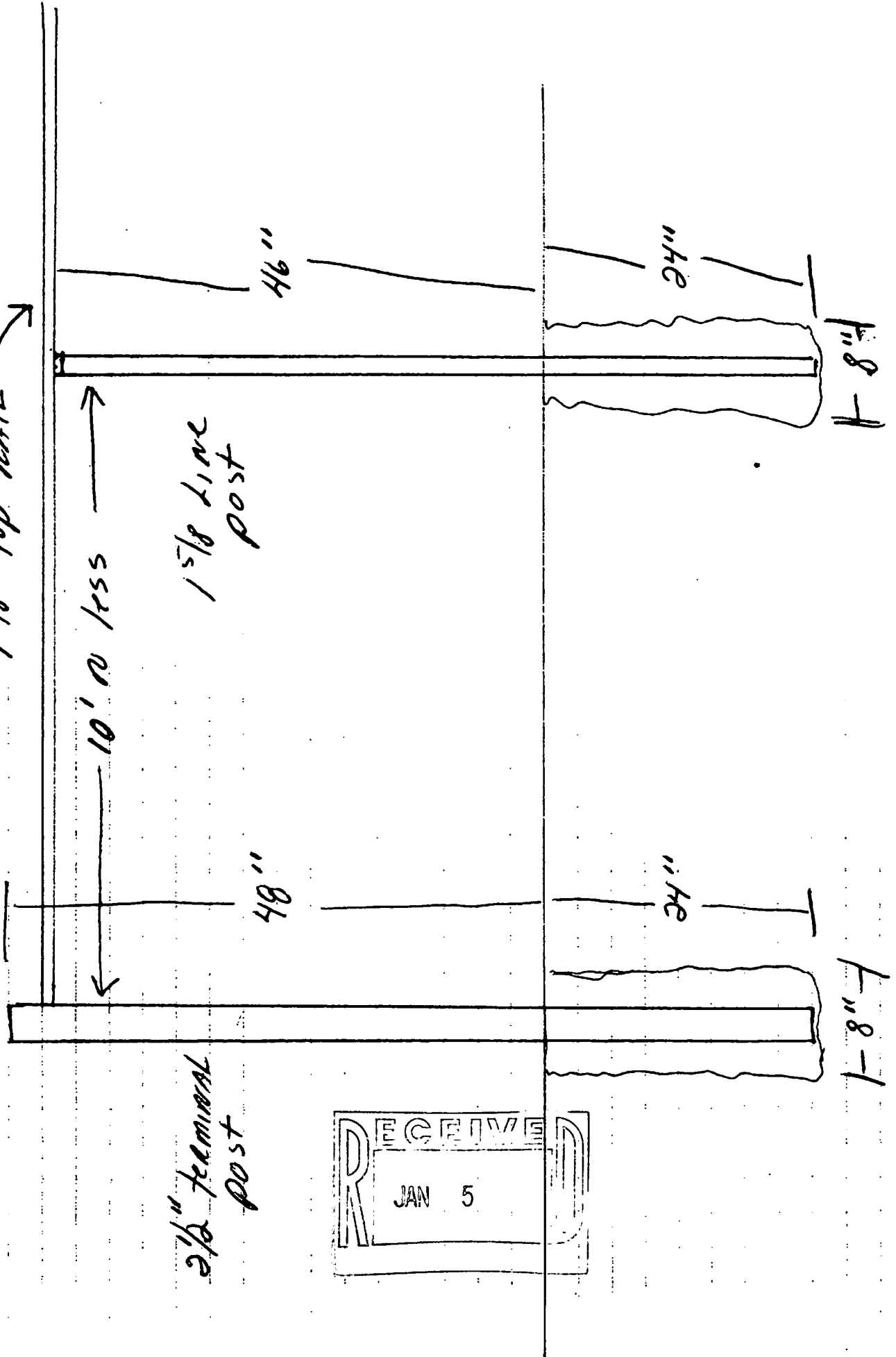
ED WITHIN FLOOD ZONE: "C"
 EL NUMBER - 120164 0002 D
 ADDRESS 72 SOUTH RIVER ROAD
 STUART, FL 34996
 VONREW HOCHSTETTER AND HEATHER HOCHSTETTER
 MAC MORTGAGE CORPORATION, ITS SUCCESSORS AND OR ASSIGNS
 TEWART TITLE OF MARTIN COUNTY
 TEWART TITLE GUARANTY COMPANY



1/6/00 TOWN OF SEWALL'S POINT
 REVIDO: [Signature]
 FIELD COPY
 72 S. RIVER ROAD.

SURVEYOR'S NOTES

1 3/8 top rail



1 5/8 line post

10' 0" less

46"

48"

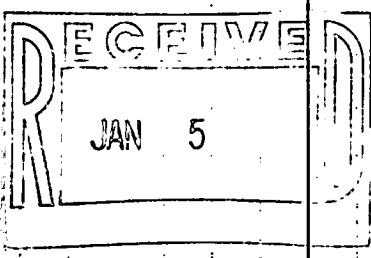
1/2" terminal post

11/4"

11/4"




F-8-1

F-8-1



System Name:	GALAXY 2000	ALUMINUM 4000	GALAXY 1200	GALAXY 1200 Plus	SPECTRA
PRODUCT DESCRIPTION	Heavy Duty Galvanized Chain Link Fence System	Super Smooth Heavy Duty Aluminumized Chain Link Fence System	Medium Duty Galvanized Chain Link Fence System	Super Smooth Medium Duty Chain Link Fence System	PVC Color Coated Chain Link Fence System
CORROSION PROTECTION	MAXIMUM	MAXIMUM	MEDIUM	MEDIUM	MAXIMUM
APPLICATIONS	<ul style="list-style-type: none"> Industrial Facilities Highway Transportation Marine Environments Prisons/Military Installations 	ALL APPLICATIONS	COMMERCIAL FACILITIES	PARKS, RECREATIONAL FACILITIES, SCHOOLS	ALL APPLICATIONS

CHAIN LINK FABRIC SPECIFICATIONS

PROCESS	Hot Dip Galvanized After Weaving	Aluminum Coated Before Weaving	Hot Dip Galvanized After Weaving	Galvanized Before Weaving	Thermally Extruded or Extruded & Adhered Over Pre-Coated Galvanized Core Wire
PROTECTIVE COATINGS	2.00 oz/ft ² (610 g/m ²) Zinc Alloy	0.40 oz/ft ² (120 g/m ²) Aluminum	1.20 oz/ft ² (366 g/m ²) Zinc Alloy	1.20 oz/ft ² (366 g/m ²) Zinc Alloy plus clear lacquer finish	Thick PVC Compound over Zinc Coated 0.30 oz/ft ² (80 g/m ²) Strand Wire
ASTM SPECIFICATION	A 392, Class 2	A 491	A 392, Class 1	A 392, Class 1	F 668, Class 1, Extruded F 668, Class 2a, Extruded/Adhered
WARRANTY	25 YEAR	25 YEAR	15 YEAR	15 YEAR	15 YEAR
COATED WIRE DIAMETER OPTION 	9 GA (0.148 in.) (3.76 mm) 6 GA (0.192 in.) (4.88 mm)	11 GA (0.120 in.) (3.05 mm) 9 GA (0.148 in.) (3.76 mm) 6 GA (0.192 in.) (4.88 mm)	11 GA (0.120 in.) (3.05 mm) 9 GA (0.148 in.) (3.76 mm) 6 GA (0.192 in.) (4.88 mm)	11 GA (0.120 in.) (3.05 mm) 9 GA (0.148 in.) (3.76 mm) 6 GA (0.192 in.) (4.88 mm)	9 GA (0.148 in.) (3.76 mm) 8 GA (0.162 in.) (4.11 mm) 6 GA (0.192 in.) (4.88 mm)
CORE WIRE DIAMETER OPTIONS 	N/A	N/A	N/A	N/A	12 GA (0.095 in.) (2.41 mm) 12 GA (0.106 in.) (2.69 mm) 11 GA (0.120 in.) (3.05 mm) 9 GA (0.148 in.) (3.76 mm)
MESH SIZE OPTIONS 	1 1/2 in. (44.5 mm) 2 in. (50.8 mm)	3/8 in. (9.5 mm) 1 in. (25.4 mm) 1 1/4 in. (31.8 mm) 1 3/4 in. (44.5 mm) 2 in. (50.8 mm) <small>* note: 11ga only</small>	1 1/2 in. (44.5 mm) 2 in. (50.8 mm)	3/8 in. (9.5 mm) 1 in. (25.4 mm) 1 1/4 in. (31.8 mm) 1 3/4 in. (44.5 mm) 2 in. (50.8 mm) <small>* note: 11ga only</small>	3/8 in. (9.5 mm) 1 in. (25.4 mm) 1 1/4 in. (31.8 mm) 1 3/4 in. (44.5 mm) 2 in. (50.8 mm) <small>* note: 11ga only</small>
HEIGHTS AVAILABLE	36 in. to 144 in. (910 mm to 3,660 mm)	36 in. to 240 in. (910 mm to 6,100 mm)	36 in. to 144 in. (910 mm to 3,660 mm)	36 in. to 240 in. (910 mm to 6,100 mm)	36 in. to 240 in. (910 mm to 6,100 mm)

CHAIN LINK FRAMEWORK SPECIFICATIONS

ASTM SPECIFICATION	F-1043 Group IA, Schedule 40 pipe, Type A internal and external coating	F-1043 Group IC, Electrical Resistance welded pipe, Type B external, Type D internal coating (or Type B/Type B)	F-1043 Group IA with optional supplemental PVC coating or Group IC with optional supplemental polyester coating.
PROTECTIVE COATINGS	1.8 oz/ft ² (550 g/m ²) Zinc Alloy	Type B, 0.9 oz/ft ² (275 g/m ²) Zinc, Type D, 0.3 mil 81% min. Zinc rich paint	Supplemental PVC-10 mils min. Supplemental Polyester-3 mils min.
PROCESS	Hot Dip Galvanized after fabrication	Zinc Coated after fabrication	Coated after fabrication
TERMINAL POSTS	Height to 72" (1830 mm)	2.375" o.d. x 0.154" x 3.65 lbs/ft (60.3 mm x 3.91 mm x 5.43 kg/m)	2.375" o.d. x 0.130" x 3.12 lbs/ft (60.3 mm x 3.30 mm x 4.64 kg/m)
	Height over 72" (1830 mm)	2.875" o.d. x 0.203" x 5.79 lbs/ft (73.0 mm x 5.16 mm x 8.61 kg/m)	2.875" o.d. x 0.160" x 4.64 lbs/ft (73.0 mm x 4.06 mm x 6.91 kg/m)
LINE POSTS	Height to 72" (1830 mm)	1.900" o.d. x 0.145" x 2.72 lbs/ft (48.3 mm x 3.68 mm x 4.05 kg/m)	1.900" o.d. x 0.120" x 2.28 lbs/ft (48.3 mm x 3.05 mm x 3.39 kg/m)
	Height over 72" (1830 mm)	2.375" o.d. x 0.154" x 3.65 lbs/ft (60.3 mm x 3.91 mm x 5.43 kg/m)	2.375" o.d. x 0.130" x 3.12 lbs/ft (60.3 mm x 3.30 mm x 4.64 kg/m)
TOP/BOTTOM RAILS (Optional)	1.660" o.d. x 0.140" x 2.27 lbs/ft (42.1 mm x 3.56 mm x 3.38 kg/m)	1.660" o.d. x 0.111" x 1.84 lbs/ft (42.1 mm x 2.82 mm x 2.74 kg/m)	

CHAIN LINK FITTINGS SPECIFICATIONS

MATERIAL	ASTM SPECS	DESCRIPTION	PROTECTIVE COATING
TENSION WIRE METALLIC COATED	A 824	7 gage, Type I	Aluminum coated, 0.40 oz/ft ² (120 g/m ²)
		7 gage, Type II	Zinc Coated, 1.20 oz/ft ² (366 g/m ²)
TENSION WIRE PVC COATED	Proposed	7 gage core	Core wire 0.40 oz/ft ² Zn (120 g/m ²) or 0.20 oz/ft ² Al (60 g/m ²) plus: Class 1 PVC coating, extruded Class 2a PVC coating, extruded/adhered Class 2b PVC coating, fused/adhered
		9 gage core	
BARBED WIRE METALLIC COATED	A 121	Chain Link Grade	Zinc Coated, Class 3, 0.80 oz/ft ² (240 g/m ²)
	A 585	Type I (Standard) Type II (High Security)	Aluminum coated, 0.30 oz/ft ² (90 g/m ²)
BARBED WIRE PVC COATED	Proposed	0.080" Core Wire (2.0 mm)	Core Wire 0.25 oz/ft ² Zn (75 g/m ²) or 0.20 oz/ft ² Al (60 g/m ²) plus: Class 1 PVC coating, extruded Class 2a PVC coating, extruded/adhered Class 2b PVC coating, fused/adhered
BARBED TAPE	None	Stainless Steel	None Required
		Galvanized	Zinc Coated, 0.80 oz/ft ² (240 g/m ²)
MISCELLANEOUS FITTINGS	F 626	Post caps, tie wire, rail ends, sleeves, tension bars, truss rods, bands, barbed wire arms, etc.	Varies, depending on material. See ASTM F 626 for details.

CHAIN LINK GATE SPECIFICATIONS

TYPE	ASTM SPECS	DESCRIPTION	PROTECTIVE COATING
SWING GATES	F 900	Type I, Single Swing Type II, Double Swing	Steel-conform to ASTM F 1043, or Aluminum Alloy
SLIDE GATES	F 1184	Type I, Overhead Slide	
		Type II, Cantilever Slide Class 1-External Rollers Class 2-Internal Rollers	

COLOR AVAILABILITY - FABRIC, FRAMEWORK, FITTINGS



WOODLAND
GREEN
(OPTIONAL)



FOREST
GREEN



BLACK



BROWN



2000

Town of Sewall's Point Building Department - Inspection Log

FRI - 1-14-00

PAGE 1 OF 1

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4590	Abbott 2 High Pt Rd	Drumway 2 footers for well	PASSED	- PTL; SOUTH DRIVE 10:00 NOT READY REESP. V.P.H
4589	DeGios 130 N.S.P. Rd	steel footer for frame gate	PASSED	- WALL LIMIT & VEG. NOTS ONLY - MAKE POND ROTATIONS RE: WALL HGT & PTG. REINT. AS INSP.
4756	Cicoria 176 N.S.P. Rd.	shutter temp. power release	CANCEL	- NO SHUTTER PERMIT (COURT DIL NOT PREC) FAN 4" ELEV; 2:30 V.P. FPL 223-4208 (CAREL/SHER)
4717	Zerco 124 N.S.P. Rd.	check utilities	CANCEL	BY CONTR 1/15 8:15
4764	Brutvan 23 W. High Pt	pool final	PASSED	PERMIT DECS (FILED COPY) RTD TO SITE,
4788	72 S. RIVER	RIVAL	PASSED	5'-0" GATE @ S R 3'-6" " NW N S. OK verify 9'-0" VGT/AH
4785	Hansen 32 N.S.P. Rd.	(grade) IN PROGRESS	PASSED	Noon prefer - POTEX AREA FOREMAN="PERCIVAL"

OTHER: ✓ 16 S. SEWALL'S POINT RD. PW 4764 (PERCE); DELIVERED APPROVED FILED
 RICH DI GROSSA (ADVANCED ELECT. TECH. P.P.) COPY OF REVISION TO SITE;
 ✓ WEST END RIDGE LAND (TOWN SITE) NEW ELECT. METER LOCATION - VERIFY
 (w/ JOE CARP) SERVICE LOCATION? NOTE: GROUND CLAMP (NECESSARY) (MUST BE ABOVE GRADE)

INSPECTOR: _____

DATE: _____

6856

WINDOWS

&

DOORS

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 8/10/04

BUILDING PERMIT NO. 6856

Building to be erected for HOCKSTEPIER

Type of Permit REPLACE WINDOWS/DOORS
Building Fee 35.00

Applied for by ALPHA SOUTH CONST. (Contractor)

Subdivision LUCINDIA Lot 21 Block _____

Address 72 S. RIVER ROAD

Type of structure SFR

Parcel Control Number:
138410070000021010000

Amount Paid 35.00 Check # _____ Cash Other Fees (_____)

Total Construction Cost \$ 60000

Radon Fee _____
Impact Fee _____
A/C Fee _____
Electrical Fee _____
Plumbing Fee _____
Roofing Fee _____
TOTAL Fees 35.00

Signed Echlio Ruiz
Applicant

Signed Gene Sumner (RB)
Town Building Official

PERMIT

- | | | |
|--|--|---|
| <input checked="" type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input checked="" type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input checked="" type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input checked="" type="checkbox"/> ADDITION
<u>WINDOW + DOOR REPL</u> |

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

Date: _____

Permit Number: _____

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

OWNER/TITLEHOLDER NAME: Andrew Hockstetter Phone (Day) 7722882238 (Fax) _____

Job Site Address: 72 South River Blvd City: Sewall Point State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) LUCINDIA, 21, PLAT # 3 Parcel Number: _____

Owner Address (if different): 72 SOUTH RIVER RD City: Sewall Point State: FL Zip: 34996

Description of Work To Be Done: Windows & Door Replacement + shutters

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: Alpha Const. South Phone: 9543940066 Fax: 9549870619

Street: 5800 SW 25 ST #2 City: ALD State: FL Zip: 33023

State Registration Number: CGC #058622 State Certification Number: _____ Martin County License Number: _____

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 5000.00 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) _____

State of Florida, County of: Brow

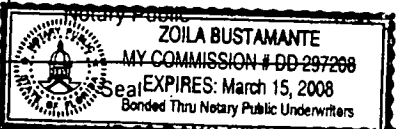
This the 30 day of July, 2004

by _____ who is personally

known to me or produced _____

as identification. _____

My Commission Expires: _____



CONTRACTOR SIGNATURE (required) _____

On State of Florida, County of: Brow

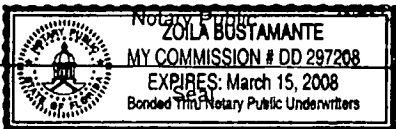
This the 30 day of July, 2004

by _____ who is personally

known to me or produced _____

As identification. _____

My Commission Expires: _____



Date: _____

Permit Number: _____

Town of Sewall's Point BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME: ANDREW HOCKSTETER Phone (Day) 9546800506 (Fax) 9549870619

Job Site Address: 72 South River Rd City: Stuart State: FL Zip: 34996

Legal Description of Property: LUCINDA, 21, PLAT#3 Parcel Number: _____

Owner Address (if different): 72 South River Rd City: Stuart State: FL Zip: 34996

Description of Work To Be Done: Windows & Doors Replacement + shutters

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: Alpha South Coast Phone: 9913940066 Fax: 9549870619

Street: 5806 SILVER ST #2 City: HWD State: FL Zip: 33023

State Registration Number: CGC 58622 State Certification Number: _____ Martin County License Number: _____

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 600,000 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

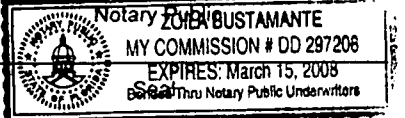
AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carpport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
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OWNER OR AGENT SIGNATURE (required)
Andrew Hocksteter
State of Florida, County of: Brow
This the 30 day of July, 2007
by _____ who is personally
known to me or produced
as identification. [Signature]

My Commission Expires: _____


CONTRACTOR SIGNATURE (required)
[Signature]
On State of Florida, County of: Brow
This the 30 day of July, 2007
by _____ who is personally
known to me or produced
As identification. [Signature]

My Commission Expires: _____




SHUTTER PRODUCT APPROVAL AUTHORIZATION FORM


Building Official

Dear Mr. Building Official:

We are Dade County Notice of Acceptance holder for the 22gauge panels under number 02-1120.02

This letter authorizes Alpha South Corp to use our 22ga. Panels under number 02-1120.02 to be used at the following job:

Sincerely,


Victor V. Cruz
President

or

Enrique Revilla
Vice-President

1. This form must accompany the application for building permit and shall become part of the permit documents.
2. The authorized signature must bear the raised corporate seal of the company holding the Dade County Notice of Acceptance.

PERMIT # _____

TAX FOLIO # _____

NOTICE OF COMMENCEMENT

STATE OF FL

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY(INCLUDE STREET ADDRESS IF AVAILABLE):

LUCINDA, 21 PLAT# 3

GENERAL DESCRIPTION OF IMPROVEMENT: window & Door Replacement + shutters

OWNER: Andrew Hockstetter

ADDRESS: 72 S. River RD

PHONE #: 772 288 2232 **FAX #:** 954 987 0619

CONTRACTOR: Alpha South coast

ADDRESS: 5806 S. EU. 25 ST #2 HWD FL 33023

PHONE #: 954 394 0066 **FAX #:** 954 987 0619

SURETY COMPANY(IF ANY): _____

ADDRESS: _____

PHONE # _____ **FAX #:** _____

BOND AMOUNT: _____

LENDER: _____

ADDRESS: _____

PHONE #: _____ **FAX #:** _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ **FAX #:** _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____ **FAX #:** _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____

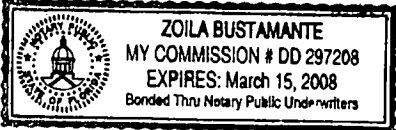
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Andrew Hockstetter
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 30 DAY OF July 2004 BY _____

PERSONALLY KNOWN
PRODUCED ID _____
TYPE OF ID _____

Zoila Bustamante
NOTARY SIGNATURE





Home Office:
One Nationwide Plaza
Columbus, OH 43215-2220

CERTIFICATE OF INSURANCE

The company indicated below certifies that the insurance afforded by the policy or policies numbered and described below is in force as of the effective date of this certificate. This Certificate of Insurance does not amend, extend, or otherwise alter the Terms and Conditions of Insurance coverage contained in any policy numbered and described below.

CERTIFICATE HOLDER:

TOWN OF SEWELLS POINT
1 SO SEWELLS POINT ROAD
SEWELLS POINT, FL 34996

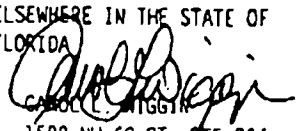
INSURED:

ALPHA SOUTH CONSTRUCTION INC
17695 OAKWOOD AVENUE
BOCA RATON, FL 33487

TYPE OF INSURANCE	POLICY NUMBER & ISSUING CO.	POLICY EFF. DATE	POLICY EXP. DATE	LIMITS OF LIABILITY (*LIMITS AT INCEPTION)
LIABILITY	77-AC-041959-3001	09-29-03	09-29-04	
<input checked="" type="checkbox"/> Liability and Medical Expense	NATIONWIDE MUTUAL INSURANCE CO.			Any One Occurrence..... \$ 1,000,000
<input checked="" type="checkbox"/> Personal and Advertising Injury				Any One Person/Org \$ 1,000,000
<input checked="" type="checkbox"/> Medical Expenses				ANY ONE PERSON \$ 5,000
<input checked="" type="checkbox"/> Fire Legal Liability				Any One Fire or Explosion \$ 100,000
				General Aggregate* \$ 2,000,000
				Prod/Comp Ops Aggregate* .. \$ 1,000,000
<input type="checkbox"/> Other Liability				
AUTOMOBILE LIABILITY				
<input type="checkbox"/> BUSINESS AUTO				Bodily Injury (Each Person) \$
<input type="checkbox"/> Owned				(Each Accident) \$
<input type="checkbox"/> Hired				Property Damage (Each Accident) \$
<input type="checkbox"/> Non-Owned				Combined Single Limit \$
EXCESS LIABILITY				
<input type="checkbox"/> Umbrella Form				Each Occurrence \$
				Prod/Comp Ops/Disease Aggregate* \$
STATUTORY LIMITS				
<input type="checkbox"/> Workers' Compensation and Employers' Liability				BODILY INJURY/ACCIDENT ... \$
				Bodily Injury by Disease EACH EMPLOYEE \$
				Bodily Injury by Disease POLICY LIMIT \$

DESCRIPTION OF OPERATIONS/LOCATIONS
VEHICLES/RESTRICTIONS/SPECIAL ITEMS
SAME AND TEMPORARY WORK SITES
ELSEWHERE IN THE STATE OF
FLORIDA

Effective Date of Certificate: 09-29-2003
Date Certificate Issued: 08-10-2004

Authorized Representative: 
Countersigned at: 1500 NW 62 ST, STE 304
FT LAUDERDALE, FL 33309

FORM NO. 401-280/AC 25-061

Board of County Commissioners, Broward County Florida
BROWARD COUNTY OCCUPATIONAL LICENSE TAX

FOR PERIOD OCTOBER 1, 2003 THRU SEPTEMBER 30, 2004

RENEW ON OR BEFORE
SEPTEMBER 30, 2003

RENEWAL TRANSFER SEC # 13 / 130
 NEW DATE BUSINESS OPENED 03/11/03

STATE OR COUNTY CERT/REG # CGC058622
Business Location Address:

4631 NW 31 AVE 133
TAMARAC FL 33309
BUSINESS PHONE: 954-561-0399

TAX	7.00
BACK TAX	22.00
PENALTY	6.75
T. C. FEE	25.00
TRANSFER	
TOTAL	85.75

PENALTIES IF PAID	
OCT. - 10%	NOV. - 15%
DEC. - 20%	After DEC. 31 - 25%
* Plus Tax Collection Fee of up to \$25.00 Based on Cost of License if Paid On or After November 30, 2003	

ACCOUNT NUMBER
180-0405212

ALPHA SOUTH CONSTRUCTION
STOKES JICE L
4631 NW 31 AVE #133
TAMARAC FL 33309

THIS LICENSE MUST BE CONSPICUOUSLY DISPLAYED
TO PUBLIC VIEW AT THE LOCATION ADDRESS ABOVE.

JICE STOKES
BROWARD COUNTY
FLORIDA

BROWARD COUNTY REVENUE COLLECTOR
115 S. Andrews Avenue, Governmental Center Annex
FORT LAUDERDALE, FL 33301

TYPE OF LICENSE TAX PAID
GENERAL CONTRACTOR
3 UNITS

2003 - 2004

PAYMENT RECEIVED AS VALIDATED ABOVE

*SEE INSTRUCTIONS ON BACK OF LAST COPY

0000005075 0000008575 0000001800005266 1001 0

REVENUE COLLECTION DIVISION
BROWARD COUNTY, FLORIDA
130722, 0901 of 0901
DATE 04/11/03
TIME 09:11:13A



STATE OF FLORIDA

ACF0511054

DEPARTMENT OF BUSINESS AND
PROFESSIONAL REGULATION

CGC058622 07/31/02 200028747

CERTIFIED GENERAL CONTRACTOR
STOKES, JICE L
ALPHA SOUTH CONSTRUCTION

IS CERTIFIED under the provisions of Ch. 489 FS.

Expiration date: AUG 31, 2004 550 FL07073100753

STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION

CONSTRUCTION INDUSTRY

CERTIFICATE OF EXEMPTION FROM FLORIDA
WORKERS' COMPENSATION LAW

EFFECTIVE: 02/15/2003
EXPIRATION: 02/14/2005
PERSON: STOKES JICE
SSN: 254-78-8223
FEIN: 650664745
BUSINESS: ALPHA SOUTH CONSTRUCTION INC

17695 OAKWOOD DRIVE
BOCA RATON FL 33487



IS CERTIFIED under the provisions of Ch. 489 FS.
Expiration date: AUG 31, 2004 SEQ #03011400148

CERTIFIED ROOFING CONTRACTOR
STOKES, JICE L
ALPHA SOUTH CONSTRUCTION INC

CCCI325668 01/14/03 200248717



STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND
PROFESSIONAL REGULATION
AC#0749033

RE-ISSUANCE

01-23-2004



TOM GALLAGHER
CHIEF FINANCIAL OFFICER

STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION

RE-ISSUANCE

** RE-ISSUANCE OF CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION **

This certificate exempts the Officer of the Corporation of the Member of the Limited Liability Company listed below from the provision of Florida Workers' Compensation Law for the period indicated below.

EFFECTIVE DATE: 01/16/2004 EXPIRATION DATE: 02/14/2005

CORPORATE OFFICER/
LLC MEMBER NAME: STOKES JICE

FEIN: 650664745

BUSINESS NAME AND ADDRESS: ALPHA SOUTH CONSTRUCTION INC
4631 N W 31ST AVENUE #133
FORT LAUDERDALE FL 33309

SCOPE OF BUSINESS OR TRADE: GENERAL CONTRACTOR

IMPORTANT: Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.

QUESTIONS? (850) 488-2333

DWC - 253 RE-ISSUANCE OF CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION REVISED 11-03

Please cut out the card below and retain for inspection by any Department of Financial Services representative while conducting work

<p>STATE OF FLORIDA DEPARTMENT OF FINANCIAL SERVICES DIVISION OF WORKERS' COMPENSATION</p> <p>** RE-ISSUANCE OF CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION **</p> <p>This certificate exempts the Officer of the Corporation listed below from the provision of Florida Workers' Compensation Law for the period indicated below.</p> <p>EFFECTIVE DATE: 01/16/2004 EXPIRATION DATE: 02/14/2005</p> <p>CORPORATE OFFICER/ LLC MEMBER NAME: STOKES JICE FEIN: 650664745</p> <p>BUSINESS NAME AND ADDRESS: ALPHA SOUTH CONSTRUCTION INC 4631 N W 31ST AVENUE #133 FORT LAUDERDALE FL 33309</p> <p>SCOPE OF BUSINESS OR TRADE: GENERAL CONTRACTOR</p>	<p>IMPORTANT</p> <p>F This certificate applies only to the corporate officer named on this certificate and applies only within the scope of the business or trade listed hereon.</p> <p>O</p> <p>L A copy of this card or the duplicate above must be carried and available for inspection at all time while conducting any construction work.</p> <p>D</p> <p>H Pursuant to chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.</p> <p>E Notices of election to be exempt and certificates of election to be exempt shall be subject to revocation if, at any time after the filing of the notice or the issuance of the certificate, the person named on the notice or certificate no longer meets the requirements of this section for issuance of a certificate. The department shall revoke a certificate at any time for failure of the person named on the certificate to meet the requirements of this section.</p> <p>QUESTIONS? (850) 488-2333</p>
--	--

CUT HERE

DWC - 253 RE-ISSUANCE OF CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION REVISED 11-03



SHUTTER PRODUCT APPROVAL AUTHORIZATION FORM


Building Official

Dear Mr. Building Official:

We are Dade County Notice of Acceptance holder for the 22gauge panels under number 02-1120.02

This letter authorizes Alpha South Corp to use our 22ga. Panels under number 02-1120.02 to be used at the following job:

Sincerely,


Victor V. Cruz
President

or

Enrique Revilla
Vice-President

1. This form must accompany the application for building permit and shall become part of the permit documents.
2. The authorized signature must bear the raised corporate seal of the company holding the Dade County Notice of Acceptance.

WINDOW/DOOR SCHEDULE

I.D. NO	APPOX OPENING SIZE (WXH)	DESIGNATION	* TYPE	IMPACT PROTECTION		REMARKS
				IMPACT GLASS	SHUTTER	
	37"X63"	25	SH		X	EXAMPLE
1	37X26	4	SH		X	single hung
2	72X48	1,2,3,6,10,14	HRW		X	HORIZONTAL SLIDING WINDOW
3	48X48	7			X	" "
4	72X80	5,8,9,11,12,13	SL		X	SLIDING DOORS
5	" "	15,16	SL		X	" "
6						
7						
8						
9						
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30						

*** TYPE WINDOWS:**

- SH -SINGLE HUNG
- DH -DOUBLE HUNG
- AWN -AWNING
- CAS -CASEMENT
- SL -SLIDING
- FIX -FIXED

FILE COPY
TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE

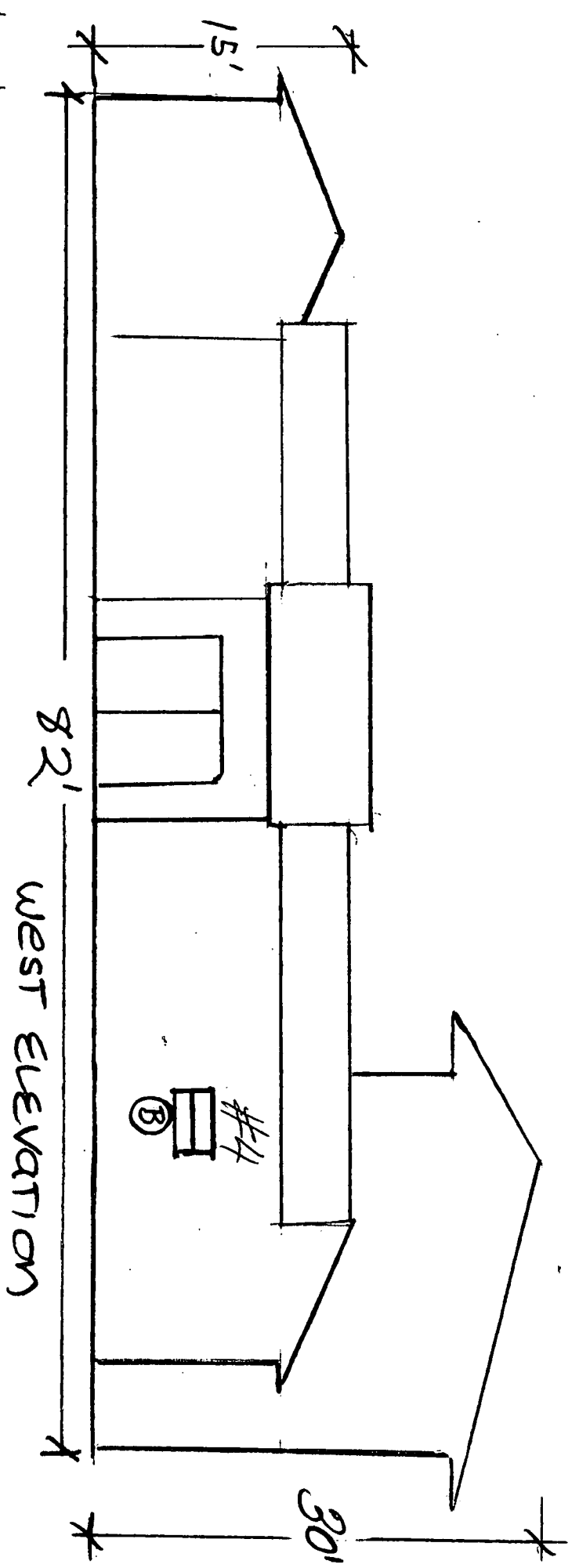
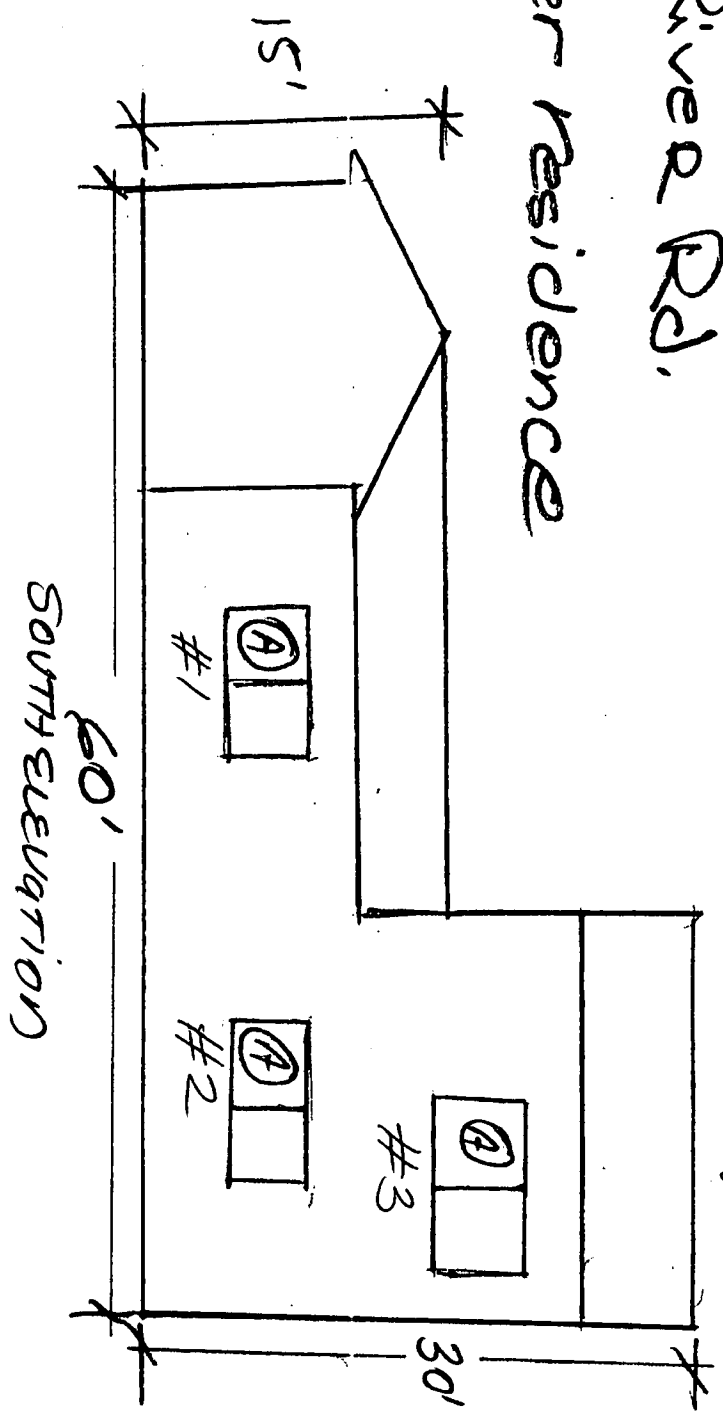
DATE: 6/4/04

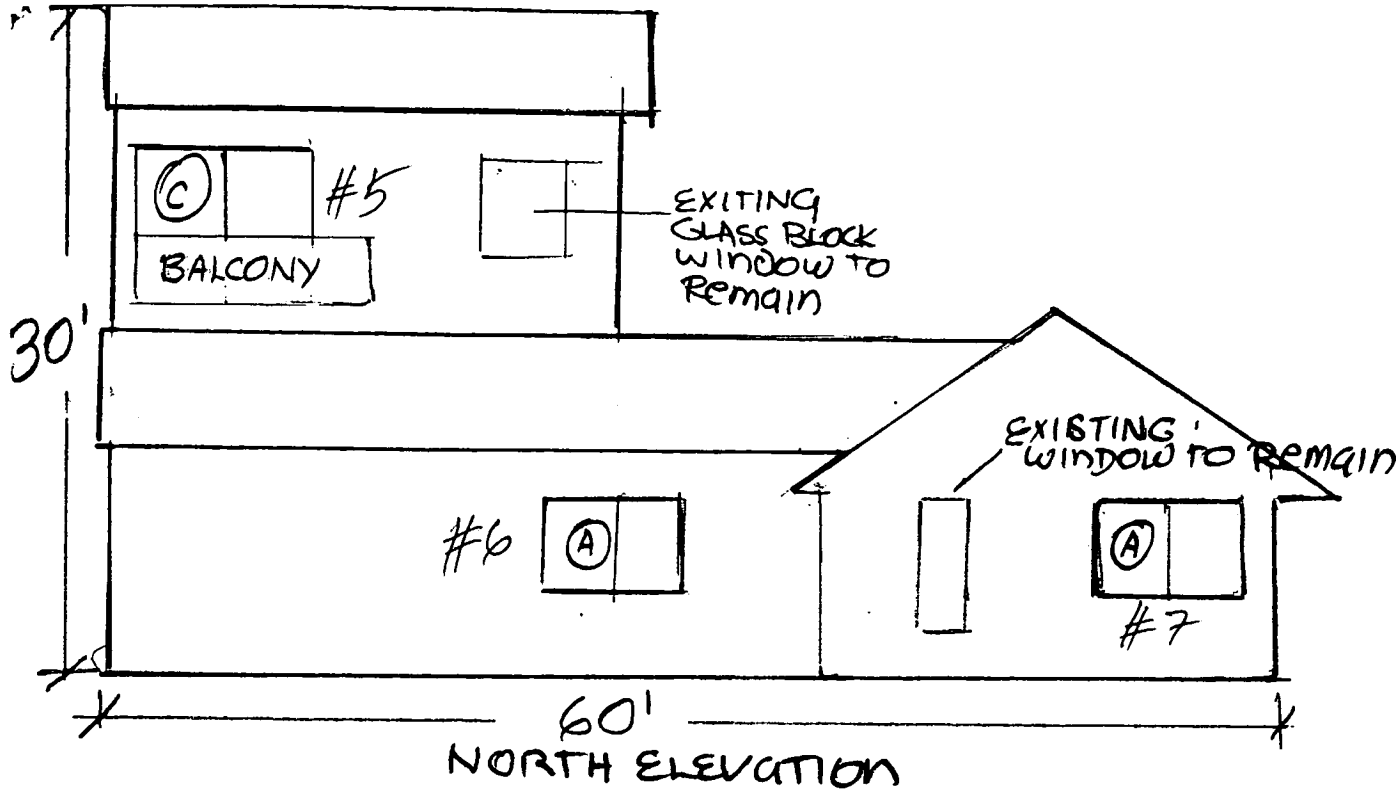
[Signature]

BUILDING OFFICIAL
Gene Simmons

Page #10

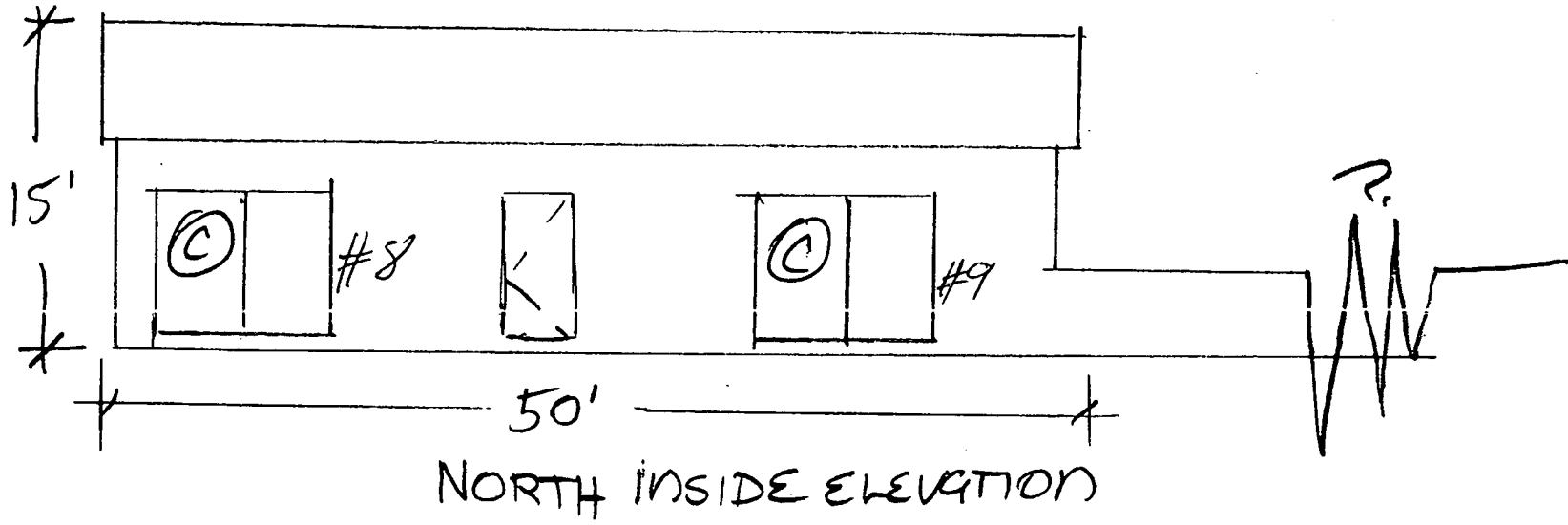
72 South River Rd.
Sewall
HACKSTETER RESIDENCE

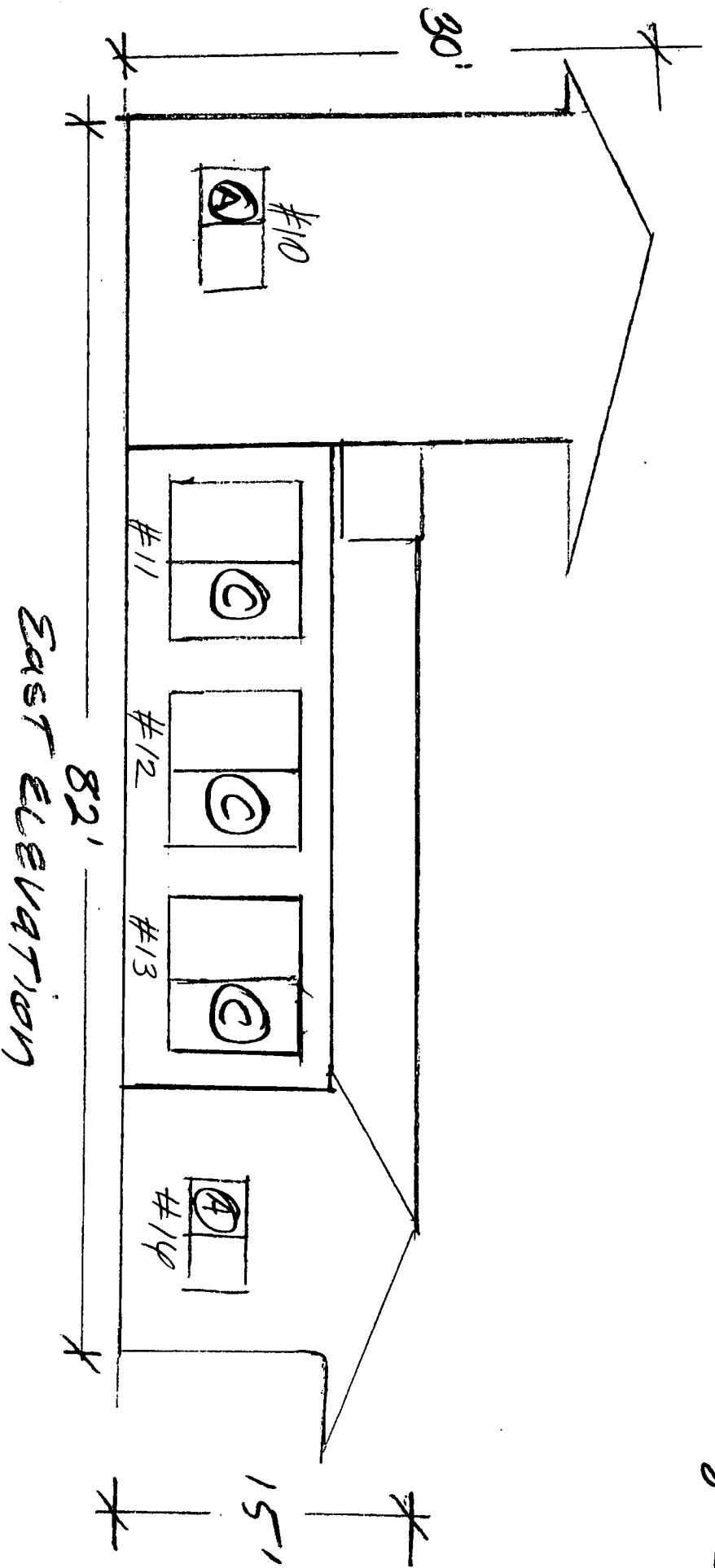


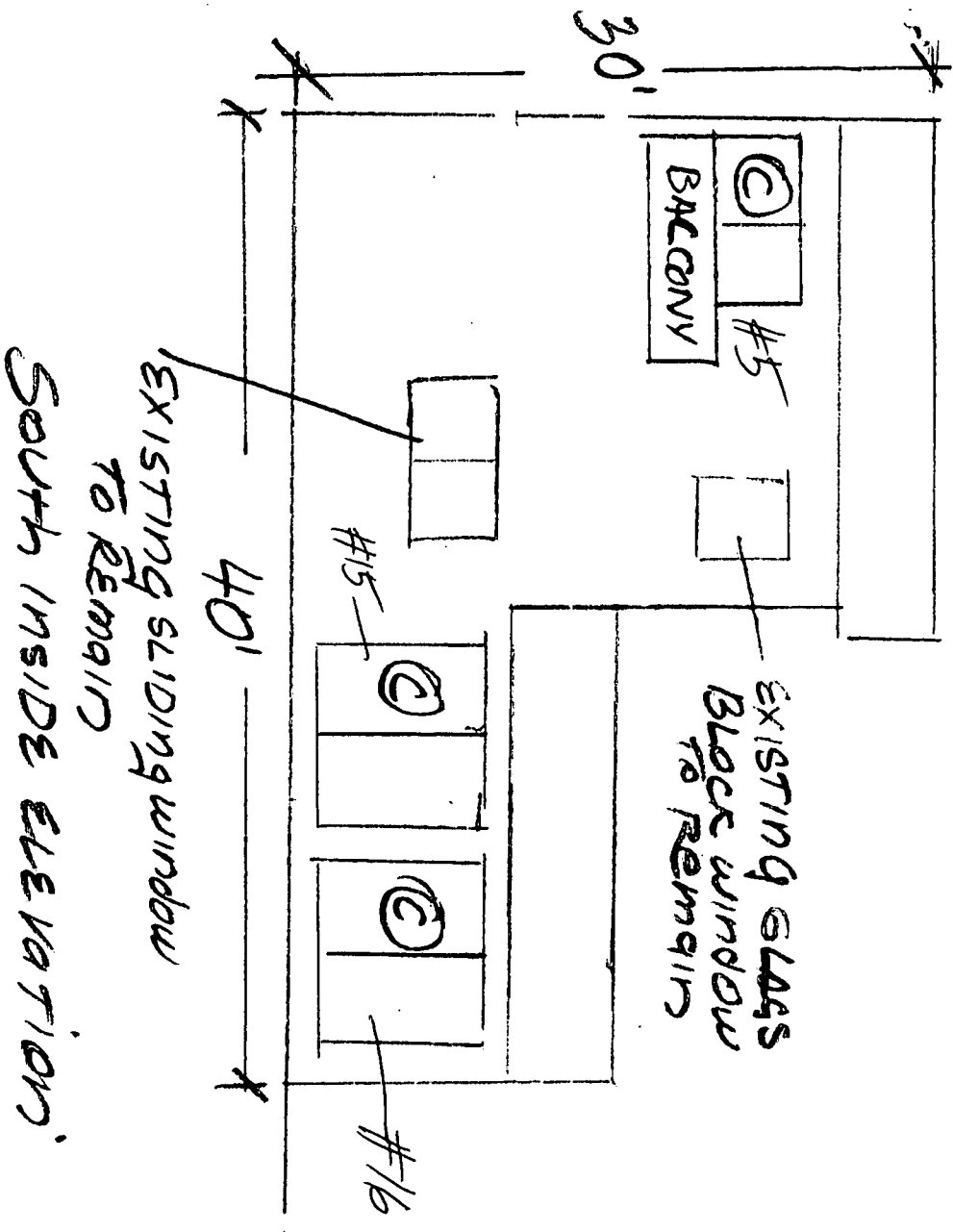


Window Schedule

- A - HR 72" X 48"
- B - SH 37" X 26"
- C - SGD 72" X 80"



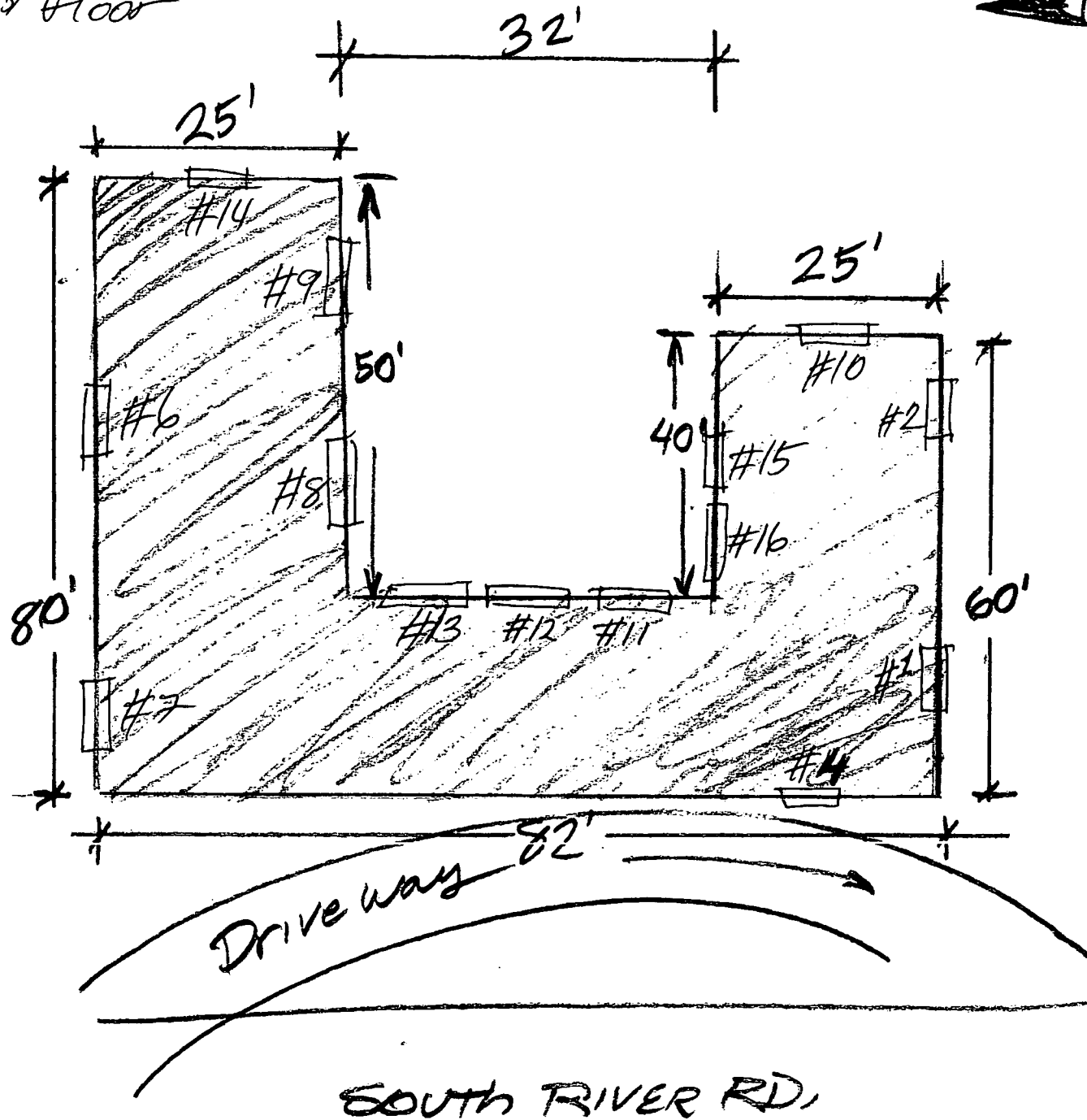




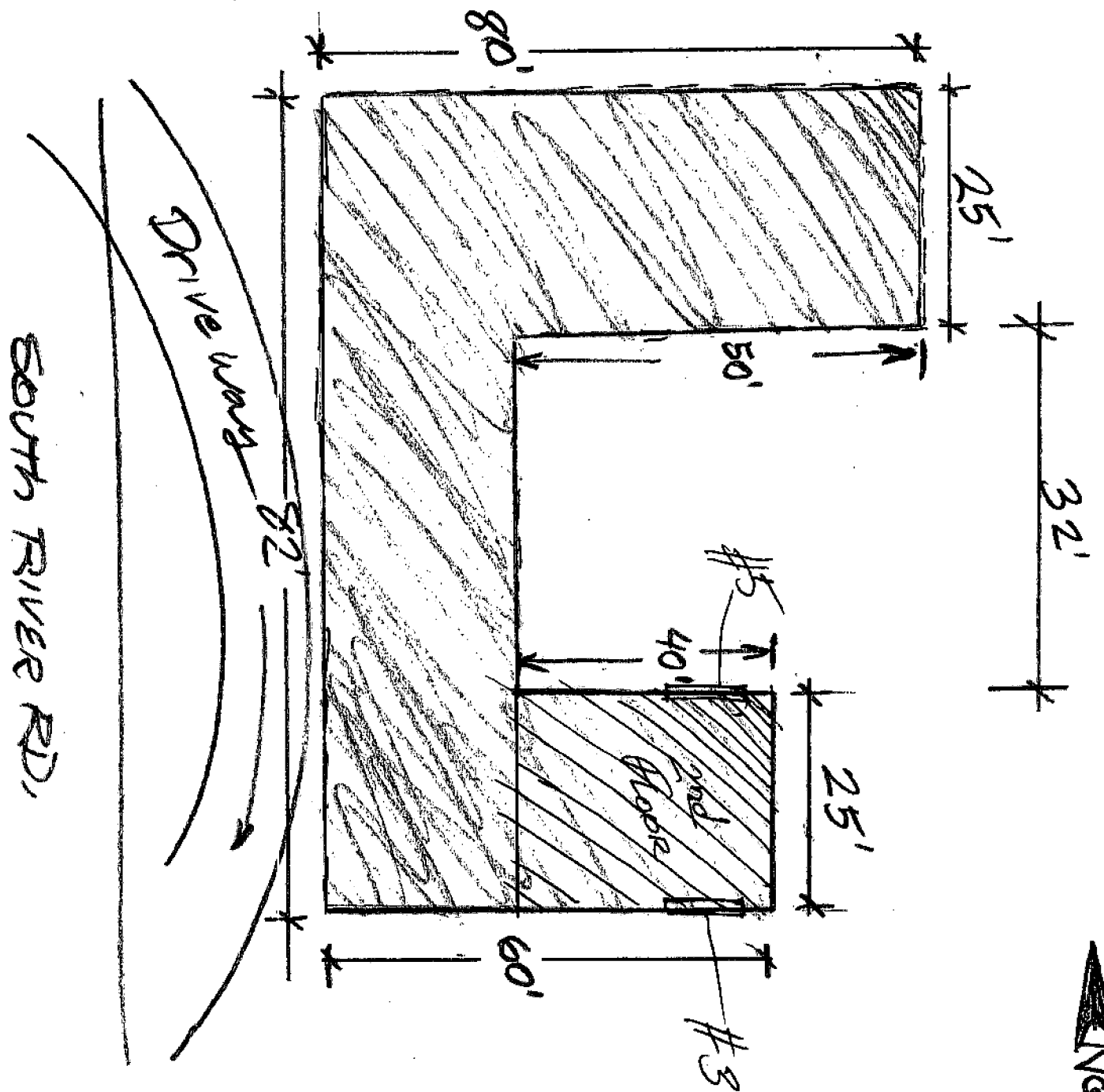
HOCKSTETTER Residence
72 SOUTH RIVER RD,

Page #5

1st Floor



HOCKSTETTER Residence
72 South River Rd,



Page #6

North



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**Florida Storm Panels, Inc.
14475 N.W. 26th Avenue
Opa-Locka, Florida 33054**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: 0.029" (min.) Galvanized Steel Storm Panels Shutter

APPROVAL DOCUMENT: Drawing No. 02-868-111, titled " 22 ga Galvanized Steel Storm Panels ", sheets 1 through 4 of 4, prepared by Frank L. Bennardo, P.E., dated November 18, 2002, last revision dated January 02, 2003 bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each panel shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by **Helmy A. Makar, P.E.**



**NOA No 02-1120.02
Expiration Date: 01/23/2008
Approval Date: 01/23/2003**