

**92 South River Road**

TOWN OF  
SEWALL'S POINT  
FLORIDA

Permit No. 856  
Date 7/24/78

APPLICATION FOR BUILDING PERMIT

This application must be accompanied by three sets of complete plans, to scale (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections, plumbing and electrical layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house construction.

-Owner Robert & Rita Herrick Present address 1007 Easy Street

Phone 465-1317 Robert Herrick dba Fort Pierce, Florida 33450

-General contractor Peppertree properties address 1007 Easy Street  
Ft. Pierce, Fla. 33450

Phone 465-1317

Where licensed St. Lucie Co., State of Fla. License No. RR0027601

-Plumbing contractor Huber Plumbing & Supply Co. License No. RM0026707

-Electrical contractor Alpine Electric Co. License No. Martin Co. #62

-Street the building will front on South River Road

Subdivision Rio Vista Lot No. 75 Area 18,654 sq.ft.

-Building area, inside walls  
(excluding garage, carport, porches, etc.) ..square feet 2214

-Other construction (pools, additions, etc.) Garage 509 sq.ft.  
screened patio 381 sq.ft.

-Contract price  
(excluding land, carpeting, appliances, landscaping, etc) \$ 51,000.

-Total cost of permit \$ 275.00

-Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the building must be completed in accordance with the approved plan, and that the site will be clean and rough-graded within the 12 month period.

[Signature]  
General Contractor

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood.

[Signature]  
Owner

Note: speculation builders will be required to sign both of the above statements.

TOWN RECORD

Date submitted \_\_\_\_\_

Approved: [Signature] Building Inspector Date 7/24/78

Approved: [Signature] Commissioner Date 7/25/78

Certificate of Occupancy issued Jan 5, 1979 Date \_\_\_\_\_

856

#856

WARRANTY DEED

THIS DEED dated the date set forth hereinbelow between GUSTAV SCHICKEDANZ, Individually and as Trustee, joined by his wife, ANN SCHICKEDANZ, of Toronto, Province of Ontario, Canada, the Grantor, and ROBERT S. HERRICK and RITA P. HERRICK, his wife, whose post office address is 1007 Easy Street, Fort Pierce, Florida 33450, of the County of St. Lucie, State of Florida, Grantee,

W I T N E S S E T H

That for the sum of TEN (\$10.00) DOLLARS and other good and valuable consideration, said Grantor does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the said Grantee all that certain parcel of land situate in Martin County, Florida, described as follows:

Lots 31, 32, 37, 43, 44, 45, 51, 53, 57 and 75, RIO VISTA SUBDIVISION, according to the plat thereof filed 11 December 1975 in Plat Book 6, Page 95, Martin County, Florida, public records.

SUBJECT, HOWEVER, to the following:

1. Taxes accruing subsequent to 12/31/77;
2. Zoning regulations and ordinances of the Town of Sewalls Point, Florida;
3. The provisions and easements set forth on the aforesaid plat of RIO VISTA SUBDIVISION;
4. The provisions of DECLARATION OF PROTECTIVE COVENANTS COVERING ALL OF RIO VISTA SUBDIVISION recorded in Official Records Book 393, Page 1469, Martin County, Florida, public records, as amended by the First Amendment to Declaration of Protective Covenants covering all of Rio Vista Subdivision recorded in Official Records Book 403, Page 549, Martin County, Florida, public records,

and the said Grantor does hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the said Grantor has set forth his Hand and Seal this 22 day of June, 1978.

WITNESSES:

[Signature]  
[Signature]

[Signature] (SEAL)  
 Gustav Schickedanz, Individually  
 and as Trustee  
[Signature] (SEAL)  
 Ann Schickedanz

DOMINION OF CANADA  
PROVINCE OF ONTARIO  
DISTRICT OF YORK

The foregoing instrument was acknowledged before me by GUSTAV SCHICKEDANZ, Individually and as Trustee, joined by his wife, ANN SCHICKEDANZ, on this \_\_\_ day of \_\_\_\_\_, 1978.

(NOTARY SEAL)

\_\_\_\_\_  
Notary Public  
My Commission is for life.  
It does not expire.

#856

ALSO  
COUNTY  
065103  
STATE OF FLORIDA  
DOCUMENTARY STAMP TAX  
DEPT OF REVENUE  
P.B. JUL 17 78  
638.70

ALSO  
COUNTY  
041131  
FLORIDA  
DEPT. OF REVENUE  
JUL 17 78  
P.B. 19003  
DOCUMENTARY SURTAX  
234.30

20 JUL 17 P 1: 56

#856

THIS PERMIT EXPIRES ONE (1) YEAR FROM DATE OF ISSUANCE

Application/Permit No. HD 78-621

MARTIN County Health Dept.

Permit VOID if well or septic system is installed in a location other than area permitted. PRIOR HEALTH DEPARTMENT APPROVAL REQUIRED

DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES " DIVISION OF HEALTH " Application and Permit " of Individual Sewage Disposal Facilities

Section I - Instructions:

- 1. Percolation test data, soil profile and water table elevation information must be attached. (Note: Test must be made at proposed location of system).
2. Existing building and proposed buildings on lot must be shown and drawn to scale at their location or proposed location (Use block on this sheet or attach plot plan).
3. Proposed location of septic tank must be shown on plan.
4. Any pond or stream areas must be indicated on the plan.
5. Indicate name and date of recording of subdivision. If not recorded, attach metes and bounds description.
6. Complete the following information section.

Notes:

- 1. Not valid if sewer is available.
2. Individual well must be 75 feet from any part of system.
3. Call 287-2277 and give this office a 24-hour notice when ready for inspection

Section II - Information:

- 1. Property Address (Street & House No.) SOUTH RIVER ROAD Lot 75 Block        Subdivision RIO VISTA SUBDIVISION Date Recorded        Directions to Job NORTH ON SEWELL'S POINT ROAD, RIGHT ON S. RIVER ROAD, 3 LOT ON RIGHT
2. Owner or Builder ROBERT HERRICK P.O. Address 1007 EASY ST. City FT. PIERCE
3. Specifications 3 BDRM Phone # 465-8981 1317

Tank        Drainfield        Gals.        ft. of 6" Clay tile or 5" perforated plastic drain in a        3' trench or        ft. of 4" clay drain or 4" perforated plastic drain in an        18" trench

Scale 1" = 50'

(Rear)

REMOVE ALL IMPERVIOUS MATERIALS TO A DEPTH OF 6' AND BACKFILL WITH A GOOD GRADE OF SAND IN ENTIRE AREA OF DRAINFIELD. SEE ATTACHED PLOT PLAN SHEET 3 OF 3

- 4. House to be constructed: Check one:        FHA        VA        Conventional

This is to certify that the project described in this application, and as detailed by the plans and specifications and attachments will be constructed in accordance with state requirements.

PRICE ENGINEERING CO. FOR: Applicant: ROBERT HERRICK Please Print

(Front) (Name of Street or State Road)

Signature: [Signature]

Date: JULY 18, 1978

\*\*\*\*\*DO NOT WRITE BELOW THIS LINE\*\*\*\*\*

Section III - Application Approval & Construction Authorization

Installation subject to following special conditions: Separate septic system from drive way

The above signed application has been found to be in compliance with Chapter 17-1 Florida Administrative Code, and construction is hereby approved, subject to the above specifications and conditions.

By: [Signature] County Health Dept. Martin Date 7/21/78

Section IV - Final Construction Approval

Construction of installation approved:        Yes        No

Date:        By:        FHA No.        VA No.       

\*\*\*\*\*

#856

DEPARTMENT OF HEALTH AND REHABILITATIVE  
SERVICES

DIVISION OF HEALTH

INDIVIDUAL SEWAGE DISPOSAL FACILITIES  
DATA SHEET

Location: LOT 75  
RIO VISTA S/D  
M-6-95 Applicant PRICE ENGINEERING Co. FOR:  
ROBERT HERRICK  
SOUTH RIVER ROAD County MARTIN

NOTE: This septic tank system is not located within 50 feet of the high water line of a lake, stream, canal or other waters, nor within 75 feet of any private well; nor within 100 feet of any public water supply; nor within 10 feet of water supply pipes; nor within 100 feet of any public sewer system.

SEE ATTACHED  
PLOT PLAN

SHT. 3 OF 3

Plot plan must show all data required in 10D-60: 2(a) and all other pertinent data.

NOTE: Contractor is responsible for verifying all demarcations shown in the above note prior to installation of septic tank system.

PLAN  
Scale: 1" = \_\_\_\_\_

SOIL DATA

0	CL. I, GP. SW. 0'-6"
1	
2	
3	
4	CL. I, GP. SP. 4'-0"
5	NO WATER EN COUNTERED
6	
7	
8	

LEGEND

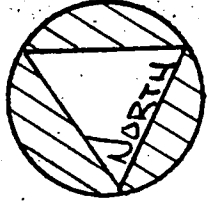
Drainage Pattern  
Proposed Septic Tank and Drainfield  
Proposed Water Supply Well  
Existing Water Supply Well  
Soil Boring & Percolation Test Location:

Soil Boring Log:

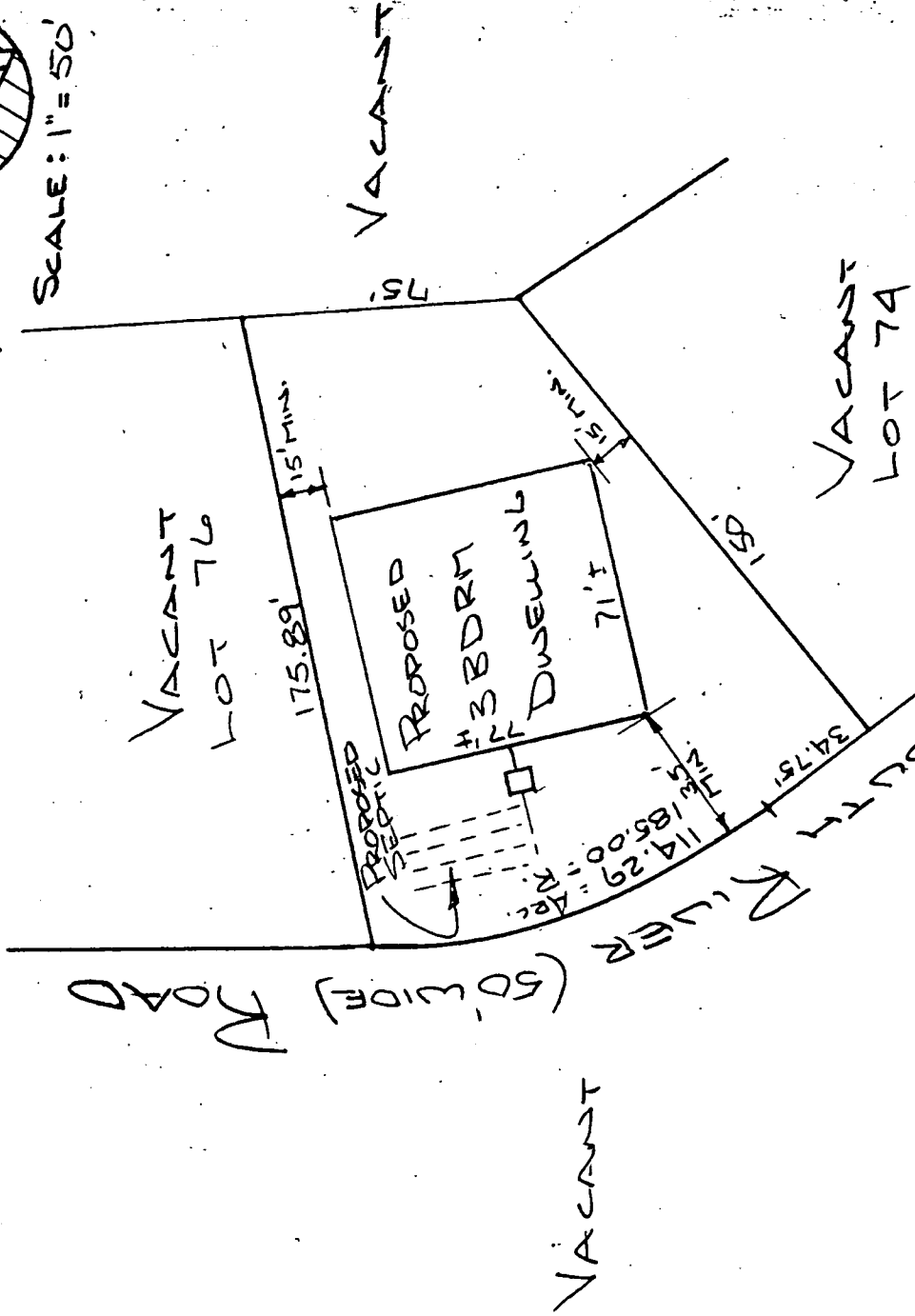
AS SHOWN ABOVE  
Soil Identification: CLASS \_\_\_\_\_ GROUP \_\_\_\_\_  
Soil Characteristics SANDY  
Percolation Rate 1/2 min/inch  
Water Table Depth 4'-6"  
Water Table Depth During Wet Season 4'-0"  
Compacted Fill of -0- Required  
Compacted Fill Checked By: \_\_\_\_\_  
Date \_\_\_\_\_

Ronald Price  
CERTIFIED BY:  
RONALD S. PRICE  
Florida Professional  
Number 17788  
Date 7/18/78 Job # 78-221  
Sheet 2 Of 3

#856



SCALE: 1" = 50'



\* NOTE: CITY WATER PROVIDED  
 PREPARED FOR:  
 ROBERT HERRICK  
 FORT PIERCE, FLORIDA

PREPARED BY:  
 PRICE ENGINEERING CO.  
 STUART, FLORIDA

- PLOT PLAN -

- DESCRIPTION -  
 " RIO VISTA SUBDIVISION"  
 BEING KNOWN AS LOT 75, BLOCK 1  
 AS RECORDED IN PLAT BOOK 6,  
 PAGE 95, PUBLIC RECORDS OF  
 MARTIN COUNTY, FLORIDA.

Ronald J. Price

DWG. BY: *[Signature]* DATE: 7/18/78 ISSUED BY: *[Signature]* DATE: 7/19/78 JOB No. 78-221

#8856

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 11-15-78

This is to request that a Certificate of Approval for Occupancy be issued to \_\_\_\_\_  
For property built under Permit No 856 Dated July 2nd, 1978 when completed in  
conformance with the Approved Plans.

Signed \_\_\_\_\_

RECORD OF INSPECTIONS

Item	Date	Approved by
Set-backs and footings	<u>07/02/78</u>	<u>Jan</u>
Rough plumbing	<u>07/10/78</u>	<u>Jan</u>
Slab	<u>07/17/78</u>	<u>Jan</u>
Perimeter beam	<u>11/13/78</u>	<u>Jan</u>
Close-in, roof and rough electric	<u>11/15/78</u>	<u>Jan</u>
Final Plumbing	<u>11/15/78</u>	<u>Jan</u>
Final Electric	<u>11/15/78</u>	<u>Jan</u>

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector [Signature] date 11-15-78

Approved by Building Commissioner \_\_\_\_\_ date \_\_\_\_\_

Utilities notified \_\_\_\_\_ Jan 15, 1978 date

Original Copy sent to \_\_\_\_\_

(Keep carbon copy for Town files)



**915**

**POOL**

RECEIVED  
DEC 20 1978

TOWN OF  
SEWALL'S POINT  
FLORIDA

Permit No. #915  
Date 12-20-78

APPLICATION FOR BUILDING PERMIT

This application must be accompanied by three sets of complete plans, to scale (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections, plumbing and electrical layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house construction.

-Owner VALRIE VANAKEM Present address 5008 Birch DR  
Phone 465 1317

-General contractor Louder Pools address 4306 So. US 1  
Phone 283 4040 FT. PIERCE

Where licensed Martain Co. & State License No. CPCO1400

-Plumbing contractor No License No. \_\_\_\_\_

-Electrical contractor \_\_\_\_\_ License No. \_\_\_\_\_

-Street the building will front on River Rd.

Subdivision Rio Vista Lot No. 75 Area \_\_\_\_\_

-Building area, inside walls (excluding garage, carport, porches, etc.)..square feet 1300

-Other construction (pools, additions, etc.) \_\_\_\_\_

-Contract price (excluding land, carpeting, appliances, landscaping, etc) \$ 8000

-Total cost of permit \$ 40

-Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the building must be completed in accordance with the approved plan, and that the site will be clean and rough-graded within the 12 month period.

Robert L. Ham  
General Contractor

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood.

Valrie Vanakem  
Owner

Note: speculation builders will be required to sign both of the above statements.

TOWN RECORD

Date submitted \_\_\_\_\_

Approved: James J. Mezzacasa Building Inspector Date 12/22/78

Approved: John J. Guendler Commissioner Date 22 Dec 1978

~~Certificate of Occupancy issued~~ Pool Completed 1/5/79 Date #915

**1211**

**FENCE**

RECEIVED SEP 18 1980  
Date 9-18-80

Permit No. 1217

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner VALERIE VAN AKEN Present address 92 SO. RIVER RD.  
Phone 287-4744 SEWALL'S POINT, FLA. 33457

Contractor (OWNER) Address \_\_\_\_\_

Phone \_\_\_\_\_

Where licensed N/A License number \_\_\_\_\_

Electrical contractor N/A License number \_\_\_\_\_

Plumbing contractor N/A License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: TO INSTALL CYPRESS WOOD SHADOW-BOX

FENCE AS SHOWN ON ATTACHED SITE PLAN.

State the street address at which the proposed structure will be built:

92 SO. RIVER ROAD

Subdivision RIO VISTA Lot No. 75

Contract price \$ 2,905.00 Cost of Permit \$ \$15.00

Plans approved as submitted  Plans approved as marked

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Contractor Valerie Van Aken

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Valerie Van Aken

TOWN RECORD

Date submitted: \_\_\_\_\_

Approved: [Signature] Building Inspector Date 9/19/80

Approved: \_\_\_\_\_ Commissioner Date \_\_\_\_\_

Final Approval given: [Signature] Date 9/29/80

Certificate of Occupancy issued \_\_\_\_\_ Date \_\_\_\_\_

SP/1-79

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

#1217

**2554**

**REROOF**

Permit No. \_\_\_\_\_

Date \_\_\_\_\_

APPLICATION FOR PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Scott Hoffman Present Address 92 S river rd

Phone 258-2250

Contractor Stuart Roofing inc Address P.O. Box 2556

Phone 813 286-2317 Stuart

Where licensed St lucie county License number SP 00499

Electrical contractor Martin License number 84-518-782

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Remove wood shakes - haul away

replace with new 1/2 - 3/4 woodshakes / copper metals

State the street address at which the proposed structure will be built: \_\_\_\_\_

Subdivision RiverView Lot number \_\_\_\_\_ Block number \_\_\_\_\_

Contract price \$ 16,495.00 Cost of permit \$ \_\_\_\_\_

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]  
TOWN RECORD

Date submitted \_\_\_\_\_ Approved: \_\_\_\_\_  
Building Inspector \_\_\_\_\_ Date \_\_\_\_\_

Approved: \_\_\_\_\_ Commissioner \_\_\_\_\_ Date \_\_\_\_\_  
Final Approval given: \_\_\_\_\_ Date \_\_\_\_\_

Certificate of Occupancy issued (if applicable) \_\_\_\_\_  
Date \_\_\_\_\_

SP1282

Permit No. \_\_\_\_\_

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

**5028**

**REROOF**

MASTER PERMIT NO. N/A

**TOWN OF SEWALL'S POINT**

Date 7/14/00

BUILDING PERMIT NO. 5028

Building to be erected for ROBERT DEMOREST

Type of Permit REROOF

Applied for by PACIFIC ROOFING

(Contractor) Building Fee \_\_\_\_\_

Subdivision \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_

Address 92 S. RIVER RD.

Radon Fee \_\_\_\_\_

Type of structure S.F.R.

Impact Fee \_\_\_\_\_

A/C Fee \_\_\_\_\_

Electrical Fee \_\_\_\_\_

Parcel Control Number:  
12-38-41-00200-0007.5 09000 0


Plumbing Fee \_\_\_\_\_

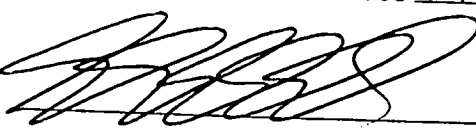
Amount Paid \$120.00 Check # 4526 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ )

Roofing Fee \$120.00

Total Construction Cost \$ 15,300.00

TOTAL Fees \$120.00

Signed   
Applicant

Signed   
Town Building Inspector OFFICIAL

# RE-ROOFING PERMIT

### INSPECTIONS

DRY IN	DATE _____	PROGRESS	DATE _____
PROGRESS	DATE _____	FINAL	DATE <u>8/18/00</u>

**24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455**

**WORK HOURS - 8:00 AM UNTIL 5:00 PM**

**MONDAY THROUGH SATURDAY**

- New Construction     Remodel     Addition     Demolition

**This permit must be visible from the street, accessible to the inspector.**

**FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT, NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.**

**DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**



Bldg. Pmt# \_\_\_\_\_

# Town of Sewall's Point

Date 7/5/00

## BUILDING PERMIT APPLICATION

**5028**

Owner's Name: ROBERT DEMOREST Phone No. \_\_\_\_\_  
Owner's Present Address: 92 S. RIVER ROAD STUART, FL 34996  
Fee Simple Titleholder's Name & Address if other than owner: 7/14/00

Location of Job Site: 92 S. RIVER ROAD

TYPE OF WORK TO BE DONE: REROOF

### CONTRACTOR INFORMATION

Contractor/Company Name: RICHARD J. GOMES / PACIFIC ROOFING Phone No. 283-7663  
COMPLETE MAILING ADDRESS P.O. Box 2697 STUART, FL 34995  
State Registration \_\_\_\_\_ State License CC6056793  
Legal Description of Property Rio Vista S/O Lot 75  
Parcel Number 123841002 00000 75090000

### ARCHITECT/ENGINEER INFORMATION

Architect \_\_\_\_\_ Phone No. \_\_\_\_\_  
Address \_\_\_\_\_  
Engineer \_\_\_\_\_ Phone No. \_\_\_\_\_  
Address \_\_\_\_\_

Area Square Footage: Living Area 524 Garage Area \_\_\_\_\_ Carport \_\_\_\_\_  
Accessory Bldg. \_\_\_\_\_ Covered Patio \_\_\_\_\_ Scr. Porch \_\_\_\_\_ Wood Deck \_\_\_\_\_  
Type Sewage: \_\_\_\_\_ Septic Tank Permit # from Health Dept. \_\_\_\_\_  
NEW electrical SERVICE SIZE \_\_\_\_\_ AMPS

### FLOOD HAZARD INFORMATION

flood zone \_\_\_\_\_ minimum Base Flood Elevation (BFE) \_\_\_\_\_ NGVD  
proposed finish floor elevation \_\_\_\_\_ NGVD (minimum 1 foot above BFE)  
Cost of construction or Improvement 15,300  
Fair Market Value (FMV) prior to improvement \_\_\_\_\_  
Substantial Improvement 50% of FMV yes \_\_\_\_\_ No \_\_\_\_\_  
Method of determining FMV \_\_\_\_\_

### SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)

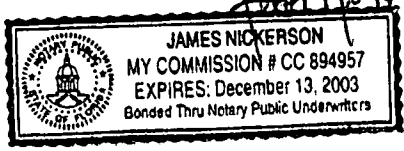
Electrical \_\_\_\_\_ State License \_\_\_\_\_  
Mechanical \_\_\_\_\_ State License# \_\_\_\_\_  
Plumbing \_\_\_\_\_ State License# \_\_\_\_\_  
Roofing PACIFIC ROOFING State License# CC6056793

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

### OWNER/CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE \_\_\_\_\_  
Sworn to and subscribed before me this 23 day of JUNE, 1998 by Robert Demorest who is personally known to me or has produced or has produced \_\_\_\_\_ and who did (did not) take an oath.  
CONTRACTOR SIGNATURE X  
Sworn to and subscribed before me this 23 day of JUNE, 1998 by RICHARD J. GOMES who is personally known to me or has produced \_\_\_\_\_ and who did (did not) take an oath.



... construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.

3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:
  1. Floor Plan
  2. Foundation Details
  3. Elevation Views - Elevation Certificate due after slab inspection.
  4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
  5. Truss layout
  6. Vertical Wall Sections (one detail for each wall that is different)
  7. Fireplace drawing: If prefabricated submit manufacturers data.

ADDITIONAL Required Documents are:

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

**NOTICE:** In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official \_\_\_\_\_

Approved by Town Engineer \_\_\_\_\_

# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)  
08/27/1999

PRODUCER (561)746-4546  
Tequesta Agency, Inc.  
193 Tequesta Drive  
Tequesta, FL 33469

FAX (561)746-9599

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**COPY**

**COMPANIES AFFORDING COVERAGE**

COMPANY A	Transcontinental Insurance co.
COMPANY B	Transportation Insurance Co.
COMPANY C	
COMPANY D	

Attn: Debra Hicks

Ext:

INSURED Pacific Roofing Corp., Inc.  
PO Box 2697  
Stuart, FL 34994

**FILE**

**FILE**

*Permit*

**COVERAGES**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR OWNER'S & CONTRACTOR'S PROT	C155821031	08/27/1999	10/28/2000	GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 PERSONAL & ADV INJURY \$ 1,000,000 EACH OCCURRENCE \$ 1,000,000 FIRE DAMAGE (Any one fire) \$ 50,000 MED EXP (Any one person) \$ 5,000
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO ALL OWNED AUTOS SCHEDULED AUTOS HIRED AUTOS NON-OWNED AUTOS	C144640569	08/27/1999	10/28/2000	COMBINED SINGLE LIMIT \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	GARAGE LIABILITY ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: \$ EACH ACCIDENT \$ AGGREGATE \$
	EXCESS LIABILITY UMBRELLA FORM OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input checked="" type="checkbox"/> INCL <input type="checkbox"/> EXCL	WC177093784	10/28/1999	10/28/2000	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER EL EACH ACCIDENT \$ 100,000 EL DISEASE - POLICY LIMIT \$ 500,000 EL DISEASE - EA EMPLOYEE \$ 100,000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

**CERTIFICATE HOLDER**

**CANCELLATION**

TOWN OF SEWALLS POINT  
1 SOUTH SEWALLS POINT ROAD  
STUART, FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE  
Mark Kasten/DEBBIE

*Debra Hicks*

**Certificate of Insurance**

...icate is issued as a matter of information only and confers no rights upon you the certificate holder. This certificate is not an insurance policy and does not amend, extend, or the coverage by the policies listed below.

**Named Insured(s):**

Staff Leasing, LP, by Staff Acquisition, Inc., The General Partner, and The Affiliated Limited Partnerships of Which Staff Acquisition, Inc. Is The General Partner and their Successor Corporations  
600 301 Boulevard West, Suite 202  
Bradenton, Florida 34205

**RECEIVED**

JAN 3 1 2000

BY: \_\_\_\_\_

**CNA**  
**RISK MANAGEMENT**

**FILE**

**Coverages:**

**Insurer Affording Coverage**

Continental Casualty Company

The policy(ies) of insurance listed below have been issued to the insured named above for the policy period indicated. The insurance afforded by the policy(ies) described herein is subject to all the terms, exclusions and conditions of such policy(ies).

Type of Insurance	Certificate Exp. Date <input type="checkbox"/> Continuous <input type="checkbox"/> Extended <input checked="" type="checkbox"/> Policy Term	Policy Number	Limits	
Workers' Compensation	1-1-2001	WC 189165165 WC 189165182	<b>Employer's Liability</b>	
			Bodily Injury By Accident \$1,000,000	Each Accident
			Bodily Injury By Disease \$1,000,000	Policy Limit
			Bodily Injury By Disease \$1,000,000	Each Person

**Other:**

**Employees Leased To:**

**Effective Date: 1/1/00**

**16455  
Pacific Roofing Corp Inc**

The above referenced workers' compensation policy(ies) provide(s) statutory benefits only to the employees of the Named Insured(s) on such policy(ies), not to the employees of any other employer.

\*If the certificate expiration date is continuous or extended term, you will be notified if coverage is terminated or reduced before the certificate expiration date. However, you will not be notified annually of the continuation of coverage.

**Notice of Cancellation:** (Not applicable unless a number of days are entered below)

Before the stated expiration date the company will not cancel or reduce the insurance afforded under the above policy(ies) until at least 30 days notice of such cancellation has been mailed to:

**Certificate Holder:**

TOWN OF SEWALL'S POINT  
1 S SEWALLS POINT RD  
STUART, FL 34996-6736



*Martin Oosterbaan*

**Martin Oosterbaan  
Authorized Representative**

Office: St. Louis, MO      12/15/99  
Phone: (877) 427-5567      Date Issued

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONST INDUSTRY LICENSING BOARD  
7960 ARLINGTON EXPRESSWAY  
SUITE 300  
JACKSONVILLE FL 32211-7467

(904) 727-6530

GOMES, RICHARD JOHN  
PACIFIC ROOFING CORP  
1501 DECKER AVE UNIT 303 & 304  
PO BOX 2697  
STUART FL 34995

STATE OF FLORIDA AC# 56403  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CC -C056793 09/01/1999 99006  
CERTIFIED ROOFING CONTRACTOR  
GOMES, RICHARD JOHN  
PACIFIC ROOFING CORP  
IS CERTIFIED under the provisions of Ch. 489  
Expiration Date: AUG 31, 2000

DETACH HERE

AC# 5640369

STATE OF FLORIDA DUPLICATE  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONST INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
09/01/1999	99006114	CC -C056793

The ROOFING CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2000

GOMES, RICHARD JOHN  
PACIFIC ROOFING CORP  
1501 DECKER AVE UNIT 303 & 304  
PO BOX 2697  
STUART FL 34995

JEB BUSH  
GOVERNOR

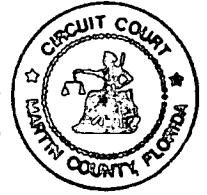
DISPLAY AS REQUIRED BY LAW

CYNTHIA A. HENDERSON  
SECRETARY

NOTICE OF COMMENCEMENT OF FLORIDA  
MARTIN COUNTY

State of Florida  
County of Martin

THIS IS TO CERTIFY THAT THE  
FOREGOING 1 PAGES IS A TRUE  
AND CORRECT COPY OF THE ORIGINAL.  
MARSHA STILLER, CLERK  
BY [Signature] D.C.  
DATE 7-6-00



THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of commencement.

1. Description of property: Rio Vista S/O Lot 75
2. General description of improvement: Reroof
3. Owner information:
  - a. Name & Address: Robert Demarest  
72 South River Road Stuart, FL 34996
  - b. Interest In Property: \_\_\_\_\_
  - c. Name & Address of fee simple titleholder (other than owner): \_\_\_\_\_
4. Contractor's Name & Address: Pacific Roofing  
P.O. Box 2697 Stuart, FL 34995
  - a. Phone number: 283-7663
  - b. Fax number: 283-9505
5. Surety Information:
  - a. Name & Address: \_\_\_\_\_
  - b. Phone number: \_\_\_\_\_
  - c. Fax number: \_\_\_\_\_
  - d. Amount of Bond: \$ \_\_\_\_\_
6. Lender's Name & Address: \_\_\_\_\_
  - a. Phone number: \_\_\_\_\_
  - b. Fax number: \_\_\_\_\_
7. Person within the State of Florida designated by owner upon whom notices or other documents may be served as provided by 713.13 (1) (a), 7 Florida Statutes:  
Name & Address: \_\_\_\_\_
  - a. Phone number: \_\_\_\_\_
  - b. Fax number: \_\_\_\_\_
8. In addition to himself, owner designates \_\_\_\_\_ of \_\_\_\_\_ to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (b), Florida Statutes.
9. Expiration date of Notice of Commencement (the expiration date is one (1) year from the date of recording unless a different date is specified): \_\_\_\_\_

(signature of owner)

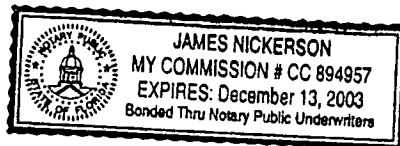
[Signature]

Sworn to and subscribed before me  
this 23 day of JUNE, 2000

Notary [Signature]

Known Personally/ V.D. Shown \_\_\_\_\_

My commission expires: \_\_\_\_\_



**PROOF OF NOTICE:**  
**SUBDIVISION REVIEW/APPROVAL**

RECEIVED  
JUL - 6 2000  
BY: \_\_\_\_\_

TO: Building Official, Town of Sewall's Point  
FROM: Permit Applicant  
RE: Subject structure described as follows:

OWNER: \_\_\_\_\_; ADDRESS: 92 S. RIVER ROAD

PROJECT ADDRESS: 92 S. RIVER ROAD; LEGAL DESCRIPTION: LOT 75 BLK \_\_\_\_\_ SUB RIO VISTA

GENERAL CONTRACTOR: PACIFIC ROOFING; LIC/CERT No. CC6056793

ADDRESS: P.O. BOX 2697 STUART, FL. 34995; TEL 283-7663 FAX 282-9505

ARCHITECT OR ENGINEER: \_\_\_\_\_; LIC/REG No. \_\_\_\_\_

ADDRESS: \_\_\_\_\_; TEL \_\_\_\_\_; FAX \_\_\_\_\_

PERMIT No: \_\_\_\_\_; DATE OF ISSUE: \_\_\_\_\_; DATE OF THIS STATEMENT: \_\_\_\_\_

The proposed project is located in the located in \_\_\_\_\_ Subdivision.

In compliance with permit application review requirements, please be advised as follows:

SUBDIVISION/ASSOCIATION REVIEW AND APPROVAL IS NOT REQUIRED.

SUBDIVISION/ASSOCIATION REVIEW AND APPROVAL IS REQUIRED.

APPROVAL DOCUMENTATION IS ATTACHED

NOTICE OF THE ABOVE PROPOSED CONSTRUCTION WAS PROVIDED TO THE SUBDIVISION/ASSOCIATION ON \_\_\_\_\_

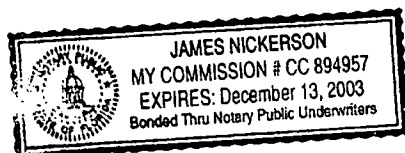
Executed at \_\_\_\_\_, this 23 day of JUNE, 2000.

NAME: RICHARD J. GOMES; SIGNATURE: [Signature]; Lic. No: CC6056793

STATE OF FLORIDA  
COUNTY OF MARTIN

Sworn to and subscribed before me this 23 day of JUNE, 2000, by RICHARD J. GOMES, who is  
personally known to me or who has produced \_\_\_\_\_ as identification and who did not take an oath.

(NOTARY SEAL)



[Signature]  
Name \_\_\_\_\_

I am a Notary Public of the State of Florida and my commission expires: \_\_\_\_\_

BUILDING CODE COMPLIANCE OFFICES  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1008  
MIAMI, FLORIDA 33130-1823  
(305) 375-2901  
FAX (905) 375-2808

PRODUCT CONTROL DIVISION  
(305) 375-2902  
FAX (305) 372-8339

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**  
Southeastern Metals Manufacturing Co., Inc.  
11301 Industry Drive  
Jacksonville, FL 32226

Your application for Product Approval of:  
**"Crimp" Metal Roofing Panels**  
under Chapter 8 of the Miami-Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by: **Construction Research Laboratory, Inc. and Hurricane Test Laboratory, Inc.** has been recommended for acceptance by the Building Code Compliance Office to be used in Dade County, Florida under the specific conditions set forth on pages 2-4 and the standard conditions on page 5.

This approval shall not be valid after the expiration date stated below. The Building Code Compliance Office reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Building Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The Building Code Compliance Office reserves the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.



Reviews & Revises: 97-0404.05

*Gaul Rodriguez*  
Gaul Rodriguez  
Product Control Supervisor

**THIS IS THE COVER SHEET. SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL BUILDING CODE COMMITTEE CONDITIONS**

This application for Product Approval has been reviewed by the Miami-Dade County Building Code Compliance Office and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.

*7/14/00 TOWN OF SEBRON'S PDW*  
*REVIEWED: Charles Danger, P.E.*

Charles Danger, P.E.  
Director  
Building Code Compliance Dept.  
Miami-Dade County

APPROVED: 06/23/98

**FILE** *TOWN COPY*  
*92 S. RIVER RD.*

**PN 5028**



**PRODUCT CONTROL NOTICE OF ACCEPTANCE  
ROOFING SYSTEM APPROVAL**

Applicant:  
Southeaster Metal Manufacturing Co. Inc.  
11801 Industry Drive  
Jacksonville, FL 32218

Product Control No.: 98-0429.09  
Approval Date: June 23, 1998

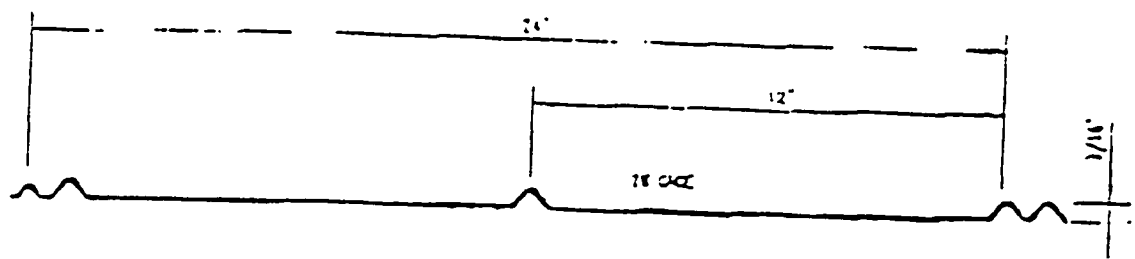
Expiration Date: June 23, 2001

Category: Prepared Roofing  
Sub-Category: Panels  
Type: Non-Structural  
Sub-Type: Metal


**Evidence Submitted**

Test Agency	Test Identifier	Test Name/Report	Date
Construction Research Laboratory, Inc.	5898A	<u>Direct Deck Test</u> Uplift Pressure Testing ASTM E 330 Wind Driven Rain	Oct. 1993
Construction Research Laboratory, Inc.	5898B	<u>Over Battens Test</u> Uplift Pressure Testing ASTM E 330 Wind Driven Rain	Oct. 1993
Hurricane Test Laboratories, Inc.	0041-0102-98	UI. -580 test PA 125	Jan. 1998

**"S-V CRIMP" METAL ROOF PANELS**



Page 2 of 5

  
 Frank Zuloaga, RRC  
 Roofing Product Control Examiner

System Description

SYSTEM A-1S:

"SV-Crimp" 26 ga. Metal Panels

Deck Type:

Wood, Non-Insulated

Deck Description:

1 1/2" or greater plywood or wood plank.

Slope Range:

2": 12" or greater

Maximum Uplift Pressure:

The maximum allowable design pressure for the 24" wide panel shall be -57.5 psf.

Deck Attachment:

In accordance with chapter 29 of the SFBC, but in no case it shall be less than # 8 x 1 1/2" screws or annular ring shank nails spaced at 6" oc. In re-roofing, where deck is less than 1 9/32" thick (minimum 1 5/32") the above attachment method must be in addition to existing attachment.

Underlayment:

Minimum underlayment shall be a ASTM D 226 Type II installed with a minimum 4" side-laps and 6" end-laps. Underlayment shall be fastened with corrosion resistant tin-caps and 1 1/2" annular ring-shank nails, spaced 6" o.c. at all laps and two staggered rows 12" o.c. in the field of the roll.

Valleys:

Valley construction shall be in compliance with Miami-Dade County Roofing Application Standard PA 133 and with Southeastern Metal Manufacturing Company's current published installation instructions.

Fire Barrier Board:


For class A or B fire rating, install minimum 1/2" thick Georgia Pacific "Dens Deck" (with current NOA) or minimum 4mm thick of Partek Insulations, Inc. (with current NOA) "Roctex" or 5/8" water resistant type X gypsum sheathing with treated core and facer, over the deck prior to installing the underlayment in compliance with Miami-Dade County Roofing Application Standard PA 133.

Metal Panels and Accessories:

Install the "SV-Crimp Panels" including flashings penetrations, valleys, and accessories in compliance with Southeastern Metal Manufacturing Company's current, published installation instructions and in compliance with the minimum requirements detailed in Miami-Dade Roofing Application Standard PA 133.

"SV-Crimp Panels" shall be installed with a minimum #9 corrosion resistant sealing washer fastener of sufficient length (but not less than 2") to penetrate through the sheathing. Fasteners shall be spaced a minimum of 12" o.c. perpendicular to the slope, in rows spaced 16" o.c. running parallel to the slope of the roof.


Fastener shall be spaced a minimum of 3" o.c from the end at the eaves and rakes. End panel seams shall be a minimum of 6" and sealed with double bead sealant tape. All perimeter attachment shall be in accordance with Miami-Dade County Protocol PA 111.

  
Mark Zuloaga, RRC  
Roofing Product Control Examiner

## SYSTEM LIMITATIONS

1. Increased design pressures at perimeter and corner areas, in compliance with chapter 23 of the SFBC, may be met through rational analysis by increasing the number of attachment points in these areas. The maximum fastener spacing noted in the "Systems Description" section of this approval shall not be exceeded. All rational analysis computation shall be prepared, signed and sealed by a Florida registered Professional Engineer proficient in structural design.
2. Panels shall be roll formed in continuous lengths from eave to ridge. Maximum lengths shall be as described in Miami-Dade County Roofing Application Protocol PA 133.
3. All panels shall be permanently labeled with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved."

Page 4 of 5

  
Frank Zuloaga, RRC  
Roofing Product Control Examiner





# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 07-19-00, 2000; Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
S ✓ 4882	WOODS - BEMICK CONSR. tinterg & 116 S. River Rd. Pacific (508 PN 4886)	metal	OK	Partial main house only, GARAGE Later
(5)		Partial - Main House	Bq.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
S ✓ 4828	DEMAREST 92 S. River	tinterg & metal	OK	
(3)	Pacific		Bq.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
S ✓ 4892	Motloway 141 S. River	tinal fence	OK	
(6)	ADRON FENCE		Bq.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
S ✓ 4951	Stukel 7 Lantana Lane	form board	OK	SURVEY WAIVED -
(4)	MATEKHERE KLDPS Rio Vista		Bq.	FINAL SURVEY REQUIRED! Footest Slab.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N ✓ 4926	Murray 27 Fieldway Dr.	root sheathing Called John To set up FOR FRI	Cancel	Rained out.
(12)	TR A & W RFG individual			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: \_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 8-18, 2000; Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4657	DERMACKARLAN	① FINISH	check list	11:00 - need final
N ⑨	19 CASTLE HILL WAY STRATHMORE	(WALK-THRU) ② MASTER KIL. (POUR)	for the FIN PASSED	documents for c.o. called PVL - LUVANDE 223-4200 12:30 Ref. M024
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4628	Hellmege	c.o.	PASS ED	need final
" ⑧	11. C. Hill Way Strathmore		↗	documents for c.o.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 3128	Bemorest	final roof	PASSED	
- ③	92 S. River Road Pacific		↗	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4963	Johnson	sheathing	PASSED	re-inspect
N ⑦	9 Quail Run Pacific		↗	IN prog. - OK TO CONT SPOT CHECK WED 8/23
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5051	Elliott	final steps	PASSED	
S ⑥	25 W. High Point Rd. Van Lynn		↗	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4984	Winer	roof final	PASSED	
- ④	3 Middle Rd. Pacific		↗	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5045	Lopez	finning	FAILED	- UNABLE TO INSPECT
S ⑤	5 Middle Rd. Major Canvas	final	↗	- NO ONE HOME - NO PERMIT DOCS.

OTHER: \_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_

**5426**

**ADDITION**



MASTER PERMIT NO. N/A

### TOWN OF SEWALL'S POINT

Date 7/3/01 BUILDING PERMIT NO. 5426  
 Building to be erected for ROBERT DEMOREST Type of Permit ADD'N. (ENCLOSE ENTRY)  
 Applied for by COMMERCIAL CONST. (Contractor) Building Fee \$30.00  
 Subdivision RIO VISTA Lot 75 Block \_\_\_\_\_ Radon Fee \_\_\_\_\_  
 Address 92 S. RIVER ROAD Impact Fee \_\_\_\_\_  
 Type of structure S.F.R. A/C Fee \_\_\_\_\_

Parcel Control Number: \_\_\_\_\_  
12-38-41-002-000-00750-90000 Plumbing Fee \_\_\_\_\_  
 Amount Paid \$33.00 Check # 3280 Cash \_\_\_\_\_ Other Fees ( PLAD ) 3.00  
REV.  
 Total Construction Cost \$ 1,200.00 TOTAL Fees \$33.00

Signed [Signature] Applicant  
 Signed [Signature] Town Building Inspector OFFICIAL

## BUILDING PERMIT

FORM BOARD SURVEY	DATE _____	SHEATHING	DATE _____
COMPACTION TESTS	DATE _____	FRAMING	DATE _____
GROUND ROUGH	DATE _____	INSULATION	DATE _____
SOIL POISONING	DATE _____	ROOF DRY-IN	DATE _____
FOOTINGS / PIERS	DATE _____	ROOF FINAL	DATE _____
SLAB ON GRADE	DATE _____	METER FINAL	DATE _____
TIE-BEAMS & COLUMNS	DATE _____	AS BUILT SURVEY	DATE _____
STRAPS AND ANCHORS	DATE _____	STORM PANELS	DATE _____
DRIVEWAY	DATE _____	LANDCAPE & GRADE	DATE _____
AS-BUILT SURVEY	DATE _____	FINAL INSPECTION	DATE <u>11/28/01</u>

FLOOD ZONE \_\_\_\_\_ LOWEST HABITABLE FLOOR ELEV. \_\_\_\_\_

**24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455**  
**WORK HOURS – 8:00 AM UNTIL 5:00 PM**  
**MONDAY THROUGH SATURDAY**

New Construction     Remodel     Addition     Demolition

**This permit must be visible from the street, accessible to the inspector.**  
**FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,**  
**NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.**  
**DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**

Bldg. Pmt# \_\_\_\_\_

# Town of Sewall's Point

5426 06/20/01  
RECEIVED

## BUILDING PERMIT APPLICATION

JUN 21 2001

*logg*

Owner's Name: ROBERT DEMOREST Phone No. 220-3422  
Owner's Present Address: 92 S. RIVER RD. SEWALL'S PT, FL  
Fee Simple Titleholder's Name & Address if other than owner: N/A

Location of Job Site: 92 S. RIVER RD. SEWALL'S PT, FL.

TYPE OF WORK TO BE DONE: ENCLOSE EXISTING RECESSED ENTRY

CONTRACTOR INFORMATION  
Contractor/Company Name: COMMERCIAL CONST. Phone No. 220-3488  
COMPLETE MAILING ADDRESS: 1405 SE GOLDTRAE DR. BCL, FL 34952  
State Registration \_\_\_\_\_ State License CBC 652954  
Legal Description of Property: RIO VISTA S/P LOT 75  
Parcel Number: 12-38-41-002-000-00750-90000

ARCHITECT/ENGINEER INFORMATION  
Architect: JOSEPH P. MC CARTY Phone No. 287-6735  
Address: 910 E. USCEOLA STUART, FL  
Engineer \_\_\_\_\_ Phone No. \_\_\_\_\_  
Address \_\_\_\_\_

Area Square Footage: Living Area \_\_\_\_\_ Garage Area \_\_\_\_\_ Carport \_\_\_\_\_  
Accessory Bldg. \_\_\_\_\_ Covered Patio \_\_\_\_\_ Scr. Porch \_\_\_\_\_ Wood Deck \_\_\_\_\_  
Type Sewage: \_\_\_\_\_ Septic Tank Permit # from Health Dept. \_\_\_\_\_  
NEW electrical SERVICE SIZE \_\_\_\_\_ AMPS

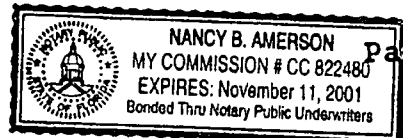
FLOOD HAZARD INFORMATION  
flood zone \_\_\_\_\_ minimum Base Flood Elevation (BFE) \_\_\_\_\_ NGVD  
proposed finish floor elevation \_\_\_\_\_ NGVD (minimum 1 foot above BFE)  
Cost of construction or Improvement 1200  
Fair Market Value (FMV) prior to improvement 300,000  
Substantial Improvement 50% of FMV yes \_\_\_\_\_ No X  
Method of determining FMV \_\_\_\_\_

SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)  
Electrical: GRIFFIN EL State License EC 0002734  
Mechanical \_\_\_\_\_ State License# \_\_\_\_\_  
Plumbing \_\_\_\_\_ State License# \_\_\_\_\_  
Roofing: PACIFIC ROOF State License# CCC 056 790

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER/ CONTRACTOR MUST SIGN APPLICATION  
OWNER or AGENT SIGNATURE: ROBERT DEMOREST 2001  
Sworn to and subscribed before me this 18th day of JUNE, 1998 by ROBERT DEMOREST who is personally known to me or has produced or has produced \_\_\_\_\_ and who did (did not) take an oath.  
CONTRACTOR SIGNATURE: [Signature]  
Sworn to and subscribed before me this 18th day of JUNE, 1998 by ROBERT DEMOREST who is personally known to me or has produced \_\_\_\_\_ and who did (did not) take an oath.



[Signature]  
NOTARY PUBLIC  
STATE OF FLORIDA

TREE REMOVAL (Attach sealed survey)

No. of trees to be removed \_\_\_\_\_ No. to be retained \_\_\_\_\_ No. to be planted \_\_\_\_\_

Specimen tree removed \_\_\_\_\_ Fee \_\_\_\_\_ Authorized/Date \_\_\_\_\_

DEVELOPMENT ORDER # \_\_\_\_\_

1. ALL APPLICATIONS REQUIRE :

- A. Property Appraiser's Parcel Number.
- B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
- C. Contractor's name, address, phone number & license numbers.
- D. Name all sub-contractors (properly licensed).
- E. Current Survey
- F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:

1. Floor Plan
2. Foundation Details
3. Elevation Views - Elevation Certificate due after slab inspection.
4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
5. Truss layout
6. Vertical Wall Sections (one detail for each wall that is different)
7. Fireplace drawing: If prefabricated submit manufacturers data.

ADDITIONAL Required Documents are:

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

**NOTICE:** In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies

Approved by Building Official \_\_\_\_\_ 6/27/07

Approved by Town Engineer \_\_\_\_\_

## PLAN REVIEW SEWALL'S POINT

### residential

#### *Town Ordinances*

- Completed application for permit
- Impact fee receipt
- Notice of Commencement if over \$2,500.00
- Applicable permits from other agencies (ie)DEP, Sewer and Irrigation, Road use
- Approval from homeowners Association or Arch. Review
- License and insurance for General and Subs, or affidavit for Owner Builder
- Signed and Sealed building plans
- Wind load certifications for 140mph. exposure D
- Survey showing; FFE, flood zone, setbacks, sq. ft. of lot, and impervious surfaces
- Landscaping Plan
- Zoning applicable
- Setbacks for zoning
- Flood Zone
- First floor Elevation
- Overall height not to include chimney, vents, cupola
- Tree permit
- Florida energy code forms
- 

#### *Plans to include*

- Site Plan showing retainage of stormwater and proposed elevations, attach calculations
- Driveway and parking plans
- Exterior elevations
- Foundation Plan, bottom of all footings 12" below finished grade
- Framing plan showing ceiling heights, egress windows, safety glazing
- Typical wall sections
- Roof Plan with truss engineering
- Door and Window engineering
- Electrical Calculations, conformance with 1996 NEC
- Smoke detectors in compliance with NFPA 74
- Plumbing riser showing vent, drain sizes
- Conformance with South Florida Code for 140mph. wind exposure D
- Storm protection required for all doors and windows
- Mechanical Plan showing sizes of ducts
- Cross sections, details, elevations
- Specifications on gravity, uplift connections
- Attic access 22" X 36
-

**Florida Accessibility Code**

- Stairs risers 7" max. height, 11" min. depth, nosing 1 1/2" max
- Handrail 32" high
- thresholds max. height 1/2"
- 3 or more steps 30"sq. landing at top, doors not to swing over steps.
- 29" clear openings to toilet facilities
- 

**Local Amendments to the South Florida**

**Lintels 4-22**

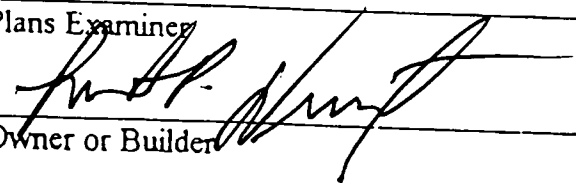
- filled cells in lieu of poured columns require #5 bars placed in both jambs of all openings and 2 #5 bars at each corner poured solid and lapped properly
- Copper wiring from load side of meter base
- Wood 6" clearance from grade
- Attic ventillation
- Guardrails for decks, balaconies etc.
- Toilet room ventilation
- Fireplace details
- Gas plan and permit
- Jacuzzi pump access and shock prevention
- Thickened edges on all concrete slabs, 8" width and depth with 1 #3 continous
- V-Zone requirements
- Stairwell protection if storage under stairs, type X 5/8 drywall
- 

Plans Examiner

Owner or Builder

Date

Date



06/20/01

SEWALL'S POINT  
BUILDING DEPARTMENT  
PLAN REVIEW FEE

DATE: 06/20/01

NAME: ROBERT DEMONEST

ADDRESS: 92 S. RIVER RD.

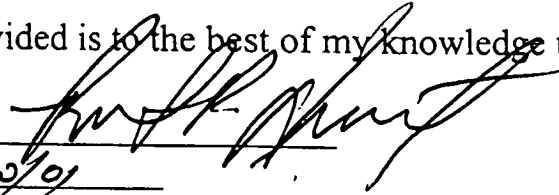
PHONE NUMBER: 221-3622

ESTIMATED COST OF PROJECT BEING REVIEWED 1200

PROJECT COST 1200

X \$9.60/m =	_____	ESTIMATED
X 10% =	_____	BLDG. PERMIT FEE
		PLAN REVIEW FEE

The information provided is to the best of my knowledge truthful and accurate.

Signature 

Date 06/20/01

PRODUCER  
Huickleberry, Sibley & Harvey  
Insurance & Bonds, Inc.  
1020 N Orlando Ave, Suite 200  
Maitland FL 32751  
Phone: 407-647-1616

**COPY**  
**FILE**

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**INSURERS AFFORDING COVERAGE**

INSURED  
**Commercial Construction**  
Division, Inc.  
P.O. Box 2714  
Stuart FL 34952

**FILE**  
*listings.*

INSURER A: MICHIGAN MUTUAL - AMERISURE  
INSURER B: FCCI MUTUAL INSURANCE COMPANY  
INSURER C:  
INSURER D:  
INSURER E:

**RECEIVED**  
APR 10 2001

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	<b>GENERAL LIABILITY</b> <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	CPP1319461	04/08/01	04/08/02	EACH OCCURRENCE \$ 1,000,000 FIRE DAMAGE (Any one fire) \$ 50,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COM/OP AGG \$ 2,000,000
A	<b>AUTOMOBILE LIABILITY</b> <input checked="" type="checkbox"/> ANY AUTO ALL OWNED AUTOS SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	CA1319460	04/08/01	04/08/02	COMBINED SINGLE LIMIT (Ea accident) \$ 500,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
A	<b>EXCESS LIABILITY</b> <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$	CU1319462	04/08/01	04/08/02	EACH OCCURRENCE \$ 2,000,000 AGGREGATE \$ 2,000,000 RETAINED \$ 10,000 \$ \$
B	<b>WORKERS COMPENSATION AND EMPLOYERS LIABILITY</b>	45820	04/01/01	04/01/02	<input checked="" type="checkbox"/> WC STATUTORY LIMITS OTH-ER E.L. EACH ACCIDENT \$ 100,000 E.L. DISEASE - EA EMPLOYEE \$ 100,000 E.L. DISEASE - POLICY LIMIT \$ 500,000
A	<b>PROPERTY</b>	CPP1319461	04/08/01	04/08/02	
A	<b>INLAND MARINE</b>	CPP1319461	04/08/01	04/08/02	

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

CERTIFICATE HOLDER

N

ADDITIONAL INSURED; INSURER LETTER:

CANCELLATION

TOWNSEW

**TOWN OF SEWALLS POINT**  
1 SOUTH SEWALLS POINT ROAD  
STUART FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

*[Signature]*

RECEIVED

OCT 17 2009

BY: *[Signature]*

FILE *he/min*

ACF 5894918

STATE OF FLORIDA  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONST. INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
06/16/2000	9990225	CB-C052955

The BUILDING CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489  
Expiration date: AUG 31, 2002

~~DEMOREST ROBERT PAUL~~  
~~COMMERCIAL CONST DIVISION INC~~  
92 S RIVER ROAD  
STUART FL 34996

JEB BUSH  
GOVERNOR

DISPLAY AS REQUIRED BY LAW

CYNTHIA A. HENDERSON  
SECRETARY

CB-C052955



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri ~~August 16~~, 2001; Page 1 of   .

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
✓ 5447	BARLAND 1 VIA LUCINDIA HARBOR BAY POOLS 878 8806	STL./MAIN DRAIN	Failed Washout	FORM BOARD(S) SOAKY W/HEAVY Called contractor INSPECTOR: <i>[Signature]</i> 8/6
✓ 5302	NOHE JL 6 N. RIDGEVIEW RD. RAYMOND CONST.	FRAMING - ALL TRADES	Passed (1 Strap +	(See enclosure!) Roaming (penals) INSPECTOR: <i>[Signature]</i> 8/6
✓ 5126	<del>DEMO/REST</del> 925. RIVER ROAD COMMERCIAL CONST.	<del>ENTRY ENCL. -</del> SLAB	Passed	INSPECTOR: <i>[Signature]</i> 8/6
✓ 5143	GIFFORD 85 N. SEWALL'S POINT RD SCOTT J. HOLMES, BLDG. INC	LATH	Passed	INSPECTOR: <i>[Signature]</i> 8/6
✓ 5280	ROTHBERG 103 N. SEWALL'S POINT RD CUSTOM BUILT MARINE	RET. WALL/RIP RAP Final → (288-4254)	Passed Passed	INSPECTOR: <i>[Signature]</i> 8/6
✓ 5443	WYKOFF 26 N. RIVER ROAD O/B	WALL FTG.	Passed	See owner INSPECTOR: <i>[Signature]</i> 8/6
5466	Matyszewski 3 Miramar A+P Bldg.	Sheathing roof	Passed	INSPECTOR: <i>[Signature]</i> 8/6

OTHER: VERIFY FLOOD DEBRIS CLEAN-UP: ~~1735~~ 295. RIVER RD (PN 4978)  
(REINSPECTION) RIVER-LEAK DEVELOPMENT.  
Cleanup in progress *[Signature]* 8/6

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  **THU AUGUST 24**, 2001; Page 1 of   .

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5068	WINER (285-4600)	T/I + METAL	Passed	
S (2)	19 RIDGELAND DR. LEAR DEV.	WINDOW BUCKS.	Passed	INSPECTOR: <i>[Signature]</i> 8/24
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5410	WITTMAN	T/I + METAL	Passed	
S (1)	13 RIVERVIEW DR. A+W ROOFING (APRIL 283-0292)			INSPECTOR: <i>[Signature]</i> 8/24
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5473	LIPPISCH	DEPTH OF		DORK: PN 5279
S (7)	22 S. SPR HOSS ELECT.	DITCH (DOCK ELECT. SEKV.)		INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5488	JUSTICE	STEEL	Passed	FORM BOARD SUKUDY KCD
S (6)	18 MIDDLE RD. TWIN POOLS	Coverage to be improved		- FIELD CORR TO SIDE INSPECTOR: <i>[Signature]</i> 8/24
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5294	LEHMAN	INSULATION	Passed	
S (3)	6 RIDGELAND GRIBBEN			INSPECTOR: <i>[Signature]</i> 8/24
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5302	NOHE TL	TIE BM	Passed	
S (4)	6 N. RIDGEVIEW (POP RAYMOND) (216-1188)	(PRIVATE WALL)		INSPECTOR: <i>[Signature]</i> 8/24
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5426	DEMAREST	FRAMING/INSUL	Passed	
S (5)	92 S. RIVER RD. COMM'L. CONST. (TIM: 260-2060)	(ENTRY DOOR) ✓ EL. ✓		INSPECTOR: <i>[Signature]</i> 8/24


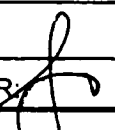
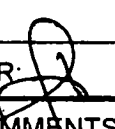
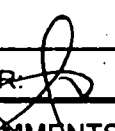
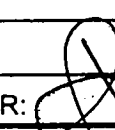
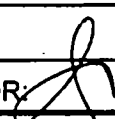
OTHER: 101 N. SPR (PN 5358) DELIVER PRODUCT CONTROL NOTICE OF ACCEPT. TO JOB

~~102 ABILE CT. (PN 5228) - VERIFY SHUTTER PLACEMENT~~

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri November 28, 2001; Page 1 of   .

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5294	Lehman 6 Ridgeland Dr. Gribben	CO	Passed	INSPECTOR: 
<del>5013</del>	<del>Dennis 16 Ridgeland Dr. FL Finest</del>	<del>CO</del>		
5426	DEMAREST 92 S. RIVER RD. COMMERCIAL CONSTRUCTION	C.O. 221 3622	Passed	before 11:00 INSPECTOR: 
5561	PITINOS 117 HENRY SEWALL'S WAY POOLS BY GREGG	POOL DECK	Passed	INSPECTOR: 
5013	DENNIS. 16 RIDGELAND DR. FLORIDA FINEST.	CO	Passed	INSPECTOR: 
5501	ALLMAN 3 SUMMER LANE O/B	TIE BEAM & STEELE	Failed	INSPECTOR: 
5448	VORRASO 21 PERRIWINKLE CRES. RLM	FRAMING	Failed	INSPECTOR: 

OTHER: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**7294**

**PAVER DRIVEWAY**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 2/11/05

BUILDING PERMIT NO. 7294

Building to be erected for DEMAREST

Type of Permit PAVER DRIVE

Applied for by NATIONAL BRICK

(Contractor) Building Fee 6640 x 9.60/1000 = 63.74

Subdivision RIO VISTA Lot 75 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 92 S. RIVER ROAD

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Parcel Control Number:

1238410020000075090000

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Amount Paid 63.74 Check # 1479 Cash \_\_\_\_\_

Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 6640.00

TOTAL Fees 63.74

Signed  Applicant

Signed  Town Building Official

## PERMIT

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL          |
| <input type="checkbox"/> PLUMBING         | <input type="checkbox"/> ROOFING             | <input type="checkbox"/> POOL/SPA/DECK       |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE               |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS                 |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION          |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL            | <input checked="" type="checkbox"/> ADDITION |

## INSPECTIONS

- |                                   |                              |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____        | UNDERGROUND GAS _____        |
| UNDERGROUND MECHANICAL _____      | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____            | FOOTING _____                |
| SLAB _____                        | TIE BEAM/COLUMNS _____       |
| ROOF SHEATHING _____              | WALL SHEATHING _____         |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____                   |
| ROOF TIN TAG/METAL _____          | ROOF-IN-PROGRESS _____       |
| PLUMBING ROUGH-IN _____           | ELECTRICAL ROUGH-IN _____    |
| MECHANICAL ROUGH-IN _____         | GAS ROUGH-IN _____           |
| FRAMING _____                     | EARLY POWER RELEASE _____    |
| FINAL PLUMBING _____              | FINAL ELECTRICAL _____       |
| FINAL MECHANICAL _____            | FINAL GAS _____              |
| FINAL ROOF _____                  | BUILDING FINAL _____         |

BY:

Date: \_\_\_\_\_

Permit Number: \_\_\_\_\_

### Town of Sewall's Point BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME: ROBERT DEMOREST

Phone (Day) 772-2813622 (Fax) \_\_\_\_\_

Job Site Address: 928 ~~SEWALL'S POINT~~ RD

City: SEWALL'S POINT State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) 'RIO VISTA' LOT 75

Parcel Number: \_\_\_\_\_

Owner Address (if different): \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: INSTALLATION OF BRICK PAVEMENT DRIVEWAY

WILL OWNER BE THE CONTRACTOR?:

Yes  No

(If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: NATIONAL BRICK PAVERS

Phone: 772-2883232 Fax: 771-2882832

Street: 4340 SE FEDERAL HWY

City: STUART State: FL Zip: 34997

State Registration Number: \_\_\_\_\_

State Certification Number: QB22679 Martin County License Number: \_\_\_\_\_

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 6640-00 (Notice of Commencement needed over \$2500)

#### SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
 Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
 Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
 Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

#### ARCHITECT

Street: \_\_\_\_\_ Phone Number: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

#### ENGINEER

Street: \_\_\_\_\_ Phone Number: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC

Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

#### CODE EDITIONS IN EFFECT AT TIME OF APPLICATION:

National Electrical Code: 2002

Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
Florida Energy Code: 2001  
Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

Robert Demorest

CONTRACTOR SIGNATURE (required)

David Tristram

State of Florida, County of: MARTIN

On State of Florida, County of: BROWARD

This the 11th day of FEBRUARY, 2005

This the 8TH day of DECEMBER, 2004

by Robert Demorest who is personally

by DAVID TRISTRAM who is personally

known to me or produced

known to me or produced

as identification. [Signature]

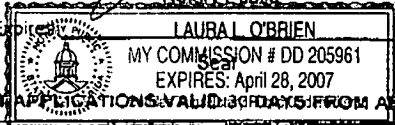
As identification. Patricia A. Goffman

Notary Public

Notary Public

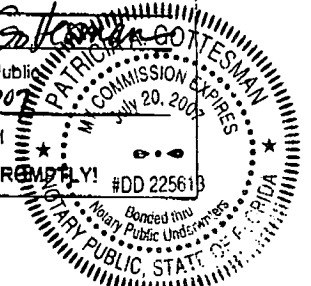
My Commission Expires: \_\_\_\_\_

My Commission Expires: July 20th 2007



Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY! #DD 225613



# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
03/16/2004

PRODUCER (954)724-7000 FAX (954)724-7024  
 Keyes Coverage, Inc.  
 8201 West McNab Road  
 Tamarac, FL 33321

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**INSURERS AFFORDING COVERAGE**

NAIC #

INSURED Screen Builders, Inc.  
 BMJ Land Co, Inc., R&S Assembly, Inc.  
 8451 McAllister Way  
 W Palm Beach, FL 33411

INSURER A: Penn-America Group, Inc.  
 INSURER B:  
 INSURER C:  
 INSURER D:  
 INSURER E:

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR	INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A		GENERAL LIABILITY	B04031205468	03/17/2004	03/17/2005	EACH OCCURRENCE	\$ 1,000,000
	<input checked="" type="checkbox"/>	COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 100,000
	<input type="checkbox"/>	CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$ 5,000
	<input checked="" type="checkbox"/>	Contractual Liab				PERSONAL & ADV INJURY	\$ 1,000,000
	<input checked="" type="checkbox"/>	Waiver Of Subrogat				GENERAL AGGREGATE	\$ 2,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER:					PRODUCTS - COM/OP AGG	\$ 2,000,000
	<input type="checkbox"/>	POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC					
		AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT (Ea accident)	\$
		<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
		<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$
		<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$
		<input type="checkbox"/> HIRED AUTOS					
		<input type="checkbox"/> NON-OWNED AUTOS					
		GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$
		<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC	\$
						AUTO ONLY: AGG	\$
A		EXCESS/UMBRELLA LIABILITY	804031205468	03/17/2004	03/17/2005	EACH OCCURRENCE	\$ 1,000,000
	<input checked="" type="checkbox"/>	OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$ 1,000,000
	<input type="checkbox"/>	DEDUCTIBLE					\$
	<input checked="" type="checkbox"/>	RETENTION \$ 10,000					\$
							\$
		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATU-TORY LIMITS	OTH-ER
		ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				E.L. EACH ACCIDENT	\$
		If yes, describe under SPECIAL PROVISIONS below				E.L. DISEASE - EA EMPLOYEE	\$
		OTHER				E.L. DISEASE - POLICY LIMIT	\$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

**CERTIFICATE HOLDER**

TOWN OF SEWELLS  
 1ST STREET SEWELLS POINT  
 STUART, FL 34996

**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Carey Keyes/KEY65

*Carey Keyes*



**FLORIDA WORKERS' COMPENSATION  
JOINT UNDERWRITING ASSOCIATION, INC.**

P.O. Box 48957, Sarasota, FL 34230-5957 Tel (941) 378-7400 Fax (941) 378-7406

1/28/2005

App #: 67599

Effective Date : 01/26/2005

Binder Number : 4199B271

NATIONAL BRICK PAVERS CORP  
3450 N FEDERAL HWY  
LIGHTHOUSE POINT FL 33064

**RE: WORKERS COMPENSATION AND EMPLOYERS LIABILITY BINDER.**

This is to acknowledge receipt of an estimated or deposit premium payment and your application for coverage through the Florida Workers' Compensation Joint Underwriting Association, Inc. (FWCJUA).

The FWCJUA is providing coverage under this binder for 30 days, beginning at 12:01 a.m. on the effective date shown above. Coverage is provided under the Workers' Compensation Law of Florida only. Employers Liability coverage is also provided subject to the following standard limits:

Bodily Injury By Accident:	\$100,000 - each accident
Bodily Injury By Disease:	\$500,000 - policy limit
Bodily Injury By Disease:	\$100,000 - each employee

**If additional limits were requested, those limits are detailed on the following page.**

The policy issued will be written in the name of the Florida Workers Compensation Joint Underwriting Association, Inc. and services will be provided by the company listed below.

Please retain this binder as evidence of coverage until you receive your policy.

**COMPANY:**

TRAVELERS  
P.O. Box 3556  
Orlando FL 32802  
(800) 247-7218

**AGENCY:**

GERALD ADLER  
COVER-ALL INSURANCE CONSULTANT  
5800 WEST ATLANTIC BLVD.  
MARGATE FL 33063  
(954) 956-0006





**MARTIN COUNTY, FLORIDA**  
**Construction Industry Licensing Board**  
**Certificate of Competency**

***ALUMINUM/CONCRETE CONTRACTOR***

License Number SP01094 Expires: 30-SEP-05

TRIMBLE, HOWARD J  
SCREEN BUILDERS INC  
8451 MCALLISTER WAY  
WEST PALM BEACH, FL 33411

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # \_\_\_\_\_

TAX FOLIO # 12 38 41 002 000 00 7509

**NOTICE OF COMMENCEMENT**

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

LOT 75, "RIO VISTA" FLAT BLOCK 6, pg 95 / 92 S. SEWELL'S POINT RD

GENERAL DESCRIPTION OF IMPROVEMENT: INSTALLATION OF BRICK PAVED DRIVEWAY

OWNER: ROBERT & ELLEN DEMOREST

ADDRESS: 92 S. SEWELL'S POINT RD, SEWELL'S POINT FL 34996

PHONE #: 772-221 3622

FAX #: \_\_\_\_\_

CONTRACTOR: NATIONAL BRICK PAVERS

ADDRESS: 4340 SE FEDERAL HWY, STUART FL 34997

PHONE #: 772-288 3232

FAX #: 772-288 2832

SURETY COMPANY (IF ANY)

STATE OF FLORIDA  
ADDRESS: MARTIN COUNTY

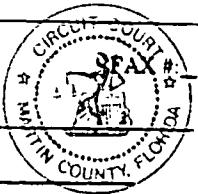
PHONE # \_\_\_\_\_ THIS IS TO CERTIFY THAT THE FOREGOING \_\_\_\_\_ PAGES IS A TRUE

BOND AMOUNT: \_\_\_\_\_ AND CORRECT COPY OF THE ORIGINAL

LENDER: \_\_\_\_\_ MARSHA EWING CLERK

ADDRESS: \_\_\_\_\_ BY T Copus DATE 2-9-05

PHONE #: \_\_\_\_\_ FAX # \_\_\_\_\_



INSTR # 1813595  
OR BK 01981 PG 0726  
RECORDED 02/09/2005 02:54:04 PM  
MARSHA EWING  
CLERK OF MARTIN COUNTY FLORIDA  
RECORDED BY T Copus (asst mgr)

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY \_\_\_\_\_ MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES.

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_ THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

(X) [Signature]  
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 15<sup>th</sup> DAY OF December 2004 BY Robert P. Demorest

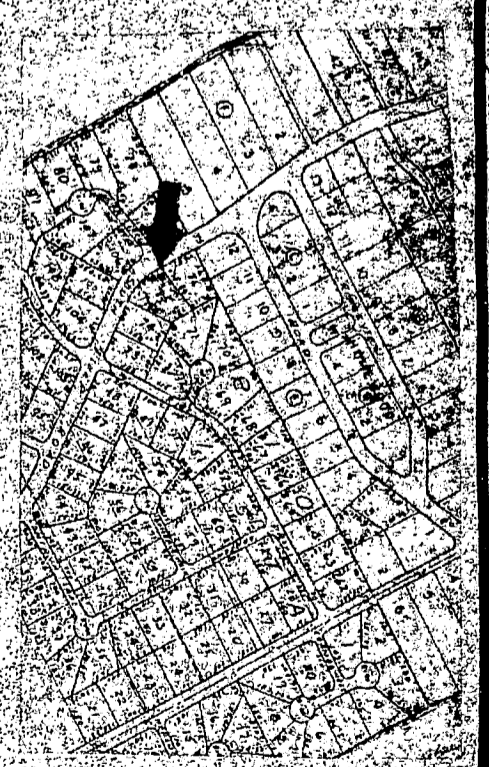
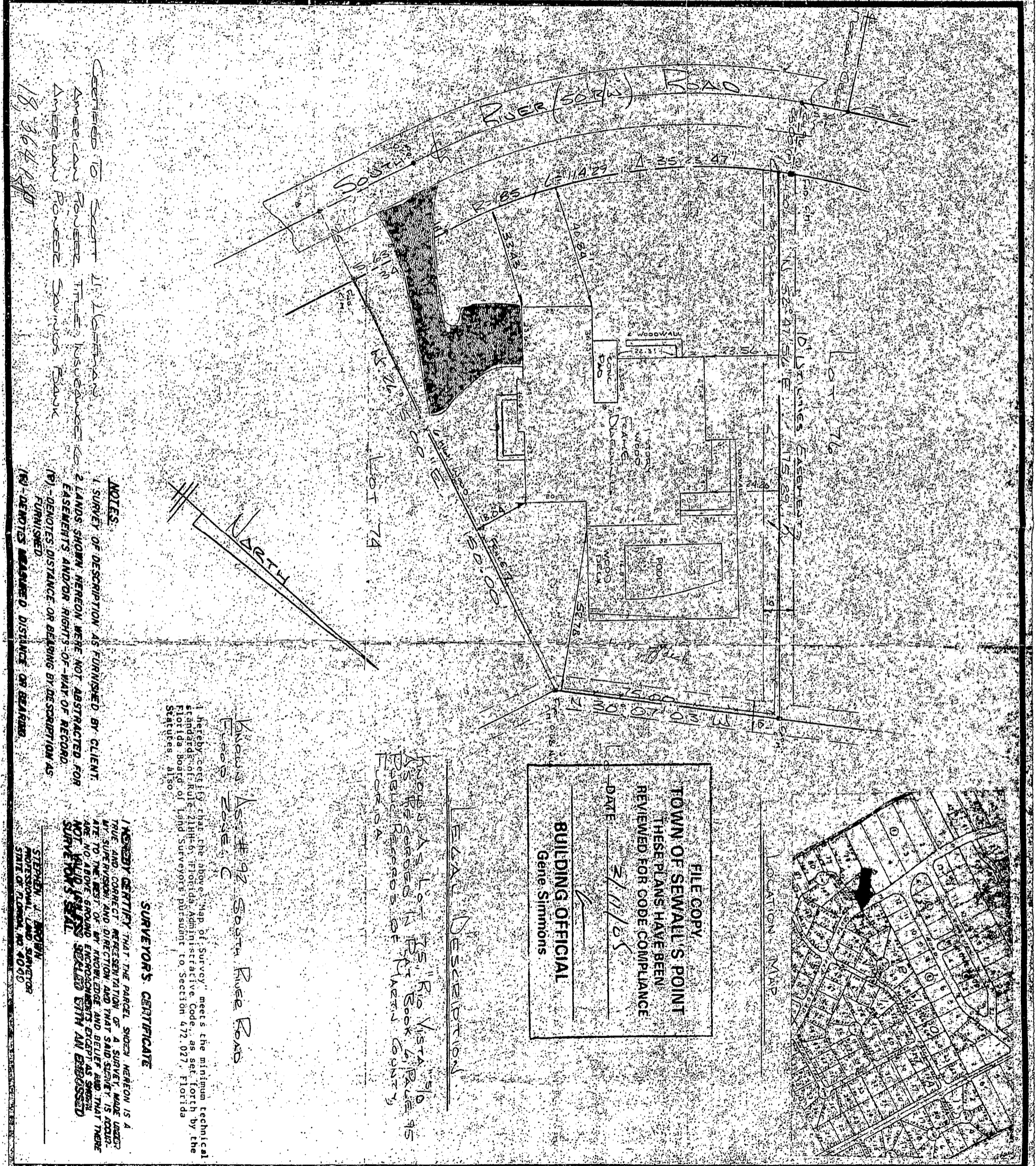
(X)

OR PERSONALLY KNOWN XXX  
PRODUCED ID \_\_\_\_\_  
TYPE OF ID \_\_\_\_\_

[Signature]  
NOTARY SIGNATURE



Veronica L Taylor  
My Commission DD219784  
Expires June 04, 2007



FILE COPY  
 TOWN OF SEWELL'S POINT  
 THESE PLANS HAVE BEEN  
 REVIEWED FOR CODE COMPLIANCE  
 DATE 2/11/05  
 BUILDING OFFICIAL  
 Gene Simmons

EVAE DESCRIPTION

Knowl As Lot 75, "Rio Vista" 510  
 As Recorded in Plat Book 61 Page 95  
 Public Records of Hernando County,  
 FLORIDA

Knowl As #92 South Ruse Road  
 EASE C

I hereby certify that the above "Map of Survey" meets the minimum technical standards of Rule 21H-6, Florida Administrative Code, as set forth by the Florida Board of Land Surveyors pursuant to Section 472.027, Florida Statutes. Also

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE PARCEL SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER MY SUPERVISION AND DIRECTION AND THAT SAID SURVEY IS ACCORDING TO THE BEST OF MY KNOWLEDGE AND BELIEF AND THAT THERE ARE NO ABOVE GROUND ENCUMBRANCES EXCEPT AS SHOWN NOT WITHIN MY SURVEY'S SEAL

STEPHEN J. BROWN  
 PROFESSIONAL LAND SURVEYOR  
 STATE OF FLORIDA, NO 40090

SETTLED TO SCOTT J. HOFFMAN  
 AMERICAN FIDELITY INSURANCE CO  
 AMERICAN POWER SAVINGS BANK  
 18,364 P&P

NOTES:  
 1. SURVEY OF DESCRIPTION AS FURNISHED BY CLIENT  
 2. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS AND/OR RIGHTS OF WAY OF RECORD  
 (A) - DENOTES DISTANCE OR BEARING BY DESCRIPTION AS FURNISHED  
 (B) - DENOTES MEASURED DISTANCE OR BEARING

TITLE SURVEY DEMOREST

PREPARED FOR: SCOTT HOFFMAN  
 STEPHEN J. BROWN INC.  
 SURVEYORS · DESIGNERS · LANDPLANNERS · CONSULTANTS  
 295 FLORIDA STREET, STUART, FLORIDA 33497  
 (305) 207-0525

DRAWN S.J.B.  
 CHECKED " "  
 DATE 10/21/95  
 SCALE 1" = 20'  
 JOB NO. 377-01  
 SHEET 1  
 OF 1 SHEETS

REVISIONS	BY	DATE

401-288-7176

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 3/7, 2005 Page 1 of    

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7282	SHORT	FRAMING	FAIL	
10 <del>1111</del>	10 N. RIVER RD O/B			INSPECTOR:
7174	GOVEL	DRY IN	PASS	
1A <del>1111</del>	5 RIVERVIEW GOLD COAST ROOF	(FIRST TIME)		INSPECTOR:
<del>7353</del>	<del>CHONTOS</del>	<del>STREET MAIN DRAIN</del>		<del>CANCEL</del>
<del>4</del>	<del>83 S. SEWALL ST ADVANTAGE POOLS</del>			INSPECTOR:
6819	MANGAN	POOL FINAL	PASS	
9 <del>1111</del>	16 PERRINVILLE HARBOUR BAY POOLS			INSPECTOR:
7321	KIPLINGER	IN PROGRESS DECK	FAIL	
2	143 S. RIVER RD SQUARE ROOFING			\$40 FEE INSPECTOR:
6962	WEBER	SPA FINAL	PASS	CLOSE
8 <del>1111</del>	49 N. RIVER RD SCHILLER POOLS			INSPECTOR:
<del>7291</del>	<del>DEMAREST</del>	<del>FINAL DEMO</del>	<del>PASS</del>	<del>CLOSE</del>
3	92 S. RIVER RD NAT'L BRICK PAVERS			INSPECTOR:

OTHER: \_\_\_\_\_

**8139**

**PAVERS**

**RETAINING WALL**

ABANDONED - 9/28/06  
 Renew 9/28/06 - 9/28/07 \$96

MASTER PERMIT NO. \_\_\_\_\_

**TOWN OF SEWALL'S POINT**

Date 3-28-06

BUILDING PERMIT NO. 8139

Building to be erected for DEMAREST

Type of Permit RIVER DECK + RETAINING WALL

Applied for by CHITWOOD + CO

(Contractor) Building Fee \$10K x 9.60/1000 = 96.00

Subdivision RIO VISTA Lot 75 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 92 S. RIVER RD

Impact Fee \_\_\_\_\_

Type of structure SIR

AC Fee \_\_\_\_\_

Parcel Control Number:

12384100260000750000

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Amount Paid 105.60 Check # 5022 Cash \_\_\_\_\_

Other Fees (10% PL) 9.60

Total Construction Cost \$ 10,000

TOTAL Fees 105.60

Signed [Signature]

Applicant

Signed [Signature]

Town Building Official

1-12-07  
 Mrs. Chitwood - web on Tues.

781-1357 1-16/07

**PERMIT**

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL                              |
| <input type="checkbox"/> PLUMBING         | <input type="checkbox"/> ROOFING             | <input type="checkbox"/> POOL/SPA/DECK                           |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE                                   |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS                                     |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION                              |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL            | <input checked="" type="checkbox"/> ADDITION<br>Retaining WALLS. |

**INSPECTIONS**

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

215-1722

RECEIVED  
3/16/07

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: Bo Demorest Phone (Day) 220-0122 (Fax) N/A

Job Site Address: 92 S. River Rd. City: Sewall's Pt. State: FL Zip: \_\_\_\_\_

Legal Desc. Property (Subd/Lot/Block) Rivista/ld Lot 75 Parcel Number: 12-38-41-002-000-00750

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: Retaining wall & sand set pavers

WILL OWNER BE THE CONTRACTOR?:

YES

NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 10,000  
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: \_\_\_\_\_

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: Chitwood & CO, LLC Phone: 220-1767 Fax: 781-1357

Street: 545 S.E. Central Pkwy City: Stuart State: FL Zip: 34994

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: SP01859

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic.# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) \_\_\_\_\_

State of Florida, County of: Martin

This the 3rd day of March, 2006

by Robert P. Demorest who is personally known to me or produced \_\_\_\_\_

as identification. \_\_\_\_\_

Veronica L Taylor  
Notary Public  
My Commission Expires: 6/4/07  
Seal

CONTRACTOR SIGNATURE (required) \_\_\_\_\_

On State of Florida, County of: Martin

This the 5 day of March, 2006

by D. Chitwood (who is personally known to me or produced \_\_\_\_\_

As identification. \_\_\_\_\_

BARBARA KLEMENCIC  
Notary Public - State of Florida  
My Commission Expires: 12/31/08  
My Commission # DD 359063  
Bonded By National Notary Assn.  
Seal

# ACORD™ CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
09/16/2005

PRODUCER (772)287-2030 FAX (772)288-2481  
Deakins-Carroll Insurance Agency  
www.deakinscarroll.com  
P.O. Box 1597  
Pt. Salerno, FL 34992

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED Chitwood & Company, LLC  
545 SE Central Parkway  
Stuart, FL 34994

INSURERS AFFORDING COVERAGE

NAIC #

INSURER A: Old Dominion Insurance Company  
INSURER B:  
INSURER C:  
INSURER D:  
INSURER E:

## COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	ADD'L INSR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A		GENERAL LIABILITY	MPG73529	09/16/2005	09/16/2006	EACH OCCURRENCE	\$ 500,000
	<input checked="" type="checkbox"/>	COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 100,000
	<input type="checkbox"/>	CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$ 10,000
	<input type="checkbox"/>					PERSONAL & ADV INJURY	\$ 500,000
	<input type="checkbox"/>					GENERAL AGGREGATE	\$ 1,000,000
	<input type="checkbox"/>					PRODUCTS - COMP/OP AGG	\$ 1,000,000
	<input type="checkbox"/>					GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	
		AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT (Ea accident)	\$
		<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
		<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$
		<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$
		<input type="checkbox"/> HIRED AUTOS					
		<input type="checkbox"/> NON-OWNED AUTOS					
		GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$
		<input type="checkbox"/> ANY AUTO				OTHER THAN AUTO ONLY: EA ACC	\$
						AGG	\$
		EXCESS/UMBRELLA LIABILITY				EACH OCCURRENCE	\$
		<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$
		<input type="checkbox"/>					\$
		<input type="checkbox"/> DEDUCTIBLE					\$
		<input type="checkbox"/> RETENTION \$					\$
		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATU-TORY LIMITS	OTH-ER
		ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				E.L. EACH ACCIDENT	\$
		If yes, describe under SPECIAL PROVISIONS below				E.L. DISEASE - EA EMPLOYEE	\$
						E.L. DISEASE - POLICY LIMIT	\$
		OTHER					

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

## CERTIFICATE HOLDER

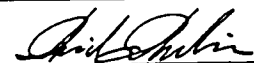
Sewall's Point, Town of  
1 South Sewall's Point Road  
Stuart, FL 34996

## CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

David Deakins/BW





<b>ACORD CERTIFICATE OF LIABILITY INSURANCE</b>		ROBOHYTW	DATE (MM/DD/YYYY) 01/09/2006
<b>PRODUCER</b> LightHouse-Programs, LLC 301 E. Pine St. Suite 350 Orlando, FL 32801		THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
<b>INSURED</b> Picot Financial Employee Leasing, Inc. 1745 Tanager Trail Port Charlotte, FL 33952		<b>INSURERS AFFORDING COVERAGE</b> INSURER A: AIA Insurance Company INSURER B: INSURER C: INSURER D: INSURER E:	<b>NAIC #</b> _____ _____ _____ _____

**COVERAGES**  
 THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR RSTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YYYY)	POLICY EXPIRATION DATE (MM/DD/YYYY)	LIMITS
	GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-CLM <input type="checkbox"/> LOC				EACH OCCURRENCE \$ DAMAGE TO RENTED PREMISES (EA OCCURRENCE) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
	EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE  <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/SUBS/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below OTHER	WBLTHPE 000066-01	01/01/2006	01/01/2007	<input checked="" type="checkbox"/> WC BY ALL TORY LIMITS <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS  
 Coverage is extended to the leased employees of alternate employer of Florida Operations ONLY; Chitwood & Company, LLC. client #3065 (Effective 1.01.2006) **DISCLAIMER:** The Certificate of Insurance does not constitute a contract between the issuing insurer(s), authorized representative or producer, and the certificate holder, nor does it affirmatively or negatively amend, extend or alter the coverage afforded by the policies listed thereon.

**CERTIFICATE HOLDER**

SEWELL'S POINT TOWN HALL  
 1 SOUTH SEWELL'S POINT ROAD  
 SEWELL'S POINT, FL 34936  
 772/229-1765

ACORD 25 (2001/08)

**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE




© ACORD CORPORATION 1999

MARTIN COUNTY, FLORIDA  
 Construction Industry Licensing Board  
 Certificate of Competency

**PAVER BLOCK**

License Number SP01859 Expires: 30-SEP-07

CHITWOOD, MARVIN B  
 CHITWOOD & CO LLC  
 545 SE CENTRAL PKWY  
 STUART, FL 34984



If you have any questions relating to the information in this letter, please contact the Martin County Contractor's Licensing Division of the Martin County Building Department.

- 43.42 R Advertising contracting work in any advertisement to the public in a newspaper or telephone directory without including in the advertisement the number of the contractor license issued to the person or business being advertised.
- 43.42 S Operating any commercial vehicle in the course of conducting the practice of contracting that fails to display the contractor license number of the contractor.

**PROHIBITED ACTIVITIES:**

PLEASE BE ADVISED THAT MARTIN COUNTY, FLORIDA SECTION 43.42 REQUIRES COMPLIANCE WITH THE FOLLOWING EXCEPT FROM THE GENERAL ORDINANCES OF THE MARTIN COUNTY CODE:

**NOTICE TO ALL CONTRACTORS**

CHITWOOD, MARVIN B  
 CHITWOOD & CO LLC  
 545 SE CENTRAL PKWY  
 STUART, FL 34984

**Martin County Building Department**  
 2401 SE Monterey Road  
 Stuart, FL 34996  
 (772) 288-5482  
 Fax (772) 288-5911



INSTR # 1916448 OR BK 02119 PG 2840 RECD 03/09/2006 12:18:29 PM  
Pg 2840: (1pg)  
MARSHA EWING MARTIN COUNTY DEPUTY CLERK L Wood

To be completed when construction value exceeds \$2500.00  
Permit No. \_\_\_\_\_ Tax Folio No. 12-3841-002-000-00750

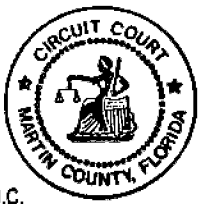
NOTICE OF COMMENCEMENT

STATE OF FLORIDA, COUNTY OF Martin County

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

- 1. Description of property: Rio Vista s/d Lot 75, 92 S. River Rd., Sewall's Pt
- 2. General description of improvement: installation of retaining wall & sandset pavers
- 3. Owner information: Name and address: Bo Demorest, 92 S. RIVER ROAD, Sewalls Pt, FL  
Phone# 772-220-0122
- 4. Contractor: Name and address: Chitwood & Company, LLC  
Phone number: 772-2201767 Fax number: 772-781-1357

STATE OF FLORIDA  
MARTIN COUNTY  
THIS IS TO CERTIFY THAT THE  
FOREGOING 1 PAGES IS A TRUE  
AND CORRECT COPY OF THE ORIGINAL.  
MARSHA EWING, CLERK  
BY [Signature]  
DATE 3/9/06



5. Surety  
Name and address: \_\_\_\_\_  
Phone number: \_\_\_\_\_ Fax number (optional, if service by fax is acceptable): \_\_\_\_\_

6. LenderName and address: \_\_\_\_\_  
Phone number: \_\_\_\_\_ Fax number (optional, if service by fax is acceptable): \_\_\_\_\_

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(l)(a)7., Florida Statutes:  
Name and address: \_\_\_\_\_  
Phone number: \_\_\_\_\_ Fax number (optional, if service by fax is acceptable): \_\_\_\_\_

8. In addition to himself, Owner designates the following person(s) to receive a copy of the Lienors Notice as provided in Section 713.13(l)(b), Florida Statutes:  
Name and address: \_\_\_\_\_  
Phone number: \_\_\_\_\_ Fax number (optional, if service by fax is acceptable): \_\_\_\_\_

9. Expiration date of notice of commencement (the expiration date is 1 year from the date of recording unless a different date is specified)

Signature of Owner [Signature]  
Owner's Name BO DEMOREST  
Owner's Address 92 S. RIVER ROAD, SEWALLS PT, FL

Sworn to and subscribed before me by Robert P. Demorest who is personally known to me or produced \_\_\_\_\_ as identification, and who didn't take an oath, this 3rd day of march, 2006.

Signature of Notary [Signature]  
Printed Name of Notary Veronica L Taylor  
Commission No./Expiration 12/4/07

Veronica L Taylor  
My Commission DD218784  
Expires June 04, 2007

## CRITIQUE

Owner: Bo Demorest

Date: March 10, 2006

Contractor: Chitwood

Contractor's Phone Number: 220-1767

Plan Reviewer: Gene Simmons

### PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR RETAINING WALL AND BRICK PAVER DECK

#### Submittals (2 copies)

1. Current survey (**within one year**) containing the following information:
  - a. Survey shows existing deck encroaching the rear and side setback areas.  
New deck cannot encroach setback areas.

#### The following documents must be signed and sealed by a registered Architect or Engineer. (2 copies)

1. Section/Detail Drawings and Schedules showing the following information:
  - a. Need cross-section of retaining wall and how it is to be constructed and how high.
  - b. Is the retaining wall going to retain fill to construct your paver deck?

### CRITIQUE

Owner: Bo Demorest  
Contractor: Chitwood  
Contractor's Phone Number: 220-1767

Date: March 10, 2006  
Plan Reviewer: Gene Simmons

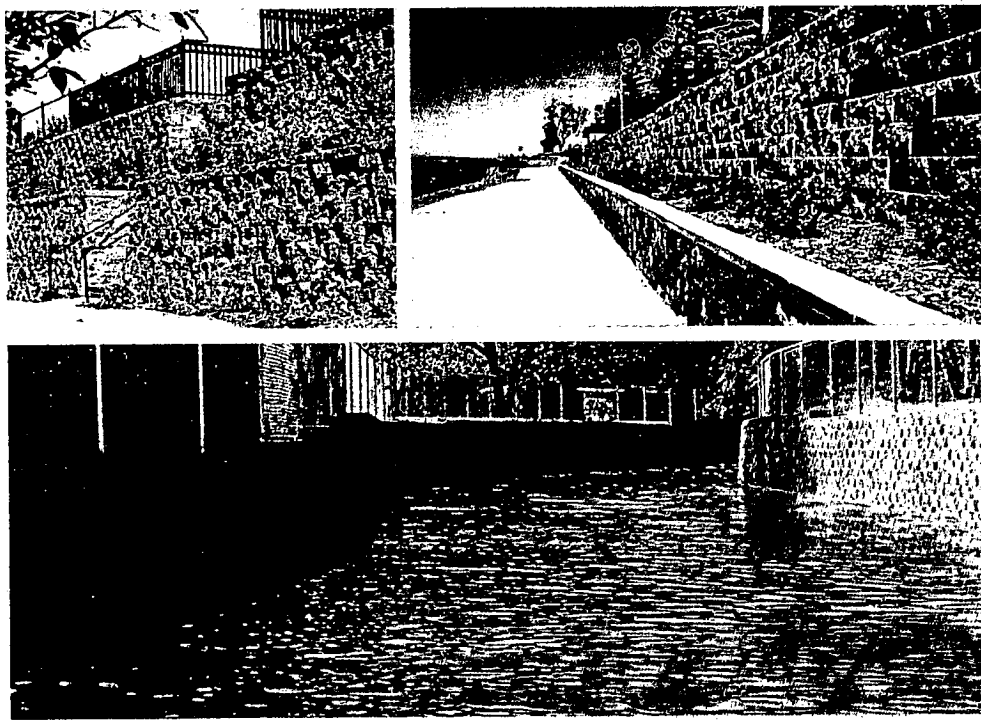
### PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR RETAINING WALL AND BRICK PAVER DECK

#### Submittals (2 copies)

- 1. Current survey (**within one year**) containing the following information:
  - a. Survey shows existing deck encroaching the rear and side setback areas.  
New deck cannot encroach setback areas. *SEE NEW DRAWING*

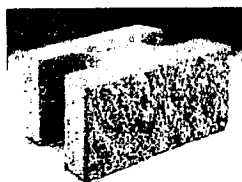
The following documents must be signed and sealed by a registered Architect or Engineer. (2 copies)

- 1. Section/Detail Drawings and Schedules showing the following information:
  - a. Need cross-section of retaining wall and how it is to be constructed and how high. *SEE MAN. SPEC. SHEET*
  - b. Is the retaining wall going to retain fill to construct your paver deck? *YES*



For non-reinforced gravity wall applications, Anchor Vertica® walls can be built up to three feet, while Anchor Vertica Pro®, with its deeper design, can accommodate walls up to approximately six feet. With geosynthetic reinforcement, both can be used to design projects to virtually any height. The Anchor Vertica® Series uses built-in locators to assure proper alignment and an impressive 4° degree batter. The near vertical rise means less excavation and land loss. For tall wall projects where space is at a premium, the Anchor Vertica Series is the attractive, environmentally friendly and low-maintenance solution.

## Specifications



**Anchor Vertica®**  
(Straight Face)

Nominal Dimensions\*:  
8" x 18" x 11"  
(200mm x 450mm  
x 280mm)

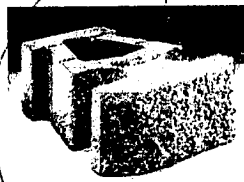
Approx. Weight\*:  
86 lbs. (39 kg.)

Coverage:  
1.0 sq. ft. (0.09m<sup>2</sup>)

Set back:  
0.5" (13mm)

Batter: 4°

Available in straight  
and beveled face units.



**Anchor Vertica Pro®**  
(Beveled-Face)

Nominal Dimensions\*:  
8" x 18" x 20"  
(200mm x 450mm  
x 500mm)

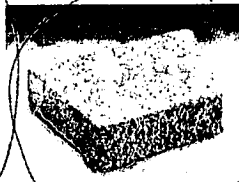
Approx. Weight\*:  
115 lbs. (52 kg.)

Coverage:  
1.0 sq. ft. (0.09m<sup>2</sup>)

Set back:  
0.5" (13mm)

Batter: 4°

Available in straight  
and beveled face units.



**Anchor Vertica® Cap**

Nominal Dimensions\*:  
4" x 17 1/4" x 10"  
(100mm x 450mm  
x 250mm)

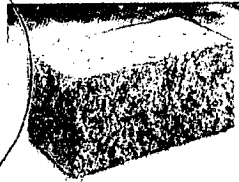
Approx. Weight\*:  
40 lbs. (18 kg.)

Coverage:  
1.0 sq. ft. (0.09m<sup>2</sup>)

Set back:  
0.5" (13mm)

Batter: 4°

Available in straight  
and beveled face units.



**Anchor Vertica® Corner**

Nominal Dimensions\*:  
8" x 18" x 9"  
(200mm x 450mm  
x 225mm)

Approx. Weight\*:  
101 lbs. (46 kg.)

Coverage:  
1.0 sq. ft. (0.09m<sup>2</sup>)

Set back:  
0.5" (13mm)

Batter: 4°

Available in straight  
and beveled face units.

\* Nominal Dimensions. Actual dimensions and weight may vary from these nominal dimensions due to variations resulting from the manufacturing process. Specifications may change without notice. See your Anchor representative for details, color options, block dimensions and additional information.



In the United States, Anchor Wall Systems products are backed by a 5-Year Limited Warranty. For a complete copy of the Anchor Wall Systems Warranty, visit your local distributor or manufacturer or contact Anchor Wall Systems at 1-877-295-5415 or [www.anchorwall.com](http://www.anchorwall.com).

©2002 Anchor Wall Systems, Inc. 5959 Baker Road, Suite 390, Minnetonka, MN 55345-5995 USA. For more information call us toll-free in the U.S. at 1-877-295-5415. Outside the U.S. call +1-952-933-8855 or visit [www.anchorwall.com](http://www.anchorwall.com).

"Anchor Wall Systems," "Vertica," "Vertica Pro," and the "A" logo are trademarks of Anchor Wall Systems, Inc. Vertica and Vertica Pro block are manufactured by licensed Anchor Wall Systems producers and are protected by U.S. patent nos. 5,490,363, 5,704,183, 5,709,062, 5,711,129, 6,113,318. Canadian patent no. 2,146,345. Australian patent no. 1B2939. Other U.S. and International patents issue and pending.

3. **How many caps do I need?** (Diamond, Dia. Pro, Highland, Bayfield, Vertica & Vertica Pro)  
 To compute the number of caps that are needed for the above blocks, convert the linear feet of the wall to inches and divide by 14.5. Example: a 100 ft long wall would need 83 caps (100 x 12 divided by 14.5). (For Windsor & Bayfield caps divide by 10.5) Add for "waste" and walls with a radius.

4. **How high can I go with my wall?**  
 The maximum height, including imbedded first course, for a **gravity (non-reinforced)** retaining wall using the following products is:

- ↳ **Vertica Pro:** 6 feet 3 inches, including 6" embedment (5 feet 9" above grade)\* (10 courses)
- Vertica:** 3 feet 1.5 inches, including 6" embedment (2 feet 7.5" above grade)\* (5 courses)
- Diamond Pro:** 3 feet 4 inches, including 6" embedment (34" above grade)\* (5 courses)
- Highland:** 4 feet, including 6" embedment (3 ½ feet above grade)\* (7 courses)
- Bayfield:** 3 feet, including 6" embedment (2 ½ feet above grade)\* (6 courses)
- Diamond:** 4 feet, including 6" embedment (3 ½ feet above grade) \* (7 courses)
- Windsor:** 2 feet, including 4" embedment (20 inches above grade) (6 courses)
- Sahara:** 2 feet, including 4" embedment (20 inches above grade) (6 courses)
- Border:** 16" including 4" embedment (12 inches above grade) (4 courses)

**\*The above maximum heights are based on the following assumptions:**

- 1) Level finished grades in front and behind wall (no slopes) ✓
- 2) Sand/gravel soil on site ✓
- 3) No surcharge on wall (i.e. driveway, parking lot, building) ✓
- 4) 6" aggregate with fines compacted base ✓

**\* Reinforced & properly engineered** walls with the Anchor Vertica Pro, Vertica, Diamond, Diamond Pro and Highland Stone can exceed 20 feet.

5. **Can I build multiple or terraced gravity walls to stay at or under the recommended maximum wall height?**

Yes, however, a terraced wall creates a surcharge load on the lower wall. Therefore, the distance between the walls should be greater than two times the height of the first (lower) wall. Example: if the first (lower) wall is 3 feet high, then the second wall must start at least 6 feet behind it. There are exceptions to this rule, but, engineering is required because the walls are no longer considered independent.

6. **What holds the wall in place?**

An integral rear lip or raised locator (Vertica) is manufactured into the blocks. The lip and locator automatically guides each new course; ensuring proper alignment and precise setback. **No Pins. No Mortar.**

7. **How much setback is there?**

The rear lip on each block is designed and engineered with a uniform degree of setback per course or block. The degree in inches per course for each block is:

	<u>Amount of setback per foot of wall height</u>	
Vertica & Pro	½" (4 Degree)	.8 inches
Diamond Pro:	1" (7 Degree)	1 ½ inches
Diamond:	1-1/8" (11 Degree)	2 ¼ inches
Highland:	1-1/8" (11 Degree)	2 ¼ inches
Bayfield:	1-1/8" (11 Degree)	2 ¼ inches
Windsor:	¾"	2 ¼ inches
Aspen Stone:	¾"	2 ¼ inches
Sahara & Border:	½"	1 ½ inches



## TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 92 S. RIVER ROAD

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

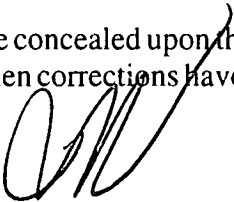
FINAL RETAINING WALL

NEED FINAL SURVEY

48" VERTICAL DROP FROM  
POOL WELL TO GRADE  
REQUIRES 36" RAISED  
F.B.C. (30" VERTICAL  
DROP OR GREATER)

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 9/25



INSPECTOR

**DO NOT REMOVE THIS TAG**



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 9-25, 2006 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8166	Cummings	Steel bonding structure	PASS	
3	835 River Rd Olympic			INSPECTOR: <i>AM</i>
Tree	Antonelli	Tree	PASS	
1	10 Island Rd O/B			INSPECTOR:
<del>8139</del>	<del>Normant</del>	<del>Final retaining wall</del>	<del>PASS</del>	
2	925 River Rd Chitwood			INSPECTOR: <i>AM</i>
0127		COFFIT FINAL	PASS	CLOSE
4	16 CRANES NEST			INSPECTOR: <i>AM</i>
0016		INSULATION	PASS	
6	3 EMARITA			INSPECTOR: <i>AM</i>
0117		SLAB	PASS	
5	18 RIO VISTA	(REMODEL)		INSPECTOR: <i>AM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4-2, 2007 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8531	Cummings 83 S. River Rd Elias/Ed	Guest House slab	PASS	INSPECTOR: <i>[Signature]</i>
8172	Manano 23 Middle Rd Ken Wendell	rough plumbing rough electric LATH	FAIL FAIL FAIL	INSPECTOR: <i>[Signature]</i>
8539	Sherts 101 S River Rd Stuart Roof	Final	FAIL PASS	REINSPECTED LATE MORN - CLOSE INSPECTOR: <i>[Signature]</i>
8500	Toledo 9 N River Rd Pauzie Roof.	Final - roof	FAIL	INSPECTOR: <i>[Signature]</i>
8549	Demorest <del>Final</del>	Pool Guard rail	PASS	CLOSE
8139	92 S River Rd	Roof/Ret wall	PASS	CLOSE
8312	Demorest Const	SPA	PASS	INSPECTOR: <i>[Signature]</i>
8397	Rossario 137 S River Rd Hardware Elec	Final (gen)	FAIL	INSPECTOR: <i>[Signature]</i>
Tree	Breene 113 Helcrest DR OB	Tree	PASS	INSPECTOR: <i>[Signature]</i>

OTHER:

**8312**

**SPA**

TOWN OF SEWALL'S POINT

Date 7-12-06 Receipt  
BUILDING PERMIT NO. 8312  
Building to be erected for Demorest Type of Permit SPA  
Applied for by Schiller Fovels (Contractor) Building Fee 240-  
Subdivision Riv Vista Lot 75 Block \_\_\_\_\_ Radon Fee \_\_\_\_\_  
Address 925 River Rd Impact Fee \_\_\_\_\_  
Type of structure SFR A/C Fee \_\_\_\_\_  
Electrical Fee \_\_\_\_\_  
Parcel Control Number: \_\_\_\_\_ Plumbing Fee \_\_\_\_\_  
123841-002-000-0075090000 Roofing Fee \_\_\_\_\_  
Amount Paid \$240 Check # 7028 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_  
Total Construction Cost \$ 10000- TOTAL Fees 240-

Signed Duke Fovels  
Applicant

Signed Valued Meyer  
Town Building Official Sept Clerk



# MARTIN COUNTY BUILDING PERMIT

**PERMIT CARD MUST BE POSTED IN A CONSPICUOUS PLACE ON THE FRONT OF THE PREMISES WITHIN VIEW OF THE STREET BEFORE WORK IS STARTED.**

Permit Number: SP01 - 20060076  
Permit Type: SEWALLS POINT  
Date Issued: 10-JUL-06  
Project:  
Scope of Work: Acrylic Spa Installation

Applicant/Contact:	SCHILLER, ROBERT D	/
Parcel Control Number:	12-38-41-002-000-0075.0-90000	
Subdivision:	RIO VISTA	
Construction Address:	92 SOUTH RIVER RD	
Location Description:		
Owner Name:	DEMOREST, ROBERT PAUL	
Prime Contractor:	SCHILLER, ROBERT D 3285 NE DIXIE HWY STUART, FL 34997	R D SCHILLER POOLS 772-323-1126 License No.: CPC057114

In consideration of the granting of this permit, it is agreed that in all respects the work will be performed and completed in accordance with the permitted plans and the applicable codes for Martin County, Florida. This permit may be revoked at any time upon the violation of any of the provisions of said laws, ordinances or rules and regulations or upon any change in the plans and specifications unauthorized by this department. Permit expires one hundred eighty (180) days from the date of issuance if work is not started or if work is suspended for a period of six months. Per FBC Section 3305, sanitary facilities shall be provided during construction, remodeling, or demolition activities.

"NOTICE: IN ACCORDANCE TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES."

**"WARNING TO OWNER; YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."**  
**A CERTIFIED COPY OF RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE ISSUING AUTHORITY PRIOR TO THE FIRST INSPECTION.**

ALL REINSPECTIONS OR ADDITIONAL INSPECTIONS WILL BE CHARGED AT A RATE ESTABLISHED BY THE BOARD OF COUNTY COMMISSION. NOTICE: DO NOT ORDER CONCRETE UNTIL INSPECTION IS APPROVED.

UPON COMPLETION OF WORK, A FINAL INSPECTION MUST BE CALLED FOR BY THE CONTRACTOR. FAILURE TO DO SO WILL RESULT IN A DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR.

## INSPECTIONS

Phone 221-2364 (interactive voice) or 288-5489 for inspections. 24 hour notice is required.  
The inspections listed below may not represent all necessary required inspections for the scope of work.

6021 Pool Deck \_\_\_\_\_ 3050 R/Elec \_\_\_\_\_ 6099 Residential Final \_\_\_\_\_

# MARTIN COUNTY BUILDING PERMIT CONDITIONS

## Conditions

1. ELECTRICAL VERIFICATION-6021

Must be done prior to inspection: 6021

SUBMITTAL OF COMPLETED ELECTRICAL VERIFICATION REQUIRED PRIOR TO SCHEDULING INSPECTION.

---

232 GORMAN STUART  
 4191 S E COMMERCE AV-ZIP 34997  
 P O BOX 2830  
 STUART FL 34995-2830  
 772-287-5531 Fax 772-283-2737

SPA  
PN0076

**\*\* INVOICE \*\***

INVOICE DATE	INVOICE NUMBER
12/21/06	S4846310.001
REMIT TO:	PAGE NO.
HAJOCA CORPORATION DEPT. AT 40004 ATLANTA GA 31192	1

RECEIVED  
 12/23/06

BILL TO:  
 ROBERT DEAN SCHILLER POOLS  
 3590 SE DIXIE HWY  
 STUART, FL 34997-5245

SHIP TO:  
 ROBERT DEAN SCHILLER POOLS  
 92 S. RIVER ROAD  
 SEWALLS POINT, FL 34996

CUSTOMER NUMBER	CUSTOMER ORDER NUMBER	RELEASE NUMBER	FRT	SALESPERSON	WRITER
232-242780	DEMOREST SPA COVER		YES	Bill Berr	Bill
ORDERED BY	SHIP VIA	TERMS		SHIP DATE	ORDER DATE
DEAN SCHILLE	OT OUR TRUCK	NET 10TH PROX		12/21/06	12/15/06
DESCRIPTION	ORDER QTY	SHIP QTY	NET UNIT PRICE	EXTENSION	
DOUGLAS MARINE SPEC ORDER SPA COVER 88" OCTAGON TAN STANDARD MATERIAL **NO SKIRT**  AS PER ATTACHED FORM	1ea	1ea	215.000ea	215.00	
** Reprint ** Reprint ** Reprint **				Subtotal	215.00
				S&H Chgs	0.00
				Sales Tax	12.90
				Amount Due	227.90

ck # 4824  
 227.90  
 1/17/07

BY ACCEPTING THE PRODUCT DESCRIBED ON THIS INVOICE YOU ARE AGREEING TO THE TERMS ON OUR SHIPPING TICKET AND ON THE RELATED CREDIT APPLICATION. IF FOR ANY REASON YOU ARE UNWILLING OR UNABLE TO ACCEPT SAID TERMS, RETURN THE PRODUCT IMMEDIATELY IN NEW CONDITION.

1/4/07  
 Beau - Here is invoice (with cost) for spa cover. Jill

RECEIVED  
6-8-06

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: 6-07-06

OWNER/TITLEHOLDER NAME: ROBERT DEMOREST Phone (Day) 772-221-3622 (Fax) 772-220-0227

Job Site Address: 92 S. RIVER RD. City: STUART State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) RIO VISTA S/D LOT 75 Parcel Number: 12-38-41-002-000-00750-9-0000

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: ACRYLIC SPA INSTALLATION

WILL OWNER BE THE CONTRACTOR?:

YES

NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ #10,000  
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

(If no, fill out the Contractor & Subcontractor sections below)

Is improvement cost 50% or more of Fair Market Value? YES NO

(If yes, Owner Builder Affidavit must accompany application)

Method of Determining Fair Market Value: \_\_\_\_\_

CONTRACTOR/Company: R.D SCHILLER POOL Phone: 287-0768 Fax: 287-9970

Street: 3590 SE DIXIE HWY City: STUART State: FL Zip: 34997

State Registration Number: CPC 057114 State Certification Number: \_\_\_\_\_ Martin County License Number: RP0055005

SUBCONTRACTOR INFORMATION:

Electrical: D.J. HARMAN State: FL License Number: ME00049

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER HARVEY E. KOEHNEN Lic# 32831 Phone Number: 772-466-5509

Street: 7205 ELYSE CIRCLE City: P.S.L State: FL Zip: 34952

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004  
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

State of Florida, County of: Martin

This the 1st day of June, 2006

by Robert P Demorest who is personally

known to me or produced

as identification. Monica Taylor

Notary Public

My Commission Expires: 6/4/07

Seal



My Commission Expires: \_\_\_\_\_

Expires June 04, 2007

CONTRACTOR SIGNATURE (required)

On State of Florida, County of: Martin

This the 8 day of June, 2006

by Robert Dean Schiller who is personally

known to me or produced

As identification. Theresa Ghalowski

Notary Public

My Commission Expires: 7/12/09

Seal

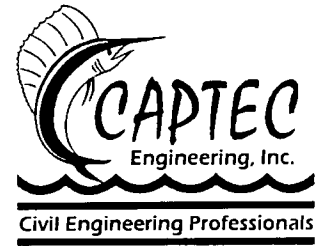


# CAPTEC Engineering, Inc.

301 N.W. Fiaglier Avenue, Stuart, FL 34994

772.692.4344 \* Fax: 772.692.4341 -

captec1@aol.com



## Invoice

Tuesday, June 13, 2006

Invoice Number: 9266

To: Attention: Mr. Robert D. Schiller  
R.D. Schiller Pools, Inc.

3590 SE Dixie Highway  
Stuart, FL 34997

**Project: 932.33 Town of Sewall's Point Review: Spa permit application - Demorest residence - 92 S. River Road**

Professional Services for the Period: 6/9/2006 to 6/13/2006

### Task 2: Permit Application Review

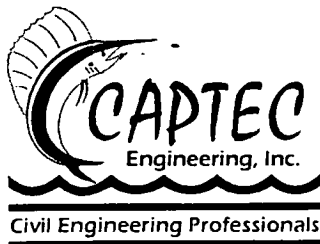
#### Professional Services

<u>Task 2: Permit Application Review</u>	<u>Bill Hours</u>	<u>Charge</u>
Office Manager	0.25	16.25
Project Coordinator	0.25	13.75
Project Coordinator	0.25	13.75
P.E. / Project Manager	0.75	82.50
<b>Task 2: Permit Application Review Total:</b>	<b>1.50</b>	<b>\$126.25</b>
<b>Professional Services Totals:</b>		<b>\$126.25</b>

**\*\*\* Total Project Invoice Amount : \$ 126.25**

**Aged Receivables: Please note - All project work will stop if receivables reach 60 days.**

<u>Current</u>	<u>+30 Days</u>	<u>+60 Days</u>	<u>+90 Days</u>	<u>120 Days +</u>
\$126.25	\$0.00	\$0.00	\$0.00	\$0.00



June 12, 2006  
932.33

R.D. Schiller Pools, Inc.  
C/O Mr. Robert D. Schiller  
3590 SE Dixie Hwy.  
Stuart, FL 34997

***RE: Building Permit Application to construct Spa at the Demorest Residence – 92 So. River Road***

Dear Mr. Schiller:

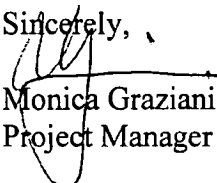
Please be advised that a review has been performed of the materials received in our office on June 9, 2006, for the above referenced project and offer no objections.

CAPTEC Engineering, Inc., a professional consultant, has been retained by the Town of Sewall's Point to assist the community with zoning issues relative to building permits. Any service provided by CAPTEC Engineering, Inc. will be a 'pass-thru' fee to the applicant.

CAPTEC Engineering, Inc. performed this review for the Town of Sewall's Point in order to confirm compliance with the applicable Codes and Regulations. Neither the Reviewer nor the Town of Sewall's Point is the Design Engineer or Architect of Record and, therefore, neither entity accepts responsibility for the accuracy or contents of the design documents and/or other data submitted by the Applicant.

Please note suggestions provided by CAPTEC Engineering, Inc. are offered in order to assist the Applicant in complying with the Town of Sewall's Point Codes and Regulations. However, the Applicant bears the burden of demonstrating that their submittal meets the applicable Town Code requirements. The applicant is responsible to obtain all regulatory agency permits.

If you should need further clarification or have any questions with regard to this matter, please feel free to contact me.

Sincerely,  
  
Monica Graziani  
Project Manager

# ACORD™ CERTIFICATE OF LIABILITY INSURANCE

AEM-6014

DATE (MM/DD/YYYY)  
1/18/2006

**PRODUCER**  
Lighthouse-Programs, LLC  
301 E. Pine Street  
Suite 350  
Orlando, FL 32801

**INSURED**  
AEM, Inc. dba Mirabilis  
8095 NW 12th Street  
Suite 301  
Miami, FL 33126

**THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.**

INSURERS AFFORDING COVERAGE		NAIC #
INSURER A:	SUA Insurance Company	
INSURER B:		
INSURER C:		
INSURER D:		
INSURER E:		

## COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAME ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OR ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES, AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY APID CLAIMS.

INSR LTR	ADD'L NSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
		<b>GENERAL LIABILITY</b> <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				EACH OCCURRENCE	\$
						DAMAGE TO RENTED PREMISES (Ea occurrence)	\$
						MED EXP (Any one person)	\$
						PERSONAL & ADV INJURY	\$
						GENERAL AGGREGATE	\$
						PRODUCTS - COMP/OP AGG	\$
		<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE UNIT (Ea accident)	\$
						BODILY INJURY (Per person)	\$
						BODILY INJURY (Per accident)	\$
						PROPERTY DAMAGE (Per accident)	\$
		<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT	\$
						OTHER THAN AUTO ONLY: EA ACC	\$
						AGG	\$
		<b>EXCESS/UMBRELLA LIABILITY</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE  <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION				EACH OCCURRENCE	\$
						AGGREGATE	\$
							\$
							\$
A		<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below	WSLTHPE 000080-02	01/01/2006	01/01/2007	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER	
						E.L. EACH ACCIDENT	\$ 1,000,000
						E.L. DISEASE - EA EMPLOYEE	\$ 1,000,000
						E.L. DISEASE - POLICY LIMIT	\$ 1,000,000
		OTHER					

### DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS / ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

Coverage is extended to the leased employees of alternate employer (Florida Operations ONLY): Robert Dean Schiller Pools 06405 (Effective 1/1/06) **DISCLAIMER:** This Certificate of Insurance does not constitute a contract between the issuing insurer(s), authorized representative or producer, and the certificate holder, nor does it affirmatively or negatively amend, extend or alter the coverage afforded by the policies listed thereon.

### CERTIFICATE HOLDER

5024\*\*\*\*\*3-DIGIT SCH 334  
CITY OF SEWALLS POINT  
1 S Sewalls Point Rd  
Sewalls Point, FL 34996-6736



### CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OF LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

# ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID SE  
ROBED-1

DATE (MM/DD/YYYY)  
08/31/05

**PRODUCER**  
Stuart Insurance, Inc.  
3070 S W Mapp  
Palm City FL 34990  
Phone: 772-286-4334 Fax: 772-286-9389

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**INSURED**  
  
Robert Dean Schiller Pools, Inc  
3590 SE Dixie Highway  
Stuart FL 34997

INSURERS AFFORDING COVERAGE	NAIC #
INSURER A: Granada Insurance Company	
INSURER B:	
INSURER C:	
INSURER D:	
INSURER E:	

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR	INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A		GENERAL LIABILITY	CP125822	08/31/05	08/31/06	EACH OCCURRENCE	\$ 300000
		<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 50000
		<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$ 1000
						PERSONAL & ADV INJURY	\$ 300000
						GENERAL AGGREGATE	\$ 600000
						PRODUCTS - COMP/OP AGG	\$ 600000
						GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	
		AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT (Ea accident)	\$
		<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
		<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$
		<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$
		<input type="checkbox"/> HIRED AUTOS					
		<input type="checkbox"/> NON-OWNED AUTOS					
		GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$
		<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC	\$
						AUTO ONLY: AGG	\$
		EXCESS/UMBRELLA LIABILITY				EACH OCCURRENCE	\$
		<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$
							\$
		<input type="checkbox"/> DEDUCTIBLE					\$
		<input type="checkbox"/> RETENTION \$					\$
		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				VC STATU-TORY LIMITS	OTH-ER
		ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				E.L. EACH ACCIDENT	\$
		If yes, describe under SPECIAL PROVISIONS below				E.L. DISEASE - EA EMPLOYEE	\$
		OTHER				E.L. DISEASE - POLICY LIMIT	\$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS  
Swimming Pool - Installation / State of Florida

**CERTIFICATE HOLDER**  
  
TOWNS-1  
  
Town of Sewalls Point  
1 S Sewalls Point Road  
Stuart FL 34996

**CANCELLATION**  
SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.  
AUTHORIZED REPRESENTATIVE  
*John L. Hill*



STATE OF FLORIDA  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD  
1940 NORTH MONROE STREET  
TALLAHASSEE FL 32399-0783

(850) 487-1395

SCHILLER, ROBERT DEAN  
INDIVIDUAL  
1831 PALM CITY ROAD  
APT C-302  
STUART FL 34994

STATE OF FLORIDA AC# 1436309  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CPC057114 06/04/04 030703125

CERT RESIDENTIAL POOL/SPA CONTR  
SCHILLER, ROBERT DEAN  
INDIVIDUAL

IS CERTIFIED under the provisions of Ch. 489 FS.  
Expiration date: AUG 31, 2006 L04060401393

DETACH HERE

#1436309

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L04060401393

DATE	BATCH NUMBER	LICENSE NBR
6/04/2004	030703125	CPC057114

The RESIDENTIAL POOL/SPA CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2006

SCHILLER, ROBERT DEAN  
INDIVIDUAL  
1831 PALM CITY ROAD  
APT C-302  
STUART FL 34994

JEB BUSH

DIANE CARR

**2005-2006 MARTIN COUNTY ORIGINAL  
COUNTY OCCUPATIONAL LICENSE**

Larry C. O'Steen, Tax Collector, P.O. Box 6013, Stuart, FL 34995  
(772) 288-5604

LICENSE 2003-530-001 CERT CPCO 57114  
PHONE (772)287-0768 PC NO 235990

LOCATION:  
**3285 SE DIXIE HWY STU**

**CHARACTER COUNTS IN MARTIN COUNTY**

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>.00</u>
\$	<u>.00</u>	COL. FEE \$	<u>.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>.00</u>
TOTAL			<u>25.00</u>

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION  
OF **POOL CONTRACTOR**

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

15 DAY OF AUGUST 05  
AND EXPIRING SEPTEMBER 30, 2006

12 00002004 001187

**SCHILLER, ROBERT DEAN  
ROBERT DEAN SCHILLER POOLS  
3285 SE DIXIE HWY.  
STUART, FL 34997**

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

12-38-41-002-000-00750-9-0000

PERMIT # \_\_\_\_\_

TAX FOLIO # \_\_\_\_\_

**NOTICE OF COMMENCEMENT**

STATE OF FLA.

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):  
92 S. RIVER RD. STUART RID VISTA S/D LOT 75 SEWELL'S POINT

GENERAL DESCRIPTION OF IMPROVEMENT:  
SPA ADDITION

OWNER: ROBERT DEMOREST

ADDRESS: 92 S. RIVER RD STUART FL 34996

PHONE #: 221-3622 FAX #: 220-0227

CONTRACTOR: R. D. SCHILLER POOLS

ADDRESS: 3590 SE DIXIE HWY. STUART FL 34997

PHONE #: 287-0768 FAX #: 287-9970

SURETY COMPANY (IF ANY) STATE OF FLORIDA COUNTY

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_

BOND AMOUNT: \_\_\_\_\_

LENDER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1XA)7., FLORIDA STATUTES:

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1XB), FLORIDA STATUTES.

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

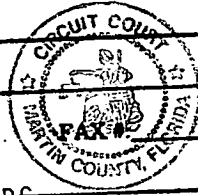
EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_  
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

*[Handwritten Signature]*  
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 1ST DAY OF June 2004 BY Robert P. Demorest

*[Handwritten Signature]*  
NOTARY SIGNATURE

PERSONALLY KNOWN XXX  
OR PRODUCED ID \_\_\_\_\_  
TYPE OF ID \_\_\_\_\_



THIS IS TO CERTIFY THAT THE FOREGOING \_\_\_\_\_ PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.  
MARSHA EWING, CLERK  
BY: *[Signature]* DC  
DATE: *[Signature]*

12/01/99 Pg 2795f (1/99) MARSHA EWING MARTIN COUNTY DEPUTY CLERK T Copus (asst. mgr.)



# TOWN OF SEWALL'S POINT

## RESIDENTIAL SWIMMING POOLS, SPA AND HOT TUB SAFETY ACT

### AFFIDAVIT OF REQUIREMENT COMPLINACE

I (We) acknowledge that a new swimming pool, spa or hot tub has been constructed or installed at \_\_\_\_\_, and hereby affirm that one of the following methods has been used to meet the requirements of Chapter 515, Florida Statues.

\_\_\_\_\_ The pool is isolated from access to the home by an enclosure that meets the pool barrier requirements of Florida Statue 515.29

\_\_\_\_\_ The pool is equipped with an approved safety pool cover that complies with ASTM F1346-91 (Stand Performance Specification for Safety Covers for Swimming Pool, Spas, and Hot Tubs)

\_\_\_\_\_ All doors and windows providing direct access from the home to the pool are equipped with an exit alarm that has a minimum sound pressure rating of 85 decibels at 10 feet

All doors providing direct access from the home to the pool are equipped with self-closing, self-latching devices with release mechanisms placed no lower than 54" above the floor or deck

I understand that not having one of the above installed at the time of final inspection, or when the pool is completed for contract purposes, will constitute a violation of Chapter 515, F.S. and will be considered as committing a misdemeanor of the second degree, punishable by fines up to \$500 and/or up to 60 days in jail as established in Chapter 775, F.S.

[Signature]  
CONTRACTOR'S SIGNATURE & DATE

[Signature]  
OWNER'S SIGNATURE & DATE

[Signature]  
NOTARY PUBLIC, STATE OF FLORIDA

[Signature]  
NOTARY PUBLIC, STATE OF FLORIDA

AS TO CONTRACTOR PERSONALLY KNOWN  
OR PRODUCED ID \_\_\_\_\_  
TYPE \_\_\_\_\_

AS TO OWNER PERSONALLY KNOWN  
OR PRODUCED ID \_\_\_\_\_  
TYPE \_\_\_\_\_

**THIS FORM MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO FINAL INSPECTION**



Veronica L Taylor  
My Commission DD219784  
Expires June 04, 2007

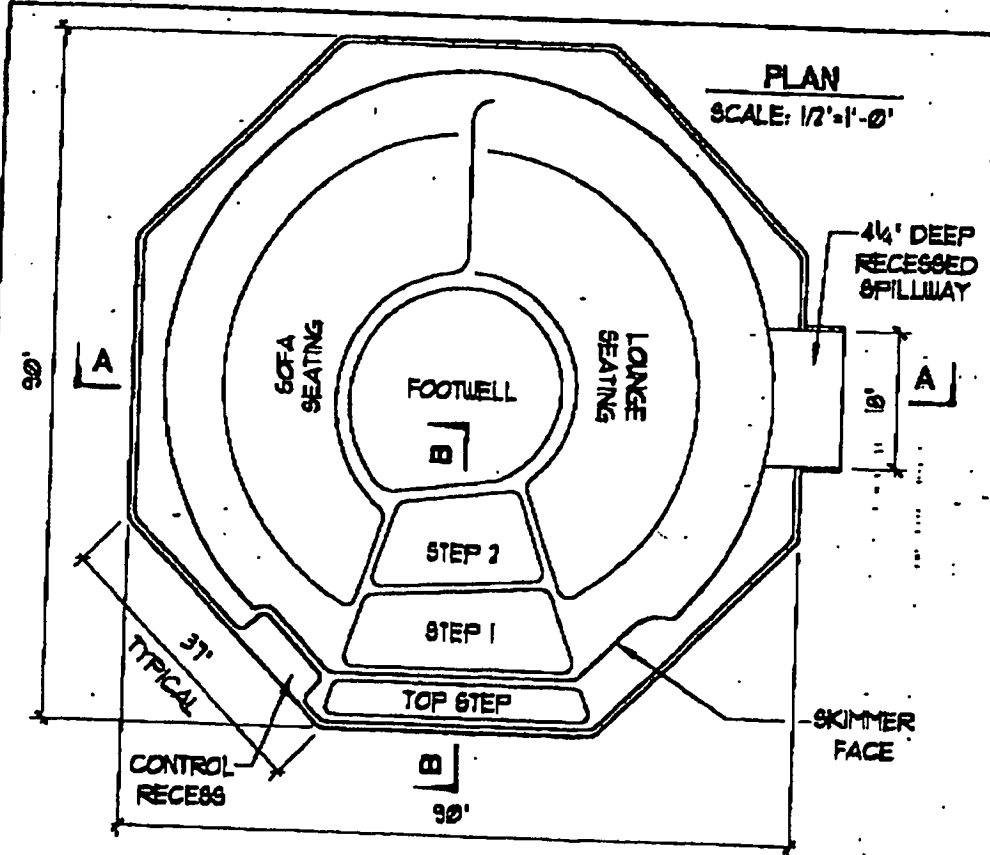


\$12640

# 6300  
# 3150  
# 1890  
1260

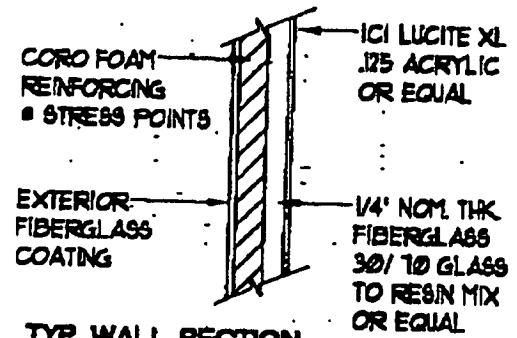
12 Jts  
Foot Jts  
Butt  
Neck + Shoulders  
Back

**PLAN**  
SCALE: 1/2"=1'-0"

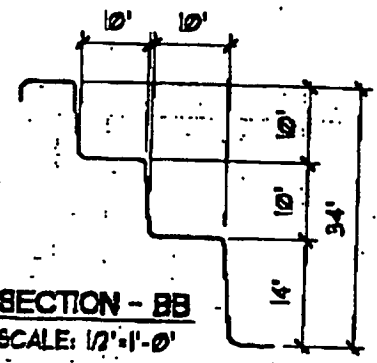
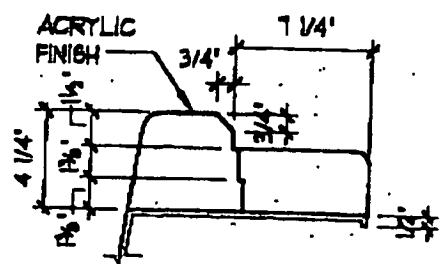


**SPECIFICATIONS**

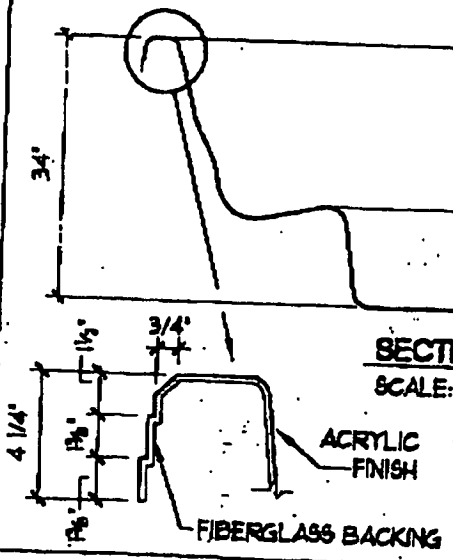
- 90" L X 90" W X 34" DEEP
- WATER VOLUME - 400± GAL
- SEATS 8 ADULTS
- SOFA CONTOUR
- LOUNGE CONTOUR
- SLIP RESISTANT STEPS & BOTTOM
- SHIP WEIGHT 420 LBS. W/ CRATE



**TYP. WALL SECTION**  
NOT TO SCALE



**SECTION - AA**  
SCALE: 1/2"=1'-0"



MODEL NO. SW-505

**SECTION - BB**  
SCALE: 1/2"=1'-0"

REVISIONS	BY
ADD SPILLWAY	RQN
DATE	7/2
DATE	7/2

SPECIFICATION DRAWING FOR  
STRATFORD SPILLWAY SPA  
MODEL NO. SW-505

DATE	1-17-88
SCALE	AS NOTED
DRAWN BY	RQN
APPROVED BY	TC
DRAWING NUMBER	S-55

MARTIN COUNTY, FL  
KIVA INFORMATION SYSTEMS  
REPORT: gprp30\_mc

KIVA REPORTING SYSTEM  
INSPECTORS REPORT

RUN DATE:01-DEC-2006  
RUN TIME:04:30:34  
PAGE: 18

Part A INSPECTOR'S DAILY LOG

Inspector: PWIN - WINTERCORN, PHIL  
Discipline: B%  
Scheduled Range: SCHEDULE RANGE: 01-JAN-1993 to 01-DEC-2006

*pg 2 of 2*

160 SP01 20060107 78 N SEWALL PT  
Subdiv: 353741000 / METES and BOUNDS 353741000

12/01/06 P 6030 RES-POOL DECK/BONC FAIL  
Comment: NO PERMIT POSTED \$40 FEE  
Arrive: \_\_\_ Depart: \_\_\_ Units: FAIL

161 SP01 20060107 78 N SEWALL PT  
Subdiv: 353741000 / METES and BOUNDS 353741000

12/01/06 P 6099 RESIDENTIAL FINAL \_\_\_  
Comment: NO PERMIT POSTED  
Arrive: \_\_\_ Depart: \_\_\_ Units: \_\_\_

5 162 SP01 20060076 92 SOUTH RIVER RD  
Subdiv: 123841002 / RIO VISTA

12/01/06 R 3050 R/ELEC PASS  
Comment: \_\_\_  
Arrive: \_\_\_ Depart: \_\_\_ Units: \_\_\_

7 163 SP01 20060027 3 TUSCAN LN  
Subdiv: 013841016 / NONI ESTATES

12/01/06 P 6051 R/SHEATH PASS  
Comment: 1ST FL. ROOF  
Arrive: \_\_\_ Depart: \_\_\_ Units: \_\_\_



## TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 92 S. RIVER

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

SPA FINAL

DECKS/PATIOS ETC. GREATER  
THAN 30" ABOVE GRADE REQUIRE  
36" HIGH GUARD RAIL.

NO PERMIT POSTED

~~PAID FEE~~

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 12/8



INSPECTOR

**DO NOT REMOVE THIS TAG**

MARTIN COUNTY, FL  
KIVA INFORMATION SYSTEMS  
REPORT: gpp30.mc

KIVA REPORTING SYSTEM  
INSPECTORS REPORT

RUN DATE: 08-DEC-2006  
RUN TIME: 04:31:01  
PAGE: 15

Part A INSPECTOR'S DAILY LOG

Inspector: PWIN - WINTERCORN, PHIL  
Discipline: B%  
Scheduled Range: SCHEDULE RANGE: 01-JAN-1993 to 08-DEC-2006

*lg 2062*

122 SP01 20060041 9 NE LOFTING WAY  
Subdiv: 263741013 / PLANTATION AT SEWALL'S POINT

12/08/06 P 6099 RESIDENTIAL FINAL

*PASS*

Comment: \_\_\_\_\_  
Arrive: \_\_\_\_\_ Depart: \_\_\_\_\_ Units: \_\_\_\_\_

*5*

123 SP01 20060076 92 SOUTH RIVER RD  
Subdiv: 123841002 / RIO VISTA

12/08/06 P 6099 RESIDENTIAL FINAL

*FAIL*

Comment: *VEGETATION AT 30" HIGH FROM DTR*

Arrive: \_\_\_\_\_ Depart: \_\_\_\_\_ Units: \_\_\_\_\_

*288-5911*



**TOWN OF SEWALL'S POINT**

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

**CORRECTION NOTICE**

ADDRESS: 92 S. RIVER

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

EPA FINAL

DECKS / PATIOS ETC (GREATER THAN 30" ABOVE GRADE REQUIRE 36" HIGH GUARD RAIL.

NO PERMIT POSTED

~~NO FEE~~  
WAIVE FEE  
12/11

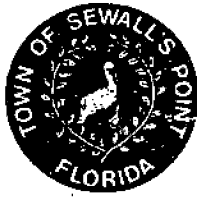
You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 12/8

[Signature]

INSPECTOR

**DO NOT REMOVE THIS TAG**



## TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 92 S. RIVER

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

ROUGH ELEC.

HAVE GRIFFIN ELEC.

CONTACT THE BUILDING

INSPECTOR PHIL WINTERCORN

287-2455 EXT 13

REGARDING SPA ELECTRICAL

GROUNDING?

BONDING?

EXT PROTECTION?

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 11/17

INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 11/17, 2006 Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
0102		ROOF FINAL	PASS	CLOSE
11	25 NORTH RIVER MARZO ROOFING			INSPECTOR: <i>JM</i>
0033		FINAL	FAIL	
10	27 NORTH RIVER			INSPECTOR: <i>JM</i>
0047		FINAL	PASS	CLOSE
9	51 NORTH RIVER			INSPECTOR: <i>OM</i>
0035		FINAL	PASS	CLOSE
7	102 N. S. P. R.			INSPECTOR: <i>OM</i>
<del>0076</del>		<del>ROOF ELEC.</del>	<del>FAIL</del>	
3	92 SOUTH RIVER			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: \_\_\_\_\_



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4-2, 2007 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8531	Cummings 835 River Rd Elias/Ed	Guest House slab	PASS	
				INSPECTOR: <i>[Signature]</i>
8172	Manano 23 Middle Rd Ken Wendell	rough plumbing through electric LATH	FAIL FAIL FAIL	
				INSPECTOR: <i>[Signature]</i>
8539	Sherts 1015 River Rd Shurt Roof	Final	FAIL PASS	REINSPECTED LATE MORN - CLOSE
				INSPECTOR: <i>[Signature]</i>
8500	Toledo 9 N River Rd Pauzie Roof.	Final - roof	FAIL	
				INSPECTOR: <i>[Signature]</i>
8549	Demorest	Pool Guard Rail	PASS	CLOSE
8139	925 River Rd	Roof/Ret wall	PASS	CLOSE
<del>8312</del>	<del>Demorest Court</del>	<del>SPA</del>	<del>PASS</del>	<del>CLOSE</del>
8397	Rossario 1375 River Rd Hardware Elec	Final (gen)	FAIL	
				INSPECTOR: <i>[Signature]</i>
Tree	Breene 113 Helcrest DR OB	Tree	PASS	
				INSPECTOR: <i>[Signature]</i>

OTHER: \_\_\_\_\_

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 2-2-07

BUILDING PERMIT NO. 8510

Building to be erected for Demolish

Type of Permit Fill/Burn

Applied for by Custom Landscape

(Contractor)

Building Fee 250

Subdivision Rio Vista

Lot 75

Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 925 River Rd

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Electrical Fee \_\_\_\_\_

Parcel Control Number:

Plumbing Fee \_\_\_\_\_

12-38-41-002-000-0075090000

Roofing Fee \_\_\_\_\_

Amount Paid \$250 Check # 26360 Cash \_\_\_\_\_

Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 2100

TOTAL Fees 250

Signed \_\_\_\_\_

Signed \_\_\_\_\_

Applicant

Town Building Official

## PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

## INSPECTIONS

UNDERGROUND PLUMBING \_\_\_\_\_

UNDERGROUND MECHANICAL \_\_\_\_\_

STEMWALL FOOTING \_\_\_\_\_

SLAB \_\_\_\_\_

ROOF SHEATHING \_\_\_\_\_

TRUSS ENG/WINDOW/DOOR BUCKS \_\_\_\_\_

ROOF TIN TAG/METAL \_\_\_\_\_

PLUMBING ROUGH-IN \_\_\_\_\_

MECHANICAL ROUGH-IN \_\_\_\_\_

FRAMING \_\_\_\_\_

FINAL PLUMBING \_\_\_\_\_

FINAL MECHANICAL \_\_\_\_\_

FINAL ROOF \_\_\_\_\_

UNDERGROUND GAS \_\_\_\_\_

UNDERGROUND ELECTRICAL \_\_\_\_\_

FOOTING \_\_\_\_\_

TIE BEAM/COLUMNS \_\_\_\_\_

WALL SHEATHING \_\_\_\_\_

LATH \_\_\_\_\_

ROOF-IN-PROGRESS \_\_\_\_\_

ELECTRICAL ROUGH-IN \_\_\_\_\_

GAS ROUGH-IN \_\_\_\_\_

EARLY POWER RELEASE \_\_\_\_\_

FINAL ELECTRICAL \_\_\_\_\_

FINAL GAS \_\_\_\_\_

BUILDING FINAL \_\_\_\_\_

RECEIVED  
12509

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Date: 1/25/07 Permit Number: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: Mrs Mrs Demorest Phone (Day) 772-221-3622 (Fax) 772-461-1999

Job Site Address: 925 River Rd City: Start State: FL Zip: 34986

Legal Desc. Property (Subd/Lot/Block) Lot 75 Rivista S/D Parcel Number: 12-38-41-002-000-107509

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: Landscape/Build

WILL OWNER BE THE CONTRACTOR?:

YES  NO

(If no, fill out the Contractor & Subcontractor sections below)  
(If yes, Owner Builder Affidavit must accompany application)

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 2100.00 Build  
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ N/A

Is improvement cost 50% or more of Fair Market Value? YES  NO

Method of Determining Fair Market Value: N/A

CONTRACTOR/Company: Custom Landscape Creation Phone: 772-216-3398 Fax: 772-461-1999

Street: 3231 Oklawaha Ave City: Fort Pierce State: FL Zip: 34982

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: 2005-265-7

SUBCONTRACTOR INFORMATION:

Electrical: N/A State: \_\_\_\_\_ License Number: \_\_\_\_\_  
Mechanical: N/A State: \_\_\_\_\_ License Number: \_\_\_\_\_  
Plumbing: N/A State: \_\_\_\_\_ License Number: \_\_\_\_\_  
Roofing: N/A State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT N/A Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: N/A Garage: N/A Covered Patios: N/A Screened Porch: N/A  
Carport: N/A Total Under Roof: N/A Wood Deck: N/A Accessory Building: N/A

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

State of Florida, County of: Martin

This the 25<sup>th</sup> day of January, 2007

by Robert P. Demorest who is personally known to me or produced

as identification. Veronica L Taylor

My Commission Expires: \_\_\_\_\_  
Notary Public  
Veronica L Taylor  
My Commission DD219784

CONTRACTOR SIGNATURE (required)

On State of Florida, County of: Martin

This the 25<sup>th</sup> day of January, 2007

by Brian Masley who is personally known to me or produced

As identification. Veronica L Taylor

My Commission Expires: \_\_\_\_\_  
Notary Public  
Veronica L Taylor  
My Commission DD219784

## Custom Landscape Creations

3231 Oleander Avenue

Ft. Pierce, Fl. 34982

PH:(772)468-9174 Cell:(772-216-3398

Fax:(772)461-9186

Custom Landscape Creations is asking permission to create a Burm 2 ½ to 3 ½ feet high. This Burm is being created to grant privacy to the residents Of 92 S. River Rd. This Burm will be landscaped and drainage will be applied in four different areas. Four inch drain pipes will run through the Burm to let water pass through. If any other water retention is needed, we are happy to comply.

A handwritten signature in black ink, appearing to read 'Brian Mosley', with a long horizontal flourish extending to the right.

Brian Mosley

President Custom Landscape Creations



## TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 92 S. RIVER

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FINAL BERM

WATER (STORM) MUST BE CONTAINED  
AND NOT DIRECTED TO ADJOINING  
PROPERTIES.

THE UNDERGROUND DRAINAGE  
PIPES & GRATES ARE COMPLETELY  
INEFFECTIVE TO CONTAINING  
THE STORM WATER AND ARE  
UNACCEPTABLE.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 2/16

INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 2-16, 2007

Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>8510</del>	<del>Demolition</del>	Final-Fuel	FAIL	
2	925 River Rd Custom Landscape	burn		INSPECTOR: <i>[Signature]</i>
8500	Toledo	Dry-in	PASS	
9	9 N. River Rd Pacific Roof.			INSPECTOR: <i>[Signature]</i>
8165	Greist	Bathroom final	PASS	CLOSE
7	10 Emarita OB			INSPECTOR: <i>[Signature]</i>
1801	Cummings	Plaster stem wall	PASS	
3	835 River Rd Elias			INSPECTOR: <i>[Signature]</i>
1786	Walker	insulation	PASS	
5	6 Cranes Nest Wm B. Janero			INSPECTOR: <i>[Signature]</i>
8519	Bohner	Final	FAIL	
1	17 W High Pt OB			INSPECTOR: <i>[Signature]</i>
10	8191 Sharli last 1150	dock-steel map	FAIL	
	73 N. Sewall Pt Rd OB Marine			INSPECTOR: <i>[Signature]</i>

OTHER: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 5-29 2008

Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8867	Geller 10 Palmetto Ken Wendell	steel & column	PASS	INSPECTOR: <i>AM</i>
8909	McGovern 2 Tuxan La Sofl. Custom	steel & main drain	PASS	INSPECTOR: <i>AM</i>
8912	Klose 2 Baker St Blue Water Marine	tie back	PASS	INSPECTOR: <i>AM</i>
8904	Carrio 6 Gumbo Limbo Rafonico Screens	Final	PASS	Close INSPECTOR: <i>AM</i>
<del>8820</del>	<del>Serrano</del> <del>12 West High Rd</del> OB			INSPECTOR:
6256	Carrio	A/C CHANGE	PASS	Close
7751	6 GUMBO LIMBO Super Cool	out A/C CHANGE	PASS	Close INSPECTOR: <i>AM</i>
8901	Richardson 15 Ridgeland Everglades	slab 3:00 P.M.	PASS	INSPECTOR: <i>AM</i>
OTHER:	<del>8610 Demolish</del> 92 S. RIVER	<del>BEIGN</del>	<del>PASS</del>	<del>Close</del> <i>AM</i>

**8549**

**GUARD RAIL**



**TOWN OF SEWALL'S POINT**

Date 3-27-07

BUILDING PERMIT NO. 8549

Building to be erected for Demorest

Type of Permit Guard Rail

Applied for by Demorest Construction (Contractor)

Building Fee 30-

Subdivision Rio Vista Lot 75 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 92 S River Rd

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Parcel Control Number:

123841-002-000-7509

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Amount Paid \$30- Check # 4871 Cash \_\_\_\_\_

Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 7500-

TOTAL Fees 30-

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

**PERMIT**

- BUILDING
- PLUMBING
- DOCK/BOAT L FT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE/
- GAS
- RENOVATION
- ADDITION

**INSPECTIONS**

- UNDERGROUND PLUMBING \_\_\_\_\_
- UNDERGROUND MECHANICAL \_\_\_\_\_
- STEMWALL FOOTING \_\_\_\_\_
- SLAB \_\_\_\_\_
- ROOF SHEATHING \_\_\_\_\_
- TRUSS ENG/WINDOW/DOOR BUCKS \_\_\_\_\_
- ROOF TIN TAG/METAL \_\_\_\_\_
- PLUMBING ROUGH-IN \_\_\_\_\_
- MECHANICAL ROUGH-IN \_\_\_\_\_
- FRAMING \_\_\_\_\_
- FINAL PLUMBING \_\_\_\_\_
- FINAL MECHANICAL \_\_\_\_\_
- FINAL ROOF \_\_\_\_\_

- UNDERGROUND GAS \_\_\_\_\_
- UNDERGROUND ELECTRICAL \_\_\_\_\_
- FOOTING \_\_\_\_\_
- TIE BEAM/COLUMNS \_\_\_\_\_
- WALL SHEATHING \_\_\_\_\_
- LATH \_\_\_\_\_
- ROOF-IN-PROGRESS \_\_\_\_\_
- ELECTRICAL ROUGH-IN \_\_\_\_\_
- GAS ROUGH-IN \_\_\_\_\_
- EARLY POWER RELEASE \_\_\_\_\_
- FINAL ELECTRICAL \_\_\_\_\_
- FINAL GAS \_\_\_\_\_
- BUILDING FINAL \_\_\_\_\_

RECEIVED 3-13-07

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: 03/13/07

OWNER/TITLEHOLDER NAME: ROBERT DEMOREST Phone (Day) 221.3622 (Fax) 463.2624

Job Site Address: 92 S. RIVER RD. City: SEWALL'S PT State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) LOT 75 RIO VISTA S/P Parcel Number: 12.38.41.002.000.750-9

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: INSTALL POOL GUARD RAIL

WILL OWNER BE THE CONTRACTOR?:

YES  NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 7500.00

(Notice of Commencement needed over \$2500)  
Estimated Fair Market Value prior to improvement: \$ 600,000

Is improvement cost 50% or more of Fair Market Value? YES  NO

Method of Determining Fair Market-Value: \_\_\_\_\_

(If no, fill out the Contractor & Subcontractor sections below)  
(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: DEMAREST CONSTRUCTION Phone: 220.0965 Fax: 220.0227

Street: 800 S.E. INDIAN ST City: STUART State: FL Zip: 34997

State Registration Number: 2004 State Certification Number: CBCA52954 Martin County License Number: 2004.513.0030

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number \_\_\_\_\_  
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER CRESWELL ENGINEERING INC Lic# PE 40940 Phone Number 215.0156  
Street: 4459 SE KUBIN AVE City: STUART State: FL Zip: 34997

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living \_\_\_\_\_ Garage \_\_\_\_\_ Covered Patios \_\_\_\_\_ Screened Porch \_\_\_\_\_  
Carport \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building \_\_\_\_\_

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas) 2004  
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) \_\_\_\_\_

State of Florida, County of: Martin

This the 13<sup>th</sup> day of March, 2007

by Robert P. Demorest who is personally known to me or produced \_\_\_\_\_

as identification \_\_\_\_\_

My Commission Expires Veronica L Taylor  
Notary Public Seal

CONTRACTOR SIGNATURE (required) \_\_\_\_\_

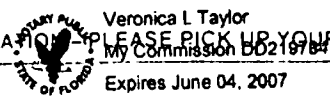
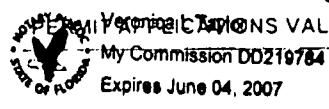
On State of Florida, County of: Martin

This the 13<sup>th</sup> day of March, 2007

by Robert P. Demorest who is personally known to me or produced \_\_\_\_\_

As identification \_\_\_\_\_

My Commission Expires Veronica L Taylor  
Notary Public Seal



PERMITS VALID 30 DAYS FROM APPROVAL NOTIFICATION. PLEASE PICK UP YOUR PERMIT PROMPTLY!  
Expires June 04, 2007

# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

4/20/2006

**PRODUCER**  
 Bayside Insurance Group  
 870 74th Avenue North  
 St. Petersburg, FL 33702  
 727-527-3800

**INSURED**  
 Demorest Construction Group, Inc.  
 800 SE Indian Street  
 Stuart, FL 34997-5605  
 772-220-0065

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE		NAIC#
INSURER A:	Essex Insurance Company	
INSURER B:		
INSURER C:		
INSURER D:		
INSURER E:		

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	ADD'L INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A		GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	3CS8827	4/19/06	4/19/07	EACH OCCURRENCE	\$ 1,000,000
						DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 300,000
						MED EXP (Any one person)	\$ 100,000
						PERSONAL & ADV INJURY	\$ 1,000,000
						GENERAL AGGREGATE	\$ 2,000,000
						PRODUCTS - COMP/OP AGG	\$ 2,000,000
		AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident)	\$
						BODILY INJURY (Per person)	\$
						BODILY INJURY (Per accident)	\$
						PROPERTY DAMAGE (Per accident)	\$
		GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT	\$
						OTHER THAN AUTO ONLY	EA ACC \$ AGG \$
		EXCESS UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE	\$
						AGGREGATE	\$
							\$
							\$
		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				WC STATUTORY LIMITS	OTH-ER
						E L EACH ACCIDENT	\$
						E L DISEASE - EA EMPLOYEE	\$
						E L DISEASE - POLICY LIMIT	\$
		OTHER					

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

**CERTIFICATE HOLDER**

TOWN OF SEWALLS POINT BUILDING DEPT  
 1 SOUTH SEWALLS POINT ROAD  
 STUART FL 34996

ph 772-278-2455  
 ifax 772-220-4765 cc 772-220-0227

**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES

AUTHORIZED REPRESENTATIVE

*Michael Zmaich*

# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)  
2/13/07

<b>Producer</b> Providence Property & Casualty 8000 Warren Parkway, Bldg. 3, Ste 300 Frisco, TX 75034	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.												
<b>Insured</b> Howard Leasing, Inc. L/C/F Demorest Construction Group, INC 6302 Manatee Avenue, Ste. K Bradenton, FL 34209	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 80%;">INSURERS AFFORDING COVERAGE</th> <th style="width: 20%;">NAIC #</th> </tr> <tr> <td>INSURER A: Providence Property and Casualty I</td> <td style="text-align: center;">28711</td> </tr> <tr> <td>INSURER B:</td> <td></td> </tr> <tr> <td>INSURER C:</td> <td></td> </tr> <tr> <td>INSURER D:</td> <td></td> </tr> <tr> <td>INSURER E:</td> <td></td> </tr> </table>	INSURERS AFFORDING COVERAGE	NAIC #	INSURER A: Providence Property and Casualty I	28711	INSURER B:		INSURER C:		INSURER D:		INSURER E:	
INSURERS AFFORDING COVERAGE	NAIC #												
INSURER A: Providence Property and Casualty I	28711												
INSURER B:													
INSURER C:													
INSURER D:													
INSURER E:													

## COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	ADDL INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
		<b>GENERAL LIABILITY</b> <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				EACH OCCURRENCE	\$
						FIRE DAMAGE (Any one fire)	\$
						MED EXP (Any one person)	\$
						PERSONAL & ADV INJURY	\$
						GENERAL AGGREGATE	\$
						PRODUCTS - COM/POP AGG	\$
		<b>AUTOMOBILE LIABILITY</b> ANY AUTO ALL OWNED AUTOS SCHEDULED AUTOS HIRED AUTOS NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident)	\$
						BODILY INJURY (Per person)	\$
						BODILY INJURY (Per accident)	\$
						PROPERTY DAMAGE (Per accident)	\$
		<b>GARAGE LIABILITY</b> ANY AUTO				AUTO ONLY - EA ACCIDENT	\$
						OTHER THAN EA ACC	\$
						AUTO ONLY AGG	\$
		<b>EXCESS LIABILITY</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE  DEDUCTIBLE RETENTION \$				EACH OCCURRENCE	\$
						AGGREGATE	\$
							\$
							\$
<b>A</b>		<b>WORKERS COMPENSATION AND EMPLOYERS LIABILITY</b> ANY PROPRIETARY/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? <input type="checkbox"/> NO If yes, describe under SPECIAL PROVISIONS below	WC0100105-107	3/01/07	3/01/08	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER	
						E L EACH ACCIDENT	\$ 1,000,000
						E L DISEASE - EA EMPLOYEE	\$ 1,000,000
						E L DISEASE - POLICY LIMIT	\$ 1,000,000
		OTHER					

DESCRIPTION OF OPERATIONS/ LOCATIONS/ VEHICLES/ EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS  
 Workers' compensation coverage is provided by contract to all employees of Howard Leasing, Inc. assigned to Demorest Construction Group, INC. Coverage does not apply to any employees not approved and assigned by Howard Leasing, Inc. to Demorest Construction Group, INC effective 03/01/2007

<b>CERTIFICATE HOLDER</b>	TOWN OF SEAWALLS POINT BUILDING DEPT 1 S SEAWALLS POINT RD STUART, FL 34994	<b>ADDITIONAL INSURED INSURER LETTER</b>	
		<b>CANCELLATION</b>	
		SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES	
		AUTHORIZED REPRESENTATIVE	

MARTIN COUNTY ORIGINAL BUSINESS TAX RECEIPT

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995 (772) 288-5604

LICENSE (772) 220-0065 CERT 233210

PHONE \_\_\_\_\_ SIC NO \_\_\_\_\_

LOCATION: 800 SE INDIAN ST MAR

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR. \$ \_\_\_\_\_ LIC. FEE \$ \_\_\_\_\_
\$ \_\_\_\_\_ PENALTY \$ \_\_\_\_\_
\$ \_\_\_\_\_ COL. FEE \$ \_\_\_\_\_
\$ \_\_\_\_\_ TRANSFER \$ \_\_\_\_\_

TOTAL \_\_\_\_\_



DEMAREST ROBERT
DEMAREST CONSTRUCTION GROUP INC
800 SE INDIAN STREET
STUART, FL 34997

IS HEREBY LICENSED TO ENGAGE IN THE ABOVE PROFESSION OR OCCUPATION

OF

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

22 JANUARY 07

DAY OF 2007 20

AND ENDING SEPTEMBER 30.

800 2006 01375:0001

36.25 PAID

THIS FORM BECOMES A RECEIPT ONLY WHEN VALIDATED BY RECEIPTING MACHINE.

ANYONE DOING BUSINESS WITHOUT A VALID OCCUPATIONAL LICENSE IS SUBJECT OF A \$250 FINE. PENALTY 10% FOR MONTH OF OCTOBER, 5% ADDITIONAL EACH MONTH THEREAFTER UP TO 25% PLUS COLLECTION COSTS.

NOTE - A PENALTY IS IMPOSED FOR FAILURE TO KEEP THIS LICENSE EXHIBITED CONSPICUOUSLY AT YOUR ESTABLISHMENT OR PLACE OF BUSINESS.

RECEIVED JAN 26 2007

C# 2716268

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L06081500863

Table with 3 columns: DATE, BATCH NUMBER, LICENSE NBR. Row 1: 08/15/2006, 068011559, CBCA52954

The BUILDING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2008

DEMAREST, ROBERT PAUL
DEMAREST CONSTRUCTION GROUP INC
92 S RIVER ROAD
STUART FL 34996

JEB BUSH GOVERNOR

SIMONE MARSTILLER SECRETARY



**CRESWELL ENGINEERS & CONSTRUCTORS, INC.**

4459 SE Kubin Ave.

Stuart, FL 34997

(772) 215-0156

(772) 221-0530 (fax)

[john@creswellengineers.com](mailto:john@creswellengineers.com)

March 8, 2007

To Whom It May Concern,

Creswell Engineers has been asked to review the structural stability of a pool deck handrail erected at a house owned by M/M Robert P. Demorest and located at 92 S. River Rd., Sewall's Point, FL.

After analysis of the handrail, handrail to brick connection and brick to brick connection, I find the handrail sufficient to carry the loads required by the 2004 Florida Building Code, Chapter 1607.7.

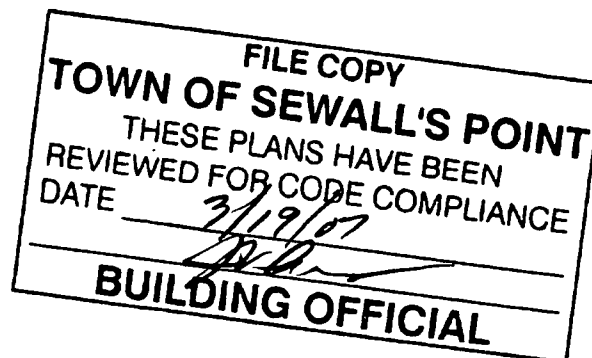
If you should have any questions/comments, do not hesitate to call me.

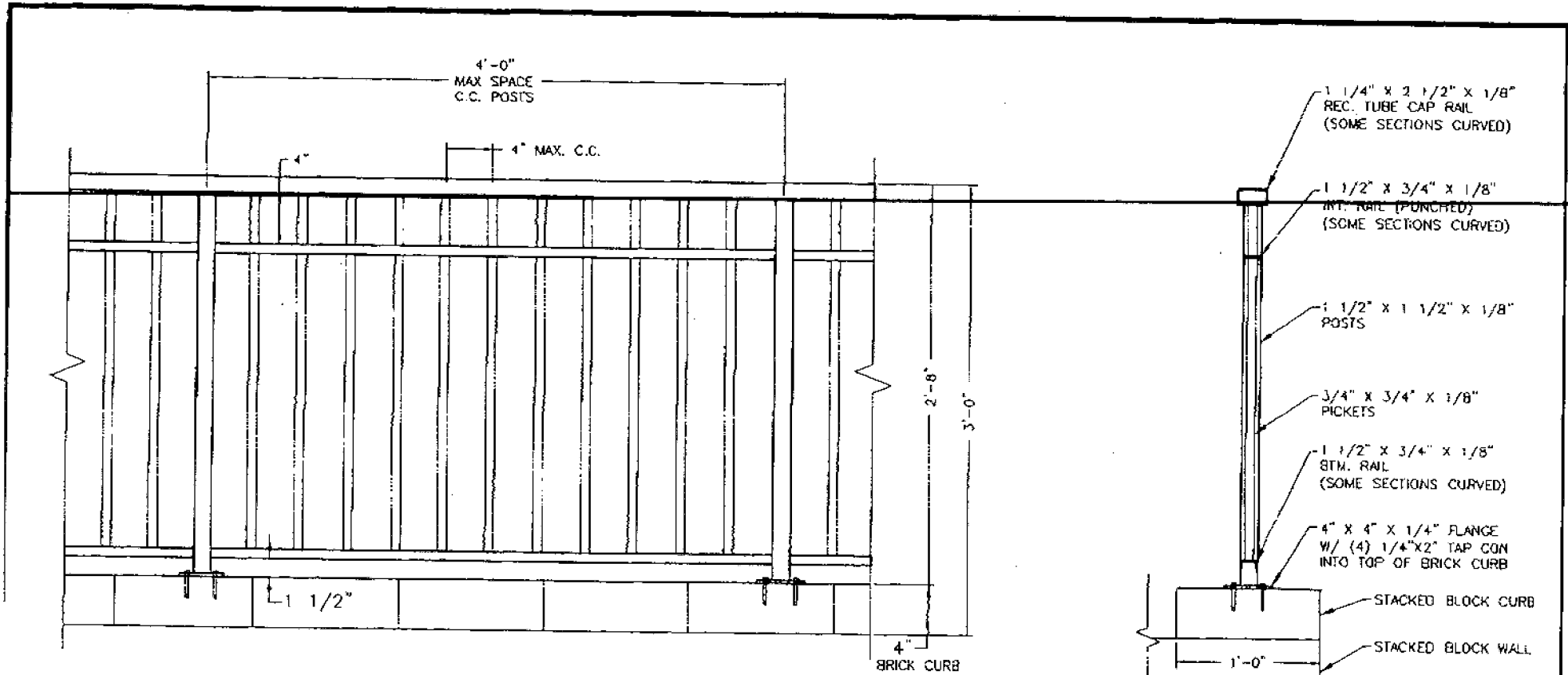
Sincerely,

John H. Creswell, PE

PE # 40940

CoA # 27002





TYPICAL RAIL DETAIL  
N.T.S.

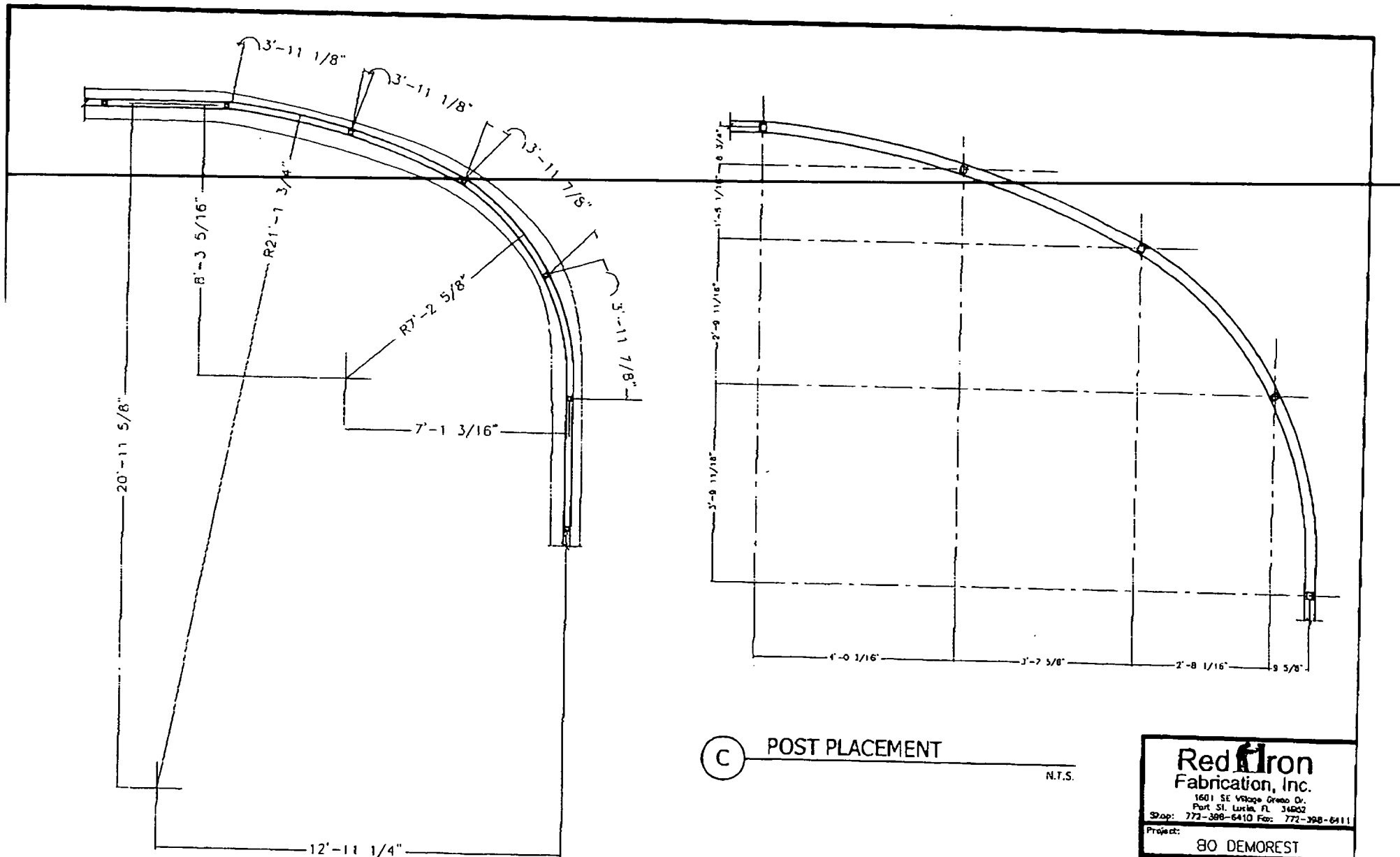
TYPICAL SECTION  
N.T.S.

<b>Red Iron</b> Fabrication, Inc.	
<small>1801 SE Village Green Dr. Port St. Lucie, FL 34952 Shop: 772-398-6410 Fax: 772-398-6411</small>	
Project: <b>BO DEMOREST</b>	
Sheet: <b>1 OF 17</b>	Draftsman: <b>RBD</b>
Scale: <b>N.T.S.</b>	Date: <b>12/05/06</b>
Rev.: <b>SKETCH</b>	Des. #: <b>BD-01</b>

APPROVED BY: / DATE:







**B** OUTER RAIL RADIUS

**C** POST PLACEMENT

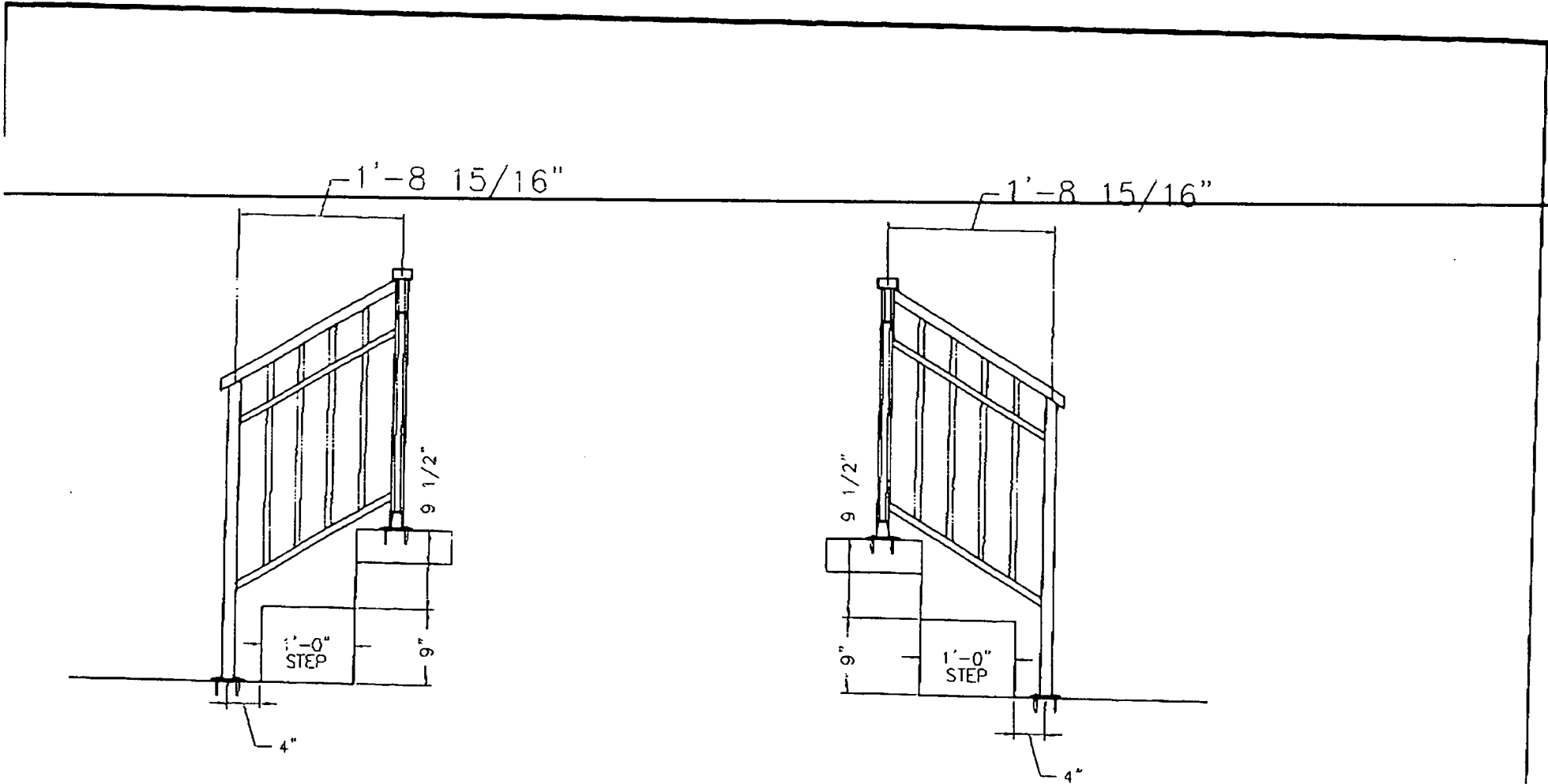
N.T.S.

APPROVED BY: / DATE:

**Red Iron**  
 Fabrication, Inc.  
 1601 SE Village Green Dr.  
 Fort St. Louis, FL 34902  
 Shop: 772-390-6410 Fax: 772-390-6411

Project: **80 DEMOREST**

Sheet: <b>3 OF 17</b>	Drafter: <b>RBD</b>
Scale: <b>N.T.S.</b>	Date: <b>12/05/06</b>
Rev: <b>SKETCH</b>	Drawn: <b>BD-03</b>

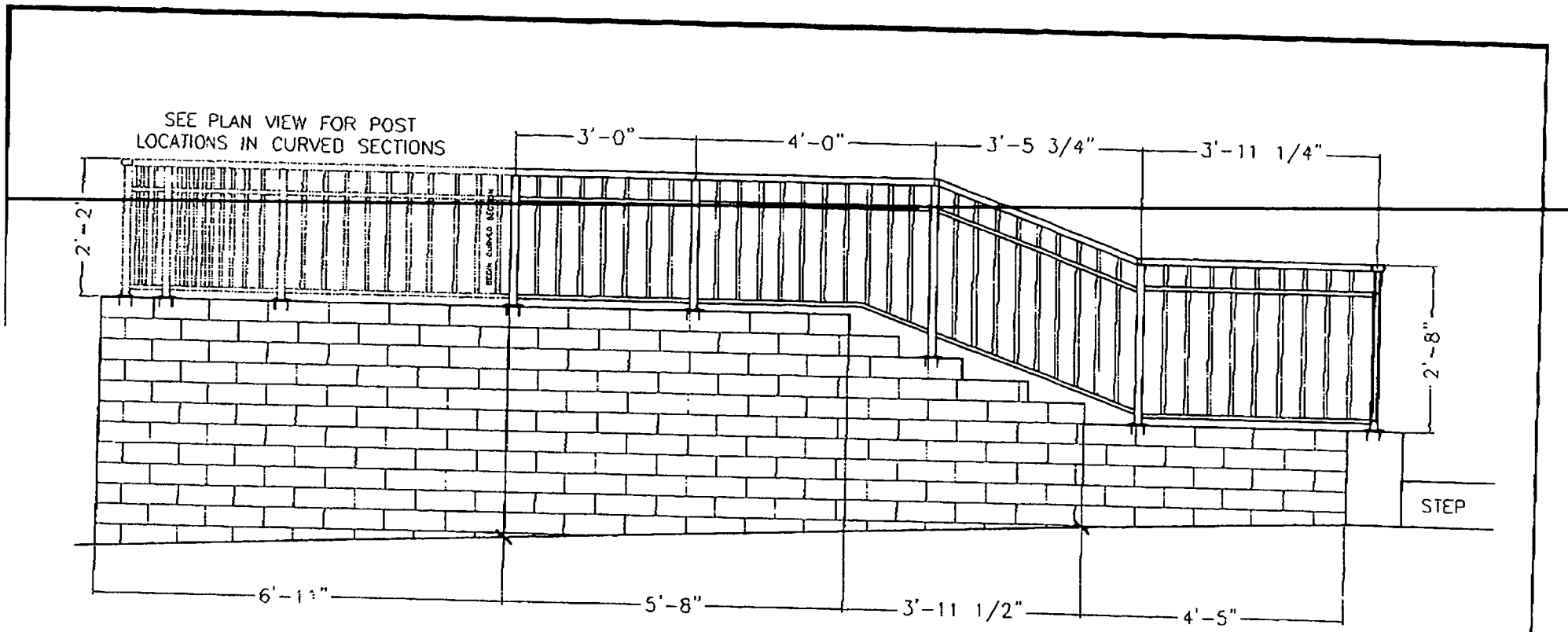


1 ELEVATION 1  
STEP AT DECK N.T.S.

2 ELEVATION 2  
STEP AT DECK N.T.S.

<b>Red Iron</b> Fabrication, Inc. 1601 SE Village Green Dr. Port St. Lucie, FL 34852 Shop: 772-398-6410 Fax: 772-398-6411	
Project: BO DEMOREST	
Sheet: 4 OF 17	Order: RBD
Scale: N.T.S.	Date: 12/05/06
Ref.: SKETCH	Order: RN-04

APPROVED BY: / DATE:



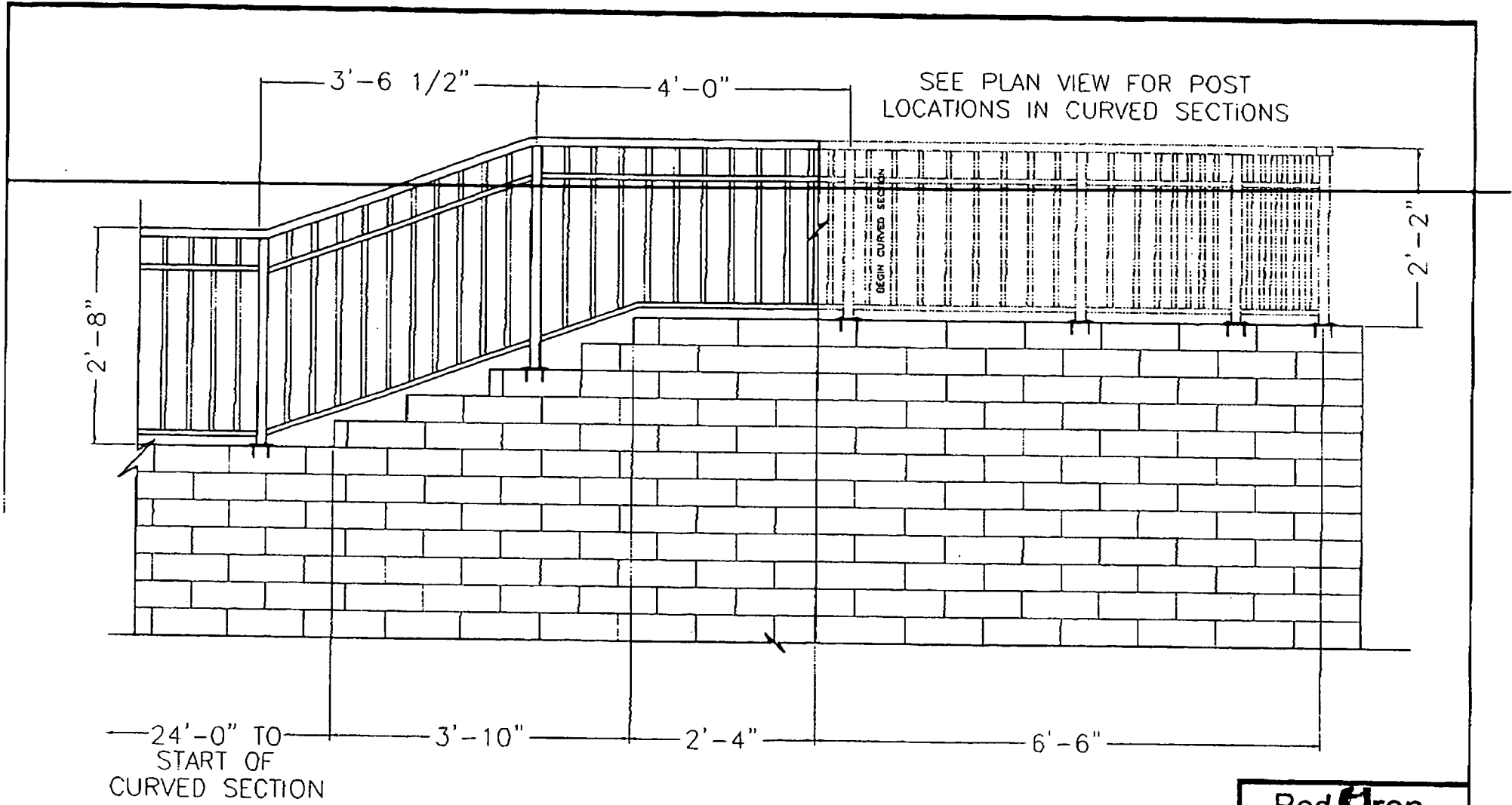
3 ELEVATION 3  
STEP AT SPA N.T.S.

**Red Iron**  
Fabrication, Inc.  
1801 SE Village Green Dr.  
Port St. Lucie, FL 34852  
Shop: 772-388-8410 Fax: 772-388-8411

Project: **80 DEMOREST**

Sheet: <b>5 OF 17</b>	Drafted: <b>RBD</b>
Scale: <b>N.T.S.</b>	Date: <b>12/05/06</b>
Rev.: <b>SKETCH</b>	Drawn: <b>BD-05</b>

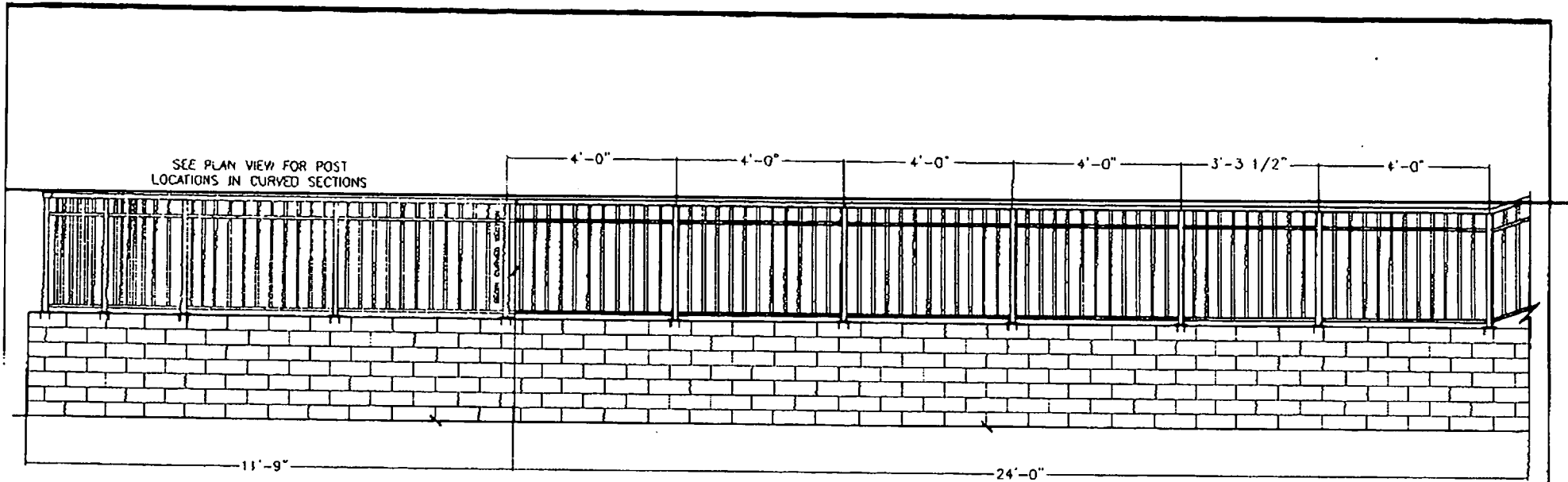
APPROVED BY: / DATE:



4a ELEVATION 4  
STEP AT SPA N.T.S.

<b>Red Iron</b> Fabrication, Inc.	
<small>1801 SE Village Green Dr. Port St. Lucie, FL 34983 Shop: 772-388-8410 Fax: 772-388-8411</small>	
Project: <b>BO DEMOREST</b>	
Sheet: <b>6 OF 17</b>	Draftsman: <b>RBO</b>
Scale: <b>N.T.S.</b>	Date: <b>3/2/05/06</b>
Rev.: <b>SKETCH</b>	Design: <b>BD-06</b>

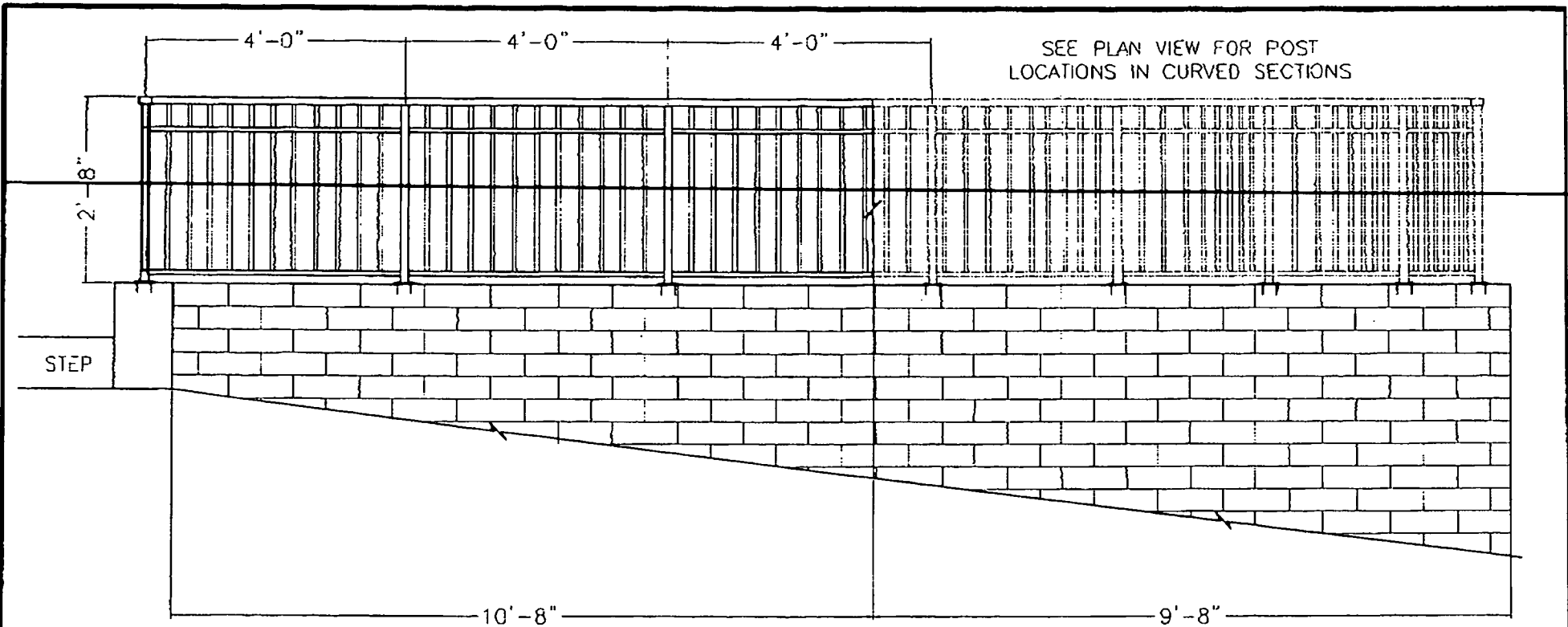
APPROVED BY: / DATE:



4a ELEVATION 4  
N.T.S.

<b>Red Iron</b> Fabrication, Inc.	
<small>1601 SE Village Green Dr. Port St. Lucie, FL 34952 Shop: 772-388-6410 Fax: 772-388-6411</small>	
Project: BO DEMOREST	
Sheet: 7 OF 17	Drafter: RBD
Scale: N.T.S.	Date: 12/05/06
Ref.: SKETCH	Drawn: BD-07

APPROVED BY: / DATE:



5 ELEVATION 5  
STEP AT DECK N.T.S.

<b>Red Iron</b> Fabrication, Inc. 1801 SE Village Green Cir. Port St. Lucie, FL 34852 Shop: 772-398-6410 Fax: 772-398-6411	
Project: 80 DEMOREST	
Sheet: 8 OF 17	Drafter: RBD
Scale: N.T.S.	Date: 12/05/06
Ref.: SKETCH	Qty: 80-08

APPROVED BY: / DATE:

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4-2, 2007 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8531	Cummings 835 River Rd Elias/Ed	Guest House slab	PASS	INSPECTOR: <i>[Signature]</i>
8172	Manano 23 Middle Rd Ken Wendell	rough plumbing through electric LATH	FAIL FAIL FAIL	INSPECTOR: <i>[Signature]</i>
8539	Sheets 1015 River Rd Sheets Roof	Final	FAIL PASS	REINSPECTED LATE MORN - CLOSE INSPECTOR: <i>[Signature]</i>
8500	Toledo 9 N River Rd Paez Roof.	Final - roof	FAIL	INSPECTOR: <i>[Signature]</i>
8549	Demorest	Pool Guard rail	PASS	CLOSE
8139	925 River Rd	River/Ret guard	PASS	CLOSE
8312	Demorest Const	SPA	PASS	INSPECTOR: <i>[Signature]</i>
8397	Rossario 2 1375 River Rd Hardware Elec	Final (gen)	FAIL	INSPECTOR: <i>[Signature]</i>
Tree	Breene 7 113 Helcrest DR OB	Tree	PASS	INSPECTOR: <i>[Signature]</i>

OTHER: \_\_\_\_\_

**8940**

**SCREEN PORCH**





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	8940	DATE ISSUED:	JUNE 30, 2008
SCOPE OF WORK:	MODIFY SCREENED PORCH		
CONDITIONS :			
CONTRACTOR:	DEMOREST CONSTRUCTION		
PARCEL CONTROL NUMBER:	123841002000007509	SUBDIVISION	RIO VISTA – LOT 75
CONSTRUCTION ADDRESS:	92 S RIVER RD		
OWNER NAME:	DEMOREST		
QUALIFIER:	ROBERT DEMOREST	CONTACT PHONE NUMBER:	220-0065

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

RECEIVED  
DATE: 6-25-08  
TOWN OF SEWALL'S POINT

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: \_\_\_\_\_  
OWNER/TITLEHOLDER NAME: ROBERT DEMOREST Phone (Day) 215.1722 (Fax) 220.0227

Job Site Address: 92 S. RIVER RD. City: SEWALL'S PT State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) RIO VISTA LOT 75 Parcel Number: 1238.41.002.000.00750.9

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Scope of work: MODIFICATIONS TO EXISTING SCREENED IN PORCH

**WILL OWNER BE THE CONTRACTOR?**  
(If yes, Owner Builder questionnaire must accompany application)  
YES \_\_\_ NO

**COST AND VALUES:** (Required on ALL permit applications)  
Estimated Value of Improvements: \$ 25,000  
(Notice of Commencement required when over \$2500 prior to first inspection)  
Is subject property located in flood hazard area? V \_\_\_ A9 \_\_\_ A8 \_\_\_ X \_\_\_  
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:  
Estimated Fair Market Value prior to improvement: \$ 234,970  
Fair Market Value of the Primary Structure only (Minus the land value)  
\*\*\* PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION\*\*\*

Has a Zoning Variance ever been granted on this property?  
YES \_\_\_ (YEAR) \_\_\_\_\_ NO   
(Must include a copy of all variance approvals with application)

CONTRACTOR/Company: DEMAREST CONST. GRP. Phone: 220.0065 Fax: 220.0227

Street: 800 S.E. INDIAN ST. City: SMART State: FL Zip: 34997

State Registration Number: \_\_\_\_\_ State Certification Number: CBCA52954 Municipality License Number: \_\_\_\_\_

PROJECT SUPERINTENDANT: MICHAEL PRINCIPLE CONTACT NUMBER: 215.6495

ARCHITECT JOSEPH P. MC CARTY Lic.#: 9639 Phone Number: 287.6785

Street: 800 E. OSCOLA ST City: SMART State: FL Zip: 34994

ENGINEER \_\_\_\_\_ Lic# \_\_\_\_\_ Phone Number: \_\_\_\_\_  
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQ. FOOTAGE (W /SEWER & ELECTRIC): Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: 420  
Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

CODE EDITIONS IN EFFECT FOR THIS APPLICATION: Florida Building Code - Res., Build, Mech., Plmb., Fuel Gas): 2004 (W/2006 Rev.)  
National Electrical Code: 2005 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Prevention Code 2004

**NOTICES TO OWNERS AND CONTRACTORS:**  
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.  
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.  
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.

THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.  
I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*  
OWNER SIGNATURE (required) \_\_\_\_\_ CONTRACTOR SIGNATURE (required) \_\_\_\_\_

State of Florida, County of: Martin On State of Florida, County of: Martin  
This the 24th day of June, 2008 This the 24th day of June, 2008

by Robert P. Demarest who is personally known to me or produced by Robert P. Demarest who is personally known to me or produced,

as identification. Veronica Taylor As identification. Veronica Taylor  
Notary Public State of Florida Notary Public

My Commission Expires: 6/4/11 My Commission Expires: 6/4/11

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 90 DAYS OF APPROVAL NOTIFICATION. ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!  
Notary Public State of Florida  
Veronica Taylor  
Notary Public  
Exp. 6/4/11



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**SUBCONTRACTORS LIST**  
 RESIDENTIAL, ADDITIONS, COMMERCIAL

APPLICANT'S NAME: Demorest, Robert BLDG. PERMIT # \_\_\_\_\_

MAILING ADDRESS: 92 S. RIVER RD.

PLEASE PROVIDE A PRELIMINARY SUBCONTRACTORS LIST FOR VERIFICATION. THIS LIST WILL BE RETURNED TO YOU WHEN THE BUILDING PERMIT IS ISSUED TO ENABLE YOU TO COMPLETE AND RETURN TO THE BUILDING DEPARTMENT. WE REQUIRE, PRIOR TO STARTING WORK, UPDATES, CHANGES AND ADDITIONS THROUGHOUT CONSTRUCTION. USING UNLICENSED CONTRACTORS OR SUBCONTRACTORS MAY PREVENT YOU FROM BEING ELIGIBLE FOR INSPECTIONS AND OR A CERTIFICATE OF OCCUPANCY. FOR INFORMATION CONTACT THE CONTRACTOR'S LICENSING OFFICE AT (772) 288-5482 OR (772) 288-5917. PLEASE INCLUDE ALL MUNICIPAL COMPETENCY CARD NUMBERS OR STATE CERTIFICATION NUMBERS. (NOT OCCUPATIONAL LICENSE NUMBERS)

	TYPE	COMPANY NAME	LICENSE NUMBER
CFO	CONCRETE - FORM		
CFI	- FINISH		
BM	BLOCK MASON		
CB	COLUMNS & BEAMS		
CA	CARPENTRY ROUGH	Demorest Const	CBCA 52954
GD	GARAGE DOOR		
DH	DRYWALL - HANG		
DF	- FINISH		
IN	INSULATION		
LA	LATHING		
FI	FIREPLACE		
PAV	PAVERS		
AL	ALUMINUM		
LP	LP GAS		
PAV	PAINTING	LEVIN SCORCIA	SP00487
PL	PLASTER & STUCCO		
ST	STAIRS & RAILS		
RO	ROOFING		
TM	TILE & MARBLE		
WD	WINDOWS & DOORS	KAMRUL WINDOWS	CGC06 1180
PLU	* PLUMBING		
AC	* HARV		
EL	* ELECTRICAL	GRIFFIN ELECT	EC0002734



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

AL	* LOW VOLTAGE BURGLAR ALARM		
VS	VACUUM SOUND		
IR	* IRRIGATION		
SH	SHUTTERS		

\* REQUIRES SEPARATE VERIFICATION FORMS.

I CERTIFY THAT THE INFORMATION STATED ON THE SUBCONTRACTORS' LIST IS ACCURATE AND THAT ALL WORK WILL BE PERFORMED BY MUNICIPAL OR STATE LICENSED CONTRACTORS. I UNDERSTAND THAT A COMPLETE NOTARIZED SUBCONTRACTORS LIST IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

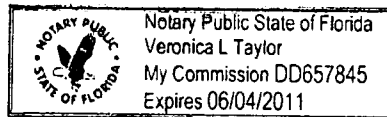
SIGNATURE OF CONTRACTOR  
 (OR OWNER BUILDER IF APPLICABLE)

STATE OF Florida  
 COUNTY OF Marion

SWORN TO AND SUBSCRIBED before me this 24th day  
 of June, 20 08

NOTARY PUBLIC

MY COMMISSION EXPIRES: 6/4/11



Stacy  
OK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: \_\_\_\_\_

\*\*\*IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: ROBERT DEMOREST

CONSTRUCTION ADDRESS: 92 S. R. VON RD. SEWALL'S PT, FL.

PERMIT TYPE:  RESIDENTIAL \_\_\_\_\_ COMMERCIAL

- ELECTRIC
- \_\_\_\_\_ PLUMBING
- \_\_\_\_\_ HVAC
- \_\_\_\_\_ IRRIGATION
- \_\_\_\_\_ FUEL GAS

TYPE OF SERVICE: \_\_\_\_\_ NEW SERVICE  EXISTING SERVICE \_\_\_\_\_ OTHER

SCOPE OF WORK: ADD ELECT OUTLETS

VALUE OF CONSTRUCTION \$ 500

_____ LOW VOLTAGE
TYPE OF EQUIPMENT: _____ SECURITY _____ VACUUM _____ SOUND SYSTEM _____ LANDSCAPE _____ OTHER
SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

[Signature]  
SIGNATURE OF LICENSED CONTRACTOR \_\_\_\_\_ ADDRESS OF CONTRACTOR \_\_\_\_\_

COMPANY OR QUALIFIER'S NAME: Griffin Electrical Services

TELEPHONE NO: 692 1856 PLEASE PRINT FAX NO: \_\_\_\_\_

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: EC0002734

\*\* WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT. \*\*\*\*\*

\*\*\*VERIFICATION OF PARCEL CONTROL NUMBER\*\*\*

OWNER'S FULL NAME AS STATED ON DEED: \_\_\_\_\_

PARCEL CONTROL #: \_\_\_\_\_

SUBDIVISION: \_\_\_\_\_ LOT: \_\_\_\_\_ BLK: \_\_\_\_\_ PHASE: \_\_\_\_\_

SITE ADDRESS: \_\_\_\_\_

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

Griffin



**Martin County, Florida**  
**Laurel Kelly, C.F.A**

Site Provided by...  
 governmax.com T1.13

**Summary**

print Owner 2 of 2

**Parcel Info**

**Summary**

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
12-38-41-002-000-00750-9	92 S RIVER RD	27588	Owner	0	1

**Summary**

**Property Location** 92 S RIVER RD  
**Tax District** 2200 Sewall's Point  
**Account #** 27588  
**Land Use** 101 0100 Single Family  
**Neighborhood** 120250  
**Acres** 0.422

**Legal Description**

**Property Information**  
 RIO VISTA S/D LOT 75

**Search By**

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

**Owner Information**

**Owner Information**  
 DEMOREST, ROBERT PAUL  
 DEMOREST, ELLEN SMITH

**Mail Information**

92 S RIVER ROAD  
 STUART FL 34996

**Assessment Info**

Front Ft. 0.00

**Market Land Value** \$290,000  
**Market Impr Value** \$234,970  
**Market Total Value** \$524,970

**Site Functions**

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

**Recent Sale**

Sale Amount \$205,000

**Sale Date** 8/23/1993  
**Book/Page** 1027 1469

Print | [Back to List](#) | [<< First](#) | [< Previous](#) | [Next >](#) | [Last >>](#)

Legal disclaimer / Privacy Statement

Data updated on 05/01/2008



NOTICE OF COMMENCEMENT  
TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: \_\_\_\_\_ TAX FOLIO #: 12.38.41.002.000.00750-9

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

X LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE): RIOVISTA LOT 75 92 S RIVER RD. SEWALLS PT, FL.

GENERAL DESCRIPTION OF IMPROVEMENT: EXTERIOR PORCH REMODEL

OWNER NAME: ROBERT P. DEMOREST  
ADDRESS: 92 S. RIVER RD. SEWALLS PT. FL. 34996  
PHONE NUMBER: 220.0065 FAX NUMBER: 220.0227

INTEREST IN PROPERTY: \_\_\_\_\_  
NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

CONTRACTOR: DEMAREST CONSTRUCTION GROUP INC.  
ADDRESS: 800 S.E. INDIAN ST. SEWALLS PT. FL. 34997  
PHONE NUMBER: 220.0065 FAX NUMBER: 220.0330  
STATE OF FLORIDA  
MARTIN COUNTY

SURETY COMPANY (IF ANY): N/A  
ADDRESS: \_\_\_\_\_ THIS IS TO CERTIFY THAT THE  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_ FOREGOING \_\_\_\_\_ PAGES IS A TRUE  
BOND AMOUNT: \_\_\_\_\_ AND CORRECT COPY OF THE ORIGINAL.  
MARSHA EWING, CLERK

LENDER/MORTGAGE COMPANY: N/A  
ADDRESS: \_\_\_\_\_ BY: [Signature] D.C.  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_ DATE: 06/24/08

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B),

FLORIDA STATUES: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_  
( EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

SIGNATORY'S TITLE/OFFICE PRESIDENT

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 24<sup>th</sup> DAY OF June, 2008

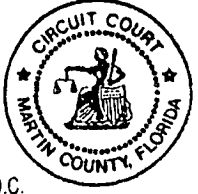
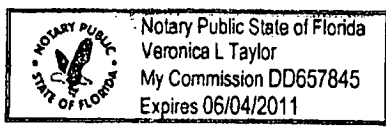
BY: Robert P. Demorest AS President FOR Demorest Construction Group  
NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN XX OR PRODUCED IDENTIFICATION \_\_\_\_\_

TYPE OF IDENTIFICATION PRODUCED \_\_\_\_\_  
NOTARY SIGNATURE/SEAL Veronica L Taylor

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

X [Signature]  
(Signature of Natural Person Signing Above)



INSTR # 2091972 DR BK 02336 PG 1473 RECD 06/24/2008 03:08:14 PM  
Pg 1473 (1pg)  
MARSHA EWING MARTIN COUNTY DEPUTY CLERK C Hunter



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

PRODUCT APPROVAL CHECKLIST

Permit Type: \_\_\_\_\_ Permit Number: \_\_\_\_\_ Date: \_\_\_\_\_

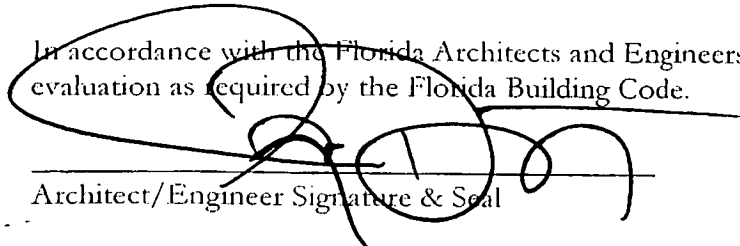
Owner's Name: DEMAREST, ROBERT Job Site Location: 92 S. RIVER RD.

Design Professional Name A/E: JOSEPH P. McCARTHY

Rule 9 B-72 requires the following information as promulgated by the Florida Building Commission. In the event that information required for product approval has been incorporated in to the plans, specifications or general notes; simply indicate page number on the affidavit.

Product	Model Number	Manufacturer	Evaluation Agency	Expiration Date
X Windows	<u>ILR-710</u>	<u>PST</u>	<u>MIAMI-DADE: 03.1105.01</u>	<u>02/19/07</u>
Exit Doors				
Garage Doors				
Ridge Vents				
Soffits				
X Skylights	<u>CURB-MOUNT</u>	<u>SWV-TEK</u>	<u>MIAMI-DADE: 05.1010.03</u>	<u>2/22/11</u>
Shutters				
Roofing Materials				
Panel Walls				
Structural Components and Cladding				
New/Alternative Materials				

In accordance with the Florida Architects and Engineers product approval system, this affidavit certifies that I have performed the building envelope evaluation as required by the Florida Building Code.

  
 Architect/Engineer Signature & Seal

9439  
 FL Certification/Registration Number





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

**DESIGN CERTIFICATION FOR WIND LOAD  
 COMPLIANCE BY ARCHITECT OR ENGINEER OF RECORD**

PROJECT NAME Demo nest BLDG. PERMIT# \_\_\_\_\_  
 ADDRESS 92 S. RIVER RD. OCCUPANCY TYPE Res.  
SEWALL'S PT., FL. CONST. TYPE \_\_\_\_\_

**STATEMENT**

I certify that, to the best of my knowledge and belief, these plans and specifications have been designed to comply with the applicable structural portion of the Building Codes as amended, adopted, and enforced by The Town of Sewall's Point Building Department. I also certify that the structural components, systems, and related elements provide adequate resistance to the wind loads and forces specified by the current Code provisions. I hereby accept responsibility for the structural design.

**DESIGN PARAMETERS AND ANALYSIS**

\*\*\*\*\*  
 CODE EDITIONS: 2004 FLORIDA BUILDING CODE W/ 2006 REVISIONS  
 CHAPTER 6 OF ASCE 7-02

BUILDING DESIGN AS: PARTIALLY ENCLOSED  ENCLOSED \_\_\_\_\_ OPEN \_\_\_\_\_  
 WIND TUNNEL TEST \_\_\_\_\_

BASIC WIND SPEED: EAST OF TURNPIKE 140 MPH 3 SECOND GUST

BUILDING CATEGORY I \_\_\_\_\_ II \_\_\_\_\_ III \_\_\_\_\_ IV \_\_\_\_\_

WIND IMPORTANCE/USE FACTOR 1.0

INTERNAL PRESSURE COEFFICIENT \_\_\_\_\_

GARAGE DOOR DESIGN PRESSURE \_\_\_\_\_ +psf (positive) \_\_\_\_\_ -psf (negative)

DOOR DESIGN PRESSURE (INT. ZONE) \_\_\_\_\_ +psf \_\_\_\_\_ -psf (END ZONE) \_\_\_\_\_ +psf \_\_\_\_\_ -psf

WINDOW DESIGN PRESSURE (INT. ZONE) +41 +psf -45 -psf (END ZONE) +41 +psf -56 -psf

EXPOSURE B

IMPACT PROTECTION (EXTERIOR OPENINGS): APPROVED SHUTTERS \_\_\_\_\_ IMPACT RESIST. GLASS

NOTE: ACTUAL DESIGN PRESSURES FOR ALL EXTERIOR WINDOWS, DOORS, GARAGE DOORS, AND SIMILAR ENVELOPE ELEMENTS MUST ALSO BE INDICATED ON CONSTRUCTION PLANS.

\*\*\*\*\*  
 As witnessed by my seal, I hereby certify that the above information is true and correct to the best of my knowledge.

NAME \_\_\_\_\_

CERTIFICATION# 9439

DATE 6/24/08

DESIGN FIRM bs P McCarty Architect

OTHER \_\_\_\_\_

SEAL



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

**CONTRACTOR, OWNER /BUILDER ASBESTOS NOTIFICATION STATEMENT**

Date: 06/24/08 Building Permit # \_\_\_\_\_  
 Site Address: 92 S. RIVER RD. SEWALL'S PT. FL 34996

**FBC 104.1.10 Asbestos.** The enforcing agency shall require each building permit for the demolition or renovation of an existing structure to contain an asbestos notification statement which indicates the owner's or operator's responsibility to comply with the provisions of s. 469.003 Florida Statutes and to notify the Department of Environmental Protection of her or his intentions to remove asbestos, when applicable, in accordance with state and federal law. 469.003 License required.--

(1) No person may conduct an asbestos survey, develop an operation and maintenance plan, or monitor and evaluate asbestos abatement unless trained and licensed as an asbestos consultant as required by this chapter.

(2)(a) No person may prepare asbestos abatement specifications unless trained and licensed as an asbestos consultant as required by this chapter.

(b) Any person engaged in the business of asbestos surveys prior to October 1, 1987, who has been certified by the Department of Labor and Employment Security as a certified asbestos surveyor, and who has complied with the training requirements of s. 469.013(1)(b), may provide survey services as described in s. 255.553(1), (2), and (3). The Department of Labor and Employment Security may, by rule, establish violations, disciplinary procedures, and penalties for certified asbestos surveyors.

(3) No person may conduct asbestos abatement work unless licensed by the department under this chapter as an asbestos contractor, except as otherwise provided in this chapter.

**FBC 105.3.6 Asbestos removal. (Owner /Builder Exemption)**

Moving, removal or disposal of asbestos-containing materials on a residential building where the owner occupies the building, the building is not for sale or lease, and the work is performed according to the owner-builder limitations provided in this paragraph. To qualify for exemption under this paragraph, an owner must personally appear and sign the building permit application. The permitting agency shall provide the person with a disclosure statement in substantially the following form: **Disclosure Statement:** State law requires asbestos abatement to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own asbestos abatement contractor even though you do not have a license. You must supervise the construction yourself. You may move, remove or dispose of asbestos-containing materials on a residential building where you occupy the building and the building is not for sale or lease, or the building is a farm outbuilding on your property. If you sell or lease such building within 1 year after the asbestos abatement is complete, the law will presume that you intended to sell or lease the property at the time the work was done, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. Your work must be done according to all local, state and federal laws and regulations which apply to asbestos abatement projects. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances.

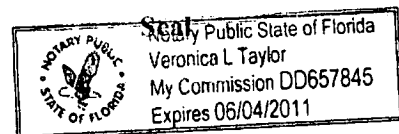
Contractor or  Owner/Builder Signature Robert P. Demarest

Subscribed and sworn to before me this 24<sup>th</sup> day of June, 2008, personally appeared

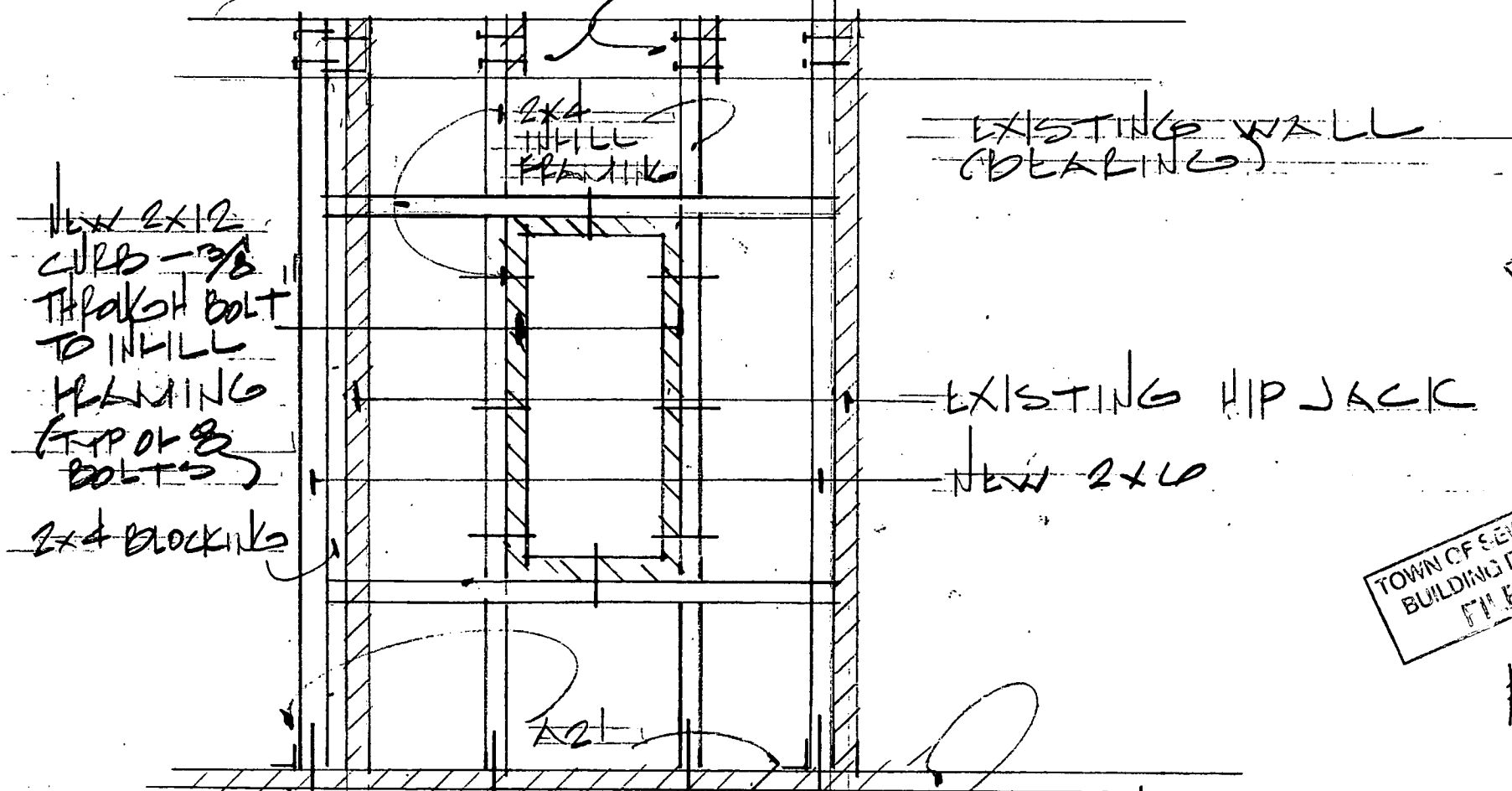
Robert P. Demarest who is personally known to me or produced \_\_\_\_\_ as

identification, and who did ~~not~~ take an oath.

Notary Public Signature Veronica L Taylor



(2) 10d NAILS TO OLD TRUSS HELL



1 1/2" x 2" x 12"  
 CURB - 3/8"  
 THROUGH BOLT  
 TO IN FILL  
 FRAMING  
 (TOP OF 8"  
 BOLTS)  
 2x4 BLOCKING

EXISTING WALL (CLEARING)

EXISTING HIP JACK

NEW 2x4

3/8" x 3 1/2" LUG BOLTS EXISTING HIP GIRDER

REVIEWED  
 DATE: 10-6-08  
 TOWN OF SEWALL'S POINT

TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY

FILE [Signature]

DEMONSTRATE RESIDENCE PORCH SKYLIGHT FRAMING  
 92 SOUTH RIVER ROAD SEWALL'S POINT

JOSEPH P. McCARTY, ARCHITECT, Inc.  
 900 EAST OSCEOLA STREET 287-6735  
 STUART FLORIDA  
 D.P.R. Registration Number 9639



BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908  
[www.miamidade.gov/buildingcode](http://www.miamidade.gov/buildingcode)

## NOTICE OF ACCEPTANCE (NOA)

Sun-Tek Manufacturing, Inc.  
10303 General Drive.  
Orlando, FL 32824

**SCOPE:** This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

### DESCRIPTION: ICMG

**APPROVAL DOCUMENT:** Drawing No. STI-00000290-SHT1/SHT2, titled "ICMG", sheet 1 & 2 of 2, prepared by Sun-Tek Manufacturing, Inc., dated 06/04/07, with last revision dated 08/07/07, signed and sealed by James D. Wells, Jr., P.E., bearing the Miami-Dade County Product Control Renewal stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

### MISSILE IMPACT RATING: Large and Small Missile Impact Resistant

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 02-0729.07 and consists of this page 1, evidence page E-1, as well as approval document mentioned above.

The submitted documentation was reviewed by Carlos M. Utrera, P.E.



*[Signature]*  
9/21/07

NOA No 07-0425.05  
Expiration Date: October 10, 2012  
Approval Date: September 20, 2007  
Page 1

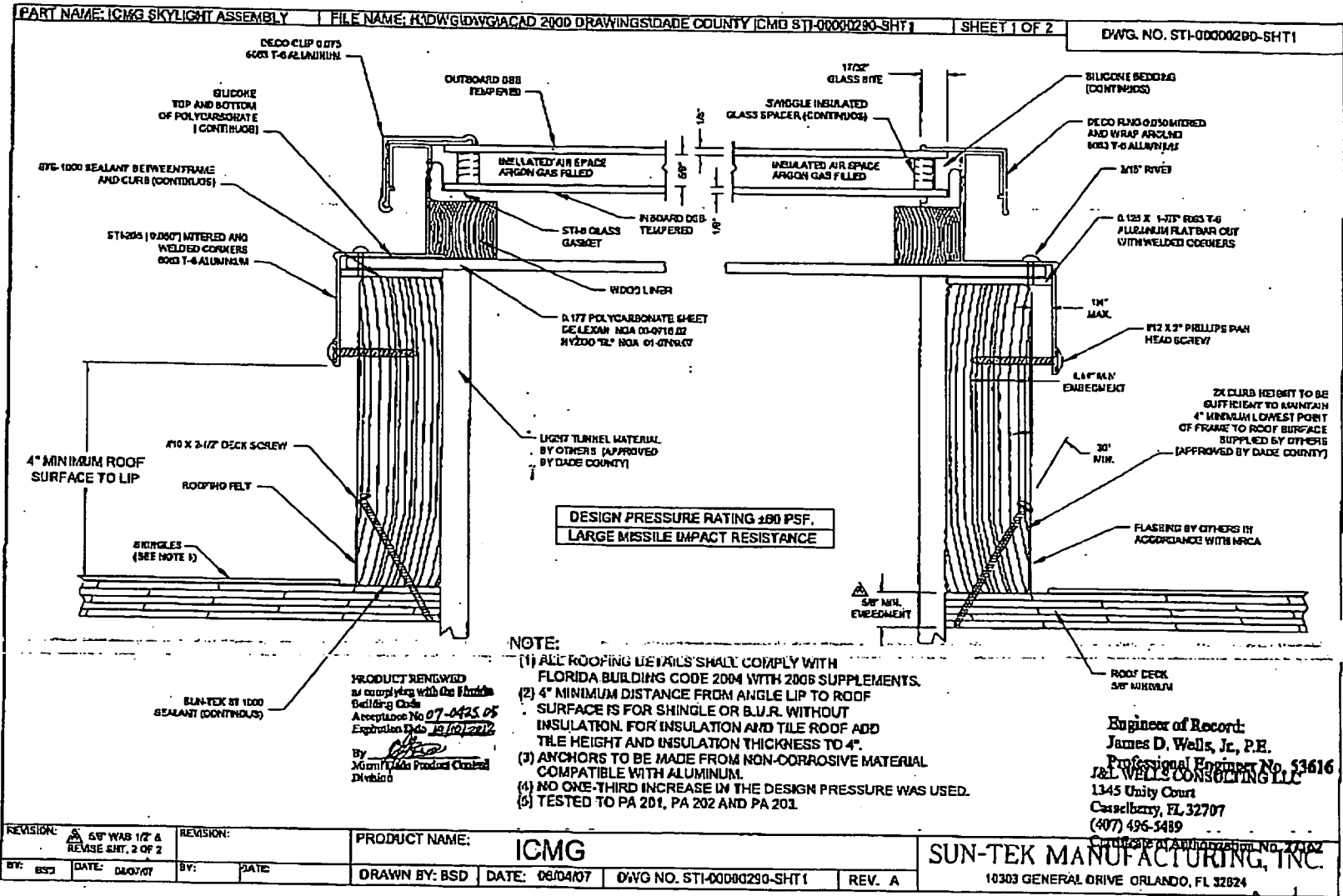
Sun-Tek Manufacturing, Inc.**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

- A. DRAWINGS**
1. Drawing No. STI-00000290-SHT1/SHT2, titled "ICMG", sheet 1 & 2 of 2, prepared by Sun-Tek Manufacturing, Inc, dated 06/04/07, with last revision dated 08/07/07, signed and sealed by James D. Wells, Jr., P.E.
- B. TESTS (submitted under NOA # 02-0729.07)**
1. Test Report on Large Missile Impact Test per PA 201, Cyclic Wind Pressure Test per PA 203 and Uniform Static Air Pressure Test per PA 202 of "Model ICMG 4949 Insulated Glass Skylight with Polycarbonate Inner Liner" prepared by National Certified Testing Laboratories, Report No. 210-2789-1, 2 & 3, dated 03/18/02, signed and sealed by B. Portnoy, PE.
- C. CALCULATIONS**
1. Anchor Calculations for attachment of skylight to cubing and curbing to decking, dated 08/13/07, signed and sealed by James D. Wells, Jr., P.E.
- D. MATERIAL CERTIFICATIONS (submitted under NOA # 02-0729.07)**
1. Die drawings No. STI-214 of Deco Ring, prepared by Sun-Tek Manufacturing, Inc. on 6/19/95.
  2. Die drawing No. STI-205 of Curb Frame prepared by Sun-Tek Manufacturing Inc. on 12/26/96.
- E. STATEMENTS (submitted under NOA # 02-0729.07)**
1. Code compliance and No-Interest letter issued by Product Technology Corporation. on 08/27/02, signed and sealed by R. J. Quiroga PE.
- F. OTHER**
1. NOA renewal request letter issued by Sun-Tek Manufacturing, Inc., dated 08/16/07, signed by James Feudner.



Carlos M. Utrera, P.E.  
Product Control Examiner  
NOA No 07-0425.05

Expiration Date: October 10, 2012  
Approval Date: September 20, 2007



DESIGN PRESSURE RATING ±80 PSF.  
LARGE MISSILE IMPACT RESISTANCE

NOTE:

- (1) ALL ROOFING DETAILS SHALL COMPLY WITH FLORIDA BUILDING CODE 2004 WITH 2006 SUPPLEMENTS.
- (2) 4" MINIMUM DISTANCE FROM ANGLE LIP TO ROOF SURFACE IS FOR SHINGLE OR B.U.R. WITHOUT INSULATION. FOR INSULATION AND TILE ROOF ADD TILE HEIGHT AND INSULATION THICKNESS TO 4".
- (3) ANCHORS TO BE MADE FROM NON-CORROSIVE MATERIAL COMPATIBLE WITH ALUMINUM.
- (4) NO ONE-THIRD INCREASE IN THE DESIGN PRESSURE WAS USED.
- (5) TESTED TO PA 201, PA 202 AND PA 203.

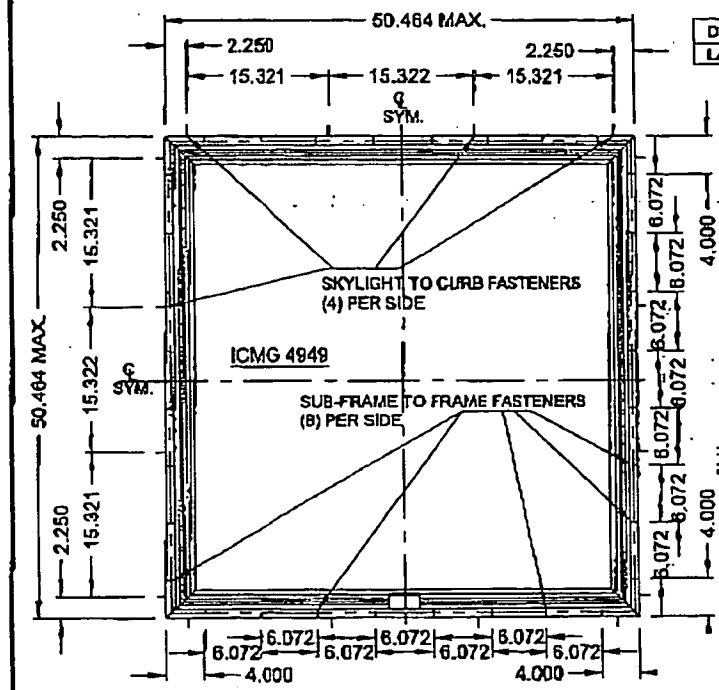
PRODUCT REMOVED as supplied with the Florida Building Code Acceptance No. 07-0425 05 Expiration Date 10/10/2012  
By Miami-Dade Product Control Division

Engineer of Record:  
James D. Wells, Jr., P.E.  
Professional Engineer No. 53616  
J&L WELLS CONSULTING LLC  
1345 Unity Court  
Casselberry, FL 32707  
(407) 496-5489  
Certificate of Authorization No. 27002

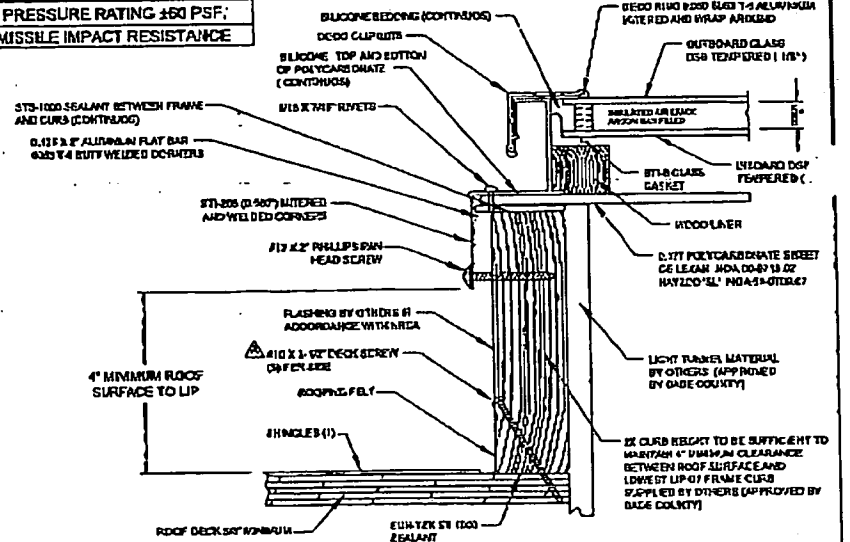
REVISION:  6/8 WAS 1/2\"/>	REVISION:	PRODUCT NAME: ICMG	SUN-TEK MANUFACTURING, INC. 10303 GENERAL DRIVE ORLANDO, FL 32824
BY: BSD DATE: 04/07/07	BY: DATE:	DRAWN BY: BSD DATE: 06/04/07 DWG NO. STI-00000290-SHT1 REV. A	

*James D. Wells, Jr.*

PART NAME: ICMG SKYLIGHT PLAN VIEW | FILE NAME: H:\DWG\DWG\CAD 2000 DRAWINGS\DADE COUNTY\ICMG STI-0000280-SHT2 | SHEET 2 OF 2 | DWG. NO. STI-0000280-SHT2



DESIGN PRESSURE RATING ±60 PSF;  
LARGE MISSILE IMPACT RESISTANCE



- NOTE:
- (1) ALL ROOFING DETAILS SHALL COMPLY WITH FLORIDA BUILDING CODE 2004 WITH 2006 SUPPLEMENTS.
  - (2) 4" MINIMUM DISTANCE FROM ANGLE LIP TO ROOF SURFACE IS FOR SHINGLE OR B.U.R. WITHOUT INSULATION. FOR INSULATION AND TILE ROOF ADD TILE HEIGHT AND INSULATION THICKNESS TO 4".
  - (3) ANCHORS TO BE MADE FROM NON-CORROSIVE MATERIAL COMPATIBLE WITH ALUMINUM.
  - (4) NO ONE-THIRD INCREASE IN THE DESIGN PRESSURE WAS USED.
  - (5) TESTED TO PA 201, PA 202 AND PA 203.

REVISION: 07-2005  
DATE: 10/10/2005  
BY: [Signature]

MODEL	FASTENER SCHEDULE SKYLIGHT TO CURB #12 X 2" PHILLIPS PAN HEAD SCREWS		FASTENER SCHEDULE CURB TO DECK #10 X 2-1/2" DECK SCREWS		FASTENER SCHEDULE SUB-FRAME TO FRAME 3/16 X 7/16" RIVETS	
	PER LONG SIDE	PER SHORT SIDE	PER LONG SIDE	PER SHORT SIDE	LONG SIDE	PER SHORT SIDE
4949	4	4	5	5	8	8
4848	4	4	5	5	8	8
7368	4	3	5	3	8	6
3334	3	3	3	3	8	6
3058	4	3	4	3	8	5
3030	3	3	3	3	5	6
2549	4	3	4	3	8	6
2533	3	3	3	3	6	5
2525	3	3	3	3	5	5
2248	4	3	4	3	8	4
2230	3	3	3	3	6	4
2222	3	3	3	3	4	4
1749	4	2	4	2	8	3
1733	3	2	3	2	6	3
1448	4	2	4	2	8	3
1430	3	2	3	2	5	3

REVISION: A CHANGE NO. OF FASTENERS ON CURB TO DECK | REVISION: | PRODUCT NAME: ICMG | SUN-TEK MANUFACTURING, INC. | 10303 GENERAL DRIVE ORLANDO, FL 32824

BY: BSD | DATE: 06/01/07 | BY: | DATE: | DRAWN BY: BSD | DATE: 06/14/07 | DWG NO. STI-0000280-SHT2 | REV. A

J & L WELLS CONSULTING LLC  
1345 Unity Court  
Casselberry, FL 32707  
(407) 496-5489  
Certificate of Authorization No. 27162

Engineer of Record:  
James D. Wells, Jr., P.E.  
Professional Engineer No. 53616

[Signature]



**TOWN OF SEWALL'S POINT**

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

**CORRECTION NOTICE**

ADDRESS: 92 S RIVER

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FRAMING/ELEC. TROUGH

NEED SKYLITE PRODUCT  
APPROVAL & ENGR.  
DETAIL FOR CURB  
INSTALLATION

INSTALL BLOCKING @ TRUSS  
BEARING ON SOUTHSIDE  
O/C.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 9/8

[Signature]  
INSPECTOR

**DO NOT REMOVE THIS TAG**



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 9-8, 2008

Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8992	Sapp	Pre-pour	<del>FAIL</del>	
2	6 Miramar	foundations	PASS	
				INSPECTOR: <i>JW</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>8940</del>	<del>Demorest</del>	<del>FRAMING</del>	<del>PASS</del>	
1	92 S. RIVER DEMAREST	<del>FRAMING</del>	<del>PASS</del>	
				INSPECTOR: <i>JW</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
tree	Hardin	Tree	PASS	
3	275 River			
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 11-7, 2008 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8981	Hepworth	deck	FAIL	REINSPECTED
3	3 Riverview Harbor Bay Pools		PASS	LATE MORNING INSPECTOR: <i>[Signature]</i>
8823	Sebastiano	meter can	PASS	CONTACT FPL.
11AM	6 W High Pt OB	<del>door + window</del> (CANCEL)		OIL TO SET METER INSPECTOR: <i>[Signature]</i>
7801	Cummings	gas final	FAIL	
5	83 Skirvel Rd Elias Mgmt	low voltage (alarm + security + vacuum)	<del>CANCEL</del>	INSPECTOR: <i>[Signature]</i>
8531	Cummings	gas final	FAIL	
5	83 Skirvel Rd Elias Mgmt	Guest House		INSPECTOR: <i>[Signature]</i>
8940	Demorest	<del>windows</del>	<del>NOT READY</del>	
4	92 Skirvel Demorest Court	skylights	PASS	INSPECTOR: <i>[Signature]</i>
9016	Desjouisreant	Final	PASS	CLOSE
1	21 E High Pt Reel Fence			INSPECTOR: <i>[Signature]</i>
8927	PELICAN GROUP	FOOTING	PASS	
2	142 S.S.P.R. CONST. CONN.			INSPECTOR: <i>[Signature]</i>

OTHER: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 11-10, 2008 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
9046		POOL STEEL	PASS	
2	19 BANYAN POOLS BY BREBB			INSPECTOR: <i>[Signature]</i>
<del>8940</del>	<del>Demorest</del>	<del>Windows</del>	<del>PASS</del>	
1	92 Skiver Demorest Const			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: \_\_\_\_\_



P/N: 8940

**TOWN OF SEWALL'S POINT**

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

**CORRECTION NOTICE**

ADDRESS: 92 S RIVER

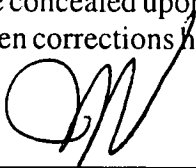
I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FINAL

RECEPTACLES ON PORCH  
NEED TO BE GFCI  
PROTECTED

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 1/14



INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 1-14 2009 Page 1 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>8940</del>	<del>Somerville</del>	<del>final</del>	<del>FAIL</del>	
5	92 S River Rd Demolition			INSPECTOR <i>[Signature]</i>
9073	Cooper	final	PASS	Close
<u>2<sup>nd</sup></u>	33 W High Pt Total Roofing			INSPECTOR <i>[Signature]</i>
8441	Dressler	<sup>46</sup> gas tank	FAIL	
3	12 Solana Rd Harbor Course			INSPECTOR <i>[Signature]</i>
9068	Taylor		PASS	
<u>EARLY AM P.S.</u>	22 E. High Pt SEWER	SLAB		INSPECTOR <i>[Signature]</i>
9078	Masterpiece	Temp Pole	PASS	CONTACT FPL FOR METER INSTALLATION.
4	1 MARGRITH DR	Stem wall FTR	FAIL.	INSPECTOR <i>[Signature]</i>
<i>[Signature]</i>	4 Morgan Circle	drainage erosion		INSPECTOR
9084	Stark	Frame-deck	PASS	
6	5 River Rd Emil Laviola			INSPECTOR <i>[Signature]</i>

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 22 2009 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9068	TAYLOR	DRY-IN	PASS	
①	22 E. HIGH PT.			INSPECTOR
	SEABATE			
9089	PREIFFER	ELEVATED	PASS	
② 9:30	104 N. SEWALLS	SLAB		INSPECTOR
	RUFORD			
9028	HINNERS	GAR. T. B.	PASS	
③ 11:00	4 MORGAN			INSPECTOR
	GRIFFIN			
<del>8940</del> 4	BO DEMAREST	FINAL	PASS	CLOSE
	92 S. RIVER	REINSPECT		INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

**11171**

**DOORS**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	11171	DATE ISSUED:	February 9, 2015
SCOPE OF WORK:	Replace 2 Doors with Impact		
CONTRACTOR:	Kamrell Windows & Doors		
PARCEL CONTROL NUMBER:	12-38-41-002-000-00750-9	SUBDIVISION:	Rio Vista S/D Lot 75
CONSTRUCTION ADDRESS:	92 S River Road		
OWNER NAME:	Demorest		
QUALIFIER:	Bruce Tyrrell	CONTACT PHONE NUMBER:	288-6205

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM**

**INSPECTIONS: 9:00AM TO 3:00PM – MONDAY THROUGH FRIDAY**

### INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

### BUILDING PERMIT RECEIPT

<b>PERMIT NUMBER:</b>	11171		
<b>ADDRESS:</b>	92 S River Road		
<b>DATE ISSUED:</b>	2/9/2015	<b>SCOPE OF WORK:</b>	Replace 2 Doors with Impact

<b>SINGLE FAMILY OR ADDITION /REMODEL</b>		Declared Value	\$	
---	--	----------------	----	--

Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned spa @ \$ 121.75 per sq. ft. s.f.		\$	-
Total square feet non-conditioned space, or interior remodel: @ \$ 59.81 per sq. ft. s.f.		\$	-
Total square feet remodel with new trusses: \$ 90.78 per sq. ft. s.f.		\$	-
Total Construction Value:		\$	\$ -
Building fee: (2% of construction value SFR or >\$200K)		\$	n/a
Building fee: (1% of construction value < \$200K + \$100 per insp.)		\$	-
Total number of inspections (Value < \$200K) \$ 100.00 per insp. # insp			n/a
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	n/a
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	n/a
Road impact assessment: (.04% of construction value - \$5 min.)			n/a
Martin County Impact Fee:		\$	
<b>TOTAL BUILDING PERMIT FEE:</b>		\$	\$ -

<b>ACCESSORY PERMIT</b>	Declared Value:	\$	\$ 5,446.00
Total number of inspections: @ \$ 100.00 per insp. # insp		2	\$ 200.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	\$ 3.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	\$ 3.00
Road impact assessment: (.04% of construction value - \$5 min.)			\$ 5.00

<b>TOTAL ACCESSORY PERMIT FEE:</b>		\$	<b>211.00</b>
------------------------------------	--	----	---------------

**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

Date: 2/4/15 Permit Number: 11171

OWNER/LESSEE NAME: Robert & Ellen Demorest Phone (Day) \_\_\_\_\_ (Fax) \_\_\_\_\_  
 Job Site Address: 92 S River Road City: Stuart State: FL Zip: 34996  
 Legal Description: Rio Vista s/d Lot 75 Parcel Control Number: 12-38-41-002-000-00750-9  
 Fee Simple Holder Name: \_\_\_\_\_ Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Telephone: \_\_\_\_\_

**\*SCOPE OF WORK (PLEASE BE SPECIFIC):** Replace 2 doors w/ impact

**WILL OWNER BE THE CONTRACTOR?**  
 (If yes, Owner Builder questionnaire must accompany application)  
 YES  NO   
**Has a Zoning Variance ever been granted on this property?**  
 YES  (YEAR) \_\_\_\_\_ NO   
 (Must include a copy of all variance approvals with application)

**COST AND VALUES: (Required on ALL permit applications)**  
 Estimated Value of Improvements: \$ 5446.00  
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
 Is subject property located in flood hazard area? VE10  AE9  AE8   
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
 Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
 (Fair Market Value of the Primary Structure only, Minus the land value)  
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Kamrell Windows & Doors Phone: 772-288-6205 Fax: 772-288-6208  
 Qualifiers name: Bruce M Tyrrell Jr. Street: 2441 SE Golfwood Drive City: Stuart State: FL Zip: 34996  
 State License Number: CGC061180 OR: Municipality: \_\_\_\_\_ License Number: \_\_\_\_\_

LOCAL CONTACT: Bruce M Tyrrell Jr. Phone Number: 772-288-6205

DESIGN PROFESSIONAL: \_\_\_\_\_ Fla. License# \_\_\_\_\_  
 Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Phone Number: \_\_\_\_\_

AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/ Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_  
 Carport: \_\_\_\_\_ Total under Roof \_\_\_\_\_ Elevated Deck: \_\_\_\_\_ Enclosed area below BFE\*: \_\_\_\_\_  
 \* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010  
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

**WARNINGS TO OWNERS AND CONTRACTORS:**

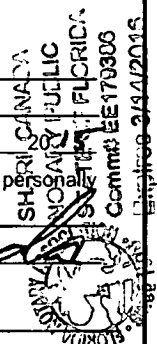
- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
- IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

**\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\***

**AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.**

OWNER / AGENT / LESSEE NOTARIZED SIGNATURE:  
 X Robert P. Demorest  
 State of Florida, County of: Martin  
 On This the 2nd day of February, 2015  
 by Robert P. Demorest who is personally known to me or produced \_\_\_\_\_  
 As identification, Monica Taylor  
 Notary Public  
 My Commission Expires: \_\_\_\_\_

CONTRACTOR / LICENSEE NOTARIZED SIGNATURE:  
 X Bruce M Tyrrell Jr.  
 State of Florida, County of: Martin  
 On This the 4 day of February  
 by Bruce Tyrrell who is personally known to me or produced \_\_\_\_\_  
 As identification, Shawn Canada  
 Notary Public  
 My Commission Expires: 03/14/2016



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!





**CERTIFICATE OF LIABILITY INSURANCE**

DATE (MM/DD/YYYY)  
2/9/2015

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> CAPRICORN COVERAGE INC 5180 W Atlantic Ave #121 Delray Beach, FL 33484 A273445	<b>CONTACT NAME:</b> SANDRA VESSECCHIA
	<b>PHONE (AC, No, Ext):</b> (561) 499-3922 <b>FAX (AC, No):</b> (561) 499-3716 <b>E-MAIL ADDRESS:</b> sandy@capricorncoverage.net
<b>INSURER(S) AFFORDING COVERAGE</b>	
<b>INSURER A:</b> Technology Insurance Co	
<b>INSURER B:</b>	
<b>INSURER C:</b>	
<b>INSURER D:</b>	
<b>INSURER E:</b>	
<b>INSURER F:</b>	

<b>INSURED</b> Kamrell Management Construction, Inc DBA: Kamrell Windows & Doors 2441 SE Golfwood Drive Stuart, FL 34996
---

COVERAGES      CERTIFICATE NUMBER:      REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTP	TYPE OF INSURANCE	ACQ MID	ISIP SWD	POLICY NUMBER	POLICY EFF MM/DD/YYYY	POLICY EXP MM/DD/YYYY	LIMITS
	COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR  GENL AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:						EACH OCCURRENCE \$ DAMAGE TO RENTED PREMISES (Ea occurrence) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$ \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> HIRE/AUTOS  <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	UMBRELLA LIAB EXCESS LIAB DED      RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$ \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROFESSIONAL SERVICE OFFICERS/DIR/EXC/EXECUTIVE (Mandatory in FL) If yes, describe under DESCRIPTION OF OPERATIONS below			TWC3426726	9/19/2014	9/19/2015	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ 100,000 E.L. DISEASE - EA EMPLOYEE \$ 100,000 E.L. DISEASE - POLICY LIMIT \$ 500,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)  
 \*BRUCE TYRRELL AND HEIDI J TYRRELL ARE EXEMPT FROM WORK COMP COVERAGE.

<b>CERTIFICATE HOLDER</b> TOWN OF SEWALL'S POINT BUILDING DEPARTMENT ONE S. SEWALL'S POINT RD SEWALL'S POINT, FL 34996 FAX: 772-220-4765	<b>CANCELLATION</b> SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.  AUTHORIZED REPRESENTATIVE 
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Policy Number:

Date Entered:



# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

3/11/2014

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> SAJMEIN INSURANCE 730 SW 4TH ST. #3 CAPE CORAL, FL 33991	<b>CONTACT NAME:</b> ALLISON <b>PHONE:</b> (866) 987-7147 <b>FAX:</b> (888) 542-3507 <b>EMAIL:</b> ALLISON@SAJMEININSURE.COM <b>ADDRESS:</b>
<b>INSURED</b> KAMRELL MANAGEMENT CONSTRUCTION, INC DBA KAMRELL WINDOWS & DOORS DAN KAMMERER & BRUCE TIRRELL 2441 SE GOLFWOOD DR. STUART, FL 34996	<b>INSURER(S) AFFORDING COVERAGE</b> PROVIDER A: FEDERATED NATIONAL INSURANCE COMPANY INSURER B: INSURER C: INSURER D: INSURER E: INSURER F:

COVERAGES      CERTIFICATE NUMBER:      REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

TYPE OF INSURANCE	POLICY NUMBER	POLICY EFF. DATE (MM/DD/YYYY)	POLICY EXP. DATE (MM/DD/YYYY)	LIMITS
<b>GENERAL LIABILITY</b> <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC	GL-000021118-00	3/9/2014	3/9/2015	EACH OCCURRENCE: \$1,000,000 DAMAGE TO RENTED PREMISES (E&O OCCURRENCE): \$100,000 MED EXP (Any one person): \$5,000 PERSONAL & ADV INJURY: \$1,000,000 GENERAL AGGREGATE: \$2,000,000 PRODUCTS - COMP/OP ACC: \$1,000,000
<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT: \$ BODILY INJURY (Per person): \$ BODILY INJURY (Per accident): \$ PROPERTY DAMAGE (Per accident): \$
<b>UMBRELLA LIAB</b> <input type="checkbox"/> EXCESS W/LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS-MADE DEF <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE: \$ AGGREGATE: \$
<b>WORKERS COMPENSATION AND EMPLOYERS LIABILITY</b> ANY PROPERTY OPERATOR/EXECUTIVE OFFICER/EMPLOYEE EXCLUDED? (Mandatory in FL) If yes, describe kind of OPERATION/OPERATIONS below				WC STATUTORY LIMITS: \$ OTHER: \$ E.L. EACH ACCIDENT: \$ E.L. DISEASE - PA EMPLOYEE: \$ E.L. DISEASE - POLICY LIMIT: \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Attached, if more space is required)  
KAMRELL FAX: 772-288-8208

<b>CERTIFICATE HOLDER</b> Town of Sewall's Point Bldg Dept One S. Sewall's Point Rd Sewalls Point, FL 34996 Fax: 772-220-4765	<b>CANCELLATION</b> SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE:
---	---

STATE OF FLORIDA  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD



LICENSE NUMBER  
CGC061180

The GENERAL CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2016

TYRRELL, BRUCE MERTON JR  
KAMRELL WINDOWS & DOORS  
2441 SE GOLFWOOD DRIVE  
STUART FL 34996



ISSUED: 07/10/2014

DISPLAY AS REQUIRED BY LAW

SEQ # L1407100001152

2014-2015 MARTIN COUNTY ORIGINAL  
BUSINESS TAX RECEIPT  
HONORABLE RUTH PIETRUSZEWSKI CFC, TAX COLLECTOR  
3485 S.E. WILLOUGHBY BLVD., STUART, FL 34994  
(772) 288-5604

ACCOUNT: ~~2003-513-0008~~ CERT: ~~020015217~~  
PHONE: ~~(772) 288-6203~~ SIC NO: ~~233211~~  
LOCATION: 2441 SE GOLFWOOD DR MAR

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR.	\$ .00	LIC. FEE	\$ 26.25
	\$ .00	PENALTY	\$ .00
	\$ .00	COL FEE	\$ .00
	\$ .00	TRANSFER	\$ .00
TOTAL		26.25	



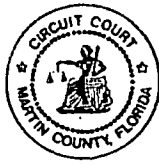
IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION  
OF CERTIFIED GENERAL CONTRACTOR  
AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

TYRRELL, BRUCE MERTON JR CGC061180  
KAMRELL MANAGEMENT CONSTRUCTION INC  
2441 SE GOLFWOOD DRIVE  
STUART, FL 34996

17 DAY OF JULY 2014  
AND ENDING SEPTEMBER 30, 2015

804 2013 03083.0001 PAID

*Kamrell Windows + Doors  
Updated Copies for your  
records.*



INSTR # 2498798 OR BK 2766 PG 1 RECD 02/10/2015 04:17:52 PM  
(1 Pgs)  
CAROLYN TIMMANN MARTIN COUNTY CLERK  
DEED DOC \$0.00; MTG DOC \$0.00; INTANGIBLE \$0.00

THIS IS TO CERTIFY THAT THE  
FOREGOING 1 PAGE(S) IS A TRUE  
AND CORRECT COPY OF THE ORIGINAL  
DOCUMENT AS FILED IN THIS OFFICE

CAROLYN TIMMANN, CLERK

BY [Signature] D.C.  
DATE 02-10-15

**NOTICE OF COMMENCEMENT**

To be completed when construction value exceeds \$2,500.00

TAX FOLIO # 12-38-41-002-000-00750-9

STATE OF FLORIDA

COUNTY OF MARTIN

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

**LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS, IF AVAILABLE):**

92 S River Road Stuart, FL 34996 - Rio Vista Lot 75

**GENERAL DESCRIPTION OF IMPROVEMENT:** Install (2) impact sliding glass doors

**OWNER INFORMATION OR LESSEE INFORMATION, IF THE LESSEE CONTRACTED FOR THE IMPROVEMENT:**

Name: Robert Paul Demorest

Address: 92 S River Road Stuart, FL 34996

Interest in property: Owner

Name and address of fee simple title holder (if different from Owner listed above):

**CONTRACTOR'S NAME:** Kamcell Windows & Doors Inc. Phone No.: (772) 288-6205

Address: 2441 S.E. Welford Drive Stuart, FL 34996

**SURETY COMPANY (if applicable, a copy of the payment bond is attached):**

Name and address:

Phone No.:

Bond amount:

**LENDER'S NAME:**

Phone No.:

Address:

Persons within the State of Florida designated by owner upon whom notices or other documents may be served as provided by Section 713.13

(1) (a) 7, Florida Statutes:

Name:

Phone No.:

Address:

In addition to himself or herself, owner designates \_\_\_\_\_ of \_\_\_\_\_ to

receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

Phone number of person or entity designated by Owner: \_\_\_\_\_

**Expiration date of Notice of Commencement:**

(the expiration date may not be before the completion of construction and final payment to the contractor, but will be 1 year from the date of recording unless a different date is specified): \_\_\_\_\_

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

Under penalty of perjury, I declare that I have read the foregoing and that the facts in it are true to the best of my knowledge and belief.

Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager/Attorney-in-fact

Robert P. Demorest / Owner

Signatory's Title/Office

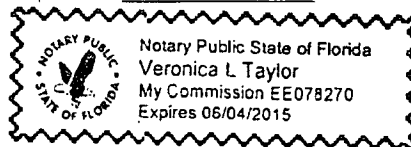
The foregoing instrument was acknowledged before me this 2nd day of February, 2015

By: Robert P. Demorest as Owner for 92 S River Rd Stuart, FL 34996 Residence  
Name of person Type of authority (e.g. officer, trustee) Party on behalf of whom instrument was executed

Veronica L Taylor  
Notary's Signature

(Print, Type, or Stamp Commissioned Name of Notary)

Personally known  or produced identification   
Type of identification produced \_\_\_\_\_



**Martin County, Florida  
Laurel Kelly, C.F.A**
*generated on 2/4/2015 8:40:15 AM EST*
**Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-002-000-00750-9	27588	92 S RIVER RD, SEWALL'S POINT	\$337,420	1/31/2015

---

**Owner Information**

Owner(Current)	DEMOREST ROBERT PAUL DEMOREST ELLEN SMITH
Owner/Mail Address	92 S RIVER RD STUART FL 34996
Sale Date	8/23/1993
Document Book/Page	<u>1027 1469</u>
Document No.	
Sale Price	205000

---

**Location/Description**

Account #	27588	Map Page No.	SP-04
Tax District	2200	Legal Description	RIO VISTA S/D LOT 75
Parcel Address	92 S RIVER RD, SEWALL'S POINT		
Acres	.4220		

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**Parcel Type**

Use Code	0100 Single Family
Neighborhood	120250 Rio Vista DRY

---

**Assessment Information**

Market Land Value	\$198,000
Market Improvement Value	\$139,420
Market Total Value	\$337,420

TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 WINDOW/DOOR SCHEDULE FILE COPY

**WINDOW/DOOR SCHEDULE FILE COPY**

ID NO	APPOX OPENING SIZE (WXH)	DESIGNATION	* TYPE	IMPACT PROTECTION		REMARKS
				IMPACT GLASS	SHUTTER	
	37" X 63"	25	SH		X	EXAMPLE
1	72 x 60	606F	SL	X		
2	72 x 60	606F	SL	X		
3						
4						
5						
6						
7						
8						
9						
10						
11						
12						
13						
14						
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16						
17						
18						
19						
20						
21						
22						
23						
24						
25						
26						
27						
28						
29						
30						

TOTAL GLAZED OPENING AREA FOR STRUCTRE: \_\_\_\_\_ S.F.

\*PERCENTAGE OF NEW GLAZED AREA: \_\_\_\_\_ %  
 (TOTAL INSTALLED GLAZED AREA DIVIDED BY TOTAL GLAZED OPENINGS FOR STRUCTURE)

NOTE: The replacement of more than 25% of the aggregate area of exterior glazing (windows & doors) in one & two family dwellings within a 12 month period will require impact protection on all proposed glazed opening replacement (approved shutters or impact resistant glazing) as per 2004 FBC/ EXISTING BUILDING 507.3.

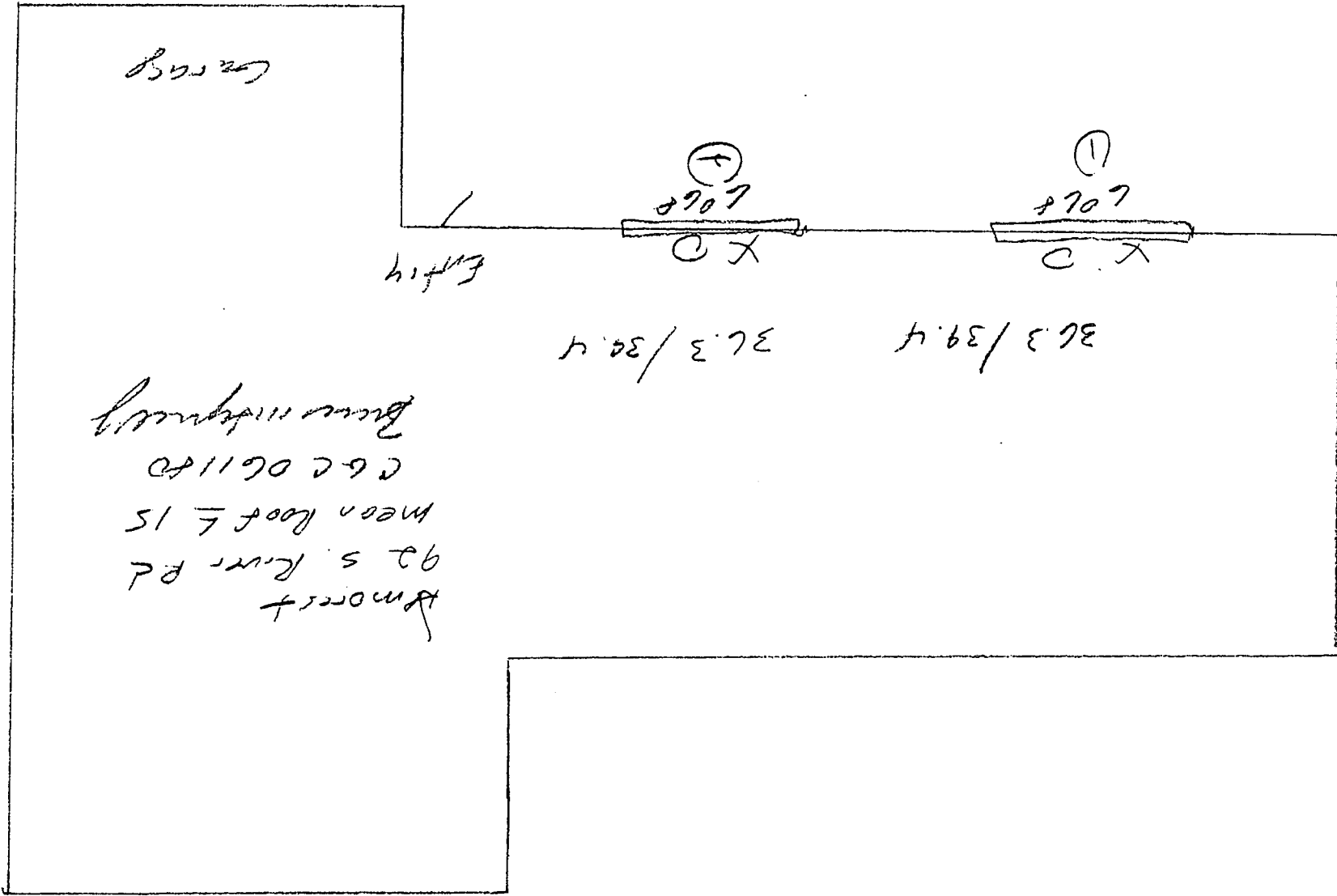
\* TYPE WINDOWS

SH - SINGLE HUNG  
 DH - DOUBLE HUNG

AWN - AWNING  
 CAS - CASEMENT

SL - SLIDING  
 FIX - FIXED





Casing

Entry

①  
Loop

X.C.

36.3/39.4

①

Loop

X.C.

36.3/39.4

Wmores +  
92 S. River Rd  
Mean Roof E 15  
060061110  
Brown with green



[Product Approval Menu](#) > 
 [Product or Application Search](#) > 
 [Application List](#) > 
 **Application Detail**

**FL #** FL10181-R5  
**Application Type** Revision  
**Code Version** 2010  
**Application Status** Approved  
 \*Approved by DBPR. Approvals by DBPR shall be reviewed and ratified by the POC and/or the Commission if necessary.

**Comments**  
 Archived

**Product Manufacturer** Nan Ya Plastics Corporation USA  
**Address/Phone/Email** 8989 North Loop East  
 Houston, TX 77029  
 (713) 674-7822 Ext 105  
 ajen96@yahoo.com.tw

**Authorized Signature** RUSKIN WU  
 ajen96@yahoo.com.tw

**Technical Representative** Ruskin Wu  
**Address/Phone/Email** 8989 North Loop East  
 Houston, TX 77029-1217  
 (713) 674-7822 Ext 105  
 ajen96@yahoo.com.tw

**Quality Assurance Representative**  
**Address/Phone/Email**

**Category** Exterior Doors  
**Subcategory** Sliding Exterior Door Assemblies

**Compliance Method** Certification Mark or Listing

**Certification Agency** National Accreditation & Management Institute  
**Validated By** National Accreditation & Management Institute,

Referenced Standard and Year (of Standard)	Standard	Year
	AAMA/WDMA/CSA 101/I.S.2/A440	2008
	ANSI/AAMA/NWDA 101/I.S.2	1997
	ASTM E1886	2005
	ASTM E1996	2006

**Equivalence of Product Standards**  
**Certified By**

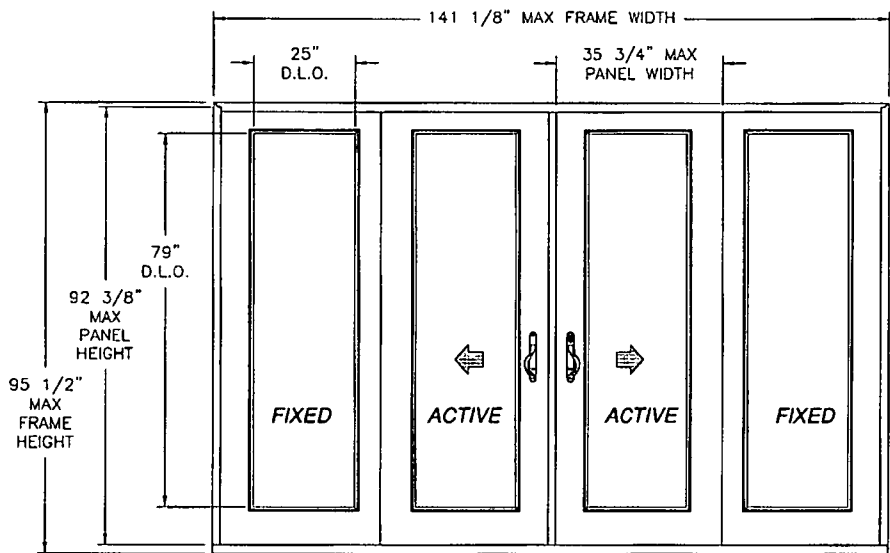
**Product Approval Method** Method 1 Option A

**Date Submitted** 04/14/2014  
**Date Validated** 08/06/2014  
**Date Pending FBC Approval**  
**Date Approved** 08/10/2014

**Summary of Products**

FL #	Model, Number or Name	Description
10181.1	GLIDING FRENCH DOOR	NEUMA NON-IMPACT GLIDING 12'0" x 8'0" - OXXO, OX, XO, 6'0" x 8'0" GLAZED DP50
<b>Limits of Use</b> Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +50/-50 Other:		<b>Certification Agency Certificate</b> <a href="#">FL10181_R5_C_CAC_NI006118-R3.pdf</a> <b>Quality Assurance Contract Expiration Date</b> 05/31/2015 <b>Installation Instructions</b> <a href="#">FL10181_R5_II_08-01545A.pdf</a> Verified By: Luis Roberto Lomas 62514 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL10181_R5_AE_512191B.pdf</a> Created by Independent Third Party: Yes
10181.2	Gliding Two Panel Patio Door	Gliding Two Panel Patio Door - Non-Impact
<b>Limits of Use</b> Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +50/-50 Other:		<b>Certification Agency Certificate</b> <a href="#">FL10181_R5_C_CAC_NI010809-R1.pdf</a> <b>Quality Assurance Contract Expiration Date</b> 07/31/2015 <b>Installation Instructions</b> <a href="#">FL10181_R5_II_08-01099B.pdf</a> Verified By: Luis R. Lomas 62514 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL10181_R5_AE_511659A.pdf</a> Created by Independent Third Party: Yes
10181.3	Nan Ya 6068 DP45 Gliding Patio Door	Nan Ya 6068 DP45 Gliding Patio Door
<b>Limits of Use</b> Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +45/-45 Other:		<b>Certification Agency Certificate</b> <a href="#">FL10181_R5_C_CAC_NI011609.pdf</a> <b>Quality Assurance Contract Expiration Date</b> 04/30/2017 <b>Installation Instructions</b> <a href="#">FL10181_R5_II_08-02239.pdf</a> Verified By: Luis Roberto Lomas 62514 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL10181_R5_AE_512959.pdf</a> Created by Independent Third Party: Yes
10181.4	SERIES "NAN YA SLIDING GLASS DOOR"	SERIES "NAN YA SLIDING GLASS DOOR" - 6'06"11
<b>Limits of Use</b> Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +45/-45 Other:		<b>Certification Agency Certificate</b> <a href="#">FL10181_R5_C_CAC_NI006928-R3-.pdf</a> <b>Quality Assurance Contract Expiration Date</b> 02/28/2015 <b>Installation Instructions</b> <a href="#">FL10181_R5_II_08-01867.pdf</a> Verified By: Luis Roberto Lomas 62514 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL10181_R5_AE_512556A.pdf</a> Created by Independent Third Party: Yes
10181.5	SERIES "SPLS GLIDING PATIO DOOR"	SERIES "SPLS GLIDING PATIO DOOR" FIBERGLASS SLIDING DOOR W/ SIDELITE
<b>Limits of Use</b> Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +50/-50 Other:		<b>Certification Agency Certificate</b> <a href="#">FL10181_R5_C_CAC_NI009467-R3.pdf</a> <b>Quality Assurance Contract Expiration Date</b> 02/28/2015 <b>Installation Instructions</b> <a href="#">FL10181_R5_II_08-01664.pdf</a> Verified By: Luis Roberto Lomas 62514 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL10181_R5_AE_512343A.pdf</a> Created by Independent Third Party: Yes
10181.6	SERIES "SRS GLIDING PATIO DOOR WITH FIELD MULLION"	SERIES "SRS GLIDING PATIO DOOR WITH FIELD MULLION" FIBERGLASS SLIDING DOOR WITH SIDELITE - NON-IMPACT
<b>Limits of Use</b> Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +50/-50 Other:		<b>Certification Agency Certificate</b> <a href="#">FL10181_R5_C_CAC_NI011035-R1.pdf</a> <b>Quality Assurance Contract Expiration Date</b> 03/31/2016 <b>Installation Instructions</b> <a href="#">FL10181_R5_II_08-01533A.pdf</a> Verified By: Luis Roberto Lomas 62514 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL10181_R5_AE_512174B.pdf</a> Created by Independent Third Party: Yes

REVISIONS			
REV	DESCRIPTION	DATE	APPROVED



- NOTES:
1. THE PRODUCT SHOWN HEREIN IS DESIGNED AND MANUFACTURED TO COMPLY WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE.
  2. WOOD FRAMING AND MASONRY OPENING TO BE DESIGNED AND ANCHORED TO PROPERLY TRANSFER ALL LOADS TO STRUCTURE. FRAMING AND MASONRY OPENING IS THE RESPONSIBILITY OF THE ARCHITECT OR ENGINEER OF RECORD.
  3. 1X BUCK OVER MASONRY/CONCRETE IS OPTIONAL. WHERE 1X BUCK IS NOT USED DISSIMILAR MATERIALS MUST BE SEPARATED WITH APPROVED COATING OR MEMBRANE. SELECTION OF COATING OR MEMBRANE IS THE RESPONSIBILITY OF THE ARCHITECT OR ENGINEER OF RECORD.
  4. UNITS MUST BE GLAZED PER ASTM E1300-04, SEE SHEET 2 FOR GLASS OPTIONS.
  5. APPROVED IMPACT PROTECTIVE SYSTEM IS NOT REQUIRED FOR THIS PRODUCT IN WIND BORNE DEBRIS REGIONS.
  6. FRAME JAMB AND HEAD MATERIAL: CO-EXTRUDED PVC FOAM 1 1/2" THICK.
  7. FRAME SILL MATERIAL: CO-EXTRUDED PVC FOAM 2" THICK WITH ALUMINUM CLADDING .063" THICK.
  8. DOOR PANEL AND SIDELITE MATERIAL: PVC FOAM TOP AND BOTTOM RAILS, AND PVC FOAM VERTICAL STILES WITH PINE REINFORCEMENTS AND POLYURETHANE FOAM CORE.
  9. APPROVED CONFIGURATIONS: OX, XO, AND OXXO. SEE SHEET 2.

**SERIES SPLS GLIDING PATIO DOUBLE DOOR W/ SIDELITES**  
EXTERIOR VIEW

DESIGN PRESSURE RATING	IMPACT RATING
±50PSF	LARGE AND SMALL MISSILE IMPACT

MISSILE LEVEL D, WIND ZONE 4 AND HVHZ

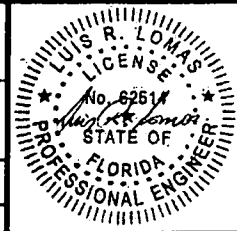
SIGNED: 01/21/2013

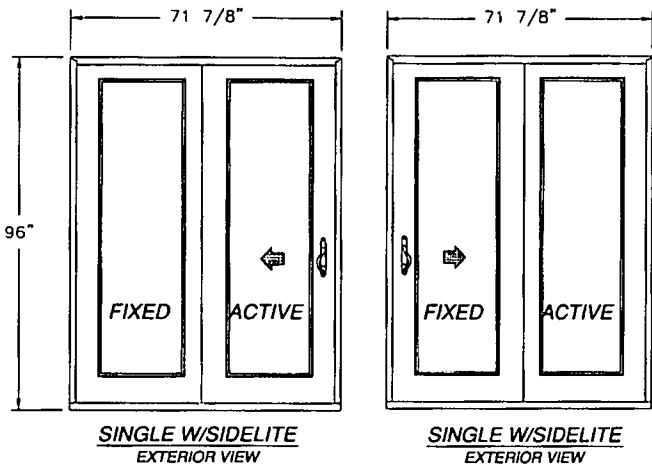
TABLE OF CONTENTS	
SHEET NO.	DESCRIPTION
1	OXXO ELEVATION AND NOTES
2	ADDITIONAL CONFIGURATIONS ANCHOR LAYOUTS & HARDWARE
3 - 5	INSTALLATION DETAILS

**NAN YA PLASTICS CORP. USA**  
8989 NORTH LOOP EAST  
HOUSTON, TX 77029

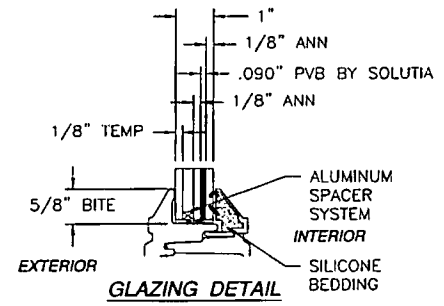
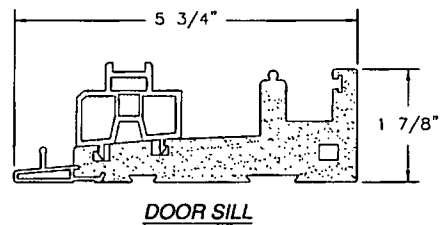
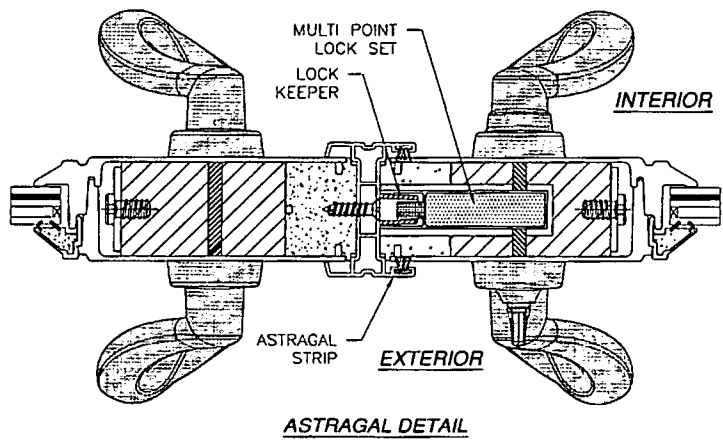
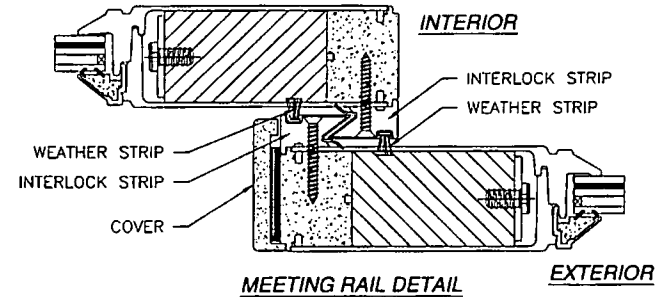
SERIES SPLS GLIDING PATIO DOOR  
FIBERGLASS SLIDING DOOR W/ SIDELITES  
OXXO ELEVATION AND NOTES

DRAWN: A.P.	DWG NO. 08-01664	REV -
SCALE NTS	DATE 07/03/12	SHEET 1 OF 5





REVISIONS			
REV	DESCRIPTION	DATE	APPROVED

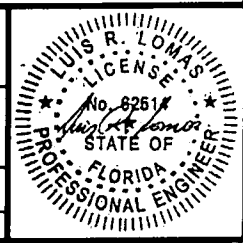


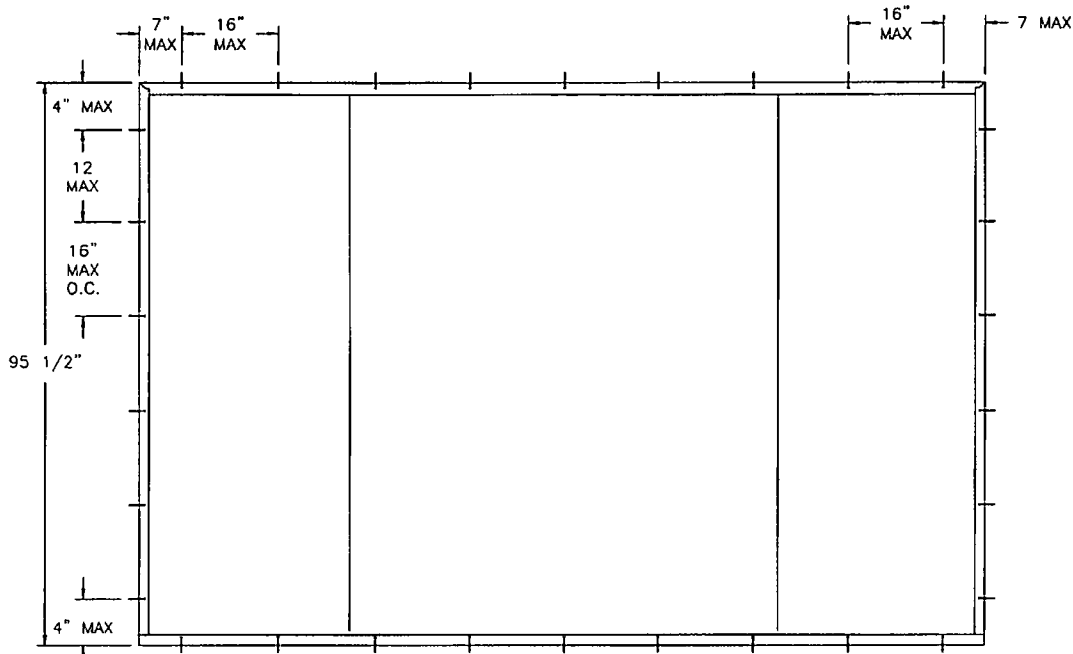
<u>HARDWARE SCHEDULE</u>	
A.	MULTI POINT LOCKING SYSTEM
B.	(1) DIE CAST HANDLE SET PER ACTIVE PANEL
C.	(2) STAINLESS STEEL TANDEM ROLLERS PER PANEL
D.	PVC ASTRAGAL BY NAN YA PLASTICS

**NAN YA PLASTICS CORP. USA**  
8989 NORTH LOOP EAST  
HOUSTON, TX 77029

SERIES SPLS GLIDING PATIO DOOR  
FIBERGLASS SLIDING DOOR W/ SIDELITES  
ADDITIONAL CONFIGURATIONS AND HARDWARE

DRAWN: A.P.	DWG NO. 08-01664	REV -
SCALE NTS	DATE 07/03/12	SHEET 2 OF 5



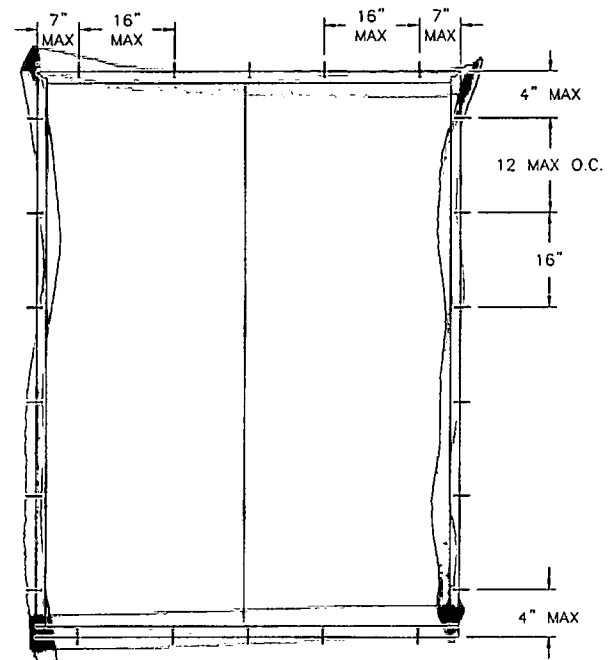


**ANCHORING LAYOUT FOR DOUBLE W/SIDELITES**  
EXTERIOR VIEW

**ANCHORING NOTES:**

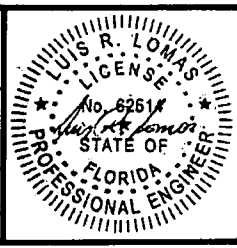
1. SHIM AS REQUIRED AT EACH INSTALLATION ANCHOR WITH LOAD BEARING SHIM. SHIM WHERE SPACE OF 1/16" OR GREATER OCCURS. MAXIMUM ALLOWABLE SHIM STACK TO BE 1/4".
2. FOR ANCHORING INTO WOOD FRAMING OR 2X BUCK USE #10 WOOD SCREWS WITH SUFFICIENT LENGTH TO ACHIEVE A 1 5/8" MINIMUM EMBEDMENT INTO SUBSTRATE. LOCATE ANCHORS AS SHOWN IN ELEVATIONS AND INSTALLATION DETAILS.
3. FOR ANCHORING INTO MASONRY/CONCRETE USE 3/16" TAPCONS WITH SUFFICIENT LENGTH TO ACHIEVE A 1 1/4" MINIMUM EMBEDMENT INTO SUBSTRATE WITH 2 5/8" MINIMUM EDGE DISTANCE. LOCATE ANCHORS AS SHOWN IN ELEVATIONS AND INSTALLATION DETAILS.
4. ALL FASTENERS TO BE CORROSION RESISTANT.
5. INSTALLATION ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH ANCHOR MANUFACTURER'S INSTALLATION INSTRUCTIONS AND ANCHORS SHALL NOT BE USED IN SUBSTRATES WITH STRENGTHS LESS THAN THE MINIMUM STRENGTH SPECIFIED BELOW:
  - A. WOOD - MINIMUM SPECIFIC GRAVITY OF G=0.42
  - B. CONCRETE - MINIMUM COMPRESSIVE STRENGTH OF 3,192 PSI.
  - C. MASONRY - STRENGTH CONFORMANCE TO ASTM C-90, GRADE N, TYPE 1 (OR GREATER).

REVISIONS			
REV	DESCRIPTION	DATE	APPROVED

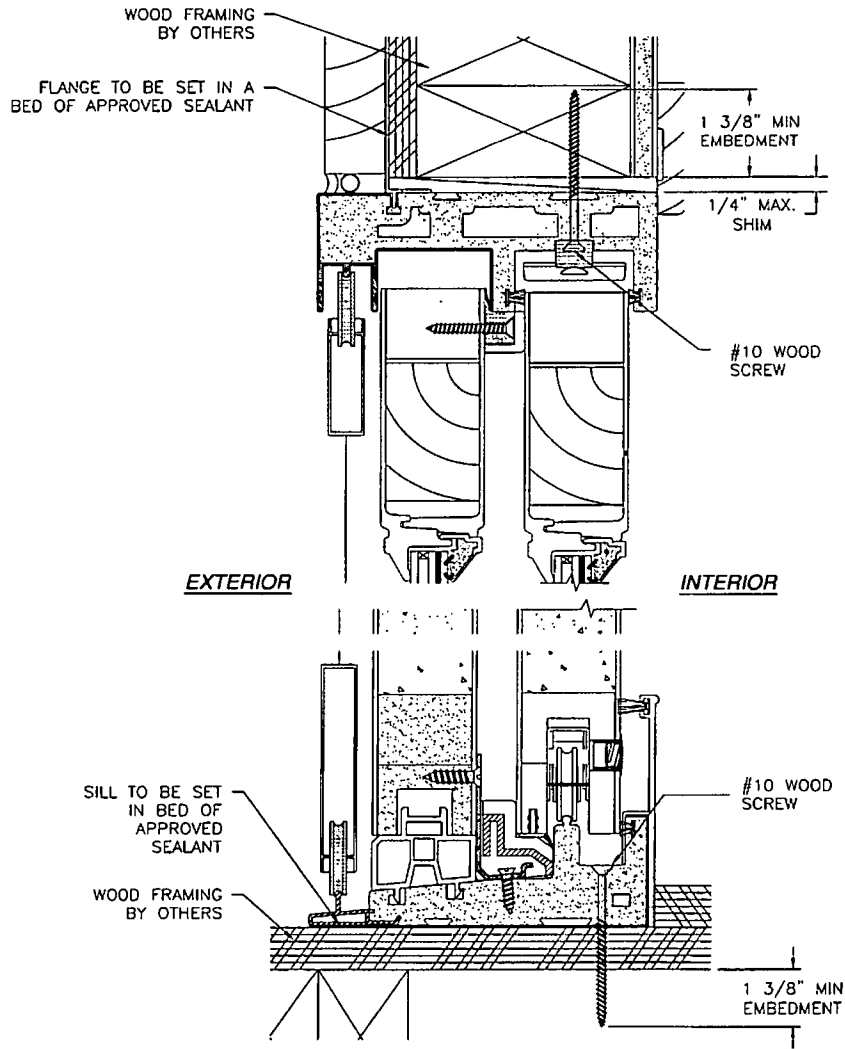


**ANCHORING LAYOUT FOR SINGLE W/SIDELITE**  
EXTERIOR VIEW

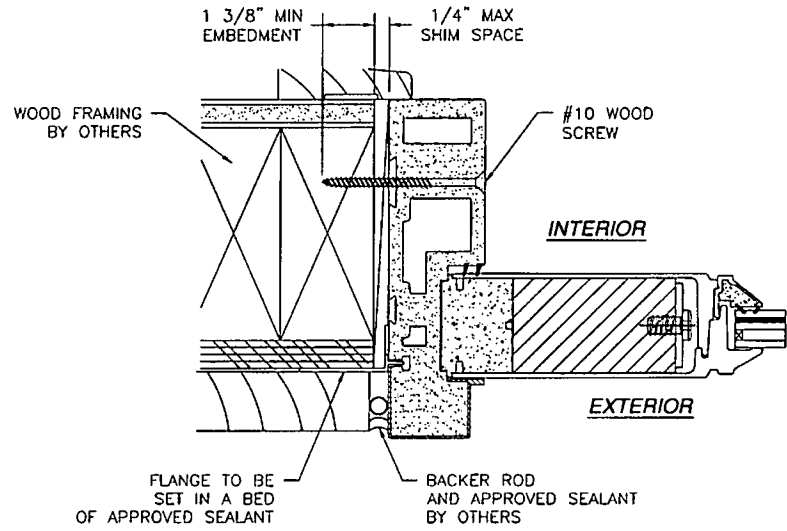
<b>NAN YA PLASTICS CORP. USA</b> 8989 NORTH LOOP EAST HOUSTON, TX 77029		
SERIES SPLS GLIDING PATIO DOOR FIBERGLASS SLIDING DOOR W/ SIDELITES ADDITIONAL CONFIGURATION AND HADWARE		
DRAWN: A.P.	DWG NO. 08-01664	REV -
SCALE NTS	DATE 07/03/12	SHEET 3 OF 5



REVISIONS			
REV	DESCRIPTION	DATE	APPROVED

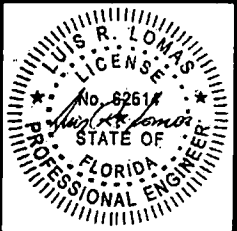


**VERTICAL CROSS SECTION**  
 DOOR SHOWN, SIDELITE SIMILAR  
 2X BUCKWOOD FRAMING INSTALLATION

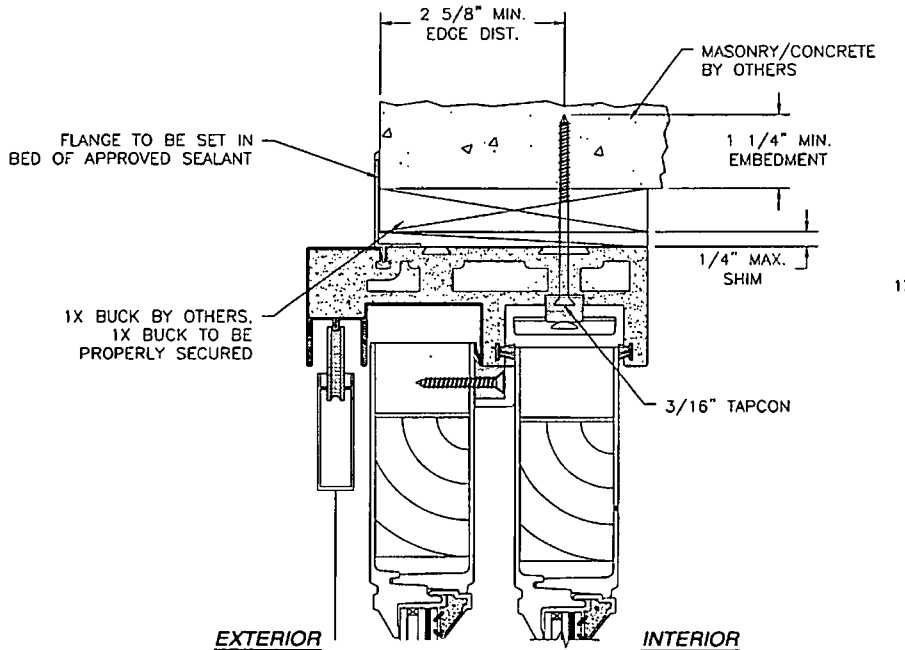


**HORIZONTAL CROSS SECTION**  
 2X BUCKWOOD FRAMING INSTALLATION

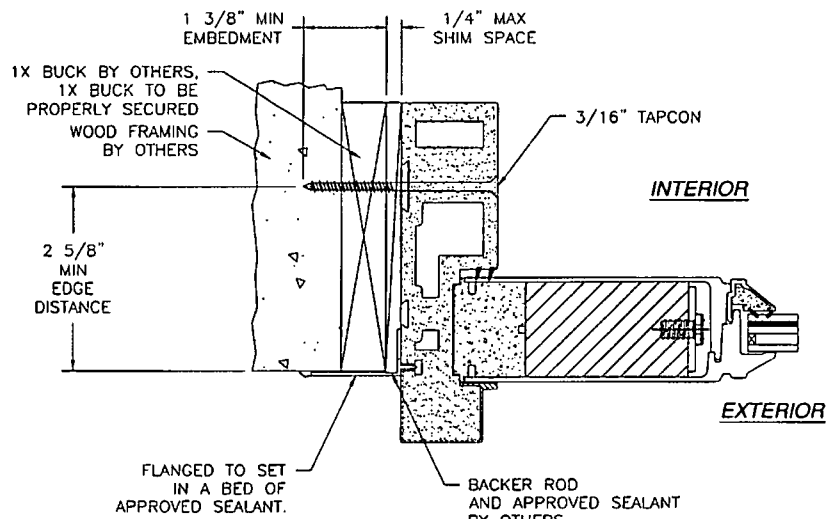
<b>NAN YA PLASTICS CORP. USA</b> 8989 NORTH LOOP EAST HOUSTON, TX 77029		
SERIES SPLS GLIDING PATIO DOOR FIBERGLASS SLIDING DOOR W/ SIDELITES INSTALLATION DETAILS		
DRAWN: A.P.	DWG NO. 08-01664	REV -
SCALE NTS	DATE 07/03/12	SHEET 4 OF 5



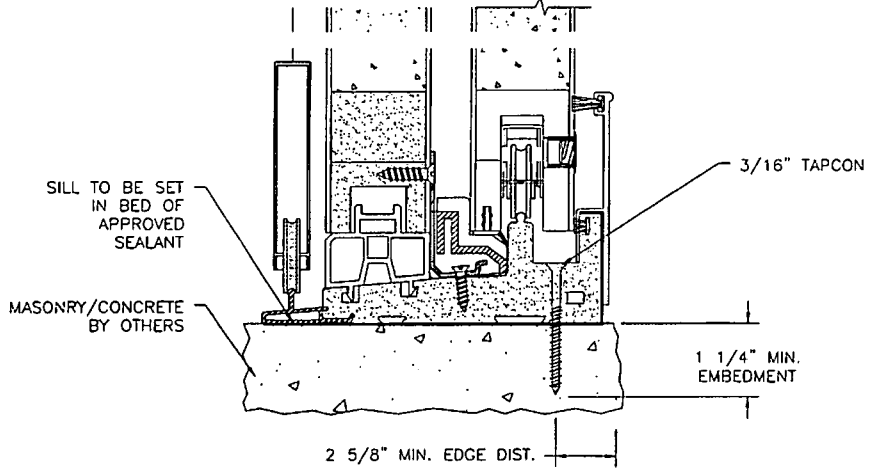
REVISIONS			
REV	DESCRIPTION	DATE	APPROVED



**EXTERIOR** **INTERIOR**



**HORIZONTAL CROSS SECTION**  
MASONRY/CONCRETE INSTALLATION

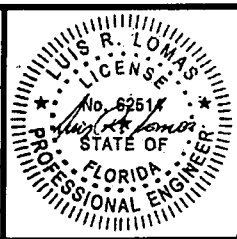


**VERTICAL CROSS SECTION**  
MASONRY/CONCRETE INSTALLATION  
DOOR SHOWN SIDELITE SIMILAR

**NAN YA PLASTICS CORP. USA**  
8989 NORTH LOOP EAST  
HOUSTON, TX 77029

SERIES SPLS GLIDING PATIO DOOR  
FIBERGLASS SLIDING DOOR W/ SIDELITES  
INSTALLATION DETAILS

DRAWN: A.P.	DWC NO. 08-01664	REV -
SCALE NTS	DATE 07/03/12	SHEET 5 OF 5







# TOWN OF SEWALL'S POINT

Building Department – Inspection Log

Date of Inspection  Mon  Tue  Wed  Thur  Fri 2/17/15 Page 2 of     

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11131	Krett	Final		BOND SCREEN
	3 Miramar Rd	Screen	Fail	Room to Boot Equip
	Florida Screen Builders	Enclosure		INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11172	Pawluc	Final/Slab		
	102 Hillcrest Dr	+ Sidewalk	Pass	Close
	O/B			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11143	Moscattello	Final		
	1 Worth Ct	Re-roof	Pass	Close
	Elite Roofing			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11121	Rohloff	A/c		
	20 Riverview Dr	Final	Reschedule	
	Seacoast			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
<del>11171</del>	Demorest	Window		
	<del>92 S River Rd</del>	Buck	Pass	
	Kamrell Windows + Drs			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11101	Barnes	Pre Pour		
	7 Marguerita Rd	Slab	Pass	
	Dw Rich			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
10982	Thompson	A/c		
	179 S River rd	Final	Reschedule	
	Elite			INSPECTOR

# TOWN OF SEWALL'S POINT

Building Department – Inspection Log

Date of Inspection  Mon  Tue  Wed  Thur  Fri 2/20/15 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11071	Resnick	Concrete		
AM Requested	14 Middle Road	steps rear	Pass	
	Celentano	porch & SLAB		INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11158	Kennedy	Electric		SEND E-MAIL
	65 S River Road	Final	Pass	TO FPL
	Forward Electric			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
<del>11158</del>	Demorest	Final		
	92 S. River Road	window/doors	<del>Pass</del>	<del>INSPECTOR</del>
	Kamrell Window + Doors			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
10694	WEST COTT	DEAD MAN		
	53 N. RIVER RD		Pass	
	SAN GEORGE CONT.			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

**11171**

**DOORS**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	10296	DATE ISSUED:	DECEMBER 6, 2012
SCOPE OF WORK:	AC CHANGEOUT		
CONTRACTOR:	SHARKEY AIR		
PARCEL CONTROL NUMBER:	123841002-000-007509	SUBDIVISION	RIO VISTA - LOT 75
CONSTRUCTION ADDRESS:	92 S RIVER RD		
OWNER NAME:	DEMOREST		
QUALIFIER:	KEVIN SHARKEY	CONTACT PHONE NUMBER:	220-2487

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

### INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

Permit Number: 10296

Date: 10/02/12

OWNER/LESSEE NAME: Bo Demorest Phone (Day) 772-215-1722 (Fax) \_\_\_\_\_  
 Job Site Address: 92 S. River Rd. City: Stuart State: FL Zip: 34996  
 Legal Description: Rio Vista S/D Lot 75 Parcel Control Number: 12-38-41-002-000-00750-9  
 Fee Simple Holder Name: \_\_\_\_\_ Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Telephone: \_\_\_\_\_

**\*SCOPE OF WORK (PLEASE BE SPECIFIC):**

*AC Changeout*

**WILL OWNER BE THE CONTRACTOR?**  
 (If yes, Owner Builder questionnaire must accompany application)  
 YES \_\_\_\_\_ NO   
**Has a Zoning Variance ever been granted on this property?**  
 YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
 (Must include a copy of all variance approvals with application)

**COST AND VALUES:** (Required on ALL permit applications)  
 Estimated Value of Improvements: \$ 3000.00  
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
 Is subject property located in flood hazard area? VE10 AE9 AEB   
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
 Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
 (Fair Market Value of the Primary Structure only, Minus the land value)  
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Sharkey Air, LLC Phone: 772-220-2487 Fax: 772-220-3787

Qualifiers name: Kevin M. Sharkey Street: 7862 SW Ellipse Way City: Stuart State: FL Zip: 34997

State License Number: CAC1816853 OR: Municipality: \_\_\_\_\_ License Number: \_\_\_\_\_

LOCAL CONTACT: Kevin M. Sharkey Phone Number: 772-260-0170

DESIGN PROFESSIONAL: \_\_\_\_\_ Fla. License # \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Phone Number: \_\_\_\_\_

AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/ Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_

Carport: \_\_\_\_\_ Total under Roof: \_\_\_\_\_ Elevated Deck: \_\_\_\_\_ Enclosed area below BFE\*: \_\_\_\_\_  
 \* Enclosed non-habitable areas below the Base Flood Elevation greater than 900 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010  
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

**WARNINGS TO OWNERS AND CONTRACTORS:**

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
- IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - 5.

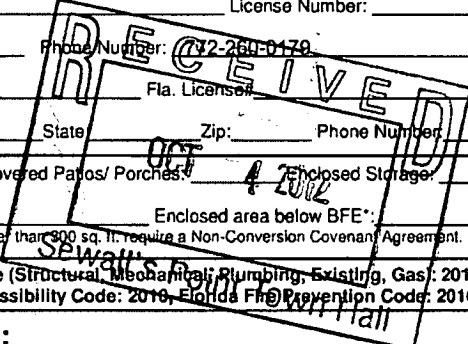
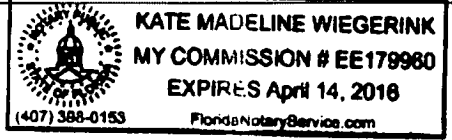
**\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\***

**AFFIDAVIT:** APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER/AGENT/LESSEE - NOTARIZED SIGNATURE: \_\_\_\_\_  
 State of Florida, County of: Martin  
 On This the 2nd day of October, 2012  
 by Kevin M. Sharkey who is personally  
 known to me or produced  
 As identification: \_\_\_\_\_  
 Notary Public  
 My Commission Expires: April 14, 2006

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE: \_\_\_\_\_  
 State of Florida, County of: Martin  
 On This the 2nd day of October, 2012  
 by Kevin M. Sharkey who is personally  
 known to me or produced  
 As identification: \_\_\_\_\_  
 Notary Public  
 My Commission Expires: April 14, 2006

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



**Martin County, Florida  
Laurel Kelly, C.F.A**

generated on 10/4/2012 11:31:14 AM EDT

**Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-002-000-00750-9	27588	92 S RIVER RD, SEWALL'S POINT	\$272,380	9/29/2012

---

**Owner Information**

<b>Owner(Current)</b>	DEMOREST ROBERT PAUL DEMOREST ELLEN SMITH
<b>Owner/Mail Address</b>	92 S RIVER RD STUART FL 34996
<b>Sale Date</b>	8/23/1993
<b>Document Book/Page</b>	1027 1469
<b>Document No.</b>	
<b>Sale Price</b>	205000

---

**Location/Description**

<b>Account #</b>	27588	<b>Map Page No.</b>	SP-04
<b>Tax District</b>	2200	<b>Legal Description</b>	RIO VISTA S/D LOT 75
<b>Parcel Address</b>	92 S RIVER RD, SEWALL'S POINT		
<b>Acres</b>	.4220		

---

**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120250 RIO VISTA DRY

---

**Assessment Information**

<b>Market Land Value</b>	\$132,000
<b>Market Improvement Value</b>	\$140,380
<b>Market Total Value</b>	\$272,380



7862 SW Ellipse Way  
Stuart, FL 34997

# Estimate

Date	Estimate #
9/27/2012	10955

Phone: (772) 220-2487 Lic. # CAC1816853

info@sharkeyair.com www.sharkeyair.com

<b>Billing Name/Address</b>
Bo Demorest 92 S River Rd Stuart, Fl. 34996

<b>Job Name</b>

Description	Qty	Rate	Total
Residential Change Out: 2 Ton 15 SEER Rheem Split System 5KW Heat		3,265.00	3,265.00
FP&L Equipment Rebate Credit		-265.00	-265.00
2 TON RHEEM C/U		0.00	0.00
2 TON RHEEM A/H		0.00	0.00
ONE YEAR LABOR. 10 YEARS ON ALL PARTS.		0.00	0.00

Note: This estimate may be withdrawn by us if not accepted within 30 days.

**Total \$3,000.00**

Signature \_\_\_\_\_

Date \_\_\_\_\_

09/27/12

WE PROPOSE HEREBY TO FURNISH MATERIAL AND LABOR COMPLETE IN ACCORDANCE WITH ABOVE SPECIFICATIONS. ALL MATERIAL IS GUARENTEED TO BE SPECIFIED. ALL WORK WILL BE COMPLETED IN A WORKMAN LIKE MANNER ACCORDING TO STANDARD PRACTICES. ALL SCHEDULING IS CONTINGENT UPON STRIKES, ACCIDENTS, WARS OR DELAYS BEYOND OUR CONTROL. ANY ALTERATION OR DEVIATION FROM THE ABOVE SPECIFICATIONS INVOLVING EXTRA COSTS WILL BE EXECUTED ONLY UPON A WRITTEN AND SIGNED CHANGE ORDER, THUS RESULTING IN AN EXTRA CHARGE ABOVE AND BEYOND THE ORIGINAL CONTRACT PRICE. OWNER IS TO CARRY FIRE INSURANCE AND ALL OTHER NORMALLY ACCEPTED INSURANCES ON THE JOBSITE. OUR WORKERS ARE FULLY COVERED BY WORKERS COMPENSATION INSURANCE. CERTIFICATE UPON REQUEST. FINAL PAYMENT WILL BE MADE PRIOR TO START-UP OF EQUIPMENT.





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY

**Air Conditioning Change out Affidavit**

Residential  Commercial \_\_\_\_\_

Package Unit \_\_\_ Yes  No (Use Condenser side of form below for equipment listing)

Duct Replacement \_\_\_ Yes  No - Refrigerant line replacement \_\_\_ Yes  No

Flushing Existing Refrigerant lines  Yes \_\_\_ No - Adding Refrigerant Drier  Yes \_\_\_ No

Rooftop A/C Stand Installation \_\_\_ Yes  No - Curb Installation \_\_\_ Yes  No

Smoke Detector in Supply (over 2000 CFM) \_\_\_ Yes  No

**One form required for each A/C system installed**

**REPLACEMENT SYSTEM COMPONENTS**

**Air handler:** Mfg: RHEEM Model# RBHP17J06SH  
 Volts 208/240 CFM's 800 Heat Strip 5 Kw  
 Min. Circuit Amps 25 Wire gauge 10  
 Max. Breaker size 30 Min. Breaker size 25  
 Ref. line size: Liquid 3/8 Suction 3/4  
 Refrigerant type 410A  
 Location: Existing  New \_\_\_  
 Attic/Garage/Closet (specify) CLOSET  
 Access: \_\_\_\_\_

**Condenser:** Mfg RHEEM Model# 14AJM24  
 Volts 208/240 SEER/EER 15/13 BTU's 23400  
 Min. Circuit Amps 18 Wire gauge 10  
 Max. Breaker size 30 Min. Breaker size 25  
 Ref. line size: Liquid 3/8 Suction 3/4  
 Refrigerant type 410A  
 Location: Existing  New \_\_\_  
 Left/Right/Rear/Front/Roof North Side  
 Condensate Location North Side

**NOTE: CONTRACTOR MUST SUPPLY A PROPER LADDER IF REQUIRED FOR INSPECTION**

**EXISTING SYSTEM COMPONENTS**

**Air handler:** Mfg: RHEEM Model# ILLEGIBLE  
 Volts 208/240 CFM's approx 800 Heat Strip 5 Kw  
 Min. Circuit Amps 25 Wire gauge 10  
 Max. Breaker size 30 Min. Breaker size 25  
 Ref. line size: Liquid 3/8 Suction 3/4  
 Refrigerant type R22  
 Location: Ext.  New \_\_\_  
 Attic/Garage/Closet (specify) Closet  
 Access: \_\_\_\_\_

**Condenser:** Mfg RHEEM Model# RALB024JAZ  
 Volts 208/240 SEER/EER unknown BTU's approx 23000  
 Min. Circuit Amps 18 Wire gauge 10  
 Max. Breaker size 30 Min. Breaker size 25  
 Ref. line size: Liquid 3/8 Suction 3/4  
 Refrigerant type R22  
 Location: Ext.  New \_\_\_  
 Left/Right/Rear/Front/Roof NORTH SIDE  
 Condensate Location NORTH SIDE

**Certification:**

I herby certify that the information entered on this form accurately represents the equipment installed and further that this equipment is considered matched as required by FBC - R (N) 1107 & 1108

*[Signature]*  
 \_\_\_\_\_  
 Signature

10-2-12  
 \_\_\_\_\_  
 Date

## Customer Information

<b>Location:</b>	
Street Address	92 S. River RD, Stuart, FL 34996
Latitude, Longitude	26.6726°, -80.0706°
House Square Footage:	1000 sq. ft.
Name:	Demorest: bedroom unit
Phone:	
Email:	

## House Information

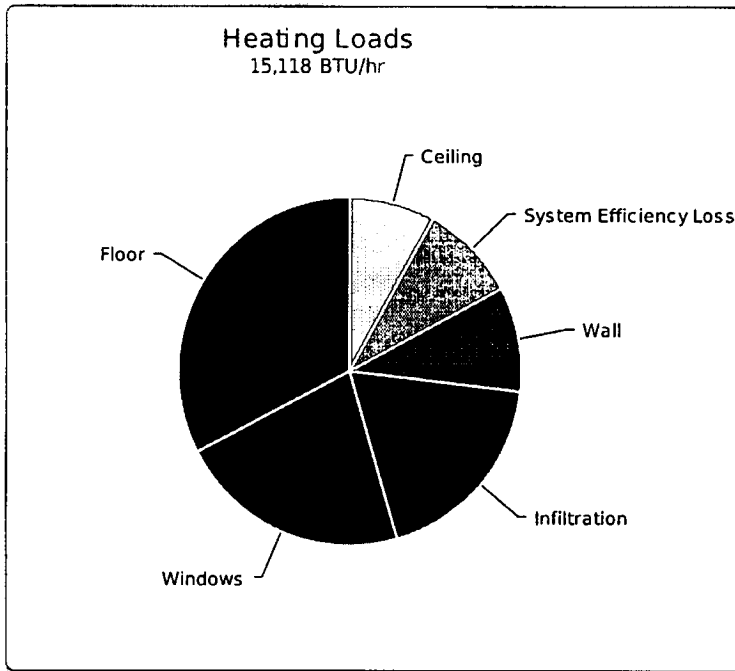
SHR	.75
Number of residents	2
Ceiling height	9
Wall U-value   R-value	0.09   11
Floor U-value   R-value	0.2   5
Ceiling U-value   R-value	0.053   19
Window U-value	1.0
Window SHGF	0.85
Moisture grains	64
Duct loss %	10
Duct gain %	10
Cooling infiltration (ACH)	0.6
Heating infiltration (ACH)	0.8
Winter ventilation	0
Summer ventilation	0

## Design Conditions

<b>Outdoor</b>	<b>Heating</b>	<b>Cooling</b>
Dry bulb (°F)	47	90
Daily range		M
Relative humidity		50%
Moisture difference		64
<b>Indoor</b>	<b>Heating</b>	<b>Cooling</b>
Indoor temperature (°F)	70	75
Design temperature difference(°F)	23	15

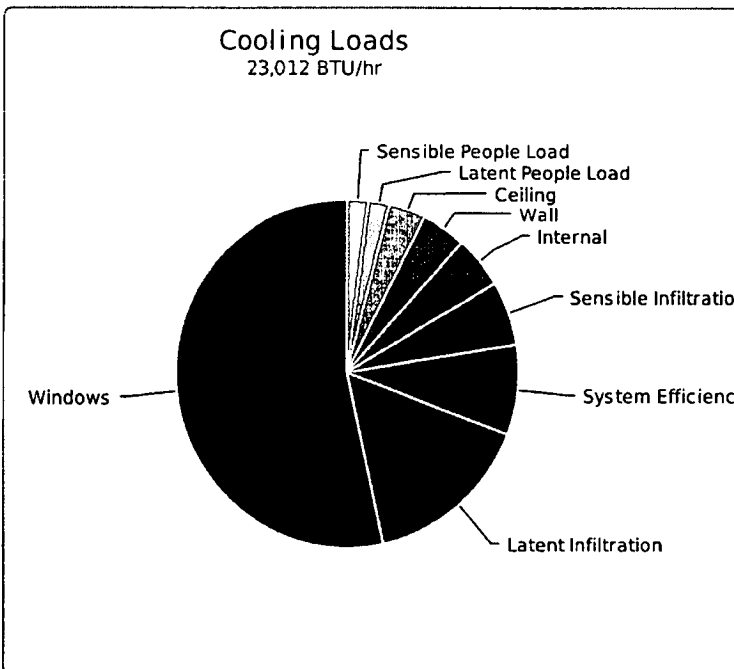
# Heating Loads

Area	Btuh	% of load
Wall	1462	9.7
Floor	4927	32.6
Ceiling	1219	8.1
Windows	3312	21.9
Infiltration	2823	18.7
System Efficiency Loss	1374	9.1
Total:	15118	

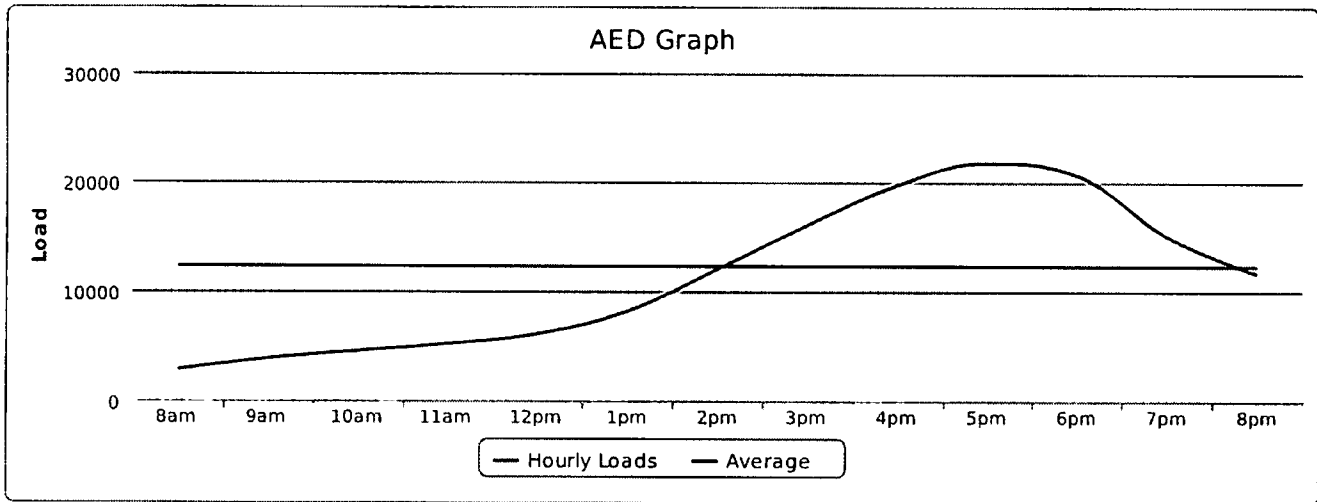


# Cooling Loads

Area	Btuh	% of load
Wall	954	4.1
Ceiling	795	3.5
Windows	12291	53.4
Sensible Infiltration	1381	6
Latent Infiltration	3643	15.8
System Efficiency Gain	1906	8.3
Internal	1122	4.9
Sensible People Load	460	2
Latent People Load	460	2
<b>Total:</b>	<b>23012</b>	
<b>Sensible load</b>	<b>18909</b>	
<b>Latent load</b>	<b>4103</b>	
<b>SHR</b>	<b>0.82</b>	
<b>Capacity at .75 SHR</b>	<b>2.10 Tons</b>	



## Adequate Exposure Diversity



## Equipment selection

System equipment selection will be made using the following derived values.

Summer Outdoor	90°F
Summer Wet Bulb	78°F
Summer Indoor	75°F
Summer Design Grains	50%
Winter Outdoor	47°F
Winter Indoor	70°F
Sensible Cooling	18,909 Btuh
Latent Cooling	4,103 Btuh
Required Cooling Airflow	860 CFM
Sensible Heating	15,118 Btuh
Required Heating Airflow	196 CFM

All calculations are based upon approved hvac industry standards and procedures, and comply with all local, state and federal code requirements. All computed results are Estimates. Product provided by Energy Design Systems and Idea Tree



# SALES FACT SHEET

## 14AJM- SERIES

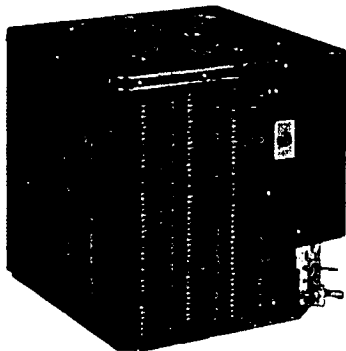
Efficiencies up to 16 SEER/13 EER

Nominal Sizes 1 1/2-5 Ton

[5.28 to 17.6 kW]

Cooling Capacities 17.3 to 60.5 kBTU

[5.7 to 17.7 kW]



## Rheem Value Series™ Air Conditioners

### Features:

- Outdoor air conditioner designed for ground level or rooftop installations. These units offer comfort and dependability for single, multi-family and light commercial applications.
- Painted louvered steel cabinet
- Easily accessible control box
- Condenser coils constructed with copper tubing and enhanced aluminum fins
- Grille/Motor mount for quiet fan operation
- Filter Drier (shipped – not installed)

### GENERAL TERMS OF LIMITED WARRANTY\*

Rheem will furnish a replacement for any part of this product which fails in normal use and service within the applicable period stated, in accordance with the terms of the limited warranty.

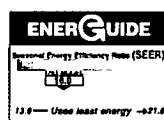
Conditional Parts

(Registration Required).....Ten (10) Years

\*For complete details of the Limited and Conditional Warranties, including applicable terms and conditions, contact your local contractor or the Manufacturer for a copy of the product warranty certificate.

Model 14AJM	Nominal Cooling Capacity	Voltage	Phase	Width "W" Inches [mm]	Length "L" Inches [mm]	Height "H" Inches [mm]	Service Valve - Liquid	Service Valve - Suction	Shipping Lbs. [kg]
19	18,000	208/230	1	27 <sup>5</sup> / <sub>8</sub> [702]	27 <sup>5</sup> / <sub>8</sub> [702]	24 <sup>1</sup> / <sub>4</sub> [616]	3/8"	3/4"	157 [71.2]
25	24,000	208/230	1	27 <sup>5</sup> / <sub>8</sub> [702]	27 <sup>5</sup> / <sub>8</sub> [702]	24 <sup>1</sup> / <sub>4</sub> [616]	3/8"	3/4"	171 [77.6]
30	30,000	208/230	1	31 <sup>5</sup> / <sub>8</sub> [803]	31 <sup>5</sup> / <sub>8</sub> [803]	27 <sup>3</sup> / <sub>8</sub> [695]	3/8"	3/4"	175 [79.4]
36	36,000	208/230	1	31 <sup>5</sup> / <sub>8</sub> [803]	31 <sup>5</sup> / <sub>8</sub> [803]	35 <sup>3</sup> / <sub>8</sub> [899]	3/8"	3/4"	201 [91.2]
42	42,000	208/230	1	31 <sup>5</sup> / <sub>8</sub> [803]	31 <sup>5</sup> / <sub>8</sub> [803]	35 <sup>3</sup> / <sub>8</sub> [899]	3/8"	3/4"	225 [102]
48	48,000	208/230	1	31 <sup>5</sup> / <sub>8</sub> [803]	31 <sup>5</sup> / <sub>8</sub> [803]	35 <sup>3</sup> / <sub>8</sub> [899]	3/8"	7/8"	269 [122]
49	47,000	208/230	1	31 <sup>5</sup> / <sub>8</sub> [803]	31 <sup>5</sup> / <sub>8</sub> [803]	35 <sup>3</sup> / <sub>8</sub> [899]	3/8"	7/8"	269 [122]
56	54,000	208/230	1	31 <sup>5</sup> / <sub>8</sub> [803]	31 <sup>5</sup> / <sub>8</sub> [803]	35 <sup>3</sup> / <sub>8</sub> [899]	3/8"	7/8"	274 [124.3]
60	60,000	208/230	1	31 <sup>5</sup> / <sub>8</sub> [803]	31 <sup>5</sup> / <sub>8</sub> [803]	35 <sup>3</sup> / <sub>8</sub> [899]	3/8"	7/8"	274 [124.3]

[ ] Designates Metric Conversions



\*Proper sizing and installation of equipment is critical to achieve optimal performance. Ask your Contractor for details or visit [www.energystar.gov](http://www.energystar.gov).\*



# SALES FACT SHEET



## RBHP- AIR HANDLERS

- Models featuring R-22 Refrigerant
- Models featuring Earth-Friendly R-410A Refrigerant
- Models featuring Electric Heat without Indoor Cooling Coil

### Features

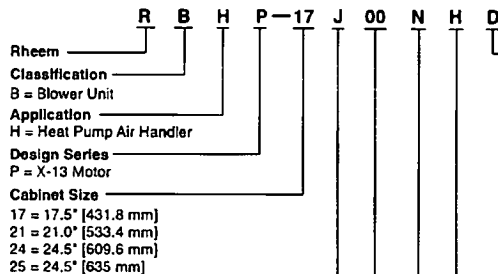
- Quiet and efficient X-13 motor technology
- Only 35" tall and 4-way convertible for all those tight spaces
- Available from factory in upflow and horizontal configurations
- Nominal airflow up to 0.5" external static pressure with reduced airflow up to 1.0" external static pressure
- Factory installed MultiFlex® coils
- Sturdy double wall construction with .5 inch [12.7 mm] of foil faced insulation for excellent sound and insulating characteristics
- Permanent, easily accessible and washable filter furnished standard
- Circuit breaker (standard on units with more than 11 kW) meets U.L. and cUL requirements for service disconnect
- Factory installed auxiliary electric heat provides exact heat for indoor comfort over a variety of applications
- Watt restrictors, standard on RBHP-17 models above 6 kW and on RBHP-21, RBHP-24 and RBHP-25 models above 11 kW, stage supplemental heat so that only the necessary amount is engaged to maintain comfort in the conditioned space
- Fan settings for selectable, customized cooling airflow over a wide variety of applications

### GENERAL TERMS OF LIMITED WARRANTY

Rheem\* will furnish a replacement for any part of this product which fails in normal use and service within the applicable period stated, in accordance with the terms of the limited warranty.

Indoor Coils leaks caused by factory defects ..... Five (5) Years  
 Electric Heating Element ..... Five (5) Years  
 Any Other Part ..... Five (5) Years

For Complete Details of the Limited Warranty, Including Applicable Terms & Conditions, See Your Local Installer or Contact the Manufacturer for a Copy.



Coil Code	Refrigerant Type	Cabinet Width			
		17	21	24	25
D	R-22	RCHJ-24A1GH17	RCHJ-36A1GH21	RCHJ-48A1GH24	
E	R-22				RCHJ-60A1GH24
1	R-410A	RCHL-24A2GH17			
2	R-410A		RCHL-36A1GH21		
4	R-410A			RCHL-48A1GH24	
7	R-410A				RCHL-60A1GH24

**Available Models featuring R-22 Refrigerant**

RBHP-17A00NH0
RBHP-17J06SHD
RBHP-17J07SHD
RBHP-17J17SHD
RBHP-17J17SHD
RBHP-21A00NH0
RBHP-21J06SHD
RBHP-21J07SHD
RBHP-21J11SHD
RBHP-21J14SHD
RBHP-24A00NH0
RBHP-24J06SHD
RBHP-24J07SHD
RBHP-24J11SHD
RBHP-24J14SHD
RBHP-24J18SHD
RBHP-25A00NHE
RBHP-25J11SHE
RBHP-25J14SHE
RBHP-25J18SHE
RBHP-25J21SHE

**Available Models featuring R-410A Refrigerant**

RBHP-17A00NH1
RBHP-17J06SH1
RBHP-17J07SH1
RBHP-17J11SH1
RBHP-21A00NH2
RBHP-21J06SH2
RBHP-21J07SH2
RBHP-21J11SH2
RBHP-21J14SH2
RBHP-24A00NH4
RBHP-24J06SH4
RBHP-24J07SH4
RBHP-24J11SH4
RBHP-24J14SH4
RBHP-24J18SH4
RBHP-25A00NH7
RBHP-25J11SH7
RBHP-25J14SH7
RBHP-25J18SH7
RBHP-25J21SH7

**Available Models (without coils)**

RBHP-17J11SHA
RBHP-21J14SHA
RBHP-24J18SHA
RBHP-25J21SHA

**Airflow**  
Horizontal Multi-Position

**Control**  
N = No Circuit Protection (Single Circuit)  
S = Circuit Breaker (Single Circuit)

**Electric Heat**  
00 = No Heat      14 = 14.0 kW  
06 = 4.9 kW      18 = 17.5 kW  
07 = 7.0 kW      21 = 21.0 kW  
11 = 10.0 kW

**Voltage**  
A = 115V-1-60  
J = 208/240V-1-60

<b>Price</b>	Starting at: \$
--------------	-----------------







# Certificate of Product Ratings

AHRI Certified Reference Number: 3412296

Date: 10/2/2012

Product: Split System: Air-Cooled Condensing Unit, Coil with Blower

Outdoor Unit Model Number: 14AJM24

Indoor Unit Model Number: RBHP-17+RCHL-24A2

Manufacturer: RHEEM MANUFACTURING COMPANY

Trade/Brand name: RHEEM 14AJM SERIES

Manufacturer responsible for the rating of this system combination is RHEEM MANUFACTURING COMPANY

Rated as follows in accordance with AHRI Standard 210/240-2008 for Unitary Air-Conditioning and Air-Source Heat Pump Equipment and subject to verification of rating accuracy by AHRI-sponsored, independent, third party testing:

Cooling Capacity (Btuh):	23400
EER Rating (Cooling):	12.50
SEER Rating (Cooling):	15.00

\* Ratings followed by an asterisk (\*) indicate a voluntary rerate of previously published data, unless accompanied with a WAS, which indicates an involuntary rerate.

#### DISCLAIMER

AHRI does not endorse the product(s) listed on this Certificate and makes no representations, warranties or guarantees as to, and assumes no responsibility for, the product(s) listed on this Certificate. AHRI expressly disclaims all liability for damages of any kind arising out of the use or performance of the product(s), or the unauthorized alteration of data listed on this Certificate. Certified ratings are valid only for models and configurations listed in the directory at [www.ahridirectory.org](http://www.ahridirectory.org).

#### TERMS AND CONDITIONS

This Certificate and its contents are proprietary products of AHRI. This Certificate shall only be used for individual, personal and confidential reference purposes. The contents of this Certificate may not, in whole or in part, be reproduced; copied; disseminated; entered into a computer database; or otherwise utilized, in any form or manner or by any means, except for the user's individual, personal and confidential reference.

#### CERTIFICATE VERIFICATION

The information for the model cited on this certificate can be verified at [www.ahridirectory.org](http://www.ahridirectory.org), click on "Verify Certificate" link and enter the AHRI Certified Reference Number and the date on which the certificate was issued, which is listed above, and the Certificate No., which is listed below.



Air-Conditioning, Heating,  
and Refrigeration Institute

©2012 Air-Conditioning, Heating, and Refrigeration Institute

CERTIFICATE NO.: 129936572377951323

# THE METAL SHOP

Custom Metal Manufacturer

## ANCHOR CLIPS Installer's Guide

Consulting Engineer:

Douglas W. Lowe, P.E.  
FLA# 13355  
1206 Millenium Parkway  
Brandon, FL. 33511

*Douglas W. Lowe*  
6/19/09

**WARNING: HAZARDOUS VOLTAGE - DISCONNECT POWER BEFORE SERVICING**

### PART NUMBER

#771 (4 pk)  
#772 (100 box)  
#770 (4 pk including hardware)

### CONSTRUCTION

16 gauge galvanized steel. G-90 rated for corrosion coastal applications.

### PACKAGING DETAILS

All anchor clips are supplied as per package quantities described above.

### INSTALLATION

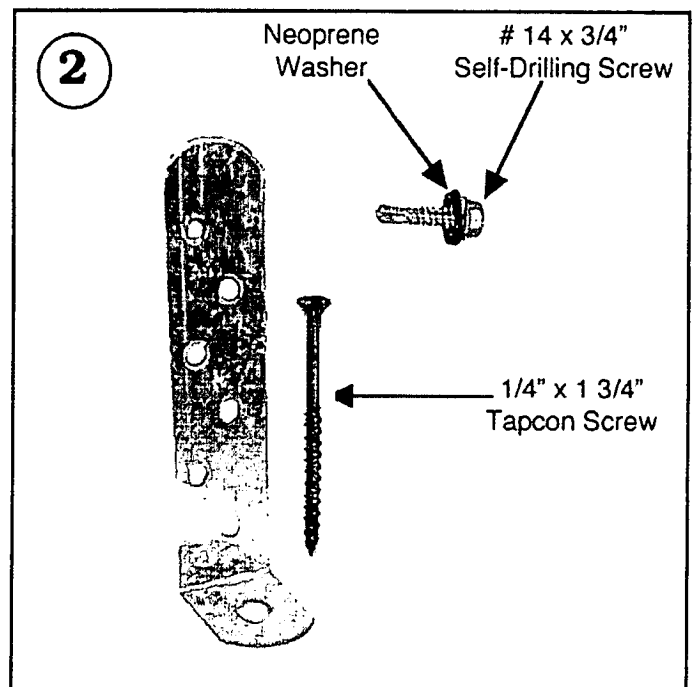
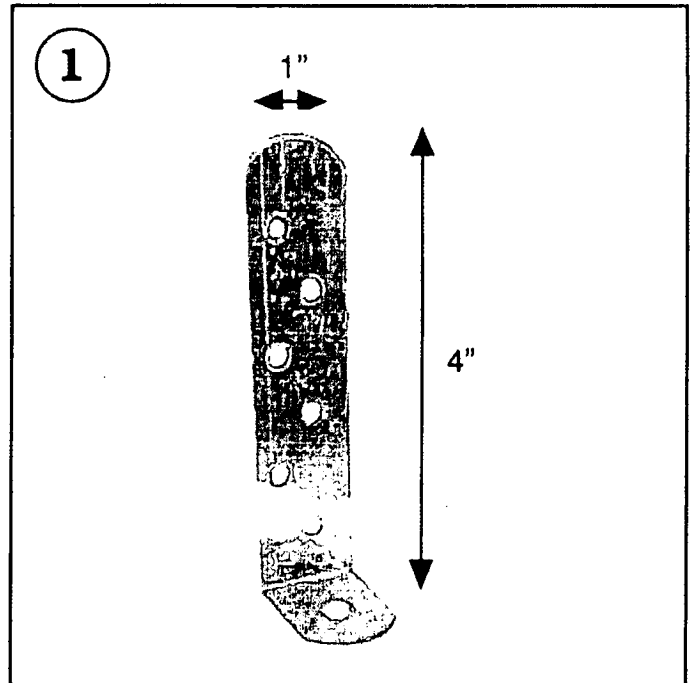
Minimum of 4 clips required per condenser unit.  
Minimum of 2 #14 x 3/4" screws with neoprene washer required to fasten clip to condenser unit.  
1/4" x 1 3/4" Tapcon screw required to fasten clip to condenser pad.  
Locate the anchor clips to fit comfortably between condenser unit and pad.  
Adjust clip accordingly to fit on condenser unit and screw together, at the same time ensuring that the base of the clip is still in contact with the pad.  
All hardware must be fastened prior to connecting refrigerant lines and electrical power to the unit.  
Suitable for ground mounted units.  
Anchor clip design meets requirements of The Florida Building Code 2007 (Building) chapter 301.12 for wind resistance up to 140 MPH.

### FEATURES

The use of "sized to fit" screw holes compared to slots means that security is never compromised. A tight, secure fit between pad and condenser ensures security for the condenser and offers great assurance during extreme weather conditions.

### NOTE

Above installation instruction suitable for up to 5 ton units.







TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel: 772-287-2455 Fax 772-220-4765

**FLORIDA ENERGY CONSERVATION CODE**

**Mandatory Duct Inspection Certification for HVAC change-out**

For use when part of the duct and/or HVAC system has been replaced (Section 101.4.7.1.1 & FS 553.912)

Owner: Bo Demorest Contractor name: Sharkey Air, LLC

Street address: 92 S. River Rd. Jurisdiction: Town of Sewall's Point

City: Stuart, FL Permit No.: \_\_\_\_\_

Zip: 34996 Final inspection date: \_\_\_\_\_

I certify that I have inspected the duct work associated with the HVAC unit referenced by the permit listed above and found it complies with the requirements of Section 101.4.7.1.1 as indicated below:

\_\_\_\_ Where needed, the existing ducts have been sealed using reinforced mastic or code-approved equivalent.

\_\_\_\_ Ducts are located within conditioned space. (Section 101.4.7.1.1 exception 1)

The joints or seams are already sealed with fabric and mastic (Section 101.4.7.1.1 exception 2)

\_\_\_\_ System was tested (see below) and repairs were made as necessary – (Section 101.4.7.1.1 exception 3)

Signature: Kevin M. Sharkey Date: 10-2-12

Printed Name: Kevin M. Sharkey

Contractor License #: CAC1816853

I certified I have tested the replaced air distribution system(s) referenced by the permit listed above at a pressure differential of 25 Pascals (0.10 in. w.c.).

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Printed Name: \_\_\_\_\_

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri **4-9-13** Page **1** of **1**

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>10315</del>	<del>Kennedy</del> <del>111 N Sewalls</del> <del>Sharkey Air</del>	<del>Final</del> <del>AC</del>		<del>reschedule for Friday</del> INSPECTOR
<del>10316</del>	<del>Demouret</del> <del>92 S River</del> <del>Sharkey Air</del>	<del>Final</del> <del>AC</del>	<del>Pass</del>	<del>Done</del> INSPECTOR
10389	Bailey 7 Perrawinkle AG Environmental	sub-siding	Pass	INSPECTOR
10027	Gourdis 27 S River Rd Team Parks	tile in-progress	Pass	INSPECTOR
	Sharfi 73 N Sewalls	water tanks / shed	PRE CON	INSPECTOR
		investigate debris, vegetation	OK	Will send letter INSPECTOR
10337	Robinson 173 S River Emil LaVola	WALL & COLUMNS	Pass	INSPECTOR

**CRARY, BUCHANAN, BOWDISH, BOVIE, LORD, ROBY & EVANS**

CHARTERED

ATTORNEYS AT LAW

---

EVANS CRARY (1905-1968)  
EVANS CRARY, JR.  
WILLIAM F. CRARY  
LARRY E. BUCHANAN  
JAMES L. S. BOWDISH  
GEORGE F. BOVIE, III  
LAWRENCE EVANS CRARY III

REPLY TO :  
POST OFFICE DRAWER 24  
STUART, FLORIDA 34995 - 0024  
555 COLORADO AVENUE  
STUART, FLORIDA 34994  
TELEPHONE (407) 287-2600  
FAX (407) 287-0115

WILLIAM F. CRARY II  
ROBERT L. LORD, JR.  
WILLIAM L. ROBY  
M. LEVERING EVANS  
R. MICHAEL CRARY  
LEIGH A. WILLIAMS  
STEVEN D. BERES

July 13, 1993

Board of Zoning Adjustment  
Town of Sewall's Point  
1 Sewall's Point Road  
Sewall's Point, Florida 34996


Re: Scott H. Hoffman - Variance

Dear Zoning Officials:

Enclosed is an application for variance executed by my client, Scott H. Hoffman together with 9 copies. Please let me know if you have any further requirements.

We would like to have a hearing date at the earliest convenience of the Board. Please let me know what date can be scheduled so I can take care of the 300 ft. notices.

Sincerely,



William F. Crary, II

WFCII/ktg

BZA Variance 93-8

*The Law Offices of*

**DOUGLAS K. SANDS, P. A.**

General Practice of Law  
Certified Court Mediator  
County • Circuit • Family  
Certified Court Arbitrator

300 Colorado Ave., Stuart, Florida  
P.O. Box 287, Stuart, FL 34995  
Telephone (407) 287-3930  
Fax (407) 287-3931

July 28, 1993

MEMORANDUM

TO: JOAN BARROW, CLERK, TOWN OF SEWALL'S POINT

FROM: BOARD OF ZONING ADJUSTMENT ATTORNEY

RE: (1) Variance application - Nordgren  
(2) Variance application - Hoffman

The hearings on the above applications have been scheduled for THURSDAY evening, August 19, 1993, beginning at 7:30 P.M. at Town Hall.

Enclosed is a a copy of the Notice and letter which was forwarded to the Stuart News for publication, and my memorandum to the Members and Alternates of the Board of Zoning Adjustment.

Please have the property and town hall bulletin board posted with notice of the public hearings no later than Tuesday, August 3, 1993.

Please also prepare the Agenda as per the Notice enclosed.

Thank you for your continuing cooperation. Please let me know if you need anything further at this point.

DKS/sd  
enclosures

The Law Offices of

DOUGLAS K. SANDS, P. A.

General Practice of Law  
Certified Court Mediator  
County • Circuit • Family  
Certified Court Arbitrator

300 Colorado Ave., Stuart, Florida  
P.O. Box 287, Stuart, FL 34995  
Telephone (407) 287-3930  
Fax (407) 287-3931

July 28, 1993

MEMORANDUM

TO: MEMBERS AND ALTERNATES OF THE SEWALL'S POINT BOARD  
OF ZONING ADJUSTMENT

FROM: BOARD OF ZONING ADJUSTMENT ATTORNEY

RE: (1) Variance Application of Mr/Mrs. Nordgren  
(2) Variance Application of Mr. Hoffman

HEARING DATE: THURSDAY, AUGUST 19, 1993, 7:30 P.M.

A copy of the application package submitted by each applicant is enclosed, as is a copy of the Notice of Public Hearing to be published in the Stuart News.

I understand the following members and alternates are available for the evening of August 19th:

Mr. Connolly  
Mr. Guenther

Mr. Gabrynowicz  
Mr. Houtrides

Mr. Glover  
Mr. Hammock

The new rules of procedure of the BZA require the applicant to submit a list of property owners within the notification zone of 300 feet. Those lists are enclosed. Please note that on the Hoffman list, Mr Connolly and Mr. Hammock are listed. On the Nordgren list, Mr. Glover is listed. The presence of your name on the list does not, by itself, disqualify you to serve on the panel, nor does it create a conflict of interest. The Town Code provides four distinct methods of notifying residents of variance applications: publication in the newspaper; posting on the property; posting at town hall; and direct mail notice to those within 300 feet of the property. Only if a member feels that he or she has an interest in the outcome of these cases and cannot review the applications impartially would a conflict of interest arise, which is the standard whether or not your name appears on the notification list.

Please call me if you have any questions.

DKS/sd  
Enclosures  
Copy w/ encl: Town Clerk



*The Law Offices of*  
**DOUGLAS K. SANDS, P. A.**

General Practice of Law  
Certified Court Mediator  
County • Circuit • Family  
Certified Court Arbitrator

300 Colorado Ave., Stuart, Florida  
P.O. Box 287, Stuart, FL 34995  
Telephone (407) 287-3930  
Fax (407) 287-3931

July 28, 1993

The Stuart News  
Classified Section  
1939 S.E. Federal Hwy.  
Stuart, Florida 34994

By Hand Delivery

RE: Sewall's Point Board of Zoning Adjustment:  
Notice of Hearing

Dear Sir/Madam:


Enclosed please find the original Notice of Public Hearing and one copy. Please publish the enclosed Notice in the legal advertisements of the Stuart News and return a proof of publication to this office with the date of publication on it. I have enclosed a self-addressed, stamped envelope for this purpose.

Please publish one time on August 2, 1993.

The Invoice should be sent to Joan Barrow, Town Clerk, Sewall's Point Town Hall, One S. Sewall's Point Road, Sewall's Point, Stuart, Florida 34996.

Thank you for your cooperation.

Sincerely,

  
Douglas K. Sands, Attorney for the  
Sewall's Point Board of Zoning  
Adjustment

DKS/sd  
enclosure  
Copy to: Town Clerk

NOTICE OF PUBLIC HEARING

Town of Sewall's Point  
Board of Zoning Adjustment

TO THE PUBLIC AND ALL OTHERS WHOM IT MAY CONCERN: You are notified that on THURSDAY AUGUST 19, 1993 at 7:30 P.M., at the SEWALL'S POINT TOWN HALL, One South Sewall's Point Road, Sewall's Point, Florida, a Meeting and Public Hearing will be held before the BOARD OF ZONING ADJUSTMENT for the following purposes:

1. Public Hearing on the application of Mr/Mrs GUSTAF O. NORDGREN seeking a Variance from the side lot setback requirements of the Sewall's Point Town Code, Appendix B, Section VI, Paragraph G.2, for an existing house at 21 Riverview Drive, Sewall's Point, Florida. The property is also described as follows:

Lot 14, RIVERVIEW SUBDIVISION, according to the Plat thereof recorded in Plat Book 6, Page 86, Martin County, Florida Public Records.

2. Public Hearing on the application of Mr. SCOTT H. HOFFMAN, seeking a Variance from the (a) front, (b) side, and (c) rear lot setback requirements of the Sewall's Point Town Code, Appendix B, Section VI, Paragraphs G.1, G.2, and G.3, for an existing house at 92 South River Road, Sewall's Point, Florida. The property is also described as follows:

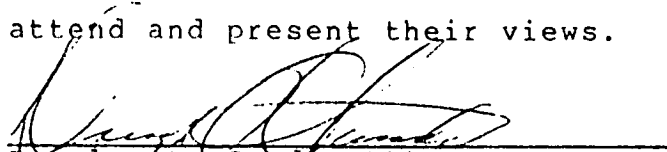
Lot 75, of RIO VISTA SUBDIVISION, according to the Plat thereof recorded in Plat Book 6, Page 95, Martin County, Florida Public Records.

Written comments may be sent to the Board of Zoning Adjustment, One South Sewall's Point Road, Sewall's Point, Stuart, Florida 34996.

The Public is invited to attend and present their views.

Publish:

August 2, 1993

  
\_\_\_\_\_  
Douglas K. Sands, Attorney  
For Board of Zoning Adjustment  
Town of Sewall's Point, Florida



# The Stuart News and The Port St. Lucie News

(an edition of The Stuart News)

STATE OF FLORIDA  
COUNTY OF MARTIN: COUNTY OF ST. LUCIE:

Before the undersigned authority appeared Kathleen N. Pritchard who on oath says that he/she Accounts Receivable Manager of The Stuart News, and The Port St. Lucie News, a daily newspaper Published at Stuart in Martin County, Florida, that the attached copy of advertisement, being a \_\_\_\_\_

NOTICE OF PUBLIC HEARING

in the matter of TOWN OF SEWALL'S POINT BOARD OF ZONING ADJUSTMENT GUSTAF O. NORDGREN

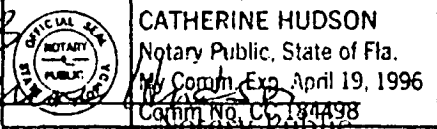
in the \_\_\_\_\_ Court, was Published in The Stuart News and The Port St. Lucie News in the issues of \_\_\_\_\_  
AUGUST 2, 1993

Affiant further says that the said The Stuart News and The Port St. Lucie News is a newspaper published at Stuart, in said Martin County, Florida with offices and paid circulation in Martin County, Florida, and St. Lucie County, Florida and that the said newspapers have heretofore been continuously published in said Martin County, Florida and distributed in Martin County, Florida and St. Lucie County, Florida, for a period of one year next preceding the first publication of the attached copy of advertisement; and affiant further says that he/she has neither paid nor promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper. The Stuart News has been entered as second class matter at the post office in Stuart, Martin County, Florida, and Ft. Pierce, St. Lucie County, Florida and has been for a period of one year next preceding the first publication of the attached copy of advertisement.

Kathleen Pritchard

Sworn to and subscribed before me

this 9th day of August

A.D. 19 93  
Catherine Hudson  
(Seal)  CATHERINE HUDSON  
Notary Public, State of Fla.  
My Comm. Exp. April 19, 1996  
Conf. No. CG 184498  
Notary Public

Town Of Sewall's Point  
NOTICE OF PUBLIC HEARING  
Town of Sewall's Point  
Board of Zoning Adjustment  
TO THE PUBLIC AND ALL OTHERS WHOM IT MAY CONCERN:  
You are notified that on THURSDAY, AUGUST 19, 1993 at 7:30 P.M., at the SEWALL'S POINT TOWN HALL, One South Sewall's Point Road, Sewall's Point, Florida, a Meeting and Public Hearing will be held before the BOARD OF ZONING ADJUSTMENT for the following purposes:

1. Public Hearing on the application of Mr/Mrs GUSTAF O. NORDGREN seeking a Variance from the side lot setback requirements of the Sewall's Point Town Code, Appendix B, Section VI, Paragraph G.2, for an existing house at 21 Riverview Drive, Sewall's Point, Florida. The property is also described as follows:  
Lot 14, RIVERVIEW SUBDIVISION, according to the Plat thereof recorded in Plat Book 6, Page 86, Martin County, Florida Public Records.
2. Public Hearing on the application of Mr. SCOTT H. HOFFMAN, seeking a Variance from the, (a) front, (b) side, and (c) rear lot setback requirements of the Sewall's Point Town Code, Appendix B, Section VI, Paragraphs G.1, G.2, and G.3, for an existing house at 92 South River Road, Sewall's Point, Florida. The property is also described as follows:  
Lot 75, of RIO VISTA SUBDIVISION, according to the Plat thereof recorded in Plat Book 6, Page 95, Martin County, Florida Public Records.

Written comments may be sent to the Board of Zoning Adjustment, One South Sewall's Point Road, Sewall's Point, Stuart, Florida, 34996.  
The Public is invited to attend and present their views.  
Douglas K. Shands, Attorney  
For Board of Zoning Adjustment  
Town of Sewall's Point, Florida  
Pub. Aug. 2, 1993

*The Law Offices of*  
**DOUGLAS K. SANDS, P. A.**

General Practice of Law  
Certified Court Mediator  
County • Circuit • Family  
Certified Court Arbitrator

300 Colorado Ave., Stuart, Florida  
P.O. Box 287, Stuart, FL 34995  
Telephone (407) 287-3930  
Fax (407) 287-3931

July 28, 1993

William F. Crary, II, Esq.  
P.O. Drawer 24  
Stuart, Florida 34995-0024

Re: Hoffman Variance application - Town of Sewall's Point  
Hearing date: Thursday August 19, 1993  
Time: 7:30 P.M.  
Place: Sewall's Point Town Hall

Dear Rick:

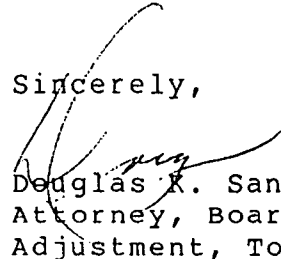
This will confirm the above hearing date.

A copy of the Notice of Public Hearing to be published in the Stuart News is enclosed.

This matter will be second on the agenda.

Please let me know if you have any questions or if I can be of further assistance.

Sincerely,

  
Douglas K. Sands  
Attorney, Board of Zoning  
Adjustment, Town of Sewall's  
Point, Florida

DKS/sd  
Encl.

Copy to: Town Clerk  
Board Members and Alternates

DOCUMENT ENCLOSURE

Date: July 29, 1993

Re: Hoffman Request for Variance

Enclosed please find:

Courtesy copy of Letter to Property Owners within 300 feet.

---

---

- Please review and respond.
- Please sign and return.
- Please retain for your file.

From: Betty Jean ("B.J.") Dees, CLA  
CRARY, BUCHANAN, BOWDISH, BOVIE,  
LORD, ROBY & EVANS, CHARTERED  
Attorneys at Law  
Post Office Drawer 24  
Stuart, Florida 34995-0024  
(407) 287-2600

TO: Douglas K. Sands, Esquire  
Post Office Box 287  
Stuart, Florida 34995

# CRARY, BUCHANAN, BOWDISH, BOVIE, LORD, ROBY & EVANS

CHARTERED

ATTORNEYS AT LAW

---

EVANS CRARY (1905-1968)  
EVANS CRARY, JR.  
WILLIAM F. CRARY  
LARRY E. BUCHANAN  
JAMES L. S. BOWDISH  
GEORGE F. BOVIE, III  
LAWRENCE EVANS CRARY III

REPLY TO :  
POST OFFICE DRAWER 24  
STUART, FLORIDA 34995-0024  
555 COLORADO AVENUE  
STUART, FLORIDA 34994  
TELEPHONE (407) 287-2600  
FAX (407) 287-0115

WILLIAM F. CRARY II  
ROBERT L. LORD, JR.  
WILLIAM L. ROBY,  
M. LEVERING EVANS  
R. MICHAEL CRARY  
LEIGH A. WILLIAMS  
STEVEN D. BERES

July 30, 1993

Regis M. & Ethel M. Vasko  
98 S. River Rd.  
Stuart, FL 34996-6432

COPY

Certified Mail/Return Receipt Requested

Re: Lot 75, Rio Vista Subdivision, according to map of Plat Book 6, Page 95, Section 12, Township 38 South, Range 41 East, of the public records of Martin County, Florida, located at 92 South River Road, Sewall's Point, Florida (See attached location map)

Dear Property Owner:


Please be advised that as owners of property within 300 feet of the above-described property, you are hereby, in accordance with the provisions of the Town Code of Sewall's Point, put on notice that a public hearing will be held at 7:30 PM or as soon thereafter as the matter may be heard, on the 19th day of August, 1993, at the Sewall's Point Town Hall, by the Sewall's Point Board of Zoning Adjustment to consider the matter of a variance to the existing zoning requirements according to the Sewall's Point Town Code, Appendix B, Section VI, Paragraph G.1, G.2 and G.3.

A copy of the Statement of Benefits which has been submitted to the Board of Zoning Adjustment is enclosed.

This application is being made to the Board of Zoning Adjustment in order to allow a variance of front, side and rear setbacks to permit a front setback of 33.36 feet instead of 35 feet; a side setback on the north side of 14.93 feet instead of 15 feet; and a rear setback of 22.93 feet instead of 25 feet (see attached drawing depicting existing setbacks).

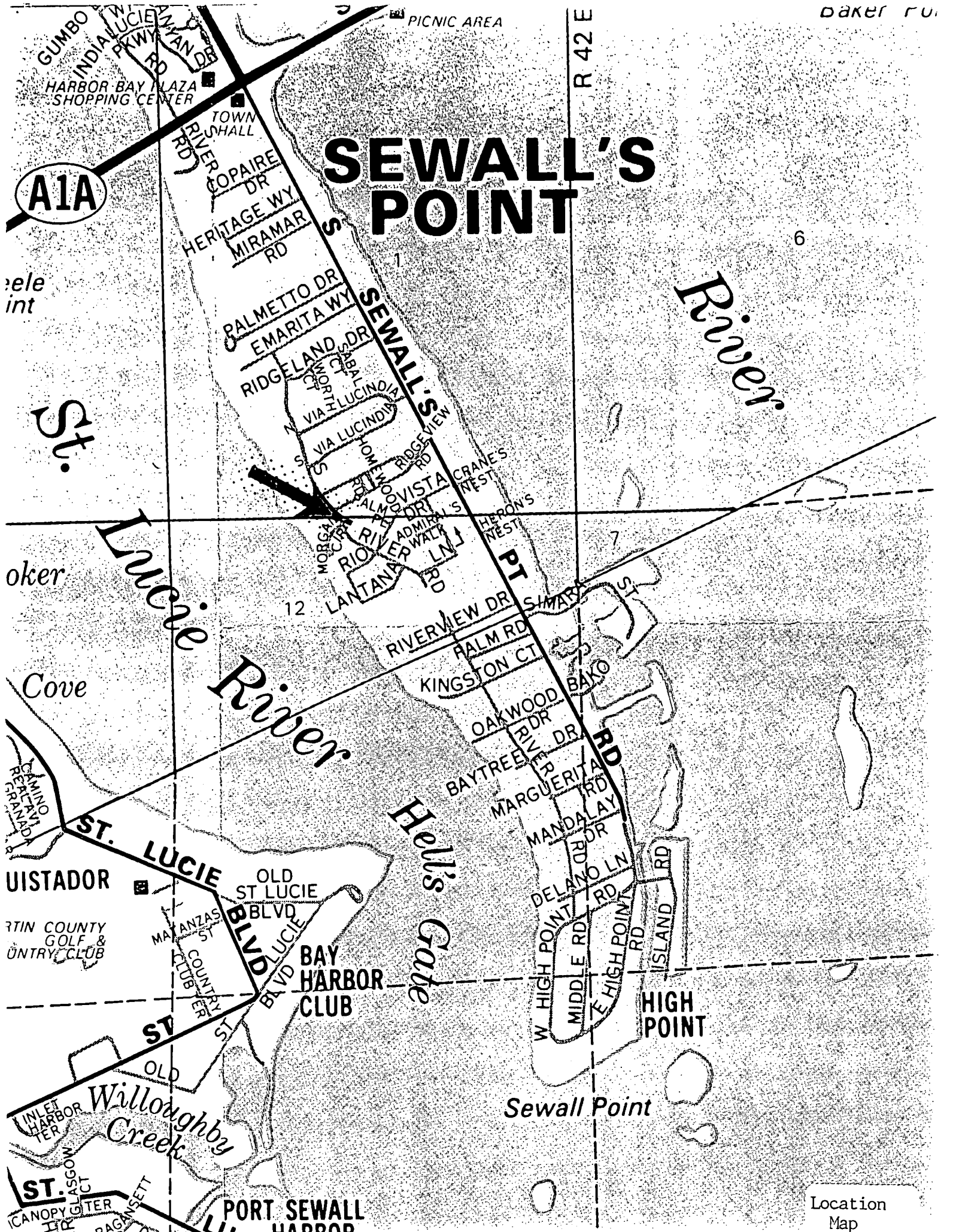
You are invited to attend and be heard or to write in care of the Sewall's Point Board of Adjustment, 1 South Sewall's Point Road, Stuart, Florida 34996.

Sincerely,

  
William F. Crary II, Esquire  
Attorney for Applicant

Enclosures:      Location Map  
                      Statement of Benefits  
                      Drawing of Existing Setbacks

# SEWALL'S POINT



Location Map

## STATEMENT OF BENEFITS

The applicant and his former wife bought a home in Sewall's Point in 1985. At that time the home that they purchased at 92 South River Road had the same setbacks that it has today. Until recently the applicant was unaware that the existing setbacks for his house do not comply with the Town's requirements.

During the eight years that Mr. Hoffman has owned the house, neither town officials nor neighbors have made any complaints about the front, side or rear measurements of his home. Apparently, no such complaints have ever been made. It was not until Mr. Hoffman was preparing to sell his home that he became aware of the nonconformity.

Lot 75, Rio Vista is slightly over 18,000 square feet in size. A review of the town's records indicated that in the late 1970's the prior owner who built the house on the lot intended to comply with the then-existing setback requirements of 35 feet in the front; 15 feet on the sides; and 25 feet in the rear. The structure was approved as such. At this point, it can only be inferred that when stakes for the structure were placed on the property, mistakes were made.

It should be pointed out that most of the front of the structure complies with the required setback. It is only the southwest corner of the side-load garage which juts a little over 1 and 1/2 feet into the setback area. Likewise, only a small triangular portion of the pool deck in the rear extends up to slightly over 2 feet into the rear setback zone. The deck on the north side is less than an inch under the 15 foot requirement.

The lot has an unusual shape. The front line curves with the road and the south side line angles northward into a much narrower rear line. These dimensions give the lot an almost pie-shaped appearance. It seems understandable that whoever staked out the building could have miscalculated his position. To the naked eye, no violations are apparent.

Special conditions and circumstances exist concerning the property with regard to its shape and the positioning of a long standing structure. Mr. Hoffman did not cause the special conditions or circumstances. He was merely a purchaser of an existing approved structure.

The applicant is not seeking any special privileges. He simply wishes to clarify that the existing location of his home will not pose a problem for future purchasers. The home has stood in harmony with neighboring houses for nearly 15 years. To require removal of the minor encroachments would damage the home aesthetically and unnecessarily.



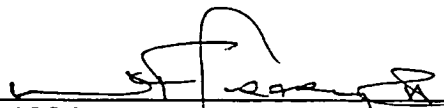
A literal interpretation would work an unnecessary hardship upon the applicant, especially if it were deemed that a portion of the structure would have to be removed. Such a finding would operate to punish one who did not cause or intend to create a setback encroachment. It might also discourage others from disclosing similar violations. It would also injure the general appearance of the house.

The variance sought is the minimum variance necessary to continue the reasonable use of the property. But for this voluntarily filed petition for variance, in all probability, the minor setback encroachments would pass unnoticed for as long as the structure stands. It poses no threat of injury to the area and is not detrimental to the public health, safety or welfare.

Granting the variance will be beneficial to the community. It will avoid devaluation of the structure and reduction of its tax basis. It will prevent undue punishment of one who is not culpable and will encourage persons in similar situations to come forward to correct errors. It will also render a structure, which has stood in harmony with its neighborhood for 15 years, in conformity with the law.

The applicant respectfully requests a variance which recognizes his home's existing setbacks. As shown on the survey prepared by Stephen J. Brown, Inc. Those setbacks are 33.36 feet in the front; 29.93 feet in the rear; and 14.93 feet on the north side.

Attorney For the Applicant

  
\_\_\_\_\_  
William F. Crary II  
Crary, Buchanan, Bowdish, Bovie,  
Lord, Roby & Evans, Chartered

ORGAN CIRCLE

N. 46° 18' 00" E.

RIVER ROAD  
SOUTH (50' R/W)

CURVED LENGTH = 145.79' (P)  
146.52' (F)

S. 43° 38' 55" E. (P) (C)

L = 114.29' (P) Δ = 35° 23' 47"

L = 113.55', Δ = 35° 0' 04" (P) (C)

FND N DISC  
(P.C.P.) 600

N. 27° 08' 17" W.

FND. 4"x4" C.M.  
N. 0° 02'  
W. 0° 89'

LOT 76

NORTH

10' UTILITY EASEMENT

10' UTILITY EASEMENT

FND 4"x4" C.M.  
600

L = 3.92' (P) (F)  
Δ = 01° 12' 51"

SET 1.8.

LOT 75

24.09'

2' WOOD WALL

CONC. SLAB

1 STORY WOOD FRAME RESIDENCE

WOOD DECK

POOL

25' SETBACK LINE

FND. 4"x4" C.M.  
N. 0° 55'  
E. 0° 07'

150.00' (P) (F)

N 30° 07' 03" W

73.7 P.K.  
(P.C.P.)  
S. 0° 40'  
E. 0° 43'

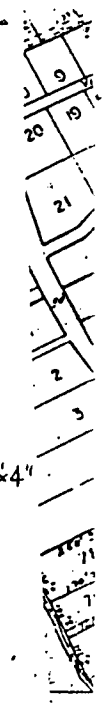
25.00' (P) (F)

N 26° 13' 00" E

FND 4"x4" C.M.  
N. 0° 20'  
E. 0° 13'

LOT 74

Existing Setbacks



Small's Hunt Road W. Woodmont  
1 S. Sewalls Park Road

Shaw, Pl. 54906

7/28/93

With reference to the variance requested  
for the proposed at 91 S Sewalls Road  
on Sewalls Park my daughter,  
Gayne Wynne Lane (owner of  
property at 91 S Sewalls Rd) has no  
objection to your granting/allowing  
the variance being requested.

Sincerely,  
(91 S Sewalls Rd) Wynne Lane

CHICAGO TITLE INSURANCE COMPANY

SEARCH NO.: A51562

CHICAGO TITLE INSURANCE COMPANY hereby certifies the following is a list of the owners of property and their address located within a 300 foot radius of the following described property according to the public records of Martin County, Florida.

LOT 75, RIO VISTA SUBDIVISION, according to the Plat thereof recorded in Plat Book 6, page 95, Martin County, Florida, public records.

RIO VISTA

Regis M. & Ethel M. Vasko 98 S. River Rd. Stuart, FL 34996-6432	Lot 48
Clara B. McDowell (Estate) 19 Rio Vista Dr. Stuart, FL 34996	Lot 49
James C. & Sharon J. Strait 17 Rio Vista Dr. Stuart, FL 34996-6420	Lot 50
Katherine M. McAbee 12161 Edgewater Dr. N Palm Beach, FL 33410	Lot 69
Carl L. Ahlers & Edgar F. Ahlers (Tr) 961 NE Zebrina Senda Jensen Beach. FL 34957	Lot 70 & Lot 71
Sally Reis Lalor 18 Rio Vista Dr. Stuart, FL 34996-6421	Lot 72
Robert & Marie Uhlyarik 2600 SE Ocean Blvd. Apt 7-11 Stuart, FL 34996-3480	Lot 73
Scott L. & Linda A. Kuhns 94 S. River Road Stuart, FL 34996-6449	Lot 74
Robert & Gayle R. Schneider 90 South River Road Stuart, FL 34996-6449	Lot 76
Nancy M. Smith 2 Morgan Circle Stuart, FL 34996-6412	Lot 77
Robert & Carolyn M. Bench 14 Nassau Ct. Somerville, NJ 08876-3603	Lot 78
June G. Harry 1627 Brickell Ave. #607 Miami, FL 33129	Lot 79
Richard C. & Miriam M. Harris 18 Ridgeview Road Stuart, FL 34996-6415	Lot 81

Michael M. & Maria F. Ruccolo 3101 Heather Court Jensen Beach, FL 34957-5073	Lot 101
Richard Hammock 25 Rio Vista Dr. Stuart, FL 34996-6423	Lot 102
David & Barbara A. VanHorn 1440 Dartmouth Dr. Bethlehem, PA 18017-9146	Lot 103
Marshal & Joan Wilcox 95 S. River Road Stuart, FK 34996	Lot 104
James & Linda R. McCann 93 S. River Road Stuart, FL 34996-6430	Lot 105
Jayne M. Slone 91 S. River Road Sewalls Point, Stuart, FL 34996-6430	Lot 106
June G. Harry 1627 Briclell Ave. Apt 607 Miami, FL 33129	Lot 107
H. David & Marjorie I. Kelso 26 Rio Vista Drive Stuart, FL 34996	Lot 108
<u>HOMEWOOD</u>	
John B. & Priscilla Pagano, Jr Phillip & Priscilla Potter 19 N. Ridgeview Road Stuart, FL 34996	Lot 2, Blk C
William D. & C J Connolly 23 N. Ridgeview Rd. Stuart, FL 34996-6416	Lot 3 Blk C
Frederik W. & Nicki B. VanVonn 15 S. Ridgeview Road Stuart, FL 34996	Lot 8 Blk E
Robert & Margaret Carell 17 S. Ridgeview Road Stuart, FL 34996	Lot 9 Blk E
Michael E & Christine E. Sweet 19 S. Ridgeview Road Stuart, FL 34996	Lot 10 Blk E
Alan S. & Jane B. Parmelee Mack Road Middlefield, CT 06455	Lot 11, Blk E
Thomas & Mary Nangle 23 South Ridgeview Road Stuart, FL 34996-6450	Lot 12, Blk E

Page 3

Philip L. & Francine Mendell  
85 S. River Road  
Stuart, FL 34996-6427

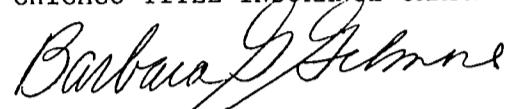
Lot 4 Blk F

Gertrude E. Neese  
Lockhart Realty  
2 N. Sewalls Point Rd.  
Stuart, FL 34996-6639

Lot 5 Blk F

Dated: June 30, 1993 at 8:00 a.m.

CHICAGO TITLE INSURANCE COMPANY



BY: BARBARA G. GILMORE

APPLICATION TO THE TOWN OF SEWALL'S POINT  
BOARD OF ZONING ADJUSTMENT

PLEASE TYPE OR PRINT

I, SCOTT H. HOFFMAN of 92 South River Road  
name of applicant address  
Stuart Florida 34996  
city state zip

do hereby make application to the Town of Sewall's Point Board of Zoning Adjustment on the following property in Sewall's Point, legally described as:

Lot 75, Block       , Subdivision Rio Vista according to map of Plat Book 6 Page 95, Section 12, Township 38 South, Range 41 East, of the public records of Martin County, Florida, or property otherwise described by metes and bounds. (Please include current street address) (long legal description may be attached separately.)

92 South River Road

for the purpose of Variance of Front, Side and Rear Setbacks as set forth in  
(indicate the specific section of Zoning Regulations, Zoning Resolution, Zoning Ordinance)

Sewall's Point Town Code, Appendix B, Section VI, Paragraph G.1, G.2, and G.3, to permit a front setback of 33.36 feet instead of 35 feet; a side setback on the north side of 14.93 feet instead of 15 feet and a rear setback of 22.93 feet instead of 25 feet.

Variances

To authorize upon appeal such variance from the terms of the zoning ordinance as will not be contrary to the public interest when, owing to special conditions, a literal enforcement of the provisions of the zoning ordinance would result in unnecessary and undue hardship.

In order to authorize a variance, an application must be submitted and a public hearing must be held which demonstrates to the satisfaction of the Board of Zoning Adjustment that the following six criteria, as contained in the Code of the Town of Sewall's Point, have been met:

1. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district.

2. That the special conditions and circumstances do not result from the actions of the applicant.

## STATEMENT OF BENEFITS

The applicant and his former wife bought a home in Sewall's Point in 1985. At that time the home that they purchased at 92 South River Road had the same setbacks that it has today. Until recently the applicant was unaware that the existing setbacks for his house do not comply with the Town's requirements.

During the eight years that Mr. Hoffman has owned the house, neither town officials nor neighbors have made any complaints about the front, side or rear measurements of his home. Apparently, no such complaints have ever been made. It was not until Mr. Hoffman was preparing to sell his home that he became aware of the nonconformity.

Lot 75, Rio Vista is slightly over 18,000 square feet in size. A review of the town's records indicated that in the late 1970's the prior owner who built the house on the lot intended to comply with the then-existing setback requirements of 35 feet in the front; 15 feet on the sides; and 25 feet in the rear. The structure was approved as such. At this point, it can only be inferred that when stakes for the structure were placed on the property, mistakes were made.

It should be pointed out that most of the front of the structure complies with the required setback. It is only the southwest corner of the side-load garage which juts a little over 1 and 1/2 feet into the setback area. Likewise, only a small triangular portion of the pool deck in the rear extends up to slightly over 2 feet into the rear setback zone. The deck on the north side is less than an inch under the 15 foot requirement.

The lot has an unusual shape. The front line curves with the road and the south side line angles northward into a much narrower rear line. These dimensions give the lot an almost pie-shaped appearance. It seems understandable that whoever staked out the building could have miscalculated his position. To the naked eye, no violations are apparent.

Special conditions and circumstances exist concerning the property with regard to its shape and the positioning of a long standing structure. Mr. Hoffman did not cause the special conditions or circumstances. He was merely a purchaser of an existing approved structure.

The applicant is not seeking any special privileges. He simply wishes to clarify that the existing location of his home will not pose a problem for future purchasers. The home has stood in harmony with neighboring houses for nearly 15 years. To require removal of the minor encroachments would damage the home aesthetically and unnecessarily.




A literal interpretation would work an unnecessary hardship upon the applicant, especially if it were deemed that a portion of the structure would have to be removed. Such a finding would operate to punish one who did not cause or intend to create a setback encroachment. It might also discourage others from disclosing similar violations. It would also injure the general appearance of the house.

The variance sought is the minimum variance necessary to continue the reasonable use of the property. But for this voluntarily filed petition for variance, in all probability, the minor setback encroachments would pass unnoticed for as long as the structure stands. It poses no threat of injury to the area and is not detrimental to the public health, safety or welfare.

Granting the variance will be beneficial to the community. It will avoid devaluation of the structure and reduction of its tax basis. It will prevent undue punishment of one who is not culpable and will encourage persons in similar situations to come forward to correct errors. It will also render a structure, which has stood in harmony with its neighborhood for 15 years, in conformity with the law.

The applicant respectfully requests a variance which recognizes his home's existing setbacks. As shown on the survey prepared by Stephen J. Brown, Inc. Those setbacks are 33.36 feet in the front; 29.93 feet in the rear; and 14.93 feet on the north side.

Attorney For the Applicant

  
William F. Crary II  
Crary, Buchanan, Bowdish, Bovie,  
Lord, Roby & Evans, Chartered



1. That no objection(s) to the proposed grant of variance have been made.

2. That the applicant is requesting a variance from the 35 foot front yard setback requirement of the Sewall's Point Town Code as it applies to the existing house relative to the West lot line in the amount of 1.64 feet.

3. That the applicant is requesting a variance from the 15 foot side yard setback requirement of the Sewall's Point Town Code as it applies to the existing house relative to the North lot line in the amount of 0.07 feet.

4. That the applicant is requesting a variance from the 25 foot rear yard setback requirement of the Sewall's Point Town Code as it applies to the existing house relative to the East lot line in the amount of 2.07 feet.

5. That the existing house encroaches into the yard setback requirements of the Town Code in the amounts as stated in Paragraphs 2, 3, and 4 above.

6. That special conditions and circumstances exist which are peculiar to the land and structures involved, which are not applicable to other lands and structures in the same district.

7. That the special conditions and circumstances do not result from the actions of the applicant.

8. That granting the variance application will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to owners of the lands, buildings or structures in the same zoning district.

9. That literal interpretation of the provisions of the Zoning Ordinances would deprive the applicant of rights commonly

enjoyed by other properties in the same district under the terms of the Zoning Ordinance and would work unnecessary and undue hardship on the applicant.

10. That the granting of the variance will be in harmony with the general intent and purpose of the ordinance and that such variance will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

11. That the reasons set forth in the application and as expressed during the hearing by the applicant justify the granting of variance and satisfy the requirements of Section XV, Paragraph B.2.b. of Appendix B of the Code of Ordinances of the Town of Sewall's Point, Florida, and the variance is the minimum variance that will make possible reasonable use of the land, structures or buildings.

NOW THEREFORE, be it resolved by the Board of Zoning Adjustment of the Town of Sewall's Point, Florida, that the application by SCOTT H. HOFFMAN for variances of the front, side and rear yard setback requirements of the Sewall's Point Town Code, Appendix B, Section VI, Paragraphs G.1, G.2, and G.3, respectively, of the subject property is GRANTED as follows:

A. As to the West lot line of the subject property, a variance is granted to the front yard setback requirements of the Sewall's Point Town Code in the amount of 1.64 feet of variance from the required setback distance of 35 feet for purposes of bringing the existing structure into compliance with the Town Code.

B. As to the North lot line of the subject property, a variance is granted to the side yard setback requirements of the

3. That granting the variance requested will not confer on the applicant any special privilege that is denied by this ordinance to other lands, buildings or structures in the same zoning district.

4. That literal interpretation of the provisions of the ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the ordinance and would work unnecessary and undue hardship on the applicant.

5. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.

6. That the grant of the variance will be in harmony with the general intent and purpose of the ordinance and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

In granting any variance, the Board of Adjustment may prescribe appropriate conditions and safeguards in conformity with this ordinance. Violation of such conditions and safeguards, when made a part of the terms under which the variance is granted, shall be deemed a violation of the ordinance.

The Board of Adjustment may prescribe a reasonable time limit within which the action for which the variance is required shall be begun or completed or both.

No non-conforming use of the neighboring lands, structures or buildings in the same district and no permitted use of lands, structures or buildings in other districts shall be considered for the issuance of a variance.

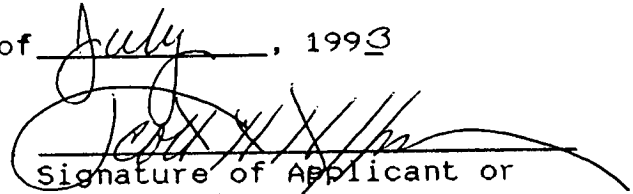
The Town shall post Notice of Public Hearing on the property for which the variance is sought and upon the Town Hall bulletin board at least 15 days prior to the date of the hearing. The Town will also see to the publication of the Notice of Hearing in a newspaper of general circulation printed in Martin County, Florida, at least fifteen (15) days prior to the date of the public hearing. All costs thereby incurred by the Town shall be reimbursed to the Town by the applicant, or charged against the applicant's cost deposit. The Applicant, at his expense, must send Notice to property owners of record within 300 feet of the subject property in accordance with the guidelines attached, to be mailed by certified mail, return receipt requested, no later than FIFTEEN (15) DAYS PRIOR TO THE DATE OF THE HEARING.

#### CERTIFICATION

The Applicant hereby certifies that the information which he/she has provided on and together with this application is correct and accurate to the best of his/her knowledge and belief. The Applicant also certifies that existing deed restrictions or

covenants on this property will be adhered to and that if this request is granted, all necessary permits will be obtained and that all orders, resolutions, codes, conditions, rules, regulations and ordinances pertaining to the use of the above-described property will be complied with. The Applicant further certifies that he/she has read all of the above and the Guide to Preparation of Application for Board of Zoning Adjustment and will comply therewith, understanding that failure to do so may result in a denial of the request or administrative dismissal of the application.

Dated this 12 day of July, 1993

  
Signature of Applicant or  
Applicant's Attorney

executive line

670916

This instrument prepared by:  
Russell J. Ferraro, Jr., Esq.

McMAMIS, STEWART, FERRARO & STEGER, P.A.  
Attorneys At Law  
Post Office Box 809  
Stuart, Florida 33495

# This Indenture

Pluruses and feminines, the term "party" shall include the heirs, personal representatives, executors and / or assigns of the respective parties hereto; the use of the singular number shall include the plural, and the plural the singular; the use of any gender shall include all genders; and, if used, the term "note" shall include all the notes herein described if more than one

Made this \_\_\_\_\_ day of \_\_\_\_\_ A. D. 1987,  
Between SCOTT H. HOFFMAN and M. SUSAN PECK, his wife

\_\_\_\_\_ of the County of  
Martin and State of Florida, party of the first part,  
and SCOTT H. HOFFMAN  
92 South River Road, Stuart, Florida 34994

\_\_\_\_\_ of the County of  
Martin and State of Florida, party of the second part,  
Witnesseth, that the said party of the first part, for and in consideration of  
the sum of -----TEN AND NO/100THS (\$10.00)----- Dollars,  
in hand paid by the said party of the second part, the receipt whereof is hereby acknowl-  
edged, has remised, released and quitclaimed, and by these presents does remise,  
release and quitclaim unto the said party of the second part all the right, title, interest  
claim and demand which the said party of the first part has in and to the following  
described lot, piece or parcel of land, situate lying and being in the County of  
Martin,  
State of Florida, to wit:

Lot 75, of RIO VISTA SUBDIVISION, according to the Plat  
thereof, recorded December 11, 1975, in Plat Book 6,  
Page 95, Martin County, Florida, public records.

THIS DEED PREPARED WITHOUT BENEFIT OF EXAMINATION OF TITLE.

To Have and to Hold the same, together with all and sundry the  
appurtenances therunto belonging or in anywise appertaining, and all the estate,  
right, title, interest and claim whatsoever of the said party of the first part, either in  
law or equity, to the only proper use, benefit and behoof of the said party of the second  
part.

In Witness Whereof, the said party of the first part has hereunto set his  
hand and seal the day and year first above written.

Signed, Sealed and Delivered in Our Presence:

*[Signatures]*  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
State of Florida,  
County of MARTIN

*[Signature]*  
SCOTT H. HOFFMAN  
*[Signature]*  
M. SUSAN PECK

I HEREBY CERTIFY, That on this day personally appeared before me, an officer  
duly authorized to administer oaths and take acknowledgments,  
M. SUSAN PECK

8500 731 PAGE 2281

to me well known to be the person described in and who executed the foregoing  
instrument and she acknowledged before me that she  
executed the same freely and voluntarily for the purposes therein expressed.

WITNESS my hand and official seal at City of Stuart,  
County of Martin, and State of Florida, this  
day of August A. D. 1987.

Notary Public  
My Commission Expires \_\_\_\_\_  
Notary Public, State of Florida of Large  
Commission Expires DEC. 8, 1989

STATE OF FLORIDA)  
COUNTY OF MARTIN) ss.

I HEREBY CERTIFY, That on this day personally appeared before me, an officer duly authorized to administer oaths and take acknowledgments, SCOTT H. HOFFMAN, to me well known to be the person described in and who executed the foregoing instrument and he acknowledged before me that he executed the same freely and voluntarily for the purposes therein expressed.

WITNESS my hand and official seal at City of Stuart,  
County of Martin, and State of Florida, this 19<sup>th</sup> day of August  
A.D. 1987.

*Andrea M. Duncan*  
Notary Public  
My Commission Expires:

Notary Public, State of Florida At Large  
My Commission Expires Sept. 28, 1989  
Created by 90789 Insurance Company of America



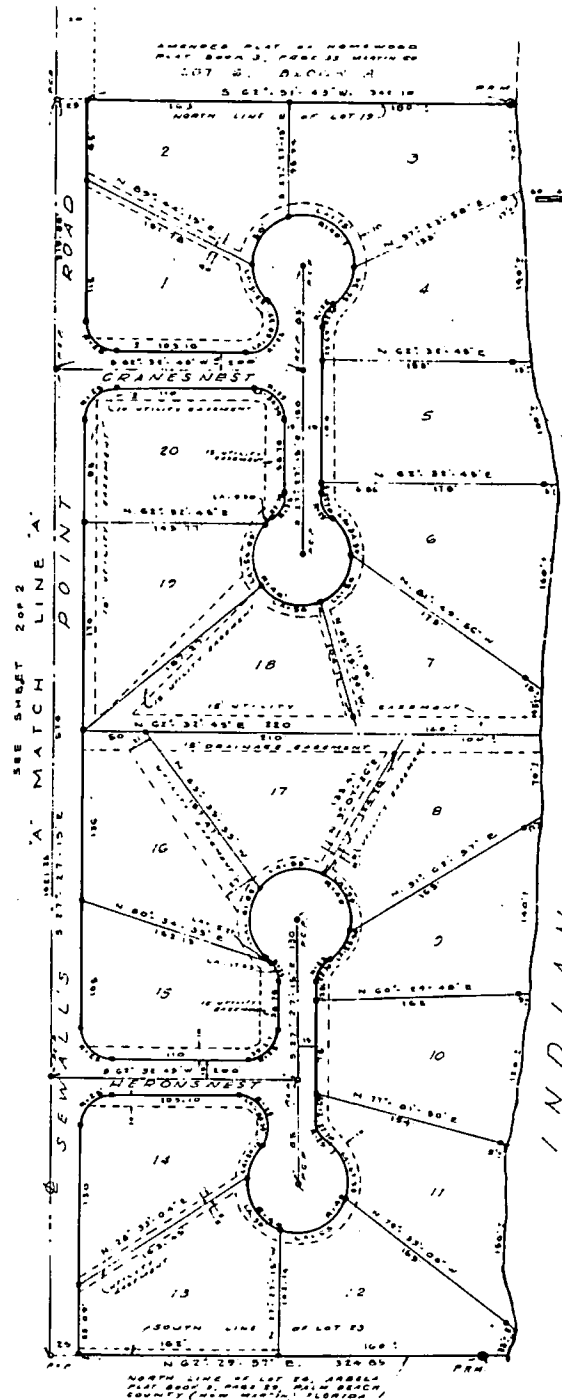
BY *[Signature]*  
CLERK OF COURT  
D.C.

87 AUG 19 11:36

FILED  
MARTIN COUNTY

OR  
BOOK 731 PAGE 2281-A





# RIO VISTA SUBDIVISION

BEING A REPLAT OF LOTS 19, 20, 21, 22 AND 23 OF PLAT OF ARBELA,  
AS RECORDED IN PLAT BOOK 3, PAGE 29, FORMERLY PALM BEACH COUNTY  
RECORDS; AND BEING IN SECTION 12, TOWNSHIP 38 SOUTH, RANGE 41 EAST.  
MARTIN COUNTY, FLORIDA

**CERTIFICATION OF THE CLERK OF THE CIRCUIT COURT**

I, Louise V. Isaacs, Clerk of the Circuit Court of Martin County, Florida, hereby certify that this Plat has been filed for record in Plat Book 6 Page 95 public records of Martin County, Florida, this 11 day of DECEMBER, 1975.

LOUISE V. ISAACS, Clerk  
Martin County, Florida  
By James Nandy  
DEPUTY CLERK

File # 237593

**CERTIFICATION OF OWNERSHIP**

Gustav Schickedanz, as Trustee and Individually, does hereby certify that as Trustee he is the owner of the property described herein  
Dated this 21<sup>st</sup> day of NOVEMBER, 1975.

GUSTAV SCHICKEDANZ AS TRUSTEE  
Gustav Schickedanz  
TRUSTEE

**TITLE CERTIFICATION**

I, John H. Fenniman, a member of the Florida Bar, hereby certifies that:  
1. Apparent record title to the land described and shown in this Plat is of record in the name of GUSTAV SCHICKEDANZ as TRUSTEE.  
2. That Lots 22 and 23, Plat of Arbelo, are encumbered by a mortgage in favor of Mortgage, MARK & SON, INC., a Florida corporation, which mortgage is recorded in Official Records Book 375, Page 668, Martin County, Florida, Public Records.  
3. There are no other mortgages that encumber the lands described in this Plat.  
Dated this 28 day of November, 1975.

John H. Fenniman  
JOHN H. FENNIMAN  
ATTORNEY - AT - LAW  
310 DENVER AVENUE  
STUART, FLORIDA 32999

**MORTGAGE CONSENT AND DEDICATION**

I, Allen Mark, a Vice-President of MARK & SON, INC., a Florida Corporation, the Mortgagee under that certain mortgage securing Lots 22 and 23, ARBELA, according to the Plat thereof, recorded in Plat Book 3, Page 29, Palm Beach (now Martin) County, Florida, Public Records, which mortgage is recorded in Official Records, Book 375, Page 668, Martin County, Florida, Public Records, do hereby consent and join with Gustav Schickedanz as Trustee and Individually in the dedication of this plat of RIO VISTA SUBDIVISION.  
IN WITNESS WHEREOF, Mark & Son, Inc., a Florida corporation, has caused these presents to be signed by its Vice-President, Allen Mark, and its corporate seal to be affixed hereto by and with the authority of its Board of Directors this 28 day of November, 1975.

MARK & SON, INC.  
By: Allen Mark  
ALLEN MARK, VICE PRESIDENT

STATE OF FLORIDA  
COUNTY OF MARTIN  
I hereby certify that on this day personally appeared before me, an officer duly authorized to administer oaths and take acknowledgments, ALLEN MARK, Vice President of Mark & Son, Inc. a Florida corporation, known to me and known to be the said officer of Mark & Son, Inc. named as Mortgagee in the foregoing Mortgage Consent and Dedication and that he acknowledged executing the same under the authority duly vested in him by said corporation and that the seal affixed thereto is the true corporate seal of said corporation and that the Consent and Dedication was executed by and with the authority of its Board of Directors of Mark & Son, Inc. for the purposes therein expressed, and that his act and deed was the act and deed of said corporation.  
Witness my hand and seal at Stuart, Martin County, Florida, this 28 day of November, 1975.

Patricia A. Clair  
PATRICIA A. CLAIR  
NOTARY PUBLIC

My Commission expires: 6/9/79

**CERTIFICATION OF DEDICATION**

PROVINCE OF ONTARIO, CANADA  
COUNTY OF YORK

Know all men by these presents that Gustav Schickedanz, as Trustee and Individually, the owner of the tract of the land lying and being in Martin County, Florida, and more particularly described as follows:

Lots 19, 20, 21, 22, and 23, of ARBELA a subdivision of lands now in the Town of Sewall's Point, as recorded in Plat Book 3, Page 29, Public Records of Palm Beach County, Florida, said lands now being in Martin County, and lying and being in Section 12, Township 38 South, Range 41 East, and presently in the Town of Sewall's Point, Martin County, Florida  
has caused the same to be surveyed and platted as shown herein and named RIO VISTA SUBDIVISION, and does hereby dedicate to the perpetual use of the public, the drainage easement, the utility easements, the highways and the streets, shown thereon as Rio Vista Drive, Louisiana Lane, Margot Circle, Admiral's Way, Crane's Nest River Road, and Plumier Place. The utility easements as shown on this plat of Rio Vista Subdivision may be used for utility purposes by any utility in compliance with such ordinances and regulations as may be adopted from time to time by the Board of Town Commissioners of Sewall's Point. The drainage easement as shown on this plat shall exist for the drainage of surface water.  
IN WITNESS WHEREOF Gustav Schickedanz as Trustee and Individually has set forth his hand and seal this 21<sup>st</sup> day of NOVEMBER, 1975.

Gustav Schickedanz  
GUSTAV SCHICKEDANZ AS TRUSTEE AND INDIVIDUALLY  
TRUSTEE

Gustav Schickedanz  
GUSTAV SCHICKEDANZ AS TRUSTEE AND INDIVIDUALLY  
TRUSTEE

**ACKNOWLEDGMENT**

PROVINCE OF ONTARIO, CANADA  
COUNTY OF YORK

I hereby certify that on this day personally appeared before me, an officer duly authorized to administer oaths and take acknowledgments, Gustav Schickedanz, as Trustee and Individually, known to me and known to be the individual described in and who executed the foregoing Dedication and Affidavit, and that he acknowledged before me that he executed the same and swore to the same.

WITNESS my hand and seal, in the Province of Ontario, Canada on this 21<sup>st</sup> day of NOVEMBER, 1975.

My Commission is for life - it does not expire  
Gustav Schickedanz  
GUSTAV SCHICKEDANZ AS TRUSTEE AND INDIVIDUALLY

**APPROVAL OF TOWN OF SEWALL'S POINT**

This plat is hereby approved by the undersigned on the date indicated, 10 day of December, 1975.

Board of Town Commissioners  
By: William M. Justice  
MAYOR

**SURVEYOR'S CERTIFICATE**

I, the undersigned Registered Land Surveyor, do hereby certify that on 21<sup>st</sup> day of November, 1975, this property was surveyed under my direction and supervision as required by law and the survey data as shown hereon complies with Chapter 177, Florida Statutes.

By: W. L. Williams  
W. L. WILLIAMS  
P.L.S. # 2372  
STUART, FLORIDA

Subscribed and sworn to, and before me, this 28<sup>th</sup> day of November, 1975.

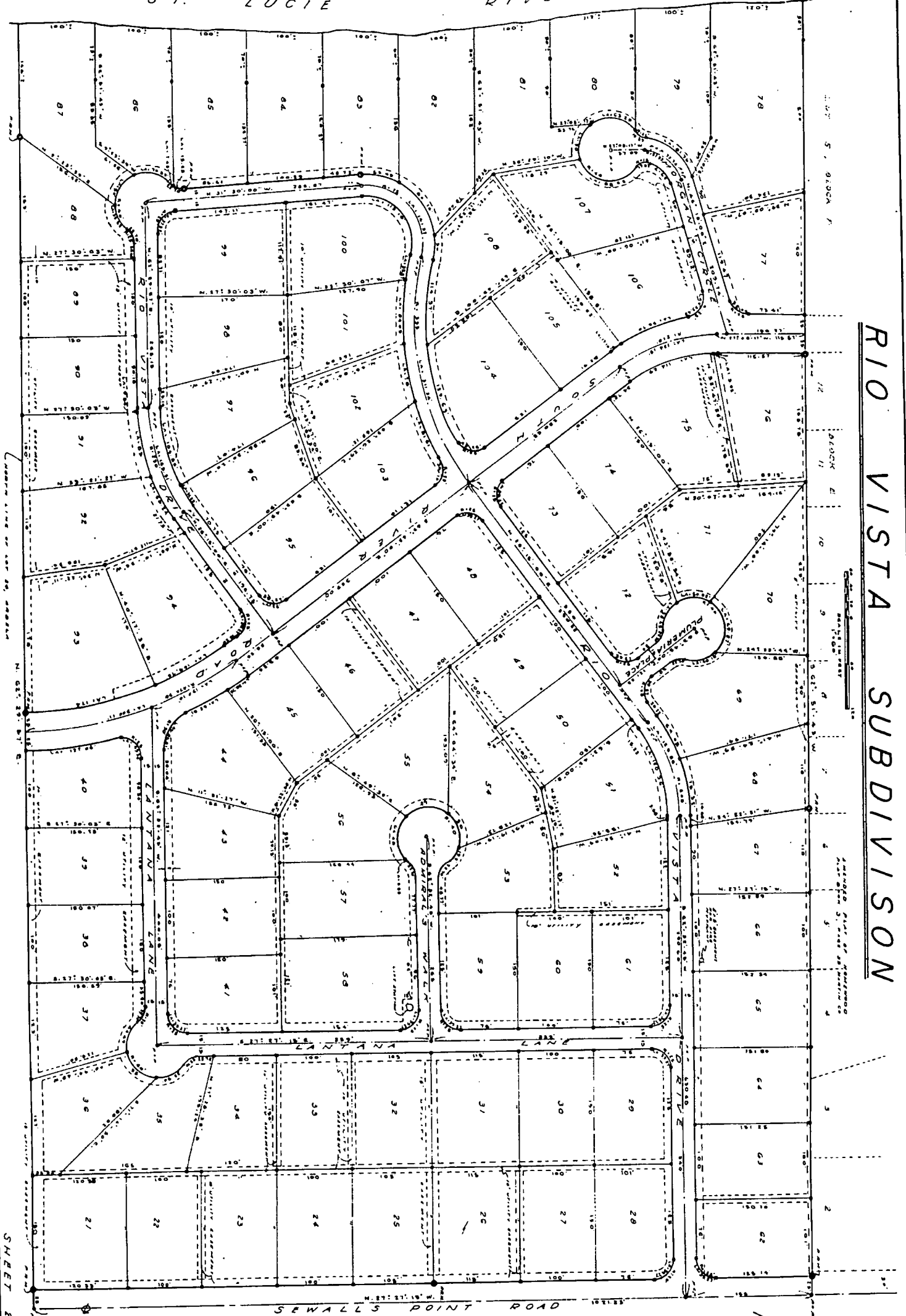
Carol B. Scott  
CAROL B. SCOTT  
NOTARY PUBLIC

My Commission expires: May 22, 1977

Rio Vista S/D  
Book 6, page 95  
Sheet 1 of 2 sheets

S T. LUCIE RIVER

RIO VISTA SUBDIVISION



'A' MATCH LINE 'A'

578975

THIS INSTRUMENT PREPARED BY:  
WILLIAM F. CRARY OF  
**CRARY, BUCHANAN, BOWDISH & BOVIE**  
Attorneys at Law  
Suite 1, 555 Colorado Avenue  
STUART, FLORIDA 33497

# Warranty Deed

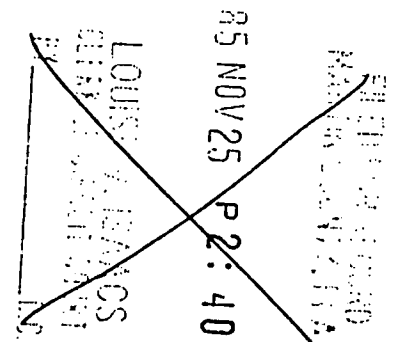
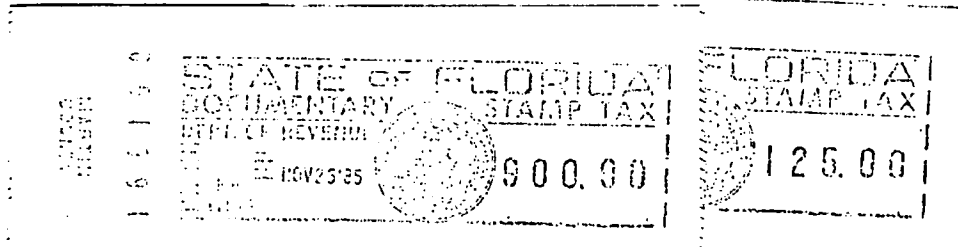
(STATUTORY FORM — SECTION 689.02 F.S.)

This Indenture, Made this 1st day of November 1985, Between  
PHYLLIS K. HARPER, joined by her husband ARTHUR L. HARPER  
of the County of Martin, State of Florida, grantor\*, and  
SCOTT H. HOFFMAN and M. SUSAN PECK, his wife, an estate  
by the entireties  
whose post office address is 92 South River Road, Stuart, Florida 33494  
of the County of Martin, State of Florida, grantee\*,

Witnesseth, That said grantor, for and in consideration of the sum of TEN and NO/100-----  
----- (\$10.00) ----- Dollars,  
and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby  
acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the fol-  
lowing described land, situate, lying and being in Martin County, Florida, to-wit:

Lot 75, of RIO VISTA SUBDIVISION, according to the Plat  
thereof, recorded December 11, 1975, in Plat Book 6,  
Page 95, Martin County, Florida, public records.

SUBJECT to conditions, restrictions, reservations, limitations  
and easements of record; zoning and other regulatory ordinances;  
and taxes for the year 1985 and subsequent years.



and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims  
of all persons whomsoever.

\* "Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof, Grantor has hereunto set grantor's hand and seal the day and year first above written.  
Signed, sealed and delivered in our presence:

Angela M. Stabile  
Susan Keyser Smith  
Angela M. Stabile  
Susan Keyser Smith

Phyllis K. Harper (Seal)  
Phyllis K. Harper  
Arthur L. Harper (Seal)  
Arthur L. Harper  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
(Seal)

STATE OF FLORIDA  
COUNTY OF Martin

BOOK 656 PAGE 1045

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments, personally  
appeared PHYLLIS K. HARPER

to me known to be the person described in and who executed the foregoing instrument and acknowledged before  
me that she executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 1st day of November,  
19 85.

My commission expires:

Susan Keyser Smith  
Notary Public

NOTARY PUBLIC STATE OF FLORIDA  
MY COMMISSION EXPIRES OCT 25 1987  
BONDED THRU GENERAL INSURANCE UND

## STATEMENT OF BENEFITS

The applicant and his former wife bought a home in Sewall's Point in 1985. At that time the home that they purchased at 92 South River Road had the same setbacks that it has today. Until recently the applicant was unaware that the existing setbacks for his house do not comply with the Town's requirements.

During the eight years that Mr. Hoffman has owned the house, neither town officials nor neighbors have made any complaints about the front, side or rear measurements of his home. Apparently, no such complaints have ever been made. It was not until Mr. Hoffman was preparing to sell his home that he became aware of the nonconformity.

Lot 75, Rio Vista is slightly over 18,000 square feet in size. A review of the town's records indicated that in the late 1970's the prior owner who built the house on the lot intended to comply with the then-existing setback requirements of 35 feet in the front; 15 feet on the sides; and 25 feet in the rear. The structure was approved as such. At this point, it can only be inferred that when stakes for the structure were placed on the property, mistakes were made.

It should be pointed out that most of the front of the structure complies with the required setback. It is only the southwest corner of the side-load garage which juts a little over 1 and 1/2 feet into the setback area. Likewise, only a small triangular portion of the pool deck in the rear extends up to slightly over 2 feet into the rear setback zone. The deck on the north side is less than an inch under the 15 foot requirement.

The lot has an unusual shape. The front line curves with the road and the south side line angles northward into a much narrower rear line. These dimensions give the lot an almost pie-shaped appearance. It seems understandable that whoever staked out the building could have miscalculated his position. To the naked eye, no violations are apparent.

Special conditions and circumstances exist concerning the property with regard to its shape and the positioning of a long standing structure. Mr. Hoffman did not cause the special conditions or circumstances. He was merely a purchaser of an existing approved structure.

The applicant is not seeking any special privileges. He simply wishes to clarify that the existing location of his home will not pose a problem for future purchasers. The home has stood in harmony with neighboring houses for nearly 15 years. To require removal of the minor encroachments would damage the home aesthetically and unnecessarily.


A literal interpretation would work an unnecessary hardship upon the applicant, especially if it were deemed that a portion of the structure would have to be removed. Such a finding would operate to punish one who did not cause or intend to create a setback encroachment. It might also discourage others from disclosing similar violations. It would also injure the general appearance of the house.

The variance sought is the minimum variance necessary to continue the reasonable use of the property. But for this voluntarily filed petition for variance, in all probability, the minor setback encroachments would pass unnoticed for as long as the structure stands. It poses no threat of injury to the area and is not detrimental to the public health, safety or welfare.

Granting the variance will be beneficial to the community. It will avoid devaluation of the structure and reduction of its tax basis. It will prevent undue punishment of one who is not culpable and will encourage persons in similar situations to come forward to correct errors. It will also render a structure, which has stood in harmony with its neighborhood for 15 years, in conformity with the law.

The applicant respectfully requests a variance which recognizes his home's existing setbacks. As shown on the survey prepared by Stephen J. Brown, Inc. Those setbacks are 33.36 feet in the front; 29.93 feet in the rear; and 14.93 feet on the north side.

Attorney For the Applicant

  
William F. Crary II  
Crary, Buchanan, Bowdish, Bovie,  
Lord, Roby & Evans, Chartered

BEFORE THE BOARD OF ZONING ADJUSTMENT  
TOWN OF SEWALL'S POINT, FLORIDA

RESOLUTION NO. 93-8

RE: APPLICATION FOR VARIANCE TO  
TOWN OF SEWALL'S POINT  
ZONING ORDINANCES

Legal Description

LOT 75, OF RIO VISTA SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED DECEMBER 11, 1975, IN PLAT BOOK 6, PAGE 95, MARTIN COUNTY, FLORIDA, PUBLIC RECORDS.

WHEREAS, SCOTT H. HOFFMAN, the owner of the above described real property, applied to the TOWN OF SEWALL'S POINT requesting three variances to the existing zoning requirements of the Sewall's Point Town Code, Appendix B, Section VI, Paragraphs G.1, G.2, and G.3, pertaining to the front, north side, and rear yard setback requirements, respectively, on the subject property; and

WHEREAS, notice of the public hearing on the variance application was duly published and mailed in accordance with the provisions of the Town Code, and a public hearing thereon was held on the 19th day of August, 1993 at 7:30 P.M. at the Town Hall of Sewall's Point, Florida, and

WHEREAS, on August 19, 1993, a quorum of the Board of Zoning Adjustment was present and the public hearing was held on the subject application; and

WHEREAS, at said public hearing the applicant was ~~present in person~~ represented by counsel and all interested parties had an opportunity to be heard for or against such application; and

WHEREAS, based on the information presented this Board does hereby make the following findings of fact:

1. That no objection(s) to the proposed grant of variance have been made.

2. That the applicant is requesting a variance from the 35 foot front yard setback requirement of the Sewall's Point Town Code as it applies to the existing house relative to the West lot line in the amount of 1.64 feet.

3. That the applicant is requesting a variance from the 15 foot side yard setback requirement of the Sewall's Point Town Code as it applies to the existing house relative to the North lot line in the amount of 0.07 feet.

4. That the applicant is requesting a variance from the 25 foot rear yard setback requirement of the Sewall's Point Town Code as it applies to the existing house relative to the East lot line in the amount of 2.07 feet.

5. That the existing house encroaches into the yard setback requirements of the Town Code in the amounts as stated in Paragraphs 2, 3, and 4 above.

6. That special conditions and circumstances exist which are peculiar to the land and structures involved, which are not applicable to other lands and structures in the same district.

7. That the special conditions and circumstances do not result from the actions of the applicant.

8. That granting the variance application will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to owners of the lands, buildings or structures in the same zoning district.

9. That literal interpretation of the provisions of the Zoning Ordinances would deprive the applicant of rights commonly

enjoyed by other properties in the same district under the terms of the Zoning Ordinance and would work unnecessary and undue hardship on the applicant.

10. That the granting of the variance will be in harmony with the general intent and purpose of the ordinance and that such variance will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

11. That the reasons set forth in the application and as expressed during the hearing by the applicant justify the granting of variance and satisfy the requirements of Section XV, Paragraph B.2.b. of Appendix B of the Code of Ordinances of the Town of Sewall's Point, Florida, and the variance is the minimum variance that will make possible reasonable use of the land, structures or buildings.

NOW THEREFORE, be it resolved by the Board of Zoning Adjustment of the Town of Sewall's Point, Florida, that the application by SCOTT H. HOFFMAN for variances of the front, side and rear yard setback requirements of the Sewall's Point Town Code, Appendix B, Section VI, Paragraphs G.1, G.2, and G.3, respectively, of the subject property is GRANTED as follows:

A. As to the West lot line of the subject property, a variance is granted to the front yard setback requirements of the Sewall's Point Town Code in the amount of 1.64 feet of variance from the required setback distance of 35 feet for purposes of bringing the existing structure into compliance with the Town Code.

B. As to the North lot line of the subject property, a variance is granted to the side yard setback requirements of the



Sewall's Point Town Code in the amount of 0.07 feet of variance from the required setback distance of 15 feet for purposes of bringing the existing structure into compliance with the Town Code.

C. As to the East lot line of the subject property, a variance is granted to the rear yard setback requirements of the Sewall's Point Town Code in the amount of 2.07 feet of variance from the required setback distance of 25 feet for purposes of bringing the existing structure into compliance with the Town Code. *IF THE EXISTING WOOD DECK NEEDS TO BE REPLACED IN THE FUTURE, HOWEVER, IT SHALL BE CONSTRUCTED NO CLOSER THAN 25 FEET TO THE REAR PROPERTY LINE.*

The Secretary of this Board is hereby authorized and directed to record this Resolution in the Official Public Records of Martin County, Florida, and the Clerk of the Town of Sewall's Point is hereby directed to maintain this Resolution as part of the Official Records of the Town.

Duly passed and adopted at Public Meeting on August 19, 1993.

BOARD OF ZONING ADJUSTMENT  
TOWN OF SEWALL'S POINT, FLORIDA

By:     *JS*      
Chairman

ATTEST:

    *JS*      
Secretary

APPROVED AS TO FORM AND LEGALITY

    *JS*      
Douglas K. Sands, Attorney for  
the Board of Zoning Adjustment

cc: Town Clerk  
Applicant



**TOWN OF SEWALL'S POINT, FLORIDA**

Date MAR. 10 19 99 TREE REMOVAL PERMIT No. 228

APPLIED FOR BY R. DEMAREST (Contractor or Owner)

Owner SAME

Sub-division \_\_\_\_\_, Lot \_\_\_\_\_, Block \_\_\_\_\_

Kind of Trees ONE GUMBO LIMBO AT 92 S. RIVER RD.

No. Of Trees: REMOVE 1

No. Of Trees: RELOCATE \_\_\_\_\_ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE \_\_\_\_\_ WITHIN 30 DAYS

REMARKS \_\_\_\_\_

Signed, [Signature]  
Applicant

Signed, [Signature]  
Town Clerk

FEE \$ 25.00

**TOWN OF SEWALL'S POINT**

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection  
WORK HOURS 8:00 A.M. - 5:00 P.M.—NO SUNDAY WORK.

**TREE REMOVAL PERMIT**

RE: ORDINANCE 103

Blank lined area for notes or additional information.

PROJECT DESCRIPTION \_\_\_\_\_

Blank lined area for project description details.

REMARKS \_\_\_\_\_

Blank lined area for remarks.

#  
228  
TREE

February 04, 1999

Town of Sewall's Point  
Building Department

Re: Tree Removal Permit Application  
92 S. River Road

I wish to apply for a tree removal permit due to the fact that one of my gumbo limbo trees is presumably diseased. Large parts of bark and limbs periodically fall off and land on my roof. I believe that soon enough, damage will occur to my roof of my house.

Thank you,



Robert P. Demorest

enc. Site plan & copy of permit app.

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Permit # \_\_\_\_\_

Date Issued \_\_\_\_\_

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner DEMAREST, R. Address 92 S. RIVER RD Phone 221-3622

Contractor \_\_\_\_\_ Address \_\_\_\_\_ Phone \_\_\_\_\_

Number of trees to be removed(list kinds of trees) 1: Gumbo Limbo

Number of trees to be relocated within 30 days(no fee)(list kinds of trees): \_\_\_\_\_

Number of trees to be replaced \_\_\_\_\_ (list kinds of trees): \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ (\$25.00 - first tree plus \$10.00 - each additional tree - not to exceed \$100.00.

(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted Plans approved, as marked \_\_\_\_\_

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant [Signature] Date submitted 03/04/99

Approved by Building Inspector [Signature] Date 3/10/99

Approved by Building Commissioner \_\_\_\_\_ Date \_\_\_\_\_

Completed \_\_\_\_\_ Date \_\_\_\_\_ Checked by \_\_\_\_\_

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT OBTAINING A PERMIT. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?

ROAD  
RIGER (SORN)

$\Delta = 35^{\circ} 23' 47''$

$L = 114.29'$

SOCIAL

$\Delta = 61^{\circ} 12' 11''$   
 $L = 114.29'$

33.43'

40.84'

$L = 185.7'$

4.30'

10' UTILITIES EASEMENT  
 $N. 52^{\circ} 47' 56'' E. 175.89'$

LOT 76

LOT 74

TREE TO BE  
REMOVED

1 STORY  
WOOD  
FRAME  
DWELLING

2' WOODWALL

WOODWALL

CONC  
DRIVE

6' HIGH WOOD  
FENCE

150'

$N. 26^{\circ} 15' 00'' E.$

FND.  
C.M.

FND. C.M.

FND. 113 (DISTURBED)

POC

WOOD  
DE

FENCE

150'

150'

150'

150'

150'

150'

150'

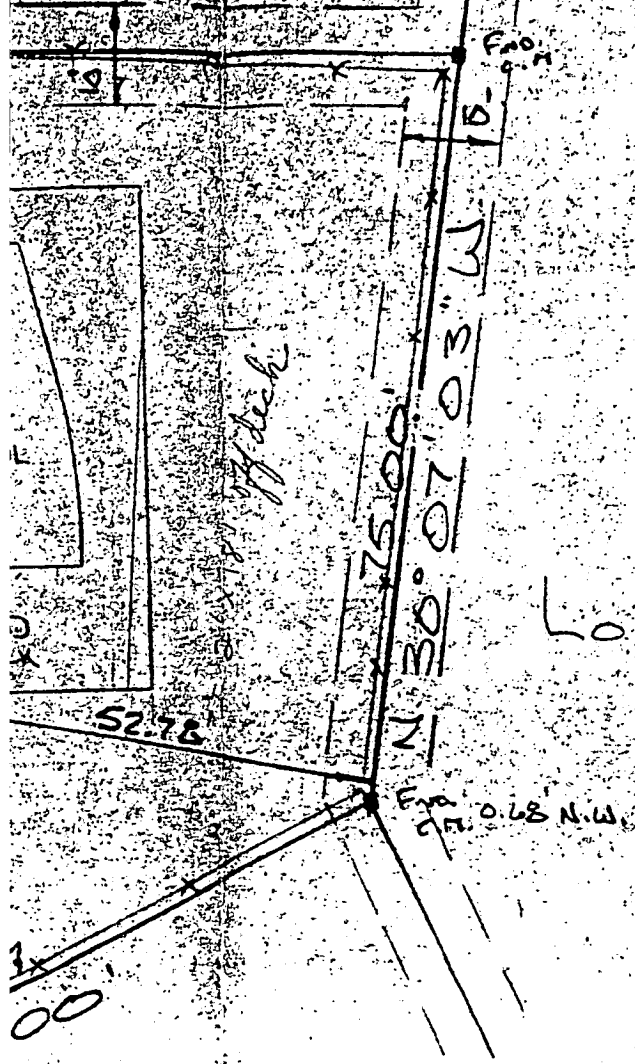
150'

150'

150'



LOCATION MAP



LOT 75

LEGAL DESCRIPTION

KNOWN AS LOT 75, "RIO VISTA"  
AS RECORDED IN PLAT BOOK 6, P.  
PUBLIC RECORDS OF MARTIN COUN.  
FLORIDA.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

*OK*

~~TREE REMOVAL~~ RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner DEMAREST ROBERT Address 92 S. RIVER RD Phone 772.221.3622

Contractor TREE FELLERS Address \_\_\_\_\_ Phone \_\_\_\_\_

No. of Trees: REMOVE 1 Species: COCONUT PALM

No. of Trees: RELOCATE \_\_\_\_\_ Species: \_\_\_\_\_

No. of Trees: REPLACE \_\_\_\_\_ Species: \_\_\_\_\_

\*\*\*ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION\*\*\*

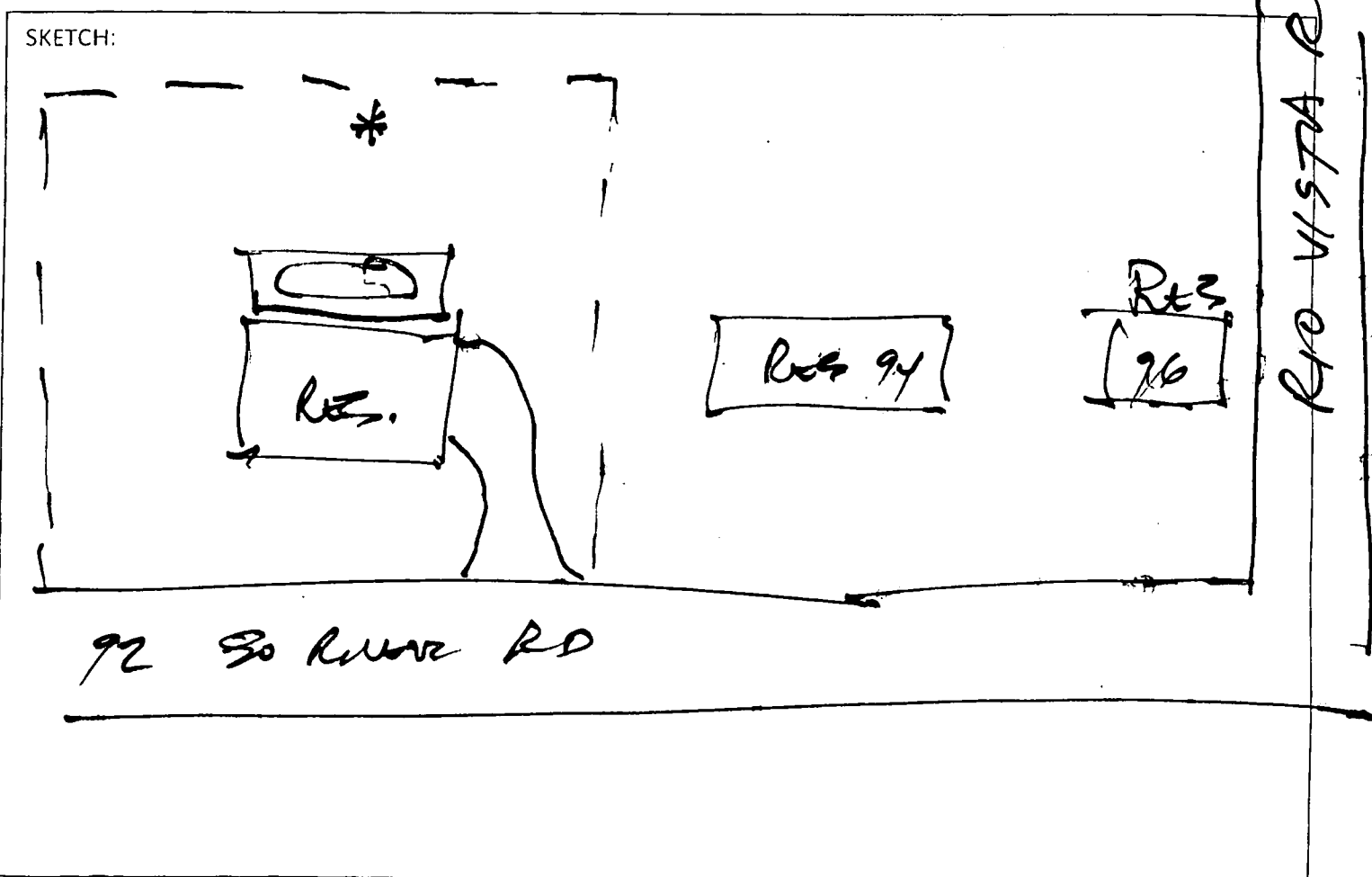
Reason for tree removal /relocation (See notice above) OVER GROWN: CROWDING, OTHER

Signature of Property Owner [Signature] Date 09/03/10

Approved by Building Inspector: [Signature] Date 8-9-10 Fee: [Signature]

NOTES:

SKETCH:



*OK*  
 09/03/10  
 5378





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One South Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765



TREE CITY USA

Since 1990,  
 Sewall's Point  
 has proudly been  
 designated a  
 'Tree City USA'

**TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT**

WORK PERMITTED FROM 8:00 AM TO 5:00 PM – NO SUNDAYS

Owner ROBERT + ELLEN DEMOREST Address 92 S. RIVER RD Phone 772-221-3622

Contractor ARBOR EXPERTS - Andrew Tellier Address \_\_\_\_\_ Phone 561-791-1130

No. of Trees REMOVE 1 Species: Gumbo Limbo Caliper @ 4' above soil 23" (inches) Height \_\_\_\_\_ (ft.)  
*heavily trim*

No. of Trees RELOCATE \_\_\_\_\_ Species: \_\_\_\_\_ Caliper @ 4' above soil \_\_\_\_\_ (inches) Height \_\_\_\_\_ (ft.)

No. of Trees REPLACE \_\_\_\_\_ Species: \_\_\_\_\_ Caliper @ 4' above soil \_\_\_\_\_ (inches) Height \_\_\_\_\_ (ft.)

REPLACED OR RELOCATED TREES MUST BE INSPECTED WITHIN 30 DAYS OF PERMIT ISSUANCE

**ALL PROHIBITED SPECIES AND VEGETATIVE WASTE MUST BE REMOVED FROM PROPERTY**

Reason for tree removal /relocation Half of the tree broke off + fell. We propose to cut the trunk below the break/rot (to allow for new growth) and heavily trim the remaining foliage.

Signature of Property Owner Ellen Demorest Date 8/25/15  
*By doing this we hope to save the tree.*

*This space for Official Use only:*  
 Approved by Building Official: [Signature] Date 8-27-15 Fee: N/C

BUILDING INSPECTOR NOTES: \_\_\_\_\_

Minimum Tree Requirements Met On Property

Prohibited Species Identified for Removal

SKETCH (Show location of tree(s) to be removed/relocated; dimensions of lot; location of structures):

