

96 South River Road

12-38-4/00-20000-1730-40000

C

MASTER PERMIT NO. 4201

TOWN OF SEWALL'S POINT

Date 6/12/97

BUILDING PERMIT NO. 4201

Building to be erected for ALBERT & CHELSEA BRADICE Type of Permit S.F.R.

Applied for by PACE 2000 (Contractor) Building Fee 1449.04

Subdivision RIO VISTA Lot 73 Block N/A Radon Fee 27.18

Address 90 S. RIVER ROAD Impact Fee 1008.20

Type of structure S.F. Residence A/C Fee 100.00

Electrical Fee 100.00

Parcel Control Number: 123841002000007304 Plumbing Fee 100.00

Roofing Fee 100.00

Amount Paid 500.00 Check # 23238 Cash IMPACT bal. due Other Fees () 500.00

Total Construction Cost \$ 181,130 (TOWN EST.) TOTAL Fees 2084.42

3384.42

Signed x Harvey Foshner

Signed [Signature]

Applicant

Town Building Inspector

PACE 2000 INC.
OPERATING ACCOUNT
208 SW PORT ST. LUCIE BLVD.
PORT ST. LUCIE, FL 34984

PORT ST. LUCIE NATIONAL BANK

23238

63.1361/670

CHECK

PAY

TO THE ORDER OF

Five Hundred dollars + 00/100

DATE

6-19-97

AMOUNT

\$500.00

Town of Sewalls Point

[Signature]

AUTHORIZED SIGNATURE

PACE 2000 INC. - OPERATING ACCOUNT

CHECK

23238

Bradice Impact fees
44201



OFFICIAL RECEIPT
(FOR MONEY RECEIVED)

No. 571342

DATE 6/12, 1997

Logan Sikes SCHOOL

RECEIVED FROM Pace 2000 \$ 1,000.00
(NAME OR ORGANIZATION)

FOR Lot 73, Rio Vista

FOR DEPOSIT IN _____ FUND(S)

D. Sikes
PRINCIPAL OR RESPONSIBLE OFFICER

This Document Prepared By:
Robert S. Kramer, Esq.
KRAMER, SEWELL & SOPKO, P.A.
2307 SE Monticrey Road
Stuart, FL 34996

MARIONA STILLER
CLERK OF CIRCUIT COURT
MARTIN COUNTY, FL

01221044

RECORDED & VERIFIED
BY [Signature] D.C.

97 FEB 28 AM 7:50

Parcel ID Number: 12-38-41-002-000-00730.40000
Grantee #1 TIN:
Grantee #2 TIN:

Warranty Deed

This Indenture, Made this 24th day of February, 1997 A.D. Between
Raymond S. Roy, Jr. and Karen O. Roy, his wife,

of the County of Martin, State of Florida, grantors, and
Albert Bradice and Evelyn Bradice, his wife,

whose address is: 96 South River Road, Stuart, Florida 34996

of the County of Martin, State of Florida, grantees.

Witnesseth that the GRANTORS, for and in consideration of the sum of

----- TEN & NO/100 (\$10.00) ----- DOLLARS,

and other good and valuable consideration to GRANTORS in hand paid by GRANTEEES, the receipt whereof is hereby acknowledged, have granted, bargained and sold to the said GRANTEEES and GRANTEEES' heirs and assigns forever, the following described land, situate, lying and being in the County of Martin, State of Florida to wit:

Lot 73, RIO VISTA SUBDIVISION, according to the plat thereof, recorded in Plat Book 6, Page 95 of the Public Records of Martin County, Florida.

Subject to restrictions, reservations and easements of record, if any, which are not reimposed hereby, and taxes subsequent to December 31st, 1996.

RECORDED & VERIFIED 595.00
BY MARIONA STILLER
CLERK OF CIRCUIT COURT
MARTIN COUNTY, FL
D.C.

and the grantors do hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.
In Witness Whereof, the grantors have hereunto set their hands and seals the day and year first above written.
Signed, sealed and delivered in our presence:

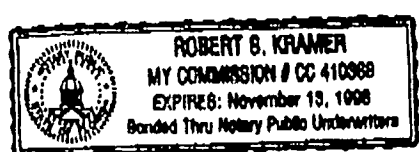
[Signature]
Printed Name: R.S. Kramer
Witness as to Both
[Signature]
Printed Name: Dawn E. Darby
Witness as to Both

[Signature]
Raymond S. Roy, Jr. (Seal)
P.O. Address: 93 S. Sewall's Point Rd., Stuart, FL 34996
[Signature]
Karen O. Roy (Seal)
P.O. Address: 93 S. Sewall's Point Rd., Stuart, FL 34996

STATE OF Florida
COUNTY OF Martin

The foregoing instrument was acknowledged before me this 24th day of February, 1997 by
Raymond S. Roy, Jr. and Karen O. Roy, his wife,

who are personally known to me or who have produced their
as identification.



[Signature]
Printed Name: R.S. Kramer
NOTARY PUBLIC
My Commission Expires:

NOTICE OF COMMENCEMENT.

Prepared by
+
Return to
Anita Cochran

THE UNDERSIGNED HEREBY INFORMS ALL CONCERNED THAT IMPROVEMENTS WILL BE MADE TO CERTAIN PROPERTY, AND , IN ACCORDANCE WITH SECTION 713.13.OF THE FLORIDA STATUTES. THE FOLLOWING INFORMATION IS STATED IN THIS NOTICE OF COMMENCEMENT. THIS NOTICE SHALL BE VOID AND OF NO FORCE AND EFFECT IF CONSTRUCTION IS NOT COMMENCED WITHIN 30 DAYS OF RECORDATION.

PACE 2000 INC.
208 SW PORT ST LUCIE BLVD
PORT ST LUCIE FL 34984

Legal Description of Property(include street address. if available.)

..... Lot 73, Rio Vista Subdivision
..... Swells Point, FL 34996

General description of improvements... Single family Residence
..... w/ pool

Owner: Albert & Evelyn Bradice
Address: 96 South River Rd. Swells Point, FL 34996

Owners interest in site of improvements: Residence

Simple fee Title holder(if other than owner)
Name: None

Address:

Contractor: PACE 2000 INC.
Address: 208 SW PORT ST LUCIE BLVD
PORT ST LUCIE FL 34984

Surety (if any): None
Address: Amt. of bond.\$.....

Any person making a loan for the construction of the improvements.
Name: None
Address:

Person within the State of Florida designated by owner upon whom notices or other documents may be served:
Name: None

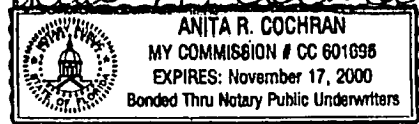
Address:

In addition to himself, owner designates the following person to receive a copy of the Lienor,s Notice as provided in Section 713.13.(1)(h),Florida Statutes.(Fill in at Owner,s option).

Name: None
Address:

This space for Recorders use only.

.....
Owners signature. Albert Bradice
Sworn to and subscribed before me
this 8 day of May 1997.
Anita R. Cochran



01234162
97 MAY 13 PM 2:37
RECORDED & VERIFIED
BY
D.C.



*SEE PERMIT # HD 96-0059

STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES
ON-SITE SEWAGE DISPOSAL SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT
Authority: Chapter 381, FS & Chapter 10D-6, FAC
PREPARED BY: STEPHEN J. BROWN, INC.
290 FLORIDA STREET
STUART, FL. 34994

PERMIT # _____
DATE PAID _____
FEE PAID \$ _____
RECEIPT # _____

APPLICATION FOR:
 New System
 Repair

Existing System
 Holding Tank
 Abandonment
 Other (Specify) _____

407-288-7176
 Temporary/Experimental

TELEPHONE: 288-7176

APPLICANT: Albert & Chelyn Bradice

AGENT: Stephen J. Brown, Inc.

MAILING ADDRESS: 290 Florida Street, Suite "C", Stuart, FL 34994

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. ATTACH BUILDING PLAN AND TO-SCALE SITE PLAN SHOWING PERTINENT FEATURES REQUIRED BY CHAPTER 10D-6, FLORIDA ADMINISTRATIVE CODE.

PROPERTY INFORMATION [IF LOT IS NOT IN A RECORDED SUBDIVISION, ATTACH LEGAL DESCRIPTION OR DEED]

LOT: 73 BLOCK: N/A SUBDIVISION: Rio Vista DATE OF SUBDIVISION: 11-11-75
[Section/Township/Range/Parcel No.] ZONING: _____

PROPERTY ID #: _____ PROPERTY WATER SUPPLY: PRIVATE PUBLIC

PROPERTY SIZE: .35 ACRES [Sqft/43560] PROPERTY STREET ADDRESS: South River Road (Sewall's Point)

DIRECTIONS TO PROPERTY: Take East Ocean Blvd. to Sewall's Point Rd. turn right onto Sewall's Point Rd. Go down to Rio Vista Drive and turn right. Follow Rio Vista Drive to South River Rd. Property on right side of road and on corner of Rio Vista Drive + South River Road.

BUILDING INFORMATION RESIDENTIAL COMMERCIAL Business Activity For Commercial Only

Unit No.	Type of Establishment	No. of Bedrooms	Building Area Sqft	# Persons Served	Business Activity For Commercial Only
1	Single Family	4	2718		
2					
3	*New Floor Plans*				
4					

Garbage Grinders/Disposals Spas/Hot Tubs
 Ultra-low Volume Flush Toilets Other (Specify) _____
 Floor/Equipment Drains

APPLICANT'S SIGNATURE: Stephen J. Brown DATE: 3/16/97

* SEE PERMIT # HD 96-0059

APPLICANT'S NAME: Albert & Chelyn Bradice

LEGAL DESCRIPTION: Lot 73, Rio Vista

PROPOSED SEPTIC SYSTEM SITE INFORMATION

CIRCLE ONE ANSWER FOR EACH QUESTION (FOR ITEMS 1-17 BELOW).
N/A MEANS THAT THE QUESTION IS NOT APPLICABLE.

- 1. Is there a septic system within 75 feet of the proposed private well? Yes No N/A
- 2. Is there a potable private well within 75 feet of the available area for the proposed septic system? Yes No
- 3. Is there a non-potable well within 50 feet of the available area for the proposed septic system? Yes No
- 4. Is there a proposed well within 25 feet of the building foundation? Yes No
- 5. Is there a public well that serves less than 25 people or less than 15 homes or businesses within 100 feet of the proposed septic system? Yes No
- 6. Is there a public well that serves more than 25 people or more than 15 homes or businesses within 200 feet of the proposed septic system? Yes No
- 7. Is there a gravity sewer line or lift station within 50 feet of the proposed lot? Yes No
- 8. Is there a lake, stream, wetland, or surface water within 75 feet of the available area for the proposed septic system? Yes No
- 9. Is there a proposed or existing public drinking water line within 10 feet of the proposed septic system? Yes No
- 10. Is there a storm water retention area or drainage easement within 15 feet of the proposed septic system? Yes No
- 11. Is the proposed septic system in an area proposed for paving or vehicular traffic? Yes No
- 12. Are all private wells, septic systems and surface water on adjacent or contiguous land within 75 feet of the applicant's lot shown on the site plan? Yes No N/A
- 13. Are all public wells within 200 feet of the applicant's lot shown on the site plan? Yes No N/A
- 14. Does the site plan include a plat of the lot or total site ownership drawn to scale, boundaries with dimensions, locations of building or residences, swimming pools, recorded easements, proposed or existing septic systems, any proposed or existing wells, public water lines, paved areas or driveways, and surface waters such as lakes, ponds, streams, canals, or wetlands? Yes No
- 15. Does the site plan show the general slope of the property, recorded easements from the recorded plat, filled areas and drainage features and surface waters such as lakes, ponds, streams, canals, or wetlands? Yes No
- 16. Are the natural grade elevation in the area of the septic system and the benchmark shown on the site plan? Yes No
- 17. Is the public water line location from the water meter to the house shown on the site plan? Yes No
- 18. There is 1250 square feet of available, unobstructed, contiguous land to install the septic system. This area excludes interferences. Shade this available area on the site plan.

SITE ELEVATIONS

- 1. Crown of road elevation N/A NGVD. Show location on the site plan. If the road is not paved, benchmark elevation 19.11 NGVD. Show location on site plan.
- 2. Natural grade elevation in the area of the proposed septic system 18.8 NGVD. Show location on site plan.
- 3. Is the building location in a flood hazard area "A" or "V" as identified on F.E.M.A. maps? Yes or No. If yes, what is the minimum required flood hazard floor elevation of the building? N/A NGVD.

NOTE: Please locate the reference point or benchmark within 200 feet of the proposed septic system.

NOTE: MUST BE CERTIFIED BY A FLORIDA REGISTERED SURVEYOR OR ENGINEER.

CERTIFIED BY: Stephen J. Brown
FLORIDA PROFESSIONAL NO.: 4049
DATE: 3/6/97 JOB NO.: 1800-22-01

STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE DISPOSAL SYSTEM
CONSTRUCTION PERMIT
 AUTHORITY: CHAPTER 381, F.S. & CHAPTER 100-6, F.A.C.

PERMIT # 96-0059-
 SERVICES DATE PAID 03/14/96
 FEE PAID \$ 105.00
 RECEIPT # 16769
 -6, FAC 25 R 19697

CONSTRUCTION PERMIT FOR:

New System Existing System Holding Tank Temporary/Experimental System
 Repair Abandonment Other(Specify) _____

APPLICANT: ALBERT & CHELYN BRADICE AGENT: STEPHEN BROWN

PROPERTY STREET ADDRESS: RIO VISTA DRIVE RIO

LOT: 73 BLOCK: _____ SUBDIVISION: RIO VISTA

PROPERTY ID #: _____ [SECTION/TOWNSHIP/RANGE/PARCEL NO.]
 [OR TAX ID NUMBER]

=====

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF CHAPTER 100-6, FAC REPAIR PERMITS AND HOLDING TANK PERMITS EXPIRE 90 DAYS FROM THE DATE OF ISSUE. ALL OTHER PERMITS EXPIRE 18 MONTHS FROM THE DATE OF ISSUE. HRS APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID.

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SYSTEM DESIGN AND SPECIFICATIONS

T [1050] [GALLONS] SEPTIC TANK MULTI-CHAMBERED/IN SERIES:[Y]
 A [0] [GALLONS / GPD] _____ CAPACITY MULTI-CHAMBERED/IN SERIES:[N]
 N [0] GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK: 1250 GALLONS]
 K [0] GALLONS PER DOSE DOSE RATE [0] PER 24 HRS NO. OF PUMPS: [0]

D [333] SQUARE FEET PRIMARY DRAINFIELD SYSTEM Trench, or
 R [500] SQUARE FEET Bed SYSTEM
 A TYPE SYSTEM: STANDARD FILLED MOUND 3 TRENCHES X 37.0'L OR

I CONFIGURATION: TRENCH BED A BED 12'W X 41.70'L

F LOCATION OF BENCHMARK: 19.11'NGVD BENCHMARK

I ELEVATION OF PROPOSED SYSTEM SITE IS [3.7] INCHES BELOW BENCHMARK/REFERENCE POINT
 E BOTTOM OF DRAINFIELD TO BE [33.7] INCHES BELOW BENCHMARK/REFERENCE POINT

D FILL REQUIRED: [0.0] INCHES EXCAVATION REQUIRED: [0.0] INCHES

O TOP OF BUILDING STUBOUT IS REQUIRED TO BE A MINIMUM ELV. OF 13" BELOW BM 19.11
 T TOP OF DRAINFIELD PIPE IS REQUIRED TO BE A MINIMUM ELV. OF 23" BELOW BM 19.11'
 H TOP OF SEPTIC TANK IS REQUIRED TO BE A MINIMUM ELV. OF 9" BELOW BM 19.11'NGVD
 E DRAINFIELD ROCK MUST BE 5 FT. FROM PROPERTY LINES. SEPTIC TANK OUTLET
 R FILTER MUST BE INSTALLED. SEE "SPECIAL CONDITIONS" LIST!

SPECIFICATIONS BY: EDGAR MORALES TITLE: ENV. SPL. II

APPROVED BY: RAY CROSS TITLE: ENV. SUPV. II MARTIN CPHU

DATE ISSUED: 03/27/96 EXPIRATION DATE: 09/27/97

#4201

FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33rd STREET

FORT PIERCE, FLORIDA 34946

FORT PIERCE: (561) 461-7508

VERO BEACH: (561) 567-6167

STUART: (561) 283-7711

**Report
of
DENSITY OF SOIL IN PLACE
ASTM D2922**

Client Pace 2000

Date June 16, 1997

Contractor Client

Site Lot 73, Rio Vista, Sewalls Point
Foundation Fill

Permit #

Test No.	Location	Elevation	In Place Dry Density	Moisture Density Relationship		Percent Compaction
				Test No.	Max Dry Density	
3363	N.W. Corner	0 - 1'	107.2	3363	108.2	99.1
	"	1 - 2'	105.3			97.3
	Center	0 - 1'	106.6			98.5
	"	1 - 2'	106.2			98.2
	"	2 - 3'	107.0			98.9
	S.E. Corner	0 - 1'	106.5			98.4
	"	1 - 2'	107.2			99.1
	"	2 - 3'	107.5			99.4
	"	3 - 4'	107.1			99.0
	All elevations below slab grade.					

Copies Client - 2

Respectfully submitted,

FRASER ENGINEERING & TESTING, INC.



PAUL H. DANFORTH, PE., FL Reg. No. 44653

FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33rd STREET

FORT PIERCE, FLORIDA 34946

FORT PIERCE: (561) 461-7508
 VERO BEACH: (561) 567-6167
 STUART: (561) 283-7711

Report of MOISTURE DENSITY RELATIONSHIP ASTM 1557-70

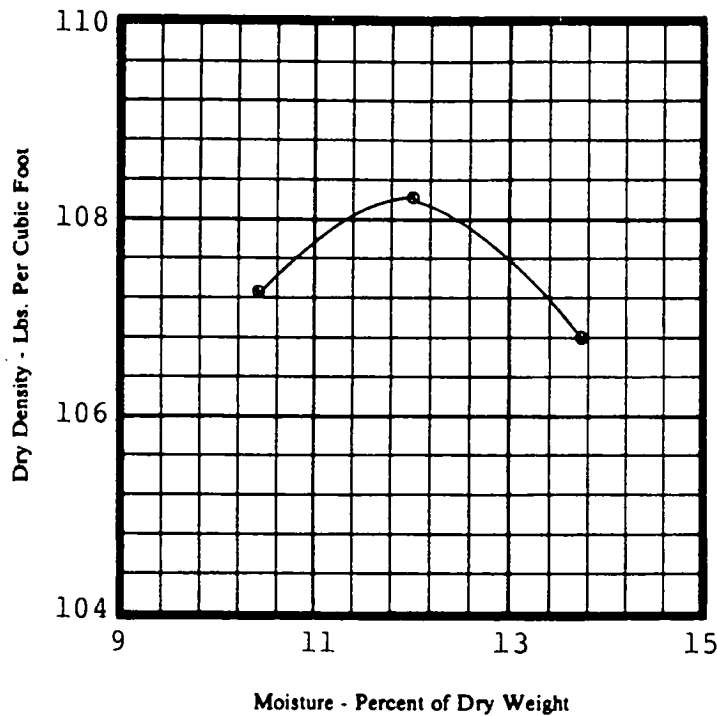
Client Pace 2000

Date June 16, 1997

Contractor Client

Site Lot 73, Rio Vista, Sewalls Point
 Foundation Fill

Permit #



Test No.	Test Method	Sample Location	Optimum Moisture %	Max Dry Density-P.C.F.	Soil Description
3363	B	Composite	12.0	108.2	Brown, slightly silty, fine sand.

Copies

Respectfully submitted,

Paul H. Danforth

 PAUL H. DANFORTH, P.E.

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

FORM 600A-93 Residential Whole Building Performance Method A SOUTH
PROJECT NAME: BRADICE BUILDER: PACE 2000 INC.
AND ADDRESS: PERMITTING CLIMATE
OFFICE: ZONE: 7!_! 8!_! 9!_!
OWNER: BRADICE PERMIT NO. JURISDICTION NO.531300 CK

Table with 2 columns: Description and Value. Rows include construction type (New Construction), floor area (2742.20 sq.ft.), eave overhang (1.50 ft.), porch overhang (12.50 ft.), glass area, floor insulation, net wall area, ceiling area, air distribution, cooling system, heating system, hot water system, infiltration practice, HVAC credits, and EPI points.

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature]
DATE: 8/27/07

I hereby certify that this building is in compliance with the Florida Energy Code.

OWNER/AGENT: [Signature]
DATE: 8/12/07

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance in accordance with Section 553.908 F.S.

BUILDING OFFICIAL:
DATE:

 SUMMER CALCULATIONS

=== BASE ===				=== AS-BUILT ===						
GLASS-ORIENT	AREA	x BSPM =	POINTS	TYPE	SC	ORIENT	AREA	x SPM	x SOF	= POINTS
N	51.80	109.7	5682.5	SGL CLR		N	11.6	64.5	.87	650.9
				SGL CLR		N	11.6	64.5	.87	650.9
				SGL CLR		N	11.6	64.5	.87	650.9
				SGL CLR		N	17.0	64.5	.85	932.0
NE	57.30	109.7	6285.8	SGL CLR		NE	19.3	94.8	.86	1573.5
				SGL CLR		NE	21.0	94.8	.76	1513.0
				SGL CLR		NE	17.0	94.8	.55	891.8
E	130.40	109.7	14304.9	SGL CLR		E	16.2	136.3	.87	1921.0
				SGL CLR		E	21.0	136.3	.87	2490.2
				SGL CLR		E	70.0	136.3	.40	3839.1
				SGL CLR		E	23.2	136.3	.87	2751.1
SE	40.30	109.7	4420.9	SGL CLR		SE	19.3	146.2	.70	1975.2
				SGL CLR		SE	21.0	146.2	.85	2609.7
S	44.20	109.7	4848.7	SGL CLR		S	16.2	135.6	.83	1823.3
				SGL CLR		S	28.0	135.6	.83	3151.3
W	124.10	109.7	13613.8	SGL CLR		W	16.2	136.3	.87	1921.0
				SGL CLR		W	16.2	136.3	.87	1921.0
				SGL CLR		W	14.0	136.3	.71	1361.8
				SGL CLR		W	45.3	136.3	.90	5536.4
				SGL CLR		W	32.4	136.3	.87	3842.0

.15 x COND. FLOOR / TOTAL GLASS = ADJ. x GLASS = ADJ GLASS	AREA	AREA	FACTOR	POINTS	POINTS	GLASS POINTS
.15	2,742.20	448.10	.918	49,156.57	45,122.90	42,006.08

NON GLASS										
AREA	x	BSPM =	POINTS	TYPE	R-VALUE	AREA	x	SPM =	POINTS	
WALLS										
Ext	2049.0	1.6	3278.4	Ext NormWtBlock In	8.2	1350.0	1.42	1917.0		
				Ext Wood Frame	11.0	699.0	2.70	1887.3		
Adj	61.0	1.0	61.0	Adj Wood Frame	11.0	61.0	1.00	61.0		
DOORS										
Adj	18.0	2.6	46.8	Adj Wood		18.0	3.80	68.4		
CEILINGS										
UA	2742.2	.8	2193.8	Under Attic	30.0	3049.9	.80	2439.9		
FLOORS										
Slb	204.2	-20.0	-4084.0	Slab-on-Grade	.0	204.2	-20.00	-4084.0		
Rsd	86.0	-2.2	-185.8	Rsd Wood Adjacent	.0	86.0	3.40	292.4		
INFILTRATION										
	2742.2	14.7	40310.3	Practice #2		2742.2	14.70	40310.3		

TOTAL SUMMER POINTS	86,743.44	84,898.44
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TOTAL SUM PTS	x SYSTEM MULT	= COOLING POINTS	TOTAL COMPON	x CAP RATIO	x DUCT MULT	x SYSTEM MULT	x CREDIT MULT	= COOLING POINTS
86,743.44	.37	32,095.07	84,898.44	1.00	1.100	.340	1.000	31,752.02

 WINTER CALCULATIONS

=== BASE ===				=== AS-BUILT ===						
GLASS-----										
ORIEN	AREA	x BWPM =	POINTS	TYPE	SC	ORIEN	AREA	x WPM	x WOF	= POINTS
N	51.80	-.4	-20.7	SGL CLR		N	11.6	3.7	1.06	45.5
				SGL CLR		N	11.6	3.7	1.06	45.5
				SGL CLR		N	11.6	3.7	1.06	45.5
				SGL CLR		N	17.0	3.7	1.07	67.1
NE	57.30	-.4	-22.9	SGL CLR		NE	19.3	2.9	1.13	63.2
				SGL CLR		NE	21.0	2.9	1.21	73.7
				SGL CLR		NE	17.0	2.9	1.38	68.0
E	130.40	-.4	-52.2	SGL CLR		E	16.2	.1	3.78	6.1
				SGL CLR		E	21.0	.1	3.78	7.9
				SGL CLR		E	70.0	.1	18.55	129.8
				SGL CLR		E	23.2	.1	3.78	8.8
SE	40.30	-.4	-16.1	SGL CLR		SE	19.3	-2.1	.48	-19.5
				SGL CLR		SE	21.0	-2.1	.76	-33.5
S	44.20	-.4	-17.7	SGL CLR		S	16.2	-2.0	.79	-25.6
				SGL CLR		S	28.0	-2.0	.79	-44.2
W	124.10	-.4	-49.6	SGL CLR		W	16.2	.1	3.78	6.1
				SGL CLR		W	16.2	.1	3.78	6.1
				SGL CLR		W	14.0	.1	7.54	10.6
				SGL CLR		W	45.3	.1	3.25	14.7
				SGL CLR		W	32.4	.1	3.78	12.2

.15 x COND.	FLOOR /	TOTAL GLASS	= ADJ.	x	GLASS	=	ADJ GLASS	GLASS
AREA	AREA	AREA	FACTOR		POINTS		POINTS	POINTS
.15	2,742.20	448.10	.918		-179.24		-164.53	488.11

NON GLASS-----										
AREA	x	BWPM =	POINTS	TYPE	R-VALUE	AREA	x	WPM =	POINTS	
WALLS-----										
Ext	2049.0	.3	614.7	Ext NormWtBlock In	8.2	1350.0	.61	823.5		
				Ext Wood Frame	11.0	699.0	.60	419.4		
Adj	61.0	.5	30.5	Adj Wood Frame	11.0	61.0	.50	30.5		
DOORS-----										
Adj	18.0	1.3	23.4	Adj Wood		18.0	1.90	34.2		
CEILINGS-----										
UA	2742.2	.1	274.2	Under Attic	30.0	3049.9	.10	305.0		
FLOORS-----										
Slb	204.2	-2.1	-428.8	Slab-on-Grade	.0	204.2	-2.10	-428.8		
Rsd	86.0	-.3	-24.1	Rsd Wood Adjacent	.0	86.0	1.70	146.2		
INFILTRATION-----										
	2742.2	1.2	3290.6	Practice #2		2742.2	1.20	3290.6		

TOTAL WINTER POINTS	3,616.03							5,108.72
---------------------	----------	--	--	--	--	--	--	----------

TOTAL x SYSTEM	= HEATING	TOTAL x CAP x DUCT x SYSTEM x CREDIT	= HEATING
WIN PTS	MULT	COMPON RATIO MULT MULT MULT	POINTS
3,616.03	1.10	5,108.72 1.00 1.100 .338 1.000	1,899.42

WATER HEATING

=== BASE ===

=== AS-BUILT ===

=====

NUM OF BEDRMS	x	MULT	=	TOTAL		TANK VOLUME	EF	TANK RATIO	x	MULT	x	CREDIT MULT	=	TOTAL
4		3319.0		13,276.00		50	.90	1.000		3244.7		1.00		12,978.67

=====

SUMMARY

=== BASE ===

=== AS-BUILT ===

=====

COOLING POINTS	+	HEATING POINTS	+	HOT WATER POINTS	=	TOTAL POINTS		COOLING POINTS	+	HEATING POINTS	+	HOT WATER POINTS	=	TOTAL POINTS
32095.1		3977.6		13276.0		49,348.70		31752.0		1899.4		12978.7		46,630.11

=====

 * EPI = 94.49 *

File name: BRADICE.bld

Job #: For: BRADICE

	Htg	Clg
Outside db	45	91
Inside db	70	75
Design TD	25	16
Daily Range	-	M
Inside Humid.	-	50
Grains Water	-	62
Method	Simplified	
Const. qlty	Average	
Fireplaces	0	

By: PACE 2000 INC.
 208 S.W. PORT ST. LUCIE BLVD.
 PORT ST. LUCIE FL 34984
 (561) 340-7223

HEATING EQUIPMENT

COOLING EQUIPMENT

Make RUUD
 Model 8.81 kW
 Type elec
 Efficiency / HSPF 100.00
 Heating Input 30080 Btuh
 Heating Output 30080 Btuh
 Heating Temp Rise 19 Deg F
 Actual Heating Fan 1457 CFM
 Htg Air Flow Factor 0.051 CFM/Btuh

Make RUUD
 Model UPKA-048JA
 Type ashp
 COP/EER/SEER 10.00
 Sensible Cooling 32200 Btuh
 Latent Cooling 13800 Btuh
 Total Cooling 46000 Btuh
 Actual Cooling Fan 1457 CFM
 Clg Air Flow Factor 0.048 CFM/Btuh

Space Thermostat

Load Sensible Heat Ratio 82

ROOM NAME	AREA SQ.FT.	Htg BTUH	Clg BTUH	Htg CFM	Clg CFM
M/B TOILET	30	26	44	1	2
MST CLOSET	128	632	315	32	15
MST BEDROOM	355	4846	3953	246	189
UTILITY	61	1051	3134	53	150
FOYER	119	3616	2636	184	126
1/2 BATH	29	25	42	1	2
FAMILY	416	4732	2845	240	136
LIVING	234	3941	3040	200	145
DINING	185	1968	2104	100	101
KITCHEN	175	702	5766	36	276
BREAKFAST	172	5466	4810	277	230
BALCONY	108	94	157	5	8
MASTER BATH	119	1607	1612	82	77
(Rest of House) n p	2132	28705	30458	1457	1457
Ventilation Air Equip. @ 1.00 RSM		1375	880		
Latent Cooling			31338		
			8578		
TOTALS	2132	30080	39916	1457	1457

File name: BRADICE.bld

Job #:

For: BRADICE

Outside db	Htg	Clg
Inside db	45	91
Design TD	70	75
Daily Range	25	16
Inside Humid.	-	M
Grains Water	-	50
Method	-	62
Const. qlty	Simplified	Average
Fireplaces		0

By: PACE 2000 INC.
208 S.W. PORT ST. LUCIE BLVD.
PORT ST. LUCIE
(561) 340-7223

FL 34984

HEATING EQUIPMENT

Make	RUUD
Model	2.26 kW
Type	e.lec
Efficiency / HSPF	100.00
Heating Input	7713 Btuh
Heating Output	7713 Btuh
Heating Temp Rise	19 Deg F
Actual Heating Fan	364 CFM
Htg Air Flow Factor	0.057 CFM/Btuh

COOLING EQUIPMENT

Make	RUUD
Model	UPKA-018JA
Type	ashp
COP/EER/SEER	10.00
Sensible Cooling	12600 Btuh
Latent Cooling	5400 Btuh
Total Cooling	18000 Btuh
Actual Cooling Fan	364 CFM
Clg Air Flow Factor	0.043 CFM/Btuh

Space Thermostat

Load Sensible Heat Ratio

76

ROOM NAME	AREA SQ.FT.	HTG BTUH	CLG BTUH	HTG CFM	CLG CFM
BEDROOM #2	195	2116	2478	121	107
GUEST BATH	81	788	1123	45	49
BEDROOM #3	174	1423	1953	82	85
BEDROOM #4	160	2011	2848	115	123
ZONE 2 n p	610	6338	8402	364	364
Ventilation Air Equip. @ 1.00 RSM		1375	880		
Latent Cooling			9282		
			4798		
TOTALS	610	7713	14080	364	364

ALBERT BRADICE OR
EVELYN BRADICE
561-288-2404
96 S. RIVER RD.
SEWALL'S POINT, FL 34996

10-8 19 97

366
63-794/670
2

PAY TO THE ORDER OF Building Dept Town of Sewall Pt \$ 90⁰⁰/₁₀₀
Ninety dollars & ⁰⁰/₁₀₀ DOLLARS

Barnett 055-002
3727 Southeast Ocean Boulevard
Stuart, Florida 34996

FOR Oct, Nov, Dec Fees

[Signature] MP

©Carle American Guardian Safety Blue DEB

Date: 10/6/97

This is to request a Certificate of Approval for Occupancy to be issued to:
ALBERT & EVELYN BRADICE for Permit No: 4201
issued to construct A SINGLE FAMILY RES. upon Property described as
follows: Lot 73, Block -, Sect. -, Sub RIO VISTA
known as: 96 SOUTH RIVER ROAD
when completed in conformance with the approved plans, and approval of
the following required inspections.

[Signature]
Owner

Certificate of Occupancy

Town of Sewall's Point, Florida

Lot Stakes/Setbacks	Approved: <u>6/20/97</u>	Termite Protection	Approved: <u>6/23/97</u>
Footings/ Slab	Approved: <u>6/23/97</u>	Rough Plumbing	Approved: <u>6/19/97</u>
Rough Electric	Approved: <u>8/8/97</u>	Lintel/Tie-beam	Approved: <u>6/30/97</u>
Roofing	Approved: <u>9/10/97</u>	Framing/Furring	Approved: <u>8/11/97</u>
Insulation	Approved: <u>9/10/97</u>	HVAC Rough	Approved: <u>8/8/97</u>
Final Electric	Approved: <u>10/3/97</u>	Final Plumbing	Approved: <u>10/3/97</u>
Final HVAC	Approved: <u>10/3/97</u>	Storm Shutters	Approved: <u>10/6/97</u>
Tie-in Survey	Approved: <u>9/30/97</u>	Landscape	Approved: <u>10/6/97</u>

Issued this Sixth day of October, 1997

[Signature] Building Inspector [Signature] Building Commissioner [Signature] Town Clerk



4201

Tax Folio No. _____

TOWN OF SEWALL'S POINT, FLORIDA

BUILDING PERMIT APPLICATION

Owner's Name ALBERT BRADICE

Owner's Address 96 SOUTH RIVER RD. SEWALL'S POINT

Owner's Telephone (561) 335-8373

Fee Simple Titleholder's Name (if other than owner) N/A

Fee Simple Titleholder's Address (if other than owner) N/A

City N/A State N/A Zip N/A

Contractor's Name PACE 2000 INC.

Contractor's Address 208 S.W. PORT ST. LUCIE BLVD.

City PORT ST. LUCIE State FL Zip 34984

Contractor's Telephone (561) 340-7223 License Number CGC-024776

Job Name BRADICE

Job Address 96 SOUTH RIVER RD. SEWALL'S POINT, FL.

City Town of Sewall's Point State Florida Zip 34996

Legal Description KNOWN AS LOT 73, RIO VISTA, AS RECORDED IN PLAT BOOK 67 PAGE 95, PUBLIC RECORDS OF MARTIN COUNTY, FL.

Bonding Company N/A

Bonding Company Address N/A

City N/A State N/A

Architect/Engineer's Name KOEHNEN & HARVEY

Architect/Engineer's Address 208 S.W. PORT ST. LUCIE BLVD. P.S.L.

Mortgage Lender's Name N/A

Mortgage Lender's Address N/A

457 2992

457 2992

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS and AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS APPLICATION, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, MARTIN COUNTY, STATE AGENCIES, OR FEDERAL AGENCIES.

Plumbing Contractor STILL PLUMBING License No. CFLA-19235

Electrical Contractor ED'S ELECTRICAL License No. EC-0001569

Roofing Contractor PAGE ROOF INC. License No. CGC-021776

A/C Contractor P.S.L. HEAT & AIR License No. CAO-36807

Description of Building or Alterations NEW CONSTRUCTION OF A SINGLE FAMILY HOME

Name of Street Designated as Front Building Line and Front Yard SOUTH RIVER ROAD

subdivision RIO VISTA Lot 73 Block _____

Building Area (air conditioned) 2718 sq. ft.

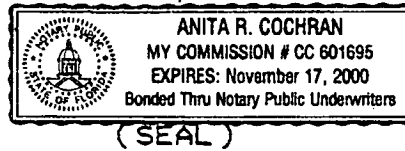
Garage, Porch, Carport Area 722 sq. ft.

Contract Price (excluding carpet, land, appliance, landscaping) \$ 151,272.00

[Signature]
(Owner or Authorized Agent)

DATE 5-7-97

Sworn and Subscribed before me this
7 day of May 1997



[Signature]
NOTARY PUBLIC
State of Florida at Large
My Commission Expires:

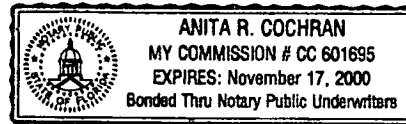
[Signature]
(Contractor)

DATE 5-7-97

Sworn and Subscribed before me this
7 day of May 1997

(SEAL)

[Signature]
NOTARY PUBLIC
State of Florida at Large
My Commission Expires:



Certificate of Competency Holder

Contractor's State Certification or Registration No. CGC-024776

Contractor's Certificate of Competency No. _____

APPLICATION APPROVED BY [Signature] Permit Officer

For Official Use Only

Plans approved as submitted _____ Date _____

Plans approved as marked _____ Date _____

A/C Area _____ sq. ft. x \$60. = \$ _____

Non A/C Area _____ sq. ft. x \$25. = \$ _____

Total = \$ _____

Contract Price \$ _____ (fee will be charged on higher amount)

OWNER'S AFFIDAVIT OF BUILDING COSTS

STATE OF FLORIDA
COUNTY OF MARTIN

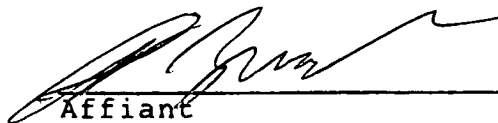
BEFORE ME, the undersigned notary public, personally appeared the undersigned Affiant, who, being first duly sworn, under penalties of perjury, deposes and says:

1. That Affiant is the owner or the authorized agent of the owner of certain real estate (the Property) located within the municipal limits of the Town of Sewall's Point, Florida (the Town), having the street address set forth below Affiant's signature.

2. That all of the improvements on the Property under current building permit(s) issued by the Town have been completed in substantial conformity with the plans and specifications on file with the Town and in accordance with all applicable state and local building codes.

3. That the total cost paid or to be paid by the owner for the complete construction of the improvements under the building permit(s), including the cost of all improvements shown on the plans and specifications filed with the Town and all machinery and equipment not shown thereon required to be installed as a condition for a certificate of occupancy under state and local law, is \$ 154,272⁰⁰.

4. That this affidavit is made for the purpose of inducing the building official of the Town to issue a certificate of occupancy for the improvements, with the intention that it be relied upon for that purpose.

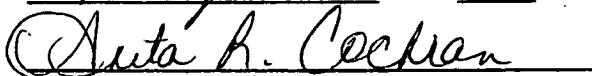


Affiant

Property street address:

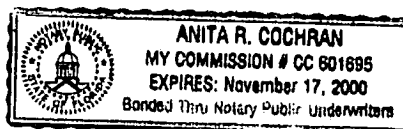
96 South River Rd.
Sewalls Point, Fl. 34996

Sworn to and subscribed
before me this 7 day of
May, 1997.



Notary Public
STATE OF FLORIDA AT LARGE
My Commission Expires:

(NOTARY SEAL)



AC# 4056154

STATE OF FLORIDA
Department of Business and Professional Regulation
CONST INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
07/23/1996	96900427	CG -C024776

The GENERAL CONTRACTOR
Named Below IS CERTIFIED
Under the provisions of Chapter 489, FS.
Expiration date: AUG 31, 1998

KOEHNEN HARVEY EDWARD
PACE-2000 INC
208 SW PT ST LUCIE BLVD
PORT ST LUCIE FL 34984

LAWTON CHILES
GOVERNOR

DISPLAY AS REQUIRED BY LAW

RICHARD T. FARRELL
SECRETARY

**SUBCONTRACTORS LIST
RESIDENTIAL, ADDITIONS, COMMERCIAL**

APPLICANT'S NAME PACE 2000 INC. BUILDING PERMIT # _____

MAILING ADDRESS 208 S.W. PORT ST LUCIE BLVD, PORT ST LUCIE FL, 34984

PLEASE PROVIDE A PRE-APPLICATION SUBCONTRACTORS LIST FOR VERIFICATION. THIS LIST WILL BE RETURNED TO YOU WHEN THE BUILDING PERMIT IS ISSUED TO ENABLE YOU TO COMPLETE AND RETURN TO THE INSPECTIONS DEPARTMENT. **WE REQUIRE, PRIOR TO STARTING WORK, UPDATES, CHANGES, AND ADDITIONS THROUGHOUT CONSTRUCTION.** USING UNLICENSED CONTRACTORS OR SUBCONTRACTORS MAY PREVENT YOU FROM BEING ELIGIBLE FOR INSPECTIONS AND/OR A CERTIFICATE OF OCCUPANCY. FOR INFORMATION CONTACT THE CONTRACTORS' LICENSING OFFICE AT (407) 288-5482 OR (407) 288-5483.

PLEASE INCLUDE ALL MARTIN COUNTY COMPETENCY CARD NUMBERS OR STATE CERTIFICATION NUMBERS. (NOT OCCUPATIONAL LICENSE NUMBERS)

TYPE OF WORK COMPANY NAME LICENSE NUMBER

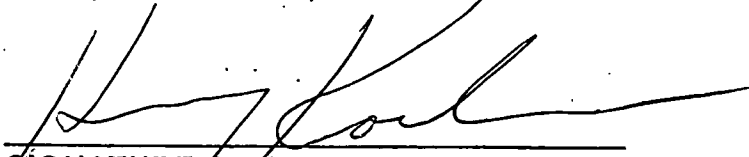
CONCRETE - FORM	Floresta Builders	CGC045226
CONCRETE - FINISH	Floresta Builders	CGC045226
BRICK AND STONE None	Kevin Hill	SP02171
BLOCK MASON	Pace 2000 Inc	CGC024776
COLUMNS AND BEAMS	Pace 2000 Inc	CGC024776
CARPENTRY - ROUGH	Pace 2000 Inc	CGC024776
CARPENTRY - FINISH	Pace 2000 Inc	CGC024776
GARAGE DOOR	Kavanaugh Spec	SP01590
ACOUSTICAL	_____	_____
DRYWALL - HANG	P & N Drywall	SP00559
DRYWALL - FINISH	P & N Drywall	SP00559
INSULATION	Magic Triangle	SP1483
LATHING	_____	_____
FIREPLACE	Autumn Mood	CRC 056637
PAVING	_____	_____
WELL	A & C Well Drilling	2273
LP GAS	_____	_____
PAINTING	Pace 2000 Inc	CGC024776
PLASTER AND STUCCO	Walls Plastering	SP00329
STAIRS AND RAILS	_____	_____
ROOFING	Pace 2000 Inc	CGC024776
SEPTIC SYSTEM	St. Lucie Septic	SP00155
TILE AND MARBLE	John Wayne/ Mike Nesci	SP01360
WINDOWS AND DOORS	Pace 2000 Inc	CGC026776
* PLUMBING	Still Plumbing	CFCA19235

* H.A.R.V.	Polk Structure Heat + Air	CACO 36807
* ELECTRICAL	Ed's Electric	EC 0001569
* LOW VOLTAGE: SECURITY VACUUM SOUND	Safe + Secure	EC 0000756
* IRRIGATION	Phil Castellano	SP 02037

* REQUIRES SEPARATE VERIFICATION FORMS.

I CERTIFY THAT THE ABOVE INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE PERFORMED BY MARTIN COUNTY OR STATE LICENSED CONTRACTORS.

I UNDERSTAND THAT A COMPLETE NOTARIZED SUBCONTRACTORS LIST IS REQUIRED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.




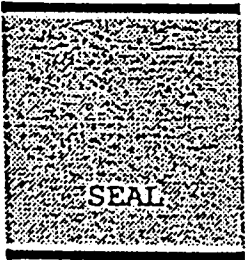
 SIGNATURE OF CONTRACTOR
 (OR OWNER BUILDER IF APPLICABLE)

STATE OF FLORIDA
 COUNTY OF MARTIN

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE THIS 8 DAY OF May, 1997, BY Harvey Koehner, WHO IS PERSONALLY KNOWN TO ME OR WHO PRODUCED _____ AND WHO DID TAKE AN OATH.


 NOTARY SIGNATURE

 ANITA R. COCHRAN
 MY COMMISSION # CC 601696
 EXPIRES: November 17, 2000
 Bonded Thru Notary Public Underwriters



4229

POOL

MASTER PERMIT NO. 4201

TOWN OF SEWALL'S POINT

Date 8/1/97

BUILDING PERMIT NO. 4229

Building to be erected for ALBERT & EVELYN BRADICE Type of Permit Pool

Applied for by A & G CONCRETE POOLS (Contractor) Building Fee _____

Subdivision RIO VISTA Lot 73 Block _____ Radon Fee _____

Address 96 S. RIVER ROAD Impact Fee _____

Type of structure SLD. POOL A/C Fee _____

Electrical Fee _____

Parcel Control Number:

Plumbing Fee _____

1238410020000073040000

Roofing Fee _____

Amount Paid 200 Check # 20371 Cash _____ Other Fees (_____) _____

Total Construction Cost \$ 12,000 TOTAL Fees 200-

A & G C
VENDOR
PAYEE

Signed _____

Signed [Signature]

Applicant

Town Building Inspector

A & G CONCRETE POOLS, INC.

410 SAEGER AVENUE
FORT PIERCE, FL 34982
(561) 878-7752

PORT ST. LUCIE NATIONAL BANK

63-1361/670

20371

CHECK

20371

PAY TWO HUNDRED DOLLARS

DATE
07/29/97

AMOUNT
*****\$200.00

TO THE ORDER OF Sewalls Point Building dept.

A & G CONCRETE POOLS, INC.

[Signature]

AUTHORIZED SIGNATURE

4229

MEMO: PERMIT BRADICE

TAX FOLIO NO. _____

DATE _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner BRADICE Present address 96 South River Rd
Phone 692-1700 SEWALLS POINT FL 34996

Contractor A & G Concrete Pools Address 410 SAEGER AVE
Phone 878-7752 FT PIERCE, FL. 34982

Where licensed MARTIN Cty License number SP01599

Electrical Contractor Ed's Electric License number _____

Plumbing Contractor A & G Concrete Pools License number SP01599

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: gunite Pool & patio

State the street address at which the proposed structure will be built:

Subdivision Rio Vista Lot Number 73 Block Number _____

Contract price \$ 12,000 Cost of permit \$ 200.⁰⁰

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-Tagging" the construction project.

Contractor Attho Lalle

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

Date submitted 7/31/97

Approved: [Signature] 8/1/97
Building Inspector Date

Approved: [Signature]
Commissioner Date

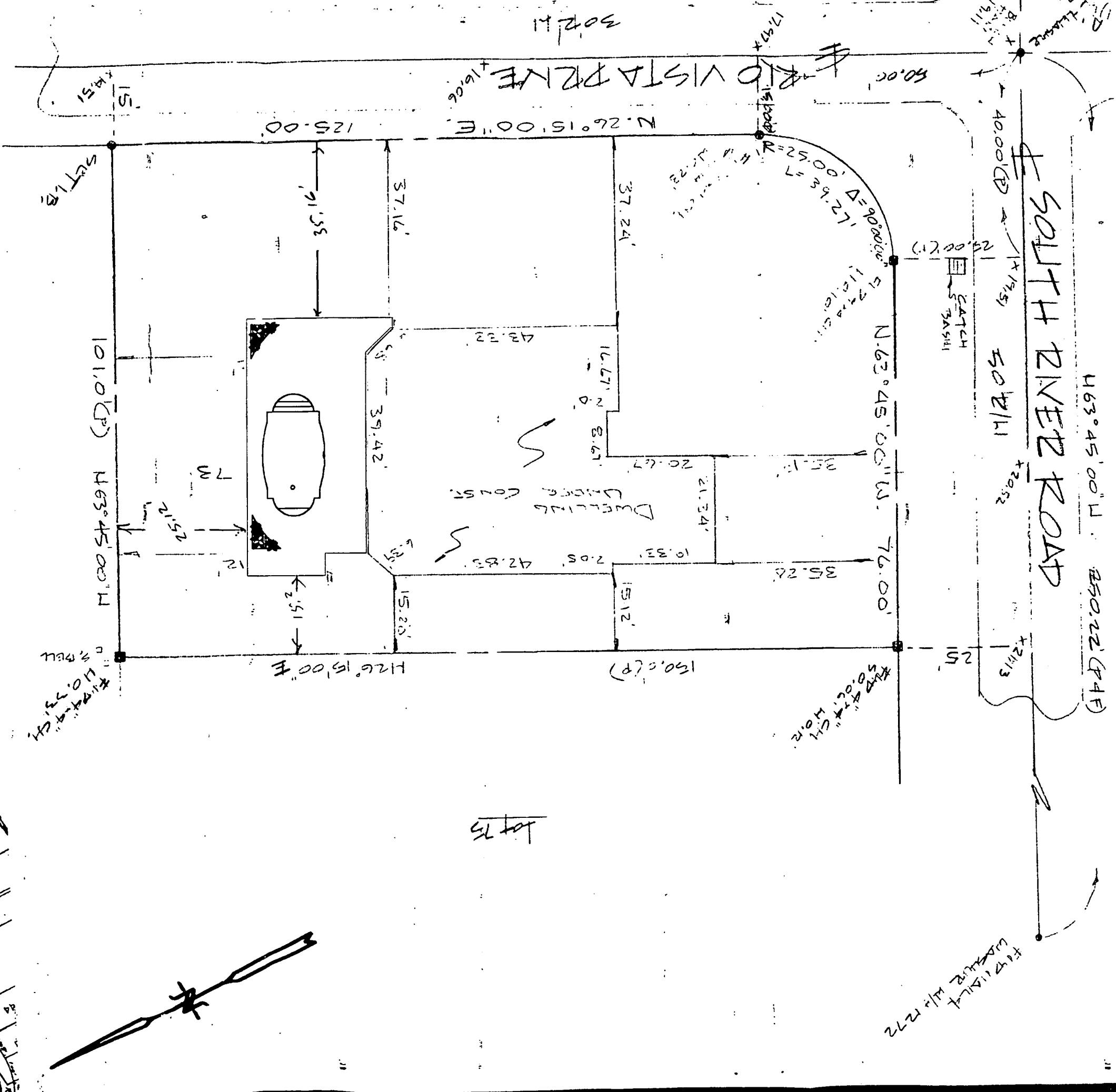
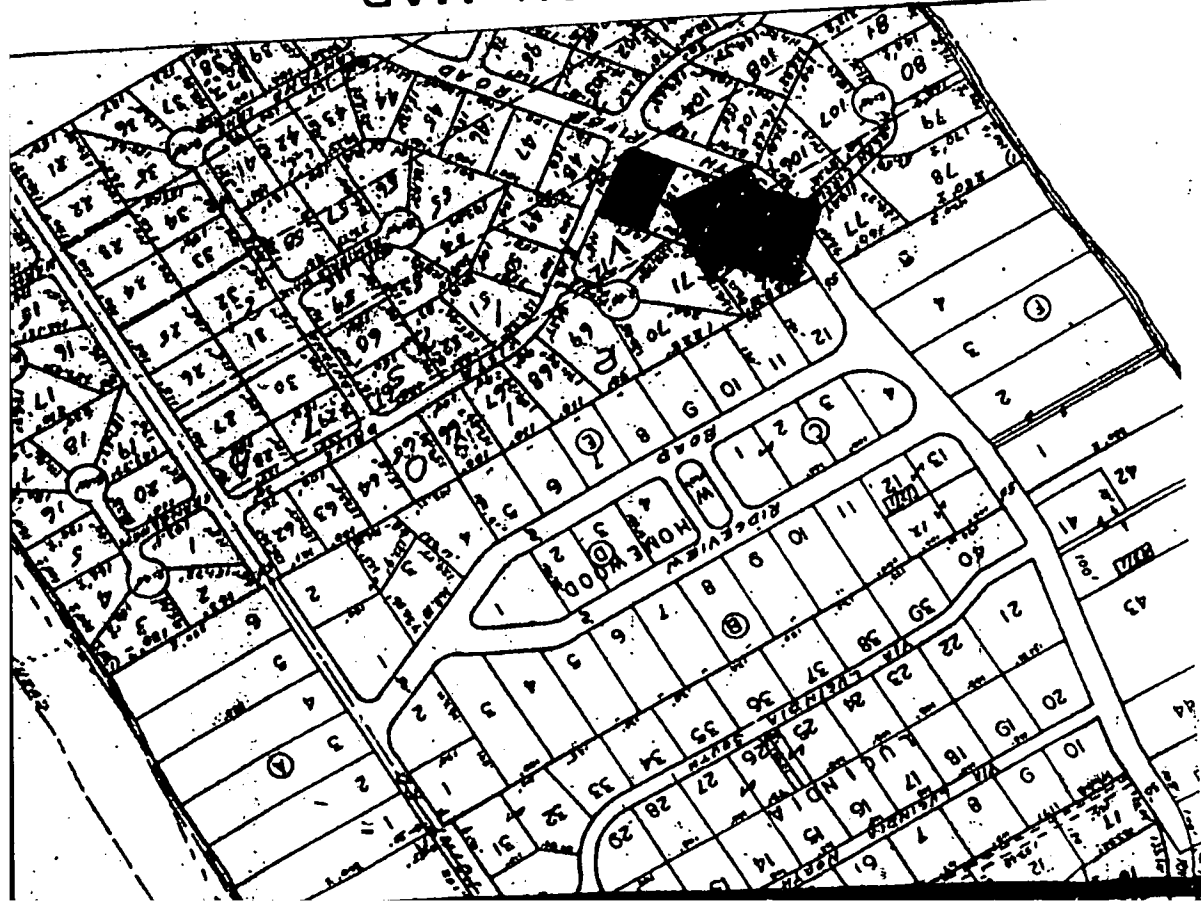
Final approval given: _____
Date

CERTIFICATE OF OCCUPANCY issued (if applicable) _____
Date

PERMIT NO. _____

LEGAL DESCRIPTION
 KNOWN AS LOT 73, RIO VISTA, AS
 RECORDED IN PLAT BOOK 6, PAGE 95,
 PUBLIC RECORDS OF MARTIN COUNTY,
 FLORIDA.

LOCATION MAP



Lot 72

Lot 75

FIELD MARKER WITH 1272

NOTICE OF COMMENCEMENT.

Prepared by
+
Return to
Anita Cochran

THE UNDERSIGNED HEREBY INFORMS ALL CONCERNED THAT IMPROVEMENTS WILL BE MADE TO CERTAIN PROPERTY, AND , IN ACCORDANCE WITH SECTION 713.13 OF THE FLORIDA STATUTES. THE FOLLOWING INFORMATION IS STATED IN THIS NOTICE OF COMMENCEMENT. THIS NOTICE SHALL BE VOID AND OF NO FORCE AND EFFECT IF CONSTRUCTION IS NOT COMMENCED WITHIN 30 DAYS OF RECORDATION.

PACE 2000 INC.
208 SW PORT ST LUCIE BLVD
PORT ST LUCIE FL 34984

Legal Description of Property(include street address. if available.)

..... Lot 73, Rio Vista Subdivision
..... Swells Point, Fl. 34996

General description of improvements... Single family Residence

..... w/ pool

Owner: Albert + Evelyn Bradice

Address: 96 South River Rd. Swells Point, Fl. 34996

Owners interest in site of improvements: Residence

Simple fee Title holder(if other than owner)

Name: None

Address:

Contractor: PACE 2000 INC.

Address: 208 SW PORT ST LUCIE BLVD
PORT ST LUCIE FL 34984

Surety (if any): None

Address: Amt. of bond. \$.....

Any person making a loan for the construction of the improvements.

Name: None

Address:

Person within the State of Florida designated by owner upon whom notices or other documents may be served:

Name: None

Address:

In addition to himself, owner designates the following person to receive a copy of the Lienor,s Notice as provided in Section 713.13.(1)(h), Florida Statutes.(Fill in at Owner,s option).

Name: None

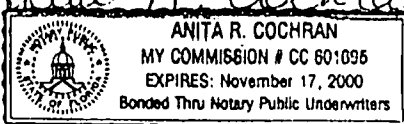
Address:

This space for Recorders use only.

Owners signature. *Albert Bradice*

Sworn to and subscribed before me
this 8 day of May 19 97.

Anita R. Cochran



STATE OF FLORIDA
MARTIN COUNTY
THIS IS TO CERTIFY THAT THE
FOREGOING PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL
MARSHA STILLER, CLERK
BY *J. D. G. L. M. S.* D.C.
DATE *5 13 97*



4268


FENCE


JUSTWOOD FENCE CO.
 PHONE 407-220-8451
 5030 PINE RIDGE WAY
 STUART, FL 34997

1149
 83-8711/2870
 8

Oct 7 1997

PAY TO THE ORDER OF TOWN OF SEWALL'S POINT \$ 50.00

FIFTY NO DOLLARS  Security feature on window Details on back

 **Community Savings**
 STUART, FLORIDA 34997-6695

FOR [REDACTED]

Daniel K. Moore MP

© Charles American Guaranteed Safety Blue ORBBL

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 10/7/97 BUILDING PERMIT NO. 4268

Building to be erected for BRADICE Type of Permit FENCE

Applied for by JUST WOOD FENCE CO (Contractor) Building Fee _____

Subdivision RID VISTA Lot 73 Block _____ Radon Fee _____

Address 96 S. RIVER Rd Impact Fee _____

Type of structure PRIVACY SCREEN A/C Fee _____

Electrical Fee _____

Parcel Control Number: Plumbing Fee _____

1238410020000073040000 Roofing Fee _____

Amount Paid 25⁰⁰ Check # 1149 Cash _____ Other Fees (FENCE) 25⁰⁰

Total Construction Cost \$ 1300 TOTAL Fees 25⁰⁰

Signed X Daniel K. Moore Applicant

Signed X _____ Town Building Inspector

Town of Sewall's Point

P.I.N. _____

Date Oct 7, 1997

ACCESSORY STRUCTURE PERMIT APPLICATION

to construct:

- DOCK requires prerequisite approval from State and Army Corps of Engineers.
- BULKHEAD requires prerequisite approval from State and Army Corps of Engineers.
- DETACHED GARAGE SWIMMING POOL WALL
- SOLAR WATER HEATER SCREENED ENCLOSURE
- FENCE may not require sealed drawings.

OTHER: _____

Owner's Name AL BRADICE

Owner's Address 96 S. RIVER RD

Fee Simple Titleholder's Name (If other than owner) _____

Fee Simple Titleholder's Address (If other than owner) _____

City SEWALL'S POINT State FLA Zip 34996

Contractor's Name DANIEL KIMER (JUSTWOOD FENCE)

Contractor's Address 5030 PINERIDGE WAY

City STUART State FLA. Zip 34997

Job Name _____

Job Address 96 S. RIVER RD Martin County, Stuart, FL 34966

Legal Description LOT 73, RIO VISTA PLAT BOOK 6, PAGE 95

Bonding Company _____

Bonding Company Address _____

City _____ State _____ Zip _____

Architect/Engineer's Name _____

Architect/Engineer's Address _____

Mortgage Lender's Name _____

Mortgage Lender's Address _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

4268

Square Footage _____ Impervious Area _____ Lineal Footage 92' Walls, Fences, Docks
Construction Value 1,300.00 (\$)

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Owner or Agent _____ Date _____
Daniel Kimer Oct 9, 1997
Contractor _____ Date _____

STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this 7th day of Oct, 1997 by Daniel Kimer
who: [] is/are personally known to me, or [] has/have produced FLD.I. as
identification, and who did not take an oath.

(NOTARY SEAL)

OFFICIAL NOTARY SEAL JOAN H BARROW NOTARY PUBLIC STATE OF FLORIDA COMMISSION NO. CC423705 MY COMMISSION EXP. NOV. 30, 1998
--

Joan H Barrow
Name: _____
Typed, printed or stamped
I am a Notary Public of the State of Florida having a commission
number of _____ and my commission expires: _____

STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this ___ day of _____, 199___ by _____, who:
[] is/are personally known to me, or [] has/have produced _____ as identification, and
who did / did not take an oath.

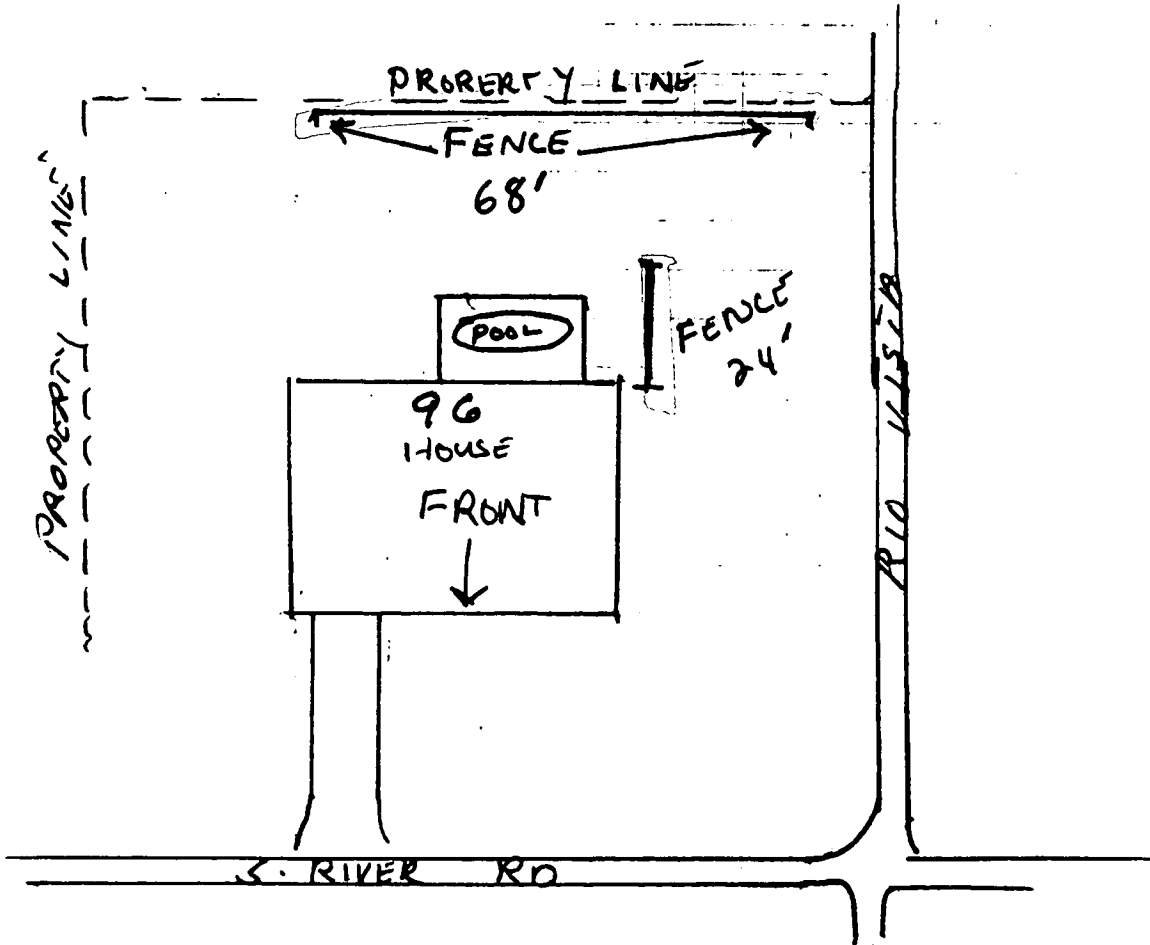
(NOTARY SEAL) Name: _____
Typed, printed or stamped
I am a Notary Public of the State of Florida having a commission
number of _____ and my commission expires: _____

Certificate of Competency Holder

Contractor's State Certification or Registration No. _____
Contractor's Certificate of Competency No. _____

Application Approved [Signature] Building Official _____ Building Commissioner
Date: 10/7/97 Date: _____

JUSTWOOD Fence Co.
5030 Pineridge Way
Stuart, FL 34997



Approval of these plans in no way
relieves the contractor or builder of
complying with the Town of Sewall's
Point's Ordinances, the South Florida
Building Code and the State of Florida
Model Energy Efficiency Building Code.

**APPROVED
AS NOTED**

[Signature]
10/7/97

5853

SHUTTERS

TOWN OF SEWALL'S POINT

Date July 2 - 2002

BUILDING PERMIT NO. 5853
Type of Permit Hurricane Shutters

Building to be erected for Evelyn Bradice
Applied for by Custom Storm Shutters, Inc. (Contractor)

Building Fee 35.00

Subdivision Rio Vista Lot 73 Block _____

Radon Fee _____

Address 96 S. River Rd

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:
1288410020000073040000


Electrical Fee _____

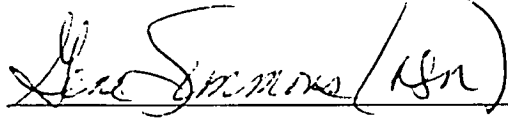
Plumbing Fee _____

Roofing Fee _____

Amount Paid 35.00 Check # 7694 Cash _____ Other Fees (_____)

Total Construction Cost \$ 1400.00 TOTAL Fees 35.00

Signed 
Applicant

Signed 
Town Building Official

PERMIT

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input checked="" type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Building Permit Number: _____

Owner or Titleholder Name: EVELYN BRADICE City: STUART State: FL Zip: 34996

Legal Description of Property: RIO VISTA SUBDIVISION, LOT # 73 Parcel Number: 1238410020000073040000

Location of Job Site: 96 S. RIVER RD. SEWELL'S POINT Type of Work To Be Done: HURRICANE SHUTTERS

CONTRACTOR/Company Name: CUSTOM STORM SHUTTERS, INC. Phone Number: 561-369-3773

Street: 215 SE 8th AVE. City: BOYNTON BEACH State: FL Zip: 33435

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____
CR-C057576

ARCHITECT: NIA Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER: TILTECO, INC. Phone Number: 305-671-1530

Street: 6585 NW 36 ST. #217 City: VIRGINIA GARDENS State: FL Zip: 33166

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

Type Sewage: _____ Septic Tank Permit Number From Health Dept. _____ Well Permit Number: _____

FLOOD HAZARD INFORMATION Flood Zone: _____ Minimum Base Flood Elevation (BFE): _____ NGVD

Proposed First Floor Habitable Floor Finished Elevation: _____ NGVD (Minimum 1 Foot Above BFE)

COST AND VALUES Estimated Cost of Construction or Improvements: \$ 1400.00 Estimated Fair Market Value (FMV) Prior

To Improvements: _____ If Improvement, Is Cost Greater Than 50% Of Fair Market Value YES _____ NO _____

SUBCONTRACTOR INFORMATION

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNANCE, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION

Florida Building Code (Structural, Mechanical, Plumbing, Gas) _____ South Florida Building Code (Structural, Mechanical, Plumbing, Gas) _____

National Electrical Code _____ Florida Energy Code _____

Florida Accessibility Code _____

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (Required) [Signature]

State of Florida, County of: Palm Beach

This the 18th day of June, 2002

by George S. Nagy who is personally

known to me or produced _____

as identification. Susan M. Laird

Notary Public

My Commission Expires: _____ Susan M Laird



My Commission CC942338 Expires June 05, 2004

CONTRACTOR SIGNATURE (Required) [Signature]

On State of Florida, County of: Palm Beach

This the 18th day of June, 2002

by George S. Nagy who is personally

known to me or produced _____

As identification. Susan M. Laird

Notary Public

My Commission Expires: _____ Susan M Laird



Seal My Commission CC942338 Expires June 05, 2004

MARSH USA INC. CERTIFICATE OF INSURANCE CERTIFICATE NUMBER: NYC-001360904-01

PRODUCER
 MARSH USA, INC
 1166 AVENUE OF THE AMERICAS
 NEW YORK, NY 10038

105411-MPP-WC32-02-03

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER OTHER THAN THOSE PROVIDED IN THE POLICY. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES DESCRIBED HEREIN.

COMPANIES AFFORDING COVERAGE	
COMPANY A	CONTINENTAL CASUALTY CO
COMPANY B	
COMPANY C	
COMPANY D	

INSURED
 Custom Plastering Inc
 Custom Storm Shutters Inc
 215 SE 8th Avenue
 Boynton Beach FL 33435

COVERAGES
 THIS IS TO CERTIFY THAT POLICIES OF INSURANCE DESCRIBED HEREIN HAVE BEEN ISSUED TO THE INSURED NAMED HEREIN FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THE CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, CONDITIONS AND EXCLUSIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
	GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input checked="" type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR <input type="checkbox"/> OWNERS & CONTRACTOR'S PROT				GENERAL AGGREGATE \$ PRODUCTS - COMP/OP ACO \$ PERSONAL & ADV INJURY \$ EACH OCCURRENCE \$ FIRE DAMAGE (Any one fire) \$ MED EXP (Any one person) \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - CA ACCIDENT \$ OTHER THAN AUTO ONLY: EACH ACCIDENT \$ AGGREGATE \$
	EXCESS LIABILITY <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input type="checkbox"/> INCL <input type="checkbox"/> EXCL	WC2 47848616	5/17/02	5/17/03	<input checked="" type="checkbox"/> WC STAT-TORY LIMITS <input type="checkbox"/> OTHER EL EACH ACCIDENT \$100 000 EL DISEASE-POLICY LIMIT \$500 000 EL DISEASE-EACH EMPLOYEE \$100 000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS (LIMITS MAY BE SUBJECT TO DEDUCTIBLES OR RETENTIONS)

Minimum Premium Workers' Compensation Policy

CERTIFICATE HOLDER
 Sewell's Point
 1 South Sewell's Road
 Sewells Point, FL 34996

CANCELLATION
 SHOULD ANY OF THE POLICIES DESCRIBED HEREIN BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE INSURER AFFORDING COVERAGE WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED HEREIN, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER AFFORDING COVERAGE, ITS AGENTS OR REPRESENTATIVES.

MARSH USA INC.
 BY: Michael C. Weiss *Michael C. Weiss*

ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID KG
CUSTO-2

DATE (MM/DD/YY)
06/05/02

PRODUCER

INNOVATIVE INS. CONS., INC.
9365 W. SAMPLE ROAD STE.201
CORAL SPRINGS FL 33065
Phone: 954-340-9551 Fax: 954-340-9456

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED

CUSTOM PLASTERING, INC.
CUSTOM STORM SHUTTERS, INC.
CUSTOM MAINTENANCE SVCS, INC.
215 S.E. 8TH AVENUE
BOYNTON BEACH FL 33435

INSURER A: GREAT AMERICAN INSURANCE CO
INSURER B: ST. PAUL INSURANCE CO
INSURER C: TERRA NOVA INS CO
INSURER D:
INSURER E:

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	02-GL-000057429	07/15/01	07/15/02	EACH OCCURRENCE \$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				FIRE DAMAGE (Any one fire) \$ 50,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person) \$ 5,000
	<input checked="" type="checkbox"/> CONTRACT 'L				PERSONAL & ADV INJURY \$ 1,000,000
	<input checked="" type="checkbox"/> B F P D / XCU				GENERAL AGGREGATE \$ 2,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER:				PRODUCTS - COMP/OP AGG \$ 2,000,000
	<input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				
B	AUTOMOBILE LIABILITY	BA00911279	07/15/01	07/15/02	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000
	<input checked="" type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident) \$
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident) \$
<input checked="" type="checkbox"/> HIRED AUTOS					
<input checked="" type="checkbox"/> NON-OWNED AUTOS					
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$
	<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC \$
					AUTO ONLY: AGG \$
	EXCESS LIABILITY				EACH OCCURRENCE \$
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE \$
	<input type="checkbox"/> DEDUCTIBLE				\$
	<input type="checkbox"/> RETENTION \$				\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATUTORY LIMITS OTHER
					E.L. EACH ACCIDENT \$
					E.L. DISEASE - EA EMPLOYEE \$
					E.L. DISEASE - POLICY LIMIT \$
C	OTHER				
	BLDG \$285,000 CONT. \$136,000	PU97370 BUS. INCOME \$100,000	07/15/01	07/15/02	10 DAYS NOTICE IF CANC. FOR NON-PMT

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS
561-369-3748

CERTIFICATE HOLDER | N | **ADDITIONAL INSURED; INSURER LETTER:** _____ **CANCELLATION**

SEWEL-1

TOWN OF SEWELL'S POINT
ONE SEWALL'S POINT ROAD
SEWALL'S POINT FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE
THOMAS J. DEFRANCO

STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
07/27/2000	00002518	0057576

RESIDENTIAL CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489, F.S.
Expiration date: AUG 31, 2002

NAGY, GEORGE STEVE
CUSTOM STORM SHUTTER, INC.
215 SE 8TH AVE.
BOYNTON BEACH, FL 33435

JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

CYNTHIA A. HENDERSON
SECRETARY

PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR HURRICANE SHUTTERS

IMPORTANT NOTICE: All items listed below must accompany your permit application.
No application will be accepted unless all items that are applicable are submitted.

Application form must contain the following information:

1. Property Appraisers Parcel Number or Property Control Number
2. Legal Description of property (Can be found on your deed survey or Tax Bill)
3. ✓ Contractors name, address, phone number and license numbers.
4. *N/A* Name all sub-contractors (properly licensed)
5. ✓ Architects or Engineers name, address, & phone number.
6. ✓ Estimated cost of construction.
7. ✓ Original signature of owner and notarized
8. ✓ Original signature of Contractor and notarized.

Submittals (2 copies)

1. ✓ Window design pressures for site specific conditions
2. ✓ Product approvals from Miami/Dade for the following items:
 - a. Hurricane Shutters
3. Statement of Fact (owner/builder affidavit)
4. Proof of ownership (deed or tax recpt.)
5. Manufactures specifications or shop drawings for hurricane shutters with highlighted areas of specific installation connectors and tracks (one copy signed and sealed)
6. *N/A* A certified copy of the Notice of Commencement for any work over \$2500.00
7. Copy of License (either Martin County Certificate of Competency or State Certified or Registered Contractor License)
8. Copy of Workmen's Compensation
9. Copy of Liability Insurance

**ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE
ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE**



(SIGNATURE OF APPLICANT)

DATE SUBMITTED: _____

6/19/02

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # _____

NOTICE OF COMMENCEMENT

STATE OF _____

COUNTY OF _____

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY(INCLUDE STREET ADDRESS IF AVAILABLE):

GENERAL DESCRIPTION OF IMPROVEMENT: _____

OWNER: _____

ADDRESS: _____

PHONE #: _____

FAX #: _____

CONTRACTOR: _____

ADDRESS: _____

PHONE #: _____

FAX #: _____

SURETY COMPANY(IF ANY) _____

ADDRESS: _____

PHONE # _____

FAX #: _____

BOND AMOUNT: _____

LENDER: _____

ADDRESS: _____

PHONE #: _____

FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____

FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____

FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS _____ DAY OF _____
19____/BY _____

OR
PERSONALLY KNOWN _____
PRODUCED ID _____
TYPE OF ID _____

NOTARY SIGNATURE

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: GEORGE S. NAGY Date: 6/19/02

Signature: 

Address: 215 SE 8th AVE

City & State: BOYNTON BEACH, FL 33435

Permit No. _____

This form is for all permits except electrical.

BUILDING'S MEAN ROOF HEIGHT vs DESIGN LOAD FOR COMPONENTS & CLADDING (P.S.F.) FOR ASCE 7-98 - MEAN ROOF HEIGHT LESS THAN OR EQUAL TO 60 FEET

BASIC WIND SPEED = 140 mph CATEGORY II BUILDINGS (I=1.00)

DESIGN LOADS INDICATED BELOW SHALL ONLY BE USED FOR THE DETERMINATION OF POSITIVE OR NEGATIVE PRESSURES FOR A GIVEN OPENING OR OPENINGS OF A BUILDING WHERE SAID OPENINGS ARE SURROUNDED BY OTHER OPENINGS LOCATED WITHIN THE LOWEST 60 FEET OF BUILDING, AND WHICH ARE PROTECTED AGAINST WIND BORNE DEBRIS BY MEAN OF IMPACT RESISTANT GLASS OR ADEQUATE HURRICANE SHUTTERS.

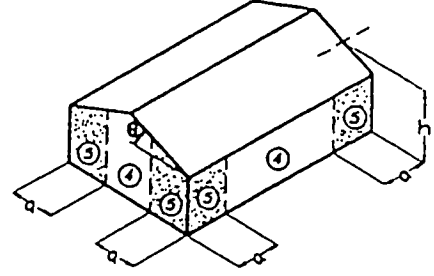
MEAN ROOF HEIGHT (h)	COASTAL & NON COASTAL ZONES (TRIBUTARY AREA = 10 FT ²)						COASTAL & NON COASTAL ZONES (TRIBUTARY AREA = 20 FT ²)						COASTAL & NON COASTAL ZONES (TRIBUTARY AREA = 50 FT ²)						COASTAL & NON COASTAL ZONES (TRIBUTARY AREA = 10 FT ²)						COASTAL & NON COASTAL ZONES (TRIBUTARY AREA = 20 FT ²)						COASTAL & NON COASTAL ZONES (TRIBUTARY AREA = 50 FT ²)					
	POSITIVE LOAD		NEGATIVE LOAD				POSITIVE LOAD		NEGATIVE LOAD				POSITIVE LOAD		NEGATIVE LOAD				POSITIVE LOAD		NEGATIVE LOAD				POSITIVE LOAD		NEGATIVE LOAD				POSITIVE LOAD		NEGATIVE LOAD			
	END & INTERIOR ZONE ⑤ · ④	END ZONE ⑤	INTERIOR ZONE ④		END & INTERIOR ZONE ⑤ · ④	END ZONE ⑤	INTERIOR ZONE ④		END & INTERIOR ZONE ⑤ · ④	END ZONE ⑤	INTERIOR ZONE ④		END & INTERIOR ZONE ⑤ · ④	END ZONE ⑤	INTERIOR ZONE ④		END & INTERIOR ZONE ⑤ · ④	END ZONE ⑤	INTERIOR ZONE ④		END & INTERIOR ZONE ⑤ · ④	END ZONE ⑤	INTERIOR ZONE ④		END & INTERIOR ZONE ⑤ · ④	END ZONE ⑤	INTERIOR ZONE ④		END & INTERIOR ZONE ⑤ · ④	END ZONE ⑤	INTERIOR ZONE ④					
0' - 15'	50.3	67.3	54.5		47.7	61.7		51.9		44.4	55.0		48.8		66.0	83.1		70.3		63.4	77.4		67.7		60.2	70.8		64.5								
> 15'-20'	53.4	71.5	57.9		50.6	65.5		55.2		47.2	58.5		51.8		70.1	88.2		74.7		67.4	82.3		71.9		64.0	75.2		68.6								
> 20'-25'	56.0	74.9	60.7		53.1	68.7		57.8		49.5	61.3		54.3		73.5	92.5		78.3		70.6	86.2		75.4		67.0	78.8		71.9								
> 25'-30'	58.2	77.9	63.1		55.1	71.4		60.1		51.4	63.7		56.4		76.4	96.1		81.3		73.4	89.6		78.3		69.7	81.9		74.7								
> 30'-40'	61.8	82.7	67.0		58.6	75.8		63.9		54.6	67.7		60.0		81.2	102.1		86.4		78.0	95.2		83.2		74.0	87.0		79.3								
> 40'-50'	64.8	86.7	70.2		61.4	79.5		66.9		57.3	70.9		62.8		85.1	107.0		90.6		81.7	99.8		87.2		77.6	91.2		83.1								
> 50'-60'	67.3	90.1	73.0		63.8	82.6		69.6		59.5	73.7		65.3		88.4	111.2		94.1		84.9	103.7		90.7		80.6	94.8		86.4								
0' - 15'	45.2	60.6	49.1		42.9	55.5		46.8		40.0	49.5		43.9		59.4	74.8		63.3		57.1	69.7		60.9		54.2	63.7		58.1								
> 15'-20'	48.1	64.3	52.1		45.6	59.0		49.7		42.5	52.6		46.6		63.1	79.4		67.2		60.6	74.0		64.7		57.6	67.7		61.7								
> 20'-25'	50.4	67.4	54.6		47.8	61.8		52.1		44.5	55.2		48.9		66.2	83.2		70.4		63.6	77.6		67.9		60.3	70.9		64.7								
> 25'-30'	52.3	70.1	56.8		49.6	64.2		54.1		46.3	57.3		50.8		68.8	86.5		73.2		66.0	80.6		70.5		62.7	73.7		67.2								
> 30'-40'	55.6	74.5	60.3		52.7	68.2		57.5		49.2	60.9		54.0		73.0	91.9		77.8		70.2	85.7		74.9		66.6	78.3		71.4								
> 40'-50'	58.3	78.0	63.2		55.3	71.5		60.2		51.5	63.8		56.6		76.6	96.3		81.5		73.5	89.8		78.5		69.8	82.1		74.8								
> 50'-60'	60.6	81.1	65.7		57.4	74.3		62.6		53.6	66.3		58.8		79.6	100.1		84.7		76.4	93.3		81.6		72.6	85.3		77.8								

BUILDING'S MEAN ROOF HEIGHT vs DESIGN LOAD FOR COMPONENTS & CLADDING (P.S.F.) FOR ASCE 7-98 - MEAN ROOF HEIGHT GREATER THAN 60 FEET

BASIC WIND SPEED = 140 mph CATEGORY II BUILDINGS (I=1.00)

DESIGN LOADS INDICATED BELOW SHALL ONLY BE USED FOR THE DETERMINATION OF POSITIVE OR NEGATIVE PRESSURES FOR A GIVEN OPENING OR OPENINGS OF A BUILDING WHERE SAID OPENINGS ARE SURROUNDED BY OTHER OPENINGS LOCATED WITHIN THE LOWEST 60 FEET OF BUILDING, AND WHICH ARE PROTECTED AGAINST WIND BORNE DEBRIS BY MEAN OF IMPACT RESISTANT GLASS OR ADEQUATE HURRICANE SHUTTERS.

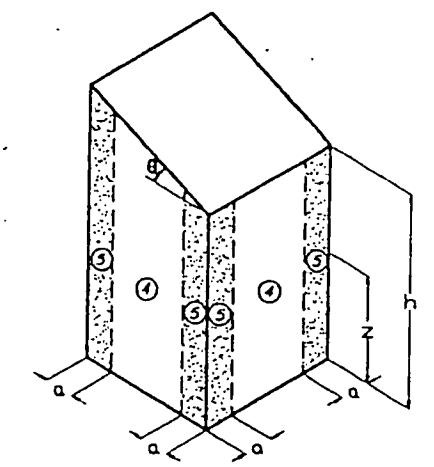
MEAN ROOF HEIGHT (h)	COASTAL & NON COASTAL ZONES (TRIBUTARY AREA = 20 FT ²)						COASTAL & NON COASTAL ZONES (TRIBUTARY AREA = 50 FT ²)						COASTAL & NON COASTAL ZONES (TRIBUTARY AREA = 20 FT ²)						COASTAL & NON COASTAL ZONES (TRIBUTARY AREA = 50 FT ²)					
	POSITIVE LOAD		NEGATIVE LOAD				POSITIVE LOAD		NEGATIVE LOAD				POSITIVE LOAD		NEGATIVE LOAD				POSITIVE LOAD		NEGATIVE LOAD			
	END & INTERIOR ZONE ⑤ · ④	END ZONE ⑤	INTERIOR ZONE ④		END & INTERIOR ZONE ⑤ · ④	END ZONE ⑤	INTERIOR ZONE ④		END & INTERIOR ZONE ⑤ · ④	END ZONE ⑤	INTERIOR ZONE ④		END & INTERIOR ZONE ⑤ · ④	END ZONE ⑤	INTERIOR ZONE ④		END & INTERIOR ZONE ⑤ · ④	END ZONE ⑤	INTERIOR ZONE ④		END & INTERIOR ZONE ⑤ · ④	END ZONE ⑤	INTERIOR ZONE ④	
> 60' - 70'	53.6	116.6	63.6		57.8	100.3		60.0		85.4	138.4		85.4		79.6	122.1		81.8						
> 70' - 80'	65.4	120.0	65.4		59.5	103.2		61.7		87.9	142.4		87.9		81.9	125.6		84.1						
> 80' - 90'	67.1	123.0	67.1		61.0	105.8		63.2		90.1	146.0		90.1		84.0	128.7		86.2						
> 90' - 100'	68.6	125.7	68.6		62.4	108.1		64.6		92.1	149.2		92.1		85.9	131.6		88.1						
> 100' - 120'	71.3	130.7	71.3		64.8	112.4		67.2		95.7	155.1		95.7		89.2	136.8		91.6						
> 120' - 140'	73.6	135.0	73.6		66.9	116.1		69.4		98.8	160.2		98.8		92.2	141.3		94.6						
> 140' - 160'	75.7	138.8	75.7		68.8	119.4		71.4		101.7	164.8		101.7		94.8	145.3		97.3						
> 160' - 180'	77.6	142.3	77.6		70.6	122.4		73.2		104.2	168.9		104.2		97.2	149.0		99.7						
> 180' - 200'	79.4	145.5	79.4		72.2	125.1		74.8		106.5	172.7		106.5		99.3	152.3		102.0						
> 200' - 250'	83.2	152.5	83.2		75.6	131.1		78.4		111.7	181.0		111.7		104.1	159.6		106.9						
> 250' - 300'	86.4	158.5	86.4		78.6	136.3		81.5		116.0	188.1		116.0		108.2	165.9		111.1						
> 300' - 350'	89.3	163.7	89.3		81.2	140.8		84.1		119.9	194.3		119.9		111.8	171.3		114.7						
> 350' - 400'	91.8	168.4	91.8		83.5	144.8		86.5		123.3	199.8		123.3		114.9	176.2		118.0						
> 400' - 450'	94.1	172.6	94.1		85.6	148.4		88.7		126.4	204.8		126.4		117.8	180.7		121.0						
> 450' - 500'	96.2	176.4	96.2		87.5	151.7		90.7		129.2	209.4		129.2		120.5	184.7		123.7						



a: 10% OF LEAST HORIZONTAL DIMENSION OR 0.4H, WHICHEVER IS SMALLER, BUT NOT LESS THAN EITHER 4% OF LEAST HORIZONTAL DIMENSION OR 3 FT.

h: MEAN ROOF HEIGHT, IN FEET, EXCEPT THAT GAVE HEIGHT SHALL BE USED FOR $\theta \leq 10^\circ$

θ : ANGLE OF PLANE OF ROOF FROM HORIZONTAL IN DEGREES



a: 10% OF LEAST HORIZONTAL DIMENSION, BUT NOT LESS THAN 3 FT.

h: MEAN ROOF HEIGHT, IN FEET

z: HEIGHT ABOVE GROUND, IN FEET

θ : ANGLE OF PLANE OF ROOF FROM HORIZONTAL IN DEGREES ($\theta \leq 10^\circ$)

NOTES:

PROFESSIONAL ENGINEER'S SIGNATURE AND SEAL INDICATED ON THIS DRAWING ARE ONLY APPLICABLE TO GENERIC WIND LOAD CHARTS BASED ON A.S.C.E 7-98 SECTION 6, REQUIREMENTS FOR A BASIC WIND SPEED OF 140 mph & APPLICABLE IMPORTANCE FACTORS.

SPECIFIC WIND LOADS MARKED OR HIGHLIGHTED ON THIS GENERIC CHART BY THE CONTRACTOR FOR AN SPECIFIC JOB, AT THE TIME FOR APPLYING FOR A PERMIT, AND DETERMINED BASED ON AN SPECIFIC MEAN ROOF HEIGHT, WIND EXPOSURE, AS WELL AS END AND INTERIOR ZONE, HAVE NOT BEEN ANALYZED BY THIS ENGINEER NOR THEY ARE BEING CERTIFIED BY THIS ENGINEER.

SHOULD THIS CONDITION NOT THE ACCEPTABLE TO THE BUILDING OFFICIAL, THEN THIS SIGNED AND SEALED GENERIC WIND CHART SHALL NOT BE USED TO OBTAIN ANY PERMIT WHERE SPECIFIC DESIGN WIND LOADS ARE REQUIRED TO BE CERTIFIED BY A PROFESSIONAL ENGINEER.

TRIBUTARY AREA: (A_T)

WINDOW DOOR OR SHUTTER AREA AS APPLICABLE EXCEPT THAT FOR FREE STANDING STORM PANELS & ACC SHUTTERS

(A_T) = PANEL SPAN (ft) X PANEL SPAN (ft)

3

TILECO INC.

TILIT TESTING & ENGINEERING COMPANY
 6595 N.W. 36th St., Ste. 217, MERRIMAN GARDENS, FL 33166
 Phone : (305)871-1530 . Fax : (305)871-1531

WALTER A. TILIT Jr. P. E.
 FLORIDA Lic. # 44167

MARTIN COUNTY

ASCE 7-98 / WIND LOAD SCHEDULES

WIND LOAD SCHEDULE

BASIC WIND SPEED = 140 mph (W1)

AS SHOWN SCALE

J/01/00 DATE

00-08 DRAWING No

SHEET 1 OF 1

REV. No	DESCRIPTION	DATE	REV. No	DESCRIPTION	DATE
1	-	-	2	-	-



MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Eastern Metal Supply, Inc.
3600 23rd Ave., South
Lake Worth FL 33461

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

Your application for Product Approval of:

0.050" Bertha Aluminum Storm Panel Shutter

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This approval shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing.

If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 00-0602.04

Expires: 08/07/2003

Raul Rodriguez
Chief Product Control Division

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.

Director
Miami-Dade County
Building Code Compliance Office

Approved: 08/17/2000

1 of 3



Eastern Metal Supply, Inc.

ACCEPTANCE No. : 00-0602.04

APPROVED : AUG 17 2000

EXPIRES : 08/07/2003

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

1. SCOPE

This renews the Notice of Acceptance No. 98-0817.16, which was issued on October 8, 1998. It approves an Aluminum Storm Panel Shutter, as described in Section 2 of this Notice of Acceptance, designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County, for the locations where the pressure requirements, as determined by SFBC Chapter 23, do not exceed the Design Pressure Rating values indicated in the approved drawings.

2. PRODUCT DESCRIPTION

This Aluminum Storm Panel shutter and its components shall be constructed in strict compliance with the following documents: Drawing No. 98-172, titled "0.050" Bertha Storm Panel", prepared by Tilteco, Inc., dated July 7, 1998, last revision #1 dated July 7, 1998, sheets 1 through 8 of 8, signed and sealed by Walter A. Tillit Jr., P.E., bearing the Miami-Dade County Product Control Approval and Renewal stamps with the Notice of Acceptance numbers and approval dates by the Miami-Dade County Product Control Division. These documents shall hereinafter be referred to as the approved drawings.

3. LIMITATIONS

All permanent set components, included but not limited to embedded anchor bolts, threaded cones, metal shields, headers and sills, must be protected against corrosion, contamination and damage at all times.

4. INSTALLATION

This Aluminum Storm Panel Shutter and its components shall be installed in strict compliance with the approved drawings.

5. LABELING

Each panel shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved".

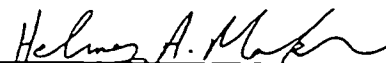
6. BUILDING PERMIT REQUIREMENTS

6.1 Application for building permit shall be accompanied by copies of the following:

6.1.1 This Notice of Acceptance.

6.1.2 Duplicate copies of the approved drawings, as identified in Section 2 of this Notice of Acceptance, clearly marked to show the components selected for the proposed installation.

6.1.3 Any other documents required by the Building Official or the South Florida Building Code (SFBC) in order to properly evaluate the installation of this system.



Helmy A. Makar, P.E. -Product Control Examiner
Product Control Division

Eastern Metal Supply, Inc.

ACCEPTANCE No. : 00-0602.04

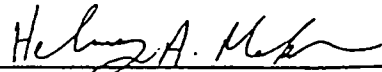
APPROVED : AUG 17 2000

EXPIRES : 08/07/2003

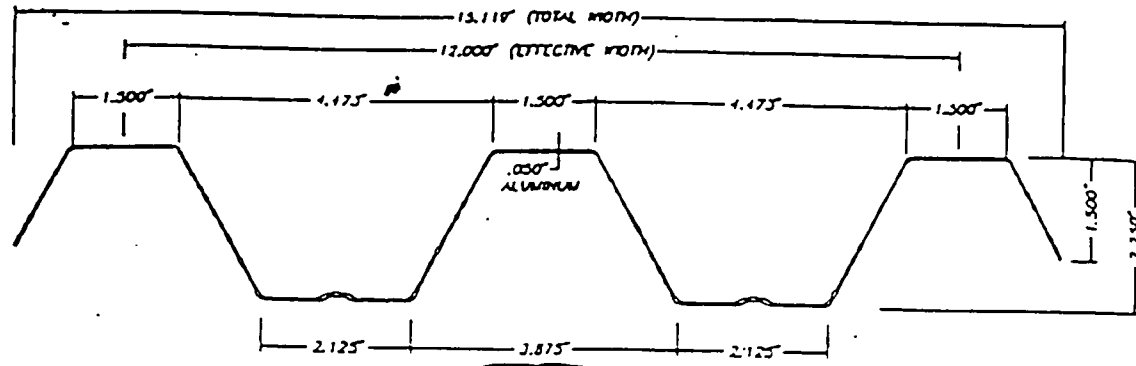
NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documents, including test-supporting data, engineering documents, are no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
 - a. There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes.
 - b. The product is no longer the same product (identical) as the one originally approved.
 - c. If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product.
 - d. The engineer, who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
 - a. Unsatisfactory performance of this product or process.
 - b. Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.
6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engineer need not reseal the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Notice of Acceptance consists of pages 1, 2 and this last page 3.

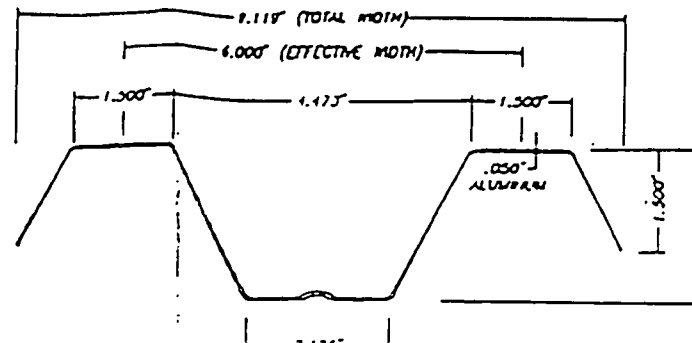
END OF THIS ACCEPTANCE



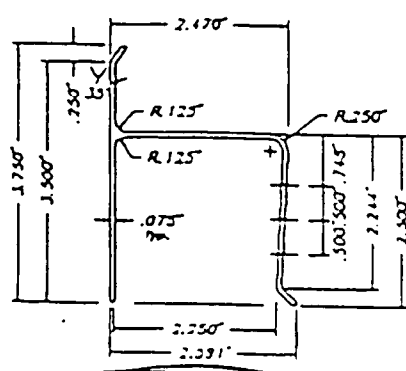
Helmy A. Makar, P.E. -Product Control Examiner
Product Control Division



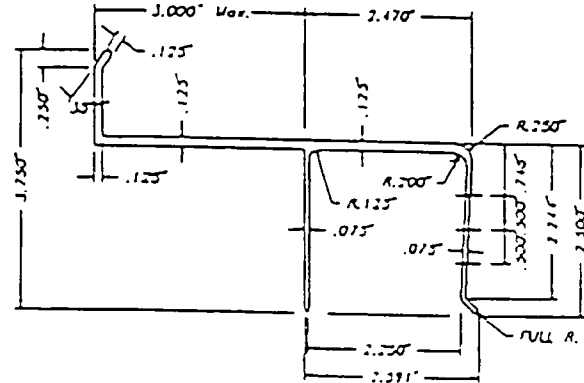
① PANEL
SCALE: 3/8" = 1'



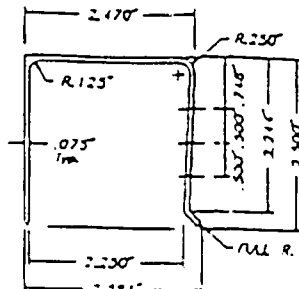
①A HALF PANEL
SCALE: 3/8" = 1'



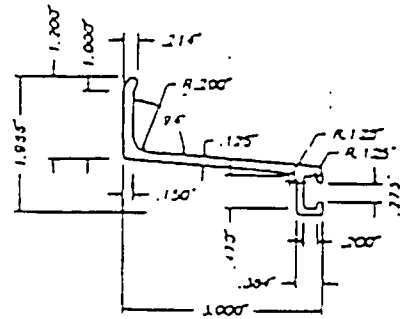
② "h" HEADER
SCALE: 3/8" = 1'



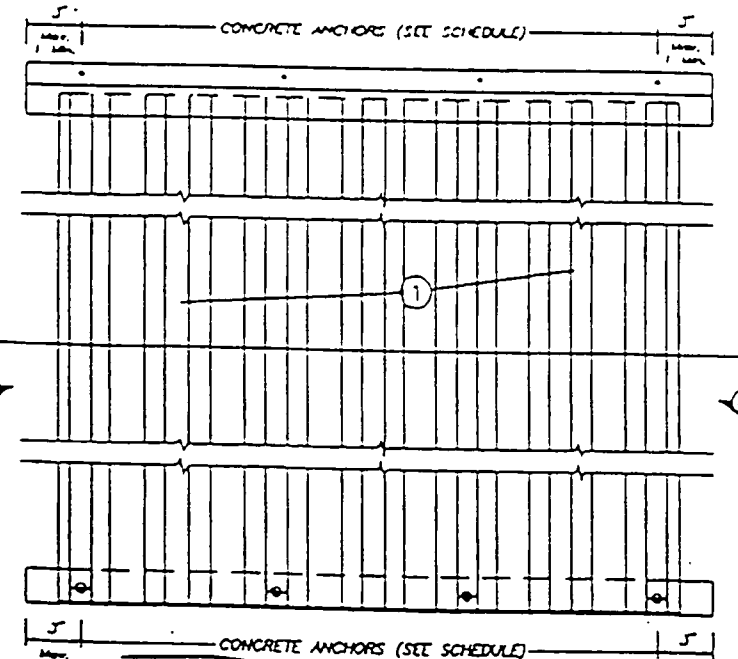
③ 3" Max. "U" BUILD OUT
SCALE: 3/8" = 1'



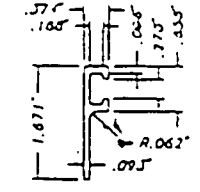
④ "U" HEADER
SCALE: 3/8" = 1'



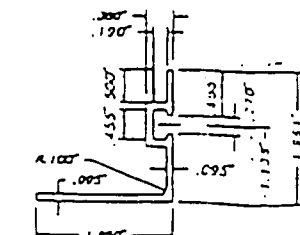
⑤ 5" ANGLE BUILD OUT BRACKET
SCALE: 3/8" = 1'



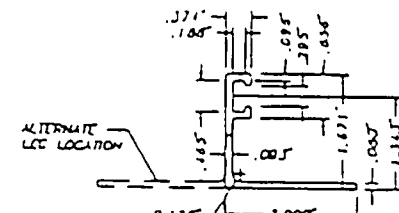
STORM PANEL TYPICAL ELEVATION
K.S.S.



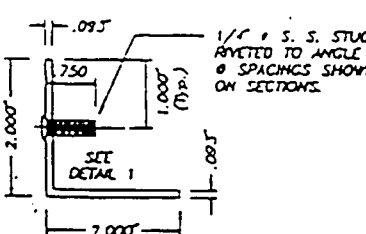
⑥ "F" TRACK
SCALE: 3/8" = 1'



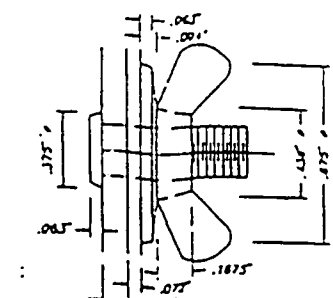
⑦ REVERSED "F" ANGLE TRACK
SCALE: 3/8" = 1'



⑧ "F" TRACK ANGLE
SCALE: 3/8" = 1'



⑨ STUDED ANGLE
6063-T5 ALUM. ALLOY
SCALE: 3/8" = 1'



DETAIL 1: STUD W/ WING NUT

⑩ 2" x 5" (Max.) x .125" ANGLE
SCALE: 3/8" = 1'

GENERAL NOTES:

- STORM PANEL HAS BEEN DESIGNED IN ACCORDANCE WITH THE DADE COUNTY, 1991 EDITION OF THE SOUTH FLORIDA BUILDING CODE. DESIGN WIND LOADS SHALL BE DETERMINED AS PER SECTION 6 OF ASCE 7-88, WITH 110 M.P.H. BASIC WIND SPEED. STORM PANEL'S Adequacy FOR IMPACT AND FATIGUE RESISTANCE HAS BEEN VERIFIED IN ACCORDANCE WITH SECTIONS 2315 & 2314 RESPECTIVELY OF THE ABOVE MENTIONED CODE AS FOR AMERICAN TEST LAB REPORT / 1072.01-98.
 - ALL ALUMINUM SHEET METAL PANELS SHALL HAVE 3003-M32 ALLOY OR 3004-M31 ALLOY.
 - ALL ALUMINUM EXTRUSIONS SHALL BE 6063-T5 ALLOY UNLESS OTHERWISE NOTED.
 - ALL SCREWS TO BE STAINLESS STEEL 304 OR 316 SERIES.
 - BOXTS TO BE 2024-T4 ALUMINUM ALLOY, GALVANIZED OR STAINLESS STEEL WITH 34 IN MINIMUM YIELD POINT.
 - ANCHORS TO WALL SHALL BE AS FOLLOWS: (UNLESS OTHERWISE NOTED)
 - TO EXISTING POURED CONCRETE:
 - 1/2" x TAPCON ANCHORS AS MANUFACTURED BY L.F.X. RAISSET OR ELOD INDUSTRIES.
 - 1/2" x OF LAP-CRIP ANCHORS (BORTHIN STUO-COM), AS MANUFACTURED BY TRU-FAST CORPORATION.
 - 1/2" x RAM ZAMAC MALK ANCHORS AS MANUFACTURED BY THE RAM PLUG COMPANY, INC.
 - 1/2" x 1/8" RAM CALK-M ANCHORS OR ELOD MINN & TOTHER "PANELMATE" AS MANUFACTURED BY THE RAM PLUG COMPANY AND ELOD INDUSTRIES, RESPECTIVELY.
 - TO EXISTING CONCRETE BLOCK WALL:
 - 1/2" x TAPCON ANCHORS AS MANUFACTURED BY L.F.X. RAISSET OR ELOD INDUSTRIES.
 - 1/2" x OF LAP-CRIP ANCHORS (BORTHIN STUO-COM), AS MANUFACTURED BY TRU-FAST CORPORATION.
 - 1/2" x RAM ZAMAC MALK ANCHORS AS MANUFACTURED BY THE RAM PLUG COMPANY, INC.
 - 1/2" x 1/8" RAM CALK-M ANCHORS OR ELOD MINN & TOTHER "PANELMATE" AS MANUFACTURED BY THE RAM PLUG CO. AND ELOD INDUSTRIES, RESPECTIVELY.
- NOTES:
- MINIMUM EMBEDMENT INTO POURED CONCRETE OF TAPCON ANCHORS IS 3/4"; FOR RAM ZAMAC MALK IS 1/2"; & FOR ELOD PANELMATE IS 7/8". AND FOR OF LAP-CRIP ANCHORS IS 1 1/4".
 - 1/8" RAM CALK-M ANCHORS SHALL BE ENTIRELY EMBEDDED INTO THE POURED CONCRETE. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/2" x 20 SCREWS USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.
 - IN CASE THAT PRECAST STONE, PRECAST CONCRETE PANELS OR FINERS BE FOUND ON THE EXISTING WALL OF FLOOR ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SUCH PANELS. ANCHORAGE SHALL BE AS INDICATED ON NOTES A.1) & A.2), ABOVE.
- ANCHORS SHALL BE INSTALLED FOLLOWING ALL OF THE RECOMMENDATIONS AND SPECIFICATIONS OF THE ANCHORS MANUFACTURER.
 - PANELS MAY ALSO BE INSTALLED HORIZONTALLY FOLLOWING INSTALLATION DETAILS SHOWN ON SECTIONS 1 THRU 8 (SHEET 2 & 3 OF 4) EXCEPT THAT HEADERS SHALL BE AS SHOWN ON SECTION 9.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SOUNDNESS OF THE STRUCTURE WHERE SHOWN IS TO BE ATTACHED TO INSURE PROPER ANCHORAGE.
 - SHUTTER MANUFACTURER'S LABEL SHALL BE PLACED AT THE MANUFACTURER'S LOCATION AS FOLLOWS: EASTERN METAL SUPPLY, INC. LAKE WORTH, FLORIDA. DADE COUNTY PRODUCT CONTROL APPROVED.

FILE COPY
TOWN OF SEWELL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE

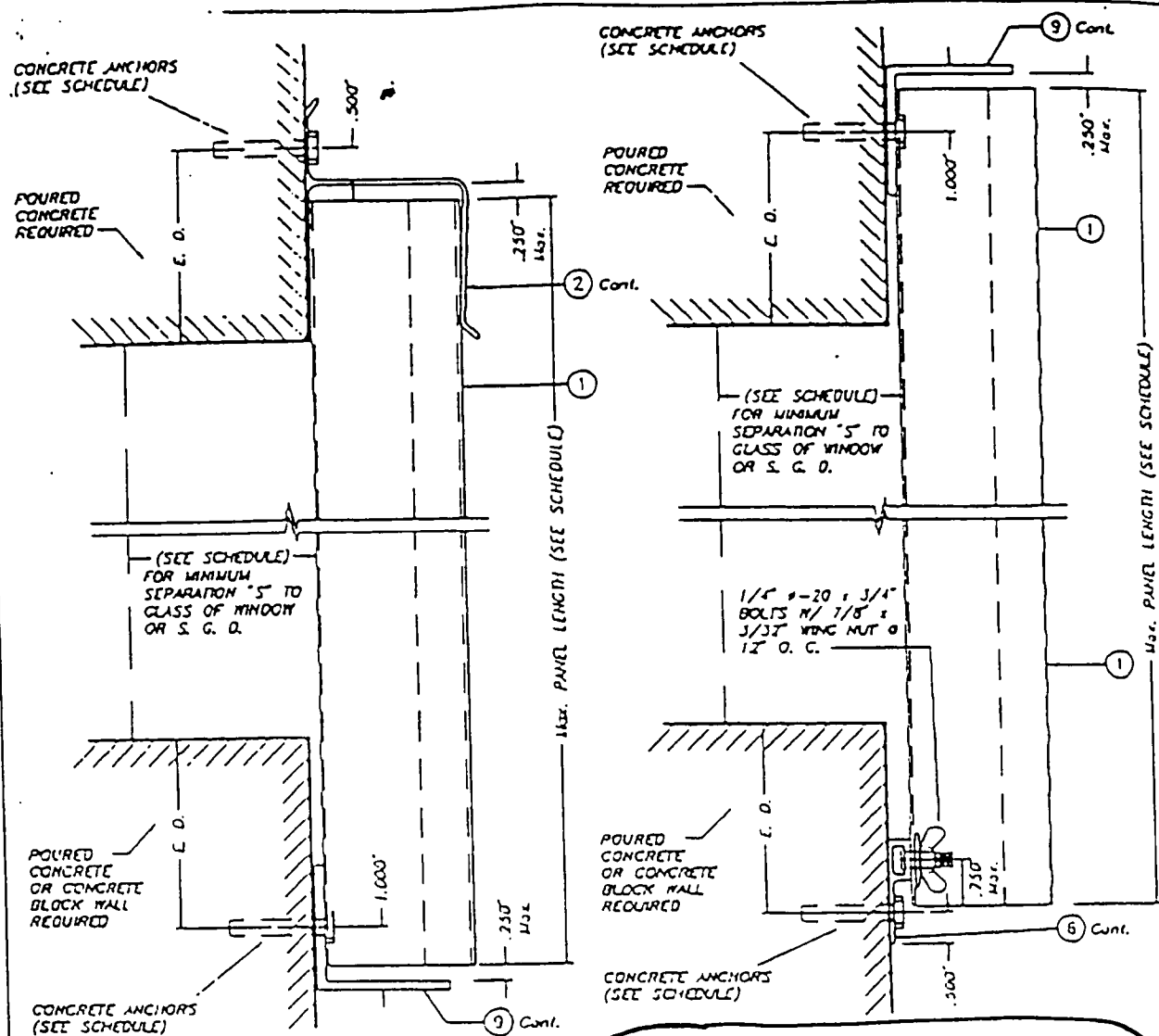
DATE: 6/28/02
BUILDING OFFICIAL
Gene Simmons
APPROVED AS SHOWN WITH THE
SOUTH FLORIDA BUILDING CODE
DATE: October 08, 1998
BY: Helmut A. Miller
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 98-0817.16

TILECO INC.
TILIT TESTING & ENGINEERING COMPANY
1523 N.W. 36th St., Ste. 317, Miramar, Florida 33184
Phone: (305) 471-1520 Fax: (305) 471-1531
WALTER A. TILIT JR., P. E.
FLORIDA LIC. # 44167

0.050" BERTHA STORM PANEL		AS SHOWN SCALE
EASTERN METAL SUPPLY, INC.		7/7/98 DATE
3400 23rd Ave. SOUTH LAKE WORTH, FL 33461-1347		98-172
REV. NO.	DESCRIPTION	DATE
1	OLD 98-172	7/7/98
2		
3		

DRAWING NO. 98-172
SHEET 1 OF 8

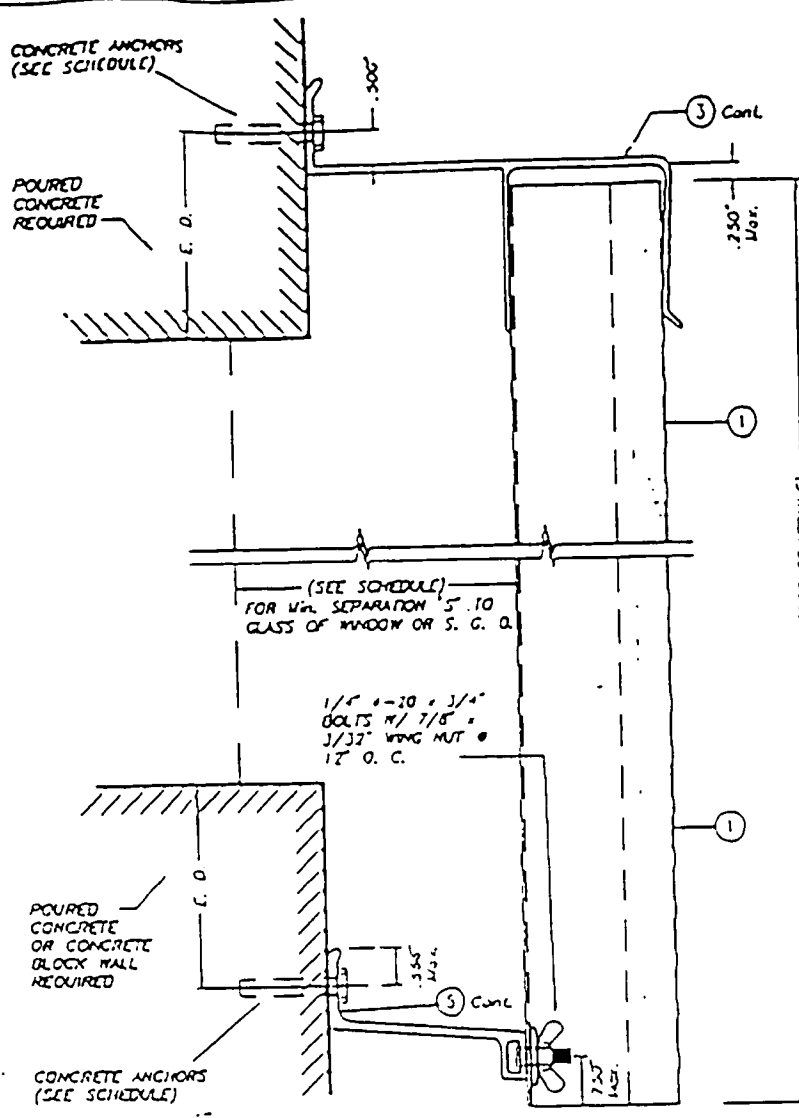
Walter A. Tilit Jr.
7/7/98



SECTION 2 ANCHOR

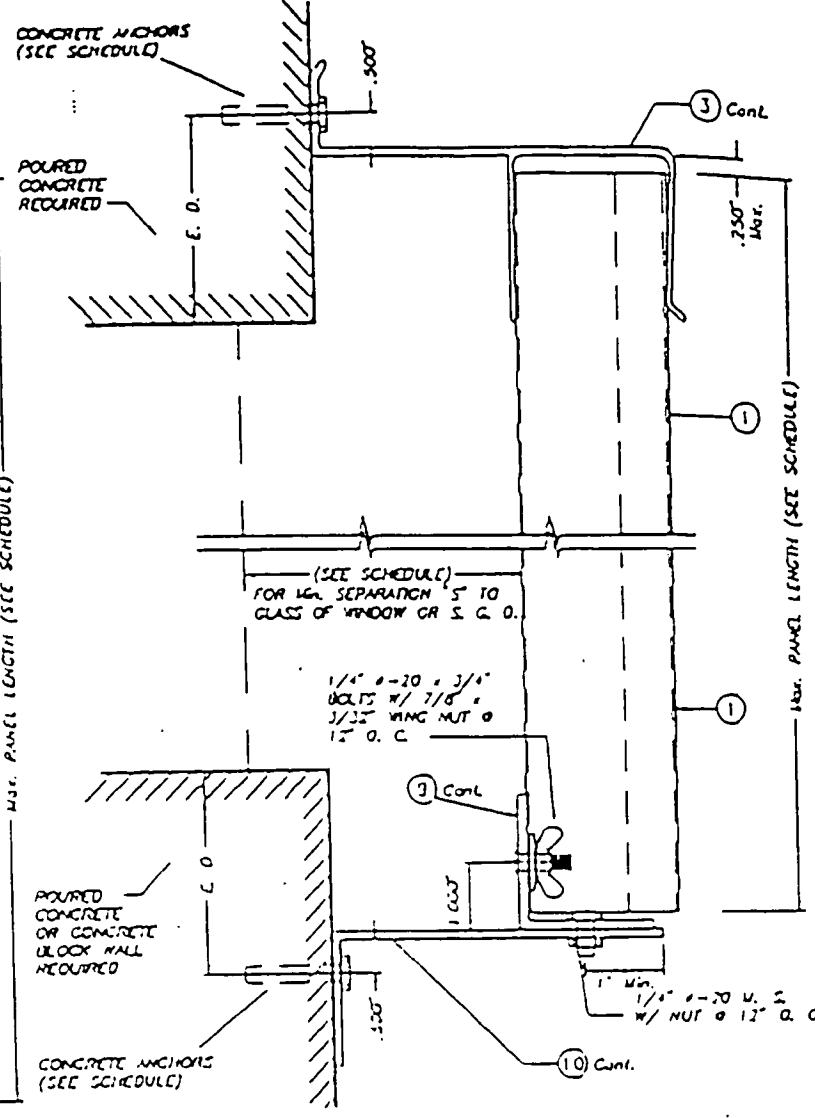
WALL MOUNTING INSTALLATION
SECTION 2

SCALE: 3/8" = 1"



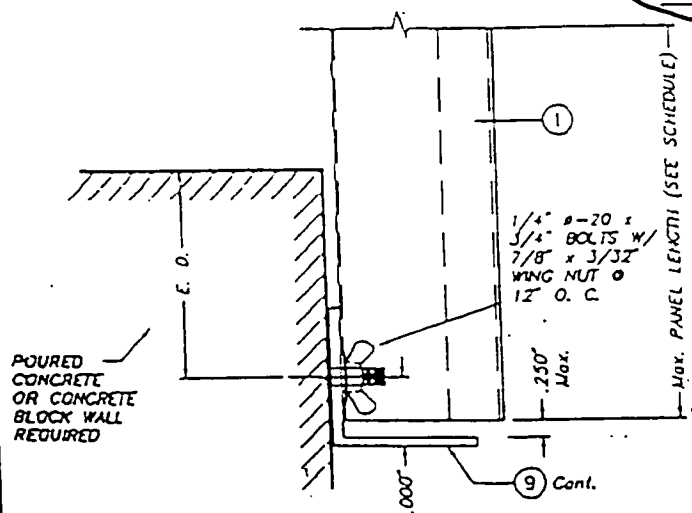
BUILD OUT INSTALLATION
SECTION 3

SCALE: 3/8" = 1"



BUILD OUT INSTALLATION
SECTION 4

SCALE: 3/8" = 1"



WALL MOUNTING INSTALLATION
SECTION 1

SCALE: 3/8" = 1"

NOTE: DETAIL OF SECTION 1 STUD VALID ALSO FOR WALL MOUNTING INSTALLATION - SECTION 2 (TOP)

E. D. = EDGE DISTANCE
(SEE SCHEDULE ON SHEETS 5 & 6 OF 8)

NOTE FOR COMBINATION OF SECTIONS:
WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

Handwritten signature and date:
8/1/98

PRODUCT RENEWED

ACCEPTANCE No. 00-0602-04

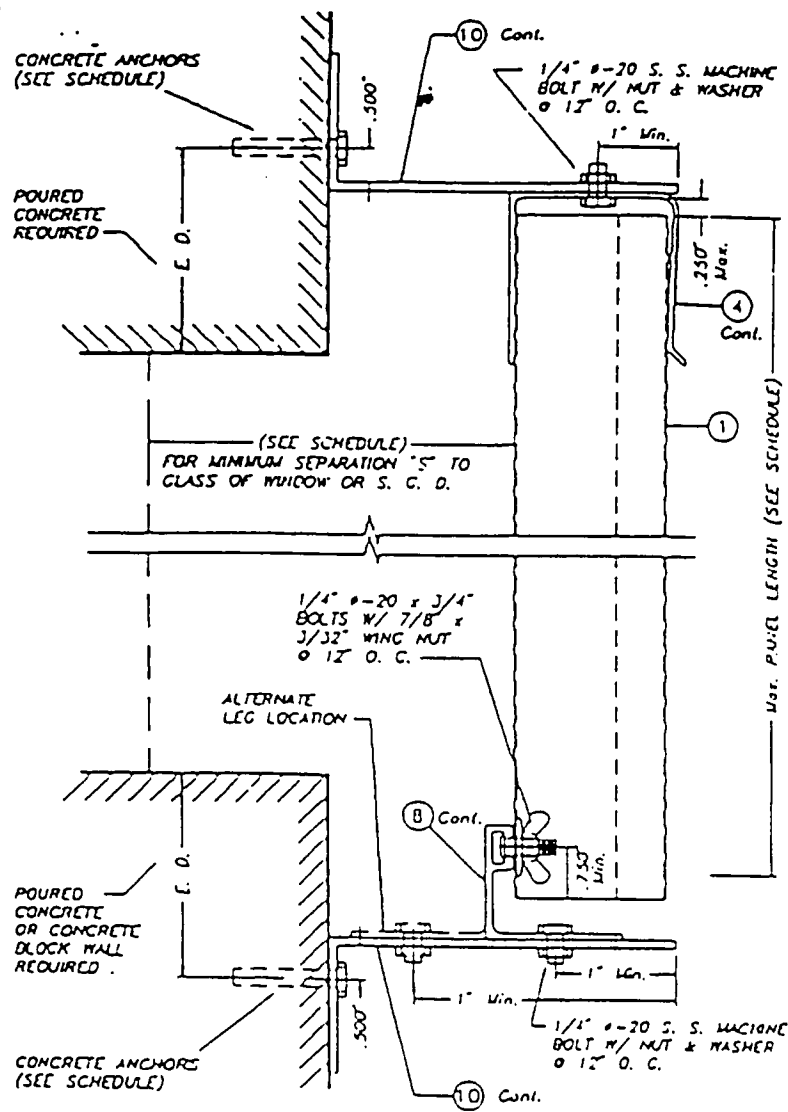
EXPIRATION DATE 08/07/2003

By *Handwritten signature:*
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE

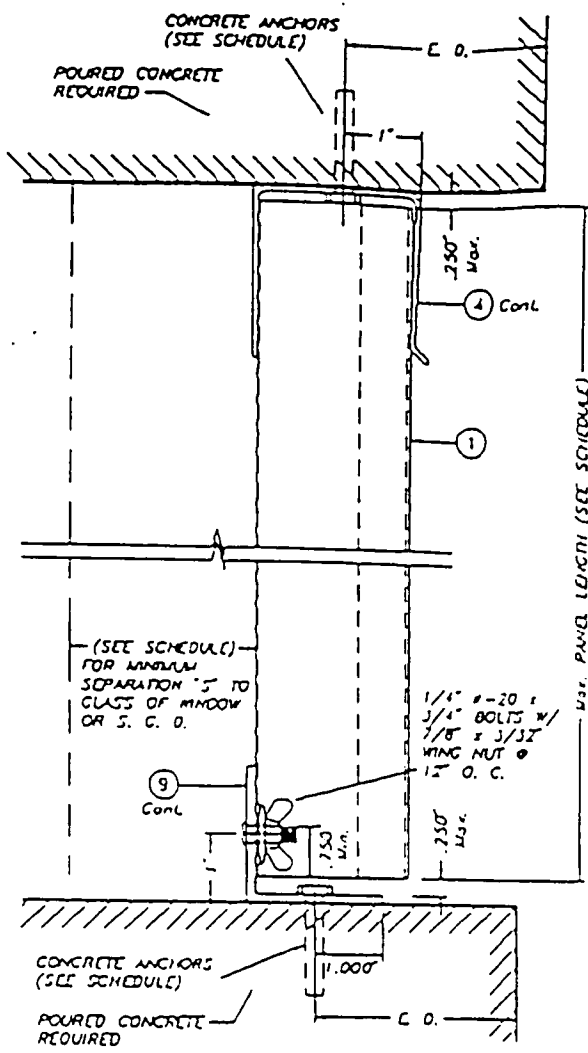
APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE October 08, 1998
BY *Handwritten signature:*
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 98-0817-16

 TILIT TESTING & ENGINEERING COMPANY 6273 N.W. 30th St., Ste. 217, WYOMING, FL 33184 Phone: (305) 871-1530, Fax: (305) 871-1531		0.050" BERTHA STORM PANEL		AS SHOWN SCALE
		EASTERN METAL SUPPLY, INC 3600 23rd Ave. SOUTH LAKELAND, FL 33441-3247		7/7/98 DATE
		98 - 172		DRAWING No
		WALTER A. TILIT JR. P. E. FLORIDA Lic. # 44167		SHEET 2 OF 8

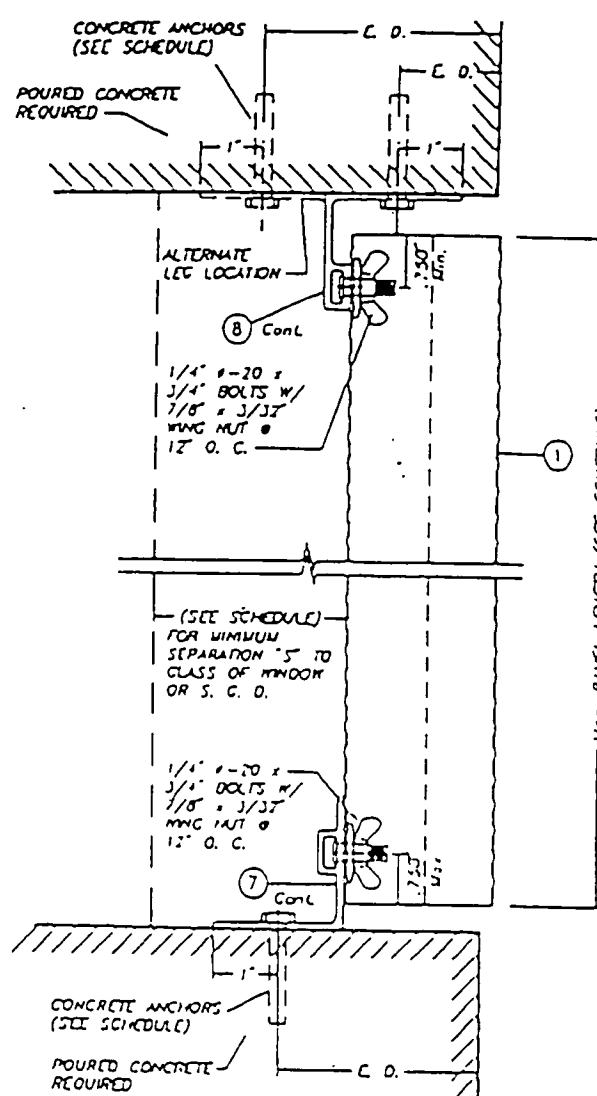
DADE COUNTY



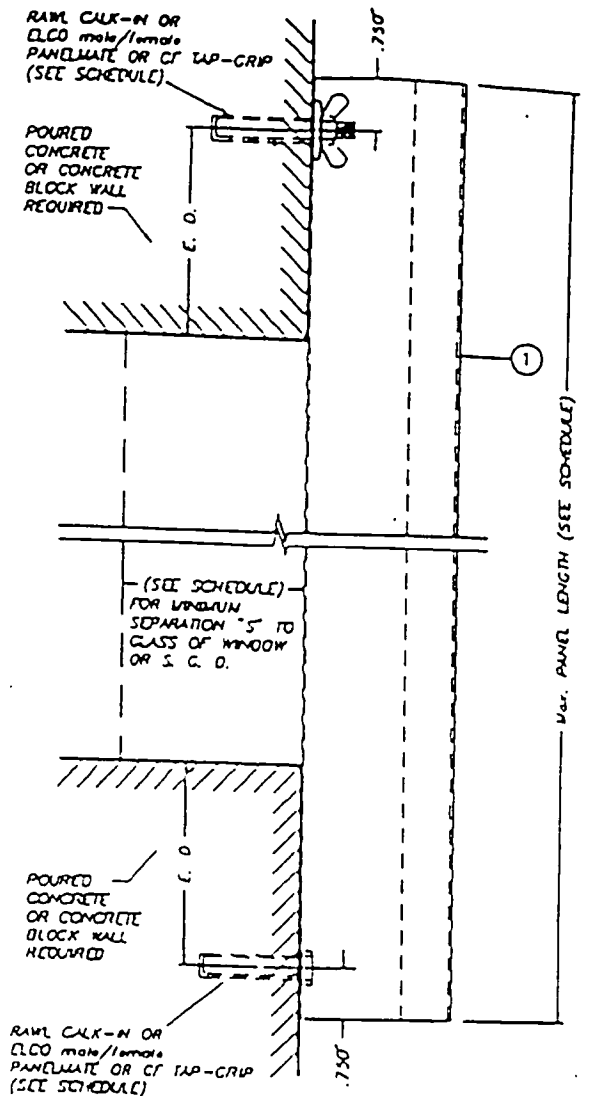
BUILD OUT INSTALLATION
 - SECTION 5
 SCALE: 3/8" = 1"



CEILING & FLOOR MOUNTING
 INSTALLATION - SECTION 6
 SCALE: 3/8" = 1"



CEILING & FLOOR MOUNTING
 INSTALLATION - SECTION 7
 SCALE: 3/8" = 1"



WALL MOUNTING INSTALLATION (D. M.)
 - SECTION 8
 SCALE: 3/8" = 1"

E. D. - EDGE DISTANCE
 (SEE SCHEDULE ON
 SHEET 5 & 6 OF 8)

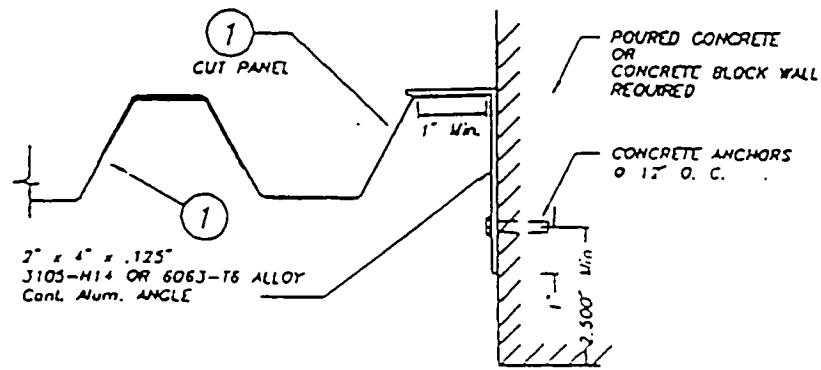
NOTE FOR COMBINATION OF SECTIONS:
 WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE
 COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

PRODUCT RENEWED
 ACCEPTANCE No. 00-0602.04
 EXPIRATION DATE 08/07/2003
 By *Helmy A. Maska*
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE

APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE *October 08 1998*
 BY *Helmy A. Maska*
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 98-0817-16

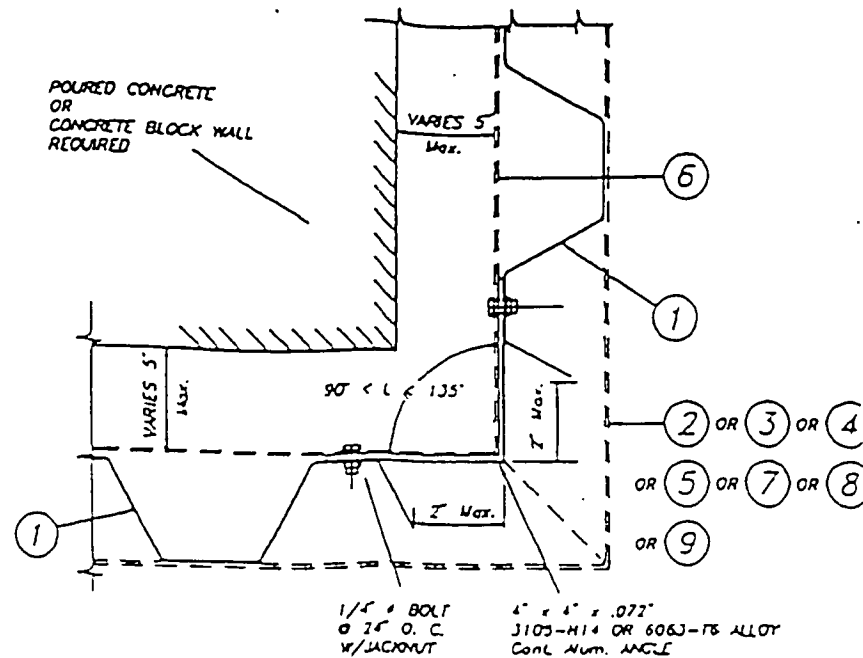
David B
 8/2/98

 TILIT TESTING & ENGINEERING COMPANY 2043 N.W. JOHN ST., STA. 217, WICHITA, KANSAS, FL 31184 Phone: (303)871-1500 Fax: (303)871-1531 WALTER A. TILIT JR., P. E. FLORIDA LIC. # 41167		0.050" BERTHA STORM PANEL EASTERN METAL SUPPLY, INC. 3400 23rd Ave. SOUTH LAKE WORTH, FL 33461-3247	DADE COUNTY AS SHOWN SCALE 1/7/98 DATE 98-172 DRAWING No. SHEET 3 OF 8													
		<table border="1"> <thead> <tr> <th>REV. NO.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>OLD NO. 01</td> <td>1/7/98</td> <td></td> <td></td> </tr> <tr> <td>2</td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	REV. NO.	DESCRIPTION	DATE	BY	DATE	1	OLD NO. 01	1/7/98			2			
REV. NO.	DESCRIPTION	DATE	BY	DATE												
1	OLD NO. 01	1/7/98														
2																



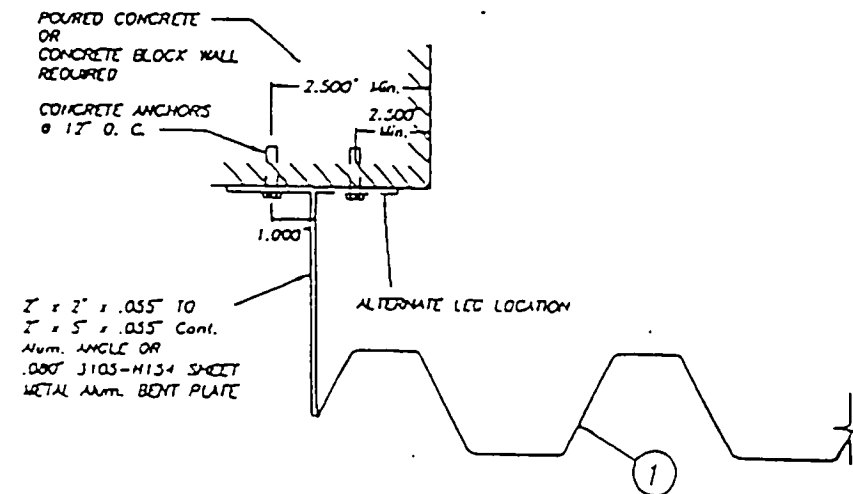
CASE A (Plan)

SCALE: 1/4" = 1"



CASE B (Plan)

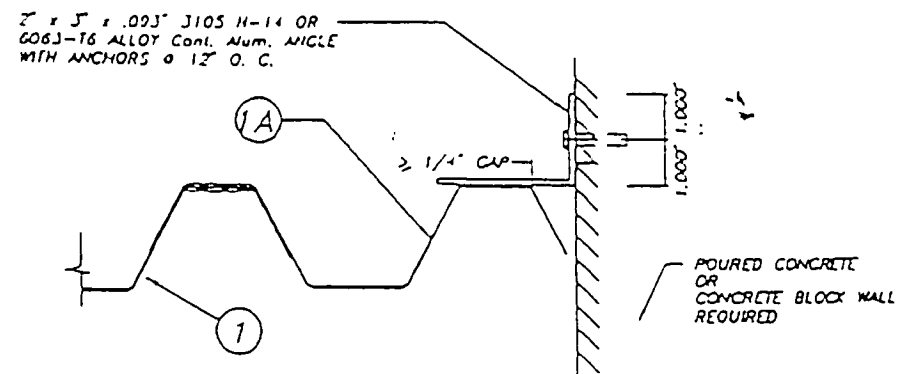
SCALE: 1/4" = 1"



CASE C (Plan)

SCALE: 1/4" = 1"

END CLOSURES DETAILS



CASE D (Plan)

SCALE: 1/4" = 1"

MAXIMUM DESIGN PRESSURE RATING "W" (p.s.f.) AND CORRESPONDING MAXIMUM PANEL LENGTH "L" SCHEDULE

MAXIMUM DESIGN PRESSURE RATING W (p.s.f.)	MAX. PANEL LENGTH L (ft.) (SEE SECTIONS)	MINIMUM SEPARATION TO GLASS	APPLICABLE TO SECTIONS / & ANY COMBINATION OF THEM
+65.0, -77.0	8'-0" OR LESS	2 1/4"	1 THRU 8
+65.0, -77.0	>8'-0" TO 9'-0"	3 11/16"	1 THRU 8
+62.0, -73.3	>9'-0" TO 10'-0"	3 7/8"	2, 6, 7 & 8

PRODUCT RENEWED

ACCEPTANCE No. 00-0602.04

EXPIRATION DATE 08/07/2003

By *Helmut A. Mahr*
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE
 DATE *October 08, 1998*
 BY *Helmut A. Mahr*
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. *98-0817-16*

DADE COUNTY

 TILLIT TESTING & ENGINEERING COMPANY 8375 N.W. 38th St., Ste. 217, Miramar, Florida 33180 Phone: (305) 871-1530 Fax: (305) 871-1531 WALTER A. TILLIT, Jr., P. E. FLORIDA Lic. # 44167	0.050" BERTHA STORM PANEL	AS SHOWN SCALE
	EASTERN METAL SUPPLY, INC 3600 23rd Ave. SOUTH LAKE WORTH, FL 33461-3247	7/7/98 DATE
		98 - 172 DRAWING No
		SHEET 4 OF 8

Walter A. Tillit Jr.
 8/7/97

MAXIMUM DESIGN PRESSURE RATING "W" (p.s.f.) AND CORRESPONDING MAXIMUM ANCHOR SPACING SCHEDULE FOR INSTALLATIONS INTO CONCRETE AND C.B.S. STRUCTURES *

E. D. = EDGE DISTANCE

MAXIMUM DESIGN LOAD W (p.s.f.)	MAXIMUM ANCHORS SPACING FOR E. D. = 3 1/2" **										APPLICABLE TO SECTIONS / & ANY COMBINATION OF THEM	MAXIMUM PANEL LENGTH "L" (ft.)
	TAPCONS		RAWL ZANAC NAILIN		RAWL CALK-IN		CF TAP-CRIP		PANELMATES			
	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY		
+55.0. -65.0	8"	N/A	4"	N/A	8"	N/A	5"	N/A	3 1/2"	N/A	1 (TOP)	9'-0" OR LESS
	12"	8"	12"	10"	12"	12"	12"	8"	11"	11"	1 (BOTTOM)	
	12"	N/A	12"	N/A	12"	N/A	12"	N/A	11"	N/A	2 (TOP)	
	12"	8"	12"	10"	12"	12"	12"	8"	11"	11"	2 (BOTTOM)	
	12"	N/A	12"	N/A	12"	N/A	12"	N/A	11"	N/A	3 (TOP)	
	12"	8"	12"	10"	12"	12"	12"	8"	11"	11"	3 (BOTTOM)	
	12"	N/A	12"	N/A	12"	N/A	12"	N/A	11"	N/A	4 (TOP)	
	12"	8"	12"	10"	12"	12"	12"	8"	11"	11"	4 (BOTTOM)	
	12"	N/A	12"	N/A	12"	N/A	12"	N/A	11"	N/A	5 (TOP)	
	12"	8"	12"	10"	12"	12"	12"	8"	11"	11"	5 (BOTTOM)	
	11 1/2"	N/A	7 1/2"	N/A	12"	N/A	8 1/2"	N/A	6"	N/A	6 (TOP/BOTTOM)	
	10"	N/A	6 1/2"	N/A	10 1/2"	N/A	7"	N/A	5"	N/A	7 (TOP/BOTTOM)	
	N/A	N/A	N/A	N/A	12"	12"	12"	6"	6"	6"	8 (TOP/BOTTOM)	
+55.0. -65.0	6"	N/A	6"	N/A	6"	N/A	6"	N/A	6"	N/A	2 (TOP)	9'-0" TO 10'-0"
	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	2 (BOTTOM)	
	6"	N/A	6"	N/A	6"	N/A	6"	N/A	5 1/2"	N/A	6 (TOP/BOTTOM)	
	6"	N/A	5 1/2"	N/A	6"	N/A	6"	N/A	4 1/2"	N/A	7 (TOP/BOTTOM)	
	N/A	N/A	N/A	N/A	6"	6"	6"	6"	6"	6"	8 (TOP/BOTTOM)	

* SEE SHEET 7 & 8 OF 8 FOR ANCHORS TYPE & SPACING FOR INSTALLATIONS INTO WOOD FRAME BUILDINGS.
 ** MAXIMUM ANCHOR SPACINGS ARE VALID FOR 3 1/2" EDGE DISTANCE. FOR E. D. LESS THAN 3 1/2", REDUCE ANCHOR SPACING BY MULTIPLYING SPACINGS SHOWN ON SCHEDULE BY THE FOLLOWING FACTORS. (Min. E. D. FOR RAWL CALK-IN ANCHORS & ELCO PANELMATE IS 2 1/2").

ACTUAL E. D.	FACTOR		
	TAPCON/ZANAC NAILIN/PANELMATES	RAWL CALK-IN	CF TAP-CRIP
5"	.86	.75	1.00
2 1/2"	.71	.50	.80
2"	.50	-	-

PRODUCT RENEWED

ACCEPTANCE No. 00-0602-04

EXPIRATION DATE 08/07/2003

By *Helmy A. Miller*
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE.
 DATE *October 08, 1998*
 BY *Helmy A. Miller*
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 98-0817-16

DADE COUNTY

 TILIT TESTING & ENGINEERING COMPANY 6373 N.W. 30th St., Ste. 317, WOODLAND GARDENS, FL 33196 Phone: (305) 871-1530 Fax: (305) 871-1531 WALTER A. TILIT JR., P. E. FLORIDA Lic. # 44167	0.050" BERTHA STORM PANEL	AS SHOWN SCALE
	EASTERN METAL SUPPLY, INC 3400 23rd Ave. SOUTH LAKE WORTH, FL 33461-5217	7/7/98 DATE
	98-172	DRAWING No
		SHEET 2 OF 2

David B.
 8/7/98

MAXIMUM DESIGN PRESSURE RATING "W" (p.s.f.) AND CORRESPONDING MAXIMUM ANCHOR SPACING SCHEDULE FOR INSTALLATIONS INTO CONCRETE AND C.B.S. STRUCTURES *

E. O. = EDGE DISTANCE

MAXIMUM DESIGN LOAD W (p.s.f.)	MAXIMUM ANCHORS SPACING FOR E. O. = 3 1/2" **										APPLICABLE TO SECTIONS 1 & ANY COMBINATION OF THEM	MAXIMUM PANEL LENGTH "L" (ft.)
	TAPCONS		RAWL ZAMAC NAILIN		RAWL CALX-IN		CF TAP-CRIP		PANELMATES			
	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY		
+65.0. -77.0	6"	N/A	3"	N/A	6"	N/A	3 1/2"	N/A	2 1/2"	N/A	1 (TOP)	9'-0" OR LESS
	12"	7"	11"	8"	12"	10"	12"	6 1/2"	9 1/2"	9 1/2"	1 (BOTTOM)	
	12"	N/A	11"	N/A	12"	N/A	12"	N/A	9 1/2"	N/A	2 (TOP)	
	12"	7"	11"	8"	12"	10"	12"	6 1/2"	9 1/2"	9 1/2"	2 (BOTTOM)	
	12"	N/A	11"	N/A	12"	N/A	12"	N/A	9 1/2"	N/A	3 (TOP)	
	12"	7"	11"	8"	12"	10"	12"	6 1/2"	9 1/2"	9 1/2"	3 (BOTTOM)	
	12"	N/A	11"	N/A	12"	N/A	12"	N/A	9 1/2"	N/A	4 (TOP)	
	12"	7"	11"	8"	12"	10"	12"	6 1/2"	9 1/2"	9 1/2"	4 (BOTTOM)	
	12"	N/A	11"	N/A	12"	N/A	12"	N/A	9 1/2"	N/A	5 (TOP)	
	12"	5 1/2"	9 1/2"	6 1/2"	12"	8"	10"	5"	7 1/2"	7 1/2"	5 (BOTTOM)	
	9 1/2"	N/A	6 1/2"	N/A	10"	N/A	7"	N/A	5"	N/A	6 (TOP/BOTTOM)	
	8 1/2"	N/A	5 1/2"	N/A	8 1/2"	N/A	6"	N/A	4 1/2"	N/A	7 (TOP/BOTTOM)	
	N/A	N/A	N/A	N/A	12"	6"	12"	6"	6"	6"	8 (TOP/BOTTOM)	
	+62.0. -73.3	6"	N/A	6"	N/A	6"	N/A	6"	N/A	6"	N/A	
6"		6"	6"	6"	6"	6"	6"	6"	6"	6"	2 (BOTTOM)	
6"		N/A	6"	N/A	6"	N/A	6"	N/A	5"	N/A	6 (TOP/BOTTOM)	
6"		N/A	5"	N/A	6"	N/A	5 1/2"	N/A	4"	N/A	7 (TOP/BOTTOM)	
N/A		N/A	N/A	N/A	6"	6"	6"	6"	6"	6"	8 (TOP/BOTTOM)	

* SEE SHEET 7 & 8 OF 8 FOR ANCHORS TYPE & SPACING FOR INSTALLATIONS INTO WOOD FRAME BUILDINGS.
 ** MAXIMUM ANCHOR SPACINGS ARE VALID FOR 3 1/2" EDGE DISTANCE. FOR E. O. LESS THAN 3 1/2". REDUCE ANCHOR SPACING BY MULTIPLYING SPACINGS SHOWN ON SCHEDULE BY THE FOLLOWING FACTORS. (Min. E. O. FOR RAWL CALX-IN ANCHORS & ELCO PANELMATE IS 2 1/2").

ACTUAL E. O.	FACTOR		
	TAPCON/ZAMAC NAILIN/PANELMATES	RAWL CALX-IN	CF TAP-CRIP
3"	.86	.75	1.00
2 1/2"	.71	.50	.80
2"	.50	-	-

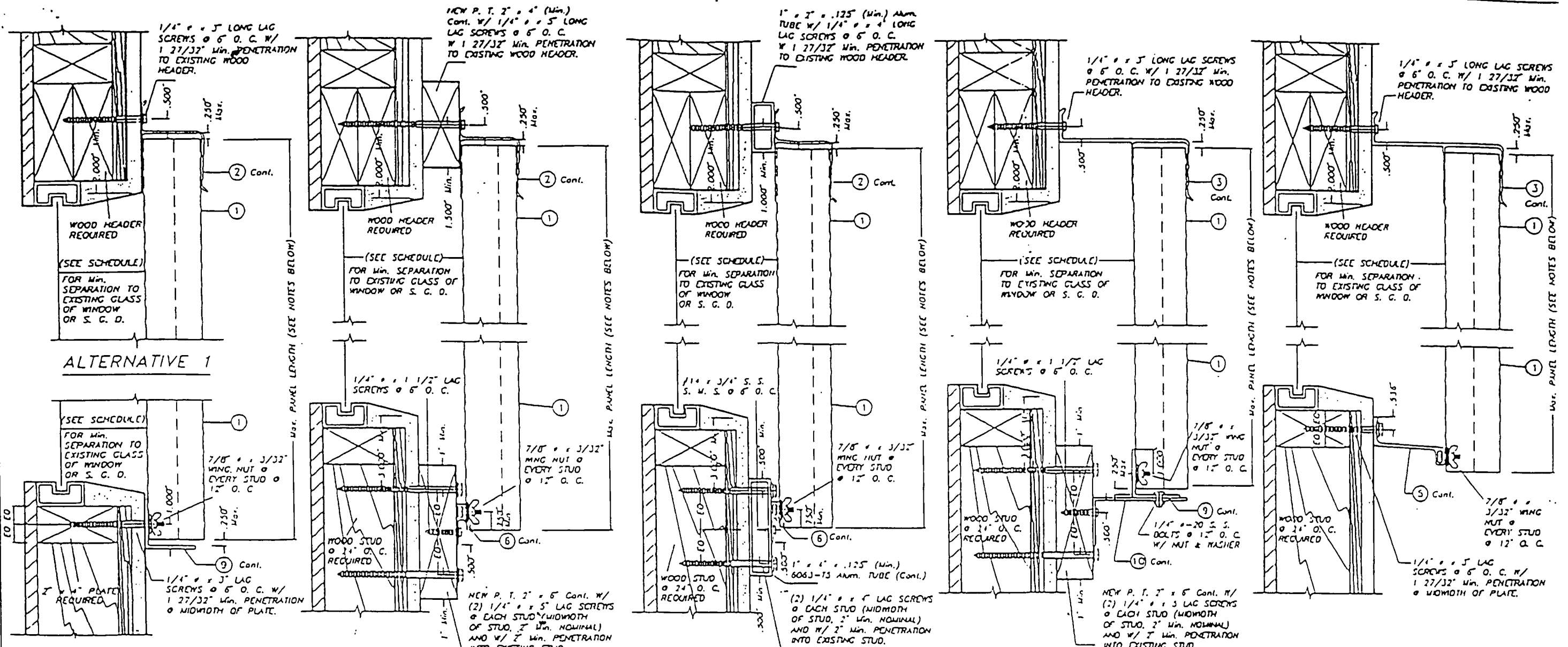
PRODUCT RENEWED
 ACCEPTANCE No. 00-0602.04
 EXPIRATION DATE 08/07/2003
 By *Helmut A. Mader*
 PRODUCT CONTROL DIVISION - BUILDING CODE COMPLIANCE OFFICE

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE
 DATE October 08, 1998
 BY *Helmut A. Mader*
 PRODUCT CONTROL DIVISION - BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 98-0817-16

David B.
 8/7/98

 TILECO INC. TELLIT TESTING & ENGINEERING COMPANY 1093 N.W. 28th St., Ste. 217, Miramar, Florida, FL 33189 Phone: (305) 871-1530, Fax: (305) 871-1531 WALTER A. TELLIT JR., P. E. FLORIDA Lic. # 44167	0.050" BERTHA STORM PANEL	AS SHOWN SCALE											
	EASTERN METAL SUPPLY, INC 3400 23rd Ave. SOUTH LAKE WORTH, FL 33461-3247	7/7/98 DATE											
	<table border="1"> <tr> <th>REV.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> <th>REVISION</th> <th>DATE</th> </tr> <tr> <td>1</td> <td>OLD 98-331</td> <td>1/7/98</td> <td></td> <td></td> <td></td> </tr> </table>	REV.	DESCRIPTION	DATE	BY	REVISION	DATE	1	OLD 98-331	1/7/98			
REV.	DESCRIPTION	DATE	BY	REVISION	DATE								
1	OLD 98-331	1/7/98											

DADE COUNTY



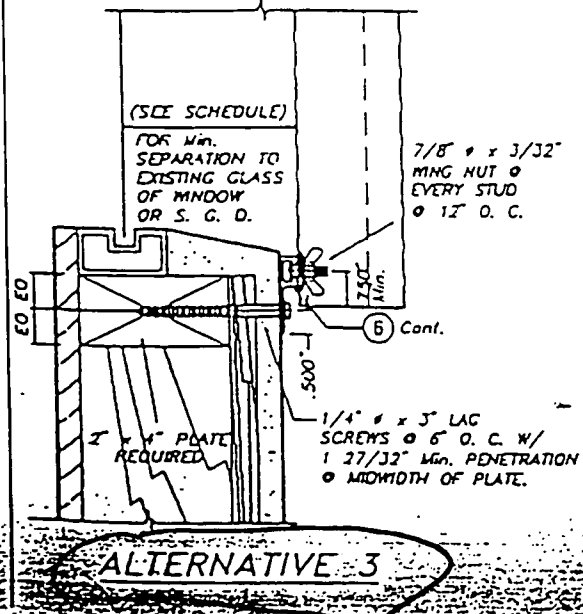
ALTERNATIVE 1

ALTERNATIVE 2

ALTERNATIVE 4

ALTERNATIVE 5

ALTERNATIVE 6 PRODUCT RENEWAL ALTERNATIVE 7



ALTERNATIVE 3

NOTE FOR COMBINATION OF SECTIONS:
 WALL MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

- NOTES:**
- INSTALLATIONS ARE ONLY VALID FOR DESIGN WIND LOADS UP TO +65.0, -72.0 psf AND PANEL'S LENGTHS UP TO 9'-0".
 - NEW 2" x 6" P. T. TO BE SOUTHERN PINE No. 2, SURFACED DRY WITH 19% M. M. C. W/ SPECIFIC DENSITY OF 0.55.
 - FOR NEW WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL.

WALL MOUNTING INSTALLATIONS
 SECTIONS A

SCALE: 1/4" = 1'

INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS

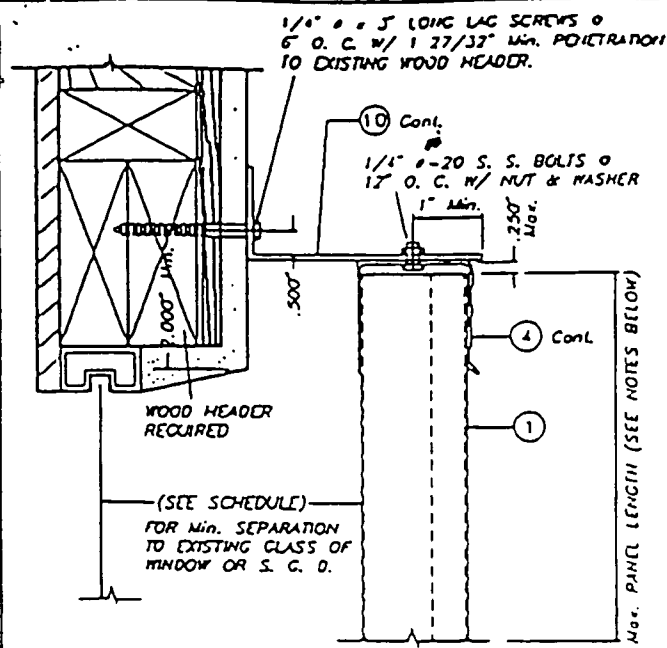
ACCEPTANCE NO. 00-0602.04
 EXPIRATION DATE: 08/07/2008
 APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE
 PRODUCT CONTROL DIVISION DATE: October 08, 1998
 BUILDING CODE COMPLIANCE OFFICE BY: *Walter A. Tilt*
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 98-0817.16

TILECO INC.
 TILT TESTING & ENGINEERING COMPANY
 4323 N.W. 38th St., Ste. 217, Virginia Gardens, FL 33186
 Phone: (305) 871-1530 Fax: (305) 871-1531
 WALTER A. TILT, P. E.
 FLORIDA Lic. # 44167

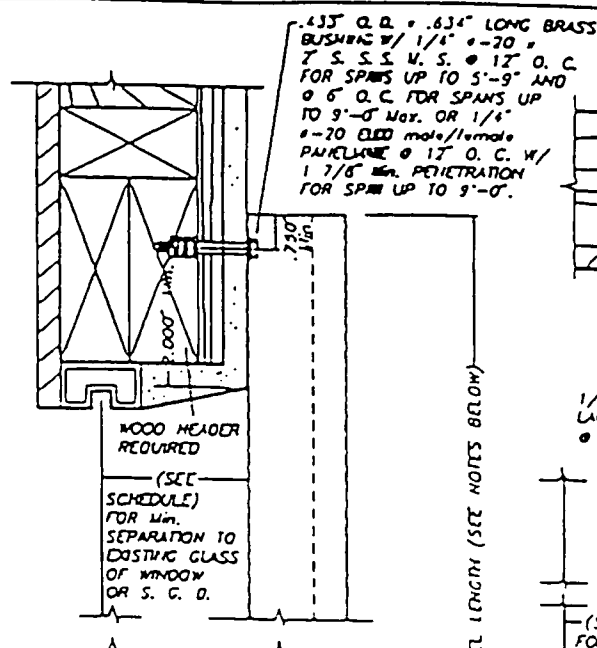
0.050" BERTHA STORM PANEL		AS SHOWN SCALE
EASTERN METAL SUPPLY, INC		7/7/98 DATE
3600 23rd Ave. SOUTH LAKE WORTH, FL 33461-3217		98-172
DRAWING No		SHEET 7 OF 8

Walter A. Tilt
 01-100

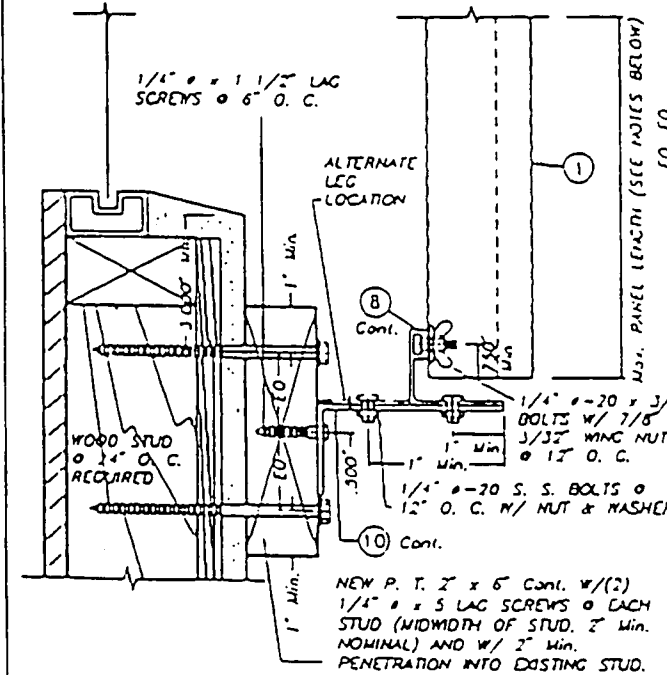
DADE COUNTY



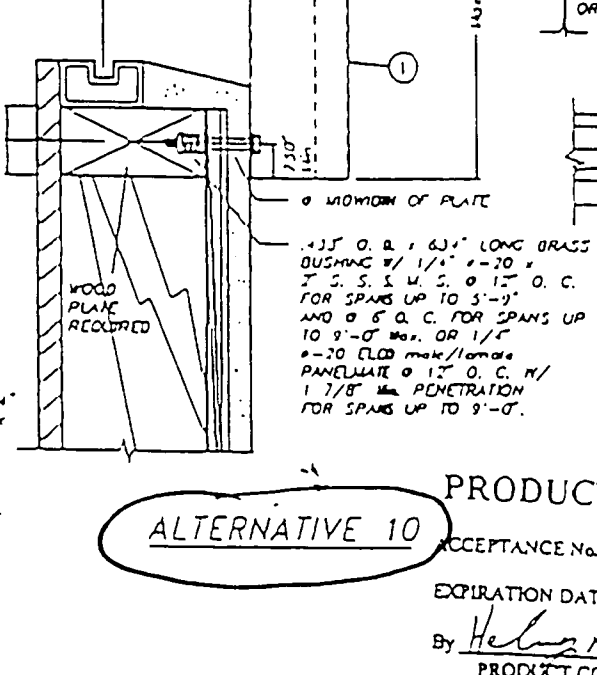
ALTERNATIVE 8



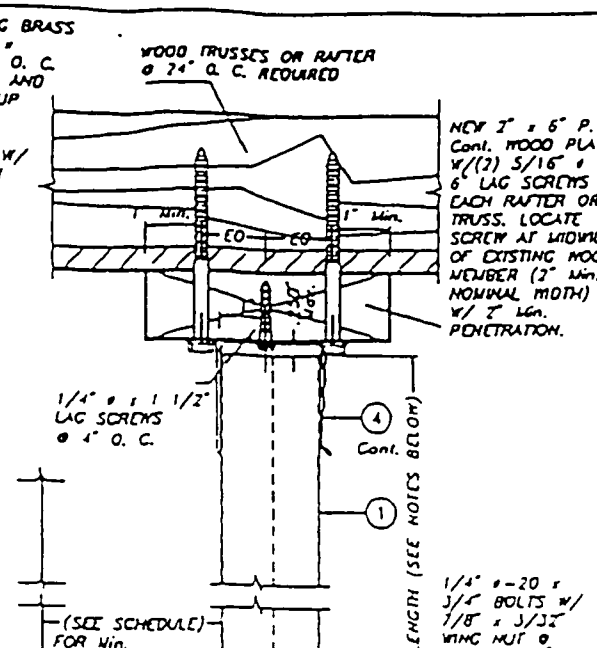
ALTERNATIVE 9



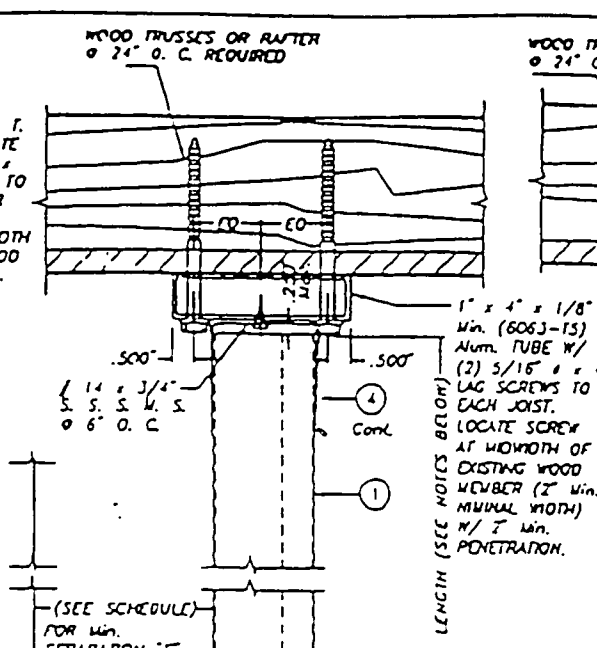
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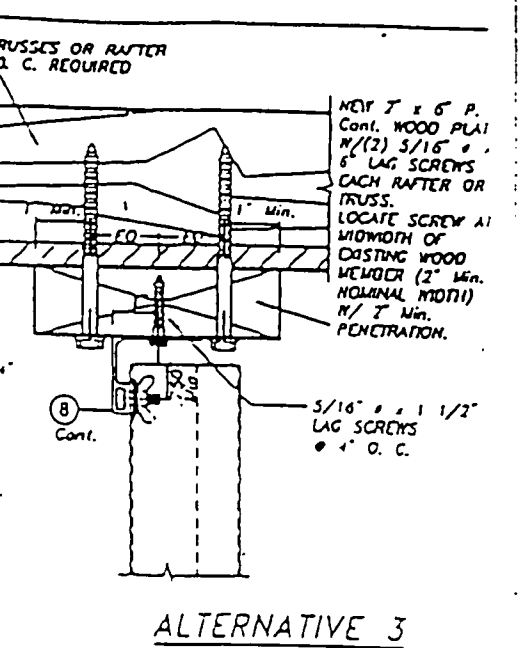
ALTERNATIVE 1



ALTERNATIVE 2



ALTERNATIVE 3



ALTERNATIVE 4

PRODUCT RENEWED

ACCEPTANCE No. 00-0602.04

EXPIRATION DATE 08/07/2003

By *Helmut A. Mader*

PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE

CEILING & FLOOR MOUNTING INSTALLATIONS

SECTIONS B

SCALE: 1/4" = 1"

WALL MOUNTING INSTALLATIONS

SECTIONS A

SCALE: 1/4" = 1"

INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE: *October 08, 1998*
BY: *Helmut A. Mader*
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. *98-0817.16*

NOTE FOR COMBINATION OF SECTIONS:

FLOOR/ WALL/ CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

NOTES:

- INSTALLATIONS ARE ONLY VALID FOR DESIGN WIND LOADS UP TO +65.0 -72.0 psf AND PANEL LENGTHS UP TO 9'-0".
- NEW 2" x 6" P. T. TO BE SOUTHERN PINE No. 2, SURFACED DRY WITH 19% M. M. C. W/ SPECIFIC DENSITY OF 0.55.
- FOR NEW WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL.

TILECO INC.
TILIT TESTING & ENGINEERING COMPANY
8073 N.W. 36th St., Suite 312, Miramar, Florida, FL 33189
Phone: (305) 871-1530 Fax: (305) 871-1531
WALTER A. TILIT, P. E.
FLORIDA LIC. # 44167

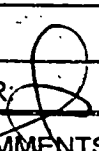
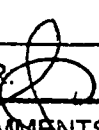
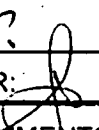
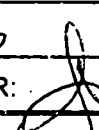
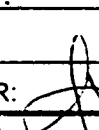
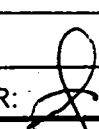
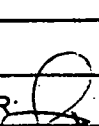
0.050" BERTHA STORM PANEL		AS SHOWN SCALE
EASTERN METAL SUPPLY, INC		7/7/98 DATE
3400 23rd Ave. SOUTH LAKE WORTH, FL 33461-3217		98 - 172
REV. No.	DESCRIPTION	DATE
1	OLD #0-331	7/7/98
DRAWING No.		SHEET # OF 8

DADE COUNTY

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

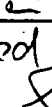
Date of Inspection: Mon Wed Fri 7-10-02, 2002; Page 1 of 1.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5853	BRADICE	Final Shutters	Passed	
(2)	96 S. River Rd Custom Shutters	MMY		INSPECTOR: 
5454	Picene	Pool FENCE + Alarm	Passed	* See
(1)	65 S. River Rd Advantage Pools			INSPECTOR: 
TREE	MADDEN	TREE	Passed	repl.? fee?
(2)	160 S. River Rd			INSPECTOR: 
5855	Weber	Final-FENCE	Passed	
5692	4 Mandalay TREASURE Coast	Pool	passed = separate childr. fence	Passed
(5)				INSPECTOR: 
5573	Flaugh	Fence - what inspection??		
(8)	6 India Lucie Pkwy GARY HUMMAGEL			INSPECTOR: 
5501	ALLMAN	Meter Insp.	Failed	
(7)	3 Summer Lane O/B			INSPECTOR: 
5631	Holt	Framing	Failed	
(6)	61 S. River Rd Windehip	Completion of Roof Metal	Passed	INSPECTOR: 

OTHER:

* 65 S. River

BT window slider down stairs?

5689 24 island Headline
Strappings / slab / Passed
partial 

9966

GATES



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	9966	DATE ISSUED:	JANUARY 5, 2012
SCOPE OF WORK:	REPLACE 2 GATES		
CONTRACTOR:	TREASURE COAST FENCE		
PARCEL CONTROL NUMBER:	123841002-000-007304	SUBDIVISION	RIO VISTA - LOT 73
CONSTRUCTION ADDRESS:	96 S RIVER RD		
OWNER NAME:	BRADICE		
QUALIFIER:	GARY KASPEROWSKI	CONTACT PHONE NUMBER:	286-6694

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

Date: 12/27/11 BUILDING PERMIT APPLICATION Permit Number: 9966

OWNER/TITLEHOLDER NAME: AL BRADICE Phone (Day) 214-4492 (Fax)

Job Site Address: 96 S. RIVER RD City: Sewalls PT State: FL Zip:

Legal Description RIO VISTA S/D LOT 78 Parcel Control Number: 12 38 41-002-000 00730-4

Owner Address (if different): City: State: Zip:

SCOPE OF WORK (PLEASE BE SPECIFIC): Gated / Replace existing

WILL OWNER BE THE CONTRACTOR? (If yes, Owner Builder questionnaire must accompany application) YES NO

Has a Zoning Variance ever been granted on this property? YES (YEAR) NO (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications) Estimated Value of Improvements: \$ 1000 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out) Is subject property located in flood hazard area? VE10 AE9 AE8 X FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY: Estimated Fair Market Value prior to improvement: \$ (Fair Market Value of the Primary Structure only, Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Treasure Coast Fence Inc Phone: 286-6694 Fax: 283-4580

Qualifiers name: GARY KASPEROWSKI Street: 2340 SW DEPWOOD PASS City: Palm City State: FL Zip: 34990

State License Number: OR: Municipality: MC 01861 License Number:

LOCAL CONTACT: GARY KASPEROWSKI Phone Number: 285-1859

DESIGN PROFESSIONAL: License: City: State: Zip: Phone Number:

AREAS SQUARE FOOTAGE: Living: Garage: Covered Patios/ Porches: Enclosed area below BFE:

Carport: Total under Roof Elevated Deck: Enclosed area below BFE: * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Electrical, Fire Prevention) National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

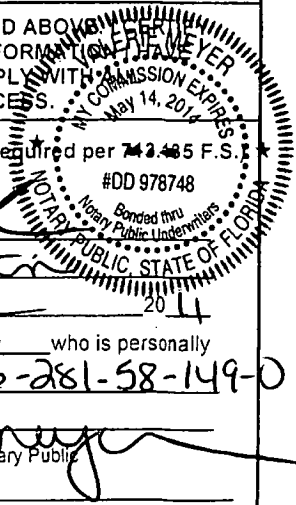
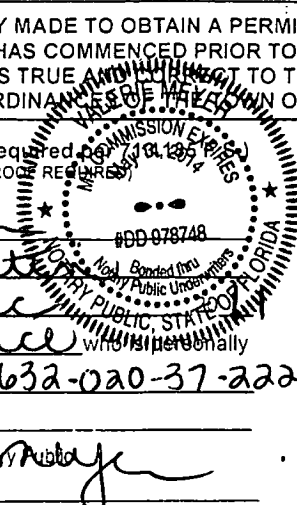
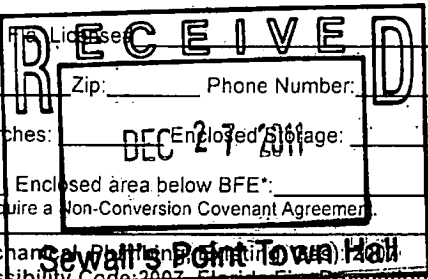
NOTICES TO OWNERS AND CONTRACTORS: 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. 2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES. 3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95. 4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS; OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE AND THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER NOTORIZED SIGNATURE: (required per 742.485 F.S.) OR OWNERS LEGAL AUTHORIZED AGENT (PROVIDE REQUIRED) State of Florida, County of: Martin On This the 21 day of Dec by Albert Bradice known to me or produced by Valeriu Meyer As identification: My Commission Expires:

CONTRACTOR NOTORIZED SIGNATURE: (required per 742.485 F.S.) State of Florida, County of: Martin On This the 27th day of Dec by Gary Kasperowski known to me or produced by Valeriu Meyer As identification: My Commission Expires:



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

Martin County, Florida
Laurel Kelly, C.F.A

generated on 12/27/2011 9:49:47 AM EST

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-002-000-00730-4	27586	96 S RIVER ROAD, SEWALL'S POINT	\$362,210	12/24/2011

Owner Information

Owner(Current)	BRADICE ALBERT & EVELYN
Owner/Mail Address	96 SOUTH RIVER RD STUART FL 34996
Sale Date	2/24/1997
Document Book/Page	1222 1792
Document No.	
Sale Price	85000

Location/Description

Account #	27586	Map Page No.	SP-04
Tax District	2200	Legal Description	RIO VISTA S/D LOT 73
Parcel Address	96 S RIVER ROAD, SEWALL'S POINT		
Acres	.3450		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120250 RIO VISTA DRY

Assessment Information

Market Land Value	\$139,700
Market Improvement Value	\$222,510
Market Total Value	\$362,210

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

1-9-12

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9966	Woodell	Final		
	96 S River Rd	Garage	Pass	Close
	TC Fence	FENCE		INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9963	AUGUSTINE	FINAL		
	9 INDIALUCE	SCREEN RM	PASS	Close
	SANDERS			INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	5 RIVER CREST		<i>Q</i>	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9747	Schwartz	insulation	PASS	
	70 N Sewalls	FRAME & ALL	PASS	
	Driftwood	TRADES REINSPECTED		INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

9903

DOOR



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	9903	DATE ISSUED:	10-14-2011
SCOPE OF WORK:	REPLACE FRONT DOOR		
CONTRACTOR:	LOWES MATT SCHLICK		
PARCEL CONTROL NUMBER:	12-38-41-002-000-00730-4	SUBDIVISION	RIO VISTA LOT #73
CONSTRUCTION ADDRESS:	96 SOUTH RIVER ROAD		
OWNER NAME:	ALBERT BRADICE		
QUALIFIER:	MATT SCHLICK	CONTACT PHONE NUMBER:	321-243-0634

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
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ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: 9903

Date: 10/13/11

OWNER/TITLEHOLDER NAME: Albert Bradice

Phone (Day) 772-2144092

Job Site Address: 96 South River Rd

City: Seaside

Legal Description 12-38 41-002-000-00730 Parcel Control Number:

Owner Address (if different):

City: State: 13 2011 Zip:

Scope of work (please be specific): Replacement Front Entry Door

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application) YES NO

Has a Zoning Variance ever been granted on this property?

YES (YEAR) NO (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)

Estimated Value of Improvement: \$11,000 (Notice of Commencement required when over \$2500 prior to first inspection, \$1,500 on MVAG changed out)

Is subject property located in flood hazard area? VE10 AE9 AE8 X FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:

Estimated Fair Market Value prior to improvement: \$ (Fair Market Value of the Primary Structure only, Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: Lowe's

Phone: 407-370-2874 fax:

Street: PO Box 781993

City: Orlando State: FL Zip: 32878

State License Number: CGC1508417 OR: Municipality: License Number:

LOCAL CONTACT: Please Call Matt when ready Phone Number: 321-243-0634

DESIGN PROFESSIONAL: N/A Lic# Phone Number:

Street: City: State: Zip:

AREAS SQUARE FOOTAGE: Living: Garage: Covered Patios/ Porches: Enclosed Storage:

Carport: Total under Roof Elevated Deck: Enclosed area below BFE*: * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007 National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

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***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required) OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

CONTRACTOR SIGNATURE: (required)

State of Florida, County of:

On State of Florida, County of:

This the day of , 20

This the 11 day of Oct 2011

by who is personally

by Peter A. Cafaro who is personally

known to me or produced

known to me or produced

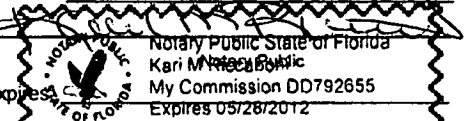
as identification.

As identification:

Notary Public

My Commission Expires:

My Commission Expires:



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL. NOTIFICATION FBC 105.3.1 ALL OTHERS APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**Martin County, Florida
Laurel Kelly, C.F.A**
generated on 10/13/2011 2:07:35 PM EDT
Summary

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
12-38-41-002-000-00730-4	27586	96 S RIVER ROAD, SEWALL'S POINT	\$362,210	10/8/2011

Owner Information

Owner(Current)	BRADICE ALBERT & EVELYN
Owner/Mail Address	96 SOUTH RIVER RD STUART FL 34996
Sale Date	2/24/1997
Document Book/Page	1222 1792
Document No.	
Sale Price	85000

Location/Description

Account #	27586	Map Page No.	SP-04
Tax District	2200	Legal Description	RIO VISTA S/D LOT 73
Parcel Address	96 S RIVER ROAD, SEWALL'S POINT		
Acres	.3450		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120250 RIO VISTA DRY

Assessment Information

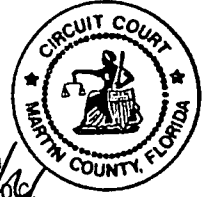
Market Land Value	\$139,700
Market Improvement Value	\$222,510
Market Total Value	\$362,210

AFTER RECORDING - RETURN TO:

STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.

MARSHA EWING, CLERK



PERMIT NUMBER: _____

NOTICE OF COMMENCEMENT

DATE 10-13-11

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. DESCRIPTION OF PROPERTY (Legal description of the property & street address, if available) TAX FOLIO NO.: _____
SUBDIVISION Rio Vista BLOCK _____ TRACT _____ LOT 73 BLDG. _____ UNIT _____
12-38-41-002-00730-4, 96 South River Rd., Stuart, FL 34996

2. GENERAL DESCRIPTION OF IMPROVEMENT:
Replacement Entry Door

3. OWNER INFORMATION OR LESSEE INFORMATION IF THE LESSEE CONTRACTED FOR THE IMPROVEMENT:

a. Name and address: Bradice, Albert or Evelyn, 96 South River Rd., Stuart, FL 34996

b. Interest in property: Owners

c. Name and address of fee simple titleholder (if different from Owner listed above): N/A

4. a. CONTRACTOR'S NAME: Lowe's Home Centers, Inc.

Contractor's address: PO Box 781993, Orlando, FL 32878 b. Phone number: 407-370-2872

5. SURETY (if applicable, a copy of the payment bond is attached):

a. Name and address: N/A

b. Phone number: _____ c. Amount of bond: \$ _____

6. a. LENDER'S NAME: N/A

Lender's address: _____ b. Phone number: _____

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7., Florida Statutes:

a. Name and address: N/A

b. Phone numbers of designated persons: _____

8. a. In addition to himself or herself, Owner designates N/A of _____ to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (b), Florida Statutes.

b. Phone number of person or entity designated by Owner: _____

9. Expiration date of notice of commencement (the expiration date may not be before the completion of construction and final payment to the contractor, but will be 1 year from the date of recording unless a different date is specified): _____, 20__

WARNING TO OWNER - ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Under penalty of perjury, I declare that I have read the foregoing notice of commencement and that the facts stated therein are true to the best of my knowledge and belief.

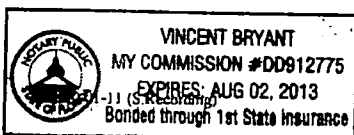
[Signature]
(Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager)

Albert Bradice
(Print Name and Provide Signatory's Title/Office)

State of Florida
County of Martin

The foregoing instrument was acknowledged before me this 12 day of October, 2011
by Albert Bradice as _____
(name of person) (type of authority, ... e.g. officer, trustee, attorney in fact)
for _____
(name of party on behalf of whom instrument was executed)

Personally Known _____ or Produced Identification _____ Type of Identification Produced FL DL B632 - 020-37-227



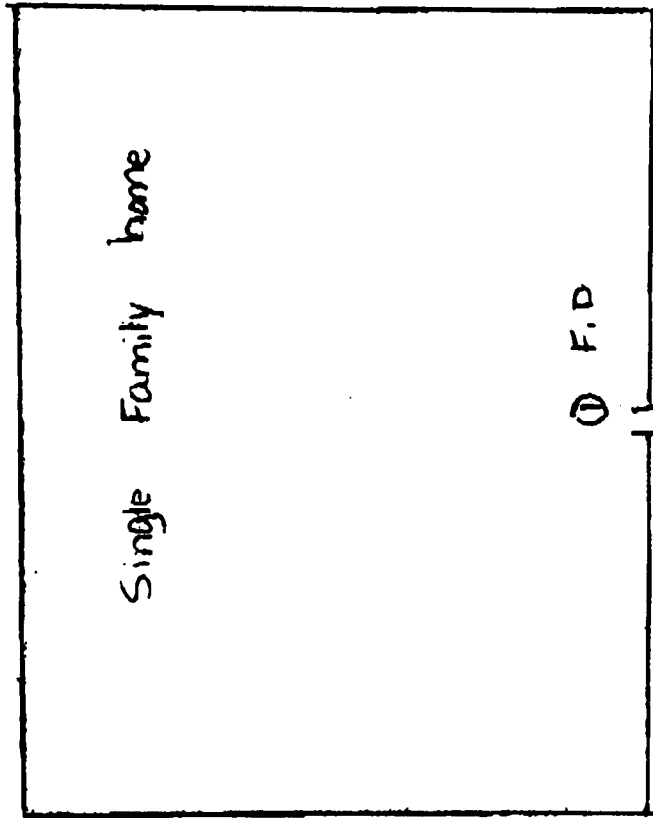
[Signature]
(Signature of Notary Public)
(Print, Type, or Stamp Commissioned Name of Notary Public)

INSTR # 2297576 OR BK 02541 PG 0453 RECD 10/13/2011 11:35:51 AM
Pg 04537 (1pg)
MARSHA EWING MARTIN COUNTY DEPUTY CLERK L Bettineschi

Name: Bradice, Evelyn
 address: 96 South River Rd.
 Stuart FL 34996
 phone #: 772-288-2404
 Site #: 703
 Plot #: 118397832

① 66 x 96 double Front
 door No size change

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY



Front

TOTAL CHARGES OF ALL MERCHANDISE AND SERVICES

where applicable	
SUB-TOTAL	\$ 2630
TAX	\$ 0
DELIVERY	\$ 79
ORDER TOTAL	\$ 2709
BALANCE DUE	

Work is to commence upon reasonable availability of Contractor which is anticipated to be _____ [fill in date].
 Estimated completion date is _____ [fill in date].

NOTICE TO CUSTOMER

All items listed in this contract and specification sheet(s) are to be installed under conditions agreed upon at time of purchase and at the price appearing on this contract form. This assumes sound existing substructures, superstructure and points of attachments. Extra labor or material incident to installation necessitated by defective substructures, superstructure, points of attachment, or the moving of fixtures or appliances to be billed at extra cost to customer. **DO NOT SIGN THIS CONTRACT UNTIL COMPLETE AND YOU HAVE READ THE TERMS AND CONDITIONS OF THIS CONTRACT. BY SIGNING BELOW, YOU ARE ACKNOWLEDGING THAT YOU HAVE READ, UNDERSTAND AND AGREE TO THE TERMS AND CONDITIONS SET FORTH ON THIS CONTRACT. YOU ARE ENTITLED TO A COPY OF THIS CONTRACT AT THE TIME OF SIGNATURE.**

WITNESS OUR HAND(S) AND SEAL(S) BELOW THIS 15 DAY OF Sept 2014.

Lowe's Home Centers, Inc.

By: Paul Szwed (Seal)

Print Name: Paul Szwed

Miss Newus Hwy 1
Address

Berlin Pa 34457
City State / Province Zip / Postal Code

Albert Bradice (S)
Owner

ALBERT BRADICE
Print Name

Co-Owner or Witness (S)



Product Approval
USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > **Application Detail**

- ▶ COMMUNITY PLANNING
- ▶ HOUSING & COMMUNITY DEVELOPMENT
- ▶ EMERGENCY MANAGEMENT
- ▶ OFFICE OF THE SECRETARY

FL # FL8228-R3
 Application Type Revision
 Code Version 2007
 Application Status Approved
 *Approved by DCA. Approvals by DCA shall be reviewed and ratified by the POC and/or the Commission if necessary.

Comments
 Archived

Product Manufacturer Masonite International
 Address/Phone/Email One North Dale Mabry
 Suite 950
 Tampa, FL 33609
 (615) 441-4258
 sschreiber@masonite.com

Authorized Signature Steve Schreiber
 sschreiber@masonite.com

Technical Representative
 Address/Phone/Email

Quality Assurance Representative
 Address/Phone/Email

Category Exterior Doors
 Subcategory Swinging Exterior Door Assemblies

Compliance Method Certification Mark or Listing

Certification Agency National Accreditation & Management Institute,
 Validated By National Accreditation & Management Institute,

Referenced Standard and Year (of Standard)	<u>Standard</u>	<u>Year</u>
	ASTM E1886	2002
	ASTM E1996	2002
	ASTM E330	2002
	TAS 202	1994

Equivalence of Product Standards
 Certified By

Product Approval Method Method 1 Option A

Date Submitted 01/31/2011

Date Validated
 Date Pending FBC Approval
 Date Approved

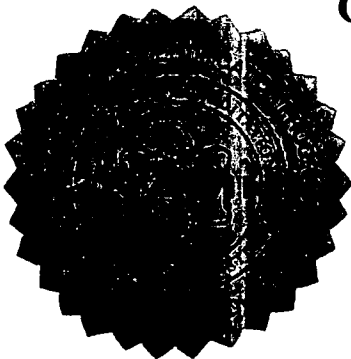
03/10/2011
 03/22/2011

Summary of Products		
FL #	Model, Number or Name	Description
8228.1	Fiberglass Side-Hinged Door Unit	6'-8" Opaque I/S and O/S Single Door
Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +85.0/-85.0 Other: Evaluated for use in locations adhering to the Florida Building Code including the High Velocity Hurricane Zone, and where pressure requirements as determined by ASCE 7, does not exceed the design pressures listed. 3'-0" x 6'-8" max nominal size. Hurricane protective system required in HVHZ, but not required in the Wind Borne Debris Region. See DWG-MA-FL0160-07 for additional information.		Certification Agency Certificate FL8228_R3_C_CAC_NI006900-R1.PDF Quality Assurance Contract Expiration Date 12/31/2014 Installation Instructions FL8228_R3_II_FL0160.pdf Verified By: National Accreditation & Management Insti Created by Independent Third Party: Evaluation Reports FL8228_R3_AE_504A.pdf Created by Independent Third Party: Yes
8228.2	Fiberglass Side-Hinged Door Unit	8'-0" Opaque I/S and O/S Single Door
Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +70.0/-70.0 Other: Evaluated for use in locations adhering to the Florida Building Code including the High Velocity Hurricane Zone, and where pressure requirements as determined by ASCE 7, does not exceed the design pressures listed. 3'-0" x 8'-0" max nominal size. Hurricane protective system required in HVHZ, but not required in the Wind Borne Debris Region. See DWG-MA-FL0161-07 for additional information.		Certification Agency Certificate FL8228_R3_C_CAC_NI006900-R1.PDF Quality Assurance Contract Expiration Date 12/31/2014 Installation Instructions FL8228_R3_II_FL0161.pdf Verified By: National Accreditation & Management Insti Created by Independent Third Party: Evaluation Reports FL8228_R3_AE_503A.pdf Created by Independent Third Party: Yes
8228.3	Fiberglass Side-Hinged Door Unit	6'-8" Opaque Inswing Single or Double Door w/or w/o Sidelites
Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +50.5/-50.5 Other: Evaluated for use in locations adhering to the Florida Building Code including the High Velocity Hurricane Zone, and where pressure requirements as determined by ASCE 7, does not exceed the design pressures listed. 12'-0" x 6'-8" max nominal size. Hurricane protective system required in HVHZ, but not required in the Wind Borne Debris Region. See DWG-MA-FL0160-07 for additional information.		Certification Agency Certificate FL8228_R3_C_CAC_NI006900-R1.PDF Quality Assurance Contract Expiration Date 12/31/2014 Installation Instructions FL8228_R3_II_FL0160.pdf Verified By: National Accreditation & Management Insti Created by Independent Third Party: Evaluation Reports FL8228_R3_AE_502A.pdf Created by Independent Third Party: Yes
8228.4	Fiberglass Side-Hinged Door Unit	6'-8" Opaque Outswing Single or Double Door w/ or w/o Sidelites
Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +55.0/-50.5 Other: Evaluated for use in locations adhering to the Florida Building Code including the High Velocity Hurricane Zone, and where pressure requirements as determined by ASCE 7, does not exceed the design pressures listed. 12'-0" x 6'-8" max nominal size. Hurricane protective system required in HVHZ, but not required in the Wind Borne Debris Region. See DWG-MA-FL0160-07 for additional information.		Certification Agency Certificate FL8228_R3_C_CAC_NI006900-R1.PDF Quality Assurance Contract Expiration Date 12/31/2014 Installation Instructions FL8228_R3_II_FL0160.pdf Verified By: National Accreditation & Management Insti Created by Independent Third Party: Evaluation Reports FL8228_R3_AE_502A.pdf Created by Independent Third Party: Yes
8228.5	Fiberglass Side-Hinged Door Unit	8'-0" Opaque Inswing Single or Double Door w/ or w/o Sidelites
Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +50.5/-50.5 Other: Evaluated for use in locations adhering to the Florida Building Code including the High Velocity Hurricane Zone, and where pressure requirements as determined by ASCE 7, does not exceed the design pressures listed. 12'-0" x 8'-0" max		Certification Agency Certificate FL8228_R3_C_CAC_NI006900-R1.PDF Quality Assurance Contract Expiration Date 12/31/2014 Installation Instructions FL8228_R3_II_FL0161.pdf Verified By: National Accreditation & Management Insti Created by Independent Third Party: Evaluation Reports

nominal size. Hurricane protective system required in HVHZ, but not required in the Wind Borne Debris Region. See DWG-MA-FL0161-07 for additional information.		FL8228_R3_AE_501A.pdf Created by Independent Third Party: Yes
8228.6	Fiberglass Side-Hinged Door Unit	8'-0" Opaque Outswing Single or Double Door w/ or w/o Sidelites
Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +55.0/-50.5 Other: Evaluated for use in locations adhering to the Florida Building Code including the High Velocity Hurricane Zone, and where pressure requirements as determined by ASCE 7, does not exceed the design pressures listed. 12'-0" x 8'-0" max nominal size. Hurricane protective system required in HVHZ, but not required in the Wind Borne Debris Region. See DWG-MA-FL0161-07 for additional information.		Certification Agency Certificate FL8228_R3_C_CAC_NI006900-R1.PDF Quality Assurance Contract Expiration Date 12/31/2014 Installation Instructions FL8228_R3_II_FL0161.pdf Verified By: National Accreditation & Management Insti Created by Independent Third Party: Evaluation Reports FL8228_R3_AE_501A.pdf Created by Independent Third Party: Yes
8228.7	Fiberglass Side-Hinged Door Unit	6'-8" Glazed Inswing Single or Double Door w/ or w/o Sidelites
Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +52.0/-52.0 Other: Evaluated for use in locations adhering to the Florida Building Code including the High Velocity Hurricane Zone, and where pressure requirements as determined by ASCE 7, does not exceed the design pressures listed. 12'-0" x 6'-8" max nominal size. Hurricane protective system required in HVHZ, but not required in the Wind Borne Debris Region. See DWG-MA-FL0162-07 for additional information.		Certification Agency Certificate FL8228_R3_C_CAC_NI006900-R1.PDF Quality Assurance Contract Expiration Date 12/31/2014 Installation Instructions FL8228_R3_II_FL0162.pdf Verified By: National Accreditation & Management Insti Created by Independent Third Party: Evaluation Reports FL8228_R3_AE_502A.pdf Created by Independent Third Party: Yes
8228.8	Fiberglass Side-Hinged Door Unit	6'-8" Glazed Outswing Single or Double Door w/ or w/o Sidelites
Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +55.0/-55.0 Other: Evaluated for use in locations adhering to the Florida Building Code including the High Velocity Hurricane Zone, and where pressure requirements as determined by ASCE 7, does not exceed the design pressures listed. 12'-0" x 6'-8" max nominal size. Hurricane protective system required in HVHZ, but not required in the Wind Borne Debris Region. See DWG-MA-FL0162-07 for additional information.		Certification Agency Certificate FL8228_R3_C_CAC_NI006900-R1.PDF Quality Assurance Contract Expiration Date 12/31/2014 Installation Instructions FL8228_R3_II_FL0162.pdf Verified By: National Accreditation & Management Insti Created by Independent Third Party: Evaluation Reports FL8228_R3_AE_502A.pdf Created by Independent Third Party: Yes
8228.9	Fiberglass Side-Hinged Door Unit	8'-0" Glazed Inswing Single or Double Door w/ or w/o Sidelites
Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +40.0/-45.0 Other: Evaluated for use in locations adhering to the Florida Building Code including the High Velocity Hurricane Zone, and where pressure requirements as determined by ASCE 7, does not exceed the design pressures listed. 12'-0" x 8'-0" max nominal size. Hurricane protective system required in HVHZ, but not required in the Wind Borne Debris Region. See DWG-MA-FL0163-07 for additional information.		Certification Agency Certificate FL8228_R3_C_CAC_NI006900-R1.PDF Quality Assurance Contract Expiration Date 12/31/2014 Installation Instructions FL8228_R3_II_FL0163.pdf Verified By: National Accreditation & Management Insti Created by Independent Third Party: Evaluation Reports FL8228_R3_AE_501A.pdf Created by Independent Third Party: Yes
8228.10	Fiberglass Side-Hinged Door Unit	8'-0" Glazed Outswing Single or Double Door w/ or w/o Sidelites
Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +43.0/-47.0 Other: Evaluated for use in locations adhering to the Florida Building Code including the High Velocity Hurricane Zone, and where pressure requirements as determined by ASCE 7, does not exceed the design pressures listed. 12'-0" x 8'-0" max nominal size. Hurricane protective system required in HVHZ, but not required in the Wind Borne Debris Region. See DWG-		Certification Agency Certificate FL8228_R3_C_CAC_NI006900-R1.PDF Quality Assurance Contract Expiration Date 12/31/2014 Installation Instructions FL8228_R3_II_FL0163.pdf Verified By: National Accreditation & Management Insti Created by Independent Third Party: Evaluation Reports FL8228_R3_AE_501A.pdf Created by Independent Third Party: Yes

[Handwritten signature]
10/11/11

NAMI NOTICE OF PRODUCT LINE CERTIFICATION



Certification No.: NI006900-R1 Page 1
Date: 01/14/2007
Revision Date: 11/22/2010
Certification Program: Structural
Company: Masonite International
Code: M-703-1

The "Notice of Product Line Certification" is valid only when Administrator's Seal is applied to the upper left hand portion of this form and a certification label is applied to the product. This certification seal represents product conformity to the applicable specification and that all certification criteria has been satisfied. The products and systems listed below are approved for listing in the Directory of Certified Products at www.NAMICertification.com. Please review, and advise NAMI immediately if data, as shown requires corrections.

Company: **Masonite International Corporation**
1955 Powis Road
West Chicago, IL 60185

Product Line: **Masonite Fiberglass Side-Hinged Door Units**

Test Report: NCTL-210-3102-1/210-3105-1/210-1973-1,2,3/210-3107-1/210-3108-1
NCTL-210-3367-1/CTLA 772W/CTLA 772W-1/CTLA 772W-2/
CTLA 805W/CTLA 805W-2/CTLA 1051W/NCTL-210-3358-1/
210-3367-1/210-3389-1

Section 1: General Description of the Products and Systems under this Certification

- 1.1 **Frame:** The frame jambs consist of finger jointed pine with all corners coped, butted, and sealed using three 2" long wire staples (.04375").
- 1.2 **Mullion Construction:** Where used, each mullion constructed of back to back wood jambs and attached to the header and threshold with two (2) #10 x 3" Philips Flat Head Wood Screws.
- 1.3 **Non-Impact Glazing:** Where used, the overall insulated glass was glazed into a rigid plastic lip-lite frame. Consisted of symmetric monolithic insulated glass with 3mm (0.118) tempered glass with aluminum, steel or butyl spacer.
Impact Glazing: Where used, the overall impact rated insulating glass was glazed into an ASA polycarbonate frame. The glass consists of a laminate with 0.124" Annealed Glass/0.090" Solutia Saflex III G/0.124" Annealed Glass and a lite of 0.124" Tempered Glass with aluminum or butyl spacer.
- 1.4 **Door Leaf Construction:** Each door leaf was constructed from 0.070" thick fiberglass composite material. Top rail and stiles constructed from wood, with or without composite edge band.

National Accreditation & Management Institute, Inc.
4794 George Washington Memorial Highway, Hayes, VA 23072
Tel: (804) 684-5124 Fax: (804) 684-5122

Section 2: Registered Suppliers

- 2.1 **Non-Impact Door Lites:** ODL or Specialty
- 2.2 **Impact Door Lites:** Specialty
- 2.3 **Astragal:** Endura Ultimate

Section 3: Additional Supportive Test or Acceptance Data Provided with Certification Documentation included:

- 3.1 **Fiberglass Door Facing-Tested for Tensile & Elongation Properties per ASTM D638, both before and after weathering for 4500 hours per ASTM G155 Xenon Arc Method 1. Test Report Number ATI-94556.01.106-31.**
- 3.2 **Skin material tested to ASTM D635, ASTM D2843 and ASTM D1929 And conditioned for not less than 40 hours per ASTM D618. "Rate of Burn, Self Ignition Temperature and Smoke Density Tests" to Fiberglass Skin, Test Report Number ATI-94566.01-106-31.**
- 3.3 **Miami-Dade Building Code Compliance Notice of Acceptance for Non-Impact Lite Frame Material, NOA 07-0801.05 and ETC-02-797-12517.1**
- 3.4 **Impact Lite Frame Material tested to ASTM D635, ASTM D2843, ASTM D1929 and ASTM D638 conducted by ETC Laboratories, Test Report ETC-00-417-10343-2.**
- 3.5 **Miami-Dade Building Code Compliance Notice of Acceptance for Solutia Interlayers, NOA #09-0127.13.**
- 3.6 **Surface Burning Characteristics for Foam Filled Door performed by Omega Point Laboratories to ASTM E84-98, "Standard Test Method for Surface Burning Characteristics of Building Materials-Report No. 15977-104313 and 17276-125193.**
- 3.7 **Anchor Performance Calculation Report-Performed by Luis R. Lomas, P.E. (Florida No. 62514).**
- 3.8 **National Accreditation & Management Institute, Inc. W-1362/W-1416.**

See additional Pages of Certification for Certified Product Line Matrix(s) and Installation Details. If you have any questions regarding this certification, please contact NAMI at (804) 684-5124.

National Accreditation & Management Institute, Inc.
4794 George Washington Memorial Highway, Hayes, VA 23072
Tel: (804) 684-5124 Fax: (804) 684-5122

NOTICE OF PRODUCT CERTIFICATION

Company: Masonite International Corporation
1955 Powis Road
West Chicago, IL 60185

Certification No.: NI006900 Page 3
Certification Date: 01/14/2007
Expiration Date: 12/31/2010

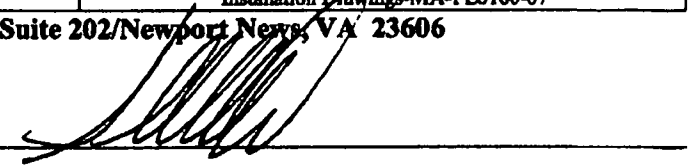
Product: Fiberglass Opaque Inswing or Outswing Door w/ and w/o Non-Impact Rated Sidelites (w/Wood Frame unless noted)
Specifications Tested To: PA 202-94/ASTM E330/ASTM E1886/E1996
Impact Rating: Wind Zone 4-Missile Level D

The "Notice of Product Certification" is only valid if the NAMI Certification Label has been applied to the product as described within this document. The certification label represents product conformity to the applicable specification and that all certification criteria has been satisfied. This product has been approved for listing within NAMI's Certified Product Listing at www.Namicertification.com. NAMI's Certification Program is accredited by The American National Standards Institute (ANSI).

Configuration	Inswing or Outswing	Glazed or Opaque	Maximum Size	Design Pressure Pos/Neg	Missile Impact Rated	Test Report Number Drawing Number & Comments
X Single	I/S	Opaque	3'0" x 6'8"	+70/-70	Yes	NCTL-210-3102-1/NCTL-210-1973-1,2,3/CTLA-1051W Maximum Panel Size: 3'0" x 6'8" Installation Drawings-MA-FL0160-07
X Single	O/S	Opaque	3'0" x 6'8"	+85/-85	Yes	NCTL-210-3358-1 Maximum Panel Size: 3'0" x 6'8" Installation Drawings-MA-FL0160-07
XX Double	I/S	Opaque	6'0" x 6'8"	+50.5/-50.5	Yes	NCTL-210-3105-1/210-3314-1A.CTLA-772W-2 Maximum Panel Size: 3'0" x 6'8"/Sidelite: 3'0" x 6'8" Installation Drawings-MA-FL0160-07
XX Double	O/S	Opaque	6'0" x 6'8"	+55/-50.5	Yes	NCTL-210-3105-1/210-3314-1A.CTLA-772W-2 Maximum Panel Size: 3'0" x 6'8"/Sidelite: 3'0" x 6'8" Installation Drawings-MA-FL0160-07
XO/OX Single w/Sidelite	I/S	Opaque Door Glazed Sidelite	6'0" x 6'8"	+50.5/-50.5	Door-Yes Sidelite-No	NCTL-210-3105-1/210-3314-1A.CTLA-772W-2 Maximum Panel Size: 3'0" x 6'8"/Sidelite: 3'0" x 6'8" Installation Drawings-MA-FL0160-07
XO/OX Single w/Sidelites	O/S	Opaque Door Glazed Sidelite	6'0" x 6'8"	+55/-50.5	Door-Yes Sidelite-No	NCTL-210-3105-1/210-3314-1A.CTLA-772W-2 Maximum Panel Size: 3'0" x 6'8"/Sidelite: 3'0" x 6'8" Installation Drawings-MA-FL0160-07
OXO Single w/Sidelites	I/S	Opaque Door Glazed Sidelites	9'0" x 6'8"	+50.5/-50.5	Door-Yes Sidelites-No	NCTL-210-3105-1/210-3314-1A.CTLA-772W-2 Maximum Panel Size: 3'0" x 6'8"/Sidelite: 3'0" x 6'8" Installation Drawings-MA-FL0160-07
OXO Single w/Sidelites	O/S	Opaque Door Glazed Sidelites	9'0" x 6'8"	+55/-50.5	Door-Yes Sidelites-No	NCTL-210-3105-1/210-3314-1A.CTLA-772W-2 Maximum Panel Size: 3'0" x 6'8"/Sidelite: 3'0" x 6'8" Installation Drawings-MA-FL0160-07
OXXO Double w/Sidelites	I/S	Opaque Doors Glazed Sidelites	12'4" x 6'8"	+50.5/-50.5	Doors-Yes Sidelites-No	NCTL-210-3105-1/210-3314-1A.CTLA-772W-2 Maximum Panel Size: 3'0" x 6'8"/Sidelite: 3'0" x 6'8" Installation Drawings-MA-FL0160-07
OXXO Double w/Sidelites	O/S	Opaque Doors Glazed Sidelites	12'4" x 6'8"	+55/-50.5	Doors-Yes Sidelites-No	NCTL-210-3105-1/210-3314-1A.CTLA-772W-2 Maximum Panel Size: 3'0" x 6'8"/Sidelite: 3'0" x 6'8" Installation Drawings-MA-FL0160-07

National Accreditation & Management Institute, Inc./11870 Merchants Walk Suite 202/Newport News, VA 23606
Tel-757.594.8658/Fax-757.594.8659

NAMI AUTHORIZED SIGNATURE: _____



NOTICE OF PRODUCT CERTIFICATION

Company: Masonite International Corporation
1955 Powis Road
West Chicago, IL 60185

Certification No.: NI006900 Page 5
Certification Date: 01/14/2007
Expiration Date: 12/31/2010

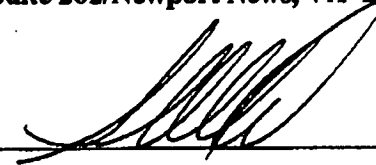
Product: Fiberglass Glazed Inswing or Outswing Door w/ and w/o Non-Impact Rated Sidelites (w/Wood Frame unless noted)
Specifications Tested To: PA 202-94/ASTM E330

The "Notice of Product Certification" is only valid if the NAMI Certification Label has been applied to the product as described within this document. The certification label represents product conformity to the applicable specification and that all certification criteria has been satisfied. This product has been approved for listing within NAMI's Certified Product Listing at www.Namcertification.com. NAMI's Certification Program is accredited by The American National Standards Institute (ANSI).

Configuration	Inswing or Outswing	Glazed or Opaque	Maximum Size	Design Pressure Pos/Neg	Missile Impact Rated	Test Report Number Drawing Number & Comments
X Single	I/S	Glazed	3'0" x 6'8"	+52/-52	No	NCTL-210-3108-1/CTLA-805W-2 Maximum Panel Size: 3'0" x 6'8" Installation Drawings-MA-FL0162-07
X Single	O/S	Glazed	3'0" x 6'8"	+55/-55	No	NCTL-210-3108-1/CTLA-805W-2 Maximum Panel Size: 3'0" x 6'8" Installation Drawings-MA-FL0162-07
XX Double	I/S	Glazed	6'0" x 6'8"	+52/-52	No	NCTL-210-3108-1/CTLA-805W-2 Maximum Panel Size: 3'0" x 6'8" Installation Drawings-MA-FL0162-07
XX Double	O/S	Glazed	6'0" x 6'8"	+55/-55	No	NCTL-210-3108-1/CTLA-805W-2 Maximum Panel Size: 3'0" x 6'8" Installation Drawings-MA-FL0162-07
XO/OX Single w/Sidelite	I/S	Glazed Door Glazed Sidelite	6'0" x 6'8"	+52/-52	Door-No Sidelite-No	NCTL-210-3108-1/CTLA-805W-2 Maximum Panel Size: 3'0" x 6'8" Installation Drawings-MA-FL0162-07
XO/OX Single w/Sidelites	O/S	Glazed Door Glazed Sidelite	6'0" x 6'8"	+55/-55	Door-No Sidelite-No	NCTL-210-3108-1/CTLA-805W-2 Maximum Panel Size: 3'0" x 6'8" Installation Drawings-MA-FL0162-07
OXO Single w/Sidelites	I/S	Glazed Door Glazed Sidelites	9'0" x 6'8"	+52/-52	Door-No Sidelites-No	NCTL-210-3108-1/CTLA-805W-2 Maximum Panel Size: 3'0" x 6'8" Installation Drawings-MA-FL0162-07
OXO Single w/Sidelites	O/S	Glazed Door Glazed Sidelites	9'0" x 6'8"	+55/-55	Door-No Sidelites-No	NCTL-210-3108-1/CTLA-805W-2 Maximum Panel Size: 3'0" x 6'8" Installation Drawings-MA-FL0162-07
OXXO Double w/Sidelites	I/S	Glazed Doors Glazed Sidelites	12'6" x 6'8"	+52/-52	Doors-No Sidelites-No	NCTL-210-3108-1/CTLA-805W-2 Maximum Panel Size: 3'0" x 6'8" Installation Drawings-MA-FL0162-07
OXXO Double w/Sidelites	O/S	Glazed Doors Glazed Sidelites	12'6" x 6'8"	+55/-55	Doors-No Sidelites-No	NCTL-210-3108-1/CTLA-805W-2 Maximum Panel Size: 3'0" x 6'8" Installation Drawings-MA-FL0162-07

National Accreditation & Management Institute, Inc./11870 Merchants Walk Suite 202/Newport News, VA 23606
Tel-757.594.8658/Fax-757.594.8659

NAMI AUTHORIZED SIGNATURE: _____





**SIDE-HINGED FIBERGLASS DOOR UNIT
6'-8" GLAZED DOUBLE DOOR WITH / WITHOUT SIDELITES**

GENERAL NOTES

- EVALUATED FOR USE IN LOCATIONS ADHERING TO THE FLORIDA BUILDING CODE AND WHERE PRESSURE REQUIREMENTS AS DETERMINED BY ASCE 7, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES, DOES NOT EXCEED THE DESIGN PRESSURES LISTED.
- WHEN INSTALLED IN THE HIGH VELOCITY HURRICANE ZONE (HMZ), HURRICANE PROTECTIVE SYSTEM (SHUTTERS) IS REQUIRED.
- WHEN INSTALLED IN THE WIND-BORNE DEBRIS REGION, EXCLUDING THE HIGH VELOCITY HURRICANE ZONE (HMZ), HURRICANE PROTECTIVE SYSTEM IS NOT REQUIRED ON PANELS WITH IMPACT GLASS, BUT IS REQUIRED ON PANELS WITH NON-IMPACT GLASS.
- POLYURETHANE CORE FLAME SPREAD INDEX OF 50 AND SMOKE DEVELOPED INDEX OF 60 PER ASTM E84. POLYURETHANE CORE FLAME SPREAD INDEX OF 15 AND SMOKE DEVELOPED INDEX OF 115 PER ASTM E84.
- PLASTICS TESTING OF FIBERGLASS FACING:

TEST DESCRIPTION	DESIGNATION	RESULT
SELF IGNITION TEMP	ASTM D1928	803 °F > 650 °F
RATE OF BURNING	ASTM D635	0.79 IN./MIN
SMOKE DENSITY	ASTM D2843	48.9%
TENSILE STRENGTH*	ASTM D638	-7.3% DIFT
- PLASTICS TESTING OF LITE FRAME MATERIAL:

TEST DESCRIPTION	DESIGNATION	RESULT
SELF IGNITION TEMP	ASTM D1928	660 °F > 650 °F
RATE OF BURNING	ASTM D635	1.10 IN./MIN
SMOKE DENSITY	ASTM D2843	69.6%
TENSILE STRENGTH*	ASTM D638	-7.4% DIFT

* COMPARATIVE TENSILE STRENGTH AFTER WEATHERING 4500 HOURS XENON ARC METHOD 1

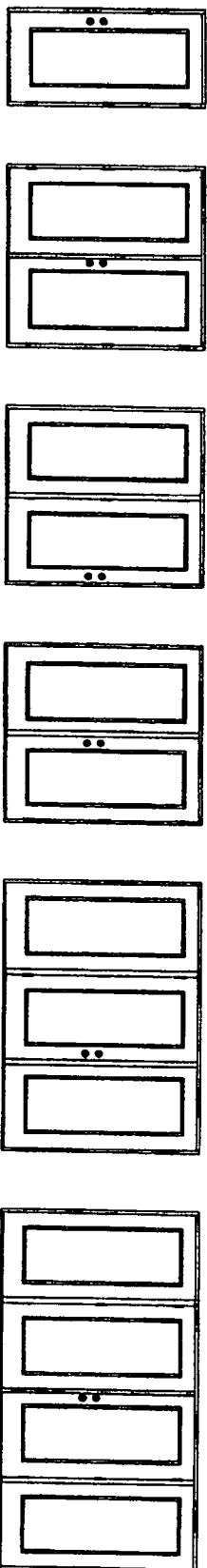
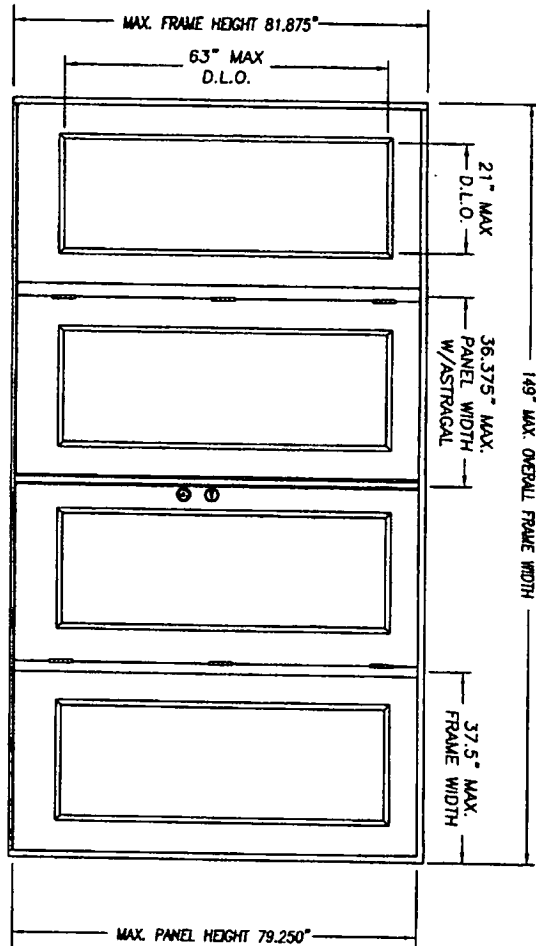


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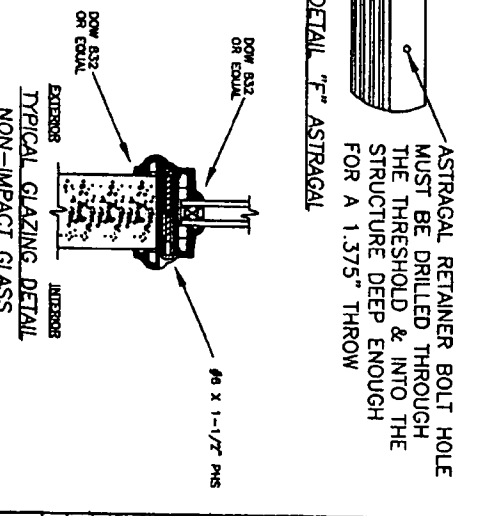
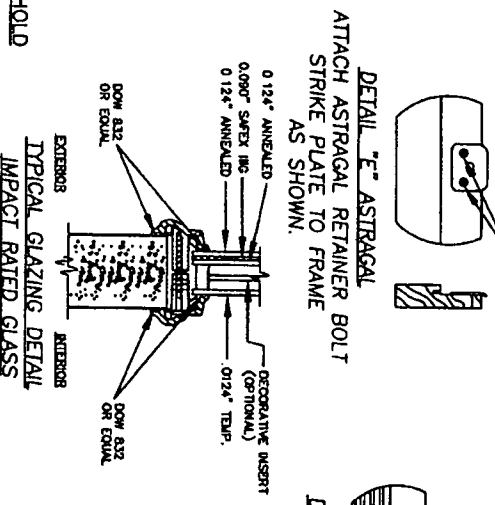
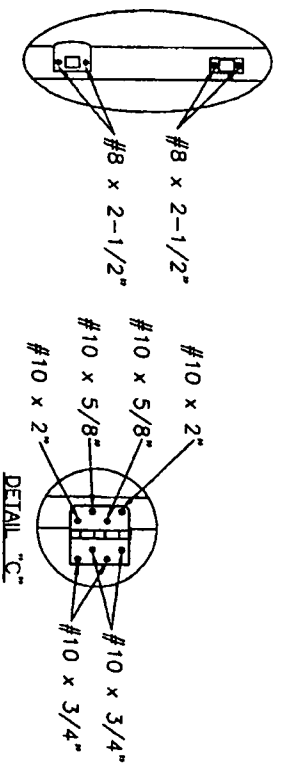
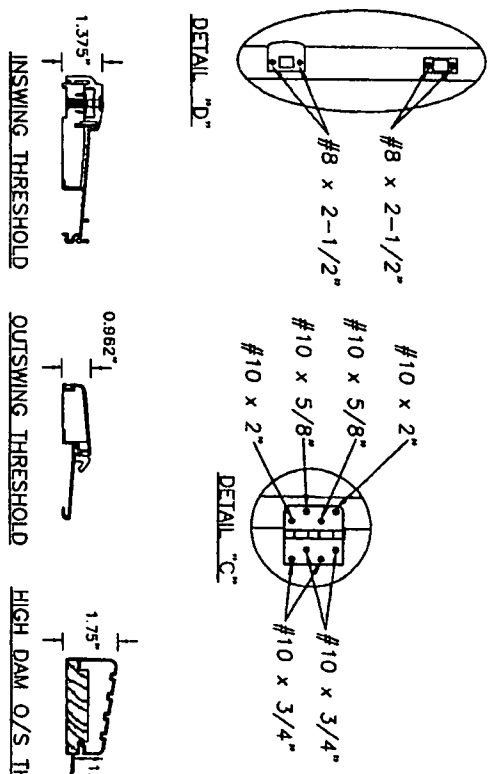
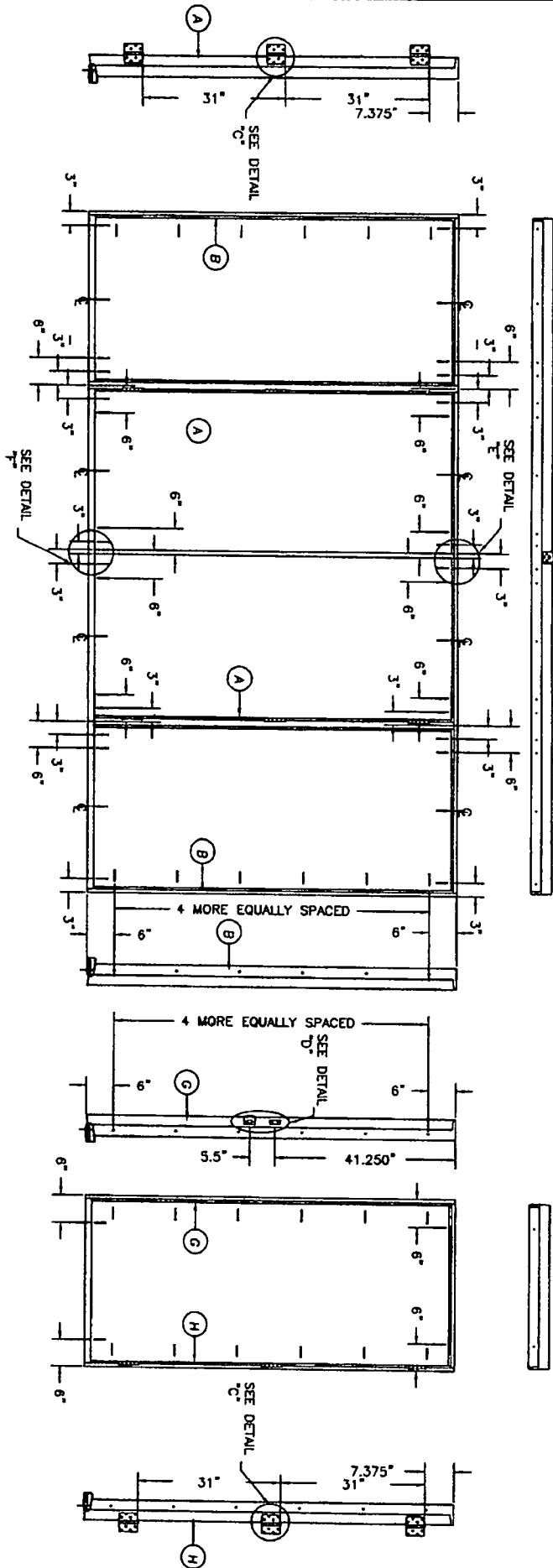
SHEET #	DESCRIPTION
1	TYPICAL ELEVATIONS & GENERAL NOTES
2	ANCHORING LOCATIONS & DETAILS
3	ANCHORING LOCATIONS & DETAILS

CONFIG	MAX WIDTH	DESIGN PRESSURE RATING	WHERE WATER INFILTRATION PERFORMANCE IS REQUIRED TO BE 15% OF DESIGN PRESSURE
X	37.5"	+52.0 / -52.0	+18.0 / -18.0
XX	74"	+52.0 / -52.0	+40.0 / -40.0
OX or XO	75"	+52.0 / -52.0	+40.0 / -40.0
OXX	112.5"	+52.0 / -52.0	+40.0 / -40.0
OXOX	149"	+52.0 / -52.0	+40.0 / -40.0

* High Dam Threshold Design

DOUBLE DOOR UNIT W/SIDELITES

DATE: 1/5/07	SCALE: N.T.S.	DATE: 4/9/07	REVISED: UPDATED DP RATINGS	BY: SWS	PRODUCT: "EXTERIOR DOOR PRODUCT" DOUBLE 6'8" GLAZED FIBERGLASS DOOR PART OR ASSEMBLY: TYPICAL ELEVATIONS & GENERAL NOTES	MASONITE INTERNATIONAL CORP. 7300 REAMES RD. CHARLOTTE, NC 28216
DWG. BY: SWS	DWG. NO.: DWG-44A-F10162-07	NO. A	REVISIONS	NO.		



ATTACH ASTRAGAL RETAINER BOLT STRIKE PLATE TO FRAME AS SHOWN.

ASTRAGAL RETAINER BOLT HOLE MUST BE DRILLED THROUGH THE THRESHOLD & INTO THE STRUCTURE DEEP ENOUGH FOR A 1.375" THROW

DATE		REVISIONS	
B	1/2/08	HINGE SCREW LENGTH	SWS
A	4/9/07	UPDATED DP RATINGS	SWS
NO.	DATE		BY

PRODUCT:
EXTERIOR DOOR PRODUCT
6"-8" FIBERGLASS CLAZED
DOUBLE DOOR UNIT

PART OR ASSEMBLY:
ANCHORING LOCATIONS
& DETAILS

MASONITE INTERNATIONAL CORP.
7300 REAMES RD.
CHARLOTTE, NC 28216

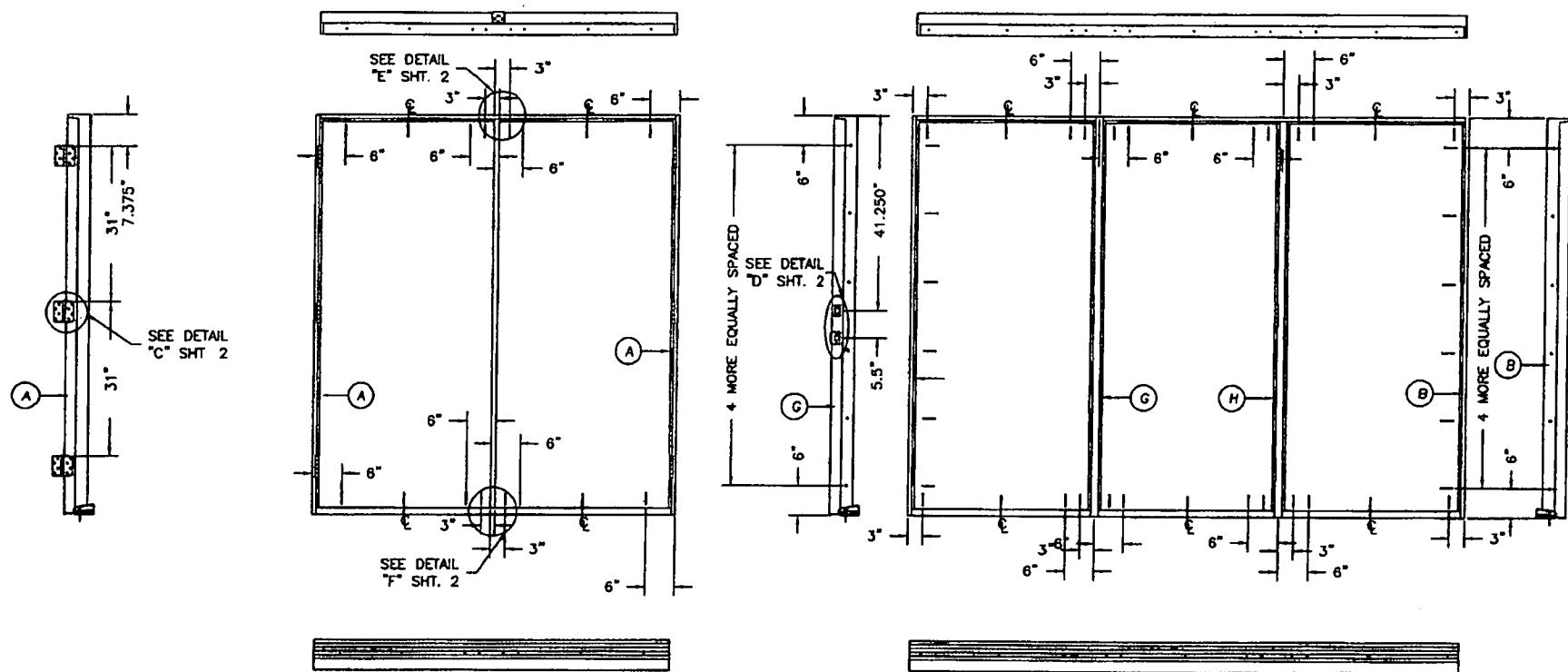
DATE: 1/5/07
SCALE: N.T.S.
CHK. BY: SWS
DESIGNED BY: SWS
DRAWING NO.: DWG-44-F10182-07
SHEET 2 OF 3

MASONITE INTERNATIONAL CORP.
 7300 REAMES RD.
 CHARLOTTE, NC 28216

PRODUCT: EXTERIOR DOOR PRODUCT
 6" FIBERGLASS GLAZED
 DOUBLE DOOR UNIT
 PART OR ASSEMBLY: ANCHORING LOCATIONS
 & DETAILS

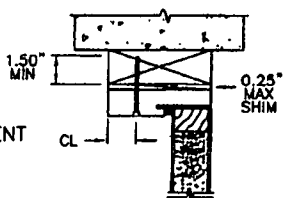
NO.	DATE	BY	REVISIONS
A	4/9/07	SWS	UPDATED DP RATINGS

DATE: 1/5/07
 SCALE: N.T.S.
 DWG. BY: SWS
 CHK. BY:
 DRAWING NO.: DMC-MA-FL0182-07
 SHEET 3 OF 3



ATTACHMENT DETAIL

1. ANCHOR ANALYSIS FOR LOADING CONDITIONS PREPARED, SIGNED AND SEALED BY HAROLD E. RUPP, PE (FLORIDA #15935) WITH THE LOWEST (LEAST) FASTENER RATING FROM THE DIFFERENT FASTENERS BEING CONSIDERED FOR USE. JAMB, HEAD, AND THRESHOLD FASTENERS ANALYZED FOR THIS UNIT INCLUDE #10 WOOD SCREWS OR 3/16" TAPCONS. A PHYSICAL SHIM MUST BE PLACED IN SHIM SPACE AT EACH ANCHOR LOCATION.
2. THE WOOD SCREW SINGLE SHEAR DESIGN VALUES COME FROM ANSI/AF&PA NDA FOR SOUTHERN PINE LUMBER AND ACHIEVEMENT OF 1-1/2" MINIMUM EMBEDMENT. THE TAPCON MUST ACHIEVE MINIMUM EMBEDMENT OF 1-1/4".
3. WOOD BUCKS BY OTHERS MUST BE ANCHORED PROPERLY TO TRANSFER LOADS TO STRUCTURE.
4. MINIMUM DESIGN VALUE STRENGTH OF ANCHORS 171 LBS.



TYPICAL ANCHOR INSTALLATION
 4-9/16" MIN JAMB

HARDWARE SCHEDULE

1. KWIKSET MAXIMUM SECURITY SERIES GRADE 2 CYLINDRICAL AND DEADLOCK HARDWARE TO BE INSTALLED AT 5-1/2" CENTERLINE.
2. 4" X 4" FULL MORTISE BUTT HINGES.

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 11-1-11 Page of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9893	Kiplinger 143 SRR Glass Plus	Final	Pass	Close INSPECTOR JA
9897	Premier Realty 2 NS PRD Premier	A/C Final	Pass	Close INSPECTOR JA
9903 before 9302	Badice 96 SRR Lanes	Front Door	Pass	Close INSPECTOR JA
	BILLINGHAM 2 VIA DE CRISTO	CHECK OUT POOL FENCE	OK	INSPECTOR
				INSPECTOR
				INSPECTOR
	161 SRR	DEBRIS		INSPECTOR

10167

A/C CHANGEOUT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10167	DATE ISSUED:	JULY 25, 2012
SCOPE OF WORK:	AC CHANGEOUT		
CONTRACTOR:	COLD REMEDY AC		
PARCEL CONTROL NUMBER:	123841002-000-007304	SUBDIVISION	RIO VISTA - LOT 73
CONSTRUCTION ADDRESS:	96 S RIVER RD		
OWNER NAME:	BRADICE		
QUALIFIER:	RICHARD VOLKART	CONTACT PHONE NUMBER:	878-2754

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

Permit Number: 101167

Date: 7-20-12
 OWNER/LESSEE NAME: BRADICE Phone (Day) 772 214 4492 (Fax) X
 Job Site Address: 90 S RIVER RD City: SEWALLS PT State: FL Zip: 34994
 Legal Description: RIO VISTA SBL 073 Parcel Control Number: 123841002000007304
 Fee Simple Holder Name: _____ Address: _____
 City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):** REPLACE 1.5T W/1.5T SYSTEM ^{EXIST} AL

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner Builder questionnaire must accompany application)
 YES _____ NO X
Has a Zoning Variance ever been granted on this property?
 YES _____ (YEAR) _____ NO _____
 (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
 Estimated Value of Improvements: \$ 23500
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
 Is subject property located in flood hazard area? VE10 _____ AE9 _____ AE8 _____ X _____
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
 Estimated Fair Market Value prior to improvement: \$ _____
 (Fair Market Value of the Primary Structure only, Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: COLA REMEDY INC WL Phone: 878 2754 Fax: X
 Qualifiers name: RICHARD D VOLKART Street: 633 NE HORIZON LN City: P.S.C State: FL Zip: 34983
 State License Number: CAC048125 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: _____ Phone Number: 9728782754
 DESIGN PROFESSIONAL: _____ Fla. License# _____
 Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____
 Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE*: _____
 * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

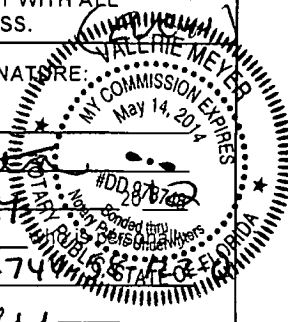
*******A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE:
Albert Bradice
 State of Florida, County of: Martin
 On This the 23 day of July, 2012
 by Albert Bradice who is personally
 known to me or produced FL DRIVER'S LICENSE
 As identification. Demetra Arvanetes

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:
Richard D Volkart
 State of Florida, County of: Martin
 On This the 24 day of July, 2012
 by Richard D Volkart
 known to me or produced FLC#V426-74
 As identification. Valerie Meyer

DEMETRA ARVANETES
 Notary Public, State of Florida
 Commission # EE 138110
 Commission Expires 05/31/15



My Commission Expires: 11/1/15
 SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**Martin County, Florida
Laurel Kelly, C.F.A**

generated on 7/20/2012 7:39:34 AM EDT

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-002-000-00730-4	27586	96 S RIVER ROAD, SEWALL'S POINT	\$362,210	7/14/2012

Owner Information

Owner(Current) BRADICE ALBERT & EVELYN
Owner/Mail Address 96 S RIVER RD
 STUART FL 34996
Sale Date 2/24/1997
Document Book/Page 1222.1792
Document No.
Sale Price 85000

Location/Description

Account # 27586
Tax District 2200
Parcel Address 96 S RIVER ROAD, SEWALL'S POINT
Acres .3450
Map Page No. SP-04
Legal Description RIO VISTA S/D LOT 73

Parcel Type

Use Code 0100 Single Family
Neighborhood 120250 RIO VISTA DRY

Assessment Information

Market Land Value \$139,700
Market Improvement Value \$222,510
Market Total Value \$362,210

Realtors



THIS FORM HAS BEEN APPROVED BY THE FLORIDA REALTORS AND THE FLORIDA BAR
"AN IS" Residential Contract For Sale And Purchase



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

Air Conditioning Change out Affidavit

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

Residential Commercial
 Package Unit ___ Yes No (Use Condenser side of form below for equipment listing)
 Duct Replacement ___ Yes No - Refrigerant line replacement ___ Yes No
 Flushing Existing Refrigerant lines Yes ___ No - Adding Refrigerant Drier Yes ___ No
 Rooftop A/C Stand Installation ___ Yes No - Curb Installation ___ Yes No
 Smoke Detector in Supply (over 2000 CFM) ___ Yes ___ No

One form required for each A/C system installed

<u>REPLACEMENT SYSTEM COMPONENTS</u> <i>NEW SYSTEM</i>	
<i>A-14-V</i> Air handler: Mfg: <u>Rhppm</u> Model# <u>RBH317506</u>	Condenser: Mfg: <u>Rhppm</u> Model# <u>13A5M18</u>
Volts <u>240</u> CFM's <u>820</u> Heat Strip <u>5</u> Kw	Volts <u>240</u> SEER/EER <u>16</u> BTU's <u>19,2</u>
Min. Circuit Amps <u>20</u> Wire gauge <u>8</u>	Min. Circuit Amps <u>20</u> Wire gauge <u>10</u>
Max. Breaker size <u>30</u> Min. Breaker size ___	Max. Breaker size <u>25</u> Min. Breaker size ___
Ref. line size: Liquid <u>3/8</u> Suction <u>3/4</u>	Ref. line size: Liquid <u>3/8</u> Suction <u>3/4</u>
Refrigerant type <u>R410</u>	Refrigerant type <u>R410</u>
Location: <u>Existing</u> ___ New ___	Location: <u>Existing</u> ___ New ___
Attic/Garage/Closet (specify) <u>2nd fl</u>	Left/Right/Rear/Front/Roof <u>N-SIDE (BY POOL)</u>
Access: <u>2ND FL STAIRCASE</u>	Condensate Location <u>N SIDE HOME</u>

NOTE: CONTRACTOR MUST SUPPLY A PROPER LADDER IF REQUIRED FOR INSPECTION

<u>EXISTING SYSTEM COMPONENTS</u> - <i>OLD SYSTEM</i>	
Air handler: Mfg: <u>Rhppm</u> Model# <u>RBH324</u>	Condenser: Mfg: <u>Rhppm</u> Model# <u>18</u> <i>1996</i> <u>READABLE TAG</u>
Volts <u>240</u> CFM's <u>800</u> Heat Strip <u>5</u> Kw	Volts <u>240</u> SEER/EER <u>10.0</u> BTU's <u>18,000</u>
Min. Circuit Amps <u>30</u> Wire gauge <u>#8</u>	Min. Circuit Amps <u>25</u> Wire gauge <u>#10</u>
Max. Breaker size <u>30</u> Min. Breaker size ___	Max. Breaker size <u>25</u> Min. Breaker size ___
Ref. line size: Liquid <u>3/8</u> Suction <u>3/4</u>	Ref. line size: Liquid <u>3/8</u> Suction <u>3/4</u>
Refrigerant type <u>R-22</u>	Refrigerant type <u>R-22</u>
Location: <u>Ext.</u> ___ New ___	Location: <u>Ext.</u> ___ New ___
Attic/Garage/Closet (specify) <u>2nd fl closet</u>	Left/Right/Rear/Front/Roof ___
Access: <u>2ND FL STAIRCASE IN HOME</u>	Condensate Location <u>N. SIDE HOME</u>

Certification:

I herby certify that the information entered on this form accurately represents the equipment installed and further that this equipment is considered matched as required by FBC - R (N)1107 & 1108

Signature [Signature] Date 7/20/12



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel: 772-287-2455 Fax 772-220-4765

FLORIDA ENERGY CONSERVATION CODE

Mandatory Duct Inspection Certification for HVAC change-out

For use when part of the duct and/or HVAC system has been replaced (Section 101.4.7.1.1 & FS 553.912)

Owner: BRASICE Contractor name: COLS REMEDY INC
Street address: 96 S RIVER RD. Jurisdiction: _____
City: SEWELL S PT Permit No.: _____
Zip: 34996 Final inspection date: _____

I certify that I have inspected the duct work associated with the HVAC unit referenced by the permit listed above and found it complies with the requirements of Section 101.4.7.1.1 as indicated below:

- Where needed, the existing ducts have been sealed using reinforced mastic or code-approved equivalent. NO ACCESS TO 2ND FL ATTIC
- Ducts are located within conditioned space. (Section 101.4.7.1.1 exception 1)
- The joints or seams are already sealed with fabric and mastic (Section 101.4.7.1.1 exception 2)
- System was tested (see below) and repairs were made as necessary – (Section 101.4.7.1.1 exception 3)

Signature: [Signature] Date: 7-26-12

Printed Name: RICHARD J VOLKERS

Contractor License #: CH048125

I certified I have tested the replaced air distribution system(s) referenced by the permit listed above at a pressure differential of 25 Pascals (0.10 in. w.c.).

Signature: _____ Date: _____

Printed Name: _____



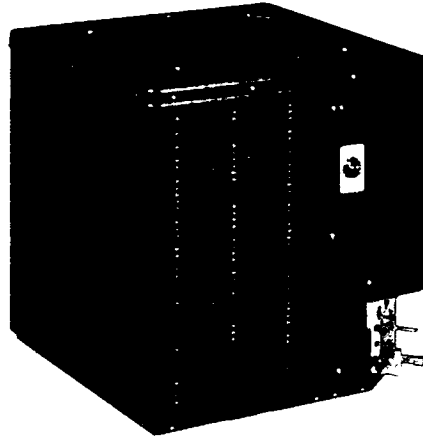
The new degree of comfort.™

Rheem Value Series Air Conditioners

14AJM- Series

18 1.55

Efficiencies up to 16.5 SEER/14 EER
Nominal Sizes 1 1/2-5 Ton [5.28 to 17.6 kW]
Cooling Capacities 19,600 to 56,500 BTU/H
[7.44 to 16.70 kW]



"Proper sizing and installation of equipment is critical to achieve optimal performance. Ask your Contractor for details or visit www.energystar.gov."

Note: Above image does not show deep drawn basepan.

- Outdoor air conditioner designed for ground level or rooftop installations. These units offer comfort and dependability for single, multi-family and light commercial applications.
- Painted louvered steel cabinet
- Easily accessible control box
- Condenser coils constructed with copper tubing and enhanced aluminum fins
- Grille/Motor mount for quiet fan operation
- Filter Drier (shipped – not installed)

Performance Data @ AHRI Standard Conditions—Cooling

Model Numbers		80°F [26.5°C] DB/67°F [19.5°C] WB Indoor Air 95°F [35°C] DB Outdoor Air					Sound Rating dB	Indoor CFM (L/s)
Outdoor Unit 14AJM	Indoor Coil and/or Air Handler	Total Capacity BTU/H [kW]	Net Sensible BTU/H [kW]	Net Latent BTU/H [kW]	EER	SEER		
Rev. 6/14/12	RCFL-H*2417 Ⓞ	19,300 [5.7]	13,850 [4.1]	5,450 [1.6]	12.00	14.50	74	600 [283]
	RHAL-FR18P	19,900 [5.8]	14,750 [4.3]	5,150 [1.5]	12.00	14.50	74	600 [283]
	RHBL-FR24T	20,200 [5.9]	15,050 [4.4]	5,150 [1.5]	13.00	16.00	74	600 [283]
	RCFL-A*2414	19,300 [5.7]	13,900 [4.1]	5,400 [1.6]	12.00	14.50	74	600 [283]
	RCFL-A*2417	19,300 [5.7]	13,900 [4.1]	5,400 [1.6]	12.00	14.50	74	600 [283]
	RCFL-A*2417(RGFE-06?MCK?)	19,800 [5.8]	14,250 [4.2]	5,550 [1.6]	13.00	16.00	74	575 [271]
	RCFL-A*2417(RGFE-07?MCK?)	19,800 [5.8]	14,250 [4.2]	5,550 [1.6]	13.00	16.00	74	600 [283]
	RCFL-A*2417(RGFG-06?MCK?)	19,700 [5.8]	14,100 [4.1]	5,600 [1.6]	13.00	16.00	74	575 [271]
	RCFL-A*2417(RGFG-07?MCK?)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	13.00	16.00	74	600 [283]
	RCFL-A*2417(RGGE-06?MCK?)	19,800 [5.8]	14,250 [4.2]	5,550 [1.6]	13.00	16.00	74	625 [295]
	RCFL-A*2417(RGGE-07?MCK?)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	13.00	16.00	74	575 [271]
	RCFL-A*2417(RGLE-07?AMK?)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	13.00	16.00	74	600 [283]
	RCFL-A*2417(RGLT-07?AMK?)	20,200 [5.9]	14,750 [4.3]	5,450 [1.6]	13.00	16.00	74	675 [319]
	RCFL-A*2417(RGPE-05?BMK?)	19,800 [5.8]	14,250 [4.2]	5,550 [1.6]	13.00	16.00	74	575 [271]
	RCFL-A*2417(RGPE-07?AMK?)	19,800 [5.8]	14,250 [4.2]	5,550 [1.6]	13.00	16.00	74	625 [295]
	RCFL-A*2417(RGPT-05?BMK?)	20,000 [5.9]	14,550 [4.3]	5,450 [1.6]	13.00	16.00	74	650 [307]
	RCFL-A*2417(RGPT-07?AMK?)	19,800 [5.8]	14,250 [4.2]	5,550 [1.6]	13.00	16.00	74	625 [295]
	RCFL-A*2417(RGRM-04?MAE?)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	13.00	16.00	74	575 [271]
	RCFL-A*2417(RGRM-06?MAE?)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	13.00	16.00	74	600 [283]
	RCFL-A*2417(RGRM-07?MAE?)	19,700 [5.8]	14,150 [4.1]	5,550 [1.6]	13.00	16.00	74	625 [295]
RCFL-A*2417(RGTM-06?MAE?)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	13.00	16.00	74	575 [271]	
RCFL-A*2417(ROCA-070E03)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	13.00	16.00	74	600 [283]	
RCFL-A*2417(ROLA-070E03)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	13.00	16.00	74	600 [283]	
RCFL-H*2414	19,300 [5.7]	13,900 [4.1]	5,400 [1.6]	12.00	14.50	74	600 [283]	
18	RCFL-H*2417(RGFE-06?MCK?)	19,800 [5.8]	14,250 [4.2]	5,550 [1.6]	13.00	16.00	74	575 [271]
	RCFL-H*2417(RGFE-07?MCK?)	19,800 [5.8]	14,250 [4.2]	5,550 [1.6]	13.00	16.00	74	600 [283]
	RCFL-H*2417(RGFG-06?MCK?)	19,700 [5.8]	14,100 [4.1]	5,600 [1.6]	13.00	16.00	74	575 [271]
	RCFL-H*2417(RGFG-07?MCK?)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	13.00	16.00	74	600 [283]
	RCFL-H*2417(RGGE-06?MCK?)	19,800 [5.8]	14,250 [4.2]	5,550 [1.6]	13.00	16.00	74	625 [295]
	RCFL-H*2417(RGGE-07?MCK?)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	13.00	16.00	74	575 [271]
	RCFL-H*2417(RGJF-06?MCK?)	19,800 [5.8]	14,250 [4.2]	5,550 [1.6]	13.00	16.00	74	625 [295]
	RCFL-H*2417(RGJF-07?MCK?)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	13.00	16.00	74	575 [271]
	RCFL-H*2417(RGLE-07?AMK?)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	13.00	16.00	74	600 [283]
	RCFL-H*2417(RGLT-07?AMK?)	20,200 [5.9]	14,750 [4.3]	5,450 [1.6]	13.00	16.00	74	675 [319]
	RCFL-H*2417(RGPE-05?BMK?)	19,800 [5.8]	14,250 [4.2]	5,550 [1.6]	13.00	16.00	74	575 [271]
	RCFL-H*2417(RGPE-07?AMK?)	19,800 [5.8]	14,250 [4.2]	5,550 [1.6]	13.00	16.00	74	625 [295]
	RCFL-H*2417(RGPT-05?BMK?)	20,000 [5.9]	14,550 [4.3]	5,450 [1.6]	13.00	16.00	74	650 [307]
	RCFL-H*2417(RGPT-07?AMK?)	19,800 [5.8]	14,250 [4.2]	5,550 [1.6]	13.00	16.00	74	625 [295]
	RCFL-H*2417(RGRM-04?MAE?)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	13.00	16.00	74	575 [271]
	RCFL-H*2417(RGRM-06?MAE?)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	13.00	16.00	74	600 [283]
	RCFL-H*2417(RGRM-07?MAE?)	19,700 [5.8]	14,150 [4.1]	5,550 [1.6]	13.00	16.00	74	625 [295]
	RCFL-H*2417(RGTM-06?MAE?)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	13.00	16.00	74	575 [271]
	RCFL-H*2417(ROCA-070E03)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	13.00	16.00	74	600 [283]
	RCFL-H*2417(ROLA-070E03)	19,800 [5.8]	14,200 [4.2]	5,600 [1.6]	13.00	16.00	74	600 [283]
	RCFL-H*2417(RGPE-07?AMK?)	19,800 [5.8]	14,250 [4.2]	5,550 [1.6]	13.00	16.00	74	650 [307]
	RCQD-2417	19,600 [5.7]	14,350 [4.2]	5,250 [1.5]	12.00	14.50	74	600 [283]
	RCQD-2417(RGFE-06?MCK?)	19,800 [5.8]	14,400 [4.2]	5,400 [1.6]	13.00	16.00	74	575 [271]
	RCQD-2417(RGFE-07?MCK?)	20,000 [5.9]	14,650 [4.3]	5,350 [1.6]	13.00	16.00	74	600 [283]
	RCQD-2417(RGFG-06?MCK?)	20,400 [6.0]	14,950 [4.4]	5,450 [1.6]	13.00	16.00	74	575 [271]
	RCQD-2417(RGFG-07?MCK?)	20,400 [6.0]	15,000 [4.4]	5,400 [1.6]	13.00	16.00	74	600 [283]

Ⓞ Highest sales volume tested combination required by D.O.E. test procedures.

[] Designates Metric Conversions





Condensing Unit Refrigerant Line Size Information

Liquid Line Sizing (R-410A)														
System Capacity	Liquid Line Connection Size (Inch I.D.)	Line Size (Inch O.D.) [mm]	Liquid Line Size – Outdoor Unit Above Indoor Coil (Cooling Only—Does not apply to Heat Pumps)						Liquid Line Size – Outdoor Unit Below Indoor Coil					
			Total Equivalent Length—Feet [m]						Total Equivalent Length—Feet [m]					
			25 [7.62]	50 [15.24]	75 [22.86]	100 [30.48]	125 [38.10]	150 [45.72]	25 [7.62]	50 [15.24]	75 [22.86]	100 [30.48]	125 [38.10]	150 [45.72]
			Minimum Vertical Separation—Feet [m]						Maximum Vertical Separation—Feet [m]					
1 1/2 Ton	3/8" [9.53]	1/4 [6.35]	0	0	0	0	8 [2.44]	24 [7.32]	25 [7.62]	40 [12.19]	25 [7.62]	9 [2.74]	N/A	N/A
		5/16 [7.94]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	62 [18.90]	58 [17.68]	53 [16.15]	49 [14.94]
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	75 [22.86]	72 [21.95]	70 [21.34]	68 [20.73]
2 Ton	3/8" [9.53]	1/4 [6.35]	0	3 [0.91]	29 [8.84]	55 [16.76]	81 [24.69]	108 [32.92]	23 [7.01]	N/A	N/A	N/A	N/A	N/A
		5/16 [7.94]	0	0	0	0	0	0	25 [7.62]	36 [10.97]	29 [8.84]	23 [7.01]	16 [4.88]	9 [2.74]
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	72 [21.95]	70 [21.34]	68 [20.73]	65 [19.81]
2 1/2 Ton	3/8" [9.53]	1/4 [6.35]	0	14 [4.27]	56 [17.07]	98 [29.87]	N/A	N/A	25 [7.62]	N/A	N/A	N/A	N/A	N/A
		5/16 [7.94]	0	0	0	0	0	0	25 [7.62]	49 [14.94]	38 [11.58]	27 [8.23]	17 [5.18]	6 [1.83]
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	68 [20.73]	65 [19.81]	62 [18.90]	58 [17.68]
3 Ton	3/8" [9.53]	5/16 [7.94]	0	0	0	0	0	9 [2.74]	25 [7.62]	50 [15.24]	37 [11.28]	22 [6.71]	7 [2.13]	N/A
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	68 [20.73]	63 [19.20]	58 [17.68]	53 [16.15]
3 1/2 Ton	3/8" [9.53]	5/16 [7.94]	0	0	0	16 [4.88]	35 [10.67]	54 [16.46]	25 [7.62]	23 [7.01]	4 [1.22]	N/A	N/A	N/A
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	43 [13.11]	36 [10.97]	30 [9.14]	24 [7.32]
4 Ton	3/8" [9.53]	3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	46 [14.02]	38 [11.58]	30 [9.14]	22 [6.71]	15 [4.57]
		1/2 [12.57]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	56 [17.07]	55 [16.76]	53 [16.15]	52 [15.85]
5 Ton	3/8" [9.53]	3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	56 [17.07]	44 [13.41]	32 [9.75]	20 [6.10]
		1/2 [12.57]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	75 [22.86]	81 [24.69]	79 [24.08]	76 [23.16]

NOTES: *Standard line size
N/A = Application not recommended.

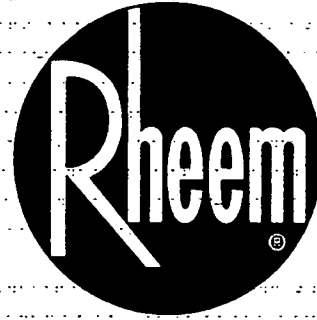
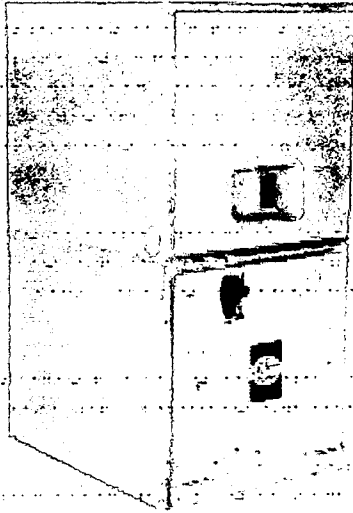
Suction Line Length/Size versus Capacity Multiplier (R-410A)								
Unit Size	1 1/2 Ton	2 Ton	2 1/2 Ton	3 Ton	3 1/2 Ton	4 Ton	5 Ton	
Suction Line Connection Size	3/4" [19.05] I.D.				7/8" [22.23] I.D.			
Suction Line Run—Feet [m]	5/8" [15.88 mm] O.D. Optional 3/4" [19.05 mm] O.D. Standard*		5/8" [15.88 mm] O.D. Optional 3/4" [19.05 mm] O.D. Standard* 7/8" [22.23 mm] O.D. Optional		3/4" [19.05 mm] O.D. Optional 7/8" [22.23 mm] O.D. Standard*		7/8" [22.23 mm] O.D. Optional 1 1/8" [28.58 mm] O.D. Standard*	
25' [7.62]	Optional Standard Optional	1.00 1.00 —	1.00 1.00 —	1.00 1.00 1.00	1.00 1.00 —	1.00 1.00 —	1.00 1.00 —	1.00 1.00 —
50' [15.24]	Optional Standard Optional	.98 .99 —	.98 .99 —	.96 .98 .99	.98 .99 —	.99 .99 —	.99 .99 —	.99 .99 —
100' [30.48]	Optional Standard Optional	.95 .96 —	.95 .96 —	.94 .96 .97	.96 .97 —	.96 .98 —	.96 .98 —	.97 .98 —
150' [45.72]	Optional Standard Optional	.92 .93 —	.92 .94 —	.91 .93 .95	.94 .95 —	.94 .96 —	.95 .96 —	.94 .97 —

NOTES: *Standard line size
Using suction line larger than shown in chart will result in poor oil return and is not recommended.
3 Ton Suction Line Connection is 3/4"

[] Designates Metric Conversions

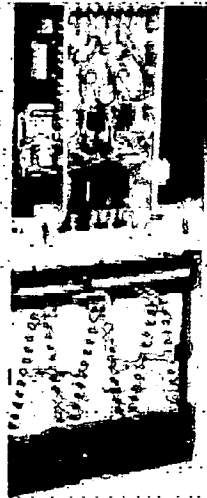


AIR HANDLERS



AIR HANDLERS RBHP-

- Models featuring R-22 Refrigerant
- Models featuring
New Industry Standard
R-410A Refrigerant **R-410A**
- Models featuring Electric Heat
without Indoor Cooling Coil



(Model with Coil)

Features

- Quiet and efficient X-13[®] (ECM) motor technology
- Only 35" tall and 4-way convertible for all those tight spaces
- Available from factory in upflow and horizontal configurations
- Nominal airflow up to 0.5" external static pressure with reduced airflow up to 1.0" external static pressure
- Factory installed MultiFlex[®] coils
- Sturdy steel construction with 1 inch [25.4 mm] of foil faced insulation for excellent sound and insulating characteristics
- Permanent, easily accessible and washable filter furnished standard
- Circuit breaker (standard on units with more than 11 kW) meets U.L. and cUL requirements for service disconnect
- Factory installed auxiliary electric heat provides exact heat for indoor comfort over a variety of applications
- Watt restrictors, standard on RBHP-17, models above 6 kW and on RBHP-21, RBHP-24 & RBHP-25 models above 11 kW, stage supplemental heat so that only the necessary amount is engaged to maintain comfort in the conditioned space
- Fan settings for selectable, customized cooling airflow over a wide variety of applications



Engineering Features

RBHP- Series

- Quiet, efficient X-13 (ECM) motor technology providing nominal airflow to 0.5 inch [12 kPa] of external static pressure.
- Field selectable airflow to meet the requirements of particular applications.
- Low continuous fan speed.
- The most compact unit design available.
- Attractive pre-painted cabinet exterior.
- Rugged steel cabinet construction, designed for added strength and versatility.
- 1" foil faced insulation mechanically retained in blower compartment.
- Four leg rubber insulated wire motor mount.
- Circuit breakers standard on models above 11 kW and optional on models with 11 kW or less.
- Models supplied with circuit breakers meet UL and cUL requirements as a service disconnect switch.
- Provisions for field electrical connections from either side of air handler cabinet.
- Tab lock blower housing with integrated electric heaters, controls, motor and blower. Slide out design for service and maintenance convenience.
- Exclusive dependable Incoloy sheath type electric heating elements located in the blower housing provide mixed warm air.
- Field convertible for vertical upflow, vertical downflow, horizontal left hand or right hand air supply.
- Common combustible floor base accessory fits all model sizes when required for downflow installations on combustible floors.
- Durable framed cleanable air filter provided as standard in unit filter rack.
- MultiFlex® indoor coil design provides low air side pressure drop, high performance and extremely compact size. All coils come with PVC condensate elbow standard.
- All indoor coils have copper tubing and aluminum fins.
- Molded polymer corrosion resistant condensate drain pan is provided on all indoor coils.
- Both supply and return duct flanges provided as standard on air handler cabinet.
- Connection points for both high voltage and low voltage control wiring inside air handler cabinet.
- Concentric knockouts are provided for power connection to cabinet. Installer may pull desired hole size up to 2 inches [51 mm] for 1 1/2 inch [38 mm] conduit.
- Patented watt restrictor on heat pump models to control electric heat during heating operation.
- Internal checked TX valves are used on the RCHJ & RCHL Heat Pump indoor coil for more quiet refrigerant metering.
- Front refrigerant and drain connections.

Watt-restrictor

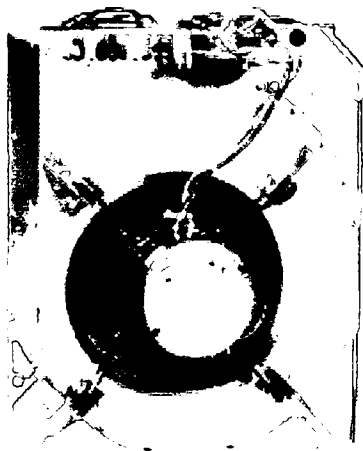
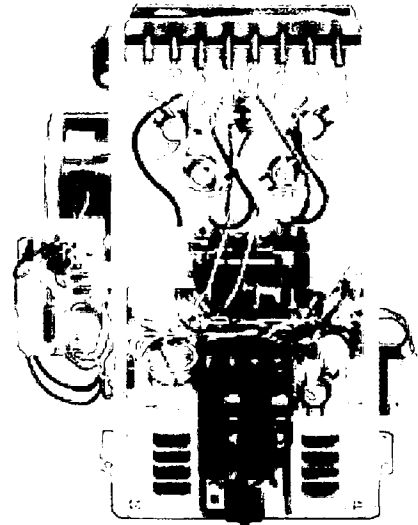
Supplemental heat, provided by electric heating elements may be necessary in some areas when heating requirements for indoor comfort exceed the capacity of the heat pump system. When supplemental heat is required, units with the Watt Restrictor will restrict the amount of supplemental electric heat that can be energized dependent on the heat output of the heat pump (temperature of the air leaving the indoor heat pump coil).

The Watt-restrictor utilizes sensing devices in the unit to sense the air temperature leaving the indoor coil and disengage unnecessary heating elements when that temperature is at least 85°F [29°C]. (In this mode your system is controlled by the first stage of the wall thermostat.) This occurs only when the second stage of the wall thermostat calls for heat.

Since the heat output of the heat pump is dependent upon the outdoor air temperature, this control performs the same function as a field installed outdoor thermostat.

An additional benefit of the Watt Restrictor is that it can sense a degradation in heat pump performance due to causes other than outdoor temperature and react accordingly to bring on more supplemental electric heat.

[] Designates Metric Conversions



X-13 (ECM)
MOTOR

BLOWER
SECTION

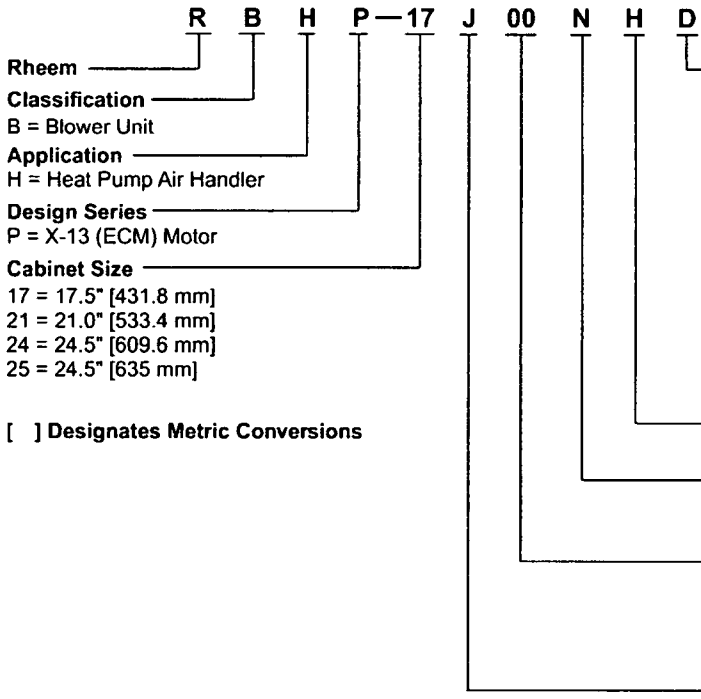
GENERAL TERMS OF LIMITED WARRANTY

Rheem® will furnish a replacement for any part of this product which fails in normal use and service within the applicable periods stated, in accordance with the terms of the limited warranty.

Conditional Parts (Registration Required) ..Ten (10) Years

For Complete Details of the Limited Warranty, Including Applicable Terms and Conditions, See Your Local Installer or Contact the Manufacturer for a Copy.

Model Identification



Coil Code
A = No Coil

Coil Code	Refrigerant Type	Cabinet Width			
		17	21	24	25
D	R-22	RCHJ-24A1GH17	RCHJ-36A1GH21	RCHJ-48A1GH24	
E	R-22				RCHJ-60A1GH24
1	R-410A	RCHL-24A2GH17			
2	R-410A		RCHL-36A1GH21		
4	R-410A			RCHL-48A1GH24	
7	R-410A				RCHL-60A1GH24

[] Designates Metric Conversions

Airflow
 Horizontal Multi-Position
Control
 N = No Circuit Protection (Single Circuit)
 S = Circuit Breaker (Single Circuit)
Electric Heat
 00 = No Heat 14 = 14.0 kW
 06 = 4.9 kW 18 = 17.5 kW
 07 = 7.0 kW 21 = 21.0 kW
 11 = 10.0 kW
Voltage
 A = 115V-1-60
 J = 208/240V-1-60

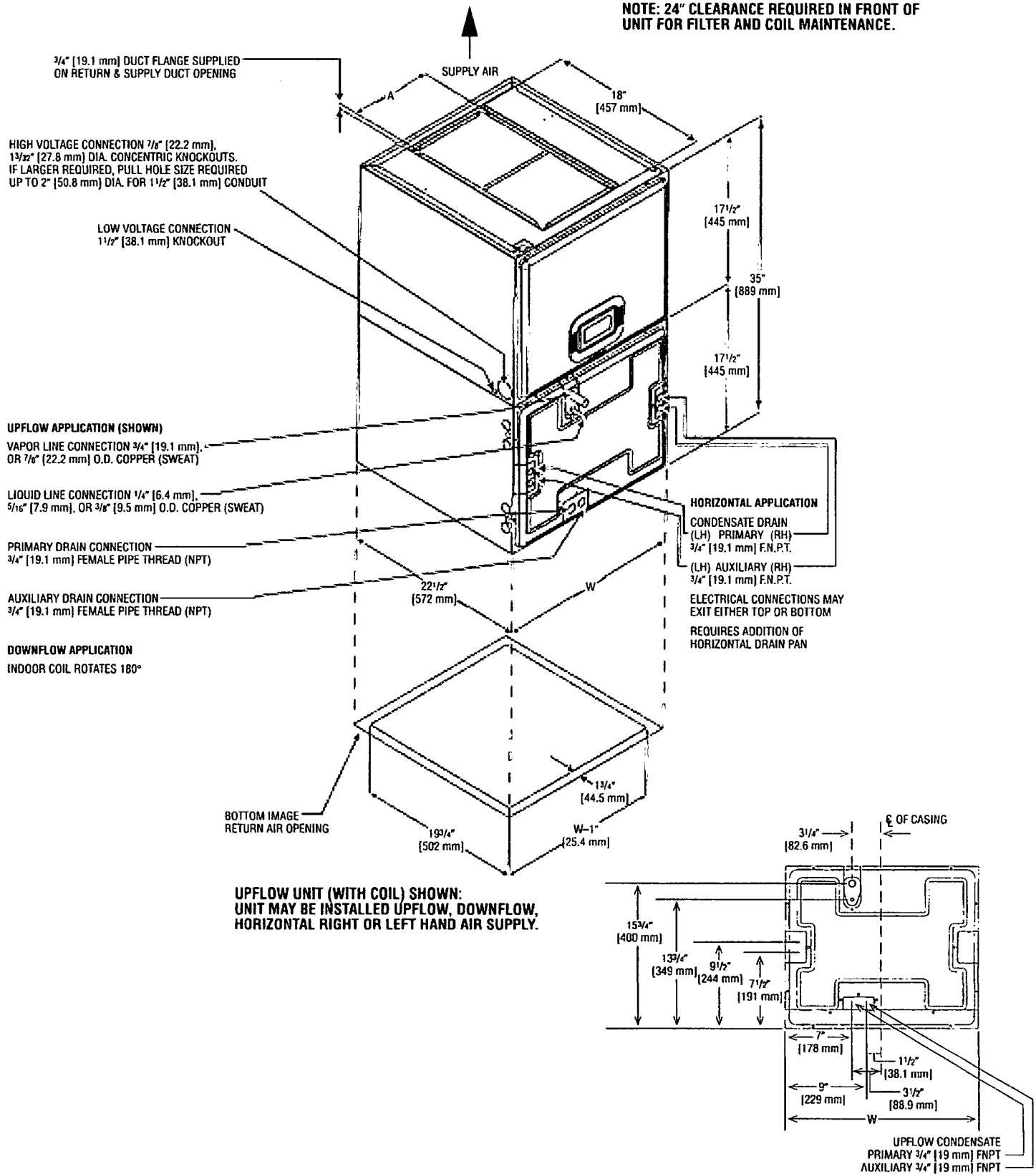
Available Models (Without Coil)
RBHP-17J11SHA
RBHP-21J14SHA
RBHP-24J18SHA
RBHP-25J21SHA

Available Models featuring R-22 Refrigerant
RBHP-17A00NHD
RBHP-17J06SHD
RBHP-17J07SHD
RBHP-17J11SHD
RBHP-21A00NHD
RBHP-21J06SHD
RBHP-21J07SHD
RBHP-21J11SHD
RBHP-21J14SHD
RBHP-24A00NHD
RBHP-24J06SHD
RBHP-24J07SHD
RBHP-24J11SHD
RBHP-24J14SHD
RBHP-24J18SHD
RBHP-25A00NHE
RBHP-25J11SHE
RBHP-25J14SHE
RBHP-25J18SHE
RBHP-25J21SHE

Available Models featuring R-410A Refrigerant
RBHP-17A00NH1
RBHP-17J06SH1
RBHP-17J07SH1
RBHP-17J11SH1
RBHP-21A00NH2
RBHP-21J06SH2
RBHP-21J07SH2
RBHP-21J11SH2
RBHP-21J14SH2
RBHP-24A00NH4
RBHP-24J06SH4
RBHP-24J07SH4
RBHP-24J11SH4
RBHP-24J14SH4
RBHP-24J18SH4
RBHP-25A00NH7
RBHP-25J11SH7
RBHP-25J14SH7
RBHP-25J18SH7
RBHP-25J21SH7

Unit Dimensions

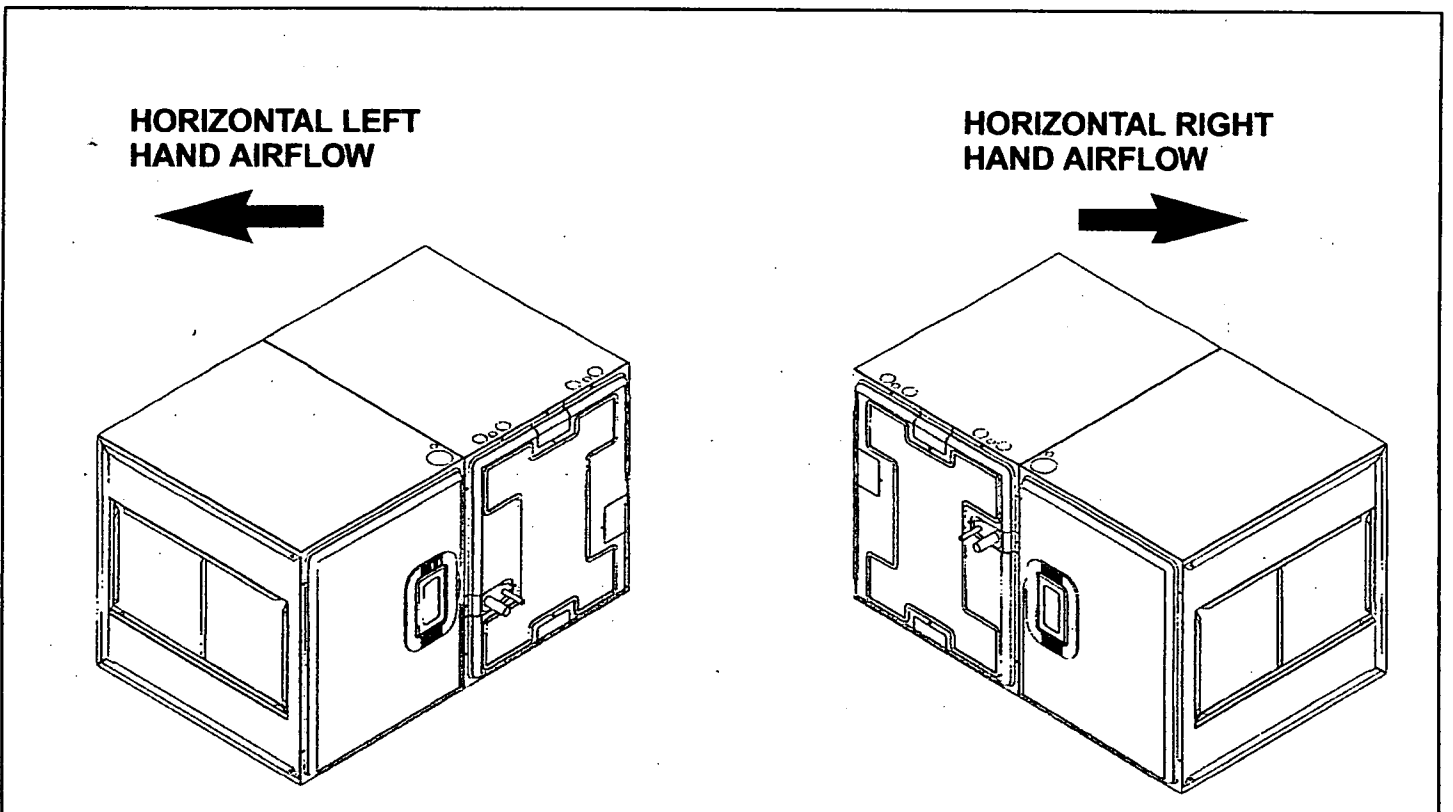
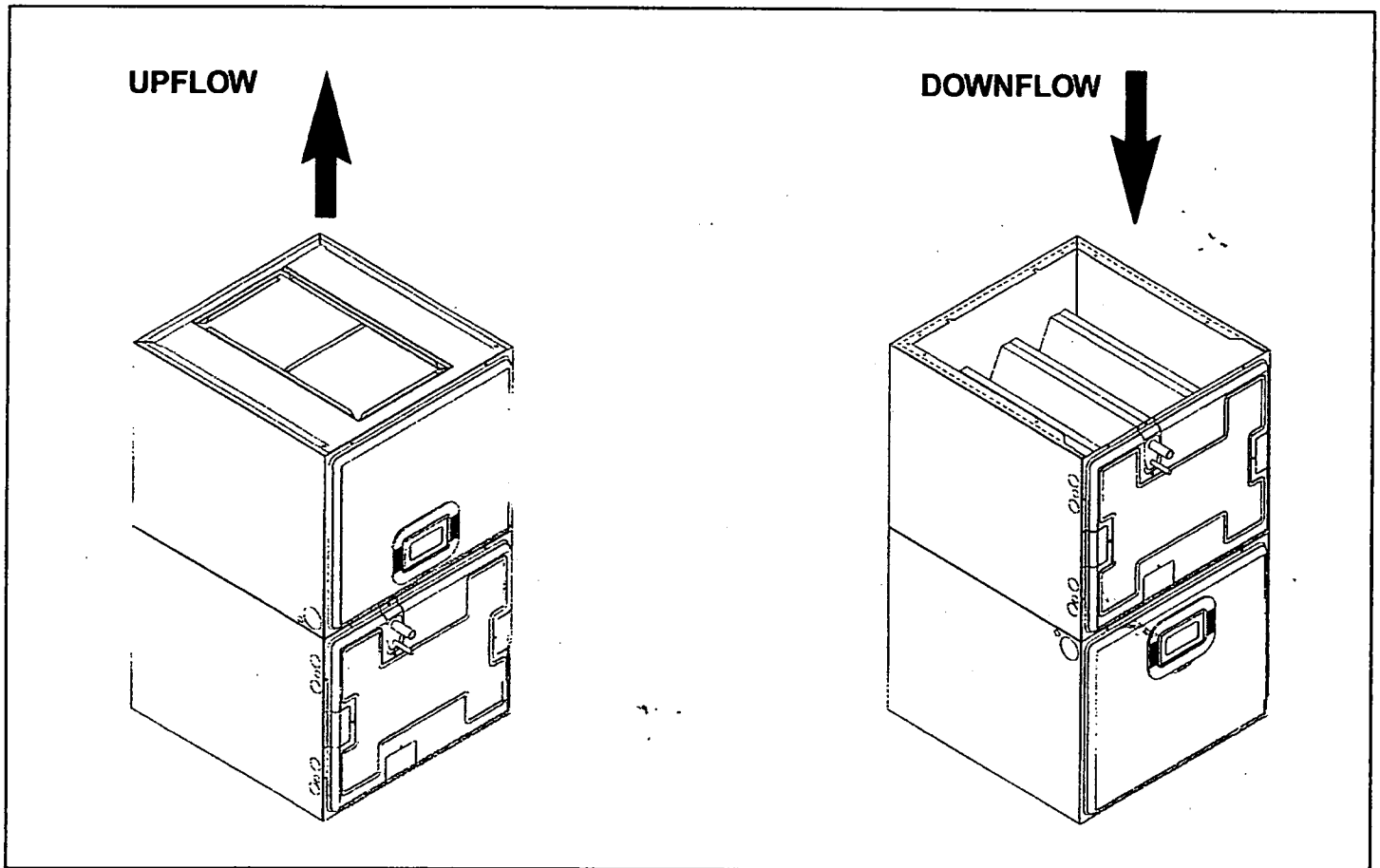
NOTE: 24" CLEARANCE REQUIRED IN FRONT OF UNIT FOR FILTER AND COIL MAINTENANCE.



Unit Dimensions & Weights

Model Number Cabinet Size	Unit Width "W" In. [mm]	Supply Duct "A" In. [mm]	Unit Weight/Shipping Weight (Lbs.) [kg]	
			Unit With Coil (Max. kW)	Unit Without Coil (Max. kW)
17	17 1/2 [445]	7 9/16 [192]	92/99 [42/45]	66/75 [30/31]
21	21 [533]	9 7/16 [240]	109/117 [49/53]	79/87 [36/39]
24	24 1/2 [622]	11 3/4 [298]	125/134 [57/61]	88/97 [40/44]
25	24 1/2 [622]	11 3/4 [298]	125/134 [57/61]	88/97 [40/44]

Airflow Directions



NOTE: Coil and blower section are always in a draw through configuration.

Airflow Performance

Airflow performance data is based on cooling performance with a coil and filter in place. Select performance table for appropriate unit size, voltage and number of electric heaters to be used. Make sure external static applied to unit allows operation within the minimum and maximum limits shown in table below for both cooling and electric heat operation. For optimum blower performance, operate the unit in the .2" to .5" in. W.C.

external static range. In general, the indoor motor speed tap should be as shown in table for the appropriate cooling capacity shown. Always check to make sure proper motor speed tap is connected as units are shipped from the factory connected for high speed operation (Speed Tap 5).

Airflow Operating Limits

Model Cabinet Size	17		21		24		25	
Cooling BTUH Cooling Tons Nominal	18,000 1.5	24,000 2	30,000 2.5	36,000 3	42,000 3.5	48,000 4	60,000 5	60,000 5
Heat Pump or Air Conditioning Maximum Heat/Cool CFM [L/s] (37.5 CFM [18 L/s]/1,000 BTUH) (450 CFM [212 L/s]/Ton Nominal)	675 [319]	900 [425]	1125 [531]	1350 [637]	1575 [743]	1800 [850]	2025 [956]	2250 [1062]
Heat Pump or Air Conditioning Nominal Heat/Cool CFM [L/s] (33.3 CFM [16 L/s]/1,000 BTUH) (400 CFM [189 L/s]/Ton Nominal)	600 [283]	800 [378]	1000 [472]	1200 [566]	1400 [661]	1600 [755]	1800 [850]	2000 [944]
Heat Pump or Air Conditioning Minimum Heat/Cool CFM [L/s] (30.0 CFM [14 L/s]/1,255 BTUH) (360 CFM [170 L/s]/Ton Nominal)	540 [255]	720 [330]	900 [425]	1080 [510]	1260 [595]	1440 [680]	1620 [765]	1800 [850]
Maximum KW Electric Heating & Minimum Electric Heat CFM [L/s]	11 560 [264]	11 560 [264]	14 900 [425]	14 900 [425]	18 1220 [576]	18 1220 [576]	21 1460 [689]	21 1460 [689]
Maximum Electric Heat Rise °F [°C]	85 [29]	85 [29]	70 [21]	70 [21]	65 [18]	65 [18]	65 [18]	65 [18]

NOTE: See Airflow Performance Data for Recommended Blower Motor Speed.

[] Designates Metric Conversions

Blower Motor Electrical Data: A Voltage (115V)

Model Size/Elec. Designation	Voltage	Phase	Hertz	HP [W]	RPM	Speeds	Circuit Amps.	Minimum Circuit Ampacity	Maximum Circuit Protector
RBHP-17A00NH*	115	1	60	1/3 [249]	300-1100	5	3.3	5.0	15
RBHP-21A00NH*	115	1	60	1/2 [373]	300-1100	5	5.0	7.0	15
RBHP-24A00NH*	115	1	60	3/4 [559]	300-1100	5	5.8	8.0	15
RBHP-25A00NH*	115	1	60	3/4 [559]	300-1100	5	7.7	10.0	15

Blower Motor Electrical Data: J Voltage (208/240V)

Model Size/Elec. Designation	Voltage	Phase	Hertz	HP [W]	RPM	Speeds	Circuit Amps.	Minimum Circuit Ampacity	Maximum Circuit Protector
RBHP-17J00NH*	208/240	1	60	1/3 [249]	300-1100	5	2.0	3.0	15
RBHP-21J00NH*	208/240	1	60	1/2 [373]	300-1100	5	3.1	4.0	15
RBHP-24J00NH*	208/240	1	60	3/4 [559]	300-1100	5	4.2	6.0	15
RBHP-25J00NH*	208/240	1	60	3/4 [559]	300-1100	5	5.7	8.0	15

Electric Heat Electrical Data

Model Elec./KW Designation	Heater KW Volts 208/240	PH/HZ	Heater No./KW & 240V	Type Supply Circuit Single Circuit Multiple Circuit	Circuit Amps.	Minimum Circuit Ampacity	Maximum Circuit Protector
RBHP-17J06SH*	3.7/4.9	1/60	2/2.5	Single Circuit	19.8/22.4	25/29	25/30
RBHP-17J07SH*	5.3/7.0	1/60	2/3.5	Single Circuit	27.5/31.2	35/39	40/40
RBHP-17J11SH*	7.5/10.0	1/60	3/3.3	Single Circuit	38.1/43.7	48/55	50/60
RBHP-21J06SH*	3.7/4.9	1/60	2/2.5	Single Circuit	20.9/23.5	27/30	30/30
RBHP-21J07SH*	5.3/7.0	1/60	2/3.5	Single Circuit	28.6/32.3	36/41	40/45
RBHP-21J11SH*	7.5/10.0	1/60	3/3.3	Single Circuit	39.2/44.8	49/56	50/60
RBHP-21J14SH*	10.5/14.0	1/60	4/3.5	Single Circuit	54.1/61.4	68/77	70/80
	5.3/7.0		2/3.5	Multiple Ckt. 1	28.6/32.3	36/41	40/45
	5.3/7.0		2/3.5	Multiple Ckt. 2	25.5/29.2	32/37	35/40
RBHP-24J06SH*	3.7/4.9	1/60	2/2.5	Single Circuit	22.0/24.6	28/31	30/35
RBHP-24J07SH*	5.3/7.0	1/60	2/3.5	Single Circuit	29.7/33.4	38/42	40/45
RBHP-24J11SH*	7.5/10.0	1/60	3/3.3	Single Circuit	40.3/45.9	51/58	60/60
RBHP-21J14SH*	10.5/14.0	1/60	4/3.5	Single Circuit	55.2/62.5	69/79	70/90
	5.3/7.0		2/3.5	Multiple Ckt. 1	29.7/33.4	38/42	40/45
	5.3/7.0		2/3.5	Multiple Ckt. 2	25.5/29.2	32/37	35/40
RBHP-21J18SH*	13.2/17.5	1/60	5/3.5	Single Circuit	67.7/77.1	85/97	90/100
	5.3/7.0		2/3.5	Multiple Ckt. 1	29.7/33.4	38/42	40/45
	7.9/10.5		3/3.5	Multiple Ckt. 2	38.0/43.8	48/55	50/60
RBHP-25J11SH*	7.5/10.0	1/60	3/3.3	Single Circuit	41.8/47.4	53/60	60/60
RBHP-25J14SH*	10.5/14.0	1/60	4/3.5	Single Circuit	56.7/64.0	71/81	80/90
	5.3/7.0		2/3.5	Multiple Ckt. 1	31.2/34.9	39/44	40/50
	5.3/7.0		2/3.5	Multiple Ckt. 2	25.5/29.2	32/37	35/40
RBHP-25J18SH*	13.2/17.5	1/60	5/3.5	Single Circuit	69.2/78.6	87/99	90/100
	5.3/7.0		2/3.5	Multiple Ckt. 1	31.2/34.9	39/44	40/45
	7.9/10.5		3/3.5	Multiple Ckt. 2	38.0/43.8	48/55	50/60
RBHP-25J21SH*	15.0/20.0	1/60	6/3.3	Single Circuit	77.8/89.0	98/112	100/125
	7.5/10.0		3/3.3	Multiple Ckt. 1	41.8/47.4	53/60	60/70
	7.5/10.0		3/3.3	Multiple Ckt. 2	36.1/41.7	46/53	50/60

Supply circuit protective devices may be fuses or "HACR" type circuit breakers. Largest motor load is included in single circuit and circuit 1 multiple circuit. If non-standard fuse size is specified, use next size larger standard fuse size.

Project Information

For: Albert & Evelyn Bradice
 96 se S River Rd., Sewalls Point, FL

Notes:

2nd FL

Design Information

Weather: West Palm Beach, FL, US

Winter Design Conditions

Outside db 47 °F
 Inside db 70 °F
 Design TD 23 °F

Summer Design Conditions

Outside db 91 °F
 Inside db 75 °F
 Design TD 16 °F
 Daily range L
 Relative humidity 50 %
 Moisture difference 56 gr/lb

Heating Summary

Structure 6967 Btuh
 Ducts 2016 Btuh
 Central vent (0 cfm) 0 Btuh
 Humidification 0 Btuh
 Piping 0 Btuh
 Equipment load 8983 Btuh

Sensible Cooling Equipment Load Sizing

Structure 12010 Btuh
 Ducts 5405 Btuh
 Central vent (0 cfm) 0 Btuh
 Blower 0 Btuh
 Use manufacturer's data n
 Rate/swing multiplier 0.96
 Equipment sensible load 16753 Btuh

Infiltration

Method	Simplified	
Construction quality	Average	
Fireplaces	0	
	Heating	Cooling
Area (ft ²)	588	588
Volume (ft ³)	5527	5527
Air changes/hour	0.51	0.28
Equiv. AVF (cfm)	47	24

Latent Cooling Equipment Load Sizing

Structure 1302 Btuh
 Ducts 880 Btuh
 Central vent (0 cfm) 0 Btuh
 Equipment latent load 2182 Btuh
 Equipment total load 18935 Btuh
 Req. total capacity at 0.70 SHR 2.0 ton

Heating Equipment Summary

Make
 Trade
 Model
 GAMA ID n/a

Efficiency 100 EFF
 Heating input 0 Btuh
 Heating output 8983 Btuh
 Temperature rise 13 °F
 Actual air flow 640 cfm
 Air flow factor 0.071 cfm/Btuh
 Static pressure 0 in H2O
 Space thermostat

Cooling Equipment Summary

Make Rheem
 Trade RHEEM 14AJM SERIES
 Cond 14AJM18
 Coil RBHP-17++RCHL-24A2
 ARI ref no. 3412289

Efficiency 13.0 EER, 16 SEER
 Sensible cooling 13440 Btuh
 Latent cooling 5760 Btuh
 Total cooling 19200 Btuh
 Actual air flow 640 cfm
 Air flow factor 0.037 cfm/Btuh
 Static pressure 0 in H2O
 Load sensible heat ratio 0.89

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.

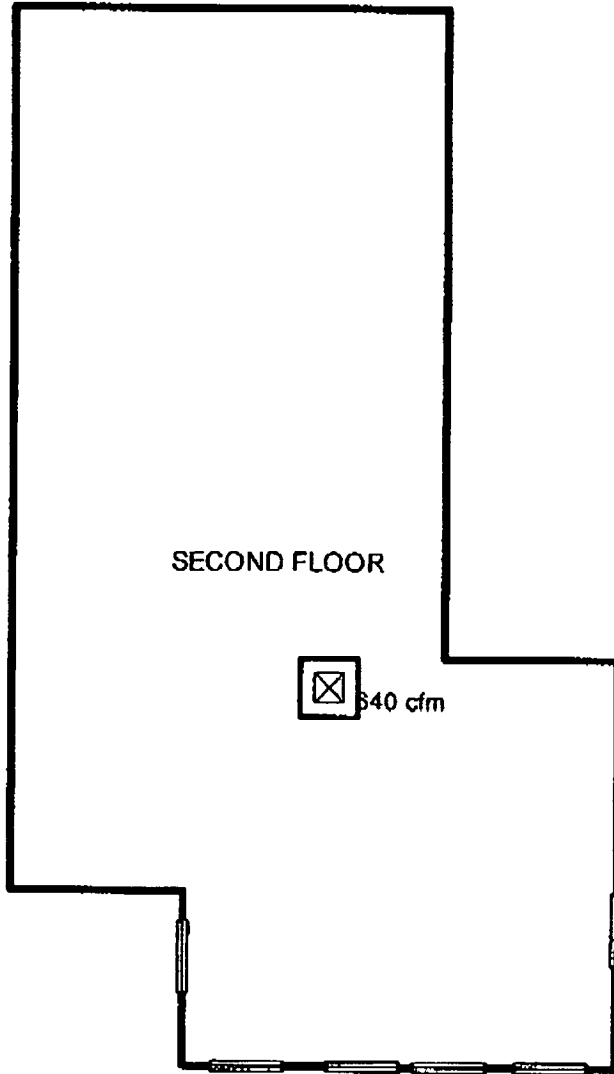
Right-J® Worksheet
UNIT TWO
Cold Remedy Air Conditioning

Job:
 Date: July 9, 2012
 By:

1 Room name				UNIT TWO				SECOND FLOOR						
2 Exposed wall				9.4 ft				9.4 ft						
3 Ceiling height				114.0 ft				114.0 ft						
4 Room dimensions				d				1.0 x 588.0 ft						
5 Room area				588.0 ft²				588.0 ft²						
	Ty	Construction number	U-value (Btuh/ft²·°F)	Or.	HTM (Btuh/ft²)		Area (ft²) or perimeter (ft)		Load (Btuh)		Area (ft²) or perimeter (ft)		Load (Btuh)	
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool
6	W	13A-4ocs	0.143	n	0.00	0.00	0	0	0	0	0	0	0	0
	G	1A-h1om	1.270	n	0.00	0.00	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	ne	3.29	2.85	197	197	649	563	197	197	649	563
	G	1A-h1om	1.270	ne	0.00	0.00	0	0	0	0	0	0	0	0
11	W	13A-4ocs	0.143	e	0.00	0.00	0	0	0	0	0	0	0	0
	G	1A-h1om	1.270	e	0.00	0.00	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	se	3.29	2.85	338	328	1072	930	338	328	1072	830
	G	1A-h1om	1.270	se	29.21	56.56	13	0	365	707	13	0	365	707
	W	13A-4ocs	0.143	sw	3.29	2.85	197	147	485	421	197	147	485	421
	G	1A-h1om	1.270	sw	29.21	56.56	50	0	1460	2826	50	0	1460	2826
	D	11Po	0.290	sw	0.00	0.00	0	0	0	0	0	0	0	0
	W	12B-0sw	0.097	nw	2.23	2.79	338	338	755	944	338	338	756	944
	W	13A-4ocs	0.143	nw	3.29	2.85	0	-13	-41	-36	0	-13	-41	-36
	G	1A-h1om	1.270	nw	29.21	56.20	13	0	365	702	13	0	365	702
	C	16B-19ad	0.049	-	1.13	2.66	588	588	663	1575	588	588	663	1575
	F	22A-tpj	0.889	-	0.00	0.00	0	0	0	0	0	0	0	0
8	c) AED excursion									497				497
	Envelope loss/gain								5773	9130			5773	9130
12	a) Infiltration								1194	420			1194	420
	b) Room ventilation								0	0			0	0
13	Internal gains:		Occupants @	230			2		460	2000	2		460	2000
	Subtotal (lines 6 to 13)								6967	12010			6967	12010
	Less external load								0	0			0	0
	Less transfer								0	0			0	0
	Redistribution								0	0			0	0
14	Subtotal								6967	12010			6967	12010
15	Duct loads						29%	46%	2016	5405	29%	45%	2016	5405
	Total room load								6963	17415			6963	17415
	Air required (cfm)								640	640			640	640

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.

SECOND FLOOR



SECOND FLOOR

340 cfm

Job #:
Performed for:
Albert & Evelyn Bradice
96 se S River Rd.
Sewalls Point, Fl

Cold Remedy Air Conditioning

Scale: 1 : 80
Page 2
Right-Suite® Universal
7.1.25 RSU06670
2012-Jul-15 18:13:40
...I J106 S River Rd change out.rup



This combination qualifies for a Federal Energy Efficiency Tax Credit when placed in service between Feb 17, 2009 and Dec 31, 2011.

Certificate of Product Ratings

AHRI Certified Reference Number: 3412269

Date: 7/19/2012

Product: Split System: Air-Cooled Condensing Unit, Coil with Blower

Outdoor Unit Model Number: 14AJM18

Indoor Unit Model Number: RBHP-17+RCHL-24A2

Manufacturer: RHEEM MANUFACTURING COMPANY

Trade/Brand name: RHEEM 14AJM SERIES

Manufacturer responsible for the rating of this system combination is RHEEM MANUFACTURING COMPANY

Rated as follows in accordance with AHRI Standard 210/240-2008 for Unitary Air-Conditioning and Air-Source Heat Pump Equipment and subject to verification of rating accuracy by AHRI-sponsored, independent, third party testing:

Cooling Capacity (Btuh):	19200
EER Rating (Cooling):	13.00
SEER Rating (Cooling):	16.00

* Ratings followed by an asterisk (*) indicate a voluntary rerate of previously published data, unless accompanied with a WAS, which indicates an involuntary rerate.

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CERTIFICATE VERIFICATION

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T/E Down info

BMP INTERNATIONAL, INC
4710 28th St N, St Petersburg, FL 33714
Phone: 727-458- 0544

State Approved Equipment Tie Down - FL14239

On March 23rd 2012 the governor signed HB 704 amending SECTION 16 of the 2010 FBC to the 2007 FBC. See the copy below.

HB 704 – Relating to the Florida Building Commission and the Florida Building Code

Chapter Law Number: Chapter No. 2012-1
Approved by the Governor 3/23/2012

Section 16

4) Notwithstanding the provisions of this section, exposed mechanical equipment or appliances fastened to a roof or installed on the ground in compliance with the code using rated stands, platforms, curbs, slabs, or other means are deemed to comply with the wind resistance requirements of the 2007 Florida Building Code, as amended. Further support or enclosure of such mechanical equipment or appliances is not required by a state or local official having authority to enforce the Florida Building Code. This subsection expires on the effective date of the 2013 ~~2010~~ Florida Building Code.

The following files from www.floridabuilding.org Code Version 2007, number FL 14239, contain the necessary compliance information for tie down clip approval. The specific information required by building departments may vary. Consult with the individual building department for what portion of the following information is needed for permit approval.



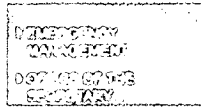
[Florida Department of Business & Professional Regulation](#) |
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Product Approval
USER: Public User

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 [Application Detail](#)



FL #	FL14239-R0
Application Type	New
Code Version	2007
Application Status	Approved
Comments	
Archived	
Product Manufacturer	BMP International Inc.
Address/Phone/Email	4710 28th Street N St. Petersburg, FL 33714 (727) 458-0544 benmeng8@yahoo.com
Authorized Signature	Xianbin Meng benmeng8@yahoo.com
Technical Representative	
Address/Phone/Email	
Quality Assurance Representative	
Address/Phone/Email	
Category	Structural Components
Subcategory	Anchors
Compliance Method	Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer ✓ Evaluation Report - Hardcopy Received
Florida Engineer or Architect Name who developed the Evaluation Report	Kristina S. Daugherty, P.E.
Florida License	PE-68455
Quality Assurance Entity	National Accreditation & Management Institute,
Quality Assurance Contract Expiration Date	12/31/2013
Validated By	Steven M. Urich, PE ✓ Validation Checklist - Hardcopy Received
Certificate of Independence	FL14239_R0_COI_COI_BMP.pdf
Referenced Standard and Year (of Standard)	
Equivalence of Product Standards Certified By	
Sections from the Code	Chapter 22

BMP INTERNATIONAL, INC.

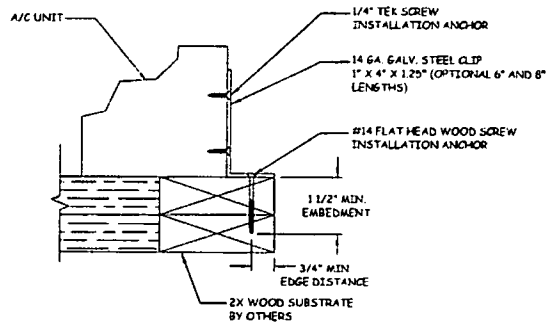
A/C HOLD DOWN CLIP

BMP INTERNATIONAL, INC.

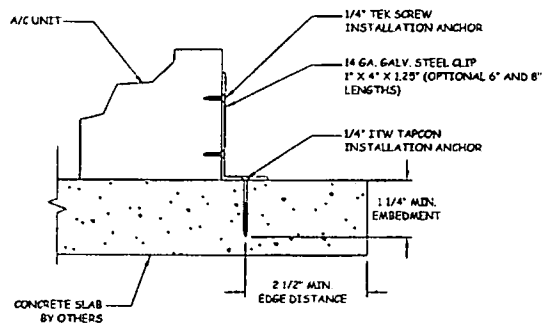
BMP INTERNATIONAL, INC.
4710 28TH STREET N.
ST. PETERSBURG, FL 33714
PH: 727.458.0044

TITLE: A/C HOLD DOWN CLIP
INSTALLATION &
GENERAL NOTES

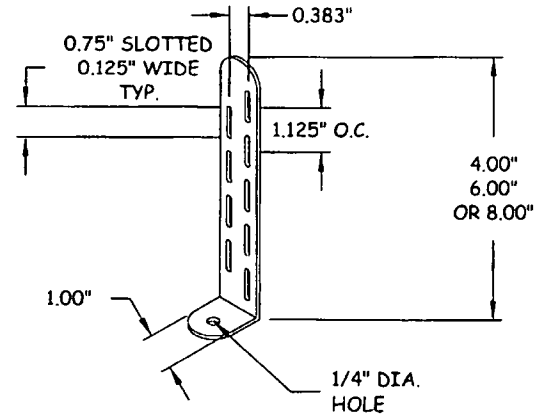
PREPARED BY:
CERTWORKS, LLC
127 W. FAIRBANKS AVE., STE. 438
WINTER PARK, FL 32789
PH: (407) 644-6997 FX: (407) 644-2366



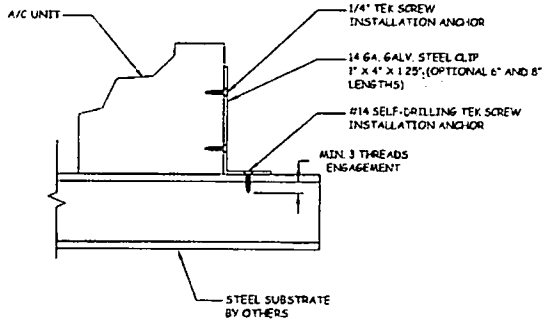
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2X WOOD BUCK SUBSTRATE



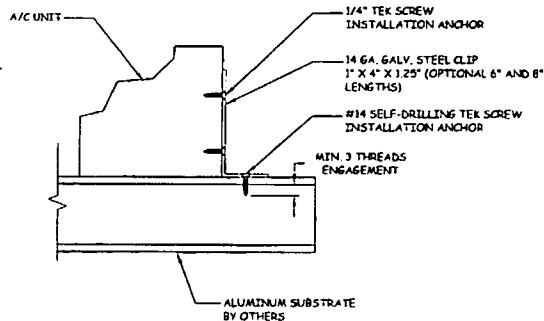
B
1 INSTALLATION DETAIL
CONCRETE SUBSTRATE



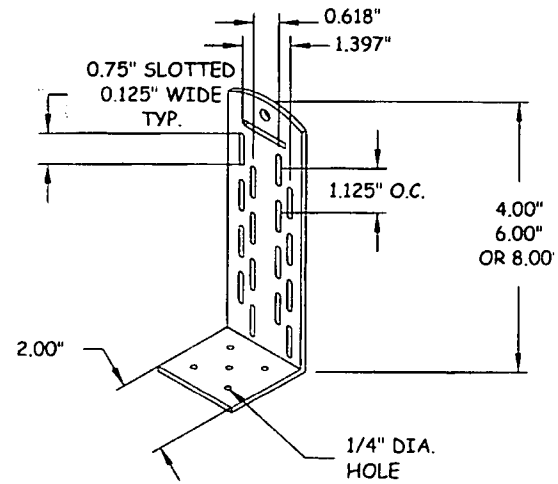
1\"/>



C
1 INSTALLATION DETAIL
STEEL SUBSTRATE



D
1 INSTALLATION DETAIL
ALUMINUM SUBSTRATE



2\"/>

REVISIONS

NO.	DESCRIPTION	BY	DATE

DATE: 06.30.10
DWN BY: JLA
CHK BY: KSD
SCALE: NTS

DATE: 06.30.10
DWN BY: JLA
CHK BY: KSD
SCALE: NTS

DATE: 06.30.10
DWN BY: JLA
CHK BY: KSD
SCALE: NTS

DWG #: **BMP003**
SHEET: 1 OF 2

P:\BMP\4411\DWG\A/C HOLD DOWN CLIP.dwg 10/20/2010 11:01 AM

11/27/2010 12:07 PM

BMP International, Inc. (11/27/2010 12:07 PM)

1" CLIP:			
TABLE OF CLIP ATTACHMENT TO SUPPORTING STRUCTURE OR A/C UNIT (146 MPH) - 4 CLIPS PER UNIT			
HEIGHT ABOVE GROUND (FT.)	NUMBER OF SCREWS PER CLIP TO HOUSING OF A/C (GALV. 1/4" TEK)	NUMBER OF SCREWS PER CLIP INTO CONCRETE (1/4" x 2" TAPCON)	NUMBER OF SCREWS PER CLIP INTO ALUM. RACK SUPPORT (1/4" x 1 1/4" TEK)
0-15	3	1	2*
20	3	1	2*
25	3	1	2*
30	3	1	2*
40	3	1	2*
50	3	1	2*
60	3	1	2*
70	2	1	1
80	2	1	1
90	2	1	1

* Place additional clips at corners for a total of 8 clips, when using the 1" clip where substrate requires 2 screws per clip. (Alternatively, use the 2" clips to maintain total 4 clips per unit.)

TABLE OF CLIP ATTACHMENT TO SUPPORTING STRUCTURE OR A/C UNIT (155 MPH) - 4 CLIPS PER UNIT			
HEIGHT ABOVE GROUND (FT.)	NUMBER OF SCREWS PER CLIP TO HOUSING OF A/C (GALV. 1/4" TEK)	NUMBER OF SCREWS PER CLIP INTO CONCRETE (1/4" x 2" TAPCON)	NUMBER OF SCREWS PER CLIP INTO ALUM. RACK SUPPORT (1/4" x 1 1/4" TEK)
0-15	3	1	2*
20	3	1	2*
25	3	1	2*
30	3	1	2*
40	4	1	2*
50	4	2*	2*
60	4	2*	2*
70	2	1	1
80	2	1	1
90	2	1	2*

* Place additional clips at corners for a total of 8 clips, when using the 1" clip where substrate requires 2 screws per clip. (Alternatively, use the 2" clips to maintain total 4 clips per unit.)

2" CLIP:			
TABLE OF CLIP ATTACHMENT TO SUPPORTING STRUCTURE OR A/C UNIT (146 MPH) - 4 CLIPS PER UNIT			
HEIGHT ABOVE GROUND (FT.)	NUMBER OF SCREWS PER CLIP TO HOUSING OF A/C (GALV. 1/4" TEK)	NUMBER OF SCREWS PER CLIP INTO CONCRETE (1/4" x 2" TAPCON)	NUMBER OF SCREWS PER CLIP INTO ALUM. RACK SUPPORT (1/4" x 1 1/4" TEK)
0-15	3	1	2
20	3	1	2
25	3	1	2
30	3	1	2
40	3	1	2
50	3	1	2
60	3	1	2
70	2	1	1
80	2	1	1
90	2	1	1

TABLE OF CLIP ATTACHMENT TO SUPPORTING STRUCTURE OR A/C UNIT (155 MPH) - 4 CLIPS PER UNIT			
HEIGHT ABOVE GROUND (FT.)	NUMBER OF SCREWS PER CLIP TO HOUSING OF A/C (GALV. 1/4" TEK)	NUMBER OF SCREWS PER CLIP INTO CONCRETE (1/4" x 2" TAPCON)	NUMBER OF SCREWS PER CLIP INTO ALUM. RACK SUPPORT (1/4" x 1 1/4" TEK)
0-15	3	1	2
20	3	1	2
25	3	1	2
30	3	1	2
40	4	1	2
50	4	2**	2
60	4	2**	2
70	2	1	1
80	2	1	1
90	2	1	2

* Place additional clips at corners for a total of 8 clips, when using 2" clips into concrete and 2 screws per clip are required. (Alternatively, use 8 total 1" clips per unit)

NOTES:

- ABOVE CHART DENOTES NUMBER OF SCREWS PER CLIP, ASSUMING 4 CLIPS PER UNIT, EXCEPT WHERE INDICATED ABOVE. WHERE MORE THAN 1 ANCHOR PER CLIP IS REQUIRED INTO THE SUBSTRATE, USE ADDITIONAL CLIPS OR USE THE 2" CLIP.
- FOR STEEL SUPPORTING STRUCTURES, USE SELF DRILLING GALV. 1/4" x 1 1/4" SCREWS AND QUANTITIES REQUIRED ABOVE NOTED FOR ALUMINUM RACK SCREWS.
- SPACING OF SCREWS IN A/C HOUSING SHALL BE A MINIMUM OF 1 IN.
- STAINLESS STEEL SCREWS MAY BE USED WHERE REQUIRED BY GOVERNING AGENCY

GENERAL NOTES:

- DESIGN CALCULATIONS WERE BASED ON THE FLORIDA BUILDING CODE 2007 WITH 2009 AMENDMENTS AND ASCE 7-05 CH. 16 FOR WIND LOADS AND VELOCITIES OF 146 MPH AND 155 MPH. AN IMPORTANCE FACTOR OF I=1 AND EXPOSURE C AS CRITICAL WERE USED IN THE DESIGN.
- A/C UNIT MAXIMUM SIZE: 4 FT x 4 FT x 4FT. MINIMUM WEIGHT OF 150 LBS.
- ALL SCREWS USED TO ATTACH CLIP SHALL BE GALVANIZED A307, SELF DRILLING WITH A MINIMUM HEAD DIAMETER OF 0.3125 IN. SCREWS SHALL BE DRILLED TIGHT, NOT OVER TIGHTENED.
- TAPCONS USED TO ATTACH CLIP TO CONCRETE SHALL BE APPROVED WITH A RATED TENSILE STRENGTH OF 460 LBS WITH A MINIMUM EMBEDMENT OF 1 3/4 IN, MINIMUM EDGE DISTANCE OF 2.5", AND MINIMUM CENTER TO CENTER DISTANCE OF 3".
- WHEN UNIT IS SUPPORTED BY WOOD USE #10 WOOD SCREWS WITH A MINIMUM 1 1/2 IN EMBEDMENT
- SCREWS AT THE BOTTOM OF CLIP ATTACHMENT TO SUPPORTING STRUCTURE REQUIRE WASHERS OF 14 GA. STEEL MINIMUM WITH A YIELD STRENGTH OF 33 KSI.
- CLIPS SHALL BE MANUFACTURED OUT OF MINIMUM 39 KSI STEEL THAT IS G90 GALVANIZED OR STAINLESS STEEL.
- UNIT SIZES MAY INCREASE TO 6 FT x 6 FT x 6 FT AND REQUIRE TWO (2) CLIPS AT CORNERS AND MAY NOT BE HIGHER THAN 15 FT FROM GRADE.
- #12 GALV. SELF DRILLING SCREWS MAY BE USED ON UNITS WHICH ARE INSTALLED NO HIGHER THAN 40 FT FROM GRADE FOR WIND VELOCITY ZONES ARE 146 MPH OR LESS.
- INSTALLATION ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH ANCHOR MANUFACTURER'S INSTALLATION INSTRUCTIONS, AND ANCHORS SHALL NOT BE USED IN SUBSTRATES WITH STRENGTHS LESS THAN THE MINIMUM STRENGTH SPECIFIED BY THE ANCHOR MANUFACTURER.
- INSTALLATION ANCHOR CAPACITIES FOR PRODUCTS HEREIN ARE BASED ON SUBSTRATE MATERIALS WITH THE FOLLOWING PROPERTIES:
 - WOOD - MINIMUM SPECIFIC GRAVITY OF 0.55.
 - CONCRETE - MINIMUM COMPRESSIVE STRENGTH OF 2700 PSI.
 - ALUMINUM - MINIMUM 6061-T6 ALLOY (MINIMUM WALL THICKNESS OF 0.125")
 - STEEL - MINIMUM YIELD STRENGTH OF 33 KSI. MINIMUM WALL THICKNESS OF 33 MILS.
- CLIPS CAN ALSO BE SUPPLIED IN A POWDER-COATED FINISH
- INSTALLATION ANCHORS AND ASSOCIATED HARDWARE MUST BE MADE OF CORROSION RESISTANT MATERIAL OR HAVE A CORROSION RESISTANT COATING. DISSIMILAR MATERIALS MUST BE SEPARATED OR COATED IN ACCORDANCE WITH FBC SECTION 2003.8.4.

BMP INTERNATIONAL, INC.

BMP INTERNATIONAL, INC.
4710 28TH STREET N
ST. PETERSBURG, FL 33714
PH: 727 458 0544

TITLE: A/C HOLD DOWN CLIP INSTALLATION & GENERAL NOTES
PREPARED BY: CERTWORKS, LLC
127 W. FAIRBANKS AVE., STE. 438
WINTER PARK, FL 32789
PH: (407) 644-6997 FX: (407) 644-2366

REVISIONS

NO.	DESCRIPTION	BY	DATE

[Handwritten Signature]
DATE: 06.30.10
SCALE: NTS

DATE: 06.30.10
OWN BY: JLA
CHK BY: KSD
SCALE: NTS

DWG #: **BMP003**
SHEET: **2 OF 2**

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 8-30-12 Page 1 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10097	Buro 101 Henry Sewall GM Const	roof sheathing wall sheathing dry in / metal lath framing	Pass	INSPECTOR <i>[Signature]</i>
10196	Brough 1 Quail Run Knight AC	Final AC	Pass	CLOSE INSPECTOR <i>[Signature]</i>
10161	10161	Final AC	Pass	CLOSE
9-10	25 S River Cold Remedy		Pass	INSPECTOR <i>[Signature]</i>
10027	Gourd's 25 S River Team Parks	Partial slab stair BASEMENT CEILING	Pass	INSPECTOR <i>[Signature]</i>
		CHECK - OTT	STRUCTURE	9:10 AM
	24 N. SPT RD	STRUCTURE	Removed	INSPECTOR <i>[Signature]</i>
7935	Zucker 18 E High Pt Capp Roofing	Final Pt new roof flat	Pass	CLOSE INSPECTOR <i>[Signature]</i>
	LAGANA 19 HIGH PT		INVASIVE SPECIES B.P.'s	INSPECTOR

10423

PAVERS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10423	DATE ISSUED:	APRIL 18, 2013
SCOPE OF WORK:	PAVERS OVER DRIVEWAY & WALKWAY		
CONTRACTOR:	ENCOMPASS BRICK PAVERS		
PARCEL CONTROL NUMBER:	123841002-000-007304	SUBDIVISION	RIO VISTA - LOT 73
CONSTRUCTION ADDRESS:	96 S RIVER RD		
OWNER NAME:	BRADICE		
QUALIFIER:	JAMES YOUNG JR	CONTACT PHONE NUMBER:	463-6574

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: 10423

Date: 4/15/13

OWNER/LESSEE NAME: ALBERT BRADICE Phone (Day) 772 214 4492 (Fax) _____
 Job Site Address: 96 S RIVER RD City: SEWALLS POINT State: FL Zip: 34996
 Legal Description: RIO VISTA LOT 73 Parcel Control Number: 12-38-41-002-000-00730-4
 Fee Simple Holder Name: N/A Address: _____
 City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):**

REMOVAL OF 114" CONCRETE DRIVEWAY - REPLACED BRICK PAVES AND INSTALL 18" THIN PAVERS OVER CONCRETE WALKWAY

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner Builder questionnaire must accompany application)
 YES _____ NO X
Has a Zoning Variance ever been granted on this property?
 YES _____ (YEAR) _____ NO _____
 (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
 Estimated Value of Improvements: \$ 5940
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
 Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
 Estimated Fair Market Value prior to improvement: \$ _____
 (Fair Market Value of the Primary Structure only, Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: ENCOMPASS BRICK PAVERS Phone: 772 463 6574 Fax: _____

Qualifiers name: JAMES J YOUNG JR Street: 5011 SE LISBOWEIZ City: STUART State: FL Zip: 34997

State License Number: _____ OR: Municipality: MCPB 5670 MARTIN COUNTY License Number: MCPB 5670

LOCAL CONTACT: JAMES J YOUNG JR Phone Number: 561 714 0218

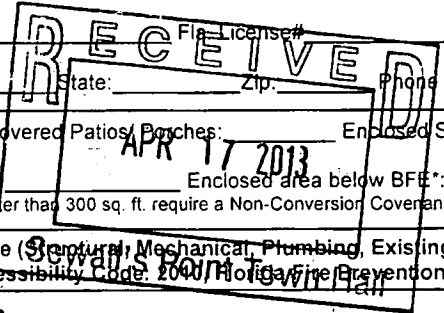
DESIGN PROFESSIONAL: DIA

Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE: _____
 * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2000, Florida Fire Prevention Code: 2010



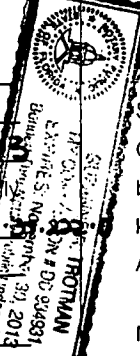
WARNINGS TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

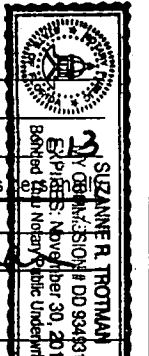
*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE:
 X [Signature]
 State of Florida, County of: MARTIN
 On This the 15th day of APRIL, 2013
 by ALBERT BRADICE who is personally
 known to me or produced FL D.L. #8632-020-0000000
 As identification. Suzanne R Trotman
 Notary Public
 My Commission Expires: 11/30/13



CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:
 X [Signature]
 State of Florida, County of: MARTIN
 On This the 15th day of APRIL, 2013
 by JAMES J YOUNG JR who is personally
 known to me or produced _____
 As identification. Suzanne R Trotman
 Notary Public
 My Commission Expires: 11/30/13



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 30 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**Martin County, Florida
Laurel Kelly, C.F.A**

generated on 4/17/2013 11:55:41 AM EDT

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-002-000-00730-4	27586	96 S RIVER ROAD, SEWALL'S POINT	\$341,360	4/13/2013

Owner Information

Owner(Current)	BRADICE ALBERT & EVELYN
Owner/Mail Address	96 S RIVER RD STUART FL 34996
Sale Date	2/24/1997
Document Book/Page	1222 1792
Document No.	
Sale Price	85000

Location/Description

Account #	27586	Map Page No.	SP-04
Tax District	2200	Legal Description	RIO VISTA S/D LOT 73
Parcel Address	96 S RIVER ROAD, SEWALL'S POINT		
Acres	.3450		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120250 RIO VISTA DRY

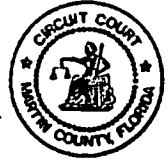
Assessment Information

Market Land Value	\$132,000
Market Improvement Value	\$209,360
Market Total Value	\$341,360



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

STATE OF FLORIDA
 MARTIN COUNTY
 DEPARTMENT
 THIS IS TO CERTIFY THAT THE
 FOREGOING 1 PAGE(S) IS A TRUE
 AND CORRECT COPY OF THE ORIGINAL
 DOCUMENT AS FILED IN THIS OFFICE.
 CAROLYN TIMMANN, CLERK



RIGHT OF WAY DRIVEWAY COVENANT
 FOR MATERIAL OTHER THAN BROOM FINISHED CONCRETE OR ASPHALT

BY: [Signature] D.C.
 DATE: 4-17-13

STATE OF FLORIDA PERMIT NUMBER _____
 COUNTY OF MARTIN

THIS COVENANT, made by ALBERT BRADICE and legal owners

(hereinafter "The Owners") of the property described as: Lot 73, Block _____, according to the Plat of
RIO VISTA, as recorded in Plat Book 6, Page 35, of the Public Records of Martin County,
 Florida, also known as 96 S RIVER RD SEWALLS POINT, FL 34996
 (Street address)

WHEREAS, the Owners have applied for a permit to construct a driveway of BLACK PAVERS
 construction, a portion of which will be constructed in the Town right-of-way, and such construction will not be of asphalt
 or regular broom finish concrete, typical for driveways in right-of-way, and such construction will not be of asphalt or
 regular broom finish concrete, typical for driveways in right-of-way authorized by the Town of Sewall's Point or of
 driveway materials which the Town constructs, repairs, or replaces when it performs activities in its rights-of ways; and

WHEREAS, the Owners desire to construct the driveway and wish to recognize that the Town of Sewall's Point shall
 have no responsibility to replace the driveway if it performs any activity on the right-of-way.

NOW THEREFORE, in return for the benefits that will accrue from the construction of their driveway, and in
 accordance with the criteria for permits for constructing driveways other than those types aforementioned through
 Land Covenant right-of-way, The Owners of the above described property hereby agree and covenant that the Town of
 Sewall's Point shall not bear any responsibility for replacement of such driveway located within the right-of-way on this
 said property, should the need arise.

The Owners agree and covenant that the cost of replacement of the driveway, if required, will be borne by the
 Owners, their heirs, assigns and successors. This Covenant shall run with the land.

[Signature]
 OWNER SIGNATURE

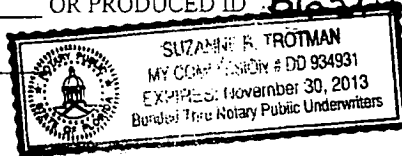
SWORN TO AND SUBSCRIBED BEFORE ME THIS 15th DAY OF APRIL 2013

BY ALBERT BRADICE

PERSONALLY KNOWN _____ OR PRODUCED ID B632-020-37-222-0

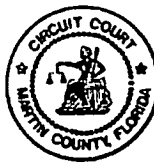
TYPE OF ID FL DL #

[Signature]
 NOTARY SIGNATURE



THIS COVENANT MUST BE RECORDED AT THE CLERK'S OFFICE AND THE RECORDED COPY
 SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO ISSUING CERTIFICATE OF OCCUPANCY OR A
 FINAL DRIVEWAY INSPECTION.

INSTR # 2389276
 OR BK 2644 PG 929
 (1 Pgs)
 RECORDED 04/17/2013 10:03:01 AM
 CAROLYN TIMMANN
 MARTIN COUNTY CLERK



INSTR # 2389277
OR BK 2644 PG 930
(1 Pas)
RECORDED 04/17/2013 10:03:01 AM
CAROLYN TIMMANN
MARTIN COUNTY CLERK

THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGE(S) IS A TRUE
AND CORRECT COPY OF THE ORIGINAL
DOCUMENT AS FILED IN THIS OFFICE.

PERMIT NUMBER: _____

BY: [Signature] D.C.
DATE: 4-17-13 NOTICE OF COMMENCEMENT

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

12-38-41-002-000-00730-4

1. DESCRIPTION OF PROPERTY (Legal description of the property & street address, if available) TAX FOLIO NO.: _____

SUBDIVISION RIO VISTA BLOCK _____ TRACT _____ LOT 73 BLDG _____ UNIT _____

965 RIVER RD, SEWALLS POINT, FL 34996, PLAT BOOK 6, PAGE 95 MARTIN COUNTY, FL

2. GENERAL DESCRIPTION OF IMPROVEMENT:
REMOVE 114 sq ft CONCRETE D/W & REPLACE w/ BRICK PAVERS; SAME FOR SAME

3. OWNER INFORMATION OR LESSEE INFORMATION IF THE LESSEE CONTRACTED FOR THE IMPROVEMENT:

a. Name and address: ALBERT BRADICE 965 RIVER RD SEWALLS POINT, FL 34996

b. Interest in property: OWNER

c. Name and address of fee simple titleholder (if different from Owner listed above): N/A

4. a. CONTRACTOR'S NAME: ENCOMPASS BRICK PAVERS

Contractor's address: 5011 SELEBRON CIR STUART, FL 34997 b. Phone number: 772 4636574

5. SURETY (if applicable, a copy of the payment bond is attached):

a. Name and address: N/A

b. Phone number: _____ c. Amount of bond: \$ _____

6. a. LENDER'S NAME: N/A

Lender's address: _____ b. Phone number: _____

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7., Florida Statutes:

a. Name and address: N/A

b. Phone numbers of designated persons: _____

8. a. In addition to himself or herself, Owner designates N/A of _____ to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (b), Florida Statutes.

b. Phone number of person or entity designated by Owner: _____

9. Expiration date of notice of commencement (the expiration date will be 1 year from the date of recording unless a different date is specified): _____, 20____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

[Signature]
(Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager)

ALBERT BRADICE
(Print Name and Provide Signatory's Title/Office)

State of FLORIDA

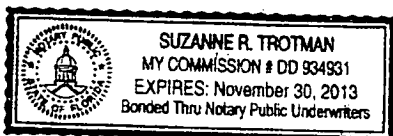
County of MARTIN

The foregoing instrument was acknowledged before me this 15th day of APRIL, 2013

by ALBERT BRADICE, as OWNER
(name of person) (type of authority, ... e.g. officer, trustee, attorney in fact)

for _____
(name of party on behalf of whom instrument was executed)

Personally Known _____ or Produced Identification X Type of Identification Produced B632-020-37-222-0
FL D.L. #



[Signature]
(Signature of Notary Public)
(Print, Type or Stamp Commissioned Name of Notary Public)

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 5-9-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10391	Ford 98 N Sewalls Solar Energy Sys	Final Solar Pool Heater	Pass	Close INSPECTOR <i>GT</i>
10412	Bradice 96 S River	Final driveway	Pass	Close INSPECTOR <i>GT</i>
10236	Shingary 1167 S Sewalls Pat Silas Land	Final Power driveway & Pool deck	Pass	? Tiki HUT - STACK BLOCK WA. ? REAR BALCONY (2ND FLR) INSPECTOR
10366	Dennis 116 Ridgeland Florida's Finest	equipotential bond grid	Pass	INSPECTOR <i>GT</i>
10082	Goude's 25 S River Rd OP Custom Pools	Pool piping	Pass	INSPECTOR <i>GT</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

10953

SHUTTERS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10953	DATE ISSUED:	7/22/2014
SCOPE OF WORK:	SHUTTER INSTALLATION		
CONTRACTOR:	GULFSTREAM ALUMINUM		
PARCEL CONTROL NUMBER:	123841002000007304	SUBDIVISION	RIO VISTA LOT 73
CONSTRUCTION ADDRESS:	96 S RIVER RD		
OWNER NAME:	BRODICE		
QUALIFIER:	JOHN OBRIAN	CONTACT PHONE NUMBER:	287-6476

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INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

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TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	10953
ADDRESS:	96 S RIVER RD
DATE ISSUED:	7/23/2014
SCOPE OF WORK:	SHUTTER INSTALLATION

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned spa @ \$ 121.75 per sq. ft. s.f.		\$	-
Total square feet non-conditioned space, or interior remodel: @ \$ 59.81 per sq. ft. s.f.		\$	-
Total square feet remodel with new trusses: \$ 90.78 per sq. ft. s.f.		\$	-
Total Construction Value:		\$	\$ -
Building fee: (2% of construction value SFR or >\$200K)		\$	n/a
Building fee: (1% of construction value < \$200K + \$100 per insp.)		\$	-
Total number of inspections (Value < \$200K) \$ 100.00 per insp. # insp			n/a
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	n/a
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	n/a
Road impact assessment: (.04% of construction value - \$5 min.)			n/a
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	

ACCESSORY PERMIT	Declared Value:	\$	\$
Total number of inspections: @ \$ 100.00 per insp. # insp		\$ 1.00	\$ 100.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	\$ 2.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	\$ 2.00
Road impact assessment: (.04% of construction value - \$5 min.)			\$ 5.00
TOTAL ACCESSORY PERMIT FEE:			\$ 109.00

pd. ch 27770
7/23/14

Town of Sewall's Point

Date: _____ BUILDING PERMIT APPLICATION Permit Number: _____

OWNER/LESSEE NAME: Evelyn Brodice Phone (Day) 288-2404 (Fax) _____

Job Site Address: 96 S. River Rd City: Stuart State: FL Zip: 34996

Legal Description Rio Vista S/D Lot 73 Parcel Control Number: 12-38-41-002-000-00730-4

Fee Simple Holder Name: _____ Address: _____

City: _____ State: _____ Zip: _____ Telephone: _____

*SCOPE OF WORK (PLEASE BE SPECIFIC):

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO X
Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 3562.00
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 _____ AE9 _____ AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Gulfstream Aluminum Phone: 287-6476 Fax: 287-9740

Qualifiers name: John L O'Brien Street: 3001 SE Green Pkwy City: Stuart State: FL Zip: 34997

State License Number: CRC058017 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: Karyn Ridgely Phone Number: 287-6476

DESIGN PROFESSIONAL: _____ Fla. License# _____

Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof X Elevated Deck: _____ Enclosed area below BFE*: _____

* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT, THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER/AGENT/LESSEE - NOTARIZED SIGNATURE:

X Evelyn Brodice

State of Florida, County of: Martin

On This the 14 day of July, 2014

by Evelyn Brodice who is personally

known to me or produced _____

As identification: _____

Notary Public

My Commission Expires: 10/03/2015

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:

John L O'Brien

State of Florida, County of: Martin

On This the 14 day of July, 2014

by John L O'Brien who is personally

known to me or produced X

As identification: _____

Notary Public

My Commission Expires: 10/03/2015

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

Notary Public State of Florida
Karyn E Ridgely
My Commission EE135494
Expires 10/03/2015

Notary Public State of Florida
Karyn E Ridgely
My Commission EE135494
Expires 10/03/2015



CERTIFICATE OF LIABILITY INSURANCE

GULFS-5

OP ID: CR

DATE (MM/DD/YYYY)
06/19/2014

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER R.V. Johnson Insurance 2041 SE Ocean Blvd Stuart, FL 34996 Robert C. Johnson		CONTACT NAME: Carol Rzaca PHONE (A/C, No, Ext): 772-287-3366 FAX (A/C, No): 772-287-4255 E-MAIL ADDRESS: crzaca@rvjohnson.com	
INSURED Gulfstream Aluminum & Shutter Corp 3001 SE Gran Parkway Stuart, FL 34997		INSURER(S) AFFORDING COVERAGE	
		INSURER A: Safeco Ins. Co. of America	NAIC # 24740
		INSURER B: Bridgefield Employers Ins.	NAIC # 10701
		INSURER C:	
		INSURER D:	
		INSURER E:	
		INSURER F:	

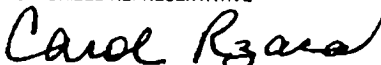
COVERAGES**CERTIFICATE NUMBER:****REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	GENERAL LIABILITY		01CH9055976	07/08/2013	07/08/2014	EACH OCCURRENCE	\$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY					DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 200,000
	<input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR					MED EXP (Any one person)	\$ 10,000
	<input checked="" type="checkbox"/> EPLI \$10,000					PERSONAL & ADV INJURY	\$ 1,000,000
GEN'L AGGREGATE LIMIT APPLIES PER:						GENERAL AGGREGATE	\$ 2,000,000
POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC <input type="checkbox"/>						PRODUCTS - COMP/OP AGG	\$ 2,000,000
						Emp Ben.	\$ 1,000,000
A	AUTOMOBILE LIABILITY		02CE2298831	07/08/2014	07/08/2015	COMBINED SINGLE LIMIT (Ea accident)	\$ 1,000,000
	<input checked="" type="checkbox"/> ANY AUTO					BODILY INJURY (Per person)	\$
	<input type="checkbox"/> ALL OWNED AUTOS	<input type="checkbox"/> SCHEDULED AUTOS				BODILY INJURY (Per accident)	\$
	<input checked="" type="checkbox"/> HIRED AUTOS	<input checked="" type="checkbox"/> NON-OWNED AUTOS				PROPERTY DAMAGE (PER ACCIDENT)	\$
							\$
						EACH OCCURRENCE	\$
						AGGREGATE	\$
							\$
B	WORKERS COMPENSATION AND EMPLOYERS LIABILITY		0830-52724	06/13/2014	06/13/2015	<input checked="" type="checkbox"/> WC STATUTORY LIMITS	OTHER
	<input type="checkbox"/> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)	<input type="checkbox"/> Y/N				E.L. EACH ACCIDENT	\$ 1,000,000
	If yes, describe under DESCRIPTION OF OPERATIONS below	N/A				E.L. DISEASE - EA EMPLOYEE	\$ 1,000,000
							E.L. DISEASE - POLICY LIMIT

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

CERTIFICATE HOLDER**CANCELLATION**

TOWN024 Town of Sewalls Point 1 S. Sewalls Point Road Stuart, FL 34996	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE 

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2013-2014

MARTIN COUNTY ORIGINAL BUSINESS TAX RECEIPT

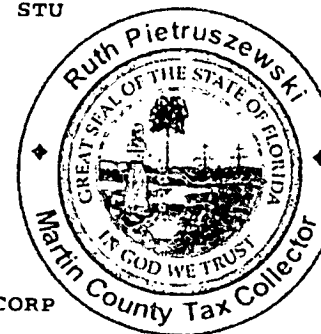
HONORABLE RUTH PIETRUSZEWSKI CFC, TAX COLLECTOR
3485 S.E. WILLOUGHBY BLVD., STUART, FL 34994
(772) 288-5604

ACCOUNT 2008-518-0115 CFC# CRC058017

PHONE (772) 287-6476 SIC NO 236115

LOCATION:

3001 SE GRAN PARK WAY STU



CHARACTER COUNTS IN MARTIN COUNTY

PREV YR.	\$.00	LIC. FEE	\$ 26.25
	\$.00	PENALTY	\$.00
	\$.00	COL. FEE	\$.00
	\$.00	TRANSFER	\$.00

TOTAL 26.25

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION OF

CERT. RESIDENTIAL CONTRACTOR

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

O'BRIEN, JOHN (QB52216)

GULFSTREAM ALUMINUM & SHUTTER CORP

3001 SE GRAN PARK WAY

STUART, FL 34997

24 DAY OF SEPTEMBER 20 13

AND ENDING SEPTEMBER 30, 2014

11 2012 34454.0001

26.25 PAID

PALM BEACH COUNTY CONTRACTORS CERTIFICATE OF COMPETENCY

CERTIFICATE # U-20825		EXPIRATION 09/30/2015
---------------------------------	---	---------------------------------

NAME : JOHN L'O'BRIEN
FIRM : GULFSTREAM ALUMINUM & SHUTTER CORP

DBA :

3001 SE GRAN PKWY
STUART, FL 34997

CERTIFIED CONTRACTOR
WINDOW & DOOR

FEE :	250.00		
ISSUED BY :	SMATTHES	ON :	09/30/2013
ID #	0104219		

Signature: 
Contractor Signature Required

Martin County, Florida
Laurel Kelly, C.F.A

generated on 7/17/2014 8:17:50 AM EDT

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-002-000-00730-4	27586	96 S RIVER ROAD, SEWALL'S POINT	\$370,050	7/13/2014

Owner Information

Owner(Current)	BRADICE EVELYN
Owner/Mail Address	96 S RIVER RD STUART FL 34996
Sale Date	2/24/1997
Document Book/Page	1222 1792
Document No.	
Sale Price	85000

Location/Description

Account #	27586	Map Page No.	SP-04
Tax District	2200	Legal Description	RIO VISTA S/D LOT 73
Parcel Address	96 S RIVER ROAD, SEWALL'S POINT		
Acres	.3450		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120250 Rio Vista DRY

Assessment Information

Market Land Value	\$198,000
Market Improvement Value	\$172,050
Market Total Value	\$370,050



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

SHUTTER SCHEDULE

I.D. NO.	APPROX OPENING SIZE (WxH)	APPROX SHUTTER WIDTH	APPROX HEIGHT	# OF STORM BARS REQ'D	ANCHOR SPACING	# OF WINDOW BARS EACH SIDE	HEADER REINF. REQ'D YES/NO	REMARKS
6	45 x 64	47	65.125		12"			CO
7	49 x 64	51	65.125		↓			CO
13	54 x 64	56	65.125		↓			CO
14	50 x 64	52	65.125		↓			CO

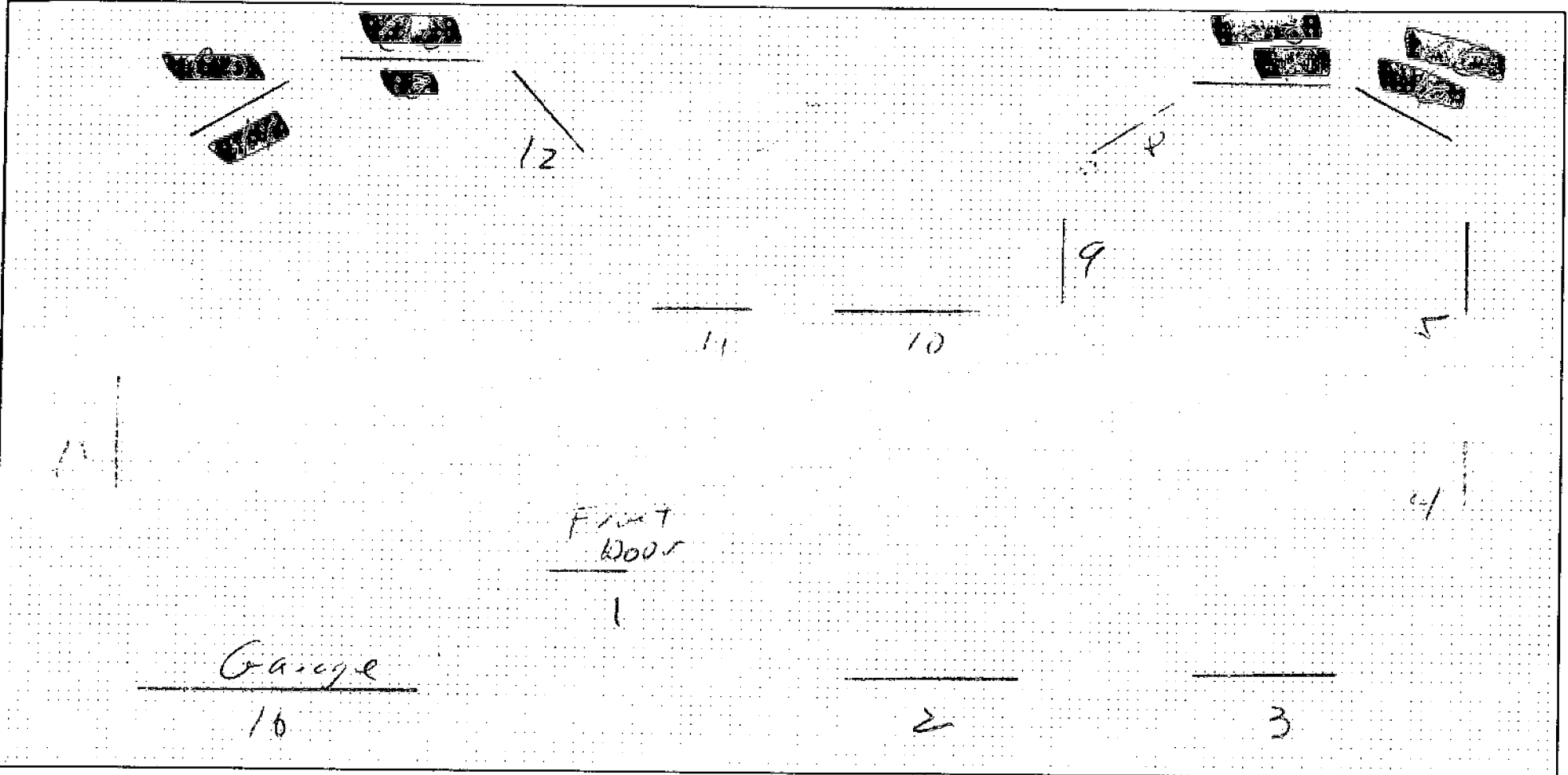


Do It Once. Do It Right.
Since 1979

3001 S.E. Gran Park Way, Stuart, Florida 34997
(772) 287-6476 • (800) 244-4143
FAX (772) 287-9740
E-Mail: jobrien@gulfshutters.com
www.gulfshutters.com
Lic. #MC00231, SL 1211, PB# U-17051, CRC58017

Key	
Storm Panels - SP	Rollups - RU
Accordions - AC	Windows/Doors - WD
Bahamas - BA	Retractable Awnings - RA
Colonials - CO	Ultra Lattice - UL

LAYOUT SHEET



Special Instructions: Evelyn Bradice residence

Signature _____ Date _____ Salesperson Joe Mann Date 3-11-11



DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES
BOARD AND CODE ADMINISTRATION DIVISION

MIAMI-DADE COUNTY
PRODUCT CONTROL SECTION
11805 SW 26 Street, Room 208
Miami, Florida 33175-2474
T (786) 315-2590 F (786) 315-2599

www.miamidade.gov/building

NOTICE OF ACCEPTANCE (NOA)

Gulfstream Aluminum and Shutter Corporation
3001 SE Gran Park Way
Stuart, Florida 34997

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County RER-Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. RER reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: "Impact" Aluminum Hinged Colonial Shutter

APPROVAL DOCUMENT: Drawing No. GSA002, titled "Aluminum Hinged Colonial Shutter (Impact)", sheets 1 through 9 of 9, prepared by Building Drops, Inc., dated September 28, 2009, last revision #B dated March 22, 2012, signed & sealed by Hermes F. Norero, P.E. bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Section.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state, the following statement: "Miami-Dade County Product Control Approved", and NOA number, per TAS-201, TAS-202, and TAS-203, unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA #11-0113.16 and consists of this page 1, evidence submitted pages E-1, E-2, & E-3 as well as approval document mentioned above.

The submitted documentation was reviewed by **Helmy A. Makar, P.E., M.S.**



Helmy A. Makar
08/02/2012

NOA No. 12-0426.09
Expiration Date: 05/06/2015
Approval Date: 08/02/2012
Page 1

Gulfstream Aluminum and Shutter Corporation

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

1. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL #00-0411.10

A. DRAWINGS

1. *Drawing No. 1000, titled " Impact Colonial Shutter ", prepared by W. W. Schaefer Engineering & Consulting, P.A., dated January 10, 2001, sheets 1 through 7 of 7, signed and sealed by Warren W. Schaefer, P.E.*

B. TESTS

1. *Test Report on: 1) Large Missile Impact Test, per PA-201; 2) Cyclic Wind Pressure Test, per PA-203; and 3) Uniform Static Air Pressure test per PA-202, of colonial shutters, prepared by Hurricane Test Laboratory Inc., Report No. 0205-1201-99, dated March 23, 2000, signed and sealed by Vinu J. Abraham, P.E.*

C. CALCULATIONS

1. *Anchor analysis and calculations dated 12/24/99, Pages 1 to 15, prepared by W. W. Schaefer Engineering & Consulting, P.A., signed and sealed by Warren W. Schaefer, P.E.*

D. MATERIAL CERTIFICATION

1. *Certified Tensile Test Report No. 0AM-142, prepared by QC Metallurgical Inc., dated 03/02/2000, per ASTM E8-93, signed and sealed by Frank Grate, P.E.*

2. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL 3 04-0325.02

A. DRAWINGS

1. *Drawing No. 1000, titled "Impact Colonial Shutters", sheets 1 through 7 of 7, prepared by W. W. Schaefer Engineering & Consulting, P.A., dated January 10, 2001, signed and sealed by Warren W. Schaefer, P.E. on March 18, 2004.*

B. TESTS

1. *None.*

C. CALCULATIONS

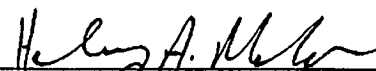
1. *None.*

D. QUALITY ASSURANCE

1. *By Miami-Dade County Building Code Compliance Office.*

E. MATERIAL CERTIFICATIONS

1. *None.*



Helmy A. Makar, P.E., M.S.
Product Control Unit Supervisor
NOA No. 12-0426.09
Expiration Date: 05/06/2015
Approval Date: 08/02/2012

Gulfstream Aluminum and Shutter Corporation

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

3. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL # 09-0706.11

A. DRAWINGS

1. *Drawing No. GSA002, titled "Aluminum Hinged Colonial Shutter (Impact)", sheets 1 through 9 of 9, prepared by Certworks, LLC, dated September 28, 2009, last revision #A dated January 20, 2010, signed and sealed by Kristina S. Daugherty, P.E.*

B. TESTS

1. *None.*

C. CALCULATIONS

1. *Anchor analysis and calculations dated 09/28/2009, Pages 1 to 18, prepared by Certworks, LLC, signed and sealed by Kristina S. Daugherty, P.E.*

D. QUALITY ASSURANCE

1. *By Miami-Dade County Building Code Compliance Office.*

E. MATERIAL CERTIFICATIONS

1. *None.*

4. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL # 11-0113.16

A. DRAWINGS

1. *None.*

B. TESTS

1. *Test Report on: 1) Large Missile Impact Test, per PA-201; 2) Cyclic Wind Pressure Test, per PA-203; and 3) Uniform Static Air Pressure test per PA-202, of colonial shutters, prepared by Hurricane Test Laboratory Inc., Report No. 0205-0409-10, dated November 03, 2010, signed and sealed by Vinu J. Abraham, P.E.*

C. CALCULATIONS

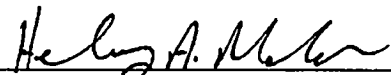
1. *None.*

D. QUALITY ASSURANCE

1. *By Miami-Dade County Building and Neighborhood Compliance Department.*

E. MATERIAL CERTIFICATIONS

1. *None.*



Helmy A. Makar, P.E., M.S.
Product Control Unit Supervisor
NOA No. 12-0426.09
Expiration Date: 05/06/2015
Approval Date: 08/02/2012

Gulfstream Aluminum and Shutter Corporation

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

5. NEW EVIDENCE SUBMITTED

A. DRAWINGS

1. *Drawing No. GSA002, titled "Aluminum Hinged Colonial Shutter (Impact)", sheets 1 through 9 of 9, prepared by Building Drops, Inc., dated September 28, 2009, last revision #B dated March 22, 2012, signed & sealed by Hermes F. Norero, P.E.*

B. TESTS

1. *None.*

C. CALCULATIONS

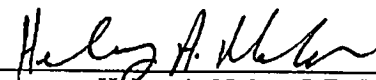
1. *Anchor analysis and calculations dated April 16, 2012, Pages 1 through 18, prepared by Building Drops, Inc., signed and sealed by Hermes F. Norero, P.E.*

D. QUALITY ASSURANCE

1. *By Miami-Dade County Department of Regulatory and Economic Resources.*

E. MATERIAL CERTIFICATIONS

1. *None.*



Helmy A. Makar, P.E., M.S.
Product Control Unit Supervisor
NOA No. 12-0426.09
Expiration Date: 05/06/2015
Approval Date: 08/02/2012



GULFSTREAM ALUMINUM & SHUTTER CORPORATION
3001 S.E. GRAND PINE WAY
STUART, FLORIDA 34997
PH: (800) 244-4143 FX: (772) 287-9740

TITLE: COLONIAL SHUTTER INSTALLATION & GENERAL NOTES
PREPARED BY: BUILDING DROPS, INC.
127 W. FAIRBANKS AVE., STE. 438
WINTER PARK, FL 32789
PH: (407) 644-6957 FX: (407) 644-5346

NO.	DESCRIPTION	DATE	
		BY	DATE
A	REVISED PER MD COMMENTS	MS	01.20.10
B	2010 FBC UPDATES	MS	3.22.12

4-16-2012

DATE: 09.28.09	DWN BY: JLR	CHK BY: KSD	SCALE: NTS
PRODUCT REVISED as complying with the Florida Building Code Acceptance No 12-0426-09 Expiration Date 05/06/2015			
DWG #: GSA002		SHEET: 1 OF 9	

GULFSTREAM ALUMINUM & SHUTTER CORP.

ALUMINUM HINGED COLONIAL SHUTTER (IMPACT)

INSTALLATION NOTES:

- ONE (1) INSTALLATION ANCHOR IS REQUIRED AT EACH ANCHOR LOCATION SHOWN.
- THE NUMBER OF INSTALLATION ANCHORS DEPICTED IS THE MINIMUM NUMBER OF ANCHORS TO BE USED FOR PRODUCT INSTALLATION.
- MINIMUM EMBEDMENT AND EDGE DISTANCE EXCLUDE WALL FINISHES, INCLUDING BUT NOT LIMITED TO STUCCO, FOAM, BRICK VENEER, AND SIDING.
- INSTALLATION ANCHORS AND ASSOCIATED HARDWARE MUST BE MADE OF CORROSION RESISTANT MATERIAL OR HAVE A CORROSION RESISTANT COATING.
- FOR HOLLOW BLOCK AND GROUT FILLED BLOCK, DO NOT INSTALL INSTALLATION ANCHORS INTO MORTAR JOINTS. EDGE DISTANCE IS MEASURED FROM FREE EDGE OF BLOCK OR EDGE OF MORTAR JOINT INTO FACE SHELL OF BLOCK.
- INSTALLATION ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH ANCHOR MANUFACTURER'S INSTALLATION INSTRUCTIONS, AND ANCHORS SHALL NOT BE USED IN SUBSTRATES WITH STRENGTHS LESS THAN THE MINIMUM STRENGTH SPECIFIED BY THE ANCHOR MANUFACTURER.
- INSTALLATION ANCHOR CAPACITIES FOR PRODUCTS HEREIN ARE BASED ON SUBSTRATE MATERIALS WITH THE FOLLOWING PROPERTIES:
 - A. WOOD - MINIMUM SPECIFIC GRAVITY OF 0.55.
 - B. CONCRETE - MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.
 - C. MASONRY - STRENGTH CONFORMANCE TO ASTM C-90, GRADE N, TYPE 1 (OR GREATER).
- EACH SHUTTER SHALL HAVE A LEGIBLE & READILY VISIBLE MARKING INSTRUCTING THE OWNER/TENANT TO SECURE THE SHUTTER WITH BRACKETS & STORM BARS, PER THESE APPROVED DRAWINGS DURING PERIODS OF HURRICANE WARNING.
- SHUTTER WIDTH SHALL BE RESTRICTED BY THE MAXIMUM DIMENSIONS SHOWN ON SHEETS 2 & 3. SHUTTER HEIGHT MAY EXCEED 96" (UP TO 144") PROVIDING THE REQUIRED NUMBER & SPACING OF STORM BARS ARE USED.
- EACH SHUTTER SHALL BE PERMANENTLY MARKED AS FOLLOWS:
 GULFSTREAM ALUMINUM & SHUTTER CORP.
 STUART, FL
 MIAMI-DADE COUNTY PRODUCT CONTROL APPROVED

GENERAL NOTES:

- THE PRODUCT SHOWN HEREIN IS DESIGNED AND MANUFACTURED TO COMPLY WITH THE 2010 FLORIDA BUILDING CODE (FBC), INCLUDING HVHZ AND HAS BEEN EVALUATED ACCORDING TO THE FOLLOWING:
 - TAS 201-94
 - TAS 202-94
 - TAS 203-94
- ADEQUACY OF THE EXISTING STRUCTURAL CONCRETE/MASONRY AND 2X FRAMING AS A MAIN WIND FORCE RESISTING SYSTEM CAPABLE OF WITHSTANDING AND TRANSFERRING APPLIED PRODUCT LOADS TO THE FOUNDATION IS THE RESPONSIBILITY OF THE ENGINEER OR ARCHITECT OF RECORD FOR THE PROJECT OF INSTALLATION.
- 1X AND 2X BUCKS (WHEN USED) SHALL BE DESIGNED AND ANCHORED TO PROPERLY TRANSFER ALL LOADS TO THE STRUCTURE. BUCK DESIGN AND INSTALLATION IS THE RESPONSIBILITY OF THE ENGINEER OR ARCHITECT OF RECORD FOR THE PROJECT OF INSTALLATION.
- THE INSTALLATION DETAILS DESCRIBED HEREIN ARE GENERIC AND MAY NOT REFLECT ACTUAL CONDITIONS FOR A SPECIFIC SITE. IF SITE CONDITIONS CAUSE INSTALLATION TO DEVIATE FROM THE REQUIREMENTS DETAILED HEREIN, A LICENSED ENGINEER OR ARCHITECT SHALL PREPARE SITE SPECIFIC DOCUMENTS FOR USE WITH THIS DOCUMENT.
- SHUTTER MATERIAL: ALUMINUM 6063-T6
- THESE SHUTTER SYSTEMS HAVE BEEN TESTED, ANALYZED & APPROVED FOR WIND PRESSURES NOT TO EXCEED THOSE SHOWN IN THE LOAD TABLES ON SHEETS 8 & 9.

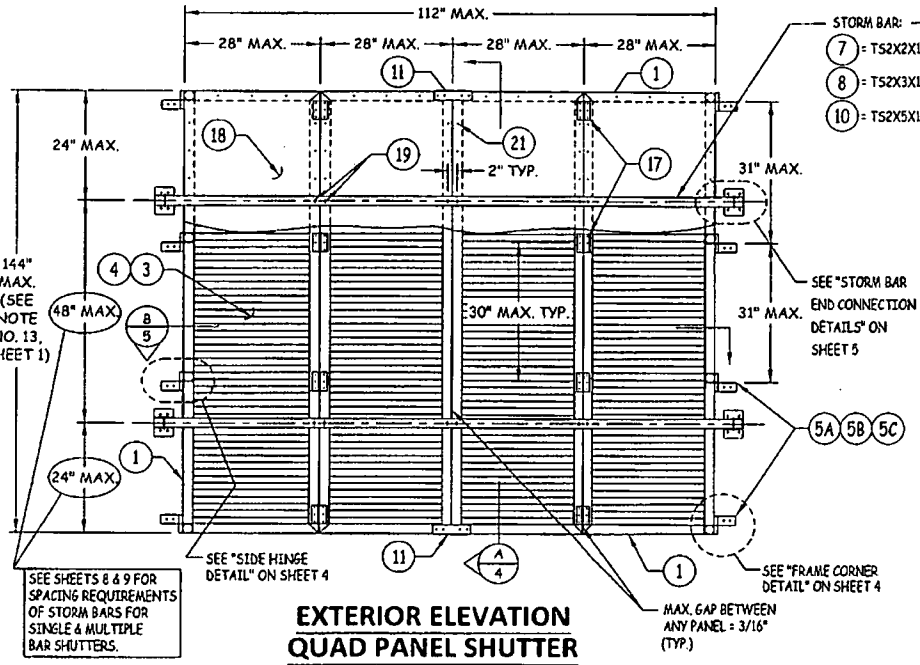
TABLE OF CONTENTS		
SHEET	REVISION	SHEET DESCRIPTION
1	B	INSTALLATION & GENERAL NOTES
2	A	ELEVATIONS
3	A	ELEVATIONS
4	A	VERTICAL SECTIONS
5	A	HORIZONTAL SECTIONS & DETAILS
6	B	BILL OF MATERIALS & COMPONENTS
7	A	COMPONENTS
8	B	PRESSURE LOAD TABLES
9	A	PRESSURE LOAD TABLES

MAX. DESIGN PRESSURE RATING	
-80.0 / -80.0 PSF	SMALL AND LARGE MISSILE IMPACT RATED

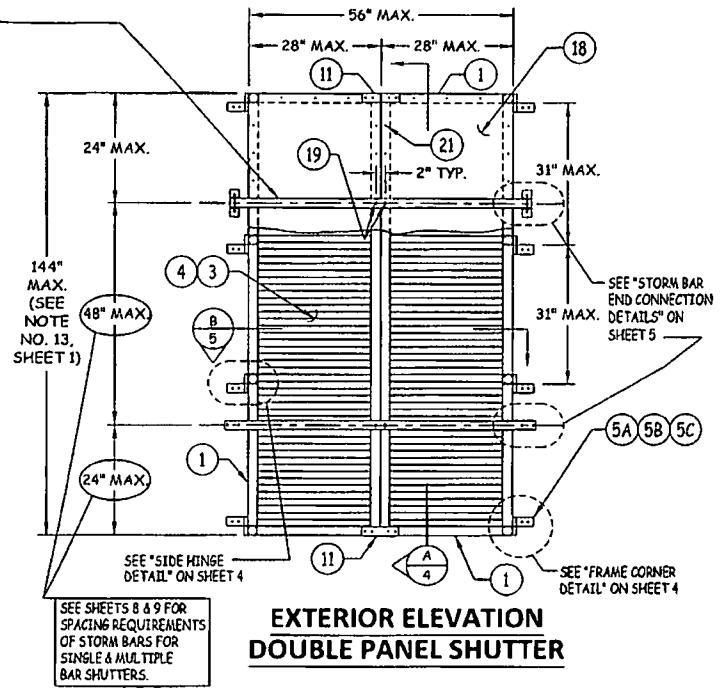
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**EXTERIOR ELEVATION
QUAD PANEL SHUTTER**



**EXTERIOR ELEVATION
DOUBLE PANEL SHUTTER**

NOTE: SINGLE & THREE PANEL SHUTTERS ARE ALSO PART OF THIS APPROVAL. SINGLE PANEL SHUTTERS WILL COMPLY WITH THE DOUBLE PANEL SHUTTER REQUIREMENTS & THE THREE PANEL SHUTTERS WILL COMPLY WITH THE QUAD PANEL SHUTTER REQUIREMENTS.

STORM BAR NOTE: THE NUMBER OF STORM BARS REQUIRED WITH EACH SHUTTER TYPICALLY VARIES FROM 1 TO 3 & IS DEPENDENT ON SHUTTER SIZE & REQUIRED DESIGN PRESSURE. SEE ELEVATION SKETCHES ON SHEET 3 & LOAD TABLES ON SHEETS 8-9 FOR STORM BAR REQUIREMENTS.

- STORM BAR:
- 7 = TS2X2X1/8
 - 8 = TS2X3X1/8
 - 10 = TS2X5X1/8

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ALUMINUM & SHUTTER CORPORATION

GULFSTREAM ALUMINUM & SHUTTER CORPORATION
3001 S.E. GRAM PARK WAY
STUART, FLORIDA 34997
PH: (800) 244-4143 FX: (772) 287-9740

TITLE: COLONIAL SHUTTER ELEVATIONS

PREPARED BY:
BUILDING DROPS, INC.
127 W. FAIRBANKS AVE., STE. 438
WINTER PARK, FL 32789
PH: (407) 644-6927 FX: (407) 644-2366

NO.	DESCRIPTION	BY	DATE
		MS	3.22.12

2010 FBC UPDATES

4-16-2012

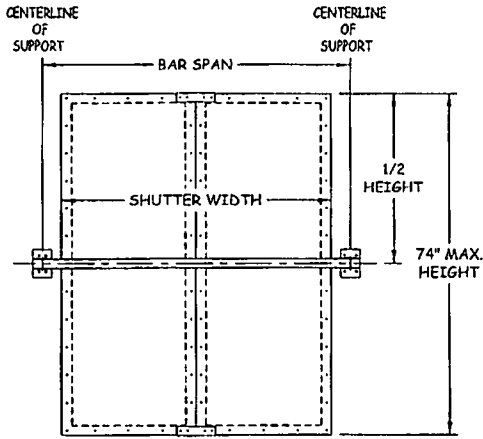
APPROVED & ISSUED FOR CONSTRUCTION
BY: [Signature]
DATE: 4-16-2012
PROJECT: COLONIAL SHUTTER ELEVATIONS
DRAWING NO. GSA002

PRODUCT REVISED as complying with the Florida Building Code
Acceptance No: 2-0426-09
Expiration Date: 05/06/2016

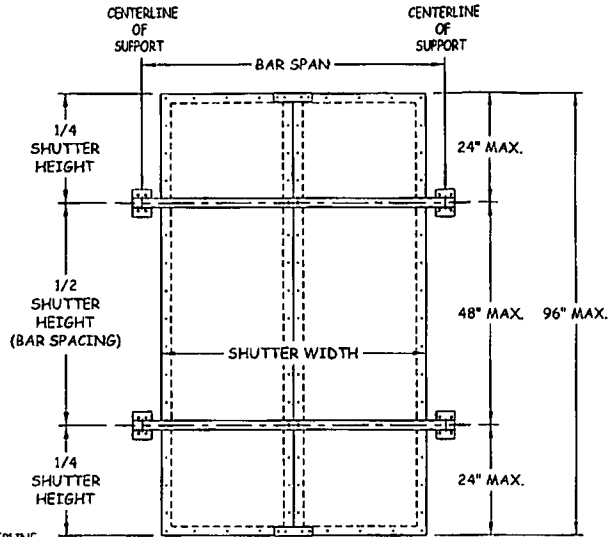
DATE: 09.28.09
DWN BY: JLR
CHK BY: KSD
SCALE: NTS

By: [Signature]
Miami Design Product Control

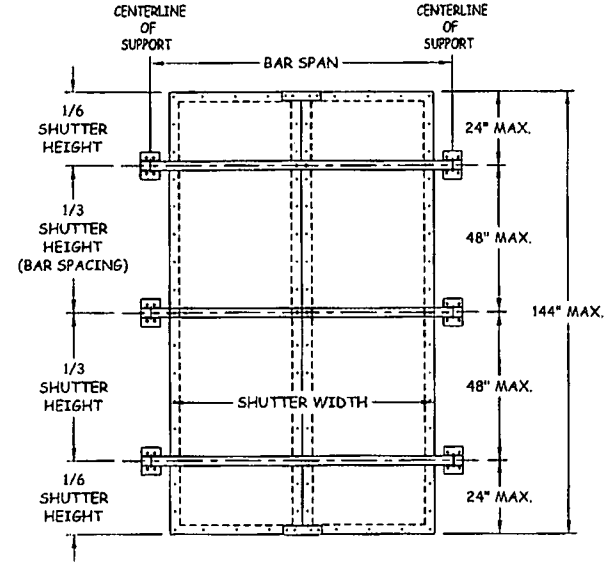
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SHEET: **2 OF 9**



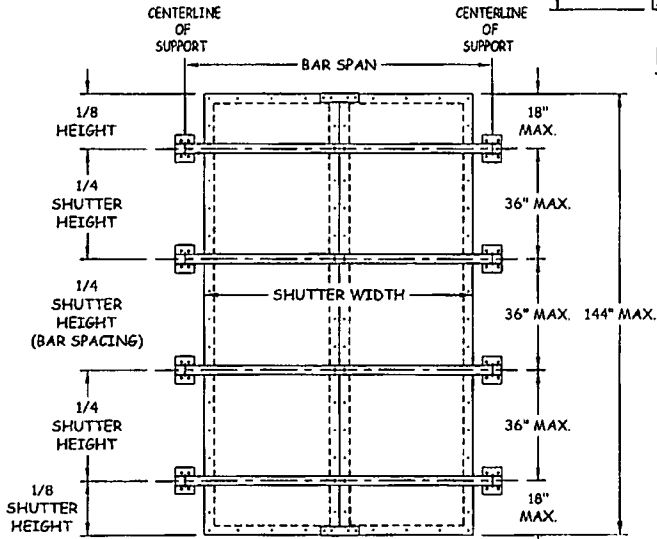
**EXTERIOR ELEVATION
SINGLE BAR**



**EXTERIOR ELEVATION
TWO BARS**



**EXTERIOR ELEVATION
THREE BARS**



**EXTERIOR ELEVATION
FOUR BARS**

ALLOWABLE PRESSURE TABLE FOR SINGLE BAR SHUTTERS

SHUTTER HEIGHT	PRESSURE (PSF)	
	POSITIVE	NEGATIVE
54" & LESS	80.0	80.0
56"	77.0	77.0
58"	74.0	74.0
60"	71.0	71.0
62"	68.0	68.0
64"	65.0	65.0
66"	60.0	60.0
68"	55.0	55.0
70"	49.7	50.0
72"	44.4	45.0
74"	39.8	40.0

PRESSURE TABLE NOTES:

1. THE SHUTTER MUST BE PLACED A MIN. DISTANCE OF 2.125" AWAY FROM THE GLASS.
2. SEE INSTRUCTIONS ON SHEET 9 FOR USE OF ALL LOAD TABLES.



GULFSTREAM ALUMINUM & SHUTTER CORPORATION
1001 S.E. GRAN PINE WAY
STUART, FLORIDA 34997
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TITLE: COLONIAL SHUTTER ELEVATIONS

PREPARED BY:
BUILDING DROPS, INC.
127 W. FAIRBANKS AVE., STE. 438
WINTER PARK, FL 32789
PH: (407) 644-4987 FX: (407) 644-2346

NO.	DESCRIPTION	BY	DATE
		AS	3.22.12
1	2010 FBC UPDATES		



PRODUCT REVISED as complying with the Florida Building Code
Acceptance No 12-0426-09
Expiration Date 09/06/2015
By: *[Signature]*
Miami Design Product Control

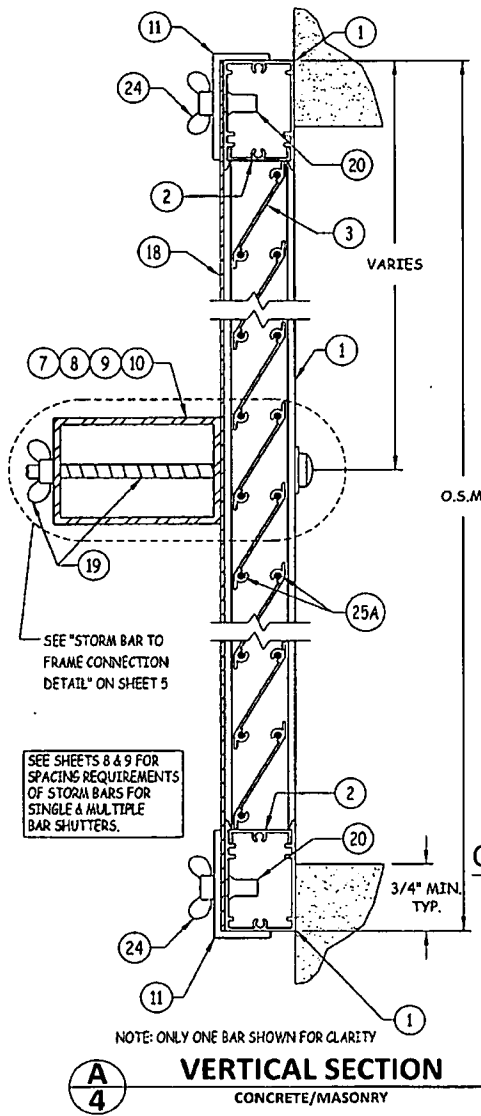
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DWN BY: JLR
CHK BY: KSD
SCALE: NTS
DWG #: GSA002
SHEET: 3 OF 9

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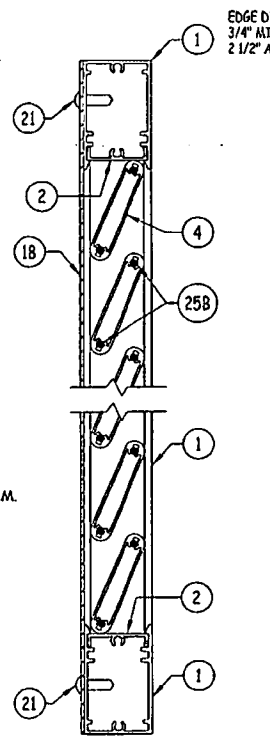


NOTE: ONLY ONE BAR SHOWN FOR CLARITY

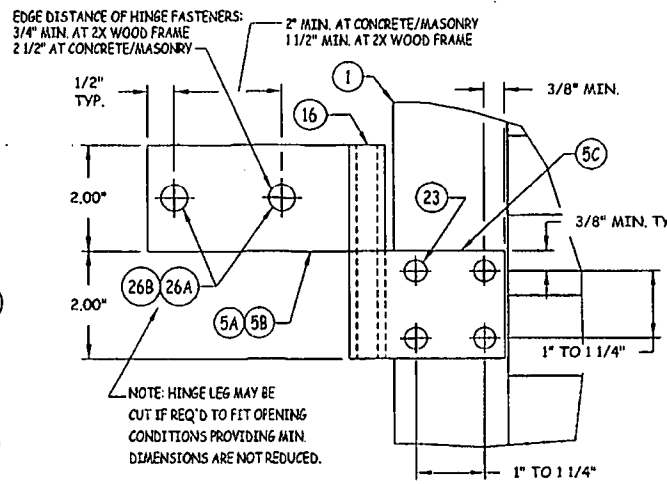
A
4
VERTICAL SECTION
CONCRETE/MASONRY

SEE "STORM BAR TO FRAME CONNECTION DETAIL" ON SHEET 5

SEE SHEETS 8 & 9 FOR SPACING REQUIREMENTS OF STORM BARS FOR SINGLE & MULTIPLE BAR SHUTTERS.

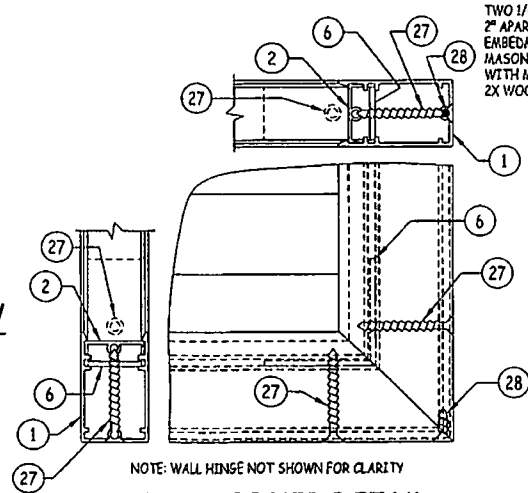


VERTICAL SECTION
SHOWING
OPTIONAL HOLLOW
BLADE



NOTE: HINGE LEG MAY BE CUT IF REQ'D TO FIT OPENING CONDITIONS PROVIDING MIN. DIMENSIONS ARE NOT REDUCED.

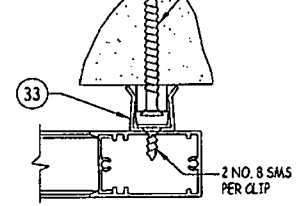
SIDE HINGE DETAIL



NOTE: WALL HINGE NOT SHOWN FOR CLARITY

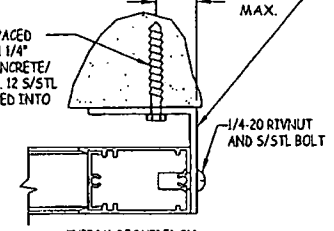
FRAME CORNER DETAIL

1/4" TAPCON WITH MIN. 1 1/4" EMBEDMENT INTO CONCRETE/MASONRY OR NO. 12 S/STL SMS WITH 1 1/2" EMBEDMENT INTO 2X WOOD FRAME



WALL CLIP DETAIL

L2X2X1/8 OR L2X3X1/8 3" LONG FOR BLOCK APPLICATIONS 1 1/2" LONG FOR 2X WOOD FRAME APPLICATIONS



OPTIONAL WALL CLIP DETAIL

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GULFSTREAM ALUMINUM & SHUTTER CORPORATION
3001 S.E. GRAY PARK WAY
STUART, FLORIDA 34997
PH: (800) 244-4143 FX: (772) 287-9740

TITLE: COLONIAL SHUTTER VERTICAL SECTIONS
PREPARED BY: BUILDING DROPS, INC.
127 W. FAIRBANKS AVE., STE. 438
WINTER PARK, FL 32789
PH: (407) 644-6987 FX: (407) 644-2346

NO.	DESCRIPTION	BY	DATE
1	2010 FBC UPDATES	MS	3.22.12

4-16-2012
APPROVED BY: [Signature]
DATE: 4-16-2012
PROJECT: [Project Name]
DRAWN BY: [Signature]
CHECKED BY: [Signature]
SCALE: [Scale]
DATE: [Date]

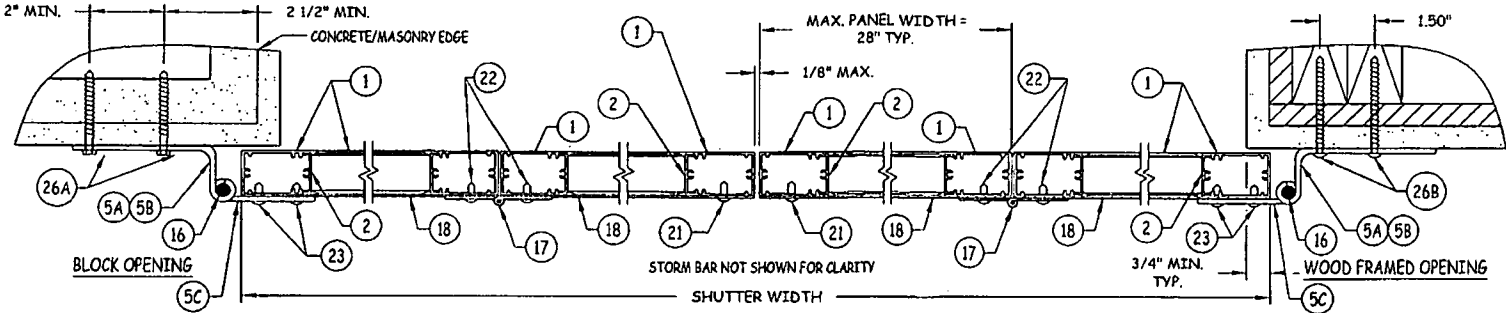
PRODUCT REVISED as complying with the Florida Building Code
Acceptance No 12-0426-09
Expiration Date 06/2015
By: [Signature]
Miami Drop Product Control

DATE: 09.28.09	DWN BY: JLR	CHK BY: KSD	SCALE: NTS
DWG #: GSA002			
SHEET: 4 OF 9			

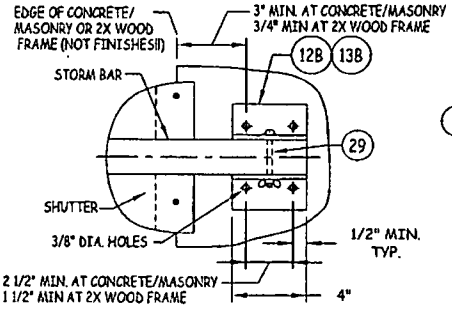


GULFSTREAM ALUMINUM & SHUTTER CORPORATION
3001 S.E. GRAN PARK WAY
STUART, FLORIDA 34997
PH: (800) 244-4143 FAX: (772) 287-9740

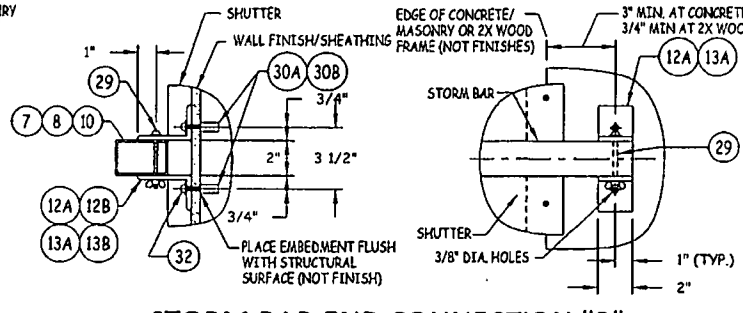
TITLE: COLONIAL SHUTTER HORIZONTAL SECTIONS & DETAILS
PREPARED BY: BUILDING DROPS, INC. 127 W. FATRANKS AVE., STE. 438 WINTER PARK, FL 32789
PH: (407) 444-6987 FAX: (407) 644-3356



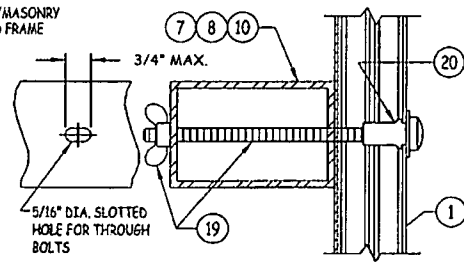
B HORIZONTAL SECTION
5 CONCRETE/MASONRY OR 2X WOOD FRAME



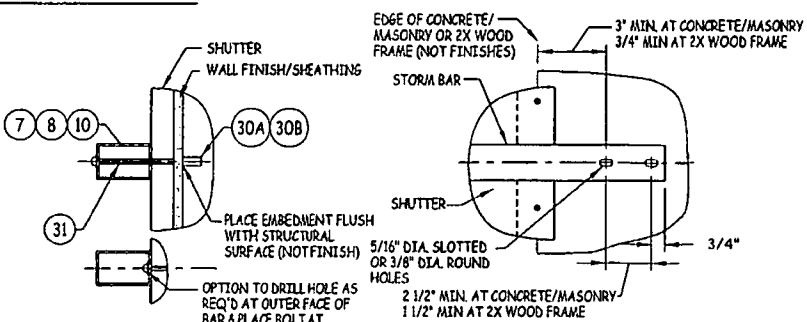
STORM BAR END CONNECTION "A"



STORM BAR END CONNECTION "B" SCALE: 2" = 1'-0"



STORM BAR TO FRAME CONNECTION DETAIL



STORM BAR END CONNECTION "C"

NOTE: CONNECTION OF STORM BAR TO SHUTTER FRAMES IS NOT REQUIRED AT SINGLE BAR SHUTTERS.

NO.	DESCRIPTION	BY	DATE	
				REVISIONS
1	2010 FBC UPDATES	MS	3.22.12	

4-16-2012
 APPROVED BY: [Signature]
 PROJECT: COLONIAL SHUTTER
 DRAWING NO.: GSA002
 SHEET: 5 OF 9

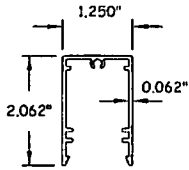
PRODUCT REVISED as complying with the Florida Building Code
 Acceptance No. 18-0426-09
 Expiration Date 05/06/2015
 By: [Signature]
 Miami Design Product Control

DATE: 09.28.09
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 DWN BY: JLR
 CHK BY: KSD
 SCALE: NTS
 SHEET: 5 OF 9

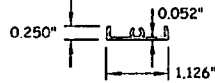
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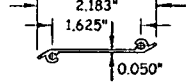
1 SHUTTER FRAME
6063-T6 ALUMINUM
TYPICAL WALL
THICKNESS: .062"



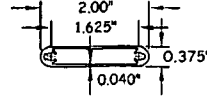
2 FRAME CAP
6063-T6 ALUMINUM
TYPICAL WALL
THICKNESS: .052"



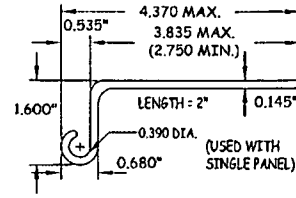
3 Z-BLADE
6063-T6 ALUMINUM
TYPICAL WALL
THICKNESS: .050"



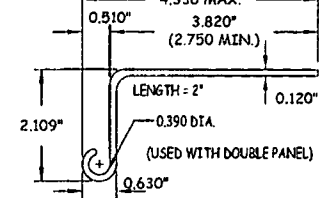
4 HOLLOW BLADE
6063-T6 ALUMINUM
TYPICAL WALL
THICKNESS: .040"



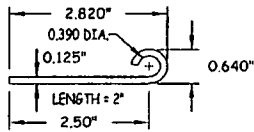
5A WALL HINGE 1
6005-T5 ALUMINUM
TYPICAL WALL
THICKNESS: .145"



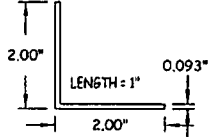
5B WALL HINGE 2
6005-T5 ALUMINUM
TYPICAL WALL
THICKNESS: .120"



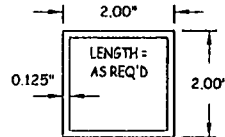
5C FLAT WALL HINGE
6005-T5 ALUMINUM
TYPICAL WALL
THICKNESS: .125"



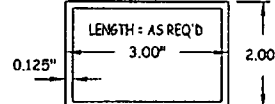
6 FRAME CORNER KEY
6063-T6 ALUMINUM
TYPICAL WALL
THICKNESS: .093"



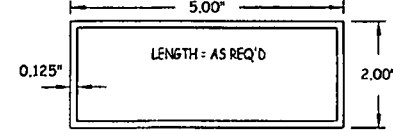
7 STORM BAR "A"
6061-T6 OR 6005-T5 ALUM.
TYPICAL WALL
THICKNESS: .125"



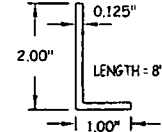
8 STORM BAR "B"
6061-T6 OR 6005-T5 ALUM.
TYPICAL WALL
THICKNESS: .125"



10 STORM BAR "D"
6061-T6 OR 6005-T5 ALUMINUM
TYPICAL WALL
THICKNESS: .125"



11 HURRICANE CLIP
6063-T5 ALUMINUM
TYPICAL WALL
THICKNESS: .125"



MATERIAL LIST

NO.	DESCRIPTION	NOTES	NO.	DESCRIPTION	NOTES
1	SHUTTER FRAME	6063-T6 ALUMINUM	17	SHUTTER PANEL HINGE	6063-T5 ALUMINUM; 6" LONG PLANO HINGE
2	FRAME CAP	6063-T6 ALUMINUM	18	0.050" THICK ALUMINUM HURRICANE SHEET	3003-H14 ALUMINUM; CUT TO FRAME SIZE
3	Z-BLADE	6063-T6 ALUMINUM	19	1/4" STL BOLT OR THREADED ROD W/WING NUT	NOT REQ'D AT SINGLE BAR SHUTTERS
4	HOLLOW BLADE	6063-T6 ALUMINUM	20	1/4" MOLLY JACK NUT OR 6063-T6 RIVNUT	FOR HURRICANE CLIP BOLTS & STORM BAR THROUGH BOLTS
5A	WALL HINGE TYPE 1	6005-T5 ALUMINUM; USED WITH SINGLE PANELS	21	3/16" 5052 ALUMINUM POP RIVETS	POSITIONED AT FRAME CORNERS & 6" MAX. O.C.
5B	WALL HINGE TYPE 2	6005-T5 ALUMINUM; USED WITH DOUBLE HINGED PANELS	22	NO. 6 X 5/8" S/STL SMS SCREWS	6 PER PLANO HINGE (3 PER HINGE LEAF)
5C	FLAT WALL HINGE	6005-T5 ALUMINUM; FASTENS TO SHUTTER FRAME	23	NO. 6 X 5/8" S/STL SMS SCREWS	4 PER WALL HINGE INTO SHUTTER FRAME
6	L2X2X0.093 FRAME CORNER KEY	6063-T6 ALUMINUM; PLACED AT EA. FRAME CORNER	24	1/4" X 1" STEEL BOLT OR WING BOLT	4 PER HURRICANE CLIP INTO SHUTTER RIVNUTS
7	TS2X2X1/8 STORM BAR	6061-T6 OR 6005-T5 ALUMINUM	25A	NO. 6 X 5/8" S/STL P.H. SMS	SECURES Z-BLADE END TO FRAME CAP (2 PER BLADE END)
8	TS3X2X1/8 STORM BAR	6061-T6 OR 6005-T5 ALUMINUM	25B	NO. 8 X 5/8" S/STL P.H. SMS	HOLLOW BLADE END TO FRAME CAP (2 PER BLADE END)
10	TS5X2X1/8 STORM BAR	6061-T6 OR 6005-T5 ALUMINUM	26A	1/4" X MIN. 1 3/4" TAPCON BY ITW	2 PER WALL HINGE INTO BLOCK/CONCR. WALL MIN. 1 3/4"
11	L2X1X1/8 HURRICANE CLIP 8" LONG	6063-T5 ALUMINUM; LOCKS SHUTTERS CLOSED	26B	NO. 12 X MIN 2" S/STL SMS	2 PER WALL HINGE INTO WOOD FRAMING MIN. 1 1/2"
12A	L3X2X1/4 STORM BAR END CONNECTOR	6063-T5 ALUMINUM; 2" LONG; USED WITH-OUT BUILD-OUT	27	NO. 6 X 1 3/4" S/STL F.H. SMS	2 PER FRAME CORNER INTO CORNER KEY
12B	L3X2X1/4 STORM BAR END CONNECTOR	6063-T5 ALUMINUM; 4" LONG; USED WITH-OUT BUILD-OUT	28	NO. 6 X 5/8" S/STL F.H. SMS	1 PER FRAME CORNER INTO FRAME SCREW BOSS
13A	L4X2X1/4 STORM BAR END CONNECTOR	6063-T5 ALUMINUM; 2" LONG; USED WITH BUILD-OUT	29	1/4" X MIN. 3" STL. BOLT W/WING NUT (GRADE 5)	1 PER STORM BAR END THROUGH END ANGLES & BAR
13B	L4X2X1/4 STORM BAR END CONNECTOR	6063-T5 ALUMINUM; 4" LONG; USED WITH BUILD-OUT	30A	1/4-20 RAWL CAULK-IN	EMBED FULL ANCHOR BODY INTO BLOCK/CONCR.
14	OPEN		30B	1/4-20 MALE OR FEMALE PANEL MATE	EMBED MIN. 1 5/8" INTO WOOD & 1 1/2" INTO BLOCK/CONC.
15	OPEN		31	1/4" STL BOLT OR THREADED ROD W/ WINGNUT	ANCHORS STORM BAR ENDS TO WALL ANCHORS
16	3/8" DIA. X 4" LONG HINGE PIN	6063-T5 ALUMINUM / 6061-T6	32	1/4-20 STEEL BOLT	ANCHORS STORM BAR END CLIPS TO WALL ANCHORS
			33	6063-T6 ALUMINUM OR NYLON WALL CLIP	ONE BETWEEN EACH WALL HINGE (31" O.C. MAX.)

Gulfstream
GULFSTREAM ALUMINUM & SHUTTER CORPORATION
1001 S.E. GRAN PARK WAY
STUART, FLORIDA 34997
PH: (800) 244-4143 FAX: (772) 787-9740

TITLE: COLONIAL SHUTTER
BILL OF MATERIALS & COMPONENTS
PREPARED BY:
BUILDING DROPS, INC.
127 W. FAIRBANKS AVE., STE. 438
WINTER PARK, FL 32789
PH: (407) 644-6997 Fax: (407) 644-6346

NO.	DESCRIPTION	REVISIONS	
		DATE	BY
A	REVISED PER MD COMMENTS	01.20.10	MS
B	2010 FBC UPDATES	3.22.12	MS

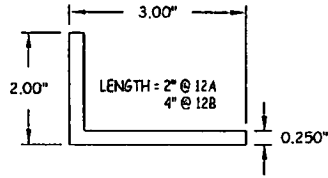
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APPROVED BY:
DATE: 04/16/2012
BY: [Signature]
TITLE: COLONIAL SHUTTER
BILL OF MATERIALS & COMPONENTS

PRODUCT REVISED
in compliance with the Florida
Building Code
Acceptance No. 2-08-26-09
Expiration Date 05/26/2015
By: [Signature]
Miami Design Product Control

DATE: 09/28/09
DWG #: GSA002
SHEET: 6 OF 9

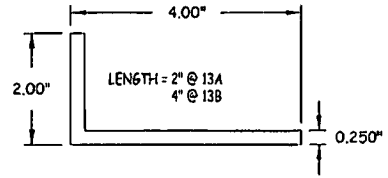
12A 12B

STORM BAR END CONN.
6063-T5 ALUMINUM
TYPICAL WALL
THICKNESS: .250"



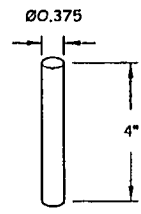
13A 13B

STORM BAR END CONN.
6063-T5 ALUMINUM
TYPICAL WALL
THICKNESS: .250"



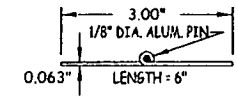
16

HINGE PIN
6063-T5 OR 6061-T6 ALUMINUM



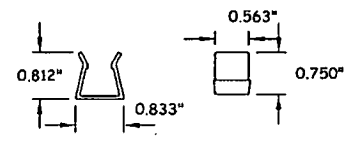
17

SHUTTER PANEL HINGE
6063-T5 ALUMINUM
TYPICAL WALL
THICKNESS: .063"



33

WALL CLIP
6063-T6 ALUMINUM OR NYLON
TYPICAL WALL THICKNESS
ALUMINUM "T": .035"
NYLON "T": .090"



GULFSTREAM ALUMINUM &
SHUTTER CORPORATION
3001 S.E. 68th PARKWAY
STUART, FLORIDA 34997
PH: (800) 244-4143 FX: (772) 287-9740

TITLE: COLONIAL SHUTTER
COMPONENTS
PREPARED BY:
BUILDING DROPS, INC.
127 W. FAIRBANKS AVE., STE. 438
WINTER PARK, FL 32789
PH: (407) 644-6957 FX: (407) 644-1316

REVISIONS		NO.	DESCRIPTION	BY	DATE
		A	2010 FBC UPDATES	MS	3.22.12



PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No. 2-0926-09
Expiration Date 07/01/15
By: *[Signature]*
Miami Dept Product Control

DATE: 09.28.09
DWN BY: JLR
CHK BY: KSD
SCALE: NTS
DWG #: GSA002
SHEET: 7 OF 9

3/21/2012 8:41 AM

C:\projects\gulfstream aluminum\12-0211.dwg 2009 P:\cadd\cadd\p\12-0211.dwg 2009 04/22/2012 8:41 AM

11197

SHUTTERS

EXPIRED

Expired - No Final Inspection



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	11197	DATE ISSUED:	March 5, 2015
SCOPE OF WORK:	Shutters		
CONTRACTOR:	Home Depot at Home Services		
PARCEL CONTROL NUMBER:	12-38-41-002-000-00730-4	SUBDIVISION:	Rio Vista S/D Lot 73
CONSTRUCTION ADDRESS:	96 S River Road		
OWNER NAME:	Bradice		
QUALIFIER:	Boysie Ramdial	CONTACT PHONE NUMBER:	954-379-1500

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
CALL 287-2455 - 8:00AM TO 4:00PM** **INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	11197		
ADDRESS:	96 S River Road		
DATE ISSUED:	3/5/2015	SCOPE OF WORK:	Shutters

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	\$	-
------------------------------------	----------------	----	----	---

Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$		
(No plan submittal fee when value is less than \$100,000)				
Total square feet air-conditioned spa @ \$ 121.75 per sq. ft. s.f.			\$	-
Total square feet non-conditioned space, or interior remodel: @ \$ 59.81 per sq. ft. s.f.			\$	-
Total square feet remodel with new trusses: \$ 90.78 per sq. ft. s.f.			\$	-
Total Construction Value:		\$	\$	-
Building fee: (2% of construction value SFR or >\$200K)		\$		n/a
Building fee: (1% of construction value < \$200K + \$100 per insp.)			\$	-
Total number of inspections (Value < \$200K) \$ 100.00 per insp. # insp				n/a
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$		n/a
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$		n/a
Road impact assessment: (.04% of construction value - \$5 min.)				n/a
Martin County Impact Fee:		\$		
TOTAL BUILDING PERMIT FEE:		\$	\$	-

ACCESSORY PERMIT	Declared Value:	\$	\$	4,958.00
Total number of inspections: @ \$ 100.00 per insp. # insp			\$	100.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	\$	2.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	\$	2.00
Road impact assessment: (.04% of construction value - \$5 min.)			\$	5.00
TOTAL ACCESSORY PERMIT FEE:			\$	109.00

Town of Sewall's Point BUILDING PERMIT APPLICATION

Permit Number: 11197

Date: _____
 OWNER/LESSEE NAME: Evelyn Bradice Phone (Day) (772) 285 - 3223 (Fax) _____
 Job Site Address: 96 S River Rd. City: Stuart State: FL Zip: 34996
 Legal Description Rio Vista S/D Lot 73 Parcel Control Number: 12-38-41-002-000-00730-4
 Fee Simple Holder Name: _____ Address: _____
 City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):** Install 3 colonial shutters

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner Builder questionnaire must accompany application)
 YES _____ NO _____
Has a Zoning Variance ever been granted on this property?
 YES _____ (YEAR) _____ NO _____
 (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
 Estimated Value of Improvements: \$ 4,958.00
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
 Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
 Estimated Fair Market Value prior to improvement: \$ _____
 (Fair Market Value of the Primary Structure only, Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: The Home Depot At Home Services Phone: (407) 469 - 5599 Fax: (407) 469 - 3499
 Qualifiers name: Boysie Ramdial Street: 674 S Military Trail City: Deerfield Bch State: FL Zip: 33442
 State License Number: CRC046858 OR: Municipality: _____ License Number: _____
 Please call Amber Flenker when ready (407) 469 - 5599 Ext 357 Any other questions please call (954) 379 - 1500
 LOCAL CONTACT: _____ Phone Number: _____

DESIGN PROFESSIONAL: _____ Fla. License# _____
 Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____
 Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE*:
 * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE:
 X _____
 State of Florida, County of: _____
 On This the _____ day of _____ 20____
 by _____ who is personally
 known to me or produced _____
 As identification, _____
 Notary Public
 My Commission Expires: _____

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:
 X Boysie C. Ramdial
 State of Florida, County of: Martin
 On This the 27 day of February 2016
 by Boysie Ramdial who is personally
 known to me or produced _____
 As identification, _____
 Notary Public
 My Commission Expires: 07/1/2016

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY

SEE SIGNED CONTRACT

AMBER FLENKER
 NOTARY PUBLIC
 STATE OF FLORIDA
 Comm# EE215692
 Expires 7/1/2016

HOME IMPROVEMENT CONTRACT
PLEASE READ THIS

Branch Name: Miami

Date: 2/20/15

Sold, Furnished and Installed by:
THD At-Home Services, Inc.
d/b/a The Home Depot At-Home Services
674 S. Military Trail, Deerfield Beach, FL 33442
Toll Free 877-903-3768
Fein # 75-2698460, FL Lic # CCC058327, CGC1507093, CRC046858

Branch Number: 60

Installation Address: 96 South River Rd Stuart FL 34986
City State Zip

Purchasert(s):	Work Phone:	Home Phone:	Cell Phone:
Evelyn Bradice	[]	(772) 285-3223	[]
	[]	[]	[]

Home Address: _____
(If different from Installation Address) City State Zip

E-mail Address (to receive project communications and Home Depot updates): _____
 I DO NOT wish to receive any marketing emails from The Home Depot

Project Information: Undersigned ("Customer"), the owners of the property located at the above installation address, agrees to buy, and THD At-Home Services, Inc. ("The Home Depot") agrees to furnish, deliver and arrange for the installation ("Installation") of all materials described on the below and on the referenced Spec Sheet(s), all of which are incorporated into this Contract by this reference, along with any applicable State Supplement and Payment Summary attached hereto and any Change Orders (collectively, "Contract"):

Job #: (Internal Reference)	Products:	Spec Sheet(s) #:	Project Amount
8077779	<input type="checkbox"/> Roofing <input type="checkbox"/> Siding <input type="checkbox"/> Windows <input type="checkbox"/> Insulation <input type="checkbox"/> Gutters / Covers <input type="checkbox"/> Entry Doors <input type="checkbox"/> Storm Protection		\$ 4958
	<input type="checkbox"/> Roofing <input type="checkbox"/> Siding <input type="checkbox"/> Windows <input type="checkbox"/> Insulation <input type="checkbox"/> Gutters / Covers <input type="checkbox"/> Entry Doors		\$
	<input type="checkbox"/> Roofing <input type="checkbox"/> Siding <input type="checkbox"/> Windows <input type="checkbox"/> Insulation <input type="checkbox"/> Gutters / Covers <input type="checkbox"/> Entry Doors		\$
	<input type="checkbox"/> Roofing <input type="checkbox"/> Siding <input type="checkbox"/> Windows <input type="checkbox"/> Insulation <input type="checkbox"/> Gutters / Covers <input type="checkbox"/> Entry Doors		\$
10% of Contract Amount due upon execution of this contract. Certain forms of payment may require 100% payment prior to the start of the project.		Total Contract Amount	\$ 4958

Customer agrees that, immediately upon completion of the work for each Product, Customer will execute a Completion Certificate (one for each Product as defined by an individual Spec Sheet) and pay any balance due. As applicable, each Customer under this Contract agrees to be jointly and severally obligated and liable hereunder.

The Home Depot reserves the right to issue a Change Order or terminate this Contract or any individual Product(s) included herein, at its discretion, if The Home Depot or its authorized service provider determines that it cannot perform its obligations due to a structural problem with the home, environmental hazards such as mold, asbestos or lead paint, other safety concerns, pricing errors or because work required to complete the job was not included in the Contract.

Payment Summary: The Payment Summary # _____, included as part of this Contract, sets forth the total Contract amount and payments required for the deposits and final payments by Product (as applicable).

NOTICE TO CUSTOMER

You are entitled to a completely filled-in copy of the Contract at the time you sign. Do not sign a Completion Certificate (note: there is one Completion Certificate for each listed Product as defined by individual Spec Sheets) before work on that Product is complete.

In the event of termination of this Contract, Customer agrees to pay The Home Depot the costs of materials, labor, expenses and services provided by The Home Depot or Authorized Service Provider through the date of termination, plus any other amounts set forth in this Agreement or allowed under applicable law. THE HOME DEPOT MAY WITHHOLD AMOUNTS OWED TO THE HOME DEPOT FROM THE DEPOSIT PAYMENT OR OTHER PAYMENTS MADE, WITHOUT LIMITING THE HOME DEPOT'S OTHER REMEDIES FOR RECOVERY OF SUCH AMOUNTS.

Acceptance and Authorization: Customer agrees and understands that this Agreement is the entire agreement between Customer and The Home Depot with regard to the Products and Installation services and supersedes all prior discussions and agreements, either oral or written, relating to said Products and Installation. This Agreement cannot be assigned or amended except by a writing signed by Customer and The Home Depot. Customer acknowledges and agrees that Customer has read, understands, voluntarily accepts the terms of and has received a copy of this Agreement.

Accepted by: _____ 2/20/2015
Customer's Signature Date
X _____
Customer's Signature Date

Submitted by: _____ 2/20/15
Sales Consultant's Signature Date
Telephone No. 561-252-7122
Sales Consultant License No. THD-60
(as applicable)

CANCELLATION: CUSTOMER MAY CANCEL THIS AGREEMENT WITHOUT PENALTY OR OBLIGATION BY DELIVERING WRITTEN NOTICE TO THE HOME DEPOT BY MIDNIGHT ON THE THIRD BUSINESS DAY AFTER SIGNING THIS AGREEMENT. THE STATE SUPPLEMENT ATTACHED HERETO CONTAINS A FORM TO USE IF ONE IS SPECIFICALLY PRESCRIBED BY LAW IN CUSTOMER'S STATE.

NOTICE: ADDITIONAL TERMS AND CONDITIONS ARE STATED ON THE REVERSE SIDE AND ARE PART OF THIS CONTRACT

Martin County, Florida
Laurel Kelly, C.F.A

generated on 2/24/2015 12:45:18 PM EST

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-002-000-00730-4	27586	96 S RIVER ROAD, SEWALL'S POINT	\$370,050	2/21/2015

Owner Information

Owner(Current)	BRADICE EVELYN
Owner/Mail Address	96 S RIVER RD STUART FL 34996
Sale Date	2/24/1997
Document Book/Page	<u>1222 1792</u>
Document No.	
Sale Price	85000

Location/Description

Account #	27586	Map Page No.	SP-04
Tax District	2200	Legal Description	RIO VISTA S/D LOT 73
Parcel Address	96 S RIVER ROAD, SEWALL'S POINT		
Acres	.3450		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120250 Rio Vista DRY

Assessment Information

Market Land Value	\$198,000
Market Improvement Value	\$172,050
Market Total Value	\$370,050

2014 - 2015 HILLSBOROUGH COUNTY BUSINESS TAX RECEIPT

EXPIRES SEPTEMBER 30, 2015

ACCOUNT NO. 182589
RENEWAL

OCC. CODE

090.022000 Contractor

1 Employees

Receipt Fee	18.00
Hazardous Waste Surcharge	40.00
Law Library Fee	0.00

BUSINESS RAMDIAL BOYSIE GANGA
207 KELSEY LN K
TAMPA, FL 33619

2014 - 2015

NAME RAMDIAL BOYSIE GANGA
MAILING DBA/THE HOME DEPOT AT-HOME SERVICES
ADDRESS 2690 CUMBERLAND PKWY STE 300
ATLANTA, GA 30339

Paid 13-319-000087
07/10/2014 58.00

BUSINESS TAX RECEIPT

HAS HEREBY PAID A PRIVILEGE TAX TO ENGAGE
IN BUSINESS, PROFESSION, OR OCCUPATION SPECIFIED HEREON

DOUG BELDEN, TAX COLLECTOR
813-635-5200

THIS BECOMES A TAX RECEIPT WHEN VALIDATED.



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD
1940 NORTH MONROE STREET
TALLAHASSEE FL 32399-0783

(850) 487-1395

RAMDIAL, BOYSIE GANGA
THE HOME DEPOT AT-HOME SERVICES
2690 CUMBERLAND PKWY
SUITE 300
ATLANTA GA 30339

Congratulations! With this license you become one of the nearly one million Floridians licensed by the Department of Business and Professional Regulation. Our professionals and businesses range from architects to yacht brokers, from boxers to barbeque restaurants, and they keep Florida's economy strong.

Every day we work to improve the way we do business in order to serve you better. For information about our services, please log onto www.myfloridalicense.com. There you can find more information about our divisions and the regulations that impact you, subscribe to department newsletters and learn more about the Department's initiatives.

Our mission at the Department is: License Efficiently, Regulate Fairly. We constantly strive to serve you better so that you can serve your customers. Thank you for doing business in Florida, and congratulations on your new license!

STATE OF FLORIDA AC# 6154636
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CRC046858 06/06/12 118199306

CERTIFIED RESIDENTIAL CONTRACTOR
RAMDIAL, BOYSIE GANGA
THE HOME DEPOT AT-HOME SERVICES

IS CERTIFIED under the provisions of Ch. 489 FS
Expiration date: AUG 31, 2014 L12060601558

DETACH HERE

THIS DOCUMENT HAS A COLORED BACKGROUND, MICROPRINTING, LINE MARK, PATENTED PAPER

AC# 6154636 STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD SEQ# L12060601558

DATE	BATCH NUMBER	LICENSE NBR
06/06/2012	118199306	CRC046858

The RESIDENTIAL CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS
Expiration date: AUG 31, 2014

RAMDIAL, BOYSIE GANGA
THE HOME DEPOT AT-HOME SERVICES
2690 CUMBERLAND PKWY
SUITE 300
ATLANTA GA 30339

RICK SCOTT
GOVERNOR

KEN LAWSON
SECRETARY



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
02/25/2015

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER MARSH USA, INC. TWO ALLIANCE CENTER 3560 LENOX ROAD, SUITE 2400 ATLANTA, GA 30326 100492-HomeD-GW-FL-15-16 MU	CONTACT NAME: PHONE (A/C, No, Ext): FAX (A/C, No): E-MAIL: ADDRESS:	
	INSURER(S) AFFORDING COVERAGE NAIC # INSURER A : Steadfast Insurance Company 26387 INSURER B : Illinois National Insurance Company 23817 INSURER C : INSURER D : INSURER E : INSURER F :	

COVERAGES **CERTIFICATE NUMBER:** ATL-003149282-10 **REVISION NUMBER: 0**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC			GLO4887714-05 "LIMITS OF POLICY XS" "OF SIR: \$1M PER OCC"	03/01/2015	03/01/2016	EACH OCCURRENCE \$ 9,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 1,000,000 MED EXP (Any one person) \$ EXCLUDED PERSONAL & ADV INJURY \$ 9,000,000 GENERAL AGGREGATE \$ 9,000,000 PRODUCTS - COMP/OP AGG \$ 9,000,000 \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input type="checkbox"/> RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$ \$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below			WC017731494 (FL)	03/01/2015	03/01/2016	<input checked="" type="checkbox"/> WC STATU-TORY LIMITS <input type="checkbox"/> OTH-ER E.I. EACH ACCIDENT \$ 1,000,000 E.I. DISEASE - EA EMPLOYEE \$ 1,000,000 E.I. DISEASE - POLICY LIMIT \$ 1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

CERTIFICATE HOLDER TOWN OF SEWALLS POINT 1 S. SEWALLS POINT RD SEWALLS POINT, FL 34996	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE of Marsh USA Inc. Manashi Mukherjee <i>Manashi Mukherjee</i>
--	---



ADDITIONAL REMARKS SCHEDULE

AGENCY MARSH USA, INC.		NAMED INSURED THD AT-HOME SERVICES, INC. DBA THE HOME DEPOT AT-HOME SERVICES 2690 CUMBERLAND PARKWAY, SUITE 300 ATLANTA, GA 30339	
POLICY NUMBER		EFFECTIVE DATE:	
CARRIER	NAIC CODE		

ADDITIONAL REMARKS

THIS ADDITIONAL REMARKS FORM IS A SCHEDULE TO ACORD FORM,
FORM NUMBER: 25 FORM TITLE: Certificate of Liability Insurance

- BOYSIE GANGA RAMDIAL - CRC046858
- BOYD A LIPHAM - CCC1325818
- EDWARD LYNN GUILLORY - CGC1507093
- QUINN M ROBERTS- CCC058327
- EDUARDO ESCUZA - CGC1518835
- MICHAEL JAMES HOLEVA - CCC1325540
- STEPHEN A. THOMPSON - CRC1330510
- CHARLES F. HICKEY - CGC035844
- JAMES P. DRAGO - CGC025763

WORKERS COMPENSATION IS COVERED IN THE STATE OF FLORIDA

*** HOME DEPOT INSUREDS***

- Home Depot USA, Inc. dba The Home Depot
- Home Depot U.S.A., Inc. dba Home Decorators Collection
- THD At Home Services, Inc. dba The Home Depot At-Home Services
- THD At-Home Services, Inc.
- The Home Depot, Inc.
- The Home Depot, Inc. Home Depot USA, Inc.
- Your Other Warehouse, LLC
- U.S. Home Systems, Inc.
- U.S. Remodelers, Inc.
- U.S. Remodelers, Inc. DBA Home Depot Interiors
- Home Depot of Puerto Rico, Inc.
- Global Custom Commerce, Inc.

8077779

PERMIT NUMBER:

NOTICE OF COMMENCEMENT

The undersigned hereby given notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes the following information is provided in the Notice of Commencement.

12-38-41-002-000

1. DESCRIPTION OF PROPERTY (Legal description & street address, if available) TAX PLOT NO.: -00730-4
SUBDIVISION Rip Vista S/D BLOCK _____ TRACT _____ LOT 73 BLDG _____ UNIT _____
96 S River Road Sewall's Point, FL 34996

2. GENERAL DESCRIPTION OF IMPROVEMENT: Storm Protection

3. OWNER INFORMATION: a. Name Evelyn Bradice

b. Address 96 S River Road Sewall's Point, FL 34996 c. Interest in property Owner

d. Name and address of fee simple titleholder (if other than Owner) _____

4. CONTRACTOR'S NAME, ADDRESS AND PHONE NUMBER: The Home Depot Home Services
674 S Military Trail Deerfield Beach, FL 33442 (954) 379-1500

5. SURETY'S NAME, ADDRESS AND PHONE NUMBER AND BOND AMOUNT: NA

6. LENDER'S NAME, ADDRESS AND PHONE NUMBER: NA

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (1)(a) 7, Florida Statutes:
NAME, ADDRESS AND PHONE NUMBER: NA

8. In addition to himself or herself, Owner designates the following to receive a copy of the Lessor's Notice as provided in Section 713.13 (1) (b), Florida Statutes:
NAME, ADDRESS AND PHONE NUMBER: NA

9. Expiration date of notice of commencement (the expiration date is 1 year from the date of recording unless a different date is specified): _____, 20____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.11, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING THREE TIMES FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

[Signature]
Signature of Owner or
Owner's Authorized Officer/Director/Partner/Manager

Evelyn Bradice
Print Name and Provide Signatory's Title/Office

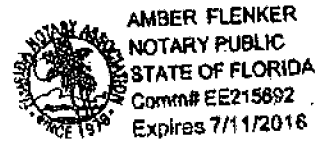
State of Florida
County of Palm Beach

The foregoing instrument was acknowledged before me this 20 day of February, 2015
By Evelyn Bradice as owner
(name of person) (type of authority,....e.g. officer, trustee, attorney in fact)
For self
(name of party on behalf of whom instrument was executed)

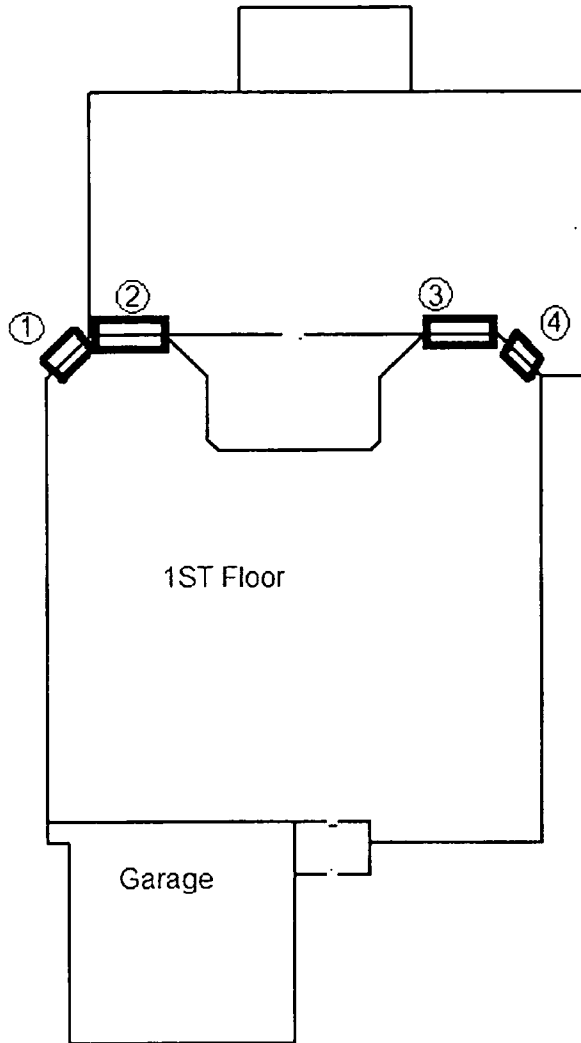
Personally known or X produced the following type of identification: Divers License
Notary [Signature]
(Signature of Notary Public)

Under Penalties of perjury, I declare that I have read the foregoing and that the facts in it are true to the best of my knowledge and belief (Section 92.525, Florida Statutes).

8077779



Evelyn Bradice, #8077779
96 S River Road
Sewall's Point, FL 34996
Installing 4 colonial shutters.



Line Item 1

Colonial Shutter
49" x 64"
NOA 14-0127.05
+39.0, -53.8

Line Item 2

Colonial Shutter
49" x 64"
NOA 14-0127.05
+39.0, -53.8

Line Item 3

Colonial Shutter
49" x 64"
NOA 14-0127.05
+39.0, -53.8

Line Item 4

Colonial Shutter
49" x 64"
NOA 14-0127.05
+39.0, -53.8



DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES (RER)
BOARD AND CODE ADMINISTRATION DIVISION

MIAMI-DADE COUNTY
PRODUCT CONTROL SECTION
11805 SW 26 Street, Room 208
Miami, Florida 33175-2474
T (786) 315-2590 F (786) 315-2599

www.miamidade.gov/economy

NOTICE OF ACCEPTANCE (NOA)

Shutter-Tech, Inc.
7485 West 2nd Court
Hialeah, FL 33014

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County RER- Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. RER reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Aluminum Hinged Colonial Shutter

APPROVAL DOCUMENT: Drawing No. 280002, titled "Maximum Impact Duraweld Colonial Shutter", sheets 1 through 6 of 6, prepared by Ramms Engineering, Inc., dated May 09, 2008, last revision dated January 16, 2014, signed and sealed by Robert S. Monsour, P.E., on January 22, 2014, bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and the expiration date by the Miami-Dade County Product Control Section.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state, the following statement: "Miami-Dade County Product Control Approved", and NOA number, per TAS-201, TAS-202, and TAS-203, unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 13-0710.03 and consists of this page 1, evidence submitted pages E-1 & E-2 as well as approval document mentioned above.

The submitted documentation was reviewed by Helmy A. Makar, P.E., M.S.



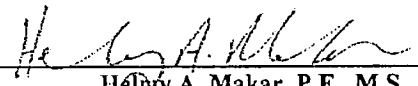
Helmy A. Makar
02/20/2014

NOA No. 14-0127.05
Expiration Date: 09/04/2018
Approval Date: 02/20/2014
Page 1

Shutter-Tech, Inc.

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

1. **EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL # 08-0520.09**
 - A. **DRAWINGS**
 1. *Drawing No. 280002, titled "Maximum Impact Colonial Shutter", sheets 1 through 6 of 6, prepared by Ramms Engineering, Inc., dated May 09, 2008, signed and sealed by Robert S. Monsour, P.E.*
 - B. **TESTS**
 1. *Test report on Large Missile Impact Test, Cyclic Wind Pressure Test, and Uniform Static Air Pressure Test of colonial shutters, prepared by American Test Lab of South Florida, Report No. 0907.01-07, dated December 04, 2007, signed and sealed by William R. Mehner, P.E. and Henry Hattem, P.E.*
 - C. **CALCULATIONS**
 1. *Anchor analysis dated 07/24/2008, 6 Pages, prepared by Ramms Engineering, Inc., signed and sealed by Robert S. Monsour, P.E.*
 - D. **QUALITY ASSURANCE**
 1. *By Miami-Dade County Building Code Compliance Office.*
 - E. **MATERIAL CERTIFICATIONS**
 1. *None.*
2. **EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL # 13-0710.03**
 - A. **DRAWINGS**
 1. *None.*
 - B. **TESTS**
 1. *None.*
 - C. **CALCULATIONS**
 1. *None.*
 - D. **QUALITY ASSURANCE**
 1. *By Miami-Dade County Department of Regulatory and Economic Resources.*
 - E. **MATERIAL CERTIFICATIONS**
 1. *None.*
 - F. **STATEMENTS**
 1. *FBC, 2010 Edition compliance letter issued by Ramms Engineering, Inc., dated June 25, 2013, signed and sealed by Robert S. Mansour, P.E.*



Henry A. Makar, P.E., M.S.
Product Control Unit Supervisor
NOA No. 14-0127.05
Expiration Date: 09/04/2018
Approval Date: 02/20/2014

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

3. NEW EVIDENCE SUBMITTED

A. DRAWINGS

1. *Drawing No. 280002, titled "Maximum Impact Duraweld Colonial Shutter", sheets 1 through 6 of 6, prepared by Ramms Engineering, Inc., dated May 09, 2008, last revision dated January 16, 2014, signed and sealed by Robert S. Monsour, P.E., on January 22, 2014.*

B. TESTS

1. *None.*

C. CALCULATIONS

1. *None.*

D. QUALITY ASSURANCE

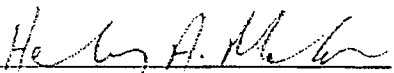
1. *By Miami-Dade County Department of Regulatory and Economic Resources.*

E. MATERIAL CERTIFICATIONS

1. *None.*

F. STATEMENTS

1. *Asset Purchase Agreement.*



Henry A. Makar, P.E., M.S.
Product Control Unit Supervisor
NOA No. 14-0127.05
Expiration Date: 09/04/2018
Approval Date: 02/20/2014

SHUTTER-TECH, INC.

MAXIMUM IMPACT DURAWELD COLONIAL SHUTTER

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No. 14-0127.05
Expiration Date: 9/24/2018
By: *[Signature]*
Miami Dade Product Control

HIGH VELOCITY HURRICANE ZONE

NOTES:

THIS SHUTTER TECH COLONIAL SHUTTER COMPLIES WITH THE FLORIDA BUILDING CODE

FBC CERTIFIED TESTING IN ACCORDANCE WITH TAS 201-94 AND 202-94 AND 203-94 PROTOCOLS.

MINIMUM DESIGN LOADS CALCULATIONS PERFORMED PER ASCE 7 "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES"

ALL ALUMINUM EXTRUSIONS TO BE ALLUYY 6063-T6

BACKING SHALL BE .093 THICK POLYCARBONATE SECURED WITH #64 OR #68 S.S. PDPRIVETS 11" O.C. MAX.

ANCHORAGE OF SHUTTER TO CONCRETE OR MASONRY AT HINGES SHALL BE WITH 1/4" MASONRY SCREWS WITH 1 1/4" MINIMUM EMBEDMENT.

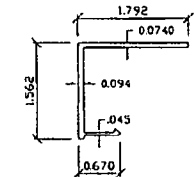
ANCHORAGE OF SHUTTER TO CONCRETE OR MASONRY AT BRACKETS SHALL BE 1/4-20 MACHINE SCREW ANCHOR WITH 7/8" MINIMUM EMBEDMENT OR FEMALE PANELMATE WITH 1/4-20 M/S (FLOOR PLUG) WITH 1 1/4" MINIMUM EMBEDMENT OR 1/4" MALE PANELMATE WITH 1/4-20 WASHERED WINGNUTS WITH 1 1/4" MINIMUM EMBEDMENT.

ANCHORAGE OF SHUTTER TO WOOD AT HINGES SHALL BE 1/4" WOOD LAGS WITH 1" MIN. EMBEDMENT OR 1/4" MASONRY SCREWS WITH 1 7/8" MINIMUM EMBEDMENT

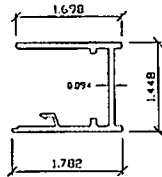
ANCHORAGE OF SHUTTER TO WOOD AT BRACKETS SHALL BE 1/4" MALE PANELMATES WITH 1/4-20 WASHERED WINGNUTS OR 1/4" FEMALE PANELMATE WITH 1/4-20 M.S. (FLOOR PLUG) WITH 1 7/8" MINIMUM EMBEDMENT.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SOUNDNESS OF THE STRUCTURE TO ENSURE PROPER ANCHORAGE.

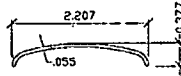
EACH COLONIAL SHUTTER SHALL BEAR PERMANENT LABEL SHOWING SHUTTER TECH, INC. HIALEAH, FL - MIAMI DADE COUNTY PRODUCT CONTROL APPROVED



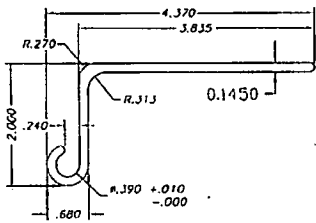
① SNAP CAP



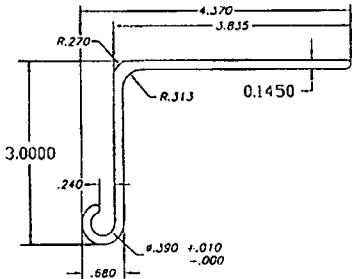
② OUTER FRAME



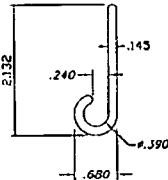
③ BLADE



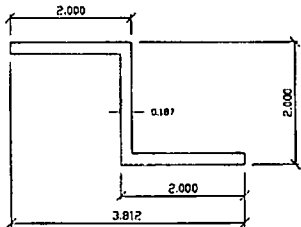
④ FEMALE HINGE
3" IN LENGTH



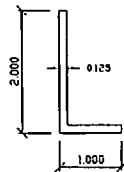
⑤ B/O FEMALE HINGE
3" IN LENGTH



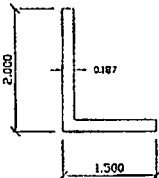
⑥ MALE HINGE
3" IN LENGTH



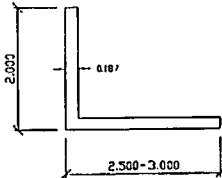
⑦ TIE DOWN Z BRACKET
ALTERNATE TO ⑨ 4" IN LENGTH



⑧ CORNER KEY



⑨ TIE DOWN ANGLE BRACKETS
4" IN LENGTH



SMALL



LARGE

⑩ TIE BACK BULLETS
AND CLIPS

[Signature]
ROBERT S. MONSOUR, PE
11955
RAMS ENGINEERING, INC.

REVISIONS	BY
01/16/14	SP

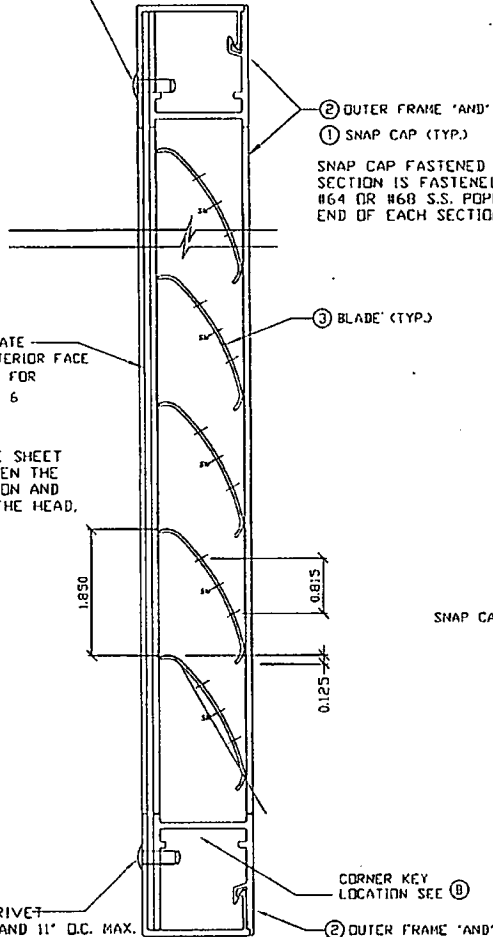
RAMS ENGINEERING, INC.
Structural Design
2100 W. 76th STREET, SUITE 311
HIALEAH, FLORIDA 33016
TELEPHONE: 305-872-3141
11955
EB 0006024

MAXIMUM IMPACT DURAWELD COLONIAL SHUTTER
SHUTTER-TECH, INC.
7485 W. SECOND CT., HIALEAH, FL 33014

SEP / RSU
05/05/2004
SHOWN
780002
1
6

HIGH VELOCITY HURRICANE ZONE

#64 or #68 S.S. POPRIVET
4 1/2" IN FROM END AND 11" O.C. MAX.
AROUND PERIMETER OF EACH SECTION
OF POLYCARBONATE (TYP.)



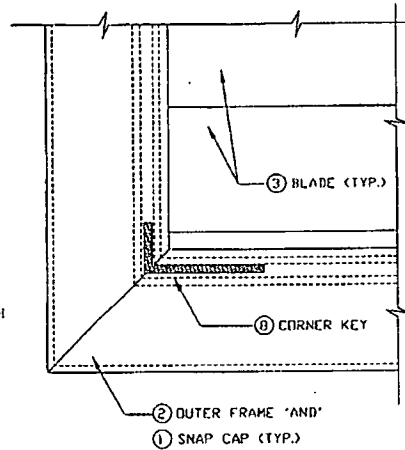
.093 THICK POLYCARBONATE
BACKING (TYP.) ON EXTERIOR FACE
OF EACH PANEL EXCEPT FOR
DETAIL 'K' SHEET 5 OF 6

THE POLYCARBONATE SHEET
IS INSERTED BETWEEN THE
OUTER FRAME SECTION AND
THE SNAP CAP AT THE HEAD,
JAMBS, AND SILL.

#64 or #68 S.S. POPRIVET
4 1/2" IN FROM END AND 11" O.C. MAX.
AROUND PERIMETER OF EACH SECTION
OF POLYCARBONATE (TYP.)

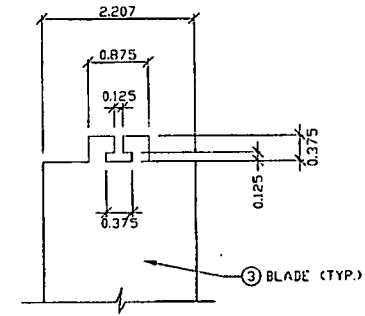
(A) TYPICAL CROSS SECTION ASSEMBLY

② OUTER FRAME 'AND'
① SNAP CAP (TYP.)
SNAP CAP FASTENED TO OUTER FRAME
SECTION IS FASTENED ON (BACK SIDE)
WITH #64 OR #68 S.S. POPRIVETS 4 1/2" FROM
END OF EACH SECTION AND 11" O.C. MAX.

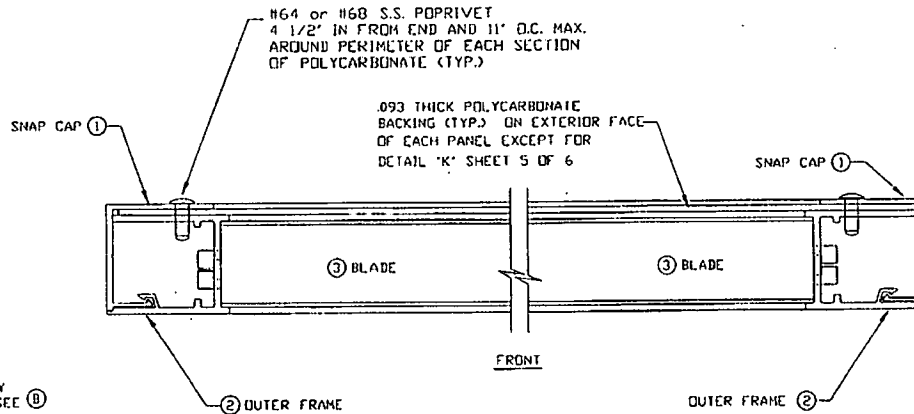


(B) CORNER KEY DETAIL ELEV.

SILL AND HEADER ATTACHED TO EACH JAMB
WITH CORNER KEY TACK WELDED TO SILL,
JAMBS AND HEADER. EACH MITER CORNER CUT IS
WELDED.



(C) BLADE PUNCH DETAIL



(D) PLAN VIEW CROSS SECTION

PRODUCT REVISED
to comply with the Florida
Building Code
Acceptance No 14-0127-05
Expiration Date 29/04/2018
By *[Signature]*
Miami Dade Product Control

[Signature]
ROBERT S. MONSOUR, PE
11955
WYMF ENGINEERING, INC.

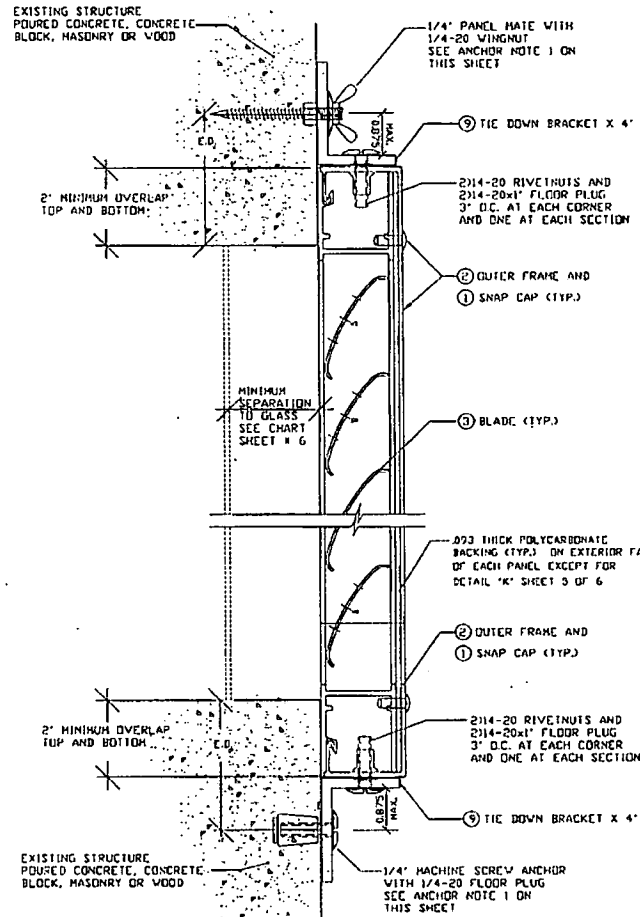
REVISIONS	BY
01/16/14	SP

RAMS ENGINEERING, INC.
Structural Design
7100 W. 74th STREET, SUITE 311
MULLEN, FLORIDA 33189
11955
CB 0006024
TELEPHONE:
305-822-3141

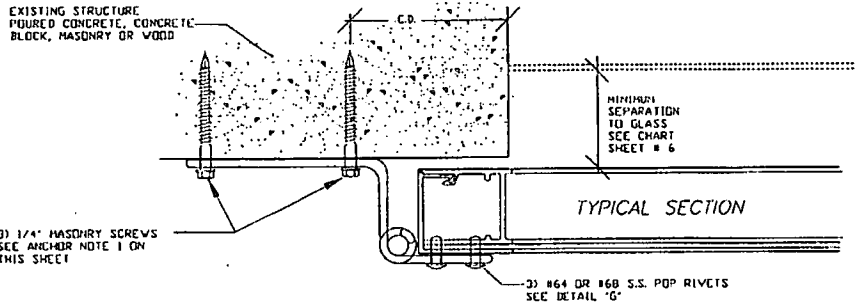
MAXIMUM IMPACT DURAWELD COLONIAL SHUTTER
SHUTTER-TECH, INC.
7403 W. SECOND CT. N. MIAMI, FL 33114

DATE	REVISED
SEP / 15M	
09/09/2008	
SHOWN	
280002	
2	
6	

HIGH VELOCITY HURRICANE ZONE



(E) WALL MOUNT CROSS SECTION HURRICANE POSITION



(F) WALL MOUNT CROSS SECTION HURRICANE POSITION

ANCHOR NOTE 1:

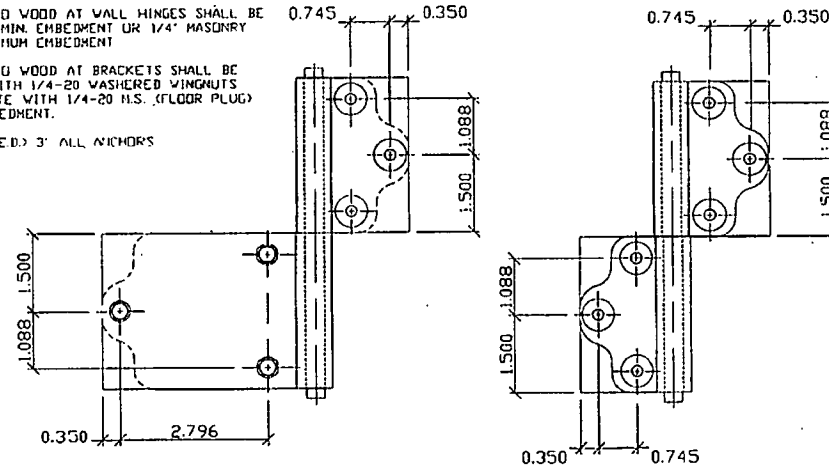
ANCHORAGE OF SHUTTER TO CONCRETE OR MASONRY AT WALL HINGES SHALL BE WITH 1/4" MASONRY SCREWS WITH 1 1/4" MINIMUM EMBEDMENT.

ANCHORAGE OF SHUTTER TO CONCRETE OR MASONRY AT BRACKETS SHALL BE 1/4-20 MACHINE SCREW ANCHOR OR FEMALE PANELMATE WITH 1/4-20 H/S (FLOOR PLUG) OR 1/4" MALE PANELMATE WITH 1/4-20 WASHED WINGNUTS

ANCHORAGE OF SHUTTER TO WOOD AT WALL HINGES SHALL BE 1/4" WOOD LAGS WITH 1" MIN. EMBEDMENT OR 1/4" MASONRY SCREWS WITH 1 7/8" MINIMUM EMBEDMENT

ANCHORAGE OF SHUTTER TO WOOD AT BRACKETS SHALL BE 1/4" MALE PANELMATES WITH 1/4-20 WASHED WINGNUTS OR 1/4" FEMALE PANELMATE WITH 1/4-20 H.S. (FLOOR PLUG) WITH 1 7/8" MINIMUM EMBEDMENT.

MINIMUM EDGE DISTANCE (E.D.) 3" ALL ANCHORS



(G) WALL AND SECTION HINGES ANCHOR AND RIVET LOCATION

PRODUCT (REVISED) to comply with the Florida Building Code Acceptance No. 25-127-05 Expiration Date 25/12/2018 By: [Signature] Miami Dade Product Control

ROBERT S. MONSOUR, PE
11955
RAMS ENGINEERING, INC.

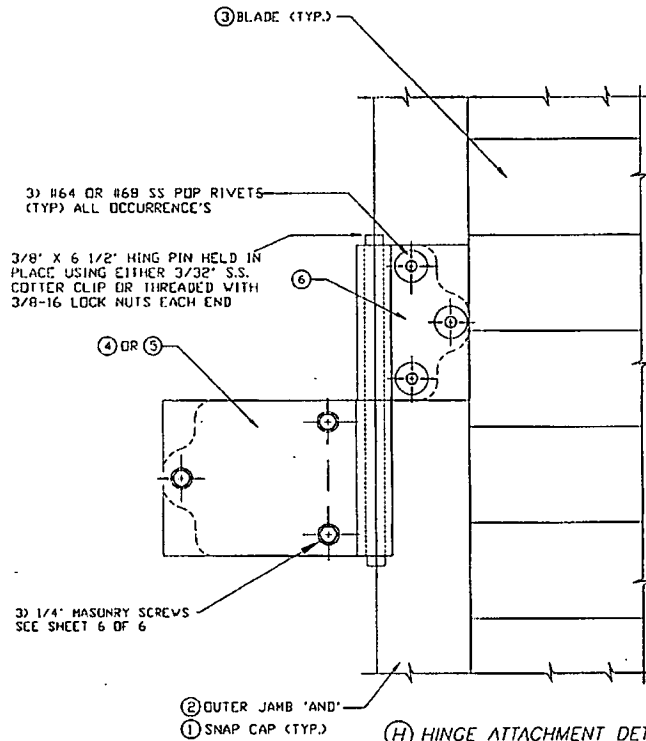
REVISIONS	BY
01/16/14	SP

RAMS ENGINEERING, INC.
Functional Design
2100 W. 76th STREET, SUITE 311
MIAMI, FLORIDA 33156
TELEPHONE: 305-822-3111
11955
EB 0000024

MAXIMUM IMPACT DURAWELD COLONIAL SHUTTER
SHUTTER-TECH, INC.
7400 W. SECOND CT. MIAMI, FL 33014

DATE	BY / REV
05/09/2008	SP
200002	
3	
6	

HIGH VELOCITY HURRICANE ZONE



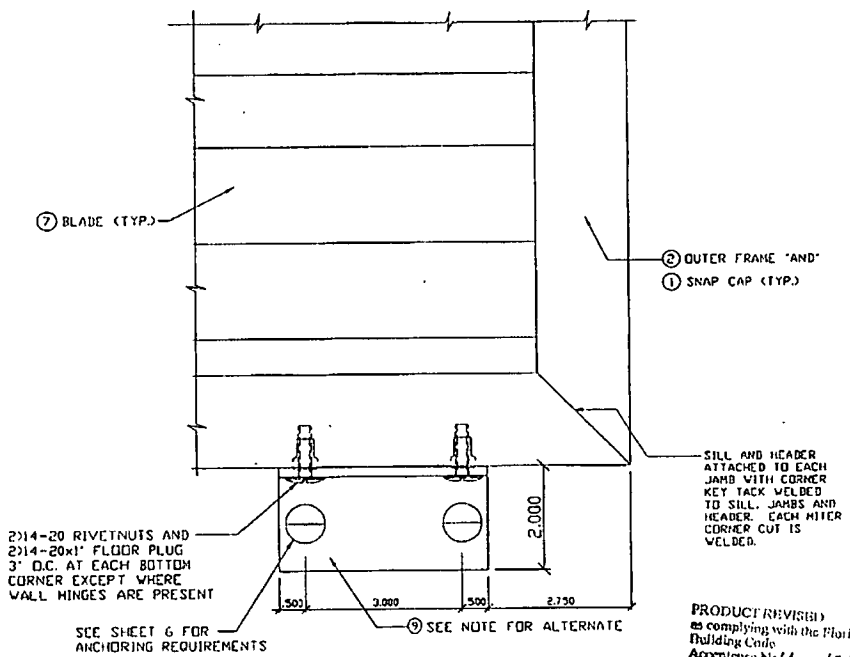
3) #64 OR #69 SS PDP RIVETS (TYP) ALL OCCURRENCES

3/8" X 6 1/2" HINGE PIN HELD IN PLACE USING EITHER 3/32" S.S. COTTER CLIP OR THREADED WITH 3/8-16 LOCK NUTS EACH END

3) 1/4" MASONRY SCREWS SEE SHEET 6 OF 6

2) OUTER JAMB 'AND'
1) SNAP CAP (TYP.)

(H) HINGE ATTACHMENT DETAIL
HURRICANE POSITION
(TYP.) RIGHT AND/OR LEFT SIDE
SEE SHEET 6 OF 6 FOR HINGE PLACEMENT LOCATIONS



2) 14-20 RIVETNUTS AND 2) 14-20x1" FLOOR PLUG 3" D.C. AT EACH BOTTOM CORNER EXCEPT WHERE WALL HINGES ARE PRESENT

SEE SHEET 6 FOR ANCHORING REQUIREMENTS

(I) CORNER TIE DOWN DETAIL
HURRICANE POSITION
(TYP.) RIGHT AND LEFT CORNERS
SEE SHEET 6 OF 6 FOR BRACKET PLACEMENT LOCATIONS

PRODUCT REVISION) as complying with the Florida Building Code
Accepted No. 4 = 012705
Expiration Date 04/12/18
By: *[Signature]*
Manual Trade Product Control

NOTE:
WHEN #7 TIE DOWN Z BRACKET IS USED AS AN ALTERNATIVE TO #9 TIE DOWN BRACKETS, THE Z BRACKET IS NOT REQUIRED TO BE ATTACHED TO THE SHUTTER. THE Z BRACKET ONLY NEEDS TO BE ANCHORED TO THE WALL.

Monsoon
ROBERT S. MONSOUR, PE
11955
RAMM'S ENGINEERING, INC.

REVISIONS	BY
01/16/14	SP

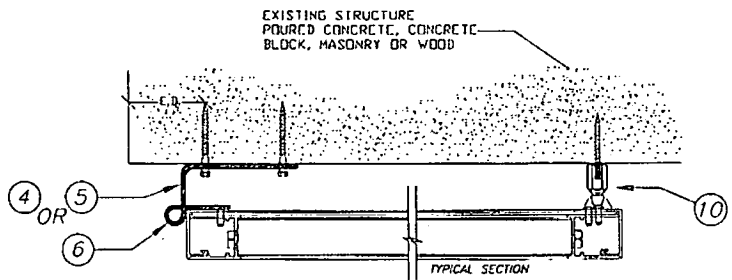
RAMM'S ENGINEERING, INC.
Standard Design
11955
2100 W. 76th STREET, SUITE 311
KALEIA, FLORIDA 33015
305-827-3144
EB 0006024

MAXIMUM IMPACT DURAWELD COLONIAL SHUTTER
SHUTTER-TECH, INC.
7463 W. SECOND CT. PALM BEACH, FL 33014

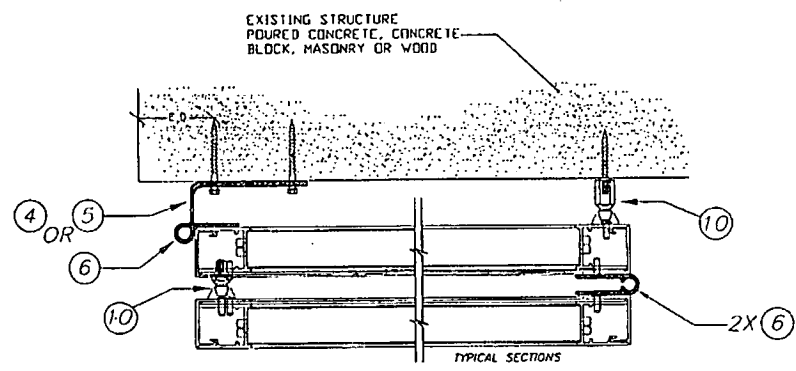
SEP 7 2008
05/09/2008
SHOWN
280002
4
6

PLAN VIEW STACKING CONFIGURATIONS

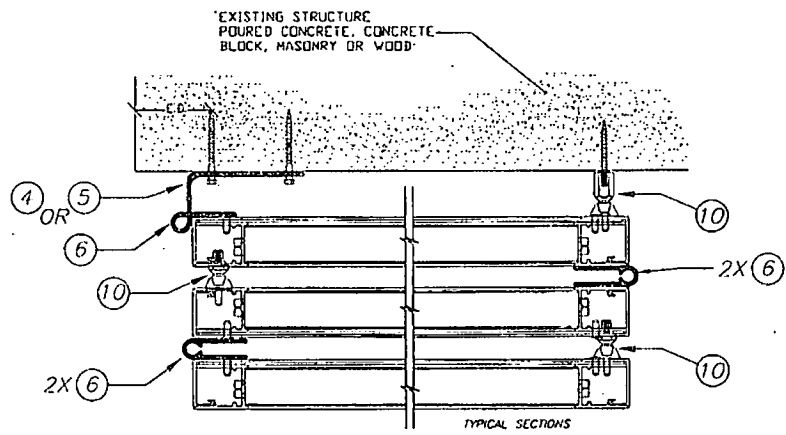
HIGH VELOCITY HURRICANE ZONE



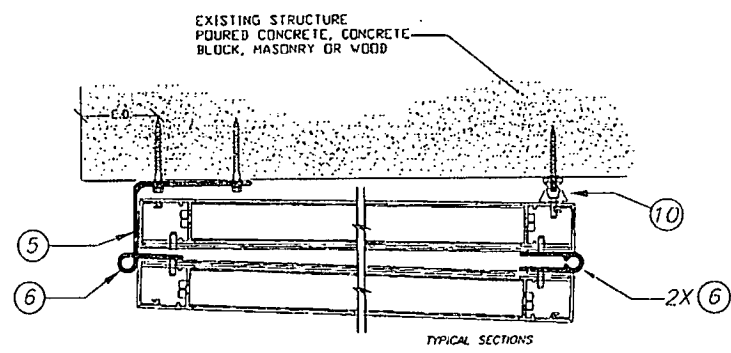
J SINGLE SECTION
NON HURRICANE POSITION
(TYP.) RIGHT AND/OR LEFT SIDE



K DOUBLE SECTION
NON HURRICANE POSITION
(TYP.) RIGHT AND/OR LEFT SIDE
THIS DETAIL HAS A 3 9/16" SEPERATION TO GLASS



L TRIPLE SECTION
NON HURRICANE POSITION
(TYP.) RIGHT AND/OR LEFT SIDE



M DOUBLE SECTION ALTERNATE
NON HURRICANE POSITION
(TYP.) RIGHT AND/OR LEFT SIDE

NOTE:
SEE SHEET 3 AND 6 OF 6 FOR ANCHOR
LOCATIONS AND REQUIREMENTS

PRODUCT REVISED
to comply with the Florida
Building Code
Acceptance No. 14-0127-05
Expiration Date 23/04/2019
By: *[Signature]*
Miami Trade Product Control

[Signature]
ROBERT S. MONSOUR, PE
11955
RAMM'S ENGINEERING, INC.

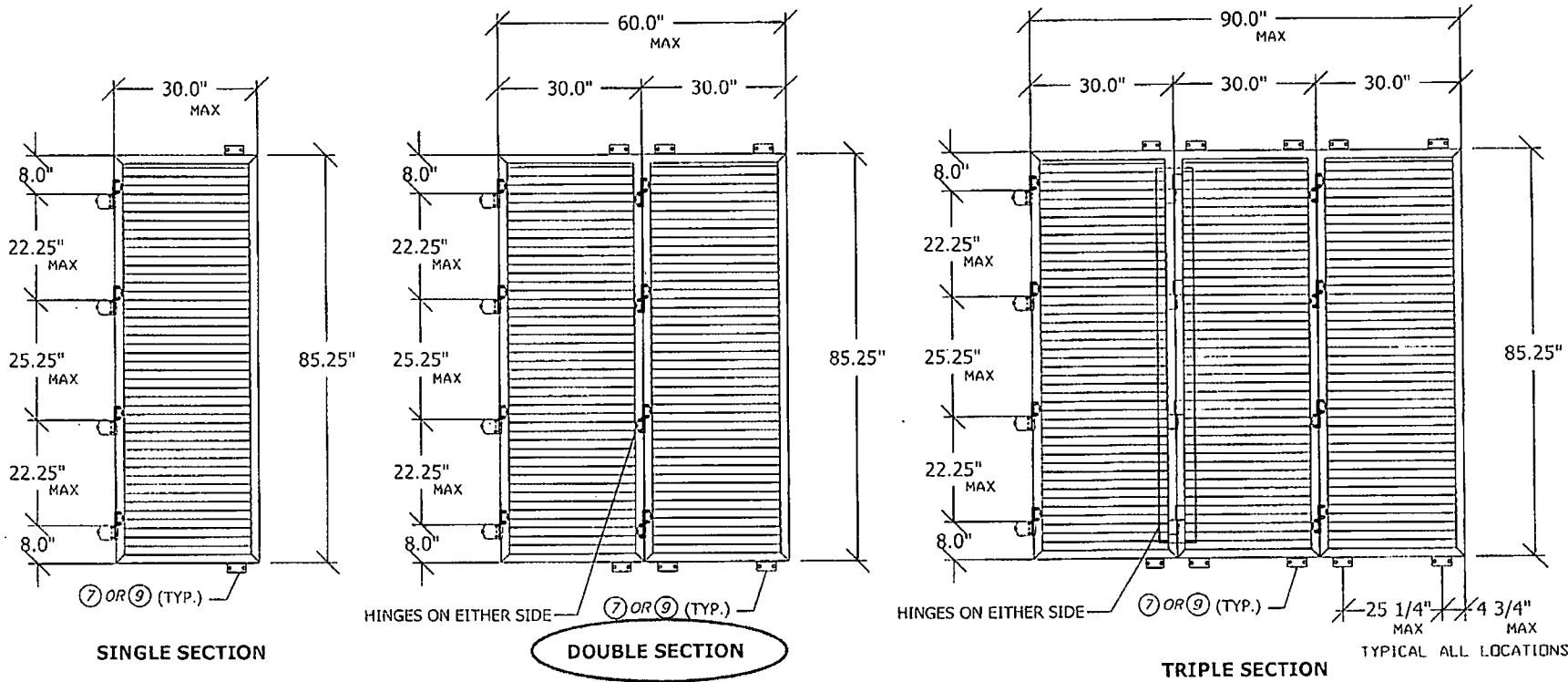
REVISIONS	BY
01/16/14	SP

RAMM'S ENGINEERING, INC.
Standard Design
11955
2100 W. 75th STREET, SUITE 311
MULUM, FLORIDA 33016
JOS-827-3141
EB 0006024

MAXIMUM IMPACT DURAWELD COLONIAL SHUTTER
SHUTTER-TECH, INC.
7483 W. SECOND CT. MIALEAH, FL 33014

SEP / RSU
10/16/2005
SHOWN
280002
5
6

HURRICANE POSITION ELEVATION VIEWS AND LIMITATIONS



SINGLE SECTION

DOUBLE SECTION

TRIPLE SECTION

TYPICAL ALL LOCATIONS

DETAIL "J, L AND M" SHEET 5 OF 6

DESIGN RATING PRESSURE IN P.S.F.	MAXIMUM SECTION WIDTH	MAXIMUM HEIGHT	MINIMUM SEPARATION TO GLASS
+57.0,-71.8	30'	85 1/4'	2 7/8'

DETAIL "K" SHEET 5 OF 6

DESIGN RATING PRESSURE IN P.S.F.	MAXIMUM SECTION WIDTH	MAXIMUM HEIGHT	MINIMUM SEPARATION TO GLASS
+57.0,-71.8	30'	85 1/4'	3 9/16'

SEE SHEET 4 OF 6 FOR BRACKET SPECIFICATIONS

ANCHORAGE OF SHUTTER TO CONCRETE OR MASONRY AT WALL HINGES SHALL BE WITH 1/4" MASONRY SCREWS WITH 1 1/4" MINIMUM EMBEDMENT.

ANCHORAGE OF SHUTTER TO CONCRETE OR MASONRY AT BRACKETS SHALL BE 1/4"-20 MACHINE SCREW ANCHOR OR FEMALE PANELMATE WITH 1/4"-20 M/S (FLOOR PLUG) OR DR 1/4" MALE PANELMATE WITH 1/4"-20 WASHERED WINGNUTS

ANCHORAGE OF SHUTTER TO WOOD AT WALL HINGES SHALL BE 1/4" WOOD LAGS WITH 1" MIN. EMBEDMENT OR 1/4" MASONRY SCREWS WITH 1 7/8" MINIMUM EMBEDMENT

ANCHORAGE OF SHUTTER TO WOOD AT BRACKETS SHALL BE 1/4" MALE PANELMATES WITH 1/4"-20 WASHERED WINGNUTS OR 1/4" FEMALE PANELMATE WITH 1/4"-20 M.S. (FLOOR PLUG) WITH 1 7/8" MINIMUM EMBEDMENT.

MINIMUM EDGE DISTANCE (E.D.) 3" ALL ANCHORS

PRODUCT REVISED) or complying with the Florida Building Code
 Acceptance No 14-0127.05
 Expiration Date 23/04/2018
 Miami Dade Product Control

Robert S. Monsour
 05/09/2008

ROBERT S. MONSOUR, PE
 11955
 RAM'S ENGINEERING, INC.

REVISIONS	BY
01/16/14	SP

RAM'S ENGINEERING, INC.
Structural Design
 11955
 2100 W. 78th STREET, SUITE 311
 MIAMI, FLORIDA 33166
 TELEPHONE: 305-822-3141

MAXIMUM IMPACT DURABLE COLONIAL SHUTTER
SHUTTER-TECH, INC.
 7483 W. BIRDWOOD CT. MIAMI, FL 33154

REV	DATE	DESCRIPTION
1	05/09/2008	ISSUED FOR PERMIT
2	05/09/2008	REVISED
3	05/09/2008	REVISED
4	05/09/2008	REVISED
5	05/09/2008	REVISED
6	05/09/2008	REVISED

TOWN OF SEWALL'S POINT, FLORIDA

Date December 30 2005 TREE REMOVAL PERMIT No 2614

APPLIED FOR BY BRADICE (Contractor or Owner)

Owner 96 S. RIVER ROAD

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 1 OAK

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

FEE \$ 0

Signed, _____ Applicant

Signed Gene Summers (Signature)
Town Clerk
BUILDING OFFICIAL

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Large empty rectangular box for drawing or site plan.

PROJECT DESCRIPTION _____

REMARKS _____

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than two inches.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner A + E BRADICE Address 96 S. RIVER Phone 288-2404

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 1 Type: OAK

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

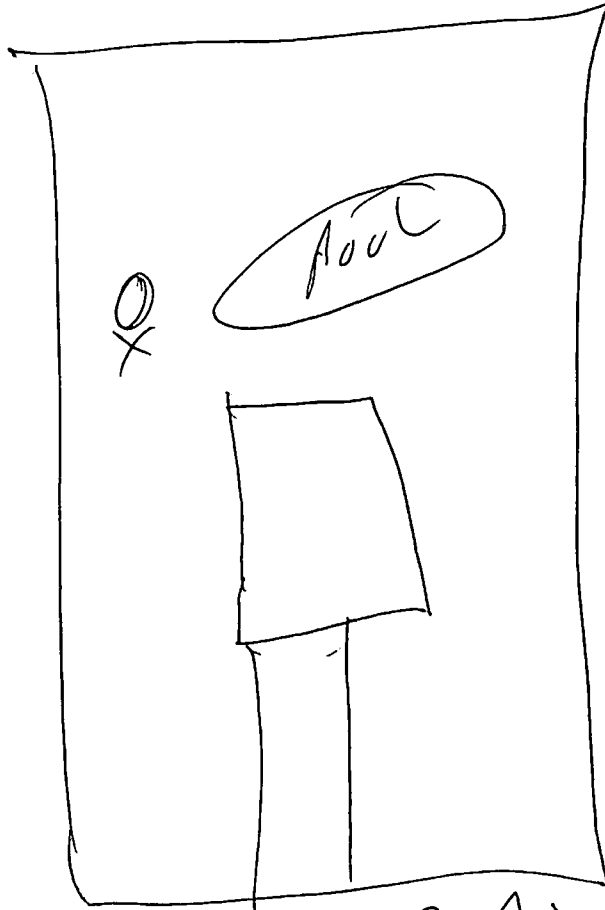
No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: Cleaning own house

Signature of Property Owner [Signature] Date 12/28/05

Approved by Building Inspector: [Signature] Date 12/30 Fee: 0

Plans approved as submitted _____ Plans approved as revised/marked: _____



96 S. River

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blony, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Okey, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Touchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new single family resident, see above.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permit expires if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner AL BRADICE Address ~~225 S. River~~ Phone 722-288-2404
 Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 1 Type: OAK

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: Nuisance

Signature of Property Owner [Signature] Date 8/26/87

Approved by Building Inspector: _____ Date 1/26 Fee: —

Plans approved as submitted _____ Plans approved as revised/marked: _____

TREE IS HEALTHY & NOT THREAT TO PROPERTY -
RECOMMEND CUTTING BACK DOMINANT LIMBS WHICH
ARE A NUISANCE WITH REGARD TO POOL MAINTENANCE
MAINTENANCE

Albert and Evelyn Bradice
96 South River Road
Sewalls Point Florida 34996

1/24/07

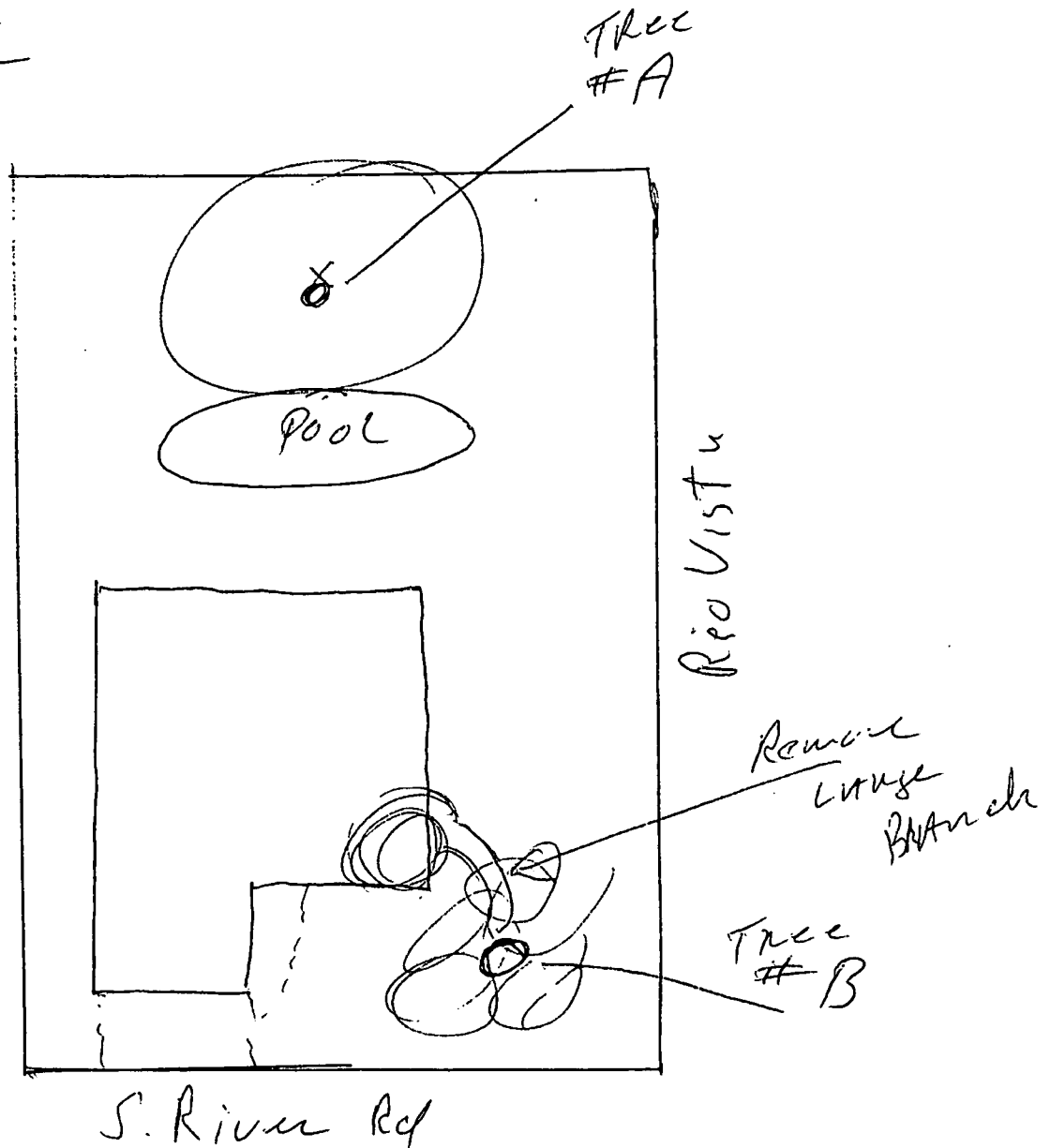
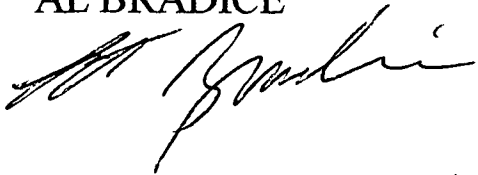
TOWN OF SEWALLS POINT

REQUEST FOR TREE REMOVAL PERMIT. TREE #A

WE HAVE A TREE AT THE REAR OF OUR PROPERTY THAT HAS GROWN VERY LARGE, THIS TREE DROPS SO MANY LEAVES IN OUR POOL THAT WE BURNED OUT TWO FILTER MOTORS. THE POOL CANNOT BE KEPT FREE OF DEBRIS EVEN WITH DAILEY CLEANING. NEIGHBOR IS ALSO CONCERNED ABOUT TREE FALLING ON HIS HOUSE.

TREE #B TRIM LARGE BRANCH OVERHANG SIDE OF HOUSE.

AL BRADICE





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

DENIED^{ok}

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

Called 4-1-09
1:55 PM

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner ALBERT BRADY Address 96 SOUTH RIVER Phone 772-214-4492

Contractor Monte Tree Service Address Palma City Phone 283-8828

No. of Trees: REMOVE 1 Species: OAK

No. of Trees: RELOCATE _____ Species: _____

No. of Trees: REPLACE _____ Species: _____

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

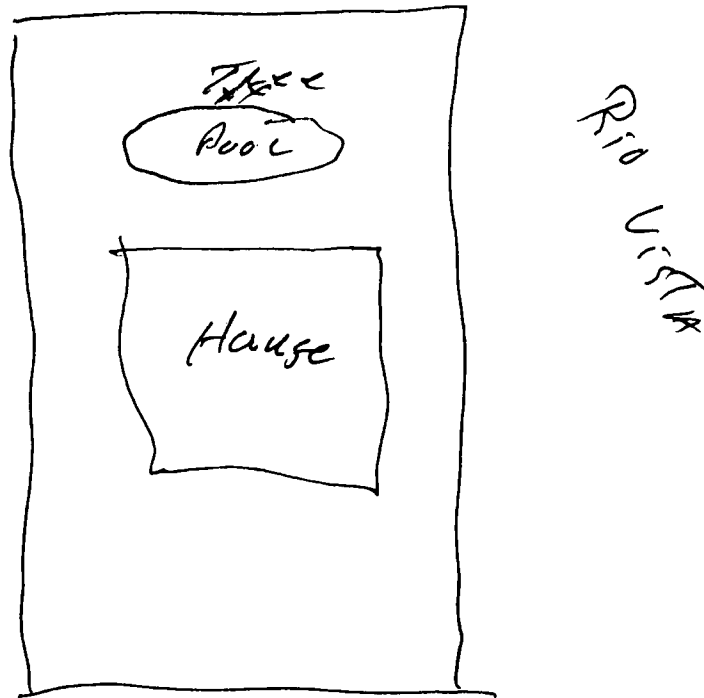
Reason for tree removal/relocation (See notice above) CANNOT USE POOL BECAUSE OF LEAVES + Debris - LEAVE'S BURNT OUT FILTER

Signature of Property Owner [Signature] Date 4/1/09

Approved by Building Inspector: _____ Date 4-1-09 Fee: -

~~NOTES: NO PERMIT WILL BE ISSUED TO REMOVE ONE TREE - OWNER WOULD WISH TO TRIM TREE WITH SERVICES OF LICENSED TREE TRIMMER.~~

SKETCH:



96 South River Rd



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Brudice Address ~~One S. Sewall's Point Rd~~ Phone 772-288-2404

Contractor Alex + Maria Landscaping Address Ft Pierce Phone 370-8096

No. of Trees: REMOVE 1 Species: Royal Palm

No. of Trees: RELOCATE _____ Species: _____

No. of Trees: REPLACE _____ Species: _____

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY

Reason for tree removal/relocation (See notice above) DEAD

Signature of Property Owner [Signature] Date _____

Approved by Building Inspector: [Signature] Date 2-6-14 Fee: N/A

NOTES: _____

SKETCH:

