

102 South River Road

287

Permit No. _____

Date FEB. 19, 1981

APPLICATION FOR A PERMIT TO BUILD A HOUSE OR COMMERCIAL BUILDING

This application must be accompanied by three sets of complete plans, to scale, (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections; plumbing, electrical and air-conditioning layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house or commercial building construction.

Owner MR. + MRS. JOS. P. GIGANTE Present address 5822 S.E. RIVERBOAT DR. Phone 286-0460 STUART FLA. 33494

General contractor JOS. P. GIGANTE Address 5822 S.E. RIVERBOAT DR. Phone 286-0460 STUART FLA. 33494

Where licensed _____ License No. 2003

Plumbing contractor ATLANTIC PLUMBING License No. 00035

Electrical contractor MARTIN CO. ELECT. License No. 86

Air-conditioning contractor PERSONALIZED AIR License No. 160

Describe the building, or alteration to existing building 3 BEDROOM - 2 1/2 BATH 1 STORY FRAME

Name the street on which the building, its front building line and its front yard will face 10250. RIVER RD

Subdivision Rio Vista Lot No. 46 Area SEWALL'S POINT

Building area, inside walls (excluding garage, carport, porches, pools, etc.)...square feet 1946

Contract price (excluding land, carpeting, appliances, landscaping, etc.) \$ 68,110 / 65,000.00

Cost of permit \$ 371 Plans approved as submitted or, as marked

I understand that this permit is good for 12 months from the date of its issue and that the building for which this permit is issued must be completed within that time and in accordance with the approved plans. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. I agree that the building site will be clean and rough-graded before a Certificate of Occupancy is sought, and, moreover, that I shall be responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply with the above requirements may result in a Building Inspector or a Town Commissioner "Red-tagging" the building project.

Contractor [Signature]

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood, as required by the Town's zoning ordinance.

Owner [Signature]

Note: Speculation builders will be required to sign both of the above statements.

TOWN RECORD

Date submitted _____

Approved by Building Inspector (date) 2/18/88

Inspector's initials [Signature]

Approved by Town Commissioner (date) 2/19/81

Commissioner's initials [Signature]

Certificate of Occupancy issued (date) _____

Approved of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Mechanical Energy Efficiency Building Code

1287



STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

APPLICATION FOR SEPTIC TANK PERMIT
AND FINAL INSPECTION FORM

Permit VOID if well or septic system is installed in a location other than area permitted. PRIOR HEALTH DEPARTMENT APPROVAL REQUIRED

Authority: Chapter 381, 386, 37, FS Chapter 10D-6, FAC

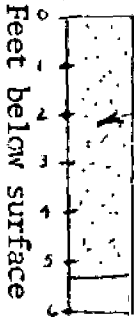
Permit Number HD 80-945

Name of Applicant JOSEPH GIGANTE Telephone 286-0460
Mailing Address of Applicant 5822 S. RIVERBOAT DR, STUART FL 33494
To be Installed at: (Give Street Address)* SOUTH RIVER ROAD
Lot 46 Block - Subdivision RIV VISTA
Plat Book & Page - Date Recorded 13 NOV 1975
Residential: No. Living Units 1 Number Bedrooms 3
Commercial: Type of Business - Number People - Number Toilets -
*Note: Attach site location map and other supportive documents.
Signature of Applicant Joseph Gigante / R.G. Larson, P.E.

SITE INFORMATION

Is there a private well within 75 ft. of the proposed septic system? No
Is there a public well within 100 ft. of the proposed septic system? No
Is there a public sewer within 100 ft. of the proposed lot? No
Is there a lake, stream, canal or other body of water within 50 ft. of the proposed septic system? No
Is there a septic system or other interference within 75 ft. of the proposed private well? No
Is the proposed or existing public water line within 10 ft. of the proposed septic system? No
There is 900 square feet of unobstructed land for future expansion of the drainfield.

SOIL PROFILE AND PERCOLATION DATA



GRAYISH WHITE SAND

R.G. Larson

Water table..... OVER 5 FT
Wet season water table... OVER 5 FT.
Compacted fill of..... - required.
Compacted fill check by.. -
Date..... -

Certified by: R.G. Larson, P.E.
Florida Professional Number: 16552
Date: 12-19-80 Job Number 80-12-19
Percolation Rate 1/4 Minutes/Inch
Soil Identification: SAND
Class I Group SW

INSTALLATION SPECIFICATIONS

Septic Tank Capacity 900 Gallons
Dosing Tank Capacity Gallons
Grease Trap Capacity Gallons

Absorption Bed Size 260 Square Ft.
Lateral Drainfield Size Square Ft.
Sand Filter Size Square Ft.

Specifications:

12-19-80
Date Processed

THIS PERMIT EXPIRES ONE YEAR FROM DATE OF ISSUANCE

Robert Washburn, RS
Signature of Sanitarian

MARTIN County Health Department

FINAL INSPECTION DATA

Date and Time of Inspection Type of Tank (Concrete, Fiberglass, Etc.)
Size Tank Installed Drainfield Size
Dosing Tank Size Grease Trap Size Sand Filter Size
Who Made Installation

RECOMMENDATION: Approval Disapproval

Signature of Sanitarian

WARRANTY DEED

THIS DEED dated the date set forth hereinbelow between GUSTAV SCHICKEDANZ, Individually and as Trustee, joined by his wife, ANN SCHICKEDANZ, of Toronto, Province of Ontario, Canada, the Grantor, and JOSEPH P. GIGANTE and ELIZABETH GIGANTE, his wife, of 30 BOSSUM TRAIL, UPPER SADDLE RIVER, County of BERGEN, State of NEW JERSEY, Grantee

WITNESSETH:

That for the sum of Ten and no/100 (\$10.00) Dollars and other good and valuable consideration, said Grantor does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the said Grantee all that certain parcel of land situate in Martin County, Florida, described as follows:

Lot 46, RIO VISTA SUBDIVISION, according to the Plat thereof, filed December 11, 1975, in Plat Book 6, Page 95, Martin County, Florida, Public Records.

SUBJECT HOWEVER, to the following:

- 1. Taxes accruing subsequent to December 31, 1978;
2. Zoning regulations and ordinances of the Town of Sewall's Point, Florida;
3. The provisions and easements set forth on the aforesaid Plat of Rio Vista Subdivision;
4. The provisions of DECLARATION OF PROTECTIVE COVENANTS COVERING ALL OF RIO VISTA SUBDIVISION, recorded in Official Records Book 393, Page 1469, Martin County, Florida, Public Records, as amended by the First Amendment to Declaration of Protective Covenants covering all of Rio Vista Subdivision recorded in Official Records Book 403, Page 549, Martin County, Florida, Public Records;

and the said Grantor does hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the said Grantor has set forth his hand and seal this 30 day of March, 1979.

WITNESSES:

Mary E. Cozart (Signature)

Ann Schickedanz (Signature)

Gustav Schickedanz, Individually and as Trustee (Signature and SEAL)

Ann Schickedanz (Signature and SEAL)

DOMINION OF CANADA
PROVINCE OF ONTARIO
DISTRICT OF YORK

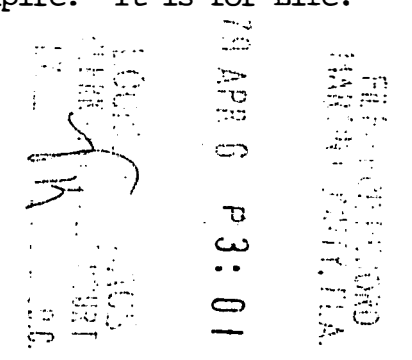
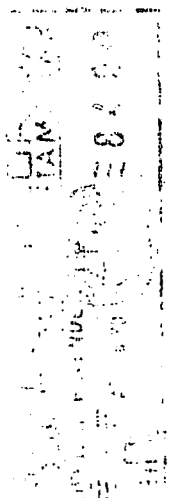
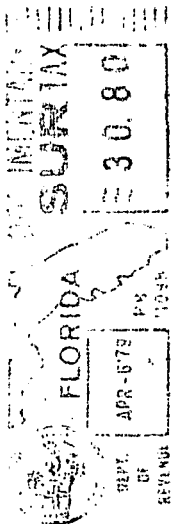
The foregoing Warranty Deed was acknowledged before me by GUSTAV SCHICKEDANZ, Individually and as Trustee, joined by his wife, ANN SCHICKEDANZ, on this 30 day of March, 1979.

(Notary Seal)

Notary Public (Signature)

My Commission Expires: It Does Not Expire. It is for Life.

This instrument prepared by: JOHN FENNIMAN, CHARTERED 501 E. Osceola Street P. O. Box 2473 Stuart, Florida 33494 Phone: (305) 287-4300



LOT 46 RIO VISTA S/D. MARTIN CO

OWNER: JOSEPH GIGANTE

TO SEWALLS POINT
TO ROAD SOUTH

DRIVE VISTA DRIVE

E. RIO VISTA DRIVE

SOUTH RIVER ROAD

PROPOSED SEPTIC SYSTEM

LOT 47 PERMIT 110086-918

150'

LOT 46

PROPOSED RESIDENCE

No INTERFERENCES

No INTERFERENCES

OVER 900 FT AVAILABLE

KEEP SEPTIC TANK AND
DRAINFIELD 10 FT FROM
WATER SUPPLY LINES

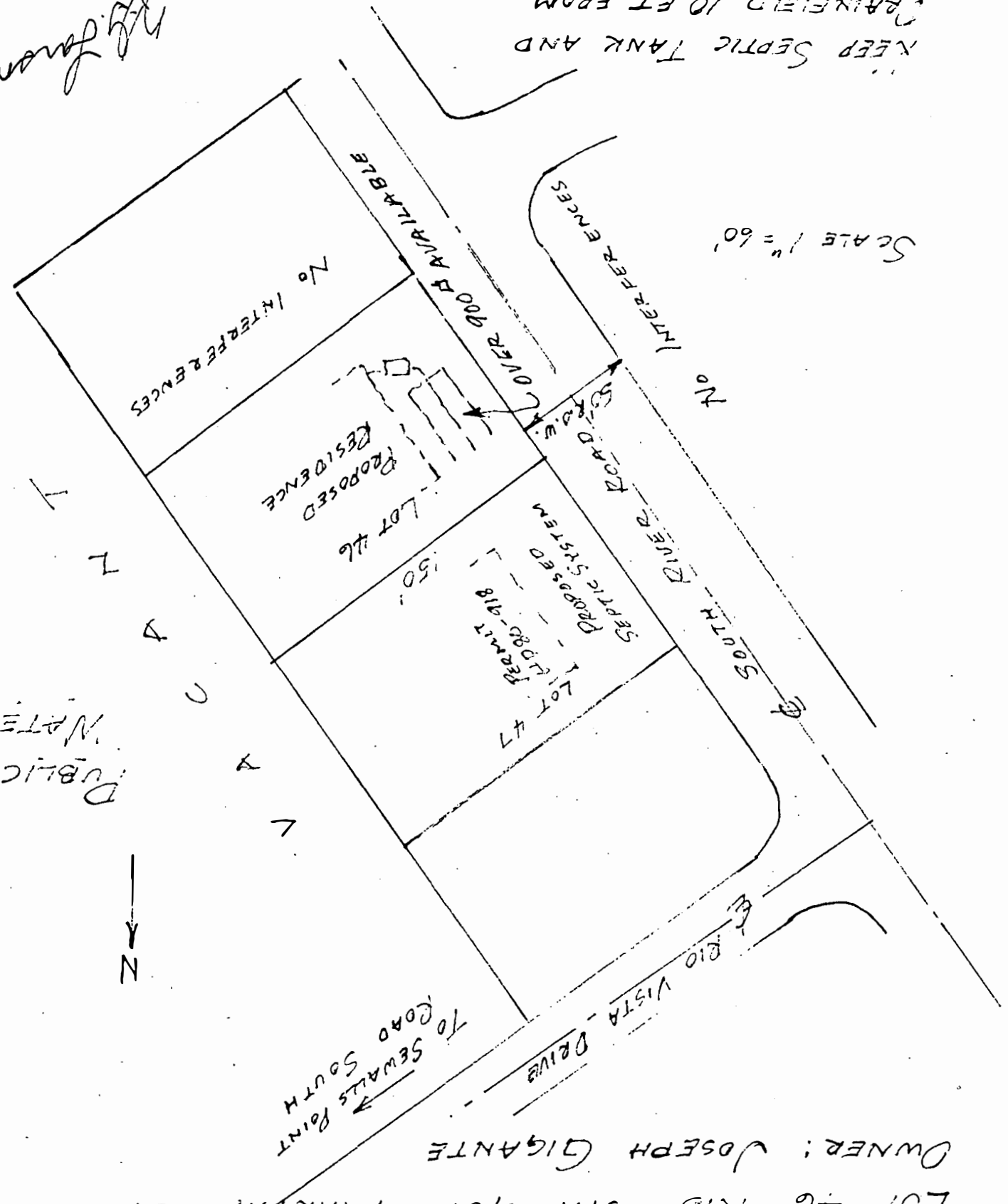
SCALE 1" = 60'

PUBLIC WATER

N

Y
Z
A
U
A
V

J.P. Johnson



9F	WINTER OVERHANG FACTOR (WOF)							
FEET	N	NE	E	SE	S	SW	W	NW
0-0.99	1.00	0.99	0.85	0.75	0.63	0.76	1.00	1.00
1-1.99	1.00	0.99	0.85	0.76	0.64	0.76	1.00	1.00
2-2.99	1.00	0.99	0.84	0.77	0.66	0.99	1.00	1.00
3-3.99	1.00	0.99	0.87	0.80	0.67	0.99	1.00	1.00
4-4.99	1.00	0.99	0.89	0.83	0.90	0.99	1.00	1.00
5-5.99	1.00	0.99	0.91	0.84	0.92	1.00	1.00	1.00
6-6.99	1.00	0.99	0.92	0.90	0.94	1.00	1.00	1.00
7-7.99	1.00	1.00	0.94	0.92	0.96	1.00	1.00	1.00
8-8.99	1.00	1.00	0.96	0.95	0.97	1.00	1.00	1.00
9-9.99	1.00	1.00	0.97	0.97	0.98	1.00	1.00	1.00
10-10.99	1.00	1.00	0.98	0.98	0.99	1.00	1.00	1.00
11 & UP	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00

9F	SUMMER OVERHANG FACTOR (SOF)							
FEET	N	NE	E	SE	S	SW	W	NW
0-0.99	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
1-1.99	1.00	1.00	0.99	0.99	0.98	0.99	0.99	1.00
2-2.99	1.00	0.98	0.95	0.93	0.92	0.93	0.95	0.98
3-3.99	1.00	0.95	0.89	0.87	0.86	0.87	0.89	0.95
4-4.99	1.00	0.91	0.84	0.83	0.80	0.83	0.84	0.91
5-5.99	0.99	0.88	0.80	0.78	0.78	0.78	0.80	0.88
6-6.99	0.99	0.85	0.78	0.72	0.72	0.72	0.78	0.85
7-7.99	0.99	0.83	0.72	0.68	0.70	0.68	0.72	0.83
8-8.99	0.98	0.81	0.69	0.66	0.68	0.66	0.69	0.81
9-9.99	0.98	0.79	0.67	0.64	0.66	0.64	0.67	0.79
10-10.99	0.98	0.78	0.65	0.62	0.65	0.62	0.65	0.78
11-11.99	0.97	0.78	0.63	0.61	0.65	0.61	0.63	0.78
12 & UP	0.97	0.78	0.62	0.59	0.64	0.59	0.62	0.78

9A	HEATING SYSTEM MULTIPLIER (HSM)									
HEAT PUMP	COP	2.0-2.39	2.2-2.39	2.4-2.39	2.1-2.79	2.8-2.99	3.0-3.39	3.2-3.39	3.48 UP	
	HSM	0.50	0.45	0.42	0.38	0.36	0.33	0.32	0.31	0.29
SOLAR HEAT	(BACKUP SYSTEM FRACTION) X (BACKUP SYSTEM HSM)									
GAS HEAT	0.90									
OIL HEAT	0.78									
ELECTRIC STRIP HEAT	1.00									

9B	COOLING SYSTEM MULTIPLIER (CSM)											
ELECTRIC	SEER	6.0-6.99	7.0-7.99	7.5-7.99	8.0-8.99	8.5-8.99	9.0-9.99	9.5-9.99	10.0-10.99	10.5-10.99	11.0-11.99	12.08 UP
	CSM	1.00	0.93	0.87	0.83	0.78	0.72	0.68	0.65	0.62	0.59	0.54
GAS	COP	0.40-0.64	0.45-0.69	0.50-0.54	0.55-0.59	0.60-0.64	0.65-0.69	0.70-0.64	0.75-0.69	0.80-0.64	0.85-0.64	0.90-0.64
	CSM	1.50	1.25	1.20	1.09	1.00	0.92	0.84	0.78	0.72	0.66	0.60

NOTE: SEER = COOLING MODE COP x 2.413 = ARI RATED COOLING OUTPUT IN BTUH ÷ TOTAL WATTS CONSUMED

9C	HOT WATER CREDIT POINTS (HWP)	
ELECTRIC	RESISTANCE HEATERS	0.0
GAS		7.0
SOLAR	MINIMUM CERTIFIED DCR OF 8,000 BTU PER BEDROOM AND 15 GALLON STORAGE PER BEDROOM	19.6
	MINIMUM CERTIFIED DCR OF 9,000 BTU PER BEDROOM AND 20 GALLON STORAGE PER BEDROOM	22.8
	MINIMUM CERTIFIED DCR OF 12,000 BTU PER BEDROOM AND 27 GALLON STORAGE PER BEDROOM	24.5
A/C HEAT RECOVERY UNIT	MINIMUM CERTIFIED RATING OF 1500 BTUH/TON MINIMUM HOT WATER STORAGE TANK 40 GALLONS	16.3
	MINIMUM CERTIFIED RATING OF 2500 BTUH/TON MINIMUM HOT WATER STORAGE TANK 40 GALLONS	17.9

NOTE: DAILY COLLECTION RATE (DCR) IS MEASURED AT 122°F USING FBEC STANDARD FLORIDA SOLAR DAY

STATE F. HOMEOWNERS/CONDOMINIUM UNIT OWNERS BINDER RECEIPT

EFFECTIVE DATE 1/23/81	
APPLICANT'S Name <i>Please print</i> Gigante Joseph and Elizabeth	LAST NAME FIRST NAME MIDDLE NAME OR INITIAL FIRST NAME AND MIDDLE INITIAL OF SPOUSE IF APPLICABLE
Mailing address 5822 SE Riverboat Dr. Apt 309	NUMBER AND STREET UNIT AND OR FLOOR CITY OR TOWNSHIP
Martin FL 33494	COUNTY STATE ZIP CODE
Location of premises (IF DIFFERENT FROM MAILING ADDRESS) Rio Vista Sewals Point	TELEPHONE NUMBER ZIP CODE

Pending issuance of a policy, at which time this Binder will be void, and subject to all the declarations, terms and conditions of the policy hereby applied for as currently being issued by the Company designated hereon, this Company is hereby bound to the insured applicant and legal representatives on the property as described hereon for a term not exceeding ninety (90) days * from the effective date.

It is a condition of this Binder that, in event of loss before expiration of this Binder, the premium due this Company shall be fixed at the full annual premium for the sum insured.

This Binder is made and accepted subject to all the foregoing and shall not be valid unless countersigned by the duly authorized agent of this Company.

Dated at Stuart, Fla. this 26th day of Jan. 19 81
Robert M. Johnson Agent
Philip G. Buffe Secretary Edward [Signature] President

*EXCEPTIONS— Binders issued in the state of New Mexico are for a term not exceeding fifteen (15) days from the effective date.
 Binders issued in the state of Connecticut are for a term not exceeding thirty (30) days from the effective date.
 Binders issued in the state of New Jersey and Virginia are for a term not exceeding sixty (60) days from the effective date.

COVERAGE	<input type="checkbox"/> State Farm Fire and Casualty Company	<input type="checkbox"/> State Farm General Insurance Company	Complete for Form 4 and Condominium unit (if applicable)	ANNUAL CONTENTS RATES FIRE E. C.	RATE INTERVAL ENTRY OR PREMIUM GROUP	
	Form 3	Date policy booklet delivered to applicant	NOT AVAILABLE IN ALL STATES	4 6 OTHER	Deductibles: ALL PERIL 100 WIND/HAIL THEFT NONE OTHER	
SEC. 1	Dwelling or building property	\$ <u>15,000</u>	OTHER INTEREST	<input type="checkbox"/> Mtg.	<input type="checkbox"/> Loss payee	<input type="checkbox"/> Add'l insured
	Personal Property	\$		ZIP CODE Loan Number		
	Loss of use (add'l living expense)	\$		ZIP CODE Loan Number		
	Condominium Loss Assessment	\$		ZIP CODE Loan Number		
SEC. 2	Personal liability (each occurrence)	\$100,000	OTHER INTEREST	<input type="checkbox"/> 2nd mtg.	<input type="checkbox"/> Loss payee	<input type="checkbox"/> Add'l insured
	Medical payments to others (each person)	\$ 1,000		ZIP CODE Loan Number		
OPTIONS/ENDORSEMENTS	<input checked="" type="checkbox"/> Jewelry and Furs (J)	<input type="checkbox"/> Firearms (K)	BILLING	Renewal bills	Endorse. bills	Total premium \$
	<input type="checkbox"/> Office, School, Studio (O)*	<input type="checkbox"/> Business Pursuits (P)*		<input checked="" type="checkbox"/> Insured	<input type="checkbox"/> Insured	Amount paid \$
	<input type="checkbox"/> Merchandise Samples (R)*	<input type="checkbox"/> Increased Theft Coverage (T) (General Company only)		<input type="checkbox"/> Mortgagee	<input type="checkbox"/> Mtg.	
	<input type="checkbox"/> Other Structures (S) \$			<input type="checkbox"/> Servicing agent	<input type="checkbox"/> Svc. Agt.	
<input type="checkbox"/> Replacement Cost — Contents (NOT AVAILABLE IN ALL STATES)		<input type="checkbox"/> M.P.P.	Account Number			
* Describe in Remarks						

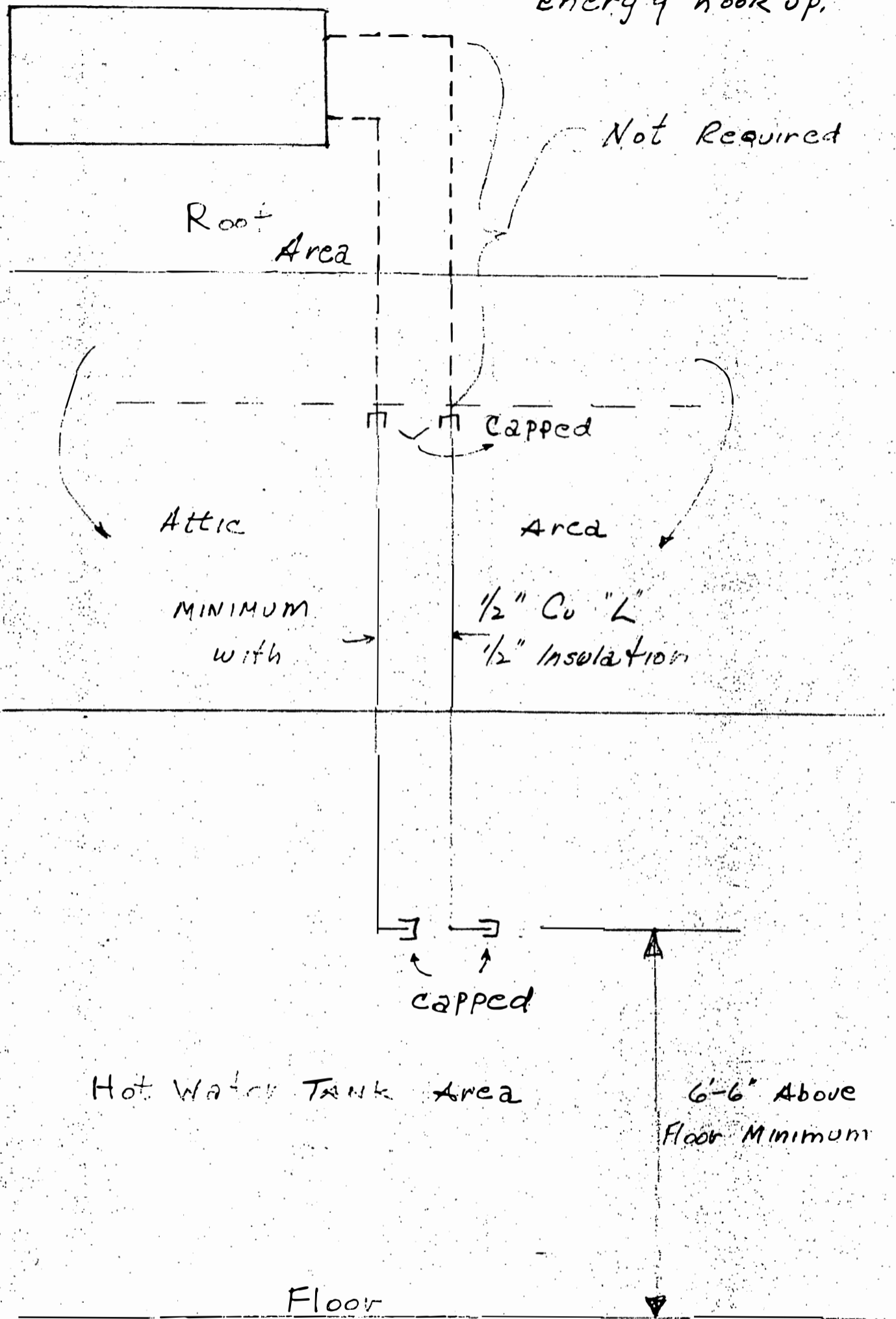
be enacted by the Legislature of the State of Florida:

Section 1. Section 553.87, Florida Statutes, is amended to read:

(Substantial rewording of section. See
s. 553.87, F.S., for present text.)

553.87 Solar water heating and waste heat recovery requirement.--
Notwithstanding the provisions of ss. 553.12 and 553.13, buildings for
which a building permit is obtained after October 1, 1980, shall be
constructed with plumbing designed to facilitate the future installation
of solar and waste heat recovery equipment for water heating. The phrase
"facilitate the future installation" means the provision of readily
accessible piping and pipe fittings to permit easy connection of solar
and waste heat recovery equipment for water heating. The phrase "waste
heat recovery equipment" means equipment designed to recover otherwise
wasted heat from air conditioning systems, or to use the unused capacity
of a heat pump to heat water. It is the intent of the Legislature to
minimize the cost of rearranging plumbing should solar or waste heat
recovery equipment for heating water be added to buildings after

Minimum requirements
for future solar
energy hook up.



Not to Scale

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 7/9/81

This is to request that a Certificate of Approval for Occupancy be issued to Mr. Gigante
For property built under Permit No. 1287 Dated 2/20/81 when completed in
conformance with the Approved Plans.

Signed _____

RECORD OF INSPECTIONS

Item	Date	Approved by
Set-backs and footings	<u>2/27/81</u>	
Rough plumbing	<u>2/27/81</u> & <u>3/31/81</u>	
Slab & Footings	<u>3/2/81</u>	
Perimeter beam		
Close-in, roof and rough electric	<u>3/31/81</u>	
Final Plumbing	<u>7/9/81</u>	
Final Electric	<u>7/9/81</u>	
Insulation	<u>12/8</u>	
Final Inspection for Issuance of Certificate for Occupancy.		

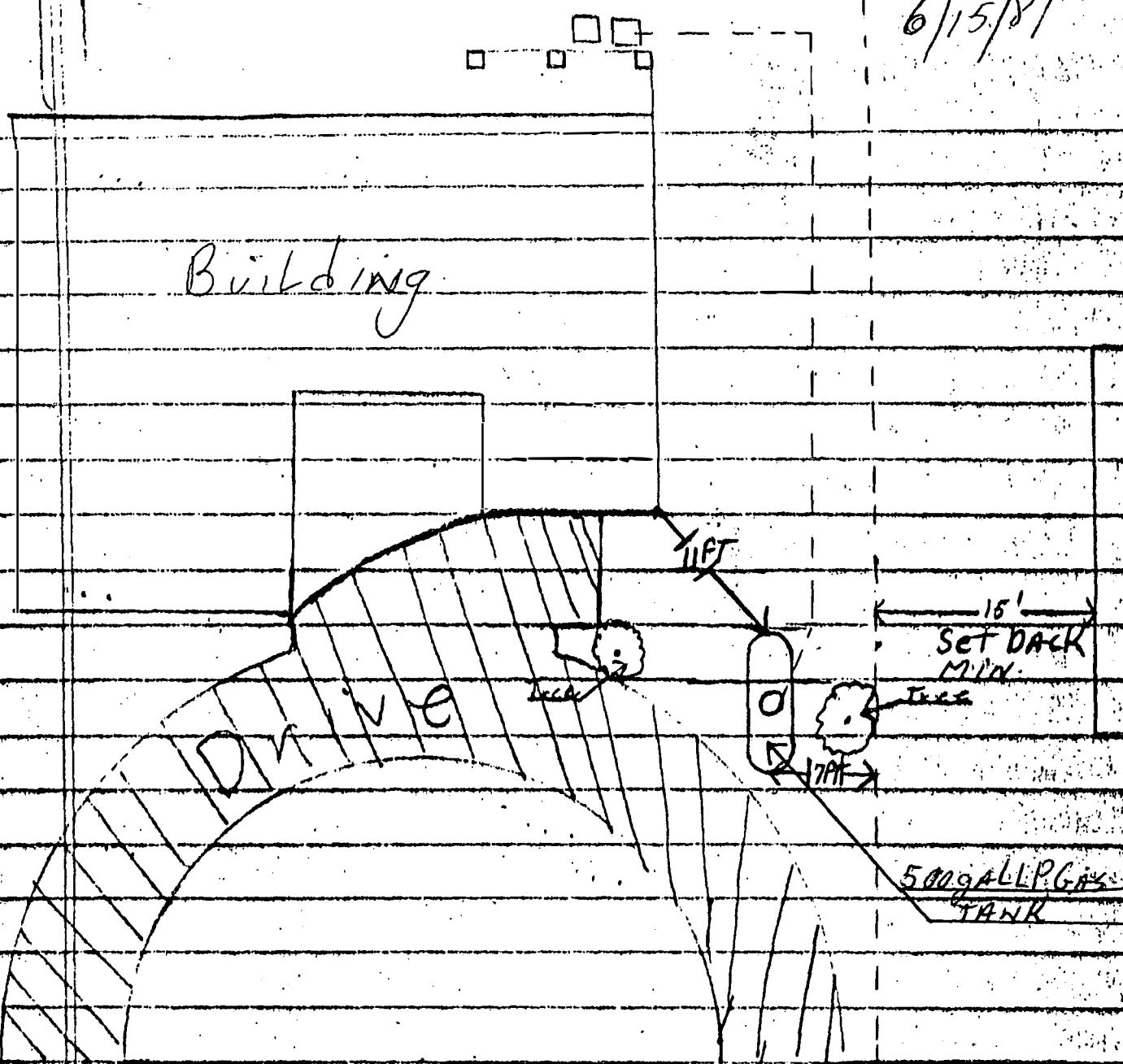
Approved by Building Inspector J. Amugyusca date 7/9/81
Approved by Building Commissioner G. C. Strubel date 7/9/81

Utilities notified 7/9/81 date _____

Original Copy sent to _____

(Keep carbon copy for Town files)

6/15/81



South River Rd

BUSTA Job
102 So. River Rd
Sewall Point.

Table 3-1
Minimum Distances
Containers

Water Capacity Per Container Gallons	Mounded or Underground (Note (d))	Aboveground	Between Aboveground Containers
Less than 125 (Note (a))	10 feet	None (Note(b))	None
125 to 250	10 feet	10 feet	None
251 to 500	10 feet	10 feet	3 feet
501 to 2,000	10 feet	25 feet (Note(c))	3 feet
2,001 to 30,000	50 feet	50 feet	5 feet
30,001 to 70,000	50 feet	75 feet	} (1/2 of sum of diameters of adjacent containers)
70,001 to 90,000	50 feet	100 feet	
90,001 to 120,000	50 feet	125 feet	

NOTES TO TABLE 3-1

Note (a) At a consumer site, if the aggregate water capacity of a multi-container installation comprised of individual containers having a water capacity of less than 125 gallons is 501 gallons or more, the minimum distance shall comply with the appropriate portion of this table, applying the aggregate capacity rather than the capacity per container. If more than one such installation is made, each installation shall be separated from any other installation by at least 25 feet. Do not apply the MINIMUM DISTANCES BETWEEN ABOVEGROUND CONTAINERS to such installations.

Note (b) The following shall apply to aboveground containers installed alongside of buildings:

(1) DOT specification containers shall be located and installed so that the discharge from the container safety relief device is at least 3 feet horizontally away from any building opening below the level of such discharge, and shall not be beneath any building unless this space is well ventilated to the outside and is not enclosed for more than 50 percent of its perimeter. The discharge from container safety relief devices shall be located not less than 5 feet in any direction away from any exterior source of ignition, openings into direct-vent (sealed combustion system) appliances, or mechanical ventilation air intakes.

(2) ASME containers of less than 125 gallons water capacity shall be located and installed so that the discharge from safety relief devices shall not terminate in or beneath any building and shall be located at least 5 feet horizontally away from any building opening below the level of such discharge, and not less than 5 feet in any direction away from any exterior source of ignition, openings into direct vent (sealed combustion system) appliances, or mechanical ventilation air intakes.

(3) The filling connection and the vent from liquid level gages on either DOT or ASME containers filled at the point of installation shall be not less than 10 feet in any direction away from any exterior source of ignition, openings into direct-vent (sealed combustion system) appliances, or mechanical ventilation air intakes.

Note (c) This distance may be reduced to not less than 10 feet for a single container of 1,200 gallons water capacity or less provided such container is at least 25 feet from any other LP-Gas container of more than 125 gallons water capacity.

Note (d) Minimum distances for underground containers shall be measured from the relief valve and filling or liquid level gage vent connection at the container, except that no part of an underground container shall be less than 10 feet from a building or line of adjoining property which may be built upon.

3112. Where storage containers having an aggregate water capacity of more than 4000 gallons are located in heavily populated or congested areas, the siting provisions of 3111 and Table 3-1 may be modified as indicated by the fire safety analysis described in 3912.

3113. In the case of buildings of other than wood-frame construction devoted exclusively to gas manufacturing and distribution operations, including LP-Gas service stations, the above distances may be reduced provided that in no case shall containers having a water capacity exceeding 500 gallons be located closer than 10 feet to such gas manufacturing and distributing buildings.

3114. The following provisions shall also apply:

(a) Containers shall not be stacked one above the other.

(b) Loose or piled combustible material and weeds and long dry grass shall not be permitted within 10 feet of any container.

(c) Suitable means shall be used to prevent the accumulation or flow of liquids having flash points below 200° F (93.4° C) under adjacent LP-Gas containers such as by dikes, diversion curbs or grading. Determination of flash points shall be in accordance with Standard on Basic Classification of Flammable and Combustible Liquids, NFPA No. 321.

(d) When tanks containing flammable or combustible liquids (see NFPA 321 for definitions of these liquids) are within a diked area, LP-Gas containers shall be outside the diked area and at least 10 feet away from the centerline of the wall of the diked area.

(e) The minimum horizontal separation between aboveground LP-Gas containers and aboveground tanks containing liquids having flash points below 200° F (93.4° C) shall be 20 feet. This provision shall not apply when LP-Gas containers of 125 gallons or less water capacity are installed adjacent to fuel oil supply tanks of 660 gallons or less capacity. No horizontal separation is required between aboveground LP-Gas containers and underground tanks containing flammable or combustible liquids installed in accordance with NFPA 30, Flammable and Combustible Liquids Code. See 3114(c) for flash point determinations.

(f) The minimum separation between LP-Gas containers and oxygen or gaseous hydrogen containers shall be in accordance with Table 3-2 except that lesser distances are permitted where protective structures such as fire walls, interrupt the line of sight between uninsulated portions of the oxygen or hydrogen containers and the LP-Gas containers. Also, see NFPA Nos. 50 and 51 for oxygen sys-

1342

POOL, HEATER,

PATIO

1342

TOWN OF SEWALL'S POINT FLORIDA

Permit No. _____

Date _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner MILAN G. BUSTA (signature) Present address 206B Bessame Blvd

Phone 287-8966

Contractor LOU DEN POOLS Address 4706 S. VISTA

Phone 465-2700 (286-5760) ET PIERCE, PH

Where licensed MARTIN & SONS License number CVC 210402

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: 14 X 32 Swimming pool w/ HTR AND PATIO.

State the street address at which the proposed structure will be built: 102 South River Road

Subdivision RIO VISTA Lot No. 46

Contract price \$ 13,900 Cost of Permit \$ 245.00

Plans approved as submitted _____ Plans approved as marked SEE ATTACHED SHEET

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Contractor Robert J. Manning

I understand that this structure must be in accordance with the approved plans, and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Milan G. Busta

TOWN RECORD

Date submitted _____

Approved: [Signature] Building Inspector Date 5/8/81

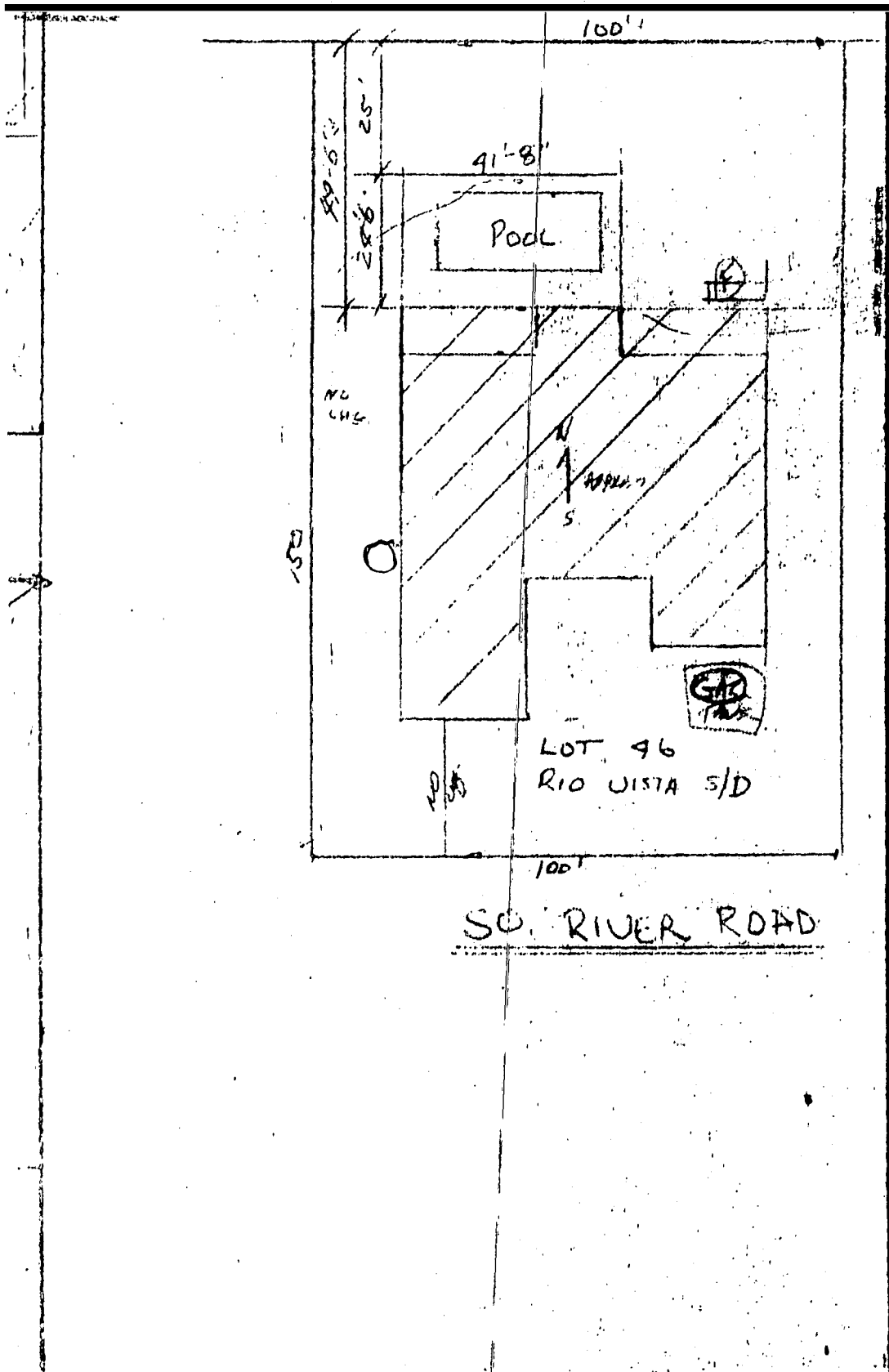
Approved: [Signature] Commissioner Date 5/13/81

Final Approval given: 7/29/81 Jan Date

Certificate of Occupancy issued _____ Date

Steel Grounding 5/27/81
Patio Steel 6/17/81

1342

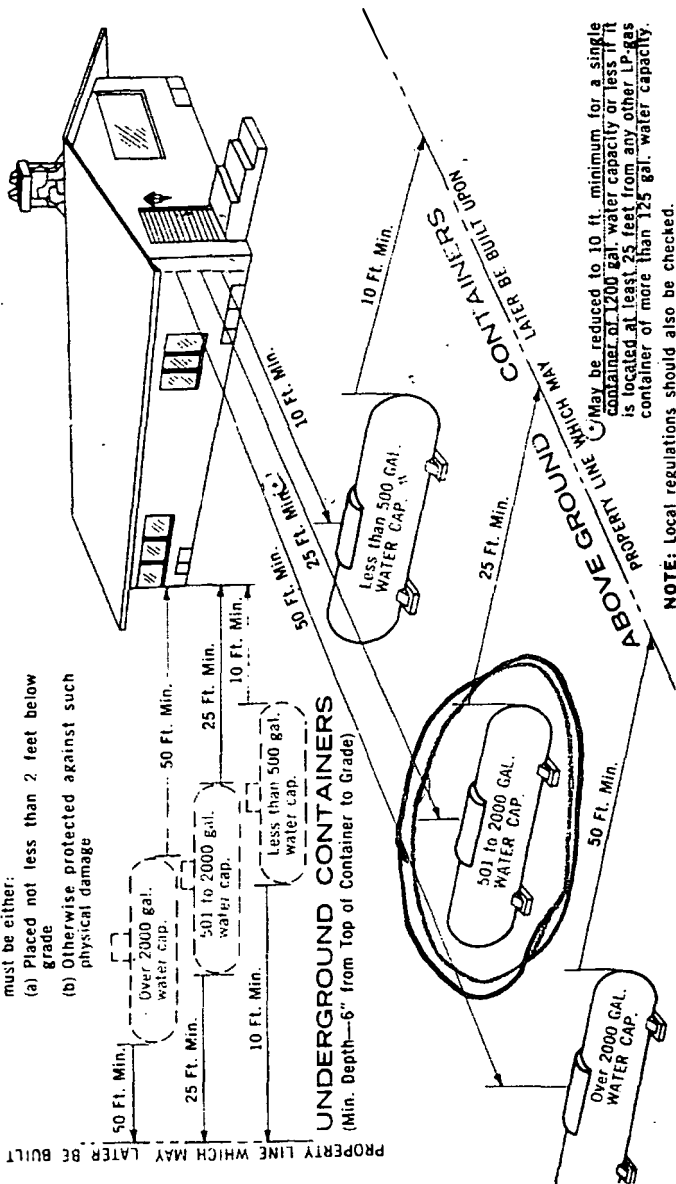


LOCATION OF STORAGE TANKS

(From NFPA Standard No. 58, 1961)

Where the container may be subject to abrasive action or physical damage due to vehicular traffic or other causes it must be either:

- (a) Placed not less than 2 feet below grade.
- (b) Otherwise protected against such physical damage.



INSTALLATION PLANNING

SIZING PIPE AND TUBING FOR THE TOTAL BTU LOAD

In order to achieve proper performance and maximum efficiency from appliances, the tubing or pipe leading from the regulator to the appliances (single stage system); or leading from one regulator to a second regulator, then to the appliances (two stage system), must be properly sized. The pressure drop between regulator and appliance in a single stage system, or between the second stage regulator and appliance in a two stage system should not exceed .55" Water Column to insure proper pilot and appliance performance.

NOTE: Increasing the regulator delivery pressure to compensate for undersized tubing or piping does not work. This only results in raising the lock-up pressure and results in high or "floating" pilot flames when other burners are not in operation.

TWO STAGE SYSTEM PIPING—A guide for properly sizing tubing or piping between the first stage and second stage regulator, at a 10 psig transmission pressure with various flows is on page 16. The guide for sizing tubing or piping between the low pressure regulator and appliance at an 11" Water Column transmission pressure with various flows is on page 17.

SINGLE STAGE SYSTEM PIPING—A guide for determining the proper size of tubing or piping required between a single stage regulator and the appliances, at an 11" Water Column transmission pressure at various flows is on page 17.

1378

POOL ENCLOSURE

TOWN OF SEWALL'S POINT FLORIDA

Permit No. _____

Date 7-8-81

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner MR. MILAN G BUSTA Present address 50 RIVER Rd. SEWALLS Pt.

Phone 287-8966

Contractor CLIMATROL FLORIDA CORP. Address _____
3718 INTERSTATE PARK RD., N.

Phone RIVIERA BEACH, FLORIDA 33404
PH: 283-8070, WEST PALM 842-4655

Where licensed County of Palm Beach License number CPOA01786

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Mansard roof screen pool Enc.

State the street address at which the proposed structure will be built: 50 River Rd Sewalls Pt.

Subdivision Rio Vista Lot No. 46

Contract price \$ 2488⁰⁰ Cost of Permit \$ 12⁰⁰

Plans approved as submitted Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Contractor Anna Jananowicz

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Milan G Busta

Approved: Jamazan Building Inspector Date 7/28/81

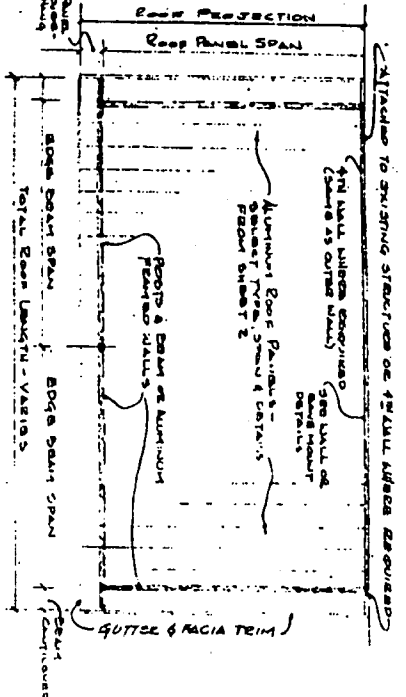
Approved: JC Starbuck Commissioner Date 7/28/81

Final Approval given: 9/8/81 JAW Date

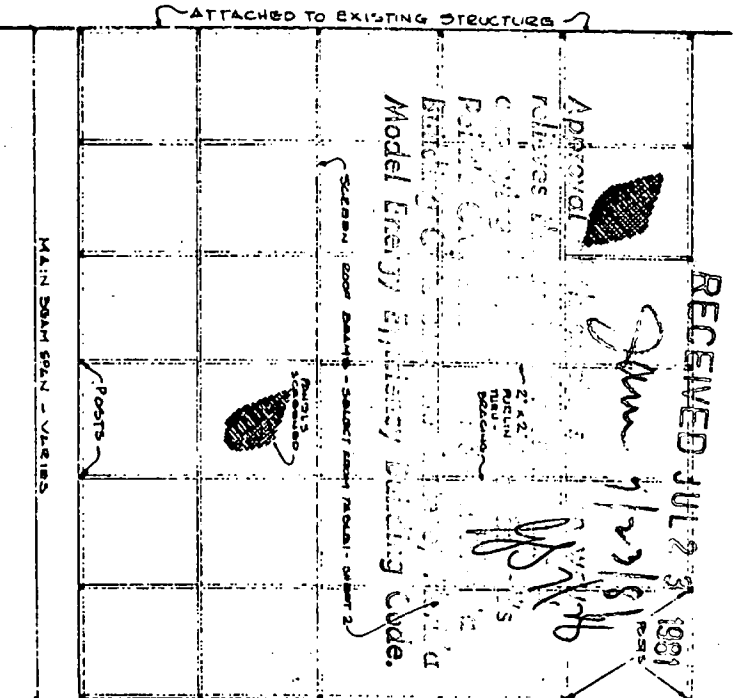
Certificate of Occupancy issued _____ Date

1-378

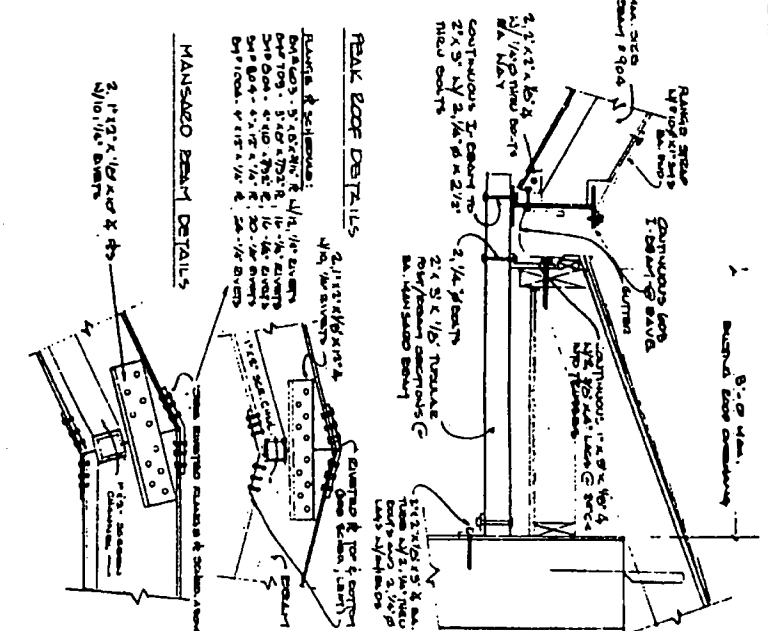
PLAN VIEW: ATTACHED CARPORT PART OF GARAGE ROOM (SEE SHEET 02)



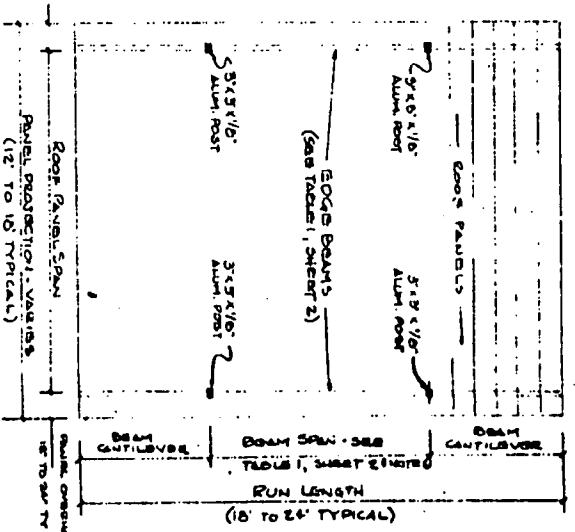
SCREENED POOL ENCLOSURE PLAN VIEW



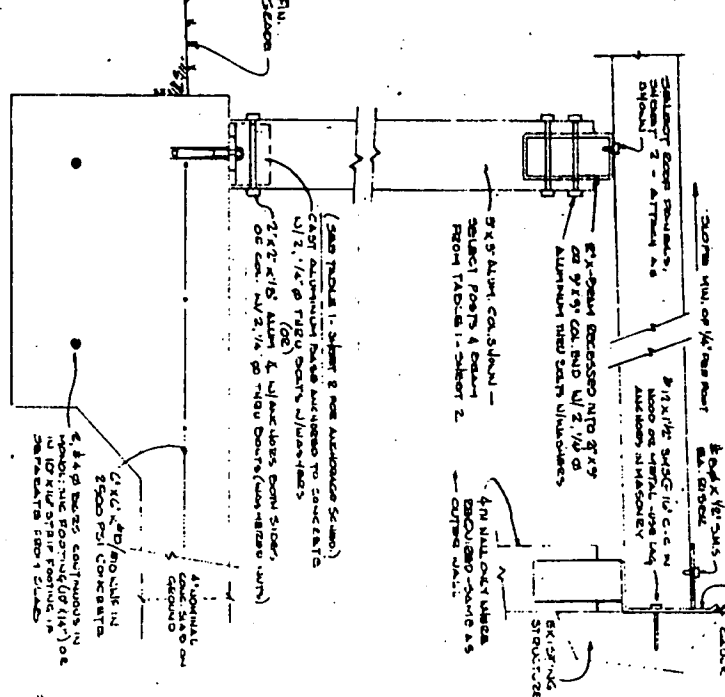
MANSAARD SCREEN ROOF ATTACHMENT DETAILS



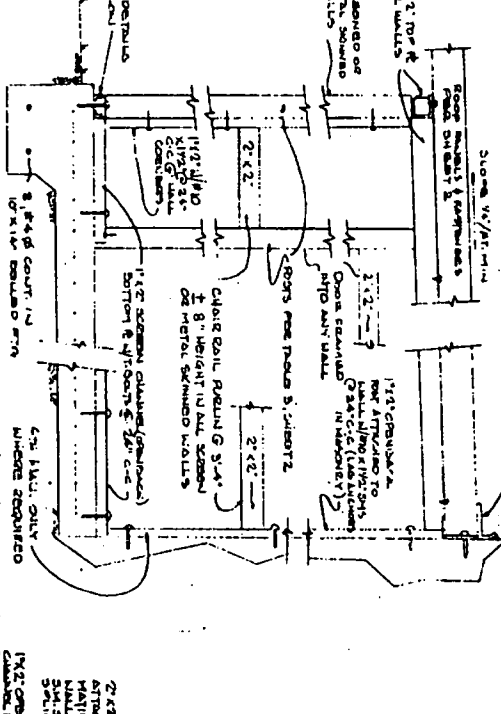
PLAN VIEW - FREE STANDING CARPORT



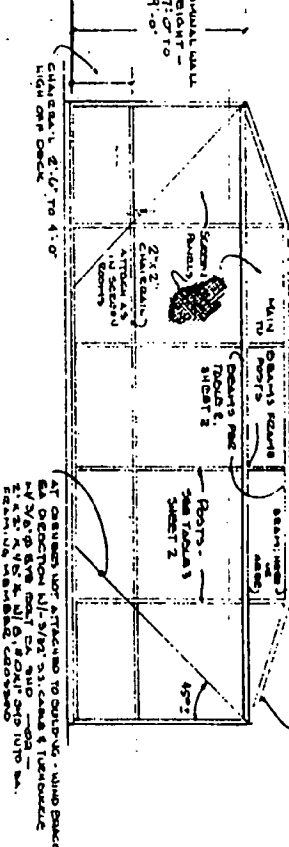
TYPICAL RATIO - CARPORT SECTION DETAILS



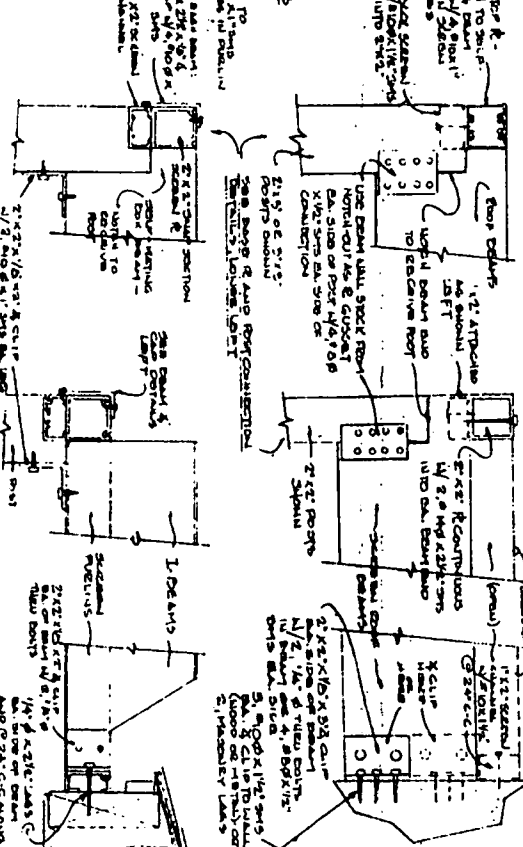
TYPICAL GARAGE ROOM SECTION DETAILS



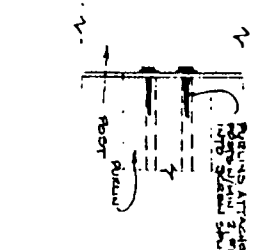
POOL ENCLOSURE ELEVATION VIEW



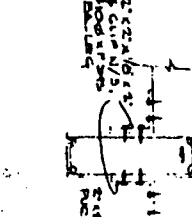
TYPICAL WALL AND BEAM END CONNECTION DETAILS



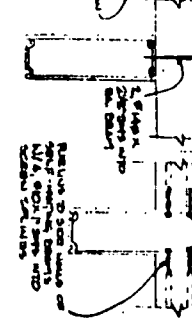
BEAM AND RAILING TO POST CONNECTION DETAILS



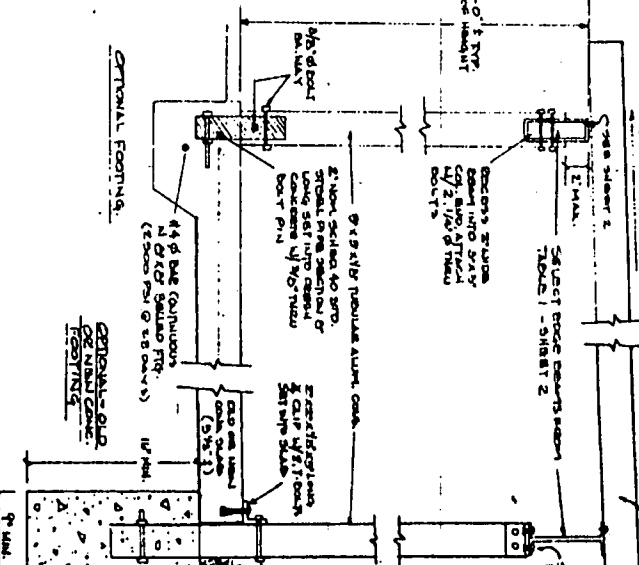
ALTERNATE POST AND BEAM CONNECTION DETAILS



ALTERNATE ROOF RAILING TO BEAM CONNECTION DETAILS



TYPICAL SECTION DETAILS



STRUCTURES & DETAILS AND DESCRIBED IN THESE PLANS WITH OBSERVATION IN ACCORDANCE WITH STANDARD BUILDING CODE (SBC) FOR LOCAL JURISDICTIONS AS FOLLOWS:

ALL WIND LOADS: 120 MPH WIND VELOCITY PRESCRIBED BY LOCAL JURISDICTIONS WHICH IMPROVE FURTHER UNKNOWN AS PROVISIONS, STAYS AND LOAD CONDITIONS.

ALL WIND LOADS: 120 MPH WIND VELOCITY PRESCRIBED BY LOCAL JURISDICTIONS WHICH IMPROVE FURTHER UNKNOWN AS PROVISIONS, STAYS AND LOAD CONDITIONS.

DATE: 07-23-81
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]

MASTER PLANS - ALUMINUM RATIOS, CARPORTS, SCREEN BEAMS, CEILING, AND POOL ENCLOSURES (120 MPH WIND REGION)	PLAN, SECTION AND DETAIL VIEWS	SHEET 1 OF 2
FOR: CLIMATEFLORIDA CORPORATION 529 SOUTH LAUDERDALE ROAD COCA, FLORIDA 32922		C-16-SC-A

EXTRUDED ALUMINUM SECTIONS (1/2 SCALE)

2" x 2" OPENBACK BEAM OR POST CHANNEL WITH SLANT SPINES AND SCREEN SPINES

SECTION PROPERTIES

S _x (IN ²)	0.040	0.040
S _y (IN ²)	0.124	0.170
I _x (IN ⁴)	0.225	0.332
I _y (IN ⁴)	1.175	1.175

2" x 2" BEAM OR POST USING HATED OPENBACK CHANNELS

SECTION PROPERTIES

S _x (IN ²)	0.040	0.040
S _y (IN ²)	0.245	0.336
I _x (IN ⁴)	0.450	0.664
I _y (IN ⁴)	1.175	1.175

2" x 2" BEAM OR POST WITH SCREEN & SCREEN SPINES

SECTION PROPERTIES

S _x (IN ²)	0.040	0.050	0.040	0.092
S _y (IN ²)	0.220	0.270	0.322	0.450
I _x (IN ⁴)	0.220	0.270	0.332	0.450
I _y (IN ⁴)	0.418	0.52	0.664	0.72
A (IN ²)	1.175	1.175	1.175	1.00

3" x 3" ROOF SECTIONS

SECTION PROPERTIES

S _x (IN ²)	0.232	0.232
S _y (IN ²)	0.37	1.333
I _x (IN ⁴)	0.232	1.000
I _y (IN ⁴)	0.77	1.44
P (IN)	1.2	1.15

SINGLE AND DOUBLE RECEIVING CHANNEL DATE AND CONNECTION SECTIONS

EXTRUDED BOX FACIA. HANGER SECTIONS

1 1/2" x 2" I-BEAM SOCKET FOR 1 1/2" END ROOF PANELS

EXTRUDED ALUMINUM BEAM SECTIONS (1/2 SCALE)

ALLOY 6063 T6

2" WIDE SELF-MATING BOX BEAMS

SECTION PROPERTIES

S _x (IN ²)	0.118	0.048	1.00	0.48
S _y (IN ²)	0.109	0.055	1.06	0.75
I _x (IN ⁴)	0.285	0.055	3.69	0.98

K_y = 1.10

SCREEN ROOF I-BEAM SECTIONS

SECTION PROPERTIES

BEAM NO.	D (IN)	B (IN)	L (IN)	S _x (IN ²)	I _x (IN ⁴)
603	2.01	3.00	0.100	0.202	2.04
703	2.00	3.00	0.125	0.270	3.00
804	2.00	4.00	0.125	0.270	4.61

K_y = 1.05

I-BEAM SECTIONS

SECTION PROPERTIES

BEAM NO.	D (IN)	S _x (IN ²)	I _x (IN ⁴)
904	2.00	0.10	1.49
1004	2.00	0.10	1.50

K_y = 1.00

DRILLED IN CONCRETE ANCHORS

MISCELLANEOUS:

1. SHEET METAL SCREWS (SMS) SHALL BE STAINLESS OR CADMIUM PLATED.
2. ALUMINUM ROOF SHALL BE ALLOY 2024 T4. STEEL BOLTS SHALL BE STAINLESS OR GALVANIZED.
3. IN LIEU OF DRILLED-IN ANCHORS, 3/8" x 3" COUDS SET INTO FRESH CONCRETE MIN. OF 6" x 4" MAY BE SUBSTITUTED AS FOLLOWS:
BEAM 3/8" x 3" I-BOLT = 2 P-BOLTS
BEAM 3/8" x 3" I-BOLT = 4 T-BOLTS

ROOF AND BEAM SPAN TABLES

TABLE 1 - SPAN TABLE FOR EDGE BEAMS IN CANOPY ROOF STRUCTURES

BEAM SIZE	MAXIMUM CLEAR BEAM SPANS FOR CONTINUOUS EDGE BEAMS BY ROOF PANEL SPACING (MAXIMUM 12'-0")						MINIMUM ROOF SIZE AND NUMBER OF BASE ANCHOR BOLTS REQUIRED
	10 FT	11 FT	12 FT	13 FT	14 FT	15 FT	
2" x 2" x 0.060"	5'-7"	5'-4"	5'-2"	5'-0"	4'-10"	4'-8"	2" x 2" ROOF W/ MIN OF 2 T-BOLTS (PER ROOF)
2" x 3" x 0.050"	6'-5"	6'-2"	6'-0"	5'-9"	5'-7"	5'-5"	2" x 3" x 0.050" OR EITHER 3" x 3" ROOF SECTION W/ MIN OF 2, P-BOLTS (PER ROOF) OR 4, T-BOLTS (PER ROOF)
2" x 4" S.M. BEAM	11'-0"	10'-7"	10'-5"	9'-10"	9'-6"	9'-4"	WITHIN 3" x 3" ROOF SECTION W/ MIN OF 3, P-BOLTS (PER ROOF)
2" x 6" S.M. BEAM	14'-5"	13'-11"	13'-5"	13'-0"	12'-7"	12'-2"	WITHIN 3" x 3" ROOF SECTION W/ MIN OF 3, P-BOLTS (PER ROOF)
2" x 7" S.M. BEAM	18'-0"	17'-2"	16'-6"	17'-10"	17'-4"	16'-10"	WITHIN 3" x 3" ROOF SECTION W/ MIN OF 3, P-BOLTS (PER ROOF)
I-BEAM #603	15'-3"	14'-8"	14'-2"	13'-8"	13'-5"	12'-10"	WITHIN 3" x 3" ROOF SECTION W/ MIN OF 3, P-BOLTS (PER ROOF)
I-BEAM #703	18'-3"	17'-6"	16'-11"	16'-5"	15'-11"	15'-5"	WITHIN 3" x 3" ROOF SECTION W/ MIN OF 3, P-BOLTS (PER ROOF)
I-BEAM #804	22'-6"	21'-7"	20'-9"	20'-3"	19'-6"	19'-0"	WITHIN 3" x 3" ROOF SECTION W/ MIN OF 3, P-BOLTS (PER ROOF)
I-BEAM #904	24'-5"	23'-0"	22'-0"	21'-1"	20'-5"	19'-9"	WITHIN 3" x 3" ROOF SECTION W/ MIN OF 3, P-BOLTS (PER ROOF)
I-BEAM #1004	25'-10"	24'-6"	23'-7"	22'-7"	21'-10"	21'-0"	WITHIN 3" x 3" ROOF SECTION W/ MIN OF 3, P-BOLTS (PER ROOF)

TABLE 2 - SPAN TABLE FOR SCREENED ROOF BEAMS

BEAM SIZE	MAXIMUM CLEAR SPANS FOR SCREENED ROOF BEAMS @ VARIOUS BEAM SPACINGS							
	4'-0" C-C	5'-0" C-C	6'-0" C-C	8'-0" C-C	10'-0" C-C	12'-0" C-C	16'-0" C-C	20'-0" C-C
2" x 4" S.M. BEAM	25'-0"	22'-6"	21'-6"	20'-0"	19'-0"	18'-6"	17'-11"	17'-6"
2" x 6" S.M. BEAM	32'-10"	29'-6"	28'-3"	26'-0"	25'-0"	24'-4"	23'-6"	22'-10"
2" x 7" S.M. BEAM	46'-0"	41'-0"	39'-10"	36'-10"	35'-4"	34'-0"	32'-10"	32'-0"
I-BEAM #603	34'-9"	31'-4"	30'-0"	27'-9"	26'-8"	25'-9"	24'-10"	24'-2"
I-BEAM #703	41'-6"	37'-6"	36'-0"	33'-0"	31'-10"	31'-0"	29'-11"	29'-1"
I-BEAM #804	50'-0"	46'-0"	44'-6"	41'-0"	39'-6"	38'-4"	37'-0"	36'-0"
I-BEAM #904	55'-0"	49'-6"	47'-6"	45'-2"	43'-7"	42'-2"	40'-10"	39'-9"
I-BEAM #1004	59'-0"	53'-0"	50'-6"	48'-0"	46'-5"	45'-2"	43'-7"	42'-4"

TABLE 3 - POST LENGTHS AND SPACING REQUIREMENTS OR METAL SKINNED WALLS

POST SIZE	NOMINAL WALL HEIGHT	SCREENED WALLS		METAL SKINNED WALLS	
		MAX. SPACING, C-C	MAX. SPACING, I-C	MAX. SPACING, C-C	MAX. SPACING, I-C
2" x 2" x 0.060"	7'	5'-3"	2'-7"	5'-3"	2'-7"
2" x 3" x 0.050"	8'	4'-0"	2'-0"	4'-0"	2'-0"
2" x 4" x 0.050"	7'	6'-5"	3'-2"	6'-5"	3'-2"
2" x 2" x 0.060"	8'	4'-5"	2'-4"	4'-5"	2'-4"
2" x 2" x 0.060"	9'	3'-8"	2'-9"	3'-8"	2'-9"
2" x 2" x 0.060"	10'	3'-1"	2'-5"	3'-1"	2'-5"
2" x 3" x 0.050"	7'	5'-6"	3'-9"	5'-6"	3'-9"
2" x 4" x 0.050"	8'	6'-6"	4'-0"	6'-6"	4'-0"
2" x 6" x 0.050"	9'	8'-9"	5'-0"	8'-9"	5'-0"
2" x 7" x 0.050"	10'	11'-0"	6'-0"	11'-0"	6'-0"
2" x 8" x 0.050"	11'	13'-0"	7'-0"	13'-0"	7'-0"
2" x 10" x 0.050"	12'	17'-0"	9'-0"	17'-0"	9'-0"

RECEIVED JUL 23 1981

Jan 7/23/81

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sawdell's Building Code and the State of Florida Model Energy Efficiency Building Code.

ROOF PANEL SECTIONS AND ASSEMBLY DATA

PANEL TYPE A

12" x 12" x 0.052" ROLLUP ALUMINUM PANEL WITH INTERLOCKING EDGES (ALLOY 2024 T4)

MAXIMUM ALLOWABLE SPAN: 15'-0"

PANEL TYPE B

12" x 6" x 0.052" ROLLUP ALUMINUM PANEL WITH INTERLOCKING EDGES (ALLOY 2024 T4)

MAXIMUM ALLOWABLE SPAN: 12'-0"

REMARKS: PERFORMANCE OF ALUMINUM ROOF PANELS UNDER VARIOUS LOADS AND ASSEMBLY ARRANGEMENTS HAVE BEEN VERIFIED BY LOAD TESTS CONDUCTED UNDER SUPERVISION OF THE UNDERSIGNED ENGINEER. STRUCTURES DETAIL IN THESE PLANS WERE DESIGNED IN ACCORDANCE WITH STANDARD BUILDING CODE (305-000), FOR LOAD CONDITIONS AS FOLLOWS: DEAD LOADS + 20 PSF LIVE LOADS (Δ = 1/100 MAX.) 120 MPH WIND VELOCITY PRESSURES. ADHERE TO LOCAL ORDINANCES WHICH IMPOSE FURTHER LIMITATIONS ON PROTECTIVE, DRAINAGE AND LOAD CONDITIONS.

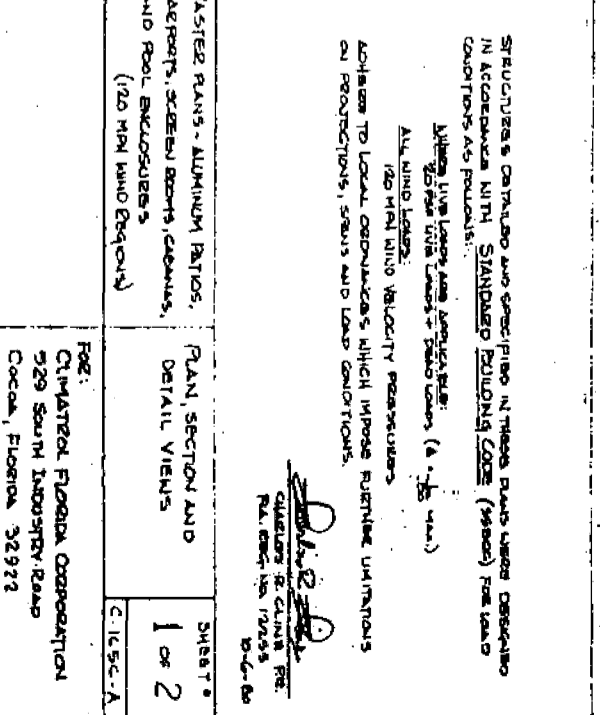
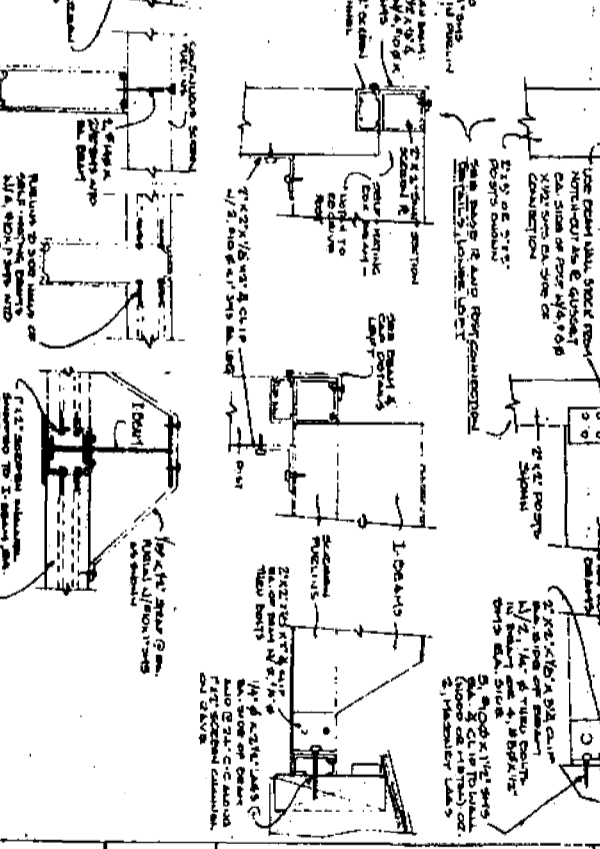
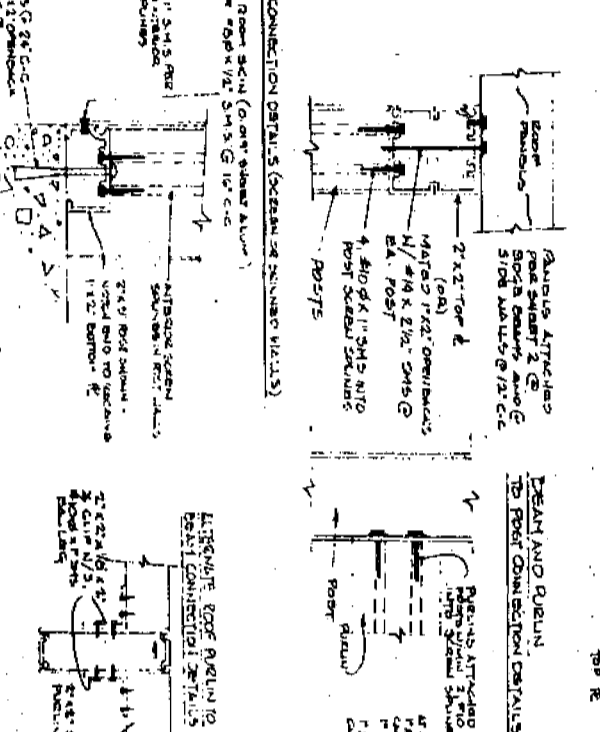
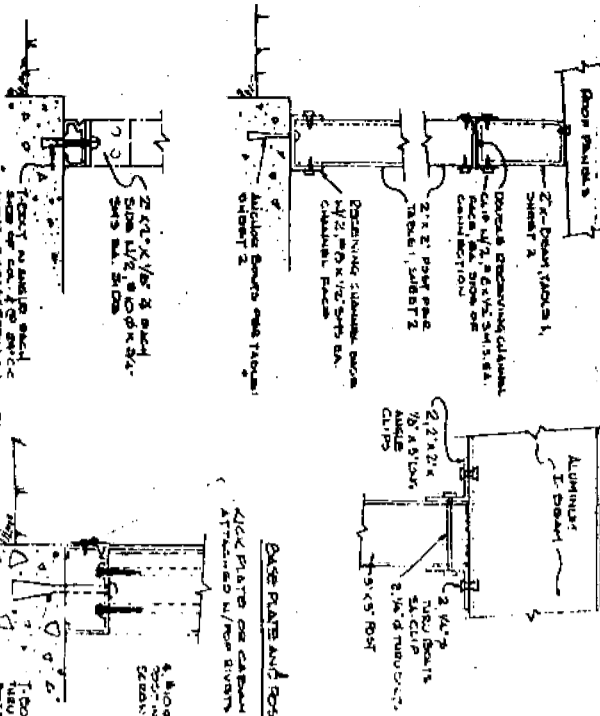
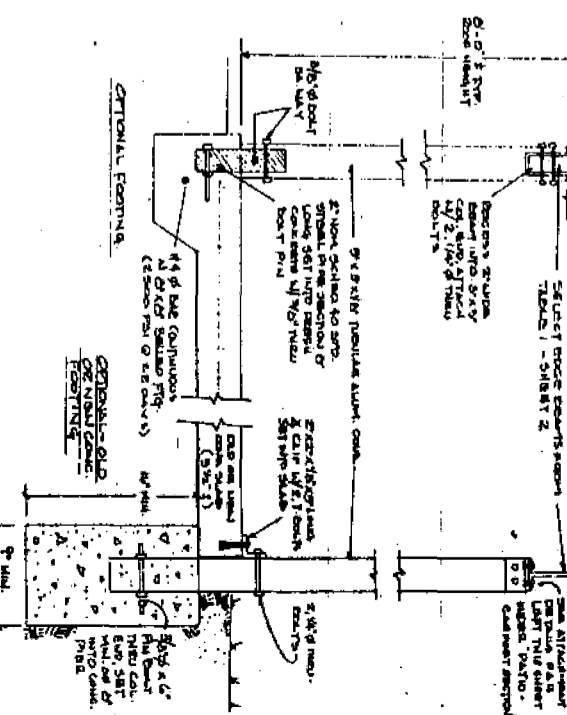
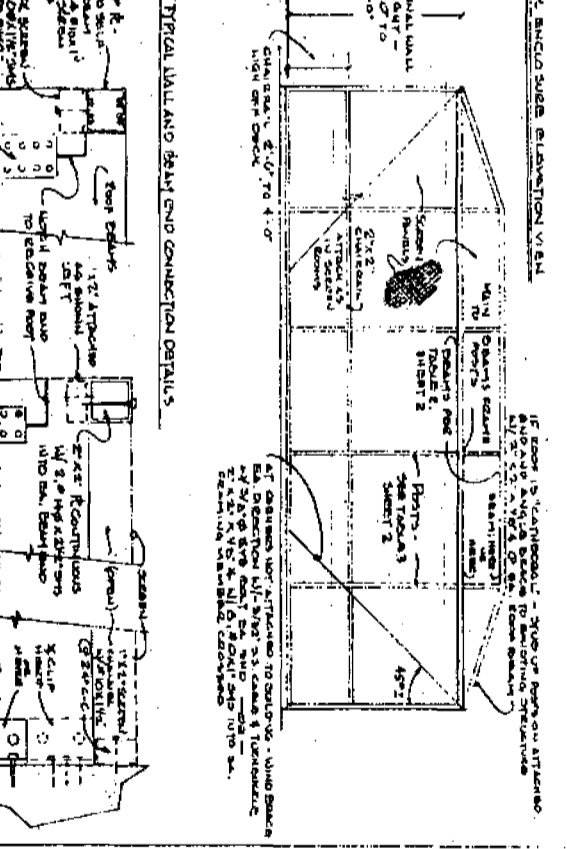
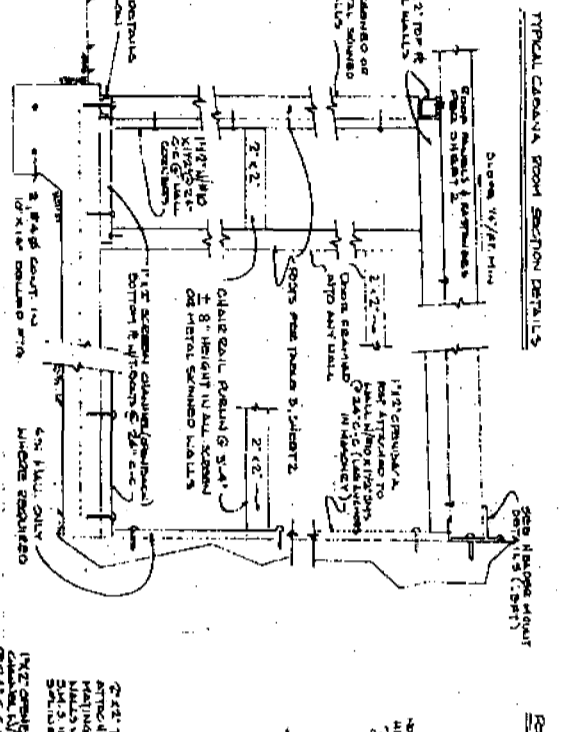
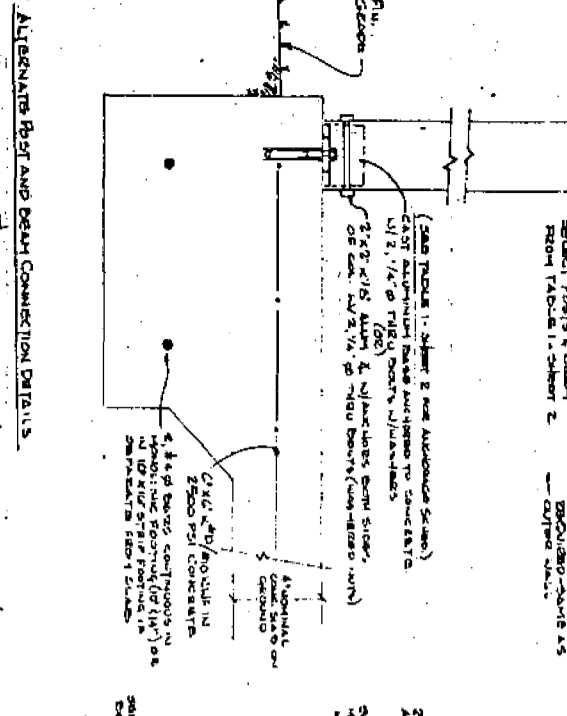
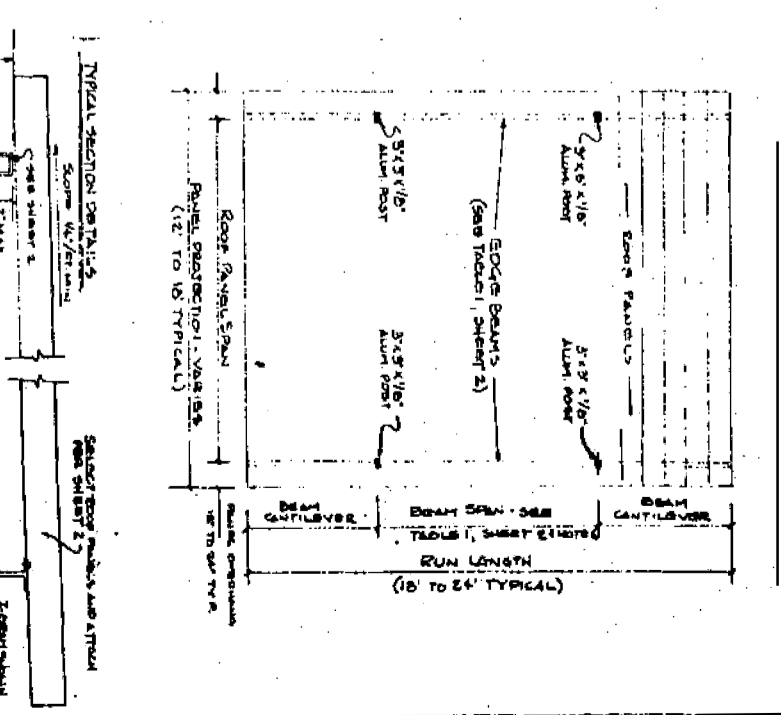
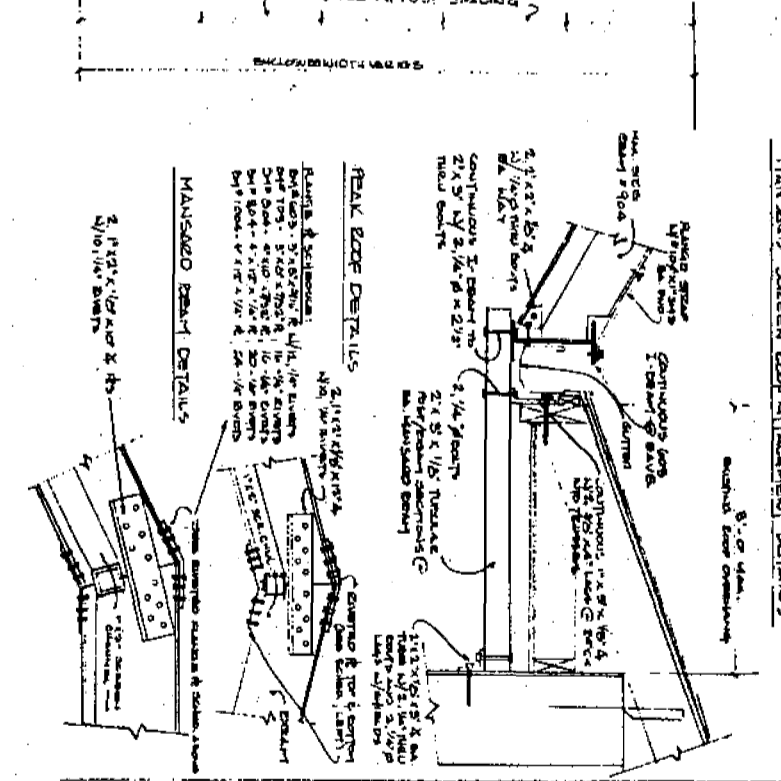
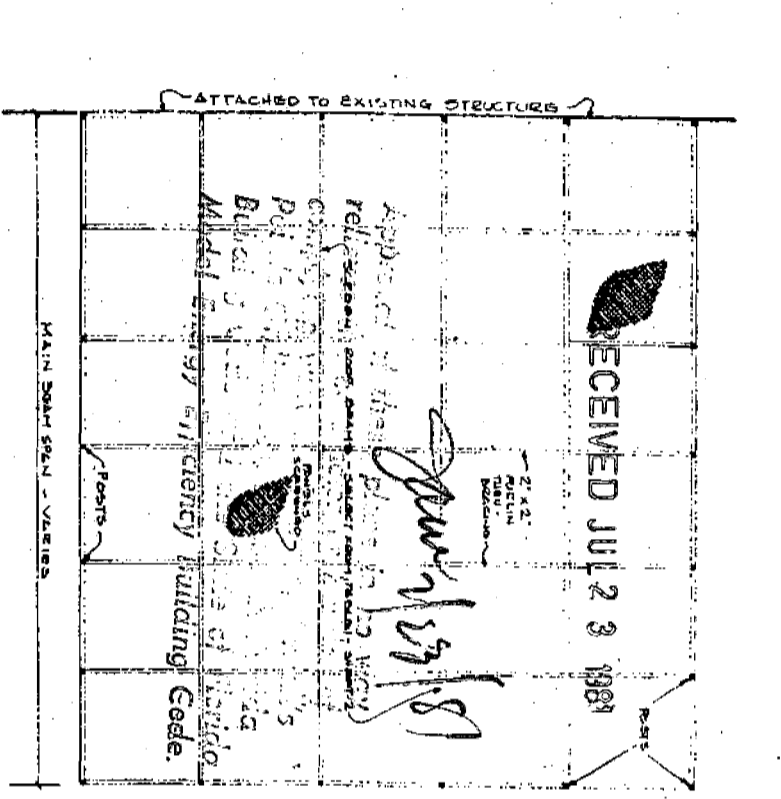
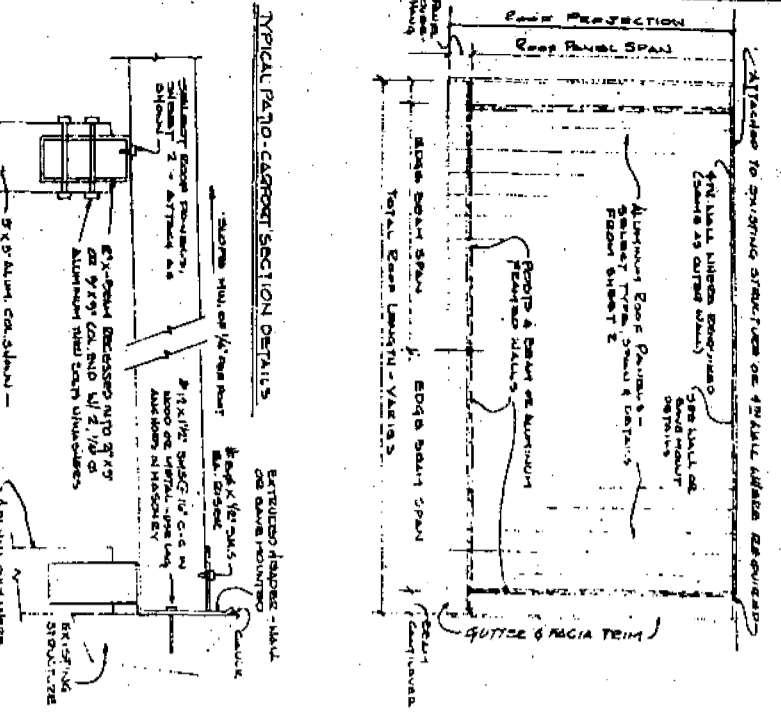
MASTER PLANS - ALUMINUM PARTS, CARPETS, SCREEN ROOMS, CANALS AND POOL ENCLOSURES (120 MPH WIND REGION)

COMPONENT SECTIONS & DATA WITH SPAN TABLES

SHEET # 2 OF 2

C-1656-A

FOR: CITITEXEL FLORIDA CORPORATION, 529 SOUTH INDUSTRY ROAD, COCOA, FLORIDA 32922



STRUCTURE'S DETAILS AND SPECIFICATIONS IN THESE PLANS WERE OBSERVED IN ACCORDANCE WITH STANDARD BUILDING CODE (1980) FOR LOAD CONDITIONS AS FOLLOWS:

ALL WIND LOADS: 120 MPH WIND (SOUTH FLORIDA)

ALL WIND LOADS: 120 MPH WIND (SOUTH FLORIDA)

ADHERE TO LOCAL ORDINANCES, WHICH IMPOSE FURTHER LIMITATIONS ON PROJECTIONS, STAIRS AND LAND DEMONSTRATIONS.

DATE: 7/15/81

DESIGNED BY: [Signature]

CHECKED BY: [Signature]

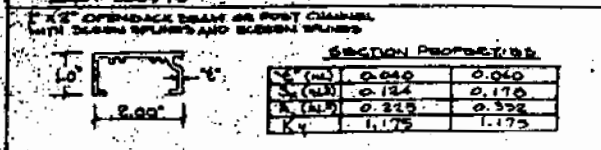
MASTER PLANS - ALUMINUM PATIOS, CARPORTS, SCREENED PATIOS, CEILING, AND POOL ENCLOSURES (120 MPH WIND REGION)

PROJECT: CIVILITROL FLORIDA CORPORATION 929 SOUTH JACOBY RD. COCA, FLORIDA 32922

SHEET: 1 OF 2

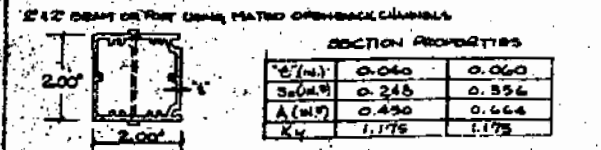
C.I.E.S.C.A.

EXTRUDED ALUMINUM SECTIONS (1/2 SCALE)
ALLOY 6063 T5



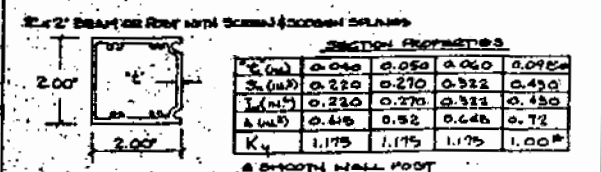
SECTION PROPERTIES

S (IN)	0.040	0.060
Sx (IN)	0.134	0.170
Sy (IN)	0.225	0.322
Ky	1.175	1.175



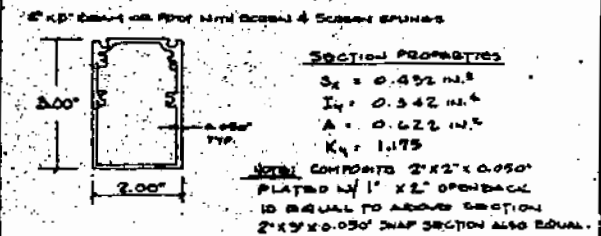
SECTION PROPERTIES

S (IN)	0.060	0.060
Sx (IN)	0.248	0.356
Sy (IN)	0.430	0.664
Ky	1.175	1.175



SECTION PROPERTIES

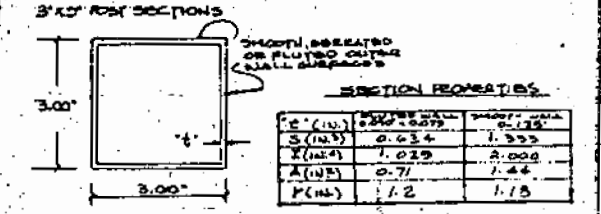
S (IN)	0.040	0.060	0.060	0.092
Sx (IN)	0.220	0.270	0.322	0.430
Sy (IN)	0.230	0.270	0.322	0.430
Ky	1.175	1.175	1.175	1.000



SECTION PROPERTIES

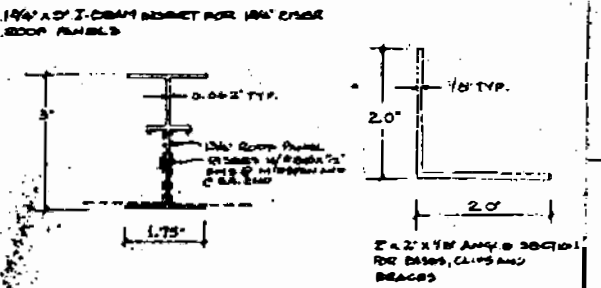
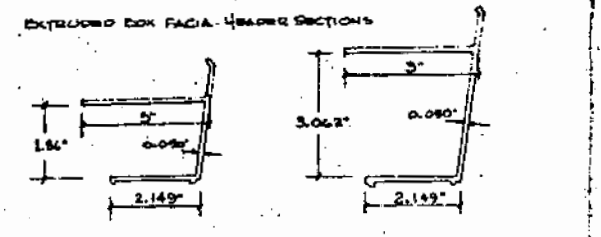
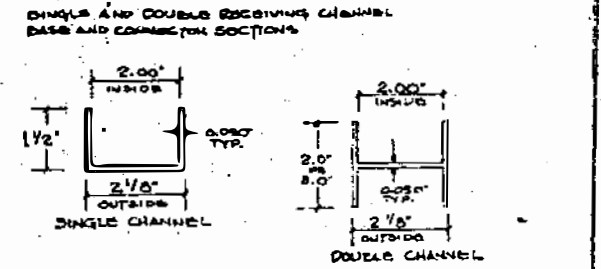
$S_x = 0.492 \text{ IN}^2$
 $S_y = 0.342 \text{ IN}^2$
 $A = 0.622 \text{ IN}^2$
 $K_y = 1.175$

NOTE: COMPONETS 2" X 2" X 0.050" PLATED W/ 1" X 2" OPENBACK IS EQUAL TO ABOVE SECTION. 2" X 2" X 0.050" SHAP SECTION ALSO EQUAL.

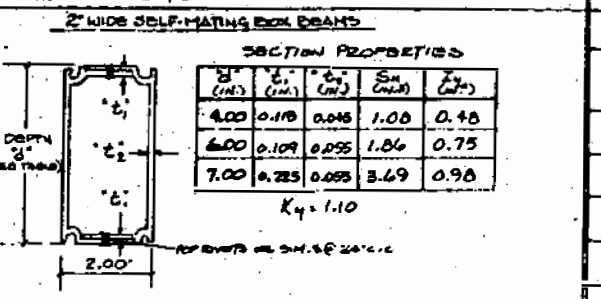


SECTION PROPERTIES

S (IN)	0.060	0.060	0.060	0.060
Sx (IN)	0.234	0.333	0.430	0.529
Sy (IN)	0.234	0.333	0.430	0.529
Ky	1.175	1.175	1.175	1.175



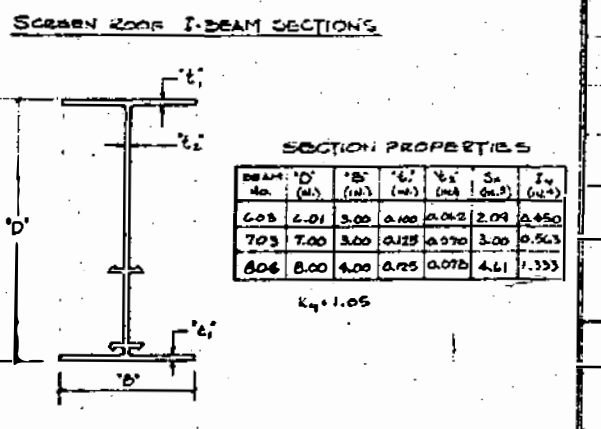
EXTRUDED ALUMINUM BEAM SECTIONS (1/2 SCALE)
ALLOY 6063 T5



SECTION PROPERTIES

S (IN)	0.040	0.060	0.060	0.060
Sx (IN)	0.118	0.045	1.00	0.48
Sy (IN)	0.109	0.055	1.06	0.75
Ky	0.285	0.055	3.69	0.98

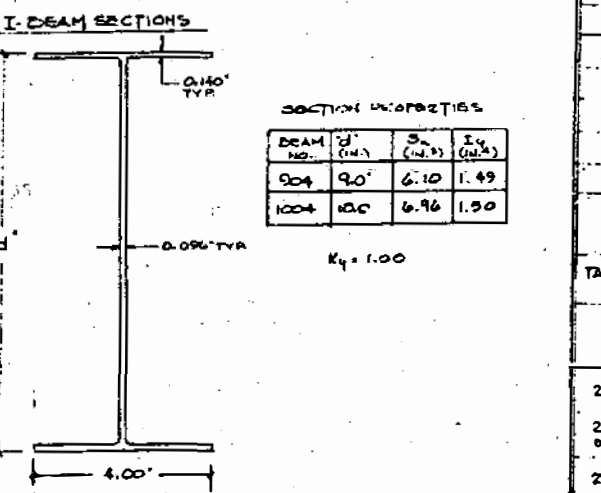
$K_y = 1.10$



SECTION PROPERTIES

BEAM No.	D (IN)	B (IN)	h (IN)	Sx (IN)	Sy (IN)	Ix (IN ⁴)	Iy (IN ⁴)
603	2.01	3.00	0.100	0.042	2.09	0.450	0.563
703	2.00	3.00	0.125	0.070	3.00	0.563	0.563
804	2.00	4.00	0.075	0.070	4.61	1.333	0.563

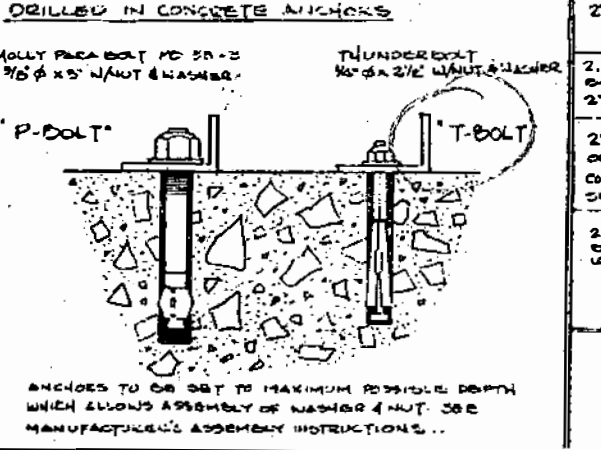
$K_y = 1.05$



SECTION PROPERTIES

BEAM No.	D (IN)	Sx (IN)	Ix (IN ⁴)
904	2.00	6.10	1.49
1004	2.00	6.96	1.50

$K_y = 1.00$



MISCELLANEOUS:

1. SHEET METAL SCREWS (SMS) SHALL BE STAINLESS OR ALUMINUM RATED.
2. ALUMINUM SCREWS SHALL BE ALLOY 2024 T4. STEEL BOLTS SHALL BE STAINLESS OR GALVANIZED.
3. IN LIEU OF DRILLED-IN ANCHORS, 3/8" X 3" BOLTS SET INTO FRESH CONCRETE MIN. OF 6" MAY BE SUBSTITUTED AS FOLLOWS:
BEAM 1 1/4" X 2" I-BEAM = 2 P-BOLTS
BEAM 2" X 2" I-BEAM = 4 T-BOLTS

POST AND BEAM SPAN TABLES

TABLE 1 - SPAN TABLE FOR EDGE BEAMS IN CANOPY ROOF STRUCTURES

BEAM SIZE	MAXIMUM CLEAR BEAM SPANS FOR CONTINUOUS EDGE BEAMS BY ROOF PANEL SPAN HORIZONTAL					MINIMUM FOOT SIZE AND NUMBER OF BOLT AREAS BOLTS REQUIRED
	10 FT	11 FT	12 FT	13 FT	14 FT	
2" X 2" X 0.060"	5'-7"	5'-4"	5'-2"	5'-0"	4'-10"	4'-8"
2" X 3" X 0.050"	6'-5"	6'-2"	6'-0"	5'-9"	5'-7"	5'-5"
2" X 4" S.M. BEAM	11'-0"	10'-7"	10'-5"	9'-10"	9'-6"	9'-4"
2" X 6" S.M. BEAM	14'-5"	13'-11"	13'-5"	13'-0"	12'-7"	12'-2"
2" X 7" S.M. BEAM	20'-0"	19'-2"	18'-6"	17'-10"	17'-4"	16'-10"
I-BEAM #603	15'-5"	14'-8"	14'-2"	13'-8"	13'-5"	12'-10"
I-BEAM #703	18'-5"	17'-6"	16'-11"	16'-5"	15'-11"	15'-5"
I-BEAM #804	22'-6"	21'-7"	20'-9"	20'-5"	19'-6"	19'-0"
I-BEAM #904	24'-5"	23'-0"	22'-0"	21'-7"	20'-5"	19'-9"
I-BEAM #1004	25'-10"	24'-6"	23'-7"	22'-7"	21'-10"	21'-0"

REMARKS: INTERPOLATION BETWEEN VALUES IS PERMISSIBLE. BEAM ENDS MAY CANTILEVER UP TO 50% OF TABLE SPANS. SEE OTHER SPANS BEHIND TABLE VALUE OF 10".

NOTE: USE ANCHOR TYPES AND OBTAIN LOWER LEFT.

TABLE 2 - SPAN TABLE FOR SCREENED ROOF BEAMS

BEAM SIZE	MAXIMUM CLEAR SPANS FOR SCREENED ROOF BEAMS & VARIOUS BEAM SPACINGS							
	4'-0" C-C	5'-0" C-C	5'-6" C-C	6'-0" C-C	6'-6" C-C	7'-0" C-C	7'-6" C-C	8'-0" C-C
2" X 4" S.M. BEAM	25'-0"	22'-6"	21'-6"	20'-0"	19'-0"	18'-6"	17'-11"	17'-6"
2" X 6" S.M. BEAM	32'-10"	29'-6"	28'-3"	26'-0"	25'-0"	24'-4"	23'-6"	22'-10"
2" X 7" S.M. BEAM	46'-0"	41'-0"	39'-10"	36'-0"	35'-4"	34'-0"	32'-10"	32'-0"
I-BEAM #603	34'-9"	31'-4"	30'-0"	27'-9"	26'-8"	25'-9"	24'-10"	24'-2"
I-BEAM #703	41'-6"	37'-6"	36'-0"	33'-0"	31'-10"	31'-0"	29'-11"	29'-1"
I-BEAM #804	50'-0"	46'-0"	44'-6"	41'-0"	39'-6"	38'-4"	37'-0"	36'-0"
I-BEAM #904	55'-0"	49'-8"	47'-6"	45'-2"	43'-7"	42'-8"	40'-10"	39'-9"
I-BEAM #1004	59'-0"	53'-0"	50'-6"	48'-2"	46'-5"	45'-2"	43'-7"	42'-4"

REMARKS: BEAM SPANS ASSUME LATERAL BRACING (2" X 2" 1/4" FRAMED ACROSS ROOF @ EACH POST IN SCREENED SIDE WALLS.

TABLE 3 - POST LENGTHS AND SPACING IN SCREENED OR METAL SKINNED WALLS

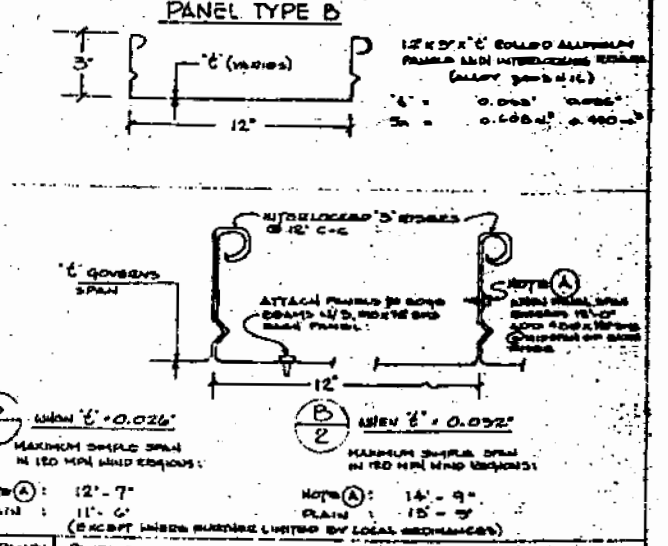
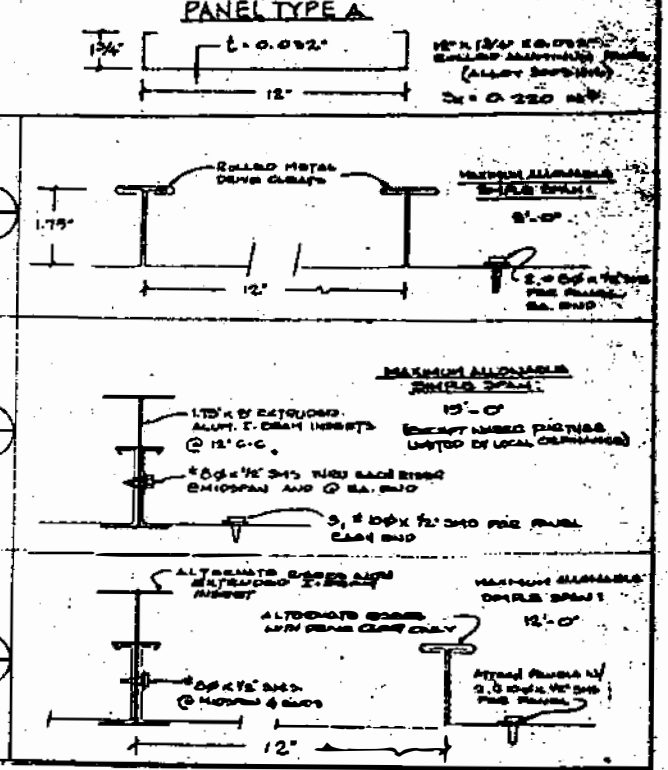
POST SIZE	NOMINAL WALL HEIGHT	SCREENED WALLS	METAL SKINNED WALLS
		MAX. SPACING, C-C	MAX. SPACING, C-C
2" X 2" X 0.040"	7'	5'-3"	2'-7"
2" X 2" X 0.050"	8'	4'-0"	2'-0"
2" X 2" X 0.060"	7'	5'-0"	2'-0"
2" X 2" X 0.060"	8'	4'-6"	2'-4"
2" X 2" X 0.060"	9'	4'-9"	2'-4"
2" X 2" X 0.060"	10'	4'-9"	2'-4"
2" X 2" X 0.060"	11'	4'-9"	2'-4"
2" X 2" X 0.060"	12'	4'-9"	2'-4"
2" X 3" X 0.050"	7'	5'-3"	2'-7"
2" X 3" X 0.050"	8'	4'-0"	2'-0"
2" X 3" X 0.050"	9'	4'-6"	2'-4"
2" X 3" X 0.050"	10'	4'-9"	2'-4"
2" X 3" X 0.050"	11'	4'-9"	2'-4"
2" X 3" X 0.050"	12'	4'-9"	2'-4"

RECEIVED JUL 23 1981

Janey 7/23/81

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the State of Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

ROOF PANEL SECTIONS AND ASSEMBLY DATA



PERFORMANCE OF ALUMINUM ROOF FINISHES UNDER VARIOUS LOAD CONDITIONS AND ASSEMBLY ARRANGEMENTS HAVE BEEN VERIFIED BY LOAD TESTS CONDUCTED UNDER SUPERVISION OF THE LABORATORY ENGINEER.

STRUCTURES DETAIL IN THESE PLANS MUST BE OBSERVED IN ACCORDANCE WITH STANDARD BUILDING CODE (SBC), FOR LOAD CONDITIONS AS FOLLOWS:

DEAD LOADS + 20 PSF LIVE LOADS (Δ = 1/50 MAX.)
120 MPH WIND VELOCITY PRESSURES.

ADHERE TO LOCAL ORDINANCES WHICH IMPOSE FURTHER LIMITATIONS ON PROTECTIONS, SPANS AND LOAD CONDITIONS.

CHARLES R. BENTON, P.E.
FLA. REG. NO. 19239

MASTER PLANS - ALUMINUM PARTS, CARPETS, SCREEN ROOMS, CABINETS, AND POOL ENCLOSURES (120 MPH WIND REGION)

COMPONENT SECTIONS & DATA WITH SPAN TABLES

SHEET # 2 OF 2

C-1656-A

FOR: CIMAFLOR FLORIDA CORPORATION
529 SOUTH INDUSTRY ROAD
COCCA, FLORIDA 32922

3956

RE-ROOF

TAX FOLIO NO.

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, PORCH, OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner MERLE + MARY OVEER, HOISER Present address 102 S RIVER ROAD

Phone 1-407-287-9324

Contractor STEIN, Co., INC. Address 602 S MARKET AVE

Phone 465-9468 FT. PIERCE FL 34938

Where licensed State License number CC 0142778

Electrical Contractor License number

Plumbing Contractor License number

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: RE-ROOF 30YEAR DIMENSIONAL SHINGLE

State the street address at which the proposed structure will be built:

REROOF - 102 S RIVER ROAD, STUART, FL

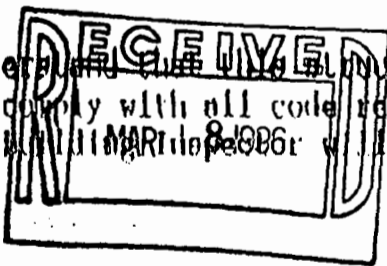
Subdivision 1238-41-002 000 0004 0046 000000 Lot Number Block Number

Contract price \$ 4900.00 Cost of permit \$ 100.00

Plans approved as submitted Plans approved as marked

I understand that this permit is good for 12 months from the date of its issue and that structure must be completed in accordance with the approved plan. I further understand approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, collecting the area of trash, scrap building materials and other debris, such debris being gathered in one area at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-Tagging" the construction project.

Contractor [Signature]



I understand that this structure must be in accordance with the approved plans and that must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Merle W. Overholser

TOWN RECORD

Date submitted

Approved: Dale Brown Building Inspector Date

Approved: [Signature] Commissioner Date

Final approval given: Date

CERTIFICATE OF OCCUPANCY Issued (if applicable) Date

PERMIT NO.

Address: 602 S. Market Avenue
Ft. Pierce, Fl. 34982

This instrument prepared by:
Stein & Co., Inc.

Address: 602 S. Market Avenue
Ft. Pierce, Fl. 34982

Property Appraiser's Parcel Identification

Folio# 1238-41-002-000-0046

Space above this line
for processing data

Space above this line
for recording data

Permit No. _____

Notice of Commencement

State of Florida
County of Martin

The undersigned hereby give notice that improvements will be made to certain Real Property and in accordance with Section 713:13 of the Florida Statutes. The following information is provided in this **Notice of commencement**.

Legal description of property (include Street address, if available):

102 S. River Road, Stuart, Fl. - 1238 41 002 000 0046 000000
Rio Vista Sid 1046

General description of improvement: Reroof

Owner _____ Owner Interest: Residence

Address:

Contractor Stein & Co., Inc.

Address: 602 S. Market Avenue, FP, Fl. 34982

Surety:

Address: _____ Amount of Bond \$ _____

Any person making a loan for the construction of the improvements:

Name:

Address:

Person within the State of Florida designated by owner whom notice or other documents may be served provided by Section 713,12 (1) 7., Florida Statues

Name:

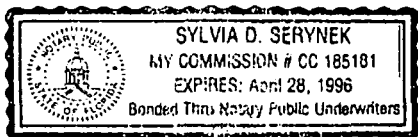
Address:

In addition to himself, owner designates _____ of _____ to receive a copy of lienor's Notice as provided in Section 713,12 (1) (B), Florida Statutes.

Expiration date of Notice of Commencement (the expiration date is One year from the date of recording unless a different date is specified).

Merle W Overholser
Mary E Overholser
Signature of Owner

Merle W^m Overholser
Mary E Overholser
Printed Signature of Owner



Notary Rubber Stamp Seal

I have relied upon the following identification of the Affiant. Known to me

Sworn to and subscribed before me this

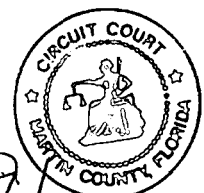
13 day of Mar. 1996
Sylvia D Serynek
Notary Signature

SYLVIA D SERNYEK
Printed Notary Signature

STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE
FOREGOING _____ PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL
MARSHA STILLER, CLERK

BY _____ (D.C.)
DATE 3/21/96



7656

EXTERIOR DOOR

TOWN OF SEWALL'S POINT

Date 6/29/05

BUILDING PERMIT NO. 7656

Building to be erected for Overholser

Type of Permit Exterior Door

Applied for by O/B

(Contractor)

Building Fee 3500

Subdivision Rio Vista Lot 46 Block _____

Radon Fee _____

Address 102 S. River Rd

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:

12384100200000046000000

Electrical Fee _____

Plumbing Fee _____

Roofing Fee _____

Amount Paid _____ Check # _____ Cash 3500 Other Fees (_____)

Total Construction Cost \$ 40000

TOTAL Fees 3500

Signed Mary E. Overholser
Applicant

Signed Gene Summers (Signature)
Town Building Official

PERMIT

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |
| | | <input checked="" type="checkbox"/> WINDOW + DOOR REPL |

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

RECEIVED

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Date: 6-24-05 Permit Number: _____

OWNER/TITLEHOLDER NAME: Merle W. Overholser Phone (Day) 7267-9324 (Fax) _____

Job Site Address: 7102 S. River Rd City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Rio Vista Parcel Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: Replacement of exterior door and shutters

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$400 (Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

(If no, fill out the Contractor & Subcontractor sections below)

Is Improvement cost 50% or more of Fair Market Value? YES NO

(If yes, Owner Builder Affidavit must accompany application)

Method of Determining Fair Market Value: _____

CONTRACTOR/Company: _____ Phone: _____ Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic.# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001 National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) Merle W. Overholser

CONTRACTOR SIGNATURE (required)

State of Florida, County of: MARTIN

On State of Florida, County of: _____

This the 27th day of JUNE, 2005

This the _____ day of _____, 200

by MERLE WILLIAM OVERHOLSER who is personally known to me or produced FLD 0164-539-43-2A-0

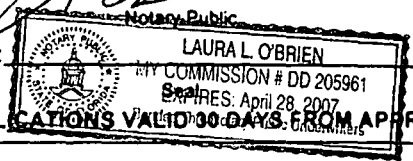
by _____ who is personally known to me or produced _____

as identification. [Signature] *6/19/08

As identification. _____

My Commission Expires: _____

My Commission Expires: _____



Notary Public

Seal

PERMIT APPLICATIONS VALID 90 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: Merle W. Overholser Date: 6-24-05

Signature: _____

Address: 102 S. River Rd

City & State: Stuart, FL

Permit No. _____



MIAMI-DADE COUNTY
BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Jeld-Wen, Inc.
31725 Highway 97 North
Chiloquin, OR 97624

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Series "Jeld-Wen® Steel" W/E Outswing Glazed Insulated Steel Door w & w/o Sidelites

APPROVAL DOCUMENT: Drawing No. S-2105, titled "Wood Edge Glazed Door w/ & w/out Sidelites up to 8'4 x 6'8 Outswing", sheets 1 through 8 of 8, dated 12/13/01 with revision #2 dated 10/22/02, prepared by R.W. Building Consultants Inc, , bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: None

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

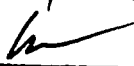
TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 01-12103 and consists of this page 1 as well as approval document mentioned above. The submitted documents are by: **Paul S. Adams, P.E.**



TOWN OF SEWALLS POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 6/28/05

BUILDING OFFICIAL
Gene Simmons

NOA No 02-1216.09
Expiration Date: August 15, 2007
Approval Date: January 30, 2003
Page 1

Jeld-Wen, Inc.

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

(For File ONLY. Not part of NOA)

A. DRAWINGS

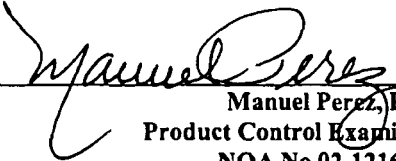
1. Manufacturer's die drawings and sections.
2. Drawing No. S-2105, titled "Wood Edge Glazed Door w/ & w/out Sidelites up to 8'4 x 6'8 Outswing", sheets 1 through 8 of 8, dated 12/13/01 with revision #2 dated 10/22/02, prepared by R.W. Building Consultants Inc.,

B. TESTS

1. Test reports on 1) Air Infiltration Test, per SFBC, PA 202-94
2) Uniform Static Air Pressure Test, Loading per SFBC PA 202-94
3) Water Resistance Test, per SFBC, PA 202-94
4) Forced Entry Test, per SFBC 3603.2 (b) and PA 202-94
along with marked-up drawings and installation diagram of DoorCraft series OXXO configuration outswing and inswing opaque wood edge steel door, prepared by Certified Testing Laboratories, Test Report No. CTLA-961W, dated 10/23/02, signed and sealed by Ramesh C. Patel, P.E.
Submitted under approval No.01-1216.09
2. Test reports on 1) Air Infiltration Test, per SFBC, PA 202-94
2) Uniform Static Air Pressure Test, Loading per SFBC PA 202-94
3) Water Resistance Test, per SFBC, PA 202-94
4) Forced Entry Test, per SFBC 3603.2 (b) and PA 202-94
along with marked-up drawings and installation diagram of DoorCraft series OXXO configuration outswing and inswing glazed wood edge steel door, prepared by Certified Testing Laboratories, Test Report No. CTLA-697W, dated 11/11/01, signed and sealed by Ramesh C. Patel, P.E. with addendum letter dated April 11, 2002 also signed and sealed by Ramesh C. Patel, P.E.

C. CALCULATIONS

1. Anchor Calculations and structural analysis dated 12/15/01, prepared, signed and sealed by Wendell Haney, P.E. with addendum letter dated April 7, 2002 also signed and sealed by Wendell Haney, P.E. **Submitted under approval No.01-1216.09**



Manuel Perez, P.E.
Product Control Examiner
NOA No 02-1216.09
Expiration Date: August 15, 2007
Approval Date: January 30, 2003

Jeld-Wen, Inc.

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

(For File ONLY. Not part of NOA)

D. MATERIAL CERTIFICATIONS

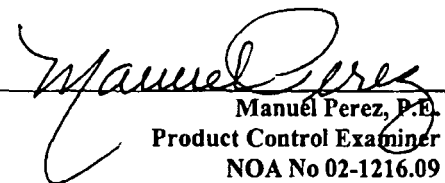
1. Notice of Acceptance No. **01-0718.08** issued to ODL, Inc. for "HP Propropylene Doorlight Assembly" dated 1/17/02, expiring on 1/17/06.
2. Tensile Test prepared by Certified Testing Laboratories, Test Report No. **CTLA-697W/DADE01014**, dated June 05, 2001 and Nov. 14, 2001, tested per **ASTM E8/A370 or B557**, signed and sealed by Ramesh C. Patel, P.E.
3. Test reports No. J9906660-001 for "Surface burning characteristics" per ASTM E-84 and "Self ignition test" per ASTM 1929 D, for polystyrene core dated April 8, 1999, issued by Intertek Testing Services.
4. Notice of Acceptance No. **02-0429.11** issued to Trinity Glass International. for "Trinity Lite Frame" dated 7/3/02, expiring on 7/3/07.

E. STATEMENTS

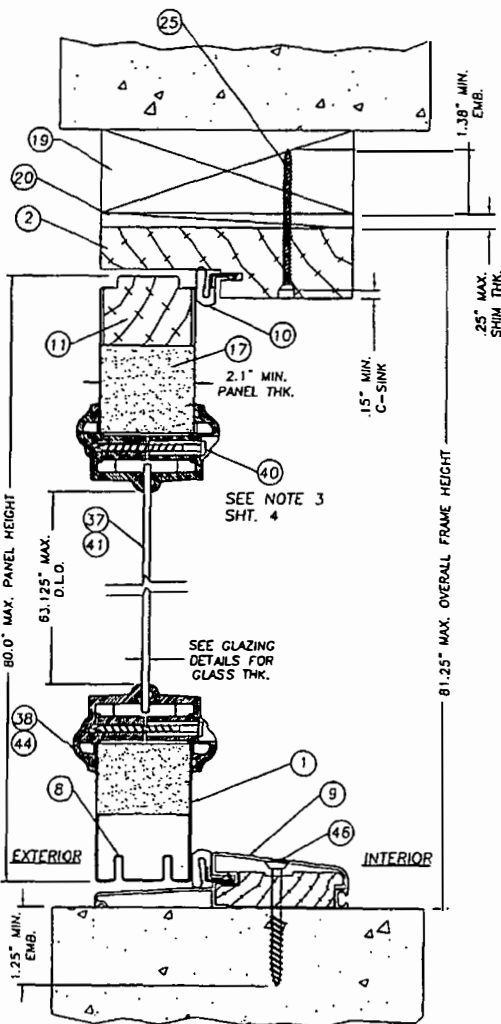
1. Statement letter of no financial interest, dated 10/10/02, signed by Steve Frey.

F. OTHER

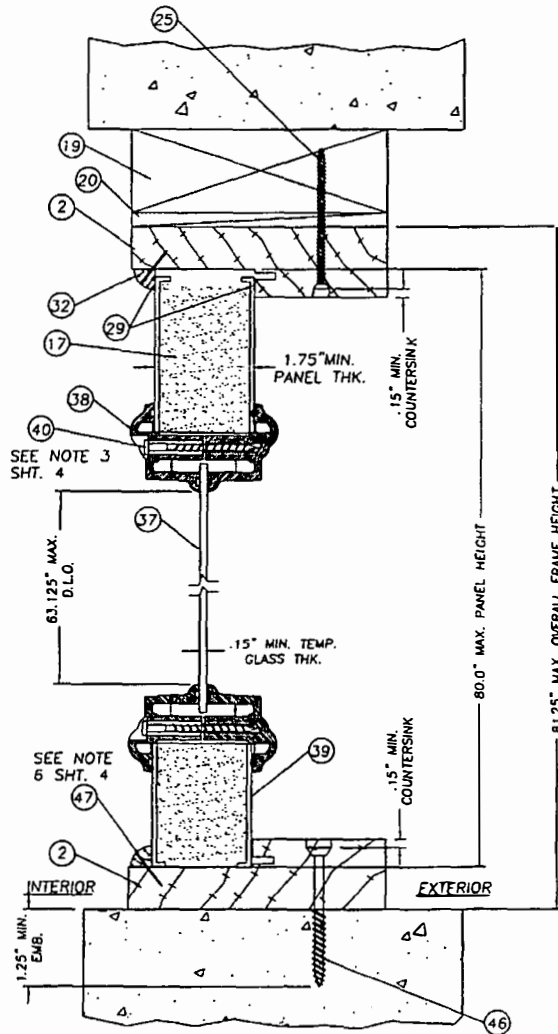
1. Notice of Acceptance No. **01-1224.03**, issued to Jeld-Wen, Inc., for their Series "Doorcraft®" 6'8" W/E Outswing Glazed Insulated Steel Door w & w/o Sidelites, approved on 10/15/02 and expiring on 10/15/07.


Manuel Perez, P.E.
Product Control Examiner
NOA No 02-1216.09

Expiration Date: August 15, 2007
Approval Date: January 30, 2003



1 VERTICAL CROSS-SECTION
DOOR PANEL



2 VERTICAL CROSS-SECTION
SIDELITE SASH

ITEM	DESCRIPTION	MATERIAL
1	DOOR WOOD EDGE 1.75" THK. 24GA. (.021" MIN.)	STEEL
2	HEAD JAMB (1 1/4" x 4 9/16" PONDEROSA FINGER JOINTED PINE)	PINE
3	HINGE JAMB (1 1/4" x 4 9/16" PONDEROSA FINGER JOINTED PINE)	PINE
4	SIDELITE BLANK JAMB (1 1/4" x 4 9/16" PONDEROSA FINGER JOINTED PINE)	PINE
5	4" x 4" BUTT HINGE 12ga. (.097" HAGER)	STEEL
6	#9 x 1" PFH WOOD SCREW (HINGE TO DOOR)	STEEL
7	DOOR LATCH LVL SIDE STILE 1.67" x 1"	LVL
8	DOOR PANEL BOTTOM RAIL (1.75" x 1.21" x .021" THK. MIN. 24GA.)	STEEL
9	OUTSWING BUMPER THRESHOLD (.050" EXTRUDED ALUM.)	ALUM.
10	COMPRESSION WEATHERSTRIP (SCHLAGEL 0 - (ON ODS 650)	FOAM
11	DOOR PANEL WOOD TOP RAIL 1.67" x 1"	LVL
12	1 1/4" x 1 3/8" WOOD MULLION CAP	WOOD
13	DOOR HINGE WOOD SIDE STILE 1.67" x 1"	WOOD
14	#10 x 1 3/4" PFH WOOD SCREW	STEEL
15	WOOD LOCK BLOCK (1.71" x 4.0" x 12.0")	WOOD
16	16GA BRAD TRIM NAIL 1" L	STEEL
17	EXPANDED POLYSTYRENE (1.0 to 1.25 lb. DENSITY) BY JELD-WEN	FOAM
18	NOT USED	-
19	2x WOOD SUB BUCK	WOOD
20	SHIM MATERIAL (.25" MAX. THK.)	-
21	KWIKSET 400 SERIES KNOB	-
22	KWIKSET TITAN 700 SERIES DEADBOLT	-
23	GLAZING COMPOUND DOW 1199 SILICONE	SILICONE
24	#8 x 2" PHILL FLATHEAD WOOD SCREW	STEEL
25	#8 x 2 1/2" PHILL FLATHEAD WOOD SCREW	STEEL
26	ASTRAGAL EXTRUDED ALUM. (WR68J MANUFACTURER #)	ALUM.
27	NOT USED	-
28	LIVES SURFACE BOLT #454 8.0" L. x .25" THK. STEEL	-
29	SILICONE CAULK (CR LAWRENCE 33C)	SILICONE
30	GLAZING COMPOUND (QSD BY ODL)	SILICONE
31	#8 x 1" PHILLIPS PANHEAD WOOD SCREW (ASTRAGAL WR68J TO DOOR)	STEEL
32	5/8" x 3/8" 1/4" ROUND SIDELLE STOP	WOOD
33	1/4"-20 SEX BOLT W/1/4"-20 FEMALE END x 1 3/4" L	STEEL
34	SCHLAGE KNOB SET #F51	-
35	SCHLAGE DEADBOLT #B360	-
36	NOT USED	-
37	1/8" TEMPERED GLASS (BY PPG)	GLASS
38	LITE FRAME 1/8" GLASS (ODL HP POLYPROP. THERMOFIL-P6-J0FM0391)	POLYPROP.
39	STEEL SIDELITE PANEL 24GA. (.021" MIN. STEEL)	STEEL
40	#8 x 1 1/2" PLASCREW (LITE FRAME)	STEEL
41	1" INSULATED TEMPERED GLASS	-
42	YALE KNOB HERITAGE SERIES	-
43	YALE DEADBOLT HERITAGE SERIES	-
44	LITE FRAME 1" GLASS (ODL HP POLYPROP. THERMOFIL-P6-J0FM0391)	POLYPROP.
45	#8 x 2" PHILLIPS FLATHEAD WOOD SCREW	STEEL
46	1/4" x 2 1/2" TAPOON	STEEL
47	16GA BRAD TRIM NAIL 3/4" L	STEEL
48	1 3/4" THK. x 4 9/16" DEEP PRESSURE TREATED REINFORCEMENT	WOOD
49	OPTIONAL EXTRUDED ALUM. ASTRAGAL (.050" WALL IMPERIAL)	ALUM.
50	HATCH JAMB (1 1/4" x 4 9/16" PONDEROSA FINGER JOINTED PINE)	PINE
51	#10 x 1" PHILLIPS FLATHEAD WOOD SCREW	STEEL
52	#10 x 2" PHILLIPS FLATHEAD WOOD SCREW	STEEL
53	LITEFRAME BY TRINITY FOR 1/2" GLASS	POLYPROP.
54	1/2" INSULATED TEMP GLASS BY TRINITY/AMPAC	-
55	LITEFRAME BY TRINITY FOR 1" GLASS	POLYPROP.
56	1" INSULATED TEMP GLASS BY TRINITY/AMPAC	-
57	LITEFRAME SCREW #6 x 1 1/2" PANHEAD	STEEL

JELD-WEN, INC.
31725 HIGHWAY 97 NORTH
CHILQUIN, OR. 97624
PH. 541.783.2057

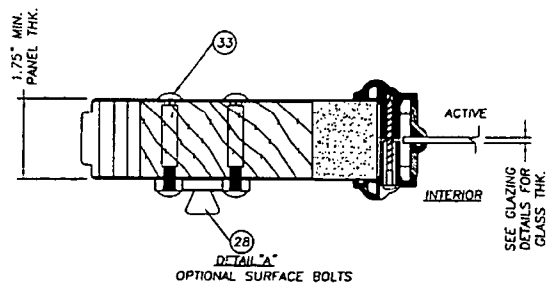
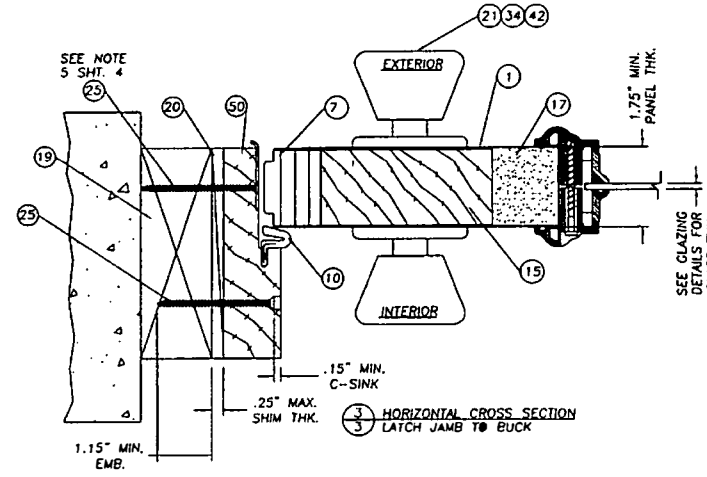
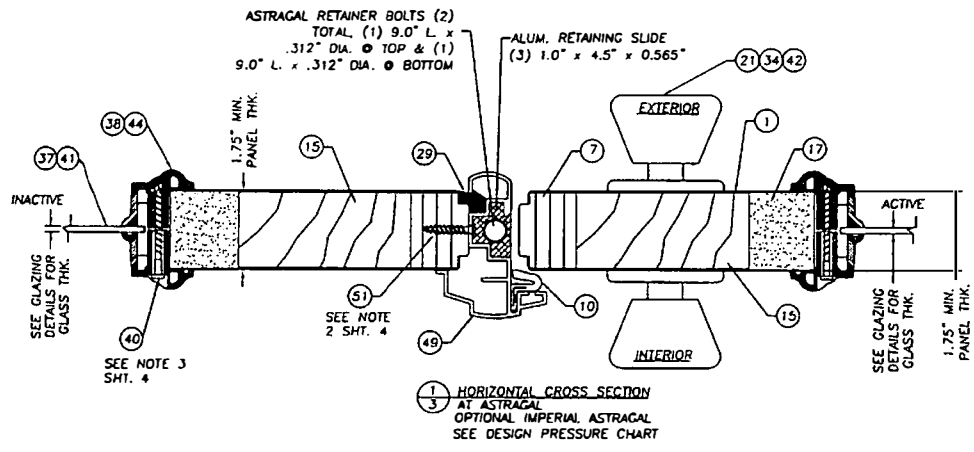
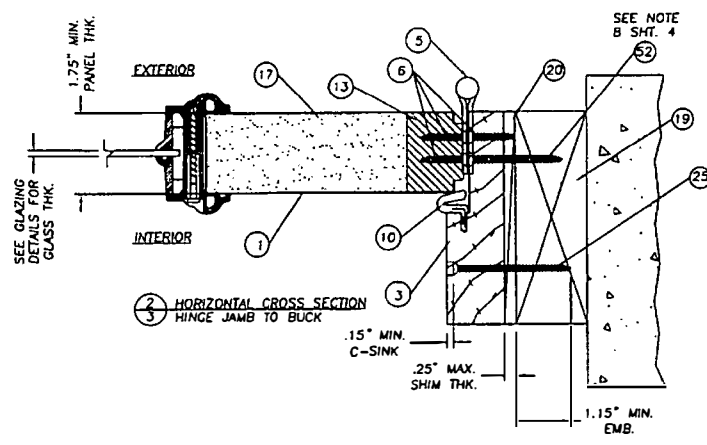
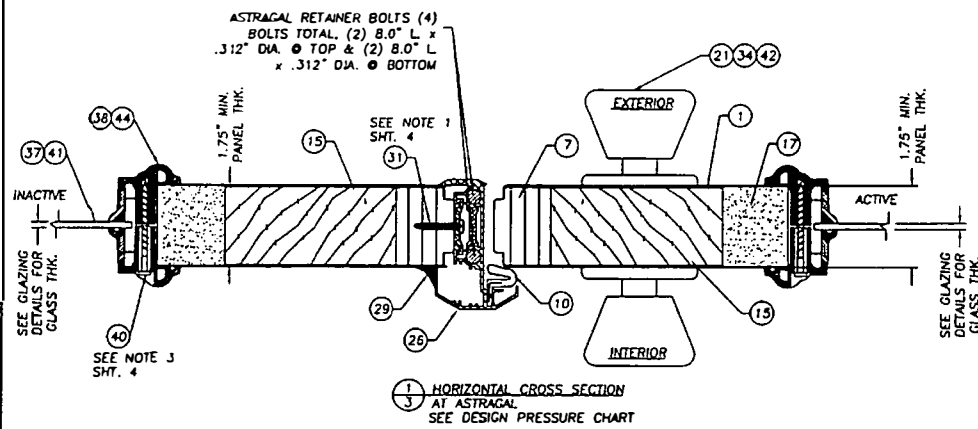
PRODUCT: WOOD EDGE GLAZED DOOR
W/ 1/8" W/OUT SIDELITES
UP TO 8'4" x 6'8" OUTSWING
PART OR ASSEMBLY:
VERTICAL CROSS SECTIONS
& BILL OF MATERIAL

NO	DATE	BY	REVISIONS
2	10/22/02	TJH	ADDED TRINITY FRAME
1	03/15/02	TJH	GENERAL REVISION

RW BUILDING
CONSULTANTS, INC.
813.659.9197

DATE: 12/13/01
SCALE: NTS
DWC BY: WLN
CHK BY: RW
DRAWING NO.: S-2105
SHEET 2 OF 8

Approved as complying with the
Florida Building Code
Date: JAN 20 2003
NOA# 02-1216-05
Miami Dade Product Control
Division
By: *M. M. M. M.*



JELD-WEN, INC.
31725 HIGHWAY 97 NORTH
CHILLOQUIN, OR. 97624
PH. 541.783.2057

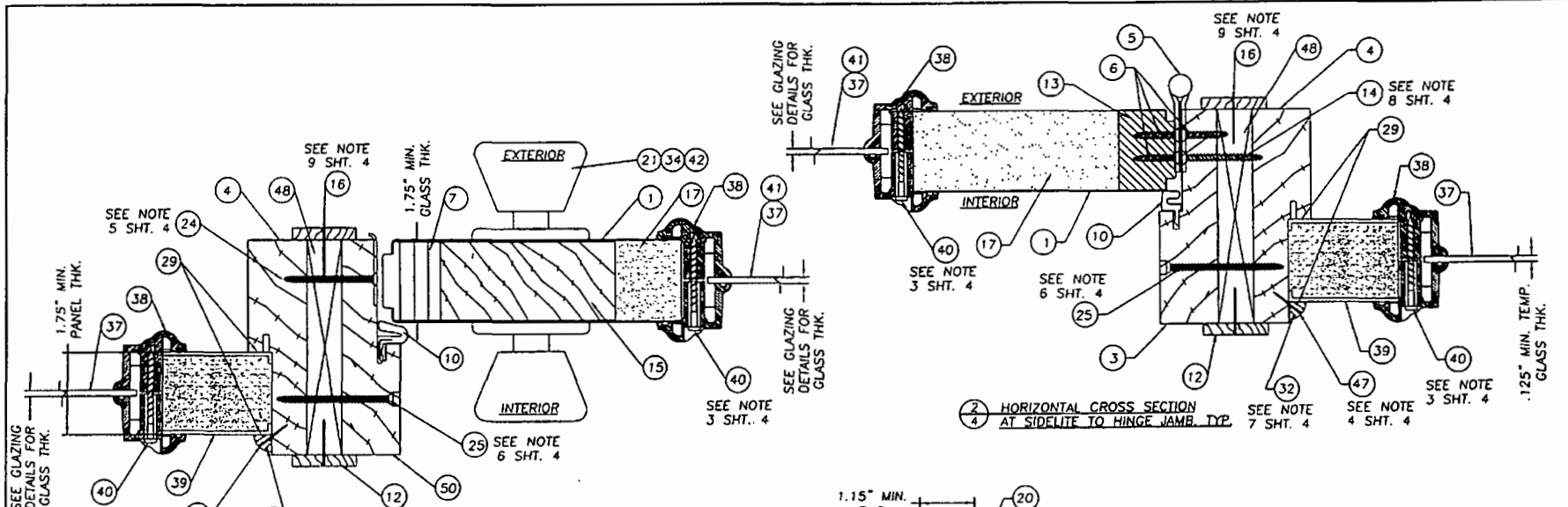
PRODUCT: WOOD EDGE GLAZED DOOR W/ & W/OUT SIDELITES UP TO 8'4" x 6'8" OUTSWING
PART OR ASSEMBLY: HORIZONTAL CROSS SECTIONS

NO.	DATE	REVISIONS	BY
2	10/22/02	ADD TRINITY FRAME	ZRK
1	03/15/02	GENERAL REVISION	TJH

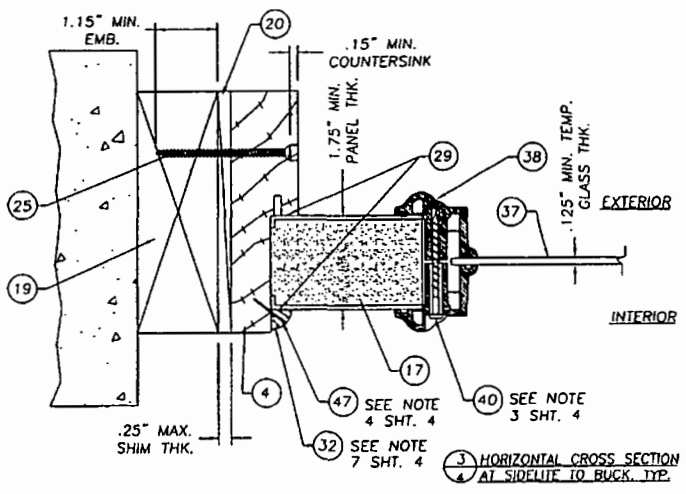
RW BUILDING CONSULTANTS, INC.
813.659.9197

DATE: 12/13/01
SCALE: NTS
DWC BY: WLN
CHK BY: RVW
DRAWING NO.: S-2105
SHEET 3 OF 8

Approved as complying with the Florida Building Code
Date: JAN. 30 2003
NOA# 02-1216-03
Miami Trade Product Control
By: *M. J. ...*



- NOTES:
- SPACING FOR #8 x 1" PFH SCREW ATTACHING THE WINDJAMBER ASTRAGAL TO THE INACTIVE DOOR IS AS FOLLOWS: TOP DOWN: 1.0", 3.0" & 5.0". FROM THE BOTTOM UP: 1.0", 3.0", 5.0", 20.0" & 38.75".
 - SPACING FOR #10 x 1" PFH SCREW ATTACHING THE IMPERIAL ASTRAGAL TO THE INACTIVE DOOR IS AS FOLLOWS: FROM THE TOP DOWN & BOTTOM UP: 1.0", 2.5", 4.0", 5.5", 13.0", 18.0" & 26.0".
 - SPACING FOR #8 x 1 1/2" PLASCREW IS AS FOLLOWS: TOP & BOTTOM: (2) SCREWS 3.0" IN FROM EACH HORIZONTAL CORNER. FROM THE TOP OF THE FRAME DOWN ON THE SIDES: 3.0", 13.0", 26.0", 39.0", 52.0" & 63.0".
 - SPACING FOR BRAD TRIM NAIL 3/4" L ATTACHING THE QUARTER ROUND TO THE SIDELITE IS AS FOLLOWS: TOP & BOTTOM: 1.25" IN FROM EACH HORIZONTAL CORNER WITH (1) MDRE NAIL IN THE MIDDLE. SIDES: 1.25" FROM EACH END & SIX MORE EQUALLY SPACED ON THE FIELD.
 - WHEN ATTACHING THE STRIKE PLATE TO THE JAMB AND BUCK USE #8 x 2 1/2" PFH WOOD SCREW. WHEN ATTACHING THE STRIKE PLATE TO THE JAMB AND SIDELITE JAMB AT THE MULLION USE #8 x 2" PFH WOOD SCREW.
 - SPACING FOR #8 x 2.5" PFH WOOD SCREW ATTACHING THE MULLIONS TOGETHER IS AS FOLLOWS: 6.0" FROM EACH VERTICAL CORNER WITH (4) MORE SCREWS EQUALLY SPACED, A TOTAL OF (6) SCREWS PER EACH VERTICAL MULLION.
 - THE SIDELITE IS SECURED INTO THE SIDELITE JAMB WITH SILICONE CAULK ON THREE SIDES & 3/8" x 3/8" 1/4 ROUND & BRAD TRIM NAIL x 3/4" L.
 - WHEN ATTACHING THE HINGE TO THE JAMB AND BUCK USE #10 x 2" PFH WOOD SCREW. WHEN ATTACHING THE HINGE TO THE JAMB AND SIDELITE JAMB AT THE MULLION USE #10 x 1 3/4" PFH WOOD SCREW.
 - THE MULLION CAP IS ATTACHED TO THE PRESSURE TREATED REINFORCEMENT WITH ITEM #16 A 1" TRIM NAIL SPACED A MAX. OF 12" ON CENTER.
 - SPACING FOR ITEM #57 THE #6 x 1 1/2" PANHEAD SCREW ON THE DOOR LITE FRAME IS AS FOLLOWS: FROM THE TOP DOWN ON THE SIDES (8) AT 3.25", 10.625", 18.0625", 25.4375", 32.8125", 40.1875", 47.625", 55" & 62.375". AT THE TOP & BOTTOM FROM RIGHT TO LEFT (3) AT 3.25", 11.875" & 20.5". THE SCREW SPACING FOR THE SIDELITES IS AS FOLLOWS: FROM THE TOP DOWN ON THE SIDES: (5) AT 3.25", 18.0625", 32.8125", 47.625" & 62.625". THE TOP & BOTTOM (1) SCREW AT 4.4375".



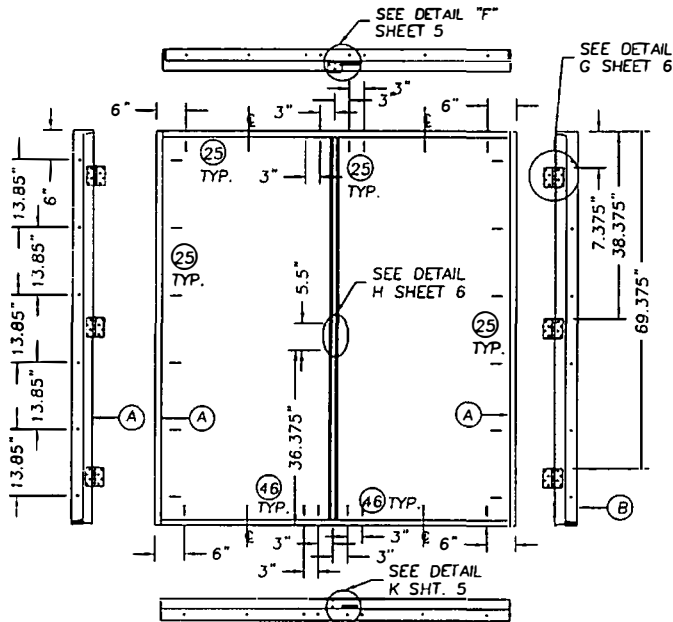
JELD-WEN, INC.
 31725 HIGHWAY 97 NORTH
 CHILOQUIN, OR. 97624
 PH. 541.783.2057

PRODUCT:	WOOD EDGE GLAZED DOOR W/ & W/OUT SIDELITES UP TO 8'4" x 6'8" OUTSWING
PART OR ASSEMBLY:	ZRK
ADD TRIM FRAME	TRK
GENERAL REVISION	TJH
DATE	BY
NO	DATE
NO	DATE

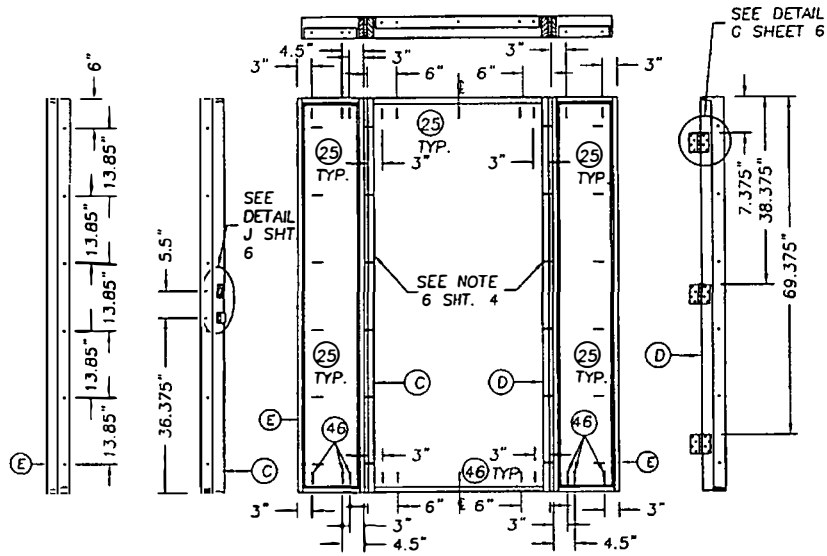
RW BUILDING CONSULTANTS, INC.
 813.659.9197

DATE:	12/13/01
SCALE:	N.T.S.
DWG. BY:	WLN
CHK. BY:	RW
DRAWING NO.:	S-2105
SHEET	4 OF 8

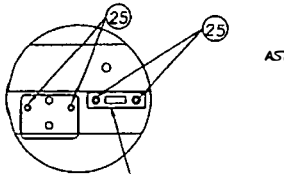
Approved as complying with the Florida Building Code
 Date JAN 30 2003
 NOAR 02-1216-05
 Miami Dade Product Control Division
 By Manuel Sere



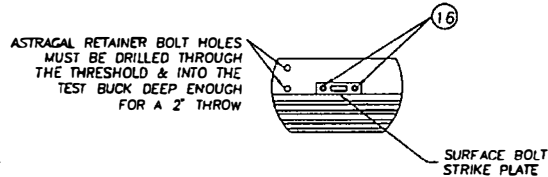
DOUBLE DOOR ANCHORING LOCATIONS



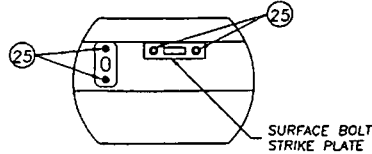
SINGLE DOOR W/SIDELITES ANCHORING LOCATIONS



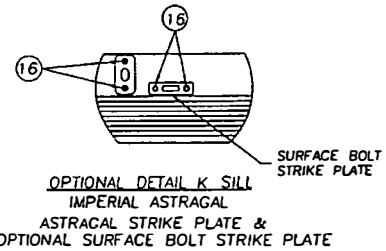
DETAIL F
WINDJAMBER ASTRAGAL
ASTRAGAL STRIKE PLATE &
OPTIONAL SURFACE BOLT STRIKE PLATE



DETAIL K SILL
WINDJAMBER ASTRAGAL
ASTRAGAL RETAINER BOLT HOLES &
OPTIONAL SURFACE BOLT STRIKE PLATE



OPTIONAL DETAIL F
IMPERIAL ASTRAGAL
ASTRAGAL STRIKE PLATE &
OPTIONAL SURFACE BOLT STRIKE PLATE



OPTIONAL DETAIL K SILL
IMPERIAL ASTRAGAL
ASTRAGAL STRIKE PLATE &
OPTIONAL SURFACE BOLT STRIKE PLATE

JELD-WEN, INC.
31725 HIGHWAY 97 NORTH
CHILCOQUIN, OR. 97624
PH. 541.783.2057

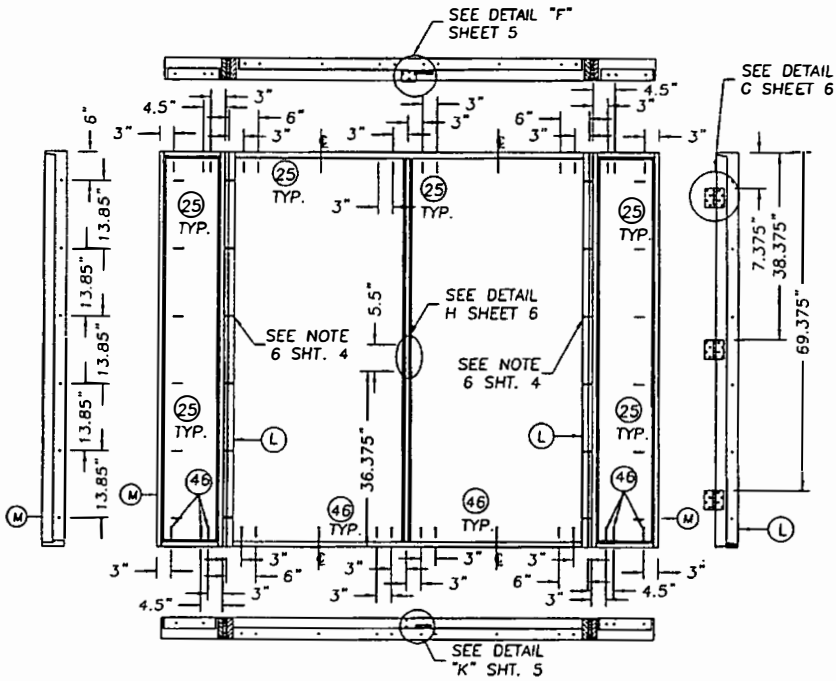
PRODUCT:
WOOD EDGE GLAZED DOOR
W/ W/O/SIDELITES
UP TO 8'4" x 6'8" OUTHING
PART OR ASSEMBLY:
ANCHORING LOCATIONS
& DETAILS

NO	DATE	REVISIONS	BY
2	10/22/02	ADD TRINITY FRAME	ZRK
1	03/15/02	GENERAL REVISION	TJH

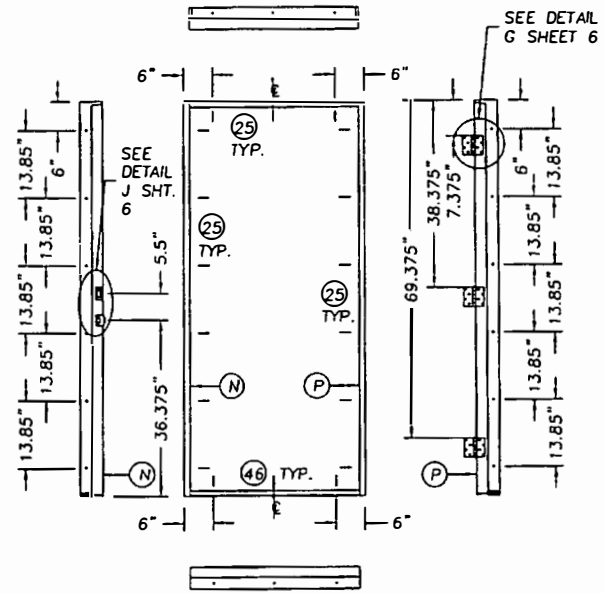
RW BUILDING
CONSULTANTS, INC.
813.659.9197

DATE:	12/13/01
SCALE:	N.T.S.
DMG. BY:	WLN
CHK. BY:	RW
DRAWING NO.:	S-2105
SHEET	5 OF 8

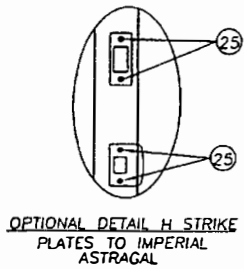
Approved as complying with the
Florida Building Code
Date: JAN. 30 2003
NOA#: 02-1216-03
Miami Dade Product Control
Division
By: *[Signature]*



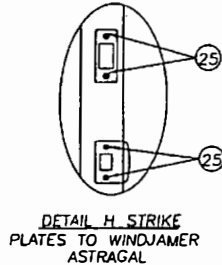
DOUBLE DOOR W/SIDELITES ANCHORING LOCATIONS



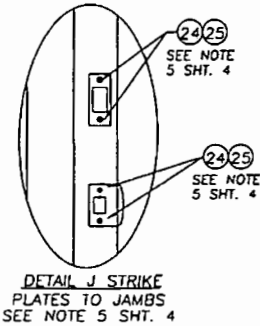
SINGLE DOOR ANCHORING LOCATIONS



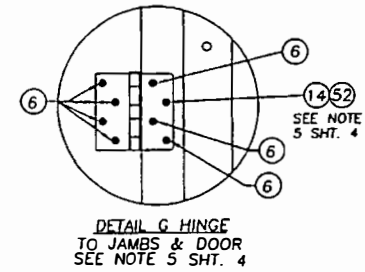
OPTIONAL DETAIL H STRIKE PLATES TO IMPERIAL ASTRAGAL



DETAIL H STRIKE PLATES TO WINDJAMMER ASTRAGAL



DETAIL J STRIKE PLATES TO JAMBS
SEE NOTE 5 SHT. 4



DETAIL G HINGE TO JAMBS & DOOR
SEE NOTE 5 SHT. 4

JELD-WEN, INC.
31725 HIGHWAY 97 NORTH
CHILQUIN, OR. 97624
PH. 541.783.2057

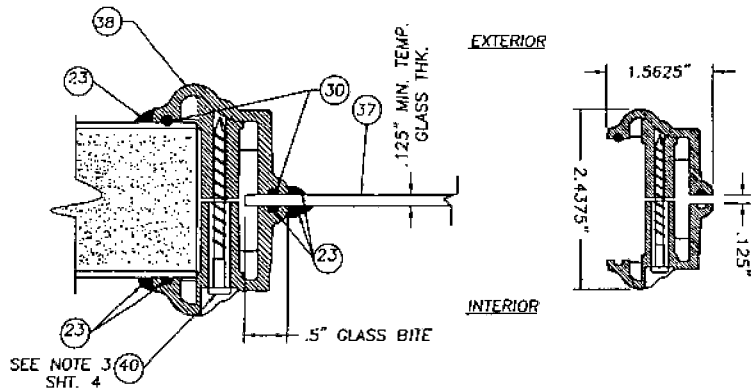
PRODUCT: WOOD EDGE GLAZED DOOR W/ & W/O SIDELITES UP TO 8' x 6' 8" OUTHING PART OR ASSEMBLY: ANCHORING LOCATIONS & GLAZING DETAILS

NO	DATE	BY	REVISIONS
2	10/22/02	ZRK	ADD TRINITY FRAME
1	03/15/02	FJH	GENERAL REVISION

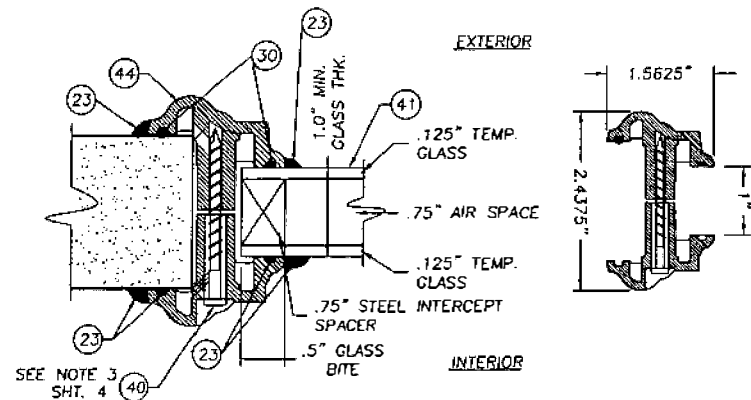
RW BUILDING CONSULTANTS, INC.
813.659.9197

DATE:	12/13/01
SCALE:	N.T.S.
DWG. BY:	WLN
CHK. BY:	RW
DRAWING NO.:	S-2105
SHEET:	6 OF 8

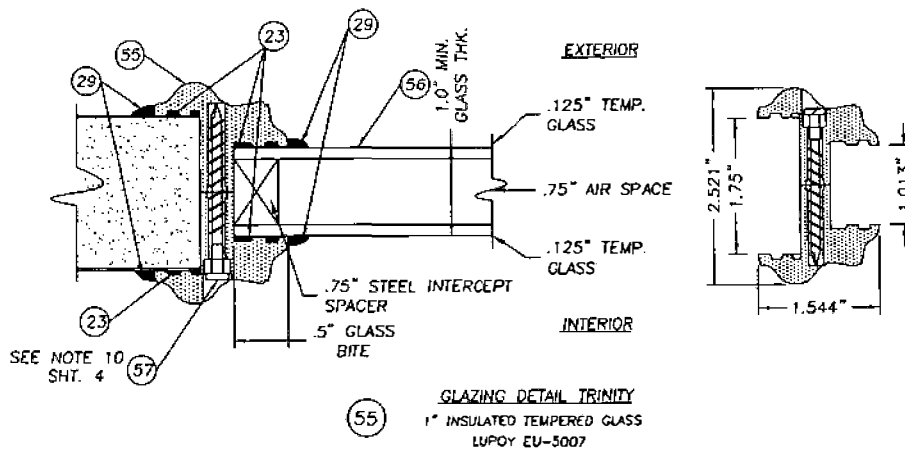
Approved as complying with the Florida Building Code
Date: JAN 30 2003
NOA# 02-1716-08
Miami Dade Product Control Division
By: *Mauro Piro*



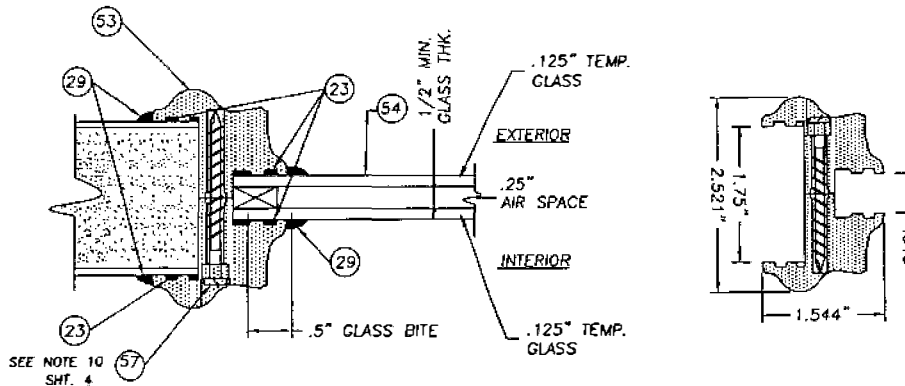
38 GLAZING DETAIL ODL
1/8" TEMPERED GLASS
HP POLYPROPYLENE
(THERMOFIL-P6-30FM0391)



44 GLAZING DETAIL ODL
1" TEMPERED GLASS
HP POLYPROPYLENE
(THERMOFIL-P6-30FM0391)



55 GLAZING DETAIL TRINITY
1" INSULATED TEMPERED GLASS
LUPOY EU-5007



53 GLAZING DETAIL TRINITY
1/2" INSULATED TEMPERED GLASS
LUPOY EU-5007

JELD-WEN, INC.
31725 HIGHWAY 97 NORTH
CHLOQUIN, OR. 97624
PH. 541.783.2057

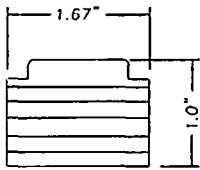
PRODUCT: WOOD EDGE GLAZED DOOR
W/ 8" HOUT SIDELITES
UP TO 8'4" x 8'8" OUSISHING
PART OR ASSEMBLY:
GLAZING DETAILS

REVISIONS		NO	DATE	BY
2	ADDED TRINITY FRAME ZIRK	TOH		
1	GENERAL REVISION	TOH	10/22/02	
1			03/15/02	

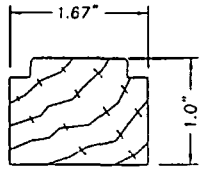
RW BUILDING
CONSULTANTS, INC.
813.659.9197

DATE: 12/13/01
SCALE: N.T.S.
DWG. BY: WLN
CHK. BY: RW
DRAWING NO.: S-2105
SHEET 7 OF 8

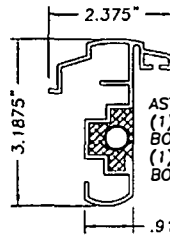
Approved as complying with the
Florida Building Code
Date: 01/30/2003
NOA#: 02-126-09
Miami Dade Product Control
Division
By: *Manuel Perez*



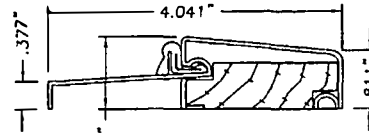
7 LVL LATCH STILE



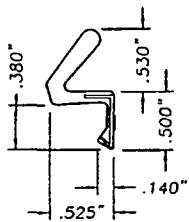
13 11 DOOR TOP & HINGE STILE



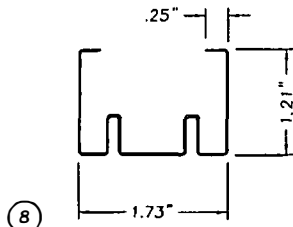
49 OPTIONAL IMPERIAL ASTRAGAL EXTRUDED ALUMINUM .075" WALL SEE DESIGN PRESSURE CHART



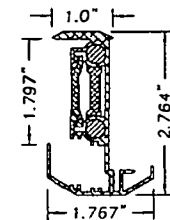
9 OUTSWING BUMPFACE THRESHOLD LOW PROFILE .050" EXTRUDED ALUMINUM



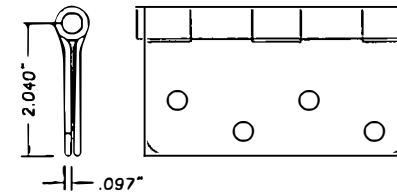
10 COMPRESSION WEATHERSRIP SCHLEGEL Q-LON QDS 650



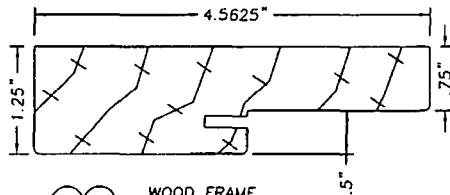
8 DOOR STEEL EDGE CAP, BOTTOM



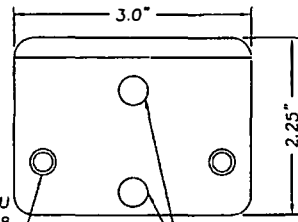
26 ASTRAGAL WINDJAMBER II (WR68J T6-6060 EXTRUDED ALUMINUM)



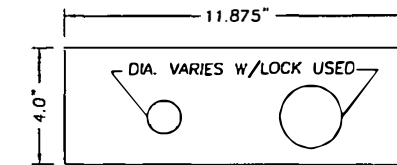
5 4 x 4 STEEL DOOR HINGE .097" THK. STEEL BY HAGER



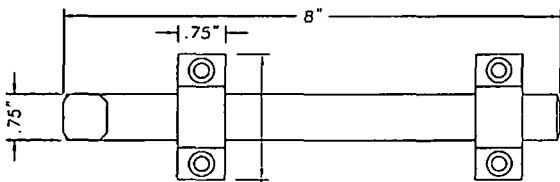
2 4 WOOD FRAME
3 50



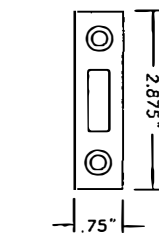
DRILL TRU FOR A #8 PFH WOOD SCREW 2PLCS
DRILL TRU FOR .357" DIA. ASTRAGAL RETAINER BOLTS
WINDJAMBER II WR68J STRIKE PLATE STEEL PLATE



15 WOOD LOCK BLOCK, 1.71" THK.



28 SURFACE BOLT (VES. 25" STEEL MODEL 454)



STRIKE (VES. 125" STEEL)

JELD-WEN, INC.
31725 HIGHWAY 97 NORTH
CHILQUIN, OR. 97624
PH. 541.783.2057

PRODUCT: WOOD EDGE GLAZED DOOR W/ W/OUT STILES UP TO 8'4" X 8' OUTSWING PART OR ASSEMBLY
UNIT COMPONENTS

NO.	DATE	REVISIONS	BY
2	10/22/02	ADDED TRIM FRAME	ZRK
1	03/15/02	GENERAL REVISION	TJH

RW BUILDING CONSULTANTS, INC.
813.659.9197

Approved as complying with the Florida Building Code
Date: JAN 30 2003
NOA# 02-1216-09
Miami Dade Product Control
By: *[Signature]*

DATE:	12/13/01
SCALE:	NTS
DWG. BY:	WLN
CHK. BY:	RW
DRAWING NO.:	5-2105
SHEET	8 OF 8

JELD-WEN® Steel

WOOD EDGE GLAZED INSULATED STEEL DOOR
OUTSWING 6-8 UNITS W/ & W/O SIDELITES

GENERAL NOTES

1. THIS PRODUCT IS DESIGNED TO COMPLY WITH THE FLORIDA BUILDING CODE.
2. WOOD BUCKS BY OTHERS, MUST BE ANCHORED PROPERLY TO TRANSFER LOADS TO THE STRUCTURE.
3. PRODUCT ANCHORS SHALL BE AS LISTED AND SPACED AS SHOWN ON DETAILS. ANCHOR EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR STUCCO.
4. DESIGNED PRESSURE RATING SEE TABLE PAGE 1.
5. THIS PRODUCT MEETS THE WATER REQUIREMENTS FOR "HIGH VELOCITY HURRICANE ZONES" SEE DESIGN PRESSURE CHART BELOW.
6. THIS SYSTEM REQUIRES WINDBORNE DEBRIS EXTERNAL PROTECTION PRESCRIBED IN SECTION 1626.1 OF THE FLORIDA BUILDING CODE.

RESIDENTIAL INSULATED STEEL DOOR (Common to all frame conditions)

Door Leaf Construction:

Galvanized steel A-525 commercial quality - AKDO per ASTM 620 with yield strength $F_y(\text{ave.})=47,575$ psi.

Face sheets: 24 ga. (0.021") minimum thickness.

Core design: Expanded polystyrene with 1.0 to 1.25 lbs. density by Jeld-Wen, Inc.

Panel Construction & glazing: The active and inactive panels are constructed from 24GA. (0.021" min.) galvanized steel. The face sheet top and bottoms are bent 90° over the top and bottom rails. The top rail consists of LVL measuring 1.67" x 1.042". The bottom rail is roll formed 0.021" galvanized steel measuring 1.67" x 1.21". The sides of the face sheet are roll formed into the LVL latch stile and Ponderosa Pine hinge stile which measure 1.67" x 1.0". The interior cavity is filled with polystyrene. The face sheet is glued to the polystyrene. The panels are routed to receive the ODL or Trinity lite frames. The units are glazed with .125" tempered glass. The lite frames are wet glazed on the exterior.

Sash Construction & glazing: The sash is constructed from 24GA. (0.021" min.) galvanized steel. The edges of the face sheet are bent 90° over the polystyrene core and glued to it. The sashes are routed to receive the ODL or Trinity lite frames. The units are glazed with .125" tempered glass. The lite frames are wet glazed on the exterior.

Frame Construction: The frames are constructed from Ponderosa Pine jambs measuring 4.563" x 1.25". The head jambs are mortised and bolted to the side jambs and attached with (3) 16GA 2" x 7/16" crown wire staples. The units use a bump face threshold measuring 4.041" x 1.0". The threshold is attached to the frame with (3) 16GA 2" x 7/16" crown wire staples.

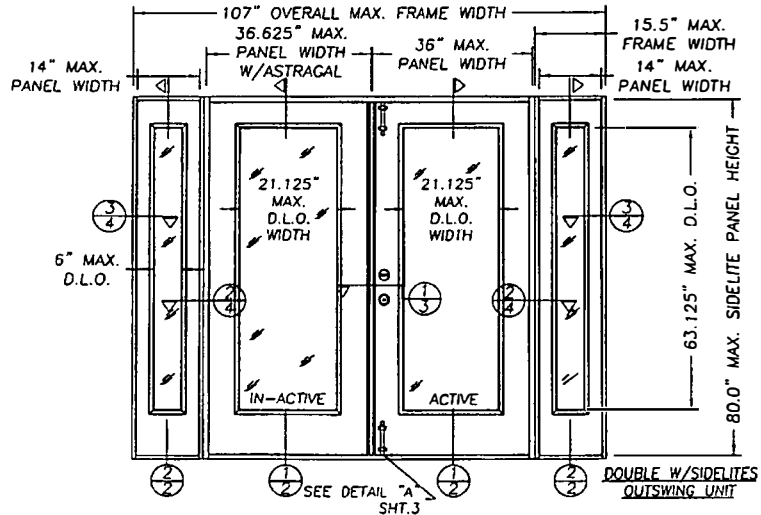
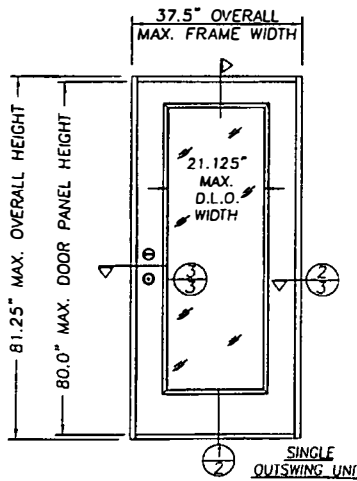
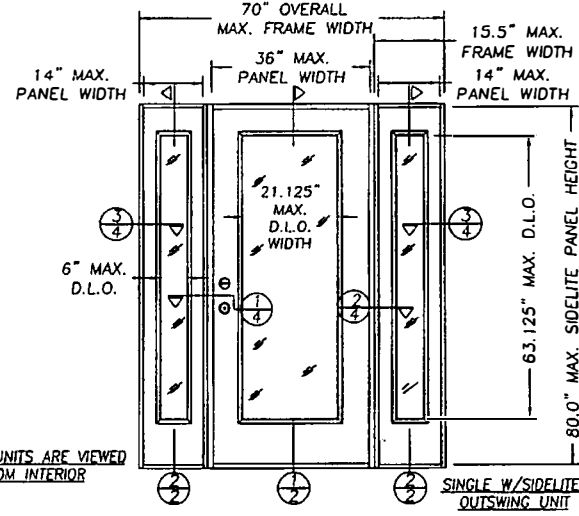
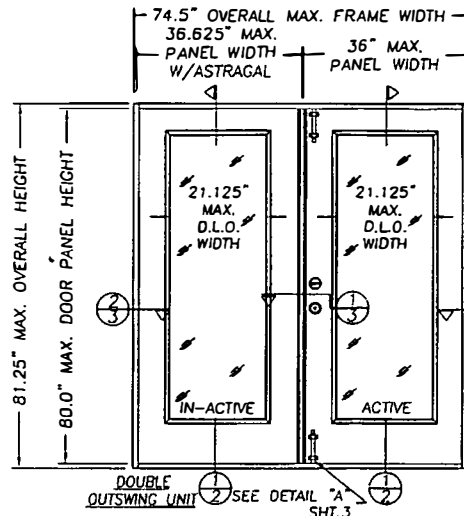


TABLE OF CONTENTS	
SHEET #	DESCRIPTION
1	GENERAL NOTES AND TYPICAL ELEVATIONS
2	VERTICAL CROSS SECTIONS & BILL OF MATERIAL
3 & 4	HORIZONTAL CROSS SECTIONS & NOTES
5 & 6	ANCHORING LOCATIONS & DETAILS
7	GLAZING DETAILS
8	UNIT COMPONENTS

DESIGN PRESSURE RATING WHERE WATER INFILTRATION REQUIREMENT IS NEEDED			
ALL UNITS WITH & WITHOUT SIDELITES	WITH WINDJAMBER II ASTRAGAL	WITH IMPERIAL ASTRAGAL	
SINGLE & DOUBLE WITHOUT SURFACE BOLTS	+50.0psf -50.0psf	/ / / /	
DOUBLE WITH SURFACE BOLTS ACTIVE DOOR	+65.0psf -65.0psf	+50.0psf	-50.0psf

Approved as complying with the Florida Building Code
Date JAN 30 2003
NOA# 07-1216-09
Miami Date Product Control
Division
By [Signature]

JELD-WEN, INC.
31725 HIGHWAY 97 NORTH
CHILCOQUIN, OR. 97624
PH. 541.783.2057

PRODUCT: WOOD EDGE GLAZED DOOR W/ & W/O SIDELITES UP TO 8'4" x 8'8" OUTSWING

PART OR ASSEMBLY: TYPICAL ELEVATION & GENERAL NOTES

NO	DATE	BY	REVISIONS
2	10/22/02	ADD TRINITY FRAME	ZRK
1	03/15/02	GENERAL REVISION	TJH

RW BUILDING CONSULTANTS, INC.
813.659.9197

DATE: 12/13/01
SCALE: NTS
DWG. BY: WLN
CHK. BY: RW
DRAWING NO.: S-2105
SHEET 1 of 8



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**Southeastern Metals Manufacturing Co., Inc.
11801 Industry Drive
Jacksonville, Florida 32218**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction, BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: 0.0356" (min.) Galvanized Steel Storm Panels Shutter

APPROVAL DOCUMENT: Drawing No. 96-20GA01, titled " Southeastern Metals Manufacturing Co., Inc. 20 Gauge Galvanized Storm Panel System ", sheets 1 and 2 of 2, prepared by Southeastern Metals Manufacturing Co., Inc., dated October 17, 1997, last revision #2 dated October 10, 2002 bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each panel shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

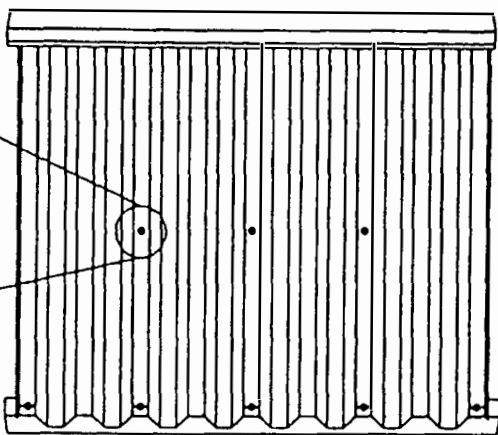
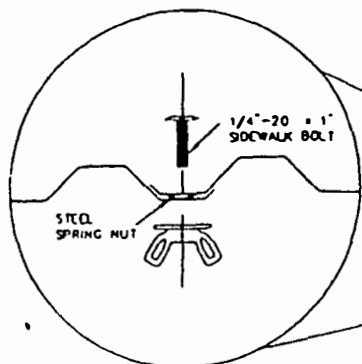
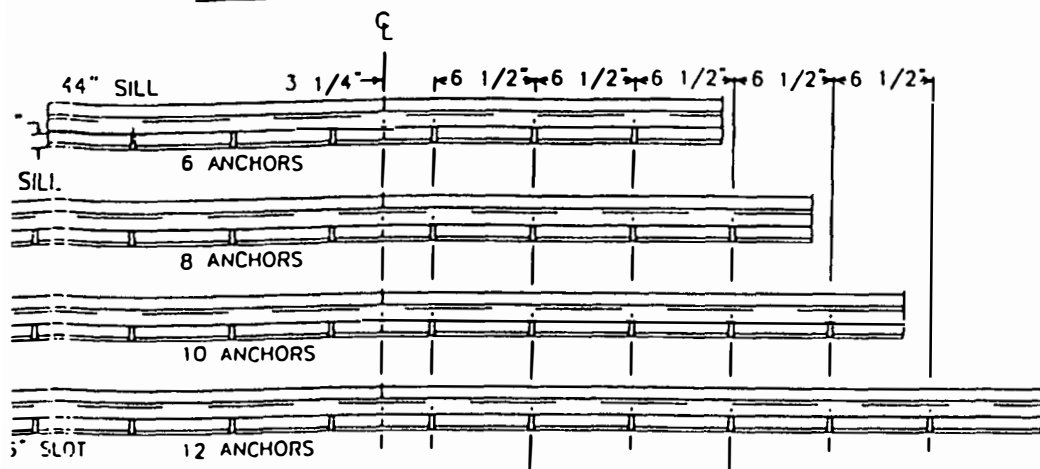
INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises & renews NOA # 99-0318.03 & consists of this page 1 & approval document mentioned above. The submitted documentation was reviewed by **Helmy A. Makar, P.E.**



**NOA No 02-0809.02
Expiration Date: 10/10/2007
Approval Date: 11/21/2002
Page 1**

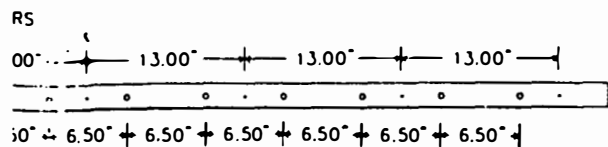
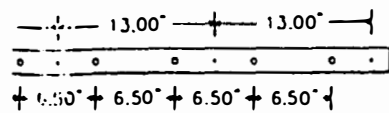
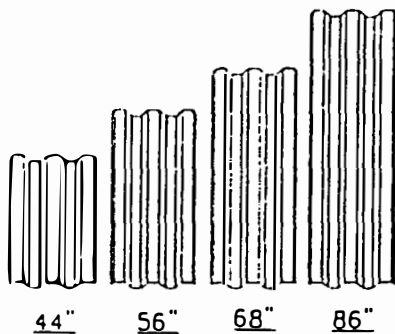
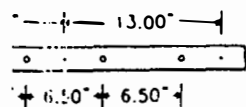
HEADER CHANNEL LAYOUT



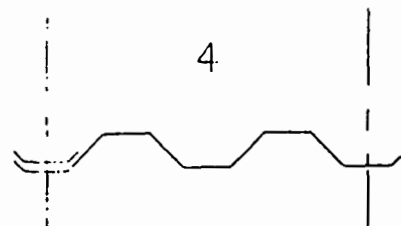
Reinforced panels with stitch bolt and spring nut at mid-span secure at each lap joint with washered wing nut.

HOLE LEGEND

	7/16" THRU HOLE
	CLINCH STUD



ANGLE SILL LAYOUT



Southeastern Metals
 Manufacturing Co., Inc.
 11801 Industry Drive - Jacksonville, Florida



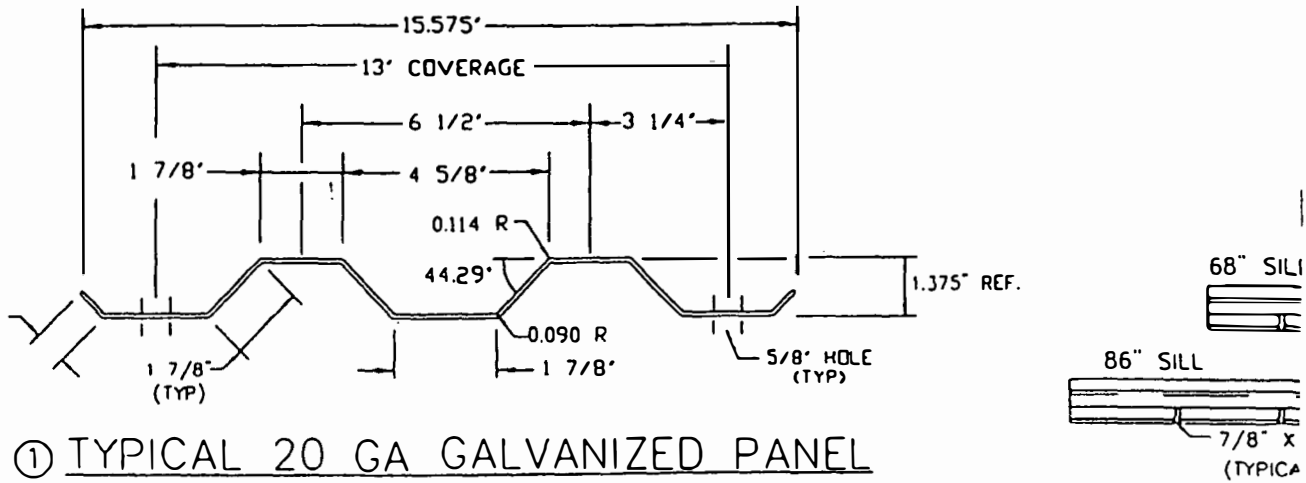
Charles T. Brackett
 10/24/02

	Changed note # 1 Florida Building Code approval	10/10/02
	Changed Term-in Anchor to a Rivet Coll-in Anchor	10/17/01
	Note (3) add grade 37 to ASTM A633 & add Drawing Number	9/8/96

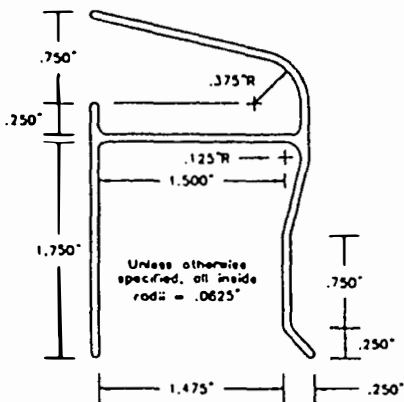
SOUTHEASTERN METALS
 MFG. CO., INC.
 20 GAUGE GALVANIZED
 STORM PANEL SYSTEM

Project No.	1 OF 2
Revision	
Date	
Drawn by	
Checked by	

PROJECT REVISED
 as complying with the Florida
 Building Code
 Acceptance No 02-0809.02
 Expiration Date 10/10/2007
 By *Helmut A. Hahn*
 Miami District Product Control
 Division



① TYPICAL 20 GA GALVANIZED PANEL



② ALUMINUM HEADER CHANNEL DETAIL

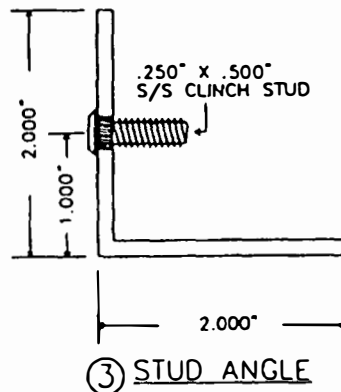
GENERAL NOTES

1. THIS SHUTTER IS DESIGNED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, 2001 EDITION.
2. POSITIVE AND NEGATIVE DESIGN PRESSURE CALCULATIONS SHALL BE PERFORMED IN ACCORDANCE WITH ASCE 7-98 "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES".
3. STORM PANELS SHALL BE AISI 20 GAUGE GALVANIZED (0.0356") CONFORMING TO ASTM A653 STRUCTURAL GRADE 37 WITH A MIN. $F_y = 37$ KSI. ALUMINUM EXTRUSIONS SHALL BE 6063-T6, U.D.H.
4. PRODUCT MARKINGS SHALL BE WITHIN 12" OF ONE END OF THE PANEL WITH MIN. OF ONE MARKING PER PANEL AND SHALL BE LABELED AS FOLLOWS:

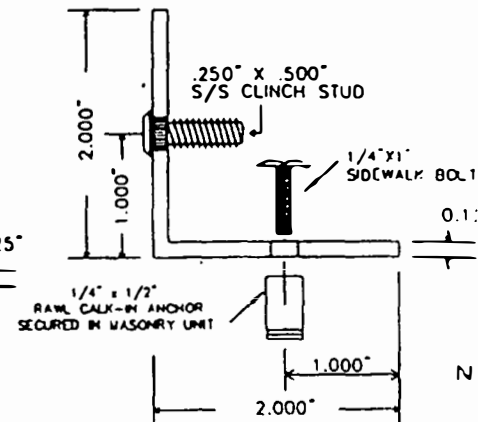
SOUTHEASTERN METALS MANUFACTURING CO., INC.
 JACKSONVILLE, FLORIDA
 MIAMI DADE COUNTY- PRODUCT CONTROL APPROVED

5. TO MEET METRO-DADE HURRICANE CODE, REINFORCED PANELS WITH STITCH BOLTS AND SPRING NUTS AT MID-SPAN SECURED AT EVERY LAP JOINT.
6. ALL BOLTS AND WASHERS SHALL BE GALVANIZED OR STAINLESS STEEL WITH A MINIMUM $F_y = 33$ KSI.
7. MATERIAL SPECIFICATIONS NOTED HEREIN ARE THE MANUFACTURE'S REPRESENTATION OF MATERIALS TO BE USED IN PRODUCT TESTING.
8. TOP & BOTTOM DETAILS SHOWN MAY BE INTERCHANGED AS FIELD CONDITIONS INDICATE. PANELS MAY BE MOUNTED HORIZONTALLY WHERE APPLICABLE.
9. THE DETAILS AND SPECIFICATIONS SHOWN HEREIN REPRESENT THE PRODUCTS PROPOSED FOR IMPACT, CYCLIC AND UNIFORM STATIC AIR PRESSURE TESTING IN ACCORDANCE WITH DADE COUNTY PROTOCOLS PA 201, 202, AND 203. DESIGN IS BASED ON CTC TEST REPORT NO.
10. MAXIMUM ALLOWABLE DESIGN LOAD:

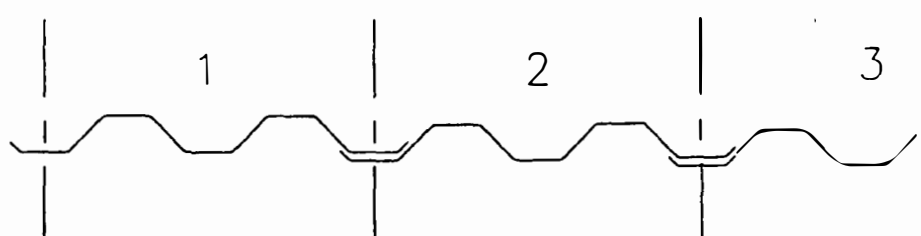
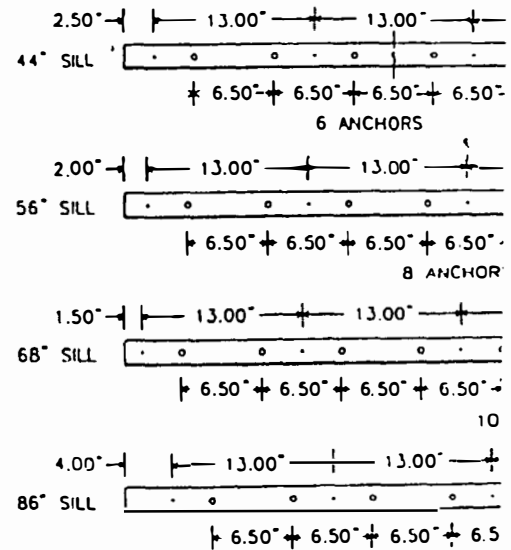
POSITIVE = +55
 NEGATIVE = -71.5



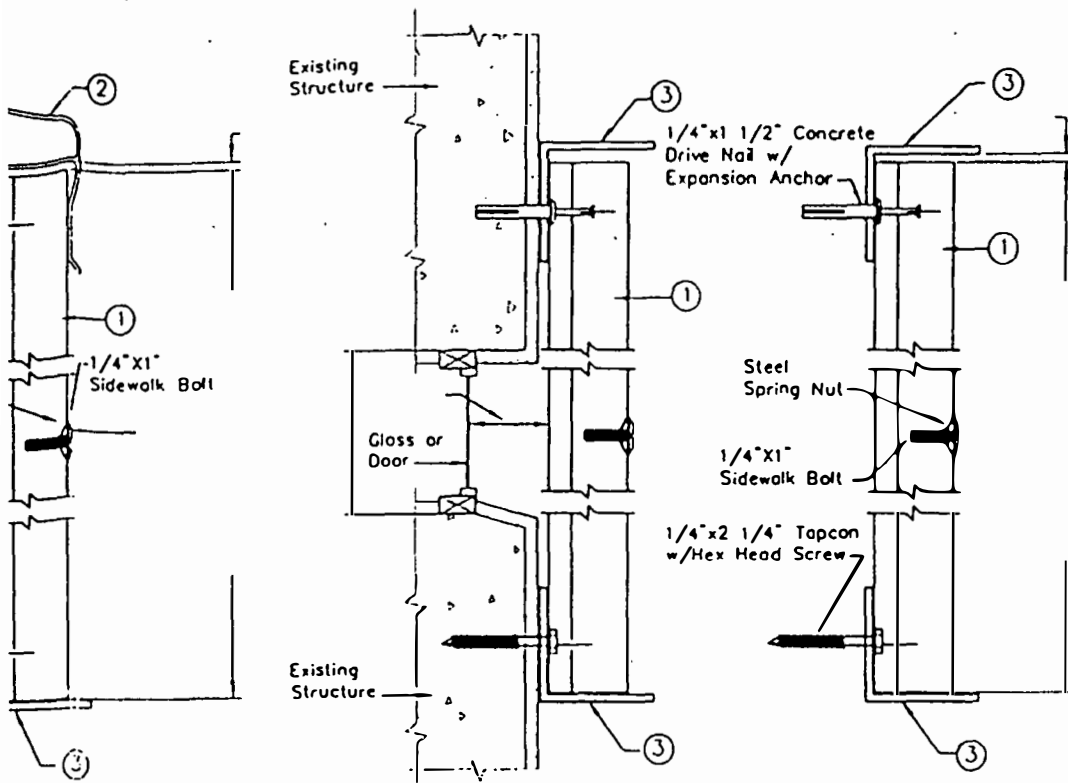
③ STUD ANGLE



④ PATIO SILL DETAIL



STU



Southeastern Metals
 Manufacturing Co., Inc.
 11801 Industry Drive - Jacksonville, Florida



TO ANGLE DETAIL ANGLE TO WALL DETAIL PANEL TO ANGLE DETAIL
 MOUNT SYSTEM (C) STUDED ANGLE / TOP & BOTTOM MOUNT SYSTEM N.T.S.

Charles T. Bruchett
 10/24/02

⚠	Changed Trough Anchor to a Rawl Calk-in with 13" o.c. spacing	10/17/01
⚠	Added thickness to aluminum tube & added Drawing Number	9/9/00

OPERATE WITH
 WITH 10' O.C.
 PANEL SPACING
 COMPLETE SYSTEM

Rev.	1	2 of 2
Rev.	2	
Rev.	3	
Rev.	4	

ANCHOR SCHEDULE (MIN. 2" EDGE DISTANCE)		
EXISTING STRUCTURE	ANCHOR TYPE	FASTENER SPACING (IN)
WOOD	1" x 1/4" / 20 WOOD BUSHING / 1/4" x 1" / 20 HEX HEAD BOLT SS	6.5
	1/4" Ø WOOD LAG WITH 1 1/2" MIN. EMBEDMENT	6.5
	1/4" x 2" ELCO PANEL MATE MASONRY BOLT WITH 1 1/4" GALV. WASHER & WASHERED WINGED NUT	13
	1" x 1/4" / 20 WOOD BUSHING / 1/4" x 1" / 20 SIDEWALK BOLT	6.5

ANCHOR SCHEDULE (MIN. 2" EDGE DISTANCE)		
EXISTING STRUCTURE	ANCHOR TYPE	FASTENER SPACING (IN)
HOLLOW BLOCK	1/4" Ø RAWL CALK-IN ANCHOR & 1/4" x 1" SIDEWALK BOLT (3/4" Ø HEAD)	13
	1/4" x 2 1/4" TAP CON WITH HEX HEAD SCREW WITH 1 1/2" MIN. EMBEDMENT	6.5
	1/4" Ø RAWL CALK-IN ANCHOR & 1/4" x 1" SIDEWALK BOLT (3/4" Ø HEAD)	13
	1/4" x 2" ELCO PANEL MATE MASONRY BOLT WITH 1 1/4" GALV. WASHER & WASHERED WINGED NUT	13

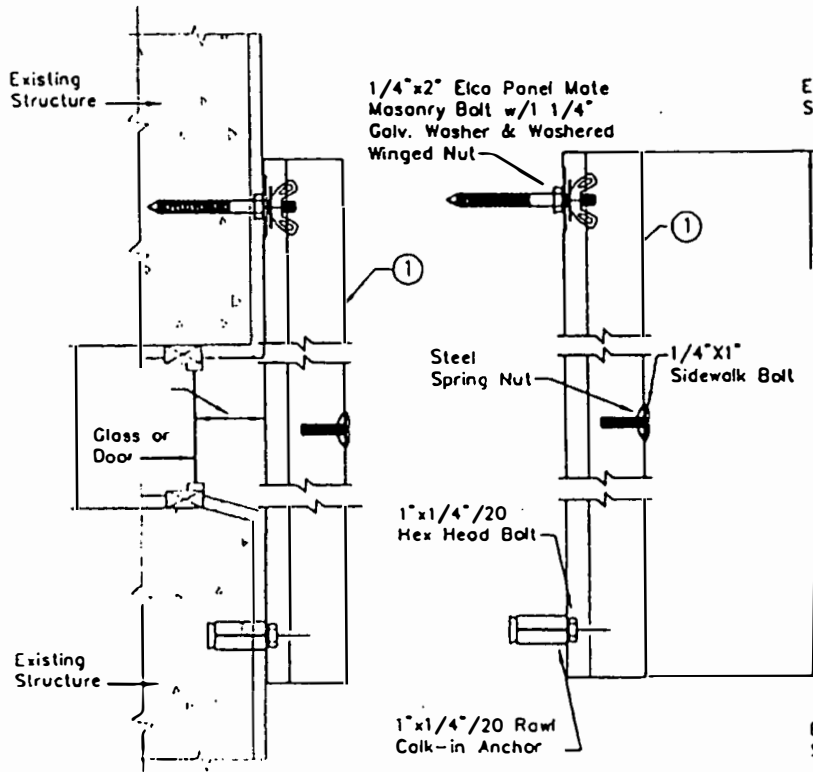
ANCHOR SCHEDULE (MIN. 2" EDGE DISTANCE)		
EXISTING STRUCTURE	ANCHOR TYPE	FASTENER SPACING (IN)
CONCRETE	1/4" Ø RAWL CALK-IN ANCHOR & 1/4" x 1" SIDEWALK BOLT (3/4" Ø HEAD)	13
	1/4" x 2" CONCRETE DRIVE NAIL WITH EXPANSION ANCHOR	6.5
	1/4" x 2 1/4" TAP CON WITH HEX HEAD SCREW WITH 1 1/2" MIN. EMBEDMENT	6.5
	1/4" x 2" ELCO PANEL MATE MASONRY BOLT WITH 1 1/4" GALV. WASHER & WASHERED WINGED NUT	13
	1/4" Ø RAWL CALK-IN ANCHOR & 1/4" x 1" SIDEWALK BOLT (3/4" Ø HEAD)	13
	1/4" x 2" CONCRETE DRIVE NAIL WITH EXPANSION ANCHOR	6.5

*NOT AVAILABLE FOR 86" PANEL LENGTH ONLY.
 *NOT AVAILABLE FOR 86" PANEL LENGTHS FOR HOLLOW BLOCK ONLY FOR 13" O.C. SPACING

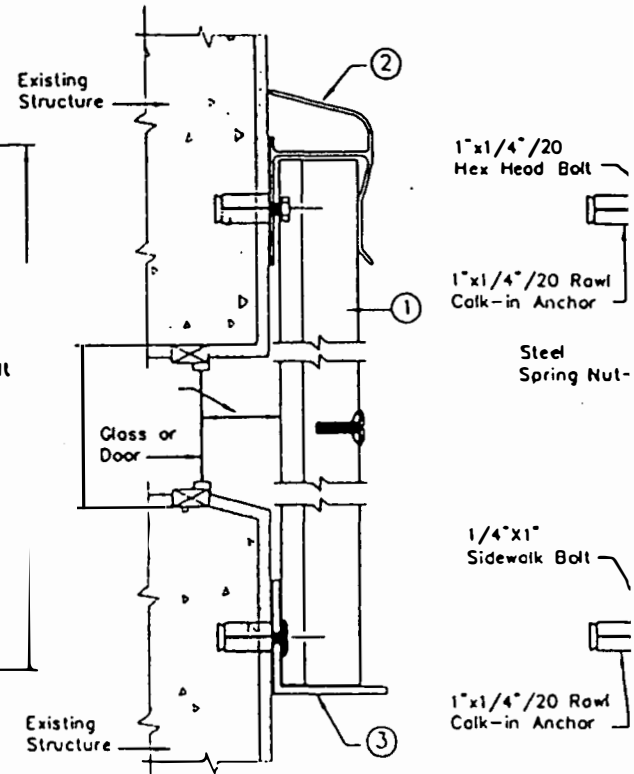
PRODUCT REVISED
 as complying with the Florida
 Building Code
 Acceptance No 02-0809-02
 Expiration Date 10/10/2007
 By *Helmut A. Miller*
 Miami Dade Product Control
 Division

3d Lag
 /2" Min.
 1t
 /2" Lag
 o.c. Max
 netralize
 Studs

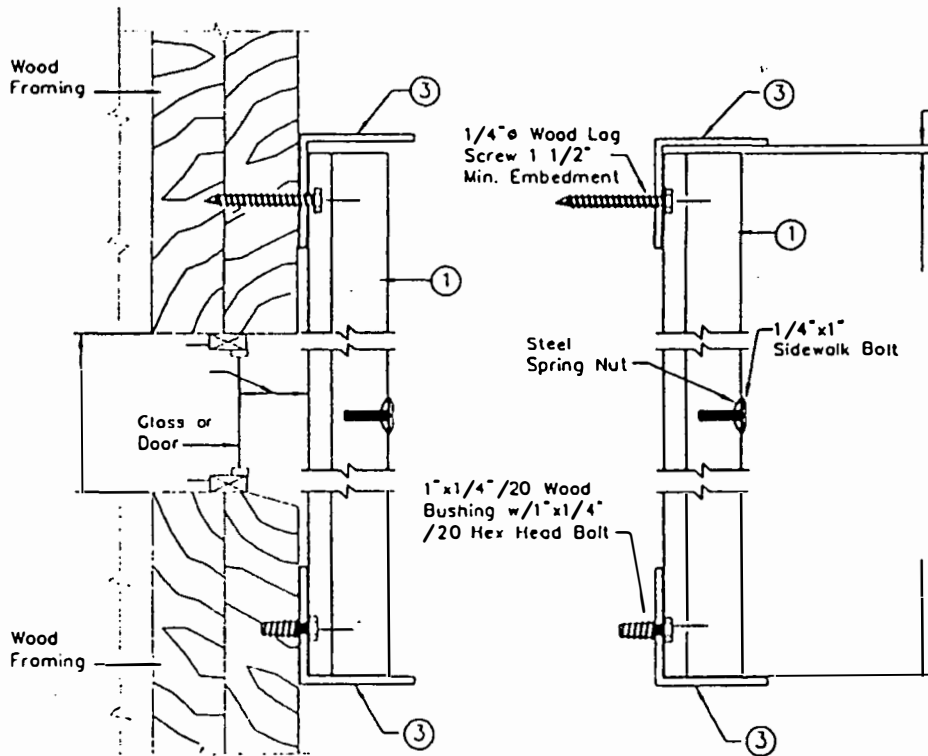
(TOM)



(A) WALL MOUNT SECTION (DIRECT MOUNT SYSTEM)
N.T.S

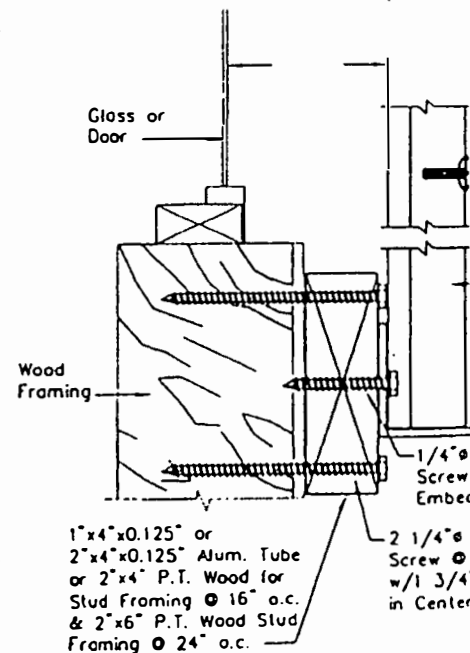


(B) HEADER / STUDDED ANGLE
N.T.S



ANGLE TO WALL DETAIL

PANEL TO ANGLE DETAIL



*THIS DETAIL MAY BE USED AT TOP OR BOTTOM OF PANEL

(E) STUDDED ANGLE / TOP & BOTTOM MOUNT SYSTEM (WOOD FRAME)
N.T.S

WALL MOUNT SECTION (E)
N.T.S



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 102 S. RIVER

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

EXT. DOOR

FASTENERS MISSING AT JAMBS,
HEAD & SILL - SPACING
SHOULD BE AS PER MATERIAL
PRODUCT APPROVAL

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 7/5

[Signature]
INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri TUES 7/5, 2007 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7644	RICCA	DRY-IN	FAIL	NO PERMIT \$40 FEE
2	5 BANYAN RD GENERAL SVCS			INSPECTOR: <i>[Signature]</i>
7386	McCORMICK	FOOTING	—	CANCEL WILL RESCHEDULE
3	59 N. RIVER RD PINE ORCHARD			INSPECTOR: <i>[Signature]</i>
7656	Overholser	EXT DR	FAIL	
1	102 S. River Rd O/B			INSPECTOR: <i>[Signature]</i>
				INSPECTOR:
				INSPECTOR:
				INSPECTOR:
				INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 7/8, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7467	KIPLINGER	FENCE	PASS	CLOSE
3	143 S. RIVER			
	UNITED FENCE	(SO.-MOST DRIVEWAY)		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	VINCENTO	TREE	PASS	CLOSE
7	4 RIVERVIEW			
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6536	BARILE	FENCE	PASS	CLOSE
9	17 FIELDWAY DR			
	UNITED FENCE			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7480	BARILE	FENCE	PASS	CLOSE
9	17 FIELDWAY DR			
	UNITED FENCE			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7573	SONES	PAVE FINAL	PASS	CLOSE
6	51 S. BROWN ^{SS PR.}	DRIVEWAY		
	WITWOOD + Co.			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7656	OVERHOLSER	EXT DOOR	PASS	CLOSE
4	102 S. RIVER RD			
	O/B			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7439	DIMITRIOU	IN PROG	—	CANCEL
10	6 BANYAN RD			SET 7/13
	FEAZEL ROOFING	461-6336 CRYSTAL REQ 11:30 PLEASE		INSPECTOR: <i>[Signature]</i>

OTHER: _____

9592

GARAGE DOOR



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9592	DATE ISSUED:	SEPTEMBER 30, 2010
SCOPE OF WORK:	REPLACE GARAGE DOOR		
CONDITIONS :			
CONTRACTOR:	D&D GARAGE DOORS		
PARCEL CONTROL NUMBER:	123841002-000-004600	SUBDIVISION	RIO VISTA – LOT 46
CONSTRUCTION ADDRESS:	102 S RIVER RD		
OWNER NAME:	WALSER		
QUALIFIER:	DENVER MILLER	CONTACT PHONE NUMBER:	460-7630

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9592		
ADDRESS	102 S RIVER RD		
DATE:	9/30/10	SCOPE:	REPLACE GARAGE DOOR
SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	

FOR SECURITY PURPOSES, THE FACE OF THIS DOCUMENT CONTAINS A COLORED BACKGROUND AND MICROPRINTING IN THE BORDER

GARAGE DOOR DEPOT
 PH# 772-335-0552
 PO BOX 880667
 PORT ST LUCIE, FL 34953

RIVERSIDE NATIONAL BANK
 OKEECHOBEE ROAD OFFICE 001
 FORT PIERCE, FL

10247

9/28/2010

PAY TO THE ORDER OF SEWELLS POINT \$ **80.00

Eighty and 00/100***** DOLLARS

SEWELLS POINT
 TOWN HALL
 1 S. SEWELLS POINT RD
 STUART, FL 34996

Carrie J. Grace
 AUTHORIZED SIGNATURE

MEMO SECURITY FEATURES INCLUDED. DETAILS ON BACK

TOTAL BUILDING PERMIT FEE:	\$	
ACCESSORY PERMIT	Declared Value:	\$ 900
Total number of inspections @ \$75.00 each	1	\$ 75
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$ 5
TOTAL ACCESSORY PERMIT FEE:	\$	80

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: 9592

Date: 9-29-10

OWNER/TITLEHOLDER NAME: Robbie Walser Phone (Day) 408-3780 (Fax)

Job Site Address: 102 S. River Rd City: Sewalls Point State: FL Zip:

Legal Description Rio Vista Lot 46 Parcel Control Number: 12-38-41-002-000-0046-0

Owner Address (if different): City: State: Zip:

Scope of work (please be specific): Tear down + replace 16x7 garage door

WILL OWNER BE THE CONTRACTOR? (If yes, Owner Builder questionnaire must accompany application) YES NO Has a Zoning Variance ever been granted on this property? YES (YEAR) NO (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications) Estimated Value of Improvements: \$ 900 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out) Is subject property located in flood hazard area? VE10 AE9 AE8 X FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY: Estimated Fair Market Value prior to improvement: \$ (Fair Market Value of the Primary Structure only, Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: D+D Garage Doors Phone: 460-7630 Fax: 460-7635 Street: 500 Kitterman Rd City: Port St Lucie State: FL Zip: 34952

State License Number: OR: Municipality: License Number: SPD3359

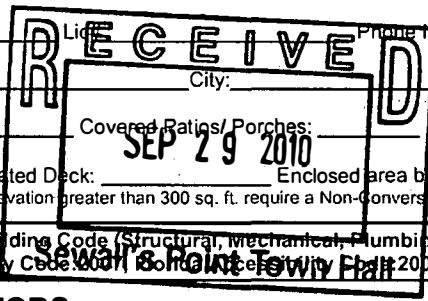
LOCAL CONTACT: Connie Grace Phone Number: 772-460-7630

DESIGN PROFESSIONAL: N/A

Street: City: State: Zip:

AREAS SQUARE FOOTAGE: Living: Garage: Covered Patios/Porches: Enclosed Storage: Carport: Total under Roof Elevated Deck: Enclosed area below BFE: * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007 National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007 Florida Fire Prevention Code 2007



NOTICES TO OWNERS AND CONTRACTORS:

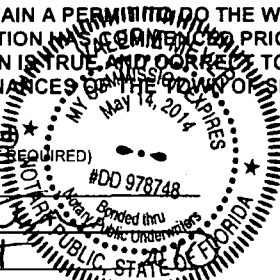
- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. 2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES. 3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95. 4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required) OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED) State of Florida, County of: Martin This the 29th day of Sept by Robert J. Walser who is personally known to me or produced FDOT # 0426-770-69-424-0 as identification. Valerie Meyer Notary Public My Commission Expires:

CONTRACTOR SIGNATURE: (required) On State of Florida, County of: St Lucie This the 28 day of Sept 2010 by Denver Miller who is personally known to me or produced As identification: Tobbyan Lee Notary Public My Commission Expires:



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.1) AND OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT FROM ME TODAY!

EXPIRES: April 26, 2014 Bonded Thru Budget Notary Services



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
governmax.com 1.14

Summary

print | | | | | Owner 1 of 1

Tabs

Summary

Print View

Land

Improvements

Assessments &

Exemptions

Sales

Taxes →

Parcel Map →

Trim Notice →

Searches

Parcel ID

Owner

Address

Account #

Land Use

Legal Description

Neighborhood

Sales

Maps →

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
12-38-41-002-000-00460-0	27559	102 S RIVER RD, SEWALL'S POINT	\$287,810	9/25/2010

Owner Information

Owner(Current)

OVERHOLSER MERLE W & MARY E

Owner/Mail Address

212 MOONLIGHT TRL
SEVEN DEVILS NC 28604

Sale Date

03/01/1985

Document Number

Document Reference No.

0631 1479

Sale Price

175000

Location/Description

Account #	Tax District	Parcel Address	Acres	Map Page No.	Legal Description
27559	2200	102 S RIVER RD, SEWALL'S POINT	.3440	SP-04	RIO VISTA S/D LOT 46

Functions

Property Search

Contact Us

On-Line Help

County Home

Site Home

County Login

Parcel Type

Land Use	0100 Single Family
Neighborhood	120250 RIO VISTA DRY

Assessment Information

Market Land Value	\$139,700
Market Improvement Value	\$148,110
Market Total Value	\$287,810

Print First Previous Next Last

Legal Disclaimer / Privacy Statement

THIS INSTRUMENT PREPARED BY AND RETURN TO:

INFINITI TITLE INSURANCE AGENCY, INC.
2833 S.W. BRIGHTON STREET
PORT ST. LUCIE, FL 34953

Property Appraisers Parcel Identification (Folio) Numbers: 12-38-41-002-000-00460-0

Space Above This Line For Recording Data

THIS WARRANTY DEED, made the 23rd day of September, 2010 by HARRIET OSTERTAG, INDIVIDUALLY AND AS TRUSTEE OF THE 102 S. RIVER ROAD RESIDENTIAL LAND TRUST DATED NOVEMBER 11, 2009, whose post office address is 9433 S. OCEAN DRIVE, JENSEN BEACH, FL 34957 herein called the Grantor, to ~~ROBERT J. WALSER, JR. and SHELLEY M. WALSER, HUSBAND AND WIFE*~~ whose post office address is 102 S. RIVER ROAD, STUART FLORIDA 34996, hereinafter called the Grantees:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

*ROBERT J. WALSER, SR. joint tenants with full rights of survivorship
WITNESSETH: That the grantor, for and in consideration of the sum of TWO HUNDRED FORTY SEVEN THOUSAND FOUR HUNDRED AND 00/100'S (\$247,400.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee all that certain land situate in MARTIN County, State of Florida, viz.:

Lot 46, Rio Vista Subdivision, according to the map or plat thereof, as recorded in Plat Book 6, Page 95, of the Public Records of Martin County, Florida.

Subject to easements, restrictions and reservations of record and taxes for the year 2010 and thereafter.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the grantor hereby covenants with said grantees that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2009.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

[Signature]
Witness #1 Signature

R. O'Dell
Witness #1 Printed Name

[Signature]
Witness #2 Signature

R. O'Dell
Witness #2 Printed Name

THE 102 S. RIVER ROAD RESIDENTIAL LAND TRUST DATED NOVEMBER 11, 2009

[Signature]
HARRIET OSTERTAG, TRUSTEE

[Signature]
HARRIET OSTERTAG, INDIVIDUALLY

STATE OF FLORIDA
COUNTY OF MARTIN

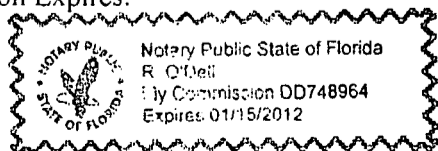
The foregoing instrument was acknowledged before me this 23rd day of September, 2010 by HARRIET OSTERTAG, INDIVIDUALLY AND AS TRUSTEE OF THE 102 S. RIVER ROAD RESIDENTIAL LAND TRUST DATED NOVEMBER 11, 2009, who is personally known to me or has produced DRIVERS LICENSE as identification.

SEAL

[Signature]
Notary Public

Printed Notary Name

My Commission Expires:





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

GARAGE DOOR REPLACEMENT CHECKLIST

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

Please make sure you have ALL required copies before submitting permit application

- _____ **1 Copy** Completed permit application including,
 - Legal Description
 - Notarized signature of owner & contractor
 - Proof of ownership (Recorded warranty deed or tax bill)

- _____ **2 Copies** Manufacturer's product approval w/design pressures shown.
(**Indicate the size of the proposed replacement garage)

- _____ **2 Copies** FBC 2007 table 1609.6(2) & 1609.6(1) (attached) – Circle or Hi-light the appropriate height & exposure adjustment coefficient *Table 1609.6(2)) and the appropriate +/- minimum pressures required (Table 1609.6(1)). (NOTE: The values arrived in these charts are the minimum design pressures required for the replacement garage door)

- _____ **1 Copy** Notice of Commencement, if replacement value is over \$2500.00. Must be submitted prior to the first inspection.

- _____ **1 Copy** Owner/Builder Application, if applicable

SPECIFICATIONS AND PRODUCT APPROVALS

- Specs. For all garage doors must be tested by an approved testing lab and design pressures stated

- Garage doors cannot have any glazed openings unless the glazed openings are impact resistant glass.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

TABLE 1609.6(2)

ADJUSTMENT FACTOR FOR BUILDING HEIGHT AND EXPOSURE (z)

MEAN ROOF HEIGHT (feet)	EXPOSURE		
	B	C	D
20	1.00	1.29	1.55
25	1.00	1.35	1.61
30	1.00	1.40	1.66
35	1.05	1.45	1.70
40	1.09	1.49	1.74
45	1.12	1.53	1.78
50	1.16	1.56	1.81
55	1.19	1.59	1.84
60	1.22	1.62	1.87

For SI: 1 foot = 304.8mm.

FORMULA FOR DESIGN PRESSURES

Example: 25 ft mean roof height, exposure C
 16 X 7 Door 140mph.

Pressure	Exposure C multiplier	Req. Design Pressure
29.7	X 1.35	= +40.095
-33.1	X 1.35	= -44.685

Garage Door must be rated at +40.1/-44.68 minimum. **This formula must be completed for exposure C:**

Pressure	Exposure C multiplier	Req. Design Pressure
29.7	X 1.21	= 35.94 (+)
33.1	X 1.21	= 40.06 (-)

TABLE 1609.6(1)

GARAGE DOOR WIND LOADS FOR A BUILDING WITH A MEAN ROOF HEIGHT OF 30 FEET LOCATED IN EXPOSURE B (psf)

EFFECTIVE WIND AREA		Basic Wind Speed V (mph - 3 second gust)							
Width (ft)	Height (ft)	85	90	100	110	120	130	140	150
Roof Angle 0-10 degrees									
8	8	10.5 -11.9	11.7 -13.3	14.5 -16.4	17.5 -19.9	20.9 -23.6	24.5 -27.7	28.4 -32.2	32.6 -36.9
10	10	10.1 -11.4	11.4 -12.7	14.0 -15.7	17.0 -19.0	20.2 -22.7	23.7 -26.6	27.5 -30.8	31.6 -35.4
14	14	10.0 -10.7	10.8 -12.0	13.3 -14.8	16.1 -17.9	19.2 -21.4	22.5 -25.1	26.1 -29.1	30.0 -33.4
Roof Angle > 10									
9	7	11.4 -12.9	12.8 -14.5	15.8 -17.9	19.1 -21.6	22.8 -25.8	26.7 -30.2	31.0 -35.1	35.6 -40.2
15	7	10.9 -12.2	12.3 -13.7	15.2 -16.9	18.3 -20.4	21.8 -24.3	25.6 -28.5	29.7 -33.1	34.1 -38.0

For SI: 1 Square foot = 0.929 Sqm. 1 mph = 0.447 m/s. 1 psf = 47.88 N/sqm.

1. For effective areas or wind speeds between those given above the load may be interpolated, otherwise use the load associated with the lower effective area.
2. Table values shall be adjusted for height and exposure by multiplying by adjustment coefficients in Table 1606.2D.
3. Plus and minus signs signify pressures acting toward and away from the building surfaces.
4. Negative pressures assume door has 2 feet of width in building's end zone.

1609.6 Garage doors. Pressures from Table 1609.6(1) for wind loading actions on garage doors for Buildings designed as enclosed shall be permitted.



MIAMI-DADE COUNTY
BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
 METRO-DADE FLAGLER BUILDING
 140 WEST FLAGLER STREET, SUITE 1603
 MIAMI, FLORIDA 33130-1563
 (305) 375-2901 FAX (305) 372-6339

NOTICE OF ACCEPTANCE (NOA)

www.miamidade.gov/buildingcode

DAB Door Company, Inc.
 12195 NW 98th Avenue
 Hialeah Gardens, FL 33018

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: 16'-2" Wide x 16' High Steel Sectional Garage Door w/ Window Lite Option

APPROVAL DOCUMENT: Drawing No. 02-21, titled "Sectional Garage Door", dated 09/10/02, with last revision E dated 01/06/10, sheets 1 through 5 of 5, prepared by Al-Farooq Corporation, signed and sealed by Arshad Viqar, P.E., bearing the Miami-Dade County Product Control renewal stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official. This NOA renews NOA # 09-0128.02 and consists of this page 1 and evidence pages E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by **Carlos M. Utrera, P.E.**



[Handwritten Signature]
 03/11/10

NOA No. 10-0216.04
 Expiration Date: July 21, 2015
 Approval Date: March 31, 2010
 Page 1

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

A. DRAWINGS

1. Drawing No. **02-21**, titled "Sectional Garage Door", dated 09/10/02, with last revision E dated 01/06/10, sheets 1 through 5 of 5, prepared by Al-Farooq Corporation, signed and sealed by Arshad Viqar, P.E.

B. TESTS

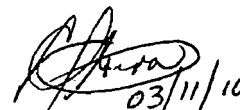
1. Test Report on Large Missile Impact Test and Cyclic Wind Pressure Test, of "Sectional Residential Door with Windows", prepared by Hurricane Engineering & Testing Inc., Report No. **HETI 03-1328**, dated 07/15/03, signed and sealed by Rafael E. Droz-Seda, P.E.
2. Test Report on Uniform Static Air Pressure Test, of "Sectional Residential Door" prepared by Hurricane Engineering & Testing Inc., Report No. **HETI 03-1329**, dated 07/15/03, signed and sealed by Rafael E. Droz-Seda, P.E.
3. Test Report on Tensile Test per ASTM E-8 of "Sectional Residential Door (skin)", prepared by Hurricane Engineering & Testing Inc, Report No. **HETI 03-T078**, dated 10/31/03, signed and sealed by Rafael E. Droz-Seda, P.E.
"Submitted under NOA # 05-0228.02"
4. Test report on Salt Spray (Corrosion) Test per ASTM B 117 of a painted G-40 steel panels, prepared by Celotex Corporation, Test Report No. **258592**, dated 08/17/98, signed by W. A. Jackson, P.E.
"Submitted under NOA # 03-0210.04"

C. CALCULATIONS

1. Anchor verification calculations prepared by Al-Farooq Corporation, complying with F.B.C 2007, dated 12/19/08, signed and sealed by Humayoun Farooq, P.E.
"Submitted under NOA # 09-0128.02"

D. QUALITY ASSURANCE

1. Miami Dade Building Code Compliance Office (BCCO)



03/11/10

Carlos M. Utrera, P.E.
Product Control Examiner
NOA No. 10-0216.04
Expiration Date: July 21, 2015
Approval Date: March 31, 2010

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

E. MATERIAL CERTIFICATIONS

1. Notice of Acceptance No. **08-0305.02**, issued to SABIC Innovative Plastics, for their Lexan Sheet Products, approved on 04/24/08 and expiring on 07/17/13.
 2. Notice of Acceptance No. **07-1016.07**, issued to Insulfoam, LLC, for their Insulfoam Expanded Polystyrene Insulation, approved on 11/29/07 and expiring on 11/29/12.
 3. Notice of Acceptance No. **07-1107.08**, issued to Dyplast Products, LLC, for their Expanded Polystyrene Block Type Insulation, approved on 02/28/08 and expiring on 01/11/12.
 4. Notice of Acceptance No. **07-0301.10**, issued to Dyplast Products, LLC, for their Dyplast ISO-C1 Polyisocyanurate Insulation, approved on 06/07/07 and expiring on 01/11/12.
-
1. Test Report on Accelerated Weathering Using Xenon Arc Light Apparatus Test per ASTM G155 of "PVC Extrusion Material", prepared by Hurricane Engineering & Testing, Inc., Report No. **HETI 04-A002**, dated 09/27/04, signed and sealed by Rafael E. Droz-Seda, P.E.
 2. Test Reports on Tensile Test per ASTM D638 of "PVC Extrusion Material", prepared by Hurricane Engineering & Testing Inc., Report No. **HETI 04-T251**, dated 11/29/04 signed and sealed by I. Ghia, P.E.
 3. Test Report on Self-Ignition Temperature Test, Rate of Burn Test and Smoke Density Test of "REHAU non-foam PVC extrusion material", prepared by ETC Laboratories, Report No. **04-761-15019.0**, dated 05/06/04, signed and sealed by J. L. Doldan, P.E.
"Submitted under NOA # 05-0228.02"

F. STATEMENTS

1. Change of engineer letter issued by Al-Farooq Corporation, dated 01/08/10, signed and sealed by Arshad Viqar, P.E.
 2. No change to product letter issued by DAB Door Company, Inc, dated 02/09/10, signed by Roseanne Berger.
-
1. Statement letter of code conformance issued by Al-Farooq Corporation, dated 12/05/08, signed and sealed by Humayoun Farooq, P.E.
 2. Statement letter of no financial interest issued by Al-Farooq Corporation, dated 12/05/08, signed and sealed by Humayoun Farooq, P.E.
"Submitted under NOA # 09-0128.02"



03/11/10

Carlos M. Utrera, P.E.
Product Control Examiner
NOA No. 10-0216.04
Expiration Date: July 21, 2015
Approval Date: March 31, 2010



7-1/2" x 3" x .071"
GALV. STEEL END ROLLER HINGE
W/ (6) #14 x 5/8" SMS

7-1/2" x 2-1/4" x 18 GA.
GALV. STEEL CENTER HINGE
W/ (4) #14 x 5/8" SMS

LOCK
2/ DOOR

1" W x .15 THK. LATCH

SPRING LOADED SLIDE BOLT LOCK (BOTH SIDES)
FASTENED W/ (4) #14 x 1/2" S.M.S.
5/8" MIN. LOCK ENGAGEMENT CONFORMS TO
FBC 1012 REGARDING GARAGE DOORS

.158 DIA. GALV. AIRCRAFT TYPE
CABLE & NICO-PRESS SLEEVE
W/ MIN. 5 TO 1 SAFETY FACTOR

2-3/4" W x 5-5/8" H x .080" THK.
STEEL PLATE, 1-3/8" DEEP
WITH (3) #14 x 3/4"
SELF DRILLING SCREWS

BRACKET
STD. LIFT DOOR

BRACKET
LOW HEADROOM
DOOR OPTION

7-7/8" x 3-1/8" x .010"
STEEL PLATE
WITH (4) #14 x 3/4" SDS

CENTER STILE

OUTSIDE
HANDLE

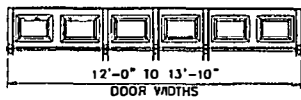
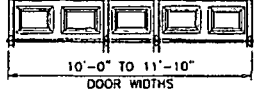
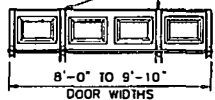
END STILE

LOCK BAR GUIDES
INSTALLED ON END STILE
WITH (4) #14 x 5/8" SMS

.18T x .6W LOCK BAR
ENGAGES IN TRACK
ON EACH SIDE OF DOOR

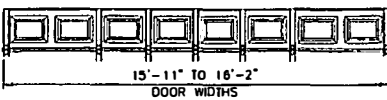
OUTSIDE KEYED LOCK
LOCK BAR LOCKING SHOWN
ALT. TO LOCKS SHOWN ABOVE

CENTER STILES

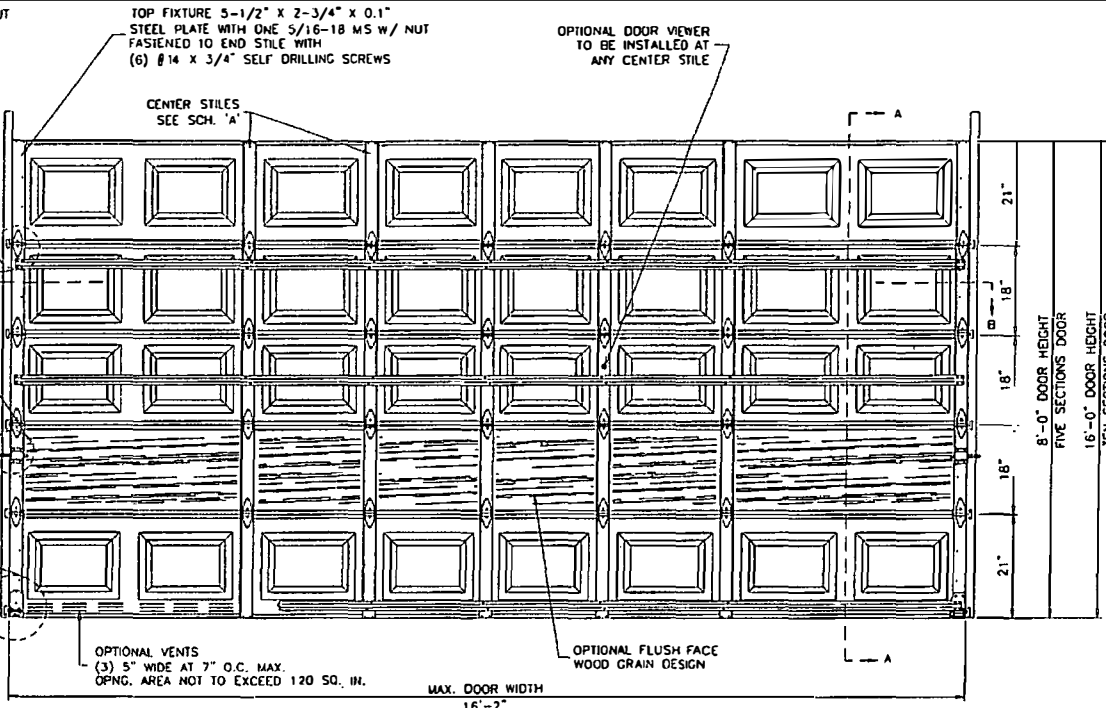


SCHEDULE 'A'

DOOR WIDTHS	# OF CENTER STILES
8'-0" TO 9'-10"	2
10'-0" TO 11'-10"	2
12'-0" TO 13'-10"	3
14'-0" TO 15'-10"	4
15'-11" TO 16'-2"	5



AT (4) SECTIONS DOORS
TOP SECTION WITH 'U' BAR
ALL OTHER DOORS
TOP SECTION WITHOUT 'U' BAR



INSIDE ELEVATION
RAISED PANEL EMBOSSED DOOR

DAB DOOR MODEL 824
MAX. SIZE 16'-2" WIDE X 16'-0" HIGH
24 GA. ROLL FORMED STEEL

DESIGN PRESSURE RATING: 36.0 PSF
44.0 PSF

THIS PRODUCT IS RATED FOR LARGE MISSILE IMPACT

GENERAL NOTES

1. THIS PRODUCT HAS BEEN DESIGNED AND TESTED TO COMPLY WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 2007 EDITION INCLUDING HIGH VELOCITY HURRICANE ZONE.
2. ANCHORS SHALL BE AS LISTED, SPACED AS SHOWN ON DETAILS. ANCHOR EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR SUCCO.
3. ALL BOLTS, NUTS AND WASHERS SHALL BE ZINC FLATED CARBON STEEL.
4. ANCHORING OR LOADING CONDITIONS OTHER THAN THOSE SHOWN IN THESE DETAILS ARE NOT PART OF THIS APPROVAL.
5. A LOAD DURATION INCREASE IS USED IN DESIGN OF ANCHORS INTO WOOD ONLY.

Engr: ARSHAD VIDAR
CIVIL
FLA. P.E. # 38863
C.A.N. 3538

Signature

JAN 08 2010

PRODUCT RENEWED
as complying with the Florida
Building Code
Acceptance No. 10-0216-04
Expiration Date 07/27/2015

By: *Signature*
Miami Dade Product Control
Division

DOOR HEIGHT	CONSISTS OF	TOTAL # OF 'U' BARS AT EACH DOOR
6'-6"	2 SECTIONS 18"	2 SECTIONS 21"
6'-9"	1 SECTION 18"	3 SECTIONS 21"
7'	4 SECTIONS 21"	-
7'-3"	-	-
7'-6"	5 SECTIONS 18"	-
7'-9"	4 SECTIONS 18"	1 SECTION 21"
8'	3 SECTIONS 18"	2 SECTIONS 21"
8'-3"	2 SECTIONS 18"	3 SECTIONS 21"
8'-6"	1 SECTION 18"	4 SECTIONS 21"
8'-9"	5 SECTIONS 21"	-
9'	8 SECTIONS 18"	-
9'-3"	5 SECTIONS 18"	1 SECTION 21"
9'-6"	4 SECTIONS 18"	2 SECTIONS 21"
9'-9"	3 SECTIONS 18"	3 SECTIONS 21"
10'	2 SECTIONS 18"	4 SECTIONS 21"
10'-3"	1 SECTION 18"	5 SECTIONS 21"
10'-6"	6 SECTIONS 21"	-
10'-9"	6 SECTIONS 18"	1 SECTION 21"
11'	5 SECTIONS 18"	2 SECTIONS 21"
11'-3"	4 SECTIONS 18"	3 SECTIONS 21"
11'-6"	3 SECTIONS 18"	4 SECTIONS 21"
11'-9"	2 SECTIONS 18"	5 SECTIONS 21"
12'	1 SECTION 18"	6 SECTIONS 21"
12'-3"	7 SECTIONS 21"	-
12'-6"	6 SECTIONS 18"	2 SECTIONS 21"
12'-9"	5 SECTIONS 18"	3 SECTIONS 21"
13'	4 SECTIONS 18"	4 SECTIONS 21"
13'-3"	3 SECTIONS 18"	5 SECTIONS 21"
13'-6"	2 SECTIONS 18"	6 SECTIONS 21"
13'-9"	1 SECTION 18"	7 SECTIONS 21"
14'	8 SECTIONS 21"	-
14'-3"	6 SECTIONS 18"	3 SECTIONS 21"
14'-6"	5 SECTIONS 18"	4 SECTIONS 21"
14'-9"	4 SECTIONS 18"	5 SECTIONS 21"
15'	3 SECTIONS 18"	6 SECTIONS 21"
15'-3"	2 SECTIONS 18"	7 SECTIONS 21"
15'-6"	1 SECTION 18"	8 SECTIONS 21"
15'-9"	8 SECTIONS 21"	-
16'	8 SECTIONS 18"	4 SECTIONS 21"

afc

AL-FAROOQ CORPORATION
ENGINEERS & PRODUCT DEVELOPMENT
1235 S.W. 87 AVE
MIAMI, FLORIDA 33174
TEL: (305) 264-8100 FAX: (305) 262-6978
GARAGE_D02-21DAB

SECTIONAL GARAGE DOOR

DAB DOORS INC.
12195 N.W. 98 TH. AVE.
HIALCAH GARDENS, FL. 33018
TEL: (305) 556 - 6824

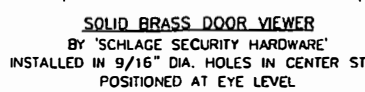
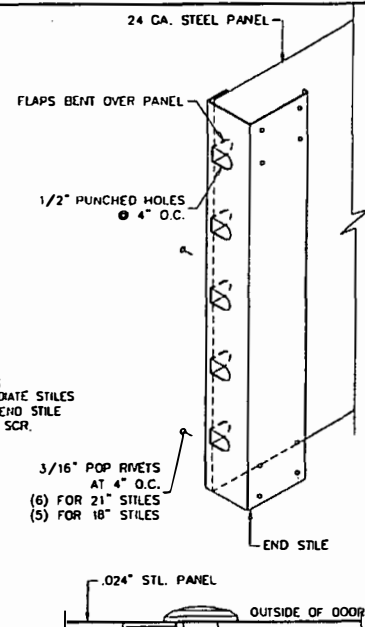
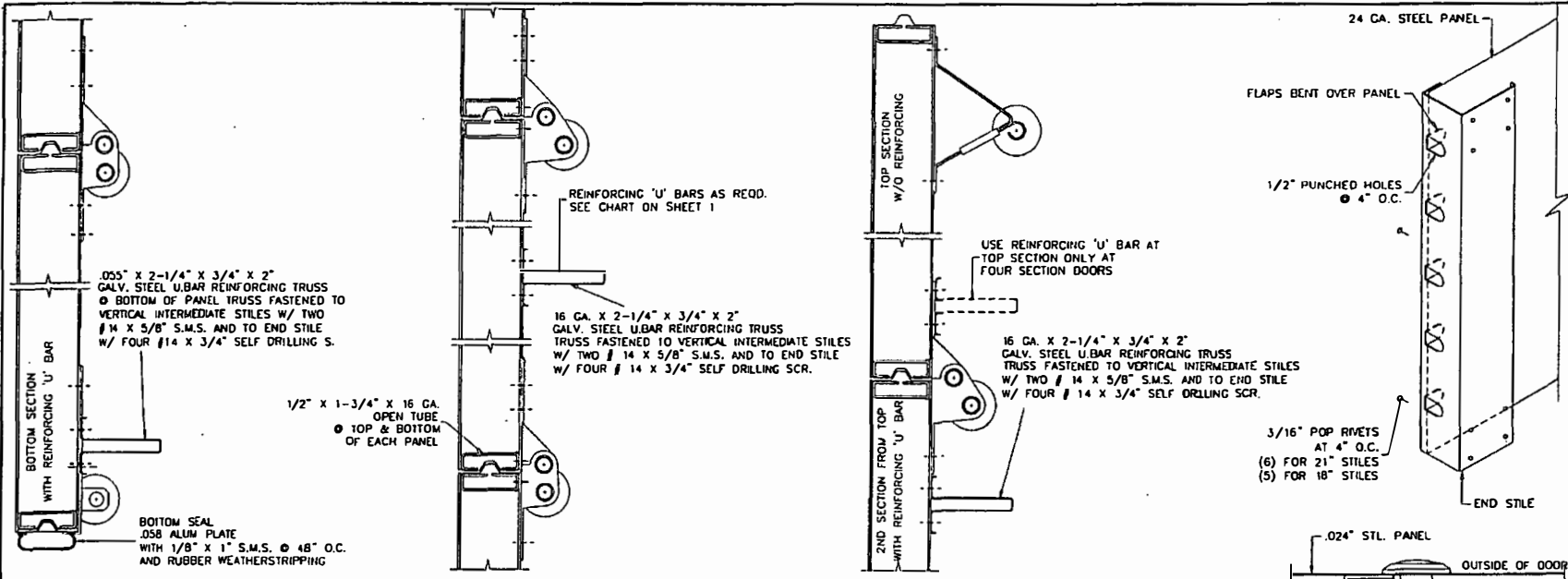
REVISIONS:

NO.	DATE	BY	DESCRIPTION
A	12.08.07	REV. PER BCCO COMMENTS	
B	01.19.05	DOORS W/ WIND OPTION ADDED	
C	05.20.05	REV. PER BCCO COMMENTS	
D	12.17.05	UPDATED FOR 2007 FBC	
E	01.08.10	ENGINE NAME CHANGED	

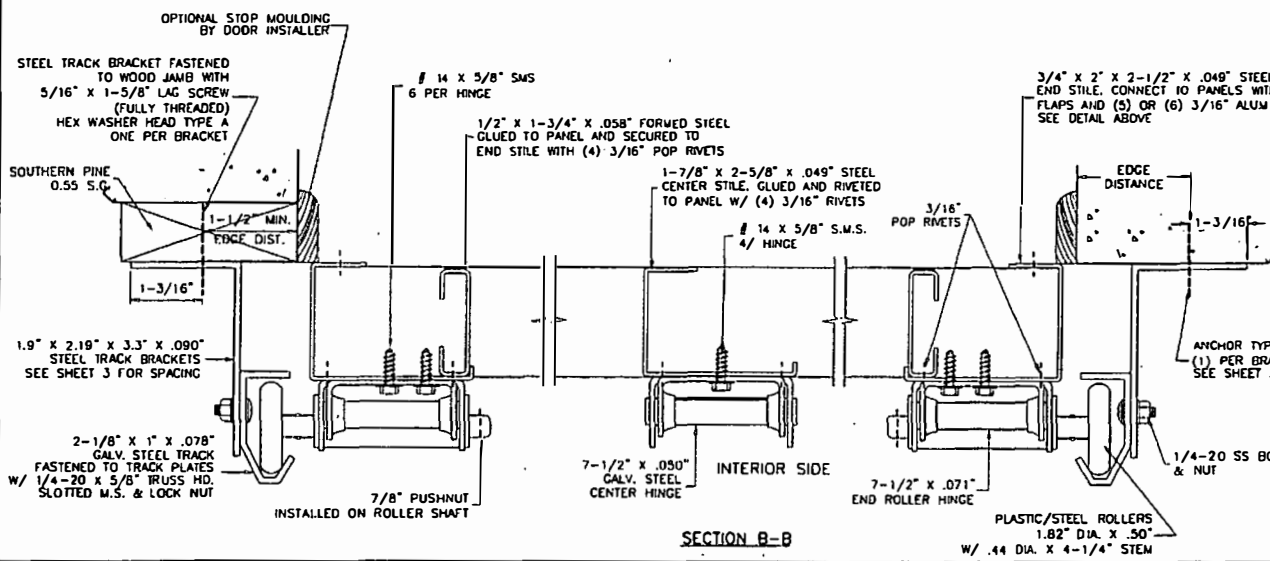
DATE: 09-10-09
SCALE: 1/2" = 1'-0"
DR: BY: HAMID
CHK: BY:

drawing no.
02-21

sheet 1 of 5



ANCHORS:
 3/8" DIA. POWER-BOLT BY "POWERS"
 A) 2" MIN. EMBED INTO CONCRETE (3000 PSI MIN.)
 2" MIN. EDGE DISTANCE
 3/8" DIA. H.C. SLEEVE BY "MILTI"
 B) 1-1/4" MIN. EMBED INTO CONCRETE OR FILLED BLOCK
 2-1/4" MIN. EDGE DISTANCE INTO CONCRETE
 4" MIN. EDGE DISTANCE INTO FILLED BLOCK
 CONCRETE f'c = 3000 PSI MIN.
 C-90 GROUT FILLED BLOCK f'm = 2000 PSI MIN.



Eng: ARSHAD WIGAR
 CNIL
 FLA. PE # 38863
 C.A.N. 3538
 JAN 08 2010

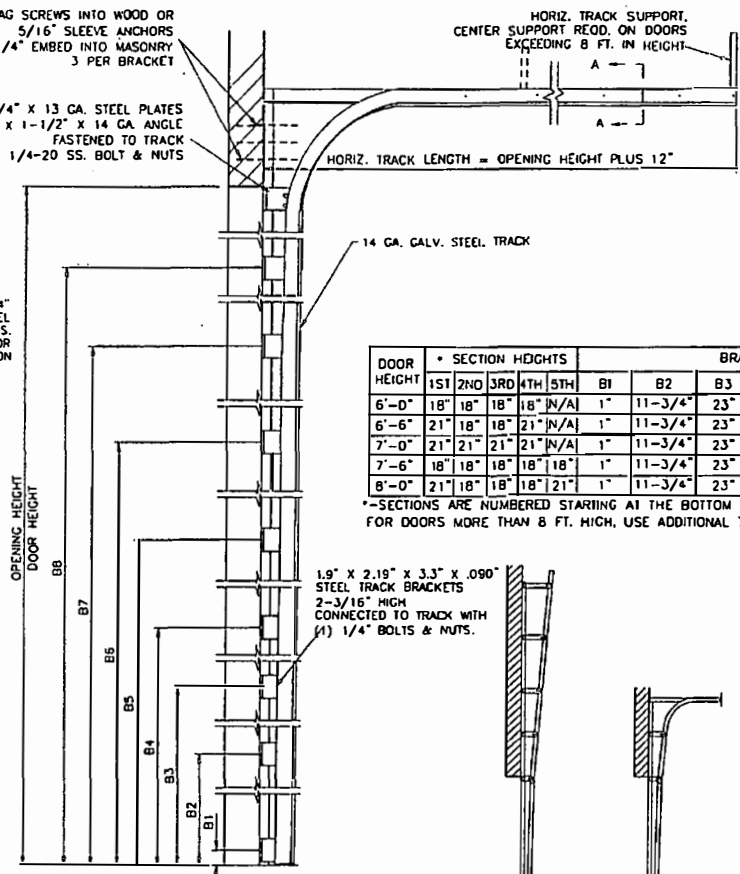
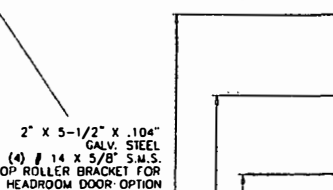
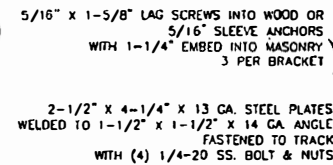
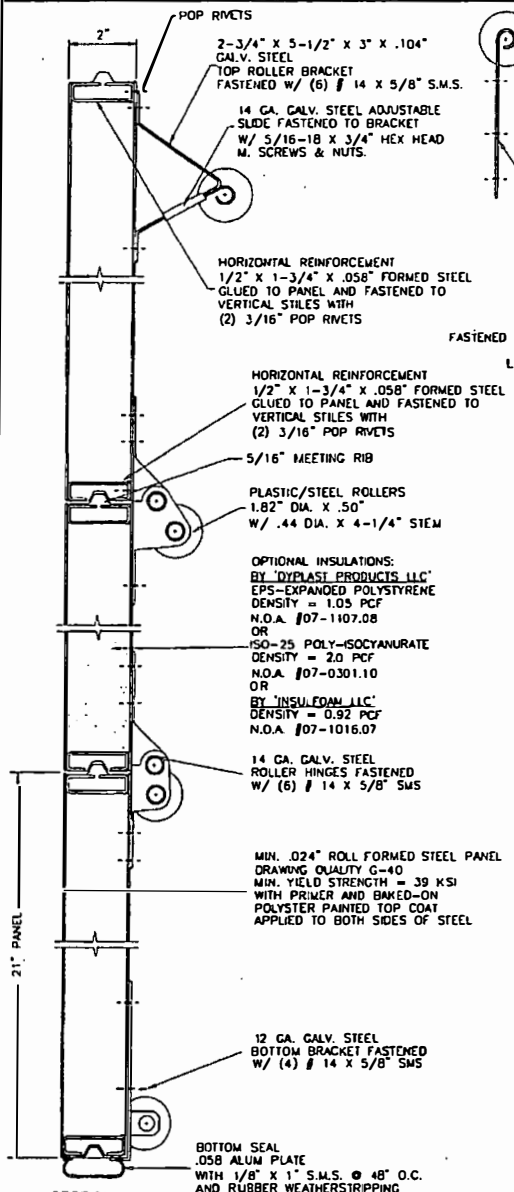
PROJECT RENEWED
 as complying with the Florida
 Building Code
 Acceptance No 10-0216-04
 Expiration Date 12/31/2015
 By: [Signature]
 Miami Dade Product Control
 Division

AL-FAROQ CORPORATION
 ENGINEERS & PRODUCT DEVELOPMENT
 1236 S.W. 87 AVE
 MIAMI, FLORIDA 33174
 TEL. (305) 264-8100 FAX. (305) 262-6978
 GARAGE-02-21(DAB)

SECTIONAL GARAGE DOOR
DAB DOORS INC.
 12195 N.W. 98 TH. AVE.
 HIALEAH GARDENS, FL. 33018
 TEL. (305) 556 - 6624

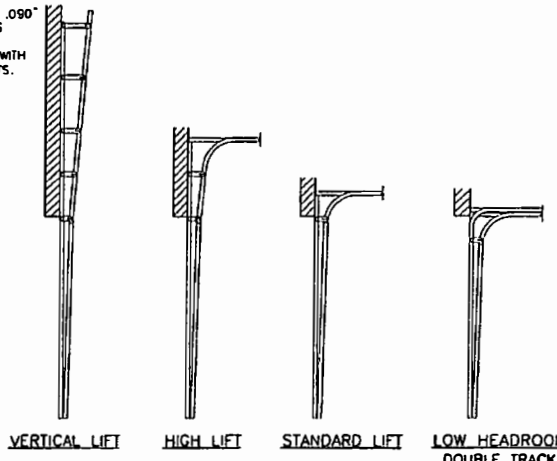
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B	01.19.05	REV.	PER BCCO COMMENTS
C	05.20.05	REV.	PER BCCO COMMENTS
D	12.17.06	REV.	UPDATED FOR 2007 FBC
E	10.08.10	REV.	ENGR. NAME CHANGED

DATE: 09-10-02
 SCORE: -
 DR. BY: HAMD
 CIL. BY:
 drawing no. **02-21**
 sheet 2 of 5



DOOR HEIGHT	SECTION HEIGHTS					BRACKET PLACEMENTS							
	1ST	2ND	3RD	4TH	5TH	B1	B2	B3	B4	B5	B6	B7	B8
6'-0"	18"	18"	18"	18"	N/A	1"	11-3/4"	23"	34"	45"	56"	67"	-
6'-6"	21"	18"	18"	21"	N/A	1"	11-3/4"	23"	34"	45"	56"	67"	-
7'-0"	21"	21"	21"	21"	N/A	1"	11-3/4"	23"	34"	45"	56"	67"	-
7'-6"	18"	18"	18"	18"	18"	1"	11-3/4"	23"	34"	45"	56"	67"	78-1/4"
8'-0"	21"	18"	18"	18"	21"	1"	11-3/4"	23"	34"	45"	56"	67"	78-1/4"

*-SECTIONS ARE NUMBERED STARTING AT THE BOTTOM FOR DOORS MORE THAN 8 FT. HIGH, USE ADDITIONAL TRACK BRACKETS AT 10" O.C.



AVAILABLE TRACK OPTIONS

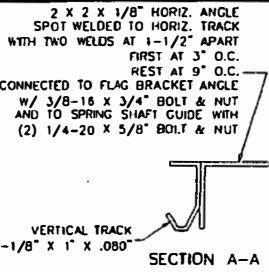
Eng: ARSHAD VIGAR
CM2
FLA. PE # 38863
C.A.N. 3538

AV

JAN 06 2010

PRODUCT REVIEWED
in compliance with the Florida Building Code
Acceptance No. 12-0216-04
Expiration Date 07/21/2015

By: *[Signature]*
Miami Trade Product Control Division



SECTION A-A
SEE SHEET 2 FOR LOCATION OF REINFORCING TRUSSES

AL-FAROQ CORPORATION
ENGINEERS & PRODUCT DEVELOPMENT
13395 S.W. 87 AVE.
MIAMI, FLORIDA 33174
TEL: (305) 264-8100 FAX: (305) 263-6078
GARAGE D02-21DAB

SECTIONAL GARAGE DOOR
DAB DOORS INC.
12195 N.W. 98 TH. AVE.
HIALEAH GARDENS, FL. 33018
TEL: (305) 556 - 6624

REV.	DATE	BY	DESCRIPTION
A	12/09/07	REV. BY	ADD COMMENTS
B	01/18/08	REV. BY	DO NOT CHANGE THIS SHEET
C	04/20/08	REV. BY	REV. PER RECO COMMENTS
D	12/17/08	REV. BY	UPDATED FOR 2007 PEC
E	01/08/10	REV. BY	ENGR. NAME CHANGED

Revised: 09-10-02

drawing no. **02-21**

sheet 3 of 5

WOOD FRAME BUILDINGS

STUD WALLS OR DOOR OPENING (NOT BY DAB DOORS) SHALL BE FRAMED SOLID BY NOT LESS THAN (3) 2X6 PRESSURE TREATED GRADE 2 SYP OR BETTER WOOD STUDS.

STUD WALLS TO BE CONT. FROM FOOTING TO THE BEAM. ENGINEER OF RECORD TO VERIFY ADEQUACY OF THE SUPPORTING STRUCTURE.

WOOD BUCK CONNECTION TO MASONRY

TRACK SHALL BE SECURED WITH CONT. STEEL ANGLE TO PRESSURE TREATED 2X6 SYP WOOD JAMBS WHICH SHALL BE ANCHORED TO GROUTED REINFORCED MASONRY BLOCK WALL OR CONC. COLUMN WITH

1/4" ULTRACON BY 'ELCO' WITH SPACING OF 16" O.C. INTO BLOCK WALL, WITH 2-1/4" MIN. EMBED 13" O.C. INTO 3000 PSI CONCRETE, WITH 1-3/4" MIN. EMBED 2-1/2" MIN. EDGE DISTANCE

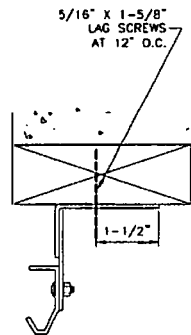
1/4" TAPPER BY 'POWERS' WITH SPACING OF 11" O.C. INTO BLOCK WALL, WITH 1-1/2" MIN. EMBED 13" O.C. INTO 3000 PSI CONCRETE, WITH 1-3/4" MIN. EMBED 3" MIN. EDGE DISTANCE

3/8" CONFLX BY 'ELCO' OR 3/8" LDT BY 'ITW' WITH SPACING OF 23" O.C. INTO 3000 PSI CONCRETE, WITH 2-1/2" MIN. EMBED 3" MIN. EDGE DISTANCE

3/8" HLC SLEEVE BY 'HILTI' WITH SPACING OF 13" O.C. INTO BLOCK WALL, WITH 1-1/4" MIN. EMBED, 4" MIN. EDGE DIST. 15" O.C. INTO 3000 PSI CONCRETE, WITH 1-1/4" MIN. EMBED AND 2-1/2" MIN. EDGE DISTANCE

THE BLOCK WALL CELLS SHALL BE GROUT FILLED AND REINFORCED WITH FOUR # 5 BARS EXTENDING INTO FOOTING AND INTO THE BEAMS ALL BARS SHALL BE CONTINUOUS FROM THE BEAMS TO FOOTING.

PREPARATION OF JAMBS BY OTHERS



STEEL STRUCTURE BY OTHERS MUST SUPPORT THE LOADS IMPOSED BY DOOR SYSTEM

5/16" DIA. BOLTS WITH WASHER & NUT AT 12" O.C. MAX.

1-1/4" X 2-1/2" X 14 GA CONT. STEEL ANGLE

12 GA. GALV. STEEL FLAT BRACKETS #3" LONG AT 12" O.C. IN DOOR OPNG. AT 18" O.C. ABOVE DOOR OPNG. CONNECTED TO CONT. ANGLE W/ (3) SPOT WELDS AT EACH SIDE

ANCHOR SPACING				
ANCHORS	STRUCTURE	EMBED	SPACING	EDGE DIST.
3/8" HLC SLEEVE BY 'HILTI'	CONC.	1-1/4"	8"	2"
3/8" HLC SLEEVE BY 'HILTI'	FILLED BLOCK	1-1/4"	8"	4"
3/8" DYNABOLT BY 'ITW'	CONC.	1-1/2"	8"	2-1/2"
3/8" DYNABOLT BY 'ITW'	FILLED BLOCK	1-1/2"	8"	3-3/4"
3/8" POWER-BOLT BY 'POWERS'	CONC.	2"	8"	2"
3/8" SLEEVE-ALL BY 'SIMPSONS'	CONC.	1-1/2"	8"	3"

CONCRETE f'c = 3000 PSI MIN.
C-90 GROUT FILLED BLOCK f'm = 2000 PSI MIN.

EDGE DIST.

2-1/8" X 1" X 14 GA. GALV. STEEL TRACK FASTENED TO TRACK PLATES W/ (2) 1/4"-20X5/8" TRUSS HD. SLOTTED M.S. & LOCK NUT

ALTERNATE TRACK INSTALLATION

Engr: ARSHAD MOAR
CIVIL
FLA PE # 38863
C.A.N. 3538
Am
JAN 05 2010

PRODUCT RENEWED
as complying with the Florida
Building Code
Acceptance No. 10-0216-04
Expiration Date 01/01/2015
By *[Signature]*
Miami-Dade Product Control
Division

a f c

AL-FAROOQ CORPORATION
ENGINEERS & PRODUCT DEVELOPMENT
12335 S.W. 87 AVE
MIAMI, FLORIDA 33174
TEL: (305) 264-8100 FAX: (305) 262-6978
GARAGE\02-21DAB

SECTIONAL GARAGE DOOR

DAB DOORS INC.
12195 N.W. 98 TH. AVE.
HIALEAH GARDENS, FL. 33018
TEL: (305) 536 - 6674

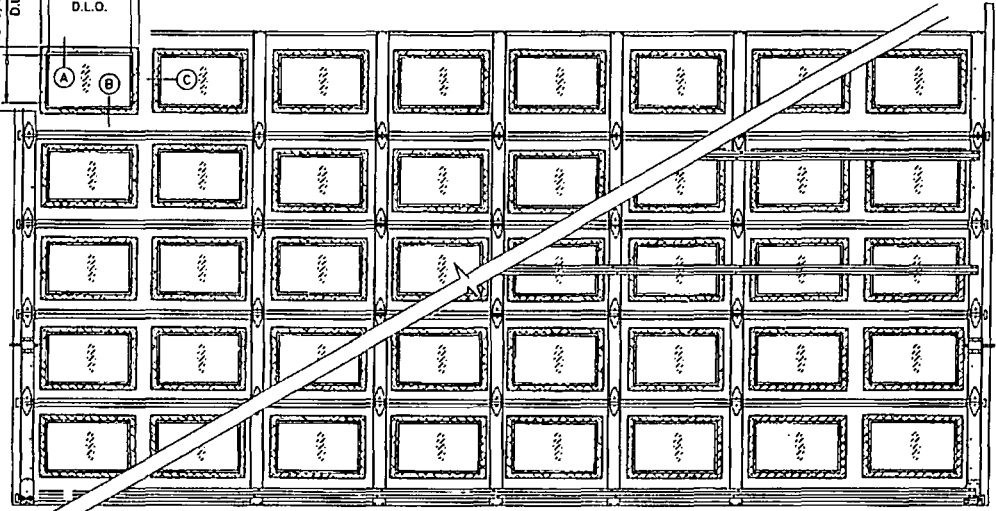
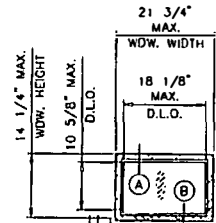
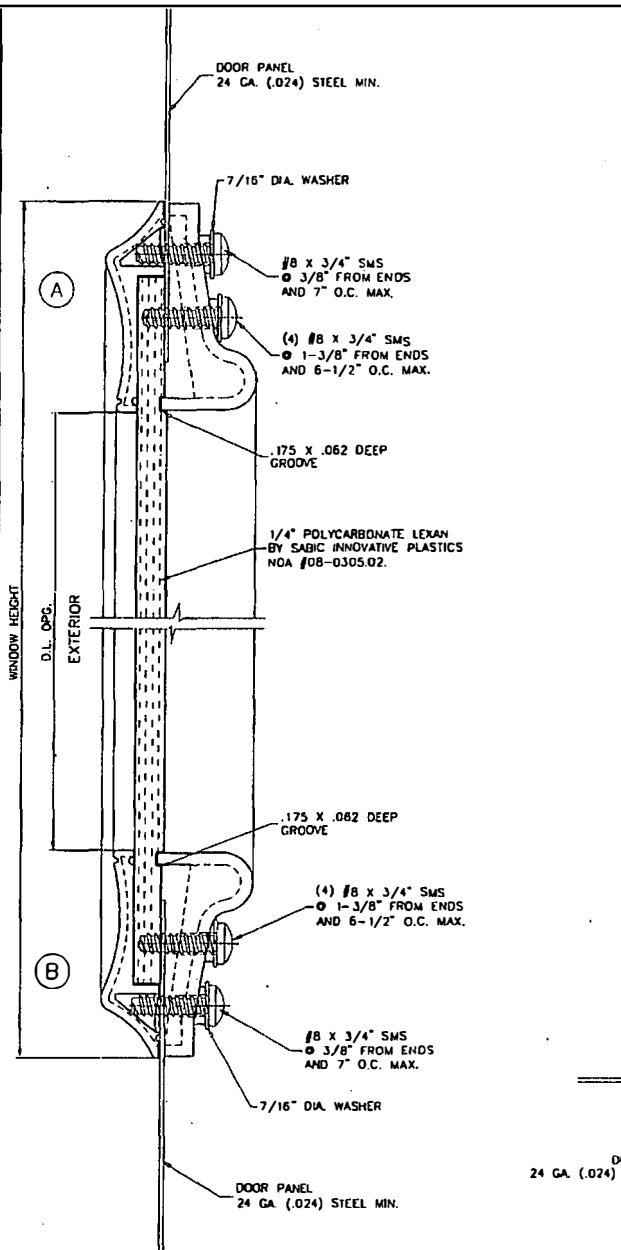
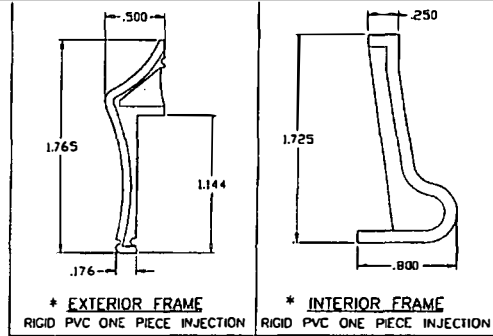
NO.	DATE	BY	DESCRIPTION
A	12/01/02	REV. PER BECCO COMMENTS	NO CHANGE THIS SHEET
B	01/19/05	REV. PER BECCO COMMENTS	REV. PER BECCO COMMENTS
C	05/20/05	REV. PER BECCO COMMENTS	UPDATED FOR 2007 FBC
D	12/17/08	ENGR. NAME CHANGED	
E	01/08/10	ENGR. NAME CHANGED	

date: 09-10-07
scale: -
dr. by: HANID
chk. by:

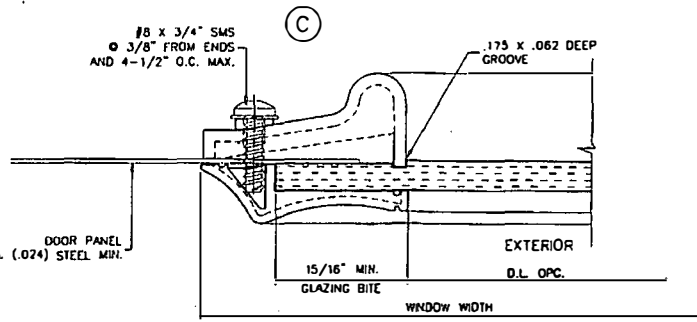
drawing no.
02-21

sheet 4 of 5

* PLASTIC COMPLIES WITH SECTION 2612 OF FBC 2007 SEE EVIDENCE PAGE



INSIDE ELEVATION
RAISED PANEL EMBOSSED DOOR WITH OPTIONAL WINDOWS



Engr: ARSHAD IQBAR
CIVIL
FLA. PE # 38863
C.A.N. 3538

Ar

JAN 08 2010

PRODUCT REVIEWED
as complying with the Florida
Building Code
Acceptance No. 10-011-08
Expiration Date 2/1/2015

By *[Signature]*
Miami Trade Product Control
Division

af c
AL-FAROQ CORPORATION
ENGINEERS & PRODUCT DEVELOPMENT
1296 S.W. 87 AVE.
MIAMI, FLORIDA 33174
TEL: (305) 264-8100 FAX: (305) 262-6978
GARAGE D2 - 21DAE

SECTIONAL GARAGE DOOR
DAB DOORS INC.
12195 N.W. 98 TH. AVE.
HIALEAH GARDENS, FL. 33018
TEL. (305) 556 - 6624

NO.	DATE	BY	DESCRIPTION
B	01.18.05		DOORS W/ WDW. OPTION ADDED
C	05.10.05		REV. PER BCCO. COMMENTS
D	12.12.08		UPDATED FOR 2007 FBC
E	01.08.10		ENGR. NAME CHANGED

date: 08-10-02
scale: -
dr. by: MAMD
chd. by:

drawing no.
02-21

sheet 5 of 5

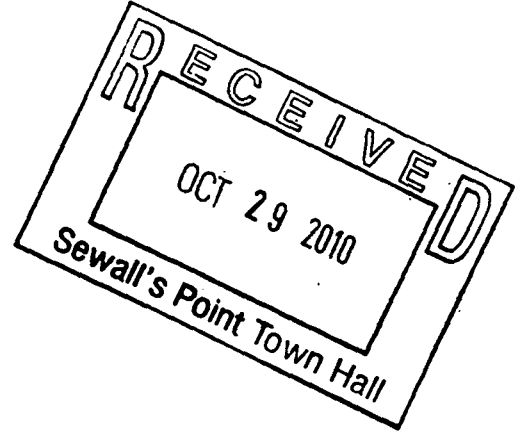
1025RR



AL-FAROOQ CORPORATION
ENGINEERS & PRODUCT DEVELOPMENT

February 27, 2009

Mr. Allen Berger
DAB Doors, Inc.
12195 NW 98th Avenue
Hialeah Gardens, FL 33018



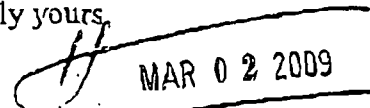
Re: Series 824 16'-2" x 16'-0" Garage Door
Drawing # 02-21
Wood Buck Anchorage

Dear Mr. Berger,

In addition to the wood buck anchors listed in drawing # 02-21 for an 16'-2" Sectional Garage Door at a design load of Pd = +36.0,-44.0 psf the 2x wood buck can be anchored into a wood substrate with 1/4" Lag Screws anchors at 14" o.c. with 1-1/2" min. embedment and 1" min. edge distance. Please find attached supporting calculations for your reference.

Please note that the above is subject to Building Dept. approval. If you have any questions, please feel free to call us.

Very truly yours,


MAR 02 2009

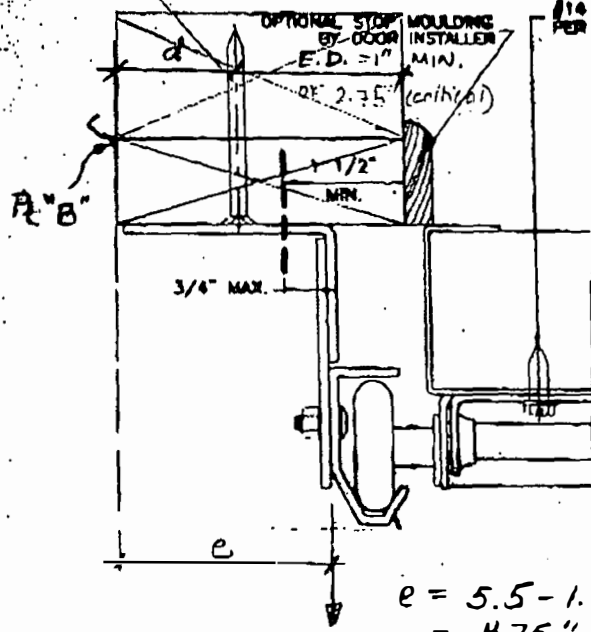
Humayoun Farooq, P.E.
President

C:\Documents and Settings\Veronica\My Documents\Various\Documents\MB (DAB) Doors\Site Specific\Wood Buck Calc. 11r1.dwg #02-21.dwg

AL-FAROOQ CORPORATION	JOB NO.	BY	V.B.	DATE	SHEET NO.
		CHK.		2/27/09	C-1
CLIENT D A B DOORS, INC.	PROJECT 824 SECTIONAL GARAGE DOOR - LMI				

○ CONNECT WOOD BUCK TO WOOD SLIB STRATE

1/4" LAG SCREW THRU 2X WOOD BUCK WITH 1 1/2" EMBED INTO WOOD SUBSTRATE



$$e = 5.5 - 1.5 + 0.75 = 4.75"$$

[Signature]
MAR 02 2009
DR. H. FAROOQ, FLA. PE# 16557

AL-FAROOQ CORPORATION

DAB DOORS, INC.

824 GARAGE DOOR ANCHOR CALC.

C-2

VB/

3/2/09

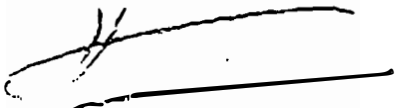
Drawing # 02-21

CONNECT 2x WOOD BUCKS TO WOOD SUBSTRATE

SPAN = L	FT	16.167
DESIGN LOAD POSITIVE = Pdp	PSF	36.0
LOAD / FT (POSITIVE DIR)		
$R = L * Pdp / 2$	LB/FT	291
PIVOT ABOUT POINT B		
ECCENTRICITY = ex	IN	4.75
RESISTING ARM = d = 5.5/2	IN	2.750
PULLOUT ON ANCHOR = T = R*ex/d	LB	503

ANCHOR TYPE : 1/4" LAG SCREW THRU 2X WOOD BUCK W/ 1" MIN EDGE DIST.

EMBEDMENT	1-1/2"
SUBSRATATE	WOOD
ALLOWABLE TENSION = Ta (LB) (C-3)	624
SPACING REQ = Ta / T *12	14.9
USE SPACING (IN) - USE 14" O.C. OK BY INSPECTION//	14.0


 MAR 02 2009

11.2 Reference Withdrawal Design Values

A-11

11.2.1 Lag Screws

11.2.1.1 The reference withdrawal design values, in lb/in. of penetration, for a single lag screw inserted in side grain, with the lag screw axis perpendicular to the wood fibers, shall be determined from Table 11.2A or Equation 11.2-1, within the range of specific gravities and screw diameters given in Table 11.2A. Reference withdrawal design values, W, shall be multiplied by all applicable adjustment factors (see Table 10.3.1) to obtain adjusted withdrawal design values, W'.

$$W = 1800 G^{3/2} D^{3/4} \quad (11.2-1)$$

11.2.1.2 When lag screws are loaded in withdrawal from end grain, reference withdrawal design values shall be multiplied by the end grain factor, $C_{eg} = 0.75$

11.2.1.3 When lag screws are loaded in withdrawal the tensile strength of the lag screw at the net (rc section shall not be exceeded (see 10.2.3).

1/4" LAG SCREW THRU 2x4
WOOD BUCK W/ 1/2" EMBED.
INTO WOOD SUBSTRATE.
DURATION FACTOR
 $T_a = (260)(1.5)(1.6)$
 $= 624 \text{ lbs}$

Table 11.2A Lag Screw Reference Withdrawal Design Values (W)¹

Tabulated withdrawal design values (W) are in pounds per inch of thread penetration into side grain of main member. Length of thread penetration in main member shall not include the length of the tapered tip (see Appendix L).

Specific Gravity, G	Lag Screw Unthreaded Shank Diameter, D										
	1/4"	5/16"	3/8"	7/16"	1/2"	5/8"	3/4"	7/8"	1"	1-1/8"	1-1"
0.73	397	469	538	604	668	789	905	1016	1123	1226	13
0.71	381	450	516	579	640	757	868	974	1077	1176	12
0.68	357	422	484	543	600	709	813	913	1009	1103	11
0.67	349	413	473	531	587	694	796	893	987	1078	11
0.58	281	332	381	428	473	559	641	719	795	869	9
0.55	260	307	352	395	437	516	592	664	734	802	8
0.51	232	274	314	353	390	461	528	593	656	716	7
0.50	225	266	305	342	378	447	513	576	636	695	7
0.49	218	258	296	332	367	434	498	559	617	674	7
0.47	205	242	278	312	345	408	467	525	580	634	6
0.46	199	235	269	302	334	395	453	508	562	613	6
0.44	186	220	252	283	312	369	423	475	525	574	6
0.43	179	212	243	273	302	357	409	459	508	554	6
0.42	173	205	235	264	291	344	395	443	490	535	6
0.41	167	198	226	254	281	332	381	428	473	516	6
0.40	161	190	218	245	271	320	367	412	455	497	6
0.39	155	183	210	236	261	308	353	397	438	479	6
0.38	149	176	202	227	251	296	340	381	422	461	6
0.37	143	169	194	218	241	285	326	367	405	443	6
0.36	137	163	186	209	231	273	313	352	389	425	6
0.35	132	156	179	200	222	262	300	337	373	407	6
0.31	110	130	149	167	185	218	250	281	311	339	6

1. Tabulated withdrawal design values (W) for lag screw connections shall be multiplied by all applicable adjustment factors (see Table 10.3.1).



AL-FAROOQ CORPORATION
CONSULTING ENGINEERS & PRODUCT DEVELOPMENT

June 8, 2010

Mr. Allen Berger
DAB Doors, Inc.
12195 NW 98th Avenue
Hialeah Gardens, FL 33018

Re: Series 824 16'-2" x 16'-0" Garage Door
Wood Buck Anchorage

Dear Mr. Berger,

In addition to the wood buck anchors listed in the Dade County product approval for a 16'-2" Garage Door, the 2x wood buck can be anchored into a wood substrate (see attached sketch) with 1/4" Lag Screws 1-1/2" min. embedment and 1" min. edge distance as listed below:

NOA #	Drawing #	Design Load (Pd)	Wood Buck Anchor Spacing
09-0128.03	00-18	+56.0,-64.0 psf	8 1/2" o.c.
10-1216.03	98-05	+48.0,-52.0 psf	10" o.c.

Please find attached supporting calculations for your reference. Please note that the above is subject to Building Dept. approval. If you have any questions, please feel free to call us.

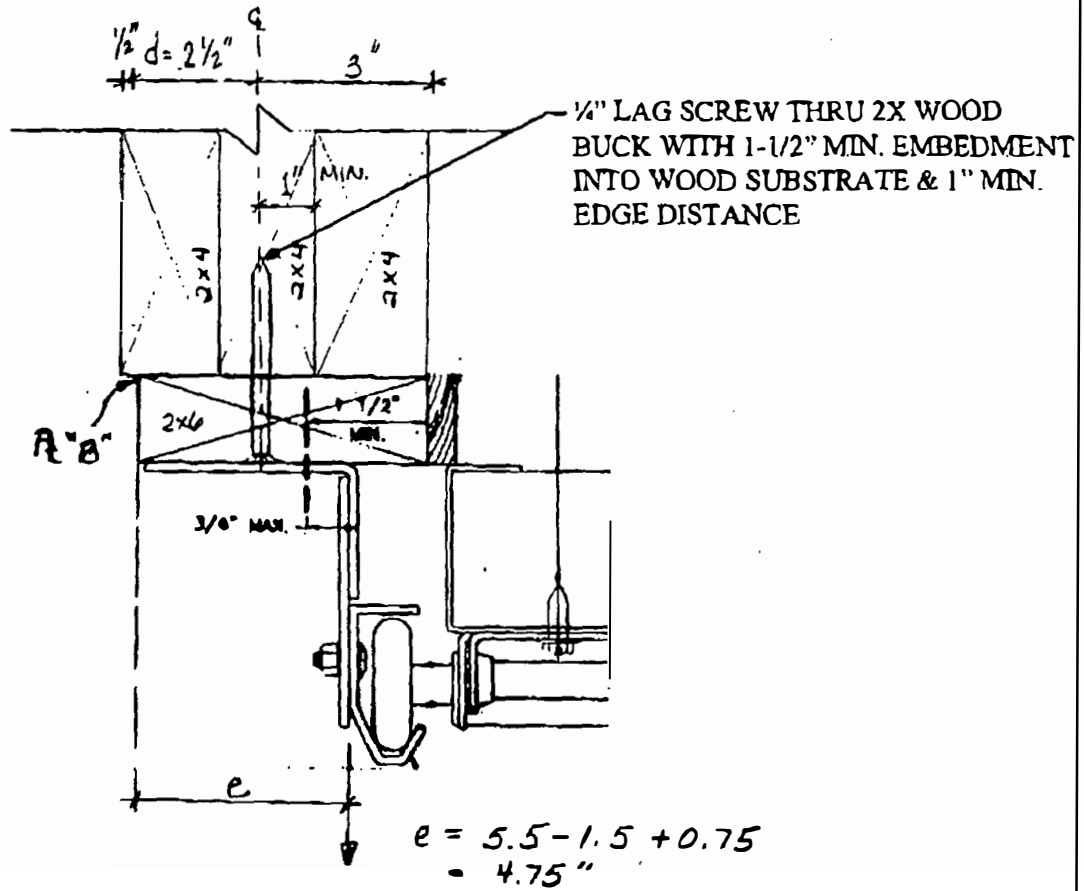
Very truly yours,

Javad Ahmad, P.E.
Chief Engineer

JUN 14 2010

AL-FAROOQ CORPORATION	JOB NO.	BY V.B.	DATE 6/10/10	SHEET NO. C-1
		CHK.		
CLIENT DAB DOOR COMPANY, INC.	PROJECT SERIES 824 16'-2" GARAGE DOOR (LMI)			

CONNECT WOOD BUCK TO WOOD SUBSTRATE



N.T.S.

C.A.N. EB 3538
 JUN 14 2010
Jot
 JAVAD AHMAD, FLA. P.E. # 70592

AL-FAROOQ CORPORATION
 DAB DOORS, INC.
 824 GARAGE DOOR ANCHOR CALC.

C-2
 VB/
 6/10/10

Drawing # 00-18

CONNECT 2x WOOD BUCKS TO WOOD SUBSTRATE

SPAN = L	FT	16.167
DESIGN LOAD POSITIVE = Pdp	PSF	56.0
LOAD / FT (POSITIVE DIR)		
$R = L * Pdp / 2$	LB/FT	453
PIVOT ABOUT POINT B		
ECCENTRICITY = e	IN	4.75
RESISTING ARM = d =	IN	2.500
PULLOUT ON ANCHOR = T = $R * e / d$	LB	860

ANCHOR TYPE : 1/4" LAG SCREW THRU 2X WOOD BUCK W/ 1" MIN EDGE DIST.

EMBEDMENT	1-1/2"
SUBSRATATE	WOOD
ALLOWABLE TENSION = Ta (LB) (C-3)	624
SPACING REQ = $Ta / T * 12$	8.7
USE SPACING (IN) - USE 8-1/2" O.C. OK BY INSPECTION//	8.5

JUN 14 2010

AL-FAROOQ CORPORATION
 DAB DOORS, INC.
 824 GARAGE DOOR ANCHOR CALC.

C-2.1
 VB/
 6/10/10

Drawing # 98-05

CONNECT 2x WOOD BUCKS TO WOOD SUBSTRATE

SPAN = L	FT	16.167
DESIGN LOAD POSITIVE = Pdp	PSF	48.0
LOAD / FT (POSITIVE DIR)		
$R = L * Pdp / 2$	LB/FT	388
PIVOT ABOUT POINT B		
ECCENTRICITY = e	IN	4.75
RESISTING ARM = d =	IN	2.500
PULLOUT ON ANCHOR = T = $R * e / d$	LB	737

ANCHOR TYPE : 1/4" LAG SCREW THRU 2X WOOD BUCK W/ 1" MIN EDGE DIST.	
EMBEDMENT	1-1/2"
SUBSRATATE	WOOD
ALLOWABLE TENSION = Ta (LB) (C-3)	624
SPACING REQ = $Ta / T * 12$	10.2
USE SPACING (IN) - USE 10" O.C. OK BY INSPECTION//	10.0

JUN 14 2010

C-3

11.2 Reference Withdrawal Design Values

11.2.1 Lag Screws

11.2.1.1 The reference withdrawal design values, in lb/in. of penetration, for a single lag screw inserted in side grain, with the lag screw axis perpendicular to the wood fibers, shall be determined from Table 11.2A or Equation 11.2-1, within the range of specific gravities and screw diameters given in Table 11.2A. Reference withdrawal design values, W, shall be multiplied by all applicable adjustment factors (see Table 10.3.1) to obtain adjusted withdrawal design values, W'.

$$W = 1800 G^{3/2} D^{3/4} \quad (11.2-1)$$

11.2.1.2 When lag screws are loaded in withdrawal from end grain, reference withdrawal design values shall be multiplied by the end grain factor, $C_{eg} = 0.75$

11.2.1.3 When lag screws are loaded in withdrawal the tensile strength of the lag screw at the net (rc section shall not be exceeded (see 10.2.3).

1/4" LAG SCREW THRU 2x4
WOOD BLOCK W/ 1/2" EMBED.
INTO WOOD SIDE GRAIN
CORRECTION FACTOR

$$T_a = (260)(1.5)(1.6)$$

$$= 624 \text{ lbs}$$

Table 11.2A Lag Screw Reference Withdrawal Design Values (W)¹

Tabulated withdrawal design values (W) are in pounds per inch of thread penetration into side grain of main member. Length of thread penetration in main member shall not include the length of the tapered tip (see Appendix L).

Specific Gravity, G	Lag Screw Unthreaded Shank Diameter, D										
	1/4"	5/16"	3/8"	7/16"	1/2"	5/8"	3/4"	7/8"	1"	1-1/8"	1-1"
0.73	397	469	538	604	668	789	905	1016	1123	1226	13
0.71	381	450	516	579	640	757	868	974	1077	1176	12
0.68	357	422	484	543	600	709	813	913	1009	1103	11
0.67	349	413	473	531	587	694	796	893	987	1078	11
0.58	281	332	381	428	473	559	641	719	795	869	9
0.55	260	307	352	395	437	516	592	664	734	802	8
0.51	232	274	314	353	390	461	528	593	656	716	7
0.50	225	266	305	342	378	447	513	576	636	695	7
0.49	218	258	296	332	367	434	498	559	617	674	7
0.47	205	242	278	312	345	408	467	525	580	634	6
0.46	199	235	269	302	334	395	453	508	562	613	6
0.44	186	220	252	283	312	369	423	475	525	574	6
0.43	179	212	243	273	302	357	409	459	508	554	6
0.42	173	205	235	264	291	344	395	443	490	535	6
0.41	167	198	226	254	281	332	381	428	473	516	6
0.40	161	190	218	245	271	320	367	412	455	497	6
0.39	155	183	210	236	261	308	353	397	438	479	6
0.38	149	176	202	227	251	296	340	381	422	461	6
0.37	143	169	194	218	241	285	326	367	405	443	6
0.36	137	163	186	209	231	273	313	352	389	425	6
0.35	132	156	179	200	222	262	300	337	373	407	6
0.31	110	130	149	167	185	218	250	281	311	339	6

1. Tabulated withdrawal design values (W) for lag screw connections shall be multiplied by all applicable adjustment factors (see Table 10.3.1).



PN 9592

TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 102 S RIVER RD

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

NEW 2X6 BUCKS ARE
FASTENED TO EXISTING 2X4
BUCKS, NOT TO STUDS OF
DOOR OPENING.

ALSO VERIFY 3-2X6 STUDS
EXISTING TO FASTEN NEW BUCKS
TO OR PROVIDE ENGINEERING PER
DRAWING 02-21 PAGE 4 OF 5

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 10-18-10

[Signature]
INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

10-18

2010

Page

1 of

1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9600	Coates	in-progress		
1 PM	116 S River Rd Stuart Roofing		Pass	
				INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9604	Portiornick	Final - Ac		
1 SE	24 Emarita Way Atlantic A/C		Pass	Close
				INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9601	Fusco	Final		
	17 N River Rd Gary Mayo	skylight	Pass	Close
				INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9592	Walser	Final	Pass	Close
	1625 River	Garage	Pass	Close
	D/D Garage			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9596	Conway	Roof		NOT READY
	16 S Via Lucinda	FRAMING	FAIL	CAK CONTRACTOR
	OB			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9605	LIPPISIA			
	18 Riverview	ROOF FINAL	Pass	Close
	Atlantic Crest & Row			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9586	HOOKER	INSULATION		
	6 Morgan Cir		Pass	<i>[Signature]</i>
	OB			INSPECTOR <i>[Signature]</i>

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

11-5

2010

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
4592	Walden	Final	Pass	
724	1025 River Rd DTD Garage		Pass	Close INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9287	Sharfi 73 N Sewalls Mosley Station	sidewalks	Pass	INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9181	Hardin 275 River Rd Station	Footer	Pass	INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9051	BENIHANA 3602 Se Ocean Comm Cond.	CANCEL		INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

9595

SHUTTERS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9595	DATE ISSUED:	OCTOBER 4, 2010
SCOPE OF WORK:	SHUTTERS		
CONDITIONS :			
CONTRACTOR:	MONTEREY CONSTRUCTION		
PARCEL CONTROL NUMBER:	123841-002-000-004600	SUBDIVISION	RIO VISTA - LOT 46
CONSTRUCTION ADDRESS:	102 S RIVER RD		
OWNER NAME:	WALSER		
QUALIFIER:	ROBERT WALSER JR	CONTACT PHONE NUMBER:	408-3780

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN/TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number:

9595

Date: 9/23/10

OWNER/TITLEHOLDER NAME: ROBERT & SHELLEY WALSER

Phone (Day) 772-408-3780 (Fax)

Job Site Address: 102 S. RIVER RD

City: SEWALLS POINT State: FL Zip: 34996

Legal Description: RIO VISTA S/D LOT 46

Parcel Control Number: 12-38-41-002-000-00460-D

Owner Address (if different):

City: State: Zip:

Scope of work (please be specific): Shutlax

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application) YES NO

Has a Zoning Variance ever been granted on this property?

YES (YEAR) NO

(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 6,000

(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10 AE9 AE8 X

FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:

Estimated Fair Market Value prior to improvement: \$

(Fair Market Value of the Primary Structure only, Minus the land value)

PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: MONTEREY CONSTRUCTION

Phone 772-408-3780 Fax

Street: 200 SW MONTEREY RD

City: STUART State: FL Zip: 34994

State License Number: CGC1508987

OR: Municipality

License Number:

LOCAL CONTACT: ROBERT J WALSER

Phone Number: 772-408-3780

DESIGN PROFESSIONAL:

Lic#

Phone Number:

Street:

City:

State:

Zip:

AREAS SQUARE FOOTAGE: Living: 2284 Garage: 528 Covered Patios/Porches: Enclosed Storage:

Carport: Total under Roof: 2997 Elevated Deck: Enclosed area below BFE*

* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require Non-Conversion Coverage

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007 National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY... 2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS... 3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES... 4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS...

A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED AND TO CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE...

OWNER SIGNATURE: (required) OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

[Signature]

State of Florida, County of: Martin

This the 1st day of Oct 2010

by Robert Walser Jr who is personally known to me or produced FDH#W426-770-69-424-0

as identification.

[Signature]

Notary Public

My Commission Expires:

CONTRACTOR SIGNATURE: (required)

[Signature]

State of Florida, County of: Martin

This the 1st day of Oct 2010

by Robert Walser Jr who is personally known to me or produced FDH#W426-770-69-424-0

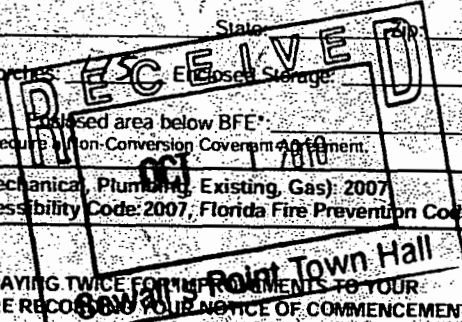
as identification.

[Signature]

Notary Public

My Commission Expires:

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9595
ADDRESS	
DATE:	SCOPE:

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$
------------------------------------	----------------	----

Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)	
(No plan submittal fee when value is less than \$100,000)	

Total square feet air-conditioned space:	6350
--	------

Total square feet:	
--------------------	--

MONTEREY CONSTRUCTION LLC
 200 SW MONTEREY RD
 STUART FL 34994

TOWN OF SEWALL'S POINT

DATE: Oct 4, 2010

\$ 84.00 / K4

DOLLARS

Security Features Details on Back.

PAY TO THE ORDER OF: Eighty four and 00/100

De: [Signature]

DBI		\$
Road		\$
Marti		\$

FOR		\$
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TOTAL	BUILDING PERMIT FEE:	\$
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ACCESSORY PERMIT	Declared Value:	\$	1000
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Total number of inspections @ \$75.00 each	\$	75
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DBPR Licensing Fee: (1.5% of permit fee - \$2.00 minimum)	\$	2
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Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 minimum)	\$	2
---	----	---

Road impact assessment: (.04% of construction value - \$5.00 min.)	\$	5
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TOTAL ACCESSORY PERMIT FEE:	\$	84
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[Handwritten Signature]
 CR# 6350

THIS INSTRUMENT PREPARED BY AND RETURN TO:

INFINITI TITLE INSURANCE AGENCY, INC.

2833 S.W. BRIGHTON STREET

PORT ST. LUCIE, FL 34953

Property Appraisers Parcel Identification (Folio) Numbers: 12-38-41-002-000-00460-0

_____ Space Above This Line For Recording Data _____

THIS WARRANTY DEED, made the 23rd day of September, 2010 by HARRIET OSTERTAG, INDIVIDUALLY AND AS TRUSTEE OF THE 102 S. RIVER ROAD RESIDENTIAL LAND TRUST DATED NOVEMBER 11, 2009, whose post office address is 9433 S. OCEAN DRIVE, JENSEN BEACH, FL 34957 herein called the Grantor, to ROBERT J. WALSER, JR. and SHELLEY M. WALSER, HUSBAND AND WIFE*, whose post office address is 102 S. RIVER ROAD, STUART FLORIDA 34996, hereinafter called the Grantees:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

*ROBERT J. WALSER, SR. joint tenants with full rights of survivorship
W I T N E S S E T H: That the grantor, for and in consideration of the sum of TWO HUNDRED FORTY SEVEN THOUSAND FOUR HUNDRED AND 00/100'S (\$247,400.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee all that certain land situate in MARTIN County, State of Florida, viz.:

Lot 46, Rio Vista Subdivision, according to the map or plat thereof, as recorded in Plat Book 6, Page 95, of the Public Records of Martin County, Florida.

Subject to easements, restrictions and reservations of record and taxes for the year 2010 and thereafter.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the grantor hereby covenants with said grantees that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2009.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

[Signature]
Witness #1 Signature

R. O'Dell
Witness #1 Printed Name

[Signature]
Witness #2 Signature

R. O'Dell
Witness #2 Printed Name

THE 102 S. RIVER ROAD RESIDENTIAL LAND TRUST DATED NOVEMBER 11, 2009

[Signature]
HARRIET OSTERTAG, TRUSTEE

[Signature]
HARRIET OSTERTAG, INDIVIDUALLY

**STATE OF FLORIDA
COUNTY OF MARTIN**

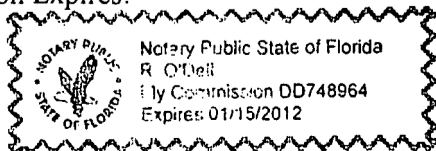
The foregoing instrument was acknowledged before me this 23rd day of September, 2010 by HARRIET OSTERTAG, INDIVIDUALLY AND AS TRUSTEE OF THE 102 S. RIVER ROAD RESIDENTIAL LAND TRUST, DATED NOVEMBER 11, 2009, who is personally known to me or has produced DRIVERS LICENSE as identification.

SEAL

[Signature]
Notary Public

Printed Notary Name

My Commission Expires:



Product Evaluation Report

December 30, 2008

Application Number: _____
FLB Project Number: 05-TCM-0001

Product Manufacturer: Town & Country Industries, Inc.
Manufacturer Address: 400 West McNab Road
Ft. Lauderdale, FL 33309

Product Name & Description: "Safety Edge Panels" With Polycarb Panels
28ga Galv Steel Panels & 0.100" GE Lexan Polycarbonate Storm Panels

Scope of Evaluation:

This Product Evaluation Report is being issued in accordance with the requirements of the Florida Department of Community Affairs (Florida Building Commission) Rule Chapter 9B-72.070, F.A.C., for statewide acceptance per Method 1(d). The product listed above has been tested and/or evaluated as summarized herein to show compliance with the 2007 Florida Building Code and is, for the purpose intended, at least equivalent to that required by the Code. Re-evaluation of this product shall be required following pertinent Florida Building Code modifications or revisions.

Substantiating Data:

- **PRODUCT EVALUATION DOCUMENTS**

FLB drawing #05-TCM-0001 titled "Safety Edge & Polycarb Storm Panels", sheets 1-2, prepared by Frank L. Bennardo, P.E., Inc., signed & sealed by Frank L. Bennardo, P.E. is an integral part of this Evaluation Report.

- **TEST REPORTS**

Uniform static structural performance has been tested in accordance with ASTM E330-02 test standard per test report(s) #04-006 by Construction Testing Corporation (CTC).

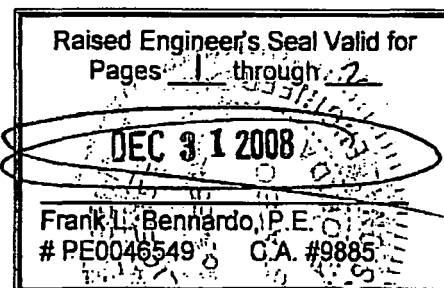
Large missile impact resistance and cyclic loading performance have been tested in accordance with ASTM E1886-02 & E1996-02 test standards per test report(s) #04-004, 04-005, & 04-006 by Construction Testing Corporation (CTC).

Metal tensile capacity has been determined in accordance with ASTM E8 test standard per test report #0264K by Certified Testing Laboratories (CTL).

- **STRUCTURAL ENGINEERING CALCULATIONS**

Structural engineering calculations have been prepared which evaluate the product based on comparative and/or rational analysis to qualify the following design criteria:

1. Maximum Allowable Spans
2. Minimum Allowable Spans
3. Anchor Spacing



4. Maximum Allowable Size/Pressure Combinations

No 33% increase in allowable stress has been used in the design of this product.

When installed outside the HVHZ, this system has been designed as a non-porous assembly as defined in the ASTM E1996-02 standard. Therefore, a minimum separation between the shutter and any glazing behind it is NOT required outside the HVHZ.

Impact Resistance:

Large Impact Resistance has been demonstrated as evidenced in previously listed test reports, and is accounted for in the engineering design of this product.

Wind Load Resistance

This product has been designed to resist wind loads as indicated in the span schedule(s) on the Product Evaluation Document (i.e. engineering drawing).

Installation

The product listed above shall be installed in strict compliance with the Product Evaluation Document (i.e. engineering drawing), along with all components noted therein.

The product components shall be of the material specified in the Product Evaluation Document (i.e. engineering drawing).

Limitations & Conditions of Use:

Use of this product shall be in strict accordance with the Product Evaluation Document (i.e. engineering drawing) as noted herein.

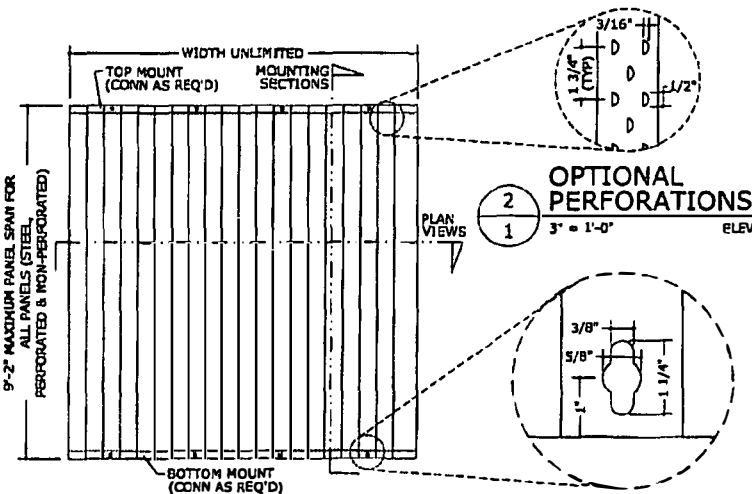
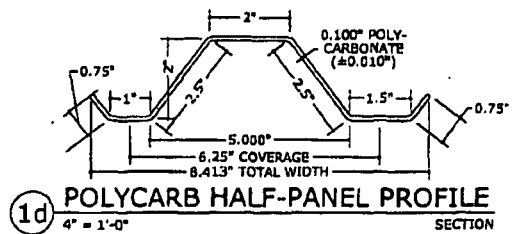
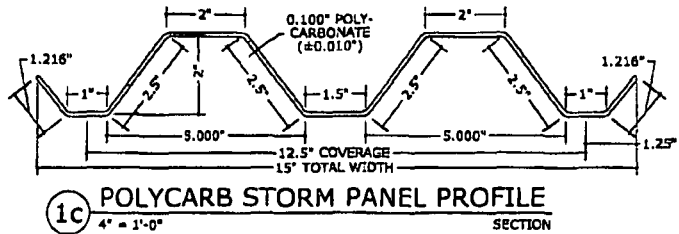
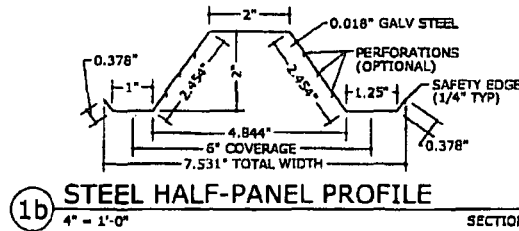
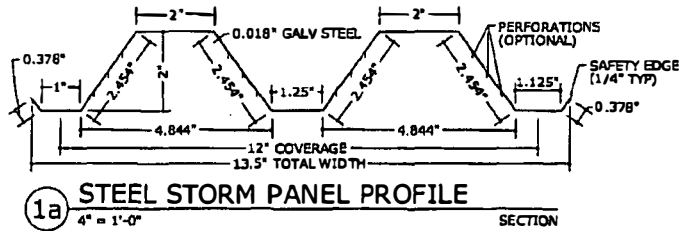
All supporting host structures shall be designed to resist all superimposed loads and shall be of a material listed in this product's respective anchor schedule. Host structure conditions which are not accounted for in this product's respective anchor schedule shall be designed for on a site-specific basis by a registered professional engineer.

All components which are permanently installed shall be protected against corrosion, contamination, and other such damage at all times.

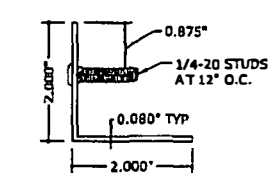
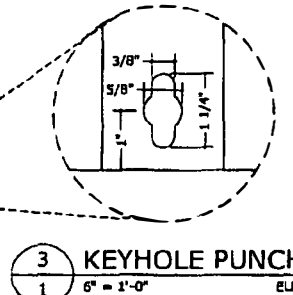
This product has NOT been designed for use within the High Velocity Hurricane Zone (HVHZ).

"SAFETY EDGE" & POLYCARB STORM PANELS

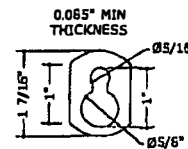
28ga (0.018") STEEL & 0.100" POLYCARB



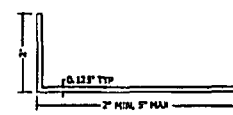
1 TYPICAL ELEVATION
1 N.T.S.



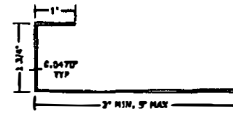
2 STUDDED ANGLE
6" = 1'-0"



3 KEYHOLE WASHER
6" = 1'-0"



4 ALUMINUM CLOSURE
4" = 1'-0"



5 STEEL J-PAN CLOSURE
4" = 1'-0"

GENERAL NOTES:

- THIS SYSTEM HAS BEEN TESTED AND EVALUATED AS A LARGE MISSILE IMPACT PROTECTIVE SYSTEM IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE, CURRENT EDITION, FOR USE OUTSIDE THE HIGH VELOCITY HURRICANE ZONE PER ASTM STANDARDS E330, E1886, & E1996.
- NO 33-1/3% INCREASE IN ALLOWABLE STRESS HAS BEEN USED IN THE DESIGN OF THIS PRODUCT. WIND LOAD DURATION FACTOR $C_d=1.6$ HAS BEEN USED FOR WOOD ANCHOR DESIGN.
- POSITIVE AND NEGATIVE DESIGN PRESSURES TO BE USED WITH THESE DRAWINGS SHALL BE DETERMINED BY OTHERS FOR SPECIFIC JOBS IN ACCORDANCE WITH THE GOVERNING CODE. WHEN CALCULATING PRESSURES PER ASCE 7, USE OF DIRECTIONAL FACTOR $K_d=0.85$ IS ALLOWED.
- THE SYSTEM DETAILED HEREIN IS GENERIC AND DOES NOT PROVIDE INFORMATION FOR A SPECIFIC SITE. IF SITE CONDITIONS DEVIATE FROM THE CONDITIONS DETAILED HEREIN, A LICENSED ENGINEER OR REGISTERED ARCHITECT SHALL PREPARE SITE SPECIFIC DOCUMENTS TO BE USED IN CONJUNCTION WITH THIS DOCUMENT.
- PERMIT HOLDER SHALL VERIFY THE ADEQUACY OF THE EXISTING STRUCTURE TO WITHSTAND NEW SUPERIMPOSED LOADS.
- CLEAR POLYCARBONATE PANELS SHALL BE ALTERNATED WITH 0.018" (MOV) GALV STEEL PANELS SUCH THAT NO TWO POLYCARBONATE PANELS ARE ADJACENT TO EACH OTHER.
- ALL PANELS SHALL BE INSTALLED USING KEYHOLE WASHERS IN CONJUNCTION WITH ALL MOUNTING CONDITIONS.
- ALL GALV STEEL STORM PANELS SHALL HAVE MIN GALVANIZED THICKNESS $t=0.018$ " CONFORMING TO ASTM A653, STRUCTURAL QUALITY GRADE 40, WITH G60 GALVANIZED COATING AND MIN $F_y=44.50$ KSI.
- CLEAR POLYCARBONATE STORM PANELS WITH 12.5" COVERAGE SHALL BE MFD BY TRANSPARENT PROTECTION SYSTEMS, Inc. AND THOSE WITH 6.25" COVERAGE SHALL BE MANUFACTURED BY TOWN & COUNTRY INDUSTRIES, Inc. ALL POLYCARB PANELS SHALL BE EXTRUDED WITH MIN THICKNESS $t=0.100$ " (± 0.010 ") AND SHALL BE FABRICATED FROM 100% G.E. SYNTHETIC THERMOPLASTIC POLYMER LEXAN RESIN #103-112 (UV STABILIZED) OR EQUIVALENT. THIS MATERIAL IS COMPARABLE TO G.E. LEXAN POLYMER SHEET #9034, AS APPROVED UNDER MIAMI-DADE COUNTY NOTICE OF ACCEPTANCE #03-0924.01. MINIMUM SYNTHETIC THERMOPLASTIC POLYMER TENSILE STRENGTH $F_y=8,900$ KSI, FLEXURAL STRENGTH $F_{by}=12.50$ KSI, & FLEXURAL MODULUS IS 328.7 KSI.
- ALL EXTRUSIONS SHALL BE 6063-T6 ALUMINUM ALLOY, UNLESS NOTED OTHERWISE.
- PANELS SHALL BE PERMANENTLY LABELED WITH A MINIMUM OF ONE LABEL PER PANEL AS FOLLOWS:
TOWN & COUNTRY IND.
ASTM E1886, E1996 & E330
MISSILE D FBC APPROVED
- STORM PANELS HAVE BEEN DESIGNED AND TESTED TO THE MAXIMUM SPANS AND LOADS SHOWN ON THESE DRAWINGS. REFERENCE CONSTRUCTION TESTING CORPORATION (CTC OF MIAMI, FL) TEST REPORTS #04-004, #04-005, & #04-006.
- TOP & BOTTOM DETAILS SHOWN MAY BE INTERCHANGED AS FIELD CONDITIONS DICTATE. PANELS MAY BE MOUNTED HORIZONTALLY WHERE APPLICABLE.
- ALL BOLTS & WASHERS SHALL BE ZINC COATED STEEL, GALVANIZED STEEL, STAINLESS STEEL, OR 2024-T4 ALUMINUM ALLOY WITH A MINIMUM TENSILE YIELD STRENGTH OF 33 KSI.

FRANK L. BERNARDO, P.E.
#R00045549

12/15/2008

ENGINEERING EXPRESS, INC.
100 SW 12TH AVENUE, SUITE 1105
DEERFIELD BEACH, FL 33442
Tel: (561) 254-0860 Fax: (561) 254-0861
WWW.ENGINEERINGEXPRESS.COM

ENGINEERING EXPRESS, INC.
100 WEST MONROE ROAD
FORT LAUDERDALE, FL 33309

"SAFETY EDGE" & POLYCARBONATE STORM PANELS
28ga STEEL & 0.100" POLYCARB
FLORIDA STATEWIDE APPROVAL

DATE	BY	CHKD	APP'D	REV	DESCRIPTION

05-TCM-0001

PAGE SCALE: 1/8" = 1'-0"

DESCRIPTION:

1

12/15/2008 - 12:28pm - 10/24/08
 P:\01 Project Files\Storm and County (TCM)0005 Job\05-TCM-0001.dwg, 0:07, PolyCarb Storm Panels (PSA).dwg
 P:\01 Project Files\Storm and County (TCM)0005 Job\05-TCM-0001.dwg, 0:07, PolyCarb Storm Panels (PSA).dwg

ANCHOR NOTES:

- 1) 1/4" TAPCONS MAY BE BY ITW OR BY ELCO. "ELCO PANELMATE" ANCHORS MAY BE ELCO FEMALE PANELMATE OR ELCO PANELMATE PLUS, AS ILLUSTRATED.
- 2) ENSURE MINIMUM 2" EDGE DISTANCE FOR ANCHORS TO CONCRETE & TO HOLLOW BLOCK. EDGE DISTANCE OF 3/4" IS ACCEPTABLE FOR ANCHORS TO WOOD, WITH THE EXCEPTION OF PANELMATE ANCHORS FOR WHICH 2" MIN EDGE DISTANCE IS REQUIRED. FOR PANELMATES TO WOOD WITH 3/4" MIN EDGE DISTANCE, ALLOWABLE SPACING SHALL BE 6" O.C.
- 3) MINIMUM EMBEDMENT SHALL BE AS NOTED IN ANCHOR SCHEDULE. MINIMUM EMBEDMENT AND EDGE DISTANCE EXCLUDES STUCCO, FOAM, BRICK, AND OTHER WALL FINISHES.
- 4) ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.
- 5) WHERE EXISTING STRUCTURE IS WOOD FRAMING, EXISTING CONDITIONS MAY VARY. FIELD VERIFY THAT FASTENERS ARE INTO ADEQUATE WOOD FRAMING MEMBERS, NOT PLYWOOD.
- 6) WHERE ANCHORS FASTEN TO NARROW FACE OF STUD FRAMING, ANCHOR SHALL BE LOCATED IN CENTER OF NOMINAL 2x4 (MIN) WOOD STUD (I.E. 3/4" EDGE DISTANCE IS ACCEPTABLE FOR ANCHORS TO WOOD FRAMING). WOOD STUD SHALL BE "SOUTHERN PINE" G=0.55 OR GREATER DENSITY, UNLESS OTHERWISE NOTED.
- 7) ANCHOR SCHEDULE APPLIES FOR ALL PRODUCTS CERTIFIED HEREIN, BUT ONLY PROVIDES MAXIMUM ALLOWABLE ANCHOR SPACING. MAXIMUM ALLOWABLE SPANS AND PRESSURES INDICATED IN SPAN SCHEDULE SHALL APPLY.
- 8) MACHINE SCREWS SHALL HAVE MINIMUM OF 1/2" ENGAGEMENT OF THREADS IN BASE ANCHOR AND MAY HAVE EITHER A PAN HEAD, TRUSS HEAD, OR WAFER HEAD ("SIDEWALK BOLT") U.N.O.

ANCHOR SCHEDULE

HOST STRUCT.	ANCHOR	LOAD (psf)	Spans Up To 5'-0"	Spans Up To 9'-2"
CONCRETE	1/4" TAPCON (ELCO OR ITW) x 1-3/4" EMBED (3192psi MIN CONC)	33	16.0"	16.0"
		38	16.0"	16.0"
		47	16.0"	16.0"
		54	16.0"	16.0"
CONCRETE	1/4" PANELMATE (PLUS OR FEMALE) x 1-3/4" EMBED (3350psi MIN CONC)	33	16.0"	16.0"
		38	16.0"	16.0"
		47	16.0"	16.0"
		54	16.0"	16.0"
CONCRETE	1/4" ALL POINTS SOLID-SET ANCHOR x 7/8" EMBED (3000psi MIN CONC)	33	16.0"	16.0"
		38	16.0"	16.0"
		47	16.0"	16.0"
		54	16.0"	16.0"

HOST STRUCT.	ANCHOR	LOAD (psf)	Spans Up To 5'-0"	Spans Up To 9'-2"
HOLLOW BLOCK	1/4" TAPCON (ELCO OR ITW) x 1-1/4" EMBED	33	16.0"	12.4"
		38	16.0"	10.7"
		47	15.5"	8.7"
		54	13.9"	7.6"
HOLLOW BLOCK	1/4" PANELMATE (PLUS OR FEMALE) x 1-1/4" EMBED	33	16.0"	10.9"
		38	16.0"	9.5"
		47	14.1"	7.7"
		54	12.2"	6.7"
HOLLOW BLOCK	1/4" ALL POINTS SOLID-SET ANCHOR x 7/8" EMBED	33	16.0"	16.0"
		38	16.0"	16.0"
		47	16.0"	16.0"
		54	16.0"	16.0"

HOST STRUCT.	ANCHOR	LOAD (psf)	Spans Up To 5'-0"	Spans Up To 9'-2"
WOOD (G=0.55 MIN SPECIFIC GRAVITY)	1/4" TAPCON OR #14 WOOD SCREW x 2" EMBED	33	16.0"	15.2"
		38	16.0"	13.2"
		47	16.0"	10.7"
		54	16.0"	9.3"
WOOD (G=0.55 MIN SPECIFIC GRAVITY)	1/4" PANELMATE (PLUS OR FEMALE) x 1-7/8" EMBED (2" MIN EDGE DISTANCE)	33	16.0"	16.0"
		38	16.0"	16.0"
		47	16.0"	16.0"
		54	16.0"	16.0"
WOOD (G=0.55 MIN SPECIFIC GRAVITY)	1/4" LAG SCREW x 2" THREAD EMBED	33	16.0"	15.5"
		38	16.0"	13.4"
		47	16.0"	10.9"
		54	16.0"	9.5"

HOST STRUCT.	ANCHOR	LOAD (psf)	Spans Up To 5'-0"	Spans Up To 9'-2"
WOOD (G=0.43 MIN SPECIFIC GRAVITY)	1/4" TAPCON (ELCO OR ITW) x 2" EMBED	33	16.0"	13.5"
		38	16.0"	11.7"
		47	16.0"	9.5"
		54	13.1"	8.3"
WOOD (G=0.43 MIN SPECIFIC GRAVITY)	1/4" PANELMATE (PLUS OR FEMALE) x 1-7/8" EMBED (2" MIN EDGE DISTANCE)	33	16.0"	13.1"
		38	16.0"	11.4"
		47	16.0"	9.2"
		54	14.7"	8.0"
WOOD (G=0.43 MIN SPECIFIC GRAVITY)	1/4" LAG SCREW x 2" EMBEDMENT	33	16.0"	16.0"
		38	16.0"	16.0"
		47	16.0"	13.5"
		54	16.0"	11.8"
WOOD (G=0.43 MIN SPECIFIC GRAVITY)	1/4" 19-8 STAINLESS STEEL HANGER BOLT x 2" EMBED	33	16.0"	16.0"
		38	16.0"	16.0"
		47	16.0"	13.5"
		54	16.0"	11.8"

FRANK L. BERNARDO, P.E.
12/31/2008
REGISTERED PROFESSIONAL ENGINEER
FLORIDA STATE BOARD OF PROFESSIONAL ENGINEERING
160 SW 12TH AVENUE, #1067, D
DEERFIELD BEACH, FL 33442
PH: (561) 334-0660 FAX: (561) 334-0400
WWW.ENGNEXP.COM
OFFICE OF ARCHITECTURE

Safe & Sound
400 WEST McNAB ROAD
FORT LAUDERDALE, FL 33309

"SAFETY EDGE" & POLYCARBONATE STORM PANELS
20ga STEEL & 0.100" POLYURETHANE
FLORIDA STATEWIDE APPROVAL

DATE	12/31/2008
PROJECT	055011-TCM-0001
REVISED	
BY	
CHECKED	
DATE	
BY	
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BY	
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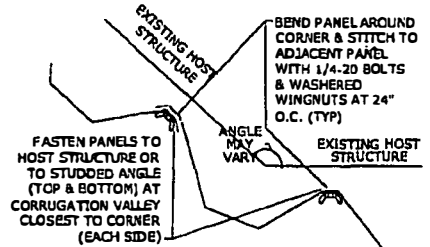
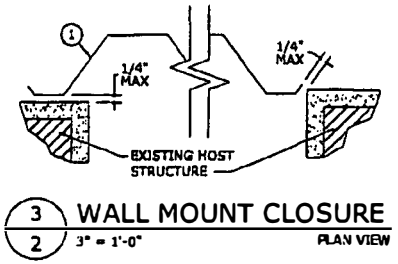
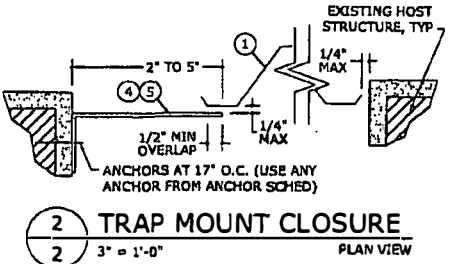
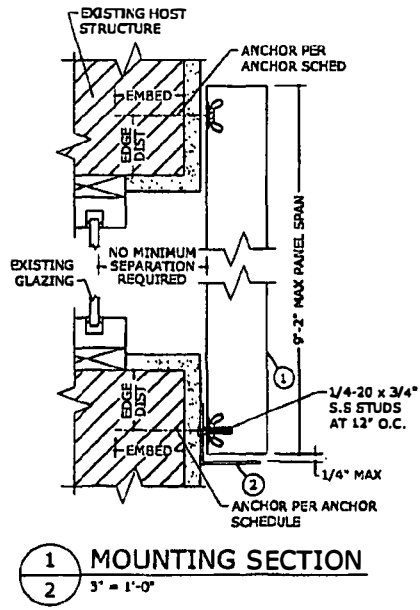
DESIGNED BY: FRANK L. BERNARDO, P.E.
CHECKED BY: FRANK L. BERNARDO, P.E.
DATE: 12/31/2008
PROJECT: 055011-TCM-0001
DESCRIPTION: ANCHOR SCHEDULE

055011-TCM-0001

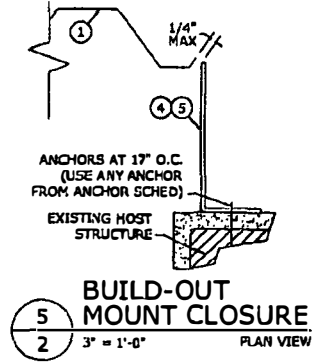
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DESCRIPTION: ANCHOR SCHEDULE

3

12/1/2008 - 12:24pm mshd P:\01 Project Files\New And Existing (TCM-0001) Edge, 0.027, PolyCarb Panels (Safety) Material (54x105-120x105) 05s Edge & PolyCarb Storm Panels (PSA) User



SPAN SCHEDULE	
28ga (0.018") GALV STEEL PANELS	
MAX LOAD:	±54.0 psf
MAX SPAN:	9'-2" (ALL MOUNTING CONDITIONS)
MIN SPANS:	26" (DIRECT MOUNT TOP & BOTTOM) 16" (ALL OTHER CONDITIONS)
0.100" CLEAR POLYCARB FULL-/HALF-PANELS	
MAX LOAD:	±54.0 psf
MAX SPAN:	9'-2" (ALL MOUNTING CONDITIONS)
MIN SPANS:	24" (DIRECT MOUNT TOP & BOTTOM) 15" (ALL OTHER CONDITIONS)



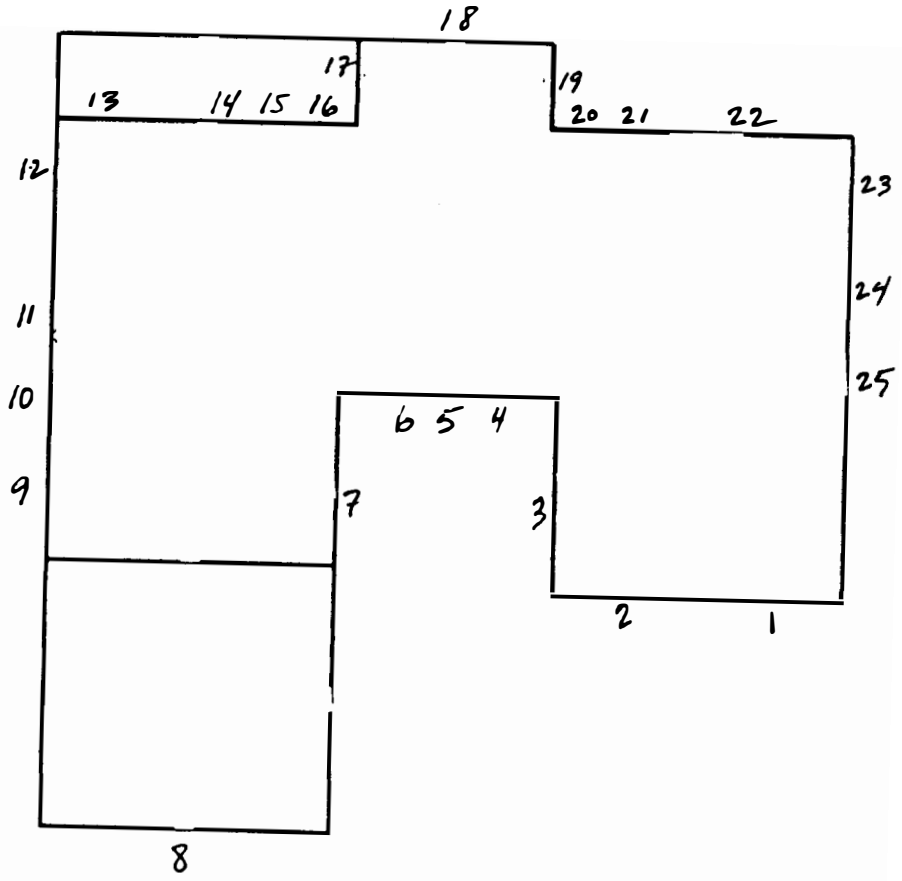
FRANK L. BENHARDO, P.E.
 # 700046549
 12/1/2008
 LICENSED AFFILIATE OF
ENGINEERING EXPRESS
 160 SW 12TH AVENUE, #10507
 DEERFIELD BEACH, FL 33442
 Ph: (850) 844-0650 Fax: (850) 344-0643
 WWW.ENGENXP.COM
 COURT OF APPEALS

Safe & Sound
 400 WEST MCKEAN ROAD
 FORT LAUDERDALE, FL 33300
 "SAFETY EDGE" & POLYCARBONATE STORM PANELS
 28ga STEEL & 0.100" POLYCARB
 FLORIDA STATEWIDE APPROVAL

REVISION	DATE	BY	CHKD	DATE	DESCRIPTION

REMARKS: SEE DRAWING OF THE PROJECT FOR PANEL, EXTERNALLY FINISHED POLYCARBONATE STORM PANELS. THE WEIGHT AND DISTRIBUTION OF PANELS, EXTERNALLY FINISHED POLYCARBONATE STORM PANELS, SHALL BE AS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

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05-TCM-0001
 PAGE SCALE:
 DESCRIPTION:
 2



SHUTTER SCHEDULE MAP

102 S. RIVER RD,
SEWALLS POINT, FL 34996



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

SHUTTER SCHEDULE

I.D. NO.	APPOX OPENING SIZE (WXH)	APPOX SHUTTER WIDTH	APPOX HEIGHT	# OF STORM BARS REQ'D	ANCHOR SPACING	# OF WINDOW BARS EACH SIDE	HEADER REINF. REQ'D YES/NO	REMARKS
	37"X63"	45"	71"	N/A	12"	N/A	NO	EXAMPLE
1	53x51	60	55		✓			
2	53x51	60	55		✓			
3	53x51	60	55		✓			
4	37x75	42	79		✓			
5	64x80		84		✓			
6	37x75	42	79		✓			
7	108x74	112	79		✓			
8	53x51	57	55		✓			XXXXXXXXXX
9	20x23	21 1/2	28		✓	2		F TRACKS 21 1/2
10	35x38	42	42 1/2		✓			
11	37x75	42	79		✓			
12	37x75	42	79		✓			
13	95x86	100	84		✓	→	BOTTOM	F TRACK 99"
14	31x39	35	44 1/2		✓			
15	37x39	42	42		✓			
16	31x39	35	44 1/2		✓			
17	71x80	75	84		✓	→	BOTTOM	F TRACK 75"
18	165x75	170	79		✓			
19	71x80	76	77		✓			
20	37x30	42	34		✓			
21	35 1/2x37	40	42		✓			
22	96x80	102	101		✓			
23	17x62	21	67		✓			
24	17x62	21	67		✓			
25	35x37	39	42		✓			

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 10-8 2010 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9564	Pruce 22 Fieldway JA Taylor	Flat section in-progress	Pass	INSPECTOR <i>JA</i>
9595	Walser 102 Silver Rd Monterey Coast	Final Shuler	Pass	Close INSPECTOR <i>JA</i>
	00 0000	00000000		INSPECTOR
9578	Williams 110 N.S. WAY 0/13	FINAL SHED	Pass	Close INSPECTOR <i>JA</i>
9593	Bonface 63 Silver Rd Dockscape	tie back + deadman	Pass	INSPECTOR <i>JA</i>
9057	BENEKANA 3602 E OCEAN COMMERCIAL CONT	PARTIAL POUR & DUCT	Pass	INSPECTOR <i>JA</i>
				INSPECTOR

9688

SKYLIGHTS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9688	DATE ISSUED:	JANUARY 25, 2011
SCOPE OF WORK:	REPLACE 3 SKYLIGHTS		
CONDITIONS :			
CONTRACTOR:	MONTEREY CONSTRUCTION		
PARCEL CONTROL NUMBER:	123841002-000-004600	SUBDIVISION	RIO VISTA - LOT 46
CONSTRUCTION ADDRESS:	102 S RIVER RD		
OWNER NAME:	WALSER		
QUALIFIER:	ROBERT WALSER	CONTACT PHONE NUMBER:	408-3780

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9688		
ADDRESS	102 S RIVER RD		
DATE:	1/25/11	SCOPE:	REPLACE 3 SKYLIGHTS

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
------------------------------------	----------------	----	--

Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)

(No plan submittal fee when value is less than \$200K)

Total square feet air conditioned

Total sq

Total Co

Building 1

Building f

Total numl

Dept. of Co

DBPR Licen

Road impact

Martin Count, Hartford Clarke Impact Fee:

TOTAL BUILDING PERMIT FEE:

ACCESSORY PERMIT	Declared Value:	\$	600
------------------	-----------------	----	-----

Total number of inspections @ \$75.00 each	\$	75
--	----	----

DBPR Licensing Fee: (1.5% of permit fee - \$2.00 minimum)	\$	2
---	----	---

Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 minimum)	\$	2
---	----	---

Road impact assessment: (.04% of construction value - \$5.00 min.)	\$	5
--	----	---

TOTAL ACCESSORY PERMIT FEE:	\$	84
------------------------------------	----	----

MONTEREY CONSTRUCTION LLC
 200 SW MONTEREY RD
 STUART FL 34994

DATE: 1/25/2011

\$ 84.00 / hr

PAY TO THE ORDER OF: Sewall's Point Building Department

City fee and tax

Seacoast NATIONAL BANK
 PALM CITY, FLORIDA 34990

FOR: [Redacted]

6361

Security Features Details on back.

MP

fd
ck # 6361

Town of Sewall's Point BUILDING PERMIT APPLICATION

9688

Date: 1/20/2011 Permit Number: _____
 OWNER/TITLEHOLDER NAME: ROBERT J. WALSER JR Phone (Day) 219-9909 (Fax) 408-3780
 Job Site Address: 102 S. River Rd. City: SEWALL'S POINT State: FL Zip: 34996

Legal Description _____ Parcel Control Number: _____
 Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Scope of work (please be specific): REMOVE PLASTIC SKYLIGHT, INSTALLING (3) DADE COUNTY APPROVED SKYLIGHTS

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner Builder questionnaire must accompany application)
 YES _____ NO _____
Has a Zoning Variance ever been granted on this property?
 YES _____ (YEAR) _____ NO _____
 (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
 Estimated Value of Improvements: \$ 600
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
 Is subject property located in flood hazard area? VE10 AE9 AEB X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
 Estimated Fair Market Value prior to improvement: \$ _____
 (Fair Market Value of the Primary Structure only, Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: MONTEREY CONSTRUCTION Phone: 408-3780 Fax: _____
 Street: 200 SW MONTEREY RD City: STUART State: FL Zip: 34996

State License Number: CGC1508987 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: ROBERT J. WALSER JR Phone Number: 408-3780

DESIGN PROFESSIONAL: N/A Lic#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREAS SQUARE FOOTAGE: Living: 2284 Garage: 468 Covered Patios/Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof: 2987 Elevated Deck: _____ Enclosed area below Base Flood Elevation: _____
 * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas) 2007
 National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code: 2007

NOTICES TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY WHEN FINANCING. CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF: FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - 5.

******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *******

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

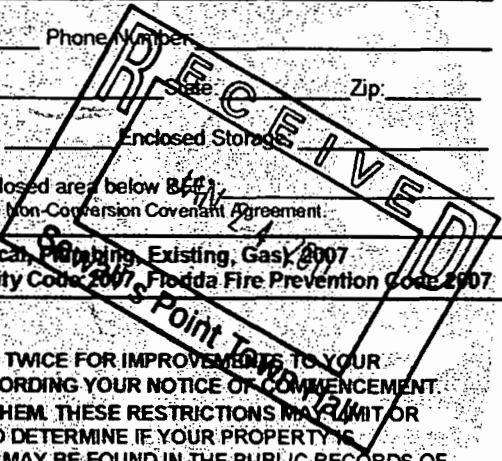
OWNER SIGNATURE: (required)
 OR OWNER'S LEGAL AUTHORIZED AGENT (PROOF REQUIRED)
Shelley M. Walser
 State of Florida, County of: Martin
 This the 21st day of January, 2011
 by Shelley M. Walser who is personally known to me or produced _____ as identification.

CONTRACTOR SIGNATURE: (required)
Robert J. Walser Jr
 On State of Florida, County of: Martin
 This the 25th day of January, 2011
 by Robert J. Walser Jr who is personally known to me or produced _____ as identification.

My Commission Expires: _____
 Notary Public #DD 724736

My Commission Expires: _____
 Notary Public #DD 724736

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (PER 105.3 OF FBC). OTHER APPLICATIONS WILL BE RE-EVALUATED AFTER 180 DAYS (PER 105.2 OF FBC). PLEASE CHECK THE TOWN OF SEWALL'S POINT WEBSITE FOR OTHER INFORMATION.





Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
 governmax.com 1.12

Summary

Owner
 1 of 3

Tabs

Summary

- Print View
- Land
- Improvements
- Assessments & Exemptions
- Sales
- Taxes →
- Parcel Map →
- Trim Notice →

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
12-38-41-002-000-00460-0	27559	102 S RIVER RD, SEWALL'S POINT	\$287,810	1/22/2011

Searches

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Maps →

Owner Information

Owner(Current)	WALSER ROBERT J JR & SHELLEY M WALSER ROBERT J SR
Owner/Mail Address	102 S RIVER RD STUART FL 34996
Sale Date	09/23/2010
Document Number	2236271
Document Reference No.	2479 0651
Sale Price	

Location/Description

Account #	27559	Map Page No.	SP-04
Tax District	2200	Legal Description	RIO VISTA S/D LOT 46
Parcel Address	102 S RIVER RD, SEWALL'S POINT		
Acres	.3440		

Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Parcel Type

Use Code	0100 Single Family
Neighborhood	120250

Assessment Information

Market Land Value	\$139,700
Market Improvement Value	\$148,110
Market Total Value	\$287,810

Print Back to List First Previous Next Last

Legal Disclaimer / Privacy Statement





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

WINDOW/DOOR REPLACEMENT CHECKLIST AND SCHEDULE

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

Please make sure you have ALL required copies before submitting permit application

- 1 Copy Completed Permit Application
- 2 Copies Window/Door Schedule
- 2 Copies Manufacturer's Florida Product Approval and Specifications
- 2 Copies Floor Plan Sketch – Show location & ID number of each window/door.
Must match window/door schedule.

***PLEASE NOTE: At least one (1) exterior window or door must comply with the 2007 F.B.C. R310.4 as a single means of escape.**

ALL NEW WINDOWS AND/OR DOORS WITH GLAZING MUST HAVE IMPACT PROTECTION (SHUTTERS OR IMPACT GLASS). IF SHUTTERS ARE USED, A SEPARATE SHUTTER PERMIT MUST BE ISSUED PRIOR TO FINAL INSPECTION OF THE WINDOW/DOOR REPLACEMENT PERMIT.

PARTIAL WINDOW OR GLAZED DOOR REPLACEMENT THAT REPRESENTS LESS THAN 25% OF THE TOTAL GLAZED AREA OVER A 12 MONTH PERIOD IS EXEMPT FROM IMPACT PROTECTION REQUIREMENTS.

WINDOW/DOOR SCHEDULE

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

ID NO	APPOX OPENING SIZE (WXH)	DESIGNATION	* TYPE	IMPACT PROTECTION		REMARKS
				IMPACT GLASS	SHUTTER	
	37" X 63"	25	SH		X	EXAMPLE
1	24x48	skylight	FIX	✓		} Not ALTERING } CURBING
2	24x48	sky light	FIX	✓		
3	24x48	sky light	FIX	✓		
4						
5						Shimming for
6						lights to 1/4"
7						
8						
9						
10						
11						
12						
13						
14						
15						
16						
17						
18						
19						
20						
21						
22						
23						
24						
25						
26						
27						
28						
29						
30						

TOTAL GLAZED OPENING AREA FOR STRUCTURE: 6300 S.F.

*PERCENTAGE OF NEW GLAZED AREA: 20 %
 (TOTAL INSTALLED GLAZED AREA DIVIDED BY TOTAL GLAZED OPENINGS FOR STRUCTURE)

NOTE: The replacement of more than 25% of the aggregate area of exterior glazing (windows & doors) in one & two family dwellings within a 12 month period will require impact protection on all proposed glazed opening replacement (approved shutters or impact resistant glazing) as per 2004 FBC/ EXISTING BUILDING 507.3.

* TYPE WINDOWS

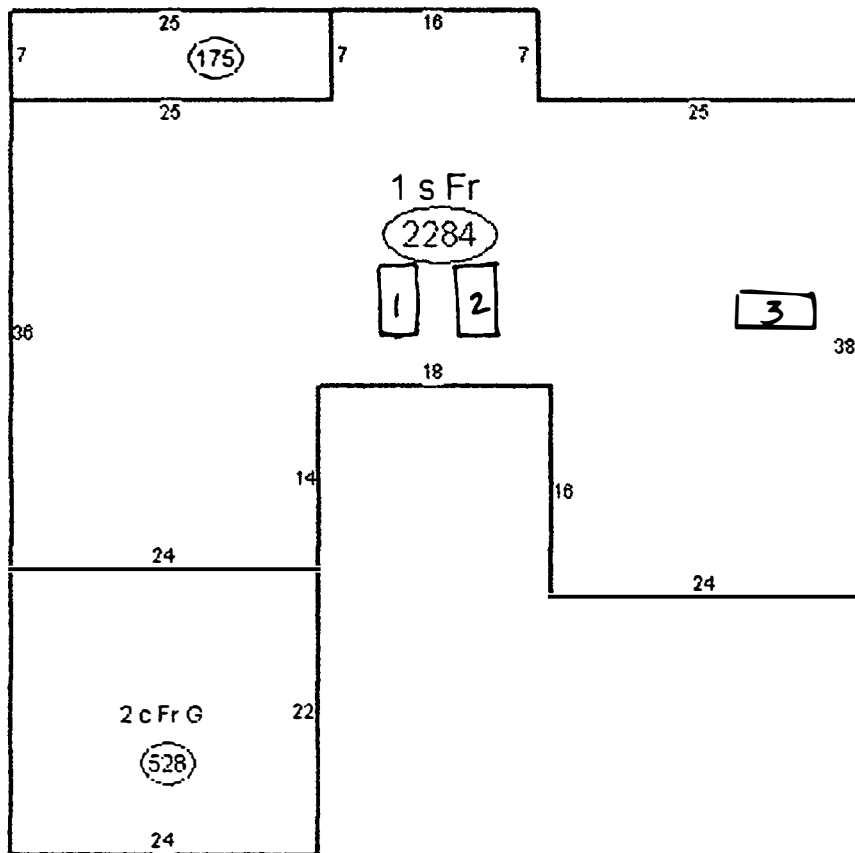
SH - SINGLE HUNG
 DH - DOUBLE HUNG

AWN - AWNING
 CAS - CASEMENT

SL - SLIDING
 FIX - FIXED

102 S. River Rd.

01 02



Click to enlarge



Post-it® Fax Note	7671	Date	10/8/10	# of Pages	18
To	Mike	From	Roxanne		
Co./Dept.	Stuart Paints	Co./Dept.	Sun-Tek Mfg.		
Phone #		Phone #			
Fax #	(772) 334-2705	Fax #			

-DADE COUNTY, FLORIDA
 DADE FLAGLER BUILDING
 FLER STREET, SUITE 1603
 MIAMI, FLORIDA 33130-1563
 5-2901 FAX (305) 372-6339

NOTICE OF ACCEPTANCE (NOA)

www.miamidade.gov/buildingcode

Sun-Tek Manufacturing, Inc.
 10303 General Dr.
 Orlando, FL 32824

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: MD-CMA Skylight.

APPROVAL DOCUMENT: Drawing No. CMA-002, titled "MD-CMA", sheets 1 and 2 of 2, prepared by Sun-Tek Manufacturing, Inc., dated 09/13/95 and 04/25/95, with no revisions, signed and sealed by Rene J. Quiroga, P.E., bearing the Miami-Dade County Product Control Renewal stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved" or the Product Control Seal, unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 03-0401.07 and consists of this page 1 and evidence pages E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by Carlos M. Utrera, P.E.



[Signature]
 1/31/08

NOA No. 08-0110.06
 Expiration Date: March 13, 2013
 Approval Date: February 21, 2008
 Page 1

Sun-Tek Manufacturing, Inc.**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED****A. DRAWINGS**

1. Manufacturer's die drawings and sections.
2. Drawing No. CMA-002, titled "MD-CMA". sheets 1 and 2 of 2, prepared by Sun-Tek Manufacturing, Inc., dated 09/13/95 and 04/25/95, with no revisions, signed and sealed by Rene J. Quiroga, P.E.

B. TESTS

1. Test reports on
 - 1) Air Infiltration Test, per FBC, TAS 202-94
 - 2) Uniform Static Air Pressure Test, Loading per FBC TAS 202-94
 - 3) Water Resistance Test, per FBC, TAS 202-94
 - 4) Large Missile Impact Test per FBC, TAS 201-94
 - 5) Cyclic Wind Pressure Loading per FBC, TAS 203-94
 - 6) Forced Entry Test, per FBC 2411 3.2.1, TAS 202-94along with marked-up drawings and installation diagram of Model MD-CMA Curb Mounted Plastic Dome Skylight, prepared by National Certified Testing Laboratories, Test Report No. 210-2885-1, dated 10/31/02, signed and sealed by W. A. Davis Jr., P.E.
(Evidence Submitted under NOA # 03-0401.07)

C. CALCULATIONS

1. Anchor calculations prepared by Product Technology Corporation on 02/05/03, signed and sealed by A. Perez Maldonado, PE.
(Evidence Submitted under NOA # 03-0401.07)

D. QUALITY ASSURANCE

1. Miami Dade Building Code Compliance Office (BCCO)



Carlos M. Utrera, P.E.
Product Control Examiner
NOA No. 08-0110.06

Expiration Date: March 13, 2013
Approval Date: February 21, 2008

Sun-Tek Manufacturing, Inc.**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED****E. MATERIAL CERTIFICATIONS**


1. Notice of Acceptance No. **07-0212.01** issued to General Electric Plastics for their "Lexan Sheet Products", approved 05/25/07 , expiring on 07/17/08.

F. STATEMENT

1. Code compliance letter issued by Product Technology Corporation on 02/06/03, signed and sealed by A. Perez Maldonado
(Evidence Submitted under NOA # 03-0401.07)

G. OTHERS

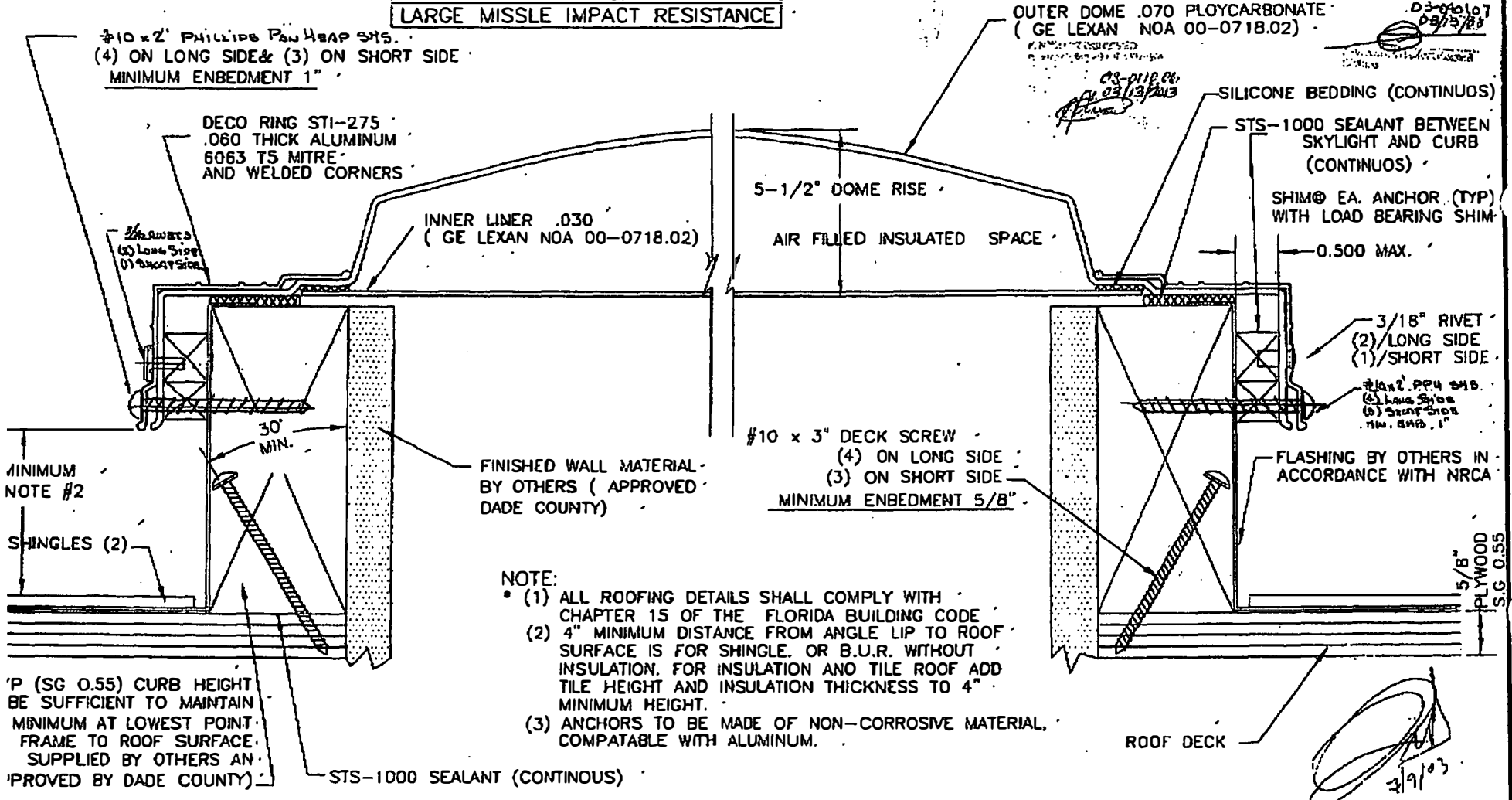
1. Notice of Acceptance No. **03-0401.07**, issued to Sun-Tek Manufacturing, Inc., approved on 10/09/03 and expiring on 03/13/08.
2. No change letter issued by Sun-Tek Manufacturing, Inc., dated 01/02/08, signed by James Feudner.


1/5/08

Carlos M. Ulrera, P.E.
Product Control Examiner
NOA No. 08-0110.06

Expiration Date: March 13, 2013
Approval Date: February 21, 2008

DESIGN PRESSURE RATING
+- 60 PSF
LARGE MISSILE IMPACT RESISTANCE



- NOTE:
- (1) ALL ROOFING DETAILS SHALL COMPLY WITH CHAPTER 15 OF THE FLORIDA BUILDING CODE
 - (2) 4" MINIMUM DISTANCE FROM ANGLE LIP TO ROOF SURFACE IS FOR SHINGLE, OR B.U.R. WITHOUT INSULATION. FOR INSULATION AND TILE ROOF ADD TILE HEIGHT AND INSULATION THICKNESS TO 4" MINIMUM HEIGHT.
 - (3) ANCHORS TO BE MADE OF NON-CORROSIVE MATERIAL, COMPATIBLE WITH ALUMINUM.

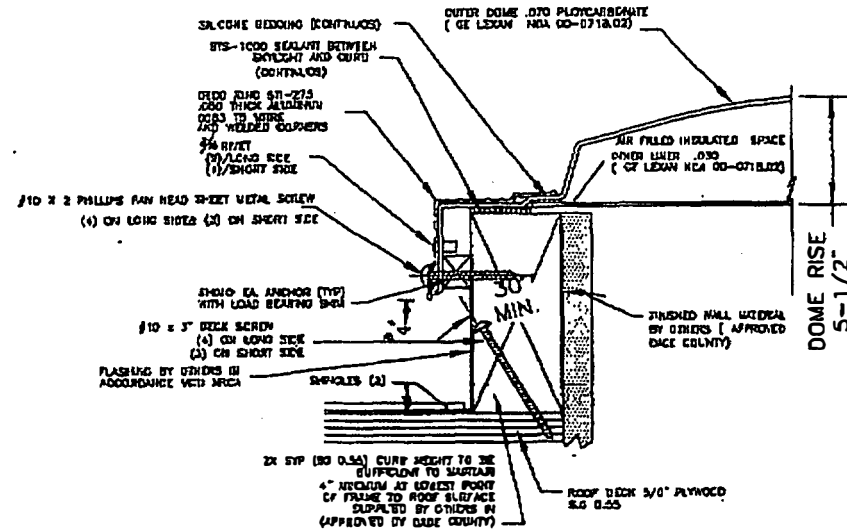
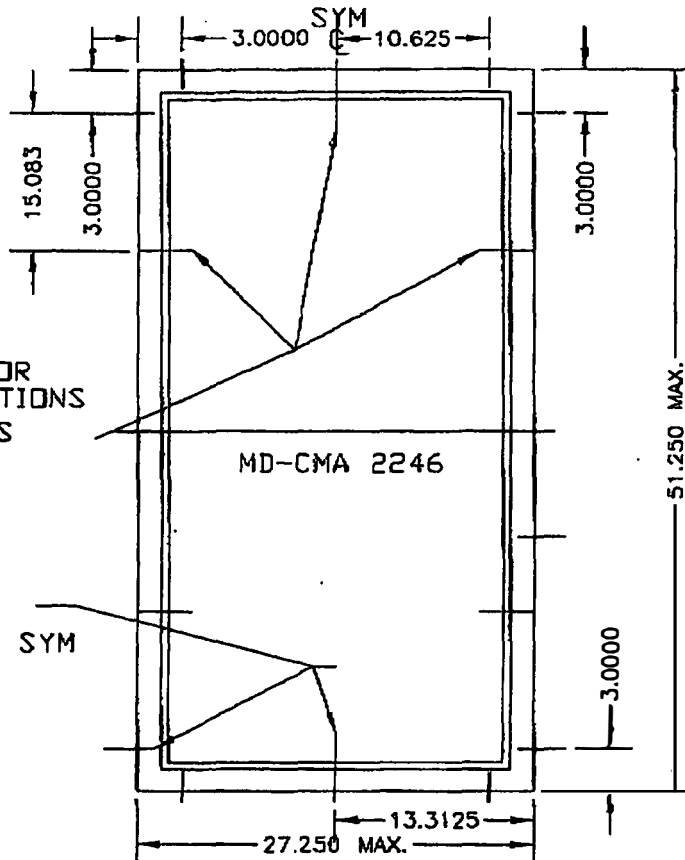
MINIMUM NOTE #2

P (SG 0.55) CURB HEIGHT BE SUFFICIENT TO MAINTAIN MINIMUM AT LOWEST POINT. FRAME TO ROOF SURFACE. SUPPLIED BY OTHERS APPROVED BY DADE COUNTY)

REVISIONS	PRODUCT NAME	SUN-TEK MANUFACTURING, INC. 10303 GENERAL DRIVE ORLANDO, FL 32824
DATE: [] [] [] [] [] []	MD-CMA	
DATE: 4-25-95	SCALE:	DWG No. CMA-002

DIMENSIONS FOR FASTENER LOCATIONS
14 FASTENERS TO CURB

6 RIVETS POLY TO ALUM
IVET LOCATIONS SYM



- NOTE:
- (1) ALL ROOFING DETAILS SHALL COMPLY WITH CHAPTER 15 OF THE FLORIDA BUILDING CODE
 - (2) 4" MINIMUM DISTANCE FROM ANGLE LIP TO ROOF SURFACE IS FOR SHINGLE OR B.U.R. WITHOUT INSULATION. FOR INSULATION AND TILE ROOF ADD TILE HEIGHT AND INSULATION THICKNESS TO 4" MINIMUM HEIGHT.
 - (3) ANCHORS TO BE MADE OF NON-CORROSIVE MATERIAL COMPATIBLE WITH ALUMINUM.

DESIGN PRESSURE RATING
± 60 PSF.
LARGE MISSILE IMPACT RESISTANCE

MODEL	FASTENER SCHEDULE SKYLIGHT TO CURB #10 X 2 PAN HEAD SHEET METAL SCREWS		FASTENER SCHEDULE CURB TO DECK #10 X 3" DECK SCREWS		RIVET SCHEDULE DECK TO POLYCARBONATE 3/16" DIA	
	PER LONG SIDE	PER SHORT SIDE	PER LONG SIDE	PER SHORT SIDE	PER LONG SIDE	PER SHORT SIDE
2246	4	3	4	3	2	1
2236	4	3	4	3	2	1
2230	3	3	3	3	2	1
2222	3	3	3	3	1	1
1919	3	3	3	3	1	1
1448	4	3	4	3	2	1
1430	3	3	3	3	2	1
1422	3	3	3	3	1	1
1414	2	2	2	2	1	1

08-0110.06
02/12/03

03-0901.07
03/18/08

Official Seal of Sun-Tek Manufacturing, Inc.

[Handwritten Signature]
2/17/03

DATE:	REVISED:	PRODUCT NAME:	MD-CMA		SUN-TEK MANUFACTURING, INC. 10303 GENERAL DRIVE ORLANDO, FL 32824
DATE:	DATE:	DATE: 9-13-95	SCALE:	DWG No. CMA-002	

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 2-1-2011 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9632	GAYLE 6 WENDY LA LOU DEN POOLS	LIGHT NICHE	PASS	INSPECTOR <i>JA</i>
9649	STADPE 9 Palm Rd 0713	FRAMING ROUGH ELEC	PASS PASS	INSPECTOR <i>JA</i>
	102 WILLIAMS ST DUCT CHANGE OUT	NISKIL	No Permit	\$250 ⁰⁰ FINE INSPECTOR MINIMUM
9688	Walsen 102 S River Monterey Coast	Final Skylights	PASS	Close INSPECTOR <i>JA</i>
9287	Santa-Eulalia 62 S. River Rd Consolidated Bldg	Door FINISH	PASS	Close INSPECTOR <i>JA</i>
9683	STAFFI 73 N. SP TRD Modugno Sons	PARTIAL PRE POUR DRIVEWAY	PASS	INSPECTOR <i>JA</i>
				INSPECTOR

9926

SIDING



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	9926	DATE ISSUED:	11-09-2011
SCOPE OF WORK:	REPLACE SIDING		
CONTRACTOR:	ROBERT WALSER		
PARCEL CONTROL NUMBER:	12-38-41-002-000-00460-0	SUBDIVISION:	RIO VISTA #46
CONSTRUCTION ADDRESS:	102 SO RIVER ROAD		
OWNER NAME:	ROBERT WALSER		
QUALIFIER:	ROBERT WALSER O/B	CONTACT PHONE NUMBER:	408-3780

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9926
ADDRESS	102 SO RIVER ROAD
DATE: 11/09/11	SCOPE OF WORK REPLACE SIDING

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square	(@ \$121.75 per sq. ft.)	s.f.	

MONTEREY CONSTRUCTION LLC
 200 SW MONTEREY RD
 STUART FL 34994

DATE: 11/4/2011 6643
 63-515/670 07

PAY TO THE ORDER OF TOWN OF SEWALL'S POINT \$ 250.00 ONLY

Two hundred fifty and no/100

Seacoast NATIONAL BANK
 PALM CITY, FLORIDA 34990

FOR Permitting Malone MP

DBPR Lic. [Redacted] Harland Clarke

Road impact assessment: (.04% of construction value)

Martin County Impact Fee: \$ ||

TOTAL BUILDING PERMIT FEE: \$ ||

ACCESSORY PERMIT	Declared Value:	\$	250.00
Total number of inspections @ \$75.00 each	1		0.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	0.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	0.00
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	0.00
After the fact permitting			250.00
TOTAL ACCESSORY PERMIT FEE:		\$	250.00



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9926
ADDRESS	102 SO RIVER ROAD
DATE: 11/09/11	SCOPE OF WORK REPLACE SIDING

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K) (No plan submittal fee when value is less than \$100,000)		\$	
Total square feet air-conditioned space: (@ \$121.75 per sq. ft.)		s.f.	
Total square feet non-conditioned space, or interior remodel: (@ \$59.81 per sq. ft.)		s.f.	
Total square feet remodel with new trusses: @ \$90.78 per sq. ft.		\$	
Total Construction Value:		\$	
Building fee: (2% of construction value SFR or >\$200K)		\$	
Building fee: (1% of construction value < \$200K + \$75 per insp.)		\$	
Total number of inspections (Value < \$200K) @\$75 ea.		\$	
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	

ACCESSORY PERMIT	Declared Value:	\$	
Total number of inspections @ \$75.00 each	1		237.88
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	3.56
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	3.56
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5.00
After the fact permitting			250.00
TOTAL ACCESSORY PERMIT FEE:		\$	250.00

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: 9926

Date: 11/4/2011

OWNER/TITLEHOLDER NAME: WALSER Phone (Day) 772 408-3780 (Fax) _____

Job Site Address: 102 S. River Rd. City: Sewall's Point State: FL Zip: 34996

Legal Description Rio Vista Lot 46 Parcel Control Number: 12-38-41-002-000-00460-0

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

SCOPE OF WORK (PLEASE BE SPECIFIC):

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner Builder questionnaire must accompany application)
 YES NO
 Has a Zoning Variance ever been granted on this property?
 YES _____ (YEAR) _____ NO _____
 (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
 Estimated Value of Improvements: \$ 250.00
 (Notice of Commencement required when over \$2500 prior to first inspection. \$7,500 on HVAC change out)
 Is subject property located in flood hazard area? VE10 AE9 AE8
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
 Estimated Fair Market Value prior to improvement: \$ _____
 (Fair Market Value of the Primary Structure only. Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: _____ Phone: _____ Fax: _____

Qualifiers name: _____ Street: _____ City: _____ State: _____ Zip: _____

State License Number: _____ OR: Municipality: _____ License Number: _____

LOCAL CONTACT: _____ Phone Number: _____

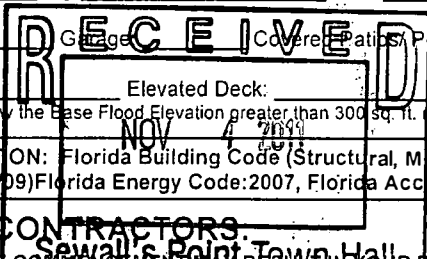
DESIGN PROFESSIONAL: _____ Fla. License# _____

Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios: _____ Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE*: _____
 * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007
 National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

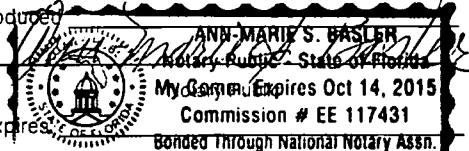


NOTICES TO OWNERS AND CONTRACTORS:
 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
 2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
 3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
 4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER NOTORIZED SIGNATURE: (required per 713.135 F.S.)
 OR OWNER'S LEGAL AUTHORIZED AGENT (PROOF REQUIRED)
 X [Signature]
 State of Florida, County of: Martin
 On This the 4th day of November, 2011
 by Robert Walsler who is personally
 known to me or produced
 As identification, [Signature]
 My Commission Expires Oct 14, 2015
 Commission # EE 117431
 Bonded Through National Notary Assn.



CONTRACTOR NOTORIZED SIGNATURE: (required per 713.135 F.S.)
 X _____
 State of Florida, County of: _____
 On This the _____ day of _____, 20____
 by _____ who is personally
 known to me or produced _____
 As identification, _____
 My Commission Expires: _____
 Notary Public

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

OWNER/BUILDER QUESTIONNAIRE AND DISCLOSURE STATEMENT
 MUST BE COMPLETED AND REVIEWED PRIOR TO PERMIT ISSUANCE

APPLICABLE ONLY TO OWNER-OCCUPIED SINGLE FAMILY RESIDENCES
 AND COMMERCIAL IMPROVEMENTS LESS THAN \$75,000 IN VALUE

NOTICE: FLORIDA STATUTE 489 REQUIRING CONSTRUCTION TO BE DONE ONLY BY LICENSED CONTRACTORS PROVIDES AN EXEMPTION FROM LICENSING FOR A PROPERTY OWNER WHO ACTS AS HIS/HER OWN CONTRACTOR UNDER SPECIFIC CONDITIONS. ANSWERS TO THE FOLLOWING QUESTIONS ARE ESSENTIAL TO DETERMINE IF THOSE STATE QUALIFICATIONS ARE SATISFIED BY AN OWNER/BUILDER APPLICANT.

ALL QUESTIONS MUST BE ANSWERED. IF A QUESTION DOES NOT APPLY, INDICATE BY WRITING "N/A"

Owner/Builder Applicant Name: ROBERT J WALSER JR.

Site address of the proposed building work:

Name of legal title owner of the address above: ROBERT J WALSER JR.

Describe the scope of work for the proposed new construction: REPLACING ROTTED SIDING W/ LIKE

Name of Architect of Record: N/A Structural Engineer of Record: N/A

Who will supervise the trade work to meet the applicable code? _____

What provisions have you made for Liability and Property Damage Insurance? HAVE INSURANCE

What provisions exist for withholding Social Security and Federal Income Taxes, as required by Federal Law, from wages paid to people you hire who are not licensed? NONE HIRED

What previous Owner/Builder improvements have you done in the State of Florida?

Location: RIVERWATCH MARINA STUART Scope of Work Done: INFRASTRUCTURE Year: 2011

Location: TIDE KINGDOM SEBASTIAN Scope of Work Done: GROUND-UP Year: 2011

What code books do you have available for reference? Building: FL BUILDING CODE

Electric: _____ Plumbing: _____ HVAC: _____

Other: _____

I have internet access and will view The Florida Building code at www.floridabuilding.org YES NO _____

Do you understand that as the permit holder you are liable for following all Local, County, State and Federal codes, laws and requirements, and you are also liable for anyone injured on the construction site? (yes/no)

Have you consulted with your Homeowner's Insurance Agent? _____ Lender? _____ Attorney? _____

In order to assure your success in this project, please signify your awareness that the function of the building department is to issue you a building permit and verify code compliance through plan review and the inspection process. I am aware that town staff is not obligated to offer supervision, design or instructional advice prior or during my project. (initials)



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

OWNER/BUILDER DISCLOSURE STATEMENT

NOTICE: STATE LAW REQUIRES THAT ALL PERMITTING AGENCIES PROVIDE INDIVIDUALS SUBMITTING APPLICATIONS FOR OWNER/BUILDER PERMITS THE FOLLOWING INFORMATION:

1. THE TOWN OF SEWALL'S POINT CODE OF LAWS AND ORDINANCES REQUIRES THAT ANY PERSON DESIRING TO ENGAGE IN BUSINESS AS A CONTRACTOR IN THE TOWN OF SEWALL'S POINT BE A HOLDER OF A CERTIFICATE OF COMPETENCY.
2. FLORIDA STATUTES 489.103 (7) ALLOWS YOU, AS A PROPERTY OWNER, AN EXEMPTION TO CONSTRUCT OR IMPROVE A SINGLE FAMILY DWELLING AND ACCESSORY-USE STRUCTURES ON SAID PROPERTY FOR YOUR OWN USE OR OCCUPANCY WITHOUT HAVING A CERTIFICATE OF COMPETENCY.
3. AS AN OWNER/BUILDER, YOU MUST PHYSICALLY PERFORM OR MATERIALLY SUPERVISE ALL CONSTRUCTION/IMPROVEMENTS SPECIFIED ON YOUR OWNER/BUILDER PERMIT AND YOU ARE TOTALLY RESPONSIBLE FOR ALL ACTIVITIES ASSOCIATED THEREWITH. OWNER/BUILDERS WHO WISH TO DO ELECTRICAL OR PLUMBING WORK MUST PASS A SHORT OPEN BOOK QUIZ ADMINISTERED BY THE BUILDING DEPARTMENT.
4. IF YOU DO NOT PHYSICALLY PERFORM A SPECIFIC PHASE OF SAID CONSTRUCTION/IMPROVEMENT, BUT CHOOSE TO SUB-CONTRACT IT, THEN SUCH CONSTRUCTION/IMPROVEMENT MUST BE SUB-CONTRACTED TO A LOCALLY LICENSED OR STATE CERTIFIED CONTRACTOR.
5. YOU MAY NOT HIRE AN UNLICENSED INDIVIDUAL WHO IN ANY MANNER ACTS IN THE CAPACITY OF A GENERAL CONTRACTOR, THAT IS, ONE WHO FULFILLS YOUR DUTIES UNDER PARAGRAPH (3) ABOVE.
6. UNDER AN OWNER/BUILDER PERMIT YOU MAY NOT CONSTRUCT A BUILDING WHICH YOU INTEND TO SELL OR LEASE. THE SALE OR LEASE, OR OFFERING FOR SALE OR LEASE, OF ANY SUCH STRUCTURE BY THE OWNER-BUILDER WITHIN 1 YEAR AFTER COMPLETION OF SAME CREATES A PRESUMPTION THAT THE CONSTRUCTION WAS UNDERTAKEN FOR PURPOSES OF SALE OR LEASE WHICH IS A VIOLATION OF THIS EXEMPTION.
7. THIS EXEMPTION SHALL NOT APPLY TO ANY PERSON WHO HAS LEASED, SOLD, OR OFFERED FOR SALE MORE THAN 1 STRUCTURE BUILT UNDER AN OWNER-BUILDER PERMIT IN ANY JURISDICTION WITHIN THE 5 YEARS IMMEDIATELY PRECEDING THE APPLICATION FOR A PERMIT.
8. THERE MUST BE A THIRTY-SIX (36) MONTH PERIOD BETWEEN THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE INITIAL DWELLING AND THE SUBMITTAL OF AN OWNER/BUILDER APPLICATION FOR A SUBSEQUENT DWELLING. NO OTHER BUILDING PERMIT FOR A HOME SHALL BE ISSUED TO THAT OWNER/BUILDER, THE OWNER/BUILDER'S SPOUSE OR ANY MEMBER OF THE OWNER/BUILDER'S IMMEDIATE FAMILY UNDER EIGHTEEN YEARS OF AGE UNTIL THREE YEARS AFTER THE HOME BUILT UNDER THE FIRST BUILDING PERMIT HAS RECEIVED A CERTIFICATE OF OCCUPANCY.
9. ALL CONSTRUCTION IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDER PERMIT MUST BE IN STRICT COMPLIANCE WITH FLORIDA STATE STATUTE SECTION 489, SEWALL'S POINTS CODE OF LAWS AND ORDINANCES, ALL BUILDING & ZONING CODES AND REGULATIONS PERTAINING TO SINGLE FAMILY DWELLINGS, ACCESSORY USE STRUCTURES AS APPLICABLE.
10. YOUR OWNER/BUILDER EXEMPTION DOES NOT WAIVE ANY PERMIT CONDITIONS OR REQUIREMENTS OR WAIVE ANY PORTION OR PORTIONS OF ANY APPLICABLE BUILDING OR SWIMMING POOL CODES OR TOWN ORDINANCES.
11. ALL CONSTRUCTION/IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDING PERMIT MUST ALSO BE IN STRICT COMPLIANCE WITH ALL APPLICABLE ZONING REGULATIONS (QUESTIONS REGARDING ZONING REGULATIONS SHOULD BE DIRECTED TO THE TOWN OF SEWALL'S POINT AT 772-287-2455.)



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

12. YOU MUST BE FAMILIAR WITH AND CALL FOR THE REQUIRED INSPECTIONS OF ALL CONSTRUCTION/IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDER PERMIT.

13. AS AN OWNER/BUILDER YOU MUST VERIFY THAT ALL INDIVIDUALS OR FIRMS ENGAGED IN CONSTRUCTION/IMPROVEMENTS ACTIVITIES UNDER YOUR OWNER/BUILDER PERMIT ARE PROPERLY LICENSED AS REQUIRED BY STATE LAW OR LOCAL ORDINANCE.

14. ANY PERSON WORKING ON YOUR BUILDING WHO IS NOT LICENSED MUST WORK UNDER YOUR DIRECT SUPERVISION AND MUST BE EMPLOYED BY YOU, WHICH MEANS THAT YOU MUST DEDUCT F.I.C.A. AND WITHHOLDING TAX AND PROVIDE WORKERS' COMPENSATION FOR THAT EMPLOYEE, ALL AS PRESCRIBED BY LAW.

15. I, AS AN OWNER/BUILDER, IN CONSIDERATION OF A BUILDING PERMIT ISSUED BY SEWALL'S POINT, FLORIDA, AGREE TO INDEMNIFY AND HOLD HARMLESS SAID SEWALL'S POINT, FLORIDA, ITS OFFICERS AND AGENTS FROM ANY AND ALL CLAIMS, DAMAGES, OR EXPENSES THAT SEWALL'S POINT MAY BE LIABLE FOR WHICH ARISE FROM THE CONSTRUCTION/IMPROVEMENTS ACCOMPLISHED IN CONNECTION WITH SAID BUILDING PERMIT.

I HEREBY ACKNOWLEDGE THAT I HAVE THOROUGHLY READ AND COMPLETELY UNDERSTAND THE PRECEDING PAGE OF THE OWNER/BUILDER DISCLOSURE STATEMENT.

ON THIS 7th DAY OF November, 2011.

PROPERTY ADDRESS 102 S RIVER RD

CITY SEWALL'S POINT STATE FL ZIP 34996

[Signature]

SIGNATURE OF OWNER/BUILDER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 7th DAY OF November, 2011

BY Robert Walser

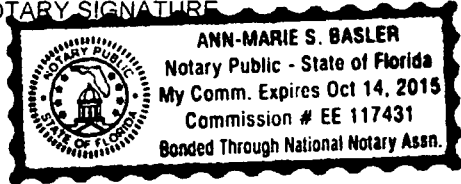
PERSONALLY KNOWN _____

OR PRODUCED ID _____

TYPE OF ID _____

Ann-Marie S. Basler

NOTARY SIGNATURE





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

SIDING INSTALLATION CHECKLIST

A DOCUMENT REVIEW WILL BE PERFORMED ON THE FOLLOWING ITEMS PRIOR TO THE SUBMITTAL OF A SIDING INSTALLATION PERMIT APPLICATION. FAILURE TO SUBMIT THESE ITEMS WILL RESULT IN THE APPLICATION PACKAGE RETURNED TO THE APPLICANT UNTIL THE DEFICIENT DOCUMENTS ARE INCLUDED.

THIS REVIEW SHEET MUST ACCOMPANY THE APPLICATION SUBMITTAL.

- 1 COPY Completed permit application
- 2 COPIES Manufacturer's Product Specifications w/ fastening details.
REPLACING WITH SAME / T111, SIDING BOARD / BASE
- 2 COPIES of Florida Product Approval/NOA

***ALL Hardi-Plank & Hardi-Panel PRODUCTS MUST INCLUDE A COPY OF THE NER-405 REPORT SHOWING THE SPECIFIC NAILING SPECS.**

- 2 COPIES Building Footprint Sketch
Show which sides of the structure will receive new siding.
- 1 COPY Notice of Commencement (if the installation cost is over \$2500.00)

1

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 11-3-11 Page 11 of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9908	Fleetwood After land			
	34 No River			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9879	Augustine, 9 India Lucia Powers	Pool/Patio		
	Schiller Pools	PLUMBING	PASS	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9753	BILLINGHAM 2 VIA DE CRISTO	Misc. Footing	PASS	
	MR STEWART			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	12 WENDY LA - MARIKE COOPER LANDSCAPING			
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9926	102 S. R. GOODING - NO PERMIT			
	WHITE VAN TAG # 192 NWT			
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

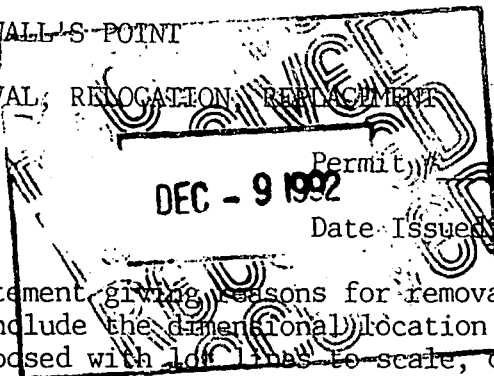
Date of Inspection Mon Tue Wed Thur Fri **1-25-12** Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9977	Zayas	Final		
1PM	10 Copaire Rd NISOA	A/C	Pass	CLOSE INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9924	Bellingham	Final		
	2 Via de Cristo Fitz Irrigation		Pass	CLOSE INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
Trees	Leonard	Trees		
	1 Heritage Way		OK	INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	Zayas	Trees to be inspected		
	10 Copaire		OK	INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9926	Water	Final	Pass	CLOSE
	1025 River Rd OB		Pass	INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9955	BRENNAN			
AM	111 A. Sewalls Way Bayside A/C	A/C FINAL	Pass	CLOSE INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

538

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT



This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner OVERHOLSER, M.W. Address 102 S. River Rd Phone 597 3593(W) 289 9324(H)

Contractor _____ Address _____ Phone _____

Number of trees to be removed(list kinds of trees) (ONE) Ficus (diseased & dying)

Number of trees to be relocated within 30 days(no fee)(list kinds of trees): N/A

Number of trees to be replaced (list kinds of trees): NONE

Permit Fee \$ N/A (\$25.00 - first tree plus \$10.00 - each additional tree - not to exceed \$100.00.)

(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted Plans approved as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant MW Overholser Date submitted 12/9/92

Approved by Building Inspector Dale Brown Date 12/10/92

Approved by Building Commissioner [Signature] Date 12/11/92

Completed _____ Date _____ Checked by _____

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT OBTAINING A PERMIT. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

**APPLICATION FOR TREE REMOVAL, RELOCATION OR
REPLACEMENT PERMIT ON DEVELOPED RESIDENTIAL PROPERTY**

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Removal of trees with a diameter of less than two inches.
3. Removal of citrus or non-native fruit trees.

Sec. 70-22. Permit required for tree removal.

A permit as provided for in this chapter shall be required for the removal (or transplant) of any tree with a two-inch caliber or more upon any parcel upon which there is a residence under a validly issued permit. Permit requirements are outlined under article V Town Ordinances. **If the town has to procure the services of a suitable professional licensed in the State of Florida to ascertain the condition or type of a tree(s) prior to or after removal of the tree(s) then the cost of such will be borne by the property owner. (Ord. No. 303, 7-20-04)**

Application procedures:

1. Complete application information including sketch below.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and posted on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Permit Fee:

1. Tree permits are \$15.00.
2. Permit - No fees are assessed for tree which is dead, diseased, injured, hazardous to life or property, or listed as a prohibited species by the Florida Department of Environmental Protection.

NOTICE:

A PERMIT WILL NOT BE ISSUED FOR THE REMOVAL ANY NATIVE SPECIES TREES UNLESS ONE OR MORE OF THE FOLLOWING CONDITIONS EXIST: (SEC. 70-87. PERMIT ISSUANCE OR DENIAL TOWN ORDINANCES).

- A. THE VEGETATION IS LOCATED IN AN AREA WHERE STRUCTURES, UTILITIES OR IMPROVEMENTS MAY BE PLACED ACCORDING TO THE TOWN CODE; AND TO PRESERVE THE VEGETATION WOULD UNREASONABLY RESTRICT THE ECONOMIC ENJOYMENT OF THE PROPERTY; AND THE VEGETATION CANNOT BE RELOCATED ON THE SITE BECAUSE OF AGE, TYPE OR SIZE.
- B. THE VEGETATION IS DISEASED, INJURED, LOCATED TOO CLOSE TO THE EXISTING OR PROPOSED STRUCTURES, INTERFERES WITH EXISTING UTILITY SERVICE, OR CREATES UNSAFE VISUAL OBSTRUCTION. (A PROFESSIONAL ARBORIST'S OPINION WILL BE REQUIRED)
- C. THE VEGETATION IS TO BE MOVED TO ANOTHER LOCATION ON THE OWNER'S PROPERTY OR IS TO BE REPLACED BY ANOTHER TREE OR SHRUB ON THE OWNER'S PROPERTY, REGARDLESS OF LOCATION.

IF THE PERMIT IS DENIED, THE DEPARTMENT SHALL NOTIFY THE APPLICANT IN WRITING OF THE BASIS FOR DENIAL USING THE CRITERIA LISTED IN THIS SECTION.

*****THE FOLLOWING SPECIES ARE CONSIDERED NATIVE, PROTECTED SPECIES***:**

BLACK IRONWOOD, BLACK MANGROVE, BLOLLY, BUTTONWOOD, CABBAGE (SABLE) PALM, COCOPLUM (RED TIP AND GREEN TIP), CORAL BEAN, DEER MOSS, GRAY TWIG, GOPHER APPLE, GUMBO LIMBO, INKWOOD, LAUREL OAK, LEATHER FERN, LIVE OAK, MAHOGANY, MARLBERRY, MASTIC, MULBERRY, MYRTLE OAK, PARADISE TREE, PIGEON PLUM, POND APPLE, PRICKLY PEAR, RED MANGROVE, RED MAPLE, RED BAY, SAFFRON PLUM, SAND PINE, SCRUB PINE, SATINLEAF, SAW PALMETTO, SCRUB HICKORY, SEA GRAPE, SEA OXEYE, SLASH PINE, STOPPERS, WILD LIME, SUMAC (SOUTHERN), SUGAR BERRY (HACKBERRY), TORCHWOOD, WILD COFFEE, VARNISH LEAF, WATER OAK, WAX MYRTLE, WEST INDIAN CHERRY, WHITE MANGROVE.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Robert & Shelley Walker Address 1025 River Rd. Phone (772) 626-3767
Contractor Robert Walker Address _____ Phone 408-3780 Robert
No. of Trees: REMOVE Trim Species: ~~Oak~~ Hickory remove dead portion
No. of Trees: RELOCATE _____ Species: _____
No. of Trees: REPLACE _____ Species: _____

*** ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION***

ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY

Reason for tree removal /relocation (See notice above) Remove dead portion Diseased

Signature of Property Owner Shelley Walker Date 11/28/12

Approved by Building Inspector: [Signature] Date 11-28-12 Fee: N/C

NOTES: _____

SKETCH:

See attached



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner WALSER Address [REDACTED] Phone 772-219-9909

Contractor WALSER Address 102 S River Phone 772-408-3780

No. of Trees: REMOVE 1 Species: HICKORY

No. of Trees: RELOCATE _____ Species: _____

No. of Trees: REPLACE _____ Species: _____

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

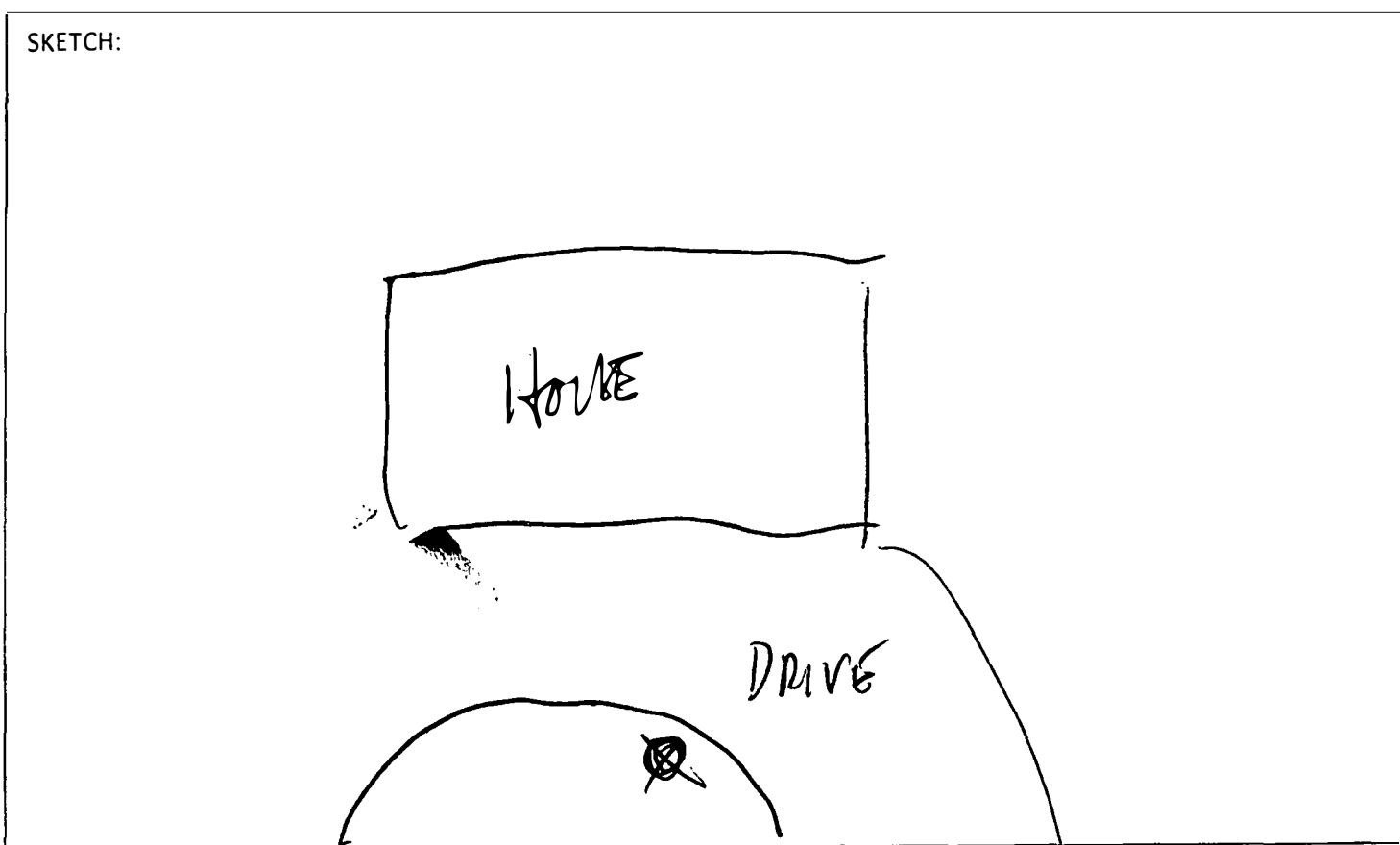
ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY

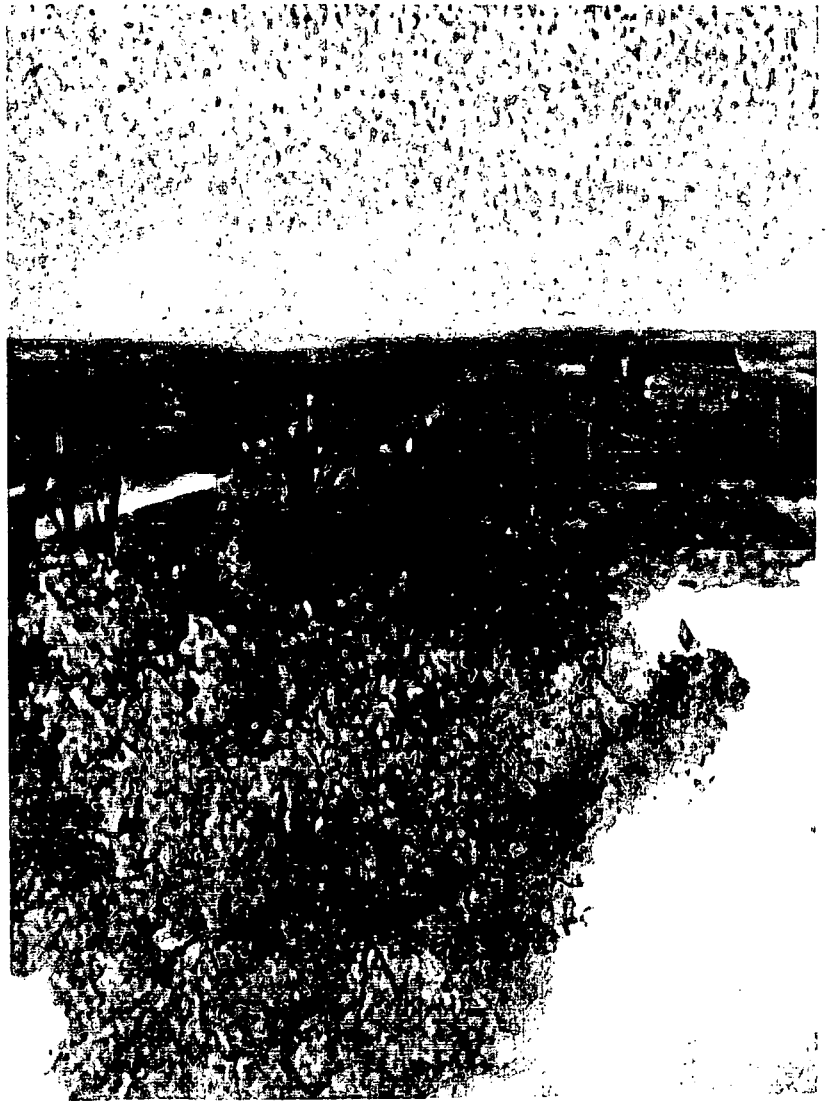
Reason for tree removal /relocation (See notice above) DEAD HICKORY IN FRONT YARD

Signature of Property Owner [Signature] Date 9-17-2013

Approved by Building Inspector: [Signature] Date 10-1-13 Fee: N/C

NOTES: _____





102 S. River Rd