

104 South River Road

1195

SFR

Permit No. 1195

Date AUG. 13, 1980

APPLICATION FOR A PERMIT TO BUILD A HOUSE OR COMMERCIAL BUILDING

This application must be accompanied by three sets of complete plans, to scale, (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections; plumbing, electrical and air-conditioning layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house or commercial building construction.

Owner ROBERT & RITA HERRICK Present address 14 PALM COURT

Phone 283-0604 SEWALL'S POINT, FLA.

General contractor AVALON CONST. of Pt. St. Lucie Address 2301 WEST STREET

Phone 878-2946 PORT ST. LUCIE, FLA.

Where licensed FLA. STATE CERT. License No. _____

Plumbing contractor KEN STONE License No. #55 MARTIN COUNTY

Electrical contractor CHARLES LAWRENCE License No. #756 - St. Lucie County

Air-conditioning contractor CUSTOM AIR License No. HB 0036557

Describe the building, or alteration to existing building NEW SINGLE FAMILY

RESIDENCE - 3 BD. RM. - 2 BATH - 2 CAR GARAGE

Name the street on which the building, its front building line and its front yard will face 104 SOUTH RIVER ROAD

Subdivision RIO VISTA Lot No. 45 Area 15,040 SQ. FT.

Building area, inside walls (excluding garage, carport, porches, pools, etc.)...square feet 2,088 SQ. FT.

Contract price (excluding land, carpeting, appliances, landscaping, etc.) \$ 73,080.00

Cost of permit \$ 295.50 Plans approved as submitted _____ or, as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the building for which this permit is issued must be completed within that time and in accordance with the approved plans. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. I agree that the building site will be clean and rough-graded before a Certificate of Occupancy is sought, and, moreover, that I shall be responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and depositing same in the Town of Sewall's Point. Failure to comply with the above requirements may result in a Building Inspector or a Town Commissioner "Red-tagging" the building project.

Contractor _____

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood, as required by the Town's zoning ordinance.

Owner Robert Herrick

Regulation builders will be required to sign both of the above statements.

TOWN RECORD Date submitted _____

Building Inspector (date) 8/19/80 Inspector's initials JAM

Approved by Town Commissioner (date) 8/19/80 Commissioner's initials AS

Certificate of Occupancy issued (date) 1/21/81

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

1195

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ADDENDUM TO THE SOUTH FLORIDA BUILDING CODE

TOWN OF SEWALL'S POINT, FLORIDA

1 SEPTEMBER, 1977

INTRODUCTION:

The Town of Sewall's Point, Florida, is an incorporated area in Martin County with its building department under the direction of Commissioner John Rossiter. It is the intent of the Commissioners of Sewall's Point that structural integrity shall be maintained at all times on construction projects within its jurisdiction.

The Town of Sewall's Point has adopted the South Florida Building Code with reference to all construction projects. This code varies with the Southern Standards Building Code adopted by other governing bodies.

This addendum is provided for illustration purposes only to serve as a guideline in an illustration of minimum standards set up by the Town of Sewall's Point. Reference to this addendum or approved plans by the Town of Sewall's Point Building Department does not relieve the Building Contractor or Owner-Builder from the responsibility of meeting all South Florida Building Code requirements. It is the sole responsibility of the builder to assure structural integrity and to meet all other rigid standards as outlined in Local Ordinance # 95

CONTRACTOR QUALIFICATIONS

The Building Contractor shall provide the Town Clerk with the following prior to obtaining a building permit for any construction.

- Photostatic copy of either Martin County or State of Florida Certification.
- Certificate of Insurance (minimum standards set by State) addressed to the Town of Sewall's Point from Contractor's insurance agent showing coverages for both General Liability and Workmans Compensation. The building contractor shall be held responsible for maintaining current certificates with the Town Clerk.

Owner-Builders shall meet the same insurance requirements as outlined above for their own protection. Owner-builders are cautioned that Chapter 468, Part II, Florida Statutes 468.114 (Exemptions) permits the owners of property to build a residence on such property for the occupancy of such owners and not offered for sale.

Monday through Saturday.



STATE OF FLORIDA DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

APPLICATION FOR SEPTIC TANK PERMIT AND FINAL INSPECTION FORM

Authority: Chapter 381, 386, 387, FS Chapter 10D-6, FAC

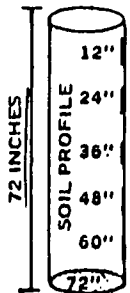
DATE Permit Number HD 80-306 Price Engineering Co. 1320 Palm Beach Road Stuart, Florida For: Name of Applicant ROBERT HERRICK Telephone No. 283-0604 Mailing Address of Applicant 14 PALM COURT, JENKEN BEACH To Be Installed At: (Give Street Address)* SOUTH RIVER ROAD Lot No. 45 Block No. Subdivision Rivista Plat Book 6 Page 95 Date Recorded Size of Lot: 100'± By 150'± No. Living Units 1 No. Bedrooms 3 No. People Type of Business No. Toilets No. Wash Basins No. Employees Total Square Feet in Building 2000'±

Signature of Applicant Ronald J. Price P.E. #17788

SITE INFORMATION

Distance to Sanitary Sewer N/A Distance to Stream, Lake, Canal N/A Distance to Public Water Supply N/A Distance to Private Well(s) 75' MIN. Rainfall Data: MARCH, 1980 Is Area Subject to Flooding? No Does Site have Good Natural Drainage? YES Which Way Does Lot Drain? FRONT Any Perimeter Ditches? NO Depth of Ditches Is there Standing Water in Ditches? Depth of Water in Ditches Distance to Nearest Residence (North East 75' South West) Are Buildings in this Area on: Septic Tanks X Sand Filters Other Any Known Drainfield Failures in this Area NO

SOIL PROFILE AND PERCOLATION DATA



WHITE SAND 72" NO WATER ENCOUNTERED

Water Table At 72" inches Wet season water table Hard Pan At Inches Clay At Inches 72" inches Muck At Inches Other At Inches Soil Classification: SANDY Percolation Rate: 1 in. / INCH Compacted Fill of 0

INSTALLATION SPECIFICATIONS

Septic Tank Capacity: 900 Drain Tile (Linear Ft.): Dosing Tank Capacity: Sand Filter Size: (Sq. Ft.) Grease Trap Capacity: Absorption Bed Size: (Sq. Ft.) 255 Perforated Pipe: (Linear Ft.) Lateral Drainfield Size: (Sq. Ft.) Other Specifications:

Compact Reg'd. Check By: Date

RECOMMENDATION: Approval [X] Disapproval

Permit VOID if well or septic system is installed in a location other than area permitted. PRIOR HEALTH DEPARTMENT APPROVAL REQUIRED

4-23-80 Date Processed THIS PERMIT EXPIRES ONE (1) YEAR FROM DATE OF ISSUANCE

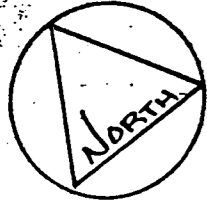
Signature of Sanitarian Robert W. ... County Health Department MARTIN

FINAL INSPECTION DATA

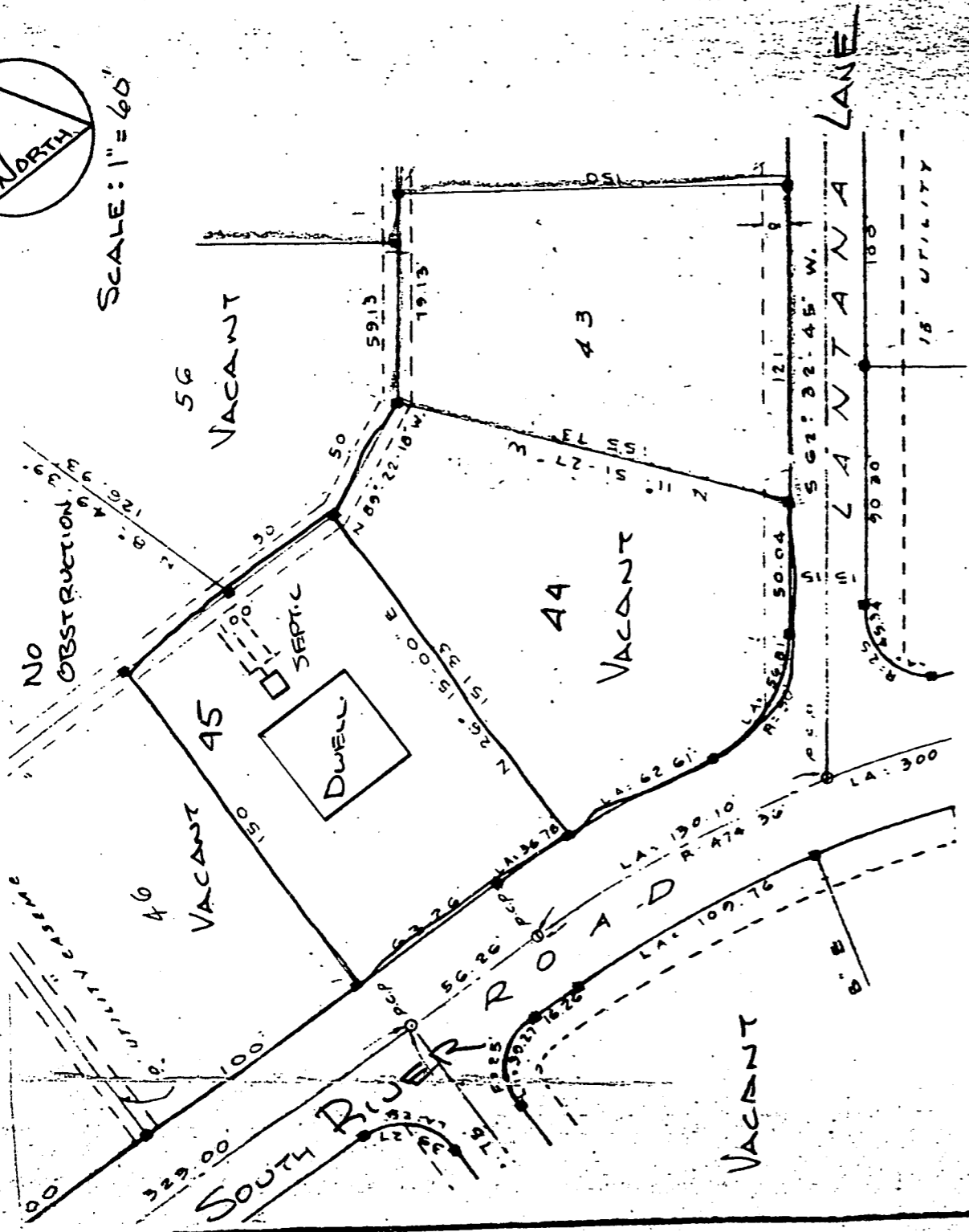
Date and Time of Inspection Type of Tank (Concrete, Fiberglass, Etc.) Size Tank Installed Drainfield Size No. Tile Feet Dosing Tank Size Grease Trap Size Sand Filter Size Who Made Installation

RECOMMENDATION: Approval Disapproval

Signature of Sanitarian



SCALE: 1" = 60'

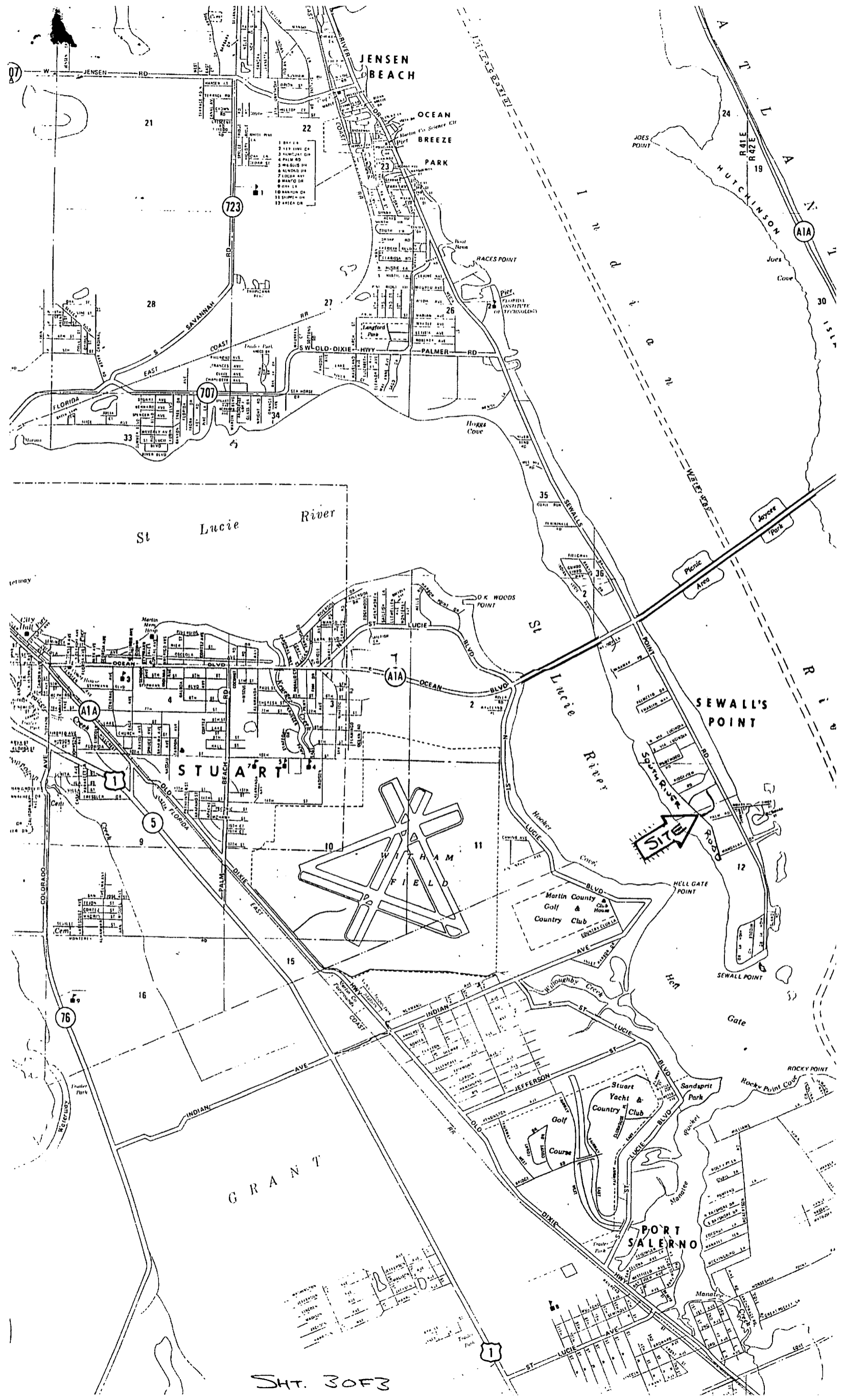


PREPARED BY:
 PRICE ENGINEERING CO.
 STUART, FLORIDA

PREPARED FOR:
 ROBERT HERRICK

--- PLOT PLAN ---

--- DESCRIPTION ---
 "RIO VISTA S/D"
 BEING KNOWN AS LOT 45 BLOCK 4
 AS RECORDED IN PLAT BOOK 4
 PAGE 95, PUBLIC RECORDS OF
 MARTIN COUNTY, FLA. 40745



JENSEN BEACH

OCEAN BREEZE

PARK

21

22

23

24

28

27

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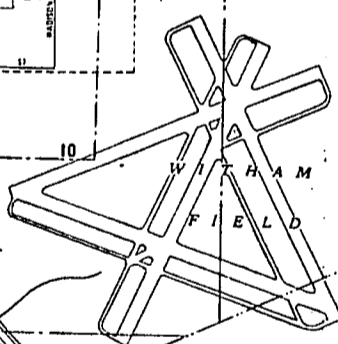
30

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St Lucie River

SEWALL'S POINT

STUART



Martin County Golf & Country Club

SITE

HELL GATE POINT

SEWALL POINT

Gate

ROCKY POINT

GRANT

PORT SALERNO

SHT. 30F3

FLORIDA MODEL ENERGY EFFICIENCY CODE

SECTION 9 POINTS METHOD

ENVELOPE ANALYSIS

FRAME CBS _____ LIVING AREA 2018 WALL AREA 1431 PERIMETER 230
ROOF R-VALUE 19 WALL R-VALUE 11
TOTAL GLASS AREA 320 TOTAL DOOR AREA 89
A/C SYSTEM EER- 7.3

HEATING SYSTEM

STRIP HT. PUMP _____ GAS _____ OIL _____ SOLAR _____
HOT WATER HEATER

ELECTRIC HT. REC. _____ GAS _____ OIL _____ SOLAR _____



FLORIDA MODEL ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

BOB GRAHAM
GOVERNOR

SECTION 9 POINTS METHOD

GOVERNOR'S ENERGY OFFICE
LEX HESTER, DIRECTOR

PREPARED BY: BRABHAM KUHNS DEBAY-CONSULTING ENGINEERS

PROJECT NAME AND NUMBER	LOT 45
	RIO-VISTA SUB-DIV
BUILDER OWNER	AVALON ROBERT HERRICK

STATISTICAL DATA					
ZONE:	FLOOR AREA	ROOF R-VALUE	HEATING SYSTEM TYPE		
8	2018 sqft.	R-19	STRIP: <input checked="" type="checkbox"/>	HT.PUMP: <input type="checkbox"/>	GAS: <input type="checkbox"/> OIL: <input type="checkbox"/> SOLAR: <input type="checkbox"/>
EPI	WALL AREA	WALL R-VALUE	HOT WATER SYSTEM TYPE		
91.57	1431 sqft.	R-11	ELECTRIC: <input checked="" type="checkbox"/>	HT. REC.: <input type="checkbox"/>	GAS: <input type="checkbox"/> OIL: <input type="checkbox"/> SOLAR: <input type="checkbox"/>
A/C SYSTEM	GLASS AREA	WALL CONSTRUCTION	NUMBER OF UNITS PER STRUCTURE		
EER-7.3	320 sqft.	CBS: <input type="checkbox"/> FRAME: <input checked="" type="checkbox"/>	SING.FAM: <input checked="" type="checkbox"/>	DUPLEX: <input type="checkbox"/>	TRIPLEX: <input type="checkbox"/> OVER 3: <input type="checkbox"/>

THIS DATA TO BE SENT TO THE GOVERNOR'S ENERGY OFFICE

TOTAL HOUSE POINTS	CERTIFIED BY	<i>John H. Heston</i>
EPI- 91.57	DATE	8-15-80
Fewer total points mean greater energy savings.		

checked by [signature]

SOLAR WATER HEATER CALCULATION	
NUMBER OF BEDROOMS IN HOUSE	
HOT WATER TANK CAPACITY	
TANK CAPACITY PER BEDROOM (= tank capacity ÷ number of bedrooms)	
DCR OF COLLECTOR (daily collection rate in Btu's at 122°F, from Mfr. data)	
DCR PER BEDROOM (= DCR ÷ number of bedrooms)	
HOT WATER POINTS (from table 9c)	
Attach copy of collector rating certificate. Collector must be mounted within 30° of south.	

HEAT RECOVERY UNIT CALCULATION	
NUMBER OF BEDROOMS IN HOUSE	
HOT WATER TANK CAPACITY	
TANK CAPACITY PER BEDROOM (= tank capacity ÷ number of bedrooms)	
HRU CERTIFIED RATING (In Btuh per ton)	
BACK-UP SYSTEM (electric or gas)	
HOT WATER POINTS (from table 9c)	
Attach copy of HRU's rating certificate indicating output in Btuh/ton when operating with proposed A/C system.	

FLORIDA MODEL ENERGY EFFICIENCY CODE

FOR BUILDING CONSTRUCTION

HOUSE POINTS CALCULATION

FORM 900-789

ZONES-789

WINTER		GROSS WINTER POINTS	SUMMER		GROSS SUMMER POINTS
COMPONENT	AREA * WPM =		COMPONENT	AREA * SPM =	

WALLS		GROSS WINTER POINTS		GROSS SUMMER POINTS	
FRAME & BRICK VENEER	RO-2.9	10.9		RO-2.9	24.8
	R3-3.9		6.2	R3-3.9	15.6
CONCRETE BLOCK	R4-5.9		5.0	R4-5.9	15.0
	R6.8UP		4.4	R6.8UP	13.9
FRAME & BRICK VENEER	RO-10.9		9.6	RO-10.9	30.5
	R11-18.9	1431	2.5	R11-18.9	13.9
	R19.8UP		1.5	R19.8UP	8.6
			3577		

DOORS		GROSS WINTER POINTS		GROSS SUMMER POINTS	
SOLID WOOD	INSULATED R5	89	86.5	89	55.4
	STORM DOOR		84.0		22.2
STORM DOOR R5	STORM DOOR		44.6	STORM DOOR	44.3
	STORM DOOR R5		42.1	STORM DOOR R5	17.8
			7698		

CEILING		GROSS WINTER POINTS		GROSS SUMMER POINTS	
SINGLE ASSEMBLY (NO ATTIC)	RO-10.9		23.8	RO-10.9	50.9
	R11-18.9		2.9	R11-18.9	13.3
UNDER ATTIC	R19-21.9	2018	1.9	R19-21.9	8.4
	R22-29.9		1.7	R22-29.9	7.6
SINGLE ASSEMBLY (NO ATTIC)	R30.8UP		1.5	R30.8UP	5.5
	RO-5.9		23.8	RO-5.9	50.9
UNDER ATTIC	R6-7.9		5.4	R6-7.9	22.6
	R8-9.9		4.0	R8-9.9	17.3
SINGLE ASSEMBLY (NO ATTIC)	R10-11.9		3.5	R10-11.9	14.6
	R12-18.9		2.5	R12-18.9	10.6
UNDER ATTIC	R19.8UP		1.9	R19.8UP	8.4
	RO-10.9		50.9	RO-10.9	50.9
SINGLE ASSEMBLY (NO ATTIC)	R11-18.9		13.3	R11-18.9	13.3
	R19-21.9	2018	1.9	R19-21.9	8.4
UNDER ATTIC	R22-29.9		1.7	R22-29.9	7.6
	R30.8UP		1.5	R30.8UP	5.5
SINGLE ASSEMBLY (NO ATTIC)	RO-5.9		23.8	RO-5.9	50.9
	R6-7.9		5.4	R6-7.9	22.6
UNDER ATTIC	R8-9.9		4.0	R8-9.9	17.3
	R10-11.9		3.5	R10-11.9	14.6
SINGLE ASSEMBLY (NO ATTIC)	R12-18.9		2.5	R12-18.9	10.6
	R19.8UP		1.9	R19.8UP	8.4
			3834		

FLOOR		GROSS WINTER POINTS		GROSS SUMMER POINTS	
OVER UNCOND. SPACE	CONCRETE	RO-6.9	10.9	RO-6.9	66.5
	3/4" WOOD	R7-10.9	3.5	R7-10.9	8.4
CONCRETE	R11-18.9		2.6	R11-18.9	5.5
	R19.8UP		1.6	R19.8UP	3.3
OVER UNCOND. SPACE	CONCRETE	RO-2.9	12.9	RO-2.9	70.9
	3/4" WOOD	R3-5.9	6.3	R3-5.9	17.8
CONCRETE	R6-10.9		4.2	R6-10.9	9.5
	R11-18.9		2.7	R11-18.9	5.8
OVER UNCOND. SPACE	CONCRETE	R19.8UP	1.7	R19.8UP	3.3
	3/4" WOOD	RO-10.9	50.9	RO-10.9	50.9
CONCRETE	R11-18.9		13.3	R11-18.9	13.3
	R19-21.9	2018	1.9	R19-21.9	8.4
OVER UNCOND. SPACE	CONCRETE	R22-29.9	1.7	R22-29.9	7.6
	3/4" WOOD	R30.8UP	1.5	R30.8UP	5.5
CONCRETE	RO-5.9		23.8	RO-5.9	50.9
	R6-10.9		5.4	R6-10.9	22.6
OVER UNCOND. SPACE	CONCRETE	R8-9.9	4.0	R8-9.9	17.3
	3/4" WOOD	R10-11.9	3.5	R10-11.9	14.6
CONCRETE	R12-18.9		2.5	R12-18.9	10.6
	R19.8UP		1.9	R19.8UP	8.4
			15169		

15169

41771

SLAB ON GRADE PERIMETER	EDGE INSULATION	PERIMETER	WPM	GWP	
	R0 - 2.9	230	28.3	6509	
	R3 - 5.9		20.4		
	R6 & UP		12.4		

GLASS 10'	OR.	AREA	SINGLE	DOUBLE	WOF	GWP	GLASS 10'	OR.	AREA	SINGLE	DOUBLE	SOF	GSP		
			CLR.	TIN.	CLR.	TIN.					CLR.	TIN.			
	N		55.4	38.5				N		206	176	163	139		
	NE	16	55.4	38.5	.99	877		NE	16	309	264	258	218	.98	7843
	E		55.4	38.5				E		425	360	362	304		
	SE	40	55.4	38.5	.77	1706		SE	40	418	354	355	298	.93	15549
	S		55.4	38.5				S		346	294	287	242		
	SW	90	55.4	38.5	.99	4936		SW	90	418	354	355	298	.93	34986
	W		55.4	38.5				W		425	360	362	304		
	NW	66	55.4	38.5	1.00	3656		NW	66	309	264	258	218	.98	19986
	H		22.6	6.8				H		720	605	627	524		
	NE	108	55.4		1.00	5983		NE	108	309				.78	26030

H = HORIZONTAL GLASS (SKYLIGHTS) FOR TINTED GLASS SC=0.83 SEE SEC 902.2(d)

TOTAL GROSS WINTER POINTS	38776	TOTAL GROSS SUMMER POINTS	143167
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DUCT INSULATION MULTIPLIER	1" FIBERGLASS	38776	1.15	44684	DUCT INSULATION MULTIPLIER	1" FIBERGLASS	143167	1.15	163904
	1.5" FIBERGLASS		1.12			1.5" FIBERGLASS		1.12	
	DUCT IN COND. SP.		1.00			DUCT IN COND. SP.		1.00	

HSM from table 9A	44684 x 1.00	44684	CSM from table 9B	163904 x .93	153131
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FLOOR AREA (DIVIDE)	44684 ÷ 2018	20.65	FLOOR AREA (DIVIDE)	153131 ÷ 2018	70.92
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WINTER POINTS (WP)	20.65	SUMMER POINTS (SP)	70.92
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CREDIT POINTS from table 9D	CEILING FANS	MULTIZONE A/C	VENTILATION	OTHER	TOTAL CP
			3		3
NOT MORE THAN 10 TOTAL CREDIT POINTS					

PENALTY POINTS from table 9E	W&D IN COND. SPACE	INOPERABLE WINDOWS	OTHER	TOTAL PP
	3			3

FORM 900-789	TOTALS					ZONES-789
WINTER POINTS	SUMMER POINTS	HOT WATER POINTS	CREDIT POINTS	PENALTY POINTS		
20.65	70.92	-	3	3	= 91.57 EPI	
FEWER TOTAL POINTS ARE ENCOURAGED FOR MAXIMUM ENERGY SAVINGS						NOT TO EXCEED 100

9F	WINTER OVERHANG FACTORS (WOF)							
FEET	N	NE	E	SE	S	SW	W	NW
0-99	1.00	0.99	0.85	0.75	0.83	0.98	1.00	1.00
1-1.99	1.00	0.99	0.85	0.75	0.84	0.98	1.00	1.00
2-2.99	1.00	0.99	0.86	0.77	0.86	0.99	1.00	1.00
3-3.99	1.00	0.99	0.87	0.80	0.87	0.99	1.00	1.00
4-4.99	1.00	0.99	0.89	0.83	0.90	0.99	1.00	1.00
5-5.99	1.00	0.99	0.91	0.86	0.92	1.00	1.00	1.00
6-6.99	1.00	0.99	0.92	0.90	0.94	1.00	1.00	1.00
7-7.99	1.00	1.00	0.94	0.92	0.96	1.00	1.00	1.00
8-8.99	1.00	1.00	0.96	0.95	0.97	1.00	1.00	1.00
9-9.99	1.00	1.00	0.97	0.97	0.98	1.00	1.00	1.00
10-10.99	1.00	1.00	0.98	0.98	0.99	1.00	1.00	1.00
11&UP	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00

9F	SUMMER OVERHANG FACTORS (SOF)							
FEET	N	NE	E	SE	S	SW	W	NW
0-99	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
1-1.99	1.00	1.00	0.99	0.99	0.99	0.99	0.99	1.00
2-2.99	1.00	0.98	0.95	0.93	0.92	0.93	0.95	0.98
3-3.99	1.00	0.99	0.89	0.87	0.86	0.87	0.89	0.95
4-4.99	1.00	0.91	0.84	0.81	0.80	0.81	0.84	0.91
5-5.99	0.99	0.88	0.80	0.76	0.76	0.76	0.80	0.88
6-6.99	0.99	0.85	0.76	0.72	0.72	0.72	0.78	0.85
7-7.99	0.99	0.83	0.72	0.68	0.70	0.68	0.72	0.83
8-8.99	0.98	0.81	0.69	0.66	0.68	0.66	0.69	0.81
9-9.99	0.98	0.79	0.67	0.64	0.66	0.64	0.67	0.79
10-10.99	0.98	0.78	0.65	0.62	0.65	0.62	0.65	0.78
11-11.99	0.97	0.78	0.63	0.61	0.65	0.61	0.63	0.76
12&UP	0.97	0.78	0.62	0.59	0.64	0.59	0.62	0.76

9A	HEATING SYSTEM MULTIPLIER (HSM)								
HEAT PUMP	COP	2.0-2.19	2.2-2.39	2.4-2.59	2.6-2.79	2.8-2.99	3.0-3.19	3.2-3.39	3.4 & UP
	HSM	0.50	0.45	0.42	0.38	0.36	0.33	0.31	0.29
SOLAR HEAT		(1-% CAPACITY) X (BACKUP SYSTEM HSM)							
GAS HEAT		0.50							
OIL HEAT		0.70							
ELECTRIC STRIP HEAT		1.00							

9B	COOLING SYSTEM MULTIPLIER (CSM)												
ELECTRIC	EER	6.0-6.49	6.5-6.99	7.0-7.49	7.5-7.99	8.0-8.49	8.5-8.99	9.0-9.49	9.5-9.99	10.0-10.49	10.5-10.99	11.0-11.99	12.0 & UP
	CSM	1.08	1.00	0.93	0.87	0.81	0.76	0.72	0.68	0.65	0.62	0.59	0.54
GAS	COP	0.40-0.44	0.45-0.49	0.50-0.54	0.55-0.59	0.60-0.65	0.65-0.69	0.70 & UP					
	CSM	1.50	1.25	1.20	1.09	1.00	0.92	0.89					

Note: EER = cooling mode COP x 3.413 = ARI rated cooling output in Btu/h ÷ total watts consumed

9C	HOT WATER CREDIT POINTS (HWP)	
ELECTRIC	0.0	
GAS	13.1	
SOLAR	MINIMUM CERTIFIED DCR OF 6000 BTU PER BEDROOM AND 15 GALLONS STORAGE PER BEDROOM	
	MINIMUM CERTIFIED DCR OF 9000 BTU PER BEDROOM AND 20 GALLONS STORAGE PER BEDROOM	
	MINIMUM CERTIFIED DCR OF 12,000 BTU PER BEDROOM AND 27 GALLONS STORAGE PER BEDROOM	
A/C HEAT RECOVERY UNIT	MINIMUM CERTIFIED RATING OF 1500 BTUH/TON	
	MINIMUM CERTIFIED RATING OF 2500 BTUH/TON	
Minimum hot water storage tank with HRU- 40 gallons		

Note: Daily collection rate (DCR) is measured at 122°F using FSEC Standard Florida Solar Day

9D	SPECIAL DESIGN CREDIT POINTS (CP)	
CEILING FANS IN CONDITIONED SPACE - 5 POINTS MAX.	1 PER FAN	
MULTIZONING A/C (Zones must be separated by operable door.) - 5 POINTS MAX PER RESIDENCE	5	
WINDOWS ON TWO OR MORE SIDES OF A ROOM (Excluding inoperable or corner windows and bathrooms.) - 5 POINTS MAX.	1 PER ROOM	

9E	SPECIAL DESIGN PENALTY POINTS (PP)	
WASHER & DRYER IN CONDITIONED SPACE.	3	
MAXIMUM OPENING OF GLASS LESS THAN 50% OF TOTAL GLASS AREA	5	

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 1/21/81

This is to request that a Certificate of Approval for Occupancy be issued to P. Heredia
For property built under Permit No. 1195 Dated 5/27/80 when completed in
conformance with the Approved Plans.

[Signature]
Signed

RECORD OF INSPECTIONS

Item	Date	Approved by
Set-backs and footings	<u>4/1/80</u>	
Rough plumbing	<u>9/14/80 & 10/27/80</u>	
Slab	<u>9/18/80</u>	
Perimeter beam		
Close-in, roof and rough electric	<u>10/27/80</u>	
Final Plumbing	<u>1/2/81</u>	
Final Electric	<u>1/21/81</u>	
Final Inspection for Issuance of Certificate for Occupancy.		
Approved by Building Inspector	<u>[Signature]</u>	date <u>1/21/81</u>
Approved by Building Commissioner	<u>[Signature]</u>	date <u>1/21/81</u>
Utilities notified	<u>1/2/81</u>	date
Original Copy sent to _____		

(Keep carbon copy for Town files)

1736

POOL

&

PATIO

Permit No. 1736

Date 8/21/84

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner WILLIAM SEAMAN Present Address 104 So RIVER RD

Phone 287-7516

Contractor ALLEN POOLS Address 20500 So US-1

Phone 335-5300 P.S.L.

Where licensed MARTIN COUNTY License number RP 0041585

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: SUMMER POOL + PATIO

State the street address at which the proposed structure will be built:

104 So RIVER RD.

Subdivision RIO VISTA Lot number 45 Block number _____

Contract price \$ 1000.00 Cost of permit \$ 50

Plans approved as submitted Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

Date submitted 8/21/84 Approved: [Signature] 8/22/84
Building Inspector Date

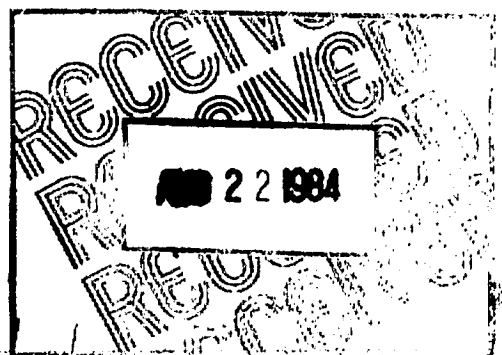
Approved: [Signature] 8/23/84 Final Approval given: _____
Commissioner Date Date

Certificate of Occupancy issued (if applicable) _____
Date

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.



1741

SCREEN

ENCLOSURE

OK 9/25/84

174/

TOWN OF SEWALL'S POINT FLORIDA

Permit No. _____

Date 9/13/84

APPLICATION FOR A PERMIT TO BUILD A HOUSE OR COMMERCIAL BUILDING

This application must be accompanied by three sets of complete plans, to scale, (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections; plumbing, electrical and air-conditioning layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house or commercial building construction.

Owner Mr & Mrs William Seaman Present address 104 S River Rd

Phone 287-7516 SEWALLS POINT

General contractor HORIZON BUILDERS Address 236 Buck Henry Way

Phone 692-2248 STUART, FL 33494

Where licensed MARTIN License No. 00342

Plumbing contractor _____ License No. _____

Electrical contractor _____ License No. _____

Air-conditioning contractor _____ License No. _____

ROOFING CONTRACTOR LICENSE NO. _____

Describe the building, or alteration to existing building _____

MANARD POOL ENCLOSURE

Name the street on which the building, its front building line and its front yard will face S. RIVER RD

Subdivision PIO VISTA Lot No. 45 Area _____

Building area, inside walls SQUARE FEET 1470
(including garage, carport, porches, etc.)...square feet _____

Contract price (excluding land, carpeting, appliances, landscaping, etc.) \$ 3100.00

Cost of permit \$ 15.50/100 Plans approved as submitted _____ or, as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the building for which this permit is issued must be completed within that time and in accordance with the approved plans. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. I agree that the building site will be clean and rough-graded before a Certificate of Occupancy is sought, and, moreover, that I shall be responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply with the above requirements may result in a Building Inspector or a Town Commissioner "Red-tagging" the building project. All debris must be contained in a dumpster.

Contractor Bill J...

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with the neighborhood, as required by the Town's zoning ordinance.

Owner William Seaman

Note: Special provisions will be required to sign both of the above statements.

TOWN RECORD

Date submitted 9/14/84

Approved by Building Inspector (date) 9/14/84

Inspector's initials PH

Approved by Commissioner (date) 9/14/84

Commissioner's initials JS

Certificate of Occupancy issued (date) 9/25/84

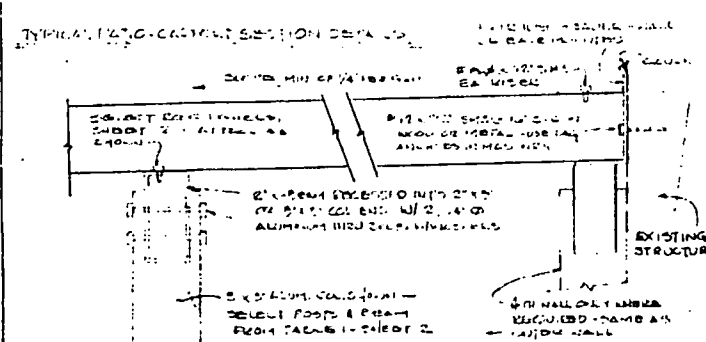
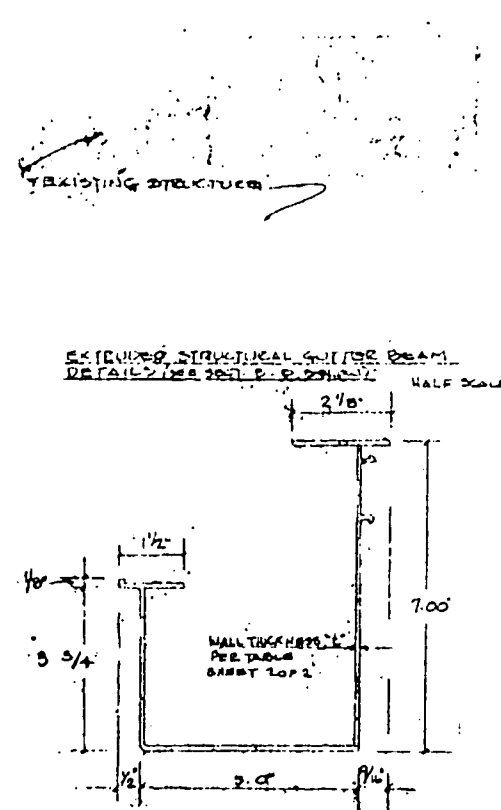
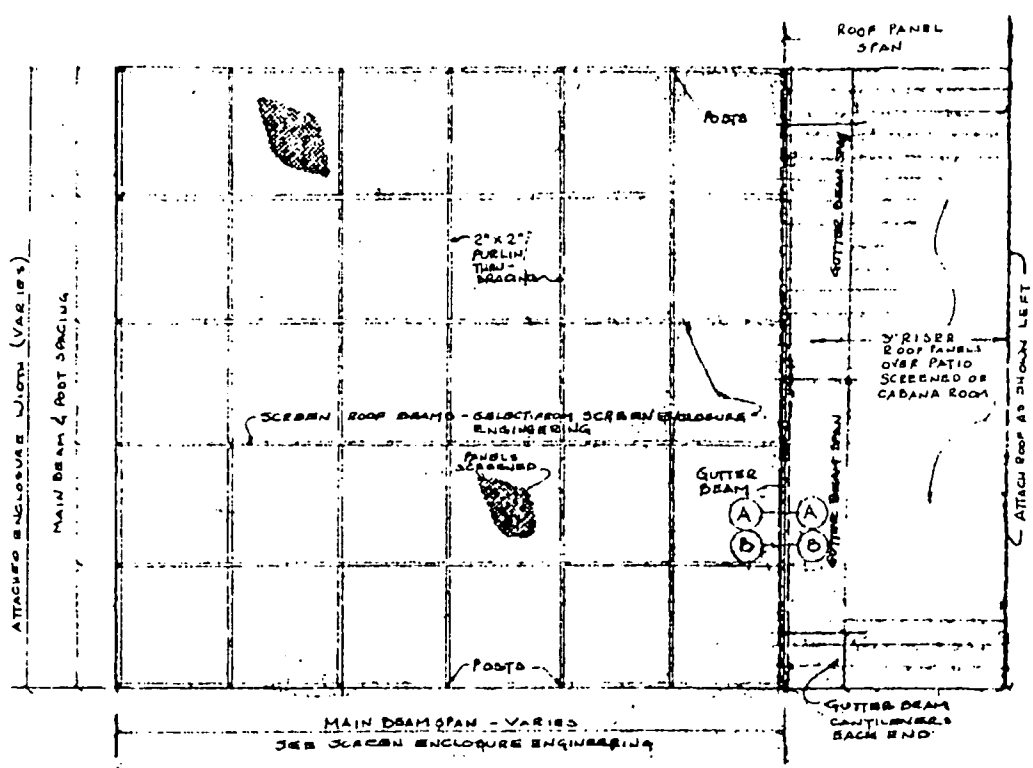
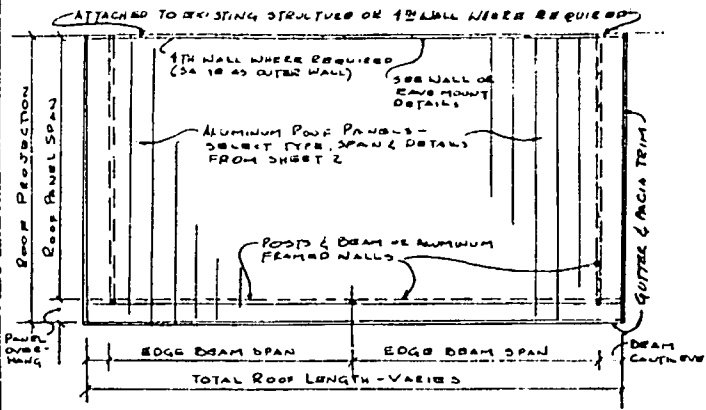
Approved of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

SP/1-79

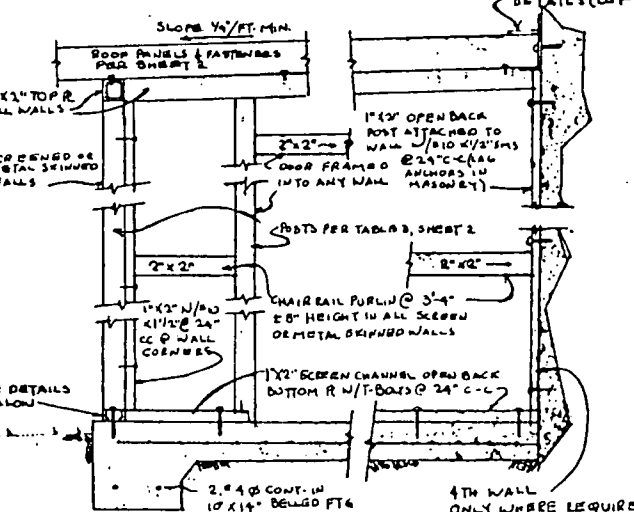
SEE ATTACHED SHEET 174/

PLAN VIEW: ATTACHED CARPORT, PATIO, OR CABANA ROOM (SCREENED OR UNSCREENED)

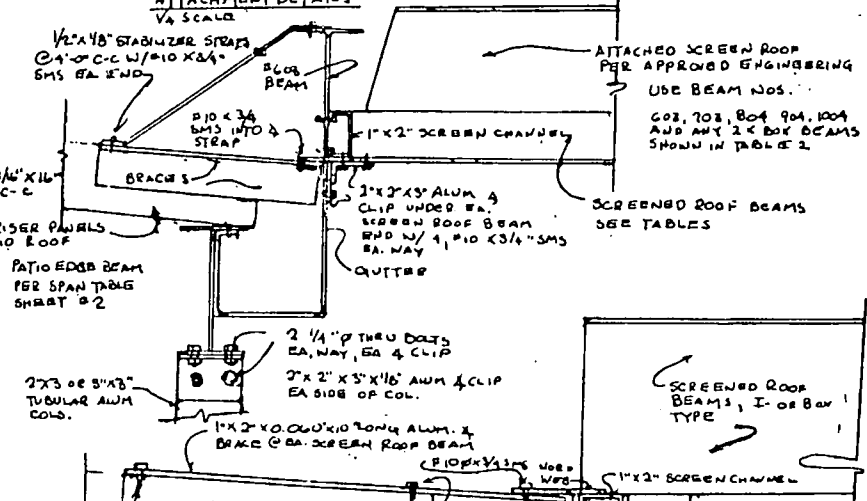
SCREENED POOL ENCLOSURE ATTACHED TO PATIO OR CABANA ROOM



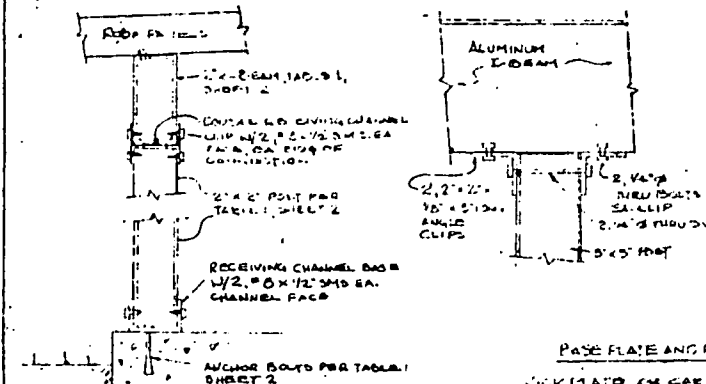
TYPICAL CABANA ROOM SECTION DETAILS



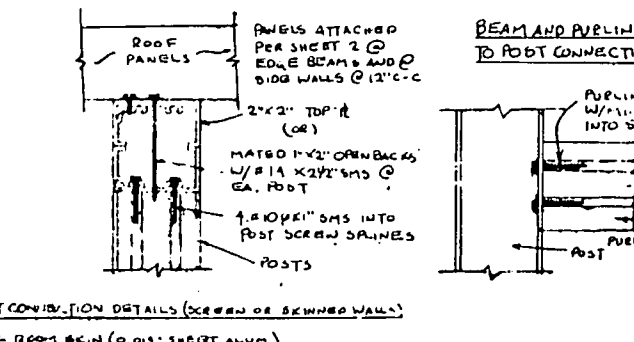
SECTION A-A: STACKED GUTTER AND BEAM ATTACHMENT DETAILS (1/4\"/>



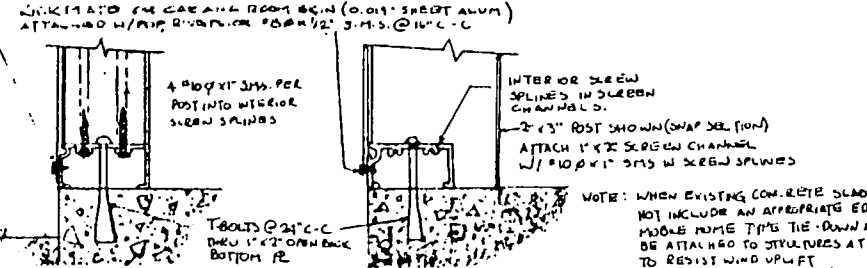
ALTERNATE ROOF AND BEAM CONNECTION DETAILS



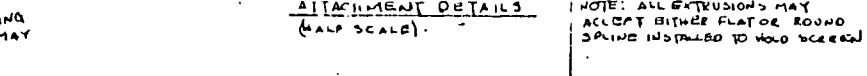
BEAM AND PURLIN TO FOOT CONNECTION DETAILS



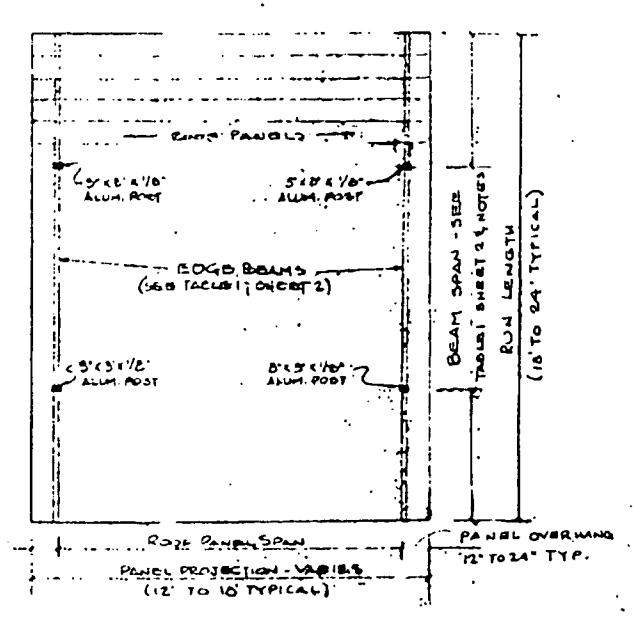
POST PLATE AND FOOT CONNECTION DETAILS (SCREENED OR SKINNED WALLS)



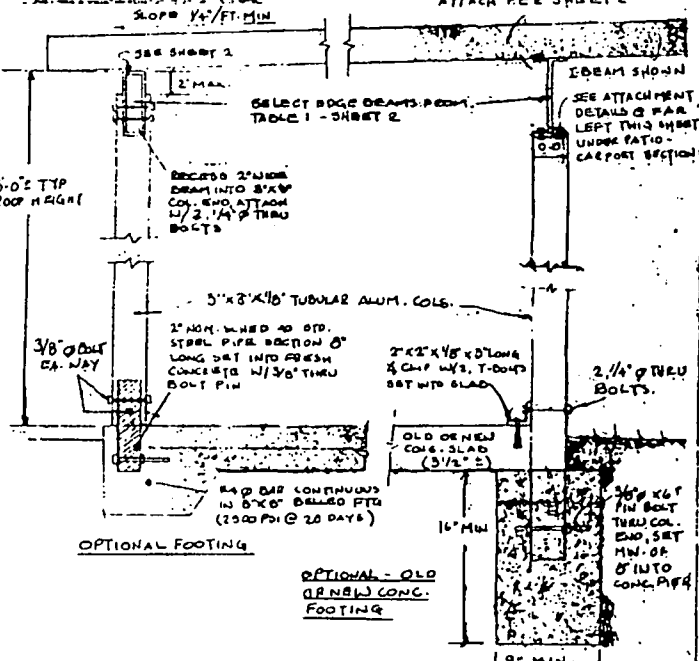
SECTION B-B: STRUCTURAL GUTTER BEAM ATTACHMENT DETAILS (1/2\"/>



CLASS. VIEW: - 1\"/>



TYPICAL SECTION DETAILS ROOF 1/4\"/>

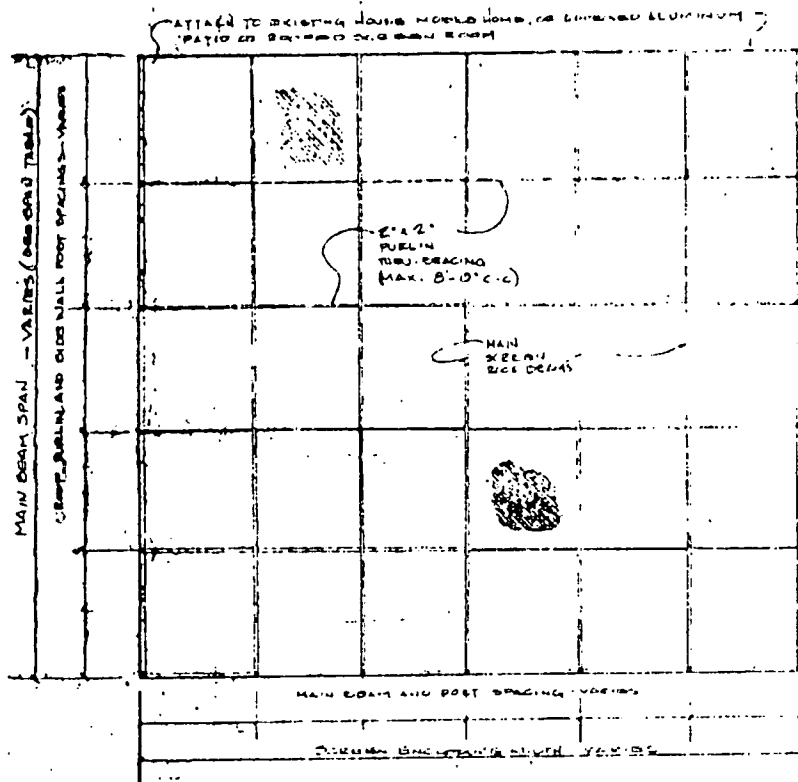


SHEET METAL SCREW PATENT MARK ARE DESIGNATED TO ALLOWANCE WITH ALUMINUM ASSOCIATION HAND BOOK... STRUCTURES DETAILD AND SPECIFIED IN TUBES SHALL BE CONFORMING IN ACCORDANCE WITH "STANDARD BUILDING CODE (1975) FOR LOAD CONDITIONS AS FOLLOWS"

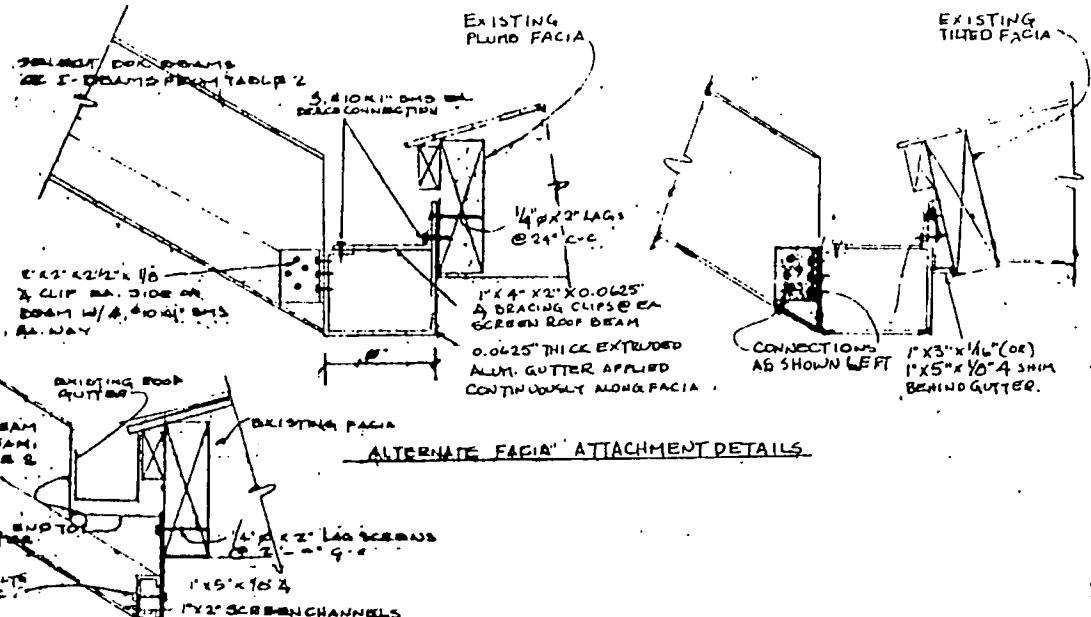
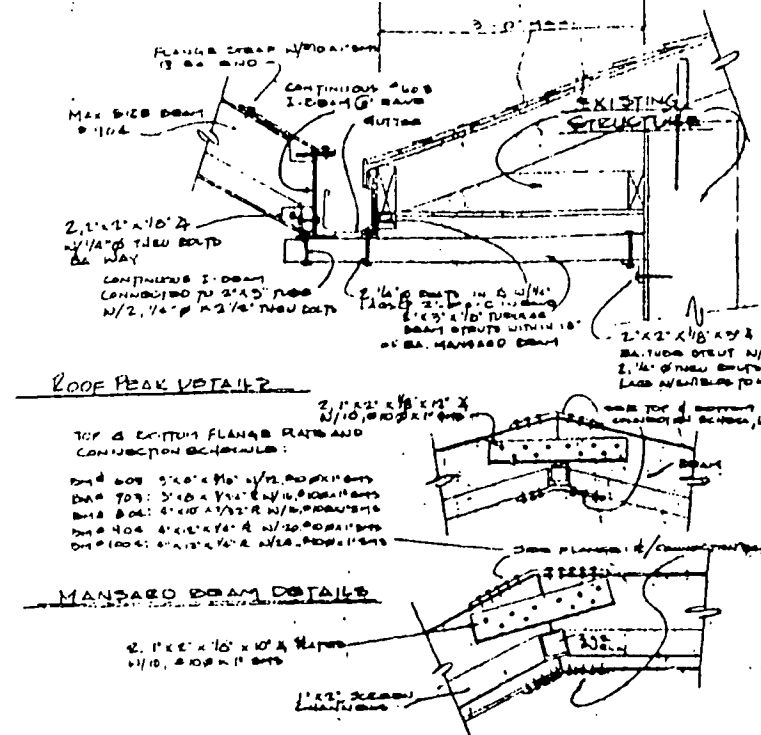
WHERE LIVE LOADS ARE APPLICABLE TO BE LIVE LOADS + DEADLOADS (A = 1/80 MAX.) ALL WIND LOADS: 120 MPH WIND VELOCITY PRESSURES ADHERE TO LOCAL ORDINANCES WHICH IMPOSE FURTHER LIMITATIONS ON PROJECTIONS, SPANS, AND LOAD CONDITIONS ALSO DESIGNATED TO CONFORM TO PALM BEACH COUNTY CODE, 120 MPH WIND, 30 PSF LL AND 24 PSF LL BASIC FACTOR WITH APPROPRIATE FACTORS APPLIED, ALSO CONFORMS TO THE SOUTH FLORIDA BUILDING CODE. *Charles R. Elder* REGISTERED PROFESSIONAL ENGINEER 2-17-83

MASTER MANS - ALUMINUM PATIOS CARPORTS, SCREEN ROOMS, CABANAS (120 MPH WIND REGIONS) PLAN SECTION AND DETAIL VIEWS APPROVED AS NOTED DATE 2-28-83 SOIL TO BE TERMITE TREATED FOR. HORIZON BUILDERS 4 BILL NAGEL 2905 SOUTH WEST PEROW AVE. PALM CITY, FLORIDA 33490

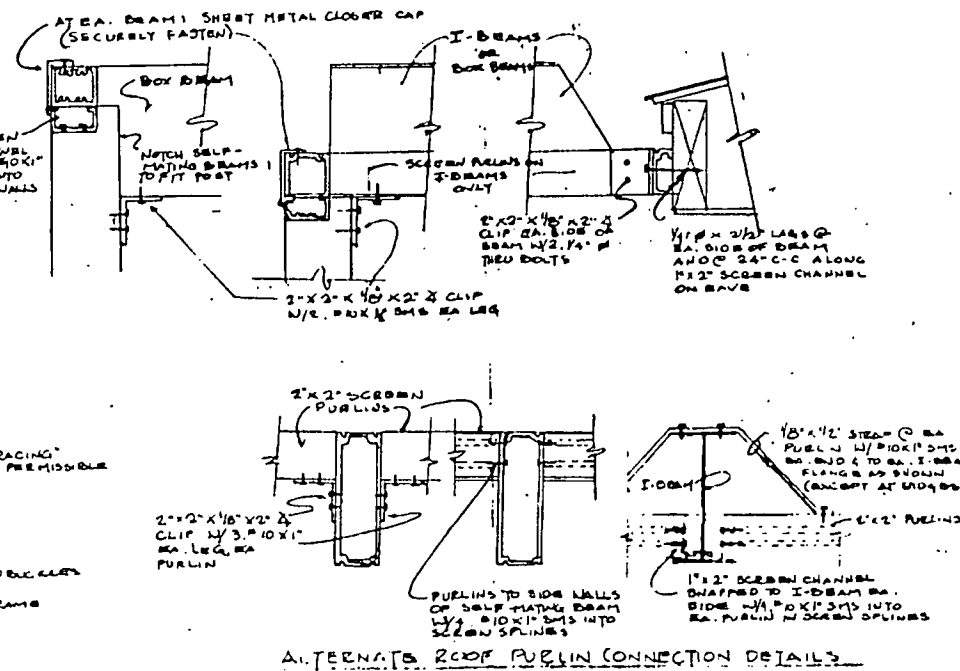
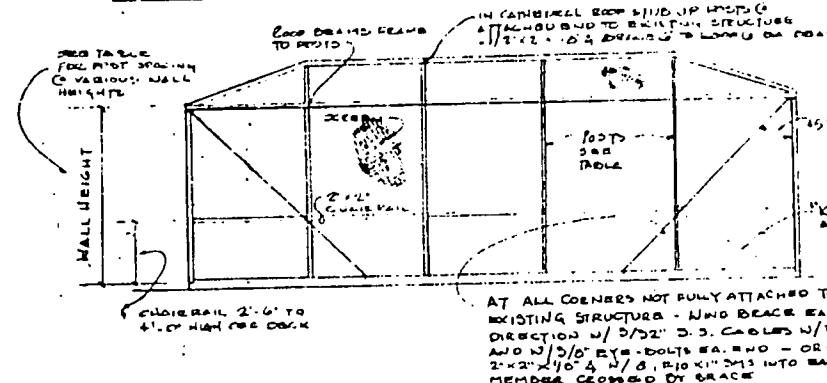
TYPICAL PLAN VIEW



MANSARD SCREEN ROOF ATTACHMENT DETAILS



TYPICAL POOL ENCLOSURE ELEVATION

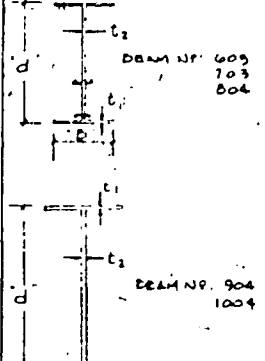


BEAM SECTIONS

ALUM. ALLOY 6063-T5

SECTION PROPERTIES	d	t ₁	t ₂	S _x
(IN.)	(IN.)	(IN.)	(IN.)	(IN. ²)
603	6.00	0.119	0.045	1.08
703	6.00	0.101	0.038	1.84
904	7.00	0.119	0.035	3.49
1004	7.00	0.120	0.034	6.21

I-BEAM SECTIONS



SECTION PROPERTIES

BEAM NO.	d	t ₁	t ₂	S _x	S _y
(IN.)	(IN.)	(IN.)	(IN.)	(IN. ²)	(IN. ²)
603	6.01	0.100	0.042	2.09	1.08
703	7.00	0.100	0.035	3.49	1.84
904	9.00	0.125	0.078	4.41	3.49
1004	10.00	0.140	0.091	6.10	6.21

SPECIFICATIONS

- CONCRETE: F_c' 2000 PSI
 - SHEET METAL SCREENING (0.015) ALUMINUM PLATED OR STAINLESS
 - BOLTS: ALUM. ALLOY 2024 T4 (0.2) STAINLESS OR GALVANIZED STEEL
 - MAJOR BEAMS: ALUM. ALLOY 6063-T5
 - POSTS, PURLINS, CHANNELS AND ANGLERS: ALUM. ALLOY 6063-T5
- NOTE: ALL ENTUBATIONS MAY ACCEPT EITHER FLAT OR ROUND SPUNNE INSULATED TO HOLD SCREEN INTO ENTUBATION FLUID GROUP.

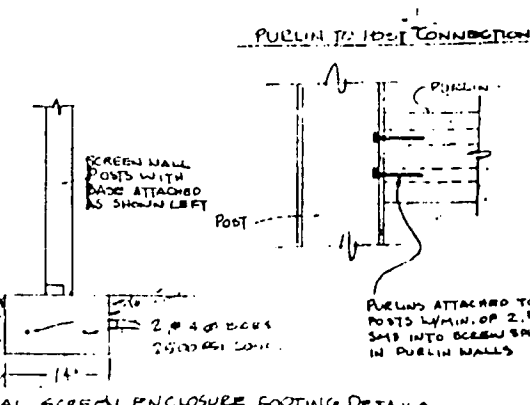
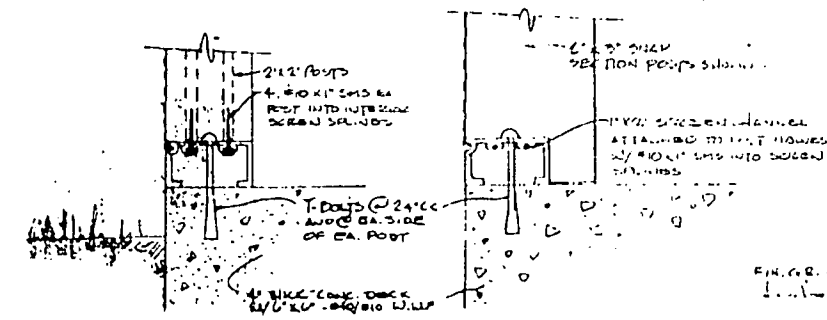
TABLE 1 - FOOT LENGTHS AND SPACING IN SCREENED WALLS

NOMINAL WALL HEIGHT	FOOT SIZES AND SPACING BY SCREENED WALL HEIGHT						
	2' x 2" X 0.040" C-C	2' x 2" X 0.040" C-C	2' x 2" X 0.050" C-C	2' x 2" X 0.060" C-C	2' x 2" X 0.060" C-C	2' x 2" X 0.060" C-C	2' x 2" X 0.060" C-C
7'-0"	5'-0"	6'-0"	6'-6"	7'-0"	8'-0"	8'-2"	-
8'-0"	4'-0"	4'-6"	4'-8"	5'-0"	6'-0"	6'-2"	17'-0"
9'-0"	-	-	-	4'-9"	6'-0"	4'-0"	18'-6"
10'-0"	-	-	-	-	-	3'-11"	11'-0"
11'-0"	-	-	-	-	-	-	9'-0"
12'-0"	-	-	-	-	-	-	7'-8"

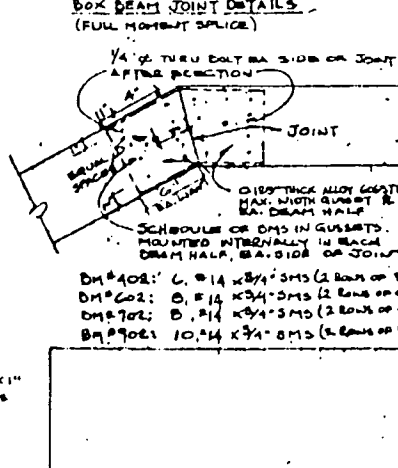
TABLE 2 - SPAN TABLE FOR SCREENED ROOF BEAMS

BEAM SIZE	MAXIMUM CLEAR SPANS FOR SCREENED ROOF BEAMS AT VARIOUS BEAM SPACINGS							
	4'-0" C-C	6'-0" C-C	8'-0" C-C	10'-0" C-C	12'-0" C-C	14'-0" C-C	16'-0" C-C	18'-0" C-C
2' x 2" S.M. BEAM	20'-0"	22'-6"	24'-6"	26'-0"	27'-0"	28'-0"	29'-0"	30'-0"
2' x 2" S.M. BEAM	22'-10"	25'-6"	28'-3"	30'-0"	31'-0"	32'-0"	33'-0"	34'-0"
2' x 2" S.M. BEAM	24'-0"	27'-0"	29'-10"	32'-10"	34'-0"	35'-0"	36'-0"	37'-0"
I-BEAM #603	34'-9"	38'-4"	41'-0"	43'-0"	44'-0"	45'-0"	46'-0"	47'-0"
I-BEAM #703	41'-6"	45'-0"	47'-6"	49'-0"	50'-0"	51'-0"	52'-0"	53'-0"
I-BEAM #904	50'-0"	54'-0"	56'-6"	58'-0"	59'-0"	60'-0"	61'-0"	62'-0"
I-BEAM #1004	58'-0"	62'-0"	64'-6"	66'-0"	67'-0"	68'-0"	69'-0"	70'-0"
2' x 2" S.M. BEAM	59'-0"	63'-0"	65'-6"	67'-0"	68'-0"	69'-0"	70'-0"	71'-0"

TYPICAL BASE PLATE AND FOOT CONNECTION DETAILS



MANSARD OR A-FRAME PEAK BOX BEAM JOINT DETAILS



APPROVED AS NOTED
DATE 2-20-83
SOIL TO BE TERMITE TREATED

MASTER PLANS-ALUMINUM SCREEN ENCLOSURES 120 MPH WIND REGIONS	PLAN SECTION AND DETAIL VIEWS AND TECHNICAL DATA	SHEET NO. 1 OF 1 (CN 1858)
FOR		HORIZON BUILDERS 9/4 BILL NAGEL 2905 SOUTHWEST PERCE AVE PALM CITY, FLORIDA 32940

6897

SCREEN

ENCLOSURE

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 9/21/04

BUILDING PERMIT NO. 6897

Building to be erected for SEAMAN Type of Permit GREEN ENCLOSURE

Applied for by COASTAL ALUMINUM (Contractor) Building Fee _____

Subdivision RO VISTA Lot 45 Block _____ Radon Fee _____

Address 104 S. RIVER ROAD Impact Fee _____

Type of structure SFR A/C Fee N/C

Parcel Control Number:
1238410020000045020000

Electrical Fee HURRICANE DAMAGE

Plumbing Fee _____

Roofing Fee _____

Amount Paid Check # X Cash _____ Other Fees (_____) _____

Total Construction Cost \$ 7000.00 TOTAL Fees _____

Signed [Signature]

Applicant

Signed [Signature]

Town Building Official

PERMIT

- | | | |
|--|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input checked="" type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL _____ |

RECEIVED

Town of Sewall's Point

SEP 16 2004
BUILDING PERMIT APPLICATION

Owner or Titleholder Name: William Seaman Building Permit Number: _____
City: Stuart State: FL Zip: 34996
Legal Description of Property: Rio Vista S/D Lot 45 Parcel Number: 123841002000004502
Location of Job Site: 104 S. River Rd. Type of Work To Be Done: Alum. Screen Pool Enclosure

CONTRACTOR/Company Name: Coastal Aluminum Construction Phone Number: 772-468-0288
Street: 4205 Metzger Rd City: Ft. Pierce State: FL Zip: 34947
State Registration Number: _____ State Certification Number: _____ Martin County License Number: SP-01084

ARCHITECT: _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER: Filine Inc. Phone Number: 407-678-7500
Street: 1025 South Semoran Blvd. Suite 1093 City: Winter Park State: FL Zip: 32792

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: 1365
Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____
Type Sewage: _____ Septic Tank Permit Number From Health Depart. _____ Well Permit Number: _____

FLOOD HAZARD INFORMATION Flood Zone: _____ Minimum Base Flood Elevation (BFE): _____ NGVD
Proposed First Floor Habitable Floor Finished Elevation: _____ NGVD (Minimum 1 Foot Above BFE)

COST AND VALUES Estimated Cost of Construction or Improvements: \$ 7,000. Estimated Fair Market Value (FMV) Prior
To Improvements: _____ If Improvement, Is Cost Greater Than 50% Of Fair Market Value YES _____ NO

SUBCONTRACTOR INFORMATION N/A
Electrical: _____ State: _____ License Number: _____
Mechanical: _____ State: _____ License Number: _____
Plumbing: _____ State: _____ License Number: _____
Roofing: _____ State: _____ License Number: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNANCE, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION
Florida Building Code (Structural, Mechanical, Plumbing, Gas) _____ South Florida Building Code (Structural, Mechanical, Plumbing, Gas) _____
National Electrical Code _____ Florida Energy Code _____
Florida Accessibility Code _____

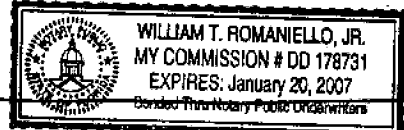
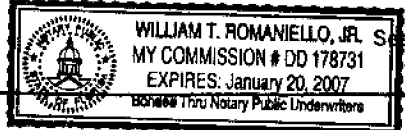
THEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (Required)
State of Florida, County of: Martin
This the 15 day of Sept. 2004
by [Signature] who is personally
known to me or produced
as identification.

CONTRACTOR SIGNATURE (Required)
On State of Florida, County of: Martin
This the 15 day of Sept 2004
by [Signature] who is personally
known to me or produced
As identification.

My Commission Expires: William T. Romaniello, Jr.
Notary Public

My Commission Expires: William T. Romaniello, Jr.
Notary Public



Seal

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2300.00

PERMIT # 6897

TAX FOLIO # 12-38-41-002-000-0045-02

NOTICE OF COMMENCEMENT

STATE OF FL

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

104 S. River Rd - Rio Vista S/D - Lot 45

GENERAL DESCRIPTION OF IMPROVEMENT: Rebuild Screen Pool Enclosure (Horsehoe Fencing)

OWNER: William Scaman

ADDRESS: 104 S. River Rd Stuart, FL 34996-6432

PHONE #: _____ FAX #: _____

CONTRACTOR: Coastal Aluminum

ADDRESS: 4205 McTeague Rd Ft. Pierce, FL 34947

PHONE #: 772-468-0288 FAX #: 772-468-0287

SURETY COMPANY (IF ANY) _____

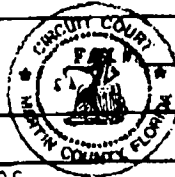
ADDRESS: STATE OF FLORIDA
MARTIN COUNTY

PHONE # _____
BOND AMOUNT: _____
LENDER: _____

THIS IS TO CERTIFY THAT THE FOREGOING _____ PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL

MARSHA EWING, CLERK

BY L. G. O'NEAL D.C.
DATE 10-12-04



INSTR # 1785019
OR BK 01946 PG 1478
RECORDED 10/12/2004 03:26:24 PM
MARSHA EWING
CLERK OF MARTIN COUNTY FLORIDA
RECORDED BY T. Gupus (Asst mgr)

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1XA)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1XB), FLORIDA STATUTES.
PHONE #: _____ FAX #: _____

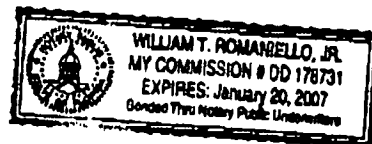
EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

William Scaman
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 6 DAY OF Oct

WITNESSED BY William Scaman
[Signature]
NOTARY SIGNATURE

OR PERSONALLY KNOWN
PRODUCED ID _____
TYPE OF ID _____

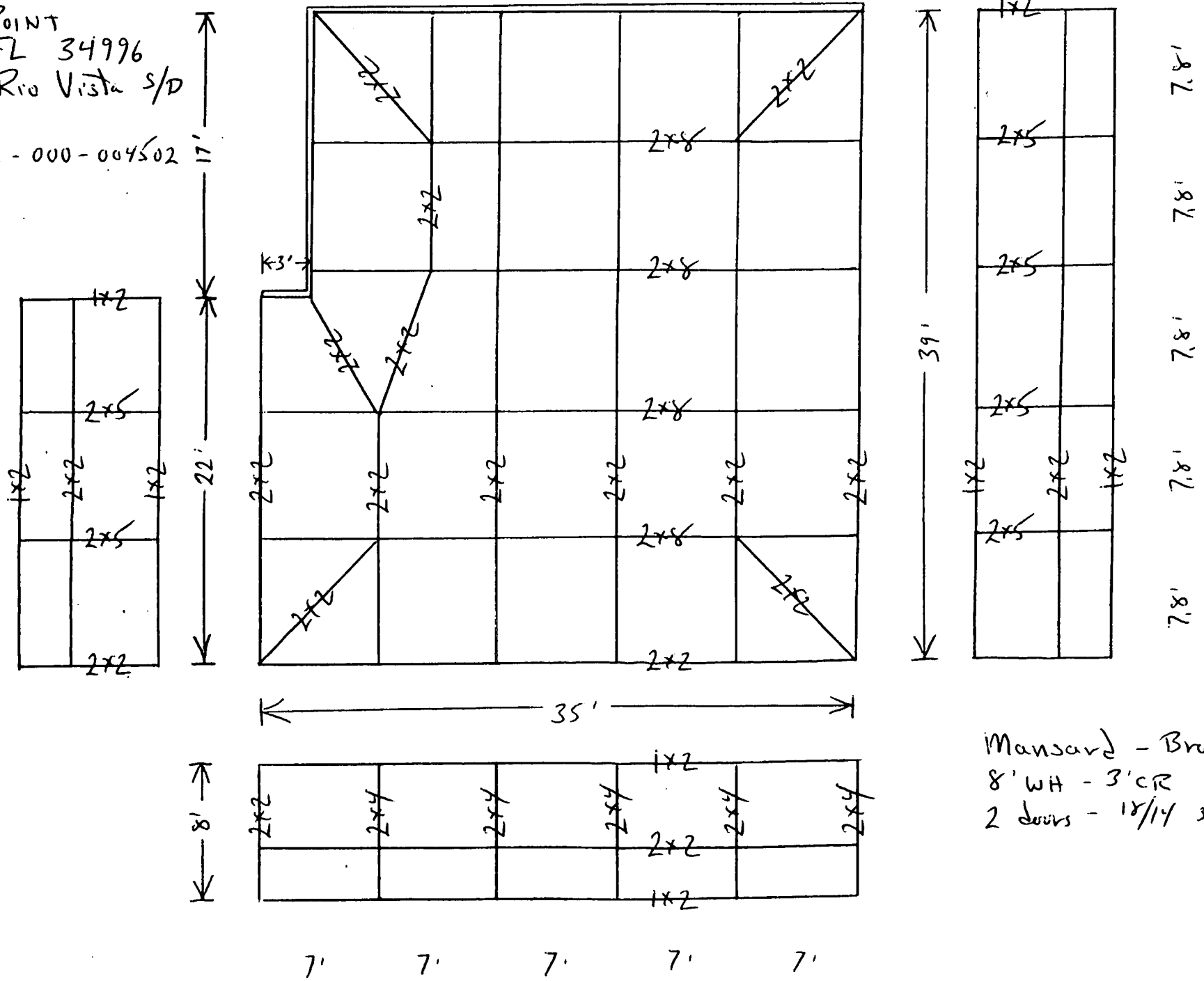


SEAMAN RESIDENCE
 104 S. River Rd.
 SEWALLS POINT
 Stuart, FL 34996
 Lot 45 Rio Vista S/D

12-38-41-002-000-004502

Residence

Coastal Aluminum Construction Inc.
 4205 Metzger Road
 Ft. Pierce, FL 34947



Mansard - Bronze
 8' WH - 3' CR
 2 doors - 18/14 screen

Parcel ID	Unit Address	Serial ID	Index Order	Commercial	Residential
123841002000004502104	S RIVER RD	27558	Owner	0	1

Summary

Property Location 104 S RIVER RD
Tax District 2200 Sewall's Point
Account # 27558
Land Use 101 0100 Single Family
Neighborhood 120400
Acres

Legal Description

Property Information
 RIO VISTA S/D LOT 45

Owner Information

Owner Information
 SEAMAN, WILLIAM A (CO-TR) &
 SEAMAN, LOIS I (CO-TR)

Mail Information

104 S RIVER ROAD
 STUART FL 34996-6432

Assessment Info

Front Ft. 0.00

Market Land Value \$168,000
Market Impr Value \$167,860
Market Total Value \$335,860

Recent Sale

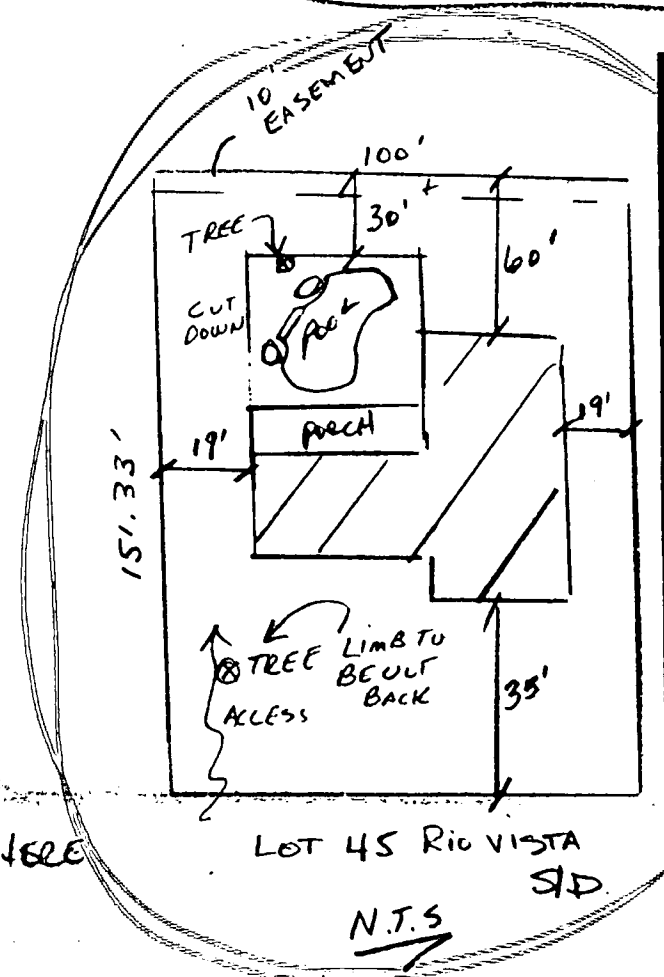
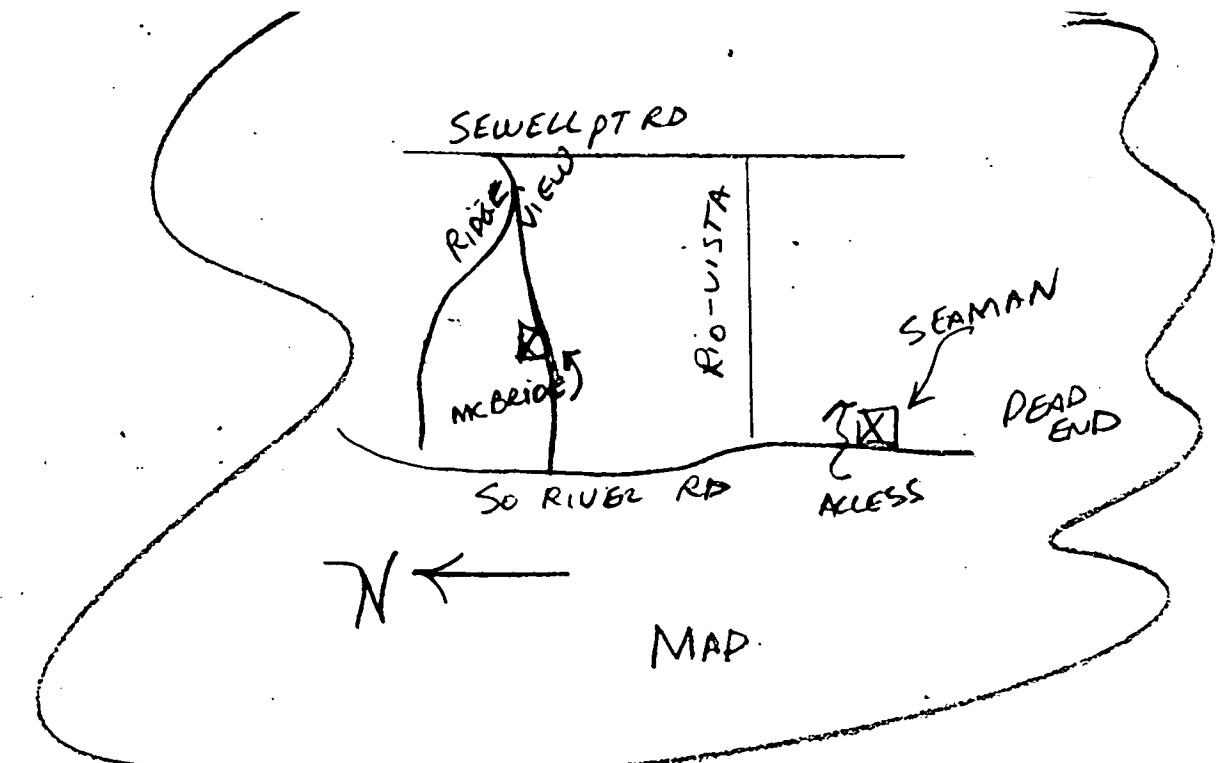
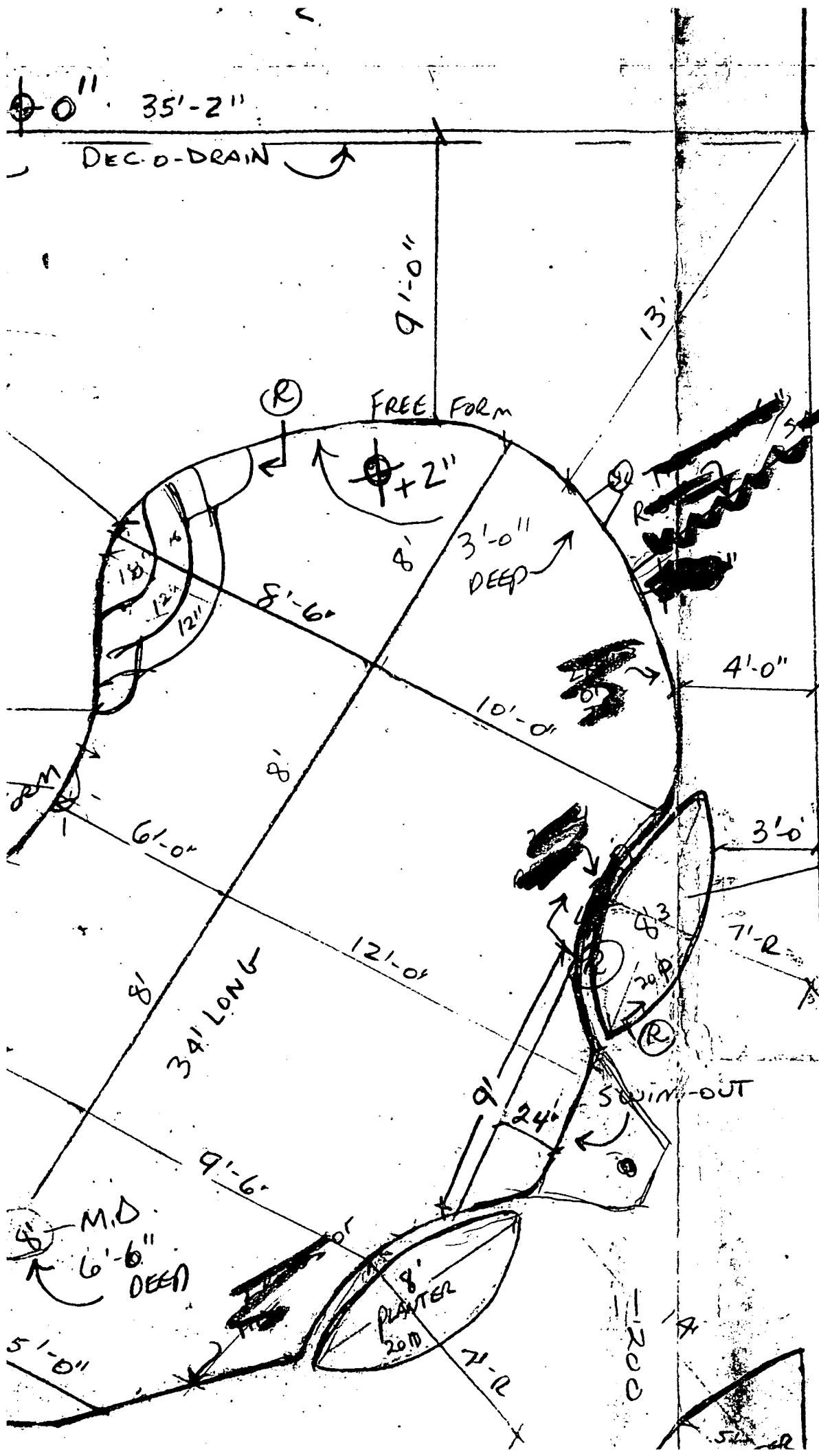
Sale Amount \$100

Sale Date 3/11/1994
Book/Page 1060 0749

Legal disclaimer / Privacy Statement

Data updated on 8/20/2004





POOL SPECIFICATIONS	
SIZE	16 x 19 x 34 DEPTH 3'-0" TO 6'-6"
VOLUME	20,000 GAL PERIMETER 94 LF
AREA	540 S.F.
PILING REQ'D.	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
POOL FINISH	WHITE MARBLE PLASTER
PIPING	PVC SCH-40 INLETS 4 w 2 SKI
DECKS	KOOLDECK - BEIGE 870 DE
ELECTRIC	ALL ELECTRICAL WORK BY OTHERS
EXCAVATION DISPOSAL	HAUL
POOL LIGHT	12 VOLT, 100 WATT REQ'D
LADDER	SWIM-OUT HANDRAIL NONE
DIVING BOARD	NONE FT. 0
PUMP	1 H.P. STA-RITE DURO GLASS
FILTER	36 SQ FT. FILTER
WASTE DISPOSAL	MANUAL CLEAN TO GROUND
HEATER	NONE .000 BTU INPUT
HYDRO-THERAPY	NONE
AUTOMATIC CLORINATOR	CHLORO GATOR
ENERGY SWEET	GENERAL NOTES

- All concrete shall conform to ACI 318-77. Concrete shall have a min. compressive strength of 3,000 PSI for pneumatically placed concrete (gunite) and 2,500 PSI for poured concrete.
- The site should have undisturbed sand or sand and rock with a min. bearing value of 2,500 PSF. If conditions other than this exist, this engineer shall be notified before proceeding with work.
- All reinforcing steel shall be intermediate grade deformed bars of new billet steel conforming to A.S.T.M. A-15. Steel shall be bent, lapped, and placed in accordance with A.C.I. standards and specifications.
- All pool piping shall bear the N.S.F. seal of approval.
- Grate in main drain shall have a free area of 4 times the area of the suction line.
- Water supply and disposal shall be so arranged that there is no cross connection with a domestic water supply or water disposal system.

- PLANTER**
- LAY-OUT CREW
- NOTE. 34' LONG
- 1- 8' GRID PATTERN
 - 2- FREE FORM pod WHERE POSSIBLE
 - 3- ~~RETENTION POOL~~
 - 4- PLANTER SAME SIZE OF ~~RETENTION POOL~~

OWNER TO BE RESPONSIBLE FOR

FLU LINE INC.
 1025 South Semoran Boulevard
 Winter Park, FL 32782
 (407) 678-7500
 Fax (407) 678-9188

FILE COPY
 TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE: 9/20/04

 BUILDING OFFICIAL
 Gene Simmons

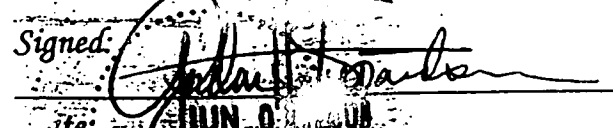
FLU LINE INC.
 A civil engineering firm
 1025 South Semoran Boulevard
 Suite 1083
 Winter Park, FL 32782
 (407) 678-7500
 Fax (407) 678-9188

Authorization Letter
to use Aluminum Design Manual Master-file

Authorization for: Coastal Aluminum Contractors, Inc.
 4205 Metzger Rd.
 Fort Pierce FL 34947

Building Official,

The above referenced contractor is hereby authorized to use our Aluminum Design Manual as a master-file to obtain all permits in your jurisdiction for the time period of May 1st, 2004 thru May 31st, 2005. If this authorization is to be revoked prior to the ending date indicated we will notify you in writing via certified mail. Any indication of the alteration of this document will void the authorization. Gordon H. Shepardon's, the engineer of record, signature and raised seal is required on this letter to validate the authorization. Thank you for your cooperation.

Signed: 
 Gordon H. Shepardon, P.E. 19333

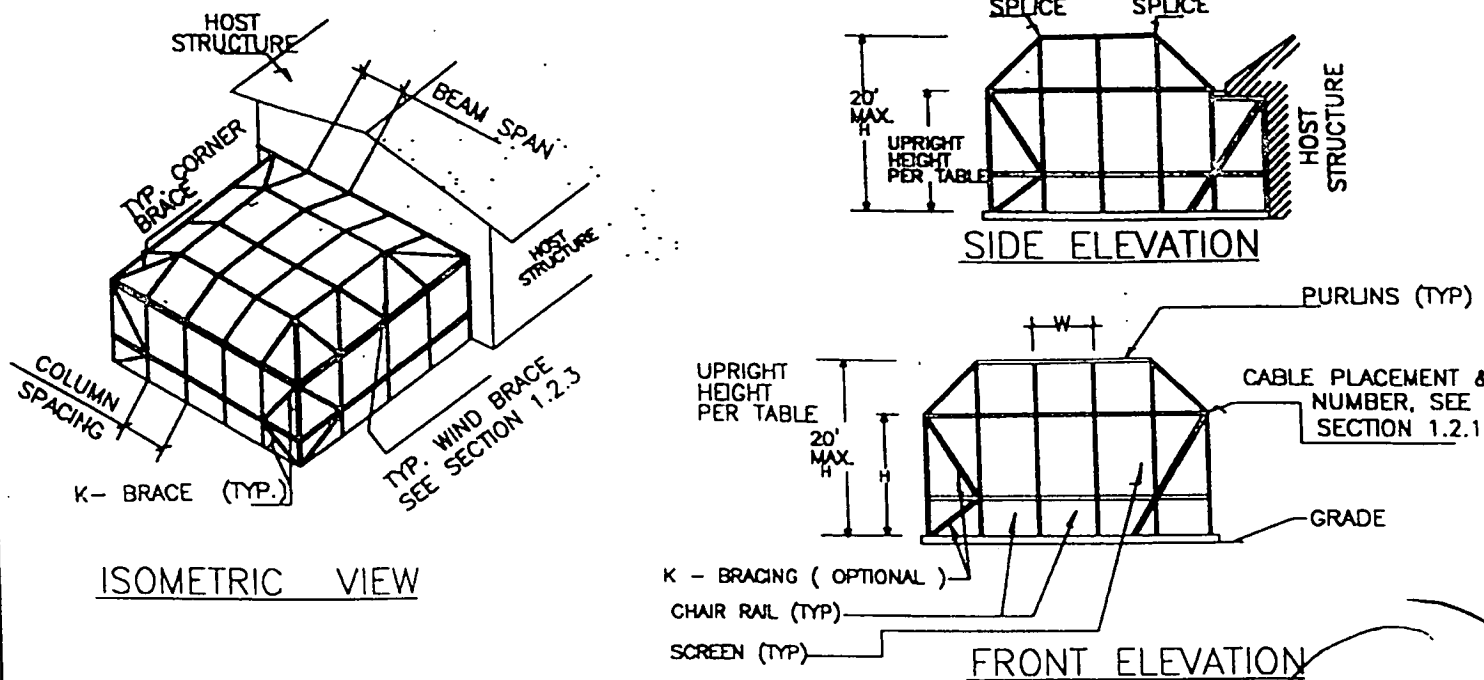
Aluminum Engineering Index Sheet

This index sheet specifies the master-file pages that can apply for the appropriate type of structure. Typical and Detail sheets and tables indicated are suggested for the type of structure, but do not need to apply in total. The appropriate typical and detail sheets and tables shall be marked as they apply. The listed pages are the only pages that need to be attached per type of structure. One index sheet should be attached with our engineering pages for issuance of a permit. Any signs of alteration shall void this. Unauthorized typical and detail sheets or tables cannot be used in conjunction with our engineering designs.

CONTRACTOR:		JOB REFERENCE:	
Company Name:	Coastal Aluminum Construction Inc.	Owner Name:	SEAMAN
Address:	4205 Metzger Rd. Fort Pierce FL	Address:	104 S. River Rd. Sewall Pt. Street, FL 34996
Phone number:	772-468-0288 FAX = 772-464-0287	Legal Description:	Lot 45 Rio Vista 3/D
Member ID Number:			

Dome screen enclosure	Mansard screen enclosure	Splice gable screen enclosure	Flat screen enclosure	Composite roof w/ screen enclosure	Pan roof w/ screen enclosure
1.1.1	1.1.2	1.1.3	1.1.4	2.2.1	3.2.1
1.2.1	1.2.1	1.2.1	1.2.1	2.2.2	3.2.2
1.2.3	1.2.2	1.2.3	1.2.3	2.2.3	3.2.3
1.2.5	1.2.3	1.2.5	1.2.5	1.2.4	1.2.4
1.2.6	1.2.5	1.2.6	1.2.6		
1.2.7	1.2.6	1.2.7	1.2.7		
1.2.4	1.2.4	1.2.8	1.2.4		
		1.2.4			
Tables/6061-T5	Tables/6061-T5	Tables/6061-T5	Tables/6061-T5	Tables/6061-T5	Tables/6061-T5
100mph/1.3.1.100A	100mph/1.3.2.100A	100mph/1.3.2.100A	100mph/1.3.1.100A	2.3.1.A	3.3.1.A
110mph/1.3.1.110A	110mph/1.3.2.110A	110mph/1.3.2.110A	110mph/1.3.1.110A	2.3.2.A	3.3.2.A
120mph/1.3.1.120A	120mph/1.3.2.120A	120mph/1.3.2.120A	120mph/1.3.1.120A		
130mph/1.3.1.130A	130mph/1.3.2.130A	130mph/1.3.2.130A	130mph/1.3.1.130A		
140mph/1.3.1.140A	140mph/1.3.2.140A	140mph/1.3.2.140A	140mph/1.3.1.140A		
150mph/1.3.1.150A	150mph/1.3.2.150A	150mph/1.3.2.150A	150mph/1.3.1.150A		
Tables/6061-T6	Tables/6061-T6	Tables/6061-T6	Tables/6061-T6	Tables/6061-T6	Tables/6061-T6
100mph/1.3.1.100B	100mph/1.3.2.100B	100mph/1.3.2.100B	100mph/1.3.1.100B	2.3.1.B	3.3.1.B
110mph/1.3.1.110B	110mph/1.3.2.110B	110mph/1.3.2.110B	110mph/1.3.1.110B	2.3.2.B	3.3.2.B
120mph/1.3.1.120B	120mph/1.3.2.120B	120mph/1.3.2.120B	120mph/1.3.1.120B		
130mph/1.3.1.130B	130mph/1.3.2.130B	130mph/1.3.2.130B	130mph/1.3.1.130B		
140mph/1.3.1.140B	140mph/1.3.2.140B	140mph/1.3.2.140B	140mph/1.3.1.140B		
150mph/1.3.1.150B	150mph/1.3.2.150B	150mph/1.3.2.150B	150mph/1.3.1.150B		

SECTION 1.1.2 MANSARD SCREEN ENCLOSURES



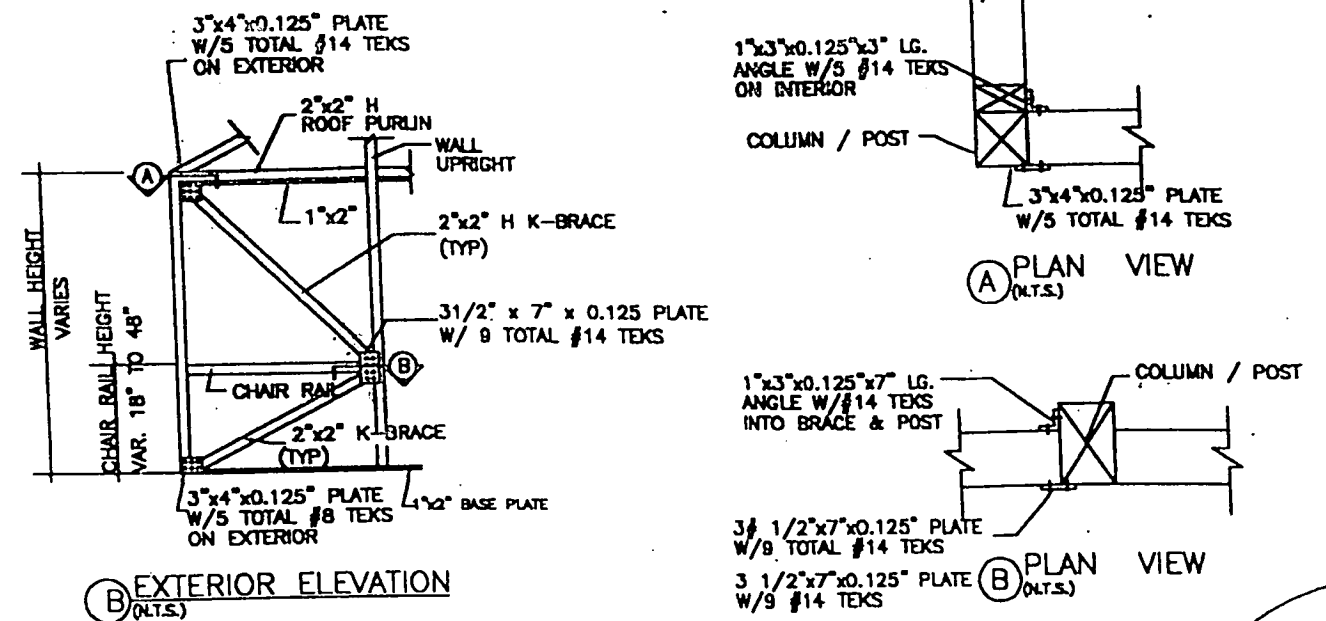
TYPICAL MANSARD SCREEN ENCLOSURE

(STANDARDS)

- 1) DESIGN CONFORMS TO THE FLORIDA BUILDING CODE 2001 AS AMENDED AND ASCE 7-98 FOR THE WIND LOAD ON THE ATTACHED TABLES.
- 2) ALL SCREEN ENCLOSURES GREATER THAN 20'-0" MAX. HEIGHT OR GREATER THAN 40' SPAN. PROJECTION FROM THE HOST STRUCTURE WILL REQUIRE SITE SPECIFIC ENGINEERING IN AREA WHERE SCREEN ENCLOSURE MASTER FILING IS IN EFFECT.
- 3) STRUCTURAL DETAIL DRAWING SHALL RELATE TO 6063-T8 OR 6061-T5 ALUMINUM EXTRUSIONS, WITH AN ACTUAL WALL THICKNESS OF NOT LESS THAN 0.040 INCH
- 4) ALUMINUM SURFACES IN CONTACT WITH LIME-MORTAR, CONCRETE OR OTHER MASONRY MATERIALS, SHALL BE PROTECTED WITH ALKALI-RESISTANT COATINGS, SUCH AS HEAVY-BODIED BITUMINOUS PAINT OR WATER-WHITE METHACRYLATE LIQUEUR.
- 5) ALUMINUM IN CONTACT WITH WOOD OR OTHER ABSORBING MATERIALS WHICH MAY BECOME REPEATEDLY WET SHALL BE PAINTED WITH TWO COATS OF ALUMINUM METAL AND MASONRY PAINT, OR HEAVY-BODIED BITUMINOUS PAINT, OR THE WOOD OR THE ABSORBING MATERIAL SHALL BE PAINTED WITH TWO COATS OF ALUMINUM HOUSE PAINT AND THE JOINTS SEALED WITH HIGH QUALITY CAULKING COMPOUND
- 6) ALL FASTENERS WILL BE 24" C - C MAX. UNLESS OTHERWISE NOTED
- 7) NO OPEN AREA BETWEEN ALUMINUM SHALL EXCEED 56 S.F.
- 8) ALL SCREEN ENCLOSURE DOORS SHALL BE SELF LATCHING AND CLOSING DOORS AND MAY BE LOCATED INTO ANY SCREEN PANEL OPENING
- 9) DISTANCE BETWEEN PURLINS SHALL NOT EXCEED 84 INCHES
- 10) ALL PURLINS AND CHAIR RAILS WILL BE 2"x2"x 0.044" HOLLOW BEAM AND ATTACHED WITH MIN. OF 3 SCREWS INTO SCREW BOSS EACH SIDE.
- 11) ENCLOSURE MUST BE GROUNDED AND BONDED IN ACCORDANCE WITH N.E.C.
- 12) NO UNAPPROVED APPENDICES OR ACCESSORIES MAY BE ATTACHED TO ANY ALUMINUM MEMBERS WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER.
- 13) WHEN 6061-T5 ALUMINUM ALLOY IS USED IN A STRUCTURE FOR UPRIGHTS, BEAMS, KNEE BRACES, WIND BRACES, & K- BRACES, 6063-T8 ALUMINUM ALLOY MAY BE USED FOR PURLINS, CHAIR RAILS, TOP PLATES, AND BOTTOM PLATES

APPLIES

SECTION 1.2.1 DETAILS SCREEN ENCLOSURES



K-BRACING DETAIL

SELECT ONE FRONT WALL--1/8" STAINLESS STEEL CABLE

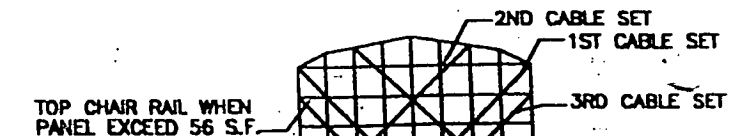
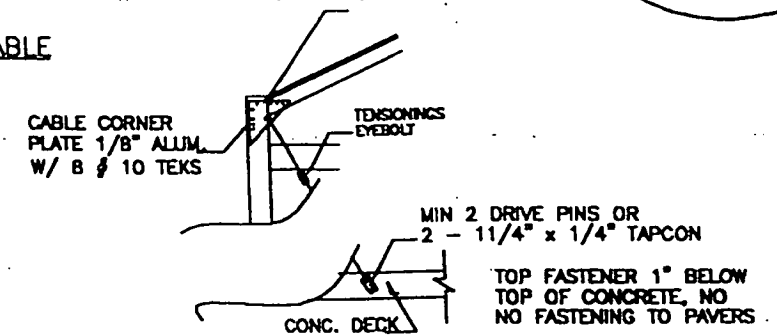
- UP TO 400 SQ. OF WALL 2 CABLE
- UP TO 600 SQ. 4 CABLE
- UP TO 800 SQ. 6 CABLE
- UP TO 1,000 SQ. 8 CABLE

NOTE: ALL WALLS OVER 15" HIGH MUST HAVE 1/2 OR MORE OF THE CABLES AT THE TOP OF THE WALL ABOVE THE TOP CHAIR RAIL.

SELECT ONE SIDE WALL--1/8" STAINLESS STEEL CABLE

- UP TO 200 SQ. OF WALL NO CABLE NEEDED
- UP TO 400 SQ. 1 CABLE
- UP TO 600 SQ. 2 CABLE
- UP TO 800 SQ. 3 CABLE

NOTE: ALL WALLS OVER 15" HIGH MUST HAVE 1/2 OR MORE OF THE CABLES AT THE TOP OF THE WALL ABOVE THE TOP CHAIR RAIL.



SCREEN CABLE BRACING DIAGRAM

CABLE SCHEDULE FOR SCREEN ENCLOSURE

APPLIES

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FLIINE INC.
1025 S. SEMORAN BLVD., SUITE 1093
WINTER PARK FL 32792
TEL: (407) 679-7500
FAX (407) 679-9188
E-MAIL

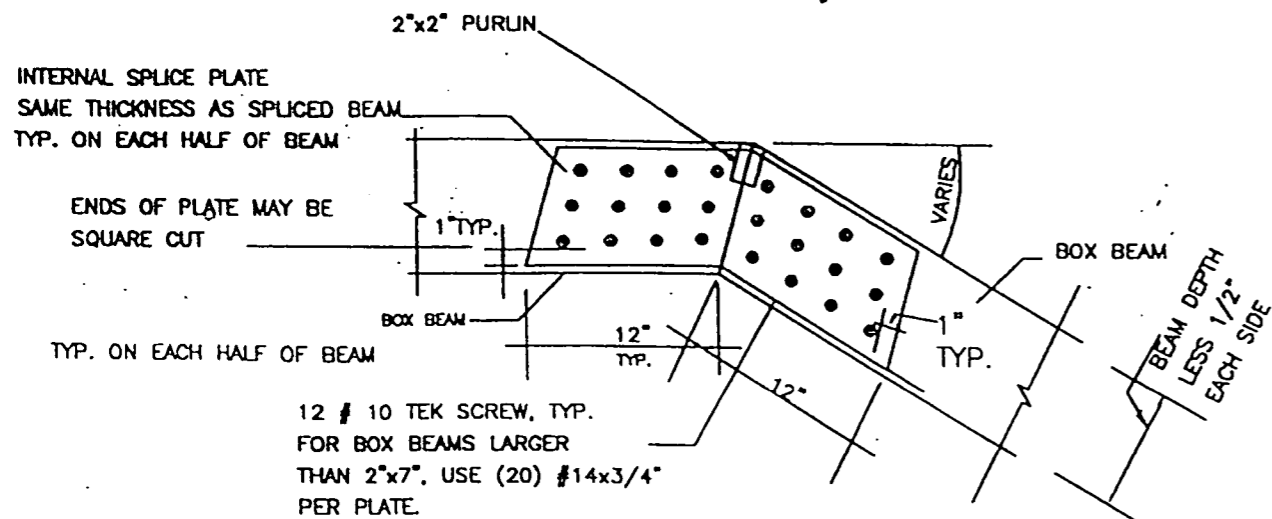
GORDON H SHEPARDSON P.E.
FLORIDA P.E. 10033

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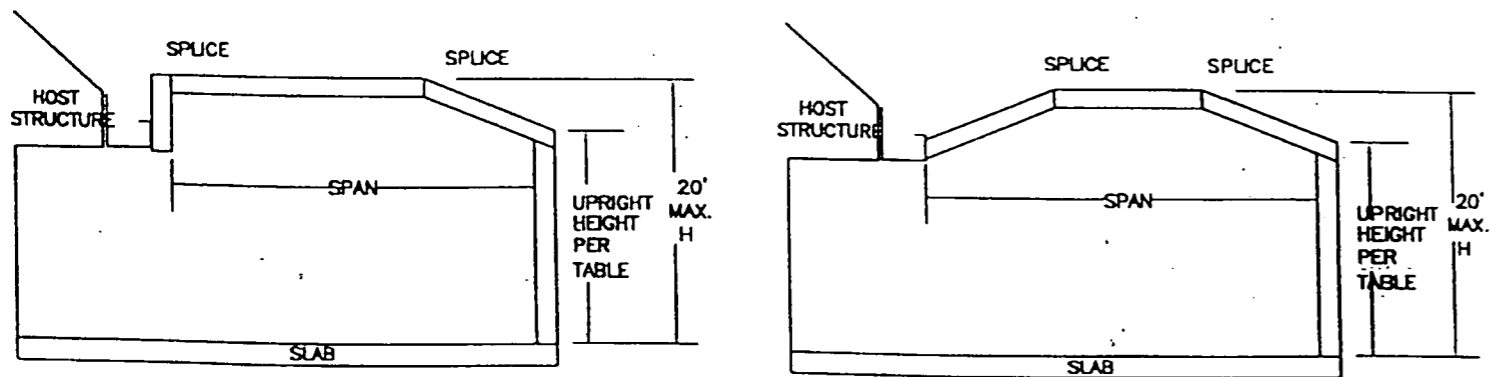
FLIINE INC.
1025 S. SEMORAN BLVD., SUITE 1093
WINTER PARK FL 32792
TEL: (407) 679-7500
FAX (407) 679-9188
E-MAIL

GORDON H SHEPARDSON P.E.
FLORIDA P.E. 10033

SECTION 1.2.2 DETAILS SCREEN ENCLOSURES



TYPICAL MANSARD SPLICE CONNECTION



1 SPLICE MANSARD

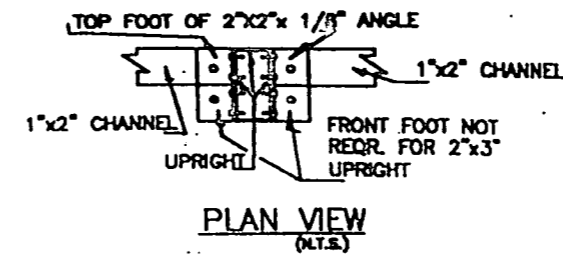
2 SPLICE MANSARD

*one splice mansard - up to 4 ft on the horizontal may be added to the roof beam span when using a knee brace on the non-splice side

MANSARD SPAN DETAIL



SECTION 1.2.3 DETAILS SCREEN ENCLOSURES



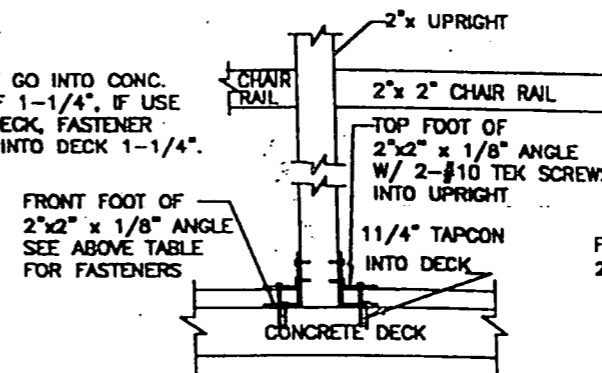
NOTE:
USED WITH ALL
SCREEN TYPES

FRONT FOOT TABLE						
UPRIGHT SIZES	x4	x6	x7	x8	x9	x10
1/4" TAPCON EACH SIDE	1	2	2	3	3	4
#10 TEK SCREWS EACH SIDE	2	4	4	6	6	8
CHECK ONE						

SELECT LOADBEARING UPRIGHT SIZES

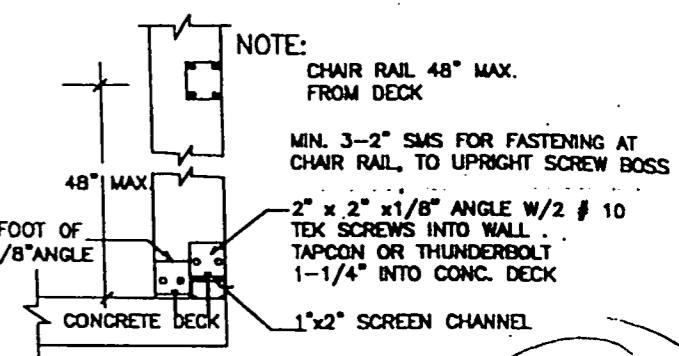
NOTE:

TAPCON MUST GO INTO CONC. A MINIMUM OF 1-1/4". IF USE PAVERS ON DECK, FASTENER WILL EXTEND INTO DECK 1-1/4".

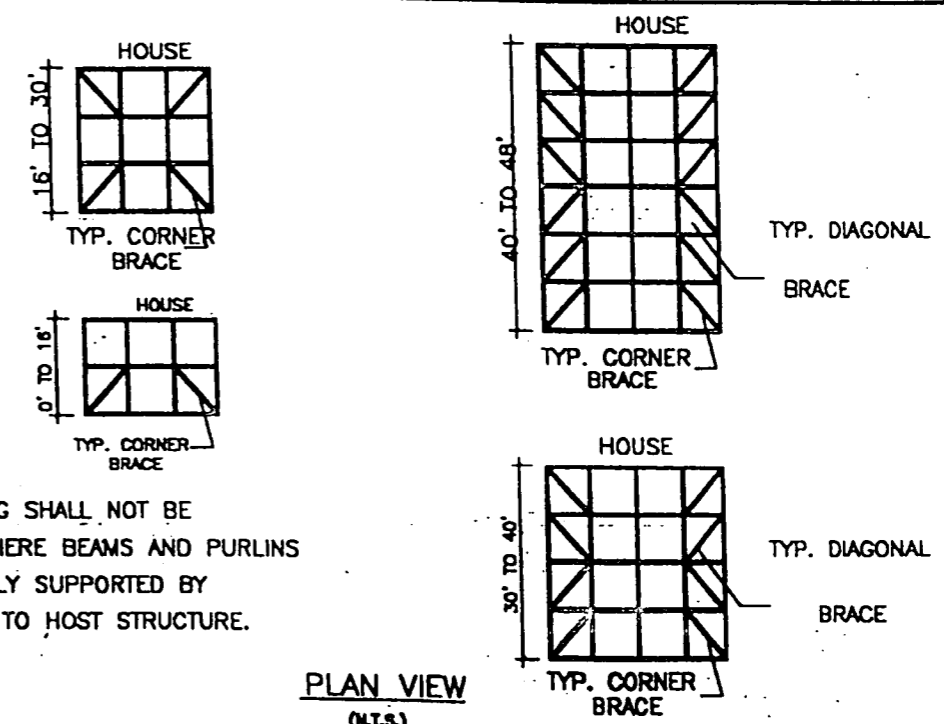


NOTE:

CHAIR RAIL 48" MAX. FROM DECK
MIN. 3-2" SMS FOR FASTENING AT CHAIR RAIL TO UPRIGHT SCREW BOSS
2" x 2" x 1/8" ANGLE W/ 2 # 10 TEK SCREWS INTO WALL TAPCON OR THUNDERBOLT 1-1/4" INTO CONC. DECK
1" x 2" SCREEN CHANNEL



FRONT ELEVATION SIDE ELEVATION
TYPICAL DECK PLATE & POST CONNECTION



NOTE: WIND BRACING SHALL NOT BE REQUIRED WHERE BEAMS AND PURLINS ARE Laterally supported by CONNECTION TO HOST STRUCTURE.

PLAN VIEW (N.T.S.)

WIND BRACING DETAIL



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FLI LINE INC.
1025 S. SEMORAN BLVD., SUITE 1093
WINTER PARK FL 32782
TEL (407) 679-7500
FAX (407) 679-9188
E-MAIL

GORDON H SHEPARDSON P.E.
FLORIDA P.E. 10333

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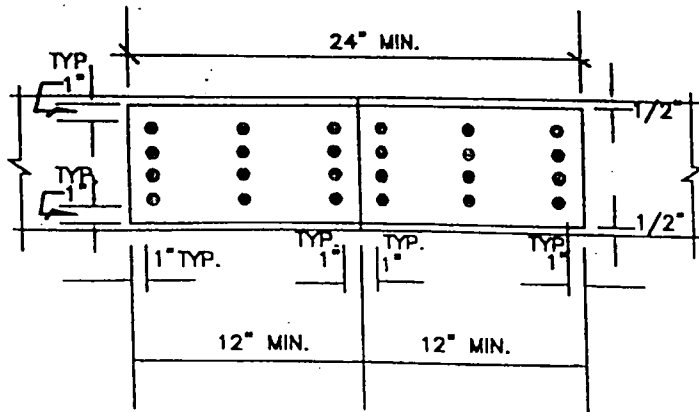
FLI LINE INC.
1025 S. SEMORAN BLVD., SUITE 1093
WINTER PARK FL 32782
TEL (407) 679-7500
FAX (407) 679-9188
E-MAIL

GORDON H SHEPARDSON P.E.
FLORIDA P.E. 10333

SECTION 1.2.4 DETAILS SCREEN ENCLOSURES

SPLICE PLATE SHALL BE MIN. 24 INCHES LONG, 1 INCH LESS HEIGHT THAN THE BEAM THE SAME THICKNESS AS THE SPLICE BEAM, AND LOCATED NO GREATER THAN 1/3 THE BEAM LENGTH FROM THE END AND LOCATED ON OPPOSITE ENDS OF THE MATED BEAM

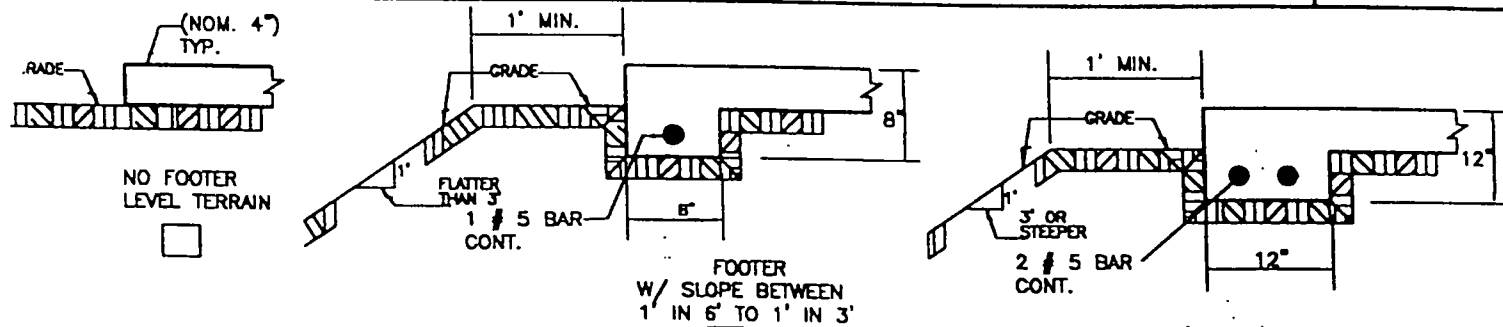
MINIMUM 12-#10 TEK SCREENS ON EACH SIDE OF THE CUT EVENLY SPACED WITH 1 INCH CLEARANCE AT THE CUT AND ALL SIDES OF THE INTERNAL SPLICE PLATE.



SPLICE FOR BEAM SHALL BE ON OPPOSITE ENDS OF THE MATED BEAM.

BEAM SPLICE

APPLIES



FOOTER WHEN SLOPE 1' IN 3' OR STEEPER OR WHEN DECK EXTENDS 33' OR MORE PERPENDICULAR TO THE SUPPORTING STRUCTURE.

WHERE THERE IS NO DECK USED 8"x8" CONCRETE RIBBON FOOTER W/ 1#5 REBAR CONTINUOUS TO SUPPORT UP TO 2" x 6" UPRIGHT

8" x 12" CONCRETE RIBBON FOOTER W/ 2 # 5 REBARS CONTINUOUS TO SUPPORT UPRIGHTS LARGER THAN 2" x 6"

- FOOTER SHALL BEAR ON ROCK, CLEAN SAND, OR STRUCTURALLY SOUND SOIL (>1500 PSF) THAT SHALL BE COMPACTED TO PROVIDE OPTIMUM BEARING CAPACITY TO PREVENT SETTLING.
- CONCRETE SHALL HAVE A 28 DAY STRENGTH OF 2,500 PSI W/ FIBER MESH OR 6x6-10x10 W W MESH.
- 3 - #3 BARS IS EQUIVALENT TO 1 #5 BARS.

TYPICAL SCREEN DECK FOOTER DETAIL

APPLIES

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FLJLINE INC.
1025 S. SEMORAN BLVD., SUITE 1093
WINTER PARK FL 32782
TEL (407) 879-7500
FAX (407) 879-9188
E-MAIL

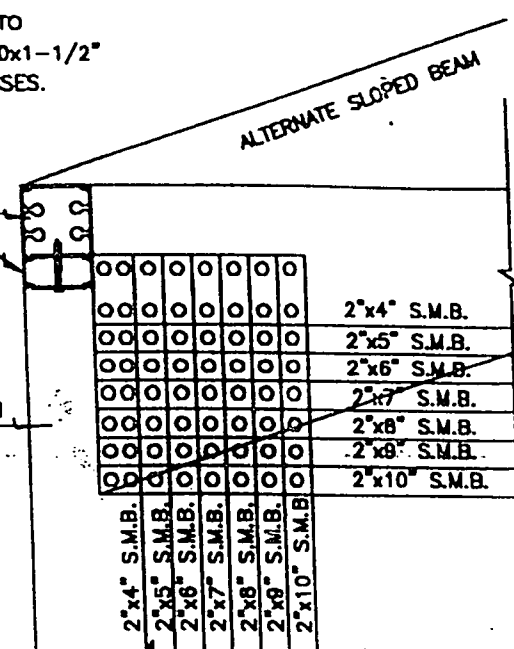
GORDON H SHEPARDSON P.E.
FLORIDA P.E. 19333

SECTION 1.2.5 DETAILS SCREEN ENCLOSURES

2"x2" PURLINS ATTACH TO BEAMS WITH MIN.(3) #10x1-1/2" S.M.S. INTO SCREW BOSSES.

1"x2" SNAP SECTIONS ATTACHED TO 2"x2"W/ #10 x 1-1/2" S.M.S. @ 24" O.C. OR CONTINUOUS SNAP SECTIONS

BEAM OVERLAP CONNECTION OR GUSSET PLATE



UPRIGHT	BEAMS						
	2x4	2x5	2x6	2x7	2x8	2x9	2x10
2x4	4	6	8	10	X	X	X
2x5	6	8	12	15	X	X	X
2x6	8	12	16	20	24	28	X
2x7	10	15	20	25	30	35	X
2x8	12	18	24	30	36	42	48
2x9	14	21	28	35	42	48	56
2x10	16	24	32	40	48	56	64

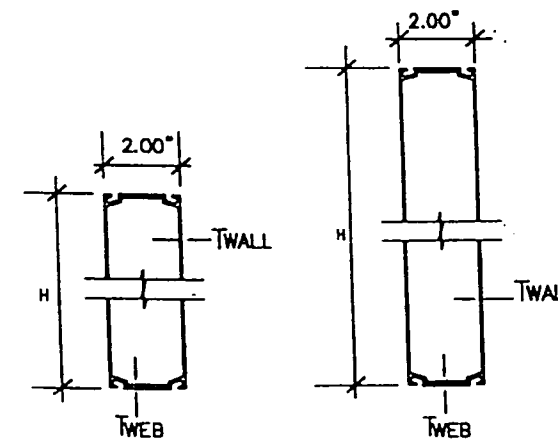
TABLE OF 2-1 #10 TEK SCREWS
X- NO CONNECTION ALLOWED

BEAM OVERLAP OR GUSSET PLATE CONNECTION

APPLIES

ALUMINUM			
PHYSICAL PROPERTIES			
2xH	TWALL	TWEB	SECTION MODULUS (IN ³)
2x4	0.044	0.100	0.959
2x5	0.050	0.100	1.468
2x6	0.050	0.120	1.965
2x7	0.055	0.120	3.119
2x8	0.072	0.224	4.157
2x9	0.072	0.224	5.910
2x10	0.092	0.369	8.531

HOLLOW BEAM TABLE



SNAP EXTRUSION

SELF MATING BEAM

ALUMINUM PHYSICAL PROPERTIES

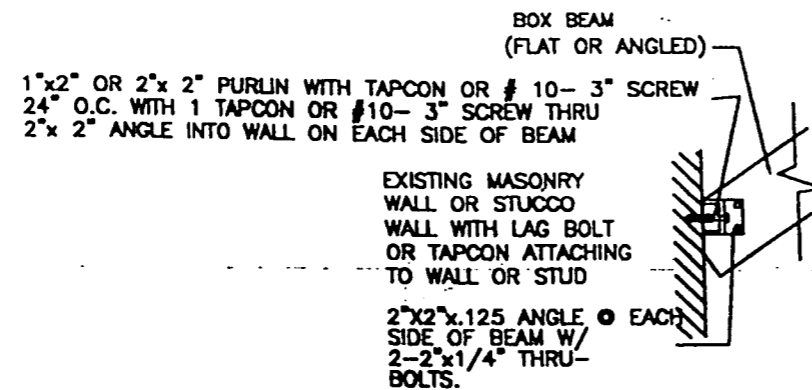
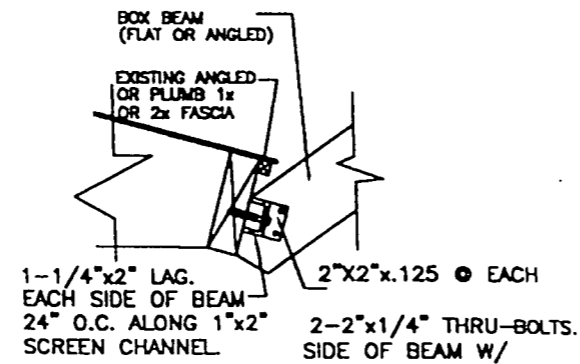
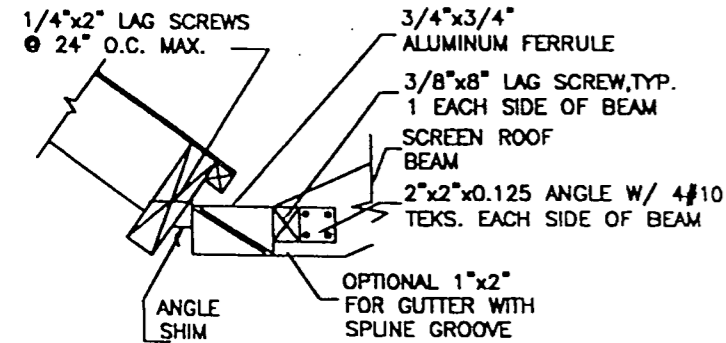
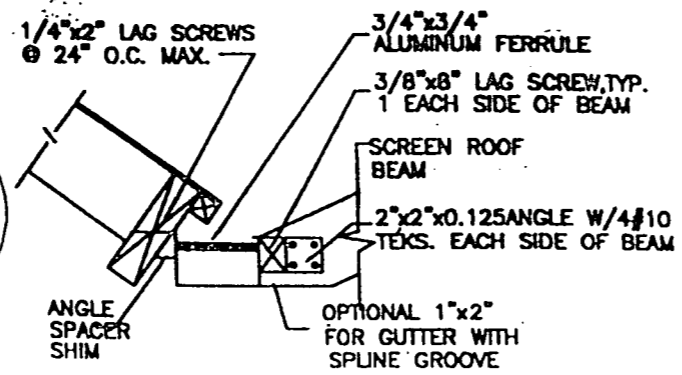
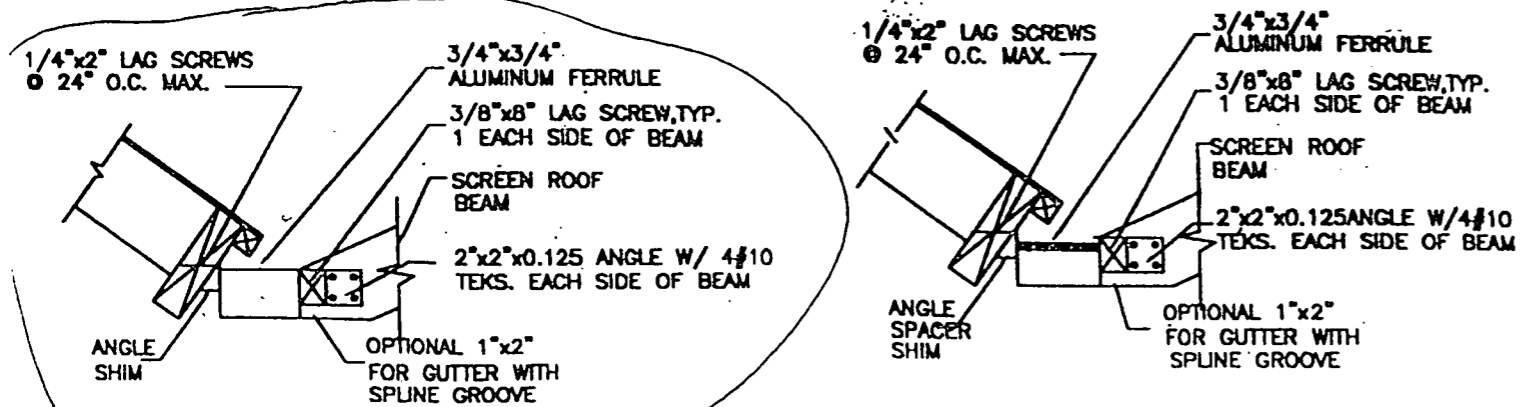
APPLIES

THIS PAGE MAY NOT BE USED WITHOUT A MASTERFILE AUTHORIZATION LETTER ON FILE

FLJLINE INC.
1025 S. SEMORAN BLVD., SUITE 1093
WINTER PARK FL 32782
TEL (407) 879-7500
FAX (407) 879-9188
E-MAIL

GORDON H SHEPARDSON P.E.
FLORIDA P.E. 19333

SECTION 1.2.6 DETAILS SCREEN ENCLOSURES



BEAM TO STRUCTURAL GUTTER DETAILS & TO FASCIA / WALL

THIS PAGE MAY NOT BE USED WITHOUT A MASTERFILE AUTHORIZATION LETTER ON FILE

FLILINE INC.
1025 S. SEMORAN BLVD., SUITE 1093
WINTER PARK FL. 32792
TEL (407) 679-7500
FAX (407) 679-9188
E-MAIL

GORDON H SHEPARDSON P.E.
FLORIDA P.E. 19339



SECTION 1.3.2.140 A SPAN TABLES SCREEN ENCLOSURES MANSARD-SPLICE GABLE 6061-T5 140 M.P.H. EXPOSURE C

ALUMINUM ALLOY : 6061-T5 WIND ZONE : 140 MPH

MAX. SPANS FOR ROOF BEAMS FOR SCREEN & POOL ENCLOSURES, EXPOSURE C ALL WIND SPEEDS PRESSURE 10 PSF MEAN ROOF HEIGHT = 20 FT OR LESS
MAX. SPANS FOR WALL UPRIGHTS FOR SCREEN & POOL ENCLOSURES EXPOSURE C MEAN ROOF HEIGHT = 20 FT OR LESS

ROOF STYLE : MANSARD - SPLICE GABLE WALL UPRIGHTS

SPANS	ROOF SPACING						SPANS	UPRIGHT SPACING					
	4	5	6	7	8	9		4	5	6	7	8	9
2 X 4 - CLEAR SPAN	18'6"	17'2"	16'2"	15'4"	14'7"	14'0"	2 X 4 - CLEAR SPAN	13'5"	12'4"	11'8"	11'1"	10'7"	10'3"
2 X 4 - 1 SPLICE	20'4"	18'10"	17'9"	16'10"	16'0"	15'5"							
2 X 4 - 2 SPLICES	22'2"	20'7"	19'4"	18'4"	17'6"	16'9"							
2 X 5 - CLEAR SPAN	23'0"	21'3"	20'0"	19'1"	18'3"	17'6"	2 X 5 - CLEAR SPAN	16'8"	15'5"	14'7"	13'10"	13'3"	12'9"
2 X 5 - 1 SPLICE	25'3"	23'4"	22'0"	21'0"	20'1"	19'3"							
2 X 5 - 2 SPLICES	27'7"	25'6"	24'0"	22'10"	21'11"	21'0"							
2 X 6 - CLEAR SPAN	26'10"	24'10"	23'5"	22'4"	21'4"	20'6"	2 X 6 - CLEAR SPAN	19'5"	18'1"	17'0"	16'2"	15'5"	14'10"
2 X 6 - 1 SPLICE	29'6"	27'3"	25'9"	24'7"	23'5"	22'6"							
2 X 6 - 2 SPLICES	32'2"	29'9"	28'1"	26'9"	25'7"	24'7"							
2 X 7 - CLEAR SPAN	32'11"	30'8"	28'10"	27'4"	26'2"	25'2"	2 X 7 - CLEAR SPAN	24'0"	22'3"	20'10"	19'11"	18'11"	18'3"
2 X 7 - 1 SPLICE	36'2"	33'8"	31'8"	30'0"	28'9"	27'8"							
2 X 7 - 2 SPLICES	39'6"	36'9"	34'7"	32'9"	31'4"	30'2"							
2 X 8 - CLEAR SPAN	38'0"	35'3"	33'2"	31'6"	30'1"	28'11"	2 X 8 - CLEAR SPAN	27'6"	25'7"	24'1"	22'11"	21'10"	21'1"
2 X 8 - 1 SPLICE	41'9"	38'9"	36'5"	34'8"	33'1"	31'9"							
2 X 8 - 2 SPLICES	45'7"	42'3"	39'9"	37'9"	36'1"	34'8"							
2 X 9 - CLEAR SPAN	44'5"	41'3"	38'9"	36'10"	35'3"	33'11"	2 X 9 - CLEAR SPAN	32'2"	30'0"	28'2"	26'9"	25'7"	24'7"
2 X 9 - 1 SPLICE	48'10"	45'4"	42'7"	40'6"	38'9"	37'3"							
2 X 9 - 2 SPLICES	53'3"	49'6"	46'6"	44'2"	42'3"	40'8"							
2 X 10 - CLEAR SPAN	51'11"	48'3"	45'4"	43'1"	41'4"	39'8"	2 X 10 - CLEAR SPAN	37'10"	35'0"	33'0"	31'4"	30'0"	28'10"
2 X 10 - 1 SPLICE	57'1"	53'0"	49'10"	47'4"	45'5"	43'7"							
2 X 10 - 2 SPLICES	62'3"	57'10"	54'4"	51'8"	49'7"	47'9"							

Interpolation between spans is permitted.

NOTE 1: Roof spans are figured for knee braces of 4ft on the horizontal. The difference in the knee brace length of less than 4ft on the horizontal - must be deducted from the span.
NOTE 2: Wall spans are figured for knee braces of 4ft on the vertical. The difference in the knee brace length of less than 4ft on the vertical - must be deducted from the span.

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FLILINE INC.
1025 S. SEMORAN BLVD., SUITE 1093
WINTER PARK FL 32792
TEL (407) 679-7500
FAX (407) 679-9188
E-MAIL

GORDON H SHEPARDSON P.E.
FLORIDA P.E. 19339





6897

TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 104 S. RIVER RD.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

SCREEN ENCL. FINAL

MISSING BINDING WIRE

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 10/25

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 10/25, 2004 Page 1 of

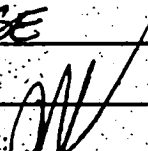
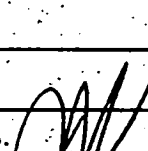
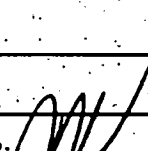
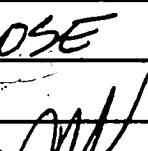
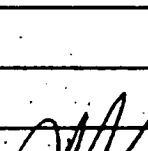
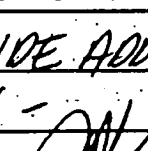
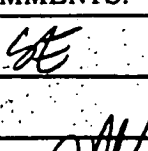
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6682	MILORD	INSULATION	PASS	
4	10 N SEWALLS PT MILORD CORP.			INSPECTOR:
6897	SEAMAN	FINAL SCREENING	FAIL	
2	104 S. RIVER COASTAL ALUM			INSPECTOR:
6663	BANDI	INSULATION	FAIL	
1	20 N. VIA LUCINDA WHITE ALUMINUM			INSPECTOR:
6719	DONOHUE	PARTIAL ROOF NAILING	PASS	
3	163 S SEWALLS PT HALL-SAMMONS			INSPECTOR:
6885	BARON	DECK	PASS	
	25 FIELDWAY O/B			INSPECTOR:
6970	SUBIN	FINAL RETAINING WALL	PASS	LOOSE
	8 PALM COURT O/B			INSPECTOR:
6918	SLATEL	FINAL LATH	PASS	
	31 LOFTING CONWAY			INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 12/8, 2004 Page of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6894	ELDER	REP GARAGE DOOR	PASS	CLOSE
3	12 EMARITA O/B	FINAL		INSPECTOR: 
6741	OSTEEN	FOOTER GARAGE	PASS	
7	1 RIDGELIEN ANGUS ENTERP.			INSPECTOR: 
7051	SCHERLENG	PRESSURE TEST	PASS	
5	110 ABBE COURT ADVANTAGE			INSPECTOR: 
6897	SEAMAN	FINAL SCR. ENCL	PASS	CLOSE
6	104 S. RIVER RD COASTAL ALUMINUM			INSPECTOR: 
7070	WINSLOW	R/H PUMB	PASS	
9	10 S. SEWALL'S PT	R/H ELEC AC Bedm	PASS	INSPECTOR: 
6705	ANDERSON	ROOF SHEATHING	PASS	WEST SIDE ADDITION
10	9 PALMETTO PALM BEACH CREA.	(PARTIAL)		ONLY - INSPECTOR: 
6961	ELLIOTT	PATIO FINAL	PASS	CLOSE
12	8 NE LAGOON ISLAND O/B			INSPECTOR: 

OTHER:
STOP WORK 3 MELODY - FILL

7416

REROOF

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 3/23/05

BUILDING PERMIT NO. 7416

Building to be erected for SEAMAN

Type of Permit REROOF

Applied for by GARY MARZO INC. (Contractor)

Building Fee _____

Subdivision RIO VISTA Lot 45 Block _____

Radon Fee _____

Address 104 S. RIVER ROAD

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:

Electrical Fee _____

1238410020000095020000

Plumbing Fee _____

Amount Paid 120.00 Check # 1793 Cash _____ Other Fees (_____) 1

Roofing Fee 120.00

Total Construction Cost \$ 13,100.

TOTAL Fees 120.00

Signed Gary Marzo
Applicant

Signed Gene Summers (GMB)
Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

BY: _____

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Building Permit Number: _____

Owner or Titleholder Name: William Seaman City: Stuart State: FL Zip: 34996
Legal Description of Property: Rio Vista S/D Lot: 45 Parcel Number: 1238410020000069502
Location of Job Site: 104 S. River Drive Type of Work To Be Done: Tear-Off, Re-roof

CONTRACTOR/Company Name: Gary Marzo Inc. Phone Number: 871-2489
Street: 861-A SW Lakehurst Drive City: Port St Lucie State: FL Zip: 34983
State Registration Number: CC-C058193 State Certification Number: CC-C058193 Martin County License Number: SPO1121

ARCHITECT: _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER: _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof 4200 sq. Wood Deck: _____ Accessory Building: _____
Type Sewage: _____ Septic Tank Permit Number From Health Dept. _____ Well Permit Number: _____

FLOOD HAZARD INFORMATION Flood Zone: _____ Minimum Base Flood Elevation (BFE): _____ NGVD
Proposed First Floor Habitable Floor Finished Elevation: _____ NGVD (Minimum 1 Foot Above BFE)

COST AND VALUES Estimated Cost of Construction or Improvements: 13,100.⁰⁰ Estimated Fair Market Value (FMV) Prior
To Improvements: _____ If Improvement, Is Cost Greater Than 50% Of Fair Market Value YES _____ NO _____

SUBCONTRACTOR INFORMATION
Electrical: _____ State: _____ License Number: _____
Mechanical: _____ State: _____ License Number: _____
Plumbing: _____ State: _____ License Number: _____
Roofing: _____ State: _____ License Number: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNANCE, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION
Florida Building Code (Structural, Mechanical, Plumbing, Gas) _____ South Florida Building Code (Structural, Mechanical, Plumbing, Gas) _____
National Electrical Code _____ Florida Energy Code _____
Florida Accessibility Code _____

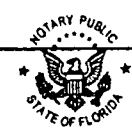
THEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (Required) William Seaman
State of Florida, County of: Martin
This the 21 day of March, 2005
by William Seaman who is personally
known to me or produced I.O.
as identification.

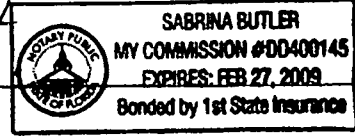
CONTRACTOR SIGNATURE (Required) Gary Marzo
On State of Florida, County of: St. Lucie
This the 21 day of March, 2005
by Gary Marzo who is personally
known to me or produced _____
as identification.

Notary Public
My Commission Expires: April 5, 2008

Notary Public
My Commission Expires: Feb. 27, 2009



Seal Lynn Marzo
LYNN MARZO
MY COMMISSION # DD 306715
EXPIRES: April 5, 2008
Bonded Thru Budget Notary Services



Seal Sabrina Butler

PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR RE-ROOFING

IMPORTANT NOTICE: All items listed below must accompany your permit application. No application will be accepted unless all items that are applicable are submitted.

Application form must contain the following information:



1. Property Appraisers Parcel Number or Property Control Number
2. Legal Description of property (Can be found on your deed survey or Tax Bill)
3. Contractors name, address, phone number and license numbers.
4. Name all sub-contractors (properly licensed)
5. Estimated cost of construction.
6. Original signature of owner and notarized
7. Original signature of Contractor and notarized.

Submittals (2 copies)

- ✓ 1. Product approvals from Miami/Dade for the following items:
 - a. Roofing
- ✓ 2. Statement of Fact (owner/builder affidavit)
- 3. Proof of ownership (deed or tax recpt.)
- ✓ 4. A certified copy of the Notice of Commencement for any work over \$2500.00
- 5. Copy of License (either Martin County Certificate of Competency or State Certified or Registered Contractor License)
- 6. Copy of Workmen's Compensation
- 7. Copy of Liability Insurance

ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE

Gary Marrs
(SIGNATURE OF APPLICANT)

DATE SUBMITTED: 3-21-05



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD
1940 NORTH MONROE STREET
TALLAHASSEE FL 32399-0783

(850) 487-1395

MARZO, GARY P
GARY MARZO INC
861-A SW LAKE HURST DR
PORT SAINT LUCIE FL 34983

STATE OF FLORIDA AC# 147040:
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CCC058193 07/02/04 040006040

CERTIFIED ROOFING CONTRACTOR
MARZO, GARY P
GARY MARZO INC

IS CERTIFIED under the provisions of Ch.489 fs.
Expiration date: AUG 31, 2006 L04070200962

DETACH HERE

AC# 1470405

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ#L04070200962

DATE	BATCH NUMBER	LICENSE NBR
07/02/2004	040006040	CCC058193

The ROOFING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2006

MARZO, GARY P
GARY MARZO INC
831 SW LAKEHURST DRIVE
UNIT 1-A
PORT ST LUCIE FL 34985

JEB BUSH
GOVERNOR

DIANE CARR
SECRETARY

DISPLAY AS REQUIRED BY LAW

ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID BL
GARM001

DATE (MM/DD/YYYY)
10/18/04

PRODUCER
J.W. Edens & Company
Commercial Ins of Brevard, Inc
5005 Wickham Road
Melbourne FL 32940
Phone: 321-751-3737 Fax: 321-751-3738

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED

Gary Marzo, Inc.
861 A-SW Lakehurst Drive
Port St. Lucie FL 34983

INSURERS AFFORDING COVERAGE		NAIC #
INSURER A:	Canal Indemnity Company	
INSURER B:		
INSURER C:		
INSURER D:		
INSURER E:		

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR INSR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A	GENERAL LIABILITY	22221004	10/15/04	10/15/05	EACH OCCURRENCE	\$ 300,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 50,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$ 5,000
					PERSONAL & ADV INJURY	\$ 300,000
					GENERAL AGGREGATE	\$ 600,000
					PRODUCTS - COMP/OP AGG	\$ 300,000
					GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	
	AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT (Ea accident)	\$
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$
	<input type="checkbox"/> HIRED AUTOS					
	<input type="checkbox"/> NON-OWNED AUTOS					
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$
	<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC	\$
					AUTO ONLY: AGG	\$
	EXCESS/UMBRELLA LIABILITY				EACH OCCURRENCE	\$
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$
						\$
						\$
						\$
						\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATU-TORY LIMITS	OTH-ER
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				E.L. EACH ACCIDENT	\$
	If yes, describe under SPECIAL PROVISIONS below				E.L. DISEASE - EA EMPLOYEE	\$
	OTHER				E.L. DISEASE - POLICY LIMIT	\$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

CERTIFICATE HOLDER

SEWALLS

Town of Sewall's Point
One South Sewall's Point Rd.
Stuart FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

New/Theresa C. O'Brien



ACORD CORPORATION 1988



FLORIDA ROOFING, SHEET METAL & AIR CONDITIONING CONTRACTORS ASSOCIATION, INC.

SELF INSURERS FUND

P.O. BOX 4907 • WINTER PARK, FL 32793 • (407) 671-FRSA
1-800-767-3772 • FAX (407) 671-2520

CERTIFICATE OF INSURANCE

ISSUED TO:

COPY PROVIDED TO:

Town of Sewalls Point
1 South Sewalls Point Rd.
Stuart FL 34996

Gary Marzo, Inc.
861 A - S.W. Lakehurst Dr.
Port St. Lucie FL 34983

ATTN: To whom it may concern

Date: 12/07/2004

This is to certify that Gary Marzo, Inc.
861 A - S.W. Lakehurst Dr.
Port St. Lucie FL 34983

being subject to the provisions of the Florida Workers' Compensation Act, has secured the payment of compensation by insuring their risk with the FLORIDA ROOFING, SHEET METAL & AIR CONDITIONING CONTRACTORS ASSOCIATION SELF INSURERS FUND.

COVERAGE NUMBER:	<u>870-033210</u>	<u>LIMITS</u>	
EFFECTIVE DATE:	<u>01/01/2005</u>	Workers' Compensation	Statutory - State of Florida
EXPIRATION DATE:	<u>01/01/2006</u>	Employers' Liability	\$100,000 - Each Accident \$100,000 - Disease, Each Employee \$500,000 - Disease, Policy Limit

REMARKS: Non-cancelable without 30 days prior written notice, except for non-payment of premium which will be a 10 day written notice.

This certificate is not a policy and of itself does not afford any insurance. Nothing contained in this certificate shall be constructed as extending coverage not afforded by the policy(ies) shown above or as affording insurance to any insured not named above. This provides coverage for Florida policyholders and Florida domicile employees only.

By: Brett Stiegel
Brett Stiegel, Administrator
FRSA-SIF

By: Debbie Kemmerer
Debbie Kemmerer - Underwriting Manager
FRSA-SIF

THIS LICENSE VALID WHEN ALL STATE AND LOCAL REGULATED TRADE LICENSES / COMPETENCY CARDS ARE VALID FOR THE CURRENT FISCAL YEAR.

TERM: October 1, 2004 to September 30, 2005

This license does not warrant or hold that the licensee is competent to perform in the business(es) as licensed, but that the licensee has paid the required fee(s) and provided the necessary documentation (if required) to be licensed in this business.

LICENSE MUST BE EXHIBITED CONSPICUOUSLY AT YOUR PLACE OF BUSINESS.

VALID AT THIS BUSINESS ADDRESS ONLY.

Business/Lic. 103179/05-1014485

Business Address: 861-A SW LAKEHURST DRIVE

Classification: CONT CONTRACTOR

Issued to: GARY MARZO INC.

861-A SW LAKEHURST DRIVE

PORT ST LUCIE FL 34983

Fee: 115.77

Discount: 0.00

Mary B. Mastio

BUSINESS LICENSE COORDINATOR

205/017 YB

BUSINESS COPY

Fees: 126.27 Late Fees: 0.00 Total this payment : 126.27

THIS LICENSE VALID WHEN ALL STATE AND LOCAL REGULATED TRADE LICENSES / COMPETENCY CARDS ARE VALID FOR THE CURRENT FISCAL YEAR.

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Discount: 0.00

BUSINESS LICENSE COORDINATOR

205/017 YB

BUSINESS COPY

Fees: 126.27 Late Fees: 0.00 Total this payment : 126.27

INSTR # 1823279 OR BK 01992 PG 2974 RECD 03/18/2005 01:41:46 PM
MARSHA EWING MARTIN COUNTY DEPUTY CLERK S Phoenix

NOTICE OF COMMENCEMENT

Permit NO:
State Of: FLORIDA

Tax ID No: 12-38-41-002-000-00150-2
County Of: Martin

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Legal description of improvements: Rio Vista s/d Lot: 45

General description of improvements: Re-roof

Owner: William Seaman
Address: 104 S. River Rd Sewalls Point, Stuart, FL 34996
Owner's interest in site of improvement: residence

Fee Simple Title holder (if other than owner):

Address:

Return to Contractor: **GARY MARZO, INC.** Phone # 465-2489
Address: 861 A-SW LAKEHURST DR., PORT ST. LUCIE, FLORIDA 34983 Fax # 465-8829

Surety: Phone #
Address: Fax #
Amount of Bond \$

Lender: Phone #
Address: Fax #

Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 7134.13 (1) (a) 7., Florida Statutes:

Name: Phone #
Address: Fax #


In addition to himself, owner designates (Phone# Fax #) to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (b), Florida Statutes.

Expiration date of notice of commencement is one year from the date of recording unless a different date is specified.

William Seaman
OWNERS SIGNATURE

STATE OF FLORIDA, COUNTY OF:
The foregoing instrument was acknowledged before me this 16 day of March, 2005,
by William Seaman, who is personally known to me or who has produced identification

Seal

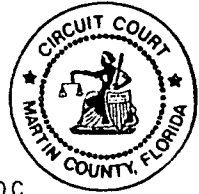
 **LYNN MARZO**
MY COMMISSION # DD 306715
EXPIRES: April 5, 2008
Bonded Thru Budget Notary Services

Lynn Marzo
Signature of Notary
Lynn Marzo
Print Name / Title: Notary Public
DD306715 Commission Number

STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.

MARSHA EWING, CLERK
BY [Signature] D.C.
DATE 3-18-05





MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT DIVISION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Owens Corning
One Owens Corning Parkway
Toledo, OH 43659

Your application for Notice of Acceptance (NOA) of:



under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 01-0522.04
EXPIRES: 07/19/2006

Raul Rodriguez
Chief Product Control Division

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS
BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE <u>3/23/05</u>
BUILDING OFFICIAL
CODE DIV

APPROVED: 07/19/2006

Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

ROOFING SYSTEM APPROVAL

Category: Roofing
Sub-Category: 07310 Asphalt Shingles
Materials: Laminate
Approval Date: July 19, 2001
Expiration Date: July 19, 2006

1. Scope:

This renews a roofing system using **Owens Corning Oakridge 40 AR**. Asphalt shingles manufactured by Owens Corning Corporation as described in this Notice of Acceptance, designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County.

2. PRODUCT DESCRIPTION

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Oakridge 40 AR	13 1/4" x 39 3/8"	PA 110	A heavy weight, fiberglass reinforced four tab asphalt shingle.

3. LIMITATIONS:

- 3.1 Fire classification is not part of this acceptance, refer to current Approved Roofing Materials Directory for fire rating of this product.
 3.2 Shall not be installed on roof mean heights in excess of 33 ft.

4. INSTALLATION:

- 4.1 Shingles shall be installed in compliance with Miami-Dade County Product Control Shingle Installation Procedure No. 115.
 4.2 Flashings shall be in accordance with Section 9.3 Optin 'B' (step-flashing) of Miami-Dade County Product Control Shingle Installation Procedure No. 115.
 4.3 The manufacturer shall provide clearly written application instructions.
 4.4 Exposure and course layout shall be in compliance with Detail 'A', attached.
 4.5 Nailing shall be in compliance with Detail 'b', attached.

5. LABELING:

- 5.1 Shingles shall be labeled with the Miami-Dade Logo or the wording "Miami-Dade County Product Control Approval".

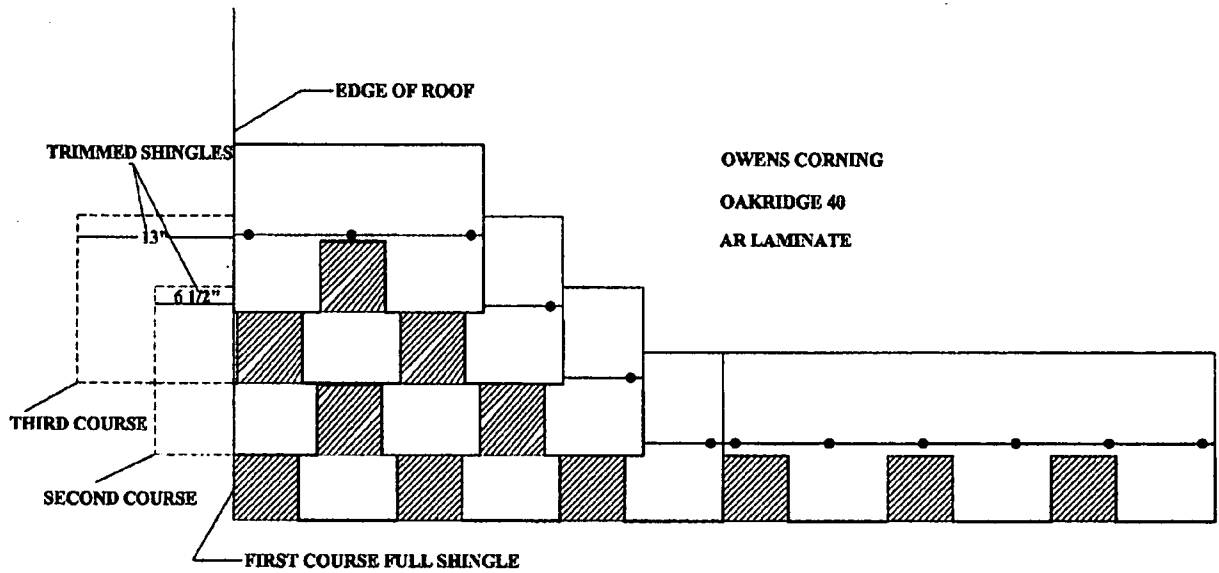
6. BUILDING PERMIT REQUIREMENTS:

- 6.1 Application for building permit shall be accompanied by copies of the following:
 6.1.1 This Notice of Acceptance
 6.1.2 Any other documents required by Building Official or the Applicable Code in order to properly evaluate the installation of this system.

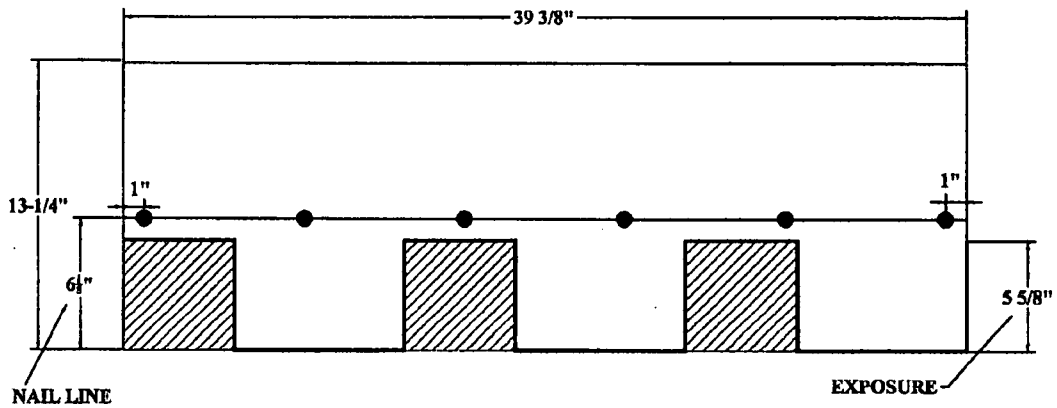


Frank Zuloaga, RRC
 Roofing Product Control Examiner

DETAIL A



DETAIL B



OWENS CORNING
FASTENING PATTERN & PHYSICAL DIMENSIONS

OAKRIDGE 40 AR LAMINATE

Frank Zuloaga, RRC
Roofing Product Control Examiner

NOTICE OF ACCEPTANCE STANDARD CONDITIONS

- 1 Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.
- 2 Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Metro-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
- 3 Renewals of Acceptance will not be considered if:
 - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
 - b) The product is no longer the same product (identical) as the one originally approved;
 - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
 - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
- 4 Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
- 5 Any of the following shall also be grounds for removal of this Acceptance:
 - a) Unsatisfactory performance of this product or process;
 - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.
- 6 The Notice of Acceptance number preceded by the words Metro-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
- 7 A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all times. The copies need not be resealed by the engineer.
- 8 Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
- 9 This Acceptance contains pages 2 through 4.

END OF THIS ACCEPTANCE



Frank Zuloaga, RRC
Roofing Product Control Examiner

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3/28, 20015 Page 1 of

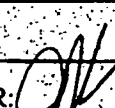


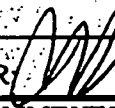
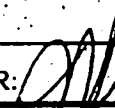
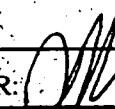
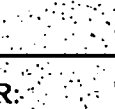
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
716	SEAMAN	DEV IN	PASS	
3	104 S. RIVER RD MARZO			INSPECTOR:
7282	SHORT	WINDOW BUCK	FAIL	
9	10 N. RIVER RD O.B.			INSPECTOR:
7165	TAPPER	DemofINAL	PASS	CLOSE
1	22 ISLAND RD WINCHIP			INSPECTOR:
7334	WEST	FINAL FENCE	FAIL	
2	5 MIDDLE ROAD Jim CAMPBELL CONS			INSPECTOR:
TREE	ALEXANDER	TREES	PASS	
4	86 S. SEWALLS Pt			INSPECTOR:
Trees	LANGER	Tree	PASS	263-1009 AL
10	3 LOFTING	BRING BACK NEW COPY-		INSPECTOR:
TREE	JO CHEM	TREE	PASS	
5	22 RIDGELAND			INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 4/1, 2005 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7434	SLATER	FINAL REPAIR	PASS	CLOSE
17	21 LOFFINGWAY O/B	DOCK		INSPECTOR: 
7222	MCCANN	TREE	PASS	
2	114 S. RIVER RD			INSPECTOR: 
7116	SEAMAN	ROOF FINAL	PASS	CLOSE
3	104 S. RIVER RD MARZO ROOFING			INSPECTOR: 
7279	DOMENICO	DRY-IN	FAIL	
16	6 FIELDWAY DR CARDINAL			INSPECTOR: 
6074	OSTEEN	TINTAG METAL	PASS	
10	1 RIDGEVIEW ANGUS ENT.			INSPECTOR: 
7275	FOWLER	FENCE FINAL	PASS	CLOSE
15	18 FIELDWAY STUART FENCE			INSPECTOR: 
6857	PREISSMAN	SVC CHG		GO BACK @ 11:30
9	28 RIO VISTA FORWARD			INSPECTOR: 

OTHER: _____

11009

GARAGE DOOR



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	11009	DATE ISSUED:	September 11, 2014
SCOPE OF WORK:	Install Garage Door		
CONTRACTOR:	Monterey Construction		
PARCEL CONTROL NUMBER:	12-38-41-002-000-00450-2	SUBDIVISION:	Rio Vista S/D Lot 45
CONSTRUCTION ADDRESS:	104 S River Road		
OWNER NAME:	Seaman		
QUALIFIER:	Robert Walser	CONTACT PHONE NUMBER:	408-3780

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM** INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	11009		
ADDRESS:	104 S River Road		
DATE ISSUED:	9/11/2014	SCOPE OF WORK:	Install Garage Door

SINGLE FAMILY OR ADDITION /REMODEL		Declared Value	\$	
---	--	----------------	----	--

Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned spa @ \$ 121.75 per sq. ft. s.f.		\$	-
Total square feet non-conditioned space, or interior remodel: @ \$ 59.81 per sq. ft. s.f.		\$	-
Total square feet remodel with new trusses: \$ 90.78 per sq. ft. s.f.		\$	-
Total Construction Value:		\$	\$ -
Building fee: (2% of construction value SFR or >\$200K)		\$	n/a
Building fee: (1% of construction value < \$200K + \$100 per insp.)		\$	-
Total number of inspections (Value < \$200K) \$ 100.00 per insp. # insp			n/a
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	n/a
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	n/a
Road impact assessment: (.04% of construction value - \$5 min.)			n/a
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	\$ -

ACCESSORY PERMIT	Declared Value:	\$	\$ 1,500.00
Total number of inspections: @ \$ 100.00 per insp. # insp		\$ 1.00	\$ 100.00
Revision - Correction Correction Fee			
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	\$ 2.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	\$ 2.00
Road impact assessment: (.04% of construction value - \$5 min.)		\$	5.00
TOTAL ACCESSORY PERMIT FEE:		\$	109.00

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: 11009

Date: 9-5-2014

OWNER/LESSEE NAME: Bill Seaman Phone (Day) 772-287-7516 (Fax) _____
 Job Site Address: 104 S River Rd City: Sewall's Point State: FL Zip: 34996
 Legal Description: RIO VISTA S/D LOT 45 Parcel Control Number: 12-38-41-002-000-00450-2
 Fee Simple Holder Name: _____ Address: _____
 City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):**

Install Garage Door

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner Builder questionnaire must accompany application)
 YES NO
Has a Zoning Variance ever been granted on this property?
 YES (YEAR) _____ NO
 (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
 Estimated Value of Improvements: \$ 1500
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
 Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
 Estimated Fair Market Value prior to improvement: \$ _____
 (Fair Market Value of the Primary Structure only, Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Monterey Construction Phone: 772-408-3780 Fax: 772-286-0722
 Qualifiers name: Robert J Walser Jr Street: 200 SW Monterey Rd City: Stuart State: FL Zip: 34996
 State License Number: CGC1508987 OR: Municipality: _____ License Number: _____
 LOCAL CONTACT: Robbie Phone Number: 772-408-3780

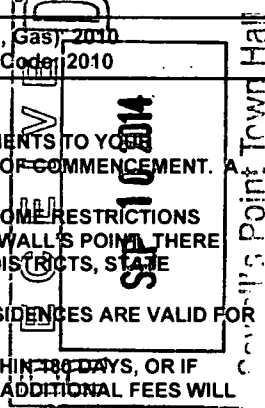
DESIGN PROFESSIONAL: _____ Fla. License# _____
 Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____
 Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE*: _____
 * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
- IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.



******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER / AGENT / LESSEE - NOTARIZED SIGNATURE:
 X [Signature]
 State of Florida, County of: _____
 On This the _____ day of _____, 20____
 by _____ who is personally
 known to me or produced _____
 As identification: _____
 Notary Public
 My Commission Expires: _____

CONTRACTOR / LICENSEE NOTARIZED SIGNATURE:
 X [Signature]
 State of Florida, County of: _____
 On This the _____ day of _____, 20____
 by _____ who is personally
 known to me or produced _____
 As identification: _____
 Notary Public
 My Commission Expires: _____

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

Martin County, Florida
Laurel Kelly, C.F.A

generated on 9/11/2014 10:31:35 AM EDT

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-002-000-00450-2	27558	104 S RIVER RD, SEWALL'S POINT	\$319,360	9/6/2014

Owner Information

Owner(Current)	SEAMAN WILLIAM A TR
Owner/Mail Address	104 S RIVER RD STUART FL 34996-6432
Sale Date	3/11/1994
Document Book/Page	<u>1060 0749</u>
Document No.	
Sale Price	100

Location/Description

Account #	27558	Map Page No.	SP-04
Tax District	2200	Legal Description	RIO VISTA S/D LOT 45
Parcel Address	104 S RIVER RD, SEWALL'S POINT		
Acres	.3450		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120250 Rio Vista DRY

Assessment Information

Market Land Value	\$198,000
Market Improvement Value	\$121,360
Market Total Value	\$319,360



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

FORMULA FOR DESIGN PRESSURES

Example: 25 ft mean roof height, exposure C - 16 X 7 Door 140mph.

Pressure	Exposure C multiplier	Req. Design Pressure
29.7	X 1.35	= +40.095
-33.1	X 1.35	= -44.685

Garage Door must be rated at +40.1/-44.68 minimum. This must be completed for exposure C:

Pressure	Exposure C multiplier	Req. Design Pressure
<u>34.1</u>	X <u>1</u>	= <u>34.1</u> (+)
<u>-38.0</u>	X <u>1</u>	= <u>-38.0</u> (-)

TABLE 1609.3.1
 EQUIVALENT BASIC WIND SPEEDS_{a,b,c}

V3S	85	90	100	105	110	120	125	130	140	145	150	160	170
Vfm	71	76	85	90	95	104	109	114	123	128	133	142	152

- For SI: 1 mile per hour = 0.44 m/s.
 a. Linear interpolation is permitted.
 b. V3S is the 3-second gust wind speed (mph).
 c. Vfm is the fastest mile wind speed (mph).

TABLE 1609.6(2)

MEAN ROOF HEIGHT (feet)	EXPOSURE			
	B	C	D	
<u>15</u>	<u>1.06</u>	1.21	1.47	
20	1.06	1.29	1.55	
25	1.00	1.35	1.61	
30	1.00	1.40	1.66	
35	1.05	1.45	1.70	
40	1.09	1.49	1.74	
45	1.12	1.53	1.78	
50	1.16	1.56	1.81	
55	1.19	1.59	1.84	
60	1.22	1.62	1.87	

For SI: 1 foot=304.8 mm.
 All table values shall be adjusted for other exposures and heights by multiplying by the above coefficients.



TABLE 1609.6(1)

Effective Wind Area		Basic Wind Speed V (mph - 3 second gust)															
Width (ft)	Height (ft)	85	90	100	110	120	130	140	150								
Roof Angle 0 - 10 degrees																	
8	8	10.5	-11.9	11.7	-13.3	14.5	-16.4	17.5	-19.9	20.9	-23.6	24.5	-27.7	28.4	-32.2	32.6	-36.9
10	10	10.1	-11.4	11.4	-12.7	14.0	-15.7	17.0	-19.0	20.2	-22.7	23.7	-26.6	27.5	-30.8	31.6	-35.4
14	14	10.0	-10.7	10.8	-12.0	13.3	-14.8	16.1	-17.9	19.2	-21.4	22.5	-25.1	26.1	-29.1	30.0	-33.4
Roof Angle > 10																	
<u>9</u>	<u>7</u>	11.4	-12.9	12.8	-14.5	15.8	-17.9	19.1	-21.6	22.8	-25.8	26.7	-30.2	31.0			
<u>16</u>	<u>7</u>	10.9	-12.2	12.3	-13.7	15.2	-16.9	18.3	-20.4	21.8	-24.3	25.6	-28.5	29.7	-33.1	<u>34.1</u>	<u>-38.0</u>

- For SI: 1 Square foot = 0.929 m², 1 mph = 0.447 m/s, 1 psf = 47.88 N/m²
- For effective areas or wind speeds between those given above the load may be interpolated, otherwise use the load associated with the lower effective area.
 - Table values shall be adjusted for height and exposure by multiplying by adjustment coefficients in Table 1609.6 (2).
 - Plus and minus signs signify pressures acting toward and away from the building surfaces.
 - Negative pressures assume door has 2 feet of width in building's end zone

Miami-Dade County Building

Product Information for N.O.A. 12-0110.08

NOA	12-0110.08  (library/productcontrol/noa/12011008.pdf)
File Classification	High velocity hurricane zone
Category	Doors
Subcategory	Sectional
Material	Steel
Applicant	DAB Door Company, Inc. (pc-result_detail_app.asp?app_alias=101426)
File Status	File Approved
Expiration_Date	July/21/2015
Impact_Rate	Large and Small Missile Impact
Maximum_Design_Pressure_Positive	48
Maximum_Design_Pressure_Negative	52
Description	Hurricane Master  Model 824/811 Steel Sectional Garage Door 16'-2" Wide x 16'-0" High (Reinforced) with Window Lite Option

Page Last Edited: Tue May 28, 2013 11:10:18 AM





DEPARTMENT OF PERMITTING, ENVIRONMENT, AND REGULATORY
AFFAIRS (PERA)
BOARD AND CODE ADMINISTRATION DIVISION

MIAMI-DADE COUNTY
PRODUCT CONTROL SECTION
11805 SW 26 Street, Room 208
Miami, Florida 33175-2474
T (786) 315-2590 F (786) 315-2599

NOTICE OF ACCEPTANCE (NOA)

www.miamidade.gov/pera/

DAB Door Company, Inc.
12195 NW 98th Avenue
Hialeah Gardens, FL 33018

SCOPE: This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County PERA -Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. PERA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: Hurricane Master® Model 824/811 Steel Sectional Garage Door 16'-2" Wide x 16'-0" High (Reinforced) with Window Lite Option

APPROVAL DOCUMENT: Drawing No. 98-05, titled "24 GA. Roll Formed Steel Sectional Garage Door", dated 02/23/1998, with last revision H dated 10/13/2011, sheets 1 through 6 of 6, prepared by Al-Farooq Corporation, signed and sealed by Javad Ahmad, P.E., bearing the Miami-Dade County Product Control revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Section.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant

LABELING: A permanent label with the manufacturer's name or logo, manufacturing address, model/series number, the positive and negative design pressure rating, indicate impact rated if applicable, installation instruction drawing reference number, approval number (NOA), the applicable test standards, and the statement reading 'Miami-Dade County Product Control Approved' is to be located on the door's side track, bottom angle, or inner surface of a panel.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 11-0414.13 and consists of this page 1 and evidence pages E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by Carlos M. Utrera, P.E.



[Signature]
02/22/2012

NOA No. 12-0110.08
Expiration Date: July 21, 2015
Approval Date: March 1, 2012
Page 1

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

A. DRAWINGS

1. Drawing No. **98-05**, titled "24 GA. Roll Formed Steel Sectional Garage Door", dated 02/23/1998, with last revision H dated 10/13/2011, sheets 1 through 6 of 6, prepared by Al-Farooq Corporation, signed and sealed by Javad Ahmad, P.E.

B. TESTS "Submitted under NOA # 11-0414.13"

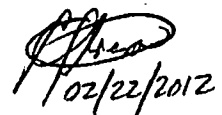
1. Test Report on Uniform Static Air Pressure Test, Loading and Forced Entry Test per FBC, TAS 202-94, of "DAB 824 Sectional Residential Garage Door" prepared by Hurricane Engineering & Testing Inc., Report No. **HETI-07-4267**, dated 06/29/2007, signed and sealed by Candido F. Font, P.E.
2. Test Report on Large Missile Impact Test per FBC, TAS 201-94 and Cyclic Wind Pressure Test per FBC, TAS 203-94, of "DAB 824 Sectional Residential Garage Door", prepared by Hurricane Engineering & Testing Inc., Report No. **HETI-11-3206**, dated 02/10/2011, signed and sealed by Candido F. Font, P.E.
3. Test Report on Tensile Test per ASTM E8-08 of "Sectional Residential Door (skin)", prepared by Hurricane Engineering & Testing Inc, Report No. **HETI-11-T101**, dated 01/29/2011, signed and sealed by Candido F. Font, P.E.

"Submitted under NOA # 05-0217.02"

4. Test Report on Large Missile Impact Test and Cyclic Wind Pressure Test, of "Sectional Residential Door with Windows" prepared by Hurricane Engineering & Testing Inc., Test Report No. **HETI 03-1328**, dated 07/15/2003, signed and sealed by Rafael E. Droz-Seda, PE.
5. Test Report on Uniform Static Air Pressure Test, of "Sectional Residential Door" prepared by Hurricane Engineering & Testing Inc., Test Report No. **HETI 03-1329**, dated 07/15/2003 signed and sealed by Rafael E. Droz-Seda, P.E.
6. Test Report on Tensile Test per ASTM E-8 of "Sectional Residential Door (skin)" prepared by Hurricane Engineering & Testing Inc, Test Report No. **HETI 03-T078**, dated 10/31/2003, signed and sealed by Rafael E. Droz-Seda, P.E.

"Submitted under NOA # 03-0210.04"

7. Test report on Salt Spray (Corrosion) Test per ASTM B 117 of a painted G-40 steel panels, prepared by Celotex Corporation, Test Report No. **258592**, dated 08/17/1998, signed by W. A. Jackson, P.E.


02/22/2012

Carlos M. Utrera, P.E.
Product Control Examiner
NOA No. 12-0110.08
Expiration Date: July 21, 2015
Approval Date: March 1, 2012

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

C. CALCULATIONS

1. Anchor verification calculations prepared by Al-Farooq Corporation, complying with F.B.C 2007, dated 04/05/2011, signed and sealed by Javad Ahmad, P.E.

"Submitted under NOA # 09-0128.01"

2. Anchor verification calculations prepared by Al-Farooq Corporation, complying with F.B.C 2007, dated 12/18/2008, signed and sealed by Humayoun Farooq, P.E.

D. QUALITY ASSURANCE

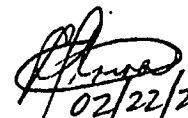
1. Miami-Dade Department of Permitting, Environment, and Regulatory Affairs (PERA)

E. MATERIAL CERTIFICATIONS

1. Notice of Acceptance No. **08-0305.02**, issued to SABIC Innovative Plastics, for their Lexan Sheet Products, approved on 04/24/2008 and expiring on 07/17/2013.
2. Notice of Acceptance No. **07-1016.07**, issued to Insulfoam, LLC, for their Insulfoam Expanded Polystyrene Insulation, approved on 11/29/2007 and expiring on 11/29/2012.
3. Notice of Acceptance No. **11-0926.07**, issued to Dyplast Products, LLC, for their Expanded Polystyrene Block Type Insulation, approved on 11/10/2011 and expiring on 01/11/2017.
4. Notice of Acceptance No. **11-0926.06**, issued to Dyplast Products, LLC, for their Dyplast ISO-C1 Polyisocyanurate Insulation, approved on 11/10/2011 and expiring on 01/11/2017.

F. STATEMENTS

1. Statement letter of code conformance to FBC 2010 and no financial interest issued by Al-Farooq Corporation, dated 10/25/2011, signed and sealed by Javad Ahmad, P.E.



02/22/2012

Carlos M. Utrera, P.E.

Product Control Examiner

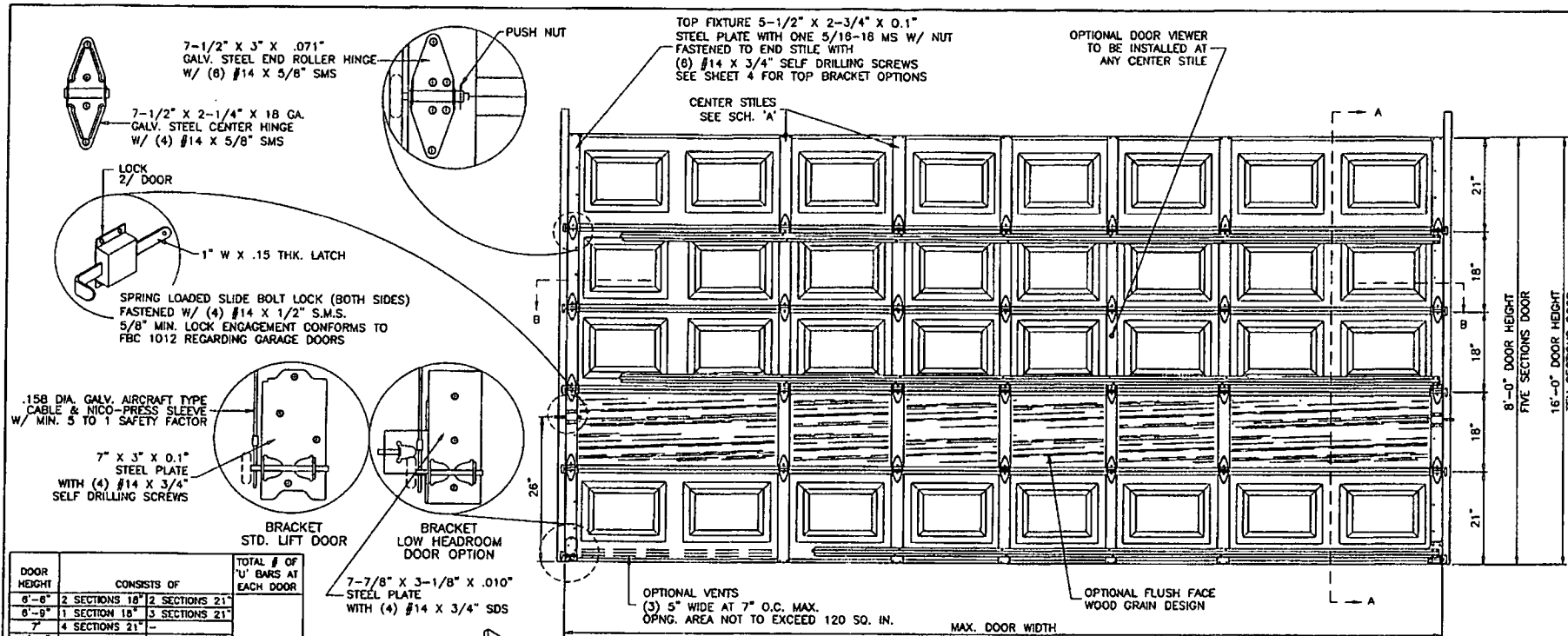
NOA No. 12-0110.08

Expiration Date: July 21, 2015

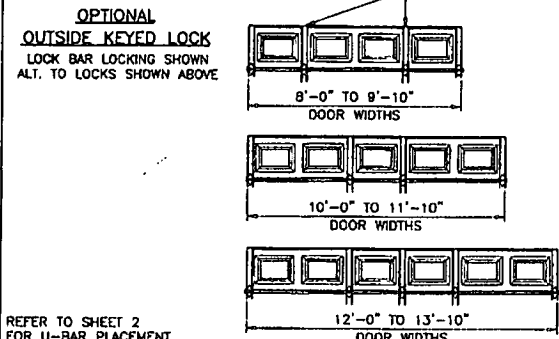
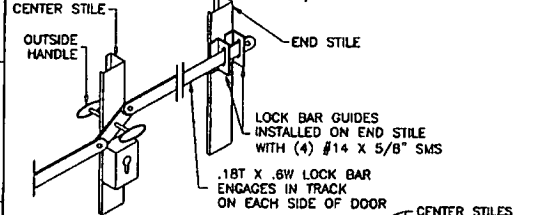
Approval Date: March 1, 2012

NO.	DATE	DESCRIPTION	BY
D	05.23.06	REV. PER BCOO COMMENTS	
E	12.10.08	UPDATED FOR 2007 FBC	
F	01.06.10	ENGR. NAME CHANGED	
G	02.18.11	GENERAL REVISION	
H	10.13.11	UPDATED TO 2010 FBC	

date:	02-23-98	drawing no.	98-05
scale:	1/2" = 1'-0"	sheet	1 of 6
dr. by:	HAUD		
chk. by:			



DOOR HEIGHT	CONSISTS OF		TOTAL # OF U-BARS AT EACH DOOR
8'-0"	2 SECTIONS 18"	2 SECTIONS 21"	3
8'-9"	1 SECTION 18"	3 SECTIONS 21"	
7'	4 SECTIONS 21"	-	
7'-3"	-	-	
7'-6"	5 SECTIONS 18"	-	
7'-9"	4 SECTIONS 18"	1 SECTION 21"	
8'	3 SECTIONS 18"	2 SECTIONS 21"	
8'-3"	2 SECTIONS 18"	3 SECTIONS 21"	
8'-6"	1 SECTION 18"	4 SECTIONS 21"	
8'-9"	5 SECTIONS 21"	-	
9'	6 SECTIONS 18"	-	
9'-3"	5 SECTIONS 18"	1 SECTION 21"	
9'-6"	4 SECTIONS 18"	2 SECTIONS 21"	
9'-9"	3 SECTIONS 18"	3 SECTIONS 21"	
10'	2 SECTIONS 18"	4 SECTIONS 21"	
10'-3"	1 SECTION 18"	5 SECTIONS 21"	
10'-6"	6 SECTIONS 21"	-	
10'-9"	5 SECTIONS 18"	1 SECTION 21"	
11'	4 SECTIONS 18"	2 SECTIONS 21"	
11'-3"	3 SECTIONS 18"	3 SECTIONS 21"	
11'-6"	2 SECTIONS 18"	4 SECTIONS 21"	
11'-9"	1 SECTION 18"	5 SECTIONS 21"	
12'	7 SECTIONS 21"	8 SECTIONS 21"	
12'-3"	6 SECTIONS 18"	2 SECTIONS 21"	
12'-6"	5 SECTIONS 18"	3 SECTIONS 21"	
12'-9"	4 SECTIONS 18"	4 SECTIONS 21"	
13'	3 SECTIONS 18"	5 SECTIONS 21"	
13'-3"	2 SECTIONS 18"	6 SECTIONS 21"	
13'-6"	1 SECTION 18"	7 SECTIONS 21"	
13'-9"	8 SECTIONS 21"	-	
14'	3 SECTIONS 18"	5 SECTIONS 21"	
14'-3"	2 SECTIONS 18"	6 SECTIONS 21"	
14'-6"	1 SECTION 18"	7 SECTIONS 21"	
14'-9"	4 SECTIONS 18"	5 SECTIONS 21"	
15'	3 SECTIONS 18"	6 SECTIONS 21"	
15'-3"	2 SECTIONS 18"	7 SECTIONS 21"	
15'-6"	1 SECTION 18"	8 SECTIONS 21"	
15'-9"	9 SECTIONS 21"	-	
16'	8 SECTIONS 18"	4 SECTIONS 21"	



INSIDE ELEVATION
RAISED PANEL EMBOSSED DOOR

THIS PRODUCT IS RATED FOR LARGE MISSILE IMPACT

SCHEDULE 'A'

DOOR WIDTHS	# OF CENTER STILES
8'-0" TO 9'-10"	2
10'-0" TO 11'-10"	2
12'-0" TO 13'-10"	3
14'-0" TO 15'-10"	4
15'-11" TO 16'-2"	5

DAB DOORS INC.
Hurricane Master® Model 824/811
Max. Size 16'-2" X 16'-0" High
With Window Lite Option

DESIGN PRESSURE RATING = + 48.0 PSF
- 52.0 PSF

GENERAL NOTES

- THIS PRODUCT HAS BEEN DESIGNED AND TESTED TO COMPLY WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 2010 EDITION INCLUDING HIGH VELOCITY HURRICANE ZONE.
- ANCHORS SHALL BE AS LISTED, SPACED AS SHOWN ON DETAILS. ANCHOR EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR STUCCO.
- ALL BOLTS, NUTS AND WASHERS SHALL BE ZINC PLATED CARBON STEEL.
- ANCHORING OR LOADING CONDITIONS OTHER THAN THOSE SHOWN IN THESE DETAILS ARE NOT PART OF THIS APPROVAL.
- A LOAD DURATION INCREASE IS USED IN DESIGN OF ANCHORS INTO WOOD ONLY.

Engr: **NAVAD AHMAD**
CIVIL
FLA. PE. # 70592
C.A.N. 3539

date: **NOV 07 2011**

PRODUCT REVISED
as complying with the Florida Building Code
Acceptance No **12-0110,08**
Expiration Date **07/21/2015**

By **[Signature]**
Miami Trade Product Control

REFER TO SHEET 2 FOR U-BAR PLACEMENT

SECTION 4									
SECTION 3									
SECTION 2									
SECTION 1									

4 SECTION DOOR
HEIGHT RANGE 6'-0" TO 7'-0"
(3) U-BARS

SECTION 5									
SECTION 4									
SECTION 3									
SECTION 2									
SECTION 1									

5 SECTION DOOR
HEIGHT RANGE 7'-0" TO 8'-0"
(3) U-BARS

SECTION 6									
SECTION 5									
SECTION 4									
SECTION 3									
SECTION 2									
SECTION 1									

6 SECTION DOOR
HEIGHT RANGE 8'-0" TO 10'-3"
(5) U-BARS

SECTION 7									
SECTION 6									
SECTION 5									
SECTION 4									
SECTION 3									
SECTION 2									
SECTION 1									

7 SECTION DOOR
HEIGHT RANGE 10'-3" TO 12'-3"
(5) U-BARS

SECTION 6									
SECTION 4									
SECTION 3									
SECTION 2									
SECTION 1									

5 SECTION DOOR
HEIGHT RANGE 8'-0" TO 8'-0"
(5) U-BARS

SECTION 6									
SECTION 5									
SECTION 4									
SECTION 3									
SECTION 2									
SECTION 1									

6 SECTION DOOR
HEIGHT RANGE 10'-0"
(5) U-BARS

SECTION 8									
SECTION 7									
SECTION 6									
SECTION 5									
SECTION 4									
SECTION 3									
SECTION 2									
SECTION 1									

8 SECTION DOOR
HEIGHT RANGE 12'-0" TO 13'-3"
(5) U-BARS

SECTION 9									
SECTION 8									
SECTION 7									
SECTION 6									
SECTION 5									
SECTION 4									
SECTION 3									
SECTION 2									
SECTION 1									

9 SECTION DOOR
HEIGHT RANGE 14'-3" TO 15'-0"
(9) U-BARS

SECTION 6									
SECTION 7									
SECTION 8									
SECTION 5									
SECTION 4									
SECTION 3									
SECTION 2									
SECTION 1									

8 SECTION DOOR
HEIGHT RANGE 13'-0" TO 14'-0"
(9) U-BARS

SECTION 10									
SECTION 9									
SECTION 8									
SECTION 7									
SECTION 6									
SECTION 5									
SECTION 4									
SECTION 3									
SECTION 2									
SECTION 1									

10 SECTION DOOR
HEIGHT RANGE 15'-0"
(9) U-BARS

Engr. JAWAD AHMED
CIVIL 78582
FLA. REG. NO. 12-2116-08
C.A.M. INC.
NOV 07 2011

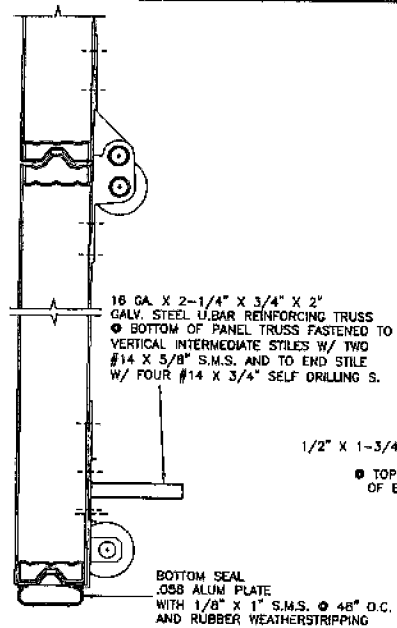
PRODUCT REVISED
in compliance with the Florida
Building Code No. 12-2116-08
Expenditure Date 12/21/2011
By: [Signature]
Mutual Code Product Control

date: 02-23-98
scale: 1/2"=1'-0"
dr. by: HAWD
chk. by:

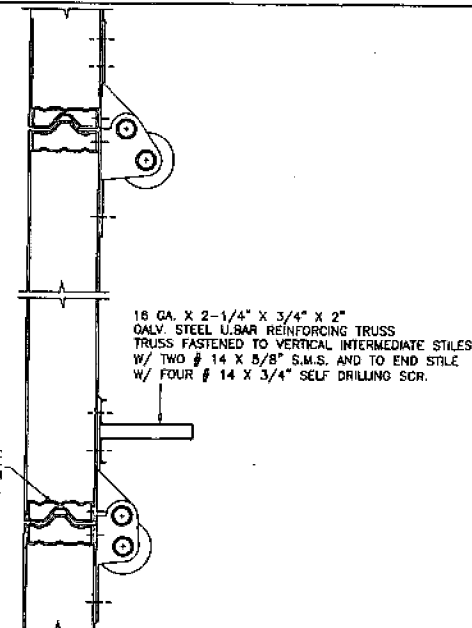
revisions:			
no	date	by	description
C	02.16.11		GENERAL REVISION
H	10.13.11		NO CHANGE THIS SHEET

24 GA. ROLL FORMED STEEL SECTIONAL GARAGE DR.
DAB DOORS INC.
12195 N.W. 98 TH. AVE.
HIALEAH GARDENS, FL. 33018
TEL. (305) 556 - 6624

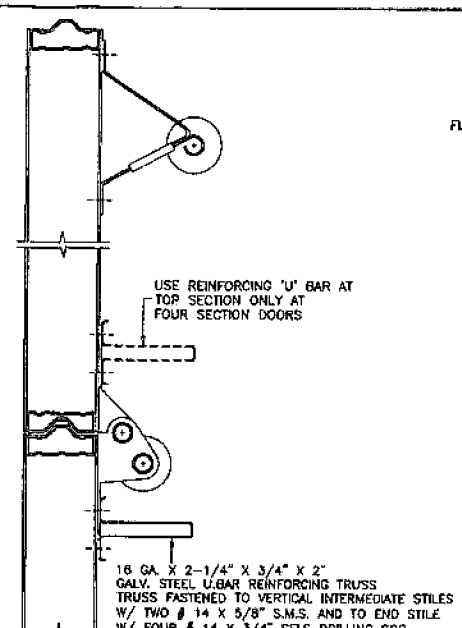
AL-FAROOQ CORPORATION
ENGINEERS & PRODUCT DEVELOPMENT
1235 S.W. 87 AVE
MIAMI, FLORIDA 33174
TEL. (305) 264-8100 FAX. (305) 262-6978
GARAGE 98-05DAB



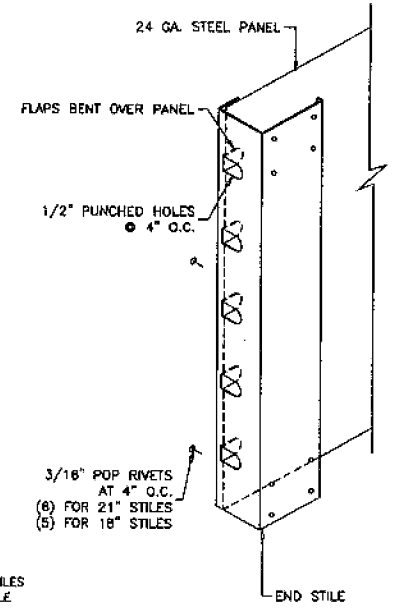
**1ST SECTION (BOTTOM)
REINFORCING**



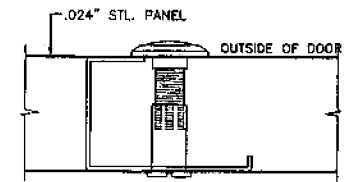
**INTERMEDIATE SECTIONS
REINFORCING**



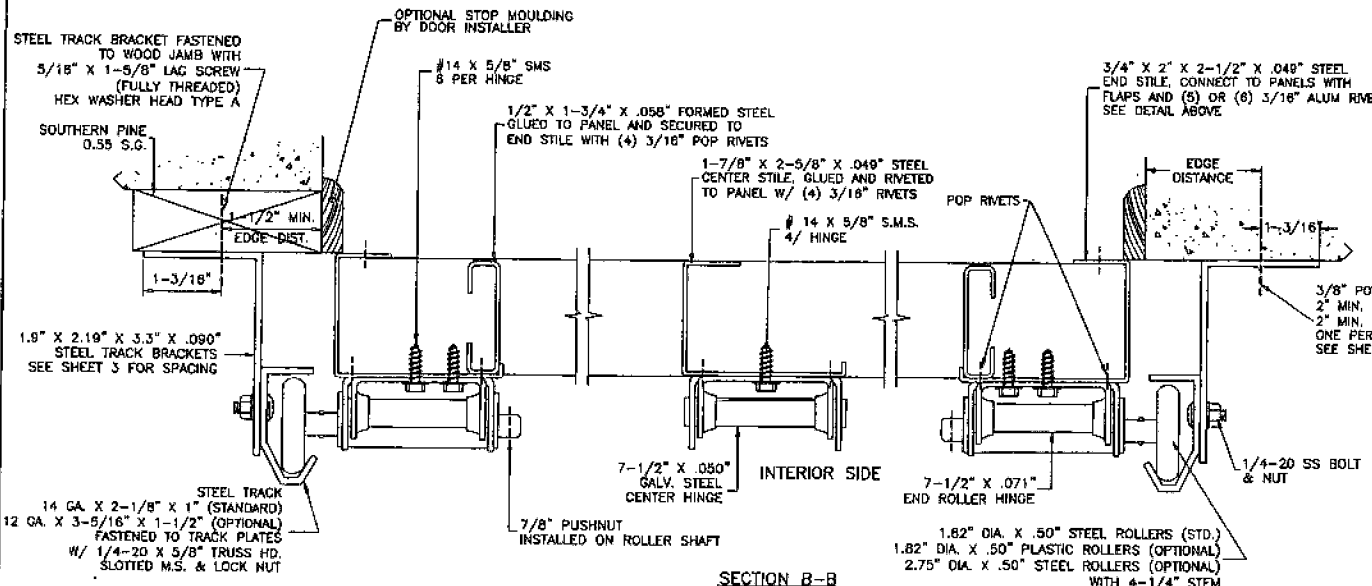
TOP SECTION



3/16" POP RIVETS
AT 4" O.C.
(6) FOR 21" STILES
(5) FOR 18" STILES



SOLID BRASS DOOR VIEWER
BY 'SCHLAGE SECURITY HARDWARE'
INSTALLED IN 9/16" DIA. HOLES IN CENTER STILE
POSITIONED AT EYE LEVEL



SECTION B-B

Engr. JAVAD AHMAD
OVL
FLA. PE # 70592
C.A.N. 0539
NOV 07 2011

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No. 12-0110-08
Expiration Date 07/11/2015
By: [Signature]
Miami Title Product Control

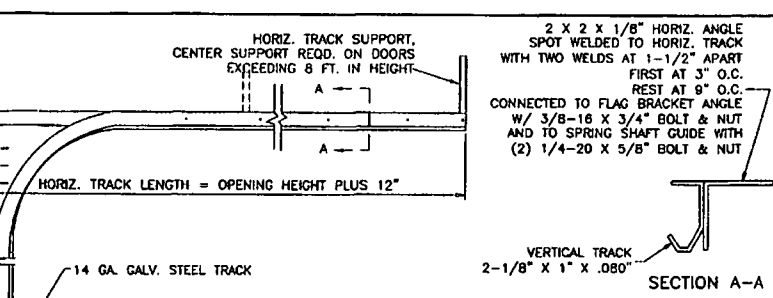
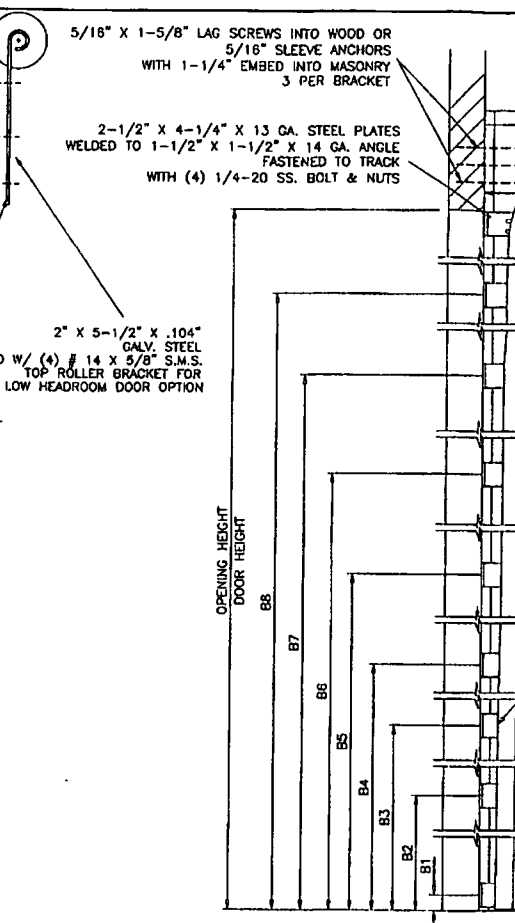
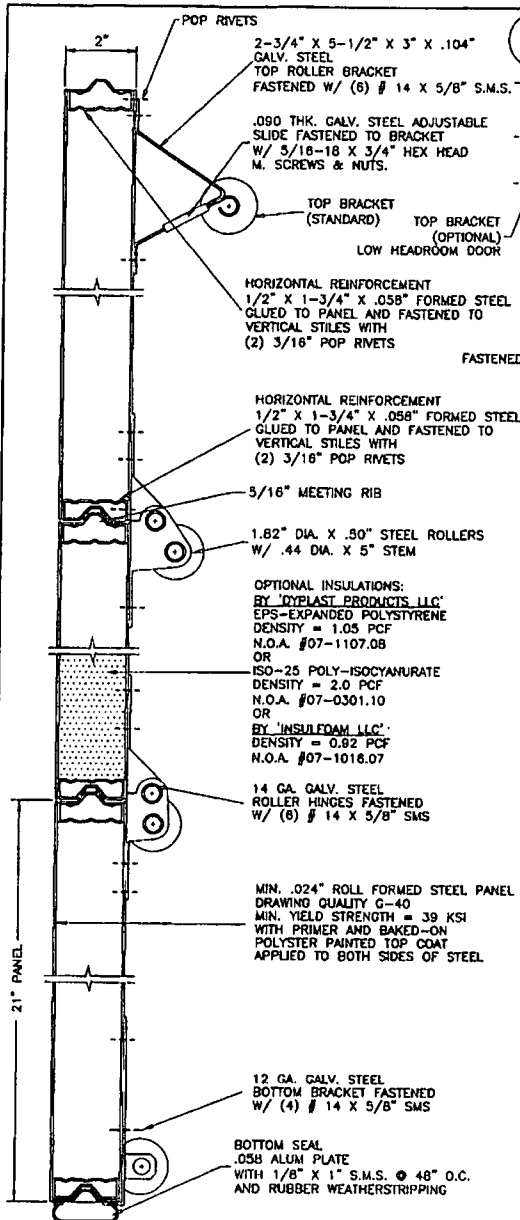
af c
AL-FAROOQ CORPORATION
ENGINEERS & PRODUCT DEVELOPMENT
12361 S.W. 67 AVE
MIAMI, FLORIDA 33174
TEL. (305) 264-8100 FAX. (305) 262-8978
GARAGE 98-0504B

24 GA. ROLL FORMED STEEL SECTIONAL GARAGE DR.
DAB DOORS INC.
12195 N.W. 98 TH. AVE.
HIALEAH GARDENS, FL. 33018
TEL. (305) 556 - 6624

REV. NO.	DATE	BY	DESCRIPTION
D	05/26/08		REV. PER BIDD COMMENTS
E	12/10/08		UPDATED FOR 2007 FBC
F	01/06/10		ENGR. NAME CHANGED
G	02/16/11		GENERAL REVISION
H	10/13/11		NO CHANGE THIS SHEET

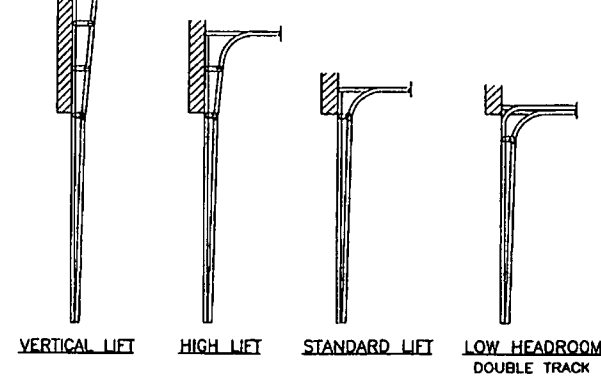
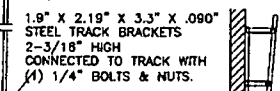
date: 02-23-08
scale: -
dr. by: HAMID
chk. by:

drawing no.
98-05
sheet 3 of 6



DOOR HEIGHT	SECTION HEIGHTS					BRACKET PLACEMENTS							
	1ST	2ND	3RD	4TH	5TH	B1	B2	B3	B4	B5	B6	B7	B8
6'-0"	18"	18"	18"	18"	N/A	1"	11-3/4"	23"	34"	45"	56"	67"	-
6'-6"	21"	18"	18"	21"	N/A	1"	11-3/4"	23"	34"	45"	56"	67"	-
7'-0"	21"	21"	21"	21"	N/A	1"	11-3/4"	23"	34"	45"	56"	67"	-
7'-6"	18"	18"	18"	18"	18"	1"	11-3/4"	23"	34"	45"	56"	67"	78-1/4"
8'-0"	21"	18"	18"	18"	21"	1"	11-3/4"	23"	34"	45"	56"	67"	78-1/4"

*-SECTIONS ARE NUMBERED STARTING AT THE BOTTOM FOR DOORS MORE THAN 8 FT. HIGH, USE ADDITIONAL TRACK BRACKETS AT 10" O.C.



AVAILABLE TRACK OPTIONS

Engr. JAVAD AHMAD
 CIVIL
 FLA. PE # 70592
 C.A.N. 3538

date: 02-23-08
 project: -
 dr. by: JAVAD
 chg. by:

PRODUCT REVISED as complying with the Florida Building Code
 Acceptance No. 12-0119.08
 Expiration Date 2/21/2015

By: [Signature]
 Miami Trade Product Control

SECTION A-A
 SEE SHEET 2 FOR LOCATION OF REINFORCING TRUSSES

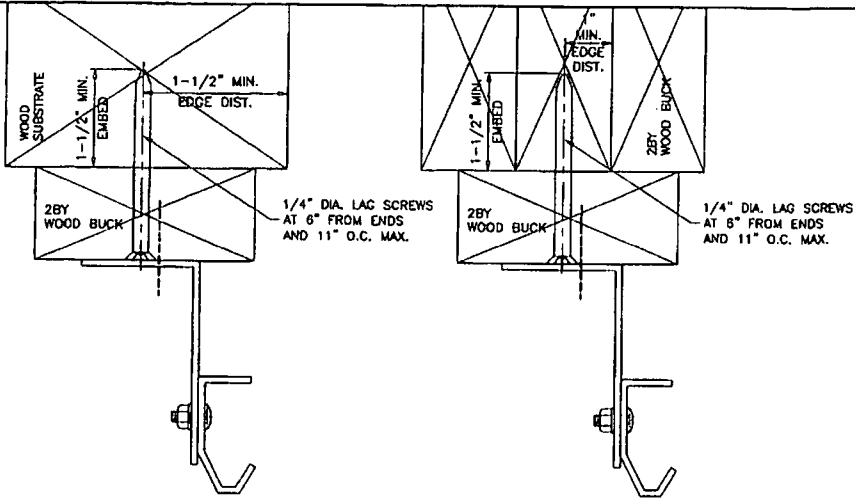
AL-FAROOQ CORPORATION
 ENGINEERS & PRODUCT DEVELOPMENT
 1239 S.W. 87 AVE
 MIAMI, FLORIDA 33174
 TEL. (305) 264-9100 FAX. (305) 262-6978
 GARAGE 98-05DAB

24 GA. ROLL FORMED STEEL SECTIONAL GARAGE DR.
DAB DOORS INC.
 12195 N.W. 98 TH. AVE.
 HIALEAH GARDENS, FL 33018
 TEL. (305) 556 - 6624

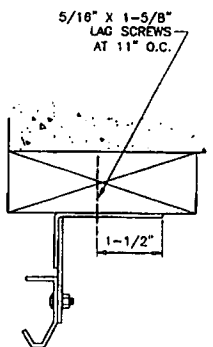
Revisions:

NO.	DATE	DESCRIPTION
D	04.20.05	REV. PER BIDD COMMENTS
E	12.10.06	UPDATED FOR 2007 FBC
F	01.04.10	ENGR. NAME CHANGED
G	02.11.11	GENERAL REVISION
H	10.13.11	NO CHANGE THIS SHEET

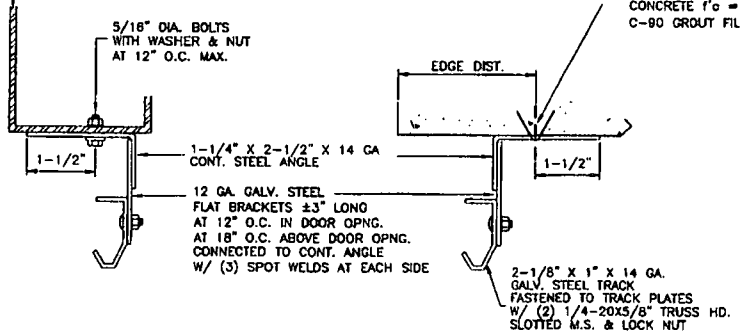
drawing no. 98-05
 sheet 4 of 6



WOOD BUCK CONNECTION TO WOOD SUBSTRATE



STEEL STRUCTURE BY OTHERS MUST SUPPORT THE LOADS IMPOSED BY DOOR SYSTEM



ANCHORS	STRUCTURE	EMBED	SPACING	EDGE DIST.
3/8" HLC SLEEVE BY 'HILTI'	CONC.	1-1/4"	8"	2"
3/8" HLC SLEEVE BY 'HILTI'	FILLED BLOCK	1-1/4"	8"	4"
3/8" DYNABOLT BY 'ITW'	CONC.	1-1/2"	8"	3"
1/2" DYNABOLT BY 'ITW'	FILLED BLOCK	1-7/8"	8"	4"
3/8" POWER-BOLT BY 'POWERS'	CONC.	2"	8"	2"
3/8" SLEEVE-ALL BY 'SIMPSONS'	CONC.	1-1/2"	8"	3"

CONCRETE f'c = 3000 PSI MIN.
C-90 GROUT FILLED BLOCK f'm = 2000 PSI MIN.

WOOD FRAME BUILDINGS

STUD WALLS OR DOOR OPENING (NOT BY DAB DOORS) SHALL BE FRAMED SOLID BY NOT LESS THAN (3) 2X8 PRESSURE TREATED GRADE 2 SYP OR BETTER WOOD STUDS.
STUD WALLS TO BE CONT. FROM FOOTING TO THE BEAM. ENGINEER OF RECORD TO VERIFY ADEQUACY OF THE SUPPORTING STRUCTURE.

WOOD BUCK CONNECTION TO MASONRY

TRACK SHALL BE SECURED WITH CONT. STEEL ANGLE TO PRESSURE TREATED 2X8 SYP WOOD JAMBS WHICH SHALL BE ANCHORED TO GROUTED REINFORCED MASONRY BLOCK WALL OR CONC. COLUMN WITH

1/4" ULTRACON BY 'ELCO' WITH SPACING OF 12" O.C. INTO BLOCK WALL, WITH 2-1/4" MIN. EMBED 9" O.C. INTO 3000 PSI CONCRETE, WITH 1-3/4" MIN. EMBED 2-1/2" MIN. EDGE DISTANCE

1/4" TAPPER BY 'POWERS' WITH SPACING OF 8" O.C. INTO BLOCK WALL, WITH 1-1/2" MIN. EMBED 9" O.C. INTO 3000 PSI CONCRETE, WITH 1-3/4" MIN. EMBED 3" MIN. EDGE DISTANCE

3/8" COMPLEX BY 'ELCO' OR 3/8" LDT BY 'ITW' WITH SPACING OF 21" O.C. INTO 3000 PSI CONCRETE, WITH 2-1/2" MIN. EMBED 3" MIN. EDGE DISTANCE

3/8" HLC SLEEVE BY 'HILTI' WITH SPACING OF 10" O.C. INTO BLOCK WALL, WITH 1-1/4" MIN. EMBED, 4" MIN. EDGE DIST. 11" O.C. INTO 3000 PSI CONCRETE, WITH 1-1/4" MIN. EMBED AND 2-1/2" MIN. EDGE DISTANCE

THE BLOCK WALL CELLS SHALL BE GROUT FILLED AND REINFORCED WITH FOUR # 5 BARS EXTENDING INTO FOOTING AND INTO THE BEAMS ALL BARS SHALL BE CONTINUOUS FROM THE BEAMS TO FOOTING.

PREPARATION OF JAMBS BY OTHERS

af c
AL-FAROOQ CORPORATION
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revisions:	not date	by description
D	04.30.04	REV. PER BIDD COMMENTS
E	12.10.08	UPDATED FOR 2007 FBC
F	01.06.10	ENGR. NAME CHANGED
G	02.16.11	GENERAL REVISION
H	10.13.11	NO CHANGE THIS SHEET

Engr: JAVAD AHMAD
 CIVIL
 FLA. P.E. # 73592
 C.A.M. 1633
 NOV 07 2011

PRODUCT REVISED
 as complying with the Florida Building Code
 Acceptance No. 12-0110-08
 Expiration Date 07/21/2015
 By: [Signature]
 Miami Product Control

date: 02-23-98
 scale: -
 dr. by: HAMD
 chn. by:
 drawing no.
98-05
 sheet 5 of 6

TOWN OF SEWALL'S POINT

Building Department – Inspection Log

Date of Inspection Mon Tue Wed Thur Fri 9/25/14 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11016	Serls 4 River Oak Place	Slab	Pass	
	Electric Connections			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
Tree Removal	Potter 4 Perriwinkle Circle	Tree Removal	OK	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11001	Seaman 104 S River Road Monterey Const:	Final Garage Door	Pass	Comments
				INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
Tree Removal	Raskin 144 N. SPR	Tree Removal	OK	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
10935	Haramis 172 S River Rd J Conroy, Inc.	Beams + Columns UPPER MEAN	Pass	
				INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
	DARROWS 7 OAK HILL WAY JMC CON. CO.	REINSPECT A/E INSULATION	Pass	
				INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

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TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Permit # _____

Date Issued _____

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified as to height and name, common or botanical. Groups of trees may be designated as clumps with an estimated size and number, etc..

Owner FRANCIS ZACCHEO Present Address 104 S. River Rd Phone 287-3577

Contractor SELF Address 104 S. River Rd. Phone 287-3577

Number of trees to be removed Sequoia Tree in way on new
Construction

Number of trees to be relocated within 30 days (no fee) 9-Tall Sable Palms

Number of trees to be replaced within 30 days 9-SABLE PALMS

Permit Fee: \$ None (\$5. for 1st tree, plus \$1. each additional tree - not to exceed \$25.)

(No permit fee for trees which are relocated on property or lie within a utility easement and are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted Plans approved as marked

Permit good for one (1) year. Fee for renewal of expired permit is \$5.

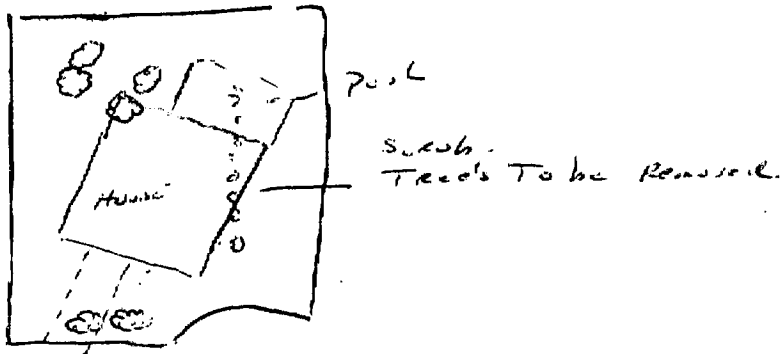
Signature of Applicant _____ Date submitted _____

Approved by Building Inspector J. Maggione Date 2/18/83

Approved by Building Commissioner _____ Date _____

Completed _____
Date _____ Checked by _____

PALM
TREES



Lot-10.
Street Address. 3 worth Coact.

TOWN OF SEWALL'S POINT, FLORIDA

Date May 13 2005 TREE REMOVAL PERMIT No 2480

APPLIED FOR BY Wm Seaman (Contractor or Owner)

Owner 104 S River Rd

Sub-division _____, Lot _____, Block _____

Kind of Trees Queen Palm

No. Of Trees: REMOVE 3

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS Damaged from Hurricane

Signed, [Signature] Applicant Signed, Gene Simons (shj) Town Clerk FEE \$ 1500

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Blank lined area for drawing or site plan.

PROJECT DESCRIPTION _____

Blank lined area for project description details.

REMARKS _____

Blank lined area for remarks.

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than two inches.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeve, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Wm Seaman Address 104 So River Rd Phone 287-7276

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 3 Type: Queen Palm

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: Damaged from Hurricane

Signature of Property Owner William Seaman Date 5/12/08

Approved by Building Inspector: [Signature] Date 5/13 Fee: 0

Plans approved as submitted _____ Plans approved as revised/marked: _____

