

106 South River Road

Permit No. 1196

Date AUG. 13, 1980

APPLICATION FOR A PERMIT TO BUILD A HOUSE OR COMMERCIAL BUILDING

This application must be accompanied by three sets of complete plans, to scale, (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections; plumbing, electrical and air-conditioning layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house or commercial building construction.

Owner ROBERT & RITA HERRICK Present address 14 PALM COURT

Phone 283-0604 SEWALL'S POINT, FLA.

General contractor AVALON CONST. of Pt. St. Lucie Address 2301 WEST ST.

Phone 878-2946 PORT ST. LUCIE, FLA.

Where licensed FLA. STATE CERT. License No. _____

Plumbing contractor Ken Stone License No. #55 MARTIN COUNTY

Electrical contractor CHARLES LAWRENCE License No. #796 - St. Lucie County

Air-conditioning contractor CUSTOM AIR License No. HC 0036557

Describe the building, or alteration to existing building NEW SINGLE FAMILY

RESIDENCE - 3 BR. RM - 2 BATH - 2 CAR GARAGE

Name the street on which the building, its front building line and its front yard will face #106 SOUTH RIVER ROAD

Subdivision RIO VISTA Lot No. 44 Area 16,000 SQ. FT.

Building area, inside walls (excluding garage, carport, porches, pools, etc.)...square feet 2,088 SQ. FT.

Contract price (excluding land, carpeting, appliances, landscaping, etc.) \$ 73,080.⁰⁰

Cost of permit \$ _____ Plans approved as submitted _____ or, as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the building for which this permit is issued must be completed within that time and in accordance with the approved plans. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. I agree that the building site will be clean and rough-graded before a Certificate of Occupancy is sought, and, moreover, that I shall be responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply with the above requirements may result in a Building Inspector or a Town Commissioner "Red-tagging" the building project.

Contractor [Signature]

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood, as required by the Town's zoning ordinance.

Owner [Signature]

Note: Speculation in the sale of building lots will be required to sign both of the above statements.

TOWN RECORD

Date submitted _____

Approved by Building Inspector (date) [Signature] 8/19/80

Inspector's initials [Signature]

Approved by Town Commissioner (date) 8/19/80

Commissioner's initials [Signature]

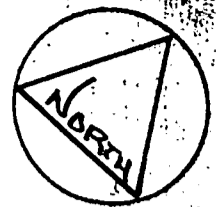
Issued (date) 1/21/81

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinance regarding building Model Energy Code.

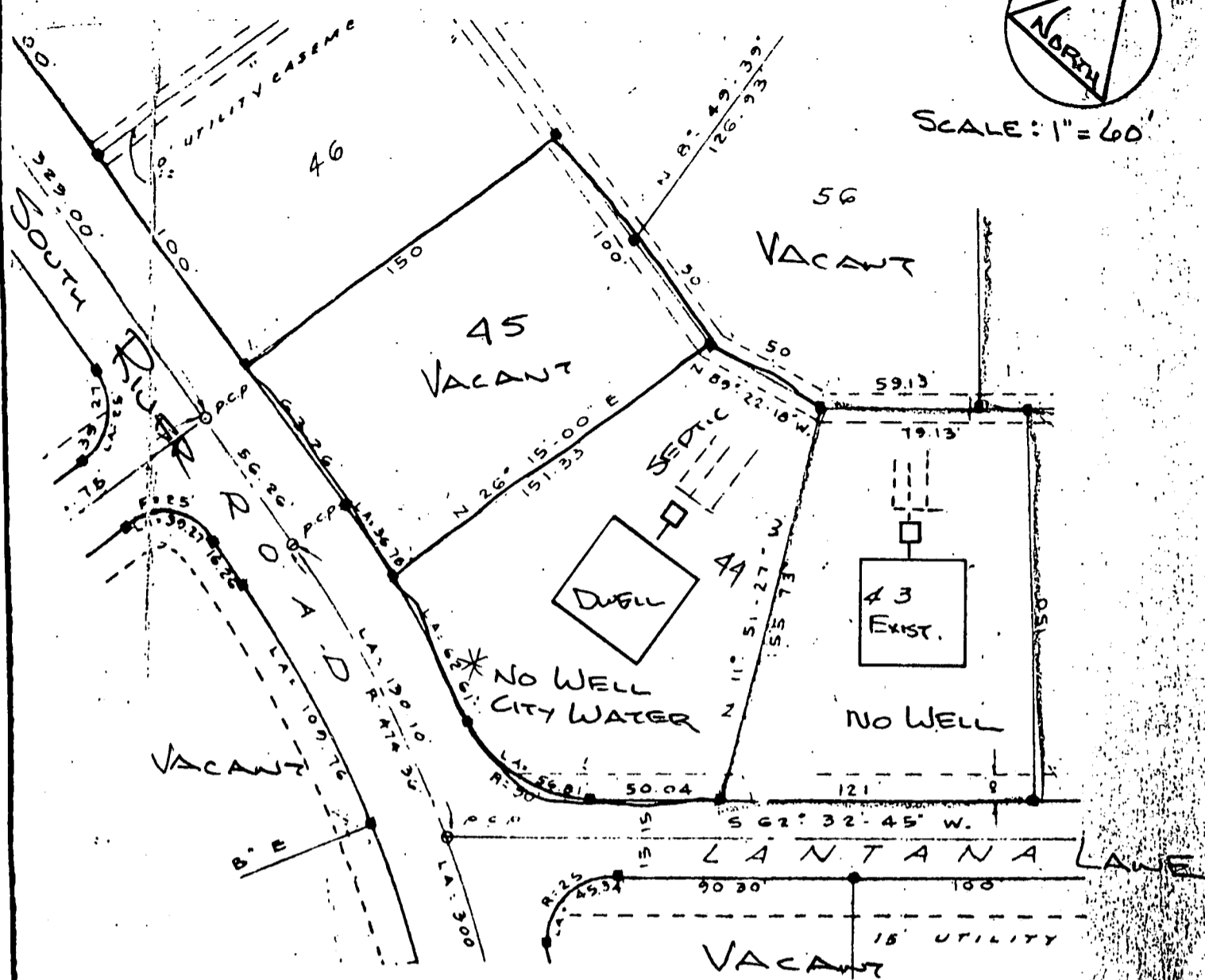
Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinance, the South Florida Building Code and the State of Florida Model Energy Building Code.

1196

1196



SCALE: 1" = 60'



PREPARED BY:
 PRICE ENGINEERING CO.
 STUART, FLORIDA

PREPARED FOR:
 ROBERT HERRICK

- PLOT PLAN -

- DESCRIPTION -

"RIO VISTA S/O"
 BEING KNOWN AS LOT 44 BLOCK -
 AS RECORDED IN PLAT BOOK 6
 PAGE 95, PUBLIC RECORDS OF
 MARTIN COUNTY, FLA.



STATE OF FLORIDA DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

APPLICATION FOR SEPTIC TANK PERMIT AND FINAL INSPECTION FORM

Authority: Chapter 381, 386, 387, FS Chapter 10D-6, FAC

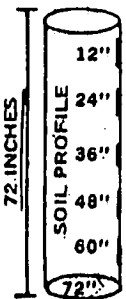
DATE Permit Number HD 80-305 Price Engineering Co. 1320 Palm Beach Road Stuart, Florida For: Name of Applicant ROBERT HERRICK Telephone No. 283-0604 Mailing Address of Applicant 14 PALM COURT, JENKIN BEACH To Be Installed At: (Give Street Address)* SOUTH RIVER ROAD Lot No. 44 Block No. Subdivision RIVISTA Plat-Book 6 Page 95 Date Recorded Size of Lot: 100'± By 150'± No. Living Units 1 No. Bedrooms 3 No. People Type of Business No. Toilets No. Wash Basins No. Employees Total Square Feet in Building 2000'±

Signature of Applicant Ronald J. Price P.E.#17788

SITE INFORMATION

Distance to Sanitary Sewer N/A Distance to Stream, Lake, Canal N/A Distance to Public Water Supply N/A Distance to Private Well(s) 75' MIN. Rainfall Data: MARCH, 1980 Is Area Subject to Flooding? No Does Site have Good Natural Drainage? YES Which Way Does Lot Drain? FRONT Any Perimeter Ditches? NO Depth of Ditches Is there Standing Water in Ditches? Depth of Water in Ditches Distance to Nearest Residence (North East 75' South West) Are Buildings in this Area on: Septic Tanks X Sand Filters Other Any Known Drainfield Failures in this Area NO

SOIL PROFILE AND PERCOLATION DATA



WHITE SAND 72" Water Table At 72" inches Wet season water table Hard Pan At inches Clay At inches 72" inches Muck At inches Other At inches Soil Classification: SANDY Percolation Rate: 1 MIN/INCH Compacted Fill of 0

INSTALLATION SPECIFICATIONS

Septic Tank Capacity: 900 Drain Tile (Linear Ft.): Dosing Tank Capacity: Sand Filter Size: (Sq. Ft.) Grease Trap Capacity: Absorbtion Bed Size: (Sq. Ft.) 255 Perforated Pipe: (Linear Ft.) Lateral Drainfield Size: (Sq. Ft.) Other Specifications:

Reg'd Compact Fill Check By: Date

RECOMMENDATION: Approval [X] Disapproval

Permit well or septic system is installed in a location other than area permitted. PRIOR HEALTH DEPARTMENT APPROVAL REQUIRED

4-23-80 Date Processed

THIS PERMIT EXPIRES ONE YEAR FROM DATE OF ISSUANCE

Signature of Sanitarian

MARTIN County Health Department

FINAL INSPECTION DATA

Date and Time of Inspection Type of Tank (Concrete, Fiberglass, Etc.) Size Tank Installed Drainfield Size No. Tile Feet Dosing Tank Size Grease Trap Size Sand Filter Size Who Made Installation

RECOMMENDATION: Approval [] Disapproval []

Signature of Sanitarian



FLORIDA MODEL ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

BOB GRAHAM
GOVERNOR

SECTION 9
POINTS METHOD

GOVERNOR'S ENERGY OFFICE
LEX HESTER, DIRECTOR

PREPARED BY: BRABHAM KUHNS DEBAY-CONSULTING ENGINEERS

PROJECT NAME AND NUMBER	LOT 44 RIO VISTA SUB-DIV
BUILDER OWNER	AJALON ROBERT HEERICK

STATISTICAL DATA									
ZONE:	FLOOR AREA	ROOF R-VALUE	HEATING SYSTEM TYPE						
8	2018 sqft.	R- 19	STRIP: <input checked="" type="checkbox"/>	HT.PUMP: <input type="checkbox"/>	GAS: <input type="checkbox"/>	OIL: <input type="checkbox"/>	SOLAR: <input type="checkbox"/>		
EPI	WALL AREA	WALL R-VALUE	HOT WATER SYSTEM TYPE						
90.31	1431 sqft.	R- 11	ELECTRIC: <input checked="" type="checkbox"/>	HT. REC.: <input type="checkbox"/>	GAS: <input type="checkbox"/>	OIL: <input type="checkbox"/>	SOLAR: <input type="checkbox"/>		
A/C SYSTEM	GLASS AREA	WALL CONSTRUCTION	NUMBER OF UNITS PER STRUCTURE						
EER- 7.3	320 sqft.	CBS: <input type="checkbox"/>	FRAME: <input checked="" type="checkbox"/>	SING.FAM: <input checked="" type="checkbox"/>	DUPLEX: <input type="checkbox"/>	TRIPLEX: <input type="checkbox"/>	OVER 3: <input type="checkbox"/>		
THIS DATA TO BE SENT TO THE GOVERNOR'S ENERGY OFFICE									

TOTAL HOUSE POINTS	CERTIFIED BY	<i>The Home Inspection Buck Denton</i>
EPI- 90.31	DATE	8-15-80
Fewer total points mean greater energy savings.		

SOLAR WATER HEATER CALCULATION		
NUMBER OF BEDROOMS IN HOUSE		
HOT WATER TANK CAPACITY		
TANK CAPACITY PER BEDROOM (= tank capacity ÷ number of bedrooms)		
DCR OF COLLECTOR (daily collection rate in Btu's at 122°F, from Mfr. data)		
DCR PER BEDROOM (=DCR ÷ number of bedrooms)		
HOT WATER POINTS (from table 9c)		
Attach copy of collector rating certificate. Collector must be mounted within 30° of south.		

HEAT RECOVERY UNIT CALCULATION		
NUMBER OF BEDROOMS IN HOUSE		
HOT WATER TANK CAPACITY		
TANK CAPACITY PER BEDROOM (= tank capacity ÷ number of bedrooms)		
HRU CERTIFIED RATING (In Btuh per ton)		
BACK-UP SYSTEM (electric or gas)		
HOT WATER POINTS (from table 9c)		
Attach copy of HRU's rating certificate indicating output in Btuh/ton when operating with proposed A/C system.		

Checked by J...

FLORIDA MODEL ENERGY EFFICIENCY CODE

FOR BUILDING CONSTRUCTION

HOUSE POINTS CALCULATION

FORM 900-789

ZONES-789

WINTER				GROSS WINTER POINTS	SUMMER				GROSS SUMMER POINTS
COMPONENT	AREA	x	WPM		COMPONENT	AREA	x	SPM	

WALLS	CONCRETE BLOCK		R0-2.9	10.9				24.8	
			R3-3.9	6.2				16.6	
			R4-5.9	5.0				15.0	
			R6&UP	4.4				13.9	
	FRAME & BRICK VENEER		R0-10.9	9.6				30.5	
			R11-18.9	2.5	1431	3577		13.9	19890
			R19&UP	1.5				8.6	

DOORS	SOLID WOOD	89	86.5	7698		55.4	4930
	INSULATED R5		84.0			22.2	
	STORM DOOR		44.6			44.3	
	STORM DOOR R5		42.1			17.8	

CEILING	UNDER ATTIC		R0-10.9	23.8			50.9	
			R11-18.9	2.9			13.3	
			R19-21.9	1.9	2018	3874	8.4	16951
			R22-29.9	1.7			7.6	
			R30 & UP	1.5			5.5	
	SINGLE ASSEMBLY (NO ATTIC)		R0-5.9	23.8			50.9	
			R6-7.9	5.4			22.6	
			R8-9.9	4.0			17.3	
			R10-11.9	3.5			14.6	
			R12-18.9	2.5			10.6	
			R19 & UP	1.9			8.4	

FLOOR OVER UNCOND. SPACE	3/4" WOOD		R0-6.9	10.9			66.5	
			R7-10.9	3.5			8.4	
			R11-18.9	2.6			5.5	
			R19 & UP	1.6			3.3	
	CONCRETE		R0-2.9	12.9			70.9	
			R3-5.9	6.3			17.8	
			R6-10.9	4.2			9.5	
			R11-18.9	2.7			5.8	
			R19 & UP	1.7			3.3	

15109

41771

SLAB ON GRADE PERIMETER	EDGE INSULATION	PERIMETER	WPM	GWP	
	R0 - 2.9	230	28.3	4509	
	R3 - 5.9		20.4		
	R6 & UP		12.4		

	OR.	AREA	SINGLE	DOUBLE	WOF	GWP		OR.	AREA	SINGLE		DOUBLE		S OF	GSP
										CLR.	TIN.	CLR.	TIN.		
GLASS 10'	N	66 ✓	55.4	38.5	1.00	3656		N	66	204	276	163	139	1.00	13464
	NE		55.4	38.5				NE		309	264	258	218		
	E	16 ✓	55.4	38.5	.86	762		E	16	425	360	362	304	.95	6460
	SE		55.4	38.5				SE		418	354	355	298		
	S	40 ✓	55.4	38.5	.86	1905		S	40	346	294	287	242	.92	12732
	SW		55.4	38.5				SW		418	354	355	298		
	W	90 ✓	55.4	38.5	1.00	4986		W	90	425	360	362	304	.95	36337
	NW		55.4	38.5				NW		309	264	258	218		
	H		22.6	6.8				H		720	605	627	524		
	E	108 ✓	55.4			.98	5863		E	108	475				.65
H = HORIZONTAL GLASS (SKYLIGHTS)							FOR TINTED GLASS SC# 0.83 SEE SEC 902.2(d)								

TOTAL GROSS WINTER POINTS	38790	TOTAL GROSS SUMMER POINTS	140599
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DUCT INSULATION MULTIPLIER	1" FIBERGLASS	38790	1.15	41699	DUCT INSULATION MULTIPLIER	1" FIBERGLASS	140599	1.15	151143
	1.5" FIBERGLASS		1.12			1.5" FIBERGLASS		1.12	
	DUCT IN COND. SP.		1.00			DUCT IN COND. SP.		1.00	

HSM from table 9A	41699 x 1.00	41699	CSM from table 9B	151143 x .93	140563
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FLOOR AREA (DIVIDE)	41699 ÷ 2018	20.66	FLOOR AREA (DIVIDE)	140563 ÷ 2018	69.65
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WINTER POINTS (WP)	20.66	SUMMER POINTS (SP)	69.65
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CREDIT POINTS from table 9D	CEILING FANS	MULTIZONE A/C	VENTILATION	OTHER	TOTAL CP
			3		3
NOT MORE THAN 10 TOTAL CREDIT POINTS.					

PENALTY POINTS from table 9E	W&D. IN COND. SPACE	INOPERABLE WINDOWS	OTHER	TOTAL PP
	3			3

FORM 900-789	TOTALS					ZONES-789
WINTER POINTS	SUMMER POINTS	HOT WATER POINTS	CREDIT POINTS	PENALTY POINTS		
20.66	+ 69.65	-	3	+ 3	=	90.31 EPI
FEWER TOTAL POINTS ARE ENCOURAGED FOR MAXIMUM ENERGY SAVINGS						NOT TO EXCEED 100

9F	WINTER OVERHANG FACTORS (WOF)							
FEET	N	NE	E	SE	S	SW	W	NW
0-99	1.00	0.99	0.85	0.75	0.83	0.98	1.00	1.00
1-199	1.00	0.99	0.85	0.76	0.84	0.98	1.00	1.00
2-299	1.00	0.99	0.86	0.77	0.85	0.99	1.00	1.00
3-399	1.00	0.99	0.87	0.80	0.87	0.99	1.00	1.00
4-499	1.00	0.99	0.89	0.83	0.90	0.99	1.00	1.00
5-599	1.00	0.99	0.91	0.86	0.92	1.00	1.00	1.00
6-699	1.00	0.99	0.92	0.90	0.94	1.00	1.00	1.00
7-799	1.00	1.00	0.94	0.92	0.94	1.00	1.00	1.00
8-899	1.00	1.00	0.96	0.95	0.97	1.00	1.00	1.00
9-999	1.00	1.00	0.97	0.97	0.98	1.00	1.00	1.00
10-1099	1.00	1.00	0.98	0.98	0.99	1.00	1.00	1.00
118 UP	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00

9F	SUMMER OVERHANG FACTORS (SOF)							
FEET	N	NE	E	SE	S	SW	W	NW
0-99	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
1-199	1.00	1.00	0.99	0.99	0.99	0.99	0.99	1.00
2-299	1.00	0.98	0.95	0.93	0.92	0.93	0.95	0.98
3-399	1.00	0.95	0.89	0.87	0.86	0.87	0.89	0.95
4-499	1.00	0.91	0.84	0.81	0.80	0.81	0.84	0.91
5-599	0.99	0.88	0.80	0.76	0.76	0.76	0.80	0.88
6-699	0.99	0.89	0.76	0.72	0.72	0.72	0.76	0.85
7-799	0.99	0.83	0.72	0.68	0.70	0.68	0.72	0.83
8-899	0.98	0.81	0.69	0.66	0.68	0.66	0.69	0.81
9-999	0.98	0.79	0.67	0.64	0.66	0.64	0.67	0.79
10-1099	0.98	0.78	0.65	0.62	0.65	0.62	0.65	0.78
11-1199	0.97	0.76	0.63	0.61	0.65	0.61	0.63	0.76
128 UP	0.97	0.76	0.62	0.59	0.64	0.59	0.62	0.76

9A	HEATING SYSTEM MULTIPLIER (HSM)									
HEAT PUMP	COP	2.0-2.19	2.2-2.39	2.4-2.59	2.6-2.79	2.8-2.99	3.0-3.19	3.2-3.39	3.4 & UP	
	HSM	0.50	0.45	0.42	0.38	0.36	0.33	0.31	0.29	
SOLAR HEAT	(1-% CAPACITY) X (BACKUP SYSTEM HSM)									
GAS HEAT	0.50									
OIL HEAT	0.70									
ELECTRIC STRIP HEAT	1.00									

9B	COOLING SYSTEM MULTIPLIER (CSM)												
ELECTRIC	EER	60-64.9	65-69.9	70-74.9	75-79.9	80-84.9	85-89.9	90-94.9	95-99.9	100-104.9	105-109.9	110-119.9	120 & UP
	CSM	1.08	1.00	0.93	0.87	0.81	0.76	0.72	0.68	0.65	0.62	0.59	0.54
GAS	COP	0.40-0.44	0.45-0.49	0.50-0.54	0.55-0.59	0.60-0.65	0.65-0.69	0.70 & UP					
	CSM	1.50	1.25	1.20	1.09	1.00	0.92	0.89					

Note: EER = cooling mode COP x 3.413 = ARI rated cooling output in Btu/h ÷ total watts consumed

9C	HOT WATER CREDIT POINTS (HWP)	
ELECTRIC		0.0
GAS		13.1
SOLAR	MINIMUM CERTIFIED DCR OF 6,000 BTU PER BEDROOM AND 15 GALLONS STORAGE PER BEDROOM	19.6
	MINIMUM CERTIFIED DCR OF 9,000 BTU PER BEDROOM AND 20 GALLONS STORAGE PER BEDROOM	22.8
	MINIMUM CERTIFIED DCR OF 12,000 BTU PER BEDROOM AND 27 GALLONS STORAGE PER BEDROOM	24.5
A/C HEAT RECOVERY UNIT	MINIMUM CERTIFIED RATING OF 1500 BTUH/TON	16.3
	MINIMUM CERTIFIED RATING OF 2500 BTUH/TON	17.9

Note: Daily collection rate (DCR) is measured at 122°F using FSEC Standard Florida Solar Day

9D	SPECIAL DESIGN CREDIT POINTS (CP)	
CEILING FANS IN CONDITIONED SPACE, - 5 POINTS MAX.		1 PER FAN
MULTIZONING A/C (Zones must be separated by operable door.) - 5 POINTS MAX PER RESIDENCE		5
WINDOWS ON TWO OR MORE SIDES OF A ROOM (Excluding Inoperable or corner windows and bathrooms.) - 5 POINTS MAX.		1 PER ROOM

9E	SPECIAL DESIGN PENALTY POINTS (PP)	
WASHER & DRYER IN CONDITIONED SPACE.		3
MAXIMUM OPENING OF GLASS LESS THAN 50% OF TOTAL GLASS AREA		5

Address	Area	Elevation	Orientation	Ovhtg.	WOF	SOF	Comment
3x4x5°	60	F	W	2	.86	.95	
2x5°	10						
2x5°	10						
2x5°	10						
3x4°	12	R. Side	S				
2x4x2°	16				.60	.92	
3x4°	12						
2x4x2°	16	Rear	E	2'	.84	.95	
5x3°	15			10'	.98	.67	
6°560	40			10'			
8°560	53			10'			
2x5°	10	L S	N	2'	1.00	1.00	
6°560	40						
2x4x2°	16						
	320						

$$\begin{array}{r} 1431 \\ - 320 \\ \hline 1111 \\ - 89 \\ \hline 1022 \end{array}$$

W.D.

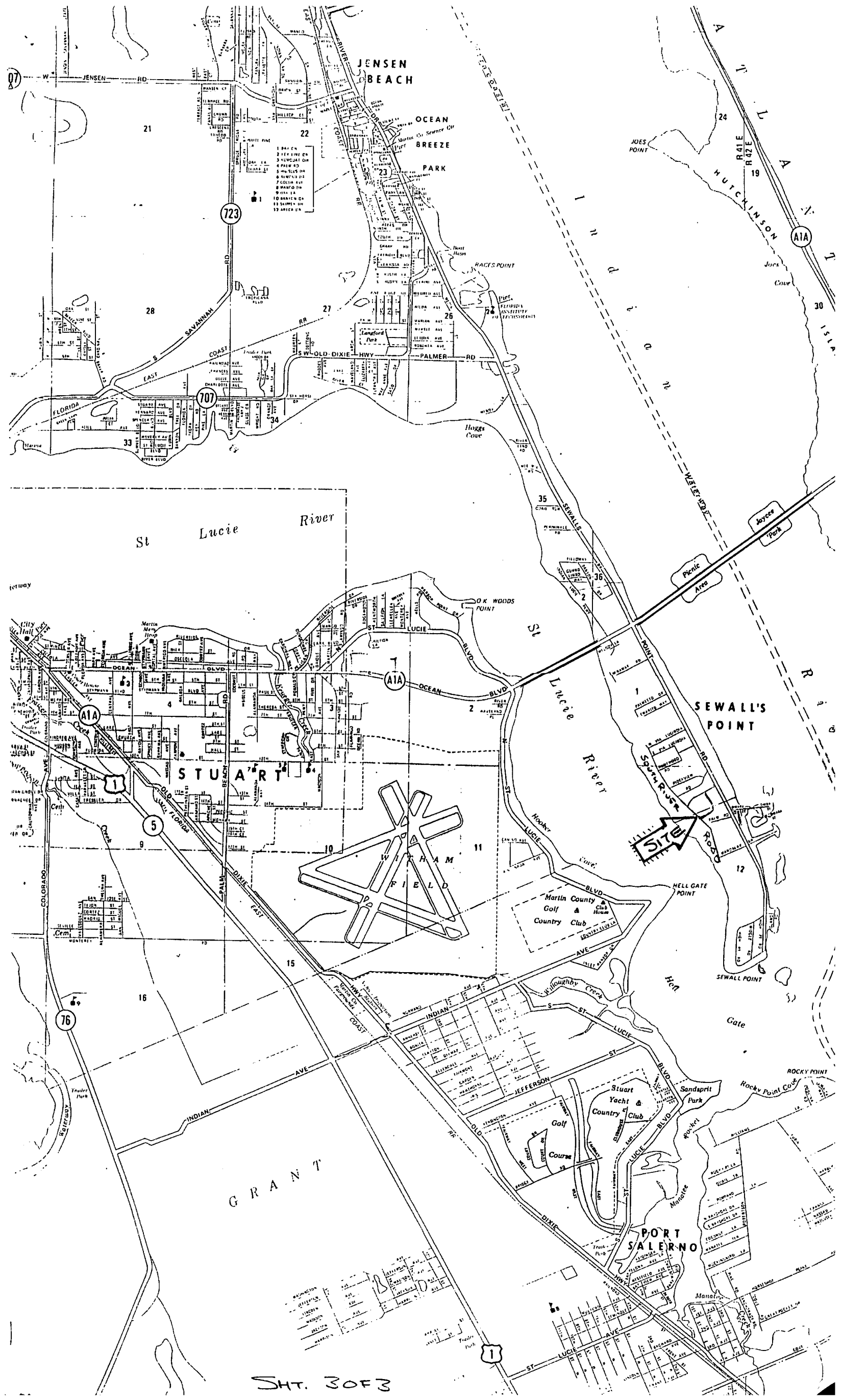
9018 & 211

$$\begin{array}{r} 680 \\ 255 \\ \hline 935 \\ 205 \\ \hline 1140 \end{array}$$

$$\begin{array}{r} 1113 \\ 265 \\ \hline 1378 \\ 42 \\ \hline 1420 \end{array}$$

$$\begin{array}{r} 890 \\ 17 \\ \hline 907 \\ 25 \\ 30 \\ 25 \\ \hline 967 \\ 25 \\ \hline 992 \end{array}$$

$$\begin{array}{r} 930 \\ 29 \\ 35 \\ 62 \\ 16 \\ 37 \\ 62 \\ \hline 1091 \end{array}$$



JENSEN BEACH

OCEAN BREEZE PARK

St Lucie River

STUART

WILHAM FIELD

SEWALL'S POINT

GRANT

PORT SALERNO

SHT. 30F3

SITE

- 1 Bay Ct
- 2 1/4 Pine Ct
- 3 Sunlight Ct
- 4 Palm Rd
- 5 W. Hill St
- 6 W. Hill St
- 7 Colina Ave
- 8 W. Hill St
- 9 W. Hill St
- 10 Bay Ct
- 11 Bay Ct
- 12 Bay Ct
- 13 Bay Ct

1	2	3	4	5	6	7	8	9	10
11	12	13	14	15	16	17	18	19	20
21	22	23	24	25	26	27	28	29	30
31	32	33	34	35	36	37	38	39	40

1	2	3	4	5	6	7	8	9	10
11	12	13	14	15	16	17	18	19	20
21	22	23	24	25	26	27	28	29	30
31	32	33	34	35	36	37	38	39	40

1	2	3	4	5	6	7	8	9	10
11	12	13	14	15	16	17	18	19	20
21	22	23	24	25	26	27	28	29	30
31	32	33	34	35	36	37	38	39	40

1	2	3	4	5	6	7	8	9	10
11	12	13	14	15	16	17	18	19	20
21	22	23	24	25	26	27	28	29	30
31	32	33	34	35	36	37	38	39	40

1	2	3	4	5	6	7	8	9	10
11	12	13	14	15	16	17	18	19	20
21	22	23	24	25	26	27	28	29	30
31	32	33	34	35	36	37	38	39	40

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 11/21/81
P. H. ...

This is to request that a Certificate of Approval for Occupancy be issued to
For property built under Permit No. 1196 Dated 8/20/81 when completed in
conformance with the Approved Plans.

Robert ...
Signed

RECORD OF INSPECTIONS

Item	Date	Approved by
Set-backs and footings	<u>9/15/81</u>	
Rough plumbing	<u>9/12/81</u>	
Slab	<u>9/15/81</u>	
Perimeter beam		
Close-in, roof and rough electric	<u>10/24/81</u>	
Final Plumbing	<u>11/21/81</u>	
Final Electric	<u>11/21/81</u>	

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector [Signature] date 11/21/81

Approved by Building Commissioner [Signature] date 11/21/81

Utilities notified [Signature] date

Original Copy sent to

(Keep carbon copy for Town files)

1691

FENCE

Permit No. 1691

Date 3/9/84

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Mr. Hutchengs Present Address 106 S. River Rd.

Phone 286-1393

Contractor Martin Fence Co. Address !!25 Old Dixie Hwy.

Phone 848-2666

Where licensed _____ License number _____

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: 4' Chain Link Fence

106 S. River Road Sewall Point
State the street address at which the proposed structure will be built:

Subdivision Rio Vista Lot number 44 Block number _____

Contract price \$ 533.00 Cost of permit \$ 5.00 + 5.10

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor [Signature] 3/9/84

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

Date submitted 3/14/84 Approved: [Signature] 3/15/84
Building Inspector Date

Approved: [Signature] 3/10 Commissioner Date Final Approval given: _____ Date

Certificate of Occupancy issued (if applicable) _____ Date

SP1282 final check 4/10/84 Jan

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

1691

RECEIVED
MAR 14 1984
Ans'd

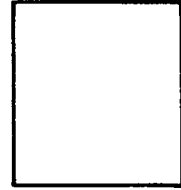
MARTIN FENCE CO.

Serving: Martin, Palm Beach, St. Lucie Counties
1125 OLD DIXIE HWY., LAKE PARK, FLORIDA 33403

Palm Beach 848-2666
Martin/St. Lucie 334-0000

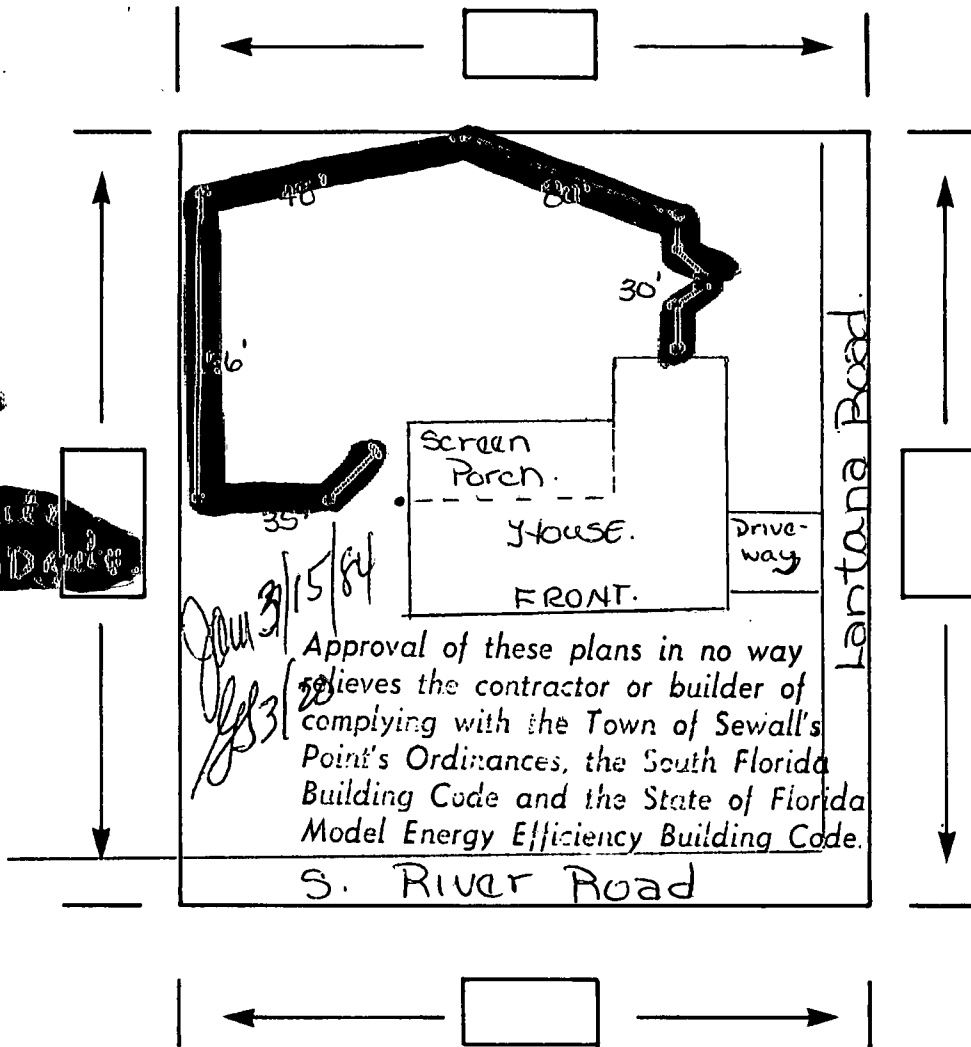
Plans drawn by: Christiane Curran

Name of Property Owner: Mr. Hutchings



BUILDING & ZONING ADMINISTRATION
Plot Plan

North Arrow



106 S. River Road ST., TERR., AVE., CT., PL.

No Scale

Legal: Lot No. 44 Block No. _____

Subdivision Bio Vista

Section _____

60 Plat Book and Page No. 95

- Note:
1. Show existing buildings and additions.
 2. Show distance from property lines to buildings and/or new additions.

1800

POOL

Permit No. 1800

Date 3/28/85

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner MR & MRS HUTCHENS Present Address 106 S RIVER RD

Phone _____

Contractor SUN TECH POOLS INC Address 2201 -E-2 MAIN ST

Phone 286-0210 STUART FLA.

Where licensed MARTIN CNTY License number SP 00631

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: _____

CONSTRUCT POOL

State the street address at which the proposed structure will be built: _____

Subdivision RIO VISTA Lot number 414 Block number _____

Contract price \$ 15,000 Cost of permit \$ 75.00 ~~1500~~ ~~150~~

Plans approved as submitted _____ Plans approved as marked SUBMITTED BEFORE PERMITTING

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Charles F. Seabolt

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner H. Hutchens

TOWN RECORD

Date submitted 3/28/85 Approved: [Signature] Building Inspector Date 3/28/85

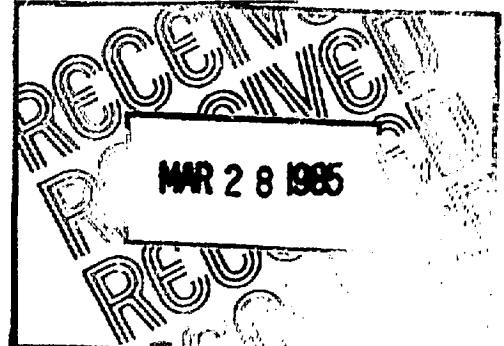
Approved: [Signature] Commissioner Date 4/1/85 Final Approval given: _____ Date _____

Certificate of Occupancy issued (if applicable) _____ Date _____

SP1282

Permit No.

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.



1802

FENCE

DOOR

REROOF

TOWN OF SEWALL'S POINT, FLORIDA

Permit Number **#1802**

Date 4/4/85

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEARING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Mr. & Mrs. H. M. Hutchengs Present Address 106 S. River Road

Phone 286-1393 Sewalls Point

Contractor Ocean Gate Construction Company Address 2854 S. Fed. Hwy.,

Phone 283-6744 Stuart, FL 33497

Where licensed Martin County License number 00083

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Roofing contractor _____ License number _____

Air conditioning contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Install 4' masonry fence with 2' wood louver cap on existing home. Install sliding glass door over existing screen porch and reshingle roof.

State the street address at which the structure will be built:

RIVER
106 S. Sewalls Point Road

Subdivision Rio Vista Lot number 44 Block number -

Contract price \$ 20,000.00 Cost of permit \$ 100⁰⁰

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances, the State of Florida Model Energy Efficiency Building Code and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Jack A. MacDonald
Jack A. MacDonald, President

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Mrs. H. M. Hutchengs

TOWN RECORD

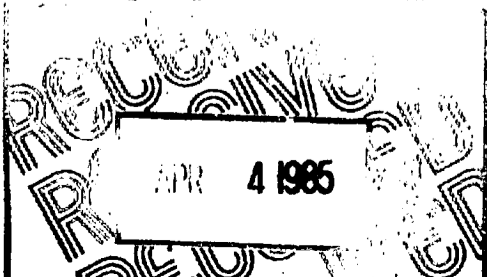
Date submitted 4/4/85 Approved [Signature] 4/4/85
Building Inspector Date

Approved [Signature] 4/8 Final Approval given 8/14/85
Commissioner Date Date

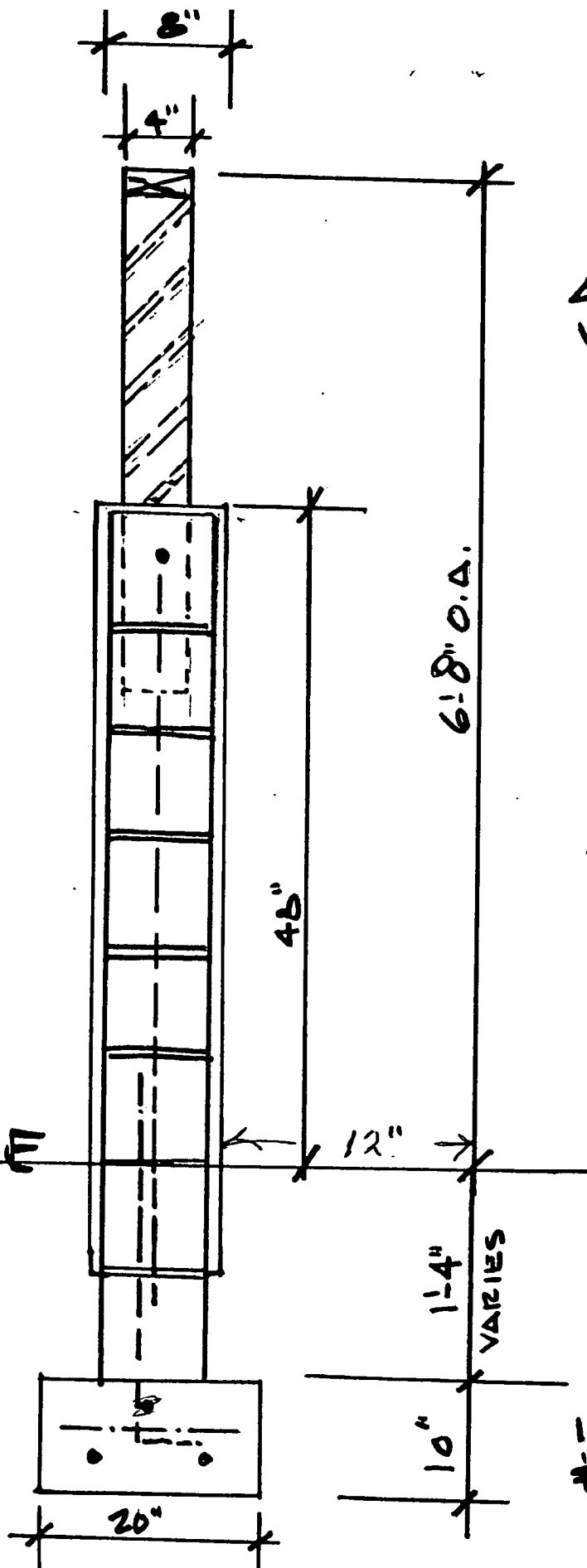
Certificate of Occupancy issued (if applicable) _____

Date _____

SP1184



Permit Number **#1802**



4" x 4" P.T. 6' O.C. w/ 1x3
WOOD FOUYERS

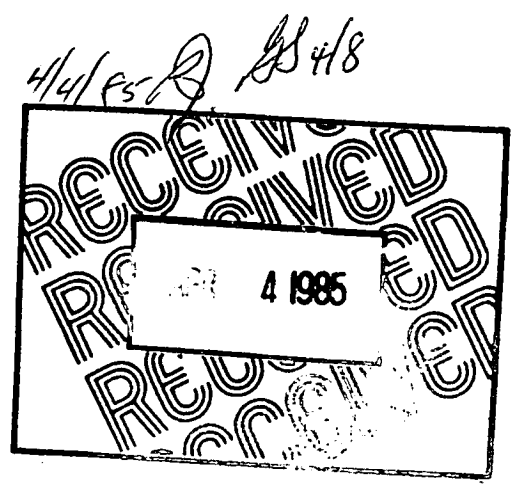
BEAM BLOCK w/ 1#5
CONTINUOUS
1#5 UP STEEL 8' O.C.
FILL CELL w/ CONC.

LIGHT TEXTURE STUCCO

24 Hour notice required prior
to all inspections.
Do not order concrete until
inspection has been approved.

10' x 20' FTG. w/ 3 #5 =
1#5 HORIZ P. EA. VERT.

Approval of these plans in no way
relieves the contractor or builder of
complying with the Town of Sewall's
Point's Ordinances, the South Florida
Building Code and the State of Florida
Model Energy Efficiency Building Code.



Office Copy

OWNER'S AFFIDAVIT OF BUILDING COSTS

#1802

STATE OF FLORIDA
COUNTY OF MARTIN

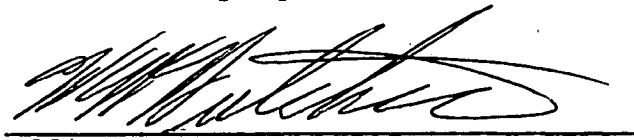
BEFORE ME, the undersigned notary public, personally appeared the undersigned Affiant, who, being first duly sworn, under penalties of perjury, deposes and says:

1. That Affiant is the owner or the authorized agent of the owner of certain real estate (the Property) located within the municipal limits of the Town of Sewall's Point, Florida (the Town), having the street address set forth below Affiant's signature.

2. That all of the improvements on the Property under current building permit(s) issued by the Town have been completed in substantial conformity with the plans and specifications on file with the Town and in accordance with all applicable state and local building codes.

3. That the total cost paid or to be paid by the owner for the complete construction of the improvements under the building permit(s), including the cost of all improvements shown on the plans and specifications filed with the Town and all machinery and equipment not shown thereon required to be installed as a condition for a certificate of occupancy under state and local law, is \$ 40,468.

4. That this affidavit is made for the purpose of inducing the building official of the Town to issue a certificate of occupancy for the improvements, with the intention that it be relied upon for that purpose.



Affiant
Property street address:

Sworn to and subscribed
before me this 30 day of
August, 1985.

Anita Parmsay
Notary Public
STATE OF FLORIDA AT LARGE
My Commission Expires:

(NOTARY SEAL)

TOWN OF SEWALL'S POINT, FLORIDA

Permit Number 1817

Date 5/22/85

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEARING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner MR. H. HUTCHINGS Present Address 106 S RIVER RD.

Phone 286-1393

Contractor OCEAN GATE BUILDING Address S FEDERAL HWY.

Phone 283-6744

Where licensed MARTIN COUNTY License number 320196

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Roofing contractor _____ License number _____

Air conditioning contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: ACRYLIC SPA

State the street address at which the structure will be built:

106 S RIVER RD.

Subdivision RIO VISTA Lot number 44 Block number _____

Contract price \$ 3000 Cost of permit \$ 15.00

Plans approved as submitted _____ Plans approved as marked (B)

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances, the State of Florida Model Energy Efficiency Building Code and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor BUCARATA SPAS

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner K.O. Stetson

TOWN RECORD

Date submitted 5/21/85 Approved [Signature] Building Inspector Date 5/21/85

Approved _____ Commissioner Date _____ Final Approval given 6/27/85 Date _____

Certificate of Occupancy issued (if applicable) _____ Date _____

1819

POOL DECK

TOWN OF SEWALL'S POINT, FLORIDA

Permit Number 1819

Date 6/3/85

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEARING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Mr H. Hutchings Present Address 106 S. River Rd.

Phone 286-1393

Contractor Ocean Gate - Address S. Federal ..

Phone 283 6744

Where licensed _____ License number 320196

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Roofing contractor _____ License number _____

Air conditioning contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Revised Pool Deck -

State the street address at which the structure will be built:
106 S. River Rd ..

Subdivision Rip Vista Lot number 44 Block number _____

Contract price \$ 250⁰⁰ Cost of permit \$ 5⁰⁰

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances, the State of Florida Model Energy Efficiency Building Code and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner SEE Permit 1817 -

TOWN RECORD

Date submitted 6/3/85 Approved [Signature] 6/3/85
Building Inspector Date

Approved _____ Final Approval given 6/27/85
Commissioner Date Date

Certificate of Occupancy issued(if applicable) _____
Date

1833

POOL ENCLOSURE

Permit No. 1833

Date 7-19-85

APPLICATION FOR A PERMIT TO BUILD A HOUSE OR COMMERCIAL BUILDING

This application must be accompanied by three sets of complete plans, to scale, (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections; plumbing, electrical and air-conditioning layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house or commercial building construction.

Owner MR & MRS H.M. HUTCHINGS Present address 106 RIVER RD

Phone 286-1393

General contractor G.K. ALUMINUM Address 3110 S. SLATE STUART

Phone (305) 283-1297

Where licensed MARTIN COUNTY License No. 00122

Plumbing contractor License No. _____

Electrical contractor License No. _____

Air-conditioning contractor License No. _____

Describe the building, or alteration to existing building _____

Pool Enclosure

Front the street on which the building, its front building line and its front yard will face River Road

Subdivision RIO VISTA SUBDIVISION Lot No. 44 Area SEWALLS POINT

Building area, inside walls (excluding garage, carport, porches, pools, etc.)...square feet _____

Contract price (including land, carpeting, appliances, landscaping, etc.) \$ _____

Cost of permit \$ 5300 Plans approved as submitted _____ or, as marked DOUBLE PERMIT FEE \$60.00

I understand that this permit is good for 12 months from the date of its issuance. I understand that the building for which this permit is issued must be completed within that time and in accordance with the approved plans. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. I agree that the building site will be clean and rough-graded before a Certificate of Occupancy is sought, and, moreover, that I shall be responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply with the above requirements may result in a Building Inspector or a Town Commissioner "Red-tagging" the building project.

Contractor [Signature]

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood, as required by the Town's zoning ordinance.

Owner [Signature]

Note: Speculation builders will be required to sign both of the above statements.

#1833

TOWN RECORD

Date submitted 7/18/85

Approved by Building Inspector (date) 7/18/85 [Signature]

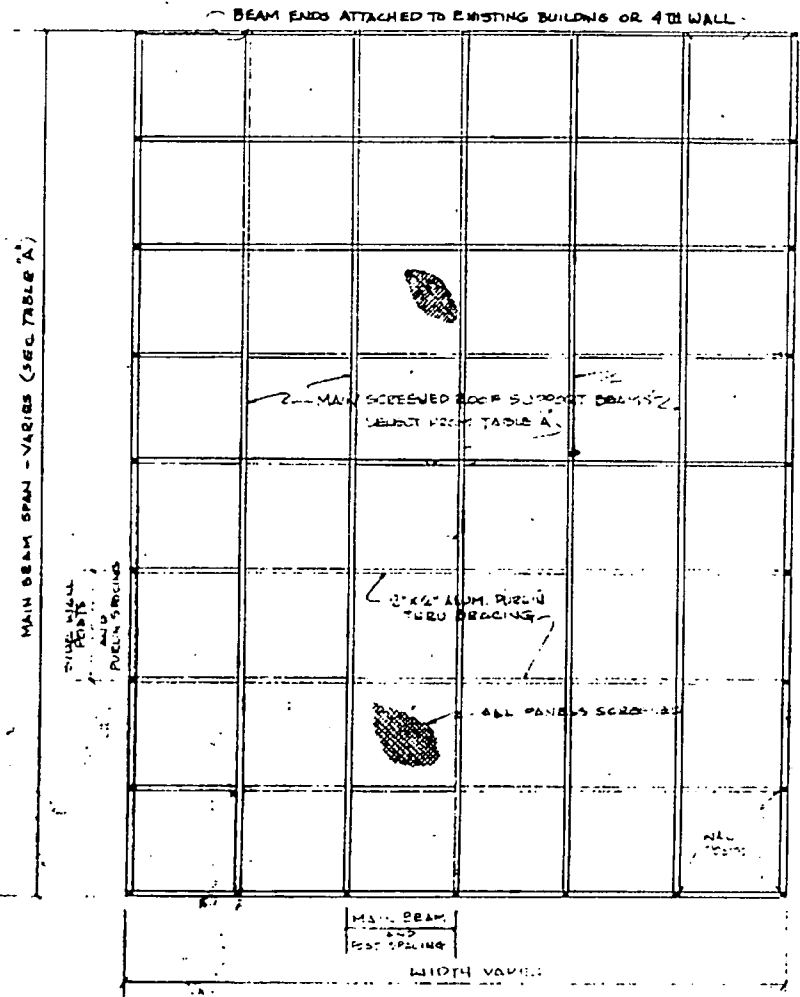
Inspector's initials [Signature]

Approved by Town Commissioner (date) _____

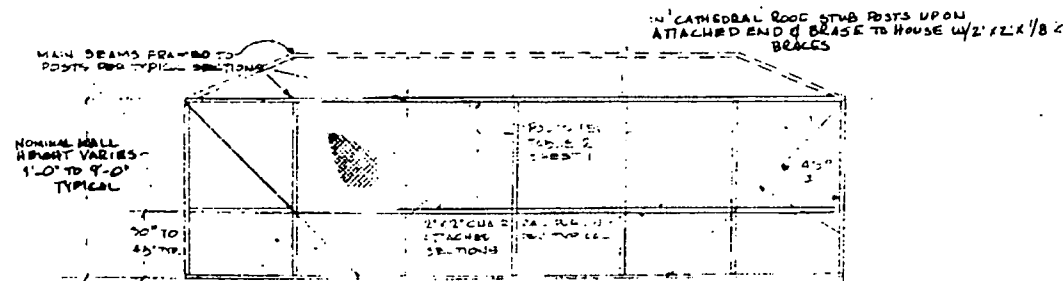
Commissioner's initials _____

Certificate of Occupancy issued (date) _____

SCREENED POOL ENCLOSURE PLAN



END ELEVATION VIEW



1. CORNERS NOT ATTACHED TO BUILDING... WIND BRACE EA. DIRECTION W/ 3/4\"/>

TYPICAL CONNECTION DETAILS

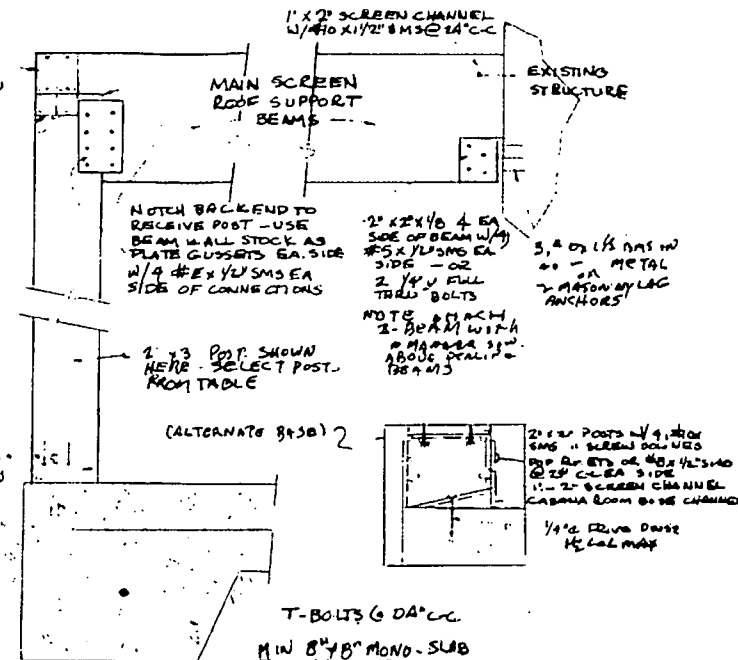
POST AND BEAM END CONNECTIONS

2\"/>

1\"/>

NOTE: 2\"/>

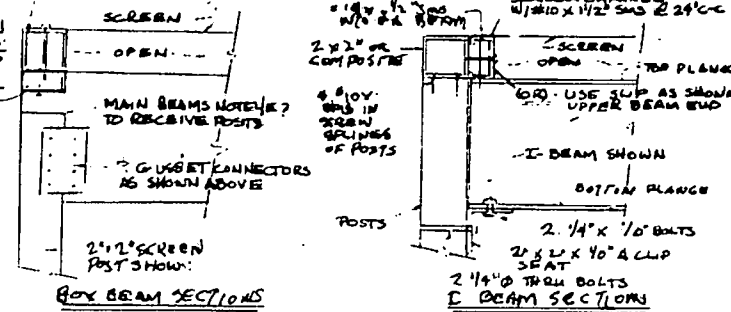
WALL CONNECTIONS



T-BOLTS 6 @ 4\"/>

ALTERNATE CONNECTION DETAILS

2\"/>



ADDITIONAL BEAM SECTIONS - ALLOY 6063 T6 (SEE 1\"/>

2\"/>

3\"/>

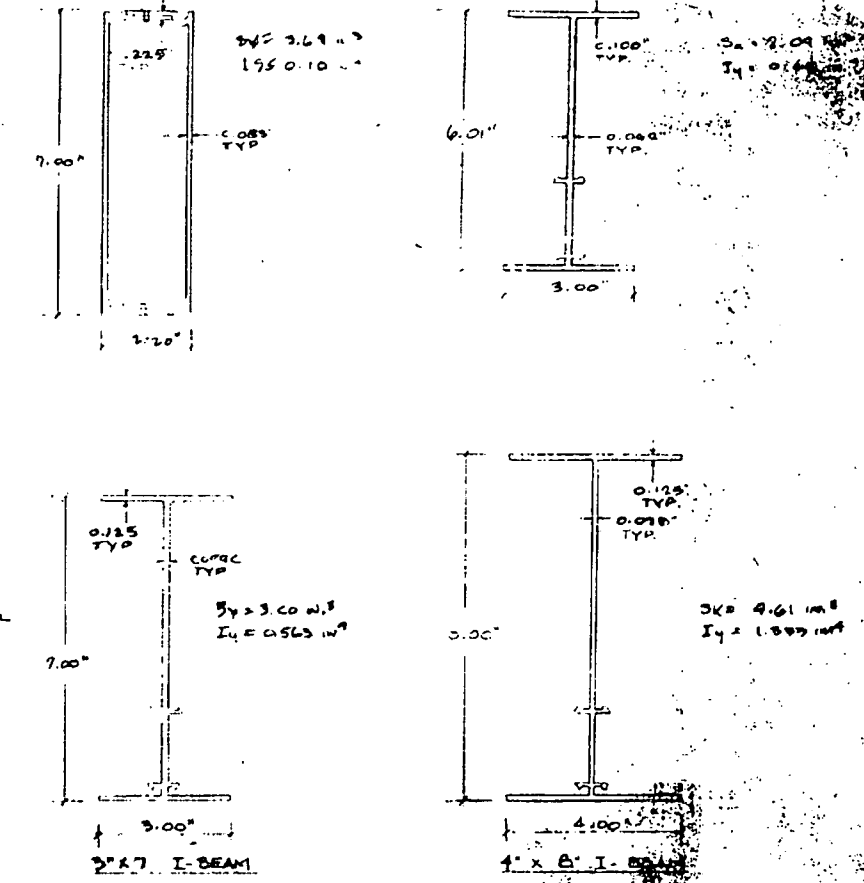


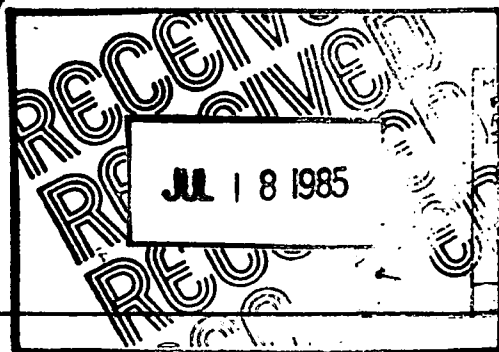
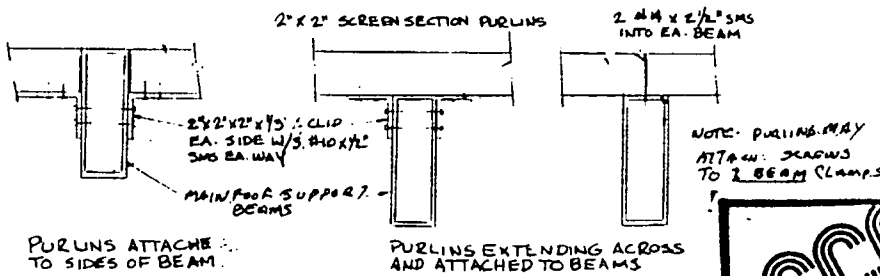
TABLE A - SPAN TABLE FOR SCREENED ROOF BEAMS

BEAM SIZE	MAXIMUM CLEAR SPANS FOR SCREENED ROOF BEAMS @ VARIOUS SPACINGS					
	4'-0\"/>					
2\"/>	25'-0\"/>	21'-0\"/>	21'-6\"/>	20'-0\"/>	19'-0\"/>	18'-6\"/>
2\"/>	32'-10\"/>	27'-0\"/>	28'-3\"/>	26'-0\"/>	25'-0\"/>	24'-4\"/>
2\"/>	41'-0\"/>	41'-0\"/>	39'-10\"/>	36'-10\"/>	35'-4\"/>	34'-0\"/>
3\"/>	54'-5\"/>	31'-0\"/>	38'-0\"/>	27'-0\"/>	26'-8\"/>	25'-9\"/>
3\"/>	41'-0\"/>	37'-6\"/>	36'-0\"/>	33'-0\"/>	31'-10\"/>	31'-0\"/>
4\"/>	50'-0\"/>	46'-0\"/>	44'-6\"/>	41'-0\"/>	39'-6\"/>	38'-4\"/>

REMARKS: BEAM SPAN LENGTHS LISTED IN THIS TABLE ARE TO BE USED AT 90° ANGLE TO BEAM FRAMED ACROSS ROOF & EACH POINT IN SCREENED SIDE WALLS AS SHOWN ON PLAN VIEW.

THESE SCREENED ENCLOSURES ARE DESIGNED IN ACCORDANCE WITH CHAS 12 AND 20 OF STANDARD BUILDING CODE (S3806) FOR WIND PRESSURES AS FOLLOWS:
 SCREENED ROOFS: 10 PSF (0.7)
 SCREENED WALLS: 10 PSF (0.7)

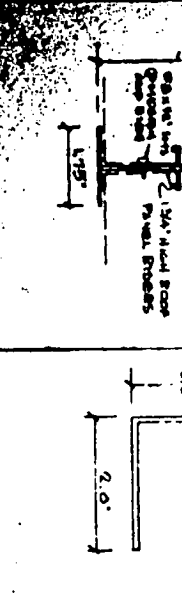
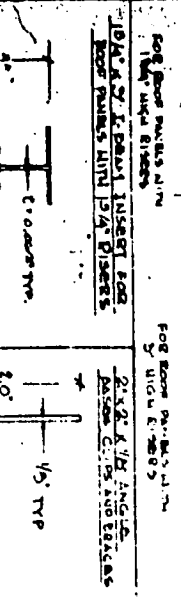
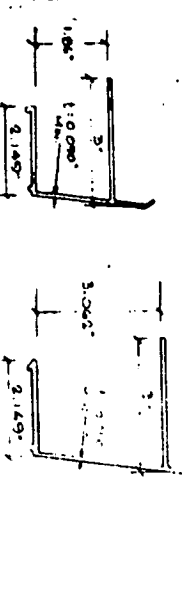
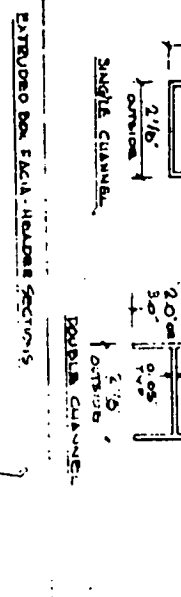
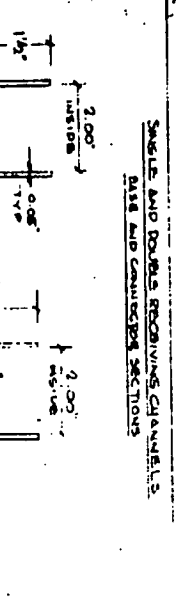
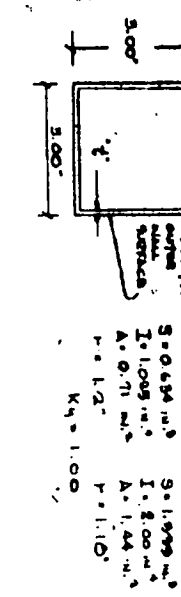
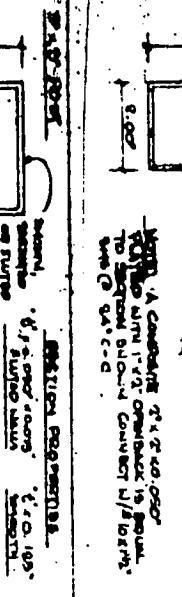
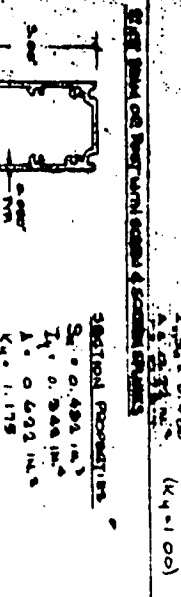
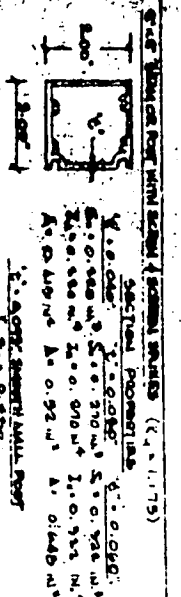
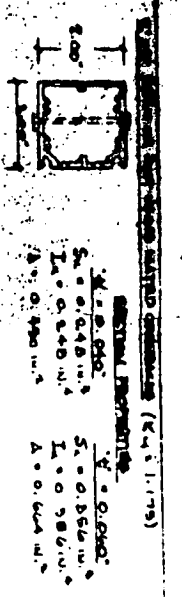
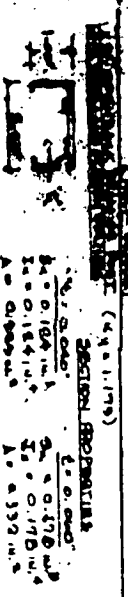
ALTERNATE ROOF PURLINS TO BEAM ATTACHMENTS



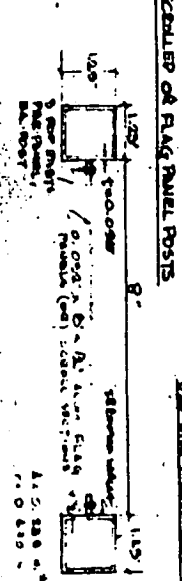
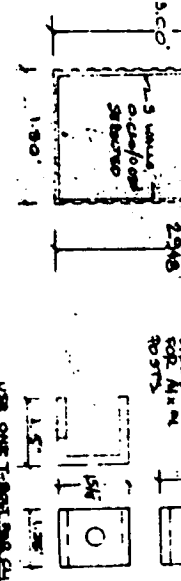
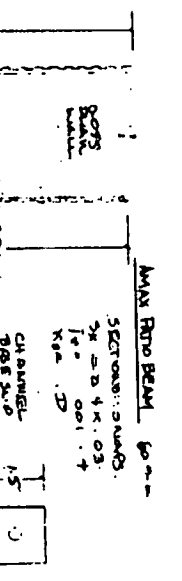
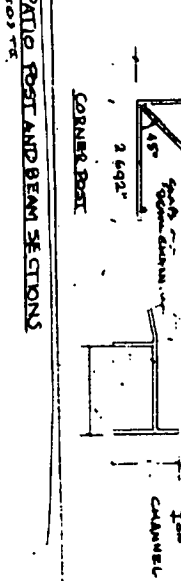
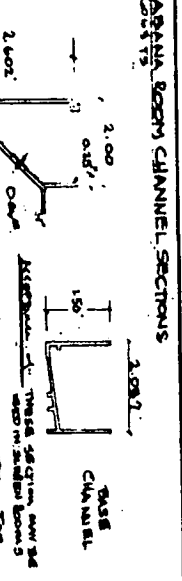
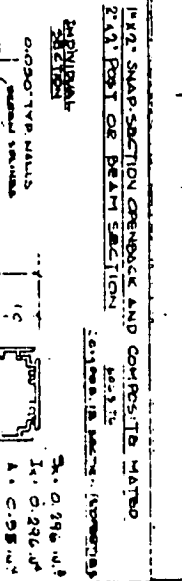
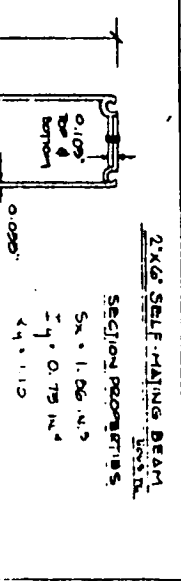
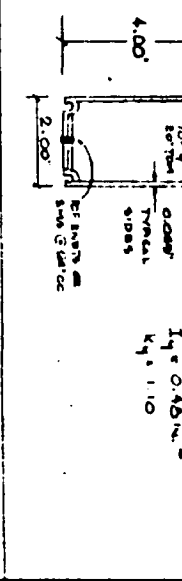
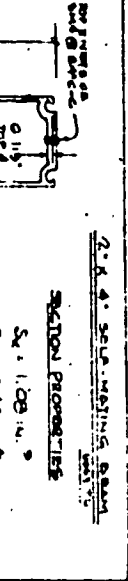
CLIVE ASSOCIATES ENGINEERS & ARCHITECTS 3601 US HIGHWAY 19 PALM HARBOR, FL 33561 TEL 813-785-1667

REDDISH WELDING 3305 SO DIXIE HIGHWAY STUART, FLORIDA 33994

EXTRUDED ALUMINUM SECTIONS - STUDY 6005-T9



EXTRUDED ALUMINUM SECTION - ALUMINUM T-10



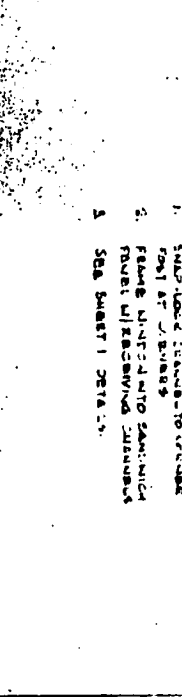
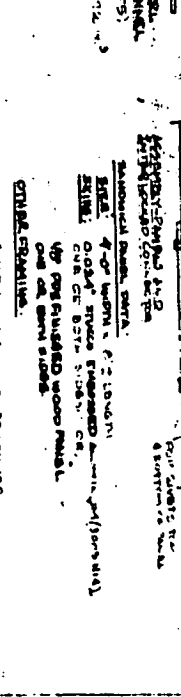
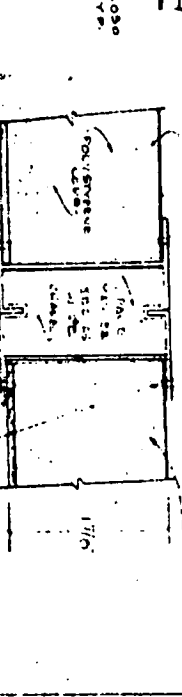
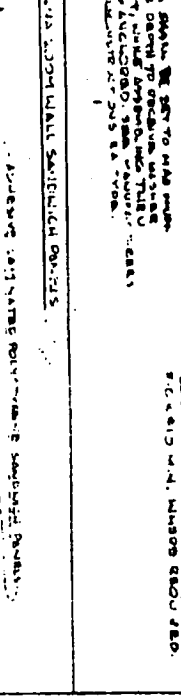
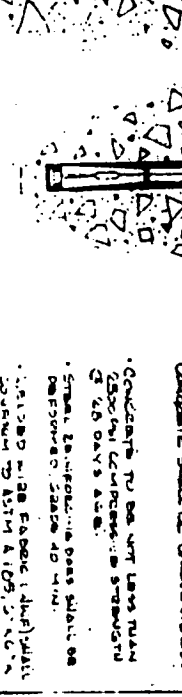
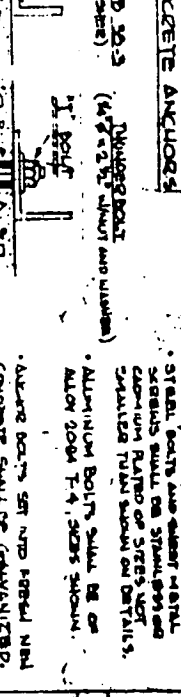
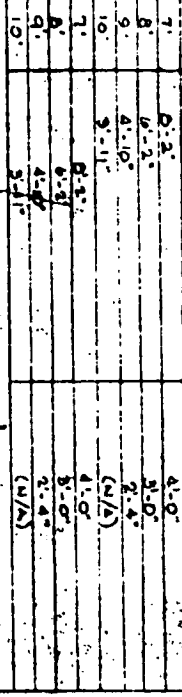
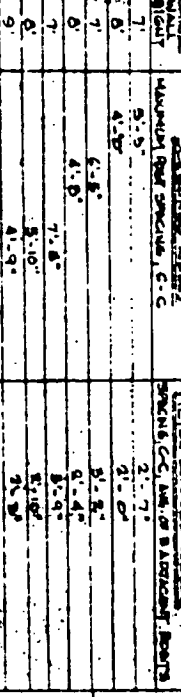
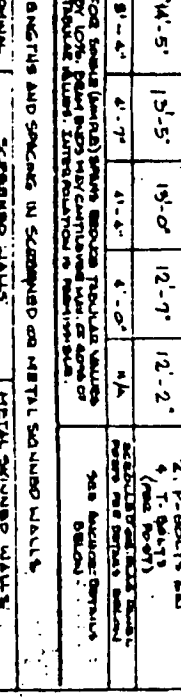
POST AND BEAM SPAN TABLES

TABLE 1 - SPAN TABLE FOR BEAM BEAMS IN CANOPY ROOF STRUCTURES

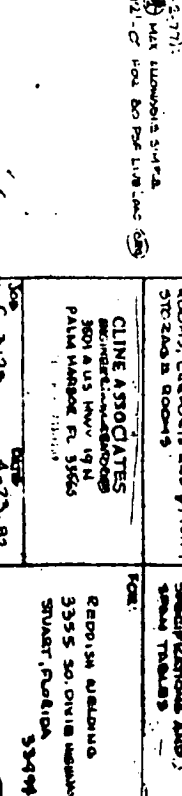
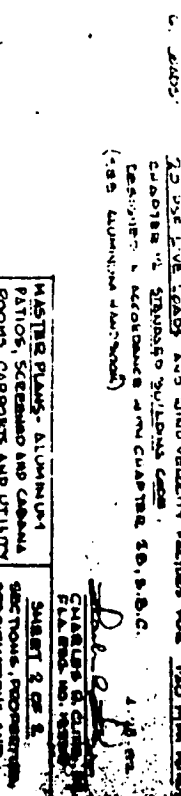
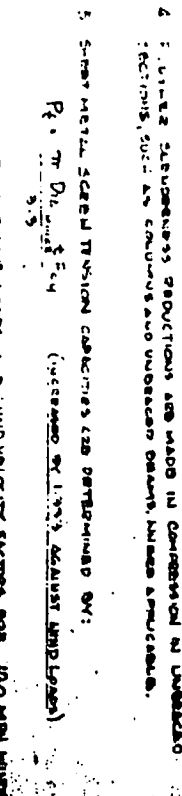
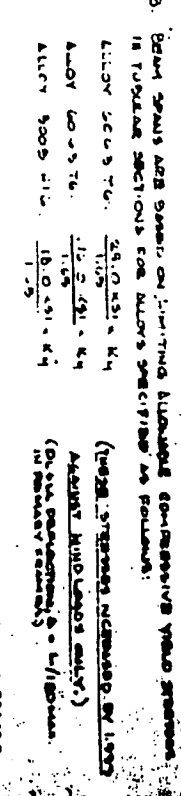
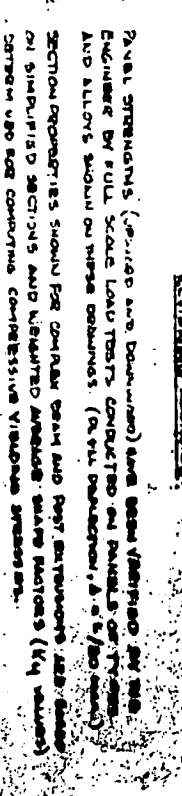
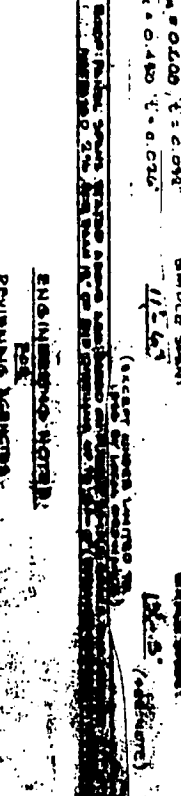
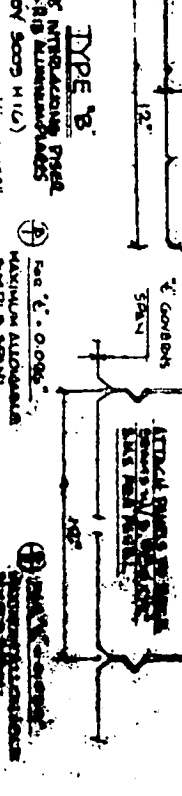
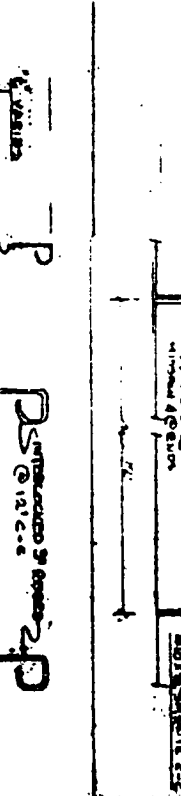
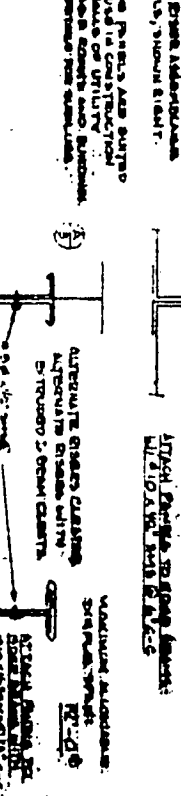
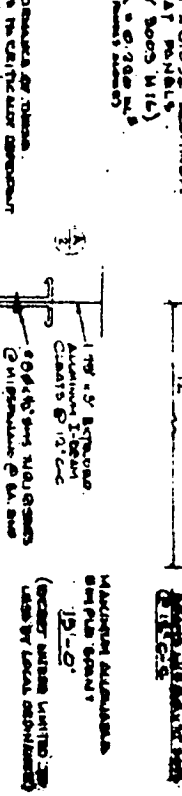
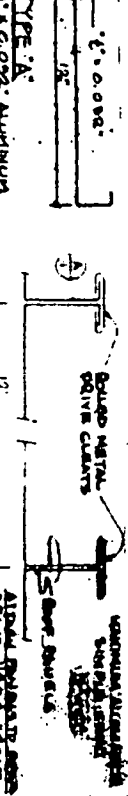
BEAM SIZE	MAXIMUM CLEAR SPAN (FEET)	MAXIMUM CLEAR SPAN (METERS)	MAXIMUM CLEAR SPAN (FEET)	MAXIMUM CLEAR SPAN (METERS)
2 1/2" x 4" x 0.060"	5.7'	1.74 m	5.0'	1.52 m
2 1/2" x 6" x 0.060"	6.9'	2.10 m	5.9'	1.80 m
2 1/2" x 8" x 0.060"	7.5'	2.28 m	5.7'	1.73 m
2 1/2" x 10" x 0.060"	11.0'	3.35 m	9.4'	2.87 m
2 1/2" x 12" x 0.060"	13.5'	4.11 m	12.2'	3.71 m

TABLE 2 - ROOF LENGTHS AND SPACES IN SCANNED OR METAL SCHEDULE WALLS

POST SIZE	MINIMUM WALL HEIGHT	MAXIMUM WALL SPACE	MINIMUM WALL SPACE
2 1/2" x 4" x 0.060"	7.0'	4.0'	2.0'
2 1/2" x 6" x 0.060"	7.0'	4.0'	2.0'
2 1/2" x 8" x 0.060"	7.0'	4.0'	2.0'
2 1/2" x 10" x 0.060"	7.0'	4.0'	2.0'
2 1/2" x 12" x 0.060"	7.0'	4.0'	2.0'

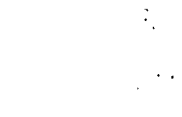
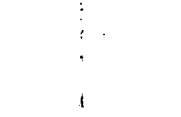


ALUMINUM ROOF PANELS - TYPE ASSEMBLY AND SPAN DATA

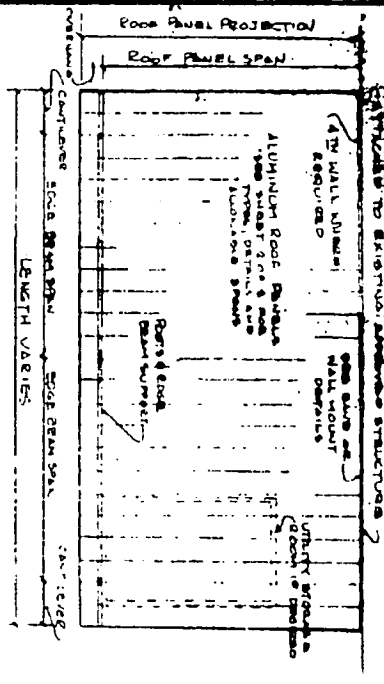


ENGINEERING NOTES

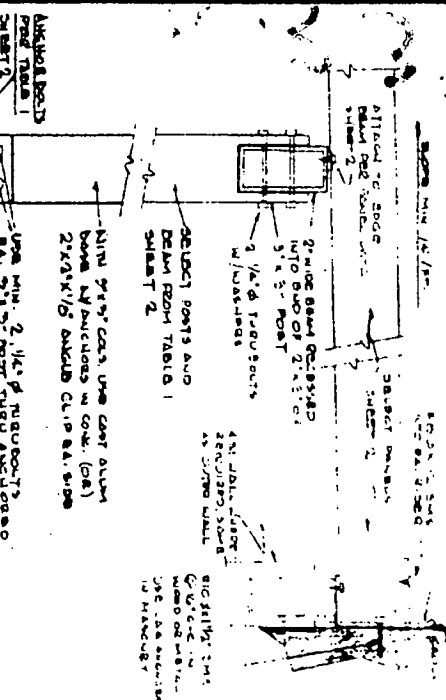
1. PANEL STRENGTHS (STRESS AND DEFLECTION) HAVE BEEN VERIFIED BY THE ENGINEER BY FULL SCALE LOAD TESTS CONDUCTED ON PANELS OF THE SAME AND ALL TESTS SHOWED THESE CONDITIONS (SEE TABLE 1 AND 2).
2. SECTION PROPERTIES SHOWN FOR COMPARISON BEAM AND POST PROPERTIES ARE BASED ON SIMPLIFIED SECTIONS AND WEIGHTED AVERAGE STIFFNESS FACTORS (K_y VALUES) DERIVED FROM THE COMPOSITE COMPRESSIVE VISCOUS STRESS-STRAIN CURVES.
3. BEAM SPANS ARE BASED ON THE FOLLOWING ASSUMPTIONS:
 (a) BEAM SPANS ARE BASED ON THE FOLLOWING ASSUMPTIONS:
 (b) BEAM SPANS ARE BASED ON THE FOLLOWING ASSUMPTIONS:
 (c) BEAM SPANS ARE BASED ON THE FOLLOWING ASSUMPTIONS:
 (d) BEAM SPANS ARE BASED ON THE FOLLOWING ASSUMPTIONS:
4. ALL TESTS WERE CONDUCTED IN ACCORDANCE WITH THE FOLLOWING TEST METHODS:
 (a) TENSILE TESTS WERE CONDUCTED IN ACCORDANCE WITH ASTM A370.
 (b) COMPRESSIVE TESTS WERE CONDUCTED IN ACCORDANCE WITH ASTM C109.
 (c) DEFLECTION TESTS WERE CONDUCTED IN ACCORDANCE WITH ASTM C109.
5. SHEAR METAL STRENGTH CAPACITIES WERE DETERMINED BY:
 (a) SHEAR METAL STRENGTH CAPACITIES WERE DETERMINED BY:
 (b) SHEAR METAL STRENGTH CAPACITIES WERE DETERMINED BY:
 (c) SHEAR METAL STRENGTH CAPACITIES WERE DETERMINED BY:



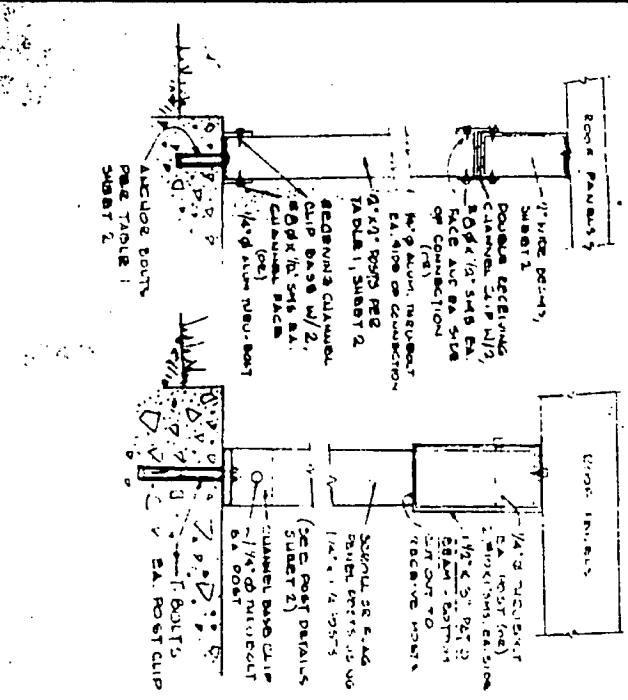
ATTACHED CADAVA OR SCREEN ROOM PLAN



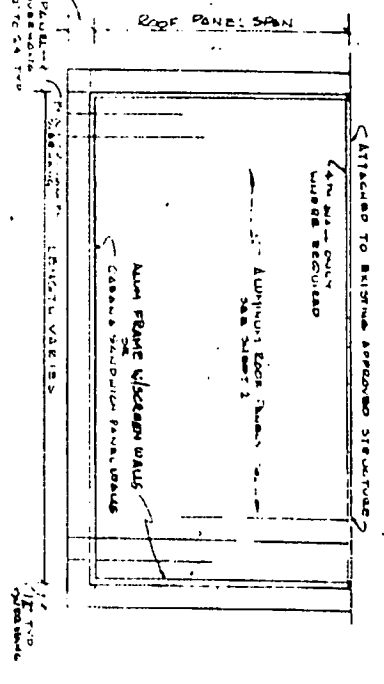
TYPICAL SECTION DETAILS



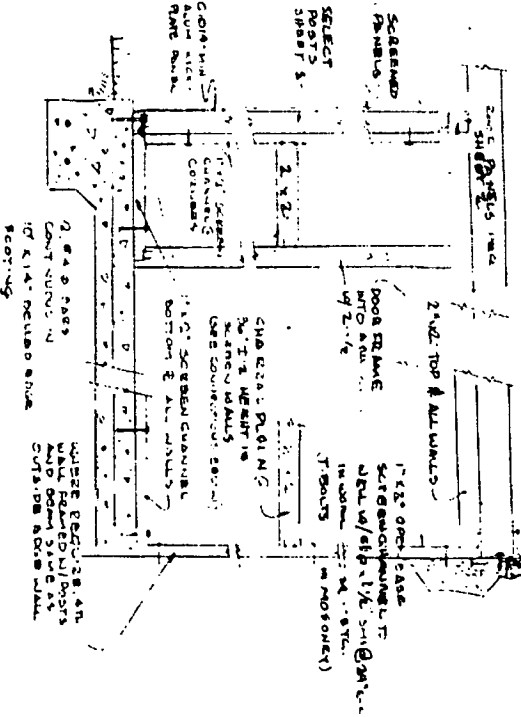
ALTERNATE ROOF AND BEAM CONNECTIONS



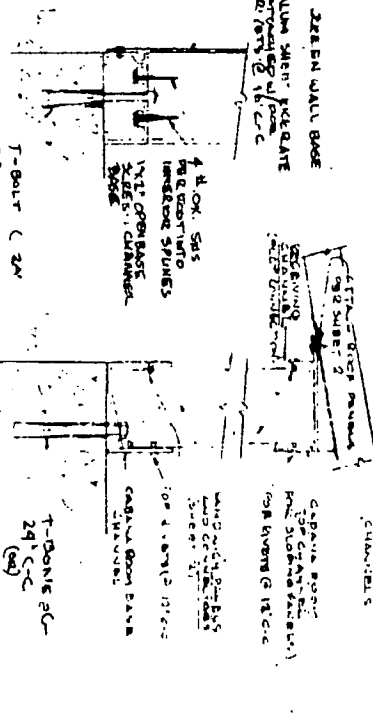
ATTACHED CADAVA OR SCREEN ROOM PLAN



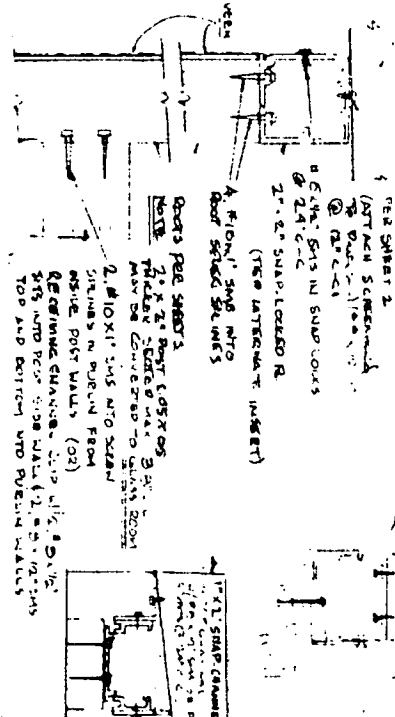
TYPICAL SCREEN ROOM SECTIONS



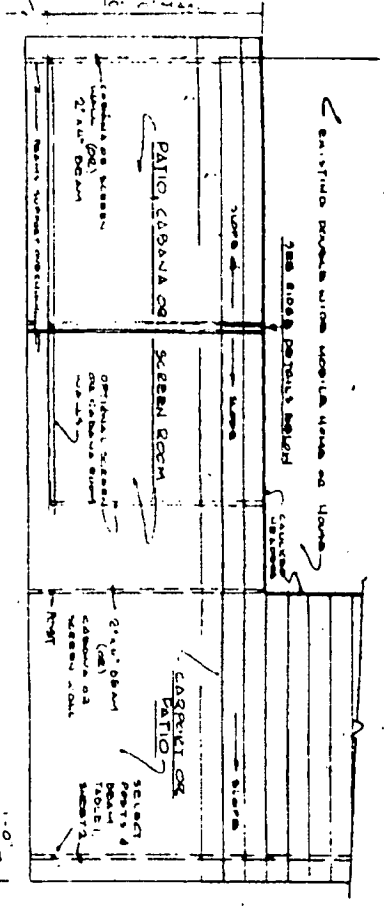
CONNECTION DETAILS



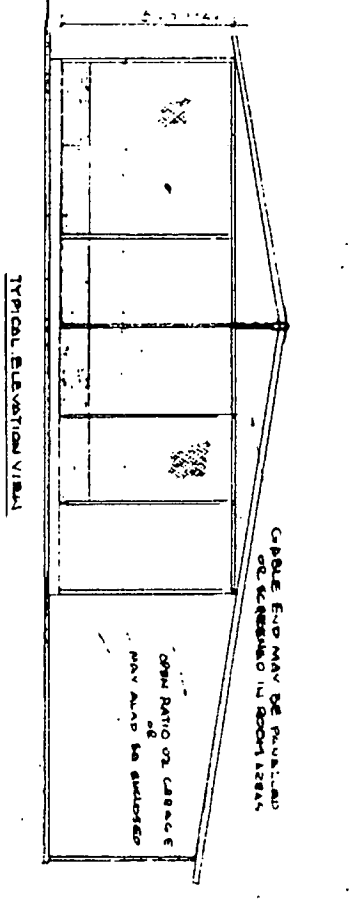
ROOF PANELS



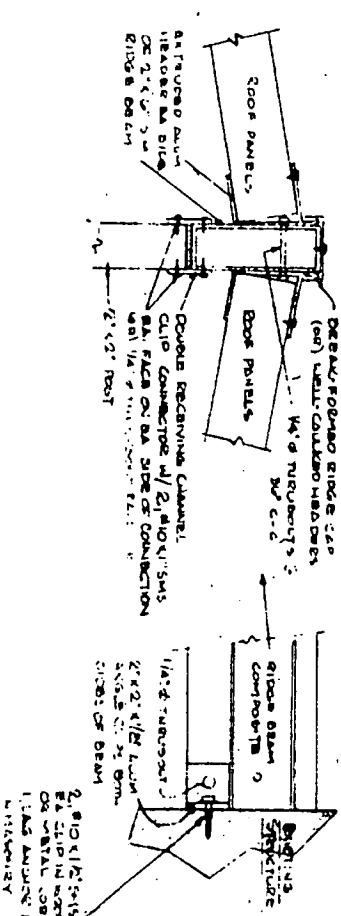
ATTACHED A-FRAME COMBINATION PATIO-CADAVA OR SCREEN ROOM ELEVATION



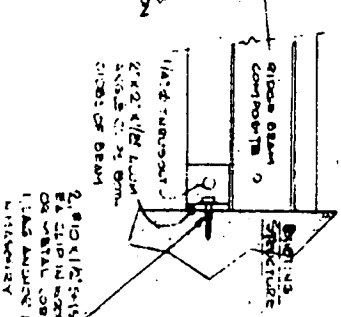
TYPICAL PLAN VIEW



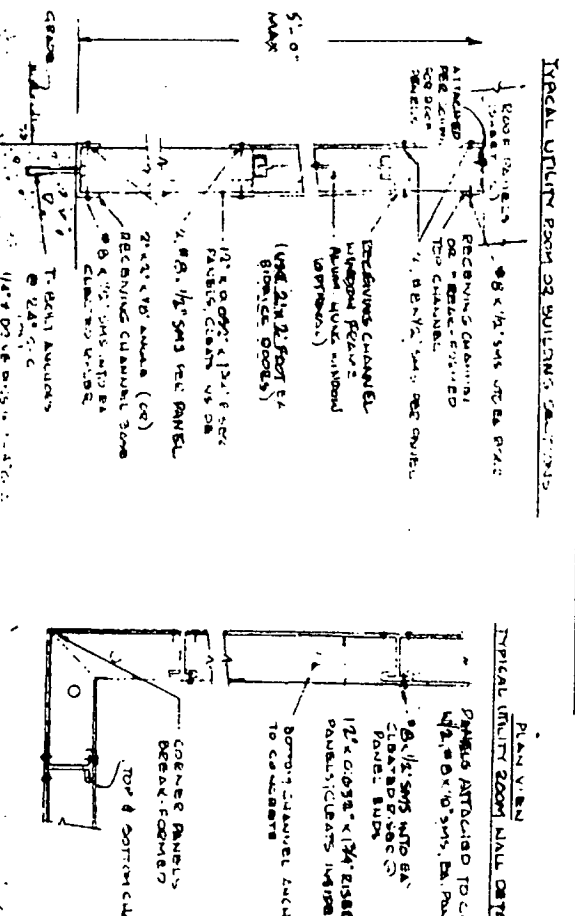
RIDGE BEAM DETAILS



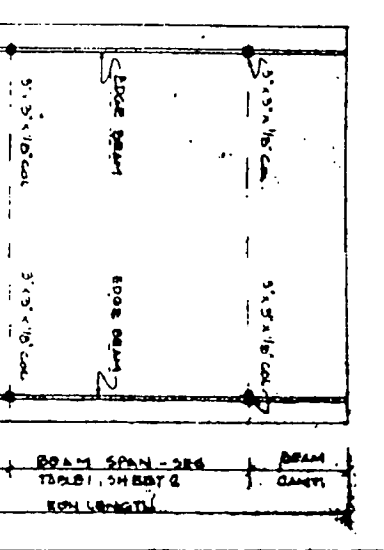
RIDGE BEAM END CONNECTION



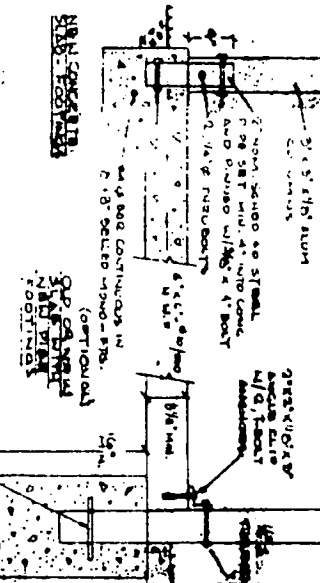
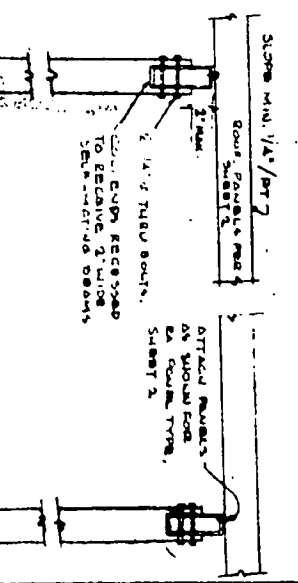
UTILITY STORAGE ROOMS AND BUILDINGS



F-PILE STANDING CLARETT PLAN



TYPICAL SECTIONS



<p>CLINE ASSOCIATES 3355 S. DIVINE HIGHWAY SUITE 100 PALM HARBOR, FL 34683</p>	<p>FOR: REGIONAL MANAGER 3355 S. DIVINE HIGHWAY SUITE 100, PALM HARBOR, FL 34683</p>
--	--

6771

ADDITION

WINDOWS

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 5/28/04 BUILDING PERMIT NO. 6771
 Building to be erected for ALLMAN Type of Permit ADDITION + REPL. WINDOWS
 Applied for by O/B (Contractor) Building Fee *60K x \$9.60/1000 = 576.00
 Subdivision RIO VISTA Lot _____ Block _____ Radon Fee _____
 Address 106 S. RIVER ROAD Impact Fee _____
 Type of structure SFR A/C Fee 35.00
 Parcel Control Number: _____ Plumbing Fee 35.00
1238410020000044050000 Roofing Fee 120.00
 Amount Paid 1101.37 Check # 5176 Cash _____ Other Fees 10% PLAN REVIEW 80.10
25% OB 220.27
 Total Construction Cost \$ 60,000. TOTAL Fees 1101.37

Signed John B Allman
Applicant

Signed Gene Simmons (DOB)
Town Building Official

PERMIT

- | | | |
|--|--|--|
| <input checked="" type="checkbox"/> BUILDING | <input checked="" type="checkbox"/> ELECTRICAL + A/C | <input checked="" type="checkbox"/> MECHANICAL |
| <input checked="" type="checkbox"/> PLUMBING | <input checked="" type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

CRITIQUE

Owner: John Allman

Date: May 17, 2004

Contractor: Owner/Builder

Contractor's Phone Number: 781-0169

Plan Reviewer: Gene Simmons

PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITALS FOR ADDITION AND REPLACEMENT OF WINDOWS LOCATED AT 106 SOUTH RIVER ROAD

Submittals (2 copies)

1. Current survey (**within one year**) containing the following information:
 - a. Computation of pervious and impervious areas
2. Product approvals (**current**) from Miami/Dade or other testing institutes approved by the Florida Building Code for the following items:
 - a. Siding – submitted cut sheets but **not** product approval
 - b. Roof Material
3. Energy Calculations
4. Copy of Health Department Permit
5. Proof of Ownership
6. Notice of Commencement
7. Application of Tree Permit

The following documents must be signed and sealed by a registered Architect or Engineer. (2 copies)

1. Foundation Plan containing the following information:
 - a. Bearing walls exterior and interior
 - b. Dimensions of all bearing walls exterior and interior
 - c. All footings and pad locations
 - d. Dimensions of all footing and pads
 - e. Step downs
 - f. Footing and Pad call outs for size (width and depth), steel (size, lap and placement)
2. Electrical Plan containing the following information:
 - a. **NOTE: Need letter from electrician stating existing panel large enough to carry additional loads.**
 - b. Show all receptacle, switch, and fixture locations
 - c. Show all WPGFI's and GFI's locations
 - d. Ceiling fan locations
 - e. Any specialty lighting requirements
 - f. Load calculations
3. Heating/Air Conditioning Plan containing the following information:

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # 12-38-41-002-000-00440-50

NOTICE OF COMMENCEMENT

STATE OF Florida

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY(INCLUDE STREET ADDRESS IF AVAILABLE):

Lot 44 Rio Vista Subdivision 106 S. River Rd. Stuart FL. 34996

GENERAL DESCRIPTION OF IMPROVEMENT: ADD 4th Bedroom + 3 Bathrooms

OWNER: John B. Allman

ADDRESS: 1860 S.W. Belgrave Terr. Stuart, Fla. 34997

PHONE #: 772-781-0169 FAX #: Same

CONTRACTOR: Owner Builder

ADDRESS: _____

PHONE #: _____ FAX #: _____

SURETY COMPANY(IF ANY) NONE

ADDRESS: _____ STATE OF FLORIDA
MARTIN COUNTY

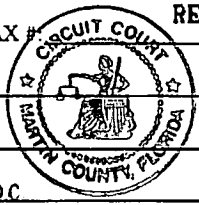
PHONE # _____ FAX # _____

BOND AMOUNT: _____ THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.

LENDER: None MARSHA EWING, CLERK

ADDRESS: _____ BY T. COPES D.C.

PHONE #: _____ DATE 5-11-04 FAX #: _____



INSTR # 1750165
OR BK 01897 PG 0093
RECORDED 05/11/2004 03:50:25 PM
MARSHA EWING
CLERK OF MARTIN COUNTY FLORIDA
RECORDED BY T Copes (asst mgr)

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____ FAX #: _____

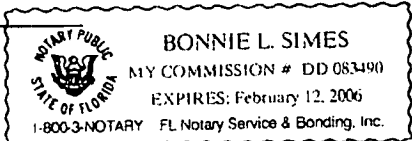
EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____ THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

John B. Allman
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 11th DAY OF MAY 2004 BY JOHN B. ALLMAN

Bonnie L. Simes
NOTARY SIGNATURE

PERSONALLY KNOWN _____
OR PRODUCED ID _____
TYPE OF ID PDL A455



G & H Air Conditioning, Inc.

64 GOFORTH BOULEVARD
PORT ST. LUCIE, FLORIDA 34952
(561) 464-4666
FAX (561) 464-4934

May 11, 2004

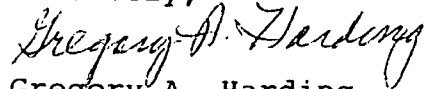
Town of Sewell's Point
1 Sewell's Point Road
Sewell's Point, FL 34996

RE: Renovation for John & Teddy Allman
106 South River Road
Stuart

G & H Air Conditioning, Inc. has performed work at the above address and the existing air conditioning system can cover the proposed additional 150 sq. ft.

If you have any additional questions, please call me.

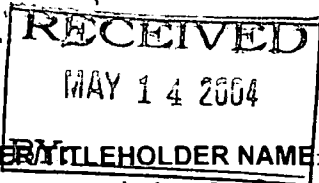
Sincerely,



Gregory A. Harding
President

cc: John & Teddy Allman

GAH;hmc



Permit Number: _____

Town of Sewall's Point

BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME

John Allman

Phone (Home)

781-0169

(Work)

260-9670

Job Site Address:

100 S. River Rd.

City:

Stuart

State:

FL

Zip:

34996

Legal Description of Property:

Parcel Number:

44

Owner Address (if different):

1800 SW Belgrane Terr

City:

Stuart

State:

FL

Zip:

34999

Description of Work To Be Done:

ADD 4th bedroom + bath + exchange some windows

WILL OWNER BE THE CONTRACTOR?:



No

(If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company Name:

Phone Number:

Street:

City:

State:

Zip:

State Registration Number:

State Certification Number:

Martin County License Number:

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 60,000.00

(Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical:

State:

License Number:

Mechanical:

State:

License Number:

Plumbing:

State:

License Number:

Roofing:

State:

License Number:

ARCHITECT

DAV BRADER

Phone Number:

287-8258

Street:

417 Coconut Ave

City:

Stuart

State:

FLA.

Zip:

34946

ENGINEER

Phone Number:

Street:

City:

State:

Zip:

AREA SQUARE FOOTAGE - SEWER - ELECTRIC

Living:

Garage:

Covered Patios:

Screened Porch:

Carpport:

Total Under Roof

Wood Deck:

Accessory Building:

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION:

National Electrical Code: 2002

Florida Energy Code: 2001

Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001

Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

John B. Allman

CONTRACTOR SIGNATURE (required)

State of Florida, County of:

Martin

On State of Florida, County of:

This the

11

day of

May

, 2004

This the

day of

200

by John B. Allman who is personally

by _____ who is personally

known to me or produced

Florida Photo Drivers License

known to me or produced

as identification.

A455462524250

As identification.

2-20-07

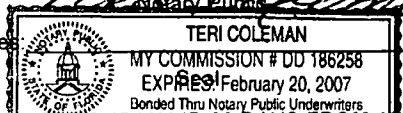
Notary Public

Notary Public

My Commission Expires:

My Commission Expires:

Seal



PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even through you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statues 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: John B. Allman Date: May 19 04

Signature: John B. Allman

Address: 1860 S.W. Belgrave Terr.

City & State: Stuart, FLA.

Permit No. _____



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2918**

NOTICE OF ACCEPTANCE (NOA)

**James Hardie Building Product, Inc.
10901 Elm Avenue
Fontana, CA 92337**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (in Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Hardiplank, Hardipanel and Hardisoffit

APPROVAL DOCUMENT: Drawing No. HPNL-8X, HPLK-4X8 & HSOFFIT-8X, titled "Hardipanel, Hardiplank, & Hardisoffit Installation Details", sheets 1 through 3, prepared, signed and sealed by Ronald Ogawa, P.E., dated 4/13/99, bearing the Miami-Dade County Product Control Renewal stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

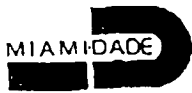
ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 99-0223.07 and, consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Raul Rodriguez.



**NOA No 02-0318.08
Expiration Date: May 1, 2007
Approval Date: May 23, 2002
Page 1**



MIAMI-DADE COUNTY
BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

J.M. Metals
1505 Cox Road
Cocoa, FL 32926

PACIFIC ROOFING CORPORATION

808 SE DIXIE HWY

STUART, FLORIDA 34994-0008

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: JM 1.5 Standing Seam Architectural Metal Roof System

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 00-0705.07 and consists of pages 1 through 4.
The submitted documentation was reviewed by Frank Zuloaga, RRC



NOA No 03-0507.05
Expiration Date: 08/31/08
Approval Date: 09/11/03
Page 1 of 4

ROOFING SYSTEM APPROVAL:

Category: Roofing
Sub-Category: Metal, Panels (Non-Structural)
Material: Steel
Deck Type: Wood
Maximum Design Pressure -86.25 psf

VALSPAR CORPORATION
 10000 W. BAYWAY
 STUART, FLORIDA 34994-3803

TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
JM 1.5 Standing Seam Metal Roof	l = varies w = 16" h = 1-1/2" Min. Thickness 0.023"	PA 110	Corrosion resistant galvanized or galvalume preformed, coated, prefinished, metal panels.
Panel Clip	l = 2"4 w = 1.5" h = 1.62" Min. Thickness 0.023"	PA 110	Corrosion resistant galvanized or galvalume preformed, coated, prefinished, metal clips.
Trim Pieces	l = varies w = varies Min. Thickness 0.023"	PA 110	Standard flashing and trim pieces. Manufactured for each panel width.

EVIDENCE SUBMITTED:

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Valspar Corporation		ASTM G 23 ASTM B 117	
Celotex Corporation Testing Services	MTS 520600	PA 100	May 2000
Hurricane Test Laboratory, Inc.	0223-0301-00	PA 125	March 2000



APPROVED SYSTEMS:

- SYSTEM A:** JM 1.5 Standing Seam Metal Roof Panel
- Deck Type:** Wood, Non-insulated
- Deck Description:** $1\frac{19}{32}$ " or greater plywood or wood plank.
- Maximum Uplift Pressure:** The maximum allowable design pressure for the JM Standing Seam metal panel shall be -86.25 psf
- Deck Attachment:** In accordance with applicable Building Code, but in no case shall it be less than 8d annular ring shank nails spaced 6" o.c. In reroofing, where the deck is less than $1\frac{19}{32}$ " thick (Minimum $1\frac{5}{32}$ "") the above attachment method must be in addition to existing attachment. 8d annular ring shank nails spaced 6" o.c.
- Underlayment:** Minimum underlayment shall be an ASTM D 226 Type II installed with a minimum 4" side-lap and 6" end-laps. Underlayment shall be fastened with corrosion resistant tin-caps and 12 gauge 1 1/4" annular ring-shank nails, spaced 6" o.c. at all laps and two staggered rows 12" o.c. in the field of the roll. Or, any approved underlayment having a current NOA.
- Fire Barrier Board:** Any approved fire barrier having a current NOA. Or for a class A or B fire rating, install minimum 1/4" thick Georgia Pacific "Dens Deck" (with current NOA) or minimum 4mm thick of Tritex. RockRoof (with current NOA) or 5/8" water resistant type X gypsum sheathing with treated core and facer.
- Valleys:** Valley construction shall be in compliance with the minimum requirements provided in Roofing Application Standard RAS 133, and with JM Metals' current published installation instructions.
- Metal Panels and Accessories:** Install the "JM Standing Seam Panels" and accessories in compliance with JM Metals' current, published installation instructions and details. Flashing, penetrations, valley construction and other details shall be constructed in compliance with the minimum requirements provided in Roofing Application Standards RAS 133.
- Panels shall be installed with approved clips (2" long x 1.5" wide x 1.62" tall), attached to substrate with two corrosion resistant #10 screw of sufficient length to penetrate through the sheathing a minimum of $\frac{3}{16}$ ". Clip fastening shall start 3" from panel end and not exceed 16" o.c. there after. Standing seams shall be mechanically seamed to a full 90° seam, (single lock).

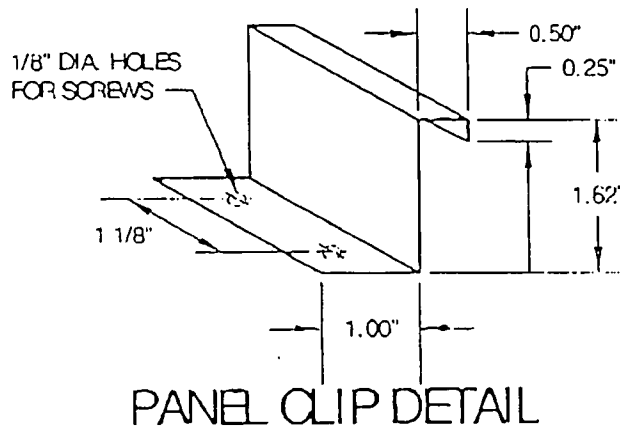
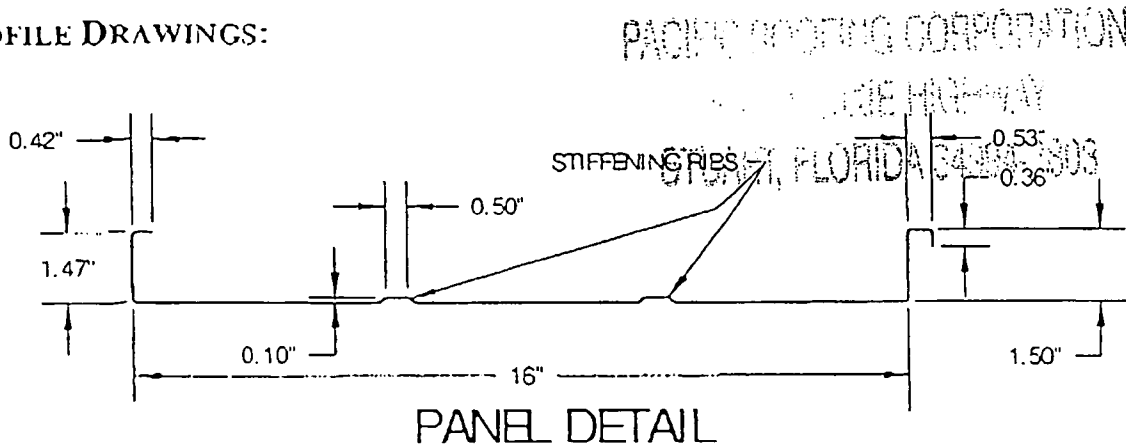
PACIFIC CORRUGATED METAL CORPORATION
 2000 W. 10th Street
 STUART, FLORIDA 34984-1803



SYSTEM LIMITATIONS

1. Increased design pressures for at perimeter and corner areas, in compliance with applicable building code may be met through rational analysis by increasing the number of attachment points in this areas. The maximum fastener spacing noted in the "Systems Description" section of this approval shall not be exceeded. All rational analysis computation shall be prepared, signed and sealed by a Florida Registered Professional Engineer, Registered Architect, or Registered Roof Consultant.
2. All panels shall be permanently labeled with the manufacturer's name and/or logo, and the following statement: "Miami-Dade County Product Control Approved."
3. Panels shall be roll formed in continuous lengths from eave to ridge. Maximum lengths shall be as described in Miami-Dade County Roofing Application Protocol RAS 133.
4. All products listed herein shall have a quality assurance audit in accordance with the Florida Building Code and Rule 9B-72 of the Florida Administrative Code.

PROFILE DRAWINGS:



END OF THIS ACCEPTANCE



NOA No 03-0507.05
 Expiration Date: 08/31/08
 Approval Date: 09/11/03
 Page 4 of 4

DATE	3/31/89
DWG NO.	WPK-4XB
SCALE	N.T.S.
DATE OF R. LAMP IN	1/1/89
PROJECT NO.	100-100-100
PROJECT NAME	THE HARZIP LANK® INSTALLATION DETAILS

THE DRAWING AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF THE ABOVE COMPANY AND NO PART THEREOF MAY BE REPRODUCED OR TRANSMITTED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ABOVE COMPANY.

JAMES HAYDON BUILDING PRODUCTS - USA
 904-356-4500
 904-356-4500
 FAX 904-621-8634

APPROVED AS SHOWN WITH THE
 SIGNATURE OF THE ARCHITECT
 DATE 12-11-83
 PROJECT NO. 100-100-100
 DRAWING NO. 100-100-100

NOTES:
 1. ALL INSTALLATION SHALL BE DONE IN CONFORMANCE WITH THE NOTICE OF ACCEPTANCE, THE MANUFACTURER'S INSTALLATION RECOMMENDATIONS, AND THE APPLICABLE SECTIONS OF THE SOUTH FLORIDA BUILDING CODE.
 2. STUDS OF METAL OR WOOD WHERE HARZIP LANK WILL BE INSTALLED SHALL BE DESIGNED BY AN ENGINEER OR ARCHITECT PER THE S.F.B.C. AND THE REQUIREMENTS OF THIS M.O.A.

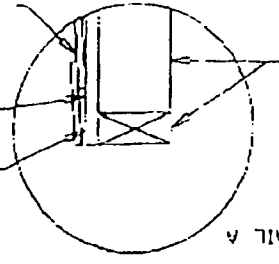
DESCRIPTION:
 Harzip Lank siding material is a non-ossesator fiber cement product tested in accordance with ASTM C-1183 and meeting the requirements of the South Florida Building Code.

PLANK DIMENSIONS:
 as compared with the finished
 finished length
 18 3/16"
 18 3/16"
 5/16"

DESIGN PRESSURE RATING:
 Installation Design Pressure
 -92 PSF
 Metal frame
 -92 PSF

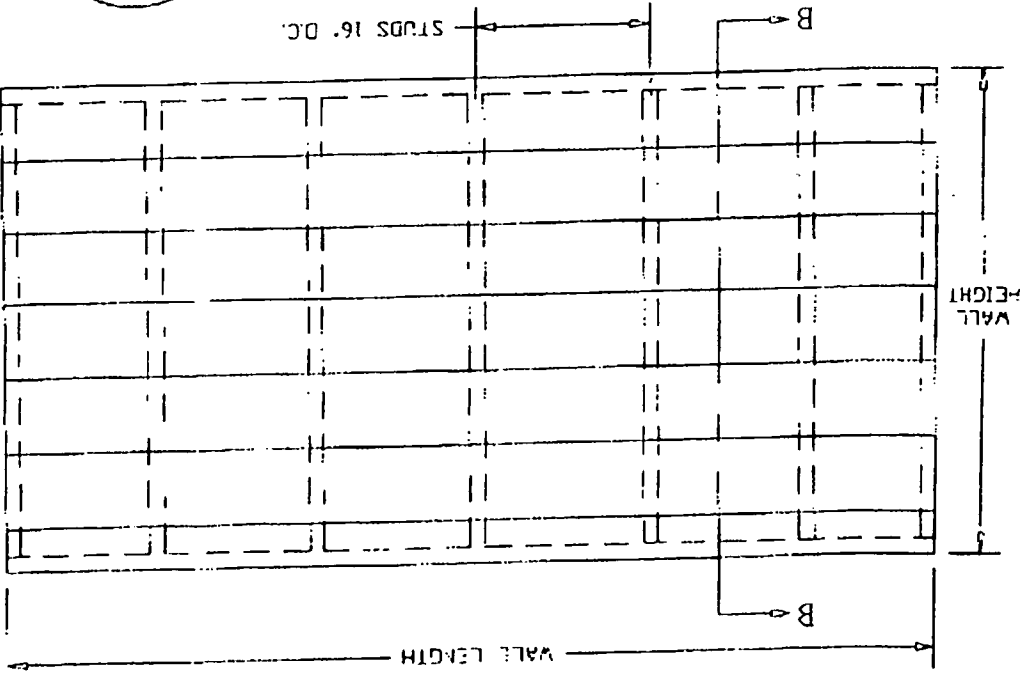
APPROVED BY: [Signature]
 PROJECT ENGINEER
 JAMES HAYDON BUILDING PRODUCTS

SECTION 3-B
 5/8" PLYWOOD SHEATHING
 WATERPROOFING
 PER 2704.66
 OF S.F.B.C.
 HARZIP LANK
 Siding



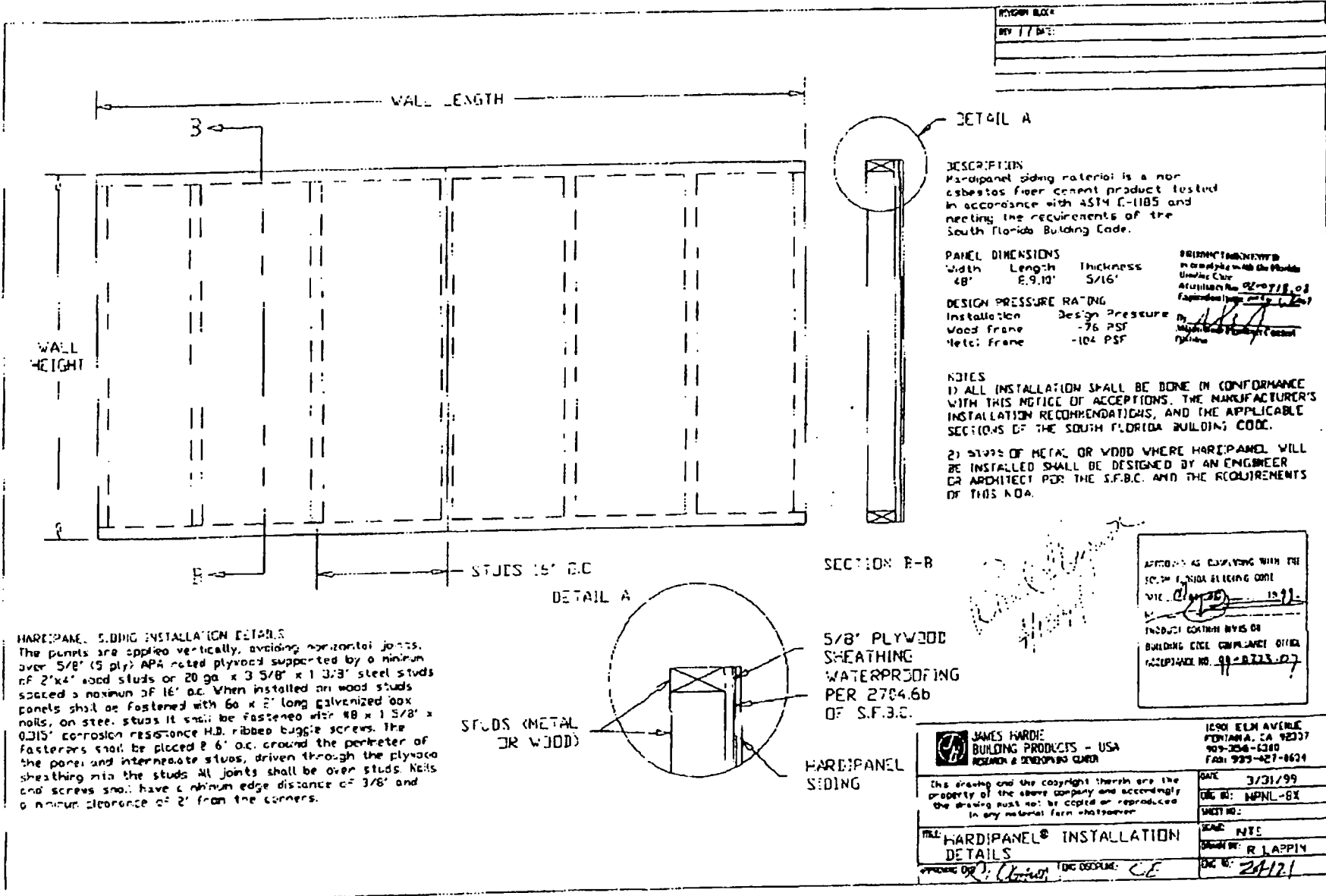
STUDS (METAL OR WOOD)

DETAIL A



HARZIP LANK SIDING INSTALLATION DETAILS
 The planks are applied horizontally commencing from the bottom course of a wall with 1/4" wide laps at top of the plank. The optional PVC cover holding 1/2" wide is applied to the bottom portion under the bottom plank course. The vertical joints must be over framing members. Optional PVC butt joints must be used for on-stud joining. The planks are to be installed over 5/8" (1 1/4") APA rated plywood supported by a minimum of 2" x 4" wood studs on 20" o.c. x 3 5/8" x 1 3/8" steel studs spaced a maximum of 16" o.c. The siding shall be fastened through over-lapping planks with 88 x 2 1/2" long galvanized box nails over 800 studs or with 88 x 2 1/4" long x 8315' corrosion resistant coated angle screws over steel studs. The fasteners shall be placed in the over-lapping area 8" o.c. vertically and 16" o.c. horizontally into the studs through the 5/8" plywood sheathing. A distance of 3/4" from the edges shall always be observed.

PROJECT NO.	100-100-100
DATE	12/16/83
PROJECT NAME	THE HARZIP LANK® INSTALLATION DETAILS



PROJECT BLOCK
REV 11/03

DETAIL A

DESCRIPTION
 Hardipanel siding material is a non-
 asbestos fiber cement product tested
 in accordance with ASTM C-1185 and
 meeting the requirements of the
 South Florida Building Code.

PANEL DIMENSIONS
 Width Length Thickness
 48" 8.9.10' 5/16"

PERFORMANCE RATED
 in accordance with the Florida
 Building Code
 Acceptance No. 02-0718-03
 Expiration Date 03/31/07

DESIGN PRESSURE RATING
 Installation Design Pressure
 Wood frame -76 PSF
 Metal frame -104 PSF

- NOTES**
- 1) ALL INSTALLATION SHALL BE DONE IN CONFORMANCE WITH THIS NOTICE OF ACCEPTATIONS, THE MANUFACTURER'S INSTALLATION RECOMMENDATIONS, AND THE APPLICABLE SECTIONS OF THE SOUTH FLORIDA BUILDING CODE.
 - 2) STUDS OF METAL OR WOOD WHERE HARDIPANEL WILL BE INSTALLED SHALL BE DESIGNED BY AN ENGINEER OR ARCHITECT PER THE S.F.B.C. AND THE REQUIREMENTS OF THIS NOA.

SECTION B-B

DETAIL A

APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE 12/16/03 BY [Signature]
 INSPECTOR CONTAINS BYES OR
 BUILDING CODE COMPLIANCE OFFICER
 ACCEPTANCE NO. 03-0718-07

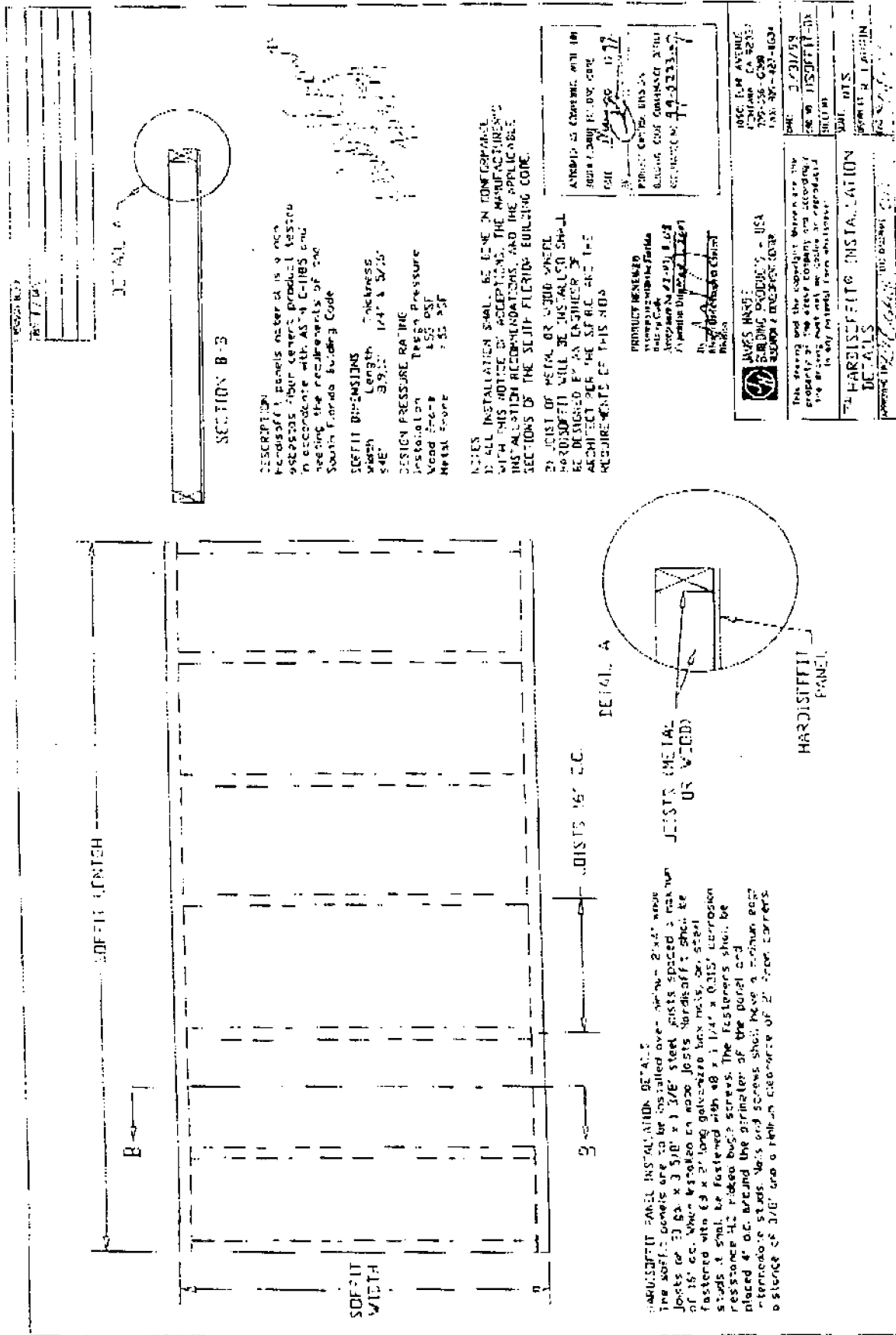
HARDIPANEL SIDING INSTALLATION DETAILS
 The panels are applied vertically, avoiding horizontal joints, over 5/8" (5 ply) APA rated plywood supported by a minimum of 2"x4" wood studs or 20 ga x 3 5/8" x 1 3/8" steel studs spaced a maximum of 16' o.c. When installed on wood studs panels shall be fastened with 60 x 2" long galvanized box nails, on steel studs it shall be fastened with 48 x 1 5/8" x 0.015" corrosion resistance H.D. ribbed bugle screws. The fasteners shall be placed @ 6' o.c. around the perimeter of the panel and intermediate studs, driven through the plywood sheathing into the studs. All joints shall be over studs. Nails and screws shall have a minimum edge distance of 3/8" and a minimum clearance of 2" from the corners.

STUDS (METAL OR WOOD)

5/8" PLYWOOD SHEATHING WATERPROOFING PER 2704.6b OF S.F.B.C.

HARDIPANEL SIDING

JAMES HARDIE BUILDING PRODUCTS - USA RESEARCH & DEVELOPMENT CENTER	1090 ELM AVENUE PERTHAMA, CA 92337 909-308-6300 FAX: 909-427-8624	
	DATE: 3/31/99 Dwg. No.: HAPNL-0X SHEET NO.: SCALE: NTS DRAWN BY: R. LAPPIN CHK. BY: ZAH21	This drawing and the copyright therein are the property of the above company and accordingly the drawing must not be copied or reproduced in any material form whatsoever.
TITLE: HARDIPANEL® INSTALLATION DETAILS DRAWING BY: [Signature]	THE OFFICE: CE	



DESCRIPTION
 Hardisoffit panels are a 9 inch
 9889205 fiber cement product tested
 in accordance with AS-4 C-1185 and
 meeting the requirements of the
 South Florida Building Code

SOFFIT DIMENSIONS
 Length 39.25
 Thickness 1/4" & 5/16"
 34E
DESIGN PRESSURE RATING
 Installation Test Pressure
 Wood Deck 155 PSF
 Metal Deck 75 PSF

NOTES
 1) ALL INSTALLATION SHALL BE DONE IN ACCORDANCE
 WITH THIS NOTICE BY ACCEPTING THE MANUFACTURER'S
 INSTALLATION RECOMMENDATIONS AND THE APPLICABLE
 SECTIONS OF THE SOUTH FLORIDA BUILDING CODE.
 2) JOIST OF METAL OR WOOD SHEET
 HARDISOFFIT WILL BE INSTALLED SHALL
 BE DETERMINED BY AN ENGINEER OF
 ARCHITECT PER THE SPECIFIC AND THE
 REQUIREMENTS OF THIS NOT

AVAILABLE AS COOPERING WITH THE
 SOUTH FLORIDA BLDG CODE
 DATE 1/16/83
 PROJECT ENGINEER: BRS-DA
 BUILDING CODE COMPLIANCE OFFICE
 49-2333-27

PRODUCT REVIEWED
 Approved by the Florida
 Building Code Compliance Office
 Approved on 12/15/83
 Approved by the Building Code
 Official
 Building Code Compliance Office
 Building Code Compliance Office

JAMES HANCOCK BUILDING PRODUCTS - USA
 1050 ELM AVENUE
 CHICAGO, IL 60631
 773-367-0300
 FAX 773-367-4214

HARDISOFFIT INSTALLATION
 DETAILS

HARDISOFFIT PANEL INSTALLATION DETAIL A
 The Hardisoffit panels are to be installed over Joists 2" x 4" where
 Joists are 21 GA x 3 5/8" x 3/8" steel joists spaced a maximum
 of 16' o.c. When installed on wood joists Hardisoffit shall be
 fastened with 63 x 2" long galvanized hex nuts, or steel
 studs & shall be fastened with 48 x 1 1/4" x 0.015" corrosion
 resistance 42. Picker bug screws. The fasteners shall be
 placed 4" o.c. around the perimeter of the panel and
 terminate studs. Hex and screws shall have a minimum edge
 distance of 3/8" and a minimum clearance of 2" from corners

DATE	3/20/89
BY	1153771-10
SCALE	AS SHOWN
PROJECT	1153771-10
DATE	3/20/89
BY	1153771-10
SCALE	AS SHOWN
PROJECT	1153771-10

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name: **ALLMAN**
Address:
City, State: **MARTIN COUNTY, FL**
Owner:
Climate Zone: **South**

Builder:
Permitting Office:
Permit Number:
Jurisdiction Number:

<p>1. New construction or existing New <input type="checkbox"/></p> <p>2. Single family or multi-family Single family <input type="checkbox"/></p> <p>3. Number of units, if multi-family 1 <input type="checkbox"/></p> <p>4. Number of Bedrooms 4 <input type="checkbox"/></p> <p>5. Is this a worst case? Yes <input type="checkbox"/></p> <p>6. Conditioned floor area (ft²) 2377 ft² <input type="checkbox"/></p> <p>7. Glass area & type Single Pane Double Pane <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Clear glass, default U-factor 0.0 ft² 0.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">b. Default tint 222.0 ft² 0.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">c. Labeled U or SHGC 0.0 ft² 0.0 ft² <input type="checkbox"/></p> <p>8. Floor types <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Slab-On-Grade Edge Insulation R=0.0, 269.0(p) ft <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>9. Wall types <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Concrete, Int Insul, Exterior R=4.2, 1769.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">b. Frame, Wood, Adjacent R=11.0, 547.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">d. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">e. N/A <input type="checkbox"/></p> <p>10. Ceiling types <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Under Attic R=19.0, 3040.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>11. Ducts <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Sup: Unc. Ret: Unc. AH: Attic Sup. R=6.0, 120.0 ft <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p>	<p>12. Cooling systems <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Central Unit Cap: 60.0 kBtu/hr <input type="checkbox"/></p> <p style="margin-left: 40px;">SEER: 14.00 <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>13. Heating systems <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Electric Strip Cap: 60.0 kBtu/hr <input type="checkbox"/></p> <p style="margin-left: 40px;">COP: 1.00 <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>14. Hot water systems <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Electric Resistance Cap: 50.0 gallons <input type="checkbox"/></p> <p style="margin-left: 40px;">EF: 0.94 <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. Conservation credits <input type="checkbox"/></p> <p style="margin-left: 40px;">(HR-Heat recovery, Solar DHP-Dedicated heat pump)</p> <p>15. HVAC credits <input type="checkbox"/></p> <p style="margin-left: 20px;">(CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, MZ-C-Multizone cooling, MZ-H-Multizone heating)</p>
--	---

Glass/Floor Area: 0.09

Total as-built points: 34639
Total base points: 39481

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: Paula Mannino

DATE: 27 May 04

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: John P. Allman

DATE: May 27 2004

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: _____

DATE: _____

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE SCORE* = 85.7

The higher the score, the more efficient the home.

, , MARTIN COUNTY, FL,

<p>1. New construction or existing New <input type="checkbox"/></p> <p>2. Single family or multi-family Single family <input type="checkbox"/></p> <p>3. Number of units, if multi-family 1 <input type="checkbox"/></p> <p>4. Number of Bedrooms 4 <input type="checkbox"/></p> <p>5. Is this a worst case? Yes <input type="checkbox"/></p> <p>6. Conditioned floor area (ft²) 2377 ft² <input type="checkbox"/></p> <p>7. Glass area & type</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 20%;"></td> <td style="width: 15%; text-align: center;">Single Pane</td> <td style="width: 15%; text-align: center;">Double Pane</td> <td style="width: 5%;"></td> </tr> <tr> <td>a. Clear - single pane</td> <td style="text-align: center;">0.0 ft²</td> <td style="text-align: center;">0.0 ft²</td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> <tr> <td>b. Clear - double pane</td> <td style="text-align: center;">222.0 ft²</td> <td style="text-align: center;">0.0 ft²</td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> <tr> <td>c. Tint/other SHGC - single pane</td> <td style="text-align: center;">0.0 ft²</td> <td style="text-align: center;">0.0 ft²</td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> <tr> <td>d. Tint/other SHGC - double pane</td> <td></td> <td></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table> <p>8. Floor types</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%;">a. Slab-On-Grade Edge Insulation</td> <td style="width: 30%; text-align: center;">R=0.0, 269.0(p) ft</td> <td style="width: 5%;"></td> </tr> <tr> <td>b. N/A</td> <td></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> <tr> <td>c. N/A</td> <td></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table> <p>9. Wall types</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%;">a. Concrete, Int Insul. Exterior</td> <td style="width: 30%; text-align: center;">R=4.2, 1769.0 ft²</td> <td style="width: 5%;"></td> </tr> <tr> <td>b. Frame, Wood, Adjacent</td> <td style="text-align: center;">R=11.0, 547.0 ft²</td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> <tr> <td>c. N/A</td> <td></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> <tr> <td>d. N/A</td> <td></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> <tr> <td>e. N/A</td> <td></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table> <p>10. Ceiling types</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%;">a. Under Attic</td> <td style="width: 30%; text-align: center;">R=19.0, 3040.0 ft²</td> <td style="width: 5%;"></td> </tr> <tr> <td>b. N/A</td> <td></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> <tr> <td>c. N/A</td> <td></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table> <p>11. Ducts</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%;">a. Sup: Unc. Ret: Unc. AH: Attic</td> <td style="width: 30%; text-align: center;">Sup. R=6.0, 120.0 ft</td> <td style="width: 5%;"></td> </tr> <tr> <td>b. N/A</td> <td></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>		Single Pane	Double Pane		a. Clear - single pane	0.0 ft ²	0.0 ft ²	<input type="checkbox"/>	b. Clear - double pane	222.0 ft ²	0.0 ft ²	<input type="checkbox"/>	c. Tint/other SHGC - single pane	0.0 ft ²	0.0 ft ²	<input type="checkbox"/>	d. Tint/other SHGC - double pane			<input type="checkbox"/>	a. Slab-On-Grade Edge Insulation	R=0.0, 269.0(p) ft		b. N/A		<input type="checkbox"/>	c. N/A		<input type="checkbox"/>	a. Concrete, Int Insul. Exterior	R=4.2, 1769.0 ft ²		b. Frame, Wood, Adjacent	R=11.0, 547.0 ft ²	<input type="checkbox"/>	c. N/A		<input type="checkbox"/>	d. N/A		<input type="checkbox"/>	e. N/A		<input type="checkbox"/>	a. Under Attic	R=19.0, 3040.0 ft ²		b. N/A		<input type="checkbox"/>	c. N/A		<input type="checkbox"/>	a. Sup: Unc. Ret: Unc. AH: Attic	Sup. R=6.0, 120.0 ft		b. N/A		<input type="checkbox"/>	<p>12. Cooling systems</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 70%;">a. Central Unit</td> <td style="width: 30%;">Cap: 60.0 kBtu/hr <input type="checkbox"/></td> </tr> <tr> <td>b. N/A</td> <td>SEER: 14.00 <input type="checkbox"/></td> </tr> <tr> <td>c. N/A</td> <td><input type="checkbox"/></td> </tr> </table> <p>13. Heating systems</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 70%;">a. Electric Strip</td> <td style="width: 30%;">Cap: 60.0 kBtu/hr <input type="checkbox"/></td> </tr> <tr> <td>b. N/A</td> <td>COP: 1.00 <input type="checkbox"/></td> </tr> <tr> <td>c. N/A</td> <td><input type="checkbox"/></td> </tr> </table> <p>14. Hot water systems</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 70%;">a. Electric Resistance</td> <td style="width: 30%;">Cap: 50.0 gallons <input type="checkbox"/></td> </tr> <tr> <td>b. N/A</td> <td>EF: 0.94 <input type="checkbox"/></td> </tr> <tr> <td>c. Conservation credits (HR-Heat recovery, Solar DHP-Dedicated heat pump)</td> <td><input type="checkbox"/></td> </tr> </table> <p>15. HVAC credits</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 70%;">(CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, MZ-C-Multizone cooling, MZ-H-Multizone heating)</td> <td style="width: 30%;"><input type="checkbox"/></td> </tr> </table>	a. Central Unit	Cap: 60.0 kBtu/hr <input type="checkbox"/>	b. N/A	SEER: 14.00 <input type="checkbox"/>	c. 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I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: John P. [Signature]

Date: S-27-04

Address of New Home: 106 S. River Rd.

City/FL Zip: 34997



**NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStarSM designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at www.fsec.ucf.edu for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.*

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: , MARTIN COUNTY, FL,

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES											
.18 X Conditioned X BSPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt			Area X SPM X SOF = Points			
.18	2377.0	32.50	13905.5	Single, Tint	NW	4.0	4.0	12.0	39.52	0.66	313.0
				Single, Tint	SW	4.0	4.0	12.0	60.87	0.52	380.9
				Single, Tint	W	5.0	5.0	40.0	58.39	0.56	1313.2
				Single, Tint	W	1.3	5.0	20.0	58.39	0.91	1059.2
				Single, Tint	W	6.0	2.0	16.0	58.39	0.40	377.8
				Single, Tint	S	1.3	5.0	20.0	55.34	0.86	948.8
				Single, Tint	E	5.0	5.0	40.0	65.40	0.53	1394.0
				Single, Tint	E	1.3	5.0	10.0	65.40	0.91	592.8
				Single, Tint	E	10.0	3.0	28.0	65.40	0.36	662.4
				Single, Tint	SE	5.0	3.0	14.0	66.34	0.43	397.1
				Single, Tint	N	1.3	5.0	10.0	29.33	0.93	273.6
				As-Built Total:			222.0		7712.9		
WALL TYPES Area X BSPM = Points				Type	R-Value		Area X SPM = Points				
Adjacent	547.0	1.00	547.0	Concrete, Int Insul, Exterior	4.2		1769.0	2.28		4033.3	
Exterior	1769.0	2.70	4776.3	Frame, Wood, Adjacent	11.0		547.0	1.00		547.0	
Base Total:				As-Built Total:			2316.0		4580.3		
DOOR TYPES Area X BSPM = Points				Type	Area X SPM = Points						
Adjacent	0.0	0.00	0.0	Exterior Wood			24.0	9.40		225.6	
Exterior	136.0	6.40	870.4	Exterior Insulated			112.0	6.40		716.8	
Base Total:				As-Built Total:			136.0		942.4		
CEILING TYPES Area X BSPM = Points				Type	R-Value		Area X SPM X SCM = Points				
Under Attic	2777.0	2.80	7775.6	Under Attic	19.0		3040.0	3.72 X 1.00		11308.8	
Base Total:				As-Built Total:			3040.0		11308.8		
FLOOR TYPES Area X BSPM = Points				Type	R-Value		Area X SPM = Points				
Slab	269.0(p)	-20.0	-5380.0	Slab-On-Grade Edge Insulation	0.0		269.0(p)	-20.00		-5380.0	
Raised	0.0	0.00	0.0								
Base Total:				As-Built Total:			269.0		-5380.0		
INFILTRATION Area X BSPM = Points				Area X SPM = Points							
						2377.0		18.79		44663.8	
						2377.0		18.79		44663.8	

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: , MARTIN COUNTY, FL,	PERMIT #:
-------------------------------	-----------

BASE				AS-BUILT						
Summer Base Points:			67158.6	Summer As-Built Points:			63828.2			
Total Summer Points	X System Multiplier	=	Cooling Points	Total Component	X Cap Ratio	X Duct Multiplier	X System Multiplier	X Credit Multiplier	=	Cooling Points
						<small>(DM x DSM x AHU)</small>				
67158.6	0.4266		28649.9	<small>63828.2</small> 63828.2	1.000	<small>(1.073 x 1.165 x 1.08)</small> 1.350	0.244	1.000		<small>20988.8</small> 20988.8

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: , MARTIN COUNTY, FL,

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES											
.18 X Conditioned X BWPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt			Area X WPM X WOF = Points			
.18	2377.0	2.36	1009.7	Single, Tint	NW	4.0	4.0	12.0	6.09	0.97	70.9
				Single, Tint	SW	4.0	4.0	12.0	5.26	1.11	70.2
				Single, Tint	W	5.0	5.0	40.0	5.65	1.03	231.8
				Single, Tint	W	1.3	5.0	20.0	5.65	1.00	112.8
				Single, Tint	W	6.0	2.0	16.0	5.65	1.03	93.2
				Single, Tint	S	1.3	5.0	20.0	4.79	1.02	98.1
				Single, Tint	E	5.0	5.0	40.0	5.05	1.11	224.6
				Single, Tint	E	1.3	5.0	10.0	5.05	1.02	51.7
				Single, Tint	E	10.0	3.0	28.0	5.05	1.29	182.7
				Single, Tint	SE	5.0	3.0	14.0	4.57	1.47	93.8
				Single, Tint	N	1.3	5.0	10.0	6.11	0.99	60.6
				As-Built Total:			222.0		1290.2		
WALL TYPES Area X BWPM = Points				Type	R-Value		Area X WPM = Points				
Adjacent	547.0	0.50	273.5	Concrete, Int Insul, Exterior	4.2		1769.0	1.02		1804.4	
Exterior	1769.0	0.60	1061.4	Frame, Wood, Adjacent	11.0		547.0	0.50		273.5	
Base Total:				As-Built Total:			2316.0		2077.9		
DOOR TYPES Area X BWPM = Points				Type	Area X WPM = Points						
Adjacent	0.0	0.00	0.0	Exterior Wood			24.0	2.80		67.2	
Exterior	136.0	1.80	244.8	Exterior Insulated			112.0	1.80		201.6	
Base Total:				As-Built Total:			136.0		268.8		
CEILING TYPES Area X BWPM = Points				Type	R-Value		Area X WPM X WCM = Points				
Under Attic	2777.0	0.10	277.7	Under Attic	19.0		3040.0	0.14 X 1.00		425.6	
Base Total:				As-Built Total:			3040.0		425.6		
FLOOR TYPES Area X BWPM = Points				Type	R-Value		Area X WPM = Points				
Slab	269.0(p)	-2.1	-564.9	Slab-On-Grade Edge Insulation	0.0		269.0(p)	-2.10		-564.9	
Raised	0.0	0.00	0.0								
Base Total:				As-Built Total:			269.0		-564.9		
INFILTRATION Area X BWPM = Points				Area X WPM = Points							
2377.0 -0.06 -142.6				2377.0 -0.06 -142.6							

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: , MARTIN COUNTY, FL,	PERMIT #:
-------------------------------	-----------

BASE			AS-BUILT					
Winter Base Points: 2159.6			Winter As-Built Points: 3355.0					
Total Winter Points	X System Multiplier	= Heating Points	Total Component	X Cap Ratio	X Duct Multiplier	X System Multiplier	X Credit Multiplier	= Heating Points
					<small>(DM x DSM x AHU)</small>			
2159.6	0.6274	1355.0	3355.0 3355.0	1.000 1.00	<small>(1.099 x 1.137 x 1.14)</small> 1.425	1.000 1.000	1.000 1.000	4779.2 4779.2

WATER HEATING & CODE COMPLIANCE STATUS

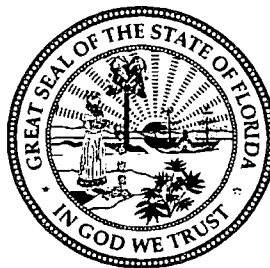
Residential Whole Building Performance Method A - Details

ADDRESS: , MARTIN COUNTY, FL,	PERMIT #:
-------------------------------	-----------

BASE	AS-BUILT
WATER HEATING	
Number of Bedrooms X Multiplier = Total	Tank Volume EF Number of Bedrooms X Tank X Multiplier X Credit = Total Multiplier
4 2369.00 9476.0	50.0 0.94 4 1.00 2217.79 1.00 8871.1
	As-Built Total: 8871.1

CODE COMPLIANCE STATUS							
BASE				AS-BUILT			
Cooling Points + Heating Points + Hot Water Points = Total Points				Cooling Points + Heating Points + Hot Water Points = Total Points			
28650	1355	9476	39481	20989	4779	8871	34639

PASS



Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: , MARTIN COUNTY, FL,

PERMIT #:

6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: 3 cfm/sq.ft. window area; 5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 6-12. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	



RIGHT-J LOAD AND EQUIPMENT SUMMARY

Entire House

Job: 27 MAY 04

Project Information

For: ALLMAN

Notes:

Design Information

Weather: West Palm Beach, FL , US

Winter Design Conditions

Outside db	45 °F
Inside db	70 °F
Design TD	25 °F

Summer Design Conditions

Outside db	91 °F
Inside db	75 °F
Design TD	16 °F
Daily range	L
Relative humidity	50 %
Moisture difference	60 gr/lb

Heating Summary

Building heat loss	38353 Btuh
Ventilation air	0 cfm
Ventilation air loss	0 Btuh
Design heat load	38353 Btuh

Sensible Cooling Equipment Load Sizing

Structure	44118 Btuh
Ventilation	0 Btuh
Design temperature swing	3.0 °F
Use mfg. data	n
Rate/swing multiplier	0.96
Total sens. equip. load	42353 Btuh

Infiltration

Method	Simplified	
Construction quality	Average	
Fireplaces	0	
	Heating	Cooling
Area (ft ²)	2377	2377
Volume (ft ³)	23770	23770
Air changes/hour	0.70	0.40
Equiv. AVF (cfm)	277	158

Latent Cooling Equipment Load Sizing

Internal gains	1380 Btuh
Ventilation	0 Btuh
Infiltration	6440 Btuh
Total latent equip. load	7820 Btuh
Total equipment load	50174 Btuh
Req. total capacity at 0.70% SHR	5.0 ton

Heating Equipment Summary

Make	n/a
Trade	n/a
Efficiency	100.0 EFF
Heating input	0 Btuh
Heating output	0 Btuh
Heating temp rise	0 °F
Actual heating fan	1800 cfm
Heating air flow factor	0.047 cfm/Btuh
Space thermostat	

Cooling Equipment Summary

Make	Trane
Trade	
	2TTX4060A1000A
	TWE065E13FB
Efficiency	14.0 SEER
Sensible cooling	42350 Btuh
Latent cooling	18150 Btuh
Total cooling	60500 Btuh
Actual cooling fan	1800 cfm
Cooling air flow factor	0.041 cfm/Btuh
Load sensible heat ratio	85 %

Printout certified by ACCA to meet all requirements of Manual J 7th Ed.



Causeway Lumber Company

The Builder's Choice since 1939

BONITA SPRINGS - Old U.S. 41 Rd. - Tel. 239-992-3423 - Fax 239-947-4099

FORT LAUDERDALE - 2601 S. Andrews Ave. - Tel. 954-763-1224 - Fax 954-527-9217

STUART - 8451 SW Old Kansas Ave. - Tel. 561-781-2332 - Fax 561-781-2355

TRUSS DIVISION

Engineering Package

Jobsite

Bldg. Dept. (Sealed)

Architect

Monday, September 13, 2004

Job Number 39354

Placement Diagram

Designer Allen Henderson

Contractor JOHN B ALLMAN

Job Name ALLMAN RES

Job Address 106 S RIVER ROAD

PN # 6771

Subdivision

Lo Block

City SEWALLS POINT

State FL ZipCode



Causeway Lumber Company

The Builder's Choice since 1939

BONITA SPRINGS - Old U.S. 41 Rd. - Tel. 239-992-3423 - Fax 239-947-4099

FORT LAUDERDALE - 2601 S. Andrews Ave. - Tel. 954-763-1224 - Fax 954-527-9217

STUART - 8451 SW Old Kansas Ave. - Tel. 561-781-2332 - Fax 561-781-2355

Index Cover Sheet

CONTRACTOR / BUILDER / ADDRESS INFORMATION

Customer	JOHN B ALLMAN	Job Number	39354		
Job Name	ALLMAN RES	Job Address	106 S RIVER ROAD	Subdivision	
Lot	Block	City	SEWALLS POINT	State	FL ZipCode

Architect / Engineer

DESIGN INSTRUCTIONS

Importance Factor		Wind Load Type	ASCE 7-98
Building Type	Closed	Design Wind Speed	140
Category	II	Duration Factor	1.33
Building Exposure	C	Software Used:	ALPINE ENGINEERED PRODUCTS, INC.

LOADING INSTRUCTIONS

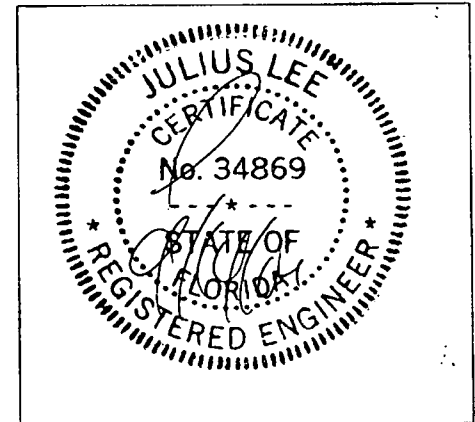
	<u>LOADS</u>	<u>ROOF</u>	<u>FLOORS</u>
TCLL		30	0
TCDL		15	0
BCDL		10	0
BCLL		0	0
Total		55	

As witness my seal, I hereby certify that this serves as a cover sheet in conformance with Chapter 61G15-31 Section 003 of the Florida Board of Professional Regulation. this package includes a truss index sheet and truss drawings.

Julius Lee, PE / Florida Certification Number 34869
Florida Business Engineering License Number 5606
15880 Weatherly Rd., Wellington, FL 33414

Date _____

The seal on this index sheet indicates acceptance of professional engineering responsibility solely for the Truss Design Drawings listed and attached. The suitability is the responsibility of the Building Designer, per ANSI/TPI 1-1995 Section 2 and ANSI/TPI/WTCA 4 Section 2-4.





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STUART - 8451 SW Old Kansas Ave. - Tel. 561-781-2332 - Fax 561-781-2355

Truss Index Sheet

JOB NUMBER 39354

Customer JOHN B ALLMAN

Job Name ALLMAN RES

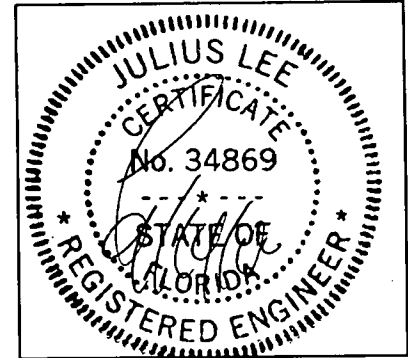
Job Address 106 S RIVER ROAD

Subdivision

Lot Block City SEWALLS POINT State FL ZipCode

PG#	TRUSS	SEQ#	PG#	TRUSS	SEQ#	PG#	TRUSS	SEQ#	PG#	TRUSS	SEQ#	PG#	TRUSS	SEQ#
1	A1	44599												
2	B2	40663												
3	B1	50610												
4	B3	40681												
5	B4	40677												
6	B5	44549												
7	EJ5	50582												
8	EJ4G	44589												
9	EJ4	44585												
10	J3	44564												
11	J1	44570												
12	HJ5	50597												
13	HJ4	44577												
14	V16	50632												
15	V12	50627												
16	V8	50623												
17	V4	50619												

Julius Lee, PE / Florida Certification Number 34869
 Florida Business Engineering License Number 5606
 15880 Weatherly Rd., Wellington, FL 33414
 Seal Applied to Right



Top chord 2x4 SP #2 Dense
 Bot chord 2x4 SP #2 Dense
 Webs 2x4 SP #3

140 mph wind, 15.00 ft mean hgt, ASCE 7-98, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

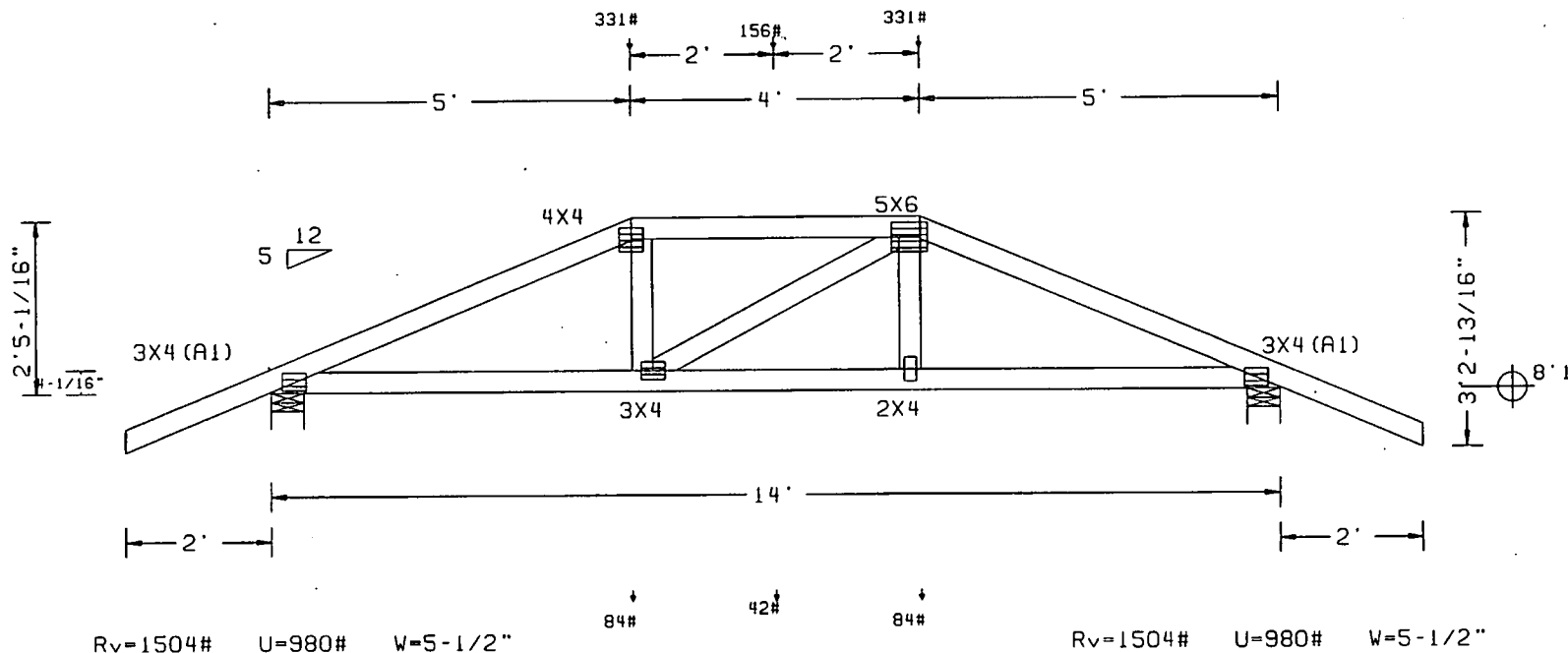
Roof overhang supports 10.00 psf soffit load.

In lieu of structural panels or rigid ceiling use purlins to brace all flat TC @ 24" OC, all BC @ 24" OC.

SPECIAL LOADS

----- (LUMBER DUR.FAC.=1.33 / PLATE DUR.FAC.=1.33)
 TC - From 90 PLF at -2.00 to 90 PLF at 16.00
 BC - From 20 PLF at -2.00 to 20 PLF at 0.00
 BC - From 20 PLF at 0.00 to 20 PLF at 14.00
 BC - From 20 PLF at 14.00 to 20 PLF at 16.00
 TC - 331 LB Conc. Load at 5.00, 9.00
 TC - 156 LB Conc. Load at 7.00
 BC - 84 LB Conc. Load at 5.00, 9.00
 BC - 42 LB Conc. Load at 7.00

Deflection meets L/360 live and L/240 total load.



TAG = T1
 PLT. TYP. - WAVE

FBC/TPI 1995 (STD)

QTY= 1 TOTAL= 1

REV. 7.01.0420.12

SEQ = 40663
 SCALE = 0.3750

Causeway
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 Port Lauderdale, FL 33316
 (954) 763-1224

WARNING TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCSI 1-03 (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 583 D'ONOFRIO DR., SUITE 200, MADISON, VI. 53719) AND WTCA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN, MADISON, VI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.
IMPORTANT FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN: ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC BY AF&PA) AND TPI. ALPINE CONNECTOR PLATES ARE MADE OF 20/18/16GA (V, H/S/K) ASTM A653 GRADE 40/60 (W, K/H, S) GALV. STEEL. APPLY PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER DRAWINGS 160A-2. ANY INSPECTION OF PLATES FOLLOWED BY (I) SHALL BE PER ANNEX A3 OF TPI 1-2002 SEC. 3. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER, PER ANSI/TPI 1 SEC. 2.



LL	30.0psf
TC DL	15.0psf
BC DL	10.0psf
BC LL	0.0psf
TC LD.	55.0psf
DUR.FAC.	1.33
SPACING	24.0"

REF	
DATE	09-13-2004
DRWG	AJH
O/A LEN.	14
TYPE	hips

Top chord 2x4 SP #2 Dense
 Bot chord 2x4 SP #2 Dense
 Webs 2x4 SP #3

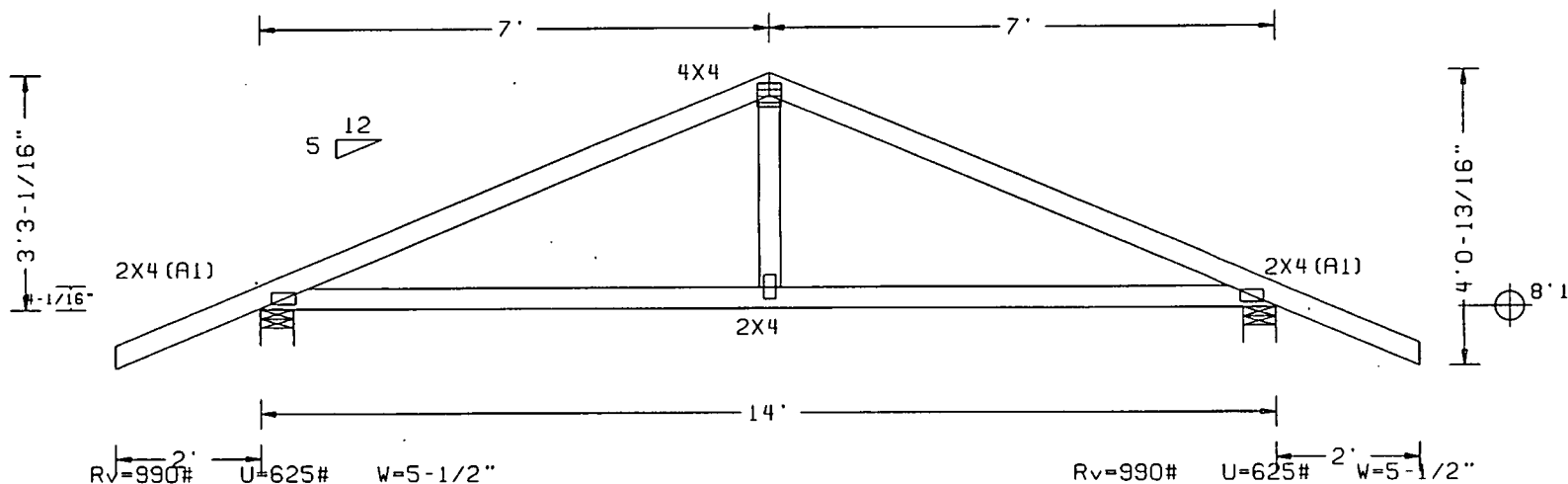
140 mph wind, 9.46 ft mean hgt, ASCE 7-98, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

Roof overhang supports 10.00 psf soffit load.

Components and cladding wind pressures considered for uplift callouts.

**** WARNING! Mid-panel deflections excessive **** Truss has vertical deflection of -0.41" due to live load and 0.08" due to dead load. Creep increase factor for dead load is 1.00.

In lieu of rigid ceiling use purlins to brace BC @ 24" OC



TAG = T2
 PLT. TYP. -WAVE

FBC/TPI1995 (STD)

QTY= 3 TOTAL= 3

REV. 7.01.0420.12

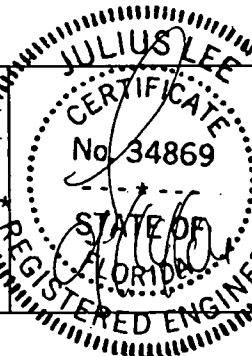
SEQ = 50610
 SCALE = 0.3750

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LL	30.0psf
TDL	15.0psf
BCDL	10.0psf
BCLL	0.0psf
TOL	55.0psf
DR.FAC.	1.33
SPACING	24.0"

REF	
DATE	09-13-2004
DRWG	AJH
O/A LEN.	14
TYPE	COMM

Top chord 2x4 SP SS
Bot chord 2x4 SP #2 Dense

140 mph wind, 15.00 ft mean hgt, ASCE 7-98, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

Roof overhang supports 10.00 psf soffit load.

In lieu of rigid ceiling use purlins to brace BC @ 24" OC

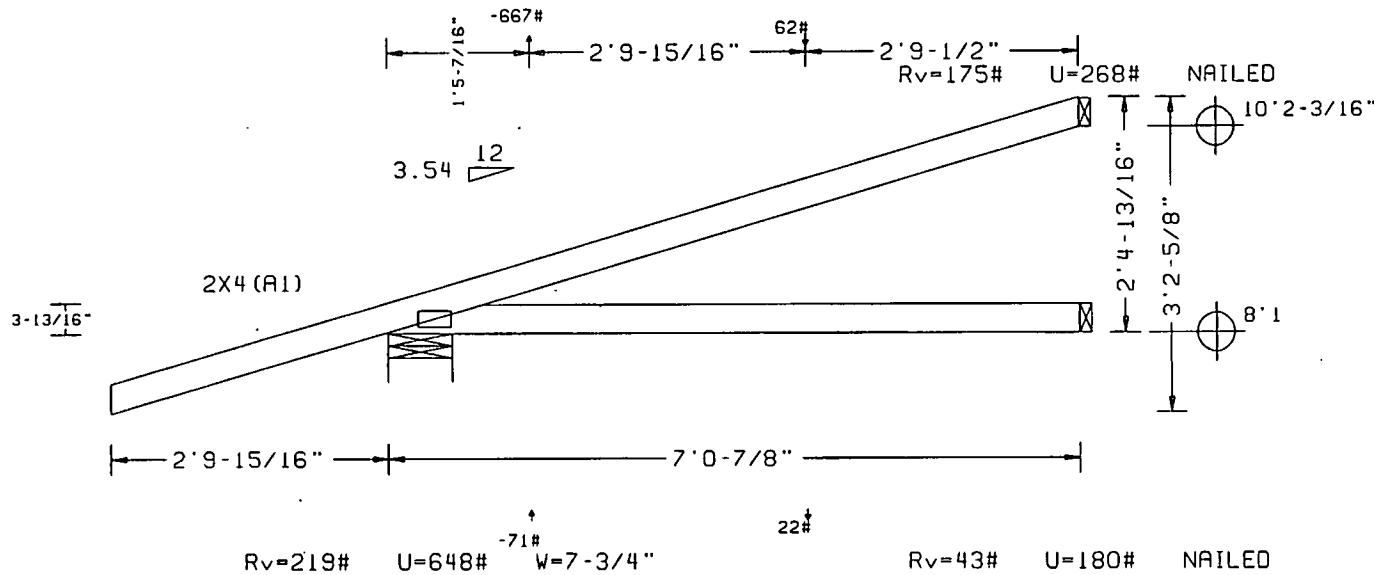
**** WARNING! Overhang deflections excessive **** Truss has vertical deflection on overhang of 0.49" due to live load at X - -2-9-15. Creep increase factor for dead load is 1.00.

Top chord overhangs have been checked only for loads as indicates. Overhangs not checked for man loads or long-term deflection.

SPECIAL LOADS

----- (LUMBER DUR.FAC.=1.33 / PLATE DUR.FAC.=1.33)
TC - From 90 PLF at -2.83 to 90 PLF at 7.07
BC - From 20 PLF at -2.83 to 20 PLF at 0.00
BC - From 20 PLF at 0.00 to 20 PLF at 7.07
TC - -667 LB Conc. Load at 1.45
TC - 62 LB Conc. Load at 4.28
BC - -71 LB Conc. Load at 1.45
BC - 22 LB Conc. Load at 4.28

**** WARNING! Mid-panel deflections excessive **** Truss has vertical deflection of -0.43" due to live load and 0.04" due to dead load. Creep increase factor for dead load is 1.00.



TAG = T3
PLT. TYP. -WAVE

FBC/TPI1995 (STD)

QTY= 2 TOTAL= 2

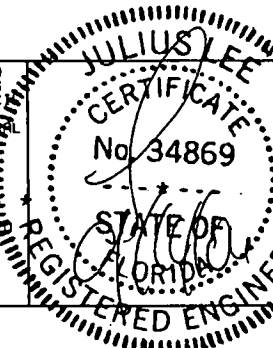
REV. 7.01.0420.12 SEQ = 50597
SCALE = 0.5000

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TC LL	30.0psf
TC DL	15.0psf
BC DL	10.0psf
BC LL	0.0psf
SOFFIT DL	55.0psf
DUR.FAC.	1.33
SPACING	24.0"

REF	
DATE	09-13-2004
DRWG	AJH
O/A LEN.	70014
TYPE	hip_jack

Top chord 2x4 SP SS
Bot chord 2x4 SP #2 Dense

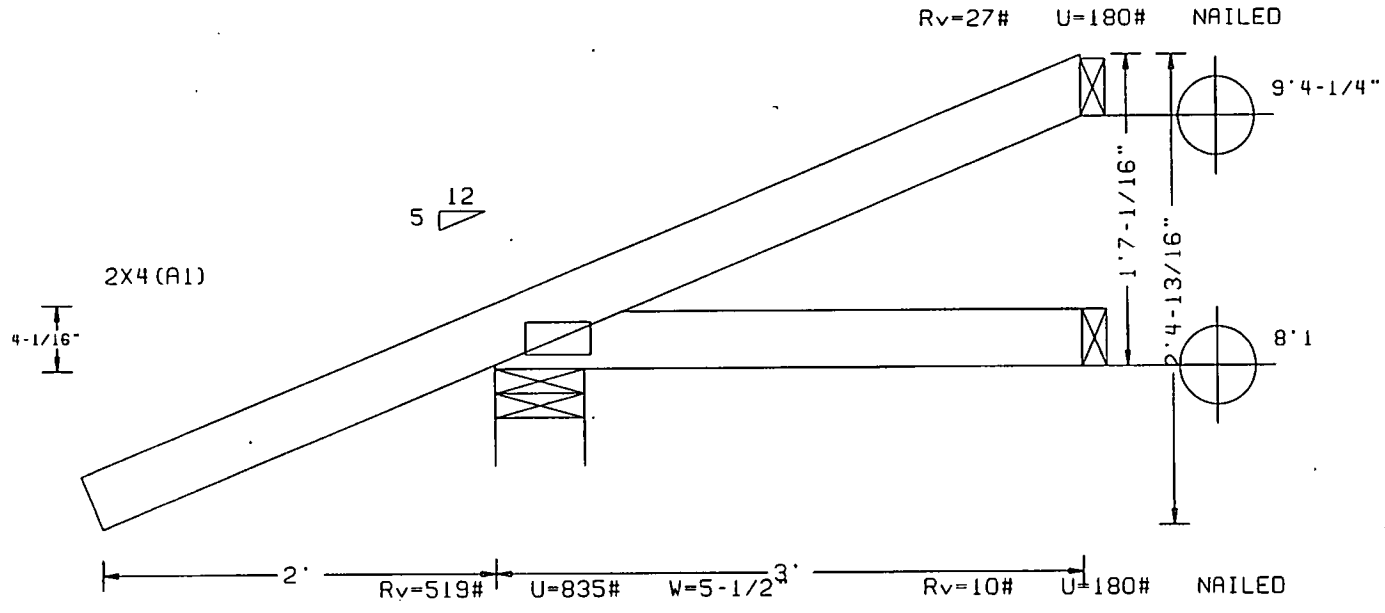
140 mph wind, 8.61 ft mean hgt, ASCE 7-98, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

Roof overhang supports 10.00 psf soffit load.

Components and cladding wind pressures considered for uplift callouts.

**** WARNING! Overhang deflections excessive **** Truss has vertical deflection on overhang of -0.33" due to live load at X = -2-0-11. Creep increase factor for dead load is 1.00.

In lieu of rigid ceiling use purlins to brace BC @ 24" OC



TAG = T4
PLT. TYP. -WAVE

FBC/TPI1995 (STD)

QTY= 6 TOTAL= 6

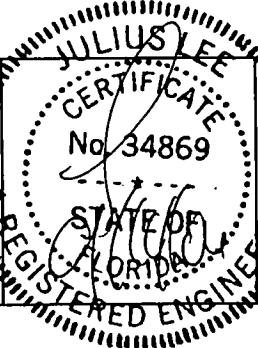
REV. 7.00.0130.16
SEQ = 44564
SCALE = 1.0000

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LL	30.0psf
TC DL	15.0psf
BC DL	10.0psf
BC LL	0.0psf
TOG LD.	55.0psf
DR. FAC.	1.33
SPACING	24.0"

REF	
DATE	09-13-2004
DRWG	
	AJH
O/A LEN.	3
TYPE	jack

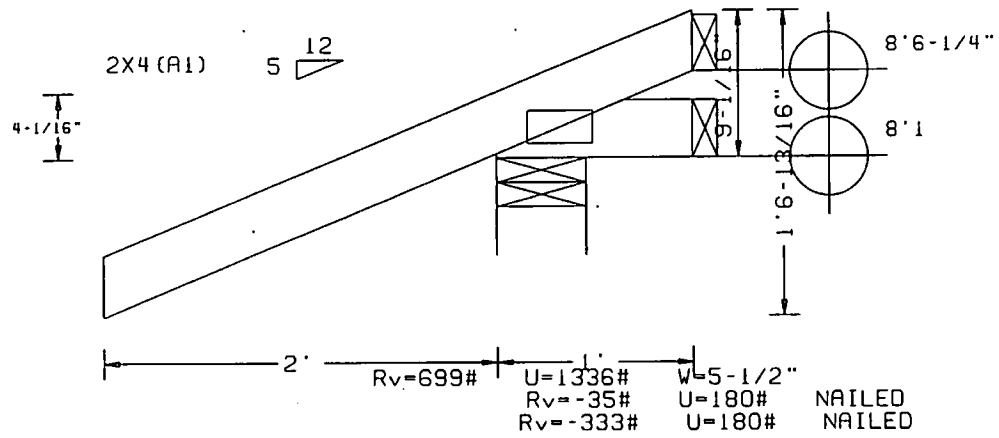
Top chord 2x4 SP SS
Bot chord 2x4 SP #2 Dense

Components and cladding wind pressures considered for uplift callouts.
Roof overhang supports 10.00 psf soffit load.

Negative reaction(s) of -333# MAX. (See below) from a non-wind load case requires uplift connection.

140 mph wind, 8.21 ft mean hgt, ASCE 7-98, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

In lieu of rigid ceiling use purlins to brace BC @ 24" OC



TAG = T5
PLT. TYP. -WAVE

FBC/TPI1995 (STD)

QTY= 6 TOTAL= 6

REV. 7.00.0130.16

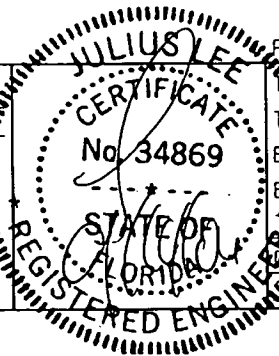
SEQ = 44570
SCALE = 1.0000

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LL	30.0psf
TC DL	15.0psf
BC DL	10.0psf
BC CL	0.0psf
TOI LD.	55.0psf
DR.FAC.	1.33
PACING	24.0"

REF	
DATE	09-13-2004
DRWG	AJH
O/A LEN.	1
TYPE	jack

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense

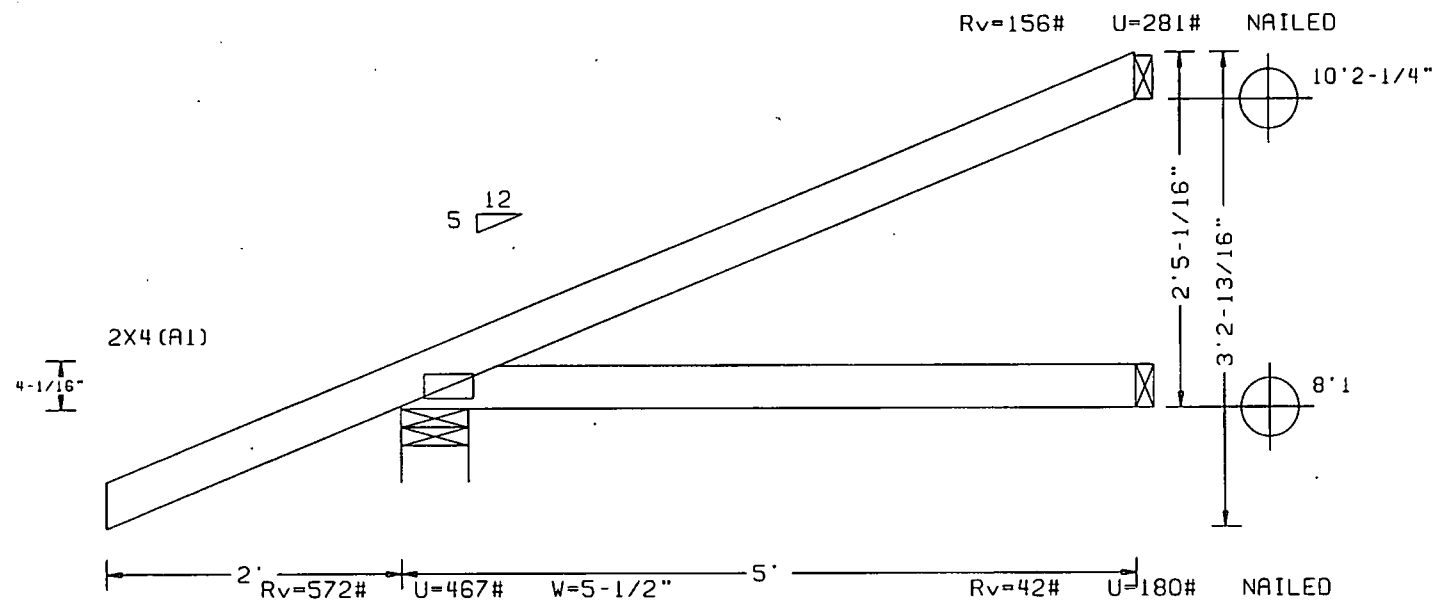
Roof overhang supports 10.00 psf soffit load.

Deflection meets L/360 live and L/240 total load.

140 mph wind, 9.05 ft mean hgt, ASCE 7-98, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

Components and cladding wind pressures considered for uplift callouts.

In lieu of rigid ceiling use purlins to brace BC @ 24" OC



TAG = T6
PLT. TYP. - WAVE

FBC/TPI1995 (STD)

QTY= 3 TOTAL= 3

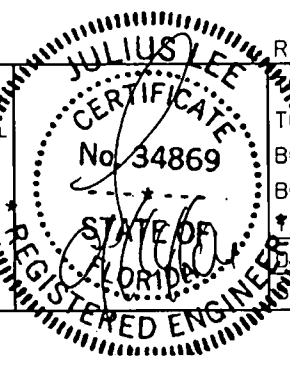
REV. 7.01.0420.12
SCALE = 0.7500
SEQ = 50582

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BC LL	30.0psf	REF
TD DL	15.0psf	DATE 09-13-2004
BC DL	10.0psf	DRWG
BC LL	0.0psf	AJH
TO LD.	55.0psf	O/A LEN. 5
DR. FAC.	1.33	
SPACING	24.0"	TYPE e jack

Top chord 2x4 SP SS
Bot chord 2x4 SP #2 Dense

140 mph wind, 15.00 ft mean hgt, ASCE 7-98, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

Roof overhang supports 10.00 psf soffit load.

In lieu of rigid ceiling use purlins to brace BC @ 24" OC

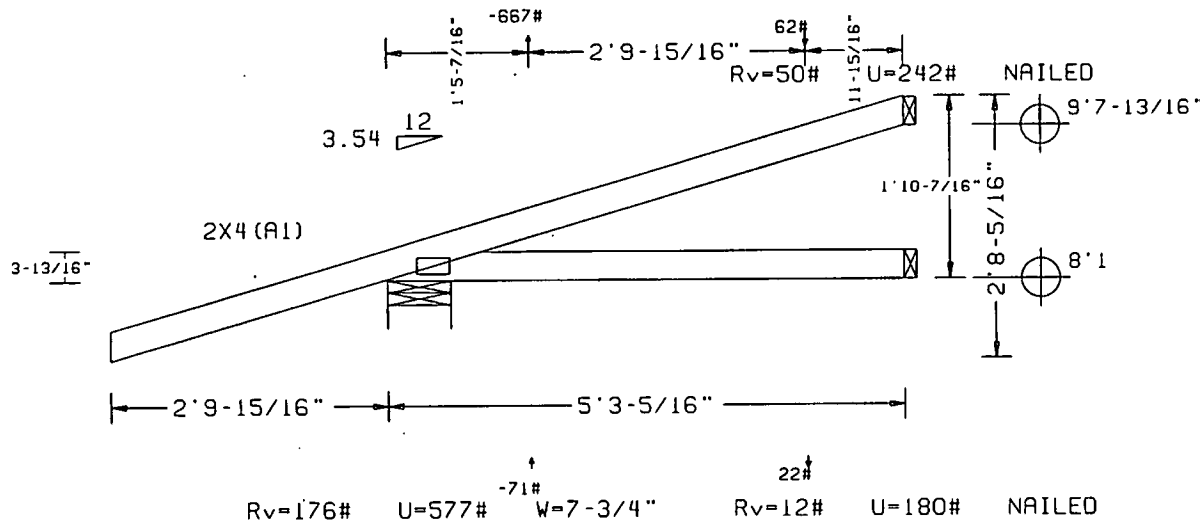
** WARNING! Overhang deflections excessive ** Truss has vertical deflection on overhang of 0.55" due to live load at X = -2-9-15. Creep increase factor for dead load is 1.00.

Top chord overhangs have been checked only for loads as indicates. Overhangs not checked for man loads or long-term deflection.

SPECIAL LOADS

----- (LUMBER DUR.FAC.=1.33 / PLATE DUR.FAC.=1.33)
TC - From 90 PLF at -2.83 to 90 PLF at 5.27
BC - From 20 PLF at -2.83 to 20 PLF at -0.00
BC - From 20 PLF at -0.00 to 20 PLF at 5.27
TC - -667 LB Conc. Load at 1.45
TC - 62 LB Conc. Load at 4.28
BC - -71 LB Conc. Load at 1.45
BC - 22 LB Conc. Load at 4.28

Deflection meets L/360 live and L/240 total load.



TAG = T7
PLT. TYP. -WAVE

FBC/TPI1995 (STD)

QTY= 1 TOTAL= 1

REV. 7.00.0130.16

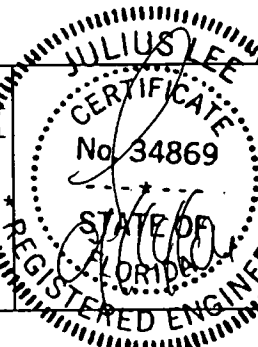
SEQ = 44577
SCALE = 0.5000

Causeway
Lumber Company



2601 S. Andrews Ave.
Fort Lauderdale, FL 33316
(954) 763-1224

WARNING TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCSI 1-03 (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 583 DONOFRIO DR., SUITE 200, MADISON, WI 53719) AND WCA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.
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LL	30.0psf	REF
TC DL	15.0psf	DATE 09-13-2004
BC DL	10.0psf	DRWG
BC LL	0.0psf	AJH
TC LD	55.0psf	O/A LEN. 50305
DUR.FAC.	1.33	
SPACING	24.0"	TYPE hip-jack

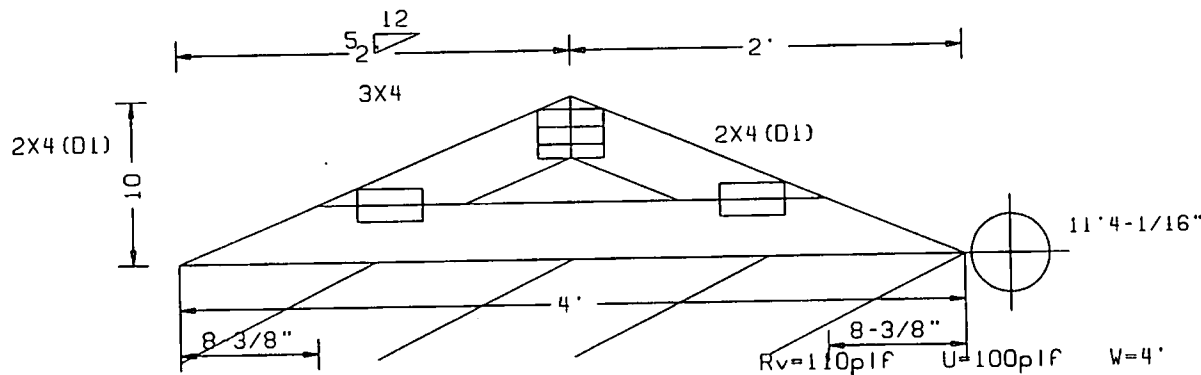
Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense

In lieu of rigid ceiling use purlins to brace BC @ 24" OC

140 mph wind, 11.90 ft mean hgt, ASCE 7-98, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

Components and cladding wind pressures considered for uplift callouts.

See DWG VALTRUSS1103 for valley details.



TAG = T8
PLT. TYP. -WAVE

FBC/TPI1995 (STD)

QTY= 1 TOTAL= 1

REV. 7.01.0420.12

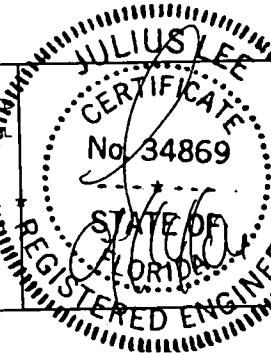
SEO = 50619
SCALE = 1.0000

**Causeway
Lumber Company**



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Fort Lauderdale, FL 33316
(954) 763-1224

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LL	30.0psf
TC DL	15.0psf
BC DL	10.0psf
BC L	0.0psf
TO LD.	55.0psf
STR. FAC.	1.33
SPACING	24.0"

REF	
DATE	09-13-2004
DRWG	AJH
O/A LEN.	4
TYPE	val

Job: (39354) JOHN B ALLMAN / V8

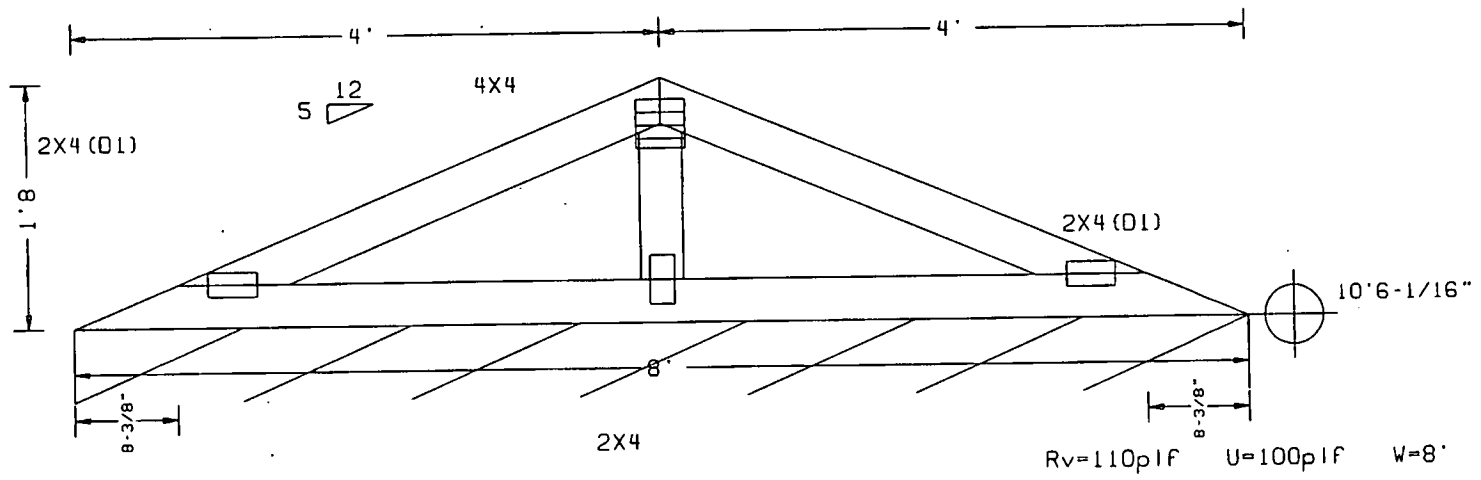
Top chord 2x4 SP #2 Dense
 Bot chord 2x4 SP #2 Dense
 Webs 2x4 SP #3

In lieu of rigid ceiling use purlins to brace BC @ 24" OC
 See DWG VALTRUSS1103 for valley details.

140 mph wind, 11.48 Ft mean hgt, ASCE 7-98, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

Components and cladding wind pressures considered for uplift callouts.

Deflection meets L/360 live and L/240 total load.



TAG = T9
 PLT. TYP. -WAVE

FBC/TPI 1995 (STD)

QTY= 1 TOTAL= 1

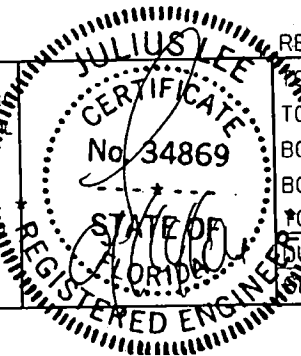
REV. 7.01.0420.12
 SEO = 50623
 SCALE = 0.7500

Causeway Lumber Company



2601 S. Andrews Ave.
 Fort Lauderdale, FL 33318
 (954) 763-1224

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LL	30.0psf
TC DL	15.0psf
BC DL	10.0psf
BC L	0.0psf
PO. LO.	55.0psf
DR. FAC.	1.33
SPACING	24.0"

REF	
DATE	09-13-2004
DRWG	AJH
O/A LEN.	8
TYPE	val

Top chord 2x4 SP #2 Dense
 Bot chord 2x4 SP #2 Dense
 Webs 2x4 SP #3

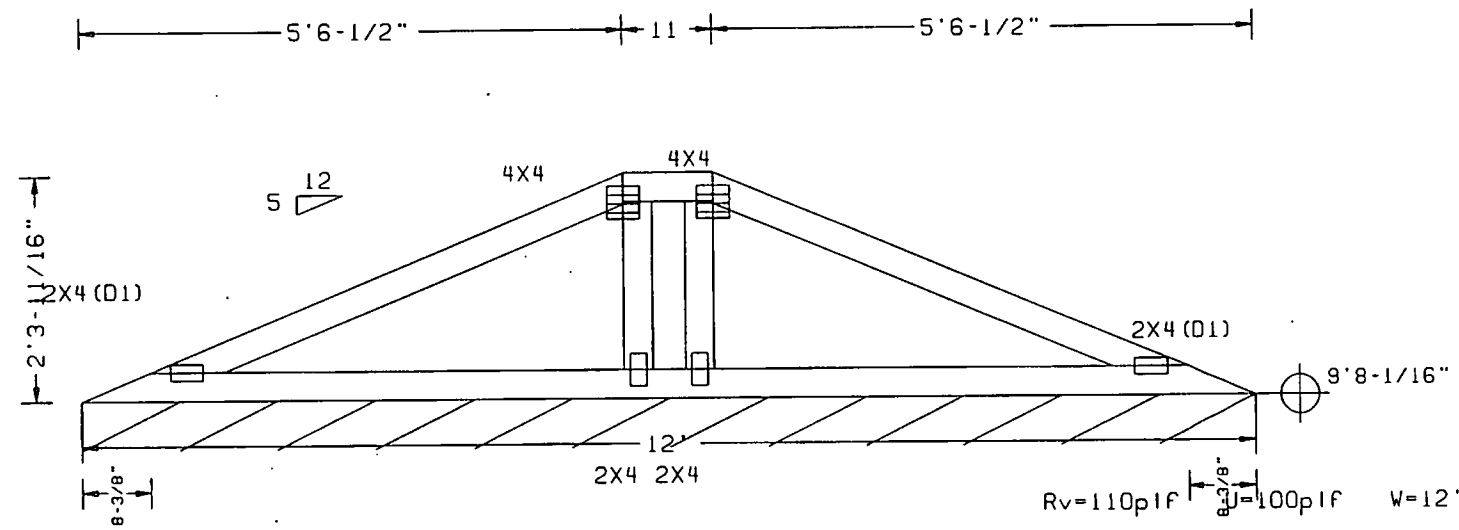
140 mph wind, 10.97 ft mean ht, ASCE 7-98, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC OL=5.0 psf, wind BC OL=5.0 psf.

In lieu of structural panels or rigid ceiling use purlins to brace all flat TC @ 24" OC, all BC @ 24" OC.

Components and cladding wind pressures considered for uplift callouts.

Deflection meets L/360 live and L/240 total load.

See DWG VALTRUSS1103 for valley details.



TAG = T10
 PLT. TYP. -WAVE

FBC/TPI1995 (STD)

QTY= 1 TOTAL= 1

REV. 7.01.0420.12

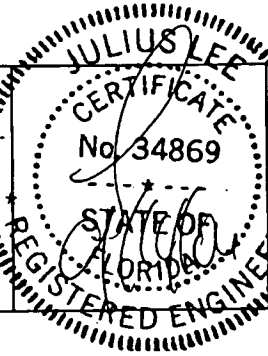
SEO = 50627
 SCALE = 0.5000

Causeway
 Lumber Company



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 Fort Lauderdale, FL 33316
 (954) 763-1224

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LL	30.0psf
TC/DL	15.0psf
BC/DL	10.0psf
BC/LL	0.0psf
TOTAL	55.0psf
DR.FAC.	1.33
SPACING	24.0"

REF	
DATE	09-13-2004
DRWG	
	AJH
O/A LEN.	12
TYPE	val

Top chord 2x4 SP #2 Dense
 Bot chord 2x4 SP #2 Dense
 Webs 2x4 SP #3

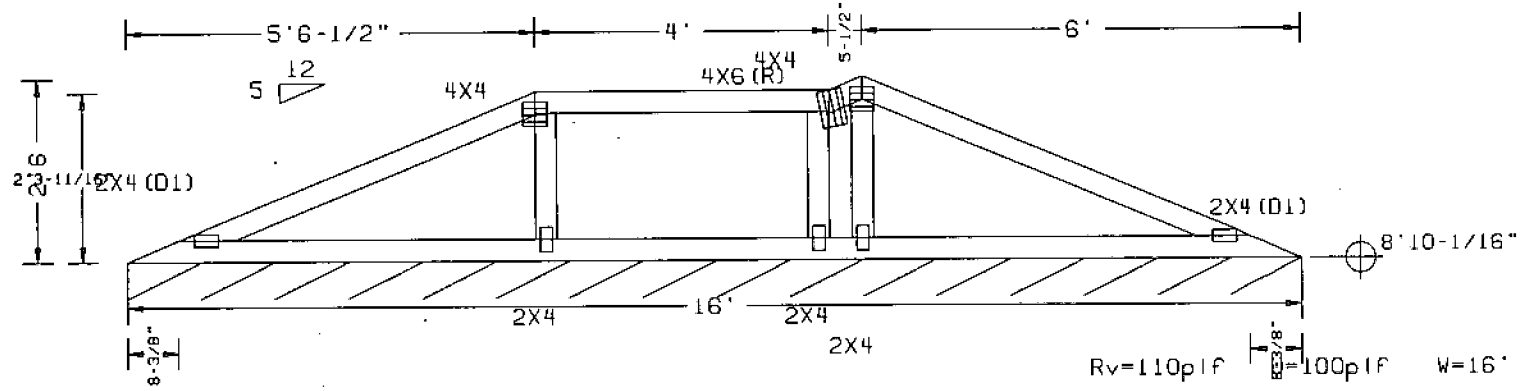
140 mph wind, 10.23 ft mean hgt, ASCE 7-98, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP 8, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

In lieu of structural panels or rigid ceiling use purlins to brace all Flat TC @ 24" OC, all BC @ 24" OC.

Components and cladding wind pressures considered for uplift callouts.

Deflection meets L/360 live and L/240 total load.

See DWG VALTRUSS1103 for valley details.



TAG = T11
 PLT. TYP. - WAVE

FBC/TPI1995 (STD)

QTY= 1 TOTAL= 1

REV. 7.01.0420.12

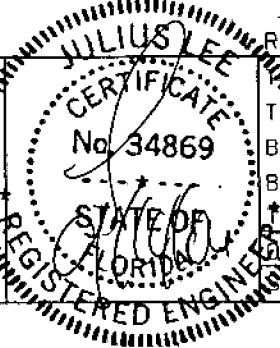
SEQ = 50632
 SCALE = 0.3750

Causeway Lumber Company



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 Fort Lauderdale, FL 33316
 (954) 763-1224

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LL	30.0psf	REF
TOTL	15.0psf	DATE 09-13-2004
BCDL	10.0psf	DRWG
BCLL	0.0psf	AJH
TOTL	55.0psf	O/A LEN. 16
DR.FAC.	1.33	
BRACING	24.0"	TYPE val

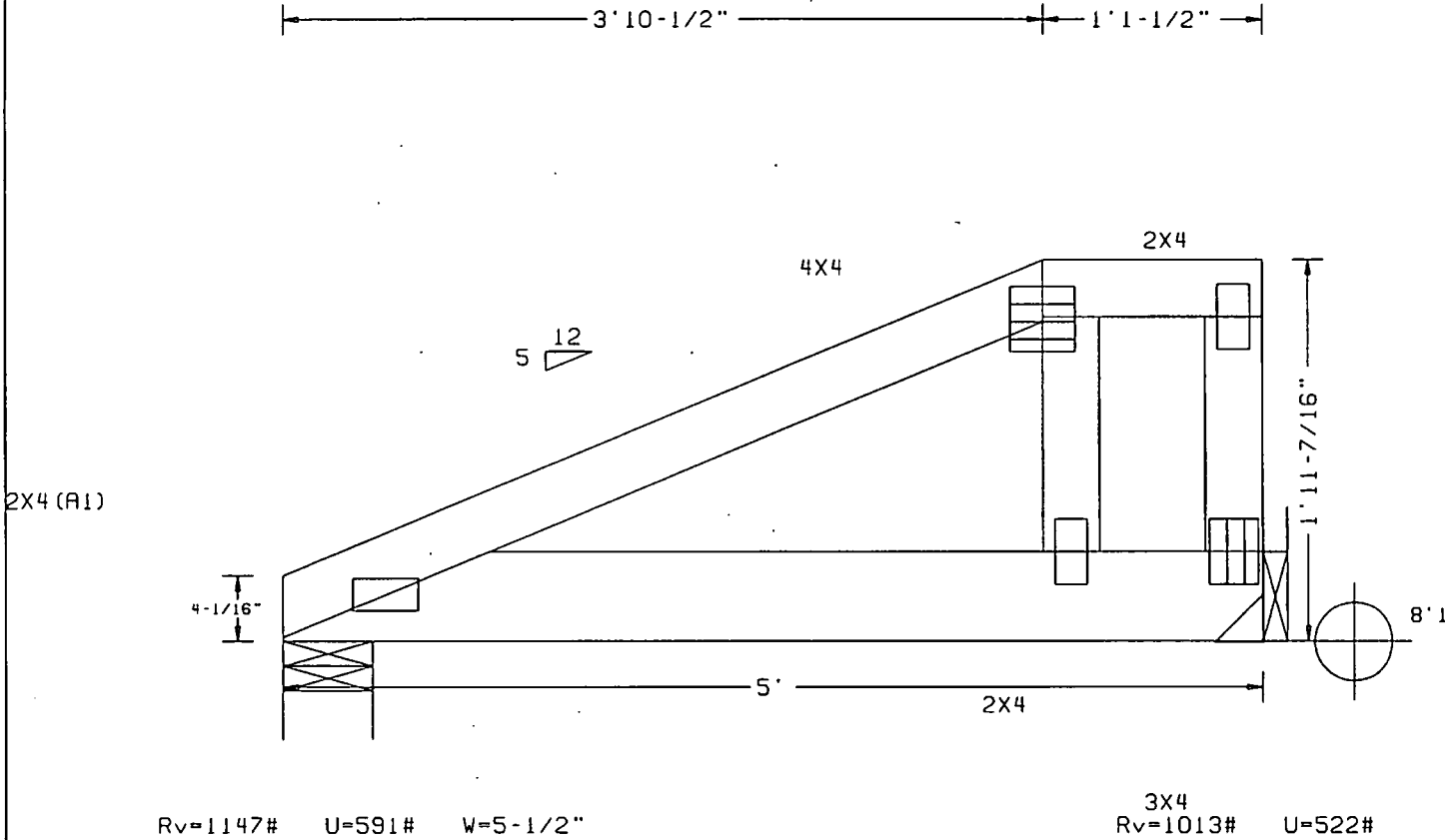
Top chord 2x4 SP #2 Dense
 Bot chord 2x6 SP SS
 Webs 2x4 SP #3

140 mph wind, 15.00 ft mean hgt, ASCE 7-98, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

Girder supports 14-0-0 span to BC one face and 2-0-0 span to TC/BC split opposite face.

In lieu of structural panels or rigid ceiling use purlins to brace all flat TC @ 24" OC, all BC @ 24" OC.

Deflection meets L/360 live and L/240 total load.



Rv=1147# U=591# W=5-1/2"

3x4 Rv=1013# U=522#

TAG = T12
 PLT. TYP. - WAVE

FBC/TPI 1995 (STD)

QTY= 1 TOTAL= 1

REV. 7.00.0130.16

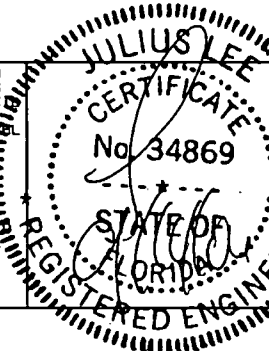
SEQ = 44589
 SCALE = 1.0000

Causeway Lumber Company



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 Fort Lauderdale, FL 33316
 (954) 763-1224

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LL	30.0psf
TC DL	15.0psf
BC DL	10.0psf
BC LL	0.0psf
TOT. LD.	55.0psf
DR. FAC.	1.33
SPACING	24.0"

REF	
DATE	09-13-2004
DRWG	
	AJH
O/A LEN.	5
TYPE	COMM

Top chord 2x4 SP #2 Dense
 Bot chord 2x4 SP #2 Dense
 Webs 2x4 SP #3

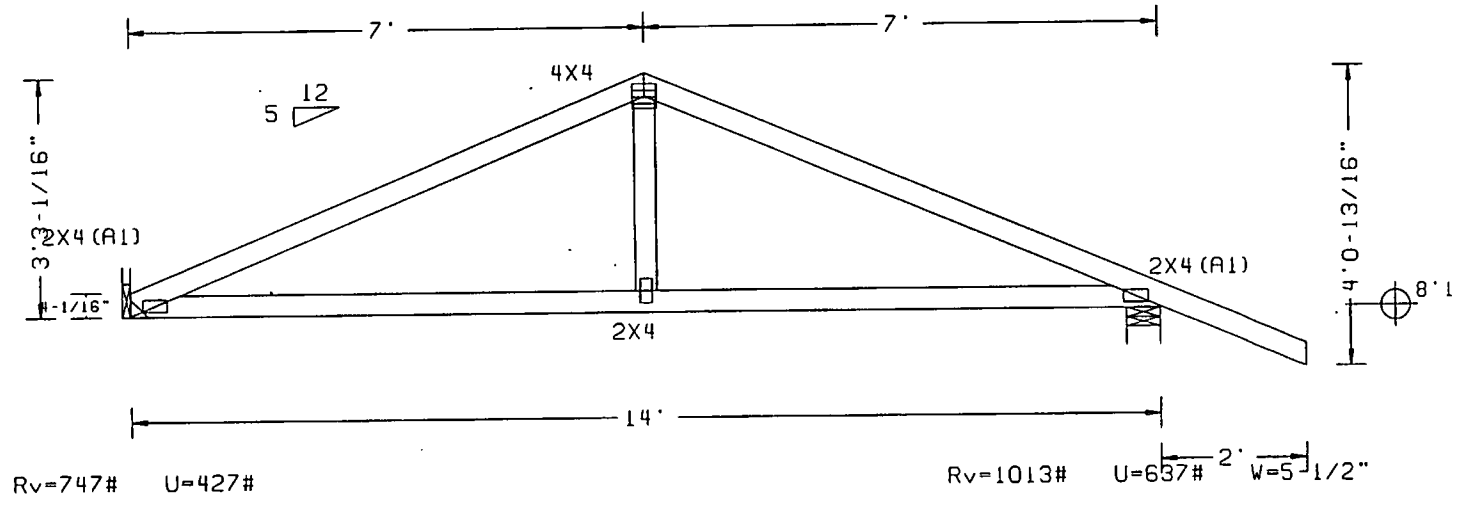
Roof overhang supports 10.00 psf soffit load.

**** WARNING! Mid-panel deflections excessive **** Truss has vertical deflection of 0.30" due to live load and 0.15" due to dead load. Creep increase factor for dead load is 1.00.

140 mph wind, 9.46 ft mean hgt, ASCE 7-98, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

Components and cladding wind pressures considered for uplift callouts.

In lieu of rigid ceiling use purlins to brace BC @ 24" OC



TAG = T14
 PLT. TYP. - WAVE

FBC/TPI 1995 (STD)

QTY= 1 TOTAL= 1

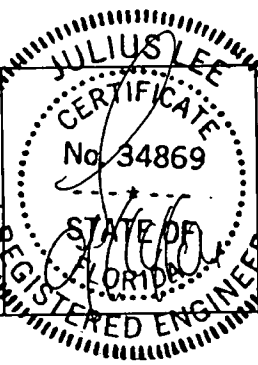
REV. 7.01.0420.12
 SEQ = 40681
 SCALE = 0.3750

Causeway Lumber Company



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 Fort Lauderdale, FL 33316
 (954) 763-1224

****WARNING**** TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCST 1-03 (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 583 D'ONOFRIO DR., SUITE 200, MADISON, WI. 53719) AND WTCA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.
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BC LL	30.0psf
TU DL	15.0psf
BC DL	10.0psf
BC LL	0.0psf
TU LD.	55.0psf
DR.FAC.	1.33
SPACING	24.0"

REF	
DATE	09-13-2004
DRWG	
	AJH
O/A LEN.	14
TYPE	COMM

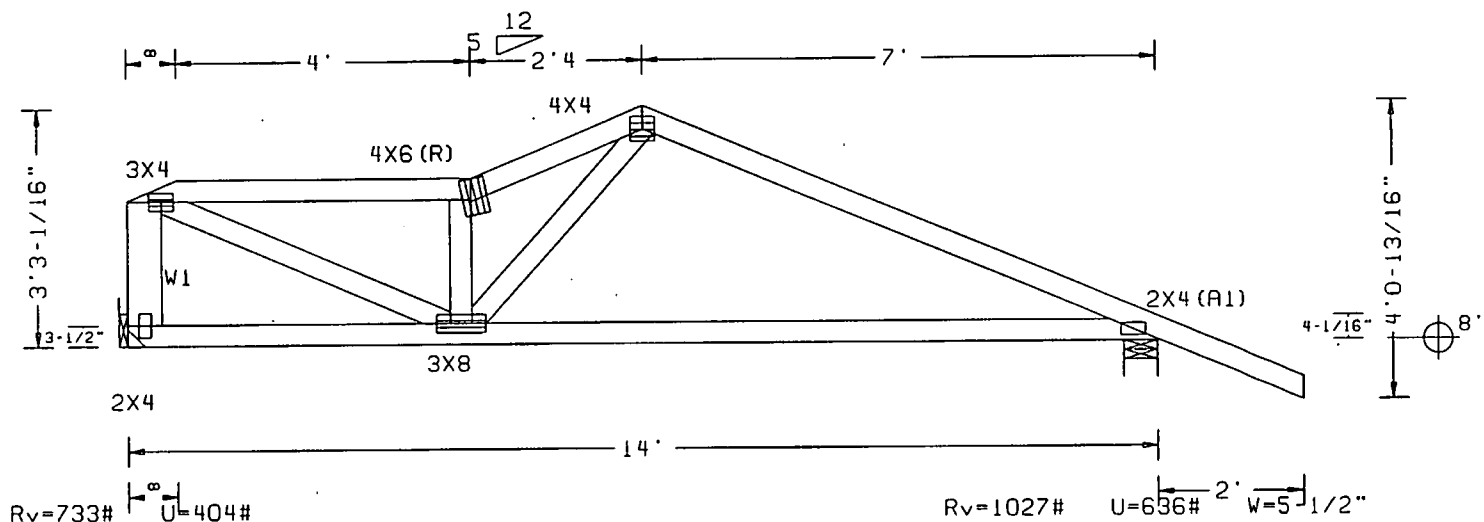
Top chord 2x4 SP #2 Dense
 Bot chord 2x4 SP #2 Dense
 Webs 2x4 SP #3 :W1 2x6 SP #2 Dense:

Roof overhang supports 10.00 psf soffit load.
 Deflection meets L/360 live and L/240 total load.

140 mph wind, 9.46 ft mean hgt, ASCE 7-98, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

Components and cladding wind pressures considered for uplift callouts.

In lieu of structural panels or rigid ceiling use purlins to brace all flat TC @ 24" OC, all BC @ 24" OC.



TAG = T13
 PLT. TYP. - WAVE

FBC/TPI1995 (STD)

QTY= 1 TOTAL= 1

REV. 7.00.0130.16

SEQ = 44549
 SCALE = 0.3750

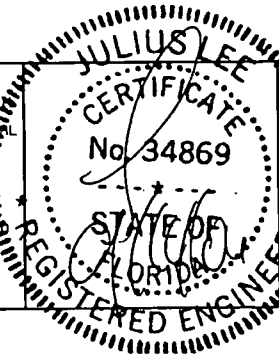
Causeway
 Lumber Company



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 Fort Lauderdale, FL 33316
 (954) 763-1224

WARNING TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCSI 1-03 (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 583 D'ONOFRIO DR., SUITE 200, MADISON, WI. 53719) AND VTCA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

IMPORTANT FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC BY AF&PA) AND TPI. ALPINE CONNECTOR PLATES ARE MADE OF 20/18/16GA (W,H/S/K) ASTM A653 GRADE 40/60 (V,K/H,S) GALV. STEEL. APPLY PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER DRAWINGS 160A-Z. ANY INSPECTION OF PLATES FOLLOWED BY (I) SHALL BE PER ANNEX A3 OF TPI 1-2002 SEC. 3. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER, PER ANSI/TPI 1 SEC. 2.



LL	30.0psf	REF
TDL	15.0psf	DATE 09-13-2004
BCDL	10.0psf	DRWG
BCLL	0.0psf	AJH
TOT.LD.	55.0psf	O/A LEN. 14
DR.FAC.	1.33	
SPACING	24.0"	TYPE comn

Top chord 2x4 SP #2 Dense
 Bot chord 2x4 SP #2 Dense
 Webs 2x4 SP #3

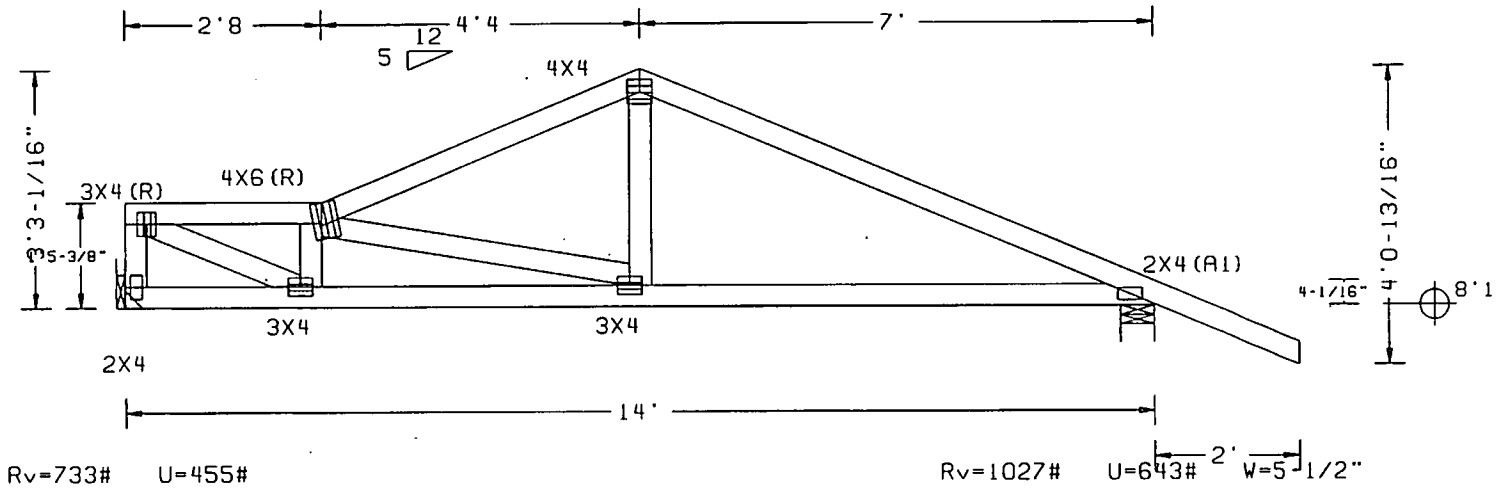
140 mph wind, 9.46 ft mean hgt, ASCE 7-98, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

Roof overhang supports 10.00 psf soffit load.

Components and cladding wind pressures considered for uplift callouts.

**** WARNING! Mid-panel deflections excessive **** Truss has vertical deflection of 0.22" due to live load and 0.11" due to dead load. Creep increase Factor for dead load is 1.00.

In lieu of structural panels or rigid ceiling use purlins to brace all flat TC @ 24" OC, all BC @ 24" OC.



TAG = T15
 PLT. TYP. - WAVE

FBC/TPI1995 (STD)

QTY= 1 TOTAL= 1

REV. 7.01.0420.12

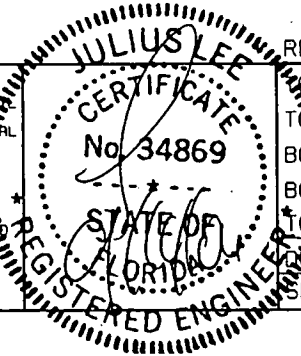
SEQ = 40677
 SCALE = 0.3750

Causeway Lumber Company



2601 S. Andrews Ave.
 Fort Lauderdale, FL 33316
 (954) 783-1224

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LL	30.0psf
TC DL	15.0psf
BC DL	10.0psf
BC LL	0.0psf
T.L.D.	55.0psf
DR.FAC.	1.33
SPACING	24.0"

REF	
DATE	09-13-2004
DRWG	AJH
O/A LEN.	14
TYPE	comn

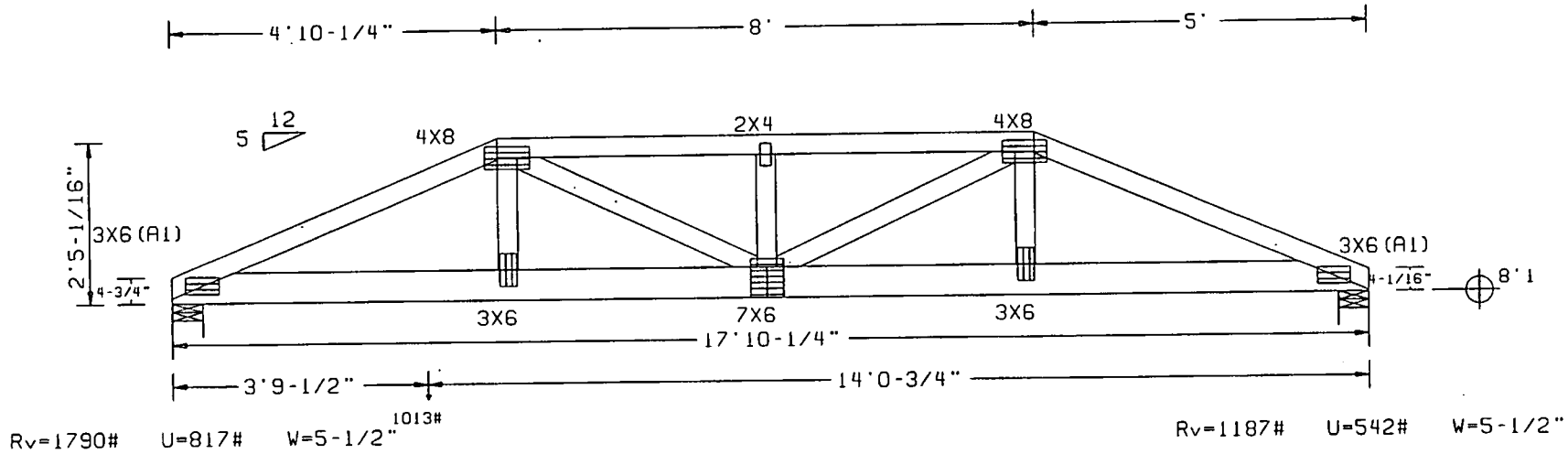
Top chord 2x4 SP #2 Dense
 Bot chord 2x6 SP #2 Dense
 Webs 2x4 SP #3

SPECIAL LOADS
 -----(LUMBER DUR.FAC.=1.33 / PLATE DUR.FAC.=1.33)
 TC - From 90 PLF at 0.00 to 90 PLF at 17.85
 BC - From 20 PLF at 0.00 to 20 PLF at 17.85
 BC - 1013 LB Conc. Load at 3.79

140 mph wind, 15.00 ft mean hgt, ASCE 7-98, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

In lieu of structural panels or rigid ceiling use purlins to brace all flat TC @ 24" OC, all BC @ 24" OC.

Deflection meets L/360 live and L/240 total load.



TAG = T16
 PLT. TYP. -WAVE

FBC/TPI1995 (STD)

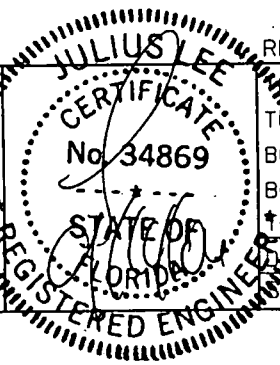
QTY= 1 TOTAL= 1

REV. 7.00.0130.16
 SEQ = 44837
 SCALE = 0.3750

Causeway Lumber Company

2601 S. Andrews Ave.
 Fort Lauderdale, FL 33316
 (954) 763-1224

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LL	30.0psf	REF
TDL	15.0psf	DATE 09-14-2004
BCDL	10.0psf	DRWG
BCLL	0.0psf	AJH
TD.LD.	55.0psf	O/A LEN. 171004
DUR.FAC.	1.33	
SPACING	24.0"	TYPE hips

Top chord 2x4 SP SS
Bot chord 2x4 SP #2 Dense

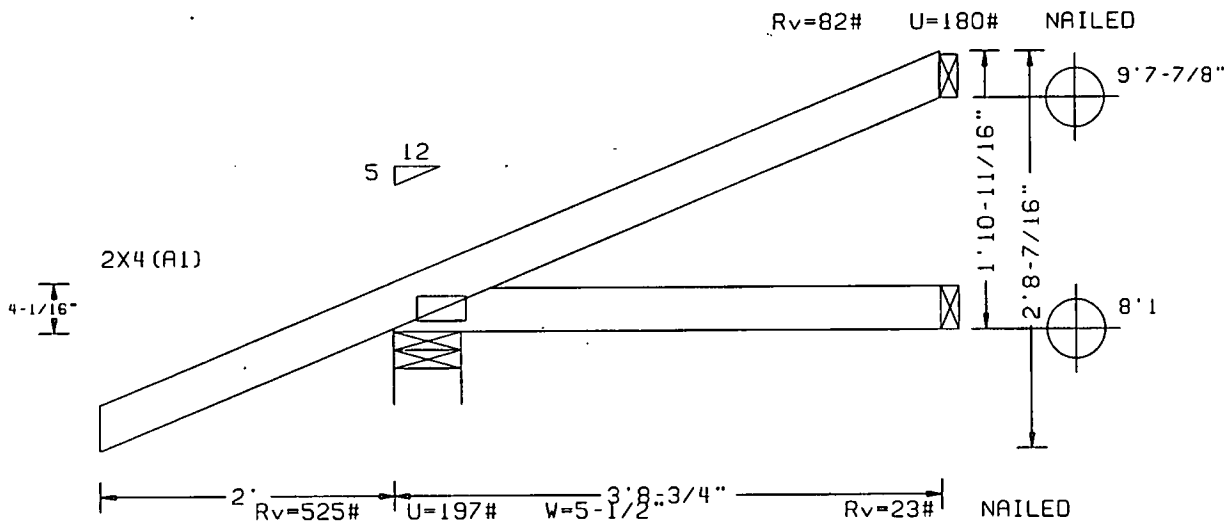
140 mph wind, 8.78 ft mean hgt, ASCE 7-98, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

Roof overhang supports 10.00 psf soffit load.

Components and cladding wind pressures considered for uplift callouts.

**** WARNING! Overhang deflections excessive **** Truss has vertical deflection on overhang of -0.29" due to live load at X = -2-0-0. Creep increase factor for dead load is 1.00.

In lieu of rigid ceiling use purlins to brace BC @ 24" OC



TAG = T18
PLT. TYP. - WAVE

FBC/TPI 1995 (STD)

QTY= 1 TOTAL= 1

REV. 7.00.0130.16

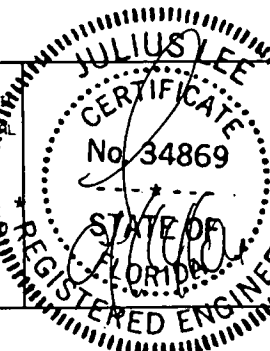
SEQ = 44585
SCALE = 0.7500

Causeway Lumber Company



2601 S. Andrews Ave.
Fort Lauderdale, FL 33318
(954) 763-1224

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LL	30.0psf	REF
T/DL	15.0psf	DATE 09-13-2004
BC/DL	10.0psf	DRWG
BC/LL	0.0psf	AJH
TOT.LD.	55.0psf	O/A LEN. 30812
DR.FAC.	1.33	
BRACING	24.0"	TYPE spec

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1600
MIAMI, FLORIDA 33134-1563
(305) 375-2901 FAX (305) 375-2923

PRODUCT CONTROL NOTICE OF ACCEPTANCE

J.M. Metals
1505 Cox Road
Cocoa, FL 32926

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2523

CONTRACTOR ENFORCEMENT DIVISION
(305) 375-2966 FAX (305) 375-2923

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 375-2923

Your application for Notice of Acceptance (NOA) of:
JM "SV" Crimp Architectural Metal Roof System
under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

PACIFIC ROOFING CORPORATION *Raul Rodriguez*

ACCEPTANCE NO.: 01-0622.02
EXPIRES: 08/16/2006

808 SE DIXIE HIGHWAY

Raul Rodriguez
Chief Product Control Division

STUART, FLORIDA 34994-3803

THIS IS THE COVERSHEET. SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL
CONDITIONS
BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.

Francisco J. Quintana

WARNING

Francisco J. Quintana, R.A.

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APPROVED: 08/16/2006

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11:04500011pc200011temp111notice acceptance cover page.doc

Internet mail address: postmaster@buildingcodeonline.com  Homepage: <http://www.buildingcodeonline.com>

ROOFING SYSTEM APPROVAL:

Category: Roofing Approval Date: August 16, 2001
Sub-Category: Metal, Panels (Non-Structural) Expiration Date: August 16, 2006
Material: Steel
Deck Type: Wood
Maximum Design Pressure -85 psf.

TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
5V Steel Roofing Panel	l = varies w = 26" h = 1/2" Min. Thickness 0.019"	PA 110	Metal Roof panel coated with Fluoropon®.

TRADE NAMES OF PRODUCTS MANUFACTURED BY OTHERS:

<u>Product</u>	<u>Dimensions</u>	<u>Product Description</u>	<u>Manufacturer</u>
Fasteners (Panel)	#9-15 HH	Corrosion resistant, sharp point hex-head fasteners with 1/2" EPDM Bonded Steel sealing washer.	generic

PACIFIC ROOFING CORPORATION
808 SE DIXIE HIGHWAY
STUART FLORIDA 34994-3803

EVIDENCE SUBMITTED

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
The Valspar Corporation	Lab Test Certification	ASTM B-117 ASTM G-23	
PRJ Asphalt Technologies, Inc.	JMM-001-01-01	PA 100	05/10/01
Underwriters Laboratories, Inc.	01NK5594	UL 580	01/15/01

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Page 2



Frank Zuloaga, RRC
Roofing Product Control Examiner

APPROVED SYSTEMS:

- SYSTEM: 5V Steel Roofing Panel
- Deck Type: Wood, Non-insulated
- Deck Description: New Construction or Re-roof
 $1\frac{1}{2}$ " or greater plywood or wood plank.
- Slope Range: 2":12" or greater
- Maximum Uplift Pressure: The maximum allowable design pressure -85 psf
- Deck Attachment: In accordance with applicable building code, but in no case shall it be less than 8d ring shank nails spaced 6" o.c. In reroofing, where the deck is less than $1\frac{1}{2}$ " thick (Minimum $1\frac{5}{32}$ ") The above attachment method must be in addition to existing attachment.
- Underlayment: Minimum underlayment shall be an ASTM D 226 Type II installed with a minimum 4" side-lap and 6" end-laps. Underlayment shall be fastened with corrosion resistant tin-caps and 12 gauge $1\frac{1}{4}$ " annular ring-shank nails, spaced 6" o.c. at all laps and two staggered rows 12" o.c. in the field of the roll.
- Valleys: Valley construction shall be in compliance with Roofing Application Standard RAS 133 and with JM Metals' 5V Steel Roofing Panel' current published installation instructions.
- Fire Barrier Board: For class A or B fire rating, install minimum $\frac{1}{2}$ " thick Georgia Pacific "Dens Deck" (with current NOA) or minimum 4mm thick of Tritex, RockRoof (with current NOA) or $\frac{3}{4}$ " water resistant type X gypsum sheathing with treated core and facer.

Metal Panels and Accessories:

Install the "5V Steel Roofing Panel" and accessories in compliance with JM Metals' current published installation instructions and details. Flashing, penetrations, valley construction and other details shall be constructed in compliance with the minimum requirements provided in Roofing Application Standards RAS 133.

5V Roofing Panels shall be fastened with a minimum of #9-15 HH corrosion resistant fasteners with sealing washer. Fasteners shall of sufficient length to penetrate through the sheathing a minimum of $\frac{3}{16}$ ". Fasteners shall be place in accordance with fastener detail herein as follows:

Fasteners shall be installed at a maximum of 12" o.c. at side laps perpendicular to roof slope and at a maximum of 12" o.c. in the center of the panel at the field perpendicular to roof slope. Fastener shall be placed at high points of panel ribs.

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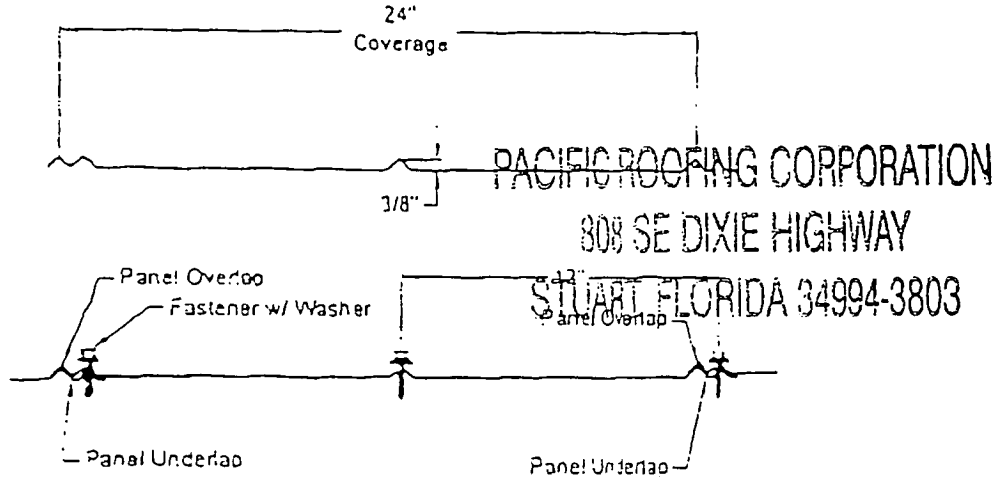
Page 3



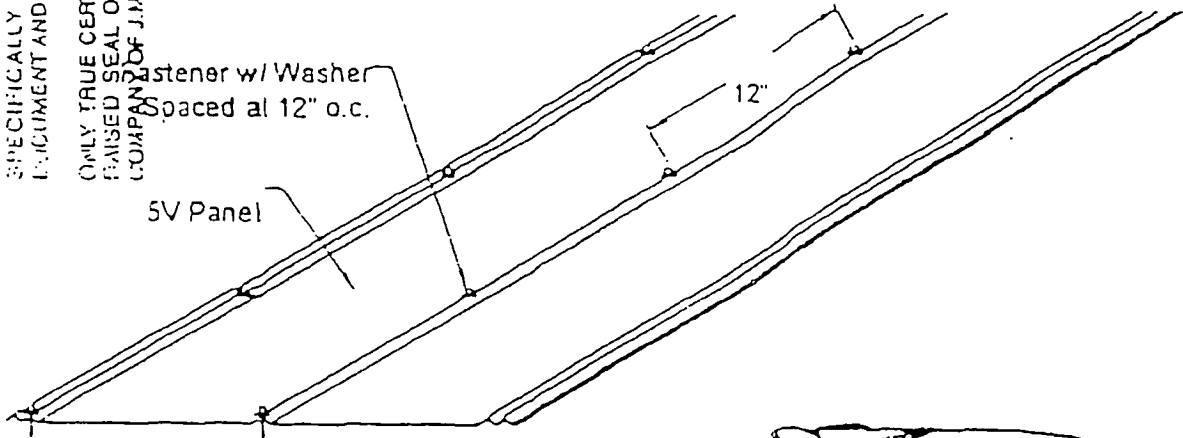
Frank Zuloaga, RRC
Roofing Product Control Examiner

SYSTEM LIMITATIONS:

1. Increased design pressures at perimeter and corner areas, in compliance with applicable building code may be met through rational analysis by increasing the number of attachment points in these areas. The maximum fastener spacing noted in the "Systems Description" section of this approval shall not be exceeded. All rational analysis computation shall be prepared, signed and sealed by a Florida registered Professional Engineer, Registered Architect, or Registered Roof Consultant.
2. Panels shall be roll formed in continuous lengths from eave to ridge. Maximum lengths shall be as described in Miami-Dade County Roofing Application Protocol RAS 133.
3. All panels shall be permanently labeled with the manufacturer's name or logo, and the following statement: "Miami-Dade County Product Control Approved."



5V STEEL ROOFING PANEL



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Frank Zuloaga, RRC
Roofing Product Control Examiner

NOTICE OF ACCEPTANCE STANDARD CONDITIONS

- 1 Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.
- 2 Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
- 3 Renewals of Acceptance will not be considered if:
 - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
 - b) The product is no longer the same product (identical) as the one originally approved;
 - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
 - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
- 4 Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
- 5 Any of the following shall also be grounds for removal of this Acceptance:
 - a) Unsatisfactory performance of this product or process;
 - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.
- 6 The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
- 7 A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all times. The copies need not be resealed by the engineer.
- 8 Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
- 9 This Acceptance contains pages 1 through 5.

END OF THIS ACCEPTANCE

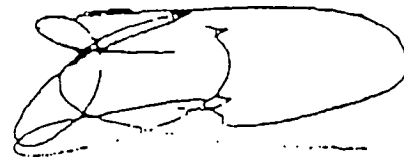
PACIFIC ROOFING CORPORATION
808 SE DIXIE HIGHWAY
STUART, FLORIDA 34994-3803

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Page 5



Frank Zuloaga, RRC
Roofing Product Control Examiner

G & H Air Conditioning, Inc.

6230 W. 37th Avenue
Fort Lauderdale, Florida 33307
Tel: 954-464-4983
Fax: 954-464-4984

May 11, 2004

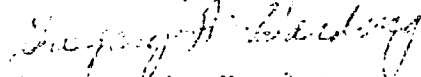
Town of Sewell's Point
1 Sewell's Point Road
Sewell's Point, FL 34908

RE: Renovation for John & Teddy Allman
106 South River Road
Stuart

G & H Air Conditioning, Inc. has performed work at the above address and the existing air conditioning system can cover the proposed additional 150 sq. ft.

If you have any additional questions, please call me.

Sincerely,



Gregory A. Harding
President

cc: John & Teddy Allman

GAH:cm

C & H Air Conditioning, Inc.

64 SOUTH BOULEVARD
PORT ST. LOUIS, FLORIDA 34952
(888) 464-4636
FAX (888) 464-4934

May 18, 2004

John & Teddy Allman
Sewell's Point Road
Sewell's Point, FL 34996

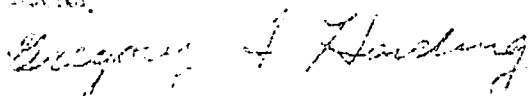
RE: Renovation for John & Teddy Allman
105 South River Road
Port St. Louis, FL

In reference to our previous letter on May 11, regarding the air conditioning system.

John Allman himself is moving into the house and has decided to upgrade the system from a 4 ton to a 5 ton 14 SEER Trane. This upgraded system will easily take care of the additional needs for the additional 250 sq. ft.

If you have any additional questions, please call me.

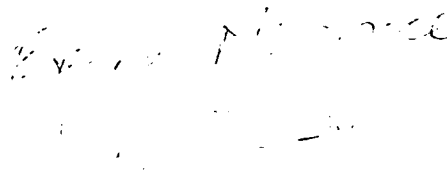
Sincerely,



Gregory A. Harding
President

cc: John & Teddy Allman

GAH:mf





STATE OF FLORIDA
 DEPARTMENT OF HEALTH
 MARTIN COUNTY HEALTH DEPARTMENT
 ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
 CONSTRUCTION PERMIT

*Owner's
 Copy*

CENTRAX #: 43-SS-06331
 OSTDSNBR: 04-0498-E



CONSTRUCTION PERMIT FOR:

[] New System [] Existing System [] Holding Tank [] Innovative Other
 [] Repair [] Abandonment [] Temporary [] _____

APPLICANT: ALLMAN, JOHN AGENT: N/A, N/A

PROPERTY STREET ADDRESS: 106 S RIVER Rd STUART FL 34996

LOT: 44 BLOCK: _____ SUBDIVISION: RIO VISTA

[Section/Township/Range/Parcel No.]

PROPERTY ID #: 12-38-41-002-000-004 [OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF CHAPTER 64E-6, FAC DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC TIME PERIOD. ANY CHANGE IN MATERIAL FACTS WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE OR LOCAL PERMITTING REQUIRED FOR PROPERTY DEVELOPMENT.

SYSTEM DESIGN AND SPECIFICATIONS

(EXISTING TANK) - see note

T [1050] Gallons SEPTIC TANK MULTI-CHAMBERED/IN SERIES: [Y]
 A [0] Gallons MULTI-CHAMBERED/IN SERIES: []
 N [0] GALLONS GREASE INTERCEPTOR CAPACITY
 K [0] GALLONS DOSING TANK CAPACITY [0] GALLONS @ [0] DOSES PER 24 HRS # PUMPS [0]

D [500] SQUARE FEET PRIMARY DRAINFIELD SYSTEM *Box only*
 R [0] SQUARE FEET SYSTEM
 A TYPE SYSTEM: [Y] STANDARD [N] FILLED [N] MOUND [N] _____
 I CONFIGURATION: [N] TRENCH [Y] BED [N] _____

F LOCATION TO BENCHMARK: Top of Tank
 I ELEVATION OF PROPOSED SYSTEM SITE [6.0] [INCHES] [ABOVE] BENCHMARK/REFERENCE POINT
 E BOTTOM OF DRAINFIELD TO BE [24.0] [INCHES] [BELOW] BENCHMARK/REFERENCE POINT
 L
 D FILL REQUIRED: [0.0] INCHES NATURAL/ EXISTING SOIL EXCAVATION REQUIRED: [0.0] INCHES
 OTHER REMARKS:

The licensed contractor installing the system is responsible for installing the minimum category of tank in accordance with s. 64E-6.013(3)(f), F.A.C.
 Existing tank of 900 gallons is adequate for this modification. Drainfield size may be attained by adding 125 sq ft to the existing drainfield. System installation must meet all requirements of Chapter 64E-6 FAC. The drainfield must be at least 5 feet from property lines. A minimum of 6" & a maximum of 18" of moderately/ slightly limited soil allowed over drainfield. The drainfield must be properly graded and stabilized within 14 days of system construction approval.

SPECIFICATIONS BY: NELSON, JEFFREY TITLE: Septic Tank Contractor

APPROVED BY: McCoy, Doug *07-0890 Jy* TITLE: EH Specialist II Martin CHD

DATE ISSUED: 5/21/2004 EXPIRATION DATE: 8/19/2004

DH 4016, 03/97 (Obsoletes previous editions which may not be used)
 (Stock Number: 5744-001-4016-0) [ostds_cons_4016-1] Page 1

** NOTE: See attached Applicant's notice of permitting rights. **

NOTICE OF RIGHTS

A party whose substantial interest is affected by this order may petition for an administrative hearing pursuant to sections 120.569 and 120.57, Florida Statutes. Such proceedings are governed by Rule 28-106, Florida Administrative Code. A petition for administrative hearing must be in writing and must be received by the Agency Clerk for the Department, within twenty-one (21) days from the receipt of this order. The address of the Agency Clerk is 4052 Bald Cypress Way, BIN # A02, Tallahassee, Florida 32399-1703. The Agency Clerk's facsimile number is 850-410-1448.

Mediation is not available as an alternative remedy.

Your failure to submit a petition for hearing within 21 days from receipt of this order will constitute a waiver of your right to an administrative hearing, and this order shall become a 'final order'.

Should this order become a final order, a party who is adversely affected by it is entitled to judicial review pursuant to Section 120.68, Florida Statutes. Review proceedings are governed by the Florida Rules of Appellate Procedure. Such proceedings may be commenced by filing one copy of a Notice of Appeal with the Agency Clerk of the Department of Health and a second copy, accompanied by the filing fees required by law, with the Court of Appeal in the appropriate District Court. The notice must be filed within 30 days of rendition of the final order.

2 110

RECEIVED

FEB 18 2004



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

MARTIN COUNTY
HEALTH DEPARTMENT

PERMIT NO. 43-SS-16331
DATE PAID: 2/18/04 5:20/04
FEE PAID: 105.50
RECEIPT #: 022966404

RECEIVED

MAY 20 2004

APPLICATION FOR:

- New System
- Existing System
- Holding Tank
- Innovative
- Repair
- Abandonment
- Temporary

APPLICANT: JOHN ALLMAN
AGENT: JEFFREY K. NELSON SEPTIC SVC TELEPHONE: 772-781-0169
772-260-9628
MAILING ADDRESS: 1717 CALSA AVE SUITE FL 34994

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552 FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 44 BLOCK: _____ SUBDIVISION: Rio Vista PLATTED: _____
PROPERTY ID #: 12-38-41002-000-0440-5 ZONING: _____ I/M OR EQUIVALENT: Y N
PROPERTY SIZE: .5 ACRES WATER SUPPLY: PRIVATE PUBLIC <=2000GPD >2000GPD
IS SEWER AVAILABLE AS PER 381.0065, FS? Y N DISTANCE TO SEWER: _____ FT
PROPERTY ADDRESS: 106 S RIVER ROAD SUITE 34994
DIRECTIONS TO PROPERTY: SEWALLS POINT SOUTH RIGHT
ON RIO VISTA LEFT ON SOUTH RIVER
ON LEFT

BUILDING INFORMATION

RESIDENTIAL COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	SIF	3	2100	(Adding Bedrooms Bathroom to exist. - E)
2	proposed	1	270	
3			2370 <u>psa</u>	
4				

Floor/Equipment Drains Other (Specify) _____

SIGNATURE: [Signature] DATE: 2/11/04

STATE OF FLORIDA
 DEPARTMENT OF HEALTH
 ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
 EXISTING SYSTEM AND SYSTEM REPAIR EVALUATION

PERMIT # 4355633

APPLICANT: JOHN ADLWAN
 CONTRACTOR / AGENT: JEFFREY K NELSON SEPTIC SOL.
 LOT: _____ BLOCK: _____ SUBDIV: _____ ID#: _____

TO BE COMPLETED BY FLORIDA REGISTERED ENGINEER, DEPARTMENT EMPLOYEE, SEPTIC TANK CONTRACTOR OR OTHER CERTIFIED PERSON. SIGN AND SEAL ALL SUBMITTED DOCUMENTS. COMPLETE ALL APPLICABLE ITEMS. COMPLETE TANK CERTIFICATION BELOW OR ATTACH LETTER FROM A PERMITTED SEPTAGE DISPOSAL SERVICE.

EXISTING TANK INFORMATION

900 per inst card - copy attached
 900 GALLONS SEPTIC TANK/GPD ATU LEGEND: n/a MATERIAL: CONC BAFFLED: [Y / N]
 GALLONS SEPTIC TANK/GPD ATU LEGEND: _____ MATERIAL: _____ BAFFLED: [Y / N]
 GALLONS GREASE INTERCEPTOR LEGEND: _____ MATERIAL: _____
 GALLONS DOSING TANK LEGEND: _____ MATERIAL: _____ # PUMPS: []

CERTIFY THAT THE ABOVE NOTED TANKS WERE PUMPED ON 2/16/04, HAVE THE VOLUMES SPECIFIED, ARE STRUCTURALLY SOUND, AND HAVE A [SOLIDS DEFLECTION DEVICE / OUTLET FILTER DEVICE] INSTALLED.

SIGNATURE OF LICENSED CONTRACTOR: Jeffrey K Nelson BUSINESS NAME: JEFFREY K NELSON DATE: 2/17/04

EXISTING DRAINFIELD INFORMATION

UNDER PATIO 286 sq ft incl. card
 SQUARE FEET PRIMARY DRAINFIELD SYSTEM NO. OF TRENCHES [] DIMENSIONS: _____ X _____
 SQUARE FEET _____ SYSTEM NO. OF TRENCHES [] DIMENSIONS: _____ X _____
 TYPE OF SYSTEM: [] STANDARD [] FILLED [] MOUND []
 CONFIGURATION: [] TRENCH [] BED []
 DESIGN: [] HEADER [] D-BOX [] GRAVITY SYSTEM [] DOSED SYSTEM
 ELEVATION OF BOTTOM OF DRAINFIELD IN RELATION TO EXISTING GRADE 28 INCHES [ABOVE] (BELOW)

SYSTEM FAILURE AND REPAIR INFORMATION

1980] SYSTEM INSTALLATION DATE TYPE OF WASTE [] DOMESTIC [] COMMERCIAL
300] GPD ESTIMATED SEWAGE FLOW BASED ON [] METERED WATER [] TABLE 1, 64E-6, FAC
 SITE CONDITIONS: [] DRAINAGE STRUCTURES [] POOL [] PATIO / DECK [] PARKING
 [] SLOPING PROPERTY []
 NATURE OF FAILURE: [] HYDRAULIC OVERLOAD [] SOILS [] MAINTENANCE [] SYSTEM DAMAGE
 [] DRAINAGE / RUN OFF [] ROOTS [] WATER TABLE [] AGE
 FAILURE SYMPTOM: [] SEWAGE ON GROUND [] TANK [] D BOX/HEADER [] DRAINFIELD
 [] PLUMBING BACKUP []

REMARKS/ADDITIONAL CRITERIA ADD ON TO EXISTING DRAIN - ADD 125 SQFT INFILTRATION

SUBMITTED BY: Jeffrey K Nelson TITLE/LICENSE: S20011380 DATE: 2/17/04



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
SITE EVALUATION AND SYSTEM SPECIFICATIONS

PERMIT #. 43556331

APPLICANT: ALLMAN AGENT: J.K.N. SEPTIC

LOT: _____ BLOCK: _____ SUBDIVISION: _____

PROPERTY ID #: _____ [Section/Township/Parcel No. or Tax ID Number]

TO BE COMPLETED BY ENGINEER, HEALTH DEPARTMENT EMPLOYEE, OR OTHER QUALIFIED PERSON. ENGINEER MUST PROVIDE REGISTRATION NUMBER AND SIGN AND SEAL EACH PAGE OF SUBMITTAL. COMPLETE ALL ITEMS

PROPERTY SIZE CONFORMS TO SITE PLAN: YES NO NET USABLE AREA AVAILABLE: .5 ACRE
TOTAL ESTIMATED SEWAGE FLOW: 300 GALLONS PER DAY [RESIDENCES-TABLE 1/OTHER-TABLE2]
AUTHORIZED SEWAGE FLOW: 1250 GALLONS PER DAY [1500 GPD/ACRE OR 2500 GPD/ACRE]
UNOBSTRUCTED AREA AVAILABLE: 800 SQFT UNOBSTRUCTED AREA REQUIRED: 800 SQFT

BENCHMARK/REFERENCE POINT LOCATION: TOP OF TANK
ELEVATION OF PROPOSED SYSTEM SITE IS 6 [INCHES/FT] [ABOVE/BELOW] BENCHMARK/REFERENCE POINT

THE MINIMUM SETBACK WHICH CAN BE MAINTAINED FROM THE PROPOSED SYSTEM TO THE FOLLOWING FEATURE
SURFACE WATER: N/A FT DITCHES/SWALES: N/A FT NORMALLY WET? YES NO
WELLS: PUBLIC: N/A FT LIMITED USE: N/A FT PRIVATE: N/A FT NON-POTABLE: 50 FT
BUILDING FOUNDATIONS: 5 FT PROPERTY LINES: 10 FT POTABLE WATER LINES: 10 FT

SITE SUBJECT TO FREQUENT FLOODING: YES NO 10 YEAR FLOODING? YES NO
10 YEAR FLOOD ELEVATION FOR SITE: _____ FT MSL/NGVD SITE ELEVATION: _____ FT MSL/NGVD

SOIL PROFILE INFORMATION SITE 1

MUNSELL #/COLOR	TEXTURE	DEPTH
10YR 3/1	SAND	0 TO 4
		TO
8/1		4 TO 30
		TO
7/2		30 TO 48
		TO
5/8		48 TO 72
		TO
		TO
USDA SOIL SERIES: <u>#6 PAOLA</u>		

SOIL PROFILE INFORMATION SITE 2

MUNSELL #/COLOR	TEXTURE	DEPTH
10YR 3/1	SAND	0 TO 6
		TO
8/1		6 TO 2
		TO
7/2		28 TO 5
		TO
5/8		50 TO 7
		TO
		TO
USDA SOIL SERIES: <u>#6 PAOLA</u>		

OBSERVED WATER TABLE: N/A INCHES [ABOVE / BELOW] EXISTING GRADE. TYPE: [PERCHED / APPARENT]
ESTIMATED WET SEASON WATER TABLE ELEVATION: 72+ INCHES [ABOVE / BELOW] EXISTING GRADE
HIGH WATER TABLE VEGETATION: YES NO MOTTLING: YES NO DEPTH: _____ INC

SOIL TEXTURE/LOADING RATE FOR SYSTEM SIZING: _____ DEPTH OF EXCAVATION: _____ INC
DRAINFIELD CONFIGURATION: TRENCH BED OTHER (SPECIFY) _____
REMARKS/ADDITIONAL CRITERIA: INSTALL 400 SQ FT INFILTRATOR OUTLET FILTER AND

SITE EVALUATED BY: [Signature] DATE: 2/17/04

January 21st 2004
2/17/04

10

0120-200-0101-2

Martin County Health Department

THIS PLAN IS APPROVED FOR:

✓ Septic System: Approval # 43SS6331

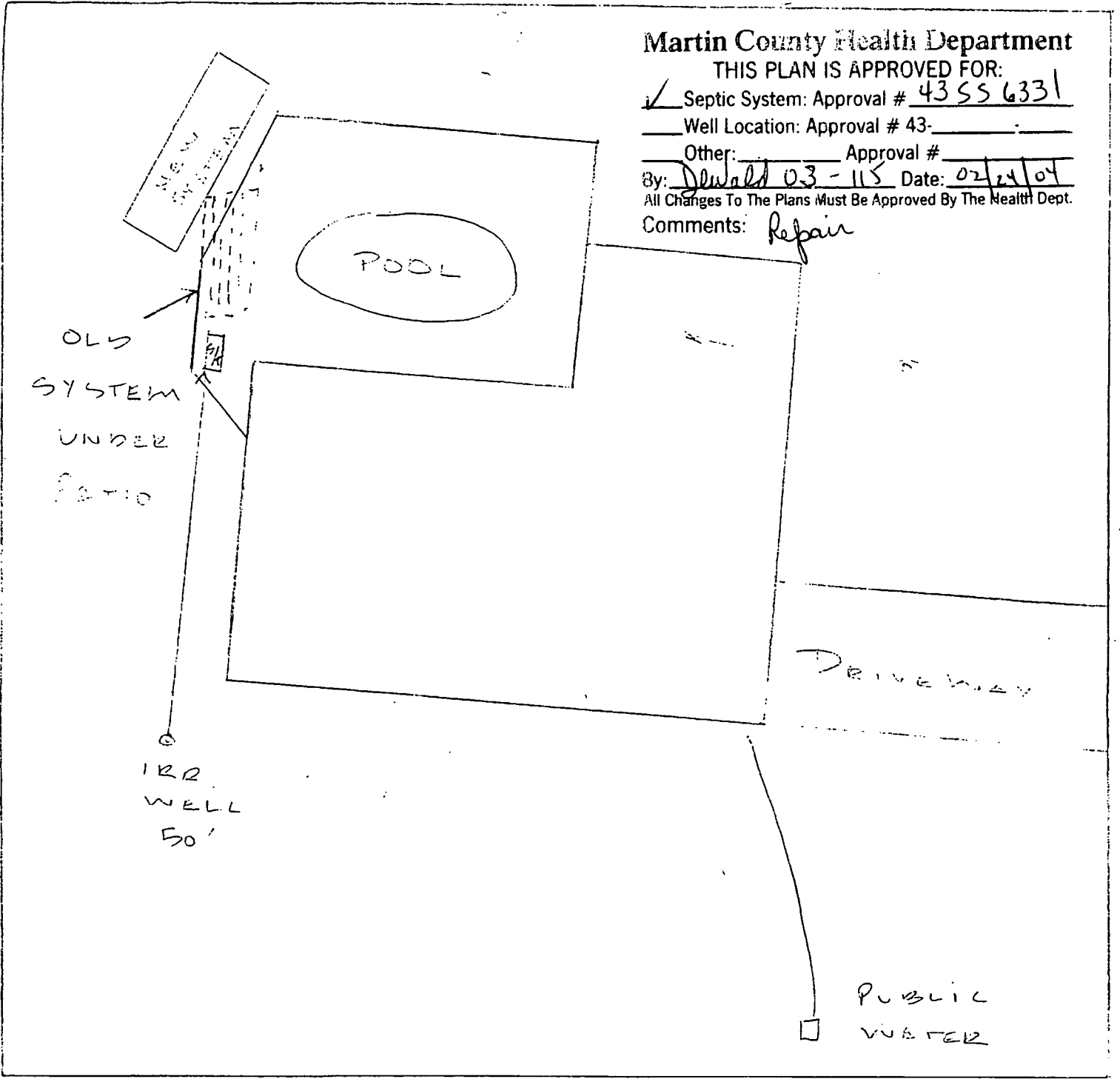
Well Location: Approval # 43- _____

Other: _____ Approval # _____

By: Donald O. B. - 115 Date: 02/24/04

All Changes To The Plans Must Be Approved By The Health Dept.

Comments: Repair



106 SOUTH RIVER ROAD

JOHN ALLMAN

43-51-6331

LOT 56

EXISTING RESIDENCE

North

SCALE: 1" = 30'

LOT 45
EXISTING RESIDENCE

LOT 43
EXISTING RESIDENCE

S89° 22' 18" E 50.00'

N26° 15' 00" E 151.35'

S11° 51' 27" E 156.73'

LOT 44
32.35'

SCREEN AND CONC.
P O O L

ONE STORY
RESIDENCE
ASSUMED F.F. EL. = 102.45

PROPOSED
BEDROOM

R=499.36'
Δ=7° 10' 58"
A=62.60'

R=50.00'
Δ=65° 06' 22"
A=56.82'

S62° 32' 45" W 49.04' (CAL.)
S62° 32' 45" N 50.04' (PLAT)
C/L LANTAN

C/L S. RIVER ROAD 50' R/W

FND. IR/C #5
PLS 5089
EL. = 102.5

FND. IR/C #5
PLS 5089
EL. = 99.00

FND. P.C.P.
LB 1272
EL. = 107.07

FND. IR/C #5
PLS 5089
EL. = 102.45

FND. DRILL HOLE

EL. = 100.50

R=474.36'
Δ=4° 22' 41"
A=36.25'

ASSUMED
FND. P.C.P.
EL. = 100.00

EL. = 100.07
S. MANHOLE

CATCH BASIN
INVERT 99.35

10' UTIL.

MODERATION
New Br

ADD
ON
1264

FND. 4" X 4"
CONC. #4
EL. = 100.40

FND. 4" X 4"
CONC. #4
EL. = 101.2

EXISTING
C.B.S. WALL

WELL

WATER PUMP

IRRIGATION
WELL

A/C UNIT

CONC.
DRIVEWAY

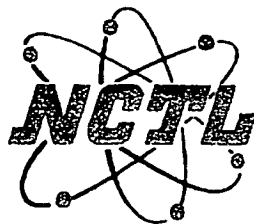
7' X 5' WOOD PORCH

WALK

- a. **NOTE; Letter from a/c contractor states 150 square feet to be added but in reality is 277 square feet which is an additional ½ ton of a/c. I don't believe the existing system can carry additional load.**
- b. Air Handler locations showing kw rating
- c. Condensing unit locations
- d. Duct layout showing sizes of duct and size of diffusers
- e. CFM per outlet
- f. Distribution box locations
- g. Equipment callouts with name of equipment, model numbers and sizes
- h. Sensible and latent heat quantities

4. Truss Layout containing the following information:

- a. Show location of all trusses
- b. Show location of all girders
- c. Uplift quantities for all trusses
- d. Connectors schedule for all trusses and girders
- e. Location of roof mounted equipment
- f. Location of all structural elements size and reinforcing



NATIONAL CERTIFIED TESTING LABORATORIES

1464 GEMINI BOULEVARD • ORLANDO, FLORIDA 32837
PHONE (407) 240-1356 • FAX (407) 240-8882

STRUCTURAL PERFORMANCE TEST REPORT

REPORT NO.: NCTL-210-2065-1

TEST DATE: 07-15-98

REPORT DATE: 07-31-98

EXPIRATION DATE: 07-31-02

CLIENT: Better Bilt Aluminum Products
704 12th Avenue
Smyrna, TN 37167

TEST SPECIMEN: Better Bilt Aluminum Product's Series "420" (Type "OXX") Aluminum Sliding Glass Door. (SGD-C35)(Single Glazed) (Steel Reinforced) (with and without sill riser)

TEST SPECIFICATION: AAMA/NWWDA/101/I.S. 2-97, "Voluntary Specifications for Aluminum Vinyl (PVC) and Wood Windows and Sliding Glass Doors."

TEST SPECIMEN DESCRIPTION

GENERAL: The sample tested was a three panel type "OXX" aluminum sliding glass door measuring 15'1-3/4" wide by 8'0-1/8" high overall. The active panel measured 5'0-1/2" wide by 7'11-1/8" high; the fixed panel measured 5'0-7/8" wide by 7'11-1/8" high. Frame and panel members were not thermally broken. A plastic spacer/guide was used at each panel head/stile corner. The fixed panel was secured to the jamb with two (2) 3" long aluminum angle retainers each fastened to the jamb stile with two (2) (# 8 x 3/4") pan head screws. One claw-type door lock assembly was located at 40" from the bottom of each active panel lock stile each with the keeper fastened and secured to the fixed meeting stile and the right jamb stile at lock position with two (2) screws. One adjustable metal double roller assembly was used at each end of the active bottom rails. The frame was of double screw coped corner construction. Panel corners were of single screw at the bottom rail and double screw at the top rail coped corner construction. The interior vertical sill leg employed an extruded aluminum 1-1/8" high extension; an overall height of 2.031. One (1) aluminum panel retainer was fastened at 2" from the end of each active panel bottom rail. One (1) extruded aluminum female panel adapter was fastened to the fixed panel butt stile with five (5) (# 8 x 1/2") screws. One (1) extruded aluminum screen adapter was fastened to the butt stile using five (5) (# 8 x 1/2") screws.

INSTALLATION: The main frame was fastened to the wood test buck using forty-eight (48) (# 8 x 1-1/2") FHS. (See fastener diagram)

REINFORCEMENT: One (1) "U" shaped galvanized steel reinforcing channel measuring 1-3/4" x 3/4" x 1/16" thick filled the length of the panel adapter stile. One (1) "U" shaped galvanized steel reinforcing channel measuring 3/4" x 7/8" x 1/16" thick filled the length of each interlock stile.

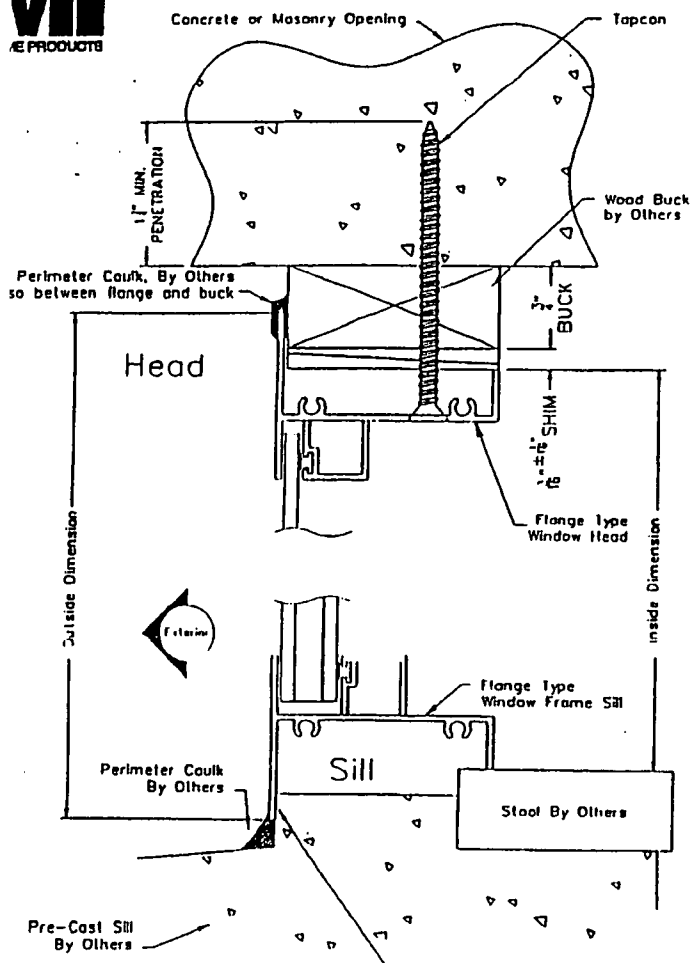
GLAZING: All panels were channel glazed using 3/16" thick clear tempered glass with a flexible vinyl glazing bead.

WSTP: Double strips of centerfin weatherstrip (0.270" high) were located at each jamb, stile, lock stile. A double strip of centerfin weatherstrip (0.180" high) was located at each interlock stile. A double strip of centerfin weatherstrip (0.250" high) was located at each panel top rail. A double strip of side fin weatherstrip (.430" high) was located at each panel bottom rail. An adhesive back polypile dust plug measuring 1-3/16" x 13/16" x 0.420" was located on the head and sill at each end of vertical stile exterior track

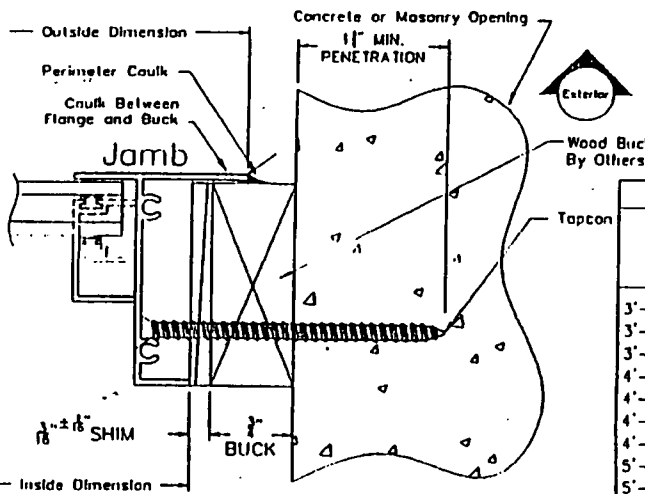
15'-0" x 8'-0"
SINGLE GLAZED

Petter built

Series 740



- Shim as required with load bearing shims at each installation anchor as shown.
- Anchor must be of a length to have 1 1/4" penetration into masonry or concrete.
- Caulk between window flange and buck.
- Caulk full perimeter of window.
- If exact window size is not given, use anchor quantity for next larger window in chart.
- Glass thickness will vary per the requirements of ASTM E1300 glass charts.
- Fixed units do not have pre-punched mounting holes and must be field drilled as required. See chart at right.
- Locate concrete installation anchors as follows:
Where anchor quantity chart indicates 1 concrete installation anchor req'd in head or jambs, locate anchor at mid point of framing member.
Where anchor quantity chart indicates 2 concrete installation anchor req'd in head or jambs, locate anchor within 6" of each corner of framing member.
Where anchor quantity chart indicates 3 or more concrete installation anchors req'd in head or jambs, locate anchors 6" of each corner of framing member & equally space.
- Max. spacing between tapcons is 24" O.C. max.



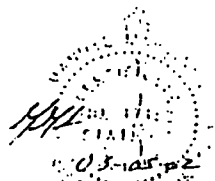
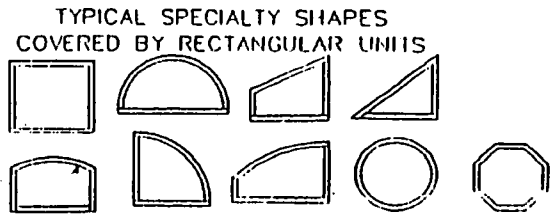
* TAPCON QUANTITY CHART

CODE SIZE	WINDOW ID SIZE	SCREWS IN HEAD/SILL		SCREWS IN EACH JAMB	
		UP TO DP35	DP35.1 TO DP50	UP TO DP35	DP35.1 TO DP50
12	18 1/8 x 25	2	2	2	2
13	18 1/8 x 37 3/8	2	2	3	3
14	18 1/8 x 49 5/8	2	2	3	1
15	18 1/8 x 62	2	2	4	4
16	18 1/8 x 71 1/4	2	2	4	4
1/2 32	25 1/2 x 25	2	2	2	2
1/2 33	25 1/2 x 37 3/8	2	2	3	3
1/2 34	25 1/2 x 49 5/8	2	2	3	3
1/2 35	25 1/2 x 62	2	2	4	4
1/2 36	25 1/2 x 71 1/4	2	2	4	4
22	36 x 25	2	2	2	2
23	36 x 37 3/8	2	2	3	3
24	36 x 49 5/8	2	2	3	3
24S	36 x 55 1/4	2	2	3	3
25	36 x 62	2	2	4	4
26	36 x 71 1/4	2	2	2	4
32	52 1/8 x 25	2	2	2	2
33	52 1/8 x 37 3/8	2	2	3	3
34	52 1/8 x 49 5/8	2	2	3	3
34S	52 1/8 x 55 1/4	2	2	3	3
35	52 1/8 x 62	2	2	4	4
36	52 1/8 x 71 1/4	2	2	4	4

TAPCON* LOCATION & QUANTITY CHART

CODE SIZE	WINDOW ID SIZE	SCREWS IN HEAD/SILL		SCREWS IN EACH JAMB	
		10" TO 11" DP35	11" TO 15" 1 10 DP50	10" TO 11" DP35	11" TO 15" 1 10 DP50
3'-0" x 3'-0"	35 1/4 x 35 1/4	2	2	3	3
3'-0" x 4'-0"	35 1/4 x 47 1/4	2	2	3	3
3'-0" x 5'-0"	35 1/4 x 59 1/4	2	2	4	4
4'-0" x 3'-0"	47 1/4 x 35 1/4	2	2	3	3
4'-0" x 4'-0"	47 1/4 x 47 1/4	2	2	3	3
4'-0" x 5'-0"	47 1/4 x 59 1/4	2	2	4	4
4'-0" x 8'-0"	47 1/4 x 95 1/4	2	2	5	5
5'-0" x 3'-0"	59 1/4 x 35 1/4	2	2	3	3
5'-0" x 5'-0"	59 1/4 x 59 1/4	2	2	4	4
6'-0" x 3'-0"	71 1/4 x 35 1/4	2	2	3	3
6'-0" x 5'-0"	71 1/4 x 59 1/4	2	2	4	4
8'-0" x 3'-0"	95 1/4 x 35 1/4	2	2	3	3
8'-0" x 4'-0"	95 1/4 x 47 1/4	2	3	3	3

* "TAPCON" TYPE HARDENED MASONRY SCREWS INCLUDE TAPCON, RAWL, & SIMPSON



**INSTALLATION INSTRUCTIONS
& FASTENER SCHEDULE**

PRODUCT: 165-740-744 Flange Fixed Units

DRAWN BY: T.C.	DATE: 02/12/02
CHECKED:	DATE:
SCALE: NONE	SHEET: 1 of 1
BY THE WAY: See end of all sheets for details.	

**Test Specimen Description: (Continued)****Glazing Details:****Sash Set #1**

Both sash utilized a single sheet of 1/8" clear tempered glass. All panels were channel glazed using a flexible vinyl gasket.

Sash Set #2

Both sash utilized 1/2" thick sealed insulating glass fabricated from two sheets of 1/8" clear, annealed glass and a butyl metal spacer system. All panels were channel glazed using a flexible vinyl gasket.

Weatherstripping:

<u>Description</u>	<u>Quantity</u>	<u>Location</u>
0.250" high by 0.270" backed polypile with center fin	Row	Active sash stiles
0.140" high by 0.270" backed polypile	Row	Active sash stiles
0.160" high by 0.270" backed polypile with center fin	1 Row	Fixed sash stiles, top rail
0.350" high by 0.270" backed polypile with center fin	1 Row	Fixed sash meeting rail
Flexible vinyl bulb	1 Row	Bottom rail

Frame Construction: The frame of extruded aluminum members were constructed with coped, butted and taped corners with two screws.

Sash Construction: The frame of extruded aluminum members were constructed with coped, butted and taped corners with one screw. The fixed meeting rail was fastened to the jambs at the mid-span with one screw.

Screen Construction: The screen frame was constructed of rolled formed steel members with plastic keyed corners. The fiberglass mesh screen was secured with a flexible spline.



01-38417.02
Page 3 of 4

Test Specimen Description: (Continued)

Hardware:

<u>Description</u>	<u>Quantity</u>	<u>Location</u>
Metal cam sweep lock	1	Center interior meeting rail
Plastic tilt latch	2	Ends of active sash
Spring load tilt bar	2	Ends of bottom rail
Spiral balance	2	Jambs

Drainage:

No drainage for 1/8" tempered glass sash.

Drainage for 1/2" insulated glass sash

<u>Description</u>	<u>Quantity</u>	<u>Location</u>
1/4" by 3/16" weepslot	2	Ends of bottom rail, ends of exterior meeting rail, draining the sash channel to the sash hollow
1/4" by 3/16" weepslot	2	Ends of bottom rail, ends of exterior meeting rail, draining the sash hollow to the exterior

Reinforcement: No reinforcement.

Installation: The test unit was installed in a 2" x 10" Spruce #2 with 1" roofing nails back bedded in urethane. The nails were spaced 30" on center on the jambs, and 20" on center on the head and sill.

01-38417.02
Page 4 of 4**Test Results:**

Note: Design Pressures were not taken. Deflection and Permanent Set readings were not taken.

The results are tabulated as follows:

<u>Title of Test - Test Method</u>	<u>Results</u>
Uniform Load Structural (loads were held for 10 seconds)	
<u>Sash Set #1 (1/8" Tempered Glass Sash)</u>	
@ +54.6 psf (positive)	No damage
@ -72.5 psf (negative)	No damage
<u>Sash Set #2 (1/2" Insulated Glass Sash)</u>	
@ +63.0 psf (positive)	No damage
@ -83.1 psf (negative)	No damage


Detailed drawings, representative samples of the test specimen, and a copy of this report will be retained by ATI for a period of four years. The above results were secured by using the designated test methods and they indicate compliance with the performance requirements of the above referenced specification. This report does not constitute certification of this product, which may only be granted by the certification program administrator.

For ARCHITECTURAL TESTING, INC:



Chad R. Luckenbaugh
Technician

CRL:tp:nlb
01-38417.02



Allen N. Reeves, P.E.
Director - Engineering Services
21 MARCH 2001



American Test Lab of South Florida
4675 NW 103 Avenue Sunrise FL 33351
Phone (954) 747-1965 Fax (954) 747-1959
Web www.atl-sf.com E-Mail atl-sf@bellsouth.net

SEASON SHIELD

ATL Report # 0529.01-03R

Page 1 of 8
Report Date: 09/09/03

STRUCTURAL PERFORMANCE TEST REPORT

Client: Seasonshield, Inc., 355 Center Court, Venice, Florida 34292
Phone (800) 869-6699 Fax (800) 869-6696

Product Type and Series: 8100 Series Single Hung Window, as per drawings from Mikron Industries, (5) pages, dated 3/6/03 and component drawings.

Test Specifications: AAMA / NWWDA 101/L.S. 2-97 "Voluntary Specifications for Aluminum, Vinyl, (PVC) and Wood Windows and Glass Doors".

Design Pressures:

Gateway specimen: + 45.0 psf, - 45.0 psf
Alternate #1 specimen: + 65.0 psf, - 65.0 psf
Alternate #2 specimen: + 50.0 psf, - 50.0 psf

Test Specimen

(1) DESCRIPTION OF UNIT:

Overall Size:

Gateway and alternate # 2 specimens: 54" wide x 74" high x 3.230" deep
Alternate #1 specimen: 36" wide x 72" high x 3.230" deep

Configuration: Single Hung window, O/X

No. & Size of Vents (Sash):

Gateway and alternate # 2 specimens: (1), 50-13/16" wide x 36-1/2" high
Alternate #1 specimen: (1), 33-1/4" wide x 35-7/8" high

(2) MATERIAL CHARACTERISTICS:

Frame and Vent Material: PVC

ATLSF # 0529.01-03R

Frame Construction: Flange type frame in the head, jambs and sill consisted of a hollow section (drawing # 7131) (3.000" x 1.755" x 0.065" typical wall thickness) and an installation bead (part # 8766) (0.735" x 0.255"), exterior side only. On gateway specimen a TSH/TDH snap-in sill profile (drawing # 7941) (1.439" x 0.840" x 0.060" typical wall thickness) (interior side) was snapped-in to the sill. On alternate specimens a sill adaptor (drawing # 8439) (2.576" x 0.811" x 0.060" typical wall thickness) (interior side) was attached to the sill with (2) # 8 x 2" truss head Phillips sms at each corner.

Jambs were welded to head and sill at each miter cut corner. Extruded tubular section in the horizontal meeting rail (drawing # 7126) (1.835" x 1.440" x 0.065 typical wall thickness).

The horizontal meeting rail was fastened to the jambs with (2) # 6 x 2" truss head phillips sms.

Vent Construction: Extruded tubular sections in the top (drawing # 7092) (1.410" x 1.647" x 0.065" typical wall thickness) and bottom rails (drawing # 7094) (1.647" x 1.535" x 0.065 typical wall thickness). Extruded tubular section in the stiles (drawing # 7093) (1.160" x 1.647" x 0.065" typical wall thickness). Stiles were welded to top and bottom rails at each miter cut corner.

Glazing:

Glazing Material:

Gateway specimen: 7/8" insulated glass, 3/16" ann / 0.501" air space with a swiggle spacer around perimeter of glass / 3/16" ann.

Alternate #1 specimen: 7/8" insulated glass, 1/8" ann / 0.625" air space with a swiggle spacer around perimeter of glass / 1/8" ann.

Alternate #2 specimen: 7/8" insulated glass, 1/8" Temp. / 0.625" air space with a swiggle spacer around perimeter of glass / 1/8" Temp.

Glazing Method:

Gateway and alternate #2 specimens:

Exterior glazed with Dow Corning 995 Silicone, against interior perimeter of glass. Bite on glass 0.595".

Alternate #1 specimen:

Exterior glazed with Dow Corning 1199 Silicone, against interior perimeter of glass. Bite on glass 0.595".

On all specimens a PVC snap in glazing bead on exterior perimeter of glass (drawing # 6177) (0.828" x 0.259" x 0.030" typical wall thickness).

Daylight Opening:

Gateway and alternate #2 specimens:

Sash: 48" wide x 33-3/8" high, fixed lite: 50-3/8" wide x 33-3/8" high.

Alternate #1 specimen:

Sash: 29-5/8" wide x 32-1/4" high, fixed lite: 32-1/4" wide x 32-3/8" high.

Weather-stripping:

<u>Quantity</u>	<u>Description</u>	<u>Location</u>
Two (2) rows	Ultrafab soft touch fin seal	Sill adaptor (drawing # 8439)
One (1) row	Ultrafab soft touch fin seal	Sill adaptor (drawing # 7941)
One (1) row	Ultrafab soft touch fin seal	Sash bottom rail
One (1) row	Ultrafab soft touch fin seal	Sash top rail
Two (2) rows	Ultrafab soft touch fin seal	On each sash stile

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Page 3 of 8

Hardware: Hardware & Location:

Quantity	Description	Location
Two (2)	Cam Locks (Deco, part # 677509)	On sash top rail, located at 6-7/8" from each end to center of lock. Each lock was fastened to the rail with (2) # 6 x 1" flat head Phillips Tek screws.
Two (2)	Keepers (Deco, part # 677133)	On horizontal meeting rail, located at 6-1/2" from each jamb to center of keeper. Each keeper was fastened to the meeting rail with (2) # 6 x 1" flat head phillips Tek screws
One (1)	Tilt Latch, (left hand) (Ashland, part # 79910)	At left end of sash top rail. The latch slides in the rail.
One (1)	Tilt Latch, (right hand) (Ashland, part # 79915)	At right end of sash top rail. The latch slides in the rail.
Two (2)	Spiral Balances (Unique)	(1) located on each frame jamb, fastened to jamb with (1) # 8 x 1" flat head phillips sms at 4-1/4" from head.
Two (2)	Pivot Lock Shoes (BSI, part # 735C)	(1) located on each frame jamb.
Two (2)	Pivot Bars (Unique) (Part # FPH-PSSROZ)	(1) located on each end of sash bottom rail. Each pivot bar was attached to the bottom rail with (2) # 6 x 1" flat head phillips Tek screws

Weep System: (2) 1/4" x 0.090" cutouts on sill top side on each corner, located (1) at 0.295" from exterior side and at 1.625" from jamb, (1) located at 0.990" from sill front face and at 1.625" from jamb. (1) 3/4" x 0.165" cutout on sill top side on each corner, located at 2.029" from sill front face and at 1.625" from jamb. (2) cutouts, 0.750" wide x 0.165" high on sill front face, located (1) at 1.625" from each jamb. Total (8) cutouts.

Muntins: None

Reinforcement: An extruded aluminum hollow section, running thru, (part # 7092.1) (0.870" x 0.588" x 0.080" typical wall thickness) in the top and bottom rails. An extruded aluminum section, running thru, (part # 7126.1) (1.235" x 1.018") in the horizontal meeting rail.

Sealant: Dow Corning 1199 silicone sealant used between PVC frame and wood test buck and on all joinery and frame corners.

(3) INSTALLATION:Screws and Method of Attachment:

10 x 1-1/2" pan head phillips sms

Gateway and alternate #2 specimens:

Sill: 5 (1) at 4" from jamb, 12", (2) at 11" oc., 12".
Header: 5 (1) at 4" from jamb, 12", (2) at 11" oc., 12".
Jambs: 14 (1) at 4" from head, (2) at 12" oc., (2) at 8" oc., (2) at 12" oc. (7) screws per jamb

Alternate #1 specimen:

Sill: 4 (1) at 4" from jamb, 10", 8", 10".
Header: 4 (1) at 4" from jamb, 10", 8", 10".
Jambs: 14 (1) at 4" from head, (2) at 12" oc., (2) at 8" oc., (2) at 12" oc. (7) screws per jamb

ATLSF # 0529.01-03R

Screen:

Gateway and alternate #2 specimens: Measured 51-1/2" wide x 36" high roll formed aluminum frame, fiberglass mesh with vinyl spline. Two plastic pull-tabs, two tension spring clips.

Alternate specimen: Measured 33-1/2" wide x 35" high roll formed aluminum frame, fiberglass mesh with vinyl spline. Two plastic pull-tabs, two tension spring clips.

Surface Finish: White

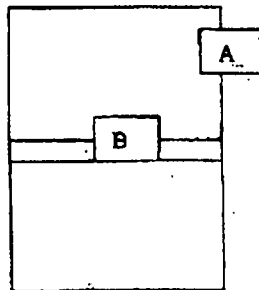
Comment: 2 mill polyethylene film was used to seal against air leakage during structural loads. The film was used in a manner that they had no influence on the results of these tests.

Performance Test Results Gateway Specimen

<u>Paragraph No.</u>	<u>Title of Test</u>	<u>Method</u>	<u>Measured</u>	<u>Allowed</u>
2.1.2	ASTM E 283-91	Air Infiltration @ 1.57 psf	0.23 cfm/ft sq.	0.30 cfm/ft sq.

The specimen tested exceeds the performance levels establish in AAMA/NWWDA 101/I.S.2-97 for Air Infiltration.

2.1.3/4.3	ASTM E 547-93 (with screen)	Water Resistance WTP=6.75 psf Four (4) five (5) min. cycles	No entry	No entry
	ASTM E 331-93 (with screen)	One (1) fifteen (15) min. cycle	No entry	No entry
2.1.3/4.3	ASTM E 547-93 (without screen)	Water Resistance WTP=6.75 psf Four (4) five (5) min. cycles	No entry	No entry
	ASTM E 331-93 (without screen)	One (1) fifteen (15) min. cycle	No entry	No entry



ATLSF # 0529.01-03R

<u>Paragraph No.</u>	<u>Title of Test</u>	<u>Method</u>	<u>Measured</u>	<u>Allowed</u>
2.1.4.2/4.4.2	ASTM E 330-90	Uniform Load Structural One (1) ten (10) second load Permanent Deformation @ 67.5 psf exterior @ 67.5.0 psf interior	at "A" 0.005" 0.004" at "B"	at "A" at "B"
		One (1) ten (10) second load Permanent Deformation @ 67.5 psf exterior @ 67.5 psf interior	 0.020" 0.030"	 0.216" 0.216"

<u>Paragraph No.</u>	<u>Title of Test</u>	<u>Method</u>	<u>Measured</u>	<u>Allowed</u>
2.1.8	AAMA 1302.5-76	Forced Entry Test A Test B Test C Test D, E and F Test G	0" 0" 0" 0" 0"	1/2" 1/2" 1/2" 1/2" 1/2"

<u>Paragraph No.</u>	<u>Title of Test</u>	<u>Method</u>	<u>Measured</u>	<u>Allowed</u>
2.2.1.6.1	AAMA/NWWDA 101/I.S.2-97	Operating Force Sash	Down 28.6# Up 25.1#	30# 30#
2.2.19.5.2	ASTM E 987-88	Deglazing Top Rail 70 Lb Bottom Rail 70 Lb Left Stile 50 Lb Right Stile 50 Lb	0.027"= 4.54%<100% 0.018"= 3.03%<100% 0.016"= 2.69%<100% 0.016"= 2.69%<100%	

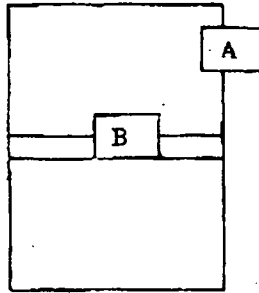
Performance Test Results Alternate #1 Specimen

<u>Paragraph No.</u>	<u>Title of Test</u>	<u>Method</u>	<u>Measured</u>	<u>Allowed</u>
2.1.2	ASTM E 283.91	Air Infiltration @ 1.57 psf	0.22 cfm/ft sq.	0.30 cfm/ft sq.

The specimen tested exceeds the performance levels establish in AAMA/NWWDA 101/I.S.2-97 for Air Infiltration.

ATLSF # 0529.01-03R

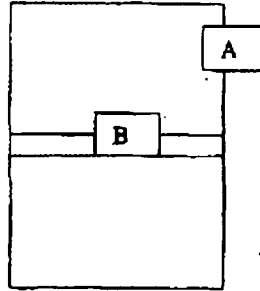
<u>Paragraph No.</u>	<u>Title of Test</u>	<u>Method</u>	<u>Measured</u>	<u>Allowed</u>
2.1.3/4.3	ASTM E 547-93 (with screen)	Water Resistance WTP=9.75 psf Four (4) five (5) min. cycles	No entry	No entry
	ASTM E 331-93 (with screen)	One (1) fifteen (15) min. cycle	No entry	No entry
2.1.3/4.3	ASTM E 547-93 (without screen)	Water Resistance WTP=9.75 psf Four (4) five (5) min. cycles	No entry	No entry
	ASTM E 331-93 (without screen)	One (1) fifteen (15) min. cycle	No entry	No entry



<u>Paragraph No.</u>	<u>Title of Test</u>	<u>Method</u>	<u>Measured</u>	<u>Allowed</u>
2.1.4.2/4.4.2	ASTM E 330-90	Uniform Load Structural	at "A"	at "A"
		One (1) ten (10) second load Permanent Deformation		
		@ 97.5 psf exterior	0.002"	
		@ 97.5.0 psf interior	- 0.002"	
		One (1) ten (10) second load Permanent Deformation	at "B"	at "B"
		@ 97.5 psf exterior	0.030"	0.144"
		@ 97.5 psf interior	0.005"	0.144"

ATLSF # 0529.01-03R

Performance Test Results Alternate #2 Specimen



<u>Paragraph No.</u>	<u>Title of Test</u>	<u>Method</u>	<u>Measured</u>	<u>Allowed</u>
2.1.4.2/4.4.2	ASTM E 330-90	Uniform Load Structural One (1) ten (10) second load Permanent Deformation @ 75.0 psf exterior @ 75.0 psf interior	at "A" 0" 0.040" at "B"	at "A" at "B"
		One (1) ten (10) second load Permanent Deformation @ 75.0 psf exterior @ 75.0 psf interior	 0.225" 0.254"	 0.280" 0.280"

Comment: Additionally Design Pressure 50 psf was tested both positive and negative held for 60 seconds. **Results: Passed**

ATLSF # 0529.01-03R

Test Dates: 5/29, 5/30, 7/11, 8/06, 8/20/03

Test Completion Date: 8/20/03

All Tests Certified by

Jose L. Mir, Assistant Director
American Test Lab of South Florida

ATL Seal & Signature

Henry Hattem P.E.
4675 N.W. 103 Ave.
Sunrise, Fl 33351
Registered Engineer P.E. # 0014373

Engineer Seal & Signature

William R Mehner
4675 N.W. 103 Ave.
Sunrise, Fl 33351
Registered Engineer P.E. # 7496

- cc Seasonsfield, Inc. (2)
- ALI (2)
- Henry Hattem P.E. (1)
- William R Mehner P.E. (1)
- American Test Lab (1)

Disclaimer: Detailed drawings were available for laboratory records and comparison to the test specimen at the time of this report. A copy of this report along with representative sections of the test specimen will be retained by ATLSF for a period of four (4) years. This test report was prepared by American Test Lab of South Florida (ATLSF), for the exclusive use of the above named client, it does not constitute certification of this product. The results are for that particular specimen tested and does not imply the quality of similar or identical products manufactured or installed from specifications identical to the tested product. ATLSF is a testing lab and assumes that all information provided by the client is accurate and does not guarantee or warranty any product tested or installed.



MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Andersen Corporation
100 Fourth Avenue North
Bayport, MN 55003-1096

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT DIVISION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

Your application for Notice of Acceptance (NOA) of:

FWH 6068 Inswing Wood Patio Door

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 01-0803.05

EXPIRES: 09/30/2006

Raul Rodriguez
Chief Product Control Division

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL
CONDITIONS
BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

APPROVED: 09/06/2001

Andersen Corporation

ACCEPTANCE No. : 01-0803.05

APPROVED : SEP 06 2001

EXPIRES : September 30, 2006

NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

1. SCOPE

- 1.1 This renews the Notice of Acceptance No. 98-0930.06 which was issued on February 18, 1999. It renews the approval of an inswing wood patio door, as described in Section 2 of this Notice of Acceptance, designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County, for the locations where the pressure requirements, as determined by SFBC Chapter 23, do not exceed the Design Pressure Rating values indicated in the approved drawings.

2. PRODUCT DESCRIPTION

- 2.1 The **Series FWH 6068 Inswing Wood Patio Doors** and its components shall be constructed in strict compliance with the following documents: Drawing No. **DADE-52003**, Sheets 1 through 3 of 3, titled "UNIT, FWH AS/SA," prepared by Andersen Corporation, dated 9-15-98, signed and sealed by Richard Boyette, P.E., bearing the Miami-Dade County Product Control Renewal stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division. These documents shall hereinafter be referred to as the approved drawings.

3. LIMITATIONS

- 3.1 This approval applies to single unit applications of pair of doors and single door only, as shown in approved drawings. Single door units shall include all components described in the active leaf of this approval.

4. INSTALLATION

- 4.1 The inswing wood patio doors and its components shall be installed in strict compliance with the approved drawings.
- 4.2 Hurricane protection system (shutters): the installation of this unit will require a hurricane protection system.

5. LABELING

- 5.1 Each panel shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved".

6. BUILDING PERMIT REQUIREMENTS

- 6.1 Application for building permit shall be accompanied by copies of the following:
- 6.1.1 This Notice of Acceptance.
- 6.1.2 Duplicate copies of the approved drawings, as identified in Section 2 of this Notice of Acceptance, clearly marked to show the components selected for the proposed installation.
- 6.1.3 Any other documents required by the Building Official or the South Florida Building Code (SFBC) in order to properly evaluate the installation of this system.


Raul Rodriguez, Chief
Product Control Division

Andersen Corporation

ACCEPTANCE No. : 01-0803.05


APPROVED : SEP 06 2001

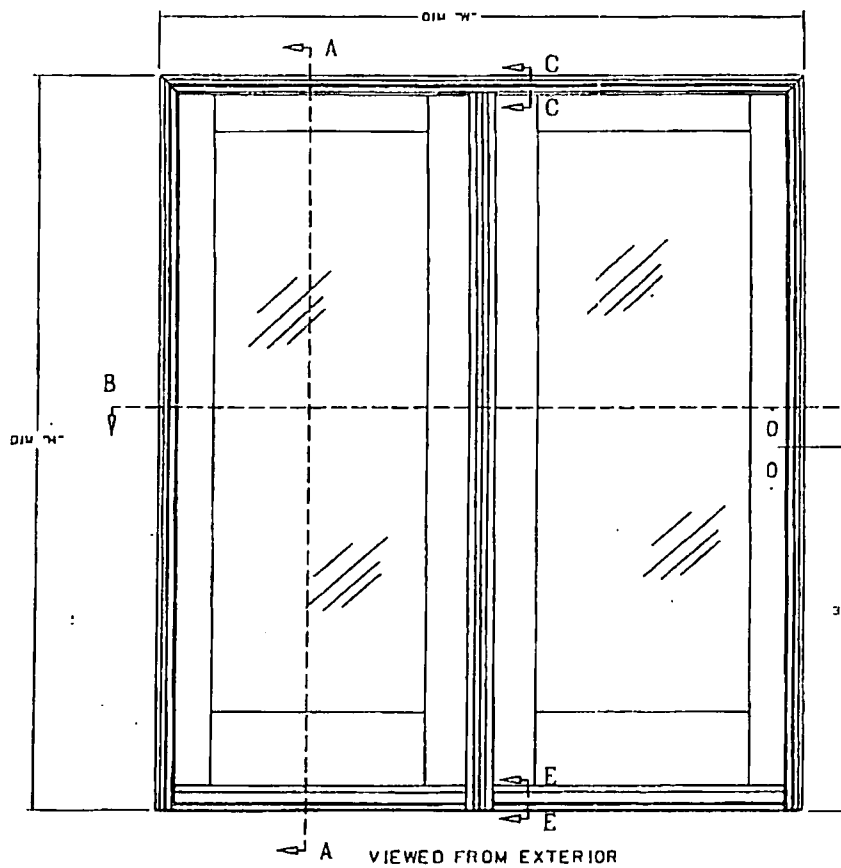
EXPIRES : September 30, 2006

NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documents, including test-supporting data, engineering documents, are no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approval", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
 - a. There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes.
 - b. The product is no longer the same product (identical) as the one originally approved.
 - c. If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product.
 - d. The engineer who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
 - a. Unsatisfactory performance of this product or process.
 - b. Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.
6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engineer need not reseal the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Notice of Acceptance consists of pages 1, 2 and this last page 3.

END OF THIS ACCEPTANCE


Raul Rodriguez, Chief
Product Control Division



VIEWED FROM EXTERIOR

NOTES:

1. INSTALLATION METHODS:
THE SILL IS SET IN SILICONE BACKBEDDING. THE HEAD IS SECURED IN THE ROUGH OPENING USING #10 X 3" FLAT HEAD SCREWS AT 6" FROM CORNERS AND A MAX. OF 18" O.C. THE JAMBS ARE SECURED USING #10 X 3" FLAT HEAD SCREWS AT 6" FROM CORNERS AND A MAX. OF 18" O.C. TWO #10 X 3" SCREWS ARE SCREWED INTO EACH OF THE THREE HINGES. FOUR #10 X 3" SCREWS ARE FASTENED THROUGH THE LOCK KEEPER AND JAMBS AND ARE LOCATED ONE PER TOP AND BOTTOM KEEPER, AND TWO PER MIDSPAN KEEPER.
2. DESIGN PRESSURE RATINGS FOR ALL SIZES: 1-50 PSF / -50 PSF.
3. GLAZING SPECIFICATIONS:
THE PANELS UTILIZE NOMINAL 3/4" HIGH PERFORMANCE INSULATING GLASS FABRICATED FROM TWO NOMINAL 5/32" TEMPERED SHEETS AND A DESICCANT FILLED SPACER SYSTEM.
GLAZING METHOD: GLASS IS SET FROM THE INTERIOR AGAINST THE SILICONE BACKBEDDING AND THEN WOOD GLAZING STOPS ARE USED ON THE INTERIOR. SECURED WITH 1-1/4" FINISHING NAILS SPACED 8" ON CENTER.
GLASS OTE: .563"
4. FRAME CONSTRUCTION:
CORNERS ARE COPED, BUTTED, GLUED AND THEN FASTENED USING FOUR #10 X 2-1/2" LONG SCREWS PER HEAD JAMB CORNER AND THREE #10 X 2-1/2" LONG SCREWS PER SILL JAMB CORNER.
5. PANEL CONSTRUCTION:
THE WOOD PANELS CONTAIN BLIND MORTISE AND TENON, DOWEL AND GLUED CORNER CONSTRUCTION.
- FOUR 3" SCREWS ARE SCREWED THROUGH THE FRAME JAMB INTO THE PANEL, 11" AND 36" FROM THE HEAD AND SILL.
- SIX 3" SCREWS ARE SCREWED THROUGH THE HINGE ASTRAGAL INTO THE PANEL POSITIONED TWO PER RINGE.
- A WOOD STOP IS USED AROUND THE INTERIOR PANEL PERIMETER AND SECURED TO THE FRAME WITH 1-1/4" LONG FINISHING NAILS SPACED 10" ON CENTER.
6. WEATHERSTRIPPING:
ONE ROW OF SANTOPRENE DULB AT THE PERIMETER OF THE PANEL.
7. MIAMI-DADE COUNTY APPROVED IMPACT RESISTANT SHUTTERS ARE REQUIRED FOR INSTALLATION OF THIS UNIT..

FWM-6060	71.250	79.500
FWM-5468	63.250	79.500
FWM-5068	59.250	79.500
UNIT DES.	DIM "W"	DIM "H"

FWM-6060	5
FWM-5468	4
FWM-5068	4
UNIT DES.	# OF SCREWS THROUGH HEAD JAMB

FWM-6068	37.750	76.463
FWM-5468	29.750	76.463
FWM-5068	27.750	76.463
PANEL DES.	WIDTH	HEIGHT
PANEL DIMENSIONS		

FWM-6068	5
FWM-5468	6
FWM-5068	5
UNIT DES.	# OF SCREWS THROUGH EACH SIDE JAMB

2	SCREWS, #8 X 2.500"	ATTACHMENT OF RECEIVER ASSEMBLY TO FRAME
6	SCREWS, #8 X 1.125"	ATTACHMENT OF OUTSIDE ASTRAGAL TO INSIDE ASTRAGAL
6	SCREWS, #10 X 3.00"	ATTACHMENT OF STATIONARY PANEL TO FRAME SIDE JAMBS
6	SCREWS, #10 X 1.00"	ATTACHMENT OF ASTRAGAL OUTSIDE COVER TO FRAME HEAD JAMB
6	SCREWS, #10 X 1.00"	ATTACHMENT OF HINGES TO FRAME
4	STAPLES, 5/16" X .500"	ATTACHMENT OF HEAD JAMB COVER TO JAMB
5	NAIL, 1.500" GALV. FINISH	ATTACHMENT OF INSIDE HEAD & SILL GLASS STOPS TO FRAME
10	NAIL, 1.500" GALV. FINISH	ATTACHMENT OF INSIDE SIDE GLASS STOPS TO FRAME
6-8	SCREWS, BRASS #8 X 1.500"	ATTACHMENT OF SILL STEP TO SILL
4	SCREWS, #7 X .625"	ATTACHMENT OF CORNERLOCKS TO HEAD & SIDE JAMBS
2	SCREWS, #6 X 1.125"	ATTACHMENT OF SILL TO ASTRAGAL OUTSIDE COVER
6	SCREWS, #10 X 2.500"	ATTACHMENT OF FRAME SILL TO SIDE JAMBS
8	SCREWS, #10 X 2.500"	ATTACHMENT OF FRAME HEAD JAMB TO SIDE JAMBS
BEAD	SILICONE	ATTACHMENT OF FRAME HEAD JAMBS TO SIDE JAMBS & TO JAMB COVER/DRAINAGE CHANNEL OVERLAP
QTY.	DESCRIPTION	LOCATION

FRAME FASTENERS LIST

12	SCREWS, #10 X 1-3/4"	ATTACHMENT OF HINGES TO PANEL
12	SCREWS, #8 FLAT HEADS	ATTACHMENT OF LOCK MECHANISM TO PANEL
2	DOWELS, DIA. 438 6.500"	ATTACHMENT OF BOTTOM RAIL TO STILES
2	DOWELS, DIA. 438 X 5.000"	ATTACHMENT OF TOP RAIL TO STILES
BEAD	SILICONE	ATTACHMENT OF GASKET TO PANEL
QTY.	DESCRIPTION	LOCATION

PANEL FASTENERS LIST

PRODUCT RENEWED

ACCEPTANCE NO. 01-0803-05
 EXPIRATION DATE September 30, 2006
 BY [Signature]
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE

APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE February 18, 1999
 BY [Signature]
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 98-0930.06

RICHARD BOYETTE
 FL Civil PE #42485
 4031 Coconut Blvd
 Royal Palm Bch FL 33411
 (561) 750-5766 Voice / Fax

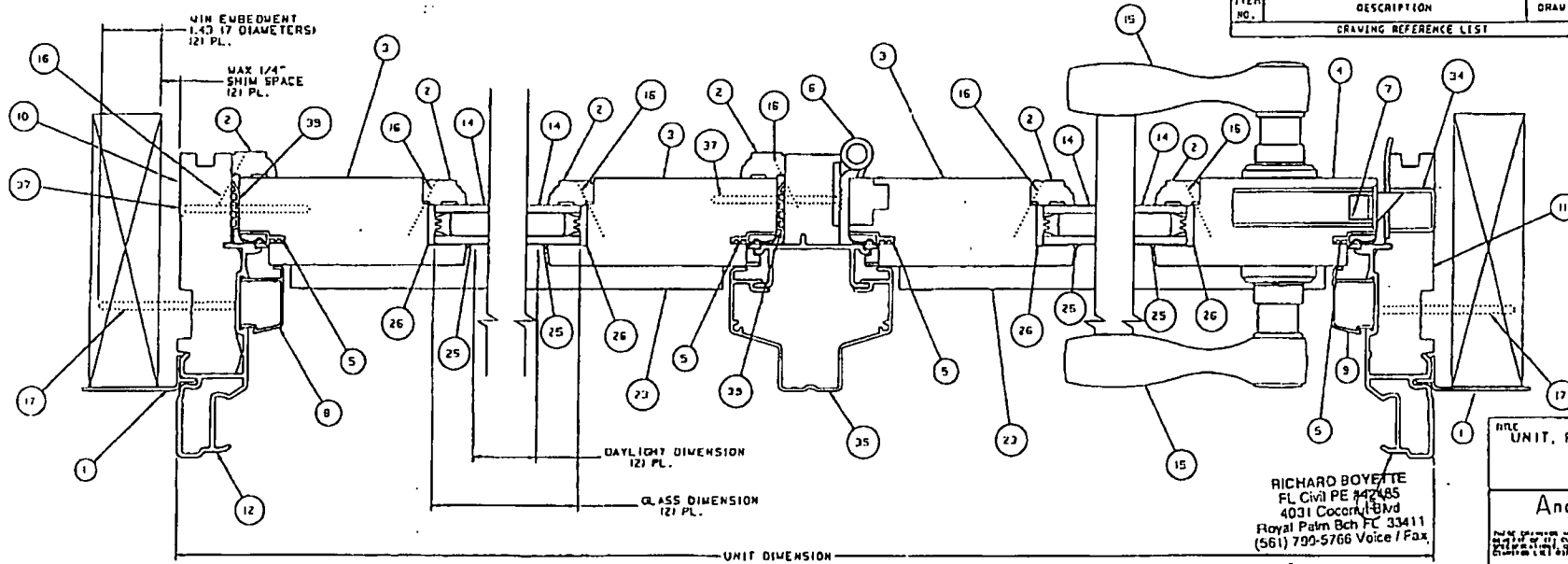
[Signature]
 1/16/99

TITLE UNIT, FWM AS/SA	
Andersen Corporation <small>Boyport, Wisconsin 53002</small>	
<small>THIS DRAWING AND SPECIFICATIONS ARE SUBJECT TO ANY AND ALL CHANGES OR ADDITIONS MADE BY THE ARCHITECT OR ENGINEER. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND SPECIFICATIONS. CONSULT THE ARCHITECT FOR THE LATEST REVISIONS TO THIS DRAWING.</small>	
<small>COMPILED AND CHECKED BY ANDERSEN CORPORATION. ALL RIGHTS RESERVED.</small>	
<small>APPROVED FOR:</small> <small>DATE: 01-18-99</small>	<small>DRAWING NUMBER:</small> <small>DATE: 52003</small>
<small>SHT. 1 OF 3</small>	

FWM-3168	26.000	24.815	36.125
FWM-2888	22.000	20.875	32.125
FWM-2798	20.000	18.875	30.125
UNIT	GLASS	DAYLIGHT	UNIT
QES.	DIMENSION	OPENING	DIMENSION
		WIDTH	

ITEM NO.	DESCRIPTION	DRAWING	MATERIAL	HEIGHT	WIDTH
39	FILLER, STATIONARY PANEL	52472	VINYL	.178	1.211
38	SCREW, #8 X 1.125	1621150	STEEL	-	-
37	SCREW, #10 X 2.500"	1621230	STEEL	-	-
36	SCREW, #8 X 2.500"	1621220	STEEL	-	-
35	ASTRICAL	-	-	-	-
34	LATCH, RECEIVER	52413	CR51010	.913	1.642
33	FLANGE, HEAD	20031	VINYL	2.364	.671
32	SCREW, #8 X 1.750	1621280	STEEL	-	-
31	STOP, PANEL HEAD & SILL	51126	WOOD	.500	.875
30	JAMB, HEAD	52358	WOOD	1.104	4.232
29	COVER, HEAD JAMB	52229	ALUMINUM	1.375	4.093
28	COVER, FASTENER HEAD	52248	ALUMINUM	.836	1.285
27	RAIL, TOP	29074	WOOD	4.538	1.719
26	SPACER, GLASS	20085	FLEXIBLE	.781	2.000
25	SEALANT, SILICONE	-	OC 791	-	-
24	RAIL, BOTTOM	52179	WOOD	8.504	1.719
23	WATERSHED	52203	ALUMINUM	.875	.672
22	SCREW, #8 X 1-1/2	1621110	BRASS	-	-
21	STEP, SILL	52129	OAK	.765	1.782
20	CHANNEL, DRAINAGE	52126	ALUMINUM	1.200	.910
19	COVER, SILL	52127	ALUMINUM	1.430	4.823
18	SILL	52433	FIBREX	1.062	3.125
17	SCREW #10 X 3"	1621190	STEEL	-	-
16	RAIL, FINISH 1-1/2"	523960	GALVANIZED	-	-
15	HANDLE	-	BRASS	-	-
14	GLASS	-	-	-	-
13	COVER, JAMB RH	52225	PULTRUSION	1.375	4.093
12	COVER, JAMB LH	52225	PULTRUSION	1.375	4.093
11	JAMB, RH	52253	WOOD	1.234	4.232
10	JAMB, LH	52253	WOOD	1.234	4.232
9	COVER, FASTENER RH	52248	ALUMINUM	.836	1.285
8	COVER, FASTENER LH	52248	ALUMINUM	.836	1.285
7	MECHANISM, LOCK	52104	STEEL	-	-
6	HINGE, LEAF	-	ZINC DIECAST	-	-
5	W.S., GASKET	52175	SANTOPRENE	.385	.725
4	STILE, LOCK	52178	WOOD	4.538	1.719
3	STILE, HINGE	52178	WOOD	4.538	1.719
2	STOP, PANEL/GLASS SIDE	51125	WOOD	.500	.875
1	FLANGE, SIDE	50867	VINYL	1.644	.430

SECTION B-B



RICHARD BOYETTE
FL CIVIL PE #42485
4031 Cocoran Blvd
Royal Palm Bch FL 33411
(561) 799-5766 Voice / Fax

Richard Boyette
1/16/99

PRODUCT RENEWED

ACCEPTANCE No. 01-0803-05

EXPIRATION DATE September 30 2006

By *[Signature]*
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE February 11 1999
BY *[Signature]*
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 28-0930-06

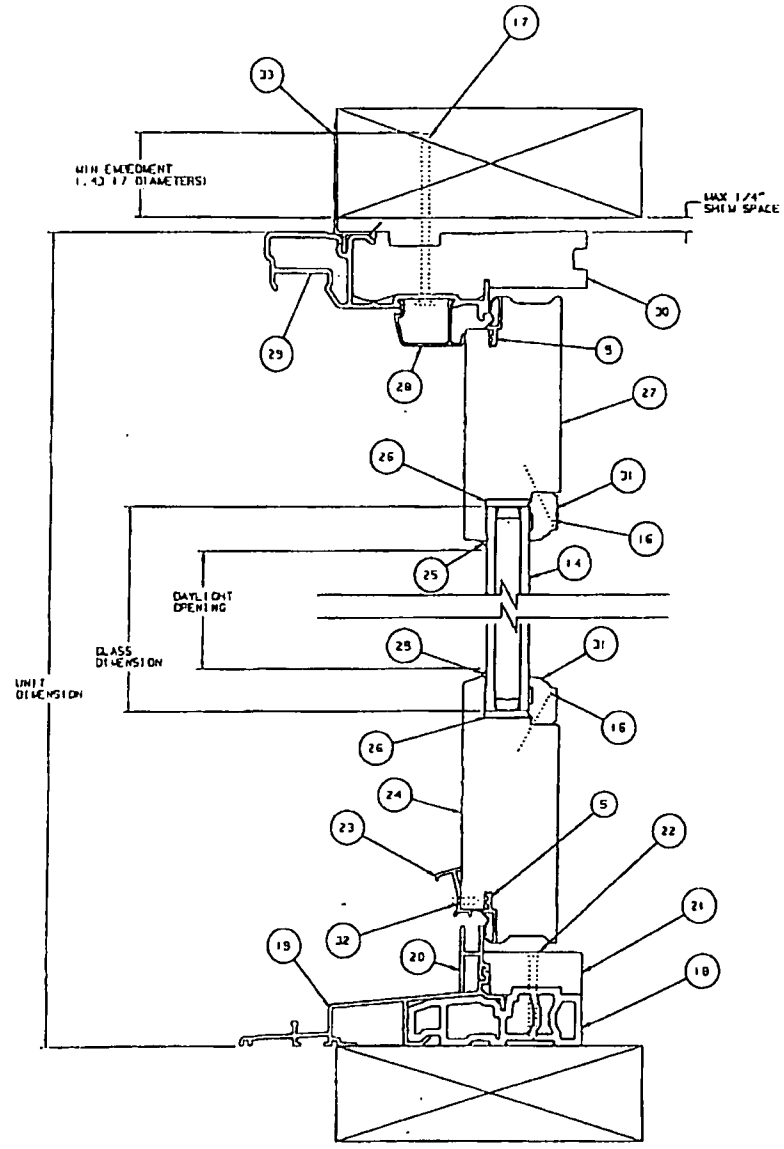
UNIT, FWM AS/SA

Andersen Corporation
Dayport, Minnesota 55003

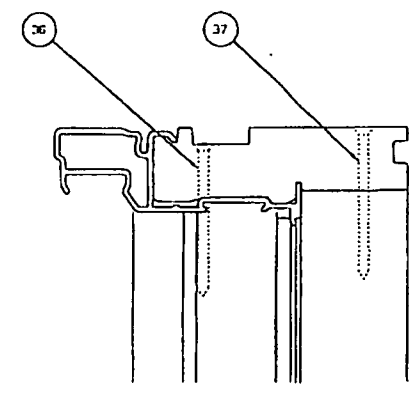
THIS DRAWING AND SPECIFICATIONS ARE A RESULT OF A PROGRAM ESTABLISHED FOR THE BENEFIT OF OUR CUSTOMERS. THESE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF ANDERSEN CORPORATION. ALL RIGHTS RESERVED.

APPROVED BY: 3-19-99
DRAWING NUMBER: DADE-52003
SHEET 2 OF 3

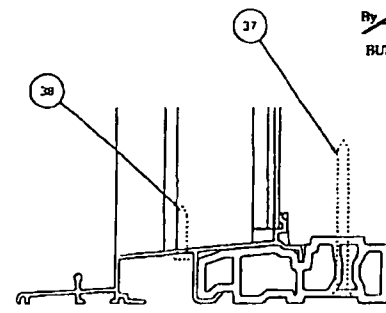
FWM-1100	64.562	61.500	19.500
FWM-2900	64.562	61.500	19.500
FWM-2700	64.562	61.500	19.500
UNIT DES.	GLASS DIMENSION	DAYLIGHT OPENING	UNIT DIMENSION HEIGHT



SECTION A-A



SECTION C-C



SECTION E-E

PRODUCT RENEWED

ACCEPTANCE No. 01-0803-05

EXPIRATION DATE September 30 2006

By [Signature]
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE February 11 1999
BY [Signature]
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 98-0900-06

RICHARD BOYETT
FL Civil PE #42485
4031 Coconut Blvd
Royal Palm Bch Fl. 33411
(561) 790-5766 Voice / Fax

[Signature]
c/1/6/99

TYPE UNIT, FWM AS/SA	
Andersen Corporation Boysert, Minnesota 55003	
<small>THIS DOCUMENT AND DRAWING IS A TRADE OR SERVICE MARK OF ANDERSEN CORPORATION OR ITS AFFILIATE OR ITS CUSTOMER. IT IS THE PROPERTY OF ANDERSEN CORPORATION AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ANDERSEN CORPORATION.</small>	
<small>APPROVED FOR</small> 5-15-98	<small>DATE</small> DADE-52003
<small>DWG. NO.</small> DWL 3	<small>OF</small> 3

P60	9 EOL SP	12 EOL SP	3 EOL SP
P55	8 EOL SP	11 EOL SP	2 EOL SP
P50	8 EOL SP	10 EOL SP	2 EOL SP
P45	7 EOL SP	9 EOL SP	2 EOL SP
P40	7 EOL SP	8 EOL SP	2 EOL SP
P35	6 EOL SP	7 EOL SP	2 EOL SP
P30	6 EOL SP	6 EOL SP	2 EOL SP
UNIT	TOTAL NAILS	TOTAL NAILS	TOTAL NAILS
DES.	PER GLASS STOP	PER OUTSIDE STOP	PER TRIM STOP

14	SCREWS, INSTALLATION #8 WOOD SCREW	XXXX	GALVANIZED
13	NAILS, INSTALLATION #8	XXXX	GALVANIZED
12	TRIM, STOP, SASH HEAD & SILL, SQUARED END	30399	WOOD
11	TRIM, STOP, SASH SIDE, COPED END	30393	WOOD
10	STOP, HEAD & SILL, GLASS, SQUARED END	30397	WOOD
9	STOP, SIDE, GLASS, COPED END	30398	WOOD
8	GLASS SPACERS	20065	FLEXIBLE
7	SILICONE GLAZING	XXXXX	XXXXX
6	GLASS, 1/2"	XXXXX	XXXXX
5	COVER, FRAME	30377	VINYL
4	NAILS, OUTSIDE & GLASS STOP	27255	GALVANIZED
3	STOP, OUTSIDE, HEAD & SILL	30395	WOOD
2	STOP, OUTSIDE, SIDE	30396	WOOD
1	JAMB, SIDES, HEAD & SILL	30394	WOOD
ITEM NO.	DESCRIPTION	DRAWING	MATERIAL

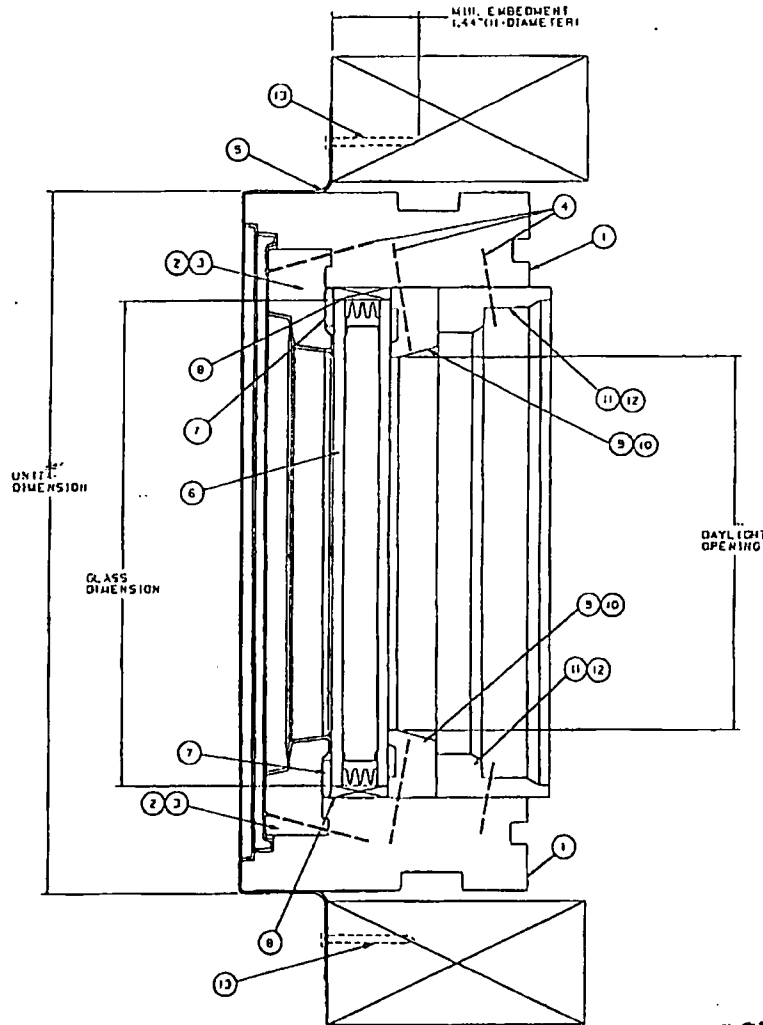
DRAWING REFERENCE LIST

P50	56.593	55.091	59.875
P45	49.530	48.028	52.812
P40	44.718	43.216	48.000
P35	37.530	36.028	40.812
P30	32.656	31.154	35.935
CALL	GLASS DIMENSION	DAYLIGHT OPENING WIDTH	UNIT DIMENSION

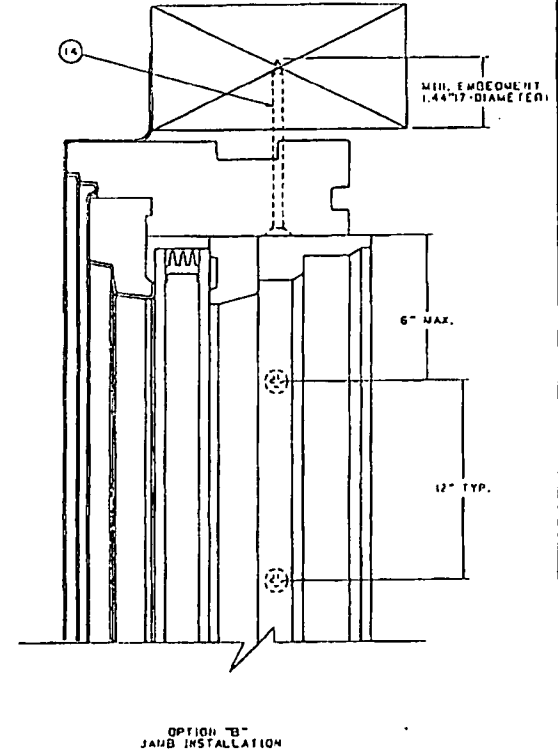
P60	68.593	67.091	71.875
P55	61.530	60.028	64.812
P50	56.593	55.091	59.875
P45	49.530	48.028	52.812
P40	44.718	43.216	48.000
P35	37.530	36.028	40.812
P30	32.656	31.154	35.935
CALL	GLASS DIMENSION	DAYLIGHT OPENING HEIGHT	UNIT DIMENSION

NOTES:

- ALL DIMENSIONS ARE IN INCHES.
- HORIZONTAL & VERTICAL CROSS SECTIONS ARE IDENTICAL
- ROUGH OPENING - UNIT DIMENSION - 1/2".
- LARGEST SIZES ARE P6050 & P6060. SIZES P5555, P5560, P6055, & P6060 WILL NOT BE LISTED.



SECTION A-A
OPTION "A"
FLANGE INSTALLATION



OPTION "B"
JAMB INSTALLATION

PRODUCT RENEWED

ACCEPTANCE No. 01-0709.01
EXPIRATION DATE July 30, 2006
By [Signature]
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE July 30, 2006
By [Signature]
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 96-1219.03

RICHARD BOYETTE
FL CNR PE #42405
4031 Coconut Blvd
Royal Palm Beach FL 33411
(561) 790-5760 Voice / Fax
Richard Boyette
6/8/06

UNIT ASSEMBLY, PICTURE WINDOW	
Andersen Corporation	
3-28-06	
2	DATE - 30307



BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Andersen Corporation
100 Fourth Avenue North
Bayport ,MN 55003-1096

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT DIVISION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

Your application for Notice of Acceptance (NOA) of:

FWH 3168 Inswing Wood Patio Door

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 01-0803.06
EXPIRES: 09/30/2006

Raul Rodriguez
Chief Product Control Division

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL
CONDITIONS
BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

APPROVED: 09/06/2001

Andersen Corporation

ACCEPTANCE No. : 01-0803.06

APPROVED : SEP 06 2001

EXPIRES : September 30, 2006

NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

1. SCOPE

- 1.1 This renews Notice of Acceptance No. 98-0930.07, which was issued on February, 8, 1999. It renews the approval of an inswing wood patio door, as described in Section 2 of this Notice of Acceptance, designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County, for the locations where the pressure requirements, as determined by SFBC Chapter 23, do not exceed the Design Pressure Rating values indicated in the approved drawings.

2. PRODUCT DESCRIPTION

- 2.1 The Series FWH 3168 Inswing Wood Patio Door and its components shall be constructed in strict compliance with the following documents: Drawing No. DADE-52078, Sheets 1 through 3 of 3, titled "UNIT, FWH SINGLE," prepared by Andersen Corporation, dated 9-11-98, signed and sealed by Richard Boyette, P.E., bearing the Miami-Dade County Product Control renewal stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division. These documents shall hereinafter be referred to as the approved drawings.

3. LIMITATIONS

- 3.1 This approval applies to single unit applications of single door only, as shown in approved drawings.

4. INSTALLATION

- 4.1 The inswing wood patio door and its components shall be installed in strict compliance with the approved drawings.
- 4.2 Hurricane protection system (shutters): the installation of this unit **will require** a hurricane protection system.

5. LABELING

- 5.1 Each panel shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved".

6. BUILDING PERMIT REQUIREMENTS

- 6.1 Application for building permit shall be accompanied by copies of the following:
- 6.1.1 This Notice of Acceptance.
- 6.1.2 Duplicate copies of the approved drawings, as identified in Section 2 of this Notice of Acceptance, clearly marked to show the components selected for the proposed installation.
- 6.1.3 Any other documents required by the Building Official or the South Florida Building Code (SFBC) in order to properly evaluate the installation of this system.


Raul Rodriguez, Chief
Product Control Division

Andersen Corporation

ACCEPTANCE No. : 01-0803.06

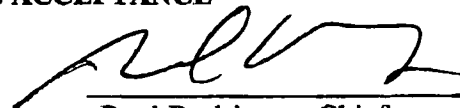
APPROVED : SEP 06 2001

EXPIRES : September 30, 2006

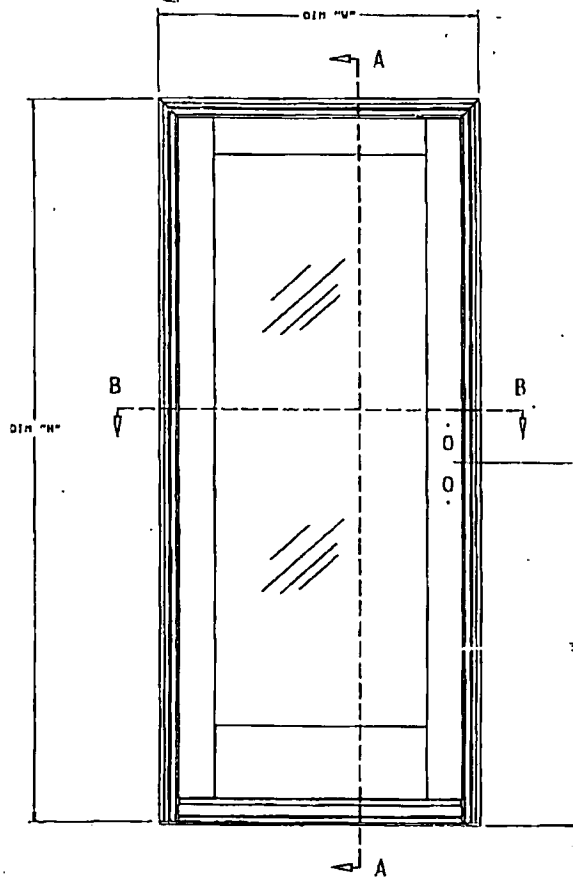
NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documents, including test-supporting data, engineering documents, are no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approval", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
 - a. There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes.
 - b. The product is no longer the same product (identical) as the one originally approved.
 - c. If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product.
 - d. The engineer who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
 - a. Unsatisfactory performance of this product or process.
 - b. Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.
6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engineer need not reseal the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Notice of Acceptance consists of pages 1, 2 and this last page 3.

END OF THIS ACCEPTANCE



Raul Rodriguez, Chief
Product Control Division



VIEWED FROM EXTERIOR

NOTES:

1. INSTALLATION METHODS:
THE SILL IS SET IN SILICONE BACKBEDDING. THE HEAD IS SECURED IN THE ROUGH OPENING USING #10 X 3" FLAT HEAD SCREWS AT 6" FROM CORNERS AND A MAX. OF 22" O.C. THE JAMBS ARE SECURED USING #10 X 3" FLAT HEAD SCREWS AT 6" FROM CORNERS AND A MAX. OF 22" O.C.. TWO #10 X 3" SCREWS ARE SCREWED INTO EACH OF THE THREE HINGES, FOUR #10 X 3" SCREWS ARE FASTENED THROUGH THE LOCK KEEPER AND JAMBS AND ARE LOCATED ONE PER TOP AND BOTTOM KEEPER, AND TWO PER MIDSPAN KEEPER.
2. DESIGN PRESSURE RATINGS FOR ALL SIZES + .60.0 PSF / -66.7 PSF.
3. GLAZING SPECIFICATIONS:
THE PANEL UTILIZES NOMINAL 3/4" HIGH PERFORMANCE INSULATING GLASS FABRICATED FROM TWO NOMINAL 5/32" TEMPERED SHEETS AND A DESICCANT FILLED SPACER SYSTEM.

GLAZING METHOD: GLASS IS SET FROM THE INTERIOR AGAINST THE SILICONE BACKBEDDING AND THEN WOOD GLAZING STOPS ARE USED ON THE INTERIOR, SECURED WITH 1-1/4" FINISHING NAILS SPACED 8" ON CENTER.

GLASS BITE = .663"
4. FRAME CONSTRUCTION:
CORNERS ARE COPED, BUTTED, GLUED AND THEN FASTENED USING FOUR #10 X 2-1/2" LONG SCREWS PER HEAD JAMB CORNER AND THREE #10 X 2-1/2" LONG SCREWS PER SILL JAMB CORNER.
5. PANEL CONSTRUCTION:
THE WOOD PANELS CONTAIN BLIND HOISTISE AND TENDON, DOVEL AND GLUED CORNER CONSTRUCTION.
6. WEATHERSTRIPPING:
ONE ROW OF SANTOPHENE BULB AT THE PERIMETER OF THE PANEL.
7. MIAMI-DADE COUNTY APPROVED IMPACT RESISTANT SHUTTERS ARE REQUIRED FOR INSTALLATION OF THIS UNIT.

FWH-3168	36.125	79.500
FWH-2968	32.125	79.500
FWH-2768	30.125	79.500
UNIT		
DES.	DIM "W"	DIM "H"

FWH-3168	3
FWH-2968	2
FWH-2768	2
UNIT	
DES.	* OF SCREWS THROUGH HEAD JAMB

FWH-3168	33.750	76.469
FWH-2968	29.750	76.469
FWH-2768	27.750	76.469
PANEL		
DES.	WIDTH	HEIGHT

FWH-3168	5
FWH-2968	4
FWH-2768	4
UNIT	
DES.	* OF SCREWS THROUGH RIGHT JAMB

FWH-3168	3
FWH-2968	2
FWH-2768	2
UNIT	
DES.	* OF SCREWS THROUGH LEFT JAMB

QTY.	DESCRIPTION	LOCATION
6	SCREWS, #10 X 1.00"	ATTACHMENT OF RECEIVER ASSEMBLY TO FRAME
6	SCREWS, #10 X 1.00"	ATTACHMENT OF HINGES TO FRAME
4	STAPLES, 5/16" X 1/2"	ATTACHMENT OF HEAD JAMB COVER TO JAMB
5	NAIL, 1.500" GALV. FINISH	ATTACHMENT OF INSIDE HEAD & SILL GLASS STOPS TO FRAME
10	NAIL, 1.500" GALV. FINISH	ATTACHMENT OF INSIDE SIDE GLASS STOPS TO FRAME
6-B	SCREWS, BRASS #8 X 1.500"	ATTACHMENT OF SILL STEP TO SILL
4	SCREWS, #7 X .625"	ATTACHMENT OF CORNERLOCKS TO HEAD & SIDE JAMBS
8	SCREWS, #10 X 2.500"	ATTACHMENT OF FRAME HEAD JAMB TO SIDE JAMBS
6	SCREWS, #10 X 2.500"	ATTACHMENT OF SILL TO ASTHAGAL OUTSIDE COVER
BEAD	SILICONE	ATTACHMENT OF FRAME HEAD JAMBS TO SIDE JAMBS & TO JAMB COVER/DRAINAGE CHANNEL OVERLAP

FRAME FASTENERS LIST

QTY.	DESCRIPTION	LOCATION
12	SCREWS, #10 X 1-3/4"	ATTACHMENT OF HINGES TO PANEL
13	SCREWS, #8 FLAT HEADS	ATTACHMENT OF LOCK MECHANISM TO PANEL
2	DOVELS, DIA. 1/32 X 5.000"	ATTACHMENT OF BOTTOM RAIL TO STILES
2	DOVELS, DIA. 1/32 X 5.000"	ATTACHMENT OF TOP RAIL TO STILES
BEAD	SILICONE	ATTACHMENT OF GASKET TO PANEL

PANEL FASTENERS LIST

PRODUCT RENEWED

ACCEPTANCE No. 01-0830.06
 EXPIRATION DATE September 30 2006
 BY [Signature]
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE

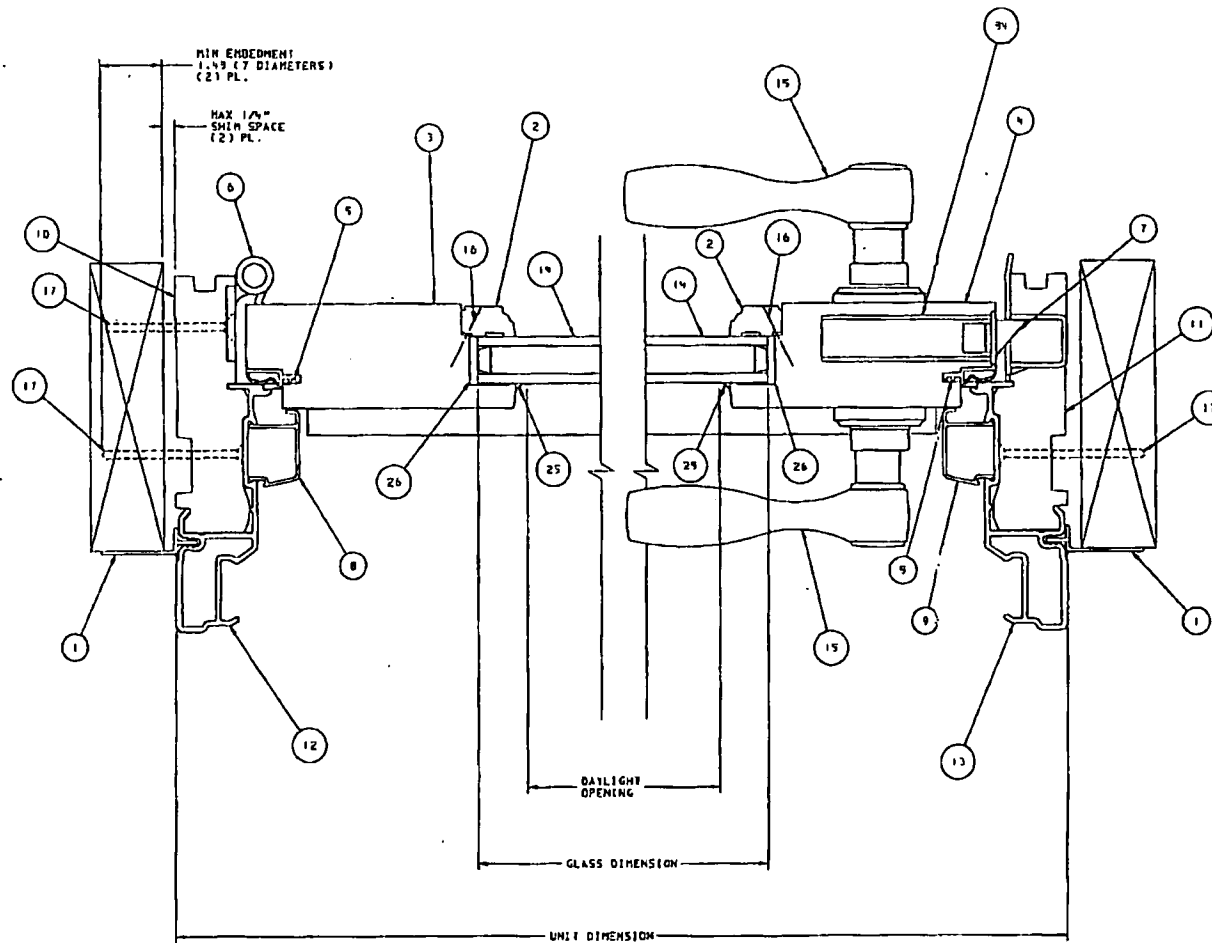
APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE February 18 2009
 BY [Signature]
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 98-0930.07

RICHARD BOYETTE
 FL CMI PE #42485
 4031 Coconut Blvd
 Royal Palm Bch Fl 33411
 (888) 790-5768 Voice / Fax

[Signature]
 1/16/09

TITLE UNIT, FWH SINGLE	
Andersen Corporation Bayport, Minnesota 55003	
<small>THIS DRAWING AND SPECIFICATIONS ARE SUBJECT TO ANY CHANGES OR MODIFICATIONS MADE BY ANDERSEN CORPORATION FOR THE PRODUCTION OF THE UNIT. THE USER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS DRAWING AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS DRAWING.</small>	
COPYRIGHT ANDERSEN CORPORATION 1999. ALL RIGHTS RESERVED.	DRAWING NUMBER DADE-52078
DATE 9-11-99	SHEET 1 OF 3

FWH-1168	20.000	24.875	36.125
FWH-2968	22.000	20.875	32.125
FWH-2768	20.000	18.875	30.125
UNIT	GLASS	DAYLIGHT	UNIT
DES.	DIMENSION	OPENING	DIMENSION
		WIDTH	



SECTION B-B

ITEM NO.	DESCRIPTION	DRAWING	MATERIAL	HEIGHT	WIDTH
35	SCREW, #10 X 2.500"	3621230	STEEL	-	-
34	LATCH, RECEIVER	92443	CBS 1010	.973	1.642
33	FLANGE, HEAD	20031	VINYL	2.344	.671
32	SCREW, #6 X .750	3621280	STEEL	-	-
31	STOP, PANEL HEAD & SILL	51126	WOOD	.500	.875
30	JAMB, HEAD	52358	WOOD	1.104	4.232
29	COVER, FASTENER HEAD	52225	ALUMINUM	1.375	4.893
28	COVER, FASTENER HEAD	52248	ALUMINUM	.836	1.265
27	RAIL, TOP	29019	WOOD	4.438	1.719
26	SPACER, GLASS	20065	VINYL	.761	2.000
25	SEALANT, SILICONE	-	DC 761	-	-
24	RAIL, BOTTOM	52179	WOOD	8.594	1.719
23	WATERSHED	52203	ALUMINUM	.875	.672
22	SCREW, #8 X 1-1/2	3621310	BRASS	-	-
21	STEP, SILL	92129	OAK	.765	1.782
20	CHANNEL, DRAINAGE	92126	ALUMINUM	1.200	.430
19	COVER, SILL	92127	ALUMINUM	1.430	4.823
18	SILL	92433	FIBREX	1.062	3.125
17	SCREW #10 X 3"	3621330	STEEL	-	-
16	NAIL, FINISH 1-1/2"	4235290	GALVANIZED	-	-
15	HANDLE	-	BRASS	-	-
14	GLASS	-	-	-	-
13	COVER, JAMB RH	52225	PULTRUSTION	1.375	4.893
12	COVER, JAMB LH	52225	PULTRUSTION	1.375	4.893
11	JAMB, RH	52253	WOOD	1.234	4.232
10	JAMB, LH	52253	WOOD	1.234	4.232
9	COVER, FASTENER RH	52248	ALUMINUM	.836	1.265
8	COVER, FASTENER LH	52248	ALUMINUM	.836	1.265
7	MECHANISM, LOCK	52104	STEEL	-	-
6	HINGE, LEAF	52389-90	ZINC DICAST	-	-
5	W.S. GASKET	52175	SANTOPRENE	.385	.325
4	STILE, LOCK	52178	WOOD	4.438	1.719
3	STILE, HINGE	52178	WOOD	4.438	1.719
2	STOP, PANEL SIDE	51125	WOOD	.500	.875
1	FLANGE, SIDE	50397	VINYL	1.644	4.930

PRODUCT RENEWED

ACCEPTANCE No. 01-0930.06
 EXPIRATION DATE September 30, 2006
 By [Signature]
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE

APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE February 18, 1999
 BY [Signature]
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 98-0930.02

RICHARD BOYETTE
 FL Civil PE #42485
 4031 Coconut Blvd
 Royal Palm Bch FL 33411
 (561) 790-5766 Voice / Fax
[Signature]
 1/16/99

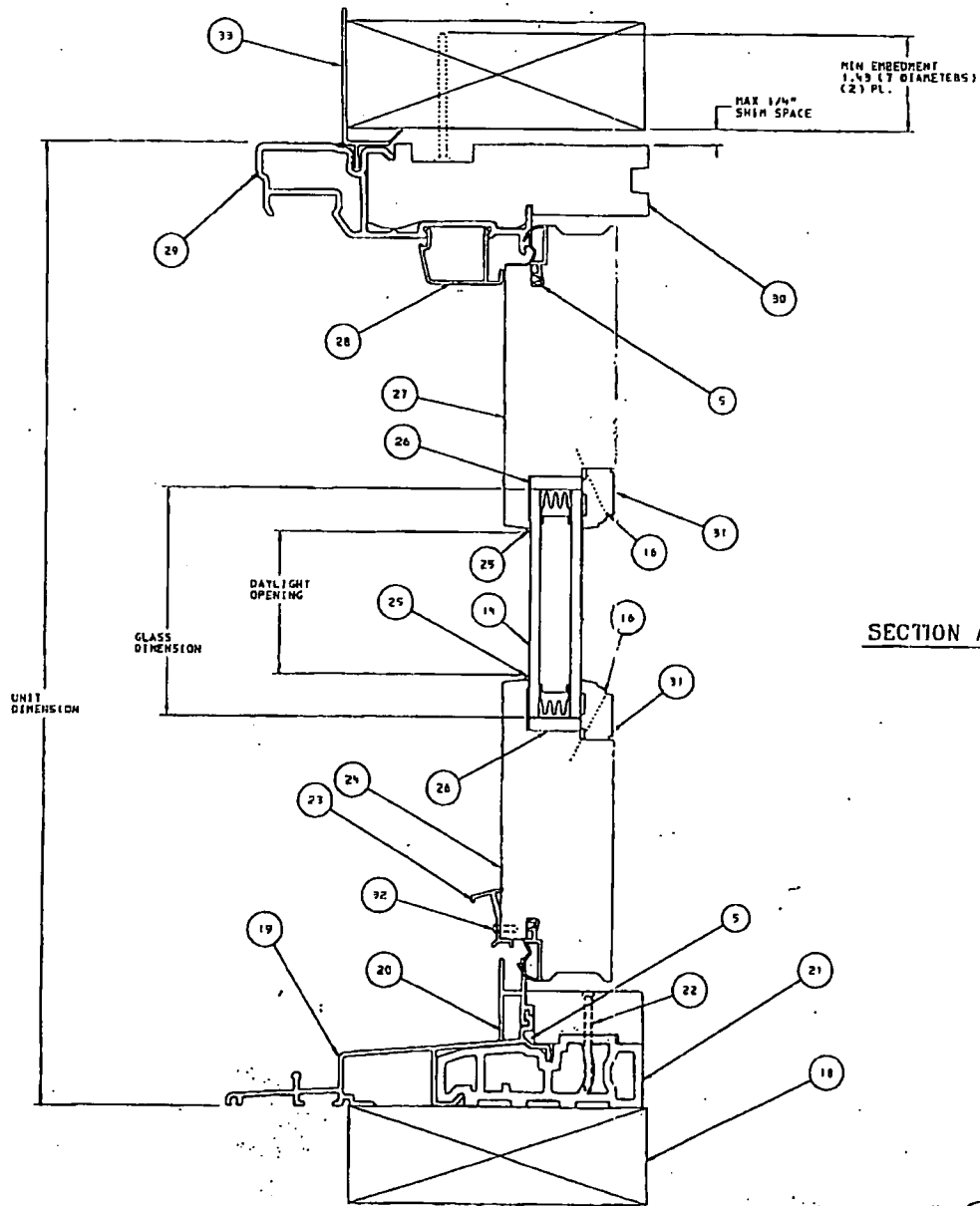
UNIT, FWH SINGLE

Andersen Corporation
 Boyette, Minnesota 55003

THESE DRAWINGS ARE PREPARED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF MINNESOTA. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE UNIT AS SHOWN ON THESE DRAWINGS. THE ENGINEER IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THE BUILDING OR THE STRUCTURE TO WHICH THE UNIT IS INSTALLED.

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APPROVED DATE: 9-11-99
 DRAWING NUMBER: DADE-52078
 SHEET 2 OF 3



FWH-3168	64.562	63.500	79.500
FWH-2968	64.562	63.500	79.500
FWH-2768	64.562	63.500	79.500
UNIT	GLASS	DAYLIGHT	UNIT
DES.	DIMENSION	OPENING	DIMENSION
		HEIGHT	

SECTION A-A

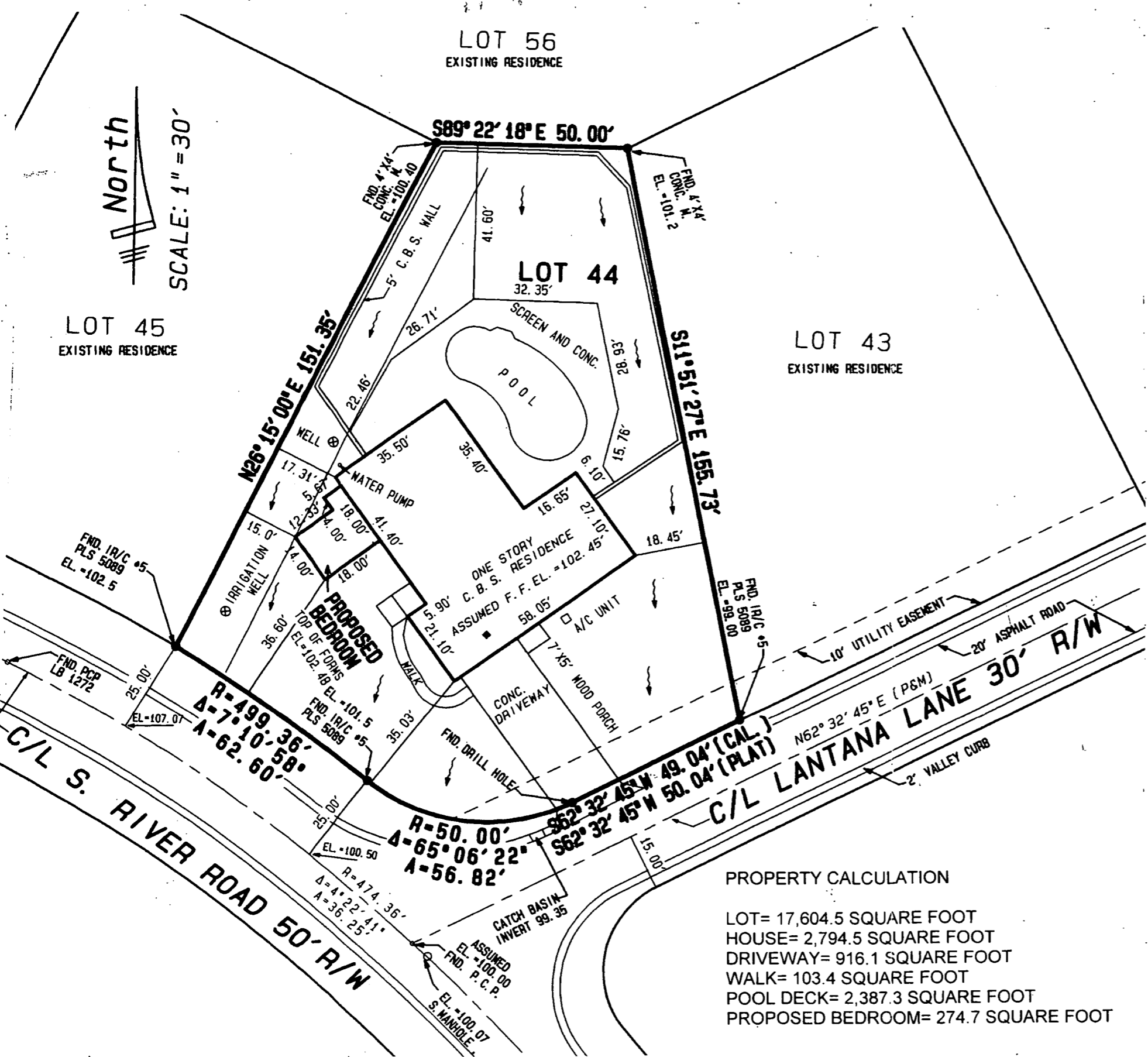
PRODUCT RENEWED

ACCEPTANCE No. 01-0930-06
 EXPIRATION DATE September 30, 2006
 By [Signature]
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE

APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE February 11, 99
 BY [Signature]
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 98-0930-07

TITLE UNIT, FWH SINGLE	
Andersen Corporation Baysport, Minnesota 55003	
<small>THIS DRAWING AND SPECIFICATIONS ARE PROVIDED AS A SERVICE BY ANDERSEN CORPORATION FOR THE USE OF THE CONTRACTOR. ANDERSEN CORPORATION ACCEPTS NO LIABILITY FOR ANY OMISSIONS, ERRORS, OR OMISSIONS IN THIS DRAWING OR SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND FOR THE PROPER INSTALLATION OF THE WINDOW UNIT. ALL RIGHTS RESERVED.</small>	
APPROVED BY 3-11-99	DRAWING NUMBER DADE-52078

RICHARD BOYETTE
 FL Civil PE #42485
 4031 Coconut Blvd
 Royal Palm Bch FL 33411
 (561) 790-5766 Voice / Fax
[Signature]
 1/16/99



DESCRIPTION:
 LOT 44 RIO VISTA PLAT BOOK 6, PAGE 95, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

CONTAINING 17,604.5 SQUARE FEET, 0.404 ACRES, MORE OR LESS.

BOUNDARY SURVEY
 PREPARED FOR AND CERTIFIED TO:
MR. & MRS. ALLMAN

TOWN OF SEWALL'S POINT

- NOTES:
1. NO SEARCH OF THE PUBLIC RECORDS HAS BEEN MADE BY THIS OFFICE.
 2. BEARINGS SHOWN HEREON ARE BASED ON A BEARING OF N 62° 32' 45" E, ALONG THE CENTERLINE OF LANTANA LANE, ACCORDING TO SEWALLS POINTS, FILED IN PLAT BOOK 6, PAGE 95, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA, AND ALL OTHER BEARINGS ARE RELATIVE THERETO.
 3. THIS MAP OF SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF THE SURVEYOR NAMED HEREON.

04-14-04
 DATE OF SURVEY

Daniel Christian
 DAN CHRISTIAN
 PROFESSIONAL SURVEYOR AND MAPPER
 FLORIDA CERTIFICATE No. 4227
 METES AND BOUNDS, INC. L.B. No. 6793

- LEGEND**
- = DENOTES SET IRON ROD AND CAP LB 6793 UNLESS OTHERWISE NOTED
 - C/L = CENTERLINE
 - A/C = AIR CONDITIONER UNIT
 - C.B.S. = CONCRETE BLOCK STRUCTURE
 - CONC. = CONCRETE
 - I.R. = IRON ROD
 - D.E. = DRAINAGE EASEMENT
 - U.E. = UTILITY EASEMENT

PROPERTY CALCULATION

LOT= 17,604.5 SQUARE FOOT
 HOUSE= 2,794.5 SQUARE FOOT
 DRIVEWAY= 916.1 SQUARE FOOT
 WALK= 103.4 SQUARE FOOT
 POOL DECK= 2,387.3 SQUARE FOOT
 PROPOSED BEDROOM= 274.7 SQUARE FOOT

FLOOD ZONE "X" 12085C0154 10/04/04

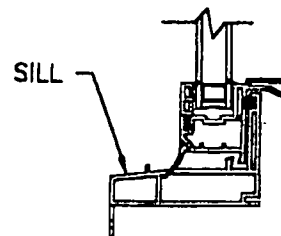
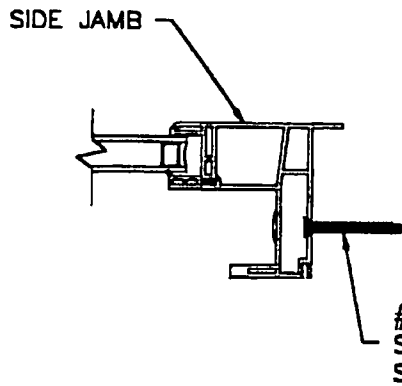
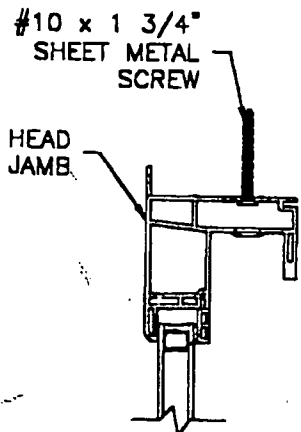
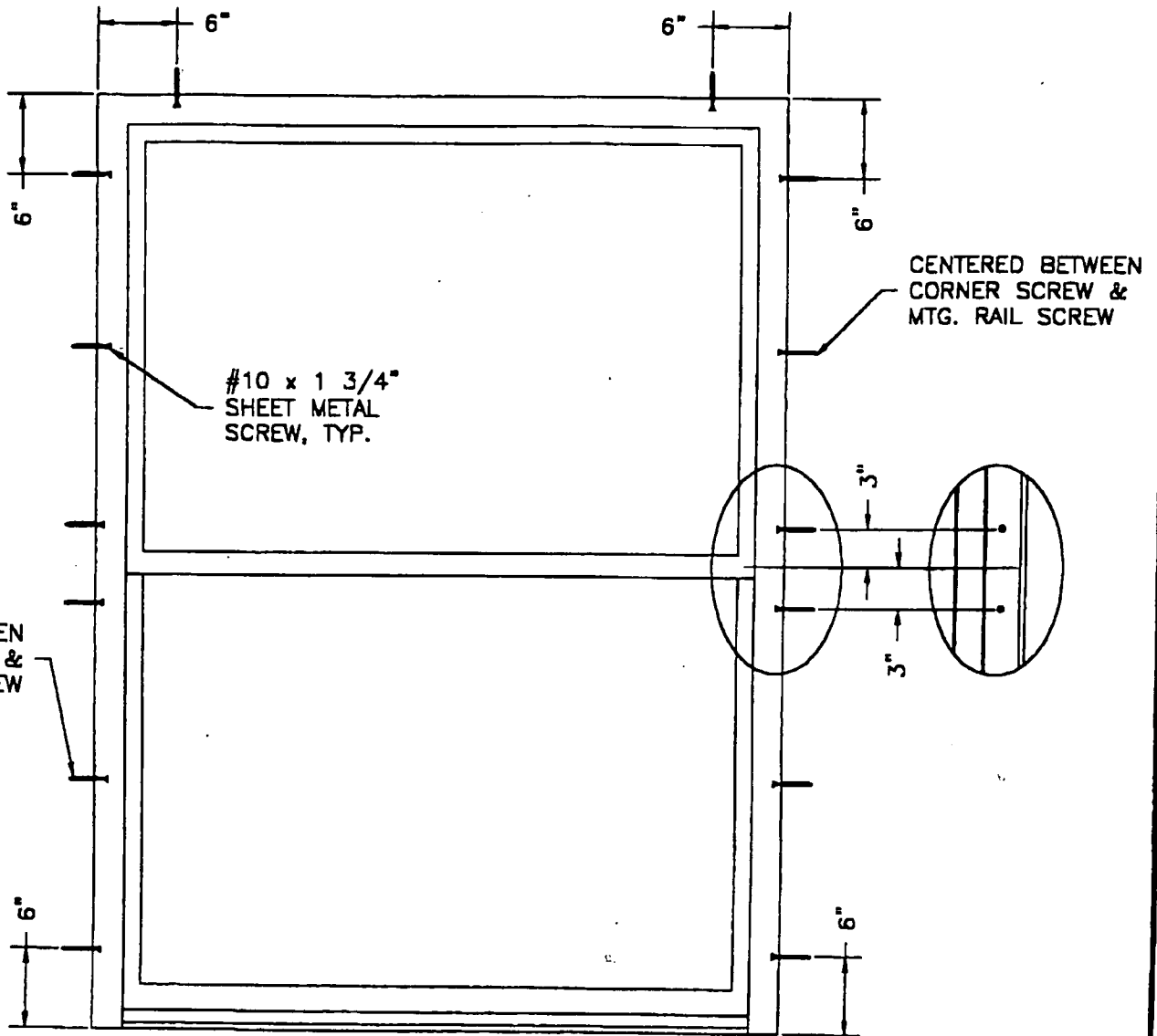
JOB NO. 04-070

DRAWN	DATE:
CHK	SCALE: 1"=30'
REVISIONS:	
FORMBOARD 08/03/04	
JOB No.:	MODEL



METES & BOUNDS, INC.
 Land Surveyors-Planners
 49 SW Flager Avenue Suite 2A
 Stuart, Florida 34994
 Phone: 888-221-8083 Fax: 888-221-8984

**AMERICAN CRAFTSMAN SERIES 2710
EXTRUDED VINYL SINGLE HUNG WINDOW
MAXIMUM SIZE UP TO 54" x 90"**



The product approval rules are consistent with current code enforcement practice in recognizing four methods of demonstrating a product complies with standards set or referenced by the Code: (1) a test report from an approved testing laboratory; (2) listing or labeling by an approved certification agency; (3) an evaluation report from an approved evaluation entity, and; (4) an evaluation report from a Florida registered engineer or architect. Certification agencies are a special type of evaluation entity which test products, evaluate tests and conduct quality assurance monitoring of product manufacturing, then "list" and/or "label" products for compliance with specific standards required by the Code. Generally, compliance for windows and glass doors is demonstrated by test reports directly or by reliance on certifications agencies' certification of compliance.

Building officials can approve windows and glass doors locally based on copies of test reports from an approved independent testing laboratory but they must also require approved windows and glass doors to have labels as required by chapter 17. Alternatively, both the Code and product approval rules allow local approval based on the listing and labeling by an approved certification agency. (Note that the Code recognizes AAMA and WDMA labels and other approved labels which contain the information specified.) National accreditation and Commission approval of certification agencies ensures the proper oversight of testing, competency of the engineering evaluation and quality assurance monitoring of window manufacturing. Under the Commission's rules, ANSI is the primary accreditor of certification agencies and SBCCI, ICBO, BOCA, NES and Miami-Dade are additional recognized accreditors. At this time, ANSI has accredited AAMA, WDMA and Keystone Certifications and approval by the Commission will be forthcoming. Florida law recognizes Miami-Dade Code Compliance as an approved evaluation entity and the Commission has indicated Miami-Dade product approval and labels are acceptable throughout the state as proof of compliance with the Code's window and glass door testing and labeling standards.

Clarification from the Commission's discussion with building officials and manufacturers: There is general agreement a building official may (but does not have to) request a copy of window and glass door test reports, when approval is based on an approved "certification agency's" certification (listing and labeling) of compliance, the manufacturer will provide it. Test reports for products listed by these agencies are exempt from Florida engineering laws and rules mandating original signatures and seals of a Florida registered engineer on public documents.

Window Installation Specifications:

The Code requires windows and glass doors to be installed according to the manufacturer's instructions (specifications). These specifications are often developed by "rational" (calculations) or "comparative" (combined testing and calculations) engineering analysis rather than being evaluated by test. Rational analysis is considered engineering under the engineering licensing law and rules and must be signed and sealed. Therefore, if the manufacturer's installation specifications differ from those tested with the window they must be signed and sealed.



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**Silver Line Building Products Corporation
One Silver Line Drive
North Brunswick, NJ 08902**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (in Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Series 2700 Extruded PVC Single Hung Window

APPROVAL DOCUMENT: Drawing No. S-2248, dated 06/10/02, with revision #1 dated 08/10/02, titled "Extruded PVC Single Hung Window up to 52" x 73", sheets 1 through 4, prepared by R. W. Building Consultants, Inc., bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: None

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of this page 1 as well as approval document mentioned above.

The submitted documentation was reviewed by Manuel Peraz, P.E.



**NOA No 02-0729.04
Expiration Date: September 05, 2007
Approval Date: September 05, 2002
Page 1**

SILVER LINE BUILDING PRODUCTS CORP.

MODEL SERIES 2700
EXTRUDED PVC SINGLE HUNG WINDOWS

GENERAL NOTES

1. THIS PRODUCT IS DESIGNED TO COMPLY WITH THE FLORIDA BUILDING CODE.
2. WOOD BUCKS BY OTHERS, MUST BE ANCHORED PROPERLY TO TRANSFER LOADS TO THE STRUCTURE.
3. PRODUCT ANCHORS SHALL BE AS LISTED AND SPACED AS SHOWN ON DETAILS. ANCHOR EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR STUCCO.
4. DESIGNED PRESSURE RATING SEE TABLE PAGE 1.
5. WHEN THIS PRODUCT IS USED IN AREAS REQUIRING WINDBORNE DEBRIS PRODUCTS, FLORIDA BUILDING CODE APPROVED IMPACT RESISTANT SHUTTERS ARE REQUIRED.
6. THIS PRODUCT MEETS THE WATER REQUIREMENTS FOR HIGH VELOCITY HURRICANE ZONES.

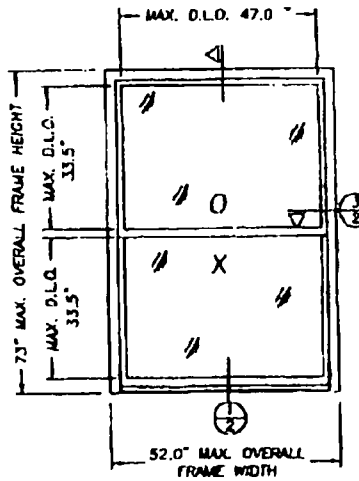
SINGLE HUNG WINDOW CONSTRUCTION (Common to all conditions)

Frame and Sash Construction:
The frame was constructed of extruded PVC members with mitered and welded corners. The fixed meeting rail was constructed from an extruded aluminum member with a PVC cap. The fixed meeting rail was butted, sealed and fastened at each end with two #10 x 3" screws. The fixed meeting rail ends utilized a molded plastic screw support.

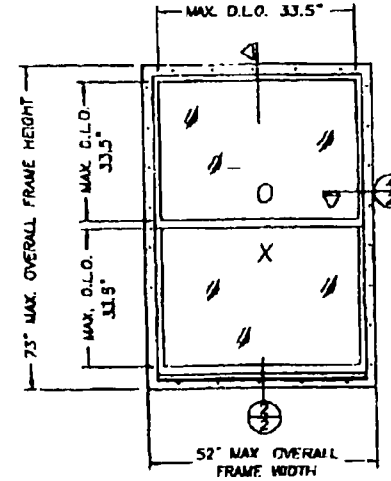
Glazing:
The window utilized two 5/8" thick sealed insulating glass units fabricated from two sheets of 6 mm or 3 mm thick clear annealed glass and a desiccant filled metal spacer system. The fixed pane was interior glazed onto Dow 1199 silicone bedding and secured with dual diameter PVC glazing beads. The active sash was exterior glazed into Dow 1199 silicone bedding and secured with dual diameter PVC glazing beads. Glazing fits was 0.450".

TABLE OF CONTENTS

SHEET #	DESCRIPTION
1	GENERAL NOTES & TYPICAL ELEVATIONS
2	VERTICAL & HORIZONTAL CROSS SECTION
3	ANCHORING LOCATIONS & GLAZING DETAIL
4	UNIT COMPONENTS & BILL OF MATERIALS



51" x 71" SINGLE WINDOW
SASH SIZE: 49.875" x 36.125"
DAYLITE OPENING SIZE: 47" x 33.5"



51" x 71" SINGLE WINDOW W/HARVE BLANCE
SASH SIZE: 49.875" x 36.125"
DAYLITE OPENING SIZE: 47" x 33.5"

DESIGN PRESSURE RATING

UNIT TYPE	CLASS TYPE	WHERE WATER INFILTRATION REQUIREMENT IS NEEDED
SINGLE UNIT UP TO 52" x 73"	5/8" INSULATED GLASS 5/32" ANNEALED - 1/4" AIR - 5/32" ANNEALED	+82.0 psf -88.0 psf
SINGLE UNIT UP TO 36" x 62"	5/8" INSULATED GLASS 1/8" ANNEALED - 3/8" AIR - 1/8" ANNEALED	+82.0 psf -88.0 psf

Silver Line Building Products Corp.
One Silverline Drive
North Brunswick, NJ 08902
PH. 732.435.1000

PRODUCED BY
EXTRUDED PVC
SINGLE HUNG WINDOW
UP TO 52" x 73"
PART OR ASSEMBLY
GENERAL NOTES &
TYPICAL ELEVATIONS

NO.	DATE	REVISIONS
1	6/10/02	GENERAL REVISION

SRW BUILDING CONSULTANTS, INC.
813.858.8197

Approved as meeting with the Florida Building Code
Date: 6/10/02
NIBAS 02-0729-02
Miami Code Product Control Division
By: *[Signature]*

DATE: 6/10/02
SCALE: N.T.S.
DRAWN BY: WLN
CHK. BY: RW
DWG. NO.: S-2248
SHEET 1 OF 4

KSM

KELLER, SCHLEICHER & MacWILLIAM ENGINEERING AND TESTING, INC.

P.O. BOX 78-1377, SEBASTIAN, FL 32978-1377

MARTIN (772) 337-7755
 PALM BEACH (561) 845-7445
 FAX (561) 845-8876

C.A.: 5693 P.E.: 37293 S.I.: 860

SOIL COMPACTION REPORT
ASTM D 1557 and ASTM D 2922

SEBASTIAN (772) 589-0712
 MELBOURNE (321) 768-8488
 ST. LUCIE (772) 229-9093
 FAX (772) 589-6469

DATE TESTED : July 27, 2004 JOB # : 47320-1d/BJ/clm
 PERMIT # : 6771
 CONTRACTOR : Teddy Ann Allman
 JOB LOCATION : 106 S. River Road
 Stuart, FL
 ITEM TESTED : Compacted Foundation Fill - Retest
 15' X 15' Addition

TEST LOCATION OF SAMPLE	DEPTH	* PEN READ	DRY DENSITY	MAX. DRY PROCTOR VALUE	PERCENT COMPACTION
1. N.E.	0" - 12"	57	110.2	112.4	98.0
2. S.W.	"	58	110.6	"	98.4

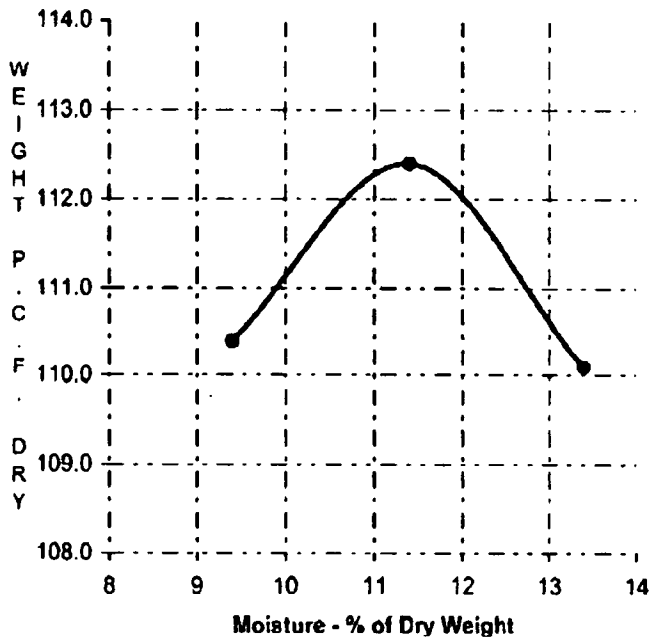
Soil Description:
 Brownish Gray Sand

In Place Moisture:
 11.4 Percent

Optimum Moisture:
 11.4 Percent

Max. Dry Density:
 112.4 P.C.F.

@ Test Locations The
 Density & Penetrometer
 Readings Indicate the
 Degree of Compaction Meets
 Minimum Required



* Pen. Readings Taken to Natural Grade
 Respectfully Submitted

Ronald G. Keller, P.E.
 Fax To: Sewall's Point Building Department

[Handwritten Signature]
 7-29-04



STATE OF FLORIDA
 DEPARTMENT OF HEALTH
 MARTIN COUNTY HEALTH DEPARTMENT
 ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
CONSTRUCTION INSPECTION AND FINAL APPROVAL

CENTRAX # : 43-SS-06331
 OSTDSNBR : 04-0148-R

3:00
 1030

APPLICANT: ALLMAN, JOHN AGENT: _____

PROPERTY STREET ADDRESS: 106 S RIVER Rd STUART FL 34996

LOT: 44 BLOCK: _____ SUBDIVISION: RIO VISTA

[Section/Township/Range/Parcel No.]

PROPERTY ID #: 12-38-41-002-000-004 [OR TAX ID NUMBER] Building Permit: _____

CHECKED [X] ITEMS ARE NOT IN COMPLIANCE WITH CHAPTER 64E-6, FLORIDA ADMINISTRATIVE CODE.

- | | | | |
|--|---------------------------------------|---|--------------------------------------|
| TANK INSTALLATION ² (EXISTING TANK) | | SETBACKS | |
| [/] [01] TANK SIZE [1] <u>900</u> [2] _____ | [N/A] [27] SURFACE WATER _____ | [/] [02] TANK MATERIAL <u>concrete</u> | [N/A] [28] DITCHES _____ |
| [/] [03] OUTLET DEVICE <u>polylok</u> | [N/A] [29] PRIVATE WELLS _____ | [/] [04] MULTI-CHAMBERS <u>YES / NO</u> | [N/A] [30] PUBLIC WELLS _____ |
| [/] [05] LEGEND _____ | [/] [31] IRRIGATION WELLS <u>NO</u> | [/] [06] WATERTIGHT <u>YES / NO</u> | [/] [32] POTABLE WATER LINES _____ |
| [/] [07] LEVEL <u>YES / NO</u> | [/] [33] BUILDING FOUNDATION _____ | [/] [08] DEPTH OF LID _____ | [/] [34] PROPERTY LINES <u>10</u> |
| | [/] [35] OTHER _____ | | |

- | | | | |
|---|-------------------------------------|---|---|
| DRAINFIELD INSTALLATION ^{BOD} | | FILLED/MOUND SYSTEM | |
| [/] [09] AREA [1] _____ [2] <u>375</u> SQFT | [N/A] [36] DRAINFIELD COVER _____ | [/] [10] DISTRIBUTION BOX / HEADER PIPE | [/] [37] SHOULDERS _____ |
| [/] [11] NUMBER OF DRAINLINES <u>5</u> | [N/A] [38] SLOPES _____ | [/] [12] DRAINLINE SEPARATION _____ | [N/A] [39] STABILIZATION MATERIAL _____ |
| [/] [13] DRAINLINE SLOPE _____ | | | |

- | | | |
|--|--|--|
| [/] [14] DEPTH OF COVER _____ | ADDITIONAL INFORMATION | |
| [/] [15] SYSTEM ELEV. <u>23</u> INCH(ES) <u>BOD</u> W.B.M. | [/] [40] UNOBSTRUCTED AREA _____ | |
| [/] [16] SYSTEM LOCATION _____ | [/] [41] STORMWATER RUNOFF _____ | |
| [N/A] [17] DOSING PUMPS _____ | [N/A] [42] ALARMS <u>YES / NO</u> | |
| [N/A] [18] AGGREGATE SIZE _____ | [N/A] [43] MAINTENANCE AGREEMENT <u>YES / NO</u> | |
| [N/A] [19] AGGREGATE SOURCE _____ | [/] [44] BUILDING AREA <u>YES / NO</u> | |
| [N/A] [20] AGGREGATE WASHED <u>YES / NO</u> | [/] [45] PLUMBING FIXTURES <u>YES / NO</u> | |
| [N/A] [21] AGGREGATE DEPTH _____ | [/] [46] FINAL SITE GRADING _____ | |

- | | | |
|---|--|--|
| FILL/EXCAVATION MATERIAL | | [/] [47] CONTRACTOR <u>Jeff Nelson</u> |
| [N/A] [22] FILL AMOUNT _____ | [/] [48] OTHER <u>BOD</u> | |
| [N/A] [23] FILL TEXTURE _____ | | |
| [N/A] [24] EXCAVATION DEPTH _____ | ABANDONMENT | |
| [N/A] [25] EXCAVATION AREA _____ | [N/A] [49] TANK PUMPED _____ | |
| [N/A] [26] REPLACEMENT MATERIAL _____ | [N/A] [50] TANK CRUSHED AND FILLED _____ | |

EXPLANATION OF VIOLATIONS:

OK to Cover & Final 3/3/04

CONSTRUCTION [APPROVE / DISAPPROVE] D.L.M. Martin CHD Date: 3/3/04

FINAL SYSTEM [APPROVE / DISAPPROVE] D.L.M. Martin CHD Date: 3/3/04

First Quality Electrical service Inc.
ER 0012204

132 W Park Avenue - Edgewater, FL 32132
Phone - 772-263-3066 Fax - 772 225-8069

Load calculation
105 S Riv. Sewals Pt. includes new addition

2470 sq ft	7425
heat	10000
water heater	3600
fridge	8000
air conditioning	3000
stove	1500
TV	4000
	500
Dishwasher	500
Refrigerator	1500
Pool pump	1500

41725 (total watts)

heat	100%	10,000
fridge	100%	10,000
21725	40%	8,690

29690 amps/240 volts = 119.5417

use 150a service



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 106 S, RIVER RD,

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FRAMING -

SHEATHING MUST BE NAILED @
4" O.C. @ EDGES -

NEED ENGR LTR FOR HEADER
DESIGN & STRAPPING REQ'D
@ MASTER B.R.

NEED PRODUCT INFORMATION
(PRODUCT APPROVAL) FOR S.G.D.
OFF DINING ROOM

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 6/16

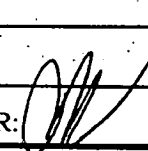
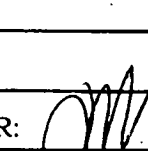
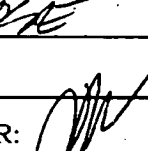
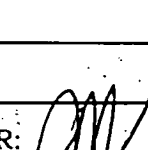
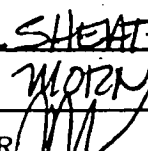
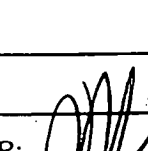
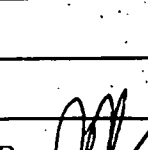

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 6/16, 2008 Page of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	BRUCIA	TREE	PASS	
3	2 KINGSTON CT			INSPECTOR: 
6715	RAPPAPORT	INSULATION	PASS	
11	9 RIVER CREST GULICK & MCGAULEY			INSPECTOR: 
6775	ELDER	SVC. CHG	PASS	CLOSE
12	12 EMARITA ACLINGTON ELEC			INSPECTOR: 
6551	LANGER	SLAB	PASS	
10	3 LOFTING WAY FLORIDA'S FINEST	UG PUMPING		INSPECTOR: 
6771	ALTMAN	FRAMING	PASS	CHECK SHEATHING
2	106 S. RIVER RD O/B		PASS FAIL	LATE MOTION INSPECTOR: 
6413	POWERS	WINDOW BRCK	PASS	
4	70 S. SEWALL'S PT FLORIDA'S FINEST	WINDOW BEAM AC PANG NOT	PASS FAIL	INSPECTOR: 
6663	SANDHI	TRUSS	FAIL	
5	23 N. VIA LUCINQA WHITE PUMPING			INSPECTOR: 
OTHER: _____				



BRADEN & BRADEN, A. I. A., P. A.

Architects & Planners

417 COCONUT AVENUE, STUART, FLORIDA 34996
TELEPHONE: (772) 287-8258 FAX (772) 287-8283
#AAC-000032

MR & MRS ALLMAN
106 south river road
SEWALLS POINT
FLORIDA

june 17,2004

TO WHOM IT MAY CONCERN

THE NEW 3 2X12 BEAM AT THE MASTER BEDROOM IS TO BE STRAPPED AT EACH SIDE W/
SIMPSON LSTA 18 W/ #10 SIMPSON TICO STRAP NAILS
THE BEAM TO TOP PLATE IS NAILED AT 16" OC W/ 16D NAILS THRU
SIMPSON LSTA 9 STRAPS.

SINCERELY

DANIEL R BRADEN AIA

P.N. 6771 — FILE



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 106 S. SEWALL'S

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

PLUMBING TROUGH

NEED REISED DRAWINGS
SHOWING CHANGES TO
EXIST. MASTER BATH.
(2 COPIES) SUBMITTED
TO BUILDING DEPT.
ELEC / FLOOR PLAN / MECH.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 7/19

[Signature]

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 7/19, 2004 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6829	KEARNEY	IN PROGRESS	PASS	
2	12 N. RIVER RD	TIN TAG + MEAL		INSPECTOR:
	JA TAYLOR	SHEATHING		
6719	DONAHUE	TIE BEAM	FAIL	
6	1163 S. Sewall's Pt			INSPECTOR:
	SAMMONS HALL	(last please)		
6771	AULMAN	PLUMBING	FAIL	
4	106 S. RIVER ROAD			INSPECTOR:
	OB			
TREE	PFEIFFER	TREES	PASS	
5	104 HENRY SEWALL			INSPECTOR:
6396	HUFSON	WINDOW - PARTIAL	PASS	
3	17 S. RIVER RD			INSPECTOR:
	BUFORD			
2449	ANSPACH	SHEATHING, DRY IN	FAIL	
6827	146 N. SEWALL PT RD.	TIN TAG.		INSPECTOR: #40
	ALL AMERICAN	463 OS		
				INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 8/9, 2004 Page of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6826	FENSTERER	FINAL FENCE	PASS	CLOSE
5	71 S. SEWALL'S PT O/B			INSPECTOR: <i>[Signature]</i>
6825	FENSTERER	POOL DECK PAVED FINAL	PASS	CLOSE
5	71 S. SEWALL'S PT O/B			INSPECTOR: <i>[Signature]</i>
	KENDRIGAN	TREE	PASS	
4A	12 RIO VISTA DR. GUNNOES LAND.			INSPECTOR: <i>[Signature]</i>
6771	ALLMAN	REPAIRS	 	
6A	106 S. RIVER RD.	U.G. PLUMBING	PASS	INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 106 S. RIVER

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

SCAB

FOOTING STEEL MUST
BE PLACED AT BOTTOM
W/ 3" CONCL. COVERAGE.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 8/11

[Signature]
INSPECTOR

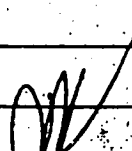
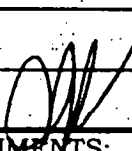
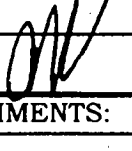
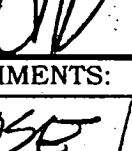
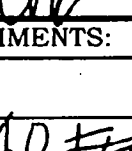
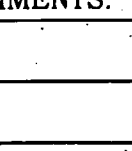
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370-0700

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 8/11, 2004 Page 2 of

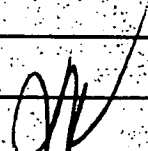
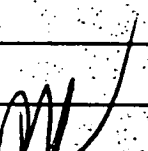
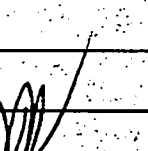
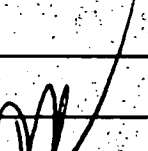
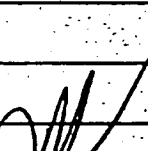
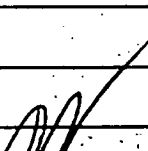
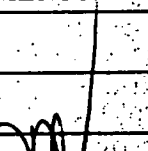
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6655	WHITWELL	UG TANKLINE	PASS	
2	1 MARGUERITA FERRELL GAS			INSPECTOR: 
6781	SANGRAJKA	ROUGH PUMPK	PASS	
4	20 S. VIA LUCINDA SOUTH PAK PUMPK	ROUGH A/C ROUGH ELEC	PASS PASS	INSPECTOR: 
6849	FENSTERER	FEN FOOTER	PASS	
8	71 S. SEWALL'S PT RD O/B			INSPECTOR: 
6771	ALLMAN	PCC POUR SLAB	FAIL	
4	106 S. RIVER RD O/B			INSPECTOR: 
6856	HOCKSTETTER	SCREW INSPECTION	PASS	CLOSE
9	72 S. RIVER RD ALPHA SOUTH	HURRICANE SHUT.	PASS	INSPECTOR: 
6851	DEBENIAN	TENANT IMP ROUGH	FAIL	\$40 FEE
1	372 SE. OCEAN CALIBER CONST.			INSPECTOR: 
6880				INSPECTOR:

OTHER:

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 8/13, 2004 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	ROSS	TREE	PASS	
3	85 S. RIVER RD			INSPECTOR: 
6847	McALPIN	PARTIAL FRAMING	FAIL	
4	SPINEAPPLE LA GHIOUO			INSPECTOR: 
6581	LASKY	WINDOW BUCK	PASS	
1	27 W HIGH POINT SEAGATE BLDGS			INSPECTOR: 
1771	ALLMAN	FOOTER	PASS	
5	106 S. RIVER RD OIB			INSPECTOR: 
6781	SANGRAJKA	INSULATION	PASS	
6	20 S. VIA LUCINDIA AZTEKA	ELEC. ROUGH	FAIL	INSPECTOR: 
6413	POWERS	WINDOWS	PASS	
7	70 S. SEWALLS PT FLORIDA'S FINEST	LATH	PASS	INSPECTOR: 
6663	GANDI	TINTAG + METAL	PASS	
8	23 N. VIA LUCINDIA PACIFIC			INSPECTOR: 

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 11/3, 2004 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6632	SCHERENG	TRUSS REINSF.	PASS	
3A	10 ABIE COURT O/B			INSPECTOR:
#6953		ROOF FINAL	PASS	(CLOSE)
17	10 PINEAPPLE LN. PACKARD ROOF	(REPAIR)		INSPECTOR:
677	ALMAN	REPAIR		
6	106 SKIVER RD O/B	ROOF TRUSS	PASS	INSPECTOR:
7007		METER CAN	—	NO INSPECTION DONE
8	3 SIMALA ARLINGTON ELEC.		NEW	METER WAS OPERATIONAL INSPECTOR:
	HARBOR BAY PLAZA 3736 S. OCEAN	A/C HOUSING ON ROOF	—	WELF WILL INSPECT. INSPECTOR:
6961	EMOTT	PREPOUR PATIO	PASS	
10	8 NE LAGOON BL	SLAB		INSPECTOR:
6682	M. WOOD	LATH	PASS	
9	10 N. SEWALLS Pt M. WOOD CORP			INSPECTOR:

OTHER: _____



6771

TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 106 S RIVER

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same

A/C ROUGH - MISSING EXHAUST
DOCT FOR BATH

ELER ROUGH - MISSING GFCI
RECEPT. IN BATH

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 11/17

[Signature]

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 11/17, 2004 Page 1 of

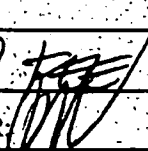
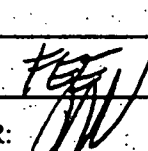
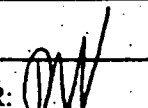
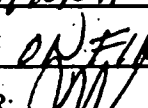
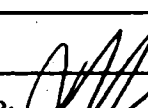
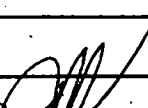
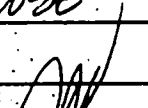
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6917	SEMMOUR	PRE-DRYWALL	PASS	
6A	73 S. SEWALLS Pt O/B			INSPECTOR:
6776	WOLCOTT	FINAL	FAIL	
2	7 ISLAND RD WILSON BLDGS			INSPECTOR:
7051	SCHERLENG	POOL STREET DR.	PASS	
3	110 ABBIE CANY ADVANTAGE POOL			INSPECTOR:
7070	WINSLOW	FRAMING		STOP WORK ORDER
5	10 S. SEWALLS Pt O/B	ELECT. RGH PLUMB. RGH		INSPECTOR:
6948	WINSLOW	ELECT. ROUGH		(1823)
5A	OS. SEWALLS Pt KRAUSS-CRANE	PRE-DRYWALL-HURRICANE		STOP WORK ORDER INSPECTOR:
6771	ARMAN	FRAMING		
4	106 S. RIVER O/B	ELEC ROUGH A/C ROUGH	FAIL FAIL	INSPECTOR:
TREE	REILLY	TREE	PASS	
6	78 S. SEWALLS Pt			INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 12/3, 2004 Page 2 of

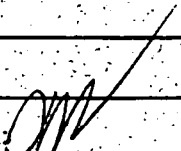
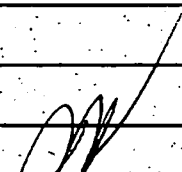
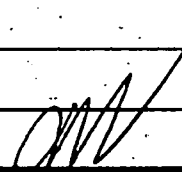
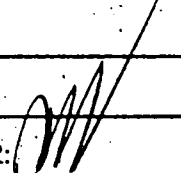
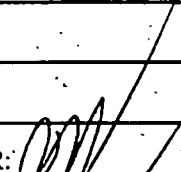

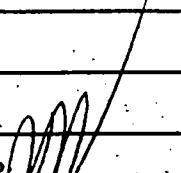
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6624	LASKY	Pool Re-insp. Pumps	FAIL	
1	27 W. High Point ADVANTAGE POOLS			\$40 FEE INSPECTOR: 
7051	SCHERENA	Pool Pumping Pump IN	FAIL	
3	110 ABBIE ADVANTAGE POOLS			\$40 FEE INSPECTOR: 
TREE	MAJENSKI	TREE	PASS	
2	24 E. High Point			INSPECTOR: 
6391	WHITWELL	FINAL	PASS	CONDITIONAL
4	1 MARGUERITA Hemminaway	9:00 A.M.		WAITING ON FINAL CHECKER INSPECTOR: 
6571	ALLMAN	ROUGH BIZ.	FAIL	
9	106 S. RIVER O.P.B.	WALL SHEATH	PASS	INSPECTOR: 
7096	MULLIGAN	SHEATHING	FAIL	
13	20 FIELDWAY BUDGET ROOFING	TIN TAG		INSPECTOR: 
6957	HALGAS	FINAL DOCK ET.	PASS	CLOSE
14	11 RIVER CREST DE LA PIERA			INSPECTOR: 

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 12/20, 2002 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6480	WADE	ROOF FINAL	PASS	
2	9 E HIGH PT. PACIFIC			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	FABINSKY	TREE	PASS	
4	10 MANDALAY RD			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6551	LANGER	PUMBROUGH	PASS	
10	3 LOFTING WAY FLORIDA'S FINEST	FRAMING	PASS	INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6711	AUMAN	? FINAL PUMBROUGH	PASS	
8	106 S. RIVER RD O/B	? ELECT. ROUGH	PASS	INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6719	DONAHUE	BREATHER	FAIL	
3	163 S. SEWALL ST HALL SAMMONS	S. DENIAL		INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7101	MULLIGAN	INSULATION	PASS	
9	20 FIELDWAY SIXWOODS			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7128	BEUNER	IN GR. TANK +	PASS	
5A	19 RIVERVIEW PR FERRELL GAS	LINES		INSPECTOR: 
OTHER:				
7052	KINARD	TIN TAG/MEDICAL	PASS	
	STIMOR			
	ALL-AMER.			

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed ~~Thu~~ ^{DEC.} Fri 23, 2002 4 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7094	MULLIGAN 21 FIELDWAY DR	W. PROGRESS ROOFING	PASS	
	BUDGET	954 475 2674		INSPECTOR:
6771	MULLIGAN	ROOF METAL		
3	106 S. RIVER O.B.	DRIP EDGE	PASS	INSPECTOR:
6682	MILORD.	ELEC. METER	PASS	
4	10 N. SEWALL PT. RD MILORD.	ROOFING		INSPECTOR:
6705		WALL SHEATHING	PASS	
1	9 PALMETTO. PACIFIC BEACH CREATIVE			INSPECTOR:
6965	FENSTERERS.	STAIRCASE	PASS	
2	71 S. SEWALLS PT. RD FENSTERER	WALL CURB		INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER:



6771

TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 106 STURVEN DR

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

ADDITION FINAL
NEED OPCI PERMIT IN
TOILET ROOM.

NEED OWNERS COST
AFFIDAVIT.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 6/29

[Signature]

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 6/29, 2005 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7520	MAREK	IN Prog ROOF	—	CANCEL - RAINY
16	1 FIELDWAY			WEATHER
	FEAZEL ROOFING			INSPECTOR: <i>[Signature]</i>
6771	AULMAN	FINA ADD'N	FAIL	
10	106 S. RIVER RD	WINDOWS		INSPECTOR: <i>[Signature]</i>
7563	AULMAN	PAVER DRIVE/WALK	PASS	CLOSE
10	106 S. RIVER RD	FINAL		
	O/B			INSPECTOR: <i>[Signature]</i>
7469	NORDGREN	POOL DECK	FAIL	
9	5 KINGSTON CT			
	OLYMPIC POOLS			INSPECTOR: <i>[Signature]</i>
Tree	DUNN	TREE	PASS	
18	LOT 12 INDIA WUCIE			
	31 N. RIVER RD			INSPECTOR: <i>[Signature]</i>
7163	HAYNES	U.G. MECHAN	PASS	
8	6 PALM ROAD			
	O/B			INSPECTOR: <i>[Signature]</i>
7054	TAPPER	BEAM	PASS	
6	22 ISLAND			
	WINCHIP CONST			INSPECTOR: <i>[Signature]</i>
OTHER:	ANDREWS Backhoe 33 N. SEWALL RD Tree removal permit (end of N. River rd at 39 N. River)			

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 7/13, 2005 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
Tree	VIOGA	Tree	PASS	
13	105 N. SEWALLS Pt			INSPECTOR: <i>AM</i>
7054	TAPPER	PATIO	PASS	
1	22 ISLAND WINCHIP CONST			INSPECTOR: <i>AM</i>
7117	MCGRATH	FINAL WINDOWS	PASS	CLOSE
5	123 S. SEWALLS Pt O/B			INSPECTOR: <i>AM</i>
Tree	MCMANON	Tree	PASS	
7	57 S. SEWALLS Pt			INSPECTOR: <i>AM</i>
6771	106 S RIVER RD	BATH ELEC	PASS	CLOSE
6	106 S RIVER RD O/B			INSPECTOR: <i>AM</i>
7542	CLIFFORD	PRE-DRYWALL	PASS	
11	20 N. RIVER RD WOODWARD CONST			INSPECTOR: <i>AM</i>
6544	LANCASTER	FINAL STR	PASS	CLOSE
2	8 PINEAPPLE LA MASTERPIECE			READY C/P INSPECTOR: <i>AM</i>

OTHER: _____

7143

FENCE

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 12/10/04

BUILDING PERMIT NO. 7.143

Building to be erected for Aluman

Type of Permit FENCE

Applied for by O/B

(Contractor) Building Fee 91.20

Subdivision RIO VISTA Lot 44 Block _____

Radon Fee _____

Address 106 S. RIVER RD

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:

Electrical Fee _____

1238410020000044050000

Plumbing Fee _____

Amount Paid 125.40 Check # 5420 Cash _____

Roofing Fee _____
Other Fees ^{10% Plan Dev} 25.08 _{25% OB}

Total Construction Cost \$600.00

TOTAL Fees 125.40

Signed John B. Aluman
Applicant

Signed Gene Summers (P.O.)
Town Building Official

PERMIT

- | | | |
|---|--|---|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input checked="" type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL _____ |

RECEIVED

DEC 15 2004

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: _____

BY: Dec 15 04
Date: _____

OWNER/TITLEHOLDER NAME: Allman Phone (Day) 781-0169 (Fax) _____

Job Site Address: 106 S. River Rd. City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) _____ Parcel Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: Adding 2' 35" of fence to existing fence & repairing hurricane damage

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 600.00

(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: Owner Builder Phone: _____ Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic.# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

State of Florida, County of: MARTIN

This the 15th day of December, 2004

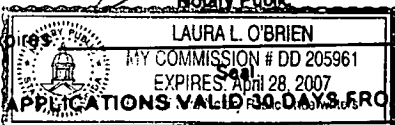
by [Signature] who is personally

known to me or produced

as identification. [Signature]

Notary Public

My Commission Expires: _____



CONTRACTOR SIGNATURE (required)

On State of Florida, County of: _____

This the _____ day of _____ 2004

by _____ who is personally

known to me or produced _____

As identification. _____

Notary Public

My Commission Expires: _____

Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: John B. Allman **Date:** Dec. 17, 04

Signature: John B. Allman

Address: 106 S. River Rd.

City & State: Stuart Fla. 34996

Permit No. _____



7143

TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 106 S. RIVER RD.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

CMU FENCE FOOTING

EDGE OF FOOTING ENCROACHES
NEIGHBOR'S PROPERTY

NEED FORM BOARD INSTALLED
CORRECTLY & SURVEY BY
ENGINEER

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 12/29

[Signature]

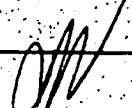
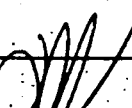
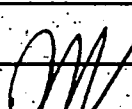
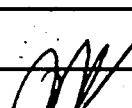
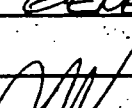
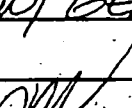
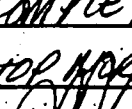
INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

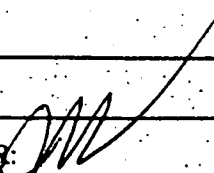
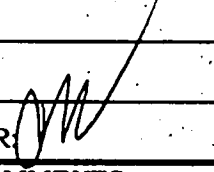
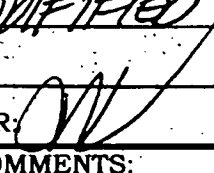
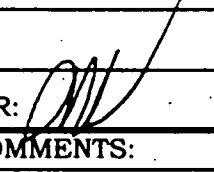
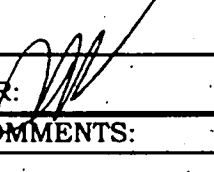
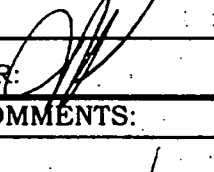
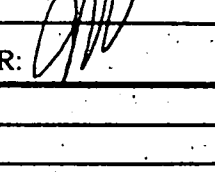
Date of Inspection: Mon Wed Fri DEC 29, 2004 Page of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6973	ANANIA	FENCE FINAL	PASS	CLOSE
6	61 S. SEWALL'S PT SMART FENCE			INSPECTOR: 
7141	JOHNSTON	GAS INT. P&H	PASS	
1	34 W. HUNT PT MASTERPIECE BLDG			INSPECTOR: 
6544	LANCASTER	ROUGH ELEC	FAIL	
2	8 PINEAPPLE LA FORWARD ELEC			INSPECTOR: 
7153	AUGMAN	FOOTER	FAIL	
3	106 S. RIVER OIS			INSPECTOR: 
-	GOZLET	CHECK EXISTING	-	DONE W/ GEELE
1	15 MANDALAY RD.	BATHHOUSE		INSPECTOR: 
	OLSEN	TREE - DAMAGE	-	DONE W/ GEELE
2	19 N. RIVER DR.	TO STRUCTURE		INSPECTOR: 
	OSTEEN	PLUMB. TROUGH	-	95% COMPLETE
	1 RIDGEVIEW ANDUS			ISSUED "STOP WORK ORDER" INSPECTOR: 
OTHER: _____				

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri JAN 3, 2005 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	SEYMOUR	TREE	PASS	
7	73 S. SEWALL'S			INSPECTOR: 
6632	SCHUEPLING	INSULATION	PASS	
2	110 ABBIE COURT O/B			INSPECTOR: 
TREE	DYER	TREE	PASS	AS MONITORED
6	9 PINEAPPLE LA			INSPECTOR: 
6927	VANT BOSCH	FINAL FENCE	PASS	
9	36 S. RIVER O/B			INSPECTOR: 
6551	LANGER	INSULATION	PASS	
10	3 LOFTING WAY FLORIDA'S FINEST			INSPECTOR: 
7143	AULMAN	FOOTER	PASS	
8	106 S. RIVER O/B			INSPECTOR: 
7151	HARRIGAN	WALL	PASS	
11	2 PALMETTO DR WORRELL CONST.			INSPECTOR: 

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3/11, 20015 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7309	BABUE	FINAL ROOF	PASS	CLOSE
3	101 S. SEWALLS PT TACHENY ROO			INSPECTOR:
7350	GOVEL	CONCRETE	PASS	
1	5 RIVERVIEW DR O/B	FORM BOARD EARLY PLEASE		INSPECTOR:
743	ALLMAN	FENCE FINAL	PASS	CLOSE
2	106 S. RIVER RD O/B			INSPECTOR:
6753	RADER	TRUSS	FAIL	
5	5 HERITAGE WAY A & P CONSTRUCTION			INSPECTOR:
7349	MAVO	ELEC. FINAL	—	WILL RESCHEDULE
8	21 N. RIVER RD KRAUSS + CRANE	DOCK		INSPECTOR:
7288	PETERSON	DEHN	PASS	
4	49 RIO VISTA DR PACIFIC ROOFING			INSPECTOR:
7328	SCHMADER	STEELWORK	PASS	
1A	102 HENRY SEWALL CONWAY			INSPECTOR:
OTHER: 3 LABOUR IS — ISSUED STOP WORK ORDER —				

7392

MASONRY/WOOD

WALL

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 3/15/05

BUILDING PERMIT NO. 7392

Building to be erected for ALLMAN

Type of Permit Masonry/Wood Fe

Applied for by O/B (Contractor)

Building Fee 48.00

Subdivision Rio Vista Lot 44 Block _____

Radon Fee _____

Address 106 S. RIVER RD

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:

1238410020000044050000

Electrical Fee _____

Plumbing Fee _____

Roofing Fee _____

Amount Paid 60.00 Check # 5633 Cash _____

Other Fees 25% OB 12.00

Total Construction Cost \$ 700.00

TOTAL Fees 60.00

Signed John D Allman
Applicant

Signed Gene Simmons
Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

MAR 09 2005

BY:

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number:

Date: March 9 05

OWNER/TITLEHOLDER NAME: John P. Allman Phone (Day) 781-0169 (Fax)

Job Site Address: 106 S. River Rd. City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Rio Vista 44 Parcel Number:

Owner Address (if different): City: State: Zip:

Description of Work To Be Done: Extend existing wall 20 feet

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 700.00

Estimated Fair Market Value prior to improvement: \$

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value:

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: Phone: Fax:

Street: City: State: Zip:

State Registration Number: State Certification Number: Martin County License Number:

SUBCONTRACTOR INFORMATION:

Electrical: State: License Number:

Mechanical: State: License Number:

Plumbing: State: License Number:

Roofing: State: License Number:

ARCHITECT Lic.#: Phone Number:

Street: City: State: Zip:

ENGINEER Lic# Phone Number:

Street: City: State: Zip:

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: Garage: Covered Patios: Screened Porch:

Carport: Total Under Roof Wood Deck: Accessory Building:

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001 National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

John P. Allman

State of Florida, County of: Martin

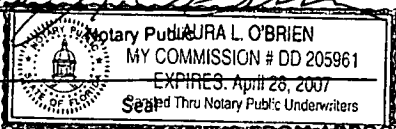
This the 9 day of March, 2005

by John Roman who is personally

known to me or produced

as identification

My Commission Expires:



CONTRACTOR SIGNATURE (required)

On State of Florida, County of:

This the day of 200

by who is personally

known to me or produced

As identification.

Notary Public

My Commission Expires:

Seal

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

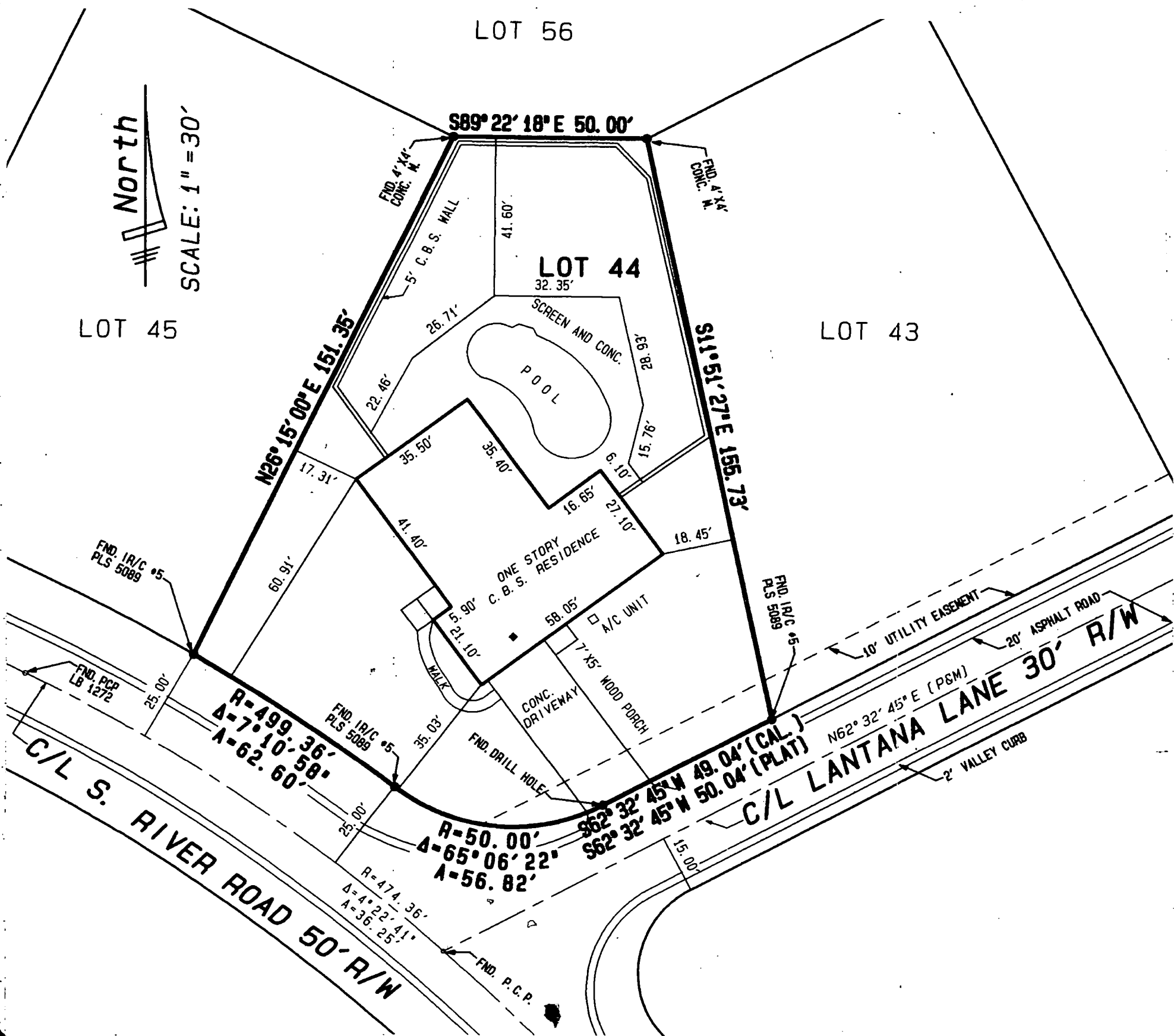
Name: John B. Allman Date: 3-9-05

Signature: John B. Allman

Address: 106 S. River Rd.

City & State: Stuart Fla.

Permit No. _____



DESCRIPTION:

LOT 44 RIO VISTA PLAT BOOK 6, PAGE 95, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

CONTAINING 10,000.0 SQUARE FEET, 0.229 ACRES, MORE OR LESS.

BOUNDARY SURVEY AND SITE PLAN PREPARED FOR AND CERTIFIED TO:

MR. & MRS. ALLMAN

NOTES:

1. NO SEARCH OF THE PUBLIC RECORDS HAS BEEN MADE BY THIS OFFICE.
2. BEARINGS SHOWN HEREON ARE BASED ON A BEARING OF N 62° 32' 45" E, ALONG THE CENTERLINE OF LANTANA LANE, ACCORDING TO SEWALLS POINTS, FILED IN PLAT BOOK 6, PAGE 95, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA, AND ALL OTHER BEARINGS ARE RELATIVE THERETO.
3. THIS MAP OF SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF THE SURVEYOR NAMED HEREON.

04-14-04
DATE OF SURVEY

Dan Christian

DAN CHRISTIAN
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA CERTIFICATE No. 4227
METES AND BOUNDS, INC. L.B. No. 6793

LEGEND

- = DENOTES SET IRON ROD AND CAP LB 6793 UNLESS OTHERWISE NOTED
- C/L = CENTERLINE
- A/C = AIR CONDITIONER UNIT
- C.B.S. = CONCRETE BLOCK STRUCTURE
- CONC. = CONCRETE
- I.R. = IRON ROD
- D.E. = DRAINAGE EASEMENT
- U.E. = UTILITY EASEMENT

FLOOD ZONE "X" 12085C0154 10/04/04

JOB NO. 04-070

DATE:	
SCALE:	1"=20'
REVISIONS:	
JOB No.:	MODEL



METES & BOUNDS, INC.

Land Surveyors-Planners
49 SW Flager Avenue Suite 2A
Stuart, Florida 34994
Phone: 888-221-8083 Fax: 888-221-8984

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3/23, 2005 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
Tree	SEWALL'S MEADOWS	TREE	PASS	
3A	RETENTION POND			INSPECTOR:
6831	COBIELLA	FINAL ON	FAIL	
9	8 N. SEWALL'S HEATON	CABANA REROOF		INSPECTOR:
Tree	UTRATA	TREE	PASS	
10	117 N. SEWALL'S			INSPECTOR:
7392	ALLMAN	FOOTER FENCE	PASS	
5	106 S. RIVER OIB			INSPECTOR:
7348	MCCARTHY	IN PROG. ROOF	PASS	APPEARS NO DRIP EDGE WAS ON EXIST. ROOF & NONE ARE INSTALLED ON NEW
4	3 KINGSTON CT STUART ROOFING			INSPECTOR:
Tree	JOYNER	TREE	PASS	
	85 S. SEWALL'S			INSPECTOR:
Tree	KELLY	TREE	PASS	
	1 OAKWOOD			INSPECTOR:

OTHER:

177 SSPA - ELEC. FOR AVE. DOWN - PASS
CHAD SUPERD.

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 4/13, 20015 Page 3 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6971	GALINAT	FINAL DOOR?	FAIL	CLOSE
18	53 N. RIVER RD O/B		PASS	INSPECTOR: <i>[Signature]</i>
7392	ALCORN	FINAL FENCE	PASS	NEEDS SURVEY
8	106 S. RIVER RD O/B		FAIL	INSPECTOR: <i>[Signature]</i>
7328	SCHMADER	UG PUMPING	PASS	
7	102 HENRY SEWALL CONWAY	(date if possible)		INSPECTOR: <i>[Signature]</i>
7458	BRUNER	FINAL PADS GENERATOR	PASS	CLOSE
13	19 RIVERVIEW O/B			INSPECTOR: <i>[Signature]</i>
7419	PATTERSON	DRY IN	FAIL	
17	109 N. SEWALL'S PT STEIN			INSPECTOR: <i>[Signature]</i>
7454	FOWLER	DRY-IN	PASS	
16	18 FIELDWAY DR ALL AREA ROOFING			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____

INSPECTION LOG FOR ABANDONED/EXPIRED PERMITS

PERMIT #	OWNER'S NAME	ADDRESS	DESCRIPTION	APPROVED BY & DATE
8213	JENKINS	4 SABLE CT.	DOORS/HORIZONTAL PANELS	QW 5/15/08
8169	CARLTON	6 PERRIWINKLE CIR.	DOCK	QW 5/15/08
8086	BONIFACE	63 S. RIVER	PILINGS/BOATLIFT	QW 5/15/08
8084	MASSEY	1 MINDORO	SCREEN ENCL.	QW 5/15/08 WORK NOT DONE
7911	CLEMENTS	6 MIDDLE RD.	FENCE	QW 5/15/08
7915	KISSELING	4 MINDORO ST.	DECK BOARDS	QW 5/15/08
7926	PAINS	62 S.S.P.R.	SIDING	WORK NOT DONE
7936	LEIGHTON	43 W. HIGH PT.	DOCK	WORK NOT DONE
7947	LANGER	3 N.E. LOFTING WAY	FENCE	QW 5/15/08
7981	SANDERS	3 MANDALAY	FENCE	QW 5/15/08
8001	HICKS	7 MANDALAY	FENCE	QW 5/15/08
8020	BARHILL	4 N. ROBEVIEW	FENCE	WORK NOT DONE
7880	SERAFINI	21 N. VIA LUCINDIA	FENCE	WORK NOT DONE FENCE REMOVED
7881	FARROW	47 N. RIVER	DOCK	QW 5/15/08
7811	DEAN	2 HERITAGE WAY	FILL	QW 5/15
7674	LEIGHTON	43 W. HIGH POINT	FENCE	FENCE REMOVED WORK NOT DONE
7625	ARMSTRONG	41 W. HIGH POINT	FILL	QW PASS 5/15/08
7392	ALLMAN	106 S. RIVER	FENCE	QW 5/15/08

7563

PAVER DRIVE

&WALK

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 5/17/05

BUILDING PERMIT NO. 7563

Building to be erected for ALUMINUM

Type of Permit DRIVE DRIVE/WALK

Applied for by O/B

(Contractor)

Building Fee 35.00

Subdivision RIO VISTA Lot 44 Block _____

Radon Fee _____

Address 106 S. RIVER RD

Impact Fee _____

Type of structure SFK

A/C Fee _____

Parcel Control Number:

1238410020000044050000

Electrical Fee _____

Plumbing Fee _____

Roofing Fee _____

Amount Paid 35.00 Check # 1179 Cash _____ Other Fees (_____)

Total Construction Cost \$ 2400.00

TOTAL Fees 35.00

Signed [Signature]

Applicant

Signed [Signature]

Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION
- DRIVEWAY

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____



Permit Number: _____

Town of Sewall's Point BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME: John Allman Phone (Day) 781-0169 (Fax) _____

Job Site Address: 106 S. River Rd City: Stuart State: FL Zip: 34996

Legal Description of Property: lot 44 Parcel Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: Pavers over driveway & sidewalk

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: _____ Phone: _____ Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 2400 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ ScreenedPorch: _____

Carpport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) John P. Allman

State of Florida, County of: Martin

This the 10 day of MAY, 2005

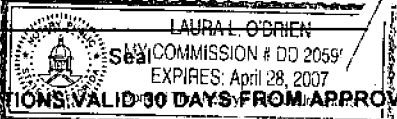
by John P. Allman who is personally

known to me or produced

as identification. [Signature]

Notary Public

My Commission Expires: _____



CONTRACTOR SIGNATURE (required) _____

On State of Florida, County of: _____

This the _____ day of _____, 2005

by _____ who is personally

known to me or produced _____

As identification. _____

Notary Public

My Commission Expires: _____

Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: John Allman Date: 5/12/05

Signature: John P. Allman

Address: 106 S. River Rd

City & State: Stuart, FL 34996

Permit No. _____

OWNER'S AFFIDAVIT OF BUILDING COSTS

(To be submitted at time of final inspection for Certificate of Occupancy)

**STATE OF FLORIDA
MARTIN COUNTY**

BEFORE ME, the undersigned authority, personally appeared the undersigned Affidavit, who, being first duly sworn, under penalty of perjury, deposes and says:

1. That Affidavit is the owner or the authorized agent of the owner of certain real estate (the Property) located within the municipal limits of the Town of Sewall's Point, Florida (the Town), having the street address set forth below Affidavit's signature.
2. That all of the improvements on the Property under current building permit(s) issued by the Town have been completed in substantial conformity with the plans and specifications on file with the Town and in accordance with all applicable state and local building codes.
3. That the total cost paid or to be paid by the owner for the complete construction of the improvements under the building permit(s), including the cost of all improvements shown on the plans and specifications filed with the Town and all machinery and equipment not shown thereon required to be installed as a condition for a certificate of occupancy under state and local law, is \$ 60,000⁰⁰.
4. That this Affidavit is made for the purpose of inducing the Building Official of the Town to issue a Certificate of Occupancy for the improvements, with the intention that it be relied upon for that purpose.

Affidavit's Signature:

John B. Williams

Property Address:

106 S. River Rd.

Seart Fla.

SWORN TO and subscribed before me this 12th day of July, 2005, by John Aumann, who is personally known to me or produced _____ as identification.

[Signature]

Notary Public

My commission expires:

(Notary Seal)



ALLMAN – PAVER OVER

Lot: 17604.5 square feet

House 2,794.5

Driveway 916.1

Walk 103.4

Pool Deck 2,387.3

Addition 274.7

Add'l Walk 68.0

Impervious

New Total: 6,544.0 37%

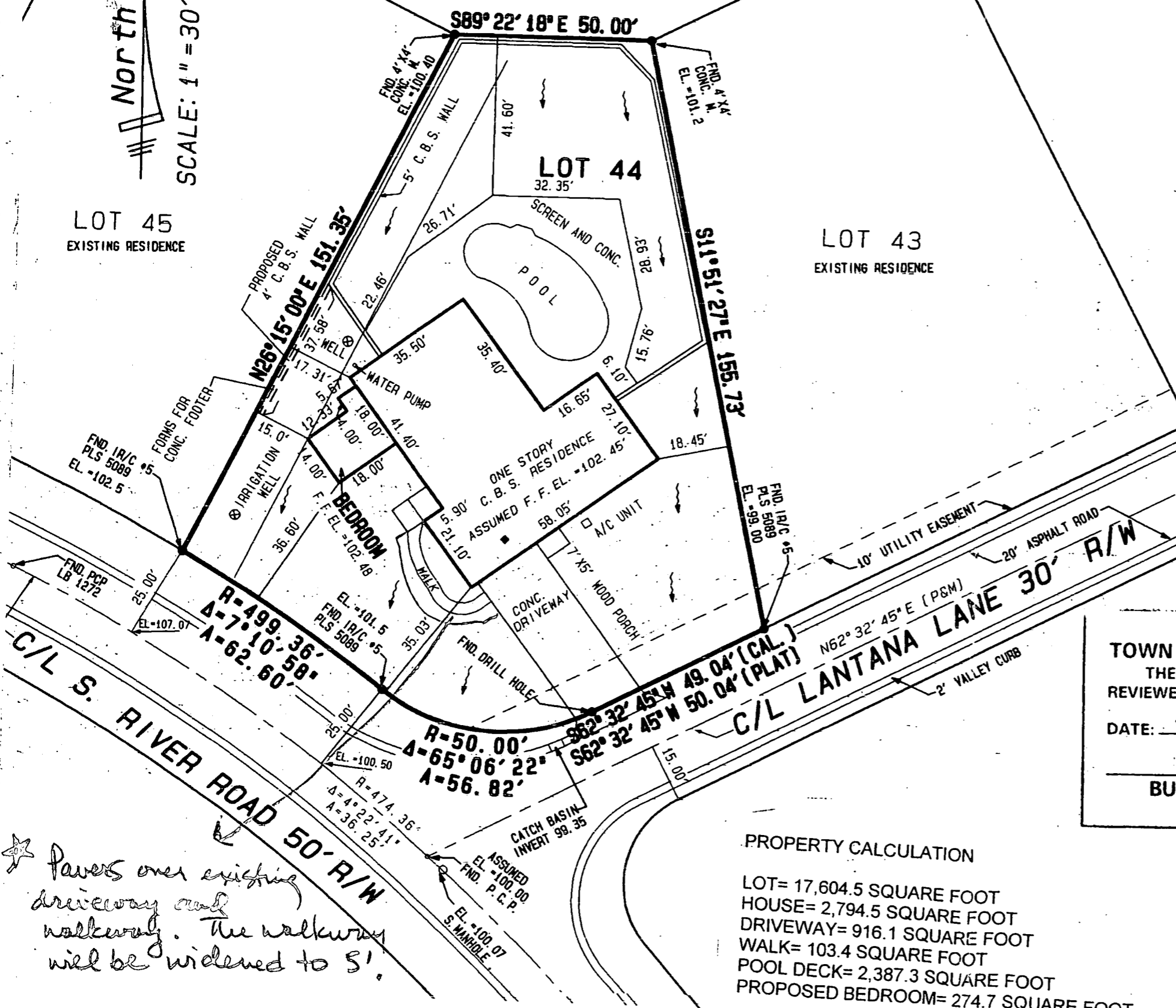
North
SCALE: 1" = 30'

LOT 56
EXISTING RESIDENCE

LOT 45
EXISTING RESIDENCE

LOT 43
EXISTING RESIDENCE

LOT 44
32.35'



Pavers over existing driveway and walkway. The walkway will be widened to 5'.

PROPERTY CALCULATION
 LOT= 17,604.5 SQUARE FOOT
 HOUSE= 2,794.5 SQUARE FOOT
 DRIVEWAY= 916.1 SQUARE FOOT
 WALK= 103.4 SQUARE FOOT
 POOL DECK= 2,387.3 SQUARE FOOT
 PROPOSED BEDROOM= 274.7 SQUARE FOOT

DESCRIPTION:

LOT 44 RIO VISTA PLAT BOOK 6, PAGE 95, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

CONTAINING 17,604.5 SQUARE FEET, 0.404 ACRES, MORE OR LESS.

BOUNDARY SURVEY (FINAL)
 PREPARED FOR AND CERTIFIED TO:
 MR. & MRS. ALLMAN

TOWN OF SEWALL'S POINT

NOTES:

1. NO SEARCH OF THE PUBLIC RECORDS HAS BEEN MADE BY THIS OFFICE.
2. BEARINGS SHOWN HEREON ARE BASED ON A BEARING OF N 62° 32' 45" E, ALONG THE CENTERLINE OF LANTANA LANE. ACCORDING TO SEWALLS POINTS, FILED IN PLAT BOOK 6, PAGE 95, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA, AND ALL OTHER BEARINGS ARE RELATIVE THERETO.
3. THIS MAP OF SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF THE SURVEYOR NAMED HEREON.

12-22-04
 DATE OF SURVEY
 MAPPER

Dan Christian
 DAN CHRISTIAN
 PROFESSIONAL SURVEYOR AND
 FLORIDA CERTIFICATE No. 4227
 METES AND BOUNDS, INC. L.B. No. 6793

FILE COPY
 TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE: 5/16/05
 BUILDING OFFICIAL
 Gene Simmons

LEGEND

- = DENOTES SET IRON ROD AND CAP LB 6793 UNLESS OTHERWISE NOTED
- C/L = CENTERLINE
- A/C = AIR CONDITIONER UNIT
- C.B.S. = CONCRETE BLOCK STRUCTURE
- CONC. = CONCRETE
- I.R. = IRON ROD
- D.E. = DRAINAGE EASEMENT
- U.E. = UTILITY EASEMENT

FLOOD ZONE "X" 12085C0154 10/04/04

JOB NO. 04-070

DRAWN	DATE:
CHK	SCALE: 1"=20'
REVISIONS:	
JOB No.:	MODEL



METES & BOUNDS, INC.
 Land Surveyors-Planners
 49 SW Flager Avenue Suite 2A
 Stuart, Florida 34994
 Phone: 888-221-8003 Fax: 888-221-8584

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 6/29, 2005 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7520	MAREK	IN Prog ROOF	—	CANCEL - RAINY
16	1 FIELDWAY			WEATHER
	FEAZEL ROOFING			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6771	ALLMAN	FINAL ADD'N + WINDOWS	FAIL	
10	106 S. RIVER RD			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7563	ALLMAN	River Development	FAIL	CLOSE
10	106 S. RIVER RD	FINAL		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7469	NORDGREN	Pool Deck	FAIL	
9	5 KINGSTON CT OLYMPIC POOLS			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	DUNN	TREE	PASS	
18	LOT 12 INDIANUCIE 31 N. RIVER RD			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7163	HAYNES	UG MECHAN	PASS	
8	6 PALM ROAD O/B			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7054	TAPPER	BEAM	PASS	
6	22 ISLAND WINCHIP CONST			INSPECTOR: <i>[Signature]</i>
OTHER:	ANDREWS 33 N. SEWALL RD Backhoe Tree removal permit (end of N. River Rd at 39 N. LINDSEY)			

TOWN OF SEWALL'S POINT, FLORIDA

Date APRIL 20 2005 TREE REMOVAL PERMIT No 2467

APPLIED FOR BY ANUMAN (Contractor or Owner)

Owner 106 S. RIVER ROAD

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 2 OAK

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

Signed, _____ Applicant FEE \$ 0
Signed [Signature] Town Clerk
BUILDING OFFICIAL

Call 287-2455 - 8:00 AM - 5:00 PM
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK

TOWN OF SEWALL'S POINT

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Large empty rectangular box for drawing or notes]

PROJECT DESCRIPTION _____

REMARKS _____

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than two inches.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Bolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner John Allan Address 106 S. River Rd. Phone 781-0169

Contractor _____ Address _____ Phone 260-9670

No. of Trees: REMOVE _____ Type: ^{#1} OAK - remove large limb

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: ^{#2} OAK - remove large limb

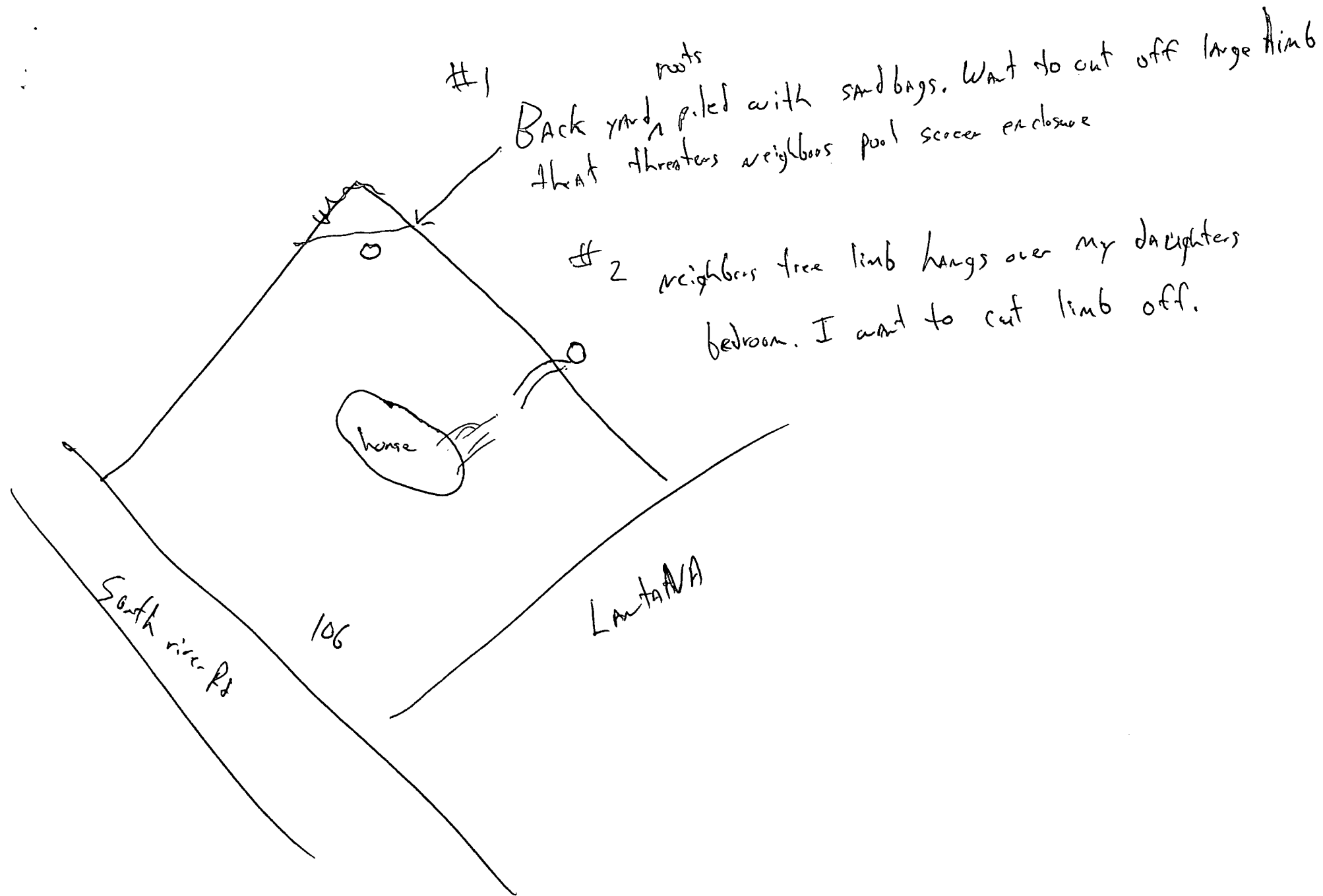
No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: Two trees - 1 with root damage needs severe trimming

Signature of Property Owner John Allan Date 4-18-05
with threatening my house from neighbors yard

Approved by Building Inspector: [Signature] Date 2/20 Fee: 0

Plans approved as submitted _____ Plans approved as revised/marked: _____



#1

Back yard ^{roots} piled with sandbags. Want to cut off large limb that threatens neighbors pool soccer enclosure

#2 neighbor tree limb hangs over my daughters bedroom. I want to cut limb off.

house

South river Rd

106

Lantana

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 4/20, 2005 Page 3 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7419	PATTERSON	FINAL ROOF	PASS	CLOSE
18	109 N. SEWALL ST			INSPECTOR:
	STEIN & Co.			
7357	CLONTOS	FINAL ^{POOL} SPACED	PASS	
5	83 S. SEWALL ST	RELOCATE POOL	FAIL	INSPECTOR:
	O/B	WILL RESCHEDULE		
7485	ENGLE	DRY-IN	---	RESCHEDULE FOR
2	14 Palm Road			4/22 FRI. INSPECTOR:
	PHOENIX COMETA			
7486	ALLMAN	TREE	PASS	
3	106 S. RIVER RD			INSPECTOR:
7427	HOLLY	DRY-IN	FAIL	
12	41 S. RIVER RD			INSPECTOR:
	ROBERT DENNIS			
7489	HARRIGAN	FINAL SCENGL	---	WILL RESCHEDULE
13	2 PALMETTO			INSPECTOR:
	ADAM PIZGULO	(LATE PLEASE)		
TREE	MCKINNEY	TREE	PASS	
9	24 SUMARAST			INSPECTOR:

OTHER: _____



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

OK

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Kerstin Vennos Address 106 South River Rd Phone 772 283-8530

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE _____ Species: _____

No. of Trees: RELOCATE _____ Species: _____

No. of Trees: REPLACE _____ Species: _____

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

Reason for tree removal /relocation (See notice above) Trimming Branches off oaks

Signature of Property Owner [Signature] Date 1/12/2011

Approved by Building Inspector: [Signature] Date: 1/12/2011 Fee: none

NOTES: _____

SKETCH:
5 Trees around house overhanging (roof)