

**107 South River Road**

Permit No. 1022

Date 7/6/79

APPLICATION FOR A PERMIT TO BUILD A HOUSE OR COMMERCIAL BUILDING

This application must be accompanied by three sets of complete plans, to scale, (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections; plumbing, electrical and air-conditioning layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house or commercial building construction.

Owner Mr. & Mrs. JOHN B. CAUL Present address Rio Vista, SEWALL'S POINT

Phone 283-2941

General contractor SCHEMANDUAH BLDGS INC. Address 3802 OLEANDER AVE. FORT HERCE FLA

Phone 287-2620 461-5444

Where licensed MARTINCO. License No. #46

Plumbing contractor R.C. LINDSEY P.L.C. License No. #9

Electrical contractor LEN TAYLOR License No. #44

Air-conditioning contractor KRAUSE & CRANE License No. #29W

Describe the building, or alteration to existing building \_\_\_\_\_

3BR FRAME RESIDENCE

Name the street on which the building, its front building line and its front yard will face \_\_\_\_\_

107 S. RIVER ROAD

Subdivision Rio Vista Lot No. 93 Area 2870 living 571 GARAGE 3441 total 3441

Building area, inside walls (excluding garage, carport, porches, pools, etc.)...square feet 2870 living area

Contract price (excluding land, carpeting, appliances, landscaping, etc.) \$ 95000.

Cost of permit \$ 505. Plans approved as submitted  or, as marked  sub 1022

I understand that this permit is good for 12 months from the date of its issue and that the building for which this permit is issued must be completed within that time and in accordance with the approved plans. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances,  the South Florida Building Code,  I agree that the building site will be clean and rough-graded before a Certificate of Occupancy is sought, and, moreover, that I shall be responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply with the above requirements may result in a Building Inspector or a Town Commissioner "Red-tagging" the building project.

and the State of Florida Model Efficiency Building Code.

Contractor David A. Schemanduh

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood, as required by the Town's zoning ordinance.

Owner John B. Caul

Note: Speculation builders will be required to sign both of the above statements.

TOWN RECORD

Date submitted \_\_\_\_\_

Approved by Building Inspector (date) 2/10/79

Inspector's initials JMM

Approved by Town Commissioner (date) 11 July 1979

Commissioner's initials JCG

Certificate of Occupancy issued (date) Dec 3, 1979

# 1022

Permit VOID if well or septic system is installed in a location other than area permitted. PRIOR HEALTH DEPARTMENT APPROVAL REQUIRED

DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES  
DIVISION OF HEALTH  
Application and Permit  
of  
Individual Sewage Disposal Facilities

RECEIVED JUL 6 1979

Section I - Instructions:

1. Percolation test data, soil profile and water table elevation information must be attached. (Note: Test must be made at proposed location of system).
2. Existing building and proposed buildings on lot must be shown and drawn to scale at their location or proposed location. (Use block on this sheet or attach plot plan).
3. Proposed location of septic tank must be shown on plan.
4. Any pond or stream areas must be indicated on the plan.

5. Indicate name and date of recording of subdivision. If not recorded, attach metes and bounds description.
6. Complete the following information section.

Notes:

1. Not valid if sewer is available.
2. Individual well must be 75 feet from any part of system.
3. Call 287-2277 and give this office a 24-hour notice when ready for inspection.

Section II - Information:

1. Property Address (Street & House No.)  
Lot 93 Block      Subdivision Rio Vista  
Date Recorded      Directions to Job East of Stuart on Ocean Blvd.  
No. Jewell's Pt. Rd. So. 100' to 1st rd. to S. River Rd. & S. site
2. Owner or Builder Jeh. n. & Mrs. Bldrs  
P.O. Address 1115 E. Ocean City Stuart
3. Specifications  
3 bedroom

Tank	Drainfield
<u>900</u> Gals. <u>    </u>	ft. of 6" clay tile or 5" perforated plastic drain in a <u>3'</u> trench or
<u>900</u> Gals. <u>255</u>	ft. of 4" clay drain or 4" perforated plastic drain in an <u>18"</u> trench

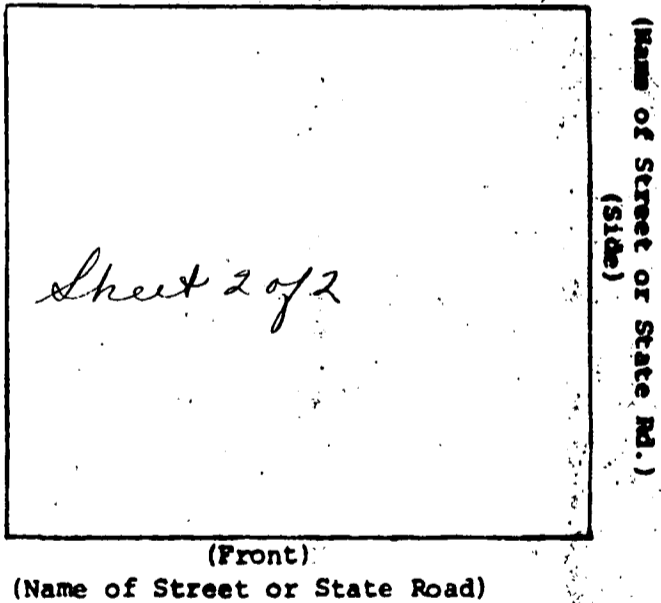
Scale 1" = 50'  
(Rear)

4. House to be constructed:  
Check one:      FHA  
     VA      Conventional

This is to certify that the project described in this application, and as detailed by the plans and specifications and attachments will be constructed in accordance with state requirements.

Applicant: Schenandoah Bldrs.  
Please Print

Signature: Schenandoah Bldrs. Date: 6-28-79



\*\*\*\*\* DO NOT WRITE BELOW THIS LINE \*\*\*\*\*

Section III - Application Approval & Construction Authorization  
Installation subject to following special conditions:

The above signed application has been found to be in compliance with Chapter 17-13, Florida Administrative Code, and construction is hereby approved, subject to the above specifications and conditions.

By: John S. Wells, Jr. County Health Dept. Martin Date 7/5/79

Section IV - Final Construction Approval

Construction of installation approved:      Yes      No

Date:      By:       
FHA No.      VA No.

FLORIDA DEPARTMENT OF POLLUTION CONTROL

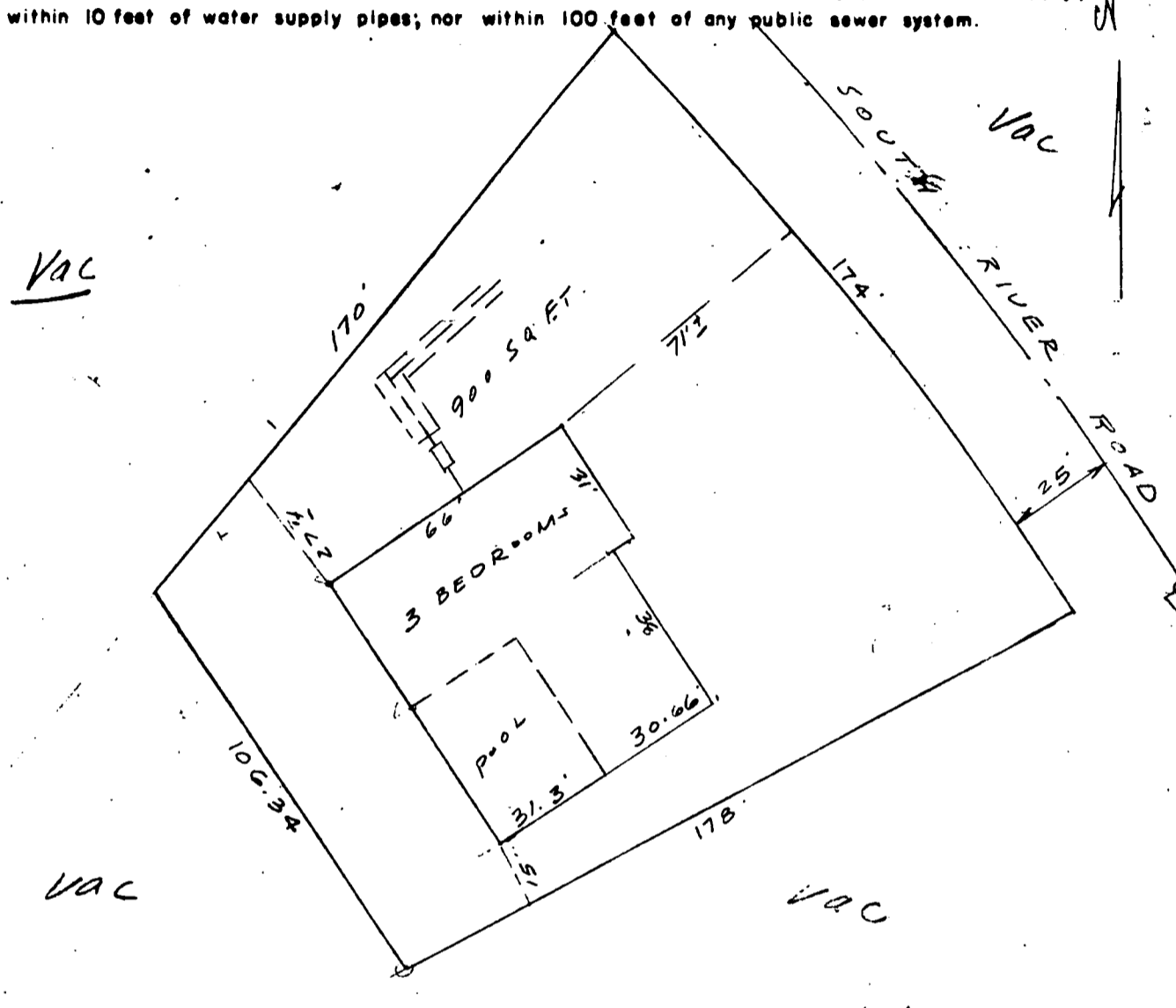
S. E. Subregion  
 806 South 6th Street  
 Fort Pierce, Florida 33450  
 Tel. (305) 464-8525

INDIVIDUAL SEWAGE DISPOSAL FACILITIES

DATA SHEET

Location: Lot 93 Applicant: Schenardock  
Rio Vista County: Martin

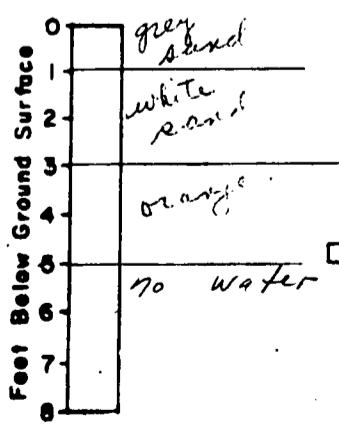
**NOTE:** This septic tank system is not located within 50 feet of the high water line of a lake, stream, canal or other waters, nor within 75 feet of any private well; nor within 100 feet of any public water supply; nor within 10 feet of water supply pipes; nor within 100 feet of any public sewer system.



City Water  
 No wells

PLAN  
 Scale: 1" = 40'

SOIL DATA



LEGEND

- Drainage Pattern
- Proposed Septic Tank and Drainfield
- Proposed Water Supply Well
- Existing Water Supply Well
- Soil Boring and Percolation Test Location

SOIL BORING LOG  
 Soil Identification: CLASS 1 GROUP S.P.  
 Soil Characteristics \_\_\_\_\_  
 Percolation Rate 20 sec min/inch  
 Water Table Depth 5'  
 Water Table Depth During Wet Season 5'  
 Compacted Fill Of \_\_\_\_\_ Req'd  
 Compacted Fill Checked By: \_\_\_\_\_  
 Date \_\_\_\_\_

CERTIFIED BY: W.L. Williams  
 FLORIDA PROFESSIONAL No. 1272  
 Date 6-28-79 Job No. 000412



TO BE FILED WITH BUILDING PERMIT APPLICATION. TYPICAL WALL AND CEILING SECTIONS SHALL SUPPLEMENT THIS FORM.

THIS BUILDING CODE COMPLIANCE VALUES

RECEIVED JUL 6 1979 ZONE 2

BUILDING INFORMATION

GROSS SQUARE FEET CONDITIONED/HEATED FLOOR SPACE
WALL AREAS: TOTAL OPAQUE AREA - Aw
TOTAL GLASS AREA - Ag
TOTAL DOOR AREA - Ad
GROSS WALL AREA (TOTAL OF ABOVE) A
ROOF AREAS: TOTAL OPAQUE AREA - Aw
TOTAL SKYLIGHT AREA - Ag

Blank lines for entering building information values.

U VALUE CALCULATION

Uw = U OF OPAQUE AREA
Ug = U OF GLASS AREA
Ud = U OF DOOR AREA
Uo = U OF OVERALL WALL/GLASS/DOOR
Uw = U OF CEILING/ROOF AREA
Ug = U OF SKYLIGHT AREA
Uo = U OF OVERALL CEILING/ROOF
Uo = U OF FLOOR OVER UNHEATED SPACE

Blank lines for U value calculations with values .30, \*.05, .30.

NOTE: SUPPLEMENTAL INFORMATION IS NECESSARY TO SHOW TRADE-OFF BETWEEN CEILING/ROOF ASSEMBLY AND WALL/GLASS/DOOR ASSEMBLY OVERALL U VALUES.

\*See Footnote 2, Table 5-1.

WINDOW AND DOOR INFILTRATION

WINDOW INFILTRATION RATES
WINDOW MFR. & MODEL #

Blank line for window infiltration rates with value .5.

DOOR INFILTRATION RATES
DOOR MFR. & MODEL #

Blank line for door infiltration rates with reference Table 5-3.

MECHANICAL SYSTEMS

REHEAT COMPLIANCE WITH CODE (503.3)

Blank box for reheat compliance.

HVAC EQUIPMENT PERFORMANCE
EER OR COP (UNDER 65,000 BTU/HR.)
EER OR COP (65,000 BTU/HR. & OVER)
MFR. & MODEL #

Blank lines for HVAC equipment performance with reference Tables 5-4, 5-5, 5-7 or 5-8.

AIR TRANSPORT FACTOR
CHECK HVAC CONTROLS FOR COMPLIANCE
DUCT SYSTEM INSULATION R VALUES
PIPING INSULATION THICKNESS

Blank lines for air transport factor with value 8.0 and reference R = Δt/15, Table 5-8.

SERVICE WATER HEATING

CHECK PERFORMANCE EFFICIENCY
SWIMMING POOL CONTROL COMPLIANCE
CONSERVATION OF HOT WATER (SHOWER FLOW RATE)

Blank lines for service water heating with values 504.2, 504.2(b) 3, 3 GPM.

ELECTRICAL POWER AND LIGHTING (NON RESIDENTIAL)

CHECK COMPLIANCE OF:
POWER FACTOR CORRECTION
VOLTAGE DROP
LIGHTING SWITCHING

Blank lines for electrical power and lighting with reference Sect. 505.2.

I CERTIFY THAT THIS BUILDING COMPLIES WITH THE STATE OF FLORIDA MODEL EFFICIENCY BUILDING CODE

SIGNATURE OF OWNER OR OWNER'S AUTHORIZED AGENT

# Certificate of Insurance

RECEIVED JUL 6 1979

FLORIDA FARM BUREAU MUTUAL INSURANCE COMPANY  
 FLORIDA FARM BUREAU CASUALTY INSURANCE COMPANY  
 P.O. Box 730                      Gainesville, FL 32602

DATE: \_\_\_\_\_

THIS IS TO CERTIFY that the Company named above has issued policy (ies) to the insured named below. If such policy (ies) are canceled or changed during the period(s) of coverage as stated herein, such a manner as to effect this certificate, \_\_\_\_\_ days written notice will be mailed to the party designated below for whom this certificate is issued.

Name and Address of Party to Whom This Certificate is Issued	Name and Address of Insured
--	-----------------------------

Description of Insured Operations:

Policy Numbers †	Kind of Insurance	Limits *	Eff. Date	Expiration Date
	<b>AUTOMOBILE</b>			
	BODILY INJURY LIABILITY	Each Person \$ _____		
		Each Accident \$ _____		
	PROPERTY DAMAGE LIABILITY	Each Accident \$ _____		
	<b>PUBLIC LIABILITY</b>			
	BODILY INJURY LIABILITY	Each Occurrence _____		
	PROPERTY DAMAGE LIABILITY	Each Occurrence \$ _____		
	<b>PRODUCTS - Completed Operations Liability</b>			
	BODILY INJURY LIABILITY	Each Occurrence \$ _____		
		Aggregate \$ _____		
	PROPERTY DAMAGE LIABILITY	Each Occurrence \$ _____		
		Aggregate \$ _____		
	<b>CONTRACTUAL LIABILITY</b>			
	BODILY INJURY LIABILITY	Each Occurrence \$ _____		
	PROPERTY DAMAGE LIABILITY	Each Occurrence \$ _____		
		Aggregate \$ _____		
Description of Contract(s) Covered:				
	<b>WORKMEN'S COMPENSATION</b>	\$ STATUTORY		

THIS CERTIFICATE OF INSURANCE IS NOT VALID UNLESS IT IS COUNTERSIGNED BY A DULY AUTHORIZED REPRESENTATIVE OF THE COMPANY.

cc: Policyholder  
Producing Agent  
File

† If more than one kind of insurance is written on one policy, the policy number need not be repeated.  
\* Absence of an entry in these spaces means that insurance is not afforded with respect to the coverage opposite thereto.

\_\_\_\_\_  
Authorized Signature

WARRANTY DEED

RECEIVED JUL 6 1979

THIS DEED dated the date set forth hereinbelow between GUSTAV SCHICKEDANZ, Individually and as Trustee, joined by his wife, ANN SCHICKEDANZ, of Toronto, Province of Ontario, Canada, the Grantor, and JOHN B. GAUL and MARGARET M. GAUL, his wife, of 6 Rio Vista Drive, Jensen Beach, Florida 33457, County of Martin, State of Florida, Grantee

WITNESSETH:

That for the sum of Ten and no/100 (\$10.00) Dollars and other good and valuable consideration, said Grantor does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the said Grantee all that certain parcel of land situate in Martin County, Florida, described as follows:

Lot 93, RIO VISTA SUBDIVISION, according to the Plat thereof, filed December 11, 1975, in Plat Book 6, Page 95, Martin County, Florida, Public Records.

SUBJECT HOWEVER, to the following:

1. Taxes accruing subsequent to December 31, 1978;
2. Zoning regulations and ordinances of the Town of Sewall's Point, Florida;
3. The provisions and easements set forth on the aforesaid Plat of Rio Vista Subdivision;
4. The provisions of DECLARATION OF PROTECTIVE COVENANTS COVERING ALL OF RIO VISTA SUBDIVISION, recorded in Official Records Book 393, Page 1469, Martin County, Florida, Public Records, as amended by the First Amendment to Declaration of Protective Covenants covering all of Rio Vista Subdivision recorded in Official Records Book 403, Page 549, Martin County, Florida, Public Records;

and the said Grantor does hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the said Grantor has set forth his hand and seal this 13 day of April, 1979.

WITNESSES:

[Signature] (SEAL)  
Gustav Schickedanz, Individually  
and as Trustee

[Signature] (SEAL)  
Ann Schickedanz

COPY

DOMINION OF CANADA  
PROVINCE OF ONTARIO  
DISTRICT OF YORK

The foregoing Warranty Deed was acknowledged before me by GUSTAV SCHICKEDANZ, Individually and as Trustee, joined by his wife, ANN SCHICKEDANZ, on this 13 day of April, 1979.

(Notary Seal)✓

[Signature]  
Notary Public

My Commission Expires:✓

It Does Not Expire. It is for Life.

This instrument prepared by:  
JOHN FENNIMAN, CHARTERED  
501 E. Osceola Street  
P. O. Box 2473  
Stuart, Florida 33494  
Phone: (305) 287-4300

RECEIVED JUL 6 1979  
Gaul

John Gaul Residence Lot 93 Rio Vista

"U" VALUE CALCULATIONS FOR SUB ASSEMBLIES

TYPE ASSEMBLY	CONC. BLOCK		FRAME		CEILING		R VALUE FRAMING	R VALUE CAVITY
	R VALUE FRAMING	R VALUE CAVITY	R VALUE FRAMING	R VALUE CAVITY	R VALUE FRAMING	R VALUE CAVITY		
FILM EXTERIOR	.17	.17	.17	.17				
SURFACE TREATMENT								
OUTER SHEATING			.77	.77				
FRAMING			4.35					
CAVITY: A. INSULATION				11.00				
B. AIR SPACE								
EXTERIOR SURFACE			.45	.45				
AIR FILM INSIDE	.68	.68	.68	.68	.68	.68		
OTHER								
R <sub>v</sub> = TOTAL			6.42	13.07				
U <sub>o</sub> = 1/R TOTAL			.155	.076				

5/8" Plywood →

1/2" Drywall →

U<sub>o</sub> (OVERALL "U" VALUE (ENVELOPE CALCULATIONS))

TYPE OF ASSEMBLY	DESCRIPTION	ARES	GROSS AREA RATIO	"U" VALUE	"U" X RATIO	
GROSS WALL	Wood Frame	2120				
GLASS	WINDOWS/DOORS	409	.19	1.10	.209	
DOORS	WOOD	73	.034	.49	.016	
BLOCK WALL	FUR CAVITY					
FRAME WALL	STUDS	245.7	.116	.155	.017	
	CAVITY	1392.3	.656	.076	.049	
		TOTAL WALL "U" VALUE =			.291	
CEILING	TRUSS					
GROSS /	CAVITY					
	R-19 Ceiling Insulation	TOTAL CEILING "U" VALUE =			.05	
THIS CODE HOUSE	WALLS					
GROSS/GROSS	CEILING					
		TOTAL CODE HOUSE "U" VALUE =				
		THIS HOUSE COMPLIES LESS THAN				

I hereby Certify that the Design and Construction of this building comply with the Applicable Thermal Energy Efficiency Standard as Required in Part VII, Chapter 553, Florida Statutes. I understand that Falsification of this application may subject me to Prosecution under the Law.

AAA Insulation  
Bill Sheppard

Signature of Owner, or Owners, Authorized Agent

RECEIVED JUL 6 1979

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 12/3/79

This is to request that a Certificate of Approval for Occupancy be issued to Mr. Saul  
For property built under Permit No. 1022 Dated July 11, 1979 when completed in  
conformance with the Approved Plans

Signed [Signature]

RECORD OF INSPECTIONS

Item	Date	Approved by
Set-backs and footings	<u>5/1/79</u>	
Rough plumbing	<u>5/1/79 &amp; 10/4/79</u>	
Slab	<u>5/1/79</u>	
Perimeter beam		
Close-in, roof and rough electric	<u>10/14/79</u>	
Final Plumbing	<u>12/3/79</u>	
Final Electric	<u>12/3/79</u>	
<u>Insulation</u> 10		
Final Inspection for Issuance of Certificate for Occupancy.		
Approved by Building Inspector	<u>[Signature]</u>	date <u>12/3/79</u>
Approved by Building Commissioner	<u>[Signature]</u>	date <u>5<sup>th</sup> Dec '79</u>
Utilities notified	<u>Dec 3, 1979</u>	date

Original Copy sent to \_\_\_\_\_

(Keep carbon copy for Town files)

**1032**

**POOL**

RECORDED  
AUG 3 1979  
1032

TOWN OF SEWALL'S POINT FLORIDA

Date Aug 1, 1979.

Permit No. 1032

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner John B. Gaul Present address Sewalls Pt.

Phone \_\_\_\_\_

Contractor Louden Pools Address 4306 S US #1, Ft Pierce, Fla.

Phone 283-4040

Where licensed Martin County & State License number CPC 010400

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Custom Swimming Pool and patio, Pool Approx 18,000 gal. of water

Lot 93 Rio Vista S/D

State the street address at which the proposed structure will be built:

107 S. River Road

Subdivision Rio Vista Lot No. 93

Contract price \$ 8,000.00 Cost of Permit \$ 40.00

Plans approved as submitted  Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Robert L. Harvey  
Contractor Robert L. Harvey CPC 010400

Louden Bonded Pools

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner John B. Gaul

TOWN RECORD

Date submitted \_\_\_\_\_

Approved: J. Mazzurca Building Inspector Date Aug 3, 1979

Approved: J. Guend Commissioner Date 3 Aug 1979

Final Approval given: completed 11/14/79 Date

Certificate of Occupancy issued \_\_\_\_\_ Date

SP/1-79

Pool Steel & Grounding - OK 10/4/79  
Patio Steel OK 10/23/79

#  
1032

**1099**

**SCREEN**

**ENCLOSURE**



TOWN OF SEWALL'S POINT FLORIDA

RECEIVED JAN 28 1980

Permit No. 1099

Date 1-28-80

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

107 S. River Road

Owner D. Gaul Present address Lot 93 - Rivista

Phone X

Contractor Climate Control Florida Corp Address 2201 SE Julian Street

Phone 283-8010

Where licensed Florida License number CR 001986

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: screen enclosure

State the street address at which the proposed structure will be built:

107 S. River Road

Subdivision Rivista Vista Lot No. Lot 93

Contract price \$ 3086 Cost of Permit \$ 15.00

Plans approved as submitted  Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Contractor LeRoy Fitzgerald

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner D. Gaul

TOWN RECORD

Date submitted

Approved: J. Magagnoli Building Inspector Date 1/28/80

X Approved: Cherry H. Shultz Commissioner Date 1/29/80

Final Approval given: 2/27/80 Jm Date

Certificate of Occupancy issued \_\_\_\_\_ Date

SP/1-79

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

#1099

Handwritten: *use Panel Print*

Ordered: 10-25  
Deck Type: Grey Concrete

# CLIMATROL FLORIDA CORPORATION



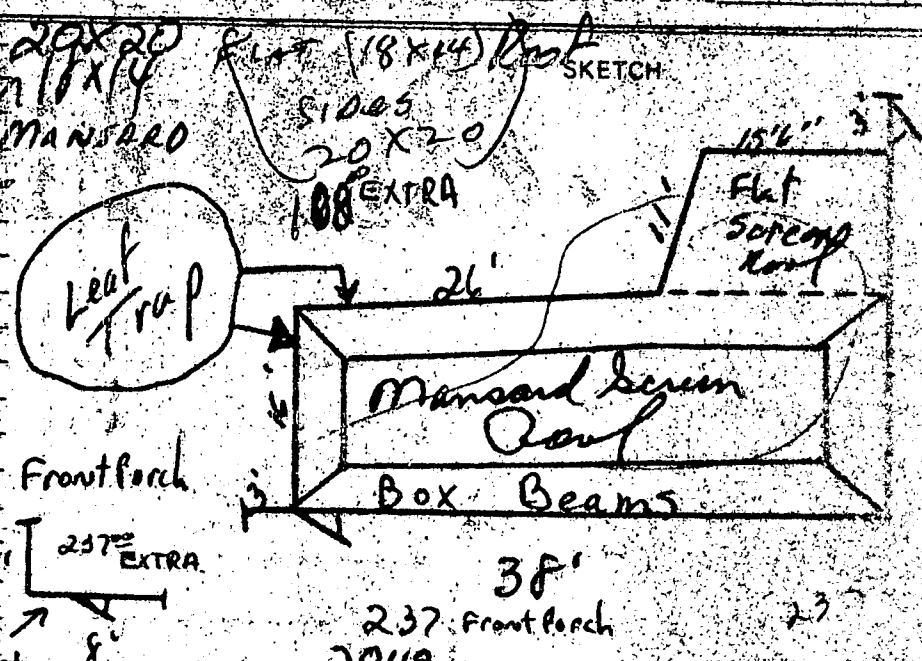
Pat. Pend.  
Originators and Manufacturers of  
Extruded Aluminum Profiles, Roof  
and Screen Materials

CLIMATROL FLORIDA CORP. 529 South Industry Road  
COCOA, FLORIDA 32922  
2201 S.E. Indian St. 1-78 Telephone: 632-0264  
Stuart, Florida 33494  
Ph: 283-8070, W. St Palm: 942-4655  
MELBOURNE (305) 727-2800  
ORLANDO (305) 422-2646  
JACKSONVILLE (904) 269-2201

Job No. \_\_\_\_\_

INSTALLER: *Seaman (Schmandorff "Genl")*  
PHONE: *fill* DATE: *10-25*  
P.O. Box 705 CITY: *Jensen Bch 3345*  
INSTALLATION ADDRESS: *L 93 Rio Vista* CITY: *Sawall's Pt.*  
DELIVERY DATE: \_\_\_\_\_

- SCREEN WALLS COLOR: *Char 18x14*
- ROOF COLOR: *Char 18x14*
- SCREEN DOOR: *NO*
- BEAMS: *BOX TYPE*
- ALUM. ROOF: *NO*
- VINYL STRIPS: *NO*
- CHAIN RAIL: 16" 24" (36)
- FLA. GLASS: *NO*
- KICK PLATE: *NO* SIZE \_\_\_\_\_
- DOORS: (3)
- ELECT. SRS: *T3 & 205*
- COLUMNS: *NO*
- WINDOWS: *NO* TYPE \_\_\_\_\_
- CABLE BRACES: *YES*
- ENGINEER DRAWINGS: \_\_\_\_\_



PERMIT: *20x20 mesh*  
CITY: *93* BLOCK: *mesh* TOTAL PRICE \$ *2849* DEPOSIT \$ \_\_\_\_\_ BALANCE \$ \_\_\_\_\_  
DIVISION: *Rio Vista* *3086*  
THIS PRICE IS BASED ON DIMENSIONS SHOWN IN THE ABOVE SKETCH

### MATERIAL & WORKMANSHIP GUARANTEED FOR 1 YEAR

For the total price including tax the seller agrees to fabricate, deliver and install the screen enclosure described above.

This proposal does not become a contract until accepted and signed by an officer of the seller-company, and if not accepted, any cash payment will be returned.

The terms and other stipulations of this proposal are good for 10 days from date \_\_\_\_\_ and void hereafter.

Attempted, verbally made or \_\_\_\_\_ installation of agreement, written or verbal, not appearing upon the face of this contract shall be binding upon the parties.

Seller expressly reserves all rights in the materials and materials man's lien which may be asserted under any provision of law to secure payment of the contract.

When the screen enclosure is delivered through attorney or by suit or in bankruptcy or probate proceedings, seller may recover and purchase price.

All sums not paid by the customer within 30 days of completion of work unless otherwise stated all sums become due and payable upon completion of work.

Seller agrees to accept responsibility for the filling of orders received, but our performance is subject to delays or cancellations caused by inability to secure materials, transportation shortages and delays, government conscription, priorities, and restraints, and any other cause of your requirements and/or proper measurements and other information and all other causes whether of the same or different character.

Contractor or owner agrees to supply electrical power at job site.

CLIMATROL Florida Corporation will retain title until full payment of obligation of indebtedness is met.

I hereby read the foregoing proposed contract and accept the same on the terms and conditions stated above.

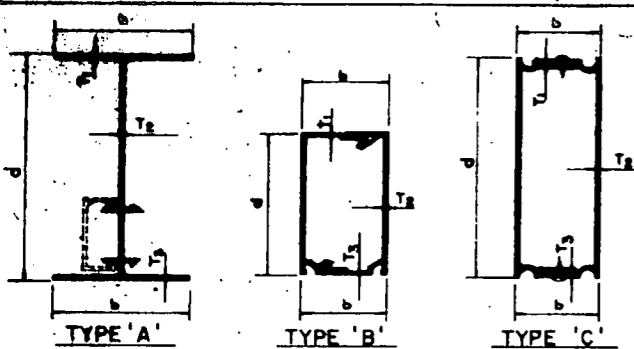
**F.S.P. BRONZE**

PURCHASER: *Paul [Signature]*  
DATE: *10/20/79*

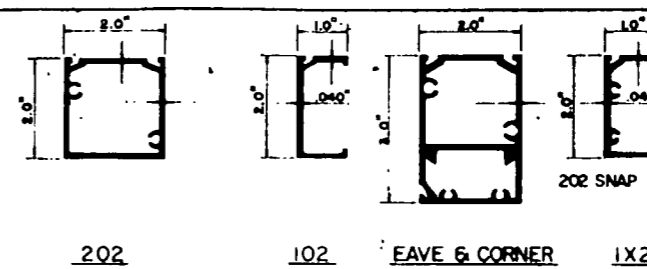
CLIMATROL FLORIDA CORPORATION  
*Michael O. Donsen*

RECEIVED JAN 28 1980

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.



BEAMS AND COLUMNS



MISCELLANEOUS COMPONENTS

BEAM AND COLUMN SCHEDULE											
MARK	TYPE	SIZE			THICKNESS			MAX. BEAM SPAN SPACED E-E			REMARKS
		b	d	b'	T <sub>1</sub>	T <sub>2</sub>	T <sub>3</sub>	6'-0"	7'-0"	8'-0"	
ALL SPANS SHOWN ARE MAXIMUM OUTTO OUT.											
603	A	3.00	6.00	3.00	.094	.060	.094	26'-0"	24'-0"	22'-6"	W/2-1X2'S SNAPPED ON
703	A	3.00	7.00	3.00	.125	.066	.125	32'-0"	29'-9"	28'-0"	DO.
804	A	4.00	8.00	4.00	.125	.070	.125	38'-0"	35'-0"	33'-0"	DO.
1004	A	4.00	10.00	4.00	.140	.096	.140	48'-2"	45'-0"	42'-0"	DO.
302	B	2.00	3.00		.050	.050	.050	12'-0"	11'-0"	10'-0"	
202	MISC.	2.00	2.00		.040	.040	.040	8'-0"	8'-0"	7'-0"	
402	B	2.00	4.00		.060	.050	.060	14'-0"	12'-9"	12'-0"	#10X1/2" S.M.S. AT 24" O.C.
602	C	2.00	6.00		.090	.050	.180	26'-0"	25'-0"	23'-0"	DO.
702	C	2.00	7.00		.140	.060	.180	33'-0"	30'-0"	29'-0"	DO.

COLUMN SCHEDULE											
MARK	TYPE	SIZE			THICKNESS			MAX. COLUMN HT. SPACED E-E			SPACE CHAIR RAIL 6'-0" C/C. MAXIMUM
		b	d	b'	T <sub>1</sub>	T <sub>2</sub>	T <sub>3</sub>	6'-0"	7'-0"	8'-0"	
302	B	2.00	3.00		.050	.050	.050	9'-0"	8'-6"	8'-0"	DO.
402	C	2.00	4.00		.060	.050	.120	14'-8"	11'-6"	10'-10"	DO.

MISCELLANEOUS FASTENING SCHEDULE		
MEMBER	DESCRIPTION	FASTENER
202	STRUT TO 102 AT BEAM	2# 10X3/4" S.M.S.
202	STRUT TO EAVE SECTION	DO.
202	CHAIR RAIL TO COLUMN	DO.
1X2	PERIMETER MEM. JOINED	DO.
1X2	PERIMETER MEM. TO COL.	DO.
1X2	PERIMETER MEM. TO CONC.	ANCHOR AT 24" C-C
1X2	PERIMETER MEM. TO WOOD	#10X2 1/2" S.M.S. 24" C-C

SCREEN WALL CABLE SCHEDULE				
HEIGHT	SPAN	CABLES	SPAN	CABLES
6'-0"	19'-0"	1 SET (2 CABLES)	39'-0"	2 SETS (4 CABLES)
8'-0"	18'-0"	1 SET (2 CABLES)	30'-0"	2 SETS (4 CABLES)
10'-0"	16'-0"	1 SET (2 CABLES)	32'-0"	2 SETS (4 CABLES)
11'-0"	14'-0"	1 SET (2 CABLES)	28'-0"	2 SETS (4 CABLES)
12'-0"	12'-0"	1 SET (2 CABLES)	24'-0"	2 SETS (4 CABLES)

ANCHORS TO CONCRETE & MASONRY SHALL BE 1/4" X 2 1/2" THUNDERBOLTS #10 X 2 1/2" S.M.S. IN JORDAN 1020 ANCHOR OR APPROVED EQUAL.

**DESIGN CRITERIA**

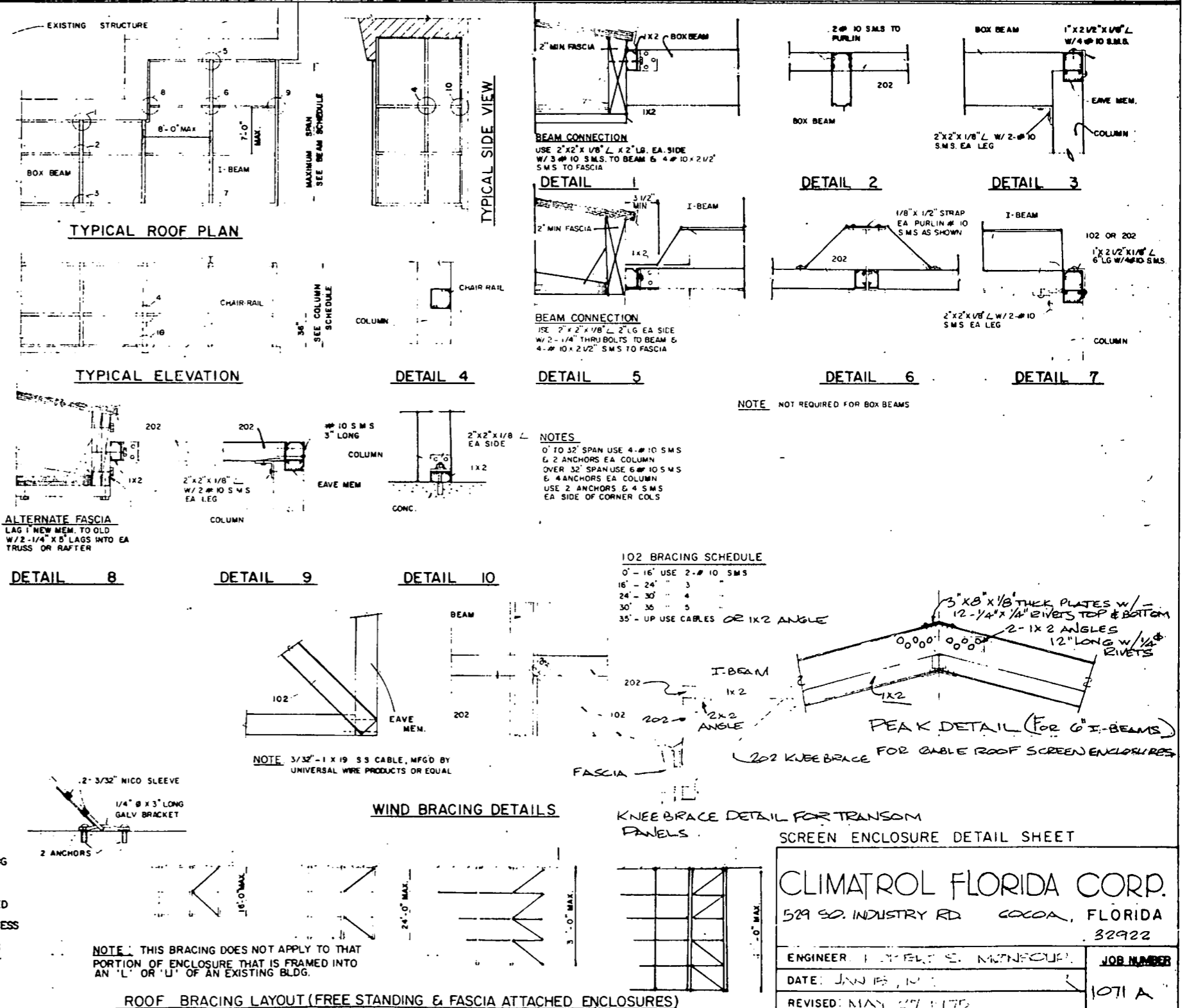
WALLS: DESIGN WIND LOAD IN & OUT 10 PSF.  
 TEST LOAD WIND IN & OUT 15 PSF.

ROOF: DESIGN LIVE LOAD DOWN 6 PSF.  
 DESIGN WIND LOAD UP 6 PSF.  
 TEST LOAD UP & DOWN 9 PSF.

RECOVERY AT TEST LOAD 90% MIN.

**NOTES:**

- 1) ROOF & SIDES SHALL BE COVERED WITH SCREEN CLOTH BEING 60% OR GREATER OPEN. THE ADDITION OF SOLID ROOFING OR SIDING IS NOT COVERED BY THIS SHEET.
- 2) THE EXISTING STRUCTURE MUST BE CAPABLE OF SUPPORTING THE LOADED SCREEN ENCLOSURE.
- 3) 8063-T6 ALUM. ALLOY BEAMS WILL BEAR IDENTIFICATION 1'-FT FROM EACH END OF BEAM.
- 4) USE ADDITIONAL SETS OF CABLES WHERE BEAM SPANS EXCEED THOSE SHOWN IN CABLE SCHEDULE.
- 5) A TOLERANCE OF .006"± IS ALLOWED WHERE WALL THICKNESS EXCEEDS .085.
- 6) EXPOSED FASTENERS SHALL BE NON-MAGNETIC, STAINLESS STEEL OR ALUM. EXCEPT CABLE FASTENERS MAY BE HOT-DIP GALV. STEEL.
- 7) MASONRY ANCHORS SHALL BE MADE OF NON-CORROSIVE METALIC CONST. OR OF VIRGIN P.V.C. PLASTIC.



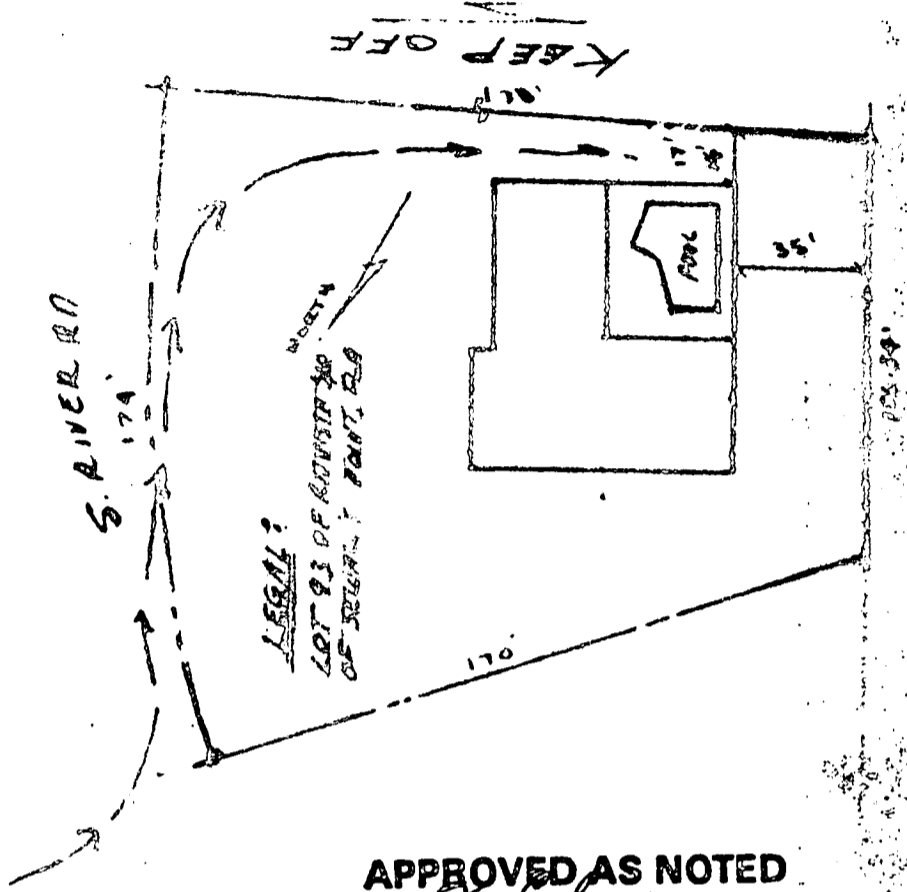
ROOF BRACING LAYOUT (FREE STANDING & FASCIA ATTACHED ENCLOSURES)

CLIMATROL FLORIDA CORP.  
 529 SO. INDUSTRY RD COCOA, FLORIDA 32922

ENGINEER: J. W. FLETCHER, INCORPORATED  
 DATE: JAN 15, 1976  
 REVISED: MAY 27, 1976  
 JOB NUMBER: 1071A  
 JUNE 10, 1976

RECEIVED JAN 28 1980

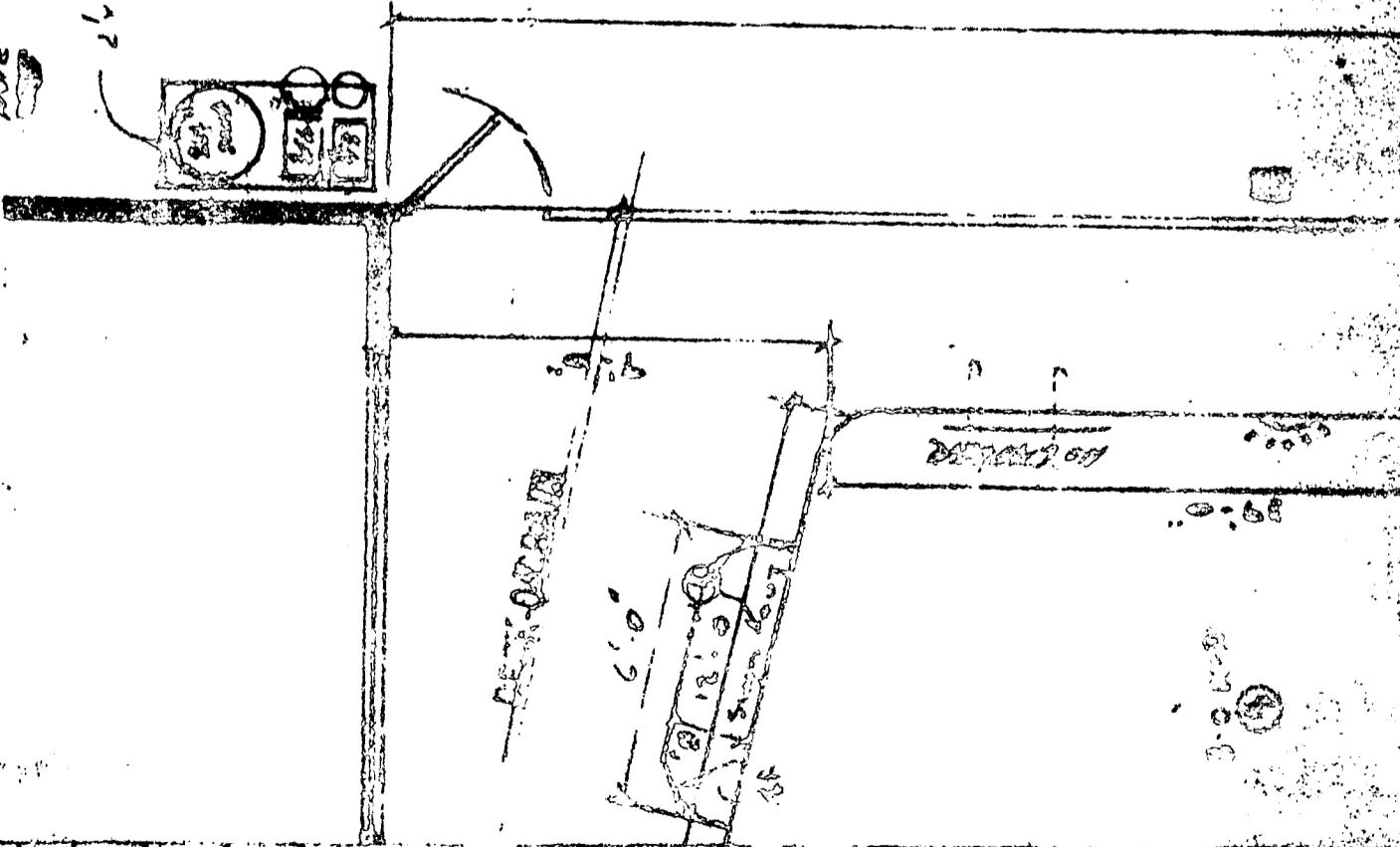
These Plans  
Shall be on  
Job Site at  
All Inspections



APPROVED AS NOTED

DATE 1-16-80 Building Inspector  
SOIL TO BE TERMITE TREATED

NOTE: WASTE RUN UNDER GARAGE  
AND TURN UP 30'  
2 1/2' FILTER PAD



STANDARD

GROUND ENCL...

312  
Handwritten signatures and initials at the bottom of the page.

**2339**

**RE-ROOF**

Permit No. **2339**

Date **Re ROOF**

APPLICATION FOR PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner John Gaul Present Address 107 S River Rd

Phone 283-2941

Contractor PANACHE Const. Address P.O. Box 995, Stuart, FL

Phone 283-2941

Where licensed \_\_\_\_\_ License number C6CA07037

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: \_\_\_\_\_

Single Family - Complete Re-roof

State the street address at which the proposed structure will be built: \_\_\_\_\_

Subdivision \_\_\_\_\_ Lot number \_\_\_\_\_ Block number \_\_\_\_\_

Contract price \$ 6,800.00 Cost of permit \$ 35XX

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor PANACHE Const.

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner John B. Gaul

TOWN RECORD

Date submitted \_\_\_\_\_ Approved: Dale Brown  
Building Inspector \_\_\_\_\_ Date \_\_\_\_\_

Approved: \_\_\_\_\_ Commissioner \_\_\_\_\_ Date \_\_\_\_\_ Final Approval given: \_\_\_\_\_ Date \_\_\_\_\_

Certificate of Occupancy issued (if applicable) \_\_\_\_\_ Date \_\_\_\_\_

SP1282

Permit No. **2339**

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

**2734**

**FENCE**

Permit No. \_\_\_\_\_

Fence

Date \_\_\_\_\_

APPLICATION FOR PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including plot plan showing setbacks; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner JOHN GUAL Present Address 107 S. River Rd.

Phone 283-2941

Contractor UNITED FENCE Address 1210 Rickenbacker Terr.

Phone 335-2627

Where licensed MARTIN License number 00541

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: FENCE REAR + S. SIDE

7' shadow box

State the street address at which the proposed structure will be built: \_\_\_\_\_

Subdivision Rio Vista Lot number 93 Block number \_\_\_\_\_

Contract price \$ 955<sup>00</sup> Cost of permit \$ \_\_\_\_\_

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor George J...

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner John Gual

TOWN RECORD

Date submitted 3.13.90 Approved: DeB... 3/13/90  
Building Inspector Date

Approved: \_\_\_\_\_ Commissioner Date Final Approval given: \_\_\_\_\_ Date

Certificate of Occupancy issued (if applicable) \_\_\_\_\_ Date

SP1282

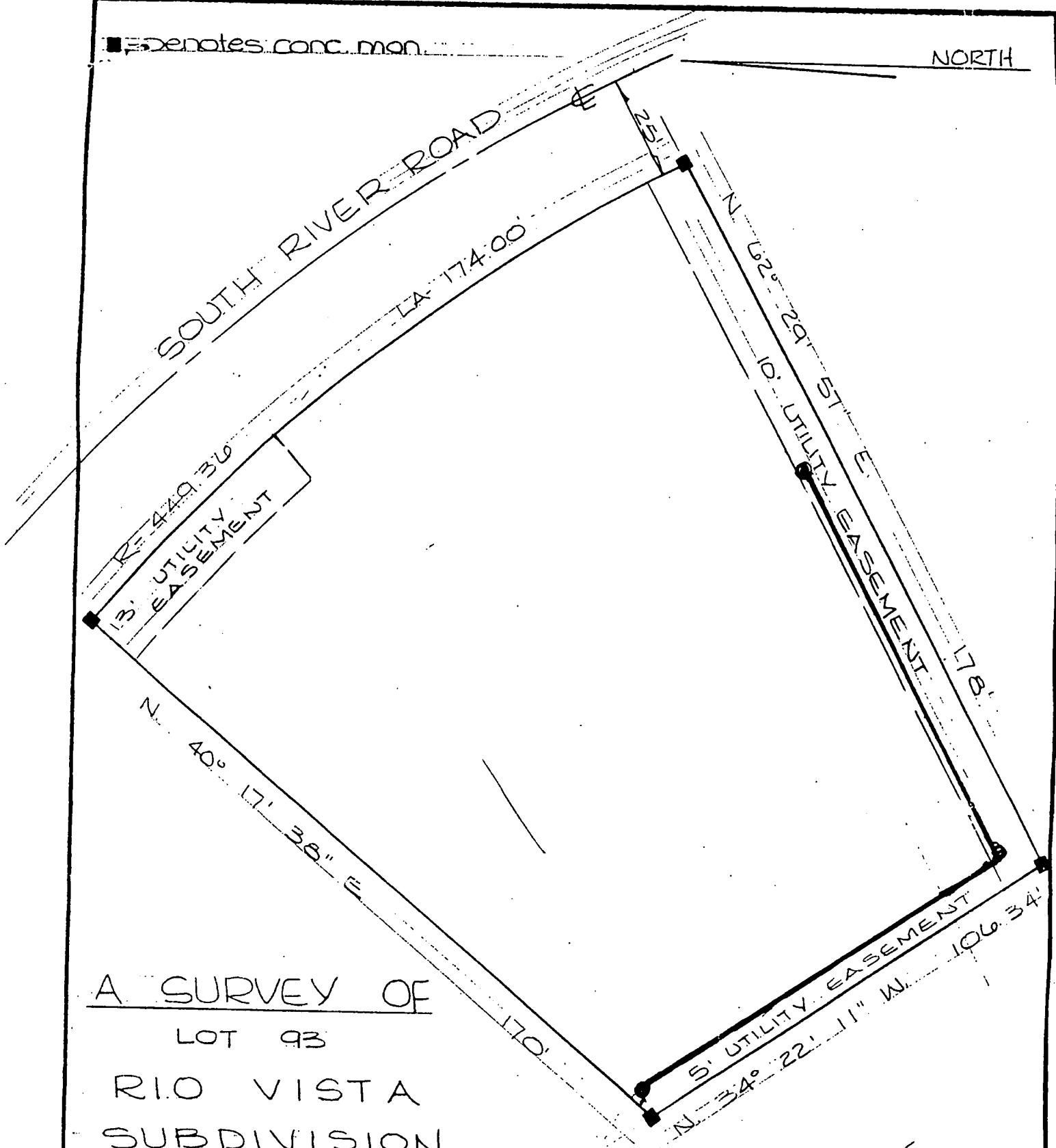
Permit No. \_\_\_\_\_

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.



■ denotes conc. mon.

NORTH



A SURVEY OF  
 LOT 93  
 RIO VISTA  
 SUBDIVISION

MARTIN COUNTY, FLORIDA

for  
 JOHN B. GAUL

This survey meets the minimum technical standards for Land Surveying in Florida, as prescribed in Chapter 21HH-6, F.A.C.

SCALE: 1" = 30'	DATE: 11-26-86	PLAT BOOK: 6	PAGE: 95
-----------------	----------------	--------------	----------

I hereby certify that the sketch shown hereon is a correct representation of a survey done under my direction and is true and correct to the best of my knowledge and belief. There are no encroachments unless otherwise shown.

**DON WILLIAMS & ASSOCIATES, INC.**

LAND SURVEYORS  
 1116 E. OCEAN BLVD. STUART, FLA.

*W.L. Williams*  
 W.L. WILLIAMS  
 R.L.S. FLA. REG. NO. 1272

F.B. \_\_\_\_\_ Page \_\_\_\_\_  
 W.O. # \_\_\_\_\_

TAX FOLIO NO. 123841002000009302000

DATE 1-13-98

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Mr. Gaul Present address 107 S. River Rd  
Sewalls Point

Phone 283-2941

Contractor Gary Marzo Inc. Address P.O. Box 8955

Phone 871-2489 PT ST LUCIE FL 34985

Where licensed SP01121 Martin License number SP01121/RCO058206  
Co.

Electrical Contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing Contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: TO install two 2x4 skylites on existing roof.  
Remove two roof vents & cover openings w/ plywood & shingles.

State the street address at which the proposed structure will be built:

Subdivision Rio Vista Lot Number 93 Block Number \_\_\_\_\_

Contract price \$ 1,025.00 Cost of permit \$ 50.<sup>00</sup>

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-Tagging" the construction project.

Contractor Gary Marzo

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Jim B. Kent

TOWN RECORD

Date submitted \_\_\_\_\_

Approved: \_\_\_\_\_  
Building Inspector Date

Approved:

Final approval given: \_\_\_\_\_

**4337**

**SIDING**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

BUILDING PERMIT NO. 4337

Date 2/18/98

Building to be erected for JOHN B. GAUL Type of Permit SIDING

Applied for by WALTER M. WHITE COAST (Contractor) Building Fee \_\_\_\_\_

Subdivision RIO VISTA Lot 93 Block \_\_\_\_\_ Radon Fee \_\_\_\_\_

Address 107 S. RIVER ROAD Impact Fee \_\_\_\_\_

Type of structure SIDING A/C Fee \_\_\_\_\_

Parcel Control Number: \_\_\_\_\_ Electrical Fee \_\_\_\_\_

12 38 41 002 000 - 00930 200000 Plumbing Fee \_\_\_\_\_

Amount Paid 50 Check # 5397 Cash \_\_\_\_\_ Other Fees (SIDING) 50

Total Construction Cost \$ 4000 TOTAL Fees 50

Signed [Signature] Signed [Signature]

Applicant

Town Building Inspector

See also #4347

## BUILDING PERMIT

FORM BOARD SURVEY	DATE _____	SHEATHING	DATE _____
COMPACTION TESTS	DATE _____	FRAMING	DATE _____
GROUND ROUGH	DATE _____	INSULATION	DATE _____
SOIL POISONING	DATE _____	ROOF DRY-IN	DATE _____
FOOTINGS / PIERS	DATE _____	ROOF FINAL	DATE _____
SLAB ON GRADE	DATE _____	METER FINAL	DATE _____
TIE-BEAMS & COLUMNS	DATE _____	AS BUILT SURVEY	DATE _____
STRAPS AND ANCHORS	DATE _____	STORM PANELS	DATE _____
DRIVEWAY	DATE _____	LANDCAPE & GRADE	DATE _____
AS-BUILT SURVEY	DATE _____	FINAL INSPECTION	DATE <u>2/5/98</u>

4337

FLOOD ZONE \_\_\_\_\_ LOWEST HABITABLE FLOOR ELEV. \_\_\_\_\_

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455

### WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

New Construction    Remodel    Addition    Demolition

**This permit must be visible from the street, accessible to the inspector.  
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,  
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.  
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**

# Town of Sewall's Point

PLN. \_\_\_\_\_

Date 2/11/98

## BUILDING PERMIT APPLICATION

to construct

NEW CONSTRUCTION     ADDITION     ALTERATION     DEMOLITION

RESIDENTIAL     COMMERCIAL    \_\_\_\_\_ SF    \_\_\_\_\_ CF

OTHER: Siding Replacement    CONTRACT PRICE 4000.

Owner's Name John B. Gael

Owner's Address 107 S. River Road

Fee Simple Titleholder's Name (If other than owner) \_\_\_\_\_

Fee Simple Titleholder's Address (If other than owner) \_\_\_\_\_

City Stuart (Sewall's Point) State FL Zip 33496

Contractor's Name Walter M. White Const. Co.

Contractor's Address 3920 N.E. Sugarhill Av.

City Jensen Beach State FL Zip 34957

Job Name John B. Gael

Job Address 107 S. River Road

City Sewall's Point State FL Zip 33496

Legal Description \_\_\_\_\_

Bonding Company NA

Bonding Company Address NA

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Architect/Engineer's Name NA

Architect/Engineer's Address NA

Mortgage Lender's Name NA

Mortgage Lender's Address NA

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

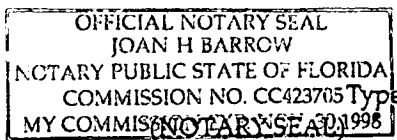
OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

John B. Gaul 2/11/98  
Owner or Agent Date  
Wes H. [Signature] 2/11/98  
Contractor Date

COUNTY OF MARTIN  
STATE OF FLORIDA  
Sworn to and subscribed before me this 11<sup>th</sup> day of Feb, 1998 by  
John B. Gaul who: [] is/are personally known to me, or [] has/have produced \_\_\_  
as identification, and who did not take an oath.



Name: Joan H. Barrow

I am a Notary Public of the State of Florida having a commission number of \_\_\_\_\_ and my commission expires: \_\_\_\_\_

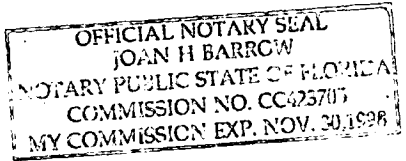
STATE OF FLORIDA  
COUNTY OF MARTIN  
Sworn to and subscribed before me this 11<sup>th</sup> day of Feb, 1998 by Walter M. White  
F.I.D.I. who: [] is/are personally known to me, or [] has/have produced \_\_\_  
as identification, and who did not take an oath.

Name: Joan H. Barrow

Typed, printed or stamped

(NOTARY SEAL)

I am a Notary Public of the State of Florida having a commission number of \_\_\_\_\_ and my commission expires: \_\_\_\_\_



Certificate of Competency Holder

Contractor's State Certification or Registration No. CGC017774

Contractor's Certificate of Competency No. \_\_\_\_\_

APPLICATION APPROVED BY \_\_\_\_\_ Permit Officer

[Signature] Building Commissioner

107 S. RIVER RD

PERMIT # 4337

TAX FOLIO # 12-38-41-002-000-00730

2000

NOTICE OF COMMENCEMENT

STATE OF Florida

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY(INCLUDE STREET ADDRESS IF AVAILABLE):

12 38 41 Rio Vista Lot 93 107 S. River Road

GENERAL DESCRIPTION OF IMPROVEMENT: Siding Replacement/Repair

OWNER: John B. Gaul

ADDRESS: 107 S. River Road, Stuart, FL 33476

PHONE #: 283-2941 FAX #:

CONTRACTOR: Walter M. White Const. Co.

ADDRESS: 3920 N.E. Sugarhill Av., Jensen Beach, FL

PHONE #: 334-5819 FAX #: 334-3551

SURETY COMPANY(IF ANY) NO

ADDRESS:

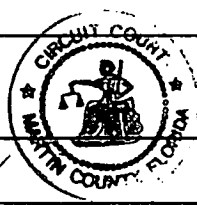
PHONE # FAX #:

BOND AMOUNT: STATE OF FLORIDA MARTIN COUNTY

LENDER: NO THIS IS TO CERTIFY THAT THE FOREGOING PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL

ADDRESS: MARSHA STILLER, CLERK BY: [Signature] D.C.

PHONE #: DATE: 2-18-98 FAX #:



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: NO

ADDRESS:

PHONE # FAX #:

IN ADDITION TO HIMSELF, OWNER DESIGNATES OF TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE # FAX #:

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Signature of John B. Gaul SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 11th DAY OF February 19 98 BY John B. Gaul

NOTARY SEAL: JOAN H BARROW, NOTARY PUBLIC STATE OF FLORIDA, COMMISSION NO. CC423705

PERSONALLY KNOWN [checked] OR PRODUCED ID TYPE OF ID

NOTARY SIGNATURE: [Signature]

**4347**

**PORCH/FACADE**



MASTER PERMIT NO. 4337

TOWN OF SEWALL'S POINT

Date 3/12/98

BUILDING PERMIT NO. 4347

Building to be erected for JOHN B. GAUL Type of Permit \_\_\_\_\_

Applied for by WALTER M. WHITE CONST. (Contractor) Building Fee 50

Subdivision RIO VISTA Lot 93 Block \_\_\_\_\_ Radon Fee \_\_\_\_\_

Address 107 S. SEWALL'S PT. ROAD Impact Fee \_\_\_\_\_

Type of structure PORCH / FACADE A/C Fee \_\_\_\_\_

Parcel Control Number: \_\_\_\_\_ Electrical Fee \_\_\_\_\_

12384100200000930200000 Plumbing Fee \_\_\_\_\_

Amount Paid 50 Check # 5425 Cash \_\_\_\_\_ Other Fees (\_\_\_\_\_) \_\_\_\_\_

Total Construction Cost \$ 6000 TOTAL Fees 50

Signed [Signature] Applicant Signed [Signature] Town Building Inspector

BUILDING PERMIT

FORM BOARD SURVEY	DATE _____	SHEATHING	DATE _____
COMPACTION TESTS	DATE _____	FRAMING	DATE _____
GROUND ROUGH	DATE _____	INSULATION	DATE _____
SOIL POISONING	DATE _____	ROOF DRY-IN	DATE _____
FOOTINGS / PIERS	DATE _____	ROOF FINAL	DATE _____
SLAB ON GRADE	DATE _____	METER FINAL	DATE _____
TIE-BEAMS & COLUMNS	DATE _____	AS BUILT SURVEY	DATE _____
STRAPS AND ANCHORS	DATE _____	STORM PANELS	DATE _____
DRIVEWAY	DATE _____	LANDCAPE & GRADE	DATE _____
AS-BUILT SURVEY	DATE _____	FINAL INSPECTION	DATE _____

FLOOD ZONE \_\_\_\_\_ LOWEST HABITABLE FLOOR ELEV. \_\_\_\_\_

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455

**WORK HOURS - 8:00 AM UNTIL 5:00 PM**

**MONDAY THROUGH SATURDAY**

New Construction  Remodel  Addition  Demolition

This permit must be visible from the street, accessible to the inspector. FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT, NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE. DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

4347

# Town of Sewall's Point

P.L.N. \_\_\_\_\_

Date 3/4/98

## BUILDING PERMIT APPLICATION

to construct

NEW CONSTRUCTION  ADDITION  ALTERATION  DEMOLITION

RESIDENTIAL  COMMERCIAL 340 SF \_\_\_\_\_ CF

OTHER: Frost porch roof & deck # 6000.00  
CONTRACT PRICE 6000.00

Owner's Name John B. Geul

Owner's Address 107 S. River Road, Stuart, FL 33496

Fee Simple Titleholder's Name (If other than owner) \_\_\_\_\_

Fee Simple Titleholder's Address (If other than owner) \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Contractor's Name Walter M. White Const Co.

Contractor's Address 3920 N.E. Sugarhill Dr. Jensen Beach, FL 33457

City Jensen Beach State FL Zip 34957

Job Name Geul - Frost Porch

Job Address 107 S. River Rd.

City Stuart (Sewall's Point) State FL Zip 33496

Legal Description \_\_\_\_\_

Bonding Company NA

Bonding Company Address NA

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Architect/Engineer's Name \_\_\_\_\_

Architect/Engineer's Address \_\_\_\_\_

Mortgage Lender's Name NA

Mortgage Lender's Address NA

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

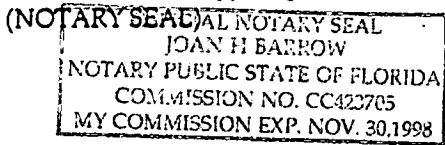
IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Owner or Agent: John B. Gavel Date: 3/12/98  
Contractor: [Signature] Date: 3/4/98

COUNTY OF MARTIN  
STATE OF FLORIDA

Sworn to and subscribed before me this 12<sup>th</sup> day of March 1998 by John B. Gavel  
who: [] is/are personally known to me, or [] has/have produced \_\_\_\_\_  
as identification, and who did not take an oath.

Name: Joan H. Barrow  
Typed, printed or stamped

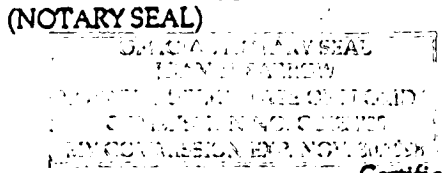


I am a Notary Public of the State of Florida having a commission number of \_\_\_\_\_ and my commission expires: \_\_\_\_\_

STATE OF FLORIDA  
COUNTY OF MARTIN

Sworn to and subscribed before me this 12<sup>th</sup> day of Mar 1998 by W. White  
who: [] is/are personally known to me, or [] has/have produced \_\_\_\_\_  
Fl. d. l. as identification, and who did not take an oath.

Name: Joan H. Barrow  
Typed, printed or stamped



I am a Notary Public of the State of Florida having a commission number of \_\_\_\_\_ and my commission expires: \_\_\_\_\_

Certificate of Competency Holder

Contractor's State Certification or Registration No. CGC 017774

Contractor's Certificate of Competency No. \_\_\_\_\_

APPLICATION APPROVED BY \_\_\_\_\_ Permit Officer

\_\_\_\_\_ Building Commissioner

**4319**

**SKYLIGHT**

MASTER PERMIT NO. \_\_\_\_\_

**TOWN OF SEWALL'S POINT**

Date ~~1238~~ 1/16/98

BUILDING PERMIT NO. 4319

Building to be erected for CAUL

Type of Permit SKYLIGHT

Applied for by GARY MARZO INC.

(Contractor)

Building Fee \_\_\_\_\_

Subdivision RID VISTA Lot 93 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 107 S. RIVER ROAD

Impact Fee \_\_\_\_\_

Type of structure SKYLIGHT

A/C Fee \_\_\_\_\_

Electrical Fee \_\_\_\_\_

Parcel Control Number:

Plumbing Fee \_\_\_\_\_

12384100200000 93020000

Roofing Fee 50

Amount Paid 50- Check # 5565 Cash \_\_\_\_\_

Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 1025

TOTAL Fees 50

Signed Gary Marzo  
Applicant

Signed [Signature]  
Town Building Inspector

# RE-ROOFING PERMIT

INSPECTIONS

DRY IN  
PROGRESS

DATE \_\_\_\_\_  
DATE \_\_\_\_\_

PROGRESS  
FINAL

DATE \_\_\_\_\_  
DATE \_\_\_\_\_

1/20/98  
[Signature]

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

**WORK HOURS - 8:00 AM UNTIL 5:00 PM**

MONDAY THROUGH SATURDAY

New Construction  Remodel  Addition  Demolition

This permit must be visible from the street, accessible to the inspector.

**FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,  
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.  
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**

TO BE COMPLETE WHEN CONSTRUCTION VALUE IS \$2500.00 OR MORE

PERMIT # \_\_\_\_\_

TAX FOLIO # 12-38-41-002-000-00930

2000

NOTICE OF COMMENCEMENT

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENTS WILL BE MADE CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS, IF KNOWN)

12 38 41 Rio Vista Lot 93 107 S. River Road

GENERAL DISCRETION OF IMPROVEMENTS

Front porch  
part of deck

OWNER:

John B. Gaul

ADDRESS:

107 S. River Road

OWNER'S INTEREST IN PROPERTY:

100%

FEE SIMPLE TITLE HOLD (IF OTHER THAN OWNER):

ADDRESS:

CONTRACTOR:

Walter M. White Const. Co.

ADDRESS:

3920 N.E. Sugarhill Dr. Jensen Beach, FL

SURETY COMPANY (IF ANY)

NA

ADDRESS:

LENDER'S NAME:

NA

ADDRESS:

PERSON WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.3(1) (A)7., FLORIDA STATUTES:

NAME:

Walter White

ADDRESS:

3920 N.E. Sugarhill Dr. Jensen Beach, FL  
34957

IN ADDITION TO HIMSELF, OWNER DESIGNATES W. White TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13 (1) (B), FLORIDA STATUTES.

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED.

SIGNATURE OF OWNER

John B. Gaul

STATE OF

Florida

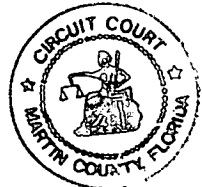
COUNTY OF

Martin

STATE OF FLORIDA  
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL

BY Marsha Stiller D.C.  
DATE 3-15-98



THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 12<sup>th</sup> DAY OF March, 1998 BY John B. Gaul WHO IS KNOWN TO ME OR WHO PRODUCED \_\_\_\_\_ AND WHO DID NOT TAKE AN OATH.

NOTARY SIGNATURE

Joan H. Barrow

OFFICIAL NOTARY SEAL  
JOAN H. BARROW  
NOTARY PUBLIC STATE OF FLORIDA  
COMMISSION NO. CC425705  
MY COMMISSION EXP. NOV. 30, 1998

**4703**

**DRIVEWAY**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 10/15/99

BUILDING PERMIT NO. 4703

Building to be erected for JOHN GAUL

Type of Permit D/W REPL.

Applied for by CONVERY CONCRETE

(Contractor) Building Fee 134.40

Subdivision RIO VISTA Lot 93 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 107 S. RIVER RD.

Impact Fee \_\_\_\_\_

Type of structure S.F.R.

A/C Fee \_\_\_\_\_

Parcel Control Number: \_\_\_\_\_

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Amount Paid \$147.84 Check # 6841 Cash \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Other Fees (PLAN REVIEW) 13.44

Total Construction Cost \$ 14,000.00

TOTAL Fees 147.84

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Inspector

# ~~REPL~~ D/W REPL. BUILDING PERMIT

<del>FORM BOARD SURVEY</del>	<del>DATE _____</del>	<del>SHEATHING</del>	<del>DATE _____</del>
<del>COMPACTION TESTS</del>	<del>DATE _____</del>	<del>FRAMING</del>	<del>DATE _____</del>
<del>GROUND ROUGH</del>	<del>DATE _____</del>	<del>INSULATION</del>	<del>DATE _____</del>
<del>SOIL POISONING</del>	<del>DATE _____</del>	<del>ROOF DRY-IN</del>	<del>DATE _____</del>
<del>FOOTINGS / PIERS</del>	<del>DATE _____</del>	<del>ROOF FINAL</del>	<del>DATE _____</del>
<del>SLAB ON GRADE</del>	<del>DATE _____</del>	<del>METER FINAL</del>	<del>DATE _____</del>
<del>TIE-BEAMS &amp; COLUMNS</del>	<del>DATE _____</del>	<del>AS BUILT SURVEY</del>	<del>DATE _____</del>
<del>STRAPS AND ANCHORS</del>	<del>DATE _____</del>	<del>STORM PANELS</del>	<del>DATE _____</del>
<del>DRIVEWAY</del>	<del>DATE _____</del>	<del>LANDSCAPE &amp; GRADE</del>	<del>DATE _____</del>
<del>AS-BUILT SURVEY</del>	<del>DATE _____</del>	<del>FINAL INSPECTION</del>	<del>DATE _____</del>

FLOOD ZONE \_\_\_\_\_ LOWEST HABITABLE FLOOR ELEV. \_\_\_\_\_

**24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455**  
**WORK HOURS - 8:00 AM UNTIL 5:00 PM**  
**MONDAY THROUGH SATURDAY**

New Construction    Remodel    Addition    Demolition

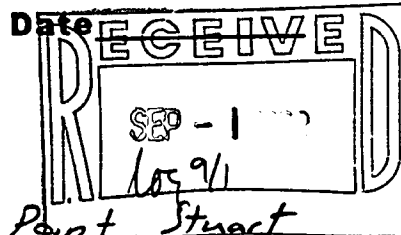
**This permit must be visible from the street, accessible to the inspector.**  
**FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,**  
**NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.**  
**DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**



Bldg. Pmt# \_\_\_\_\_

# Town of Sewall's Point

## BUILDING PERMIT APPLICATION



Owner's Name: Mr & Mrs John Gaul Phone No. \_\_\_\_\_  
Owner's Present Address: 107 South River Road Sewall's Point, Stuart  
Fee Simple Titleholder's Name & Address if other than owner \_\_\_\_\_

Location of Job Site: 107 South River Road  
TYPE OF WORK TO BE DONE: Remove existing concrete + replace footprint with Benin's Concrete  
CONTRACTOR INFORMATION  
Contractor/Company Name: Connery Concrete Phone No. 561-231-1224  
COMPLETE MAILING ADDRESS: 946A Beachland Blvd Vero Beach, FL 32963 FAX 561  
State Registration Florida State License CGC 023769 231-  
Legal Description of Property \_\_\_\_\_ 5582  
Parcel Number LOT 93 Rio Vista Subdivision

### ARCHITECT/ENGINEER INFORMATION

Architect \_\_\_\_\_ Phone No. \_\_\_\_\_  
Address \_\_\_\_\_  
Engineer \_\_\_\_\_ Phone No. \_\_\_\_\_  
Address \_\_\_\_\_

Area Square Footage: Living Area \_\_\_\_\_ Garage Area \_\_\_\_\_ Carport \_\_\_\_\_  
Accessory Bldg. \_\_\_\_\_ Covered Patio \_\_\_\_\_ Scr. Porch \_\_\_\_\_ Wood Deck \_\_\_\_\_  
Type Sewage: \_\_\_\_\_ Septic Tank Permit # from Health Dept. \_\_\_\_\_  
NEW electrical SERVICE SIZE \_\_\_\_\_ AMPS

### FLOOD HAZARD INFORMATION

flood zone \_\_\_\_\_ minimum Base Flood Elevation (BFE) \_\_\_\_\_ NGVD  
proposed finish floor elevation \_\_\_\_\_ NGVD (minimum 1 foot above BFE)  
Cost of construction or Improvement \$14,000  
Fair Market Value (FMV) prior to improvement \_\_\_\_\_  
Substantial Improvement 50% of FMV yes \_\_\_\_\_ No \_\_\_\_\_  
Method of determining FMV \_\_\_\_\_

### SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)

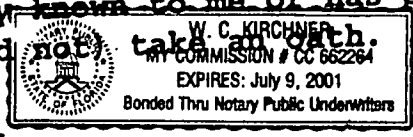
Electrical \_\_\_\_\_ State License \_\_\_\_\_  
Mechanical \_\_\_\_\_ State License# \_\_\_\_\_  
Plumbing \_\_\_\_\_ State License# \_\_\_\_\_  
Roofing \_\_\_\_\_ State License# \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

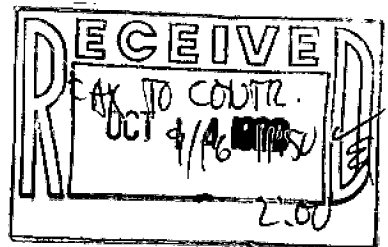
### OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE George B. Marshall  
Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, 1998 by \_\_\_\_\_ who is personally known to me or has produced or has produced \_\_\_\_\_ and who did (did not) take an oath.  
CONTRACTOR SIGNATURE George B. Marshall  
Sworn to and subscribed before me this 1 day of September, 1998 by GEORGE B. MARSHALL who is personally known to me or has produced \_\_\_\_\_ and who did (did not) take an oath.  
FL. DL. 11624-302-40-350-0





**TOWN OF SEWALL'S POINT**  
**BUILDING DEPARTMENT**  
 One South Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel: (561) 287-2455  
 Fax: (561) 220-4765



XMA  
XPG

2:15 OK S

### PLAN REVIEW NOTES

SINGLE FAMILY RESIDENCE;  ADDITION;  DOCK;  POOL;  FENCE;  D/W REPL.

OWNER: JOHN GAUL; ADDRESS: 107 S. RIVER RD.

PROJECT ADDRESS: (SAME); LEGAL: LOT 93 BLK      SUB RIO VISTA

GENERAL CONTRACTOR: CONNERY CONCRETE; LIC/CERT No. CGC 023769  
(561)

ADDRESS: 946 A BEACHLAND BLVD., VERO BEACH 32963; TEL 231-1224; FAX 231-5582

ARCHITECT OR ENGINEER: N/R; LIC/REG. No.     

ADDRESS:     ; TEL     ; FAX     

Review of the application, supporting documents, plans and specifications submitted on the above project indicate the following items are required for submittal and/or revision:

1. CERTIFICATE OF INSURANCE (LIAB & W/C) w/ TOWN OF SEWALL'S POINT AS CERTIFICATE HOLDER.
2. COPY OF LICENSE
3. IDENTIFICATION/SIGNATURE/DATE: PERMEABLE/NON-PERMEABLE AREA CALCULATION PREPARER.
4. PROOF OF NOTICE - SUBDIVISION REVIEW/APPROVAL

NOTE: TECHNICAL SUBMITTALS APPROVED  
 ABOVE DOCUMENTATION MAY BE SUBMITTED AT TIME OF PERMIT ISSUANCE (PERMIT FEE = 134.40)  
 + 13.44  
 \$147.84

APPROVED FOR PERMIT ISSUANCE UPON COMPLIANCE.

Prepared By: [Signature] Title: Bldg. Official Date: 9/13/99

John Gaul  
Lot 93  
Rio Vista

S.F. Excluding Right of Way

Sq Ft of Lot 93 = 25,200 SF

Size of house, pool etc = 4,900 SF

Size of Exist + New Driveway  
+ Walkway 3,003 SF

Total House + Driveway 7,903 SF

Remaining SF of Grass 17,297 SF

Non-building / grass = 68.6% of lot.  
Build Area 31.3%

LOT 93 Rio Vista Subdivision  
Mr John Gaul  
107 South River Road  
Sewall's Point

50 FT of LOT 93 = 25,200 SF.  
Excluding Right of Way Area.

House	4,210 SF
Pool & Enclosure	690 SF
Driveway + Walk	3,003 SF
	<hr/>
	7,903 SF

Non-Permissible area 31.4%

# Connery Concrete - Specs

Bomanite Stamped Colored Concrete

2,500 PSI Concrete

4" Thick 6" at Edges + Roadway Apron

Wire-mesh Throughout

# 4 Rod around Perimeter

Saw cut joints for Expansion/Contraction

AC# 5310507

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONST. INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NO.
09/10/1998	98700787	CG -0023769

The GENERAL CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 409  
Expiration date: AUG 31 2000 FS.

CONNERY, JAMES JOSEPH  
CONNERY CORP  
946A BEACHLAND BLVD  
VERO BEACH FL 32963

LAWTON CHILES  
GOVERNOR

DISPLAY AS REQUIRED BY LAW

RICHARD T. FARRELL  
SECRETARY



STATE OF FLORIDA

AC# 5310507

DEPARTMENT OF BUSINESS AND  
PROFESSIONAL REGULATION

CG C023769 09/10/1998 98900987

CERTIFIED GENERAL CONTRACTOR  
CONNERY, JAMES JOSEPH  
CONNERY CORP

IS CERTIFIED under the provisions of Ch. 489 FS.

Expiration Date: AUG 31, 2000

DATE (MM/DD/YY)  
FEB 18 99

**ACORD CERTIFICATE OF LIABILITY INSURANCE**

**PRODUCER**  
SID BANACK INSURANCE AGENCY  
2045 14TH AVE.  
VERO BEACH FL 32961

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**COMPANIES AFFORDING COVERAGE**

**INSURED**  
CONNERY CONCRETE  
D/B/A CONNERY CORPORATION  
848A BEACHLAND BLVD  
VERO BEACH FL 32963

COMPANY A: AUTO OWNERS INS CO  
COMPANY B: ZC INSURANCE CO  
COMPANY C: OWNERS INS CO  
COMPANY D: \_\_\_\_\_  
COMPANY E: \_\_\_\_\_

**COVERAGES**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

(DISR LTR)	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
C	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	912312-20526087-99	JAN 1 99	JAN 1 00	EACH OCCURRENCE \$ 500,000 FIRE DAMAGE (Any One Fire) \$ 100,000 MED. EXP (Any One Person) \$ 10,000 PERSONAL & ADV INJURY \$ 500,000 GENERAL AGGREGATE \$ 1,000,000 PRODUCTS-COMP/OP AGG \$ 600,000
	GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO. ACCT <input type="checkbox"/> LOC				
A	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	96-235-470-00	DEC 23 98	DEC 23 99	COMBINED SINGLE LIMIT (EA accident) \$ 500,000 BODILY INJURY (Per person) \$ _____ BODILY INJURY (Per accident) \$ _____ PROPERTY DAMAGE \$ _____
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO AUTO ONLY - EA ACCIDENT \$ _____ OTHER THAN AUTO ONLY EA ACC \$ _____ AGG \$ _____				
B	EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE RETENTION \$ _____	19717454098	JAN 1 99	JAN 1 00	EACH OCCURRENCE \$ _____ AGGREGATE \$ _____ \$ _____ \$ _____
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATE POLY LIMIT \$ _____ E.L. DISEASE-EA EMPLOYEE \$ 100,000 E.L. DISEASE-POLY LIMIT \$ 500,000

**DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS**

231-5582  
FAX TO: 581-778-2142

**CERTIFICATE HOLDER**

RF CONCRETE CONSTRUCTION  
664 OLD DIXIE HIGHWAY  
VERO BEACH, FL 32965

ADDITIONAL INSURED; INSURER LETTER:

**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT. BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

*[Signature]*

Attention:

Certificate # 6713



# NOTICE OF COMMENCEMENT

(PREPARE IN DUPLICATE)

State of Florida  
County of Martin

The undersigned hereby informs all concerned that improvements will be made to certain real property, and in accordance with section 713.13 of the Florida Statutes, the following information is stated in this NOTICE OF COMMENCEMENT.

Legal description of property (include Street Address, if available) LOT 93 Rio Vista Subdivision  
107 South River Road, Sewall's Point 34996

General description of improvements Remove and replace concrete Driveway with Pavers

Owner Mr & Mrs John Gaul  
Address 107 South River Road Sewall's Point, Martin County 34996

Owner's interest in site of the improvement  
Fee Simple Title holder (if other than owner)

Name  
Address

Contractor Connery Concrete  
Address 946 A Beachland Blvd. Vero Beach, FL 32963

Surety (if any)  
Address  
Any person making a loan for the construction of the improvements:

Name  
Address  
Person within the State of Florida designated by owner upon whom notices or other documents may be served:

Name  
Address  
In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (b), Florida Statutes. (Fill in at Owner's option).

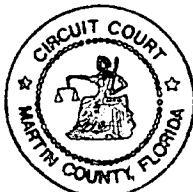
Name  
Address

THIS SPACE FOR SECURITY FUND USE ONLY

STATE OF FLORIDA  
MARTIN COUNTY

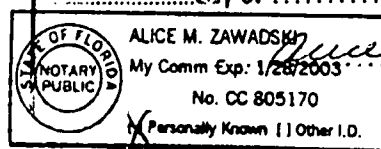
THIS IS TO CERTIFY THAT THE  
FOREGOING 1 PAGES IS A TRUE  
AND CORRECT COPY OF THE ORIGINAL.

BY [Signature] D.C.  
DATE 9.3.99



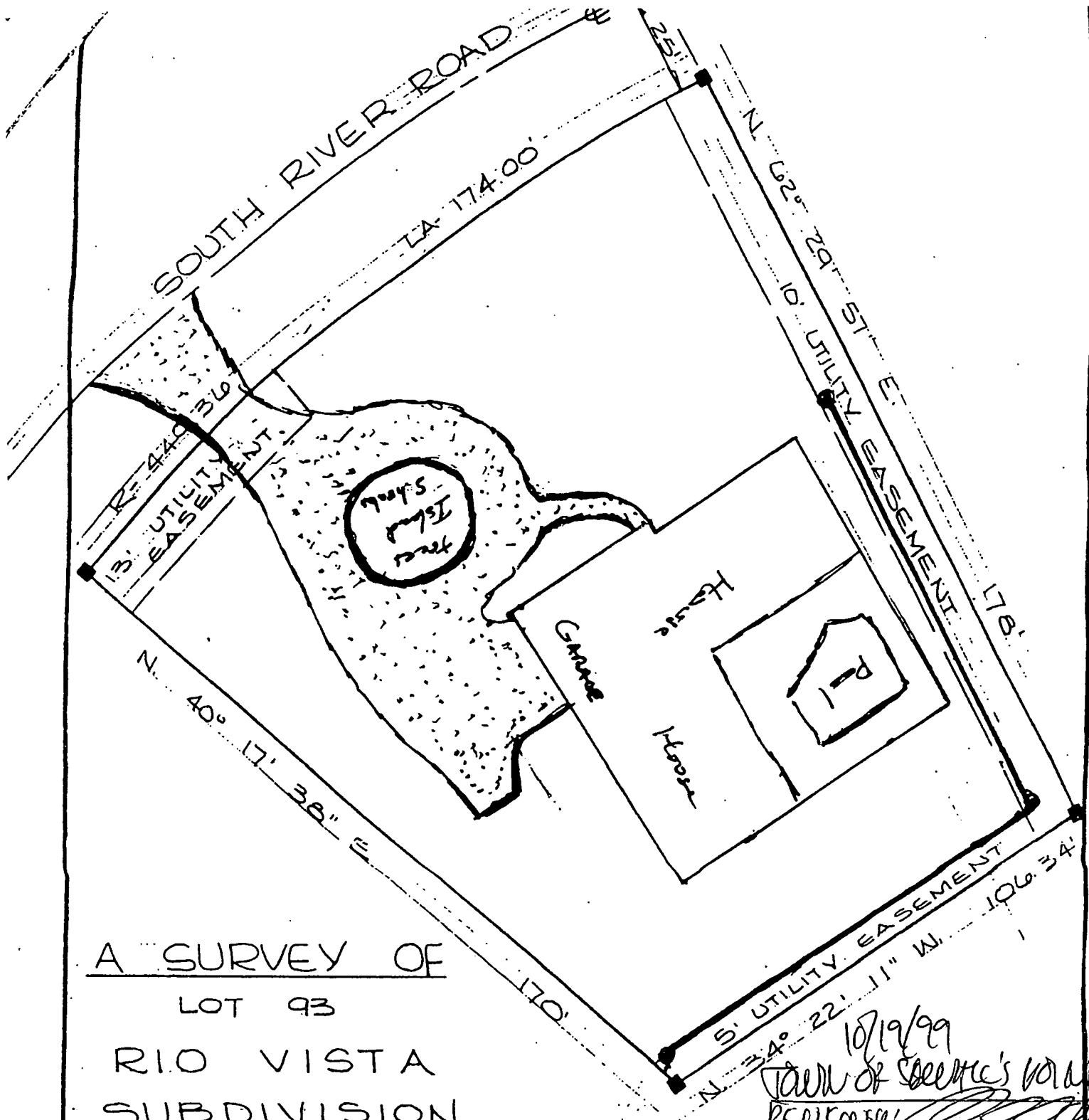
[Signature]  
Owner

Sworn to and subscribed before me this 2nd  
day of SEPTEMBER 1999



[Signature]  
Notary Public

Personally Known  Other I.D.



A SURVEY OF  
 LOT 93  
 RIO VISTA  
 SUBDIVISION

MARTIN COUNTY, FLORIDA

for

JOHN B. GAUL

10/19/99  
 TOWN OF SELENA'S BOARD  
 RELIEVED  
 [Signature]

TOWN COPY

Scale 1" = 30' 107 S. RIVER RD

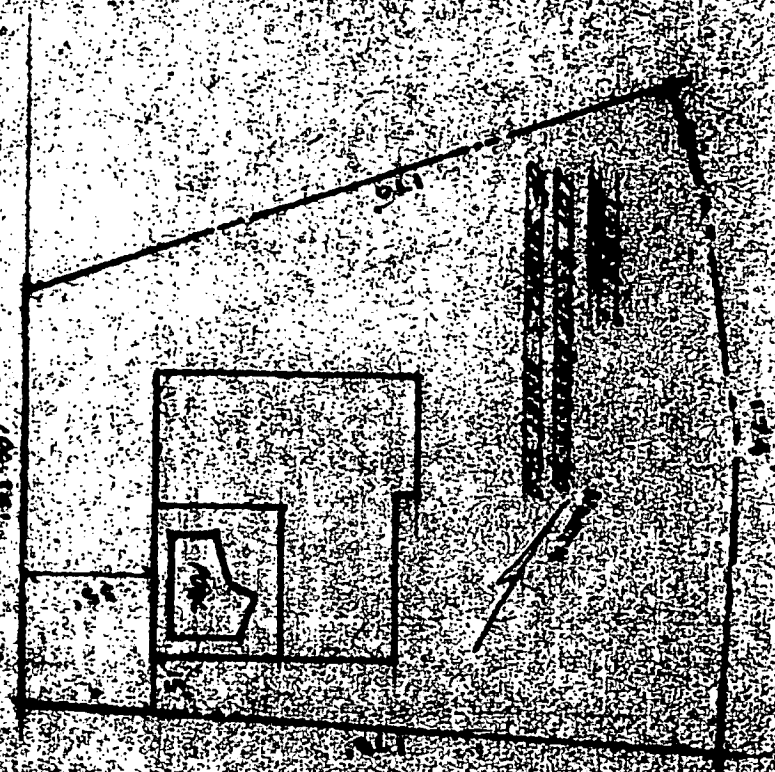
This survey meets the minimum technical standards for Land Surveying in Florida, as prescribed in Chapter 21HH-6, F.A.C.

PN 4705

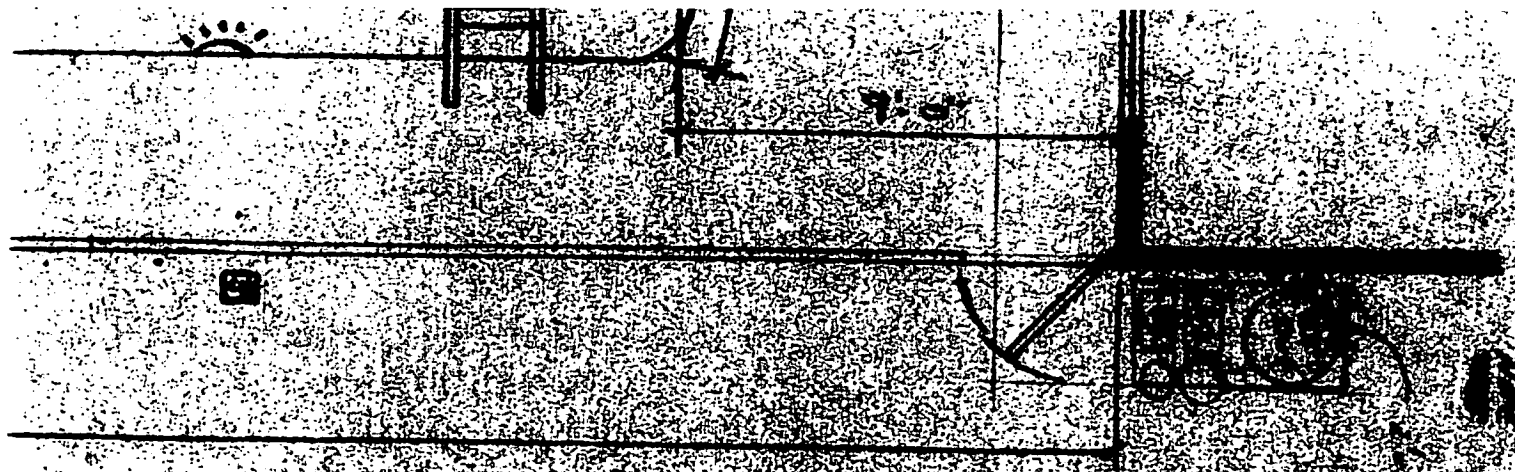
MISSIE KID, JAMES GAWND  
AND WANDA W. SO

11-11-1960

Scale 1/4" = 50'



106'-5 1/2"  
175'





1998 - 1999 South

## Town of Sewall's Point Building Department - Inspection Log

10-2-99

PAGE 1 OF 3

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4555	Read 13 Simara	c.o. walk- thru	W/OWNER & CONTRACTOR	2 PART CODE PROVISIONS (GARAGE SEPARATION EXIST. DISC.; A/C DECK)
/	/	/	/	/
4573	K... 108 Addie	... -thru	W/OWNER & CONTRACTOR	ROSS 379-6222 call before (482 4555) + 3/2" HGT DIFFER.
4123	... ...	pre-pour D/W	PASSED	
4679	Schultz 64 S.S.F Rd.	final dock	FAILED	PERMIT DOCS. ILLEGIBLE - WAIVER DAMAGED; SURVEY VERIFICATION OF DOCK LOCATION REQUIRED
4684	Laraway 15 Middle Rd.	pool deck fading	FAILED	2 REPAIR POOL EQUIV (DECK) (@ STREET FTG) - 300 PER REPAIR
4706	TOWN OF SEWALL'S POINT 2 S. SEWALL'S PT RD (TOWN PARK)	FINAL - METER RELOCATE	PASSED	9.05 10/22. called PPL (STER) for power release.

OTHER:

INSPECTOR:

DATE: 10/22/99

**6404**

**RE-ROOF**

**TOWN OF SEWALL'S POINT**

Date 8/29/03

BUILDING PERMIT NO. 6404

Building to be erected for GAUL

Type of Permit RE ROOF

Applied for by PACIFIC ROOFING (Contractor)

Building Fee 120.00

Subdivision RIO VISTA Lot 93 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 107 S. RIVER ROAD

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Parcel Control Number:

1238410020000093020000

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Amount Paid 120.00 Check # 3370 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 14,000.00

TOTAL Fees 120.00

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

**PERMIT**

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL    |
| <input type="checkbox"/> PLUMBING         | <input checked="" type="checkbox"/> ROOFING  | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE         |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS           |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION    |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL            | <input type="checkbox"/> ADDITION      |

**INSPECTIONS**

- |                                   |                              |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____        | UNDERGROUND GAS _____        |
| UNDERGROUND MECHANICAL _____      | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____            | FOOTING _____                |
| SLAB _____                        | TIE BEAM/COLUMNS _____       |
| ROOF SHEATHING _____              | WALL SHEATHING _____         |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____                   |
| ROOF TIN TAG/METAL _____          | ROOF-IN-PROGRESS _____       |
| PLUMBING ROUGH-IN _____           | ELECTRICAL ROUGH-IN _____    |
| MECHANICAL ROUGH-IN _____         | GAS ROUGH-IN _____           |
| FRAMING _____                     | EARLY POWER RELEASE _____    |
| FINAL PLUMBING _____              | FINAL ELECTRICAL _____       |
| FINAL MECHANICAL _____            | FINAL GAS _____              |
| FINAL ROOF _____                  | BUILDING FINAL _____         |

Town of Sewall's Point

BUILDING PERMIT APPLICATION

RECEIVED

Building Permit Number: **6404**

Owner or Titleholder Name: **JOHN GALL**

AUG 27 2005

City: **Stuart**

State: **FL**

Zip: **34992**

Legal Description of Property: **RIO VISTA**

Parcel Number: **12-38-41-002-000-0093.02**

Location of Job Site: **107 S. RIVER ROAD**

Type of Work To Be Done: **RE-ROOF SHINGLE to SHINGLE**

CONTRACTOR/Company Name: **PACIFIC Roofing**

Phone Number: **283-7663**

Street: **P.O. Box 2697**

City: **Stuart**

State: **FL**

Zip: **34995**

State Registration Number: \_\_\_\_\_ State Certification Number: **CCC056793** Martin County License Number: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof **5,400 S.F.** Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

Type Sewage: \_\_\_\_\_ Septic Tank Permit Number From Health Dept. \_\_\_\_\_ Well Permit Number: \_\_\_\_\_

FLOOD HAZARD INFORMATION Flood Zone: \_\_\_\_\_ Minimum Base Flood Elevation (BFE): \_\_\_\_\_ NGVD

Proposed First Floor Habitable Floor Finished Elevation: \_\_\_\_\_ NGVD (Minimum 1 Foot Above BFE)

COST AND VALUES Estimated Cost of Construction or Improvements: \_\_\_\_\_ Estimated Fair Market Value (FMV) Prior

To Improvements **14,000** If Improvement, Is Cost Greater Than 50% Of Fair Market Value YES \_\_\_\_\_ NO \_\_\_\_\_

SUBCONTRACTOR INFORMATION

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: **PACIFIC Roofing** State: **FL** License Number: **CCC056793**

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNANCE, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION

Florida Building Code (Structural, Mechanical, Plumbing, Gas) \_\_\_\_\_ South Florida Building Code (Structural, Mechanical, Plumbing, Gas) \_\_\_\_\_

National Electrical Code \_\_\_\_\_ Florida Energy Code \_\_\_\_\_

Florida Accessibility Code \_\_\_\_\_

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (Required) *John Gall*

CONTRACTOR SIGNATURE (Required) *Richard Gones*

State of Florida, County of: **Indian River**

On State of Florida, County of: **Martin**

This the **28** day of **August**, 2005

This the **28** day of **August**, 2005

by **John Gall** who is personally known to me or produced as identification.

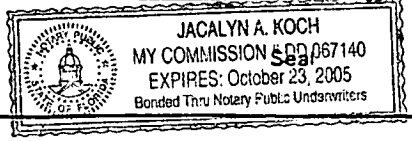
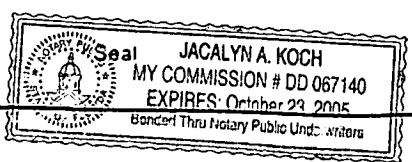
by **Richard Gones** who is personally known to me or produced as identification.

*Jacalyn A. Koch*  
Notary Public

*Jacalyn A. Koch*  
Notary Public

My Commission Expires: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_



TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # \_\_\_\_\_

TAX FOLIO # 12-38-41-002-001-0093.0-2

**NOTICE OF COMMENCEMENT**

STATE OF Florida

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

130 VISTA S/D LOT 93

GENERAL DESCRIPTION OF IMPROVEMENT: RE-ROOF

OWNER: JOHN GAUL

ADDRESS: 107 S RIVER ROAD STUART, FL 34996

PHONE #: NA FAX #: NA

INTEREST IN PROPERTY: \_\_\_\_\_

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

CONTRACTOR: PACIFIC ROOFING

ADDRESS: P.O. Box 2697 Stuart, FL 34997

PHONE #: 283-7663 FAX #: 283-9505

SURETY COMPANY (IF ANY): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_

BOND AMOUNT: \_\_\_\_\_

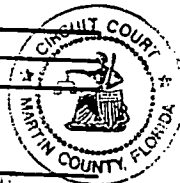
STATE OF FLORIDA  
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE  
FAX #: \_\_\_\_\_ PAGES IS A TRUE  
AND CORRECT COPY OF THE ORIGINAL.

MARSHA EWING, CLERK

BY [Signature]

FAX #: \_\_\_\_\_ DATE 8/25/05



LENDER/MORTGAGE COMPANY \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_

FAX #: \_\_\_\_\_

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: \_\_\_\_\_

FAX #: \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_

THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

SIGNATURE OF OWNER [Signature]

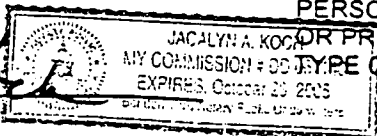
SWORN TO AND SUBSCRIBED BEFORE ME THIS 28 DAY OF August 2005 BY John Gaul

PERSONALLY KNOWN \_\_\_\_\_

OR PRODUCED ID \_\_\_\_\_

TYPE OF ID \_\_\_\_\_

[Signature]  
NOTARY SIGNATURE





BUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1363  
(305) 375-2901 FAX (305) 375-2908

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

Owens Corning  
One Owens Corning Parkway  
Toledo, OH 43659

CONTRACTOR LICENSING SECTION  
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT DIVISION  
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION  
(305) 375-2902 FAX (305) 375-6339

Your application for Notice of Acceptance (NOA) of:  
**Oakridge 40 AR**

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.



Raul Rodriguez  
Chief Product Control Division

ACCEPTANCE NO.: 01-0522.04  
EXPIRES: 07/19/2006

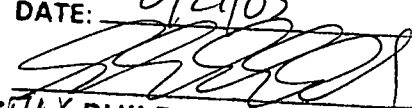
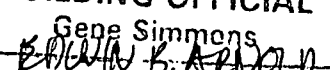
**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL  
CONDITIONS  
BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.



Francisco J. Quintana, R.A.  
Director  
Miami-Dade County  
Building Code Compliance Office

APPROVED: 07/19/2001

FILE COPY  
TOWN OF SEWALL'S POINT  
THESE PLANS HAVE BEEN  
REVIEWED FOR CODE COMPLIANCE  
DATE: 8/27/03  
  
BUILDING OFFICIAL  
Gene Simmons  


# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 8/27, 2004 Page 3 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5636	FRANCIS 5 S. RIVER ROAD WILBERDING	TIE BEAM ref. wall (as early as possible)	Passed	INSPECTOR: <i>[Signature]</i>
6261	SMITH 7 SIMARA ST SUNRISE CONST	TIE BEAM	Failed Passed	Corrected 11 <sup>30</sup> INSPECTOR: <i>[Signature]</i>
6147	ALEXANDER 86 S. SEWALLS Pt Rd JOHANSEN 260	FINAL ADDITION/ REMODEL 8887 Contractor	Failed	Don Grant 7/22/04 9989 INSPECTOR: <i>[Signature]</i>
6232	Moore 5 Oaklille way ARRAUT	slab	Passed	INSPECTOR: <i>[Signature]</i>
<del>6404</del>	<del>Gaul</del> 107 S. Rives Pacifi	<del>Roof</del> Shedding	Passed	INSPECTOR: <i>[Signature]</i>
T/R	Breuer 113 Hillcrest Asplund		Passed	INSPECTOR: <i>[Signature]</i>
				INSPECTOR: <i>[Signature]</i>
OTHER:	* Air Handler 60A Hole 30A 30A Panel unit 15A?			

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4/26, 2008 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
- 6695	VOLPE	PREPARE POOL DECK	PASS	
1	15 MIRAMAR			
	O/B	FIRST PLEASE		INSPECTOR:
- 6655	WHITWELL	ROUGH GAS	FAIL	
3	1 MARGUERITA DR			
	FERRILL GAS			INSPECTOR:
- <del>6655</del>	<del>SAUL</del>	<del>FINAL ROOF</del>	<del>    </del>	<del>    </del>
2	107 S. RIVER RD			WAITING FOR PRODUCT APPROVAL FOR SKYLITES
	PACIFIC ROOFING			INSPECTOR:
- 6697	HB ASSOC	FINAL ELEC	PASS	CLOSE
4	3752 OCEAN			
	JIMMY ROWELL			INSPECTOR:
5930	STEVENSON	KITCHEN RENOVATION	FAIL	
5	1 NE LAGOON ISLAND	FINAL		
	OLIVERI			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: RIDGEVIEW + port-a-potty  
SSPR

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 9/12, 20023 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
TREE	COWAN 100 HILLCREST	TREE	PASS	NO FEE DISREGARD
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6172	STORCK 27 N RIVER RD TROPIC	FINAL DOCK	PASS	CLOSE FILE
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
<del>6404</del>	<del>GAUL</del> 107 S. RIVER RD PACIFIC ROOFING	<del>FINAL DOCK</del>	<del>PASS</del>	<del>CLOSE FILE</del>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
TREE	MAJEWSKI 24 E. HIGH POINT	TREE	PASS	PROPOSED NO TREE HAZARD
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
TREE	DAUGHERTY 15 OAK HILL WAY	TREE	PASS	NO FEE PROPOSED HAZARD
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6370	ROMAN 14 COPAIRE WOODWARD	ROUGH PLUMBING 2 WINDOW/DOOR COLUMNS ELEC. ROUGH	FAIL PASS FAIL	OK TO POUR INSPECTOR: PLG
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
5937	FOSTER 128 S. SEWALL'S PARKS	PRE POWER	FAIL	NOT READY
OTHER:	ASESADA - TERRACE - DOCK ELEC. 8 MORGAN CR - POOL			

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 9/5, 2007 3 Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5636	WIL BUILDING 2 PALAMA WAY WIL BUILDING	TR BEAM <i>(Signature)</i> A.M. EARLY		INSPECTOR: <i>(Signature)</i>
6403	PETERSON 4 OAK WOOD PACIFIC	ROOF TIN TAB	<i>(Signature)</i>	INSPECTOR: <i>(Signature)</i>
<del>6401</del>	<del>6401</del> 107 S RIVER RD. PACIFIC	ROOF TIN TAB	<i>(Signature)</i>	INSPECTOR: <i>(Signature)</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**7453**

**FENCE**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 4/4/05

BUILDING PERMIT NO. 7453

Building to be erected for GAUL

Type of Permit FENCE

Applied for by O/B

(Contractor)

Building Fee 30.00

Subdivision RIO VISTA Lot 93 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 107 S. RIVER RD.

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Electrical Fee \_\_\_\_\_

Parcel Control Number:

Plumbing Fee \_\_\_\_\_

1238410020000093020000

Roofing Fee \_\_\_\_\_

Amount Paid 30.00

Check # 3001

Cash \_\_\_\_\_

Other Fees ( \_\_\_\_\_ )

Total Construction Cost \$ 900.00

TOTAL Fees 30.00

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

## PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

## INSPECTIONS

- UNDERGROUND PLUMBING \_\_\_\_\_
- UNDERGROUND MECHANICAL \_\_\_\_\_
- STEMWALL FOOTING \_\_\_\_\_
- SLAB \_\_\_\_\_
- ROOF SHEATHING \_\_\_\_\_
- TRUSS ENG/WINDOW/DOOR BUCKS \_\_\_\_\_
- ROOF TIN TAG/METAL \_\_\_\_\_
- PLUMBING ROUGH-IN \_\_\_\_\_
- MECHANICAL ROUGH-IN \_\_\_\_\_
- FRAMING \_\_\_\_\_
- FINAL PLUMBING \_\_\_\_\_
- FINAL MECHANICAL \_\_\_\_\_
- FINAL ROOF \_\_\_\_\_

- UNDERGROUND GAS \_\_\_\_\_
- UNDERGROUND ELECTRICAL \_\_\_\_\_
- FOOTING \_\_\_\_\_
- TIE BEAM/COLUMNS \_\_\_\_\_
- WALL SHEATHING \_\_\_\_\_
- LATH \_\_\_\_\_
- ROOF-IN-PROGRESS \_\_\_\_\_
- ELECTRICAL ROUGH-IN \_\_\_\_\_
- GAS ROUGH-IN \_\_\_\_\_
- EARLY POWER RELEASE \_\_\_\_\_
- FINAL ELECTRICAL \_\_\_\_\_
- FINAL GAS \_\_\_\_\_
- BUILDING FINAL \_\_\_\_\_

APR 01 2005

BY: \_\_\_\_\_

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: 4-1-05

OWNER/TITLEHOLDER NAME: John Gaul Phone (Day) 283-2941 (Fax) \_\_\_\_\_

Job Site Address: 107 South River Rd. City: S.P State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Lot 93 Rio Vista Parcel Number: \_\_\_\_\_

Owner Address (if different): n.a. City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: replace hurricane-damaged fence

WILL OWNER BE THE CONTRACTOR?:

YES  NO

(If no, fill out the Contractor & Subcontractor sections below)  
(If yes, Owner Builder Affidavit must accompany application)

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 9007X  
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

Is Improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: \_\_\_\_\_

CONTRACTOR/Company: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: \_\_\_\_\_

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic.# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)  
[Signature]

State of Florida, County of: Martin

This the 1st day of April, 2005

by J.B. Gaul who is personally

known to me or produced

as identification: [Signature]

Notary Public

My Commission Expires: \_\_\_\_\_

CONTRACTOR SIGNATURE (required)

On State of Florida, County of: \_\_\_\_\_

This the \_\_\_\_\_ day of \_\_\_\_\_, 2005

by \_\_\_\_\_ who is personally

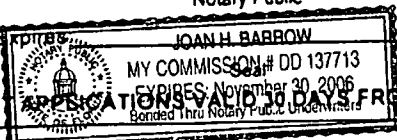
known to me or produced \_\_\_\_\_

As identification: \_\_\_\_\_

Notary Public

My Commission Expires: \_\_\_\_\_

Seal



PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!



**TOWN OF SEWALL'S POINT**  
**ONE SOUTH SEWALL'S POINT ROAD**  
**SEWALL'S POINT, FLORIDA 34996**

**TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT**  
**(To be submitted if permit is to be pulled by Owner/Builder)**

**DISCLOSURE STATEMENT**

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: John P. Gaul Date: 4/1/05

Signature: JOHN GAUL

Address: 107 S. RIVER RD

City & State: SEWALL'S PT, FL

Permit No. \_\_\_\_\_

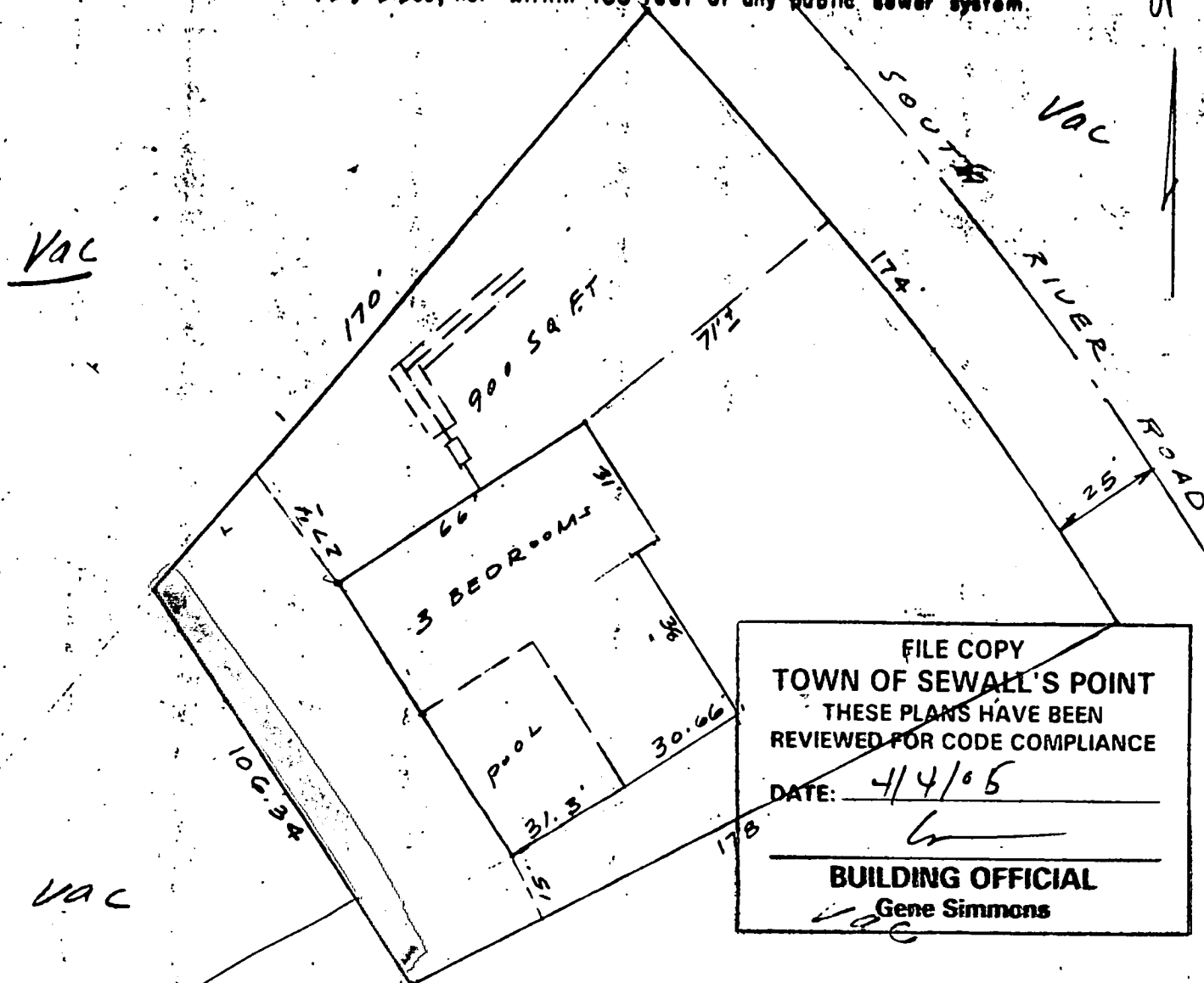
S. E. Subregion  
806 South 6th Street  
Fort Pierce, Florida 33450  
Tel. (305) 464-8525

**INDIVIDUAL SEWAGE DISPOSAL FACILITIES**

**DATA SHEET**

Location: Lot 93  
Rio Vista  
Applicant: Schwendler  
County: Manatee

This septic tank system is not located within 50 feet of the high water line of a lake, stream, canal or other waters, nor within 75 feet of any private well; nor within 100 feet of any public water supply; nor within 10 feet of water supply pipes; nor within 100 feet of any public sewer system.



FILE COPY  
TOWN OF SEWALL'S POINT  
THESE PLANS HAVE BEEN  
REVIEWED FOR CODE COMPLIANCE  
DATE: 4/4/05  
[Signature]  
BUILDING OFFICIAL  
Gene Simmons

6' CHAIN  
LINK FENCE

City Water  
No wells

SOIL DATA

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4/25, 2005 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7195	THOMPSON	INSULATION	PASS	
2	179 S. RIVER RD FLORIDA'S FINEST			INSPECTOR: <i>[Signature]</i>
7335	VAN T BOSCH	INSULATION	PASS	
8	36 S. RIVER ROAD FLORIDA'S FINEST			INSPECTOR: <i>[Signature]</i>
6749	NAUDIN	FOURBOARD	PASS	
7	19 N. RIDGEVIEW O/B			INSPECTOR: <i>[Signature]</i>
7126	HEMMERS	DRY-IN	FAIL	
9	4 PALMETTO DR O/B			INSPECTOR: <i>[Signature]</i>
<del>7453</del>	<del>SAUL</del>	<del>FINAL FENCE</del>	<del>PASS</del>	<del>CLOSE</del>
4	107 S. RIVER RD O/B			INSPECTOR: <i>[Signature]</i>
7348	MCCARTHY	FINAL ROOF	PASS	CLOSE
3	3 KINGSTON CT STUART ROOFING			INSPECTOR: <i>[Signature]</i>
6863	Johnston	Final SFR Bldg	PASS	CLOSE (see attached for other inspections)
1	34 W High Point Masterpiece Bldrs			INSPECTOR: <i>[Signature]</i>
OTHER:	3 RIVERVIEW FENCE TOO TALL? 6' MAX. <i>[Signature]</i>			

**7493**

**GENERATOR**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 4/19/05

BUILDING PERMIT NO. 7.4.93

Building to be erected for GAUL

Type of Permit GENERATOR/INST.

Applied for by MTA Electric Inc (Contractor)

Building Fee 83.52

Subdivision RIO VISTA Lot 93 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 107 S. RIVER ROAD

Impact Fee \_\_\_\_\_

Type of structure SFL

A/C Fee \_\_\_\_\_

Parcel Control Number:

1238410020000093020000

Plumbing Fee \_\_\_\_\_

Amount Paid 118.52 Check # 1732 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ )

Roofing Fee \_\_\_\_\_

Total Construction Cost \$ 8,700

TOTAL Fees 118.52

Signed Mat Ayala  
Applicant

Signed Gene Simmons (P.O.)  
Town Building Official

## PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION
- GENERATOR

## INSPECTIONS

- UNDERGROUND PLUMBING \_\_\_\_\_
- UNDERGROUND MECHANICAL \_\_\_\_\_
- STEMWALL FOOTING \_\_\_\_\_
- SLAB \_\_\_\_\_
- ROOF SHEATHING \_\_\_\_\_
- TRUSS ENG/WINDOW/DOOR BUCKS \_\_\_\_\_
- ROOF TIN TAG/METAL \_\_\_\_\_
- PLUMBING ROUGH-IN \_\_\_\_\_
- MECHANICAL ROUGH-IN \_\_\_\_\_
- FRAMING \_\_\_\_\_
- FINAL PLUMBING \_\_\_\_\_
- FINAL MECHANICAL \_\_\_\_\_
- FINAL ROOF \_\_\_\_\_

- UNDERGROUND GAS \_\_\_\_\_
- UNDERGROUND ELECTRICAL \_\_\_\_\_
- FOOTING \_\_\_\_\_
- TIE BEAM/COLUMNS \_\_\_\_\_
- WALL SHEATHING \_\_\_\_\_
- LATH \_\_\_\_\_
- ROOF-IN-PROGRESS \_\_\_\_\_
- ELECTRICAL ROUGH-IN \_\_\_\_\_
- GAS ROUGH-IN \_\_\_\_\_
- EARLY POWER RELEASE \_\_\_\_\_
- FINAL ELECTRICAL \_\_\_\_\_
- FINAL GAS \_\_\_\_\_
- BUILDING FINAL \_\_\_\_\_

APR 14 2005

BY: \_\_\_\_\_

### Town of Sewall's Point BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: 4/14/05

OWNER/TITLEHOLDER NAME: MARGARET M. GAUL Phone (Day) 283-2941 (Fax) SAME

Job Site Address: 107 S. RIVER RD. City: SEWALLS Pt. State: FLA. Zip: 34996

Legal Desc. Property (Subd/Lot/Block) LOT 93 Parcel Number: \_\_\_\_\_

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: GENERATOR INSTALLATION

WILL OWNER BE THE CONTRACTOR?:

YES  NO

(If no, fill out the Contractor & Subcontractor sections below)  
(If yes, Owner Builder Affidavit must accompany application)

COST AND VALUES:

GENERATOR + ELECTRIC

Estimated Cost of Construction or Improvements: \$ 8,700  
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

Is improvement cost 50% or more of Fair Market Value? YES  NO

Method of Determining Fair Market Value: \_\_\_\_\_

CONTRACTOR/Company: MTA ELECTRIC, INC. Phone: 597-4994 <sup>285-4566 ext</sup> Fax: SAME

Street: 10100 S.W. TARZAN TER. City: PALM CITY State: FLA. Zip: 34990

State Registration Number: \_\_\_\_\_ State Certification Number: EC0001402 Martin County License Number: \_\_\_\_\_

#### SUBCONTRACTOR INFORMATION:

Electrical: MTA ELECTRIC, INC. State: \_\_\_\_\_ License Number: EC0001402

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic.# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carpport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)  
[Signature]  
State of Florida, County of: MARTIN  
This the 14th day of APRIL, 2005  
by JOHN GAUL who is personally  
known to me or produced  
as identification. [Signature]

My Commission Expires \_\_\_\_\_

Notary Public  
LAURA L. O'BRIEN  
MY COMMISSION # DS-2059  
EXPIRES: April 28, 2007

CONTRACTOR SIGNATURE (required)  
[Signature]  
On State of Florida, County of: MARTIN  
This the 14th day of APRIL, 2005  
by MARTIN ANZALONE who is personally  
known to me or produced  
As identification. [Signature]

My Commission Expires \_\_\_\_\_

Notary Public  
LAURA L. O'BRIEN  
MY COMMISSION # DD-2059  
EXPIRES: April 28, 2007  
Bonded Thru Notary Public Underwriting

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # \_\_\_\_\_

PARCEL # 1238410020000093020000  
TAX FOLIO # \_\_\_\_\_

**NOTICE OF COMMENCEMENT**

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY(INCLUDE STREET ADDRESS IF AVAILABLE):

RIO VISTA LOT 93

GENERAL DESCRIPTION OF IMPROVEMENT: GENERATOR & ELECTRIC

OWNER: JOHN GAUL

ADDRESS: 107 S. RIVER ROAD SEWALLS POINT, FL 34996

PHONE #: 772-283-2941 FAX #: \_\_\_\_\_

CONTRACTOR: MTA ELECTRIC INC.

ADDRESS: 10100 SW TARZAN TER. PALM CITY FL 34990

PHONE #: 772-597-4994 FAX #: \_\_\_\_\_

SURETY COMPANY (IF ANY) \_\_\_\_\_  
STATE OF FLORIDA  
MARTIN COUNTY

ADDRESS: \_\_\_\_\_  
THIS IS TO CERTIFY THAT THE

PHONE # \_\_\_\_\_  
FOREGOING 1 PAGES IS A TRUE

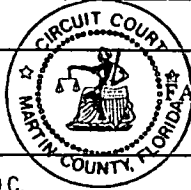
BOND AMOUNT: \_\_\_\_\_  
AND CORRECT COPY OF THE ORIGINAL.

LENDER: \_\_\_\_\_  
BY Marsha Ewing D.C.

DATE: 4-19-05

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_



INSTR # 1831893  
OR BK 02004 PG 1709  
RECORDED 04/19/2005 04:14:43 PM  
MARSHA EWING  
CLERK OF MARTIN COUNTY FLORIDA  
RECORDED BY S Phoenix

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_  
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

John B. Gaul  
Maynard W. Sewall  
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 19th DAY OF April 2005 BY JOHN GAUL

OR PERSONALLY KNOWN Y  
PRODUCED ID \_\_\_\_\_  
TYPE OF ID \_\_\_\_\_

Laura L. O'Brien  
NOTARY SIGNATURE  
LAURA L. O'BRIEN  
MY COMMISSION # DD 20594  
EXPIRES: April 28, 2007  
Served Thru Notary Public Underwriters

CERTIFICATE OF INSURANCE

The company indicated below certifies that the insurance afforded by the policy or policies numbered and described below is in force as of the effective date of this certificate. This Certificate of Insurance does not amend, extend, or otherwise alter the Terms and Conditions of Insurance coverage contained in any policy numbered and described below.

CERTIFICATE HOLDER:

CITY OF SEWALL'S POINT  
1 SEWALL'S POINT ROAD  
SEWALL'S POINT, FL 34996

INSURED:

MTA ELECTRIC INC.  
10100 SW TARZAN TERRACE  
PALM CITY, FL 34990

TYPE OF INSURANCE	POLICY NUMBER & ISSUING CO.	POLICY EFF. DATE	POLICY EXP. DATE	LIMITS OF LIABILITY (*LIMITS AT INCEPTION)
LIABILITY	77-AC-676877-3001	06-19-04	05-19-05	
<input checked="" type="checkbox"/> Liability and Medical Expense	NATIONWIDE MUTUAL FIRE INSURANCE CO.			Any One Occurrence..... \$ 1,000,000
<input checked="" type="checkbox"/> Personal and Advertising Injury				Any One Person/Org ..... \$ 1,000,000
<input checked="" type="checkbox"/> Medical Expenses				ANY ONE PERSON ..... \$ 5,000
<input checked="" type="checkbox"/> Fire Legal Liability				Any One Fire or Explosion \$ 100,000
<input type="checkbox"/> Other Liability				General Aggregate* ..... \$ 2,000,000 Prod/Comp Ops Aggregate* .. \$ 1,000,000
<b>AUTOMOBILE LIABILITY</b>				
<input type="checkbox"/> BUSINESS AUTO				Bodily Injury (Each Person) ..... \$ (Each Accident) ..... \$
<input type="checkbox"/> Owned				Property Damage (Each Accident) ..... \$
<input type="checkbox"/> Hired				Combined Single Limit .... \$
<input type="checkbox"/> Non-Owned				
<b>EXCESS LIABILITY</b>				
<input type="checkbox"/> Umbrella Form				Each Occurrence ..... \$ Prod/Comp Ops/Disease Aggregate* ..... \$
<b>STATUTORY LIMITS</b>				
<input type="checkbox"/> Workers' Compensation and				BODILY INJURY/ACCIDENT ... \$
<input type="checkbox"/> Employers' Liability				Bodily Injury by Disease EACH EMPLOYEE ..... \$ Bodily Injury by Disease POLICY LIMIT ..... \$

DESCRIPTION OF OPERATIONS/LOCATIONS  
VEHICLES/RESTRICTIONS/SPECIAL ITEMS

Effective Date of Certificate: 06-19-2004  
Date Certificate Issued: 04-11-2005

Authorized Representative: STEPHEN R SCIENZO  
Countersigned at: 3563 SW CORPORATE PARKWAY  
PALM CITY, FL 34990



# RE-ISSUANCE

01-05-2004



TOM GALLAGHER  
CHIEF FINANCIAL OFFICER

## STATE OF FLORIDA DEPARTMENT OF FINANCIAL SERVICES DIVISION OF WORKERS' COMPENSATION

# RE-ISSUANCE

### \*\* RE-ISSUANCE OF CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION \*\*

This certificate exempts the Officer of the Corporation or the Member of the Limited Liability Company listed below from the provision of Florida Workers' Compensation Law for the period indicated below.

EFFECTIVE DATE: 01/01/2004      EXPIRATION DATE: 08/09/2005

CORPORATE OFFICER/  
LLC MEMBER NAME: ANZALONE      MARTIN

FEIN: 650835140

BUSINESS NAME AND ADDRESS: M T A ELECTRIC INC  
10100 SW TARZAN  
PALM CITY      FL 34990

SCOPE OF BUSINESS OR TRADE: ELECTRICAL CONTRACTOR

**IMPORTANT:** Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.

QUESTIONS? (850) 488-2333

DWC - 253 RE-ISSUANCE OF CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION REVISED 11-03

Please cut out the card below and retain for inspection by any Department of Financial Services representative while conducting work.

<p>STATE OF FLORIDA DEPARTMENT OF FINANCIAL SERVICES DIVISION OF WORKERS' COMPENSATION</p> <p>** RE-ISSUANCE OF CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION **</p> <p>This certificate exempts the Officer of the Corporation listed below from the provision of Florida Workers' Compensation Law for the period indicated below.</p> <p>EFFECTIVE DATE: 01/01/2004 EXPIRATION DATE: 08/09/2005 CORPORATE OFFICER/ LLC MEMBER NAME: ANZALONE      MARTIN FEIN: 650835140 BUSINESS NAME AND ADDRESS: M T A ELECTRIC INC 10100 SW TARZAN PALM CITY      FL 34990 SCOPE OF BUSINESS OR TRADE: ELECTRICAL CONTRACTOR</p>	<p><b>IMPORTANT</b></p> <p><b>F</b> This certificate applies only to the corporate officer named on this certificate and applies only within the scope of the business or trade listed hereon.</p> <p><b>O</b></p> <p><b>L</b> A copy of this card or the duplicate above must be carried and available for inspection at all time while conducting any construction work.</p> <p><b>D</b></p> <p><b>H</b> Pursuant to chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.</p> <p><b>E</b></p> <p><b>R</b> Notices of election to be exempt and certificates of election to be exempt shall be subject to revocation if, at any time after the filing of the notice or the issuance of the certificate, the person named on the notice or certificate no longer meets the requirements of this section for issuance of a certificate. The department shall revoke a certificate at any time for failure of the person named on the certificate to meet the requirements of this section.</p> <p><b>E</b></p> <p>QUESTIONS? (850) 488-2333</p>
--	--

CUT HERE

DWC - 253 RE-ISSUANCE OF CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION REVISED 11-03

AC# 1510377

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
ELECTRICAL CONTRACTORS LICENSING BOARD

SEQ# L04072801193

DATE	BATCH NUMBER	LICENSE NBR
07/28/2004	040094102	EC0001402

The ELECTRICAL CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2006

ANZALONE, MARTIN JR  
M.T.A. ELECTRIC, INC.  
10100 SW TARZAN TER  
PALM CITY FL 34990

JEB BUSH  
GOVERNOR

DISPLAY AS REQUIRED BY LAW

DIANE CARR  
SECRETARY

**2004-2005 MARTIN COUNTY ORIGINAL  
COUNTY OCCUPATIONAL LICENSE**

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995  
(772) 288-5604

LICENSE 1999-508-003 CERT \_\_\_\_\_  
PHONE (561)283-1090 SIC NO 001731

LOCATION:  
**10100 SW TARZAN TER MAR**

**CHARACTER COUNTS IN MARTIN COUNTY**

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>.00</u>
\$	<u>.00</u>	COL. FEE \$	<u>.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>.00</u>
TOTAL			<u>25.00</u>

IS HEREBY AGREED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION

OF **ELECTRICAL CONTRACTOR**

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

26 DAY OF AUGUST 04  
AND ENDING SEPTEMBER 30, 2005 12 04082501 000329

**ANZALONE, MARTIN JR.  
MTA ELECTRIC, INC  
MARTIN ANZALONE, JR.  
10100 SW TARZAN TERRACE  
PALM CITY FL 34990**

RESIDENCE OF JOHN GAUL, SR.

167 S.E. RIVER RD. SEWALL'S POINT

TOWN OF SEWALL'S POINT  
THESE PLANS HAVE BEEN  
REVIEWED FOR CODE COMPLIANCE

DATE: 4/18/05

[Signature]  
BUILDING OFFICIAL  
Gene Simmons

15 KW GEN.  
120/240V 1Ø  
AIR COOLED  
PROPANE

CONCRETE BASE 2,500 PSI

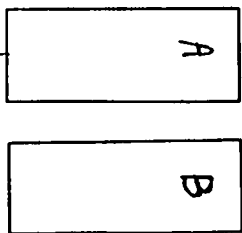


GENERATOR FEEDER  
AND CONTROL WIRING  
TO TRANSFER SWITCH

NEW TRANSFER SWITCH  
AND LOAD CENTER



EXISTING LOAD CENTERS

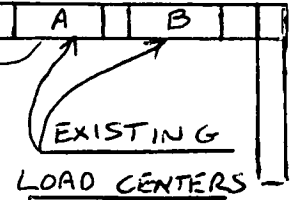


FLEXIBLE CONDUIT WITH  
CRITICAL LOAD BRANCH  
CIRCUITS AND GENERATOR  
LOAD CENTER FEEDER (70A)

8' x 5/8" CU/CLAD

DRIVEN GROUND ROD

NEW TRANSFER SWITCH  
AND LOAD CENTER



CRITICAL BRANCH  
CIRCUITS + FEEDER

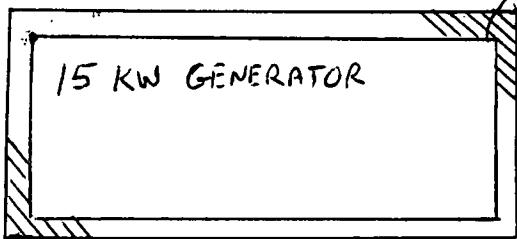
GENERATOR FEEDER  
AND CONTROL WIRING

2 CAR GARAGE

GAUL RESIDENCE

107 S.E. RIVER RD. SEWALL'S PT.

W/PROOF J-BOX



CONCRETE BASE



# INSPECTION LOG FOR ABANDONED/EXPIRED PERMITS

PERMIT #	OWNER'S NAME	ADDRESS	DESCRIPTION	APPROVED BY & DATE
303	Combs	1 Mandalay Island	Sandfill	[Signature] 6-26-07 ✓
360	Bartson	176 S Sewalls Pt	Fill	[Signature] 6-26-07 ✓
224	Close	2 Park	Fence repair	[Signature] 7/6/07 ✓
228	Winalow	10 S Sewalls Pt	Fence repair	[Signature] 6-29-07 ✓
070	"	10 S Sewalls Pt	Interior renovations	[Signature] 6-29-07 ✓
436	"	10 S Sewalls Pt	Walkway repair	[Signature] 6-29-07 ✓
197	Harney	1 Ridgeland Ct	Fence repair	[Signature] 7/6/07 ✓
198	"	1 Ridgeland Ct	Minor roof repair/fascia	[Signature] 7/6/07 ✓
756	Hogan	100 S River Rd	Fence repair	[Signature] 7/6/07 ✓
4984	<del>Harney</del>	107 S River Rd	Generator pad / <sup>Gen</sup> <del>Gen</del>	[Signature] 7/6/07 ✓
228	Lydon	108 N. Sewalls Pt	Pool heater changeout	
697	"	108 N. Sewalls Pt	Repl wood deck	[Signature] 7/6/07 ✓
729	Winyuk	11 Middle Rd	Fence	[Signature] 7/6/07 ✓
7311	Lumb	110 S Sewalls	Fill	[Signature] 7/6/07 ✓
1114	Amos	114 S Sewalls	Fill	
235	Amos	114 S Sewalls	Dock repair (Harbor Bay mans)	
277	Bessemer	116 N. Sewalls	Dock repair	WORK NEVER DONE
401	Elder	12 Emanta	Paver drive	

**7498**

**GENERATOR PAD**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 4/20/05

BUILDING PERMIT NO. 7498

Building to be erected for GAUL

Type of Permit PAD-GENERATOR

Applied for by D/B (Contractor)

Building Fee 35.00

Subdivision RIO VISTA Lot 93 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 107 S. RIVER ROAD

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Parcel Control Number:

123841002 00000093020000

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Amount Paid 35.00 Check # 3013 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ )

Total Construction Cost \$ 200.00

TOTAL Fees 35.00

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL                   |
| <input type="checkbox"/> PLUMBING         | <input type="checkbox"/> ROOFING             | <input type="checkbox"/> POOL/SPA/DECK                |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE                        |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS                          |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION                   |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL            | <input checked="" type="checkbox"/> ADDITION          |
|   |  | <input checked="" type="checkbox"/> GENERATOR/AC PADS |

### INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____



APR 14 2005

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: \_\_\_\_\_
BY: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: MARGARET GAUL Phone (Day) 283-2941 (Fax) \_\_\_\_\_

Job Site Address: 107 S. RIVER ROAD City: Sewall's Pt. State: \_\_\_\_\_ Zip: \_\_\_\_\_

Legal Desc. Property (Subd/Lot/Block) LOT 93 Parcel Number: \_\_\_\_\_

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: PAD FOR GENERATOR

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 200,000
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to Improvement: \$ \_\_\_\_\_

Is Improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: \_\_\_\_\_

(If no, fill out the Contractor & Subcontractor sections below)
(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: \_\_\_\_\_

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic.# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carpport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

CONTRACTOR SIGNATURE (required)

State of Florida, County of: MARTIN

On State of Florida, County of: \_\_\_\_\_

This the 14th day of April, 2005

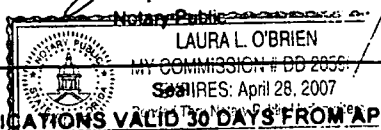
This the \_\_\_\_\_ day of \_\_\_\_\_, 2005

by JOHN GAUL who is personally known to me or produced as identification.

by \_\_\_\_\_ who is personally known to me or produced as identification.

My Commission Expires: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_



Notary Public

Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

# TOWN OF SEWALL'S POINT

ONE SOUTH SEWALL'S POINT ROAD  
SEWALL'S POINT, FLORIDA 34996

## TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT

(To be submitted if permit is to be pulled by Owner/Builder)

### DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name:

Jim B. Neal

Date:

4-14-05

Signature: 1

Address:

107 S. River Rd

City & State:

Sewall's Pt FL

Permit No. \_\_\_\_\_

# INSPECTION LOG FOR ABANDONED/EXPIRED PERMITS

PERMIT #	OWNER'S NAME	ADDRESS	DESCRIPTION	APPROVED BY & DATE
6303	Combs	1 Mandalay Island	Sand fill	[Signature] 6-26-07 ✓
7360	Bertson	176 S Sewalls Pt	Fill	[Signature] 6-26-07 ✓
7024	Close	2 Parker	Fence repair	[Signature] 7/6/07 ✓
7028	Wimelow	105 S Sewalls Pt	Fence repair	[Signature] 6-29-07 ✓
7070	"	10 S Sewalls Pt	Interior renovations	[Signature] 6-29-07 ✓
7436	"	10 S Sewalls Pt	Walkway repair	[Signature] 6-29-07 ✓
7197	Harney	1 Ridgeland Ct	Fence repair	[Signature] NO FENCE
7198	"	1 Ridgeland Ct	Minor roof repair/fascia	[Signature] 7/6/07
6956	Hogan	100 S River Rd	Fence repair	[Signature] 7/6/07
<del>7498</del> 7493	<del>Gaul</del>	<del>107 S River Rd</del>	Generator pad / <del>Gen</del> <del>clean</del>	[Signature] 7/6/07
7228	Lyon	108 N. Sewalls Pt	Pool heater changeout	
7697	"	108 N. Sewalls Pt	Repl wood deck	
5729	Wimyrk	11 Middle Rd	Fence	[Signature] 7/6/07 ✓
7311	Lumb	110 S Sewalls	Fill	[Signature] 7/6/07 ✓
7114	Amos	114 S Sewalls	Fill	[Signature] 7/6/07 ✓
7235	Amos	114 S Sewalls	Dock repair (Harbor Bay main)	
7277	Bersamer	116 N. Sewalls	Dock repair	WORK NEVER DONE
6461	Elder	12 Erranta	Paver drive	

**7527**

**GAS TANK & LINES**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 5/2/05

BUILDING PERMIT NO. 7527

Building to be erected for John Gaul

Type of Permit Gas Tank + Lines

Applied for by March County Propane (Contractor)

Subdivision Rio Vista Lot 93 Block \_\_\_\_\_

Address 107 S. River Rd.

Type of structure SFR

- Building Fee \_\_\_\_\_
- Radon Fee \_\_\_\_\_
- Impact Fee \_\_\_\_\_
- A/C Fee \_\_\_\_\_
- Electrical Fee \_\_\_\_\_
- Plumbing Fee \_\_\_\_\_
- Roofing Fee \_\_\_\_\_
- TOTAL Fees 35<sup>00</sup>

Parcel Control Number: 1238410020000093020000

Amount Paid 35<sup>00</sup> Check # \_\_\_\_\_ Cash 35<sup>00</sup> Other Fees ( \_\_\_\_\_ ) 35<sup>00</sup>

Total Construction Cost \$ 800<sup>00</sup>

Signed [Signature]  
Applicant

Signed [Signature] (TMA)  
Town Building Official

## PERMIT

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL     |
| <input type="checkbox"/> PLUMBING         | <input type="checkbox"/> ROOFING             | <input type="checkbox"/> POOL/SPA/DECK  |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE          |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input checked="" type="checkbox"/> GAS |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION     |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL            | <input type="checkbox"/> ADDITION       |

## INSPECTIONS

- |                                   |                              |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____        | UNDERGROUND GAS _____        |
| UNDERGROUND MECHANICAL _____      | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____            | FOOTING _____                |
| SLAB _____                        | TIE BEAM/COLUMNS _____       |
| ROOF SHEATHING _____              | WALL SHEATHING _____         |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____                   |
| ROOF TIN TAG/METAL _____          | ROOF-IN-PROGRESS _____       |
| PLUMBING ROUGH-IN _____           | ELECTRICAL ROUGH-IN _____    |
| MECHANICAL ROUGH-IN _____         | GAS ROUGH-IN _____           |
| FRAMING _____                     | EARLY POWER RELEASE _____    |
| FINAL PLUMBING _____              | FINAL ELECTRICAL _____       |
| FINAL MECHANICAL _____            | FINAL GAS _____              |
| FINAL ROOF _____                  | BUILDING FINAL _____         |

APR 29 2005

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

BY: \_\_\_\_\_  
Date: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: JOHN GAUL Phone (Day) \_\_\_\_\_ (Fax) \_\_\_\_\_

Job Site Address: 107 S. River ROAD City: Sewall's pt State: FLA. Zip: \_\_\_\_\_

Legal Desc. Property (Subd/Lot/Block) Lot 93 Parcel Number: 12384100200009302000

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: Buy 500gal Tank. Run gas line to generator & Hook-up - 20' 1/2"

WILL OWNER BE THE CONTRACTOR?:

YES  NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 800.-  
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

Is Improvement cost 50% or more of Fair Market Value? YES  NO

Method of Determining Fair Market Value: \_\_\_\_\_

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: Martin County propane Phone: 772-287-1900 Fax: 772-287-1119

Street: 3586 S.W. Martin Hwy City: Palm City State: FLA Zip: 34990

State Registration Number: \_\_\_\_\_ State Certification Number: 05594 Martin County License Number: \_\_\_\_\_

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carpport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: National Electrical Code: 2002 Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)  
John B Gaul  
State of Florida, County of: Martin  
This the 29 day of April 2005  
by John Gaul who is personally  
known to me or produced  
as identification.

CONTRACTOR SIGNATURE (required)  
Bandi Huseby  
On State of Florida, County of: Martin County  
This the 28 day of April 2005  
by Bandi Huseby who is personally  
known to me or produced  
As identification.

My Commission Expires: 8-13-07

My Commission Expires: 8-19-07

PERMIT APPLICATIONS ARE VALID 30 DAYS FROM APPROVAL. NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

DORIS PARADIS  
NOTARY PUBLIC - STATE OF FLORIDA  
COMMISSION # 00206381  
EXPIRES 08/19/2007

DORIS PARADIS  
NOTARY PUBLIC - STATE OF FLORIDA  
COMMISSION # 00206381  
EXPIRES 08/19/2007

Doris Paradis  
Notary Public

# ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID KE DATE (MM/DD/YYYY)  
MCPET-1 01/05/05

**PRODUCER**  
Stuart Insurance, Inc.  
3070 S W Mapp  
Palm City FL 34990  
Phone: 772-286-4334 Fax: 772-286-9389

**THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.**

**INSURED**  
Como Oil Company of Florida  
dba Martin County Petroleum &  
Propane  
P.O. Box 386  
Palm City FL 34991

INSURERS AFFORDING COVERAGE	NAIC #
INSURER A: <b>Empire Fire &amp; Marine</b>	
INSURER B: <b>AIG Group</b>	
INSURER C: <b>St Paul Surplus Lines Ins</b>	
INSURER D: <b>National Fire &amp; Marine</b>	
INSURER E:	

## COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD LTR	INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A		GENERAL LIABILITY	CPJ000001585	01/02/05	01/02/06	EACH OCCURRENCE	\$ 1,000,000
		<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 100,000
		<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$ 5,000
		<input checked="" type="checkbox"/> incl pollution				PERSONAL & ADV INJURY	\$ 1,000,000
GEN'L AGGREGATE LIMIT APPLIES PER:						GENERAL AGGREGATE	\$ 2,000,000
<input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC						PRODUCTS - COMP/OP AGG	\$ 2,000,000
A		AUTOMOBILE LIABILITY	BINDER	01/02/05	01/02/06	COMBINED SINGLE LIMIT (Ea accident)	\$ 1,000,000
		<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
		<input checked="" type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$
		<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$
<input checked="" type="checkbox"/> HIRED AUTOS							
<input checked="" type="checkbox"/> NON-OWNED AUTOS							
<input checked="" type="checkbox"/> incl pollution							
(MCS-90)							
		GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$
		<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC	\$
						AUTO ONLY AGG	\$
C		EXCESS/UMBRELLA LIABILITY	BINDER	01/02/05	01/02/06	EACH OCCURRENCE	\$ 3,000,000
		<input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$ 3,000,000
		<input type="checkbox"/> DEDUCTIBLE					\$
<input checked="" type="checkbox"/> RETENTION \$10,000		\$					
WORKERS COMPENSATION AND EMPLOYERS' LIABILITY						WC STATU-TORY LIMITS	OTH-ER
ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?						E L EACH ACCIDENT	\$
If yes, describe under SPECIAL PROVISIONS below						E L DISEASE - EA EMPLOYEE	\$
						E L DISEASE - POLICY LIMIT	\$
B		POLLUTION LIAB	02TO00007794	01/01/05	01/01/06		1,000,000
		GEN LIAB/DOCKSIDE	72LPE683047	01/02/05	01/02/06		2,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

**CERTIFICATE HOLDER**  
TOWNS-1  
Town of Sewalls Point  
FAX: 220-4765  
1 S Sewalls Point Road  
Stuart FL 34996

**CANCELLATION**  
SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.  
AUTHORIZED REPRESENTATIVE  
*John Halcomb*

PRODUCER  
AON RISK SERVICES OF FLORIDA  
C/O AON CLIENT SERVICES  
1330 POST OAK BOULEVARD, SUITE 900  
HOUSTON, TX 77056-3089  
(866) 283-7124

Serial # 603821

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

INSURED  
Oasis Outsourcing, Inc., Alt. Emp.:  
Como Oil Co Of Fla DbA Martin County  
Propane  
4400 N Congress Ave., Suite 250  
West Palm Beach, Fl 33407-3288

- COMPANY A ZURICH AMERICAN INSURANCE COMPANY
- COMPANY B
- COMPANY C
- COMPANY D

**COVERAGES**  
THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES, LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
	<b>GENERAL LIABILITY</b> <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR <input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT				GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$ PERSONAL & ADV INJURY \$ EACH OCCURRENCE \$ FIRE DAMAGE (Any one fire) \$ MED EXP (Any one person) \$
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY EACH ACCIDENT \$ AGGREGATE \$
	<b>EXCESS LIABILITY</b> <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$
A	<b>WORKER'S COMPENSATION AND EMPLOYERS' LIABILITY</b> THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE <input checked="" type="checkbox"/> INCL <input type="checkbox"/> EXCL	WC 29-38-687-02	06/01/04	06/01/05	X WC STATUS: TORY LIMITS   OTH-ER EL EACH ACCIDENT \$ 1,000,000 EL DISEASE - POLICY LIMIT \$ 1,000,000 EL DISEASE - EA EMPLOYEE \$ 1,000,000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS  
ONLY THOSE EMPLOYEES LEASED TO BUT NOT SUBCONTRACTORS OF:  
COMO OIL COMPANY OF FLORIDA DBA MARTIN COUNTY PROPANE

**CERTIFICATE HOLDER**  
TOWN OF SEWELLS POINT  
1 S SEWELLS POINT RD  
SEWELLS POINT, FL 31956

**CANCELLATION**  
SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE OF INDEPENDENT INSURANCE AGENCY  
*Joseph F. [Signature]*





POST LICENSE  
CONSPICUOUSLY

State of Florida  
Department of Agriculture and Consumer Services

Division of Standards  
Bureau of Liquefied Petroleum Gas  
(850) 921-8001  
Tallahassee, Florida

License Number: 05594  
Expiration Date: August 31, 2005  
Date of Issue: September 1, 2004  
License Fee: \$425.00  
Type and Class: 0601

**Liquefied Petroleum Gas License**  
**CATEGORY I LP GAS DEALER**

GOOD FOR ONE LOCATION

This license is issued under authority of Section 527.02, Florida Statutes, to:

MARTIN COUNTY PROPANE  
3586 S.W. MARTIN HWY  
PALM CITY, FL 34990

*Charles H. Bronson*  
CHARLES H. BRONSON  
COMMISSIONER OF AGRICULTURE



POST LICENSE  
CONSPICUOUSLY

State of Florida  
Department of Agriculture and Consumer Services

Division of Standards  
Bureau of Liquefied Petroleum Gas  
(850) 921-8001  
Tallahassee, Florida

License Number: 05594  
Expiration Date: AUGUST 31, 2002  
Date of Issue: SEPTEMBER 01, 2001  
License Fee: \$425.00  
Type and Class: 0601

**Liquefied Petroleum Gas License**  
**Category I LP Gas Dealer**  
GOOD FOR ONE LOCATION

This license is issued under authority of Section 527.02, Florida Statutes, to:

MARTIN COUNTY PROPANE  
3586 SW MARTIN HWY  
PALM CITY, FL 34990

*Charles H. Bronson*  
CHARLES H. BRONSON  
COMMISSIONER OF AGRICULTURE

DACS-03801  
3700

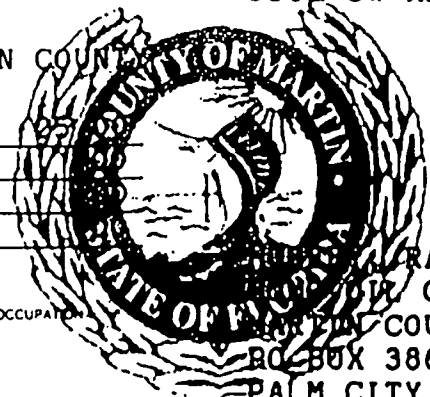
2004-2005 MARTIN COUNTY ORIGINAL  
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995  
(772) 288-5604

LICENSE 1971-249-002 CERT \_\_\_\_\_  
PHONE (561)287-1900 SIC NO 221210  
LOCATION:  
3586 SW MARTIN HWY MAR

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	<u>0.00</u>	LIC. FEE \$	_____
\$	<u>0.00</u>	PENALTY \$	_____
\$	<u>0.00</u>	COL. FEE \$	_____
\$	<u>0.00</u>	TRANSFER \$	_____
TOTAL			<u>25.00</u>



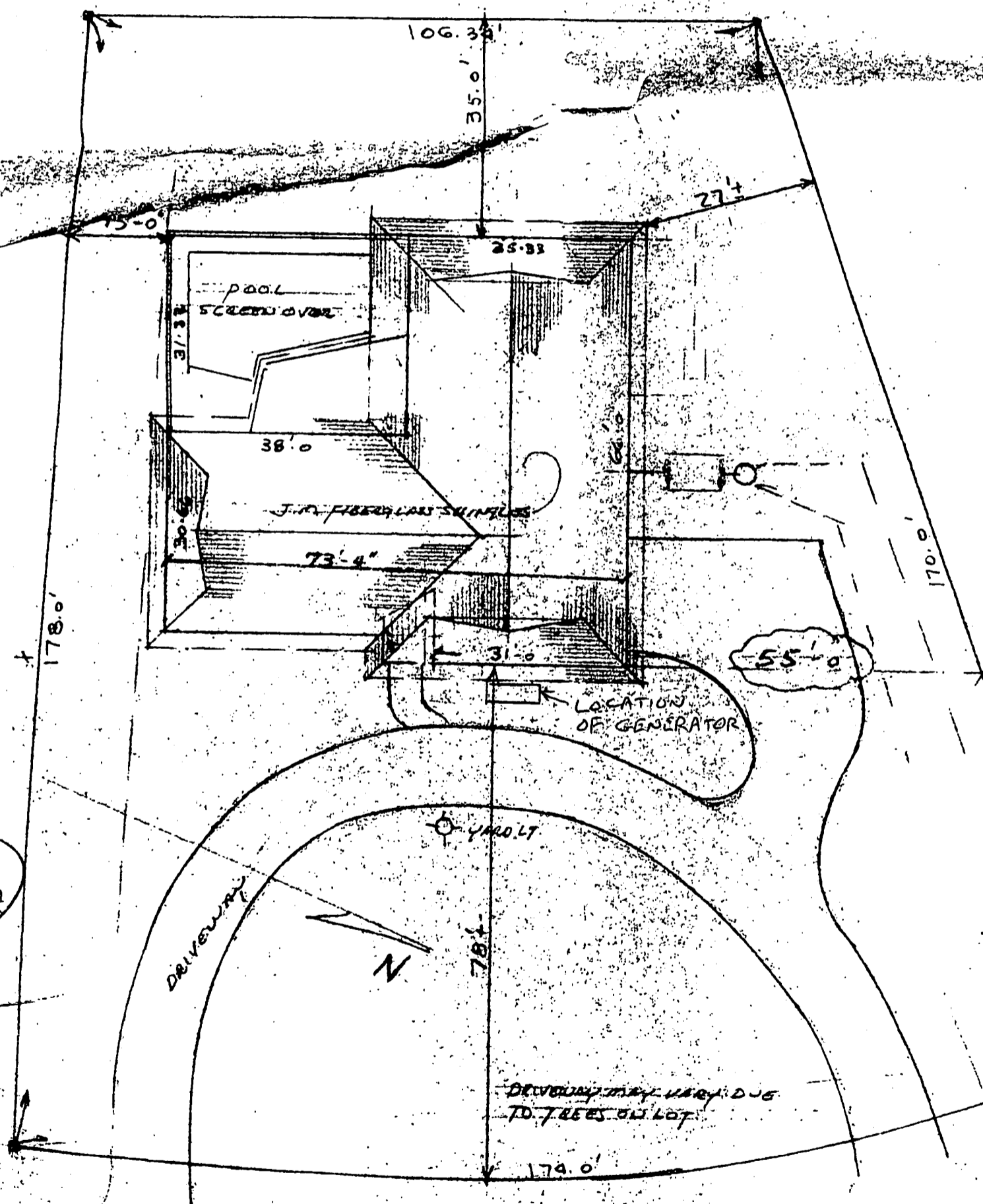
IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION OF

**GAS/OIL/PROPANE**  
AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

RANDY/PRESIDENT\*  
COMPANY OF FLORIDA  
MARTIN COUNTY PETROLEUM & PROPANE  
PO BOX 386  
PALM CITY FL 34990

15 DAY OF SEPTEMBER 2004  
AND ENDING SEPTEMBER 30, 2005

12 04091402 002690



RECEIVED

*JAN*  
 Approval of this  
 relieves the contractor  
 complying with  
 Point's Ordinance  
 Building Code and  
 Model Energy Eff.  
*J. J. Guen*

SITE PLAN

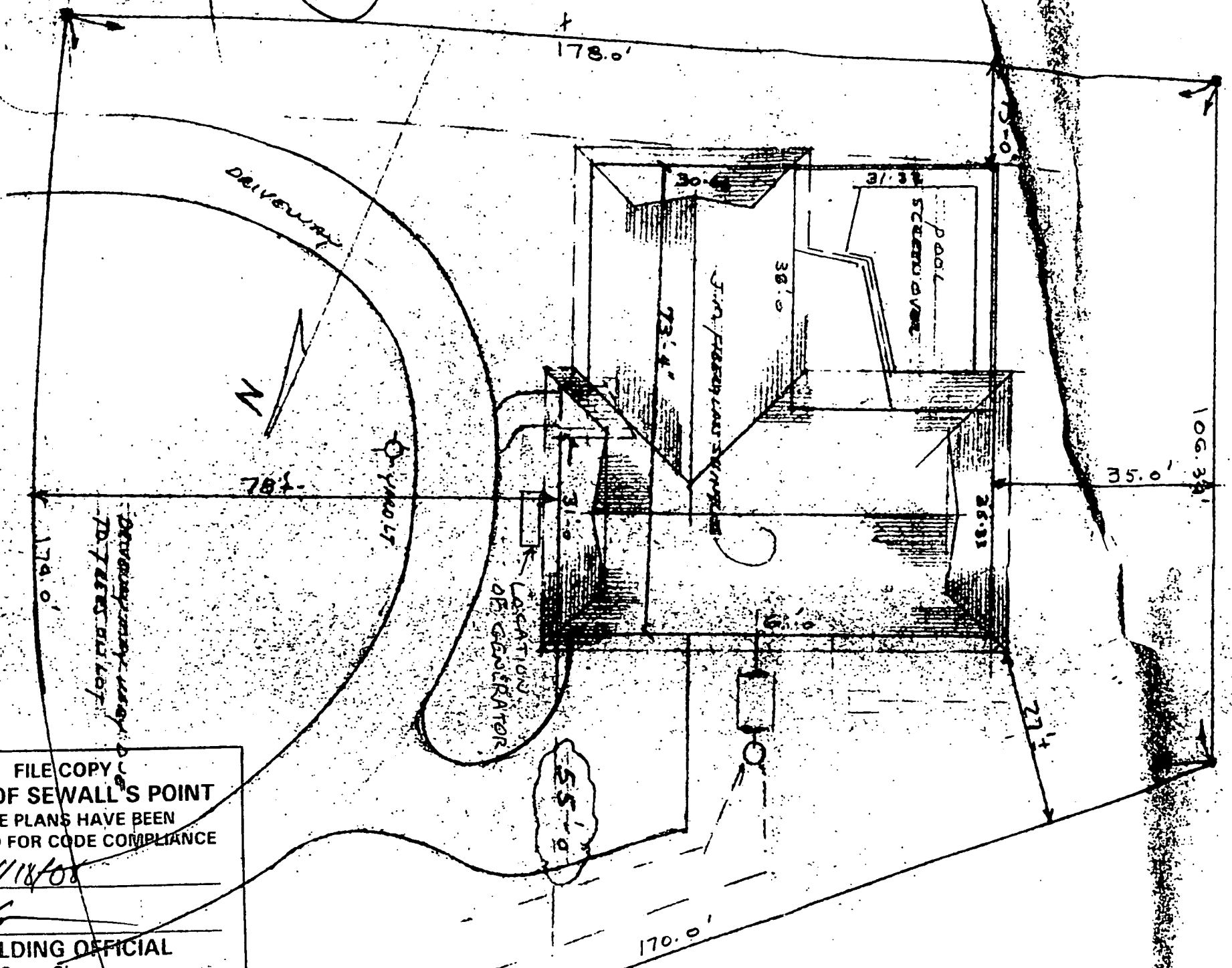
SCALE 1" = 20'-0"

20' Future Sewer  
 LEGAL  
 LOT 93 OF R10  
 OF SEWALLS PO.  
 AS RECORDED IN  
 PAGE 95 OF PUBLIC  
 MARTIN COUNTY

RESIDENCE MRS. MRS. JOHAN	
FOR Lot 93	
R10 VICTA SID SA	
SCALE: AS SHOWN	APPROVED BY:
DATE: 6-18-79	

222

0929



FILE COPY  
 TOWN OF SEWALL'S POINT  
 THESE PLANS HAVE BEEN  
 REVIEWED FOR CODE COMPLIANCE  
 DATE: 4/18/08  
 BUILDING OFFICIAL  
 Gene Simmons

RESIDENCE APPROVAL  
 FOR 10198  
 PLAT TO SD 24  
 SCALE AS SHOWN  
 DATE: 6/20/08

20' LEGAL  
 LOT 93 OF R10  
 OF SEWALL'S PD.  
 AS RECORDED IN  
 PAGE 95 OF PLAT  
 MAQUIN COUNTY,

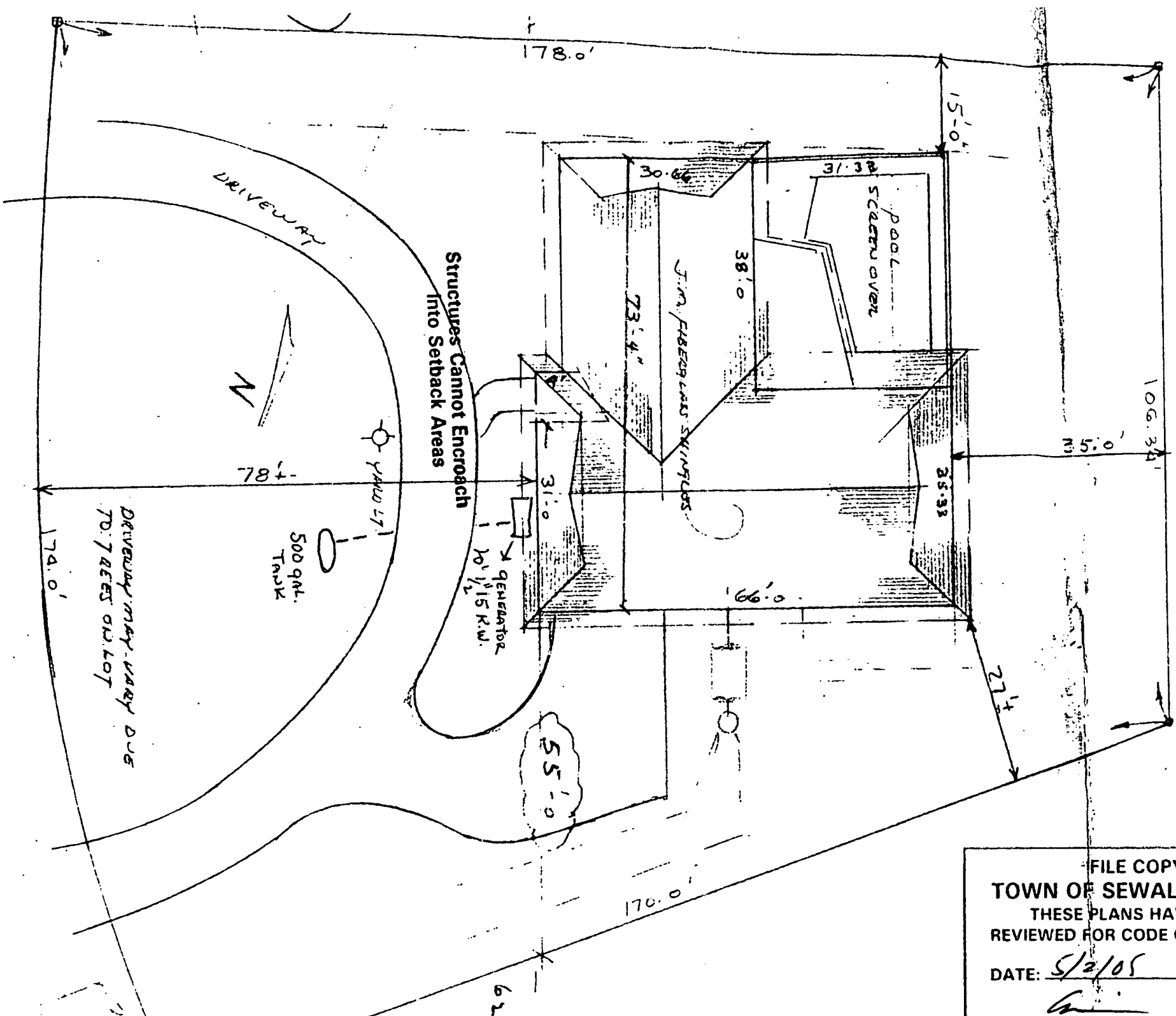
Approval of th  
 relieves the con  
 complying with  
 Point's Ordinance  
 Building Code a  
 Model Energy E  
 J. E. Green

RECEIVED

*DP 2*

**SITE PLAN**

SCALE 1"=20'-0"



Approval of these plans relieves the contractor of complying with the Town of Sewall's Ordinance, Building Code and the Model Energy Efficiency Bureau

*J. C. Gardner*

RECEIVED JUN 11 2010

FILE COPY  
 TOWN OF SEWALL'S POINT  
 THESE PLANS HAVE BEEN  
 REVIEWED FOR CODE COMPLIANCE  
 DATE: 5/2/10  
 \_\_\_\_\_  
 BUILDING OFFICIAL  
 Gene Simmons

LEGAL  
 LOT 93 OF RIVISTA S/L  
 OF SEWALLS POINT, FLA  
 AS RECORDED IN PLAT 8008  
 PAGE 95 OF PUBLIC RECORDS  
 MARTIN COUNTY, FLA

RESIDENCE MR & MRS JOHN B. G.  
 FOR LOT 93  
 RIVISTA S/D SEWALLS P.  
 SCALE: AS SHOWN  
 DATE: 6-18-10  
 APPROVED BY:

SCHENANDOAH BUILDERS INC

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri May 6, 2002 Page      of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6544	Lancaster	Final Meter	<del>FAIL</del>	WILL RECHECK
3	Lot 2 Pineapple Lane			INSPECTOR:
	Masterpiece Bldrs			
7320	Beattie	Final Roof	PASS	CLOSE
8	4 Admiral's Walk			INSPECTOR:
	Stuart Roofing			
7527	<del>Gulick</del>	<del>Rough Tank</del>	<del>PASS</del>	
5	<del>101 S. River Rd</del>	<del>Gas Tank + Lines</del>		INSPECTOR:
	<del>Martin Contr Propane</del>			
7494	Van t bosch	Gas Tank + Lines	PASS	
11	36. S River Rd	<del>Report sheet</del>		INSPECTOR:
	Propane Disc.	Gas Tank + Lines		
7516	Ferraro	Gas Tank + Lines	<del>FAIL</del>	Re-inspection (recept)?
4	4 Kingston Court	Rough	PASS	INSPECTOR:
	Gulick			
7449	Ferraro	Framing Insp	FAIL	
4	4 Kingston Court			INSPECTOR:
	Gulick			
7378	Schmidt	Window - final	PASS	CLOSE
10	15 Heritage Way			INSPECTOR:
	O/B			

OTHER: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 5/20, 20015 Page 1 of    

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7432	MURPHY/BASSH	FENCE/FINAL	PASS	CLOSE
8	8 HERON'S NEST O/B			INSPECTOR:
7285	ZYGMAN	ROOF/FINAL	FAIL	
7	18 SIMARA ALL AMERICAN			INSPECTOR:
6839	WADE	BATHEN-BAUL	FAIL	
1	9 E. HIGH POINT PINE ORCH BLVD			INSPECTOR:
7527	GAUL	FINAL GAS	PASS	CLOSE
3	107 S. RIVER RD MARTINGLY PROP.			INSPECTOR:
7539	DE SANTIS	WINDOW/BUCE	<del>PASS</del>	<del>REWORK APPROX</del> CLOSE
5	73 S. RIVER RD SPECIAL FORCES			INSPECTOR:
7666	WITTMAN	TREE	PASS	
6	13 RIVERVIEW DR			INSPECTOR:
7548	NORDBEREN	INGR TANK/LINE		<del>CXL</del>
	5 KINGSTON CT PROPANE DISCONNECT			INSPECTOR:
OTHER:	7127 20 FIELDWAY WIFFORD	ELEC. FINAL	PASS	CLOSE 

**9613**

**A/C CHANGEOUT**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9613	DATE ISSUED:	OCTOBER 25, 2010
SCOPE OF WORK:	AC CHANGEOUT (2 SYSTEMS) & DUCT WORK		
CONDITIONS :			
CONTRACTOR:	ALL THAT COOLS		
PARCEL CONTROL NUMBER:	123841-002-000-009302	SUBDIVISION	RIO VISTA – LOT 93
CONSTRUCTION ADDRESS:	107 S SEWALLS PT RD		
OWNER NAME:	GILBERTO		
QUALIFIER:	DOUGLAS MARSHALL	CONTACT PHONE NUMBER:	954-425-2704

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**



**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

Permit Number: 9613

Date: 9-1-10

OWNER/TITLEHOLDER NAME: Joseph Gilberto Phone (Day) \_\_\_\_\_ (Fax) \_\_\_\_\_

Job Site Address: 107 So. River Road City: Sewalls Point State: FL Zip: 34996

Legal Description \_\_\_\_\_ Parcel Control Number: \_\_\_\_\_

Owner Address (if different): Same as above City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

**SCOPE OF WORK (PLEASE BE SPECIFIC):** Complete system change out and duct work - 2 systems.

**WILL OWNER BE THE CONTRACTOR?**  
(If yes, Owner Builder questionnaire must accompany application)  
YES \_\_\_\_\_ NO X  
**Has a Zoning Variance ever been granted on this property?**  
YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO X  
(Must include a copy of all variance approvals with application)

**COST AND VALUES:** (Required on ALL permit applications)  
Estimated Value of Improvements: \$ 17,008.00  
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
Is subject property located in flood hazard area? VE10 \_\_\_\_\_ AE9 \_\_\_\_\_ AE8 X  
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
(Fair Market Value of the Primary Structure only, Minus the land value)  
**PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION**

Construction Company: ALL THAT COOLS Phone: 954-425-2704 Fax: 954-876-1323

Qualifiers name: Douglas Marshall Street: 2910 NE 8 Ave City: Pompano State: FL Zip: 33064

State License Number: CAC1816426 OR: Municipality: Pompano Beach License Number: \_\_\_\_\_

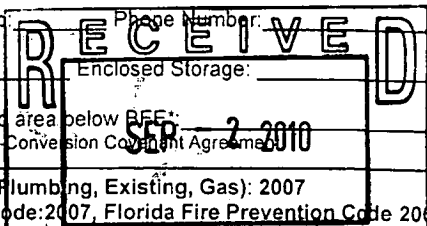
LOCAL CONTACT: Douglas Marshall Phone Number: 954-425-2704

DESIGN PROFESSIONAL: N/A Fla. License# \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Phone Number: \_\_\_\_\_

AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/ Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_

Carport: \_\_\_\_\_ Total under Roof \_\_\_\_\_ Elevated Deck: \_\_\_\_\_ Enclosed area below RFE: \_\_\_\_\_  
\* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.



CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007  
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

**NOTICES TO OWNERS AND CONTRACTORS:**

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS; OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

**Sewall's Point Town Hall**

**\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\***

**AFFIDAVIT:** APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER NOTORIZED SIGNATURE: (required per 715.135 F.S. OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED))  
X Joseph Gilberto  
State of Florida, County of: Martin  
On This the 2nd day of Sept  
by Joseph Gilberto who is personally known to me or produced NY DL# 655-236-787  
As identification. Valuedney  
Notary Public  
My Commission Expires: \_\_\_\_\_

CONTRACTOR NOTORIZED SIGNATURE: (required per 715.135 F.S.)  
X Douglas Marshall  
State of Florida, County of: Martin  
On This the 2nd day of Sept  
by Douglas Marshall who is personally known to me or produced FL DL# 624-173-64-3780  
As identification. Valuedney  
Notary Public  
My Commission Expires: \_\_\_\_\_

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



**Martin County, Florida**  
**Laurel Kelly, C.F.A**

Site Provided by...  
 governmax.com 1.11

**Summary**

print [navigation icons] Owner 2 of 3

**Tabs**

- Summary**
- Print View
- Land
- Improvements
- Assessments & Exemptions
- Sales
- Taxes →
- Parcel Map →

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
12-38-41-002-000-00930-2	27604	107 S RIVER RD, SEWALL'S POINT	\$323,170	8/28/2010

**Searches**

- Parcel ID
- Owner**
- Address
- Account #
- Land Use
- Legal Description
- Neighborhood
- Sales
- Maps →

**Owner Information**

<b>Owner(Current)</b>	GILBERTO JOSEPH
<b>Owner/Mail Address</b>	107 S RIVER RD STUART FL 34996
<b>Transfer Date</b>	08/06/2010
<b>Document Number</b>	2226712
<b>Document Reference No.</b>	2470 0164

**Location/Description**

<b>Account #</b>	27604	<b>Map Page No.</b>	SP-05
<b>Tax District</b>	2200	<b>Legal Description</b>	RIO VISTA S/D LOT 93
<b>Parcel Address</b>	107 S RIVER RD, SEWALL'S POINT		
<b>Acres</b>	.5690		

**Functions**

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

**Parcel Type**

<b>Land Use</b>	0100 Single Family
<b>Neighborhood</b>	120250 RIO VISTA DRY

**Assessment Information**

<b>Market Land Value</b>	\$139,700
<b>Market Improvement Value</b>	\$183,470
<b>Market Total Value</b>	\$323,170

Print Back to List First Previous Next Last

*Legal Disclaimer / Privacy Statement*





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY

**Air Conditioning Change out Affidavit**

Residential  Commercial \_\_\_\_\_

Package Unit \_\_\_ Yes  No (Use Condenser side of form below for equipment listing)

Duct Replacement  Yes \_\_\_ No - Refrigerant line replacement  Yes \_\_\_ No

Flushing Existing Refrigerant lines \_\_\_ Yes  No - Adding Refrigerant Drier  Yes \_\_\_ No

Rooftop A/C Stand Installation \_\_\_ Yes  No - Curb Installation \_\_\_ Yes  No

Smoke Detector in Supply (over 2000 CFM) \_\_\_ Yes  No

**One form required for each A/C system installed**

**REPLACEMENT SYSTEM COMPONENTS**

**Air handler:** Mfg: Rheem Model# RAHNAU36  
 Volts 230 CFM's 1260 Heat Strip 9.6 Kw  
 Min. Circuit Amps 50 Wire gauge 8  
 Max. Breaker size 60 Min. Breaker size 50  
 Ref. line size: Liquid 3/8 Suction 3/4  
 Refrigerant type R-410  
 Location: Existing \_\_\_ New   
 Attic/Garage/Closet (specify) Closet  
 Access: walk up

**Condenser:** Mfg Rheem Model# RASC39JEC  
 Volts 230 SEER/EER 18.0 BTU's 36,100  
 Min. Circuit Amps 26.6 Wire gauge 8  
 Max. Breaker size 40 Min. Breaker size 30  
 Ref. line size: Liquid 3/8 Suction 3/4  
 Refrigerant type R-410  
 Location: Existing  New \_\_\_  
 Left/Right/Rear/Front/Roof right  
 Condensate Location Attic to ground

**EXISTING SYSTEM COMPONENTS**

**Air handler:** Mfg: Trane Model# \_\_\_\_\_  
 Volts 230 CFM's 1200 Heat Strip 9.0 Kw  
 Min. Circuit Amps 35 Wire gauge 8  
 Max. Breaker size 35 Min. Breaker size 35  
 Ref. line size: Liquid 3/8 Suction 3/4  
 Refrigerant type R-22  
 Location: Ext.  New \_\_\_  
 Attic/Garage/Closet (specify) Attic  
 Access: pull down ladder

**Condenser:** Mfg Trane Model# TJW036  
 Volts 230 SEER/EER 11 BTU's 36,000  
 Min. Circuit Amps 25 Wire gauge 8  
 Max. Breaker size 30 Min. Breaker size 25  
 Ref. line size: Liquid 3/8 Suction 3/4  
 Refrigerant type R-22  
 Location: Ext.  New   
 Left/Right/Rear/Front/Roof Right  
 Condensate Location ground

**Certification:**

I herby certify that the information entered on this form accurately represents the equipment installed and further that this equipment is considered matched as required by FBC - R (N)1107 & 1108

Douglas Marshall

Signature

9-14-10

Date



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

**Air Conditioning Change out Affidavit**

Residential  Commercial \_\_\_\_\_

Package Unit \_\_\_ Yes  No (Use Condenser side of form below for equipment listing)

Duct Replacement  Yes \_\_\_ No - Refrigerant line replacement  Yes \_\_\_ No

Flushing Existing Refrigerant lines \_\_\_ Yes  No - Adding Refrigerant Drier  Yes \_\_\_ No

Rooftop A/C Stand Installation \_\_\_ Yes  No - Curb Installation \_\_\_ Yes  No

Smoke Detector in Supply (over 2000 CFM) \_\_\_ Yes  No

**One form required for each A/C system installed**

**REPLACEMENT SYSTEM COMPONENTS**

**Air handler:** Mfg: Rheem Model# R24LLH436  
 Volts 240 CFM's 800 Heat Strip 7.5 Kw  
 Min. Circuit Amps 60 Wire gauge 8  
 Max. Breaker size 60 Min. Breaker size 60  
 Ref. line size: Liquid 3/8 Suction 3/4  
 Refrigerant type R-410  
 Location: Existing \_\_\_ New   
 Attic/Garage/Closet (specify) Closet  
 Access: walk up

**Condenser:** Mfg Rheem Model# R24P1031EZ  
 Volts 230 SEER/EER 16.0 BTU's \_\_\_  
 Min. Circuit Amps 40 Wire gauge 8  
 Max. Breaker size 40 Min. Breaker size 40  
 Ref. line size: Liquid 3/8 Suction 3/4  
 Refrigerant type R-410  
 Location: Existing  New \_\_\_  
 Left/Right/Rear/Front/Roof right  
 Condensate Location Attic to ground

**EXISTING SYSTEM COMPONENTS**

**Air handler:** Mfg: Trane Model# TNE030  
 Volts 240 CFM's 800 Heat Strip 5.0 Kw  
 Min. Circuit Amps 60 Wire gauge 8  
 Max. Breaker size 50 Min. Breaker size 50  
 Ref. line size: Liquid 3/8 Suction 3/4  
 Refrigerant type R-22  
 Location: Ext.  New \_\_\_  
 Attic/Garage/Closet (specify) Attic  
 Access: pull down ladder

**Condenser:** Mfg Trane Model# TN030  
 Volts 230 SEER/EER 11 BTU's 30,000  
 Min. Circuit Amps 40 Wire gauge 8  
 Max. Breaker size 40 Min. Breaker size 40  
 Ref. line size: Liquid 3/8 Suction 3/4  
 Refrigerant type R-22  
 Location: Ext.  New   
 Left/Right/Rear/Front/Roof Right  
 Condensate Location ground

**Certification:**

I hereby certify that the information entered on this form accurately represents the equipment installed and further that this equipment is considered matched as required by FBC - R (N)1107 & 1108

Douglas Marshall

Signature

9-14-10

Date


# FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

## Florida Department of Community Affairs Residential Performance Method A

Project Name: GILBERTO Street: City, State, Zip: MARTIN COUNTY, FL, Owner: Design Location: FL, West Palm Beach	Builder Name: Permit Office: Permit Number: Jurisdiction:
---	--

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Glass/Floor Area: 0.150	Total As-Built Modified Loads: 54.49	<b>PASS</b>
	Total Baseline Loads: 76.22	

<p>I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.</p> <p style="text-align: right;">561-248-8304</p> <p>PREPARED BY: <u>Paula S. Pearce</u></p> <p>DATE: <u>09 September 2010</u></p> <p>I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.</p> <p>OWNER/AGENT: _____</p> <p>DATE: _____</p>	<p>Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.</p> <div style="text-align: center;">  </div> <p>BUILDING OFFICIAL: _____</p> <p>DATE: _____</p>
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- Compliance requires certification by the air handler unit manufacturer that the air handler enclosure qualifies as certified factory-sealed in accordance with N1110.A.3.

# ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

**ESTIMATED ENERGY PERFORMANCE INDEX\* = 71**

The lower the EnergyPerformance Index, the more efficient the home.

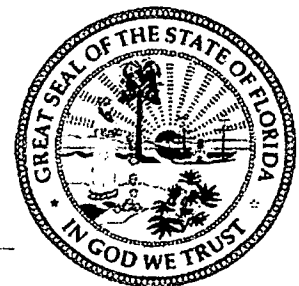
, MARTIN COUNTY, FL,

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I certify that this home has complied with the Florida Energy Efficiency Code for Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Address of New Home: \_\_\_\_\_ City/FL Zip: \_\_\_\_\_



\*Note: The home's estimated Energy Performance Index is only available through the EnergyGauge USA - FlaRes2008 computer program. This is not a Building Energy Rating. If your Index is below 100, your home may qualify for incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at (321) 638-1492 or see the Energy Gauge web site at [energygauge.com](http://energygauge.com) for information and a list of certified Raters. For information about Florida's Energy Efficiency Code for Building Construction, contact the Department of Community Affairs at (850) 487-1824.

\*\*Label required by Section 13-104.4.5 of the Florida Building Code, Building, or Section B2.1.1 of Appendix G of the Florida Building Code, Residential, if not DEFAULT.

**PROJECT**

Title:	GILBERTO	Bedrooms:	3	Adress Type:	Street Address
Building Type:	FLAsBuilt	Conditioned Area:	2800	Lot #	
Owner:		Total Stories:	1	Block/SubDivision:	
# of Units:	1	Worst Case:	Yes	PlatBook:	
Builder Name:		Rotate Angle:	0	Street:	
Permit Office:		Cross Ventilation:		County:	MARTIN
Jurisdiction:		Whole House Fan:		City, State, Zip:	MARTIN COUNTY , FL ,
Family Type:	Single-family				
New/Existing:	New (From Plans)				
Comment:					

**CLIMATE**

✓	Design Location	TMY Site	IECC Zone	Design Temp		Int Design Temp		Heating Degree Days	Design Moisture	Daily Temp Range
				97.5 %	2.5 %	Winter	Summer			
_____	FL, West Palm Beach	FL_WEST_PALM_BEAC	2	44	90	75	70	316	60	Medium

**FLOORS**

✓	#	Floor Type	Perimeter	R-Value	Area	Tile	Wood	Carpet
_____	1	Slab-On-Grade Edge Insulatio	3 ft	0	221 ft²	0	0	1

**ROOF**

✓	#	Type	Materials	Roof Area	Gable Area	Roof Color	Solar Absor.	Tested	Deck Insul.	Pitch
_____	1	Hip	Composition shingles	3033 ft²	0 ft²	Medium	0.96	No	0	22.6 deg

**ATTIC**

✓	#	Type	Ventilation	Vent Ratio (1 in)	Area	RBS	IRCC
_____	1	Full attic	Vented	300	2800 ft²	N	N

**CEILING**

✓	#	Ceiling Type	R-Value	Area	Framing Frac	Truss Type
_____	1	Under Attic (Vented)	19	2800 ft²	0.11	Wood

**WALLS**

✓	#	Ornt	Adjacent To	Wall Type	Cavity R-Value	Area	Sheathing R-Value	Framing Fraction	Solar Absor.
_____	1	N	Exterior	Frame - Wood	13	424 ft²	13	0.23	0.75
_____	2	S	Exterior	Frame - Wood	13	424 ft²	13	0.23	0.75
_____	3	E	Exterior	Frame - Wood	13	336 ft²	13	0.23	0.75
_____	4	W	Exterior	Frame - Wood	13	336 ft²	13	0.23	0.75

### DOORS

✓ #	Ornt	Door Type	Storms	U-Value	Area
1	N	Insulated	None	0.460000	21 ft²
2	W	Insulated	None	0.460000	112 ft²
3	W	Insulated	None	0.460000	21 ft²

### WINDOWS

Orientation shown is the entered orientation (=>) changed to Worst Case.

✓ #	Ornt	Frame	Panes	NFRC	U-Factor	SHGC	Storms	Area	Overhang Depth Separation	Int Shade	Screening
1	S	Metal	Double (Tinted)	No	0.87	0.55	N	16 ft²	3 ft 0 in 0 ft 0 in	HERS 2006	None
2	S	Metal	Double (Tinted)	No	0.87	0.55	N	52 ft²	3 ft 0 in 0 ft 0 in	HERS 2006	None
3	E	Metal	Double (Tinted)	No	0.87	0.55	N	84 ft²	6 ft 0 in 0 ft 0 in	HERS 2006	None
4	E	Metal	Double (Tinted)	No	0.87	0.55	N	18 ft²	6 ft 0 in 0 ft 0 in	HERS 2006	None
5	S	Metal	Double (Tinted)	No	0.87	0.55	N	84 ft²	16 ft 0 in 0 ft 0 in	HERS 2006	None
6	S	Metal	Double (Tinted)	No	0.87	0.55	N	36 ft²	3 ft 0 in 0 ft 0 in	HERS 2006	None
7	E	Metal	Double (Tinted)	No	0.87	0.55	N	24 ft²	3 ft 0 in 0 ft 0 in	HERS 2006	None
8	N	Metal	Double (Tinted)	No	0.87	0.55	N	24 ft²	8 ft 0 in 0 ft 0 in	HERS 2006	None
9	N	Metal	Double (Tinted)	No	0.87	0.55	N	32 ft²	3 ft 0 in 0 ft 0 in	HERS 2006	None
10	W	Metal	Double (Tinted)	No	0.87	0.55	N	6 ft²	3 ft 0 in 0 ft 0 in	HERS 2006	None
11	W	Metal	Double (Tinted)	No	0.87	0.55	N	32 ft²	3 ft 0 in 0 ft 0 in	HERS 2006	None
12	W	Metal	Double (Tinted)	No	0.87	0.55	N	9 ft²	3 ft 0 in 0 ft 0 in	HERS 2006	None
13	W	Metal	Double (Tinted)	No	0.87	0.55	N	4 ft²	3 ft 0 in 0 ft 0 in	HERS 2006	None

### INFILTRATION & VENTING

✓ Method	SLA	CFM 50	ACH 50	ELA	EqLA	— Forced Ventilation — Supply CFM Exhaust CFM		Run Time Fraction	Fan Watts
Default	0.00036	2644	7.08	145.2	273.0	0 cfm	0 cfm	0	0

### GARAGE

✓ #	Floor Area	Ceiling Area	Exposed Wall Perimeter	Avg. Wall Height	Exposed Wall Insulation
1	575 ft²	575 ft²	64 ft	8 ft	13

### COOLING SYSTEM

✓ #	System Type	Subtype	Efficiency	Capacity	Air Flow	SHR	Ducts
1	Central Unit	None	SEER: 19.5	36 kBtu/hr	1080 cfm	0.75	sys#0
2	Central Unit	None	SEER: 16	30 kBtu/hr	900 cfm	0.75	sys#0

### HEATING SYSTEM

✓ #	System Type	Subtype	Efficiency	Capacity	Ducts
1	Electric Strip Heat	None	COP: 1	25 kBtu/hr	sys#0
2	Electric Strip Heat	None	COP: 1	21 kBtu/hr	sys#0



**Project Information**

For: GILBERTO

Notes:

**Design Information**

Weather: West Palm Beach, FL, US

**Winter Design Conditions**

Outside db 45 °F  
Inside db 70 °F  
Design TD 25 °F

**Summer Design Conditions**

Outside db 91 °F  
Inside db 75 °F  
Design TD 16 °F  
Daily range L  
Relative humidity 50 %  
Moisture difference 57 gr/lb

**Heating Summary**

Structure 13848 Btuh  
Ducts 4288 cfm  
Central vent (19 cfm) 510 Btuh  
Humidification 0 Btuh  
Piping 0 Btuh  
Equipment load 18645 Btuh

**Sensible Cooling Equipment Load Sizing**

Structure 14821 Btuh  
Ducts 6704 Btuh  
Central vent (19 cfm) 326 Btuh  
Blower 0 Btuh  
Use manufacturer's data n  
Rate/swing multiplier 0.96  
Equipment sensible load 20978 Btuh

**Infiltration**

Method Simplified  
Construction quality Average  
Fireplaces 0

	Heating	Cooling
Area (ft²)	1232	1232
Volume (ft³)	9280	9280
Air changes/hour	0.45	0.23
Equiv. AVF (cfm)	70	36

**Latent Cooling Equipment Load Sizing**

Structure 1783 Btuh  
Ducts 1682 Btuh  
Central vent (19 cfm) 721 Btuh  
Equipment latent load 4186 Btuh  
Equipment total load 25163 Btuh  
Req. total capacity at 0.70 SHR 2.5 ton

**Heating Equipment Summary**

Make  
Trade  
Model  
Efficiency 80 AFUE  
Heating input 0 Btuh  
Heating output 0 Btuh  
Temperature rise 0 °F  
Actual air flow 1160 cfm  
Air flow factor 0.064 cfm/Btuh  
Static pressure 0.00 in H2O  
Space thermostat

**Cooling Equipment Summary**

Make Rheem  
Trade  
Cond RARL-030JEC  
Coil RHPN-HM3024JC  
Efficiency 16 SEER  
Sensible cooling 21000 Btuh  
Latent cooling 9000 Btuh  
Total cooling 30000 Btuh  
Actual air flow 1160 cfm  
Air flow factor 0.054 cfm/Btuh  
Static pressure 0.00 in H2O  
Load sensible heat ratio 0.84

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.

**Project Information**

For: GILBERTO

Notes:

**Design Information**

Weather: West Palm Beach, FL, US

**Winter Design Conditions**

Outside db 45 °F  
Inside db 70 °F  
Design TD 25 °F

**Summer Design Conditions**

Outside db 91 °F  
Inside db 75 °F  
Design TD 16 °F  
Daily range L  
Relative humidity 50 %  
Moisture difference 57 gr/lb

**Heating Summary**

Structure 17606 Btuh  
Ducts 4554 cfm  
Central vent (23 cfm) 638 Btuh  
Humidification 0 Btuh  
Piping 0 Btuh  
Equipment load 22797 Btuh

**Sensible Cooling Equipment Load Sizing**

Structure 18767 Btuh  
Ducts 7063 Btuh  
Central vent (23 cfm) 408 Btuh  
Blower 0 Btuh  
Use manufacturer's data n  
Rate/swing multiplier 0.96  
Equipment sensible load 25188 Btuh

**Infiltration**

Method Simplified  
Construction quality Average  
Fireplaces 0

	Heating	Cooling
Area (ft <sup>2</sup> )	1568	1568
Volume (ft <sup>3</sup> )	9280	9280
Air changes/hour	0.38	0.20
Equiv. AVF (cfm)	59	31

**Latent Cooling Equipment Load Sizing**

Structure 1602 Btuh  
Ducts 1798 Btuh  
Central vent (23 cfm) 902 Btuh  
Equipment latent load 4302 Btuh  
Equipment total load 29490 Btuh  
Req. total capacity at 0.70 SHR 3.0 ton

**Heating Equipment Summary**

Make  
Trade  
Model

Efficiency 80 AFUE  
Heating input 0 Btuh  
Heating output 0 Btuh  
Temperature rise 0 °F  
Actual air flow 1260 cfm  
Air flow factor 0.057 cfm/Btuh  
Static pressure 0.00 in H2O  
Space thermostat

**Cooling Equipment Summary**

Make Rheem  
Trade  
Cond RARL-036JEC  
Coil RHPN-HM3624JC

Efficiency 19.5 SEER  
Sensible cooling 25200 Btuh  
Latent cooling 10800 Btuh  
Total cooling 36000 Btuh  
Actual air flow 1260 cfm  
Air flow factor 0.049 cfm/Btuh  
Static pressure 0.00 in H2O  
Load sensible heat ratio 0.86

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.

# Code Compliance Checklist

## Residential Whole Building Performance Method A - Details

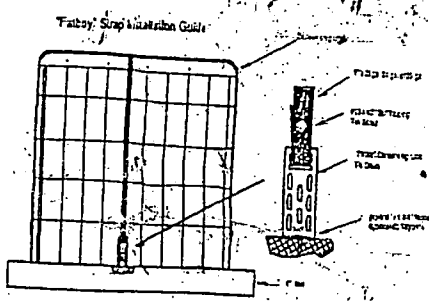
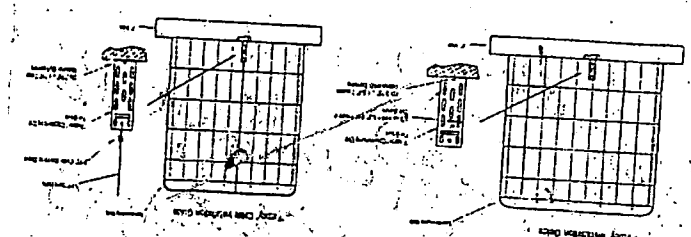
ADDRESS: MARTIN COUNTY, FL,	PERMIT #:
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### INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	N1106.AB.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	N1106.AB.1.2	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	N1106.AB.1.2	Penetrations/openings > 1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	N1106.AB.1.2	Between walls & ceilings; penetrations of ceiling plane to top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	N1106.AB.1.2	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	N1106.AB.1.2	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	N1106.AB.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

### OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	N1112.AB.3	Comply with efficiency requirements in Table N1112.ABC.3 Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	N1112.AB.2.3	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%. Heat pump pool heaters shall have a minimum COP of 4.0.	
Shower heads	N1112.AB.2.4	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	N1110.AB	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of Section N1110.AB. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	N1107.AB.2	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	N1104.AB.1 N1102.B.1.1	Ceilings-Min. R-19. Common walls-frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	



**FATBOY®**  
Patent Pending



*Design Conforms to  
ASCE 7-02 Chapter  
6-Wind Loads.*

**CONDENSING UNIT TIE DOWN**

# Electric Heat Electrical Data

Installation of the UL Listed original equipment manufacturer provided heater kits listed in the table below is recommended for all auxiliary heating requirements.

Air Handler Cabinet Size/ Cooling Capacity	Manufacturer Model Number	Type Supply Circuit	Voltage	PH/HZ	Heater kW	Heater AMPS	Motor Ampacity	Maximum Circuit Protection	Minimum Circuit Ampacity
21' / 2 Ton	RXBH-24A05J	Single	208/240	1/60	3.6/4.8	17.3/20.0	1.7	25/30	24/28
	RXBH-24A07J	Single	208/240	1/60	5.4/7.2	26.0/30.0	1.7	35/40	35/40
	RXBH-24A10J	Single	208/240	1/60	7.2/9.6	34.6/40.0	1.7	50/60	46/53
24' / 3 Ton	RXBH-24A05J	Single	208/240	1/60	3.6/4.8	17.3/20.0	4.9	30/35	28/32
	RXBH-24A07J	Single	208/240	1/60	5.4/7.2	26.0/30.0	4.9	40/45	39/44
	RXBH-24A10J	Single	208/240	1/60	7.2/9.6	34.6/40.0	4.9	50/60	60/67
	RXBH-24A15J	Single	208/240	1/60	10.8/14.4	51.9/60.0	4.9	80/90	72/82
		MULTI. CKT 1	208/240	1/60	3.6/4.8	17.3/20.0	4.9	30/35	28/32
		MULTI. CKT 2	208/240	1/60	7.2/9.8	34.6/40.0	0	45/50	44/50
	RXBH-24A18J	Single	208/240	1/60	12.8/17	61.6/70.8	4.9	90/100	84/95
		MULTI. CKT 1	208/240	1/60	6.4/6.5	30.8/35.4	4.9	45/60	45/51
		MULTI. CKT 2	208/240	1/60	6.4/6.5	30.8/35.4	0	40/45	39/45
	RXBH-24A20J	Single	208/240	1/60	14.4/19.2	69.2/80.0	4.9	100/110	93/107
		MULTI. CKT 1	208/240	1/60	7.2/9.6	34.6/40.0	4.9	50/60	50/57
		MULTI. CKT 2	208/240	1/60	7.2/9.6	34.6/40.0	0	45/50	44/50
	RXBH-24A25J (4-ton only)	Single	208/240	1/60	18.0/24.0	87.0/99.9	4.9	125/150	115/132
		MULTI. CKT 1	208/240	1/60	6.0/8.0	29.0/33.3	4.9	45/50	43/48
		MULTI. CKT 2	208/240	1/60	6.0/8.0	29.0/33.3	0	40/45	37/42
MULTI. CKT 3		208/240	1/60	6.0/8.0	29.0/33.3	0	40/45	37/42	
24' / 4 Ton	RXBH-24A05J	Single	208/240	1/60	3.6/4.8	17.3/20.0	4.9	30/36	28/32
	RXBH-24A07J	Single	208/240	1/60	5.4/7.2	26.0/30.0	4.9	40/45	39/44
	RXBH-24A10J	Single	208/240	1/60	7.2/9.6	34.6/40.0	4.9	50/60	50/57
	RXBH-24A15J	Single	208/240	1/60	10.8/14.4	51.9/60.0	4.9	60/90	72/82
		MULTI. CKT 1	208/240	1/60	3.6/4.8	17.3/20.0	4.9	30/35	28/32
		MULTI. CKT 2	208/240	1/60	7.2/9.6	34.6/40.0	0	45/50	44/50
	RXBH-24A18J	Single	208/240	1/60	12.8/17	61.6/70.8	4.9	90/100	84/95
		MULTI. CKT 1	208/240	1/60	6.4/8.6	30.8/35.4	4.9	45/60	45/51
		MULTI. CKT 2	208/240	1/60	6.4/8.5	30.6/35.4	0	40/45	39/45
	RXBH-24A20J	Single	208/240	1/60	14.4/19.2	69.2/80.0	4.9	100/110	93/107
		MULTI. CKT 1	208/240	1/60	7.2/9.6	34.6/40.0	4.9	50/60	50/57
		MULTI. CKT 2	208/240	1/60	7.2/9.6	34.6/40.0	0	45/50	44/50
	RXBH-24A25J (4-ton only)	Single	208/240	1/60	18.0/24.0	87.0/99.9	4.9	126/150	115/132
		MULTI. CKT 1	208/240	1/60	6.0/8.0	29.0/33.3	4.9	45/50	43/48
		MULTI. CKT 2	208/240	1/60	6.0/8.0	29.0/33.3	0	40/45	37/42
MULTI. CKT 3		208/240	1/60	6.0/8.0	29.0/33.3	0	40/45	37/42	
24' / 5 Ton	RXBH-24A07J	Single	208/240	1/60	5.4/7.3	26.0/30.0	4.9	40/45	39/44
	RXBH-24A10J	Single	208/240	1/60	5.4/7.3	26.0/30.0	4.9	40/45	39/44
	RXBH-24A15J	Single	208/240	1/60	10.8/14.4	51.9/60.0	4.9	80/90	72/82
		MULTI. CKT 1	208/240	1/60	3.6/4.6	17.3/20.0	4.9	30/35	28/32
		MULTI. CKT 2	208/240	1/50	7.2/9.6	34.6/40.0	0	45/50	44/50
	RXBH-24A18J	Single	208/240	1/60	12.8/17	61.6/70.8	4.9	90/100	84/95
		MULTI. CKT 1	208/240	1/60	6.4/6.5	30.8/35.4	4.9	45/60	45/51
		MULTI. CKT 2	208/240	1/60	6.4/8.6	30.8/35.4	0	40/45	39/45
	RXBH-24A20J	Single	208/240	1/60	14.4/19.2	69.2/80.0	4.9	100/110	93/107
		MULTI. CKT 1	208/240	1/60	7.2/9.6	34.6/40.0	4.9	50/60	50/57
		MULTI. CKT 2	208/240	1/60	7.2/9.6	34.6/40.0	0	45/50	44/50
	RXBH-24A25J	Single	208/240	1/60	18.0/24.0	87.0/99.9	4.9	125/150	115/132
		MULTI. CKT 1	208/240	1/60	6.0/6.0	29.0/33.3	4.9	45/50	43/48
		MULTI. CKT 2	208/240	1/60	6.0/6.0	29.0/33.3	0	40/45	37/42
		MULTI. CKT 3	208/240	1/60	6.0/6.0	29.0/33.3	0	40/45	37/42
RXBH-24A30J	Single	208/240	1/60	21.6/28.8	103.8/120.0	4.9	136/156	150/175	
RXBH-24A30J	MULTI. CKT 1	208/240	1/60	7.2/9.5	34.6/40.0	4.9	49/56	50/60	
	MULTI. CKT 2	208/240	1/60	2-4.8	34.6/40.0	0	44/50	45/50	
	MULTI. CKT 3	208/240	1/60	7.2/9.6	34.6/40.0	0	44/50	45/50	

• Supply circuit protective devices may be fuses or "HACR" type circuit breakers.

• Largest motor load is included in single circuit and multiple circuit 1.

• If non-standard fuse size is specified, use next size larger standard fuse size.

• J Voltage (230V) single phase air handler is designed to be used with single or three phase 230 volt electric heaters. In the case of connecting 3-phase power to the air handler terminal block without the heater, bring only two leads to the terminal block cap, insulate and fully secure the third lead.

[ ] Designates Metric Conversions

GEMAIRE DISTRIBUTORS

Rheem Prestige Series

16 2-Stage SEER R410A STRAIGHT COOL SPLIT SYSTEMS

Ton	SEER	EER	SENS	CBTU	Fed Tax Credit	ARI Ref	Model #	Price	H "	L "	W "	SUC	LIQ	Model #	H "	W "	D "	Model
2	16.5	13	Stage 1 14,000 / Stage 2 18,100	25200	YES	3202768	RARL024JEC	1,233.00	33	44-3/8	31-1/2	3/4	5/16	RHPNHM2421JC	42-1/2	21	21-11/16	RXBH24A1
3	16.5	13	Stage 1 24,000 / Stage 2 27,250	38000	YES	3207567	RARL036JEC	1,466.00	33	44-3/8	31-1/2	3/4	5/16	RHPNHM3624JC	42-1/2	24-1/2	21-11/16	RXBH24A1
4	16	12.4	Stage 1 27,200 / Stage 2 35,050	48000		3207601	RARL048JEC	1,642.00	33	44-3/8	31-1/2	7/8	3/8	RHPNHM4824JC	55-1/2	24-1/2	21-11/16	RXBH24A1
5	16	12.6	Stage 1 14,000 / Stage 2 18,100	58500		3207635	RARL060JEC	1,972.00	33	44-3/8	31-1/2	7/8	3/8	RHPNHM6024JC	55-1/2	24-1/2	21-11/16	RXBH24A1

Rheem Prestige Series

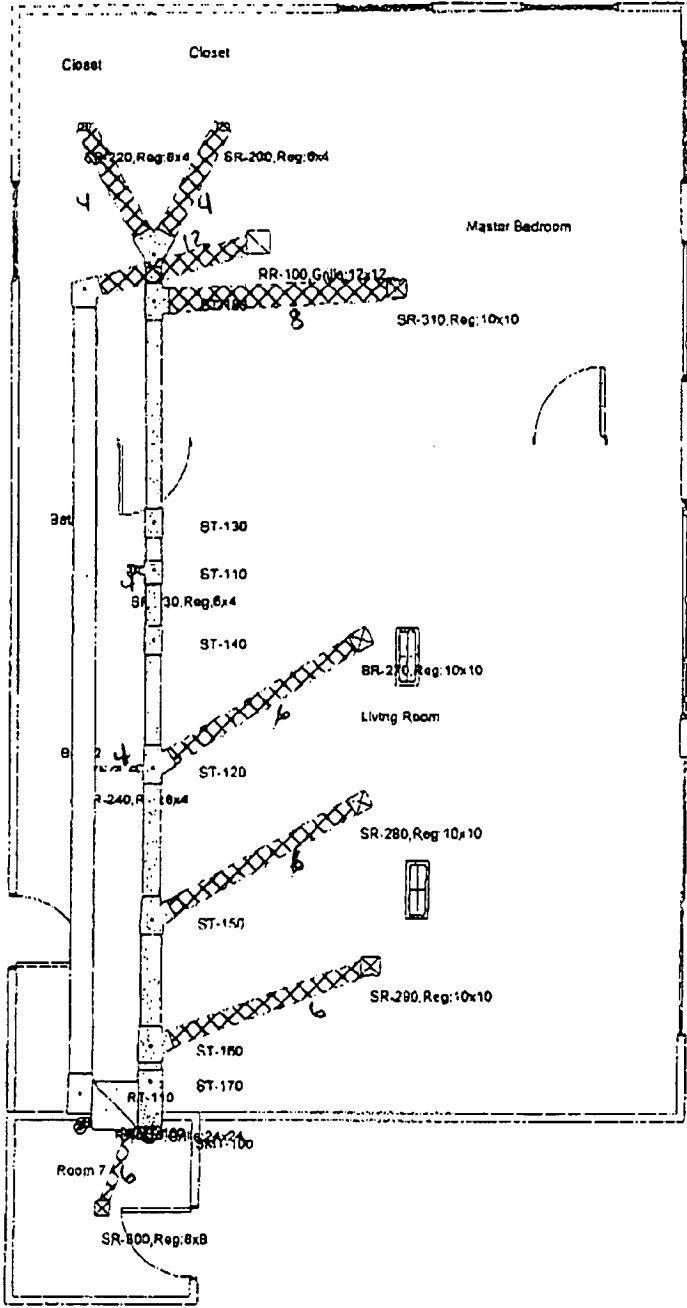
										14+ SEER R410A STRAIGHT COOL SPLIT SYSTEMS									
Ton	SEER	EER	SENS	CBTU	ARI Ref	FedTax Credit	Model #	Price	H"	L"	W"	SUC	LIQ	Model #	Price	H"	W"	D"	
1.5	15	12.7	13650	18800	3487309		RAPM018JEZ	1,028.00	19	40-1/2	27-5/8	3/4	3/8	RHSLHM1817JA	██████	42-1/2	17-1/2	21-11/16	
1.5	16	13.9	14250	19400	3487308	YES								RHLLHM2417JA	██████	42-1/2	17-1/2	21-11/16	
1.5	16	13.8	14250	19400	3487307	YES								RHKLHM2417JA	██████	42-1/2	17-1/2	21-11/16	
1.5	16	13.6	13500	19000	3283408	YES								RBHP17J06SH1	██████	35	17-1/2	22	
2	14.5	13	18450	25000	3487377		RAPM024JEZ	1,048.00	29	44-3/8	31-1/2	3/4	3/8	RHSLHM2417JA	██████	42-1/2	17-1/2	21-11/16	
2	16	14.3	18900	25600	3487376	YES								RHLLHM2417JA	██████	42-1/2	17-1/2	21-11/16	
2	16	13.9	19100	25600	3487375	YES								RHKLHM2417JA	██████	42-1/2	17-1/2	21-11/16	
2	14	12.3	16550	23200	3283490									RBHP17J07SH1	██████	35	17-1/2	22	
2.5	14.5	12.8	20700	29000	3410601		RAPM030JEZ	1,224.00	29	44-3/8	31-1/2	3/4	3/8	RHSLHM3017JA	██████	42-1/2	17-1/2	21-11/16	
2.5	16	14	21550	29800	3410600	YES								RHLLHM3617JA	██████	42-1/2	17-1/2	21-11/16	
2.5	16	13.8	21350	29800	3410598	YES								RHKLHM3617JA	██████	42-1/2	17-1/2	21-11/16	
2.5	15	13.4	19450	28200	3283601									RBHP21J07SH2	██████	35	21	22	
3	14.5	12.4	24200	35600	3410685		RAPM036JEZ	1,396.00	33	44-3/8	31-1/2	7/8	3/8	RHSLHM3617JA	██████	42-1/2	17-1/2	21-11/16	
3	16	13	29450	40000	3589121	YES								RHPNHM3624JC	██████	55-1/2	24-1/2	21-11/16	
3	15.5	13.3	23800	35800	3410684									RHLLHM3617JA	██████	42-1/2	17-1/2	21-11/16	
3	16	13	27250	37800	3806798	YES								RHLLHM3821JA	██████	50-1/2	21	21-11/16	
3	16	13	26900	38000	3806797	YES								RHKLHM3821JA	██████	50-1/2	21	21-11/16	
3	15.5	13.2	24200	36000	3410683									RHKLHM3617JA	██████	42-1/2	17-1/2	21-11/16	
3	15	12.9	24100	35600	3283733		RBHP21J11SH2	██████	35	21	22								
3.5	14.5	12.1	28550	40000	3410785		RAPM042JEZ	1,523.00	33	44-3/8	31-1/2	7/8	3/8	RHSLHM4221JA	██████	50-1/2	21	21-11/16	
3.5	16	13	30450	43000	3589151	YES								RHPNHM3624JC	██████	55-1/2	24-1/2	21-11/16	
3.5	16	13	28250	41000	3806900	YES								RHLLHM3821JA	██████	50-1/2	21	21-11/16	
3.5	15.5	13.1	29600	41000	3410784									RHLLHM4821JA	██████	50-1/2	21	21-11/16	
3.5	16	13	28250	41000	3806899	YES								RHKLHM3821JA	██████	50-1/2	21	21-11/16	
3.5	15.5	13	29600	41000	3410783									RHKLHM4821JA	██████	50-1/2	21	21-11/16	
3.5	15	12.9	27200	39500	3283882		RBHP24J11SH4	██████	35	24-1/2	22								
4	14.5	12.3	32950	47500	3410808		RAPM048JEZ	1,593.00	33	44-3/8	31-1/2	7/8	3/8	RHSLHM4821JA	██████	50-1/2	21	21-11/16	
4	16	13	38400	52000	3589171	YES								RHPNHM4824JC	██████	55-1/2	24-1/2	21-11/16	
4	16	13	33850	47500	3410807	YES								RHLLHM4821JA	██████	50-1/2	21	21-11/16	
4	16	13	34050	48500	3410810	YES								RHKLHM4824JA	██████	55-1/2	24-1/2	21-11/16	
4	15	12.9	33650	48000	3410806									RHKLHM4821JA	██████	50-1/2	21	21-11/16	
4	15	12.6	32000	47000	3283971									RBHP24J11SH4	██████	35	24-1/2	22	
5	16	13	38670	54000	3807009	YES	RAPM056JEZ	1,916.00	33	44-3/8	31-1/2	7/8	3/8	RHLLHM6024JA	██████	55-1/2	24-1/2	21-11/16	
5	16	13	39100	54000	3807010	YES								RHKLHM6024JA	██████	55-1/2	24-1/2	21-11/16	
5	15	13.5	45400	62500	3554684		RAPM060JEZ	1,916.00	33	44-3/8	31-1/2	7/8	3/8	RHLLHM6024JA	██████	55-1/2	24-1/2	21-11/16	
5	15	13.4	44700	62000	3554683									RHKLHM6024JA	██████	55-1/2	24-1/2	21-11/16	

Straight Cool Split Systems Federal Tax Credit: 16SEER, 13 EER

All Units Must Be Registered for the 10 year parts warranty on next page



North

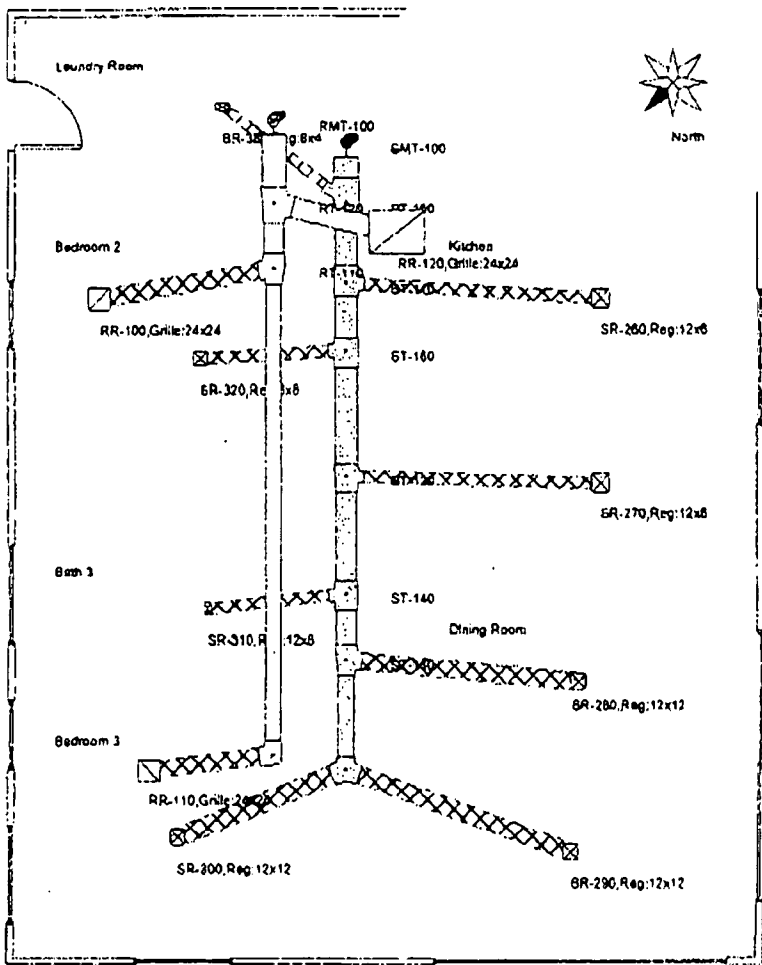


**RECEIVED**  
 OCT 21 2010  
 Sewall's Point Town Hall

Gilberto 2.5 ton zone

Drawn:  
 Approved:  
 Date:  
 Job Number:





Gilberto Residence 3 ion zone

Drawn:  
 Approved:  
 Date:  
 Job Number



### System 1 Room Load Summary

Room No	Room Name	Area SF	Htg Sens Btuh	Min Htg CFM	Run Duct Size	Run Duct Vel	Cig Sens Btuh	Cig Lat Btuh	Min Cig CFM	Act Sys CFM
---Zone 1---										
1	Master Bedroom	537	8,529	111	12	-	8,988	994	408	408
2	Bath 1	110	1,038	13	3	-	660	99	30	30
3	Bath 2	36	238	3	2	-	186	54	8	8
4	Living Room	602	11,422	148	8,8,8	-	10,725	634	488	488
5	Room 7	64	2,271	30	0	-	1,294	216	59	59
6	Room 6	36	998	13	3	-	475	108	22	22
7	Room 7	36	528	7	2	-	290	54	13	13
Duct Latent								1,108		
System 1 total		1,421	25,023	325			22,598	3,267	1,028	1,028

System 1 Main Trunk Size: 11x16 in.  
 Velocity: 794 ft./min  
 Loss per 100 ft.: 0.073 in.wg

Duct size results above are from Manual D Ductsize.  
 Runout duct velocities are not printed with duct size results from Manual D Ductsize since they can vary within the room.  
 See the Manual D Ductsize report for duct velocities and other data.

### Cooling System Summary

	Cooling Tons	Sensible/Latent Split	Sensible Btuh	Latent Btuh	Total Btuh
Net Required:	2.16	87% / 13%	22,598	3,267	25,865

### Equipment Data

	Heating System	Cooling System
Type:	Natural Gas Furnace	Standard Air Conditioner
Model:		
Indoor Model:		
Brand:		
Efficiency:	0 AFUE	0 SEER
Sound:		
Capacity:	0 Btuh	0 Btuh
Sensible Capacity:	n/a	0 Btuh
Latent Capacity:	n/a	0 Btuh

### System 1 Room Load Summary

Room No.	Room Name	Area SF	Htg Sens Btuh	Min Htg CFM	Run Duct Size	Run Duct Vel	Clg Sens Btuh	Clg Lat Btuh	Min Clg CFM	Act Sys CFM
---Zone 1---										
1	Kitchen	274	2,400	31	6,8	-	5,143	631	234	234
2	Dining Room	280	8,125	106	8,8	-	7,843	258	357	357
3	Bedroom 3	221	4,408	57	10	-	5,914	232	269	269
4	Bath 3	134	1,517	20	6	-	2,353	58	107	107
5	Bedroom 2	256	1,781	23	6	-	2,200	311	100	100
6	Laundry Room	142	2,385	31	5	-	1,447	198	66	66
Duct Latent								990		
System 1 total		1,307	20,616	268			24,901	2,678	1,132	1,132

System 1 Main Trunk Size: 12x18 in.  
 Velocity: 755 ft./min  
 Loss per 100 ft.: 0.080 in.wg

Duct size results above are from Manual D Ductsize.  
 Runout duct velocities are not printed with duct size results from Manual D Ductsize since they can vary within the room.  
 See the Manual D Ductsize report for duct velocities and other data.

### Cooling System Summary

	Cooling Tons	Sensible/Latent Split	Sensible Btuh	Latent Btuh	Total Btuh
Net Required:	2.30	90% / 10%	24,901	2,678	27,579

### Equipment Data

	Heating System	Cooling System
Type:	Electric Resistance	Standard Air Conditioner
Model:		
Indoor Model:		
Brand:		
Efficiency:	0%	15.5 SEER
Sound:		
Capacity:	0 Btuh	0 Btuh
Sensible Capacity:	n/a	0 Btuh
Latent Capacity:	n/a	0 Btuh

**Detailed Room Loads - Room 1 - Great Room (Average Load Procedure)**

General:			
Calculation Mode:	Htg. & clg.	Occurrences:	1
Room Length:	29.0 ft.	System Number:	1
Room Width:	18.5 ft.	Zone Number:	1
Area:	537.0 sq.ft.	Supply Air:	338 CFM
Ceiling Height:	8.0 ft.	Supply Air Changes:	4.7 AC/hr
Volume:	4,292.0 cu.ft.	Req. Vent. Clg:	0 CFM
Number of Registers:	3	Actual Winter Vent.:	0 CFM
Runout Air:	112 CFM	Percent of Supply.:	0 %
Runout Duct Size:	8 in.	Actual Summer Vent.:	0 CFM
Runout Air Velocity:	571 ft./min.	Percent of Supply:	0 %
Runout Air Velocity:	571 ft./min.	Actual Winter Infil.:	19 CFM
Actual Loss:	0.208 in.wg./100 ft.	Actual Summer Infil.:	10 CFM

Description	Area Quantity	U Value	Htg HTM	Sum Loss	Clg HTM	Lat Gain	Sun Gain		
NE-Wall-12C-0sw 13 X 8	84.5	0.091	2.3	192	2.0	0	173		
SW-Wall-12C-0sw 13 X 8	26	0.091	2.3	59	2.0	0	53		
NE-Door-11G 3 X 8.5	19.5	0.540	13.5	263	14.6	0	284		
SW-Gls-1A-cm-o shgc-0.75 100%S	78	1.270	31.8	2,477	36.2	0	2,822		
UP-Sky-9Ac-smw shgc-0.76	3.8	1.590	39.8	149	217.3	0	815		
UP-Sky-9Ac-smw shgc-0.78	0.3	1.590	39.8	10	215.6	0	54		
UP-Ceil-18C-19 29 X 18.5	532.5	0.049	1.2	652	2.0	0	1,070		
Floor-22A-pm 26 ft. Per.	28	1.180	29.5	767	0.0	0	0		
Subtotals for Structure:				4,569		0	5,271		
Infil.: Win.: 18.6, Sum.: 9.5				208	2.462	512	0.808	385	168
Ductwork:				1,916				1,278	
AED Excursion:								879	
Room Totals:				6,997		385	7,393		

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 11-11-2010 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9573	Harte	Final AC		Keep low
AM	3 E High Pt Jensen Beach AC		Pass	ON SITE W/ LADDER
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>91613</del>	<del>Cybernet</del>	<del>Final</del>		<del>Summ ducts</del>
130 HMA	1015 S. Ocean Blvd All that Cools	<del>AC Structures</del>	Pass	CHANGES W/ A BUREAU SECURE CONDENSATE INSPECTOR <i>AK</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	ELDER	WALK THRU		
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9344	WOODS			
ESD	32 E. HIGH PT CAPITAL AUTO	STAIN WALL SOUTH SIDE	Pass	INSPECTOR <i>AK</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 11-12-2010 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9051	Berikana 3602 S Ocean Comm Cont	Above ceiling Final <del>MECHANICAL</del> PLBT. PARTIAL	PASS	PENDING TA B. REPORT INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>9123</del> 7PM	<del>Gilbert</del> 1015 Liver Rd All that Cools	AC Final & ducts	<del>PASS</del>	INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
Tree	Martin 3 Guail Run	Tree	N.G.	INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9620	Slater 4 Lagoon Isd Paulick	Final light poles	PASS	Close INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	BEN - A - GRAY FENCE			INSPECTOR

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 12-22-2010 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>9613</del>	<del>Quilley</del>	<del>Final</del>		
IPMA	107 S River		Pass	
	all that Cools			INSPECTOR <i>A</i>
<del>9632</del>	<del>Gayle</del>	<del>deck bond</del>		
	<del>Wendy La</del>	<del>cancel</del>		
	<del>Louden Pools</del>			INSPECTOR
9644	Boniface	Final		
	635 River Rd	Roof	Pass	Close
	Code led Roofer			INSPECTOR <i>A</i>
9659	Pare	Final AC		
AM	109 S River		Pass	Close
	Hayden Air			INSPECTOR <i>A</i>
9598	Carlson	Final AC		
1821	7 Kensington Ct		Fail	Fix T F/W
	Nis Air			SEAL RET. DUCT
				INSPECTOR <i>A</i>
9639	Bikner	Final AC &		
	21 Sewalls Pt Rd	ducts	Fail	CONNECTION TO
	Hymnis AC			PROVIDE ACCESS
				INSPECTOR <i>A</i>
9602	Martin City	Final		
	Behind ISSPE	Demo	Pass	Close
	Worrell Bldg			INSPECTOR <i>A</i>

**9749**

**WINDOWS**

**&**

**DOORS**





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9749	DATE ISSUED:	MARCH 25, 2011
SCOPE OF WORK:	REPLACE WINDOWS & SGD		
CONDITIONS :			
CONTRACTOR:	OB		
PARCEL CONTROL NUMBER:	123841002-000-009302	SUBDIVISION	RIO VISTA – LOT 93
CONSTRUCTION ADDRESS:	107 S RIVER RD		
OWNER NAME:	GILBERTO		
QUALIFIER:	OB	CONTACT PHONE NUMBER:	646-335-8359

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

PAMELA M. BUSHA  
Mayor

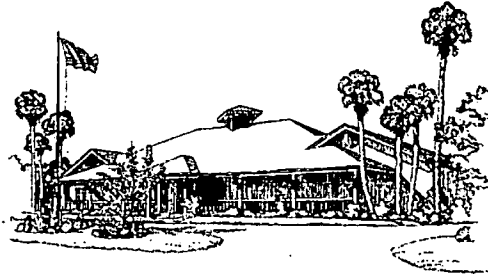
PAUL LUGER  
Vice Mayor

VINCENT N. BARILE  
Commissioner

THOMAS BAUSCH  
Commissioner

JACQUI THURLOW-LIPPISCH  
Commissioner

# TOWN OF SEWALL'S POINT



PAMELA MAC'KIE WALKER  
Town Manager

ANN-MARIE S. BASLER  
Town Clerk

TINA CIECHANOWSKI  
Chief of Police

JOHN ADAMS  
Building & Facilities Director

JOSE TORRES  
Maintenance

August 6, 2014

## NOTICE OF EXPIRED PERMIT

This correspondence is intended as a follow-up to a building permit and specific improvements associated with 107 S River Road, more specifically permit # 9749 issued on March 25, 2011 for Replace window and doors.

Town records indicate that at least 180 days have passed without a successful recorded inspection. Your permit is now expired without benefit of a required final inspection.

**Town of Sewall's Point Code of Ordinances** section 50-94 states: Failure to obtain an approved inspection within 180 days of the previous approved inspection shall constitute suspension or abandonment. (2) If a new permit is not obtained within 180 days from the date the initial permit became null and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and the work required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date of issuance of the new permit.

In order to avoid further administrative action please arrange to schedule a final inspection of this permit by the Town of Sewall's Point Building Department no later than ten days from date of this letter. Your permit will need to be renewed and is subject to any applicable renewal or inspection fees.

Failure to renew your permit and receive a final inspection will result in your permit becoming null and void, and the Town will report this to the property owner and the appropriate agencies as required. This will also constitute justification for denying any future permits requested by you, or your company.

Please contact me with any questions.

With Best Regards,

John R. Adams, C.B.O.  
Building Official



One South Sewall's Point Road, Sewall's Point, Florida 34996  
Town Hall (772) 287-2455 • Fax (772) 220-4765 • E-Mail: [pwalker@sewallspoint.org](mailto:pwalker@sewallspoint.org)  
Police Department (772) 781-3378 • Fax (772) 286-7669 • E-Mail: [sppd@sewallspoint.org](mailto:sppd@sewallspoint.org)

**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

Permit Number: **9749**

Date: 3/18/11  
 OWNER/TITLEHOLDER NAME: Joseph Gilberto Phone (Day) (646) 335-8359 (Fax) \_\_\_\_\_  
 Job Site Address: 107 S. River RD City: STUART State: FL Zip: 34996  
 Legal Description \_\_\_\_\_ Parcel Control Number: \_\_\_\_\_  
 Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

**SCOPE OF WORK (PLEASE BE SPECIFIC):**

REPLACES WINDOWS & DOOR'S

**WILL OWNER BE THE CONTRACTOR?**  
 (If yes, Owner Builder questionnaire must accompany application)  
 YES  NO \_\_\_\_\_  
**Has a Zoning Variance ever been granted on this property?**  
 YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
 (Must include a copy of all variance approvals with application)

**COST AND VALUES:** (Required on ALL permit applications)  
 Estimated Value of Improvements: \$ 1000.00  
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
 Is subject property located in flood hazard area? VE10  AE9  AE8  **X**  
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
 Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
 (Fair Market Value of the Primary Structure only, Minus the land value)  
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

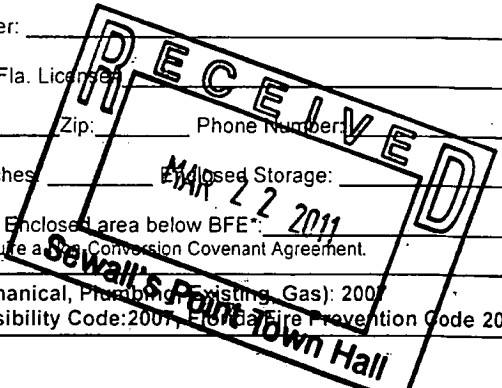
Construction Company: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Qualifiers name: \_\_\_\_\_ Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 State License Number: \_\_\_\_\_ OR: Municipality: \_\_\_\_\_ License Number: \_\_\_\_\_

LOCAL CONTACT: \_\_\_\_\_ Phone Number: \_\_\_\_\_  
 DESIGN PROFESSIONAL: \_\_\_\_\_ Fla. License # \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Phone Number: \_\_\_\_\_

AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/ Porches: \_\_\_\_\_  
 Carport: \_\_\_\_\_ Total under Roof \_\_\_\_\_ Elevated Deck: \_\_\_\_\_ Enclosed area below BFE: \_\_\_\_\_  
 \* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing Gas): 2007  
 National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007



**NOTICES TO OWNERS AND CONTRACTORS:**

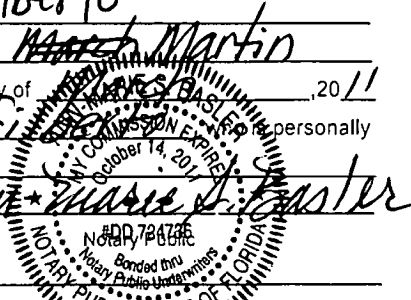
- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
- THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1. 105.4.1.1 - .5.

**\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\***

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER NOTORIZED SIGNATURE: (required per 713.135 F.S.)  
 OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

X Joseph Gilberto  
 State of Florida, County of: Martin  
 On This the 22nd day of March, 2011  
 by Joseph Gilberto personally  
 known to me or produced  
 As identification: Ann Marie Easter  
 My Commission Expires: \_\_\_\_\_



CONTRACTOR NOTORIZED SIGNATURE: (required per 713.135 F.S.)

X \_\_\_\_\_  
 State of Florida, County of: \_\_\_\_\_  
 On This the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_  
 by \_\_\_\_\_ who is personally  
 known to me or produced \_\_\_\_\_  
 As identification: \_\_\_\_\_  
 My Commission Expires: \_\_\_\_\_  
 Notary Public

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



**Martin County, Florida**  
**Laurel Kelly, C.F.A**

Site Provided by...  
 governmax.com 1.12

**Summary**

Owner 2 of 2

**Tabs**

- Summary**
- Print View
- Land
- Improvements
- Assessments & Exemptions
- Sales
- Taxes →
- NEW: Navigator
- Parcel Map →
- Parcel Map (To be phased out 6/1/11) →
- Trim Notice →

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
12-38-41-002-000-00930-2	27604	107 S RIVER RD, SEWALL'S POINT	\$323,170	3/19/2011

Owner Information	
<b>Owner(Current)</b>	GILBERTO JOSEPH GILBERTO CYNTHIA A
<b>Owner/Mail Address</b>	107 S RIVER RD STUART FL 34996
<b>Sale Date</b>	12/23/2010
<b>Document Number</b>	2251029
<b>Document Reference No.</b>	2493 1192
<b>Sale Price</b>	144000

**Searches**

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- NEW: Navigator
- Maps →
- Maps (To be phased out 6/1/11) →

Location/Description			
<b>Account #</b>	27604	<b>Map Page No.</b>	SP-05
<b>Tax District</b>	2200	<b>Legal Description</b>	RIO VISTA S/D LOT 93
<b>Parcel Address</b>	107 S RIVER RD, SEWALL'S POINT		
<b>Acres</b>	.5690		

Parcel Type	
<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120250 RIO VISTA DRY

**Functions**

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Assessment Information	
<b>Market Land Value</b>	\$139,700
<b>Market Improvement Value</b>	\$183,470
<b>Market Total Value</b>	\$323,170

Print Back to List First Previous Next Last

Legal Disclaimer / Privacy Statement





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**OWNER/BUILDER QUESTIONNAIRE AND DISCLOSURE STATEMENT  
 MUST BE COMPLETED AND REVIEWED PRIOR TO PERMIT ISSUANCE**

**APPLICABLE ONLY TO OWNER-OCCUPIED SINGLE FAMILY RESIDENCES  
 AND COMMERCIAL IMPROVEMENTS LESS THAN \$75,000 IN VALUE**

NOTICE: FLORIDA STATUTE 489 REQUIRING CONSTRUCTION TO BE DONE ONLY BY LICENSED CONTRACTORS PROVIDES AN EXEMPTION FROM LICENSING FOR A PROPERTY OWNER WHO ACTS AS HIS/HER OWN CONTRACTOR UNDER SPECIFIC CONDITIONS. ANSWERS TO THE FOLLOWING QUESTIONS ARE ESSENTIAL TO DETERMINE IF THOSE STATE QUALIFICATIONS ARE SATISFIED BY AN OWNER/BUILDER APPLICANT.

ALL QUESTIONS MUST BE ANSWERED. IF A QUESTION DOES NOT APPLY, INDICATE BY WRITING "N/A"

Owner/Builder Applicant Name: Joseph Gilberto

Site address of the proposed building work: 107 S. River Rd Stuart, FL 34996

Name of legal title owner of the address above: Joseph Gilberto

Describe the scope of work for the proposed new construction: \_\_\_\_\_

Name of Architect of Record: N/A Structural Engineer of Record: N/A

Who will supervise the trade work to meet the applicable code? \_\_\_\_\_

What provisions have you made for Liability and Property Damage Insurance? N/A

What provisions exist for withholding Social Security and Federal Income Taxes, as required by Federal Law, from wages paid to people you hire who are not licensed? N/A

What previous Owner/Builder improvements have you done in the State of Florida?

Location: N/A Scope of Work Done: N/A Year: \_\_\_\_\_

Location: N/A Scope of Work Done: N/A Year: \_\_\_\_\_

What code books do you have available for reference? Building: N/A

Electric: N/A Plumbing: N/A HVAC: N/A

Other: \_\_\_\_\_

I have internet access and will view The Florida Building code at [www.floridabuilding.org](http://www.floridabuilding.org) YES  NO

Do you understand that as the permit holder you are liable for following all Local, County, State and Federal codes, laws and requirements, and you are also liable for anyone injured on the construction site? \_\_\_\_\_ (yes/no)

Have you consulted with your Homeowner's Insurance Agent? N/A Lender? N/A Attorney? N/A

In order to assure your success in this project, please signify your awareness that the function of the building department is to issue you a building permit and verify code compliance through plan review and the inspection process. I am aware that town staff is not obligated to offer supervision, design or instructional advice prior or during my project. JG (initials).



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

**OWNER/BUILDER DISCLOSURE STATEMENT**

**NOTICE: STATE LAW REQUIRES THAT ALL PERMITTING AGENCIES PROVIDE INDIVIDUALS SUBMITTING APPLICATIONS FOR OWNER/BUILDER PERMITS THE FOLLOWING INFORMATION:**

1. THE TOWN OF SEWALL'S POINT CODE OF LAWS AND ORDINANCES REQUIRES THAT ANY PERSON DESIRING TO ENGAGE IN BUSINESS AS A CONTRACTOR IN THE TOWN OF SEWALL'S POINT BE A HOLDER OF A CERTIFICATE OF COMPETENCY.
2. FLORIDA STATUTES 489.103 (7) ALLOWS YOU, AS A PROPERTY OWNER, AN EXEMPTION TO CONSTRUCT OR IMPROVE A SINGLE FAMILY DWELLING AND ACCESSORY-USE STRUCTURES ON SAID PROPERTY FOR YOUR OWN USE OR OCCUPANCY WITHOUT HAVING A CERTIFICATE OF COMPETENCY.
3. AS AN OWNER/BUILDER, YOU MUST PHYSICALLY PERFORM OR MATERIALLY SUPERVISE ALL CONSTRUCTION/IMPROVEMENTS SPECIFIED ON YOUR OWNER/BUILDER PERMIT AND YOU ARE TOTALLY RESPONSIBLE FOR ALL ACTIVITIES ASSOCIATED THEREWITH. OWNER/BUILDERS WHO WISH TO DO ELECTRICAL OR PLUMBING WORK MUST PASS A SHORT OPEN BOOK QUIZ ADMINISTERED BY THE BUILDING DEPARTMENT.
4. IF YOU DO NOT PHYSICALLY PERFORM A SPECIFIC PHASE OF SAID CONSTRUCTION/IMPROVEMENT, BUT CHOOSE TO SUB-CONTRACT IT, THEN SUCH CONSTRUCTION/IMPROVEMENT MUST BE SUB-CONTRACTED TO A LOCALLY LICENSED OR STATE CERTIFIED CONTRACTOR.
5. YOU MAY NOT HIRE AN UNLICENSED INDIVIDUAL WHO IN ANY MANNER ACTS IN THE CAPACITY OF A GENERAL CONTRACTOR, THAT IS, ONE WHO FULFILLS YOUR DUTIES UNDER PARAGRAPH (3) ABOVE.
6. UNDER AN OWNER/BUILDER PERMIT YOU MAY NOT CONSTRUCT A BUILDING WHICH YOU INTEND TO SELL OR LEASE. THE SALE OR LEASE, OR OFFERING FOR SALE OR LEASE, OF ANY SUCH STRUCTURE BY THE OWNER-BUILDER WITHIN 1 YEAR AFTER COMPLETION OF SAME CREATES A PRESUMPTION THAT THE CONSTRUCTION WAS UNDERTAKEN FOR PURPOSES OF SALE OR LEASE WHICH IS A VIOLATION OF THIS EXEMPTION.
7. THIS EXEMPTION SHALL NOT APPLY TO ANY PERSON WHO HAS LEASED, SOLD, OR OFFERED FOR SALE MORE THAN 1 STRUCTURE BUILT UNDER AN OWNER-BUILDER PERMIT IN ANY JURISDICTION WITHIN THE 5 YEARS IMMEDIATELY PRECEDING THE APPLICATION FOR A PERMIT.
8. THERE MUST BE A THIRTY-SIX (36) MONTH PERIOD BETWEEN THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE INITIAL DWELLING AND THE SUBMITTAL OF AN OWNER/BUILDER APPLICATION FOR A SUBSEQUENT DWELLING. NO OTHER BUILDING PERMIT FOR A HOME SHALL BE ISSUED TO THAT OWNER/BUILDER, THE OWNER/BUILDER'S SPOUSE OR ANY MEMBER OF THE OWNER/BUILDER'S IMMEDIATE FAMILY UNDER EIGHTEEN YEARS OF AGE UNTIL THREE YEARS AFTER THE HOME BUILT UNDER THE FIRST BUILDING PERMIT HAS RECEIVED A CERTIFICATE OF OCCUPANCY.
9. ALL CONSTRUCTION IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDER PERMIT MUST BE IN STRICT COMPLIANCE WITH FLORIDA STATE STATUTE SECTION 489, SEWALL'S POINTS CODE OF LAWS AND ORDINANCES, ALL BUILDING & ZONING CODES AND REGULATIONS PERTAINING TO SINGLE FAMILY DWELLINGS, ACCESSORY USE STRUCTURES AS APPLICABLE.
10. YOUR OWNER/BUILDER EXEMPTION DOES NOT WAIVE ANY PERMIT CONDITIONS OR REQUIREMENTS OR WAIVE ANY PORTION OR PORTIONS OF ANY APPLICABLE BUILDING OR SWIMMING POOL CODES OR TOWN ORDINANCES.
11. ALL CONSTRUCTION/IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDING PERMIT MUST ALSO BE IN STRICT COMPLIANCE WITH ALL APPLICABLE ZONING REGULATIONS (QUESTIONS REGARDING ZONING REGULATIONS SHOULD BE DIRECTED TO THE TOWN OF SEWALL'S POINT AT 772-287-2455.)



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

12. YOU MUST BE FAMILIAR WITH AND CALL FOR THE REQUIRED INSPECTIONS OF ALL CONSTRUCTION/IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDER PERMIT.
13. AS AN OWNER/BUILDER YOU MUST VERIFY THAT ALL INDIVIDUALS OR FIRMS ENGAGED IN CONSTRUCTION/IMPROVEMENTS ACTIVITIES UNDER YOUR OWNER/BUILDER PERMIT ARE PROPERLY LICENSED AS REQUIRED BY STATE LAW OR LOCAL ORDINANCE.
14. ANY PERSON WORKING ON YOUR BUILDING WHO IS NOT LICENSED MUST WORK UNDER YOUR DIRECT SUPERVISION AND MUST BE EMPLOYED BY YOU, WHICH MEANS THAT YOU MUST DEDUCT F.I.C.A. AND WITHHOLDING TAX AND PROVIDE WORKERS' COMPENSATION FOR THAT EMPLOYEE, ALL AS PRESCRIBED BY LAW.
15. I, AS AN OWNER/BUILDER, IN CONSIDERATION OF A BUILDING PERMIT ISSUED BY SEWALL'S POINT, FLORIDA, AGREE TO INDEMNIFY AND HOLD HARMLESS SAID SEWALL'S POINT, FLORIDA, ITS OFFICERS AND AGENTS FROM ANY AND ALL CLAIMS, DAMAGES, OR EXPENSES THAT SEWALL'S POINT MAY BE LIABLE FOR WHICH ARISE FROM THE CONSTRUCTION/IMPROVEMENTS ACCOMPLISHED IN CONNECTION WITH SAID BUILDING PERMIT.

I HEREBY ACKNOWLEDGE THAT I HAVE THOROUGHLY READ AND COMPLETELY UNDERSTAND THE PRECEDING PAGE OF THE OWNER/BUILDER DISCLOSURE STATEMENT.

ON THIS 23 DAY OF MARCH, 2011.

PROPERTY ADDRESS 107 S. River Road

CITY STUART STATE FL ZIP 34996

Joseph Gilberto  
 SIGNATURE OF OWNER/BUILDER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 23 DAY OF Mar 2011

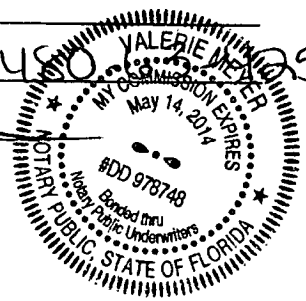
BY Joseph Gilberto

PERSONALLY KNOWN \_\_\_\_\_

OR PRODUCED ID

TYPE OF ID FDL #G416-450

Valerie Meyer  
 NOTARY SIGNATURE



TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY

**WINDOW/DOOR SCHEDULE**

ID NO	APPOX OPENING SIZE (WXH)	DESIGNATION	* TYPE	IMPACT PROTECTION		REMARKS
				IMPACT GLASS	SHUTTER	
	37" X 63"	25	SH		X	EXAMPLE
1	<del>35</del> X37		SH	X		
2	51X49		SH	X		
3	<del>35</del> X37		SH	X		
4	51X49		SH	X		
5	51X49		SH	X		
6	51X49		SH	X		
7	51X49		SH	X		
8	51X49		SH	X		
9	142X79	SGD	SL	X		
10	<del>72</del> X44	<del>SGD</del>	SL	X		
11	142X79	SGD	SL	X		
12	35X49		SH	X		
13	35X49		SH	X		
14	35X49		SH	X		
15	71X26	<del>SGD</del>	SL	X		
16	71X26		SL	X		
17	35X49		SH	X		
18	35X49		SH	X		
19	24X24		SH	X		
20	51X49		SH	X		
21	51X49		SH	X		
22						
23						
24						
25						
26						
27						
28						
29						
30						

TOTAL GLAZED OPENING AREA FOR STRUCTRE: \_\_\_\_\_ S.F.

\*PERCENTAGE OF NEW GLAZED AREA: \_\_\_\_\_ %  
 (TOTAL INSTALLED GLAZED AREA DIVIDED BY TOTAL GLAZED OPENINGS FOR STRUCTURE)

NOTE: The replacement of more than 25% of the aggregate area of exterior glazing (windows & doors) in one & two family dwellings within a 12 month period will require impact protection on all proposed glazed opening replacement (approved shutters or impact resistant glazing) as per 2007 FBC/ EXISTING BUILDING 507.3.

\* TYPE WINDOWS

- SH - SINGLE HUNG
- DH - DOUBLE HUNG
- AWN - AWNING
- CAS - CASEMENT
- SL - SLIDING
- FIX - FIXED



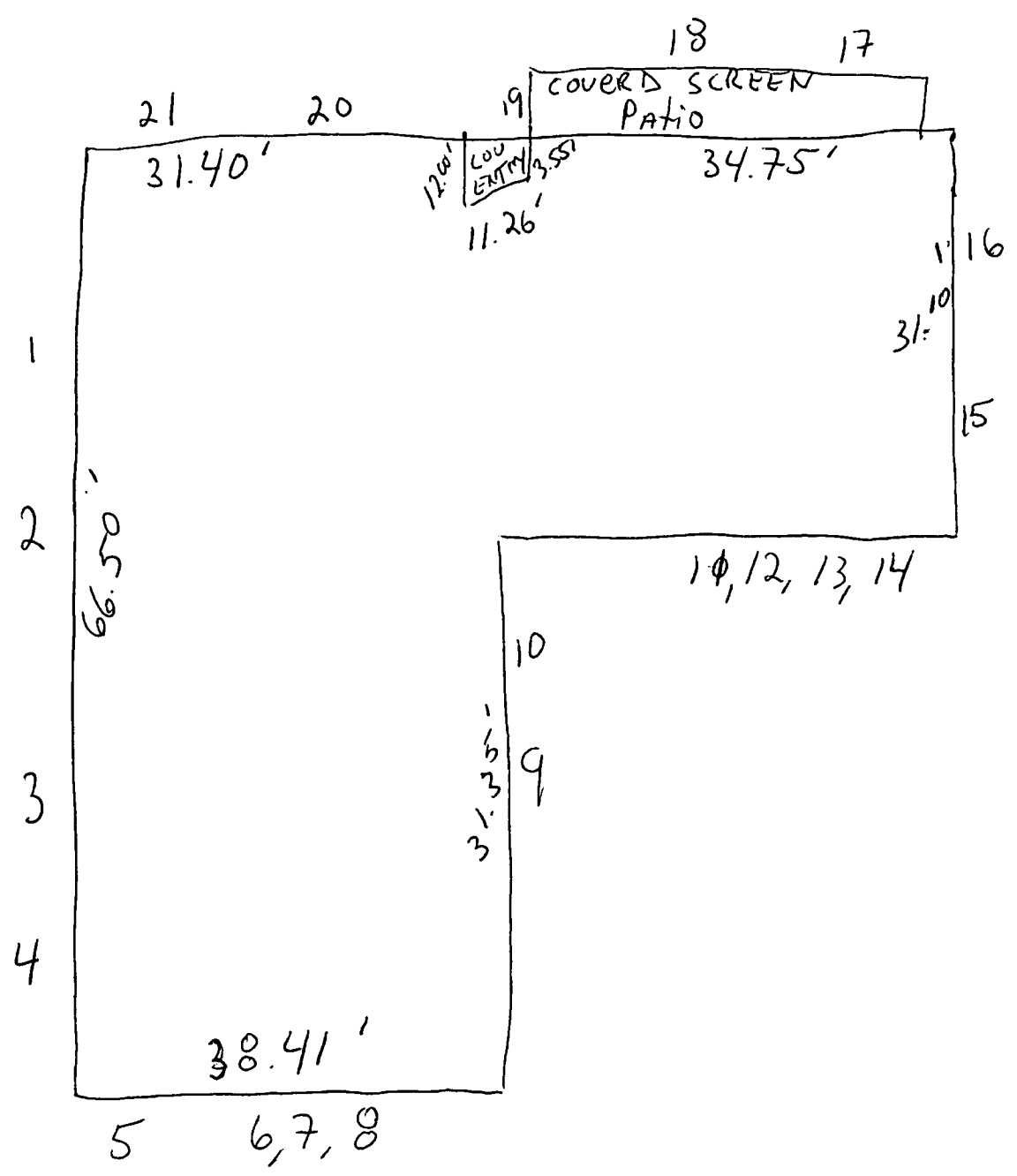
EAST SIDE

(FRONT)

107 S. River Road  
STUART, FL 34996

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WEST SIDE



BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 372-6339

**NOTICE OF ACCEPTANCE (NOA)**

[www.miamidade.gov/buildingcode](http://www.miamidade.gov/buildingcode)

Jeld-Wen, Inc.  
3737 Lakeport Blvd.  
Klamath Falls, OR 97601

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

**DESCRIPTION: Clipped Aluminum Tube Mullion – L.M.I. & S.M.I.**

**APPROVAL DOCUMENT:** Drawing No. 10-JWN-0001, titled "Clipped Aluminum Tube Mullion", sheets 1 through 6 of 6, dated 03/09/10, with last revision dated 08/10/10, prepared by Engineering Express, signed and sealed by Frank L. Bennardo, P.E., bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING: Large and Small Missile Impact Resistant**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name:

Jeld-Wen, Inc.  
355 Center Court  
Venice, Florida 34285

and the following statement: "Miami-Dade County Product Control Approved".

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of this page 1 and evidence page E-1, as well as approval document mentioned above. The submitted documentation was reviewed by Carlos M. Utrera, P.E.



*[Signature]*  
08/30/10

NOA No. 10-0406.03  
Expiration Date: September 22, 2015  
Approval Date: September 22, 2010  
Page 1

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

**A. DRAWINGS**

1. Manufacturer's die drawings and sections.
2. Drawing No. 10-JWN-0001, titled "Clipped Aluminum Tube Mullion", sheets 1 through 6 of 6, dated 03/09/10, with last revision dated 08/10/10, prepared by Engineering Express, signed and sealed by Frank L. Bennardo, P.E.

**B. TESTS**

1. Test reports on 1) Uniform Static Air Pressure Test, Loading per FBC TAS 202-94  
2) Large Missile Impact Test per FBC, TAS 201-94  
3) Cyclic Wind Pressure Loading per FBC, TAS 203-94  
along with marked-up drawings and installation diagram of Jeld-Wen Premium Atlantic Vinyl Fixed Windows (8300) mullied together with aluminum tube mullion, prepared by National Certified Testing Laboratories, Test Report No. NCTL-210-3383-2, dated 10/22/07, signed and sealed by Gerard J. Ferrara, P.E.
2. Test reports on 1) Uniform Static Air Pressure Test, Loading per FBC TAS 202-94  
2) Large Missile Impact Test per FBC, TAS 201-94  
3) Cyclic Wind Pressure Loading per FBC, TAS 203-94  
along with marked-up drawings and installation diagram of Jeld-Wen Premium Atlantic Vinyl Fixed Windows (8300) mullied together with aluminum tube mullion, prepared by National Certified Testing Laboratories, Test Report No. NCTL-210-3383-2A, dated 06/28/10, signed and sealed by Gerard J. Ferrara, P.E.

**C. CALCULATIONS**

1. Anchor verification calculations and structural analysis, complying with FBC-2007, prepared by Engineering Express, dated 03/30/10, signed and sealed by Frank L. Bennardo, P.E.

**D. QUALITY ASSURANCE**

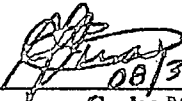
1. Miami Dade Building Code Compliance Office (BCCO)

**E. MATERIAL CERTIFICATIONS**

1. None.

**F. STATEMENTS**

1. Statement letter of 2007 FBC conformance, issued by Engineering Express, dated March 25, 2010, signed and sealed by Frank L. Bennardo, P.E.
2. Statement letter of no financial interest, issued by Engineering Express, dated March 25, 2010, signed and sealed by Frank L. Bennardo, P.E.



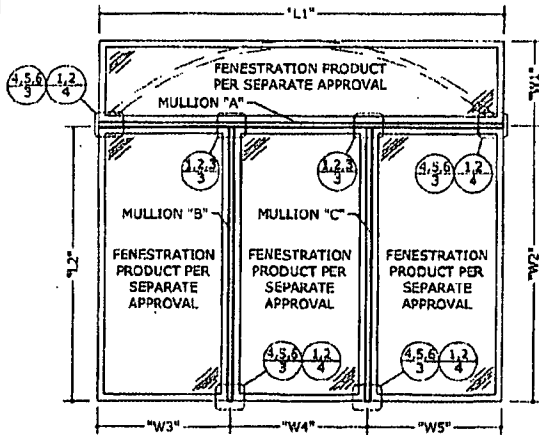
08/30/10

Carlos M. Utrera, P.E.  
Product Control Examiner  
NOA No. 10-0406.03

Expiration Date: September 22, 2015  
Approval Date: September 22, 2010

# CLIPPED ALUMINUM TUBE MULLION

## LARGE AND SMALL MISSILE IMPACT RESISTANT



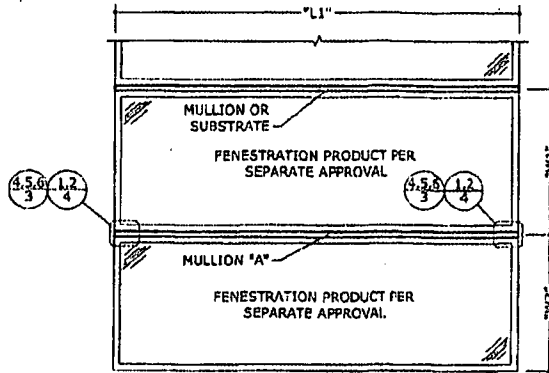
**NOTES:**

- NUMBER OF FENESTRATION PRODUCTS UNDERNEATH TRANSOM MAY BE UNLIMITED, PROVIDED THAT MULLION LIMITATIONS NOTED HEREIN ARE NOT EXCEEDED.
- ANCHORAGE OF FENESTRATION PRODUCTS TO MULLIONS SHALL BE PER SEPARATE APPROVAL.
- ALLOWABLE DESIGN PRESSURES SHALL BE DETERMINED FROM DESIGN SCHEDULES.
- MULLION SPANS AND TRIBUTARY WIDTHS SHALL BE DETERMINED AS FOLLOWS:
  - MULLION "A":**
    - MULLION SPAN = L1
    - TRIBUTARY WIDTH = (W1 + W2) / 2
  - MULLION "B":**
    - MULLION SPAN = L2
    - TRIBUTARY WIDTH = (W3 + W4) / 2
  - MULLION "C":**
    - MULLION SPAN = L2
    - TRIBUTARY WIDTH = (W4 + W5) / 2

**1 MULLIONED FENESTRATION PRODUCTS WITH TRANSOM**

1 N.T.S. EXTERIOR ELEV.

**NOTE:** MULLION DESIGNATIONS (MULLION 'A', MULLION 'B' AND MULLION 'C') PROVIDED IN DETAILS 1/1, 2/1, AND 3/1 ARE PROVIDED ONLY TO ILLUSTRATE THE DETERMINATION OF MULLION SPANS AND TRIBUTARY WIDTHS. ALL MULLIONS SHOWN IN THE ABOVE REFERENCED DETAILS MAY BE ANY MULLION APPROVED HEREIN.

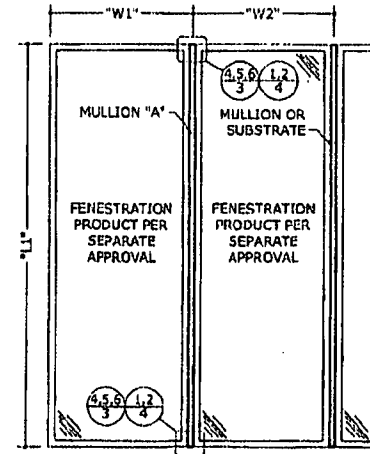


**NOTES:**

- UNLIMITED NUMBER OF FENESTRATION PRODUCTS MAY BE MULLIONED TOGETHER AS SHOWN, PROVIDED THAT MULLION LIMITATIONS NOTED HEREIN ARE NOT EXCEEDED.
- ANCHORAGE OF FENESTRATION PRODUCTS TO MULLIONS SHALL BE PER SEPARATE APPROVAL.
- ALLOWABLE DESIGN PRESSURES SHALL BE DETERMINED FROM DESIGN SCHEDULES.
- MULLION SPANS AND TRIBUTARY WIDTHS SHALL BE DETERMINED AS FOLLOWS:
  - MULLION "A":**
    - MULLION SPAN = L1
    - TRIBUTARY WIDTH = (W1 + W2) / 2

**2 FENESTRATION PRODUCTS MULLIONED VERTICALLY**

1 N.T.S. EXTERIOR ELEV.



**NOTES:**

- UNLIMITED NUMBER OF FENESTRATION PRODUCTS MAY BE MULLIONED TOGETHER AS SHOWN, PROVIDED THAT MULLION LIMITATIONS NOTED HEREIN ARE NOT EXCEEDED.
- ANCHORAGE OF FENESTRATION PRODUCTS TO MULLIONS SHALL BE PER SEPARATE APPROVAL.
- ALLOWABLE DESIGN PRESSURES SHALL BE DETERMINED FROM DESIGN SCHEDULES.
- MULLION SPANS AND TRIBUTARY WIDTHS SHALL BE DETERMINED AS FOLLOWS:
  - MULLION "A":**
    - MULLION SPAN = L1
    - TRIBUTARY WIDTH = (W1 + W2) / 2

**3 FENESTRATION PRODUCTS MULLIONED HORIZONTALLY**

1 N.T.S. EXTERIOR ELEV.

**GENERAL NOTES**

- THE SYSTEM DESCRIBED HEREIN HAS BEEN DESIGNED AND TESTED IN ACCORDANCE WITH THE 2007 FLORIDA BUILDING CODE, FOR USE WITHIN AND OUTSIDE THE HIGH VELOCITY HURRICANE ZONE, PER TAS 201 / 202 / 203 AND THE 2005 ALUMINUM DESIGN MANUAL.
- NO 33-1/3% INCREASE IN ALLOWABLE STRESS HAS BEEN USED IN THE DESIGN OF THIS SYSTEM. WIND LOAD DURATION FACTOR Cd=1.6 HAS BEEN USED FOR WOOD ANCHOR DESIGN.
- POSITIVE AND NEGATIVE DESIGN PRESSURES CALCULATED FOR USE WITH THIS SYSTEM SHALL BE DETERMINED BY OTHERS ON A JOB-SPECIFIC BASIS IN ACCORDANCE WITH THE GOVERNING CODE.
- THE SYSTEM DETAILED HEREIN IS GENERIC AND DOES NOT PROVIDE INFORMATION FOR A SPECIFIC SITE. FOR SITE CONDITIONS DIFFERENT FROM THE CONDITIONS DETAILED HEREIN, A LICENSED ENGINEER OR REGISTERED ARCHITECT SHALL PREPARE SITE SPECIFIC DOCUMENTS FOR USE IN CONJUNCTION WITH THIS DOCUMENT.
- PERMIT HOLDER SHALL VERIFY THE ADEQUACY OF THE EXISTING STRUCTURE TO WITHSTAND SUPERIMPOSED LOADS. WOOD BUYS (BY OTHERS) SHALL BE ANCHORED PROPERLY TO TRANSFER LOADS TO THE EXISTING STRUCTURE.
- ALL EXTRUSIONS SHALL BE 6063-T6 ALUMINUM ALLOY, UNLESS NOTED OTHERWISE.

- ALL FENESTRATION PRODUCTS TO BE USED WITH THESE MULLIONS SHALL MEET ALL APPLICABLE CODE REQUIREMENTS, e.g. WIND LOAD RESISTANCE, AIR & WATER INFILTRATION, FORCED ENTRY, SAFEGUARDS, ETC.
- TOP & BOTTOM DETAILS SHOWN MAY BE INTERCHANGED AS FIELD CONDITIONS DICTATE. MULLIONS MAY BE MOUNTED VERTICALLY OR HORIZONTALLY AS APPLICABLE.
- ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.
- WOOD HOST STRUCTURE SHALL BE "SOUTHERN PINE" G=0.55 OR GREATER DENSITY.
- MINIMUM ANCHOR EMBEDMENT SHALL BE AS NOTED IN HEREIN. MINIMUM EMBEDMENT AND EDGE DISTANCE EXCLUDES STUCCO, FOAM, BRICK, AND OTHER WALL FINISHES.
- MULLIONS SHOWN HEREIN ARE LARGE MISSILE IMPACT RESISTANT. VERIFY IMPACT RESISTANCE OF FENESTRATION PRODUCTS TO BE USED WITH THESE MULLIONS.
- MULLIONS SHOWN HEREIN MAY BE USED IN LARGE MISSILE IMPACT, SMALL MISSILE IMPACT, AND NON-IMPACT APPLICATIONS.
- ALL STEEL IN CONTACT WITH ALUMINUM SHALL BE PAINTED OR PLATED.

Approved as complying with the Florida Building Code  
 Date: 08/16/2010  
 MOAS 10-0001-03  
 Miami Trade Product Council  
 Division: [Signature]

FRANK L. BERNARDO, P.E.  
 # PEG06348 F-1, K3  
 08/16/2010

**JELBOWEN ENGINEERING EXPRESS**  
 335 CENTER COURT  
 VENICE, FL 34285  
 PHONE: (941) 497-1984

160 SW 12th AVENUE, #106  
 DEERFIELD BEACH, FL 33442  
 PC (954) 354-0550 FAX (954) 354-0943  
 WWW.ENGGEXP.COM

CLIPPED ALUMINUM TUBE MULLION  
 LARGE MISSILE IMPACT RESISTANT  
 MIAMI-DADE NOTICE OF ACCEPTANCE

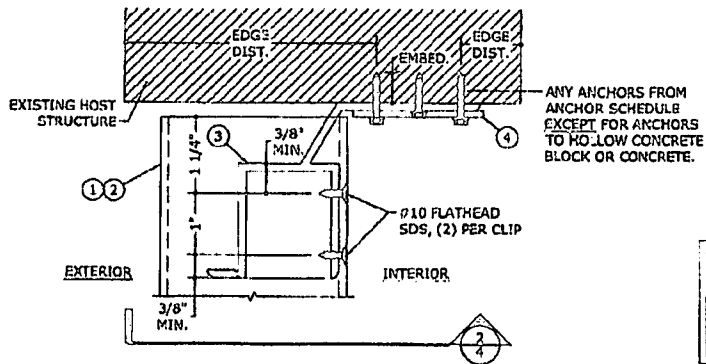
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10-JWN-0001  
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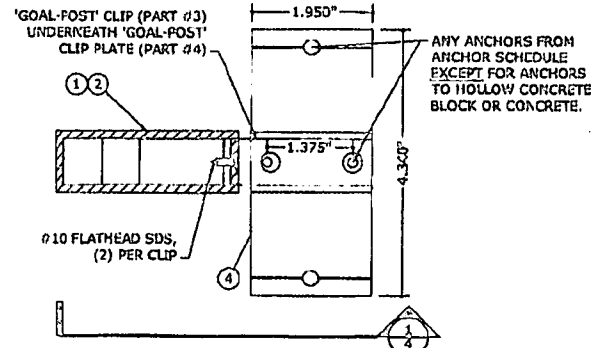






1  
4 N.T.S. SIDE ELEV.

NOTE: 'GOAL-POST' CLIP AND CLIP PLATE SHALL NOT BE USED WITH 3/16\"/>



2  
4 N.T.S. SECTION

**ANCHOR SCHEDULE:**

**TO HOLLOW BLOCK OR 3192 PSI MIN CONCRETE HOST STRUCTURE:**

- 3/16\"/>

**TO WOOD BUCK OR HOST STRUCTURE (G=0.55 MIN WOOD):**

- #10 WOOD SCREWS WITH 1-1/2\"/>

**TO 1/8\"/>**

**ANCHOR NOTES:**

1. ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.
2. ENSURE MINIMUM 2-5/8\"/>

Approved as complying with the Florida Building Code Date: 08/16/2010 NOA# 10-2000-03 Miami-Dade Product Control Division By: [Signature]

FRANK L. BERTHIAUD, P.E. P.00040640

08/16/2010

**ENGINEERING EXPRESS**  
160 SW 12TH AVENUE, #106  
DEERFIELD BEACH, FL 33442  
PH: (561) 394-6620 FAX: (561) 394-0443  
WWW.ENGGEXP.COM

**JELD SWEN**  
355 CENTER COURT  
VENICE, FL 34285  
PHONE: (941) 497-1884  
CLIPPED ALUMINUM TUBE MILLION  
LARGE MISSILE IMPACT RESISTANT  
MIAMI-DADE NOTICE OF ACCEPTANCE

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08/16/2010 10:34am E2N F:\01 Project Files\10-2000-03\10-2000-03-001.dwg (10-2000-03-001.dwg) 08/16/2010 10:34am Tech Plot (Noun) Plot

DESIGN SCHEDULE: 1"x3" MULLION WITH 'T-CLIP' OR 'C-CLIP'

MULLION SPAN	TRIBUTARY WIDTH											
	18"	21"	24"	27"	30"	33"	36"	39"	42"	45"	48"	53"
108"	27.6	23.8	20.6	19.3	18.6	15.0	13.0	12.7	11.8	11.0	10.3	
100"	32.8	28.1	24.8	21.8	19.7	17.9	16.4	15.1	14.0	13.1	12.3	11.1
98"	37.0	31.7	27.8	24.7	22.2	20.2	18.6	17.1	15.9	14.8	13.9	12.6
90"	44.9	38.8	33.7	30.0	27.0	24.5	22.5	20.7	19.3	18.0	16.8	15.3
86"	51.5	44.1	38.6	34.3	30.9	28.1	26.8	23.8	22.1	20.8	19.3	17.5
84"	55.9	47.4	41.6	36.8	33.2	30.1	27.6	25.6	23.7	22.1	20.7	18.8
80"	64.0	54.9	48.0	42.7	38.4	34.0	32.0	29.5	27.4	25.6	24.0	21.7
78"	69.0	59.2	51.8	46.0	41.4	37.7	34.5	31.9	29.6	27.6	25.9	23.4
76"	74.6	64.0	56.0	49.7	44.8	40.7	37.3	34.4	32.0	29.8	28.0	25.3
72"	78.0	78.0	65.8	58.5	52.7	47.9	43.9	40.5	37.0	35.1	32.0	29.6
68"	78.0	78.0	73.0	78.0	65.4	62.1	57.0	52.8	48.8	45.6	42.7	39.7
60"	78.0	78.0	75.0	76.0	76.0	76.0	76.0	70.0	68.0	60.7	60.0	51.6
54"	78.0	78.0	73.0	76.0	76.0	78.0	78.0	76.0	78.0	72.8	68.1	61.7
50.8"	78.0	78.0	75.0	76.0	76.0	78.0	78.0	78.0	78.0	75.0	72.7	65.8
48"	78.0	78.0	75.0	76.0	76.0	78.0	78.0	78.0	78.0	76.0	76.0	68.4
42"	78.0	78.0	75.0	76.0	76.0	78.0	78.0	78.0	78.0	78.0	78.0	76.0
39.4"	78.0	78.0	75.0	76.0	76.0	78.0	78.0	78.0	78.0	78.0	78.0	78.0
36"	78.0	78.0	75.0	76.0	76.0	78.0	78.0	78.0	78.0	78.0	78.0	78.0
33"	78.0	78.0	75.0	76.0	76.0	78.0	78.0	78.0	78.0	78.0	78.0	78.0
24"	78.0	78.0	75.0	76.0	76.0	78.0	78.0	78.0	78.0	78.0	78.0	78.0

DESIGN SCHEDULE: 1"x3" MULLION WITH 'GOAL-POST' CLIP

MULLION SPAN	TRIBUTARY WIDTH											
	18"	21"	24"	27"	30"	33"	36"	39"	42"	45"	48"	53"
108"	27.6	23.8	20.0	18.3	18.6	16.0	13.8	12.7	11.8	11.0	10.3	
100"	32.8	28.1	24.6	21.8	19.7	17.9	16.4	15.1	14.0	13.1	12.3	11.1
98"	37.0	31.7	27.8	24.7	22.2	20.2	18.6	17.1	15.9	14.8	13.9	12.6
90"	44.9	38.8	33.7	30.0	27.0	24.5	22.5	20.7	19.3	18.0	16.8	15.3
86"	51.5	44.1	38.6	34.3	30.9	28.1	26.8	23.8	22.1	20.8	19.3	17.5
84"	55.9	47.4	41.6	36.8	33.2	30.1	27.6	25.6	23.7	22.1	20.7	18.8
80"	64.0	54.9	48.0	42.7	38.4	34.0	32.0	29.5	27.4	25.6	24.0	21.7
78"	69.0	59.2	49.5	44.0	39.6	36.0	33.0	30.5	28.4	26.4	24.6	22.4
76"	74.6	64.0	56.0	49.7	44.8	40.7	37.3	34.4	32.0	29.8	28.0	25.3
72"	78.0	78.0	65.8	58.5	52.7	47.9	43.9	40.5	37.0	35.1	32.0	29.6
68"	78.0	78.0	73.0	76.0	76.0	78.0	78.0	78.0	78.0	78.0	78.0	78.0
60"	78.0	78.0	75.0	76.0	76.0	78.0	78.0	78.0	78.0	78.0	78.0	78.0
54"	78.0	78.0	73.0	76.0	76.0	78.0	78.0	78.0	78.0	78.0	78.0	78.0
50.8"	78.0	78.0	75.0	76.0	76.0	78.0	78.0	78.0	78.0	78.0	78.0	78.0
48"	78.0	78.0	75.0	76.0	76.0	78.0	78.0	78.0	78.0	78.0	78.0	78.0
42"	78.0	78.0	75.0	76.0	76.0	78.0	78.0	78.0	78.0	78.0	78.0	78.0
39.4"	78.0	78.0	75.0	76.0	76.0	78.0	78.0	78.0	78.0	78.0	78.0	78.0
36"	78.0	78.0	75.0	76.0	76.0	78.0	78.0	78.0	78.0	78.0	78.0	78.0
33"	78.0	78.0	75.0	76.0	76.0	78.0	78.0	78.0	78.0	78.0	78.0	78.0
24"	78.0	78.0	75.0	76.0	76.0	78.0	78.0	78.0	78.0	78.0	78.0	78.0

DESIGN SCHEDULE NOTES:

- DESIGN SCHEDULES PROVIDE MAXIMUM ALLOWABLE POSITIVE (+) AND NEGATIVE (-) DESIGN PRESSURES FOR USE WITH MULLION SYSTEM IN POUNDS PER SQUARE FOOT (PSF).
- FOR DETERMINATION OF MULLION SPANS AND TRIBUTARY WIDTHS, SEE ELEVATIONS ON SHEET 1.
- FOR INSTALLATIONS UTILIZING MORE THAN ONE TYPE OF CLIP PER MULLION, USE THE LESSER ALLOWABLE DESIGN PRESSURE.
- 'GOAL-POST' CLIP MAY NOT BE USED FOR INSTALLATIONS TO CONCRETE OR HOLLOW CONCRETE BLOCK.
- /// DENOTES CONDITIONS NOT ACCEPTABLE FOR USE.

Approved as complying with the Florida Building Code  
 Date: 08/16/2010  
 NOAH 10-0000.03  
 Miami-Dade Building Control  
 Division  
 By: *[Signature]*

FRANK L. BEYHARDT, P.E.  
 (305) 444-2424  
 08/16/2010

**ENGINEERING EXPRESS**  
 100 SW 12TH AVENUE, #106  
 DEERFIELD BEACH, FL 33442  
 Ph: (561) 394-0860 Fax: (561) 394-0843  
 WWW.ENGGEXP.COM  
 A FRANK L. BEYHARDT, P.E. INNOVATION

**JELDWEN**  
 335 CENTER COURT  
 VENICE, FL 34285  
 PHONE: (941) 497-1984  
 CLIPPED ALUMINUM TUBE MULLION  
 LARGE MISSILE IMPACT RESISTANT  
 MIAMI-DADE NOTICE OF ACCEPTANCE

REVISIONS	DATE	DESCRIPTION

10-JWN-0001  
 SCALE: 1/8" = 1'-0"  
 PAGE DESCRIPTION:  
 5

08/16/2010 - 5:44pm  
 F:\01 Project Files\Jeld-Wen\10-JWN-0001\Cropped Tube Mullion\10-JWN-0001\_01.ccb\Jeld-Wen Tube Mullion (NOAH).dwg



**DESIGN SCHEDULE: 1"x4" MULLION WITH 'T-CLIP' OR 'C-CLIP'**

MULLION SPAN	TRIBUTARY WIDTH											
	15'	21'	24'	27'	30'	33'	36'	39'	42'	45'	48'	63'
100"	59.0	50.5	44.2	39.3	34.4	32.2	29.8	27.2	26.3	23.8	22.1	20.0
100"	70.2	60.2	52.7	48.8	42.1	38.3	35.1	32.4	31.1	28.1	26.3	23.0
90"	75.0	68.0	60.5	53.0	47.0	43.3	39.7	36.0	34.0	31.0	29.0	27.0
80"	75.0	76.0	72.3	64.2	57.0	52.0	48.2	44.6	41.3	37.8	36.1	32.7
65"	75.0	75.0	79.0	75.0	63.3	59.2	56.2	51.0	47.3	44.2	41.4	37.8
64"	75.0	75.0	79.0	75.0	71.1	64.6	59.3	54.7	50.0	47.4	44.4	40.2
60"	75.0	75.0	78.0	75.0	75.0	74.0	65.6	63.0	60.8	54.9	51.4	48.0
70"	75.0	75.0	75.0	75.0	70.0	75.0	73.7	63.0	63.2	60.0	53.3	50.1
76"	75.0	75.0	75.0	75.0	75.0	75.0	75.0	71.9	69.7	62.0	58.4	52.8
72"	75.0	75.0	75.0	75.0	75.0	75.0	75.0	74.0	69.0	69.0	63.2	60.1
60"	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	71.2	64.4
60"	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	70.0
64"	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0
60.6"	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0
40"	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0
42"	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0
38.4"	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0
30"	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0
30"	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0
24"	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0

**DESIGN SCHEDULE: 1"x4" MULLION WITH 'GOAL-POST' CLIP**

MULLION SPAN	TRIBUTARY WIDTH											
	15'	21'	24'	27'	30'	33'	36'	39'	42'	45'	48'	63'
100"	49.0	41.0	34.4	32.4	29.2	28.6	24.3	22.4	20.6	19.4	18.2	16.5
100"	61.0	44.1	33.8	34.3	30.9	28.1	26.6	23.8	22.1	20.6	19.3	17.5
90"	63.7	48.0	40.2	35.0	32.2	29.3	26.0	24.9	23.0	21.8	20.1	18.2
80"	57.2	49.1	42.8	38.2	34.3	31.2	28.6	26.4	24.6	22.9	21.6	19.4
65"	53.0	51.3	44.8	39.6	33.0	32.7	29.5	27.8	23.7	24.0	22.6	20.3
64"	61.3	62.6	49.0	40.8	38.0	33.4	30.7	28.3	23.3	24.5	23.0	20.6
60"	64.4	65.2	43.3	42.0	33.0	35.1	32.2	29.7	27.0	25.0	24.1	21.9
70"	63.0	60.8	40.5	44.0	33.0	36.0	33.0	30.9	23.3	29.4	24.8	22.4
76"	67.8	60.1	50.6	43.2	40.7	37.0	33.9	31.3	23.0	27.1	28.4	23.0
72"	71.5	61.3	53.7	47.7	42.9	39.0	35.8	33.0	30.7	26.6	26.0	24.3
66"	75.0	69.9	58.6	52.0	43.6	42.6	39.0	35.0	33.4	31.2	29.0	26.6
60"	75.0	73.6	64.4	57.2	51.8	46.8	42.9	39.6	33.0	34.3	32.2	29.2
64"	75.0	75.0	71.5	63.0	57.2	52.0	47.7	44.0	40.0	38.2	35.8	32.4
60.6"	75.0	75.0	75.0	67.9	61.1	55.5	50.9	47.0	43.8	40.7	38.2	34.6
48"	75.0	75.0	75.0	71.5	64.4	68.8	63.7	49.6	48.0	42.9	40.2	36.4
42"	75.0	70.0	75.0	75.0	73.0	68.9	61.3	56.6	57.6	49.1	46.0	41.6
38.4"	75.0	75.0	75.0	75.0	75.0	73.2	67.1	61.8	57.6	53.7	50.3	46.6
36"	75.0	75.0	75.0	75.0	75.0	75.0	71.5	66.0	61.3	57.2	53.7	48.0
30"	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	73.6	63.7	64.4	58.3
24"	75.0	75.0	75.0	75.0	75.0	75.0	75.0	75.0	70.0	75.0	75.0	72.0

**DESIGN SCHEDULE NOTES:**

- DESIGN SCHEDULES PROVIDE MAXIMUM ALLOWABLE POSITIVE (+) AND NEGATIVE (-) DESIGN PRESSURES FOR USE WITH MULLION SYSTEM IN POUNDS PER SQUARE FOOT (PSF).
- FOR DETERMINATION OF MULLION SPANS AND TRIBUTARY WIDTHS, SEE ELEVATIONS ON SHEET 1.
- FOR INSTALLATIONS UTILIZING MORE THAN ONE TYPE OF CLIP PER MULLION, USE THE LESSER ALLOWABLE DESIGN PRESSURE.
- 'GOAL-POST' CLIP MAY NOT BE USED FOR INSTALLATIONS TO CONCRETE OR HOLLOW CONCRETE BLOCK.
- /// DENOTES CONDITIONS NOT ACCEPTABLE FOR USE.

Approved as complying with the Florida Building Code  
 Date: 04/12/2010  
 NOAD: 10-10010-03  
 Miami-Dade Product Control  
 Division  
 By: [Signature]

FRANK L. DENHARCO, P.E.  
 PCC046539  
 08/16/2010

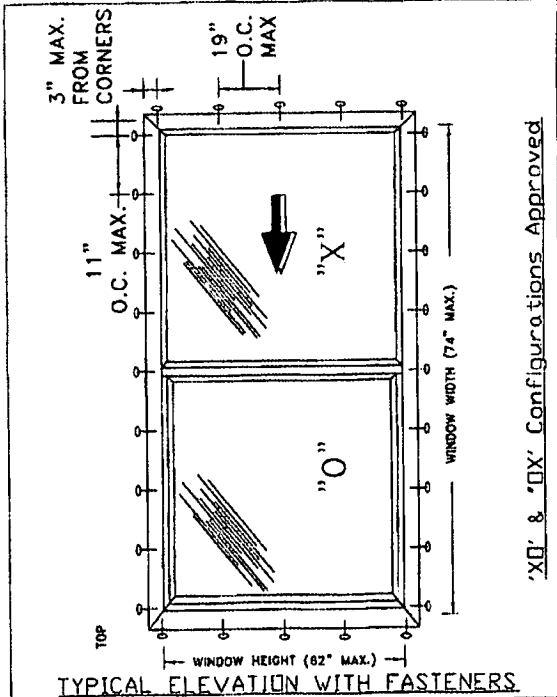
**JELDOWEN ENGINEERING EXPRESS**  
 160 SW 12th Avenue, #106  
 Deerfield Beach, FL 33442  
 PR (351) 354-6530 FAX (351) 354-6443  
 WWW.ENGINEEXP.COM  
 CREDIT ADVISORY  
 A FRANK L. DENHARCO, P.E., INC. INSTALLATION

**JELDOWEN**  
 355 CENTER COURT  
 VENICE, FL 34283  
 PHONE: (941) 497-1984  
 CLIPPED ALUMINUM TUBE MULLION  
 LARGE MISSILE IMPACT RESISTANT  
 MINIMAL NOTICE OF ACCEPTANCE

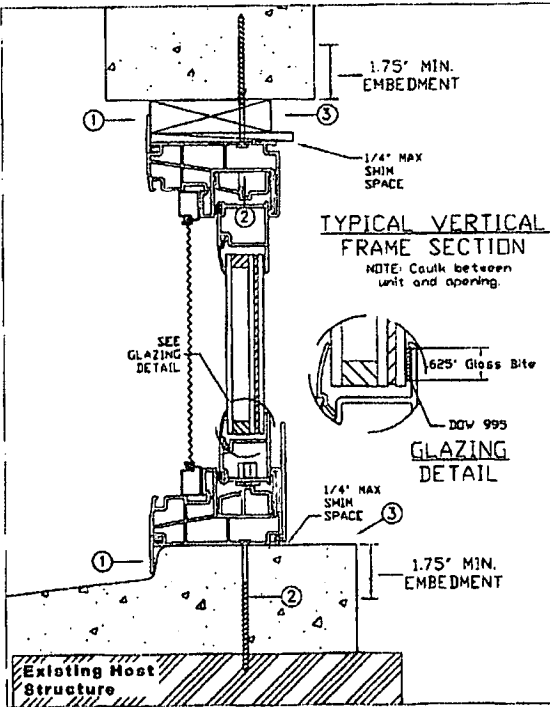
REVISION	DATE	BY	DESCRIPTION

10-JWN-0001  
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 PART DESCRIPTION:  
 6

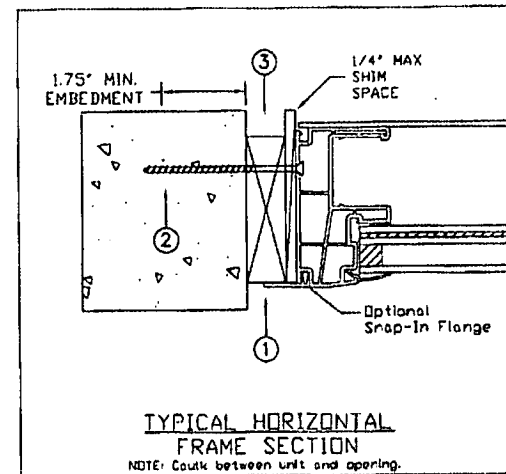
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 PLOT: 08/16/2010 10:54:20 AM  
 PLOTTER: HP DesignJet 2450



'XD' & 'DX' Configurations Approved



MASONRY  
(NCTL 210-3626-4)



Uniform Design Pressure as Tested: +30/-30 psf per ASTM E1886/E1596

Max Frame	DP	IMPACT
74" x 62"	+50/-50	YES

Uniform Design Pressure as Tested: +50/-50 psf per AAMA/VDMA/CSA 101/1.5. 2/4440-05.

**General Notes:**

- The product shown herein is designed, tested and manufactured to comply with the wind load criteria of the adopted International Building Code (IBC), the International Residential Code (IRC), the 2007 Florida Building Code and the industry standard requirements for the stated conditions.
- All glazing shall conform to ASTM E1300.
- Minimum nominal glazing: insulated 3/16" annealed -5/16" PVB interlayer impact resistant.
- Installation methods may be interchanged within the same opening.
- An impact protective system is required where wind borne debris protection is required by local building code.
- Maximum sizes are buck / net sizes and do not include fins or flanges.

This schedule addresses only the fasteners required to anchor the product to achieve the rated design pressure and impact performance (where applicable) up to the size limitations noted. It is not intended as a guide to the installation process and does not address the sealing consideration that may arise in different wall conditions. For the complete installation procedure, see the instructions packaged with the window or go to [www.jeld-wen.com/resources/installation](http://www.jeld-wen.com/resources/installation).

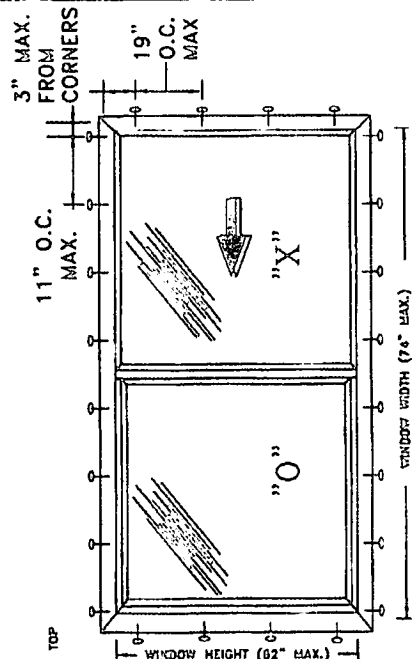
This drawing and its contents are confidential and are not to be reproduced or copied in whole or in part or used or disclosed to others except as authorized by JELD-WEN, Inc.

**Installation Notes:**

- Seal flange / window to substrate.
- Use 3/16" Tapcon or equivalent fasteners through frame with sufficient length to penetrate a minimum of 1.75" into the masonry.
- Host structure (wood buck, stud framing and opening) to be designed and anchored to properly transfer all loads to the structure. The host structure is the responsibility of the architect or engineer of record for the project of installation.

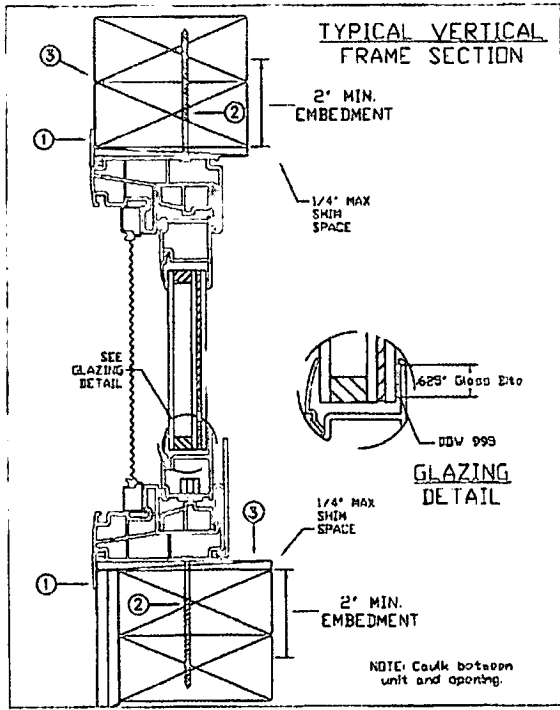
*[Signature]*  
8-23-10  
Kristine S. Delaherty  
Florida P.E. No. 68455  
127 W. Fairbanks Ave, Ste 438  
Winter Park, FL 32789  
FBPC Cert. of Authorization  
No. 26520

PROJECT ENGINEER: ---	DATE: 07/31/2010	<b>JELD-WEN</b>	3737 Lakeport Boulevard Klamath Falls, OR 97601 (541) 882 - 3451	
DRAWN BY: M. Tetzlaff	SCALE: NTS			
CHECKED BY: ---	TITLE: Premium Atlantic Vinyl (8200) Impact Horizontal Roller Masonry Installation (74.00" x 62.00")			
APPROVED BY: ---	PART/PROJECT No: ---			
IDENTIFIER No. MY41526	PLANT NAME AND LOCATION: Venice Window Division	CAD DWG. No.: PAV8200_NCTL210-3626-4	REV: 00	SHEET 1 of 4.



TYPICAL ELEVATION WITH FASTENERS

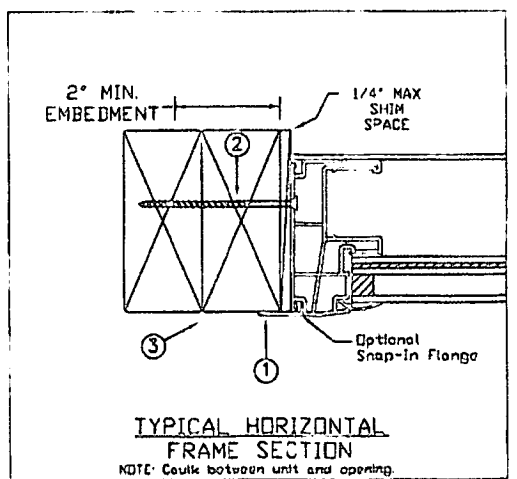
'XO' & 'OX' Configurations Approved



TYPICAL VERTICAL FRAME SECTION

GLAZING DETAIL

WOOD FRAME (NCTL 210-3626-4)



TYPICAL HORIZONTAL FRAME SECTION

NOTE: Caulk between unit and opening.

Uniform Design Pressure as Tested +50/-30 psf per ASTM E1825/E1955

Max Frame	DP	IMPACT
74" x 62"	+50/-50	YES

Uniform Design Pressure as Tested +50/-30 psf per AAMA/VDMA/CSA 101/15 2/A443-02

**General Notes:**

- The product shown herein is designed, tested and manufactured to comply with the wind load criteria of the adopted International Building Code (IBC), the International Residential Code (IRC), the 2007 Florida Building Code and the Industry standard requirements for the stated conditions.
- All glazing shall conform to ASTM E1300.
- Minimum nominal glazing: insulated 3/16" annealed -5/16" PVB interlayer impact resistant.
- Installation methods may be interchanged within the same opening.
- An impact protective system is required where wind borne debris protection is required by local building code.
- Maximum sizes are buck / net sizes and do not include fins or flanges.

This schedule addresses only the fasteners required to anchor the product to achieve the rated design pressure and impact performance (where applicable) up to the size limitations noted. It is not intended as a guide to the installation process and does not address the sealing consideration that may arise in different wall conditions. For the complete installation procedure, see the instructions packaged with the window or go to [www.jeld-wen.com/resources/installation](http://www.jeld-wen.com/resources/installation).

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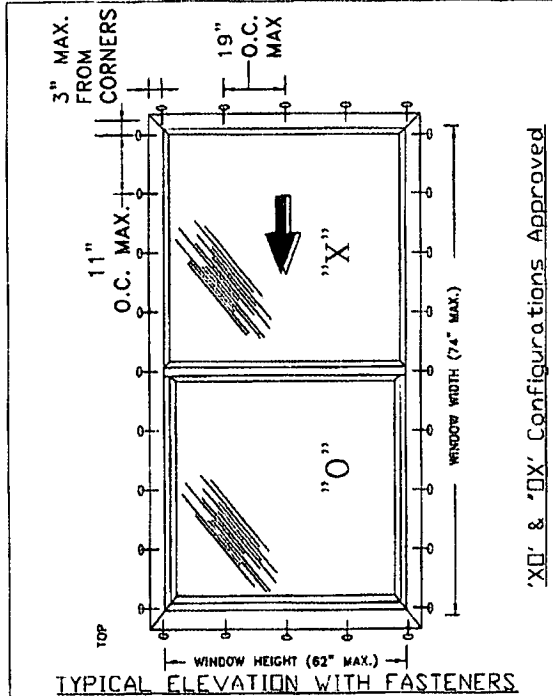
**Installation Notes:**

1. Seal flange / window to substrate.
2. Use #10 or greater fasteners through frame with sufficient length to penetrate a minimum of 2.00" into the wood framing.
3. Host structure (wood buck, stud framing and opening) to be designed and anchored to properly transfer all loads to the structure. The host structure is the responsibility of the architect or engineer of record for the project of installation.

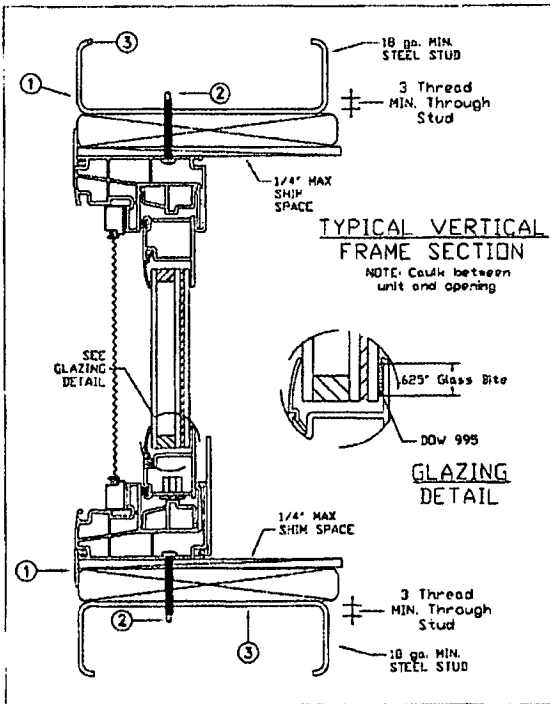
*Handwritten signature and date: 8-23-10*

Kristina S. Daugherty  
Florida P.E. No. 68455  
127 W. Fairbanks Ave, Ste 438  
Winter Park, FL 32789  
FBPE Cert. of Authorization  
No. 28520

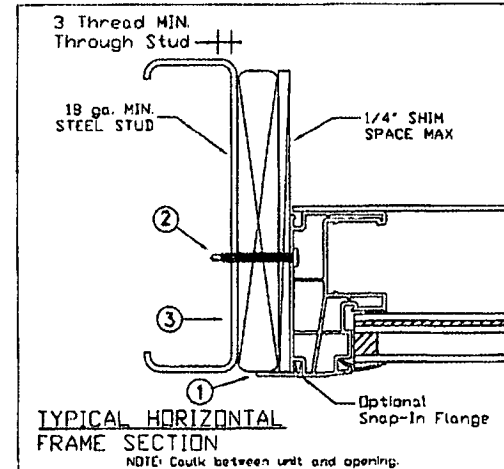
PROJECT ENGINEER: ---	DATE: 07/31/2010	<b>JELD-WEN</b>	3737 Lakeport Boulevard Klamath Falls, OR 97601 (541) 882 - 3451	
DRAWN BY: M. Tetzlaff	SCALE: NTS		Premium Atlantic Vinyl (8200) Impact Horizontal Roller Wood Frame Installation (74.00" x 62.00")	
CHECKED BY: ---	TITLE:			
APPROVED BY: ---	PART/PROJECT No.:			
IDENTIFIER No. MY41S26	PLANT NAME AND LOCATION: Venice Window Division	CAD DWG. No.:	REV:	SHEET
		PAV8200_NCTL210-3626-4	00	2 of 4.



'X' & 'O' Configurations Approved



STEEL STUD  
(NCTL 210-3626-4)



Uniform Design Pressure as Tested: +30/-50 psf per ASTM E1886/E1996.

Max Frame	DP	IMPACT
74" x 62"	+50/-50	YES

Uniform Design Pressure as Tested: +50/-50 psf per AAMA/VDMA/CSA 101/1.5. E/AA40-05.

General Notes:

- The product shown herein is designed, tested and manufactured to comply with the wind load criteria of the adopted International Building Code (IBC), the International Residential Code (IRC), the 2007 Florida Building Code and the industry standard requirements for the stated conditions.
- All glazing shall conform to ASTM E1300.
- Minimum nominal glazing: insulated 3/8" annealed -9/16" PVB interlayer impact resistant.
- Installation methods may be interchanged within the same opening.
- An impact protective system is required where wind borne debris protection is required by local building code.
- Maximum sizes are buck / net sizes and do not include fins or flanges.

This schedule addresses only the fasteners required to anchor the product to achieve the rated design pressure and impact performance (where applicable) up to the size limitations noted. It is not intended as a guide to the installation process and does not address the sealing consideration that may arise in different wall conditions. For the complete installation procedure, see the instructions packaged with the window or go to [www.jeld-wen.com/resources/installation](http://www.jeld-wen.com/resources/installation).

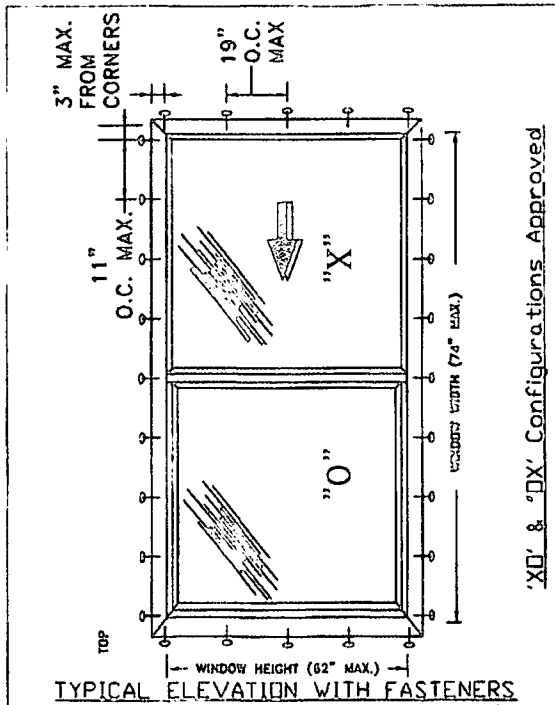
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Installation Notes:

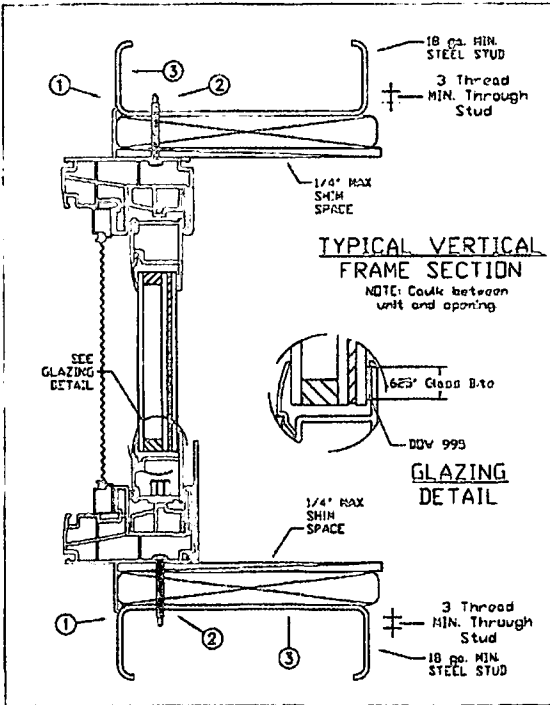
- Seal flange / window to substrate.
- Use #10 sheet metal screws or greater through frame with sufficient length to penetrate a minimum of three (3) threads through the metal stud.
- Host structure (wood buck, stud framing and opening) to be designed and anchored to properly transfer all loads to the structure. The host structure is the responsibility of the architect or engineer of record for the project of installation.

*[Signature]*  
8-23-10  
Kristina S. Daugherty  
Florida P.E. No. 68455  
127 W. Fairbanks Ave, Ste 438  
Winter Park, FL 32789  
FBPE Cert. of Authorization  
No. 28520

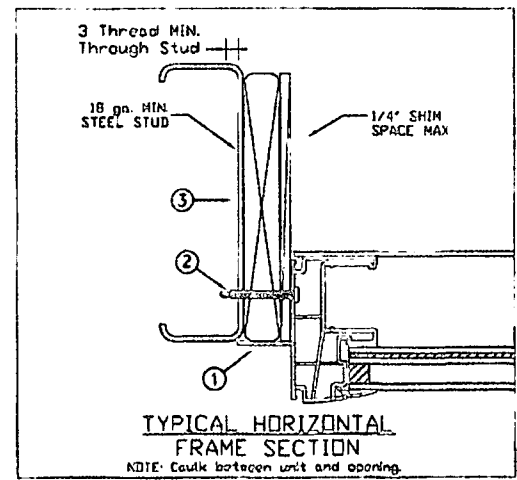
PROJECT ENGINEER: ---	DATE: 07/31/2010	<b>JELD-WEN</b>	3737 Lakeport Boulevard Klamath Falls, OR 97601 (541) 882 - 3451	
DRAWN BY: M. Tetzlaff	SCALE: NTS			
CHECKED BY: ---	TITLE: Premium Atlantic Vinyl (8200) Impact Horizontal Roller Steel Stud Installation (74.00" x 62.00")			
APPROVED BY: ---	PART/PROJECT No.:			
IDENTIFIER No. MY41526	PLANT NAME AND LOCATION: Venice Window Division	CAD DWG. No.:	REV:	SHEET
		PAV8200_NCTL210-3626-4	00	3 of 4.



'XD' & 'DX' Configurations Approved



STEEL STUD NAIL FIN  
(NCTL 210-3626-4)



Uniform Design Pressure as Tested +50/-50 psf per ASTM E1305/E1906.

Max Frame	DP	IMPACT
74" x 62"	+50/-50	YES

Uniform Design Pressure as Tested +50/-50 psf per AAMA/VDA/CSA 101/1.5. 2/0440-03.

General Notes:

- The product shown herein is designed, tested and manufactured to comply with the wind load criteria of the adopted International Building Code (IBC), the International Residential Code (IRC), the 2007 Florida Building Code and the industry standard requirements for the stated conditions.
- All glazing shall conform to ASTM E1300.
- Minimum nominal glazing: insulated 3/16" annealed -5/16" PVB interlayer Impact resistant.
- Installation methods may be interchanged within the same opening.
- An Impact protective system is required where wind borne debris protection is required by local building code.
- Maximum sizes are buck / net sizes and do not include fins or flanges.

This schedule addresses only the fasteners required to anchor the product to achieve the rated design pressure and impact performance (where applicable) up to the size limitations noted. It is not intended as a guide to the installation process and does not address the sealing consideration that may arise in different wall conditions. For the complete installation procedure, see the instructions packaged with the window or go to [www.jeld-wen.com/resources/installation](http://www.jeld-wen.com/resources/installation).

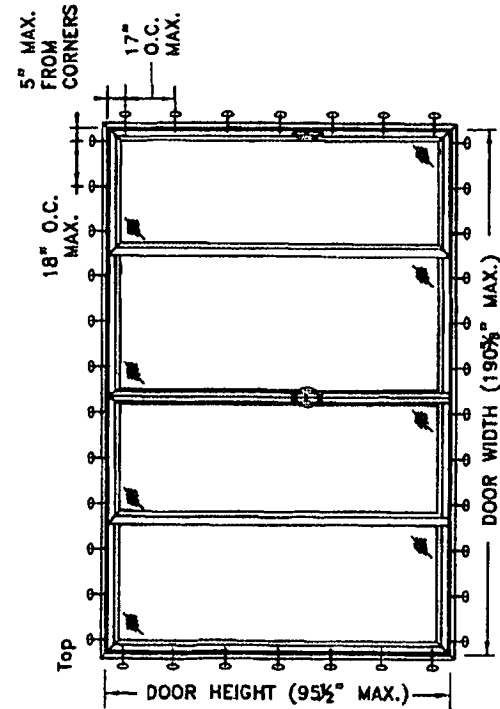
This drawing and its contents are confidential and are not to be reproduced or copied in whole or in part or used or disclosed to others except as authorized by JELD-WEN, Inc.

Installation Notes:

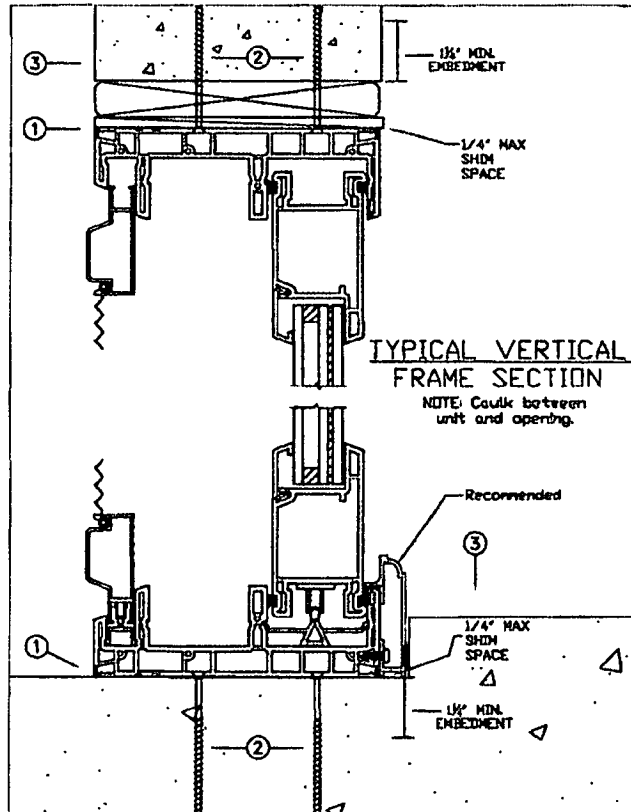
- Seal nail fin to substrate.
- Use #10 sheet metal screw or greater fasteners through the frame with sufficient length to penetrate a minimum of three (3) threads through the steel stud at each location.
- Host structure (wood buck, stud framing and opening) to be designed and anchored to properly transfer all loads to the structure. The host structure is the responsibility of the architect or engineer of record for the project of installation.

*[Signature]*  
18-23-10  
KATHIE S. DAUGHerty  
Florida R.E. No. 68455  
127 W. Fairbanks Ave, Ste 438  
Winter Park, FL 32789  
FRPE Cert of Authorization  
No. 28520

PROJECT ENGINEER: ---	DATE: 07/31/2010	<b>JELD-WEN</b>	3737 Lakeport Boulevard Klamath Falls, OR 97601 (541) 882 - 3451	
DRAWN BY: M. Tetzlaff	SCALE: NTS			
CHECKED BY: ---	TITLE: Premium Atlantic Vinyl (8200) Impact Horizontal Roller Steel Stud with Nail Fin Installation (74.00" x 62.00")			
APPROVED BY: ---	PART/PROJECT No.:			
IDENTIFIER No. MY41526	PLANT NAME AND LOCATION: Venice Window Division	CAD DWG. No.:	REV:	SHEET
		PAV8200_NCTL210-3626-4	00	4 of 4.



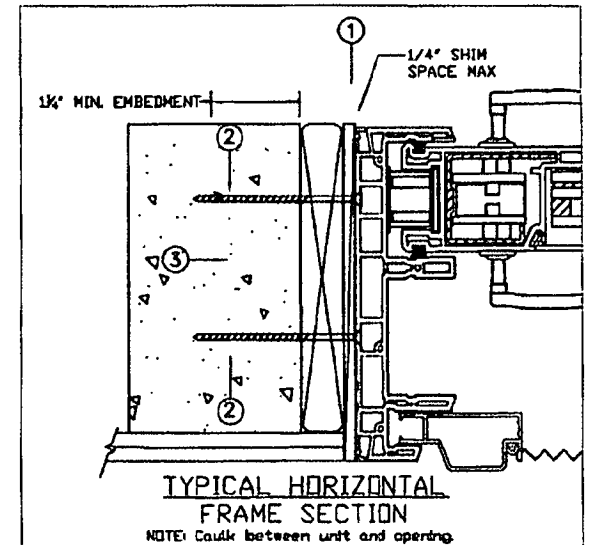
TYPICAL ELEVATION WITH FASTENERS



TYPICAL VERTICAL FRAME SECTION

NOTE: Caulk between unit and opening.

MASONRY  
(NCTL 210-3576-2A)



TYPICAL HORIZONTAL FRAME SECTION

NOTE: Caulk between unit and opening.

Uniform Design Pressure as Tested +50/-50 psf per ASTM E1886/E1996.

Max Frame	DP	IMPACT
190 <sup>3</sup> / <sub>8</sub> " x 95 <sup>1</sup> / <sub>2</sub> "	+50/-50	YES

Large Missile Impact per ASTM E1886/E1996, Wind Zone 4.

General Notes:

- The product shown herein is designed, tested and manufactured to comply with the 2007 Florida Building Code and ASTM E 1886 / E 1996 industry impact standard requirements for the stated conditions.
- All glazing shall conform to ASTM E1300.
- Installation methods can be interchanged within the same opening.
- Use structural or composite shims where required.
- Products are approved for use where wind borne debris resistance is required. An impact protective system is NOT required.
- Maximum sizes are buck sizes and do not include fin or flange.

Installation Notes:

1. Seal frame to substrate.
2. Use two (2) 3/16" Tapcons or equivalent fasteners through frame with sufficient length to penetrate a minimum of 1 1/4" into the masonry at each location.
3. Host structure (wood buck, stud framing and opening) to be designed and anchored to properly transfer all loads to the structure. The host structure is the responsibility of the permit holder, architect or engineer of record for the project of installation.

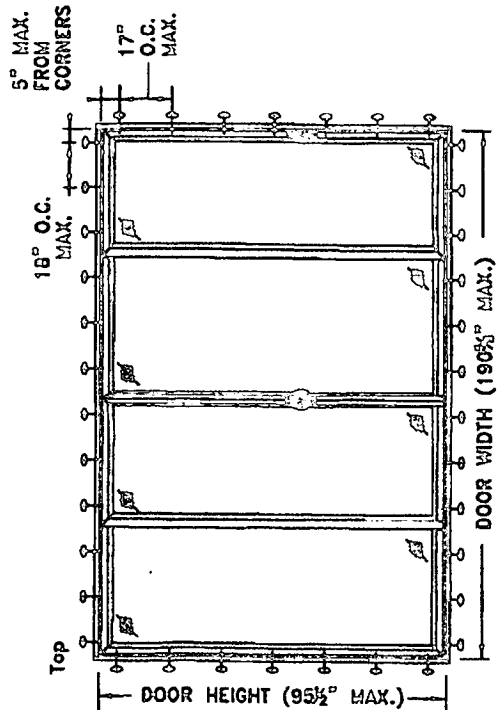
This schedule addresses only the fasteners required to anchor the product to achieve the rated design pressure and impact performance (where applicable) up to the size limitations noted. It is not intended as a guide to the installation process and does not address the sealing consideration that may arise in different wall conditions. For the complete installation procedure, see the instructions packaged with the door or go to [www.jeld-wen.com/resources/installation](http://www.jeld-wen.com/resources/installation).

This drawing and its contents are the property of JELD-WEN, Inc. and are for the expressed use of determining anchor requirements for this product only.

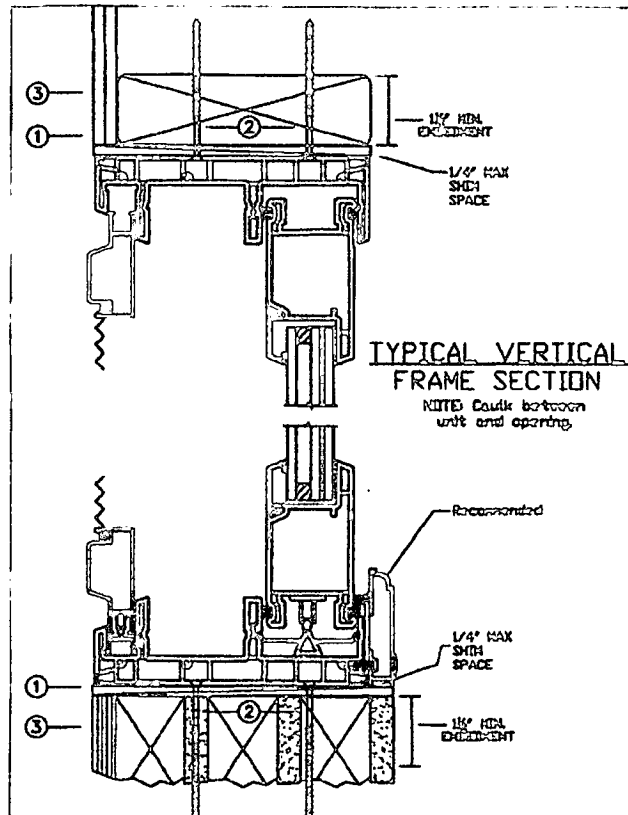
*Douglas S. Preston*  
12/109  
Douglas S. Preston  
Fl P.E. License No. 53291  
101 Rosebud Lane  
Georgetown, TX 78633

PROJECT ENGINEER: ---	DATE: 09/16/2009	<b>JELD-WEN</b>	355 Center Court Venice, Florida 34285 (941) 497-1984	
DRAWN BY: M. Tetzlaff	SCALE: NTS			
CHECKED BY: ---	TITLE:	Premium Atlantic Vinyl (3800) Impact Sliding Patio Door Masonry Installation (191.625" x 95.50")		
APPROVED BY: ---				
PART/PROJECT No.:				
IDENTIFIER No. 210-3576-2A	PLANT NAME AND LOCATION: Venice Window Division	CAD DWG. No.: PAV3800_NCTL210-3576-2A	REV: 00	SHEET 1 of 5.

**WOOD FRAME  
(NCTL 210-3576-2A)**

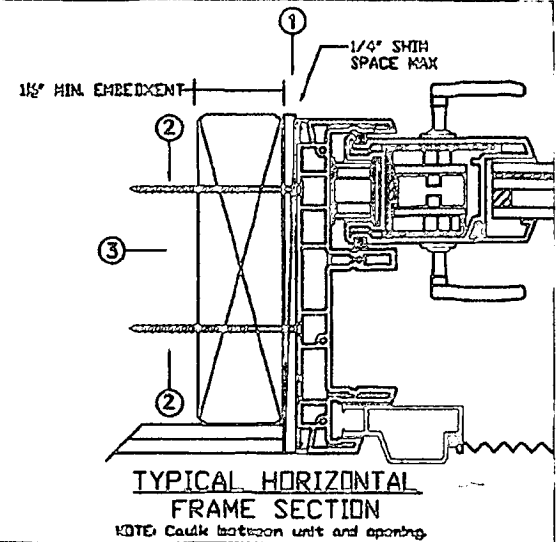


**TYPICAL ELEVATION WITH FASTENERS**



**TYPICAL VERTICAL  
FRAME SECTION**

NOTE: Caulk between  
unit and opening.



**TYPICAL HORIZONTAL  
FRAME SECTION**

NOTE: Caulk between unit and opening.

Uniform Design Pressure as Tested +50/-50 psf per ASTM E1885/E1995.

Max Frame	DP	IMPACT
190 <sup>7</sup> / <sub>8</sub> " x 95 <sup>1</sup> / <sub>2</sub> "	+50/-50	YES

Large Glazed Impact per ASTM E1885/E1995, Wind Zone 4.

**General Notes:**

- The product shown herein is designed, tested and manufactured to comply with the 2007 Florida Building Code and ASTM E 1886 / E 1996 industry impact standard requirements for the stated conditions.
- All glazing shall conform to ASTM E1300.
- Installation methods can be interchanged within the same opening.
- Use structural or composite shims where required.
- Products are approved for use where wind borne debris resistance is required. An impact protective system is NOT required.
- Maximum sizes are buck sizes and do not include fin or flange.

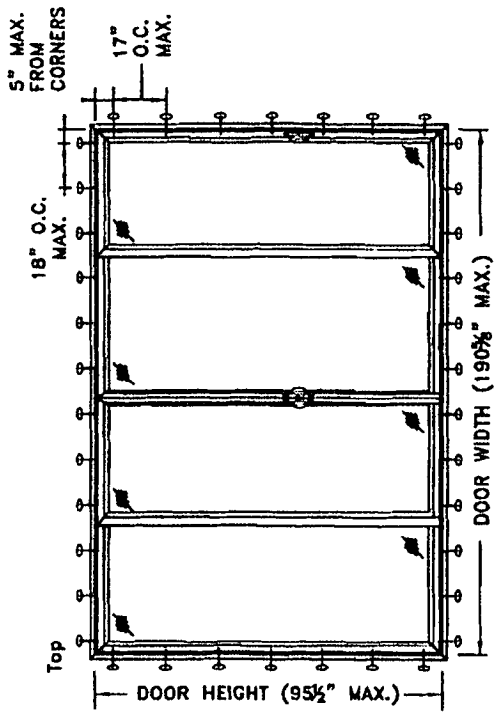
**Installation Notes:**

1. Seal frame to substrate.
2. Use two (2) #10 or greater fasteners through frame with sufficient length to penetrate a minimum of 1<sup>1</sup>/<sub>2</sub>" into the wood framing at each location.
3. Host structure (wood buck, stud framing and opening) to be designed and anchored to properly transfer all loads to the structure. The host structure is the responsibility of the permit holder, architect or engineer of record for the project of installation.

This schedule addresses only the fasteners required to anchor the product to achieve the rated design pressure and impact performance (where applicable) up to the size limitations noted. It is not intended as a guide to the installation process and does not address the sealing consideration that may arise in different wall conditions. For the complete installation procedure, see the instructions packaged with the door or go to [www.jeld-wen.com/resources/installation](http://www.jeld-wen.com/resources/installation).

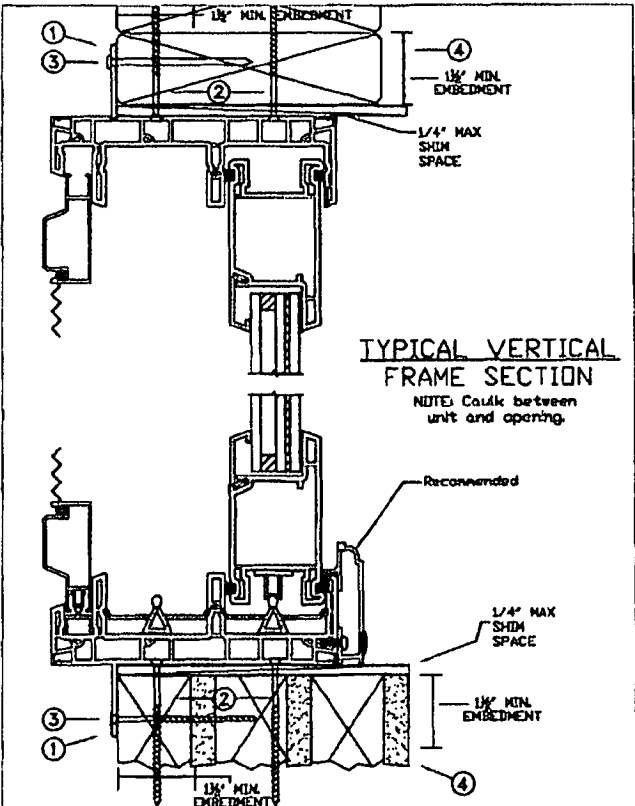
This drawing and its contents are the property of JELD-WEN, Inc. and are for the expressed use of determining anchor requirements for this product only.

	PROJECT ENGINEER: ---	DATE: 09/16/2009		355 Center Court Venice, Florida 34285 (941) 497-1984
	DRAWN BY: M. Tetzlaff	SCALE: NTS		
	CHECKED BY: ---	TITLE: Premium Atlantic Vinyl (3800) Impact Sliding Patio Door Wood Frame Installation (190.625" x 95.50")		
	APPROVED BY: ---			
	PART/PROJECT No.: ---			
IDENTIFIER No. 210-3576-2A	PLANT NAME AND LOCATION: Venice Window Division	CAD DWG. No.: PAV3800_NCTL210-3576	REV: 00	SHEET 2 of 5.



TYPICAL ELEVATION WITH FASTENERS

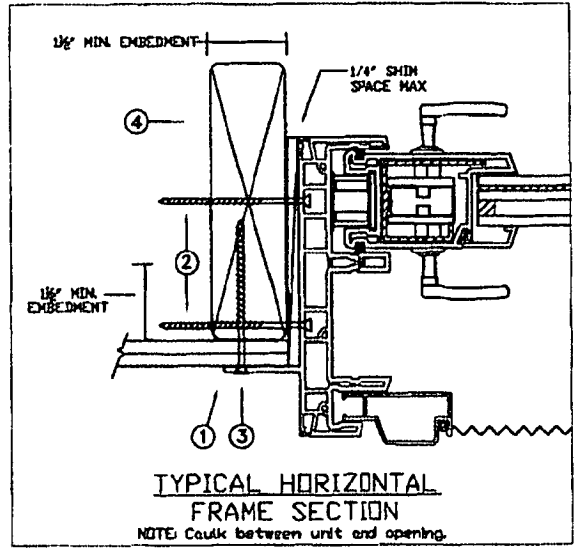
Anchor door through frame and nail fin.



TYPICAL VERTICAL FRAME SECTION

NOTE: Caulk between unit and opening.

NAIL FIN  
(NCTL 210-3576-2A)



TYPICAL HORIZONTAL FRAME SECTION

NOTE: Caulk between unit and opening.

Uniform Design Pressure as Tested: +30/-30 psf per ASTM E1886/E1996.

Max Frame	DP	IMPACT
190 <sup>5</sup> / <sub>8</sub> " x 95 <sup>1</sup> / <sub>2</sub> "	+50/-50	YES

Large Missile Impact per ASTM E1886/E1996, Wind Zone 4.

General Notes:

- The product shown herein is designed, tested and manufactured to comply with the 2007 Florida Building Code and ASTM E 1886 / E 1996 industry impact standard requirements for the stated conditions.
- All glazing shall conform to ASTM E1300.
- Installation methods can be interchanged within the same opening.
- Use structural or composite shims where required.
- Products are approved for use where wind borne debris resistance is required. An impact protective system is NOT required.
- Maximum sizes are buck sizes and do not include fin or flange.

Installation Notes:

1. Seal nail fin to substrate.
2. Use two (2) #10 or greater fasteners through frame with sufficient length to penetrate a minimum of 1<sup>1</sup>/<sub>2</sub>" into the wood framing at each location.
3. Use #10 or greater fasteners through nail fin with sufficient length to penetrate a minimum of 1<sup>1</sup>/<sub>2</sub>" into the wood framing at each location.
4. Host structure (wood buck, stud framing and opening) to be designed and anchored to properly transfer all loads to the structure. The host structure is the responsibility of the permit holder, architect or engineer of record for the project of installation.
5. We recommend using Tegratite™ installation (<http://www.jeld-wen.com/newinstallationtechnology/>) for weatherproofing.

This schedule addresses only the fasteners required to anchor the product to achieve the rated design pressure and impact performance (where applicable) up to the size limitations noted. It is not intended as a guide to the installation process and does not address the sealing consideration that may arise in different wall conditions. For the complete installation procedure, see the instructions packaged with the door or go to [www.jeld-wen.com/resources/installation](http://www.jeld-wen.com/resources/installation).

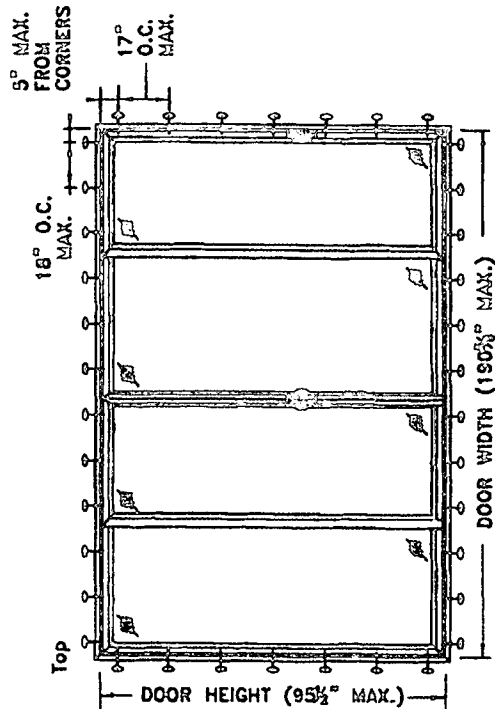
This drawing and its contents are the property of JELD-WEN, Inc. and are for the expressed use of determining anchor requirements for this product only.

*D.S.P.*  
12/1/09  
Douglas S. Preston  
Fl. P.E. License No. 53291  
101 Rosebud Lane  
Georgetown, TX 78633

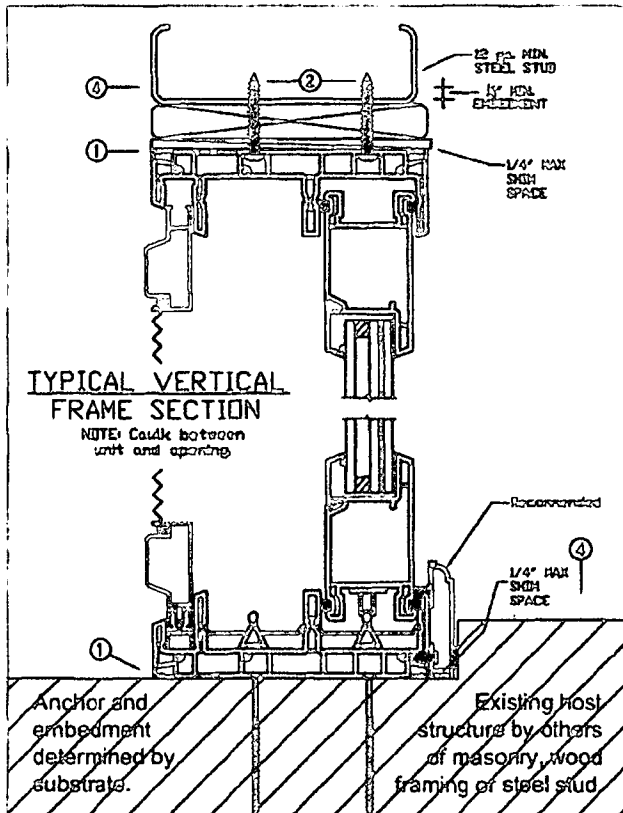
PROJECT ENGINEER: ---	DATE: 09/16/2009	<b>JELD-WEN</b> 355 Center Court Venice, Florida 34285 (941) 497-1984
DRAWN BY: M. Tetzlaff	SCALE: NTS	
CHECKED BY: ---	TITLE: Premium Atlantic Vinyl (3800) Impact Sliding Patio Door Nail Fin Installation (190.625" x 95.50")	
APPROVED BY: ---		
PART/PROJECT No.: ---		
IDENTIFIER No. 210-3576-2A	PLANT NAME AND LOCATION: Venice Window Division	CAD DWG. No.: PAV3800_NCTL210-3576-2A
	REV: 00	SHEET 3 of 5.



**STEEL STUD  
(NCTL 210-3576-2A)**

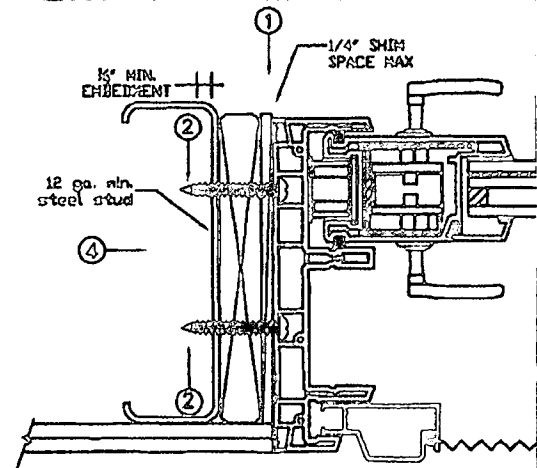


**TYPICAL ELEVATION WITH FASTENERS**



**TYPICAL VERTICAL  
FRAME SECTION**

NOTE: Caulk between unit and opening.



**TYPICAL HORIZONTAL  
FRAME SECTION**

NOTE: Caulk between unit and opening.

Uniform Design Pressure as Tested +SD/-SD per ASTM E1885/E1995.

Max Frame	DP	IMPACT
190 <sup>3</sup> / <sub>8</sub> " x 95 <sup>1</sup> / <sub>2</sub> "	+50/-50	YES

Large Missile Impact per ASTM E1885/E1995, Wind Zone 4.

**General Notes:**

- The product shown herein is designed, tested and manufactured to comply with the 2007 Florida Building Code and ASTM E 1886 / E 1996 industry impact standard requirements for the stated conditions.
- All glazing shall conform to ASTM E1300.
- Installation methods can be interchanged within the same opening.
- Use structural or composite shims where required.
- Products are approved for use where wind borne debris resistance is required. An impact protective system is NOT required.
- Maximum sizes are buck sizes and do not include fin or flange.

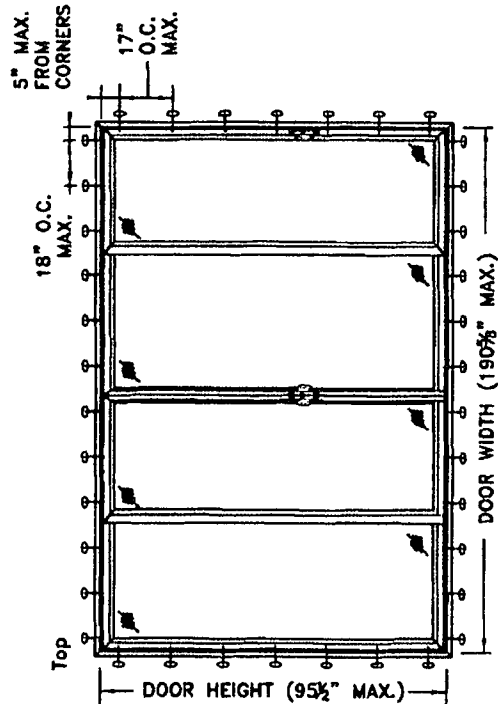
**Installation Notes:**

1. Seal frame to substrate.
2. Use two (2) #14 sheet metal screws or equivalent fasteners through frame with sufficient length to penetrate a minimum of 1/4" though the steel stud at each location listed.
3. Host structure (wood buck, stud framing and opening) to be designed and anchored to properly transfer all loads to the structure. The host structure is the responsibility of the permit holder, architect or engineer of record for the project of installation.

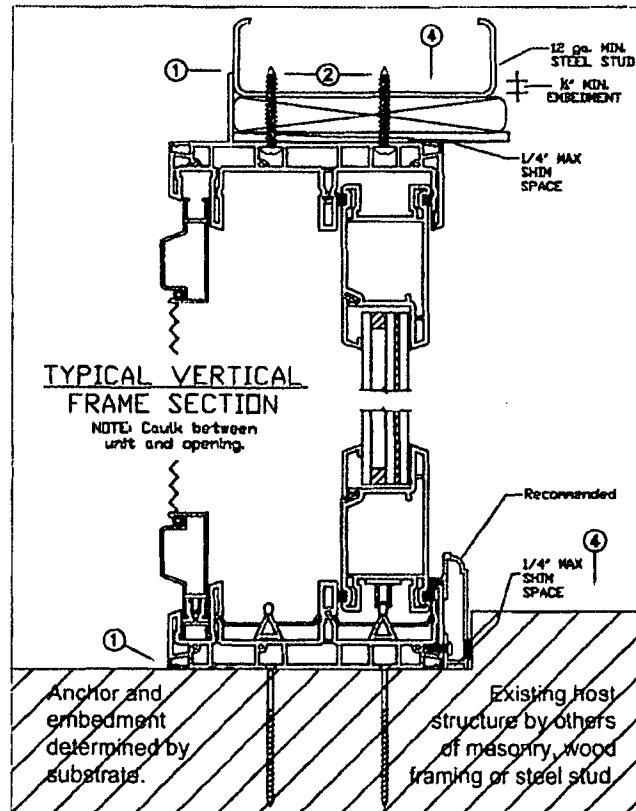
This schedule addresses only the fasteners required to anchor the product to achieve the rated design pressure and impact performance (where applicable) up to the size limitations noted. It is not intended as a guide to the installation process and does not address the sealing consideration that may arise in different wall conditions. For the complete installation procedure, see the instructions packaged with the door or go to [www.jeld-wen.com/resources/installation](http://www.jeld-wen.com/resources/installation).

This drawing and its contents are the property of JELD-WEN, Inc. and are for the expressed use of determining anchor requirements for this product only.

 Douglas S. Preston P.E. License No. 53291 101 Rosebud Lane Georgetown, TX 78633	PROJECT ENGINEER: ---	DATE: 11/30/2009	 355 Center Court Venice, Florida 34285 (941) 497-1984
	DRAWN BY: M. Tetzlaff	SCALE: NTS	
CHECKED BY: ---	TITLE: Premium Atlantic Vinyl (3800) Impact Sliding Pocket Door Steel Stud Installation (191.625" x 95.50")		CAD DWG. No.: PAV3800_NCTL 210-3576-2A REV: 00 SHEET 4 of 5.
APPROVED BY: ---	IDENTIFIER No. NCTL 210-3576-2A	PLANT NAME AND LOCATION: Venice Window Division	

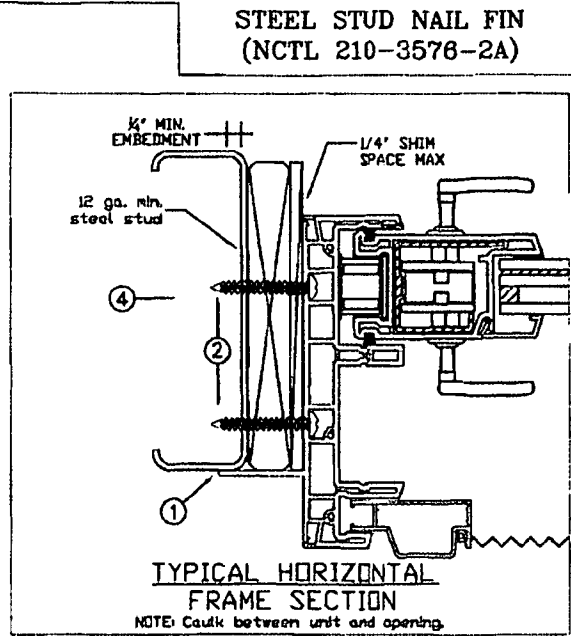


TYPICAL ELEVATION WITH FASTENERS



TYPICAL VERTICAL FRAME SECTION

NOTE: Caulk between unit and opening.



TYPICAL HORIZONTAL FRAME SECTION

NOTE: Caulk between unit and opening.

STEEL STUD NAIL FIN  
(NCTL 210-3576-2A)

Uniform Design Pressure as Tested +50/-50 psf per ASTM E1886/E1996.

Max Frame	DP	IMPACT
190 <sup>3</sup> / <sub>8</sub> " x 95 <sup>1</sup> / <sub>2</sub> "	+50/-50	YES

Large Missile Impact per ASTM E1886/E1996, Wind Zone 4.

General Notes:

- The product shown herein is designed, tested and manufactured to comply with the 2007 Florida Building Code and ASTM E 1886 / E 1996 industry impact standard requirements for the stated conditions.
- All glazing shall conform to ASTM E1300.
- Installation methods can be interchanged within the same opening.
- Use structural or composite shims where required.
- Products are approved for use where wind borne debris resistance is required. An impact protective system is NOT required.
- Maximum sizes are buck sizes and do not include fin or flange.

Installation Notes:

1. Seal frame to substrate.
2. Use two (2) #14 sheet metal screws or equivalent fasteners through frame with sufficient length to penetrate a minimum of 1/4" though the steel stud at each location.
3. Host structure (wood buck, stud framing and opening) to be designed and anchored to properly transfer all loads to the structure. The host structure is the responsibility of the permit holder, architect or engineer of record for the project of installation.
4. We recommend using Tegratite™ installation (<http://www.jeld-wen.com/newinstallationtechnology/>) for weather-proofing.

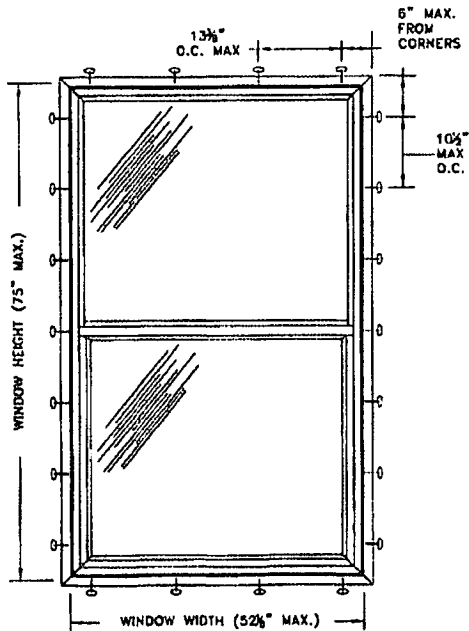
This schedule addresses only the fasteners required to anchor the product to achieve the rated design pressure and impact performance (where applicable) up to the size limitations noted. It is not intended as a guide to the installation process and does not address the sealing consideration that may arise in different wall conditions. For the complete installation procedure, see the instructions packaged with the door or go to [www.jeld-wen.com/resources/installation](http://www.jeld-wen.com/resources/installation).

This drawing and its contents are the property of JELD-WEN, Inc. and are for the expressed use of determining anchor requirements for this product only.

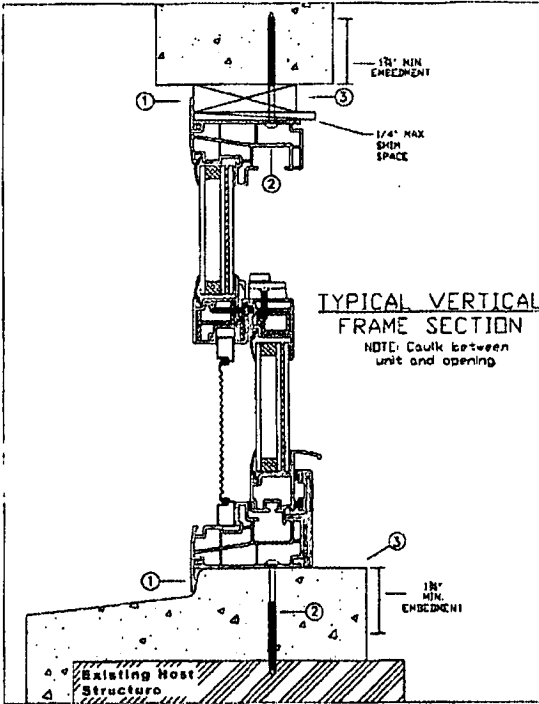
*D. S. Preston*  
 Douglas S. Preston  
 P.E. License No. 53291  
 101 Rosebud Lane  
 Georgetown, TX 78633

PROJECT ENGINEER: ---	DATE: 11/30/2009	<b>JELD-WEN</b>	355 Center Court Venice, Florida 34285 (941) 497-1984
DRAWN BY: M. Tetzlaff	SCALE: NTS		
CHECKED BY: ---	TITLE: Premium Atlantic Vinyl (3800) Impact Sliding Pocket Door Steel Stud with Nail Fin Installation (190.125" x 95.50")		
APPROVED BY: ---	PART/PROJECT No.:		
IDENTIFIER No. NCTL 210-3576-2A	PLANT NAME AND LOCATION: Venice Window Division	CAD DWG. No.: PAV3800_NCTL 210-3576-2A	REV: 00 SHEET 5 of 5.

MASONRY  
(NCTL 210-3624-1A)

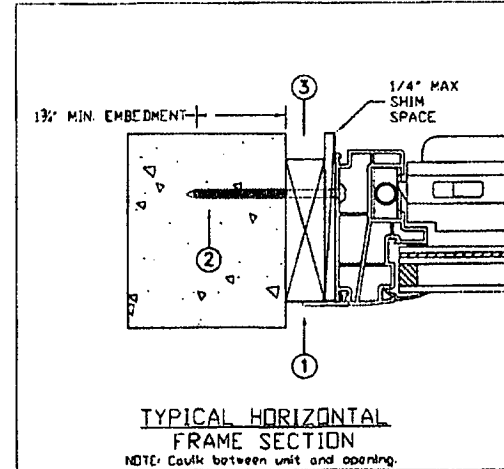


TYPICAL ELEVATION WITH FASTENERS



TYPICAL VERTICAL  
FRAME SECTION

NOTE: Caulk between  
unit and opening



TYPICAL HORIZONTAL  
FRAME SECTION

NOTE: Caulk between  
unit and opening.

Uniform Design Pressure as Tested +30/-60 psf per ASTM E1886/E1996.

Max Frame	DP	IMPACT
52 1/8" x 75"	+50/-60	YES

Uniform Design Pressure as Tested +30/-60 psf per AAMA/VDMA/CSA 101/1.5. 2/14-0-03.

General Notes:

- The product shown herein is designed, tested and manufactured to comply with the wind load criteria of the adopted International Building Code (IBC), the International Residential Code (IRC), the current Florida Building Code and the industry standard requirements for the stated conditions.
- All glazing shall conform to ASTM E1300.
- Minimum nominal glazing: Insulated 3/16" annealed -5/16" PVB interlayer impact resistant.
- Installation methods may be Interchanged within the same opening.
- An impact protective system is NOT required where wind borne debris protection is required by local building code.
- Maximum sizes are buck / net sizes and do not include fins or flanges.

This schedule addresses only the fasteners required to anchor the product to achieve the rated design pressure and impact performance (where applicable) up to the size limitations noted. It is not intended as a guide to the installation process and does not address the sealing consideration that may arise in different wall conditions. For the complete installation procedure, see the instructions packaged with the window or go to [www.jeld-wen.com/resources/installation](http://www.jeld-wen.com/resources/installation).

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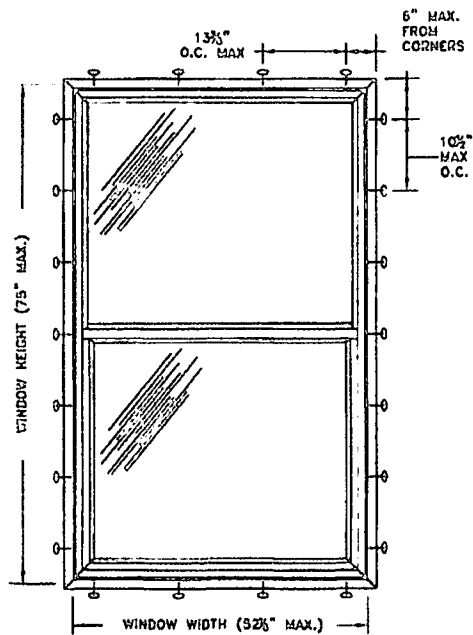
Installation Notes:

- Seal flange / window to substrate.
- Use 3/16" Tapcon or equivalent fasteners with sufficient length to penetrate a minimum of 1 1/4" into the masonry.
- Host structure (wood buck, stud framing and opening) to be designed and anchored to properly transfer all loads to the structure. The host structure is the responsibility of the architect or engineer of record for the project of installation.

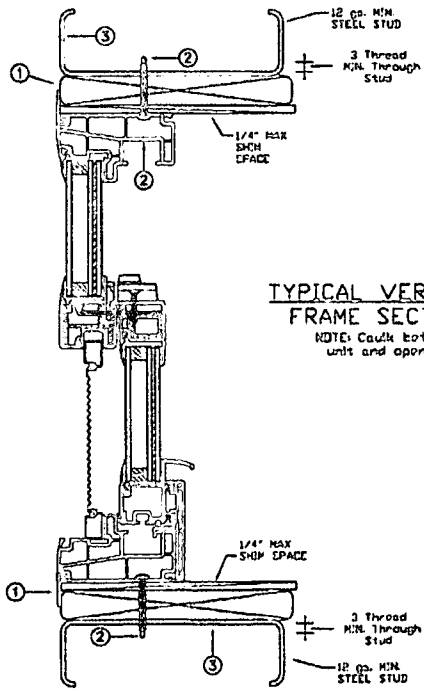
*[Handwritten Signature]*  
 Kristina S. Delagher by  
 Florida P.L. No. 68455  
 127 W. Fairbanks Ave. Ste 438  
 Winter Park, FL 32789  
 FBPC Cert. of Authorization  
 No. 28520

PROJECT ENGINEER: ---	DATE: 04/09/2010
DRAWN BY: M. Tetzlaff	SCALE: NTS
CHECKED BY: ---	TITLE: Premium Atlantic Vinyl (8100) Impact Single Hung Masonry Installation (52.125" x 75.00")
APPROVED BY: ---	
PART/PROJECT No.:	
IDENTIFIER No. MY --	PLANT NAME AND LOCATION: Venice Window Division

<b>JELD-WEN</b>		3737 Lakeport Boulevard Klamath Falls, OR 97601 (541) 882 - 3451	
CAD DWG. No.:	REV:	SHEET	
PAV8100_NCTL210-3624-1A	00	1 of 3.	



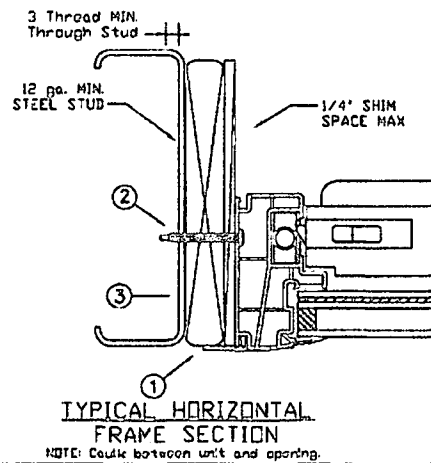
TYPICAL ELEVATION WITH FASTENERS



TYPICAL VERTICAL FRAME SECTION

NOTE: Caulk between unit and opening.

STEEL STUD (NCTL 210-3624-1A)



TYPICAL HORIZONTAL FRAME SECTION

NOTE: Caulk between unit and opening.

Uniform Design Pressure as Tested: +50/-60 psf per ASTM F1555/E1905.

Max Frame	D <sup>D</sup>	IMPACT
52 1/8" x 75"	+50/-60	YES

Uniform Design Pressure as Tested: +50/-60 psf per AAMA/WDSA/CSA 131/13.2/A440-05.

General Notes:

- The product shown herein is designed, tested and manufactured to comply with the wind load criteria of the adopted International Building Code (IBC), the International Residential Code (IRC), the current Florida Building Code and the industry standard requirements for the stated conditions.
- All glazing shall conform to ASTM E1300.
- Minimum nominal glazing: insulated 3/16" annealed -3/16" PVB interlayer impact resistant.
- Installation methods may be interchanged within the same opening.
- An impact protective system is NOT required where wind borne debris protection is required by local building code.
- Maximum sizes are buck / net sizes and do not include fins or flanges.

This schedule addresses only the fasteners required to anchor the product to achieve the rated design pressure and impact performance (where applicable) up to the size limitations noted. It is not intended as a guide to the installation process and does not address the sealing consideration that may arise in different wall conditions. For the complete installation procedure, see the instructions packaged with the window or go to [www.jeld-wen.com/resources/installation](http://www.jeld-wen.com/resources/installation).

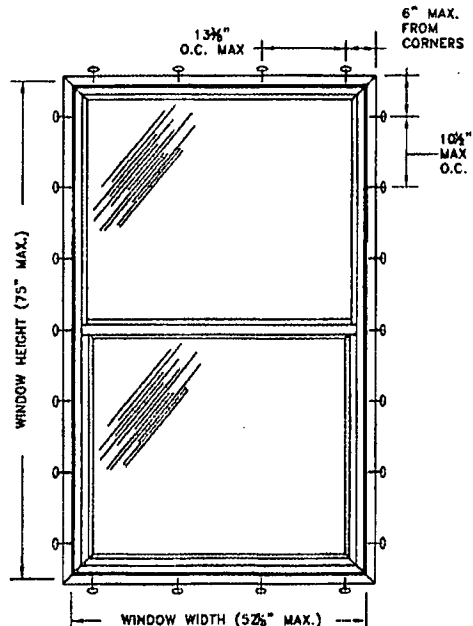
This drawing and its contents are confidential and are not to be reproduced or copied in whole or in part or used or disclosed to others except as authorized by JELD-WEN, Inc.

Installation Notes:

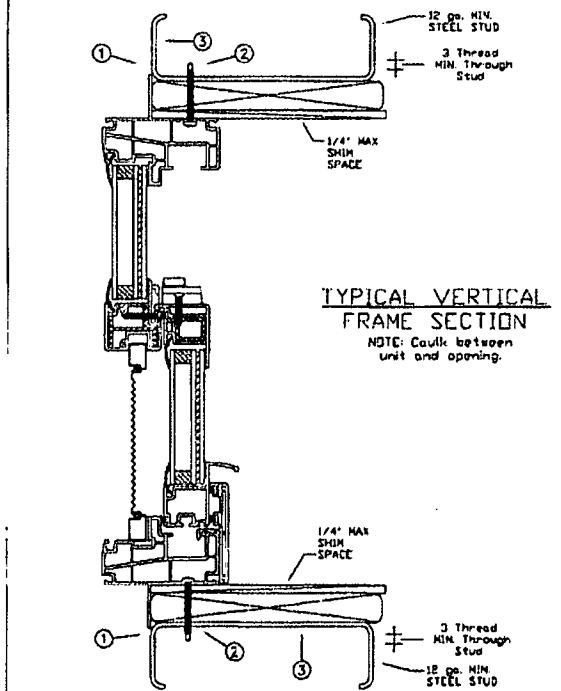
- Seal flange / window to substrate.
- Use #10 sheet metal screws or greater through frame with sufficient length to penetrate a minimum of three (3) threads through the metal stud.
- Host structure (wood buck, stud framing and opening) to be designed and anchored to properly transfer all loads to the structure. The host structure is the responsibility of the architect or engineer of record for the project of installation.

*(Signature)*  
5-3-10  
Kristina S. Daugherty  
Florida P.E. No. 68453  
127 W. Fairbanks Ave. Ste 438  
Winter Park, FL 32789  
FBPE Cert. of Authorization  
No. 28520

PROJECT ENGINEER: --	DATE: 04/09/2010	<b>JELD-WEN</b>	3737 Lakeport Boulevard Klamath Falls, OR 97601 (541) 882 - 3451
DRAWN BY: M. Tetzlaff	SCALE: NTS		
CHECKED BY: --	TITLE: Premium Atlantic Vinyl (8100) Impact Single Hung Steel Stud Installation (52.125" x 75.00")		
APPROVED BY: --			
PART/PROJECT No.:			
IDENTIFIER No. MY --	PLANT NAME AND LOCATION: Venice Window Division	CAD DWG. No.:	REV:
		PAV8100_NCTL210-3624-1A	00
			SHEET 2 of 3.



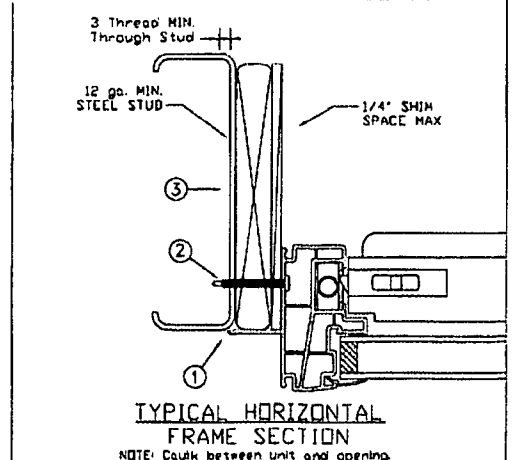
TYPICAL ELEVATION WITH FASTENERS



TYPICAL VERTICAL FRAME SECTION

NOTE: Caulk between unit and opening.

STEEL STUD NAIL FIN (NCTL 210-3624-1A)



TYPICAL HORIZONTAL FRAME SECTION

NOTE: Caulk between unit and opening.

Uniform Design Pressure as Tested +50/-60 psf per ASTM E1886/E1996.

Max Frame	DP	IMPACT
52 1/8" x 75"	+50/-60	YES

Uniform Design Pressure as Tested +50/-60 psf per AIAA/VDMA/CSA 101/LS 2/M440-05.

General Notes:

- The product shown herein is designed, tested and manufactured to comply with the wind load criteria of the adopted International Building Code (IBC), the International Residential Code (IRC), the current Florida Building Code and the industry standard requirements for the stated conditions.
- All glazing shall conform to ASTM E1300.
- Minimum nominal glazing: insulated 3/16" annealed -5/16" PVB interlayer impact resistant.
- Installation methods may be interchanged within the same opening.
- An impact protective system is NOT required where wind borne debris protection is required by local building code.
- Maximum sizes are buck / net sizes and do not include fins or flanges.

This schedule addresses only the fasteners required to anchor the product to achieve the rated design pressure and impact performance (where applicable) up to the size limitations noted. It is not intended as a guide to the installation process and does not address the sealing consideration that may arise in different wall conditions. For the complete installation procedure, see the instructions packaged with the window or go to [www.jeld-wen.com/resources/installation](http://www.jeld-wen.com/resources/installation).

This drawing and its contents are confidential and are not to be reproduced or copied in whole or in part or used or disclosed to others except as authorized by JELD-WEN, Inc.

Installation Notes:

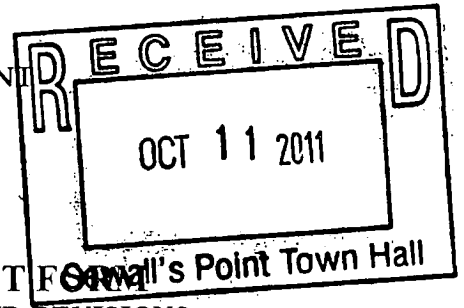
- Seal nail fin to substrate.
- Use #10 sheet metal screw or greater fasteners through the frame with sufficient length to penetrate a minimum of three (3) threads through the steel stud at each location.
- Host structure (wood buck, stud framing and opening) to be designed and anchored to properly transfer all loads to the structure. The host structure is the responsibility of the architect or engineer of record for the project of installation.

*Kristina S. Daugherty*  
 5-3-10  
 Kristina S. Daugherty  
 Florida P.E. No. 68455  
 127 V. Fairbanks Ave, Ste 438  
 Winter Park, FL 32789  
 FEPC Cert. of Authorization  
 No. 28520

PROJECT ENGINEER: ---	DATE: 04/09/2010	<b>JELD-WEN</b> 3737 Lakeport Boulevard Klamath Falls, OR 97601 (541) 882 - 3451
DRAWN BY: M. Tetzlaff	SCALE: NTS	
CHECKED BY: ---	TITLE: Premium Atlantic Vinyl (8100) Impact Single Hung Steel Stud with Nail Fin Installation (52.125" x 75.00")	
APPROVED BY: ---		
PART/PROJECT No.:		
IDENTIFIER No. MY --	PLANT NAME AND LOCATION: Venice Window Division	CAD DWG. No.: PAV8100_NCTL210-3624-1A
		REV: 00 SHEET 3 of 3.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765



~~REVISIONS~~ CORRECTIONS REQUEST FORM  
 MUST BE SUBMITTED FOR ALL CORRECTIONS AND REVISIONS

DATE: 10/11/11 PERMIT NUMBER: 07749  
 JOB ADDRESS: 107 S. River Road

PLEASE CHECK ONE OF THE FOLLOWING:

- CONDITION OF INSPECTION APPROVAL (Needed for an inspection)
- CONDITION OF PERMIT APPROVAL: (Corrections/Permit not issued, in review process)
- REVISIONS (Changes to an issued permit)

\*\*\*\*ALL PLAN REVISIONS MUST BE HIGHLIGHTED OR CLOUDED ON DRAWING\*\*\*\*

ALL REVISED PAGES ARE REQUIRED TO BE INSERTED IN FIELD PERMIT SET

DESCRIPTION OF REVISION(S): Staircase Doors

DOES REVISION(S) CHANGE THE VALUE OF CONSTRUCTION? YES  NO  VALUE \$ 206.00  
 \*\*\*INCREASED CONSTRUCTION VALUE WILL INCREASE PERMIT FEES AND MUST BE PAID AT TIME OF APPROVAL\*\*\*

CONTACT NAME: JOSEPH GILBERTO SIGNATURE: Joseph Gilberto  
 PHONE NUMBER: (646)335-8359 FAX NUMBER: \_\_\_\_\_

FOR OFFICE USE ONLY:

Reviewed by: [Signature] Date: 10-11-11 Approve  Deny

Additional conditioned space \_\_\_\_\_ sq. ft. @ \$104.65 per sq. ft. \_\_\_\_\_ x 2% = \_\_\_\_\_

Additional non-conditioned space \_\_\_\_\_ sq. ft. @ \$ 48.90 per sq. ft. \_\_\_\_\_ x 2% = \_\_\_\_\_

Other declared value increase (must be based on value not cost) \_\_\_\_\_ x 2% = \_\_\_\_\_

Other additional fees: \_\_\_\_\_ Revision review fee: \_\_\_\_\_ Pages @ \$25.00/Page \_\_\_\_\_

Radon Fee \_\_\_\_\_ Professional Regulation Fee \_\_\_\_\_ Road impact assessment \_\_\_\_\_

TOTAL ADDITIONAL BUILDING PERMIT FEE \$ N/E

Applicant notified by: \_\_\_\_\_ Date: \_\_\_\_\_

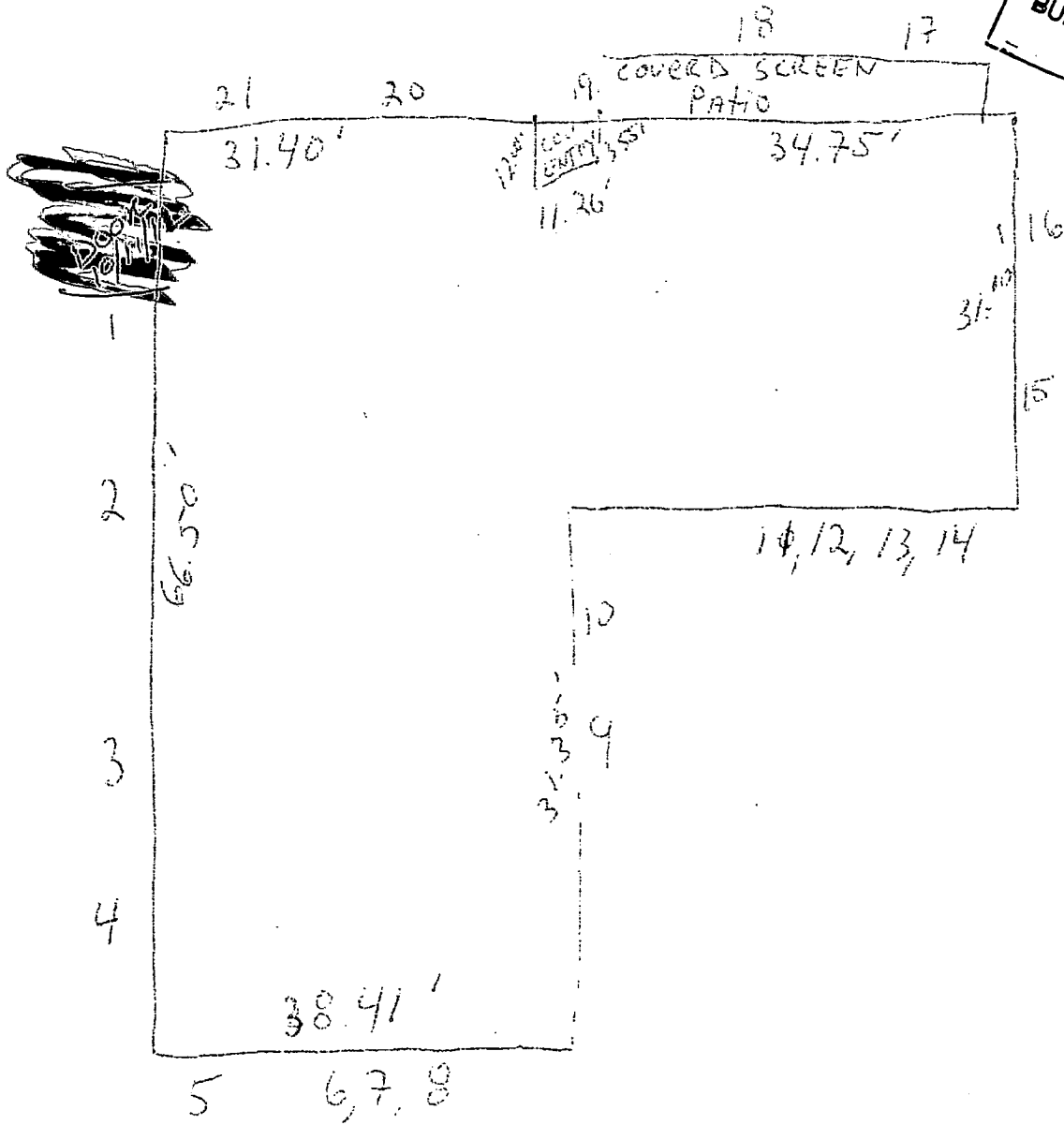
(FRONT)

107 S. River Road  
STUART, FL 34996

TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
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WEST SIDE

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 10-17-11 Page    of   

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9-14-11 PM 1-2	G. Roberto 107 SRR G. Roberto JB	Impact win and SGD Window Rough	PASS	INSPECTOR <i>AK</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR



# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 8/12 - 14 Page 1 of 3

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
7892	Tedesco	Final Removal		
10 AM	18 N River O/B	(Notice of Expired Permit)	Pass	CLOSE INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10685	Dickinson	Final		
	19 Emerita Way	Porch Screen	Pass	CLOSE
	Pioneer Screen	(Notice of Expired Permit)		INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>9747</del>	Gilberto	Final		
9 AM	<del>101 S River Rd</del> O/B	Windows + Door	<del>Pass</del>	<del>Pass</del> INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10566	Winslow	Rough		
9 AM	10 S SPR	Electrical	Called to	move Wednesday
	Green Building Construct.			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10530	Sharfi	Gas lines		
	73 N River Rd	final	Pass	CLOSE
	Florida Gas Express	(Notice of Expired permit)		INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10333	Schwartz	Final		
	109 S SPR	Driveway	Pass	CLOSE
	PavCo	(Notice of Expired permit)		INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10838	Weston	Pool Bonding		
	30 S SPR	EQUIPMENTAL	Pass	
	Weston	BOND GRID		INSPECTOR <i>A</i>

**10019**

**SKYLIGHT**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	10019	DATE ISSUED:	FEBRUARY 23, 2012
SCOPE OF WORK:	INSTALL SKYLIGHT		
CONTRACTOR:	EMIL LAVIOLA CUSTOM HOMES		
PARCEL CONTROL NUMBER:	123841002-000-009302	SUBDIVISION	RIO VISTA - LOT 93
CONSTRUCTION ADDRESS:	107 S RIVER RD		
OWNER NAME:	GILBERTO		
QUALIFIER:	EMIL LAVIOLA	CONTACT PHONE NUMBER:	284-2598

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE**  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

### INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

SKYLIGHT INSTALL

Town of Sewall's Point BUILDING PERMIT APPLICATION

Permit Number: 10019

Date: 6/15/11
OWNER/TITLEHOLDER NAME: JOE GilBERTO
Job Site Address: 107 S River Rd
Legal Description: RIO VISTA Lot 93
Parcel Control Number: 123841002-000-009302

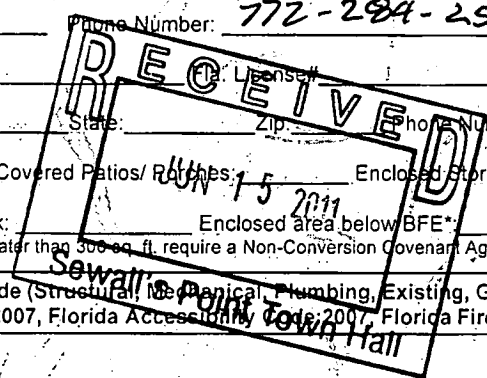
SCOPE OF WORK (PLEASE BE SPECIFIC): Skylight

WILL OWNER BE THE CONTRACTOR?
Has a Zoning Variance ever been granted on this property?

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 1,000
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:

Construction Company: EMIL LAVIDA Custom Homes LLC
Qualifiers name: EMIL LAVIDA
State License Number: CBC 038935

LOCAL CONTACT: EMIL
DESIGN PROFESSIONAL: N/A
AREAS SQUARE FOOTAGE: Living: Garage: Covered Patios/Roofing: Enclosed Storage: Carport: Total under Roof Elevated Deck: Enclosed area below BFE\*



CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007.

NOTICES TO OWNERS AND CONTRACTORS:

- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS...

\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

OWNER NOTORIZED SIGNATURE: (required per 713.135 F.S.)
OR OWNERS LEGAL AUTHORIZED AGENT (RPOF REQUIRED)
X Joseph GilBERTO
State of Florida, County of: Martin
On This the 15th day of June, 2011
by Joseph GilBERTO who is personally known to me or produced by Notary Public
As identification: [Signature]

CONTRACTOR NOTORIZED SIGNATURE: (required per 713.135 F.S.)
State of Florida, County of: Martin
On This the 15th day of June, 2011
by EMIL LAVIDA who is personally known to me or produced by Notary Public
As identification: [Signature]

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOT RECORDED PER 713.34 ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**Martin County, Florida  
Laurel Kelly, C.F.A**

generated on 6/16/2011 8:44:40 AM EDT

**Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
12-38-41-002-000-00930-2	27604	107 S RIVER RD, SEWALL'S POINT	\$323,170	6/11/2011

---

**Owner Information**

<b>Owner(Current)</b>	GILBERTO JOSEPH GILBERTO CYNTHIA A
<b>Owner/Mail Address</b>	107 S RIVER RD STUART FL 34996
<b>Sale Date</b>	12/23/2010
<b>Document Book/Page</b>	2493 1192
<b>Document No.</b>	2251029
<b>Sale Price</b>	144000

---

**Location/Description**

<b>Account #</b>	27604	<b>Map Page No.</b>	SP-05
<b>Tax District</b>	2200	<b>Legal Description</b>	RIO VISTA S/D LOT 93
<b>Parcel Address</b>	107 S RIVER RD, SEWALL'S POINT		
<b>Acres</b>	.5690		

---

**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120250 RIO VISTA DRY

---

**Assessment Information**

<b>Market Land Value</b>	\$139,700
<b>Market Improvement Value</b>	\$183,470
<b>Market Total Value</b>	\$323,170



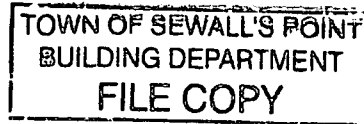
**MIAMI-DADE COUNTY**  
**BUILDING CODE COMPLIANCE OFFICE (BCCO)**  
**PRODUCT CONTROL DIVISION**

MIAMI-DADE COUNTY, FLORIDA  
 METRO-DADE FLAGLER BUILDING  
 140 WEST FLAGLER STREET, SUITE 1603  
 MIAMI, FLORIDA 33130-1563  
 (305) 375-2901 FAX (305) 372-6339

**NOTICE OF ACCEPTANCE (NOA)**

[www.miamidade.gov/buildingcode](http://www.miamidade.gov/buildingcode)

**Maxim Industries, Inc.**  
 1630 Terre Colony Court  
 Dallas, TX 75212



**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code. This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

**DESCRIPTION: Model MAX DGCM 07 Curb Mount Skylight.**

**APPROVAL DOCUMENT:** Drawing No. MAX DGCM 07, titled "Maxim Impact Glass Curb Mount Skylight", prepared by Maxim Industries, Inc., sheets 1 through 2 of 2, dated 06/23/07, with last revision dated 12/01/07, signed and sealed by Richard Boyette, P.E., bearing the Miami-Dade County Product Control approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING: Large and Small Missile Impact Resistant**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved or MDCPCA", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of this page 1, evidence page E-1, as well as approval document mentioned above.

The submitted documentation was reviewed by **Carlos M. Utrera, P.E.**

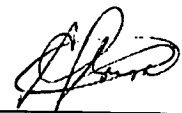


*[Signature]*  
 12/15/07

NOA No 07-1105.05  
 Expiration Date: January 10, 2013  
 Approval Date: January 10, 2008  
 Page 1

**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

- A. DRAWING**
1. Drawing No. MAX DGCM 07, titled "Maxim Impact Glass Curb Mount Skylight", prepared by Maxim Industries, Inc., sheets 1 through 2 of 2, dated 06/23/07, with last revision dated 12/01/07, signed and sealed by Richard Boyette, P.E.
- B. TEST**
1. Test reports on
    - 1) Air Infiltration Test, per FBC, TAS 202-94
    - 2) Uniform Static Air Pressure Test, Loading per FBC TAS 202-94
    - 3) Water Resistance Test, per FBC, TAS 202-94
    - 4) Large Missile Impact Test per FBC, TAS 201-94
    - 5) Cyclic Wind Pressure Loading per FBC, TAS 203-94along with marked-up drawings and installation of the Maxim Impact Glass Curb Mount Skylight, prepared by Hurricane Test Laboratory, LLC, and Test Report No. T482-0604-07, dated 10/09/07, signed and sealed by Vinu J. Abraham, P.E.
- C. CALCULATIONS**
1. Anchor calculations dated 10/28/07, prepared, signed and sealed by Richard Boyette, P.E.
- D. QUALITY ASSURANCE**
1. Miami Dade Building Code Compliance Office (BCCO).
- E. MATERIAL CERTIFICATION**
1. DuPont SentryGlass® Plus NOA # 06-1205.10.
- F. STATEMENTS**
1. Test Compliance letter issued by Hurricane Test Laboratory, LLC., dated 08/25/07, signed and sealed by Vinu J. Abraham, P.E.
  2. Code compliance letter dated 10/29/07, issued, signed and sealed by Richard Boyette, P.E.
  3. No financial interest letter dated 10/29/07, issued, signed and sealed by Richard Boyette, P.E.

 12/15/07

---

Carlos M. Utrera, P.E.  
Product Control Examiner  
NOA No: 07-1105.05  
Expiration Date: January 10, 2013  
Approval Date: January 10, 2008

Detail #1:  
Frame, Gutter Seat & Glass Section Detail

DESIGN PRESSURE = +60psf / -100psf

Dow Corning 795 Silicone Building Sealant. Glass bite = 1.75"

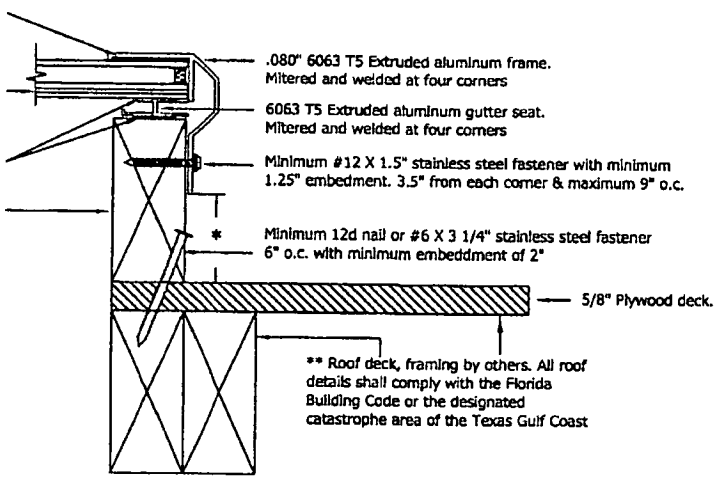
7/8" Insulated Glass:  
1/8" Tempered - 3/8" air space w/ desiccant filled stainless steel spacer - Laminated Glass (1/8" annealed glass - .090" Sentry Glass® Plus Interlayer - 1/8" annealed glass)

Dow Corning 795 Silicone Building Sealant

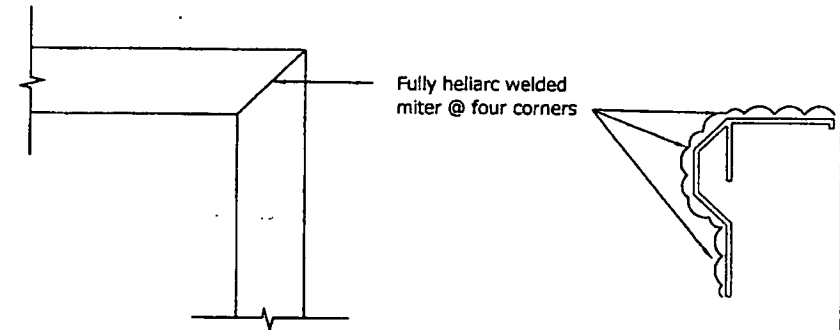
Curb Buck:  
See \*\* Note Below

\* Minimum distance = 4" from aluminum frame to roof surface for shingles or BUR without insulation. For insulation and roof tile add insulation or roof tile thickness to 4" minimum height

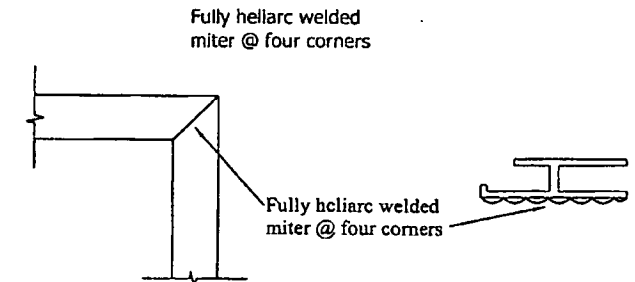
\*\* Curb buck = Nominal Southern yellow pine 2 X 6 with skylight set on buck with minimum 1/8" tall bead of Dow Corning 795 silicone building sealant. Installation fasteners are stainless steel #12 X 1.5" with minimum 1.25" embedment located 3.5" from each corner and centered maximum 9" on center



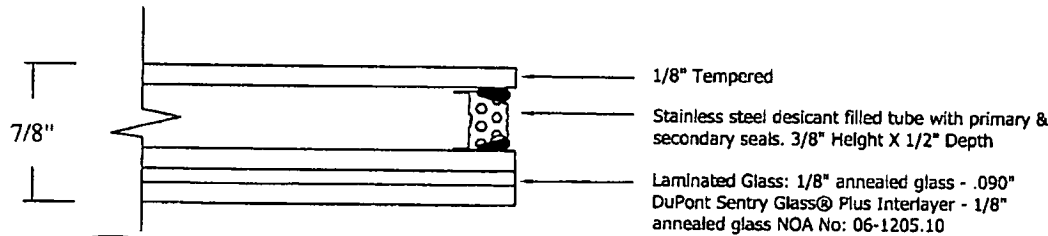
Detail #2  
Frame Corner Construction and Weld Detail



Detail #4  
Gutter Construction and Weld Detail



Detail #3  
Glazing Detail



*Richard Boyette*  
APPROVED 11/10/2007

RICHARD BOYETTE  
FL PE # 42485  
4031 COCONUT BLVD  
ROYAL PALM BCH FL 33411  
561-790-5766

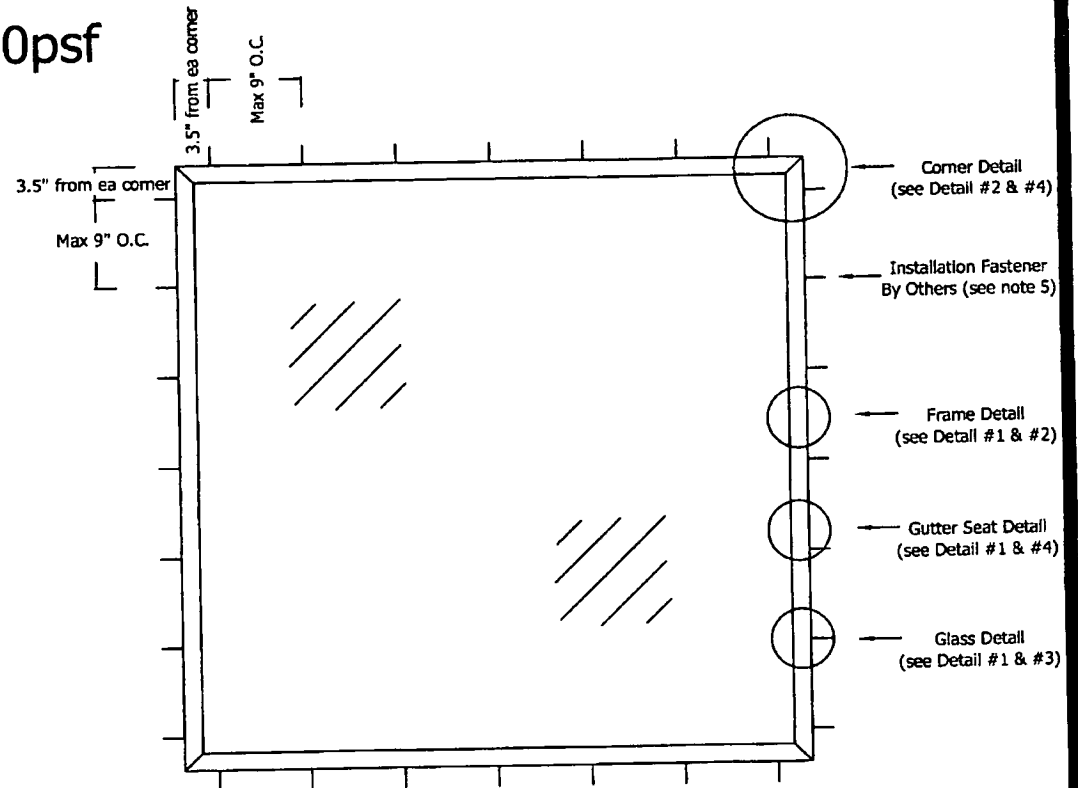
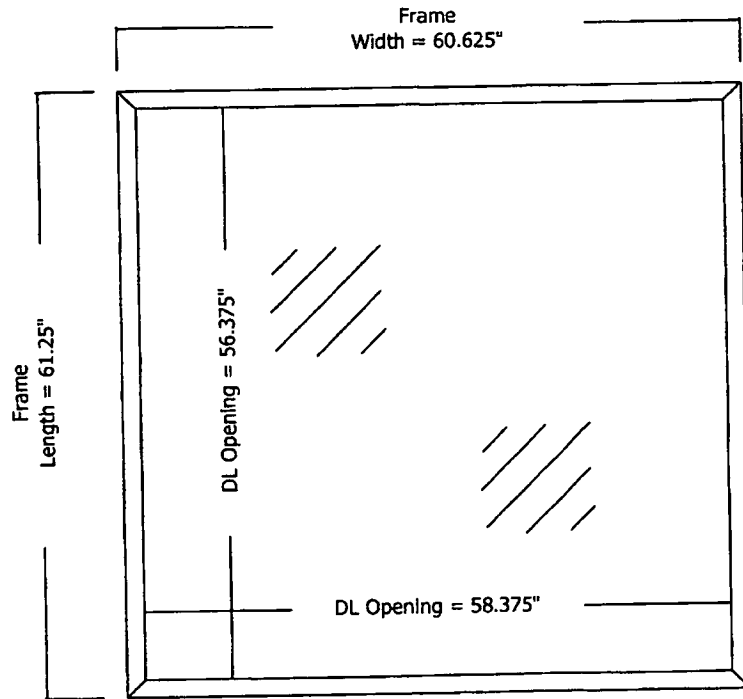
11/10/2008  
67-1105.35  
*Richard Boyette*

**MAXIM**  
HURRICANE RESISTANT  
SKYLIGHTS  
1630 Terre Colony Court Dallas, Texas 75212  
P: 888.222.4898 P: 214.905.2021 F: 214.905.2024  
www.maximskylights.com

TITLE: MAXIM IMPACT GLASS CURB MOUNT SKYLIGHT  
DRAWING NO.: MAX DGCM 07 DATE: 2007.12.01  
DRAW BY: DJT REVISION: #1  
SCALE: NTS  
SHEET: 1 OF 2



DESIGN PRESSURE = +60psf / -100psf



Notes:

1. This skylight is designed to comply with all zones, including the HVHZ, of the Florida Building Code and all zones of the designated catastrophe area of the Texas Gulf Coast.
2. This skylight meets small & large missile impact resistance (TAS-201/ASTM E1886/ASTM E1996) and no other protection is required.
3. All framing and roof deck is by others and must comply with the Florida Building Code or the designated catastrophe area of the Texas Gulf Coast.
4. All sizes equal to or less than the test size total square footage are to be accepted under this NOA.
5. Fasteners used to attach skylight to wood curb are to be minimum #12 X 1.5" stainless steel with minimum embedment of 1.25"

Bill of Materials:

1. 6063-T5 Extruded Aluminum Frame mitered and welded at four corners. Manufacturer - Maxim
2. 6063-T5 Extruded Aluminum Gutter mitered and welded at four corners. Manufacturer - Maxim
3. Dow Corning 795 Silicone Building Sealant located between aluminum frame and glass (glass bite) and glass and gutter. Manufacturer - Dow Corning
4. 7/8" Insulated glass with Sentry Glass Plus interlayer: 1/8" Tempered - 3/8" stainless steel desiccant filled tube (air space) - 2 pcs 1/8" annealed with .090" Sentry Glass Plus interlayer. Manufacturer - DuPont
5. #12 X 1.5" Stainless steel fasteners 3.5" from each corner, maximum 9" on center with minimum embedment of 1.25".

RICHARD BOYETTE

FL PE # 42485

4031 COCONUT BLVD  
ROYAL PALM BCH FL 33411

561-790-5766

APPROVED 06/06/2007

1/10/2008  
07-1105'05

**MAXIM**  
HURRICANE RESISTANT  
SKYLIGHTS

1630 Terre Colony Court Dallas, Texas 75212  
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TITLE: MAXIM IMPACT GLASS CURB MOUNT SKYLIGHT

DRAWING NO.: MAX DGCM 07

DATE: 2007.12.01

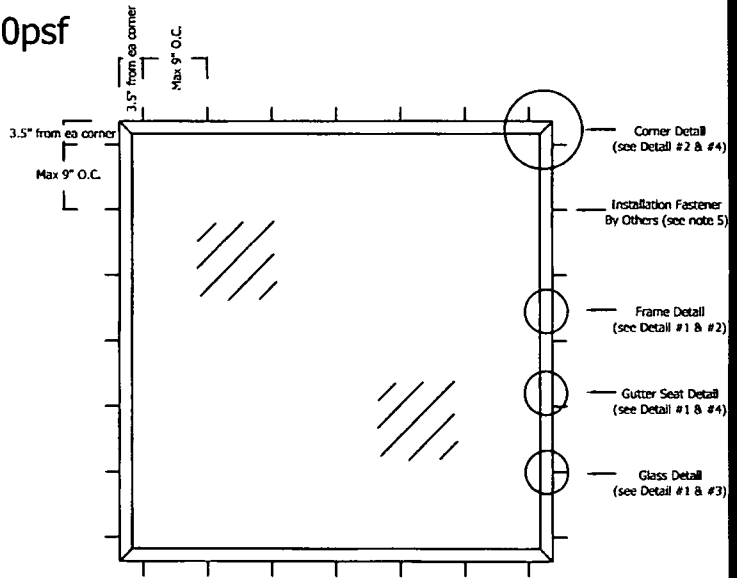
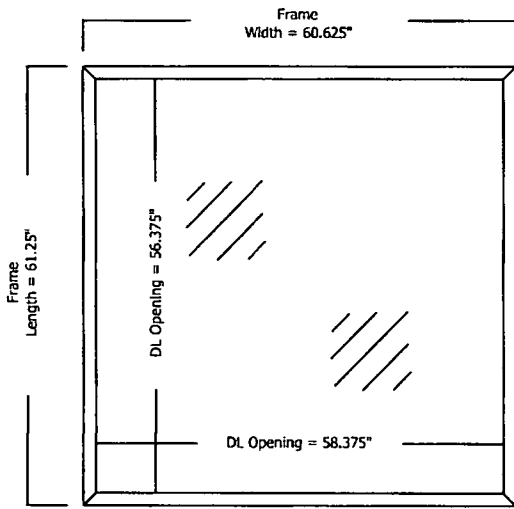
DRAW BY: DJT

REVISION: #1

SCALE: NTS

SHEET: 2 OF 2

DESIGN PRESSURE = +60psf / -100psf

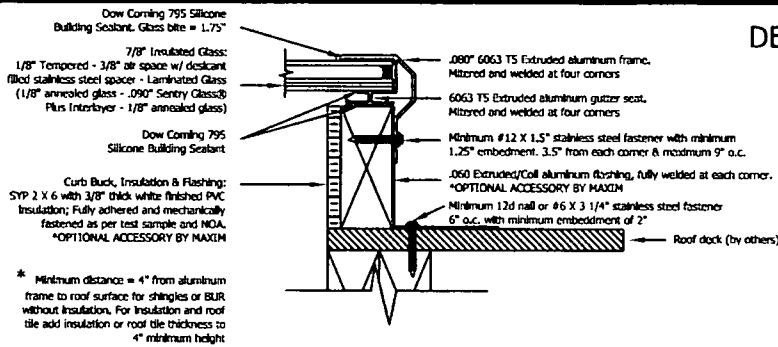


**Notes:**

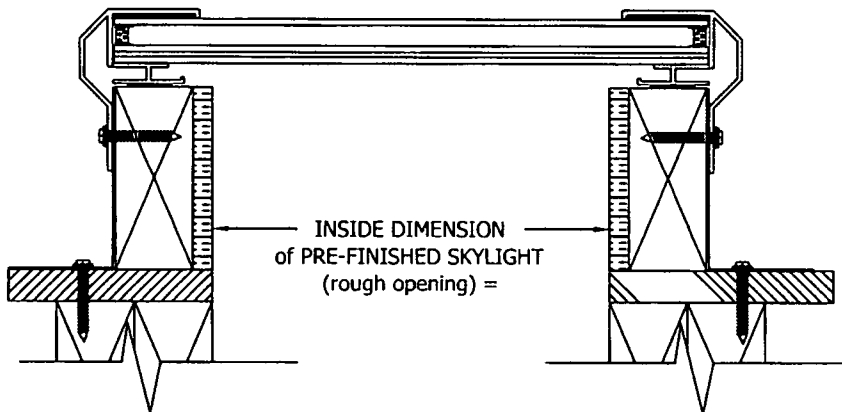
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5. #12 X 1.5" Stainless steel fasteners 3.5" from each corner, maximum 9" on center with minimum embedment of 1.25".



\* Minimum distance = 4" from aluminum frame to roof surface for shingles or BUR without insulation. For insulation and roof tile add insulation or roof tile thickness to 4" minimum height



DESIGN PRESSURE = +60psf / -100psf

Inside Skylight Dimension (rough opening) Required

Qty:

Dimension:

- Impact Glass:
- Bronze Tint:
- Gray Tint:
- Clear (no tint):
- LoE366 (Cardinal IG):
- Argon Gas Fill:

- Frame Finish:
- Bronze Anodized:
- Mill:
- White Powder Coat:
- Custom Powder Coat:



1630 Terre Colony Court Dallas, Texas 75212  
 P: 888.222.4898 P: 214.905.2021 F: 214.905.2024  
 www.maximskylights.com

**Test Methods Include:**

- ASTM E283 & TAS 202
- Air Infiltration
- ASTM E331 & E547 & TAS 202
- Water Infiltration
- ASTM E330 & TAS 202
- Uniform Static Load
- ASTM E1886/ E1996 & TAS 201
- Large & Small Missile
- ASTM E1996 & TAS 203
- Cyclic Load

**Test Condition**

- 1.57 psf & 6.24 psf
- 9.00 psf
- +120 psf/-200 psf
- 9lb 2 X 4 @ 50+/- fps
- +120 psf/-200 psf

**Result**

- Pass
- Pass
- DP = +60 psf/-100 psf
- No Penetration
- DP = +60 psf/-100 psf

Tested and conforming to AAMA/WDMA/CSA 101/I.S.2/A440 & ASTM E1300

## SECTION 08620—UNIT SKYLIGHTS

### Dade County/FBC/TDI Approved Impact Glass Skylight (Model(s) DGCM/DGSF)

#### PART 1: General

##### 1.01 Section Includes:

###### A. Scope:

This section includes everything necessary for and incidental to the execution and completion of the Florida Building Code, Dade County and Texas Department of Insurance approved Impact Glass glazed Curb Mount skylight as shown on all drawings and specified herein.

###### B. Work Included:

Work included, and is limited to, the skylight materials only and includes the following:

1. 1" Impact Glass with DuPont Sentry Glass Plus unit skylights complete with curb mount frame for installation on flashed curb by others or unfinished 2 X 6 SYP curb provided by Maxim Industries, Inc.

###### C. Related Work:

1. Division 7: Thermal & Moisture Protection.
2. Division 8: Windows & Doors.
3. Section \_\_\_\_\_ final cleaning.

##### 1.02 References and Approvals:

Architectural Testing, Inc., 130 Derry Court, York, PA 17402

**REPORT#: 01—43381.01**

Miami-Dade County Building Code Compliance Office

**Product Control Notice of Acceptance (NOA): 08-0219.02 Expires –May 15, 2013**

Sheffield Plastics, Inc., 119 Salisbury Road, Sheffield, MA 01257

**Product Control Notice of Acceptance (NOA): 01-0709.07 Expires: 08/27/2012**

Florida Building Commission 2555 Shumard Oak Blvd., Tallahassee, FL 32399-2100

**2004 Version of the Florida Building Code: Product Approval Number: FL #2418-R3**

Texas Department of Insurance 333 Guadalupe Austin, TX 78714-9104

**Texas Department of Insurance Evaluation Report no. SK-13**

Texas Department of Insurance 333 Guadalupe Austin, TX 78714-9104

**Texas Department of Insurance Evaluation Report no. SK-18**

Hurricane Test Lab, 525 32<sup>nd</sup> Street Lubbock, Texas 79404

**REPORT#: T482-0604-07**

Miami-Dade County Building Code Compliance Office

**Product Control Notice of Acceptance (NOA): 07-1105.05 Expires –Jan 10, 2013**

E.I. DuPont de Nemours & Co., Inc. 8480 DuPont Road Washington, WV 26181

**Product Control Notice of Acceptance (NOA): 06-1205.10**

National Accreditation & Management Institute 11870 Merchants Walk Newport News VA 23606

**Product, Manufacturing and Quality Assurance Certification No.: NI009346**

Construction Consulting Lab 1601 Luna Road Carrollton, Texas 75006

**AAMA/WDMA/CSA 101/I.S.2/A440-05 including: ASTM E283, ASTM E330, ASTM E331  
ASTM E547—Standard specification for windows, doors & skylights**

### 1.03 Performance Criteria:

#### A. Impact Resistance:

Impact Glass glazed unit skylights must meet the requirements of Protocol TAS—201-94

#### B. Static Air Pressure:

Impact Glass glazed unit skylights must meet the requirements of Protocol TAS—202-94

#### C. Cyclic Wind Pressure Loading:

Impact Glass glazed unit skylights must meet the requirements of Protocol TAS—203-94

#### D. Structural Loads:

Impact Glass glazed unit skylights must meet the requirements of Protocol TAS—202-94; Design Load = +60.0 psf. & -100.0 psf.

#### E. Cyclic Wind Pressure Loading:

Impact Glass glazed unit skylights must meet the requirements of Protocol TAS—203-94; Design Load = +60.0 psf. & -100.0 psf.

#### F. Other standards met or exceeded and thusly included in this specification:

ASTM E330, ASTM E331, ASTM E283, ASTM E547, ASTM E1886, ASTM E1996

### 1.04 Submittals:

#### A. Shop Drawings:

Submit \_\_\_\_\_ copies of manufacturers standard approval sheet for architects review and approval.

### 1.05 Warranty:

Skylight manufacturer shall provide a written warranty against defects in materials and workmanship for a period of five (5) years from date of installation for frame and finish, seven (10) years for glazing.

### 1.06 Manufacturer:

Dade Glass Curb Mount/ Dade Glass Self Flashing skylight(s) shall be Maxim Industries, Inc. model DGCM/ DGSF as manufactured by Maxim Industries, Inc., 1630 Terre Colony Court Dallas, Texas, 214-905-2021 with sizes as shown on drawings.

## **Part 2: Products:**

### 2.01 Materials:

#### A. Frame:

Frame shall be fabricated from 6063-T5/T6 aluminum extrusion with a thickness of .090 or typical wall per extrusion blueprint. Frame shall include a condensation gutter applied to the interior side of the glazing made from 6063-T5/T6 aluminum extrusion with a thickness of .090 or typical wall per extrusion blueprint. All corners shall be welded using the heliarc process.

#### B. DuPont Sentry Glass® Plus Impact Glass:

DuPont Sentry Glass® Plus Impact Glass shall be secured to frame per product approval drawings.

C. Aluminum Finish:

All exposed aluminum to be Mill Finish, Clear Anodized, Bronze Anodized, or Powder Coated Custom Color, as selected by architect.

D. Sealants:

1. Dow Corning 795 sealant:

Dow Corning 795 structural sealant applied continuously around perimeter of the skylight frame between the Glass and frame.

E. Fasteners:

No fasteners are supplied but must conform to product control approval drawings. Pre-positioned fastener holes are provided.

F. Curb:

Optional Curb provided by Maxim. Verify wood, aluminum (per 2.01 A) or other material as specified.

2.02 Assembly:

All skylights shall be factory assembled and factory glazed.

**Part 3 Installation:**

3.01 Site Inspection:

Installer shall notify general contractor/project manager of any structural or dimensional deficiencies immediately. No work shall proceed without the correction of all deficiencies or written authorization is given to proceed.

3.02 Installation:

Skylight shall be installed in strict accordance with installation drawings and instructions provided by the manufacturer. Any deviation shall only be through written authorization from the architect.

A. Sealants:

No sealants shall be applied to aluminum if temperature is below 32 degrees F.

3.03 Protection:

Protection of skylights during construction shall be the responsibility of the general contractor/project manager.

3.04 Cleaning:

A. General Cleaning:

Installer shall remove all protective coverings from frames and/or domes and shall leave installation free from heavy debris and/or sealant markings.

B. Final Cleaning:

Final cleaning in accordance with manufacturers recommendations shall be by the general contractor/project manager. Cleaning instructions shall be located on manufacturers label.

**End of Section**

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of inspection  Mon  Tue  Wed  Thur  Fri 8-20-12 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10168	Houdeshell	Final		
1st	14 Copaine	AC	Pass	Close
	Seacoast Air			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10014	Turkey	Final		
	112 Henry Sewall Wy	Pool	Pass	Close
	Hammings Pool			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10171	Folter	Framing		
	4 Perrinville Cir	(SMAPPING EXT.)	Pass	
	Mr Hustle			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	SHARFI			
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>10019</del>	<del>Galbato</del>	<del>Final</del>	<del>Pass</del>	<del>Close</del>
	<del>107 S. Bowen</del>	<del>Bligher</del>	<del>Pass</del>	<del>Close</del>
	Emel LaViole			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9909	TWOKEY			ISSUE COFO
1:30	112 Henry Sewall Wy	CO. FINAL	Pass	✓
	Seagate			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALL'S POINT, FLORIDA

Date 9/3 #2003 TREE REMOVAL PERMIT No 2082

APPLIED FOR BY GAUL (Contractor or Owner)

Owner 107 S. RIVER ROAD

Sub-division \_\_\_\_\_, Lot \_\_\_\_\_, Block \_\_\_\_\_

Kind of Trees \_\_\_\_\_

No. Of Trees: REMOVE 3 PALMS

No. Of Trees: RELOCATE \_\_\_\_\_ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE \_\_\_\_\_ WITHIN 30 DAYS

REMARKS \_\_\_\_\_

\_\_\_\_\_ FEE \$ 0

Signed, \_\_\_\_\_ Applicant Signed [Signature] Town Clerk

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection  
WORK HOURS 8:00 A.M. - 5:00 P.M.—NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Large empty rectangular box for drawing or additional notes]

PROJECT DESCRIPTION \_\_\_\_\_

[Lined area for project description]

REMARKS \_\_\_\_\_

[Lined area for remarks]

**TOWN OF SEWALL'S POINT  
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

**Tree Defined:** Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

**No permit required for:**

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than one inch.

**Permit Fee:**

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

**No removal permits will be issued for native species trees:** Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

**Application procedures:**

1. Fill out application information below to include:
  - a. applicant information
  - b. written statement giving reasons for removal, relocation, or replacement if necessary
  - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
  - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days. 203-2941

Owner John Gaul Address 107 S. River Rd Phone ~~203-2941~~

Contractor owner Address \_\_\_\_\_ Phone \_\_\_\_\_

No. of Trees: REMOVE 3 Type: palms

No. of Trees: RELOCATE \_\_\_\_\_ WITHIN 30 DAYS Type: \_\_\_\_\_

No. of Trees: REPLACE \_\_\_\_\_ WITHIN 30 DAYS Type: O.K. for

Written statement giving reasons: growing between two fences

Signature of Applicant [Signature] Date 9-2-03

Approved by Building Inspector: [Signature] Date 9/3/3 Fee: 0

Plans approved as submitted \_\_\_\_\_ Plans approved as revised/marked: \_\_\_\_\_



# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 5-20-14 Page 14 of     

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10806	ELMS	FINAL SIDING		
	8 PERLIWINKLE		PASS	CLOSE
	AG ENVIRONMENTAL			INSPECTOR <i>J</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10845	McILVAINE	FINAL		
	20 CASTLE HILL	PILINGS	PASS	CLOSE
	BILL HUGHES CONSD	& LIFT		INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10848	GENAGANT	FOOTING		
	14 S. SEWALLS Pt RD		PASS	
	SCOTT HOLMES			INSPECTOR <i>J</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10852		FINAL ROOF		
	4 WORTH CT		PASS	CLOSE
	THE SYSTEM			INSPECTOR <i>J</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10842	ROSEMANN	DRY-IN & METN		
	5 RIO VISTA DR		ROSET WED	
	CODE RED ROOFERS			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	GILBERTO	TREE		REPORTS FROM ARBORIST
	107 S. RIVER RD		OK	& OWNER
				INSPECTOR <i>J</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR