

**132 South River Road**

**2063**

**POOL**

Permit No.

2063

Date

7/30/87

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Claude Moorman 96 Surrounding Ave Present Address 500 Colorado Ave.

Phone 286-2660 Stuart, Fla 34997

Contractor Olympic Pools Address 1505 S.W. Martin Hwy

Phone 286-6070 Palm City, Fla 32490

Where licensed State of Fla License number CPCA11014

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Swimming Pool

State the street address at which the proposed structure will be built:

132 South River Rd.

Subdivision Sewall Pt. Lot number 6 Block number \_\_\_\_\_

Contract price \$ 9500 Cost of permit \$ \_\_\_\_\_

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

Date submitted \_\_\_\_\_ Approved: [Signature] Building Inspector Date \_\_\_\_\_

Approved: \_\_\_\_\_ Commissioner Date \_\_\_\_\_ Final Approval given: 8/2/87 Date \_\_\_\_\_

Certificate of Occupancy issued (if applicable) \_\_\_\_\_ Date \_\_\_\_\_

SP1282

Permit No. \_\_\_\_\_

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

2178

TOWN OF SEWALL'S POINT FLORIDA

Permit No.

Date

APPLICATION FOR A PERMIT TO BUILD A HOUSE OR COMMERCIAL BUILDING

This application must be accompanied by three sets of complete plans, to scale, (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections; plumbing, electrical and air-conditioning layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house or commercial building construction.

Owner Dr. and Mrs. C. Moorman Present address 2641 East Ocean Blvd

Phone 225-2117 Stuart, Fla. 33494

General contractor Surroundings Development Corp Address 500 Colorado Ave

Phone 286-2660 Stuart, Fla. 33497

Where licensed Florida License No. CG C020757

Plumbing contractor Lindquist License No. 0037479

Electrical contractor Suncoast Electric License No. 001133

Air-conditioning contractor R & R Air Conditioning License No. CAC 008035

Describe the building, or alteration to existing building

new single family residence

Name the street on which the building, its front building line and its front yard will face 132 South River Road

South River Road and Kingston Court (faces South River Road)

Subdivision \_\_\_\_\_ Lot No. 6 Area \_\_\_\_\_

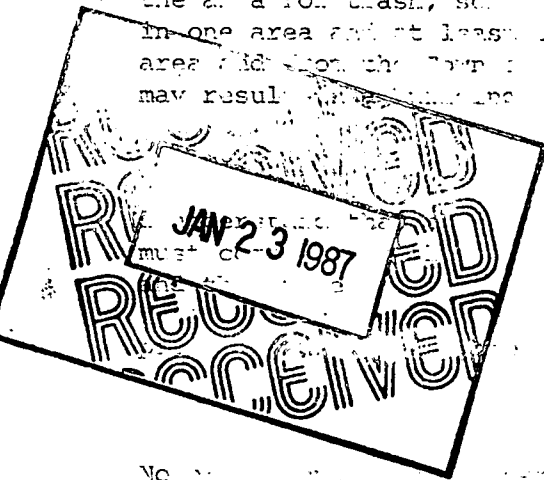
Building area, inside walls (excluding garage, carport, porches, pools, etc.)...square feet 2650 sq ft 156

Contract price (excluding land, carpeting, appliances, landscaping, etc.) \$ 157,000.00

Cost of permit \$ \_\_\_\_\_ Plans approved as submitted \_\_\_\_\_ or, as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the building for which this permit is issued must be completed within that time and in accordance with the approved plans. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. I agree that the building site will be cleared and re-graded before a Certificate of Occupancy is sought and, thereafter, I shall be responsible for maintaining the construction site in a neat and orderly condition by the area for trash, soil, building materials and other debris which shall be gathered in one area and at least once a week removed from the site. Failure to comply with the area and upon the Town of Sewall's Point may result in the issuance of a stop-work order.

*J. H. ...*



No. \_\_\_\_\_ Date \_\_\_\_\_

Approved by 2/16/87 Dade Br

Approved by \_\_\_\_\_

Official of Occupancy \_\_\_\_\_



MARTIN COUNTY PUBLIC HEALTH UNIT Phone:  
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM

STEPHEN J. BROWN, INC.  
PROFESSIONAL LAND SURVEYOR  
295 FLORIDA ST., STUART, FLA.  
305-287-0525

PERMIT NUMBER: HD87-46

NAME OF APPLICANT: SURROUNDINGS HOME PHONE: 286-2660

MAILING ADDRESS OF APPLICANT: 500 COLORADO AVE, STUART,

LOT 6 BLOCK - SUBDIVISION WINDSTAR CT.

PLAT BOOK 8 PAGE 82 DATE SUBDIVIDED 10/81

RESIDENTIAL: NUMBER DWELLING UNITS 1 NUMBER BEDROOMS 3

HEATED OR COOLED AREA OF HOME 3500+ SQUARE FEET

COMMERCIAL: TYPE OF BUSINESS PROPOSED \_\_\_\_\_ NUMBER PEOPLE \_\_\_\_\_

JOB. NO. 541-02-02

AFFIDAVIT

I HAVE REVIEWED THIS PERMIT AND I CERTIFY THAT ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT AND ANY APPLICABLE STATE OR COUNTY REGULATIONS.

SIGNATURE OF PROPERTY OWNER OR OWNER'S LEGALLY AUTHORIZED REPRESENTATIVE:

STEPHEN J. BROWN

INSTALLATION SPECIFICATIONS

SEPTIC TANK CAPACITY 1050 GALLONS

DRAINFIELD SIZE 400 SQUARE FEET

TOP OF SEPTIC TANK IS REQUIRED TO BE A MINIMUM ELEVATION OF

FINISHED SOIL GRADE  
NOT TO EXCEED 18" OF  
COVER OVER DRAINFIELD ROCK

MINIMUM SETBACK REQUIRED FROM PROPERTY LINES TO DRAINFIELD ROCK IS 5'

THIS PERMIT EXPIRES ONE (1) YEAR FROM DATE OF ISSUANCE

ISSUED BY: Daniel Markowsky P.E.  
ENVIRONMENTAL HEALTH SPECIALIST

DATE: 1-26-87

PLEASE NOTE:

Permit VOID if well or septic system is installed in a location other than area permitted. PRIOR HEALTH DEPARTMENT APPROVAL REQUIRED

1. THIS PERMIT EXPIRES ONE YEAR FROM DATE OF ISSUANCE.
2. IF BUILDING STUBOUT IS MORE THAN 20 FEET FROM SEPTIC TANK AND DRAINFIELD, A HIGHER STUBOUT ELEVATION THAN SHOWN ABOVE WILL BE REQUIRED.
3. IF FILL IS REQUIRED, CONTACT MARTIN COUNTY BUILDING DIVISION.
4. IF ANY INFORMATION ON THIS PERMIT CHANGES, PLEASE SUBMIT AN UPDATED APPLICATION TO THIS OFFICE.
5. IF WELL OR MOUND DRAINFIELD IS PROPOSED, SEE ATTACHED SKETCH OF ADDITIONAL SPECIAL REQUIREMENTS.

Inspection Results Will be Posted on Building Permit or on Electrical Box.

FINAL INSPECTION

CONSTRUCTION APPROVED BY: \_\_\_\_\_

ENVIRONMENTAL HEALTH SPECIALIST

DATE: \_\_\_\_\_

AN APPROVED SYSTEM DOES NOT GUARANTEE PERFORMANCE

KINGSTON COURT LEAD

This Instrument Prepared By:  
M. LANNING FOX  
WARNER, FOX & SEELEY  
Attorneys At Law  
200 Atlanta Avenue  
P. O. Drawer 6  
Stuart, Florida 33495

WARRANTY DEED  
(STATUTORY FORM - SECTION 689.02 F.S.)

487927

THIS INDENTURE, made this 14th day of September, 1983, between ROBERT A. LAKE, of the County of Broward, State of Florida, grantor\*, and STUART KAYE and MARCIA D. KAYE, his wife, whose post office address is 18 Simara Street, Stuart, of the County of Martin, State of Florida, grantee\*,

WITNESSETH, that said grantor, for and in consideration of the sum of \$10.00 and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida, to-wit:

Lots 6, 7, 8 and 9, KINGSTON COURT, according to the Amended Plat thereof recorded in Plat Book 8, page 82, Martin County, Florida, Public Records;

SUBJECT TO taxes accruing subsequent to December 31, 1982, zoning regulations in force and effect, restrictions, easements and road rights-of-way of public record;

GRANTOR COVENANTS THAT NEITHER HE NOR ANY PERSON LEGALLY OR NATURALLY DEPENDENT UPON HIM NOW RESIDE ON SAID LANDS OR ANY LANDS CONTIGUOUS THERETO, AND THAT HE PERMANENTLY RESIDES WITH ALL OF SUCH PERSONS, IF ANY, AT 2816 N.E. 37TH COURT, FORT LAUDERDALE, FLORIDA.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

\*"Grantor" and "grantee" are used for singular or plural, as context requires.

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal the day and year first above written.

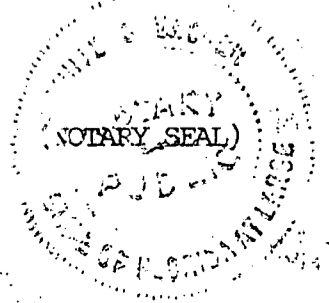
Signed, sealed and delivered in our presence:

Stephen J. [Signature]  
W. Thomas [Signature]  
As to Grantor

[Signature] L.S.  
ROBERT A. LAKE

STATE OF FLORIDA  
COUNTY OF MARTIN

The foregoing instrument was acknowledged before me this 14th day of September, 1983, by ROBERT A. LAKE.



G.R. BOOK 580 PAGE 1957

Connie S. Wagner  
Notary Public  
STATE OF FLORIDA AT LARGE  
My Commission Expires:

NOTARY PUBLIC STATE OF FLORIDA AT LARGE  
MY COMMISSION EXPIRES JUNE 11 1984  
BONDED THRU GENERAL INS. UNDERWRITERS

RECORD OF INSPECTIONS

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 10/15/87

This is to request that a Certificate of Approval for Occupancy be issued to Moorman  
For property built under Permit No. 2178 Dated 2/16/87 when completed in  
conformance with the Approved Plans.

Item	
1. LOT STAKES/SET BACKS	
2. TERMITE PROTECTION	
3. FOOTING - SLAB	<u>3/26/87</u>
4. ROUGH PLUMBING	<u>3/25/87 DB</u>
5. ROUGH ELECTRIC	<u>3/26/87 DB</u>
6. LINTEL	
7. ROOF	<u>7/10/87 DB</u>
8. FRAMING	<u>6/12/87 DB</u>
9. INSULATION	<u>4/5/87 DB</u>
10. A/C DUCTS	<u>6/12/87 DB</u>
11. FINAL ELECTRIC	<u>10/15/87 DB</u>
12. FINAL PLUMBING	<u>10/15/87 DB</u>
13. FINAL CONSTRUCTION	<u>10/15/87 DB</u>

Signed [Signature]  
Approved by

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector Dale Brown 10/15/87 date

Approved by Building Commissioner JC Strubell date 10/19

Utilities notified FPL 10/16/87 date

Original Copy sent to \_\_\_\_\_

(Keep carbon copy for Town files)

**2709**

**FENCE**

Permit No. \_\_\_\_\_

Date 2-7-90

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

2709

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner MORMAN, Bobbi Present Address 132 S. River Rd

Phone 287-6517 Sewall's Point

Contractor All American Fence Address 554 N.W. MARIAN AVE

Phone 335-0928 Port St. Lucie

Where licensed MARTIN License number 00872

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: 6' HIGH WOOD FENCE ADDITIONAL

132 S. RIVER Rd.

State the street address at which the proposed structure will be built:

Subdivision KINGSTON Lot number 6 Block number \_\_\_\_\_

Contract price \$ 995.00 Cost of permit \$ \_\_\_\_\_

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor ALL AMERICAN FENCE CONTRACTORS, INC.

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Mike Dempsey

TOWN RECORD

Date submitted \_\_\_\_\_ Approved: Dale Bw 2/9/90 Building Inspector \_\_\_\_\_ Date \_\_\_\_\_

Approved: \_\_\_\_\_ Commissioner \_\_\_\_\_ Date \_\_\_\_\_ Final Approval given: \_\_\_\_\_ Date \_\_\_\_\_

Certificate of Occupancy issued (if applicable) \_\_\_\_\_ Date \_\_\_\_\_

SP1282

Permit No. \_\_\_\_\_

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.



# All American Fence Contractors Inc.

554 N.W. Marion Ave • Port St. Lucie, FL 34983  
(407) 335-0928 / 878-1650

LICENSES  
St. Lucie County #2151  
Indian River County #1060  
Martin County #00872  
State of Florida #RX0054663

Date 2-2-90

Name <u>MORMAN</u>		Job Name	
Address <u>132 S. RIVER Rd.</u>		Job Address <u>X ST. Kingston CT</u>	
City <u>SEWALL'S POINT, FL.</u>			
Phones <u>287-6517</u>		Job Phone	Installation Date Week of: <u>2-12-90</u>

### LEGAL DESCRIPTION

Lot <u>6</u>	Block	Section	Plat	Subdivision <u>KINGSTON</u>
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### SPECIFICATIONS

Top Rail-Straight  Follow Contour  Split  Knuckle Up  Barb Up  Lines Clear of Obstruction

### CHAIN LINK

Total Footage \_\_\_\_\_  
 Height \_\_\_\_\_  
 Gauge Wire \_\_\_\_\_  
 Dia. Top Rail \_\_\_\_\_  
 Dia. Line Post \_\_\_\_\_  
 Dia. Terminal Post \_\_\_\_\_  
 Dia. Gate Post \_\_\_\_\_  
 Gates \_\_\_\_\_  
 Sizes \_\_\_\_\_  
 Tension Wire \_\_\_\_\_  
 Specialty Items \_\_\_\_\_

### WOOD

Style Shadow Box + Stockade  
 Height 6'  
 Stain \_\_\_\_\_  
 # Sections \_\_\_\_\_  In  Out

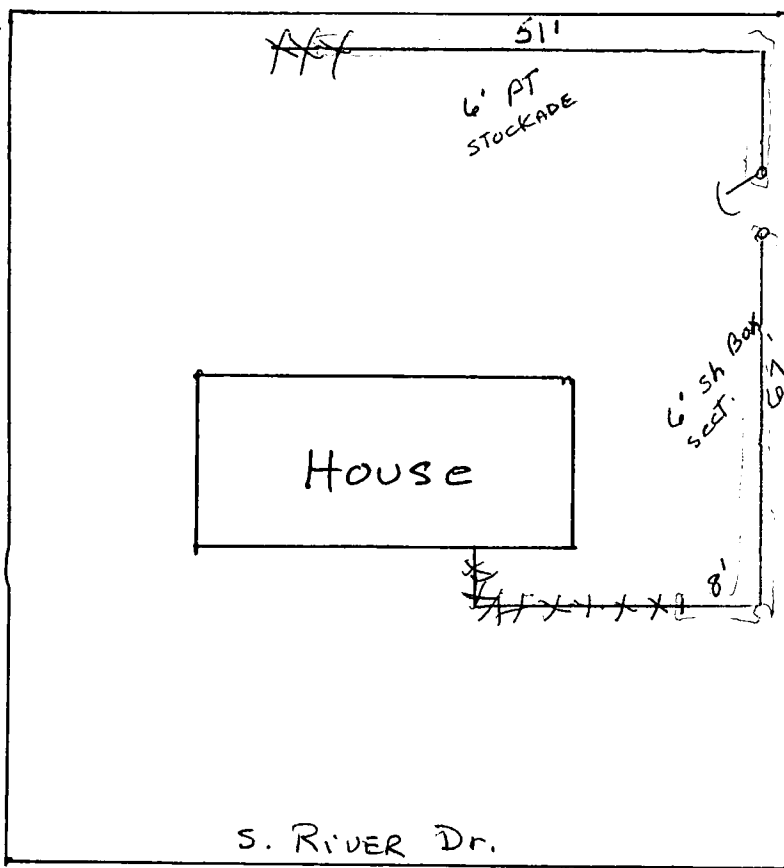


Diagram 1" = FRONT Ft.

Total Price \$ 999.00  
 Deposit \_\_\_\_\_  
 Balance Due on Completion \_\_\_\_\_  
 Authorized Signature \_\_\_\_\_

ACCEPTED: The above prices, specifications and conditions are satisfactory and are hereby accepted, you are authorized to do the work as specified. Payment will be made as outlined above.

Date \_\_\_\_\_  
 Signature \_\_\_\_\_

All material is guaranteed to be as specified. All work is to be completed in a workmanlike manner according to standard practice. Any alteration or deviation from specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry Fire, Tornado and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance.

THE FENCE REMAINS THE PROPERTY OF ALL AMERICAN FENCE CONTRACTORS INC. UNTIL CHARGES ARE COMPLETELY PAID.

ALL AMERICAN FENCE CONTRACTORS INC. IS NOT RESPONSIBLE FOR PROPERTY LINES OR UNDERGROUND UTILITIES, INCLUDING SPRINKLER SYSTEMS.

**3882**

**REROOF**

TAX FOLIO NO. \_\_\_\_\_

DATE 10-26-95

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

**3882**

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner CLAUDE "T" MOUREMAN Present address 132 S. RIVER Rd.

Phone 220-2845

Contractor CHRISTOPHER D. COLLINS Address 5412 BIRCH Dr.

Phone 407 489 6506

Where licensed MARTIN Cnty License number SP02196

Electrical Contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing Contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: SINGLE FAMILY HOME  
REAR WITH GALVALUME

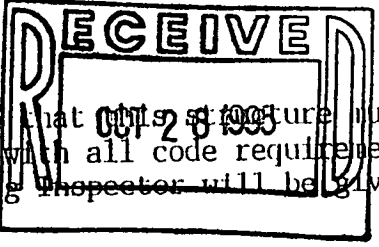
State the street address at which the proposed structure will be built:  
132 S. RIVER RD.

Subdivision SEWALL POINT Lot Number \_\_\_\_\_ Block Number \_\_\_\_\_

Contract price \$ 2475.00 Cost of permit \$ 100.00

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-tagging" the construction project.



Contractor Christopher D. Collins

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Claude T. Moureman

TOWN RECORD

Date submitted \_\_\_\_\_

Approved: Dale Brown 10/26/95  
Building Inspector Date

Approved: [Signature]  
Commissioner Date

Final approval given: \_\_\_\_\_ Date

CERTIFICATE OF OCCUPANCY issued (if applicable) \_\_\_\_\_ Date

PERMIT NO. \_\_\_\_\_



**5113**

**REPAIR SIDING**

MASTER PERMIT NO. N/A

# TOWN OF SEWALL'S POINT

# FILE

Date 10-19-00

BUILDING PERMIT NO. 5113

Building to be erected for JAMES JAMIESON

Type of Permit EXT. WALL REP. (PTL)

Applied for by COMMERCIAL CONST. DIV.

(Contractor)

Building Fee \$30.00

Subdivision KINGSTON CT Lot 6 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 132 S. RIVER RD.

Impact Fee \_\_\_\_\_

Type of structure SPR.

A/C Fee \_\_\_\_\_

"AFTER FACT" PERMIT  
DOUBLE FEE

Electrical Fee \_\_\_\_\_

Parcel Control Number:  
13-38-41-010-000-00060-2

Plumbing Fee \_\_\_\_\_

Amount Paid \$60.00 Check # 17999 Cash \_\_\_\_\_

Other Fees (PENALTY) 30.00

Total Construction Cost \$ 1,980.

TOTAL Fees \$60.00

Signed Max Jamieson

Signed [Signature]

Applicant

Town Building Inspector

## BUILDING PERMIT

FORM BOARD SURVEY	DATE _____	SHEATHING	DATE _____
COMPACTION TESTS	DATE _____	FRAMING	DATE _____
GROUND ROUGH	DATE _____	INSULATION	DATE _____
SOIL POISONING	DATE _____	ROOF DRY-IN	DATE _____
FOOTINGS / PIERS	DATE _____	ROOF FINAL	DATE _____
SLAB ON GRADE	DATE _____	METER FINAL	DATE _____
TIE-BEAMS & COLUMNS	DATE _____	AS BUILT SURVEY	DATE _____
STRAPS AND ANCHORS	DATE _____	STORM PANELS	DATE _____
DRIVEWAY	DATE _____	LANDCAPE & GRADE	DATE _____
AS-BUILT SURVEY	DATE _____	FINAL INSPECTION	DATE <u>4/20/01</u>

FLOOD ZONE \_\_\_\_\_

LOWEST HABITABLE FLOOR ELEV. \_\_\_\_\_

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

### WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

- New Construction
- Remodel
- Addition
- Demolition

This permit must be visible from the street, accessible to the inspector.  
**FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,  
 NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.  
 DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**



**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

Bldg. Permit Number: \_\_\_\_\_

Owner or Titleholder's Name JAMES JAMIESON Phone No. ( ) 320 13 2000  
 Street: 132 S. RIVER RD City SEWALLS PT State: FL Zip 34996  
 Legal Description of Property: LOT 6 / KINGSTON COURT PLAT  
PB 8 / PG 82 Parcel Number: 13-38-41-010-000-00060.2  
 Location of Job Site: 132 S RIVER RD

TYPE OF WORK TO BE DONE: UNCOVER AREAS OF ROOF AWE TO DAMAGE BY LEAK - MAILE NECESSARY REPAIRS

CONTRACTOR/Company Name: COMMERCIAL CONSTRUCTION DIV Phone No. (81) 220-3488  
 Street: 1405 SE GOLDTREE DR - B City PORT ST LUCIE State: FL Zip 34952  
 State Registration: CBC052954 State License: CBC 052954

ARCHITECT: \_\_\_\_\_ Phone No. ( ) \_\_\_\_\_  
 Street: \_\_\_\_\_ City \_\_\_\_\_ State: \_\_\_\_\_ Zip \_\_\_\_\_

ENGINEER: \_\_\_\_\_ Phone No. ( ) \_\_\_\_\_  
 Street: \_\_\_\_\_ City \_\_\_\_\_ State: \_\_\_\_\_ Zip \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC:  
 Living Area: \_\_\_\_\_ Garage Area: \_\_\_\_\_ Carport: \_\_\_\_\_ Accessory Bldg: \_\_\_\_\_  
 Covered Patio: \_\_\_\_\_ Scr. Porch: \_\_\_\_\_ Wood Deck: \_\_\_\_\_  
 Type Sewage: \_\_\_\_\_ Septic Tank Permit # from Health Dept. \_\_\_\_\_  
 New Electrical Service Size: \_\_\_\_\_ AMPS

FLOOD HAZARD INFORMATION  
 Flood zone: \_\_\_\_\_ Minimum Base Flood Elevation (BFE): \_\_\_\_\_ NGVD  
 Proposed first habitable floor finished elevation: \_\_\_\_\_ NGVD (minimum 1 foot above BFE)

COSTS AND VALUES  
 Estimated cost of construction or Improvement: \$ 1980<sup>00</sup>  
 Estimated Fair Market Value (FMV) prior to improvement: \$ \_\_\_\_\_  
 If Improvement, is cost greater than 50% of Fair Market Value? YES \_\_\_ NO X  
 Method of determining Fair Market Value: \_\_\_\_\_

SUBCONTRACTOR INFORMATION: (Notification to this office of subcontractor change is mandatory.)  
 Electrical: MA State: \_\_\_\_\_ License # \_\_\_\_\_  
 Mechanical: MA State: \_\_\_\_\_ License # \_\_\_\_\_  
 Plumbing: MA State: \_\_\_\_\_ License # \_\_\_\_\_  
 Roofing: MA State: \_\_\_\_\_ License # \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE 'BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER or AGENT SIGNATURE (Required) \_\_\_\_\_ CONTRACTOR SIGNATURE (Required) \_\_\_\_\_  
 State of Florida, County of: ST LUCIE On this the 13<sup>th</sup> day of October, 2000, by ROBERT P. DEMOREST who is personally known to me or produced \_\_\_\_\_ as identification.  
 State of Florida, County of: ST LUCIE On this the 13<sup>th</sup> day of October, 2000, by ROBERT P. DEMOREST who is personally known to me or produced \_\_\_\_\_ as identification.

My Commission Expires: \_\_\_\_\_ My Commission Expires: \_\_\_\_\_  
 (Seal) (Seal)  
 NANCY B. AMERSON  
 MY COMMISSION # CC 822480  
 EXPIRES: November 11, 2001  
 Bonded Thru Notary Public Underwriters  
 Page 1 Form revised: 20 April 2000

**TREE REMOVAL (Attach sealed survey)**

Number of trees to be removed: \_\_\_\_\_ Number of trees to be retained: \_\_\_\_\_ Number of trees to be planted: \_\_\_\_\_ Number of Specimen trees removed: \_\_\_\_\_  
Fee: \$ \_\_\_\_\_ Authorized/Date: \_\_\_\_\_

**DEVELOPMENT ORDER # \_\_\_\_\_**

1. **ALL APPLICATIONS REQUIRE**
  - a. Property Appraisers Parcel Number.
  - b. Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
  - c. Contractors name, address, phone number & license numbers.
  - d. Name all sub-contractors (properly licensed).
  - e. Current Survey
2. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architects seal and the following items:
  - a. Floor Plan
  - b. Foundation Details
  - c. Elevation Views - Elevation Certificate due after slab inspection,
  - d. Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
  - e. Truss layout
  - f. Vertical Wall Sections (one detail for each wall that is different)
  - g. Fireplace drawing: If prefabricated submit manufacturers data

**ADDITIONAL Required Documents are:**

1. Use permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (State Road A-1-A East Ocean Boulevard only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
8. Replat required upon completion of slab or footing inspection And Prior to any further inspections.

**NOTICE:** In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official: \_\_\_\_\_ Date: \_\_\_\_\_

Approved by Town Engineer \_\_\_\_\_ Date: \_\_\_\_\_  
(If required)

**ACORD****CERTIFICATE OF LIABILITY INSURANCE**CSR AM  
COMC005

DATE (MM/DD/YY)

04/06/00

## PRODUCER

Huckleberry, Sibley & Harvey  
Insurance & Bonds, Inc.  
1901 Lee Road  
Winter Park FL 32789  
Phone: 407-647-1616

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION  
ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE  
HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR  
ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

## INSURERS AFFORDING COVERAGE

## INSURED

Commercial Construction  
Division, Inc.  
440 East Osecola St. Ste 2  
Stuart FL 34994

INSURER A: MICHIGAN MUTUAL - AMERISURE  
INSURER B: FCCI MUTUAL INSURANCE COMPANY  
INSURER C:  
INSURER D:  
INSURER E:

RECEIVED

APR 10 2000

## COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	CPP1319461	04/08/00	04/08/01	EACH OCCURRENCE \$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				FIRE DAMAGE (Any one fire) \$ 50,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
A	AUTOMOBILE LIABILITY	CA1319460	04/08/00	04/08/01	COMBINED SINGLE LIMIT (Ea accident) \$ 500,000
	<input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS				BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$
A	EXCESS LIABILITY	CU1319462	04/08/00	04/08/01	EACH OCCURRENCE \$ 2,000,000 AGGREGATE \$ 2,000,000 RETAINED \$ 10,000 \$ \$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	TBA	04/01/00	04/01/01	<input checked="" type="checkbox"/> WC STATU-TORY LIMITS <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ 100,000 E.L. DISEASE - EA EMPLOYEE \$ 100,000 E.L. DISEASE - POLICY LIMIT \$ 500,000
A	PROPERTY	CPP1319461	04/08/00	04/08/01	
A	INLAND MARINE	CPP1319461	04/08/00	04/08/01	

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

## CERTIFICATE HOLDER

N

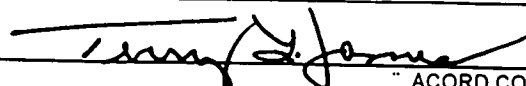
ADDITIONAL INSURED; INSURER LETTER: \_\_\_\_\_

## CANCELLATION

TOWNSEW

TOWN OF SEWALLS POINT  
1 SOUTH SEWALLS POINT ROAD  
STUART FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.



COPY

FILE

FILE  
*Hermit*  
*Refus*

RECEIVED  
OCT 17 2000  
BY: *G*

AC 5884918

STATE OF FLORIDA  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONST. INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
06/16/2000	99702251	CB - C052955

THE BUILDING CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489 - FS.  
Expiration date: AUG 31, 2002

DEMAREST, ROBERT PAUL  
COMMERCIAL CONST DIVISION INC  
92 S RIVER ROAD  
STUART FL 34996

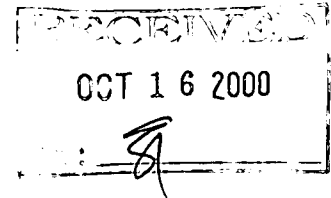
JEB BUSH  
GOVERNOR

DISPLAY AS REQUIRED BY LAW

CYNTHIA A. HENDERSON  
SECRETARY



Commercial • Residential • Renovations  
PO Box 2714 ♦ Stuart, FL 34995  
220.3488 / 283.2855 fax



October 16, 2000

Ed Arnold  
Town of Sewalls Point

Re: Jamieson Residence, 132 S. River Rd, Sewalls Point

Dear Ed:

Per your request, please allow this letter serve as a scope of work we are performing for the above referenced resident.

- Remove approximately 40' of siding to examine damage done to framing by leak
- Replace any rotted 2 x's with SP1 connector (as needed)
- Connectors for door / window opening shall be an HD5A
- Apply 30 lb. Felt under siding to be replaced
- Replace siding - 1/2" CDX plywood

If you have any questions or need any additional information, please feel free to contact me.

Sincerely,

Robert P. Demorest  
State License # CBC052954

PARTIAL  
REPAIR/REPLACEMENT ONLY.  
NO STRUCTURAL MODIFICATIONS.

10/16/00 TOWN OF SEWALLS POINT  
REVISION (AS NOTED)

**FILE** TOWN COPY  
132 S. RIVER RD.  
PN 5113

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri, 10-13, 2000; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5086	Carr	nail (STAIRS - CORR)	PASSED	
N ①	1 Palama Way conway	wood sheathing (WALLS & ROOF)	✓	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5019	Vasquez	slab	PASSED	REVO: FORM BOARD / COMP / SPK
S ③	82 S.S.P. Rd. Groza		(PTL.)	9:30 AM
		INTERIOR ONLY	✓	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5088	Stephens *	framing	PASSED	NOTE: ADD'L FASTENERS
S ⑤	2 Crane's Nest DAVE HUGEN CONST.	(SIDING / WINDOW REPL.)	(PTL.)	RE @ HEAD & SILL - ALL (PER PROD. APP.) REINSPECT @ FINAL
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5068	Winer	temp. el.	CANCEL	transformer is
X	19 Ridgeland FLL Electric		BY OWNER 10/13 - 8:15	at 23 Ridgeland
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N 4904	Miranda	rough all	PASSED	COMPLETES FRAMING
②	34 Castle Hill owner	gas line (REINSPECT)	✓	(REV. F.P. dur. req.)
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4803	Fuglia	preliminary	PERFORMED	- CHECKLIST TO CONTR -
S ⑦	101 #. Sewall Fuglia	walk-through (FOR FINAL)	✓	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5063	Robinson	slab	INCOMPLETE	last inspection,
S ⑧	173 S. River Morris / Draftwood		✓	if possible REINSPECT - 10/16 8:00 AM

OTHER: 1825 S. ... CONCRETE CONST. INC. ... OWNER COMPLIANT w/o PERMIT

(STRUCT. REPAIR/REPL. - FRAMEWORKS) OK TO CLOSE IN FOR WEATHER;  
PERMIT MONDAY A.M. (AFTER PAG); INSPECTION.

INSPECTOR (Name/Signature): \* EXTENSIVE INTERIOR WORK - K&B; T/O OWNER RE PERMIT REQ.



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  ~~Thu~~ 10/20, 2000; Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
<del>5113</del>	JAMIESON	<del>NO PROGRESS (CORONA)</del>	<del>PASSED</del>	PLATE HOOKS INSTALLED
<del>(E)</del>	<del>132 S. RIVINGTON RD.</del> COMM. CONST. DIV.	<del>" " " (3:00 PM)</del> (EXT. WALL REVIEWS)	<del>PASSED</del>	WALL STUDS REPLACED WORK WEATHER PROTECTED FOR W/E.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: \_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection  Mon  Wed  Fri  Sat  Sun, 2000; Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
5113	J. JAMESON	Work w/ Progett	PASSED	FIELD COPY OF PERMIT TO SITE
④	133 S. River Rd Commercial Const.	FINAL INSP. REQ.	⚡	- APPROVED TO COMPLETE STRUCTURING & DRY-UP.
5084	ELLIOT	ELECTRIC + PL	PASSED	EXCESSIVE TO FULL PERMIT (NO PER)
①	8 N.E. Lagoon Isle S. CARMEL		⚡	
4943	E. BOTWINIAK 201-2373 ✓	Concrete Pad.	PASSED	SEE INSP. LOG 10/20
③	27 EMERALD Way FST. Florida Dwell	(REINSPECTION) 9:40 AM. (BURY STREET)	⚡	REV. DRWG'S TO BE SUBMITTED W/ PAD & STOODY
T/R	CHARDAVOYNE	FIELD VERIFICATION	PASSED	
APPL.	22 FIELDWAY DR		⚡	
②	O/B			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: ⑤ STIMOR; INSP. POSSIBLE STRUCT. DAMAGE (MINOR STRUCTURE FIRE 10/21/00 0140)  
 ✓ VERIFIED NO APPARENT (POLICE INCIDENT/ACTIVITY RPT REC'D 10/22)  
 STRUCTURAL DAMAGE - NO PERMIT REQUIRED FOR REPAIRS (OWNER: JIM KURKO)

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri ~~Thu~~, 2001; Page 1 of 1.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5113	JAMIESON	EXT. WALL	Passed	
S ③	132 S. RIVER RD. Comm. CONST.	REPAIR - FINAL		INSPECTOR: J 4/20 ✓
✓ 4895	SEELY	FINAL - CO	Passed	Late AM 11:00
N ⑥	37 NE LOFTING GRIBBEN	OK ELEC. RELEASE		DOC'S REQUIRED TO CLOSE INSPECTOR: J 4/20 ✓
✓ T/R	AYRES	FIBER VERIFICATION	O.k. to	remove dead/dying trees (3 Palms)
S ⑤	155. RIVER RD. MONTE'S TREE SERVICE			INSPECTOR: ✓
5204	COOPER	TIE BEAM +	Passed	WILL BE POURING AT 11:30 A
B ①	33 W. HIGHPOINT B K MARINE	COLUMNS		INSPECTOR: J 4/20 ✓
✓ 5294	LEHMAN	ROUGH PLUMB.	Passed	
S ④	6 RIDGELAND HOWARD BROTH./GRIBBEN			INSPECTOR: J 4/20 ✓
✓ 5228	FOGLIA	TRUSS ENG.	Passed	
S ②	102 ABBIE CT.	+ STRAPPING		INSPECTOR: J 4/20 ✓
✓ 5262	Musso	Tie Beam	Passed	
S ⑦	18 S. River Rd. Harry Blue			INSPECTOR: J 4/20 ✓

OTHER: \_\_\_\_\_

**5330**

**STORM SHUTTER**

MASTER PERMIT NO. N/A

**TOWN OF SEWALL'S POINT**

Date 4/17/01 BUILDING PERMIT NO. 5330  
 Building to be erected for KAREN JANSEN Type of Permit STORM SHUTTER  
 Applied for by JOS. TOBIASZ PTG. INC. d/b/a BUDGET SHUTTER (Contractor) Building Fee \$46.69  
 Subdivision KINGSTON CT. Lot 6 Block \_\_\_\_\_ Radon Fee \_\_\_\_\_  
 Address 132 RIVER RD Impact Fee \_\_\_\_\_  
 Type of structure S.F.R. A/C Fee \_\_\_\_\_

Parcel Control Number: \_\_\_\_\_  
13-38-41-010-000-00060-20000  
 Amount Paid \$51.36 Check # 1395 Cash \_\_\_\_\_ Other Fees ( PLAN REV ) 4.67  
 Total Construction Cost \$ 4863.53 TOTAL Fees \$51.36

Signed Joseph A. Tobiasz Applicant Signed \_\_\_\_\_ Town Building Inspector OFFICIAL

**BUILDING PERMIT**

FORM BOARD SURVEY	DATE _____	SHEATHING	DATE _____
COMPACTION TESTS	DATE _____	FRAMING	DATE _____
GROUND ROUGH	DATE _____	INSULATION	DATE _____
SOIL POISONING	DATE _____	ROOF DRY-IN	DATE _____
FOOTINGS / PIERS	DATE _____	ROOF FINAL	DATE _____
SLAB ON GRADE	DATE _____	METER FINAL	DATE _____
TIE-BEAMS & COLUMNS	DATE _____	AS BUILT SURVEY	DATE _____
STRAPS AND ANCHORS	DATE _____	STORM PANELS	DATE _____
DRIVEWAY	DATE _____	LANDCAPE & GRADE	DATE _____
AS-BUILT SURVEY	DATE _____	FINAL INSPECTION	DATE <u>4/27/01</u>

FLOOD ZONE \_\_\_\_\_ LOWEST HABITABLE FLOOR ELEV. \_\_\_\_\_

**24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455**  
**WORK HOURS - 8:00 AM UNTIL 5:00 PM**  
**MONDAY THROUGH SATURDAY**

- New Construction    Remodel    Addition    Demolition

**This permit must be visible from the street, accessible to the inspector.**  
**FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,**  
**NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.**  
**DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**



**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

Bldg. Permit Number: \_\_\_\_\_

**RECEIVED**  
APR 16 2001

Owner or Titleholder's Name Mr. Mrs. Jansen Phone No. (561) 223-1752  
 Street: 132 River Rd. City: Sewall's Point State: FL Zip 34996  
 Legal Description of Property: Lot 6 Kingston Ct Plat Book & Page 82 Martin County  
 Parcel Number: \_\_\_\_\_

Location of Job Site: 132 River Rd. Sewall's Point  
 TYPE OF WORK TO BE DONE: Hurricane Shutters

CONTRACTOR/Company Name: Budget Shutter Phone No. (561) 223-5578  
 Street: 1504 NE Jensen Beach Blvd. City Jensen Beach State: FL Zip 34957  
 State Registration: SPO3017 State License: SPO3017

ARCHITECT: Town & Country Industries Phone No. (800) 432-5019  
 Street: 400 W McNab Road City Ft. Lauderdale State: FL Zip 33309

ENGINEER: Walter Karpovich Phone No. (561) 743-7400  
 Street: 11406 N 172 Pl. J City Jupiter State: FL Zip 33478

AREA SQUARE FOOTAGE - SEWER - ELECTRIC:  
 Living Area: 3200 Garage Area: 400 Carport: \_\_\_\_\_ Accessory Bldg: \_\_\_\_\_  
 Covered Patio: \_\_\_\_\_ Scr. Porch: \_\_\_\_\_ Wood Deck: \_\_\_\_\_  
 Type Sewage: \_\_\_\_\_ Septic Tank Permit # from Health Dept. \_\_\_\_\_  
 New Electrical Service Size: \_\_\_\_\_ AMPS

FLOOD HAZARD INFORMATION  
 Flood zone: \_\_\_\_\_ Minimum Base Flood Elevation (BFE): \_\_\_\_\_ NGVD  
 Proposed first habitable floor finished elevation: \_\_\_\_\_ NGVD (minimum 1 foot above BFE)

COSTS AND VALUES  
 Estimated cost of construction or Improvement: \$ 4863.53  
 Estimated Fair Market Value (FMV) prior to improvement: \$ \_\_\_\_\_  
 If Improvement, is cost greater than 50% of Fair Market Value? YES \_\_\_\_\_ NO   
 Method of determining Fair Market Value: \_\_\_\_\_

SUBCONTRACTOR INFORMATION: (Notification to this office of subcontractor change is mandatory.)  
 Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_  
 Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_  
 Plumbing: NO State: \_\_\_\_\_ License # \_\_\_\_\_  
 Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER or AGENT SIGNATURE (Required)  
[Signature]  
 Owner  
 State of Florida, County of: Martin On this the 16th day of April, 2000, by Karen M. Janson who is personally known to me or produced 525-513-66-682-0 as identification.

CONTRACTOR SIGNATURE (Required)  
[Signature] President  
 Contractor  
 State of Florida, County of: Martin On this the 16th day of April, 2000, by Joseph A. Tobiasz who is personally known to me or produced PDL T20-481-68-161-0 as identification.

Notary Public  
 My Commission Expires: Apr 12, 2002  
 Notary Public - State of Florida  
 My Commission Expires Apr 12, 2002  
 Commission # CC732553 (Seal)

Notary Public  
 My Commission Expires: Apr 12, 2002  
 Notary Public - State of Florida  
 My Commission Expires Apr 12, 2002  
 Commission # CC732553 (Seal)

**TREE REMOVAL (Attach sealed survey)**

Number of trees to be removed: \_\_\_\_\_ Number of trees to be retained: \_\_\_\_\_ Number of trees to be planted: \_\_\_\_\_ Number of Specimen trees removed: \_\_\_\_\_  
Fee: \$ \_\_\_\_\_ Authorized/Date: \_\_\_\_\_

**DEVELOPMENT ORDER # \_\_\_\_\_**

1. **ALL APPLICATIONS REQUIRE**
  - a. Property Appraisers Parcel Number.
  - b. Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
  - c. Contractors name, address, phone number & license numbers.
  - d. Name all sub-contractors (properly licensed).
  - e. Current Survey
2. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
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  - d. Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
  - e. Truss layout
  - f. Vertical Wall Sections (one detail for each wall that is different)
  - g. Fireplace drawing: If prefabricated submit manufacturers data

**ADDITIONAL Required Documents are:**

1. Use permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (State Road A-1-A East Ocean Boulevard only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
8. Replat required upon completion of slab or footing inspection And Prior to any further inspections.

**NOTICE:** In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official: \_\_\_\_\_ Date: \_\_\_\_\_

Approved by Town Engineer \_\_\_\_\_ Date: \_\_\_\_\_  
(If required)

**ACORD**

# CERTIFICATE OF LIABILITY INSURANCE

OP ID LJ  
JOSEP-3

DATE (MM/DD/YY)  
04/12/01

PRODUCER  
**United Association Services**  
 116 South Monroe St  
 Tallahassee FL 32301  
 Phone: 850-577-3030 Fax: 850-577-3045

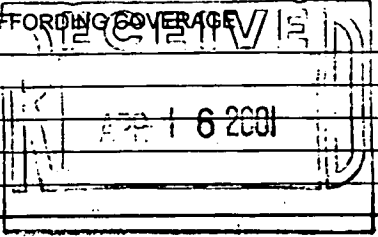
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INSURERS AFFORDING COVERAGE

INSURED  
**Joseph A. Tobiasz Painting**  
 Mr. Joseph A. Tobiasz  
 1504 NE Jensen Beach Blvd.  
 Jensen Beach FL 34957

INSURER A:  
 INSURER B:  
 INSURER C:  
 INSURER D:  
 INSURER E:

*PERMIT*



### COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
	GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				EACH OCCURRENCE \$ FIRE DAMAGE (Any one fire) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
	EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
<b>A</b>	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	<b>106-30112-01</b>	<b>04/01/01</b>	<b>04/01/02</b>	<input checked="" type="checkbox"/> WC STATU-TORY LIMITS <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ <b>100000</b> E.L. DISEASE - EA EMPLOYEE \$ <b>100000</b> E.L. DISEASE - POLICY LIMIT \$ <b>500000</b>
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

CERTIFICATE HOLDER **N** ADDITIONAL INSURED; INSURER LETTER: \_\_\_\_\_ CANCELLATION

**Town of Sewalls Points**  
 ATTN: Ed in Building  
 1 S. Sewalls Point Road  
 Sewalls FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

*Jim Power*  
**Jim Power & Associates**



# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE  
02/07/01

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

A Insurance  
P.O. Box 857217  
10778 S. Federal Hwy.  
Port St. Lucie FL 34885

INSURED  
JOSEPH A. TOBIASZ PAINTING INC  
1011 E. 9TH STREET  
STUART FL 34996-4101

### INSURERS AFFORDING COVERAGE

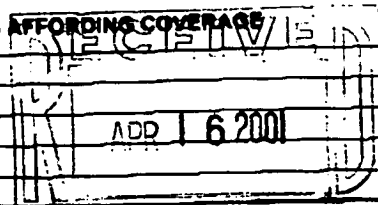
INSURER: ZURICH

INSURER B:

INSURER C:

INSURER D: FCBI

INSURER E:



### COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN BELOW HAVE BEEN REDUCED BY PAID CLAIMS.

INSTR. LTR.	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YYYY)	POLICY EXPIRATION DATE (MM/DD/YYYY)	LIMITS	
A	GENERAL LIABILITY	CF 0087877	03/15/2001	03/15/2002	EACH OCCURRENCE	\$300,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				PERI. DAMAGE (Any one fire)	\$300,000
	<input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR				MED EXP (Any one person)	\$10,000
					PERSONAL & ADV INJURY	\$300,000
					GENERAL AGGREGATE	\$600,000
					PRODUCTS - COMPROP AGG	\$600,000
GEN'L. AGGREGATE LIMIT APPLIES PER:						
<input type="checkbox"/> POLICY <input type="checkbox"/> PRO. <input type="checkbox"/> LOC.						
AUTOMOBILE LIABILITY					COMBINED SINGLE LIMIT (Ea accident)	\$
<input type="checkbox"/> ANY AUTO					BODILY INJURY (Per person)	\$
<input type="checkbox"/> ALL OWNED AUTOS					BODILY INJURY (Per accident)	\$
<input type="checkbox"/> SCHEDULED AUTOS					PROPERTY DAMAGE (Per accident)	\$
<input type="checkbox"/> HIRED AUTOS						
<input type="checkbox"/> NON-OWNED AUTOS						
GARAGE LIABILITY					AUTO ONLY - EA ACCIDENT	\$
<input type="checkbox"/> ANY AUTO					OTHER THAN EA ACC	\$
					AUTO ONLY: AGG	\$
EXCESS LIABILITY					EACH OCCURRENCE	\$
<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE					AGGREGATE	\$
<input type="checkbox"/> DEDUCTIBLE						\$
<input type="checkbox"/> RETENTION \$						\$
D	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	100001299	04/01/2000	04/01/2001	WC STATUTORY LIMIT	OTH. ER
					E.L. EACH ACCIDENT	\$100,000
					E.L. DISEASE - EA EMPLOYEE	\$100,000
					E.L. DISEASE - POLICY LIMIT	\$500,000
OTHER						

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS  
 STATE OF FLORIDA  
 30 DAYS WRITTEN NOTICE REQUIRED ON WORK'S COMP

CERTIFICATE HOLDER	ADDRESS	INSURED; INSURER LETTER:	CANCELLATION
TOWN OF SEWALLS POINT 1 SOUTH SEWALLS POINT ROAD ATTN: ED @ 220-4765 STUART, FL 34996	<i>in Building Dept</i>		SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE JIM POWER <i>Jim Power</i>



MARTIN COUNTY, FLORIDA

Construction Industry Lic Bd

Certificate of Competency

License: SP03017

Expires September 30, 2001

Name: JOSEPH A TOBIASZ

Company:

Address: 1011 E 9th St

City, ST: Stuart FL 34996

License Type: HURRICANE SHUTTER

02-23-2000

STATE OF FLORIDA  
DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY  
DIVISION OF WORKERS' COMPENSATION

CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION  
FROM FLORIDA WORKERS' COMPENSATION LAW

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation Law.

EFFECTIVE DATE 12/31/1999  
EXPIRATION DATE 12/30/2001  
EXEMPTED INDIVIDUAL NAME TOBIASZ JOSEPH A  
S.S. 592-18-7491  
BUSINESS NAME TOBIASZ JOSEPH A PAINTING INC  
FEIN 650960863  
BUSINESS ADDRESS 1504 N E JENSEN BCH BLVD  
JENSEN BCH FL 34957

NOTE: Pursuant to Chapter 440.10(1),(g),2 F.S., a sole proprietor, partner, or an officer of a corporation who elects exemption from the Florida Workers' Compensation Law may not recover benefits or compensation under Chapter 440.

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # \_\_\_\_\_

TAX FOLIO # 13-38-41-010-000-006-02

**NOTICE OF COMMENCEMENT**

STATE OF FL

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

DITD

GENERAL DESCRIPTION OF IMPROVEMENT: INSTALL Hurricane Shutters

OWNER: Mr. & Mrs. Janson

ADDRESS: 132 River Rd.

PHONE #: 223-1752 FAX #: \_\_\_\_\_

CONTRACTOR: Budget Shutter

ADDRESS: 1504 NE Jensen Beach Blvd, Jensen Beach, FL

PHONE #: 561-223-5578 FAX #: 561 223 5578

SURETY COMPANY (IF ANY): N/A

ADDRESS: \_\_\_\_\_ STATE OF FLORIDA  
MARTIN COUNTY

PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

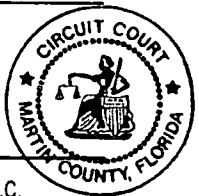
BOND AMOUNT: \_\_\_\_\_

LENDER: N/A

ADDRESS: \_\_\_\_\_

PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.  
MARSH EWING, CLERK



BY: [Signature] D.C.  
DATE: 4-16-01

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: N/A

ADDRESS: \_\_\_\_\_

PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES N/A OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

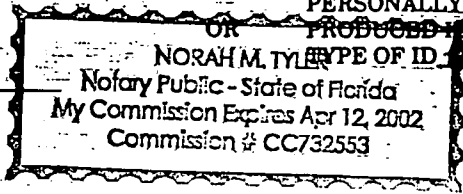
PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_  
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

[Signature]  
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 16 DAY OF April 19 2001 BY Karen M. Janson

[Signature]  
NOTARY SIGNATURE



PERSONALLY KNOWN \_\_\_\_\_  
OR PRODUCED BY \_\_\_\_\_  
TYPE OF ID: DL J525-513-66-682-0

BUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

CONTRACTOR LICENSING SECTION  
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT DIVISION  
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION  
(305) 375-2902 FAX (305) 372-6339

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

Town & Country Industries, Inc.  
400 West Mc Nab Road  
Fort Lauderdale, FL 33309

Your application for Notice of Acceptance (NOA) of:  
**0.050" Aluminum Storm Panel Shutter**

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

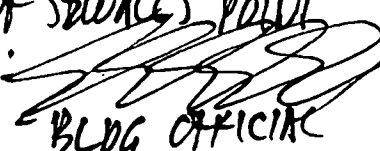
ACCEPTANCE NO.: 00-0809.03  
EXPIRES: 11/16/2005



Raul Rodriguez  
Chief Product Control Division

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.

4/17/01 TOWN OF SEWELL'S POINT  
REVIEW:   
BLDG OFFICIAL



Francisco J. Quintana, R.A.  
Director  
Miami-Dade County  
Building Code Compliance Office

APPROVED: 11/16/2000

FILE TOWN COPY  
132 S. RIVER RD

PN 5330

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

**1. SCOPE**

This approves an 0.050" aluminum storm panel shutter, as described in Section 2 of this Notice of Acceptance, designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County, for the locations where the pressure requirements, as determined by SFBC Chapter 23, do not exceed the Design Pressure Rating values indicated in the approved drawings.

**2. PRODUCT DESCRIPTION**

This 0.050" aluminum storm panel shutter and its components shall be constructed in strict compliance with the following documents: Drawing No. 00-159, titled "0.050" Aluminum Storm Panel", prepared by Knezevich & Associates, Inc., dated August 1, 2000, last revision #1 dated October 26, 2000, sheets 1 through 6 of 6, bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division. These documents shall hereinafter be referred to as the approved drawings.

**3. LIMITATIONS**

All permanent set components, included but not limited to embedded anchor bolts, threaded cones, metal shields, headers and sills, must be protected against corrosion, contamination and damage at all times.

**4. INSTALLATION**

This 0.050" aluminum storm panel shutter and its components shall be installed in strict compliance with the approved drawings.

**5. LABELING**

Each panel shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved".

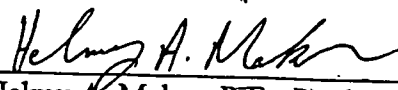
**6. BUILDING PERMIT REQUIREMENTS**

6.1 Application for building permit shall be accompanied by copies of the following:

6.1.1 This Notice of Acceptance.

6.1.2 Duplicate copies of the approved drawings, as identified in Section 2 of this Notice of Acceptance, clearly marked to show the components selected for the proposed installation.

6.1.3 Any other documents required by the Building Official or the South Florida Building Code (SFBC) in order to properly evaluate the installation of this system.

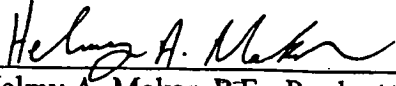


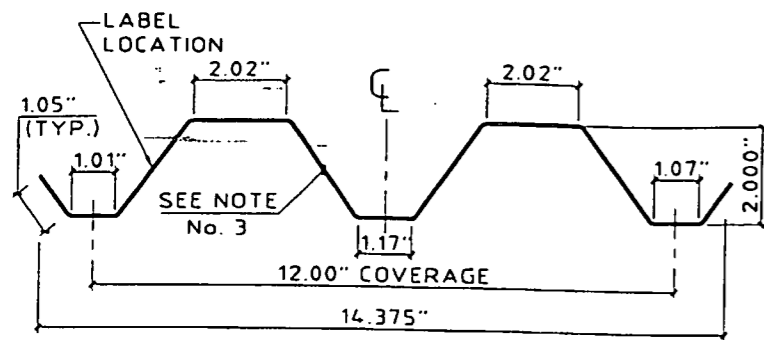
Helmy A. Makar, P.E. - Product Control Examiner  
Product Control Division

**NOTICE OF ACCEPTANCE: STANDARD CONDITIONS**

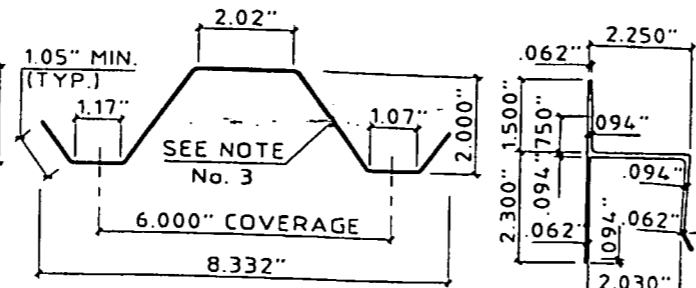
1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documents, including test-supporting data, engineering documents, are no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
  - a. There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes.
  - b. The product is no longer the same product (identical) as the one originally approved.
  - c. If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product.
  - d. The engineer, who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
  - a. Unsatisfactory performance of this product or process.
  - b. Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.
6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all times. The engineer needs not reseal the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Notice of Acceptance consists of pages 1, 2 and this last page 3.

**END OF THIS ACCEPTANCE**

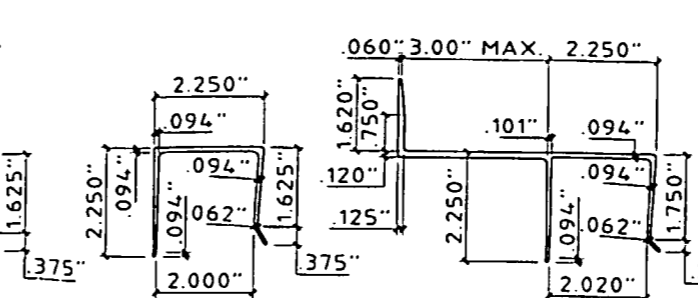
  
\_\_\_\_\_  
Helmy A. Makar, P.E. - Product Control Examiner  
Product Control Division



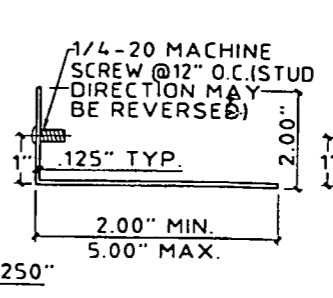
1 STORM PANEL  
SCALE: 3" = 1'-0"



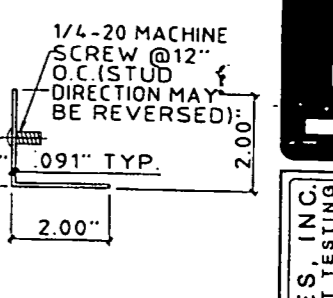
1a HALF STORM PANEL  
SCALE: 3" = 1'-0"



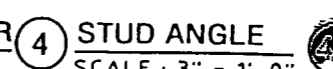
2 HEADER  
SCALE: 3" = 1'-0"



3 "U" HEADER  
SCALE: 3" = 1'-0"



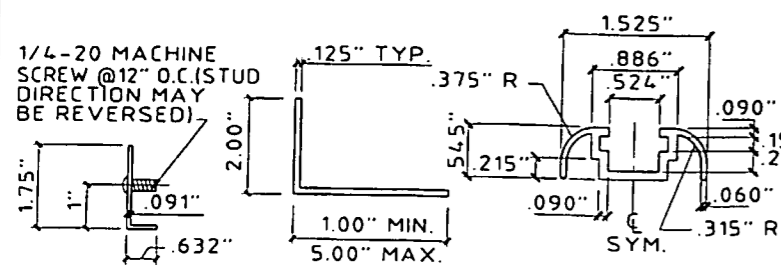
3a BUILD-OUT "U" HEADER  
SCALE: 3" = 1'-0"



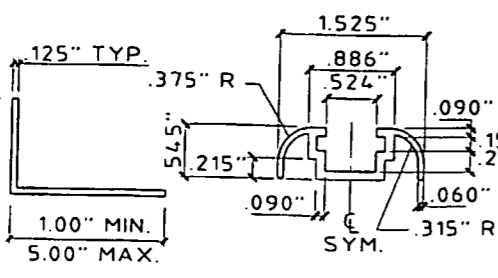
4 STUD ANGLE  
SCALE: 3" = 1'-0"



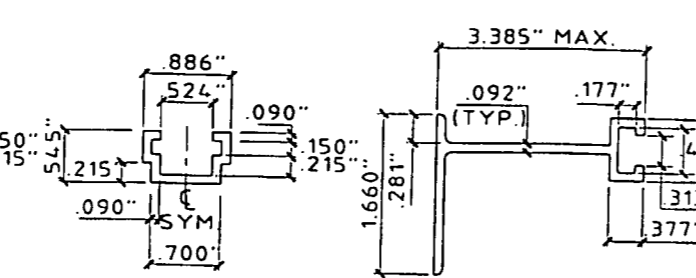
4a STUD ANGLE  
SCALE: 3" = 1'-0"



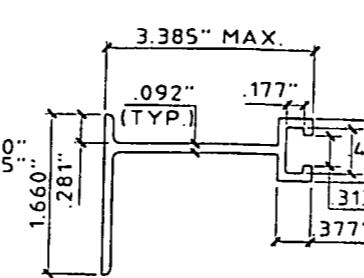
4b STUD ANGLE  
SCALE: 3" = 1'-0"



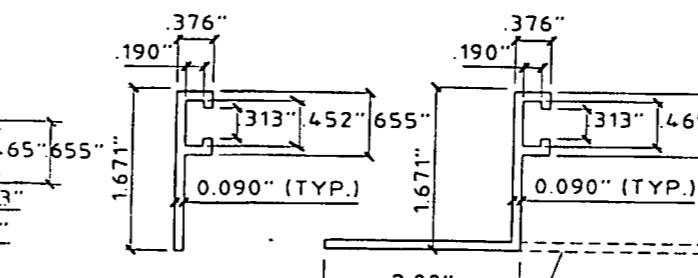
5 ANGLE  
SCALE: 3" = 1'-0"



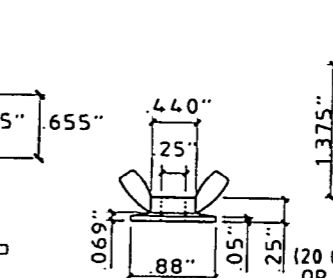
6 C-TRACK (FINISH)  
SCALE: HALF SIZE



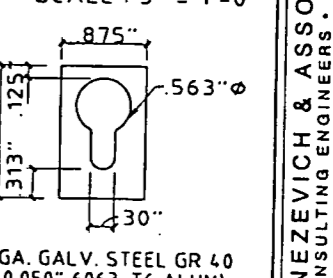
6a C-TRACK  
SCALE: HALF SIZE



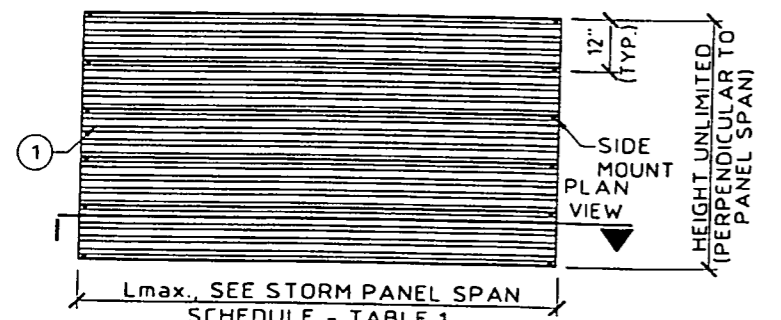
7 BUILD-OUT F-TRACK  
SCALE: HALF SIZE



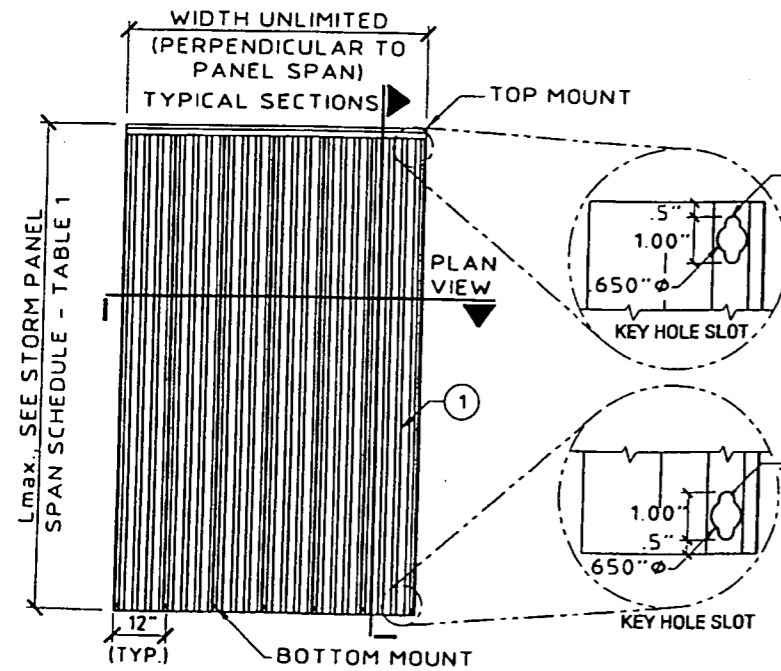
7a "F" ANGLE - TRACK  
SCALE: HALF SIZE



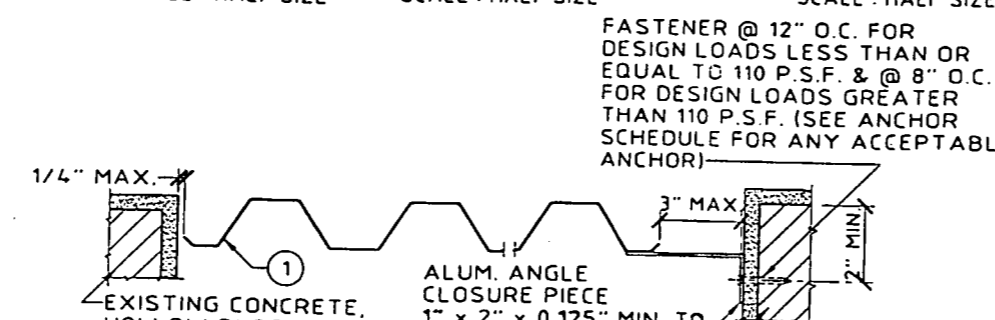
8 WING NUT  
SCALE: HALF SIZE



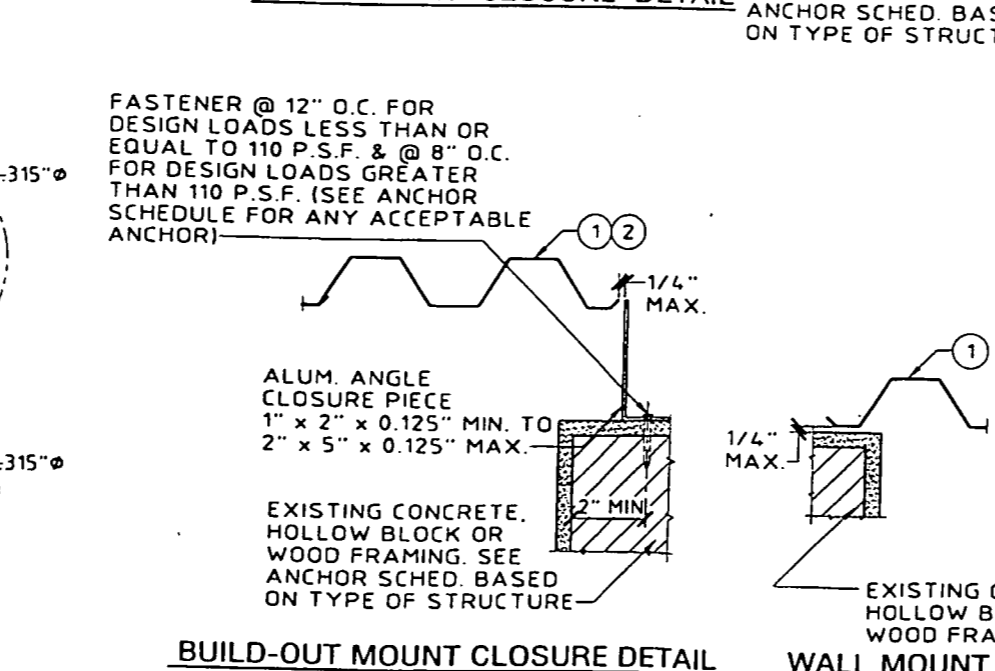
8a KEYHOLE WASHER  
SCALE: HALF SIZE



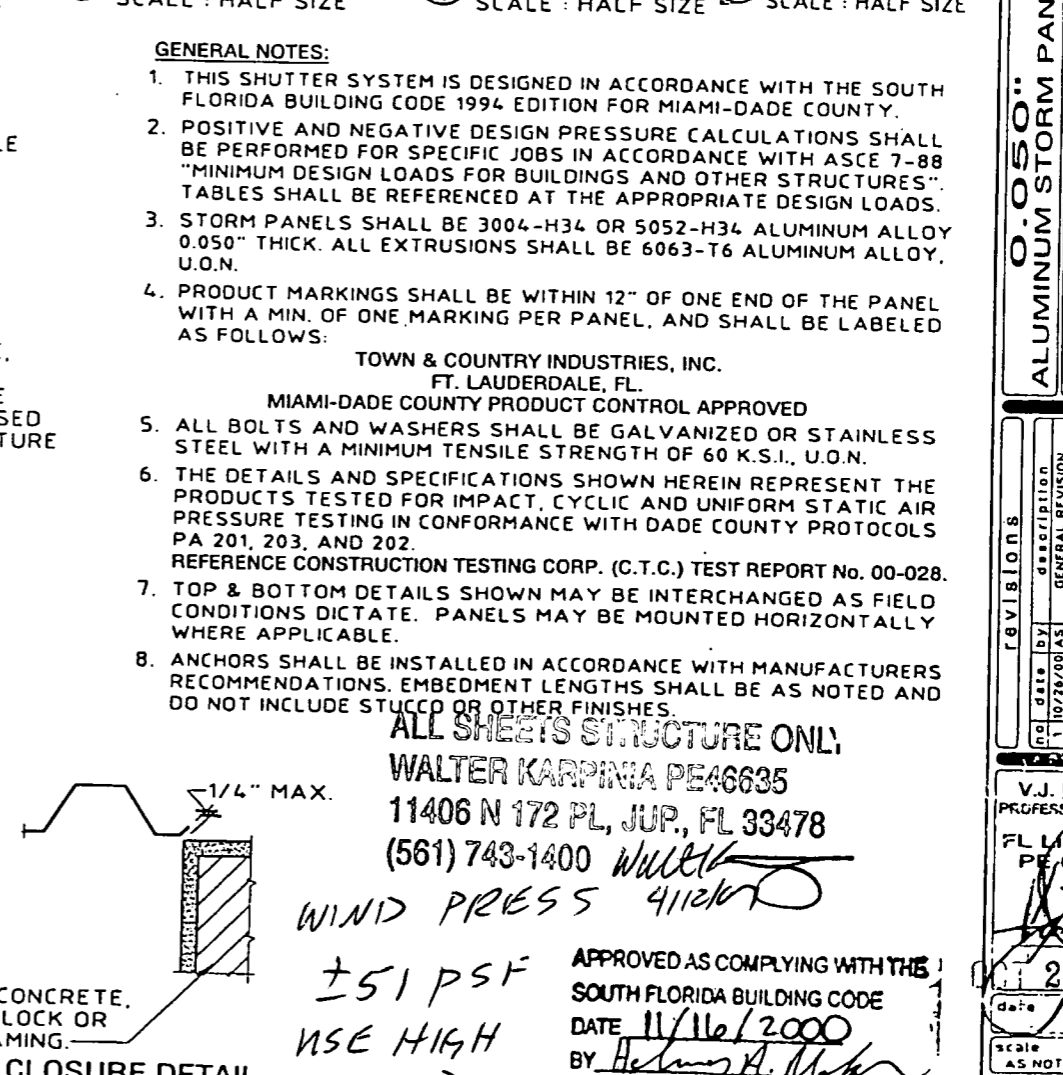
TYPICAL HORIZONTAL ELEVATION  
SCALE: 1/4" = 1' - 0"



TRAP MOUNT CLOSURE DETAIL



BUILD-OUT MOUNT CLOSURE DETAIL



WALL MOUNT CLOSURE DETAIL

FASTENER @ 12" O.C. FOR DESIGN LOADS LESS THAN OR EQUAL TO 110 P.S.F. & @ 8" O.C. FOR DESIGN LOADS GREATER THAN 110 P.S.F. (SEE ANCHOR SCHEDULE FOR ANY ACCEPTABLE ANCHOR)

ALUM. ANGLE CLOSURE PIECE 1" x 2" x 0.125" MIN. TO 2" x 5" x 0.125" MAX.

FASTENER @ 12" O.C. FOR DESIGN LOADS LESS THAN OR EQUAL TO 110 P.S.F. & @ 8" O.C. FOR DESIGN LOADS GREATER THAN 110 P.S.F. (SEE ANCHOR SCHEDULE FOR ANY ACCEPTABLE ANCHOR)

ALUM. ANGLE CLOSURE PIECE 1" x 2" x 0.125" MIN. TO 2" x 5" x 0.125" MAX.

EXISTING CONCRETE, HOLLOW BLOCK OR WOOD FRAMING. SEE ANCHOR SCHED. BASED ON TYPE OF STRUCTURE

- GENERAL NOTES:**
- THIS SHUTTER SYSTEM IS DESIGNED IN ACCORDANCE WITH THE SOUTH FLORIDA BUILDING CODE 1994 EDITION FOR MIAMI-DADE COUNTY.
  - POSITIVE AND NEGATIVE DESIGN PRESSURE CALCULATIONS SHALL BE PERFORMED FOR SPECIFIC JOBS IN ACCORDANCE WITH ASCE 7-88 "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES". TABLES SHALL BE REFERENCED AT THE APPROPRIATE DESIGN LOADS.
  - STORM PANELS SHALL BE 3004-H34 OR 5052-H34 ALUMINUM ALLOY 0.050" THICK. ALL EXTRUSIONS SHALL BE 6063-T6 ALUMINUM ALLOY, U.O.N.
  - PRODUCT MARKINGS SHALL BE WITHIN 12" OF ONE END OF THE PANEL WITH A MIN. OF ONE MARKING PER PANEL, AND SHALL BE LABELED AS FOLLOWS:

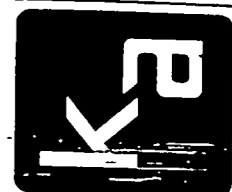
TOWN & COUNTRY INDUSTRIES, INC.  
FT. LAUDERDALE, FL.  
MIAMI-DADE COUNTY PRODUCT CONTROL APPROVED

- ALL BOLTS AND WASHERS SHALL BE GALVANIZED OR STAINLESS STEEL WITH A MINIMUM TENSILE STRENGTH OF 60 K.S.I., U.O.N.
- THE DETAILS AND SPECIFICATIONS SHOWN HEREIN REPRESENT THE PRODUCTS TESTED FOR IMPACT, CYCLIC AND UNIFORM STATIC AIR PRESSURE TESTING IN CONFORMANCE WITH DADE COUNTY PROTOCOLS PA 201, 203, AND 202. REFERENCE CONSTRUCTION TESTING CORP. (C.T.C.) TEST REPORT No. 00-028.
- TOP & BOTTOM DETAILS SHOWN MAY BE INTERCHANGED AS FIELD CONDITIONS DICTATE. PANELS MAY BE MOUNTED HORIZONTALLY WHERE APPLICABLE.
- ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. EMBEDMENT LENGTHS SHALL BE AS NOTED AND DO NOT INCLUDE STUCCO OR OTHER FINISHES.

ALL SHEETS STRUCTURE ONLY.  
WALTER KARPINIA PE#6635  
11406 N 172 PL, JUP, FL 33478  
(561) 743-1400

WIND PRESS 41126  
±51 PSF  
USE HIGH LIGHTED SPEC AS APPLICABLE

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE  
DATE 11/16/2000  
BY *Walter Karpinia*  
PRODUCT CONTROL DIVISION  
BUILDING CODE COMPLIANCE OFFICE  
ACCEPTANCE NO. 00-0809.03



**KNEZEVICH & ASSOCIATES, INC.**  
CONSULTING ENGINEERS • PRODUCT TESTING  
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**0.050" ALUMINUM STORM PANEL**  
*Town & Country Industries, Inc.*  
400 WEST McNAB ROAD • (800) 432-5019  
FT. LAUDERDALE, FL 33309

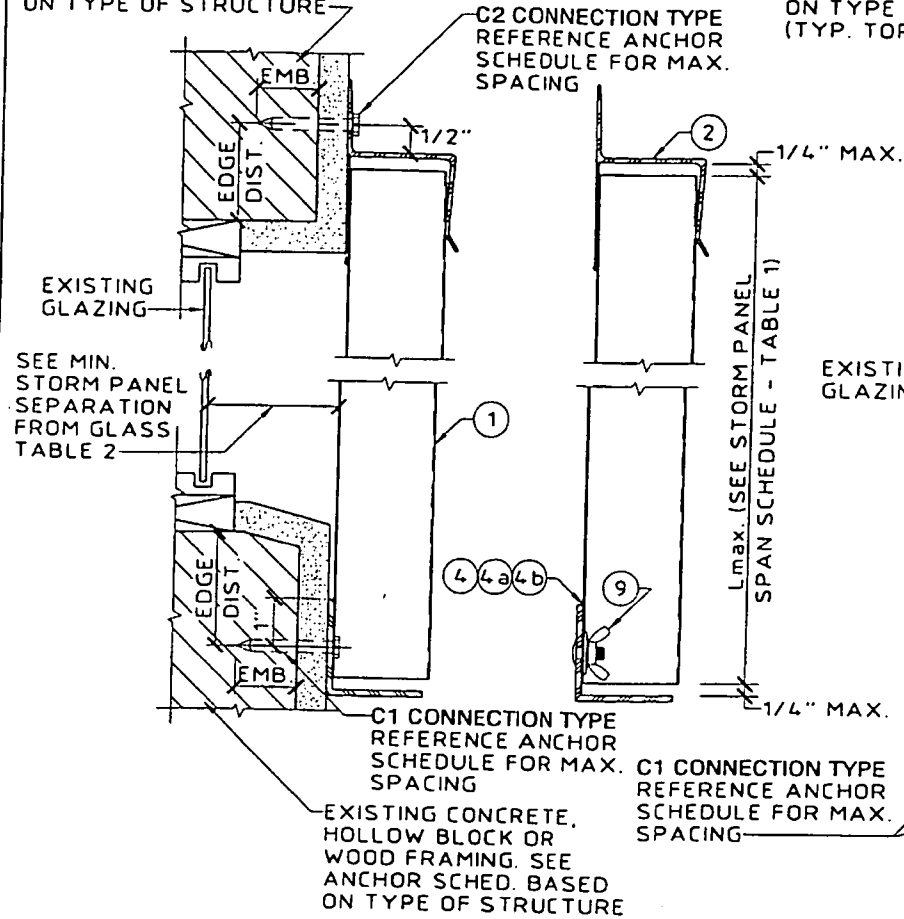
NO.	DATE	BY	DESCRIPTION
1	10/26/00	AS	GENERAL REVISION

V.J. KNEZEVICH  
PROFESSIONAL ENGINEER  
FL License No: PE 0070983  
DATE 11/16/2000  
SCALE AS NOTED  
DRAWN BY AV  
DESIGN BY VJK  
CHECKED BY VJK  
DRAWING NO. 00-159  
SHEET 1 OF 6



EXISTING CONCRETE, HOLLOW BLOCK OR WOOD FRAMING. SEE ANCHOR SCHED. BASED ON TYPE OF STRUCTURE

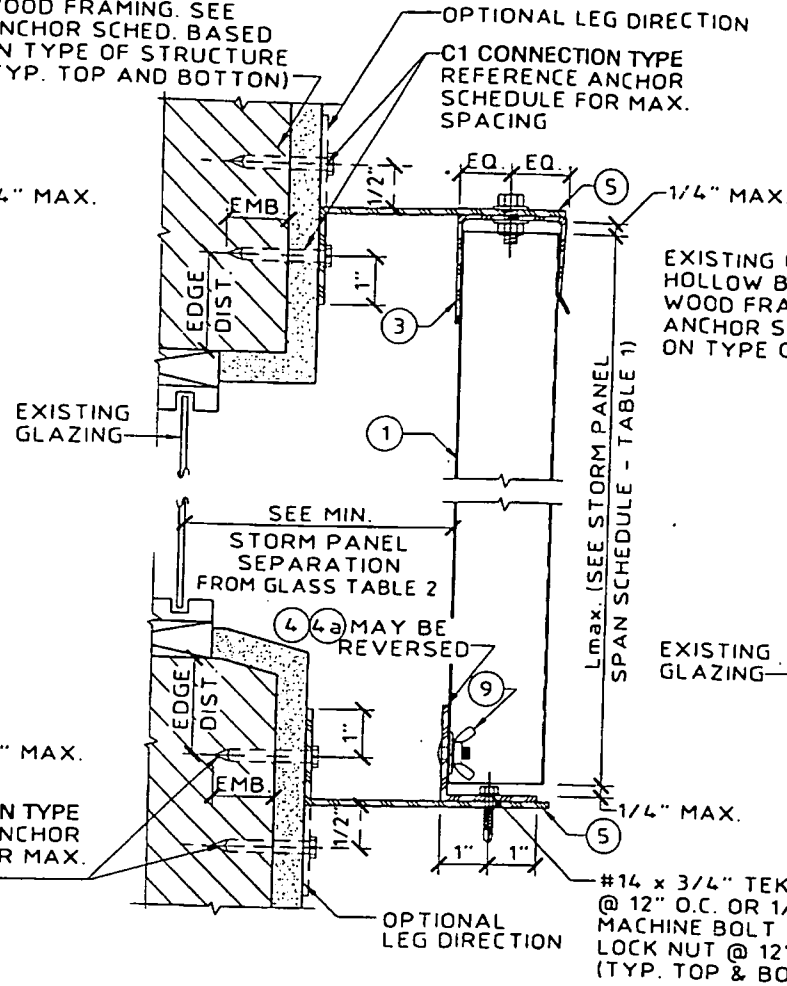
C2 CONNECTION TYPE REFERENCE ANCHOR SCHEDULE FOR MAX. SPACING



**A WALL MOUNT SECTION**  
SCALE: 3" = 1' - 0"

EXISTING CONCRETE, HOLLOW BLOCK OR WOOD FRAMING. SEE ANCHOR SCHED. BASED ON TYPE OF STRUCTURE (TYP. TOP AND BOTTOM)

C1 CONNECTION TYPE REFERENCE ANCHOR SCHEDULE FOR MAX. SPACING



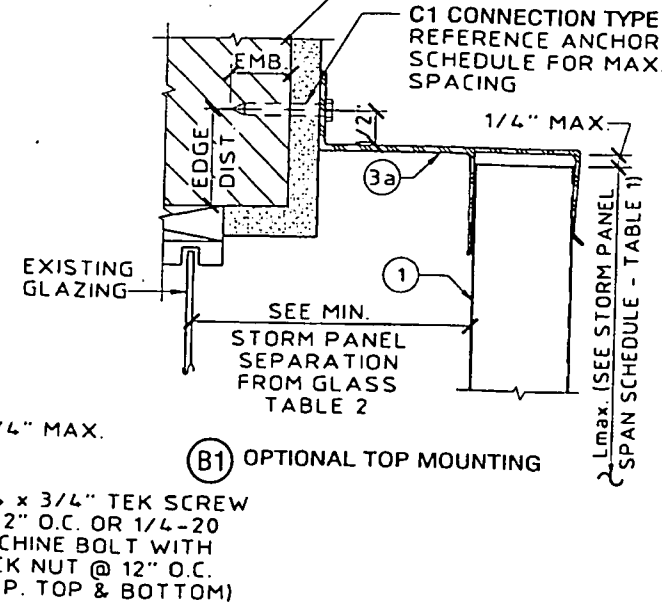
**B BUILD-OUT MOUNT SECTION**  
SCALE: 3" = 1' - 0"

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DATE 11/16/2000  
BY *Helmut A. Meker*  
PRODUCT CONTROL DIVISION  
BUILDING CODE COMPLIANCE OFFICE  
ACCEPTANCE NO. 00-0809-03

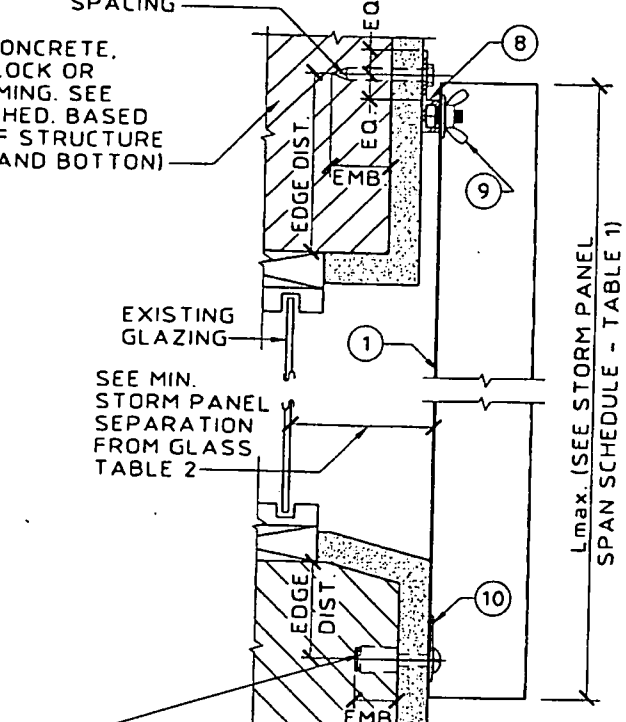
EXISTING CONCRETE, HOLLOW BLOCK OR WOOD FRAMING. SEE ANCHOR SCHED. BASED ON TYPE OF STRUCTURE (TYP. TOP AND BOTTOM)

C1 CONNECTION TYPE REFERENCE ANCHOR SCHEDULE FOR MAX. SPACING

EXISTING CONCRETE, HOLLOW BLOCK OR WOOD FRAMING. SEE ANCHOR SCHED. BASED ON TYPE OF STRUCTURE

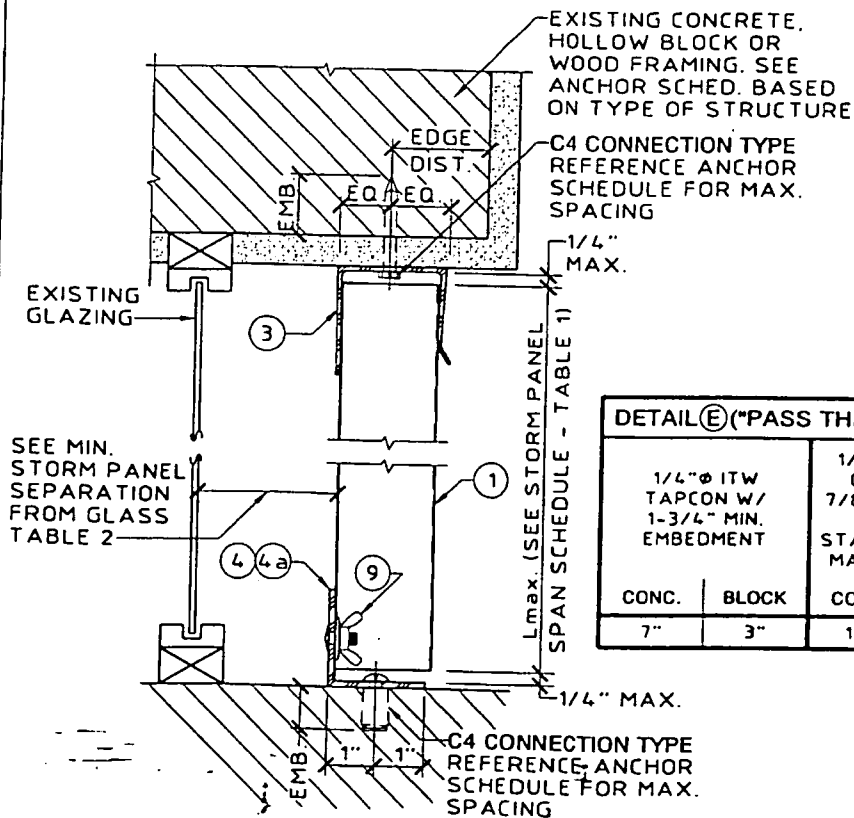


**B1 OPTIONAL TOP MOUNTING**



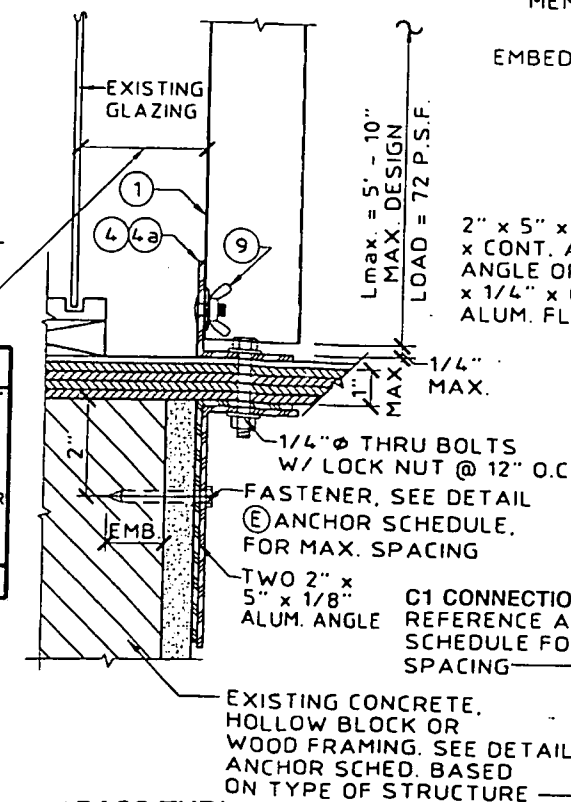
**C "F" TRACK/DIRECT MOUNT SECTION**  
SCALE: 3" = 1' - 0"

FASTENER @ 6" O.C. OR @ 12" O.C. BUT DO NOT EXCEED ANCHOR SCHEDULE SPACING. USE REMOVABLE ANCHORS ONLY W/ KEYHOLE WASHER. LOCATE FASTENER IN NARROW PORTION OF KEYHOLE WASHER  
C1 CONNECTION TYPE REFERENCE ANCHOR SCHEDULE FOR MAX. SPACING



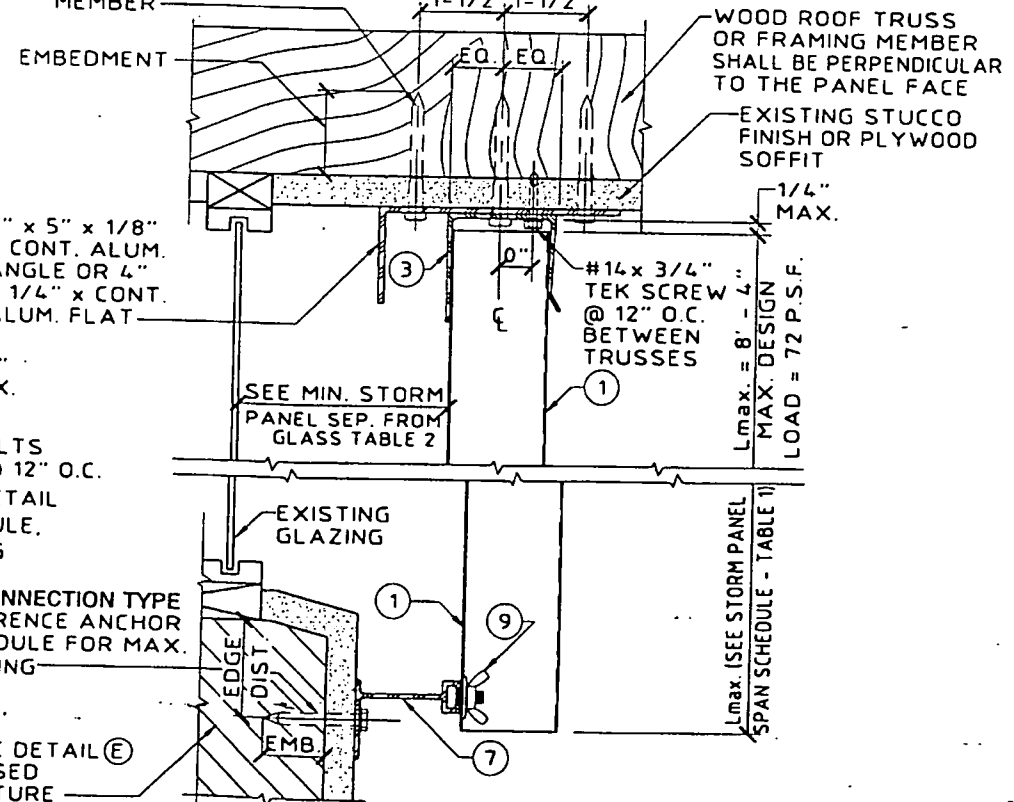
**D CEILING/FLOOR MOUNT SECTION**  
SCALE: 3" = 1' - 0"

DETAIL E ("PASS THRU" SEC.) ANCHOR SCHEDULE				
1/4" Ø ITW TAPCON W/ 1-3/4" MIN. EMBEDMENT		1/4" Ø POWERS CALK-IN W/ 7/8" EMBEDMENT & 1/4"-20 STAINLESS STEEL MACHINE SCREW		1/4" Ø x MIN. 2-1/2" LONG WOOD LAG SCREW W/ MINIMUM 1-3/4" EMBEDMENT SHEAR PARALLEL OR PERPENDICULAR TO WOOD GRAIN
CONC.	BLOCK	CONC.	BLOCK	WOOD
7"	3"	10"	4"	12"

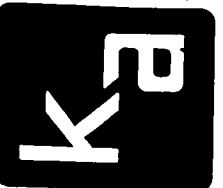


**E "PASS THRU" SECTION**  
SCALE: 3" = 1' - 0"

THREE 1/4" Ø x MIN. 4" LONG WOOD LAG SCREWS @ 24" O.C. MAX. WITH 1-3/4" EMBEDMENT INTO WOOD MEMBER



**F CEILING MOUNT / BUILD OUT SECTION**  
SCALE: 3" = 1' - 0"



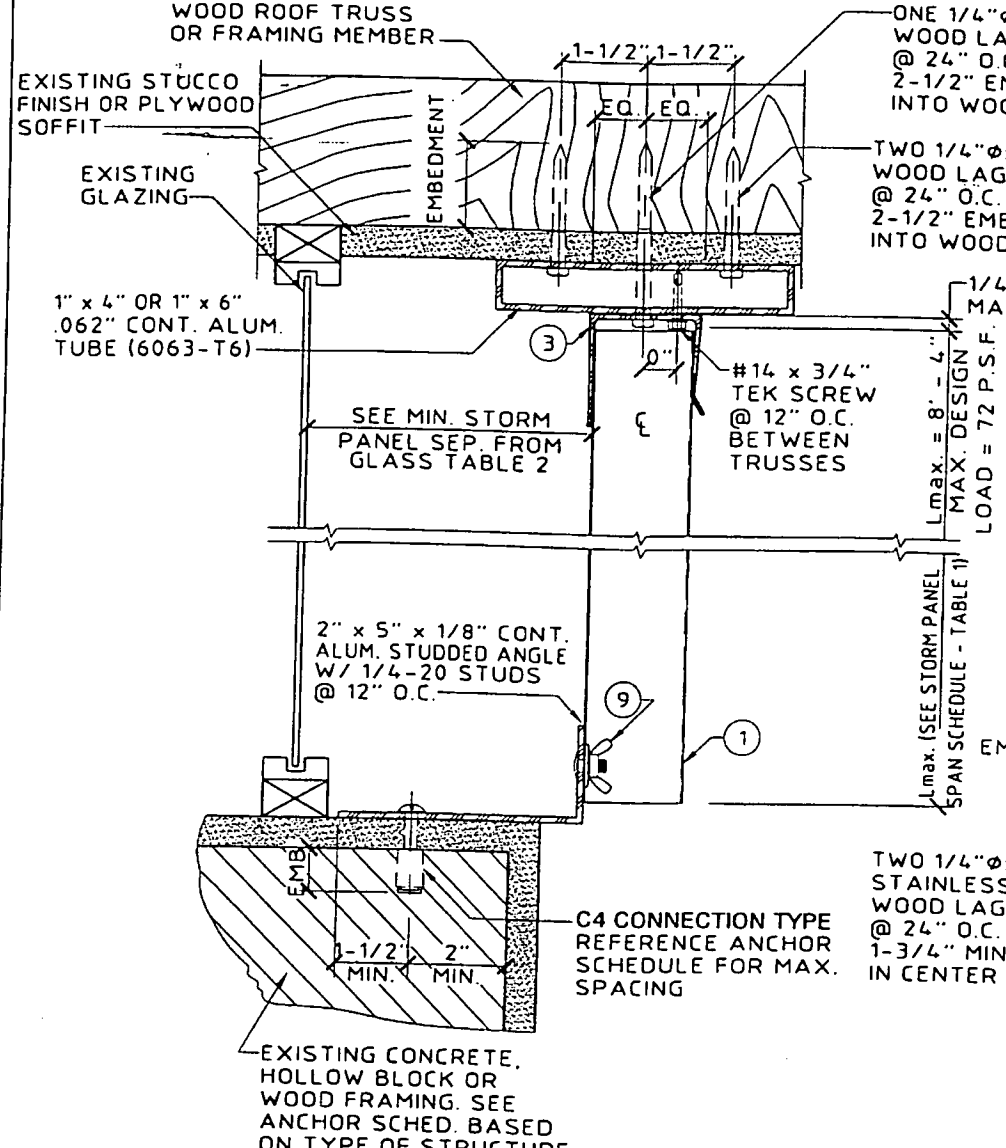
**KNEZEVICH & ASSOCIATES, INC.**  
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**ALUMINUM STORM PANEL**  
0-050"  
*Pain & Country*  
**INDUSTRIES, INC.**  
400 WEST McNAB ROAD • (800) 432-5019  
FT. LAUDERDALE, FL 33309

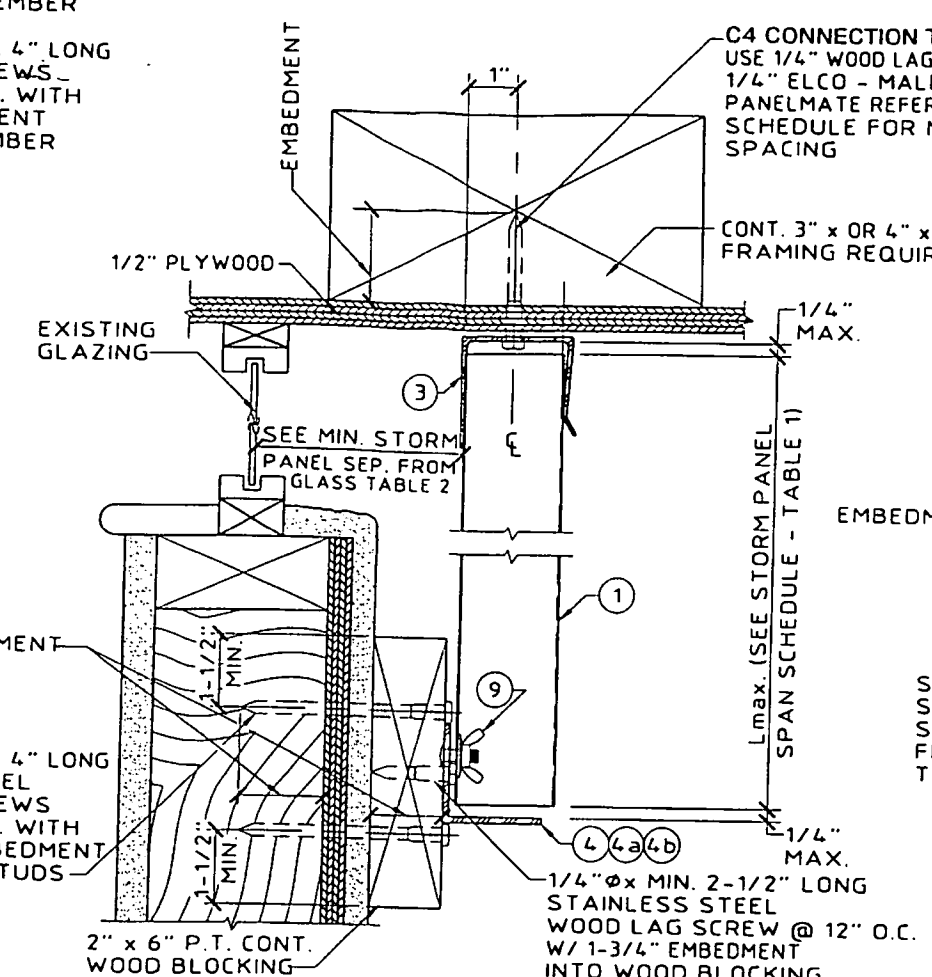
REVISIONS	
NO.	DESCRIPTION
1	GENERAL REVISION

V.J. KNEZEVICH  
PROFESSIONAL ENGINEER  
FL License No: PE 0010883

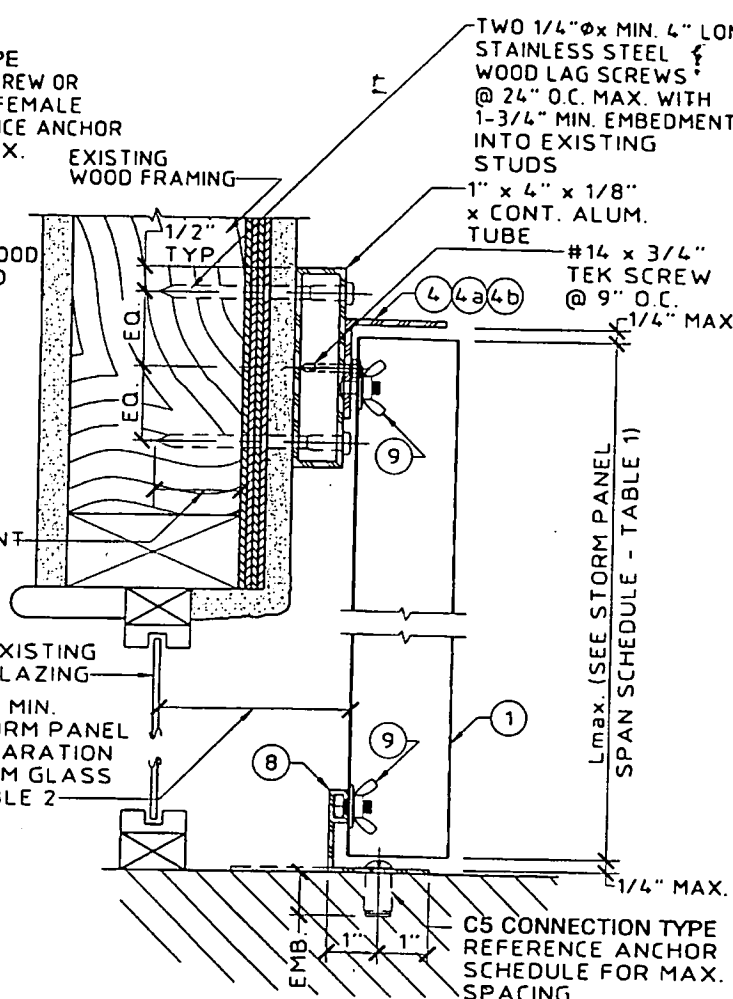
DATE 08/31/00  
SCALE AS NOTED  
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DESIGN BY VJK  
CHECKED BY VJK  
DRAWING NO. 00-159  
SHEET 2 OF 6



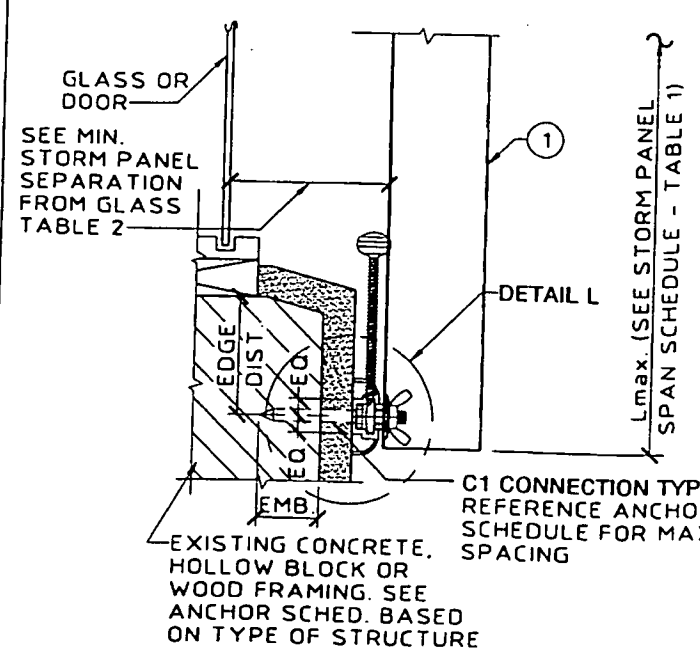
**G BUILD-DOWN / BUILD-OUT SECTION**  
SCALE: 3" = 1' - 0"



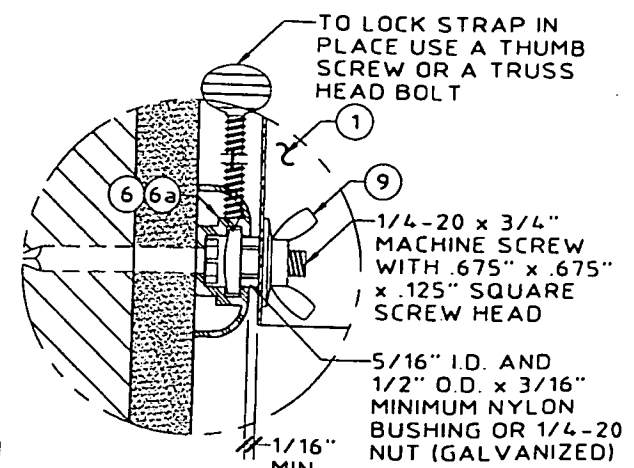
**H CEILING/BUILD-OUT MOUNT SECTION**  
SCALE: 3" = 1' - 0"



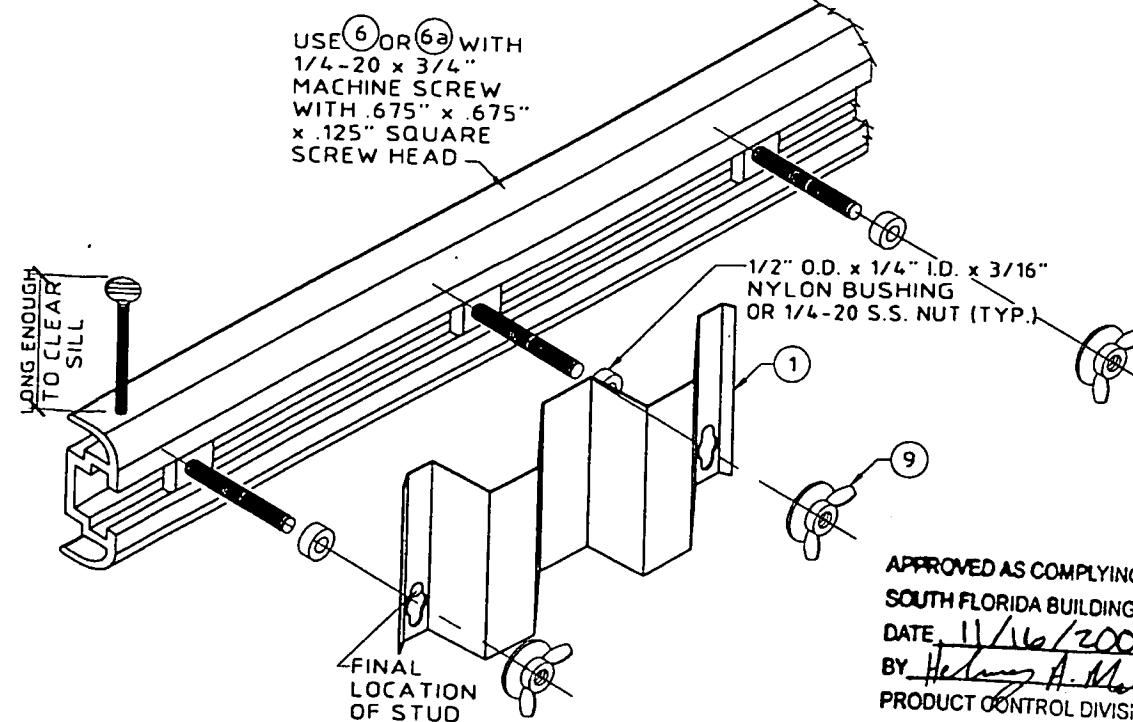
**J BUILD-OUT/FLOOR MOUNT SECTION**  
SCALE: 3" = 1' - 0"



**K C-TRACK ASSEMBLY - INSIDE MOUNT**  
SCALE: 3" = 1' - 0"

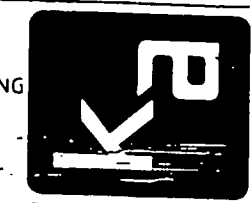


**L C-TRACK ASSEMBLY - (BLOW UP)**  
SCALE: HALF SIZE



**M C-TRACK ASSEMBLY (ISOMETRIC VIEW)**  
N.T.S.

APPROVED AS COMPLYING WITH THE  
SOUTH FLORIDA BUILDING CODE  
DATE 11/16/2000  
BY *Helmut A. Mader*  
PRODUCT CONTROL DIVISION  
BUILDING CODE COMPLIANCE OFFICE  
ACCEPTANCE NO. 00-0809-03



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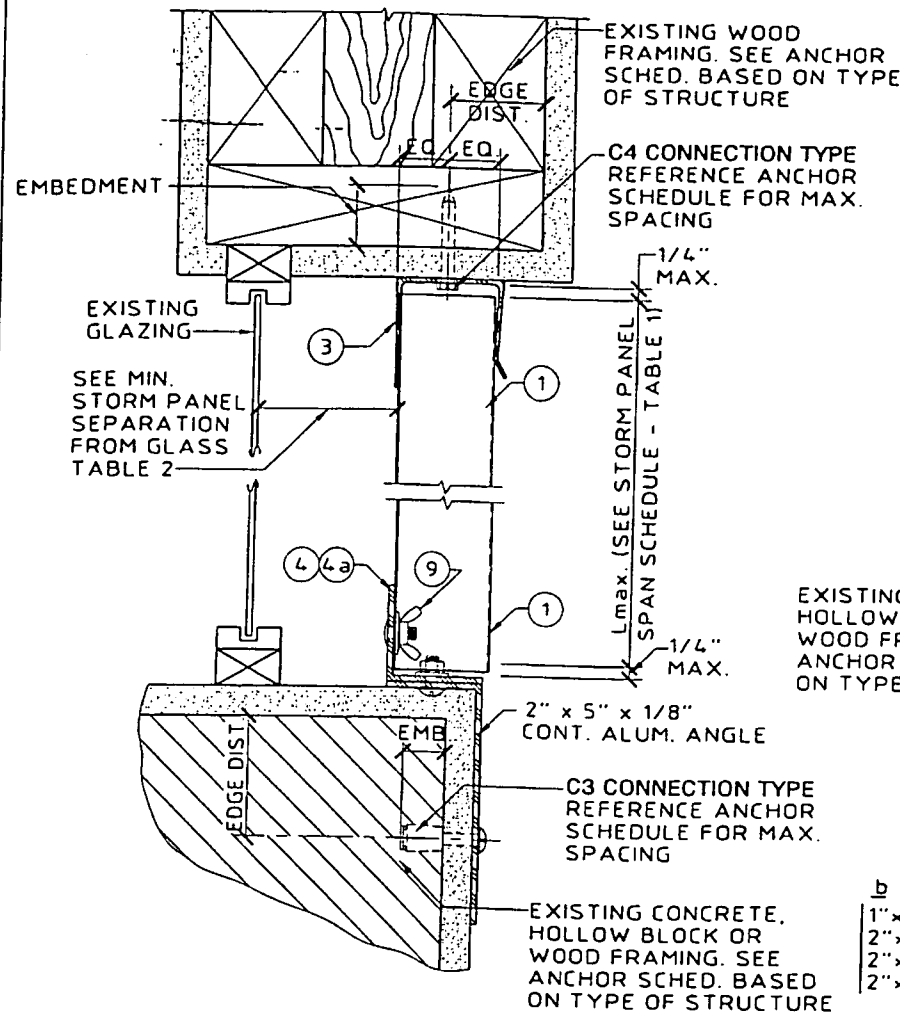
**0.050" ALUMINUM STORM PANEL**  
*Pave & Country*  
**INDUSTRIES, INC.**  
400 WEST McNAB ROAD • (800) 432-5019  
FT. LAUDERDALE, FL 33309

NO.	DATE	BY	DESCRIPTION
1	10/26/00	AS	GENERAL REVISION

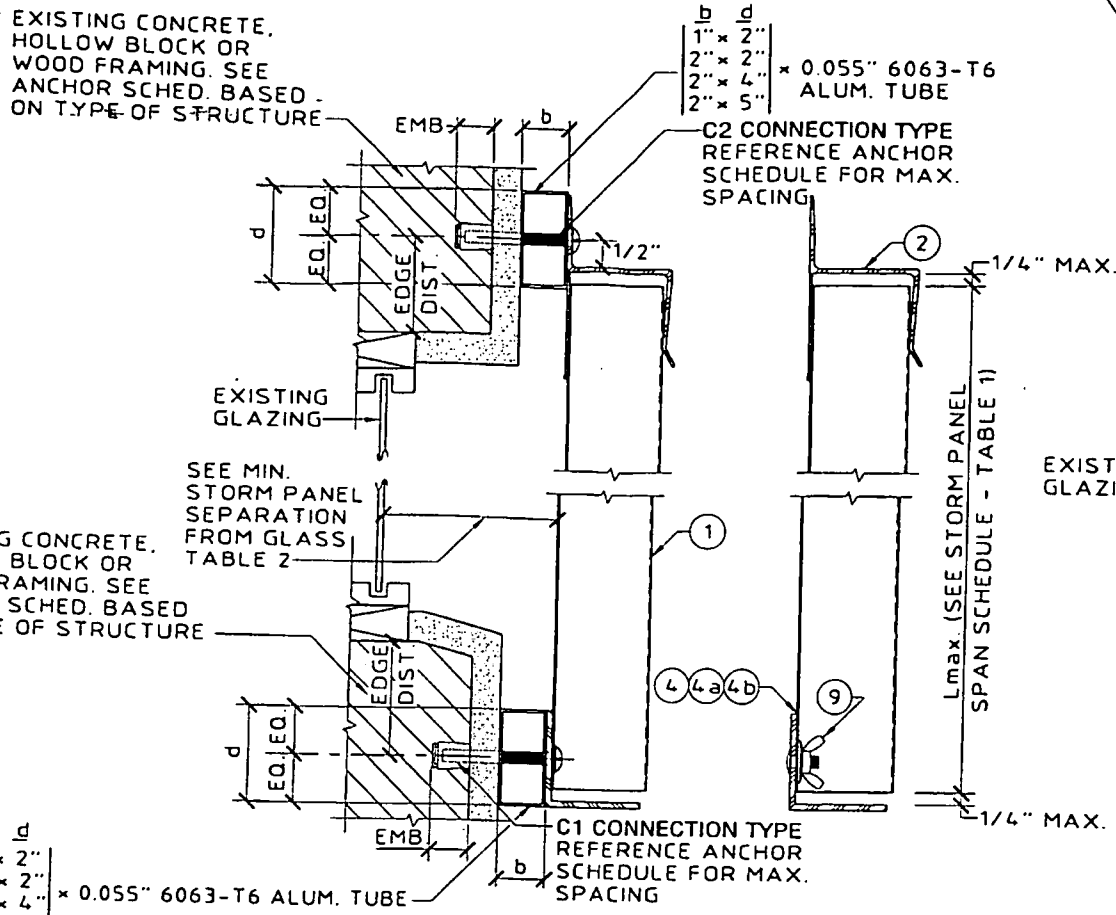
V.J. KNEZEVICH  
PROFESSIONAL ENGINEER  
FL License No:  
PE 0070983

OCT 26 2000

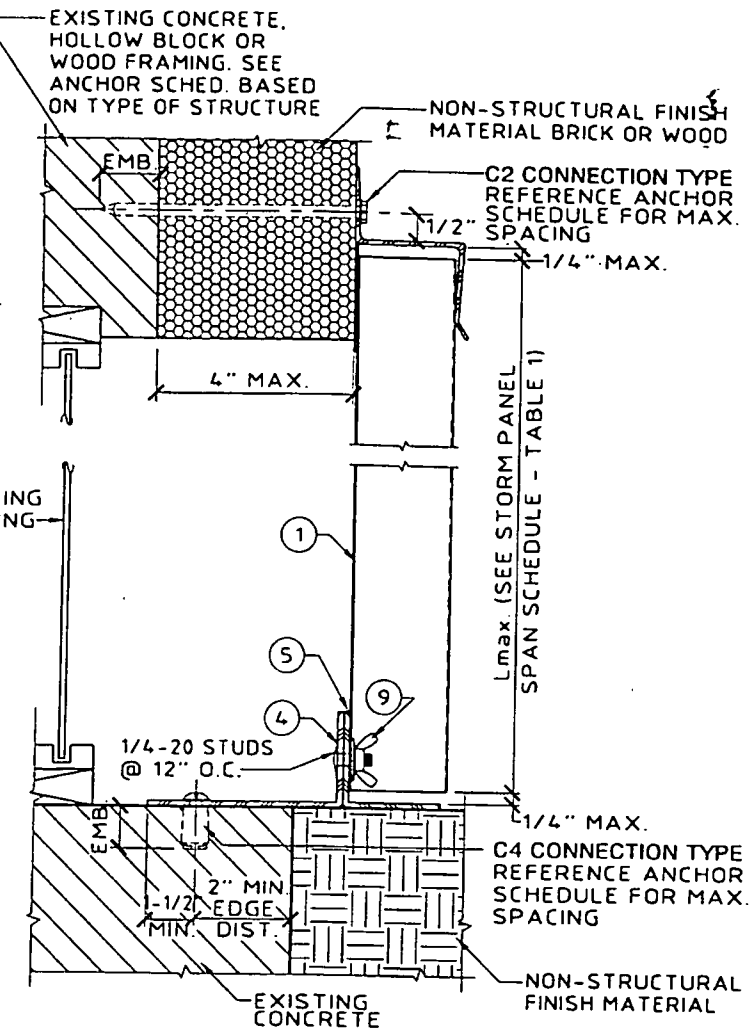
date 08/01/00  
scale AS NOTED  
design by VJK  
checked by VJK  
drawing no. 00-159  
sheet 3 of 6



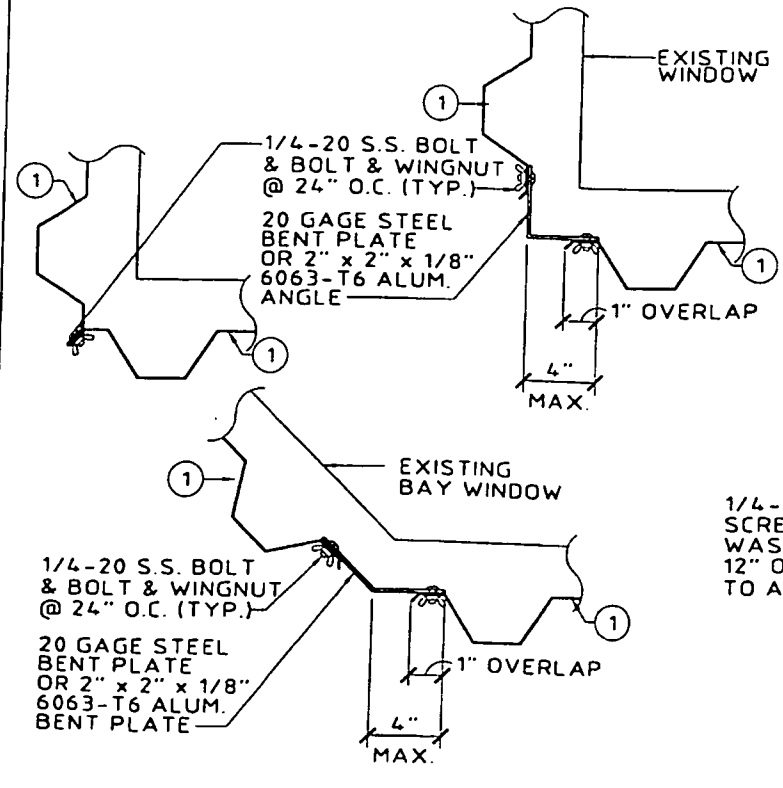
**(N) WOOD CEILING/ INSIDE MOUNT SECTION**  
SCALE: 3" = 1'-0"



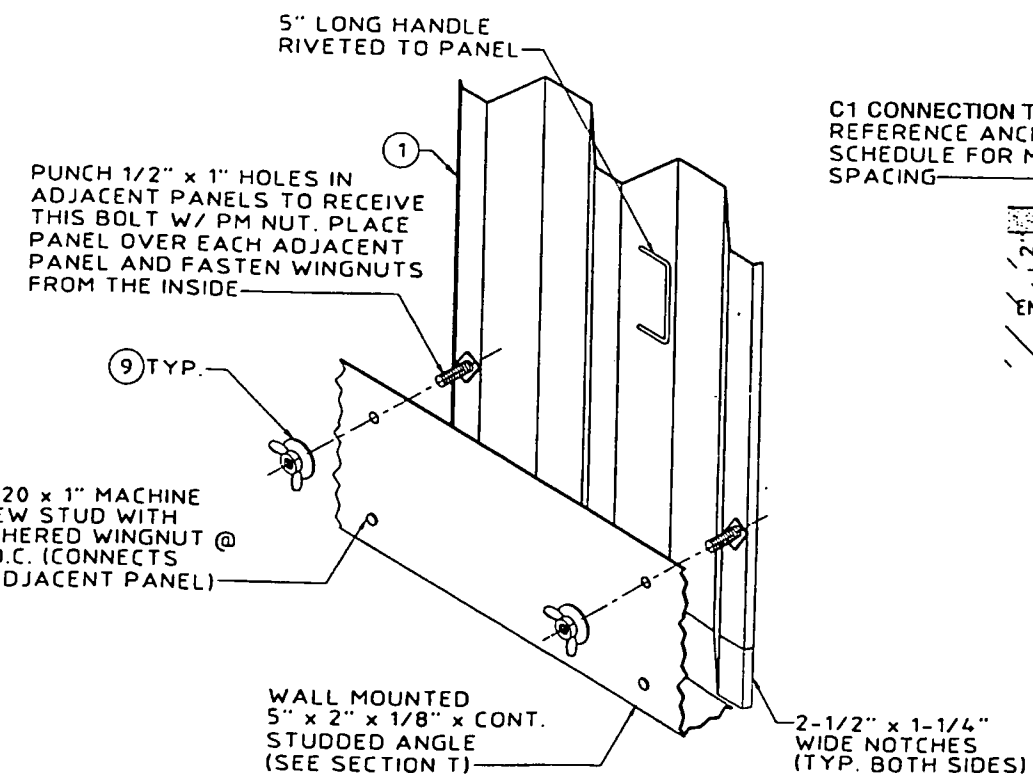
**(P) WALL MOUNT SECTION**  
SCALE: 3" = 1'-0"



**(Q) WALL MOUNT / BUILD OUT SECTION**  
SCALE: 3" = 1'-0"

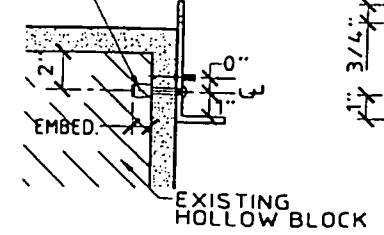


**(R) TYPICAL CORNER CLOSURE DETAILS (PLAN)**  
SCALE: 1-1/2" = 1'-0"



**(S) OPTIONAL INTERIOR FASTENING DETAIL (ISOMETRIC)**  
N.T.S.

C1 CONNECTION TYPE REFERENCE ANCHOR SCHEDULE FOR MAX. SPACING

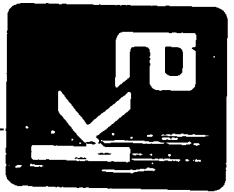


(MAX. PANEL HEIGHT = 7'-4" & MAX. DESIGN LOAD ± 72.00 P.S.F.)

**(T) INTERIOR FASTENING ANGLE ASSEMBLY**  
SCALE: 1-1/2" = 1'-0"

**DETAILS (S) & (T) NOTE:**  
THESE DETAILS DEPICT THE CONNECTION OF THE LAST PANEL FOR AN OPENING WITH PANELS INSTALLED FROM INSIDE. USE OF THESE DETAILS SHALL BE IN CONJUNCTION WITH AN "H" HEADER OR "U" HEADER TOP MOUNT.

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE  
DATE 11/16/2000  
BY *[Signature]*  
PRODUCT CONTROL DIVISION  
BUILDING CODE COMPLIANCE OFFICE  
ACCEPTANCE NO. 00-0809-03



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NO.	DATE	BY	DESCRIPTION
1	10/26/00	AS	GENERAL REVISION

V.J. KNEZEVICH  
PROFESSIONAL ENGINEER  
FL License No:  
PE 0010983

00-26-2000

DATE 08/01/00

SCALE AS NOTED

DESIGN BY VJK

CHECKED BY VJK

DRAWING NO. 00-159

SHEET 4 OF 6

T A B L E	MINIMUM STORM PANEL SEPARATION FROM GLASS			
	POSITIVE DESIGN LOAD (W) (P.S.F.)	ACTUAL SPAN (L) (FT - IN)	COLUMN 1 MIN. SEP. FOR ALL INSTALLATIONS LESS THAN 30' ABOVE GRADE (INCHES)	COLUMN 2 MIN. SEP. FOR ALL INSTALLATIONS GREATER THAN 30' ABOVE GRADE (INCHES)
2	40.0	8-8	3	2-1/4
		10-6	5	3-3/8
50.0	8-8	9-10	3	2-1/2
		9-10	5	3-1/4
60.0	8-8	9-5	3	2-3/4
		9-5	5	3-1/4
70.0	4-0	8-8	3	1-1/2
		8-8	3	3
		9-0	5	3-1/4
80.0	4-0	8-4	3	1-1/2
		8-4	3	3
90.0	4-0	7-9	3	1-1/2
		7-9	3	2-3/4
100.0	4-0	7-3	3	1-1/2
		7-3	3	2-1/2
110.0	4-0	6-9	3	1-1/2
		6-9	3	2-3/8
120.0	3-0	6-4	3	1-1/2
		6-4	3	2-1/4

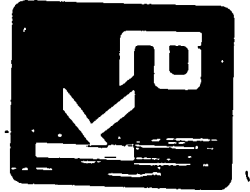
TABLE 1 NOTES:

1. DETERMINE BOTH THE POSITIVE AND THE NEGATIVE WIND LOADS. CHECK THEIR RESPECTIVE SPANS AND USE THE LESSER VALUE OF THE TWO.
2. FOR DESIGN LOADS BETWEEN TABULATED VALUES USE NEXT HIGHER LOAD OR LINEAR INTERPOLATION MAY BE USED TO DETERMINE ALLOWABLE SPANS.

TABLE 2 NOTE:

1. ENTER TABLE 2 WITH POSITIVE DESIGN LOAD TO DETERMINE MIN. STORM SHUTTER SEPARATION FROM GLASS.

T A B L E	MAX. ALLOWABLE STORM PANEL SPAN SCHEDULE		
	POSITIVE OR NEGATIVE DESIGN LOAD (P.S.F.)	SPAN FOR NEG PRESSURE (FT - IN)	SPAN FOR POS PRESSURE (FT - IN)
1	40.0	12'-0"	10'-4"
	45.0	11'-3"	10'-1"
	50.0	10'-8"	9'-9"
	55.0	10'-2"	9'-6"
	60.0	9'-9"	9'-3"
	62.0	9'-7"	9'-1"
	65.0	9'-4"	8'-11"
	70.0	9'-0"	8'-7"
	72.0	8'-11"	8'-4"
	75.0	8'-8"	8'-0"
	80.0	8'-3"	7'-6"
	90.0	7'-4"	6'-8"
	100.0	6'-7"	6'-0"
	110.0	6'-0"	5'-5"
	120.0	5'-6"	5'-0"
	130.0	5'-1"	4'-7"
	140.0	4'-8"	4'-3"
	150.0	4'-4"	4'-0"
	160.0	4'-1"	3'-9"
	170.0	3'-10"	3'-6"
	180.0	3'-8"	3'-4"
	190.0	3'-5"	3'-1"
	200.0	3'-3"	3'-0"
210.0	3'-1"	2'-10"	
220.0	3'-0"	2'-8"	
230.0	2'-10"	2'-7"	



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400 WEST McNAB ROAD • (800) 432-5019  
FT. LAUDERDALE, FL 33309

ANCHOR SCHEDULE																	
FASTENER MAXIMUM SPACING (INCHES) REQUIRED FOR VARIOUS DESIGN LOADS AND SPANS																	
EXISTING STRUCTURE	ANCHOR TYPE	LOAD (W) P.S.F. MAX. (SEE NOTE 1)	MIN. 3/4" EDGE DISTANCE														
			SPANS UP TO 6' - 0" (SEE NOTE 1)					SPANS UP TO 8' - 8" (SEE NOTE 1)					SPANS UP TO 12' - 0" (SEE NOTE 1)				
			CONNECTION TYPE (SEE NOTE 3)					CONNECTION TYPE (SEE NOTE 3)					CONNECTION TYPE (SEE NOTE 3)				
			C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5
WOOD	 1/4" x 3" LONG LAG SCREW W/ MIN. 2" EMBEDMENT SHEAR PARALLEL OR PERPENDICULAR TO WOOD GRAIN	40.0	14	14	14	14	13	14	14	14	10	9	14	14	14	7	7
		52.0	14	14	14	11	10	14	14	14	8	7	14	14	13	5	5
		62.0	14	14	14	9	9	14	14	14	6	6	14	13	9	4	4
		78.0	14	14	14	7	7	14	14	11	5	4	14	10	7	4	4
		100.0	14	14	14	6	5	14	10	7	4	4	14	10	7	4	4
	 1/4" ELCO MALE/FEMALE "PANELMATE" W/ 1-7/8" MIN. EMBEDMENT & 1/4"-20 MACHINE SCREW WITH NUT	40.0	14	14	14	14	14	14	14	14	14	13	14	14	14	11	10
		52.0	14	14	14	14	14	14	14	14	12	10	14	14	12	8	7
		62.0	14	14	14	14	12	14	14	14	10	9	14	13	8	7	6
		78.0	14	14	14	11	10	14	14	10	8	7	14	9	7	6	5
		100.0	14	14	13	9	8	14	9	7	6	5	14	9	7	6	5
	 7/16" WOOD BUSHING W/ 5/8" MIN. EMBEDMENT & 1/4"-20 STAINLESS STEEL MACHINE SCREW	40.0	14	14	14			14	14	14			11	11	8		
		52.0	14	14	14			12	12	10			8	8	4		
62.0		14	14	14			10	10	6			7	4	3			
78.0		11	11	9			8	6	4			6	3				
100.0		9	9	5			6	3				6	3				

ANCHOR NOTES:

1. SPANS AND LOADS SHOWN HERE ARE FOR DETERMINING ANCHOR SPACING ONLY. ALLOWABLE STORM PANEL SPANS FOR SPECIFIC LOADS MUST BE LIMITED TO THOSE SHOWN IN TABLE 1.
2. ENTER ANCHOR SCHEDULE BASED ON THE EXISTING STRUCTURE MATERIAL, ANCHOR TYPE AND EDGE DISTANCE. SELECT DESIGN LOAD GREATER THAN OR EQUAL TO NEGATIVE DESIGN LOAD ON SHUTTER AND SELECT SPAN GREATER THAN OR EQUAL TO SHUTTER SPAN.
3. SEE MOUNTING SECTION DETAILS FOR IDENTIFICATION OF CONNECTION TYPE.
4. EXISTING STRUCTURE MAY BE CONCRETE, HOLLOW BLOCK OR WOOD FRAMING. REFERENCE ANCHOR SCHEDULE FOR PROPER ANCHOR TYPE BASED ON TYPE OF EXISTING STRUCTURE.
5. ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.
6. MINIMUM EMBEDMENT AND EDGE DISTANCE EXCLUDES WALL FINISH OR STUCCO.
7. WHERE EXISTING STRUCTURE IS WOOD FRAMING, WOOD FRAMING CONDITIONS VARY. FIELD VERIFY THAT FASTENERS ARE INTO ADEQUATE WOOD FRAMING MEMBERS, NOT PLYWOOD. FASTENING TO PLYWOOD IS ACCEPTABLE ONLY FOR SIDE CLOSURE PIECES.
8. WHERE LAG SCREWS FASTEN TO NARROW FACE OF STUD FRAMING, FASTENER SHALL BE LOCATED IN CENTER OF NOMINAL 2" x 4" (MIN.) WOOD STUD. 3/4" EDGE DISTANCE IS ACCEPTABLE FOR WOOD FRAMING. WOOD STUD SHALL BE "SOUTHERN PINE" G=0.55 OR GREATER DENSITY. LAG SCREWS SHALL HAVE PHILLIPS PAN HEAD OR HEX HEAD.
9. MACHINE SCREWS SHALL HAVE MINIMUM OF 1/2" ENGAGEMENT OF THREADS IN BASE ANCHOR AND MAY HAVE EITHER A PAN HEAD, TRUSS HEAD, OR WAFER HEAD (SIDEWALK BOLT), U.O.N.
10. DESIGNATES ANCHOR CONDITIONS WHICH ARE NOT ACCEPTABLE USES.
11. \* DESIGNATES ANCHORS WHICH ARE REMOVABLE BY REMOVING MACHINE SCREW, NUT OR WASHERED WINGNUT.

APPROVED AS COMPLYING WITH THE  
SOUTH FLORIDA BUILDING CODE  
DATE 11/16/2000  
BY *Helmut A. Mahr*  
PRODUCT CONTROL DIVISION  
BUILDING CODE COMPLIANCE OFFICE  
ACCEPTANCE NO. 00-0809-03

NO.	DATE	BY	DESCRIPTION
1	10/26/00	AS	GENERAL REVISION

V.J. KNEZEVICH  
PROFESSIONAL ENGINEER  
FL License No:  
PE 0010983

OCT 26 2000

DATE 08/01/00

SCALE AS NOTED

DESIGNED BY VJK

CHECKED BY VJK

DRAWING NO. 00-159

SHEET 6 OF 6





# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Thu ~~APR 27~~, 2001; Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5330	JANSON	<del>SHUTTER</del> FINAL	Passed	
S (6)	132 S. RIVER RD. BUDGET SHUTTER			gress? garage? ✓ INSPECTOR: J 4/27 ✓
✓ 5143	GIFFORD	TIE BM.	Passed	
N (1)	85 N. SEWALL'S POINT RD SCOTT HOLMES			INSPECTOR: J 4/27 ✓
✓ 5321	PANTON	A/C COMP. RELOC. - FINAL	Passed	
S (5)	17 ISLAND ROAD KRAUSS			INSPECTOR: J 4/27 ✓
✓ 5192	RAO	FRAMING (RGT)	Passed	
N (2)	30 CASTLE HILL WAY AR MARTIN	ALL TRADES		< 3000 S.P.? ✓ INSPECTOR: J 4/27 ✓
✓ 4723	KOCH	POST C.O. VERIFICATION	<del>Pass</del>	COMPL. REQUEST
N X	71 N. RIVER RD W.B. BROWN, INC.	- BALCONY RAILING MOD. COMPLIANCE	ROLL-OVER 4/30	INSPECTOR: J 4/27
T/R (9)	TULLER 39 N. RIVER RD O/B	FIELD VERIF.	ROLL-OVER 4/30	INSPECTOR:
PERMIT ↓ (3A)				INSPECTOR:

OTHER: \_\_\_\_\_

**5774**

**FENCE**

### TOWN OF SEWALL'S POINT

Date 4/18/02

BUILDING PERMIT NO. 5774

Building to be erected for LARS JANSON Type of Permit FENCE REPAIRS

Applied for by O/B (Contractor) Building Fee 30.00

Subdivision KINGSTON COURT Lot 6 Block \_\_\_\_\_ Radon Fee \_\_\_\_\_

Address 132 S. RIVER RD. Impact Fee \_\_\_\_\_

Type of structure SFR A/C Fee \_\_\_\_\_

Parcel Control Number: \_\_\_\_\_ Electrical Fee \_\_\_\_\_

1338410100000006020000

Plumbing Fee \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Amount Paid 30.00 Check # \_\_\_\_\_ Cash \$30.00 Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 3,000.00 TOTAL Fees \$30.00

Signed Lars M. Janson  
Applicant

Signed Mene Simmons Inc  
Town Building Official

## PERMIT

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL       |
| <input type="checkbox"/> PLUMBING         | <input type="checkbox"/> ROOFING             | <input type="checkbox"/> POOL/SPA/DECK    |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION          | <input checked="" type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS              |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION       |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL            | <input type="checkbox"/> ADDITION         |

## INSPECTIONS

- |                                   |                              |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____        | UNDERGROUND GAS _____        |
| UNDERGROUND MECHANICAL _____      | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____            | FOOTING _____                |
| SLAB _____                        | TIE BEAM/COLUMNS _____       |
| ROOF SHEATHING _____              | WALL SHEATHING _____         |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____                   |
| ROOF TIN TAG/METAL _____          | ROOF-IN-PROGRESS _____       |
| PLUMBING ROUGH-IN _____           | ELECTRICAL ROUGH-IN _____    |
| MECHANICAL ROUGH-IN _____         | GAS ROUGH-IN _____           |
| FRAMING _____                     | EARLY POWER RELEASE _____    |
| FINAL PLUMBING _____              | FINAL ELECTRICAL _____       |
| FINAL MECHANICAL _____            | FINAL GAS _____              |
| FINAL ROOF _____                  | BUILDING FINAL _____         |



Town of Sewall's Point

BUILDING PERMIT APPLICATION

Building Permit Number: \_\_\_\_\_

Owner or Titleholder Name: LARS and Karen Janson City: Sewalls Point State: FL Zip: 34998

Legal Description of Property: Lot 4, Kingston Court Parcel Number: \_\_\_\_\_

Location of Job Site: 132 South River Road Type of Work To Be Done: Replace existing fence

CONTRACTOR/Company Name: \_\_\_\_\_ Phone Number: 335-8571

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ ScreenedPorch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

Type Sewage: \_\_\_\_\_ Septic Tank Permit Number From Health Dept. \_\_\_\_\_ Well Permit Number: \_\_\_\_\_

FLOOD HAZARD INFORMATION Flood Zone: \_\_\_\_\_ Minimum Base Flood Elevation (BFE): \_\_\_\_\_ NGVD

Proposed First Floor Habitable Floor Finished Elevation: \_\_\_\_\_ NGVD (Minimum 1 Foot Above BFE)

COST AND VALUES Estimated Cost of Construction or Improvements: \$7,500 + 3,000 Estimated Fair Market Value (FMV) Prior

To Improvements: \$1,000 If Improvement, Is Cost Greater Than 50% Of Fair Market Value YES  NO

SUBCONTRACTOR INFORMATION

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNANCE, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION

Florida Building Code (Structural, Mechanical, Plumbing, Gas) \_\_\_\_\_ South Florida Building Code (Structural, Mechanical, Plumbing, Gas) \_\_\_\_\_

National Electrical Code \_\_\_\_\_ Florida Energy Code \_\_\_\_\_

Florida Accessibility Code \_\_\_\_\_

THEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (Required)

State of Florida, County of: Martin

This the 15 day of April, 2002

by Karen Janson who is personally

known to me or produced F.I.d.I.

as identification. Karen M. Janson

CONTRACTOR SIGNATURE (Required)

On State of Florida, County of: \_\_\_\_\_

This the \_\_\_\_\_ day of \_\_\_\_\_ 200\_\_

by \_\_\_\_\_ who is personally

known to me or produced \_\_\_\_\_

As identification. \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

Joan H. Barrow  
Notary Public

Joan H. Barrow

MY COMMISSION # CC763645 EXPIRES

November 30, 2002

BONDED THRU TROY FAIR INSURANCE, INC.

My Commission Expires: \_\_\_\_\_

Notary Public

Seal



# PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR A FENCE

**IMPORTANT NOTICE:** All items listed below must accompany your permit application. No application will be accepted unless all items that are applicable are submitted.

**Application form must contain the following information:**

1. Property Appraisers Parcel Number or Property Control Number
2. Legal Description of property (Can be found on your deed survey or Tax Bill)
3. Contractors name, address, phone number and license numbers.
4. Name all sub-contractors (properly licensed)
5. Architects or Engineers name, address, & phone number.
6. Estimated cost of construction.
7. Original signature of owner and notarized
8. Original signature of Contractor and notarized.

## **Submittals (2 copies)**

1. Current survey (boundary & topographic) containing the following information:
  - a. Legal Description of Lot
  - b. Lot dimensions and bearings
  - c. Street and Waterway names
  - d. Easements
  - e. ROW's
  - f. Canals, Ponds, or Riverfront locations
  - g. Location of existing and proposed fences
  - h. Description of type and height of fence at all locations
2. Statement of Fact (owner/builder affidavit)
3. Proof of ownership (deed or tax recpt.)
4. Letter from Home Owners or Subdivision Associations stating design is per their deed restriction or covenants
5. Application for tree removal or relocation (attach tree survey and removal or relocation plan)
6. A certified copy of the Notice of Commencement for any work over \$2500.00
7. Copy of License (either Martin County Certificate of Competency or State Certified or Registered Contractor License)
8. Copy of Workmen's Compensation
9. Copy of Liability Insurance

**ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE  
ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE**

  
\_\_\_\_\_  
(SIGNATURE OF APPLICANT)

DATE SUBMITTED: 4/15/02

**TOWN OF SEWALL'S POINT**  
**ONE SOUTH SEWALL'S POINT ROAD**  
**SEWALL'S POINT, FLORIDA 34996**

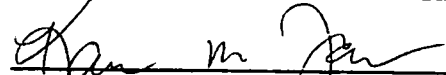
**TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT**  
**(To be submitted if permit is to be pulled by Owner/Builder)**

**DISCLOSURE STATEMENT**

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

**I have read the above and agree to comply with the provisions as stated.**

Name: Karen Janson Date: 4/15/02

Signature: 

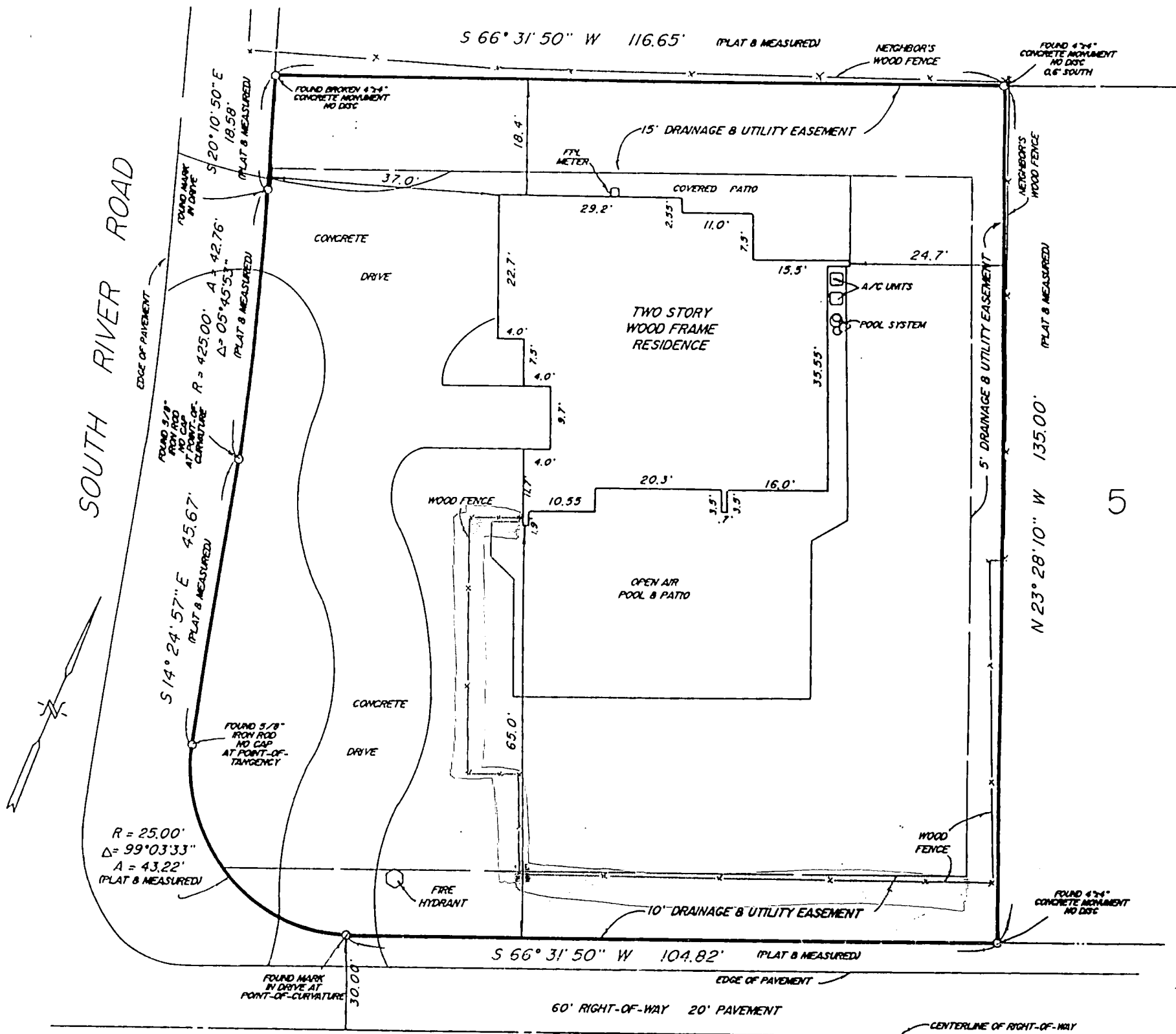
Address: 132 South River Road

City & State: Sewalls Point, FL

Permit No. \_\_\_\_\_

**This form is for all permits except electrical.**

PALM ROW SUBDIVISION



KINGSTON COURT

ADDRESS: 132 S. River Road  
Stuart, Florida

NOTE: WATER, SEWER & UNDERGROUND  
POWER SERVICE

AREA: 16,549.65 sq. ft.

LEGAL DESCRIPTION: Lot 6, KINGSTON COURT, according to the Plat thereof recorded in Plat Book 8, Page 82, Public Records of Martin County, Florida.

CERTIFIED TO: LARS A. JANSON AND KAREN M. JANSON;  
OUGHTERSON, SUNDHEIM & WOODS, P.A.;  
COMMONWEALTH LAND TITLE INSURANCE COMPANY;  
UNIVERSAL LAND TITLE, INC.

Flood Zone "C"

FILE COPY  
TOWN OF SEWELL'S POINT  
THESE PLANS HAVE BEEN  
REVIEWED FOR CODE COMPLIANCE  
DATE: 7/16/02  
BUILDING OFFICIAL  
Gene Simmons

Bearings hereon are referred to an assumed value of South 66°31'50" West for the centerline of right-of-way of Kingston Court; said bearing is identical with the Plat of record.

. KINGSTON COURT . Lot 6 .

REVISION	DATE	BY
UPDATED/RE-CERTIFIED	DAF	
1/28/2001		

**LANGBEHN SURVEYING**  
P.O. BOX 888 JENSEN BEACH, FLORIDA 34958  
(861) 398 - 8166  
FAX (861) 337 - 7404

CERTIFICATE: This is to certify that this SKETCH OF SURVEY, of the herein described property is true and correct to the best of my knowledge and belief, contains no fraud or misstatements, names shown, and meets the Minimum Technical Standards set forth in Chapter 61D17-9 F.A.C. by the Florida Board of Land Surveyors pursuant to Section 474.057 Florida Statutes.

*[Signature]*  
NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL  
This SURVEY prepared from legal description supplied by client.

PROFESSIONAL LAND SURVEYOR  
STATE OF FLORIDA REGISTRATION NO. 3182

DATE OF FIELD SURVEY	1/25/99
SCALE	1" = 20'
JOB NO.	99-10859
FIELD BOOK AND PAGE	FF.LDA

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 3-14 2003 Page 1 of 1

N

N

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6185	MERVIN	<del>Handyman</del>		
	95 N. Sewall Pt	Gas Tank & Lines	Passed	
	FERRER GAS	Ground rough		INSPECTOR: [Signature]
5832	WEBER	FINAL GAS	Passed	close
	4 MANDALAY			
	FERRER GAS			INSPECTOR: [Signature]
5777	ALLMAN	FINAL GAS	Passed	close
	3 SUMMER			
	FERRER GAS			INSPECTOR: [Signature]
6037	FRANCIS	INT ROUGH IN	?	not called in
	5 S RIVER ROAD			
				INSPECTOR: [Signature]
TREE	NAUDIN	TREE	Passed	
	19 RIDGEVIEW N			
				INSPECTOR: [Signature]
5774	JANSON	FENCE	Passed	close
	132 S. RIVER RD			
	O/B			INSPECTOR: [Signature]
6176	KALOYANNIS	ROUGH Elec	Passed	
	80 S. RIVER ROAD	Plumbing rough	Passed	
	O/B			INSPECTOR: [Signature]
OTHER:				

**7004**

**FENCE REPAIR**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 10/29/04

BUILDING PERMIT NO. 7004

Building to be erected for JANSON

Type of Permit FENCE REPAIR

Applied for by O/B (Contractor)

Building Fee \_\_\_\_\_

Subdivision KINGSTON CT Lot 6 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 132 S. RIVER ROAD

Impact Fee \_\_\_\_\_

Type of structure FENCE

A/C Fee HURRICANE

Parcel Control Number:

13384101000006020000

Plumbing Fee \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Amount Paid \_\_\_\_\_ Check # \_\_\_\_\_ Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 1,000.00

TOTAL Fees \_\_\_\_\_

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

## PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

## INSPECTIONS

- UNDERGROUND PLUMBING \_\_\_\_\_
- UNDERGROUND MECHANICAL \_\_\_\_\_
- STEMWALL FOOTING \_\_\_\_\_
- SLAB \_\_\_\_\_
- ROOF SHEATHING \_\_\_\_\_
- TRUSS ENG/WINDOW/DOOR BUCKS \_\_\_\_\_
- ROOF TIN TAG/METAL \_\_\_\_\_
- PLUMBING ROUGH-IN \_\_\_\_\_
- MECHANICAL ROUGH-IN \_\_\_\_\_
- FRAMING \_\_\_\_\_
- FINAL PLUMBING \_\_\_\_\_
- FINAL MECHANICAL \_\_\_\_\_
- FINAL ROOF \_\_\_\_\_

- UNDERGROUND GAS \_\_\_\_\_
- UNDERGROUND ELECTRICAL \_\_\_\_\_
- FOOTING \_\_\_\_\_
- TIE BEAM/COLUMNS \_\_\_\_\_
- WALL SHEATHING \_\_\_\_\_
- LATH \_\_\_\_\_
- ROOF-IN-PROGRESS \_\_\_\_\_
- ELECTRICAL ROUGH-IN \_\_\_\_\_
- GAS ROUGH-IN \_\_\_\_\_
- EARLY POWER RELEASE \_\_\_\_\_
- FINAL ELECTRICAL \_\_\_\_\_
- FINAL GAS \_\_\_\_\_
- BUILDING FINAL \_\_\_\_\_

RECEIVED  
OCT 27 2004

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: 10/27/04

OWNER/TITLEHOLDER NAME: Karen Janson Phone (Day) 223-1752 (Fax) 220-2866

Job Site Address: 132 South River Road City: Sewalls Point State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) KINGSTON COURT LOT 6 Parcel Number: 1738410100000006020000

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: Fence Repair

WILL OWNER BE THE CONTRACTOR?:

YES  NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ \$1,000.00  
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: \_\_\_\_\_

(If no, fill out the Contractor & Subcontractor sections below)  
(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: \_\_\_\_\_

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

Karen Janson

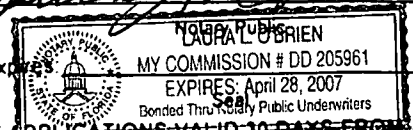
State of Florida, County of: MARTIN

This the 27th day of OCTOBER, 2004

by KAREN M. JANSON who is personally known to me or produced

as identification. FDL JSR/BK 682 0

My Commission Expires \_\_\_\_\_



CONTRACTOR SIGNATURE (required)

\_\_\_\_\_

On State of Florida, County of: \_\_\_\_\_

This the \_\_\_\_\_ day of \_\_\_\_\_, 2004

by \_\_\_\_\_ who is personally known to me or produced \_\_\_\_\_

As identification. \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

Notary Public

Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!



**TOWN OF SEWALL'S POINT**  
**ONE SOUTH SEWALL'S POINT ROAD**  
**SEWALL'S POINT, FLORIDA 34996**

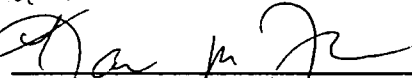
**TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT**  
**(To be submitted if permit is to be pulled by Owner/Builder)**

**DISCLOSURE STATEMENT**

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

**I have read the above and agree to comply with the provisions as stated.**

Name: Kevin Janson Date: 10/27/04

Signature: 

Address: 132 South River Road

City & State: Stuart, FL 34996

Permit No. \_\_\_\_\_



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri JAN 26, 2005 Page 1 of    

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	GALINIS	TREE	PASS	
7	26 S. SEWALL'S Pt			INSPECTOR:
<del>6862</del>	<del>MADER</del>	<del>SUB-<sup>INITIAL</sup> HOUSE</del>		<del>CANCEL</del>
	106 Abbie COURT PUNCKER HOMES	(FIRST PLEASE)		INSPECTOR:
TREE	MENEZ	TREE	PASS	
—	20 CRANE'S NEST			INSPECTOR:
7096	MULLIGAN	FINAL ROOF	PASS	CLOSE
9	20 FIELDWAY BUDGET ROOFING			INSPECTOR:
<del>7004</del>	<del>JANSEN</del>	<del>FENCE FINAL</del>	<del>PASS</del>	<del>CLOSE</del>
4	132 S. RIVER OIB			INSPECTOR:
7175	ARNETTE	FINAL ROOF	FAIL	
8	7 COPAIRE DR PVD DEVELOPMENT			INSPECTOR:
<del>7205</del>	<del>SHAREL</del>	<del>DEMODOCK + GAZEBO</del>		<del>CANCEL</del>
	73 N. SEWALL'S Pt S & B MARINE			INSPECTOR:
OTHER:				
3	7 MIDDLE ROAD	SCOPE OF WORK	INSPECTED	W/ BELVE

# **A/C CHANGEOUT**

**TOWN OF SEWALL'S POINT**

Date 1/26/05

**BUILDING PERMIT NO. 7234**

Building to be erected for JANSON

Type of Permit A/C CHANGED OUT

Applied for by HONEST AIR, INC (Contractor)

Building Fee 35.00

Subdivision KINGSTON COURT Lot 6 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 132 S. RIVER ROAD

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Parcel Control Number:

Electrical Fee \_\_\_\_\_

133841010000006020000

Plumbing Fee \_\_\_\_\_

Amount Paid 35.00 Check # \_\_\_\_\_ Cash  Other Fees ( \_\_\_\_\_ )

Roofing Fee \_\_\_\_\_

Total Construction Cost \$ 9800.00

TOTAL Fees 35.00

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

**PERMIT**

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL          | <input checked="" type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING         | <input type="checkbox"/> ROOFING             | <input type="checkbox"/> POOL/SPA/DECK         |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE                 |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS                   |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION            |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL            | <input type="checkbox"/> ADDITION              |

**INSPECTIONS**

- |                                   |                              |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____        | UNDERGROUND GAS _____        |
| UNDERGROUND MECHANICAL _____      | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____            | FOOTING _____                |
| SLAB _____                        | TIE BEAM/COLUMNS _____       |
| ROOF SHEATHING _____              | WALL SHEATHING _____         |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____                   |
| ROOF TIN TAG/METAL _____          | ROOF-IN-PROGRESS _____       |
| PLUMBING ROUGH-IN _____           | ELECTRICAL ROUGH-IN _____    |
| MECHANICAL ROUGH-IN _____         | GAS ROUGH-IN _____           |
| FRAMING _____                     | EARLY POWER RELEASE _____    |
| FINAL PLUMBING _____              | FINAL ELECTRICAL _____       |
| FINAL MECHANICAL _____            | FINAL GAS _____              |
| FINAL ROOF _____                  | BUILDING FINAL _____         |

JAN 26 2005

BY: \_\_\_\_\_

### Town of Sewall's Point BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: 1/26/05

OWNER/TITLEHOLDER NAME: KAREN JANSON Phone (Day) \_\_\_\_\_ (Fax) \_\_\_\_\_

Job Site Address: 132 S. River Dr. City: SEWALLS PT State: FL Zip: \_\_\_\_\_

Legal Desc. Property (Subd/Lot/Block) \_\_\_\_\_ Parcel Number: \_\_\_\_\_

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: A/C Equipment Replacement.

#### WILL OWNER BE THE CONTRACTOR?:

YES  NO

(If no, fill out the Contractor & Subcontractor sections below)  
(If yes, Owner Builder Affidavit must accompany application)

#### COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 9800.00  
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

Is improvement cost 50% or more of Fair Market Value? YES  NO

Method of Determining Fair Market Value: \_\_\_\_\_

CONTRACTOR/Company: Honest Air, Inc. Phone: 772-232-1114 Fax: 772-232-1118

Street: 879 N.E. Dixie Hwy #4-5 City: Jensen Beach State: FL Zip: 34957

State Registration Number: CAC-058508 State Certification Number: CAC-058508 Martin County License Number: CAC-058508

#### SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
 Mechanical: Honest Air, Inc. State: FL License Number: CAC-058508  
 Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
 Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_  
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_  
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_  
Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

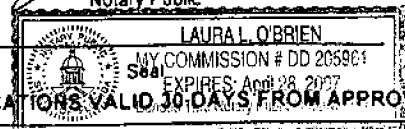
OWNER OR AGENT SIGNATURE (required)  
Karen M. Janson

State of Florida, County of: MARTIN

This the 26th day of JANUARY, 2005

by KAREN M. JANSON who is personally known to me or produced FLDL 0525123-66-680-0 as identification. [Signature] X5/22/07

My Commission Expires \_\_\_\_\_



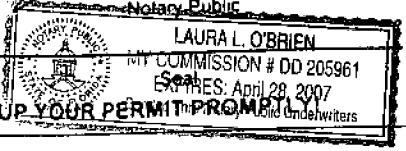
CONTRACTOR SIGNATURE (required)  
[Signature]

On State of Florida, County of: MARTIN

This the 26 day of JAN, 2005

by MITCHELL MAZZILCA who is personally known to me or produced FLDL MO 10548-67-241-0 as identification. [Signature] # 711/06

My Commission Expires \_\_\_\_\_



# ACORD CERTIFICATE OF LIABILITY INSURANCE

SLB  
U022 DATE  
01-26-2005

**PRODUCER**  
NORTHEAST AGENCIES, INC/PHS  
210619 P:(866)467-8730 F:(800)308-5459  
4401 MIDDLE SETTLEMENT ROAD  
NEW HARTFORD NY 13413

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

**INSURED**  
HONEST AIR INC.  
879 NE DIXIE HIGHWAY #4-5  
JENSEN BEACH FL 34957

INSURER A: Hartford Casualty Ins Co

INSURER B:

INSURER C:

INSURER D:

INSURER E:

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

BUSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	<b>GENERAL LIABILITY</b>	01 SBM ND0026	03/01/04	03/01/05	EACH OCCURRENCE \$300,000
	<input type="checkbox"/> COMMERCIAL GENERAL LIABILITY				FIRE DAMAGE (Any one fire) \$300,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person) \$10,000
	<input checked="" type="checkbox"/> Business Liab				PERSONAL & ADV INJURY \$300,000
	GEN'L AGGREGATE LIMIT APPLIES PER:				GENERAL AGGREGATE \$600,000
	<input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				PRODUCTS - COMP/OP AGG \$600,000
	<b>AUTOMOBILE LIABILITY</b>				
<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$	
<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident) \$	
<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident) \$	
<input type="checkbox"/> HIRED AUTOS					
<input type="checkbox"/> NON-OWNED AUTOS					
<b>GARAGE LIABILITY</b>					AUTO ONLY - EA ACCIDENT \$
<input type="checkbox"/> ANY AUTO				OTHER THAN AUTO ONLY: EA ACC \$	
				AGG \$	
<b>EXCESS LIABILITY</b>					EACH OCCURRENCE \$
<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE					AGGREGATE \$
<input type="checkbox"/> DEDUCTIBLE					\$
<input type="checkbox"/> RETENTION \$					\$
<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b>					WC STATU-TORY LIMITS OTH-ER
					E.L. EACH ACCIDENT \$
					E.L. DISEASE - EA EMPLOYEE \$
					E.L. DISEASE - POLICY LIMIT \$
<b>OTHER</b>					

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLE S/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

Those usual to the Insured's Operations.

CERTIFICATE HOLDER

ADDITIONAL INSURED; INSURER LETTER:

CANCELLATION

TOWN OF SEWALLS POINT  
1 SOUTH SEWALLS POINT RD  
SEWALLS POINT FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE (10 DAYS FOR NON-PAYMENT) TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE  
*R. J. [Signature]*

# ACORD CERTIFICATE OF LIABILITY INSURANCE

YD 0076 DATE 01-26-2005

**PRODUCER**  
 PAYCHEX AGENCY, INC  
 210705 P:(877)287-1312 F:(877)287-1315  
 308 FARMINGTON AVE  
 FARMINGTON CT 06032

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**INSURERS AFFORDING COVERAGE**

**INSURED**  
 HONEST AIR INC.  
 879 NE DIXIE HIGHWAY #4-5  
 JENSEN BEACH FL 34957

INSURER A	Twin City Fire Ins Co
INSURER B:	
INSURER C:	
INSURER D:	
INSURER E:	

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR. LTB	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
	<b>GENERAL LIABILITY</b> <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR  <input type="checkbox"/> GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LCC				EACH OCCURRENCE \$ FIRE DAMAGE (Any one fire) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP. OP AGG \$
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$
	<b>EXCESS LIABILITY</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE  <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
A	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b>	76 WEG NS3799	10/27/04	10/27/05	<input checked="" type="checkbox"/> WC STAT. - TOB. LIMITS OTH-ER E.L. EACH OCCIDENT \$100,000 E.L. DISEASE - EA EMPLOYEE \$100,000 E.L. DISEASE POLICY LIMIT \$500,000
	<b>OTHER</b>				

DESCRIPTION OF OPERATIONS, LOCATIONS, VEHICLES, EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

Those usual to the Insured's Operations.

CERTIFICATE HOLDER

TOWN OF SEWALLS POINT  
 1 S. SEWALLS POINT RD.  
 SEWALLS POINT, FL 34996

ADDITIONAL INSURER: INSTRUMENT LETTER:

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE (15 DAYS FOR NON-PAYMENT) TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE  




AC#1488418

STATE OF FLORIDA  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD  
SEC# E04071400619

DATE	BATCH NUMBER	LICENSE NBR
07/14/2004	000000000	CAC058508

The CLASS B AIR CONDITIONING CONTRACTOR  
Named Below IS CERTIFIED  
Under the provisions of Chapter 489, F.S.  
Expiration date: AUG 31, 2006



MAZZILLI, MITCHELL  
HONEST AIR INC  
50 N E DIXIE HIGHWAY #C-5  
STUART FL 34994

JEB BUSH  
GOVERNOR

DISPLAY AS REQUIRED BY LAW

DIANE CARR  
SECRETARY

**2004-2005 MARTIN COUNTY ORIGINAL  
COUNTY OCCUPATIONAL LICENSE**

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34908  
(772) 288-6604

LICENSE 2001-520-066 CERT CAC058508  
PHONE (772)232-1114 SAC NO 333319

LOCATION:  
879 NE DIXIE HWY 4&5 JB

**CHARACTER COUNTS IN MARTIN COUNTY**

PREV. YR \$	<u>.00</u>	LIC. FEE \$	_____
\$	<u>.00</u>	PENALTY \$	_____
\$	<u>.00</u>	OCL. FEE \$	_____
\$	<u>.00</u>	TRANSFER \$	_____
TOTAL			<u>25.00</u>



IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION OF  
**HVAC CONTRACTOR**

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

15 DAY OF SEPTEMBER 2004  
AND ENDING SEPTEMBER 2005

**MITCHELL  
AIR, INC.,  
DIXIE HWY # 5  
JENSEN BEACH FL 34957**

12 04091404 003660

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # \_\_\_\_\_

TAX POLIO # Parcel ID 133841010000006020000

**NOTICE OF COMMENCEMENT**

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

Kingston Court Lot #6

GENERAL DESCRIPTION OF IMPROVEMENT: upgrade A/C Equipment only (3 systems)

OWNER: Karen Tanson

ADDRESS: 132 S. River Dr. / Sevens Pt. Fl. 34996

PHONE #: \_\_\_\_\_

FAX #: \_\_\_\_\_

CONTRACTOR: Honest Air, Inc.

ADDRESS: 879 N/E Dixie Hwy #45 / Jensen Beach, Fl. 34957

PHONE #: 772-232-1114

FAX #: 772-232-1118

SURETY COMPANY (OPTIONAL): \_\_\_\_\_

ADDRESS: THIS IS TO CERTIFY THAT THE FOREGOING \_\_\_\_\_ PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.

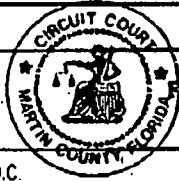
BOND AMOUNT: \_\_\_\_\_ BY MARSHA EWING, CLERK D.C.

LENDER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_

FAX #: \_\_\_\_\_



INSTR # 1809312  
OR BK 01976 PG 0375  
RECORDED 01/26/2005 11:56:13 AM  
MARSHA EWING  
CLERK OF MARTIN COUNTY FLORIDA  
RECORDED BY S Phoenix

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7, FLORIDA STATUTES:

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_

FAX #: \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: \_\_\_\_\_

FAX #: \_\_\_\_\_

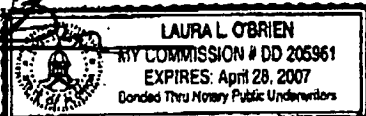
EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_ THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Karen M. Tanson  
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 26th DAY OF JANUARY

Karen M. Tanson

Laura L. O'Brien  
NOTARY SIGNATURE



PERSONALLY KNOWN  
PRODUCED ID J525513-66-687-0  
TYPE OF ID FLDV x5/22/05



7234

**TOWN OF SEWALL'S POINT**

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

**CORRECTION NOTICE**

ADDRESS: 132 S. RIVER RD.

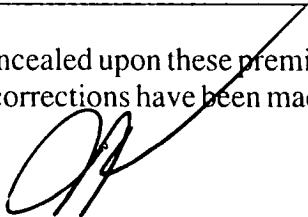
I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

A/C FINAL

EXISTING BREAKER EXCEED  
MAX ALLOWABLE BY  
MANUFACTURED FOR A/C  
& CONDENSER UNITS -

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 2/2



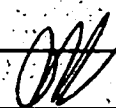
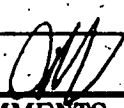
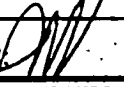



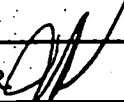
INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri FEB 2, 2005 Page 1 of 2

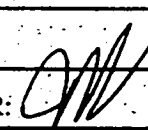

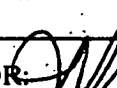
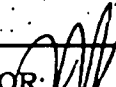
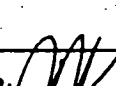
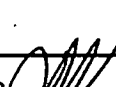
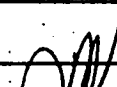
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7234	JANSON	FINAL A/C	66 FAIL	
2	132 S. RIVER RD HONEST AIR			INSPECTOR: 
7202	BABBITT	DOCK FINAL	FAIL	
4	76 S. SEWALLS Pt <del>113</del> HOMMES			INSPECTOR: 
6741	OSTEEN	ELEC ROUGH	PASS	
5	1 RIDGEVIEW ANGUS ENTERPR.	AC ROUGH FRAMING	PASS PASS	INSPECTOR: 
7164	WILCOX	FENCE REPAIR	PASS	CLOSE
3	95 S. RIVER RD ROOSTH CONST			INSPECTOR: 
7210	WILCOX	FRAMING	FAIL	
3	95 S. RIVER RD ROOSTH CONST.	PORECH + WINDOW REPAIR		INSPECTOR: 
7253	FLAUGH	DEYN	PASS	
9	14 N. RIVER ROAD DENEMARK			INSPECTOR: 
7043	GOLNIK	REROOF	FAIL	
7	4 S. VIA LUCINDIA O/B			INSPECTOR: 

OTHER: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri FEB 9, 2005 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6741	OSTEEN	INSULATION	FAIL	
11	1 RIDGEVIEW ANGUS ENTERPRISE			INSPECTOR: 
7178	BAUMGARTNER	FINAL ROOF	PASS	CLOSE
13	3 BANYAN RD ROBERT E. STEIN			INSPECTOR: 
7237	JANSON	FINAL A/C	PASS	CLOSE
4	132 S. RIVER RD HONESTAR (NOT BEW 8-8:45 please)			INSPECTOR: 
7177	BRAND	FINAL ROOF	PASS	CLOSE
277	4 E. HIGH POINT LYNN TITUS			INSPECTOR: 
TREE	CRANE	TREE	PASS	
10	2 TIMOR			INSPECTOR: 
7119	ROSE	TIN TAG + METAL	FAIL	
14	4 INDIANUCIE Pkwy PACIFIC ROOFING			INSPECTOR: 
6480	WADE	FINAL ADDITION	<del>PASS</del>	
1	9 E. HIGH POINT PINE ORCHARD BUDS (EARLY PLEASE)		FAIL	INSPECTOR: 
OTHER: 170 S. S.P.R.				

**9207**

**SIDING**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9207	DATE ISSUED:	JULY 21, 2009
SCOPE OF WORK:	REPLACE DAMAGED SIDING		
CONDITIONS:			
CONTRACTOR:	CZAPLICKI CARPENTERS		
PARCEL CONTROL NUMBER:	133841-010-000-000602	SUBDIVISION	KINGSTON CT - LOT 6
CONSTRUCTION ADDRESS:	132 S RIVER RD		
OWNER NAME:	JANSON		
QUALIFIER:	ALLEN CZAPLICKI	CONTACT PHONE NUMBER:	772-336-5206

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**



RECEIVED  
DATE: 7-21-09  
TOWN OF SEWALL'S POINT

Town of Sewall's Point

Date: 7/21/2009 BUILDING PERMIT APPLICATION Permit Number: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: KAREN JANSON Phone (Day) 287-9218 (Fax) Same

Job Site Address: 132 S. RIVER RD City: Stuart State FL Zip: 34996

Legal Description Kingston Cove Lot 6 Parcel Control Number: 13-38-41-010-000-00060-2

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Scope of work (please be specific): REPLACE DAMAGED SIDING AT 6 AREAS - TERMITE & ROT

WILL OWNER BE THE CONTRACTOR?  
(If yes, Owner Builder questionnaire must accompany application)  
YES \_\_\_\_\_ NO

Has a Zoning Variance ever been granted on this property?  
YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)  
Estimated Value of Improvements: \$ 800  
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
Is subject property located in flood hazard area? VE10 AE9 AE8 X  
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:  
Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
(Fair Market Value of the Primary Structure only, Minus the land value)  
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: CZAPLICKI CARPENTRY LLC Phone: 772-336-5206 Fax: \_\_\_\_\_

Street: 119 SW DEGOVERN TERR City: PT. ST. LUCIE State: FL Zip: 34984

State License Number: CGC 007461 OR: Municipality: \_\_\_\_\_ License Number: \_\_\_\_\_

LOCAL CONTACT: \_\_\_\_\_ Phone Number: \_\_\_\_\_

DESIGN PROFESSIONAL: \_\_\_\_\_ Lic# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/ Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_

Carport: \_\_\_\_\_ Total under Roof \_\_\_\_\_ Elevated Deck: \_\_\_\_\_ Enclosed area below BFE\*: \_\_\_\_\_  
\* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007  
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*

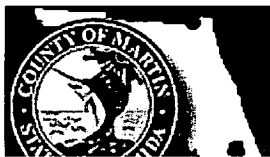
APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)  
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)  
*Karen Janson*  
State of Florida, County of: Martin  
This the 21st day of July  
by Karen Janson who is personally known to me or produced FDL# 1525-510 as identification.  
*Valerie Meyer*  
Notary Public

CONTRACTOR SIGNATURE: (required)  
*Allen W. Czaplack*  
On State of Florida, County of: Martin  
This the 21st day of July  
by Allen W. Czaplack who is personally known to me or produced FDL# C142-019-09259-0 as identification.  
*Valerie Meyer*  
Notary Public

My Commission Expires: \_\_\_\_\_ My Commission Expires: \_\_\_\_\_

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



**Martin County, Florida**  
**Laurel Kelly, C.F.A**

Site Provided by...  
 governmax.com T1.13

**Summary**

print Owner 2 of 4

**Parcel Info**

- Summary**
- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
13-38-41-010-000-00060-2	132 S RIVER RD	27856	Owner	0	1

**Summary**

**Property Location** 132 S RIVER RD  
**Tax District** 2200 Sewall's Point  
**Account #** 27856  
**Land Use** 101 0100 Single Family  
**Neighborhood** 120400  
**Acres** 0.380

**Legal Description**  
**Property Information**  
 KINGSTON COURT LOT 6

**Search By**

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

**Owner Information**  
**Owner Information**  
 JANSON, LARS A & KAREN M

**Mail Information**  
 132 S RIVER RD  
 STUART FL 34996

**Assessment Info**  
**Front Ft.** 0.00

**Market Land Value** \$242,250  
**Market Impr Value** \$298,600  
**Market Total Value** \$540,850

**Site Functions**

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

**Recent Sale**  
**Sale Amount** \$374,500

**Sale Date** 10/30/2000  
**Book/Page** 1534 2519

Print | Back to List | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 6/22/2009



**NOTICE OF COMMENCEMENT**  
*TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00*

PERMIT #: \_\_\_\_\_ TAX FOLIO #: \_\_\_\_\_

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):  
\_\_\_\_\_

GENERAL DESCRIPTION OF IMPROVEMENT: \_\_\_\_\_

OWNER NAME: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

INTEREST IN PROPERTY: \_\_\_\_\_  
NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):  
\_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

SURETY COMPANY (IF ANY): \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_  
BOND AMOUNT: \_\_\_\_\_

LENDER/MORTGAGE COMPANY: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_  
( EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

**WARNING TO OWNER:** ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

SIGNATORY'S TITLE/OFFICE \_\_\_\_\_

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

BY: \_\_\_\_\_ AS \_\_\_\_\_ FOR \_\_\_\_\_  
NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN \_\_\_\_\_ OR PRODUCED IDENTIFICATION \_\_\_\_\_

TYPE OF IDENTIFICATION PRODUCED \_\_\_\_\_ NOTARY SIGNATURE/ SEAL \_\_\_\_\_

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

\_\_\_\_\_  
(Signature of Natural Person Signing Above)

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 7-23 2009 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9201	Greenpan	Buck		
1PM	3 Oakhill Stephen Conway		Pass	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>9201</del>	<del>Janson</del>	<del>Final</del>	<del>Pass</del>	<del></del>
	1325 River Rd Czuplicki Const	<del>Final</del>	<del>Pass</del>	Close INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

**9363**

**REPLACE SIDING**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9363	DATE ISSUED:	FEBRUARY 4, 2010
SCOPE OF WORK:	REPLACE DAMAGED SIDING		
CONDITIONS :			
CONTRACTOR:	JC CONTRACTOR		
PARCEL CONTROL NUMBER:	133841-010-000-000602	SUBDIVISION	KINGSTON CT - LOT 6
CONSTRUCTION ADDRESS:	132 S RIVER RD		
OWNER NAME:	JANSON		
QUALIFIER:	JOSEPH COLE	CONTACT PHONE NUMBER:	772-634-2357

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

RECEIVED  
2-11-10

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: Feb 4, 2010

OWNER/TITLEHOLDER NAME: KAREN JANSON Phone (Day) 287-9218 (Fax) \_\_\_\_\_

Job Site Address: 132 S. RIVER RD City: STUART State: FL Zip: 34996

Legal Description: Kingston Court Lot 6 Parcel Control Number: 13-38-41-010-000-00060-2

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Scope of work (please be specific): REPLACE DAMAGED SIDING AT 6 AREAS

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application)  
YES \_\_\_\_\_ NO

Has a Zoning Variance ever been granted on this property?

YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 800.00

(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10 AE9 AE8 X

FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

(Fair Market Value of the Primary Structure only, Minus the land value)

PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: J.C. CONTRACTOR LLC Phone: 772-634-2357 Fax: \_\_\_\_\_

Street: PO Box 1781 City: PALM CITY State: FL Zip: 34991

State License Number: CBC 1257826 OR: Municipality: \_\_\_\_\_ License Number: \_\_\_\_\_

LOCAL CONTACT: \_\_\_\_\_ Phone Number: \_\_\_\_\_

DESIGN PROFESSIONAL: \_\_\_\_\_ Lic# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/ Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_

Carport: \_\_\_\_\_ Total under Roof \_\_\_\_\_ Elevated Deck: \_\_\_\_\_ Enclosed area below BFE\*: \_\_\_\_\_

\* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007  
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

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4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)

OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

*Karen Janson*  
State of Florida, County of: Martin

This the 4th day of Feb

by KAREN JANSON who is personally known to me or produced as identification. FD# 525-513-606

*Valerie Meyer*  
Notary Public  
My Commission Expires: \_\_\_\_\_

CONTRACTOR SIGNATURE: (required)

*Joseph R. Cole*  
On State of Florida, County of: Martin

This the 4th day of Feb

by JOSEPH R. COLE who is personally known to me or produced as identification. FD# 2400-496-606

*Valerie Meyer*  
Notary Public  
My Commission Expires: \_\_\_\_\_

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



**Martin County, Florida**  
**Laurel Kelly, C.F.A**

Site Provided by...  
governmax.com T1.14

**Summary**

print Owner  
2 of 4

**Parcel Info**

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
13-38-41-010-000-00060-2	132 S RIVER RD	27856	Owner	0	1

**Summary**

- Land
- Residential Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

**Summary**

**Property Location** 132 S RIVER RD  
**Tax District** 2200 Sewall's Point  
**Account #** 27856  
**Land Use** 101 0100 Single Family  
**Neighborhood** 120400  
**Acres** 0.380

**Legal Description**  
**Property Information**  
 KINGSTON COURT LOT 6

**Search By**

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

**Owner Information**  
**Owner Information**  
 JANSON, LARS A & KAREN M

**Mail Information**  
 132 S RIVER RD  
 STUART FL 34996

**Assessment Info**  
**Front Ft.** 0.00

**Market Land Value** \$229,500  
**Market Impr Value** \$265,190  
**Market Total Value** \$494,690

**Site Functions**

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

**Recent Sale**  
**Sale Amount** \$374,500

**Sale Date** 10/30/2000  
**Book/Page** 1534 2519

Print | Back to List | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 01/27/2010





# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri **3-5-10** Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9377	Dudich	Trial		Close
	BMuamar	Garage		Pass
	D+D Garage	Door		INSPECTOR <i>JT</i>
9327	WOODS			
	32 E. HIGH PT	FOOTER	RESERVED	FOR MONDAY
	CAPITAL AUTO FAC			INSPECTOR
9363	<del>Janson</del>	<del>FINISH</del>	<del>PASS</del>	<del>Close</del>
	<del>1371 S. RIVER</del>	<del>SIDING</del>	<del>PASS</del>	<del>INSPECTOR</del>
	J. C. CONTRACTOR			INSPECTOR <i>JT</i>
9344	WOODS			READY FOR
	32 E. HIGH PT	TEMP POLE	PASS	FPL ✓
	CAPITAL			INSPECTOR <i>JT</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

**9858**

**RE-ROOF**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9858	DATE ISSUED:	AUGUST 16, 2011
SCOPE OF WORK:	REROOF - FLAT & PITCHED METAL		
CONDITIONS :			
CONTRACTOR:	CURTIS SMITH CONSTRUCTION		
PARCEL CONTROL NUMBER:	133841010-000-000602	SUBDIVISION	KINGSTON CT - LOT 6
CONSTRUCTION ADDRESS:	132 S RIVER RD		
OWNER NAME:	JANSON		
QUALIFIER:	CURTIS SMITH	CONTACT PHONE NUMBER:	561-768-2409

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: 9858

9858

Date: 6/6/11

OWNER/TITLEHOLDER NAME: Karen Lars Janson Phone (Day) 772 297 9218 (Fax) SAME

Job Site Address: 132 South River Road City: Stuart State: FL Zip: 34996

Legal Description Kingston Court Lot 6 Parcel Control Number: 13-38-41-010000-0060-2

Owner Address (if different): City: State: Zip:

Scope of work (please be specific): RE-ROOF, FLAT & PITCHED METAL

WILL OWNER BE THE CONTRACTOR? (If yes, Owner Builder questionnaire must accompany application) YES NO X
Has a Zoning Variance ever been granted on this property? YES (YEAR) NO X
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications) Estimated Value of Improvements: \$ 18,500
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ 249,130
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: Curtis Smith Construction Phone: 561-768-2409 Fax: 561-746-1361
Street: 10141 Sandy Run Road City: Jupiter State: FL Zip: 33478

State License Number: CC1328544 OR: Municipality: License Number:

LOCAL CONTACT: Kevin Smith Phone Number: 768-2409

DESIGN PROFESSIONAL: License Number:

Street: 231794 all City: State: Zip:

AREAS SQUARE FOOTAGE: Living: Garage: Covered Patios/ Porches: 2000 Enclosed Storage:

Carport: Total under Roof Elevated Deck: Enclosed area below BFE\*:

\* Enclosed non-habitable areas below the Base Flood Elevation greater than 18 inches require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required) OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)
State of Florida, County of: MARTIN
This the 6th day of June, 2011
by Karen Janson who is personally known to me or produced as identification.

CONTRACTOR SIGNATURE: (required)
On State of Florida, County of:
This the 14 day of June, 2011
by Curtis Smith who is personally known to me or produced as identification.

Notary Public State of Florida Julia R Mathes My Commission DD981244 Expires 05/08/2014

Notary Public Mary Lynn Burchard My Commission Expires: 2-14-2014

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 180 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.2) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY

My commission expires 02/14/2014 Acting in the County of Manistee



# CURTIS SMITH CONSTRUCTION, LLC

State Licensed & Insured CCC1328544

November 8, 2010

Lars and Karen Janson  
132 S River Rd  
Stuart, FL 34996

To Lars and Karen:

We are pleased to submit our proposal for the installation of a new GAF 3 Ply Hot Asphalt Flat Roofing System on the flat deck located and a new 5V Crimp Metal roof on the pitched section on your property at 132 S River Rd in Stuart, FL in the amount of Eighteen Thousand Five Hundred Dollars (~~\$18,500.00~~). The bid details are as follows:

- **ASBESTOS:** The State of Florida requires all commercial buildings or residential buildings consisting of more than four dwellings and buildings with a square footage greater than 5,580 to submit a "Statement of Responsibilities Regarding Asbestos", "Notice of Demolition or Asbestos Renovation" forms accompanied by an Asbestos Survey Report. The Asbestos Survey Report must be conducted by a licensed Asbestos testing company. Curtis Smith Construction, LLC will coordinate the inspection and the report, if the report comes back negative for Asbestos, we will submit the report to the county/city to obtain the roofing permit. If the report comes back positive for Asbestos, Asbestos abatement will be required. If Asbestos abatement is required a quote will be provided for the costs to remove the Asbestos.
- Please Note: Currently Martin County Building Department is not enforcing this code.**
- **EXISTING ROOFING SYSTEM:** All existing roofing materials will be removed and disposed of exposing the wood deck of the roof and off the parapet walls.
  - **DECKING:** An inspection will be conducted of the wood decking. All minor repairs will be completed as necessary to the roof. This includes the deck being re-nailed to Florida Codes. Any areas of the wood decking that are damaged beyond repair will be replaced at an additional cost of \$3.50 sq ft. Any areas of the fascia and/or trussing that are damaged beyond repair will be replaced at an additional cost of \$5.00 ln ft. Any areas where the furring strips under the drip edge require replacement will be replaced at an additional cost of \$2.00 ln ft.
  - **INSULATION:** After the deck has been renailed, 1.5" ISO Board Insulation with an R Value of 9 will be installed and will be mechanically fastened over the flat deck. Once the ISO board is down a High Density Rigid Insulation board will be adhered to the ISO boards using Hot Asphalt.

10141 SANDY RUN RD JUPITER, FL 33478 P(561)768-2409 F(561)746-1361

Aug 22 2011 12:25PM HP LASERJET FAX

772-287-2455

Page 1

*OR*



**TOWN OF SEWALL'S POINT BUILDING DEPARTMENT**  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

**VERIFICATION OF CONTRACTOR**

BUILDING PERMIT NUMBER: 9858

\*\*\*IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: LARS & KAREN JANSON

CONSTRUCTION ADDRESS: 132 S RIVER RD

PERMIT TYPE:  RESIDENTIAL  COMMERCIAL

- ELECTRIC
- PLUMBING
- HVAC
- IRRIGATION
- FUEL GAS
- ROOFING

TYPE OF SERVICE:  NEW SERVICE  EXISTING SERVICE  OTHER

SCOPE OF WORK: PLYWOOD SHEATHING INSTALLATION

VALUE OF CONSTRUCTION \$ \_\_\_\_\_

LOW VOLTAGE	
TYPE OF EQUIPMENT: <input type="checkbox"/> SECURITY <input type="checkbox"/> VACUUM <input type="checkbox"/> SOUND SYSTEM <input type="checkbox"/> LANDSCAPE <input type="checkbox"/> OTHER	
SCOPE OF WORK: _____	VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

\_\_\_\_\_  
SIGNATURE OF LICENSED CONTRACTOR      6671 W. INDIANTOWN RD., SUITE 5013, JUPITER, FL 33458  
ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: ARC-MA, INC. - MORRIS AMAYA

TELEPHONE NO: 561 575 6949 FAX NO: 561 575 6997  
PLEASE PRINT

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: CGC 050929

\*\* WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

\*\*\*VERIFICATION OF PARCEL CONTROL NUMBER\*\*\*

OWNER'S FULL NAME AS STATED ON DEED: \_\_\_\_\_

PARCEL CONTROL #: \_\_\_\_\_

SUBDIVISION: \_\_\_\_\_ LOT: \_\_\_\_\_ BLK: \_\_\_\_\_ PHASE: \_\_\_\_\_

SITE ADDRESS: \_\_\_\_\_

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

**NOTICE OF COMMENCEMENT**  
**TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00**

PERMIT #: \_\_\_\_\_ TAX FOLIO #: 13-38-41-010-000-0060-2

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):  
KINGSTON COURT LOT 6, 132 S RIVER RD STUART, FL 34996

GENERAL DESCRIPTION OF IMPROVEMENT: Flat roof and pitched metal roof replacement

OWNER NAME: Karen Janson  
 ADDRESS: 132 South River Road  
 PHONE NUMBER: 772-287-9218 FAX NUMBER: Same

INTEREST IN PROPERTY: OWNER  
 NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

CONTRACTOR: Curtis Smith Construction LLC  
 ADDRESS: 10141 Sandy Creek Road Winter FL 33478  
 PHONE NUMBER: 561-768-2409 FAX NUMBER: 801-746-1361

(Run)

SURETY COMPANY (IF ANY): \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_  
 BOND AMOUNT: \_\_\_\_\_

LENDER/MORTGAGE COMPANY: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B),

FLORIDA STATUES: \_\_\_\_\_  
 PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_  
 ( EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

**WARNING TO OWNER:** ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Karen Janson  
 SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER  
 SIGNATORY'S TITLE/OFFICE \_\_\_\_\_

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 7 DAY OF June 2011

BY: KAREN JANSON AS Owner FOR KAREN JANSON  
 NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF

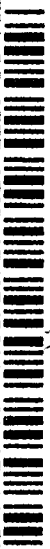
PERSONALLY KNOWN  OR PRODUCED IDENTIFICATION \_\_\_\_\_  
 TYPE OF IDENTIFICATION PRODUCED \_\_\_\_\_

Julia R Mathes  
 NOTARY SIGNATURE/ SEAL  
 Notary Public State of Florida  
 My Commission DD981244  
 Expires 05/08/2014

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

Karen Janson  
 (Signature of Natural Person Signing Above)

INSTR # 2282615 DR BK 02526 PG 0357 RECD 07/07/2011 01:15:16 PM  
 MARSHA EWING MARTIN COUNTY DEPUTY CLERK S Phoenix



# TitleBar

generated on 11/8/2010 10:29:35 AM EST

## Summary

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
13-38-41-010-000-00060-2	27856	132 S RIVER RD, SEWALL'S POINT	\$444,930	10/23/2010

### Owner Information

<b>Owner(Current)</b>	JANSON LARS A & KAREN M
<b>Owner/Mail Address</b>	132 S RIVER RD STUART FL 34996
<b>Sale Date</b>	10/30/2000
<b>Document Number</b>	JMB
<b>Document Reference No.</b>	1534 2519
<b>Sale Price</b>	374500

### Location/Description

<b>Account #</b>	27856	<b>Map Page No.</b>	SP-05
<b>Tax District</b>	2200	<b>Legal Description</b>	KINGSTON COURT LOT 6
<b>Parcel Address</b>	132 S RIVER RD, SEWALL'S POINT		
<b>Acres</b>	.3800		

### Parcel Type

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120400 Hmwd, Palm Ro, Kngstn, Okwd, Pine

### Assessment Information

<b>Market Land Value</b>	\$195,800
<b>Market Improvement Value</b>	\$249,130
<b>Market Total Value</b>	\$444,930



TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
FILE COPY

RE-ROOF CERTIFICATION

PERMIT # \_\_\_\_\_

CONTRACTOR'S NAME: CURTIS SMITH CONSTRUCTION PHONE #: 561-768-2489 FAX: 561-746-1361

OWNER'S NAME: LARS & KAREN JANSON

CONSTRUCTION ADDRESS: 132 S RIVER RD CITY SEWALL'S POINT STATE FL

RE-ROOF:  RESIDENTIAL(SINGLE FAMILY)

COMMERCIAL \*\*--REMOVE/REINSTALL ROOF TOP HVAC EQUIP  YES  NO

\*\*...DISCONNECT/RECONNECT HVAC ELECTRIC  YES  NO

\*\* REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

RE-ROOF DEEMED TO COMPLY WITH 553.844 F. S.  YES  NO - INSURED VALUE OF RESIDENCE \$249,130

ROOF TYPE:  HIP  BOSTON-HIP  GABLE  FLAT  OTHER

ROOF PITCH: 6 /12 SLOPE

ROOF DECK:\*  SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED

RE-SHEATH - (REMOVAL OF SPACED SHEATHING/PLYWOOD FOR APPLICATION OF NEW PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD AS PER FLORIDA BUILDING CODE "2004".

SPACED SHEATH FILL-IN - SPACES BETWEEN EXISTING SPACED-SHEATHING BOARD MAY BE FILLED-IN WITH BOARDS OF THE SAME SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2004".

EXISTING DECK TO REMAIN/REPAIRED & RENAILED

EXISTING ROOF COVERING: SV METAL EXISTING COVERING TO BE REMOVED? YES  NO

PROPOSED NEW ROOF COVERING: SV CRIMP METAL

MANUFACTURER DAN'S CUSTOM SHEET METAL PRODUCT NAME SV PRODUCT APPR # 08-0110.09

(APPROVED ROOF COVERING MATERIAL WITH CURRENT FLORIDA PRODUCT APPROVAL)  
MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

\*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION.

PROPOSED FLASHING:  GALV./STEEL  ALUMINUM  COPPER  OTHER

RIDGEVENT TO BE INSTALLED:  YES  NO

DESCRIPTION OF WORK: REPLACEMENT OF THE EXISTING SV METAL ROOF WITH A NEW SV METAL ROOF.

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

[Signature]  
SIGNATURE OF CONTRACTOR

DATE: 6/26/11

RE-ROOF CERTIFICATION

PERMIT # \_\_\_\_\_

CONTRACTOR'S NAME: CURTIS SMITH CONSTRUCTION, LLC PHONE #: 561-768-2409 FAX: 561-746-1361

OWNER'S NAME: LARS & KAREN JANSON

CONSTRUCTION ADDRESS: 132 S RIVER RD CITY: SEWALL'S POINT STATE: FL

RE-ROOF: [X] RESIDENTIAL(SINGLE FAMILY) [ ] COMMERCIAL \*\*--REMOVE/REINSTALL ROOF TOP HVAC EQUIP [ ] YES [ ] NO

\*\*...DISCONNECT/RECONNECT HVAC ELECTRIC [ ] YES [ ] NO

\*\* REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

RE-ROOF DEEMED TO COMPLY WITH 553.844 F. S. [X] YES [ ] NO - INSURED VALUE OF RESIDENCE \$249,130

ROOF TYPE: [ ] HIP [ ] BOSTON-HIP [ ] GABLE [X] FLAT [ ] OTHER

ROOF PITCH: 1/2" /12 SLOPE

ROOF DECK: \* [ ] SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED RE-SHEATH - (REMOVAL OF SPACED SHEATHING/PLYWOOD FOR APPLICATION OF NEW PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD AS PER FLORIDA BUILDING CODE "2004". [ ] SPACED SHEATH FILL-IN - SPACES BETWEEN EXISTING SPACED-SHEATHING BOARD MAY BE FILLED-IN WITH BOARDS OF THE SAME SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2004". [X] EXISTING DECK TO REMAIN/REPAIRED & RENAILED

EXISTING ROOF COVERING: BUR EXISTING COVERING TO BE REMOVED? YES [ ] NO [X]

PROPOSED NEW ROOF COVERING: BUR

MANUFACTURER: GAF PRODUCT NAME: BUR PRODUCT APPR #: 07-1219.09

(APPROVED ROOF COVERING MATERIAL WITH CURRENT FLORIDA PRODUCT APPROVAL) MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

\*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION.

PROPOSED FLASHING: [X] GALV./STEEL [ ] ALUMINUM [ ] COPPER [ ] OTHER

RIDGEVENT TO BE INSTALLED: [ ] YES [X] NO

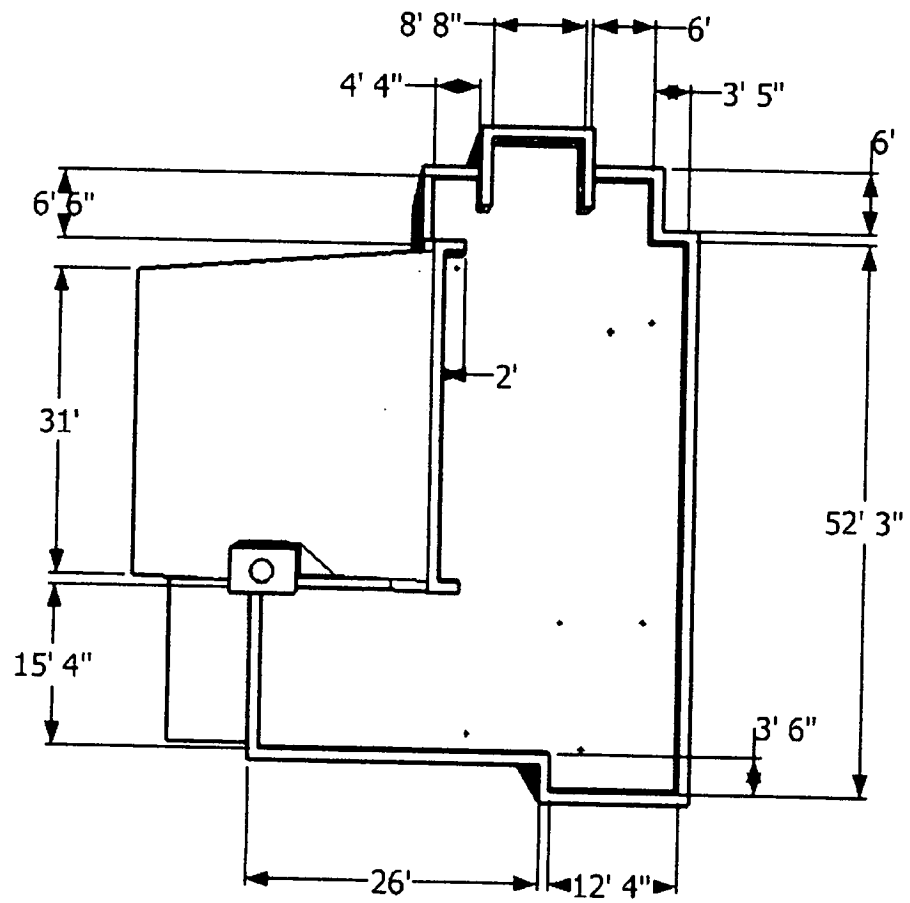
DESCRIPTION OF WORK: REMOVAL OF EXISTING FLAT ROOF & REPLACEMENT WITH NEW BUR FLAT ROOF

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

SIGNATURE OF CONTRACTOR: [Signature] DATE: 6/26/11



132 S River Rd  
Top View



**RESIDENTIAL REROOF WINDSTORM LOSS  
MITIGATION CERTIFICATION (FLORIDA STATUTE 553.844)**

The following information is to be provided by roofing contractor or owner/builder on all re-roof applications for the purpose of obtaining compliance with recent changes to State Statute and referenced "Hurricane Mitigation Manual". Effective date: October 1, 2007.

Note: These requirements apply to residential structures built prior to implementation of the FBC on March 1, 2002.

- Value: show proof of insured value of residential structure or a copy of the ad-valorem tax value.
- Provide copy of contract

All re-roofs regardless of value shall comply with the following:

Re-nailing: All sheathing and decking shall be re-nailed per section 201.1 and a secondary water barrier installed.

- Existing fasteners that are 8d clipped head, round head or ring shank and spaced 6 in. or less o.c. may be counted. Additional fasteners shall be 8d ring shank nails with round heads spaced at 6 in. o.c. along framing.
- Indicate below which method is to be used to satisfy the secondary water barrier requirements:

\_\_\_\_\_ All joints in roof sheathing shall be covered with a minimum of 4 in. strip of self-adhering polymer modified bitumen tape. Wood deck and self-adhering tape shall be covered by one layer of approved underlayment.

\_\_\_\_\_ Entire roof deck shall be covered with an approved self-adhering polymer modified bitumen cap sheet. No additional underlayment is required.

✓  
\_\_\_\_\_ Outside of the HVHZ, an underlayment complying with section 1507.2.3 of the Florida Building Code, Building fastened as described below or a layer of asphalt impregnated approved #30 felt shall be installed. The felt is to be fastened with 1" round plastic cap or metal cap nails, attached to a nailable deck in a grid pattern of 12 inches (305 mm) staggered between the overlaps, with 6-inch (152 mm) spacing at the overlaps. For slopes of 2:12 to 4:12 an additional layer of felt shall be installed in a single-fashion and lapped 19" and fastened as described above. (No additional underlayment shall be required over the top of this sheet.)

\_\_\_\_\_ Exception: An approved 30# underlayment installed per HVHZ using nails and tin-tags and covered with an approved self-adhering polymer modified bitumen cap sheet or an approved cap sheet hot-moped shall be deemed to meet the requirements for secondary water barrier.

Residential Structures valued at \$300,000 or more shall comply with the following:

- Roof to wall connections must be enhanced up to 15% additional cost of the re-roofing cost.
- A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
  1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
  2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
    - a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
    - b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
    - c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.

LICENSED GENERAL, BUILDING OR RESIDENTIAL CONTRACTORS'  
REROOF WINDSTORM LOSS MITIGATION COMPLIANCE AFFIDAVIT

A RESIDENTIAL STRUCTURE VALUED AT \$300,000 OR MORE SHALL COMPLY WITH THE FOLLOWING:

- Roof to wall connections must be enhanced up to 15% additional cost of the reroofing cost.
- A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
  1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
  2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
    - a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
    - b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
    - c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.

A RESIDENTIAL STRUCTURE VALUED AT \$750,000 OR MORE SHALL COMPLY WITH THE FOLLOWING:

When any activity requiring a building permit that is applied for on or after July 1, 2008, and for which the estimated cost is \$50,000 or more for a building that is located in the wind borne debris region as defined in s. 1609.2 of the Florida Building Code, Building:

- a. Opening protections as required within the Florida Building Code, Building or Florida Building Code, Residential for new construction shall be provided.

TO BE COMPLETED IF INSURED VALUE OF SINGLE FAMILY IS OVER \$300,000.00 AND WAS PERMITTED PRIOR TO MARCH 1, 2002.

YEAR PERMITTED \_\_\_\_\_ INSURED OR P.A. IMPROVED VALUE \$ \_\_\_\_\_

DETAILS OF MITIGATION WORK TO BE PERFORMED (Add additional sheets if necessary):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

JOB SITE ADDRESS: \_\_\_\_\_

QUALIFIER NAME: \_\_\_\_\_ LICENSE NO.: \_\_\_\_\_

COMPANY NAME: \_\_\_\_\_ PHONE NO.: \_\_\_\_\_

\_\_\_\_\_  
Qualifier's Signature

Date: \_\_\_\_\_

Sworn to and subscribed before me  
this \_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_

By \_\_\_\_\_

\_\_\_\_\_  
Notary Public, State of Florida  
Personally known to me \_\_\_\_\_  
Produced ID \_\_\_\_\_  
Type: \_\_\_\_\_

\_\_\_\_\_  
Owner's Signature

Date: \_\_\_\_\_

Sworn to and subscribed before me  
this \_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_

By \_\_\_\_\_

\_\_\_\_\_  
Notary Public, State of Florida  
Personally known to me \_\_\_\_\_  
Produced ID \_\_\_\_\_  
Type: \_\_\_\_\_



**BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908**

**NOTICE OF ACCEPTANCE (NOA)**

**Dan's Custom Sheet Metal  
5700 Washington Street  
Naples, FL 34109**

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by the BCCO and accepted by the Building Code and Product Review Committee to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The BCCO (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BCCO reserves the right to revoke this acceptance, if it is determined by BCCO that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code including the High Velocity Hurricane zone of the Florida Building Code.

**DESCRIPTION: D.C.S.M. 5V Crimp Panel**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This renews NOA# 05-0822.01 and consists of pages 1 through 7.  
The submitted documentation was reviewed by Alex Tigera.



**NOA No.: 08-0110.09  
Expiration Date: 05/08/13  
Approval Date: 03/27/08  
Page 1 of 7**

**ROOFING SYSTEM APPROVAL:**

Category: Roofing  
Sub-Category: Metal, Panels(Non-Structural)  
Material: Steel  
Deck Type: Wood  
Maximum Design Pressure -107 psf

**TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:**

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
D.C.S.M. 5V Crimp	l = varies w = 24" h = 1/2" min. 0.019" thick (41 ksi min. yield)	PA 100	Corrosion resistant, Galvalume metal panels.
Trim Pieces	l = varies w = varies min. 26 ga.	PA 100	Standard flashing and trim pieces. Manufactured for each panel width.

**TRADE NAMES OF PRODUCTS MANUFACTURED BY OTHERS:**

<u>Product</u>	<u>Dimensions</u>	<u>Product Description</u>	<u>Manufacturer</u>
Fasteners (Panel)	min. #9.screw	Corrosion resistant, #9-1 1/2" self drilling fasteners with neoprene sealing washers	generic

**EVIDENCE SUBMITTED:**

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
P.R.I.	PRI02056	PA 100	06/04/02
Hurricane Test Laboratory, Inc.	0302-0508-02 0302-0715-05	TAS 125 TAS 125	05/14/02 07/31/05



NOA No.: 08-0110.09  
 Expiration Date: 05/08/13  
 Approval Date: 03/27/08  
 Page 2 of 7



## APPROVED SYSTEMS:

<b>SYSTEM A:</b>	D.C.S.M. 5V Crimp Roof Panel
<b>Deck Type:</b>	Wood, Non-insulated
<b>Deck Description:</b>	New Construction or Re-roof $1\frac{9}{32}$ " or greater plywood or wood plank.
<b>Slope Range:</b>	2":12" or greater
<b>Maximum Uplift Pressure:</b>	The maximum allowable design pressure for the D.C.S.M. 5V Crimp metal roof panel shall be <b>-107psf (See System Limitation #1.)</b>
<hr/>	
<b>Deck Attachment:</b>	In accordance with applicable Building Code, but in no case shall it be less than 8d annular ring shank nails spaced 6" o.c. In reroofing, where the deck is less than $1\frac{9}{32}$ " thick (Minimum $1\frac{5}{32}$ ") The above attachment method must be in addition to existing attachment.
<b>Underlayment:</b>	Minimum underlayment shall be an ASTM D 226 Type II installed with a minimum 4" side-lap and 6" end-laps. Underlayment shall be fastened with corrosion resistant tin-caps and 12 gauge $1\frac{1}{4}$ " annular ring-shank nails, spaced 6" o.c. at all laps and two staggered rows 12" o.c. in the field of the roll. Or, any approved underlayment having a current NOA.
<b>Valleys:</b>	Valley construction shall be in compliance with Roofing Application Standard RAS 133 and with Dan's Custom Sheet Metal, Inc.' current published installation instructions.
<b>Fire Barrier Board:</b>	Any approved fire barrier having a current NOA, or for class A or B fire rating, install minimum $\frac{1}{4}$ " thick Georgia Pacific "Dens Deck" (with current NOA) or minimum 4mm thick of Tritex, RockRoof (with current NOA) or $\frac{5}{8}$ " water resistant type X gypsum sheathing with treated core and facer.
<b>Metal Panels and Accessories:</b>	<p>Install the "D.C.S.M. 5V Crimp Roof Panels" and accessories in compliance with Dan's Custom Sheet Metal, Inc' current, published installation instructions and details. Flashing, penetrations, valley construction and other details shall be constructed in compliance with the minimum requirements provided in Roofing Application Standards RAS 133. Panels shall be attached as follows:</p> <p>"D.C.S.M. 5V-Crimp Panels" shall be installed with a minimum #9-1<math>\frac{1}{2}</math>" corrosion resistant fasteners with neoprene sealing washers of sufficient length to penetrate a minimum of <math>\frac{5}{16}</math>" through the sheathing. Fasteners shall be place in accordance with fastener detail herein as follows:</p> <ol style="list-style-type: none"><li>1. Panel side ribs shall be fastened with one fastener along side of the panel inside ribs through the high point of the V. Center panel rib shall be fastened with one fastener through the high point of the V.</li><li>2. All fasteners at center rib, and overlap rib shall be spaced at a maximum of 16" o.c. parallel to the roof slope. See Profile Drawings herein.</li></ol>



<b>SYSTEM B:</b>	D.C.S.M. 5V Crimp Roof Panel
<b>Deck Type:</b>	Wood, Non-insulated
<b>Deck Description:</b>	Re-roof only ½" or greater plywood or wood plank.
<b>Slope Range:</b>	2":12" or greater
<b>Maximum Uplift Pressure:</b>	The maximum allowable design pressure for the D.C.S.M. 5V Crimp metal roof panel shall be <b>-61.75psf (See System Limitation #1.)</b>
<b>Deck Attachment:</b>	In accordance with applicable Building Code, but in no case shall it be less than 8d annular ring shank nails spaced 6" o.c. In reroofing, where the deck is less than 19/32" thick (Minimum 15/32") the above attachment method must be in addition to existing attachment.
<b>Underlayment:</b>	Minimum underlayment shall be an ASTM D 226 Type II installed with a minimum 4" side-lap and 6" end-laps. Underlayment shall be fastened with corrosion resistant tin-caps and 12 gauge 1 ¼" annular ring-shank nails, spaced 6" o.c. at all laps and two staggered rows 12" o.c. in the field of the roll. Or, any approved underlayment having a current NOA.
<b>Valleys:</b>	Valley construction shall be in compliance with Roofing Application Standard RAS 133 and with Dan's Custom Sheet Metal, Inc.' current published installation instructions.
<b>Fire Barrier Board:</b>	Any approved fire barrier having a current NOA. For class A or B fire rating, install minimum ¼" thick Georgia Pacific "Dens Deck" (with current NOA) or minimum 4mm thick of Tritex, RockRoof (with current NOA) or 5/8" water resistant type X gypsum sheathing with treated core and facer.
<b>Metal Panels and Accessories:</b>	Install the "D.C.S.M. 5V Crimp Roof Panels" and accessories in compliance with Dan's Custom Sheet Metal, Inc' current, published installation instructions and details. Flashing, penetrations, valley construction and other details shall be constructed in compliance with the minimum requirements provided in Roofing Application Standards RAS 133. Panels shall be attached as follows: <p>"D.C.S.M. 5V-Crimp Panels" shall be installed with a minimum #9-1½" corrosion resistant fasteners with neoprene sealing washers of sufficient length to penetrate a minimum of 5/16" through the sheathing. Fasteners shall be place in accordance with fastener detail herein as follows:</p> <ol style="list-style-type: none"> <li>1. Panel side ribs shall be fastened with one fastener along side of the panel inside ribs through the high point of the V. Center panel rib shall be fastened with one fastener through the high point of the V.</li> <li>2. All fasteners at center rib, and overlap rib shall be spaced at a maximum of 16 inches o.c. parallel to the roof slope. See Profile Drawings herein.</li> </ol>

**SYSTEM LIMITATIONS:**

1. The maximum designed pressure listed herein shall be applicable to all roof pressure zones (i.e. field, perimeters, and corners). Neither rational analysis, nor extrapolation shall be permitted for enhanced fastening at enhanced pressure zones (i.e. perimeters, extended corners and corners).
2. All panels shall be permanently labeled with the manufacturer's name and/or logo, and the following statement: "Miami-Dade County Product Control Approved" or with the Miami-Dade County Product Control Seal as seen below. All clips shall be permanently labeled with the manufacturer's name and/or logo, and/or model.

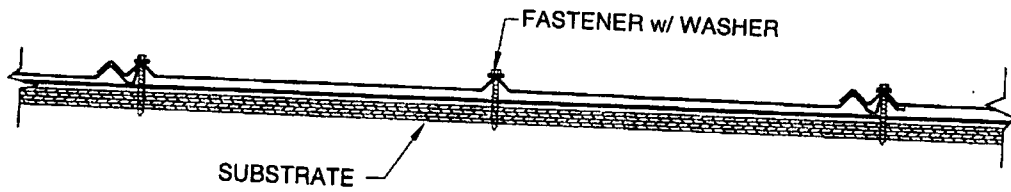
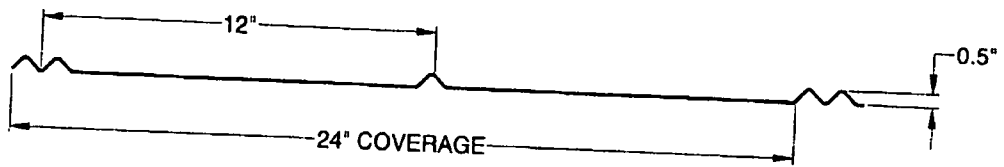


3. Fire classification is not part of this acceptance; refer to a current Approved Roofing Materials Directory for fire ratings of this product.
4. All products listed herein shall have a quality assurance audit in accordance with the Florida Building Code and Rule 9B-72 of the Florida Administrative Code.

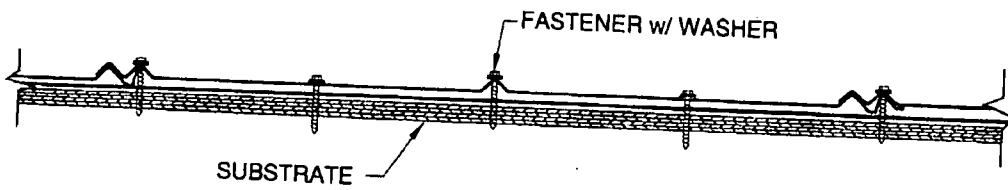


**PROFILE DRAWINGS:**

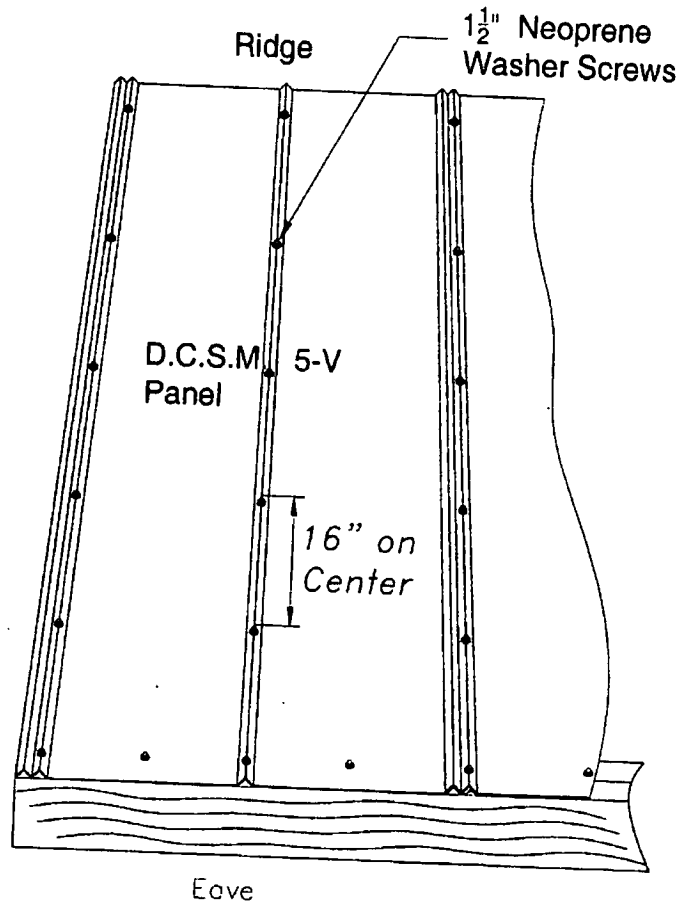
**D.C.S.M. 5V CRIMP METAL ROOF PANEL**



**FASTENING PATTERN AT FIELD, EAVE & RIDGE OF PANEL**



**D.C.S.M. 5V CRIMP METAL ROOF PANEL**



**END OF THIS ACCEPTANCE**



NOA No.: 08-0110.09  
Expiration Date: 05/08/13  
Approval Date: 03/27/08  
Page 7 of 7



BUILDING CODE COMPLIANCE OFFICE (BCCO)  
 PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA  
 METRO-DADE FLAGLER BUILDING  
 140 WEST FLAGLER STREET, SUITE 1603  
 MIAMI, FLORIDA 33130-1563  
 (305) 375-2901 FAX (305) 375-2908

**NOTICE OF ACCEPTANCE (NOA)**

Elk Corporation of Dallas  
 202 Cedar Road  
 Ennis, TX 75219

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. ~~The documentation submitted has been reviewed by the BCCO and accepted by the Building Code and Product Review Committee to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).~~

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code and the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION: VersaShield™ Underlayment**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA No. 02-0327.03 and consists of pages 1 through 3.  
 The submitted documentation was reviewed by Jorge L. Acebo.



NOA No.: 07-0103.08  
 Expiration Date: 02/07/12  
 Approval Date: 03/01/07  
 Page 1 of 3

## ROOFING ASSEMBLY APPROVAL

**Category:** Roofing  
**Sub-Category:** Underlayment  
**Material:** Fiberglass

### SCOPE:

This acceptance is for VersaShield™ Underlayment as manufactured by Elk Corporation of Dallas, as described in this Notice of Acceptance, for use with approved prepared roof assemblies. Designed to comply with the Florida Building Code and the High Velocity Hurricane Zone of the Florida Building Code.

### PRODUCT DESCRIPTION:

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
VersaShield™	42" x 100' rolls	ASTM D 226 Type II	Non-Asphaltic fiberglass-based underlayment and/or fire barrier.

### EVIDENCE SUBMITTED:

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
PRI Asphalt Technologies, Inc.	ELK-063-02-01	TAS 100	09/27/01
Underwriters Laboratories Inc.	99NK45831	ASTM E-108	03/21/00
Underwriters Laboratories Inc.	R19254	ASTM D-226	09/13/01
PRI Asphalt Technologies, Inc.	ELK-069-02-01	TAS 100	03/04/02
	BRY-003-02-01	TAS 117(B)	03/19/02
	BRY-003-02-01	TAS 114 (H)	

### INSTALLATION:

1. VersaShield™ shall be installed in strict compliance with applicable Building Code.
2. VersaShield™ shall be installed with a minimum 4-inch head lap in a single layer fashion.
3. VersaShield™ is a component used in roof assemblies. Roof assemblies are approved under specific assembly Notice of Acceptance.
4. VersaShield™ may be used with any approved roof covering Notice of Acceptance listing VersaShield™ as a component part of an assembly in the Notice of Acceptance. If VersaShield™ is not listed, a request may be made to the Authority Having Jurisdiction (AHJ) or the Miami-Dade County Product Control Department for approval provided that appropriate documentation is provided to detail compatibility of the products, wind uplift resistance, and fire testing results.
5. VersaShield™ is a non-asphaltic underlayment that may be used as a fire barrier for prepared roof assemblies. For fire classification of specific roof assemblies using VersaShield™ refer to a current Approved Roofing Materials Directory for fire ratings of this product.



NOA No.: 07-0103.08  
Expiration Date: 02/07/12  
Approval Date: 03/01/07  
Page 2 of 3

### **LIMITATIONS:**

1. Fire classification is not part of this acceptance, refer to a current Approved Roofing Materials Directory for fire ratings of this product
2. This acceptance is for prepared roofing applications. Minimum deck requirements shall be in compliance with applicable building code.

### **LABELING:**

All packaging shall bear the imprint or identifiable marking of the manufacturer's name or logo and yellow line to identify the ASTM Standard designation.

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### **BUILDING PERMIT REQUIREMENTS:**

Application for building permit shall be accompanied by copies of the following:

1. This Notice of Acceptance.
2. Any other documents required by the Building Official or applicable building code in order to properly evaluate the installation of this material.

**END OF THIS ACCEPTANCE**







BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

**NOTICE OF ACCEPTANCE (NOA)**

**GAF Material Corporation**  
1361 Alps Road  
Wayne, NJ 07470

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by the BCCO and accepted by the Building Code and Product Review Committee to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code and the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION:** GAF Conventional Built-Up Roof System for Wood Decks.

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews and revises NOA No. 03-0501.05 and consists of pages 1 through 19.  
The submitted documentation was reviewed by Jorge L. Acebo.



NOA No.: 07-1219.09  
Expiration Date: 11/04/13  
Approval Date: 03/20/08  
Page 1 of 19

**APPROVED ASSEMBLIES**

**Deck Type II:** Wood, Insulated

**Deck Description:** 19/32" or greater plywood or wood plank

**System Type A:** Anchor sheet mechanically fastened, all layers of insulation adhered with approved asphalt.

All General and System Limitations shall apply.

One or more layers of any of the following insulations.

Insulation Layer (Table 2) (When applicable: Steel plate only =S, plastic plate only =P)	Insulation Fasteners (Table 3)	Fastener Density/ft <sup>2</sup>
EnergyGuard™, EnergyGuard™ Composite, EverGuard® ISO, EnergyGuard™ RA, EnergyGuard™ RA Composite Minimum 1" thick	N/A	N/A
EnergyGuard™ High Density Wood Fiber, EnergyGuard™ Recover Board, Wood Fiber, Minimum 1/2" thick	N/A	N/A
EnergyGuard™ Perlite Minimum 3/4" thick	N/A	N/A
Fiberglas (Min. 15/16" thick)	N/A	N/A

**Note:** All insulation shall be adhered to the anchor sheet in full mopping of approved hot asphalt within the EVT range and at a rate of 20-40 lbs/100 ft<sup>2</sup>. Please refer to Roofing Application Standard RAS 117 for insulation attachment. Insulation listed as base layer only shall be used only as base layers with a second layer of approved top layer insulation installed as the final membrane substrate. Composite insulation panels may be used as a top layer placed with the polyisocyanurate side facing down. GAF requires either a ply of GAFGLAS® STRATAVENT® Eliminator™ Perforated laid dry or a layer of EnergyGuard™ Perlite or wood fiber overlay board on all isocyanurate applications.

**Fire Barrier:** FireOut™ Fire Barrier Coating, VersaShield® Non-Asphaltic Fiberglass-Based Underlayment or Securock™.

**Anchor sheet:** GAFGLAS® #80 ULTIMA™ Base Sheet, STRATAVENT® Eliminator™ Nailable, RUBEROID® Modified Base Sheet, RUBEROID® 20, RUBEROID Heat-Weld™ Smooth or RUBEROID® Heat-Weld™ 25 base sheet mechanically fastened as described below;

**Fastening Options:** GAFGLAS® Ply 4, GAFGLAS® Flex Ply™ 6, GAFGLAS® #75 Base Sheet or any of above Anchor sheets attached to deck with approved annular ring shank nails and tin caps at a fastener spacing of 9" o.c. at the lap staggered and in two rows 12" o.c. in the field.  
(Maximum Design Pressure -45 psf, See General Limitation #7)



**Fastening Options:** GAFGLAS® Ply 4, GAFGLAS® Flex Ply™ 6, GAFGLAS® #75 Base Sheet or any of above Anchor sheets attached to deck with Drill-Tec™ #12 standard, #14 or # 15 Screws and 3" Drill-Tec™ steel plate or Drill-Tec™ AccuTrac Plates, 12" o.c. in 3 rows. One row is in the 2" side lap. The other rows are equally spaced approximately 12" o.c. in the field of the sheet.

*(Maximum Design Pressure –45 psf, See General Limitation #7)*

GAFGLAS® Flex Ply™ 6, GAFGLAS® #75 Base Sheet or any of above Anchor sheets attached to deck with approved annular ring shank nails and tin caps at a fastener spacing of 9" o.c. at the 4" lap staggered and in two rows 9" o.c. in the field.

*(Maximum Design Pressure –52.5 psf, See General Limitation #7)*

GAFGLAS® #80ULTIMA™, RUBEROID® 20, RUBEROID® Mop Smooth, base sheet attached to deck with approved 1¼" annular ring shank nails and inverted 3" steel plate at a fastener spacing of 9" o.c. at the 4" lap and in two rows staggered with a fastener spacing of 9" o.c. in the center of the membrane.

*(Maximum Design Pressure –60 psf, See General Limitation #7)*

GAFGLAS® #75 Base Sheet or any of above Anchor sheets attached to deck with Drill-Tec™ #12 standard, #14 or # 15 Screws and 3" Drill-Tec™ steel plate or Drill-Tec™ AccuTrac Plates, 12" o.c. in 4 rows. One row is in the 2" side lap. The other rows are equally spaced approximately 9" o.c. in the field of the sheet.

*(Maximum Design Pressure –60 psf, See General Limitation #7)*

Any of above Anchor sheets attached to deck approved annular ring shank nails and 3" inverted Drill-Tec™ insulation plates at a fastener spacing of 9" o.c. at the 4" lap staggered in two rows 9" in the field.

*(Maximum Design Pressure –60 psf, See General Limitation #7)*

GAFGLAS® #75 Base Sheet or any of above Anchor sheets attached to deck with Drill-Tec™ #12 standard, #14 or # 15 Screws and 3" Drill-Tec™ steel plate or Drill-Tec™ AccuTrac Plates, 8" o.c. in 4 rows. One row is in the 2" side lap. The other rows are equally spaced approximately 9" o.c. in the field of the sheet.

*(Maximum Design Pressure –75 psf, See General Limitation #7)*

**Base Sheet:**

(Optional) Install one ply of GAFGLAS® #75, GAFGLAS® #80 ULTIMA™ Base Sheet, GAFGLAS® STRATAVENT® Eliminator™ Perforated, RUBEROID® Modified Base Sheet, RUBEROID® Mop Smooth, RUBEROID® 20 RUBEROID® Heat-Weld™ Smooth or RUBEROID® Heat-Weld™ directly over the top layer of insulation. Adhere with any approved mopping asphalt applied within the EVT range and at a rate of 20-40 lbs./sq; (see General Limitation #4).

**Ply Sheet:**

One or more plies (GAFGLAS® PLY 4), GAFGLAS® Flex Ply™ 6 sheet, #80 Ultima, RUBEROID® Mop Smooth or RUBEROID® 20 adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.



**Cap Sheet:**

(Optional) One ply of GAFGLAS® ~~Mineral Surfaced Cap Sheet~~ or GAFGLAS® EnergyCap™ Mineral Surfaced Cap Sheet adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.

**Surfacing:**

(Optional, required if RUBEROID® MOP Smooth or RUBEROID® 20 is top membrane) Install one of the following:

1. Gravel or slag applied at 400 lbs./sq. and 300 lbs./sq. respectively in a flood coat of approved asphalt at 60 lbs./sq. or applied in a flood coat of Leak Buster™ Matrix™ 103 Cold Process Adhesive applied at a rate of 3 gal./sq.
2. GAFGLAS® Mineral Surfaced Cap Sheet, GAFGLAS® Energy Cap Mineral Surfaced Capsheet adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.
3. Leak Buster™ Matrix™ 303 Premium Fibered Aluminum Roof Coating, at 1.5 gal./sq.
4. Leak Buster™ Matrix™ 715 , Leak Buster™ Matrix™ 322, TOPCOAT® MB+, TOPCOAT® Fireshield Elastomeric Roofing Membrane, applied at 1 to 1.5 gal./sq.
5. Leak Buster™ Matrix™ 602 MB Xtra Elastomeric Roofing Membrane, EnergyCote® roof coating applied at 1 to 1.5 gal./sq.
6. TOPCOAT® Surface Seal, TOPCOAT® Fireshield® SB Solvent based Elastomeric Roofing Membrane applied at 1 to 1.5 gal./sq.
7. Advance Green Technologies Photovoltaic Laminate solar energy collector auxiliary roof equipment installed in compliance with manufacturer's specifications and applicable Building Codes.

**Maximum Design Pressure:**

See Fastening above.



## WOOD DECK SYSTEM LIMITATIONS:

1. A slip sheet is required with Ply 4 and Flex Ply™ 6 when used as a mechanically fastened base or anchor sheet.
2. Minimum ¼" Dens Deck™ or ½" Type X gypsum board is acceptable to be installed directly over the wood deck.

## GENERAL LIMITATIONS:

1. Fire classification is not part of this acceptance, refer to a current Approved Roofing Materials Directory for fire ratings of this product.
2. Insulation may be installed in multiple layers. The first layer shall be attached in compliance with Product Control Approval guidelines. All other layers shall be adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq., or mechanically attached using the fastening pattern of the top layer
3. All standard panel sizes are acceptable for mechanical attachment. When applied in approved asphalt, panel size shall be 4' x 4' maximum.
4. An overlay and/or recovery board insulation panel is required on all applications over closed cell foam insulations when the base sheet is fully mopped. If no recovery board is used the base sheet shall be applied using spot mopping with approved asphalt, 12" diameter circles, 24" o.c.; or strip mopped 8" ribbons in three rows, one at each sidelap and one down the center of the sheet allowing a continuous area of ventilation. Encircling of the strips is not acceptable. A 6" break shall be placed every 12' in each ribbon to allow cross ventilation. Asphalt application of either system shall be at a minimum rate of 12 lbs./sq. **Note: Spot attached systems shall be limited to a maximum design pressure of -45 psf.**
5. Fastener spacing for insulation attachment is based on a Minimum Characteristic Force (F') value of 275 lbf., as tested in compliance with Testing Application Standard TAS 105. If the fastener value, as field-tested, are below 275 lbf. insulation attachment shall not be acceptable.
6. Fastener spacing for mechanical attachment of anchor/base sheet or membrane attachment is based on a minimum fastener resistance value in conjunction with the maximum design value listed within a specific system. Should the fastener resistance be less than that required, as determined by the Building Official, a revised fastener spacing, prepared, signed and sealed by a Florida Registered Engineer, Architect, or Registered Roof Consultant may be submitted. Said revised fastener spacing shall utilize the withdrawal resistance value taken from Testing Application Standards TAS 105 and calculations in compliance with Roofing Application Standard RAS 117.
7. Perimeter and corner areas shall comply with the enhanced uplift pressure requirements of these areas. Fastener densities shall be increased for both insulation and base sheet as calculated in compliance with Roofing Application Standard RAS 117. Calculations prepared, signed and sealed by a Florida registered Professional Engineer, Registered Architect, or Registered Roof Consultant (**When this limitation is specifically referred within this NOA, General Limitation #9 will not be applicable.**)
8. All attachment and sizing of perimeter nailers, metal profile, and/or flashing termination designs shall conform with Roofing Application Standard RAS 111 and applicable wind load requirements.
9. The maximum designed pressure limitation listed shall be applicable to all roof pressure zones (i.e. field, perimeters, and corners). Neither rational analysis, nor extrapolation shall be permitted for enhanced fastening at enhanced pressure zones (i.e. perimeters, extended corners and corners). (**When this limitation is specifically referred within this NOA, General Limitation #7 will not be applicable.**)
10. All products listed herein shall have a quality assurance audit in accordance with the Florida Building Code and Rule 9B-72 of the Florida Administrative Code.

**END OF THIS ACCEPTANCE**

MIAMI-DADE COUNTY  
APPROVED

NOA No.: 07-1219.09  
Expiration Date: 11/04/13  
Approval Date: 03/20/08  
Page 19 of 19

# AMAYA & ASSOCIATES, INC.

ARCHITECTURE, PLANNING & INTERIOR DESIGN

August 22, 2011

TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
FILE COPY

Mr. John Adams, C.B.O.  
Building Official  
City of Sewall's Point Building Department  
One South Sewall's Point Road  
Sewall's Point, Fl. 34996

RECEIVED  
AUG 29 2011  
Sewall's Point Town Hall

Re: Janson Residence  
132 South River Road  
Sewall's Point, Florida 34996  
A & A, I., Project No. 11-023

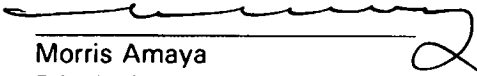
To Whom It May Concern,

Please accept this letter as a formal submission for the roof sheathing and bracing specifications for the re-roofing project.

Attached you will find our specification and details for the project.

Should you have any questions or need additional information, please do not hesitate to contact me on my cell 305.796.5705.

Sincerely,  
**AMAYA & ASSOCIATES, INC.**

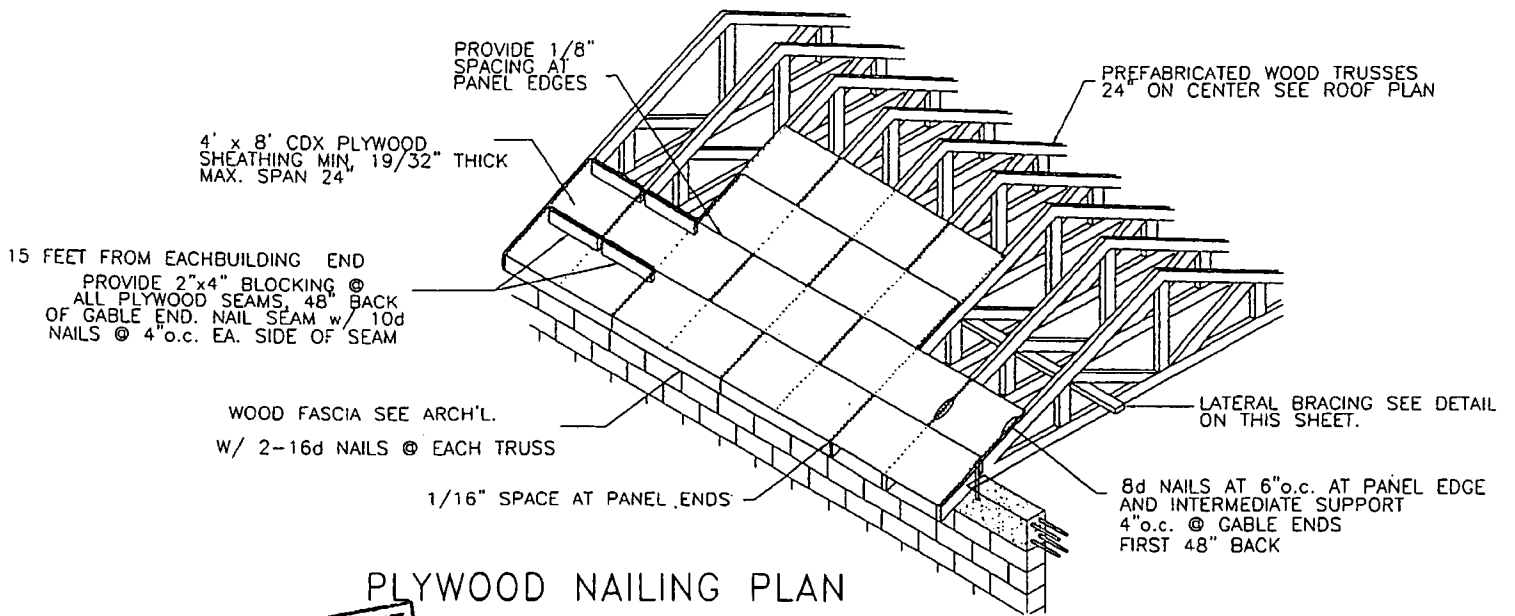
  
Morris Amaya  
Principal

A&A11-023JansonLETBldgDepart

6671 West Indiantown Road, Suite 50-113, Jupiter Florida 33458  
561.575.6949 Fax 561.575.6997  
AA 000 2260

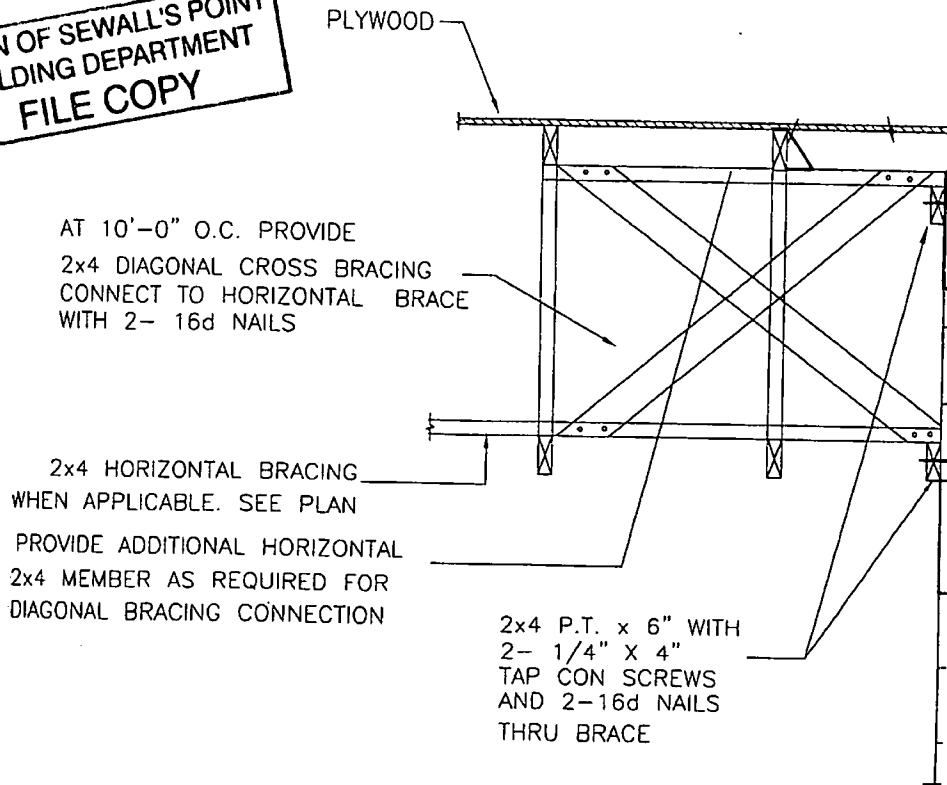
# AMAYA & ASSOCIATES, INC.

## ARCHITECTURE, PLANNING & INTERIOR DESIGN

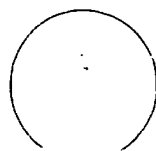


PLYWOOD NAILING PLAN

**TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
FILE COPY**



*8-22-11*



SECTION

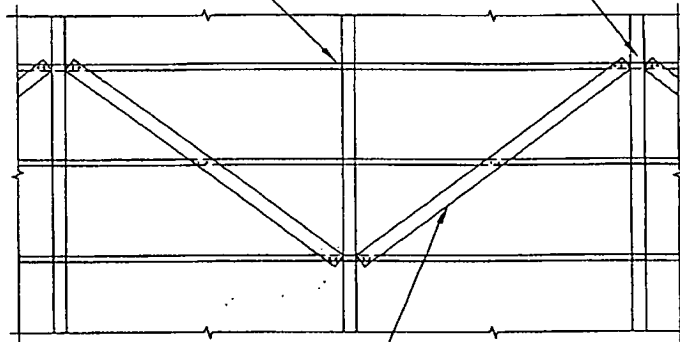
SCALE: 3/4" = 1'-0"

# AMAYA & ASSOCIATES, INC.

ARCHITECTURE, PLANNING & INTERIOR DESIGN

2x4 BOTTOM CHORD  
BRACINGS (SEE NOTES) 24"  
MIN LAP. (2) 16d EACH TRUSS

BOTTOM CHORD OF WOOD  
TRUSSES @ 24" O.C.



2x4 ARROW BRACING WITH  
(2) 16d NAILS @ EACH TRUSS

TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
FILE COPY

## LATERAL BRACING

SCALE : 3/4" = 1'-0"

### ROOF SHEATHING NAILING NOTE

19/32" EXTERIOR GRADE APA PLYWD. INSTALLED PERPINDICULAR TO THE ROOF FRAMING W/ END JOINTS STAGGERED. NAIL TO TRUSSES W/ 8d RING SHANKS ( 0.131" DIA. X 2-1/2" LONG W/ 0.281" DIA. FULL ROUND HEAD) @ 6" O/C THROUGHOUT, USE 10d RING SHANKS ( 0.146" DIA. X 3" LONG W/ 0.312" DIA. FULL ROUND HEAD) 4" O/C @ GABLE ENDS

*Handwritten signature and date:*  
8-22-11





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765



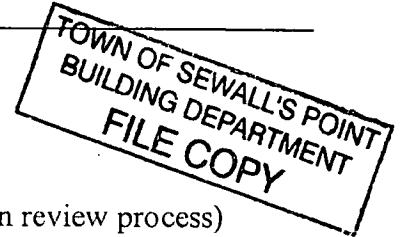
**REVISIONS - CORRECTIONS REQUEST FORM**  
 MUST BE SUBMITTED FOR ALL CORRECTIONS AND REVISIONS

DATE: 9/1/11 PERMIT NUMBER: 9858

JOB ADDRESS: 132 S RIVER RD

**PLEASE CHECK ONE OF THE FOLLOWING:**

- CONDITION OF INSPECTION APPROVAL (Needed for an inspection)
- CONDITION OF PERMIT APPROVAL: (Corrections/Permit not issued, in review process)
- REVISIONS (Changes to an issued permit)



\*\*\*\*ALL PLAN REVISIONS MUST BE HIGHLIGHTED OR CLOUDED ON DRAWING\*\*\*\*

ALL REVISED PAGES ARE REQUIRED TO BE INSERTED IN FIELD PERMIT SET

DESCRIPTION OF REVISION(S) DUE TO ADDITIONAL SHEATHING COSTS

CLIENTS HAVE ELECTED TO OMIT FLAT DECK INSULATION

DOES REVISION(S) CHANGE THE VALUE OF CONSTRUCTION? YES  NO  VALUE \$ -\$2,000.00  
 \*\*\*INCREASED CONSTRUCTION VALUE WILL INCREASE PERMIT FEES AND MUST BE PAID AT TIME OF APPROVAL\*\*\*

CONTACT NAME: KEVIN SMITH SIGNATURE: [Signature]

PHONE NUMBER: 561-768-2409 FAX NUMBER: 561-746-1361  
231-794-9111

FOR OFFICE USE ONLY:

Reviewed by: [Signature] Date: 9-6-11 Approve  Deny

Additional conditioned space \_\_\_\_\_ sq. ft. @ \$104.65 per sq. ft. \_\_\_\_\_ x 2% = \_\_\_\_\_

Additional non-conditioned space \_\_\_\_\_ sq. ft. @ \$ 48.90 per sq. ft. \_\_\_\_\_ x 2% = \_\_\_\_\_

Other declared value increase (must be based on value not cost) \_\_\_\_\_ x 2% = \_\_\_\_\_

Other additional fees: \_\_\_\_\_ Revision review fee: \_\_\_\_\_ Pages @ \$25.00/Page \_\_\_\_\_

Radon Fee \_\_\_\_\_ Professional Regulation Fee \_\_\_\_\_ Road impact assessment \_\_\_\_\_

TOTAL ADDITIONAL BUILDING PERMIT FEE \$ n/e

Applicant notified by: \_\_\_\_\_ Date: \_\_\_\_\_



BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

**NOTICE OF ACCEPTANCE (NOA)**

**GAF Material Corporation**  
1361 Alps Road  
Wayne, NJ 07470

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by the BCCO and accepted by the Building Code and Product Review Committee to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code and the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION:** ~~GAF Conventional Built-Up-Roof System for Wood Decks~~

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews and revises NOA No. 03-0501.05 and consists of pages 1 through 19.  
The submitted documentation was reviewed by Jorge L. Acebo.



NOA No.: 07-1219.09  
Expiration Date: 11/04/13  
Approval Date: 03/20/08  
Page 1 of 19

~~Deck Type 1: Wood, Non-Insulated~~

**Deck Description:** 1 9/32" or greater plywood or wood plank decks

**System Type E:** Base sheet mechanically fastened.

**All General and System Limitations shall apply.**

**Fire Barrier:** FireOut™ Fire Barrier Coating, VersaShield® Non-Asphaltic Fiberglass-Based Underlayment or Securock™.

**Base sheet:** GAFGLAS® #80 ULTIMA™ Base Sheet, STRATAVENT® Eliminator™ Nailable, RUBEROID® Modified Base Sheet, RUBEROID® 20, RUBEROID® Heat-Weld™ Smooth or RUBEROID® Heat-Weld™ 25 base sheet mechanically fastened to deck as described below;

**Fastening Options:** GAFGLAS® Ply 4, GAFGLAS® Flex Ply™ 6, ~~GAFGLAS® #75 Base Sheet~~ or any of above Base sheets attached to deck with approved annular ring shank nails and tin caps at a fastener spacing of 9" o.c. at the lap staggered and in two rows 12" o.c. in the field.  
*(Maximum Design Pressure -45 psf, See General Limitation #7)*

GAFGLAS® Ply 4, GAFGLAS® Flex Ply™ 6, GAFGLAS® #75 Base Sheet or any of above Base sheets attached to deck with Drill-Tec™ #12 standard, #14 or # 15 Screws and 3" Drill-Tec™ steel plate or Drill-Tec™ AccuTrac Plates, 12" o.c. in 3 rows. One row is in the 2" side lap. The other rows are equally spaced approximately 12" o.c. in the field of the sheet.  
*(Maximum Design Pressure -45 psf, See General Limitation #7)*

GAFGLAS® Flex Ply™ 6, GAFGLAS® #75 Base Sheet or any of above Base sheets attached to deck with approved annular ring shank nails and tin caps at a fastener spacing of 9" o.c. at the 4" lap staggered and in two rows 9" o.c. in the field.  
*(Maximum Design Pressure -52.5 psf, See General Limitation #7)*

GAFGLAS® #80ULTIMA™, RUBEROID® 20, RUBEROID® Mop Smooth, base sheet attached to deck with approved 1 1/4" annular ring shank nails and inverted 3" steel plate at a fastener spacing of 9" o.c. at the 4" lap and in two rows staggered with a fastener spacing of 9" o.c. in the center of the membrane.  
*(Maximum Design Pressure -60 psf, See General Limitation #7)*

GAFGLAS® #75 Base Sheet or any of above Base sheets attached to deck with Drill-Tec™ #12 standard, #14 or # 15 Screws and 3" Drill-Tec™ steel plate or Drill-Tec™ AccuTrac Plates, 12" o.c. in 4 rows. One row is in the 2" side lap. The other rows are equally spaced approximately 9" o.c. in the field of the sheet.  
*(Maximum Design Pressure -60 psf, See General Limitation #7)*

Any of above Base sheets attached to deck approved annular ring shank nails and 3" inverted Drill-Tec™ insulation plates at a fastener spacing of 9" o.c. at the 4" lap staggered in two rows 9" in the field.  
*(Maximum Design Pressure -60 psf, See General Limitation #7)*



NOA No.: 07-1219.09  
Expiration Date: 11/04/13  
Approval Date: 03/20/08  
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GAFGLAS® #75 Base Sheet or any of above Base sheets attached to deck with Drill-Tec™ #12 standard, #14 or # 15 Screws and 3” Drill-Tec™ steel plate or Drill-Tec™ AccuTrac Plates, 8” o.c. in 4 rows. One row is in the 2” side lap. The other rows are equally spaced approximately 9” o.c. in the field of the sheet. *(Maximum Design Pressure –75 psf, See General Limitation #7)*

**Ply Sheet:**

~~One~~ or more plies of ~~GAFGLAS® PLY 4~~, #80 ULTIMA, RUBEROID® MOP Smooth or RUBEROID® 20 adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.

**Cap Sheet:**

(Optional) One ply of GAFGLAS® ~~Mineral Surfaced Cap Sheet~~ or GAFGLAS® EnergyCap™ Mineral Surfaced Cap Sheet adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.

**Surfacing:**

(Optional, required if RUBEROID® MOP Smooth or RUBEROID® 20 is top membrane) Install one of the following:

1. Gravel or slag applied at 400 lbs./sq. and 300 lbs./sq. respectively in a flood coat of approved asphalt at 60 lbs./sq. or applied in a flood coat of Leak Buster™ Matrix™ 103 Cold Process Adhesive applied at a rate of 3 gal./sq.
2. GAFGLAS® Mineral Surfaced Cap Sheet, GAFGLAS® Energy Cap Mineral Surfaced Capsheet adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.
3. Leak Buster™ Matrix™ 303 Premium Fibered Aluminum Roof Coating, at 1.5 gal./sq.
4. Leak Buster™ Matrix™ 715 , Leak Buster™ Matrix™ 322, TOPCOAT® MB+, TOPCOAT® Fireshield Elastomeric Roofing Membrane, applied at 1 to 1.5 gal./sq.
5. Leak Buster™ Matrix™ 602 MB Xtra Elastomeric Roofing Membrane, EnergyCote® roof coating applied at 1 to 1.5 gal./sq.
6. TOPCOAT® Surface Seal, TOPCOAT® Fireshield® SB Solvent based Elastomeric Roofing Membrane applied at 1 to 1.5 gal./sq
7. Advance Green Technologies Photovoltaic Laminate solar energy collector auxiliary roof equipment installed in compliance with manufacturer's specifications and applicable Building Codes.

**Maximum Design Pressure:**

See Fastening Above



NOA No.: 07-1219.09  
Expiration Date: 11/04/13  
Approval Date: 03/20/08  
Page 18 of 19

## WOOD DECK SYSTEM LIMITATIONS:

1. A slip sheet is required with Ply 4 and Flex Ply™ 6 when used as a mechanically fastened base or anchor sheet.
2. Minimum ¼" Dens Deck™ or ½" Type X gypsum board is acceptable to be installed directly over the wood deck.

## GENERAL LIMITATIONS:

1. Fire classification is not part of this acceptance, refer to a current Approved Roofing Materials Directory for fire ratings of this product.
2. Insulation may be installed in multiple layers. The first layer shall be attached in compliance with Product Control Approval guidelines. All other layers shall be adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq., or mechanically attached using the fastening pattern of the top layer
3. All standard panel sizes are acceptable for mechanical attachment. When applied in approved asphalt, panel size shall be 4' x 4' maximum.
4. An overlay and/or recovery board insulation panel is required on all applications over closed cell foam insulations when the base sheet is fully mopped. If no recovery board is used the base sheet shall be applied using spot mopping with approved asphalt, 12" diameter circles, 24" o.c.; or strip mopped 8" ribbons in three rows, one at each sidelap and one down the center of the sheet allowing a continuous area of ventilation. Encircling of the strips is not acceptable. A 6" break shall be placed every 12' in each ribbon to allow cross ventilation. Asphalt application of either system shall be at a minimum rate of 12 lbs./sq. **Note: Spot attached systems shall be limited to a maximum design pressure of -45 psf.**
5. Fastener spacing for insulation attachment is based on a Minimum Characteristic Force (F') value of 275 lbf., as tested in compliance with Testing Application Standard TAS 105. If the fastener value, as field-tested, are below 275 lbf. insulation attachment shall not be acceptable.
6. Fastener spacing for mechanical attachment of anchor/base sheet or membrane attachment is based on a minimum fastener resistance value in conjunction with the maximum design value listed within a specific system. Should the fastener resistance be less than that required, as determined by the Building Official, a revised fastener spacing, prepared, signed and sealed by a Florida Registered Engineer, Architect, or Registered Roof Consultant may be submitted. Said revised fastener spacing shall utilize the withdrawal resistance value taken from Testing Application Standards TAS 105 and calculations in compliance with Roofing Application Standard RAS 117.
7. Perimeter and corner areas shall comply with the enhanced uplift pressure requirements of these areas. Fastener densities shall be increased for both insulation and base sheet as calculated in compliance with Roofing Application Standard RAS 117. Calculations prepared, signed and sealed by a Florida registered Professional Engineer, Registered Architect, or Registered Roof Consultant **(When this limitation is specifically referred within this NOA, General Limitation #9 will not be applicable.)**
8. All attachment and sizing of perimeter nailers, metal profile, and/or flashing termination designs shall conform with Roofing Application Standard RAS 111 and applicable wind load requirements.
9. The maximum designed pressure limitation listed shall be applicable to all roof pressure zones (i.e. field, perimeters, and corners). Neither rational analysis, nor extrapolation shall be permitted for enhanced fastening at enhanced pressure zones (i.e. perimeters, extended corners and corners). **(When this limitation is specifically referred within this NOA, General Limitation #7 will not be applicable.)**
10. All products listed herein shall have a quality assurance audit in accordance with the Florida Building Code and Rule 9B-72 of the Florida Administrative Code.

## END OF THIS ACCEPTANCE



NOA No.: 07-1219.09  
Expiration Date: 11/04/13  
Approval Date: 03/20/08  
Page 19 of 19

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 9-1-11 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>0051</del>	<del>132 S. River Rd</del>	<del>Driveway</del>	<del>Pass</del>	<del>W. McC. [unclear]</del>
PM	132 S. River Rd Curtis Smith Const			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	Sharfi			
	13 N Sewalls			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	Will Ghiodo			Call Tony L. [unclear]
	107 S. SPT Rd	Hedge Blocking		561-379-7784
		VIEW OF TRAFFIC		INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

RE: Permit # \_\_\_\_\_

Date 9-9-11

**Inspection Affidavit**

I MORRIS AMAYA, licensed as a(n) Contractor\* /Engineer/Architect,  
 (please print name and circle Lic. Type) FS 468 Building Inspector\*

License #: C66 050929

On or about 9-8-11, I did personally inspect the roof  
 (Date & time)

deck nailing and/or secondary water barrier work at 132 S. RIVER ROAD  
 (circle one) (Job Site Address)

SEWALL'S POINT, FL. 34996

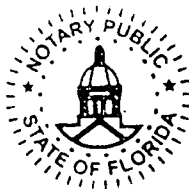
Based upon that examination I have determined the installation was done according to the Hurricane Mitigation Retrofit Manual (Based on 553.844 F.S.)

[Signature]  
 Signature

STATE OF FLORIDA  
 COUNTY OF \_\_\_\_\_

Sworn to and subscribed before me this 9 day of September, 2011

By Morris Amaya



Tracy Felmet  
 Notary Public - State of Florida  
 My Commission Exp. Aug. 21, 2013  
 Commission # DD 908359  
 Bonded by CNA Surety

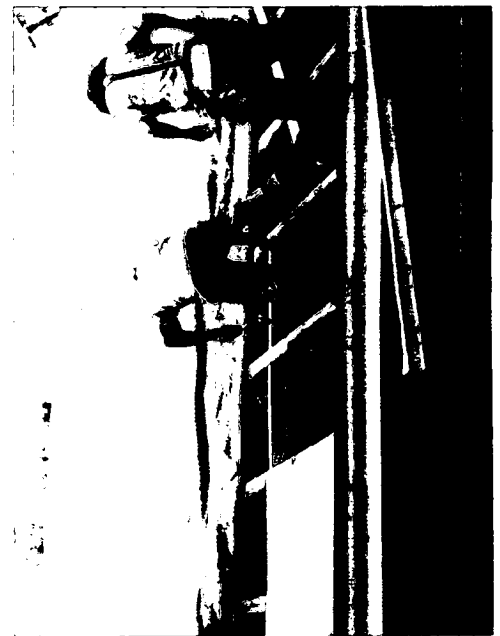
Notary Public, State of Florida

[Signature]  
 (Print, type or stamp name)  
Tracy felmet  
 Commission No.: DD 908359

Personally known  or  
 Produced Identification \_\_\_\_\_

Type of identification produced. \_\_\_\_\_

\* General, Building, Residential, or Roofing Contractor or any individual certified under 468 F.S. to make such an inspection. Include photographs of each plane of the roof with the permit # or address # clearly shown marked on the deck for each inspection.





BASE SHEET



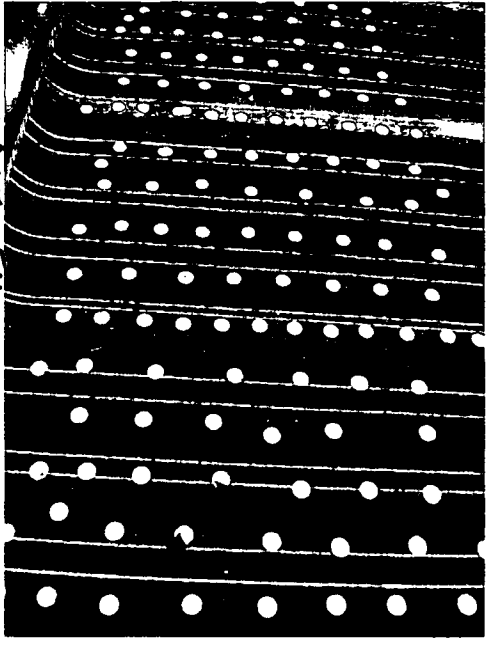
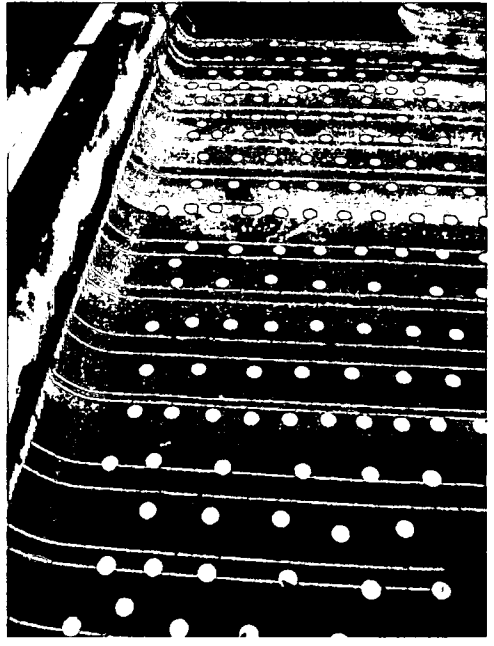
BASE SHEET IN PROGRESS



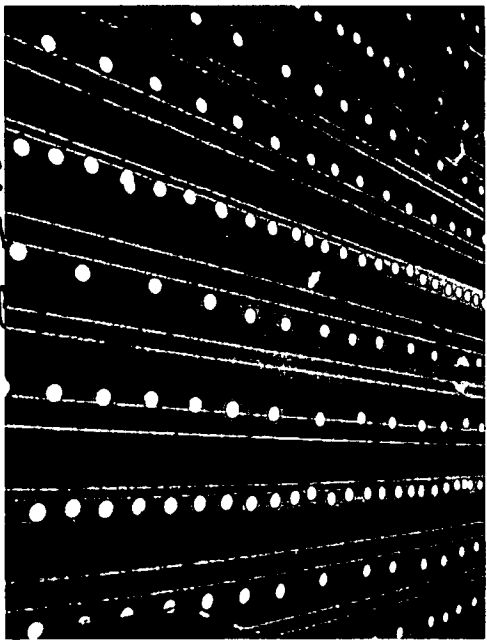
BASE SHEET IN PROGRESS



PERIMETER BASE SHEET THU TAG ENHANCEMENT



BASE SHEET



CANT STRIP

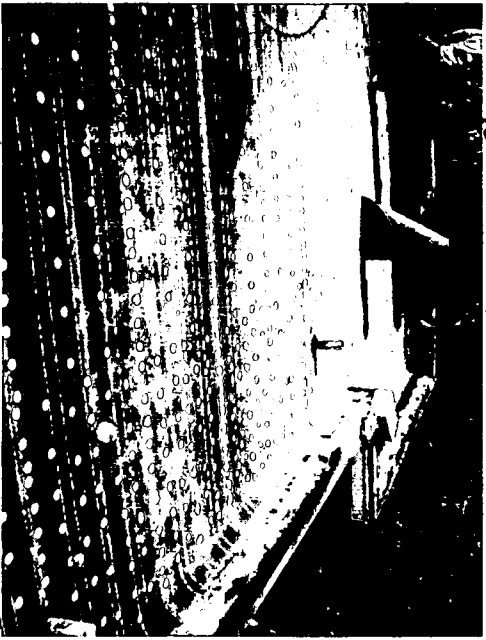




PLY 4 IN PROGRESS



PLY 4 IN PROGRESS



BASE SHEET



PLY 4 IN PROGRESS



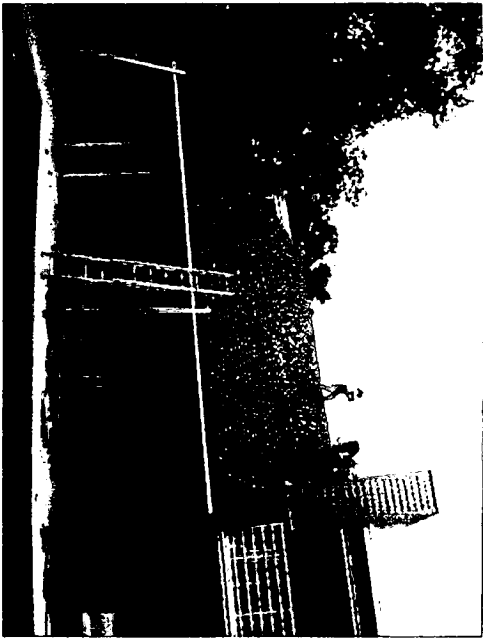
PERIMETER AND TIE ENHANCEMENT



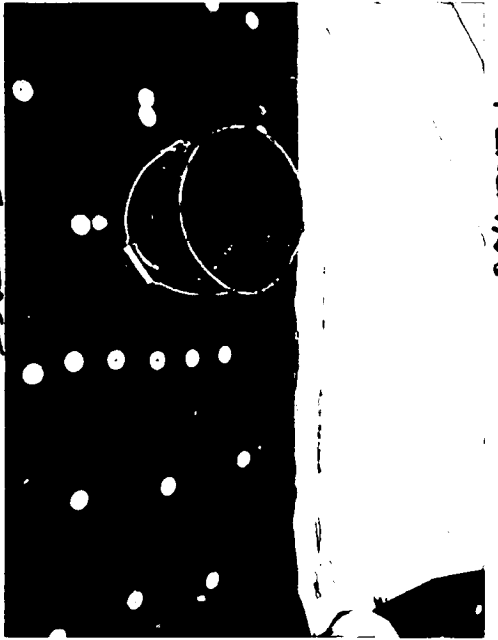
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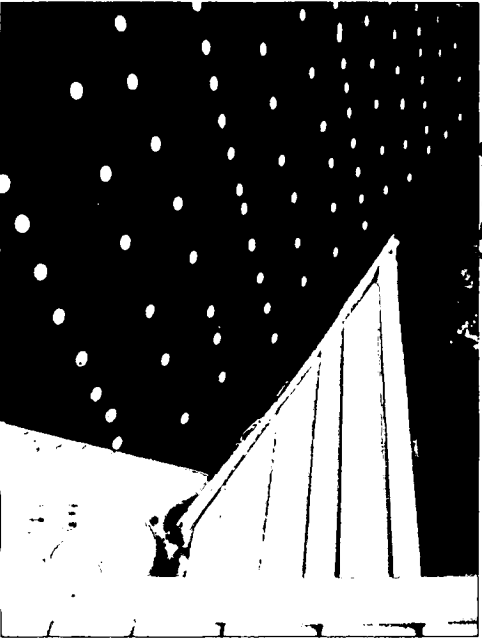
TIN TAGS



TIN TAGS



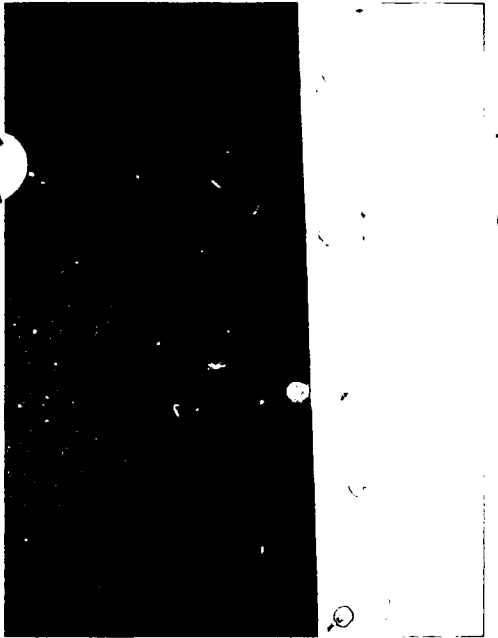
FLASHING



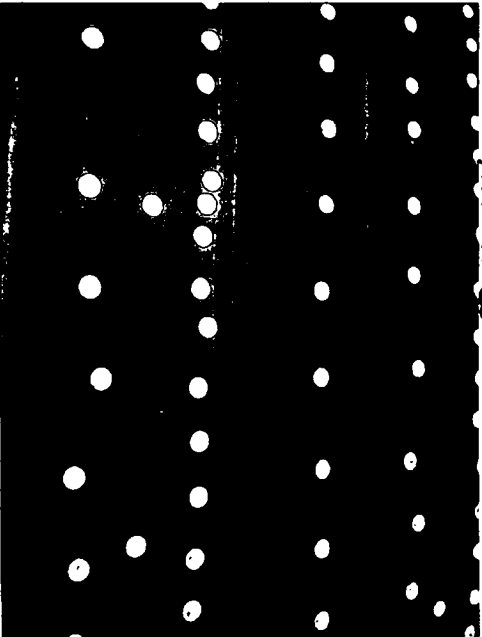
VALLEY



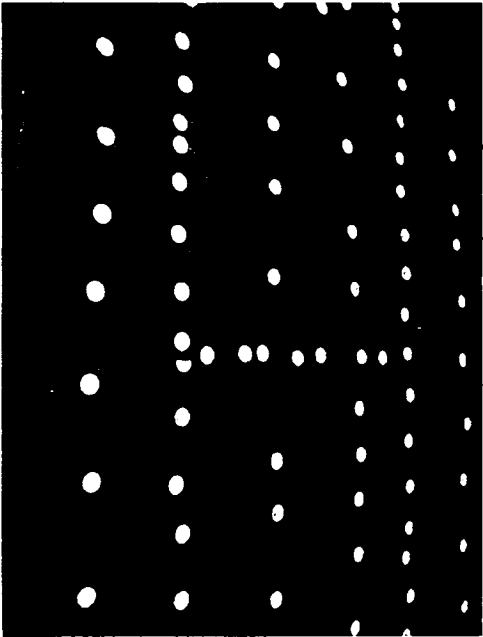
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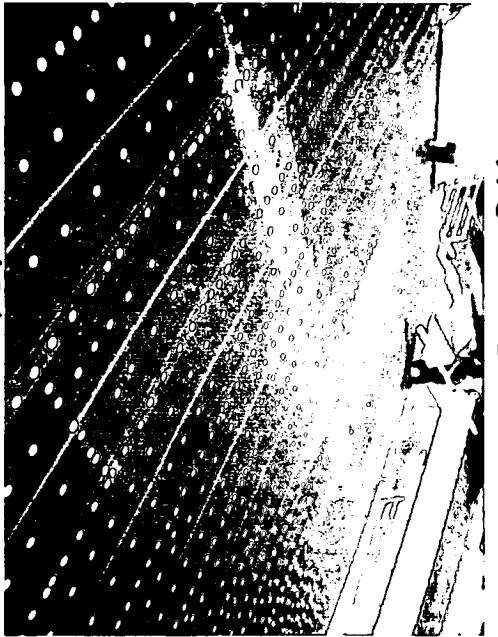
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TIN TAGS



TIN TAGS

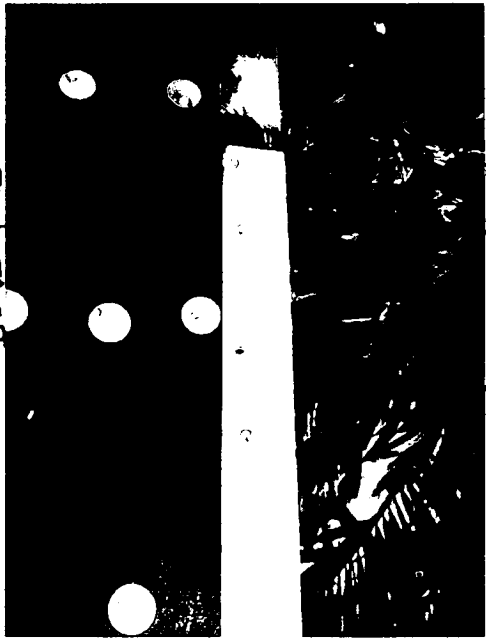


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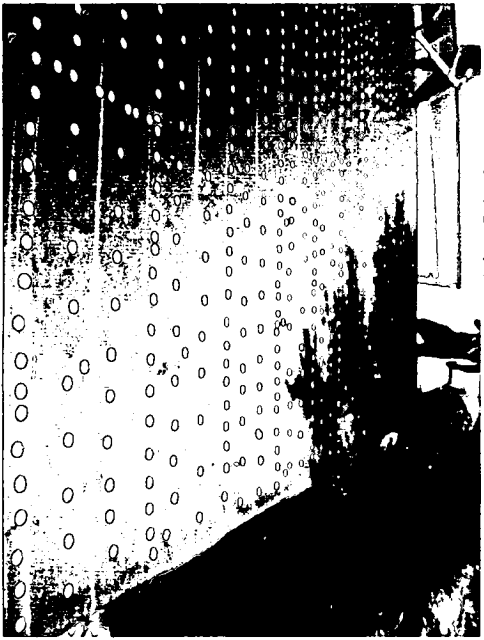
DRIP EDGE



DRIP EDGE



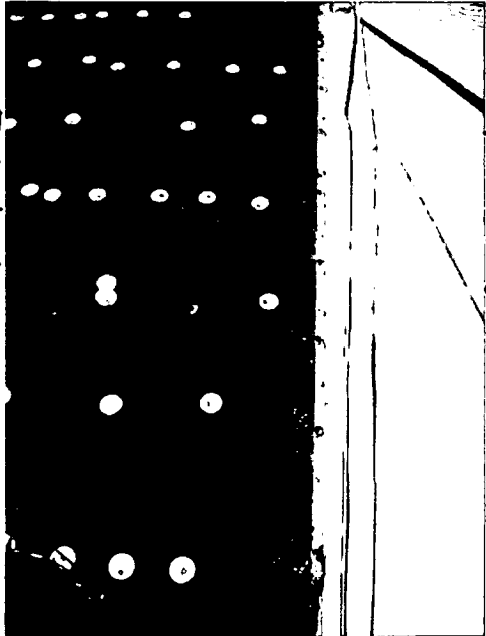
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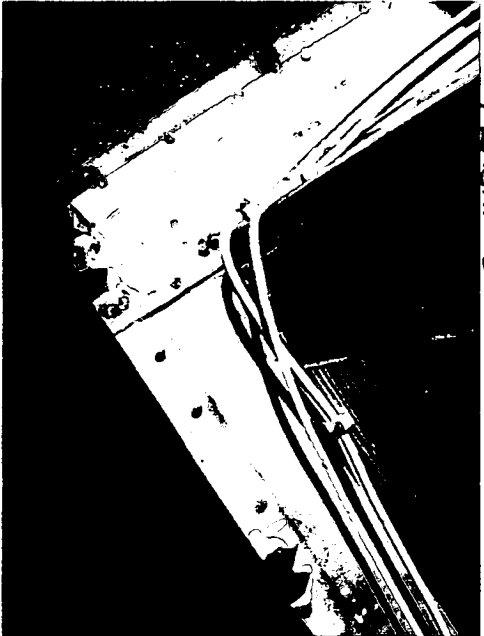
VERSHIELD



FLASHING



FLASHING



PLY 4



PLY 4

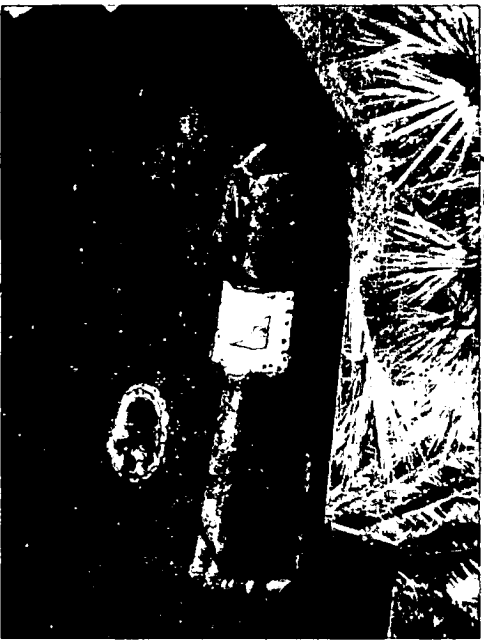


PLY 4 IN PROGRESS





NEW DRAINS



NEW DRAINS



PLY 4 IN PROGRESS



NEW DRAINS



NEW DRAINS



PLY 4



CAP SHEET IN PROGRESS

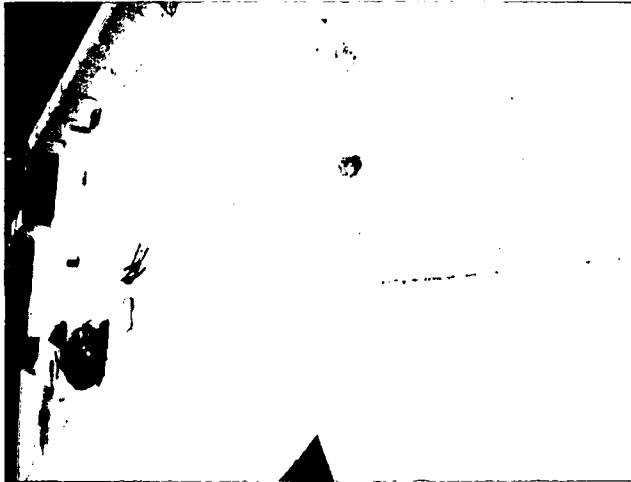


MODIFIED IN PROGRESS



PLY 4

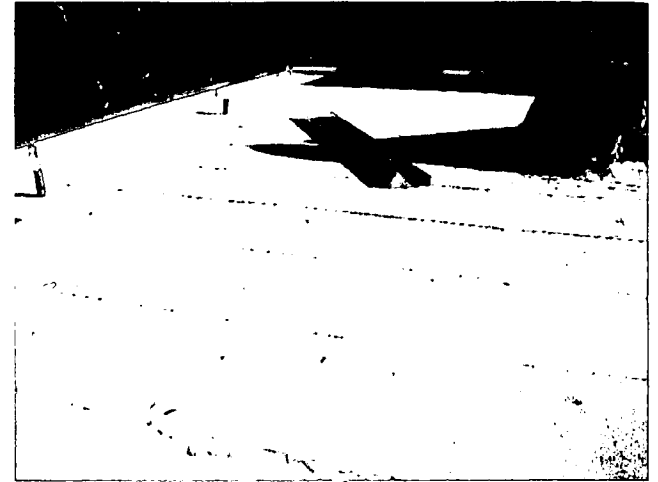
COMPLETED ROOF



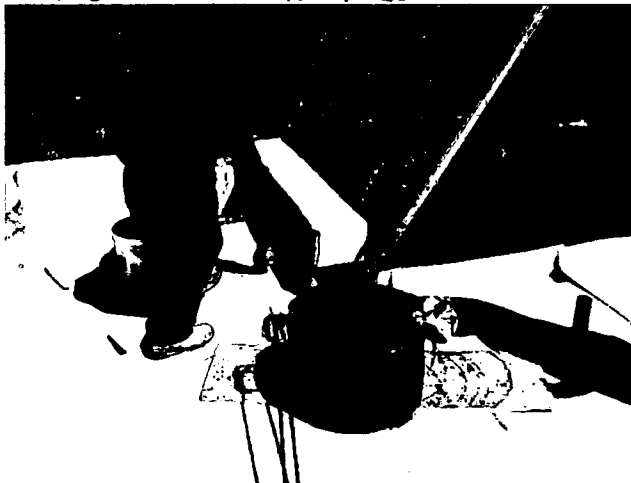
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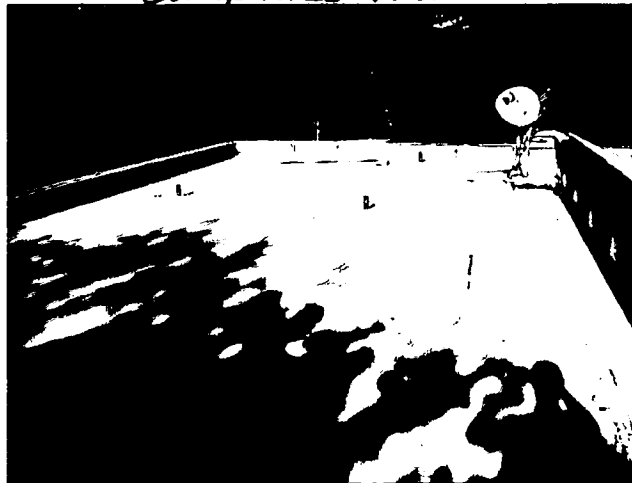
COMPLETED ROOF



INSTALLING MODIFIED



COMPLETED PHOTOS



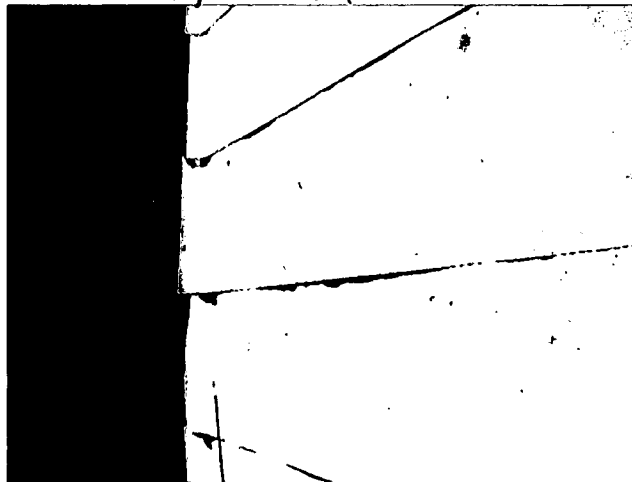
COPING METAL



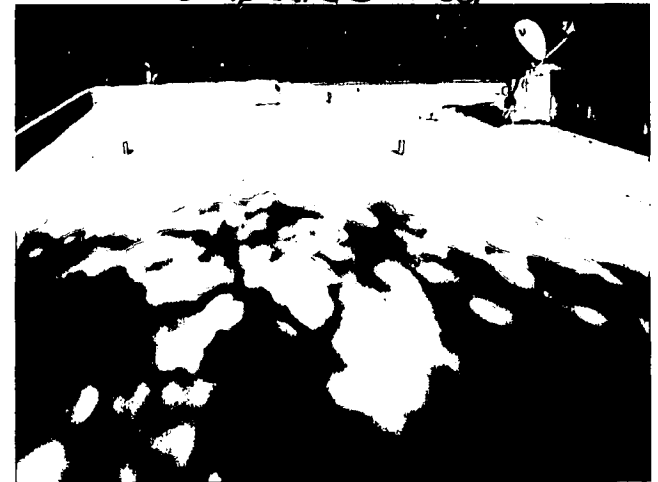
COMPLETED ROOF



CAP SHEET



COMPLETED ROOF



# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri **9-14-11** Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9858	<del>Donor</del> 1325 River Rd Curtis Smith Const	metal on-pipe tin-tug flat deck	PM PM	Pass
				INSPECTOR <i>[Signature]</i>

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9753	BILLINGHAM 2 VIA DE CRISTO MASTENRICE	Roofed ceiling SITE WORK	Pass	INSPECTOR <i>[Signature]</i>

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
Tree 1-130	Donaldson River Oak Pl	Tree	ph	INSPECTOR <i>[Signature]</i>

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9861 PM	Govel 5 Riverview Jb Blum.	Final Shutters	Pass	Close INSPECTOR <i>[Signature]</i>

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri **10-20-11** Page      of     

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9901	Demartkenian	The Power		
	19 Castle Hill	Footer	Pass	
	Stephen Conway	SLAB		INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9905	Flint	A/C		
10 <sup>00</sup>	6 Palmetto	Final	Pass	Close
	JB A/C			INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9808	Bartels	Final		
11.00	3 St. Lucie Ct.	A/C	Pass	Close
	NIS A/C			INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	Donald Cook	Tree		
	12 Oak Hill Way		NG	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	Jennife Bracken <i>referred</i>	In west 1st		
	Cul de Sac Delano	yard waste job		
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>9858</del> 9858	Janson	Re-roof		
	132 S Roper R		Pass	Close
	Curtis Smith			INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR



**10414**

**FENCE**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	10414	DATE ISSUED:	APRIL 9, 2013
SCOPE OF WORK:	FENCE		
CONTRACTOR:	COASTAL CONSTRUCTION COMPANY		
PARCEL CONTROL NUMBER:	133841010-000-000602	SUBDIVISION	KINGSTON CT - L 6
CONSTRUCTION ADDRESS:	132 S RIVER RD		
OWNER NAME:	JANSON		
QUALIFIER:	THEODORE HOUK	CONTACT PHONE NUMBER:	287-6550

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

### INSPECTIONS

UNDERGROUND PLUMBING	UNDERGROUND GAS
UNDERGROUND MECHANICAL	UNDERGROUND ELECTRICAL
STEM-WALL FOOTING	FOOTING
SLAB	TIE BEAM/COLUMNS
ROOF SHEATHING	WALL SHEATHING
TIE DOWN /TRUSS ENG	INSULATION
WINDOW/DOOR BUCKS	LATH
ROOF DRY-IN/METAL	ROOF TILE IN-PROGRESS
PLUMBING ROUGH-IN	ELECTRICAL ROUGH-IN
MECHANICAL ROUGH-IN	GAS ROUGH-IN
FRAMING	METER FINAL
FINAL PLUMBING	FINAL ELECTRICAL
FINAL MECHANICAL	FINAL GAS
FINAL ROOF	BUILDING FINAL

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

# Town of Sewall's Point

## BUILDING PERMIT APPLICATION

Date: \_\_\_\_\_ Permit Number: 10414

OWNER/LESSEE NAME: LARS & Karen Janson Phone (Day) 772-287-9218 (Fax) \_\_\_\_\_

Job Site Address: 132 South River Rd City: Stuart State: FL Zip: 34996

Legal Description Lot 6, Kingstons Creek Parcel Control Number: B-38-41-010-0020-00060-2

Fee Simple Holder Name: \_\_\_\_\_ Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Telephone: \_\_\_\_\_

**\*SCOPE OF WORK (PLEASE BE SPECIFIC):** Replace fence

**WILL OWNER BE THE CONTRACTOR?**  
 (If yes, Owner Builder questionnaire must accompany application)  
 YES \_\_\_\_\_ NO X

**Has a Zoning Variance ever been granted on this property?**  
 YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
 (Must include a copy of all variance approvals with application)

**COST AND VALUES: (Required on ALL permit applications)**

Estimated Value of Improvements: \$ 7,200  
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10 AE9 AE8 X  
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
 (Fair Market Value of the Primary Structure only, Minus the land value)  
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Coastal Const. Co. Phone: 2876550 Fax: 2873034

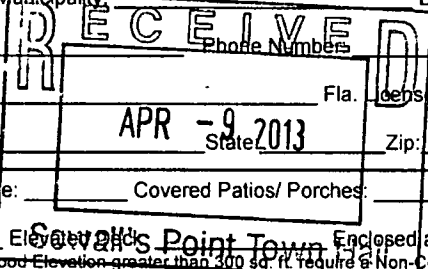
Qualifiers name: Ted Houk Street: 1660 Dye - Pt Rd City: Palm City State: FL Zip: 34990

State License Number: CB023934 OR: Municipality: \_\_\_\_\_ License Number: \_\_\_\_\_

LOCAL CONTACT: \_\_\_\_\_

DESIGN PROFESSIONAL: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Phone Number: \_\_\_\_\_



AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/ Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_

Carport: \_\_\_\_\_ Total under Roof \_\_\_\_\_ Enclosed area below BFE\*: \_\_\_\_\_  
 \* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010  
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

**WARNINGS TO OWNERS AND CONTRACTORS:**

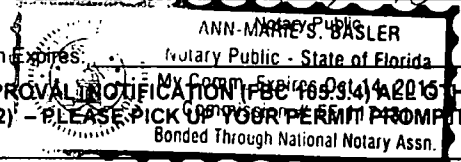
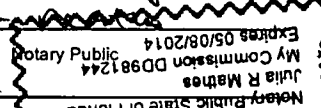
- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
- IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

**\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\***

**AFFIDAVIT:** APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE:  
x Karen Janson  
 State of Florida, County of: MARTIN  
 On This the 24 day of march, 2013  
 by KAREN JANSON who is personally known to me or produced personally known  
 As identification, \_\_\_\_\_  
 My Commission Expires: state

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:  
x Ted Houk  
 State of Florida, County of: Martin  
 On This the 28th day of March, 2013  
 by Theodore Houk who is personally known to me or produced Th. Houk 9209 803 524660  
 As identification, Ann-Marie S. Basler  
 My Commission Expires: \_\_\_\_\_



**SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.1) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!**

Bonded Through National Notary Assn.

**Martin County, Florida  
Laurel Kelly, C.F.A**
*generated on 4/9/2013 11:37:56 AM EDT*
**Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
13-38-41-010-000-00060-2	27856	132 S RIVER RD, SEWALL'S POINT	\$421,940	4/6/2013

---

**Owner Information**

<b>Owner(Current)</b>	JANSON LARS A & KAREN M
<b>Owner/Mail Address</b>	132 S RIVER RD STUART FL 34996
<b>Sale Date</b>	10/30/2000
<b>Document Book/Page</b>	1534 2519
<b>Document No.</b>	JMB
<b>Sale Price</b>	374500

---

**Location/Description**

<b>Account #</b>	27856	<b>Map Page No.</b>	SP-05
<b>Tax District</b>	2200	<b>Legal Description</b>	KINGSTON COURT LOT 6
<b>Parcel Address</b>	132 S RIVER RD, SEWALL'S POINT		
<b>Acres</b>	.3800		

---

**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120400 Hmwd,Palm Ro,Kngstn,Okwd, Pine

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**Assessment Information**

<b>Market Land Value</b>	\$192,500
<b>Market Improvement Value</b>	\$229,440
<b>Market Total Value</b>	\$421,940

NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00 (\$7,500 Mechanical)

PERMIT #: \_\_\_\_\_ TAX FOLIO #: \_\_\_\_\_

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE): 132 South River Rd, Lot 6, Kingston Court

GENERAL DESCRIPTION OF IMPROVEMENT: Fence re construction

OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT

NAME: Karen Johnson  
ADDRESS: 1325 River Road  
PHONE NUMBER: 772 287 9218 FAX NUMBER: same  
INTEREST IN PROPERTY: owner

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR: Coastal Const. Co.  
ADDRESS: 1600 Hwy 90 Rd Palm City FL 34990  
PHONE NUMBER: 887 6556 FAX NUMBER: 287 3034

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED)  
ADDRESS: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_  
BOND AMOUNT: \_\_\_\_\_

LENDER/MORTGAGE COMPANY:  
ADDRESS: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (b) , FLORIDA STATUTES:

NAME: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:

PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_ EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_

**EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED**

**WARNING TO OWNER:** ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

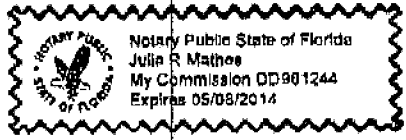
[Signature]  
SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY-IN-FACT  
SIGNATORY'S TITLE/OFFICE: owner

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 24 DAY OF MARCH 2013

BY: JULIA R. MATHES AS FLORIDA NOTARY FOR KAREN JOHNSON  
NAME OF PERSON TYPE OF AUTHORITY PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN  OR PRODUCED IDENTIFICATION \_\_\_\_\_ TYPE OF IDENTIFICATION PRODUCED \_\_\_\_\_

[Signature]  
NOTARY SIGNATURE/ SEAL



# ENGINEERING SUBMITTALS

April 5, 2013

WIND LOAD CERTIFICATION:

CODE FBC 2010 / ASCE 7-10

WIND SPEED: 75mph (FBC 1515.2.1)

EXPOSURE: "D"

IMPORTANCE FACTOR: 1.0

INTERNAL PRESSURE COEFF.: 0.00

HEIGHT: 6' MAX

JOB: FENCE  
132 STUART, FL 34996

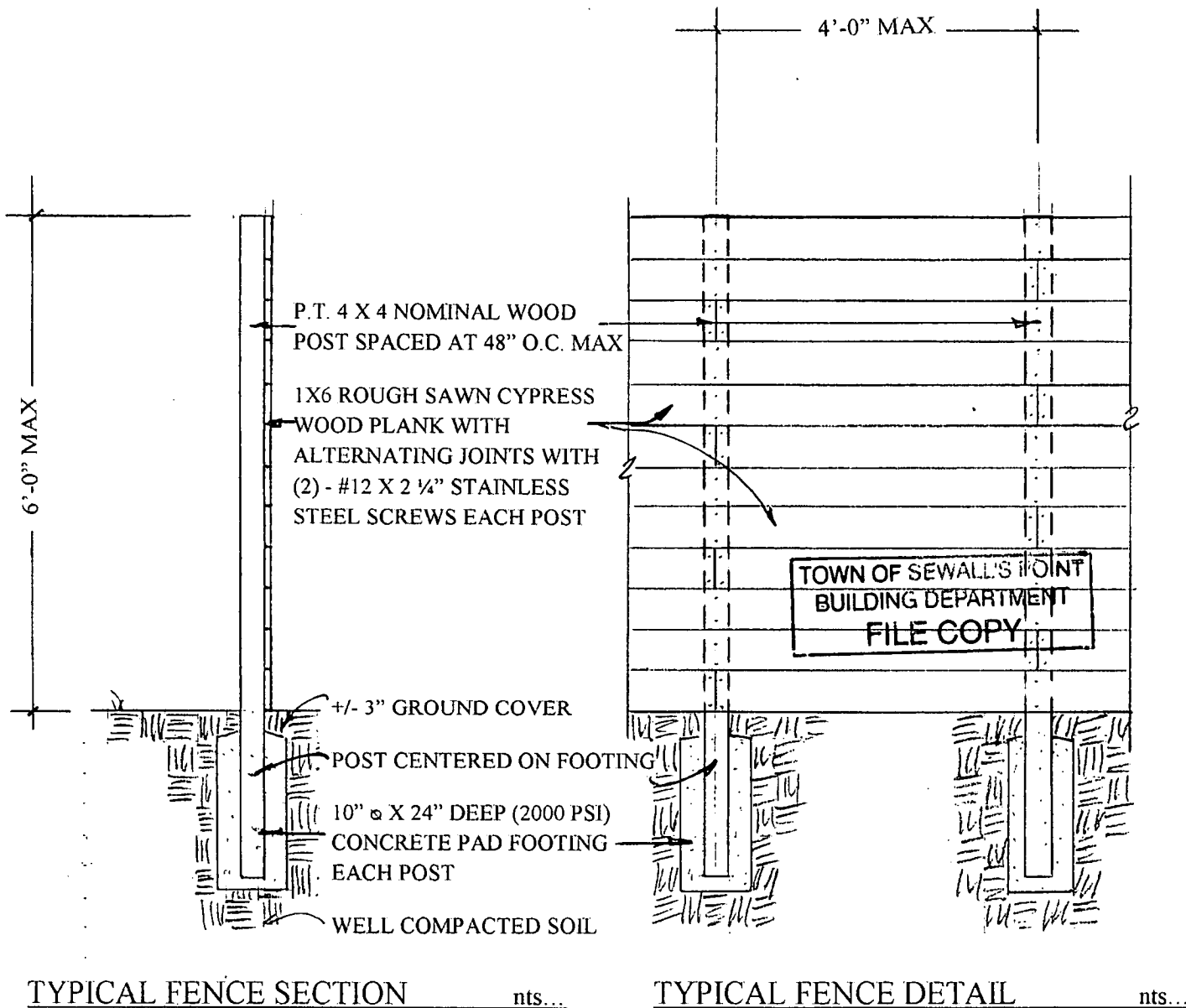
PAUL WELCH INC.  
Mechanical Electrical Civil Engineering  
1984 S.W. Biltmore St. Suite#114  
Port Saint Lucie, FL 34984  
Phone (772) 785 - 9888  
Fax (772) 785-9933

TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
FILE COPY



**FENCE**

132 S. RIVER RD. STUART, FL 34996

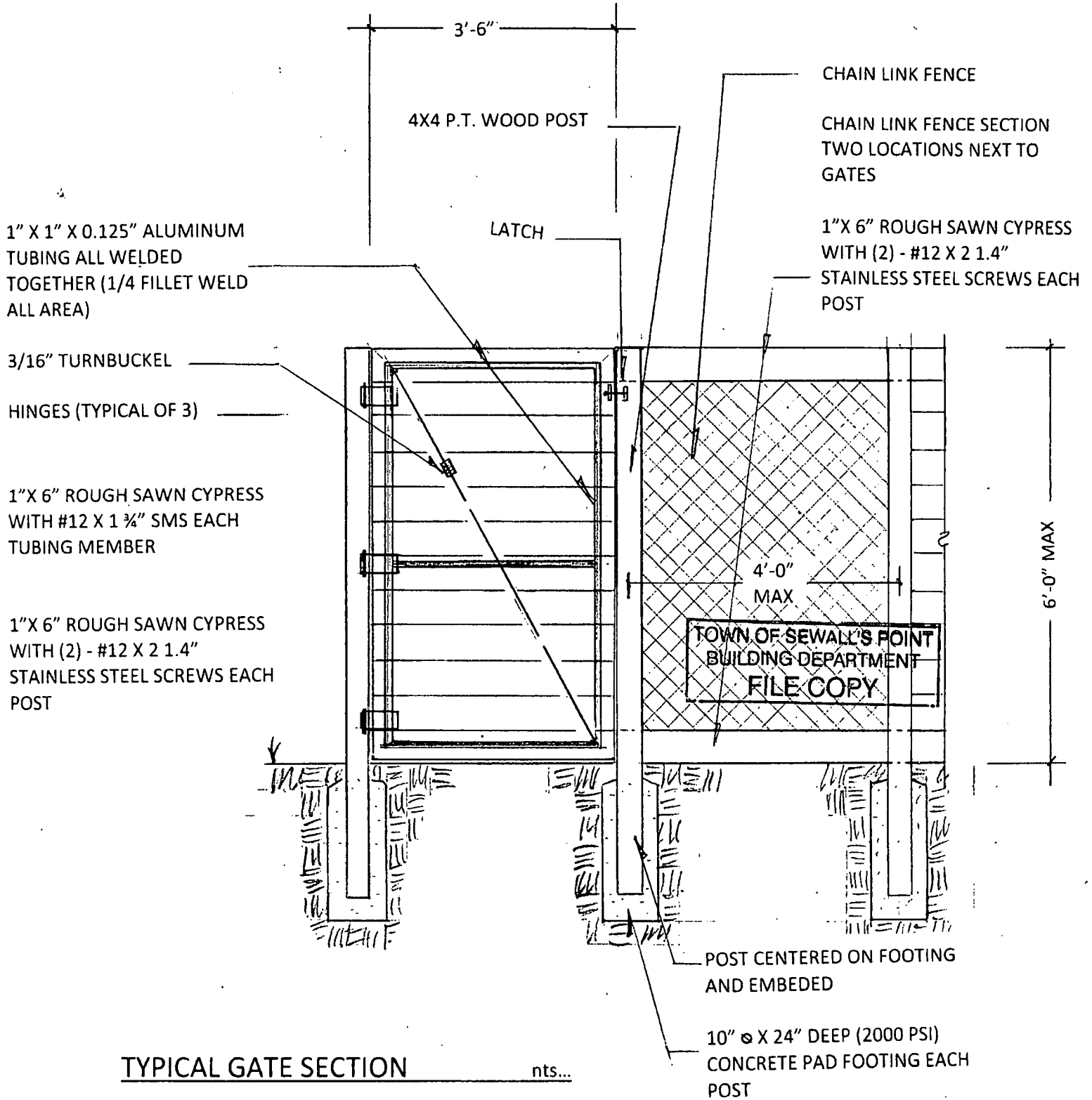


PAUL WELCH INC.  
MECH-ELECT-CIVIL ENG  
1984 BILTMORE ST. #114  
PORT ST. LUCIE, FL 34984  
PAUL WELCH, P.E. FLA REG NO 29945

APR 05 2013

**FENCE**

132 S. RIVER RD. STUART, FL 34996

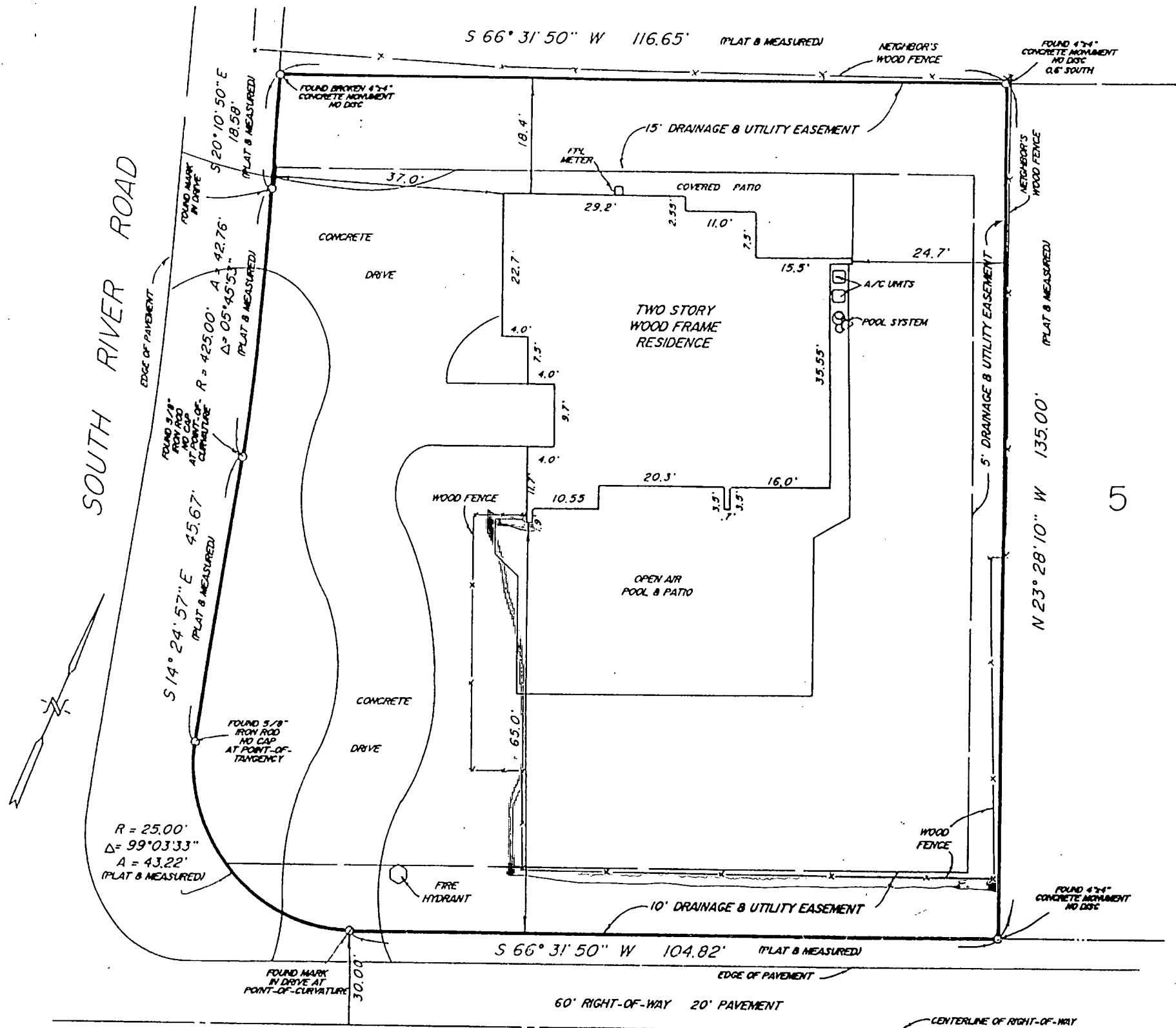


PAUL WELCH INC.  
MECH-ELECT-CIVIL ENG  
1984 BILTMORE ST. #114  
PORT ST. LUCIE, FL 34984  
PAUL WELCH, P.E. FLA REG NO 29945

APR 05 2013



PALM ROW SUBDIVISION



KINGSTON COURT

ADDRESS: 132 S. River Road  
Stuart, Florida

NOTE: WATER, SEWER & UNDERGROUND  
POWER SERVICE

AREA: 16,549.65 sq.ft.

LEGAL DESCRIPTION: Lot 6, KINGSTON COURT, according to the Plat thereof recorded in Plat Book 8, Page 82, Public Records of Martin County, Florida.

CERTIFIED TO: LARS A. JANSON AND KAREN M. JANSON;  
OUGHTERSON, SUNDHEIM & WOODS, P.A.;  
COMMONWEALTH LAND TITLE INSURANCE COMPANY;  
UNIVERSAL LAND TITLE, INC.

Flood Zone "C"

Bearings hereon are referred to an assumed value of South 66°31'50" West for the centerline of right-of-way of Kingston Court; said bearing is identical with the Plat of record.

. KINGSTON COURT . Lot 6 .

REVISION	DATE	BY
UPDATED/RECEIVED	DAF	
1/28/2001		

**LANGBEHN SURVEYING**

P.O. BOX 888 JENSEN BEACH, FLORIDA 34868  
(881) 398 - 8166  
FAX (881) 337 - 7404

CERTIFICATE: This is to certify that this SKETCH OF SURVEY, of the herein described property, is true and correct to the best of my knowledge and belief, according to the best of my knowledge and belief, and meets the Minimum Technical Standards set forth in Chapter 81D17-9 F.A.C. by the Florida Board of Land Surveyors pursuant to Section 478.007, Florida Statutes.

*[Signature]*

PROFESSIONAL LAND SURVEYOR  
STATE OF FLORIDA REGISTRATION NO. 21128

NOTE: NOT VALID UNLESS SEALED WITH AN ENCLOSED SURVEYOR'S SEAL.  
This SURVEY prepared from legal description supplied by client.

DATE OF FIELD SURVEY	1/25/99
SCALE	1" = 20'
JOB NO.	99-10858
FIELD BOOK AND PAGE	FF-LDk

**EASEMENT AGREEMENT**

Date: 3/12/13

Gentlemen:

I propose to apply for a Town of Sewall's Point permit to erect a replace existing fence

In the (utility/drainage) easement on my property located at 1321 S River Rd  
Stuart FL 34996

LEGAL DESCRIPTION: LOT 6, BLOCK \_\_\_\_\_, SUBDIVISION Kingston Court

(Give a brief description of dimensions and location from property lines)

In the event you have no objection to this project, please complete this form and return to me at:

Address: 1660 Dyer Pt Rd

City: Palm City State: FL Zip: 34990

I understand your company will not be responsible in any way for repair or replacement of any portion of This fence and that any removal or replacement of such, necessary for your use of this easement will be done at my expense.

I acknowledge that I will be responsible for any damage caused to your facilities in this (utility/drainage) easement by the construction or maintenance of this structure.

Signed: FL Beach Phone: 772 287 6550

\*\*\*\*\*

**THE FOLLOWING IS TO BE COMPLETED BY UTILITY COMPANY\*\*\***

We agree to the proposed construction under the circumstances described above.

Company: FPL Co

By: Shari Allore

Title: Project Manager

Company records indicate that a potential conflict  DOES  DOES NOT exist.

The conflict consists of: \_\_\_\_\_

**UTILITY CONTACT LIST**

MARTIN COUNTY UTILITIES: JIM CHRIST <sup>221 1447</sup> 772-288-3034 - FAX: 221-1447

FLORIDA POWER AND LIGHT: ROB MORRIS <sup>59</sup> 772-223-4215 - FAX: 223-4221

COMCAST: <sup>WAGE</sup> TIM KORNDORFER <sup>59</sup> 772-692-9010 EXT-29 FAX: 691-0759 361-454-5899

AT&T: JAMES VINGA 772-460-4452 FAX: 772-466-5651

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

Mon

Tue

Wed

Thur

Fri

7-3-13

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10467	Seely 37 Loftingway Galvanized AC	Final AC	Pass	CLOSE INSPECTOR <i>af</i>
10440	<del>P. Luchalski</del> 6 Banyan Freedom Home	Final Beams	Pass	close INSPECTOR <i>af</i>
10480	SHARFI 73 N. Sumner Rd WATER	Columns/Beams SLAB		Pass INSPECTOR <i>af</i>
<del>10414</del>	<del>Janson</del> 132 S. River Rd Coastal Coast	<del>Final Fence</del>	<del>Pass</del>	<del>CLOSE</del> INSPECTOR <i>af</i>
10401	<del>Daugherty</del> <del>A. O'Connell</del> <del>Apex</del>	Final Paver <del>W. W. W. W.</del>	Fail	Risers NOT TO CODE NEED RAILING INSPECTOR <i>af</i>
10314	Fitch 3 Timor SEA GATE	POOL DECK SLAB	Pass	INSPECTOR <i>af</i>
				INSPECTOR

**10477**

**SIDING**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	10477	DATE ISSUED:	JUNE 10, 2013
SCOPE OF WORK:	SIDING		
CONTRACTOR:	ROBERT HERSHBERGER		
PARCEL CONTROL NUMBER:	133841010-000-000602	SUBDIVISION	KINGSTON CT - LOT 6
CONSTRUCTION ADDRESS:	132 S RIVER RD		
OWNER NAME:	JANSON		
QUALIFIER:	ROBERT HERSHBERGER	CONTACT PHONE NUMBER:	621-0702

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

### INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

Date: 6-6-2013 **Town of Sewall's Point** BUILDING PERMIT APPLICATION Permit Number: 10477  
 OWNER/LESSEE NAME: JANSON LARS KAREN Phone (Day) 772-341-3391 (Fax) \_\_\_\_\_  
 Job Site Address: 132 SAUER RD City: SEWALLS POINT State: FL Zip: \_\_\_\_\_  
 Legal Description: KORSTAN COURT LOT 6 Parcel Control Number: 13-38-41-010-000-00060-2  
 Fee Simple Holder Name: \_\_\_\_\_ Address: \_\_\_\_\_  
 City: STATE Zip: \_\_\_\_\_ Telephone: STATE

**\*SCOPE OF WORK (PLEASE BE SPECIFIC):** HARBOR STAIRS  
**WILL OWNER BE THE CONTRACTOR?**  
 (If yes, Owner Builder questionnaire must accompany application)  
 YES \_\_\_\_\_ NO X  
**Has a Zoning Variance ever been granted on this property?**  
 YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
 (Must include a copy of all variance approvals with application)  
**COST AND VALUES: (Required on ALL permit applications)**  
 Estimated Value of Improvements: \$ 35,000.00  
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
 Is subject property located in flood hazard area? VE10 \_\_\_\_\_ AE9 \_\_\_\_\_ AE8 \_\_\_\_\_ X \_\_\_\_\_  
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
 Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
 (Fair Market Value of the Primary Structure only, Minus the land value)  
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: ROBERT HERSHBERGER Phone: 772-621-0702 Fax: \_\_\_\_\_  
 Qualifiers name: ROBERT HERSHBERGER Street: 2952 SE MONROE ST City: STUART State: FL Zip: 34999  
 State License Number: CRC 035243 OR: Municipality: \_\_\_\_\_ License Number: \_\_\_\_\_  
 LOCAL CONTACT: ROBERT HERSHBERGER Phone Number: 772-621-0702  
 DESIGN PROFESSIONAL: \_\_\_\_\_ Fla. License# \_\_\_\_\_  
 Street: NONE City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Phone Number: \_\_\_\_\_  
 AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_  
 Carport: \_\_\_\_\_ Total under Roof: 3202 Elevated Deck: \_\_\_\_\_ Enclosed area below BFE\*: \_\_\_\_\_  
 \* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010  
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

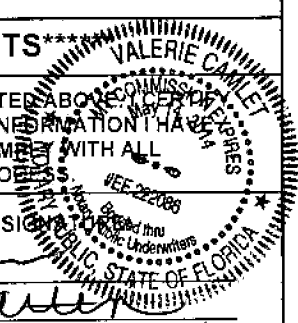
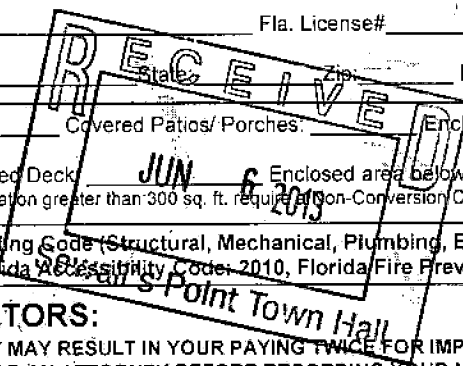
**WARNINGS TO OWNERS AND CONTRACTORS:**  
 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.  
 2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.  
 3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.  
 4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\*

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE AND TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER/AGENT/LESSEE - NOTARIZED SIGNATURE:  
 X Karen Janson  
 State of Florida, County of: Martin  
 On This the 6 day of June  
 by Karen Janson who is personally  
 known to me or produced FDL# 1525-513-66-682-0  
 As identification: Valerie Carmel  
 Notary Public

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:  
 X Robert Hershberger  
 State of Florida, County of: Martin  
 On This the 6 day of June 2013  
 by Robert Hershberger who is personally  
 known to me or produced FDL# 4621-772-57-288-0  
 As identification: Valerie Carmel  
 Notary Public



200  
33  
220

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**Martin County, Florida  
Laurel Kelly, C.F.A**

generated on 6/6/2013 1:02:31 PM EDT

**Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
13-38-41-010-000-00060-2	27856	132 S RIVER RD, SEWALL'S POINT	\$421,940	6/1/2013

---

**Owner Information**

<b>Owner(Current)</b>	JANSON LARS A & KAREN M
<b>Owner/Mail Address</b>	132 S RIVER RD STUART FL 34996
<b>Sale Date</b>	10/30/2000
<b>Document Book/Page</b>	1534 2519
<b>Document No.</b>	JMB
<b>Sale Price</b>	374500

---

**Location/Description**

<b>Account #</b>	27856	<b>Map Page No.</b>	SP-05
<b>Tax District</b>	2200	<b>Legal Description</b>	KINGSTON COURT LOT 6
<b>Parcel Address</b>	132 S RIVER RD, SEWALL'S POINT		
<b>Acres</b>	.3800		

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**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120400 Hmwd,Palm Ro,Kngstn,Okwd, Pine

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**Assessment Information**

<b>Market Land Value</b>	\$192,500
<b>Market Improvement Value</b>	\$229,440
<b>Market Total Value</b>	\$421,940

**Martin County, Florida  
Laurel Kelly, C.F.A  
Dwelling Details**

*generated on 6/5/2013 10:58:30 AM EDT*

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
13-38-41-010-000-00060-2	27856	132 S RIVER RD, SEWALL'S POINT	\$421,940	6/1/2013

**Dwelling Details**

Floor Code	Dwelling Rooms & Area										
	Living Rm(s)	Dining Rm(s)	Great Rm(s)	Kitchen (s)	Den (s)	Bed Rm (s)	Other Rm(s)	Full Bath (s)	Half Bath (s)	Base Area	Finished Area
DWELL_1.0	0	0	0	0	0	3	0	4	0	1,565	1,565
DWELL_2.0	0	0	0	0	0	0	0	0	0	1,637	1,637
<b>TotalDwellRooms</b>	0	0	0	0	0	3	0	4	0		
<b>TotalDwellArea</b>										3,202	
<b>FinishedLivingArea</b>											3,202

Description	Features and Exterior Features					
	Size	Unit Type	Capacity	Height	Length	Width
<b>BASIC - Basic allowance</b>	1		0	0	0	0
<b>CONCP - Concrete Patio</b>	154					
<b>CONCP - Concrete Patio</b>	931					
<b>COOLING - Central air</b>	1					
<b>EXT. COVER - Stucco or wood</b>	1					
<b>EXT. FRM 1 - Wood frame</b>	1					
<b>EXT. FRM 2 - Wood frame</b>	1					
<b>FOUNDATION - Full Slab</b>	1					
<b>FP - Fireplace</b>	1		0	0	0	0
<b>HEATING - Central Warm Air</b>	1					
<b>OMP - Open Masonry Porch</b>	40					
<b>OMP - Open Masonry Porch</b>	70					
<b>OMP - Open Masonry Porch</b>	84					
<b>OMP - Open Masonry Porch</b>	342					
<b>Roof Type - Metal flat seam</b>	1					
<b>SHUTTERP - Shutters - Panel</b>	1		0	0	0	0





NOTICE OF COMMENCEMENT INSTR # 2399003  
OF BK 2655 PG 2582

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00 (1 Page) Mechanical

PERMIT #: SP 6613

TAX FOLIO #: 13-38-41-010-010

RECORDED 07/05/2012 02:10:49 PM  
CAROLYN TIMMANN  
MARTIN COUNTY CLERK

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):

KINGSMAN COURT LOT 6 132 S RIVER RD

GENERAL DESCRIPTION OF IMPROVEMENT: HARDY STAGING

OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT

NAME: JANSON KAREN

ADDRESS: 132 S River RD

PHONE NUMBER: \_\_\_\_\_

FAX NUMBER: \_\_\_\_\_

INTEREST IN PROPERTY: OWNERS

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR: ROBERT HERSHBERGER

ADDRESS: 2952 SEMINOLE ST SUWART FL 34997

PHONE NUMBER: 772 621-0702

FAX NUMBER: \_\_\_\_\_

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED)

ADDRESS: \_\_\_\_\_

PHONE NUMBER: \_\_\_\_\_

FAX NUMBER: \_\_\_\_\_

BOND AMOUNT: \_\_\_\_\_

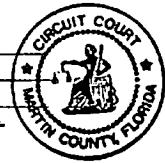
LENDER/MORTGAGE COMPANY:

ADDRESS: \_\_\_\_\_

PHONE NUMBER: \_\_\_\_\_

STATE OF FLORIDA  
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE  
FOREGOING 1 PAGE(S) IS A TRUE  
AND CORRECT COPY OF THE ORIGINAL  
DOCUMENT AS FILED IN THIS OFFICE.



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (b), FLORIDA STATUTES:

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE NUMBER: \_\_\_\_\_

CAROLYN TIMMANN CLERK

BY: [Signature] D.C.

DATE: 06/06/13

FAX NUMBER: \_\_\_\_\_

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:

PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_ EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_

**EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED**

**WARNING TO OWNER:** ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

[Signature]

SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/A

SIGNATORY'S TITLE/OFFICE: owner

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 6 DAY OF Jun 2013

BY: Karen M Janson AS owner

NAME OF PERSON

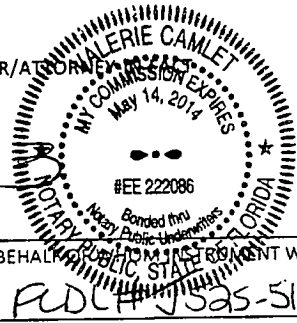
TYPE OF AUTHORITY

FOR \_\_\_\_\_ PARTY ON BEHALF OF \_\_\_\_\_

PERSONALLY KNOWN \_\_\_\_\_ OR PRODUCED IDENTIFICATION  TYPE OF IDENTIFICATION PRODUCED FDCH JS25-513-66-6820

Valerie Camlet

NOTARY SIGNATURE/ SEAL







DEPARTMENT OF PERMITTING, ENVIRONMENT, AND REGULATORY  
AFFAIRS (PERA)  
BOARD AND CODE ADMINISTRATION DIVISION  
**NOTICE OF ACCEPTANCE (NOA)**

MIAMI-DADE COUNTY  
PRODUCT CONTROL SECTION  
11805 SW 26 Street, Room 208  
Miami, Florida 33175-2474  
T (786) 315-2590 F (786) 315-2599  
[www.miamidade.gov/pera/](http://www.miamidade.gov/pera/)

**James Hardie Building Product, Inc.**  
10901 Elm Avenue  
Fontana, CA 92337

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County PERA-Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. PERA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

**DESCRIPTION: HardiPanel, CemPanel, HardiPlank, CemPlank, HardiSoffit and CemSoffit Fiber Cement Siding and Soffit**

**APPROVAL DOCUMENT:** Drawing No. HPNL-8X, HPLK-4X8 & HSOFFIT-8X, titled "HardiPanel & CemPanel; HardiPlank & CemPlank; HardiSoffit & CemSoffit Installation Details", sheets 1 through 3 of 3, dated 04/02/2004, prepared by the manufacturer, signed and sealed by Ronald Ogawa, P.E., bearing the Miami-Dade County Product Control revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Section.

**MISSILE IMPACT RATING: Large and Small Missile Impact Resistant**

**LABELING:** A permanent label with the manufacturer's name or logo, Plant City, Florida, and the following statements: "ASTM C 1186 Type A compliant" and "Miami-Dade County Product Control Approved" is to be located on each panel and per FBC 1915.9.2 and 1915.9.3 on planks.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official. This NOA revises NOA # 07-0418.04 and consists of this page 1 and evidence page E-1, as well as approval document mentioned above.

The submitted documentation was reviewed by **Carlos M. Utrera, P.E.**



*Utrera*  
04/27/2012

NOA No. 12-0214.14  
Expiration Date: May 1, 2013  
Approval Date: May 3, 2012  
Page 1

**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

**A. DRAWINGS "Submitted under NOA # 07-0418.04"**

1. Drawing No. **HPNL-8X, HPLK-4X8 & HSOFFIT-8X**, titled "HardiPanel & CemPanel; HardiPlank & CemPlank; HardiSoffit & CemSoffit Installation Details", sheets 1 through 3 of 3, dated 04/02/2004, prepared by the manufacturer, signed and sealed by Ronald Ogawa, P.E.

**B. TESTS "Submitted under NOA # 02-0729.02"**

	<b>Test Report No.</b>	<b>Standard</b>	<b>Date</b>	<b>Signature</b>
1.	ATI-16423-1	PA 202 & 203	03/18/96	A. N. Reeves, P.E.
2.	ATI 16423-2	PA 202 & 203	03/18/96	A. N. Reeves, P.E.
3.	ATI 16423-3	PA 202 & 203	03/18/96	A. N. Reeves, P.E.

**C. CALCULATIONS**

1. None.

**D. QUALITY ASSURANCE**

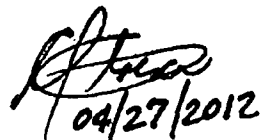
1. Miami-Dade Department of Permitting, Environment, and Regulatory Affairs (PERA)

**E. MATERIAL CERTIFICATIONS**

1. None.

**F. STATEMENTS**

1. Statement letter of code conformance to 2010 FBC issued by Ronald Ogawa & Associates, Inc., dated 04/26/2012, signed and sealed by Ronald Ogawa, P.E.
2. Testing proposal issued by Intertek Testing Services NA Ltd., dated 04/24/2012, signed by Jeff Meursing and Chad Diercks.

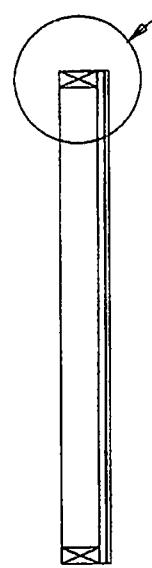
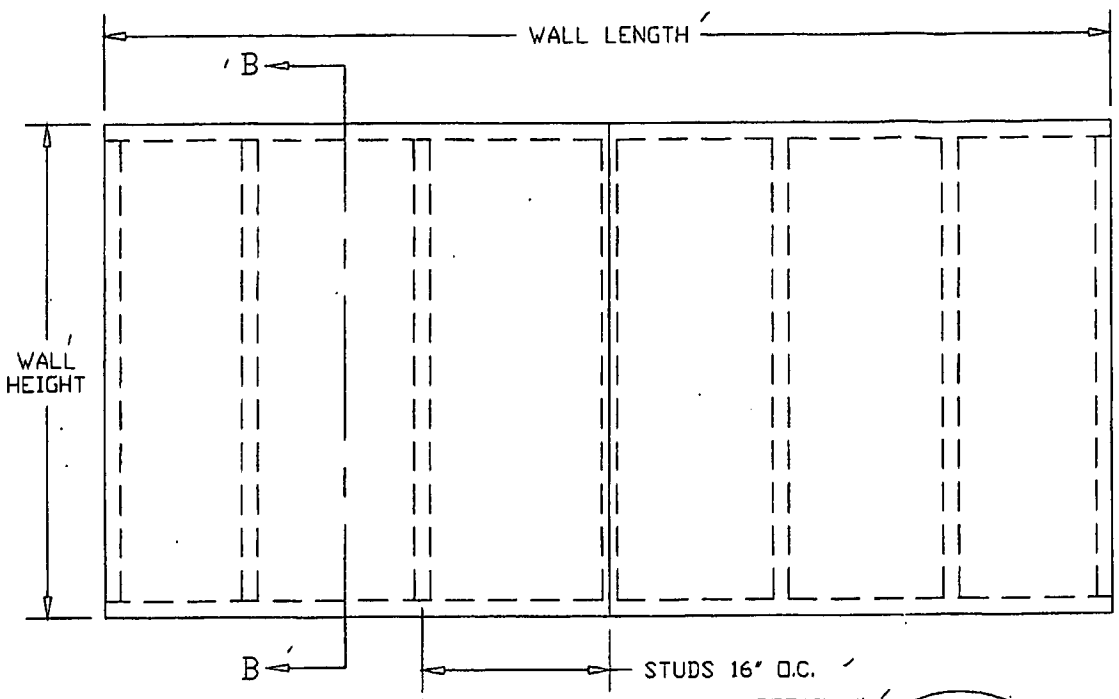


04/27/2012

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Carlos M. Utrera, P.E.  
Product Control Examiner  
NOA No. 12-0214.14  
Expiration Date: May 1, 2013  
Approval Date: May 3, 2012

REVISION BLOCK
REV. # / DATE



DETAIL A

**DESCRIPTION**  
 Hardipanel & Cempanel siding material is a non asbestos fiber cement product tested in accordance with ASTM C-1185 and meeting the requirements of the Florida Building Code.

**PANEL DIMENSIONS**

Width	Length	Thickness
48"	8,9,10'	5/16"

**DESIGN PRESSURE RATING**

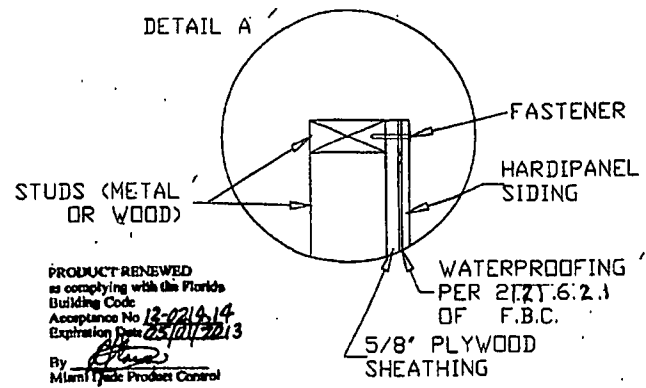
Installation	Design Pressure
Wood frame	-76 PSF
Metal frame	-104 PSF

*Handwritten signature and date: 4/2/04*

- NOTES**
- 1) ALL INSTALLATION SHALL BE DONE IN CONFORMANCE WITH THIS NOTICE OF ACCEPTANCE, THE MANUFACTURER'S INSTALLATION RECOMMENDATIONS, AND THE APPLICABLE SECTIONS OF THE FLORIDA BUILDING CODE.
  - 2) STUDS OF METAL OR WOOD WHERE HARDIPANEL & CEMPANEL WILL BE INSTALLED SHALL BE DESIGNED BY AN ENGINEER OR ARCHITECT PER THE F.B.C. AND THE REQUIREMENTS OF THIS N.O.A.

**HARDIPANEL & CEMPANEL SIDING INSTALLATION DETAILS**  
 The panels are applied vertically, avoiding horizontal joints, over 5/8" (5 ply) APA rated plywood supported by a minimum of 2"x4" wood studs or 20 ga. x 3 5/8" x 1 3/8" steel studs spaced a maximum of 16' o.c. When installed on wood studs panels shall be fastened with 6d x 2" long galvanized box nails; on steel studs it shall be fastened with #8 x 1 5/8" x 0.315" corrosion resistance H.D. ribbed bugle screws. The fasteners shall be placed @ 5" o.c. around the perimeter of the panel and intermediate studs, driven through the plywood sheathing into the studs. All joints shall be over studs. Nails and screws shall have a minimum edge distance of 3/8" and a minimum clearance of 2" from the corners.

5/8" PLYWOOD SHEATHING SHALL BE ATTACHED TO THE STUDS IN ACCORDANCE TO FLORIDA BUILDING CODE, WITH ANOTHER SET OF NAILS OR SCREWS AS UNDERLINED ABOVE.



**PRODUCT REVIEWED**  
 as complying with the Florida Building Code  
 Acceptance No. 12-0216-14  
 Expiration Date 03/01/2013  
 By *[Signature]*  
 Miami Field Product Control

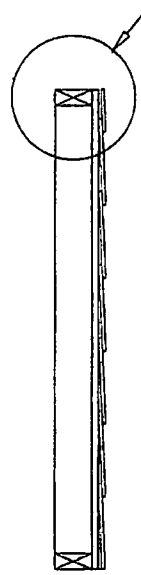
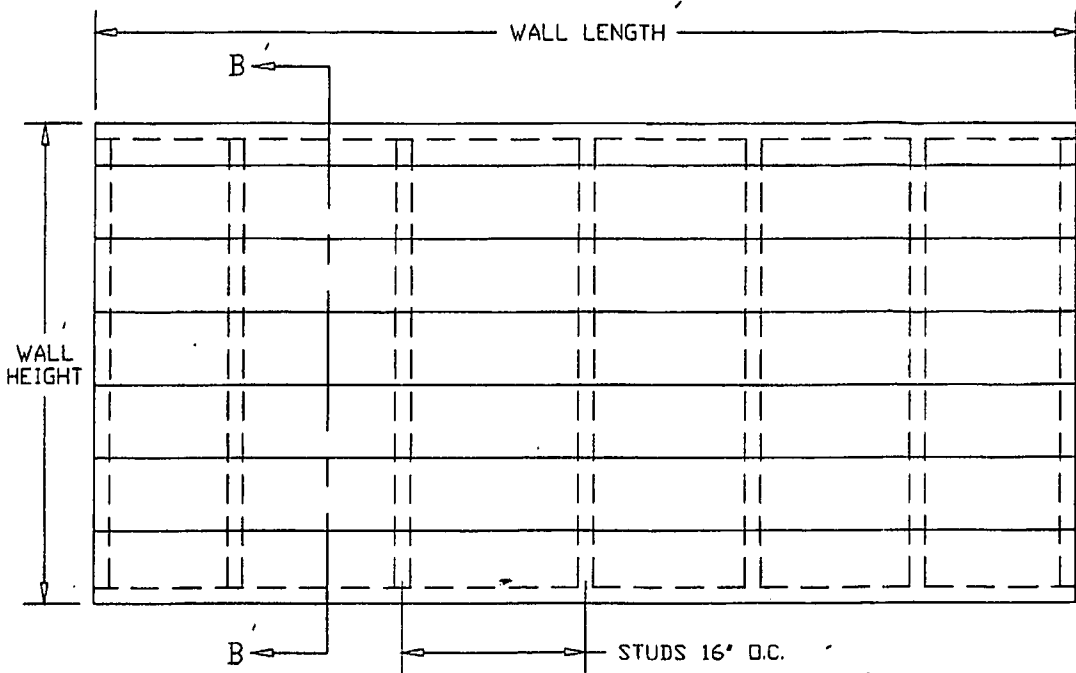
SECTION B-B

**PRODUCT REVIEWED**  
 as complying with the Florida Building Code  
 Acceptance No. 07-0418-04  
 Expiration Date 05/04/2012  
 By *[Signature]*  
 Miami Field Product Control Division

**PRODUCT REVIEWED**  
 as complying with the Florida Building Code  
 Acceptance No. 02-0129-02  
 Expiration Date 02/01/07  
 By *[Signature]*  
 Miami Field Product Control Division

<b>JAMES HARDIE BUILDING PRODUCTS - USA</b> RESEARCH & DEVELOPMENT CENTER	10901 ELM AVENUE FORTANA, CA 92337 909-356-6300 FAX: 909-427-0634
	DATE: 04/02/2004 DRG NO.: HPNL-BX SHEET NO.: 1/3 SCALE: NTS DRAWN BY: C DIERCKS ENG NO.:
This drawing and the copyright therein are the property of the above company and accordingly the drawing must not be copied or reproduced in any material form whatsoever.	
TITLE: <b>HARDIPANEL® &amp; CEMPANEL® INSTALLATION DETAILS</b>	APPROVING ENG: _____ ENG DISCIPLINE: _____

REVISION BLOCK
REV. # / DATE:



DETAIL A

**DESCRIPTION**  
 Hardiplank & Cemplank siding material is a non asbestos fiber cement product tested in accordance with ASTM C-1185 and meeting the requirements of the Florida Building Code.

**PLANK DIMENSIONS**  
 Width Length Thickness  
 s9 1/2' 12' & 14' 5/16'

**DESIGN PRESSURE RATING**  
 Installation Design Pressure  
 Wood frame -92 PSF  
 Metal frame -92 PSF

**NOTES**  
 1) ALL INSTALLATION SHALL BE DONE IN CONFORMANCE WITH THIS NOTICE OF ACCEPTANCE, THE MANUFACTURER'S INSTALLATION RECOMMENDATIONS, AND THE APPLICABLE SECTIONS OF THE FLORIDA BUILDING CODE.  
 2) STUDS OF METAL OR WOOD WHERE HARDIPLANK & CEMPLANK WILL BE INSTALLED SHALL BE DESIGNED BY AN ENGINEER OR ARCHITECT PER THE F.B.C. AND THE REQUIREMENTS OF THIS N.O.A.

*Handwritten signature and date: [Signature] 4/25/12*

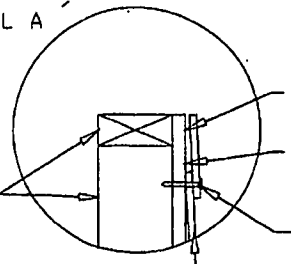
**PRODUCT RENEWED**  
 as complying with the Florida Building Code  
 Acceptance No. 22-0418.04  
 Expiration Date 05/01/2012  
 By [Signature]  
 Miami Dade Product Control Division

**PRODUCT RENEWED**  
 as complying with the Florida Building Code  
 Acceptance No. 22-0729.02  
 Expiration Date 05/01/12  
 By [Signature]  
 Miami Dade Product Control Division

**HARDIPLANK & CEMPLANK SIDING INSTALLATION DETAILS**  
 The planks are applied horizontally commencing from the bottom course of a wall with 1/4" wide laps at top of the plank. The optional PVC cover molding 1/8" wide is applied to the bottom plate under the bottom plank course. The vertical joints must be over framing members. Optional PVC butt joints inserts are used for on-stud jointing. The planks are to be installed over 5/8" (5 ply) APA rated plywood supported by a minimum of 2"x4" wood studs or 20 ga. x 3 5/8" x 1 3/8" steel studs spaced a maximum of 16" o.c. The siding shall be fastened through overlapping planks with 8d x 2 1/2" long galvanized box nails over wood studs or with 1/8" x 2 1/4" long x 0.315" corrosion resistance H.D. ribbed bugle screws over steel studs. The fasteners shall be placed in the over-lapping area 18" o.c. vertically and 16" o.c. horizontally into the studs through the 5/8" plywood sheathing. A distance of 3/4" from the edges shall always be observed.

5/8" PLYWOOD SHEATHING SHALL BE ATTACHED TO THE STUDS IN ACCORDANCE TO FLORIDA BUILDING CODE, WITH ANOTHER SET OF NAILS OR SCREWS AS UNDERLINED ABOVE.

**PRODUCT RENEWED**  
 as complying with the Florida Building Code  
 Acceptance No. 12-0214.16  
 Expiration Date 05/01/2013  
 By [Signature]  
 Miami Dade Product Control



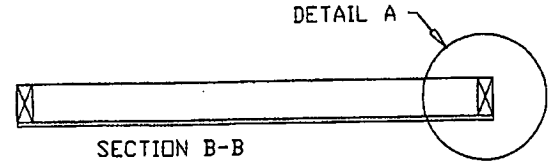
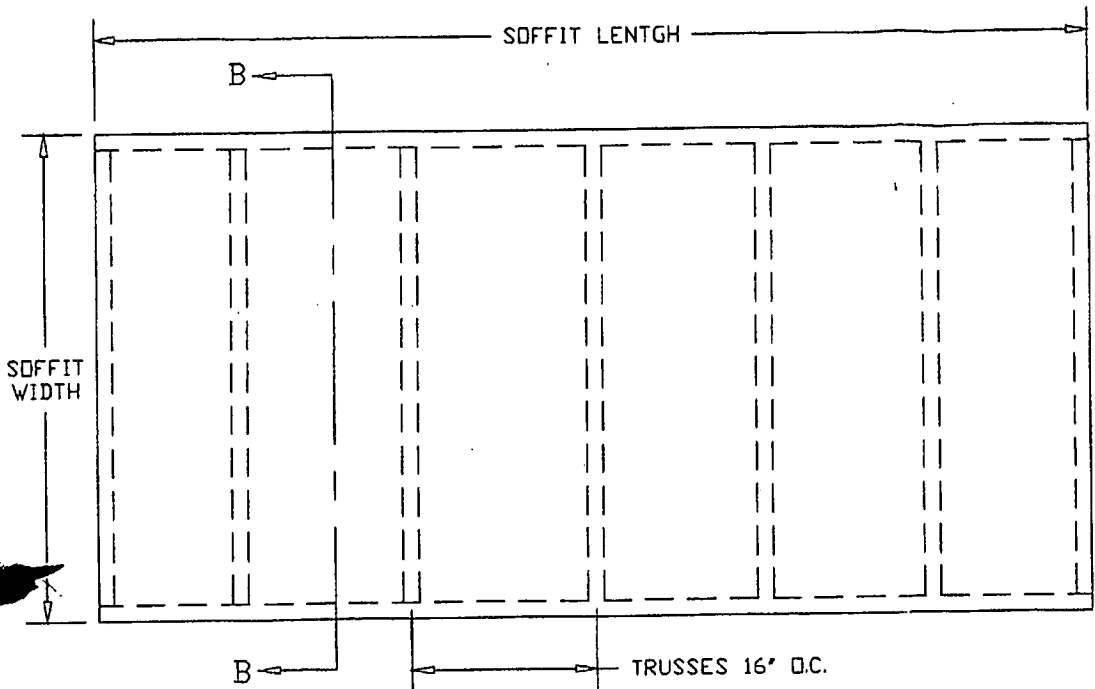
5/8" PLYWOOD SHEATHING WATERPROOFING PER 2127.6.2.1 OF F.B.C.

NAIL OR SCREW  
 HARDIPLANK & CEMPLANK SIDING

<b>JAMES HARDIE BUILDING PRODUCTS - USA</b> RESEARCH & DEVELOPMENT CENTER	10901 ELM AVENUE FONTANA, CA 92337 909-356-6300 FAX: 909-487-0634
	DATE: 04/02/2004 DRG NO.: HPLK-4XB SHEET NO.: 2/3
TITLE: <b>HARDIPLANK® &amp; CEMPLANK® INSTALLATION DETAILS</b>	SCALE: NTS DRAWN BY: C DIERCKS
APPROVING ENG:	ENG DISCIPLINE:

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REVISION BLOCK
REV. / / DATE



**DESCRIPTION**  
 Hardisoffit & Cemssoffit panels material is a non asbestos fiber cement product tested in accordance with ASTM C-1185 and meeting the requirements of the Florida Building Code.

**SOFFIT DIMENSIONS**  
 Width Length Thickness  
 ≤48" 8,9,10' 1/4" & 5/16"

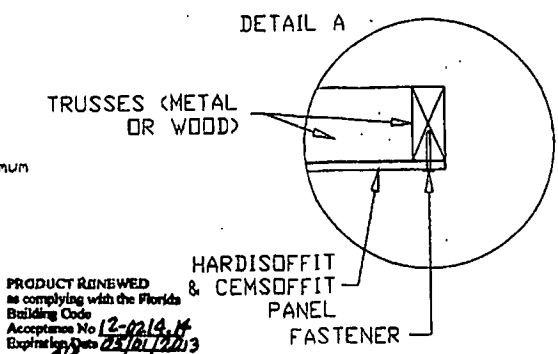
**DESIGN PRESSURE RATING**  
 Installation Design Pressure  
 Wood frame ±53 PSF  
 Metal frame ±53 PSF

**NOTES**  
 1) ALL INSTALLATION SHALL BE DONE IN CONFORMANCE WITH THIS NOTICE OF ACCEPTANCE, THE MANUFACTURER'S INSTALLATION RECOMMENDATIONS, AND THE APPLICABLE SECTIONS OF THE FLORIDA BUILDING CODE.

2) TRUSS OF METAL OR WOOD WHERE HARDISOFFIT & CEMSOFFIT WILL BE INSTALLED SHALL BE DESIGNED BY AN ENGINEER OR ARCHITECT PER THE F.B.C. AND THE REQUIREMENTS OF THIS N.O.A.

*Handwritten signature and date: 02/02/04*

**HARDISOFFIT & CEMSOFFIT PANEL INSTALLATION DETAILS**  
 The soffit panels are to be installed over minimum 2"x4" wood joists or 20 ga. x 3 5/8" x 1 3/8" steel joists spaced a maximum of 16" o.c. When installed on wood joists Hardisoffit shall be fastened with 6d x 2" long galvanized box nails on steel studs it shall be fastened with #8 x 1 1/4" x 0.315" corrosion resistance H.D. ribbed bugle screws. The fasteners shall be placed 4" o.c. around the perimeter of the panel and intermediate studs. Nails and screws shall have a minimum edge distance of 3/8" and a minimum clearance of 2" from corners.



**PRODUCT RENEWED**  
 as complying with the Florida Building Code  
 Acceptance No 12-0219-04  
 Expiration Date 03/01/2013  
 By *[Signature]*  
 Miami Dade Product Control

**PRODUCT RENEWED**  
 as complying with the Florida Building Code  
 Acceptance No 02-0218-04  
 Expiration Date 03/01/2012  
 By *[Signature]*  
 Miami Dade Product Control Division

**PRODUCT RENEWED**  
 as complying with the Florida Building Code  
 Acceptance No 02-0229-02  
 Expiration Date 03/01/07  
 By *[Signature]*  
 Miami Dade Product Control Division

<b>JAMES HARDIE BUILDING PRODUCTS - USA</b> RESEARCH & DEVELOPMENT CENTER	10901 ELM AVENUE FONTANA, CA 92337 909-356-6300 FAX: 909-427-0634
	DATE: 04/02/2004 DRG NO.: HSOFFIT-8X SHEET NO: 3/3 SCALE: NTS DRAWN BY: C DIERCKS ENG NO:
TITLE: <b>HARDISOFFIT® &amp; CEMSOFFIT® INSTALLATION DETAILS</b>	APPROVED ENG: _____ ENG DISCIPLINE: _____

# **Florida Product Approval**

## **HardiePlank® Lap Siding**

- For use inside HVHZ:
  - HardiePlank Lap Siding fastener types, fastening schedule, and installation shall be in accordance with the Miami-Dade County Florida NOA 07-0418.04. Consult the HardiePlank product installation instructions on the follow pages for all other installation requirements.
  
- For use outside of HVHZ,
  - HardiePlank Lap Siding fastener types, fastening schedule, and installation shall be in accordance with Engineering Evaluation Reports RIO-2298-11 or RIO-2300-11. Consult the HardiePlank product installation instructions on the follow pages for all other installation requirements.



INSTALLATION REQUIREMENTS - PRIMED & COLORPLUS® PRODUCTS

EFFECTIVE NOVEMBER 2010

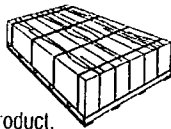
Visit [www.jameshardie.com](http://www.jameshardie.com) for the most recent version.

**SELECT CEDARMILL® - SMOOTH - COLONIAL SMOOTH® - COLONIAL ROUGHSAWN® - BEADED CEDARMILL®  
BEADED SMOOTH - STRAIGHT-EDGE SHINGLE PLANK**

**IMPORTANT: FAILURE TO INSTALL AND FINISH THIS PRODUCT IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND JAMES HARDIE WRITTEN APPLICATION INSTRUCTIONS MAY LEAD TO PERSONAL INJURY, AFFECT SYSTEM PERFORMANCE, VIOLATE LOCAL BUILDING CODES, AND VOID THE PRODUCT ONLY WARRANTY. BEFORE INSTALLATION, CONFIRM THAT YOU ARE USING THE CORRECT HARDIEZONE™ PRODUCT INSTRUCTIONS. INSTALLATION OF HZ10® PRODUCTS OUTSIDE AN HZ10® LOCATION WILL VOID YOUR WARRANTY. TO DETERMINE WHICH HARDIEZONE™ APPLIES TO YOUR LOCATION, VISIT [WWW.HARDIEZONE.COM](http://WWW.HARDIEZONE.COM) OR CALL 1-866-942-7343 (866 9HARDIE)**

**STORAGE & HANDLING:**

Store flat and keep dry and covered prior to installation. Installing siding wet or saturated may result in shrinkage at butt joints. Carry planks on edge. Protect edges and corners from breakage. James Hardie is not responsible for damage caused by improper storage and handling of the product.



**CUTTING INSTRUCTIONS**

**OUTDOORS**

1. Position cutting station so that wind will blow dust away from user and others in working area.
2. Use one of the following methods:
  - a. Best:
    - i. Score and snap
    - ii. Shears (manual, electric or pneumatic)
  - b. Better:
    - i. Dust reducing circular saw equipped with a HardieBlade® saw blade and HEPA vacuum extraction
  - c. Good:
    - i. Dust reducing circular saw with a HardieBlade saw blade (only use for low to moderate cutting)

**INDOORS**

1. Cut only using score and snap, or shears (manual, electric or pneumatic).
2. Position cutting station in well-ventilated area

- NEVER use a power saw indoors
- NEVER use a circular saw blade that does not carry the HardieBlade saw blade trademark
- NEVER dry sweep - Use wet suppression or HEPA Vacuum

Important Note: For maximum protection (lowest respirable dust production), James Hardie recommends always using "Best"-level cutting methods where feasible.

NIOSH-approved respirators can be used in conjunction with above cutting practices to further reduce dust exposures. Additional exposure information is available at [www.jameshardie.com](http://www.jameshardie.com) to help you determine the most appropriate cutting method for your job requirements. If concern still exists about exposure levels or you do not comply with the above practices, you should always consult a qualified industrial hygienist or contact James Hardie for further information.

SD283105

**GENERAL REQUIREMENTS:**

- HardiePlank® lap siding can be installed over braced wood or steel studs spaced a maximum of 24" o.c. or directly to minimum 7/16" thick OSB sheathing. Irregularities in framing and sheathing can mirror through the finished application.
- HardiePlank® lap siding can also be installed over foam insulation/sheathing up to 1" thick. When using foam insulation/sheathing, avoid over-driving nails (fasteners), which can result in dimpling of the siding due to the compressible nature of the foam insulation/sheathing. Extra caution is necessary if power-driven nails (fasteners) are used for attaching siding over foam insulation/sheathing.
- A water-resistive barrier is required in accordance with local building code requirements. The water-resistive barrier must be appropriately installed with penetration and junction flashing in accordance with local building code requirements. James Hardie does manufacture HardieWrap® Weather Barrier, a non-woven non-perforated housewrap1, which complies with building code requirements.
- When installing James Hardie products all clearance details in figs. 3,4,5,6,7,8,&9 must be followed.
- Adjacent finished grade must slope away from the building in accordance with local building codes - typically a minimum of 6" in the first 10'.
- Do not use HardiePlank lap siding in fascia or trip applications.
- Do not install James Hardie products, such that they may remain in contact with standing water.
- HardiePlank lap siding may be installed on flat vertical wall applications only.
- For larger projects, including commercial and multi-family projects, where the span of the wall is significant in length, the designer and/or architect should take into consideration the coefficient of thermal expansion and moisture movement of the product in their design. These values can be found in the Technical Bulletin "Expansion Characteristics of James Hardie® Siding Products" at [www.JamesHardie.com](http://www.JamesHardie.com).
- DO NOT use stain on James Hardie® products.

**INSTALLATION:**

**JOINT TREATMENT\***

(Required for ColorPlus® Finish, Recommended for Primed product)

James Hardie does not recommend the use of caulk at field butt joints.

Figure 2

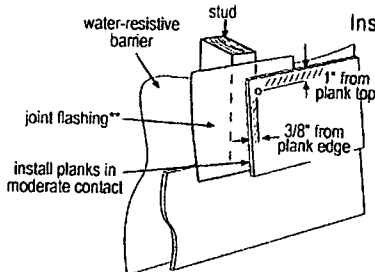
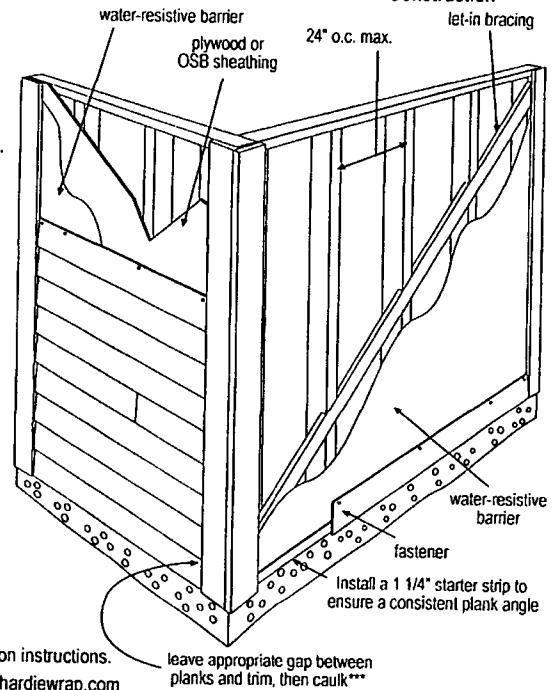


Figure 1 Double Wall Construction Single Wall Construction



\*For other jointing options, refer to local building code or NER 405

\*\*As required by local building code \*\*\*Apply caulk in accordance with caulk manufacturers written application instructions.

1 For additional information on HardieWrap® Weather Barrier, consult James Hardie at 1-866-4Hardie or [www.hardiewrap.com](http://www.hardiewrap.com)

**WARNING: AVOID BREATHING SILICA DUST**

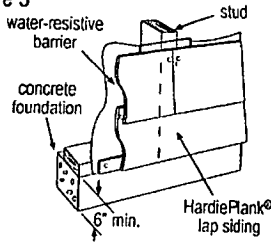
James Hardie® products contain respirable crystalline silica, which is known to the State of California to cause cancer and is considered by IARC and NIOSH to be a cause of cancer from some occupational sources. Breathing excessive amounts of respirable silica dust can also cause a disabling and potentially fatal lung disease called silicosis, and has been linked with other diseases. Some studies suggest smoking may increase these risks. During installation or handling: (1) work in outdoor areas with ample ventilation; (2) use fiber cement shears for cutting or, where not feasible, use a HardieBlade® saw blade and dust-reducing circular saw attached to a HEPA vacuum; (3) warn others in the immediate area; (4) wear a properly-fitted, NIOSH-approved dust mask or respirator (e.g. N-95) in accordance with applicable government regulations and manufacturer instructions to further limit respirable silica exposures. During clean-up, use HEPA vacuums or wet cleanup methods - never dry sweep. For further information, refer to our installation instructions and Material Safety Data Sheet available at [www.jameshardie.com](http://www.jameshardie.com) or by calling 1-800-9HARDIE (1-800-942-7343). FAILURE TO ADHERE TO OUR WARNINGS, MSDS, AND INSTALLATION INSTRUCTIONS MAY LEAD TO SERIOUS PERSONAL INJURY OR DEATH.

SD283105

## CLEARANCES

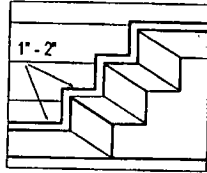
Install siding and trim products in compliance with local building code requirements for clearance between the bottom edge of the siding and the adjacent finished grade.

**Figure 3**



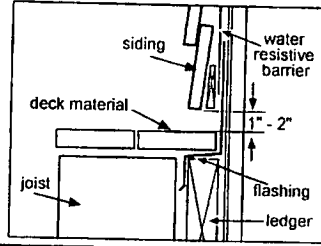
Maintain a 1" - 2" clearance between James Hardie® products and paths, steps and driveways.

**Figure 4**



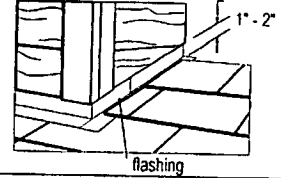
Maintain a 1" - 2" clearance between James Hardie products and decking material.

**Figure 5**



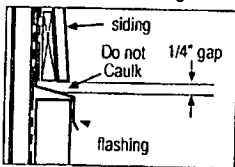
At the juncture of the roof and vertical surfaces, flashing and counterflashing shall be installed per the roofing manufacturer's instructions. Provide a 1" - 2" clearance between the roofing and the bottom edge of the siding and trim.

**Figure 6**



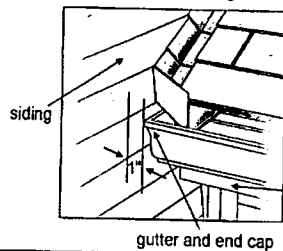
Maintain a 1/4" clearance between the bottom of James Hardie products and horizontal flashing. Do not caulk gap.

**Figure 7**

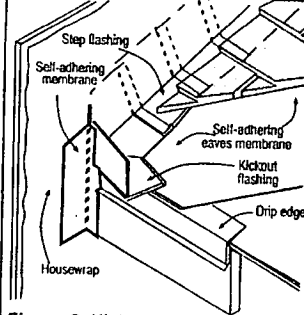


Maintain a minimum 1" gap between gutter end caps and siding & trim.

**Figure 8**



**Figure 9**



## KICKOUT FLASHING

Because of the volume of water that can pour down a sloped roof, one of the most critical flashing details occurs where a roof intersects a sidewall. The roof must be flashed with step flashing. Where the roof terminates, install a kickout to deflect water away from the siding.

It is best to install a self-adhering membrane on the wall before the subsiding and trim boards are nailed in place, and then come back to install the kickout.

**Figure 9, Kickout Flashing\*** To prevent water from dumping behind the siding and the end of the roof intersection, install a "kickout" of sufficient length and angle to direct the water running down the roof away from the siding.

## FASTENER REQUIREMENTS \*\*

Blind Nailing is the preferred method of installation for all HardiePlank® lap siding products

### BLIND NAILING

#### Nails - Wood Framing

- Siding nail (0.09" shank x 0.221" HD x 2" long)
- 11ga. roofing nail (0.121" shank x 0.371" HD x 1.25" long)

#### Screws - Steel Framing

- Ribbed Wafer-head or equivalent (No. 8 x 1 1/4" long x 0.375" HD) Screws must penetrate 3 threads into metal framing.

#### Nails - Steel Framing

- ET & F Panelfast® nails or equivalent (0.10" shank x 0.313" HD x 1-1/2" long) Nails must penetrate minimum 1/4" into metal framing.

#### OSB minimum 7/16"

- 11ga. roofing nail (0.121" shank x 0.371" HD x 1.75" long)
- Ribbed Wafer-head or equivalent (No. 8 x 1 5/8" long x 0.375" HD).

### FACE NAILING

#### Nails - Wood Framing

- 6d (0.113" shank x 0.267" HD x 2" long)
- Siding nail (0.09" shank x 0.221" HD x 2" long)

#### Screws - Steel Framing

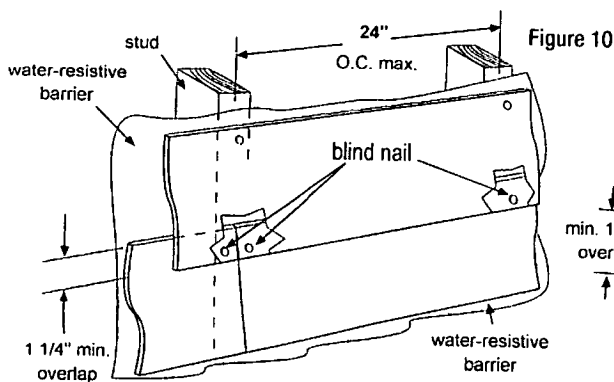
- Ribbed Bugle-head or equivalent (No. 8-18 x 1-5/8" long x 0.323" HD) Screws must penetrate 3 threads into metal framing.

#### Nails - Steel Framing

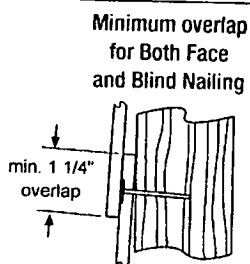
- ET & F pin or equivalent (0.10" shank x 0.25" HD x 1-1/2" long) Nails must penetrate minimum 1/4" into metal framing.

#### OSB minimum 7/16"

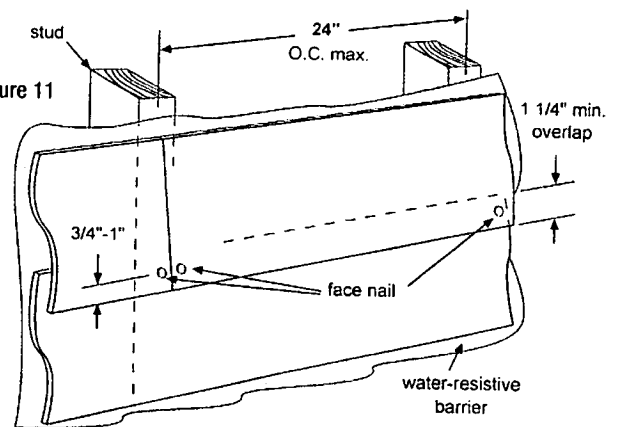
- Siding nail (0.09" shank x 0.221" HD x 1-1/2" long)\*



**Figure 10**



**Figure 11**



Laminate sheet to be removed immediately after installation of each course for ColorPlus® products.

\* The illustration (figure 9) and associated text was reprinted with permission of THE JOURNAL OF LIGHT CONSTRUCTION. For subscription information, visit [www.jlconline.com](http://www.jlconline.com).

\*\* When face nailing to OSB, planks must be no greater than 9 1/4" wide and fasteners must be 12" o.c. or less.

\*\* Also see General Fastening Requirements; and when considering alternative fastening options refer to James Hardie's Technical Bulletin USTB 17 - Fastening Tips for HardiePlank® Lap Siding.

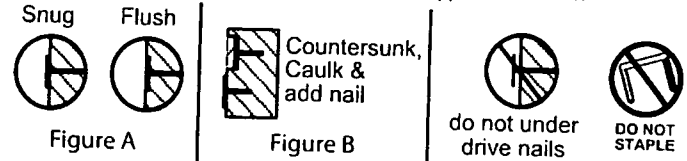
## GENERAL FASTENING REQUIREMENTS

Fasteners must be corrosion resistant, galvanized, or stainless steel. Electro-galvanized are acceptable but may exhibit premature corrosion. James Hardie recommends the use of quality, hot-dipped galvanized nails. James Hardie is not responsible for the corrosion resistance of fasteners. Stainless steel fasteners are recommended when installing James Hardie® products near the ocean, large bodies of water, or in very humid climates.

## PNEUMATIC FASTENING

James Hardie products can be hand nailed or fastened with a pneumatic tool. Pneumatic fastening is highly recommended. Set air pressure so that the fastener is driven snug with the surface of the siding. A flush mount attachment on the pneumatic tool is recommended. This will help control the depth the nail is driven. If setting the nail depth proves difficult, choose a setting that under drives the nail. (Drive under driven nails snug with a smooth faced hammer - Does not apply for installation to steel framing).

- Consult applicable code compliance report for correct fasteners type and placement to achieve specified design wind loads.
- NOTE: Published wind loads may not be applicable to all areas where Local Building Codes have specific jurisdiction. Consult James Hardie Technical Services if you are unsure of applicable compliance documentation.
- Drive fasteners perpendicular to siding and framing.
- Fastener heads should fit snug against siding (no air space). (fig. A)
- Do not over-drive nail heads or drive nails at an angle.
- If nail is countersunk, caulk nail hole and add a nail. (fig. B)
- For wood framing, under driven nails should be hit flush to the plank with a hammer (For steel framing, remove and replace nail).
- Do not use aluminum fasteners, staples, or clipped head nails.



## CAULKING

For best results use an Elastomeric Joint Sealant complying with ASTM C920 Grade NS, Class 25 or higher or a Latex Joint Sealant complying with ASTM C834. Caulking/Sealant must be applied in accordance with the caulking/sealant manufacturer's written instructions or ASTM C1193.

## PAINTING

DO NOT use stain on James Hardie® products. James Hardie products must be painted within 180 days for primed product and 90 days for unprimed. 100% acrylic topcoats are recommended. Do not paint when wet. For application rates refer to paint manufacturers specifications. Back-rolling is recommended if the siding is sprayed.

## COLORPLUS® TECHNOLOGY CAULKING, TOUCH-UP & LAMINATE

- Touch up nicks, scrapes and nail heads using the ColorPlus® Technology touch-up applicator. Touch-up paint should be used sparingly. If large areas require touch-up, replace the damaged area with new HardiePlank® lap siding with ColorPlus Technology.
- Laminate sheet must be removed immediately after installation of each course.
- Terminate non-factory cut edges into trim where possible, and caulk. Color matched caulks are available from your ColorPlus® product dealer.
- Treat all other non-factory cut edges using the ColorPlus Technology edge coat, available from your ColorPlus product dealer.

## PAINTING JAMES HARDIE® SIDING AND TRIM PRODUCTS WITH COLORPLUS® TECHNOLOGY

When repainting ColorPlus products, James Hardie recommends the following regarding surface preparation and topcoat application:

- Ensure the surface is clean, dry, and free of any dust, dirt, or mildew
- Repriming is normally not necessary
- 100% acrylic topcoats are recommended
- DO NOT use stain or oil/alkyd base paints on James Hardie® products
- Apply finish coat in accordance with paint manufacturers written instructions regarding coverage, application methods, and application temperature

## COVERAGE CHART/ESTIMATING GUIDE

Number of 12' planks, does not include waste

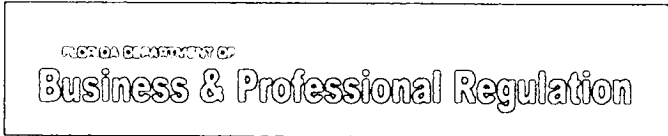
### COVERAGE AREA LESS OPENINGS

SQ (1 SQ = 100 sq.ft.)	HARDIEPLANK® LAP SIDING WIDTH (exposure)	HARDIEPLANK® LAP SIDING WIDTH									
		5 1/4 4	6 1/4 5	7 1/4 6	7 1/2 6 1/4	8 6 3/4	8 1/4 7	9 1/4 8	9 1/2 8 1/4	12 10 3/4	
1		25	20	17	16	15	14	13	13	9	
2		50	40	33	32	30	29	25	25	19	
3		75	60	50	48	44	43	38	38	28	
4		100	80	67	64	59	57	50	50	37	
5		125	100	83	80	74	71	63	63	47	
6		150	120	100	96	89	86	75	75	56	
7		175	140	117	112	104	100	88	88	65	
8		200	160	133	128	119	114	100	100	74	
9		225	180	150	144	133	129	113	113	84	
10		250	200	167	160	148	143	125	125	93	
11		275	220	183	176	163	157	138	138	102	
12		300	240	200	192	178	171	150	150	112	
13		325	260	217	208	193	186	163	163	121	
14		350	280	233	224	207	200	175	175	130	
15		375	300	250	240	222	214	188	188	140	
16		400	320	267	256	237	229	200	200	149	
17		425	340	283	272	252	243	213	213	158	
18		450	360	300	288	267	257	225	225	167	
19		475	380	317	304	281	271	238	238	177	
20		500	400	333	320	296	286	250	250	186	

This coverage chart is meant as a guide. Actual usage is subject to variables such as building design. James Hardie does not assume responsibility for over or under ordering of product.

RECOGNITION: In accordance with ICC-ES Legacy Report NER-405, HardiePlank® lap siding is recognized as a suitable alternate to that specified in: the BOCA National Building Code/1999, the 1997 Standard Building Code, the 1997 Uniform Building Code, the 1998 International One- and Two-Family Dwelling Code, the 2003 International Building Code, and the 2003 International Residential Code for One- and Two-Family Dwellings. HardiePlank lap siding is also recognized for application in the following: City of Los Angeles Research Report No. 24862, State of Florida listing FL#889, Dade County, Florida NOA No. 02-0729.02, U.S. Dept. of HUD Materials Release 1263c, Texas Department of Insurance Product Evaluation EC-23, City of New York MEA 223-93-M, and California DSA PA-019. These documents should also be consulted for additional information concerning the suitability of this product for specific applications.





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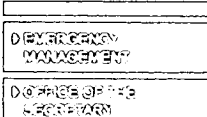
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Product Approval  
USER: Public User



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FL #	FL13192-R2
Application Type	Revision
Code Version	2010
Application Status	Approved
	*Approved by DCA. Approvals by DCA shall be reviewed and ratified by the POC and/or the Commission if necessary.
Comments	
Archived	
Product Manufacturer	James Hardie Building Products, Inc.
Address/Phone/Email	26300 La Alameda Ste. 250 Mission Viejo, CA 92691 (909) 356-6366 chad.diercks@jameshardie.com
Authorized Signature	Chad Diercks chad.diercks@jameshardie.com
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Address/Phone/Email	10901 Elm Ave Fontana, CA 92337 (909) 356-6366 chad.diercks@jameshardie.com
Quality Assurance Representative	Chad Diercks
Address/Phone/Email	10901 Elm Ave Fontana, CA 92337 (909) 356-6366 chad.diercks@jameshardie.com
Category	Panel Walls
Subcategory	Siding
Compliance Method	Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer <input type="checkbox"/> Evaluation Report - Hardcopy Received
Florida Engineer or Architect Name who developed the Evaluation Report	Ronald I. Ogawa
Florida License	PE-24121
Quality Assurance Entity	Intertek Testing Services NA Inc. - ETL/Warnock Hersey
Quality Assurance Contract Expiration Date	01/01/2015

Validated By John Southard, P.E.  
Validation Checklist - Hardcopy Received

Certificate of Independence [FL13192 R2 COI RIO - Certificate of Independence.PDF](#)

Referenced Standard and Year (of Standard)	Standard	Year
	ASTM C1186	2007
	ASTM E330	2002

Equivalence of Product Standards Certified By

Sections from the Code

Product Approval Method Method I Option D

Date Submitted 12/15/2011  
Date Validated 12/16/2011  
Date Pending FBC Approval 12/26/2011  
Date Approved 01/31/2012

**Summary of Products**

FL #	Model, Number or Name	Description
13192.1	Cemplank Lap Siding	fiber-cement lap siding
<b>Limits of Use</b> Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: N/A Other: For use in HVHZ install in accordance with NOA 07-0418.04.		<b>Installation Instructions</b> <a href="#">FL13192 R2 II ER RIO-2298-11 Plank Shingle CMU.pdf</a> <a href="#">FL13192 R2 II ER RIO-2300-11 Plank metal wood.pdf</a> <a href="#">FL13192 R2 II Install - cemplank.pdf</a> <a href="#">FL13192 R2 II NOA 07-041804.pdf</a> Verified By: Intertek Testing Services NA Ltd. Created by Independent Third Party: No <b>Evaluation Reports</b> <a href="#">FL13192 R2 AE Dade NOA 07-041804.pdf</a> <a href="#">FL13192 R2 AE ER RIO-2298-11 Plank Shingle CMU.pdf</a> <a href="#">FL13192 R2 AE ER RIO-2300-11 Plank metal wood.pdf</a> Created by Independent Third Party: Yes
13192.2	HardiePlank Lap Siding	fiber-cement lap siding
<b>Limits of Use</b> Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: N/A Other: For use in HVHZ install in accordance with NOA 07-0418.04.		<b>Installation Instructions</b> <a href="#">FL13192 R2 II ER RIO-2298-11 Plank Shingle CMU.pdf</a> <a href="#">FL13192 R2 II ER RIO-2300-11 Plank metal wood.pdf</a> <a href="#">FL13192 R2 II Install - hardieplank.pdf</a> <a href="#">FL13192 R2 II NOA 07-041804.pdf</a> Verified By: Intertek Testing Services NA Ltd. Created by Independent Third Party: No <b>Evaluation Reports</b> <a href="#">FL13192 R2 AE Dade NOA 07-041804.pdf</a> <a href="#">FL13192 R2 AE ER RIO-2298-11 Plank Shingle CMU.pdf</a> <a href="#">FL13192 R2 AE ER RIO-2300-11 Plank metal</a>

		<a href="#">wood.pdf</a> Created by Independent Third Party: Yes
13192.3	HardieShingle Individual Shingles	fiber-cement individual cladding shingles
<b>Limits of Use</b> Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: N/A Other:		<b>Installation Instructions</b> <a href="#">FL13192_R2_II_ER_RIO-2299-11 Shingle metal wood.pdf</a> <a href="#">FL13192_R2_II_Install - new hardieshingle.pdf</a> Verified By: Intertek Testing Services NA Ltd. Created by Independent Third Party: No <b>Evaluation Reports</b> <a href="#">FL13192_R2_AE_ER_RIO-2299-11 Shingle metal wood.pdf</a> Created by Independent Third Party: Yes
13192.4	HardieShingle Panel	fiber-cement notched shingle panels (straight edge, staggered edge, half round edge)
<b>Limits of Use</b> Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: N/A Other:		<b>Installation Instructions</b> <a href="#">FL13192_R2_II_ER_RIO-2298-11 Plank Shingle CMU.pdf</a> <a href="#">FL13192_R2_II_ER_RIO-2299-11 Shingle metal wood.pdf</a> <a href="#">FL13192_R2_II_Install - new hardieshingle.pdf</a> Verified By: Intertek Testing Services NA Ltd. Created by Independent Third Party: No <b>Evaluation Reports</b> <a href="#">FL13192_R2_AE_ER_RIO-2298-11 Plank Shingle CMU.pdf</a> <a href="#">FL13192_R2_AE_ER_RIO-2299-11 Shingle metal wood.pdf</a> Created by Independent Third Party: Yes
13192.5	Prevail Lap Siding	fiber-cement lap siding
<b>Limits of Use</b> Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: N/A Other:		<b>Installation Instructions</b> <a href="#">FL13192_R2_II_ER_RIO-2298-11 Plank Shingle CMU.pdf</a> <a href="#">FL13192_R2_II_ER_RIO-2300-11 Plank metal wood.pdf</a> <a href="#">FL13192_R2_II_Install - prevail lap.pdf</a> Verified By: Intertek Testing Services NA Ltd. Created by Independent Third Party: No <b>Evaluation Reports</b> <a href="#">FL13192_R2_AE_ER_RIO-2298-11 Plank Shingle CMU.pdf</a> <a href="#">FL13192_R2_AE_ER_RIO-2300-11 Plank metal wood.pdf</a> Created by Independent Third Party: Yes

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Product Approval Accepts:



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PROJECT: RIO-2300-11

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PROJECT RIO-2300-11  
ENGINEERING EVALUATION REPORT FOR ATTACHING JAMES HARDIE® BRAND  
FIBER-CEMENT PLANKS TO WOOD OR METAL FRAMED WALLS WITH VARIOUS FASTENERS

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FONTANA, CA 92337

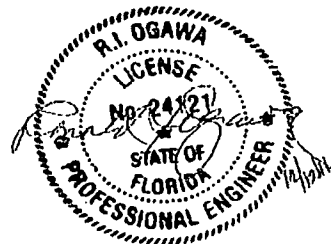
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AS PRODUCT EVALUATOR, THE UNDERSIGNED CERTIFIES THAT THE LISTED PRODUCTS ARE IN COMPLIANCE WITH THE REQUIREMENTS OF THE ASCE 7 - 10, THE 2010 FLORIDA BUILDING CODE, AND THE 2012 INTERNATIONAL BUILDING CODE.

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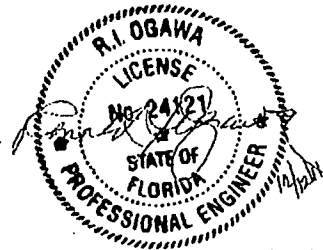
## EVALUATION SUBJECT

HardiePlank® Lap Siding

James Hardie Product Trade Names covered in this evaluation:  
HardiePlank® Lap Siding, CemPlank® Siding, Prevail™ Lap Siding

## EVALUATION SCOPE:

ASCE 7-10  
2010 Florida Building Code  
2012 International Building Code®



## EVALUATION PURPOSE:

This analysis is to determine the maximum design 3-second gust wind speed to be resisted by an assembly of HardiePlank (CemPlank, Prevail Lap) siding fastened to wood or metal framing with nails or screws.

## REFERENCE REPORTS:

1. Intertek Report 3087913 (ASTM C1188) Material properties HardiePlank Siding
2. Ramtech Laboratories, Inc. Report 10593-98/1395 (ASTM E330) Transverse Load Test, 5/16" Thick by 7.5 inch wide HardiePlank Lap Siding installed on 2X4 W-Fir wood studs space at 16 inches on center with a 0.093 inch shank by 0.222 inch head diameter by 2.5 inch long galvanized siding nail
3. Ramtech Laboratories, Inc. Report IC-1034-88 (ASTM E330) Transverse Load Test, 5/16" Thick by 9.5 inch wide HardiePlank Lap Siding installed on 2X4 Hem-Fir wood studs space at 16 inches on center with a Number 11 gauge 1-3/4 inch long galvanized roofing nail
4. Ramtech Laboratories, Inc. Report IC-1020-88 (ASTM E330) Transverse Load Test, 5/16" Thick by 9.5 inch wide HardiePlank Lap Siding installed on 2X4 Hem-Fir wood studs space at 16 inches on center with a 6d common nail
5. Ramtech Laboratories, Inc. Report 2149-07-10 (C) (ASTM E330) Transverse Load Test, 5/16" Thick by 8.25 inch wide HardiePlank Lap Siding installed on 2X4 Doug-Fir-Larch wood studs space at 16 inches on center with an 8d ring shank box nail, 0.113 inch shank by 0.280 inch head diameter by 2.375 inch long
6. Ramtech Laboratories, Inc. Report 2149-07-10 (E) (ASTM E330) Transverse Load Test, 5/16" Thick by 8.25 inch wide HardiePlank Lap Siding installed on 2X4 Doug-Fir-Larch wood studs space at 16 inches on center with a 0.092 inch shank by 0.222 inch head diameter by 2.5 inch long galvanized siding nail
7. Ramtech Laboratories, Inc. Report 2341-08-08 (ASTM E330) Transverse Load Test, 5/16" Thick by 8.25 inch wide HardiePlank Lap Siding installed on 2X4 Doug-Fir-Larch wood studs space at 16 inches on center with a 0.092 inch shank by 0.222 inch head diameter by 2 inch long galvanized siding nail
8. Ramtech Laboratories, Inc. Report 2149-07-10 (F) (ASTM E330) Transverse Load Test, 5/16" Thick by 8.25 inch wide HardiePlank Lap Siding installed on 2X4 Spruce-Pine-Fir wood studs space at 16 inches on center with a 0.092 inch shank by 0.222 inch head diameter by 2.5 inch long galvanized siding nail
9. Intertek Testing Services, Inc. Report 3166993MID-004 (ASTM E330) Transverse Load Test, 5/16" Thick by 8.25 inch wide HardiePlank Lap Siding installed on 2X4 Spruce-Pine-Fir wood studs space at 16 inches on center with a 0.092 inch shank by 0.222 inch head diameter by 2 inch long galvanized siding nail
10. Ramtech Laboratories, Inc. Report 11149/1554 (ASTM E330) Transverse Load Test 5/16" Thick by 8.25 inch wide HardiePlank Lap Siding installed on 20 gauge metal studs spaced at 16 and 24 inches on center with ET&F knurled pin fastener
11. Ramtech Laboratories, Inc. Report 11149/1554B (ASTM E330) Transverse Load Test 5/16" Thick by 8.25 inch wide HardiePlank Lap Siding installed on 20 gauge metal studs spaced at 16 and 24 inches on center with ET&F knurled pin fastener
12. Ramtech Laboratories, Inc. Report 11149/1554A (ASTM E330) Transverse Load Test 5/16" Thick by 12 inch wide HardiePlank Lap Siding installed on 20 gauge metal studs spaced at 16 and 24 inches on center with ET&F knurled pin fastener
13. Ramtech Laboratories, Inc. Report IC-1035-88 (ASTM E330) Transverse Load Test 5/16" Thick by 9.5 inch Hardiplank Lap Siding installed on 20ga Metal Stud Spaced 16 inches on Center With No. 8 X 1-1/4" long X 0.375" head diameter ribbed washer head screws

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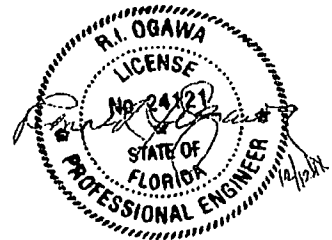
**TEST RESULTS:**

Table 1. Results of Transverse Load Testing

Report Number	Test Agency	Thickness (in.)	Width (in.)	Frame Type	Frame Spacing (in.)	Fastening Method	Fastener Type	Ultimate Load (PSF)	Allowable Design Load (PSF)	Erective Area Tributary (sq.ft.)	Fastener Load (lbs)
10593-06/1395	Ramtech	0.3125	7.5	2X4 wood W-Fir	16	blind nail through top edge of plank	0.093" shank X 0.222" HD X 2.5" long galv. Siding nail	-92	-30.7	0.694	-21.3
IC-1034-88	Ramtech	0.3125	9.5	2X4 wood Hem-Fir	16	blind nail through top edge of plank	No. 11 ga. X 1-3/4" long Roofing nail	-146.8	-48.9	0.917	-44.8
IC-1020-88	Ramtech	0.3125	9.5	2X4 wood Hem-Fir	16	face nail through plank overlap	6d common	-189	-66.3	0.917	-60.8
2149-07-10 (C)	Ramtech	0.3125	8.25	2X4 wood Doug-Fir-Larch	16	face nail through plank overlap	6d ring shank box nail, 0.113" shank X 0.260" HD X 2.375" L	-288	-98.7	0.778	-76.7
2149-07-10 (E)	Ramtech	0.3125	8.25	2X4 wood Doug-Fir-Larch	16	face nail through plank overlap	0.092" shank X 0.222" HD X 2.5" long galv. Siding nail	-253	-84.3	0.778	-65.6
2341-08-08	Ramtech	0.3125	8.25	2X4 wood Doug-Fir-Larch	16	face nail through plank overlap	0.092" shank X 0.222" HD X 2" long galv. Siding nail	-165	-55.0	0.778	-42.8
2149-07-10 (F)	Ramtech	0.3125	8.25	2X4 wood Spruce-Pine-Fir	16	face nail through plank overlap	0.092" shank X 0.222" HD X 2.5" long galv. Siding nail	-168	-58.0	0.778	-43.6
3166993MID-004	Intertek	0.3125	8.25	2X4 wood Spruce-Pine-Fir	16	face nail through plank overlap	0.092" shank X 0.222" HD X 2" long galv. Siding nail	-143.4	-47.8	0.778	-37.2
11149/1554	Ramtech	0.3125	6.25	2X4 20 gauge metal studs	16	face nail through plank overlap	ET&F 0.100" knurled shank diameter x 0.250" HD x 1.5" long	-317	-105.7	0.558	-58.7
11149/1554	Ramtech	0.3125	6.25	2X4 20 gauge metal studs	24	face nail through plank overlap	ET&F 0.100" knurled shank diameter x 0.250" HD x 1.5" long	-173	-57.7	0.833	-48.1
11149/1554B	Ramtech	0.3125	8.25	2X4 20 gauge metal studs	16	blind nail through top edge of plank	ET&F 0.100" knurled shank diameter x 0.313" HD x 1.5" long	-84	-21.3	0.778	-16.6
11149/1554B	Ramtech	0.3125	8.25	2X4 20 gauge metal studs	24	blind nail through top edge of plank	ET&F 0.100" knurled shank diameter x 0.313" HD x 1.5" long	-50	-16.7	1.167	-19.4
11149/1554A	Ramtech	0.3125	12	2X4 20 gauge metal studs	10	face nail through plank overlap	ET&F 0.100" knurled shank diameter x 0.250" HD x 1.5" long	-151	-50.3	1.184	-60.1
11149/1554A	Ramtech	0.3125	12	2X4 20 gauge metal studs	24	face nail through plank overlap	ET&F 0.100" knurled shank diameter x 0.250" HD x 1.5" long	-81	-27.0	1.702	-48.4
IC-1035-88	Ramtech	0.3125	9.5	2X4 20 gauge metal studs	16	blind nail through top edge of plank	No. 8 X 1-1/4" long X 0.375" head diameter ribbed water head screw	-169.2	-56.4	0.917	-51.7

1. Allowable Design Load is the Ultimate Load divided by a Factor of safety of 3.
2. HardiePlank Lap Siding complies with ASTM C1186, Standard Specification for Grade II, Type A Non-asbestos Fiber-Cement Flat Sheets.

For Table 2A to 2N the designs loads will be calculated by proportioning the tributary area to each fastener, thereby design load to each fastener will be kept constant. By doing so, the allowable design load for various HardiePlank widths and stud spacings will be determined.



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Table 2A, Allowable Design Loads Based on Constant Fastener Load, 0.093" Shank X 2.5" L siding nail, W-Fir Studs, fasteners concealed (blind nail)  
 Check for results using 7.5 inch plank values from Report Number 10593-96/1395. The following example will demonstrate the basic analysis:  
 Design load = ultimate failure load/FOS = .82psi/3 = -30.7psf  
 Effective tributary = ((plank width exposed to weather X stud spacing)/144) = ((7.5-1.25) X 16)/144 = 0.684 sq.ft.  
 Fastener load = design load X tributary area = -30.7 X 0.684 = -21.3 pounds  
 Calculated allowable design load = fastener load tested condition divided by area tributary for the condition to be calculated

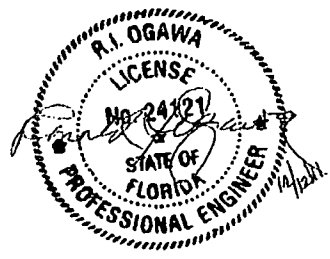
Hardie Plank Width (inches)	Tested Condition, Ultimate (psf)	Stud Spacing (inches)	Effective Area Tributary (sq.ft.)	Allowable Design Load (PSF)	Fastener Load (lbs)
5.25		16	0.4444	-47.92	-21.30
6.25		16	0.5556	-38.33	-21.30
7.25		16	0.6667	-31.84	-21.30
7.5	-92	16	0.6844	-30.67	-21.30
8		16	0.7500	-28.40	-21.30
8.25		16	0.7778	-27.38	-21.30
9.25		16	0.8889	-23.86	-21.30
9.5		16	0.9167	-23.23	-21.30
12		16	1.1944	-17.83	-21.30

Stud Spacing (inches)	Effective Area Tributary (sq.ft.)	Allowable Design Load (PSF)
24	0.6667	-31.94
24	0.8333	-25.58
24	1.0000	-21.30
24	1.0417	-20.44
24	1.1250	-18.83
24	1.1667	-18.25
24	1.3333	-15.97
24	1.3750	-15.49
24	1.7917	-11.69

Table 2B, Allowable Design Loads Based on Constant Fastener Load, No. 11ga. Roofing nail 1-3/4" L, Hem-Fir Studs, fasteners concealed (blind nail)  
 Check for results using 9.5 inch plank values from Report Number IC-1034-88  
 Design load = ultimate failure load/FOS = -146.6psi/3 = -48.9 psf  
 Effective tributary = ((plank width exposed to weather X stud spacing)/144) = ((9.5-1.25) X 16)/144 = 0.9167 sq.ft.  
 Fastener load = design load X tributary area = -48.9 X 0.9167 = -44.79 pounds  
 Calculated allowable design load = fastener load tested condition divided by area tributary for the condition to be calculated

Hardie Plank Width (inches)	Tested Condition, Ultimate (psf)	Stud Spacing (inches)	Effective Area Tributary (sq.ft.)	Allowable Design Load (PSF)	Fastener Load (lbs)
5.25		16	0.4444	-100.79	-44.79
6.25		16	0.5556	-80.63	-44.79
7.25		16	0.6667	-67.19	-44.79
7.5		16	0.6844	-64.50	-44.79
8		16	0.7500	-59.73	-44.79
8.25		16	0.7778	-57.50	-44.79
9.25		16	0.8889	-50.39	-44.79
9.5	-146.6	16	0.9167	-48.87	-44.79
12		16	1.1944	-37.50	-44.79

Stud Spacing (inches)	Effective Area Tributary (sq.ft.)	Allowable Design Load (PSF)
24	0.6667	-67.19
24	0.8333	-53.75
24	1.0000	-44.79
24	1.0417	-43.00
24	1.1250	-39.82
24	1.1667	-38.40
24	1.3333	-33.60
24	1.3750	-32.58
24	1.7917	-25.00



Adjusted fastener load based on NDS-2005.  
 For use in all calculations concerning adjusted fastener withdrawal design and calculation, the adjusted withdrawal design value, W, is calculated based on a wind / seismic load duration factor of CD = 1.6 applied to the withdrawal design value W.  
 When nail shank, D, ≥ 0.089 inches but ≤ 0.375 inches we use the following NDS2005 equation to tabulate adjusted withdrawal design value, W:

$W = CD \cdot 1380 \cdot G(5/2) \cdot D \cdot P$   
 G = specific gravity  
 CD = load duration factor (in this case wind and seismic) = 1.6  
 D = diameter, inches  
 P = fastener embedment

In Table 2c, the fastener length is shortened from 1.75" to 1.25". Report IC-1034-88 (1.75" long 11ga. roofing nail) yielded a tested fastener load of 44.79 lb/fastener with the failure mode being fastener head pull through the fiber-cement. Therefore we know that the fiber-cement fastened blind nailed with a roofing nail is limited to 44.79 lb/fastener. Using the same timber as specified in Report IC-1034-88, but changing the nail length to a 1.25 inches long yields an adjusted fastener withdrawal design value of 30.1 pounds per fastener (at 0.43 e.g. and shank 0.120" W=20.1 lb/in penetration, W \* CD 1.6 = 32.1 lb/inch penetration, Net Penetration for a 1.25" nail through 5/16" fiber cement = 0.838", Calculated load = 32.1 lb/in \* 0.838 in = 30.1 lb/fastener). Siding design load is equal to fastener design load, in this case 30.1 lb/fastener, divided by fastener tributary. See Table 2a below, for the calculated siding design loads for each plank width. Results in Table 2a are

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Table 2C, Allowable Design Loads Based on Constant Fastener Load, No. 11ga. Roofing nail 1-1/4" L, Hem-Fir Studs, fasteners concealed (blind nail)

HardiePlank Width (inches)	Stud Spacing (inches)	Effective Area Tributary (sq.ft.)	Allowable Design Load (PSF)	Adjusted Fastener Load (lbs)
5.25	16	0.4444	-67.73	-30.1
6.25	16	0.5556	-54.18	-30.1
7.25	16	0.6667	-45.15	-30.1
7.5	10	0.6944	-43.34	-30.1
8	16	0.7500	-40.13	-30.1
8.25	16	0.7778	-38.70	-30.1
9.25	16	0.8889	-33.86	-30.1
9.5	16	0.9167	-32.84	-30.1
12	16	1.1944	-25.20	-30.1

Stud Spacing (inches)	Effective Area Tributary (sq.ft.)	Allowable Design Load (PSF)
24	0.6667	-45.15
24	0.8333	-36.12
24	1.0000	-30.10
24	1.0417	-28.90
24	1.1250	-26.76
24	1.1667	-25.60
24	1.3333	-22.58
24	1.3750	-21.89
24	1.7917	-16.80

Table 2D, Allowable Design Loads Based on Constant Fastener Load, 6d common nail 2" L, Hem-Fir Studs, fasteners exposed (face nail)

Check for results using 0.5 inch plank values from Report Number IC-1020-88.

Design load = ultimate failure load/FOS = -199psf/3 = -66.3 psf

Effective tributary = ((plank width exposed to weather X stud spacing)/144) = ((8.5-1.25) X 16)/144 = 0.9167 sq.ft.

Fastener load = design load X tributary area = -66.33 X 0.9167 = -60.81 pounds

Calculated allowable design load = fastener load tested condition divided by area tributary for the condition to be calculated

HardiePlank Width (inches)	Tested Condition, Ultimate (psf)	Stud Spacing (inches)	Effective Area Tributary (sq.ft.)	Allowable Design Load (PSF)	Fastener Load (lbs)
5.25		16	0.4444	-136.81	-60.81
6.25		16	0.5556	-109.45	-60.81
7.25		16	0.6667	-91.21	-60.81
7.5		16	0.6944	-87.56	-60.81
8		16	0.7500	-81.07	-60.81
8.25		16	0.7778	-78.18	-60.81
9.25		16	0.8889	-68.41	-60.81
9.5	-199	16	0.9167	-66.33	-60.81
12		16	1.1944	-50.91	-60.81

Stud Spacing (inches)	Effective Area Tributary (sq.ft.)	Allowable Design Load (PSF)
24	0.6667	-91.21
24	0.8333	-72.07
24	1.0000	-60.81
24	1.0417	-58.37
24	1.1250	-54.05
24	1.1667	-52.12
24	1.3333	-45.60
24	1.3750	-44.22
24	1.7917	-33.94

Table 2E, Allowable Design Loads Based on Constant Fastener Load, 8d (2-3/8"L) ring shank box nail, DFL Studs, fasteners exposed (face nail)

Check for results using 0.25 inch plank values from Report Number 2149-07-10 (C).

Design load = ultimate failure load/FOS = -296psf/3 = -98.7 psf

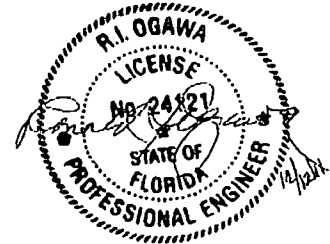
Effective tributary = ((plank width exposed to weather X stud spacing)/144) = ((8.25-1.25) X 16)/144 = 0.778 sq.ft.

Fastener load = design load X tributary area = -98.7 X 0.778 = -76.74 pounds

Calculated allowable design load = fastener load tested condition divided by area tributary for the condition to be calculated

HardiePlank Width (inches)	Tested Condition, Ultimate (psf)	Stud Spacing (inches)	Effective Area Tributary (sq.ft.)	Allowable Design Load (PSF)	Fastener Load (lbs)
5.25		16	0.4444	-172.67	-76.74
6.25		16	0.5556	-138.13	-76.74
7.25		16	0.6667	-115.11	-76.74
7.5		16	0.6944	-110.51	-76.74
8		16	0.7500	-102.32	-76.74
8.25	-296	16	0.7778	-98.67	-76.74
9.25		16	0.8889	-86.33	-76.74
9.5		16	0.9167	-83.72	-76.74
12		16	1.1944	-64.25	-76.74

Stud Spacing (inches)	Effective Area Tributary (sq.ft.)	Allowable Design Load (PSF)
24	0.6667	-115.11
24	0.8333	-92.09
24	1.0000	-76.74
24	1.0417	-73.67
24	1.1250	-68.21
24	1.1667	-65.78
24	1.3333	-57.56
24	1.3750	-55.81
24	1.7917	-42.83



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Table 2F Allowable Design Loads Based on Constant Fastener Load, 8d siding nail (0.092" shank), DFL Studs, fasteners exposed (face nail)  
 Check for results using 8.25 inch plank values from Report Number 2149-07-10 (E).

Design load = ultimate failure load/FOS = -253psf/3 = -84.3 psf  
 Effective tributary = ((plank width exposed to weather X stud spacing)/144) = ((8.25-1.25) X 16)/144 = 0.778 sq.ft.  
 Fastener load = design load X tributary area = -84.3 X 0.778 = -65.59 pounds  
 Calculated allowable design load = fastener load tested condition divided by area tributary for the condition to be calculated

Hardie Plank Width (inches)	Tested Condition, Ultimate (psf)	Stud Spacing (inches)	Effective Area Tributary (sq.ft.)	Allowable Design Load (PSF)	Fastener Load (lbs)	Stud Spacing (inches)	Effective Area Tributary (sq.ft.)	Allowable Design Load (PSF)
5.25		16	0.4444	-147.58	-65.59	24	0.6667	-98.39
6.25		16	0.5556	-118.07	-65.59	24	0.8333	-78.71
7.25		16	0.6667	-98.39	-65.59	24	1.0000	-65.59
7.5		16	0.6944	-94.45	-65.59	24	1.0417	-62.97
8		16	0.7500	-87.46	-65.59	24	1.1250	-58.30
8.25	-253	16	0.7778	-84.33	-65.59	24	1.1667	-56.22
9.25		16	0.8889	-73.79	-65.59	24	1.3333	-49.19
9.5		16	0.9167	-71.56	-65.59	24	1.3750	-47.70
12		16	1.1944	-54.01	-65.59	24	1.7917	-36.61

Table 2G, Allowable Design Loads Based on Constant Fastener Load, 6d siding nail (0.092" shank), DFL Studs, fasteners exposed (face nail)  
 Check for results using 8.25 inch plank values from Report Number 2341-08-06.

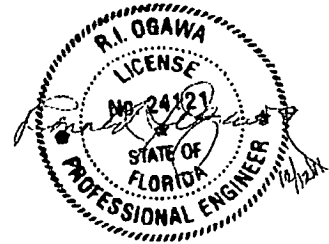
Design load = ultimate failure load/FOS = -165psf/3 = -55 psf  
 Effective tributary = ((plank width exposed to weather X stud spacing)/144) = ((8.25-1.25) X 16)/144 = 0.778 sq.ft.  
 Fastener load = design load X tributary area = -55.0 X 0.778 = -42.78 pounds  
 Calculated allowable design load = fastener load tested condition divided by area tributary for the condition to be calculated

Hardie Plank Width (inches)	Tested Condition, Ultimate (psf)	Stud Spacing (inches)	Effective Area Tributary (sq.ft.)	Allowable Design Load (PSF)	Fastener Load (lbs)	Stud Spacing (inches)	Effective Area Tributary (sq.ft.)	Allowable Design Load (PSF)
5.25		16	0.4444	-98.25	-42.78	24	0.6667	-64.17
6.25		16	0.5556	-77.00	-42.78	24	0.8333	-51.33
7.25		16	0.6667	-64.17	-42.78	24	1.0000	-42.78
7.5		16	0.6944	-61.60	-42.78	24	1.0417	-41.07
8		16	0.7500	-57.04	-42.78	24	1.1250	-38.02
8.25	-165	16	0.7778	-55.00	-42.78	24	1.1667	-36.67
9.25		16	0.8889	-48.13	-42.78	24	1.3333	-32.08
9.5		16	0.9167	-46.67	-42.78	24	1.3750	-31.11
12		16	1.1944	-35.81	-42.78	24	1.7917	-23.88

Table 2H, Allowable Design Loads Based on Constant Fastener Load, 8d siding nail (0.092" shank), SPF Studs, fasteners exposed (face nail)  
 Check for results using 8.25 inch plank values from Report Number 2149-07-10 (F).

Design load = ultimate failure load/FOS = -168psf/3 = -56.0 psf  
 Effective tributary = ((plank width exposed to weather X stud spacing)/144) = ((8.25-1.25) X 16)/144 = 0.778 sq.ft.  
 Fastener load = design load X tributary area = -56.0 X 0.778 = -43.56 pounds  
 Calculated allowable design load = fastener load tested condition divided by area tributary for the condition to be calculated

Hardie Plank Width (inches)	Tested Condition, Ultimate (psf)	Stud Spacing (inches)	Effective Area Tributary (sq.ft.)	Allowable Design Load (PSF)	Fastener Load (lbs)	Stud Spacing (inches)	Effective Area Tributary (sq.ft.)	Allowable Design Load (PSF)
5.25		16	0.4444	-98.00	-43.56	24	0.6667	-65.33
6.25		16	0.5556	-78.40	-43.56	24	0.8333	-52.27
7.25		16	0.6667	-65.33	-43.56	24	1.0000	-43.56
7.5		16	0.6944	-62.72	-43.56	24	1.0417	-41.81
8		16	0.7500	-58.07	-43.56	24	1.1250	-38.72
8.25	-168	16	0.7778	-56.00	-43.56	24	1.1667	-37.33
9.25		16	0.8889	-49.00	-43.56	24	1.3333	-32.67
9.5		16	0.9167	-47.52	-43.56	24	1.3750	-31.68
12		16	1.1944	-36.47	-43.56	24	1.7917	-24.31



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Table 21, Allowable Design Loads Based on Constant Fastener Load, 6d siding nail (0.092" shank), SPF Studs, fasteners exposed (face nail)

Check for results using 0.25 inch plank values from Report Number 3166993MID-004.

Design load = ultimate failure load/FOS = -143.4psf/3 = -47.8 psf

Effective tributary = ((plank width exposed to weather X stud spacing)/144) = ((8.25-1.25) X 16)/144 = 0.778 sq.ft.

Fastener load = design load X tributary area = -47.8 X 0.778 = -37.18 pounds

Calculated allowable design load = fastener load tested condition divided by area tributary for the condition to be calculated

HardiePlank Width (inches)	Tested Condition, Ultimate (psf)	Stud Spacing (inches)	Table 21 Data			Table 21 Data		
			Effective Area Tributary (sq.ft.)	Allowable Design Load (PSF)	Fastener Load (lbs)	Stud Spacing (inches)	Effective Area Tributary (sq.ft.)	Allowable Design Load (PSF)
5.25		16	0.4444	-83.65	-37.18	24	0.6667	-55.77
6.25		16	0.5556	-66.92	-37.18	24	0.8333	-44.61
7.25		16	0.6667	-55.77	-37.18	24	1.0000	-37.18
7.5		16	0.6944	-53.54	-37.18	24	1.0417	-35.69
8		16	0.7500	-49.57	-37.18	24	1.1250	-33.05
8.25	-143.4	16	0.7778	-47.80	-37.18	24	1.1667	-31.87
9.25		16	0.8889	-41.83	-37.18	24	1.3333	-27.88
9.5		16	0.9167	-40.56	-37.18	24	1.3750	-27.04
12		16	1.1944	-31.13	-37.18	24	1.7017	-20.75

Table 2J, Allowable Design Loads Based on Constant Fastener Load, ET&F 0.100" knurled shank x 0.250" HD x 1.5" long, 16" OC 20ga Metal Studs, fasteners exposed (face nail)

Check for results using 0.25 inch plank values from Report Number 11149/1554 and 11149/1554A.

Design load = ultimate failure load/FOS = -317psf/3 = -105.7 psf

Effective tributary = ((plank width exposed to weather X stud spacing)/144) = ((8.25-1.25) X 16)/144 = 0.556 sq.ft.

Fastener load = design load X tributary area = -105.67 X 0.556 = -58.7 pounds

Calculated allowable design load = fastener load tested condition divided by area tributary for the condition to be calculated

HardiePlank Width (inches)	Tested Condition, Ultimate (psf)	Stud Spacing (inches)	Table 2J Data		
			Effective Area Tributary (sq.ft.)	Allowable Design Load (PSF)	Fastener Load (lbs)
5.25		16	0.4444	-132.08	-58.70
6.25	-317	16	0.5556	-105.67	-58.70
7.25		16	0.6667	-88.08	-58.70
7.5		16	0.6944	-84.53	-58.70
8		16	0.7500	-78.27	-58.70
8.25		16	0.7778	-75.48	-58.70
9.25		16	0.8889	-66.04	-58.70
9.5		16	0.9167	-64.04	-58.70
12	-151	16	1.1944	-50.33	-60.12

Table 2K, Allowable Design Loads Based on Constant Fastener Load, ET&F 0.100" knurled shank x 0.250" HD x 1.5" long, 24" OC 20ga Metal Studs, fasteners exposed (face nail)

Check for results using 0.25 inch plank values from Report Number 11149/1554 and 11149/1554A.

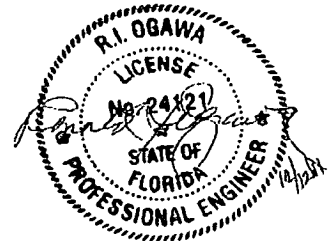
Design load = ultimate failure load/FOS = 173psf/3 = 57.67 psf

Effective tributary = ((plank width exposed to weather X stud spacing)/144) = ((8.25-1.25) X 24)/144 = 0.8333 sq.ft.

Fastener load = design load X tributary area = 57.67 X 0.8333 = 48.06 pounds

Calculated allowable design load = fastener load tested condition divided by area tributary for the condition to be calculated

HardiePlank Width (inches)	Tested Condition, Ultimate (psf)	Stud Spacing (inches)	Table 2K Data		
			Effective Area Tributary (sq.ft.)	Allowable Design Load (PSF)	Fastener Load (lbs)
5.25		24	0.6667	-72.08	-48.06
6.25	-173	24	0.8333	-57.67	-48.06
7.25		24	1.0000	-48.06	-48.06
7.5		24	1.0417	-46.13	-48.06
8		24	1.1250	-42.72	-48.06
8.25		24	1.1667	-41.19	-48.06
9.25		24	1.3333	-36.04	-48.06
9.5		24	1.3750	-34.95	-48.06
12	-81	24	1.7917	-27.00	-48.38



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Table 2L, Allowable Design Loads Based on Constant Fastener Load, ET&F 0.100" knurled shank x 0.313" HD x 1.5" long, 16" OC 20ga Metal Studs, fasteners concealed (blind nail)  
 Check for results using 0.25 inch plank values from Report Number 11149/1554B.  
 Design load = ultimate failure load/FOS = -64psf/3 = -21.33 psf  
 Effective tributary = ((plank width exposed to weather X stud spacing)/144) = ((8.25-1.25) X 16)/144 = 0.778 sq.ft.  
 Fastener load = design load X tributary area = -21.33 X 0.778 = -16.59 pounds  
 Calculated allowable design load = fastener load tested condition divided by area tributary for the condition to be calculated

HardiePlank Width (inches)	Tested Condition, Ultimate (psf)	Stud Spacing (inches)	Effective Area Tributary (sq.ft.)	Allowable Design Load (PSF)	Fastener Load (lbs)
5.25		16	0.4444	-37.33	-16.59
6.25		16	0.5556	-29.87	-16.59
7.25		16	0.6667	-24.89	-16.59
7.5		16	0.6944	-23.89	-16.59
8		16	0.7500	-22.12	-16.59
8.25	-64	16	0.7778	-21.33	-16.59
9.25		16	0.8889	-18.67	-16.59
9.5		16	0.9167	-18.10	-16.59
12		16	1.1944	-13.89	-16.59

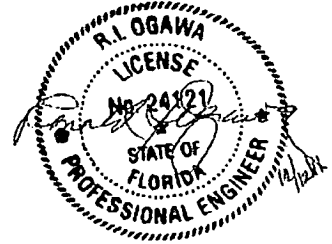
Table 2M, Allowable Design Loads Based on Constant Fastener Load, ET&F 0.100" knurled shank x 0.313" HD x 1.5" long, 24" OC 20ga Metal Studs, fasteners concealed (blind nail)  
 Check for results using 0.25 inch plank values from Report Number 11149/1554B.  
 Design load = ultimate failure load/FOS = -50psf/3 = -16.67 psf  
 Effective tributary = ((plank width exposed to weather X stud spacing)/144) = ((8.25-1.25) X 24)/144 = 1.1687 sq.ft.  
 Fastener load = design load X tributary area = -16.67 X 1.1687 = -19.44 pounds  
 Calculated allowable design load = fastener load tested condition divided by area tributary for the condition to be calculated

HardiePlank Width (inches)	Tested Condition, Ultimate (psf)	Stud Spacing (inches)	Effective Area Tributary (sq.ft.)	Allowable Design Load (PSF)	Fastener Load (lbs)
5.25		24	0.6667	-29.17	-19.44
6.25		24	0.8333	-23.33	-19.44
7.25		24	1.0000	-19.44	-19.44
7.5		24	1.0417	-18.67	-19.44
8		24	1.1250	-17.28	-19.44
8.25	-50	24	1.1667	-16.67	-19.44
9.25		24	1.3333	-14.58	-19.44
9.5		24	1.3750	-14.14	-19.44
12		24	1.7917	-10.85	-19.44

Table 2N, Allowable Design Loads Based on Constant Fastener Load, No. 8 X 1-5/8" long X 0.375" HD ribbed waferhead screw, 20ga. Metal Studs, fasteners concealed (blind nail)  
 Check for results using 9.5 inch plank values from Report Number IC-1035-88  
 Design load = ultimate failure load/FOS = -169.2psf/3 = -56.4 psf  
 Effective tributary = ((plank width exposed to weather X stud spacing)/144) = ((9.5-1.25) X 16)/144 = 0.9167 sq.ft.  
 Fastener load = design load X tributary area = -56.4 X 0.9167 = -51.7 pounds  
 Calculated allowable design load = fastener load tested condition divided by area tributary for the condition to be calculated

HardiePlank Width (inches)	Tested Condition, Ultimate (psf)	Stud Spacing (inches)	Effective Area Tributary (sq.ft.)	Allowable Design Load (PSF)	Fastener Load (lbs)
5.25		16	0.4444	-118.33	-51.70
6.25		16	0.5556	-93.06	-51.70
7.25		16	0.6667	-77.55	-51.70
7.5		16	0.6944	-74.45	-51.70
8		16	0.7500	-68.93	-51.70
8.25		16	0.7778	-66.47	-51.70
9.25		16	0.8889	-58.18	-51.70
9.5	-169.2	16	0.9167	-56.40	-51.70
12		16	1.1944	-43.28	-51.70

Stud Spacing (inches)	Effective Area Tributary (sq.ft.)	Allowable Design Load (PSF)
24	0.6667	-77.55
24	0.8333	-62.04
24	1.0000	-51.70
24	1.0417	-49.63
24	1.1250	-45.86
24	1.1667	-44.31
24	1.3333	-38.78
24	1.3750	-37.60
24	1.7917	-28.88



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**DESIGN WIND LOAD PROCEDURES:**

Fiber-cement siding transverse load capacity (wind load capacity) is determined via compliance testing to transverse load national test standards. Via the transverse load testing an allowable design load is determined based on a factor of safety of 3 applied to the ultimate test load.

Since the allowable design load is based on factor of safety of 3, allowable design loads on fiber-cement siding correlate directly to required design pressures for Allowable Stress Design, and therefore should be used with combination loading equations for Allowable Stress Design (ASD).

By using the combination loading equations for Allowable Stress Design (ASD), the tested allowable design loads for fiber-cement siding are aligned with the wind speed requirements in ASCE 7-10 Figure 26.5-1A, Figure 26.5-1B, and Figure 26.5-1C.

For this analysis, to calculate the pressures in Tables 4, 5, and 6, the load combination will be in accordance with ASCE 7-10 Section 2.4 combining nominal loads using allowable stress design, load combination 7. Load combination 7 uses a load factor of 0.6 applied to the wind velocity pressure.

Equation 1,  $q_z = 0.00256 \cdot K_z \cdot K_{zt} \cdot K_d \cdot V^2$  (ref. ASCE 7-10 equation 30.3-1)

$q_z$ , velocity pressure at height z  
 $K_z$ , velocity pressure exposure coefficient evaluated at height z  
 $K_{zt}$ , topographic factor  
 $K_d$ , wind directionality factor  
 $V$ , basic wind speed (3-second gust MPH) as determined from [2012 IBC, 2010 FBC] Figures 1609A, B, or C; ASCE 7-10 Figures 26.5-1A, B, or C

Equation 2,  $V = V_{ult}$  (ref. 2012 IBC & 2010 FBC Section 1602.1 definitions)

$V_{ult}$ , ultimate design wind speeds (3-second gust MPH) determined from [2012 IBC, 2010 FBC] Figures 1609A, B, or C; ASCE 7-10 Figures 26.5-1A, B, or C

Equation 3,  $p = q_z \cdot (GC_p - GC_{pi})$  (ref. ASCE 7-10 equation 30.6-1)

$GC_p$ , product of external pressure coefficient and gust-effect factor  
 $GC_{pi}$ , product of internal pressure coefficient and gust-effect factor  
 $p$ , design pressure (PSF) for siding (allowable design load for siding)

To determine design pressure, substitute  $q_z$  into Equation 3.

Equation 4,  $p = 0.00256 \cdot K_z \cdot K_{zt} \cdot K_d \cdot V_{ult}^2 \cdot (GC_p - GC_{pi})$

Allowable Stress Design, ASCE 7-10 Section 2.4.1, load combination 7.

Equation 5,  $0.6D + 0.6W$  (ref. ASCE 7-10 section 2.4.1, load combination 7)

$D$ , dead load  
 $W$ , wind load (load due to wind pressure)

To determine the Allowable Stress Design Pressure, apply the load factor for  $W$  (wind) from Equation 4 to  $p$  (design pressure) determined from equation 4

Equation 6,  $p_{asd} = 0.6 \cdot p$

Equation 7,  $p_{asd} = 0.6 \cdot [0.00256 \cdot K_z \cdot K_{zt} \cdot K_d \cdot V_{ult}^2 \cdot (GC_p - GC_{pi})]$

Equation 7 is used to populate Table 4, 5, and 6.

To determine the allowable ultimate basic wind speed for Hardie Siding in Table 7, solve Equation 7 for  $V_{ult}$ .

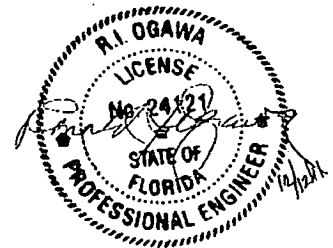
Equation 8,  $V_{ult} = (p_{asd} / 0.6 \cdot 0.00256 \cdot K_z \cdot K_{zt} \cdot K_d \cdot (GC_p - GC_{pi}))^{0.5}$

Applicable to methods specified in Exceptions 1 through 3 of [2012 IBC, 2010 FBC] Section 1609.1.1., to determine the allowable nominal design wind speed ( $V_{asd}$ ) for Hardie Siding in Table 7, apply the conversion formula below.

Equation 9,  $V_{asd} = V_{ult} \cdot (0.6)^{0.5}$  (ref. 2012 IBC & 2010 FBC Section 1609.3.1)  
 $V_{asd}$ , Nominal design wind speed (3-second gust mph) (ref. 2012 IBC & 2010 FBC Section 1602.1)

Table 3, Coefficients and Constants used in Determining V and p.

Height (ft)	$K_z$			$K_{zt}$	$K_d$	Wall Zone 5		
	Exp B	Exp C	Exp D			$GC_p$	$GC_{pi}$	
0-15	0.7	0.85	1.03	hs<60	1	0.85	-1.4 0.18	
20	0.7	0.9	1.08		1	0.85	-1.4 0.18	
25	0.7	0.94	1.12		1	0.85	-1.4 0.18	
30	0.7	0.98	1.16		1	0.85	-1.4 0.18	
35	0.73	1.01	1.19		1	0.85	-1.4 0.18	
40	0.76	1.04	1.22		1	0.85	-1.4 0.18	
45	0.785	1.065	1.245		1	0.85	-1.4 0.18	
50	0.81	1.09	1.27		1	0.85	-1.4 0.18	
55	0.83	1.11	1.29		1	0.85	-1.4 0.18	
60	0.85	1.13	1.31		1	0.85	-1.4 0.18	
100	0.99	1.28	1.43		h>60	1	0.85	-1.8 0.18





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Table 4, Allowable Stress Design - Component and Cladding (C&C) Pressures (PSF) to be Resisted at Various Wind Speeds - Wind Exposure Category B,

Wind Speed (3-second gust)	100	105	110	115	120	130	140	150	160	170	180	190	200	210
Height (ft)	B	B	B	B	B	B	B	B	B	B	B	B	B	B
0-15	-14.4	-15.9	-17.5	-19.1	-20.8	-24.4	-28.3	-32.5	-37.0	-41.7	-46.8	-52.1	-57.8	-63.7
20	-14.4	-15.9	-17.5	-19.1	-20.8	-24.4	-28.3	-32.5	-37.0	-41.7	-46.8	-52.1	-57.8	-63.7
25	-14.4	-15.9	-17.5	-19.1	-20.8	-24.4	-28.3	-32.5	-37.0	-41.7	-46.8	-52.1	-57.8	-63.7
30	-14.4	-15.9	-17.5	-19.1	-20.8	-24.4	-28.3	-32.5	-37.0	-41.7	-46.8	-52.1	-57.8	-63.7
35	-15.1	-16.6	-18.2	-19.9	-21.7	-25.4	-29.5	-33.9	-38.6	-43.5	-48.8	-54.4	-60.2	-66.4
40	-15.7	-17.3	-19.0	-20.7	-22.6	-26.5	-30.7	-35.3	-40.1	-45.3	-50.8	-56.6	-62.7	-69.1
45	-16.2	-17.9	-19.6	-21.4	-23.3	-27.4	-31.7	-36.4	-41.5	-46.8	-52.5	-58.5	-64.8	-71.4
50	-16.7	-18.4	-20.2	-22.1	-24.1	-28.2	-32.7	-37.6	-42.8	-48.3	-54.1	-60.3	-66.8	-73.7
55	-17.1	-18.9	-20.7	-22.6	-24.7	-28.9	-33.6	-38.5	-43.8	-49.5	-55.5	-61.8	-68.5	-75.5
60	-17.5	-19.3	-21.2	-23.2	-25.2	-29.6	-34.4	-39.5	-44.9	-50.7	-56.8	-63.3	-70.1	-77.3
100	-25.6	-28.2	-31.0	-33.8	-36.9	-43.3	-50.2	-57.6	-65.5	-74.0	-82.9	-92.4	-102.4	-112.9

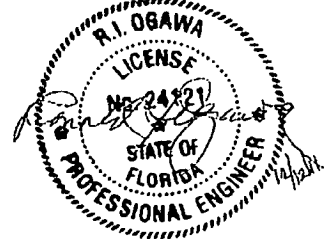
Table 5, Allowable Stress Design - Component and Cladding (C&C) Pressures (PSF) to be Resisted at Various Wind Speeds - Wind Exposure Category C,

Wind Speed (3-second gust)	100	105	110	115	120	130	140	150	160	170	180	190	200	210
Height (ft)	C	C	C	C	C	C	C	C	C	C	C	C	C	C
0-15	-17.5	-19.3	-21.2	-23.2	-25.2	-28.6	-34.4	-39.5	-44.9	-50.7	-56.8	-63.3	-70.1	-77.3
20	-18.6	-20.5	-22.5	-24.6	-26.7	-31.4	-36.4	-41.8	-47.5	-53.7	-60.2	-67.0	-74.3	-81.9
25	-19.4	-21.4	-23.5	-25.6	-27.9	-32.8	-38.0	-43.6	-49.6	-56.0	-62.8	-70.0	-77.6	-85.5
30	-20.2	-22.3	-24.5	-26.7	-29.1	-34.2	-39.6	-45.5	-51.8	-58.4	-65.5	-73.0	-80.9	-89.2
35	-20.8	-23.0	-25.2	-27.6	-30.0	-35.2	-40.8	-46.9	-53.3	-60.2	-67.5	-75.2	-83.3	-91.9
40	-21.5	-23.7	-26.0	-28.4	-30.9	-36.3	-42.0	-48.3	-54.9	-62.0	-69.5	-77.4	-85.8	-94.6
45	-22.0	-24.2	-26.6	-29.1	-31.6	-37.1	-43.1	-49.4	-56.2	-63.5	-71.2	-79.3	-87.9	-96.9
50	-22.5	-24.8	-27.2	-29.7	-32.4	-38.0	-44.1	-50.6	-57.8	-65.0	-72.9	-81.2	-89.9	-99.2
55	-22.9	-25.2	-27.7	-30.3	-33.0	-38.7	-44.9	-51.5	-58.6	-66.2	-74.2	-82.7	-91.6	-101.0
60	-23.3	-25.7	-28.2	-30.8	-33.6	-39.4	-45.7	-52.4	-59.7	-67.4	-75.5	-84.1	-93.2	-102.8
100	-32.6	-35.9	-39.4	-43.1	-46.9	-55.0	-63.8	-73.3	-83.4	-94.1	-105.5	-117.6	-130.3	-143.6

Table 6, Allowable Stress Design - Component and Cladding (C&C) Pressures (PSF) to be Resisted at Various Wind Speeds - Wind Exposure Category D,

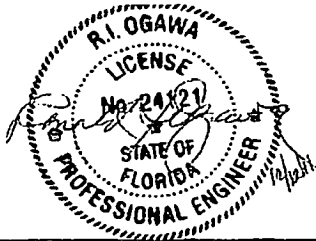
Wind Speed (3-second gust)	100	105	110	115	120	130	140	150	160	170	180	190	200	210
Height (ft)	D	D	D	D	D	D	D	D	D	D	D	D	D	D
0-15	-21.2	-23.4	-25.7	-28.1	-30.6	-35.9	-41.6	-47.8	-54.4	-61.4	-68.8	-76.7	-85.0	-93.7
20	-22.3	-24.6	-27.0	-29.5	-32.1	-37.7	-43.7	-50.1	-57.0	-64.4	-72.2	-80.4	-89.1	-98.2
25	-23.1	-25.5	-28.0	-30.6	-33.3	-39.0	-45.3	-52.0	-59.1	-66.8	-74.9	-83.4	-92.4	-101.9
30	-23.9	-26.4	-29.0	-31.8	-34.5	-40.4	-46.9	-53.8	-61.3	-69.2	-77.5	-86.4	-95.7	-105.5
35	-24.5	-27.1	-29.7	-32.5	-35.3	-41.5	-48.1	-55.2	-62.8	-70.9	-79.5	-88.6	-98.2	-108.3
40	-25.2	-27.7	-30.5	-33.3	-36.2	-42.5	-49.3	-56.6	-64.4	-72.7	-81.5	-90.9	-100.7	-111.0
45	-25.7	-28.3	-31.1	-34.0	-37.0	-43.4	-50.3	-57.8	-65.7	-74.2	-83.2	-92.7	-102.7	-113.3
50	-26.2	-28.9	-31.7	-34.6	-37.7	-44.3	-51.3	-58.9	-67.1	-75.7	-84.9	-94.6	-104.8	-115.5
55	-26.6	-29.3	-32.2	-35.2	-38.3	-45.0	-52.2	-59.9	-68.1	-76.9	-86.2	-96.1	-106.4	-117.4
60	-27.0	-29.8	-32.7	-35.7	-38.9	-45.7	-53.0	-60.8	-69.2	-78.1	-87.6	-97.6	-108.1	-119.2
100	-37.0	-40.8	-44.7	-48.9	-53.2	-62.5	-72.5	-83.2	-94.6	-106.8	-119.8	-133.4	-147.9	-163.0

Tables 4, 5, and 6 are based on ASCE 7-10 and consistent with the 2012 IBC, 2012 IRC and the 2010 Florida Building Code.



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2012 IBC, 2010 FBC Allowable, Ultimate Design Wind, Speed, $V_{ult}^*$ (3-second gust mph)	2012 IBC, 2010 FBC Allowable, Nominal Design Wind, Speed, $V_{3sd}^{**}$ (3-second gust mph)
Applicable to methods specified in (2012 IBC, 2010 FBC) Section 1609.1.1, as determined by (2012 IBC, 2010 FBC) Figures 1609A, B, or C.	Applicable to methods specified in Exceptions 1 through 3 of (2012 IBC, 2010 FBC) Section 1609.1.1.

Coefficients used in Table 6 calculations for  $V_{3sd}$

Product	Product Thickness (inches)	Width (inches)	Fastener Type	Fastener Spacing	Frame Type	Stud Spacing (inches)	Building Height <sup>1, 7</sup> (feet)	Wind exposure category			Wind exposure category			Allowable Design Load (PSF)	K <sub>t</sub>			K <sub>z</sub>	K <sub>d</sub>	GC <sub>p</sub>	GC <sub>u</sub>	
								B	C	D	B	C	D		Exp B	Exp C	Exp D					
HardiePlank	5/16	12	No. 11 ga. X 1-3/4" long Roofing nail	Blind nail	2X4 wood Hem-fir	24	0-15	132	119	108	102	92	84	-25.0	0.7	0.85	1.03	h<60	1	0.85	-1.4	0.18
							20	132	116	106	102	90	82	-25.0	0.7	0.9	1.08	1	0.85	-1.4	0.18	
							25	132	114	104	102	88	81	-25.0	0.7	0.94	1.12	1	0.85	-1.4	0.18	
							30	132	111	102	102	86	79	-25.0	0.7	0.98	1.16	1	0.85	-1.4	0.18	
							35	129	110	101	100	85	78	-25.0	0.73	1.01	1.19	1	0.85	-1.4	0.18	
							40	126	108	100	98	84	77	-25.0	0.76	1.04	1.22	1	0.85	-1.4	0.18	
							45	124	107	99	96	83	76	-25.0	0.785	1.065	1.245	1	0.85	-1.4	0.18	
							50	122	105	98	95	82	76	-25.0	0.81	1.09	1.27	1	0.85	-1.4	0.18	
							55	121	104	97	94	81	75	-25.0	0.83	1.11	1.29	1	0.85	-1.4	0.18	
							60	119	104	96	92	80	75	-25.0	0.85	1.13	1.31	1	0.85	-1.4	0.18	
							100	99	88	82	77	69	64	-25.0	0.99	1.26	1.43	h>60	1	0.85	-1.8	0.18
HardiePlank	5/16	5.25	No. 11 ga. X 1-1/4" long Roofing nail	Blind nail	2X4 wood Hem-fir	16	0-15	217	197	179	168	152	136	-67.7	0.7	0.85	1.03	h<60	1	0.85	-1.4	0.18
							20	217	191	174	168	148	135	-67.7	0.7	0.9	1.08	1	0.85	-1.4	0.18	
							25	217	187	171	168	145	133	-67.7	0.7	0.94	1.12	1	0.85	-1.4	0.18	
							30	217	183	168	168	142	130	-67.7	0.7	0.98	1.16	1	0.85	-1.4	0.18	
							35	212	180	166	164	140	129	-67.7	0.73	1.01	1.19	1	0.85	-1.4	0.18	
							40	208	178	164	161	138	127	-67.7	0.76	1.04	1.22	1	0.85	-1.4	0.18	
							45	205	176	162	158	136	126	-67.7	0.785	1.065	1.245	1	0.85	-1.4	0.18	
							50	201	174	161	156	134	125	-67.7	0.81	1.09	1.27	1	0.85	-1.4	0.18	
							55	199	172	160	154	133	124	-67.7	0.83	1.11	1.29	1	0.85	-1.4	0.18	
							60	197	170	158	152	132	123	-67.7	0.85	1.13	1.31	1	0.85	-1.4	0.18	
							100	163	144	135	128	112	105	-67.7	0.99	1.26	1.43	h>60	1	0.85	-1.8	0.18
HardiePlank	5/16	6.25	No. 11 ga. X 1-1/4" long Roofing nail	Blind nail	2X4 wood Hem-fir	16	0-15	194	176	160	150	136	124	-54.2	0.7	0.85	1.03	h<60	1	0.85	-1.4	0.18
							20	194	171	156	150	132	121	-54.2	0.7	0.9	1.08	1	0.85	-1.4	0.18	
							25	194	167	153	150	129	119	-54.2	0.7	0.94	1.12	1	0.85	-1.4	0.18	
							30	194	164	150	150	127	117	-54.2	0.7	0.98	1.16	1	0.85	-1.4	0.18	
							35	190	161	149	147	125	115	-54.2	0.73	1.01	1.19	1	0.85	-1.4	0.18	
							40	186	159	147	144	123	114	-54.2	0.76	1.04	1.22	1	0.85	-1.4	0.18	
							45	183	157	145	142	122	113	-54.2	0.785	1.065	1.245	1	0.85	-1.4	0.18	
							50	180	155	144	139	120	111	-54.2	0.81	1.09	1.27	1	0.85	-1.4	0.18	
							55	178	154	143	138	119	111	-54.2	0.83	1.11	1.29	1	0.85	-1.4	0.18	
							60	176	152	142	136	118	110	-54.2	0.85	1.13	1.31	1	0.85	-1.4	0.18	
							100	146	129	121	113	103	94	-54.2	0.99	1.26	1.43	h>60	1	0.85	-1.8	0.18
HardiePlank	5/16	7.25	No. 11 ga. X 1-1/4" long Roofing nail	Blind nail	2X4 wood Hem-fir	16	0-15	177	160	146	137	124	113	-45.2	0.7	0.85	1.03	h<60	1	0.85	-1.4	0.18
							20	177	156	142	137	121	110	-45.2	0.7	0.9	1.08	1	0.85	-1.4	0.18	
							25	177	153	140	137	118	108	-45.2	0.7	0.94	1.12	1	0.85	-1.4	0.18	
							30	177	149	137	137	116	106	-45.2	0.7	0.98	1.16	1	0.85	-1.4	0.18	
							35	173	147	136	134	114	105	-45.2	0.73	1.01	1.19	1	0.85	-1.4	0.18	
							40	170	145	134	131	112	104	-45.2	0.76	1.04	1.22	1	0.85	-1.4	0.18	
							45	167	143	133	129	111	103	-45.2	0.785	1.065	1.245	1	0.85	-1.4	0.18	
							50	164	142	131	127	110	102	-45.2	0.81	1.09	1.27	1	0.85	-1.4	0.18	
							55	162	140	130	126	109	101	-45.2	0.83	1.11	1.29	1	0.85	-1.4	0.18	
							60	160	139	128	124	108	100	-45.2	0.85	1.13	1.31	1	0.85	-1.4	0.18	
							100	133	118	111	103	91	86	-45.2	0.99	1.26	1.43	h>60	1	0.85	-1.8	0.18
HardiePlank	5/16	7.5	No. 11 ga. X 1-1/4" long Roofing nail	Blind nail	2X4 wood Hem-fir	16	0-15	173	153	139	134	118	108	-43.3	0.7	0.9	1.08	h<60	1	0.85	-1.4	0.18
							20	173	150	137	134	116	106	-43.3	0.7	0.94	1.12	1	0.85	-1.4	0.18	
							25	173	146	135	134	113	104	-43.3	0.7	0.98	1.16	1	0.85	-1.4	0.18	
							30	170	144	133	131	112	103	-43.3	0.73	1.01	1.19	1	0.85	-1.4	0.18	
							35	166	142	131	129	110	102	-43.3	0.76	1.04	1.22	1	0.85	-1.4	0.18	
							40	164	140	130	127	109	101	-43.3	0.785	1.065	1.245	1	0.85	-1.4	0.18	
							45	161	139	129	125	108	100	-43.3	0.81	1.09	1.27	1	0.85	-1.4	0.18	
							50	159	138	128	123	107	99	-43.3	0.83	1.11	1.29	1	0.85	-1.4	0.18	
							55	157	136	127	122	106	98	-43.3	0.85	1.13	1.31	1	0.85	-1.4	0.18	
							60	157	136	127	122	106	98	-43.3	0.85	1.13	1.31	1	0.85	-1.4	0.18	
							100	130	115	108	101	89	84	-43.3	0.99	1.26	1.43	h>60	1	0.85	-1.8	0.18

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 7-24-13 Page 1 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10489	Guerrero 130 N. Sewalls	Final AC		Quantity Control 188065
10:10	Aspen Air		FAIL	INSPECTOR <i>[Signature]</i>
10377	Turner 815 River Rd	Final AC		CRIME
9AM	Antek AC		PASS	INSPECTOR
<del>10463</del>	<del>Rein 8 Morgan Cir A/G Concrete</del>	<del>Form &amp; steel Pool, Deck/Brno Main Driveway</del>		<del>Cancel will reschedule per sherry</del>
<del>10477</del>	<del>Stadium 133 S. River</del>	<del>175 proopers SIDING</del>	<del>PASS</del>	
	Robert Huxhberg			INSPECTOR <i>[Signature]</i>
10527	Weston 305 Sewalls Weston Coast	temp power pole		SILT FENCE INSTALLED IMPROPERLY
			FAIL	INSPECTOR <i>[Signature]</i>
9-10	Fusco 17. N. River Rd	tree		INSPECTOR
10520	Sharfi 73 N Sewalls	parial window		
	Oliveri		PASS	INSPECTOR <i>[Signature]</i>

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 8-1-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10463	Perth 8 Morgan Cir A+G Pools	rough plumbing	Pass	SCOTT 201-9688 INSPECTOR [Signature]
<del>10471</del>	<del>Jansen 1235 River</del>	<del>Tinal Aiding</del>	<del>Pass</del>	<del>INSPECTOR [Signature]</del>
PM 10471	Robert Hushberges			INSPECTOR [Signature]
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10530	SARRFI 73 N. RIVER RD FLORIDA GAS	TANK TIE-DOWN	Pass	INSPECTOR [Signature]
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10518	Williams 24 Castle Hill Driftwood	slab FOOTER SLAB	Pass	INSPECTOR [Signature]
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10494	Gill 34 Rio Vista Driftwood	in progress	Pass	INSPECTOR [Signature]
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
PM 10415	Smith 11 Palmetto Ark Homes	insulation	Pass	INSPECTOR [Signature]
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

**11100**

**PATIO**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	11100	DATE ISSUED:	December 3, 2014
SCOPE OF WORK:	Concrete Patio		
CONTRACTOR:	Lynn's Innovations, LLC		
PARCEL CONTROL NUMBER:	13-38-41-010-000-00060-2	SUBDIVISION:	Kingston Court, Lot 6
CONSTRUCTION ADDRESS:	132 S River Road		
OWNER NAME:	Janson		
QUALIFIER:	Van Lynn	CONTACT PHONE NUMBER:	263-1375

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM**      **INSPECTIONS: 9:00AM TO 3:00PM – MONDAY THROUGH FRIDAY**

### INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

### BUILDING PERMIT RECEIPT

<b>PERMIT NUMBER:</b>	11100		
<b>ADDRESS:</b>	132 S River Road		
<b>DATE ISSUED:</b>	12/3/2014	<b>SCOPE OF WORK:</b>	Concrete Patio

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned spa @ \$ 121.75 per sq. ft. s.f.		\$	-
Total square feet non-conditioned space, or interior remodel: @ \$ 59.81 per sq. ft. s.f.		\$	-
Total square feet remodel with new trusses: \$ 90.78 per sq. ft. s.f.		\$	-
Total Construction Value:		\$	\$ -
Building fee: (2% of construction value SFR or >\$200K)		\$	n/a
Building fee: (1% of construction value < \$200K + \$100 per insp.)		\$	-
Total number of inspections (Value < \$200K) \$ 100.00 per insp. # insp			n/a
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	n/a
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	n/a
Road impact assessment: (.04% of construction value - \$5 min.)			n/a
Martin County Impact Fee:		\$	
<b>TOTAL BUILDING PERMIT FEE:</b>		\$	\$ -

ACCESSORY PERMIT	Declared Value:	\$	\$
Total number of inspections: @ \$ 100.00 per insp. # insp	2	\$	200.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	\$ 3.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	\$ 3.00
Road impact assessment: (.04% of construction value - \$5 min.)		\$	5.00
<b>TOTAL ACCESSORY PERMIT FEE:</b>		\$	<b>211.00</b>

Permit cost \$220.00

# Town of Sewall's Point BUILDING PERMIT APPLICATION

Date: 10/31/14 Permit Number: 11100  
 OWNER/LESSEE NAME: Karen Janson Phone (Day) 772 281-9218 (Fax) Mobile 772 341-3391  
 Job Site Address: 132 S. River Rd City: Stuart State: FL Zip: 34996  
 Legal Description Lot 6, Kingston Court Parcel Control Number: 13-38-41-010-000-00060-2  
 Fee Simple Holder Name: \_\_\_\_\_ Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Telephone: \_\_\_\_\_

\*SCOPE OF WORK (PLEASE BE SPECIFIC): PATIO (Concrete)

**WILL OWNER BE THE CONTRACTOR?**  
 (If yes, Owner Builder questionnaire must accompany application)  
 YES  NO   
**Has a Zoning Variance ever been granted on this property?**  
 YES  (YEAR) \_\_\_\_\_ NO   
 (Must include a copy of all variance approvals with application)

**COST AND VALUES:** (Required on ALL permit applications)  
 Estimated Value of Improvements: \$ 4,000  
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
 Is subject property located in flood hazard area? VE10  AE9  AE8   
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
 Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
 (Fair Market Value of the Primary Structure only, Minus the land value)  
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: LYNN'S INNOVATIONS LLC. Phone: 972 261-1375 Fax: \_\_\_\_\_  
 Qualifiers name: VAN LYNN Street: P.O. Box 86 City: PORT SALERNO State: FL Zip: 34992  
 State License Number: \_\_\_\_\_ OR: Municipality: \_\_\_\_\_ License Number: MCPF 00456

LOCAL CONTACT: \_\_\_\_\_ Phone Number: \_\_\_\_\_  
 DESIGN PROFESSIONAL: \_\_\_\_\_ Fla. License# \_\_\_\_\_  
 Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Phone Number: \_\_\_\_\_

AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/ Porches: 373 Enclosed Storage: \_\_\_\_\_  
 Carport: \_\_\_\_\_ Total under Roof \_\_\_\_\_ Elevated Deck: \_\_\_\_\_ Enclosed area below BFE\*: \_\_\_\_\_  
 \* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010  
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

**WARNINGS TO OWNERS AND CONTRACTORS:**

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
- IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\*

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER/AGENT/LESSEE - NOTARIZED SIGNATURE:  
Karen Janson  
 State of Florida, County of MARTIN  
 On This the 31 day of October, 2014  
 by KAREN Janson who is personally known to me or produced personally known  
 As identification: \_\_\_\_\_

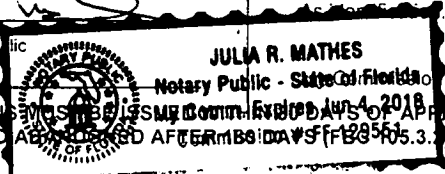
CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:  
Van Lynn  
 State of Florida, County of Martin  
 On This the 4th day of November, 2014  
 by Van Lynn who is personally known to me or produced \_\_\_\_\_

Notary Public  
 My Commission Expires: 06/04/2018

Notary Public  
 Expires: 1/28/17

SINGLE FAMILY PERMIT APPLICATIONS MUST BE SUBMITTED TO THE TOWN OF SEWALL'S POINT FOR APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.4) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

ASHLEY FRECHETTE  
 Notary Public - State of Florida  
 My Comm. Expires Jan 28, 2017  
 Commission # EE 845420  
 Bonded Through National Notary Assn.







JEFF ATWATER  
CHIEF FINANCIAL OFFICER

STATE OF FLORIDA  
DEPARTMENT OF FINANCIAL SERVICES  
DIVISION OF WORKERS' COMPENSATION

**\*\* CERTIFICATE OF ELECTION TO BE EXEMPT FROM FLORIDA WORKERS' COMPENSATION LAW \*\***

**CONSTRUCTION INDUSTRY EXEMPTION**

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation law.

**EFFECTIVE DATE:** 11/13/2014      **EXPIRATION DATE:** 11/12/2016  
**PERSON:** LYNN      VAN      C      SR  
**FEIN:** 264672015

**BUSINESS NAME AND ADDRESS:**

LYNN'S INNOVATIONS LLC

5517 SE 45TH STREET

PORT SALERNO      FL      34992

**SCOPES OF BUSINESS OR TRADE:**

MASONRY NOC

Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter. Pursuant to Chapter 440.05(12), F.S., Certificates of election to be exempt... apply only within the scope of the business or trade listed on the notice of election to be exempt. Pursuant to Chapter 440.05(13), F.S., Notices of election to be exempt and certificates of election to be exempt shall be subject to revocation if, at any time after the filing of the notice or the issuance of the certificate, the person named on the notice or certificate no longer meets the requirements of this section for issuance of a certificate. The department shall revoke a

DFS-F2-DWC-252 CERTIFICATE OF ELECTION TO BE EXEMPT REVISED 07-12

QUESTIONS? (850)413-1609



**MARTIN COUNTY, FLORIDA  
Contractor's Licensing  
Certificate of Competency**

**CONCRETE FORMING & FINISHING - MC**

License #: MCPF00456      Expires: 09/30/2015

LYNN, VAN C  
LYNN'S INNOVATIONS, LLC  
PO BOX 86  
PORT SALERNO, FL 34992

NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00 (\$7,500 Mechanical)

PERMIT #: \_\_\_\_\_ TAX FOLIO #: 13-38-41-010-000-00060-2

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):

132 South River Road, Lot 6, Kingston Court

GENERAL DESCRIPTION OF IMPROVEMENT: pool patio/extended patio re-do wood deck

OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT

NAME: Karen Janson
ADDRESS: 132 S. River Rd Stuart, FL 34994
PHONE NUMBER: 772 287 9218 FAX NUMBER: None
INTEREST IN PROPERTY: owner

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR: LYNN'S INNOVATIONS LLC.
ADDRESS: P.O. Box 86 Port Salerno, FL 34992
PHONE NUMBER: (772) 261-1375 FAX NUMBER:

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED)
ADDRESS:
PHONE NUMBER: FAX NUMBER:
BOND AMOUNT:

LENDER/MORTGAGE COMPANY:
ADDRESS:
PHONE NUMBER: FAX NUMBER:

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (b), FLORIDA STATUTES:

NAME:
ADDRESS:
PHONE NUMBER: FAX NUMBER:

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:

PHONE NUMBER: FAX NUMBER: EXPIRATION DATE OF NOTICE OF COMMENCEMENT:

EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

Signature of owner or lessee or owner's authorized officer/director/partner/manager/attorney-in-fact
SIGNATORY'S TITLE/OFFICE: owner

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 31 DAY OF October, 2014

BY: Julia R. Mathes AS Florida Notary FOR KAREN JANSON
NAME OF PERSON TYPE OF AUTHORITY PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION TYPE OF IDENTIFICATION PRODUCED

Notary Signature/Seal



STATE OF FLORIDA
MARTIN COUNTY
THIS IS TO CERTIFY THAT THE FOREGOING PAGE(S) IS A TRUE AND CORRECT COPY OF THE ORIGINAL DOCUMENT AS FILED IN THIS OFFICE
BY: Carolynn Timmann, Clerk
DATE: 11-18-14 D.C.



INSR # 2486104 OR BK 2752 PG 345 RECD 11/18/2014 12:30:52 PM
CAROLYNN TIMMANN MARTIN COUNTY CLERK
DEED DOC \$0.00, HIS DOC \$0.00, INTANGIBLE \$0.00

Martin County, Florida  
Laurel Kelly, C.F.A

generated on 12/3/2014 10:32:00 AM EST

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
13-38-41-010-000-00060-2	27856	132 S RIVER RD, SEWALL'S POINT	\$414,370	11/29/2014

Owner Information

Owner(Current)	JANSON LARS A & KAREN M
Owner/Mail Address	132 S RIVER RD STUART FL 34996
Sale Date	10/30/2000
Document Book/Page	<u>1534 2519</u>
Document No.	JMB
Sale Price	374500

Location/Description

Account #	27856	Map Page No.	SP-05
Tax District	2200	Legal Description	KINGSTON COURT LOT 6
Parcel Address	132 S RIVER RD, SEWALL'S POINT		
Acres	.3800		

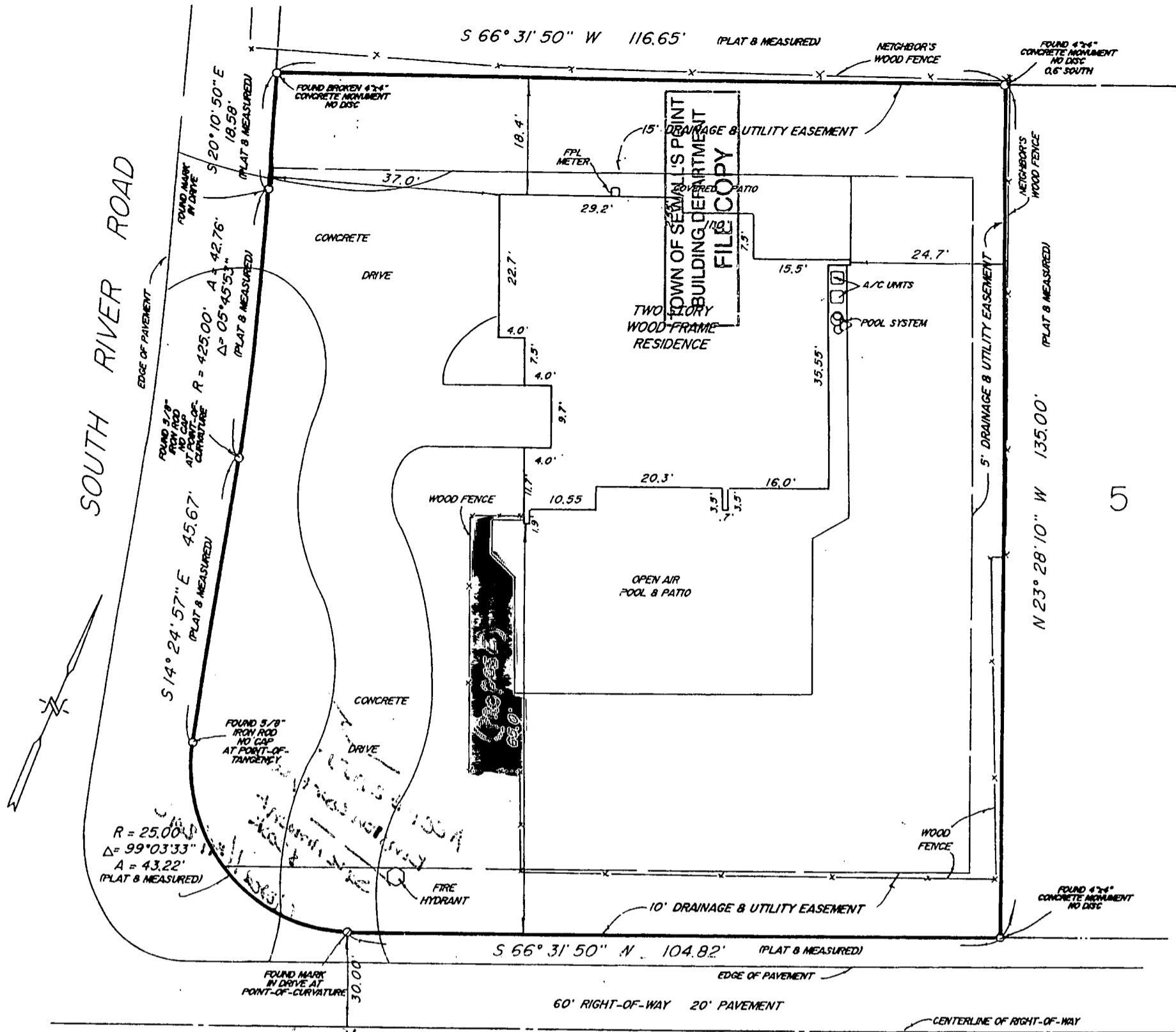
Parcel Type

Use Code	0100 Single Family
Neighborhood	120400 Hmwd,Palm Ro,Kngstn,Okwd, Pine

Assessment Information

Market Land Value	\$192,500
Market Improvement Value	\$221,870
Market Total Value	\$414,370

PALM ROW SUBDIVISION



KINGSTON COURT

ADDRESS: 132 S. River Road  
Stuart, Florida

NOTE: WATER, SEWER & UNDERGROUND  
POWER SERVICE

AREA: 16,549.65 sq. ft.

LEGAL DESCRIPTION: Lot 6, KINGSTON COURT, according to the Plat thereof recorded in Plat Book 8, Page 82, Public Records of Martin County, Florida.

CERTIFIED TO: LARS A. JANSON AND KAREN M. JANSON;  
OUGHTERSON, SUNDHEIM & WOODS, P.A.;  
COMMONWEALTH LAND TITLE INSURANCE COMPANY;  
UNIVERSAL LAND TITLE, INC.

*Neighbor hood  
120400*

Flood Zone "C"

Bearings hereon are referred to an assumed value of South 66°31'50" West for the centerline of right-of-way of Kingston Court; said bearing is identical with the Plat of record.

. KINGSTON COURT . Lot 6 .

BY	DATE	REVISION
DAF		
UPDATED/RECEIVED		
1/26/2001		

**LANGBEHN SURVEYING**  
 P.O. BOX 688 JENSEN BEACH, FLORIDA 34868  
 (881) 398 - 8166  
 FAX (881) 337 - 7404

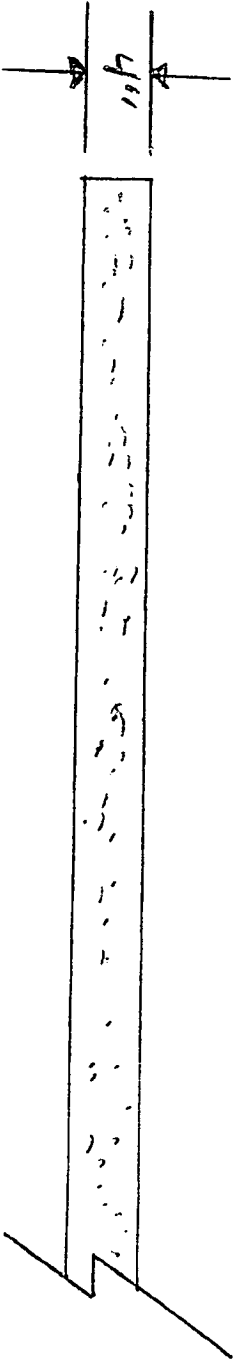
CERTIFICATE: This is to certify that this SKETCH OF SURVEY, of the herein described property, is true and correct to the best of my knowledge and belief, contains no visible encroachments, unless shown, and meets the Minimum Technical Standards set forth in Chapter 81D17-9 F.A.C. by the Florida Board of Land Surveyors pursuant to Section 474.007, Florida Statute.

*[Signature]*  
 PROFESSIONAL LAND SURVEYOR  
 STATE OF FLORIDA REGISTRATION NO. 3188

NOTE: NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL  
 This SURVEY prepared from legal description supplied by client.

DRAWN	FLIP
CHECKED	PWL
DATE OF FIELD SURVEY	1/25/99
SCALE	1" = 20'
JOB NO.	99-10858
FIELD BOOK AND PAGE	FF.LD4

4" CONCRETE 2500 P.S.I.  
WITH FIBER



CLEAN COMPACT FILL

NOT TO SCALE



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

**REVISIONS – CORRECTIONS REQUEST FORM**  
**MUST BE SUBMITTED FOR ALL CORRECTIONS AND REVISIONS**

DATE: 12/5/2014 PERMIT NUMBER: 11100

JOB ADDRESS: 132 S River Road

**PLEASE CHECK ONE OF THE FOLLOWING:**

- CONDITION OF INSPECTION APPROVAL (Needed for an inspection)
- CONDITION OF PERMIT APPROVAL: (Corrections/Permit not issued, in review process)
- REVISIONS (Changes to an issued permit)

\*\*\*\*ALL PLAN REVISIONS MUST BE HIGHLIGHTED OR CLOUDED ON DRAWING\*\*\*\*

ALL REVISED PAGES ARE REQUIRED TO BE INSERTED IN FIELD PERMIT SET

DESCRIPTION OF REVISION(S): Change to Concrete patio

DOES REVISION(S) CHANGE THE VALUE OF CONSTRUCTION? YES  NO  VALUE \$ \_\_\_\_\_  
 \*\*\*INCREASED CONSTRUCTION VALUE WILL INCREASE PERMIT FEES AND MUST BE PAID AT TIME OF APPROVAL\*\*\*

CONTACT NAME: Van Lynn SIGNATURE: Van Lynn Sr  
 PHONE NUMBER: 772-261-1375 FAX NUMBER: \_\_\_\_\_

**FOR OFFICE USE ONLY:**

Reviewed by: [Signature] Date: 12-5-14 Approve  Deny

Additional conditioned space \_\_\_\_\_ sq. ft. @ \$104.65 per sq. ft. \_\_\_\_\_ x 2% = \_\_\_\_\_

Additional non-conditioned space \_\_\_\_\_ sq. ft. @ \$ 48.90 per sq. ft. \_\_\_\_\_ x 2% = \_\_\_\_\_

Other declared value increase (must be based on value not cost) \_\_\_\_\_ x 2% = \_\_\_\_\_

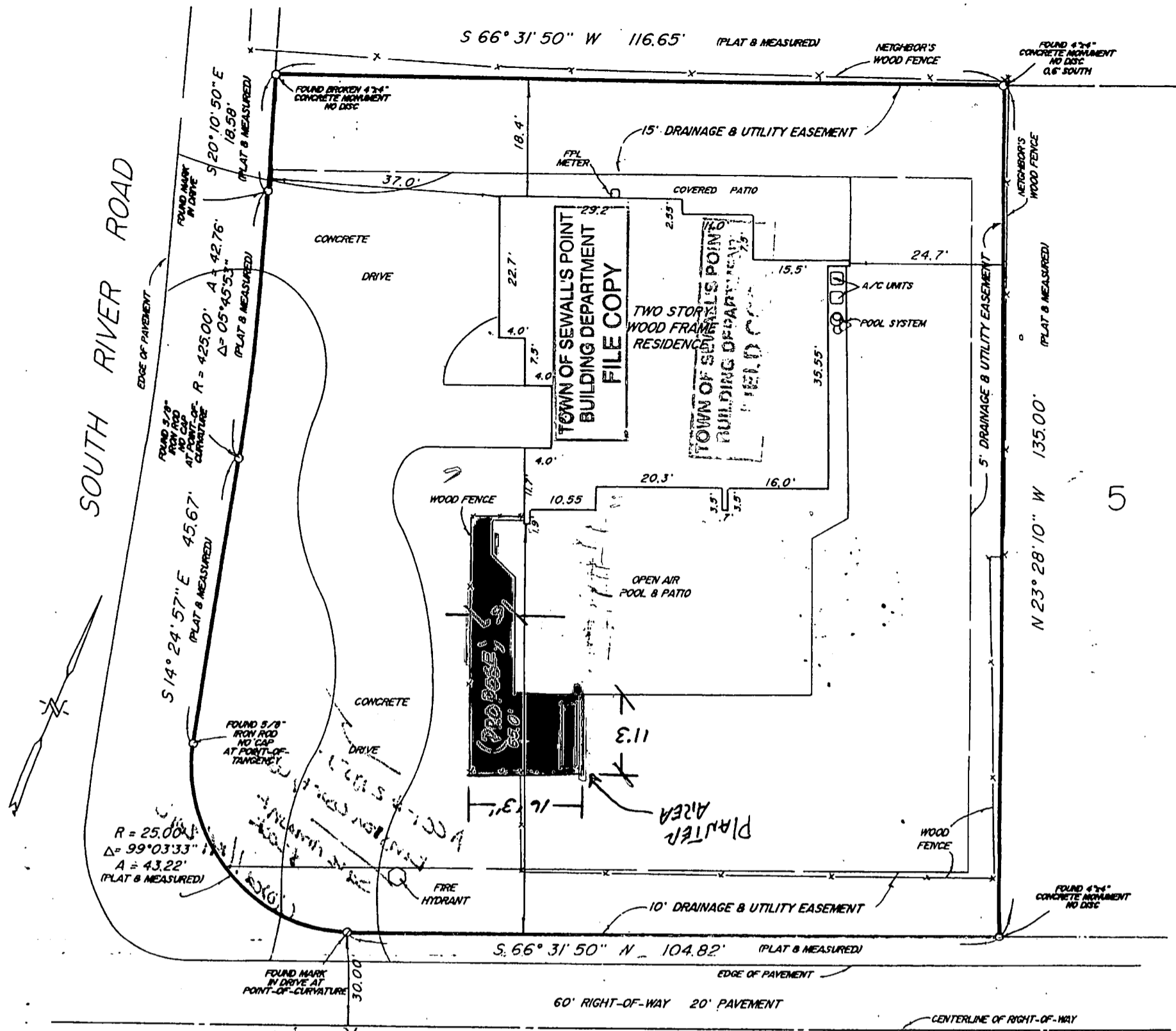
Other additional fees: \_\_\_\_\_ Revision review fee: \_\_\_\_\_ Pages @ \$25.00/Page \_\_\_\_\_

Radon Fee \_\_\_\_\_ Professional Regulation Fee \_\_\_\_\_ Road impact assessment \_\_\_\_\_

TOTAL ADDITIONAL BUILDING PERMIT FEE \$ N/A

Applicant notified by: \_\_\_\_\_ Date: \_\_\_\_\_

PALM ROW SUBDIVISION



KINGSTON COURT

ADDRESS: 132 S. River Road  
Stuart, Florida

NOTE: WATER, SEWER & UNDERGROUND  
POWER SERVICE

AREA: 16,549.65 sq. ft.

**LEGAL DESCRIPTION:** Lot 6, KINGSTON COURT, according to the Plat thereof recorded in Plat Book 8, Page 82, Public Records of Martin County, Florida.

**CERTIFIED TO:** LARS A. JANSON AND KAREN M. JANSON;  
OUGHTERSON, SUNDHEIM & WOODS, P.A.;  
COMMONWEALTH LAND TITLE INSURANCE COMPANY;  
UNIVERSAL LAND TITLE, INC.

*Neighbor hood  
120400*

Flood Zone "C"

Bearings hereon are referred to an assumed value of South 66°31'50" West for the centerline of right-of-way of Kingston Court; said bearing is identical with the Plat of record.

. KINGSTON COURT . Lot 6 .

REVISION	BY	DATE

**LANGBEHN SURVEYING**

P.O. BOX 998 JENSEN BEACH, FLORIDA 34958  
(881) 398 - 8166  
FAX (881) 337 - 7404

CERTIFICATE: This is to certify that this SKETCH OF SURVEY, of the hereon described property is true and correct to the best of my knowledge and belief, contains no verbal encumbrances, unless shown, and meets the Minimum Technical Standards set forth in Chapter 81D17-9 F.A.C. by the Florida Board of Land Surveyors pursuant to Section 474.007, Florida Statutes.

*[Signature]*

PROFESSIONAL LAND SURVEYOR  
STATE OF FLORIDA REGISTRATION NO. 3182

NOTE: NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.  
This SURVEY prepared from legal description supplied by client.

DRAWN	FLIP
CHECKED	PWL
DATE OF FIELD SURVEY	1/25/99
SCALE	1" = 20'
	408 1/2
	99-10858
FIELD BOOK AND PAGE	FF.LDK

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection  Mon  Tue  Wed  Thur  Fri 12/4/16 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
<del>1100</del>	Lydon	In progress	<del>CANCEL</del>	
	<del>108 RD SFR</del> O/B	Gazebo	FAIL	ATF PERMIT - NO FINE INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
10973	Conch	Roof		GRADUATED
	19 Lantana Lane Conch	Framing	FAIL	AILS NOT USED INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
<del>1100</del>	<del>JANSON</del>	Concrete		
	<del>132 S-River Rd</del> Lynn Innovations	Pre-Pour.	<del>OK</del>	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
	LAUER	TREE		
	4 RIDGEWAY DR		OK	INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
	BARNES			
	7 MARGURITA		OK	INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR





TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

PERMIT # \_\_\_\_\_  
DATE ISSUED \_\_\_\_\_

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photographs, (superimposed with lot lines to scale), of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc..

Owner DR & MAS C MOORMAN Address 2641 E. OCEAN BLVD Telephone \_\_\_\_\_  
STUART

Contractor SURROUNDING DEV CORP Address 500 COLORADO AVE Telephone 286-2662  
STUART

Number of trees to be removed (list kinds of trees) 20 GENERALLY OAKS & PALMS

Number of trees to be relocated within 30 days (no fee) (list kinds of trees) - 0 -

Number of trees to be replaced within 30 days (list kinds of trees) - 0 -

Permit Fee \$ \_\_\_\_\_ (\$5. for first tree plus \$1. for each additional tree - not to exceed \$25.)

(No permit fee for trees which are relocated on property or lie within a utility easement and are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

Permit good for one year. Fee for renewal of expired permit \$5.

Signature of applicant E. [Signature] Date submitted 2/12/87

Approved by Building Inspector \_\_\_\_\_ Date \_\_\_\_\_

Approved by Building Commissioner JC Strubbe Date 2/20/87

Completed \_\_\_\_\_  
Date \_\_\_\_\_ Checked by \_\_\_\_\_

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT OBTAINING A PERMIT: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSES OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOOD OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY, AUSTRALIAN PINE AND MELALEUCCA.



TOWN OF SEWALL'S POINT

RECEIVED

JUN - 1 2000

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

BY: EA

Permit # \_\_\_\_\_

Date Issued \_\_\_\_\_

0232  
6/8/00

6/8/00  
SEARCHED  
INDEXED  
SERIALIZED  
FILED  
(HAWAII TREE SERVICE)  
INSPECTION

sched map. 6/2 ✓

~~HOLD APPL CONFIRMATION~~  
~~APPROVED TREE REMOVAL PER.~~

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner Jim Jamison Address 132 S. RIVER RD Phone 781-0994

Contractor \_\_\_\_\_ Address \_\_\_\_\_ Phone \_\_\_\_\_

Number of trees to be removed (list kinds of trees) 1 PALMETTO TREE

Number of trees to be relocated within 30 days (no fee) (list kinds of trees):  
CABBAGE PALM? SITE HEAVILY LANDSCAPED.

Number of trees to be replaced \_\_\_\_\_ (list kinds of trees): \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ (\$25.00 - first tree plus \$10.00 - each additional tree - not to exceed \$100.00.)

(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted ✓ Plans approved as marked \_\_\_\_\_

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant [Signature] Date submitted 6/1/00

Approved by Building Inspector [Signature] Date 6/8/00

Approved by Building Commissioner \_\_\_\_\_ Date \_\_\_\_\_

Completed \_\_\_\_\_ Date \_\_\_\_\_ Checked by \_\_\_\_\_

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT OBTAINING A PERMIT. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?

House

Pool

DRIVEWAY

KINGSTON COURT

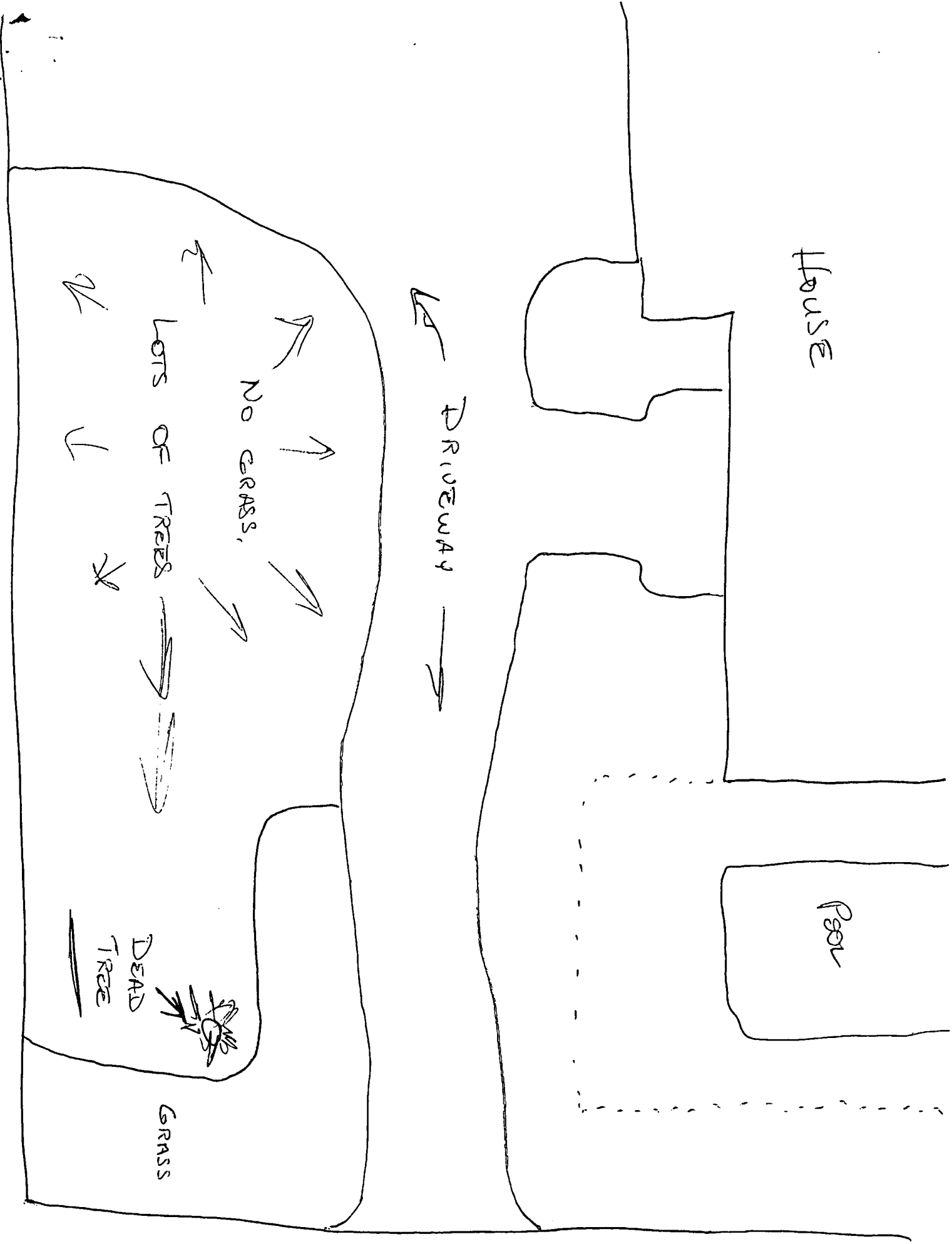
NO GRASS,

LOTS OF TREES

DEAD TREE

GRASS

RIVER RD



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri JUNE 2, 2000;

Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
S 4711	Guerrard	final pool	Passed	permit will be
(3A)	104 Abbie Court Advantage	(REINSPECT) <del>VERIFY FEE PD.</del>	BQ.	on house 781-3033 Michel
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
S 4803	Foglia	slab for	Passed	VERIFY SALT TREATMENT
(2)	107 H Sewell Way owner/cont.	covered patios	BQ.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N 4853	Corvey	pool	Passed	20 PSI
(1)	17 L of Lina Way owner/cont.	plumbing	BQ.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
S 4569	GUERRARD	VERIFY C.O.	Passed	-WET BAR SINK INST.
(3B)	104 ABBIE CT STRATHMORE	CONDITIONAL ITEMS COMPLETION	BQ	-BARBQUE FAN
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
S 4554	PAGE (287-0769)	CONST. STATUS	Status	-PERMIT TO BE RENEWE
(EXP.) (4)	8 ST. LUCIE CT. GLACE HOMES OFF HILL CREST		BQ.	-POSSIBLE CHANGE OF COI
			SEE BELOW	-S/B NO CONST. ACTIVIT
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
		① Roof Loaded with Cement Tile - Spanish-S		
		② NO windows + Doors . ③ WALLS INSTALLED		④ TRADES INSTALLED
		⑤ CAN'T see 1st + 2nd fl. ANCHORING.		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: T/R APR. 132 S. RIVER RD - JAMISON (O/B) ✓ NO EVIDENCE DEAD/DISEASED  
- FURTHER INFO. REQ.

INSPECTOR (Name/Signature): \_\_\_\_\_

**TOWN OF SEWALL'S POINT, FLORIDA**

Date 3/15/07 1907 TREE REMOVAL PERMIT No 0587

APPLIED FOR BY KAREN JANSEN (Contractor or Owner)

Owner KAREN JANSEN - 132 S. RIVER

Sub-division \_\_\_\_\_, Lot \_\_\_\_\_, Block \_\_\_\_\_

Kind of Trees PALM / OAK

No. Of Trees: REMOVE (2)

No. Of Trees: RELOCATE \_\_\_\_\_ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE \_\_\_\_\_ WITHIN 30 DAYS

REMARKS DEAD TREES

\_\_\_\_\_ FEE \$ -0-

Signed, \_\_\_\_\_  
Applicant

Signed, [Signature]  
Town Clerk





**Permit Fee:**

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

**Application procedures:**

1. Fill out application information below to include:
  - a. applicant information
  - b. written statement giving reasons for removal, relocation, or replacement if necessary
  - c. for a new single family resident see above.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner KAREN JANSON Address 132 So. River Rd. Phone 283-7870

Contractor BERNIE'S TREE SERVICE Address \_\_\_\_\_ Phone \_\_\_\_\_

No. of Trees: REMOVE 2 <sup>Service</sup> Type: 1 Palm 1 Oak

No. of Trees: RELOCATE \_\_\_\_\_ WITHIN 30 DAYS Type: \_\_\_\_\_

No. of Trees: REPLACE \_\_\_\_\_ WITHIN 30 DAYS Type: \_\_\_\_\_

Written statement giving reasons: DEAD TREES

Signature of Property Owner K. Janson by Catherine Nij Date 03/15/07

Approved by Building Inspector: [Signature] Date 3/15 Fee: 0

Plans approved as submitted ✓ Plans approved as revised/marked: \_\_\_\_\_



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

OK

**TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT**

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Karen Janson Address 132 S. River Rd Phone 287.9218

Contractor Shade Tree Inc Address PO Box 516 Palm City Phone 223-7307

License # 1990-275-017  
 No. of Trees: REMOVE 1 Species: 1 Queen Palm + 1 Queen Palm Stump

No. of Trees: RELOCATE \_\_\_\_\_ Species: \_\_\_\_\_

No. of Trees: REPLACE \_\_\_\_\_ Species: will replace later in summer

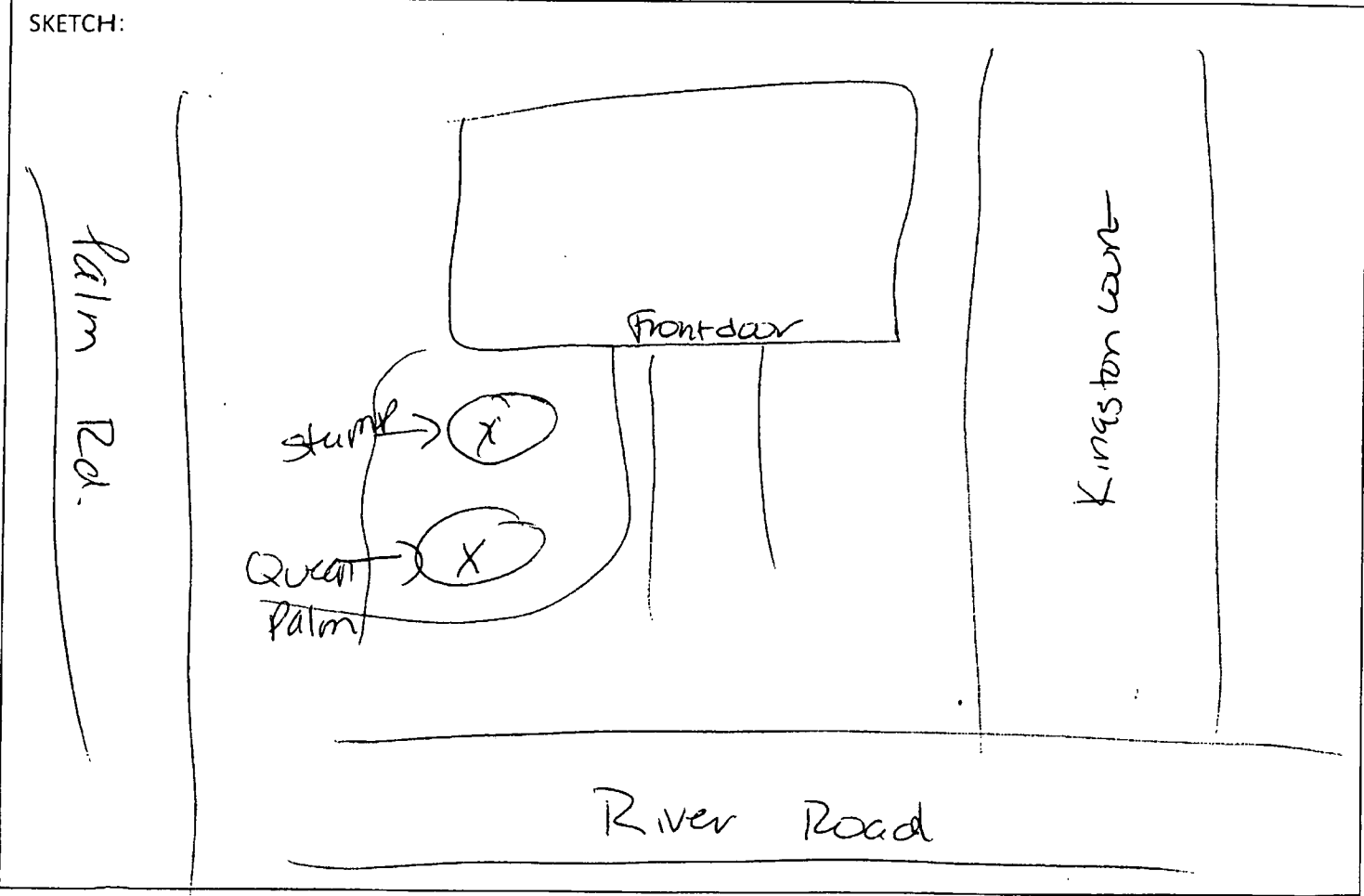
\*\*\*ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION\*\*\*

Reason for tree removal/relocation (See notice above) Glanderma Butt Rot

Signature of Property Owner [Signature] Date 6/25/10

Approved by Building Inspector: [Signature] Date 6-25-10 Fee: N/A

NOTES: \_\_\_\_\_





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT**

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Karen Janson Address 325 River Rd Phone 772.287.9218

Contractor \_\_\_\_\_ Address \_\_\_\_\_ Phone \_\_\_\_\_

No. of Trees: REMOVE 1 Species: Cabbage Palm

No. of Trees: RELOCATE \_\_\_\_\_ Species: \_\_\_\_\_

No. of Trees: REPLACE \_\_\_\_\_ Species: \_\_\_\_\_

\*\*\*ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION\*\*\*

**ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY**

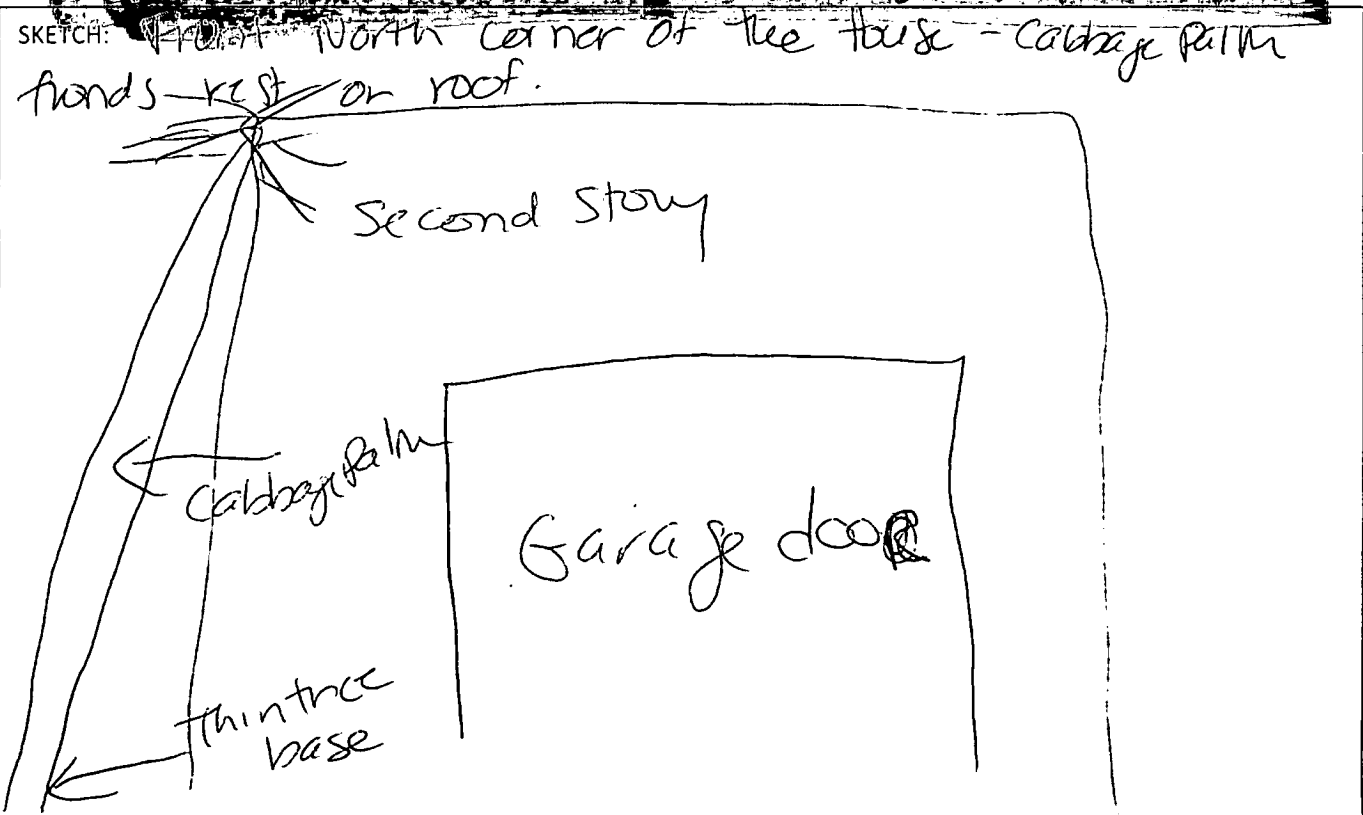
Reason for tree removal/relocation (See notice above) Tree is located too close to the house. Base of tree is rump and inadequate to support high winds.

Signature of Property Owner [Signature] Date 8/14/12

Approved by Building Inspector: [Signature] Date 8-16-12 Fee: \_\_\_\_\_

NOTES: ~~Tree appears healthy. Will require a certified arborist~~

~~Opinion that the tree is unsafe - Cabbage Palm is protected~~





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One South Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765



TREE CITY USA

Since 1990,  
 Sewall's Point  
 has proudly been  
 designated a  
 "Tree City USA"

**TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT**

WORK PERMITTED FROM 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Janson Address 132 S. River Rd Phone 287-9218  
 Contractor NativeGreen Pest Control Address 623 NW Buck Henry Way Phone 772-892-7575  
 No. of Trees REMOVE 1 Species: Hickory Caliper @ 4' above soil 10-12" (inches) Height 25 (ft.)  
 No. of Trees RELOCATE 1 Species: Triangle Palm Caliper @ 4' above soil 14" (inches) Height 25 (ft.)  
 No. of Trees REPLACE 2 Species: Queen Palms Caliper @ 4' above soil 8 (inches) Height 20 (ft.)

REPLACED OR RELOCATED TREES MUST BE INSPECTED WITHIN 30 DAYS OF PERMIT ISSUANCE

**ALL PROHIBITED SPECIES AND VEGETATIVE WASTE MUST BE REMOVED FROM PROPERTY**

Reason for tree removal/relocation Hickory - Beetle Attack Tree is Dead - Triangle Palm - Dying From Fusarium Disease - Queen Palms Dying From Planting Depth & Nutrient Deficiency

Signature of Property Owner [Signature] Date 5/21/15

This space for Official Use only:

Approved by Building Official: [Signature] Date 6-1-15 Fee: 15.00

BUILDING INSPECTOR NOTES: \_\_\_\_\_

Minimum Tree Requirements Met On Property

Prohibited Species Identified for Removal

SKETCH (Show location of tree(s) to be removed/relocated; dimensions of lot; location of structures):

