

133 South River Road

816

FENCE

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Permit No. 816

Date 4/19/78

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable) Copy of property Deed required for new home construction.

Owner Ralph H. Heiers Present Address 127 So. Sewall Pt Rd. Ph 287-1970

General Contractor Same Address _____ Ph _____

Where licensed _____ License No. _____

Plumbing Contractor _____ License No. _____

Electrical Contractor _____ License No. _____

Street building will front on ~~127 S. S. Pt. Rd.~~ 1335 RIVER RD. ~~River Road - Wood~~ Stone gate along Highway.

Subdivision _____ Lot No. _____ Area _____

Building area, inside walls (excluding garage, carport, porches) Sq ft _____

Other Construction (Pools, additions, etc.) _____

Contract Price (excluding land, rugs, appliances, landscaping) \$ \$400,00

Total cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period

Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

Signed by Owner

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted 13 April 1978

Date approved 4/12/78

Certificate of Occupancy issued _____ Date 4/12/78

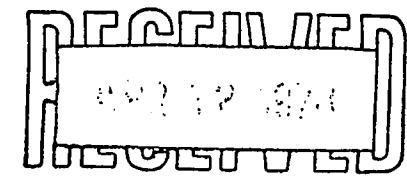
81

R. H. Hiers
127 S. Sewalls PT.

Braden

H.A. Hiers

150'



Approval of these plans in NO-WAY
relieves the contractor or builder of
complying with the Town of Sewall's
Point's Ordinances and the South
Florida Building Code.

Drive Way

Wood Fence

Wood Fence 5' High

Approx. 17'

Stone

Stone

4/12/78
[Signature]

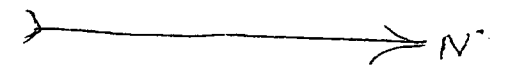
West Edge of River Road.

[Signature]
13 April 1978

TOWN HALL COPY

816

HIERS FENCE + GATE



4005

DEMO

TAX FOLIO NO. _____

DATE 6-20-96

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

4005

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Nicholas S. Smith Present address 107 Bowsprit Dr.

Phone VIA Contractor North Palm Beach FL 33408

Contractor GDI Contractors Inc. Address P.O. Box 6841

Phone 561-588-5951 West Palm Beach, FL 33405

Where licensed Martin County License number 5P02089

Electrical Contractor _____ License number _____

Plumbing Contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Demo one story C.B.S. Single Family
And detached Garage

State the street address at which the proposed structure will be ~~built~~: Demolished
133 S. River Rd.

Subdivision Arbela Lot Number 2 Block Number _____

Contract price \$ 11,750.00 Cost of permit \$ 100.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-Tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Nick Smith R.S.P.

TOWN RECORD

Date submitted _____ Approved: _____

Approved: [Signature] 7/22/96 Final approval given: _____
Commissioner Date Date

CERTIFICATE OF OCCUPANCY issued (if applicable) _____
Date

PERMIT NO. _____

MARTIN COUNTY CONTRACTORS
CERTIFICATE OF COMPETENCY

ROBERT F GOODING
GDI CONTRACTORS INC
342 Franklin Rd
WPB FL 33405

EXPIRES SEPTEMBER 30, 19 96

AUDIT CONTROL NUMBER	0021848	CERTIFICATE NUMBER	SP02089
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1995 MARTIN COUNTY 1996
COUNTY OCCUPATIONAL LICENSE

LICENSE 94-520043 CERT SP02089

PHONE 407-588-5951 SIC NO. 1751

LOCATION: 342 Franklin Rd

THIS FORM BECOMES A RECEIPT ONLY WHEN VALIDATED BY RECEIPTING MACHINE SHOWING TRANSACTION NUMBER, DATE AND AMOUNT PAID.

PENALTY 10% FOR MONTH OF OCTOBER,
5% ADDITIONAL EACH MONTH THEREAFTER UP TO 25% PLUS COLLECTION COSTS.

PREV YR. \$	_____	LIC. FEE \$	<u>25.00</u>
TRANSFER \$	_____	HAZ. WST. \$	_____
DEL PEN \$	<u>10.00</u>	COL FEE \$	_____
SUBTOTAL \$	_____	SUBTOTAL \$	_____
TOTAL		<u>35.00</u>	

MAKE CHECKS PAYABLE TO:
Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34961
(407) 288-6604

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF DEMOLITION CONTRACTOR
AT ABOVE ADDRESS FOR THE PERIOD BEGINNING ON THE

G D I CONTRACTORS, INC.
342 FRANKLIN RD
WEST PALM BEACH, FL 05

15 DAY OF Dec 19 95 SEC.
AND ENDING FIRST DAY OF OCTOBER A.D.

ORIGINAL

NOTE - A PENALTY IS IMPOSED FOR FAILURE TO KEEP THIS LICENSE EXHIBITED CONSPICUOUSLY AT YOUR ESTABLISHMENT OR PLACE OF BUSINESS.

PAID \$ 12/15/1995
TAX COLLECTOR MARTIN COUNTY

4874

DOCK

3/22/01 PERMIT EXTENSION TO 9/20/01

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 03/20/00 BUILDING PERMIT NO. 4874
 Building to be erected for NICHOLAS/TAVET SMITH Type of Permit DOCK
 Applied for by DREDGE & MARINE CONST. (Contractor) Building Fee \$240.00
 Subdivision _____ Lot _____ Block _____ Radon Fee _____
 Address 133 S. RIVER RD. Impact Fee _____
 Type of structure S.F.R. A/C Fee _____

Parcel Control Number:
13-38-41-000-000-00030.10000
 Amount Paid \$240.00 Check # 3334 Cash _____ Other Fees (_____) _____
 Total Construction Cost \$ 15,000.00 TOTAL Fees \$240.00

Signed [Signature] Applicant Signed [Signature] Town Building Inspector OFFICIAL

DOCK PERMIT

INSPECTIONS

SETBACKS	DATE _____	WATER	DATE _____
PILINGS	DATE _____	ELECTRIC	DATE _____
BOAT LIFT	DATE _____	DECK	DATE _____
		FINAL	DATE <u>9/21/01</u>

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455
WORK HOURS – 8:00 AM UNTIL 5:00 PM
MONDAY THROUGH SATURDAY

New Construction **Remodel** **Addition** **Demolition**

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

FILE

3/27/01 6 MO. PERMIT EXTENSION TO 9/20/01
6 x 24.00 = \$144.00 PD 3/27/01
CK # 3688

MASTER PERMIT NO. N/A ✓

TOWN OF SEWALL'S POINT

3688
Date 03/20/00 BUILDING PERMIT NO. 4874

Building to be erected for NICHOLAS/JANET SMITH Type of Permit DOCK

Applied for by DREDGE & MARINE CONST. (Contractor) Building Fee \$240.00

Subdivision Hanson Grant Lot 1-2-3 Block _____ Radon Fee _____

Address 133 S. RIVER RD. Impact Fee _____

Type of structure S.F.R. A/C Fee _____

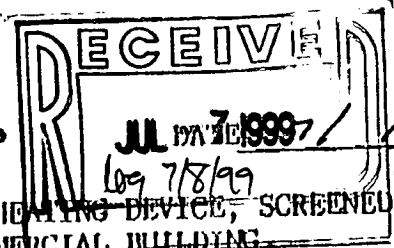
Parcel Control Number: _____ Electrical Fee _____
13-38-41-000-000-00030.10000 Plumbing Fee _____

Amount Paid \$240.00 Check # 3334 Cash _____ Other Fees (_____) _____
Roofing Fee _____

Total Construction Cost \$ 15,000.00 TOTAL Fees \$240.00

Signed [Signature] Applicant Signed [Signature] Town Building Inspector OFFICIAL

PN 4874



TAX FOLIO NO. 13-38-41-000-000-00030.10000

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner NICHOLAS & JANET SMITH Present address 107 BOWSPRIT DR. NORTH PALM BEACH, FL 33408

Contractor DREDGE & MARINE CONST. Address PO BOX 399 PT. SALERNO, FL 34992 Phone (561) 223-0105 FAX: 283-2521

Where licensed STATE OF FLORIDA License number CG C015805

Electrical Contractor License number

Plumbing Contractor License number

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: NEW DOCK, REMOVE OLD DOCK & DOCK ROOF

State the street address at which the proposed structure will be built:

137 SOUTH RIVER RD.

Subdivision Lot Number Block Number

Contract price \$ 15,000 Cost of permit \$

Plans approved as submitted Plans approved as marked

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-tagging" the construction project.

Contractor Mike Lewis

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

Date submitted Approved: Building Inspector Date

Approved: Commissioner Date Final approval given: Date

CERTIFICATE OF OCCUPANCY issued (if applicable) Date PERMIT NO.

ACORD

CERTIFICATE OF LIABILITY INSURANCE

CSR BO DREDG-1

DATE (MM/DD/YY) 02/16/00

PRODUCER

C & L Insurance, Inc.
7301 W. Palmetto Pk. Rd. 101C
Boca Raton FL 33433
Phone: 561-395-3730 Fax: 561-395-4239

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED

Dredge & Marine Construction Inc.
P.O. Box 399
Port Salerno FL 34992

FILE PERMIT

INSURER A: St. Paul Fire & Marine
INSURER B:
INSURER C:
INSURER D:
INSURER E:

RECEIVED
FEB 18 2000
BY: SA

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

Table with columns: INSR LTR, TYPE OF INSURANCE, POLICY NUMBER, POLICY EFFECTIVE DATE (MM/DD/YY), POLICY EXPIRATION DATE (MM/DD/YY), LIMITS. Includes sections for General Liability, Automobile Liability, Garage Liability, Excess Liability, Workers Compensation and Employers' Liability, and Other.

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

CERTIFICATE HOLDER

N

ADDITIONAL INSURED; INSURER LETTER:

CANCELLATION

TOWNSEW

Town of Sewalls Point
Fax 561-220-4765
Ed
One South Sewalls
Sewalls Point FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

Hill Underwood

Handwritten signature: Hill Underwood

STATE OF FLORIDA
DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY
DIVISION OF WORKERS' COMPENSATION

CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION
FROM FLORIDA WORKERS' COMPENSATION LAW

MARCH 30, 1995

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation Law.

EFFECTIVE DATE OF EXEMPTION 04/25/95

EXEMPTED INDIVIDUAL NAME KREMSER DAVID M S.S. 261-13-3593

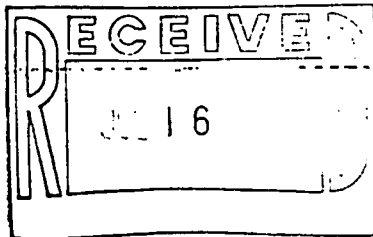
BUSINESS NAME DREDGE & MARINE CONSTRUCTION CO FEIN 650489186

BUSINESS ADDRESS 4631 SE POMPANO TERRACE
SALERNO, FL 34992

NOTE: Pursuant to Chapter 440.10(1)(g), 2 F.S., a sole proprietor, partner, or an officer of a corporation who elects exemption from the Florida Workers' Compensation Law may not recover benefits or compensation under Chapter 440.

Russell A. Morris

AUTHORIZED SIGNATURE



PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

STATE OF FLORIDA
DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY
DIVISION OF WORKERS' COMPENSATION

CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION
FROM FLORIDA WORKERS' COMPENSATION LAW



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NOTE: Pursuant to chapter 440.10(1)(g), 2 F.S., a sole proprietor, partner, or officer of a corporation who elects exemption from the Florida Workers' Compensation Law may not recover benefits or compensation under Chapter 440.

EFFECTIVE DATE OF EXEMPTION 04/25/95

EXEMPTED INDIVIDUAL NAME KREMSER DAVID M

SOCIAL SECURITY NUMBER 261-13-3593

BUSINESS NAME DREDGE & MARINE CONSTRUCTION CO

FEDERAL IDENTIFICATION NUMBER 650489186

BUSINESS ADDRESS 4631 SE POMPANO TERRACE
SALERNO, FL 34992

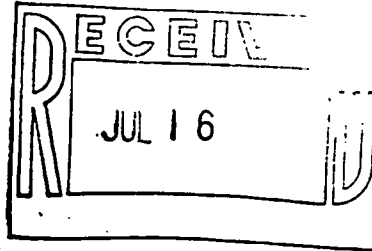
Russell A. Morris

AUTHORIZED SIGNATURE

CUT HERE

Keep under portion for your records.

Attn, Ed Arnold



DETACH HERE

AC# 5173043

STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONST INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
06/17/1998	97904056	CG -C015805

The GENERAL CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2000

KREMSEK, DAVID M
DREDGE & MARINE CONSTRUCTION CO
PO BOX 399
4631 SE POMPANO TERRACE
PORT SALERNO FL 34992

LAWTON CHILES
GOVERNOR

DISPLAY AS REQUIRED BY LAW

RICHARD T. FARRELL
SECRETARY

LETTER OF NO OBJECTION

We, Richard R. WACKENHUT and Molly B. WACKENHUT

being the owner(s) of certain property adjacent to and abutting the property of Nicholas S. Smith & Janet E. Smith who have applied for a dock permit for construction, have read and reviewed the drawing of the dock and I have no objection to the proposed dock pursuant to the plan attached herein.

Richard R. Wackenhut

Molly B. Wackenhut

STATE OF Florida
COUNTY OF Palm Beach

SWORN TO AND SUBSCRIBED before me this 23rd day of June, 1999

Hlene S. Feinberg

Notary Public

My Commission Expires:



Hlene S. Feinberg
MY COMMISSION # CC604706 EXPIRES
March 24, 2001
BONDED THRU TROY FAIR INSURANCE, INC.

LETTER OF NO OBJECTION

I, Wayne Kreuzer and _____

being the owner(s) of certain property adjacent to and abutting the property of NICHOLAS AND JANET SMITH who have applied for a dock permit for construction, have read and reviewed the drawing of the dock and I have no objection to the proposed dock pursuant to the plan attached herein.

Wayne Kreuzer

STATE OF Florida
COUNTY OF Martin

SWORN TO AND SUBSCRIBED before me this 15th day of April, 1999

Joan H. Barrow

Notary Public

My Commission Expires:



Joan H. Barrow
MY COMMISSION # CC763645 EXPIRES
November 30, 2002
BONDED THRU TROY FAIN INSURANCE INC

FROM : MARK & BRENDA BOSSES

FAX NO. : 2019309580

Mar. 17 2000 05:29PM P2

MAR-14-00 TUE 04:37 PM COLDWELL BANKER STUART.

FAX NO. 5012873000

P.02

RECEIVED
MAR 20 2000
BY: *EA*

LETTER OF NO OBJECTION

We, Mark + Brenda Bosses

being the owner(s) of certain property adjacent to and abutting the property of 133 South River Rd. who have applied for a dock permit for construction, have read and reviewed the drawing of the deck and I have no objection to the proposed dock pursuant to the plan attached herein.

[Handwritten signature]

STATE OF

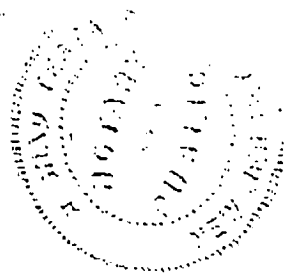
COUNTY OF

SWORN TO AND SUBSCRIBED before me this 17 day of March, 2000

[Handwritten signature]
Notary Public

My Commission Expires:

SHAD TESTA
NOTARY PUBLIC OF NEW JERSEY
My Commission Expires Sept. 24, 2003



PERMIT # 4874

TAX FOLIO # 13-38-41-000-000-00030-10000

NOTICE OF COMMENCEMENT

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

RECEIVED
MAR 8 0 2000
BY:

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

133 S. RIVER RD.

GENERAL DESCRIPTION OF IMPROVEMENT: DOCK, BOAT LIFT

OWNER: NICHOLAS AND JANET SMITH

ADDRESS: 133 S. RIVER RD. - SEWELL'S PT, FL 34996

PHONE #: (860) 845-2900 FAX #: _____

CONTRACTOR: DREDGE & MARINE CONST.

ADDRESS: PO BOX 399 PT. SALBANO, FL 34992

PHONE #: (860) 223-0105 FAX #: _____

SURETY COMPANY (IF ANY): _____

ADDRESS: _____ STATE OF FLORIDA
MARTIN COUNTY

PHONE #: _____ FAX #: _____

BOND AMOUNT: _____

THIS IS TO CERTIFY THAT THE FOREGOING _____ PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.

NOTARY PUBLIC CLERK

LENDER: _____ BY 1 COPIES D.C.

ADDRESS: _____ DATE 3-28-00

PHONE #: _____ FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7, FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.18(1)(B), FLORIDA STATUTES.

PHONE #: _____ FAX #: _____

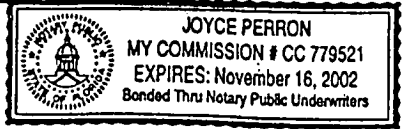
EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____ THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

[Signature]
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 22 DAY OF March 2000 BY _____

OR PERSONALLY KNOWN PRODUCED ID TYPE OF ID _____

[Signature]
NOTARY SIGNATURE



S/B
133

PLAN REVIEW:

137 S. RIVER RD

8/2/99

NICHOLAS & JANET SMITH

P/c from

DOCK & ROOF

ad. account

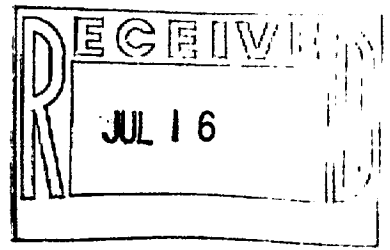
DREDGE & MARINE CONST.

BENZING

CGC 015805

(@137 S. RIVER RD)
has appl. in

P.O. BOX 399, PORT SALERNO, FL 34992 (561) 223-0105



- ✓ PERMIT APPLICATION
- ✓ DEP REVIEW AUTHORIZATION
- ✓ LETTERS OF NO OBJECTION

FAX TRANSMITTAL 1 PAGES
 TO: 283-2521
 FROM: 220-4765
 TOWN OF SEWALL'S POINT
 7/16/99

SUBMITTAL ENGR'G./DESIGN REVIEW

- ✓ DWGS SPACED BY P.E.

DESIGN STANDARDS:

- ✓ LENGTH ≤ 200'
- ✓ DOCK ACCESS ≤ 6'
- ✓ TERMINAL PLATFORM ≤ 160'

DOCK ROOF:

NOTE 1. X

— MAXIMUM AREA COVERED BY ROOF = 500'
 ROOF HEIGHT:

NOTE 2. { X
X

- NOT TO EXCEED 15' ABOVE PLATFORM
- TOP OF ROOF SHALL NOT EXCEED FINISHED GRADE OF THE UPLAND RIPARIAN PROPERTY TO WHICH THE DOCK IS APPURTENANT

NOTE 1. REVISE & RESUBMIT W/ AREA UNDER ROOF IN COMPLIANCE W/ ORDINANCE (§ 4.5-6(2))

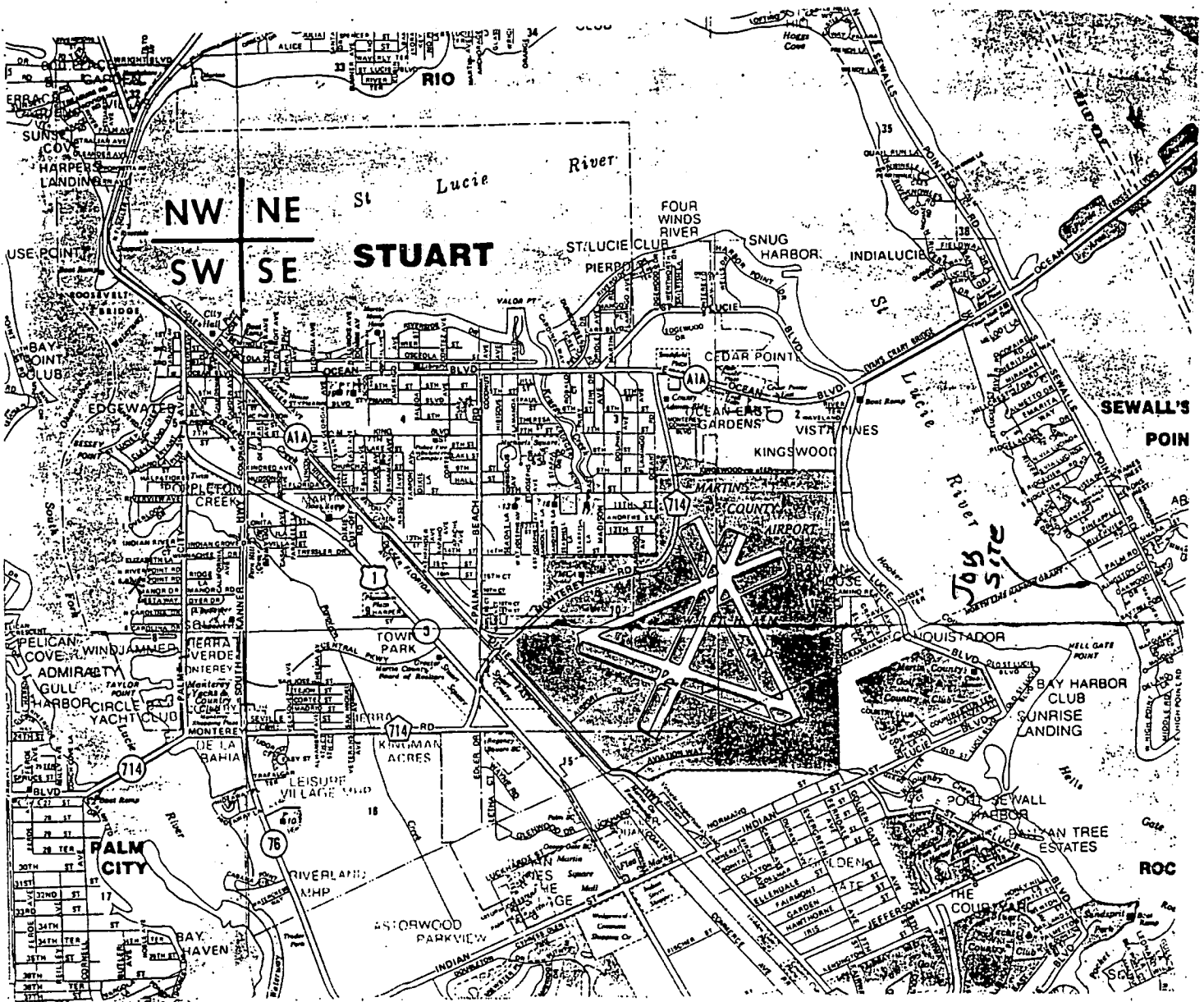
NOTE 2. TOPOGRAPHICAL SURVEY & ADDITIONAL DIMENSIONAL INFORMATION REQUIRED (SHEET 7)

RCW
7/16/99
VIA FAX

NOTE 3. PROVIDE COPY OF LICENSE & CURRENT CERTIFICATES OF INSURANCE (LIAB & WC) W/ TOWN OF SEWALL'S POINT AS CERTIFICATE HOLDER PRIOR TO PERMIT ISSUANCE

NOTE 4. PERMIT FEE = \$240.00

EDWIN B. ARNOLD, BLDG. OFFICIAL 7/16/99



LOCATION MAP - BOAT SLIP &
 150' X 5 DOCK 10' X 16 TERMINAL.

S. J. Amico P.E.

SCALE _____

DATE 2 08 1999

REVISIONS 2-22-99

SHEET 1 OF 8

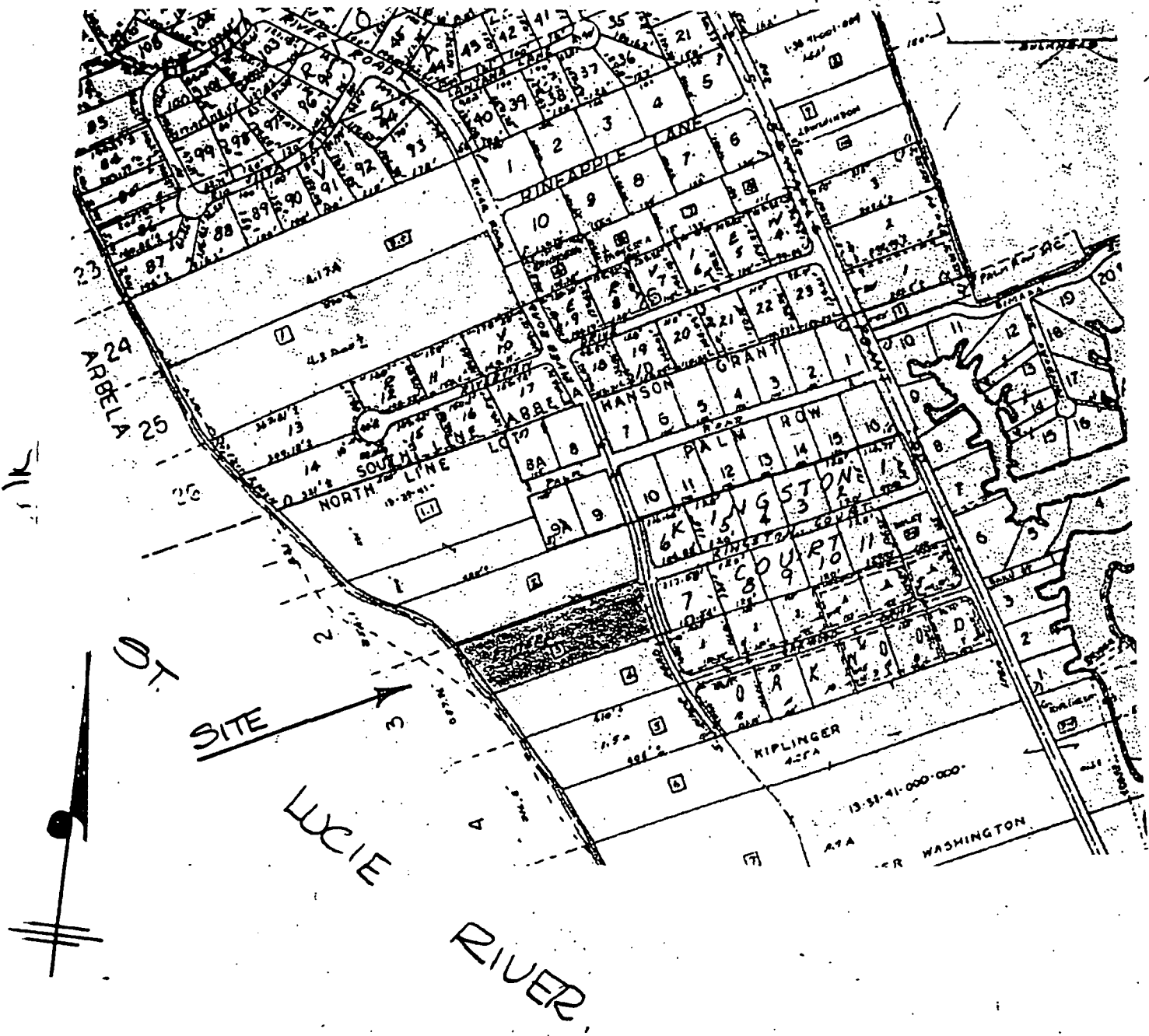
Design & Engineering Consultants
SAL J. AMICO, C.E., P.E.
 Licensed Professional Engineer

1163 East 14th Street
 Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
 P.O. BOX 399
 PORT SALERNO, FLA.

NICHOLAS SMITH
 133 SO. RIVER ROAD
 SEWALL'S POINT

VOID REUSE ~~BASED~~ SUBMITTAL
 PER PLUM REVISED NOTES ROAD 2/18/00 SA



SUD-DIVISION

S. J. Amico P.E.

SCALE _____

DATE 2-08-1999

REVISIONS SH # 3 & 4

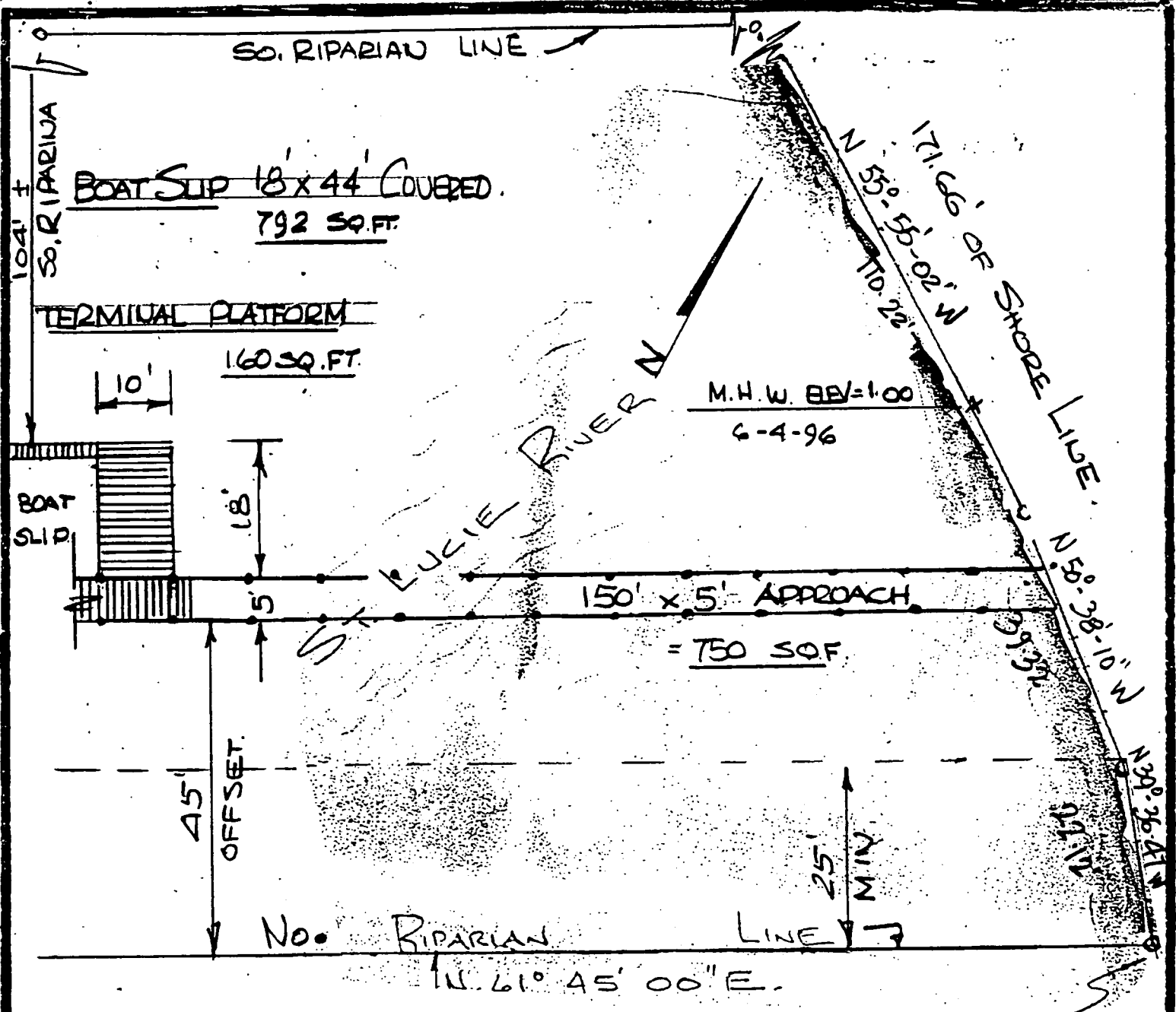
SHEET 2 OF 8

Design & Engineering Consultant
SAL J. AMICO, C.E., P.E.
Licensed Professional Engineer

1163 East 14th Street
 Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
 P.O. BOX 399
 PORT SALERNO, FLA.

NICHOLAS SMITH
 133 So. RIVER ROAD
 SEWALLS POINT.



PLAN VIEW

scale 1" = 20'

TOTAL = 1702 SQ FT

S. J. Amico PE

SCALE 1" = 20'

DATE 2-08 1999

REVISIONS 2-22-99

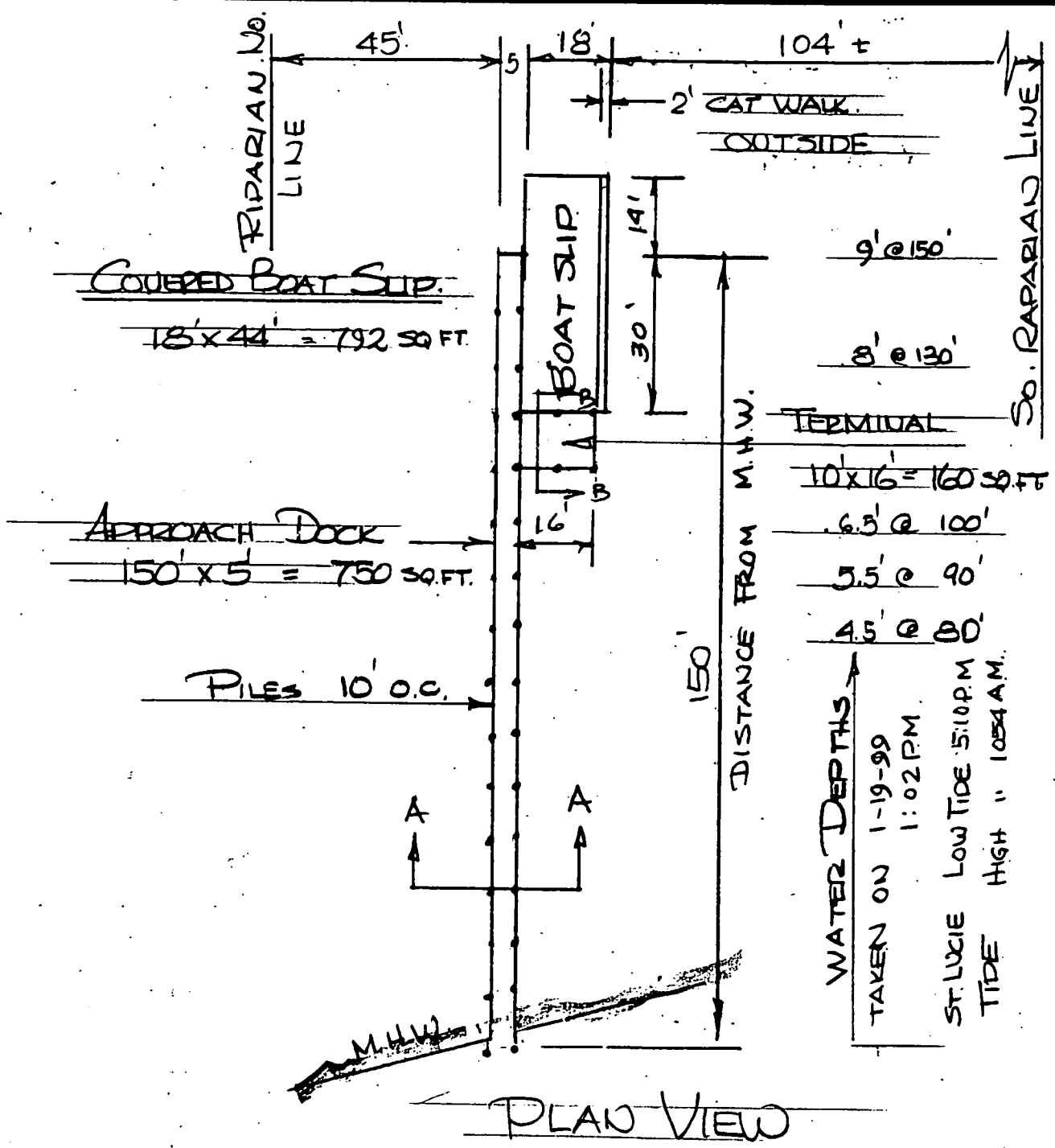
SHEET 3 OF 10

Design & Engineering Consultants
SAL J. AMICO, C.E., P.E.
Licensed Professional Engineer

1163 East 14th Street
 Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
 P.O. BOX 399
 PORT SALERNO, FLA.

NICHOLAS SMITH
 133 SO RIVER ROAD
 SEWALLS POINT.



PLAN VIEW

Scale 1" = 30'

S. J. Amico PE

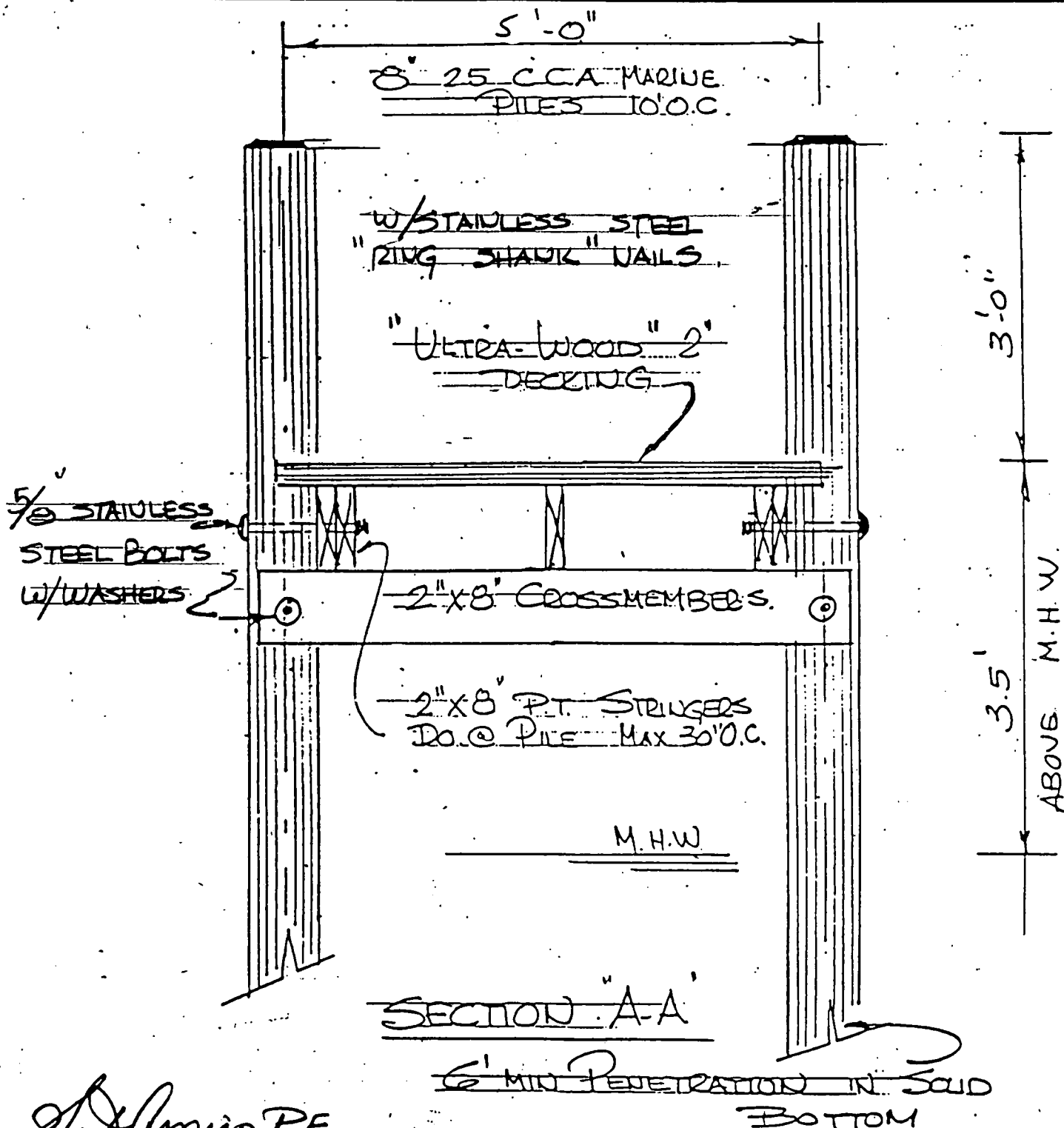
SCALE 1" = 30' DATE 2-08 1999 REVISIONS 2-22-98 SHEET 4 OF 8

Design & Engineering Consultant
SAL J. AMICO, C.E., P.E.
 Licensed Professional Engineer

1163 East 14th Street
 Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
 P.O. BOX 399
 PORT SALERNO, FLA.

NICHOLAS SMITH
 133 SO. RIVER ROAD
 SEWALL'S POINT.



S. Amico PE

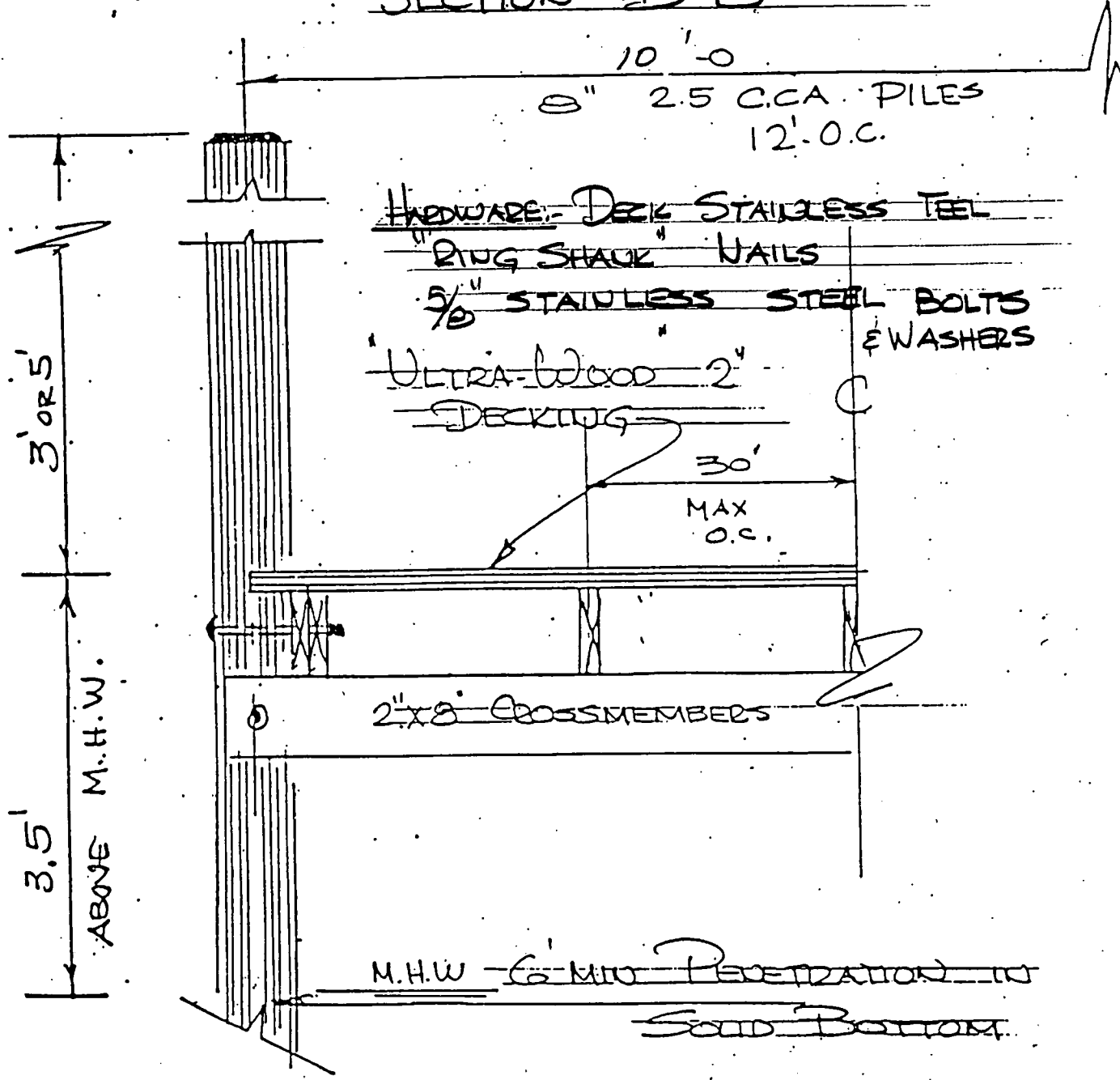
SCALE <u>3/4"</u>	DATE <u>2-08</u> 1999	REVISIONS _____	SHEET <u>5</u> OF <u>10</u>
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Design & Engineering Consultants
SAL J. AMICO, C.E., PE.
Licensed Professional Engineer
 1163 East 14th Street
 Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
 P.O. BOX 399
 PORT SALERNO, FLA.

NICHOLAS SMITH
 133 SO RIVER ROAD
 SEWALL'S POINT

TERMINALS
SECTION "B-B"



10'-0"
8" 2.5 C.C.A. PILES
12'-0.C.

HARDWARE: DECK STAINLESS STEEL
"RING SHANK" NAILS
5/8" STAINLESS STEEL BOLTS
& WASHERS
"ULTRA-WOOD 2"
DECKING

3' OR 5'
3.5'
ABOVE M.H.W.

30'
MAX
O.C.

2" X 8" CROSSMEMBERS

M.H.W. - 6" MIN PENETRATION IN
SOLID BOTTOM.

S. J. Amico P.E.

SCALE _____ DATE 2-08 1999 REVISIONS _____ SHEET 6 OF 8

Design & Engineering Consultants
SAL J. AMICO, C.E., P.E.
Licensed Professional Engineer

1163 East 14th Street
Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
P.O. BOX 399
PORT SALERNO, FLA.

NICHOLAS SMITH
133 SO RIVER ROAD
SEWALL'S POINT

2"X8" RIDGE BEAM

W/5V CRIMP GALV ROOF
ON 1"X6" STRIPPING
16"OC.
2"X6" RAFTERS

SEE
DETAILS
SH# 8

2"X6" COLLAR
BEAMS

T.O.P. 12'-6"
VAR 10'-15"

T.O.P. = 7.5'

DECK 4.5'
VAR. 4-5'

M.H.W. = 0.70'
M.L.W. = 0.0'

~~STAINLESS STEEL BOLTS
& RING SHANK NAILS.~~

16'-0"
CLEAR

BOT VARIES 4'-9"

BOT -5.0'

MIN. PENETRATION = 8" →

BOAT SLIP SECT.

S. J. Amico P.E.

1/4"

SCALE

1/4"

DATE 2-08 1999

REVISIONS

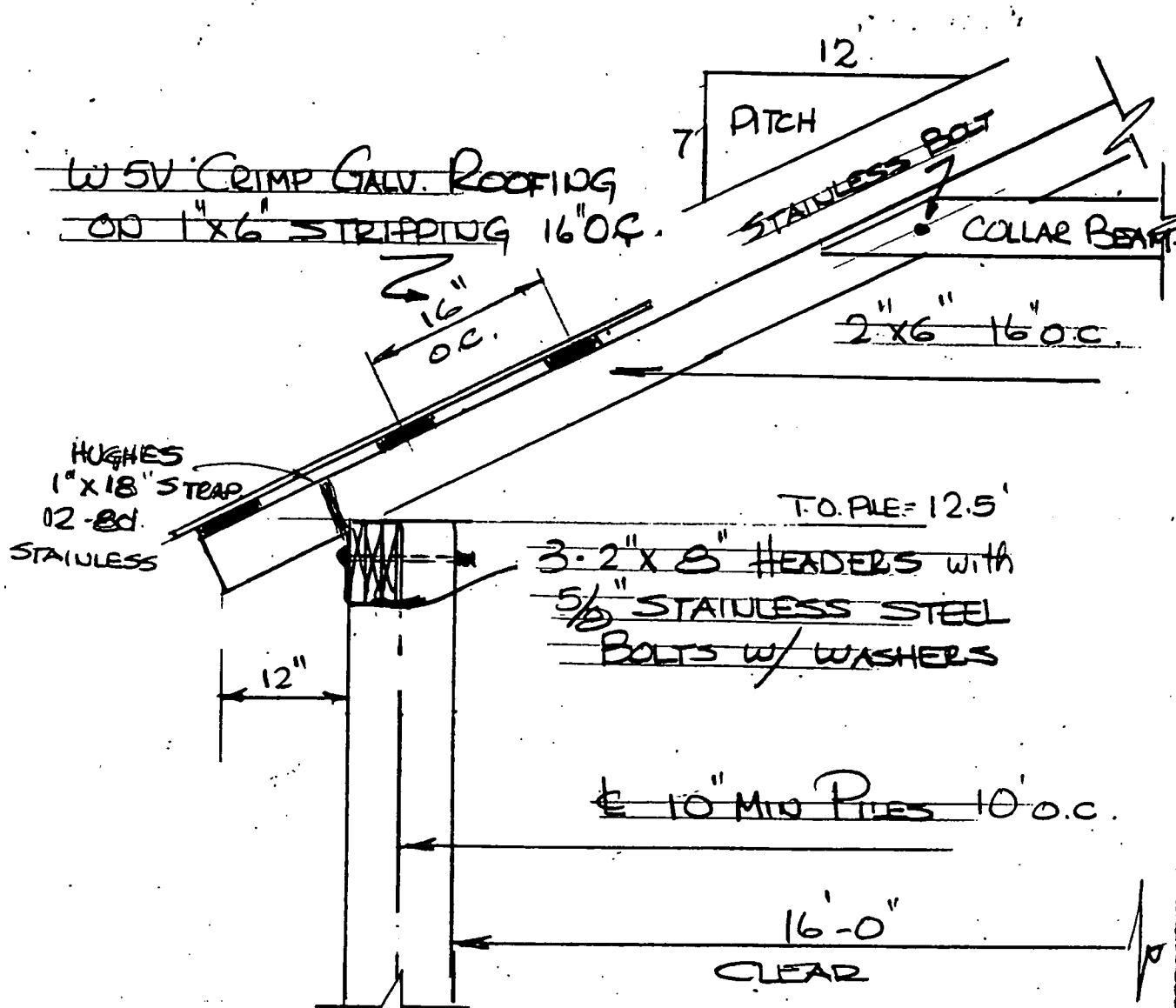
SHEET 7 OF 8

Design & Engineering Consultants
SAL J. AMICO, C.E., P.E.
Licensed Professional Engineer

1163 East 14th Street
Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
P.O. BOX 399
PORT SALERNO, FLA.

NICHOLAS SMITH
133 SO. RIVER ROAD
SEWALL'S POINT.



ROOF DETAILS

S. J. Amico

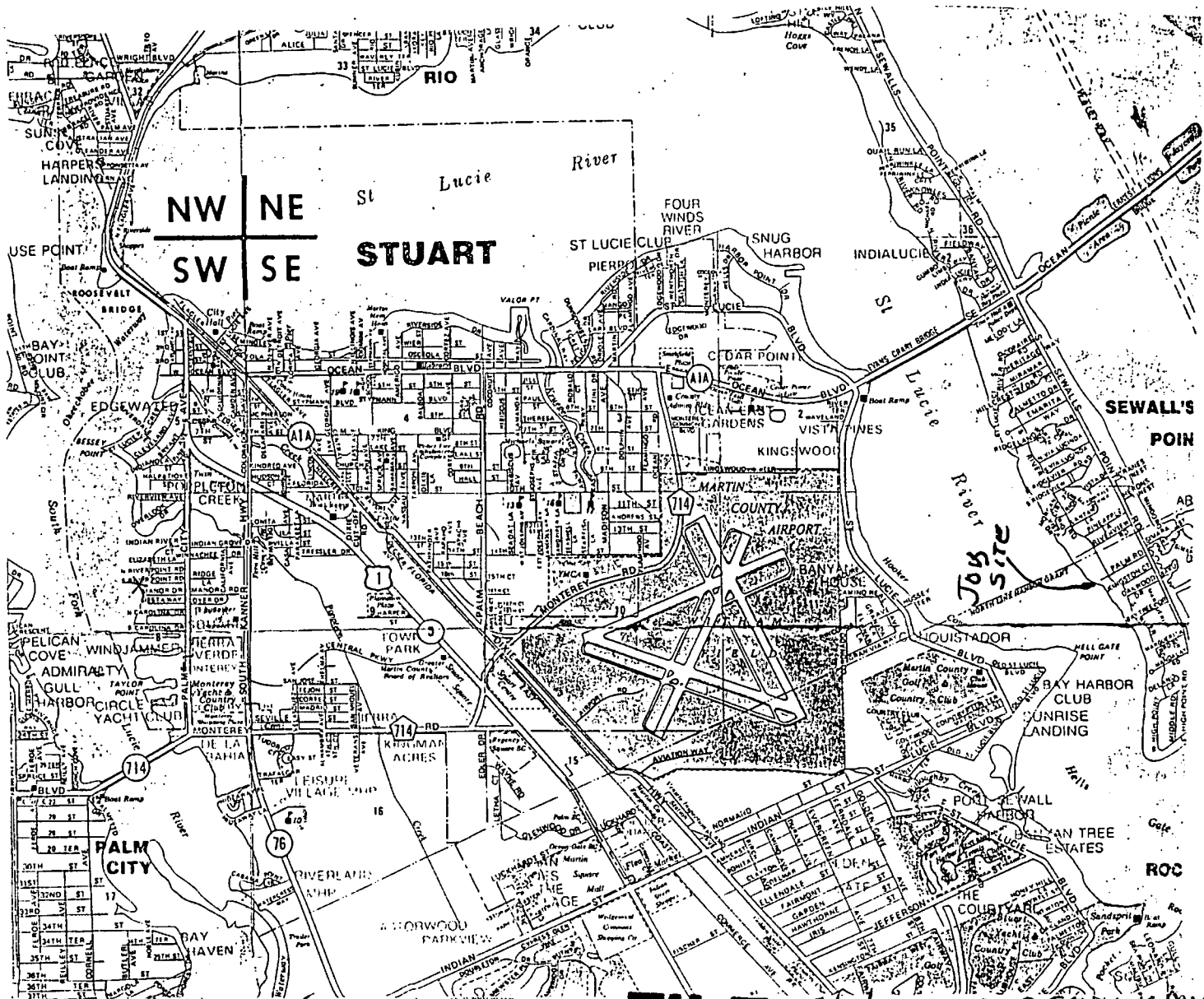
SCALE <u>3/4"</u>	DATE <u>2-08</u> 1999	REVISIONS _____	SHEET <u>8</u> OF <u>8</u>
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Design & Engineering Consultants
SAL J. AMICO, C.E., P.E.
 Licensed Professional Engineer

1163 East 14th Street
 Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
 P.O. BOX 399
 PORT SALERNO, FLA.

NICHOLAS SMITH
 133 SO. RIVER ROAD
 SEWALL'S POINT



REVISED SUBMITTAL (W/SURVEY)
 RCVD 2/18/00 SA

FILE 3/17/00 TOWN OF SEWALL'S POINT
 REVIEWED: [Signature]
 PLUG OFFICER
LOCATION MAP BOAT SLIP &
 150' X 5 DOCK 8' X 19' TERMINAL.

S. J. Amico P.E.

SCALE _____	DATE <u>2 08</u> 1999	REVISIONS <u>12-08-99</u>	SHEET <u>1</u> OF <u>8</u>
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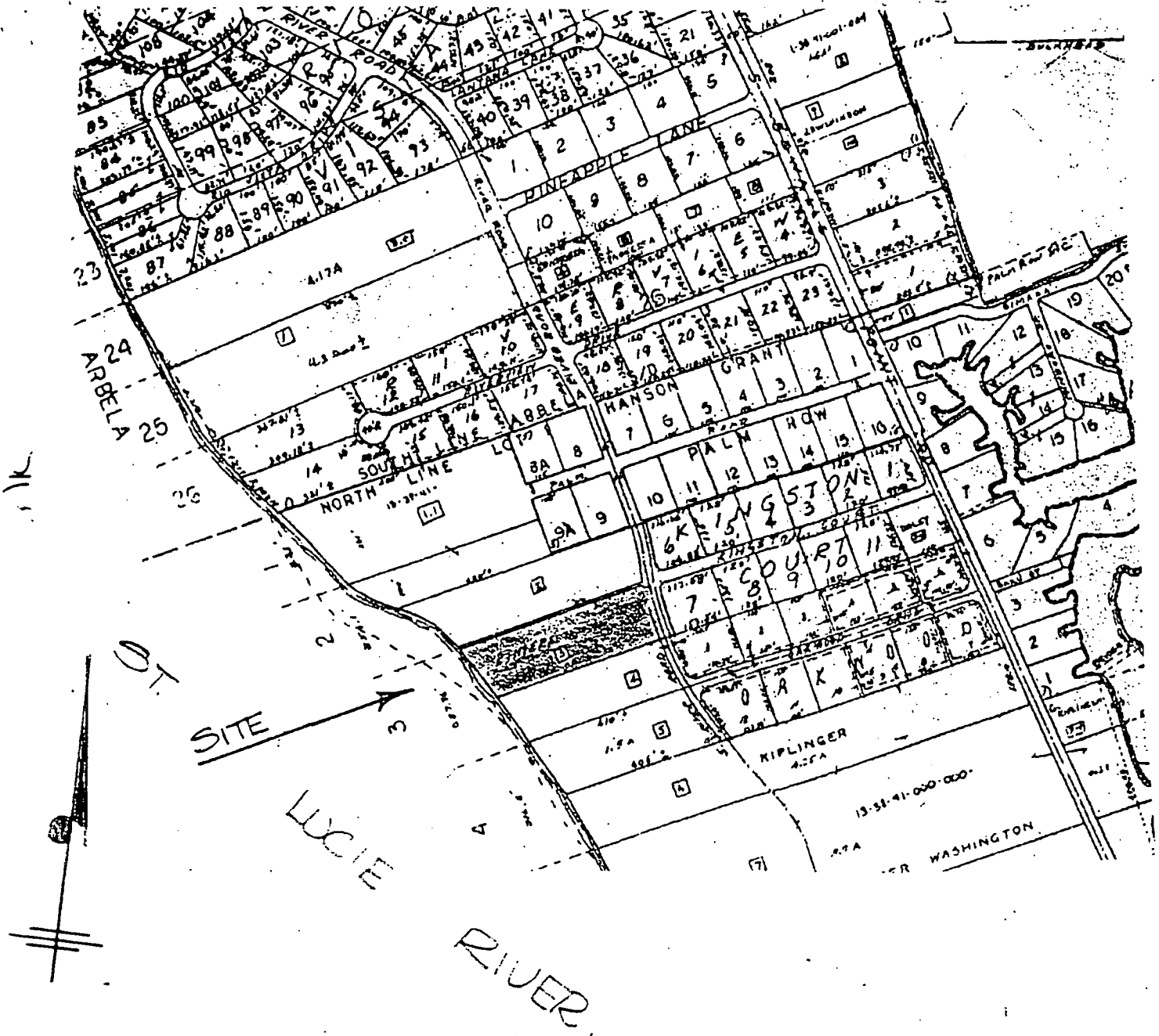
Design & Engineering Consultant
SAL J. AMICO, C.E., P.E.
Licensed Professional Engineer

1163 East 14th Street
 Stuart, Florida 34954

PN 4874

DREDGE & MARINE CONSTRUCTION
 P.O. BOX 399
 PORT SALERNO, FLA.

NICHOLAS SMITH TOWN COPY
~~1335 SAN RIVER ROAD~~
 SEWALL'S POINT



SUD-DIVISION

S. J. Amico P.E.

SCALE 1" = 100'

DATE 2-08-1999

REVISIONS 12-08-99

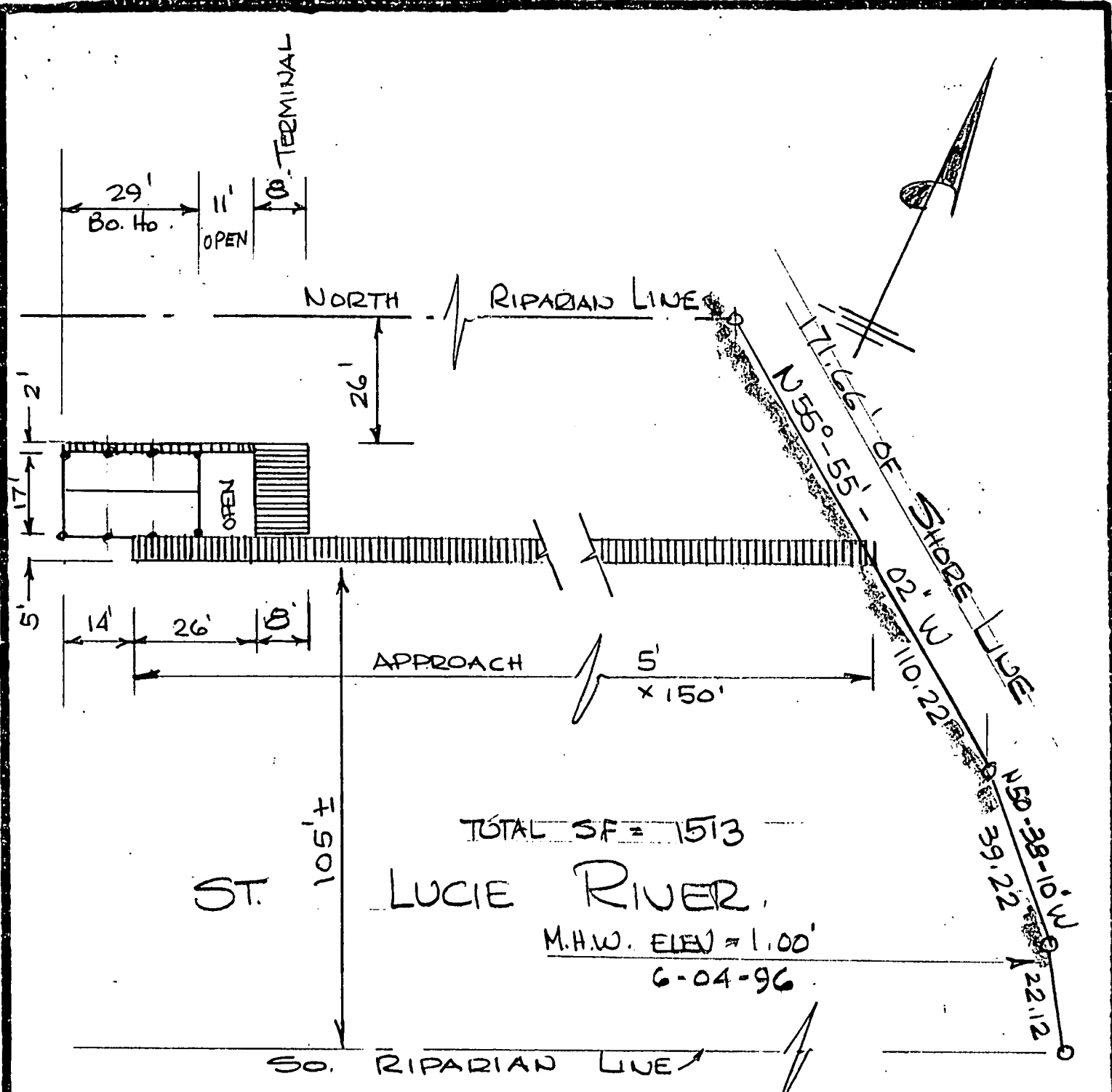
SHEET 2 OF 8

Design & Engineering Consultants
SAL J. AMICO, C.E., P.E.
Licensed Professional Engineer

1163 East 14th Street
 Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
 P.O. BOX 399
 PORT SALERNO, FLA.

NICHOLAS SMITH
 133 So. RIVER ROAD
 SEWALLS POINT.



S. J. Amico P.E.

PLAIN VIEW scale 1" = 30'

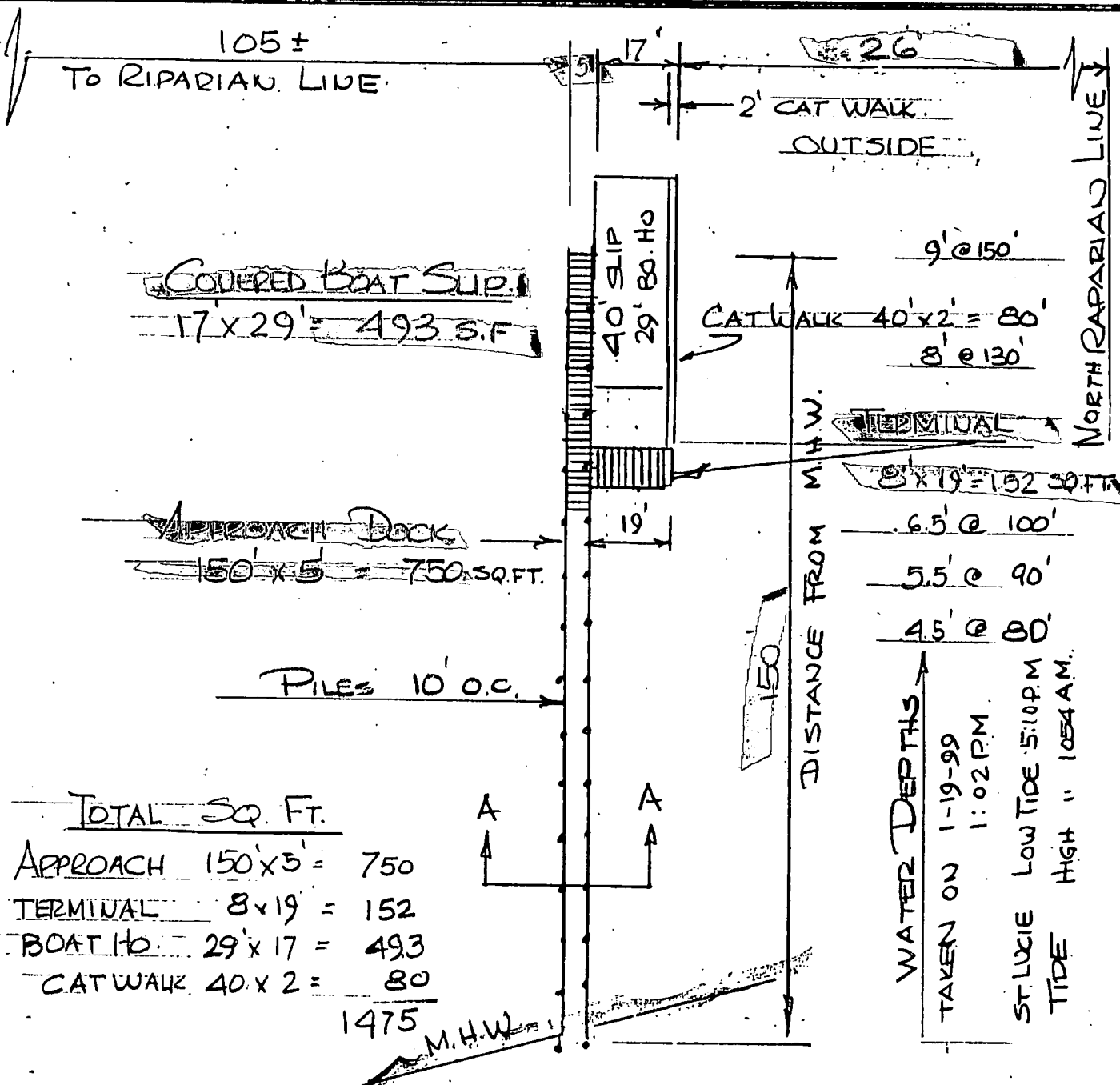
SCALE _____	DATE <u>2-08</u> 199	REVISIONS <u>12-08-99</u>	SHEET <u>3</u> OF <u>B</u>
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Design & Engineering Consultant
SAL J. AMICO, C.E., P.E.
Licensed Professional Engineer

1163 East 14th Street
 Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
 P.O. BOX 399
 PORT SALERNO. FLA.

NICHOLAS SMITH
 133 SO. RIVER ROAD
 SEWALLS POINT, FLA



TOTAL SQ. FT.

APPROACH	150' x 5' =	750
TERMINAL	8' x 19' =	152
BOAT HO.	29' x 17' =	493
CAT WALK	40' x 2' =	80
		1475

PLAN VIEW
Scale 1" = 30'

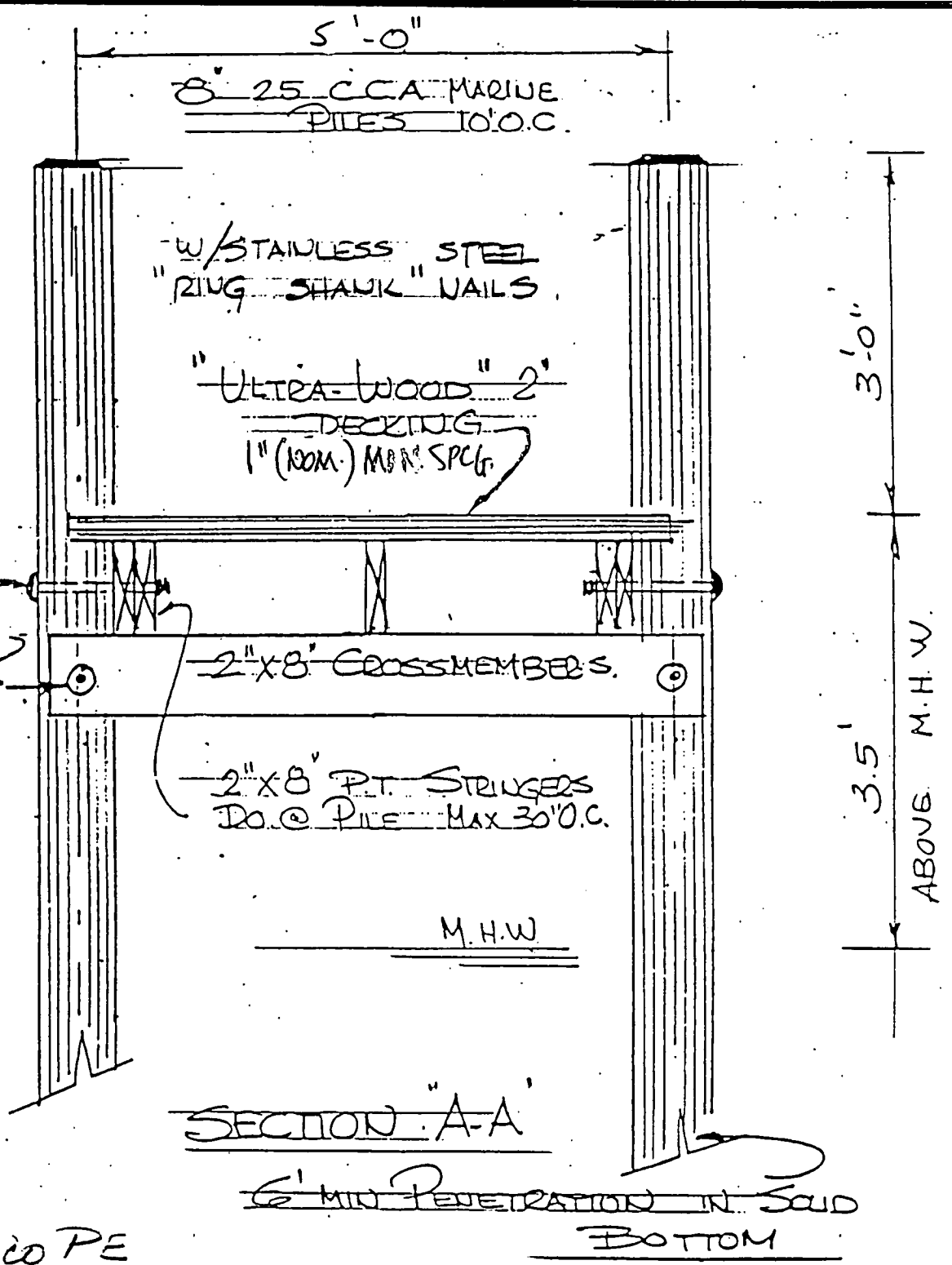
S. J. Amico PE

SCALE 1" = 30'	DATE 2-08 1999	REVISIONS 12-0898	SHEET 4 OF 8
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Design & Engineering Consultant
SAL J. AMICO, C.E., P.E.
 Licensed Professional Engineer
 1163 East 14th Street
 Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
 P.O. BOX 399
 PORT SALERNO, FLA.

NICHOLAS SMITH
 133 SO. RIVER ROAD
 SEWALL'S POINT.



S. Amico PE

SCALE $\frac{3}{4}$ "	DATE 2-08 1999	REVISIONS 12-08-99	SHEET 5 OF 8
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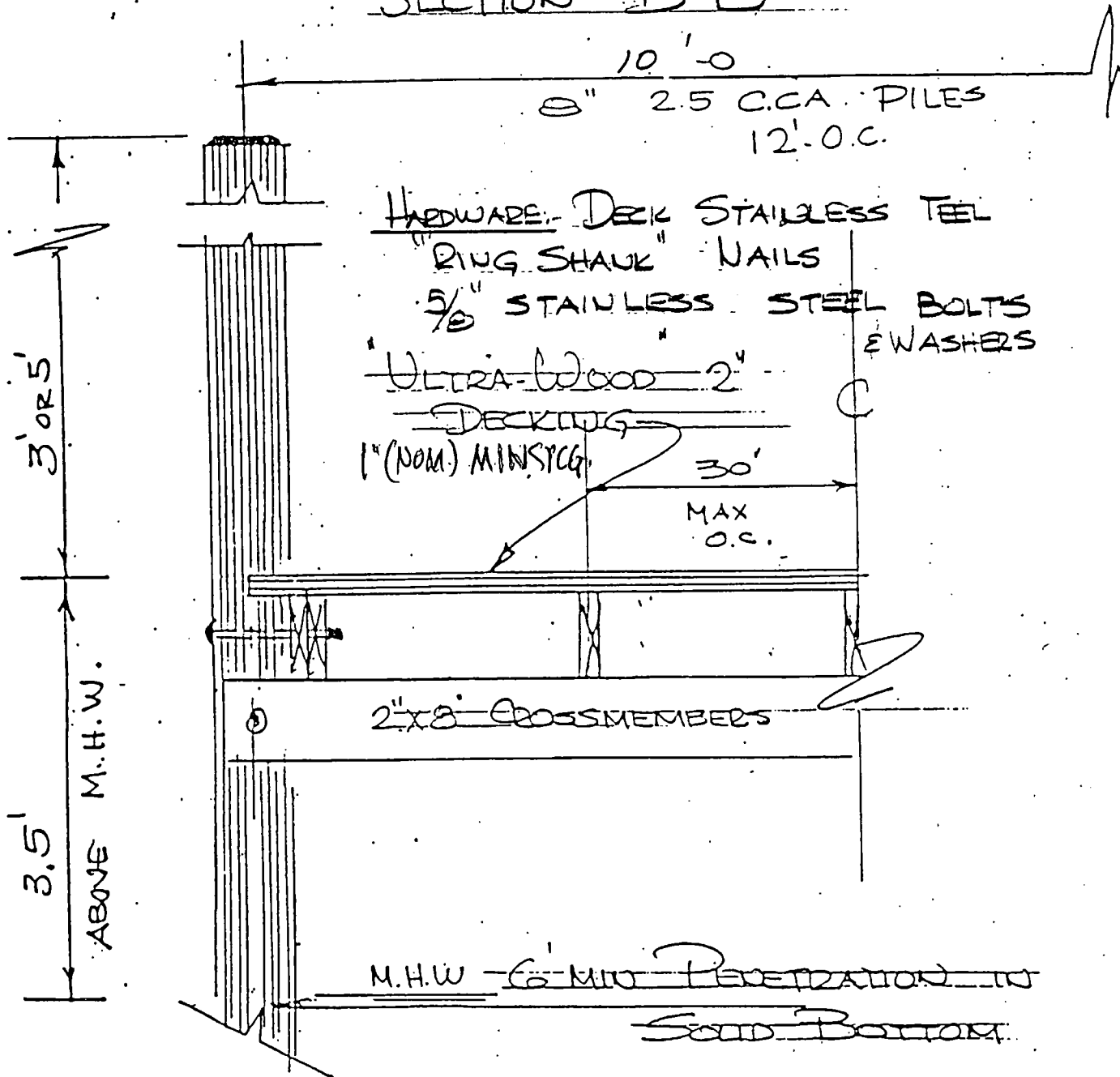
Design & Engineering Consultants
SAL J. AMICO, C.E., P.E.
Licensed Professional Engineer

1163 East 14th Street
 Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
 P.O. BOX 399
 PORT SALERNO, FLA.

NICHOLAS SMITH
 133 SO RIVER ROAD
 SEWALL'S POINT

TERMINALS
SECTION "B-B"



S. Amico PE.

SCALE <u>1" = 1'-0"</u>	DATE <u>2-08-1999</u>	REVISIONS <u>12-08-99</u>	SHEET <u>6</u> OF <u>8</u>
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Design & Engineering Consultant
SAL J. AMICO, C.E., P.E.
Licensed Professional Engineer
1163 East 14th Street
Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
P.O. BOX 399
PORT SALERNO, FLA.

NICHOLAS SMITH
133 SO RIVER ROAD
SEWALL'S POINT

EXCEEDS 15' ALLOWABLE MAXIMUM

PIECE ABOVE

2" X 8" RIDGE BEAM

W/5V CRIMP GALV ROOF
ON 1" X 6" STRIPPING
16" O.C.
2" X 6" RAFTERS

2" X 6" COLLAR BEAMS

T.O.P 15'
ABOVE DECK.

SEE
DETAILS
SH # 8

VOID
3/17/00
REV. DWG
ATTACHED

T.O.P = 7.5'

DECK 4.5'
VAR. 4-5'

M.H.W = 0.70
M.L.W = 0.0

BOT VARIES 4-9

BOT - 5.0'

MIN. PENETRATION = 8' 2"

BOAT SUP SECT.

S. Amico P.E. 1/4"

SCALE 1/4" DATE 2-08 1999 REVISIONS 12-08-99 SHEET 7 OF 8

Design & Engineering Consultants
SAL J. AMICO, C.E., P.E.
Licensed Professional Engineer

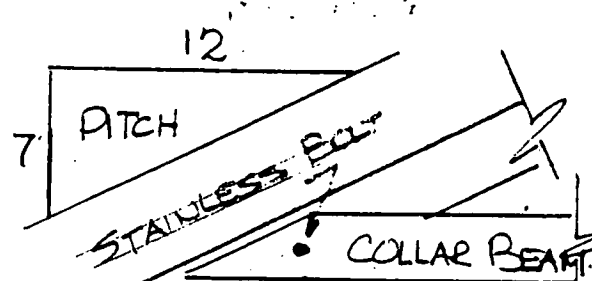
1163 East 14th Street
Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
P.O. BOX 399
PORT SALERNO, FLA.

NICHOLAS SMITH
133 SO. RIVER ROAD
SEWALLS POINT.

RIDGE HGT. = 19'-8"

W-5V CRIMP GALV. ROOFING
ON 1"X6" STRIPPING 16"OC.



RAFTER STRAP HUGHES
1"X18" 12-Ednails
STAINLESS

16" OC.

2"X6" 16"OC.

TOP OF PILE 15'-0"

VOID
317100
REV. DWG.
ATTACHED

3-2X3 HEADERS
5/8" STAINLESS STEEL
BOLTS W/ WASHERS

10" MIN PILES 10' O.C.

to OF PILES.

17'-0" ROOF

x 29 = 493 SF

ROOF DETAILS

3/4

S. Amico

SCALE 3/4"

DATE 2-08 1999

REVISIONS 12-03-99

SHEET 8 OF 8

Design & Engineering Consultants
SAL J. AMICO, C.E., P.E.
Licensed Professional Engineer

1163 East 14th Street
Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
P.O. BOX 399
PORT SALERNO, FLA.

NICHOLAS SMITH
133 SO. RIVER ROAD
SEWALL'S POINT

RIDGE ABOVE DECK 15'-0"

2"X8" RIDGE BEAM

W/5V CRIMP GALV ROOF ON 1"X6" STRIPPING 16"OC. 2"X6" RAFTERS

SEE DETAILS SH# 8

2"X6" COLLAR BEAMS

RECEIVED MAR 17 2000 BY: [Signature]

STAINLESS STEEL BOLTS & RING SHANK NAILS

TOP = 7.5'

DECK 4.5' VAR. 4'-5'

M.H.W. = 0.70 M.L.W. = 0.0

16'-0" & to & OF PILES

5'-0"

2'-0"

BOT VARIES 4'-9"

BOT -5.0'

MIN. PENETRATION = 8'-2"

BOAT SLIP SECT.

S. Amico PE

1/4" REVISED 3-15-00

SCALE 1/4"

DATE 2-08 1999

REVISIONS 12-08-99

SHEET 7 OF 8

Design & Engineering Consultants SAL J. AMICO, C.E., PE. Licensed Professional Engineer

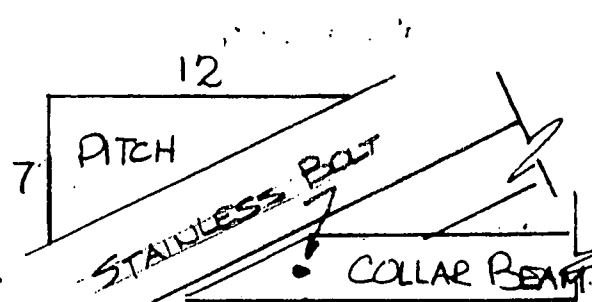
1163 East 14th Street Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION P.O. BOX 399 PORT SALERNO, FLA.

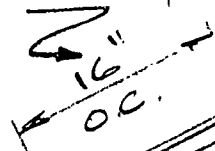
NICHOLAS SMITH 133 SO. RIVER ROAD SEWALLS POINT.

RIDGE HGT. = 15'-0"

W 5V CRIMP GALV. ROOFING
ON 1" X 6' STRIPPING 16" O.C.



RAFTER STRAP HUGHES
1" X 18" 12-8dnails
STAINLESS



2" X 6" 16" O.C.
 RECEIVED
 MAR 17 2000
 BY: [Signature]

3-2" X 8" HEADERS with
5/8" STAINLESS STEEL
BOLTS w/ WASHERS

± 10" MIN PILES 10' O.C.

16'-0"

± to ± OF PILES.

17'-0" ROOF

x 29 = 493 S.F.

ROOF DETAILS

S. J. Amico

3/4

REVISED 3-15-00

SCALE 3/4"

DATE 2-08-99

REVISIONS 12-08-99

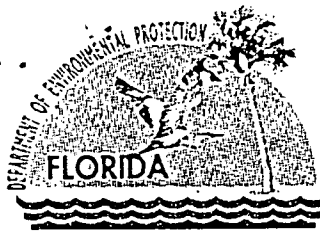
SHEET 3 OF 3

Design & Engineering Consultants
SAL J. AMICO, C.E., P.E.
Licensed Professional Engineer

1163 East 14th Street
Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
P.O. BOX 399
PORT SALERNO, FLA.

NICHOLAS SMITH
133 SO. RIVER ROAD
SEWALL'S POINT



Jeb Bush
Governor

Department of Environmental Protection

Port St. Lucie Branch Office
1801 SE Hillmoor Drive
Suite C-204
Port St. Lucie, FL 34952
(561)871-7662 (561)335-4310

David B. Struhs
Secretary

MARCH 18, 1999

Certified Mail # Z 248 668 179
Return Receipt Requested

Nicholas & Janet Smith
107 Bowsprit Drive
North Palm Beach, FL 33408

Re: File No.: 43-0151903-001
Martin County

Dear Mr. & Mrs. Smith:

On February 18, 1999, we received your notice of intent to use a Noticed General Permit (NGP) pursuant to Rule 62-341.427, Florida Administrative Code (F.A.C.) to perform the following activities: construct a 1,702 square foot private one slip dock with a 5' x 150' access pier, a 10' x 16' platform and a 44' x 18' boathouse and catwalk in the St. Lucie River (Class III waters of the state), located at 133 South River Road (Section 13, Township 38 South, Range 41 East) Stuart, Martin County.

Your intent to use a NGP has been reviewed to determine whether it qualifies for any of three kinds of authorization that may be necessary for works in wetlands or waters of the United States. The kinds of authorization are (1) regulatory authorization, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal authorization. The authority for review and the outcomes of the reviews are listed below. Please read each section carefully. Your project may not have qualified for all three forms of authorization. If your project did not qualify for one or more of the authorizations, refer to the specific section dealing with that authorization for advice on how to obtain it.

Regulatory Review

The Department has the authority to review your project under Part IV of Chapter 373, Florida Statutes (F.S.), Title 62, F.A.C., and in accordance to operating agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F.A.C. **Based on the information you submitted, we have determined that the project meets the requirements for and is hereby granted the noticed general permit listed above (Rule 62-341.427, F.A.C.).**

Activities performed under the NGP are subject to the general conditions required in Rule 62-341.215, F.A.C. (attached), and to the specific conditions of the permit for which notice was given (62-341.427 F.A.C.) (attached). Deviations from the general and specific conditions may subject the permittee to enforcement action and penalties. A stamped plan view and vicinity map for the project are attached.

Please be advised that the construction phase of the NGP must be completed within 5 years from the date the notice to use the NGP was received by the Department. If you wish to continue this noticed general permit beyond the expiration date, you must notify the Department at least 30 days before its expiration.

Proprietary Review (related to state-owned lands)

The Department acts as staff to the Board of Trustees of the Internal Improvement Trust Fund (Board of Trustees) and issues certain authorizations for the use of sovereign submerged lands. The Department has the authority to review your project under Chapters 253 and 258, F.S., Chapters 18-20 and 18-21, F.A.C., and Section 62-343.075, F.A.C.

Your project may occur on sovereign submerged land and may require authorization from the Board of Trustees to use public property. As staff to the Board of Trustees, we have reviewed the proposed project and have determined that, as long as it is located within the described boundaries and is consistent with the attached general consent conditions, the project qualifies for consent to use sovereign submerged lands. Therefore, pursuant to Chapter 253.77, Florida Statutes, you may consider this letter as authorization from the Board of Trustees for the upland riparian owner to perform the project.

Federal Review (State Programmatic General Permit)

Federal authorization for the proposed project is reviewed by DEP pursuant to an agreement between the Department and the U.S. Army Corps of Engineers (the Corps). The agreement is outlined in a document titled *Coordination Agreement Between the U.S. Army Corps of Engineers and the Florida Department of Environmental Protection State Programmatic General Permit, Section 10 of the Rivers and Harbor Act of 1899 and Section 404 of the Clean Water Act.*

Your project has been reviewed for compliance with a State Programmatic General Permit (SPGP). Your proposed activity as outlined on the attached drawings is in compliance with the SPGP program. U.S. Army Corps of Engineers (Corps) General conditions apply to your project, as attached. No further permitting for this activity is required by the Corps. The authority granted under this SPGP expires December 17, 2003. Your project must be completed prior to this expiration date.

If you change the project from what you submitted, the authorizations granted may no longer be valid at the time of commencement of the project. Please contact us prior to beginning your project if you wish to make any changes.

NOTICE OF RIGHTS OF SUBSTANTIALLY AFFECTED PERSONS

Be advised that your neighbors and other parties who may be substantially affected by the proposed activity allowed under this determination of exemption have a right to request an administrative hearing on the Department's decision that the proposed activity qualifies for this exemption. If an administrative hearing is timely requested by a substantially affected person, the finding that the proposed activity qualifies for this exemption must be reconsidered, and it is possible that the hearing could result in a determination that the proposed activity does not qualify for the exemption. Under Rule 28-106.111, F.A.C., a request for such an administrative hearing must be filed with the Department's Clerk in the Office of General Counsel within 21 days of either: (a) publication of notice in a newspaper of general circulation in the county where the activity is to take place; or (b) the substantially affected person's receipt of written notice which includes the information contained in Attachment (A).

The Department will not publish notice of this determination. *Publication of this notice by you is optional and not required for you to proceed.* However, in the event that an administrative hearing is held and the Department's determination is reversed, proceeding with the proposed activity before the time period for requesting an administrative hearing has expired would mean that the activity was conducted without the required permits.

If you wish to limit the time within which *all* substantially affected persons may request an administrative hearing you may elect to publish, at your own expense, the enclosed notice (Attachment A) one time only in the legal advertisement section of a newspaper of general circulation in the county where the activity is to take place.

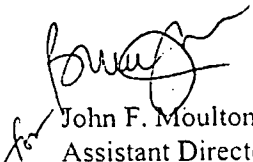
If you wish to limit the time within which any *specific* person(s) may request an administrative hearing, you may provide such person(s), by certified mail, a copy of this determination, including Attachment A.

For the purposes of publication, a newspaper of general circulation means a newspaper meeting the requirements of Sections 50.011 and 50.031, F.S. In the event you do publish this notice, within seven days of publication, you must provide to the following address a certification or affidavit of publication issued by the newspaper. If you provide direct written notice to any person as noted above, you must provide to the following address a copy of the direct written notice.

Florida Department of Environmental Protection
Southeast District - Port St. Lucie Branch Office
Submerged Lands & Environmental Resources Program
1801 SE Hillmoor Drive Suite C-204, Port St. Lucie, FL 34952

If you revise your project after submitting the initial joint application, please contact us as soon as possible. Also, if you have any questions, please contact **Bruce Jerner** of this office, at telephone (561) 871-7662. When referring to this project, please use the FDEP file name number listed above.

Sincerely,



John F. Moulton, III
Assistant Director of District Management

JFM/BJ/lmw

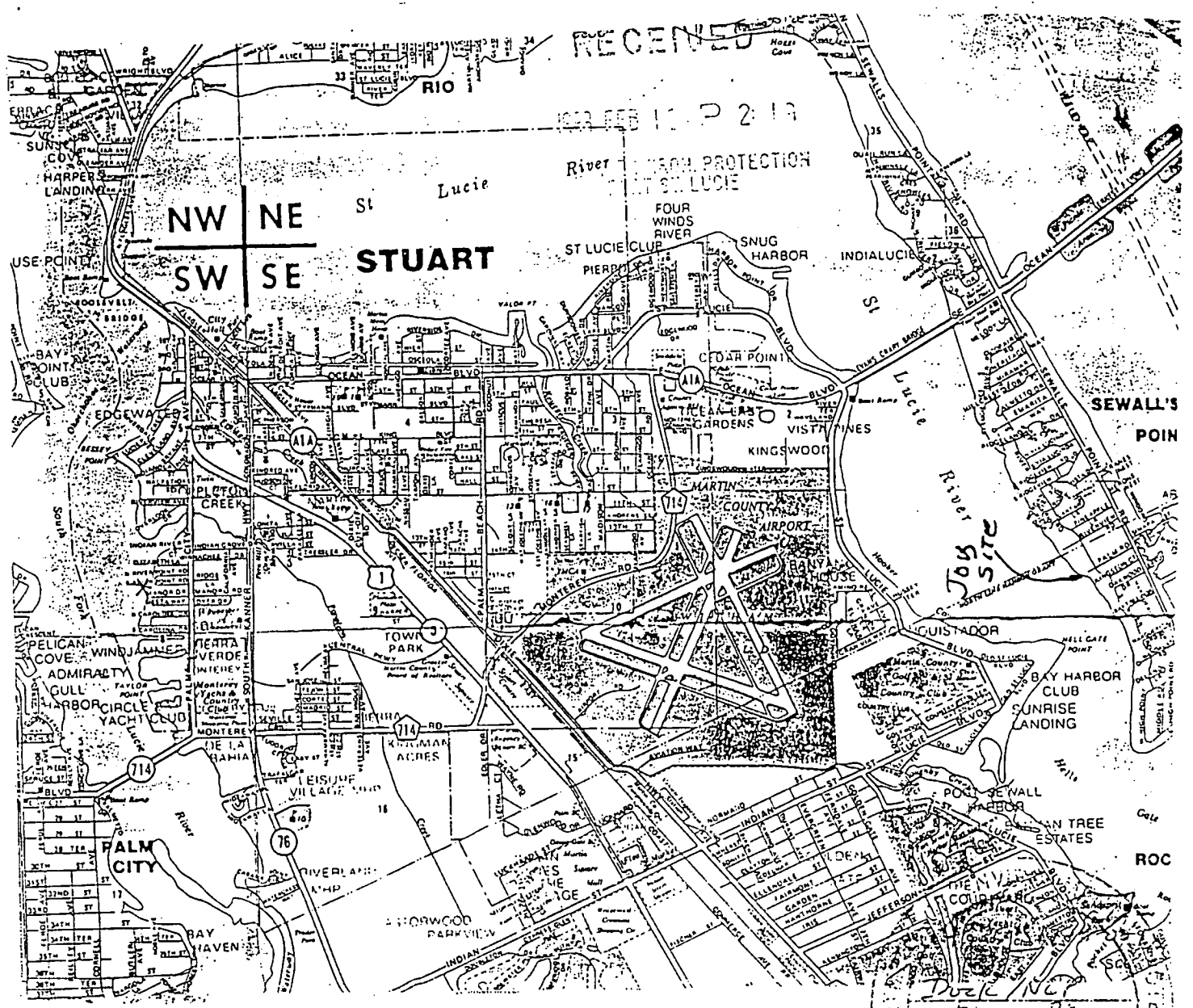
BA

Enclosures: NGP General Conditions, 62-341.215, F.A.C.
NGP Specific Conditions, 62-341.427, F.A.C.
General Consent Conditions
Federal General Conditions
Federal Manatee Conditions
Federal Permit Transfer Request
Attachment A- Newspaper Publication Notice
Attachment D- General Single-Family Dock Information
Project Drawings

cc: U.S. Army Corps of Engineers, Stuart (without enclosures)
Dredge & Marine Construction, (Agent) [without enclosures]

RECEIVED

FEB 10 P 2:13



LOCATION MAP

150' X 5' DOCK TO X16 TERMINAL.

S. J. Amico P.E.

SCALE _____

DATE 2 08 1999

REVISIONS _____

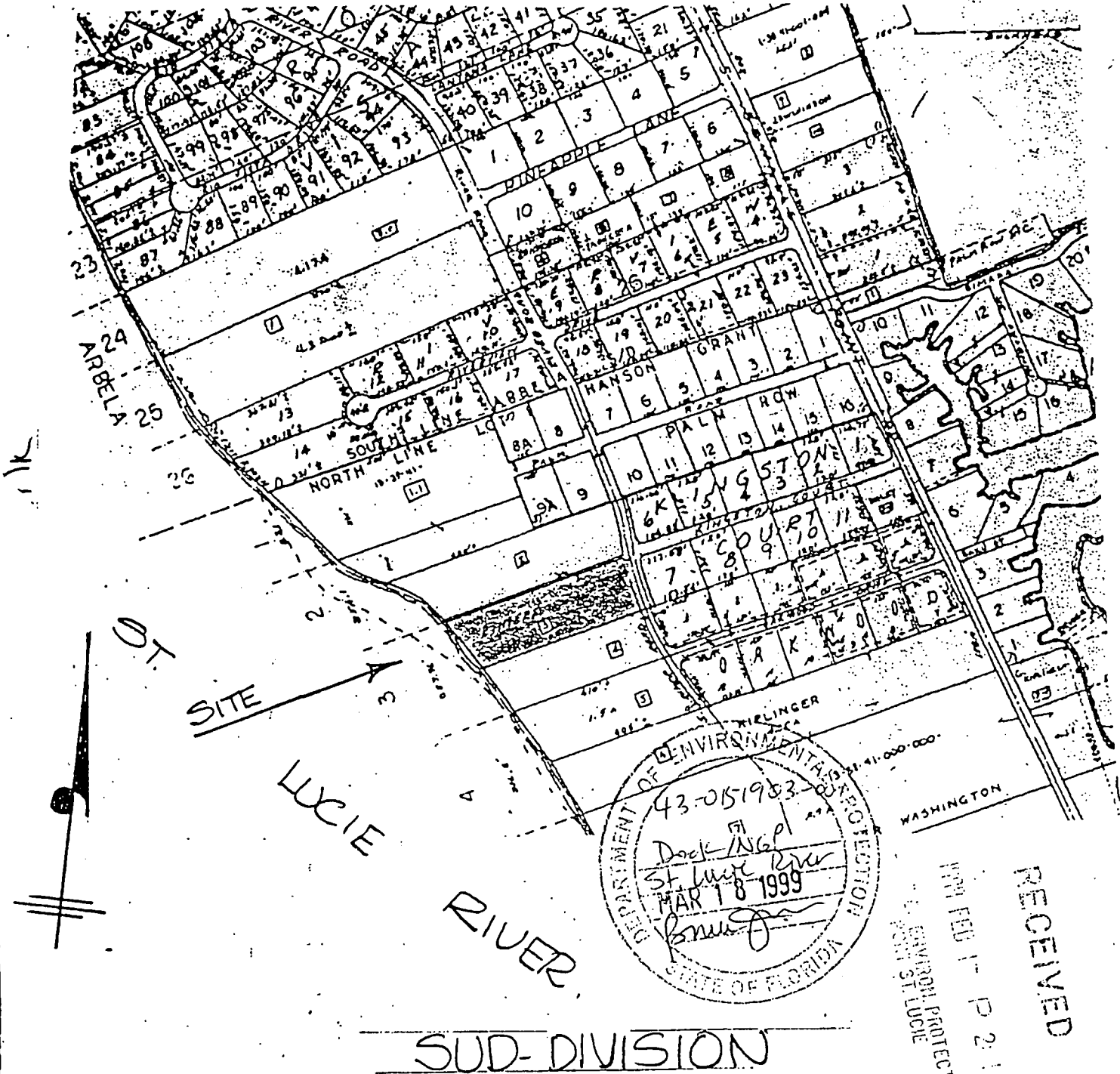
SHEET 1 OF 8

Design & Engineering Consultant
SAL J. AMICO, C.E., P.E.
Licensed Professional Engineer

1163 East 14th Street
 Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
 P.O. BOX 399
 PORT SALERNO, FLA.

NICHOLAS SMITH
 133 So. RIVER ROAD
 SEWALL'S POINT



SUD-DIVISION

S. J. Amico P.E.

SCALE _____	DATE <u>2-08-1999</u>	REVISIONS _____	SHEET <u>2</u> OF <u>8</u>
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Design & Engineering Consultants
SAL J. AMICO, C.E., P.E.
Licensed Professional Engineer

1163 East 14th Street
 Stuart, Florida 34994

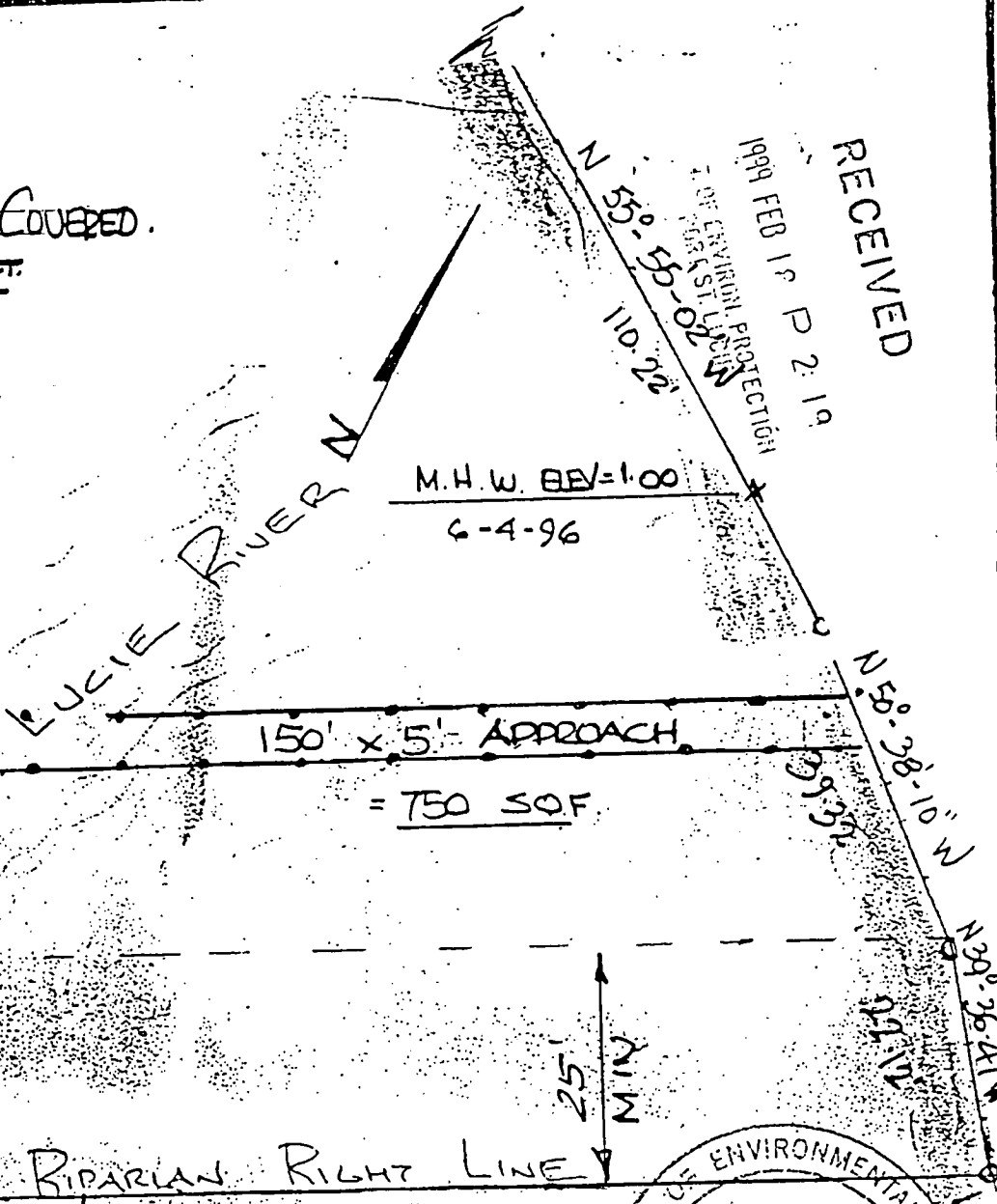
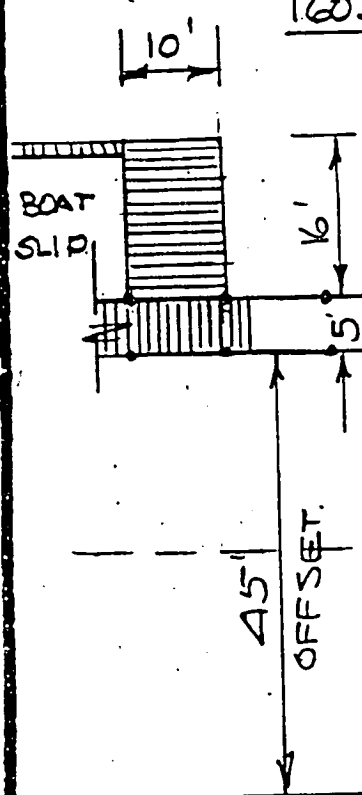
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 P.O. BOX 399
 PORT SALERNO, FLA.

NICHOLAS SMITH
 133 So. RIVER ROAD
 SEWALLS POINT.

RECEIVED
 ENVIRONMENTAL PROTECTION
 ST. LUCIE
 FEB 17 1999

BOAT SLIP 18' x 44' COVERED.
792 SQ. FT.

TERMINAL PLATFORM
160 SQ. FT.

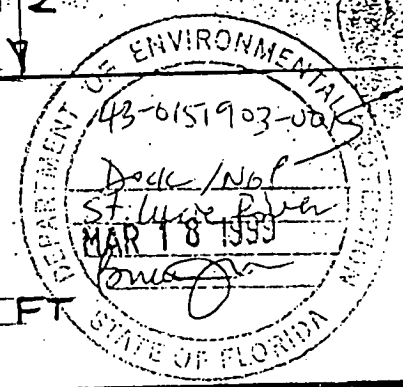


RIPARIAN RIGHT LINE
N 61° 45' 00" E.

PLAN VIEW

TOTAL = 1702 SQ FT

S. J. Amico PE



SCALE 1" = 30'

DATE 2-08 1999

REVISIONS _____

SHEET 3 OF 8

Design & Engineering Consultants
SAL J. AMICO, C.E., P.E.
Licensed Professional Engineer

1163 East 14th Street
Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
P.O. BOX 399
PORT SALERNO, FLA.

NICHOLAS SMITH
133 SO RIVER ROAD
SEWALLS POINT.

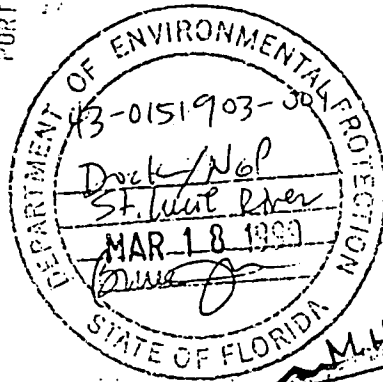
RECEIVED

1999 FEB 18 P 2 19

RECEIVED

1999 FEB 25 P 2:11

PT. OF ENVIRON. PROTECTION
PORT ST. LUCIE



S. J. Amico PE

PLAN VIEW

Scale 1" = 30'

REVISED

SCALE 1" = 30'

DATE 2-08 1999

REVISIONS 2-22-98

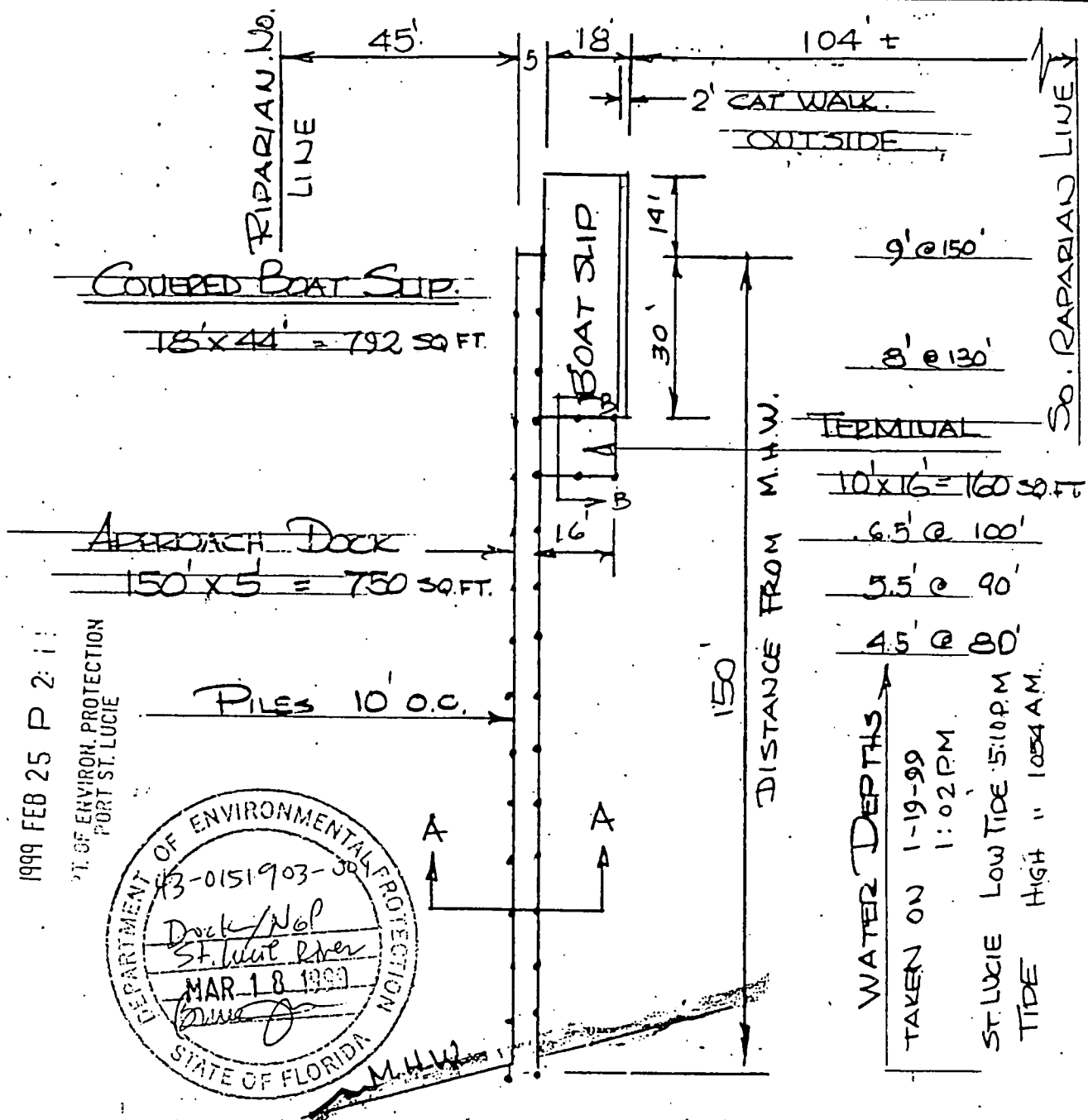
SHEET 4 OF 8

Design & Engineering Consultants
SAL J. AMICO, C.E., P.E.
Licensed Professional Engineer

1163 East 14th Street
Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
P.O. BOX 399
PORT SALERNO, FLA.

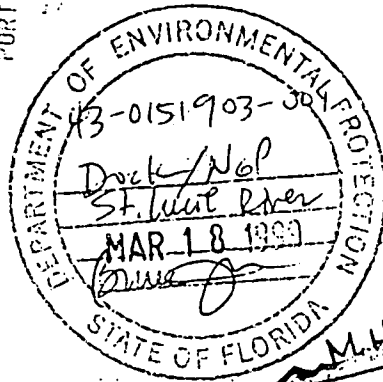
NICHOLAS SMITH
133 SO. RIVER ROAD
SEWALL'S POINT.



RECEIVED

1999 FEB 25 P 2:11

PT. OF ENVIRON. PROTECTION
PORT ST. LUCIE



S. J. Amico PE

PLAN VIEW

Scale 1" = 30'

REVISED

SCALE 1" = 30'

DATE 2-08 1999

REVISIONS 2-22-98

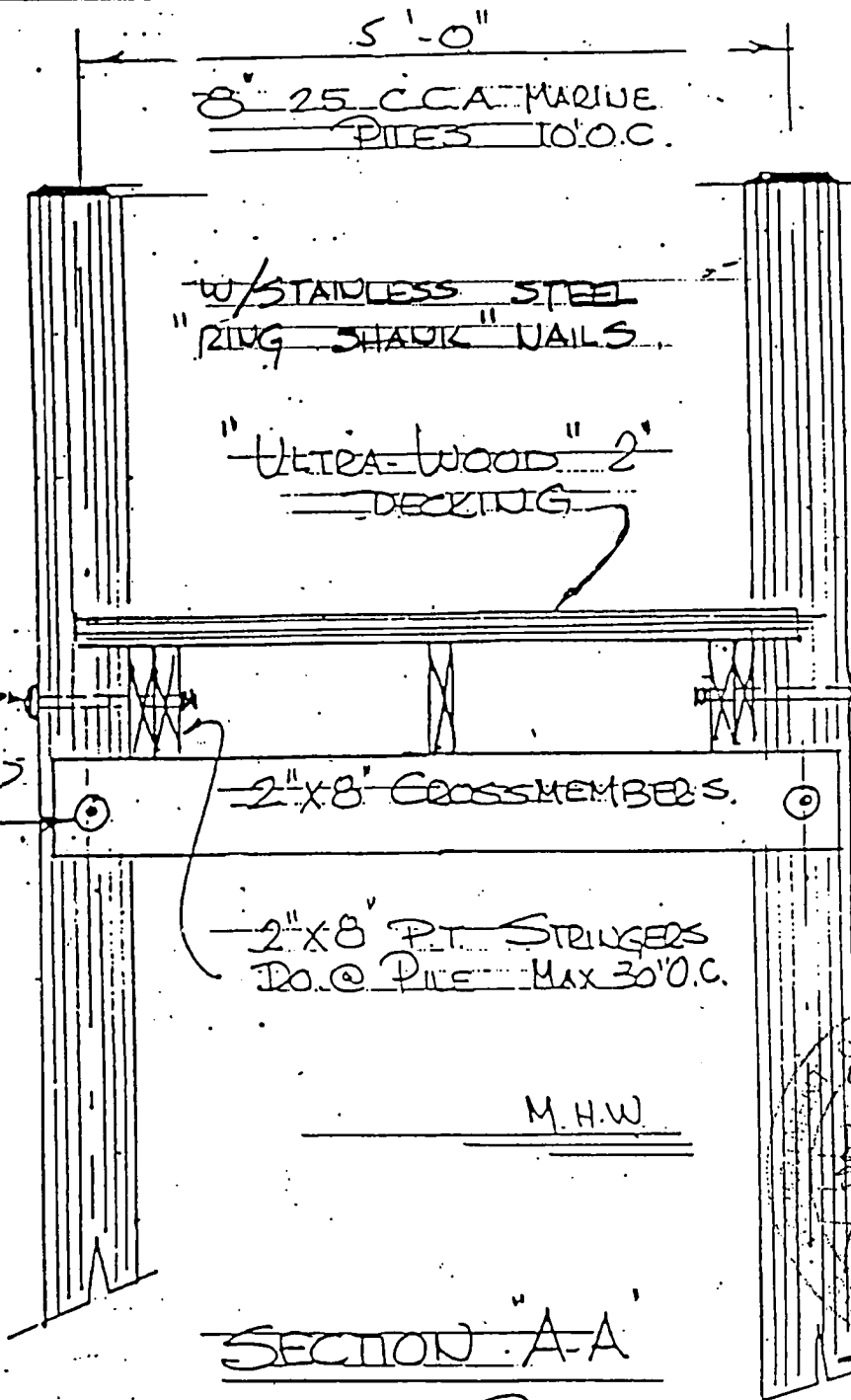
SHEET 4 OF 8

Design & Engineering Consultants
SAL J. AMICO, C.E., P.E.
Licensed Professional Engineer

1163 East 14th Street
Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
P.O. BOX 399
PORT SALERNO, FLA.

NICHOLAS SMITH
133 SO. RIVER ROAD
SEWALL'S POINT.



RECEIVED
 "0-3"
 1999 FEB 15 P. 2:10
 ENVIRONMENTAL PROTECTION
 DEPT. OF ENVIRONMENTAL PROTECTION
 ST. LUCIE
 3.5'
 ABOVE M.H.W.
 ENVIRONMENTAL PROTECTION
 3-0151903-02
 Port Salerno
 MAR 18 1999
 FLORIDA

SECTION "A-A"

6' MIN PENETRATION IN SOLID BOTTOM

S. Amico P.E.

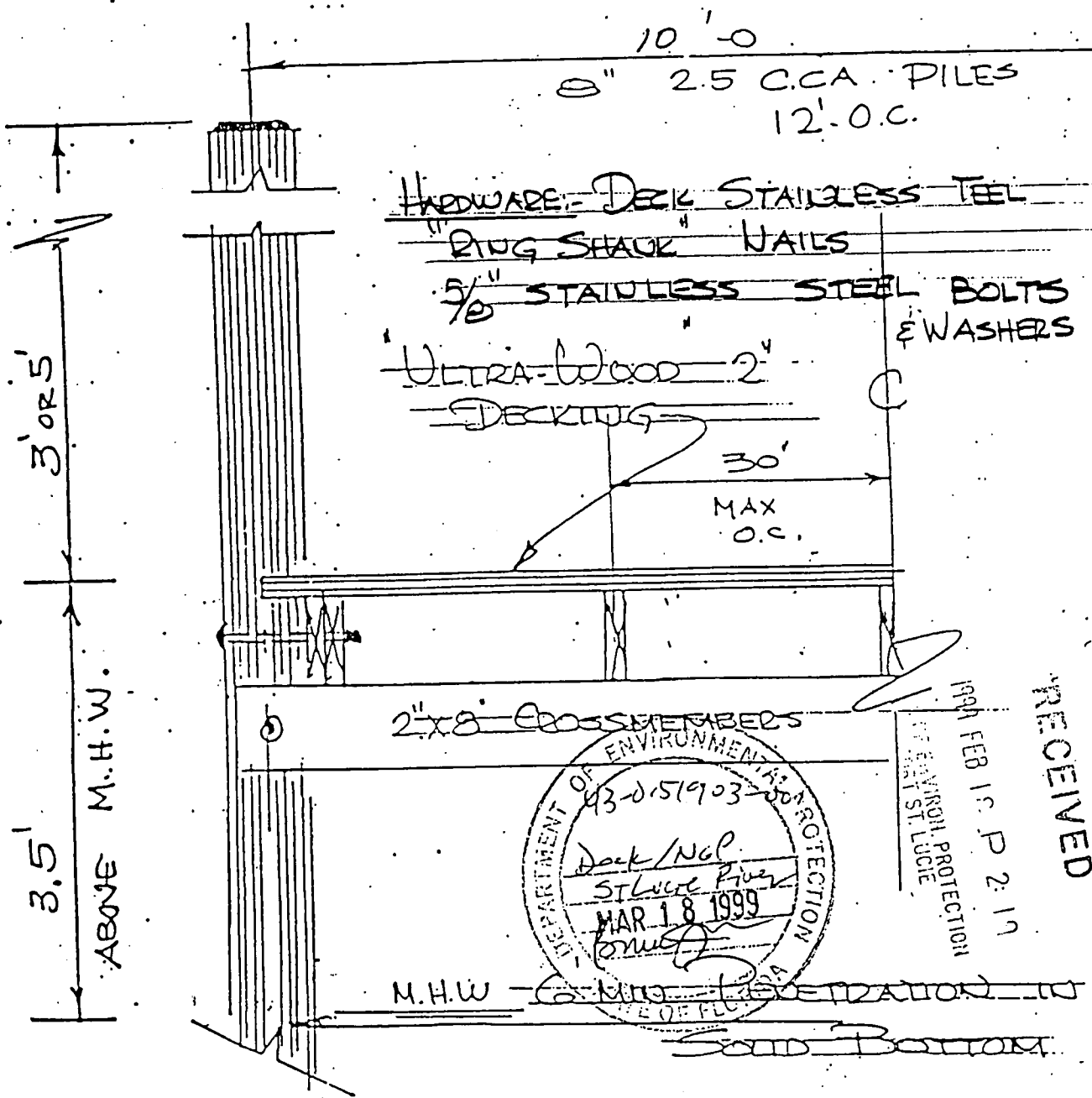
SCALE <u>3/4"</u>	DATE <u>2-08</u> 1999	REVISIONS _____	SHEET <u>5</u> OF <u>10</u>
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Design & Engineering Consultants
SAL J. AMICO, C.E., P.E.
 Licensed Professional Engineer
 1163 East 14th Street
 Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
 P.O. BOX 399
 PORT SALERNO, FLA.

NICHOLAS SMITH
 133 SO RIVER ROAD
 SEWALL'S POINT

FERMIOLATS
SECTION "B-B"



S. J. Amico P.E.

SCALE _____	DATE <u>2-08</u> 1999	REVISIONS _____	SHEET <u>6</u> OF <u>8</u>
-------------	-----------------------	-----------------	----------------------------

Design & Engineering Consultants
SAL J. AMICO, C.E., P.E.
 Licensed Professional Engineer
 1163 East 14th Street
 Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
 P.O. BOX 399
 PORT SALERNO, FLA.

NICHOLAS SMITH
 133 SO RIVER ROAD
 SEWALL'S POINT

2"X8" RIDGE BEAM

W/5V CRIMP GALV ROOF
ON 1"X6" STRIPPIES
16" O.C.
2"X2" BATTERS

RECEIVED
1999 FEB 20
ENVIRONMENTAL PROTECTION

SEE
DETAILS
SH# 8

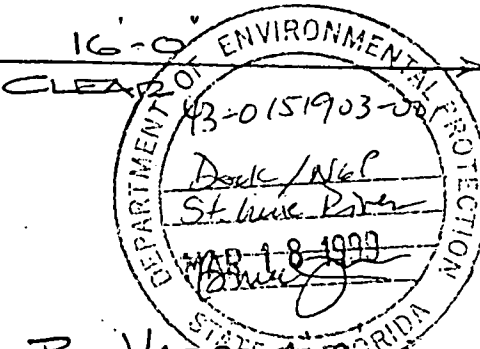
2"X6" COLLAR
BEAMS

T.O.P. 12'-6"
VAR 10'-15"

T.O.P. = 7.5'

DECK 4.5'
VAR. 4'-5'

M.H.W. = 0.70
M.L.W. = 0.0



16'-0" CLEARANCE
BOT VARIES 4'-9"

MIN. PENETRATION = 8'-2"
BOAT SLIP SECT.

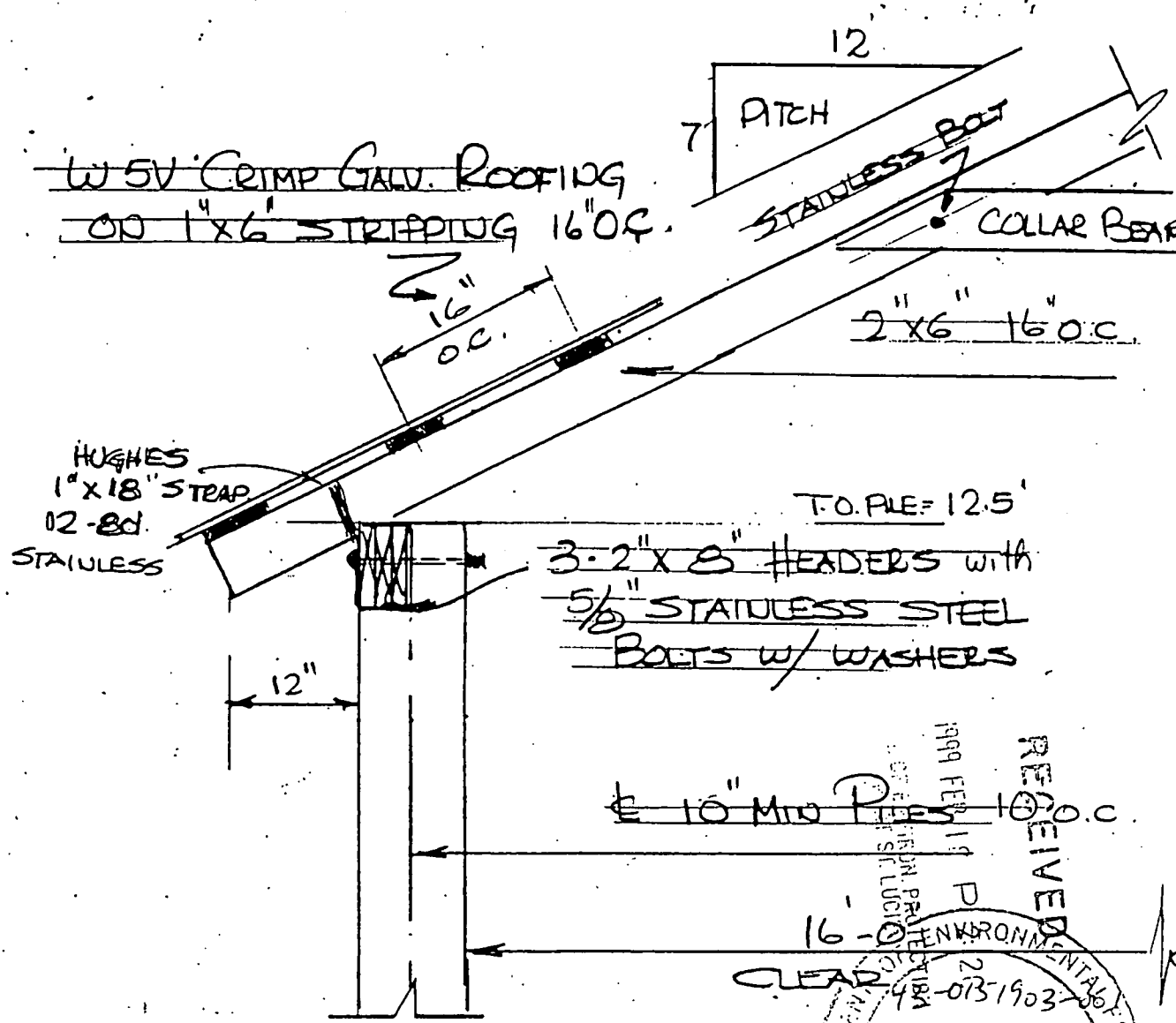
S. Amico P.E. 1/4"

SCALE 1/4" DATE 2-08 1999 REVISIONS SHEET 7 OF 8

Design & Engineering Consultants
SAL J. AMICO, C.E., P.E.
Licensed Professional Engineer
1163 East 14th Street
Stuart, Florida 34994

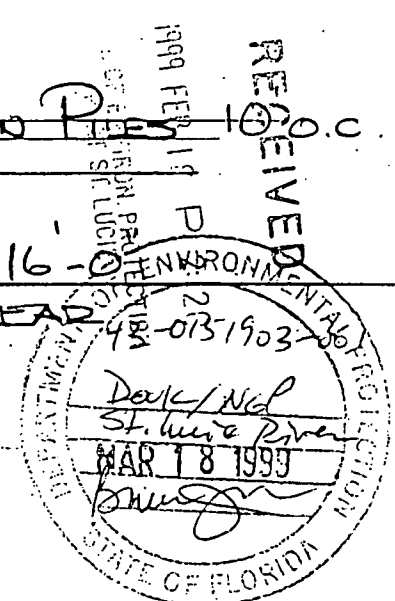
DREDGE & MARINE CONSTRUCTION
P.O. BOX 399
PORT SALERNO, FLA.

NICHOLAS SMITH
133 SO. RIVER ROAD
SEWALL'S POINT.



ROOF DETAILS
3/4"

S. J. Amico

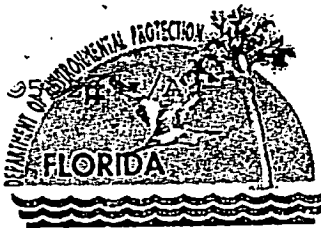


SCALE <u>3/4"</u>	DATE <u>2-08</u> 1999	REVISIONS _____	SHEET <u>8</u> OF <u>8</u>
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Design & Engineering Consultants
SAL J. AMICO, C.E., P.E.
Licensed Professional Engineer
 1163 East 14th Street
 Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
 P.O. BOX 399
 PORT SALERNO, FLA.

NICHOLAS SMITH
 133 SO. RIVER ROAD
 SEWALL'S POINT



Jeb Bush
Governor

Department of Environmental Protection

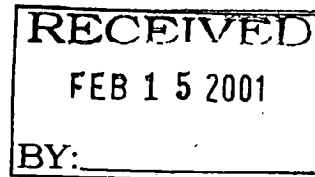
Port St. Lucie Branch Office
1801 SE Hillmoor Drive, Suite C-204
Port St. Lucie, FL 34952
(561)398-2806

David B. Struhs
Secretary

JAN 11 2001

Nicholas and Janet Smith
107 Bowsprit Drive
North Palm Beach, FL 33408

Re: File No.: 43-0151903-001



Dear Mr. and Mrs. Smith:

This office has completed the review of your request to modify the referenced file number 43-0151903-001. The project description is hereby modified to read as follows:

To construct a 1,475 square foot single family dock with a 150' X 5' access pier, a 19' X 8' terminal platform with a 40' X 2' finger pier and a 29' X 17' boat shelter and boatlift. The terminal platform, boat shelter and lift will be located on the north side of the dock and setback 26' from the south riparian line. This project is in the St. Lucie River (Class III waters of the state), located at 133 South River Road (Section 13, Township 38 South, Range 41 East), Stuart, Martin County.

Your modified project still meets the requirements for and the modification is hereby granted for the noticed general permit Rule 62-341.427, Florida Administrative Code.

The proposed modification is not expected to result in any additional or significant water quality/biological resource degradation. All conditions attached to your original authorization apply to your project. By copy of this letter and the attached drawing, we are notifying all necessary parties of the modifications.

This letter does not relieve you from the responsibility of obtaining local permits which may be required for the project. If you have any questions concerning this letter, please contact Danna Civetti at (561)398-2806.

Sincerely,

Danna Civetti
for Gary N. Roderick
Environmental Administrator

GNR/DQ

Enclosure: Revised plan view drawing dated 12/13/00

cc: U.S. Army Corps of Engineers, Stuart
Dredge and Marine Construction, Inc. (Agent)

"More Protection, Less Process"

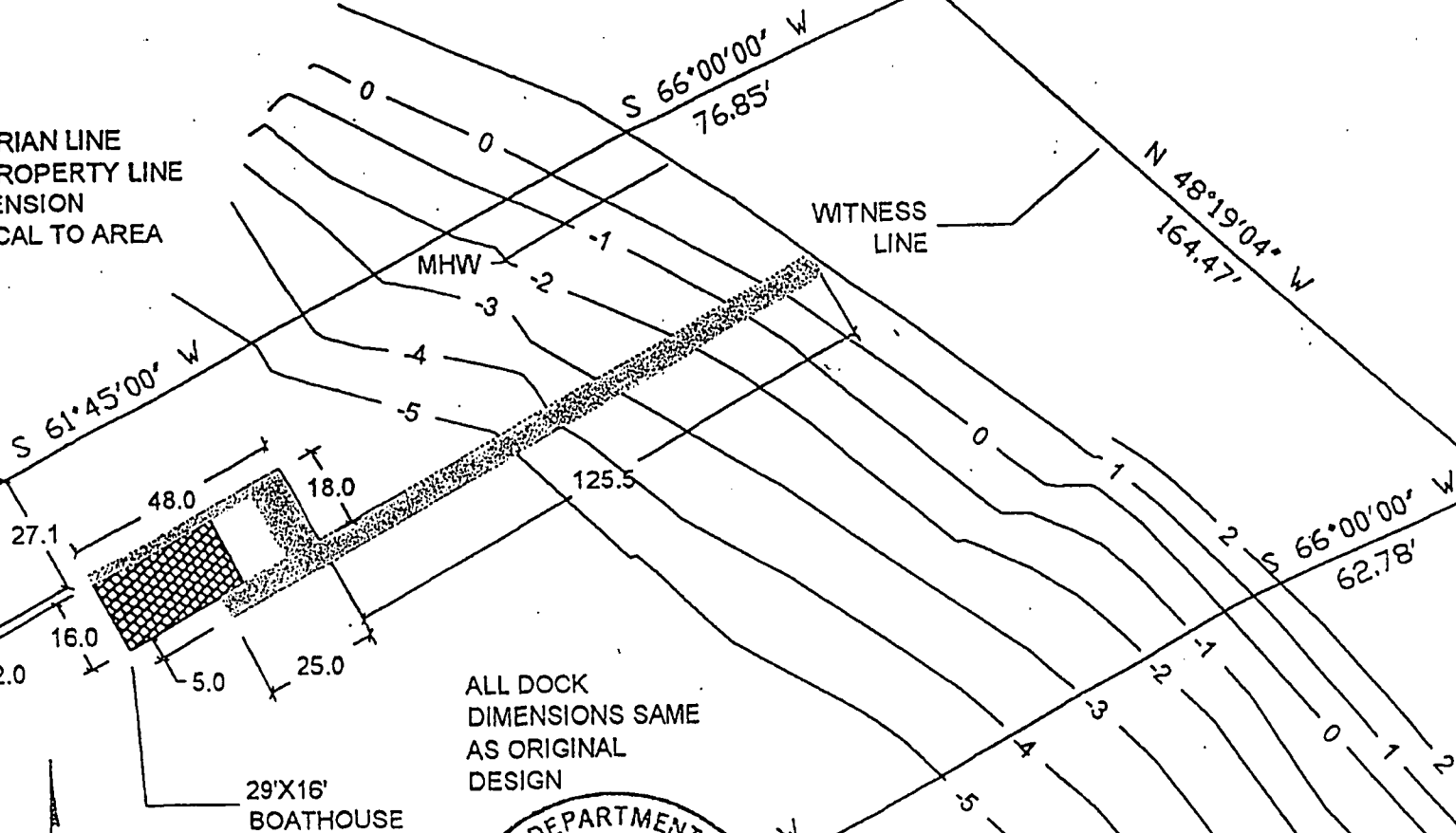
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REVISED

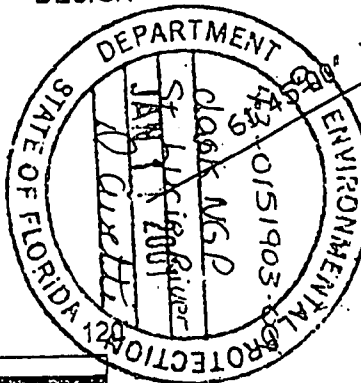
RIPARIAN LINE
BY PROPERTY LINE
EXTENSION
TYPICAL TO AREA

WITNESS
LINE

MHW



ALL DOCK
DIMENSIONS SAME
AS ORIGINAL
DESIGN



REVISIONS

SHEET 3 OF 3

BABER ENGINEERING

AND TECHNICAL SERVICES

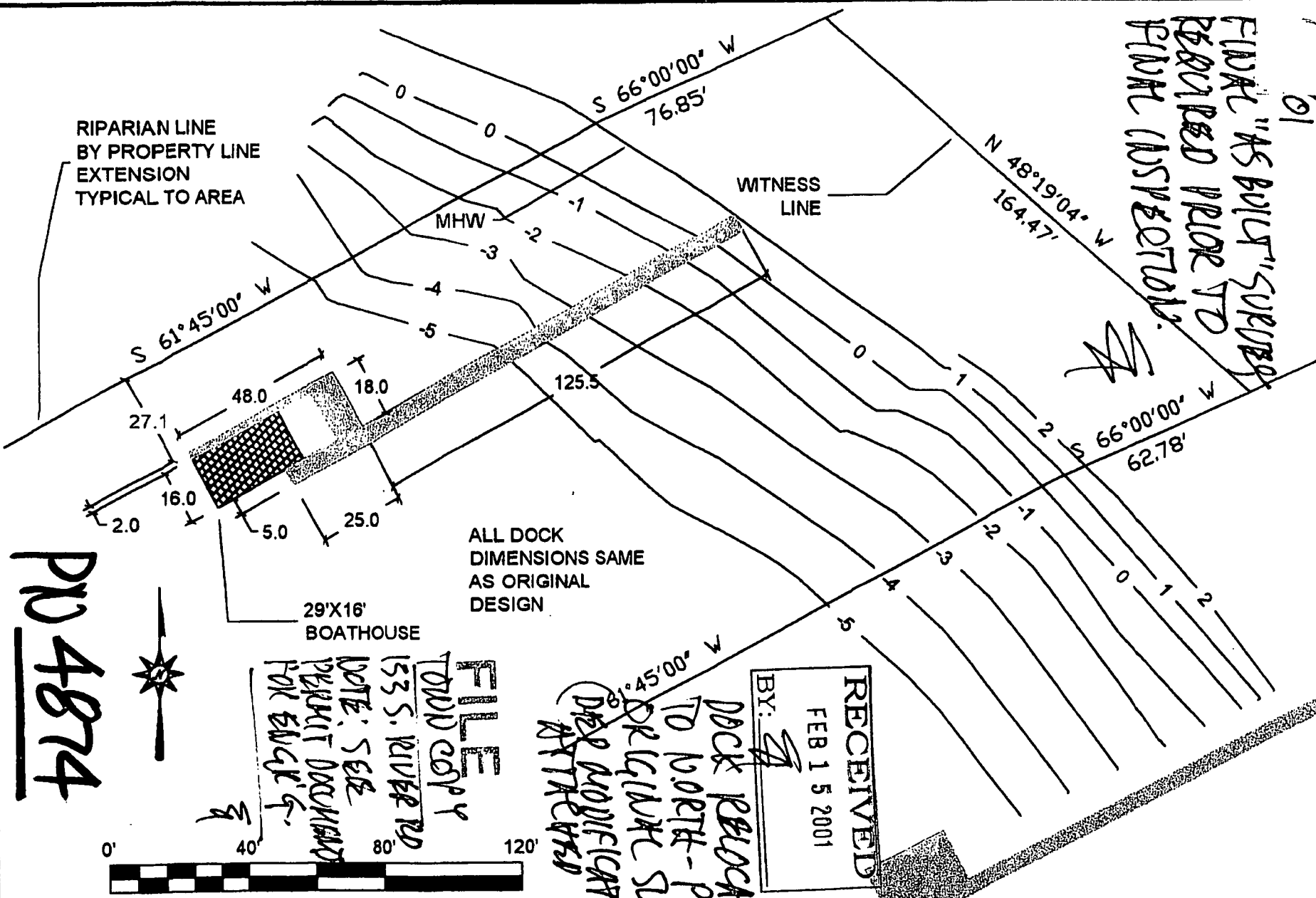
1014 NW PINELAKE DR
STUART, FL 34994
(561) 692-4910

Nick Smith
12/13/00

DOCK LOCATION
FOR DREDGE AND MARINE

NICK SMITH
133 S. RIVER RD
SEWALL'S POINT

01
FINISH "AS BUILT" SURVEY
RECORDED PRIOR TO
FINISH INSPECTION.



RIPARIAN LINE
BY PROPERTY LINE
EXTENSION
TYPICAL TO AREA

WITNESS
LINE

MHW

ALL DOCK
DIMENSIONS SAME
AS ORIGINAL
DESIGN

29'X16'
BOATHOUSE

PD 4874



FILE
TODD COPY
133 S. RIVER RD
NOTE: SEE
PERMIT DOCUMENT
FOR ENCL'G

DECK RELOCATION
TO NORTH-PEER
DRILLING SUBMIT
DEP MODIFICATION
ATTACHED

RECEIVED
FEB 15 2001
BY: [Signature]

BABER ENGINEERING

AND TECHNICAL SERVICES

1014 NW PINELAKE DR
STUART, FL 34994
(561) 892-4910

Sign in Baber
12/13/02

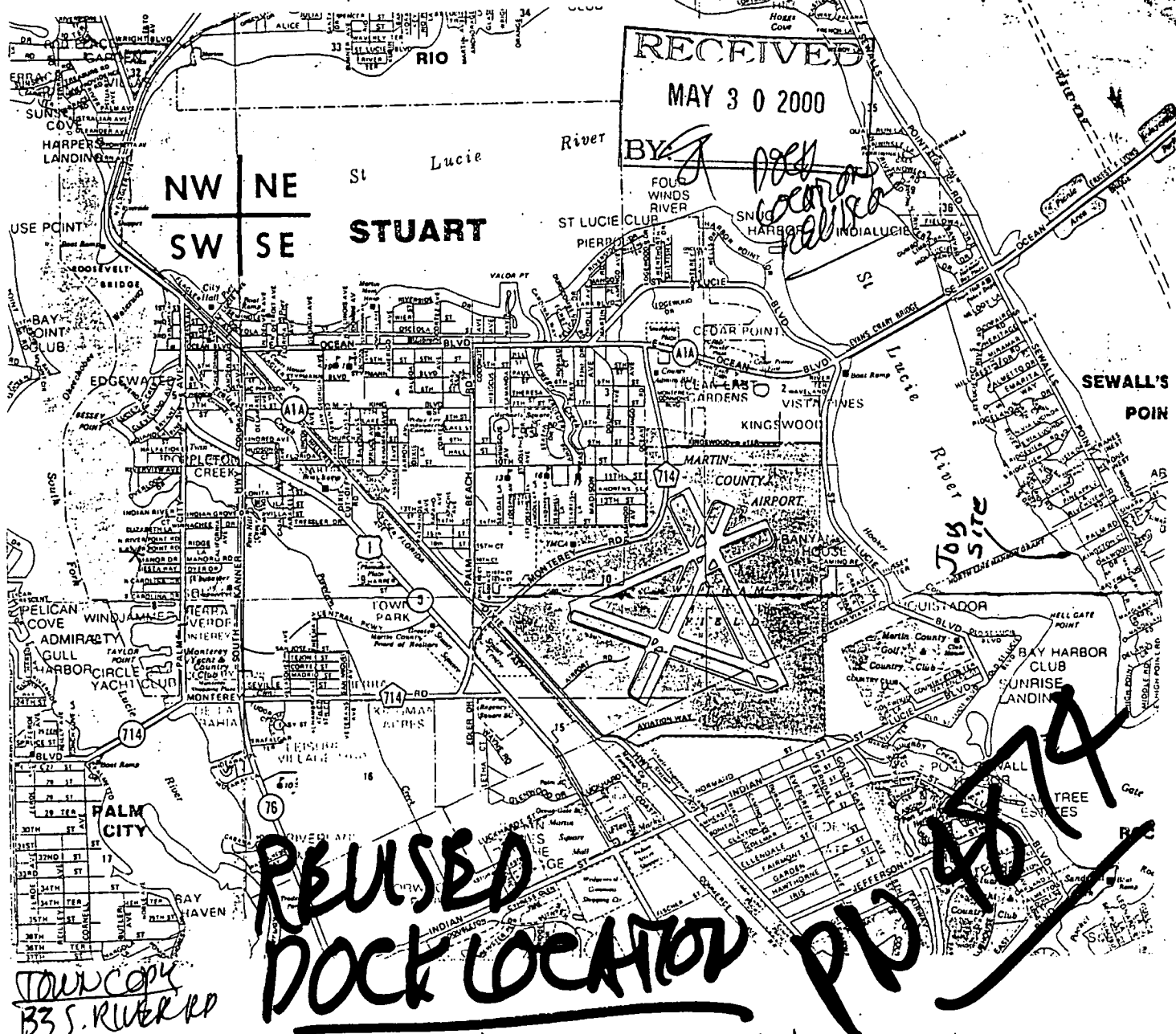
DOCK LOCATION
FOR DREDGE AND MARINE

NICK SMITH
133 S. RIVER RD
SEWALL'S POINT

REVISIONS

RECEIVED
MAY 30 2000

BY: *[Signature]*



REUSED DOCK LOCATION

LOCATION MAP

BOAT SLIP &
150' X 5 DOCK 8' X 19' TERMINAL

TOWN COPY
B3 S. RIVER RD

[Signature]
SAL AMICO PE

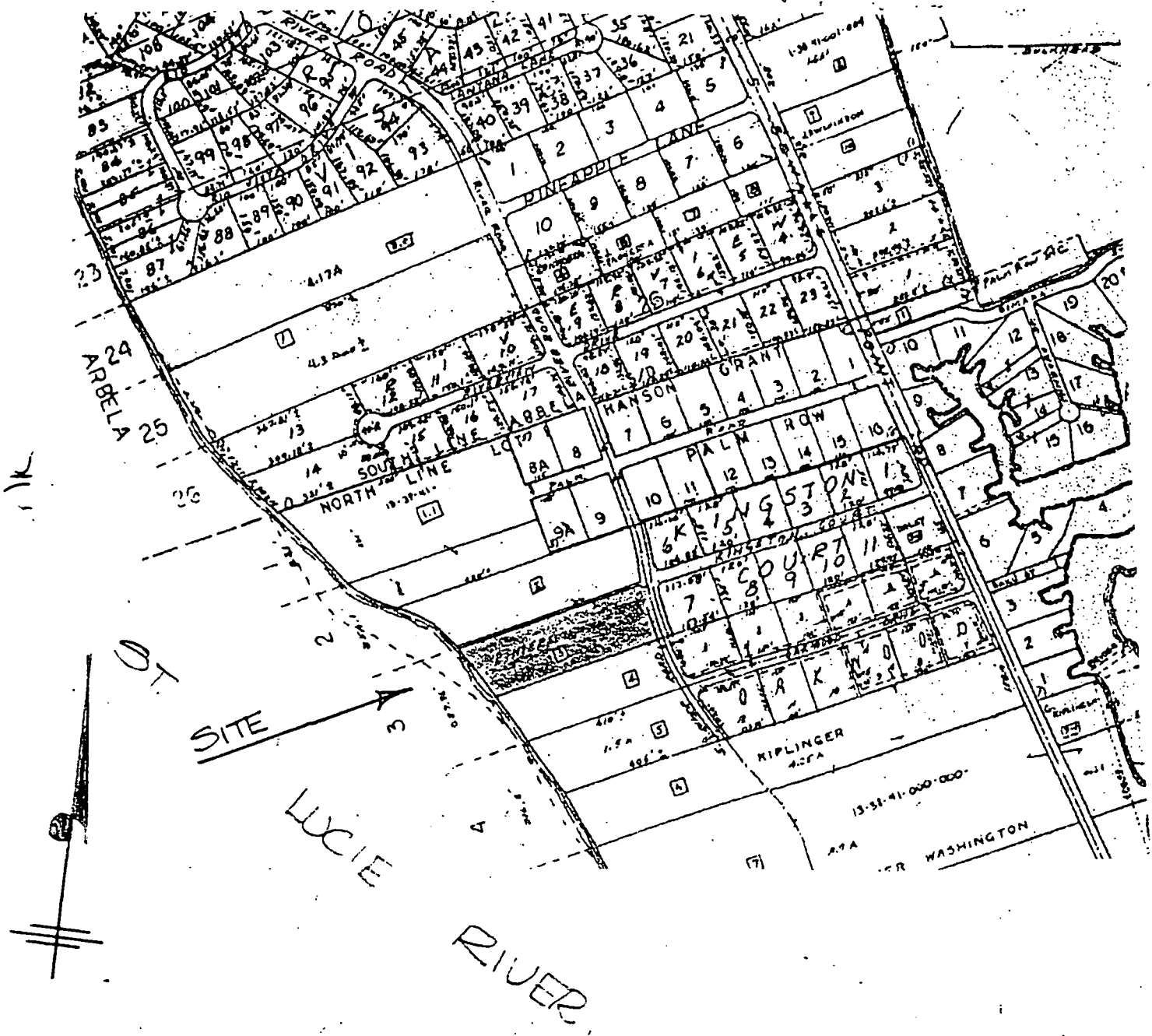
SCALE <u>1" = 100'</u>	DATE <u>2 08 1999</u>	REVISIONS <u>7-14-00</u>	SHEET <u>1</u> OF <u>8</u>
------------------------	-----------------------	--------------------------	----------------------------

Design & Engineering Consultants
SAL J. AMICO, C.E., P.E.
Licensed Professional Engineer

1163 East 14th Street
Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
P.O. BOX 399
PORT SALERNO, FLA.

NICHOLAS. SMITH
133 SO. RIVER ROAD
SEWALL'S POINT



SUD-DIVISION

S. J. Amico PE

SCALE 1" = 100' DATE 2-03-1999 REVISIONS _____ SHEET 2 OF 8

Design & Engineering Consultants
SAL J. AMICO, C.E., P.E.
Licensed Professional Engineer

1163 East 14th Street
 Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
 P.O. BOX 399
 PORT SALERNO, FLA.

NICHOLAS SMITH
 133 So. RIVER ROAD
 SEWALLS POINT,

NORTH RIPARIAN LINE

ST. LUCIE RIVER

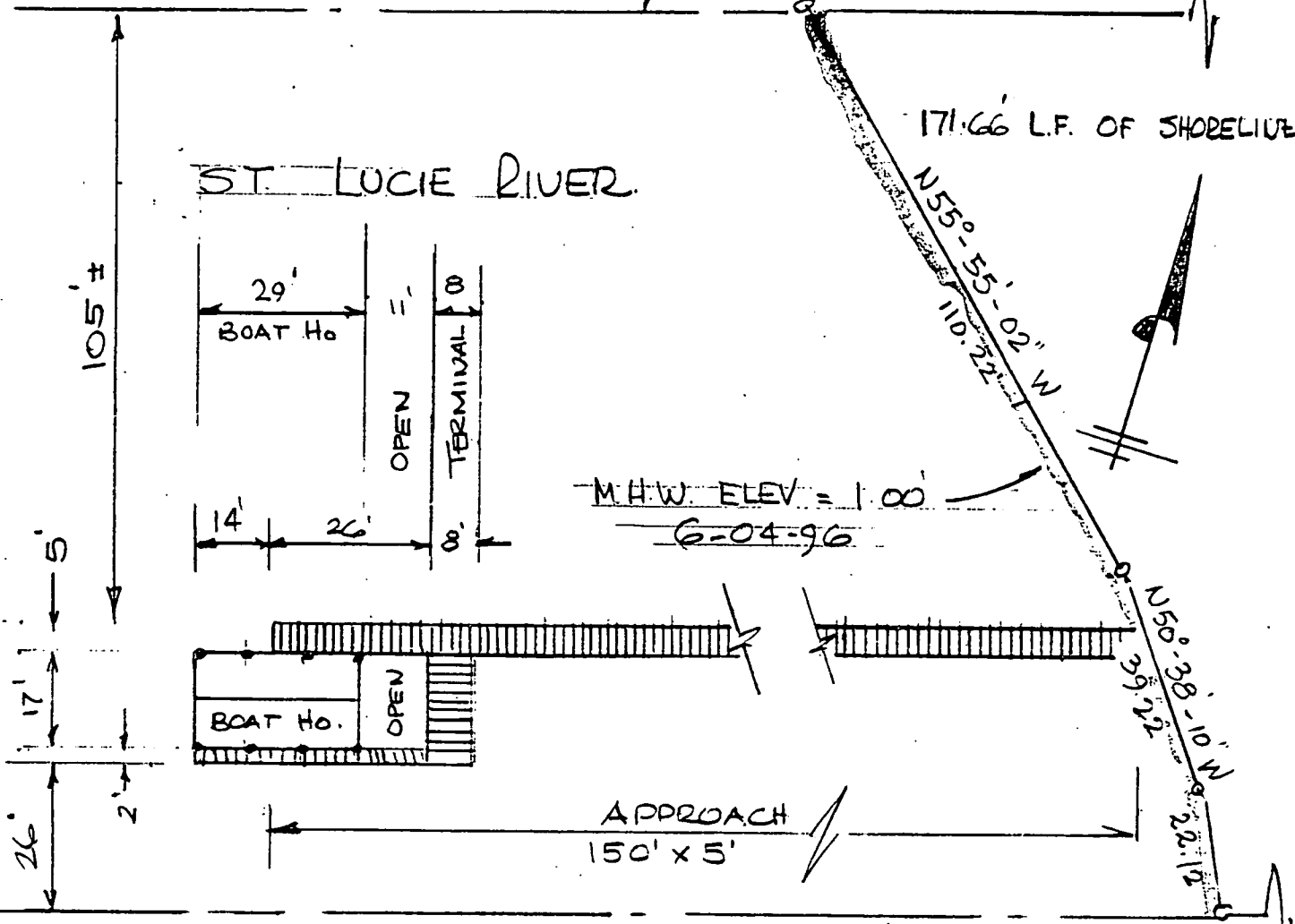
171.66 L.F. OF SHORELIVE

N55°-55'-02" W
110.22'

N50°-38'-10" W
39.72'

22.12'

M.H.W. ELEV. = 1.00
6-04-96



SOUTH RIPARIAN LINE

PLAN VIEW

1" = 30'

S. Amico C.E.P.E.

APPROACH = 150' x 5' =	750 SF
TERMINAL = 19' x 8' =	152 SF
BOAT HO = 29' x 17' =	493 SF
CAT-WALK = 40' x 2' =	80 SF
TOTAL	1475 SF

SCALE 1" = 30'

DATE 2-08-1999

REVISIONS 4-17-00

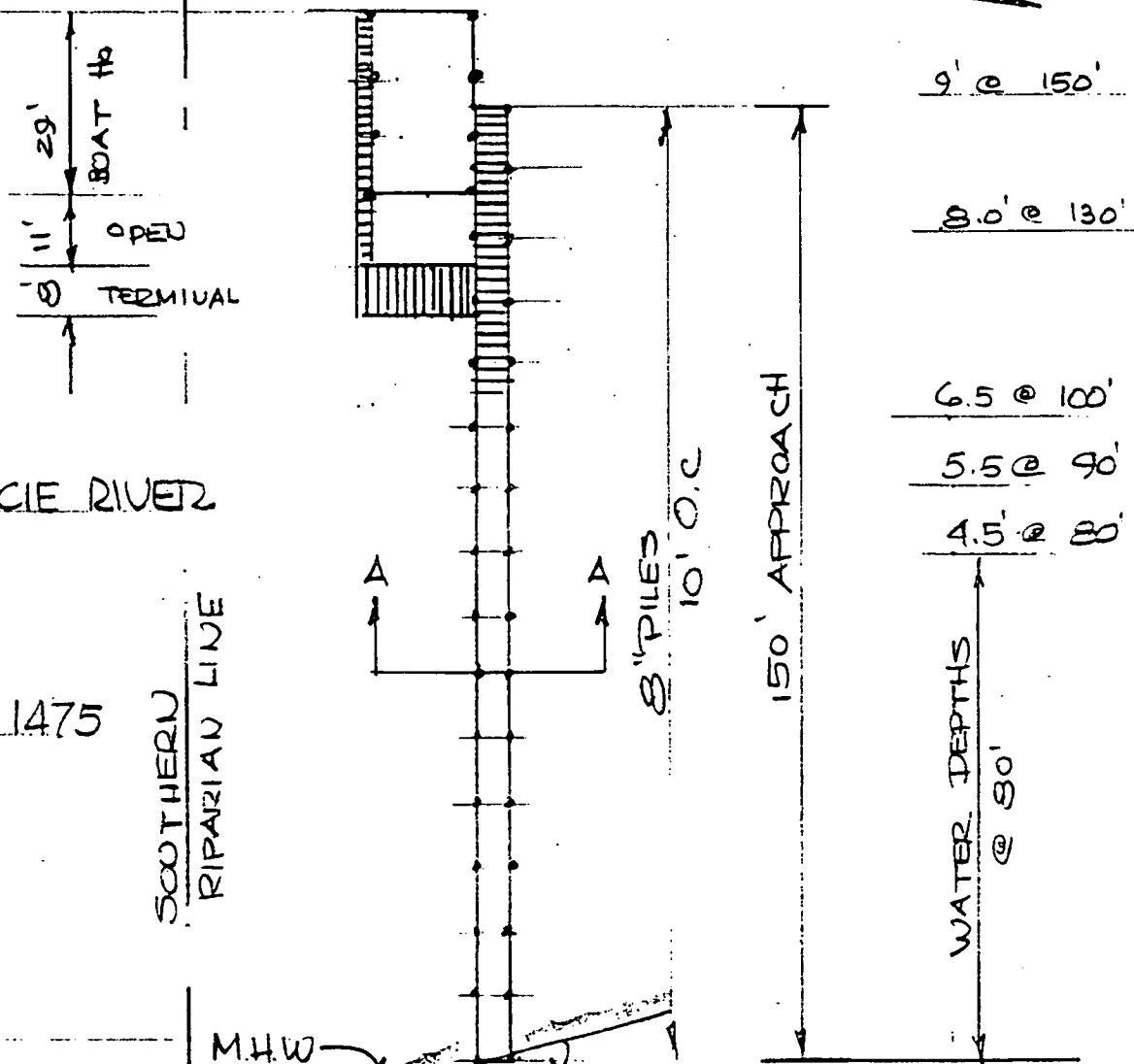
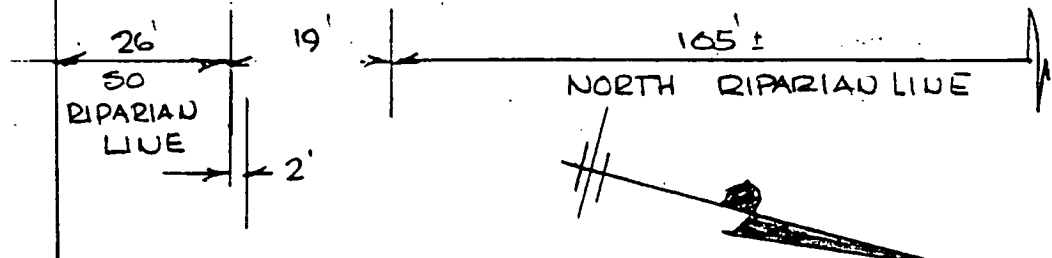
SHEET 3 OF 8

Design & Engineering Consultants
SAL J. AMICO, C.E., P.E.
Licensed Professional Engineer

1163 East 14th Street
Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
P.O. BOX 399
PORT SALERNO, FLA.

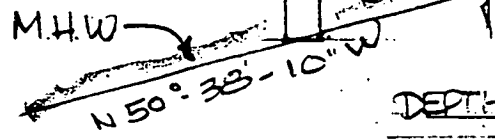
NICHOLAS SMITH
133 SO. RIVER ROAD
SEWALL'S POINT



ST. LUCIE RIVER

TOTAL S.F. = 1475

SOUTHERN RIPARIAN LINE



PLAN VIEW
1" = 30'

DEPTHS RECORDED 1-19-99
@ 11:02 PM.
ST. LUCIE LOW TIDE 5:10 PM
HIGH TIDE 10:45 AM.

SCALE _____

DATE 2-08 1999

REVISIONS 4-14-00

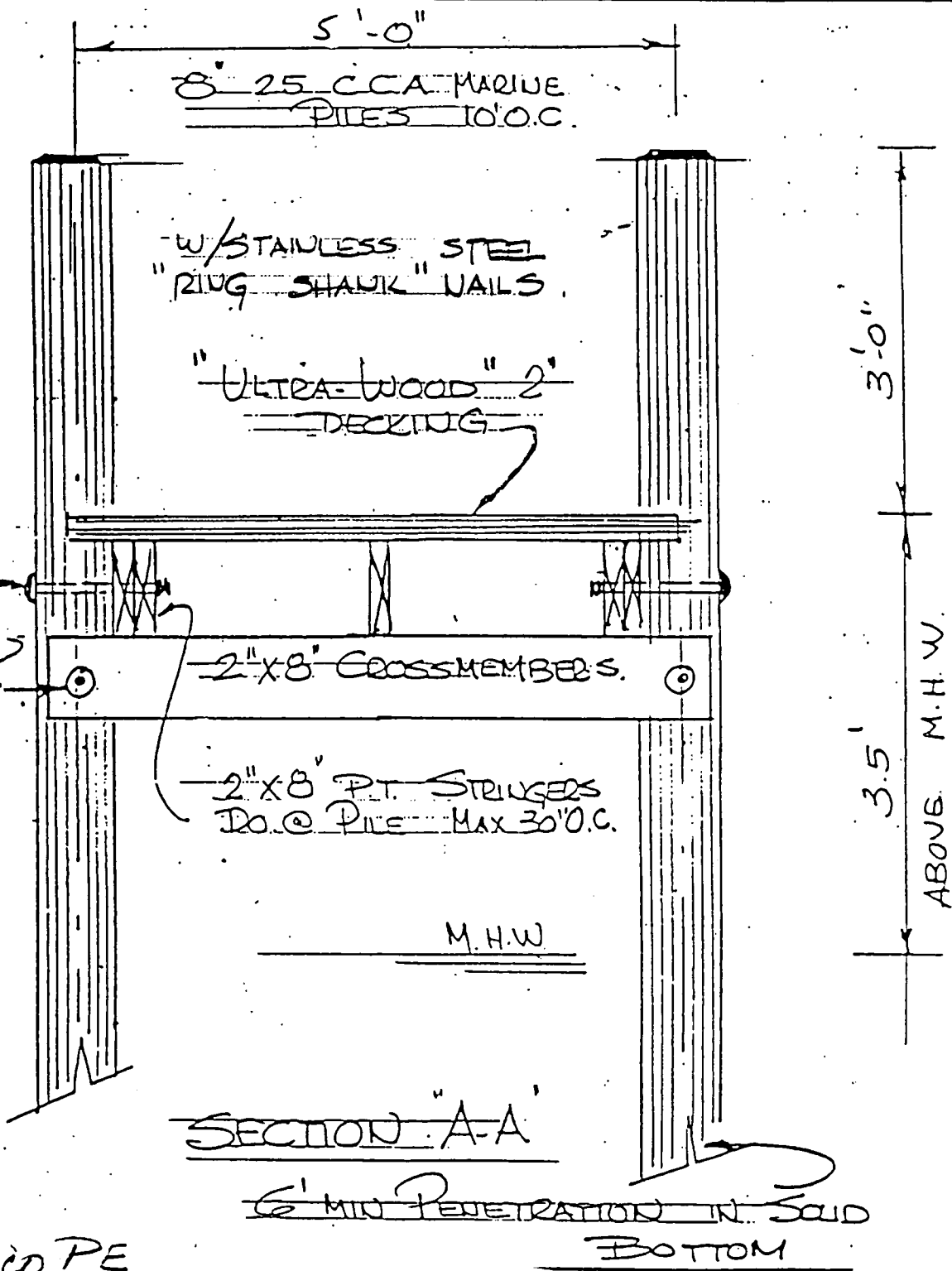
SHEET 4 OF 8

S. J. Amico C.E.P.E.
Design & Engineering Consultants
SAL J. AMICO, C.E., P.E.
Licensed Professional Engineer

1163 East 14th Street
Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
P.O. BOX 399
PORT SALERNO, FLA.

NICHOLAS SMITH
133 SO. RIVER ROAD
SEWALL'S POINT



S. Amico PE

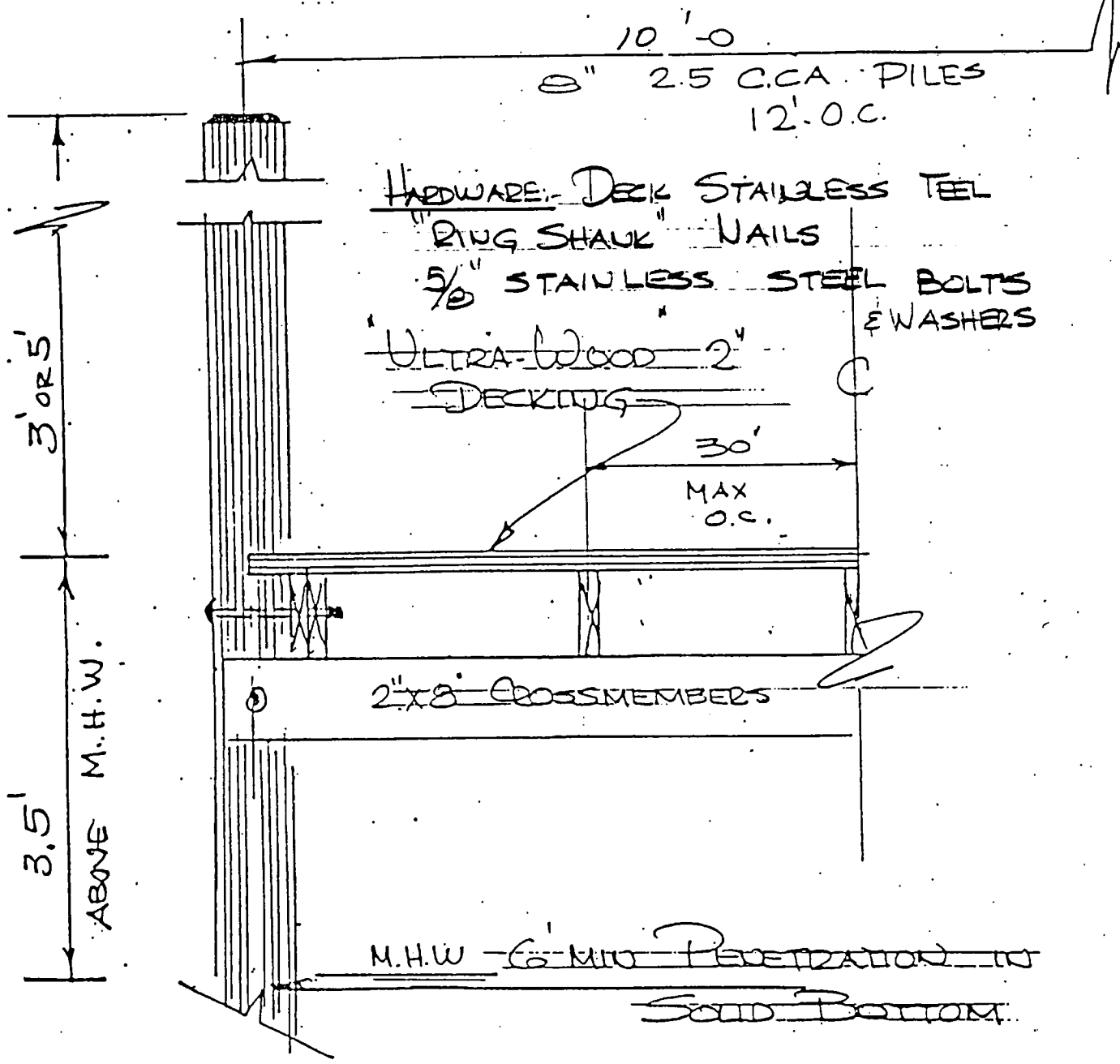
SCALE $\frac{3}{4}$ "	DATE 2-08 1999	REVISIONS 12-08-99	SHEET 5 OF 8
-----------------------	----------------	--------------------	--------------

Design & Engineering Consultants
SAL J. AMICO, C.E., P.E.
Licensed Professional Engineer
 1163 East 14th Street
 Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
 P.O. BOX 399
 PORT SALERNO, FLA.

NICHOLAS SMITH
 133 SO RIVER ROAD
 SEWALL'S POINT

TERMINALS
SECTION "B-B"



10'-0"
8" 2.5 C.C.A. PILES
12'-0.C.

HARDWARE: DECK STAINLESS STEEL
"RING SHANK" NAILS
5/8" STAINLESS STEEL BOLTS
& WASHERS
ULTRA-WOOD 2"
DECKING

3' OR 5'
3.5'
ABOVE M.H.W.

30'
MAX
O.C.

2" X 8" CROSSMEMBERS

M.H.W. 6" MIN PENETRATION INTO
SOLID BOTTOM.

S. J. Amico P.E.

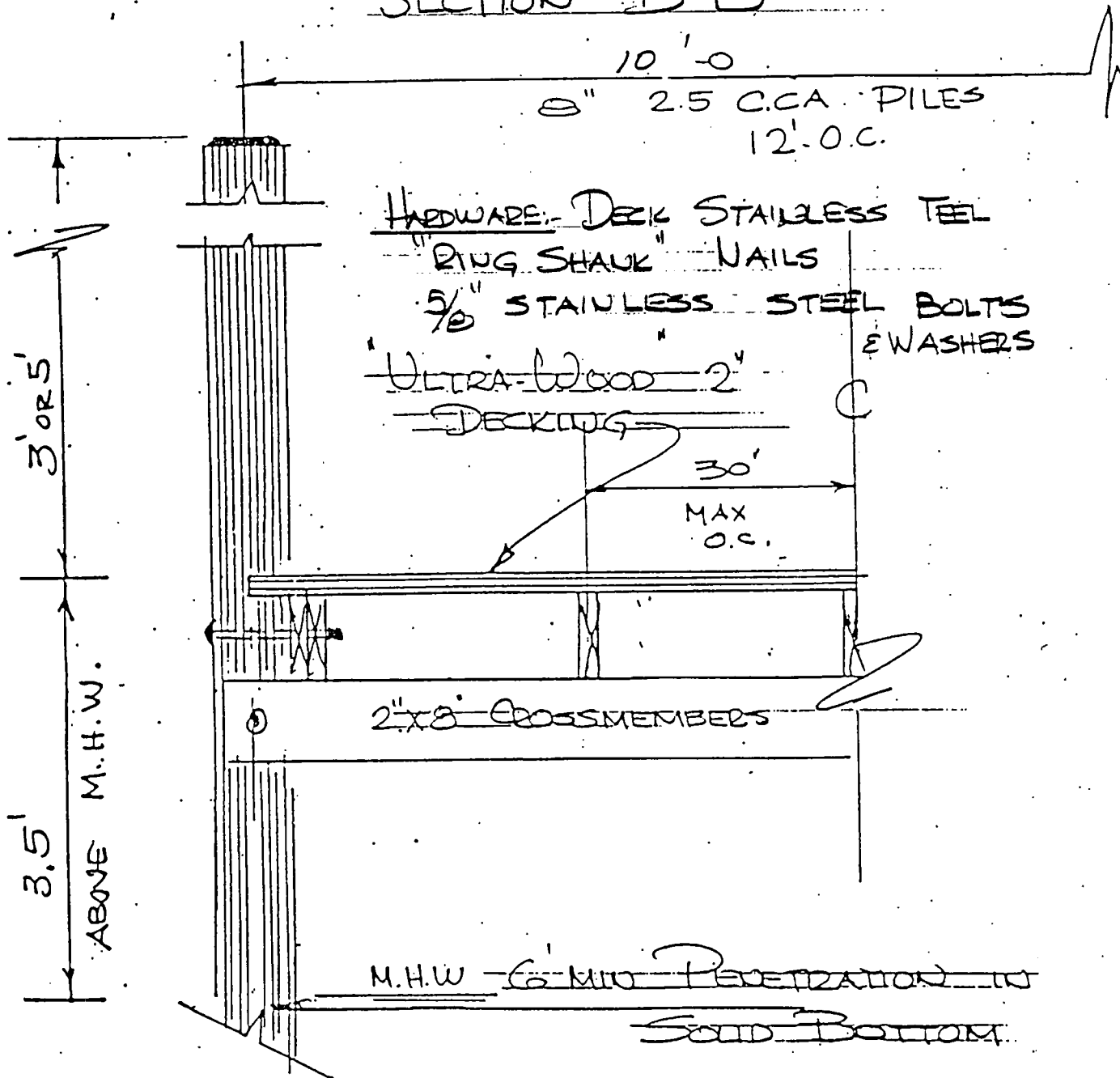
SCALE ✓ DATE 2-08-1999 REVISIONS 12-08-99 SHEET 6 OF 8

Design & Engineering Consultants
SAL J. AMICO, C.E., P.E.
Licensed Professional Engineer
1163 East 14th Street
Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
P.O. BOX 399
PORT SALERNO, FLA.

NICHOLAS SMITH
133 SO RIVER ROAD
SEWALL'S POINT

TERMINALS
SECTION "B-B"



10'-0"
8" 2.5 C.C.A. PILES
12'-0.C.

HARDWARE: DECK STAINLESS STEEL
"RING SHANK" NAILS
5/8" STAINLESS STEEL BOLTS
& WASHERS
"ULTRA-WOOD" 2"
DECKING

30'
MAX
O.C.

2"x8" CROSSMEMBERS

M.H.W. 6" MIN. PENETRATION IN
SOLID BOTTOM.

3' OR 5'
3.5'
ABOVE M.H.W.

S. J. Amico P.E.

SCALE 1" = 1'-0" DATE 2-08-1999 REVISIONS 12-08-99 SHEET 6 OF 8

Design & Engineering Consultants
SAL J. AMICO, C.E., P.E.
Licensed Professional Engineer

1163 East 14th Street
Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
P.O. BOX 399
PORT SALERNO, FLA.

NICHOLAS SMITH
133 SO RIVER ROAD
SEWALL'S POINT

RIDGE ABOVE
DECK 15'-0"

2"X8" RIDGE BEAM

W/5V CRIMP GALV ROOF
ON 1"X6" STRIPPING
16"OC.
2"X6" RAFTERS

SEE
DETAILS
SH# 8

2"X6" COLLAR
BEAMS

T.O.P. = 7.5'

DECK 4.5'
VAR. 4-5'

M.H.W. = 0.70'
M.L.W. = 0.0'

STAINLESS STEEL BOLTS
& RING SHANK NAILS

16'-0"
± to ± OF PILES

5'-0"

2'-0"

BOT VARIES 4-9'

BOT -5.0'

MIN. PENETRATION = 8' →

BOAT SLIP SECT.

S. Amico PE

1/4" REVISED 3-15-00

SCALE 1/4"

DATE 2-08 1999

REVISIONS 12-08-99

SHEET 7 OF 8

Design & Engineering Consultants
SAL J. AMICO, C.E., PE.
Licensed Professional Engineer

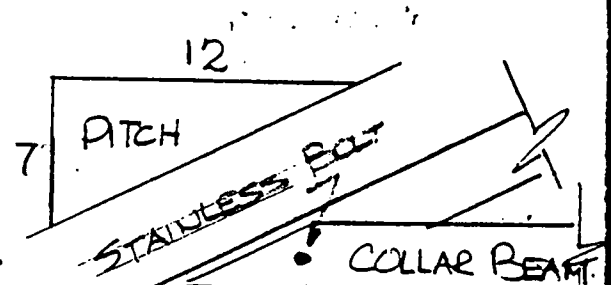
1163 East 14th Street
Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
P.O. BOX 399
PORT SALERNO, FLA.

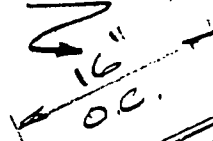
NICHOLAS SMITH
133 SO. RIVER ROAD
SEWALLS POINT

RIDGE HGT. = 15'-0"

W 5V CRIMP GALV. ROOFING
ON 1" X 6" STRIPPING 16" OC.



RAFTER STRAP HUGHES
1" X 1/8" 12-Ed nails
STAINLESS



2" X 6" 16" OC.

3-2" X 8" HEADERS with
5/8" STAINLESS STEEL
BOLTS W/ WASHERS

± 10" MIN PILES 10' OC.

16'-0"

± TO ± OF PILES.

17'-0" ROOF

x 29 = 493 S.F.

ROOF DETAILS

S. Amico

3/4

REVISED 3-15-00

SCALE 3/4"

DATE 2-08 1999

REVISIONS 12-08-99

SHEET 8 OF 8

Design & Engineering Consultants
SAL J. AMICO, C.E., P.E.
Licensed Professional Engineer

1163 East 14th Street
Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
P.O. BOX 399
PORT SALERNO, FLA.

NICHOLAS SMITH
133 SO. RIVER ROAD
SEWALL'S POINT



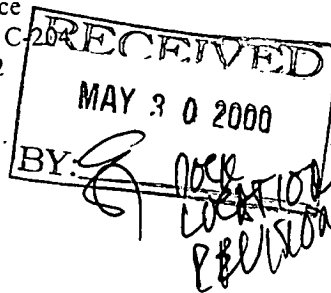
4874

Department of Environmental Protection

Jeb Bush
Governor

Port St. Lucie Branch Office
1801 SE Hillmoor Drive, Suite C-26
Port St. Lucie, FL 34952
(561)398-2806

David B. Struhs
Secretary



MAY 19 2000

Nicholas and Janet Smith
107 Bowsprit Drive
North Palm Beach, FL 33408

Re: File No.: 43-0151903-001

Dear Mr. and Mrs. Smith:

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Sincerely,

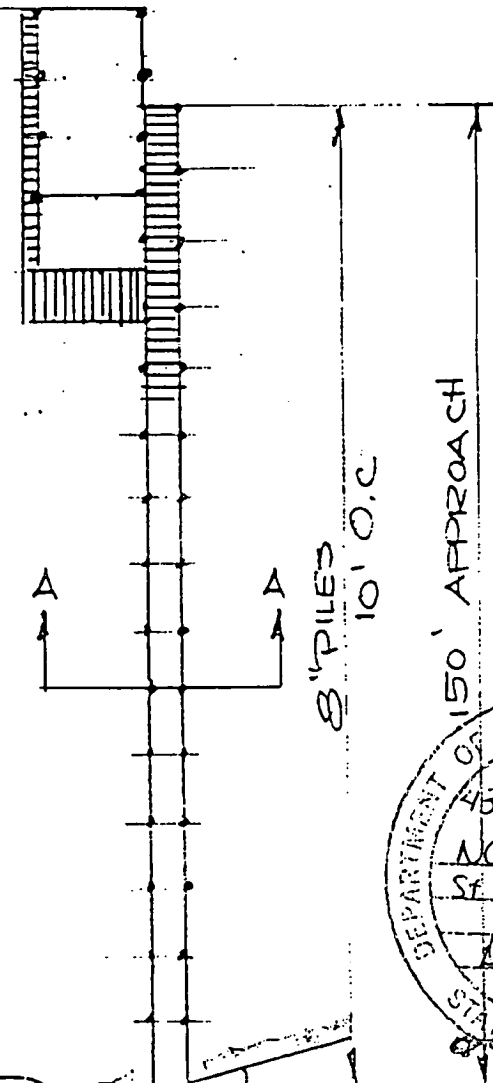
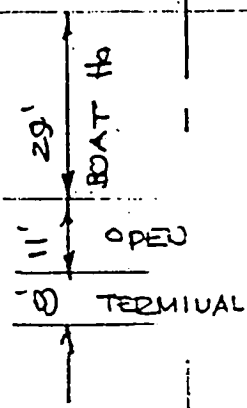
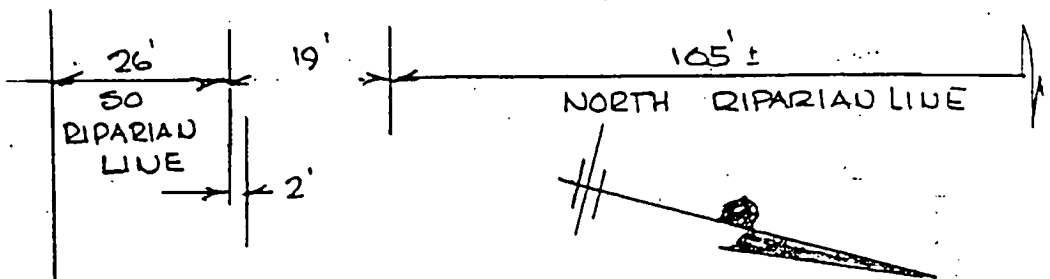
Gary N. Roderick
Environmental Administrator

GNR/DC

Enclosure: Modified Drawings

cc: U.S. Army Corps of Engineers, Stuart
Dredge and Marine Construction, Inc. (Agent)

PN 4874

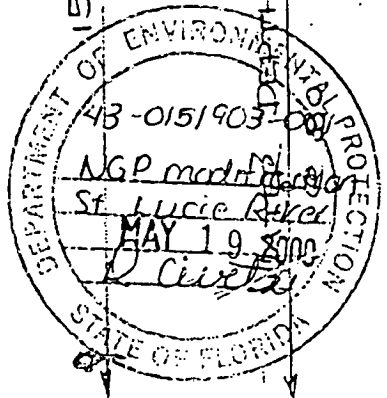


- 9' @ 150'
- 8.0' @ 130'
- 6.5' @ 100'
- 5.5' @ 90'
- 4.5' @ 80'

ST. LUCIE RIVER

TOTAL S.F. = 1475

SOUTHERN RIPARIAN LINE



M.H.W. 35'-10" W
REVISED

PLAN VIEW
 1" = 30'

DEPTHS RECORDED 1-19-99 @ 11:02 PM.
 ST. LUCIE LOW TIDE 5:10 PM
 HIGH TIDE 10:45 AM.

SCALE _____	DATE <u>2-08</u> 1999	REVISIONS <u>4-14-00</u>	SHEET <u>4</u> OF <u>8</u>
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S. J. Amico C.E.P.E.
 Design & Engineering Consultants
SAL J. AMICO, C.E., P.E.
 Licensed Professional Engineer

1163 East 14th Street
 Stuart, Florida 34994

DREDGE & MARINE CONSTRUCTION
 P.O. BOX 399
 PORT SALERNO, FLA.

NICHOLAS SMITH
 133 SO. RIVER ROAD
 SEWALL'S POINT

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri September 7, 2001; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
4978 4978 S (1)	Rimer 29 ^s . River Rd. Loa Dev.	AC Rough	Passed	INSPECTOR: <u>Ja/7</u>
5407 S (5)	McKELVEY 21 E. HIGH POINT PACIFIC REG. (DAVE: 263-0177)	REROOF - FINAL	Failed	→ remove debris + install INSPECTOR: <u>Ja/7</u>
5022 S (4)	SMITH 133 S. RIVER RD. MACARI BLDG & DESIGN	SLAB	Passed	all doc. at office? INSPECTOR: <u>Ja/7</u>
4874 S	SMITH 133 S. RIVER RD. DREDGE & MARINE CONST.	DOCK - FINAL	CANCEL	PERMIT EXT/RENEW TO 9/6/01 (NOT REINFORCED AS BUILT SURVEY REQ'D) TO RESCHW. INSPECTOR:
5489 S (2)	STRACULZI 12 RIO VISTA RUCCOLO	STEEL INSP. FOR SLAB	Failed	el/dry rot / R Board sur ✓ suspect fast req'd. INSPECTOR: <u>Ja/7</u>
5319 S (6)	MCCARTNEY 45 W. HIGH POINT ADVANTAGE POOL BLDGS	GRD/STL. Insufficient steel (MICHAEL 781-3035)	Failed	PROPOSED SURVEY WAIVED INSPECTOR: <u>Ja/7</u>
5318 S	KOENKE 66 S. SEWALL'S POINT RD. ADVANTAGE VOL BLDGS.	POOL - FINAL	CANCEL	FINAL SURVEY INSPECTOR:

OTHER:

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri ~~SEPTEMBER 19~~, 2001; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5506 N 9	DERMARKARIAN 19 CASTLE HILL WAY LAURENCE FENCE	FENCE - FINAL (MVA: 561-747-4220)	PASSED	INSPECTOR: <i>[Signature]</i>
✓ 5474 S 6	SCHULTZ 64 S. SEWALL'S POINT RD. QUALITY FENCE	FENCE - FINAL	FAILED	- RAISE LATCHES TO CONFORM W/ RES. POOL SAFETY ACT INSPECTOR: <i>[Signature]</i>
✓ 5535 S 1	MUSSO 18 S. RIVER ROAD HARRY BLUE (336-3024)	PROP. WALL - FTG.	PASSED	MPN 5262 INSPECTOR: <i>[Signature]</i>
✓ T/R N 8	YETI (VACANT) 122 N. SEWALL'S POINT RD. ALL CLEAR INC	FIELD VERIF.	DENIED	3RD ATTEMPT - SITE TOO WET FOR ACCESS INSPECTOR: <i>[Signature]</i>
✓ 5508 S 2	FLOVER 16 RIVERVIEW DR. SWAT	PLYWOOD UNDER STUCCO	PASSED	10:00 NOT READY 10:45 RE (DS/RES) INSPECTOR: <i>[Signature]</i>
✓ T/R S 5	ALLMAN (521-6017) 3 SUMMER LANE	FIELD VERIF.	CONFIRMED	OK TO ISSUE PERMIT INSPECTOR: <i>[Signature]</i>
✓ 4874 S 4	SMITH 133 S. RIVER RD. DRENCH & MAINLINE CONST.	DOCK - FINAL (MIKE KREMSER 284-2695)	FAILED	SURVEY RCVD 9/18 - NO ACCESS; PILING TRIM. REQ. INSPECTOR: <i>[Signature]</i>

OTHER:

9/20/01 9:10 AM Called contractor (MIKE KREMSER 225-0105) & left message; access to dock req'd. for final.

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed ~~THU~~ ~~FRI~~ ~~SAT~~ ~~SUN~~ ~~2001~~; Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5123	PICEV	PLANTER FTGS.	PASSED	
S (6)	65 S. RIVER RD SEAGATE BLURS.			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5489	STRACUZZI	ENTRY/PATIO SLAB	PASSED	- PATIO SLAB NOT READY
S (5)	12 RIO VISTA DR. RUCCOLO		(ENTRY POREN ONLY)	INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 4874	SMITH	DOCK - FLUOR	PASSED	(MIKE KEMSEK: 284-2645)
S (1)	133 S. RIVER RD. DREDGE & MARINE CONST.	REINFR - MEDIEK (DOCK ACCESS)	PASSED	CONTR. TO INSTALL REFLECTORS & TRIM TERM. PILLARS INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____

1 YEAR PERMIT RENEWAL: 7/13/01 - 7/12/02
\$15,360.00 PR. 7/19/00 CK # 1175 \$15,320.00
CAPIT 40.00

1 YEAR PERMIT RENEWALS
7/13/02 - 7/12/03 \$15,360.00
PAID BY # 9678 N/A
MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

3 MO. RENEWALS CK # 10553
7/13/03 - 10/13/03
3 x \$1536.00 = \$4608.00
BUILDING PERMIT NO. 5022

Date 7/13/00

Building to be erected for M/M NICK SMITH

Type of Permit BLDG. - S.F.R.

Applied for by MACARI BLDG & DESIGN, INC.

(Contractor) Building Fee \$14,880.00

Subdivision Henson Grant Lot 2-3 Block

Radon Fee 71.99

Address 133 S. RIVER ROAD

Impact Fee N/A

Type of structure S.F.R. w/ ACCESSORY STRUCTURE

AC Fee 120.00

ORIGINAL CONST. COST. 1,550,000
FINAL AFFIDAVIT COST. 2,276,000.

Electrical Fee 120.00

Parcel Control Number: 11/7/02 1 MO. RENEWAL 1488.00
13-38-41-000-000-00050-10000 9457.60

Plumbing Fee 120.00

Amount Paid \$15,431.99 #1064
\$1,488.00 Check # 5749 Cash

Roofing Fee 120.00

Total Construction Cost \$1,550,000.00

Other Fees (PLAD REV.) 1,488.00

TOTAL Fees \$16,919.99

Signed Stephen J Macari
Applicant

Signed [Signature]
Town Building Inspector OFFICIAL

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 7/13/00

BUILDING PERMIT NO. 5022

Building to be erected for M/M NICK SMITH

Type of Permit BLDG. - S.F.R.

Applied for by MACARI BLDG & DESIGN, INC.

(Contractor) Building Fee \$14,880.00

Subdivision _____ Lot _____ Block _____

Radon Fee 71.99

Address 133 S. RIVER ROAD

Impact Fee N/A

Type of structure S.F.R. w/ACCESSORY STRUCTURE

A/C Fee 120.00

Parcel Control Number:

13-38-41-000-000-00030-10000

Electrical Fee 120.00

Plumbing Fee 120.00

Roofing Fee 120.00

Amount Paid \$ 1,488.00 Check # 5749 Cash _____

Other Fees (PLAD REV.) 1,488.00

Total Construction Cost \$ 1,550,000.00

TOTAL Fees \$16,919.99

Signed Stephen J Macari
Applicant

Signed [Signature]
Town Building Inspector OFFICIAL

BUILDING PERMIT

FORM BOARD SURVEY	DATE _____	SHEATHING	DATE _____
COMPACTION TESTS	DATE _____	FRAMING	DATE _____
GROUND ROUGH	DATE _____	INSULATION	DATE _____
SOIL POISONING	DATE _____	ROOF DRY-IN	DATE _____
FOOTINGS / PIERS	DATE _____	ROOF FINAL	DATE _____
SLAB ON GRADE	DATE _____	METER FINAL	DATE _____
TIE-BEAMS & COLUMNS	DATE _____	AS BUILT SURVEY	DATE _____
STRAPS AND ANCHORS	DATE _____	STORM PANELS	DATE _____
DRIVEWAY	DATE _____	LANDCAPE & GRADE	DATE _____
AS-BUILT SURVEY	DATE _____	FINAL INSPECTION	DATE _____

FLOOD ZONE _____

LOWEST HABITABLE FLOOR ELEV. _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

**This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**

RECEIVED
JUL 19 2001
BY:

FILE

~~SEWELL'S POINT REVEAL: 7/3/00 - 7/12/02~~
~~115,310.00 12/1/00 115,310.00~~
TOWN OF SEWELL'S POINT

MASTER PERMIT NO. N/A

Date 7/13/00
Building to be erected for M/M NICK SMITH
Applied for by MACARI BLDG & DESIGN, INC. (Contractor)
Subdivision Hanson Grant Lot 2-3 Block _____
Address 133 S. RIVER ROAD
Type of structure S.F.R. w/ ACCESSORY STRUCTURE

BUILDING PERMIT NO. 5022
Type of Permit BLDG. - S.F.R.
Building Fee \$14,880.00
Radon Fee 71.99
Impact Fee N/A
A/C Fee 120.00
Electrical Fee 120.00
Plumbing Fee 120.00
Roofing Fee 120.00
Other Fees (PLAD REV.) 1,488.00
TOTAL Fees \$16,919.99

Parcel Control Number: 13-38-41-000-000-000302 10000
Amount Paid \$15,431.99 Check # 5749 Cash _____
Total Construction Cost \$ 1,550,000.00

Signed Stephen J Macari
Applicant

Signed [Signature]
Town Building Inspector OFFICIAL

ACORD CERTIFICATE OF LIABILITY INSURANCE

CSR CA DATE (MM/DD/YY)
MACAR-2 06/27/00

PRODUCER
R.V. Johnson Agency, Inc.
2041 SE Ocean Blvd
Stuart FL 34996

William B. Meyers
Phone No. 561-287-3366 Fax No. 561-287-4439

INSURED
Maçari Building & Design, Inc
Steve Macari
18561 Lakeside Gardens Drive
Jupiter FL 33458

FILE

COPIES

FILE
verified

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY A Zurich Insurance Company - FL

COMPANY B

COMPANY C

COMPANY D

RECEIVED

JUL - 6 2000

BY: *[Signature]*

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	SCP036516152	07/01/00	07/01/01	GENERAL AGGREGATE \$ 2000000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				PRODUCTS - COMP/OP AGG \$ 2000000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				PERSONAL & ADV INJURY \$ 1000000
	OWNER'S & CONTRACTOR'S PROT				EACH OCCURRENCE \$ 1000000
					FIRE DAMAGE (Any one fire) \$ 50000
					MED EXP (Any one person) \$ 10000
	AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT \$
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident) \$
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE \$
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$
	<input type="checkbox"/> ANY AUTO				OTHER THAN AUTO ONLY:
					EACH ACCIDENT \$
	EXCESS LIABILITY				AGGREGATE \$
	<input type="checkbox"/> UMBRELLA FORM				EACH OCCURRENCE \$
	<input type="checkbox"/> OTHER THAN UMBRELLA FORM				AGGREGATE \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATUTORY LIMITS OTH-ER
	THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input type="checkbox"/> INCL <input type="checkbox"/> EXCL				EL EACH ACCIDENT \$
					EL DISEASE - POLICY LIMIT \$
					EL DISEASE - EA EMPLOYEE \$
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS
fax to 220-4765

CERTIFICATE HOLDER

TOWN024

Town of Sewalls Point
1 S. Sewalls Point Road
Stuart FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10* DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE
[Signature]

09-22-1999

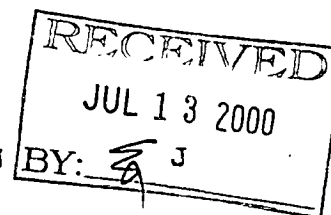
STATE OF FLORIDA
DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY
DIVISION OF WORKERS' COMPENSATION

CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION
FROM FLORIDA WORKERS' COMPENSATION LAW

COPY
Must

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation Law.

EFFECTIVE DATE 08/24/1999
EXPIRATION DATE 08/23/2001
EXEMPTED INDIVIDUAL NAME MACARI STEPHEN
S.S. 040-54-5107
BUSINESS NAME MACARI BUILDING & DESIGN INC
FEIN 650451686
BUSINESS ADDRESS 18561 LAKESIDE GARDENS DR
JUPITER FL 33458



NOTE: Pursuant to Chapter 440.10(1),(g),2 F.S., a sole proprietor, partner, or an officer of a corporation who elects exemption from the Florida Workers' Compensation Law may not recover benefits or compensation under Chapter 440.

PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

STATE OF FLORIDA
DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY
DIVISION OF WORKERS' COMPENSATION



CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION
FROM FLORIDA WORKERS' COMPENSATION LAW

EFFECTIVE DATE 08/24/1999
EXPIRATION DATE 08/23/2001
EXEMPTED PERSON LAST NAME MACARI
FIRST NAME STEPHEN
SOCIAL SECURITY NUMBER 040-54-5107
BUSINESS NAME MACARI BUILDING & DESIGN INC
FEDERAL IDENTIFICATION NUMBER 650451686
BUSINESS ADDRESS 18561 LAKESIDE GARDENS DR
JUPITER FL 33458

FOLD
HERE

NOTE: Pursuant to chapter 440.10(1),(g),2, F.S., a sole proprietor, partner, or officer of a corporation who elects exemption from the Florida Workers' Compensation Law may not recover benefits or compensation under Chapter 440.

CUT HERE

• Carry bottom portion on the job, keep upper portion for your records.



STATE OF FLORIDA

AC# 5196251

DEPARTMENT OF BUSINESS AND
PROFESSIONAL REGULATION

CG -C023754 07/02/1998 98900026

CERTIFIED GENERAL CONTRACTOR
MACARI, STEPHEN JAMES
MACARI BUILDING & DESIGN INC

IS CERTIFIED

under the provisions of Ch. 489

FS.

Expiration Date: AUG 31, 2000

FILE

MASTER PERMIT NO. 5022

TOWN OF SEWALL'S POINT

Date 2/7/01

BUILDING PERMIT NO. 5024

Building to be erected for M/M NICK SMITH

Type of Permit ELECT-SUB

Applied for by DUBAY ELECTRIC INC

(Contractor) Building Fee

Subdivision Lot Block

Radon Fee

Address 133 S. RIVER ROAD

Impact Fee

Type of structure S.F.R. W/ACCESSORY STRUCTURE

A/C Fee

QUALIFIER: PETER DUBAY
LIC/CORP: ME 00476

Electrical Fee SEE P.N. 5022

Parcel Control Number:

Plumbing Fee

Amount Paid Check # Cash Other Fees ()

Roofing Fee

Total Construction Cost \$

TOTAL Fees

Signed [Signature]

Signed [Signature]

Applicant

Town Building Inspector OFFICIAL

BUILDING PERMIT ELECT-SUB

FORM BOARD SURVEY	DATE _____	SHEATHING	DATE _____
COMPACTION TESTS	DATE _____	FRAMING	DATE _____
GROUND ROUGH	DATE _____	INSULATION	DATE _____
SOIL POISONING	DATE _____	ROOF DRY-IN	DATE _____
FOOTINGS / PIERS	DATE _____	ROOF FINAL	DATE _____
SLAB ON GRADE	DATE _____	METER FINAL	DATE _____
TIE-BEAMS & COLUMNS	DATE _____	AS BUILT SURVEY	DATE _____
STRAPS AND ANCHORS	DATE _____	STORM PANELS	DATE _____
DRIVEWAY	DATE _____	LANDCAPE & GRADE	DATE _____
AS-BUILT SURVEY	DATE _____	FINAL INSPECTION	DATE _____

FLOOD ZONE _____ LOWEST HABITABLE FLOOR ELEV. _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
11/10/00

PRODUCER
FEDERATED MUTUAL INSURANCE COMPANY
302 Perimeter Center North
Atlanta, GA 30348
Phone: 770-390-3900
Home Office: Owatonna, MN 55060

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY A FEDERATED MUTUAL INSURANCE COMPANY OR
FEDERATED SERVICE INSURANCE COMPANY

COMPANY B **FILE**

COMPANY C

COMPANY D

INSURED
DUBAY ELECTRIC INC
PO BOX 447
JUPITER FL 33468

132-388-0

FILE
COPY *ccy/11/8*

RECEIVED
NOV 30 2000
BY: *[Signature]*

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT	9001588	01/01/01	01/01/02	GENERAL AGGREGATE \$ 1,000,000
	PRODUCTS - COMP/OP AGG \$ 1,000,000				
	PERSONAL & ADV INJURY \$ 500,000				
	EACH OCCURRENCE \$ 500,000				
	FIRE DAMAGE (Any one fire) \$ 100,000				
	MED EXP (Any one person) \$				
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	9001588	01/01/01	01/01/02	COMBINED SINGLE LIMIT \$ 500,000
	BODILY INJURY (Per person) \$				
	BODILY INJURY (Per accident) \$				
	PROPERTY DAMAGE \$				
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$
	OTHER THAN AUTO ONLY:				
	EACH ACCIDENT \$				
	EXCESS LIABILITY <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$
	AGGREGATE \$				
	\$				
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY <input type="checkbox"/> INCL <input type="checkbox"/> EXCL	9000197	01/01/01	01/01/02	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER
	EL EACH ACCIDENT \$ 100,000				
	EL DISEASE - POLICY LIMIT \$ 500,000				
	EL DISEASE - EA EMPLOYEE \$ 100,000				
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

CERTIFICATE HOLDER

1323880

TOWN OF SEWELLS POINT
1 SEWALLS POINT ROAD
SAWALLS POINT FL 34991

52

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

[Signature]
PRESIDENT



**MARTIN COUNTY, FLORIDA
Construction Industry Lic Bd
Certificate of Competency**

License: ME00476
Expires September 30, 2001

DUBAY, PETER J
DUBAY ELECTRIC INC
P O BOX 447
JUPITER, FL 33468
MASTER ELECTRICIAN

**MARTIN COUNTY, FLORIDA
Construction Industry Lic Bd
Certificate of Competency
License: ME00476
Expires September 30, 2001
DUBAY, PETER J
DUBAY ELECTRIC INC
P O BOX 447
JUPITER, FL 33468
MASTER ELECTRICIAN**



**PALM BEACH COUNTY CONTRACTORS
CERTIFICATE OF COMPETENCY**

EXPIRES SEPTEMBER 30, 19 ^{XX} 2001

ADDITIONAL CONTROL NUMBER: 543798
CERTIFICATE NUMBER: 0-15721

NAME: PETER J. DUBAY
FIRM: DUBAY ELECTRIC INC. **UNLIMITED**

PO BOX 447
JUPITER, FL 33468

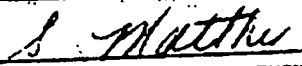
FEE: 118.00

CERTIFIED ELECTRICAL CONTRACTOR

ID #0018827
08/16/99

SIGNATURE: 

ATTEST:


CONSTRUCTION INDUSTRY LICENSING BOARD
OF PALM BEACH COUNTY

AC# 5173077

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
ELECT CONTRACTORS LICENSING BD.

DATE	BATCH NUMBER	LICENSE NBR
06/17/1998	97904056	ER -0012918

The ELECTRICAL CONTRACTOR
named below HAS REGISTERED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2000
(INDIVIDUAL MUST MEET ALL LOCAL COMPETENCY REQUIREMENTS
PRIOR TO CONTRACTING IN ANY AREA)

DUBAY, PETER J
DUBAY ELECTRIC INC
P O BOX 447
JUPITER FL 33468

LAWTON CHILES
GOVERNOR

DISPLAY AS REQUIRED BY LAW

RICHARD T. FARRELL
SECRETARY

COPY

~~XXXXXXXXXX~~

MASTER PERMIT NO. 5022

TOWN OF SEWALL'S POINT

Date 2/8/01 8121101

BUILDING PERMIT NO. 5025

Building to be erected for M/M NICK SMITH

Type of Permit PLUMBING - SUB

Applied for by ARROW PLUMBING OF M.C. PARADIGM PLUMBING

(Contractor) Building Fee _____

Subdivision HANSON GRANT Lot 2-3 Block _____

Radon Fee _____

Address 133 S. RIVER ROAD

Impact Fee _____

Type of structure S.F.R. W/ACCESSORY STRUCTURE

AC Fee _____

QUALIFIER: ~~DANIEL L. ALEX~~ MATTHEW D. BARRETT
LIC/CRP & CP-C ~~057177~~

Electrical Fee _____

Parcel Control Number: _____

Plumbing Fee SEE PN 5022

Roofing Fee _____

Amount Paid _____ Check # _____ Cash _____ Other Fees (_____) _____

Total Construction Cost \$ _____ TOTAL Fees _____

Signed [Signature]

Signed [Signature]

Applicant

Town Building Inspector [Signature]

BUILDING PERMIT

FORM BOARD SURVEY	DATE _____	SHEATHING	DATE _____
COMPACTION TESTS	DATE _____	FRAMING	DATE _____
GROUND ROUGH	DATE _____	INSULATION	DATE _____
SOIL POISONING	DATE _____	ROOF DRY-IN	DATE _____
FOOTINGS / PIERS	DATE _____	ROOF FINAL	DATE _____
SLAB ON GRADE	DATE _____	METER FINAL	DATE _____
TIE-BEAMS & COLUMNS	DATE _____	AS BUILT SURVEY	DATE _____
STRAPS AND ANCHORS	DATE _____	STORM PANELS	DATE _____
DRIVEWAY	DATE _____	LANDCAPE & GRADE	DATE _____
AS-BUILT SURVEY	DATE _____	FINAL INSPECTION	DATE _____

FLOOD ZONE _____

LOWEST HABITABLE FLOOR ELEV. _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

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NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

COPY

~~PLUMBING PERMIT~~

MASTER PERMIT NO. 5022

TOWN OF SEWALL'S POINT

Date 2/8/01

BUILDING PERMIT NO. 5025

Building to be erected for M/M NICK SMITH

Type of Permit PLUMBING - SUB

Applied for by ARROW PLUMBING OF M.C.

(Contractor) Building Fee

Subdivision HAVSD GRANT Lot 2-3 Block

Radon Fee

Address 133 S. RIVER ROAD

Impact Fee

Type of structure S.F.R. W/ACCESSORY STRUCTURE

A/C Fee

QUALIFIER: DONALD L. ALLEX
LIC/CR 1 CR-C 029692

Parcel Control Number:

Electrical Fee

Plumbing Fee SEE PN 5022

Amount Paid Check # Cash Other Fees ()

Total Construction Cost \$ TOTAL Fees

Signed [Signature] Applicant

Signed [Signature] Town Building Inspector

BUILDING PERMIT

FORM BOARD SURVEY DATE
COMPACTION TESTS DATE
GROUND ROUGH DATE
SOIL POISONING DATE
FOOTINGS / PIERS DATE
SLAB ON GRADE DATE
TIE-BEAMS & COLUMNS DATE
STRAPS AND ANCHORS DATE
DRIVEWAY DATE
AS-BUILT SURVEY DATE

SHEATHING DATE
FRAMING DATE
INSULATION DATE
ROOF DRY-IN DATE
ROOF FINAL DATE
METER FINAL DATE
AS BUILT SURVEY DATE
STORM PANELS DATE
LANDCAPE & GRADE DATE
FINAL INSPECTION DATE

FLOOD ZONE

LOWEST HABITABLE FLOOR ELEV.

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

TOWN OF SEWALL'S POINT
 ATTN: ED ARNOLD
 1 SOUTH SEWALL'S ROAD
 SEWALL'S POINT, FL 34988

SHOULD ANY OF THE ABOVE DESCRIBED POLICES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL BE OBLIGATED TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT. BUT FAILURE TO MAIL SUCH NOTICE SHALL BECOME NO OBSTACLE TO THE LEFT. AUTHORIZED REPRESENTATIVE

DESCRIPTION OF OPERATION/LOCATION/USE/VEHICLE/REGULAR TIME

LINE	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	1079088374	3/01/00	3/01/01	GENERAL AGGREGATE 2000000 PRODUCTS - CONVEY ACC 2000000 PERSONAL & ADV LIABILITY 1000000 EACH OCCURRENCE 50000 MED EXP (any one person) 5000
B	AUTOMOBILE LIABILITY	1079088388	3/01/00	3/01/01	CONVISED SMALL UNIT 1000000 BODILY INJURY (per person) 50000 BODILY INJURY (per accident) 100000 PROPERTY DAMAGE 50000
C	EXCESS LIABILITY	AU02844788	3/01/00	3/01/01	EACH OCCURRENCE 5000000 AGGREGATE 5000000
D	WORKERS COMPENSATION AND EMPLOYERS LIABILITY	WC1079088381	3/01/00	3/01/01	EACH ACCIDENT 500000 E. OTHERS - POLICY LIMIT 500000 E. DISEASE - EA EMPLOYEE 500000
A	LEASED/RENTED EQUIPMENT	1079088374	3/01/00	3/01/01	6150,000 Per Item \$250,000 Maximum Limit

THIS IS TO CERTIFY THAT THE POLICES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT AFFORDED BY THE POLICES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICES BELOW.

DATE REPRODUCED 4/19/00

COMPANY A	American Casualty Company
COMPANY B	Valley Forge Insurance Company
COMPANY C	Zurich American Ins Co
COMPANY D	Transcontinental Insurance Co

RECEIVED FEB - 9 2001 BY: [Signature]

Palmer & Cay of Georgia, Inc.
 3348 Peachtree Road, N.E.
 Suite 1400
 Atlanta, GA 30326

Arrow Plumbing of Martin
 County, Inc.
 3000 SE Wester Street
 Stuart FL 34987

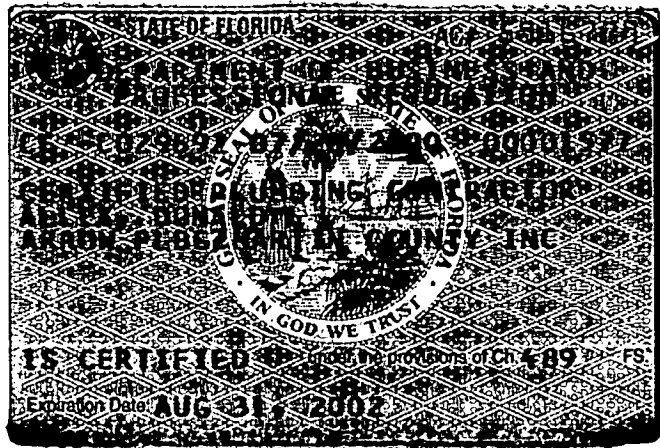
404-251-8888

FILE COPY FILE

COPY

FILE

Permit



[Handwritten Signature]

SIGNATURE

CERTIFICATE OF INSURANCE

The company indicated below certifies that the insurance afforded by the policy or policies numbered and described below is in force as of the effective date of this certificate. This Certificate of Insurance does not amend, extend, or otherwise alter the terms and Conditions of Insurance coverage contained in any policy numbered, and described below.

CERTIFICATE HOLDER:

SEWALL'S POINT BUILDING
DIVISION
1 SOUTH SEWALL'S POINT RD
SEWALL'S POINT, FL 34996

INSURED:

PARADIGM PLUMBING, INC
6424 SE THOMAS DRIVE
STUART, FL 34997

TYPE OF INSURANCE	POLICY NUMBER & ISSUING CO.	POLICY EFF. DATE	POLICY EXP. DATE	LIMITS OF LIABILITY (*LIMITS AT INCEPTION)
LIABILITY	77-AC-386681-3001	04-24-01	04-24-02	
<input checked="" type="checkbox"/> Liability and Medical Expense	NATIONWIDE MUTUAL FIRE INSURANCE CO.			Any One Occurrence..... \$ 1,000,000
<input checked="" type="checkbox"/> Personal and Advertising Injury				Any One Person/Org \$ 1,000,000
<input checked="" type="checkbox"/> Medical Expenses				ANY ONE PERSON \$ 5,000
<input checked="" type="checkbox"/> Fire Legal Liability				Any One Fire or Explosion \$ 100,000
				General Aggregate* \$ 2,000,000
<input type="checkbox"/> Other Liability				Prod/Comp Ops Aggregate* . \$ 1,000,000
AUTOMOBILE LIABILITY	77-BA-386681-3002	05-31-01	04-24-02	
<input checked="" type="checkbox"/> BUSINESS AUTO	NATIONWIDE MUTUAL INSURANCE CO.			Bodily Injury (Each Person) \$
<input checked="" type="checkbox"/> Owned				(Each Accident) \$
<input type="checkbox"/> Hired				Property Damage (Each Accident) \$
<input type="checkbox"/> Non-Owned				Combined Single Limit \$ 100,000
EXCESS LIABILITY				Each Occurrence \$
<input type="checkbox"/> Umbrella Form				Prod/Comp Ops/Disease Aggregate* \$
<input type="checkbox"/> Workers' Compensation and				STATUTORY LIMITS
<input type="checkbox"/> Employers' Liability				BODILY INJURY/ACCIDENT ... \$
				Bodily Injury by Disease EACH EMPLOYEE \$
				Bodily Injury by Disease POLICY LIMIT \$

Should any of the above described policies be cancelled before the expiration date, the insurance company will endeavor to mail written notice to the above named certificate holder, but failure to mail such notice shall impose no obligation or liability upon the company, its agents, or representatives.

DESCRIPTION OF OPERATIONS/LOCATIONS
VEHICLES/RESTRICTIONS/SPECIAL ITEMS

Effective Date of Certificate: 04-24-2001
Date Certificate Issued: 08-20-2001

Authorized Representative: TOM RUGGIRELLO AGENCY, INC.
Countersigned at: P.O. Box 13120
Ft. Pierce, FL 34979

PAID

NOTICE OF ELECTION TO BE EXEMPT

Please refer to the written instructions prepared by the Division of Workers' Compensation before completing this form.

Effective/Issue Date:	_____
Expiration Date:	_____
Control Number:	_____
Postmark Date:	<u>NPD</u>
Received Date:	_____

By filing this application, you elect to be exempt from the provisions of Chapter 440, Florida Statutes and waive any right you may have to workers' compensation benefits in the State of Florida should you become injured on the job. Any person who knowingly and with intent to injure, defraud, or deceive the Division or any employer, employee, or insurance company or purposes program, files a Notice of Election to be Exempt containing any false or misleading information is guilty of a felony of the third degree. Certain documentation is required by law to be attached to this application-refer to the instruction sheet for more details. 2002-01060

I am applying for exemption as a (check only one box in this section):

CONSTRUCTION INDUSTRY (\$ 50.00 FEE REQUIRED)

Sole Proprietor Partner Corporate Officer (your corp. title: President)

NON-CONSTRUCTION INDUSTRY (NO FEE REQUIRED)

Corporate Officer (your corp. title: _____)

RECEIVED

AUG 20 2001

CORPORATE OFFICERS AND PARTNERS: List the registration number of your business on file with the Division of Corporations, Department of State's Office (NOTE: your partnership may not have one, but all corporations must have one, state "N/A"): _____

BUREAU OF COMPLIANCE
WEST PALM BEACH

THIS EXEMPTION APPLICATION APPLIES ONLY TO THE PERSON SIGNING THE APPLICATION AND ONLY FOR THE BUSINESS ENTITY LISTED IN THE FOLLOWING SECTION

Business Name:	<u>Paradigm Plumbing Inc.</u>			Trade Name, d/b/a, or a/k/a:	_____
Business Mailing Address:	City:	State:	Zip:	_____	
<u>6424 SE Thomas Ln.</u>	<u>Stuart</u>	<u>FL</u>	<u>34997</u>	_____	
County:	Phone No.:	Nature of Business:	FEIN:	_____	
<u>Martin</u>	<u>888-230-6854</u>	<u>Plumbing</u>	<u>65-1099454</u>	_____	
Unemployment Compensation Tax No:	Date Business Established:	No. of Employees:			
<u>N/A</u>	<u>8-30-2001</u>	<u>1</u>			

Are you required to be registered or certified pursuant to Chapter 489, F. S.? No Yes: list all certified or registered licenses issued to you pursuant to Chapter 489, Florida Statutes _____

Are you or a qualifier for your business required by the county or the municipality in which your business mailing address is located to have an occupational license for the business which is the subject of this application? No Yes: **YOU MUST ATTACH A COPY OF A CURRENT OCCUPATIONAL LICENSE**

Are you employed by any sole proprietorship, partnership, corporation or business entity other than the business to which this application applies? NO YES list the name of all other businesses in which you are employed: _____

Has the above-referenced business entity been in operation long enough to have filed with or be required to file by the IRS, an annual Federal Income Tax Return? No Yes, You must attach tax records. See instruction sheet for details.

AFFIDAVIT OF APPLICANT: I hereby certify that the information contained herein is true and correct to the best of my knowledge and belief; that this election does not exceed exemption limits for corporate officers or partners as provided in § 440.02 Florida Statutes; and that I will secure the payment of workers' compensation benefits, pursuant to Chapter 440, Florida Statutes, for any employee I now have or may hereinafter acquire, for which my business is required by Florida law to secure such benefits.

Matthew Barrett
TYPEPRINT NAME OF PERSON APPLYING FOR EXEMPTION

265,85,9652-7,22,63
SOCIAL SECURITY NO. mo. day yr.
DATE OF BIRTH

8,20,01
DATE SIGNED

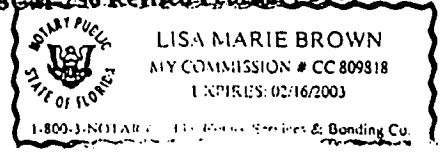
APPLICANT'S SIGNATURE
NOTARY STATE OF FLORIDA, COUNTY OF Palm Beach

Sworn to and subscribed before me this 20 day of August, by Matthew Barrett

Personally Known OR Produced Identification _____ Type of Identification Produced _____

NOTARY SIGNATURE Lisa M Brown My Commission Expires 02/16/2003

LES FORM BCM 250 Revised February 2000 (SEE REVERSE FOR ADDITIONAL INFORMATION)





STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

NOTICE OF LICENSE

Florida's Future...
**Right Here.
Right Now.**

August 17, 2001

Jeb Bush
Governor
Kim Binkley-Seyer
Secretary

Matthew D. Barrett
Paradigm Plumbing Inc
6424 S E Thomas Drive
Stuart, FL 34997

Division of Professions
Construction Industry
Licensing Board
1940 North Monroe Street
Northwood Centre
Tallahassee, Florida
32399-1039

CERTIFICATION AS A: *Plumbing Contractor*

CERTIFICATION NO: *CF C057177*

EXPIRATION DATE: *October 17, 2001*

Dear Mr. Barrett:


You are authorized to practice contracting as the qualifier of the above entity, pending the processing and receipt of your permanent license. You may expect to receive your permanent license shortly. You are entitled to all the privileges allowed under the Law, Part 1, Chapter 489, of the Florida Statutes.

**YOUR PERMANENT LICENSE WILL HAVE AN EXPIRATION DATE OF
AUGUST 31, 2002.**

VOICE
850.487.1395
FAX
850.488.1830
TDD
800.955.8771

INTERNET
www.MyFlorida.com

Sincerely,


Martene R. Gundy
Senior Management
Analyst II
MRG/jmt

MASTER PERMIT NO. 5022

TOWN OF SEWALL'S POINT

Date 11/13/01

BUILDING PERMIT NO. 5026

Building to be erected for M/M NICK SMITH

Type of Permit RFG - SUB

Applied for by CAMPANY ROOFING INC

(Contractor) Building Fee _____

Subdivision _____ Lot _____ Block _____

Radon Fee _____

Address 133 S. RIVER ROAD

Impact Fee _____

Type of structure S.F.R. W/ACCESSORY STRUCTURE

A/C Fee _____

CONTRACTOR: KENNETH SCHWEITZER
L.I.C. # CC051537

Electrical Fee _____

Parcel Control Number: _____

Plumbing Fee _____

Amount Paid _____ Check # _____ Cash _____ Other Fees (_____) _____

Roofing Fee SEE PN 5022

Total Construction Cost \$ _____

TOTAL Fees _____

Signed [Signature]
Applicant

Signed [Signature]
Town Building Inspector
OFFICER

RE-ROOFING PERMIT

INSPECTIONS

DRY IN
PROGRESS

DATE _____
DATE _____

PROGRESS
FINAL

DATE _____
DATE _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

- New Construction
- Remodel
- Addition
- Demolition

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

AC# 5886664

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTR. INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
06/19/2000	99902268	CC - 0051537

The ROOFING CONTRACTOR
 Named below IS CERTIFIED
 Under the provisions of Chapter 489 FS.
 Expiration date: AUG 31, 2002

SCHWELTZER, KENNETH
 COMPANY ROOFING INC
 917-28TH STREET
 WEST PALM BEACH

FL 33407

JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

CYNTHIA A. HENDERSON
SECRETARY

1997-19099

STATE OF FLORIDA
PALM BEACH COUNTY
OCCUPATIONAL LICENSE

CW-008
CLASSIFICATION

EXPIRES: SEPTEMBER - 30 - 2002

CAMPANY ROOFING INC
SCHWEITZER KENNETH

** LOCATED AT

C/WIDE \$185.85

917 28TH STREET
WEST PALM BEACH FL 33407-5322

TOTAL \$185.85

Is hereby licensed at above address for the period beginning on the first day of October and ending on the thirtieth day of September to engage in the business, profession or occupation of:

ROOFING CONTRACTOR

CCC051537

THIS IS NOT A BILL - DO NOT PAY

PAID. PBC TAX COLLECTOR
\$185.85 OCC 003 02101 08-24-2001

JOHN K. CLARK, CFC
TAX COLLECTOR, PALM BEACH COUNTY

THIS LICENSE VALID ONLY WHEN RECEIPTED BY
TAX COLLECTOR

Certificate of Insurance

This certificate is issued as a matter of information only and confers no rights upon you the certificate holder. This certificate is not an insurance policy and does not amend, extend, or alter the coverage afforded by the policies listed below.

Named Insured(s):

Staff Leasing, LP, By Staff Acquisition, Inc., The General Partner, And The Affiliated Limited Partnerships Of Which Staff Acquisition, Inc. Is The General Partner And Staff Leasing, Inc. Is The Limited Partner including Staff Leasing of Texas, LP, Staff Leasing of Texas II, LP, Staff Leasing IV, LP
 600 301 Boulevard West, Suite 202
 Bradenton, Florida 34205



Insurer Affording Coverage

Continental Casualty Company

Coverages:

The policy(ies) of insurance listed below have been issued to the insured named above for the policy period indicated. The insurance afforded by the policy(ies) described herein is subject to all the terms, exclusions and conditions of such policy(ies).

Type of Insurance	Certificate Exp. Date <input type="checkbox"/> Continuous <input type="checkbox"/> Extended <input checked="" type="checkbox"/> Policy Term	Policy Number	Limits	
Workers' Compensation	1-1-2002	WC 189165165 WC 189165182 WC 247848874 WC 247848888	Employer's Liability	
			Bodily Injury By Accident \$1,000,000	Each Accident
			Bodily Injury By Disease \$1,000,000	Policy Limit
			Bodily Injury By Disease \$1,000,000	Each Person

Other:

Employees Leased To:
 9617 Campany Roofing Inc

Effective Date: 1/1/01

The above referenced workers' compensation policy(ies) provide(s) statutory benefits only to the employees of the Named Insured(s) on such policy(ies), not to the employees of any other employer.

*If the certificate expiration date is continuous or extended term, you will be notified if coverage is terminated or reduced before the certificate expiration date. However, you will not be notified annually of the continuation of coverage.

Notice of Cancellation: (Not applicable unless a number of days are entered below)

Before the stated expiration date the company will not cancel or reduce the insurance afforded under the above policy(ies) until at least 30 days notice of such cancellation has been mailed to:

Certificate Holder:

Martin Oosterbaan
 Authorized Representative

Office: St. Louis, MO 12/15/00
 Phone: (877) 427-5567 Date Issued

PRODUCER

ACORDIA-WPB DIVISION
501 S. FLAGLER DR. #600
WEST PALM BEACH FL 33401

INSURED
CAMPANY ROOFING INC
917 28TH ST
WEST PALM BEACH, FL 33407

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

- COMPANY LETTER **A** ADMIRAL INSURANCE
- COMPANY LETTER **B** THE HARTFORD & PROGRESSIVE COMPANIES
- COMPANY LETTER **C** LLOYDS
- COMPANY LETTER **D** HARTFORD INSURANCE
- COMPANY LETTER **E**

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR. <input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT. <input checked="" type="checkbox"/> BLANKET ADD'L INSUREDS	A01AG11601	10/01/01	10/01/02	GENERAL AGGREGATE \$ 1,000,000 PRODUCTS-COMP/OP AGG. \$ 1,000,000 PERSONAL & ADV. INJURY \$ 1,000,000 EACH OCCURRENCE \$ 1,000,000 FIRE DAMAGE (Any one fire) \$ 50,000 MED.EXP. (Any one person) \$
B	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS <input type="checkbox"/> GARAGE LIABILITY	21UENUT6642 BINDER52763	10/01/01 10/01/01	10/01/02 10/01/02	COMBINED SINGLE LIMIT \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	EXCESS LIABILITY <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$
	WORKER'S COMPENSATION AND EMPLOYERS' LIABILITY				STATUTORY LIMITS EACH ACCIDENT \$ DISEASE-POLICY LIMIT \$ DISEASE-EACH EMPLOYEE \$
D C C	OTHER EQUIPMENT BUILDINGS CONTENTS	BINDER52763 BINDER52761 BINDER52761	10/01/01 10/01/01 10/01/01	10/01/02 10/01/02 10/01/02	\$ 94,993.- SPECIAL \$328,528.- SPECIAL \$135,000.- SPECIAL

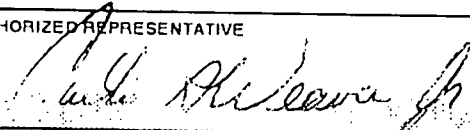
DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

CERTIFICATE HOLDER

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE



BUILDING PERMIT APPLICATION

RECEIVED
APR 28 2000
BY:

Owner's Name: MR+MRS Nick Smith Phone No. 845-2900
Owner's Present Address: 107 Bow Spent Rd, North Palm Beach, Fla 33403
Fee Simple Titleholder's Name & Address if other than owner: N/A

Location of Job Site: 133 South River Road
TYPE OF WORK TO BE DONE: CONSTRUCTION OF NEW SINGLE FAMILY RESIDENCE & POOL

CONTRACTOR INFORMATION
Contractor/Company Name: MACARI BUILDING & DESIGN INC Phone No. 745-0394
COMPLETE MAILING ADDRESS: 18561 LAKESIDE GARDENS DRIVE JUPITER FL 33458
State Registration: CGC-023754 State License: _____

Legal Description of Property: SEE ATTACHED.
Parcel Number: Property ID # 13-38-41-000-000-00030-10000

ARCHITECT/ENGINEER INFORMATION

Architect: Wessell Associates AIA Phone No. 747-4950
Address: 900 South U.S. Highway 01E Suite 104, Jupiter Fla 33477

Engineer: GOLD SMITH ENGINEERS P/E Phone No. _____
Address: 17212 130th AVE N. Jupiter FL 33478

Area Square Footage: Living Area 8762 Garage Area 1915 Carport _____
Accessory Bldg. _____ Covered Patio 680 Scr. Porch _____ Wood Deck _____
Type Sewage: SEPTIC TANK Septic Tank Permit # from Health Dept. _____
NEW electrical SERVICE SIZE 600 AMPS

FLOOD HAZARD INFORMATION

flood zone C minimum Base Flood Elevation (BFE) 28.8 NGVD
proposed finish floor elevation 15.6 NGVD (minimum 1 foot above BFE)
Cost of construction or Improvement: \$1,550,000
Fair Market Value (FMV) prior to improvement: - Vacant Lot
Substantial Improvement 50% of FMV: yes / No
Method of determining FMV: _____

SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)

Electrical: Dubay Electric State License ME-00476
Mechanical: NIS AIR State License # CACO#41199
Plumbing: ARROW PLUMBING State License # CFC029692
Roofing: CAMPANY ROOFING State License # CC-1051537

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER/CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE: Stephen J. Macari 2000
I was sworn to and subscribed before me this 27th day of April, 1998 by Stephen J. Macari who is personally known to me or has produced or has produced _____ and who did (did not) take an oath _____

CONTRACTOR SIGNATURE: Stephen J. Macari
I was sworn to and subscribed before me this 27th day of April, 1998 by Stephen J. Macari who is personally known to me or has produced _____ and who did (did not) take an oath _____

Kathy E. Snow
Kathy E. Snow
MY COMMISSION # CC766249 EXPIRES August 10, 2002
BONDED THRU TROY FAIN INSURANCE, INC.

TREE REMOVAL (Attach sealed survey)
No. of trees to be removed 98 No. to be retained 58 No. to be planted 98
Specimen tree removed _____ Fee _____ Authorized/Date _____
DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE:

- A. Property Appraiser's Parcel Number.
 - B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
 - C. Contractor's name, address, phone number & license numbers.
 - D. Name all sub-contractors (properly licensed).
 - E. Current Survey
 - F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:
1. Floor Plan
 2. Foundation Details
 3. Elevation Views - Elevation Certificate due after slab inspection.
 4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
 5. Truss layout
 6. Vertical Wall Sections (one detail for each wall that is different)
 7. Fireplace drawing: If prefabricated submit manufacturers data.

ADDITIONAL Required Documents are:

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official _____

Approved by Town Engineer _____

April 17, 2000

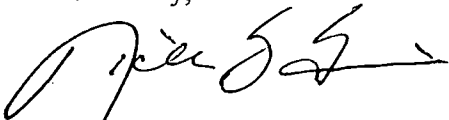
Town of Sewalls Point
Building Department

To Whom It May Concern:

Please accept this letter as authorization for Stephen Macari of Macari Building & Design, Inc. to act as our agent in all respects of construction permitting.

This address of our new residence is 133 South River Road in Sewalls Point.

Sincerely,



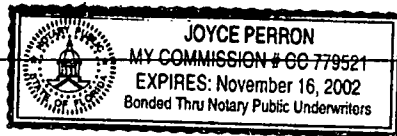
Nicholas S. Smith

Sworn to and subscribed before me this 17th day of Apr, 2000.

Notary Joyce Perron

Know Personally/D.D. Shown _____

My commission expires: _____



Permit # _____

Tax Folio # _____

NOTICE OF COMMENCEMENT

State of Florida
County of Martin

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real-property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of commencement.

1. Description of property: 133 South River Road, Sewells Point - See attached for legal description
2. General description of improvement: Construction for new single family home
3. Owner information:
 - a. Name & Address: Nicholas & Jan Smith
107 Bowsprit Drive, North Palm Beach, FL 33408
 - b. Interest In Property: Owner
 - c. Name & Address of fee simple titleholder (other than owner):

4. Contractor's Name & Address: MACARI BUILDING & DESIGN INC
18561 LAKESIDE GARDENS DRIVE JUPITER FLA 33458
 - a. Phone number: 561-745-0394
 - b. Fax number: 561-745-9385
5. Surety Information:
 - a. Name & Address: N/A
 - b. Phone number: _____
 - c. Fax number: _____
 - d. Amount of Bond: \$ _____
6. Lender's Name & Address: N/A
 - a. Phone number: _____
 - b. Fax number: _____
7. Person within the State of Florida designated by owner upon whom notices or other documents may be served as provided by 713.13 (1) (a), 7 Florida Statutes:
Name & Address: Steve Macari, Macari Building & Design, Inc.
18561 Lakeside Gardens Drive, Jupiter, FL 33458
 - a. Phone number: (561) 745-0394
 - b. Fax number: _____
8. In addition to himself, owner designates Jim Everhart of Sommers & Everhart, P.A. to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (b), Florida Statutes.
9. Expiration date of Notice of Commencement (the expiration date is one (1) year from the date of recording unless a different date is specified): _____

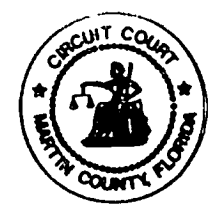
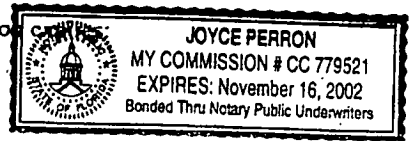
(signature of owner) [Signature]

Sworn to and subscribed before me
this 17th day of April, ~~19~~ 2000.

Notary [Signature]

Known Personally/ I.D. Shown _____

My commission



7/7/02

133 S. RIVER RD
MAGGIE BLUES
(MICK SMITH)

FILE

PERMIT FEE CALCULATIONS:

w/IMPACT FEE w/o IMPACT FEE

BUDG. FEE (\$1,550,000 @ 9.60/1000)	\$ 14,880.00	\$ 14,880.00
RADIO/PROF REG. SUR. (7,199 SF)	71.99	71.99
IMPACT FEE (\$2,500 SF)	4,514.30	
A/C	20.00	20.00
ELECT.	120.00	120.00
PLUMB.	120.00	120.00
REG.	120.00	120.00

SUB-TOTAL (BUDG./IMPACT/SUR.)	\$ 19,946.29	\$ 19,946.29
PLAT REVIEW (PD. CR# 5749)	1,488.00	1,488.00
TOTAL (COLLECTED BY SQUAD) (PD. DIRECT M.C.)	\$ 21,434.29	\$ 16,919.99
SCHOOL IMPACT (PD. DIRECT M.C.)	1,006.03	
TOTAL - ALL FEES	\$ 22,440.32	\$ 16,919.99

TOTAL IMPACT FEES	\$ 5,520.33	
-------------------	-------------	--

copy
6/20/96
DEVELOPED PD 4005
ORIG. RESUME FOR
ATTACHED

3,838
627
17
824
339
139
1915
7,199 SF
UNDER FOOT
(A/C & PLUMB)
+ PLUMB

a copy of the permit issued by the municipality, and if relevant, the date on which the municipality forwarded the funds to Martin County. If the impact fee revenues have been expended or encumbered, upon application and at the option of the feepayer:

1. The feepayer shall receive a full monetary credit in the amount of the prepaid fee which shall remain valid and run with the land for a period of ten (10) years from the date of receipt of the credit; or
2. The fee payer and Martin County shall enter into a Cost Reimbursement Agreement in which the feepayer shall be repaid up to the full amount of the fee paid by the feepayer less the administrative charge of three percent (3%) to offset the cost of collection and refund, based upon the County's receipt of other applicable fees over the next five years from the benefit district in which the property subject to the refund is located and provided that the timely and efficient provision of programmed facilities in the benefit district are not adversely impacted.

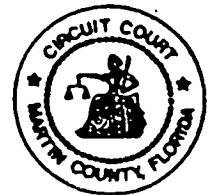
B. Any funds not expended, or encumbered, or programmed in the Capital Improvements Plan by the end of the calendar quarter immediately following (six) 6 years from the date the impact fee was paid shall, upon application of the feepayer within one hundred eighty (180) days of that date, be returned to the feepayer with interest. Any impact fees prepaid pursuant to the Article 5, Adequate Public Facilities, shall be refunded pursuant to the provisions of that Article.

*RE: 133 S. RIVER RD
BANK OF*

Section 6.11. Exemptions, Credits, and Deferrals.

A. Exemptions.

The following shall be exempted from payment of impact fees:



1. Alteration, expansion or replacement of an existing residential building where no additional living units are created, where the use is not changed, and no additional vehicular trips will be produced over and above that produced by the existing use.
2. Alteration, remodeling or replacement of an existing nonresidential building or structure where the use is not changed and the square footage and/or parking is not increased.
3. The construction of accessory buildings or structures that do not create an additional impact on public capital facilities or produce additional vehicular trips over and above that produced by the principal building or use of the land.

*7/13/00
MUST PRESENT "CLEAR EVIDENCE" OF PRIOR EXISTG. RESID. STRUCTURE
- BLDG. PERMIT/C.O.
- DEMO. "
- TAX ASSESSOR RCD.
DATE OF CONSTRUCTION OR DEMOLITION IS NOT RELEVANT.*

An exemption must be claimed by the feepayer prior to the issuance of a building permit. Any exemption not so claimed shall be deemed waived by the feepayer.

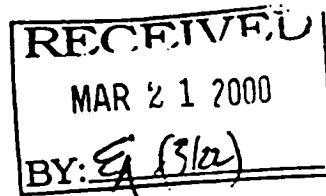
"JENNIFER" M.C. 288-5504 - had reviewed w/ r/nm.

March 21, 2000

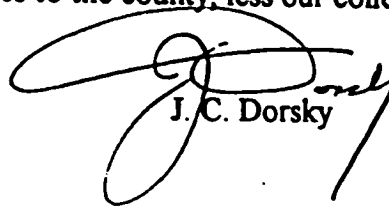
Town Manager's Memorandum

To: Building Official
Town Clerk

Subject: Collection of County Impact Fees



I have recently reviewed the inter-local agreement that Sewall's Point has with Martin County and find that the Town has agreed to collect the impact fees subject to the percentage reductions contained in the agreement. We will have an opportunity to adjust those percentages in the near future. In the meantime, we are obligated to collect the sums as prescribed in the new schedule that was sent to the town. Beginning with the date the schedule was received, collect the amount indicated and forward the impact fees to the county, less our collection percentage.



J. C. Dorsky

Figure 6.1

Martin County Impact Fee Schedule

MARTIN COUNTY SCHOOL IMPACT FEE SCHEDULE										
Martin County Ordinance 474 - 1999										
Residential Occupied *	Units	Martin County			Martin Downs					
800 sf & Under	Dwelling	\$628.26			\$448.18					
801 to 1,100 sf	Dwelling	\$938.23			\$685.16					
1,101 to 2,300 sf	Dwelling	\$973.18			\$689.63					
2,301 sf & over	Dwelling	\$1,008.03			\$712.62					
*Applies to Residential Dwellings only										
Add School Impact Fees to Fees Imposed under MC Ordinance 562										
MARTIN COUNTY IMPACT FEE SCHEDULE										
Martin County Ordinance 562 - 1999										
Land Use	Units	Emergency Services	Corrections & Law Enforcement	Public Buildings	Parks & Recreation	Library	Transportation	Total Fees	Fees With 3% Admin. Charge	
Residential Occupied *										
800 sf & Under	Dwelling	\$68.68	\$87.66	\$178.74	\$838.85	\$180.73	\$1,360.00	\$2,708.66	\$2,789.92	
801 to 1,100 sf	Dwelling	\$99.35	\$130.61	\$283.34	\$1,246.91	\$269.29	\$2,026.40	\$4,035.90	\$4,156.98	
1,101 to 2,300 sf	Dwelling	\$103.27	\$135.76	\$273.72	\$1,296.07	\$279.91	\$2,150.38	\$4,239.11	\$4,366.29	
2,301 sf & over	Dwelling	\$106.77	\$140.37	\$283.00	\$1,340.01	\$289.40	\$2,223.27	\$4,392.82	\$4,514.30	
Residential Transient, Assisted, Group										
Hotel	Room	\$28.68	\$37.70	\$152.03	\$444.58	\$96.02	\$1,097.47	\$1,858.48	\$1,912.16	
Motel	Room	\$28.68	\$37.70	\$152.03	\$444.58	\$96.02	\$618.27	\$1,377.28	\$1,418.59	
Nursing Home	Bed	\$76.08	\$100.02	\$265.25	\$0.00	\$141.20	\$213.96	\$796.51	\$820.41	
Adult Congregate Living Facility	Bed	\$76.08	\$100.02	\$265.25	\$0.00	\$141.20	\$185.58	\$748.13	\$770.58	
Office and Financial										
Medical Office	1,000 sf	\$103.96	\$138.68	\$551.15			\$5,323.54	\$6,115.33	\$6,298.80	
Bank	1,000 sf	\$148.71	\$195.51	\$790.67			\$6,337.14	\$7,472.03	\$7,696.19	
Bank w/ Drive-In	1,000 sf	\$137.52	\$180.80	\$730.21			\$10,740.50	\$11,789.03	\$12,142.70	
Office Under 10,000 GSF	1,000 sf	\$119.75	\$157.44	\$637.19			\$3,158.28	\$4,070.64	\$4,192.77	
Office Over 10,001 GSF	1,000 sf	\$70.41	\$92.56	\$372.08			\$1,849.98	\$2,395.03	\$2,456.58	
Industrial										
Manufacturing	1,000 sf	\$29.61	\$38.93	\$158.13			\$532.55	\$759.22	\$782	
Warehouse	1,000 sf	\$23.69	\$31.14	\$123.25			\$680.33	\$858.41	\$884.16	
Mini-Warehouse	1,000 sf	\$5.92	\$7.79	\$32.56			\$348.53	\$394.60	\$406.64	
General Industrial	1,000 sf	\$40.80	\$53.63	\$213.95			\$971.69	\$1,280.07	\$1,318.47	
* each living unit as defined in the ordinance will be assessed as 1 dwelling (for example, a 2,300sf house with a 801sf guest house will be assessed \$4,366.29 plus \$4,156.98 for a total impact fee of \$8,523.27).										

W. W. Schaefer Engineering & Consulting, P.A.

600 Sandtree Drive; Suite 203-B
Palm Beach Gardens, FL 33403
Phone (561)775-4902; Fax (561)775-4903

November 12, 2002

Miller Custom Metals
1224 Pope Lane
Lake Worth, FL 33460
Attn: Johnny M. Miller

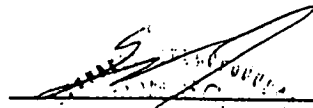
Re: Aluminum framed wood garage doors for the Smith residence, 133 River Road, Sewalls Point, Florida. Doors to be fabricated by Miller's Custom Metals, Lake Worth, Florida.

Note the following with regards to the proposed doors:

1. Attached drawing 0001 sheets 1 through 7 shall apply.
2. All tubes joints shall be fully welded (groove & fillet welds).
3. Inner & outer base skin shall consist of min. 5/8" CDX or P.T. plywood secured to all aluminum frame members with No. 8" S.S. SMS or TEK screws (length as required for full tube wall penetration) at all plywood corners and spaced max. 8" O.C. at edges & 12" O.C. in field along all horizontal & vertical tube framing members. Note that if seams exist between plywood sections on a door panel, the seam must exist at a tube frame member and the plywood must span minimum two spans.
4. The outside of the door shall have an exterior skin applied to the plywood consisting of 1" cypress nailed & continuously glued to the plywood (nails are to set the skin and hold while glue cures). The glue must be a structural adhesive and show that it can properly withstand the elements, without breaking down, over the life span of the door. If seams exist in the cypress, those seams must be perpendicular to the plywood seams or be positioned away from the plywood seams minimum 24".
5. Locks consist of 3/4" diameter stainless steel bars and other stainless steel operating and supporting hardware as shown on drawings sheets 5 through 7.

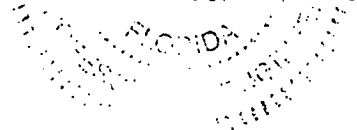
Providing the above proposed doors are fabricated & installed in accordance with this letter and the attached drawing sheets, they will be acceptable for installation at the stated residence as impact resistant garage doors and will withstand design pressures of +/-50 psf (required design pressures have been specified by others as +42.2/-49.2 psf).

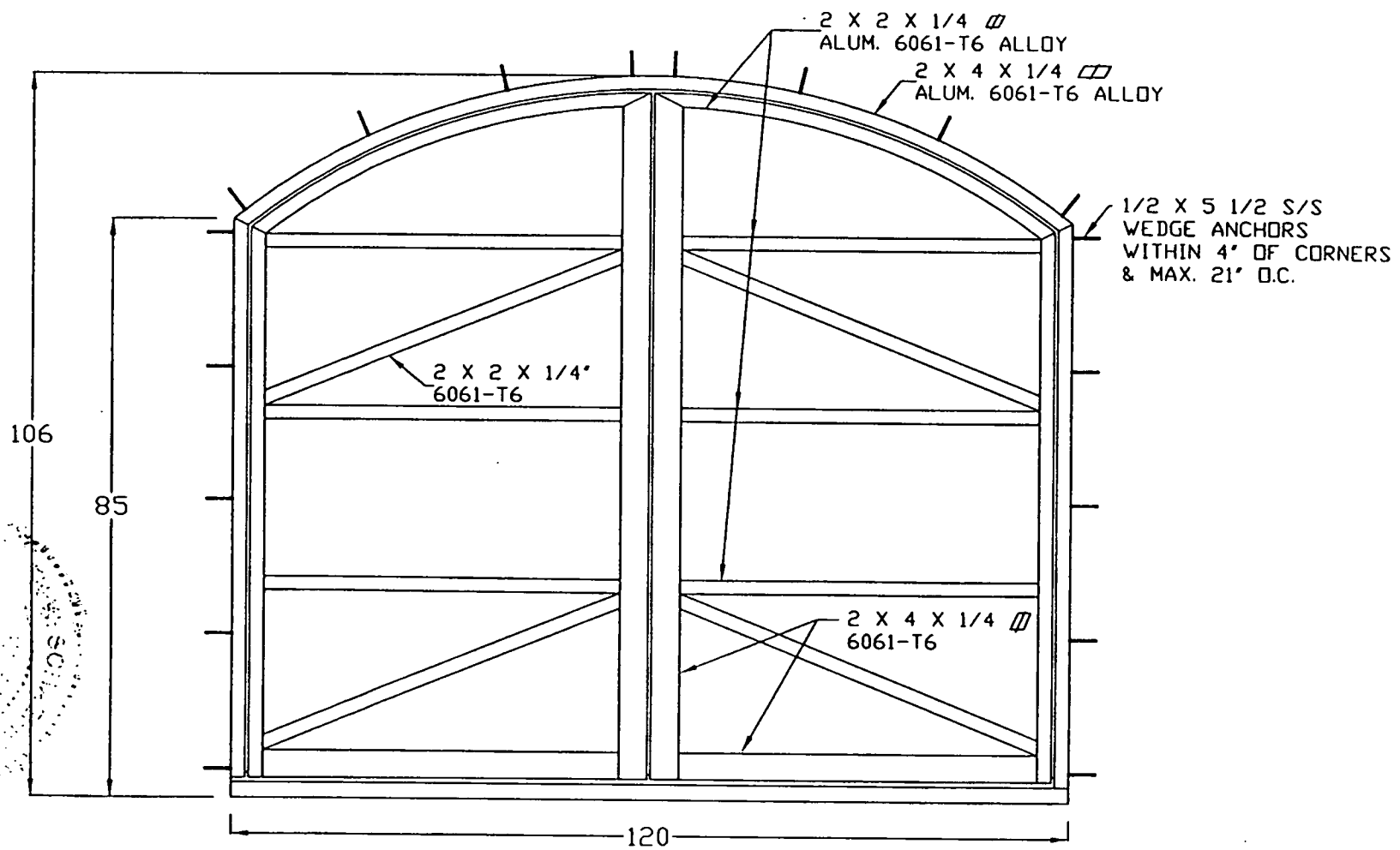
If I can be of further assistance, please call.


Warren W. Schaefer, P.E.
Florida P.E. No. 44135

NOV 14 2002

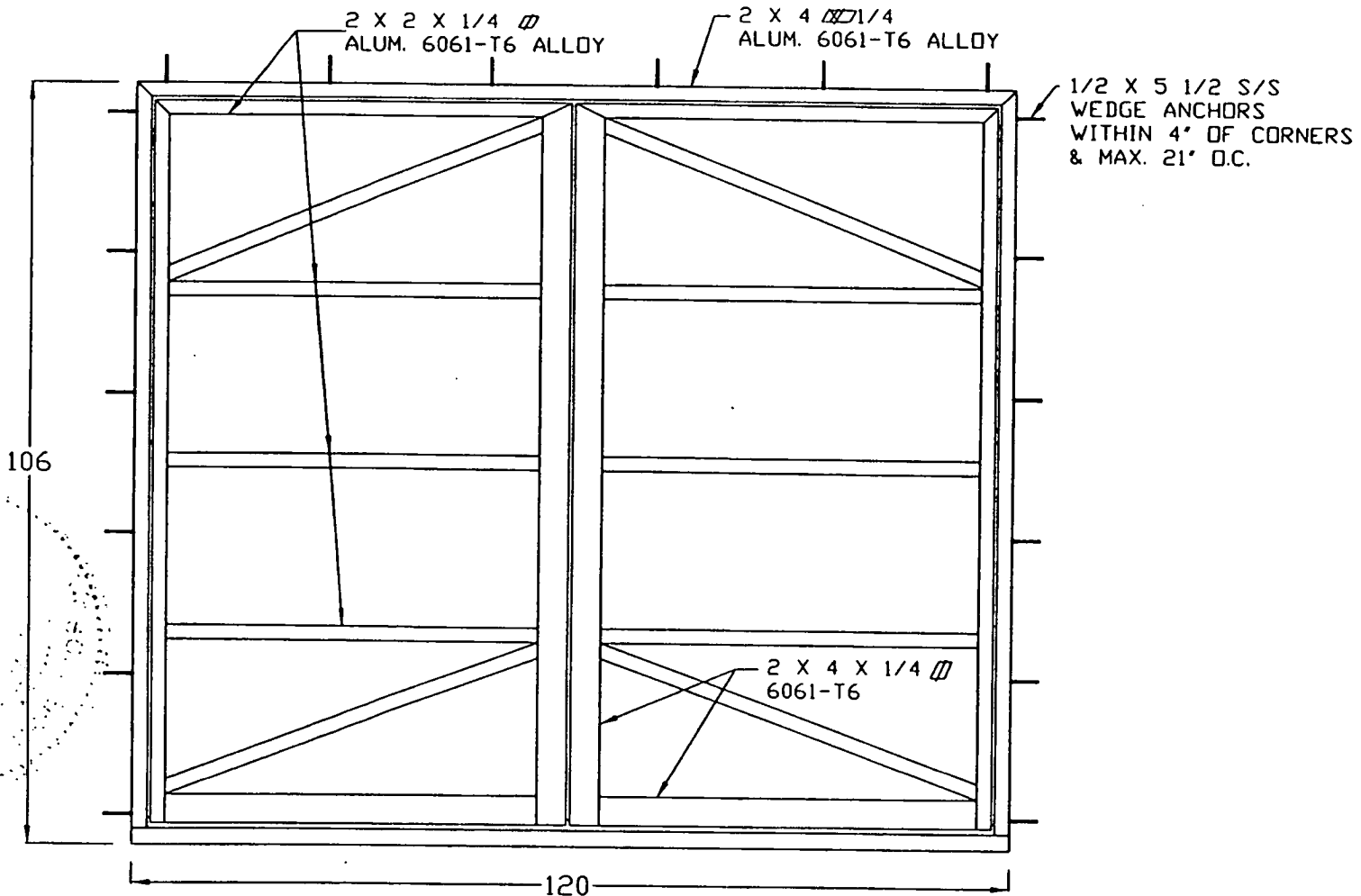
STATE OF





NOV 14 2002

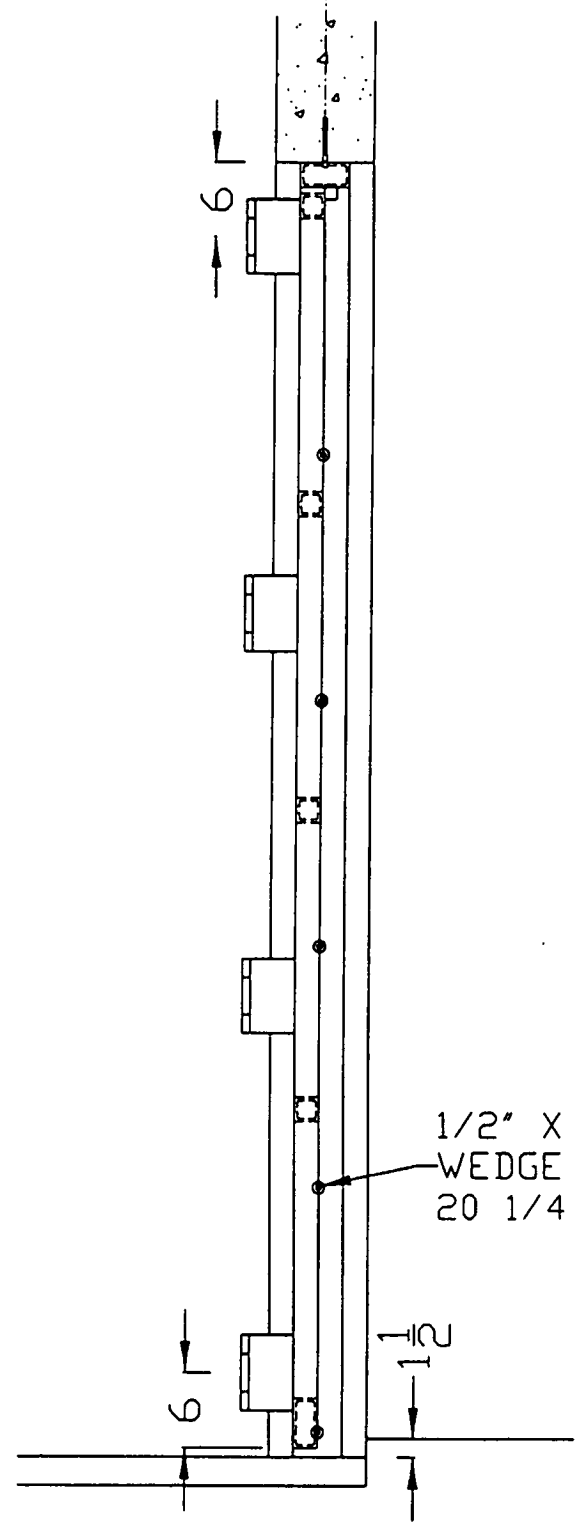
MILLER'S CUSTOM METALS	JOB: SMITH RES. 133 RIVER RD. SEWALLS POINT	G.C.: MACARI BLDG & DESIGN
DWG. NO. 0001_1	GARAGE DOORS	DATE: 5/13/02



[Signature]
NOV 14 2002

MILLER'S CUSTOM METALS	JOB: SMITH RES. 133 RIVER RD. SEWALLS POINT	G.C.: MACARI BLDG & DESIGN
DWG. NO. 0001_2	GARAGE DOORS	DATE: 5/4/02

CENTERLINE
BEAM +/- 1/2"



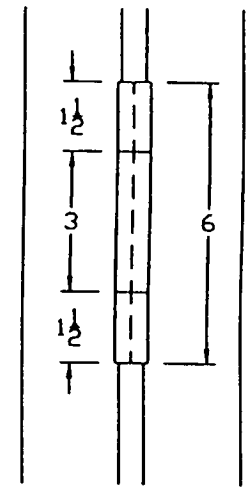
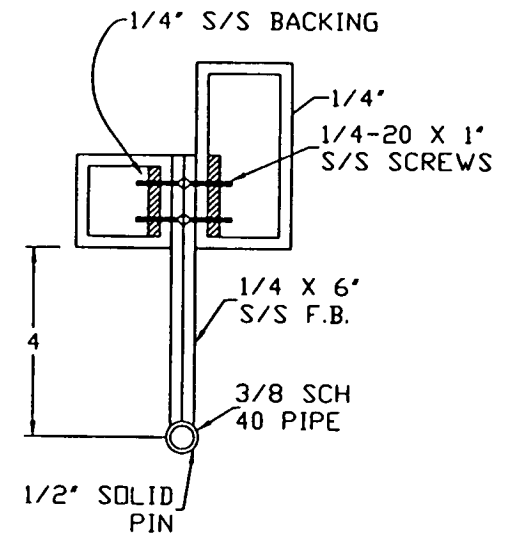
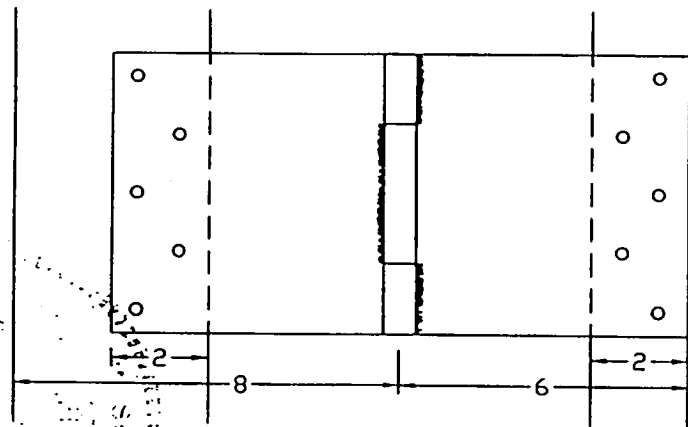
1/2" X 5 1/2" S/S
WEDGE ANCHOR
20 1/4 ±0/C

NOV 14 2002
[Signature]

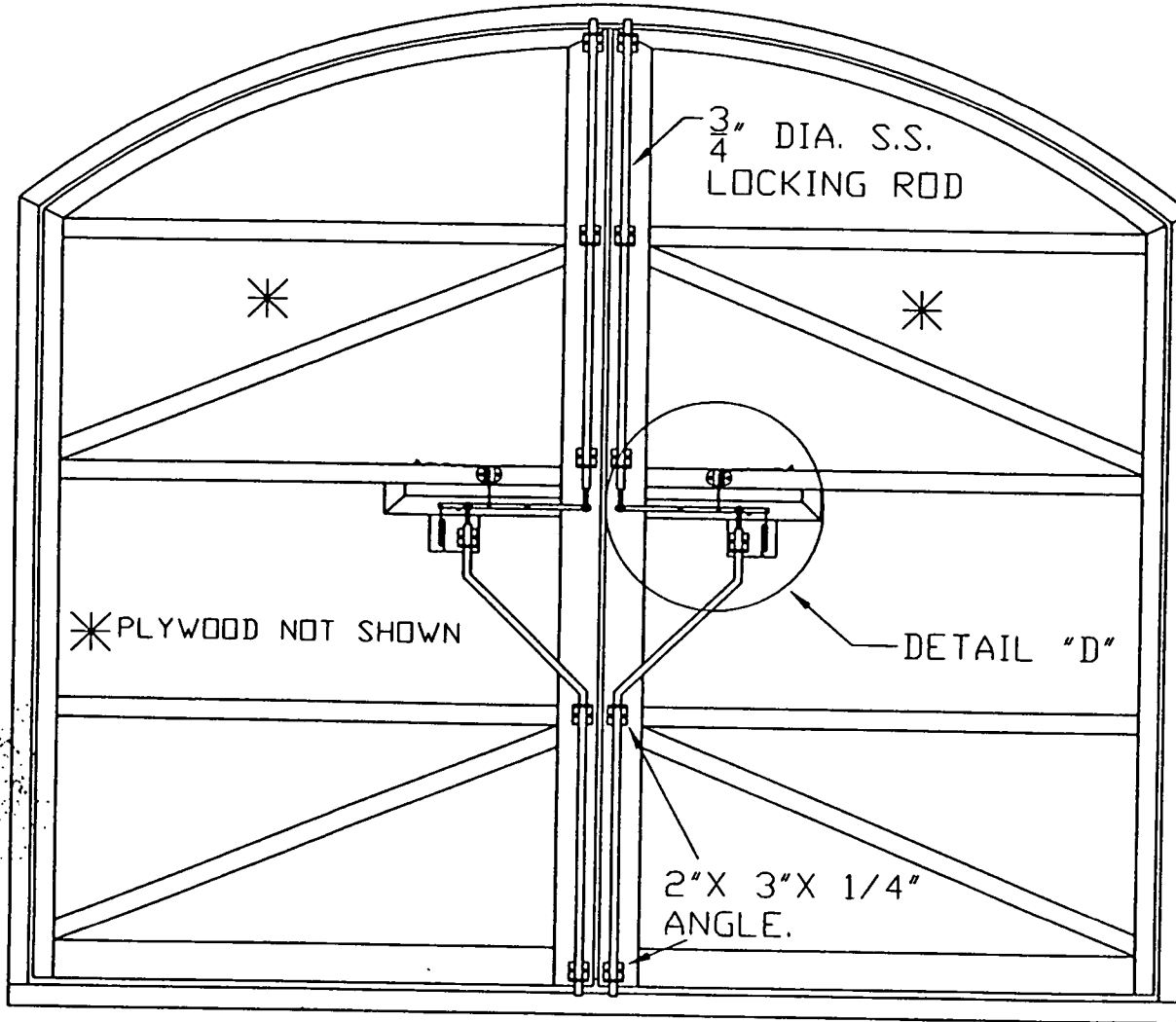
MILLER'S CUSTOM METALS	JOB SMITH RES. 133 RIVER RD. SEWALLS PT.	GC: MACARI BLDG & DESIGN
DWG. NO. 0001 3	GARAGE DOORS	DATE: 5/4/02

Handwritten signature

NOV 14 2002



MILLER'S CUSTOM METALS	JOB: SMITH RES. 133 RIVER RD. SEWALLS POINT	GC: MACARI BLDG & DESIGN
DWG. NO. 0001_4	SHOP FABRICATED HINGE	DATE: 5/13/02



[Handwritten signature]

NOV 14 2002

MILLER'S CUSTOM METALS

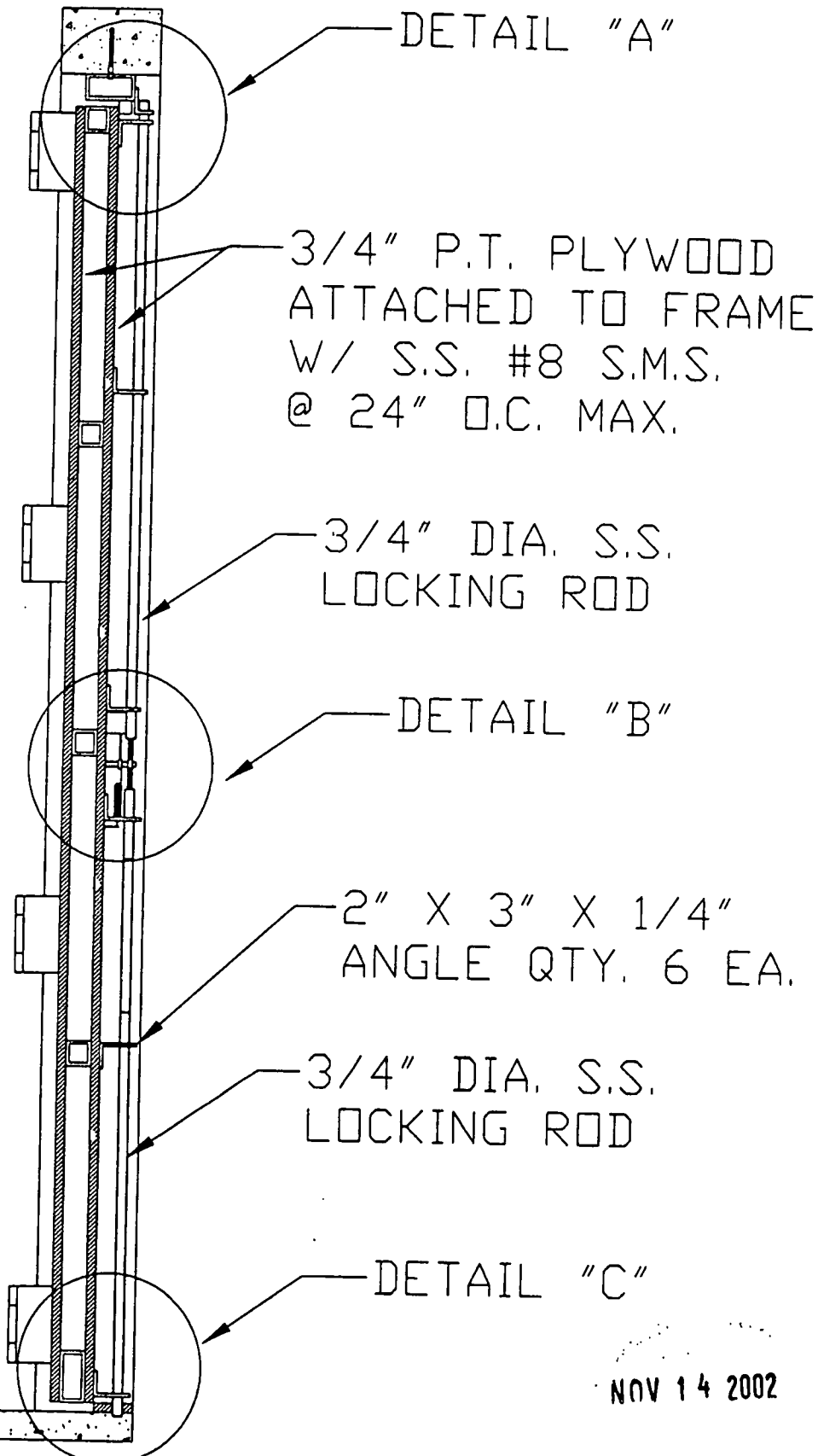
JOB: SMITH RES. 133 RIVER RD.
SEVALLS POINT

G.C. MACARI BLDG & DESIGN

DWG. NO.
0001_5

GARAGE DOOR LOCKS

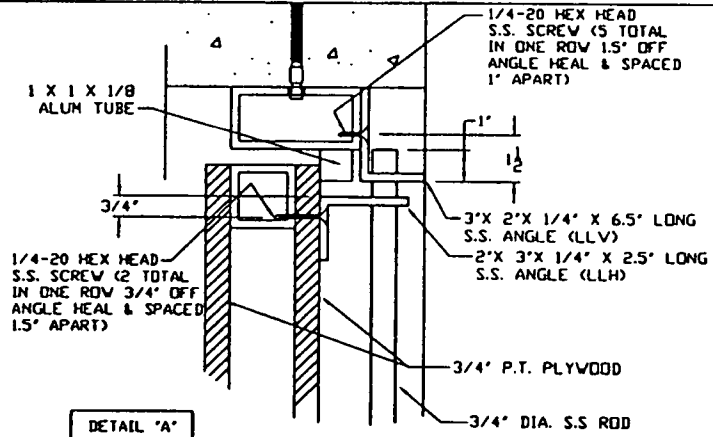
DATE: 11/12/02



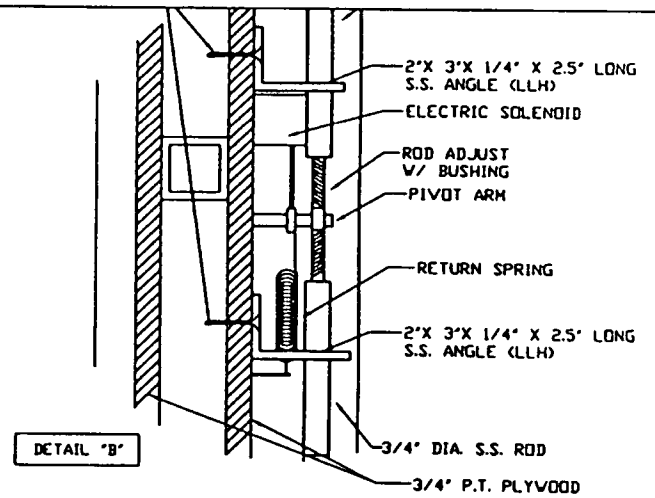
NOV 14 2002

MILLER'S CUSTOM METALS	JOB SMITH RES. 133 RIVER RD. SEVALLS PI.	GC MACARI BLDG & DESIGN
	GARAGE DOOR LOCK	DATE: 11/12/02

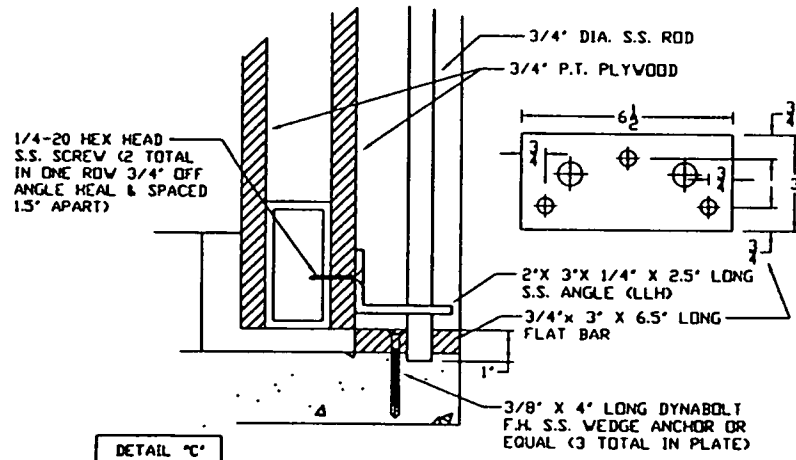
0001-6



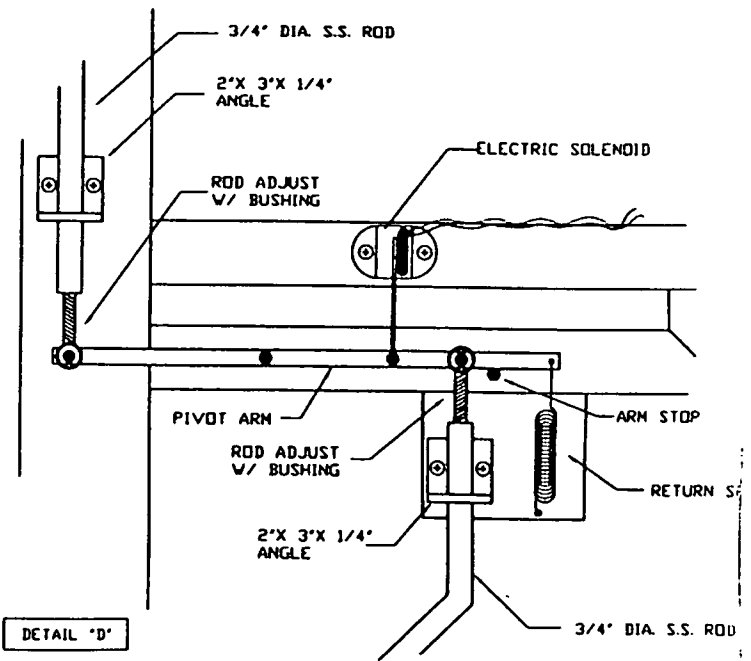
DETAIL 'A'



DETAIL 'B'



DETAIL 'C'



DETAIL 'D'

NOV 14 2002

0001-7

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE SCORE^a = 86.4
 The higher the score, the more efficient the home.

MR. & MRS. SMITH, SO. RIVER ROAD, SEWALL'S POINT, FL,

<p>1. New construction or existing New <input type="checkbox"/></p> <p>2. Single family or multi-family Single family <input type="checkbox"/></p> <p>3. Number of units, if multi-family 1 <input type="checkbox"/></p> <p>4. Number of Bedrooms 2 <input type="checkbox"/></p> <p>5. Is this a worst case? No <input type="checkbox"/></p> <p>6. Conditioned floor area (ft²) 1710 ft² <input type="checkbox"/></p> <p>7. Glass area & type</p> <p style="padding-left: 20px;">a. Clear - single pane 0.0 ft² <input type="checkbox"/></p> <p style="padding-left: 20px;">b. Clear - double pane 0.0 ft² <input type="checkbox"/></p> <p style="padding-left: 20px;">c. Tint/other SC/SHGC - single pane 12.5 ft² <input type="checkbox"/></p> <p style="padding-left: 20px;">d. Tint/other SC/SHGC - double pane 0.0 ft² <input type="checkbox"/></p> <p>8. Floor types</p> <p style="padding-left: 20px;">a. Slab-On-Grade Edge Insulation R=0.0, 179.0(p) ft <input type="checkbox"/></p> <p style="padding-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="padding-left: 20px;">c. N/A <input type="checkbox"/></p> <p>9. Wall types</p> <p style="padding-left: 20px;">a. Concrete, Int Insul, Exterior R=5.0, 1326.0 ft² <input type="checkbox"/></p> <p style="padding-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="padding-left: 20px;">c. N/A <input type="checkbox"/></p> <p style="padding-left: 20px;">d. N/A <input type="checkbox"/></p> <p style="padding-left: 20px;">e. N/A <input type="checkbox"/></p> <p>10. Ceiling types</p> <p style="padding-left: 20px;">a. Under Attic R=19.0, 1710.0 ft² <input type="checkbox"/></p> <p style="padding-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="padding-left: 20px;">c. N/A <input type="checkbox"/></p> <p>11. Ducts</p> <p style="padding-left: 20px;">a. Sup: Con. Ret: Con. AH: Garage Sup. R=6.5, 50.0 ft <input type="checkbox"/></p> <p style="padding-left: 20px;">b. N/A <input type="checkbox"/></p>	<p>12. Cooling systems</p> <p style="padding-left: 20px;">a. Central Unit Cap: 18.0 kBtu/hr <input type="checkbox"/></p> <p style="padding-left: 20px;">SEER: 10.00 <input type="checkbox"/></p> <p style="padding-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="padding-left: 20px;">c. N/A <input type="checkbox"/></p> <p>13. Heating systems</p> <p style="padding-left: 20px;">a. Electric Strip Cap: 18.0 kBtu/hr <input type="checkbox"/></p> <p style="padding-left: 20px;">COP: 1.00 <input type="checkbox"/></p> <p style="padding-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="padding-left: 20px;">c. N/A <input type="checkbox"/></p> <p>14. Hot water systems</p> <p style="padding-left: 20px;">a. Electric Resistance Cap: 50.0 gallons <input type="checkbox"/></p> <p style="padding-left: 20px;">EF: 0.88 <input type="checkbox"/></p> <p style="padding-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="padding-left: 20px;">c. Conservation credits <input type="checkbox"/></p> <p style="padding-left: 40px;">(HR-Heat recovery, Solar DHP-Dedicated heat pump)</p> <p>15. HVAC credits CF. <input type="checkbox"/></p> <p style="padding-left: 20px;">(CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, RB-Attic radiant barrier, MZ-C-Multizone cooling, MZ-H-Multizone heating)</p>
--	--

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: Stephen J. Macari Date: 4-26-2000
 Address of New Home: 133 So River Rd City/FL Zip: Sewalls Pt, FL



**NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStar[®] designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 407/638-1492 or see the Energy Gauge web site at www.fsec.ucf.edu for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.*

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name: THE SMITH GARAGE Address: SO. RIVER ROAD City, State: SEWALL'S POINT, FL Owner: MR. & MRS. SMITH Climate Zone: South	Builder: MACARI Permitting Office: Permit Number: Jurisdiction Number:
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<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">1. New construction or existing</td> <td style="width: 50%; text-align: right;">New</td> <td style="width: 50%; text-align: right;">___</td> </tr> <tr> <td>2. Single family or multi-family</td> <td style="text-align: right;">Single family</td> <td style="text-align: right;">___</td> </tr> <tr> <td>3. Number of units, if multi-family</td> <td style="text-align: right;">1</td> <td style="text-align: right;">___</td> </tr> <tr> <td>4. Number of Bedrooms</td> <td style="text-align: right;">2</td> <td style="text-align: right;">___</td> </tr> <tr> <td>5. Is this a worst case?</td> <td style="text-align: right;">No</td> <td style="text-align: right;">___</td> </tr> <tr> <td>6. Conditioned floor area (ft²)</td> <td style="text-align: right;">1710 ft²</td> <td style="text-align: right;">___</td> </tr> <tr> <td>7. 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Glass/Floor Area: 0.01	Total as-built points: 19713.00	PASS
	Total base points: 25530.00	

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: JOSE


DATE: 4-20-2000

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____

DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes



BUILDING OFFICIAL: [Signature]

DATE: 10/22/03

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: SO. RIVER ROAD, SEWALL'S POINT, FL,	PERMIT #:
--	-----------

BASE	AS-BUILT
GLASS TYPES	
.18 X Conditioned X BSPM = Points Floor Area	Type/SC Overhang Ornt Len Hgt Area X SPM X SOF = Points
.18 1710.0 93.20 16375.8	Single, Tint E 1.0 7.0 12.5 61.31 0.98 752.5
	As-Built Total: 12.5 752.5
WALL TYPES Area X BSPM = Points	Type R-Value Area X SPM = Points
Adjacent 0.0 0.0 0.0	Concrete, Int Insul, Exterior 5.0 1326.0 2.00 2652.0
Exterior 1326.0 2.70 3580.2	
Base Total: 1326.0 3580.2	As-Built Total: 1326.0 2652.0
DOOR TYPES Area X BSPM = Points	Type Area X SPM = Points
Adjacent 0.0 0.00 0.0	Exterior Wood 48.0 9.40 451.2
Exterior 430.0 6.40 2752.0	Exterior Wood 132.0 9.40 1240.8
	Exterior Wood 90.0 9.40 846.0
	Exterior Wood 160.0 9.40 1504.0
Base Total: 430.0 2752.0	As-Built Total: 430.0 4042.0
CEILING TYPES Area X BSPM = Points	Type R-Value Area X SPM = Points
Under Attic 1710.0 0.80 1368.0	Under Attic 19.0 1710.0 1.50 2565.0
Base Total: 1710.0 1368.0	As-Built Total: 1710.0 2565.0
FLOOR TYPES Area X BSPM = Points	Type R-Value Area X SPM = Points
Slab 179.0(p) -20.0 -3580.0	Slab-On-Grade Edge Insulation 0.0 179.0(p) -20.00 -3580.0
Raised 0.0 0.00 0.0	
Base Total: -3580.0	As-Built Total: -3580.0
INFILTRATION Area X BSPM = Points	Area X SPM = Points
1710.0 18.79 32130.9	1710.0 18.79 32130.9
Summer Base Points: 52626.9	Summer As-Built Points: 38562.4
Total Summer X System = Cooling Points Multiplier Points	Total X Cap X Duct X System X Credit = Cooling Component Ratio Multiplier Multiplier Multiplier Points
52626.9 0.3560 18735.2	38562.4 1.000 1.000 0.341 0.950 12492.3
	38562.4 1.00 1.000 0.341 0.950 12492.3

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: SO. RIVER ROAD, SEWALL'S POINT, FL,	PERMIT #:
--	-----------

BASE	AS-BUILT
GLASS TYPES	
18 X Conditioned X BWPM = Points Floor Area	Overhang Type/SC Ornt Len Hgt Area X WPM X WOF = Points
.18 1710.0 2.02 923.4	Single, Tint E 1.0 7.0 12.5 3.99 1.01 50.5
	As-Built Total: 12.5 50.5
WALL TYPES Area X BWPM = Points	Type R-Value Area X WPM = Points
Adjacent 0.0 0.0 0.0	Concrete, Int Insul, Exterior 5.0 1326.0 0.80 1193.4
Exterior 1326.0 0.60 795.6	
Base Total: 1326.0 795.6	As-Built Total: 1326.0 1193.4
DOOR TYPES Area X BWPM = Points	Type Area X WPM = Points
Adjacent 0.0 0.00 0.0	Exterior Wood 48.0 2.80 134.4
Exterior 430.0 1.80 774.0	Exterior Wood 132.0 2.80 369.6
	Exterior Wood 80.0 2.80 252.0
	Exterior Wood 160.0 2.80 448.0
Base Total: 430.0 774.0	As-Built Total: 430.0 1204.0
CEILING TYPES Area X BWPM = Points	Type R-Value Area X WPM = Points
Under Attic 1710.0 0.10 171.0	Under Attic 19.0 1710.0 0.30 513.0
Base Total: 1710.0 171.0	As-Built Total: 1710.0 513.0
FLOOR TYPES Area X BWPM = Points	Type R-Value Area X WPM = Points
Slab 179.0(p) -2.1 -375.9	Slab-On-Grade Edge Insulation 0.0 179.0(p) -2.10 -375.9
Raised 0.0 0.00 0.0	
Base Total: -375.9	As-Built Total: -375.9
INFILTRATION Area X BWPM = Points	Area X WPM = Points
1710.0 -0.06 -102.6	1710.0 -0.06 -102.6
Winter Base Points: 1885.2	Winter As-Built Points: 2482.4
Total Winter X System = Heating Points Multiplier Points	Total X Cap X Duct X System X Credit = Heating Component Ratio Multiplier Multiplier Multiplier Points
1885.2 1.0900 2054.9	2482.4 1.000 1.000 1.000 1.000 2482.4
	2482.4 1.00 1.000 1.000 1.000 2482.4

WATER HEATING & CODE COMPLIANCE STATUS

Residential Whole Building Performance Method A - Details

ADDRESS: SO. RIVER ROAD, SEWALL'S POINT, FL,	PERMIT #:
--	-----------

BASE	AS-BUILT
WATER HEATING	
Number of Bedrooms X Multiplier = Total	Tank Volume EF Number of Bedrooms X Tank X Multiplier X Credit = Total Multiplier
2 2370.00 4740.0	50.0 0.88 2 1.00 2369.00 1.00 4738.0
	As-Built Total: 4738.0

CODE COMPLIANCE STATUS							
BASE				AS-BUILT			
Cooling Points	+	Heating Points	+	Hot Water Points	=	Total Points	
18735.2		2054.9		4740.0		25530.1	12492.3
							+ 2482.4
							+ 4738.0
							= 19712.7

PASS



Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: SO. RIVER ROAD, SEWALL'S POINT, FL,

PERMIT #:

6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners, utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 6-12. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

Lennox Objective Guide to Installation Comparison

 Nisair Airconditioning Inc.,
 1501 Decker Ave D-404
 Stuart, Fla
 1-407-283-0904

04/20/80

LOGIC 1000 RESIDENTIAL LOADS ANALYSIS

PAGE 1

THE SMITH GARAGE

PREPARED FOR: MR. & MRS. SMITH

PREPARED BY: JOSE

FILE TITLE: SMITHGAR
 DESIGN TEMPERATURES (DEGREES F)
 WINTER INSIDE 68 WINTER OUTSIDE 45
 SUMMER INSIDE 75 SUMMER OUTSIDE 91
 DAILY TEMPERATURE RANGE INDICATOR M
 DESIGN GRAINS RELATIVE HUMIDITY 41
 DEGREES NORTH LATITUDE 27
 SUMMER AIR CHANGES PER HOUR 0.4
 WINTER AIR CHANGES PER HOUR 0.7

			AREA SQ FT	BTUH LOSS	BTUH GAIN
ROOM --	1 GARAGE IN ZONE 1	42 X 25.5			
WALL	14B 8 INCH BLOCK R-5 INSUL OVERHANG = 1.0		190	629	337
DOOR	10D SOLID CORE		160	1,693	905
DOOR	10D SOLID CORE		90	952	509
WALL	14B 8 INCH BLOCK R-5 INSUL OVERHANG = 1.0		20	66	35
WALL	14B 8 INCH BLOCK R-5 INSUL OVERHANG = 1.0		183	604	323
WINDOW	1C SINGLE PN CLR GLASS METAL FRM FACING-E TINT-TINTED SHADING-NONE SHADING COEFFICIENT = 1 REVEAL = 7.0		13	332	1,405
WALL	14B 8 INCH BLOCK R-5 INSUL OVERHANG = 1.0		20	66	35
WALL	14B 8 INCH BLOCK R-5 INSUL OVERHANG = 4.0		100	331	177
CEILING	16G LIGHT R-30 INSULATION		1,071	813	1,131
FLOOR	22A NO EDGE INSULATION		135	2,515	0
WINTER INFILTRATION	119 CFM			3,019	
SUMMER INFILTRATION	68 CFM				
					SENSIBLE GAIN 1,200
					LATENT GAIN 1,901 L
PEOPLE	2				SENSIBLE GAIN 600
					LATENT GAIN 460 L

THE SMITH GARAGE

				AREA	BTUH	BTUH
				SO FT	LOSS	GAIN
DUCT		LOSS MULT=.20	GAIN MULT=.20		2,204	1,332
TOTAL FOR ROOM 1		8,568 CU FT		1,071		
			SENSIBLE		13,226	7,990
			LATENT			2,361 L
ROOM 2	BOAT STORAGE IN ZONE 1		40 X 16			
WALL	14B	8 INCH BLOCK R-5 INSUL		506	1,674	895
		OVERHANG = 1.0				
DOOR	10D	SOLID CORE		48	508	272
WALL	14B	8 INCH BLOCK R-5 INSUL		91	301	161
		OVERHANG = 1.0				
DOOR	10D	SOLID CORE		132	1,397	747
CEILING	16G	LIGHT R-30 INSULATION		640	486	676
FLOOR	22A	NO EDGE INSULATION		112	2,087	0
WINTER INFILTRATION		82 CFM			2,070	
SUMMER INFILTRATION		47 CFM	SENSIBLE GAIN			823
			LATENT GAIN			1,304 L
PEOPLE	1		SENSIBLE GAIN			300
			LATENT GAIN			230 L
DUCT		LOSS MULT=.20	GAIN MULT=.20		1,704	775
TOTAL FOR ROOM 2		8,640 CU FT		640		
			SENSIBLE		10,226	4,648
			LATENT			1,534 L
=====						
STRUCTURE TOTALS		17,208 CU FT		1,711		
			SENSIBLE		23,452	12,638
			LATENT			3,895 L

 MINIMUM Cooling Capacity needed is 16,533 btu
 at 91 degrees outside and 75 degrees inside

Maximum desired Sensible Cooling Capacity is 14,534 btu
 (115% of Sensible Load)

***** Version: 92.10 *****
 * This Heating and Cooling Load Computation was produced using the procedures *
 * and tables of the Air Conditioning Contractors of America's Manual J, *
 * Seventh Edition. The accuracy of the calculated loads depends upon the *
 * accuracy of the data used and the accuracy of the Manual J load calculation *
 * procedures for the given conditions. No warranty, either expressed or *
 * implied, is given by Lennox Industries Inc. with respect to the accuracy *
 * and/or sufficiency of the information provided by this report. *

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE SCORE^a = 86.3

The higher the score, the more efficient the home.

MR. & MRS. SMITH, SO. RIVER ROAD, SEWALL'S POINT, FL,

<p>1. New construction or existing New <input type="checkbox"/></p> <p>2. Single family or multi-family Single family <input type="checkbox"/></p> <p>3. Number of units, if multi-family 1 <input type="checkbox"/></p> <p>4. Number of Bedrooms 2 <input type="checkbox"/></p> <p>5. Is this a worst case? No <input type="checkbox"/></p> <p>6. Conditioned floor area (ft²) 1366 ft² <input type="checkbox"/></p> <p>7. Glass area & type <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Clear - single pane 0.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">b. Clear - double pane 0.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">c. Tint/other SC/SHGC - single pane 160.9 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">d. Tint/other SC/SHGC - double pane 0.0 ft² <input type="checkbox"/></p> <p>8. Floor types <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Slab-On-Grade Edge Insulation R=0.0, 139.0(p) ft <input type="checkbox"/></p> <p style="margin-left: 20px;">b. Raised Wood, Stem Wall R=0.0, 878.0ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>9. Wall types <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Frame, Wood, Exterior R=11.0, 847.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">b. Frame, Wood, Adjacent R=11.0, 588.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">c. Concrete, Int Insul, Exterior R=5.0, 735.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">d. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">e. N/A <input type="checkbox"/></p> <p>10. Ceiling types <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Under Attic R=30.0, 1280.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>11. Ducts <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Sup: Unc. Rct: Con. AH: Garage Sup. R=6.5, 125.0 ft <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p>	<p>12. Cooling systems <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Central Unit Cap: 30.0 kBtu/hr <input type="checkbox"/></p> <p style="margin-left: 40px;">SEER: 10.00 <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>13. Heating systems <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Electric Strip Cap: 30.0 kBtu/hr <input type="checkbox"/></p> <p style="margin-left: 40px;">COP: 1.00 <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>14. Hot water systems <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Electric Resistance Cap: 40.0 gallons <input type="checkbox"/></p> <p style="margin-left: 40px;">EF: 0.97 <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. Conservation credits <input type="checkbox"/></p> <p style="margin-left: 40px;">(HR-Heat recovery, Solar DHP-Dedicated heat pump)</p> <p>15. HVAC credits CF: <input type="checkbox"/></p> <p style="margin-left: 20px;">(CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, RB-Attic radiant barrier, MZ-C-Multizone cooling, MZ-H-Multizone heating)</p>
--	--

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: Stephen J. Macari Date: 4-26-2000

Address of New Home: 133 So. River Rd. City/FL Zip: Sewalls Pt Fl.



^aNOTE: The home's estimated energy performance score is only available through the FLARES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStar[®] designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 407/638-1492 or see the Energy Gauge web site at www.fsec.ucf.edu for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs Residential Whole Building Performance Method A

Project Name:	THE SMITH GUESTHOUSE	Builder:	MACARI BLDRS.
Address:	SO. RIVER ROAD	Permitting Office:	
City, State:	SEWALL'S POINT, FL	Permit Number:	
Owner:	MR. & MRS. SMITH	Jurisdiction Number:	
Climate Zone:	South		

<p>1. New construction or existing New <input type="checkbox"/></p> <p>2. Single family or multi-family Single family <input type="checkbox"/></p> <p>3. Number of units, if multi-family 1 <input type="checkbox"/></p> <p>4. Number of Bedrooms 2 <input type="checkbox"/></p> <p>5. Is this a worst case? No <input type="checkbox"/></p> <p>6. Conditioned floor area (ft²) 1366 ft² <input type="checkbox"/></p> <p>7. Glass area & type <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Clear - single pane 0.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">b. Clear - double pane 0.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">c. Tint/other SC/SHGC - single pane 160.9 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">d. Tint/other SC/SHGC - double pane 0.0 ft² <input type="checkbox"/></p> <p>8. Floor types <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Slab-On-Grade Edge Insulation R=0.0, 139.0(p) ft <input type="checkbox"/></p> <p style="margin-left: 20px;">b. Raised Wood, Stem Wall R=0.0, 878.0ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>9. Wall types <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Frame, Wood, Exterior R=11.0, 847.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">b. Frame, Wood, Adjacent R=11.0, 588.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">c. Concrete, Int Insul, Exterior R=5.0, 735.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">d. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">e. N/A <input type="checkbox"/></p> <p>10. Ceiling types <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Under Attic R=30.0, 1280.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>11. Ducts <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Sup: Unc. Ret: Con. AH: Garage Sup. R=6.5, 125.0 ft <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p>	<p>12. Cooling systems <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Central Unit Cap: 30.0 kBtu/hr <input type="checkbox"/></p> <p style="margin-left: 40px;">SEER: 10.00 <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>13. Heating systems <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Electric Strip Cap: 30.0 kBtu/hr <input type="checkbox"/></p> <p style="margin-left: 40px;">COP: 1.00 <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>14. Hot water systems <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Electric Resistance Cap: 40.0 gallons <input type="checkbox"/></p> <p style="margin-left: 40px;">EF: 0.97 <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. Conservation credits <input type="checkbox"/></p> <p style="margin-left: 40px;">(HR-Heat recovery, Solar DHP-Dedicated heat pump)</p> <p>15. HVAC credits CF, <input type="checkbox"/> <input type="checkbox"/></p> <p style="margin-left: 20px;">(CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, RB-Attic radiant barrier, MZ-C-Multizone cooling, MZ-H-Multizone heating)</p>
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Glass/Floor Area: 0.12	Total as-built points: 17026.00	PASS
	Total base points: 20326.00	

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: JOSE


DATE: 4-20-2000

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____

DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: 10/22/03

DATE: _____

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: SO. RIVER ROAD, SEWALL'S POINT, FL, PERMIT #:

BASE				AS-BUILT						
GLASS TYPES										
.18 X Conditioned X BSPM = Points Floor Area				Type/SC	Ornt	Overhang Len Hgt	Area X	SPM X	SOF =	Points
.18	1393.0	53.20	13931.5	Single, Tint	N	0.5 5.0	24.0	27.68	0.99	360.2
				Single, Tint	N	1.0 1.5	9.0	27.68	0.79	185.7
				Single, Tint	N	1.0 1.5	16.0	27.68	0.79	348.0
				Single, Tint	E	1.0 1.5	12.5	61.31	0.65	495.9
				Single, Tint	E	1.0 1.5	20.4	61.31	0.65	609.4
				Single, Tint	W	1.0 9.0	12.5	54.85	0.99	682.0
				Single, Tint	W	1.0 2.0	24.0	54.85	0.75	986.8
				Single, Tint	W	0.5 5.0	24.0	54.85	1.00	1310.1
				Single, Tint	W	1.0 2.0	14.0	54.85	0.75	575.6
				Single, Tint	S	1.0 1.5	4.5	52.00	0.60	139.9
				As-Built Total:		160.9				6203.5
WALL TYPES Area X BSPM = Points				Type		R-Value	Area X	SPM =	Points	
Adjacent	588.0	1.0	588.0	Frame, Wood, Exterior		11.0	847.0	2.70	2286.9	
Exterior	1582.0	2.70	4271.4	Frame, Wood, Adjacent		11.0	588.0	1.00	588.0	
				Concrete, Int Insul, Exterior		5.0	735.0	2.00	1470.0	
Base Total:				As-Built Total:		2170.0		4344.9		
DOOR TYPES Area X BSPM = Points				Type			Area X	SPM =	Points	
Adjacent	0.0	0.00	0.0							
Exterior	0.0	0.00	0.0							
Base Total:				As-Built Total:		0.0		0.0		
CEILING TYPES Area X BSPM = Points				Type		R-Value	Area X	SPM =	Points	
Under Attic	1280.0	0.80	1024.0	Under Attic		30.0	1280.0	0.80	1024.0	
Base Total:				As-Built Total:		1280.0		1024.0		
FLOOR TYPES Area X BSPM = Points				Type		R-Value	Area X	SPM =	Points	
Slab	139.0(p)	-20.0	-2780.0	Slab-On-Grade Edge Insulation		0.0	139.0(p)	-20.00	-2780.0	
Raised	878.0	-2.16	-1886.5	Raised Wood, Stcm Wall		0.0	878.0	-4.20	-3687.6	
Base Total:				As-Built Total:				-4467.6		
INFILTRATION Area X BSPM = Points							Area X	SPM =	Points	
	1366.0	18.79	25667.1				1366.0	18.79	25667.1	

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: SO. RIVER ROAD, SEWALL'S POINT, FL,	PERMIT #:
--	-----------

BASE			AS-BUILT					
Summer Base Points: 39955.5			Summer As-Built Points: 30771.9					
Total Summer Points	X System Multiplier	= Cooling Points	Total Component	X Cap Ratio	X Duct Multiplier	X System Multiplier	X Credit Multiplier	= Cooling Points
39955.5	0.3560	14224.2	30771.9	1.000	1.037	0.341	0.950	10337.4
			30771.9	1.00	1.037	0.341	0.950	10337.4

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: SO. RIVER ROAD, SEWALL'S POINT, FL,	PERMIT #:
--	-----------

BASE	AS-BUILT
GLASS TYPES	
.18 X Conditioned X BWPM = Points Floor Area	Type/SC Overhang Ornt Len Hgt Area X WPM X WOF = Points
.18 1303.0 2.02 497.9	Single, Tint N 0.5 5.0 24.0 4.98 1.00 119.3
	Single, Tint N 1.0 1.5 9.0 4.98 0.97 43.7
	Single, Tint N 1.0 1.5 16.0 4.98 0.97 77.7
	Single, Tint E 1.0 1.5 12.5 3.99 1.07 53.3
	Single, Tint E 1.0 1.5 20.4 3.99 1.07 87.0
	Single, Tint W 1.0 9.0 12.5 4.60 1.00 57.4
	Single, Tint W 1.0 2.0 24.0 4.60 1.01 111.1
	Single, Tint W 0.5 5.0 24.0 4.60 1.00 110.2
	Single, Tint W 1.0 2.0 14.0 4.60 1.01 64.8
	Single, Tint S 1.0 1.5 4.5 3.80 1.22 20.8
	As-Built Total: 160.9 745.3
WALL TYPES Area X BWPM = Points	Type R-Value Area X WPM = Points
Adjacent 588.0 0.5 294.0	Frame, Wood, Exterior 11.0 947.0 0.60 508.2
Exterior 1582.0 0.60 949.2	Frame, Wood, Adjacent 11.0 588.0 0.50 294.0
	Concrete, Int Insul, Exterior 5.0 735.0 0.90 381.5
Base Total: 2170.0 1243.2	As-Built Total: 2170.0 1493.7
DOOR TYPES Area X BWPM = Points	Type Area X WPM = Points
Adjacent 0.0 0.00 0.0	
Exterior 0.0 0.00 0.0	
Base Total: 0.0 0.0	As-Built Total: 0.0 0.0
CEILING TYPES Area X BWPM = Points	Type R-Value Area X WPM = Points
Under Attic 1280.0 0.10 128.0	Under Attic 30.0 1280.0 0.10 128.0
Base Total: 1280.0 128.0	As-Built Total: 1280.0 128.0
FLOOR TYPES Area X BWPM = Points	Type R-Value Area X WPM = Points
Slab 139.0(p) -2.1 -291.9	Slab-On-Grade Edge Insulation 0.0 139.0(p) -2.10 -291.9
Raised 878.0 -0.28 -245.8	Raised Wood, Stem Wall 0.0 878.0 0.30 263.4
Base Total: -537.7	As-Built Total: -28.5
INFILTRATION Area X BWPM = Points	Area X WPM = Points
1366.0 -0.06 -82.0	1366.0 -0.06 -82.0

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: SO. RIVER ROAD, SEWALL'S POINT, FL,	PERMIT #:
--	-----------

BASE			AS-BUILT			
Winter Base Points:	1249.3		Winter As-Built Points:		2226.5	
Total Winter X System = Heating Points Multiplier Points			Total X Cap X Duct X System X Credit = Heating Component Ratio Multiplier Multiplier Multiplier Points			
1249.3	1.0900	1361.7	2226.5	1.000	1.073	
			2226.5	1.00	1.073	
				1.000	1.000	
				1.000	2390.2	
				1.000	2390.2	

WATER HEATING & CODE COMPLIANCE STATUS

Residential Whole Building Performance Method A - Details

ADDRESS: SO. RIVER ROAD, SEWALL'S POINT, FL,	PERMIT #:
--	-----------

BASE	AS-BUILT
WATER HEATING	
Number of Bedrooms X Multiplier = Total	Tank Volume EF Number of Bedrooms X Tank X Multiplier X Credit = Total Multiplier
2 2370.00 4740.0	40.0 0.97 2 1.00 2149.20 1.00 4298.4
	As-Built Total: 4298.4

CODE COMPLIANCE STATUS							
BASE				AS-BUILT			
Cooling Points + Heating Points + Hot Water Points = Total Points				Cooling Points + Heating Points + Hot Water Points = Total Points			
14224.2 1361.7 4740.0 20325.9				10337.4 2390.2 4298.4 17025.9			

PASS



Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: SO. RIVER ROAD, SEWALL'S POINT, FL,

PERMIT #:

6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: 3 cfm/sq.ft. window area; 5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joist members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 6-12. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

Lennox Objective Guide to Installation Comparison

 Nisair Airconditioning Inc.,
 1501 Decker Ave D-404
 Stuart, Fla
 1-407-283-0904

04/20/80

LOGIC 1000 RESIDENTIAL LOADS ANALYSIS

PAGE 1

THE SMITH GST HSE

PREPARED FOR: MR. & MRS. SMITH

PREPARED BY: JOSE

FILE TITLE: SMITHGST
 DESIGN TEMPERATURES (DEGREES F)
 WINTER INSIDE 68 WINTER OUTSIDE 45
 SUMMER INSIDE 75 SUMMER OUTSIDE 91
 DAILY TEMPERATURE RANGE INDICATOR M
 DESIGN GRAINS RELATIVE HUMIDITY 41
 DEGREES NORTH LATITUDE 27
 SUMMER AIR CHANGES PER HOUR 0.4
 WINTER AIR CHANGES PER HOUR 0.7

			AREA SQ FT	BTUH LOSS	BTUH GAIN
ROOM -	1 OFFICE IN ZONE 1	25.5 X 11			
WALL	14B 8 INCH BLOCK R-5 INSUL OVERHANG = 1.0		184	608	325
WINDOW	1C SINGLE PN CLR GLASS METAL FRM FACING-W TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 9.0		13	332	1,231
DOOR	10D SOLID CORE		24	254	136
WALL	14B 8 INCH BLOCK R-5 INSUL OVERHANG = 1.0		20	66	35
WALL	14B 8 INCH BLOCK R-5 INSUL OVERHANG = 1.0		120	397	213
CEILING	16G LIGHT R-30 INSULATION		281	213	296
FLOOR	22A NO EDGE INSULATION		73	1,360	0
WINTER INFILTRATION	23 CFM			588	
SUMMER INFILTRATION	13 CFM				234
					370 L
PEOPLE	2				600
					460 L
DUCT	LOSS MULT=.20 GAIN MULT=.20			764	614
TOTAL FOR ROOM 1	2,244 CU FT		281	4,582	3,683
					830 L

THE SMITH GST HSE

			AREA	BTUH	BTUH
			SQ FT	LOSS	GAIN
ROOM - 2 WORKSHOP/BTH IN ZONE 1			16.5 X 12.5		
WALL	14B	8 INCH BLOCK R-5 INSUL OVERHANG = 1.0	88	291	156
WINDOW	1C	SNGLE PN CLR GLASS METAL FRM FACING-N TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 5.0	24	638	403
WALL	14B	8 INCH BLOCK R-5 INSUL OVERHANG = 1.0	108	358	191
WINDOW	1C	SNGLE PN CLR GLASS METAL FRM FACING-W TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 5.0	24	638	1,923
CEILING	16G	LIGHT R-30 INSULATION	206	157	218
FLOOR	22A	NO EDGE INSULATION	58	1,081	0
WINTER INFILTRATION 31 CFM				773	
SUMMER INFILTRATION 17 CFM					
					SENSIBLE GAIN 307
					LATENT GAIN 487 L
MECHANICAL VENTILATION 50.0 CFM				1,265	880
PEOPLE	2				SENSIBLE GAIN 600
					LATENT GAIN 460 L
DUCT LOSS MULT=.20 GAIN MULT=.20				1,040	936
TOTAL FOR ROOM 2			206		
				6,239	5,614
					LATENT 2,341 L
ROOM - 3 ENTRANCE IN ZONE 1			14 X 6		
WALL	14B	8 INCH BLOCK R-5 INSUL OVERHANG = 1.0	110	363	194
WINDOW	1C	SNGLE PN CLR GLASS METAL FRM FACING-W TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 2.0	14	372	742
WALL	13C	R-11 + 1/2 INCH GYPSUM R-.5 OVERHANG = 2.0 PARTITION TEMP DIFF FOR WIN= 23 FOR SUM=16	295	610	292
CEILING	16G	LIGHT R-30 INSULATION	84	64	89
FLOOR	22A	NO EDGE INSULATION	40	745	0
WINTER INFILTRATION 9 CFM				225	
SUMMER INFILTRATION 5 CFM					
					SENSIBLE GAIN 90
					LATENT GAIN 142 L
PEOPLE	2				SENSIBLE GAIN 600
					LATENT GAIN 460 L

THE SMITH GST HSE

		AREA SQ FT	BTUH LOSS	BTUH GAIN
DUCT	LOSS MULT=.20 GAIN MULT=.20		476	401
TOTAL FOR ROOM 3	1,596 CU FT	84	2,854	2,407
				602 L
				SENSIBLE LATENT
ROOM 4	GST STE #1/BTH IN ZONE 1			21.5 X 20.5
WALL	13C R-11 + 1/2 INCH GYPSUM R-.5 OVERHANG = 2.0 PARTITION TEMP DIFF FOR WIN= 23 FOR SUM=16	220	455	218
WINDOW	1C SINGLE PN CLR GLASS METAL FRM FACING-S TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 1.5	18	478	229
WALL	13C R-11 + 1/2 INCH GYPSUM R-.5 OVERHANG = 2.0 PARTITION TEMP DIFF FOR WIN= 23 FOR SUM=16	137	283	135
WALL	14B 8 INCH BLOCK R-.5 INSUL OVERHANG = 2.0	45	150	80
WINDOW	1C SINGLE PN CLR GLASS METAL FRM FACING-W TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 2.0	4	100	195
WALL	13C R-11 + 1/2 INCH GYPSUM R-.5 OVERHANG = 2.0 PARTITION TEMP DIFF FOR WIN= 23 FOR SUM=16	80	166	79
WINDOW	1C SINGLE PN CLR GLASS METAL FRM FACING-N TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 1.5	25	664	318
WALL	13C R-11 + 1/2 INCH GYPSUM R-.5 OVERHANG = 2.0 PARTITION TEMP DIFF FOR WIN= 23 FOR SUM=16	126	261	125
CEILING	16G LIGHT R-30 INSULATION	441	335	465
FLOOR	22A NO EDGE INSULATION	84	1,565	0
WINTER INFILTRATION	30 CFM		753	
SUMMER INFILTRATION	17 CFM			299
				474 L
MECHANICAL VENTILATION	50.0 CFM		1,265	880
PEOPLE	2			600
				460 L
DUCT	LOSS MULT=.20 GAIN MULT=.20		1,295	725
TOTAL FOR ROOM 4	3,085 CU FT	441	7,768	4,348
				2,328 L
				SENSIBLE LATENT

THE SMITH GST HSE

=====

STRUCTURE TOTALS	11,062 CU FT		1,367	
		SENSIBLE		29,189 20,177
		LATENT		8,542 L

MINIMUM Cooling Capacity needed is 28,719 btu
at 91 degrees outside and 75 degrees inside

Maximum desired Sensible Cooling Capacity is 23,203 btu
(115% of Sensible Load)

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***** Version 92.10 *****

* This Heating and Cooling Load Computation was produced using the procedures *
 * and tables of the Air Conditioning Contractors of America's Manual J, *
 * Seventh Edition. The accuracy of the calculated loads depends upon the *
 * accuracy of the data used and the accuracy of the Manual J load calculation *
 * procedures for the given conditions. No warranty, either expressed or *
 * implied, is given by Lennox Industries Inc. with respect to the accuracy *
 * and/or sufficiency of the information provided by this report. *

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE SCORE* = 86.5

The higher the score, the more efficient the home.

MR. & MRS. SMITH, SO.RIVER ROAD, SEWALL'S POINT, FL,

<p>1. New construction or existing New <input type="checkbox"/></p> <p>2. Single family or multi-family Single family <input type="checkbox"/></p> <p>3. Number of units, if multi-family 1 <input type="checkbox"/></p> <p>4. Number of Bedrooms 3 <input type="checkbox"/></p> <p>5. Is this a worst case? No <input type="checkbox"/></p> <p>6. Conditioned floor area (ft²) 7257 ft² <input type="checkbox"/></p> <p>7. Glass area & type <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Clear - single pane 0.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">b. Clear - double pane 0.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">c. Tint/other SC/SHGC - single pane 930.8 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">d. Tint/other SC/SHGC - double pane 0.0 ft² <input type="checkbox"/></p> <p>8. Floor types <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Slab-On-Grade Edge Insulation R=0.0, 281.0(p) ft <input type="checkbox"/></p> <p style="margin-left: 20px;">b. Raised Wood, Post or Pier R=0.0, 3419.0ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>9. Wall types <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Concrete, Int Insul, Exterior R=5.0, 5768.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">d. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">e. N/A <input type="checkbox"/></p> <p>10. Ceiling types <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Under Attic R=30.0, 3838.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>11. Ducts <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Sup: Con. Ret: Con. AH: Interior Sup. R=6.5, 300.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">b. 3 Others 550.0 ft <input type="checkbox"/></p>		<p>12. Cooling systems <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Central Unit Cap: 48.0 kBtu/hr <input type="checkbox"/></p> <p style="margin-left: 40px;">SEER: 10.00 <input type="checkbox"/></p> <p style="margin-left: 20px;">b. Central Unit Cap: 42.0 kBtu/hr <input type="checkbox"/></p> <p style="margin-left: 40px;">SEER: 10.00 <input type="checkbox"/></p> <p style="margin-left: 20px;">c. 2 Others Cap: 48.0 kBtu/hr <input type="checkbox"/></p> <p>13. Heating systems <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Electric Strip Cap: 48.0 kBtu/hr <input type="checkbox"/></p> <p style="margin-left: 40px;">COP: 1.00 <input type="checkbox"/></p> <p style="margin-left: 20px;">b. Electric Strip Cap: 42.0 kBtu/hr <input type="checkbox"/></p> <p style="margin-left: 40px;">COP: 1.00 <input type="checkbox"/></p> <p style="margin-left: 20px;">c. 2 Others Cap: 48.0 kBtu/hr <input type="checkbox"/></p> <p>14. Hot water systems <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Electric Resistance Cap: 120.0 gallons <input type="checkbox"/></p> <p style="margin-left: 40px;">EF: 0.97 <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. Conservation credits <input type="checkbox"/></p> <p style="margin-left: 40px;">(HR-Heat recovery, Solar DHP-Dedicated heat pump)</p> <p>15. HVAC credits MZ-C, CF, MZ-H <input type="checkbox"/></p> <p style="margin-left: 20px;">(CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, RB-Attic radiant barrier, MZ-C-Multizone cooling, MZ-H-Multizone heating)</p>
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I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: Joseph J. Macani

Date: 10-20-03

Address of New Home: 133 So. River Rd

City/FL Zip: Sewalls Pt. Fl.



**NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStar™ designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 407/638-1492 or see the Energy Gauge web site at www.fsec.ucf.edu for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.*

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name: THE SMITH RESIDENCE Address: SO.RIVER ROAD City, State: SEWALL'S POINT, FL Owner: MR. & MRS. SMITH Climate Zone: South	Builder: MACARI BLDRS. Permitting Office: Permit Number: Jurisdiction Number:
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<table style="width: 100%; border-collapse: collapse;"> <tr><td>1. New construction or existing</td><td style="text-align: right;">New</td><td style="text-align: center;">___</td></tr> <tr><td>2. Single family or multi-family</td><td style="text-align: right;">Single family</td><td style="text-align: center;">___</td></tr> <tr><td>3. Number of units, if multi-family</td><td style="text-align: right;">1</td><td style="text-align: center;">___</td></tr> <tr><td>4. Number of Bedrooms</td><td style="text-align: right;">3</td><td style="text-align: center;">___</td></tr> <tr><td>5. Is this a worst case?</td><td style="text-align: right;">No</td><td style="text-align: center;">___</td></tr> <tr><td>6. Conditioned floor area (ft²)</td><td style="text-align: right;">7257 ft²</td><td style="text-align: center;">___</td></tr> <tr><td>7. Glass area & type</td><td></td><td style="text-align: center;">___</td></tr> <tr><td> a. 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AH: Interior</td><td style="text-align: right;">Sup. R=6.5, 300.0 ft²</td><td style="text-align: center;">___</td></tr> <tr><td> b. 3 Others</td><td style="text-align: right;">550.0 ft</td><td style="text-align: center;">___</td></tr> </table>	1. New construction or existing	New	___	2. Single family or multi-family	Single family	___	3. Number of units, if multi-family	1	___	4. Number of Bedrooms	3	___	5. Is this a worst case?	No	___	6. Conditioned floor area (ft ²)	7257 ft ²	___	7. Glass area & type		___	a. Clear - single pane	0.0 ft ²	___	b. Clear - double pane	0.0 ft ²	___	c. Tint/other SC/SHGC - single pane	930.8 ft ²	___	d. Tint/other SC/SHGC - double pane	0.0 ft ²	___	8. Floor types		___	a. Slab-On-Grade Edge Insulation	R=0.0, 281.0(p) ft	___	b. Raised Wood, Post or Pier	R=0.0, 3419.0ft ²	___	c. N/A		___	9. Wall types		___	a. Concrete, Int Insul, Exterior	R=5.0, 5768.0 ft ²	___	b. N/A		___	c. N/A		___	d. N/A		___	e. N/A		___	10. Ceiling types		___	a. 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Glass/Floor Area: 0.13	Total as-built points: 72394.00	PASS
	Total base points: 87428.00	

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: *Jeri Zander*


DATE: 4-13-2009

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____

DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: *[Signature]*

DATE: 10/22/03

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: SO.RIVER ROAD, SEWALL'S POINT, FL, PERMIT #:

BASE				AS-BUILT								
GLASS TYPES												
.18 X Conditioned X BSPM = Points Floor Area				Type/SC	Ormt	Overhang Len Hgt		Area X SPM X SOF =	Points			
.18	7257.0	53.20	69496.5	Single, Tint	N	1.0	1.5	9.0	27.68	0.79	195.7	
				Single, Tint	N	8.0	1.0	9.0	27.68	0.61	151.0	
				Single, Tint	N	7.0	0.5	12.0	27.68	0.61	201.3	
				Single, Tint	N	8.0	0.5	48.0	27.68	0.61	805.1	
				Single, Tint	E	1.0	1.5	10.0	61.31	0.65	396.8	
				Single, Tint	E	1.0	1.5	24.0	61.31	0.65	952.2	
				Single, Tint	E	1.0	12.0	16.0	61.31	0.99	976.0	
				Single, Tint	E	1.0	11.0	54.0	61.31	0.99	3292.6	
				Single, Tint	E	1.0	5.0	31.5	61.31	0.95	1836.3	
				Single, Tint	E	1.0	5.5	20.0	61.31	0.96	1180.7	
				Single, Tint	E	1.0	1.5	20.0	61.31	0.65	793.5	
				Single, Tint	E	1.0	1.5	7.0	61.31	0.65	277.7	
				Single, Tint	W	8.5	1.5	40.0	54.85	0.40	887.3	
				Single, Tint	W	8.5	1.5	48.0	54.85	0.40	1064.8	
				Single, Tint	W	22.0	1.0	80.0	54.85	0.40	1774.6	
				Single, Tint	W	1.0	10.0	10.0	54.85	1.00	545.9	
				Single, Tint	W	1.0	1.0	3.5	54.85	0.56	107.9	
				Single, Tint	W	1.0	1.0	17.0	54.85	0.56	524.3	
				Single, Tint	W	1.0	1.0	140.0	54.85	0.56	4317.6	
				Single, Tint	W	8.5	1.0	40.0	54.85	0.40	887.3	
				Single, Tint	W	1.0	1.5	5.0	54.85	0.67	182.4	
				Single, Tint	W	8.5	0.5	20.0	54.85	0.40	443.7	
				Single, Tint	W	8.5	0.5	40.8	54.85	0.40	905.1	
				Single, Tint	S	4.5	1.0	48.0	52.00	0.43	1068.3	
				Single, Tint	S	1.0	1.5	15.0	52.00	0.60	465.9	
				Single, Tint	S	1.0	10.0	6.0	52.00	1.00	310.6	
				Single, Tint	S	1.0	1.5	14.0	52.00	0.60	434.9	
				Single, Tint	S	1.0	1.5	5.0	52.00	0.60	155.3	
				Single, Tint	W	8.5	1.0	48.0	54.85	0.40	1064.8	
				Single, Tint	W	6.0	0.5	90.0	54.85	0.40	1996.5	
				As-Built Total:					930.8			28196.0
WALL TYPES				Area X BSPM = Points		Type		R-Value	Area X SPM =		Points	
Adajcent	0.0	0.0	0.0	Concrete, Int Insul, Exterior				5.0	5768.0	2.00	11536.0	
Exterior	5768.0	2.70	15573.6									
Base Total:	5768.0		15573.6	As-Built Total:					5768.0		11536.0	

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: SO.RIVER ROAD, SEWALL'S POINT, FL,	PERMIT #:
---	-----------

BASE	AS-BUILT
DOOR TYPES Area X BSPM = Points	Type Area X SPM = Points
Adjacent 0.0 0.00 0.0	Exterior Wood 27.0 9.40 253.8
Exterior 27.0 6.40 172.8	
Base Total: 27.0 172.8	As-Built Total: 27.0 253.8
CEILING TYPES Area X BSPM = Points	Type R-Value Area X SPM = Points
Under Attic 3838.0 0.80 3070.4	Under Attic 30.0 3838.0 0.80 3070.4
Base Total: 3838.0 3070.4	As-Built Total: 3838.0 3070.4
FLOOR TYPES Area X BSPM = Points	Type R-Value Area X SPM = Points
Slab 281.0(p) -20.0 -5620.0	Slab-On-Grade Edge Insulation 0.0 281.0(p) -20.00 -5620.0
Raised 3419.0 -2.16 -7385.0	Raised Wood, Post or Pier 0.0 3419.0 5.02 17160.0
Base Total: -13005.0	As-Built Total: 11540.0
INFILTRATION Area X BSPM = Points	Area X SPM = Points
7257.0 18.79 136359.0	7257.0 18.79 136359.0
Summer Base Points: 211667.3	Summer As-Built Points: 190955.2
Total Summer X System = Cooling Points Multiplier Points	Total X Cap X Duct X System X Credit = Cooling Component Ratio Multiplier Multiplier Multiplier Points
	190955.2 0.130 0.935 0.341 0.902 7167.5
	190955.2 0.348 0.935 0.341 0.902 19113.3
	190955.2 0.304 0.935 0.341 0.902 16724.1
	190955.2 0.217 0.935 0.341 0.902 11945.8
211667.3 0.3560 75353.6	190955.2 1.00 0.935 0.341 0.902 54950.6

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: SO.RIVER ROAD, SEWALL'S POINT, FL, PERMIT #:

BASE				AS-BUILT									
GLASS TYPES													
.18	X	Conditioned	X	BWPM =	Points								
Floor Area				Type/SC	Overhang		Area	X	WPM	X	WOF	=	Points
.18	7257.0	2.02	2644.5		Ornt	Len	Hgt						
				Single, Tint	N	1.0	1.5	9.0	4.98	0.97		43.7	
				Single, Tint	N	8.0	1.0	9.0	4.98	0.95		42.5	
				Single, Tint	N	7.0	0.5	12.0	4.98	0.95		56.7	
				Single, Tint	N	8.0	0.5	48.0	4.98	0.95		226.7	
				Single, Tint	E	1.0	1.5	10.0	3.99	1.07		42.6	
				Single, Tint	E	1.0	1.5	24.0	3.99	1.07		102.3	
				Single, Tint	E	1.0	12.0	16.0	3.99	1.01		64.3	
				Single, Tint	E	1.0	11.0	54.0	3.99	1.01		217.2	
				Single, Tint	E	1.0	5.0	31.5	3.99	1.02		127.9	
				Single, Tint	E	1.0	5.5	20.0	3.99	1.01		81.0	
				Single, Tint	E	1.0	1.5	20.0	3.99	1.07		85.3	
				Single, Tint	E	1.0	1.5	7.0	3.99	1.07		29.8	
				Single, Tint	W	8.5	1.5	40.0	4.60	1.03		189.8	
				Single, Tint	W	8.5	1.5	48.0	4.60	1.03		227.7	
				Single, Tint	W	22.0	1.0	80.0	4.60	1.03		379.5	
				Single, Tint	W	1.0	10.0	10.0	4.60	1.00		45.9	
				Single, Tint	W	1.0	1.0	3.5	4.60	1.03		16.5	
				Single, Tint	W	1.0	1.0	17.0	4.60	1.03		80.2	
				Single, Tint	W	1.0	1.0	140.0	4.60	1.03		660.8	
				Single, Tint	W	8.5	1.0	40.0	4.60	1.03		189.8	
				Single, Tint	W	1.0	1.5	5.0	4.60	1.02		23.4	
				Single, Tint	W	8.5	0.5	20.0	4.60	1.03		94.9	
				Single, Tint	W	8.5	0.5	40.8	4.60	1.03		193.5	
				Single, Tint	S	4.5	1.0	48.0	3.80	1.44		263.5	
				Single, Tint	S	1.0	1.5	15.0	3.80	1.22		69.4	
				Single, Tint	S	1.0	10.0	6.0	3.80	1.00		22.7	
				Single, Tint	S	1.0	1.5	14.0	3.80	1.22		64.8	
				Single, Tint	S	1.0	1.5	5.0	3.80	1.22		23.1	
				Single, Tint	W	8.5	1.0	48.0	4.60	1.03		227.7	
				Single, Tint	W	6.0	0.5	90.0	4.60	1.03		426.9	
				As-Built Total:				930.8				4320.2	
WALL TYPES				Type		R-Value		Area X		WPM		= Points	
Area X BWPM = Points													
Adjcent	0.0	0.0	0.0	Concrete, Int Insul, Exterior		5.0		5768.0	0.90			5191.2	
Exterior	5768.0	0.60	3460.8										
Base Total:				As-Built Total:				5768.0				5191.2	

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: SO.RIVER ROAD, SEWALL'S POINT, FL, PERMIT #:

BASE				AS-BUILT			
DOOR TYPES Area X BWPM = Points				Type	Area X WPM = Points		
Adjacent	0.0	0.00	0.0	Exterior Wood	27.0	2.80	75.6
Exterior	27.0	1.80	48.6				
Base Total:	27.0		48.6	As-Built Total:	27.0		75.6
CEILING TYPES Area X BWPM = Points				Type	R-Value	Area X WPM = Points	
Under Attic	3838.0	0.10	383.8	Under Attic	30.0	3838.0	0.10 383.8
Base Total:	3838.0		383.8	As-Built Total:		3838.0	383.8
FLOOR TYPES Area X BWPM = Points				Type	R-Value	Area X WPM = Points	
Slab	281.0(p)	-2.1	-590.1	Slab-On-Grade Edge Insulation	0.0	281.0(p)	-2.10 -590.1
Raised	3419.0	-0.28	-957.3	Raised Wood, Post or Pier	0.0	3419.0	0.99 3367.7
Base Total:			-1547.4	As-Built Total:			2777.6
INFILTRATION Area X BWPM = Points				Area X WPM = Points			
	7257.0	-0.06	-435.4		7257.0	-0.06	-435.4
Winter Base Points:			4554.8	Winter As-Built Points:			12313.0
Total Winter Points	X System Multiplier	= Heating Points		Total Component	X Cap Ratio	X Duct Multiplier	X System Multiplier X Credit Multiplier = Heating Points
				12313.0	0.130	0.940	1.000 0.950 1434.3
				12313.0	0.348	0.940	1.000 0.950 3824.7
				12313.0	0.304	0.940	1.000 0.950 3346.6
				12313.0	0.217	0.940	1.000 0.950 2390.5
4554.8	1.0900	4964.7		12313.0	1.00	0.940	1.000 0.950 10996.1

WATER HEATING & CODE COMPLIANCE STATUS

Residential Whole Building Performance Method A - Details

ADDRESS: SO.RIVER ROAD, SEWALL'S POINT, FL,	PERMIT #:
---	-----------

BASE				AS-BUILT								
WATER HEATING												
Number of Bedrooms	X	Multiplier	= Total	Tank Volume	EF	Number of Bedrooms	X	Tank X Ratio	Multiplier X	Credit = Total Multiplier		
3		2370.00	7110.0	120.0	0.97	3		1.00	2149.20	1.00	6447.6	
As-Built Total:											6447.6	

CODE COMPLIANCE STATUS											
BASE					AS-BUILT						
Cooling Points	+	Heating Points	+	Hot Water Points	= Total Points	Cooling Points	+	Heating Points	+	Hot Water Points	= Total Points
75353.6		4964.7		7110.0	87428.3	54950.6		10996.1		6447.6	72394.3

PASS



Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: SO.RIVER ROAD, SEWALL'S POINT, FL,	PERMIT #:
---	-----------

6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 6-12. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

FILE

WESSEL ASSOCIATES AIA

3727 SE Ocean Boulevard, Suite 101
Sewall's Point, FL 34996

PN 5022

January, 14 2002

Sewall's Point Building Dept.
Sewall's Point, FL 34996

Re: Smith Residence – 133 South River Road
Permit # 5022

Gentleman:

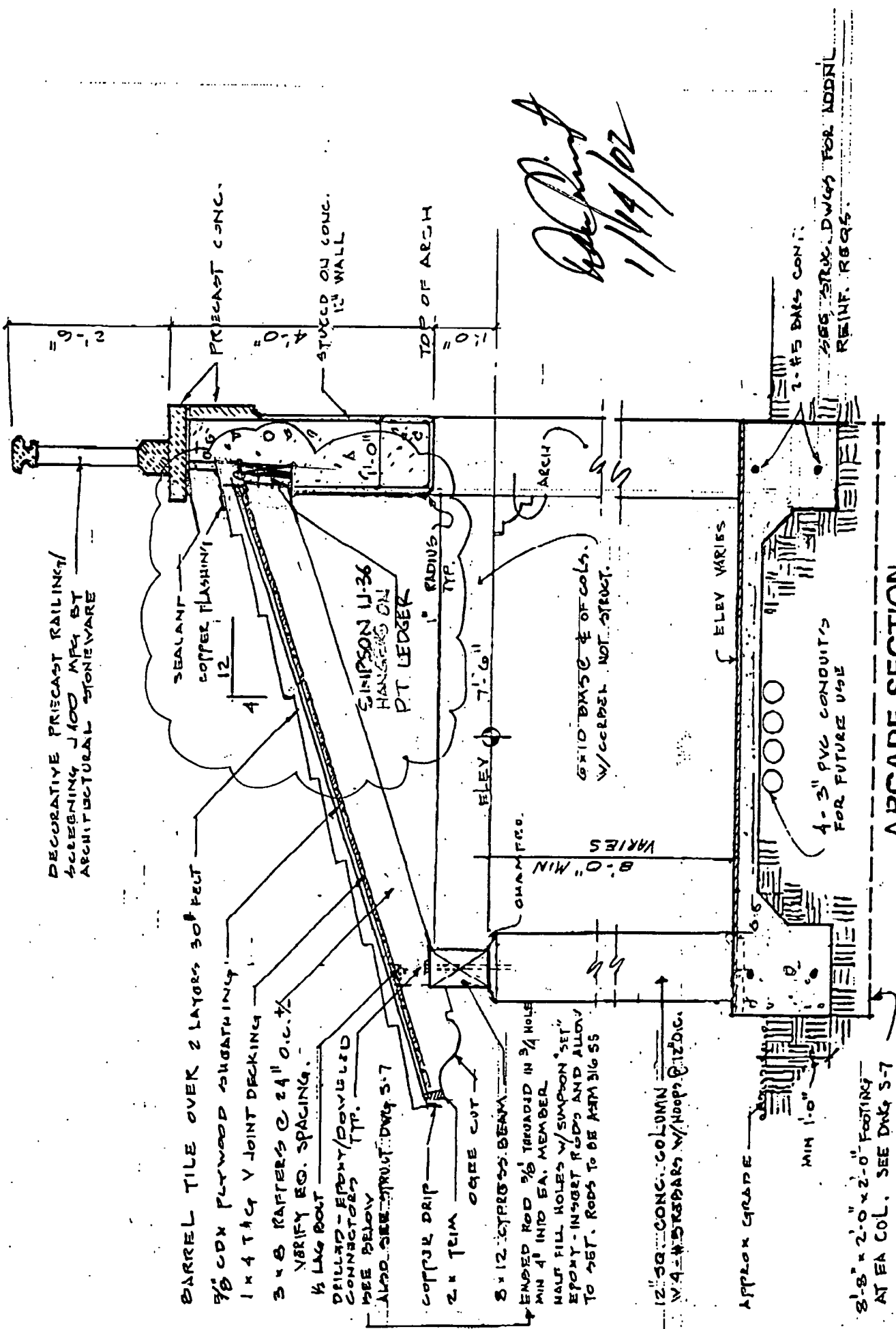
With reference to:

1. Lintels L23, L13, L22, L12, L21, & L11, These are to be replaced with poured concrete beams with a minimum dimension of 8" x 12" Ea. and Shall have 2-#5 bars at top & bottom.
2. Tie beam TB-2 in the garage is to be extended. This is to be cantilevered 2' over to the south, in two locations, extending behind the rake beams on the east and west ends.
3. With reference to the Colonnade roof beams, beam pockets are to be provided for the wood roof beams as shown on the enclosed dwg. And in detail # D on sheet A7.

Sincerely,



Donald F. Greist, AIA
For Wessel associates, Inc



DECORATIVE PRECAST RAILING/
 BEGINNING JACO MFG BY
 ARCHITECTURAL STONEWARE

BARREL TILE OVER 2 LAYERS 3/8" PLY

3/8" CDX PLYWOOD SUBBATHING

1 x 4 T&G V JOINT DECKING

3 x 8 RAFTERS @ 24" O.C. ±

VERIFY EQ. SPACING

1/2" LAG BOLT

DRILLED - FRONT/DOWNEID

CONNECTORS TYP.

SEE BELOW

ALSO SEE STRUCT. DWG. S-7

COPPER DRIP

2 x TRIM

8 x 12 CYPRESS BEAM

ENDED ROD 3/8" TREAD IN 3/4" HOLE

MIN 4" INTO EA. MEMBER

HALF FILL HOLES W/ SIMPSON "SET"

EPOXY - INSERT RODS AND ALLOW

TO SET. RODS TO BE ASTM 316 SS

12" SQ. CONC. COLUMN

W/ 4 #5 BARS W/ HOOPS @ 12" O.C.

APPROX GRADE

MIN 1'-0"

8'-8" x 2'-0" x 2'-0" FOOTING

AT EA COL. SEE DWG. S-7

SEALANT

COPPER FLASHING

12"

4"

SIMPSON U-36

HANGERS ON

P.T. LEDGER

1" RADIUS

TYP.

7'-6"

ELEV. 0

CHAMFER

8'-0" MIN

VARIES

6" x 10" BMS C @ OF COLS.

W/ CORDEL NOT. STRUCT.

ELEV. VARIES

4-3" PVC CONDUITS

FOR FUTURE USE

ARCADE SECTION

3/4" = 1'-0"

Handwritten signature
 1/14/02

2-#5 BARS CONT.

SEE STRUC. DWGS FOR ADDNL REINF. REQ.

9'-2"

PRECAST CONC.

4'-4"

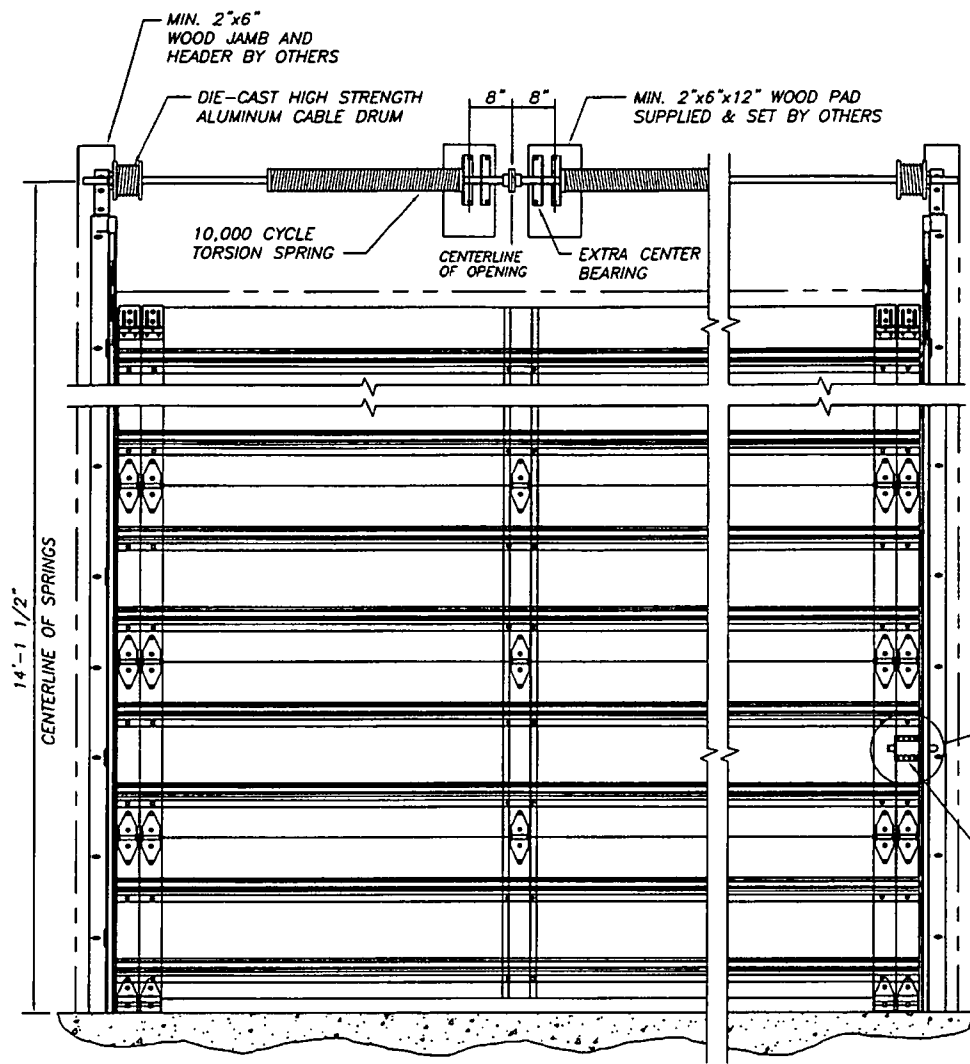
STUCCO ON CONC.

1 1/2" WALL

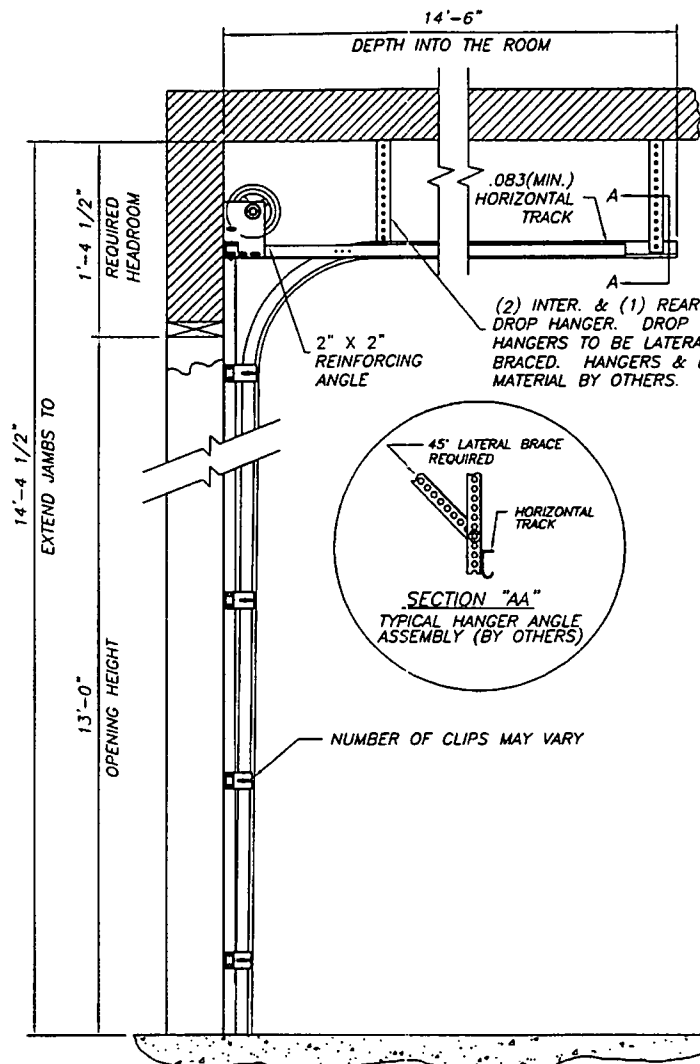
TOP OF ARCH

0'-11"

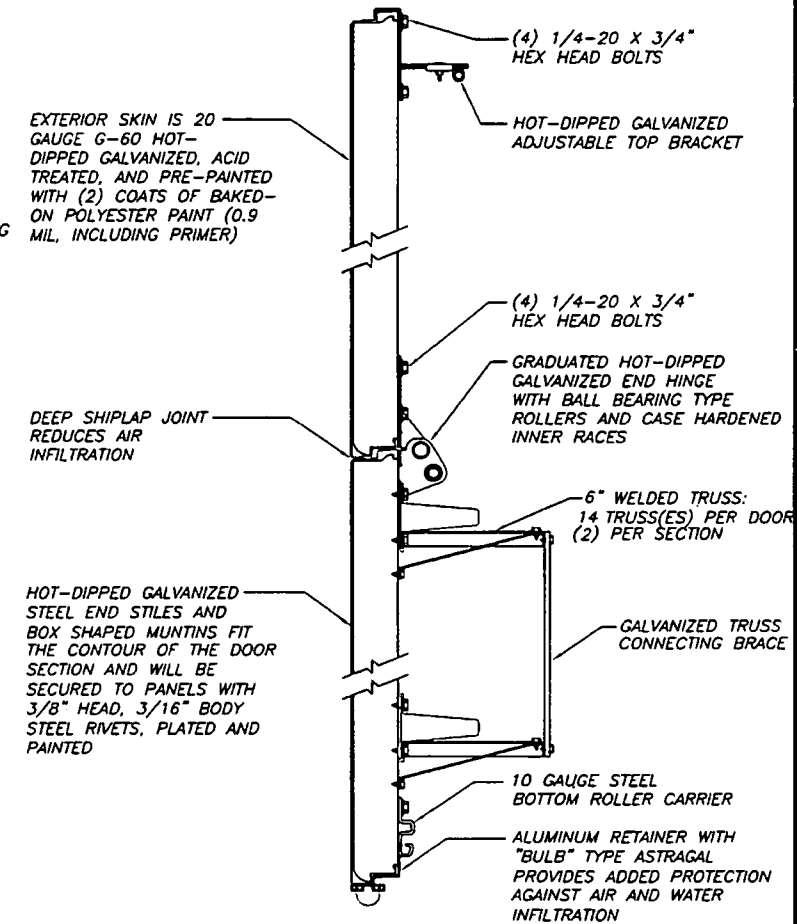
ARCH



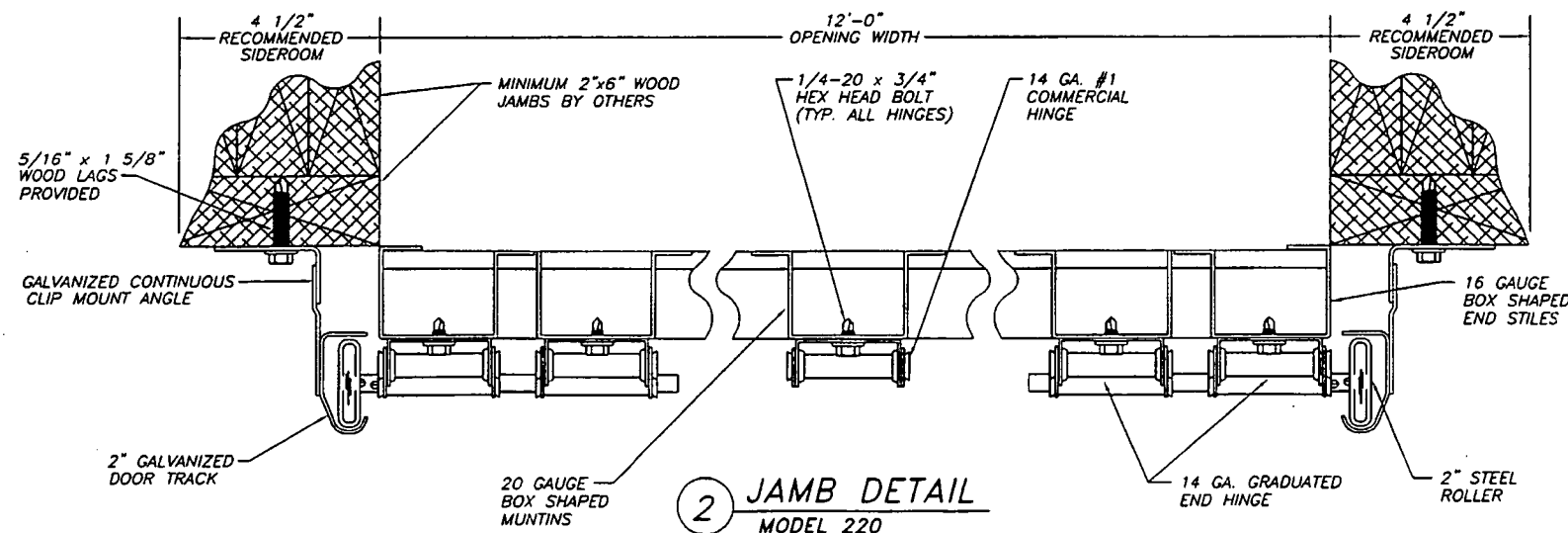
1 INTERIOR ELEVATION
MODEL 220



3 STANDARD LIFT
CLIP MOUNTED



4 SECTION CONSTRUCTION
MODEL 220



2 JAMB DETAIL
MODEL 220

IMPORTANT NOTE: WINDLOAD VALUE IS CALCULATED FROM ESTABLISHED TEST DATA ON SIMILAR PRODUCTS. NO THIRD PARTY CERTIFICATION IS AVAILABLE FOR THIS PRODUCT.
51 PSF DESIGN PRESSURE WINDLOAD
76.5 PSF TEST PRESSURE WINDLOAD
*PER ASTM E330 TEST METHOD. ASSUMED EXPOSURE "B".

MODEL 220 STEEL DOOR SPECIFICATIONS

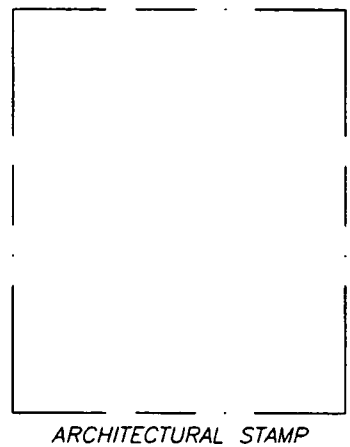
SECTIONS: Shall be roll-formed from 20 ga. continuous steel coil which is 1.25 oz. hot dipped galvanized (G-60) and pre-painted with 2 coats baked on polyester paint white exterior and white interior; .9 mil exterior and .5 mil interior (includes primer). Sections to be 2" thick, with shiplap joints. Box shaped 20 ga. muntins and 20 ga. end stiles shall be formed of galvanized steel with Pierce Nuts for rapid hinge attachment. Muntins and end stiles shall fit the contour of the sections and be secured to the panels with 3/8" head, 3/16" body steel rivets, plated and painted. The bottom section is to have a vinyl bulb-type astragal with aluminum extrusion.

TRACK: Commercial 2" Galvanized track; on continuous clip mounted reverse angle to wood jambs.

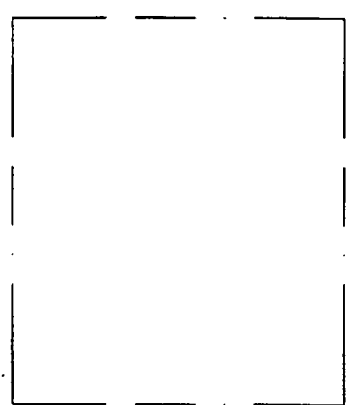
HARDWARE: 2" Rollers with steel races (10 hardened 1/4" balls). Heavy duty galvanized hinges (14 ga. minimum) and top and bottom roller carriers. Winding drums of high strength cast aluminum with galvanized steel aircraft cable of appropriate diameter for maximum safety factor.

COUNTER BALANCE: Helical wound oil-tempered torsion springs, mounted on 1" diameter solid cold rolled steel shaft; shaft to be ball bearing mounted. Spring mounting pads as shown, supplied and set by others.

SPECIAL NOTES:



ARCHITECTURAL NOTES



REVISIONS

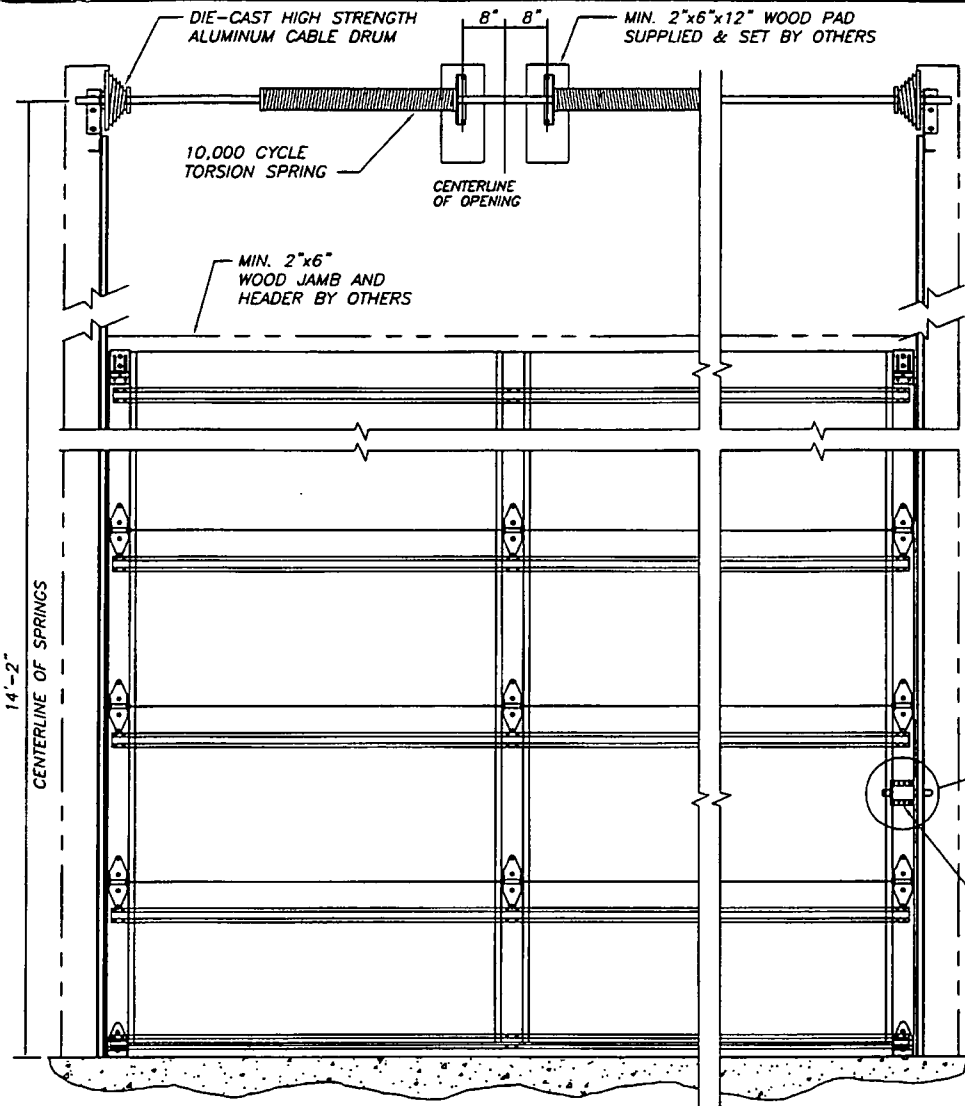


DOOR NUMBER (DOOR MARKS)	QTY.	NET OPENING SIZE	FINISHED DOOR SIZE	TYPE OF LIFT	TYPE OF OPERATION	SECT'S. GLAZED	LITES PER SECT.	PANELS WIDE	SECTIONS: HIGH	
									24"	20.8"
A	1	12'-0" X 13'-0"	12'-0" X 13'-1"	STANDARD	MANUAL	0	0	6	3	4

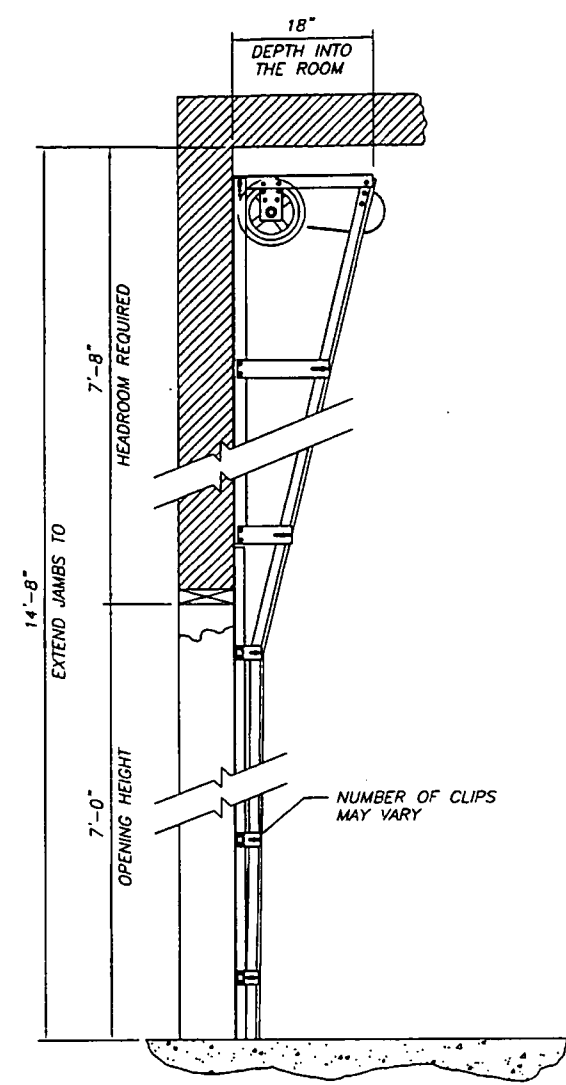
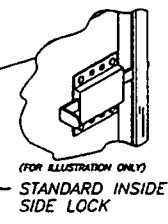
PROJECT:	AMERICAN
ARCHITECT:	
CONTRACTOR:	
DISTRIBUTOR:	WAYNE-DALTON OF PALM CITY

DRAWN BY:	JLT
DATE:	1/10/03
SHEET:	1 OF 2

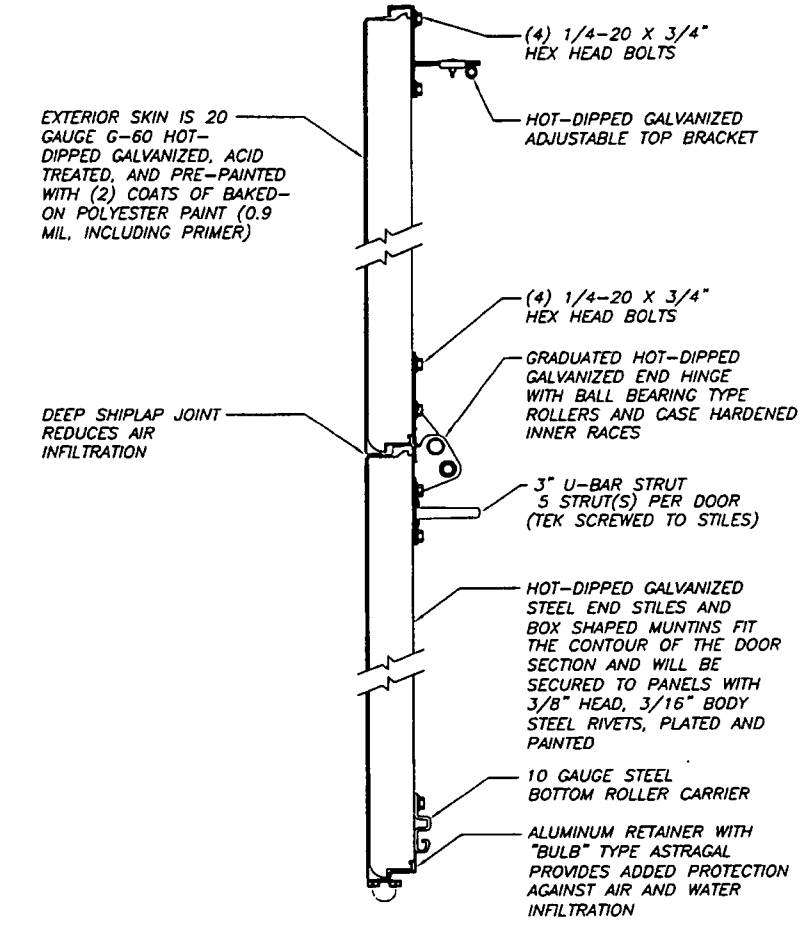
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REVISION #	0
FILE No.	211357



1 INTERIOR ELEVATION
MODEL 220

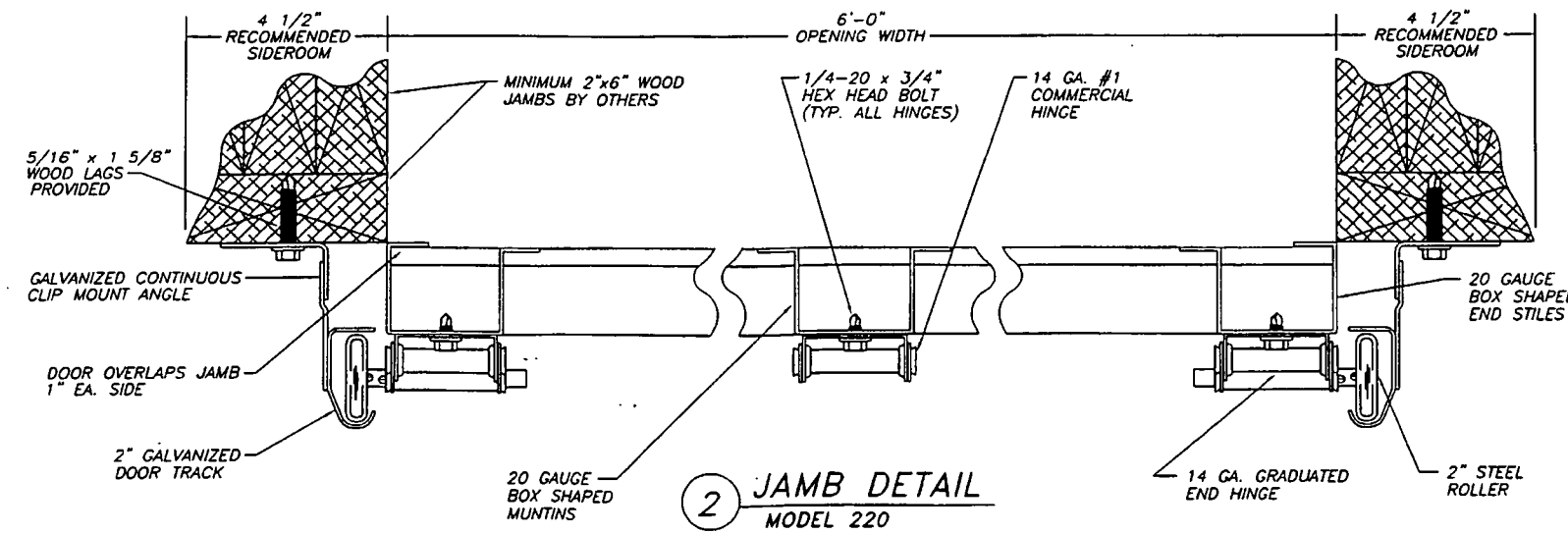


3 VERTICAL LIFT
CLIP MOUNTED



4 SECTION CONSTRUCTION
MODEL 220

IMPORTANT NOTE: WINDLOAD VALUE IS CALCULATED FROM ESTABLISHED TEST DATA ON SIMILAR PRODUCTS. NO THIRD PARTY CERTIFICATION IS AVAILABLE FOR THIS PRODUCT.
51 PSF DESIGN PRESSURE WINDLOAD
76.5 PSF TEST PRESSURE WINDLOAD
*PER ASTM E330 TEST METHOD. ASSUMED EXPOSURE "B".



2 JAMB DETAIL
MODEL 220

MODEL 220 STEEL DOOR SPECIFICATIONS

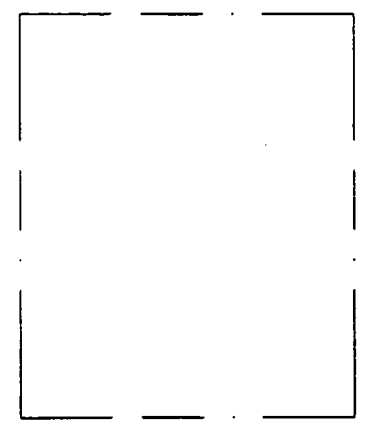
SECTIONS: Shall be roll-formed from 20 ga. continuous steel coil which is 1.25 oz. hot dipped galvanized (G-60) and prepainted with 2 coats baked on polyester paint white exterior and white interior; .9 mil exterior and .5 mil interior (includes primer). Sections to be 2" thick, with shiplap joints. Box shaped 20 ga. muntins and 20 ga. end stiles shall be formed of galvanized steel with Pierce Nuts for rapid hinge attachment. Muntins and end stiles shall fit the contour of the sections and be secured to the panels with 3/8" head, 3/16" body steel rivets, plated and painted. The bottom section is to have a vinyl bulb-type astragal with aluminum extrusion.

TRACK: Commercial 2" Galvanized track; on continuous clip mounted reverse angle to wood jambs.

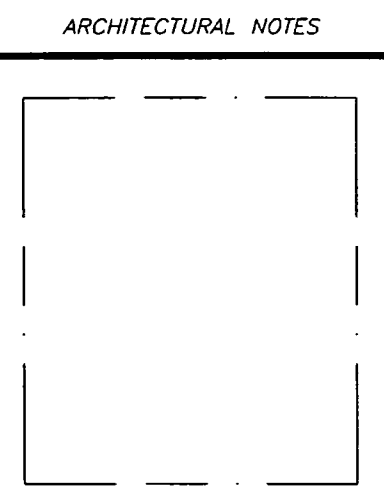
HARDWARE: 2" Rollers with steel races (10 hardened 1/4" balls). Heavy duty galvanized hinges (14 ga. minimum) and top and bottom roller carriers. Winding drums of high strength cast aluminum with galvanized steel aircraft cable of appropriate diameter for maximum safety factor.

COUNTER BALANCE: Helical wound oil-tempered torsion springs, mounted on 1" diameter tubular steel shaft; shaft to be ball bearing mounted. Spring mounting pads as shown, supplied and set by others.

SPECIAL NOTES:



ARCHITECTURAL NOTES



REVISIONS



DOOR NUMBER (DOOR MARKS)	QTY.	NET OPENING SIZE	FINISHED DOOR SIZE	TYPE OF LIFT	TYPE OF OPERATION	SECT'S. GLAZED	LITES PER SECT.	PANELS WIDE	SECTIONS HIGH
B	1	6'-0" X 7'-0"	6'-0" X 7'-1"	VERTICAL	MANUAL	0	0	3	24" 20.8"

PROJECT:	AMERICAN
ARCHITECT:	
CONTRACTOR:	
DISTRIBUTOR:	WAYNE-DALTON OF PALM CITY

DRAWN BY:	JLT
DATE:	1/10/03
SHEET:	2 OF 2

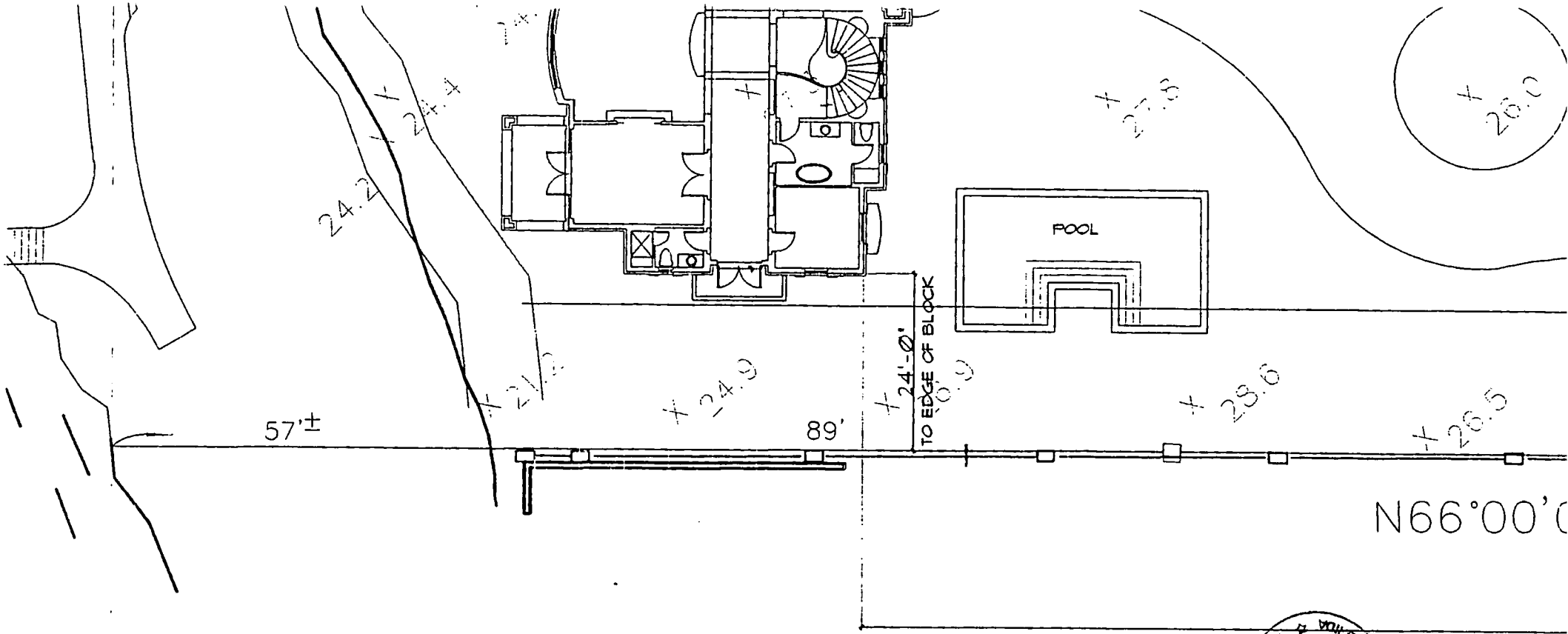
DRAWING No.	211357
REVISION # 0	
FILE No.	211357

Macari
Smith Res
South River Rd

to Garage door sub ~~approved~~
MACARI file
PN 5022

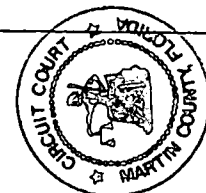
Says Mr. Macari
due in to see you
today -

PERMIT EXPIRED



LEGAL DESCRIPTION

THAT PART OF THE SOUTH 150 FEET OF THE NORTH 631 FEET OF LOT 1 OF THE MILES OR HANSON GRANT ACCORDING TO THE MAP OF COMMISSIONERS SUBDIVISION OF THE MILES OR HANSON GRANT, FILED DECEMBER 30, 1901, AND RECORDED IN PLATBOOK B, PAGE 59, OF DADE (NOW MARTIN) COUNTY, FLORIDA, BOUNDED ON THE WEST BY THE WATERS OF THE ST. LUCIE RIVER AND BOUNDED ON THE EAST BY THE WESTERLY RIGHT-OF-WAY LINE OF SOUTH RIVER ROAD, SAID RIGHT-OF-WAY BEING SHOWN ON A PLAT ENTITLED " ROAD RIGHT-OF-WAY ON SEWALL'S POINT RECORDED IN PLATBOOK 4, PAGE 58, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA. CONTAINING 1.647 ACRES MORE OR LESS



UNPLATTE

STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE
FOREGOING PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.

BY: *MARSHA STILLER*
MARSHA STILLER, CLERK
D.C.
DATE: *11-18-00*

DOCU

This drawing
the contract
Dated *11-18-00*
Use without
the architect
The deliver
warranty or
drawing imp
information.
imposed by

RIDGE

ALIGN RIDGE & ROOF WITH EXISTING GARAGE ROOF

12 GA SS. PLATES EA SIDE AS SHOWN 3- 5/8" SS. BOLTS MAINTAIN 1 1/2" EDGE DISTANCE 4" WIDE PLATE

EXTEND SHEATHING RAKES TO MATCH EXIST'G

NOTE: GLUE SHEATHING PLYWD TO 1x4 T&G DECKING. EXTEND PLYWD. TO 1ST TRUSS PAST WALL MIN 2' OF EXISTING BLDG.

EAVE/RAKE & TILE TO MATCH EXISTING

CHAMFER

4x14x12 GA SS PLATE EA SIDE W/ 2- 5/8" SS BOLTS TYP. EA SIDE

4x11x12 GA SS PLATE EA SIDE W/ 3- 5/8" SS BOLTS

8" IMBED

5/8" SS BOLT 5BT 8" INTO (EPOXY) 6x6

4x8 CYPRESS OGEE CUT

6x6 CYPRESS POST

HUC 48 SECURE TO CONG. W/ FASTENERS (MIN 8)

1/4" TAPCON

EPOXY THREADED ROD 5/8" 8" MIN EMBED. EA END TYP.

8" CMU WALL GROUTED SOLID

CONG WALL

FILE COPY TOWN OF SEWALL'S POINT THESE PLANS HAVE BEEN REVIEWED FOR CODE COMPLIANCE DATE: 9/4/02 BUILDING OFFICIAL Gene Simmons

4'-2" V.I.F. EXIST'G

VIEW EAST AT GARAGE STAIRWAY SHOWING ROOF & SUPPORT

SECTION "A" Looking SOUTH

SMITH RESIDENCE - 2ND FL. GARAGE - ENTRY ROOF ADDITION

ARCHITECT - WESSEL 11006. 8.28.02 SCALE 1/2" = 1'-0"

8/29/02

PROJ. # 299-062

SFL 133 S. RIVER RD Permit 5022



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
CONSTRUCTION PERMIT

CENTRAX #: 43-SS-02340
OSTDSNBR: 00-0353-N

CONSTRUCTION PERMIT FOR:

[X] New System [] Existing System [] Holding Tank [] Innovative Other
[] Repair [] Abandonment [] Temporary [] _____

APPLICANT: SMITH, NICK M/M AGENT: 95-0, PROPERTY OWNER

PROPERTY STREET ADDRESS: 133 S RIVER ROAD SEWALLS POINT FL

LOT: _____ BLOCK: _____ SUBDIVISION: HANSON GRANT
SO. 150' OF LOT 1 [Section/Township/Range/Parcel No.]

PROPERTY ID #: 13384100000000030100 [OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF CHAPTER 64E-6, FAC DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC TIME PERIOD. ANY CHANGE IN MATERIAL FACTS WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE OR LOCAL PERMITTING REQUIRED FOR PROPERTY DEVELOPMENT.

SYSTEM DESIGN AND SPECIFICATIONS

T [2700] Gallons SEPTIC TANK MULTI-CHAMBERED/IN SERIES: [Y]
A [0] Gallons MULTI-CHAMBERED/IN SERIES: []
N [0] GALLONS GREASE INTERCEPTOR CAPACITY
K [0] GALLONS DOSING TANK CAPACITY [0] GALLONS @ [0] DOSES PER 24 HRS # PUMPS [0]

D [1000] SQUARE FEET PRIMARY DRAINFIELD SYSTEM Trench only
R [0] SQUARE FEET SYSTEM

A TYPE SYSTEM: [Y] STANDARD [N] FILLED [N] MOUND [N] _____
I CONFIGURATION: [Y] TRENCH [N] BED [N] _____

F LOCATION TO BENCHMARK: Concrete Monument 28.95' NGVD

I ELEVATION OF PROPOSED SYSTEM SITE [56.0] [INCHES] [BELOW] BENCHMARK/REFERENCE POINT
E BOTTOM OF DRAINFIELD TO BE [86.0] [INCHES] [BELOW] BENCHMARK/REFERENCE POINT

D FILL REQUIRED: [0.0] INCHES EXCAVATION REQUIRED: [0.0] INCHES
OTHER REMARKS:

The top of the garage stubout pipe to be a minimum elv. of 66" below BM 28.95. The main house stubout elevation must be high enough to maintain gravity flow to the stubout elevation of the garage. The top of the drainfield pipe to be a minimum elv. of 76" below BM 28.95'. The top of the septic tank to be a minimum elv. of 62" below BM 28.95. The drainfield aggregate must be at least 5 feet from the property line(s). Install an approved outlet filter device in the septic tank. Do not exceed 18" of cover on the top of the drainfield. See the attached "special conditions list".

SPECIFICATIONS BY: Michelle Fredette

TITLE: Env. Specialist II.

APPROVED BY: Cross, Ray

TITLE: Env. Supervisor II Martin CHD

DATE ISSUED: 4/26/00

EXPIRATION DATE: 10/26/01

DH 4016, 03/97 (Obsoletes previous editions which may not be used)

(Stock Number: 5744-001-4016-0) [ostds_cons_4016-1]

APPLICANT'S NAME: MR+MRS NICK SMITH
133 South River Road - Seawalls Point.
 LEGAL DESCRIPTION: SEE ATTACHED; A PART OF MILES GRANT

PROPOSED SEPTIC SYSTEM SITE INFORMATION

CIRCLE ONE ANSWER FOR EACH QUESTION (FOR ITEMS 1-17 BELOW).
 N/A MEANS THAT THE QUESTION IS NOT APPLICABLE.

1. Is there a septic system within 75 feet of the proposed private well? ----- Yes No N/A
2. Is there a potable private well within 75 feet of the available area for the proposed septic system? ----- Yes No
3. Is there a non-potable well within 50 feet of the available area for the proposed septic system? ----- Yes No
4. Is there a proposed well within 25 feet of the building foundation? ----- Yes No
5. Is there a public well that serves less than 25 people or less than 15 homes or businesses within 100 feet of the proposed septic system? ----- Yes No
6. Is there a public well that serves more than 25 people or more than 15 homes or businesses within 200 feet of the proposed septic system? ----- Yes No
7. Is there a gravity sewer line or lift station within 50 feet of the proposed lot? ----- Yes No
8. Is there a lake, stream, wetland, or surface water within 75 feet of the available area for the proposed septic system? ----- Yes No
9. Is there a proposed or existing public drinking water line within 10 feet of the proposed septic system? ----- Yes No
10. Is there a storm water retention area or drainage easement within 15 feet of the proposed septic system? ----- Yes No
11. Is the proposed septic system in an area proposed for paving or vehicular traffic? ----- Yes No
12. Are all private wells, septic systems and surface water on adjacent or contiguous land within 75 feet of the applicant's lot shown on the site plan? ----- Yes No N/A
13. Are all public wells within 200 feet of the applicant's lot shown on the site plan? ----- Yes No N/A
14. Does the site plan include a plat of the lot or total site ownership drawn to scale, boundaries with dimensions, locations of building or residences, swimming pools, recorded easements, proposed or existing septic systems, any proposed or existing wells, public water lines, paved areas or driveways, and surface waters such as lakes, ponds, streams, canals, or wetlands? ----- Yes No
15. Does the site plan show the general slope of the property, recorded easements from the recorded plat, filled areas and drainage features and surface waters such as lakes, ponds, streams, canals, or wetlands? ----- Yes No
16. Are the natural grade elevation in the area of the septic system and the benchmark shown on the site plan? ----- Yes No
17. Is the public water line location from the water meter to the house shown on the site plan? ----- Yes No N/A
18. There is 2200 square feet of available, unobstructed, contiguous land to install the septic system. This area excludes interferences. Shade this available area on the site plan.

SITE ELEVATIONS

1. Crown of road elevation 13.85' NGVD. Show location on the site plan. If the road is not paved, benchmark elevation 28.95 NGVD. Show location on site plan.
2. Natural grade elevation in the area of the proposed septic system 24.3' NGVD. Show location on site plan.
3. Is the building location in a flood hazard area "A" or "V" as identified on F.E.M.A. maps? Yes or No. If yes, what is the minimum required flood hazard floor elevation of the building? _____ NGVD.

NOTE: Please locate the reference point or benchmark within 200 feet of the proposed septic system.

NOTE: MUST BE CERTIFIED BY A FLORIDA REGISTERED SURVEYOR OR ENGINEER.

CERTIFIED BY: [Signature]
 FLORIDA PROFESSIONAL NO.: 3938
 DATE: 4/19 JOB NO.: 09-225



Martin County Health Department

SEPTIC TANK SYSTEM SPECIAL CONDITIONS LIST

APPLICATION NAME: Smith, Nick PERMIT NO.: 43-SS-02340
SUBDIVISION: 133 South River Road, Sewall's Pt.

NOTE Special Condition(s) marked "X" are in effect.

1. Drainfield must be maintained under grass; and protected from vehicular traffic (i.e., traffic barriers).
2. Operational test of dosing pump(s) and high water alarm (audible and visual) required prior to final construction approval.
3. Driveway / sidewalk elevation must be 9" higher than drainfield pipe elevation if they are within 5 feet of each-other.
4. Septic system must be 75' from surface water / wetlands / mean high water line.
5. Excavate one foot beyond drainfield area to a depth of _____.
6. In addition to item #5, 33% of unsuitable soils at depths greater than _____ must be removed to a depth of slightly limited soils.
7. If excavation is not required below the drainfield, the organic vegetation layer at the existing grade must be removed and slightly limited fill placed between the existing grade and the bottom of the drainfield.
8. Septic tank abandonment notices from the Septic Tank Contractor must be received by this office prior to final construction approval.
9. The attached well abandonment form must be completed by a certified well driller and submitted to this office prior to the initial building construction or system inspection.
10. The mound area must be sodded prior to the request for final grade inspection.
11. Any future ponds or surface water created onsite must be greater than 75' from septic system(s).
12. The available area for septic installation must to be evenly filled and leveled.
13. \$ _____ re-inspection fee is required if the well is not installed at time of initial onsite sewage disposal system inspection.

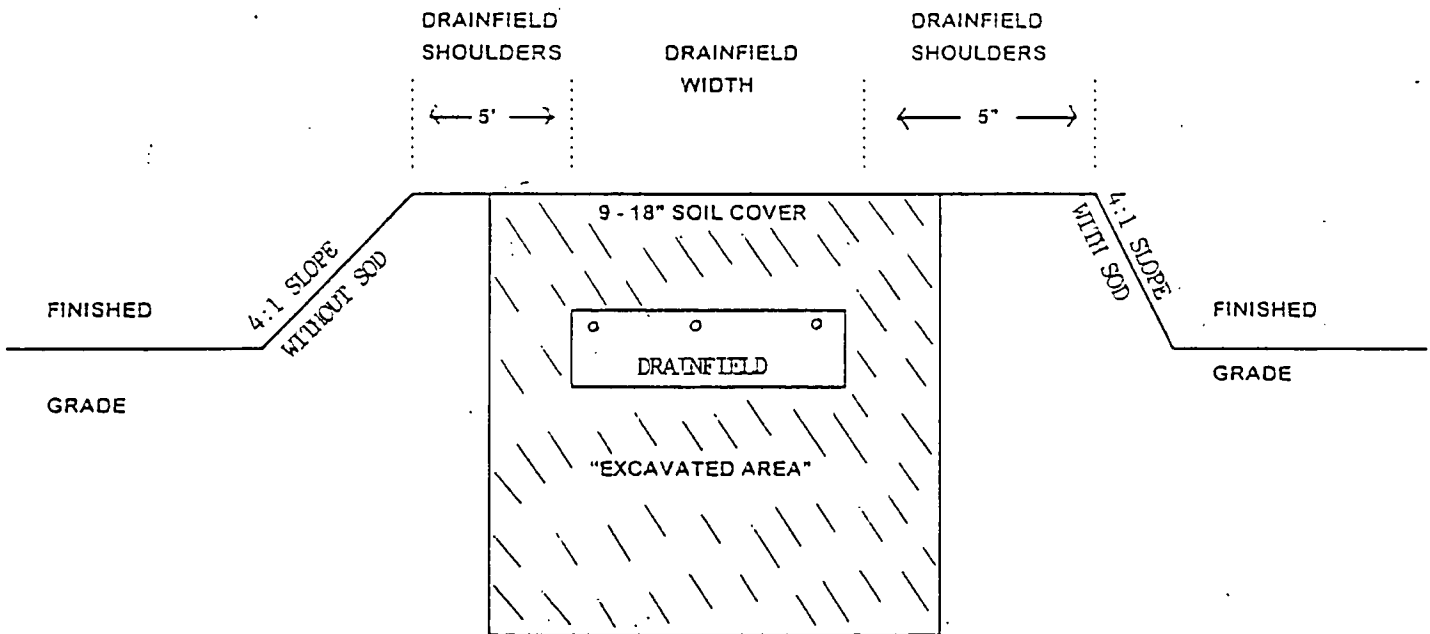
SEE REVERSE SIDE FOR ADDITIONAL REQUIREMENTS. Page 1 of 3

SPECIAL CONDITION REQUIREMENTS (Page 2 of 3) Revised 11/18/98

14. Septic system must be a minimum of 10 feet from drainage culverts or storm water drains and a 15 feet minimum from dry retention, dry detention or dry drainage ditches.
15. Occupational approval will not be given until all requirements for public water system/ food-service/ institutional/ septic system are met. _____
16. Septic tank/ dosing chamber/ grease trap must have (traffic lids with) manhole cover (s) per tank extending to the surface.
17. _____ to be dosed two / six times in a twenty-four hour period is required. A high water alarm that gives audible and visual signals is required. If two drainfields are used, each field must be connected to an individual pump and alternately dose.
18. Two pumps are required to alternately dose into two separate fields. Separate drainfields must be a minimum of 10 feet apart.
19. If the roof drip line is within 5 feet of the drainfield, shoulder or slope and the roof drains toward the septic system, gutters are required.
20. Irrigation lines must be separated from the drainfield by ten feet unless an approved backflow prevention device is properly installed.
21. Potable water lines, whether connected to an on-site well or to a utility meter, must be a minimum of ten feet from drainfields or sealed with a water proof sealant within a sleeve of similar pipe to a distance of ten feet from the nearest portion of the drainfield. In no case can the sleeved line be located within 24 inches of the drainfield or at an elevation lower than the bottom of the drainfield.
22. All new wells must be 25' from the building foundation and meet all other setback installation requirements.
23. Applicant is responsible for replacing excavated soils with a good grade of soil suitable for drainfield installation.
24. If the building stubout is placed more than 20ft. from septic tank or drainfield, the stubout elevation must be higher than the permitted elevation to achieve gravity flow. This must have prior approval from the health unit.
25. If fill is required, contact Martin County Building Division for requirements.
26. Inspection results will be posted on the building permit. A copy of the construction approval is available upon request.
27. A septic tank outlet filter is required on all septic tanks.
28. If any information on this permit changes, an amended application is required to be filed immediately.

- 29. Any alteration of the information or conditions of this permit found to be in non compliance with 64E-6, Florida Administrative Code, will be sufficient cause for revocation of this permit.
- 30. The engineer of record must certify that the installed system complies with the approved design and installation requirements.
- 31. Prior to final construction approval, the property owner must apply for an annual operating permit and pay the \$_____ annual permit fee (For ___ Indust./Manuf. ___ Aerobic system ___ Commercial System).
- 32. If a mound drainfield is proposed, see following sketch of additional requirements (No retaining walls are allowed within the drainfield shoulder or slope areas of a mound system).

DRAINFIELD MOUND REQUIREMENTS



NOTE: THESE REQUIREMENTS MUST BE MET PRIOR TO FINAL APPROVAL. SEE EXCAVATION CERTIFICATION SHEET FOR EXCAVATION DETAILS.

- 33. A well construction permit is required prior to well installation.
- 34. Other: _____

NOTE - \$25.00 RE-INSPECTION FEE WILL BE CHARGED IF REQUIREMENTS ARE NOT MET DURING INSPECTION.

Questions concerning special conditions can be answered by calling Michelle at (561) 221-4090



ASAP if possible

STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE DISPOSAL SYSTEM
SITE EVALUATION AND SYSTEM SPECIFICATIONS

CENTRAX #: 43-SS-02340
OSTDSNBR : 00-0353-N

APPLICANT: SMITH, NICK M/M

AGENT: 95-0 PROPERTY OWNER,

LOT: SO 150' OF LOT 1 BLOCK: SUBDIVISION: HANSON GRANT ID#: 1338410000000030100

TO BE COMPLETED BY ENGINEER, HEALTH DEPARTMENT EMPLOYEE, OR OTHER QUALIFIED PERSON. ENGINEER'S MUST PROVIDE REGISTRATION NUMBER AND SIGN AND SEAL EACH PAGE OF SUBMITTAL. COMPLETE ALL ITEMS.

PROPERTY SIZE CONFORMS TO SITE PLAN: YES [] NO NET USABLE AREA AVAILABLE: 1.647 ACRES
TOTAL ESTIMATED SEWAGE FLOW: 1200 GALLONS PER DAY [64E-6, TABLE 1]
AUTHORIZED SEWAGE FLOW: 417 GALLONS PER DAY [1500GPD/ACRE OR 2500GPD/ACRE]
UNOBSTRUCTED AREA AVAILABLE: 2200 SQFT UNOBSTRUCTED AREA REQUIRED: 2000 SQFT

BENCHMARK/REFERENCE POINT LOCATION: Corner of lots 13.85' Concrete Monument 28.95'
ELEVATION OF PROPOSED SYSTEM SITE IS 12.56 [Inches] [Below] BENCHMARK/REFERENCE POINT

THE MINIMUM SETBACK WHICH CAN BE MAINTAINED FROM THE PROPOSED SYSTEM TO THE FOLLOWING FEATURES:
SURFACE WATER: 240 FT DITCHES/SWALES: N/A FT NORMALLY WET? [] YES [] NO
WELLS: PUBLIC: N/A FT LIMITED USE: N/A FT PRIVATE: N/A FT NON-POTABLE: 80 FT
BUILDING FOUNDATIONS: 5 FT PROPERTY LINES: 50 FT POTABLE WATER LINES: 50 FT

SITE SUBJECT TO FREQUENT FLOODING: [] YES [] NO 10 YEAR FLOODING? [] YES [] NO
10 YEAR FLOOD ELEVATION FOR SITE: N/A FT NGVD SITE ELEVATION: 74.3 FT NGVD

SOIL PROFILE INFORMATION SITE 1			
Munsell #/Color	Texture	Depth	
8/10	WHIT	SAND	2 to 60
5/10	ORANGE	SAND	60 to 72
			to
			to
			to
			to
			to
			to
USDA SOIL SERIES: 6 (Mud + sand)			

SOIL PROFILE INFORMATION SITE 2			
Munsell #/Color	Texture	Depth	
8/0	WHIT	SAND	0 to 60
5/10	ORANGE	SAND	60 to 72
			to
			to
			to
			to
			to
			to
USDA SOIL SERIES: 6 (Mud + sand)			

OBSERVED WATER TABLE: Not observed INCHES [BELOW] EXISTING GRADE TYPE: [APPARENT]
ESTIMATED WET SEASON WATER TABLE ELEVATION: 54 INCHES [Below] EXISTING GRADE.
HIGH WATER TABLE VEGETATION: [] YES [] NO MOTTLING: [] YES [] NO DEPTH: N/A INCHES

SOIL TEXTURE/LOADING RATE FOR SYSTEM SIZING: SAND 1.2/0.8 DEPTH OF EXCAVATION: N/A INCHES
DRAINFIELD CONFIGURATION: [] TRENCH [] BED [] OTHER (SPECIFY) _____
REMARKS/ADDITIONAL CRITERIA: _____

SITE EVALUATED BY: D. Z. M. V. DATE: 4/25/00



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 43-55-2340
DATE PAID: 4-19-00
FEE PAID: 200.
RECEIPT #: 28765

APPLICATION FOR:
 New System Existing System Holding Tank Innovative
 Repair Abandonment Temporary _____

APPLICANT: MR+MRS Nick Smith

AGENT: MACARI Building & Design INC TELEPHONE: 561-745-0394

MAILING ADDRESS: 18501 Lakeside Gardens Dr. Jupiter Fla. 33458

===== TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS. =====

PROPERTY INFORMATION SEE ATTACHED Legal Description

LOT: _____ BLOCK: _____ SUBDIVISION: SEAWALLS POINT PLATTED: _____

PROPERTY ID #: 13-38-41-000-000-00030-10000 ZONING: _____ I/M OR EQUIVALENT: [Y / N]

PROPERTY SIZE: 1.647 ACRES WATER SUPPLY: [] PRIVATE PUBLIC [] <=2000GPD [] >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? [Y /] DISTANCE TO SEWER: _____ FT

PROPERTY ADDRESS: 133 South River ROAD Seawalls Point

DIRECTIONS TO PROPERTY: Monterey to SE Ocean Blvd Seawalls Point Road; ^{South} ~~West~~ to Kingston Rd.

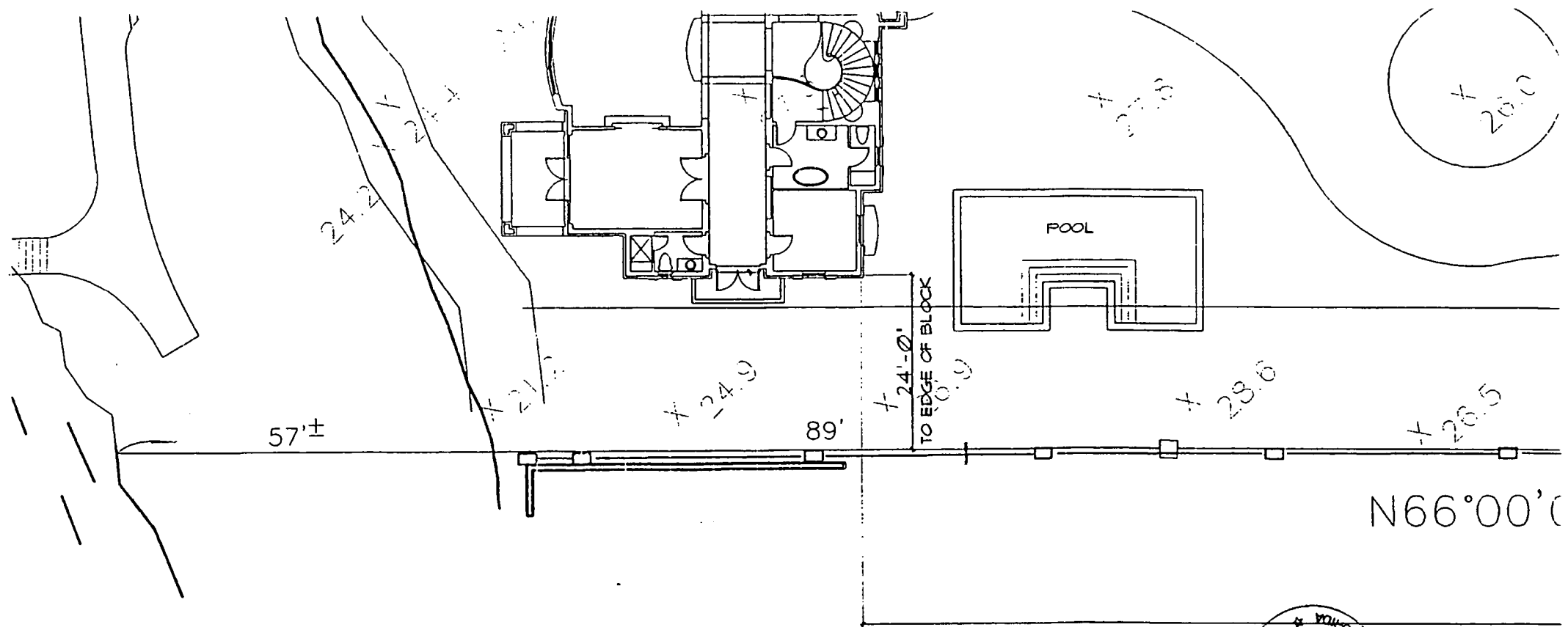
Turn Right - property is at End of Kingston on South River Road - Jacks on Lot.
are unlocked -

BUILDING INFORMATION RESIDENTIAL [] COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	<u>SINGLE FAMILY HOME</u>	<u>4</u>	<u>8762</u>	<u>4/26/2000</u>
2	_____	_____	_____	_____
3	_____	_____	_____	_____
4	_____	_____	_____	_____

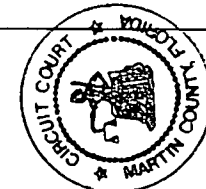
[] Floor/Equipment Drains [] Other (Specify) _____

SIGNATURE: Stephen J Macari DATE: 4-18-2000



LEGAL DESCRIPTION

THAT PART OF THE SOUTH 150 FEET OF THE NORTH 631 FEET OF LOT 1 OF THE MILES OR HANSON GRANT ACCORDING TO THE MAP OF COMMISSIONERS SUBDIVISION OF THE MILES OR HANSON GRANT, FILED DECEMBER 30, 1901, AND RECORDED IN PLATBOOK B, PAGE 59, OF DADE (NOW MARTIN) COUNTY, FLORIDA, BOUNDED ON THE WEST BY THE WATERS OF THE ST. LUCIE RIVER AND BOUNDED ON THE EAST BY THE WESTERLY RIGHT-OF-WAY LINE OF SOUTH RIVER ROAD, SAID RIGHT-OF-WAY BEING SHOWN ON A PLAT ENTITLED " ROAD RIGHT-OF-WAY ON SEWALL'S POINT RECORDED IN PLATBOOK 4, PAGE 58, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA. CONTAINING 1.647 ACRES MORE OR LESS



UNPLATTE

DOCU

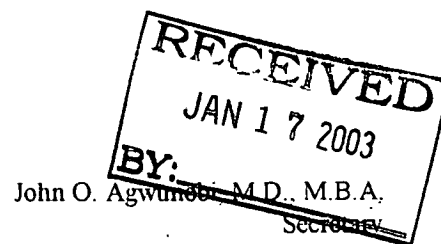
STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE
FOREGOING PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.

MARSHA STILLER, CLERK
DATE 4-18-00 D.C.

This drawing
the contract
Dated 3/1
Use without
the architect
The deliver
warranty or
drawing imp
information.
Imposed by

Jeb Bush
Governor



Martin County Health Department

January 15, 2003

Macari Building & Design Inc.
c/o Mr./Mrs. Nick Smith
18561 Lakeside Gardens Drive
Jupiter, Florida 33458

Re: Violation of Onsite Sewage Treatment and Disposal System Regulations

Dear Mr./Mrs. Nick Smith or Agent:

On December 23, 2002 a representative of Dawson-Williams, Inc. called this office to request an inspection of a septic system installed at your residence at 133 South River Road. Upon investigation, it was determined that the permit expired on October 26, 2001.

You or your agent must submit a complete application to this office and a permit must be issued prior to inspection of the system. Dawson-Williams has been notified that their installation is in violation of the law and that the system cannot be covered until it is inspected. A certificate of occupancy will not be granted until the septic system is approved.

If you have any questions, please contact me at (772) 221-4090.

Sincerely,

A handwritten signature in cursive script that reads "Michelle Fredette".

Michelle Fredette
Environmental Specialist II

J:EHLEGAL2003\Smith\WN-01-07-03

Cc: Sewall's Point Building Department

1'-8"

93'-0"

40'-0"

2'-0"

14'-0"

2'-0"

4'-0"

2'-0"

14'-0"

2'-0"

2'-0"

1'-4"

6 - #5 BARS W/1-#3
Hoop @ 12" O.C.
L SHAPED COLS., TYR

4 - #5 BARS W/1-#3
Hoop @ 12" O.C.
16" x 24" COLUMNS

IMBED & EPOXY ADDNL STEEL
6" INTO FOOTINGS

4'-6"

9'-0"

4'-6"

CONC COL WITH
(3) #5 BARS AS SHOWN.

45 DEG CORNER BLOCK.

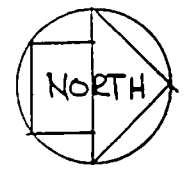
12" BLOCK WALLS

1'-10-1/2"

John P. Smith
10-15-01

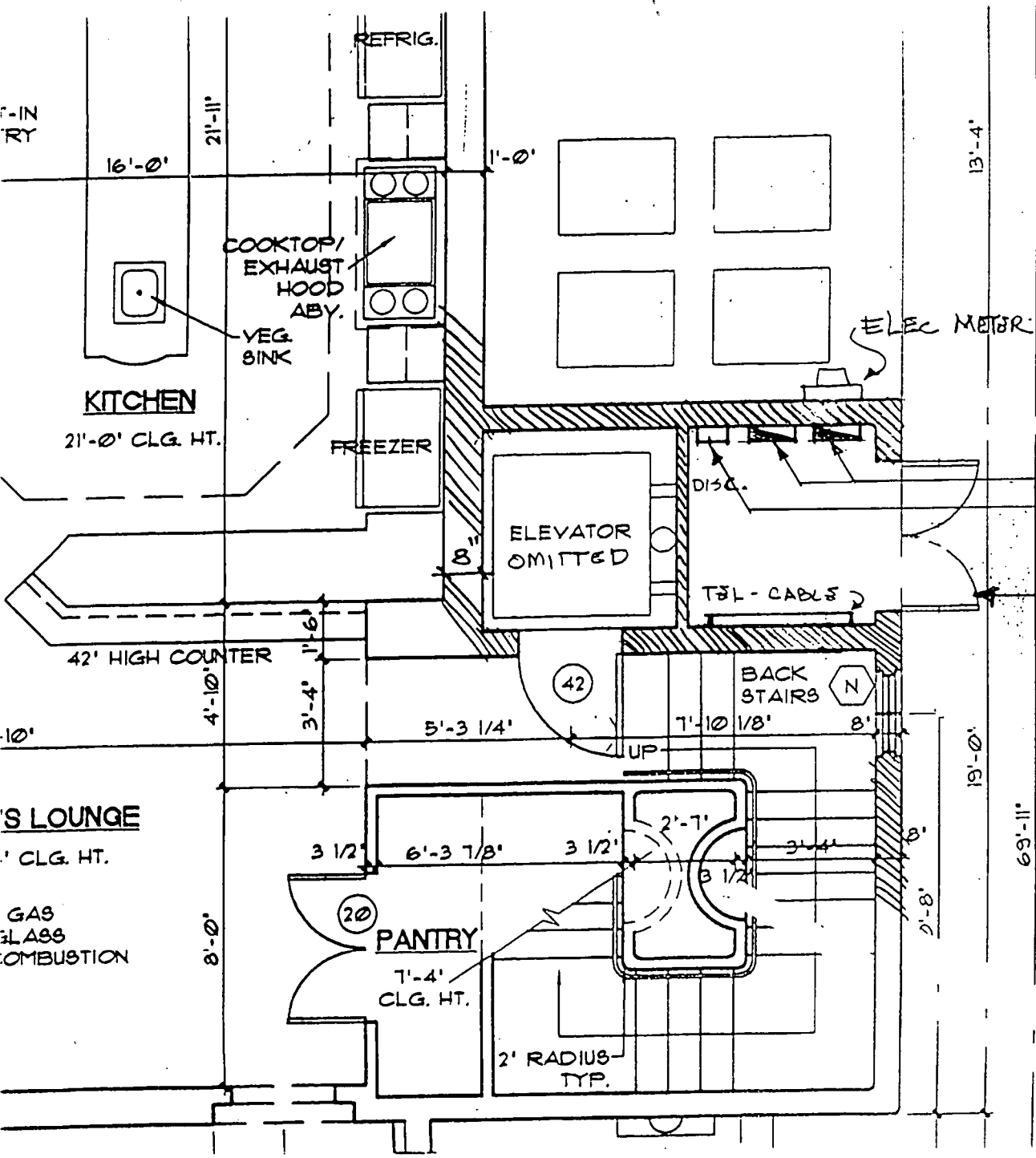
REINFORCING REQUIREMENTS
FOR CONC. COLS. IN LIEU OF BLOCK
SMITH RESIDENCE
RIVER RD - SEWALLS PT., FL
WESSEL ASSOCIATES, AIA
10-15-01
5022





COPYRIGHT ASSOCIATES PEACOCK + AND PLANNER RESERVED

THESE DRAW PROPERTY OF AND ARE NOT TO BE REPRODUCED FOR ANY OTHER PROJECT WITHOUT THE ARCHITECT'S PERMISSION



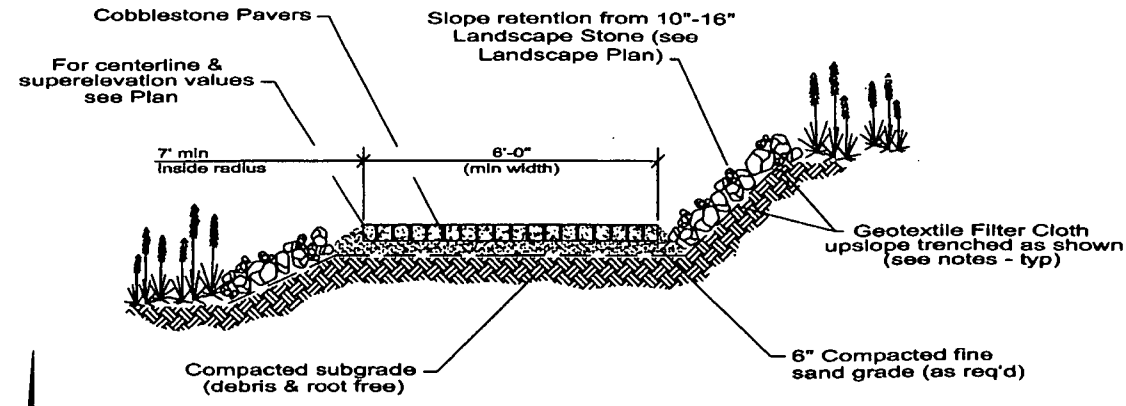
RELOCATE ELEC. SWITCHGEAR TO FORMER ELEV. EQUIP. RM. (ELEV. OMITTED)

MAIN PANELS DISCONNECT FOR GARAGE BRANCH PANEL (SEE ELEC. ONE LINE ON E-4)

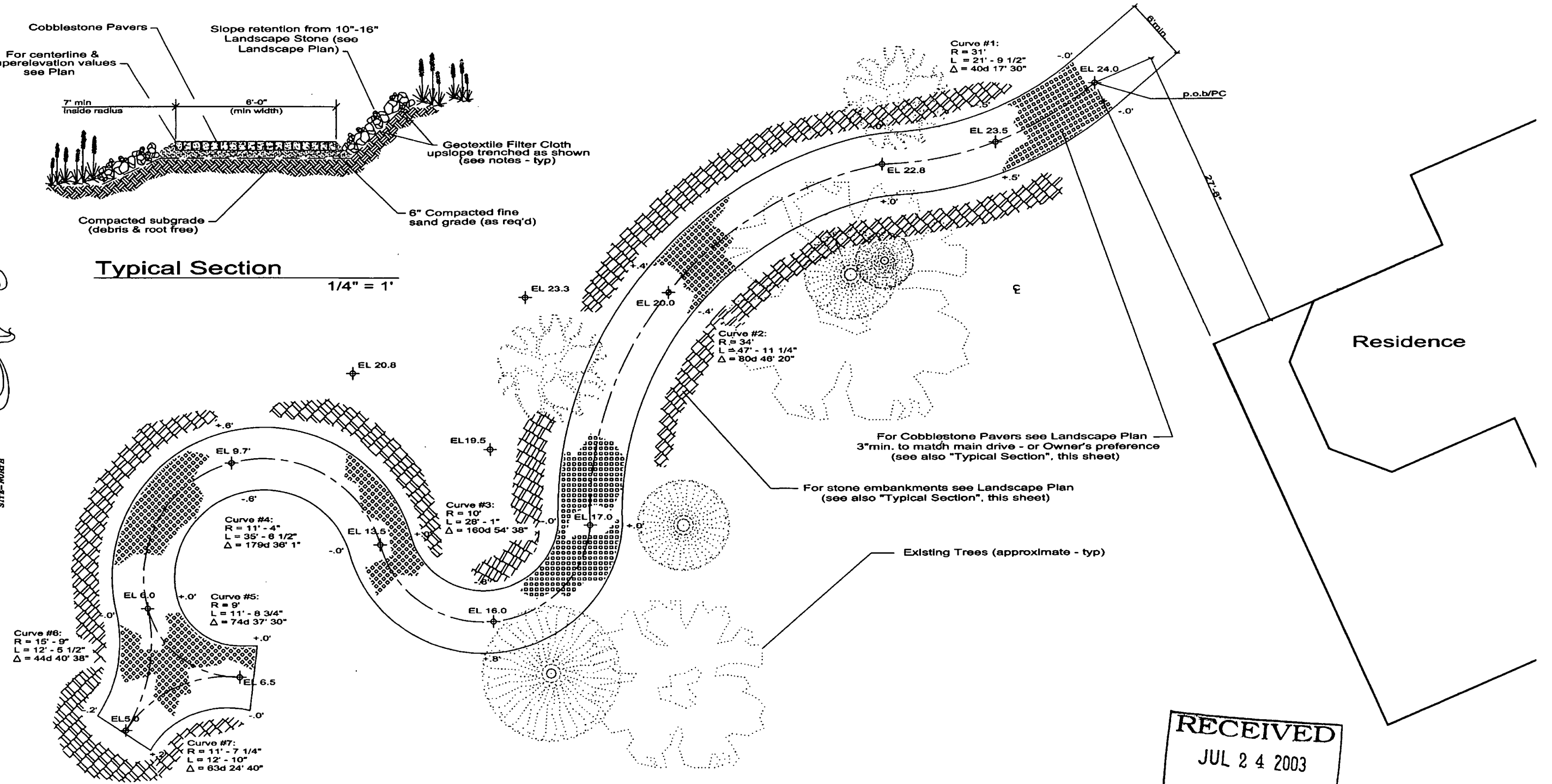
THESE DOORS TO REMAIN UNLOCKED FOR EMERGENCY ACCESSIBILITY. LOCK SHALL NOT BE INSTALLED. DOORS MAY HAVE SECURITY ALARM. V.I.F. PROVIDES LABEL ON DOOR IN 1" LETTERS: "ELECTRICAL ROOM"

[Handwritten signature]
7/9/03

REVISED PARTIAL PLAN
SMITH RESIDENCE
SOUTH RIVER ROAD, SEVALL'S PT.
ARCHITECTS - WESS ASSOC.
7-9-03 SCALE 1/4" = 1'-0"



Typical Section
1/4" = 1'



PLAN - Proposed Cartpath
133 South River Rd. 1" = 30'

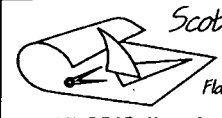
Notes:

- 1) All work shall be per the 2001 Florida Building Code. Nothing shall relieve the Contractor from complying with the Code & Local ordinances as required.
- 2) No survey is implied. Plan shown is for Cartpath layout only. Reference is made to a Boundary Survey dated 7/27/99 by Dearlove & Assoc. (R.Dearlove, PSM FL #3938). Elevations are based on those indicated for Residence and as provided on a final Landscape Plan as prepared by Dan Sugg, Landscape Architect (FL #766). Curve data is to centerline of path with elevations as noted. Positive & negative values refer to required superelevation at that point on curve. Minimum path width shall be 6ft. with minimum inside radius to be 7ft. Paver grade & curve embankment shall be blended to provide smooth transition to elevations & superelevation values provided (reference cart is E-Z Go "Freedom" electric model). Maximum speed is 8 mph. A sign suitable to the Owner and compatible with the Landscape Plan shall be posted at the Path's point of beginning stating "CAUTION! Speed not to exceed 8 mph".
- 3) Pavers shall match those used in balance of construction (Owner's preference) with compacted, debris, and root-free subgrade. Grade shall be fine sand to the lines & elevations indicated. Edges shall be curbed with a sloped edging of sand-cement, with pavers fully sanded in accordance with manufacturer/industry practice.
- 4) Geotextile filter fabric (Geoturf 11F, 117F, or Tensar TG150, or equal) shall be installed as indicated beneath Cartpath Pavers and Landscape Stone. Landscape stone shall be placed as indicated on Landscape Plan with no slope greater than 1 vertical to 1.5 horizontal. Stone shall not exceed 6ft. in height (grade elevation difference). Stone selection shall be per the Owner's preference & as designated by the Landscape Architect in approximate sizes as indicated (10" - 16" average). Stones shall be firmly placed & mortared only if req'd to initially set.

RECEIVED
JUL 24 2003
BY:

Free copy

*Scott A. Lorraine
7-21-03*

 Scott A. Lorraine, P.E. Consulting Engineer 3258 Perimeter Rd. Palm City, FL 34990 Florida Civil Engineer #38714 Hawaii Civil Engineer #8417 772-221-0898 office & fax Scott.lorraine@worldnet.att.net 772-285-6255 cell	Client: Smith	Contractor: Macari
	Project: 133 South River Rd. Sewalls Point, Florida 34996	
Designed: SLDS	Approved: _____	Rev.: 0 Date: 7/03

Permit # 5022

Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	EJ7	ROOF	23	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Mon Feb 25 08:37:10 2002 Page 1

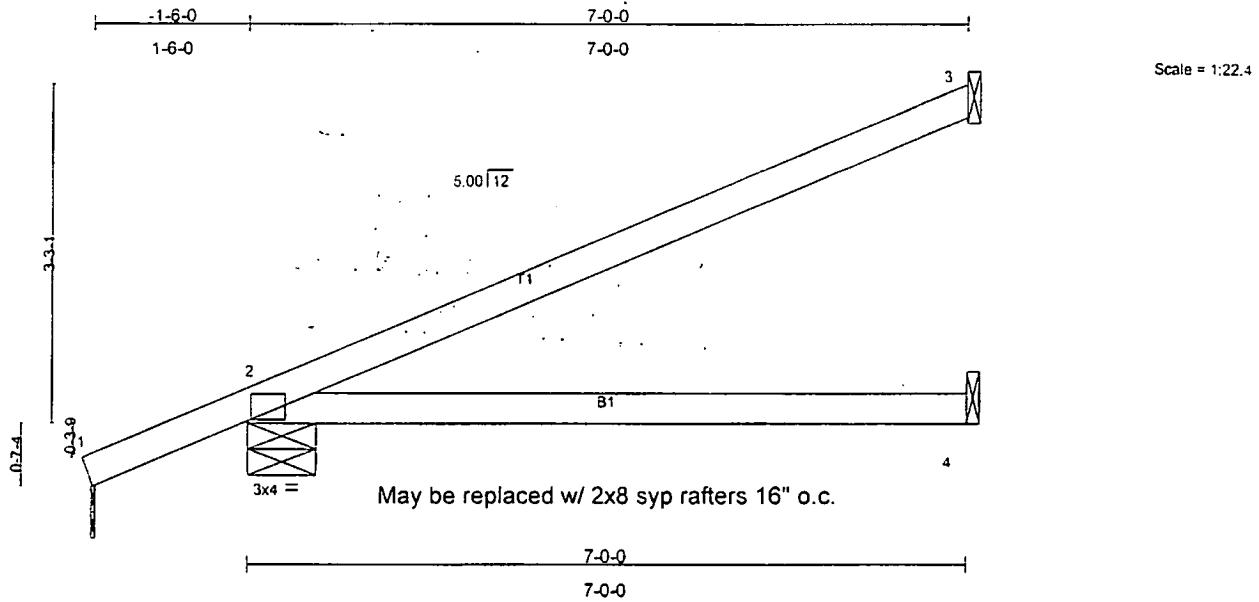


Plate Offsets (X,Y): [2:0-0-8:0-1-8]								
LOADING (psf)	SPACING	2-0-0	CSI	DEFL	in (loc)	l/defl	PLATES	GRIP
TCLL 20.0	Plates Increase	1.33	TC 0.62	Vert(LL)	-0.09	2-4	MII20	249/190
TCDL 15.0	Lumber Increase	1.33	BC 0.31	Vert(TL)	-0.19	2-4		
BCLL 10.0	Rep Stress Incr	YES	WB 0.00	Horz(TL)	-0.00	3		
BCDL 10.0	Code	SBC/SBCCI	(Matrix)	1st LC LL Min l/defl	=	360		Weight: 24 lb

LUMBER
 TOP CHORD 2 X 4 SYP SS
 BOT CHORD 2 X 4 SYP M 14

BRACING
 TOP CHORD Sheathed or 6-0-0 oc purlins. [P]
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

REACTIONS (lb/size) 1=-86/0-0-8, 3=184/Mechanical, 2=661/0-8-0, 4=132/Mechanical
 Max Horz 2=460(load case 5)
 Max Uplift 1=-86(load case 1), 3=-420(load case 5), 2=-837(load case 5)
 Max Grav 1=314(load case 5), 3=184(load case 1), 2=661(load case 1), 4=132(load case 1)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=77, 2-3=56
 BOT CHORD 2-4=0

- NOTES**
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 2) Refer to girder(s) for truss to truss connections.
 - 3) Bearing at joint(s) 1 considers parallel to grain value using ANSI/TPI 1-1995 angle to grain formula. Building designer should verify capacity of bearing surface.
 - 4) Provide mechanical connection (by others) of truss to bearing plate at joint(s) 1.
 - 5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 86 lb uplift at joint 1, 420 lb uplift at joint 3 and 837 lb uplift at joint 2.
 - 6) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	T3	ROOF	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Mon Feb 25 08:38:15 2002 Page 1

0-5-0 3-11-10 7-8-0 11-4-6 15-4-0 15-9-0
 0-5-0 3-11-10 3-8-6 3-8-6 3-11-10 0-5-0

4x5 =

Scale = 1:68.5

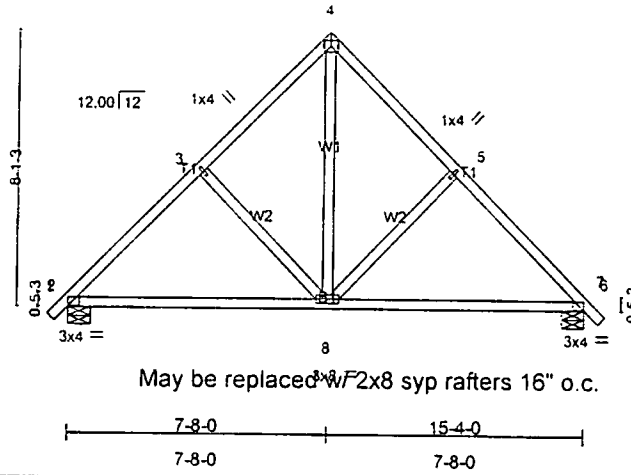


Plate Offsets (X,Y): [2-0-2-6-0-1-8] [6-0-2-6-0-1-8]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.67	in (loc) l/defl	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.46	Vert(LL) -0.08 6-8 >999		
BCLL 10.0	Lumber Increase 1.33	WB 0.72	Vert(TL) -0.16 6-8 >999		
BCDL 10.0	Rep Stress Incr YES		Horz(TL) -0.01 6 n/a		
	Code SBC/SBCCI		1st LC LL Min l/defl = 360		Weight: 84 lb

LUMBER

TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3

BRACING

TOP CHORD Sheathed or 6-0-0 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 9-5-5 oc bracing.

(P)

REACTIONS (lb/size) 2=866/0-8-0, 6=866/0-8-0
 Max Horz 2=706(load case 3)
 Max Uplift 2=-813(load case 4), 6=-813(load case 5)

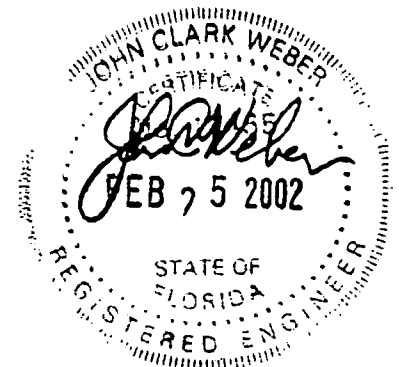
FORCES (lb) - First Load Case Only

TOP CHORD 1-2=14, 2-3=-720, 3-4=-540, 4-5=-540, 5-6=-720, 6-7=14
 BOT CHORD 2-8=480, 6-8=480
 WEBS 3-8=-142, 4-8=498, 5-8=-142

NOTES

- 1) This truss has been checked for unbalanced loading conditions.
- 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
- 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 813 lb uplift at joint 2 and 813 lb uplift at joint 6.
- 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
upper	T1REP	ROOF TRUSS	3	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Mon Feb 25 08:54:43 2002 Page 1

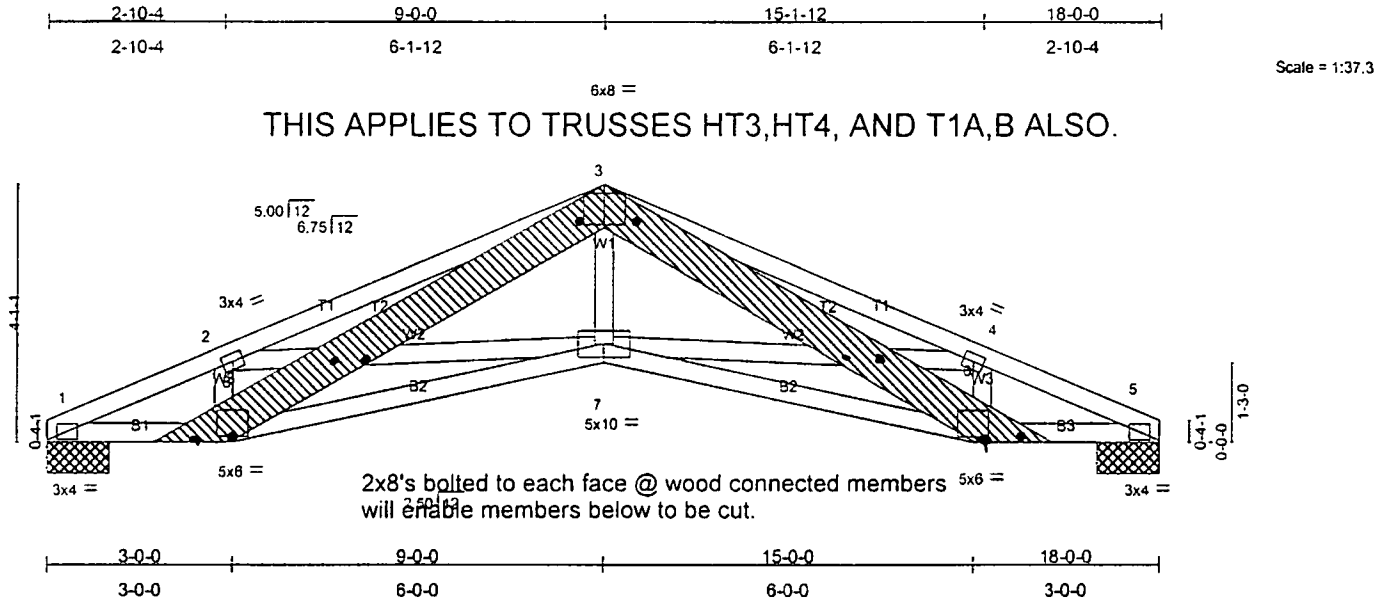


Plate Offsets (X,Y): [3;0-4-0-0-7-11]								
LOADING (psf)	SPACING	2-0-0	CSI	DEFL	in (loc)	l/defl	PLATES	GRIP
TCLL 20.0	Plates Increase	1.33	TC 0.92	Vert(LL)	0.15	7-8	MII20	249/190
TCDL 15.0	Lumber Increase	1.33	BC 0.39	Vert(TL)	-0.14	7-8		
BCLL 10.0	Rep Stress Incr	YES	WB 0.30	Horz(TL)	-0.07	5		
BCDL 10.0	Code	SBC/SBCCI	(Matrix)	1st LC LL Min l/defl	=	360		
							Weight: 132 lb	

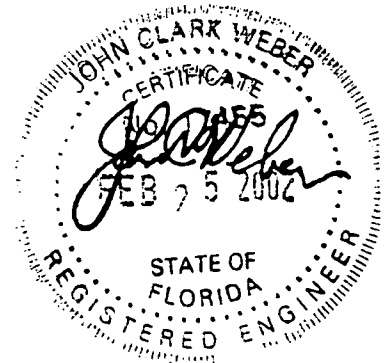
LUMBER	BRACING
TOP CHORD 2 X 4 SYP M 14 "Except"	TOP CHORD Sheathed or 5-1-8 oc purlins. Except:
T2 2 X 8 SYP DSS, T2 2 X 8 SYP DSS	1 Row at midpt 3-8, 3-6
BOT CHORD 2 X 4 SYP M 14 "Except"	BOT CHORD Rigid ceiling directly applied or 4-9-15 oc bracing.
B3 2 X 4 SYP SS	
WEBS 2 X 4 SYP No.3	
LBR SCAB 3-8 2 X 8 SYP X DSS one side	
3-6 2 X 8 SYP X DSS one side	

REACTIONS (lb/size) 1=953/1-0-0, 5=953/1-0-0
 Max Horz 1=231(load case 4)
 Max Uplift 1=-1015(load case 4), 5=-1015(load case 5)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=-1916, 2-3=-1883, 3-4=-1882, 4-5=-1914, 3-8=-88, 3-6=-88
 BOT CHORD 1-8=1721, 7-8=1843, 6-7=1842, 5-6=1720
 WEBS 2-8=-209, 2-7=-27, 3-7=983, 4-7=-26, 4-6=-210

- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1015 lb uplift at joint 1 and 1015 lb uplift at joint 5.
 - 4) Following joints to be plated by qualified designer: Joint(s) 3, not plated.
 - 5) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - 6) Design assumes 4x2 (flat orientation) purlins at oc spacing indicated, fastened to truss TC w/ 2-10d nails.

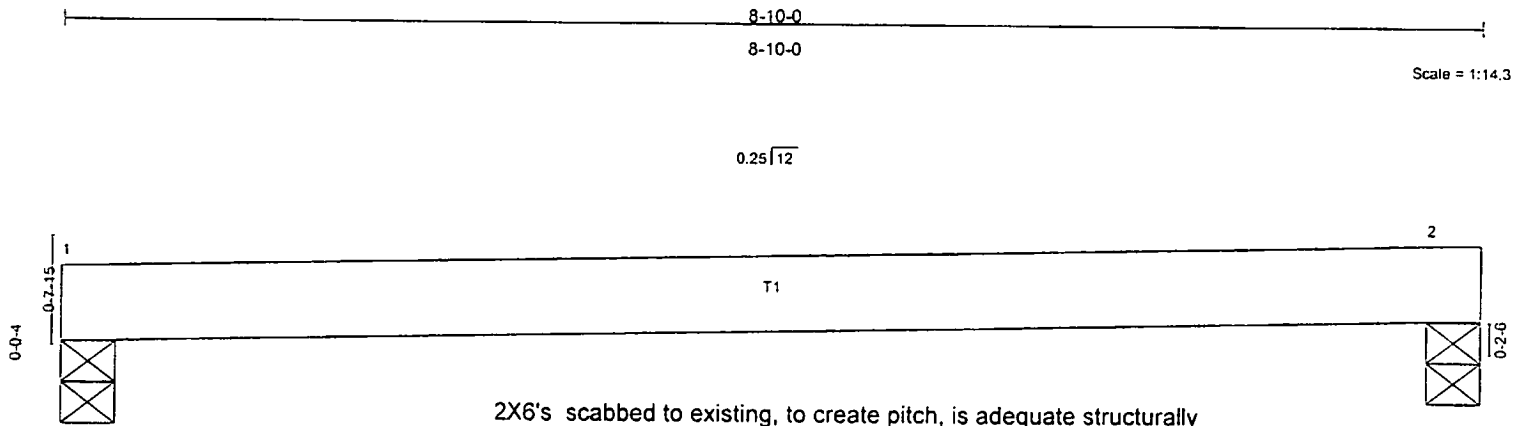
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI
GARAGE		RAFTER	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Mon Feb 25 09:07:47 2002 Page 1



2X6's scabbed to existing, to create pitch, is adequate structurally
24" o.c. Nailing @ 6" o.c. (8d min.) is required.

LOADING (psf)		SPACING	CSI	DEFL	in (loc)	Vdefl	PLATES	GRIP
TCLL	30.0	2-0-0	TC 0.90	Vert(LL)	n/a	-	n/a	
TCOL	15.0	Plates Increase	BC 0.00	Vert(TL)	n/a	-	n/a	
BCLL	10.0	Lumber Increase	WB 0.00	Horz(TL)	-0.00	2	n/a	
BCDL	10.0	Rep Stress Incr	(Matrix)	1st LC LL Min	Vdefl = 360		Weight: 21 lb	
		Code						
		SBC/SBCCI						

LUMBER
TOP CHORD 2 X 6 SYP M 14

BRACING
TOP CHORD Sheathed or 4-10-4 oc purlins.
BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

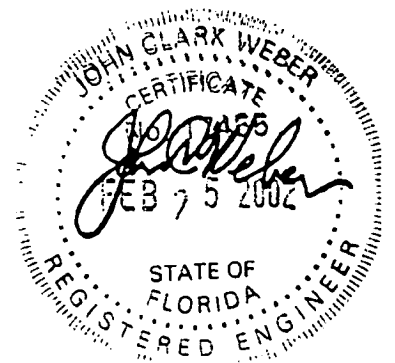
REACTIONS (lb/size) 1=383/0-4-0, 2=383/0-4-0
Max Horz 1=32(load case 2)
Max Uplift 1=-735(load case 2), 2=-736(load case 2)

FORCES (lb) - First Load Case Only
TOP CHORD 1-2=6

NOTES (5)

- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition II partially enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
- 2) Provide adequate drainage to prevent water ponding.
- 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 735 lb uplift at joint 1 and 736 lb uplift at joint 2.
- 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
- 5) Apply 2x8 scabs, in field, to one face w/ 10d nails, 4" o.c.

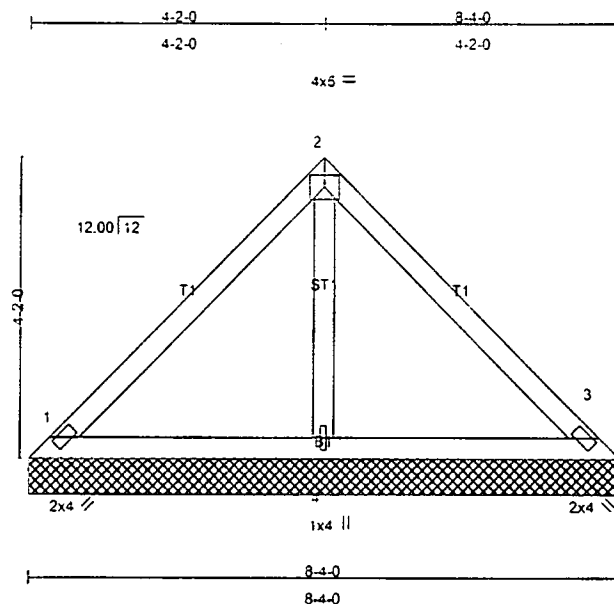
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	V8	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:32:25 2001 Page 1



Scale = 1:32.4

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.48	in (loc) l/defl	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.09	Vert(LL) n/a - n/a		
BCLL 10.0	Lumber Increase 1.33	WB 0.06	Vert(TL) n/a - n/a		
BCDL 10.0	Rep Stress Incr YES		Horz(TL) 0.00 3 n/a		
	Code SBC/SBCCI		1st LC LL Min l/defl = 360		Weight: 34 lb

LUMBER

TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 OTHERS 2 X 4 SYP No.3

BRACING

TOP CHORD Sheathed or 6-0-0 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

(P)

REACTIONS (lb/size) 1=262/8-4-0, 3=262/8-4-0, 4=316/8-4-0
 Max Horz 1=345(load case 3)
 Max Uplift 1=-300(load case 5), 3=-300(load case 5), 4=-167(load case 4)

FORCES (lb) - First Load Case Only

TOP CHORD 1-2=-73, 2-3=-73
 BOT CHORD 1-4=52, 3-4=52
 WEBS 2-4=-163

NOTES

- 1) This truss has been checked for unbalanced loading conditions.
- 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
- 3) Gable requires continuous bottom chord bearing.
- 4) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 300 lb uplift at joint 1, 300 lb uplift at joint 3 and 167 lb uplift at joint 4.
- 5) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

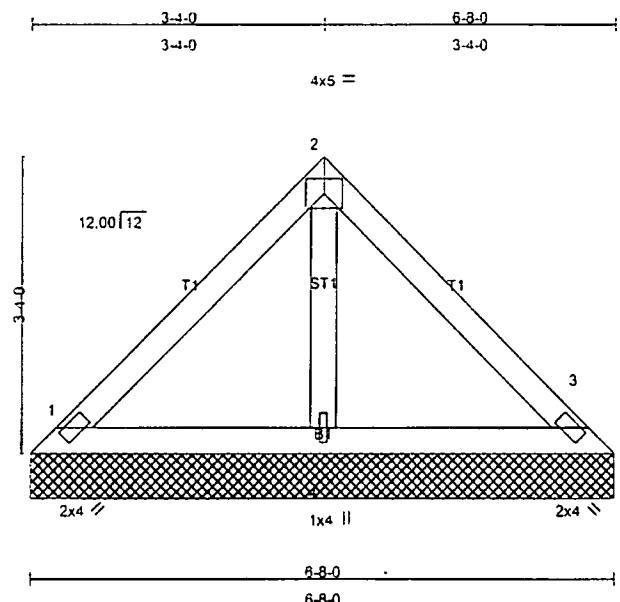
LOAD CASE(S) Standard

CLARK WESS
 FEB 20 2002
[Signature]

Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	V6	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:32:26 2001 Page 1



Scale = 1:26.3

LOADING (psf)	SPACING 2-0-0	CSI	DEFL in (loc) Vdefl	PLATES	GRIP
TCLL 20.0	Plates Increase 1.33	TC 0.28	Vert(LL) n/a - n/a	M1120	249/190
TCDL 15.0	Lumber Increase 1.33	BC 0.05	Vert(TL) n/a - n/a		
BCLL 10.0	Rep Stress Incr YES	WB 0.05	Horz(TL) 0.00 3 n/a		
BCDL 10.0	Code SBC/SBCCI		1st LC LL Min Vdefl = 360		Weight: 27 lb

LUMBER

TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 OTHERS 2 X 4 SYP No.3

BRACING

TOP CHORD Sheathed or 6-0-0 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size)

1=204/6-8-0, 3=204/6-8-0, 4=247/6-8-0
 Max Horz 1=269(load case 3)
 Max Uplift1=-234(load case 5), 3=-234(load case 5), 4=-130(load case 4)

FORCES (lb) - First Load Case Only

TOP CHORD 1-2=-57, 2-3=-57
 BOT CHORD 1-4=41, 3-4=40
 WEBS 2-4=-128

NOTES

- 1) This truss has been checked for unbalanced loading conditions.
- 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
- 3) Gable requires continuous bottom chord bearing.
- 4) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 234 lb uplift at joint 1, 234 lb uplift at joint 3 and 130 lb uplift at joint 4.
- 5) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

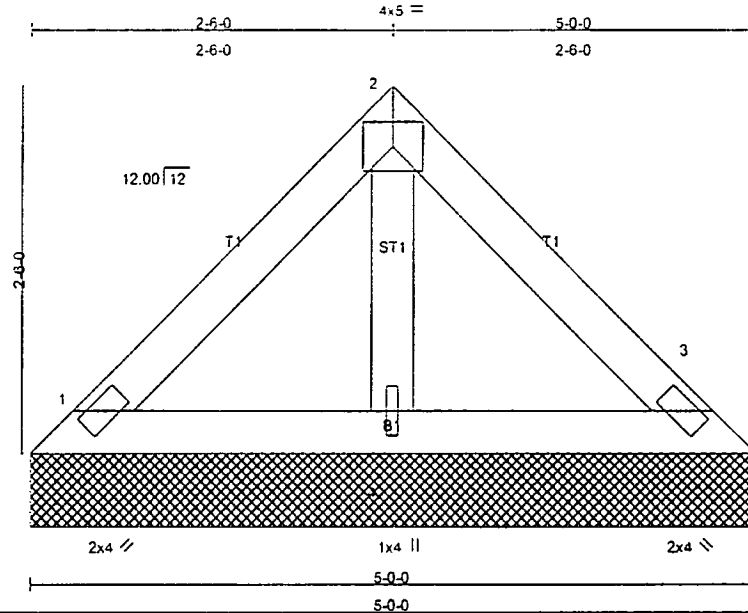
LOAD CASE(S) Standard

JOHN CLARK WEBER
 FEB 20 2002
John Weber

Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	V5	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:32:27 2001 Page 1



Scale: 3/4"=1'

LOADING (psf)	SPACING 2-0-0	CSI	DEFL in (loc) Vdefl	PLATES	GRIP
TCLL 20.0	Plates Increase 1.33	TC 0.13	Vert(LL) n/a - n/a	MII20	249/190
TCDL 15.0	Lumber Increase 1.33	BC 0.03	Vert(TL) n/a - n/a		
BCLL 10.0	Rep Stress Incr YES	WB 0.03	Horz(TL) 0.00 3 n/a		
BCDL 10.0	Code SBC/SBCCI		1st LC LL Min Vdefl = 360		Weight: 19 lb

LUMBER

TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 OTHERS 2 X 4 SYP No.3

BRACING

TOP CHORD Sheathed or 5-0-0 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size)

1=147/5-0-0, 3=147/5-0-0, 4=178/5-0-0
 Max Horz 1=-194(load case 2)
 Max Uplift1=-169(load case 5), 3=-169(load case 5), 4=-94(load case 4)

FORCES (lb) - First Load Case Only

TOP CHORD 1-2=-41, 2-3=-41
 BOT CHORD 1-4=29, 3-4=29
 WEBS 2-4=-92

NOTES

- 1) This truss has been checked for unbalanced loading conditions.
- 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
- 3) Gable requires continuous bottom chord bearing.
- 4) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 169 lb uplift at joint 1, 169 lb uplift at joint 3 and 94 lb uplift at joint 4.
- 5) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

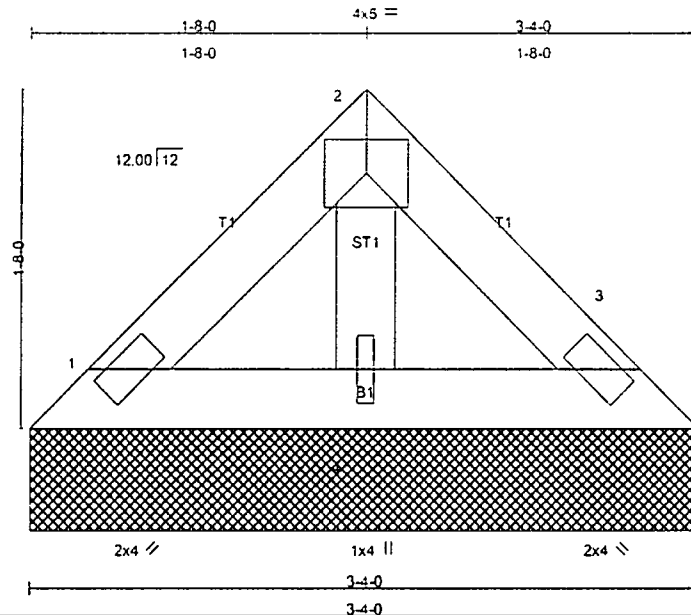
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	V3	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:32:27 2001 Page 1



Scale = 1:11.5

LOADING (psf)	SPACING 2-0-0	CSI	DEFL in (loc) l/defl	PLATES	GRIP
TCLL 20.0	Plates Increase 1.33	TC 0.04	Vert(LL) n/a - n/a	M1120	249/190
TCDL 15.0	Lumber Increase 1.33	BC 0.01	Vert(TL) n/a - n/a		
BCLL 10.0	Rep Stress Incr YES	WB 0.02	Horz(TL) 0.00 3 n/a		
BCDL 10.0	Code SBC/SBCCI		1st LC LL Min l/defl = 360	Weight: 12 lb	

LUMBER
TOP CHORD 2 X 4 SYP M 14
BOT CHORD 2 X 4 SYP M 14
OTHERS 2 X 4 SYP No.3

BRACING
TOP CHORD Sheathed or 3-4-0 oc purlins.
BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size) 1=90/3-4-0, 3=90/3-4-0, 4=109/3-4-0
Max Horz 1=-119(load case 2)
Max Uplift 1=-103(load case 5), 3=-103(load case 5), 4=-57(load case 4)

FORCES (lb) - First Load Case Only
TOP CHORD 1-2=-25, 2-3=-25
BOT CHORD 1-4=18, 3-4=18
WEBS 2-4=-56

- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
 - 3) Gable requires continuous bottom chord bearing.
 - 4) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 103 lb uplift at joint 1, 103 lb uplift at joint 3 and 57 lb uplift at joint 4.
 - 5) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

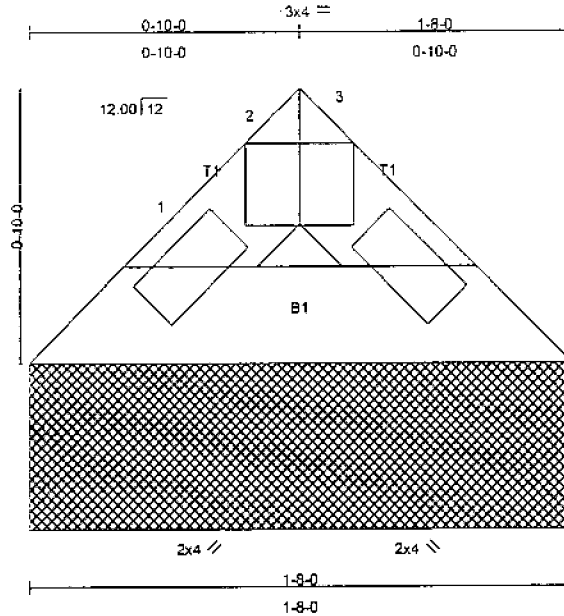
LOAD CASE(S) Standard

JOHN CLARK WEBBER
FEB 9 0 2002
John Weber

Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	V2	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:32:28 2001 Page 1



Scale = 1:7.1

Plate Offsets (X,Y): [2:0-2:0,Edge]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.01	in (loc) Vdefl	M1120	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.01	Vert(LL) n/a - n/a		
BCLL 10.0	Lumber Increase 1.33	WB 0.00	Vert(TL) n/a - n/a		
BCDL 10.0	Rep Stress Incr YES		Horz(TL) 0.00 3 n/a		
	Code SBC/SBCCI		1st LC LL Min Vdefl = 360	Weight: 5 lb	

LUMBER

TOP CHORD 2 X 4 SYP M 14
BOT CHORD 2 X 4 SYP M 14

BRACING

TOP CHORD Sheathed or 1-8-0 oc purlins.
BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size)

1=19/1-8-0, 3=34/1-8-0
Max Horz 1=-63(load case 2)
Max Uplift 1=-41(load case 5), 3=-29(load case 4)

FORCES (lb) - First Load Case Only

TOP CHORD 1-2=-9, 2-3=-9
BOT CHORD 1-3=4

NOTES

- This truss has been checked for unbalanced loading conditions.
- This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI if end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
- Gable requires continuous bottom chord bearing.
- Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 41 lb uplift at joint 1 and 29 lb uplift at joint 3.
- This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVEN CARL
GARAGE	ATG2	COMMON	3	2	(optional)

TL Southern Building Products, W. Palm Beach, FL

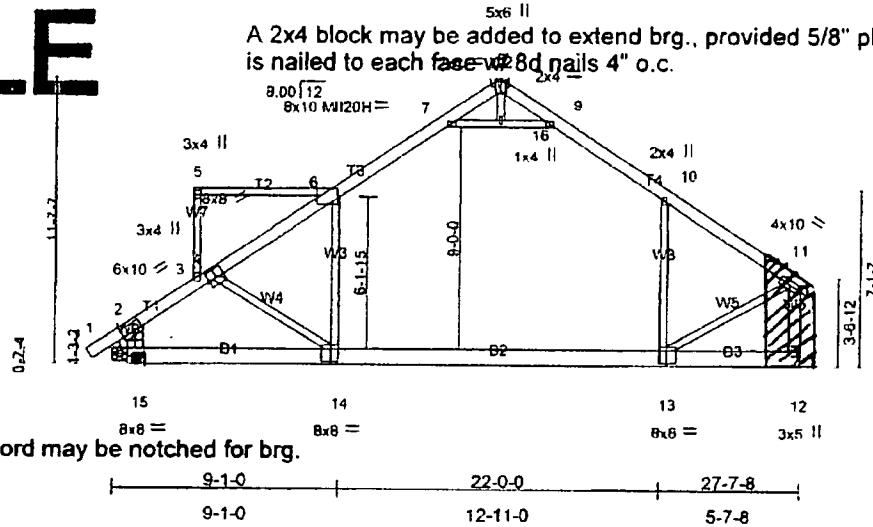
4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Tue Feb 26 12:13:42 2002 Page 1

FILE



Scale = 1/8"=1'

A 2x4 block may be added to extend brg., provided 5/8" plywood gusset is nailed to each face w/ 8d nails 4" o.c.



Bottom chord may be notched for brg.

Plate Offsets (X,Y): [2:0-3-8,0-4-0], [4:0-4-0,0-4-8], [8:0-2-8,Edge], [13:0-3-8,0-6-0], [14:0-3-8,0-6-0]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.51	in (loc) l/defl	M1120	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.25	Vert(LL) 0.39 13-14 >818	M1120H	187/143
BCLL 10.0	Lumber Increase 1.33	WB 0.31	Vert(TL) -0.40 13-14 >804		
BCDL 10.0	Rep Stress Incr NO	(Matrix)	Horz(TL) 0.04 12 n/a		
	Code SBC/SBCCI		1st LC LL Min l/defl = 360	Weight: 463 lb	

LUMBER
 TOP CHORD 2 X 6 SYP M 14 *Except*
 T2 2 X 4 SYP M 14
 BOT CHORD 2 X 8 SYP DSS
 WEBS 2 X 4 SYP No.3 *Except*
 W6 2 X 6 SYP M 14, W9 2 X 8 SYP DSS, W7 2 X 4 SYP M 14

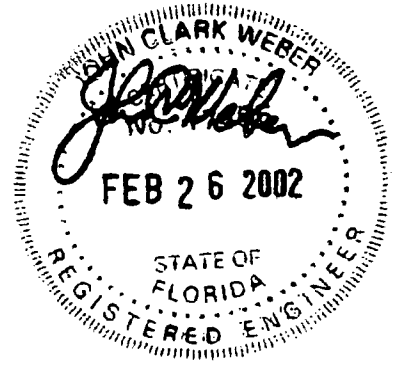
BRACING
 TOP CHORD Sheathed or 6-0-0 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

REACTIONS (lb/size) 12=1868/Mechanical, 2=1927/0-7-4
 Max Horz 2=698(load case 3)
 Max Uplift 12=-1045(load case 5), 2=-1750(load case 4)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=71, 2-3=-1996, 3-4=-1640, 4-6=-1589, 6-7=-1427, 7-8=608, 8-9=568, 9-10=-1467, 10-11=-1834, 11-12=-2015, 2-15=371, 5-6=-140, 3-5=-265
 BOT CHORD 14-15=1452, 13-14=1350, 12-13=123
 WEBS 4-14=-136, 6-14=281, 8-16=196, 11-13=1429, 10-13=161, 7-18=-2117, 9-18=-2117

- NOTES**
- This truss has been checked for unbalanced loading conditions.
 - This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
 - Provide adequate drainage to prevent water ponding.
 - All plates are M1120 plates unless otherwise indicated.
 - Ceiling dead load (5.0 psf) on member(s). 6-7, 9-10, 7-18, 9-16
 - Bottom chord live load (20.0 psf) and additional bottom chord dead load (0.0 psf) applied only to room. 13-14
 - Refer to girder(s) for truss to truss connections.
 - Bearing at joint(s) 2 considers parallel to grain value using ANSI/TPI 1-1995 angle to grain formula. Building designer should verify capacity of bearing surface.
 - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1045 lb uplift at joint 12 and 1750 lb uplift at joint 2.
 - This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - 2-ply truss to be connected together with 10d Common(.148"x3") Nails as follows:
 Top chords connected as follows: 2 X 4 - 1 row at 0-9-0 oc, 2 X 6 - 2 rows at 0-9-0 oc, 2 X 8 - 2 rows at 0-9-0 oc.
 Bottom chords connected as follows: 2 X 8 - 2 rows at 0-9-0 oc.
 Webs connected as follows: 2 X 4 - 1 row at 0-9-0 oc.
 - Design assumes 4x2 (flat orientation) purlins at oc spacing indicated, fastened to truss TC w/ 2-10d nails.
 - Gap between inside of top chord bearing and first diagonal or vertical web shall not exceed 0.500in.

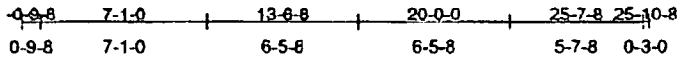
LOAD CASE(S) Standard
 1) Regular: Lumber Increase=1.33, Plate Increase=1.33
 Uniform Loads (plf)
 Vert: 1-2=-70.0, 2-3=-70.0, 6-7=-80.0, 7-8=-70.0, 8-9=-70.0, 9-10=-80.0, 10-11=-70.0, 14-15=-40.0, 13-14=-60.0, 12-13=-40.0,
 6-14=546.0, 7-9=-30.0, 5-6=-70.0
 Horz: 6-14=0.7
 Drag: 10-13=-20.0



Job	Truss	Truss Type	Qty	Ply	STEVE CARL
GARAGE	ATG4REP	COMMON	1	2	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MITek Industries, Inc. Tue Feb 26 12:11:45 2002 Page 1



Scale = 1:99.8

False top vert. may be cut to fit on bm. w/o consequence.

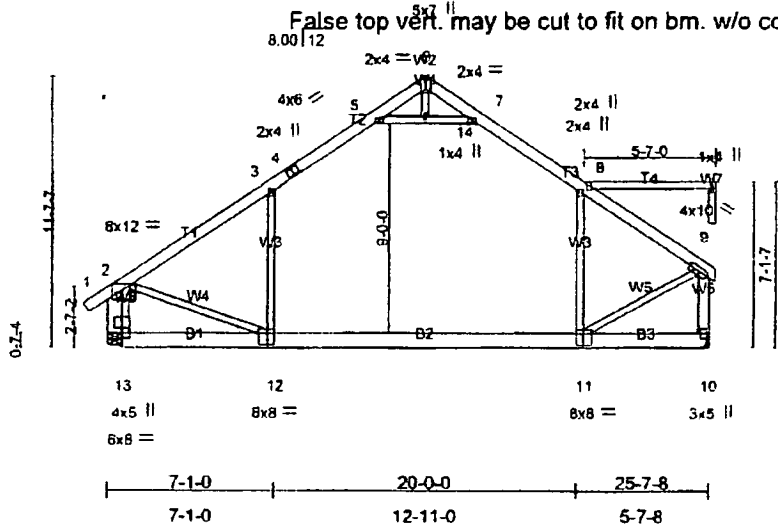


Plate Offsets (X,Y): [2:0-8-12,Edge], [6:0-2-8,Edge], [11:0-3-8,0-6-0], [12:0-3-8,0-6-0], [13:0-0-8,0-4-0]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.67	in (loc) l/defl	M1120	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.28	Vert(LL) 0.42 11-12 >720		
BCLL 10.0	Lumber Increase 1.33	WB 0.43	Vert(TL) -0.40 11-12 >742		
BCDL 10.0	Rep Stress Incr NO	(Matrix)	Horz(TL) 0.01 10 n/a		
	Code SBC/SBCCI		1st LC LL Min l/defl = 360		Weight: 446 lb

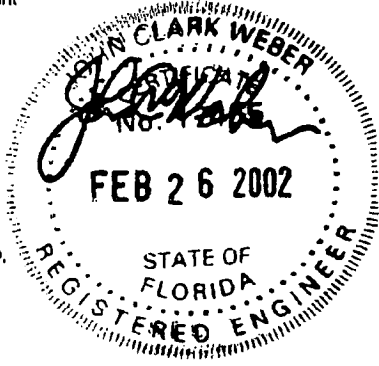
LUMBER	BRACING
TOP CHORD 2 X 6 SYP M 14 "Except"	TOP CHORD Sheathed or 6-0-0 oc purlins, except end verticals.
T4 2 X 4 SYP No.3	BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.
BOT CHORD 2 X 8 SYP DSS	
WEBS 2 X 4 SYP No.3 "Except"	
W6 2 X 6 SYP M 14	
OTHERS 2 X 8 SYP DSS	

REACTIONS (lb/size) 13=3911/0-7-4, 10=3631/Mechanical
 Max Horz 13=833(load case 3)
 Max Uplift 13=-2242(load case 4), 10=-1789(load case 4)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=186, 2-3=3535, 3-4=-2870, 4-5=-2379, 5-6=555, 6-7=521, 7-8=-2911, 8-9=-3380, 2-13=-3651, 9-10=-3720
 BOT CHORD 12-13=1046, 11-12=2430, 10-11=302
 WEBS 3-12=-327, 6-14=247, 2-12=1482, 9-11=2480, 5-14=-3158, 7-14=-3184, 8-11=-442

- NOTES
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 3) Provide adequate drainage to prevent water ponding.
 - 4) Ceiling dead load (5.0 psf) on member(s) 3-5, 7-8, 5-14, 7-14
 - 5) Bottom chord live load (20.0 psf) and additional bottom chord dead load (0.0 psf) applied only to room. 11-12
 - 6) Refer to girder(s) for truss to truss connections.
 - 7) Bearing at joint(s) 13 considers parallel to grain value using ANSI/TPI 1-1995 angle to grain formula. Building designer should verify capacity of bearing surface.
 - 8) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 2242 lb uplift at joint 13 and 1789 lb uplift at joint 10.
 - 9) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - 10) 2-ply truss to be connected together with 10d Common(148"x3") Nails as follows:
 Top chords connected as follows: 2 X 4 - 1 row at 0-9-0 oc, 2 X 6 - 2 rows at 0-9-0 oc.
 Bottom chords connected as follows: 2 X 8 - 2 rows at 0-9-0 oc.
 Webs connected as follows: 2 X 4 - 1 row at 0-9-0 oc.
 - 11) Design assumes 4x2 (flat orientation) purlins at oc spacing indicated, fastened to truss TC w/ 2-10d nails.

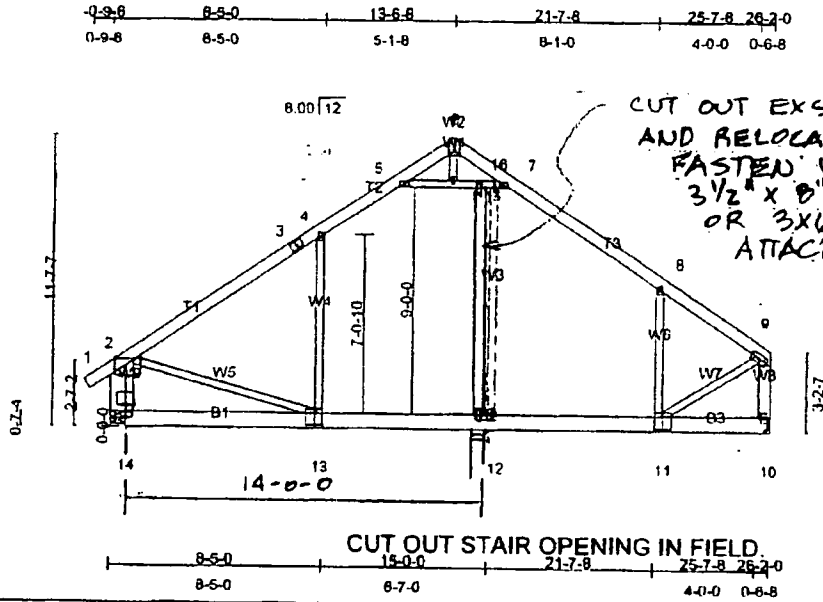
LOAD CASE(S) Standard
 1) Regular: Lumber Increase=1.33, Plate Increase=1.33
 Uniform Loads (plf)
 Vert: 1-2=-220.0, 2-3=-220.0, 3-5=-230.0, 5-6=-220.0, 6-7=-220.0, 7-8=-230.0, 8-9=-220.0, 12-13=-40.0, 11-12=-60.0, 10-11=-40.0, 5-7=-30.0
 Drag: 3-12=-20.0, 8-11=-20.0



GARAGE	Truss	Truss Type	Qty	Ply	STEVE W
	T4 - RP	ROOF TRUSS	5	2	(optional)

Southern Bldg. Products, WPB, Fl 33407, A.C.

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Wed Feb 06 08:58:42 2002 Page 1



Scale = 1:83.0

Plate Offsets (X,Y): [2:0-8-12,Edge], [6:0-2-8,Edge], [11:0-3-8,0-6-0], [13:0-3-8,0-6-0], [14:0-0-0,0-4-0]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.45	in (loc) l/def	M120	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.25	Vert(LL) 0.22 13 >819		
BCLL 10.0	Lumber Increase 1.33	WB 0.73	Vert(TL) -0.18 13 >953		
BCDL 10.0	Rep Stress Incr YES	(Matrix)	Horz(TL) -0.01 10 n/a		
	Code SBC/SBCCI		1st LC LL Min l/def = 360		Weight: 455 lb

LUMBER
 TOP CHORD 2 X 6 SYP M 14
 BOT CHORD 2 X 8 SYP DSS
 WEBS 2 X 4 SYP No.3 *Except*
 W8 2 X 6 SYP M 14
 OTHERS 2 X 8 SYP DSS

BRACING
 TOP CHORD Sheathed or 6-0-0 oc purins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

REACTIONS (lb/size) 14=1650/0-7-4, 10=1554/Mechanical, 12=647/0-3-8
 Max Horz 14=839(load case 3)
 Max Uplift 14=1507(load case 4), 10=1195(load case 4), 12=583(load case 2)
 Max Grav 14=1650(load case 1), 10=1554(load case 1), 12=999(load case 3)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=59, 2-3=1461, 3-4=1200, 4-5=1162, 5-6=178, 6-7=134, 7-8=1359, 8-9=1317, 2-14=1372, 9-10=1458
 BOT CHORD 13-14=562, 12-13=1035, 11-12=1035, 10-11=79
 WEBS 4-13=149, 6-15=266, 2-13=494, 9-11=1149, 5-15=1043, 15-16=1047, 7-16=1036, 8-11=478, 12-16=77

- NOTES**
- This truss has been checked for unbalanced loading conditions.
 - This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load. In the gable end roof zone on an occupancy category II, condition 1 enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
 - Ceiling dead load (5.0 psf) on member(s). 4-5, 7-8, 5-15, 15-16, 7-16
 - Bottom chord live load (20.0 psf) and additional bottom chord dead load (0.0 psf) applied only to room. 12-13, 11-12
 - Refer to girder(s) for truss to truss connections.
 - Bearing at joint(s) 14 considers parallel to grain value using ANSI/TPI 1-1995 angle to grain formula. Building designer should verify capacity of bearing surface.
 - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1507 lb uplift at joint 14, 1195 lb uplift at joint 10 and 583 lb uplift at joint 12.
 - This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - 2-ply truss to be connected together with 10d Common (.148"x3") Nails as follows:
 Top chords connected as follows: 2 X 4 - 1 row at 0-9-0 oc, 2 X 6 - 2 rows at 0-9-0 oc.
 Bottom chords connected as follows: 2 X 8 - 2 rows at 0-9-0 oc.
 Webs connected as follows: 2 X 4 - 1 row at 0-9-0 oc.

LOAD CASE(S) Standard





SOUTHERN TRUSS COMPANIES

Southern Building Products, Inc.
4922 Dyer Boulevard
West Palm Beach, FL 33407
(561) 848-6646
(561) 842-5678 Fax

Southern Truss of Orlando, Inc.
901 East 25th Place
Sanford, FL 32773
(407) 321-7444
(407) 330-1256 Fax

Southern Truss of Ft. Myers, Inc.
95 Sixth Street, Page Park
Ft. Myers, FL 33907
(941) 277-5111
(941) 277-5283 Fax

ENGINEERING PACKAGE

PURCHASER (BUILDER) MACARI

MODEL Residence ILEY

RESIDENCE Smith

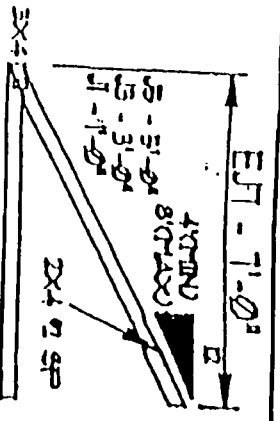
LOT _____ BLOCK _____

SUBDIVISION Sewall's Point

ADDRESS 133 S. River Rd.

CITY _____ COUNTY Martin

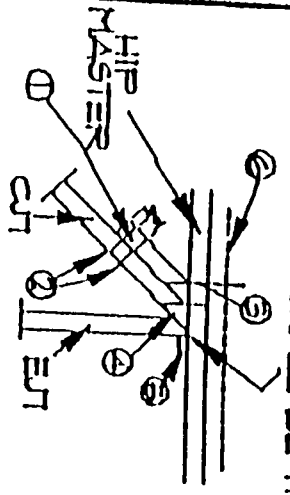
JOB #	DWG #	DATE
<u>#315</u>	_____	<u>2/20/02</u>



TYPICAL JACK DETAIL

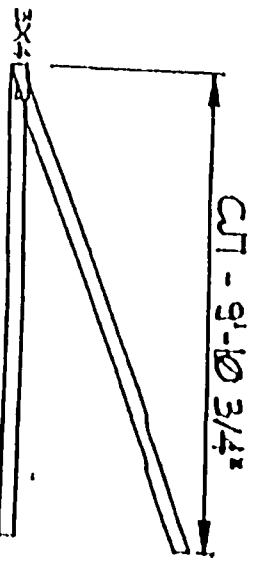
LUMBER: TOP CHORD - 2X6 7/8 SP
 : BOTTOM CHORD - 2X4 7/8 SP

NOTE: ALL WOOD TO WOOD JOINTS SHALL BE TIGHT.

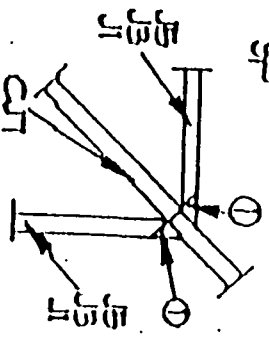


DETAIL A

- ① 2x4 7/8 SP X 15'-3 1/4" TOP & BOTTOM CHORD
- ② 2-6d CNL • TOP & BOTTOM CHORD
- ③ 3-6d CNL • TOP & BOTTOM CHORD
- ④ 2-6d CNL • TOP & BOTTOM CHORD
- ⑤ 2-6d CNL TOE NAIL ED • BOTTOM CHORD
- ⑥ 3-6d CNL TOE NAIL ED • TOP CHORD
- ⑦ FOR MULTIPLE HIP MASTERS NAIL CUT & END TO THE HIP MASTER THEN NAIL OTHER END OF THE HIP MASTER TOGETHER FOR EYE DRIVING PLUS 3-6d CNL CUSTERS • TOP CHORD.

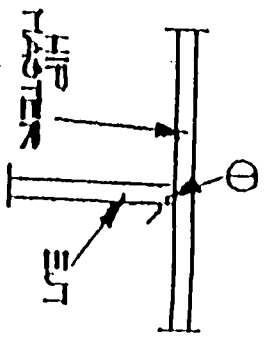


TYPICAL CORNER JACK DETAIL



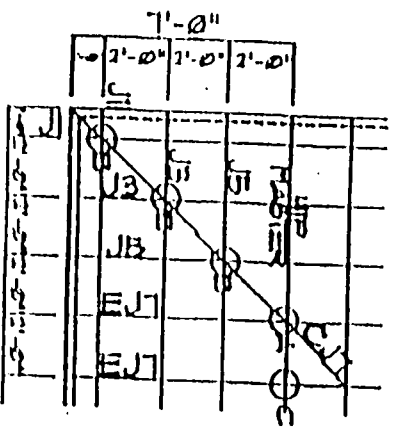
DETAIL B

- ① 5- 3-6d CNL TOE NAIL ED • TOP CHORD 2-6d CNL TOE NAIL ED • BOTTOM CHORD.
- ② 2-6d CNL TOE NAIL ED • TOP & BOTTOM CHORD.



DETAIL C

- ① 3-6d CNL TOE NAIL ED • TOP CHORD 2-6d CNL TOE NAIL ED • BOTTOM CHORD.



PARTIAL LAYOUT DRAWING

DESIGN CRITERIA

GRAVITY LOADS	WIND LOADS
TICL	VELOCITY
BOIL	HEIGHT
BOUL	PSF SNOW LOAD
TOTAL	PSF TRUSS LOAD
ALL CHORDS & STUDS 15'	

ALL PLATES SHALL BE FITTED TO GAGE MANUFACTURED FROM ASTM A446 GRADE A GALVANIZED STEEL EXCEPT AS SHOWN OTHERWISE. PLATES MUST BE INSTALLED ON BOTH SIDES OF JOINTS AND LOCATED SYMMETRICALLY. EXCEPT AS SHOWN OTHERWISE DESIGN STANDARDS CONFORM TO APPLICABLE PROVISIONS OF NDS AND T&E.

NOTE: TRUSSES SHALL BE MANUFACTURED, SEALED AND BRACED IN ACCORDANCE WITH NDS AND T&E. ALL TOP CHORDS SHALL BE LATERALLY BRACED WITH PROPERLY ATTACHED PLATEWOOD SEATING AND BOTTOM CHORDS WITH READ CEILING UNLESS NOTED OTHERWISE.

SOUTHERN TRUSS OF CALIFORNIA, INC. SOUTHERN TRUSS OF FL. MEMB. INC.

PHONE: 916-272-1171
 MOBILE: (407) 272-7444
 FAX: (407) 272-7448

SOUTHERN TRUSS OF TENNESSEE, INC. SOUTHERN BUILDING PRODUCTS, INC.

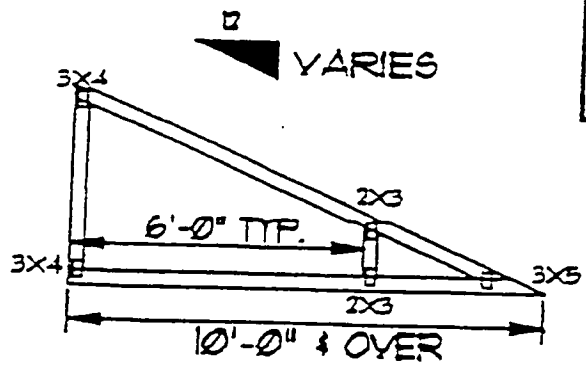
PHONE: (407) 272-1171
 MOBILE: (407) 272-7444
 FAX: (407) 272-7448

SOUTHERN TRUSS COMPANIES

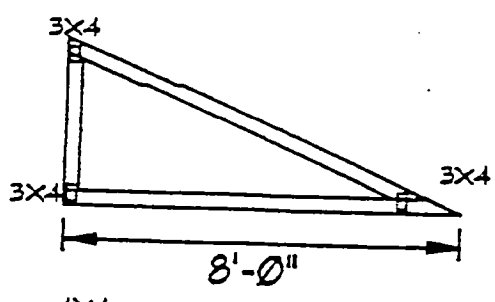
FEB 20 2002
 [Signature]

TOP	2X4 @	SF
BOTTOM	2X4 @	SF
WEBB	2X4 @	SF

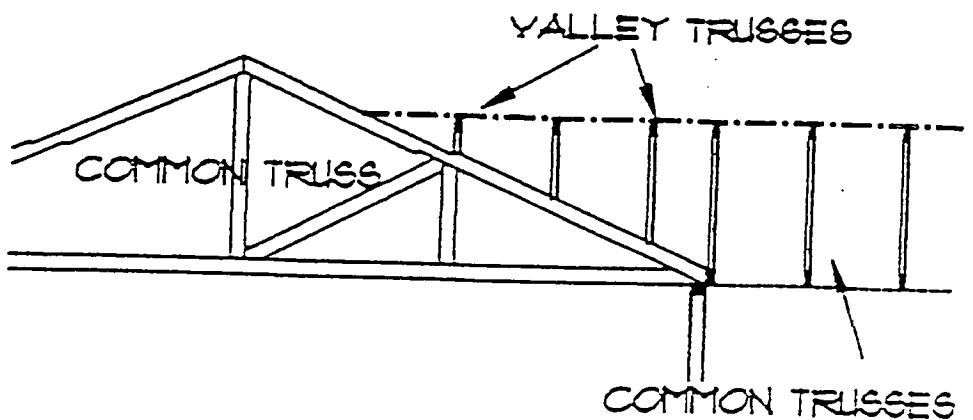
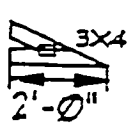
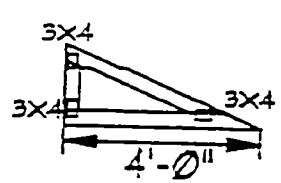
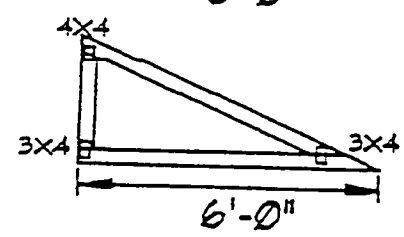
MONO VALLEY DETAIL 12/8/94



NOTE: PROVIDE T-BRACING ON VERTICALS WITH HEIGHT OVER 7'-8".



VALLEY TRUSS CONNECTION DETAIL
6" WEDGE NAILED TO TRUSS OR BEVEL CUT B.C. ON VALLEY TRUSSES WITH TWO HURRICANE CLIPS.



NOTE: WHEN VALLEY TRUSSES ARE CONNECTED DIRECTLY TO TOP CHORD WITH MINIMUM OF 2-9d NAILS EACH TRUSS, IT WILL SUFFICIENTLY BRACE TOP CHORD AND REPLACE SHEATHING.

DESIGN CRITERIA

GRAVITY LOADS		WIND LOADS	
T/C	P/SF	VELOCITY	MIN
T/C	P/SF	HEIGHT	FT
B/C	P/SF	SPACING 2'-0" O.C.	
B/C	P/SF	TR 3 DESIGN CRT.	
TOTAL	P/SF		

ALL QUANTITIES ARE IN 133

ALL PLATES SHALL BE MTEK 20 GAUGE, MANUFACTURED FROM ASTM A446 & GALVANIZED STEEL, EXCEPT AS SHOWN OTHERWISE. PLATES MUST BE INSTALLED ON BOTH FACES OF JOINTS AND LOCATED SYMMETRICALLY, EXCEPT AS SHOWN OTHERWISE. DESIGN STANDARDS CONFORM TO APPLICABLE PROVISIONS OF NCS AND TPL.

NOTE: TRUSSES SHALL BE HANDLED, ERECTED AND BRACED IN ACCORDANCE WITH "4B-S" AND "4ET-80" BY TPL. SEE THIS DESIGN FOR ADDITIONAL SPECIAL PERMANENT BRACING REQUIREMENTS. ALL TOP CHORDS SHALL BE LATERALLY BRACED WITH PROPERLY ATTACHED PLYWOOD SHEATHING AND BOTTOM CHORDS WITH RIGID CEILING, UNLESS NOTED OTHERWISE.

SOUTHERN TRUSS OF ORLANDO, INC. ORLANDO, FL 32773 PHONE - (407) 223-7444 FAX - (407) 223-7445	SOUTHERN TRUSS OF FT. MYERS, INC. FT. MYERS, FL 33907 PHONE - (813) 277-2111 FAX - (813) 277-2283
SOUTHERN TRUSS OF TAMPA, INC. BROOKVILLE, FL 34609 PHONE - (813) 798-2004 FAX - (813) 798-2883 TAMPA - (813) 273-1000	SOUTHERN BUILDING PRODUCTS, INC. WEST PALM BEACH, FL 33407-1078 PHONE - (407) 348-8848 FAX - (407) 342-5878 1-800-223-2222

CLARK WESLEY

FEB 20 2002

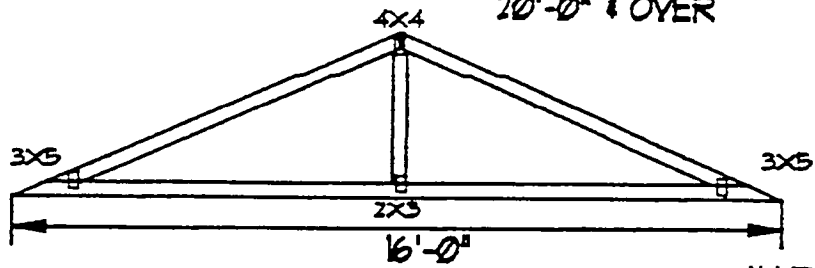
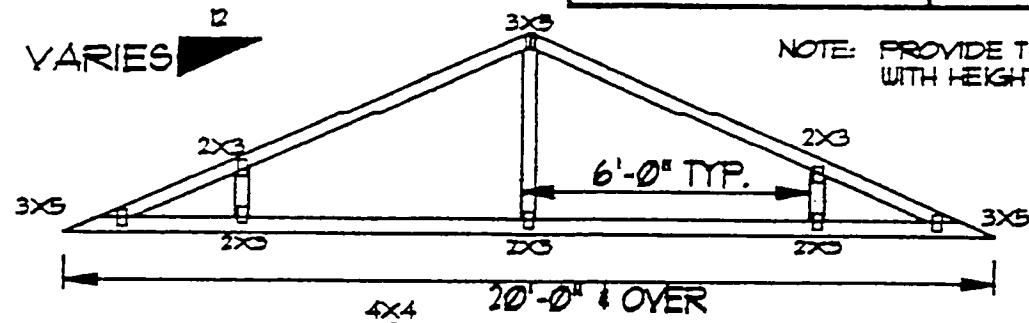
John Weber

TOP	2X4 #2	SP
BOTTOM	2X4 #2	SP
WEBS	2X4 #2	SP

VALLEY DETAIL 12/8/94

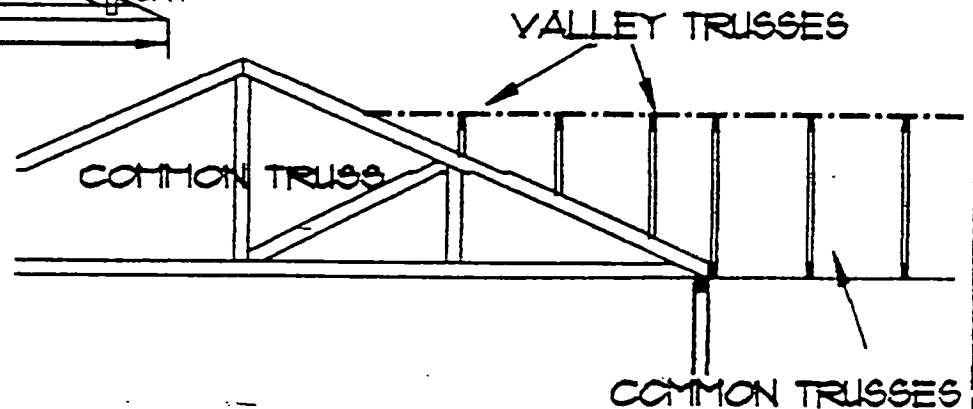
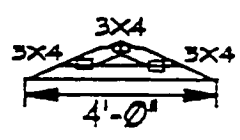
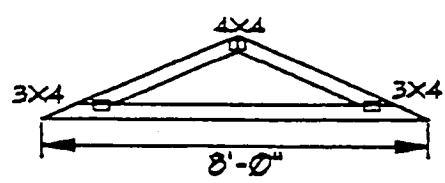
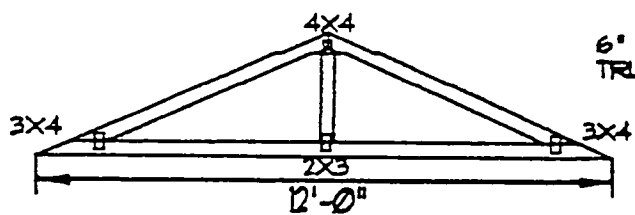
VARIABLE

NOTE: PROVIDE T-BRACING ON VERTICALS WITH HEIGHT OVER 7'-8".



VALLEY TRUSS CONNECTION DETAIL

6" WEDGE NAILED TO TRUSS OR BEVEL CUT B.C. ON VALLEY TRUSSES WITH TWO HURRICANE CLIPS.



NOTE: WHEN VALLEY TRUSSES ARE CONNECTED DIRECTLY TO TOP CHORD WITH MINIMUM OF 2-8d NAILS EACH TRUSS, IT WILL SUFFICIENTLY BRACE TOP CHORD AND REPLACE SHEATHING.

DESIGN CRITERIA

GRAVITY LOADS		WIND LOADS	
	PSF	VELOCITY	MPH
TCOL	PSF	HEIGHT	FT
BCOL	PSF	BRACING 7'-0" OC	
ECOL	PSF	TRUSS DESIGN CRT.	
TOTAL	PSF		

ALLOWABLE STRESSES INCL 1.5X

ALL PLATES SHALL BE MITEK 20 GAGE, MANUFACTURED FROM ASTM A446 A GALVANIZED STEEL, EXCEPT AS SHOWN OTHERWISE. PLATES MUST BE INSTALLED ON BOTH FACES OF JOINTS AND LOCATED SYMMETRICALLY, EXCEPT AS SHOWN OTHERWISE. DESIGN STANDARDS CONFORM TO APPLICABLE PROVISIONS OF NDS AND TPI.

NOTE: TRUSSES SHALL BE HANDLED, ERECTED AND BRACED IN ACCORDANCE WITH 743-B-97 AND 742-007 BY TPI. SEE THIS DESIGN FOR ADDITIONAL SPECIAL PERMANENT BRACING REQUIREMENTS. ALL TOP CHORDS SHALL BE Laterally BRACED WITH PROPERLY ATTACHED FLYWOOD SHEATHING AND BOTTOM CHORDS WITH RIGID CEILING, UNLESS NOTED OTHERWISE.

SOUTHERN TRUSS COMPANIES

SOUTHERN TRUSS OF ORLANDO, INC. ORLANDO, FL 32775 PHONE - (407) 321-7444 FAX - (407) 321-7446	SOUTHERN TRUSS OF FT. MYERS, INC. FT. MYERS, FL 33907 PHONE - (813) 277-3111 FAX - (813) 277-5283
SOUTHERN TRUSS OF TAMPA, INC. BROOKVILLE, FL 34609 PHONE - (813) 786-3284 FAX - (813) 786-2883 TAMPA - (813) 277-1700	SOUTHERN BUILDING PRODUCTS, INC. WEST PALM BEACH, FL 33407-1010 PHONE - (407) 848-8548 FAX - (407) 842-3578 1-800-232-0000

CLARK WEG

CERTIFICATE OF DESIGN

EB 20 2002

Professional Engineer Seal



THA TRUSS ADJUSTABLE HANGERS

Extra long straps allow full code nailing and can be field-formed to give top flange hanger convenience. Consult a Simpson representative for alternate nailing patterns not listed.

NO BOLTS REQUIRED. The THA has the double shear nail feature for added strength and safety. The THA29 has a 2 1/4" bearing length.



THA

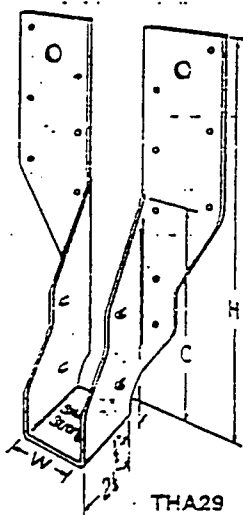
Patent Nos. 4,291,966
and 4,480,941
Canada Patent 1985

MATERIAL: • 18 or 16 gauge steel; see table

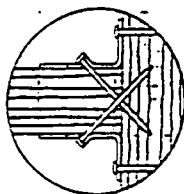
FINISH: • Galvanized

- INSTALLATION:**
- Use all specified fasteners. See General Notes.
 - Two different installation methods (indicated in the table) may be used as follows:
 - **Maximum nailing** — All face nails must be applied according to the table, but nails used for the carried truss attachment must be driven at an angle so that they penetrate through the corner of the truss into the carrying member.
 - **Minimum nailing** — For the THA29, the minimum nailing schedule requires the carried truss double shear nailing detailed above, and field-forming the strap over the carrying member a minimum of 2 1/2". A minimum of four top and four face nails must be used.
 - For all models except the THA29, the minimum nailing schedule may be used when double shear nailing is not possible, provided the strap is field-formed over the top of the carrying member a minimum of 1 1/2" for the THA213 and THA413 and 2 1/2" for all others, and a minimum of four top and two face nails are used. The double shear nailing tabs are easily straightened so nails can be driven straight into the truss (see table for allowable loads).

CODE NUMBERS: • All except THA29: BOCA, ICBO, SBCCI No. NER-209. Dade County, Florida No. 89-0131.5. SBCCI No. 3835 for THA29.



THA29



Double Shear Nailing

1. 16d sinkers may be used to replace 16d common nails at 1/2 of the table value.
2. The "H" dimension for the minimum nailing configuration is the maximum possible height that ensures getting the required four nails into the top of the carrying member.

MODEL NO.	MATL	DIMENSIONS			FASTENERS ¹			
		W	H ²	C	CARRYING MEMBER		CARRIED MEMBER	
					TOP	FACE	STRAIGHT	SLANT
MINIMUM NAILING—TOP FLANGE								
THA29	18 ga.	1 5/8	7 3/16	5 1/8	4-10d	4-10d	—	4-10c
THA213	18 ga.	1 5/8	11 13/16	5 1/2	4-10d	2-10d	4-10dx1 1/2	—
THA218	18 ga.	1 5/8	14 11/16	5 1/2	4-10d	2-10d	4-10dx1 1/2	—
THA218-2	16 ga.	3 1/8	15 3/16	8 1/4	4-16d	2-16d	6-16dx2 1/2	—
THA222-2	16 ga.	3 1/8	19 3/4	8	4-16d	2-16d	6-16dx2 1/2	—
THA413	18 ga.	3 5/8	11 13/16	4 1/2	4-10d	2-10d	4-10d	—
THA418	16 ga.	3 5/8	15	8	4-16d	2-16d	6-16d	—
THA422	16 ga.	3 5/8	19 1/2	8	4-16d	2-16d	6-16d	—
MAXIMUM NAILING—ALL NAIL HOLES FILLED								
THA29	18 ga.	1 5/8	9 11/16	5 1/8	—	16-10d	—	4-10c
THA213	18 ga.	1 5/8	13 5/16	5 1/2	—	14-10d	—	4-10c
THA218	18 ga.	1 5/8	17 3/16	5 1/2	—	18-10d	—	4-10c
THA218-2	16 ga.	3 1/8	17 11/16	8 1/4	—	16-16d	—	6-16d
THA222-2	16 ga.	3 1/8	22 1/4	8	—	22-16d	—	6-16d
THA413	18 ga.	3 5/8	13 5/16	4 1/2	—	14-10d	—	4-10c
THA418	16 ga.	3 5/8	17 1/2	8	—	16-16d	—	6-16d
THA422	16 ga.	3 5/8	22	8	—	22-16d	—	6-16d

DOUG FIR-LARCH

SPRUCE-PINE-FIR

MODEL NO.	AVG ULT	ALLOWABLE LOADS ¹					ALLOWABLE LOADS				
		UPLIFT ³	FLOOR (100)	ROOF ²			UPLIFT ³	FLOOR (100)	ROOF ²		
				SNOW (115)	CONST (125)	WIND (133)			SNOW (115)	CONST (125)	WIND (133)
MINIMUM NAILING—TOP FLANGE											
THA29	3167	750	2535	2635	2635	2635	570	1940	2010	2060	2105
THA213	5343	—	1615	1615	1615	1615	—	1280	1280	1280	1280
THA218	5343	—	1615	1615	1615	1615	—	1280	1280	1280	1280
THA218-2	7250	—	1850	1850	1850	1850	—	1460	1460	1460	1460
THA222-2	7250	—	1850	1850	1850	1850	—	1460	1460	1460	1460
THA413	5343	—	1615	1615	1615	1615	—	1280	1280	1280	1280
THA418	7250	—	1850	1850	1850	1850	—	1460	1460	1460	1460
THA422	7250	—	1850	1850	1850	1850	—	1460	1460	1460	1460
MAXIMUM NAILING—ALL NAIL HOLES FILLED											
THA29	8250	750	2185	2500	2500	2500	670	1755	2010	2060	2105
THA213	8760	750	2115	2430	2545	2810	580	1550	1615	1660	1695
THA218	9120	750	2580	2720	2915	2990	580	1550	1615	1660	1695
THA218-2	13750	1380	2940	3385	3680	3915	960	1465	1465	1465	1465
THA222-2	13065	1380	3745	4250	4250	4250	960	2860	3055	3130	3190
THA413	9583	750	2115	2430	2545	2910	530	1605	1845	2005	2140
THA418	13750	1380	2940	3385	3680	3915	960	2200	2530	2750	2935
THA422	13065	1380	3745	4250	4250	4250	960	2860	3290	3500	3560

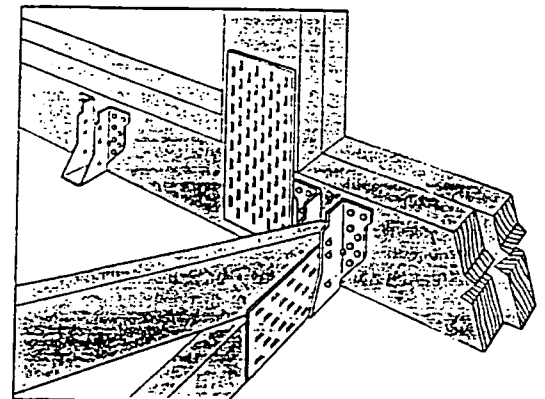
1. Allowable loads for Doug Fir-Larch are applicable to Southern Pine, except for THA213 and THA218 in the maximum nailing configuration, which must be adjusted according to the code.
2. Snow, const. and wind loads are 115%, 125%, and 133% of floor, respectively, unless limited by other criteria.
3. Uplift loads include a 33% increase for wind or earthquake loading with no further increase allowed. Allowable uplift loads must be reduced for other load conditions as required by code.



Face Mount Hangers - Plated Truss Products

Model No.	Min. Heel Height	Fasteners		Doug-Fir Larch/So. Pine Allowable Loads				Spruce-Pine-Fir Allowable Loads			
		Carrying Member	Carried Member	Uplift (133)	Floor (100)	Snow (115)	Const (125)	Uplift (133)	Floor (100)	Snow (115)	Const (125)
HUS26	3 1/2	6-16d	4-16d	1135	1255	1455	1580	925	1050	1210	1315
	3 1/2	10-16c	4-16d	1135	1800	2070	2245	925	1510	1735	1890
	4 3/8	14-16c	6-16c	1550	2555	2950	3205	1390	2155	2480	2540

HUS26 with Reduced Heel Height



Typical HUS Installation with Reduced Heel Height

PLATED TRUSS HANGERS

Model No.	Min. Heel Height	Ga	Dimensions			Fasteners	
			W	H	Ø	Carrying Member	Carried Member
SINGLE 2x SIZES							
LUS24	2 1/4	18	1 1/8	3 1/2	1 1/4	4-10d	2-10d
LUS26	4 1/2	18	1 1/8	4 1/2	1 1/4	4-10d	4-10d
HUS26	4 3/8	16	1 1/8	5 1/2	3	14-16d	6-16d
HGUS26	4 1/2	12	1 1/8	5 3/8	5	20-16c	8-16d
HGUS28	5 1/2	12	1 1/8	7 1/8	5	36-16d	10-16d
LUS28	4 3/8	18	1 1/8	6 1/2	1 1/4	6-10d	4-10d
HUS28	6 1/2	16	1 1/8	7	3	22-16d	8-16d
LUS210	4 1/2	18	1 1/8	7 3/8	1 1/4	8-10d	4-10d
HUS210	3 3/4	16	1 1/8	9	3	30-16d	10-16d

Model No.	Avg Ull	Doug Fir-Larch Allowable Loads					Southern Pine Allowable Loads					Spruce-Pine-Fir Allowable Loads				
		Uplift ¹ (133)	Uplift ¹ (160)	Floor (100)	Snow (115)	Const (125)	Uplift ¹ (133)	Uplift ¹ (160)	Floor (100)	Snow (115)	Const (125)	Uplift ¹ (133)	Uplift ¹ (160)	Floor (100)	Snow (115)	Const (125)
SINGLE 2x SIZES																
LUS24	3850	465	490	640	735	800	490	490	690	795	865	390	465	540	625	675
LUS26	5167	930	1115	830	955	1040	1010	1165	900	1035	1125	780	935	700	805	875
HUS26	10000	1550	1550	2565	2950	3205	1550	1550	2785	3200	3325	1390	1550	2155	2475	2540
HGUS26	14178	1425	1425	3755	3905	3905	1425	1425	3905	3905	3905	1425	1425	3185	3585	3585
HGUS28	16188	1755	1755	6055	5055	5055	1755	1755	5055	5055	5055	1755	1755	4030	4155	4215
LUS28	6066	930	1115	1055	1210	1320	1010	1165	1140	1310	1425	780	935	890	1025	1115
HUS28	13167	2000	2000	3585	3700	3775	2000	2000	3380	3505	3585	1855	2000	2580	2680	2745
LUS210	7750	930	1115	1275	1470	1595	1010	1165	1380	1590	1725	780	935	1085	1245	1355
HUS210	18833	2845	3000	3775	3920	4020	3000	3000	3585	3745	3850	2320	2780	2745	2970	2955

Model No.	Min. Heel Height	Ga	Dimensions			Fasteners		Avg Ull	Doug Fir-Larch/Southern Pine Allowable Loads					Spruce-Pine-Fir Allowable Loads				
			W	H	Ø	Carrying Member	Carried Member		Uplift ¹ (133)	Uplift ¹ (160)	Floor (100)	Snow (115)	Const (125)	Uplift ¹ (133)	Uplift ¹ (160)	Floor (100)	Snow (115)	Const (125)
DOUBLE 2x SIZES																		
LUS24-2	2 1/4	18	3 1/4	3 1/2	2	4-16d	2-16d	5303	565	565	765	880	960	465	555	640	735	800
LUS26-2	4 1/2	18	3 1/4	4 1/2	2	4-16d	4-16d	6076	1140	1165	1000	1150	1250	925	1115	820	945	1025
HHUS26-2	4 3/8	14	3 3/8	5	3	14-16d	6-16d	14667	1550	1550	2580	2965	3225	1395	1550	2165	2490	2710
HGUS26-2	4 1/2	12	3 3/8	5 3/8	4	20-16d	8-16d	14667	2000	2000	3755	4320	4695	1865	2000	3185	3660	3980
LUS28-2	4 3/8	18	3 1/4	7	2	6-16d	4-16d	7750	1140	1165	1255	1455	1585	925	1115	1050	1210	1315
HHUS28-2	6 1/2	14	3 3/4	7 1/4	3	22-16c	9-16d	19850	2000	2000	3885	4465	4855	1860	2000	3275	3765	4095
HGUS28-2	5 1/2	12	3 3/4	7 1/4	4	36-16d	10-16d	25180	2650	2650	6245	7185	7810	2330	2650	5335	6135	6665
LUS210-2	4 1/2	18	3 1/4	9	2	8-16d	6-16d	10907	1550	1550	1765	2030	2210	1390	1550	1465	1680	1830
HHUS210-2	8 1/2	14	3 3/4	9 1/4	3	30-16d	10-16d	22167	2855	3000	5190	5900	5900	2330	2795	4385	4795	4875
HGUS210-2	7 1/2	12	3 3/4	9 1/4	4	46-16d	12-16d	28333	3415	3665	7890	8110	8225	2795	3355	6110	6260	6360
TRIPLE 2x SIZES																		
HGUS26-3	4 1/2	12	4 1/4	4 1/2	4	20-16d	8-16d	14667	2000	2000	3755	4320	4695	1865	2000	3185	3660	3980
HGUS28-3	5 1/2	12	4 1/4	7 1/4	4	36-16d	10-16d	25180	2650	2650	6245	7185	7810	2330	2650	5335	6135	6665
HGUS210-3	7 1/2	12	4 1/4	9 1/4	4	46-16d	12-16d	28333	3415	3665	7890	8665	8665	2795	3355	6745	7765	8430
HHUS210-3	8 1/2	14	4 1/4	9 1/4	3	30-16d	10-16d	22167	2855	3430	5190	5900	5900	2330	2795	4385	5040	5480
QUADRUPLE 2x SIZES																		
HHUS210-4	8 1/2	14	6 1/4	8 1/4	3	30-16d	10-16d	22167	2855	3430	5190	5900	5900	2330	2795	4325	5040	5480
4x SIZES																		
LUS46	4 1/2	18	3 1/4	4 1/2	2	4-16d	4-16d	6076	1140	1165	1000	1150	1250	925	1115	820	945	1025
HGUS46	4 1/2	12	3 1/4	4 1/2	4	20-16d	8-16d	25180	2275	2735	3755	4320	4695	1865	2000	3185	3660	3980
HHUS46	4 1/2	14	3 1/4	5 1/4	3	14-16d	6-16d	14667	1550	1550	2580	2965	3225	1395	1550	2165	2490	2710
LUS48	4 3/8	18	3 1/4	6 1/2	2	6-16d	4-16d	7750	1140	1165	1255	1455	1585	925	1115	1050	1210	1315
HUS48	6 1/2	14	3 1/4	7	2	6-16d	6-16d	11190	1550	1550	1505	1730	1885	1315	1550	1240	1425	1550
HHUS48	6 1/2	14	3 1/4	7 1/4	3	22-16d	8-16d	19850	2000	2000	3885	4465	4855	1860	2000	3275	3765	4095
HGUS48	5 1/2	12	3 1/4	7 1/4	4	36-16d	10-16d	25180	2650	2650	6245	7185	7810	2330	2650	5335	6135	6665
LUS410	6 1/2	18	3 1/4	9 1/4	2	8-16d	6-16d	10907	1550	1550	1765	2030	2210	1390	1550	1465	1680	1830
HHUS410	8 1/2	14	3 1/4	9 1/4	3	30-16d	10-16d	22167	2855	3430	5190	5900	5900	2330	2795	4385	5040	5480
HGUS410	7 1/2	12	3 1/4	9 1/4	4	46-16d	12-16d	28333	3415	3665	7890	8665	8665	2795	3355	6745	7110	7210
HGUS412	7 1/2	12	3 1/4	12 1/4	4	56-16d	14-16d	35000	3965	4730	9365	10305	10440	3260	3910	7130	7305	7425
HGUS414	11 1/2	12	3 1/4	12 1/4	4	66-16d	16-16d	35000	4555	5000	10295	10525	10680	3725	4470	7295	7500	7635

1. Uplift loads have been increased 33% and 50% for earthquake or wind loading with no further increase allowed. Reduce by 33% and 60% for normal loading as in cantilever construction.

Job	Truss	Truss Type	Qty	Ply	STEVE MACARI / SMITH RES.
3115	FT3	FLOOR	2	1	(optional)

TL Southern Bldg. Prod., W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Fri Nov 02 15:23:41 2001 Page 1



Scale = 1:46.3

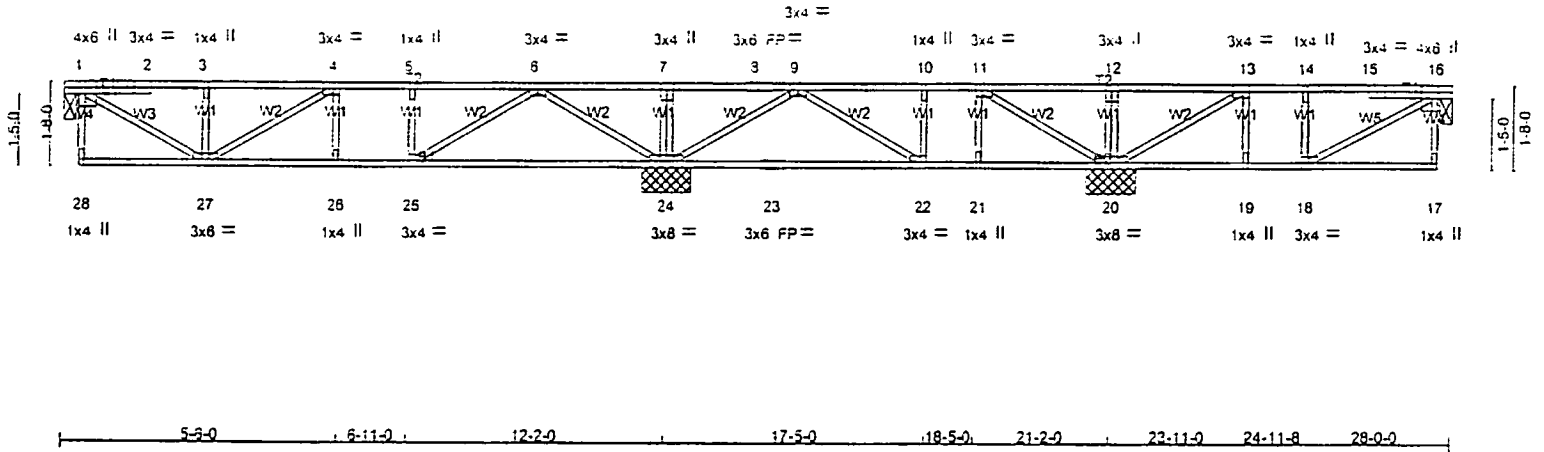


Plate Offsets (X,Y): [1:0-1-8,Edge], [4:0-1-8,Edge], [11:0-1-8,Edge], [13:0-1-8,Edge], [16:0-1-8,Edge], [18:0-1-8,Edge], [22:0-1-8,Edge], [25:0-1-8,Edge]

LOADING (psf)	SPACING	2-0-0	CSI	DEFL	in (loc)	Vdefl	PLATES	GRIP
TCLL 40.0	Plates Increase	1.00	TC 0.35	Vert(LL)	-0.06	26-27	MII20	249/190
TCDL 15.0	Lumber Increase	1.00	BC 0.33	Vert(TL)	-0.08	26-27		
BCLL 0.0	Rep Stress Incr	YES	WB 0.39	Horz(TL)	-0.01	24		
BCDL 5.0	Code	SBC/SBCCI	(Matrix)	1st LC LL Min Vdefl	=	360		
							Weight:	153 lb

LUMBER
TOP CHORD 4 X 2 SYP M 14
BOT CHORD 4 X 2 SYP M 14
WEBS 4 X 2 SYP No.3

BRACING
TOP CHORD Sheathed or 6-0-0 oc purlins, except end verticals. [P]
BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing, Except:
6-0-0 oc bracing: 24-25,22-24.

REACTIONS (lb/size) 1=616/0-3-0, 16=373/0-3-0, 24=1451/1-0-0, 20=835/1-0-0
Max Grav 1=644(load case 4), 16=380(load case 3), 24=1451(load case 1), 20=859(load case 3)

FORCES (lb) - First Load Case Only
TOP CHORD 1-28=7, 16-17=14, 1-2=-307, 2-3=-303, 3-4=-303, 4-5=-1008, 5-6=-1008, 6-7=647, 7-8=647, 8-9=647, 9-10=-447, 10-11=-447, 11-12=15, 12-13=15, 13-14=-392, 14-15=-392, 15-16=-397
BOT CHORD 27-28=0, 26-27=1008, 25-26=1008, 24-25=420, 23-24=162, 22-23=162, 21-22=447, 20-21=447, 19-20=392, 18-19=392, 17-18=0
WEBS 7-24=-295, 12-20=-314, 1-27=937, 3-27=-314, 6-24=-1238, 4-27=-238, 6-25=687, 4-26=-41, 5-25=-275, 9-24=-939, 11-20=-533, 9-22=333, 11-21=30, 10-22=-151, 13-20=-470, 16-18=450, 13-19=30, 14-18=-212

- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for both FPI-35 and ANSI/TPI 1-1995 plating criteria.
 - 3) Recommend 2x6 strongbacks, on edge, spaced at 10-0-0 oc and fastened to each truss with 3-1/2d nails. Strongbacks to be attached to walls at their outer ends or restrained by other means.
 - 4) Gap between inside of top chord bearing and first diagonal or vertical web shall not exceed 0.500in.
 - 5) CAUTION, Do not erect truss backwards.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI / SMITH RES.
3115	FT4	FLOOR	4	1	(optional)

TL Southern Bldg. Prod., W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Fri Nov 02 15:23:44 2001 Page 1

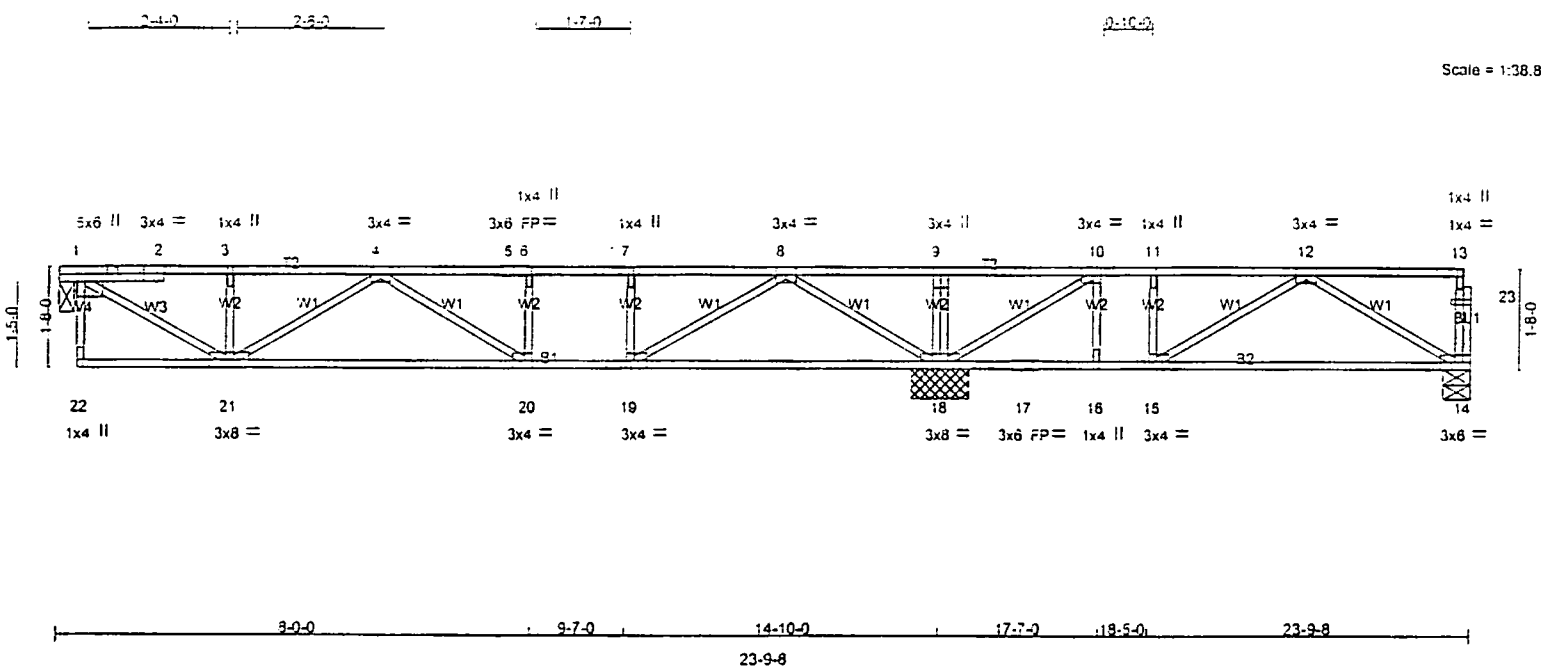


Plate Offsets (X,Y): [1:0-1-3,Edge], [10:0-1-8,Edge], [15:0-1-8,Edge], [19:0-1-8,Edge], [20:0-1-8,Edge], [23:0-0-8,0-1-8]

LOADING (psf)	SPACING	2-0-0	CSI	DEFL	in (loc)	Vdefl	PLATES	GRIP
TCLL 40.0	Plates Increase	1.00	TC 0.54	Vert(LL)	-0.18	20-21	MII20	249/190
TCDL 15.0	Lumber Increase	1.00	BC 0.62	Vert(TL)	-0.29	20-21		
BCLL 0.0	Rep Stress Incr	YES	WB 0.55	Horz(TL)	-0.02	18		
BCDL 5.0	Code	SBC/SBCCI	(Matrix)	1st LC LL Min Vdefl	=	360		Weight: 127 lb

LUMBER	BRACING
TOP CHORD 4 X 2 SYP M 14	TOP CHORD Sheathed or 3-0-0 oc purfins, except end verticals.
BOT CHORD 4 X 2 SYP M 14	BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.
WEBS 4 X 2 SYP No.3	

REACTIONS (lb/size) 1=848/0-3-0, 14=487/0-5-8, 18=1458/1-0-0
 Max Grav=848(load case 2), 14=513(load case 3), 18=1458(load case 1)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-22=-2, 14-23=-104, 13-23=-104, 1-2=-1170, 2-3=-1166, 3-4=-1166, 4-5=-1866, 5-6=-1866, 6-7=-1866, 7-8=-1866, 8-9=-1866, 9-10=168, 10-11=-593, 11-12=-593, 12-13=-4
 BOT CHORD 21-22=0, 20-21=1808, 19-20=1866, 18-19=1066, 17-18=593, 16-17=593, 15-16=593, 14-15=610
 WEBS 9-18=-291, 1-21=1361, 3-21=-249, 3-18=-1430, 4-21=-749, 8-19=934, 7-19=-370, 4-20=68, 6-20=-79, 10-18=-875, 12-14=-702, 10-16=95, 12-15=-20, 11-15=-17

- NOTES
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for both TPI-35 and ANSI/TPI 1-1995 plating criteria.
 - 3) Recommend 2x6 strongbacks, on edge, spaced at 10-0-0 oc and fastened to each truss with 3-16d nails. Strongbacks to be attached to walls at their outer ends or restrained by other means.
 - 4) Gap between inside of top chord casing and first diagonal or vertical web shall not exceed 0.500in.
 - 5) CAUTION. Do not erect truss backwards.

LOAD CASE(S) Standard

10-M CLARK WEBER
 FEB 20 2002
John Weber

Job	Truss	Truss Type	Qty	Ply	STEVE MACARI / SMITH RES.
3115	FT1	FLOOR	12	1	(optional)

TL Southern Bldg. Prod., W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Fri Nov 02 15:23:47 2001 Page 1

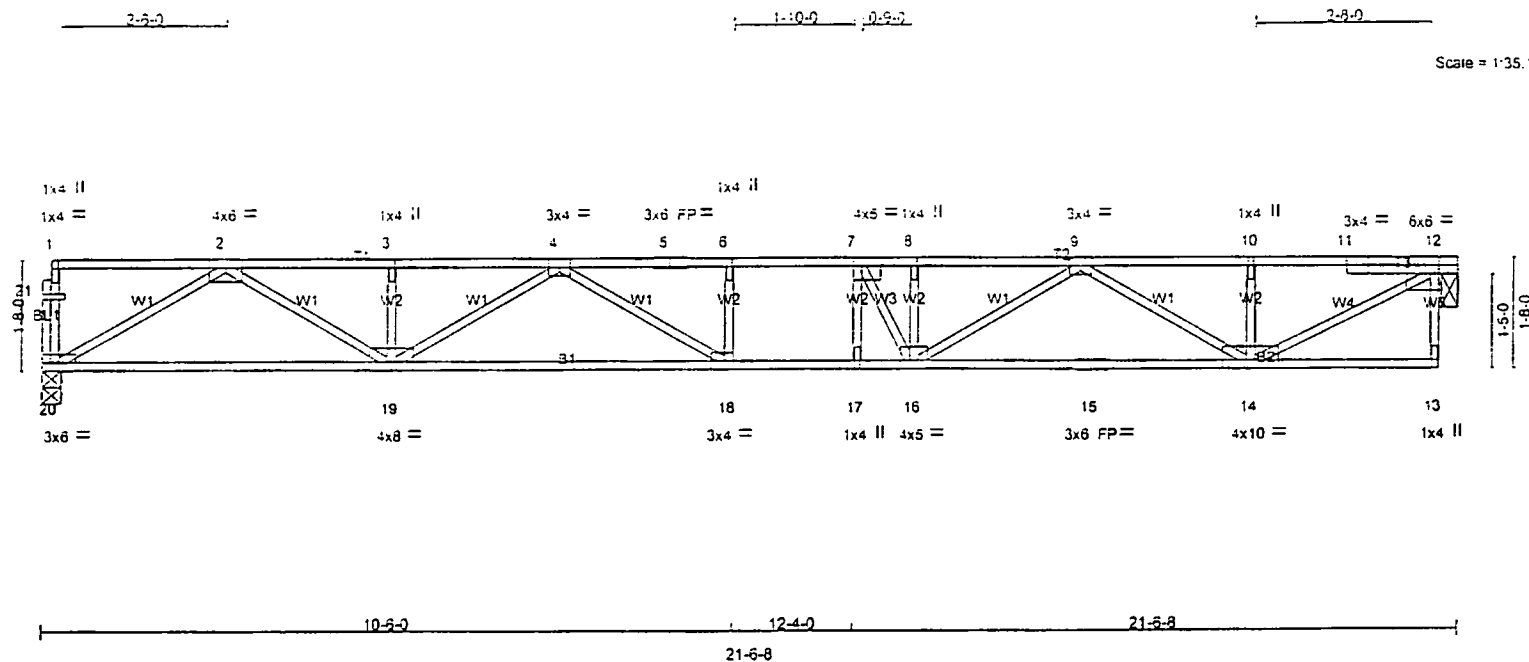


Plate Offsets (X,Y): (7:0-1-3,Edge), (12:0-1-3,Edge), (18:0-1-3,Edge), (21:0-0-3,0-1-8)

LOADING (psf)	SPACING 2-0-0	CSI	DEFL in (loc) V/defl	PLATES	GRIP
TCLL 40.0	Plates Increase 1.00	TC 0.56	Vert(LL) -0.35 18-19 >729	MII20	249/190
TCOL 15.0	Lumber Increase 1.00	BC 0.77	Vert(TL) -0.54 18-19 >468		
BCLL 0.0	Rep Stress Incr YES	WB 0.92	Horz(TL) 0.01 12 n/a		
BCOL 5.0	Code SBC/SBCCI	(Matrix)	1st LC LL Min V/defl = 360	Weight: 115 lb	

LUMBER
 TOP CHORD 4 X 2 SYP M 14
 BOT CHORD 4 X 2 SYP M 21
 WEBS 4 X 2 SYP No.3

BRACING
 TOP CHORD Sheathed or 6-0-0 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing. [P]

REACTIONS (lb/size) 20=1257/0-3-8, 12=1264/0-3-0

FORCES (lb) - First Load Case Only
 TOP CHORD 20-21=-112, 1-21=-112, 12-13=9, 1-2=-5, 2-3=-3254, 3-4=-3254, 4-5=-4289, 5-6=-4289, 6-7=-4289, 7-8=-4070, 8-9=-4070, 9-10=-2027, 10-11=-2027, 11-12=-2032
 BOT CHORD 19-20=1919, 18-19=4040, 17-18=4289, 16-17=4289, 15-16=3300, 14-15=3300, 13-14=0
 WEBS 2-20=-2221, 12-14=2294, 10-14=-252, 2-19=1557, 3-19=-260, 9-14=-1485, 4-19=918, 9-16=399, 8-16=-109, 4-18=291, 7-16=-445, 6-18=-172, 7-17=120

- NOTES
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - 3) Recommend 2x6 strongbacks, on edge, spaced at 10-0-0 oc and fastened to each truss with 3-16d nails. Strongbacks to be attached to walls at their outer ends or restrained by other means.
 - 4) Gap between inside of top chord bearing and first diagonal or vertical web shall not exceed 0.500in.
 - 5) CAUTION. Do not erect truss backwards.

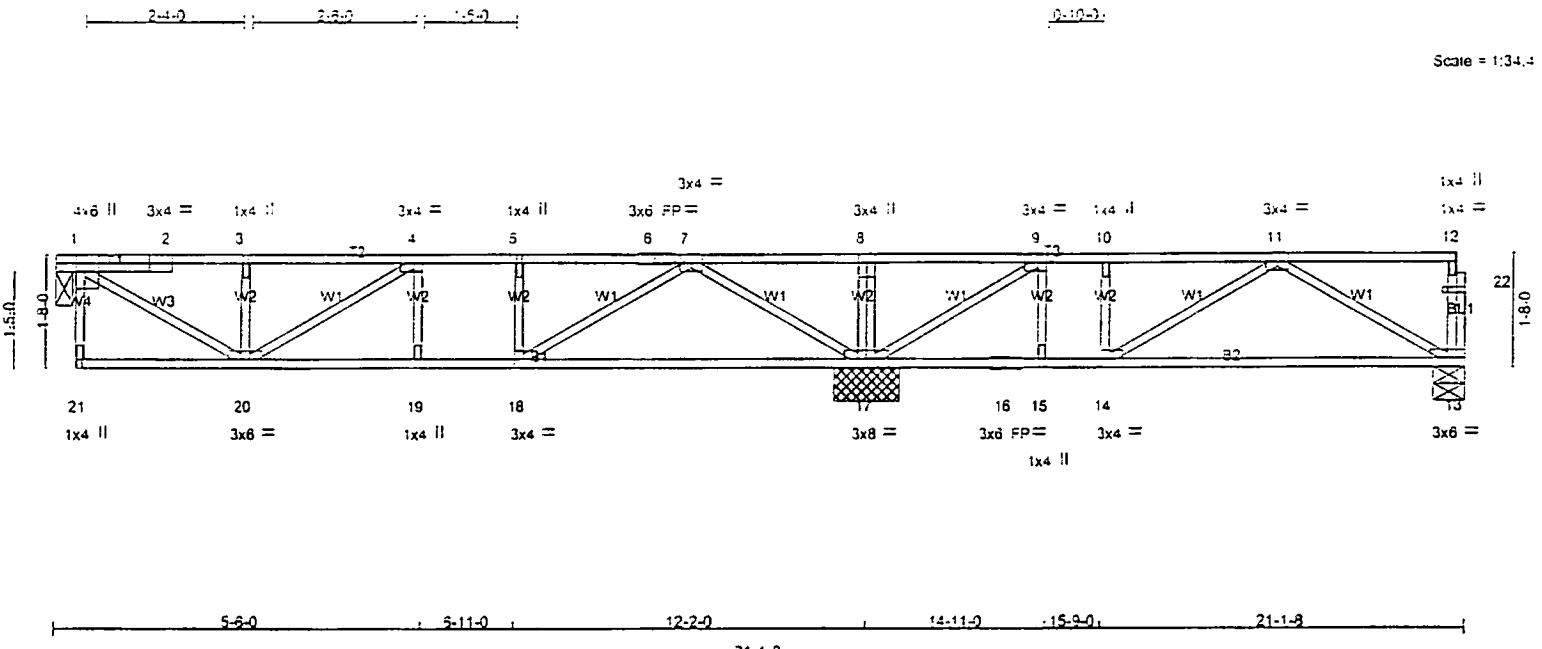
LOAD CASE(S) Standard

CLARK WEBER
 FEB 20 2002
John Clark Weber

Job	Truss	Truss Type	Qty	Ply	STEVE MACARI / SMITH RES.
3115	FT5	FLOOR	4	1	(optional)

TL Southern Bldg. Prod., W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Fri Nov 02 15:23:50 2001 Page 1



Scale = 1/32"

Plate Offsets (X,Y): [1:0-1-8,Edge], [4:0-1-8,Edge], [9:0-1-8,Edge], [14:0-1-8,Edge], [18:0-1-8,Edge], [22:0-0-8,0-1-8]

LOADING (psf)	SPACING	2'-0"	CSI	DEFL	in (loc)	Vdefl	PLATES	GRIP
TCLL 40.0	Plates Increase	1.00	TC 0.48	Vert(LL)	-0.07	13-14	MII20	249/190
TCDL 15.0	Lumber Increase	1.00	BC 0.33	Vert(TL)	-0.16	13-14		
BCLL 0.0	Rep Stress Incr	YES	WB 0.41	Horz(TL)	0.01	13		
BCDL 5.0	Code	SBC/SBCCI	(Matrix)	1st LC LL Min Vdefl	=	360	Weight:	115 lb

LUMBER
TOP CHORD 4 X 2 SYP M 14
BOT CHORD 4 X 2 SYP M 14
WEBS 4 X 2 SYP No.3

BRACING
TOP CHORD Sheathed or 6'-0" oc purlins, except end verticals.
BOT CHORD Rigid ceiling directly applied or 10'-0" oc bracing. (P)

REACTIONS (lb/size) 1=668/0-3-0, 13=468/0-5-8, 17=1335/1-0-0
Max Grav=669(load case 2), 13=504(load case 3), 17=1335(load case 1)

FORCES (lb) - First Load Case Only
TOP CHORD 1-21=9, 13-22=-104, 12-22=-104, 1-2=-381, 2-3=-877, 3-4=-877, 4-5=-1207, 5-6=-1207, 6-7=-1207, 7-8=270, 3-9=270, 9-10=-524, 10-11=-524, 11-12=-4
BOT CHORD 20-21=0, 19-20=1207, 18-19=1207, 17-18=724, 16-17=524, 15-16=524, 14-15=524, 13-14=578
WEBS 8-17=-274, 1-20=1024, 3-20=-297, 7-17=-1153, 4-20=-383, 7-18=564, 4-19=-12, 5-18=-229, 9-17=-915, 11-13=-666, 9-15=93, 11-14=-63, 10-14=2

- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - 3) Recommend 2x6 strongbacks, on edge, spaced at 10'-0" oc and fastened to each truss with 3-16d nails. Strongbacks to be attached to walls at their outer ends or restrained by other means.
 - 4) Gap between inside of top chord bearing and first diagonal or vertical web shall not exceed 0.500in.
 - 5) CAUTION, Do not erect truss backwards.

LOAD CASE(S) Standard

CLARK WEBER

FEB 20 2002
Clark Weber

Job	Truss	Truss Type	Qty	Ply	STEVE MACARI / SMITH RES.
3115	FT2	FLOOR NOT_SET	20	1	(optional)

TL Southern Bldg. Prod., W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Fri Nov 02 15:23:52 2001 Page 1

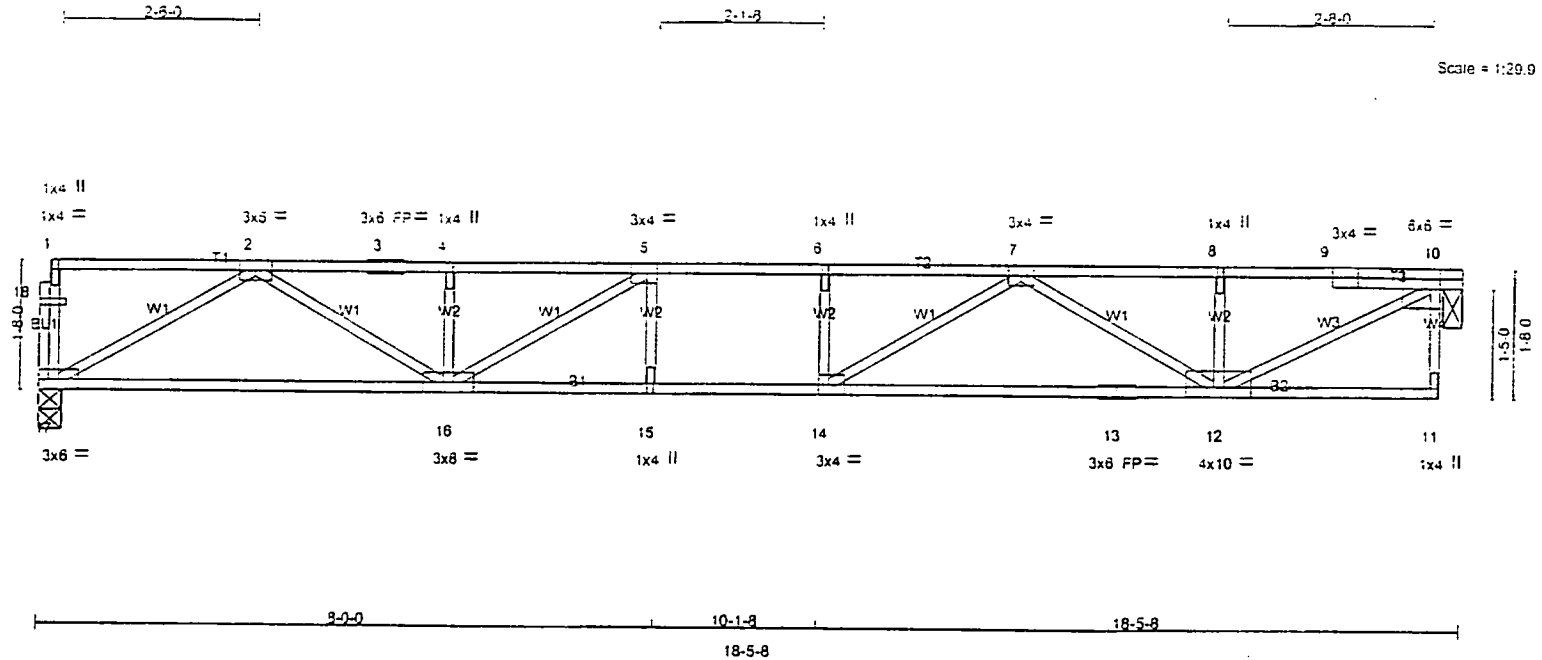


Plate Offsets (X,Y): [5:0-1-8,Edge], [10:0-1-8,Edge], [14:0-1-8,Edge], [18:0-0-8,0-1-8]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 40.0	2-0-0	TC 0.31	in (loc) I/defl	MI20	249/190
TCDL 15.0	Plates Increase 1.00	BC 0.67	Vert(LL) -0.17 14-15 >999		
BCLL 0.0	Lumber Increase 1.00	WB 0.77	Vert(TL) -0.28 12-14 >783		
BCDL 5.0	Rep Stress Incr YES	(Matrix)	Horz(TL) 0.00 10 n/a		
	Code SBC/SBCCI		1st LC LL Min I/defl = 360	Weight: 97 lb	

LUMBER
TOP CHORD 4 X 2 SYP M 14
BOT CHORD 4 X 2 SYP M 14
WEBS 4 X 2 SYP No.3

BRACING
TOP CHORD Sheathed or 6-0-0 cc putins, except end verticals.
BOT CHORD Rigid ceiling directly applied or 10-0-0 cc bracing. (P)

REACTIONS (lb/size) 17=1072/0-3-8, 10=1079/0-3-0

FORCES (lb) - First Load Case Only
TOP CHORD 17-18=-113, 1-18=-113, 10-11=8, 1-2=-5, 2-3=-2628, 3-4=-2628, 4-5=-2628, 5-6=-3128, 6-7=-3128, 7-8=-1696, 8-9=-1696, 9-10=-1701
BOT CHORD 16-17=1599, 15-16=3128, 14-15=3128, 13-14=2656, 12-13=2656, 11-12=0
WEBS 2-17=-1850, 10-12=1920, 3-12=-274, 2-16=1200, 4-16=-275, 7-12=-1120, 5-16=-579, 7-14=550, 8-14=-245, 5-15=13

- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - 3) Recommend 2x6 strongbacks, on edge, spaced at 10-0-0 oc and fastened to each truss with 3-16d nails. Strongbacks to be attached to walls at their outer ends or restrained by other means.
 - 4) Gap between inside of top chord bearing and first diagonal or vertical web shall not exceed 0.500in.
 - 5) CAUTION. Do not erect truss backwards.

LOAD CASE(S) Standard

CLARK WEBB

FEB 20 2002
John Weber

Job	Truss	Truss Type	City	Pty	STEVE MACARI / SMITH RES
3115	FT6	FLOOR	10		

TL Southern Bldg. Prod., W. Palm Beach, FL 4.201 SR1 e Nov 16 2000 MiTex Industries, Inc. Fri Nov 02 15:23:55 2001 Page 1

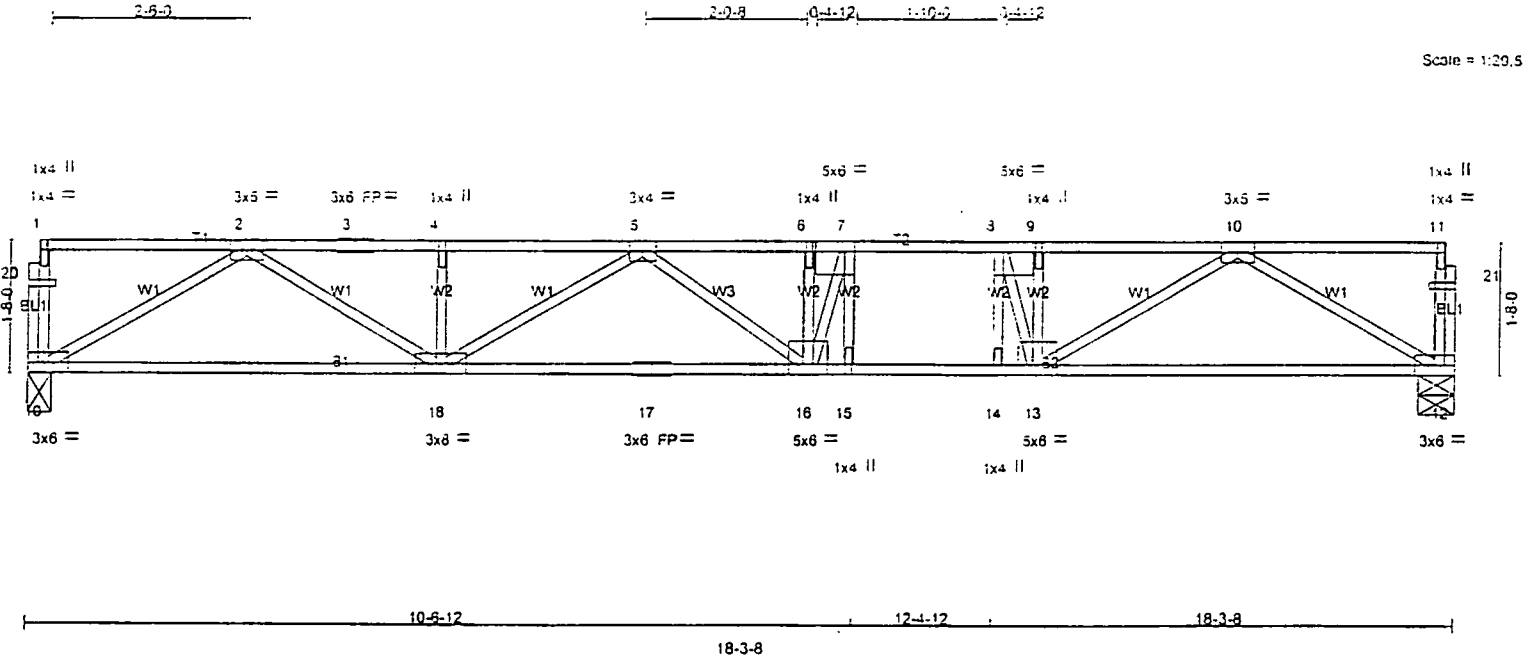


Plate Offsets (X,Y): (7:0-1-8,Edge), (8:0-1-8,Edge), (20:0-0-8,0-1-8), (21:0-0-8,0-1-8)

LOADING (psf)	SPACING 2-0-0	CSI	DEFL in (loc) /defl	PLATES	GRIP
TCLL 40.0	Plates Increase 1.00	TC 0.73	Vert(LL) -0.23 15-16 >956	MII20	249/190
TCDL 15.0	Lumber Increase 1.00	BC 0.86	Vert(TL) -0.34 15-16 >637		
BCLL 0.0	Rep Stress Incr YES	WB 0.50	Horz(TL) 0.06 12 r/a		
BCDL 5.0	Code SBC/SBCCI	(Matrix)	1st LC LL Min /defl = 360	Weight: 102 lb	

LUMBER
TOP CHORD 4 X 2 SYP M 14
BOT CHORD 4 X 2 SYP M 21
WEBS 4 X 2 SYP No.3

BRACING
TOP CHORD Sheathed or 5-0-0 oc burlins, except end verticals.
BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing. [P]

REACTIONS (lb/size) 19=1076/0-3-8, 12=1076/0-5-8

FORCES (lb) - First Load Case Only
TOP CHORD 19-20=-113, 1-20=-113, 12-21=-110, 11-21=-110, 1-2=-5, 2-3=-2641, 3-4=-2641, 4-5=-2641, 5-6=-3163, 5-7=-3163, 7-3=-2930, 8-9=-2623, 9-10=-2623, 10-11=-4
BOT CHORD 18-19=1607, 17-18=3123, 16-17=3128, 15-16=2930, 14-15=2930, 13-14=2930, 12-13=1611
WEBS 2-19=-1858, 10-12=-1853, 2-18=1208, 4-18=-275, 10-13=1182, 9-13=103, 5-18=-568, 5-16=43, 6-16=-389, 7-15=-434, 7-16=727, 8-14=386, 8-13=-959

NOTES
1) This truss has been checked for unbalanced loading conditions.
2) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
3) Recommend 2x6 strongbacks, on edge, spaced at 10-0-0 oc and fastened to each truss with 3-16d nails. Strongbacks to be attached to walls at their outer ends or restrained by other means.

LOAD CASE(S) Standard

CLARK WEBER
SEP 20 2002
John Weber

Job	Truss	Truss Type	Qty	Ply	STEVE MACARI / SMITH RES.
3115	FT4A	FLOOR	2	1	(optional)

TL Southern Blag. Prod., W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Fri Nov 02 15:23:58 2001 Page 1

Scale = 1:26.5

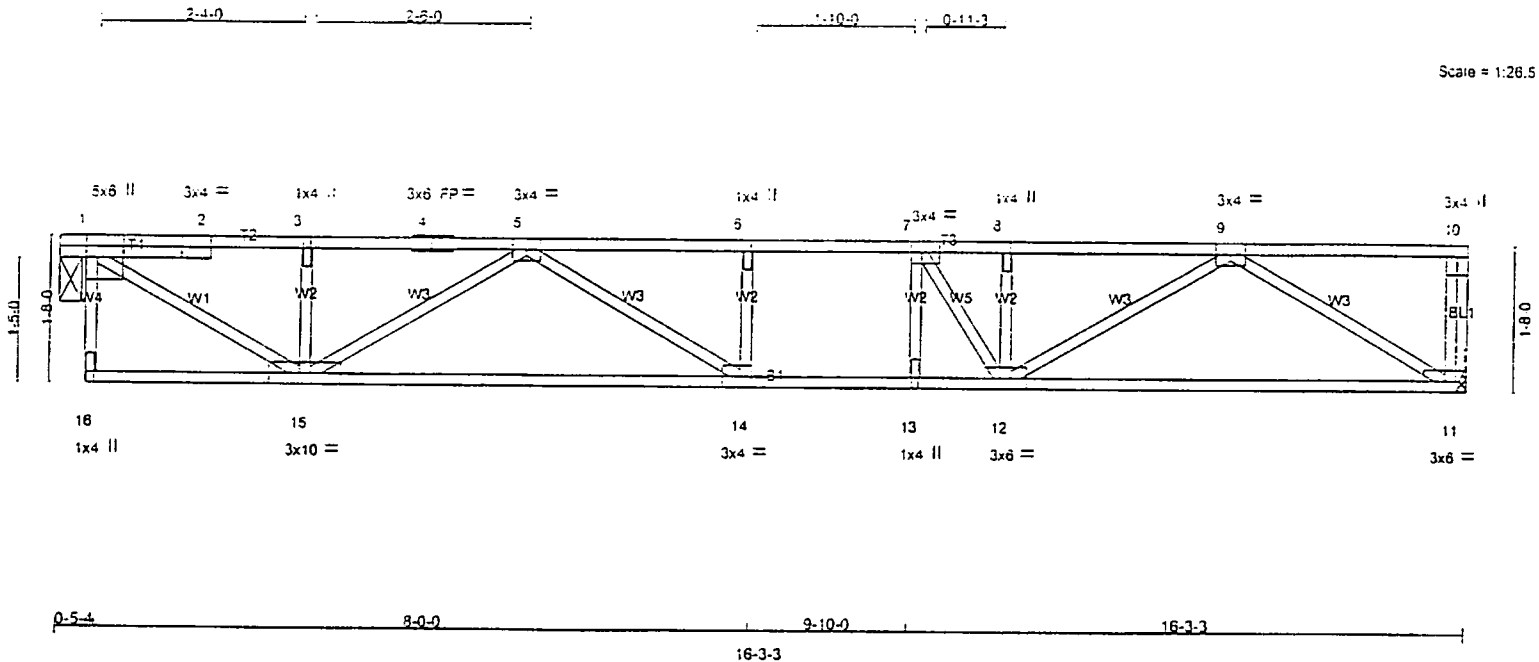


Plate Offsets (X,Y): (1:0-1-8,Edge), (7:0-1-8,Edge), (14:0-1-8,Edge)

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 40.0	2-0-0	TC 0.40	in (loc) Vdefl	M1120	249/190
TCDL 15.0	Plates Increase 1.00	BC 0.66	Vert(LL) -0.15 14-15 >999		
BCLL 0.0	Lumber Increase 1.00	WB 0.62	Vert(TL) -0.27 14-15 >714		
BCDL 5.0	Rep Stress Incr YES	(Matrix)	Horz(TL) -0.01 11 n/a		
	Code SBC/SBCCI		1st LC LL Min Vdefl = 360	Weight: 89 lb	

LUMBER
 TOP CHORD 4 X 2 SYP M 14
 BOT CHORD 4 X 2 SYP M 14
 WEBS 4 X 2 SYP No.3

BRACING
 TOP CHORD Sheathed or 6-0-0 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

REACTIONS (lb/size) 11=947/Mechanical, 1=947/0-3-0

FORCES (lb) - First Load Case Only
 TOP CHORD 1-16=2, 10-11=-113, 1-2=-1327, 2-3=-1322, 3-4=-1322, 4-5=-1322, 5-6=-2404, 6-7=-2404, 7-8=-2164, 8-9=-2164, 9-10=0
 BOT CHORD 15-16=0, 14-15=2132, 13-14=2404, 12-13=2404, 11-12=1382
 WEBS 1-15=1543, 3-15=-251, 3-11=-1603, 5-15=-945, 9-12=913, 8-12=-116, 5-14=318, 7-12=-425, 6-14=-173, 7-13=81

- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) Refer to girder(s) for truss to truss connections.
 - 3) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - 4) Recommend 2x6 strongbacks, on edge, spaced at 10-0-0 oc and fastened to each truss with 3-16d nails. Strongbacks to be attached to walls at their outer ends or restrained by other means.
 - 5) Gap between inside of top chord bearing and first diagonal or vertical web shall not exceed 0.500in.
 - 6) CAUTION, Do not erect truss backwards.

LOAD CASE(S) Standard

JOHN CLARK WESS

FEB 20 2009
 [Signature]

Job	Truss	Truss Type	Qty	Fly	STEVE MACARI / SMITH RES.
3115	FT7	FLOOR NOT_SET	12		(optional)

TL Southern Bldg. Prod., W. Palm Beach, FL

4.201 SR: e Nov 15 2000 MiTek Industries, Inc. Fr Nov 02 15:24:01 2001 Page 1

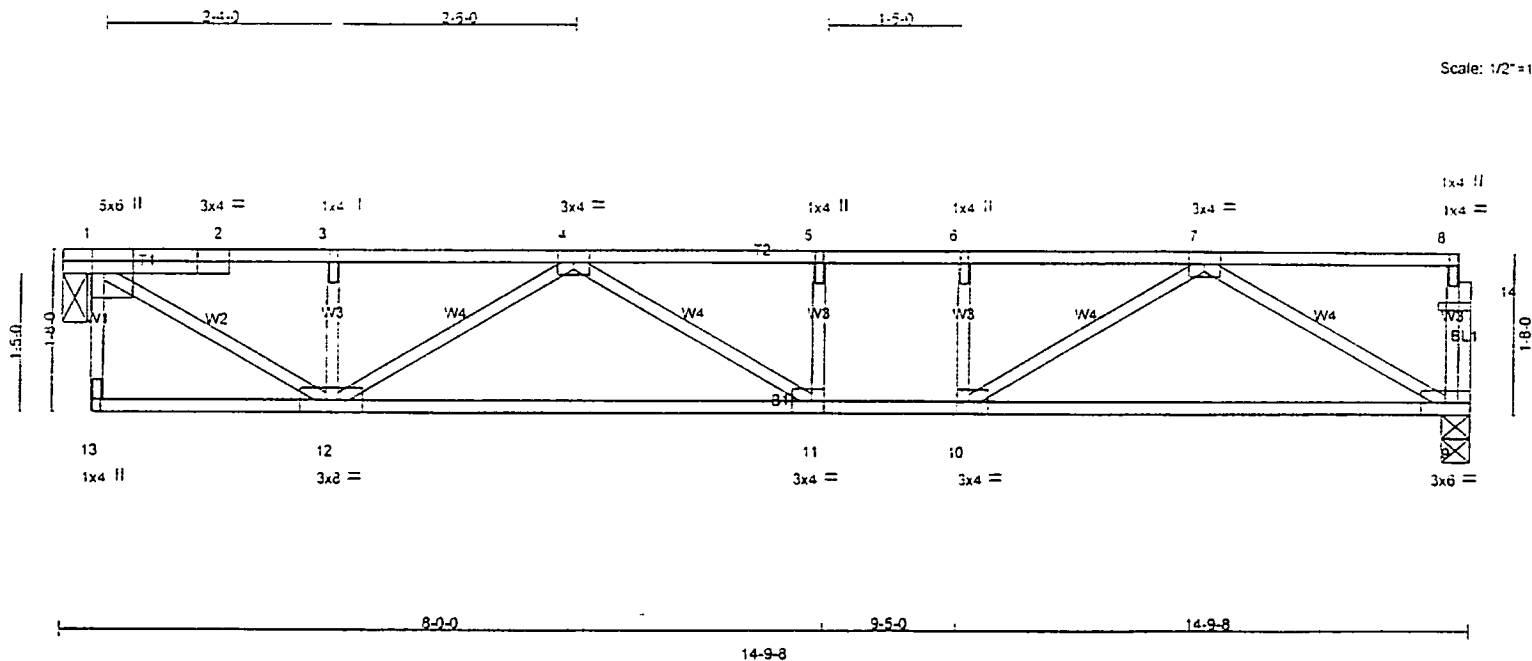


Plate Offsets (X,Y): [1:0-1-3,Edge], [10:0-1-3,Edge], [11:0-1-3,Edge], [14:0-0-8,0-1-8]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 40.0	2-0-0	TC 0.45	in (loc) /def	MII20	249/190
TCOL 15.0	Plates Increase 1.00	BC 0.60	Vert(LL) -0.15 11-12 >999		
BCLL 0.0	Lumber Increase 1.00	WB 0.55	Vert(TL) -0.25 11-12 >680		
BCOL 5.0	Rep Stress Incr YES	(Matrix)	Horz(TL) -0.01 9 n/a		
	Code SBC/SBCCI		1st LC LL Min /def = 360	Weight: 79 lb	

LUMBER	BRACING
TOP CHORD 4 X 2 SYP M 14	TOP CHORD Sheathed or 5-0-0 oc purlins, except end verticals.
BOT CHORD 4 X 2 SYP M 14	BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.
WEBS 4 X 2 SYP No.3	

REACTIONS (lb/size) 9=852/0-3-8, 1=859/0-3-0

FORCES (lb) - First Load Case Only
 TOP CHORD 1-13=0, 9-14=-117, 8-14=-117, 1-2=-1188, 2-3=-1184, 3-4=-1184, 4-5=-1944, 5-6=-1944, 6-7=-1944, 7-8=-5
 BOT CHORD 12-13=0, 11-12=1847, 10-11=1944, 9-10=1230
 WEBS 1-12=1381, 3-12=-251, 7-9=-1421, 4-12=-774, 7-10=834, 6-10=-329, 4-11=114, 5-11=-93

- NOTES
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - 3) Recommend 2x6 strongbacks, on edge, spaced at 10-0-0 oc and fastened to each truss with 3-16d nails. Strongbacks to be attached to walls at their outer ends or restrained by other means.
 - 4) Gap between inside of top chord bearing and first diagonal or vertical web shall not exceed 0.500in.
 - 5) CAUTION: Do not erect truss backwards.

LOAD CASE(S) Standard

STEVE CLARK WEBER
 FEB 20 2002
Steve Clark Weber

Jco	Truss	Truss Type	Qty	Ply	STEVE MACARI / SMITH RES.
3115	FT3	FLOOR	11	1	(optional)

TL Southern Bldg. Prod., W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Fri Nov 02 15:24:04 2001 Page 1

Scale = 1:19.6

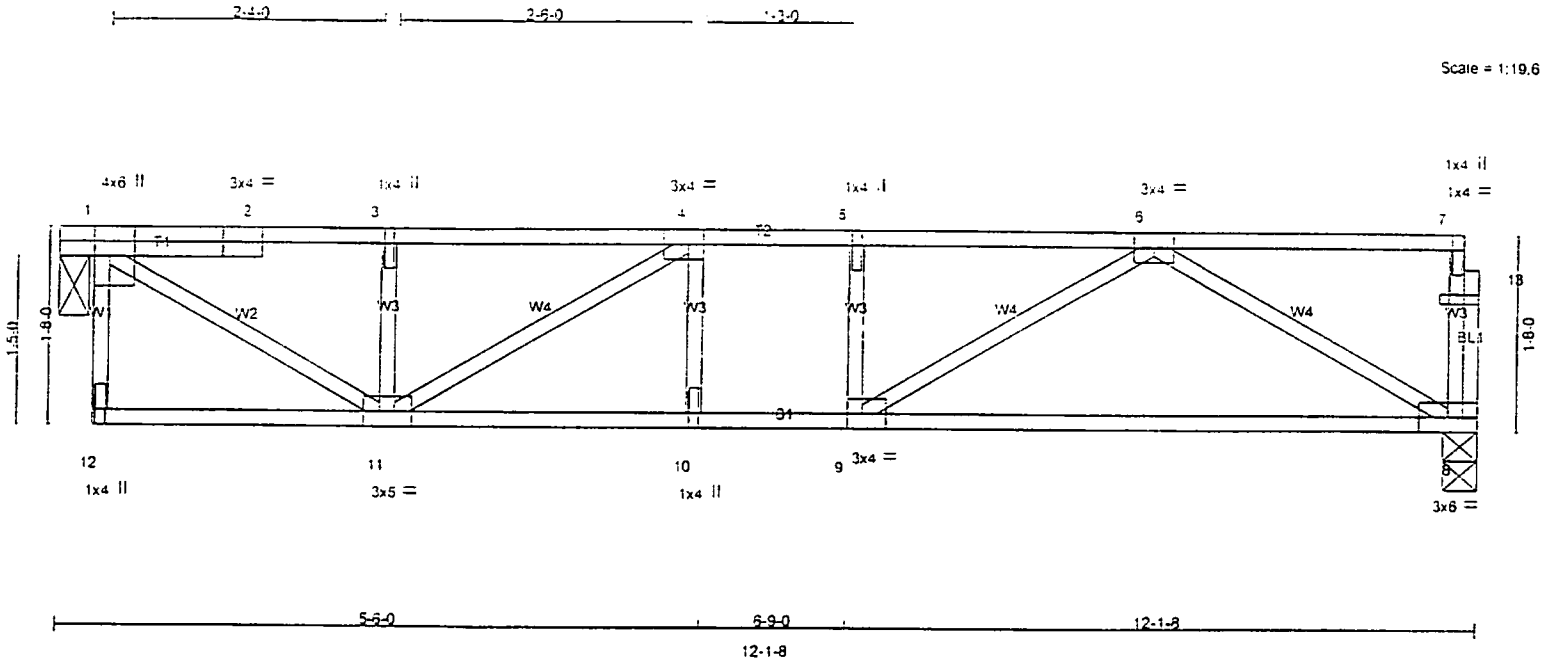


Plate Offsets (X,Y): [1:0-1-8,Edge], [4:0-1-8,Edge], [9:0-1-8,Edge], [13:0-0-8,0-1-8]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 40.0	1-4-0	TC 0.22	in (loc) V/defl	MII20	249/190
TCDL 15.0	Plates Increase 1.00	BC 0.22	Vert(LL) -0.02 10 >999		
BCLL 0.0	Lumber Increase 1.00	WB 0.29	Vert(TL) -0.07 8-9 >999		
BCDL 5.0	Rep Stress Incr YES	(Matrix)	Horz(TL) 0.00 8 n/a		
	Code SBC/SBCCI		1st LC LL Min V/defl = 360		Weight: 67 lb

LUMBER
 TOP CHORD 4 X 2 SYP M 14
 BOT CHORD 4 X 2 SYP M 14
 WEBS 4 X 2 SYP No.3

BRACING
 TOP CHORD Sheathed or 5-0-0 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

(P)

REACTIONS (lb/size) 8=461/0-3-8, 1=466/0-3-0

FORCES (lb) - First Load Case Only
 TOP CHORD 1-12=7, 8-13=-73, 7-13=-73, 1-2=-617, 2-3=-614, 3-4=-614, 4-5=-887, 5-6=-887, 6-7=-3
 BOT CHORD 11-12=0, 10-11=387, 9-10=887, 8-9=639
 WEBS 1-11=716, 3-11=-190, 6-3=-738, 4-11=-317, 5-9=290, 4-10=4, 5-9=-117

- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - 3) Recommend 2x6 strongbacks, on edge, spaced at 10-0-0 oc and fastened to each truss with 3-16d nails. Strongbacks to be attached to walls at their outer ends or restrained by other means.
 - 4) Gap between inside of top chord bearing and first diagonal or vertical web shall not exceed 0.500in.
 - 5) CAUTION, Do not erect truss backwards.

LOAD CASE(S) Standard

CLARK WEBER

FEB 20 2002

John Weber

Job	Truss	Truss Type	Qty	Ply	STEVE MACARI / SMITH RES
3115	FT9	FLOOR	1		(optional)

TL Southern Bldg. Prod., W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Fri Nov 02 15:24:06 2001 Page 1

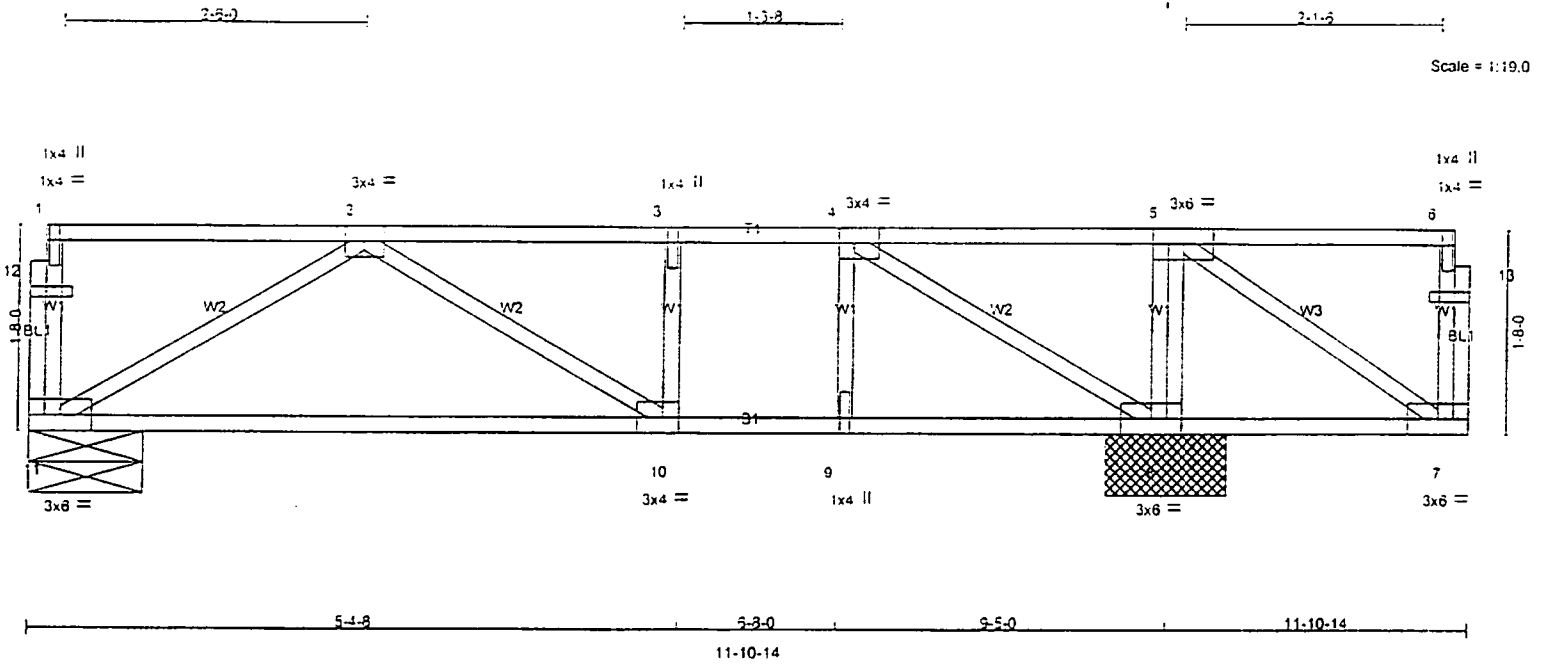


Plate Offsets (X,Y): [4'-0"-1-8,Edge], [10'-0"-1-8,Edge], [12'-0"-0-8,0-1-8], [13'-0"-0-8,0-1-8]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 40.0	2-0-0	TC 0.52	in (loc) /defl	M1120	249/190
TCDL 15.0	Plates Increase 1.00	BC 0.40	Vert(LL) -0.10 10-11 >999		
BCLL 0.0	Lumber Increase 1.00	WB 0.26	Vert(TL) -0.21 10-11 >530		
BCDL 5.0	Rep Stress Incr YES	(Matrix)	Horz(TL) 0.01 8 n/a		
	Code SBC/SBCCI		1st LC LL Min /defl = 360	Weight 68 lb	

LUMBER
TOP CHORD 4 X 2 SYP M 14
BOT CHORD 4 X 2 SYP M 14
WEBS 4 X 2 SYP No.3

BRACING
TOP CHORD Sheathed or 6-0-0 oc purlins, except end verticals.
BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing, Except: 6-0-0 oc bracing: 7-8. (P)

REACTIONS (lb/size) 11=516/0-11-0, 8=869/1-0-0
Max Grav 11=539(load case 2), 8=869(load case 1)

FORCES (lb) - First Load Case Only
TOP CHORD 11-12=-102, 1-12=-102, 7-13=-102, 5-13=-102, 1-2=-4, 2-3=-667, 3-4=-667, 4-5=174, 5-6=-4
BOT CHORD 10-11=859, 9-10=867, 3-9=867, 7-8=-174
WEBS 5-8=-392, 2-11=-759, 4-8=-370, 2-10=10, 4-9=112, 3-10=-39, 5-7=213

- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - 3) Recommend 2x6 strongbacks, on edge, spaced at 10-0-0 oc and fastened to each truss with 3-16d nails. Strongbacks to be attached to walls at their outer ends or restrained by other means.
 - 4) CAUTION: Do not erect truss backwards

LOAD CASE(S) Standard

CLARK WEBER

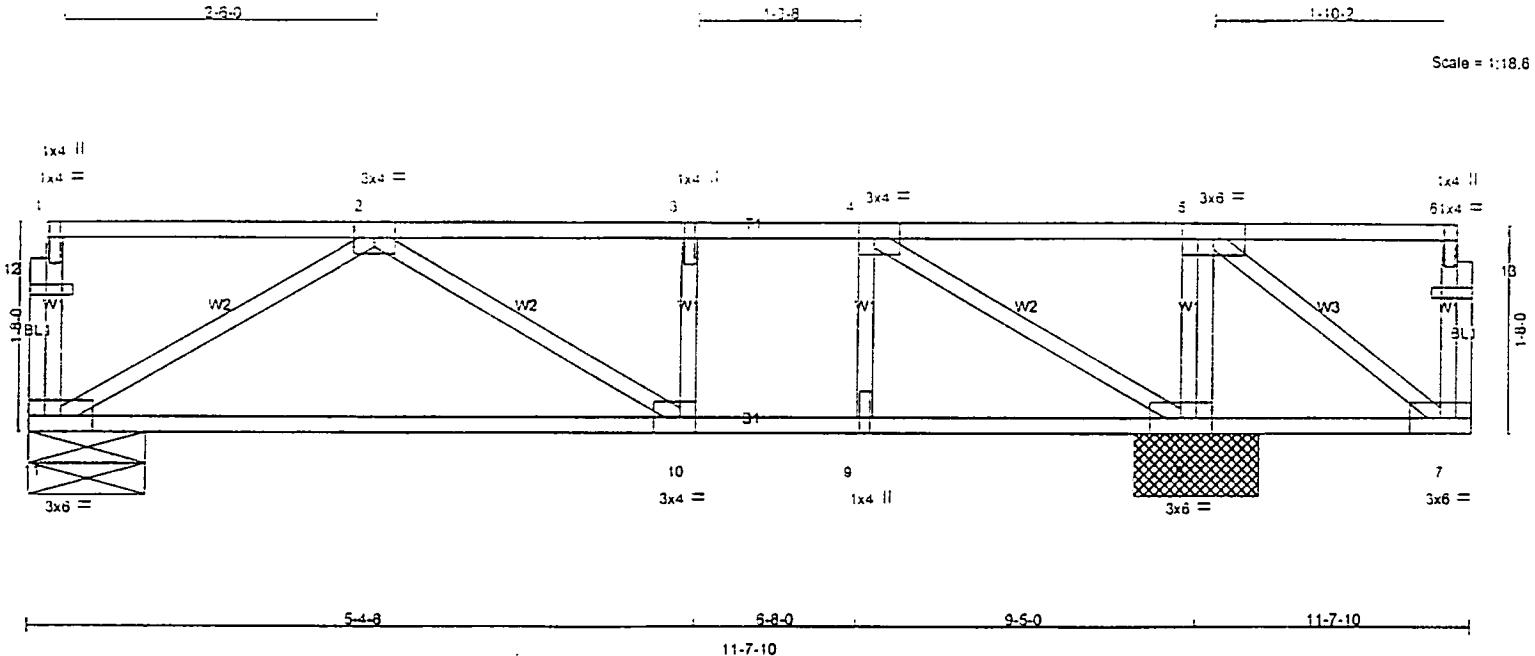
FEB 20 2002

John Weber

Job	Truss	Truss Type	Qty	Ply	STEVE MACARI / SMITH RES
3115	FT9A	FLOOR	2	1	(optional)

TL Southern Bldg. Prod., W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Fri Nov 02 15:24:09 2001 Page 1



Scale = 1:18.6

Plate Offsets (X,Y): [4:0-1-8,Edge], [10:0-1-3,Edge], [12:0-0-3,0-1-8], [13:0-0-8,0-1-8]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 40.0	2-0-0	TC 0.51	in (loc) Vdefl	MII20	249/190
TCDL 15.0	Plates Increase 1.00	BC 0.40	Vert(LL) -0.09 10-11 >999		
BCLL 0.0	Lumber Increase 1.00	WB 0.26	Vert(TL) -0.20 10-11 >548		
BCDL 5.0	Rep Stress Incr YES	(Matrix)	Horz(TL) 0.01 8 n/a		
	Code SBC/SBCCI		1st LC LL Min Vdefl = 360	Weight: 67 lb	

LUMBER
 TOP CHORD 4 X 2 SYP M 14
 BOT CHORD 4 X 2 SYP M 14
 WEBS 4 X 2 SYP No.3

BRACING
 TOP CHORD Sheathed or 6-0-0 oc purtins, except end verticals. (P)
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing, Except: 6-0-0 oc bracing: 7-8.

REACTIONS (lb/size) 11=524/0-11-0, 8=828/1-0-0
 Max Grav 11=542(load case 2), 8=828(load case 1)

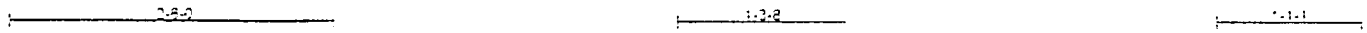
FORCES (lb) - First Load Case Only
 TOP CHORD 11-12=-103, 1-12=-102, 7-13=-87, 3-13=-87, 1-2=-4, 2-3=-697, 3-4=-697, 4-5=134, 5-6=-4
 BOT CHORD 10-11=672, 9-10=697, 8-9=697, 7-8=-134
 WEBS 5-8=-359, 2-11=-774, 4-8=-958, 2-10=29, 4-9=107, 3-10=-45, 5-7=171

- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - 3) Recommend 2x6 strongbacks, on edge, spaced at 10-0-0 oc and fastened to each truss with 3-16d nails. Strongbacks to be attached to walls at their outer ends or restrained by other means.
 - 4) CAUTION, Do not erect truss backwards.

LOAD CASE(S) Standard

JOHN CLARK WEBER

FEB 28 2002
 John Clark Weber



Scale = 1:17.6

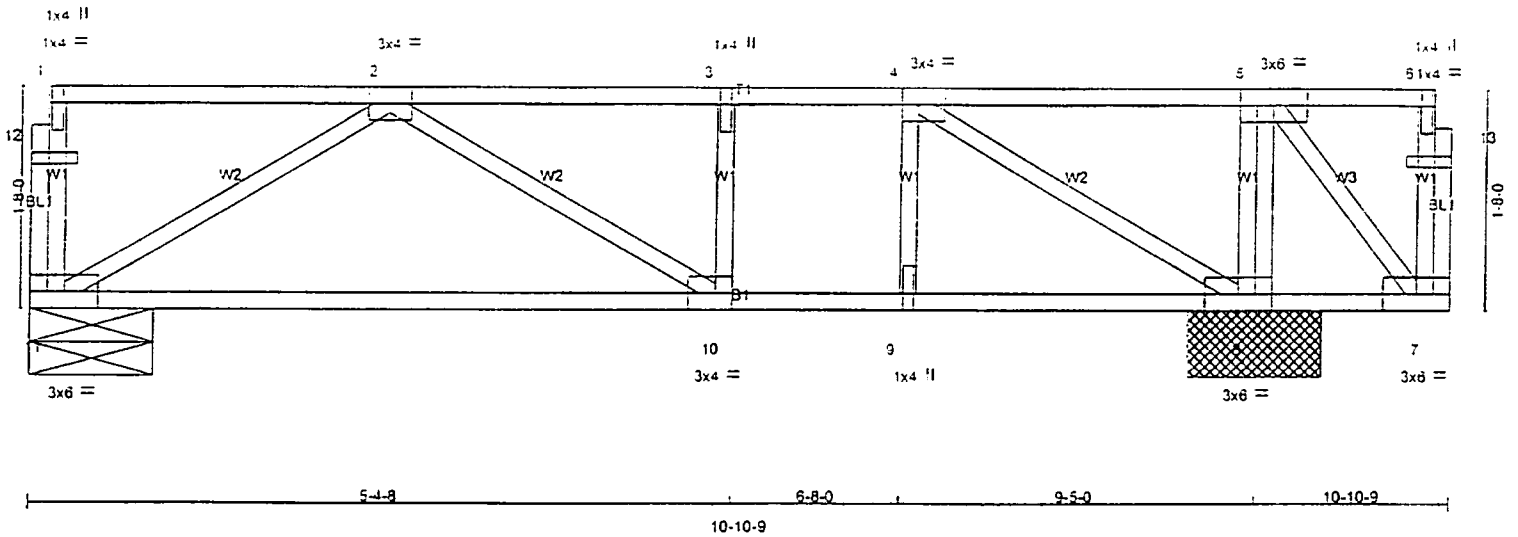


Plate Offsets (X, Y): [4:0-1-8, Edge], [10:0-1-8, Edge], [12:0-0-8, 0-1-8], [13:0-0-8, 0-1-8]

LOADING (psf)	SPACING 2-0-0	CSI	DEFL in (loc) /defl	PLATES	GRIP
TCLL 40.0	Plates Increase 1.00	TC 0.47	Vert(LL) -0.09 10-11 >999	MI120	249/190
TCDL 15.0	Lumber Increase 1.00	BC 0.38	Vert(TL) -0.19 10-11 >586		
BCLL 0.0	Rep Stress Incr YES	WB 0.25	Horz(TL) 0.01 8 n/a		
BCDL 5.0	Code S3C/SBCCI	(Matrix)	1st LC LL Min /defl = 360	Weight: 64 lb	

LUMBER
 TOP CHORD 4 X 2 SYP M 14
 BOT CHORD 4 X 2 SYP M 14
 WEBS 4 X 2 SYP No.3

BRACING
 TOP CHORD Sheathed or 6-0-0 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing, Except: 6-0-0 oc bracing: 7-8.

(P)

REACTIONS (lb/size) 11=540/0-11-0, 8=722/1-0-0
 Max Grav 11=547(load case 2), 8=722(load case 1)

FORCES (lb) - First Load Case Only
 TOP CHORD 11-12=-103, 1-12=-103, 7-13=-40, 5-13=-40, 1-2=-4, 2-3=-759, 3-4=-759, 4-5=46, 5-6=-2
 BOT CHORD 10-11=699, 9-10=759, 3-9=759, 7-8=46
 WEBS 5-8=-273, 2-11=-306, 4-3=-927, 2-10=69, 4-9=98, 3-10=-57, 5-7=72

- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - 3) Recommend 2x6 strongbacks, on edge, spaced at 10-0-0 oc and fastened to each truss with 3-16d nails. Strongbacks to be attached to walls at their outer ends or restrained by other means.
 - 4) CAUTION. Do not erect truss backwards.

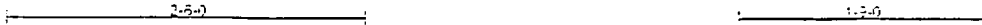
LOAD CASE(S) Standard

CLARK WEBB
 FEB 20 2002
 [Signature]

Job	Truss	Truss Type	Cty	Pty	STEVE MACARI / SMITH RES.
3115	FT7A	FLOOR NOT_SET	1	1	(optional)

TL Southern Bldg. Prod., W. Palm Beach, FL

4.201 SR1 a Nov 16 2000 MITek Industres, Inc. Fri Nov 02 15:24:14 2001 Page 1



Scale: 3/4"=1'

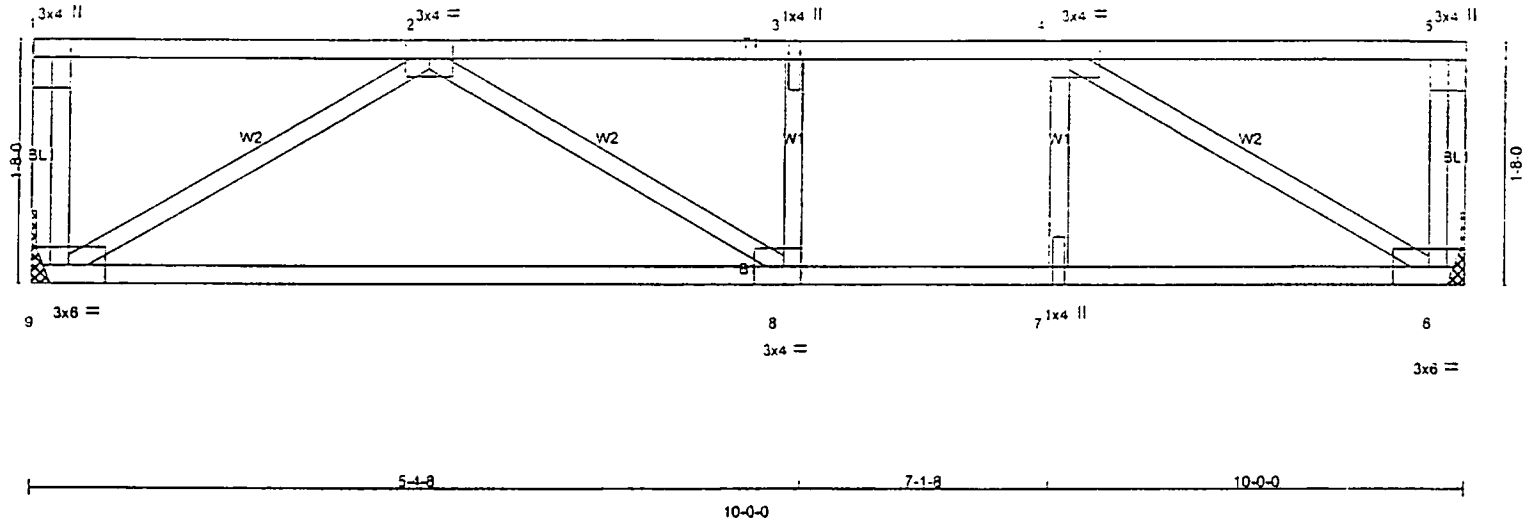


Plate Offsets (X,Y): [1:Edge,0-1-3], [4:0-1-3,Edge], [8:0-1-8,Edge]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 40.0	2-0-0	TC 0.58	in (loc) /defl	MII20	249/190
TCDL 15.0	Plates Increase 1.00	BC 0.43	Vert(LL) -0.12 8-9 >999		
BCLL 0.0	Lumber Increase 1.00	WB 0.27	Vert(TL) -0.24 8-9 >494		
BCDL 5.0	Rep Stress Incr YES	(Matrix)	Horz(TL) 0.01 6 n/a		
	Code SBC/SBCCI		1st LC LL Min Vdefl = 360	Weight: 55 lb	

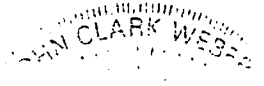
LUMBER	BRACING
TOP CHORD 4 X 2 SYP M 14	TOP CHORD Sheathed or 6-0-0 oc purlins, except end verticals.
BOT CHORD 4 X 2 SYP M 14	BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.
WEBS 4 X 2 SYP No.3	

REACTIONS (lb/size) 9=585/Mechanical, 6=585/Mechanical

FORCES (lb) - First Load Case Only
 TOP CHORD 1-9=-106, 5-6=-95, 1-2=0, 2-3=-874, 3-4=-874, 4-5=0
 BOT CHORD 8-9=764, 7-8=874, 6-7=874
 WEBS 2-9=-886, 4-6=-1007, 2-8=128, 4-7=95, 3-8=-83

- NOTES
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) Refer to girder(s) for truss to truss connections.
 - 3) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - 4) Recommend 2x6 strongbacks, on edge, spaced at 10-0-0 oc and fastened to each truss with 3-16d nails. Strongbacks to be attached to walls at their outer ends or restrained by other means.

LOAD CASE(S) Standard

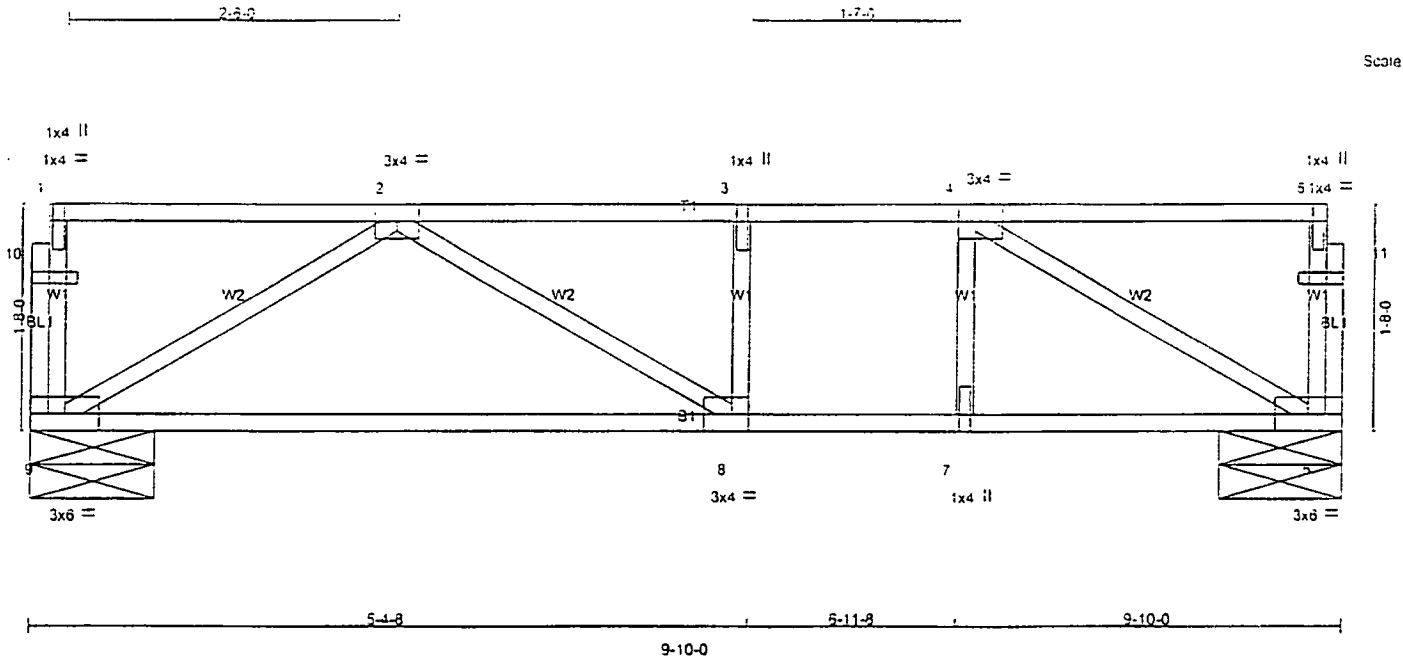


FEB 20 2002
John Weber

Job	Truss	Truss Type	Qty	Ply	STEVE MACARI / SMITH RES.
3115	FT10	FLOOR NOT_SET	3	1	(optional)

TL Southern Bldg. Prod., W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Fri Nov 02 15:24:16 2001 Page 1



Scale = 1:17.2

Plate Offsets (X,Y): {4'0-1-8,Edge}, {8'0-1-8,Edge}, {10'0-0-8,0-1-8}, {11'0-0-8,0-1-8}

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 40.0	2-0-0	TC 0.54	in (loc) V/defl	M1120	249/190
TCDL 15.0	Plates Increase 1.00	BC 0.40	Vert(LL) -0.10 8-9 >999		
BCLL 0.0	Lumber Increase 1.00	WB 0.26	Vert(TL) -0.22 8-9 >533		
BCDL 5.0	Rep Stress Incr YES	(Matrix)	Horz(TL) 0.01 6 n/a		
	Code SBC/SBCCI		1st LC LL Min V/defl = 360	Weight: 54 lb	

LUMBER
 TOP CHORD 4 X 2 SYP M 14
 BOT CHORD 4 X 2 SYP M 14
 WEBS 4 X 2 SYP No.3

BRACING
 TOP CHORD Sheathed or 5-0-0 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size) 9=568/0-11-0, 6=568/0-11-0

FORCES (lb) - First Load Case Only
 TOP CHORD 9-10=-103, 1-10=-103, 5-11=-94, 5-11=-94, 1-2=-4, 2-3=-846, 3-4=-846, 4-5=-4
 BOT CHORD 8-9=746, 7-8=846, 6-7=846
 WEBS 2-9=-861, 4-6=-971, 2-3=117, 4-7=91, 3-8=-76

- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - 3) Recommend 2x6 strongbacks, on edge, spaced at 10-0-0 oc and fastened to each truss with 3-16d nails. Strongbacks to be attached to walls at their outer ends or restrained by other means.

LOAD CASE(S) Standard

APPROVED BY THE
 CLARK WESS
 ENGINEER

FEB 10 2002
 [Signature]

Job	Truss	Truss Type	Qty	Ply	STEVE MACARI / SMITH RES.
3115	FT10A	FLOOR	13	1	(optional)

TL Southern Bldg. Prod.. W. Palm Beach, FL

4.201 SR1 a Nov 16 2000 MiTex industries, Inc. Fri Nov 02 15:24:18 2001 Page 1

Scale = 1:16.8

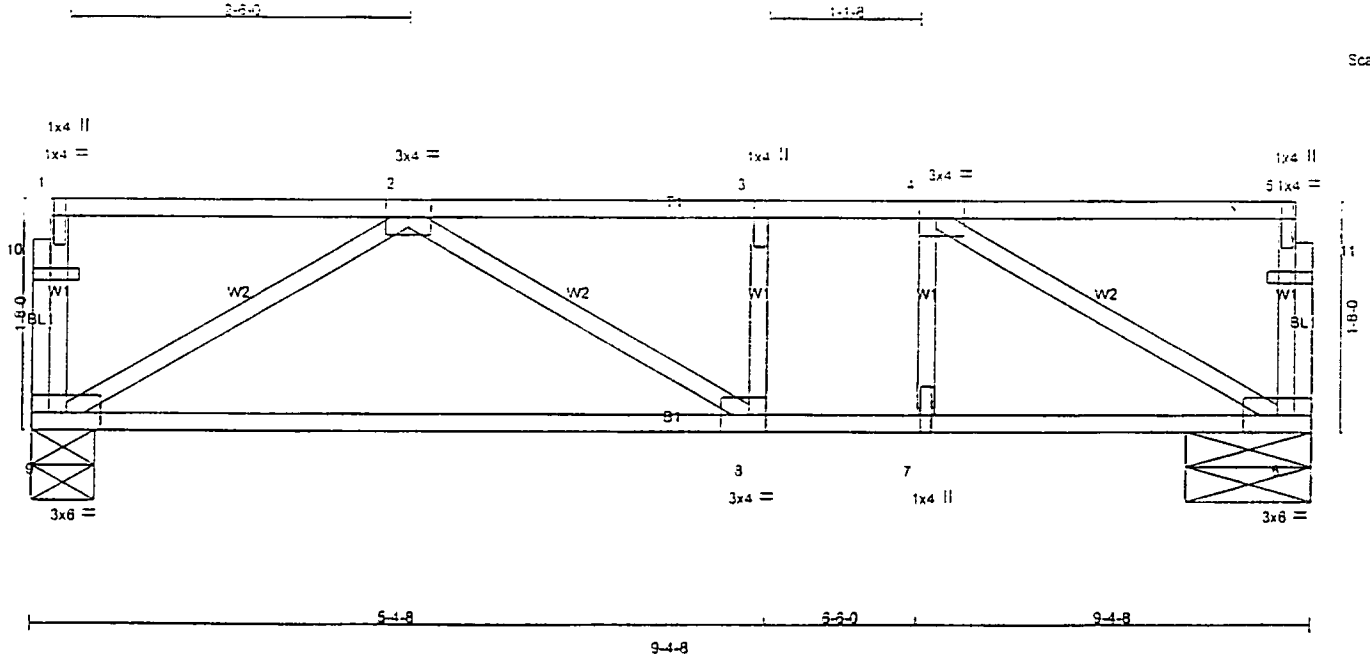


Plate Offsets (X,Y): [4'-0"-1'-8" Edge], [8'-0"-1'-8" Edge], [10'-0"-3'-0"-1'-8"], [11'-0"-3'-0"-1'-8"]

LOADING (psf)	SPACING 2'-0"-0"	CSI	DEFL in (loc) /def	PLATES	GRIP
TCLL 40.0	Plates Increase 1.00	TC 0.46	Vert(LL) -0.06 8-9 >999	MII20	249/190
TCDL 15.0	Lumber Increase 1.00	BC 0.32	Vert(TL) -0.16 8-9 >690		
BCLL 0.0	Rep Stress Incr YES	WB 0.24	Horz(TL) 0.01 6 n/a		
BCDL 5.0	Code SBC/SBCCI	(Matrix)	1st LC LL Min /def = 360		Weight: 52 lb

LUMBER
 TOP CHORD 4 X 2 SYP M 14
 BOT CHORD 4 X 2 SYP M 14
 WEBS 4 X 2 SYP No.3

BRACING
 TOP CHORD Sheathed or 6'-0"-0 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 10'-0"-0 oc bracing.

[P]

REACTIONS (lb/size) 9=541/0-5-8, 6=541/0-11-0

FORCES (lb) - First Load Case Only
 TOP CHORD 9-10=-104, 1-10=-104, 6-11=-102, 5-11=-101, 1-2=-4, 2-3=-775, 3-4=-775, 4-5=-4
 BOT CHORD 3-9=701, 7-8=775, 6-7=775
 WEBS 2-9=-809, 4-5=-888, 2-8=95, 4-7=75, 3-8=-51

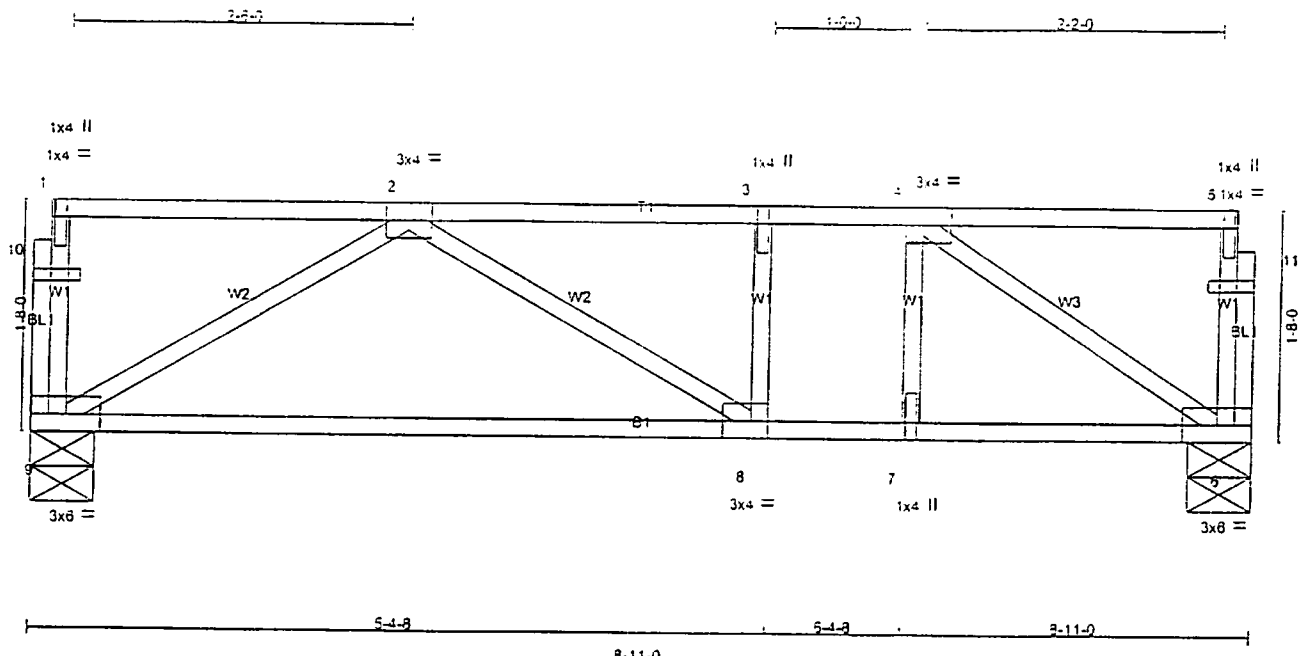
NOTES
 1) This truss has been checked for unbalanced loading conditions.
 2) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 3) Recommend 2x6 strongbacks, on edge, spaced at 10'-0"-0 oc and fastened to each truss with 3-16d nails. Strongbacks to be attached to walls at their outer ends or restrained by other means.

LOAD CASE(S) Standard

CLARK
 FEB 20 2002
John Weber

Job	Truss	Truss Type	Qty	Plt	STEVE MACARI / SMITH RES.
3115	FT10B	FLOOR	9		(optional)

TL Southern Bldg. Prod., W. Palm Beach, FL



Scale = 1:16.8

Plate Offsets (X,Y): [4'-0"-1'-3" Edge], [8'-0"-1'-3" Edge], [10'-0"-3'-0"-1'-8"], [11'-0"-8'-0"-1'-8"]

LOADING (psf)	SPACING 2-0-0	CSI	DEFL in (loc) Vdef	PLATES	GRIP
TCLL 40.0	Plates Increase 1.00	TC 0.43	Vert(LL) -0.07 8-9 >999	MH20	249/190
TCDL 15.0	Lumber Increase 1.00	BC 0.33	Vert(TL) -0.16 8-9 >652		
BCLL 0.0	Rep Stress Incr YES	WB 0.20	Horz(TL) 0.01 6 n/a		
BCDL 5.0	Code SBC/SBCCI	(Matrix)	1st LC LL Min Vdef = 360		Weight: 51 lb

LUMBER
 TOP CHORD 4 X 2 SYP M 14
 BOT CHORD 4 X 2 SYP M 14
 WEBS 4 X 2 SYP No.3

BRACING
 TOP CHORD Sheathed or 6-0-0 oc purfins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

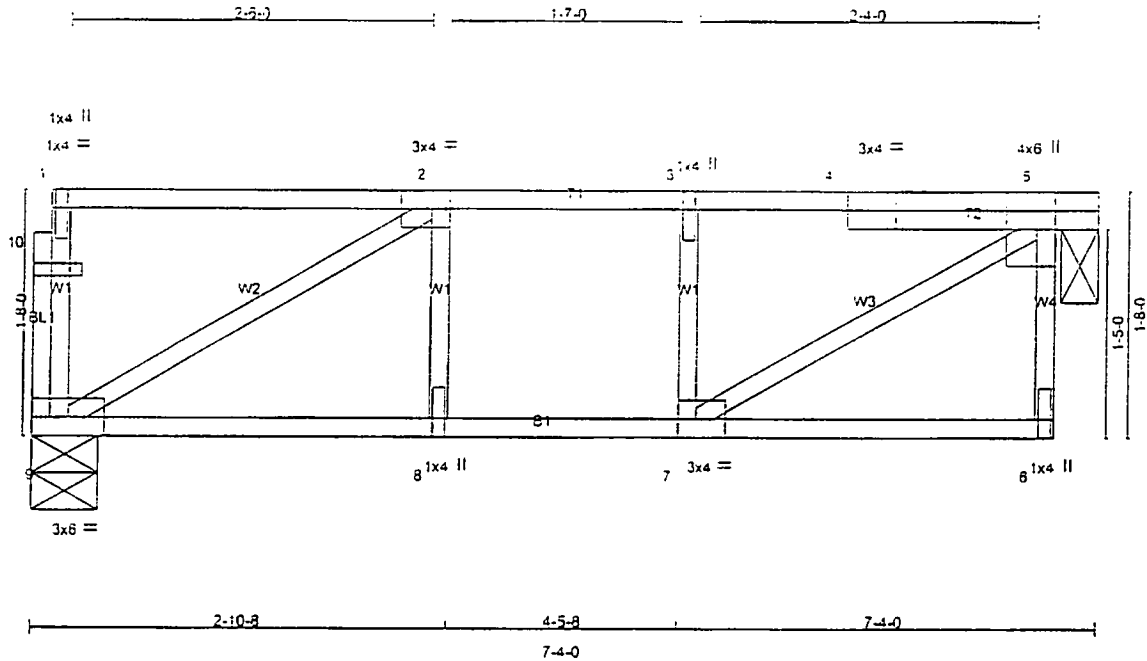
REACTIONS (lb/size) 9=513/0-5-8, 6=513/0-5-8

FORCES (lb) - First Load Case Only
 TOP CHORD 9-10=-104, 1-10=-104, 5-11=-30, 5-11=-30, 1-2=-4, 2-3=-679, 3-4=-679, 4-5=-3
 BOT CHORD 8-9=655, 7-8=679, 3-7=679
 WEBS 2-9=-754, 4-6=-308, 2-8=29, 4-7=90, 3-8=-35

NOTES
 1) This truss has been checked for unbalanced loading conditions.
 2) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 3) Recommend 2x6 strongbacks, on edge, spaced at 10-0-0 oc and fastened to each truss with 3-16d nails. Strongbacks to be attached to walls at their outer ends or restrained by other means.

LOAD CASE(S) Standard





Scale = 1:15.8

Plate Offsets (X,Y): [2:0-1-3,Edge], [5:0-1-3,Edge], [7:0-1-3,Edge], [10:0-0-8,0-1-8]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 40.0	Plates Increase 2-0-0	TC 0.28	in (loc) l/defl	MII20	249/190
TCDL 15.0	Lumber Increase 1.00	BC 0.15	Vert(LL) -0.02 8-9 >999		
BCLL 0.0	Rep Stress Incr YES	WB 0.22	Vert(TL) -0.03 8-9 >999		
BCDL 5.0	Code SBC/SBCCI	(Matrix)	Horz(TL) 0.01 5 n/a		
			1st LC LL Min l/defl = 360	Weight: 42 lb	

LUMBER
 TOP CHORD 4 X 2 SYP M 14
 BOT CHORD 4 X 2 SYP M 14
 WEBS 4 X 2 SYP No.3

BRACING
 TOP CHORD Sheathed or 3-0-0 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

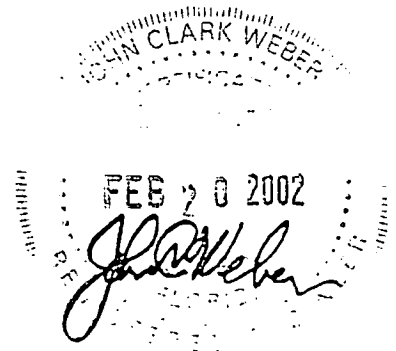
[P]

REACTIONS (lb/size) 9=404/0-5-8, 5=411/0-3-0

FORCES (lb) - First Load Case Only
 TOP CHORD 9-10=-125, 1-10=-125, 5-6=5, 1-2=-5, 2-3=-464, 3-4=-464, 4-5=-468
 BOT CHORD 8-9=464, 7-8=464, 6-7=0
 WEBS 2-9=-529, 5-7=541, 2-8=5, 3-7=-238

- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - 3) Recommend 2x6 strongbacks, on edge, spaced at 10-0-0 oc and fastened to each truss with 3-16d nails. Strongbacks to be attached to walls at their outer ends or restrained by other means.
 - 4) Gap between inside of top chord bearing and first diagonal or vertical web shall not exceed 0.500in.
 - 5) CAUTION. Do not erect truss backwards.

LOAD CASE(S) Standard



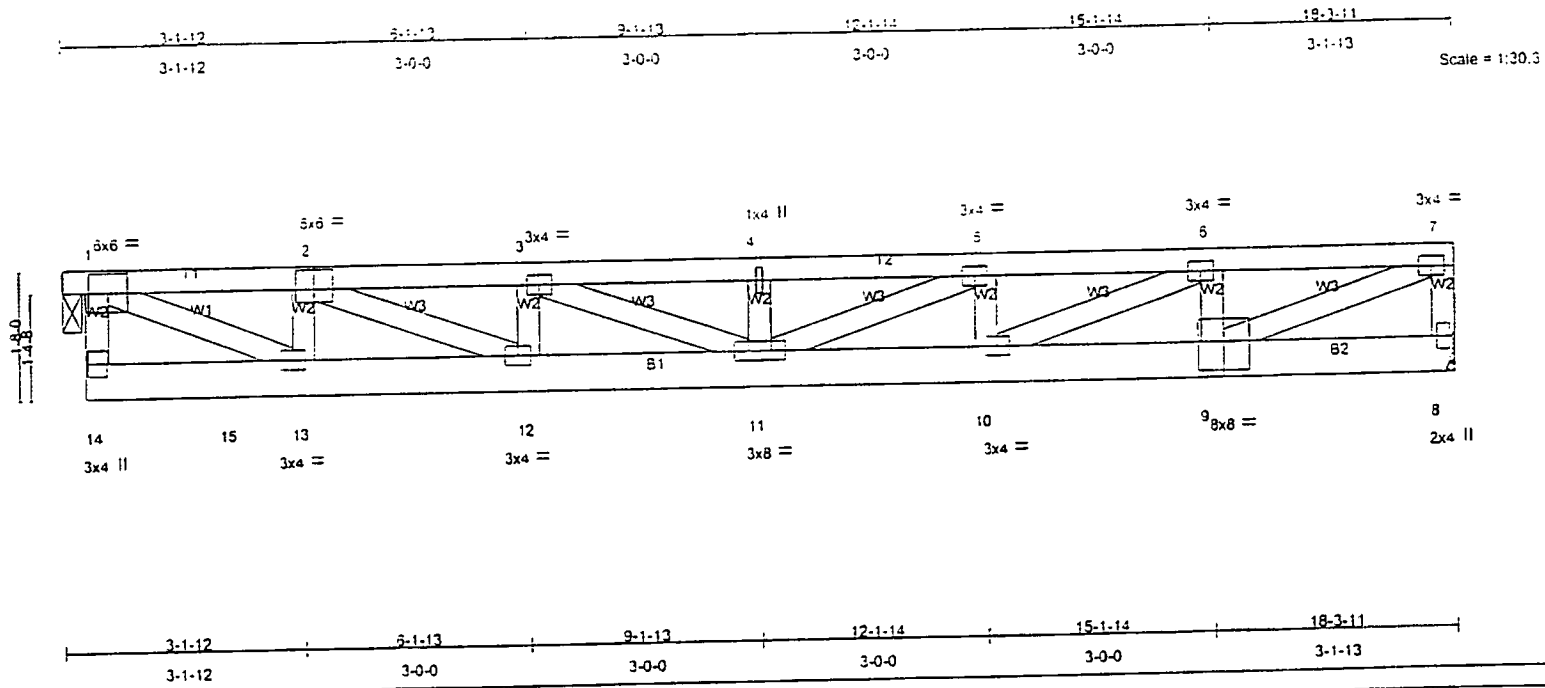


Plate Offsets (X,Y): [2-0-3-0-0-3-0], [9-0-4-0-0-4-8]

LOADING (psf)	SPACING	CSI	DEFL	in (loc)	Vdefl	PLATES	GRIP
TCLL 40.0	Plates Increase 1.00	TC 0.50	Vert(LL) -0.12	11	>999	MII20	249/190
TCOL 15.0	Lumber Increase 1.00	BC 0.31	Vert(TL) -0.17	11	>999		
BCLL 0.0	Rep Stress Incr NO	WB 0.49	Horz(TL) -0.01	3	n/a		
BCOL 5.0	Code SBC/SBCCI	(Matrix)	1st LC LL Min Vdefl = 360			Weight: 208 lb	

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 6 SYP M 14
 WEBS 2 X 4 SYP No.3

BRACING
 TOP CHORD Sheathed or 6-0-0 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

REACTIONS (lb/size) 1=1545/0-3-0, 3=1116/Mechanical

FORCES (lb) - First Load Case Only
 TOP CHORD 1-14=294, 1-2=-2466, 2-3=-3600, 3-4=-3873, 4-5=-3873, 5-6=-3447, 6-7=-2111, 7-8=-1014
 BOT CHORD 14-15=254, 13-15=254, 12-13=2549, 11-12=3600, 10-11=3447, 9-10=2111, 8-9=197
 WEBS 1-13=2450, 2-13=-744, 2-12=1153, 3-12=-457, 3-11=297, 4-11=-316, 5-11=463, 5-10=-521, 5-10=1455, 6-9=-379, 7-9=2084

- NOTES**
- This truss has been checked for unbalanced loading conditions.
 - Provide adequate drainage to prevent water ponding.
 - Refer to girder(s) for truss to truss connections.
 - This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - Special hanger(s) or connection(s) required to support concentrated load(s) 534.0lb down at 2-2-3 on bottom chord. Design for unspecified connection(s) is delegated to the building designer.
 - 2-ply truss to be connected together with 10c Common (1-8"x3") Nails as follows:
 Top chords connected as follows: 2 X 4 - 1 row at 0-9-0 oc.
 Bottom chords connected as follows: 2 X 6 - 2 rows at 0-9-0 oc.
 Webs connected as follows: 2 X 4 - 1 row at 0-9-0 oc.
 Special hanger(s) or connection(s) required to support concentrated load(s) 534.0lb down at 2-2-3 on bottom chord. Design for unspecified connection(s) is delegated to the building designer.
 - Gap between inside of top chord bearing and first diagonal or vertical web shall not exceed 0.500in.
 - Special hanger(s) or connection(s) required to support concentrated load(s) 534.0lb down at 2-2-3 on bottom chord. Design for unspecified connection(s) is delegated to the building designer.

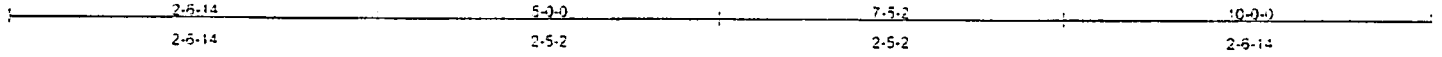
LOAD CASE(S) Standard
 1) Floor: Lumber Increase=1.00, Plate Increase=1.00
 Uniform Loads (plf)
 Vert: 1-7=-110.0, 3-14=-10.0
 Concentrated Loads (lb)
 Vert: 15=-534.0



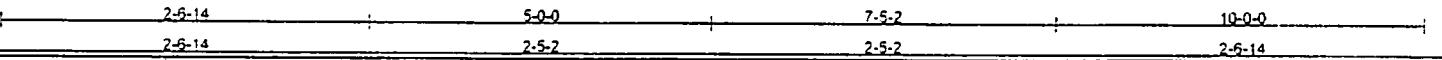
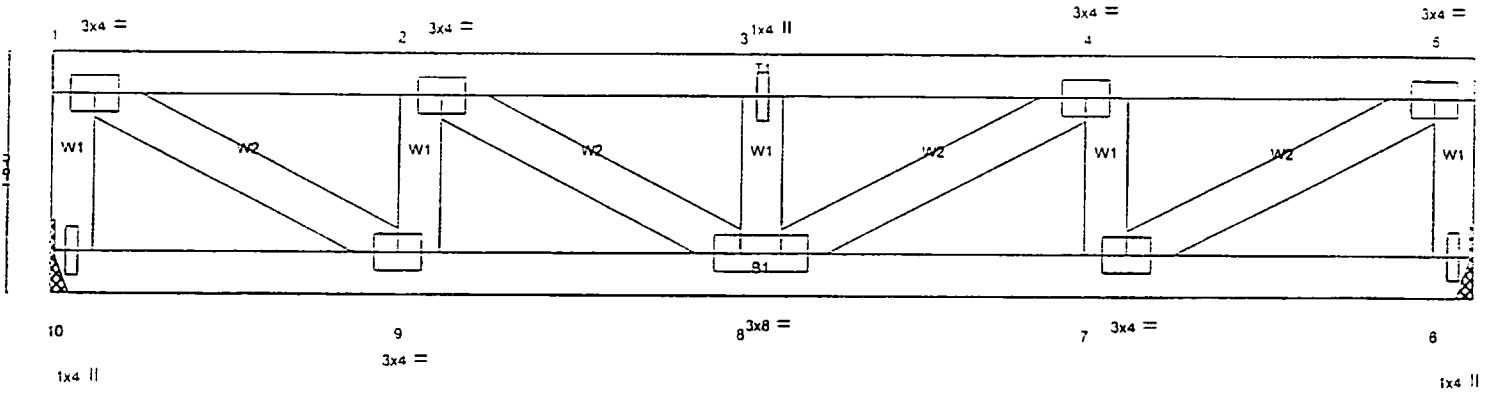
Job	Truss	Truss Type	Qty	Ply	STEVE MACARI / SMITH RES.
3115	FG2	UNKNOWN NOT_SET	1	2	(optional)

TL Southern Bldg. Prod., W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Fri Nov 02 15:24:28 2001 Page 1



Scale = 1:16.2



LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 40.0	2-0-0 Plates Increase 1.00	TC 0.13	in (loc) l/defl	M1120	249/190
TCDL 15.0	Lumber Increase 1.00	BC 0.10	Vert(LL) -0.01 8 >999		
BCLL 0.0	Rep Stress Incr NO	WB 0.17	Vert(TL) -0.02 8 >999		
BDDL 5.0	Code SBC/SBCCI	(Matrix)	Horz(TL) 0.00 6 n/a		
			1st LC LL Min l/defl = 360	Weight: 104 lb	

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3

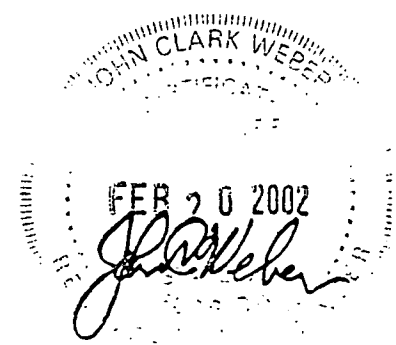
BRACING
 TOP CHORD Sheathed or 6-0-0 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing. (P)

REACTIONS (lb/size) 10=583/Mechanical, 6=583/Mechanical

FORCES (lb) - First Load Case Only
 TOP CHORD 1-10=-549, 1-2=-786, 2-3=-1048, 3-4=-1048, 4-5=-786, 5-6=-549
 BOT CHORD 9-10=66, 8-9=786, 7-8=786, 6-7=66
 WEBS 1-9=827, 2-9=-409, 2-8=301, 3-8=-265, 4-8=301, 4-7=-409, 5-7=827

- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) Provide adequate drainage to prevent water ponding.
 - 3) Refer to girder(s) for truss to truss connections.
 - 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - 5) 2-ply truss to be connected together with 10d Common(.148"x3") Nails as follows:
 Top chords connected as follows: 2 X 4 - 1 row at 0-9-0 oc.
 Bottom chords connected as follows: 2 X 4 - 1 row at 0-9-0 oc.
 Webs connected as follows: 2 X 4 - 1 row at 0-9-0 oc.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	HT1	COMMON	3	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MITek Industries, Inc. Sat Dec 08 11:30:55 2001 Page 1

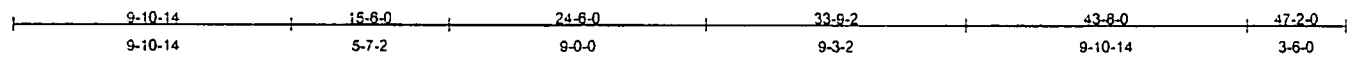
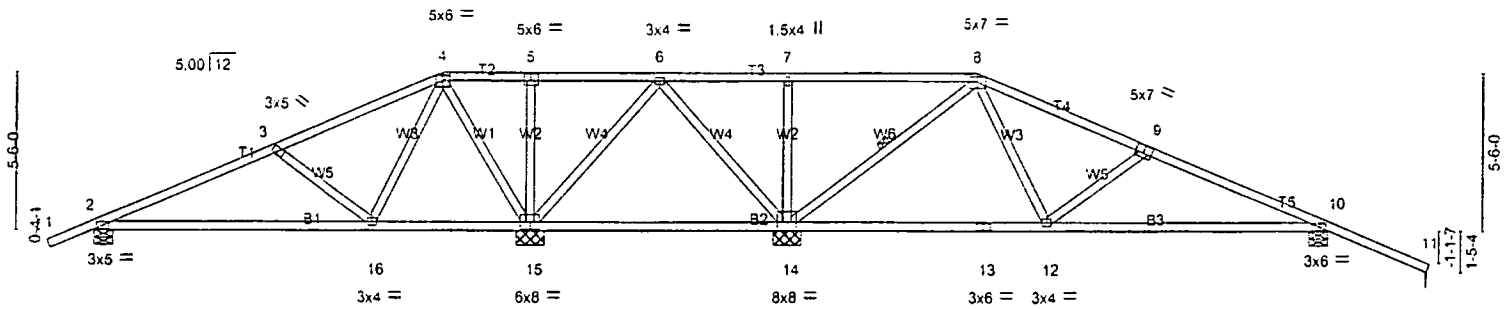
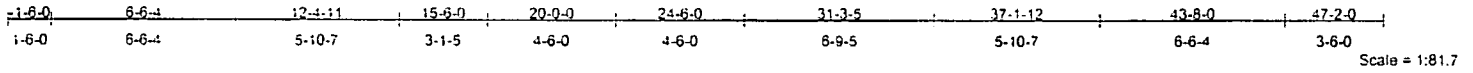


Plate Offsets (X,Y): [2:0-2-4-0-1-8], [4:0-3-0-0-2-4], [5:0-3-0-0-3-0], [8:0-3-8-0-2-1], [9:0-3-8-0-3-4]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.45	in (loc) l/def	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.49	Vert(LL) -0.19 2-16 >949		
BCLL 10.0	Lumber Increase 1.33	WB 0.71	Vert(TL) -0.38 2-16 >483		
BCDL 10.0	Rep Stress Incr YES	(Matrix)	Horz(TL) 0.02 11 n/a		
	Code SBC/SBCCI		1st LC LL Min l/def = 360		Weight: 225 lb

LUMBER

TOP CHORD 2 X 4 SYP SS
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3

BRACING

TOP CHORD Sheathed or 5-10-10 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 6-0-0 oc bracing.
 WEBS 1 Row at midpt 8-14

[P]

REACTIONS (lb/size) 2=751/0-8-0, 15=1478/1-0-0, 14=1791/1-0-0, 11=76/0-0-8, 10=1109/0-8-0

Max Horz 2=-481(load case 5)

Max Uplift 2=-1032(load case 4), 15=-1755(load case 4), 14=-1766(load case 3), 11=-174(load case 5), 10=-1210(load case 5)

Max Grav 2=763(load case 6), 15=1547(load case 6), 14=1861(load case 7), 11=76(load case 1), 10=1119(load case 7)

FORCES (lb) - First Load Case Only

TOP CHORD 1-2=41, 2-3=-735, 3-4=-325, 4-5=602, 5-6=602, 6-7=667, 7-8=667, 8-9=-829, 9-10=-1206, 10-11=93

BOT CHORD 2-16=630, 15-16=-91, 14-15=-511, 13-14=384, 12-13=384, 10-12=1027

WEBS 3-16=-521, 4-16=711, 4-15=-993, 5-15=-256, 6-15=-140, 6-14=-239, 7-14=-422, 8-14=-1326, 8-12=717, 9-12=-426

NOTES (7)

- 1) This truss has been checked for unbalanced loading conditions.
- 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
- 3) Provide adequate drainage to prevent water ponding.
- 4) Provide mechanical connection (by others) of truss to bearing plate at joint(s) 11.
- 5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1032 lb uplift at joint 2, 1755 lb uplift at joint 15, 1766 lb uplift at joint 14, 174 lb uplift at joint 11 and 1210 lb uplift at joint 10.
- 6) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
- 7) Provide structural fascia by others to support overhang.

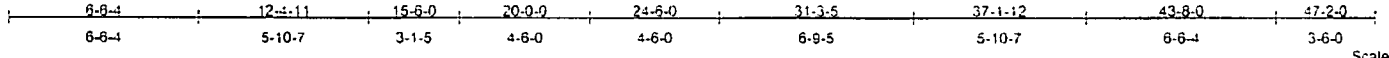
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	HT1A	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:30:56 2001 Page 1



Scale = 1:79.8

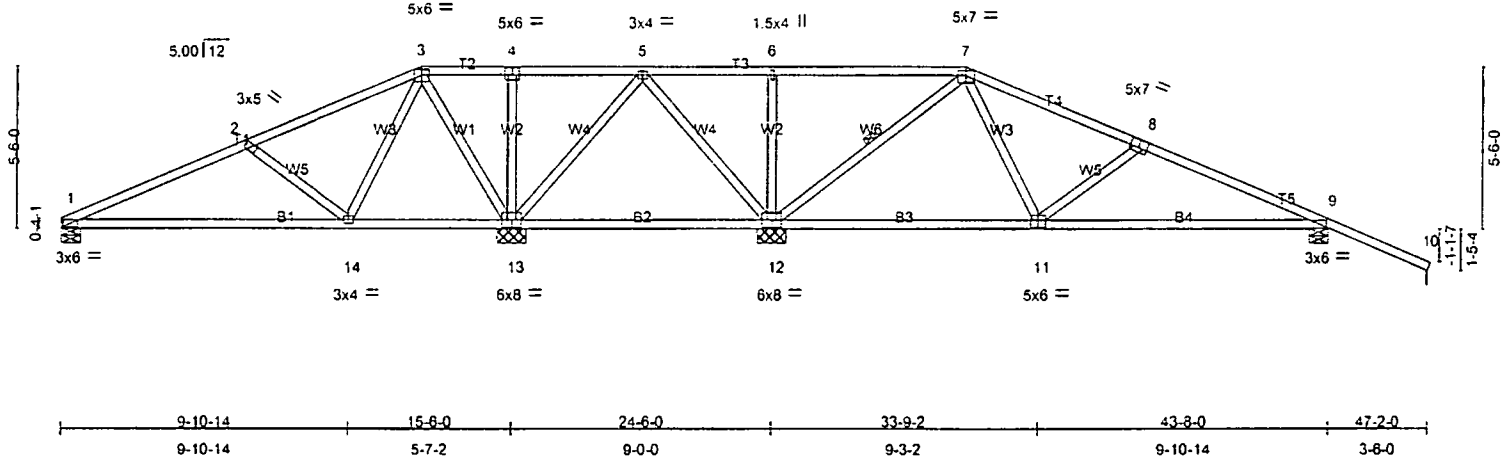


Plate Offsets (X,Y): [3:0-3-0-0-2-4], [4:0-3-0-0-3-0], [7:0-3-8-0-2-1], [8:0-3-8-0-3-4], [9:0-2-12-0-1-8], [11:0-3-0-0-3-0]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.77	in (loc) l/defl	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.49	Vert(LL) -0.22 1-14 >839		
BCLL 10.0	Lumber Increase 1.33	WB 0.71	Vert(TL) -0.42 1-14 >432		
BCDL 10.0	Rep Stress Incr YES	(Matrix)	Horz(TL) 0.02 10 n/a		
	Code SBC/SBCCI		1st LC LL Min l/defl = 360		
				Weight: 223 lb	

LUMBER	BRACING
TOP CHORD 2 X 4 SYP M 14	TOP CHORD Sheathed or 6-0-0 oc purlins.
BOT CHORD 2 X 4 SYP M 14	BOT CHORD Rigid ceiling directly applied or 6-0-0 oc bracing.
WEBS 2 X 4 SYP No.3	WEBS 1 Row at midpt 7-12

REACTIONS (lb/size) 1=606/0-8-0, 13=1498/1-0-0, 12=1786/1-0-0, 10=77/0-0-8, 9=1106/0-8-0
 Max Horz 1=-518(load case 5)
 Max Uplift 1=-638(load case 4), 13=-1813(load case 4), 12=-1764(load case 3), 10=-175(load case 5), 9=-1204(load case 5)
 Max Grav 1=618(load case 6), 13=1568(load case 6), 12=1860(load case 7), 10=77(load case 1), 9=1116(load case 7)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=-752, 2-3=-334, 3-4=615, 4-5=615, 5-6=669, 6-7=671, 7-8=-823, 8-9=-1200, 9-10=93
 BOT CHORD 1-14=651, 13-14=-96, 12-13=-518, 11-12=379, 9-11=1022
 WEBS 2-14=-540, 3-14=736, 3-13=-1009, 4-13=-259, 5-13=-149, 5-12=-231, 6-12=-422, 7-12=-1326, 7-11=716, 8-11=-426

- NOTES**
- This truss has been checked for unbalanced loading conditions.
 - This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - Provide adequate drainage to prevent water ponding.
 - Provide mechanical connection (by others) of truss to bearing plate at joint(s) 10.
 - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 638 lb uplift at joint 1, 1813 lb uplift at joint 13, 1764 lb uplift at joint 12, 175 lb uplift at joint 10 and 1204 lb uplift at joint 9.
 - This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	HT18	COMMON	3	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:30:58 2001 Page 1

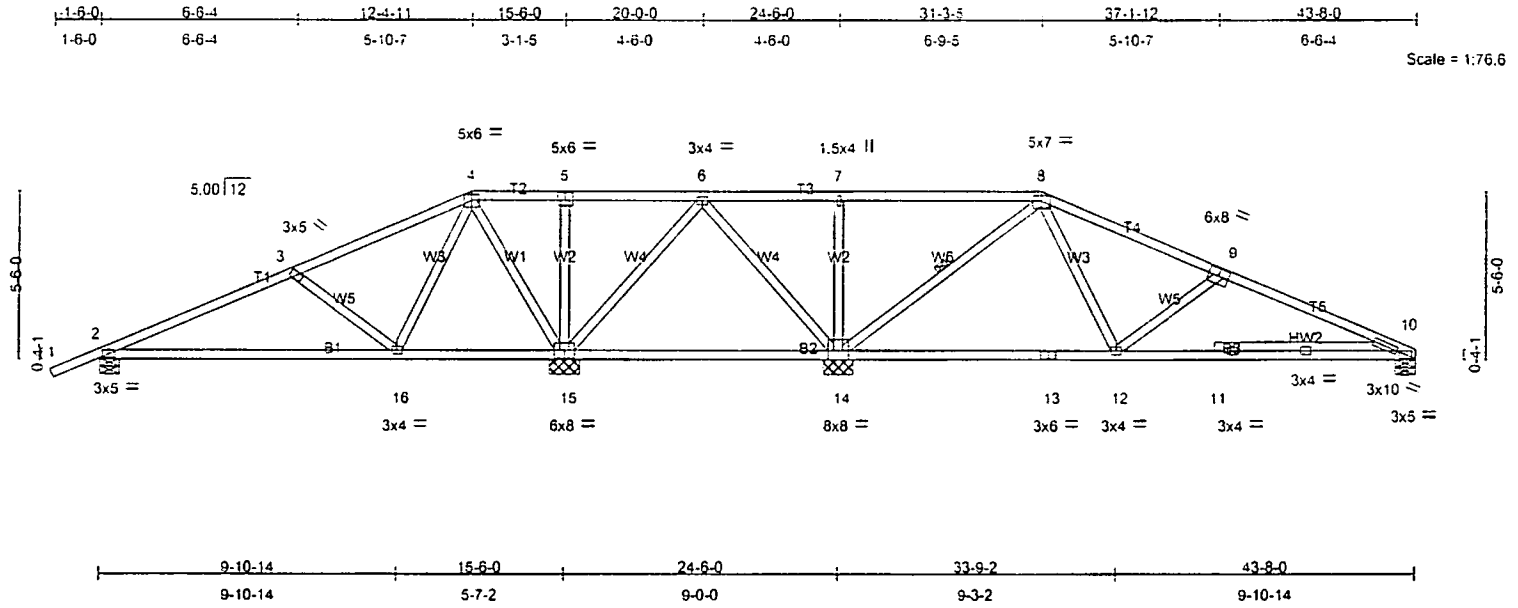


Plate Offsets (X,Y): [2:0-2-4,0-1-8], [4:0-3-0,0-2-4], [5:0-3-0,0-3-0], [8:0-3-8,0-2-1], [10:0-0-7,0-1-8]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.55	in (loc) l/defl	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.86	Vert(LL) 0.49 12-14 >458		
BCLL 10.0	Lumber Increase 1.33	WB 0.92	Vert(TL) 0.46 12-14 >493		
BCDL 10.0	Rep Stress Incr YES	(Matrix)	Horz(TL) 0.02 10 n/a		
	Code SBC/SBCCI		1st LC LL Min l/defl = 360		Weight: 229 lb

LUMBER
 TOP CHORD 2 X 4 SYP SS
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3
 SLIDER Right 2 X 4 SYP No.3 6-0-2

BRACING
 TOP CHORD Sheathed or 5-8-4 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 4-1-0 oc bracing.
 WEBS 1 Row at midpt 8-14

REACTIONS (lb/size) 2=754/0-8-0, 15=1490/1-0-0, 14=1786/1-0-0, 10=832/0-8-0
 Max Horz 2=439(load case 4)
 Max Uplift 2=-1013(load case 4), 15=-1783(load case 4), 14=-2448(load case 5), 10=-1492(load case 5)
 Max Grav 2=765(load case 6), 15=1554(load case 6), 14=1855(load case 7), 10=842(load case 7)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=41, 2-3=-740, 3-4=-331, 4-5=595, 5-6=595, 6-7=634, 7-8=634, 8-9=-900, 9-10=-1282
 BOT CHORD 2-16=634, 15-16=-85, 14-15=-91, 13-14=429, 12-13=429, 11-12=1102, 10-11=1102
 WEBS 3-16=-521, 4-16=710, 4-15=-990, 5-15=-256, 6-15=-160, 6-14=-219, 7-14=-424, 8-14=-1340, 8-12=761, 9-12=-440

- NOTES (6)**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 3) Provide adequate drainage to prevent water ponding.
 - 4) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1013 lb uplift at joint 2, 1783 lb uplift at joint 15, 2448 lb uplift at joint 14 and 1492 lb uplift at joint 10.
 - 5) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - 6) Provide structural fascia by others to support overhang.

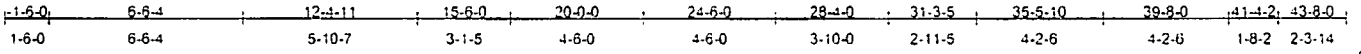
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	HT1C	COMMON	4	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:30:59 2001 Page 1



Scale = 1:77.9

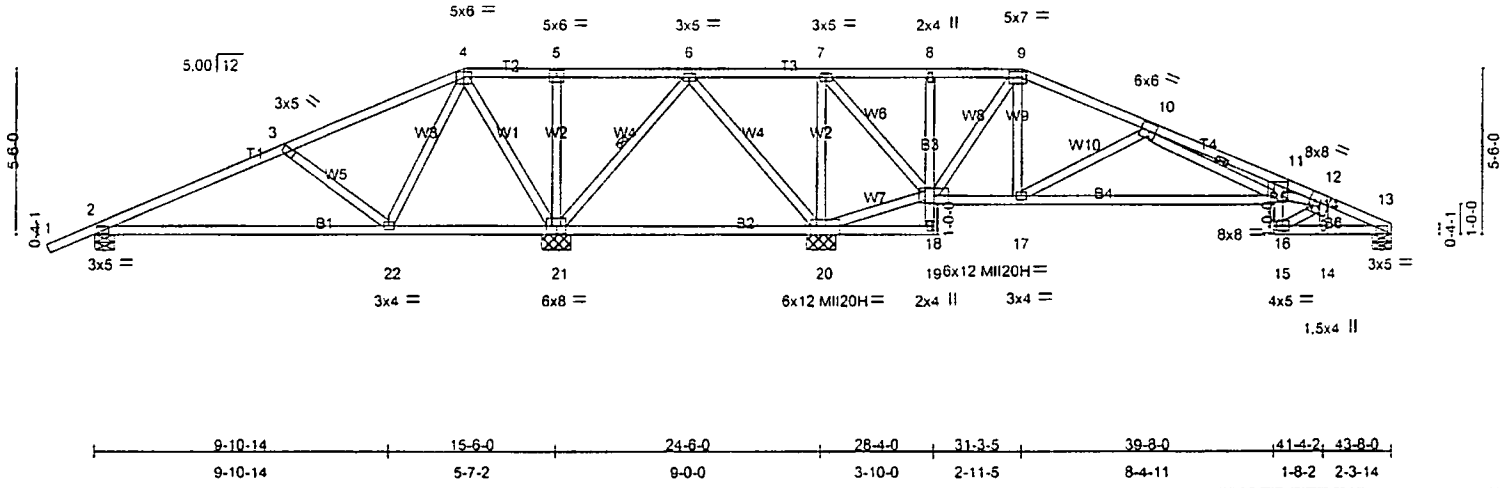


Plate Offsets (X,Y): [2:0-1-12:0-1-8], [4:0-3-0:0-2-4], [5:0-3-0:0-3-0], [9:0-5-4-0-2-8], [16:0-2-8:0-2-8], [20:0-6-0-Edge]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.93	in (loc) v/defl	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.86	Vert(LL) 0.40 15 >563	MII20H	187/143
BCLL 10.0	Lumber Increase 1.33	WB 0.98	Vert(TL) -0.43 16-17 >526		
BCDL 10.0	Rep Stress Incr YES		Horz(TL) -0.09 13 n/a		
	Code SBC/SBCCI		1st LC LL Min v/defl = 360	Weight: 247 lb	

LUMBER

TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3

BRACING

TOP CHORD Sheathed or 4-3-8 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 5-4-14 oc bracing.
 WEBS 1 Row at midpt 6-21, 10-16

(P)

REACTIONS (lb/size)

13=553/0-8-0, 2=706/0-8-0, 21=1020/1-0-0, 20=2584/1-0-0
 Max Horz 2=439(load case 4)
 Max Uplift 13=-971(load case 5), 2=-960(load case 4), 21=-1549(load case 4), 20=-3791(load case 5)
 Max Grav 13=558(load case 7), 2=738(load case 6), 21=1222(load case 6), 20=2660(load case 7)

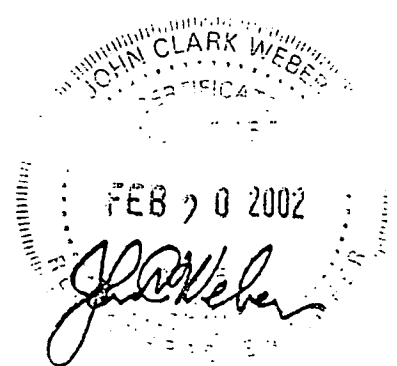
FORCES (lb) - First Load Case Only

TOP CHORD 1-2=20, 2-3=-418, 3-4=-37, 4-5=762, 5-6=762, 6-7=1747, 7-8=1009, 8-9=1009, 9-10=362, 10-11=-2144, 11-12=-2144, 12-13=-982
 BOT CHORD 2-22=382, 21-22=-238, 20-21=-1118, 19-20=0, 18-19=74, 8-18=-239, 17-18=-315, 16-17=237, 15-16=775, 11-16=-196, 14-15=865, 13-14=881
 WEBS 3-22=-438, 4-22=631, 4-21=-1018, 5-21=-268, 6-21=545, 6-20=-962, 7-20=-1129, 18-20=-1810, 7-18=1120, 9-18=-1172, 9-17=551, 10-17=-653, 10-16=2001, 12-15=-1141, 12-16=1986, 12-14=72

NOTES

- 1) This truss has been checked for unbalanced loading conditions.
- 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition 1 enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If purlins exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
- 3) Provide adequate drainage to prevent water ponding.
- 4) All plates are MII20 plates unless otherwise indicated.
- 5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 971 lb uplift at joint 13, 960 lb uplift at joint 2, 1549 lb uplift at joint 21 and 3791 lb uplift at joint 20.
- 6) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

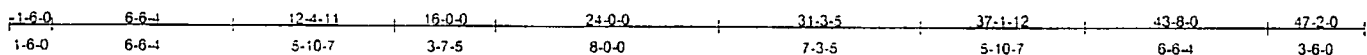
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	HT1D	COMMON	2	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:01 2001 Page 1



Scale = 1:82.9

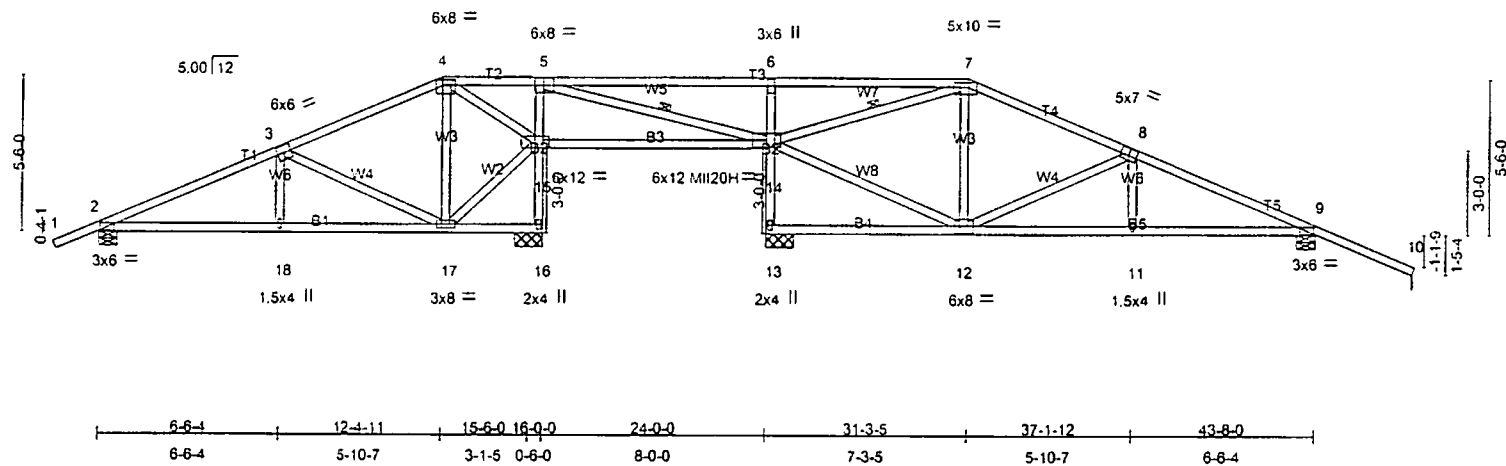


Plate Offsets (X,Y): [2:0-2-12,0-1-8], [4:0-5-4,0-2-4], [5:0-3-12,0-3-0], [7:0-6-8,0-2-0], [8:0-3-8,0-3-4], [9:0-2-8,0-1-8]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.86	in (loc) Vdefl	M1120	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.61	Vert(LL) 0.11 11 >999	M1120H	187/143
BCLL 10.0	Lumber Increase 1.33	WB 0.67	Vert(TL) -0.12 14-15 >806		
BCDL 10.0	Rep Stress Incr YES	(Matrix)	Horz(TL) 0.04 13 n/a		
	Code SBC/SBCCI		1st LC LL Min Vdefl = 360	Weight: 242 lb	

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3

BRACING
 TOP CHORD Sheathed or 5-3-8 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 5-11-9 oc bracing.
 WEBS 1 Row at midpt 5-14, 7-14

[P]

REACTIONS (lb/size) 2=922/0-8-0, 16=1384/1-0-0, 13=1540/1-0-0, 10=96/0-0-8, 9=1266/0-8-0
 Max Horz 2=-482(load case 5)
 Max Uplift 2=-1265(load case 4), 16=-1456(load case 4), 13=-1544(load case 3), 10=-165(load case 5), 9=-1442(load case 5)
 Max Grav 2=925(load case 6), 16=1389(load case 6), 13=1551(load case 7), 10=96(load case 1), 9=1270(load case 7)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=41, 2-3=-1288, 3-4=-408, 4-5=436, 5-6=193, 6-7=290, 7-8=-956, 8-9=-1749, 9-10=87
 BOT CHORD 2-18=1104, 17-18=1104, 16-17=-21, 15-16=-1344, 5-15=-429, 14-15=-234, 13-14=-1409, 6-14=-558, 12-13=19, 11-12=1508, 9-11=1516
 WEBS 3-18=275, 3-17=-887, 4-17=272, 15-17=443, 4-15=-871, 5-14=41, 12-14=881, 7-14=-1168, 7-12=241, 8-12=-765, 8-11=242

- NOTES (9)**
- This truss has been checked for unbalanced loading conditions.
 - This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - Provide adequate drainage to prevent water ponding.
 - All plates are M1120 plates unless otherwise indicated.
 - Bearing at joint(s) 10 considers parallel to grain value using ANSI/TPI 1-1995 angle to grain formula. Building designer should verify capacity of bearing surface.
 - Provide mechanical connection (by others) of truss to bearing plate at joint(s) 10.
 - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1265 lb uplift at joint 2, 1456 lb uplift at joint 16, 1544 lb uplift at joint 13, 165 lb uplift at joint 10 and 1442 lb uplift at joint 9.
 - This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - Provide structural fascia by others to support overhang.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	HT1DS	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:02 2001 Page 1



Scale = 1:82.9

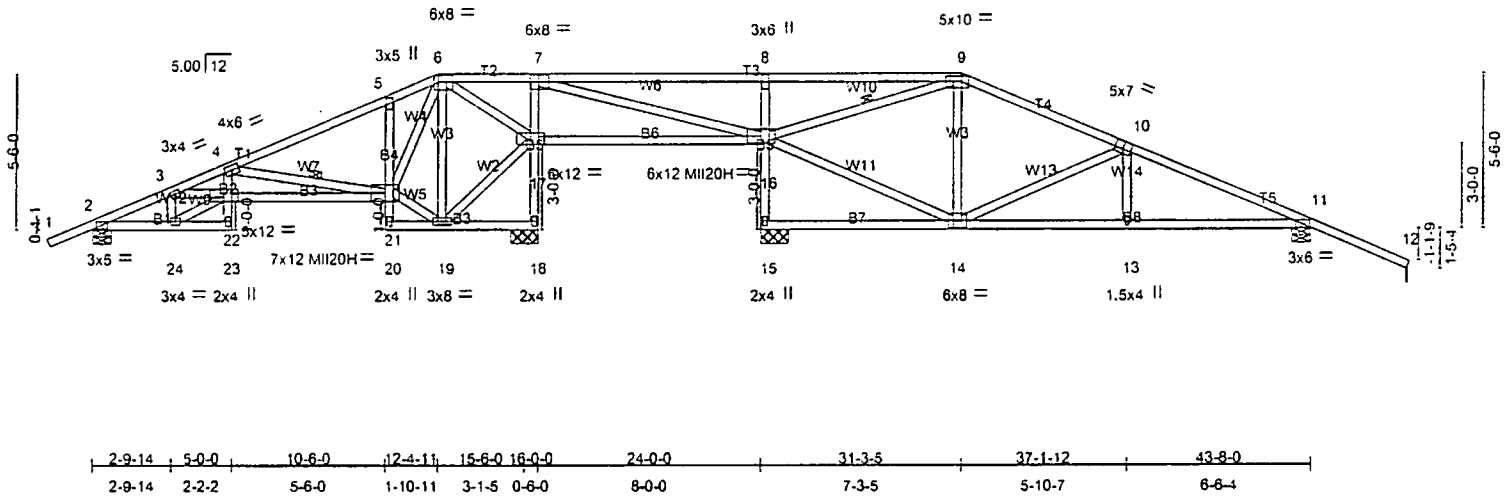


Plate Offsets (X,Y): [6:0-6-4,0-2-12], [7:0-3-12,0-3-0], [9:0-7-0,0-2-4], [10:0-3-8,0-3-4], [11:0-2-8,0-1-8]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.84	in (loc) l/defl	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.55	Vert(LL) 0.24 21-22 >761	MII20H	187/143
BCLL 10.0	Lumber Increase 1.33	WB 0.63	Vert(TL) 0.21 21-22 >892		
BCDL 10.0	Rep Stress Incr YES	(Matrix)	Horz(TL) -0.11 18 n/a		
	Code SBC/SBCCI		1st LC LL Min l/defl = 360		Weight: 262 lb

LUMBER

TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3

BRACING

TOP CHORD Sheathed or 5-0-8 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 4-4-6 oc bracing.
 WEBS 1 Row at midpt 4-21, 9-16

[P]

REACTIONS (lb/size) 2=829/0-8-0, 18=1595/1-0-0, 15=1445/1-0-0, 12=96/0-0-8, 11=1242/0-8-0

Max Horz 2=-482(load case 5)
 Max Uplift 2=-1159(load case 4), 18=-1697(load case 4), 15=-1483(load case 3), 12=-165(load case 5), 11=-1432(load case 5)
 Max Grav 2=832(load case 6), 18=1602(load case 6), 15=1489(load case 7), 12=96(load case 1), 11=1254(load case 7)

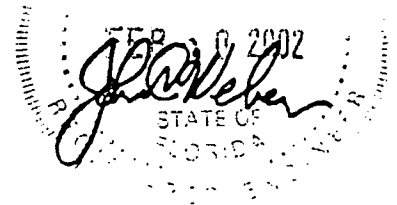
FORCES (lb) - First Load Case Only

TOP CHORD 1-2=41, 2-3=-1189, 3-4=-2077, 4-5=-569, 5-6=-471, 6-7=1070, 7-8=410, 8-9=493, 9-10=-897, 10-11=-1691, 11-12=87
 BOT CHORD 2-24=1026, 23-24=204, 22-23=90, 4-22=666, 21-22=2157, 20-21=14, 5-21=-311, 19-20=-69, 18-19=-26, 17-18=-1539, 7-17=-599, 16-17=-875, 15-16=-1314, 8-16=-554,
 14-15=16, 13-14=1456, 11-13=1463
 WEBS 3-24=462, 22-24=945, 3-22=867, 4-21=-1721, 19-21=150, 6-21=864, 6-19=-14, 17-19=121, 6-17=-1334, 7-16=481, 14-16=825, 9-16=-1324, 9-14=264, 10-14=-768,
 10-13=242

NOTES (9)

- 1) This truss has been checked for unbalanced loading conditions.
- 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
- 3) Provide adequate drainage to prevent water ponding.
- 4) All plates are MII20 plates unless otherwise indicated.
- 5) Bearing at joint(s) 12 considers parallel to grain value using ANSI/TPI 1-1995 angle to grain formula. Building designer should verify capacity of bearing surface.
- 6) Provide mechanical connection (by others) of truss to bearing plate at joint(s) 12.
- 7) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1159 lb uplift at joint 2, 1697 lb uplift at joint 18, 1483 lb uplift at joint 15, 165 lb uplift at joint 12 and 1432 lb uplift at joint 11.
- 8) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
- 9) Provide structural fascia by others to support overhang.

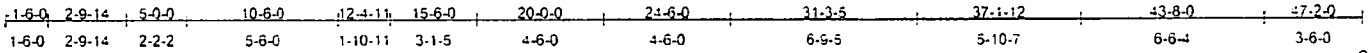
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	HT1S	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:04 2001 Page 1



Scale = 1:82.9

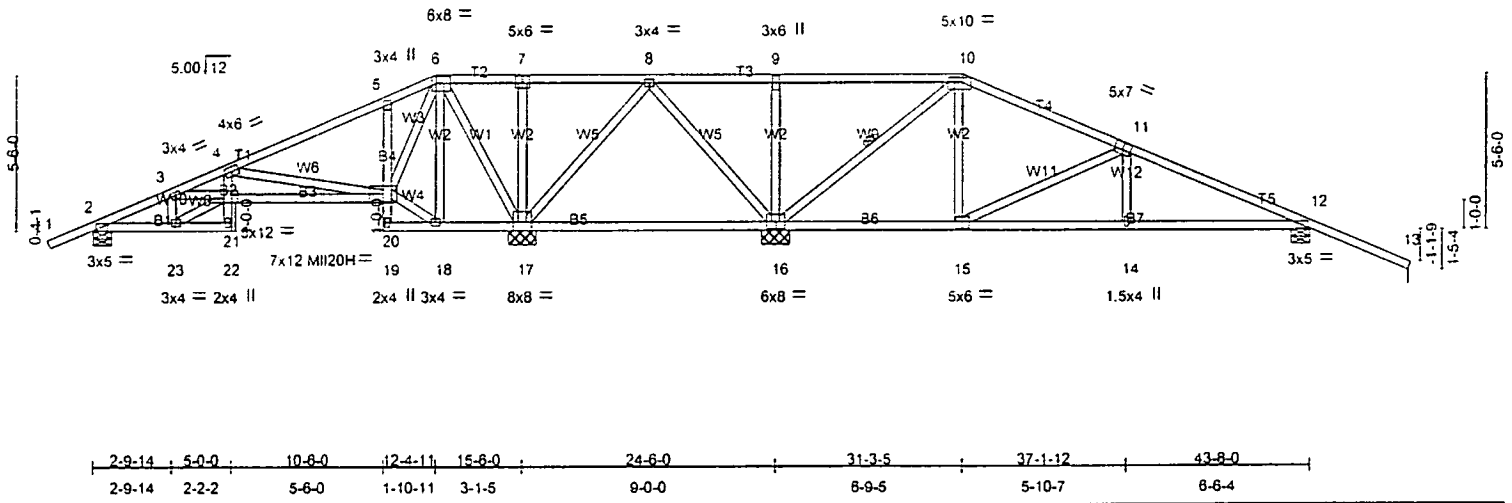


Plate Offsets (X,Y): [6:0-6-4-0-2-12], [7:0-3-0-0-3-0], [10:0-6-8-0-2-0], [11:0-3-8-0-3-4], [12:0-1-12-0-1-8], [15:0-3-0-0-3-0]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.76	in (loc) V/defl	MI120	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.41	Vert(LL) 0.12 20-21 >999	MI120H	187/143
BCLL 10.0	Lumber Increase 1.33	WB 0.80	Vert(TL) -0.19 16-17 >576		
BCDL 10.0	Rep Stress Incr YES	(Matrix)	Horz(TL) 0.04 13 n/a		
	Code SBC/SBCCI		1st LC LL Min V/defl = 360	Weight: 257 lb	

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3

BRACING
 TOP CHORD Sheathed or 6-0-0 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 6-0-0 oc bracing.
 WEBS 1 Row at midpt 10-16

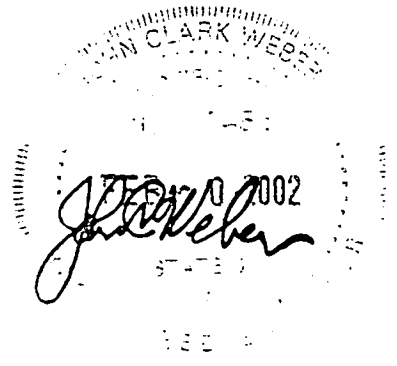
[P]

REACTIONS (lb/size) 2=568/0-8-0, 16=1585/1-0-0, 17=1904/1-0-0, 13=99/0-0-8, 12=1052/0-8-0
 Max Horz 2=-482(load case 5)
 Max Uplift 2=-849(load case 4), 16=-1675(load case 3), 17=-2187(load case 4), 13=-168(load case 5), 12=-1214(load case 5)
 Max Grav 2=574(load case 6), 16=1735(load case 7), 17=1986(load case 6), 13=99(load case 1), 12=1071(load case 7)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=41, 2-3=-611, 3-4=-835, 4-5=433, 5-6=399, 6-7=1115, 7-8=1114, 8-9=790, 9-10=792, 10-11=-431, 11-12=-1241, 12-13=86
 BOT CHORD 2-23=505, 22-23=90, 21-22=65, 4-21=409, 20-21=961, 19-20=66, 5-20=-315, 18-19=-82, 17-18=-562, 16-17=-832, 15-16=344, 14-15=1044, 12-14=1053
 WEBS 3-23=-196, 21-23=477, 3-21=250, 4-20=-1303, 18-20=-549, 6-20=512, 6-18=226, 6-17=-1078, 7-17=-314, 8-17=-431, 8-16=65, 9-16=-424, 10-16=-1434, 10-15=564, 11-15=-791, 11-14=255

- NOTES (9)**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI; if end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
 - 3) Provide adequate drainage to prevent water ponding.
 - 4) All plates are MI120 plates unless otherwise indicated.
 - 5) Bearing at joint(s) 13 considers parallel to grain value using ANSI/TPI 1-1995 angle to grain formula. Building designer should verify capacity of bearing surface.
 - 6) Provide mechanical connection (by others) of truss to bearing plate at joint(s) 13.
 - 7) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 849 lb uplift at joint 2, 1675 lb uplift at joint 16, 2187 lb uplift at joint 17, 168 lb uplift at joint 13 and 1214 lb uplift at joint 12.
 - 8) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - 9) Provide structural fascia by others to support overhang.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	H12	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:05 2001 Page 1

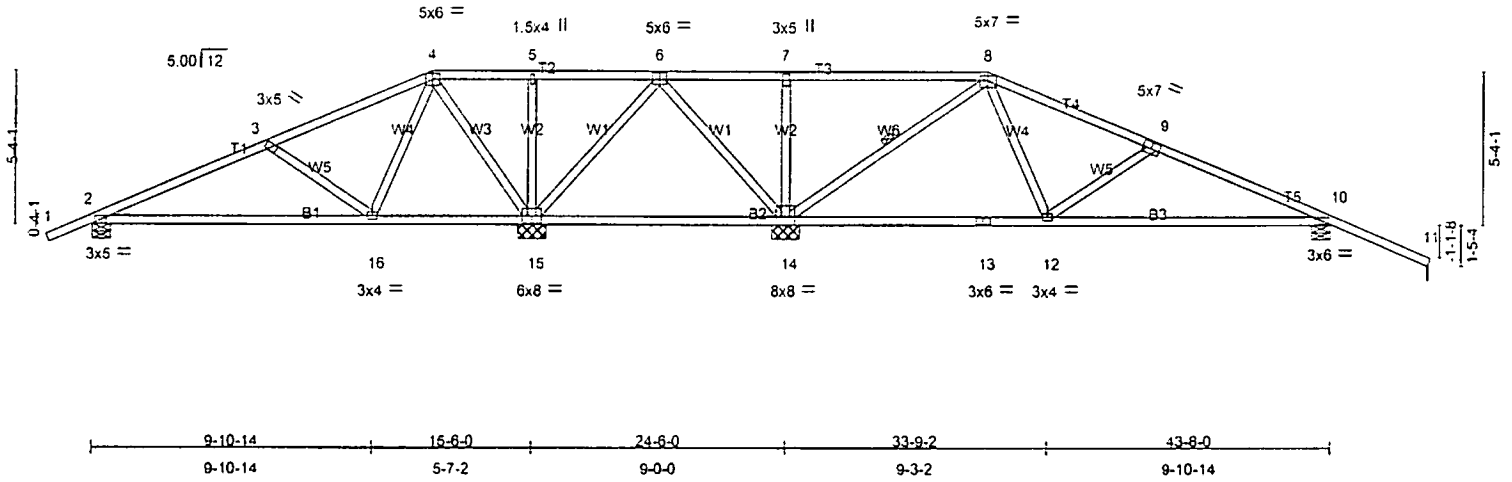
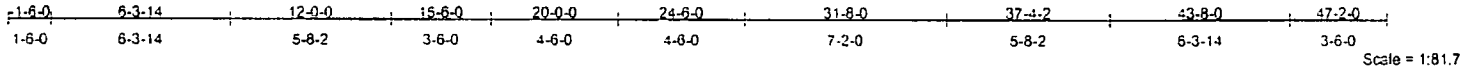


Plate Offsets (X, Y): [2:0-2-4,0-1-8], [4:0-3-0,0-2-4], [6:0-3-0,0-3-0], [8:0-3-8,0-2-1], [9:0-3-8,0-3-0], [10:0-2-12,0-1-8]								
LOADING (psf)	SPACING	2-0-0	CSI	DEFL	in (loc)	l/defl	PLATES	GRIP
TCLL 20.0	Plates Increase	1.33	TC 0.50	Vert(LL)	-0.19	2-16	M120	249/190
TCDL 15.0	Lumber Increase	1.33	BC 0.49	Vert(TL)	-0.37	2-16		
BCLL 10.0	Rep Stress Incr	YES	WB 0.76	Horz(TL)	0.02	11		
BCDL 10.0	Code	SBC/SBCCI	(Matrix)	1st LC LL Min l/defl	=	360		Weight: 224 lb

LUMBER

TOP CHORD 2 X 4 SYP SS
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3

BRACING

TOP CHORD Sheathed or 5-9-14 oc purtins.
 BOT CHORD Rigid ceiling directly applied or 6-0-0 oc bracing.
 WEBS 1 Row at midpt 8-14

[P]

REACTIONS (lb/size) 2=760/0-8-0, 15=1478/1-0-0, 14=1771/1-0-0, 11=78/0-0-8, 10=1119/0-8-0

Max Horz 2=-472(load case 5)
 Max Uplift 2=-1041(load case 4), 15=-1746(load case 4), 14=-1765(load case 3), 11=-179(load case 5), 10=-1208(load case 5)
 Max Grav 2=770(load case 6), 15=1542(load case 6), 14=1839(load case 7), 11=78(load case 1), 10=1128(load case 7)

FORCES (lb) - First Load Case Only

TOP CHORD 1-2=41, 2-3=-768, 3-4=-346, 4-5=593, 5-6=594, 6-7=641, 7-8=641, 8-9=-862, 9-10=-1239, 10-11=93
 BOT CHORD 2-16=662, 15-16=-19, 14-15=-495, 13-14=469, 12-13=469, 10-12=1060
 WEBS 3-16=-517, 4-16=671, 4-15=-1004, 5-15=-279, 6-15=-148, 6-14=-220, 7-14=-446, 8-14=-1357, 8-12=674, 9-12=-410

NOTES (8)

- 1) This truss has been checked for unbalanced loading conditions.
- 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI if end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
- 3) Provide adequate drainage to prevent water ponding.
- 4) Bearing at joint(s) 11 considers parallel to grain value using ANSI/TPI 1-1995 angle to grain formula. Building designer should verify capacity of bearing surface.
- 5) Provide mechanical connection (by others) of truss to bearing plate at joint(s) 11.
- 6) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1041 lb uplift at joint 2, 1746 lb uplift at joint 15, 1765 lb uplift at joint 14, 179 lb uplift at joint 11 and 1208 lb uplift at joint 10.
- 7) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
- 8) Provide structural fascia by others to support overhang.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	H10	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:07 2001 Page 1

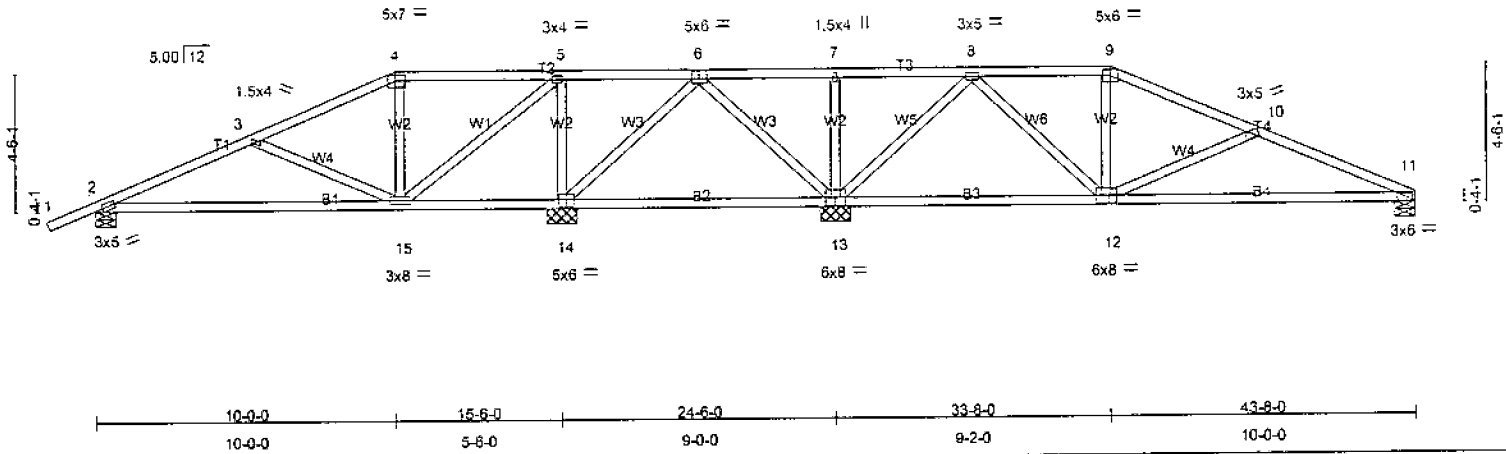
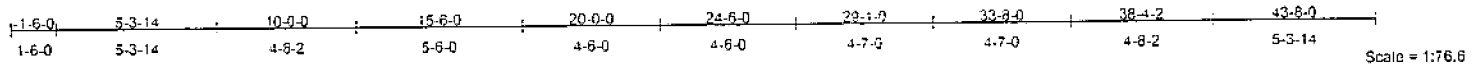


Plate Offsets (X,Y): [2-0-3-0-0-1-8], [4-0-4-0-0-2-4], [6-0-3-0-0-3-0], [9-0-3-0-0-2-4], [14-0-3-0-0-3-0]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.72	in (loc) Vdefl	Mit20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.59	Vert(LL) 0.51 11-12 >371		
BCLL 10.0	Lumber Increase 1.33	WB 0.97	Vert(TL) 0.53 11-12 >425		
BCDL 10.0	Rep Stress Incr YES	(Matrix)	Horz(TL) 0.02 11 n/a		
	Code SBC/SBCCI		1st LC LL Min Vdefl = 360		Weight: 218 lb

LUMBER
 TOP CHORD 2 X 4 SYP M 21
 BOT CHORD 2 X 4 SYP M 21
 WEBS 2 X 4 SYP No.3

BRACING
 TOP CHORD Sheathed or 5-7-3 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 4-7-9 oc bracing.

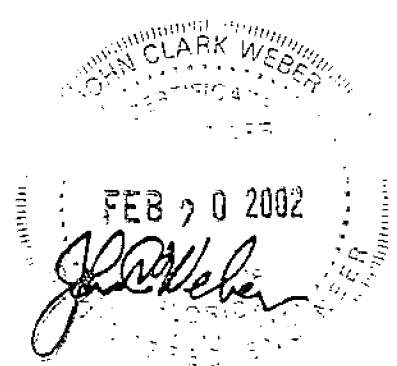
[P]

REACTIONS (lb/size) 11=852/0-8-0, 2=820/0-8-0, 14=1352/1-0-0, 13=1838/1-0-0
 Max Horz 2=378(load case 4)
 Max Uplift 11=-1470(load case 5), 2=-1102(load case 4), 14=-1586(load case 4), 13=-2332(load case 5)
 Max Grav 11=857(load case 7), 2=827(load case 6), 14=1403(load case 6), 13=1860(load case 7)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=41, 2-3=-963, 3-4=-510, 4-5=-401, 5-6=474, 6-7=720, 7-8=720, 8-9=-834, 9-10=-975, 10-11=-1431
 BOT CHORD 2-15=850, 14-15=-474, 13-14=-441, 12-13=233, 11-12=1281
 WEBS 3-15=-483, 4-15=-180, 5-15=1114, 5-14=-1058, 6-14=-46, 6-13=-383, 7-13=-329, 8-13=-1295, 8-12=820, 9-12=35, 10-12=-490

- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 3) Provide adequate drainage to prevent water ponding.
 - 4) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1470 lb uplift at joint 11, 1102 lb uplift at joint 2, 1586 lb uplift at joint 14 and 2332 lb uplift at joint 13.
 - 5) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	H10A	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:09 2001 Page 1

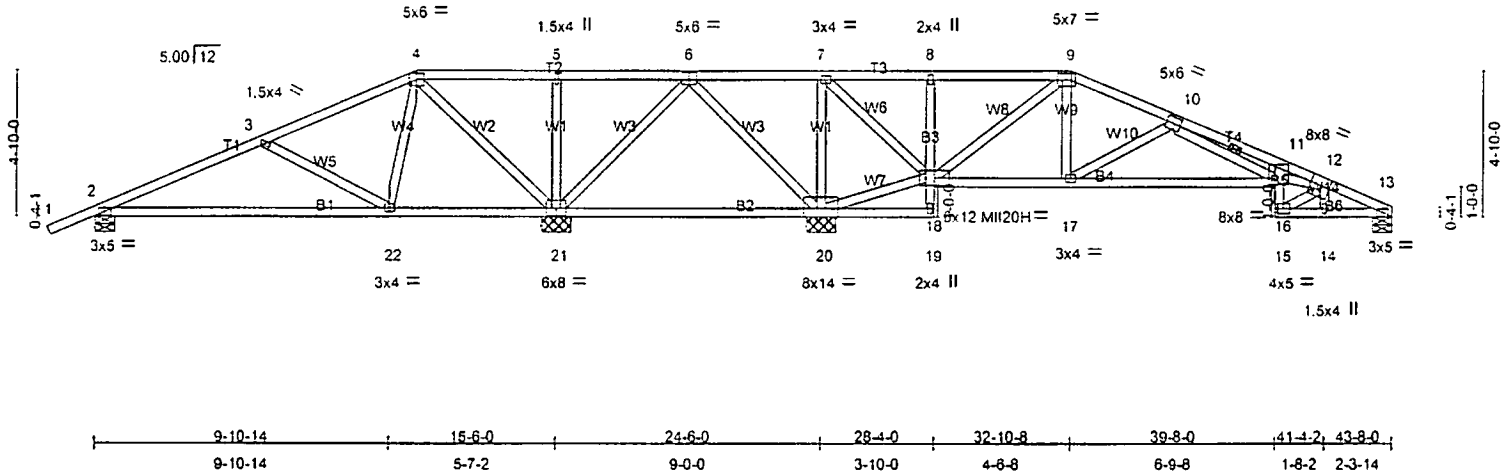
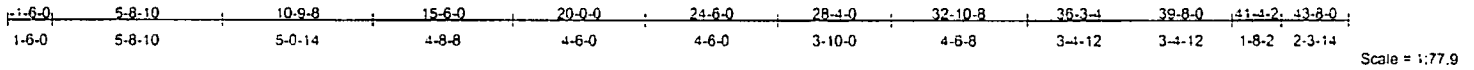


Plate Offsets (X,Y): [4:0-3-0,0-2-4], [6:0-3-0,0-3-0], [9:0-5-4,0-2-8], [16:0-2-8,0-2-8]								
LOADING (psf)	SPACING	2-0-0	CSI	DEFL	in (loc)	l/defl	PLATES	GRIP
TCLL 20.0	Plates Increase	1.33	TC 0.88	Vert(LL)	0.39	15 >582	MII20	249/190
TCDL 15.0	Lumber Increase	1.33	BC 0.79	Vert(TL)	-0.38	2-22 >484	MII20H	187/143
BCLL 10.0	Rep Stress Incr	YES	WB 0.92	Horz(TL)	-0.11	13 n/a		
BCDL 10.0	Code	SBC/SBCCI		1st LC LL Min l/defl	=	360		Weight: 239 lb

LUMBER	BRACING
TOP CHORD 2 X 4 SYP M 14	TOP CHORD Sheathed or 4-4-5 oc purlins.
BOT CHORD 2 X 4 SYP M 14	BOT CHORD Rigid ceiling directly applied or 5-6-13 oc bracing.
WEBS 2 X 4 SYP No.3	WEBS 1 Row at midpt 10-16

REACTIONS (lb/size) 13=619/0-8-0, 2=754/0-8-0, 21=1028/1-0-0, 20=2461/1-0-0
 Max Horz 2=398(load case 4)
 Max Uplift 13=-1068(load case 5), 2=-1001(load case 4), 21=-1501(load case 4), 20=-3421(load case 5)
 Max Grav 13=623(load case 7), 2=775(load case 6), 21=1188(load case 6), 20=2523(load case 7)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=20, 2-3=-603, 3-4=-201, 4-5=710, 5-6=710, 6-7=1728, 7-8=915, 8-9=915, 9-10=-120, 10-11=-2540, 11-12=-2540, 12-13=-1132
 BOT CHORD 2-22=550, 21-22=88, 20-21=-1063, 19-20=0, 18-19=74, 8-18=-294, 17-18=134, 16-17=657, 15-16=890, 11-16=-168, 14-15=1000, 13-14=1015
 WEBS 3-22=-414, 4-22=509, 4-21=-1109, 5-21=-323, 6-21=502, 6-20=-945, 7-20=-1068, 18-20=-1790, 7-18=1128, 9-18=-1313, 9-17=555, 10-17=-634, 10-16=1967, 12-15=-1318, 12-16=2353, 12-14=72

- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 3) Provide adequate drainage to prevent water ponding.
 - 4) All plates are MII20 plates unless otherwise indicated.
 - 5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1068 lb uplift at joint 13, 1001 lb uplift at joint 2, 1501 lb uplift at joint 21 and 3421 lb uplift at joint 20.
 - 6) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

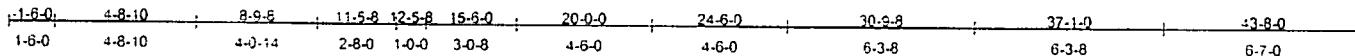
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	H8A	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:10 2001 Page 1



Scale = 1:76.9

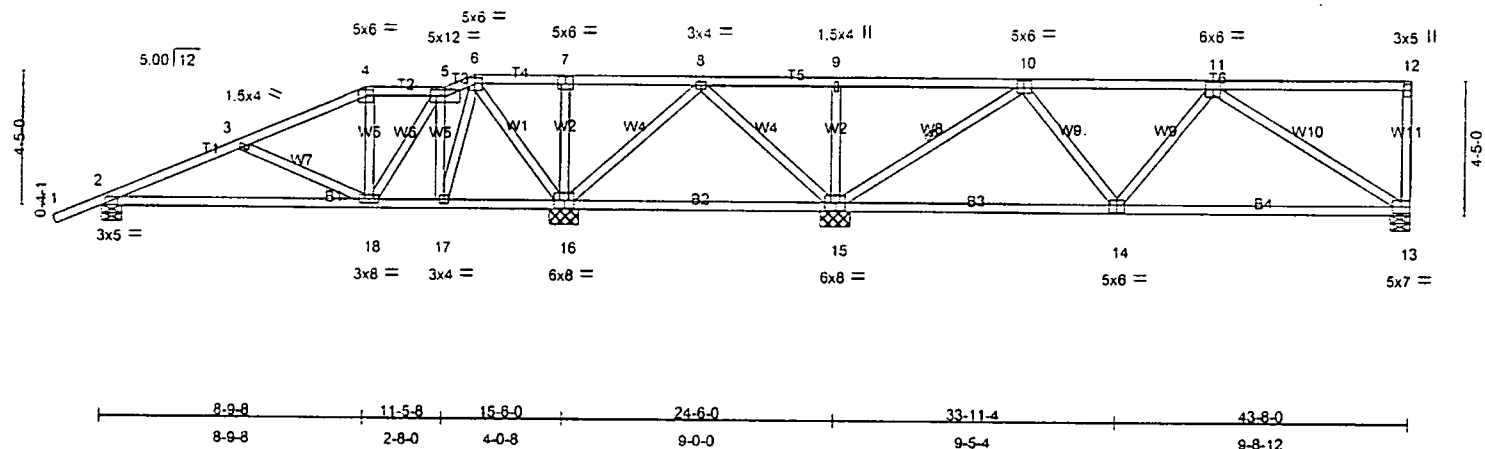


Plate Offsets (X,Y): [4:0-3-0-0-2-4], [6:0-3-0-0-2-4], [7:0-3-0-0-3-0], [10:0-2-12-0-3-0], [14:0-3-0-0-3-0]

LOADING (psf)	SPACING	2-0-0	CSI	DEFL	in (loc)	Vdefl	PLATES	GRIP	
TCLL 20.0	Plates Increase	1.33	TC 0.68	Vert(LL)	0.51	14-15	>443	MII20	249/190
TCDL 15.0	Lumber Increase	1.33	BC 0.69	Vert(TL)	0.48	14-15	>479		
BCLL 10.0	Rep Stress Incr	YES	WB 0.95	Horz(TL)	-0.04	13	n/a		
BCDL 10.0	Code	SBC/SBCCI	(Matrix)	1st LC LL Min Vdefl	= 360			Weight: 241 lb	

LUMBER	BRACING
TOP CHORD 2 X 4 SYP M 14	TOP CHORD Sheathed or 6-0-0 oc purlins, except end verticals.
BOT CHORD 2 X 4 SYP M 14	BOT CHORD Rigid ceiling directly applied or 6-0-0 oc bracing.
WEBS 2 X 4 SYP No.3 *Except* W11 2 X 4 SYP M 14	WEBS 1 Row at midpt 10-15

REACTIONS (lb/size) 13=899/0-8-0, 2=791/0-8-0, 16=1511/1-0-0, 15=1682/1-0-0
 Max Horz 2=704(load case 4)
 Max Uplift 13=-1140(load case 5), 2=-1012(load case 4), 16=-1744(load case 4), 15=-1925(load case 3)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=41, 2-3=-965, 3-4=-579, 4-5=-474, 5-6=-112, 6-7=600, 7-8=601, 8-9=548, 9-10=551, 10-11=-911, 11-12=-108, 12-13=-220
 BOT CHORD 2-18=850, 17-18=90, 16-17=-51, 15-16=-115, 14-15=648, 13-14=880
 WEBS 3-18=-408, 4-18=-67, 5-18=682, 5-17=-637, 6-17=620, 6-16=-919, 7-16=-286, 8-16=-253, 8-15=-181, 9-15=-394, 10-15=-1435, 10-14=434, 11-14=52, 11-13=-916

- NOTES**
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 2) Provide adequate drainage to prevent water ponding.
 - 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1140 lb uplift at joint 13, 1012 lb uplift at joint 2, 1744 lb uplift at joint 16 and 1925 lb uplift at joint 15.
 - 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

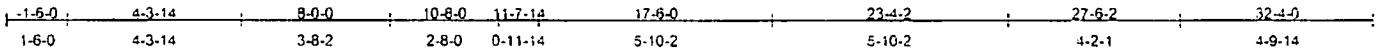
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	H8	COMMON	1	i	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:12 2001 Page 1



Scale = 1:57.3

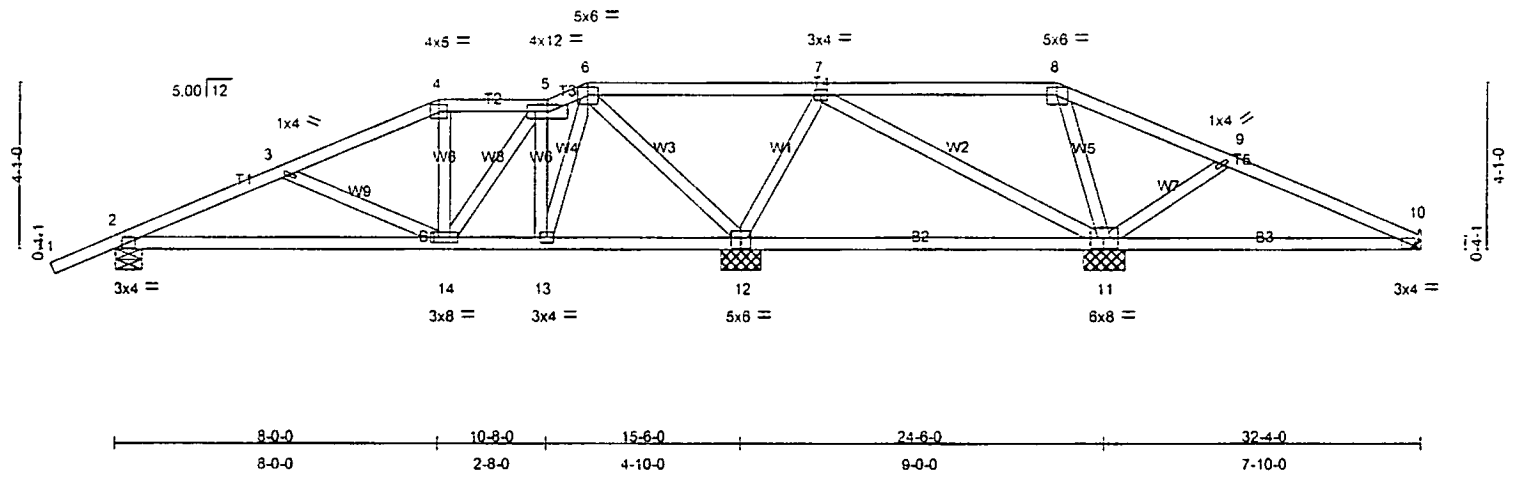


Plate Offsets (X,Y): [6:0-3-0-0-2-4], [8:0-3-0-0-2-4], [12:0-3-0-0-3-0]

LOADING (psf)	SPACING	2-0-0	CSI	DEFL	in (loc)	l/def	PLATES	GRIP
TCLL 20.0	Plates Increase	1.33	TC 0.68	Vert(LL)	-0.26 10-11	>362	MII20	249/190
TCDL 15.0	Lumber Increase	1.33	BC 0.82	Vert(TL)	-0.32 11-12	>335		
BCLL 10.0	Rep Stress Incr	YES	WB 0.61	Horz(TL)	-0.02 12	n/a		
BCDL 10.0	Code	SBC/SBCCI		1st LC LL Min l/def	= 360			Weight: 163 lb

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3

BRACING
 TOP CHORD Sheathed or 6-0-0 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 6-0-0 oc bracing.

[P]

REACTIONS (lb/size) 10=335/Mechanical, 2=843/0-8-0, 12=1583/1-0-0, 11=875/1-0-0
 Max Horz 2=353(load case 4)
 Max Uplift 10=-648(load case 5), 2=-1101(load case 4), 12=-1784(load case 4), 11=-1199(load case 5)
 Max Grav 10=349(load case 7), 2=846(load case 6), 12=1594(load case 6), 11=917(load case 7)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=20, 2-3=-1006, 3-4=-701, 4-5=-648, 5-6=-504, 6-7=563, 7-8=107, 8-9=263, 9-10=-42
 BOT CHORD 2-14=913, 13-14=440, 12-13=241, 11-12=-294, 10-11=39
 WEBS 3-14=-291, 4-14=42, 5-13=-602, 6-13=781, 6-12=-1129, 7-12=-578, 7-11=212, 8-11=-471, 9-11=-340, 5-14=348

- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
 - 3) Provide adequate drainage to prevent water ponding.
 - 4) Refer to girder(s) for truss to truss connections.
 - 5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 648 lb uplift at joint 10, 1101 lb uplift at joint 2, 1784 lb uplift at joint 12 and 1199 lb uplift at joint 11.
 - 6) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

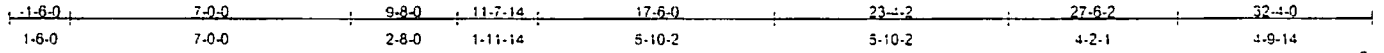
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	H7	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MITek Industries, Inc. Sat Dec 08 11:31:13 2001 Page 1



Scale = 1:57.3

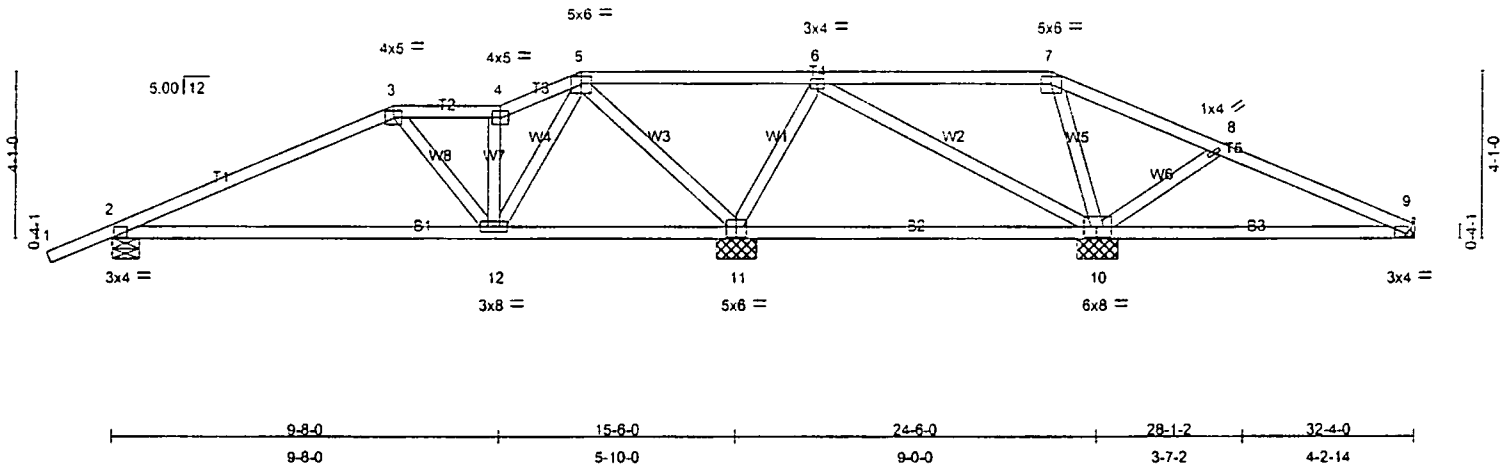


Plate Offsets (X,Y): [2:0-0-8,0-1-8], [5:0-3-0,0-2-4], [7:0-3-0,0-2-4], [11:0-3-0,0-3-0]

LOADING (psf)	SPACING	2-0-0	CSI	DEFL	in (loc)	l/defl	PLATES	GRIP
TCLL 20.0	Plates Increase	1.33	TC 0.81	Vert(LL)	-0.26	9-10	M1120	249/190
TCDL 15.0	Lumber Increase	1.33	BC 0.82	Vert(TL)	-0.32	2-12		
BCLL 10.0	Rep Stress Incr	YES	WB 0.59	Horz(TL)	-0.01	11		
BCDL 10.0	Code	SBC/SBCCI		1st LC LL Min l/defl	=	360		
							Weight: 152 lb	

LUMBER
TOP CHORD 2 X 4 SYP M 14 "Except"
T1 2 X 4 SYP M 21
BOT CHORD 2 X 4 SYP M 14
WEBS 2 X 4 SYP No.3

BRACING
TOP CHORD Sheathed or 6-0-0 oc purlins.
BOT CHORD Rigid ceiling directly applied or 6-0-0 oc bracing. [P]

REACTIONS (lb/size) 9=336/Mechanical, 2=846/0-8-0, 11=1577/1-0-0, 10=877/1-0-0
Max Horz 2=353(load case 4)
Max Uplift 9=648(load case 5), 2=-1107(load case 4), 11=-1768(load case 4), 10=-1201(load case 5)
Max Grav 9=350(load case 7), 2=848(load case 6), 11=1589(load case 6), 10=918(load case 7)

FORCES (lb) - First Load Case Only
TOP CHORD 1-2=20, 2-3=-731, 3-4=-642, 4-5=-719, 5-6=555, 6-7=106, 7-8=261, 8-9=-44
BOT CHORD 2-12=668, 11-12=227, 10-11=-287, 9-10=40
WEBS 3-12=-40, 4-12=-440, 5-12=888, 5-11=-1098, 6-11=-574, 6-10=206, 7-10=-471, 8-10=-340

- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 3) Provide adequate drainage to prevent water ponding.
 - 4) Refer to girder(s) for truss to truss connections.
 - 5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 648 lb uplift at joint 9, 1107 lb uplift at joint 2, 1768 lb uplift at joint 11 and 1201 lb uplift at joint 10.
 - 6) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

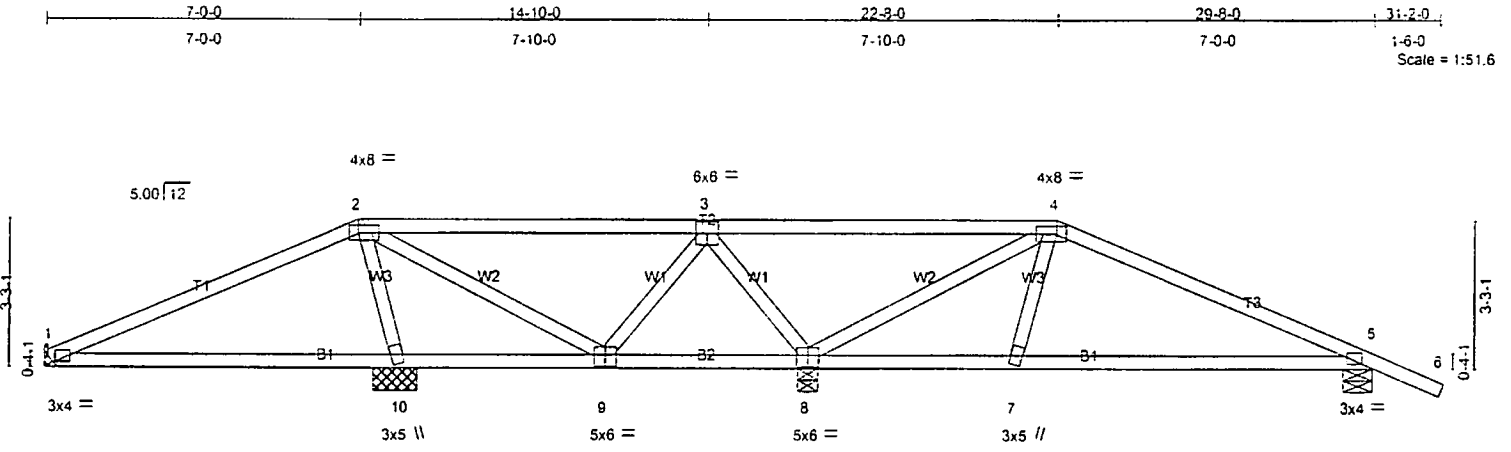
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	H7A	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:14 2001 Page 1



7-10-6	12-6-12	17-1-4	21-9-10	29-8-0
7-10-6	4-8-6	4-8-8	4-8-6	7-10-6

Plate Offsets (X,Y): [1:0-2-14.0-1-2], [2:0-5-8.0-2-0], [4:0-5-8.0-2-0], [5:0-2-14.0-1-2], [7:0-0-0.0-0-0], [8:0-3-0.0-3-0], [9:0-3-0.0-3-0]					
LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	Plates Increase 2-0-0	TC 0.95	in (loc) l/defl	MII20	249/190
TCDL 15.0	Lumber Increase 1.33	BC 0.57	Vert(LL) -0.24 5-7 >613		
BCLL 10.0	Rep Stress Incr YES	WB 0.76	Vert(TL) -0.21 5-7 >706		
BCDL 10.0	Code SBC/SBCCI		Horz(TL) 0.01 5 n/a		
			1st LC LL Min l/defl = 360		Weight: 129 lb

LUMBER
 TOP CHORD 2 X 4 SYP M 21
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3

BRACING
 TOP CHORD Sheathed or 4-3-13 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 6-0-0 oc bracing.

[P]

REACTIONS (lb/size) 1=436/Mechanical, 10=838/1-0-0, 8=1323/0-5-8, 5=746/0-8-0
 Max Horz 1=-302(load case 5)
 Max Uplift 1=-489(load case 4), 10=-917(load case 4), 8=-1378(load case 5), 5=-1440(load case 5)
 Max Grav 1=438(load case 6), 10=846(load case 6), 8=1323(load case 1), 5=748(load case 7)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=-103, 2-3=-133, 3-4=392, 4-5=-566, 5-6=20
 BOT CHORD 1-10=94, 9-10=-86, 8-9=81, 7-8=592, 5-7=517
 WEBS 2-10=-617, 2-9=248, 3-9=85, 3-8=-777, 4-8=-1114, 4-7=256

- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 3) Provide adequate drainage to prevent water ponding.
 - 4) Refer to girder(s) for truss to truss connections.
 - 5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 489 lb uplift at joint 1, 917 lb uplift at joint 10, 1378 lb uplift at joint 8 and 1440 lb uplift at joint 5.
 - 6) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Fly	STEVE MACARI - SMITH RESIDENCE
UPPER	H5A	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:15 2001 Page 1

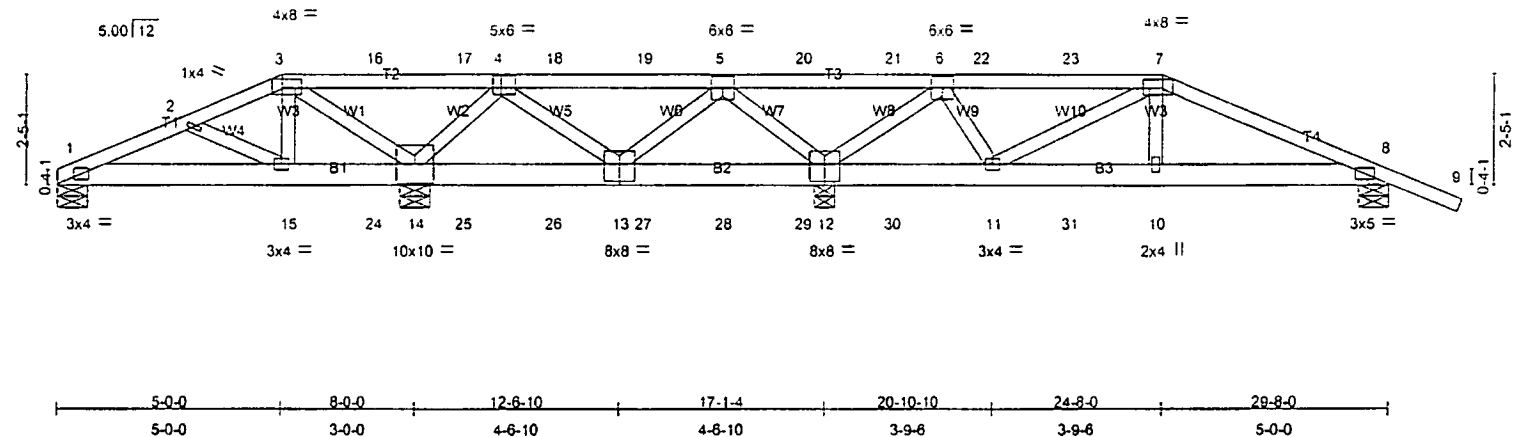
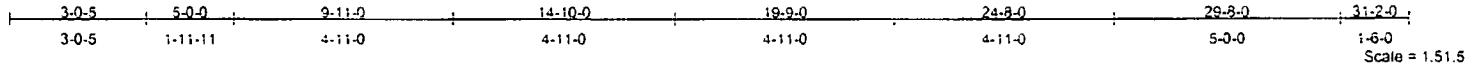


Plate Offsets (X,Y): [3:0-5-4 0-2-4], [4:0-2-4 0-3-4], [7:0-5-4 0-2-4], [12:0-4-0 0-4-8], [13:0-4-0 0-4-8]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.54	in (loc) Vdefl	M1120	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.18	Vert(LL) 0.07 10-11 >999		
BCLL 10.0	Lumber Increase 1.33	WB 0.84	Vert(TL) 0.06 10-11 >999		
BCDL 10.0	Rep Stress Incr NO	(Matrix)	Horz(TL) -0.02 8 n/a		
	Code SBC/SBCCI		1st LC LL Min Vdefl = 360	Weight: 161 lb	

LUMBER
 TOP CHORD 2 X 4 SYP SS
 BOT CHORD 2 X 6 SYP M 14
 WEBS 2 X 4 SYP No.3

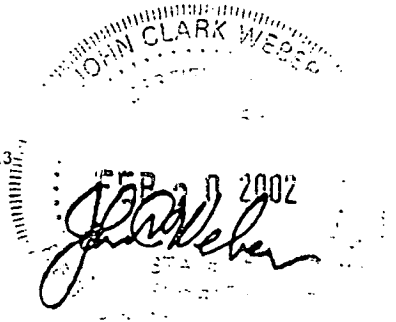
BRACING
 TOP CHORD Sheathed or 5-5-8 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 6-0-0 oc bracing. [P]

REACTIONS (lb/size) 1=1157/0-8-0, 14=1477/0-8-0, 12=2075/0-5-8, 8=942/0-8-0
 Max Horz 1=-263(load case 5)
 Max Uplift 1=-824(load case 4), 14=-2276(load case 4), 12=-3146(load case 2), 8=-1269(load case 3)
 Max Grav 1=1236(load case 6), 14=1529(load case 6), 12=2075(load case 1), 8=942(load case 1)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=-624, 2-3=-498, 3-16=449, 16-17=449, 4-17=449, 4-18=-101, 18-19=-101, 5-19=-101, 5-20=915, 20-21=915, 6-21=915, 6-22=-694, 22-23=-694, 7-23=-694, 7-8=-1451, 8-9=46
 BOT CHORD 1-15=541, 15-24=475, 14-24=475, 14-25=91, 25-26=91, 13-26=91, 13-27=-99, 27-28=-99, 28-29=-99, 12-29=-99, 12-30=430, 11-30=430, 11-31=1292, 10-31=1292, 8-10=1275
 WEBS 2-15=-91, 3-15=224, 3-14=-1117, 4-14=-789, 4-13=12, 5-13=268, 5-12=-1099, 6-12=-1700, 6-11=545, 7-11=-680, 7-10=246

- NOTES**
- This truss has been checked for unbalanced loading conditions.
 - This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
 - Provide adequate drainage to prevent water ponding.
 - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 824 lb uplift at joint 1, 2276 lb uplift at joint 14, 3146 lb uplift at joint 12 and 1269 lb uplift at joint 8.
 - This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - Special hanger(s) or connection(s) required to support concentrated load(s) 787.0lb down and 296.3lb up at -1-6-11, 301.1lb down and 592.0lb up at 5-0-0, 82.3lb down and 266.2lb up at 7-0-12, 82.3lb down and 266.2lb up at 9-0-12, 82.3lb down and 266.2lb up at 11-0-12, 82.3lb down and 266.2lb up at 13-0-12, 82.3lb down and 266.2lb up at 14-10-0, 82.3lb down and 266.2lb up at 15-7-4, 82.3lb down and 266.2lb up at 18-7-4, 82.3lb down and 266.2lb up at 20-7-4, and 82.3lb down and 266.2lb up at 22-7-4, and 241.1lb down and 592.0lb up at 24-8-0 on top chord, and 72.2lb down at 5-0-0, 26.0lb down at 7-0-12, 26.0lb down at 9-0-12, 26.0lb down at 11-0-12, 26.0lb down at 13-0-12, 26.0lb down at 14-10-0, 26.0lb down at 16-7-4, 26.0lb down at 18-7-4, 26.0lb down at 20-7-4, and 26.0lb down at 22-7-4, and 72.2lb down at 24-7-4 on bottom chord. Design for unspecified connection(s) is delegated to the building designer.

LOAD CASE(S) Standard
 1) Regular: Lumber Increase=1.33, Plate Increase=1.33
 Uniform Loads (plf)
 Vert: 1-3=-70.0, 3-7=-70.0, 7-9=-70.0, 1-8=-40.0
 Concentrated Loads (lb)
 Vert: 1=-727.0 3=-241.1 7=-241.1 15=-72.2 5=-82.3 11=-26.0 10=-72.2 16=-82.3 17=-82.3 18=-82.3 19=-82.3 20=-82.3 21=-82.3 22=-82.3 23=-82.3 24=-26.0 25=-26.0 26=-26.0 27=-26.0 28=-26.0 29=-26.0 30=-26.0 31=-26.0



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	H5	COMMON COM	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:18 2001 Page 1

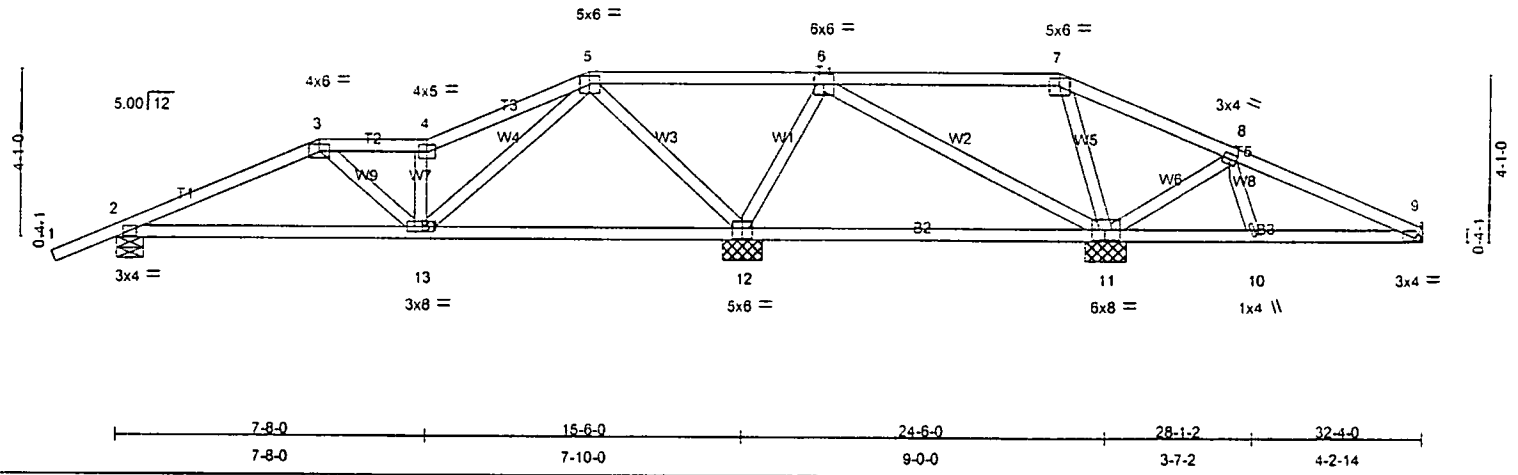
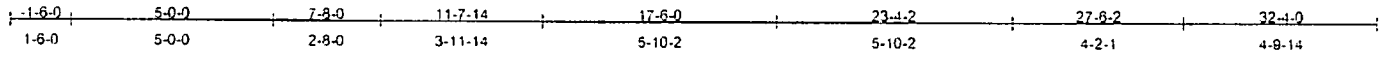


Plate Offsets (X,Y): [5:0-3-0-0-2-4], [7:0-3-0-0-2-4], [12:0-3-0-0-3-0]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	Plates Increase 2-0-0	TC 0.57	in (loc) l/defl	MII20	249/190
TCOL 15.0	Lumber Increase 1.33	BC 0.32	Vert(LL) -0.09 11-12 >999		
BCLL 10.0	Rep Stress Incr YES	WB 0.65	Vert(TL) -0.19 11-12 >578		
BCDL 10.0	Code SBC/SBCCI	(Matrix)	Horz(TL) -0.01 12 n/a		
			1st LC LL Min l/defl = 360	Weight: 155 lb	

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3

BRACING
 TOP CHORD Sheathed or 6-0-0 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 6-0-0 oc bracing. [P]

REACTIONS (lb/size) 9=250/Mechanical, 2=776/0-8-0, 12=1706/1-0-0, 11=904/1-0-0
 Max Horz 2=353(load case 4)
 Max Uplift 9=-532(load case 5), 2=-1072(load case 4), 12=-1879(load case 4), 11=-1347(load case 5)
 Max Grav 9=269(load case 7), 2=778(load case 6), 12=1727(load case 6), 11=961(load case 7)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=41, 2-3=-949, 3-4=-863, 4-5=-1000, 5-6=741, 6-7=193, 7-8=423, 8-9=-164
 BOT CHORD 2-13=810, 12-13=49, 11-12=-440, 10-11=59, 9-10=97
 WEBS 3-13=69, 4-13=-520, 5-13=1151, 5-12=-1109, 6-12=-643, 6-11=282, 7-11=-501, 8-11=-477, 8-10=131

- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 3) Provide adequate drainage to prevent water ponding.
 - 4) Refer to girder(s) for truss to truss connections.
 - 5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 532 lb uplift at joint 9, 1072 lb uplift at joint 2, 1879 lb uplift at joint 12 and 1347 lb uplift at joint 11.
 - 6) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

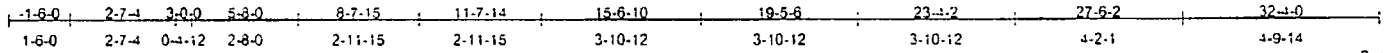
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	H3	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:19 2001 Page 1



Scale = 1:57.0

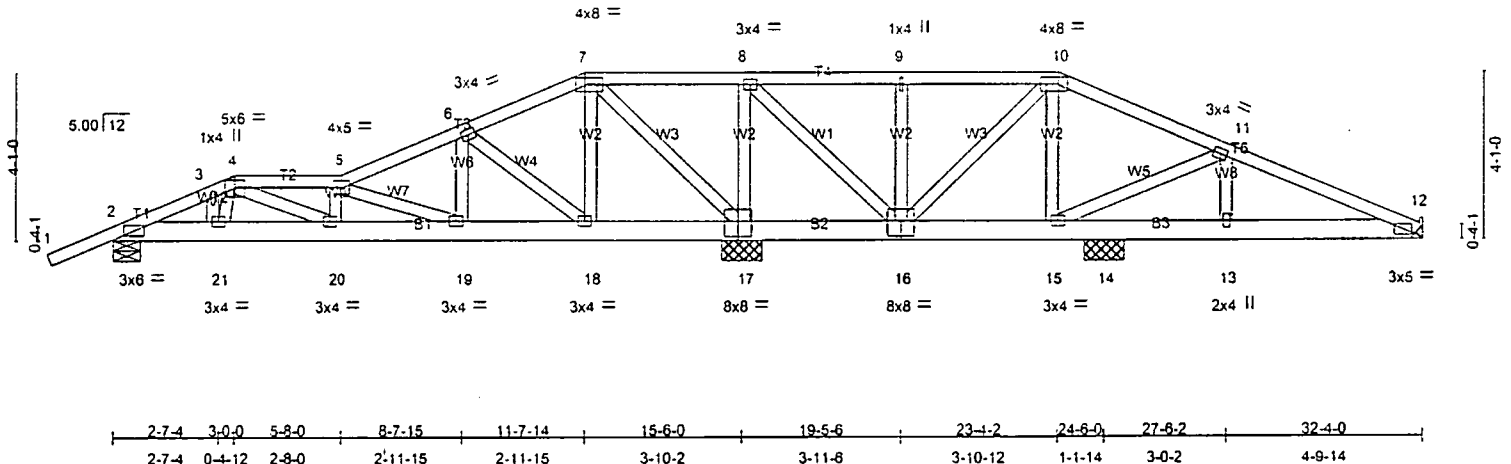


Plate Offsets (X,Y): [2:0-2-12.0-1-8], [7:0-5-4.0-2-0], [10:0-5-4.0-2-0], [12:0-3-5.0-0-14], [16:0-4-0.0-4-8], [17:0-4-0.0-4-8]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.63	in (loc) Vdefl	M1120	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.32	Vert(LL) 0.08 20 >999		
BCLL 10.0	Lumber Increase 1.33	WB 0.61	Vert(TL) -0.07 20 >999		
BCDL 10.0	Rep Stress Incr NO	(Matrix)	Horz(TL) -0.01 17 n/a		
	Code SBC/SBCCI		1st LC LL Min Vdefl = 360	Weight: 199 lb	

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 6 SYP M 14
 WEBS 2 X 4 SYP No.3

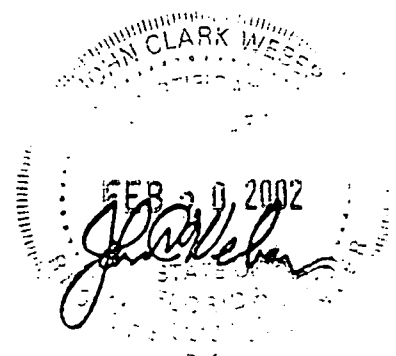
BRACING
 TOP CHORD Sheathed or 5-9-13 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 6-0-0 oc bracing. [P]

REACTIONS (lb/size) 12=366/Mechanical, 2=987/0-8-0, 17=2123/1-0-0, 14=519/1-0-0
 Max Horz 2=364(load case 4)
 Max Uplift 12=-761(load case 5), 2=-1187(load case 4), 17=-2225(load case 4), 14=-853(load case 5)
 Max Grav 12=419(load case 7), 2=998(load case 6), 17=2123(load case 1), 14=596(load case 7)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=46, 2-3=-1533, 3-4=-1431, 4-5=-1421, 5-6=-514, 6-7=270, 7-8=1136, 8-9=413, 9-10=413, 10-11=198, 11-12=-394
 BOT CHORD 2-21=1347, 20-21=1300, 19-20=1416, 18-19=450, 17-18=-187, 16-17=-1136, 15-16=-136, 14-15=308, 13-14=308, 12-13=308
 WEBS 4-20=134, 5-20=35, 5-19=-1041, 6-19=568, 6-18=-837, 7-18=584, 7-17=-1308, 8-17=-986, 8-16=998, 9-16=-259, 10-16=-381, 10-15=-72, 11-15=-485, 11-13=60, 3-21=168, 4-21=233

- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
 - 3) Provide adequate drainage to prevent water ponding.
 - 4) Refer to girder(s) for truss to truss connections.
 - 5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 761 lb uplift at joint 12, 1187 lb uplift at joint 2, 2225 lb uplift at joint 17 and 853 lb uplift at joint 14.
 - 6) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - 7) Special hanger(s) or connection(s) required to support concentrated load(s) 358.2lb down and 233.9lb up at 2-7-4 on bottom chord. Design for unspecified connection(s) is delegated to the building designer.

LOAD CASE(S) Standard
 1) Regular: Lumber Increase=1.33, Plate Increase=1.33
 Uniform Loads (plf)
 Vert: 1-4=-70.0, 4-5=-70.0, 5-7=-70.0, 7-10=-70.0, 10-12=-70.0, 2-12=-40.0
 Concentrated Loads (lb)
 Vert: 21=-358.2



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	HT2	COMMON	3	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:20 2001 Page 1

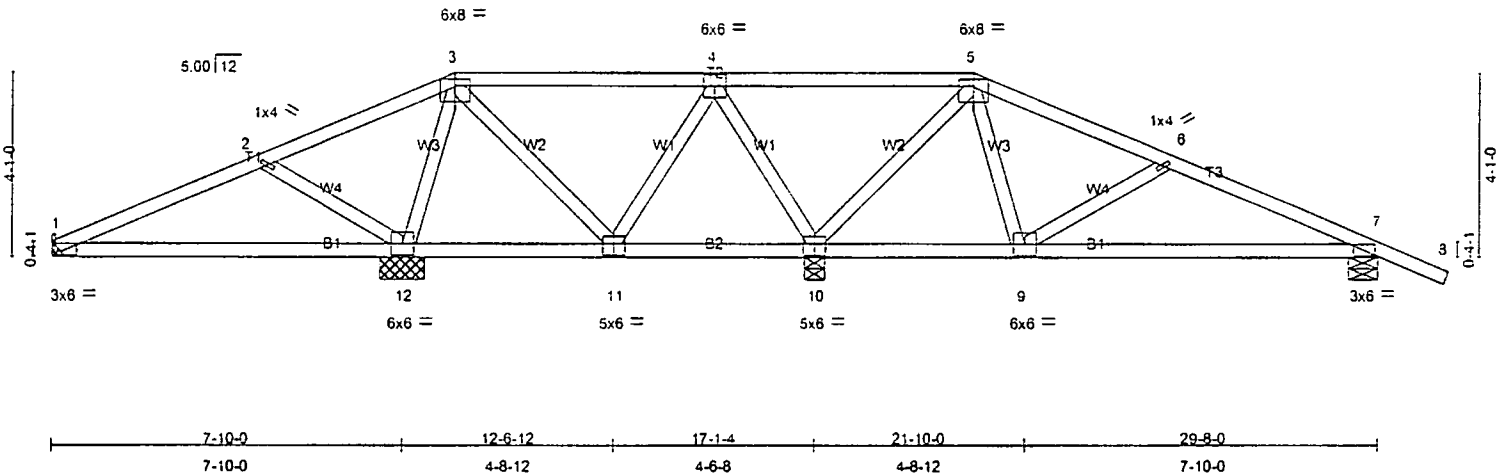
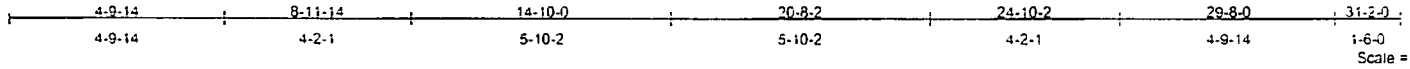


Plate Offsets (X,Y): [1:0-2-12,0-1-8], [3:0-4-0,0-1-13], [5:0-4-0,0-1-13], [7:0-2-12,0-1-8], [10:0-3-0,0-3-0], [11:0-3-0,0-3-0]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.53	in (loc) Vdefl	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.38	Vert(LL) 0.23 7-9 >635		
BCLL 10.0	Lumber Increase 1.33	WB 0.46	Vert(TL) 0.20 7-9 >739		
BCDL 10.0	Rep Stress Incr YES	(Matrix)	Horz(TL) 0.01 10 n/a		
	Code SBC/SBCCI		1st LC LL Min Vdefl = 360	Weight: 142 lb	

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3

BRACING
 TOP CHORD Sheathed or 6-0-0 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 6-0-0 oc bracing.

[P]

REACTIONS (lb/size) 1=307/Mechanical, 12=956/1-0-0, 10=1409/0-5-8, 7=671/0-8-0
 Max Horz 1=-353(load case 5)
 Max Uplift 1=-302(load case 4), 12=-1146(load case 4), 10=-1672(load case 5), 7=-1367(load case 5)
 Max Grav 1=312(load case 6), 12=996(load case 6), 10=1425(load case 7), 7=675(load case 7)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=-184, 2-3=281, 3-4=54, 4-5=468, 5-6=-380, 6-7=-686, 7-8=41
 BOT CHORD 1-12=142, 11-12=-72, 10-11=-130, 9-10=164, 7-9=589
 WEBS 2-12=-410, 3-12=-463, 3-11=26, 4-11=148, 4-10=-658, 5-10=-921, 5-9=466, 6-9=-341

- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 3) Provide adequate drainage to prevent water ponding.
 - 4) Refer to girder(s) for truss to truss connections.
 - 5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 302 lb uplift at joint 1, 1146 lb uplift at joint 12, 1672 lb uplift at joint 10 and 1367 lb uplift at joint 7.
 - 6) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	MGT1	COMMON	1	2	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:21 2001 Page 1

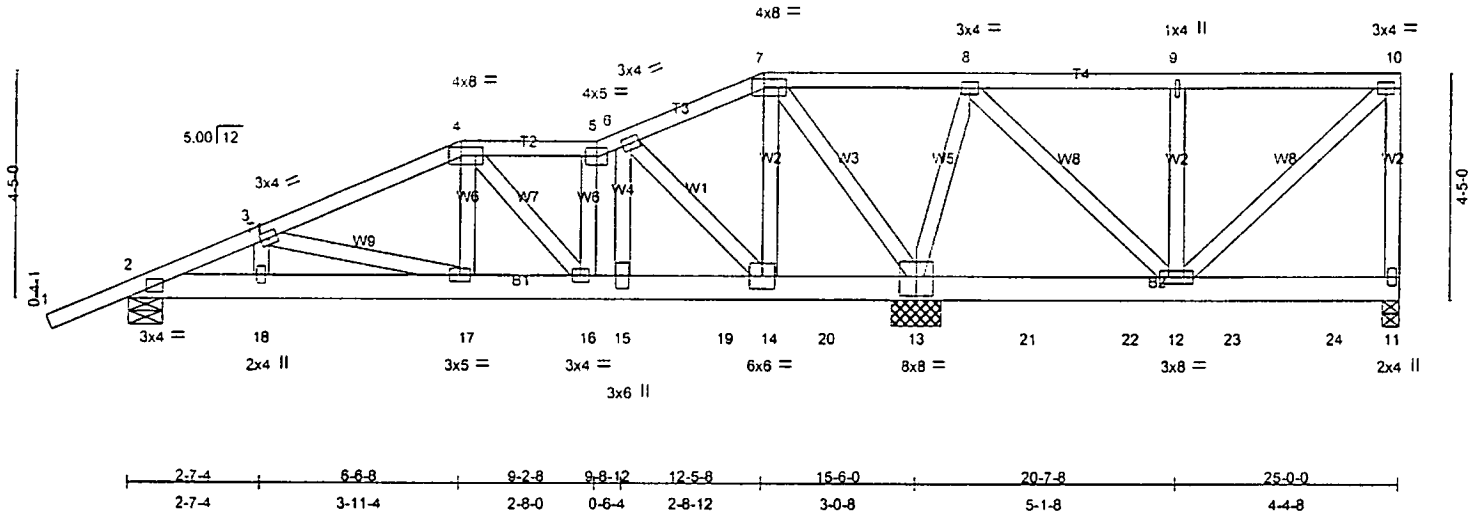
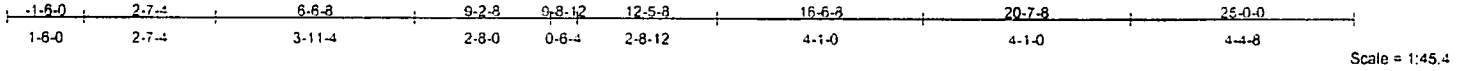


Plate Offsets (X,Y): [2:0-1-12:0-1-8], [4:0-5-4:0-2-0], [7:0-5-4:0-2-0], [13:0-4-0:0-4-8]					
LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.38	in (loc) V/defl	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.24	Vert(LL) 0.06 16 >999		
BCLL 10.0	Lumber Increase 1.33	WB 0.52	Vert(TL) -0.07 16 >999		
BCDL 10.0	Rep Stress Incr NO	(Matrix)	Horz(TL) 0.01 13 n/a		
	Code SBC/SBCCI		1st LC LL Min V/defl = 360		
				Weight: 344 lb	

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 6 SYP M 14
 WEBS 2 X 4 SYP No.3

BRACING
 TOP CHORD Sheathed or 6-0-0 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing. Except: 6-0-0 oc bracing: 12-13.

[P]

REACTIONS (lb/size) 11=-358/0-4-0, 2=1579/0-8-0, 13=6638/1-0-0
 Max Horz 2=709(load case 4)
 Max Uplift 11=-1295(load case 3), 2=-1424(load case 4), 13=-5714(load case 4)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=46, 2-3=-2834, 3-4=-2394, 4-5=-2315, 5-6=-2367, 6-7=-654, 7-8=1895, 8-9=600, 9-10=600, 10-11=457
 BOT CHORD 2-18=2544, 17-18=2544, 16-17=2204, 15-16=2342, 15-19=2342, 14-19=2342, 14-20=694, 13-20=694, 13-21=-1567, 21-22=-1567, 12-22=-1567, 12-23=21, 23-24=21, 11-24=21
 WEBS 3-18=169, 3-17=-374, 4-17=417, 4-16=162, 5-16=-503, 7-14=3457, 7-13=-4300, 8-13=-1313, 8-12=1361, 9-12=-294, 10-12=-858, 6-15=1935, 6-14=-2516

- NOTES**
- This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - Provide adequate drainage to prevent water ponding.
 - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1295 lb uplift at joint 11, 1424 lb uplift at joint 2 and 5714 lb uplift at joint 13.
 - This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - 2-ply truss to be connected together with 10d Common(.148"x3") Nails as follows:
 Top chords connected as follows: 2 X 4 - 1 row at 0-9-0 oc.
 Bottom chords connected as follows: 2 X 6 - 2 rows at 0-5-0 oc.
 Webs connected as follows: 2 X 4 - 1 row at 0-9-0 oc.
 - Special hanger(s) or connection(s) required to support concentrated load(s) 277.2lb down and 196.2lb up at 2-7-4, 1268.6lb down and 651.7lb up at 9-8-12, 1161.4lb down and 591.1lb up at 11-8-12, 1161.4lb down and 595.5lb up at 13-8-12, 1161.4lb down and 595.5lb up at 15-8-12, 595.5lb up at 17-8-12, 595.5lb up at 19-8-12, and 595.5lb up at 21-8-12, and 595.5lb up at 23-8-12 on bottom chord. Design for unspecified connection(s) is delegated to the building designer.

LOAD CASE(S) Standard
 1) Regular: Lumber Increase=1.33, Plate Increase=1.33
 Uniform Loads (plf)
 Vert: 1-4=-70.0, 4-5=-70.0, 5-7=-70.0, 7-10=-70.0, 2-11=-40.0
 Concentrated Loads (lb)
 Vert: 13=-1161.4 18=-277.2 15=-1263.6 19=-1161.4 20=-1161.4



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	MH7A	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:23 2001 Page 1

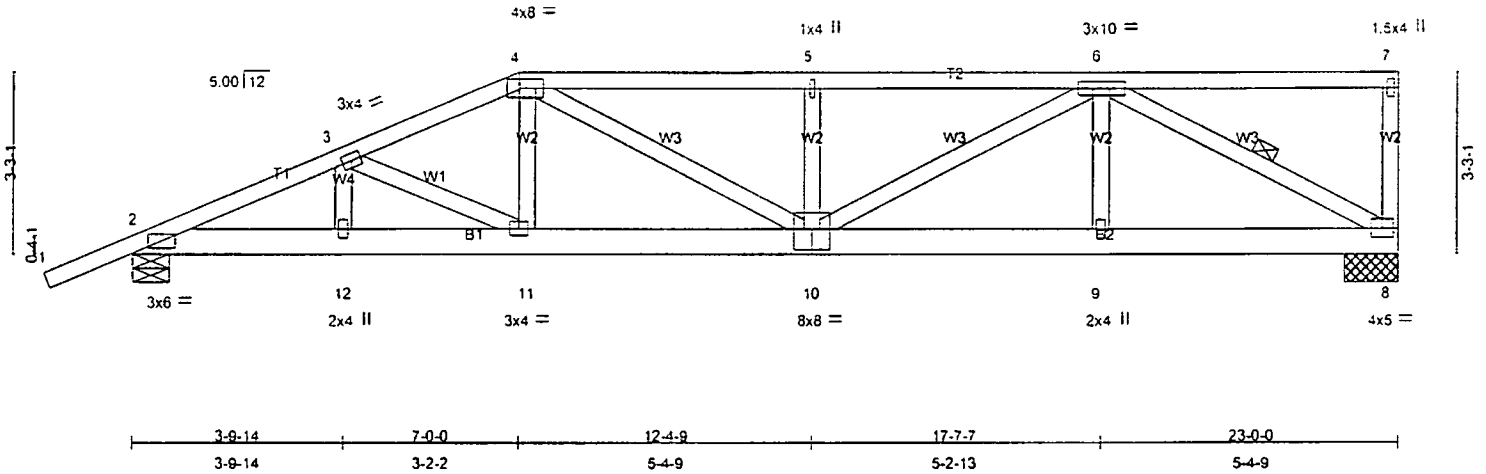
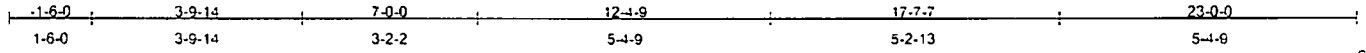


Plate Offsets (X,Y): [4:0-5-4-0-2-0], [10:0-4-0-0-4-8]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.98	in (loc) l/defl	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.34	Vert(LL) 0.24 10 >999		
BCLL 10.0	Lumber Increase 1.33	WB 0.72	Vert(TL) 0.21 10 >999		
BCDL 10.0	Rep Stress Incr NO		Horz(TL) -0.06 8 n/a		
	Code SBC/SBCCI		1st LC LL Min l/defl = 360		
				Weight: 138 lb	

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 6 SYP M 14
 WEBS 2 X 4 SYP No.3

BRACING
 TOP CHORD Sheathed or 3-11-0 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 5-1-14 oc bracing.
 WEBS 1 Row at midpt 6-8

(P)

REACTIONS (lb/size) 8=1346/1-0-0, 2=1618/0-8-0
 Max Horz 2=545(load case 4)
 Max Uplift 8=-1462(load case 4), 2=-1859(load case 4)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=23, 2-3=-3201, 3-4=-2805, 4-5=-2802, 5-6=-2802, 6-7=0, 7-8=-183
 BOT CHORD 2-12=2928, 11-12=2928, 10-11=2623, 9-10=1925, 8-9=1925
 WEBS 3-12=136, 3-11=-376, 4-11=708, 4-10=203, 5-10=-368, 6-10=1001, 6-9=209, 6-8=-2197

- NOTES**
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
 - 2) Provide adequate drainage to prevent water ponding.
 - 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1462 lb uplift at joint 8 and 1859 lb uplift at joint 2.
 - 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - 5) Special hanger(s) or connection(s) required to support concentrated load(s) 71.0lb up at 7-0-0 on top chord, and 378.1lb down and 165.2lb up at 7-0-0 on bottom chord. Design for unspecified connection(s) is delegated to the building designer.

LOAD CASE(S) Standard
 1) Regular: Lumber Increase=1.33, Plate Increase=1.33
 Uniform Loads (plf)
 Vert: 1-4=-70.0, 4-7=-70.0, 2-8=-40.0
 Concentrated Loads (lb)
 Vert: 4=23.0 11=-378.1

CLARK WEBER
 FEB 20 2002
Clark Weber

Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	MH8	COMMON COM	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:23 2001 Page 1

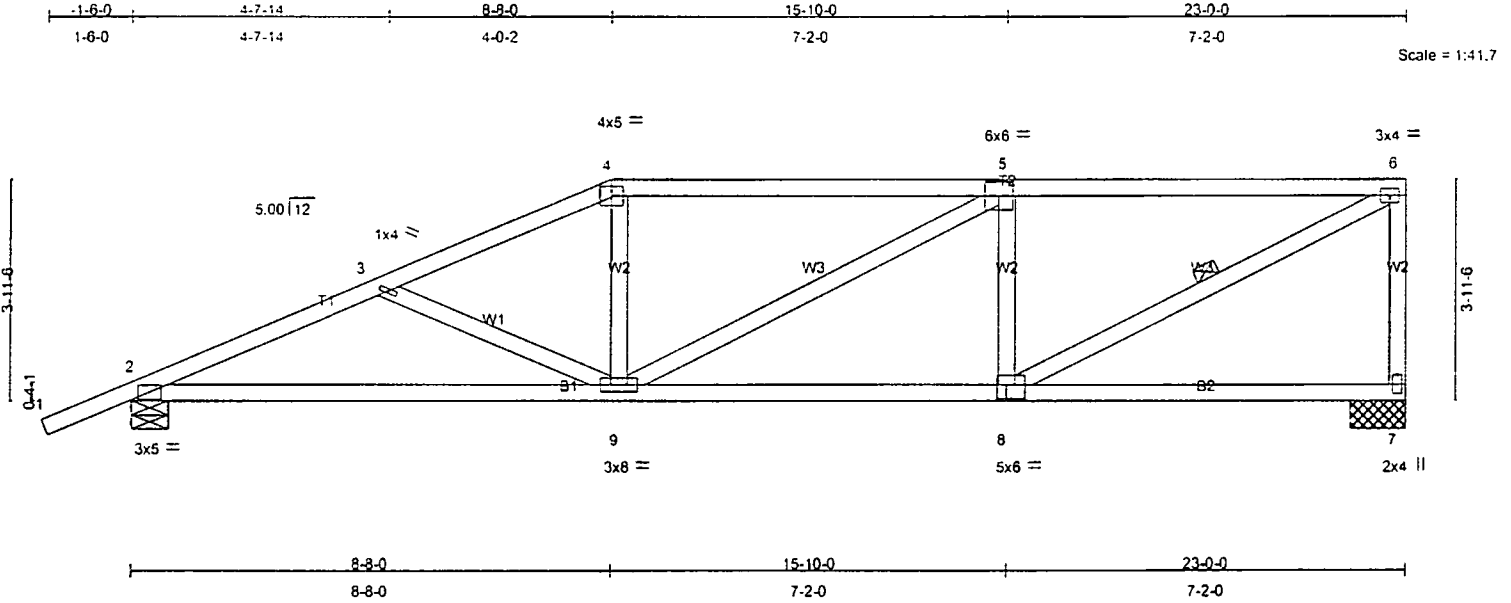


Plate Offsets (X,Y): (8:0-2-4:0-3-0)

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.96	in (loc) V/defl	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.70	Vert(LL) 0.19 9 >999		
BCLL 10.0	Lumber Increase 1.33	WB 0.96	Vert(TL) -0.29 2-9 >936		
BCDL 10.0	Rep Stress Incr YES		Horz(TL) -0.06 7 n/a		
	Code SBC/SBCCI		1st LC LL Min V/defl = 360		Weight: 116 lb

LUMBER

TOP CHORD 2 X 4 SYP M 14 *Except*
T2 2 X 4 SYP M 21
BOT CHORD 2 X 4 SYP M 14
WEBS 2 X 4 SYP No.3

BRACING

TOP CHORD Sheathed or 4-1-5 oc purlins, except end verticals.
BOT CHORD Rigid ceiling directly applied or 4-1-12 oc bracing.
WEBS 1 Row at midpt 6-8

(P)

REACTIONS (lb/size)

7=1239/1-0-0, 2=1371/0-8-0
Max Horz 2=638(load case 4)
Max Uplift 7=-1407(load case 4), 2=-1678(load case 4)

FORCES (lb) - First Load Case Only

TOP CHORD 1-2=20, 2-3=-2219, 3-4=-1919, 4-5=-1784, 5-6=-1637, 6-7=-1098
BOT CHORD 2-9=2017, 8-9=1637, 7-8=0
WEBS 3-9=-269, 4-9=341, 5-9=166, 5-8=-572, 6-8=1846

NOTES

- This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category 'I', condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
- Provide adequate drainage to prevent water ponding.
- Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1407 lb uplift at joint 7 and 1678 lb uplift at joint 2.
- This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

LOAD CASE(S) Standard

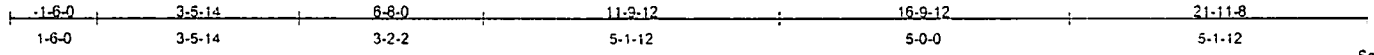
JOHN CLARK WEAVER

FEB 20 2002
John Weaver
STATE OF FLORIDA
REGISTERED PROFESSIONAL ENGINEER
No. 12345

Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	MH7	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:25 2001 Page 1



Scale = 1:39.9

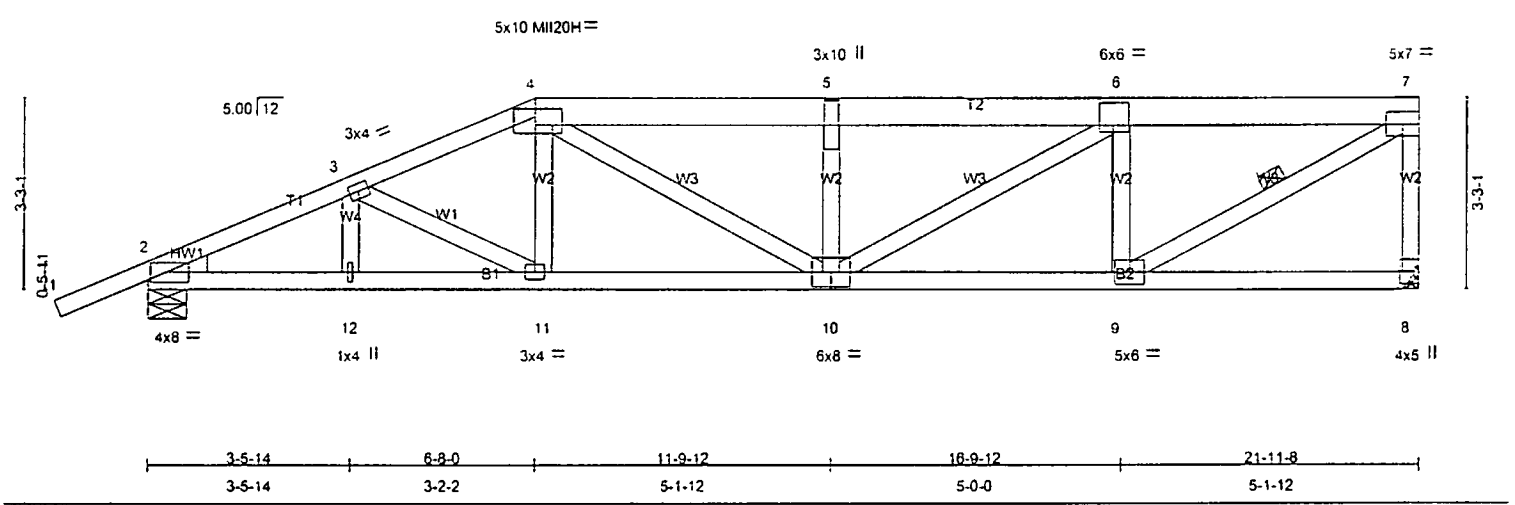


Plate Offsets (X,Y): [2:0-0-7.0-0-7], [4:0-2-0.0-3-4], [6:0-2-12.0-4-8]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.97	in (loc) V/defl	MI120	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.97	Vert(LL) 0.38 10 >675	MI120H	187/143
BCLL 10.0	Lumber Increase 1.33	WB 0.75	Vert(TL) 0.33 10 >770		
BCDL 10.0	Rep Stress Incr NO		Horz(TL) -0.12 8 n/a		
	Code SBC/SBCCI		1st LC LL Min V/defl = 360		
				Weight: 128 lb	

LUMBER
TOP CHORD 2 X 4 SYP M 21 "Except"
T2 2 X 6 SYP M 14
BOT CHORD 2 X 4 SYP M 14
WEBS 2 X 4 SYP No.3 "Except"
W3 2 X 4 SYP M 14, W3 2 X 4 SYP M 14, W3 2 X 4 SYP M 14
WEDGE
Left: 2 X 4 SYP No.3

BRACING
TOP CHORD Sheathed or 3-7-5 oc purlins, except end verticals. [P]
BOT CHORD Rigid ceiling directly applied or 2-11-14 oc bracing.
WEBS 1 Row at midpt 7-9

REACTIONS (lb/size) 8=2416/Mechanical, 2=2400/0-8-0
Max Horz 2=547(load case 4)
Max Uplift 8=-3016(load case 4), 2=-2971(load case 4)

FORCES (lb) - First Load Case Only
TOP CHORD 1-2=16, 2-3=-4440, 3-4=-4198, 4-5=-4569, 5-6=-4569, 6-7=-3239, 7-8=-2216
BOT CHORD 2-12=3948, 11-12=3948, 10-11=3907, 9-10=3239, 8-9=0
WEBS 3-12=259, 3-11=-65, 4-11=362, 4-10=760, 5-10=-740, 6-10=1534, 6-9=-1466, 7-9=3738

- NOTES**
- This truss has been checked for unbalanced loading conditions.
 - This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
 - Provide adequate drainage to prevent water ponding.
 - All plates are MI120 plates unless otherwise indicated.
 - Refer to girder(s) for truss to truss connections.
 - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 3016 lb uplift at joint 8 and 2971 lb uplift at joint 2.
 - This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - Special hanger(s) or connection(s) required to support concentrated load(s) 401.9lb down and 1571.7lb up at 6-8-0 on top chord. Design for unspecified connection(s) is delegated to the building designer.

LOAD CASE(S) Standard
1) Regular: Lumber Increase=1.33, Plate Increase=1.33
Uniform Loads (plf)
Vert: 1-4=-70.0, 4-7=-140.0, 2-8=-80.0
Concentrated Loads (lb)
Vert: 4=-401.9



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	MH9	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:26 2001 Page 1

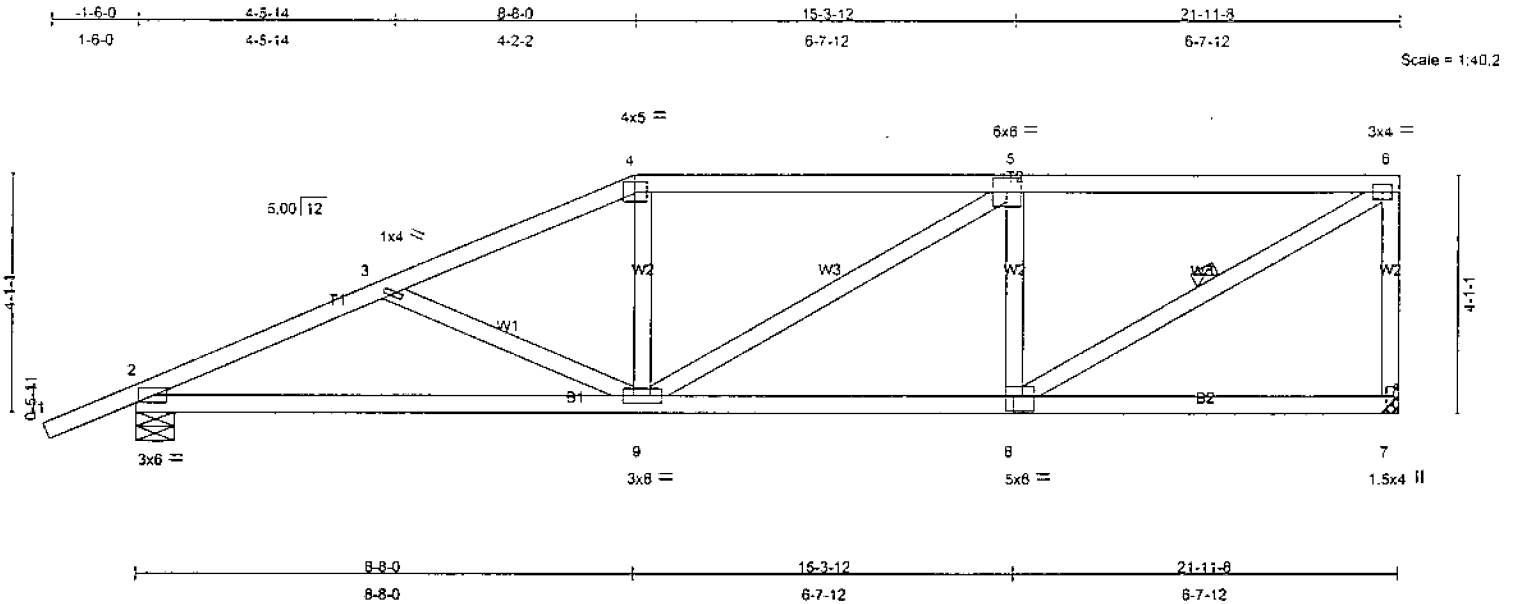


Plate Offsets (X,Y): [2:0-0-6,0-0-1], [8:0-2-8,0-3-0]

LOADING (psf)	SPACING 2-0-0	CSI	DEFL in (loc) $\frac{1}{defl}$	PLATES	GRIP
TCLL 20.0	Plates Increase 1.33	TC 0.83	Vert(LL) -0.16 2-9 >999	MII20	249/190
TCDL 15.0	Lumber Increase 1.33	BC 0.67	Vert(TL) -0.31 2-9 >823		
BCLL 10.0	Rep Stress Incr YES	WB 0.78	Horz(TL) -0.05 7 n/a		
BCDL 10.0	Code SBC/SBCCI		1st LC LL Min $\frac{1}{defl}$ = 360		
				Weight: 113 lb	

LUMBER

TOP CHORD 2 X 4 SYP M 14 "Except"
T2 2 X 4 SYP M 21
BOT CHORD 2 X 4 SYP M 14
WEBS 2 X 4 SYP No.3

BRACING

TOP CHORD Sheathed or 4-9-8 oc purlins, except end verticals.
BOT CHORD Rigid ceiling directly applied or 4-4-15 oc bracing.
WEBS 1 Row at midpt 6-8

[P]

REACTIONS (lb/size) 7=1181/Mechanical, 2=1314/0-8-0

Max Horz 2=630(load case 4)
Max Uplift 7=-1349(load case 4), 2=-1609(load case 4)

FORCES (lb) - First Load Case Only

TOP CHORD 1-2=16, 2-3=-1968, 3-4=-1713, 4-5=-1591, 5-6=-1411, 6-7=-1051
BOT CHORD 2-9=1763, 8-9=1411, 7-8=0
WEBS 3-9=-199, 4-9=274, 5-9=209, 5-8=-564, 6-8=1634

NOTES

- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
- 2) Provide adequate drainage to prevent water ponding.
- 3) Refer to girder(s) for truss to truss connections.
- 4) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1349 lb uplift at joint 7 and 1609 lb uplift at joint 2.
- 5) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	MHT1	COMMON	6	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:27 2001 Page 1

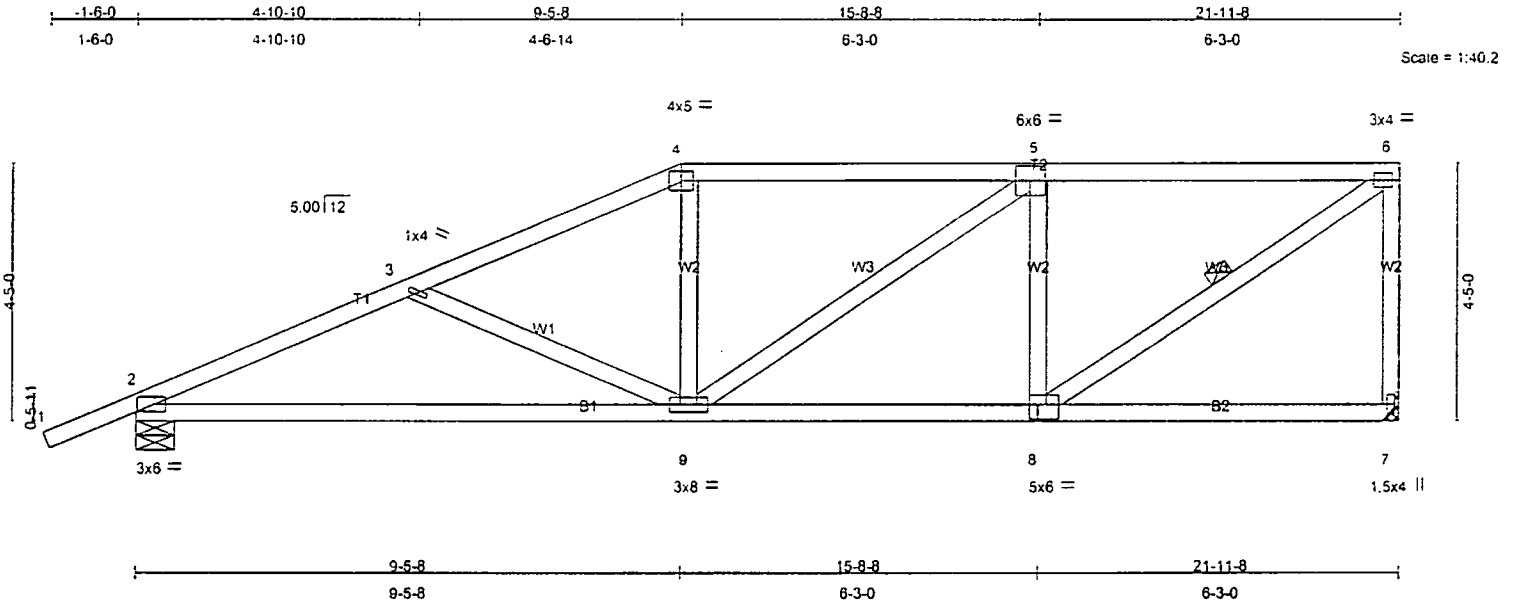


Plate Offsets (X,Y): [2:0-0-2,Edge], [8:0-2-8,0-3-0]								
LOADING (psf)	SPACING	2-0-0	CSI	DEFL	in (loc)	l/defl	PLATES	GRIP
TCLL 20.0	Plates Increase	1.33	TC 0.98	Vert(LL)	-0.21	2-9 >999	MII20	249/190
TCDL 15.0	Lumber Increase	1.33	BC 0.74	Vert(TL)	-0.42	2-9 >611		
BCLL 10.0	Rep Stress Incr	YES	WB 0.69	Horz(TL)	-0.05	7 n/a		
BCDL 10.0	Code	SBC/SBCCI		1st LC LL Min l/defl	=	360		Weight: 114 lb

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3

BRACING
 TOP CHORD Sheathed or 5-1-6 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 4-3-0 oc bracing.
 WEBS 1 Row at midpt 6-8

(P)

REACTIONS (lb/size) 7=1181/Mechanical, 2=1314/0-8-0
 Max Horz 2=677(load case 4)
 Max Uplift 7=-1358(load case 4), 2=-1601(load case 4)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=16, 2-3=-1923, 3-4=-1621, 4-5=-1504, 5-6=-1251, 6-7=-1059
 BOT CHORD 2-9=1728, 8-9=1251, 7-8=0
 WEBS 3-9=-254, 4-9=238, 5-9=305, 5-8=-601, 6-8=1510

- NOTES**
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
 - 2) Provide adequate drainage to prevent water ponding.
 - 3) Refer to girder(s) for truss to truss connections.
 - 4) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1358 lb uplift at joint 7 and 1601 lb uplift at joint 2.
 - 5) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	MHT1A	COMMON	5	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:27 2001 Page 1

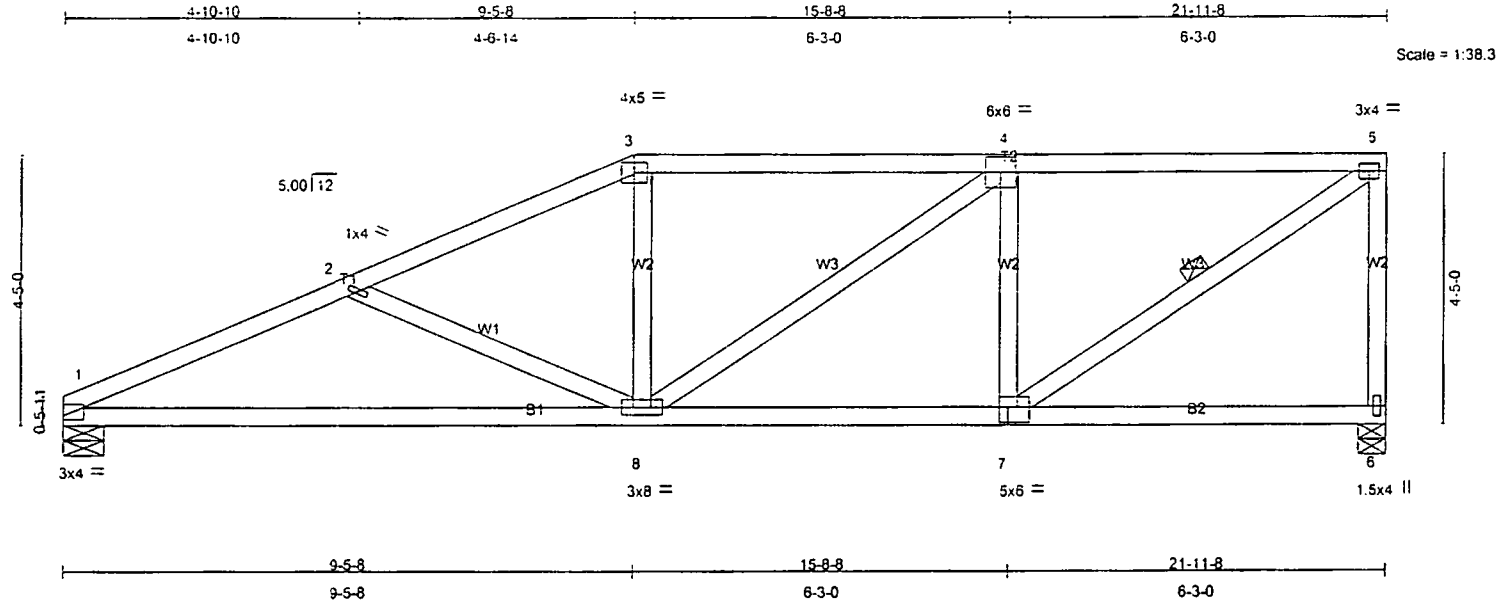


Plate Offsets (X,Y): [7:0-2-8:0-3-0]									
LOADING (psf)	SPACING	2-0-0	CSI	DEFL	in (loc)	Vdefl	PLATES	GRIP	
TCLL 20.0	Plates Increase	1.33	TC 0.98	Vert(LL)	-0.21	1-8	>999	MII20	249/190
TCDL 15.0	Lumber Increase	1.33	BC 0.74	Vert(TL)	-0.42	1-8	>611		
BCLL 10.0	Rep Stress Incr	YES	WB 0.69	Horz(TL)	-0.05	6	n/a		
BCDL 10.0	Code	SBC/SBCCI		1st LC LL Min Vdefl	= 360			Weight: 112 lb	

LUMBER	BRACING
TOP CHORD 2 X 4 SYP M 14	TOP CHORD Sheathed or 5-1-6 oc purlins, except end verticals. (P)
BOT CHORD 2 X 4 SYP M 14	BOT CHORD Rigid ceiling directly applied or 4-3-0 oc bracing.
WEBS 2 X 4 SYP No.3	WEBS 1 Row at midpt 5-7

REACTIONS (lb/size) 1=1181/0-8-0, 6=1181/0-5-8
 Max Horz 1=583(load case 4)
 Max Uplift 1=-1246(load case 4), 6=-1358(load case 4)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=-1923, 2-3=-1621, 3-4=-1504, 4-5=-1251, 5-6=-1059
 BOT CHORD 1-8=1728, 7-8=1251, 6-7=0
 WEBS 2-8=-254, 3-8=238, 4-8=305, 4-7=-601, 5-7=1510

- NOTES
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 2) Provide adequate drainage to prevent water ponding.
 - 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1246 lb uplift at joint 1 and 1358 lb uplift at joint 6.
 - 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

LOAD CASE(S) Standard

JOHN CLARK WOODS
 FEB 20 2002
 John Weber

Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	MHT1B	COMMON	3	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:29 2001 Page 1

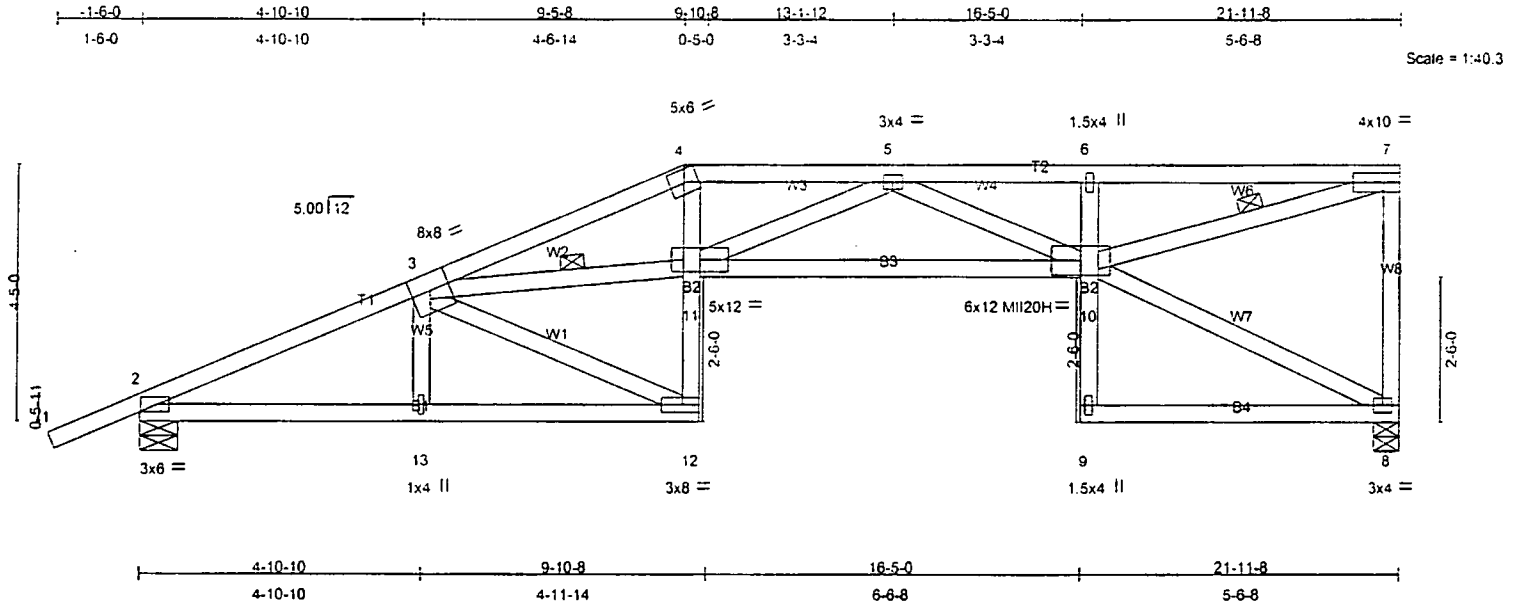


Plate Offsets (X,Y): I2:0-0-3,Edge

LOADING (psf)	SPACING 2-0-0	CSI	DEFL in (loc) <i>V</i> defl	PLATES	GRIP
TCLL 20.0	Plates Increase 1.33	TC 0.88	Vert(LL) 0.64 12 >400	M1120	249/190
TCDL 15.0	Lumber Increase 1.33	BC 0.86	Vert(TL) -0.63 10-11 >407	M1120H	187/143
BCLL 10.0	Rep Stress Incr YES	WB 0.99	Horz(TL) -0.49 8 n/a		
BCDL 10.0	Code SBC/SBCCI		1st LC LL Min <i>V</i> defl = 360		Weight: 129 lb

LUMBER

TOP CHORD 2 X 4 SYP M 21 *Except*
T2 2 X 4 SYP M 14
BOT CHORD 2 X 4 SYP M 14
WEBS 2 X 4 SYP No.3 *Except*
W2 2 X 4 SYP M 14

BRACING

TOP CHORD Sheathed or 3-5-6 oc purlins, except end verticals.
BOT CHORD Rigid ceiling directly applied or 0-2-0 oc bracing.
WEBS 1 Row at midpt 3-11, 7-10

[P]

REACTIONS (lb/size) 8=1181/0-5-8, 2=1314/0-8-0
Max Horz 2=677(load case 4)
Max Uplift 8=-1358(load case 4), 2=-1601(load case 4)

FORCES (lb) - First Load Case Only

TOP CHORD 1-2=16, 2-3=-2131, 3-4=-4034, 4-5=-3835, 5-6=-2884, 6-7=-2884, 7-8=-1076
BOT CHORD 2-13=1919, 12-13=1908, 11-12=1037, 4-11=1270, 10-11=3609, 9-10=105, 6-10=-303, 8-9=0
WEBS 3-13=186, 3-11=3726, 5-11=249, 5-10=-803, 8-10=0, 7-10=3019, 3-12=-2128

NOTES

- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
- 2) Provide adequate drainage to prevent water ponding.
- 3) All plates are M1120 plates unless otherwise indicated.
- 4) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1358 lb uplift at joint 8 and 1601 lb uplift at joint 2.
- 5) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	MHT1C	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:29 2001 Page 1

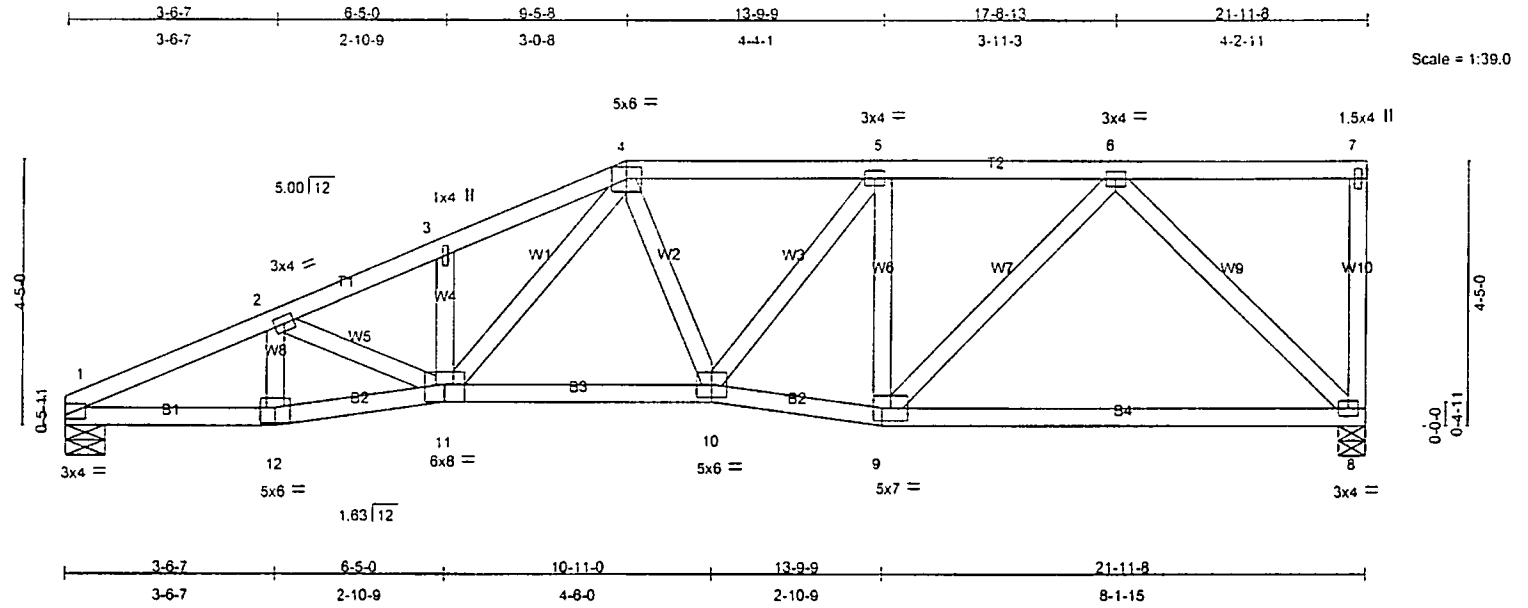


Plate Offsets (X,Y): [4:0-3-0-0-2-4], [11:0-4-0-Edge], [12:0-3-0-0-3-1]						
LOADING (psf)	SPACING	2-0-0	CSI	DEFL	in (loc)	l/defl
TCLL 20.0	Plates Increase	1.33	TC 0.57	Vert(LL)	-0.23 8-9	>999
TCDL 15.0	Lumber Increase	1.33	BC 0.58	Vert(TL)	-0.46 8-9	>565
BCLL 10.0	Rep Stress Incr	YES	WB 0.74	Horz(TL)	-0.07 8	n/a
BCDL 10.0	Code	SBC/SBCCI		1st LC LL Min l/defl	= 360	
						Weight: 123 lb

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3

BRACING
 TOP CHORD Sheathed or 4-9-15 oc purtins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 4-7-8 oc bracing.

(P)

REACTIONS (lb/size) 1=1181/0-8-0, 8=1181/0-5-8
 Max Horz 1=583(load case 4)
 Max Uplift 1=-1246(load case 4), 8=-1358(load case 4)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=-2201, 2-3=-2273, 3-4=-2274, 4-5=-1661, 5-6=-1439, 6-7=0, 7-8=-143
 BOT CHORD 1-12=1958, 11-12=1975, 10-11=1639, 9-10=1452, 8-9=869
 WEBS 2-12=-143, 2-11=153, 3-11=-211, 4-11=726, 4-10=59, 5-10=364, 5-9=-575, 6-9=826, 6-8=-1235

- NOTES**
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
 - 2) Provide adequate drainage to prevent water ponding.
 - 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1246 lb uplift at joint 1 and 1358 lb uplift at joint 8.
 - 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	FRT1	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:30 2001 Page 1

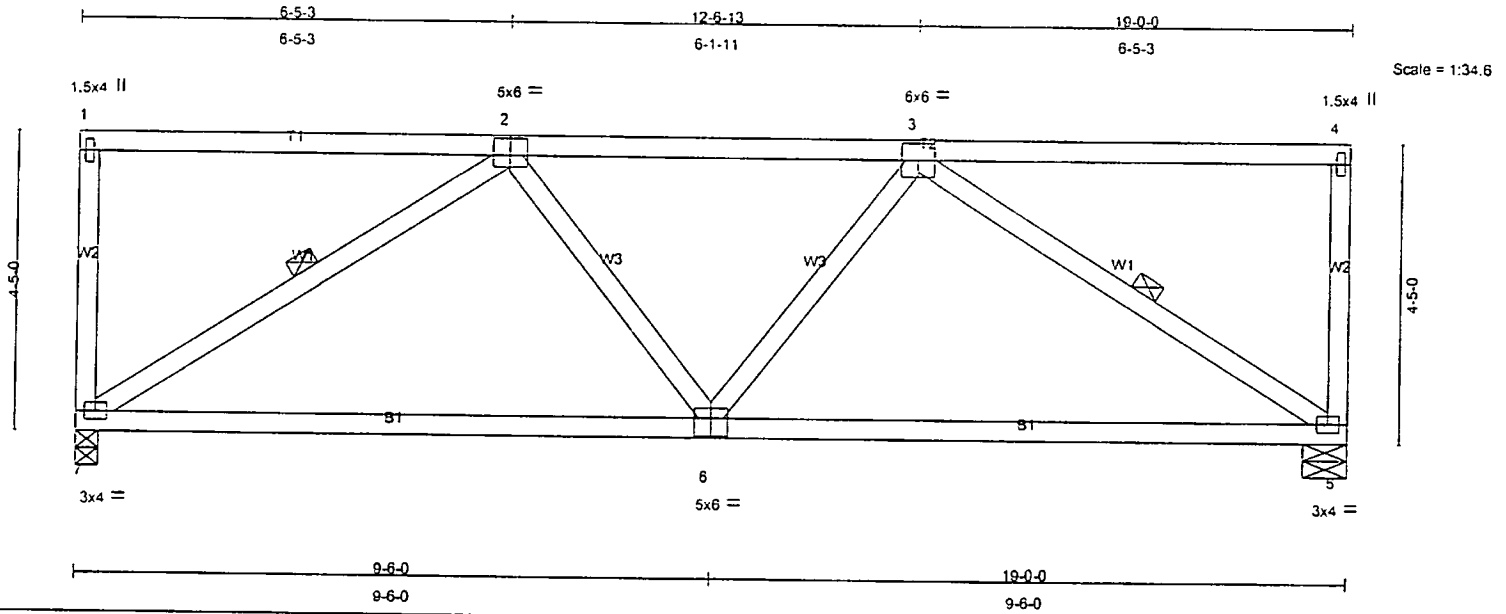


Plate Offsets (X,Y): [2,0-3,0,0-3,0], [6,0-3,0,0-3-4]

LOADING (psf)	SPACING 2-0-0	CSI	DEFL in (loc) Vdefl	PLATES	GRIP
TCLL 20.0	Plates Increase 1.33	TC 0.81	Vert(LL) -0.20 6-7 >999	MII20	249/190
TCDL 15.0	Lumber Increase 1.33	BC 0.76	Vert(TL) -0.41 6-7 >553		
BCLL 10.0	Rep Stress Incr YES	WB 0.48	Horz(TL) -0.03 5 n/a		
BCDL 10.0	Code SBC/SBCCI		1st LC LL Min Vdefl = 360		Weight: 104 lb

LUMBER
TOP CHORD 2 X 4 SYP M 14
BOT CHORD 2 X 4 SYP M 14
WEBS 2 X 4 SYP No.3

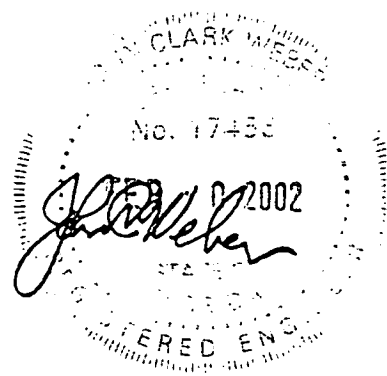
BRACING
TOP CHORD Sheathed or 6-0-0 oc purlins, except end verticals.
BOT CHORD Rigid ceiling directly applied or 6-4-9 oc bracing.
WEBS 1 Row at midpt 2-7, 3-5

REACTIONS (lb/size) 7=1029/0-4-0, 5=1029/0-8-0
Max Uplift7=-1134(load case 2), 5=-1134(load case 2)

FORCES (lb) - First Load Case Only
TOP CHORD 1-7=-220, 1-2=0, 2-3=-1087, 3-4=0, 4-5=-220
BOT CHORD 6-7=948, 5-6=948
WEBS 2-7=-1133, 2-6=233, 3-6=233, 3-5=-1133

- NOTES**
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
 - 2) Provide adequate drainage to prevent water ponding.
 - 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1134 lb uplift at joint 7 and 1134 lb uplift at joint 5.
 - 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	H6	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MITek Industries, Inc. Sat Dec 08 11:31:32 2001 Page 1

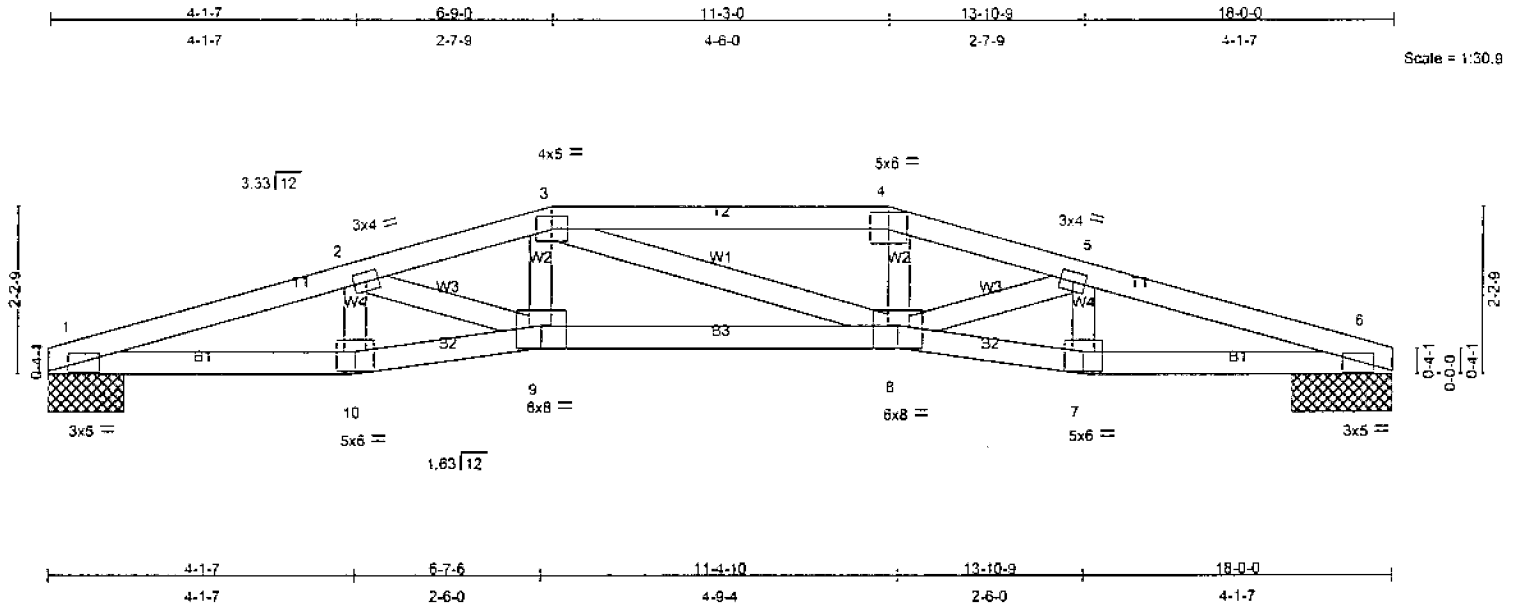


Plate Offsets (X,Y): [1:0-2-8.0-1-12], [4:0-3-0.0-2-11], [6:0-2-8.0-1-12], [7:0-3-0.0-0-7], [9:0-4-0.Edge], [10:0-3-0.0-3-1]								
LOADING (psf)	SPACING	2-0-0	CSI	DEFL	in (loc)	I/defl	PLATES	GRIP
TCLL 20.0	Plates Increase	1.33	TC 0.94	Vert(LL)	0.31	9	MI120	249/190
TCDL 15.0	Lumber Increase	1.33	BC 0.87	Vert(TL)	0.27	9		
BCLL 10.0	Rep Stress Incr	NO	WB 0.13	Horz(TL)	-0.10	6		
BCDL 10.0	Code	SBC/SBCCI		1st LC LL Min I/defl	=	360		Weight: 75 lb

LUMBER
TOP CHORD 2 X 4 SYP M 14
BOT CHORD 2 X 4 SYP No.3 *Except*
B3 2 X 4 SYP M 14
WEBS 2 X 4 SYP No.3

BRACING
TOP CHORD Sheathed or 2-6-9 oc purlins.
BOT CHORD Rigid ceiling directly applied or 3-4-2 oc bracing.

REACTIONS (lb/size) 1=930/1-0-0, 6=930/1-4-4
Max Horz 1=-117(load case 5)
Max Uplift 1=-1128(load case 2), 6=-1128(load case 3)

FORCES (lb) - First Load Case Only
TOP CHORD 1-2=-2419, 2-3=-2466, 3-4=-2337, 4-5=-2464, 5-6=-2419
BOT CHORD 1-10=2309, 9-10=2330, 8-9=2338, 7-8=2330, 6-7=2309
WEBS 2-10=-187, 2-9=69, 3-9=438, 3-8=-1, 4-8=437, 5-8=68, 5-7=-186

- NOTES**
- This truss has been checked for unbalanced loading conditions.
 - This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - Provide adequate drainage to prevent water ponding.
 - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1128 lb uplift at joint 1 and 1128 lb uplift at joint 6.
 - This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - Special hanger(s) or connection(s) required to support concentrated load(s) 140.0lb up at 6-9-0, and 16.5lb down and 140.0lb up at 11-3-0 on top chord. Design for unspecified connection(s) is delegated to the building designer.

LOAD CASE(S) Standard
1) Regular: Lumber Increase=1.33, Plate Increase=1.33
Uniform Loads (plf)
Vert: 1-3=-70.0, 3-4=-70.0, 4-6=-70.0, 1-10=-40.0, 9-10=-40.0, 8-9=-40.0, 7-8=-40.0, 6-7=-40.0
Concentrated Loads (lb)
Vert: 3=23.5 4=23.5



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	HT3	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:33 2001 Page 1

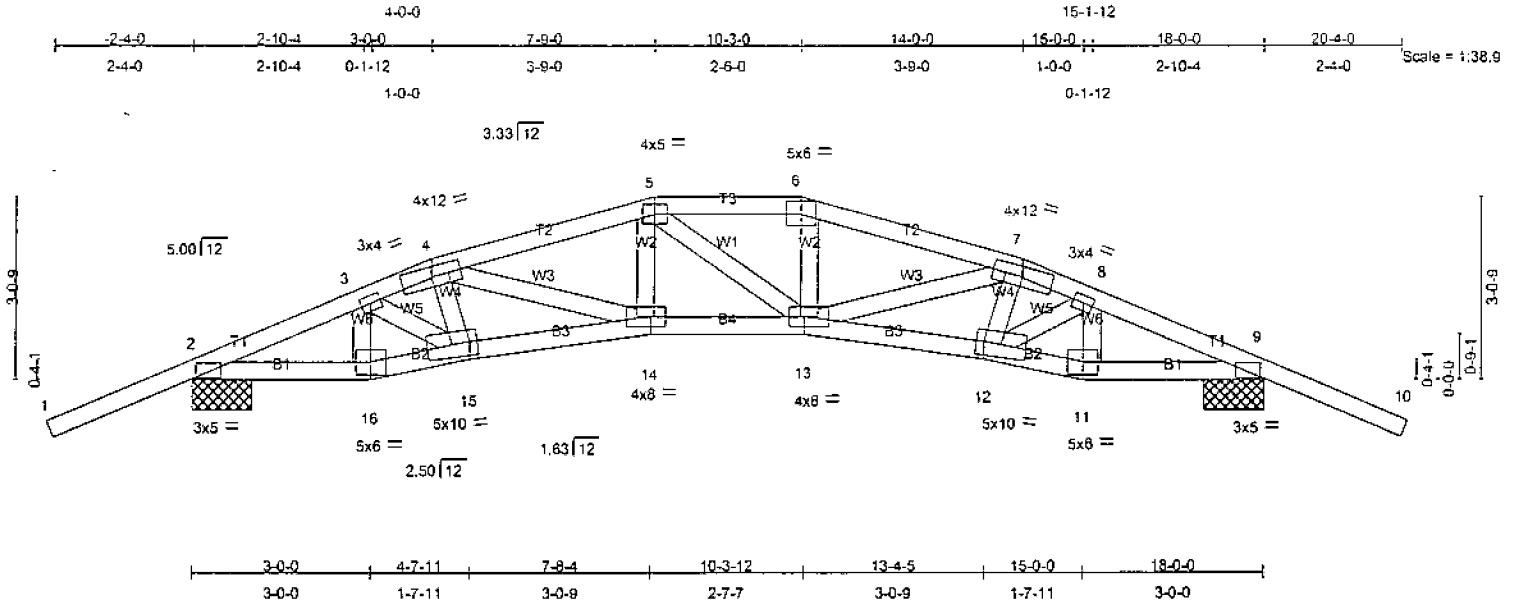


Plate Offsets (X,Y): [2:0-1-12,0-1-8], [6:0-3-0,0-2-11], [9:0-1-12,0-1-8], [13:0-3-0,0-1-8], [14:0-3-0,0-2-0]						
LOADING (psf)	SPACING	2-0-0	CSI	DEFL	in (loc)	Vdefl
TCLL 20.0	Plates Increase	1.33	TC 0.88	Vert(LL)	0.15 14	>999
TCDL 15.0	Lumber Increase	1.33	BC 0.35	Vert(TL)	0.25 9-10	>126
BCLL 10.0	Rep Stress Incr	YES	WB 0.11	Horz(TL)	-0.06 9	n/a
BCDL 10.0	Code	SBC/SBCCI		1st LC LL Min V/defl	= 360	
				PLATES	MI120	GRIP
						249/190
					Weight: 94 lb	

LUMBER

TOP CHORD 2 X 4 SYP M 14 *Except*
T1 2 X 4 SYP M 21, T1 2 X 4 SYP M 21
BOT CHORD 2 X 4 SYP M 14
WEBS 2 X 4 SYP No.3

BRACING

TOP CHORD Sheathed or 4-10-3 oc purlins.
BOT CHORD Rigid ceiling directly applied or 5-5-13 oc bracing.

[P]

REACTIONS (lb/size) 2=1144/1-0-0, 9=1144/1-0-0

Max Horz 2=-301(load case 5)
Max Uplift 2=-1452(load case 4), 9=-1375(load case 5)

FORCES (lb) - First Load Case Only

TOP CHORD 1-2=32, 2-3=-1863, 3-4=-2083, 4-5=-2115, 5-6=-2026, 6-7=-2114, 7-8=-2083, 8-9=-1863, 9-10=32
BOT CHORD 2-16=1676, 15-16=1681, 14-15=1957, 13-14=2026, 12-13=1957, 11-12=1681, 9-11=1676
WEBS 3-16=-258, 3-15=306, 4-15=45, 4-14=100, 5-14=351, 5-13=-1, 6-13=350, 7-13=99, 7-12=45, 8-12=306, 8-11=-258

NOTES

- 1) This truss has been checked for unbalanced loading conditions.
- 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
- 3) Provide adequate drainage to prevent water ponding.
- 4) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1452 lb uplift at joint 2 and 1375 lb uplift at joint 9.
- 5) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	HT4	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:34 2001 Page 1

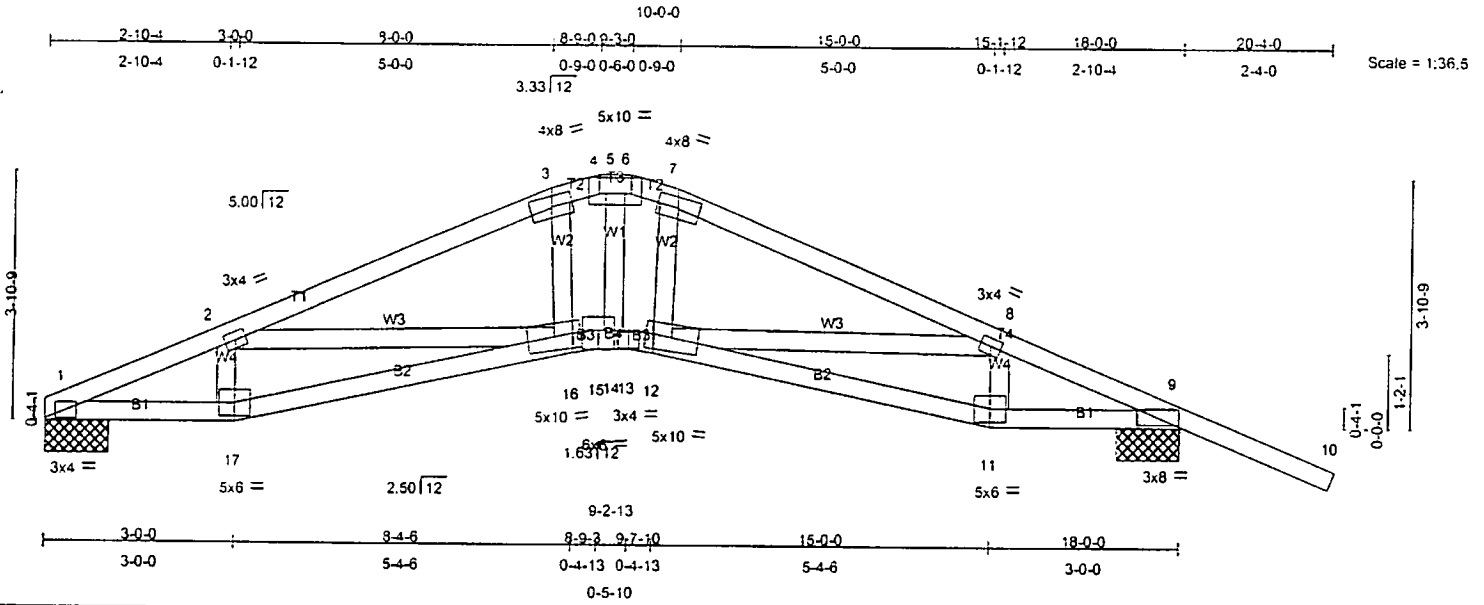


Plate Offsets (X,Y): [4-0-5-0-0-1-3], [9-0-8-2-0-0-6], [15-0-3-0-Edge]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.88	in (loc) l/def	M1120	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.58	Vert(LL) 0.19 16-17 >999		
BCLL 10.0	Lumber Increase 1.33	WB 0.26	Vert(TL) 0.36 9-10 >90		
BCDL 10.0	Rep Stress Incr YES	(Matrix)	Horz(TL) -0.06 9 n/a		
	Code SBC/SBCCI		1st LC LL Min l/def = 360		Weight: 88 lb

LUMBER
 TOP CHORD 2 X 4 SYP M 14 "Except"
 T4 2 X 4 SYP M 21
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3

BRACING
 TOP CHORD Sheathed or 5-0-8 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 5-2-4 oc bracing.

[P]

REACTIONS (lb/size) 1=938/1-0-0, 9=1159/1-0-0
 Max Horz 1=-396(load case 5)
 Max Uplift 1=-915(load case 4), 9=-1423(load case 5)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=-1975, 2-3=-1967, 3-4=-1828, 4-5=-1758, 5-6=-1768, 6-7=-1831, 7-8=-1966, 8-9=-1814, 9-10=64
 BOT CHORD 1-17=1765, 16-17=1803, 15-16=1801, 14-15=1758, 13-14=1756, 12-13=1798, 11-12=1621, 9-11=1589
 WEBS 2-17=-184, 2-16=8, 3-16=45, 5-14=877, 7-12=34, 8-12=188, 8-11=-207

- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 3) Provide adequate drainage to prevent water ponding.
 - 4) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 915 lb uplift at joint 1 and 1423 lb uplift at joint 9.
 - 5) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

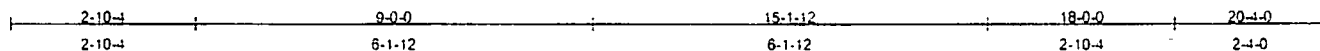
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	T1	COMMON	3	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:35 2001 Page 1



Scale = 1:35.8

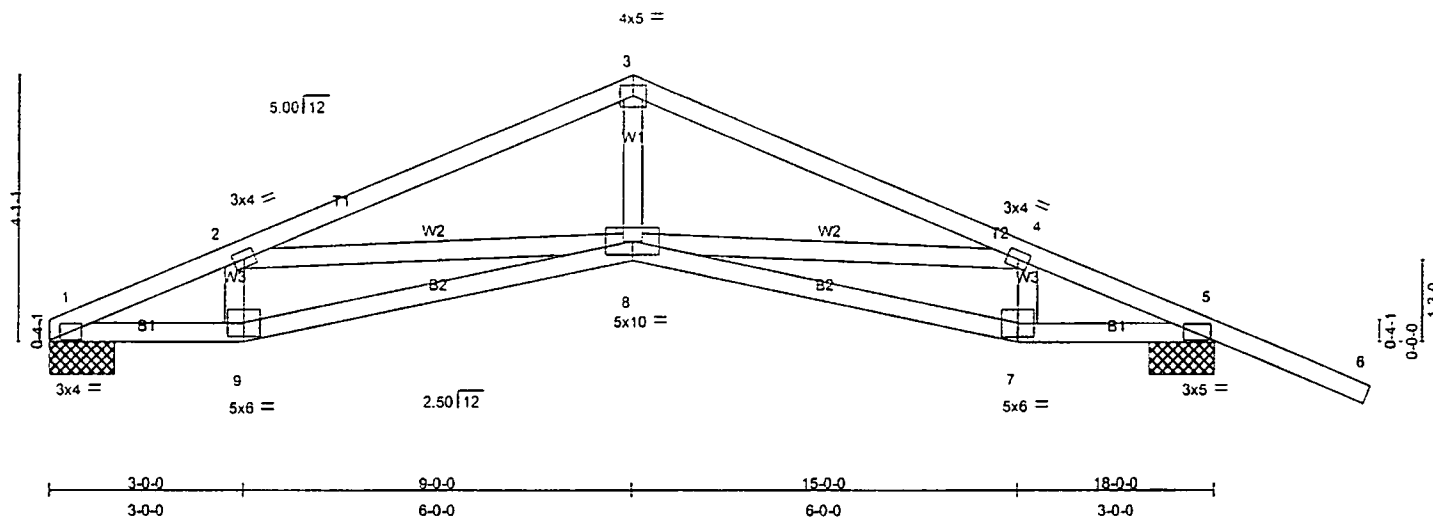


Plate Offsets (X,Y): {5-0-1-12,0-1-8}

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	Plates Increase 1.33	in (loc) Vdef	MII20	249/190
TCDL 15.0	Plates Increase 1.33	TC 0.93	Vert(LL) -0.12 8-9 >999		
BCLL 10.0	Lumber Increase 1.33	BC 0.50	Vert(TL) 0.26 5-6 >127		
BCDL 10.0	Rep Stress Incr YES	WB 0.28	Horz(TL) 0.06 5 n/a		
	Code SBC/SBCCI		1st LC LL Min Vdef = 360	Weight: 84 lb	

LUMBER

TOP CHORD 2 X 4 SYP M 14 *Except*
T2 2 X 4 SYP M 21
BOT CHORD 2 X 4 SYP M 14
WEBS 2 X 4 SYP No.3

BRACING

TOP CHORD Sheathed or 5-0-14 oc purlins.
BOT CHORD Rigid ceiling directly applied or 5-8-12 oc bracing.

[P]

REACTIONS (lb/size) 1=953/1-0-0, 5=1144/1-0-0

Max Horz 1=-421(load case 5)
Max Uplift 1=-893(load case 4), 5=-1404(load case 5)

FORCES (lb) - First Load Case Only

TOP CHORD 1-2=-1863, 2-3=-1769, 3-4=-1769, 4-5=-1863, 5-6=32
BOT CHORD 1-9=1676, 8-9=1692, 7-8=1692, 5-7=1676
WEBS 2-9=-172, 2-8=-23, 3-8=931, 4-8=-23, 4-7=-172

NOTES

- 1) This truss has been checked for unbalanced loading conditions.
- 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
- 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 893 lb uplift at joint 1 and 1404 lb uplift at joint 5.
- 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	T1A	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:36 2001 Page 1

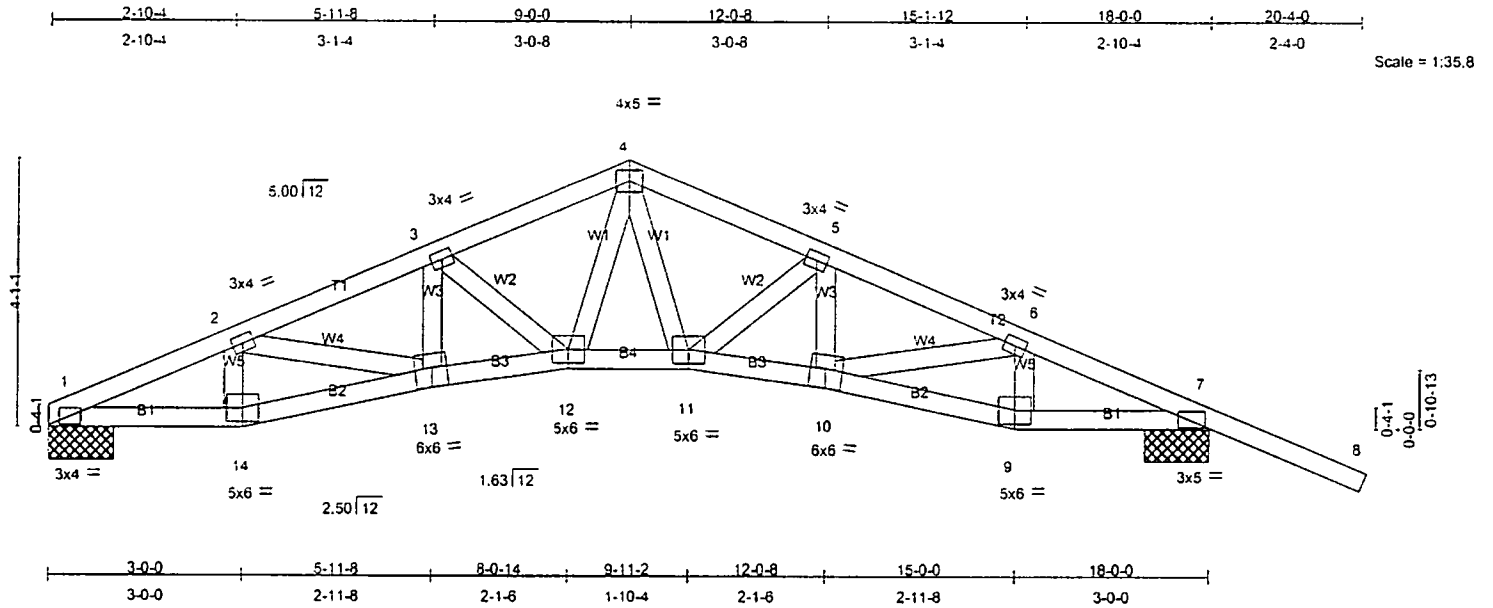


Plate Offsets (X,Y): [7'-0-1-12'-0-1-8]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2'-0-0	TC 0.88	in (loc) V/defl	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.31	Vert(LL) 0.12 12 >999		
BCLL 10.0	Lumber Increase 1.33	WB 0.18	Vert(TL) 0.26 7-8 >126		
BCDL 10.0	Rep Stress Incr YES		Horz(TL) 0.06 7 n/a		
	Code SBC/SBCCI		1st LC LL Min V/defl = 360		
				Weight: 92 lb	

LUMBER

TOP CHORD 2 X 4 SYP M 14 *Except*
T2 2 X 4 SYP M 21
BOT CHORD 2 X 4 SYP M 14
WEBS 2 X 4 SYP No.3

BRACING

TOP CHORD Sheathed or 5'-0-13 oc purlins.
BOT CHORD Rigid ceiling directly applied or 5'-9-5 oc bracing.

[P]

REACTIONS (lb/size) 1=953/1-0-0, 7=1144/1-0-0
Max Horz 1=-421(load case 5)
Max Uplift 1=-893(load case 4), 7=-1404(load case 5)

FORCES (lb) - First Load Case Only

TOP CHORD 1-2=-1863, 2-3=-2069, 3-4=-1745, 4-5=-1745, 5-6=-2069, 6-7=-1863, 7-8=32
BOT CHORD 1-14=1676, 13-14=1684, 12-13=1927, 11-12=1429, 10-11=1927, 9-10=1684, 7-9=1676
WEBS 2-14=-232, 2-13=265, 3-13=138, 3-12=-376, 4-12=592, 4-11=594, 5-11=-375, 5-10=137, 6-10=266, 6-9=-232

NOTES

- 1) This truss has been checked for unbalanced loading conditions.
- 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
- 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 893 lb uplift at joint 1 and 1404 lb uplift at joint 7.
- 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

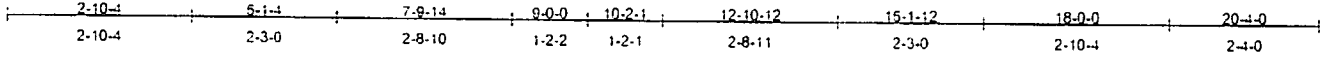
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	T1B	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:38 2001 Page 1



Scale = 1:35.8

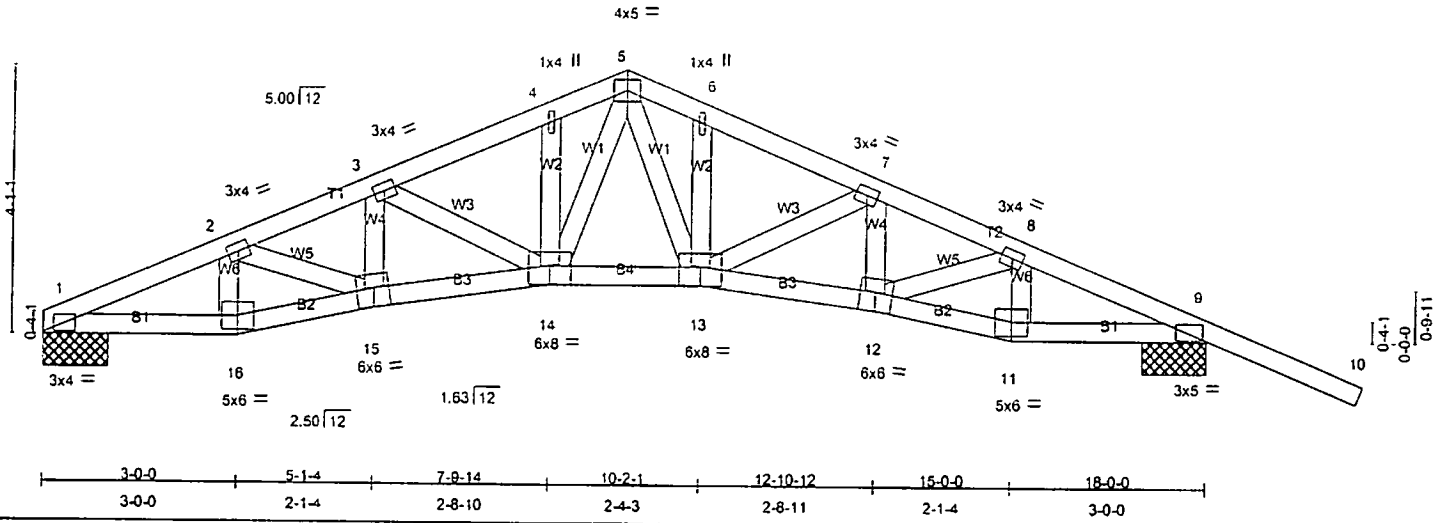


Plate Offsets (X,Y): [9:0-1-12,0-1-8], [14:0-4-0,Edge]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.88	in (loc) l/defl	MH20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.33	Vert(LL) 0.12 14 >999		
BCLL 10.0	Lumber Increase 1.33	WB 0.21	Vert(TL) 0.26 9-10 >126		
BCDL 10.0	Rep Stress Incr YES		Horz(TL) 0.06 9 n/a		
	Code SBC/SBCCI		1st LC LL Min l/defl = 360		
				Weight: 97 lb	

LUMBER
 TOP CHORD 2 X 4 SYP M 14 *Except*
 T2 2 X 4 SYP M 21
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3

BRACING
 TOP CHORD Sheathed or 5-1-1 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 5-7-12 oc bracing.

[P]

REACTIONS (lb/size) 1=953/1-0-0, 9=1144/1-0-0
 Max Horz 1=-421(load case 5)
 Max Uplift 1=-893(load case 4), 9=-1404(load case 5)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=-1863, 2-3=-2077, 3-4=-1767, 4-5=-1767, 5-6=-1767, 6-7=-1767, 7-8=-2077, 8-9=-1863, 9-10=32
 BOT CHORD 1-16=1676, 15-16=1682, 14-15=1935, 13-14=1379, 12-13=1935, 11-12=1682, 9-11=1676
 WEBS 2-16=-249, 2-15=287, 3-15=88, 3-14=-320, 4-14=-136, 5-14=686, 5-13=686, 6-13=-136, 7-13=-320, 7-12=88, 8-12=287, 8-11=-249

- NOTES**
- This truss has been checked for unbalanced loading conditions.
 - This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 893 lb uplift at joint 1 and 1404 lb uplift at joint 9.
 - This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

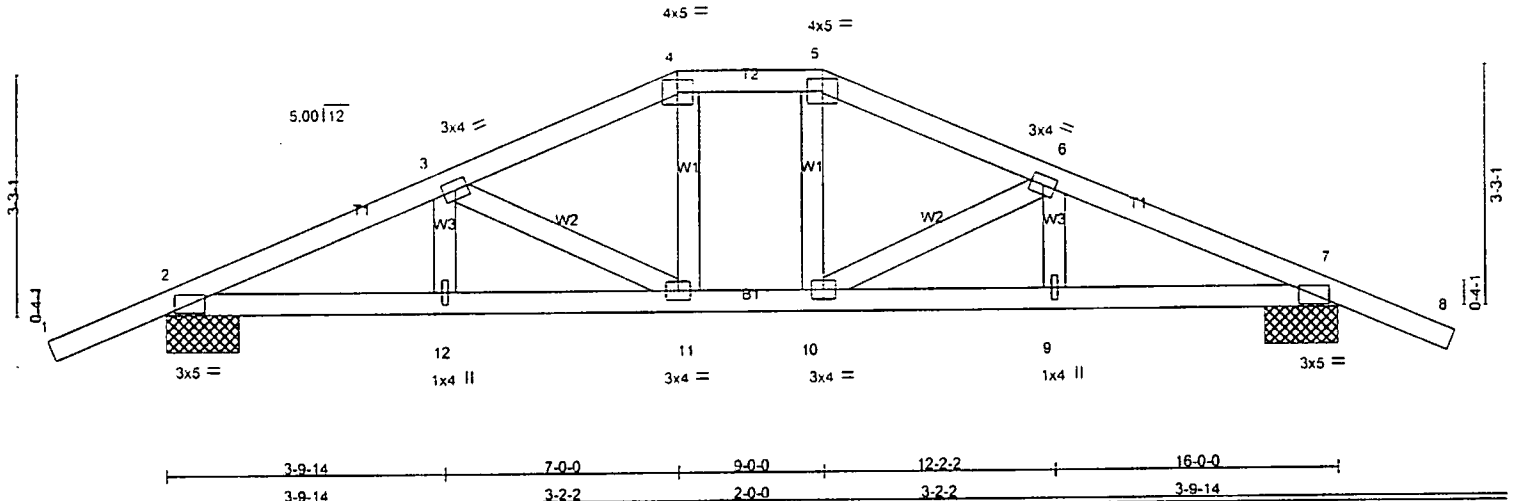
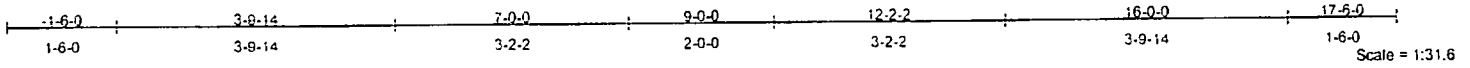
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	H7B	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:39 2001 Page 1



LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.81	in (loc) V/defl	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.40	Vert(LL) 0.12 11-12 >999		
BCLL 10.0	Lumber Increase 1.33	WB 0.18	Vert(TL) -0.12 11-12 >999		
BCDL 10.0	Rep Stress Incr NO	(Matrix)	Horz(TL) 0.04 7 n/a		
	Code SBC/SBCCI		1st LC LL Min V/defl = 360	Weight: 76 lb	

LUMBER

TOP CHORD 2 X 4 SYP M 14 *Except*
T2 2 X 4 SYP No.3
BOT CHORD 2 X 4 SYP M 14
WEBS 2 X 4 SYP No.3

BRACING

TOP CHORD Sheathed or 3-7-8 oc purlins.
BOT CHORD Rigid ceiling directly applied or 5-5-13 oc bracing.

(P)

REACTIONS (lb/size) 2=1331/1-0-0, 7=1331/1-0-0
Max Horz 2=265(load case 4)
Max Uplift 2=-1432(load case 4), 7=-1178(load case 3)

FORCES (lb) - First Load Case Only

TOP CHORD 1-2=41, 2-3=-2364, 3-4=-2043, 4-5=-1877, 5-6=-2043, 6-7=-2364, 7-8=41
BOT CHORD 2-12=2090, 11-12=2090, 10-11=1877, 9-10=2090, 7-9=2090
WEBS 3-12=109, 3-11=-271, 4-11=609, 5-10=609, 6-10=-271, 6-9=109

NOTES

- This truss has been checked for unbalanced loading conditions.
- This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
- Provide adequate drainage to prevent water ponding.
- Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1432 lb uplift at joint 2 and 1178 lb uplift at joint 7.
- This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
- Special hanger(s) or connection(s) required to support concentrated load(s) 37.0lb down and 71.0lb up at 7-0-0, and 37.0lb down and 71.0lb up at 9-0-0 on top chord, and 378.1lb down and 165.2lb up at 7-0-0, and 378.1lb down and 165.2lb up at 9-0-0 on bottom chord. Design for unspecified connection(s) is delegated to the building designer.

LOAD CASE(S) Standard

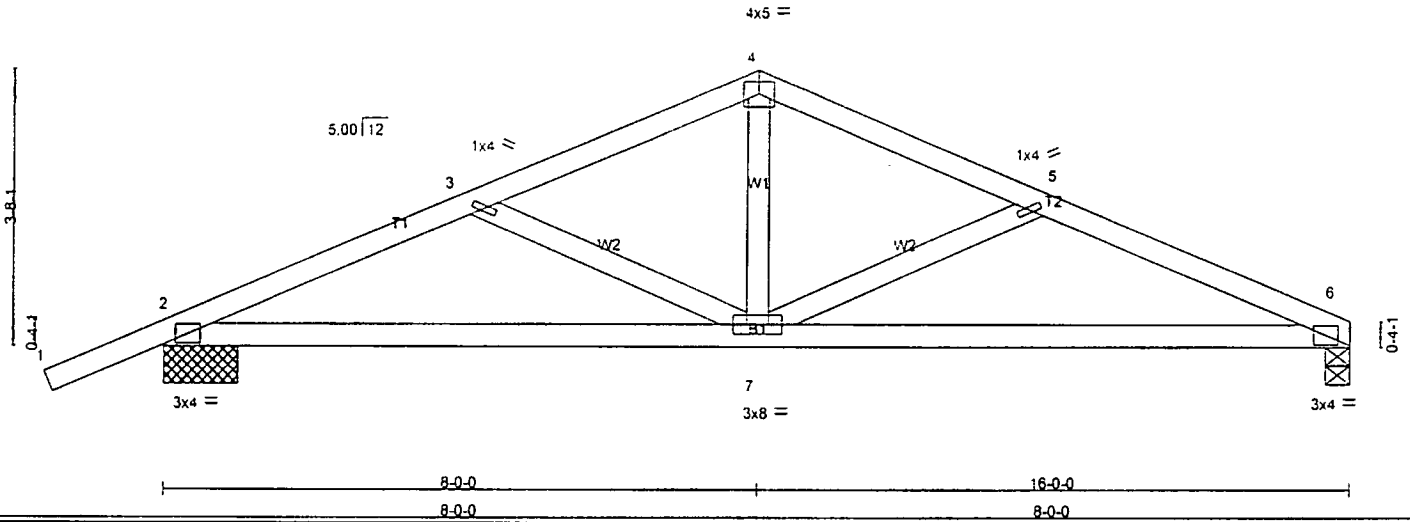
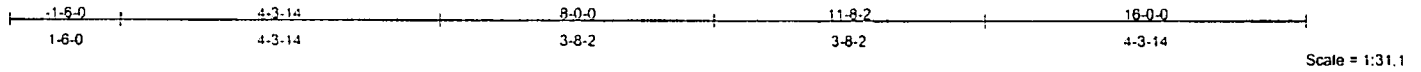
- Regular: Lumber Increase=1.33, Plate Increase=1.33
Uniform Loads (plf)
Vert: 1-4=-70.0, 4-5=-70.0, 5-8=-70.0, 2-7=-40.0
Concentrated Loads (lb)
Vert: 4=23.0 5=23.0 11=-378.1 10=-378.1



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	T2	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:40 2001 Page 1



LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.53	in (loc) l/defl	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.58	Vert(LL) -0.09 2-7 >999		
BCLL 10.0	Lumber Increase 1.33	WB 0.22	Vert(TL) -0.18 2-7 >999		
BCDL 10.0	Rep Stress Incr YES		Horz(TL) -0.03 6 n/a		
	Code SBC/SBCCI		1st LC LL Min l/defl = 360		Weight: 69 lb

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3

BRACING
 TOP CHORD Sheathed or 6-0-0 oc purtins.
 BOT CHORD Rigid ceiling directly applied or 6-1-15 oc bracing.

[P]

REACTIONS (lb/size) 6=853/0-4-0, 2=985/1-0-0
 Max Horz 2=327(load case 4)
 Max Uplift 6=-802(load case 5), 2=-1151(load case 4)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=20, 2-3=-1350, 3-4=-1063, 4-5=-1063, 5-6=-1376
 BOT CHORD 2-7=1225, 6-7=1258
 WEBS 3-7=-268, 4-7=547, 5-7=-305

- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 802 lb uplift at joint 6 and 1151 lb uplift at joint 2.
 - 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

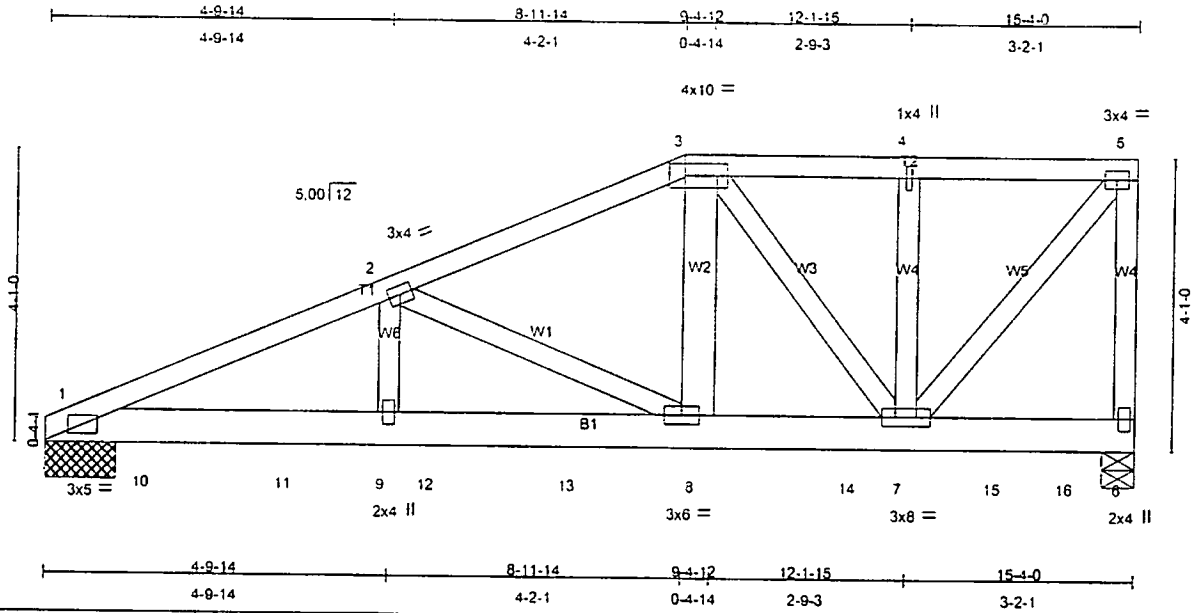
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	MGT2	COMMON	1	2	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:41 2001 Page 1



Scale = 1:32.6

Plate Offsets (X,Y): [3:0-7-4:0-2:0]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.50	in (loc) V/defl	M1120	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.38	Vert(LL) 0.09 8-9 >999		
BCLL 10.0	Lumber Increase 1.33	WB 0.47	Vert(TL) -0.11 8-9 >999		
BCDL 10.0	Rep Stress Incr NO	(Matrix)	Horz(TL) 0.02 6 n/a		
	Code SBC/SBCCI		1st LC LL Min V/defl = 360	Weight: 198 lb	

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 6 SYP M 14
 WEBS 2 X 4 SYP No.3 *Except*
 W2 2 X 6 SYP M 14

BRACING
 TOP CHORD Sheathed or 6-0-0 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing. [P]

REACTIONS (lb/size) 1=2827/1-0-0, 6=3277/0-5-8
 Max Horz 1=524(load case 4)
 Max Uplift 1=-1941(load case 4), 6=-2318(load case 4)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=-5537, 2-3=-3235, 3-4=-2045, 4-5=-2044, 5-6=-2553
 BOT CHORD 1-10=5034, 10-11=5034, 9-11=5034, 9-12=5034, 12-13=5034, 8-13=5034, 8-14=3067, 7-14=3067, 7-15=74, 15-16=74, 6-16=74
 WEBS 2-9=1596, 2-8=-2296, 3-8=2127, 4-7=-152, 5-7=3117, 3-7=-1573

- NOTES**
- This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - Provide adequate drainage to prevent water ponding.
 - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1941 lb uplift at joint 1 and 2318 lb uplift at joint 6.
 - This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - 2-ply truss to be connected together with 10d Common (.148"x3") Nails as follows:
 Top chords connected as follows: 2 X 4 - 1 row at 0-9-0 oc.
 Bottom chords connected as follows: 2 X 6 - 2 rows at 0-9-0 oc.
 Webs connected as follows: 2 X 4 - 1 row at 0-9-0 oc, 2 X 6 - 2 rows at 0-9-0 oc.
 - Special hanger(s) or connection(s) required to support concentrated load(s) 371.9lb down and 227.7lb up at 1-4-12, 527.6lb down and 336.2lb up at 3-4-12, 627.6lb down and 336.2lb up at 5-4-12, 627.6lb down and 336.2lb up at 7-4-12, 403.6lb down and 212.4lb up at 9-4-12, 620.5lb down and 335.4lb up at 11-4-12, and 594.5lb down and 336.0lb up at 13-4-12, and 597.5lb down and 337.3lb up at 14-4-12 on bottom chord. Design for unspecified connection(s) is delegated to the building designer.

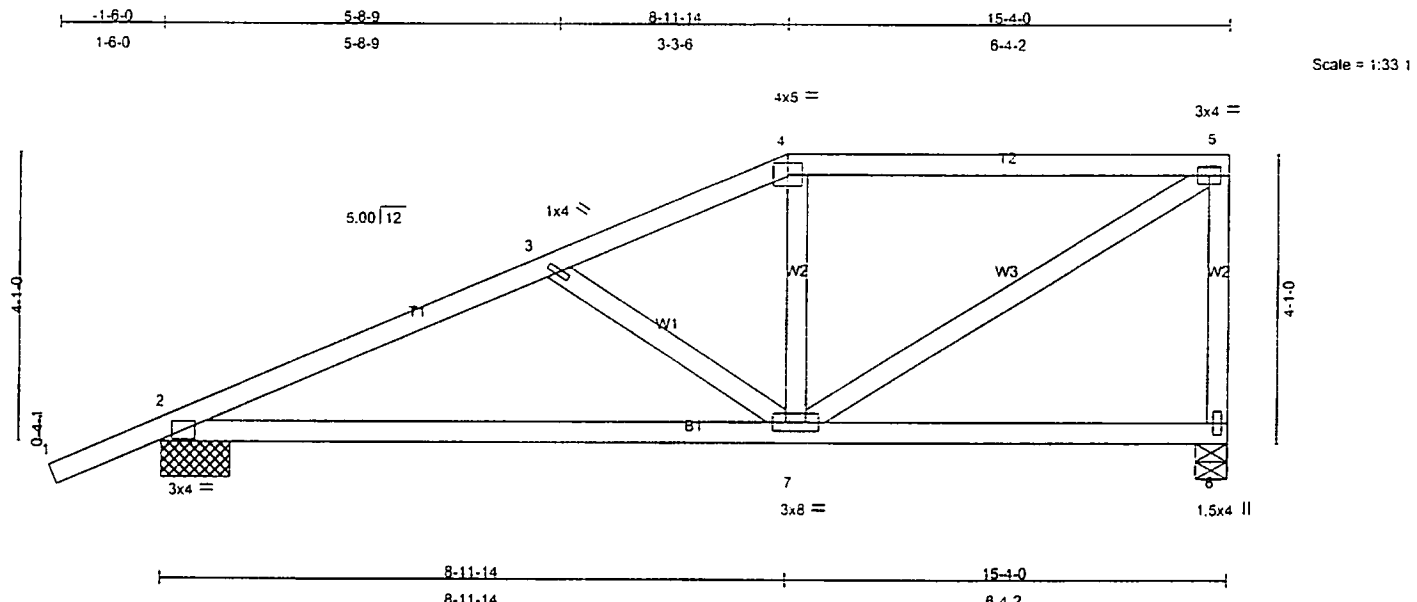
LOAD CASE(S) Standard
 1) Regular: Lumber Increase=1.33, Plate Increase=1.33
 Uniform Loads (plf)
 Vert: 1-3=-70.0, 3-5=-70.0, 1-6=-40.0
 Concentrated Loads (lb)
 Vert: 8=-403.6 10=-371.9 11=-627.6 12=-627.6 13=-627.6 14=-620.5 15=-594.5 16=-597.5



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	MHT2	COMMON COM	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:42 2001 Page 1



LOADING (psf)	SPACING 2-0-0	CSI	DEFL in (loc) l/defl	PLATES	GRIP
TCLL 20.0	Plates Increase 1.33	TC 0.94	Vert(LL) -0.14 2-7 >999	MII20	249/190
TCDL 15.0	Lumber Increase 1.33	BC 0.56	Vert(TL) -0.28 2-7 >641		
BCLL 10.0	Rep Stress Incr YES	WB 0.98	Horz(TL) -0.02 6 n/a		
BCDL 10.0	Code SBC/SBCCI		1st LC LL Min l/defl = 360		
				Weight: 76 lb	

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3

BRACING
 TOP CHORD Sheathed or 6-0-0 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 5-8-8 oc bracing.

REACTIONS (lb/size) 6=817/0-5-8, 2=949/1-0-0
 Max Horz 2=657(load case 4)
 Max Uplift 6=-969(load case 4), 2=-1187(load case 4)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=20, 2-3=-1117, 3-4=-831, 4-5=-766, 5-6=-696
 BOT CHORD 2-7=1018, 6-7=0
 WEBS 3-7=-302, 4-7=-17, 5-7=904

- NOTES**
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 2) Provide adequate drainage to prevent water ponding.
 - 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 969 lb uplift at joint 6 and 1187 lb uplift at joint 2.
 - 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	T2A	COMMON	4	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:43 2001 Page 1

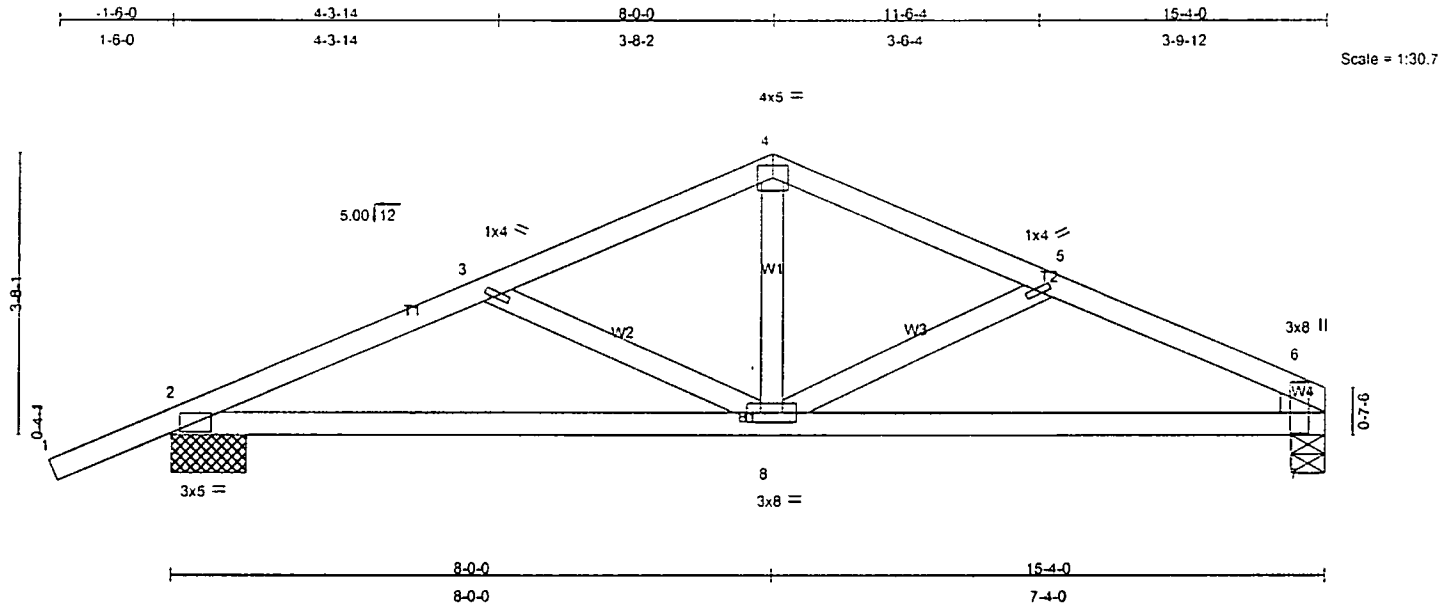


Plate Offsets (X,Y): (6;0-2-10,0-3-5)

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.69	in (loc) l/defl	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.41	Vert(LL) -0.08 2-8 >999		
BCLL 10.0	Lumber Increase 1.33	WB 0.18	Vert(TL) -0.16 2-8 >999		
BCDL 10.0	Rep Stress Incr YES	(Matrix)	Horz(TL) -0.02 7 n/a		
	Code SBC/SBCCI		1st LC LL Min l/defl = 360		
				Weight: 67 lb	

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3 *Except*
 W4 2 X 8 SYP DSS

BRACING
 TOP CHORD Sheathed or 6-0-0 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 6-6-10 oc bracing.

[P]

REACTIONS (lb/size) 2=949/1-0-0, 7=800/0-5-8
 Max Horz 2=362(load case 4)
 Max Uplift 2=-1144(load case 4), 7=-740(load case 5)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=41, 2-3=-1367, 3-4=-1071, 4-5=-1048, 5-6=-1254, 6-7=-651
 BOT CHORD 2-8=1210, 7-8=1087
 WEBS 3-8=-294, 4-8=480, 5-8=-161

NOTES

- 1) This truss has been checked for unbalanced loading conditions.
- 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
- 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1144 lb uplift at joint 2 and 740 lb uplift at joint 7.
- 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

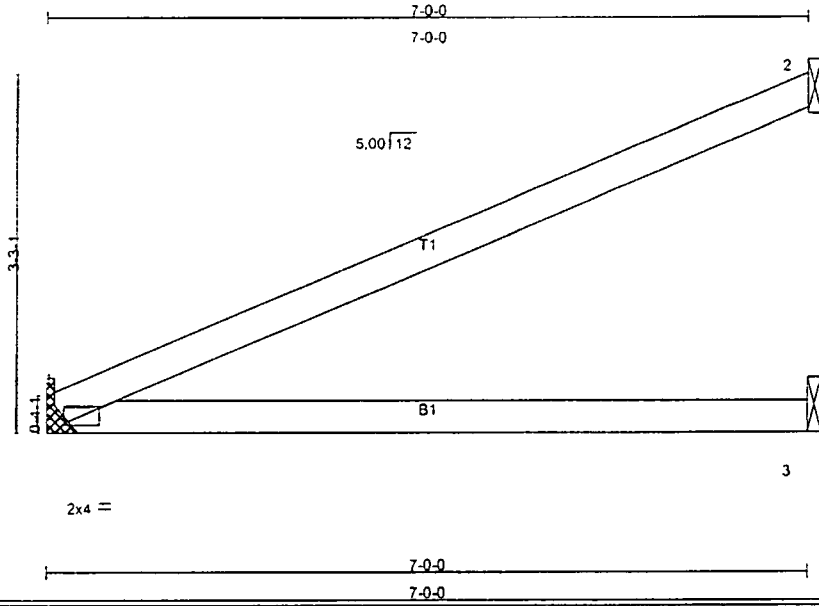
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	EJ7A	COMMON	3	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:44 2001 Page 1



Scale = 1:21.2

LOADING (psf)	SPACING	CSI	DEFL	in (loc)	V/defl	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.85	Vert(LL)	-0.11	1-3	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.33	Vert(TL)	-0.21	1-3		
BCLL 10.0	Lumber Increase 1.33	WB 0.00	Horz(TL)	-0.00	2		
BCDL 10.0	Rep Stress Incr YES	(Matrix)	1st LC LL Min V/defl	= 360			
	Code SBC/SBCCI					Weight: 22 lb	

LUMBER
 TOP CHORD 2 X 4 SYP SS
 BOT CHORD 2 X 4 SYP M 14

BRACING
 TOP CHORD Sheathed or 4-8-6 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size) 1=374/Mechanical, 2=238/Mechanical, 3=136/Mechanical
 Max Horz 1=413(load case 5)
 Max Uplift 1=-323(load case 5), 2=-535(load case 5)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=75
 BOT CHORD 1-3=0

- NOTES**
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 2) Refer to girder(s) for truss to truss connections.
 - 3) Refer to girder(s) for truss to truss connections.
 - 4) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 323 lb uplift at joint 1 and 535 lb uplift at joint 2.
 - 5) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

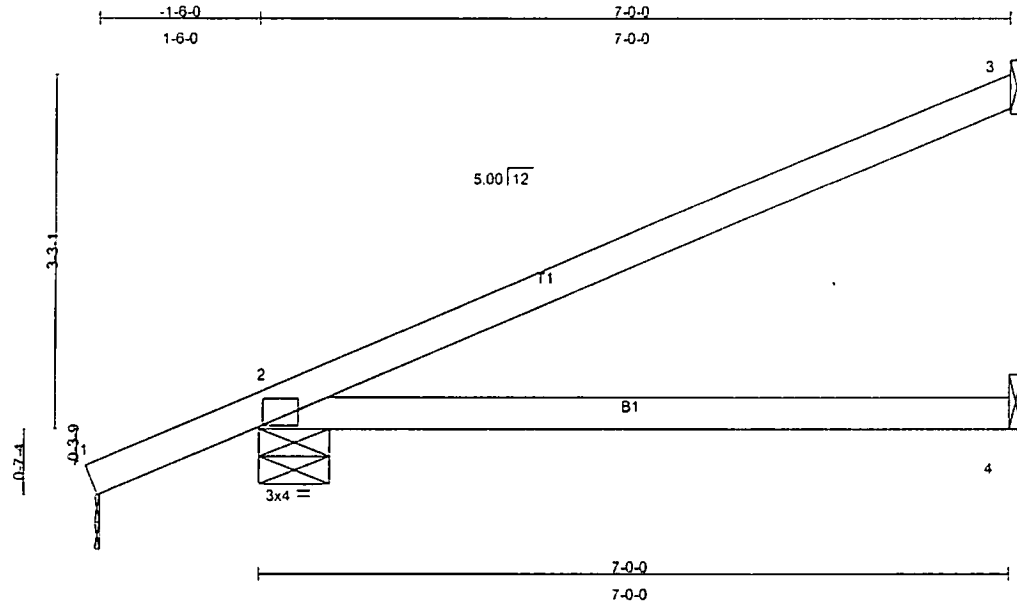
LOAD CASE(S) Standard

JOHN CLARK WEBER
 FEB 7 0 2002
John Weber

Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	EJ7	COMMON	23	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:45 2001 Page 1



Scale = 1:21.5

Plate Offsets (X,Y): [2,0-0-8,0-1-8]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.62	in (loc) V/defl	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.31	Vert(LL) -0.09 2-4 >843		
BCLL 10.0	Lumber Increase 1.33	WB 0.00	Vert(TL) -0.19 2-4 >422		
BCDL 10.0	Rep Stress Incr YES	(Matrix)	Horz(TL) -0.00 3 n/a		
	Code SBC/SBCCI		1st LC LL Min V/defl = 360	Weight: 24 lb	

LUMBER

TOP CHORD 2 X 4 SYP SS
BOT CHORD 2 X 4 SYP M 14

BRACING

TOP CHORD Sheathed or 6-0-0 oc purlins.
BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size) 1=-86/0-0-8, 3=184/Mechanical, 2=661/0-8-0, 4=132/Mechanical

Max Horz 2=460(load case 5)

Max Uplift 1=-86(load case 1), 3=-420(load case 5), 2=-837(load case 5)

Max Grav 1=314(load case 5), 3=184(load case 1), 2=661(load case 1), 4=132(load case 1)

FORCES (lb) - First Load Case Only

TOP CHORD 1-2=77, 2-3=56

BOT CHORD 2-4=0

NOTES

- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
- 2) Refer to girder(s) for truss to truss connections.
- 3) Bearing at joint(s) 1 considers parallel to grain value using ANSI/TPI 1-1995 angle to grain formula. Building designer should verify capacity of bearing surface.
- 4) Provide mechanical connection (by others) of truss to bearing plate at joint(s) 1.
- 5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 86 lb uplift at joint 1, 420 lb uplift at joint 3 and 837 lb uplift at joint 2.
- 6) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

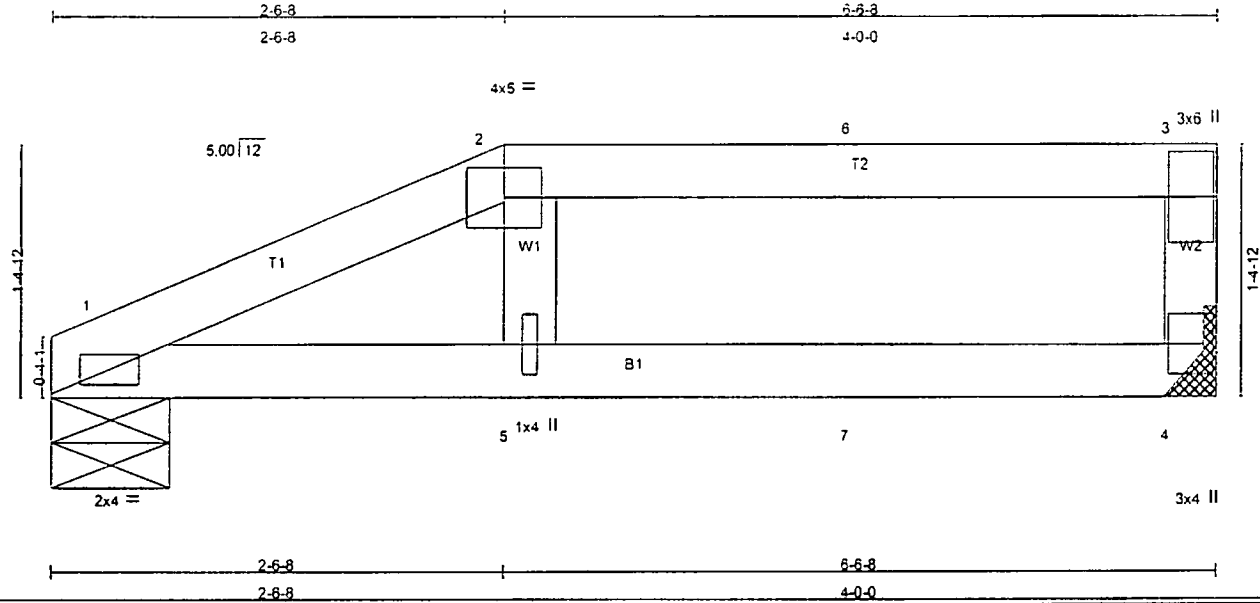
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	MH2	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:46 2001 Page 1



Scale = 1:13.0

LOADING (psf)	SPACING 2'-0"-0	CSI	DEFL in (loc) l/defl	PLATES	GRIP
TCLL 20.0	Plates Increase 1.33	TC 0.57	Vert(LL) 0.06 5 >999	MH20	249/190
TCDL 15.0	Lumber Increase 1.33	BC 0.56	Vert(TL) 0.06 5 >999		
BCLL 10.0	Rep Stress Incr NO	WB 0.05	Horz(TL) -0.00 4 n/a		
BCDL 10.0	Code SBC/SBCCI	(Matrix)	1st LC LL Min l/defl = 360	Weight: 22 lb	

LUMBER

TOP CHORD 2 X 4 SYP No.3 *Except*
T2 2 X 4 SYP M 14
BOT CHORD 2 X 4 SYP No.3
WEBS 2 X 4 SYP M 14 *Except*
W1 2 X 4 SYP No.3

BRACING

TOP CHORD Sheathed or 6'-0"-0 oc purlins, except end verticals.
BOT CHORD Rigid ceiling directly applied or 7'-7"-7 oc bracing.

[P]

REACTIONS (lb/size) 1=268/0-8-0, 4=297/Mechanical
Max Horz 1=156(load case 4)
Max Uplift 1=-372(load case 4), 4=-403(load case 4)

FORCES (lb) - First Load Case Only
TOP CHORD 1-2=-318, 2-6=-270, 3-6=-269, 3-4=-178
BOT CHORD 1-5=259, 5-7=270, 4-7=270
WEBS 2-5=78

- NOTES**
- This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
 - Provide adequate drainage to prevent water ponding.
 - Refer to girder(s) for truss to truss connections.
 - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 372 lb uplift at joint 1 and 403 lb uplift at joint 4.
 - This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - Special hanger(s) or connection(s) required to support concentrated load(s) 115.9lb up at 2'-6"-8, and 20.3lb up at 4'-7"-4 on top chord, and 12.8lb down at 2'-6"-8, and 1.5lb down at 4'-7"-4 on bottom chord. Design for unspecified connection(s) is delegated to the building designer.

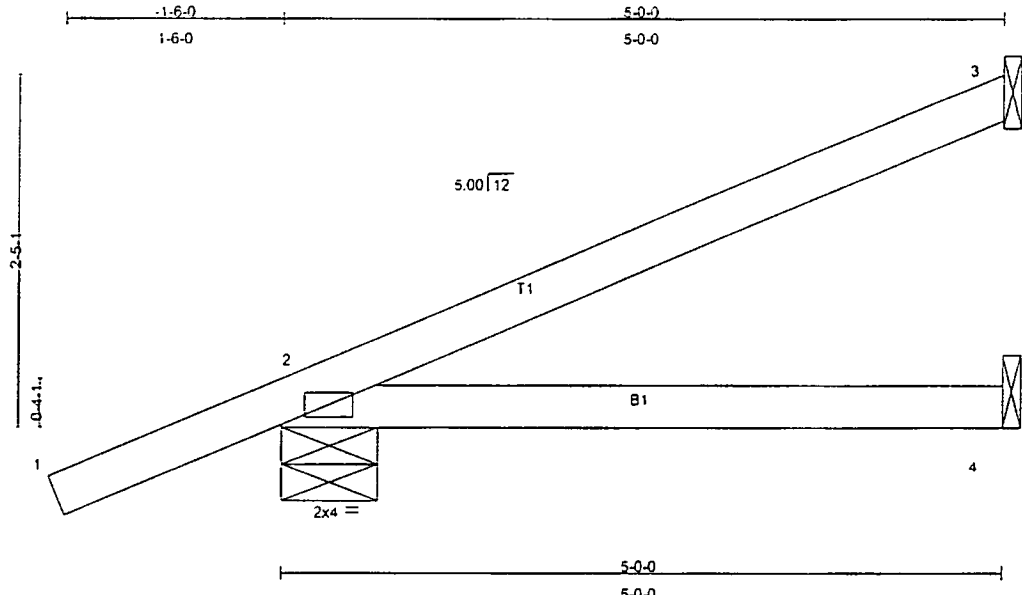
LOAD CASE(S) Standard
1) Regular: Lumber Increase=1.33, Plate Increase=1.33
Uniform Loads (plf)
Vert: 1-2=-70.0, 2-3=-70.0, 1-4=-40.0
Concentrated Loads (lb)
Vert: 2=115.9 5=-12.8 7=-1.5



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	EJ5	COMMON	11	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:46 2001 Page 1



LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.54	in (loc) l/defl	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.15	Vert(LL) -0.02 2-4 >999		
BCLL 10.0	Lumber Increase 1.33	WB 0.00	Vert(TL) 0.17 1-2 >134		
BCDL 10.0	Rep Stress Incr YES	(Matrix)	Horz(TL) -0.00 3 n/a		
	Code SBC/SBCCI		1st LC LL Min l/defl = 360	Weight: 18 lb	

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14

BRACING
 TOP CHORD Sheathed or 5-0-0 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size) 3=134/Mechanical, 2=413/0-8-0, 4=92/Mechanical
 Max Horz 2=332(load case 5)
 Max Uplift 3=-347(load case 5), 2=-536(load case 4)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=41, 2-3=42
 BOT CHORD 2-4=0

- NOTES**
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 2) Refer to girder(s) for truss to truss connections.
 - 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 347 lb uplift at joint 3 and 536 lb uplift at joint 2.
 - 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

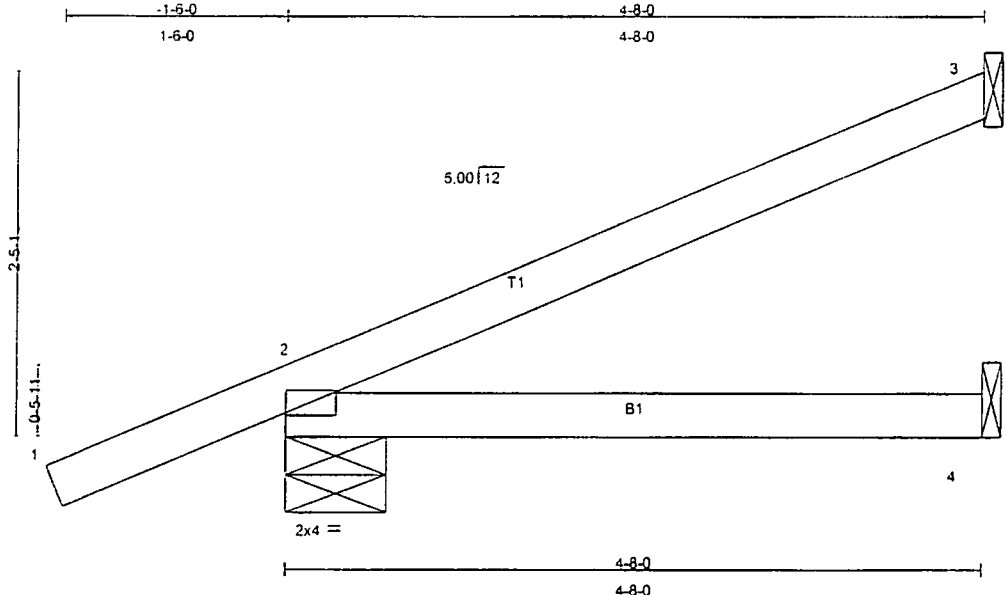
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	J5	COMMON	8	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:47 2001 Page 1



LOADING (psf)	SPACING 2-0-0	CSI	DEFL in (loc) l/defl	PLATES	GRIP
TCLL 20.0	Plates Increase 1.33	TC 0.51	Vert(LL) -0.02 2-4 >999	MII20	249/190
TCDL 15.0	Lumber Increase 1.33	BC 0.13	Vert(TL) 0.15 1-2 >156		
BCLL 10.0	Rep Stress Incr YES	WB 0.00	Horz(TL) -0.00 3 n/a		
BCDL 10.0	Code SBC/SBCCI	(Matrix)	1st LC LL Min l/defl = 360		Weight: 17 lb

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14

BRACING
 TOP CHORD Sheathed or 4-8-0 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size) 3=120/Mechanical, 2=396/0-8-0, 4=85/Mechanical
 Max Horz 2=324(load case 5)
 Max Uplift 3=-330(load case 5), 2=-526(load case 4)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=32, 2-3=40
 BOT CHORD 2-4=0

- NOTES**
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 2) Refer to girder(s) for truss to truss connections.
 - 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 330 lb uplift at joint 3 and 526 lb uplift at joint 2.
 - 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

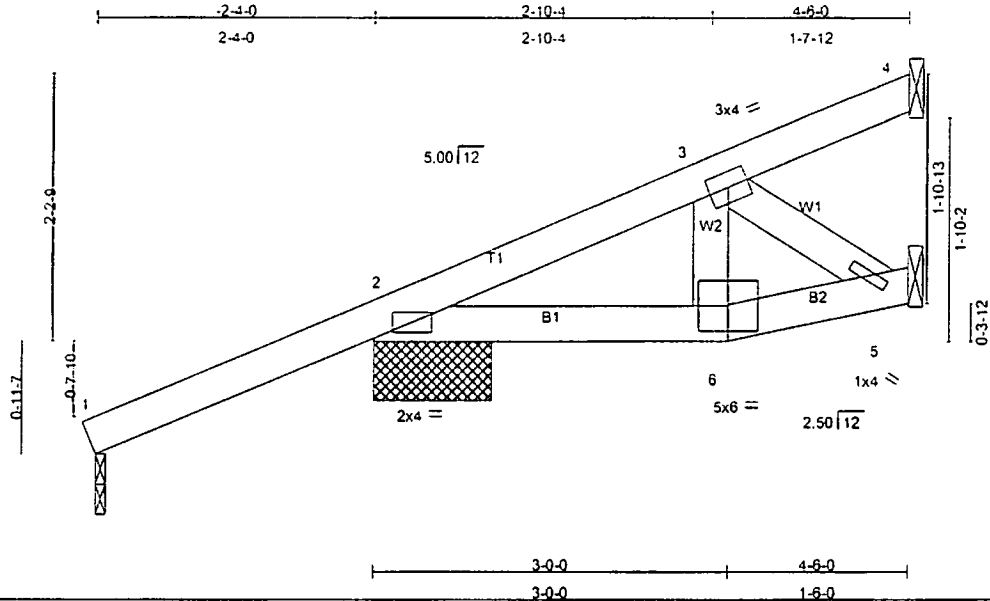
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	EJ4	COMMON	3	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:48 2001 Page 1



Scale = 1:19.5

LOADING (psf)	SPACING 2-0-0	CSI	DEFL in (loc) l/defl	PLATES	GRIP
TCLL 20.0	Plates Increase 1.33	TC 0.17	Vert(LL) -0.00 2-6 >999	MI120	249/190
TCDL 15.0	Lumber Increase 1.33	BC 0.07	Vert(TL) -0.01 2-6 >999		
BCLL 10.0	Rep Stress Incr YES	WB 0.07	Horz(TL) -0.00 5 n/a		
BCDL 10.0	Code SBC/SBCCI	(Matrix)	1st LC LL Min l/defl = 360	Weight: 22 lb	

LUMBER

TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3

BRACING

TOP CHORD Sheathed or 4-6-0 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

(P)

REACTIONS (lb/size) 1=94/0-1-0, 4=45/Mechanical, 2=380/1-0-0, 5=166/Mechanical

Max Horz 2=356(load case 4)

Max Uplift 1=-138(load case 4), 4=-98(load case 5), 2=-389(load case 4), 5=-158(load case 4)

FORCES (lb) - First Load Case Only

TOP CHORD 1-2=47, 2-3=-224, 3-4=13

BOT CHORD 2-6=160, 5-6=174

WEBS 3-6=46, 3-5=-195

NOTES (6)

- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
- 2) Refer to girder(s) for truss to truss connections.
- 3) Provide mechanical connection (by others) of truss to bearing plate at joint(s) 1.
- 4) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 138 lb uplift at joint 1, 98 lb uplift at joint 4, 389 lb uplift at joint 2 and 158 lb uplift at joint 5.
- 5) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
- 6) Provide structural fascia by others to support overhang.

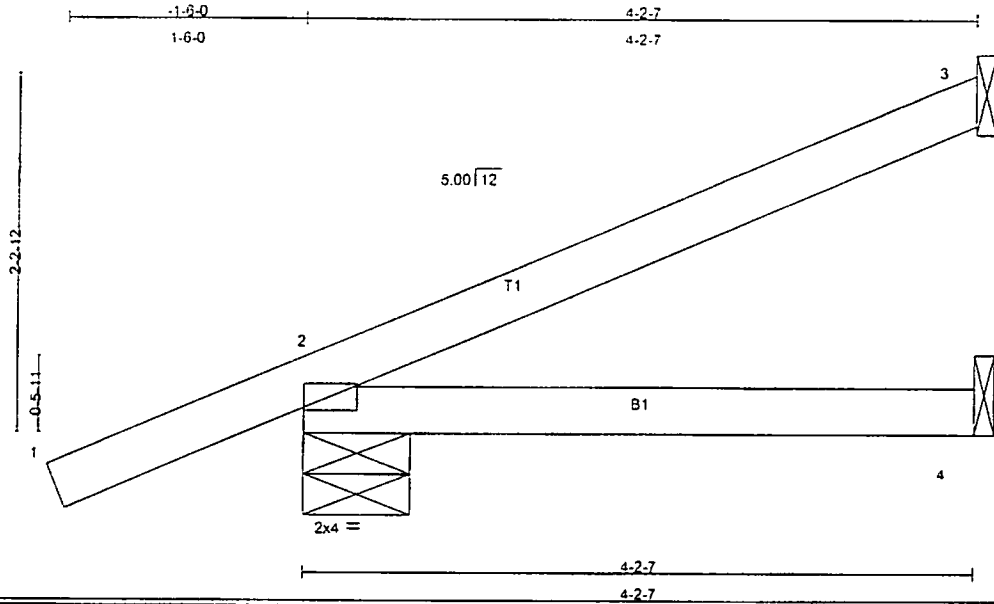
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	J4	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:49 2001 Page 1



Scale = 1:14.5

LOADING (psf)	SPACING 2-0-0	CSI	DEFL in (loc) V/defl	PLATES	GRIP
TCLL 20.0	Plates Increase 1.33	TC 0.51	Vert(LL) -0.01 2-4 >999	MII20	249/190
TCDL 15.0	Lumber Increase 1.33	BC 0.10	Vert(TL) 0.16 1-2 >145		
BCLL 10.0	Rep Stress Incr YES	WB 0.00	Horz(TL) -0.00 3 n/a		
BCDL 10.0	Code SBC/SBCCI	(Matrix)	1st LC LL Min V/defl = 360	Weight: 16 lb	

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14

BRACING
 TOP CHORD Sheathed or 4-2-7 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size) 3=100/Mechanical, 2=374/0-8-0, 4=76/Mechanical
 Max Horz 2=296(load case 5)
 Max Uplift 3=-291(load case 5), 2=-525(load case 4)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=32, 2-3=33
 BOT CHORD 2-4=0

- NOTES**
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 2) Refer to girder(s) for truss to truss connections.
 - 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 291 lb uplift at joint 3 and 525 lb uplift at joint 2.
 - 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

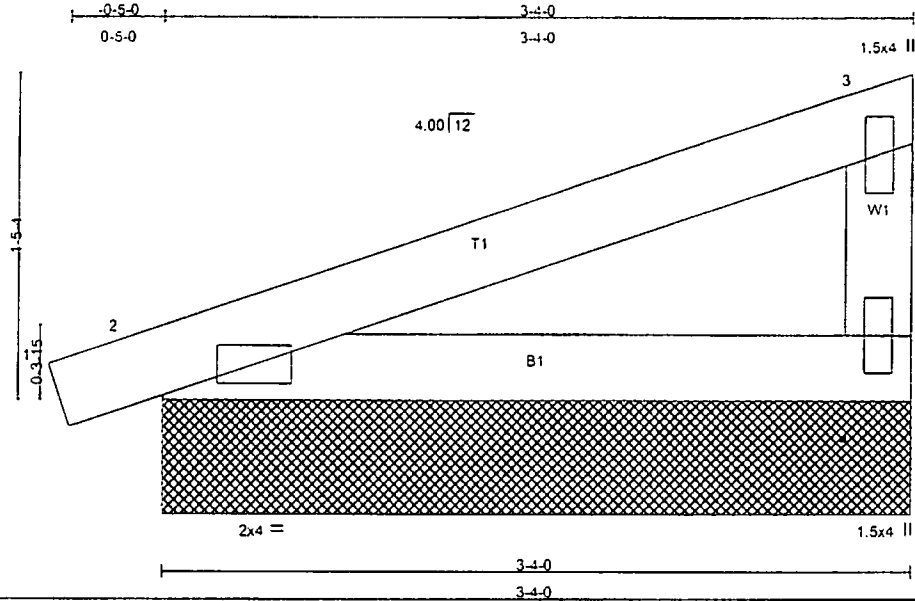
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	MGE2	ROOF TRUSS	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:50 2001 Page 1



Scale = 1:10.3

LOADING (psf)	SPACING 2-0-0	CSI	DEFL in (loc) l/defl	PLATES	GRIP
TCLL 20.0	Plates Increase 1.33	TC 0.17	Vert(LL) n/a - n/a	MII20	249/190
TCDL 15.0	Lumber Increase 1.33	BC 0.05	Vert(TL) 0.00 1 >999		
BCLL 10.0	Rep Stress Incr NO	WB 0.00	Horz(TL) -0.00 2 n/a		
BCDL 10.0	Code SBC/SBCCI		1st LC LL Min l/defl = 360	Weight: 12 lb	

LUMBER
TOP CHORD 2 X 4 SYP M 14
BOT CHORD 2 X 4 SYP M 14
WEBS 2 X 4 SYP No.3

BRACING
TOP CHORD Sheathed or 3-4-0 oc purlins, except end verticals.
BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size) 4=175/3-4-0, 2=208/3-4-0
Max Horz 4=179(load case 2)
Max Uplift 4=-220(load case 2), 2=-254(load case 2)

FORCES (lb) - First Load Case Only
TOP CHORD 1-2=4, 2-3=0, 3-4=-112
BOT CHORD 2-4=-0

- NOTES**
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
 - 2) Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see MiTek "Standard Gable End Detail"
 - 3) Gable requires continuous bottom chord bearing.
 - 4) Gable studs spaced at 2-0-0 oc.
 - 5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 220 lb uplift at joint 4 and 254 lb uplift at joint 2.
 - 6) This truss has been designed for both TPI-35 and ANSI/TP1 1-1995 plating criteria.

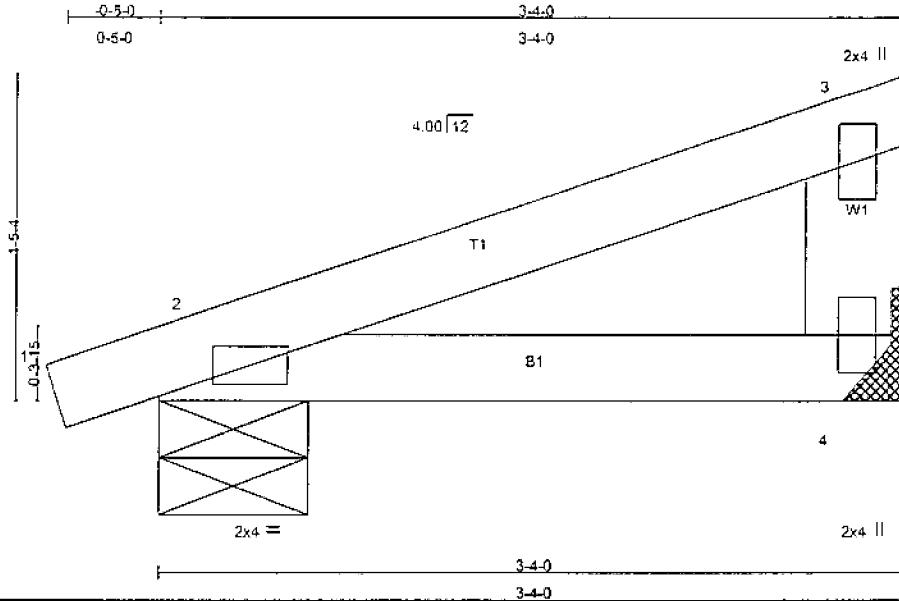
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	MT1	COMMON	2	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MITek Industries, Inc. Sat Dec 08 11:31:50 2001 Page 1



Scale = 1:10.3

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.17	in (loc) Vdefl	MI120	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.05	Vert(LL) -0.00 2-4 >999		
BCLL 10.0	Lumber Increase 1.33	WB 0.00	Vert(TL) 0.01 1-2 >888		
BCDL 10.0	Rep Stress Incr YES	(Matrix)	Horz(TL) 0.00 n/a		
	Code SBC/SBCCI		1st LC LL Min Vdefl = 360	Weight: 13 lb	

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 6 SYP M 14

BRACING
 TOP CHORD Sheathed or 3-4-0 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

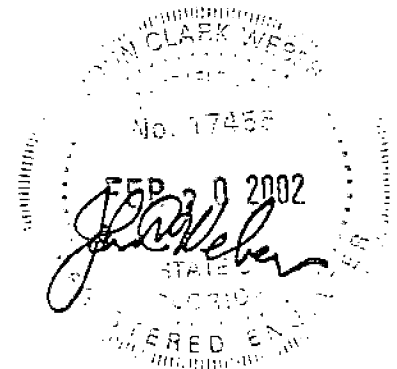
{P}

REACTIONS (lb/size) 2=216/0-3-0, 4=144/Mechanical
 Max Horz 2=175(load case 2)
 Max Uplift 2=-311(load case 2), 4=-175(load case 2)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=9, 2-3=25, 3-4=-89
 BOT CHORD 2-4=0

- NOTES**
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 2) Refer to girder(s) for truss to truss connections.
 - 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 311 lb uplift at joint 2 and 175 lb uplift at joint 4.
 - 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

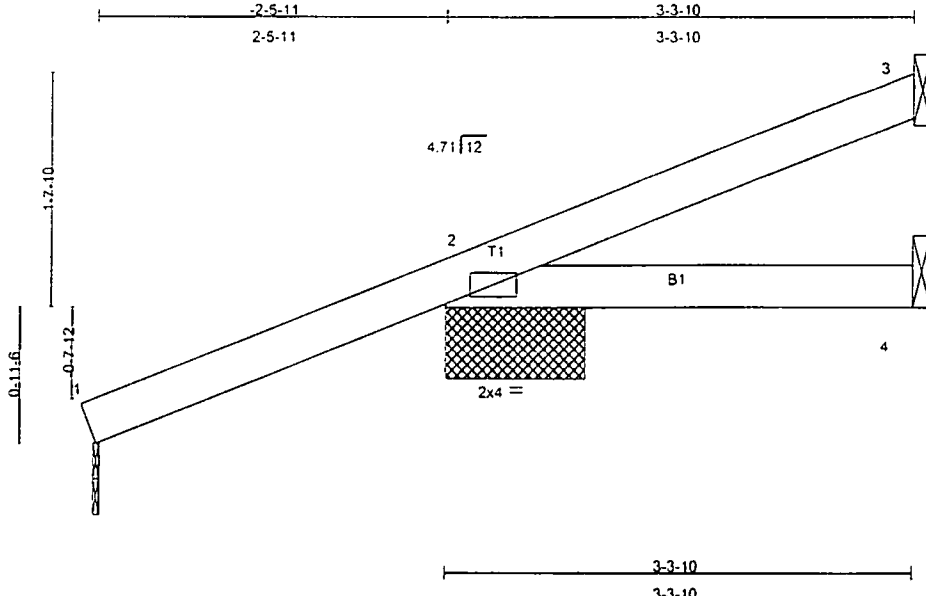
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	EJ3	COMMON	2	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:51 2001 Page 1



Scale = 1:16.4

LOADING (psf)	SPACING 2-0-0	CSI	DEFL in (loc) 1/defl	PLATES	GRIP
TCLL 20.0	Plates Increase 1.33	TC 0.18	Vert(LL) -0.00 2-4 >999	MII20	249/190
TCDL 15.0	Lumber Increase 1.33	BC 0.06	Vert(TL) -0.01 2-4 >999		
BCLL 10.0	Rep Stress Incr YES	WB 0.00	Horz(TL) -0.00 3 n/a		
BCDL 10.0	Code SBC/SBCCI	(Matrix)	1st LC LL Min 1/defl = 360		Weight: 14 lb

LUMBER
TOP CHORD 2 X 4 SYP M 14
BOT CHORD 2 X 4 SYP M 14

BRACING
TOP CHORD Sheathed or 3-3-10 oc purlins.
BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size) 1=97/0-0-8, 3=74/Mechanical, 2=343/1-0-0, 4=58/Mechanical
Max Horz 2=260(load case 5)
Max Uplift 1=-152(load case 4), 3=-191(load case 5), 2=-291(load case 5)

FORCES (lb) - First Load Case Only
TOP CHORD 1-2=49, 2-3=-53
BOT CHORD 2-4=0

NOTES (7)

- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
- 2) Refer to girder(s) for truss to truss connections.
- 3) Bearing at joint(s) 1 considers parallel to grain value using ANSI/TPI 1-1995 angle to grain formula. Building designer should verify capacity of bearing surface.
- 4) Provide mechanical connection (by others) of truss to bearing plate at joint(s) 1.
- 5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 152 lb uplift at joint 1, 191 lb uplift at joint 3 and 291 lb uplift at joint 2.
- 6) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
- 7) Provide structural fascia by others to support overhang.

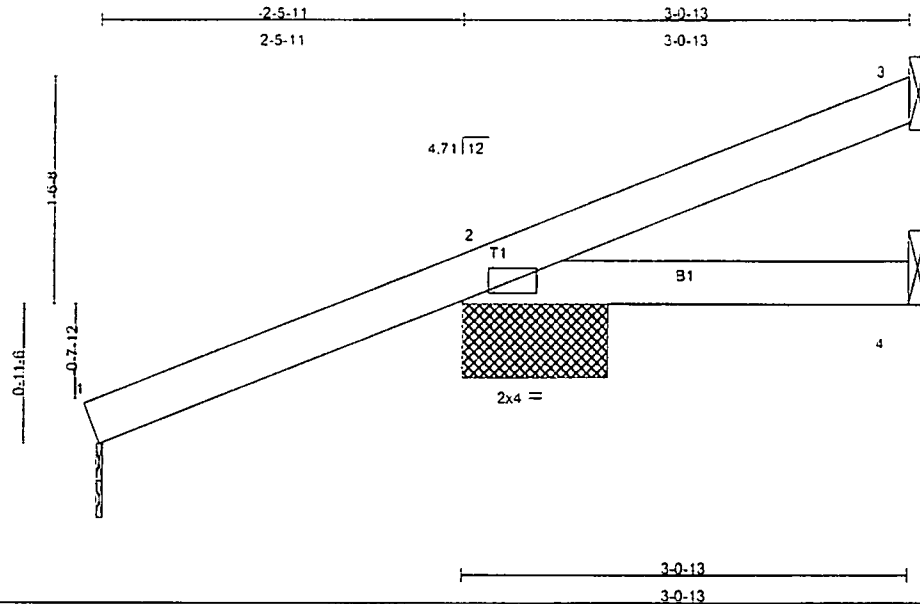
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	J2A	COMMON	2	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:52 2001 Page 1



Scale: 3/4"=1'

LOADING (psf)	SPACING 2-0-0	CSI	DEFL in (loc) l/defl	PLATES	GRIP
TCLL 20.0	Plates Increase 1.33	TC 0.16	Vert(LL) -0.00 2-4 >999	MII20	249/190
TCDL 15.0	Lumber Increase 1.33	BC 0.05	Vert(TL) -0.01 2-4 >999		
BCLL 10.0	Rep Stress Incr YES	WB 0.00	Horz(TL) -0.00 3 n/a		
BCDL 10.0	Code SBC/SBCCI	(Matrix)	1st LC LL Min l/defl = 360	Weight: 14 lb	

LUMBER

TOP CHORD 2 X 4 SYP M 14
BOT CHORD 2 X 4 SYP M 14

BRACING

TOP CHORD Sheathed or 3-0-13 oc purlins.
BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

(P)

REACTIONS (lb/size) 1=99/0-0-8, 3=65/Mechanical, 2=328/1-0-0, 4=53/Mechanical
Max Horz 2=247(load case 5)
Max Uplift 1=-154(load case 4), 3=-175(load case 5), 2=-284(load case 4)

FORCES (lb) - First Load Case Only

TOP CHORD 1-2=49, 2-3=-50
BOT CHORD 2-4=0

NOTES (7)

- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
- 2) Refer to girder(s) for truss to truss connections.
- 3) Bearing at joint(s) 1 considers parallel to grain value using ANSI/TPI 1-1995 angle to grain formula. Building designer should verify capacity of bearing surface.
- 4) Provide mechanical connection (by others) of truss to bearing plate at joint(s) 1.
- 5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 154 lb uplift at joint 1, 175 lb uplift at joint 3 and 284 lb uplift at joint 2.
- 6) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
- 7) Provide structural fascia by others to support overhang.

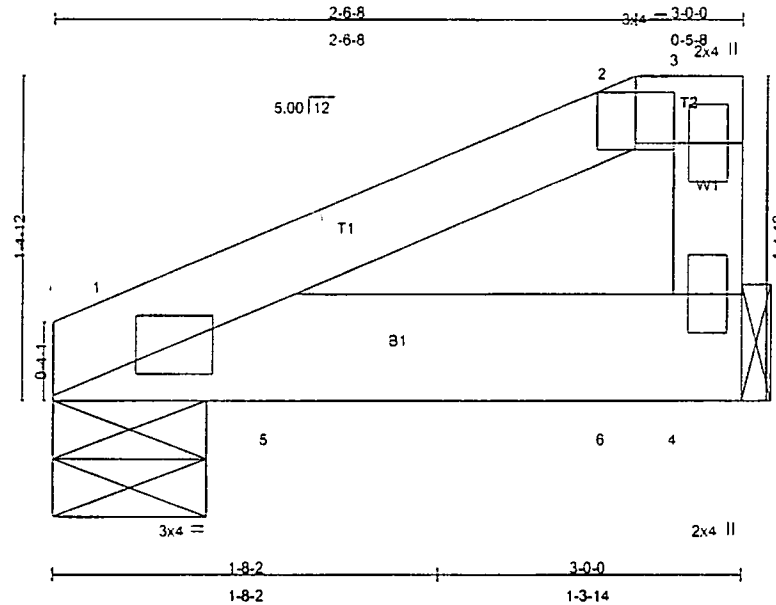
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	MGT3	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:53 2001 Page 1



Scale = 1:10.1

Plate Offsets (X,Y): [2-0-2-0-2-11]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.34	in (loc) Vdefl	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.18	Vert(LL) 0.01 1-4 >999		
BCLL 10.0	Lumber Increase 1.33	WB 0.00	Vert(TL) -0.01 1-4 >999		
BCDL 10.0	Rep Stress Incr NO	(Matrix)	Horz(TL) -0.00 4 n/a		
	Code SBC/SBCCI		1st LC LL Min Vdefl = 360		
				Weight: 13 lb	

LUMBER

TOP CHORD 2 X 4 SYP No.3
 BOT CHORD 2 X 6 SYP M 14
 WEBS 2 X 4 SYP No.3

BRACING

TOP CHORD Sheathed or 3-0-0 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

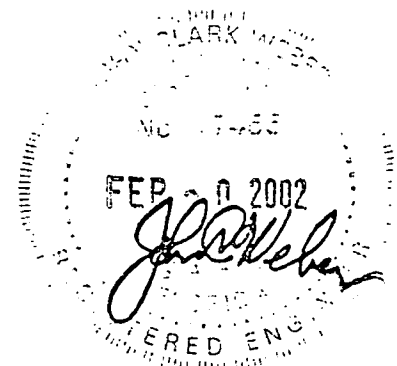
[P]

REACTIONS (lb/size) 1=600/0-8-0, 4=378/Mechanical
 Max Horz 1=144(load case 4)
 Max Uplift 1=-470(load case 4), 4=-323(load case 4)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=-169, 2-3=-140, 3-4=-104
 BOT CHORD 1-5=140, 5-6=140, 4-6=140

- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 3) Provide adequate drainage to prevent water ponding.
 - 4) Refer to girder(s) for truss to truss connections.
 - 5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 470 lb uplift at joint 1 and 323 lb uplift at joint 4.
 - 6) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - 7) Special hanger(s) or connection(s) required to support concentrated load(s) 42.5lb down at 2-10-4 on top chord, and 646.8lb down and 487.9lb up at 1-0-12, and 11.4lb down at 2-6-8 on bottom chord. Design for unspecified connection(s) is delegated to the building designer.

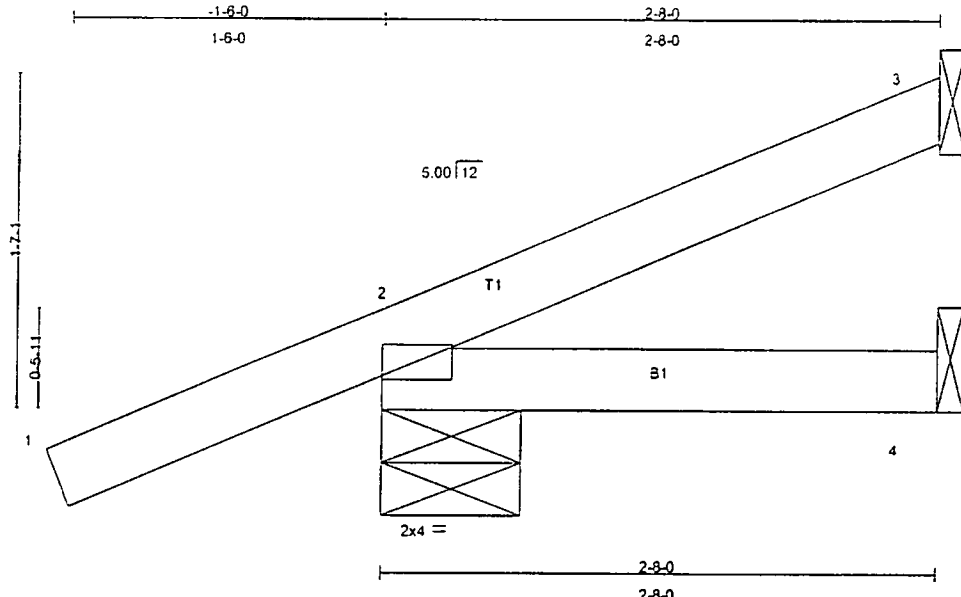
LOAD CASE(S) Standard
 1) Regular: Lumber Increase=1.33, Plate Increase=1.33
 Uniform Loads (plf)
 Vert: 1-2=-70.0, 2-3=-70.0, 1-4=-40.0
 Concentrated Loads (lb)
 Vert: 3=-42.5 5=-646.8 6=-11.4



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	J3	COMMON	12	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:54 2001 Page 1



LOADING (psf)	SPACING 2-0-0	CSI	DEFL in (loc) l/defl	PLATES	GRIP
TCLL 20.0	Plates Increase 1.33	TC 0.51	Vert(LL) -0.00 2-4 >999	MII20	249/190
TCDL 15.0	Lumber Increase 1.33	BC 0.04	Vert(TL) 0.15 1-2 >151		
BCLL 10.0	Rep Stress Incr YES	WB 0.00	Horz(TL) -0.00 3 n/a		
BCDL 10.0	Code SBC/SBCCI	(Matrix)	1st LC LL Min l/defl = 360	Weight: 11 lb	

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14

BRACING
 TOP CHORD Sheathed or 2-8-0 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size) 3=24/Mechanical, 2=312/0-8-0, 4=45/Mechanical
 Max Horz 2=206(load case 5)
 Max Uplift 3=-156(load case 5), 2=-553(load case 4)
 Max Grav 3=50(load case 4), 2=312(load case 1), 4=45(load case 1)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=32, 2-3=-65
 BOT CHORD 2-4=0

- NOTES**
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 2) Refer to girder(s) for truss to truss connections.
 - 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 156 lb uplift at joint 3 and 553 lb uplift at joint 2.
 - 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

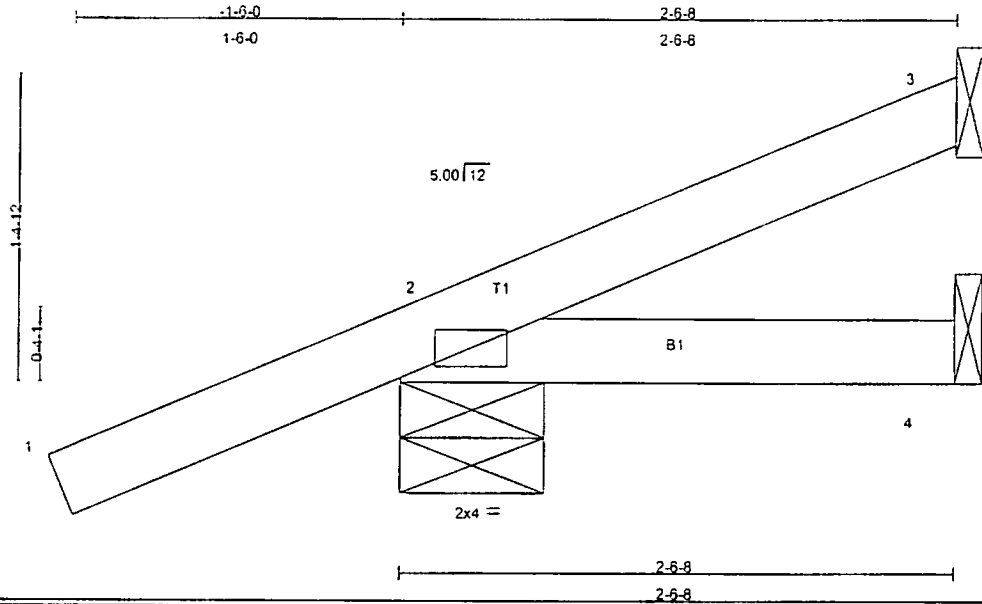
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	EJ2	COMMON	2	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:55 2001 Page 1



Scale = 1:10.6

LOADING (psf)	SPACING 2-0-0	CSI	DEFL in (loc) l/defl	PLATES	GRIP
TCLL 20.0	Plates Increase 1.33	TC 0.53	Vert(LL) -0.00 2-4 >999	MII20	249/190
TCDL 15.0	Lumber Increase 1.33	BC 0.03	Vert(TL) 0.15 1-2 >151		
BCLL 10.0	Rep Stress Incr YES	WB 0.00	Horz(TL) -0.00 3 n/a		
BCDL 10.0	Code SBC/SBCCI	(Matrix)	1st LC LL Min l/defl = 360	Weight: 10 lb	

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14

BRACING
 TOP CHORD Sheathed or 2-6-8 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size) 3=17/Mechanical, 2=309/0-8-0, 4=43/Mechanical
 Max Horz 2=207(load case 4)
 Max Uplift 3=-131(load case 5), 2=-572(load case 4)
 Max Grav 3=77(load case 4), 2=309(load case 1), 4=43(load case 1)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=41, 2-3=-59
 BOT CHORD 2-4=0

- NOTES**
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
 - 2) Refer to girder(s) for truss to truss connections.
 - 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 131 lb uplift at joint 3 and 572 lb uplift at joint 2.
 - 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

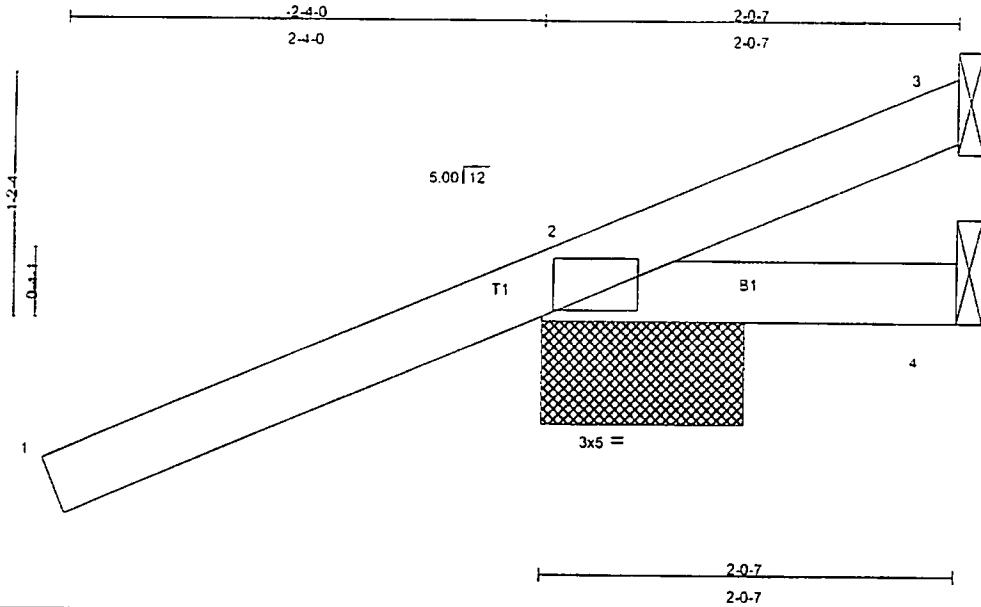
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	J2	COMMON	2	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:55 2001 Page 1



Scale = 1:11.4

Plate Offsets (X,Y): [2-0-5-10-0-0-6]

LOADING (psf)	SPACING	2-0-0	CSI	DEFL	in (loc)	Vdefl	PLATES	GRIP
TCLL 20.0	Plates Increase	1.33	TC 0.90	Vert(LL)	-0.00	2 >999	MII20	249/190
TCDL 15.0	Lumber Increase	1.33	BC 0.02	Vert(TL)	0.45	1-2 >72		
BCLL 10.0	Rep Stress Incr	YES	WB 0.00	Horz(TL)	0.00	3 n/a		
BCDL 10.0	Code	SBC/SBCCI	(Matrix)	1st LC LL Min Vdefl	= 360		Weight: 10 lb	

LUMBER

TOP CHORD 2 X 4 SYP M 21
 BOT CHORD 2 X 4 SYP M 14

BRACING

TOP CHORD Sheathed or 2-0-7 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

(P)

REACTIONS (lb/size) 3=-101/Mechanical, 2=439/1-0-0, 4=33/Mechanical
 Max Horz 2=259(load case 4)
 Max Uplift 3=-101(load case 1), 2=-1023(load case 4)
 Max Grav 3=404(load case 4), 2=439(load case 1), 4=33(load case 1)

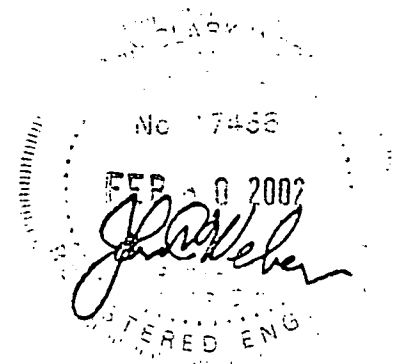
FORCES (lb) - First Load Case Only

TOP CHORD 1-2=64, 2-3=-100
 BOT CHORD 2-4=0

NOTES

- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
- 2) Refer to girder(s) for truss to truss connections.
- 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 101 lb uplift at joint 3 and 1023 lb uplift at joint 2.
- 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	EJ1	COMMON	2	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:56 2001 Page 1

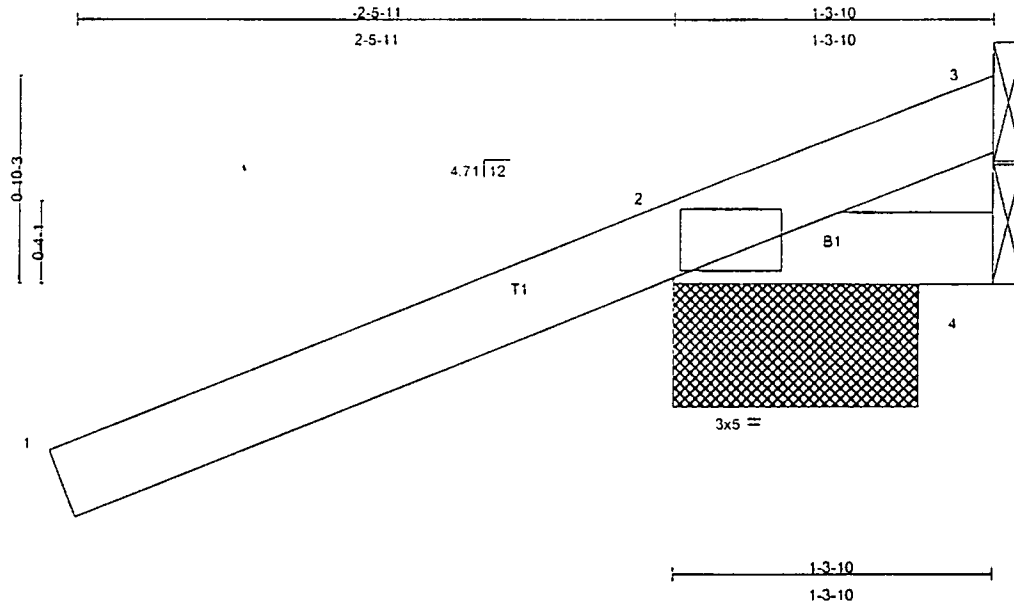


Plate Offsets (X,Y): [2-0-5-6-0-0-6]

LOADING (psf)	SPACING	CSI	DEFL	in (loc)	l/defl	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.85	Vert(LL)	-0.00	2 >999	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.01	Vert(TL)	0.35	1-2 >90		
BCLL 10.0	Lumber Increase 1.33	WB 0.00	Horz(TL)	0.00	3 n/a		
BCDL 10.0	Rep Stress Incr YES	(Matrix)	1st LC LL Min l/defl = 360			Weight: 8 lb	
	Code SBC/SBCCI						

LUMBER
 TOP CHORD 2 X 4 SYP M 21
 BOT CHORD 2 X 4 SYP M 14

BRACING
 TOP CHORD Sheathed or 1-3-10 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

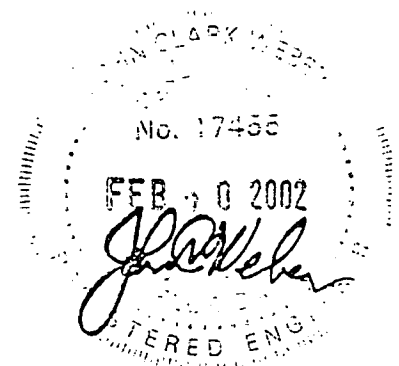
[P]

REACTIONS (lb/size) 3=-162/Mechanical, 2=453/1-0-0, 4=24/Mechanical
 Max Horz 2=233(load case 4)
 Max Uplift 3=-162(load case 1), 2=-1141(load case 4)
 Max Grav 3=570(load case 4), 2=453(load case 1), 4=24(load case 1)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=63, 2-3=-101
 BOT CHORD 2-4=0

- NOTES**
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
 - 2) Refer to girder(s) for truss to truss connections.
 - 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 162 lb uplift at joint 3 and 1141 lb uplift at joint 2.
 - 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

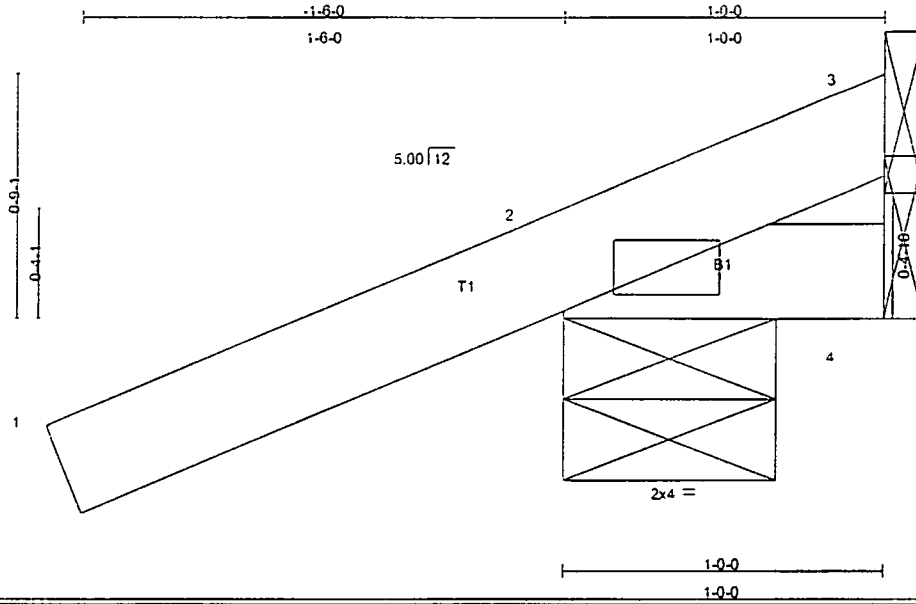
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	J1	ROOF TRUSS	17	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:57 2001 Page 1



Scale = 1:7.2

LOADING (psf)	SPACING 2-0-0	CSI	DEFL in (loc) l/defi	PLATES	GRIP
TCLL 20.0	Plates Increase 1.33	TC 0.42	Vert(LL) -0.00 2 >999	MII20	249/190
TCDL 15.0	Lumber Increase 1.33	BC 0.01	Vert(TL) 0.06 1-2 >311		
BCLL 10.0	Rep Stress Incr YES	WB 0.00	Horz(TL) 0.00 3 n/a		
BCDL 10.0	Code SBC/SBCCI	(Matrix)	1st LC LL Min l/defi = 360	Weight: 6 lb	

LUMBER

TOP CHORD 2 X 4 SYP M 14
BOT CHORD 2 X 4 SYP M 14

BRACING

TOP CHORD Sheathed or 1-0-0 oc purlins.
BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size) 3=-68/Mechanical, 2=264/0-8-0, 4=18/Mechanical
Max Horz 2=157(load case 4)
Max Uplift 3=-68(load case 1), 2=-633(load case 4)
Max Grav 3=268(load case 4), 2=264(load case 1), 4=18(load case 1)

FORCES (lb) - First Load Case Only

TOP CHORD 1-2=40, 2-3=-58
BOT CHORD 2-4=0

NOTES

- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
- 2) Refer to girder(s) for truss to truss connections.
- 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 68 lb uplift at joint 3 and 633 lb uplift at joint 2.
- 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	MH6	TRUSS	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:31:59 2001 Page 1

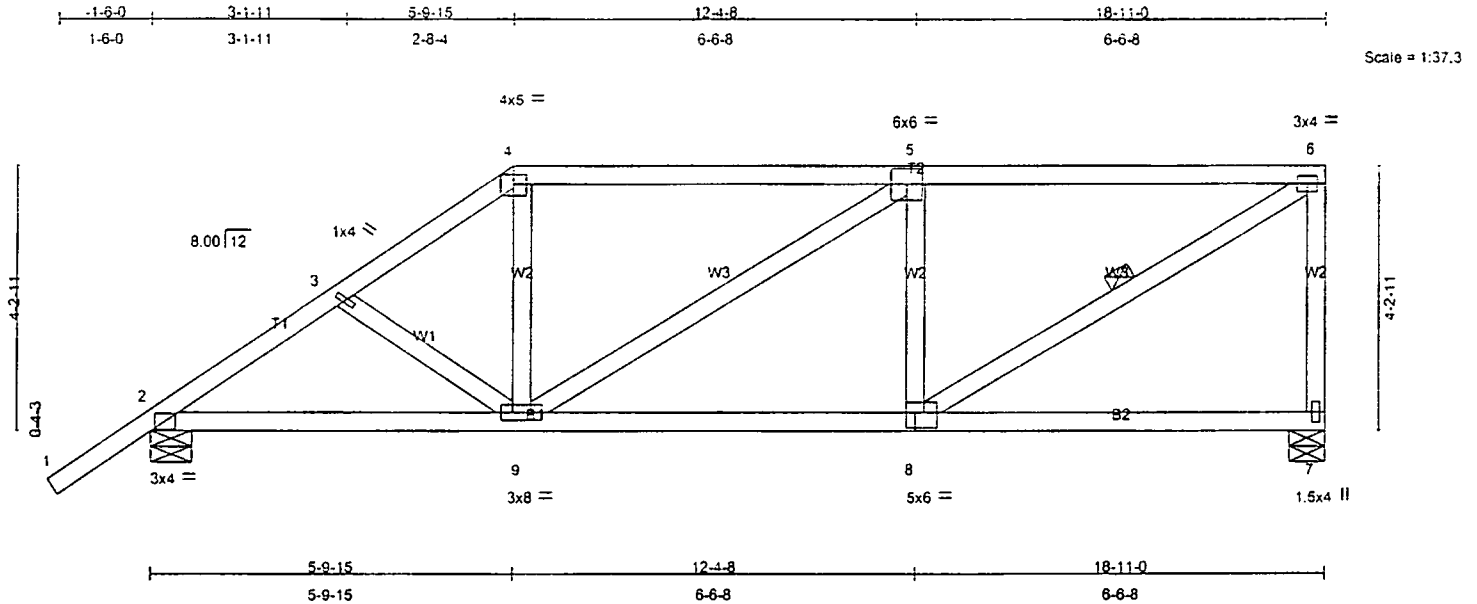


Plate Offsets (X,Y): [4;0-2-8,0-1-13], [8;0-2-8,0-3-0]						
LOADING (psf)	SPACING	CSI	DEFL	in (loc)	l/defl	PLATES
TCLL 20.0	Plates Increase 1.33	TC 0.98	Vert(LL) 0.08	8	>999	MII20
TCDL 15.0	Lumber Increase 1.33	BC 0.45	Vert(TL) -0.14	8-9	>999	GRIP
BCLL 10.0	Rep Stress Incr YES	WB 0.61	Horz(TL) -0.03	7	n/a	249/190
BCDL 10.0	Code SBC/SBCCI		1st LC LL Min l/defl = 360			Weight: 103 lb

LUMBER	BRACING
TOP CHORD 2 X 4 SYP M 14	TOP CHORD Sheathed or 6-0-0 oc purlins, except end verticals.
BOT CHORD 2 X 4 SYP M 14	BOT CHORD Rigid ceiling directly applied or 6-4-14 oc bracing. Except:
WEBS 2 X 4 SYP No.3	1 Row at midpt 2-9
	WEBS 1 Row at midpt 6-8

REACTIONS (lb/size) 7=1013/0-7-0, 2=1148/0-8-0
 Max Horz 2=761(load case 4)
 Max Uplift 7=-1176(load case 4), 2=-1420(load case 4)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=32, 2-3=-1333, 3-4=-1192, 4-5=-1002, 5-6=-1075, 6-7=-885
 BOT CHORD 2-9=1061, 8-9=1075, 7-8=0
 WEBS 3-9=-87, 4-9=335, 5-9=-87, 5-8=-405, 6-8=1262

- NOTES**
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 2) Provide adequate drainage to prevent water ponding.
 - 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1175 lb uplift at joint 7 and 1420 lb uplift at joint 2.
 - 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	MH4		1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:32:00 2001 Page 1

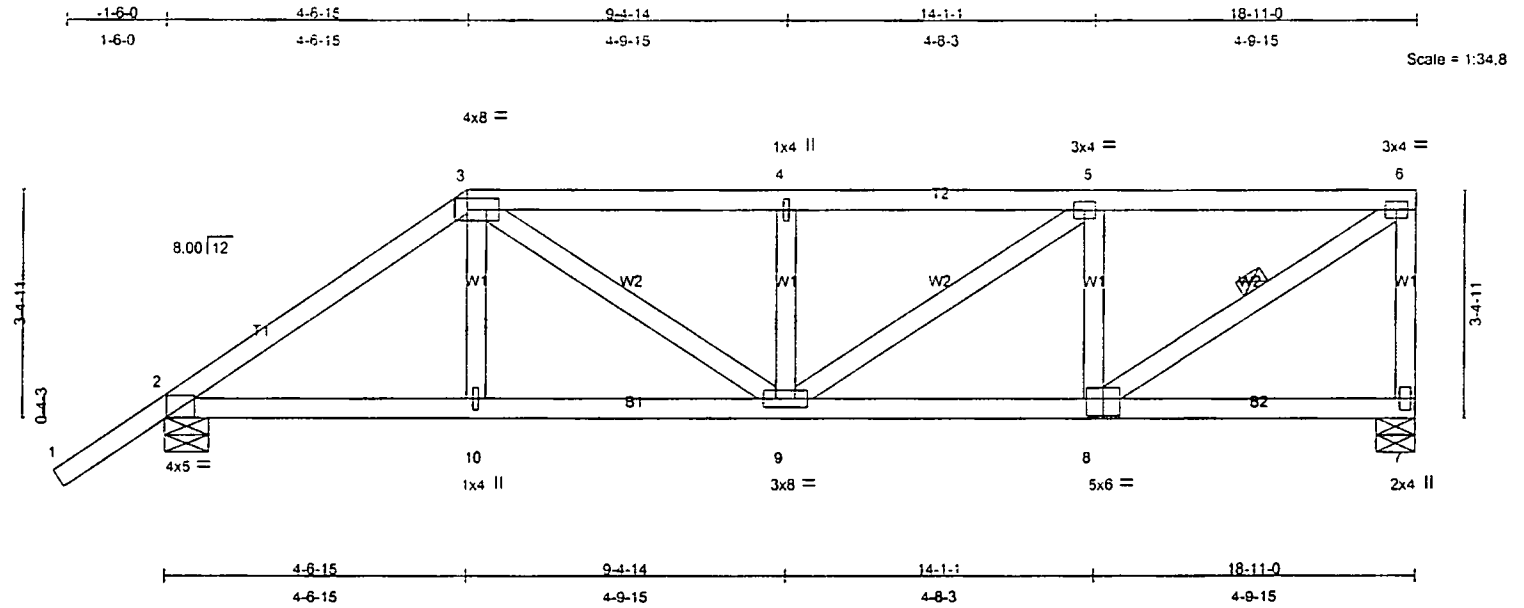


Plate Offsets (X,Y): {3:0-5-12:0-2-0}, {8:0-3-0-0-3-0}

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0 Plates Increase 1.33	TC 0.98	in (loc) Vdefl Vert(LL) 0.15 9 >999	MII20	249/190
TCOL 15.0	Lumber Increase 1.33	BC 0.92	Vert(TL) 0.13 9 >999		
BCLL 10.0	Rep Stress Incr NO	WB 0.55	Horz(TL) -0.05 7 n/a		
BCOL 10.0	Code SBC/SBCCI		1st LC LL Min Vdefl = 360	Weight: 101 lb	

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14 *Except*
 B2 2 X 4 SYP No.3
 WEBS 2 X 4 SYP No.3

BRACING
 TOP CHORD Sheathed or 3-6-14 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 4-7-3 oc bracing.
 WEBS 1 Row at midpt 6-8

[P]

REACTIONS (lb/size) 7=1098/0-7-0, 2=1420/0-8-0
 Max Horz 2=643(load case 4)
 Max Uplift 7=-1408(load case 4), 2=-2266(load case 4)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=32, 2-3=-1780, 3-4=-1761, 4-5=-1761, 5-6=-1269, 6-7=-1004
 BOT CHORD 2-10=1438, 9-10=1464, 8-9=1269, 7-8=0
 WEBS 3-10=551, 3-9=352, 4-9=-328, 5-9=589, 5-8=-653, 6-8=1522

- NOTES**
- This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - Provide adequate drainage to prevent water ponding.
 - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1408 lb uplift at joint 7 and 2266 lb uplift at joint 2.
 - This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - Special hanger(s) or connection(s) required to support concentrated load(s) 185.8lb up at 4-7-0 on top chord, and 369.6lb down and 892.0lb up at 4-6-6 on bottom chord. Design for unspecified connection(s) is delegated to the building designer.

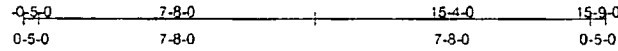
LOAD CASE(S) Standard
 1) Regular: Lumber Increase=1.33, Plate Increase=1.33
 Uniform Loads (plf)
 Vert: 1-3=-70.0, 3-6=-70.0, 2-7=-40.0
 Concentrated Loads (lb)
 Vert: 3=13.7 10=-369.6

CLARK
 FEB 20 2002
 [Signature]

Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	GE1	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:32:01 2001 Page 1



Scale: 3/16"=1'

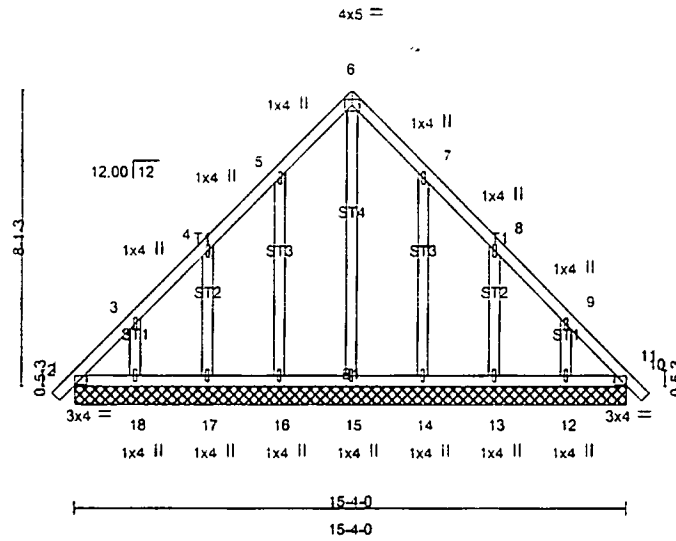


Plate Offsets (X,Y): [2:0-2-6.0-1-8], [7:0-0-0.0-0-0], [8:0-0-0.0-0-0], [9:0-0-0.0-0-0], [10:0-2-6.0-1-8], [12:0-0-0.0-0-0], [13:0-0-0.0-0-0], [14:0-0-0.0-0-0]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.26	in (loc) Vdefl	MI120	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.13	Vert(LL) n/a - n/a		
BCLL 10.0	Lumber Increase 1.33	WB 0.49	Vert(TL) -0.01 10-11 >884		
BCDL 10.0	Rep Stress Incr NO	(Matrix)	Horz(TL) 0.01 10 n/a		
	Code SBC/SBCCI		1st LC LL Min Vdefl = 360	Weight: 100 lb	

LUMBER	BRACING
TOP CHORD 2 X 4 SYP M 14	TOP CHORD Sheathed or 6-0-0 oc purlins.
BOT CHORD 2 X 4 SYP M 14	BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.
OTHERS 2 X 4 SYP No.3	

REACTIONS (lb/size) 2=143/15-4-0, 10=143/15-4-0, 15=166/15-4-0, 16=217/15-4-0, 17=222/15-4-0, 18=215/15-4-0, 14=217/15-4-0, 13=222/15-4-0, 12=215/15-4-0
 Max Horz 2=706(load case 3)
 Max Uplift 2=-286(load case 2), 10=-165(load case 3), 16=-495(load case 4), 17=-545(load case 4), 18=-528(load case 4), 14=-485(load case 5), 13=-548(load case 5), 12=-523(load case 5)
 Max Grav 2=439(load case 3), 10=335(load case 5), 15=488(load case 5), 16=222(load case 6), 17=222(load case 1), 18=215(load case 6), 14=222(load case 7), 13=222(load case 1), 12=215(load case 7)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=23, 2-3=6, 3-4=-89, 4-5=-91, 5-6=10, 6-7=-89, 7-8=-91, 8-9=-89, 9-10=78, 10-11=23
 BOT CHORD 2-18=28, 17-18=28, 16-17=28, 15-16=28, 14-15=28, 13-14=28, 12-13=28, 10-12=28
 WEBS 6-15=-86, 5-16=-137, 4-17=-142, 3-18=-133, 7-14=-137, 8-13=-142, 9-12=-133

- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 3) Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see MiTek "Standard Gable End Detail".
 - 4) Gable requires continuous bottom chord bearing.
 - 5) Gable studs spaced at 2-0-0 oc.
 - 6) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 286 lb uplift at joint 2, 165 lb uplift at joint 10, 495 lb uplift at joint 16, 545 lb uplift at joint 17, 528 lb uplift at joint 18, 485 lb uplift at joint 14, 548 lb uplift at joint 13 and 523 lb uplift at joint 12.
 - 7) This truss has been designed for both TPI-35 and ANSI/TPI 1-1995 plating criteria.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	T3	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MITek Industries, Inc. Sat Dec 08 11:32:02 2001 Page 1

0-5-0 3-11-10 7-8-0 11-4-6 15-4-0 15-3-0
 0-5-0 3-11-10 3-8-6 3-8-6 3-11-10 0-5-0

Scale: 3/16"=1'

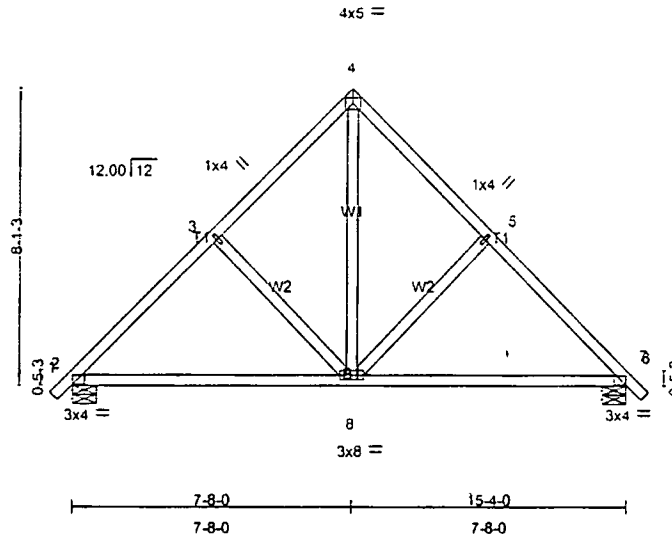


Plate Offsets (X,Y): [2-0-2-6-0-1-8], [6-0-2-6-0-1-8]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.67	in (loc) l/defl	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.46	Vert(LL) -0.08 6-8 >999		
BCLL 10.0	Lumber Increase 1.33	WB 0.72	Vert(TL) -0.16 6-8 >999		
BCDL 10.0	Rep Stress Incr YES		Horz(TL) -0.01 6 n/a		
	Code SBC/SBCCI		1st LC LL Min l/defl = 360		Weight: 84 lb

LUMBER

TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3

BRACING

TOP CHORD Sheathed or 6-0-0 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 9-5-5 oc bracing.

[P]

REACTIONS (lb/size) 2=866/0-8-0, 6=866/0-8-0

Max Horz 2=706(load case 3)
 Max Uplift 2=-813(load case 4), 6=-813(load case 5)

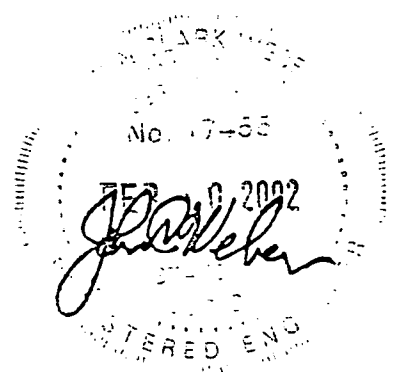
FORCES (lb) - First Load Case Only

TOP CHORD 1-2=14, 2-3=-720, 3-4=-540, 4-5=-540, 5-6=-720, 6-7=14
 BOT CHORD 2-8=480, 5-8=480
 WEBS 3-8=-142, 4-8=498, 5-8=-142

NOTES

- 1) This truss has been checked for unbalanced loading conditions.
- 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
- 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 813 lb uplift at joint 2 and 813 lb uplift at joint 6.
- 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

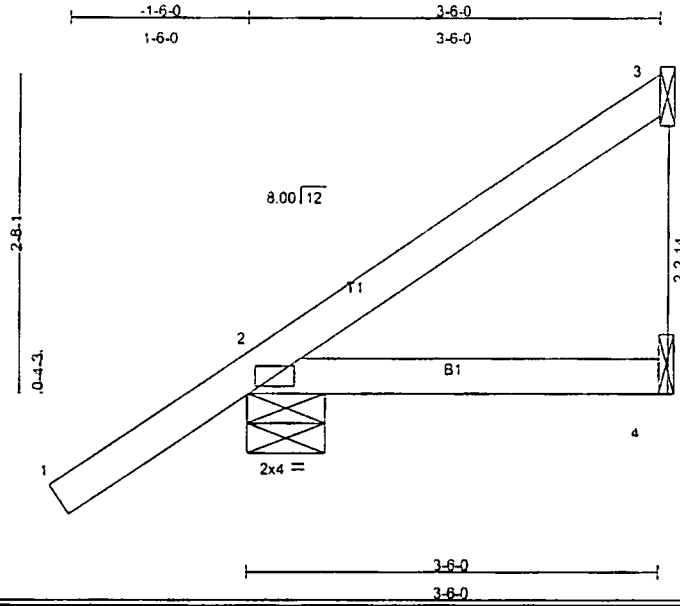
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	J3B	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:32:03 2001 Page 1



Scale = 1:19.6

LOADING (psf)	SPACING 2-0-0	CSI	DEFL in (loc) V/defl	PLATES	GRIP
TCLL 20.0	Plates Increase 1.33	TC 0.65	Vert(LL) -0.00 2-4 >999	MII20	249/190
TCDL 15.0	Lumber Increase 1.33	BC 0.07	Vert(TL) 0.21 1-2 >109		
BCLL 10.0	Rep Stress Incr YES	WB 0.00	Horz(TL) -0.00 3 n/a		
BCDL 10.0	Code SBC/SBCCI	(Matrix)	1st LC LL Min V/defl = 360	Weight: 14 lb	

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14

BRACING
 TOP CHORD Sheathed or 3-6-0 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size) 3=66/Mechanical, 2=347/0-8-0, 4=62/Mechanical
 Max Horz 2=390(load case 4)
 Max Uplift 3=-284(load case 5), 2=-534(load case 4)
 Max Grav 3=81(load case 3), 2=347(load case 1), 4=62(load case 1)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=64, 2-3=-90
 BOT CHORD 2-4=0

- NOTES**
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 2) Refer to girder(s) for truss to truss connections.
 - 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 284 lb uplift at joint 3 and 534 lb uplift at joint 2.
 - 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

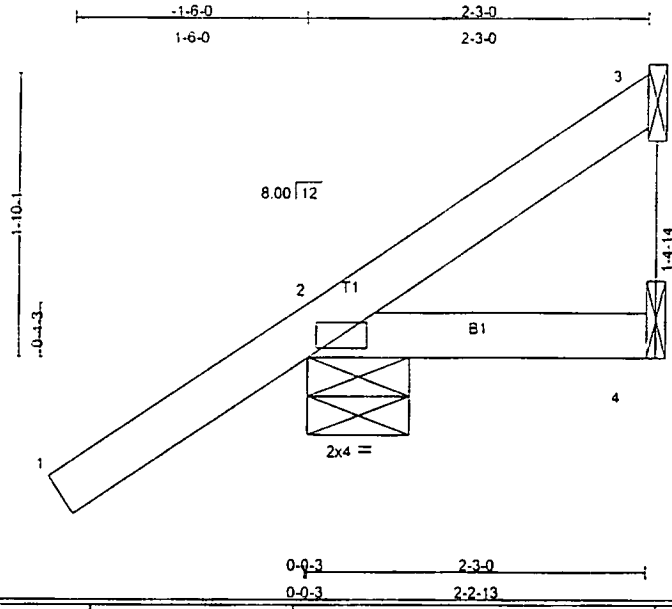
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	J2B	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:32:04 2001 Page 1



Scale = 1:15.1

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.66	in (loc) V/defl	M1120	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.02	Vert(LL) -0.00 2 >999		
BCLL 10.0	Lumber Increase 1.33	WB 0.00	Vert(TL) 0.18 1-2 >126		
BCDL 10.0	Rep Stress Incr YES	(Matrix)	Horz(TL) -0.00 3 n/a		
	Code SBC/SBCCI		1st LC LL Min V/defl = 360	Weight: 10 lb	

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14

BRACING
 TOP CHORD Sheathed or 2-3-0 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size) 3=-7/Mechanical, 2=307/0-8-0, 4=37/Mechanical
 Max Horz 2=323(load case 4)
 Max Uplift 3=-136(load case 5), 2=-619(load case 4)
 Max Grav 3=137(load case 4), 2=307(load case 1), 4=37(load case 1)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=64, 2-3=-85
 BOT CHORD 2-4=0

- NOTES**
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 2) Refer to girder(s) for truss to truss connections.
 - 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 136 lb uplift at joint 3 and 619 lb uplift at joint 2.
 - 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

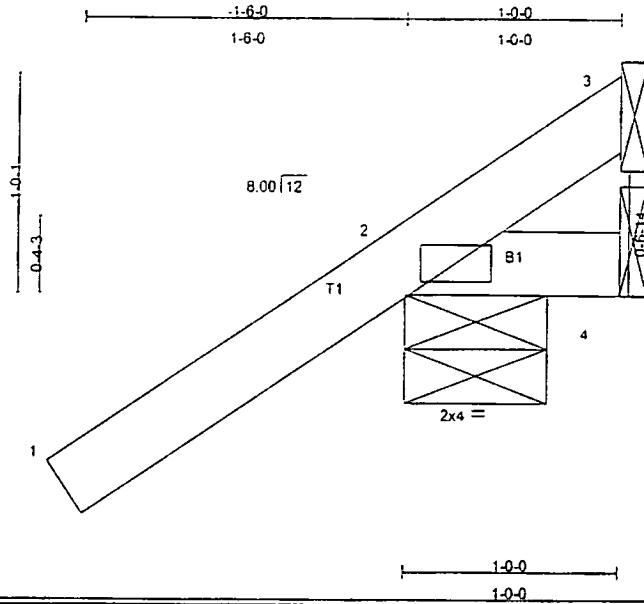
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	J1B	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MITek Industries, Inc. Sat Dec 08 11:32:05 2001 Page 1



Scale = 1:10.7

LOADING (psf)	SPACING 2-0-0	CSI	DEFL in (loc) \sqrt{defl}	PLATES	GRIP
TCLL 20.0	Plates Increase 1.33	TC 0.55	Vert(LL) -0.00 2 >999	MII20	249/190
TCDL 15.0	Lumber Increase 1.33	BC 0.01	Vert(TL) 0.08 1-2 >237		
BCLL 10.0	Rep Stress Incr YES	WB 0.00	Horz(TL) 0.00 3 n/a		
BCDL 10.0	Code SBC/SBCCI	(Matrix)	1st LC LL Min \sqrt{defl} = 360		
				Weight: 6 lb	

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14

BRACING
 TOP CHORD Sheathed or 1-0-0 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size) 3=-76/Mechanical, 2=274/0-8-0, 4=18/Mechanical
 Max Horz 2=259(load case 4)
 Max Uplift 3=-76(load case 1), 2=-726(load case 4)
 Max Grav 3=354(load case 4), 2=274(load case 1), 4=18(load case 1)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=62, 2-3=-83
 BOT CHORD 2-4=0

- NOTES**
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 2) Refer to girder(s) for truss to truss connections.
 - 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 76 lb uplift at joint 3 and 726 lb uplift at joint 2.
 - 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

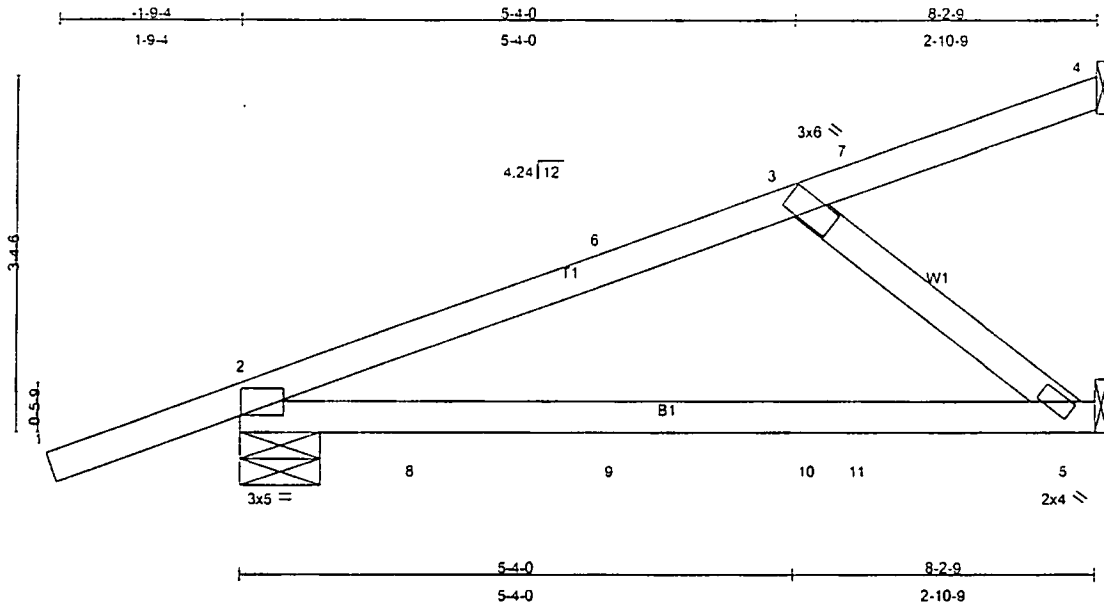
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	CJ6	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:32:05 2001 Page 1



Scale = 1:22.1

Plate Offsets (X,Y): [2-0-5-2-0-0-1]

LOADING (psf)	SPACING	CSI	DEFL	in (loc)	l/defl	PLATES	GRIP	
TCLL 20.0	2-0-0	TC 0.75	Vert(LL)	-0.18	2-5	>505	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.48	Vert(TL)	-0.37	2-5	>252		
BCLL 10.0	Lumber Increase 1.33	WB 0.46	Horz(TL)	-0.01	5	n/a		
BCDL 10.0	Rep Stress Incr NO	(Matrix)	1st LC LL Min l/defl	= 360			Weight: 33 lb	
	Code SBC/SBCCI							

LUMBER

TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 21
 WEBS 2 X 4 SYP No.3

BRACING

TOP CHORD Sheathed or 6-0-0 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 6-11-2 oc bracing.

[P]

REACTIONS (lb/size) 4=56/Mechanical, 2=611/0-9-7, 5=410/Mechanical
 Max Horz 2=482(load case 2)
 Max Uplift 4=-194(load case 3), 2=-1141(load case 2), 5=-882(load case 3)

FORCES (lb) - First Load Case Only

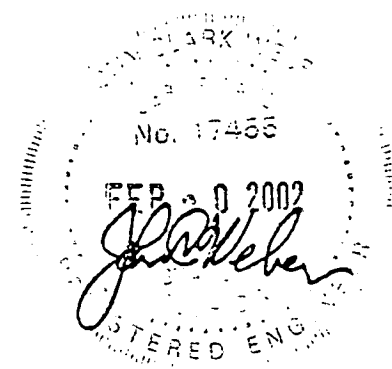
TOP CHORD 1-2=33, 2-6=-379, 3-6=-291, 3-7=-42, 4-7=-31
 BOT CHORD 2-8=286, 8-9=286, 9-10=286, 10-11=286, 5-11=286
 WEBS 3-5=-360

NOTES

- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
- 2) Refer to girder(s) for truss to truss connections.
- 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 194 lb uplift at joint 4, 1141 lb uplift at joint 2 and 882 lb uplift at joint 5.
- 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
- 5) Special hanger(s) or connection(s) required to support concentrated load(s) 46.3lb down and 521.6lb up at 5-6-10, and 343.8lb up at 6-0-7, and 51.6lb up at 3-8-2 on top chord, and 14.1lb up at 1-9-5, 7.6lb up at 3-8-2, and 43.5lb down at 5-6-10, and 17.4lb down at 6-0-7 on bottom chord. Design for unspecified connection(s) is delegated to the building designer.

LOAD CASE(S) Standard

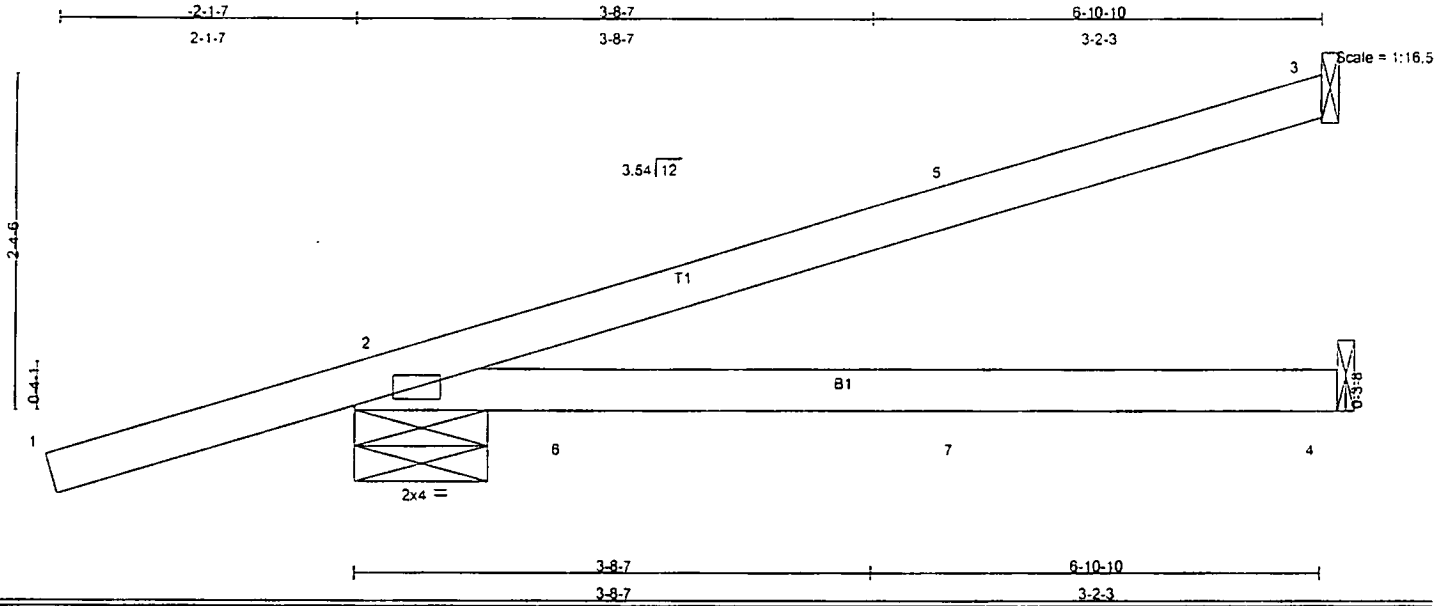
- 1) Regular: Lumber Increase=1.33, Plate Increase=1.33
 Uniform Loads (plf)
 Vert: 1-4=-70.0, 2-5=-40.0
 Concentrated Loads (lb)
 Vert: 3=-46.3 7=14.2 8=14.1 9=7.6 10=-43.5 11=-17.4



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	CJ5	COMMON	2	1	(optional)

TL Southern Building Products. W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:32:07 2001 Page 1



LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	1-0-0	TC 0.81	in (loc) l/defl	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.35	Vert(LL) -0.05 2-4 >999		
BCLL 10.0	Lumber Increase 1.33	WB 0.00	Vert(TL) 0.38 1-2 >78		
BCDL 10.0	Rep Stress Incr NO	(Matrix)	Horz(TL) -0.00 3 n/a		
	Code SBC/SBCCI		1st LC LL Min l/defl = 360	Weight: 25 lb	

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP No.3

BRACING
 TOP CHORD Sheathed or 6-0-0 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size) 3=40/Mechanical, 2=219/0-11-5, 4=65/Mechanical
 Max Horz 2=167(load case 3)
 Max Uplift 3=-292(load case 3), 2=-429(load case 2)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=20, 2-5=-29, 3-5=5
 BOT CHORD 2-6=0, 6-7=0, 4-7=0

- NOTES**
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 2) Refer to girder(s) for truss to truss connections.
 - 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 292 lb uplift at joint 3 and 429 lb uplift at joint 2.
 - 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - 5) Special hanger(s) or connection(s) required to support concentrated load(s) 115.3lb up at 4-4-12 on top chord, and 43.2lb up at 1-6-12, and 10.8lb down at 4-4-12 on bottom chord. Design for unspecified connection(s) is delegated to the building designer.

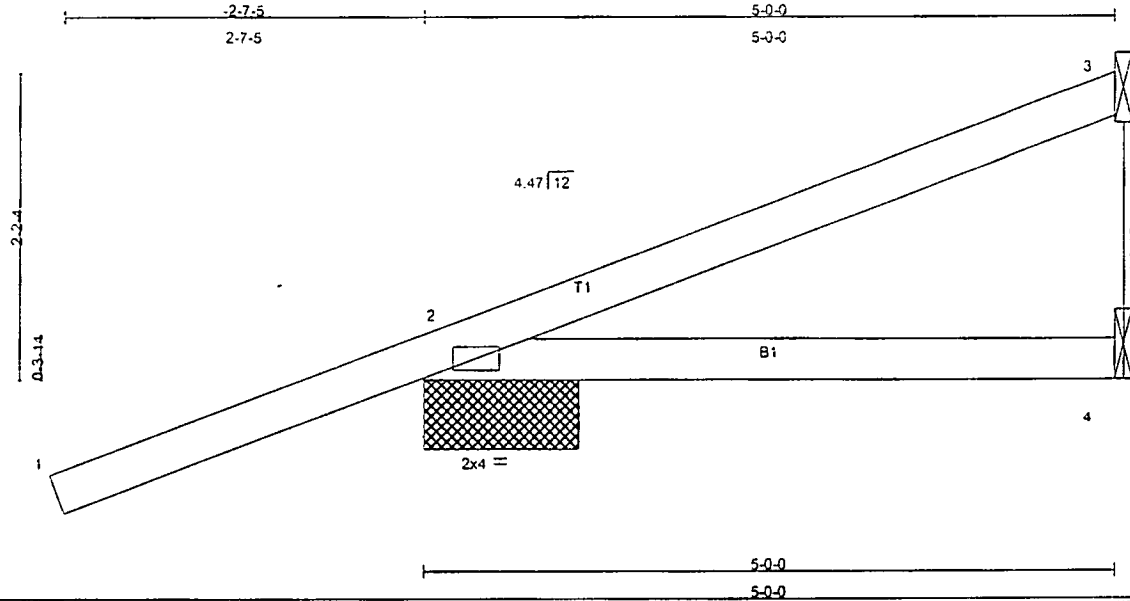
LOAD CASE(S) Standard
 1) Regular: Lumber Increase=1.33, Plate Increase=1.33
 Uniform Loads (plf)
 Vert: 1-3=-35.0, 2-4=-20.0
 Concentrated Loads (lb)
 Vert: 5=91.1 6=43.2 7=-10.8



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	CJ4	COMMON	2	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MITek Industries, Inc. Sat Dec 08 11:32:08 2001 Page 1



Scale = 1:16.7

LOADING (psf)	SPACING 1-0-0	CSI	DEFL in (loc) V/def	PLATES	GRIP
TCLL 20.0	Plates Increase 1.33	TC 0.60	Vert(LL) -0.01 2-4 >999	MII20	249/190
TCDL 15.0	Lumber Increase 1.33	BC 0.09	Vert(TL) 0.46 1-2 >78		
BCLL 10.0	Rep Stress Incr NO	WB 0.00	Horz(TL) -0.00 3 n/a		
BCDL 10.0	Code SBC/SBCCI	(Matrix)	1st LC LL Min V/def = 360	Weight: 20 lb	

LUMBER

TOP CHORD 2 X 4 SYP M 21
 BOT CHORD 2 X 4 SYP M 14

BRACING

TOP CHORD Sheathed or 5-0-0 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size) 3=47/Mechanical, 2=265/1-1-7, 4=46/Mechanical
 Max Horz 2=184(load case 2)
 Max Uplift 3=-150(load case 5), 2=-440(load case 2)

FORCES (lb) - First Load Case Only

TOP CHORD 1-2=32, 2-3=-43
 BOT CHORD 2-4=0

NOTES

- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
- 2) Refer to girder(s) for truss to truss connections.
- 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 150 lb uplift at joint 3 and 440 lb uplift at joint 2.
- 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	CJ2	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:32:09 2001 Page 1

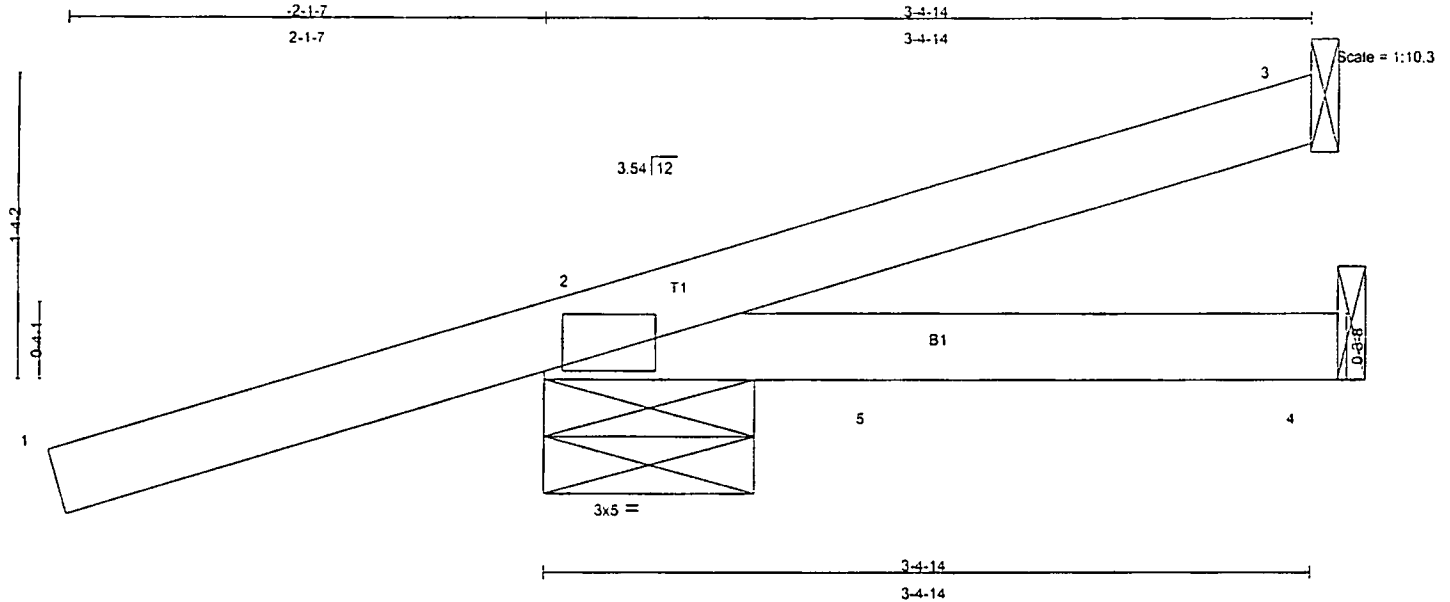


Plate Offsets (X,Y): [2:0-0-12,0-1-8]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.80	in (loc) l/defl	MI120	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.09	Vert(LL) -0.00 2-4 >999		
BCLL 10.0	Lumber Increase 1.33	WB 0.00	Vert(TL) 0.40 1-2 >76		
BCDL 10.0	Rep Stress Incr NO	(Matrix)	Horz(TL) -0.00 3 n/a		
	Code SBC/SBCCI		1st LC LL Min l/defl = 360	Weight: 14 lb	

LUMBER
 TOP CHORD 2 X 4 SYP M 21
 BOT CHORD 2 X 4 SYP No.3

BRACING
 TOP CHORD Sheathed or 3-4-14 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size) 3=33/Mechanical, 2=389/0-11-5, 4=46/Mechanical
 Max Horz 2=214(load case 2)
 Max Uplift 3=-167(load case 5), 2=-769(load case 2)
 Max Grav 3=86(load case 4), 2=389(load case 1), 4=46(load case 1)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=41, 2-3=-57
 BOT CHORD 2-5=0, 4-5=0

- NOTES**
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 2) Refer to girder(s) for truss to truss connections.
 - 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 167 lb uplift at joint 3 and 769 lb uplift at joint 2.
 - 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
 - 5) Special hanger(s) or connection(s) required to support concentrated load(s) +3.2lb up at 1-6-12 on bottom chord. Design for unspecified connection(s) is delegated to the building designer.

LOAD CASE(S) Standard
 1) Regular: Lumber Increase=1.33, Plate Increase=1.33
 Uniform Loads (plf)
 Vert: 1-3=-70.0, 2-4=-40.0
 Concentrated Loads (lb)
 Vert: 5=43.2



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	CJ1	COMMON COM	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:32:09 2001 Page 1

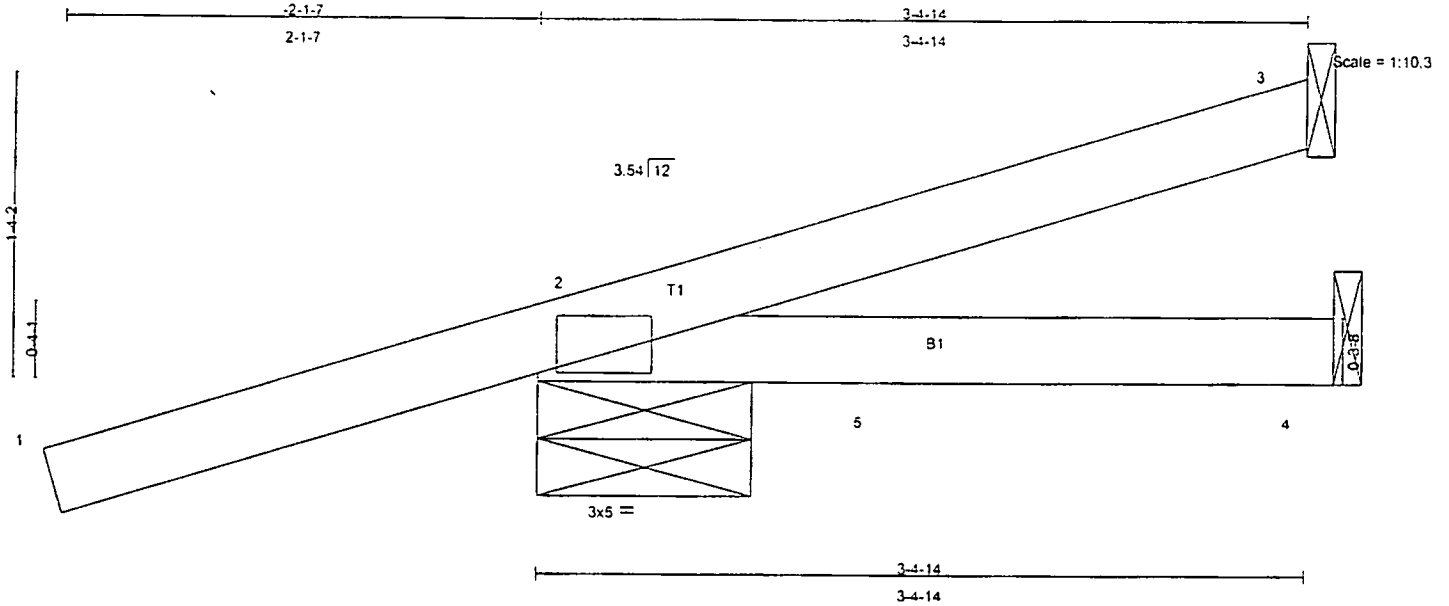


Plate Offsets (X,Y): (2-0-0-12,0-1-8)

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.79	in (loc) /defl	M1120	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.04	Vert(LL) -0.00 2-4 >999		
BCLL 10.0	Lumber Increase 1.33	WB 0.00	Vert(TL) 0.39 1-2 >76		
BCDL 10.0	Rep Stress Incr NO	(Matrix)	Horz(TL) -0.00 3 n/a		
	Code SBC/SBCCI		1st LC LL Min /defl = 360		Weight: 14 lb

LUMBER

TOP CHORD 2 X 4 SYP M 21
BOT CHORD 2 X 4 SYP M 14

BRACING

TOP CHORD Sheathed or 3-4-14 oc purlins.
BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size)

3=33/Mechanical, 2=389/0-11-5, 4=46/Mechanical
Max Horz 2=214(load case 2)
Max Uplift 3=-167(load case 5), 2=-768(load case 2)
Max Grav 3=86(load case 4), 2=389(load case 1), 4=46(load case 1)

FORCES (lb) - First Load Case Only

TOP CHORD 1-2=41, 2-3=-57
BOT CHORD 2-5=0, 4-5=0

NOTES

- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
- 2) Refer to girder(s) for truss to truss connections.
- 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 167 lb uplift at joint 3 and 768 lb uplift at joint 2.
- 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.
- 5) Special hanger(s) or connection(s) required to support concentrated load(s) 43.2lb up at 1-6-12 on bottom chord. Design for unspecified connection(s) is delegated to the building designer.

LOAD CASE(S) Standard

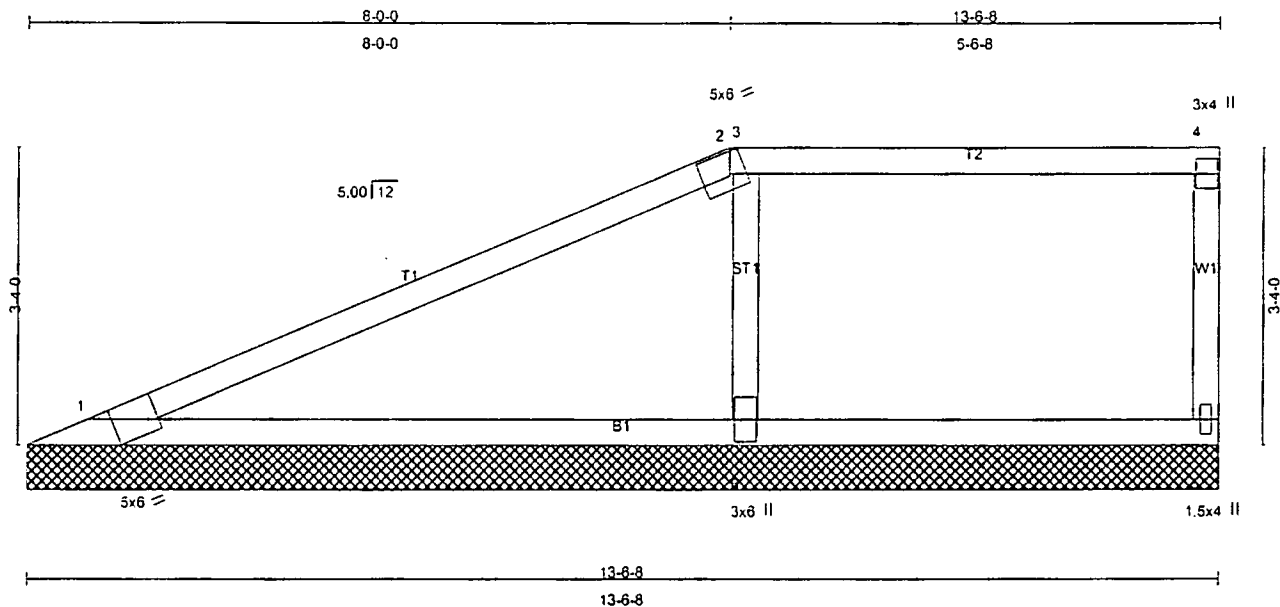
- 1) Regular: Lumber Increase=1.33, Plate Increase=1.33
Uniform Loads (plf)
Vert: 1-3=-70.0, 2-4=-40.0
Concentrated Loads (lb)
Vert: 5=43.2

CLARK WEBB
FEB 20 2002
Clark Webb

Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	MHV13	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:32:11 2001 Page 1



Scale = 1:26.3

Plate Offsets (X,Y): [1:0-2-14,Edge], [2:0-3-13,0-2-14]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.98	in (loc) l/defl	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.62	Vert(LL) n/a - n/a		
BCLL 10.0	Lumber Increase 1.33	WB 0.32	Vert(TL) n/a - n/a		
BCDL 10.0	Rep Stress Incr YES	(Matrix)	Horz(TL) -0.00 5 n/a		
	Code SBC/SBCCI		1st LC LL Min l/defl = 360	Weight: 48 lb	

LUMBER

TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3
 OTHERS 2 X 4 SYP No.3

BRACING

TOP CHORD Sheathed or 3-6-9 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size) 1=339/13-6-8, 5=185/13-6-8, 6=870/13-6-8

Max Horz 1=430(load case 4)
 Max Uplift 1=-267(load case 4), 5=-241(load case 3), 6=-1092(load case 4)
 Max Grav 1=339(load case 1), 5=231(load case 7), 6=870(load case 1)

FORCES (lb) - First Load Case Only

TOP CHORD 1-2=87, 2-3=-21, 3-4=-21, 4-5=-123
 BOT CHORD 1-6=21, 5-6=21
 WEBS 3-6=-531

NOTES

- 1) This truss has been checked for unbalanced loading conditions.
- 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
- 3) Provide adequate drainage to prevent water ponding.
- 4) Gable requires continuous bottom chord bearing.
- 5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 267 lb uplift at joint 1, 241 lb uplift at joint 5 and 1092 lb uplift at joint 6.
- 6) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

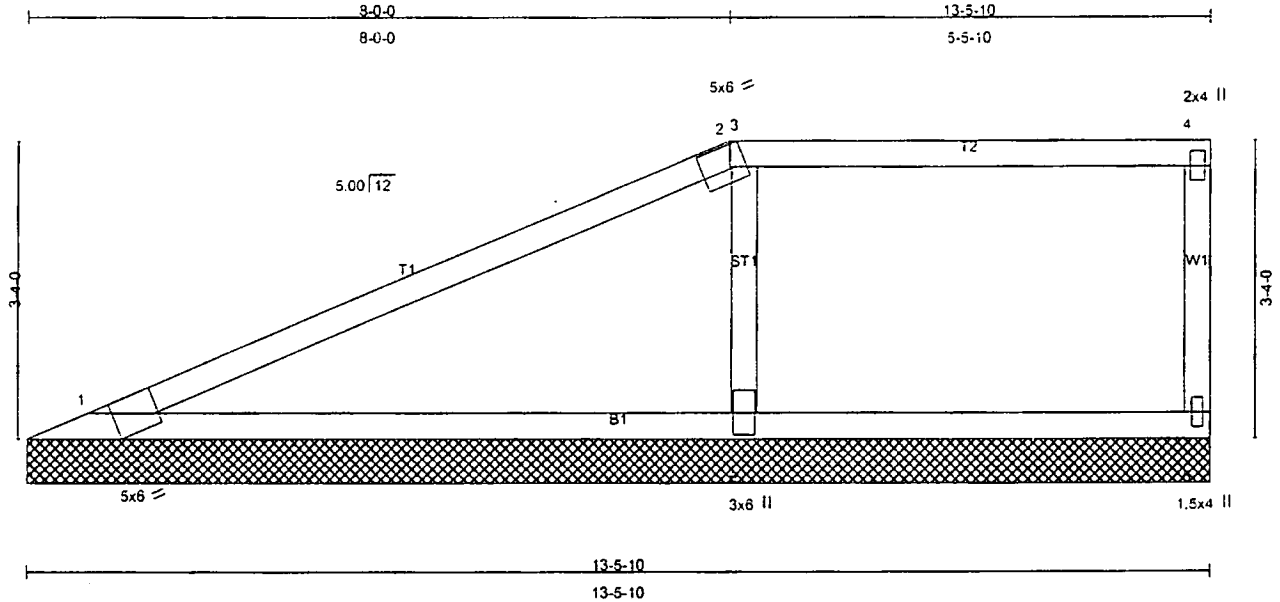
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	MHV13A	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:32:12 2001 Page 1



Scale = 1:26.3

Plate Offsets (X,Y): [1:0-2-14 Edge], [2:0-3-13.0-2-14]								
LOADING (psf)	SPACING	2-0-0	CSI	DEFL	in (loc)	V/defl	PLATES	GRIP
TCLL 20.0	Plates Increase	1.33	TC 0.97	Vert(LL)	n/a	-	MI120	249/190
TCDL 15.0	Lumber Increase	1.33	BC 0.62	Vert(TL)	n/a	-		
BCLL 10.0	Rep Stress Incr	YES	WB 0.32	Horz(TL)	-0.00	5		
BCDL 10.0	Code	SBC/SBCCI	(Matrix)	1st LC LL Min V/defl	=	360	Weight: 48 lb	

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3
 OTHERS 2 X 4 SYP No.3

BRACING
 TOP CHORD Sheathed or 4-1-15 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

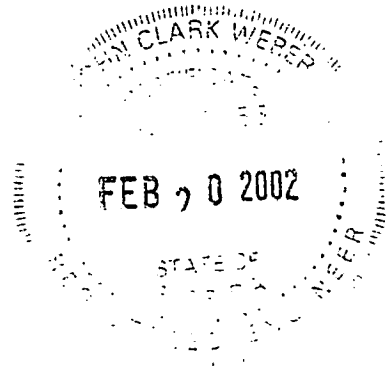
[P]

REACTIONS (lb/size) 1=338/13-5-10, 5=180/13-5-10, 6=867/13-5-10
 Max Horz 1=430(load case 4)
 Max Uplift 1=-265(load case 4), 5=-236(load case 3), 6=-1090(load case 4)
 Max Grav 1=338(load case 1), 5=227(load case 7), 6=867(load case 1)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=89, 2-3=-19, 3-4=-19, 4-5=-120
 BOT CHORD 1-6=19, 5-6=19
 WEBS 3-6=-529

- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 3) Provide adequate drainage to prevent water ponding.
 - 4) Gable requires continuous bottom chord bearing.
 - 5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 265 lb uplift at joint 1, 236 lb uplift at joint 5 and 1090 lb uplift at joint 6.
 - 6) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	MHV11A	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:32:13 2001 Page 1

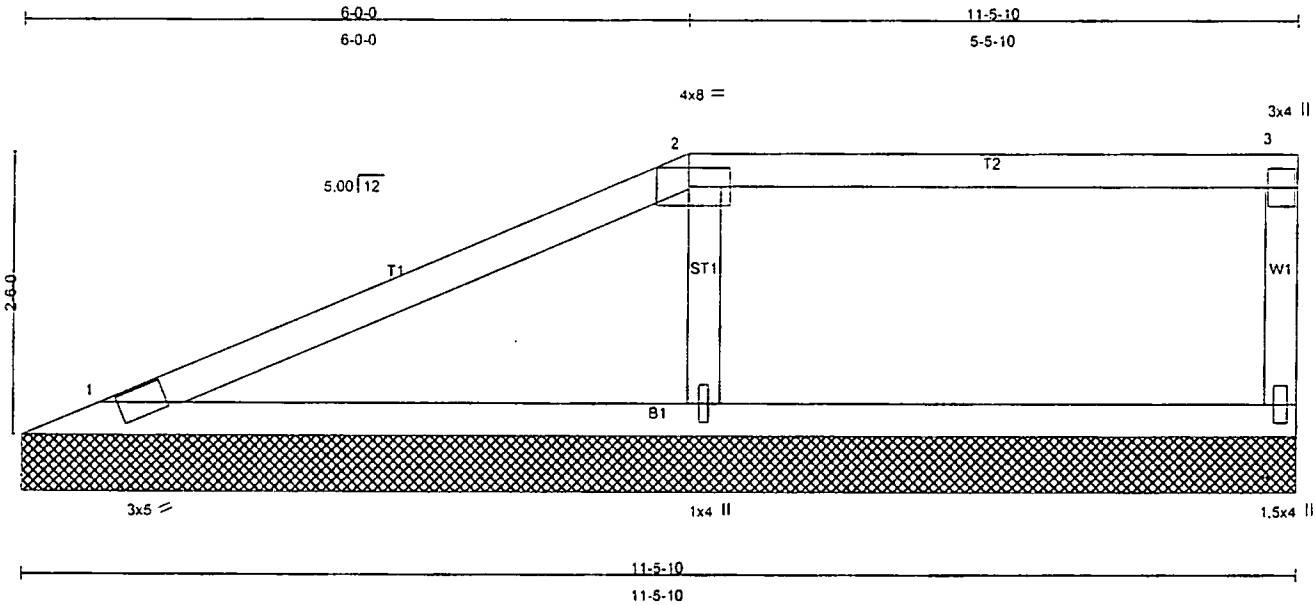


Plate Offsets (X,Y): [2:0-4-8,0-2-0]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.71	in (loc) Vdefl	M1120	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.28	Vert(LL) n/a - n/a		
BCLL 10.0	Lumber Increase 1.33	WB 0.24	Vert(TL) n/a - n/a		
BCDL 10.0	Rep Stress Incr YES	(Matrix)	Horz(TL) -0.00 4 n/a		
	Code SBC/SBCCI		1st LC LL Min Vdefl = 360	Weight: 39 lb	

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3
 OTHERS 2 X 4 SYP No.3

BRACING
 TOP CHORD Sheathed or 6-0-0 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size) 1=270/11-5-10, 4=255/11-5-10, 5=641/11-5-10
 Max Horz 1=312(load case 4)
 Max Uplift 1=-229(load case 4), 4=-305(load case 3), 5=-779(load case 4)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=-151, 2-3=-74, 3-4=-166
 BOT CHORD 1-5=99, 4-5=74
 WEBS 2-5=-385

- NOTES**
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 2) Provide adequate drainage to prevent water ponding.
 - 3) Gable requires continuous bottom chord bearing.
 - 4) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 229 lb uplift at joint 1, 305 lb uplift at joint 4 and 779 lb uplift at joint 5.
 - 5) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	MHV11	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:32:14 2001 Page 1

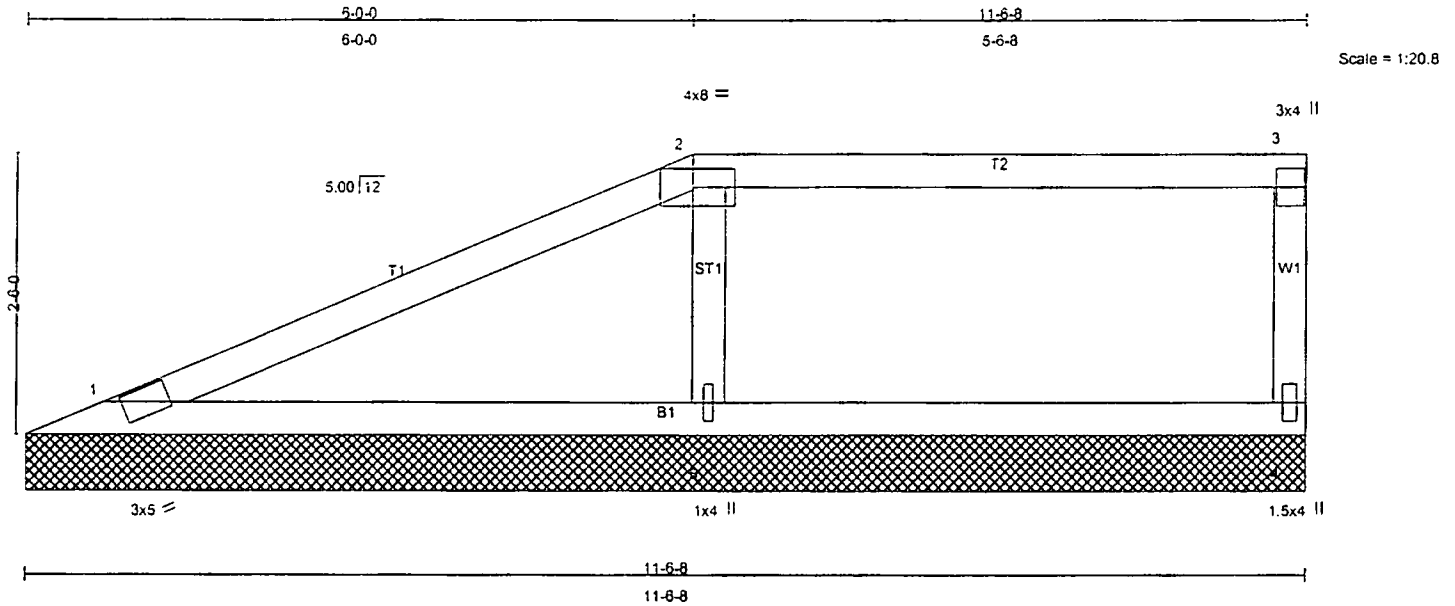


Plate Offsets (X,Y): [2:0-4-8,0-2-0]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.73	in (loc) I/defl	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.27	Vert(LL) n/a - n/a		
BCLL 10.0	Lumber Increase 1.33	WB 0.24	Vert(TL) n/a - n/a		
BCDL 10.0	Rep Stress Incr YES	(Matrix)	Horz(TL) -0.00 4 n/a		
	Code SBC/SBCCI		1st LC LL Min I/defl = 360	Weight: 40 lb	

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3
 OTHERS 2 X 4 SYP No.3

BRACING
 TOP CHORD Sheathed or 6-0-0 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size) 1=270/11-6-8, 4=260/11-6-8, 5=643/11-6-8
 Max Horz 1=312(load case 4)
 Max Uplift 1=-230(load case 4), 4=-310(load case 3), 5=-781(load case 4)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=-155, 2-3=-77, 3-4=-169
 BOT CHORD 1-5=103, 4-5=77
 WEBS 2-5=-386

- NOTES**
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 2) Provide adequate drainage to prevent water ponding.
 - 3) Gable requires continuous bottom chord bearing.
 - 4) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 230 lb uplift at joint 1, 310 lb uplift at joint 4 and 781 lb uplift at joint 5.
 - 5) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	MHV9A	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:32:15 2001 Page 1

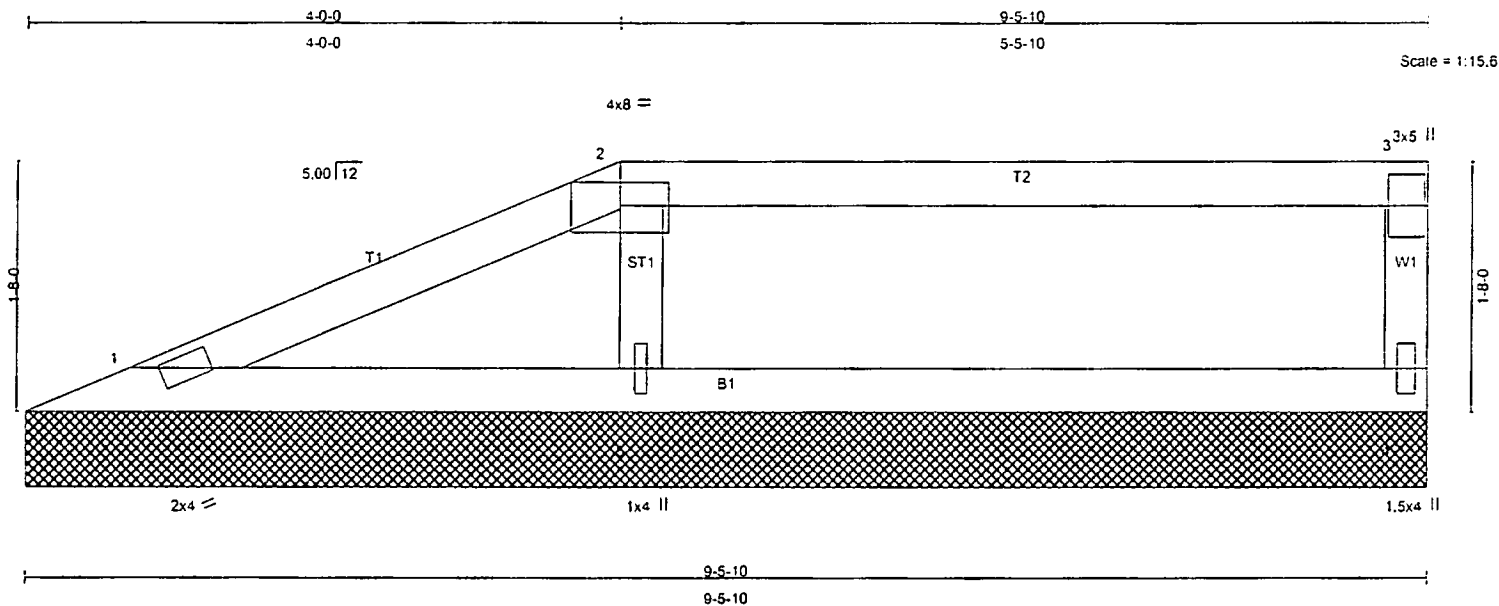


Plate Offsets (X,Y): [2-0-4-0-0-1-13]

LOADING (psf)	SPACING	2-0-0	CSI	DEFL	in (loc)	l/defl	PLATES	GRIP
TCLL 20.0	Plates Increase	1.33	TC 0.86	Vert(LL)	n/a	-	MII20	249/190
TCDL 15.0	Lumber Increase	1.33	BC 0.14	Vert(TL)	n/a	-		
BCLL 10.0	Rep Stress Incr	YES	WB 0.18	Horz(TL)	-0.00	4		
BCDL 10.0	Code	SBC/SBCCI	(Matrix)	1st LC LL Min l/defl	=	360	Weight: 31 lb	

LUMBER

TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3
 OTHERS 2 X 4 SYP No.3

BRACING

TOP CHORD Sheathed or 6-0-0 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size)

1=194/9-5-10, 4=289/9-5-10, 5=462/9-5-10
 Max Horz 1=194(load case 4)
 Max Uplift 1=-178(load case 4), 4=-329(load case 3), 5=-543(load case 4)

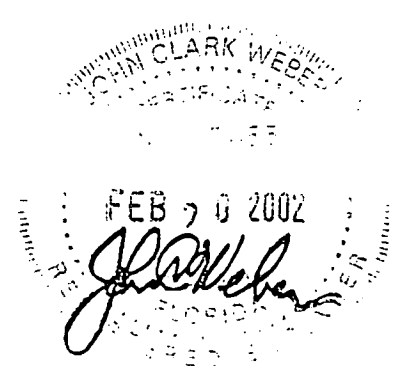
FORCES (lb) - First Load Case Only

TOP CHORD 1-2=-222, 2-3=-159, 3-4=-185
 BOT CHORD 1-5=188, 4-5=159
 WEBS 2-5=-268

NOTES

- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
- 2) Provide adequate drainage to prevent water ponding.
- 3) Gable requires continuous bottom chord bearing.
- 4) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 178 lb uplift at joint 1, 329 lb uplift at joint 4 and 543 lb uplift at joint 5.
- 5) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	MHV9	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:32:16 2001 Page 1

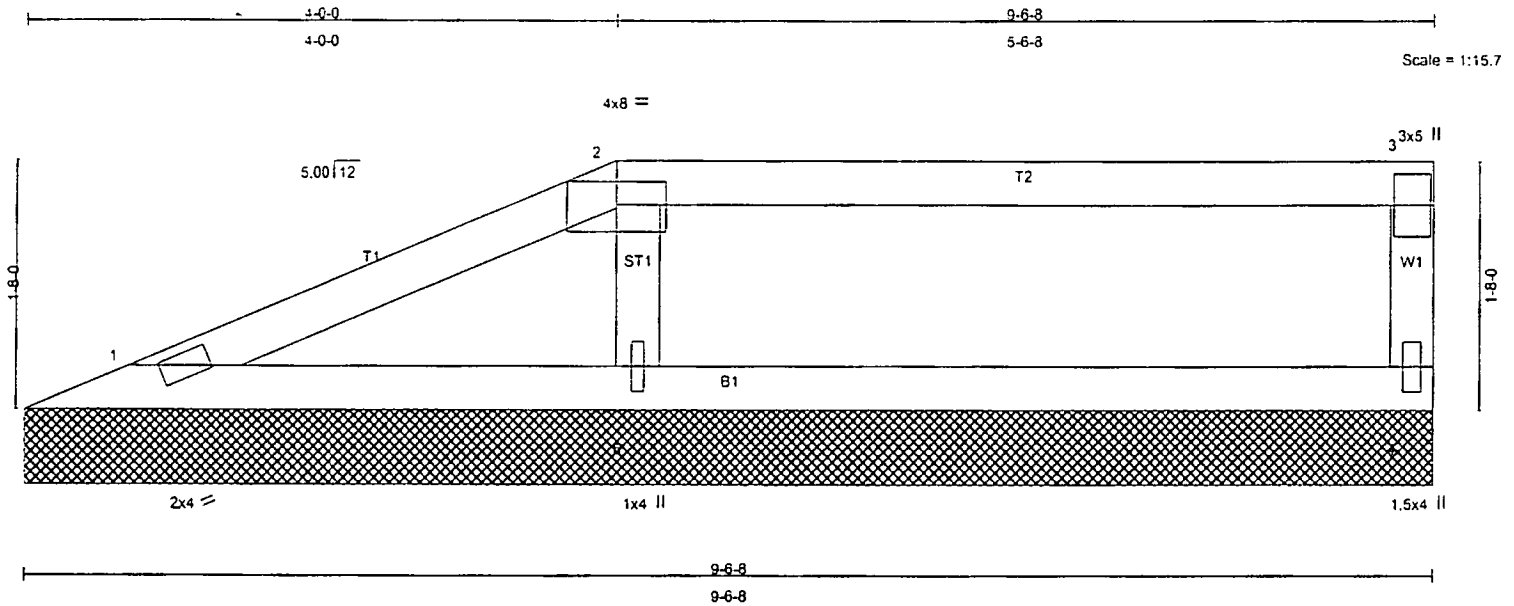


Plate Offsets (X,Y): [2:0-4-0-0-1-13]

LOADING (psf)	SPACING 2-0-0	CSI	DEFL in (loc) $\sqrt{\text{defl}}$	PLATES	GRIP
TCLL 20.0	Plates Increase 1.33	TC 0.89	Vert(LL) n/a - n/a	MII20	249/190
TCDL 15.0	Lumber Increase 1.33	BC 0.14	Vert(TL) n/a - n/a		
BCLL 10.0	Rep Stress Incr YES	WB 0.18	Horz(TL) -0.00 4 n/a		
BCDL 10.0	Code SBC/SBCCI	(Matrix)	1st LC LL Min $\sqrt{\text{defl}}$ = 360	Weight: 31 lb	

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3
 OTHERS 2 X 4 SYP No.3

BRACING
 TOP CHORD Sheathed or 6-0-0 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

(P)

REACTIONS (lb/size) 1=195/9-6-8, 4=293/9-6-8, 5=465/9-6-8
 Max Horz 1=194(load case 4)
 Max Uplift 1=179(load case 4), 4=-334(load case 3), 5=-546(load case 4)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=-228, 2-3=-165, 3-4=-188
 BOT CHORD 1-5=193, 4-5=165
 WEBS 2-5=-270

- NOTES**
- This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - Provide adequate drainage to prevent water ponding.
 - Gable requires continuous bottom chord bearing.
 - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 179 lb uplift at joint 1, 334 lb uplift at joint 4 and 546 lb uplift at joint 5.
 - This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

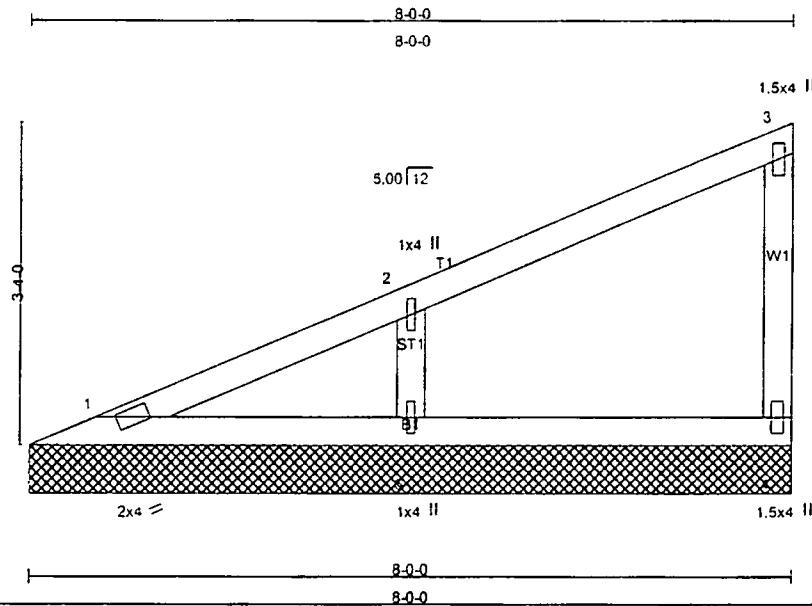
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	MV8	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:32:17 2001 Page 1



Scale = 1:24.3

LOADING (psf)	SPACING 2-0-0	CSI	DEFL in (loc) Vdefl	PLATES	GRIP
TCLL 20.0	Plates Increase 1.33	TC 0.36	Vert(LL) n/a - n/a	MII20	249/190
TCDL 15.0	Lumber Increase 1.33	BC 0.09	Vert(TL) n/a - n/a		
BCLL 10.0	Rep Stress Incr YES	WB 0.21	Horz(TL) 0.00 n/a		
BCDL 10.0	Code SBC/SBCCI	(Matrix)	1st LC LL Min Vdefl = 360		Weight: 29 lb

LUMBER

TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3
 OTHERS 2 X 4 SYP No.3

BRACING

TOP CHORD Sheathed or 6-0-0 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

(P)

REACTIONS (lb/size) 1=126/8-0-0, 4=166/8-0-0, 5=492/8-0-0
 Max Horz 1=419(load case 4)
 Max Uplift 4=-220(load case 4), 5=-652(load case 4)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=57, 2-3=30, 3-4=-106
 BOT CHORD 1-5=0, 4-5=0
 WEBS 2-5=-313

NOTES

- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
- 2) Gable requires continuous bottom chord bearing.
- 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 220 lb uplift at joint 4 and 652 lb uplift at joint 5.
- 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

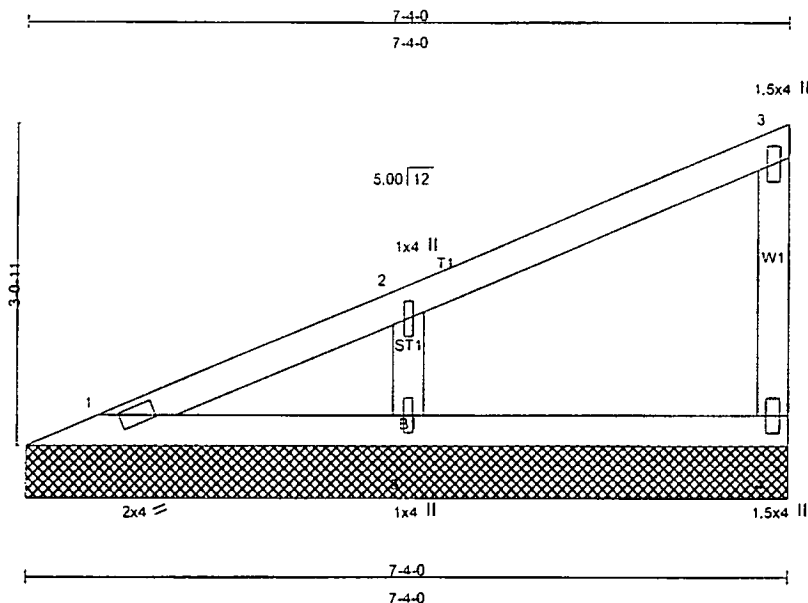
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	MV7	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:32:18 2001 Page 1



Scale = 1:22.2

LOADING (psf)	SPACING 2-0-0	CSI	DEFL in (loc) I/defl	PLATES	GRIP
TCLL 20.0	Plates Increase 1.33	TC 0.29	Vent(LL) n/a - n/a	MII20	249/190
TCDL 15.0	Lumber Increase 1.33	BC 0.08	Vent(TL) n/a - n/a		
BCLL 10.0	Rep Stress Incr YES	WB 0.19	Horz(TL) 0.00 n/a		
BCDL 10.0	Code SBC/SBCCI	(Matrix)	1st LC LL Min I/defl = 360		Weight: 27 lb

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3
 OTHERS 2 X 4 SYP No.3

BRACING
 TOP CHORD Sheathed or 6-0-0 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size) 1=112/7-4-0, 4=152/7-4-0, 5=447/7-4-0
 Max Horz 1=380(load case 4)
 Max Uplift 4=-202(load case 4), 5=-591(load case 4)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=52, 2-3=28, 3-4=-97
 BOT CHORD 1-5=0, 4-5=0
 WEBS 2-5=-284

- NOTES**
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI If and verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
 - 2) Gable requires continuous bottom chord bearing.
 - 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 202 lb uplift at joint 4 and 591 lb uplift at joint 5.
 - 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	MHV7	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:32:19 2001 Page 1

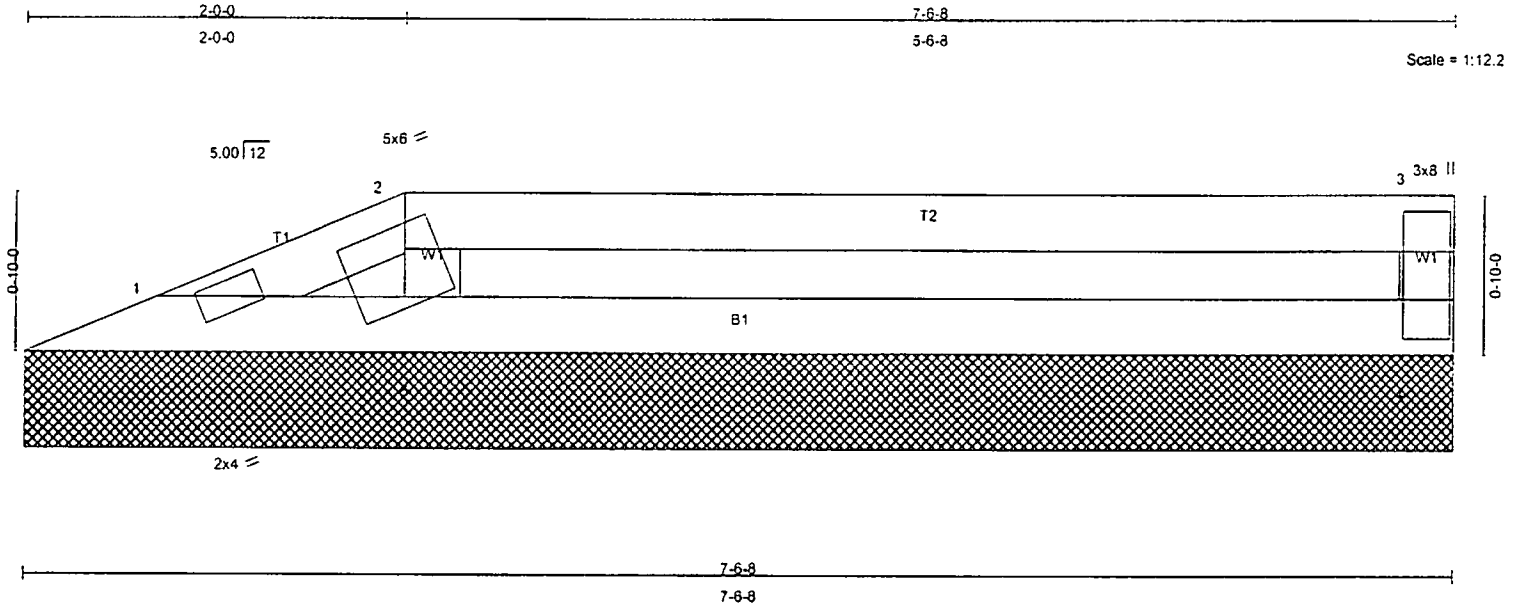


Plate Offsets (X,Y): [2:0-4-0,0-1-8]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.68	in (loc) Vdefl	M120	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.17	Vert(LL) n/a - n/a		
BCLL 10.0	Lumber Increase 1.33	WB 0.13	Vert(TL) n/a - n/a		
BCDL 10.0	Rep Stress Incr YES	(Matrix)	Horz(TL) -0.00 4 n/a		
	Code SBC/SBCCI		1st LC LL Min Vdefl = 360		Weight: 22 lb

LUMBER

TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3

BRACING

TOP CHORD Sheathed or 6-0-0 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size) 1=19/7-6-8, 4=273/7-6-8, 5=442/7-6-8

Max Horz 1=76(load case 4)
 Max Uplift 1=-126(load case 4), 4=-333(load case 2), 5=-349(load case 4)

FORCES (lb) - First Load Case Only

TOP CHORD 1-2=-76, 2-3=0, 3-4=-189
 BOT CHORD 1-5=57, 4-5=0
 WEBS 2-5=-217

NOTES

- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
- 2) Provide adequate drainage to prevent water ponding.
- 3) Gable requires continuous bottom chord bearing.
- 4) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 126 lb uplift at joint 1, 333 lb uplift at joint 4 and 349 lb uplift at joint 5.
- 5) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

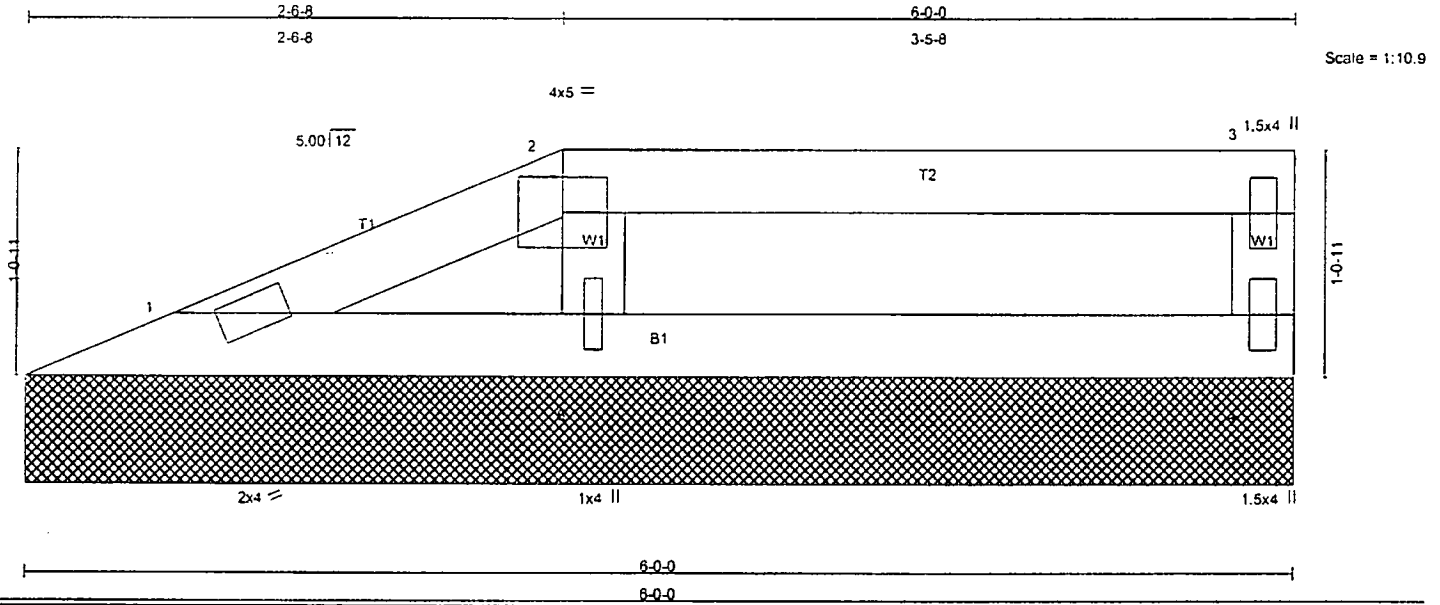
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	MHV6	ROOF TRUSS	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:32:19 2001 Page 1



LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.26	in (loc) Vdefl	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.06	Vert(LL) n/a - n/a		
BCLL 10.0	Lumber Increase 1.33	WB 0.10	Vert(TL) n/a - n/a		
BCDL 10.0	Rep Stress Incr YES	(Matrix)	Horz(TL) -0.00 4 n/a	Weight: 18 lb	
	Code SBC/SBCCI		1st LC LL Min Vdefl = 360		

LUMBER
TOP CHORD 2 X 4 SYP M 14
BOT CHORD 2 X 4 SYP M 14
WEBS 2 X 4 SYP No.3

BRACING
TOP CHORD Sheathed or 6-0-0 oc purlins, except end verticals. [P]
BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

REACTIONS (lb/size) 1=96/6-0-0, 4=167/6-0-0, 5=300/6-0-0
Max Horz 1=108(load case 4)
Max Uplift 1=-118(load case 4), 4=-205(load case 2), 5=-299(load case 4)

FORCES (lb) - First Load Case Only
TOP CHORD 1-2=-54, 2-3=0, 3-4=-116
BOT CHORD 1-5=32, 4-5=0
WEBS 2-5=-169

- NOTES**
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 2) Provide adequate drainage to prevent water ponding.
 - 3) Gable requires continuous bottom chord bearing.
 - 4) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 118 lb uplift at joint 1, 205 lb uplift at joint 4 and 299 lb uplift at joint 5.
 - 5) This truss has been designed for both TPI-35 and ANSI/TPI 1-1995 plating criteria.

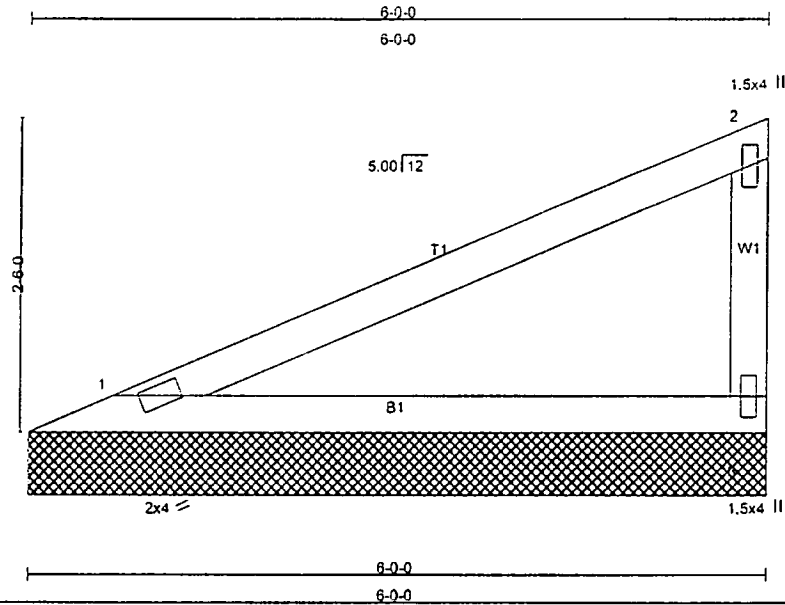
LOAD CASE(S) Standard

CLARK WEBB
FEB 20 2002
[Signature]

Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	MV6	COMMON	2	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:32:20 2001 Page 1



Scale = 1:18.7

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.54	in (loc) l/defl	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.14	Vert(LL) n/a - n/a		
BCLL 10.0	Lumber Increase 1.33	WB 0.00	Vert(TL) n/a - n/a		
BCDL 10.0	Rep Stress Incr YES		Horz(TL) 0.00 n/a		
	Code SBC/SBCCI		1st LC LL Min l/defl = 360		
				Weight: 20 lb	

LUMBER

TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3

BRACING

TOP CHORD Sheathed or 6-0-0 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size) 1=282/6-0-0, 3=282/6-0-0
 Max Horz 1=302(load case 4)
 Max Uplift 1=-248(load case 4), 3=-374(load case 4)

FORCES (lb) - First Load Case Only

TOP CHORD 1-2=-0, 2-3=-179
 BOT CHORD 1-3=0

NOTES

- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
- 2) Gable requires continuous bottom chord bearing.
- 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 248 lb uplift at joint 1 and 374 lb uplift at joint 3.
- 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	MHV7A	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:32:21 2001 Page 1

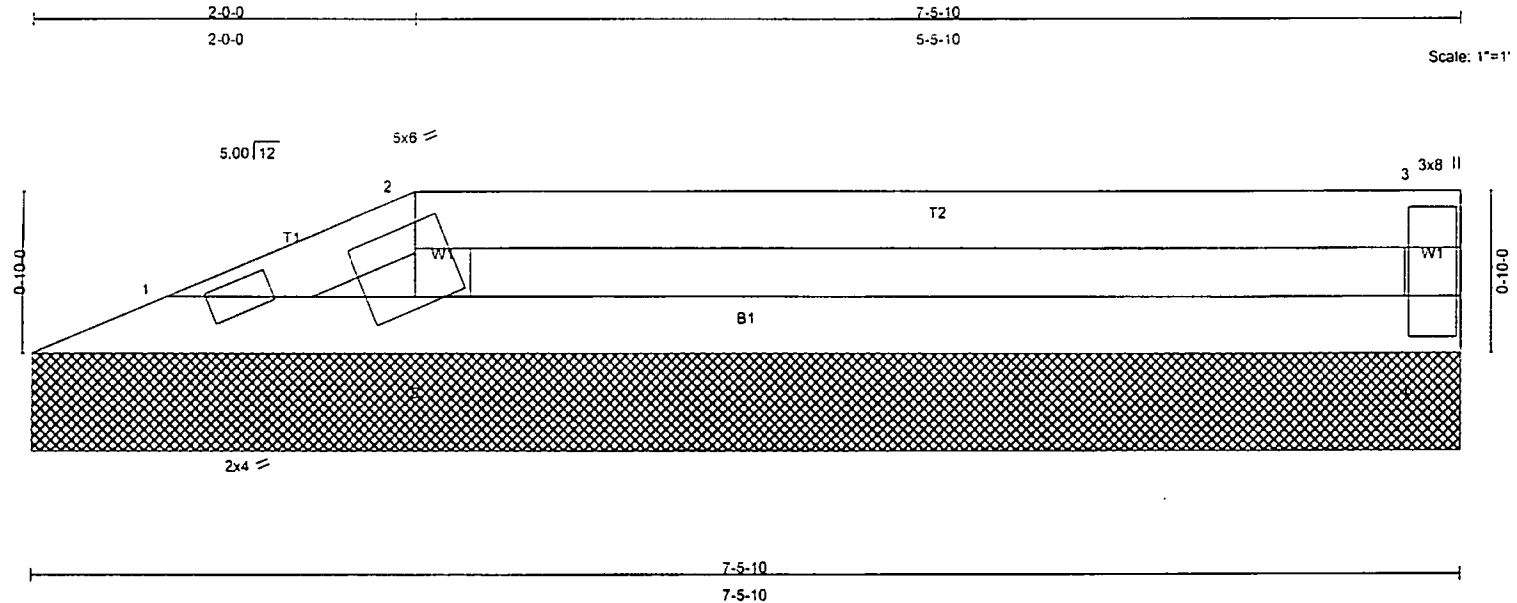


Plate Offsets (X,Y): [2-0-4-0-0-1-8]

LOADING (psf)	SPACING	CS	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.66	in (loc) V/defl	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.16	Vert(LL) n/a - n/a	Weight: 22 lb	
BCLL 10.0	Lumber Increase 1.33	WB 0.13	Vert(TL) n/a - n/a		
BCDL 10.0	Rep Stress Incr YES	(Matrix)	Horz(TL) -0.00 4 n/a		
	Code SBC/SBCCI		1st LC LL Min V/defl = 360		

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3

BRACING
 TOP CHORD Sheathed or 6-0-0 oc purlins, except end verticals. [P]
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

REACTIONS (lb/size) 1=21/7-5-10, 4=269/7-5-10, 5=435/7-5-10
 Max Horz 1=76(load case 4)
 Max Uplift 1=-125(load case 4), 4=-328(load case 2), 5=-346(load case 4)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=-75, 2-3=0, 3-4=-186
 BOT CHORD 1-5=56, 4-5=0
 WEBS 2-5=-214

- NOTES**
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
 - 2) Provide adequate drainage to prevent water ponding.
 - 3) Gable requires continuous bottom chord bearing.
 - 4) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 125 lb uplift at joint 1, 328 lb uplift at joint 4 and 346 lb uplift at joint 5.
 - 5) This truss has been designed for both TPI-35 and ANSI/TPI 1-1995 plating criteria.

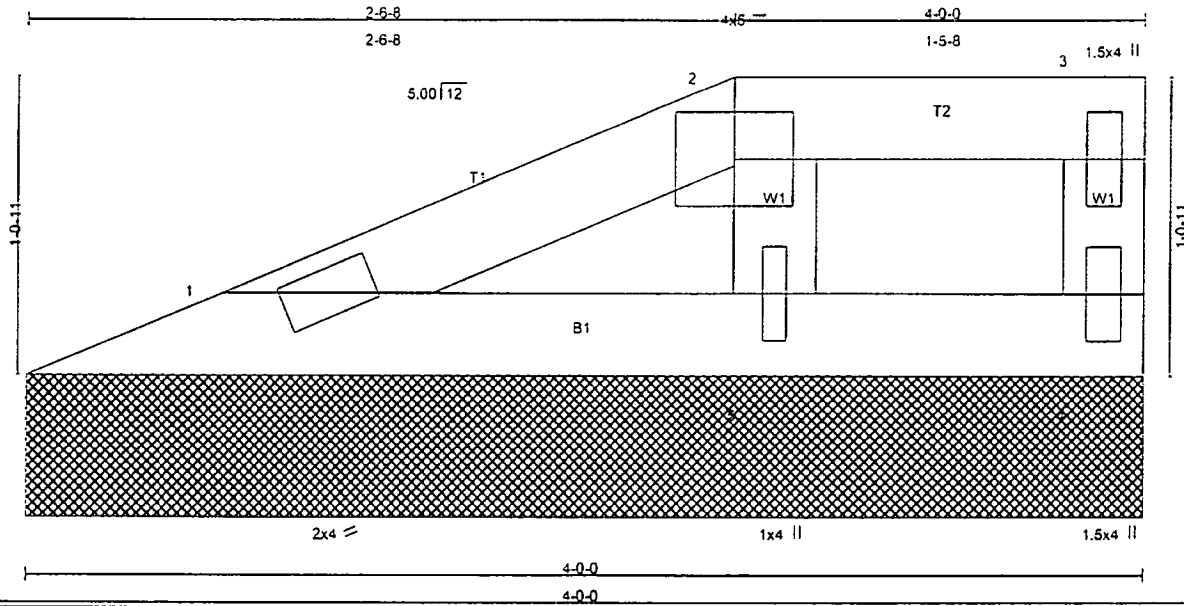
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	MHV4	ROOF TRUSS	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:32:22 2001 Page 1



LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.09	in (loc) V/defl	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.02	Vert(LL) n/a - n/a		
BCLL 10.0	Lumber Increase 1.33	WB 0.06	Vert(TL) n/a - n/a		
BCDL 10.0	Rep Stress Incr YES	(Matrix)	Horz(TL) -0.00 4 n/a		
	Code SBC/SBCCI		1st LC LL Min V/defl = 360	Weight: 12 lb	

LUMBER

TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3

BRACING

TOP CHORD Sheathed or 4-0-0 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size) 1=103/4-0-0, 4=57/4-0-0, 5=184/4-0-0
 Max Horz 1=108(load case 4)
 Max Uplift1=-105(load case 4), 4=-83(load case 2), 5=-190(load case 4)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=-41, 2-3=0, 3-4=-46
 BOT CHORD 1-5=19, 4-5=0
 WEBS 2-5=-103

- NOTES**
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
 - 2) Provide adequate drainage to prevent water ponding.
 - 3) Gable requires continuous bottom chord bearing.
 - 4) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 105 lb uplift at joint 1, 83 lb uplift at joint 4 and 190 lb uplift at joint 5.
 - 5) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

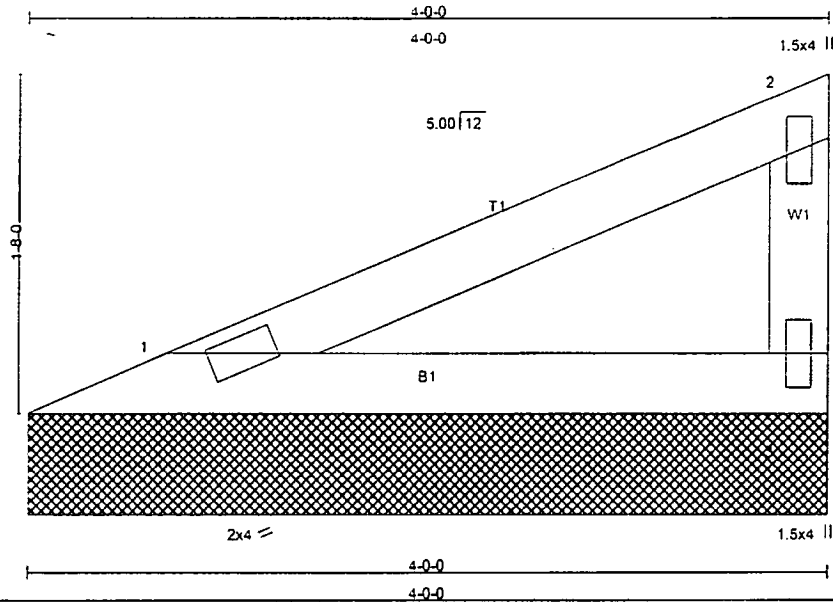
LOAD CASE(S) Standard

CLARK
 FEB 20 2002
[Signature]

Job	Truss	Truss Type	Qty	Ply	STEVE MACARI - SMITH RESIDENCE
UPPER	MV4	COMMON	2	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:32:23 2001 Page 1



Scale = 1:11.5

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.16	in (loc) /defl	M1120	242/190
TCDL 15.0	Plates Increase 1.33	BC 0.04	Vert(LL) n/a - n/a		
BCLL 10.0	Lumber Increase 1.33	WB 0.00	Vert(TL) n/a - n/a		
BCDL 10.0	Rep Stress Incr YES		Horz(TL) 0.00 n/a		
	Code SBC/SBCCI		1st LC LL Min /defl = 360	Weight: 13 lb	

LUMBER

TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3

BRACING

TOP CHORD Sheathed or 4-0-0 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

(P)

REACTIONS (lb/size) 1=172/4-0-0, 3=172/4-0-0

Max Horz 1=184(load case 4)
 Max Uplift 1=-151(load case 4), 3=-228(load case 4)

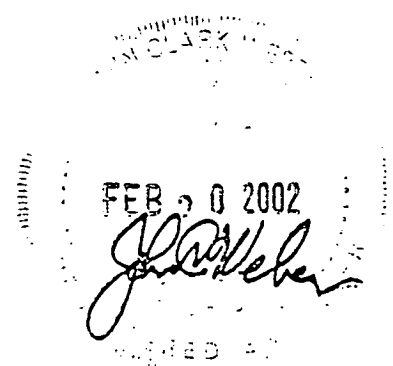
FORCES (lb) - First Load Case Only

TOP CHORD 1-2=0, 2-3=-109
 BOT CHORD 1-3=0

NOTES

- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
- 2) Gable requires continuous bottom chord bearing.
- 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 151 lb uplift at joint 1 and 228 lb uplift at joint 3.
- 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

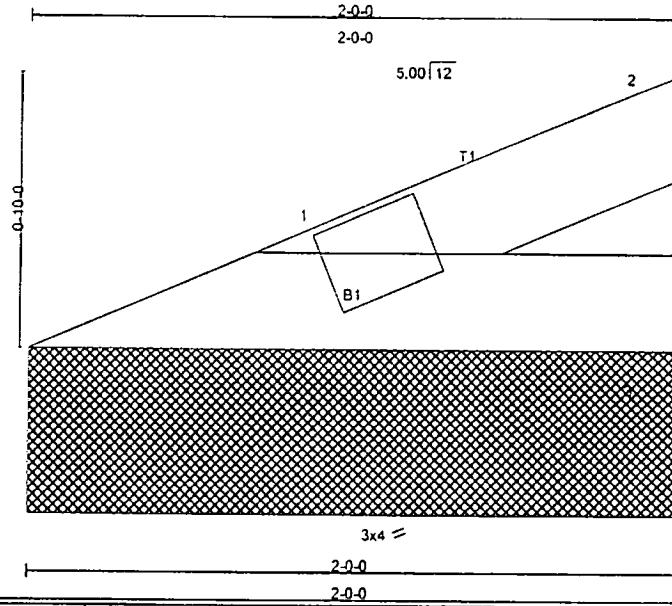
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	MV2	COMMON	4	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MITek Industries, Inc. Sat Dec 08 11:32:23 2001 Page 1



Scale = 1:7.1

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.17	in (loc) V/defl	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.17	Vert(LL) n/a - n/a		
BCLL 10.0	Lumber Increase 1.33	WB 0.00	Vert(TL) 0.01 1-2 >961		
BCDL 10.0	Rep Stress Incr YES	(Matrix)	Horz(TL) 0.00 n/a		
	Code SBC/SBCCI		1st LC LL Min V/defl = 360	Weight: 5 lb	

LUMBER
 TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14

BRACING
 TOP CHORD Sheathed or 2-0-0 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size) 1=55/2-0-0, 3=55/2-0-0
 Max Horz 1=105(load case 4)
 Max Uplift 1=-61(load case 4), 3=-117(load case 4)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=-33
 BOT CHORD 1-3=0

- NOTES**
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 2) Gable requires continuous bottom chord bearing.
 - 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 61 lb uplift at joint 1 and 117 lb uplift at joint 3.
 - 4) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

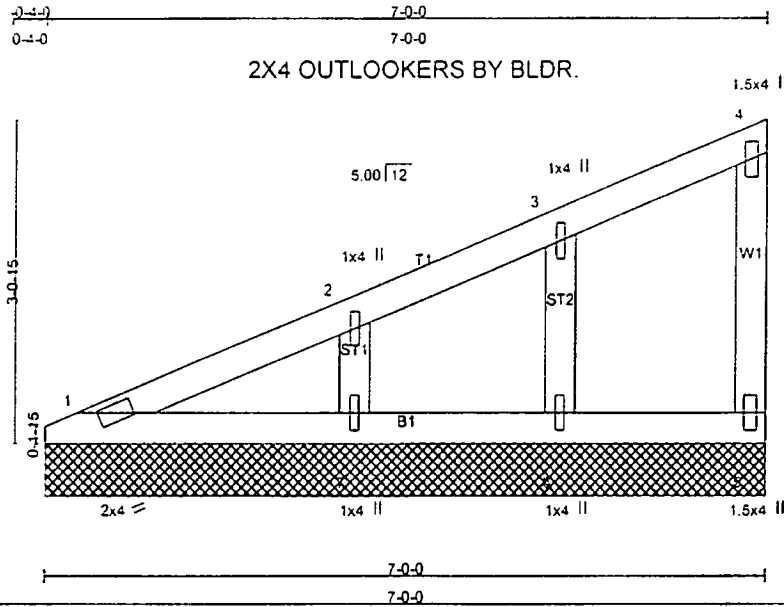
LOAD CASE(S) Standard



Job	Truss	Truss Type	Qty	Ply	STEVE MACARI -SMITH RESIDENCE
UPPER	MGE1	COMMON	1	1	(optional)

TL Southern Building Products, W. Palm Beach, FL

4.201 SR1 e Nov 16 2000 MiTek Industries, Inc. Sat Dec 08 11:32:24 2001 Page 1



Scale = 1.22.4

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.17	in (loc) Vdefl	MII20	249/190
TCDL 15.0	Plates Increase 1.33	BC 0.04	Vert(LL) n/a - n/a		
BCLL 10.0	Lumber Increase 1.33	WB 0.13	Vert(TL) n/a - n/a		
BCDL 10.0	Rep Stress Incr NO	(Matrix)	Horz(TL) 0.00 n/a		
	Code SBC/SBCCI		1st LC LL Min Vdefl = 360		Weight: 29 lb

LUMBER

TOP CHORD 2 X 4 SYP M 14
 BOT CHORD 2 X 4 SYP M 14
 WEBS 2 X 4 SYP No.3
 OTHERS 2 X 4 SYP No.3

BRACING

TOP CHORD Sheathed or 6-0-0 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

[P]

REACTIONS (lb/size) 1=119/7-0-0, 5=85/7-0-0, 6=209/7-0-0, 7=303/7-0-0
 Max Horz 1=383(load case 4)
 Max Uplift 5=-112(load case 4), 6=-277(load case 4), 7=-402(load case 4)

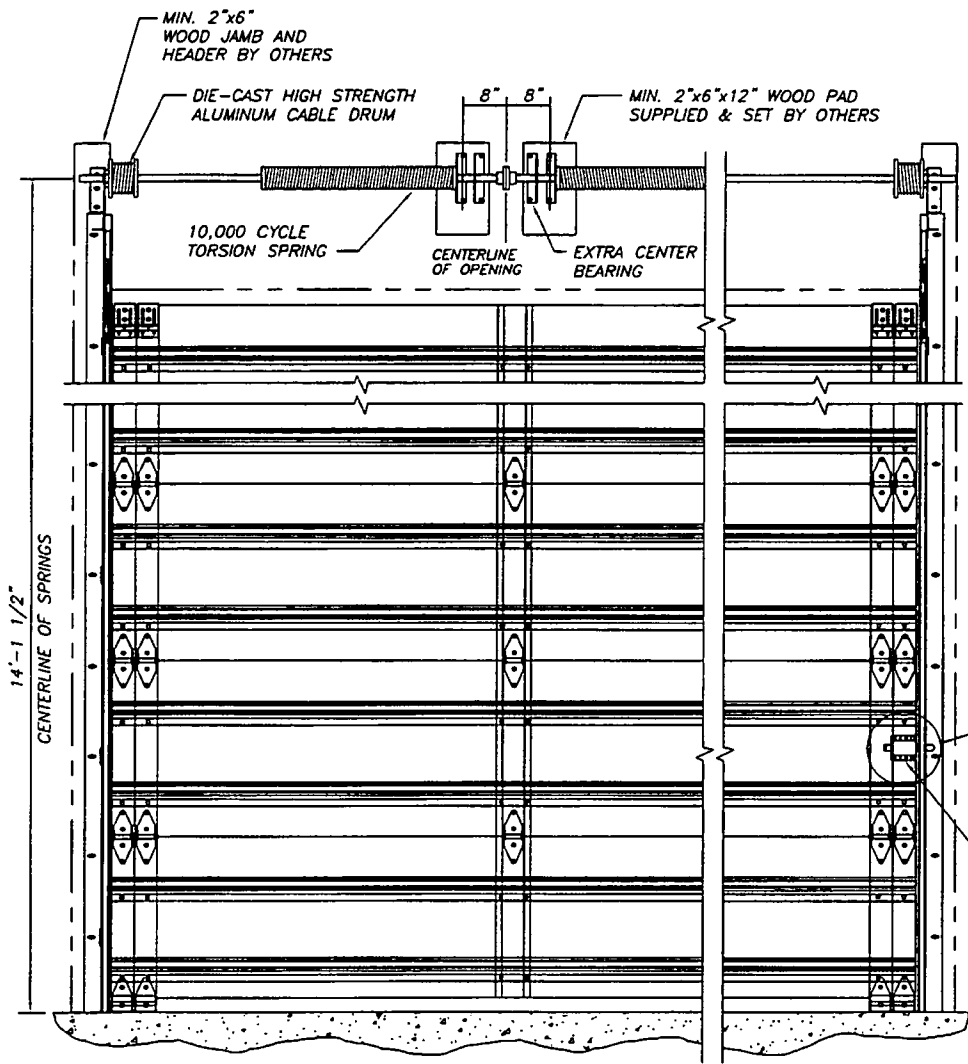
FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=42, 2-3=-32, 3-4=16, 4-5=-54
 BOT CHORD 1-7=0, 6-7=0, 5-6=0
 WEBS 3-6=-133, 2-7=-193

NOTES

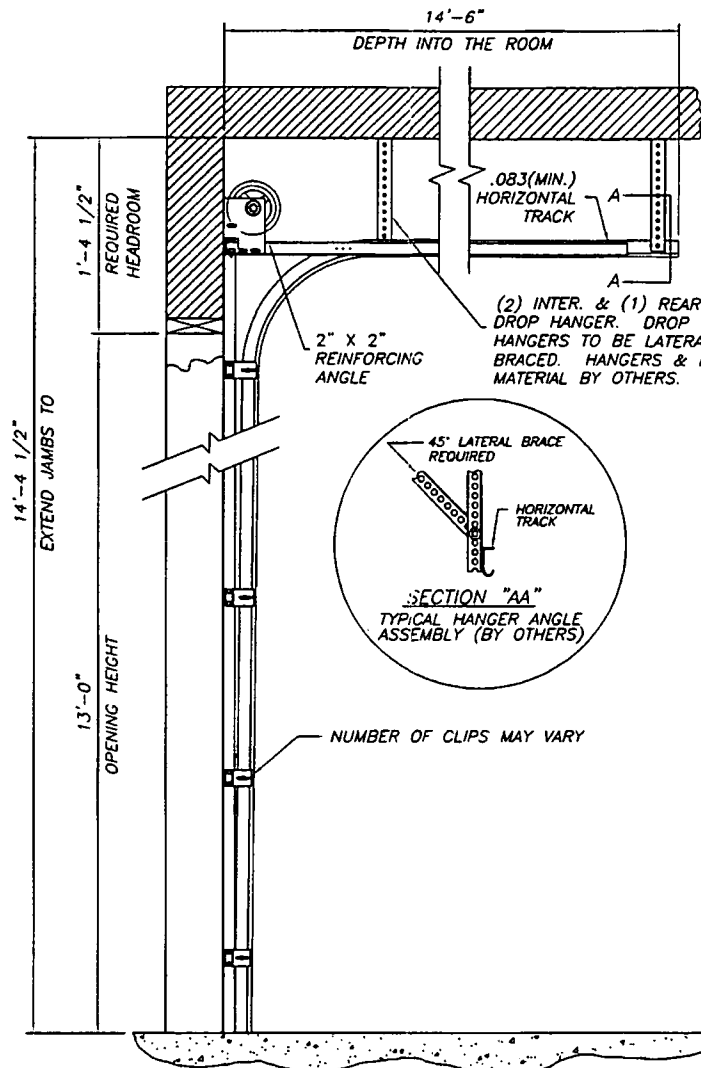
- 1) This truss has been designed for the wind loads generated by 140 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the gable end roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SBC/SBCCI. If end verticals or cantilevers exist, they are not exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
- 2) Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see MiTek "Standard Gable End Detail".
- 3) Gable requires continuous bottom chord bearing.
- 4) Gable studs spaced at 2-0-0 oc.
- 5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 112 lb uplift at joint 5, 277 lb uplift at joint 6 and 402 lb uplift at joint 7.
- 6) This truss has been designed for both TPI-85 and ANSI/TPI 1-1995 plating criteria.

LOAD CASE(S) Standard

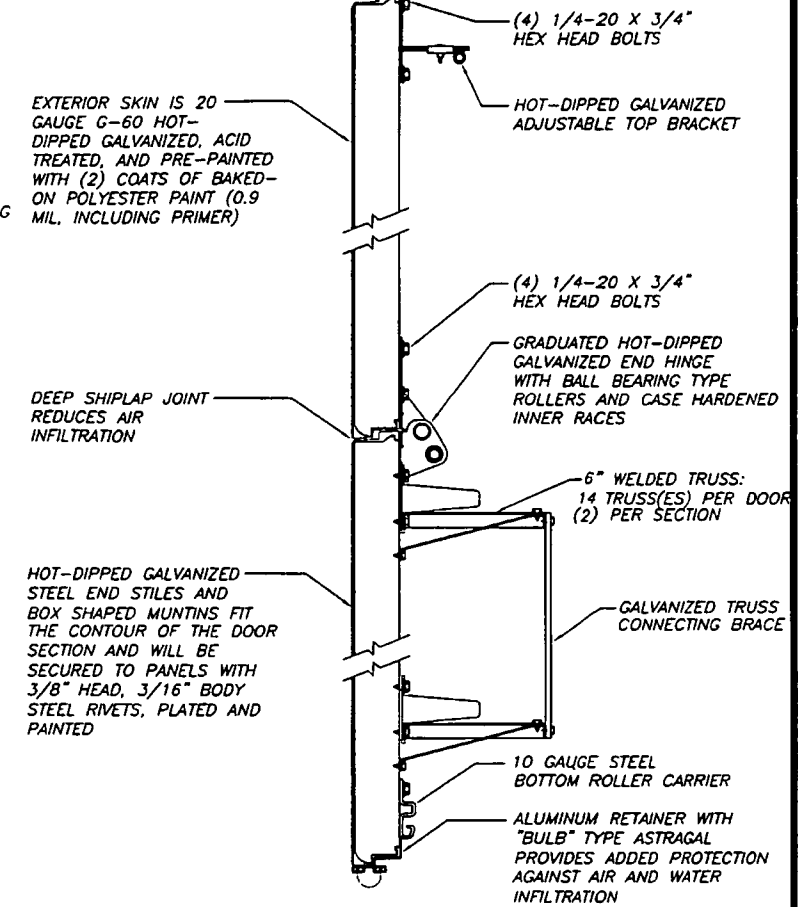




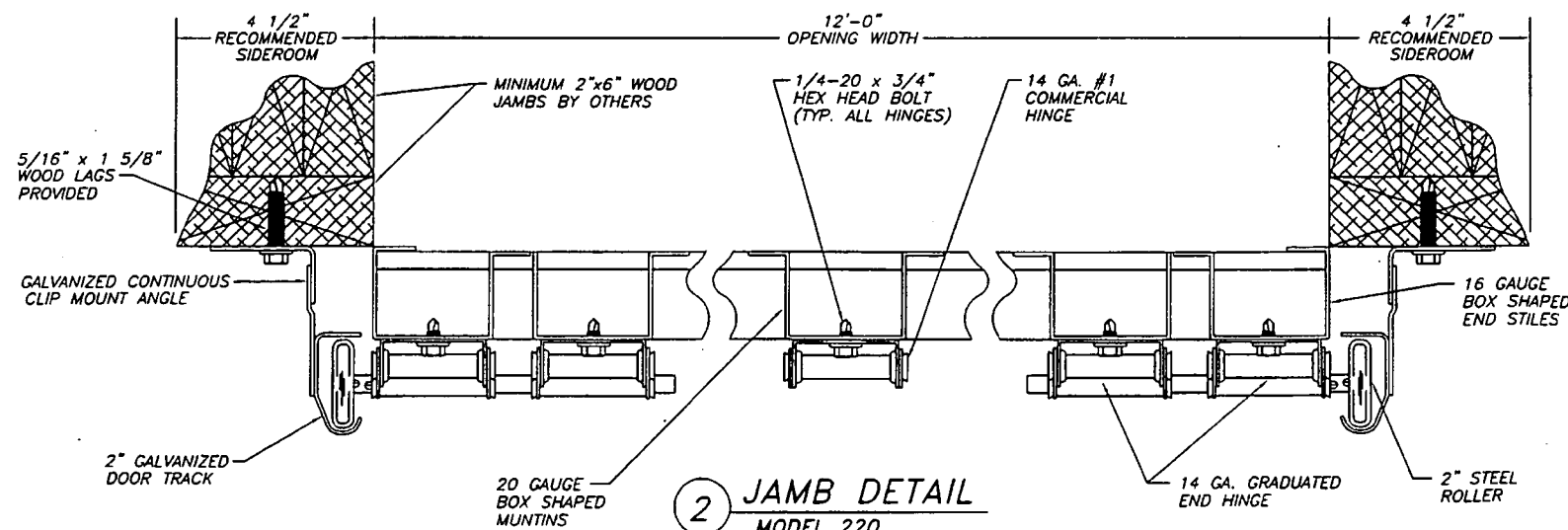
1 INTERIOR ELEVATION
MODEL 220



3 STANDARD LIFT
CLIP MOUNTED



4 SECTION CONSTRUCTION
MODEL 220



2 JAMB DETAIL
MODEL 220

IMPORTANT NOTE: WINDLOAD VALUE IS CALCULATED FROM ESTABLISHED TEST DATA ON SIMILAR PRODUCTS. NO THIRD PARTY CERTIFICATION IS AVAILABLE FOR THIS PRODUCT.
51 PSF DESIGN PRESSURE WINDLOAD
76.5 PSF TEST PRESSURE WINDLOAD
*PER ASTM E330 TEST METHOD. ASSUMED EXPOSURE "B".

MODEL 220 STEEL DOOR SPECIFICATIONS

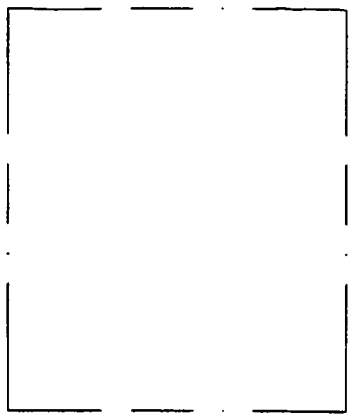
SECTIONS: Shall be roll-formed from 20 ga. continuous steel coil which is 1.25 oz. hot dipped galvanized (G-60) and pre-painted with 2 coats baked on polyester paint white exterior and white interior; .9 mil exterior and .5 mil interior (includes primer). Sections to be 2" thick, with shiplap joints. Box shaped 20 ga. muntins and 20 ga. end stiles shall be formed of galvanized steel with Pierce Nuts for rapid hinge attachment. Muntins and end stiles shall fit the contour of the sections and be secured to the panels with 3/8" head, 3/16" body steel rivets, plated and painted. The bottom section is to have a vinyl bulb-type astragal with aluminum extrusion.

TRACK: Commercial 2" Galvanized track; on continuous clip mounted reverse angle to wood jambs.

HARDWARE: 2" Rollers with steel races (10 hardened 1/4" balls). Heavy duty galvanized hinges (14 ga. minimum) and top and bottom roller carriers. Winding drums of high strength cast aluminum with galvanized steel aircraft cable of appropriate diameter for maximum safety factor.

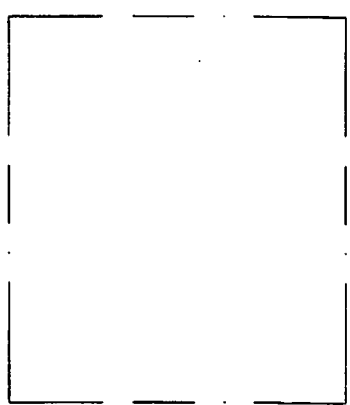
COUNTER BALANCE: Helical wound oil-tempered torsion springs, mounted on 1" diameter solid cold rolled steel shaft; shaft to be ball bearing mounted. Spring mounting pads as shown, supplied and set by others.

SPECIAL NOTES:



ARCHITECTURAL STAMP

ARCHITECTURAL NOTES



CONTRACTOR STAMP

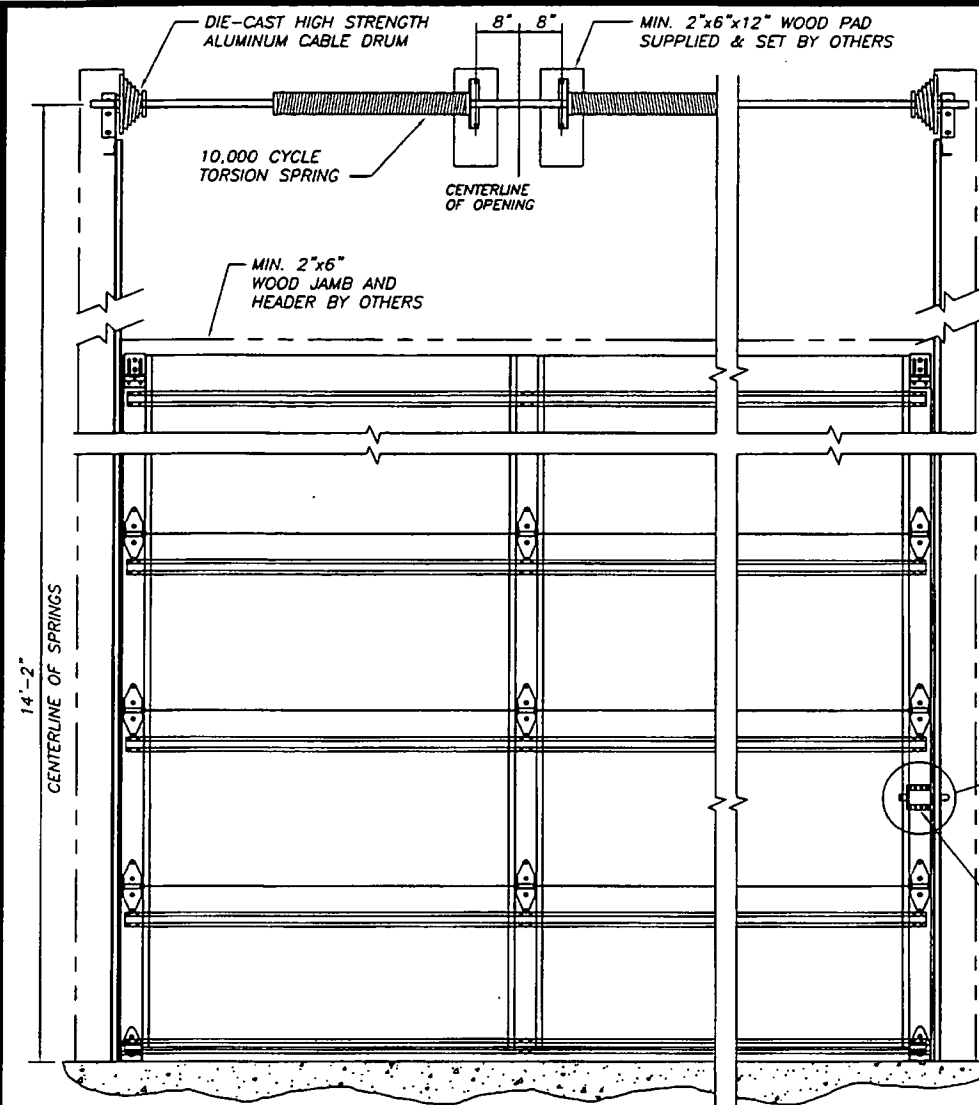
REVISIONS



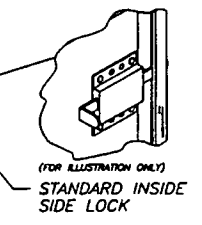
DOOR NUMBER (DOOR MARKS)	QTY.	NET OPENING SIZE	FINISHED DOOR SIZE	TYPE OF LIFT	TYPE OF OPERATION	SECT'S. GLAZED	LITES PER SECT.	PANELS WIDE	SECTIONS HIGH	
									24"	20.8"
A	1	12'-0" X 13'-0"	12'-0" X 13'-1"	STANDARD	MANUAL	0	0	6	3	4

PROJECT:	AMERICAN
ARCHITECT:	
CONTRACTOR:	WAYNE-DALTON OF PALM CITY
DRAWN BY:	JLT
DATE:	1/10/03
SHEET:	1 OF 2

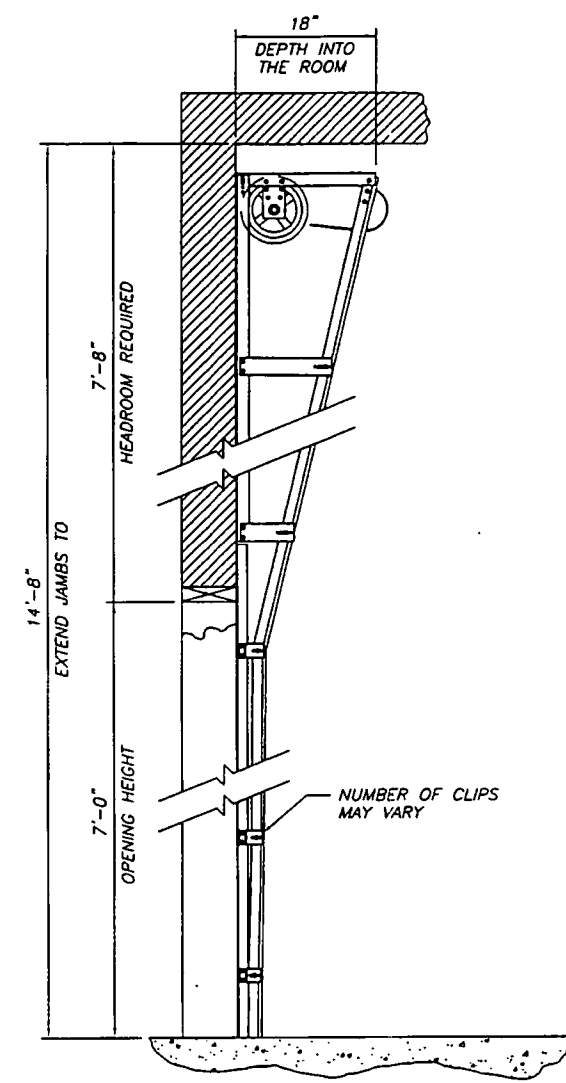
DRAWING NO.	211357
REVISION # 0	
FILE NO.	211357



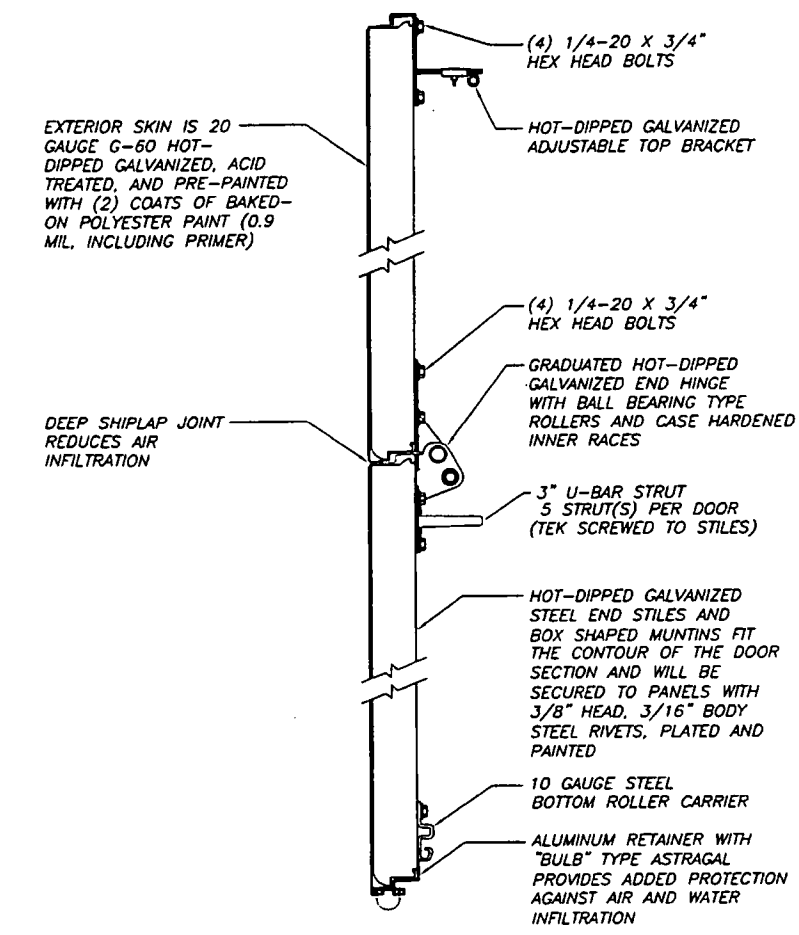
1 INTERIOR ELEVATION
MODEL 220



2 JAMB DETAIL
MODEL 220



3 VERTICAL LIFT
CLIP MOUNTED



4 SECTION CONSTRUCTION
MODEL 220

IMPORTANT NOTE: WINDLOAD VALUE IS CALCULATED FROM ESTABLISHED TEST DATA ON SIMILAR PRODUCTS. NO THIRD PARTY CERTIFICATION IS AVAILABLE FOR THIS PRODUCT.
51 PSF DESIGN PRESSURE WINDLOAD
76.5 PSF TEST PRESSURE WINDLOAD
*PER ASTM E330 TEST METHOD. ASSUMED EXPOSURE "B".

MODEL 220 STEEL DOOR SPECIFICATIONS

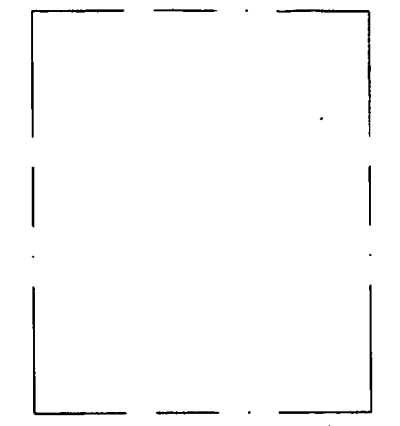
SECTIONS: Shall be roll-formed from 20 ga. continuous steel coil which is 1.25 oz. hot dipped galvanized (G-60) and prepainted with 2 coats baked on polyester paint white exterior and white interior; .9 mil exterior and .5 mil interior (includes primer). Sections to be 2" thick, with shiplap joints. Box shaped 20 ga. muntins and 20 ga. end stiles shall be formed of galvanized steel with Pierce Nuts for rapid hinge attachment. Muntins and end stiles shall fit the contour of the sections and be secured to the panels with 3/8" head, 3/16" body steel rivets, plated and painted. The bottom section is to have a vinyl bulb-type astragal with aluminum extrusion.

TRACK: Commercial 2" Galvanized track; on continuous clip mounted reverse angle to wood jambs.

HARDWARE: 2" Rollers with steel races (10 hardened 1/4" balls). Heavy duty galvanized hinges (14 ga. minimum) and top and bottom roller carriers. Winding drums of high strength cast aluminum with galvanized steel aircraft cable of appropriate diameter for maximum safety factor.

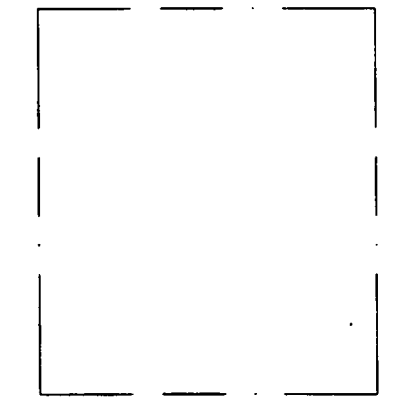
COUNTER BALANCE: Helical wound oil-tempered torsion springs, mounted on 1" diameter tubular steel shaft; shaft to be ball bearing mounted. Spring mounting pads as shown, supplied and set by others.

SPECIAL NOTES:



ARCHITECTURAL STAMP

ARCHITECTURAL NOTES



CONTRACTOR STAMP

REVISIONS

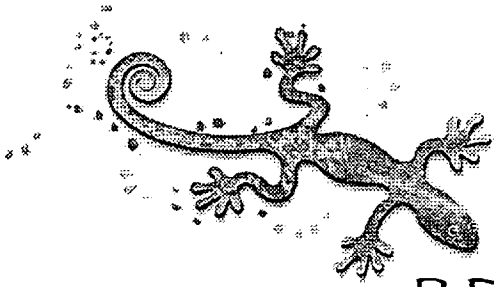


DOOR NUMBER (DOOR MARKS)	QTY.	NET OPENING SIZE	FINISHED DOOR SIZE	TYPE OF LIFT	TYPE OF OPERATION	SECT'S. GLAZED	LITES PER SECT.	PANELS WIDE	SECTIONS HIGH
B	1	6'-0" X 7'-0"	6'-0" X 7'-1"	VERTICAL	MANUAL	0	0	3	24" 20.8"

PROJECT:	AMERICAN
ARCHITECT:	
CONTRACTOR:	
DISTRIBUTOR:	WAYNE-DALTON OF PALM CITY

DRAWN BY:	JLT
DATE:	1/10/03
SHEET:	2 OF 2

DRAWING No.	211357
REVISION #	0
FILE No.	211357



RD TROPICS
IRRIGATION

25 SW Linden St
Stuart, Florida 34997
772.260.5359
fax 772.288.3442

10/10/03

Town of Sewall's Point

**RE: Irrigation system installation
Smith residence, 133 S. River Rd**

This letter is to confirm that a rain sensor and low volume sprinkler heads were installed on the irrigation system. If you have any questions I can be reached at 772-260-5359.

Sincerely,

Rick DeKeyser

Jeff Grant
(supervisor) 370-7993

NISAIR AIR CONDITIONING

1501 DECKER AVENUE D-404
STUART, FL 34994
TELEPHONE: (772) 283-0904
FAX: (772) 283-7229

HVAC EFFICIENCY CARD

MANUFACTURER'S NAME: LENNOX

BRAND NAME: LENNOX


MODEL NUMBERS: (See attached list)

EFFICIENCY RATING OF COMBINED EQUIPMENT: 13 + SEER

Air Conditioning and Heating Installation Contractor:

NISAIR AIR CONDITIONING
1501 DECKER AVENUE SUITE 404
STUART, FL 34994
283-0904
LIC. CACO41199

With the authorization of the installing contractor I certify that the information entered on this card accurately represents the system installed.



Signature
Philip Nisa Jr

Printed Name

10/3/03

Date Signed

As the building official or the representative of the building official I certify that the information entered on this card accurately represents the system installed.

Signature

Date Signed

Printed Name

NISAIR AIR CONDITIONING

1501 DECKER AVENUE D-404
STUART, FL 34994
TELEPHONE: (772) 283-0904
FAX: (772) 283-7229

Smith Residence
133 S River Road
Stuart, FL 34996

A/C #1 – Master Suite

HS26-024-5P 5803E53877
CB30M-31-1P 5803B22612
ECB29-8 CB KW Heater

A/C #2 – Kitchen/Dining/Family

HS26-060-4P 5803A68652
CB30M-65-1P 5803C16124
ECB29-15 CB KW Heater

A/C #3 – Living/Exercise/Gallery

HS26-060-4P 5803E53773
CB30M-65-1P 5803E66932
ECB29-15 CB KW Heater

A/C #4 – Library/Guest

HS26-036-4P 5803B01499
CB30M-41-1P 5803E21740
ECB29-10 CB KW Heater

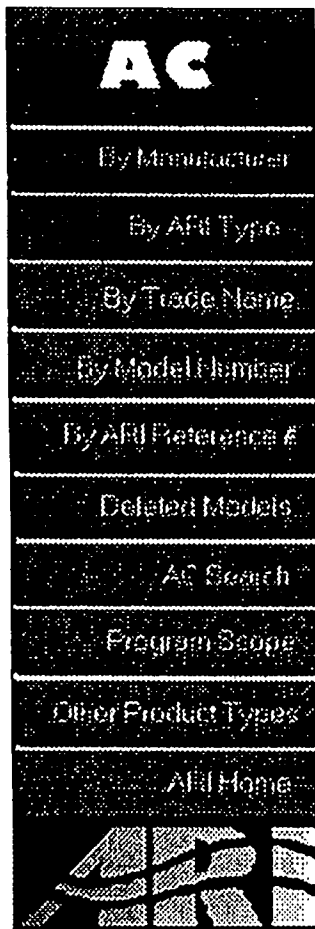
A/C #5 – Office Workshop/Guest 1 & 2

HS26-036-4P 5803E49574
CB30M-46-1P 5801J08895
ECB29-10 CB KW Heater

A/C #6 – Auto/Boat Garage

HS26-030-4P 5803B30436
CB30M-31-1P 5803B22611
ECB29-8 CB KW Heater

#1



Unitary Air-Conditioner

Program & Product Identifier

Today's Date: 02/22/2002 09:01:01 AM
 Created Date: 10/23/96
 Last Modified Date: 08/04/2000 at 11:37 AM
 Status: Active
 Obsolete: No
 Manufacturer: LENNOX INDUSTRIES, INC.
 ARI Reference Number: 60955
 ARI Program: AC
 ARI Type: RCU-A-CB
 Trade/Brand Name: Elite 13
 NAECA Designation: Yes
 Outdoor Model Number: HS26-024-*P
 Indoor Unit(s): CB30*-31-1P

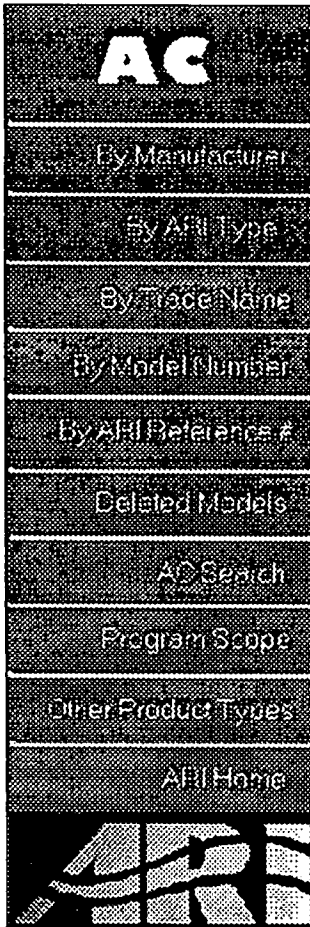
Product Performance Ratings

ARI Rating Test "A"

Cooling Capacity (Btuh): 25600
 SEER Rating (Cooling): 13.55

ITS Intertek Testing Services

Data Management & Internet Services are Provided by ETL Footnotes



Unitary Air-Conditioner #2

Program & Product Identifier

Today's Date: 02/22/2002 09:06:55 AM
 Created Date: 10/25/96
 Last Modified Date: 11/19/2001 at 01:36 PM
 Status: Active
 Obsolete: No
 Manufacturer: LENNOX INDUSTRIES, INC.
 ARI Reference Number: 51291
 ARI Program: AC
 ARI Type: RCU-A-CB
 Trade/Brand Name: Elite 13
 NAECA Designation: Yes
 Outdoor Model Number: HS26-060-*P
 Indoor Unit(s): CB30*-65-1P

Product Performance Ratings

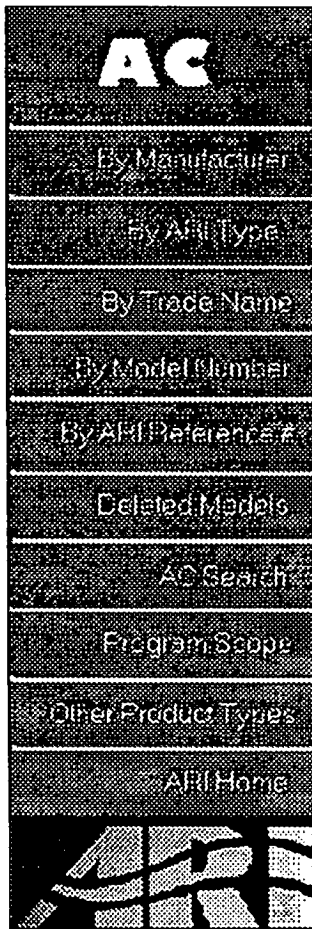
ARI Rating Test "A"
 Cooling Capacity (Btuh): 60000
 SEER Rating (Cooling): 13.00

ITS Intertek Testing Services

Data Management & Internet Services are Provided by ETL **Footnotes**

3

Unitary Air-Conditioner



Program & Product Identifier

Today's Date	02/22/2002 09:06:55 AM
Created Date:	10/25/96
Last Modified Date:	11/19/2001 at 01:36 PM
Status:	Active
Obsolete:	No
Manufacturer:	LENNOX INDUSTRIES, INC.
ARI Reference Number:	51291
ARI Program:	AC
ARI Type:	RCU-A-CB
Trade/Brand Name:	Elite 13
NAECA Designation:	Yes
Outdoor Model Number:	HS26-060-*P
Indoor Unit(s):	CB30*-65-1P

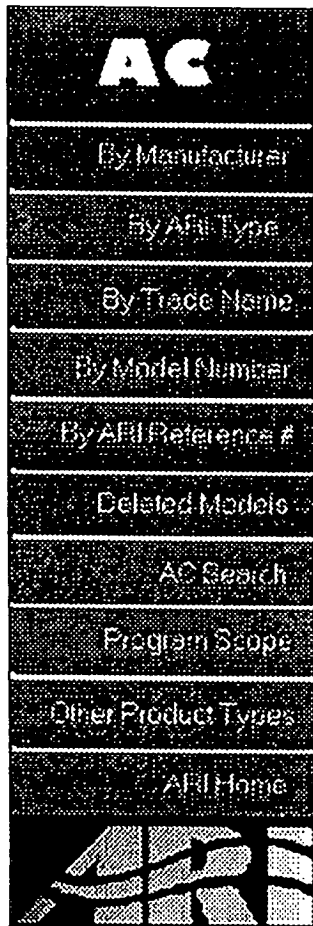
Product Performance Ratings

ARI Rating Test "A"

Cooling Capacity (Btuh):	60000
SEER Rating (Cooling):	13.00

ITS Intertek Testing Services
 Data Management & Internet Services are
 Provided by ETL

Footnotes



Unitary Air-Conditioner

4

Program & Product Identifier

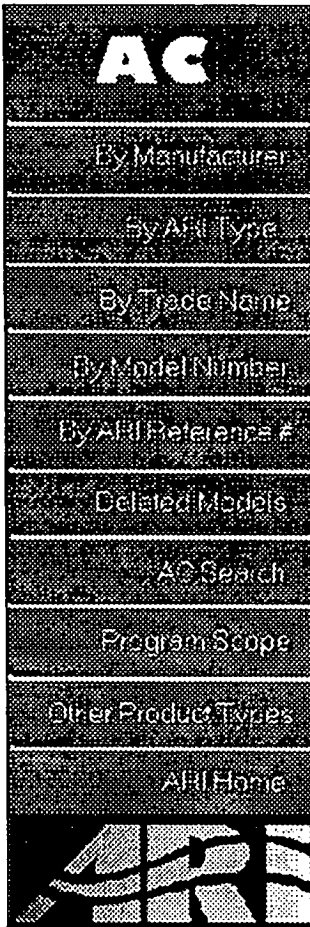
Today's Date: 02/22/2002 08:56:12 AM
 Created Date: 10/23/96
 Last Modified Date: 08/04/2000 at 11:44 AM
 Status: Active
 Obsolete: No
 Manufacturer: LENNOX INDUSTRIES, INC.
 ARI Reference Number: 53450
 ARI Program: AC
 ARI Type: RCU-A-CB
 Trade/Brand Name: Elite 13
 NAECA Designation: No
 Outdoor Model Number: HS26-036-*Y
 Indoor Unit(s): CB30*-41-1P

Product Performance Ratings

ARI Rating Test "A"
 Cooling Capacity (Btuh): 36400
 SEER Rating (Cooling): 13.50

ITS Intertek Testing Services
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Footnotes



Unitary Air-Conditioner

5

Program & Product Identifier

Today's Date: 02/22/2002 09:21:12 AM
 Created Date: 10/23/96
 Last Modified Date: 05/21/99 at 08:33 AM
 Status: Active
 Obsolete: No
 Manufacturer: LENNOX INDUSTRIES, INC.
 ARI Reference Number: 67462
 ARI Program: AC
 ARI Type: RCU-A-CB
 Trade/Brand Name: Elite 13
 NAECA Designation: Yes
 Outdoor Model Number: HS26-036-*P
 Indoor Unit(s): CB30M-46-1P

Product Performance Ratings

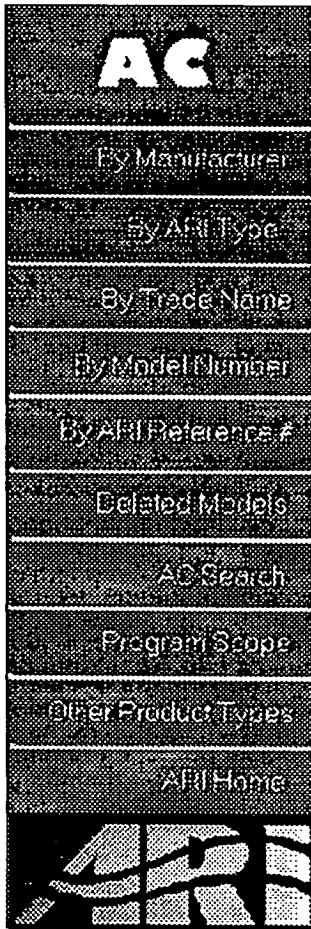
ARI Rating Test "A"

Cooling Capacity (Btuh): 36600
 SEER Rating (Cooling): 13.80

ITS Intertek Testing Services

Data Management & Internet Services are Provided by ETL

Footnotes



Unitary Air-Conditioner #6

Program & Product Identifier

Today's Date	02/22/2002 09:02:24 AM
Created Date:	10/23/96
Last Modified Date:	08/04/2000 at 11:39 AM
Status:	Active
Obsolete:	No
Manufacturer:	LENNOX INDUSTRIES, INC.
ARI Reference Number:	63516
ARI Program:	AC
ARI Type:	RCU-A-CB
Trade/Brand Name:	Elite 13
NAECA Designation:	Yes
Outdoor Model Number:	HS26-030-*P
Indoor Unit(s):	CB30*-31-1P

Product Performance Ratings

ARI Rating Test "A"

Cooling Capacity (Btuh):	31600
SEER Rating (Cooling):	13.70

ITS Intertek Testing Services

Data Management & Internet Services are
Provided by ETL

Footnotes

HIGHLAND PEST CONTROL, INC.

8331 McAllister Way, Suite 200B, West Palm Beach, FL 33411

PHONE
(561) 793-1198

TOLL FREE
1-888-221-7740

FAX
(561) 791-2337

PRE-TREAT CERTIFICATE

SMITH
133 SOUTH RIVER DRIVE
STUART, FL 34997

Contract #: SP01830-3
General Contractor: Macari Building & Design
Sub Contractor:

Lot #: 2-3
Building Type: CBS

Square Feet: 7145

To Whom It May Concern:

A pre-slab treatment for the prevention of Subterranean Termites was rendered to the above premises in accordance with the standards of Chapter 5E-14, of the Pest Control Regulations.

Date Treated	Type	Slab Area	Footage	Chemical	Gallons	PO #
8/30/01	Horizontal	HOUSE	5145	CHLORPYRIFOS PRO @ 0.5%	515	PART DETACHE
9/24/01	Horizontal	PATIO	2000	CHLORPYRIFOS PRO @ 0.5%	200	& GARAGE PAD
10/6/03	Vertical	HOUSE	582	DURSBAN TC @ 0.5%	240	

Signed:



Date:

10/7/13

HIGHLAND PEST CONTROL, INC.

State License #829

Palm Beach License #1989-04084

FEDERAL EMERGENCY MANAGEMENT AGENCY
NATIONAL FLOOD INSURANCE PROGRAM

C.M.F.E. No. 3067-0077
Expires December 31, 2005

ELEVATION CERTIFICATE

Important: Read the instructions on pages 1 - 7.

SECTION A - PROPERTY OWNER INFORMATION

BUILDING OWNER'S NAME
Nick Smith

BUILDING STREET ADDRESS (Including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO.
133 South River Drive

CITY STATE ZIP CODE
Sewall's Point Florida 34996

Company Name
Policy Number
Company/NAIC Number

PROPERTY DESCRIPTION (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)
North 631 of Lot 1, Miles or Hansen Grant

BUILDING USE (e.g., Residential, Non-residential, Addition, Accessory, etc. Use Comments area if necessary.)
Residential Accessory Building

LATITUDE/LONGITUDE (OPTIONAL) HORIZONTAL DATUM: SOURCE: GPS (Type):
(##'-##'-##.###' or ##.#####') NAD 1927 NAD 1983 USGS Quad Map Other: Section

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP COMMUNITY NAME & COMMUNITY NUMBER Sewall's Point 120164		B2. COUNTY NAME Martin	B3. STATE Florida
B4. MAP AND PANEL NUMBER 120164 0162	B5. SUFFIX F	B6. FIRM INDEX DATE 10-4-2002	B7. FIRM PANEL EFFECTIVE/REVISED DATE 10-4-2002
		B8. FLOOD ZONES AE/ X	B9. BASE FLOOD ELEVATION(S) 9.0'

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in B9.
 FIS Profile FIRM Community Determined Other (Describe):

B11. Indicate the elevation datum used for the BFE in B9: NGVD 1929 NAVD 1988 Other (Describe):

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Yes No
Designation Date:

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings Building Under Construction Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.

C2. Building Diagram Number 7. (Select the building diagram most similar to the building for which this certificate is being completed - see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)

C3. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AC
Complete items C3.a-i below according to the building diagram specified in Item C2. State the datum used. If the datum is different from the datum used for the BFE in Section B, convert the datum to that used for the BFE. Show field measurements and datum conversion calculation. Use the space provided or the Comments area of Section D or Section G, as appropriate, to document the datum conversion.
Datum _____ Conversion/Comments _____
Elevation reference mark used _____ Does the elevation reference mark used appear on the FIRM? Yes No

<input type="checkbox"/> a) Top of bottom floor (including basement or enclosure)	26.5	ft.(m)
<input type="checkbox"/> b) Top of next higher floor	36.3	ft.(m)
<input type="checkbox"/> c) Bottom of lowest horizontal structural member (V zones only)	N/A	ft.(m)
<input type="checkbox"/> d) Attached garage (top of slab)	25.8	ft.(m)
<input type="checkbox"/> e) Lowest elevation of machinery and/or equipment servicing the building (Describe in a Comments area.)	26.8	ft.(m)
<input type="checkbox"/> f) Lowest adjacent (finished) grade (LAG)	25.5	ft.(m)
<input type="checkbox"/> g) Highest adjacent (finished) grade (HAG)	26.3	ft.(m)
<input type="checkbox"/> h) No. of permanent openings (flood vents) within 1 ft. above adjacent grade	N/A	
<input type="checkbox"/> i) Total area of all permanent openings (flood vents) in C3.h		sq. in. (sq. cm)

License Number, Embossed Seal, Signature, and Date

#3938 10-7-2003

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information in Sections A, B, and C on this certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

CERTIFIER'S NAME
Robert J. Dearlove

LICENSE NUMBER
3938

TITLE
Owner

COMPANY NAME
Dearlove & Associates

ADDRESS
450 S. Old Dixie Hwy., Suite 9,

CITY STATE ZIP CODE
Jupiter Florida 33458

SIGNATURE

DATE
10-7-2003

TELEPHONE
(561) 746-8745

IMPORTANT: In these spaces, copy the corresponding information from Section A.

BUILDING STREET ADDRESS (Including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO.
133 South River Drive

CITY
Sewall's Point

Florida

STATE

34996

ZIP CODE

For Insurance Company Use
Policy Number

Company NAIC Number

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

COMMENTS

Check here if attachments

SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zone AO and Zone A (without BFE), complete Items E1. through E4. If the Elevation Certificate is intended for use as supporting information for a LOMA or LOMR-F, Section C must be completed.

- E1. Building Diagram Number _____ (Select the building diagram most similar to the building for which this certificate is being completed - see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)
- E2. The top of the bottom floor (including basement or enclosure) of the building is _____ ft.(m) _____ in.(cm) _____ above or _____ below (check one) the highest adjacent grade. (Use natural grade, if available.)
- E3. For Building Diagrams 6-8 with openings (see page 7), the next higher floor or elevated floor (elevation a) of the building is _____ ft.(m) _____ in.(cm) above the highest adjacent grade.
- E4. The top of the platform of machinery and/or equipment servicing the building is _____ ft. (m) _____ in. (cm) _____ above or _____ below (check one) the highest adjacent grade. (Use natural grade, if available.)
- E5. For Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, C (Items C3.1 and C3.2 only), and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, C, and E are correct to the best of my knowledge.

PROPERTY OWNER'S OR OWNER'S AUTHORIZED REPRESENTATIVE'S NAME

ADDRESS

CITY

STATE

ZIP CODE

SIGNATURE

DATE

TELEPHONE

COMMENTS

Check here if attachments

SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below.

- G1. The information in Section C was taken from other documentation that has been signed and embossed by a licensed surveyor, engineer, or architect who is authorized by state or local law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. PERMIT NUMBER

G5. DATE PERMIT ISSUED

G6. DATE CERTIFICATE OF COMPLIANCE/OCCUPANCY ISSUED

G7. This permit has been issued for: New Construction Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building is: _____ ft.(m) Datum: _____

G9. BFE or (in Zone AO) depth of flooding at the building site is: _____ ft.(m) Datum: _____

LOCAL OFFICIAL'S NAME

TITLE

COMMUNITY NAME

TELEPHONE

SIGNATURE

DATE

COMMENTS

Check here if attachments


A.M. ENGINEERING AND TESTING, INC.

450 SOUTH OLD DIXIE HIGHWAY, SUITE 2

JUPITER, FLORIDA 33458

(561) 745-1060 OFFICE - (561) 745-0981 FAX

REPORT OF DENSITY OF SOIL IN PLACE ASTM D-2922

RECEIVED
JUL - 9 2001
BY: 

July 6, 2001
Project No. 855
Lab No. 7

FILE

PN 5022

Macari Building & Design, Inc.
18561 Lakeside Garden Drive
Jupiter, Florida 33458

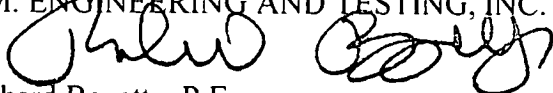
Project: **133 South River Road, Sewall's Point, Martin County, Florida**
Stemwall Footings

TEST DATE	TEST NO.	TEST LOCATION	LIFT. EL...	DENSITY		% COMP
				DRY	MAX	
		<i>Main House</i>				
07/03/01	1	Southeast Area	0-1'	106.8	106.5	100.3
	2	""	1'-2'	104.9	106.5	98.5
	3	Southwest Area	0-1'	107.0	106.5	100.5
	4	""	1'-2'	103.6	106.5	97.3
	5	Northeast Area	0-1'	106.1	106.5	99.6
	6	""	1'-2'	105.4	106.5	99.0
	7	Northwest Area	0-1'	106.6	106.5	100.1
	8	""	1'-2'	104.7	106.5	98.3
		<i>Garage</i>				
	9	Southeast Area	0-1'	105.9	106.5	99.4
	10	""	1'-2'	106.1	106.5	99.6
	11	Southwest Area	0-1'	104.8	106.5	98.4
	12	""	1'-2'	103.9	106.5	97.6
	13	Northeast Area	0-1'	106.3	106.5	99.8
	14	""	1'-2'	103.3	106.5	97.0
	15	Northwest Area	0-1'	106.5	106.5	100.0
	16	""	1'-2'	103.1	106.5	96.8

REMARKS: All elevations below footing grade.

Respectfully submitted,

A.M. ENGINEERING AND TESTING, INC.

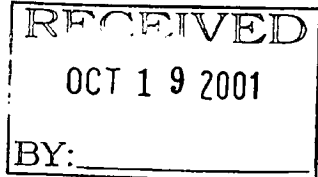


Richard Boyette, P.E.
Vice President

RB/mo

A. M. ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33RD STREET
FORT PIERCE, FLORIDA 34946
(561) 461-7508 OFFICE - (561) 461-8880 FAX



BUILDING PAD COMPACTION REPORT

FILE

Client: Macari Building and Design, Inc.
Contractor: Client
Site: 133 South River Road
Footings, Walkway

Date: 10/12/01
Test No.: 4172
Permit No.: 5022

FIELD TESTING

Density tests and Hand Cone Penetrometer (HCP) readings were made at a minimum of three locations in the fill inside the stem-wall. The foundation pad setbacks were based on information furnished by the client at the time of our testing. Density tests were performed in the upper one foot of fill. HCP readings were taken in hand auger boreholes at one foot intervals from slab grade to the bottom of the fill.

The density tests were performed in general compliance with ASTM D 2922. The HCP test, in conjunction with information about the soil type, is empirically correlated to the relative density of subsurface soils.

Density Test No.	Date Tested	Location	Elevation (feet)*	Dry Density (pcf)		Percent Compaction
				Maximum	In Place	
4172	10/12	E. End	0 - 1'	106.1	105.1	99.1
		Center	0 - 1'		104.8	98.8
		W. End	0 - 1'		104.9	98.9

*All elevations below bottom of footing grade

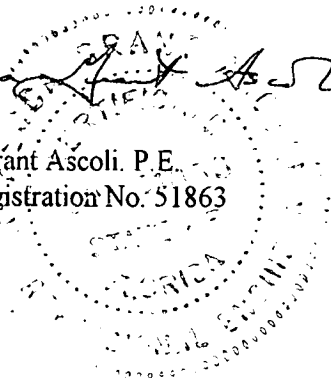
CONCLUSIONS

The depth of the fill is approximately one foot. In the locations that were tested the fill has been compacted to a minimum of 95 percent of the modified Proctor maximum dry density (ASTM D 1557).

A. M. ENGINEERING AND TESTING, INC.

Rebecca Grant Ascoli, P.E.
Florida Registration No. 51863

Copies: Client - 2
Sewall's Pt. Bldg. Dept. - 1 ✓





A. M. ENGINEERING AND TESTING, INC.

450 SOUTH OLD DIXIE HIGHWAY, SUITE 2

JUPITER, FLORIDA 33458

LOCAL OFFICE: (561) 745-1060 FAX: (561) 745-0981

REPORT OF FOUNDATION PAD COMPACTION

Client: Macari Building & Design, Inc.
18561 Lakeside Garden Drive
Jupiter, Florida 33458

Report Date: May 30, 2002
Project No: 855
Report No: 20
Permit No: 5022

Site: 133 South River Road, Sewalls Point,
Martin County, Florida
Arcade Pads

5022 133 S. River Rd.

Density tests and Hand Cone Penetrometer (HCP) readings were made from slab grade through the depth of fill at a minimum of three locations in the building pad. The density tests were performed in general compliance with ASTM D 2922. The HCP test, in conjunction with information about the soil type, is empirically correlated to the relative density of subsurface soils.

Density Test No.	Date Tested	Location	Elevation (feet)	Dry Density (pcf)		Percent Compaction
				In Place	Proctor	
1	5/28/02	Center, East Area	0-1	103.3	103.5	99.8
2		Center Area	0-1	103.7	103.5	100.2
3		Center, West Area	0-1	102.6	103.5	99.1

* All elevations are below slab grade.

The depth of the fill was approximately one foot. The fill should extend at least five feet beyond the building perimeter. At the time of our testing no information was available regarding the foundation pad setbacks.

In the locations and depths that were tested, the soil has been compacted to a minimum of 95 percent of the modified Proctor maximum dry density (ASTM D 1557).

Distribution:

Client (3)
Sewalls point Building Department (1)

Submitted by:

A. M. ENGINEERING AND TESTING, INC.

Rebecca Grant Ascoli, P.E.
Florida Registration No. 51863

FRSA/Roof Tile Institute Model Tile Specification - June 2001

** 5022
137 S. River Rd.*

System Four

**Adhesive-Set Tile Specification
Underlayment Option "A"**

NOTE: The following table provides the contractor with the choices available for underlayment systems. These systems can only be used on pitches designated in the table below:

Slope of Roof	Battens or Direct Deck	Choice of Underlayments	Plastic or Compatible Cement at Penetrating Underlayments	Reference
4" : 12" and greater	Either	1. Single-ply 90# Organic Cap Sheet or Modified Cap Sheet	Not Required	3.02A
4" : 12" and greater	Either	2. Hot Mop No.30 or No.43 / 90# Organic or Modified Cap Sheet	Not Required	3.02B
4" : 12" and greater	Either	3. Cold Process No.30 or No.43/90# Organic or or Modified Cap Sheet	Not Required	3.02C
4" : 12" and greater	Either	4. Self-Adhered Underlayment -Applied Direct to Wood Deck	Not Required	3.02D
4" : 12" and greater	Either	5. No.30/Self-Adhered Underlayment	Not Required	3.02E
As tested	Either	6. Alternative Membranes	Not Required	3.02F

*** NOTE:** All applications above must use preformed flashings with metal edge returns and a 3" tile headlap unless restricted or dictated by product design. *

NOTE: Not all tiles are designed to be engaged over battens. Check with roof tile manufacturer.

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri B-7, 2000; Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4723	Koch	interior	PASSED	turn at 9 th St
N (7)	71 N. River Rd Brown	framing & trades	(PTC ME/10)	REUSE. BLDG/PARTIC (NO FEE)
5022	SMITH	PREL. T/R	REVIEWED	10:30
(2A)	133 S. RIVER RD MHEK KUG/DES. STEVE 561-745-0594	(UNDERGROUND) MTC	T/R SUBO. P&G OK	2 DRUG SUGGS / STEVE MHEK
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: _____

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri ~~THU~~, 2001; Page 1 of .

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5013	DEWIS 16 RIDGELAND DR. FLORIDA'S FINEST ("ROW")	INSULATION	Passed	(in progress) INSPECTOR: <i>[Signature]</i> 6/11
5302	NOHETL 6 N. RIDGEVIEW ROD RAYMOND CONST.	TIE BM.	Passed	 INSPECTOR: <i>[Signature]</i> 6/11
5345	25 FIELDWAY DR. BARON O/B	SHEATHING	Passed	 INSPECTOR: <i>[Signature]</i> 6/11
5396	Riedy 25 N. River Rd. Crauss + Craus	relacate AC pad	not ready	 INSPECTOR:
6011	Smith 133 S River Rd. Ackery	temp el pole	Passed	called FPL 12 ⁰⁰ INSPECTOR: <i>[Signature]</i> 6/11
				INSPECTOR:
				INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri July 29, 2001; Page 1 of 1.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5407	Hickelvey	Shoathing	Not ready	26301/6 Rob Later
S (2)	21 E Highpoint Pacific			12 ⁰⁰ INSPECTOR: <u>J 7/9</u>
✓ 5345	BARON	T/T & MTL	Passed	
N (1)	25 FLEEDWAY DR. O/B	(REINSPECT)		INSPECTOR: <u>J 7/9</u>
✓ 5022	SMITH	RTG	Passed	Main House 10 ⁰⁰
S (4)	133 S. RIVER RD. MACARI BLDG & DESIGN	(STEVE 371-8628)	Passed	Garage: See later 11 ⁰⁰ INSPECTOR: <u>J 7/9</u>
✓ 5417	ERB	REROOF - FINAL	Passed	
S (3)	PACIFIC RFG. 45 S. SEWALL'S POINT RD.			INSPECTOR: <u>J 7/9</u>
✓ 5127	Picou	Shoathing	Passed	
S (6)	65 S. River Rd. Seagate			INSPECTOR: <u>J 7/9</u>
✓ 5262	Musso	Insulation	Passed	
S (5)	18 S. River Rd. Blue			INSPECTOR: <u>J 7/9</u>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: ~~Mon~~ Wed Fri ~~JULY 23~~, 2001; Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
✓ 5415	TAYLOR	FENCE - FINAL	Passed	EARLY AS POSSIBLE
S	22 E. HIGHPOINT LYNN'S CONCRETE			INSPECTOR: 7/23
✓ 5427	FOGLIA	TEMP POLE +	Passed	ELEC. SUB PERMIT NOT ISSUED
S	105 ABBIE CT FOGLIA (TODD 954-444-6126)	STEM WALL FOOTING	RESCHEDULE	(ELECT) - HOLD 190 CONST PRIOR TO TEMP PERM. INSPECTOR: 7/23
✓ 5397	RIEDY	FINAL -	Passed	IF NOT COMPLETE - FINE ALL
N	24 N. RIVER RD. RL SHALER	ELECT + PLUMB. ALL		(REPAIR PERM) 30 P. BUSY PO. INSPECTOR: 7/23
✓ 5022	SMITH	STEM WALL	Passed	SUPPLY BOD 7/20
S	1335 RIVER RD MACARI BUIL & DESIGN	Passed Solid		INSPECTOR: 7/23
✓ 5396	RIEDY	A/C RELOC - FINAL	Passed	
N	24 N. RIVER RD KROST & CRAW			INSPECTOR: 7/23
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: 25 Fieldway Dr. check laty nails → body.

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri ~~August 22~~, 2001; Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5022	SMITH	PLUMB'G - GRD. RGH.	Passed	Used
S (11)	133 S. RIVER RD MACARI BLDG.			INSPECTOR: J 8/22
✓ 5410	WITTMAN	SHEATHING	Passed	
S (4)	13 RIVERVIEW DR. A & W RFG.			INSPECTOR: J 8/22
✓ 5312	ENRIQUEZ	INSULATION	Passed	
S (5)	1 KINGSTON CT. DRIFTWOOD HOMES			INSPECTOR: J 8/22
✓ 5494	ROEMER ORIGINALS	RGH PLUMB'G.	PASSED	
N (10)	3752 SE OCEAN (HARBOR BAY) THE ROOSTER CO.	(BILLY HAMMER: 260-5994)		INSPECTOR: EA
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri ~~Sept 10, 2001~~ ~~2001~~; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
4978 ✓ 4978 S (1)	Rimer 29 th River Rd. Lca Dev.	AC Rough	Passed	INSPECTOR: <u>Ja/7</u>
✓ 5407 S (5)	McKELVEY 21 E. HIGH POINT PACIFIC REG. (DAVE: 263-0171)	REKODS - FINAL	Failed	→ remove debris + wall INSPECTOR: <u>Ja/7</u>
5022 S (4)	SMITH 133 S. RIVER RD. MACARI BLDG & DESIGN	SLABS	Passed	all doc. at office? INSPECTOR: <u>Ja/7</u>
✓ 4874 S	SMITH 133 S. RIVER RD. DREDGE & MARINE CONST.	DOCK - FINAL MIKE KOENKE: 223-0105	CANCEL (NOT RETURNED TO RESCHER)	PERMIT EXT. RETURNED TO 9/6/01 AS BUILT SURVEY REQ'D INSPECTOR:
✓ 5489 S (2)	STRACUZZI 12 RIO VISTA RUCCOLO	STEEL INSP. FOR SLAB	Failed	el/duyde/ & Bard sur compact test req'd. INSPECTOR: <u>Ja/7</u>
✓ 5319 S (6)	MCCARTNEY 45 W. HIGH POINT ADVANTAGE POOL BLDGS.	GRD/STL. insufficient steel (MICHELE 781-3035)	Failed	FORWARDED SURVEY WAIVED INSPECTOR: <u>Ja/7</u>
✓ 5318 S	KOENKE 66 S. SEWALL'S POINT RD. ADVANTAGE VOL BLDGS.	POOL - FINAL	CANCEL FINAL SURVEY	INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: ~~Monday, Wed. Fri~~ ~~SEPTEMBER 2001~~, 2001; Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5455	ATEN	SLAB.	Passed	
S (3)	103 ABBEY RD. GRIBBEN CONST.			INSPECTOR: JG/24
✓ 5013	DENNIS	POOL DECK + STAIRS	Passed	
S (2)	16 RIDGELAND DR. FLORIDAC FINEST.			INSPECTOR: JG/24
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5391	PITT INOS.	FRAMING, TRUSSES	Passed	
S (1)	117 HENRY SEWELL WAY. JMC CONTRACTING	ELEC. MECH. PLUMB.	Framing	later! INSPECTOR: JG/24
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5497	Robinson	Steel/Band	Passed	
S	173 S. River	Pool		
	Blue Heron	STUB OUT FOR POOL DRAIN		INSPECTOR: JG/24
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5533	Thorne	Window repl.	Passed	Rinal
N	22 Periwinkle	door repl. / front porch structure		
	Shalier			INSPECTOR: JG/26
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5627	S...	ford slab	Passed	
S	173 S. River Rd.			INSPECTOR: JG/26
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri October 10, 2001; Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
5022	SMITH	COLUMNS	→	Failed 10/12
(9)	133 S. RIVER RD. McCARY			INSPECTOR:
5471	ARMSTRONG	SHUTTER FINAL	Failed	1 lock pin missing → owners will call us.
(4)	41 W. HOOKPOINT RD. FOLDING SHUTTER	9:00 A.M. (ELEC.)		INSPECTOR: J.A./10
5434	LAWSON	FENCE FINAL	Passed	(7' slats)
(8)	11 LANTANA LN. UNITED FENCE			INSPECTOR: J.A./10
—	GUNZEL	TREE INSPECTION	Passed	
(7)	19 N. VIA LUCINDA	ORANGE TREE (SEE DRAWING)		INSPECTOR: J.A./10
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri ~~October 12~~, 2001; Page 1 of .

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5022	Smith	Column	Passed	(Partial)
S ①	133 S. River Rd. McCary			INSPECTOR: J 6/12
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
S 5540	HEKMAN 6 MIDDLE RD. PACIFIC ROOFING	SHEATHING	Failed	Need to cut remove fresh INSPECTOR: J 10/12
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
S 5391	PITTINIOS 117 HENRY SEWALK WAY Jm	LATH.	Passed	INSPECTOR: J 6/12
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
S 5123	PICEU 65 S. RIVER RD SEAGATE	PARTIAL TIN TAB + METAL	Passed	(Tin tabs ???) (Set backs side ??) INSPECTOR: J 6/12
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
N 5509	MILORD 4 FIELDWAY DR. MILORD DEV.	INSULATION	Passed	INSPECTOR: J 6/12
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
N —	TEPLITZ 25 N. RIVER RD.	TREE. (SEE APPLICATION)	Passed	INSPECTOR: J 6/12
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
N —	OCONNOR 16 FIELDWAY DR. SAMPSON TREE SERV.	TREE. (SEE APPLICATION)	Failed	(Can be removed) INSPECTOR: J 6/12

OTHER:

McCarty

S 5234 45 W. High Point

S ② Insulation (Partial) J 6/12

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri ~~October 15~~, 2001; Page 1 of .

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5556	HURRY 8 E. Highpoint Heritage	meter change out final called FPL Wayne 274 4675 242 0474	Passed 11:45	11:00 Placed no permit Windows/AC cond/surv INSPECTOR: JLB/15
5540	Herman 6 Middle Rd. Pacific Roofing	Shooting	Passed	9:30? INSPECTOR: JLB/15
5471	ALMSTRONG 41 W. HIGH POINT RD. FOLDING SHUTTER	FINAL SHUTTER	Passed	9:00 — 10:00 A.M. INSPECTOR: JLB/15
	WHITMAN 13 RIVERVIEW DR.	FINAL ROOF	Passed	INSPECTOR: JLB/15
5574	ALLMAN 5501 3 SUMMER LAKE ROY ALLMAN (521-6017)	Temp code ELEC. + PLUMBING UNDERGROUND wood water meter	Passed ⊕ ! 2 ⊕	wood drainage plan prior to slab !! INSPECTOR: JLB/15
5526	Pare 61 N. River Rd. O/B	Insulation	Passed	(Owner will create 2" gap around (rec. cans)) INSPECTOR: JLB/15
5022	Smitty 133 S. River Rd.	Roofing (Breezeway)	Passed	INSPECTOR: JLB/15

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road

Sewall's Point, Florida 34996

(561) 287-2455

CORRECTION NOTICE

ADDRESS: 133 S. RIVER RD.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

TIE BEAM + COLUMN - NEED REVISED BEAM

SCHEDULE PER AS-BUILT CONDITIONS

- BLOW OUT ALL CLEANOUTS.

- NEED REVISED S-2 SHEET SHOWING
OFF SET. BEAMS.

- ALL REVISIONS 2 COPIES

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 10/29/01

GENE X 142

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 06/29, 2001; Page 1 of 1.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5022	SMITH	TIE BEAM COLUMN	FAILED	h
	133 S. RIVER RD. MACAN BLDG'			INSPECTOR:
5563	Collins	Final - Driveway	Passed.	Am
	23 N. RIDGEVIEW DR. DB.			INSPECTOR:
—		BOAT LIFT.		POSTED STOP WORK
	140 S. SEWALL'S PT RD.	WORK WITHOUT PERMIT. "STOP WORK ORDER"	h	BOAT LIFT CONTRACTOR 561-219-0315
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri NOVEMBER 19th, 2001; Page 1 of .

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5022	SMITH	TEMP. ERECT.	Passed	
(4)	133 S. RIVER RD. MACARI	POLE		INSPECTOR: <i>[Signature]</i>
5400	STANTON 6 SABLE CT. O/B	INSULATION CANCELED		INSPECTOR:
5455	A Ten 101 Abbie Ct. Gribben	Roof Sheathing	Passed	INSPECTOR: <i>[Signature]</i>
(3)				
5294	LEHMAN 6 RIDGELAND DR GRIFFIN	TEMP POWER	Passed	CO Under ?? Dead Tree !! INSPECTOR: <i>[Signature]</i>
(1)				
5558	INGRAM 101 N. SEWALLS PT. RD. BEUFORD	INSULATION	Passed	INSPECTOR: <i>[Signature]</i>
(5)				
5187	JORDAN 110 N. SEWALLS PT RD. WDC JOE CONSTRUCTION	Slab (open basement)	Passed	11 ⁰⁰ INSPECTOR: <i>[Signature]</i>
6				
5013	Dennis 16 Ridgeland FL Finest	Final Grade	Passed	INSPECTOR: <i>[Signature]</i>
(2)				

OTHER: 61 S. River Pkwy, Seagate: repair letter & plywood
 (Letter should be at office?) Passed *[Signature]*
 Logs installed 12" oc (nailed 4" oc earlier !!)



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(561) 287-2455

CORRECTION NOTICE

ADDRESS: 177 S. River Rd.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

Wood engineer approved drgn
illustrations changes,
columns and beams

need permission for total house
in order to review entire
structure

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 4/28/01



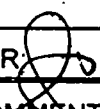

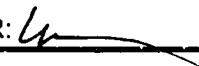
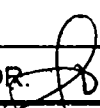
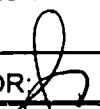

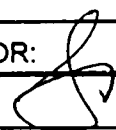
INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri NOVEMBER 28, 2001; Page 2 of .

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5302	NOHEJL 6 RIDGEVIEW DR RON RAYMOND	DRIVEWAY - PRE POUR	Passed	INSPECTOR: 
5022	SMITH 133 S. RIVER RD. MACARI	COLUMN + TIE BEAM	Failed	INSPECTOR: 
5068	WINER 19 RIDGELAND LEAR	LATH REINSPECTION	Pass	INSPECTOR: 
5138	RIBALINO 18 ISLAND RD. Wilson	C.O.	Passed	INSPECTOR: 
5566	32 W Highpoint Pacific	Roof Detail	Passed	INSPECTOR: 
5570	4 Mandelav Hort. Rumbg / Buford	Ex rough	Passed	INSPECTOR: 
5213	1 Kingston Ct. Driftwood	CO 215 0074	Failed	Late INSPECTOR: 

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri ~~THU~~ _____, 2001; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5448	VORRASO	FRAMING	Passed	
N (9)	21 PERRIWINKLE CRES. RLM CONSTRUCTION	ELEC RUGH-IN		INSPECTOR: <i>[Signature]</i>
5455	ATEN	ALL TRADES	Failed	RE-INSPECT
(4)	103 ABBIE CT. GRIBBON			INSPECTOR: <i>[Signature]</i>
5515	WALKER	PARTIAL -	Passed	
(2)	6 CRANES NEST IANERO	CO		INSPECTOR: <i>[Signature]</i>
5022	SMITH	COLUMN	Passed	(partial)
(5)	133 S. RIVER MALARI	FRAMING		INSPECTOR: <i>[Signature]</i>
5565	RUPP	ELECTRICAL	Passed	
(6)	19 W. HIGH POINT EMMICK			INSPECTOR: <i>[Signature]</i>
5363	JOHNSON	FRAMING +	Passed	(LATE AS POSSIBLE)
N (11)	2 OAK HILL WAY DRIFTWOOD	ALL TRADES		INSPECTOR: <i>[Signature]</i>
5319	M' CARTHY	PLUMBING	Failed	
(7)	45 W HIGH POINT RD. ADVANTAGE			INSPECTOR: <i>[Signature]</i>

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road

Sewall's Point, Florida 34996

(561) 287-2455

CORRECTION NOTICE

ADDRESS: 133 S. River Rd.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

Tie Beam

/ Beam over arcade arches
had per rev. plan

rec'd \$30.-

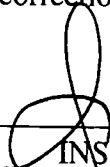
/ ALL STEEL ON BOTTOM OF DECK

BEAM NEED TO BE INSTALLED W/
DULL TIES.

/ Detail over 3 group windows front.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 1/14/02


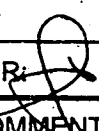
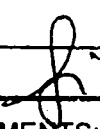
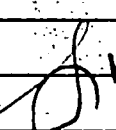
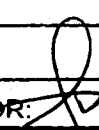
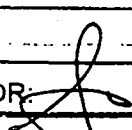
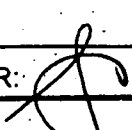

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri JAN 14, 2004 Page 1 of 2

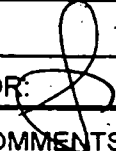

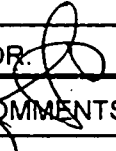



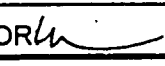
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5022	SMITH	TIE BEAM	Failed	
(6)	133 S. RIVER RD. MACARI			INSPECTOR: 
5652	Johnson	Grnd. + Steel	Failed	
(1)	2 Oakhill way Blue Heron Pools			INSPECTOR: 
5647	Pautou	Deck Slab	Passed	
(8)	17 SE Island Rd. Coastal Alu			INSPECTOR: 
5636	Francis	Temp Power (Alteration)	Passed	
(5)	11 S. River Rd. Cook Bldg.			INSPECTOR: 
5627	SADLER	ROUGH PLUMBING	Failed	
(4)	9 RIVERVIEW. SADDLER			INSPECTOR: 
4917	ROBINSON	METER FINAL	Failed	
(7)	173 S. RIVER RD KODIAK CONST.	17		INSPECTOR: 
5599	WATSON	SWEATHVILLE	Failed	
(3)	30. N. RIVER ROAD. PACIFIC			INSPECTOR: 

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri January 16, 2001; Page 2 of 3.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5646	Whaley	Sheathing	Passed	Partial
(2)	9 Knowles Rd Cardinal			INSPECTOR: 
5627	SADLER	UNDERBOD. PLUMBING	Passed	
(6)	9 RIVERVIEW DR GRANTS			INSPECTOR: 
5652	Johnson	POOL STEEL	Failed	(2 x 3 Cont. at top)
(1)	2 OAK HILL BLUE HEMLOCK			INSPECTOR: 
5599	WATSON	SHEATHING	Passed	(Partial)
(4)	30 N. RIVER RD. PACIFIC			INSPECTOR: 
5022	SMITH	THE BEAM	Passed	
(1)	133 S RIVER RD. MIRAMAR			INSPECTOR: 
5421	ROBINSON	FENCE FINAL	Passed	
(5)	10 BALEYAN			INSPECTOR: 
5068	WINER	A/C	Failed	
	19 RIDGELAND LEAR			INSPECTOR: 

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road

Sewall's Point, Florida 34996

(561) 287-2455

CORRECTION NOTICE

ADDRESS: 133. S RIVER RD.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

- TRUSS ENGR - NEED TRUSS ENGR REPAIR LTR ON
- T-1 (ALL LOFT AREA TRUSSES 2ND FL)
- ALL KINGS NEED TO BE STRAPPED
- DESIGN ENGR. TRUSS LAYOUT DOES
- MATCH TRUSS ENGR LAYOUT.
- REVISE PLANS W/ CONNECTOR FOR
- ALL TRUSSES + FLOOR TRUSSES.
- ALL CONVENTIONAL FRAMING ROOF
- RAFTERS NEED DETAILS + CONNECTIONS
- - NEED ENGR REQUIREMENTS FOR SCABBING
- FREE \$30 OF TRUSSES ON FLAT ROOF
- SOMETHING - NEED LTR.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 2/22/02

G. BNE



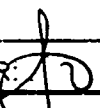

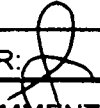
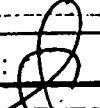
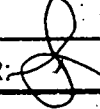
INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri FEB 22, 2001 Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5022	SMITH	ROOF SHEATHING	Passed	
(2)	133 S. RIVER RD. MACARI.	TRUSS ENGR	Failed	INSPECTOR: 
5643	BAUM	POOL DECK.	Passed	
(5)	105 ABBIE CT. FOGLIA			INSPECTOR: 
5647	PANTON	FINAL SCREEN	Passed	
(6)	17 S.E ISLAND RD. COASTAL ALUM.			INSPECTOR: 
5670	FREUDENBERG	DOCK + BOATLIFT	Failed	NO ACCESS
(10)	115 N. SPR J+B	FINAL		INSPECTOR: 
5538	MATAWAY	METER FINAL	Passed	
(3)	141 S. RIVER Rd. LARSEN			INSPECTOR: 
5663	HOLUIT.	EXT. FRAMING.	Failed	
(9)	11 POLAWINKLE DEZON			INSPECTOR: 
5636	FRANKS.	COLUMN.	PASSED.	
(7)	5 S. RIVER RD. WILBOLDING			INSPECTOR: 

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri MARCH 1, 2008 Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5068	WINEY	WINEY	Failed	? clarify headlap!
(7)	19 RUDOLAND. LEAH	ROOF - IN PROGRESS		might be O.K? INSPECTOR: [Signature]
5022	SMITH?			(add 2 thr. rods)
(5)	133 S. RIVER RD. MACARI	TRUSS ENG. + SHEATHING	Passal Passal	1st floor ceiling change INSPECTOR: [Signature]
5693	BREWER	SHEATHING / IN	Failed	
(8)	12 COPAIRE STUART	FAC. (LATE)		INSPECTOR: [Signature]
5185	JONES	STEEL	Passal	
	14 HERON'S NEST JONES			INSPECTOR: [Signature]
5612	De Galmo	El. rough	Passal	(El. to protect attic w.)
(4)	24 W. High Pt.			INSPECTOR: [Signature]
5891	DE GALMO	ROUGH GAS	Passal	(El. to ground)
(3)	24 W. HIGH PT. L			INSPECTOR: [Signature]
5380	GIFFORD	CHECK POOL	Passal	○
(2)	85 N. SPR A+G POOLS	IN PROGRESS		INSPECTOR: [Signature]

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri ~~April~~, 2001; Page ___ of ___.

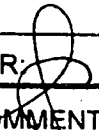

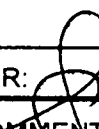
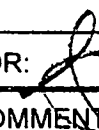
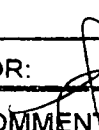
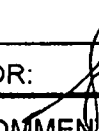
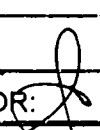
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5072	SMITH	WINDOW BRICK	Passed	Partial
(1)	133 S. RIVER RD. M'CALLY			INSPECTOR: <i>[Signature]</i>
5611	HOGAN	FINAL	Passed	
(3)	1 WEST HIGH POINT. ZAGRA			INSPECTOR: <i>[Signature]</i>
5631	HART	WALL SWEATSMILING	Passed	
(5)	61 S. RIVER RD. WINCHUP	SLAB (BREEZEWAY)	Passed	INSPECTOR: <i>[Signature]</i>
5695	SEBASTIN	FINAL DRIVE	Passed	
(8)	99 N. SEWALL PT RD. CHITWOOD. (FEE?)	220-1767 7050*		INSPECTOR: <i>[Signature]</i>
5352	CLEMENTS	HVAC ROUGH	Passed	: changes : fast pay long
(2)	11 W HIGH POINT MOUTER			INSPECTOR: <i>[Signature]</i>
5483	VITALE	EARLY POWER	Partial	<i>[Signature]</i>
(7)	13 KNOWLES DECOR	RELEASE	Cancelled	by contractor INSPECTOR: <i>[Signature]</i>
5123	PICCO	TIE BEAM	Passed	Priv. wall
(6)	65 S. RIVER RD. SEAGATE	263 4448.		INSPECTOR: <i>[Signature]</i>

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri APRIL 5, 2004 Page 1 of 1.


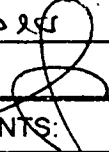
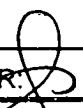
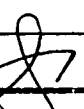

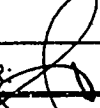
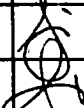
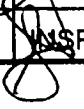
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5022	SMITH	ROOF SHEATHING	Passed	
	133 S. RIVER	(GUEST HOUSE)		
	MACARI			INSPECTOR: 
5700	D'ALESSANDRO	FOOTING STEM	Passed	later
	107 ABBE CT.	WALL		
	FRAZER	263-1159		INSPECTOR: 
5573	FLAUGH	FRAMING +	Failed	
①	6 INDIAN LUXIE	ALL TRADES	Failed	
	HUFNAGEL			INSPECTOR: 
5713	HOOVER	FRAMING	Passed	(in progress)
	175 S. SPR			
	OIB			INSPECTOR: 
5731	FERRARO	RE-INSPECT	Passed	
②	3601 SE OCEAN BLD	ROUGH IN		
	GULICK	+ ALL TRADES		INSPECTOR: 
5612	DEGARMO	PRACTICAL LATH.	Passed	
	24 W. HAN POINT			
	DEGARMO			INSPECTOR: 
5663	HORUIT	INSULATION	Passed	
	11 PERUWINKLE		Plumb.	passed
	DEOR			INSPECTOR: 

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri ~~APRIL 10~~, 2002, Page 1 of .


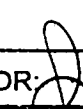

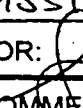
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5022	SMITH	ROOFING	Pass	863-6550
(8)	133 S. RIVER RD. MACARI	DRY IN		INSPECTOR: 
5352	CLEMENTS	ROUGH PLUMBING	Passed	x A/Da
(9)	11 W. HIGH POINT MOLTER			? air chambers INSPECTOR: 
5753	HORVIT	SHEATHING	Passed	
(1)	11 PERRIWINKLE LN PACIFIC	TT + Metal	Passed	INSPECTOR: 
5748	KELSO	AWNING -	Passed	
(5)	26 RIO VISTA MAJOR CANVAS	FINAL		INSPECTOR: 
5754	YOKUM	FORM FOR DRIFTWAY	Passal	Ducked edge + 1/2
(4)	22 RIDGELAND DR			INSPECTOR: 
5573	FLAUCH	LATH	PASSED	Stops?
(3)	6 INDIALUCIE PKY WUFNABEL			INSPECTOR: 
T/R	3 Knowles	(2)		
T/R	6 Admirals Walk	(6)		No !!
T/R	21 N Via Lucindia	(7)		INSPECTOR: 

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri Sat Sun, 2001, ² Page ___ of ___

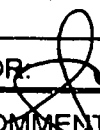
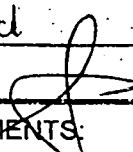

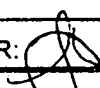
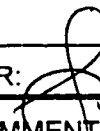
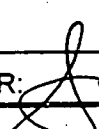
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5700	D'Allessandro 107 Abbie Ct. B. Farier	Sten wall down	Passal	8/15 INSPECTOR: 
5455	ATEN 103 ABBIE CT GELBMAN.	BUILDING FINAL	Passal	 INSPECTOR: 
5751	COLE 7 RUGELAND DR. ADAM FOXE	FENCE FINAL	Passal	Gate ~ 7' 35' back  INSPECTOR:
5022	SMITH 133 S. RIVER RD. MACARI	BOATHOUSE - POURED CONCRETE STAIR	Passal	7"/10" !! wood missing !! INSPECTOR: 
5500	BUSHA 10 KNOWLES RD. SCHILLER	FINAL-POOL Palms Court	did not sign Gene	to advise ! INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS: INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS: INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri ~~April 22~~, 2001; Page ___ of ___.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5573	FLAUGH	A/C + P	Passed	
(3)	6 INDIALUCIE HUFNAGER	ELECT. P Plumber, P	Passed Passed	INSPECTOR: 
5352	CLEMENTS	INSULATION	Ceiling	OK
(8)	11 W. HIGH POINT MOLTER		Walls to	be verified INSPECTOR: 
1685	Wardes	Demo + Repair final	Passed	
(5)	26 Simara PL Direct			INSPECTOR: 
5710	FOWLER	SHEATHING		
(7)	22 MIDDLE ROAD. CARDIN M			INSPECTOR:
5016	SMITH	IN PROGRESS	Passed	
(6)	133 S. RIVER ROAD. CAMPY	ROOF.		INSPECTOR: 
5772	WAKEFIELD.	SHEATHING - TINTAB	Sheddy.	passed
(4)	19 SIMARA ST PACIFIC 2630116 (ROBERT)	Roofed		INSPECTOR: 
5541	MYLORD	TRUSS ENGR	Passed	
(1)	144 N. SEWALLS PT RD. MYLORD			INSPECTOR: 

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri ~~THUR~~ ~~10~~, 200~~1~~₂ Page 1 of 2.

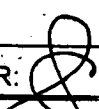

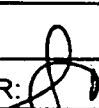
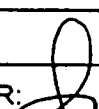
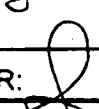
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
② 5022	SMITH	LATH	PASSED	
	133 S. RIVER RD.	(PARTIAL)		
	MAKAL BLDG.	OVERHANGS MAIN HOUSE.		INSPECTOR: <u>h</u>
④ 5631	HART.	ROOF SHEATHING	FAILED	FEE #30
	61 S. RIVER RD.			
	WINAMP.			INSPECTOR: <u>h</u>
⑤ 5767	CLEMENTS	FENCE +	FAILED	
	6 MIDDLE RD.	RETAINING WALL		
	O/B	215-9876		INSPECTOR: <u>h</u>
③ 5675	ATEN	SCREEN ENCL	CANCELLED	
	103 OBIE CT.	FINAL	C.	
	IONEER			INSPECTOR:
⑨ 5787	COLWELL	SHEATHING / FINISH	PASSED	
	1 BANMAN RD.			
	SEASIDE			INSPECTOR: <u>h</u>
⑩ 5713	HOOVER	WINDOWS / DOORS	PASSED	
	175 S. SEWALL A RD			
	O/B			INSPECTOR: <u>h</u>
⑧ 5483	VITALE	FINAL. ELEC, PLUMB.	FAILED	
	13 KNOWLES.	MECH, GAS, ROOF		
	DEZOR	BLDG.		INSPECTOR: <u>h</u>

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: ~~Mon~~ ^{Tues} ~~Wed~~ ~~Fri~~ MAY 28, 2001; ² Page of .

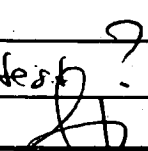


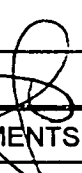
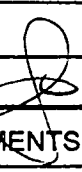
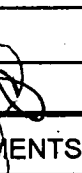
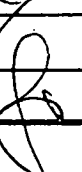
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5022	SMITH	ROUGH PLUMB.	Passed	
	133 S RIVER RD.	ROUGH ELEC	Passed	
	m'cARY	ROUGH MECH.	Passed	INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5805	ALLMAN	SHUTTERS	Passed	upst = impact
	3 SUMMER LN.			rear boty = steel door
	HYERS			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5714	Romano	Rough	Passed	
	21 Simons St	Plumbing		
	O/R			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5727	SMITH	ROUGH GAS	Passed	
	133 S. RIVER RD.			
	TREASURE	747 9396		INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5761	LANEAD.	ROUGH PLUMB.	Passed	PVC through block??
	7 W. SEWALL POINT RD			
		661971 2141		INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: silt screen: 11 Perrin-berg / 133 s river /

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri June 3, 2009; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5755	Roger De Staff 9 Castle Hills O/B	Stab	Passal	Late Compact test? INSPECTOR: 
5567	HENDERSON Henderson Mendelsohn → 24 Island Rd. Buyford	Shapping	Passed	partial INSPECTOR: 
IG12	De Garmo 24 w High Pt. O/B	Pool Plumbg.	Passal	INSPECTOR: 
5809	Kendal 8 Kingston Ct. Stuart Roofing	Tin Tag	Partial	INSPECTOR: 
5820	PICUE US RIVER RD. LUMMARY	UNDERGROUND. LANDSCAPE LIGHTING.	Passal	INSPECTOR: 
5022	SMITH. 133 S. RIVER RD. MCCREY.	LATH / GARAGE.	Passal	INSPECTOR: 
5022	SMITH 133 S. River McCreay	Insulation	For Wednesday	INSPECTOR: 

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri June 3, 2008 Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5755	Roger De Staff 9 Castle Hills O/B	Stab	Passed	Late Compact test? INSPECTOR: <i>[Signature]</i>
5567	HEBER Henderson Mendelsohn Bayford	Shapping 24 Island Rd.	Passed	partial INSPECTOR: <i>[Signature]</i>
IG12	De Garmo 24 w High Pt. O/B	Pool Plumbg.	Passed	INSPECTOR: <i>[Signature]</i>
5809	Kendal 8 Kingston Ct. Stuart Roofing	Tin Tag	Partial	INSPECTOR: <i>[Signature]</i>
5820	PICUE US RWER RD. LUMMARY	UNDERGROUND. LANDSCAPE LIGHTING.	Passed	INSPECTOR: <i>[Signature]</i>
5022	SMITH. 133 S. RWER RD. M'CARRY.	LATH / GARAGE.	Passed	INSPECTOR: <i>[Signature]</i>
5022	Smith 133 S. River McCarry	Insulation	For Wednesday	INSPECTOR: <i>[Signature]</i>

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri June 7, 2007 Page 2 of 2.


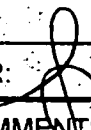
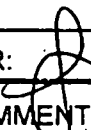
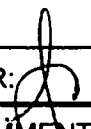
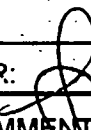

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5022	Smith 133 S. River Rd. Mickery	Insulation	Passed	
		Steve 745 0394		INSPECTOR: <i>[Signature]</i>
3689	Harrison 4 Island Rd. Butora	Strapping	Passed	(near porch) (except new brusses)
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 1/15, 2004; ³ Page of .

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5768	MILORD 144 N. SEWALL'S PT RD OLYMPIC POOLS	POOL FINAL	Passed	Need affidavit INSPECTOR: 
5907	HENDERSON 24 ISLAND WAY BUFFORD	FINAL GAS 287 4330	Passed	INSPECTOR: 
5022	SMITH 133 S. RIVER RD. PARADYNE	SPRINKLER PLUMBING	Passed	INSPECTOR: 
6089	STANFORD 73 N. RIVER RD STUART ROOFING	ROOF DEMO Sheathing/T-Tag	Passed	INSPECTOR: 
	Deunhana	Plumbing Rough	Passed	INSPECTOR: 
5969	Hav. Ray Assoc. 3766 SE Ocean Kirchman	Removal. Final	Passed	INSPECTOR: 
				INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3-12, 2003 Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6102	Dunn	Wire Lath	Pass	
(3)	21 Palmetto Dr DVD Development			INSPECTOR: [Signature]
5022	Nick Smith	Roof Final	Wood Spars re headtop etc.	
(6)	133 S River Road Macari/Campi Roofing		Failed	INSPECTOR: [Signature]
	19 Riverview Shade Tree	trimming trees	no removals	INSPECTOR: [Signature]
	142 S Sewall Pt.	no activity		INSPECTOR: [Signature]
				INSPECTOR:
				INSPECTOR:
				INSPECTOR:
				INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3-19, 20013 Page of

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
5700	D'ACCESSANDOLA	DRIVEWAY	Failed	
(6)	107 ABBIE COURT FRASER	POOL DECK	wood compact	Survey/Soilbr INSPECTOR: [Signature]
5032	SMITH	ROOF FINAL	Passed	(Remove Broken tile)
(7)	133 S. RIVER RD WICKS			INSPECTOR: [Signature]
TREE	SHAPER	TREE	Passed	
(4)	36 CASTLE HILL WAY			INSPECTOR: [Signature]
6058	MAJEWSKI	FENCE	Passed	Close
(3)	24 E. HIGH POINT ADRON			INSPECTOR: [Signature]
6023	DRESSLER	FENCE	Passed	close
(5)	87 S. RIVER RD JUST WOOD			INSPECTOR: [Signature]
6136	ENT TO HIGH POINT	FINAL ELEC	Passed	900
(2)	" ADR ELECTRIC			close of permit only INSPECTOR: [Signature]
TREE	CHARDA VOYNE	TREE	?	→ Gene
(3)	22 FIELDWAY			INSPECTOR: [Signature]
OTHER:	FANCETT	TREE	Passed	
TREE	20 PALM ROAD			

N

N

*

(1) TREE S. SP/ Ementa shrubs to be removed → Gene INSPECTION LOG 13



TOWN OF SEWALL'S POINT
One South Sewall's Point Road
Sewall's Point, Florida 34996
(561) 287-2455

CORRECTION NOTICE

ADDRESS: 133 S. River

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

El. Early Power Release

Panel

- 1.) Need agreement
- 2.) No external disconnect
- 3.) Switch / cover plates
off for painting
equipment room!

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 7/2/3

[Signature]
INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 7/2, 2004 3 Page of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6312	LUTZ 6 RIVERVIEW SO. EXP	FRAMING Et. rough (w/Plumb or AC)	Passed	
				INSPECTOR: <i>[Signature]</i>
5024	SMITH	ELEC POWER	Failed	10⁰⁰
(5022 mste)	33 S. RIVER RD MACOM			(No fee)
				INSPECTOR: <i>[Signature]</i>
6299	SHEETS 7 KNOWLES RD COASTAL ALUM	FINAL-SCREEN ENCL.	Passed	close
				INSPECTOR: <i>[Signature]</i>
6254	MCKEWEY 21 E. HIGH POINT GLANCY	WINDOW CHG OUT	Passed	close
				INSPECTOR: <i>[Signature]</i>
6164	MCKEWEY 21 E. HIGH POINT GLANCY	BATHROOM FINAL	Passed	close
				INSPECTOR: <i>[Signature]</i>
6289	MISER 21 ISLAND ROAD GT PLUMBING	GROUND ROUGH	Passed	
				INSPECTOR: <i>[Signature]</i>
6054	ALMAN 3 SUMMER LA O/B	FENCES MASONRY WALL		
				INSPECTOR: <i>[Signature]</i>

OTHER:

Date: 128 5 SP4. → addition → discarded?

TOWN OF SEWALL'S POINT
Building Department
One South Sewall's Point Road
Sewall's Point, Florida 34996

POWER RELEASE AGREEMENT: PN: 5022
 (To be submitted at final electrical inspection in order to turn on electric service)

Owner: MR+MRS NICK SMITH Address: 107 Bow Spruce Dr NPB Fl.
 Project Address: 133 So River Rd. Legal: Lot: Block: Subdivision:
 General Contractor: MACELE BUILDING & DESIGN INC. Lic/Cert. No.: CGC-023754
 Address: 149 Fern St. Jupiter Fl. 33458 Tel: 561-745-0374 Fax: 561-745-9385
 Electrical Contractor: Dubay Electric Lic/Cert. No.: ME 00476
 Address: PO Box 447 Jupiter, Fla. Tel: 575-5768 Fax: 746-0554

WHEREAS, pursuant to the provisions of, and governed by the National Electrical Code and Ordinances of the Town of Sewall's Point, electric hook-up for use during building operations and for testing purposes under a valid building permit is authorized under prescribed terms and conditions; and,

WHEREAS, the above named responsible persons, firms or corporations have requested an electrical hook-up of 133 So River Rd. for the purpose of SAWING & FINISHING WOOD FLOORS & FLOOR FINISHES at the above designated construction now in progress under a valid building permit; and equipment and completion of building operations as herein above described.

NOW THEREFORE IT IS AGREED BY AND BETWEEN THE PARTIES THAT:

1. The parties to this agreement are Gene Simmons, Building Official, Town of Sewall's point, and the above named responsible persons, firms, corporations.
2. In order to allow electrical service to be provided to certain equipment being placed at the referenced construction address the Building Official hereby agrees to grant an electrical hook-up permit.
3. This electrical hook-up will be revoked or a Certificate of Occupancy will be issued to verify completion.
4. The electric hook-up is solely for the purposes stated. No furniture or occupants will be moved into the building until a Certificate of Occupancy is issued.

IN WITNESS WHEREOF the parties have caused this agreement to be executed this day of July, 2003

Stephen J. McCarri
 SIGNATURE OF GENERAL CONTRACTOR

[Signature]
 SIGNATURE OF ELECTRICAL CONTRACTOR

Janet C. S.
 SIGNATURE OF OWNER

GENE SIMMONS, BUILDING OFFICIAL

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 8/11, 2003 Page 3 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6335	TWOHEY	SLAB	Passed	
(1)	119 HILLCREST SEAGATE			INSPECTOR:
51022	SMITH	DRIVEWAY	Passed	
	133 S. RIVER RD MACARI	PRE POUR		INSPECTOR:
6131	PFEIFFER	DRYIN	→ WED	
	104 HENRY SEWALL HEATON ROOFING	TIN TAG		INSPECTOR:
6330	BUSSEY	SLAB	Failed	late as possible
(2)	1 PALMETTO DR WORRELL	→ 35' setback	right	up on the grass.
				INSPECTOR:
TREE	NOHEJL	TREE	Passed	
	6 N RIDGEVIEW RD			INSPECTOR:
9131	Pfeiffer	Truss eng.	Passed	
	604 H. Sewall W. Duford	Tie down		INSPECTOR:
				INSPECTOR:

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(561) 287-2455

CORRECTION NOTICE

ADDRESS: 133 S. River Rd.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

Driveway Prepour

Painted

Need swale along road

Note: same required
for paved driveway

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 8/13/3

[Signature]
INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 8/15, 2008 Page 3 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	BURKARD 176 S. RIVER RD	TREE	Passed	
				INSPECTOR: <i>[Signature]</i>
5022	SMITH	DRIVEWAY	Passed	
	133 S. RIVER RD MACARI	(SWALE)		INSPECTOR: <i>[Signature]</i>
6082	CAEWELANT 10 PEERWINKLE CIR PACIFIC	ROOF FINAL	Passed	INSPECTOR: <i>[Signature]</i>
5827	Wobler 4 Madalay Ritz	Irrigation	Passed	done INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
OTHER:	74 N. SEWALL'S	DECK?	Stopped work → get permit	
	116 E. HIGH POINT	CONCRETE/ JACK HAMMERS?	8/15	Parapet wall replacement Siding replacement 42" Ornamental Bal. Replaces Alu railing



TOWN OF SEWALL'S POINT

One South Sewall's Point Road

Sewall's Point, Florida 34996

(561) 287-2455

CORRECTION NOTICE

ADDRESS: 133 S. River Rd.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

Silt barrier

- re install !!

- create requested swale
at paver driveway

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 8/20/23

[Signature]
INSPECTOR

DO NOT REMOVE THIS TAG



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(561) 287-2455

CORRECTION NOTICE

ADDRESS: 133 S RIVER RD.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

30° REINFORCED

*FAIL NEED 3" COVERAGE
MIN REBAR FOOTING IN
CONTACT W/ EARTH*

*DESIGN SHOWS CONDUIT
NOT IN FOOTING - SUBJECT
TO PROPER DEPTH*

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 10/3/03

PAUL
INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 10/3, 2004 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6450	SMITH 133 S. RIVER RD MACARI	FOOTINGS - COLUMNS	Fail	IMPROPER STEEL CLEARANCE INSPECTOR: PAUL
5734	ABESADA 8 MORGAN CIRC CONWAY	POWER PER.	Fail	NOT READY SWITCHES & PLATES etc INSPECTOR: PAUL
6350	TAYLOR 22 E. HIGH POINT W.D. JOHNSON ELEC	ELECTRICAL	Fail	OK'd INSPECTOR:
6370	RONAN 14 COFAIRE WOODWARD	INSULATION R-ELECTRIC R-AC	PASS PASS PASS	OK 36 (30) TO 2004 INSPECTOR: PAUL
6288	FRANCIS 5 S. RIVER OLYMPIC POOLS	POOL STEEL & MAIN DRAIN	PASS	INSPECTOR:
6410	HALL 4 N. VIA LUCINDIA TWIN POOLS	POOL STEEL	PASS	ANGLE OF REPOSE EXCEEDED INSPECTOR: PAUL
				INSPECTOR:

OTHER: _____

STATEMENT OF INSPECTION

(To be submitted at final inspection for Certification of Occupancy)

COMPLIANCE WITH SECTION 0307.2 OF THE SOUTH FLORIDA BUILDING CODE

To: Building Official, Town of Sewall's Point
From: Architect or Engineer of Record
Re: Subject Structure Described As Follows:

In accordance with the requirements of Town of Sewall's Point and the Florida Building Code, a "Statement of Inspection", executed by the Architect or Engineer who sealed and signed the plans, shall be issued and dated following completion of the work, and delivered as a condition precedent to the issuance by the Building Official of any temporary or final Certificates of Occupancy or Certificates of Completion.

MR+MRS.
Owner: NICHOLAS SMITH Address: 107 BOWSPRITE DR NORTH PALM BEACH FL 33408
Project Address: 133 SOUTH RIVER ROAD Legal Description: Lot _____ Blk _____ Subdivision _____
General Contractor: AACARI BUILDING & DESIGN, INC Lic/Cert No. CGC 023754
Address: 18561 LAKESIDE GARDENS DR. JUPITER FL 33458 Tel: 561-745-0394 Fax: 561-745-9385
Architect or Engineer: WESSEL ASSOCIATES, AIA Lic/Reg No. AAC 000020
Address: 900 S. WY 1 JUPITER FL 33477 Tel: 561 747 4950 Fax: 561-747-4184
Permit No: 5022 Date of Issue: _____ Date of This Statement: 10/6/03

1. I am the Architect or Engineer who sealed and signed the plans for the subject structure.
2. To the best of my knowledge, belief and professional judgment, the structural and envelope components of the structure are in compliance with the approved plans and other approved permit documents.
3. To the best of my knowledge, belief and professional judgment, the approved permit plans represent the as-built condition of the structural and envelope components of the structure.

Executed at SEWALL'S POINT, FL this 6TH day of OCTOBER, 2003
Name: DONALD F. GREST; Signature: [Signature]; Lic. No: AR0013961

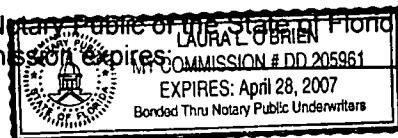
STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this 6TH day of OCTOBER 2003 by DONALD GREST, who is
Personally known to me or who has produced _____ as identification and who did not take an oath.

(NOTARY SEAL)

[Signature]
Name: [Signature]

I am a Notary Public of the State of Florida and
my commission expires _____



TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 10/6, 2003 Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6450	SMITH 133 S. RIVER MACAUL	FOOTING	PASS	ENTERY GATE Footings INSPECTOR: ALG
TREE	COOR 7 RIDGELAND DR	TREE	PASS	NO TREE DEAD TREE INSPECTOR: ALG
TREE	KISSING 7 MINDORO ST	TREE	PASS	NO TREE EXOTIC SPECIE INSPECTOR: ALG
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER:



Martin County Health Department

(561) 221-4090 Fax. (561) 221-4967

TO: BUILDING DEPARTMENT: MARTIN JUPITER ISL. SEWALLS PT. STUART

FROM: Ray Cross

DATE: 12/13/03

SUBJECT: FINAL APPROVAL FOR SEPTIC SYSTEMS

HEALTH DEPT. PERMIT

BUILDING DEPT. PERMIT

LOCATION

- 43-SS- 05204
- 43-SS- _____
- 43-SS- _____
- 43-SS- _____
- 43-SS- _____
- 43-SS- _____
- 43-SS- _____
- 43-SS- _____




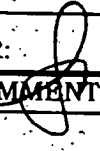

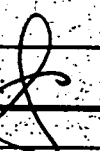
5022

133 S RIVER RD
Stuart

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 10/17, 2008 Page 3 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5919	Buee 21 RIVERVIEW O/B	COURTESY ELECTRICAL		Cancelled by Contr. INSPECTOR: 
TREE	SALLY 3 OAKWOOD	TREE	Passal	 INSPECTOR: 
6429	ROBERTS 12 N. RIDGEVIEW GLEN MARIE	INSULATION	Passal	 INSPECTOR: 
6350	LUBINA 10 N. VIALUCINDIA ABACO BUILDERS	FINAL RENOV.	Passal	→ close INSPECTOR: 
5875	MAXSON 9 S. RIVER LIBERTY ELEC	FINAL ELEC	Passal	 INSPECTOR: 
5002	SMITH 133 S. RIVER RD MACALI	FINAL STR	Passal	→ close INSPECTOR: 
OTHER: _____				

OWNER'S AFFIDAVIT OF BUILDING COSTS

(To be submitted at time of final inspection for Certificate of Occupancy)

**STATE OF FLORIDA
MARTIN COUNTY**

BEFORE ME, the undersigned authority, personally appeared the undersigned Affidavit, who, being first duly sworn, under penalty of perjury, deposes and says:

1. That Affidavit is the owner or the authorized agent of the owner of certain real estate (the Property) located within the municipal limits of the Town of Sewall's Point, Florida (the Town), having the street address set forth below Affidavit's signature.
2. That all of the improvements on the Property under current building permit(s) issued by the Town have been completed in substantial conformity with the plans and specifications on file with the Town and in accordance with all applicable state and local building codes.
3. That the total cost paid or to be paid by the owner for the complete construction of the improvements under the building permit(s), including the cost of all improvements shown on the plans and specifications filed with the Town and all machinery and equipment not shown thereon required to be installed as a condition for a certificate of occupancy under state and local law, is \$ 2,276,000 -
4. That this Affidavit is made for the purpose of inducing the Building Official of the Town to issue a Certificate of Occupancy for the improvements, with the intention that it be relied upon for that purpose.

Affidavit's Signature:

[Handwritten Signature]

Property Address:

33 South River Road

Sewalls Point, FL.

SWORN TO and subscribed before me this 6th day of November, 2003, by Nicholas S. Smith, who is personally known to me or produced _____ as identification.

[Handwritten Signature]

Notary Public

My commission expires: 9/23/05

(Notary Seal)



Marie T. Dockweiler
MY COMMISSION # DD059474 EXPIRES
September 23, 2005
BONDED THRU TROY FAIN INSURANCE, INC.

TOWN OF SEWALL'S POINT

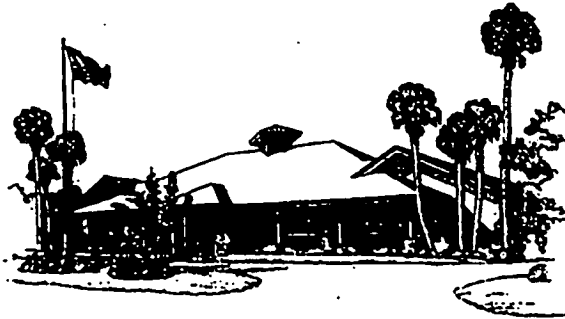
MARC S. TEPLITZ
Mayor

JAMES D. BERCAW
Vice Mayor

E. DANIEL MORRIS
Commissioner

THOMAS P. BAUSCH
Commissioner

RICHARD L. BARON
Commissioner



JOSEPH C. DORSKY
Town Manager

JOAN H. BARROW
Town Clerk

LARRY E. McCARTY
Chief of Police

GENE SIMMONS
Building Official

JOSE TORRES, JR.
Maintenance

CERTIFICATE OF OCCUPANCY

Single Family Residence Other _____

OWNER NICKOLAS SMITH. ; PROPERTY ADDRESS: 133 S RIVER ROAD.

LEGAL DESCRIPTION: LOT 2 + 3 BLOCK _____ SUBDIVISION HANSON GRANT.

GENERAL CONTRACTOR: MARAPI BLDG + DESIGN INC. ; LIC/CERT NO: _____

ADDRESS: 18561 LAKESIDE GARDENS JUPITER ; TEL: 561-745-0394 ; FAX: 561-745-9385


ARCHITECT OR ENGINEER: WESSEL ASSOCIATES ; LIC/CERT NO: AAC 000020

ADDRESS: 900 S. HWY 1 JUPITER ; TEL: 561 7474960 ; FAX: 561-747-4184

PERMIT NO: 5022 ; DATE OF ISSUE: 7/13/00 ; RENEWAL PERMIT NO: N/A ; DATE OF ISSUE: 7/13/02
7/13/01
7/13/03 10/7/03

In accordance with the requirements of the Florida Building Code and the Codes and Ordinances of the Town of Sewall's Point, Florida, this Certificate of Occupancy is hereby issued for the foregoing described property.

Entered at Sewall's Point, Florida, this 7 day of NOVEMBER, 2003.


Gene Simmons, CBO
Building Official, Town of Sewall's Point



Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org

5727

GAS

RENEWAL 3/21/02 (d/21/03; \$10.50 (aid on 4/21/03 F 1769)

C

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 3/21/02

BUILDING PERMIT NO. 5727

Building to be erected for NICK SMITH

Type of Permit LP GAS

Applied for by TREASURE COAST PROPANE (Contractor)

Building Fee 35.00
~~12.50~~

Subdivision HANSON GRANT Lot 1 Block _____

Radon Fee _____

Address 133 S. RIVER RD.

Impact Fee _____

Type of structure SFR

AC Fee _____

Parcel Control Number:

Electrical Fee _____

133841000000003010000

Plumbing Fee _____

Amount Paid 35.00 ~~xx~~

Check # 1464 Cash _____

Other Fees () _____

Roofing Fee _____

Total Construction Cost \$ 2,300.00

TOTAL Fees 35.00
~~12.50~~

Signed [Signature]

Applicant

Signed [Signature]

Town Building Official

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 3/21/02

BUILDING PERMIT NO. 5727

Building to be erected for NICK SMITH

Type of Permit LP GAS

Applied for by TREASURE COAST PROPANE (Contractor)

Building Fee ~~14.20~~ 35.00

Subdivision HANSON GRANT Lot 1 Block _____

Radon Fee _____

Address 133 S. RIVER RD.

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:

Electrical Fee _____

133841000000003010000

Plumbing Fee _____

Amount Paid 35.00 Check # 1404 Cash _____ Other Fees (_____) _____

Roofing Fee _____

Total Construction Cost \$ 2,300.00

TOTAL Fees ~~14.20~~ 35.00

Signed [Signature]
Applicant

Signed Mene Simmons / nlc
Town Building Official

PERMIT

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input checked="" type="checkbox"/> ADDITION |

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

3/15/02

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Building Permit Number: _____

Owner or Titleholder Name: NICK SMITH City: SEWALL'S PT State: FL Zip: 34996
 Legal Description of Property: LOT 1 OF THE MILES OR AMSON GRANT Parcel Number: 13-38-41-000-000-00030-1000
 Location of Job Site: 133 S. RIVER RD Type of Work To Be Done: LP GAS INSTALL-INTERNAL
* EXTERIOR LP PIPING * U.G. TANK
 CONTRACTOR/Company Name: TREASURE COAST PROPANE Phone Number: 501-747-9396
 Street: 1001 JUPITER PK DR #115 City: JUPITER State: FL Zip: 33458
 State Registration Number: _____ State Certification Number: 14597 Martin County License Number: 2000-650-093

ARCHITECT _____ Phone Number: _____
 Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Phone Number: _____
 Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
 Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____
 Type Sewage: _____ Septic Tank Permit Number From Health Dept. _____ Well Permit Number: _____

FLOOD HAZARD INFORMATION Flood Zone: _____ Minimum Base Flood Elevation (BFE): _____ NGVD
 Proposed First Floor Habitable Floor Finished Elevation: _____ NGVD (Minimum 1 Foot Above BFE)

COST AND VALUES Estimated Cost of Construction or Improvements: 2300.00 Estimated Fair Market Value (FMV) Prior
 To Improvements: _____ If Improvement, Is Cost Greater Than 50% Of Fair Market Value YES _____ NO _____

SUBCONTRACTOR INFORMATION
 Electrical: _____ State: _____ License Number: _____
 Mechanical: _____ State: _____ License Number: _____
 Plumbing: _____ State: _____ License Number: _____
 Roofing: _____ State: _____ License Number: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNANCE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION
 Florida Building Code (Structural, Mechanical, Plumbing, Gas) _____ South Florida Building Code (Structural, Mechanical, Plumbing, Gas) _____
 National Electrical Code _____ Florida Energy Code _____ Florida Accessibility Code _____

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.
 OWNER OR AGENT SIGNATURE (required) _____ CONTRACTOR SIGNATURE (required) _____

State of Florida, County of: _____
 This the _____ day of _____, 200____
 by _____ who is personally
 known to me or produced _____
 as identification. _____

Notary Public
 My Commission Expires: _____
 Seal

DAVID POWERS
 On State of Florida, County of: Palm Beach
 This the 15th day of March, 2002
 by DAVID POWERS who is personally
 known to me or produced _____
 As identification. _____

Notary Public
 My Commission Expires: Heather A. Vazquez
 Seal



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

MARC S. TEPLITZ
Mayor

JAMES D. BERCAW
Vice Mayor

E. DANIEL MORRIS
Commissioner

THOMAS P. BAUSCH
Commissioner

RICHARD L. BARON
Commissioner



JOSEPH C. DORSKY
Town Manager

JOAN H. BARROW
Town Clerk

LARRY E. McCARTY
Chief of Police

GENE SIMMONS
Building Official

JOSE TORRES, JR.
Maintenance

March 25, 2003

Sharp Energy, Inc.
dba Treasure Coast Propane
909 Silver Lake Blvd
Dover, DE 19904-2409


Post-It® Fax Note	7671	Date	4/3	# of pages	1
To	DAVID POWERS	From	SEWALL'S		
Co./Dept.		Co.			
Phone #		Phone #			
Fax #		Fax #			

Our records indicate that our permit number 5727 for lp gas at 133 S. River Road issued on 03/21/02 has expired.

You are required to renew your permit within 30 days of this notification. If your permit is not renewed within a 30-day grace period, all work on the project will be stopped by order of the Town of Sewall's Point Building Official.

Renewals will be accepted:
Monday through Friday
8:00am-12:00noon

Sincerely,


Gene Simmons, CBO
Building Official



Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7869 • E-Mail: police@sewallspoint.org

MARSH USA INC.

CERTIFICATE OF INSURANCE

CERTIFICATE NUMBER
CLE-000684154-01

PRODUCER
Marsh USA Inc.
1201 Market Street, Suite 1000
Wilmington, DE 19801
Attn: 1

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER OTHER THAN THOSE PROVIDED IN THE POLICY. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES DESCRIBED HEREIN.

COMPANIES AFFORDING COVERAGE

- COMPANY
A AMERICAN HOME ASSURANCE CO
- COMPANY
B NATIONAL UNION FIRE INS CO
- COMPANY
C NEW HAMPSHIRE INSURANCE CO
- COMPANY
D

015920---

INSURED
Sharp Energy, Inc.
dba Treasure Coast Propane
Attn: Lori Abel
909 Silver Lake Blvd.
Dover, DE 19904-2409

COVERAGES

This certificate supersedes and replaces any previously issued certificate for the policy period noted below. 0

THIS IS TO CERTIFY THAT POLICIES OF INSURANCE DESCRIBED HEREIN HAVE BEEN ISSUED TO THE INSURED NAMED HEREIN FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THE CERTIFICATE MAY BE ISSUED, OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, CONDITIONS AND EXCLUSIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	GL5442209	06/01/01	06/01/02	GENERAL AGGREGATE \$ 2,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				PRODUCTS - COMP/OP AGG \$ 1,000,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				PERSONAL & ADV INJURY \$ 1,000,000
	<input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT				EACH OCCURRENCE \$ 1,000,000
					FIRE DAMAGE (Any one fire) \$ 50,000
					MED EXP (Any one person) \$ N/A
A	AUTOMOBILE LIABILITY	AL5488288	06/01/01	06/01/02	COMBINED SINGLE LIMIT \$ 1,000,000
	<input checked="" type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident) \$
	<input checked="" type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE \$
	<input checked="" type="checkbox"/> HIRED AUTOS				
<input checked="" type="checkbox"/> NON-OWNED AUTOS					
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$
	<input type="checkbox"/> ANY AUTO				OTHER THAN AUTO ONLY:
					EACH ACCIDENT \$
					AGGREGATE \$
B	EXCESS LIABILITY	BE 739 35 63	06/01/01	06/01/02	EACH OCCURRENCE \$ 40,000,000
	<input checked="" type="checkbox"/> UMBRELLA FORM				AGGREGATE \$ 40,000,000
	<input type="checkbox"/> OTHER THAN UMBRELLA FORM				\$
C	WORKERS' COMPENSATION AND EMPLOYERS' LIABILITY	WC7206755	06/01/01	06/01/02	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER
					EL EACH ACCIDENT \$ 1,000,000
					EL DISEASE-POLICY LIMIT \$ 1,000,000
					EL DISEASE-EACH EMPLOYEE \$ 1,000,000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS (LIMITS MAY BE SUBJECT TO DEDUCTIBLES OR RETENTIONS)

CERTIFICATE HOLDER

Town of Sewall's Point
1 S Sewall's Point Road
Sewall's, FL 34996

CANCELLATION

SHOULD ANY OF THE POLICIES DESCRIBED HEREIN BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE INSURER AFFORDING COVERAGE WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED HEREIN, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER AFFORDING COVERAGE, ITS AGENTS OR REPRESENTATIVES.

MARSH USA INC.

by: Kenneth A. Morley

Kenneth A. Morley

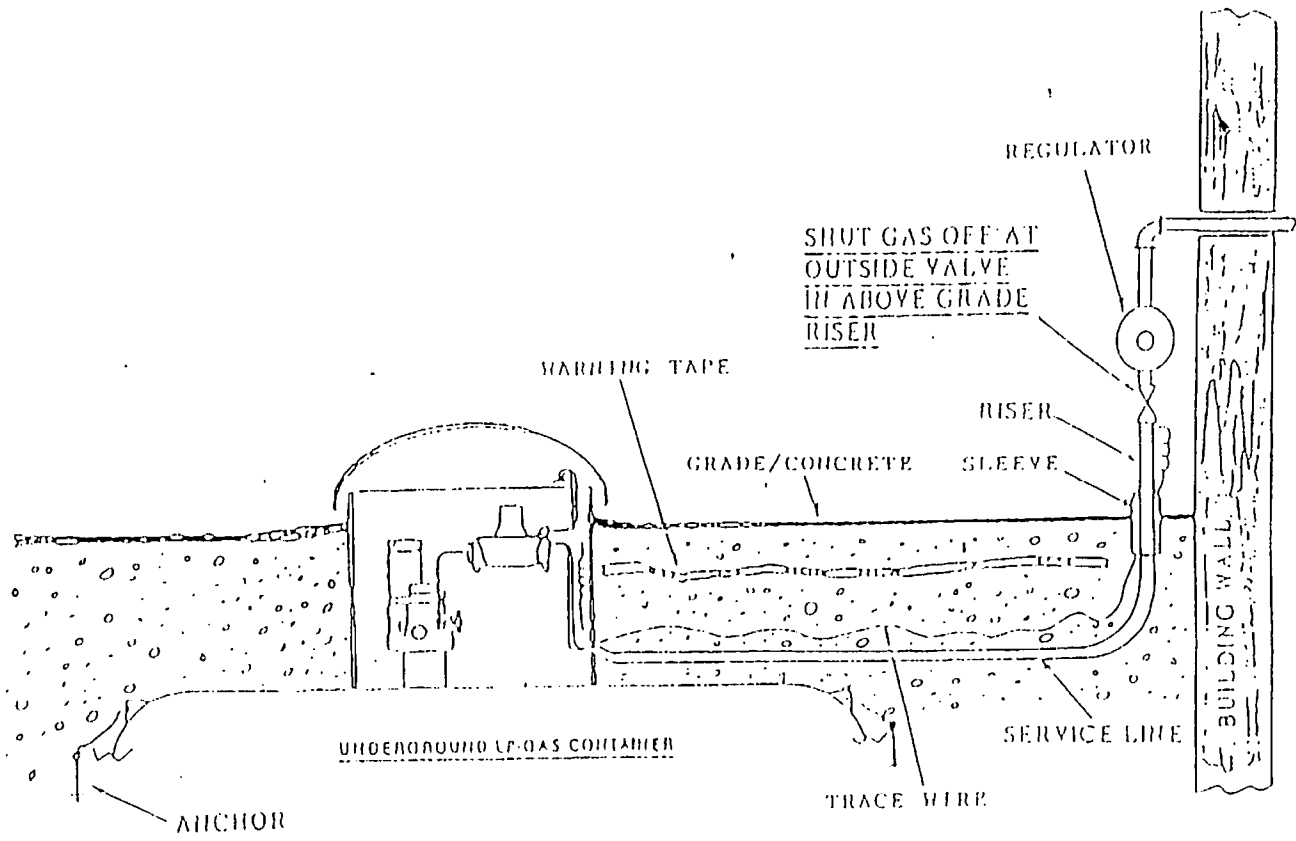
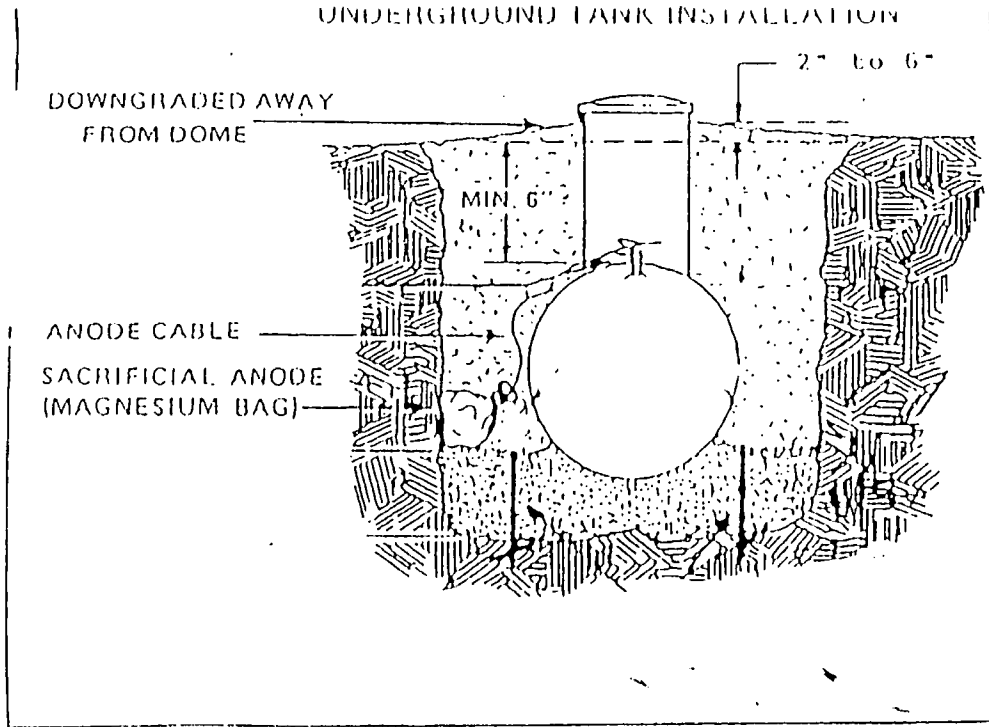
MM1(9/99)

VALID AS OF: 03/01/02

PROPANE CONSTRUCTION NOTES

1. All pipe and fittings above ground and inside building shall be SCH. 40 Galvanized ASTM A120 or AGA approved corrugated stainless steel (C.S.S.T.) pipe.
2. All polypipe and fittings shall be ASTM D2513 or ASTM D2517 and shall be buried outside underground at a depth of 18" with warning tape and tracer wire.
3. All pipe and meter locations are approximate and subject to change.
4. All polypipe shall be joined by heat fusion or approved mechanical couplings.
5. All galvanized pipe shall be threaded.
6. All pipe shall be pressure tested to 20 # PSI for a period of 24 hours.

UNDERGROUND TANK INSTALLATION



Standard Domestic Propane Tank Specifications

<u>CAPACITY</u>	<u>DIAMETER</u>	<u>LENGTH</u>	<u>WEIGHT</u>
120 Gal (454 l)	24" (610 mm)	68" (1727 mm)	288 lb (131 kg)
150 Gal (568 l)	24" (610 mm)	84" (2134 mm)	352 lb (160 kg)
200 Gal (757 l)	30" (762 mm)	79" (2007 mm)	463 lb (210 kg)
250 Gal (946 l)	30" (762 mm)	94" (2387 mm)	542 lb (246 kg)
325 Gal (1230 l)	30" (762 mm)	119" (3023 mm)	672 lb (305 kg)
500 Gal (1893 l)	37" (940 mm)	119" (3023 mm)	1062 lb (482 kg)
1000 Gal (3785 l)	41" (1041 mm)	192" (4877 mm)	1983 lb (900 kg)

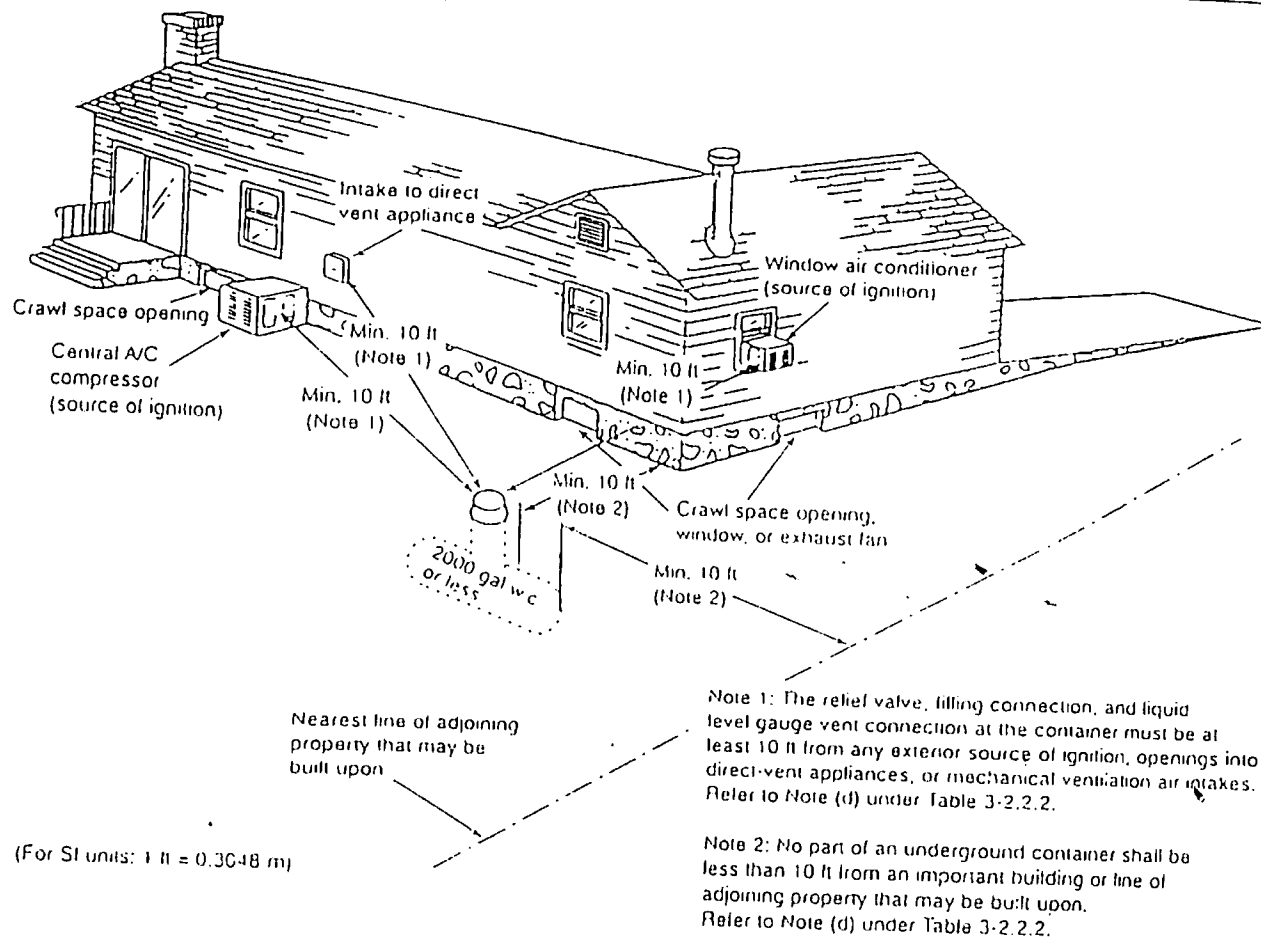


Figure I-3 Underground ASME containers.
(This figure for illustrative purposes only; text shall govern.)

Appendix J Referenced Publications

J-1 The following documents or portions thereof are referenced within this standard for informational purposes only and thus are not considered part of the requirements of this document. The edition indicated for each reference is the current edition as of the date of the NFPA issuance of this document.

J-1.1 NFPA Publications. National Fire Protection Association, 1 Batterymarch Park, P.O. Box 9101, Quincy, MA 02269-9101.

NFPA 10, *Standard for Portable Fire Extinguishers*, 1994 edition.

NFPA 37, *Standard for the Installation and Use of Stationary Combustion Engines and Gas Turbines*, 1994 edition.

NFPA 50, *Standard for Bulk Oxygen Systems at Consumer Sites*, 1990 edition.

NFPA 50A, *Standard for Gaseous Hydrogen Systems at Consumer Sites*, 1994 edition.

NFPA 51, *Standard for the Design and Installation of Oxygen-Fuel Gas Systems for Welding, Cutting, and Allied Processes*, 1992 edition.

NFPA 61B, *Standard for the Prevention of Fires and Explosions in Grain Elevators and Facilities Handling Bulk Raw Agricultural Commodities*, 1989 edition.

NFPA 68, *Guide for Venting of Deflagrations*, 1994 edition.

NFPA 77, *Recommended Practice on Static Electricity*, 1993 edition.

NFPA 80, *Standard for Fire Doors and Fire Windows*, 1992 edition.

NFPA 220, *Standard on Types of Building Construction*, 1992 edition.

NFPA 251, *Standard Methods of Fire Tests of Building Construction and Materials*, 1990 edition.

NFPA 252, *Standard Methods of Fire Tests of Door Assemblies*, 1995 edition.

NFPA 321, *Standard on Basic Classification of Flammable and Combustible Liquids*, 1991 edition.

NFPA 780, *Lightning Protection Code*, 1992 edition.

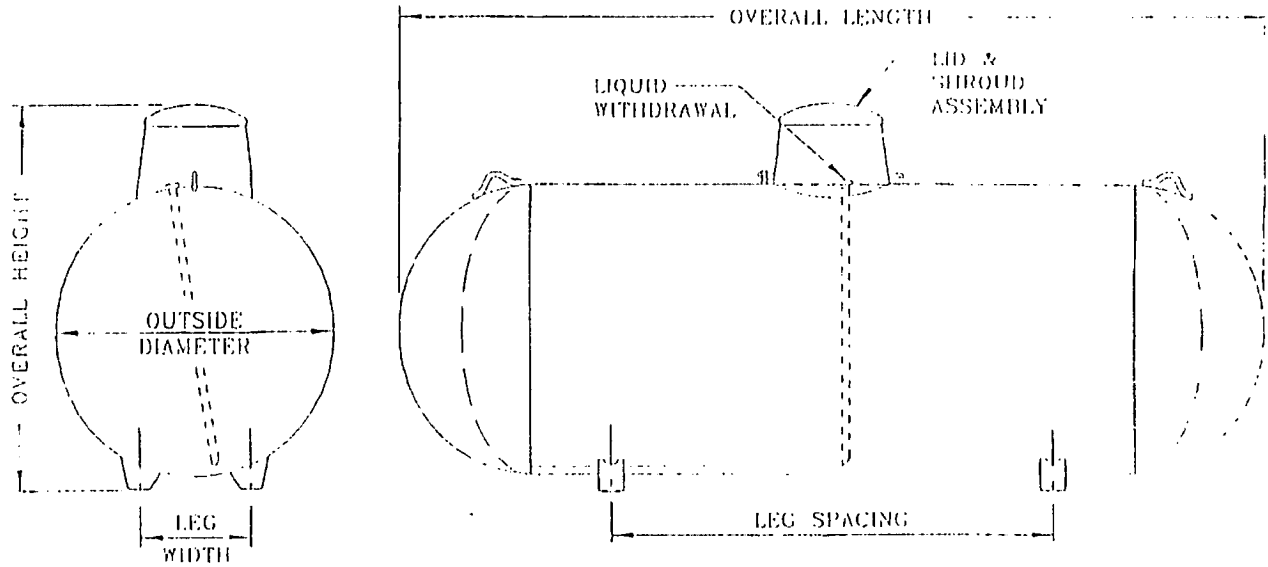
J-1.2 API Publications. American Petroleum Institute, 2101 L St., NW, Washington, DC 20037.

API 620, *Design and Construction of Large, Welded, Low-Pressure Storage Tanks*, 1990.

API 1632, *Cathodic Protection of Underground Petroleum Storage Tanks and Piping Systems*, 1983.

API 2510, *Design and Construction of LP-Gas Installations*, 1989.

API-ASME Code for Unfired Pressure Vessels for Petroleum Liquids and Gases.

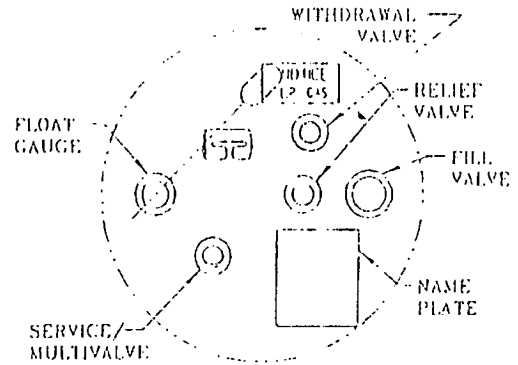


General Specifications

Conforms to the latest edition and addenda of the ASME Code for Pressure Vessels; Section VIII Division I. Complies with NFPA 58 and is listed by Underwriters Laboratories, Inc.

Rated at 250 psig from -20⁰ F. to 125⁰ F. All tanks may be evacuated to a full (14.7 psi) vacuum.

Vessel Finish: Coated with epoxy red powder. (Tanks coated with the epoxy powder must be buried). For aboveground use, tanks may be coated with TGIC powder.



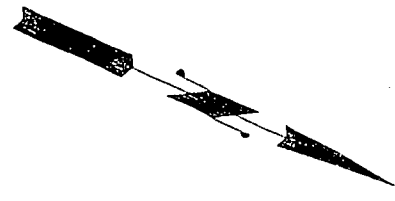
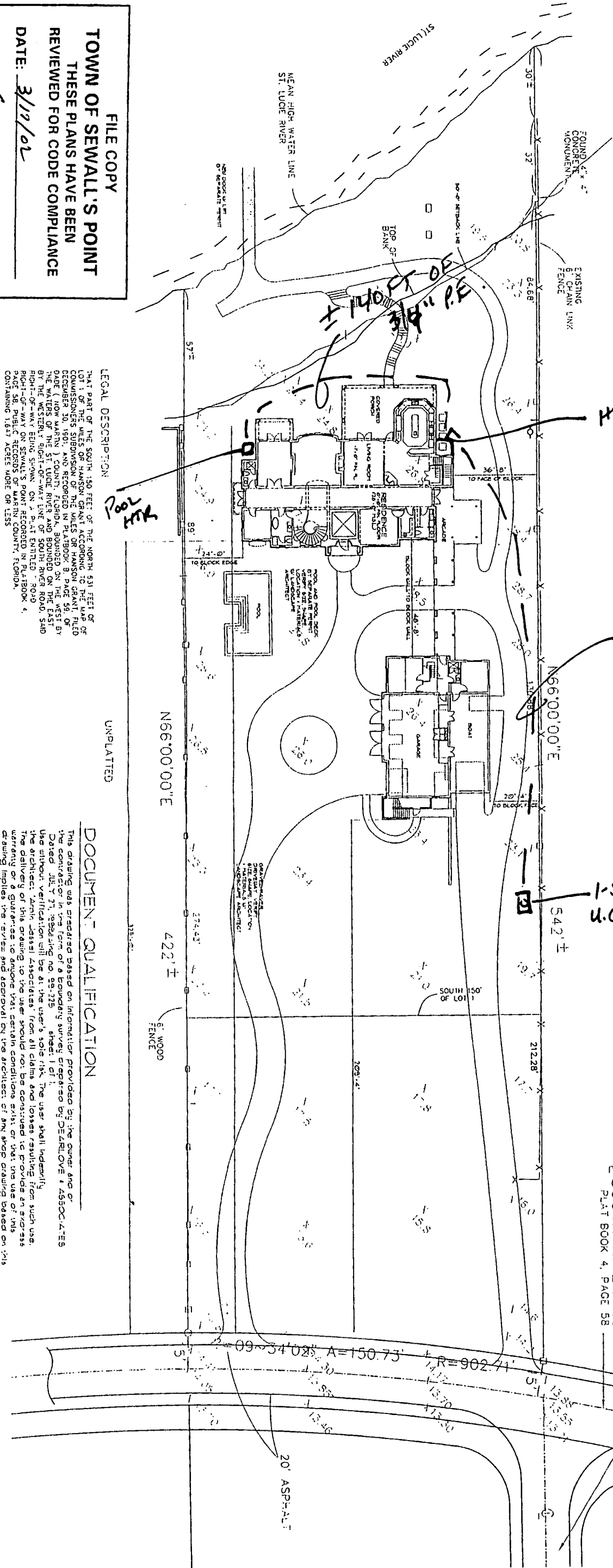
OPENING ARRANGEMENT

Applicable federal, state or local regulations may contain specific requirements for protective coatings and cathodic protection. The purchaser and installer are responsible for compliance with such federal, state or local regulations.

All vessel dimensions are approximate.

WATER CAPACITY	OUTSIDE DIAMETER	HEAD TYPE	OVERALL LENGTH	OVERALL HEIGHT W/ LID & SHROUD ASSEMBLY		LEG WIDTH	LEG SPACING	WEIGHT	QUANTITY IN FULL LOAD
				8"	18"				
120 wg. 454.2 L	24" 609.6 mm	Ellip	5'-5 7/8" 1671.6 mm	3'-0 1/4" 919.2 mm	3'-10 1/4" 1122.4 mm	10 1/8" 257.2 mm	3'-0" 914.4 mm	245 lbs. 111.1 kg	96
150 wg. 567.8 L	24" 609.6 mm	Ellip	6'-9 1/2" 2070.1 mm	3'-0 1/4" 919.2 mm	3'-10 1/4" 1122.4 mm	10 1/8" 257.2 mm	4'-7" 1397.0 mm	292 lbs. 132.4 kg	72
250 wg. 946.3 L	31.5" 800.1 mm	Hemi	7'-2 1/2" 2197.1 mm	3'-9 3/4" 1109.7 mm	4'-5 3/4" 1363.7 mm	12 3/4" 323.9 mm	3'-6" 1066.8 mm	472 lbs. 214.1 kg	54
320 wg. 1211.2 L	31.5" 800.1 mm	Hemi	8'-11 3/4" 2736.9 mm	3'-9 3/4" 1109.7 mm	4'-5 3/4" 1363.7 mm	12 3/4" 323.9 mm	4'-0 1/4" 1225.6 mm	588 lbs. 266.7 kg	45
500 wg. 1892.5 L	37.42" 950.5 mm	Hemi	9'-10" 2997.2 mm	4'-1 5/8" 1260.5 mm	4'-11 5/8" 1514.5 mm	15" 381.0 mm	5'-0" 1524.0 mm	871 lbs. 395.1 kg	30
1,000 wg. 3785.0 L	40.96" 1040.4 mm	Hemi	15'-10 7/8" 4846.6 mm	4'-5 3/4" 1351.0 mm	5'-3 1/4" 1605.0 mm	16 1/4" 412.8 mm	9'-0" 2743.2 mm	1729 lbs. 784.3 kg	15

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
 DATE: 3/19/02
BUILDING OFFICIAL
 Gene Simmons



LEGAL DESCRIPTION
 THAT PART OF THE SOUTH 150 FEET OF THE NORTH 531 FEET OF LOT 1 OF THE MILES OR HANSON GRANT ACCORDING TO THE MAP OF COMMISSIONER'S SUBDIVISION OF THE MILES OR HANSON GRANT, FILED DECEMBER 30, 1901, AND RECORDED IN PLATBOOK 8, PAGE 59, OF DADE (NOW MARTIN) COUNTY, FLORIDA, BOUNDED ON THE WEST BY THE WATERS OF THE ST. LUCIE RIVER AND BOUNDED ON THE EAST BY THE WESTERLY RIGHT-OF-WAY LINE OF ENTERED ROAD RIGHT-OF-WAY BEING STANLEY POINT RECORDED IN PLATBOOK 4, PAGE 58, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA, CONTAINING 1.647 ACRES MORE OR LESS.

UNPLATTED

DOCUMENT QUALIFICATION

This drawing was created based on information provided by the owner and/or the contractor in the form of a boundary survey prepared by DEARLOVE & ASSOCIATES Dated July 27, 2002, sheet 1 of 1. Use without verification will be at the user's sole risk. The user shall indemnify the architect, architect's associates, from all claims and losses resulting from such use. The delivery of this drawing to the user should not be construed to provide an express warranty or a guarantee to anyone that certain conditions exist or that the use of this information implies the review and approval by the architect of any work drawing based on this information, use of it's data, or the way it's used and arising from existing requirements imposed by contract, or other means.

HSE STUB #1
 2ND STG REG

± 180 FT OF
 3/4" P.E.

1-500 GAL
 U.G. TANK

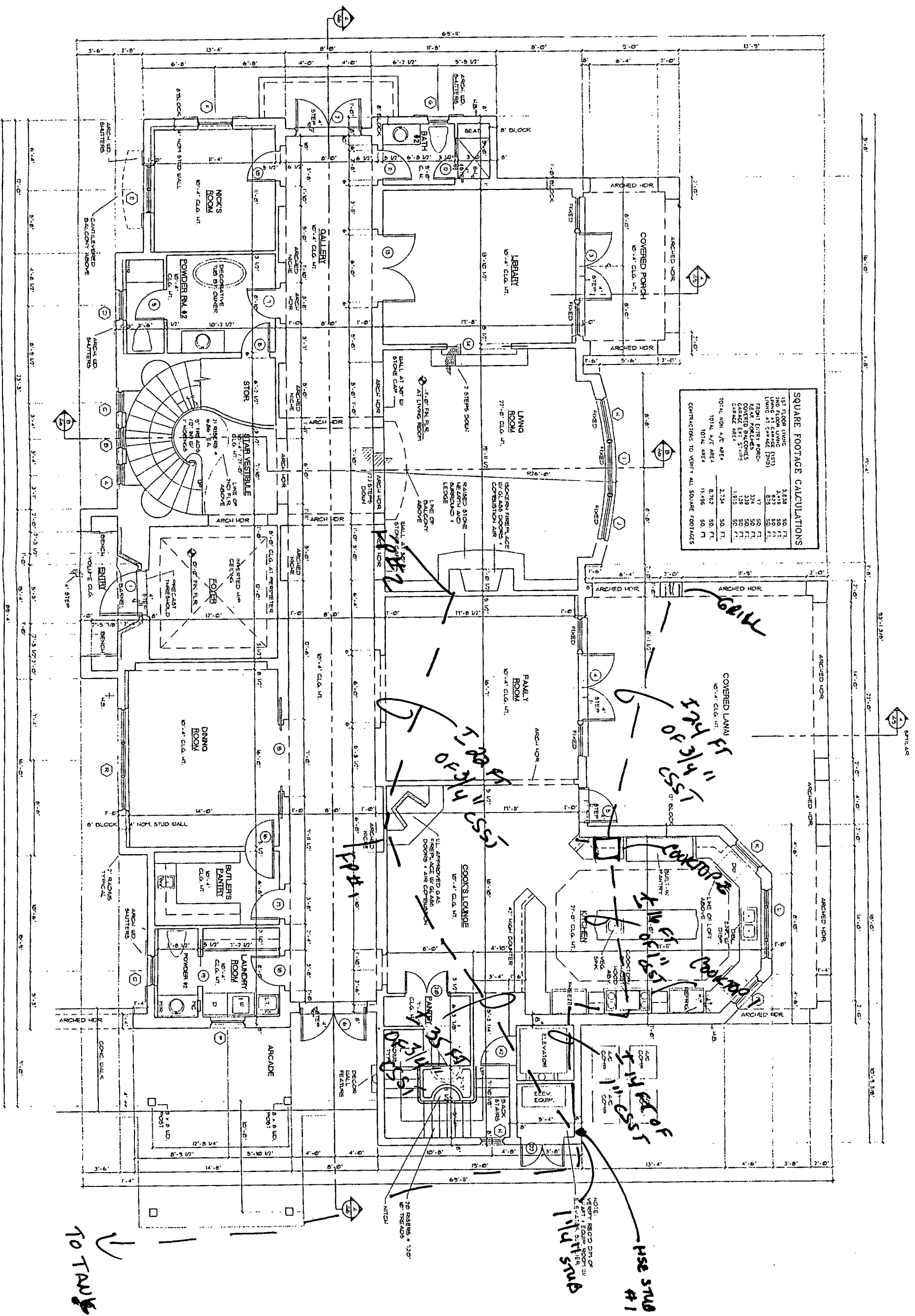
- SITE NOTES**
1. VERIFY LOCATION OF UTILITIES BEFORE PROCEEDING WITH WORK.
 2. MAIL BOX TO BE PROVIDED.
 3. DRAINAGE TO BE INDICATED ON SITE LANDSCAPE PLAN.
 4. CONNECTION INSPECTION OF UTILITIES REQUIRED PRIOR TO BACKFILL.
 5. CONTRACTOR TO HAVE CERTIFIED FLORIDA SURVEYOR LAY OUT BUILDING ON LOT TO ASSURE THAT NO SETBACKS OR EASEMENTS ARE ENCRONCHED.
 6. CONTRACTOR SHALL PROVIDE ALL BRICK 1557' DENUDER AND REPAK SOIL AS SPECIFIED.

11" W.C. DEC PRESS
 BTUIS

Pool HTR	400.000
COOLTOP-2	120.000
FIREPL(2)	120.000
60,000 EA	
GRU	60.000

Q SOUTH RIVER ROAD
 PLAT BOOK 4, PAGE 58
 KINGSTON COURT

<p>SMITH RESIDENCE SOUTH RIVER ROAD SEWALL'S POINT MARTIN COUNTY, FLORIDA</p>	<p>REVISIONS</p> <p>DESIGNER: J. Smith CHECKED: J. Smith DATE: 5/24/02</p>	<p>CONSULTANT:</p>	<p>DRWN BY: W.A.M. CHKO BY: W.A.M. SEAL</p>	<p>WESSIEL ASSOCIATES AIA 900 South U.S. Highway One, Suite 104 Jupiter, FL 33477 • www.Wessiel.com Ph: (561)747-4950 • Fax: (561)747-4184 A Division of Peacock & Lewis Architects and Planners AAC 000020</p>
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SQUARE FOOTAGE CALCULATIONS

1ST FLOOR LIVING	3,438	50	FT.
2ND FLOOR LIVING	3,419	50	FT.
Living at Garage (1ST)	827	50	FT.
Living at Garage (2ND)	827	50	FT.
FRONT PORCH	50	50	FT.
COVERED BALCONIES	374	50	FT.
Garage 1st Stairs	339	50	FT.
Garage 2nd Stairs	1,925	50	FT.
Garage 3rd Stairs	1,925	50	FT.
TOTAL NON A/C AREA	2,794	50	FT.
TOTAL A/C AREA	8,762	50	FT.
TOTAL AREA	11,496	50	FT.

CONTRACTORS TO VERIFY ALL SQUARE FOOTAGES

TO TAVER

USE STUD #1
1 1/2" SUB

Licensed

Insured

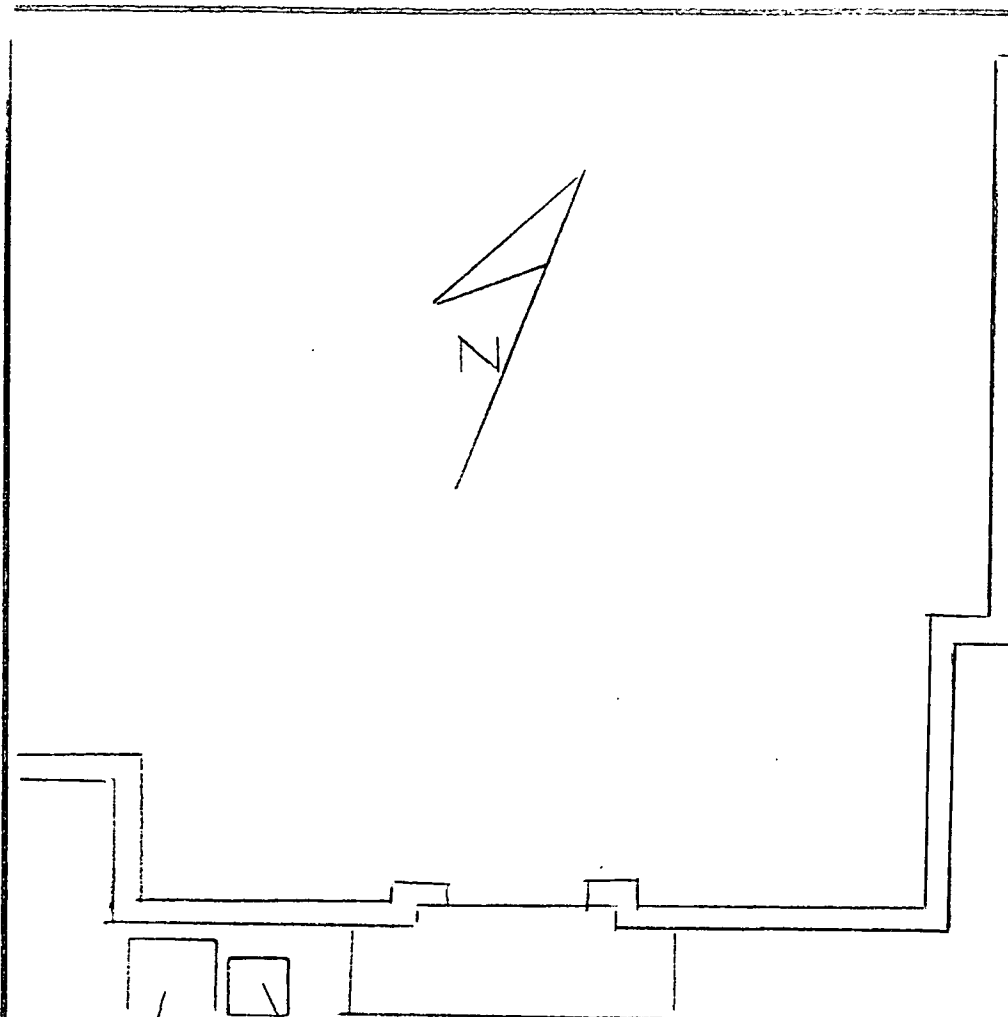


Janero Construction & Services Inc.

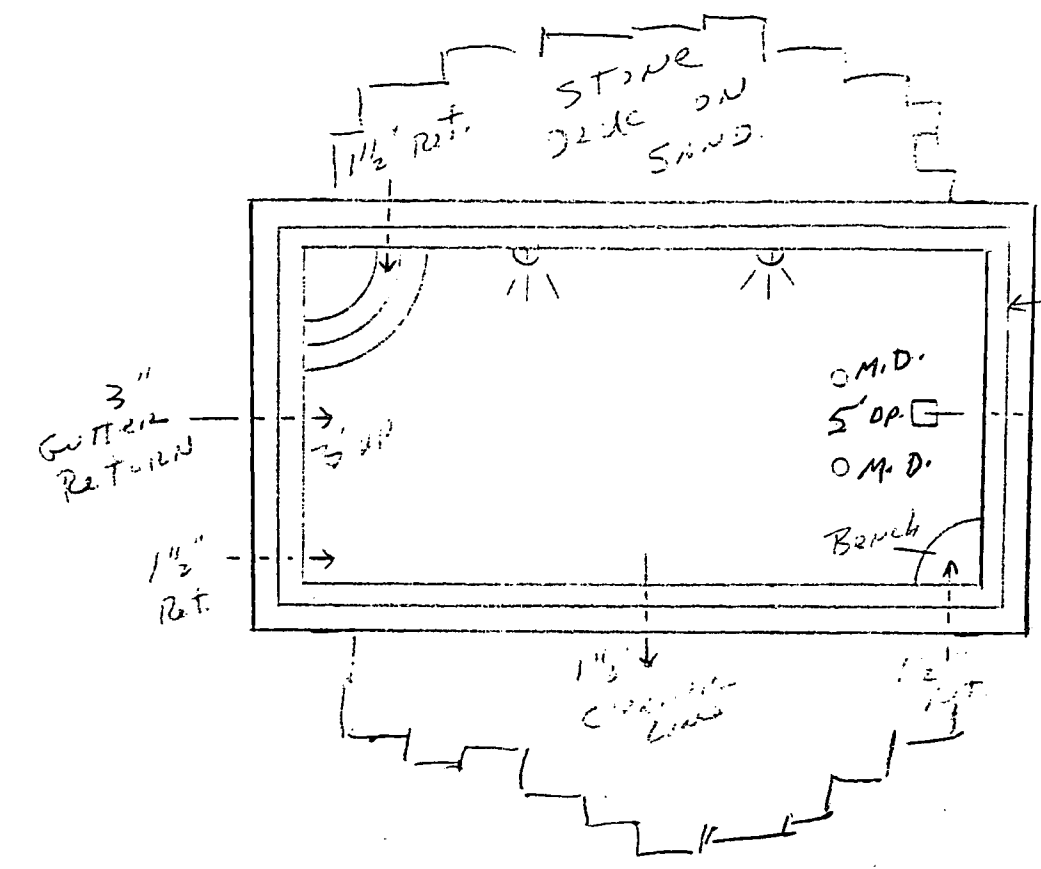
General Contractors
Estate Pools & Spas
Custom Designs

15649 87th Trail, N.
Palm Beach Gardens, FL 33418

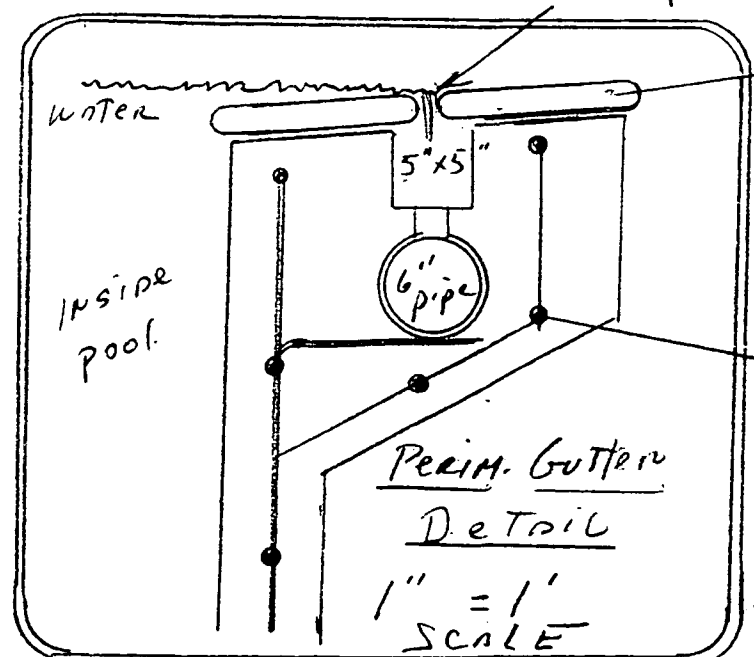
President
CHRIS JANERO
407-575-3227



Pool Equipmt.
250 Gal Collector Tank



PERIMETER
GUTTER SYSTEM
TO COLLECTOR TANK
6" M.D. (GRAVITY FEED)
TO COLLECTOR TANK



#3
Re-Bar
on 12" centers
vert. + Horiz.

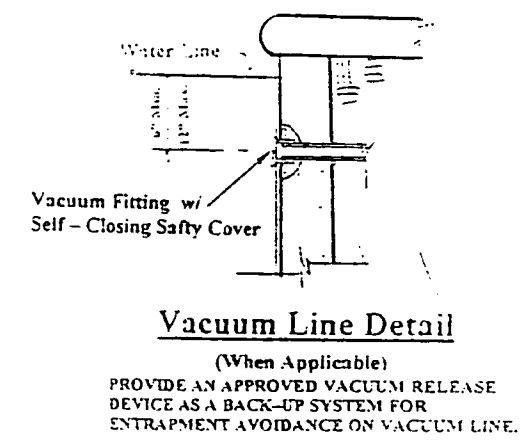
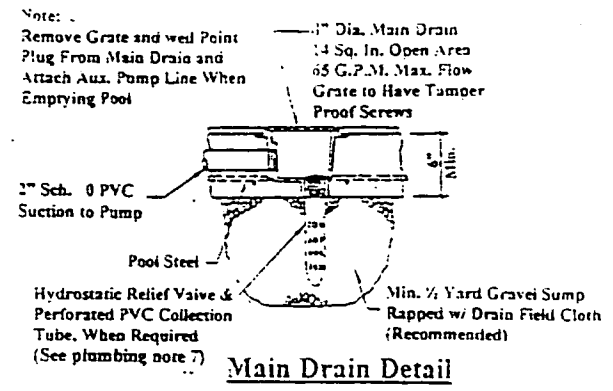
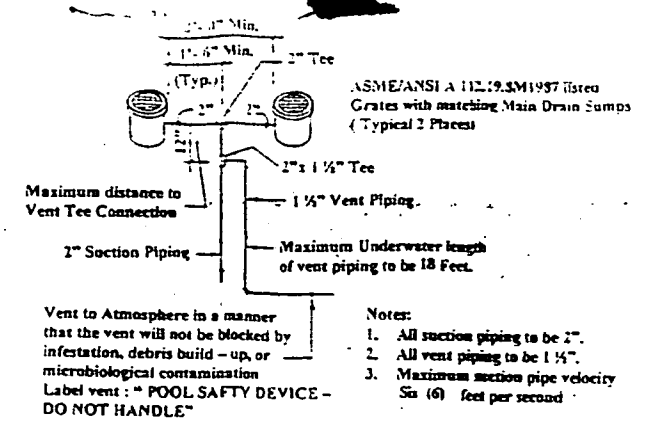
Perim. Gutter
Detail
1" = 1'
SCALE

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 8/6/02
BUILDING OFFICIAL
Gene Simmons

MACARI BLDG. + DESIGN FOR: NICK SMITH		
SCALE: 1/2" = 1'	APPROVED BY:	DRAWN BY WJ
DATE: 7-2-02		REVISED
133 South River Rd Sewalls Point		
		DRAWING NUMBER 24 / 392

PLUMBING NOTES :

1. ALL PIPING, EQUIPMENT AND MATERIALS USED IN THE PLUMBING SYSTEM OF SWIMMING POOLS THAT ARE BUILT IN PLACE SHALL CONFORM TO THE FLORIDA BUILDING CODE, PLUMBING.
2. POOL PIPING SHALL BE DESIGNED SO THE WATER VELOCITY WILL NOT EXCEED 10 FEET PER SECOND.
3. VALVES SHALL BE MADE OF MATERIALS THAT ARE APPROVED IN THE FLORIDA BUILDING CODE, PLUMBING. VALVES LOCATED UNDER CONCRETE SLABS SHALL BE SET IN A PIT HAVING AT LEAST A DIMENSION OF FIVE DIAMETERS WITH A MINIMUM OF AT LEAST 10 INCHES AND FITTED WITH A SUITABLE COVER. ALL VALVES SHALL BE LOCATED WHERE THEY WILL BE READILY ACCESSIBLE FOR MAINTENANCE AND REMOVAL.
4. WHERE CHECK VALVES ARE INSTALLED, THEY SHALL BE OF THE SWING OR VERTICAL CHECK PATTERN.
5. ALL HEATERS SHALL BE EQUIPPED WITH AN APPROVED PERMANENT BY-PASS OR ANTI-SIPHON DEVICE INSTALLED TO PROVIDE A POSITIVE MEANS OF RETAINING WATER IN THE HEATER WHEN THE PUMP IS NOT IN OPERATION.
6. ALL POOL PIPING SHALL BE 1 1/2" SCH. 40 PVC. EXCEPT AS SHOWN AND SHALL BEAR THE HSP SEAL OF APPROVAL.
7. THIS POOL IS DESIGNED TO WITHSTAND HYDROSTATIC UPLIFT FORCES WHEN EMPTY, FOR WATER TABLE UP TO 3'-0" BELOW POOL DECK ELEVATION. HOWEVER, DUE TO SEASONAL VARIATIONS IN WATER TABLE ELEVATIONS, ALL POOLS TO BE FITTED WITH A HYDRO-STATIC RELIEF VALVE.
8. WATER SUPPLY AND DISPOSAL SHALL BE ARRANGED SO THERE IS NO CROSS SUCTION WITH A DOMESTIC WATER SUPPLY OF WATER DISPOSAL.



APPROVED SWIMMING POOL, SPA AND WADING POOL DUAL MAIN DRAIN ATMOSPHERIC VENT ARRANGEMENT FOR COMPLIANCE WITH 424.2.6.6 OF THE FLORIDA BUILDING CODE.

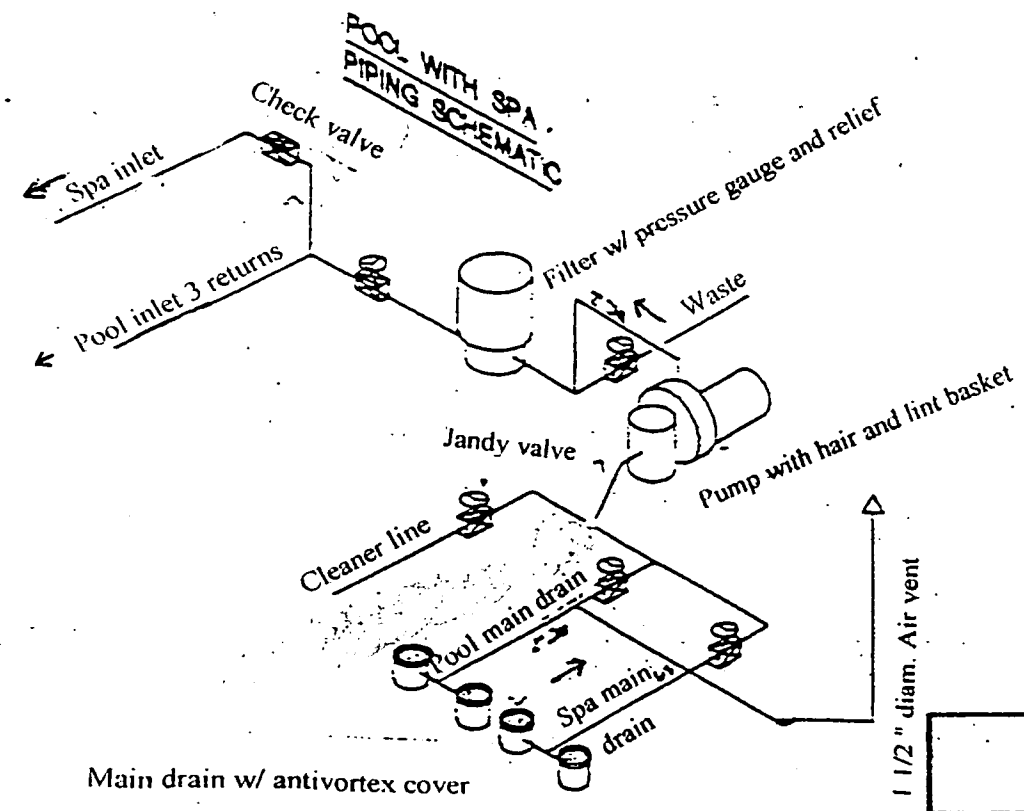
ATMOSPHERIC VENT CALCULATION
Max. of 18' of underwater length in vent piping for entrapment release in 3 seconds @ 6 F.P.S.
water velocity :
Time = Distance / Velocity
3 Seconds = 18 Feet / 6 Feet per Second

FLOW THRU SCHEDULE 40 PVC PIPE

PIPE SIZE	VELOCITY - FEET PER SECOND				
	6 FPS	7 FPS	8 FPS	9 FPS	10 FPS
1"	16 GPM	18 GPM	21 GPM	23 GPM	26 GPM
1.5"	37 GPM	43 GPM	50 GPM	56 GPM	62 GPM
2"	62 GPM	72 GPM	82 GPM	92 GPM	103 GPM
2.5"	88 GPM	102 GPM	117 GPM	131 GPM	146 GPM
3"	136 GPM	159 GPM	181 GPM	203 GPM	227 GPM

- PLUMBING SCHEDULE - PVC**
- MAIN DRAINS - 2" SCH. 40 (SCH. 80 IF REQUIRED)
 - VENT LINE 1 1/2" SCH. 40 (SCH. 80 IF REQUIRED)
 - SKIMMERS 1 1/2 SCH. 40
 - POOL RETURNS - 1 1/2" SCH. 40
 - CLEANER LINE - 1 1/2" SCH. 40
 - SPA MAIN DRAINS - 2" SCH. 40 (SCH. 80 IF REQUIRED)
 - VENT LINE 1 1/2" SCH. 40 (SCH. 80 IF REQUIRED)
 - SPA THERAPY - 2" SCH. 40
 - SPA AIR - 2" SCH. 40
 - PNEUMATIC AIR HOSE LINE - 1" SCH. 40
 - LIGHTS - 1" ELECTRONIC CONDUIT
 - FILL LINE 1/2" SCH. 40

- POOL SPECIFICATIONS**
- SIZE - 14 FT. X 28 FT.
 - MINIMUM DEPTH - 3 FT.
 - MAXIMUM DEPTH - 5 FT.
 - POOL CAPACITY - 11,800 GALLONS
 - PUMP - ONE HP.
 - FLOW RATE - 45 GPM
 - TURNOVER RATE - 5 HOURS
 - SURFACE AREA OF WATER - 392 SQ. FT.
 - NUMBER OF SKIMMERS - 6 STAR
 - PERIMETER - 84 LINEAL FEET

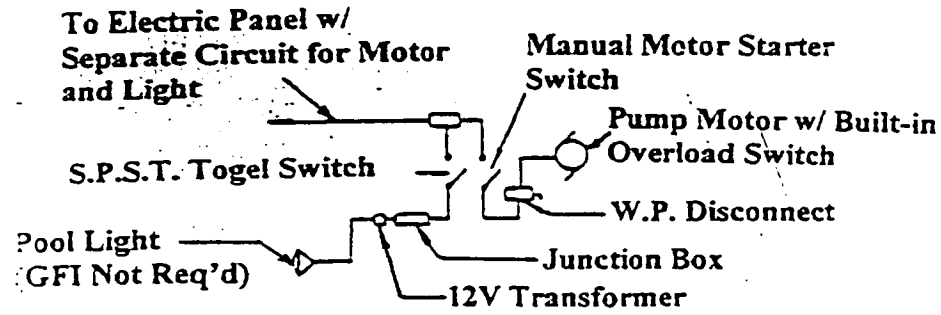


Macari Bldgs & Design
For: Nick Smith
Sewells Point

N. KHANAL, P.E.
3155 LILLIAN RD
W.P.B. FL. 33406
561-433-5361

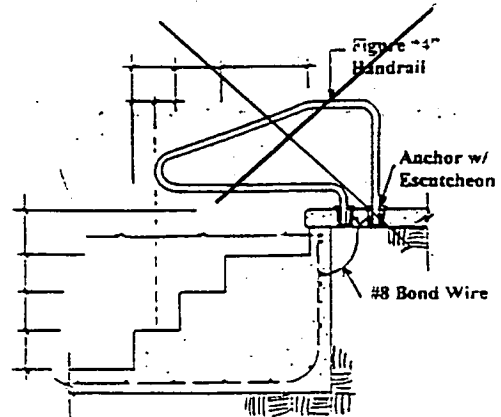
Handwritten signature and date: N. Khanal 7/3/02

*Macani Blons, + Design
For: Nick Smith
Sewels Point*

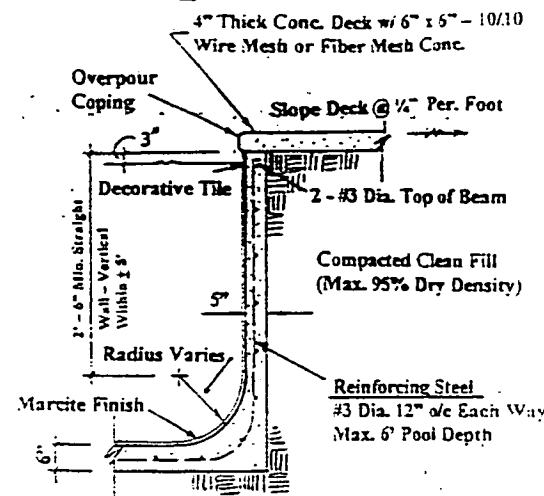


- All Electrical to Comply With 680 National Electric Code
- 3 - #12 Wire in 1/2" High Impact Sch. 40 PVC in Pool Area.
- Ground All Boxes, Lights, Motor, Ect. W/ #8 Solid, Bare Copper

Electrical Diagram



Step and Handrail Detail

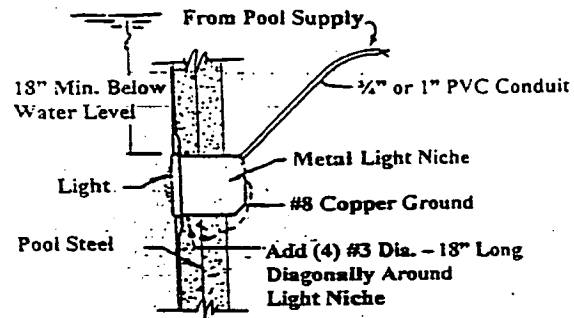


Typical Wall Section

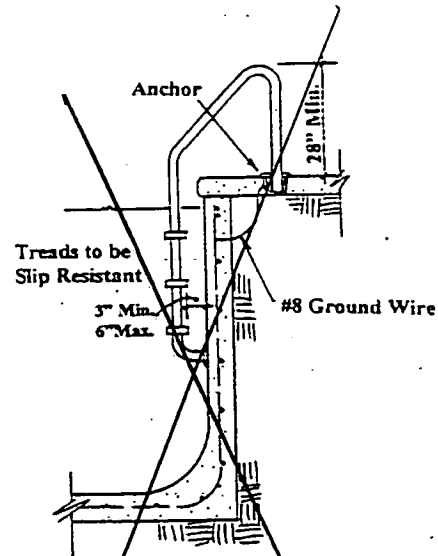
*See Detail -
Site plan sheet*

GENERAL NOTES:

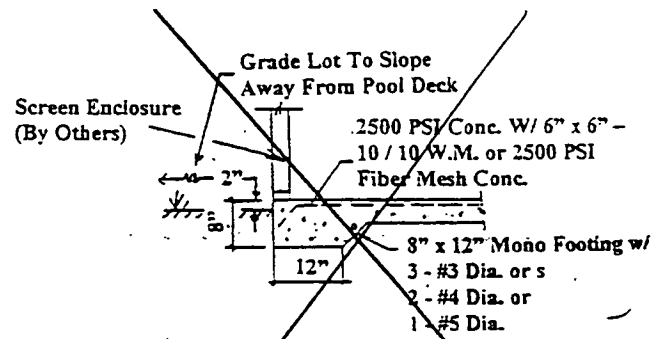
- ALL LIGHTS, LADDERS, HANDRAILS, REINFORCING STEEL ETC. TO BE GROUNDED PER CODE.
- POOL TO BE OF CONCRETE/GUNITE CONSTRUCTION WITH A MIN. COMPRESSIVE STRENGTH OF 3000 PSL AT 20 DAYS.
- ALL REINFORCING STEEL SHALL BE INTERMEDIATE GRADE DEFORMED BARS OF NEW BILLET STEEL, CONFORMING TO ASTM-A615, GRADE 40, STEEL SHALL BE BENT, LAPPED AND PLACED IN ACCORDANCE WITH ACI STANDARDS.
- GRATE IN MAIN DRAIN SHALL HAVE A FREE AREA OF 4 TIMES THE AREA OF THE SUCTION LINE.
- STEP TO HAVE 10" MIN. TREAD AND 12" MAX. RISER.
- POOL TO BE FENCED PER LOCAL CODE, GATES TO BE SELF-CLOSING AND SELF-LATCHING.
- DESIGN CONFORMS WITH ANSI/NSPI - 5, STANDARD FOR RESIDENTIAL SWIMMING POOLS, PUBLISHED BY THE NATIONAL POOL AND SPA INSTITUTE, OR OTHER ACCEPTED ENGINEERING PRACTICES.



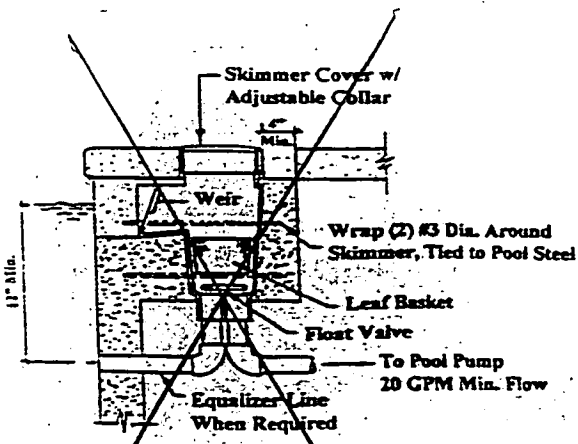
Light Detail



3 Tread Ladder Detail
(When Applicable)

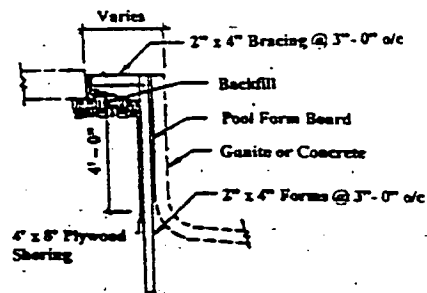


Footing For Screen Enclosure
(When Applicable)

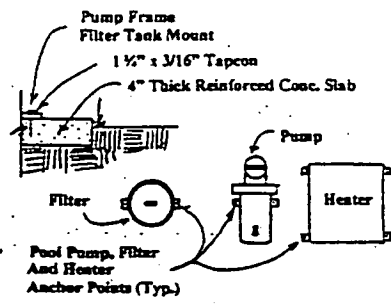


Skimmer Detail

*See Perim.
Gutter Detail*

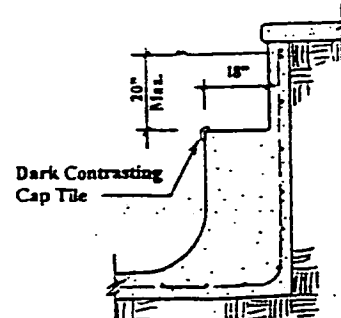


Shoring Detail
Required When Watertime of Pool Is Less Than 5' - 0" From Existing Structure



Notes: Anchor Bolts Through Base (1 1/2" x 3/16" Tapcons) for Pool Pump & Filter

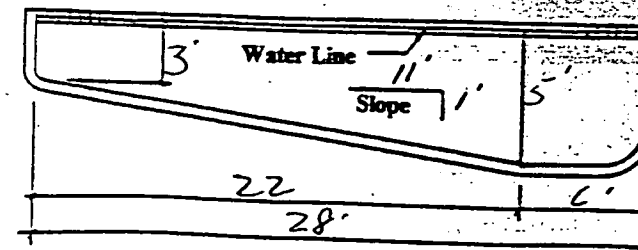
Pool Equipment Anchoring



Bench Section
(When Applicable)

NOTE : ONE OF THE FOLLOWING POOL SAFETY FEATURE OPTIONS MUST BE PROVIDED:

- THE POOL MUST BE ISOLATED FROM ACCESS TO A HOME BY AN ENCLOSURE THAT MEETS THE POOL BARRIER REQUIREMENTS OF 424.2.17 OF THE FLORIDA BUILDING CODE.
- THE POOL MUST BE EQUIPPED WITH AN APPROVED SAFETY POOL COVER.
- ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL MUST BE EQUIPPED WITH AN EXIT ALARM THAT HAS A MINIMUM SOUND PRESSURE RATING OF 85db A AT 10 FEET OR;
- ALL DOORS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL MUST BE EQUIPPED WITH A SELF-CLOSING, SELF-LATCHING DEVICE WITH A RELEASE MECHANISM PLACED NO LOWER THAN 54 INCHES ABOVE THE FLOOR.



Pool Section
Type "O" Pool

Handwritten signature and date: 10/23/02

N. KHANAL, P.E.
3155 LILLIAN RD
W.P.B. FL. 33406
561-433-5361

JOB SITE

LOCATION MAP NOT TO SCALE

LEGEND:
- CONCRETE
- BRICK WALLS

PROPERTY SHOWN HEREON IS SUBJECT TO THE ASSUMED RATE
FLOOD ZONES AS SHOWN ON THE MAPS OF THE
COUNTY PLANNING DEPARTMENT AS OF 11/23/07
BASE ELEVATION = 9.5

DESCRIPTION
THAT PART OF THE SOUTH 150 FEET OF THE NORTH 6.31 FEET
OF LOT 1 OF THE WALES OR HANSON GRANT, ACCORDING TO
THE MAP OF COMMISSIONERS SUBDIVISION OF THE WALES OR
HANSON GRANT, FILED DECEMBER 30, 1901, AND RECORDED IN
PLAT BOOK 81, PAGE 58, PUBLIC RECORDS OF DADE (NORF. MARTIN)
COUNTY, FLORIDA, BORDERED ON THE WEST BY THE WATER
WAY, WESTERLY RIGHT-OF-WAY LIKE OF SLODRY BRUSH ROAD, THE
EASTERLY RIGHT-OF-WAY BEING SHOWN ON A PLAT ENTITLED "ROAD
RIGHT-OF-WAY ON SEWELL'S POINT" RECORDED IN PLAT BOOK A
PAGE 58, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA,
CONTAINING 1,647 ACRES MORE OR LESS.

FILE COPY
TOWN OF SEWELL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 9-27-06
BUILDING OFFICIAL
[Signature]

IMPORTANT NOTICE

ALL CONSTRUCTION IN MARTIN COUNTY MUST MEET CODE.
Failure to provide complete specifications and construction details in
the building plans does not relieve the building designer and permit
holder from responsibility for compliance with the applicable sections
and editions of the following:

- 1 The Florida Building Code 2004 - Building
- 2 The Florida Building Code 2004 - Residential
- 3 The Florida Building Code 2004 - Existing Building
- 4 The Florida Building Code 2004 - Plumbing
- 5 The Florida Building Code 2004 - Mechanical
- 6 The Florida Building Code 2004 - Fuel Gas
- 7 The Florida Fire Prevention Code - 2004
- 8 National Electrical Code (NFPA 70 & 70A)

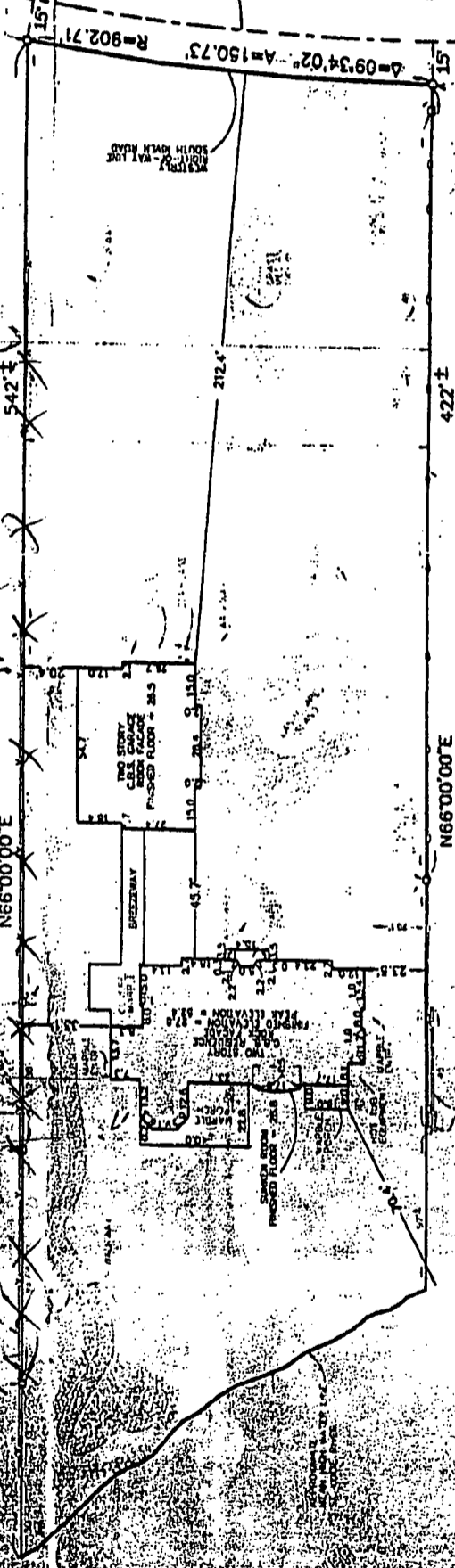
SOUTH RIVER ROAD
Martin County, Florida
Florida National Board of Insurance
Martin County Building Dept. in St. Johns
Plan Review #288-5489.

REVIEWED FOR CODE COMPLIANCE: 7/28/04 Date

USB TO SET BACK

USB

USB



Boundary Survey & Site Plan

Prepared For:
MICHAEL BUILDING & DESIGN, INC. S.W.F.D.

Scale: 1/4\"/>

Dearlove & Asso.
LAND SURVEYOR
100 S. OLD BLUE HWY.
ARROYO, FLORIDA 32909
TEL: 386-890-0100
FAX: 386-890-0100



TABLE 402(32) — LP-GAS
 MAXIMUM CAPACITY OF POLYETHYLENE PLASTIC IN THOUSANDS OF Btu PER HOUR
 FOR GAS PRESSURE OF 10 psi AND A PRESSURE DROP OF 1 psi

SIZING BETWEEN FIRST STAGE (HIGH PRESSURE REGULATOR) AND SECOND STAGE (LOW PRESSURE REGULATOR)
 (BASED ON A 1.52 SPECIFIC GRAVITY GAS)

Plastic Pipe Length (Feet)	Plastic pipe nominal outside diameter (IPS) (dimensions in parenthesis are inside diameter)					
	1/2 inch SDR 9.33 (0.660)	3/4 inch SDR 11.0 (0.860)	1 inch SDR 11.00 (1.077)	1 1/4 inch SDR 10.00 (1.328)	1 1/2 inch SDR 11.00 (1.554)	2 inch SDR 11.00 (1.943)
30	2143	4292	7744	13416	20260	36402
40	1835	3673	6628	11482	17340	31155
50	1626	3256	5874	10176	15368	27612
60	1473	2950	5322	9220	13924	25019
70	1355	2714	4896	8483	12810	23017
80	1261	2525	4555	7891	11918	21413
90	1183	2369	4274	7404	11182	20091
100	1117	2238	4037	6994	10562	18978
125	990	1983	3578	6199	9361	16820
150	897	1797	3242	5616	8482	15240
175	826	1653	2983	5167	7803	14020
200	678	1539	2775	4807	7259	13043
225	721	1443	2603	4510	6811	12238
250	681	1363	2459	4260	6434	11560
275	646	1294	2336	4046	6111	10979
300	617	1235	2228	3860	5830	10474
350	567	1136	2050	3551	5363	9636
400	528	1057	1907	3304	4989	8965
450	495	992	1789	3100	4681	8411
500	468	937	1690	2928	4422	7945
600	424	849	1531	2653	4007	7199
700	390	781	1409	2441	3686	6623
800	363	726	1311	2271	3429	6161
900	340	682	1230	2131	3217	5781
1000	322	644	1162	2012	3039	5461
1500	258	517	933	1616	2441	4385
2000	221	443	798	1383	2089	3753

Table P-1 Propane Low Pressure (Standard)

**Maximum Capacity of Omega Flex TracPipe™
in Thousands of BTU per Hour Propane Gas**

Gas Pressure: 11 in. W.C.

Pressure Drop: 0.5 in. W.C. (based on a 1.52 Specific Gravity Gas)

Size (EHD)	TUBING LENGTH (FEET)																	
	5	10	15	20	25	30	40	50	60	70	80	90	100	150	200	250	300	
3/8"	15	99	69	55	49	42	39	33	30	26	25	23	22	20	15	14	12	11
1/2"	19	211	150	121	106	94	87	74	66	60	57	52	50	47	36	33	30	26
3/4"	25	456	325	267	232	209	191	166	149	136	126	118	112	106	87	76	68	62
1"	31	863	605	490	425	379	344	297	265	241	222	208	197	186	143	129	117	107
1-1/4"	37	1424	971	775	661	583	528	449	397	359	330	307	286	270	217	183	163	147
1-1/2"	46	2830	1993	1623	1404	1254	1143	988	884	805	745	696	656	621	506	438	390	357
2"	62	6547	4638	3791	3285	2940	2684	2327	2082	1902	1761	1647	1554	1475	1205	1045	934	854

see notes below*

EHD (Effective Hydraulic Diameter) A relative measure of Low Capacity; This number is used to compare individual sizes between different manufacturers. The higher the EHD number the greater flow capacity of the piping.

40

Table P-2 Propane Medium Pressure

**Maximum Capacity of Omega Flex TracPipe
in Thousands of BTU per Hour Propane Gas**

Gas Pressure: 1/2 psi (12-14 in. W. C.)

Pressure Drop: 2.5 in. W. C. (based on a 1.52 Specific Gravity Gas)

Size (EHD)	TUBING LENGTH (FEET)																	
	5	10	15	20	25	30	40	50	60	70	80	90	100	150	200	250	300	
3/8"	15	222	159	131	114	102	93	81	73	67	62	58	55	52	43	37	33	30
1/2"	19	491	353	290	254	228	209	182	164	150	140	131	124	118	97	85	76	70
3/4"	25	1094	782	642	559	501	459	399	358	328	304	285	269	256	210	183	164	136
1"	31	2512	1863	1720	1343	1106	976	883	825	771	719	673	632	596	470	398	352	320
1-1/4"	37	3476	2368	1891	1612	1424	1288	1099	971	877	805	748	700	661	528	449	397	359
1-1/2"	46	6383	4496	3663	3168	2830	2580	2230	1993	1818	1682	1571	1481	1404	1143	988	884	805
2"	62	14586	10330	8443	7317	6547	5980	5183	4638	4236	3923	3671	3462	3285	2684	2327	2082	1902

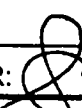
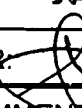
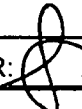
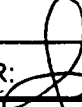
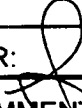
NOTES: Tables above include losses for four 90-degree bends and two end fittings. Tubing runs with larger numbers of bends and/or fittings shall be increased by an equivalent length of tubing to the following equation: $L=1.3n$ where L is additional length of tubing and n is the number of additional fittings and/or bends.



TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: ^{Tues} ~~Mon~~ Wed Fri MAY 28, 2001; ² Page of .






PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5022	SMITH.	ROUGH PLUMB.	Passed	
	133 S RIVER RD.	ROUGH ELEC.	Passed	
	M'CARLY	ROUGH MECH.	Passed	INSPECTOR: 
5805	ALLMAN	SHUTTERS	Passed	UPST = impact
	3 SUMMER LN.			rear both = steel door
	HYERS			INSPECTOR: 
5714	Romano	Rough	Passed	
	21 Simons St	Plumbing		
	O/B			INSPECTOR: 
5721	SMITH	ROUGH GAS	Passed	
	133 S. RIVER RD.			
	TREASURY	747 9396		INSPECTOR: 
5761	LANEAD.	ROUGH PLUMBING	Passed	PVC through block??
	7 W. HIGH POINT RD			
		661 971 2141		INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: Silt Screen: 11. Permissible / 133 Spine

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri Aug 21, 2001; Page 3 of 3.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5689	HENDERSON	INSULATION	Passed	
(15)	24 ISLAND RD BUFFORD			INSPECTOR: 
5631	HARTE	INSULATION	Passed	
(12)	61 S. RIVER RD. WANCHIP	Garage + Bathre		INSPECTOR: 
5195	PANTON	PRE POUR DRIVE.	Passed	→ 39% = scale !!
(14)	17 ISLAND RD. DUNNE	260 6364		INSPECTOR: 
5221	SMITH	UNDERGROUND GAS	Passed	
(13)	133 S. RIVER RD. TREASURE COAST			INSPECTOR: 
TREE	KNUSON	TR		Not specified
	13 VIA Lucindia S.			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____

5906

POOL

RENEWAL: 8-11-03 to 8-11-04 \$240.00 on 2/25/04

C

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 8-14-02

BUILDING PERMIT NO. 5906

Building to be erected for NICK SMITH

Type of Permit POOL

Applied for by JANERO CONSTRUCTION & SERVICES (Contractor)

Building Fee 270.00

Subdivision HANSON GRANT Lot 1 Block _____

Radon Fee _____

Address 133 S. RIVER RD

Impact Fee _____

Type of structure SFR

A/C Fee _____

Electrical Fee _____

Parcel Control Number:

Plumbing Fee _____

1338410000000003010000

Roofing Fee _____

Amount Paid 264.00 Check # 20956 Cash _____

Other Fees (Hand Rev) 24.00

Total Construction Cost \$ 28,000.00

TOTAL Fees 364.00

Signed Paul Selthoff

Signed Lena Simmons (NPR)

Applicant

Town Building Official

JANERO CONSTRUCTION & SERVICES, INC.
15649 - 87TH TRAIL NORTH
PALM BEACH GARDENS, FL 33418
561-575-3227

FIDELITY FEDERAL BANK & TRUST
SAVINGS BANK OF FLORIDA
WEST PALM BEACH, FL 33401
63-8735/2670

16114

Feb 25, 2004 *****\$240.00*
DATE AMOUNT

Two Hundred Forty and 0/100 Dollars

AY
O THE
RDER
F Sewalls Point

[Signature]

TOWN OF SEWALL'S POINT

Date 8-14-02 BUILDING PERMIT NO. 5906

Building to be erected for Nick Smith Type of Permit Pool

Applied for by JANERO CONSTRUCTION + SOES (Contractor) Building Fee 240.00

Subdivision Hanson Grant Lot 1 Block _____ Radon Fee _____

Address 133 S. River Rd Impact Fee _____

Type of structure SFR A/C Fee _____

Parcel Control Number: _____ Electrical Fee _____

1338410000000003010000 Plumbing Fee _____

Amount Paid 264.00 Check # 20986 Cash _____ Other Fees (Plan Rev) 24.00

Total Construction Cost \$ 28,000.00 TOTAL Fees 264.00

Signed Paul Bellizzi Applicant Signed Gene Simmons (RPR) Town Building Official

PERMIT

- | | | |
|--|--|--|
| <input type="checkbox"/> BUILDING
<input type="checkbox"/> PLUMBING
<input type="checkbox"/> DOCK/BOAT LIFT
<input type="checkbox"/> SCREEN ENCLOSURE
<input type="checkbox"/> FILL
<input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> ELECTRICAL
<input type="checkbox"/> ROOFING
<input type="checkbox"/> DEMOLITION
<input type="checkbox"/> TEMPORARY STRUCTURE
<input type="checkbox"/> HURRICANE SHUTTERS
<input type="checkbox"/> STEMWALL | <input type="checkbox"/> MECHANICAL
<input checked="" type="checkbox"/> POOL/SPA/DECK
<input type="checkbox"/> FENCE
<input type="checkbox"/> GAS
<input type="checkbox"/> RENOVATION
<input type="checkbox"/> ADDITION |
|--|--|--|

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEMWALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TRUSS ENG/WINDOW/DOOR BUCKS _____ ROOF TIN TAG/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ LATH _____ ROOF-IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ EARLY POWER RELEASE _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
--	---

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Owner or Titleholder Name: MEMBERS NICK SMITH City: North Palm Bch State: FL Zip: Building Permit Number: 5022
Legal Description of Property: Parcel Number:
Location of Job Site: 133 SO RIVER ROAD Type of Work To Be Done: POOL

CONTRACTOR/Company Name: JANERO CONSTRUCTION & SERVICES Phone Number: 561-575-3227
Street: 15649 87TH TRAIL NORTH City: P.B.C. State: FL Zip: 33418
State Registration Number: RP 0067151 State Certification Number: CEC 028614 Martin County License Number:

ARCHITECT: Phone Number:
Street: City: State: Zip:

ENGINEER: N. KHANAL Phone Number: 561-433-5361
Street: 3155 LILLIAN RD City: WPB State: FL Zip: 33406

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: Garage: Covered Patios: ScreenedPorch:
Carport: Total Under Roof Wood Deck: Accessory Building:
Type Sewage: Septic Tank Permit Number From Health Dept. Well Permit Number:

FLOOD HAZARD INFORMATION Flood Zone: Minimum Base Flood Elevation (BFE): NGVD
Proposed First Floor Habitable Floor Finished Elevation: NGVD (Minimum 1 Foot Above BFE)

COST AND VALUES Estimated Cost of Construction or Improvements: \$28,000 Estimated Fair Market Value (FMV) Prior
To Improvements: If Improvement, Is Cost Greater Than 50% Of Fair Market Value YES NO

SUBCONTRACTOR INFORMATION

Electrical: Dubai Electric State: FL License Number: ME 00476
Mechanical: State: License Number:
Plumbing: State: License Number:
Roofing: State: License Number:

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNANCE, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION

Florida Building Code (Structural, Mechanical, Plumbing, Gas) South Florida Building Code (Structural, Mechanical, Plumbing, Gas)
National Electrical Code Florida Energy Code
Florida Accessibility Code

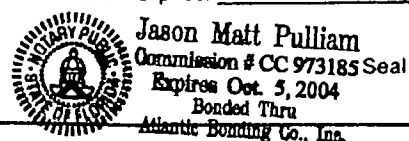
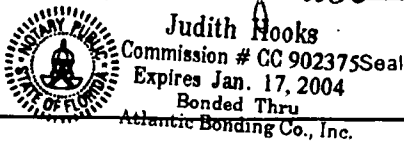
THEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (Required) Stephen Macen
State of Florida, County of: PALM BEACH
This the day of 2002
by who is personally known to me or produced as identification.

CONTRACTOR SIGNATURE (Required) Chris Jones
On State of Florida, County of: Palm Beach
This the 26 day of July 2002
by Chris Jones who is personally known to me or produced As identification.

Notary Public Judith Hooks
My Commission Expires:

Notary Public Jason Matt Pulliam
My Commission Expires:



ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
7/25/2002

PRODUCER
Samuel W. Irvine Associates
1920 Palm Beach Lakes Blvd. #101
West Palm Beach, FL 33409
561 684-0222

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED
Janero Construction & Service Inc
15649 87th Trail North
Palm Beach Gardens, FL 33418/
1575- 2337

INSURER A: Scottsdale Insurance Co.
INSURER B: Bridgefield Insurance
INSURER C:
INSURER D:
INSURER E:

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS		
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	CLS788596	10/12/01	10/12/02	EACH OCCURRENCE \$300,000		
					FIRE DAMAGE (Any one fire) \$50,000		
					MED EXP (Any one person) \$1,000		
					PERSONAL & ADV INJURY \$300,000		
					GENERAL AGGREGATE \$300,000		
					PRODUCTS - COMP/OP AGG \$300,000		
	GEN'L AGGREGATE LIMIT APPLIES PER <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJ. <input type="checkbox"/> LOC						
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$		
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY EA ACC \$ AGG \$		
	EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$		
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	WC890415	03/09/02	03/09/03	WC STATUTORY LIMITS OTH-ER E.L. EACH ACCIDENT \$100,000 E.L. DISEASE - EA EMPLOYEE \$100,000 E.L. DISEASE - POLICY LIMIT \$500,000		
	OTHER						

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

State of Florida Swimming Pool Contractor
*30 day notice of cancellation applies to work comp/10 days notice to liab.

CERTIFICATE HOLDER
Sewall
1 South Sewall's Point Rd
Stuart FL 34996

ADDITIONAL INSURED; INSURER LETTER:

CANCELLATION
SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.
AUTHORIZED REPRESENTATIVE

Mary Lou Jenkins
© ACORD CORPORATION 1988



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONST INDUSTRY LICENSING BOARD
1940 NORTH MONROE STREET
NORTHWOOD CENTRE
TALLAHASSEE FL 32399-1039

(850) 487-1395

JANERO, CHRISTOPHER T
JANERO CONSTRUCTION & SERV INC
15649 87TH TR N
PALM BEACH GARDENS FL 33418

STATE OF FLORIDA AC# 0092861
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

RP -0067151 07/19/2001 01900088

REG COMMERCIAL POOL/SPA CONTR
JANERO, CHRISTOPHER T
JANERO CONSTRUCTION & SERV INC
(INDIVIDUAL MUST MEET ALL LOCAL
LICENSING REQUIREMENTS PRIOR
TO CONTRACTING IN ANY AREA)

HAS REGISTERED under the provisions of Ch.489 FS
Expiration date: AUG 31, 2003 SEQ # 01071900662

DETACH HERE

AC# 0092861

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONST INDUSTRY LICENSING BOARD

SEQ# 01071900662

DATE	BATCH NUMBER	LICENSE NBR
07/19/2001	01900088	RP -0067151

The COMMERCIAL POOL/SPA CONTRACTOR
Named below HAS REGISTERED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2003
(INDIVIDUAL MUST MEET ALL LOCAL LICENSING REQUIREMENTS
PRIOR TO CONTRACTING IN ANY AREA)

JANERO, CHRISTOPHER T
JANERO CONSTRUCTION & SERV INC
15649 87TH TR N
PALM BEACH GARDENS FL 33418

JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

KIM BINKLEY-SEYER
SECRETARY



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONST INDUSTRY LICENSING BOARD
1940 NORTH MONROE STREET
NORTHWOOD CENTRE
TALLAHASSEE FL 32399-1039

(850) 487-1395

JANERO, CHRISTOPHER T
JANERO CONSTRUCTION & SERV INC
15649 87TH TR N
PALM BEACH GARDENS FL 33418

STATE OF FLORIDA AC# 0092861
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
RP -0067151 07/19/2001 01900088
REG COMMERCIAL POOL/SPA CONTR
JANERO, CHRISTOPHER T
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(HAS REGISTERED under the provisions of Ch.489 FS
Expiration date: AUG 31, 2003 SEQ # 01071900662)

DETACH HERE

AC# 0092861

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONST INDUSTRY LICENSING BOARD

SEQ# 01071900662

Table with 3 columns: DATE, BATCH NUMBER, LICENSE NBR. Row 1: 07/19/2001, 01900088, RP -0067151

The COMMERCIAL POOL/SPA CONTRACTOR
Named below HAS REGISTERED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2003
(INDIVIDUAL MUST MEET ALL LOCAL LICENSING REQUIREMENTS
PRIOR TO CONTRACTING IN ANY AREA)

JANERO, CHRISTOPHER T
JANERO CONSTRUCTION & SERV INC
15649 87TH TR N
PALM BEACH GARDENS FL 33418

JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

KIM BINKLEY-SEYER
SECRETARY



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONST. INDUSTRY LICENSING BOARD
7960 ARLINGTON EXPRESSWAY
STE 309
JACKSONVILLE FL 32211-7467

(904) 727-6530

JANERO, CHRISTOPHER T
JANERO CONSTRUCTION & SERV INC
15649 87TH TRAIL N
PALM BCH GONS FL 33418

STATE OF FLORIDA AC# 5896310
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
 CG -C028614 06/28/2000 99902381
 CERTIFIED GENERAL CONTRACTOR
 JANERO, CHRISTOPHER T
 JANERO CONSTRUCTION & SERV INC

IS CERTIFIED under the provisions of Ch. 489 FS
 Expiration Date: AUG 31, 2002

DETACH HERE

AC# 5896310

STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONST. INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
06/28/2000	99902381	CG -C028614

The GENERAL CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2002

JANERO, CHRISTOPHER T
JANERO CONSTRUCTION & SERV INC
15649 87TH TRAIL N
PALM BCH GONS FL 33418

JFB BUSH
GOVERNOR

CYNTHIA A. HENDERSON
SECRETARY

DISPLAY AS REQUIRED BY LAW



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONST INDUSTRY LICENSING BOARD
7260 ARLINGTON EXPRESSWAY
STE 300
JACKSONVILLE FL 32211-7467

(904) 727-6530

JANERO, CHRISTOPHER T
JANERO CONSTRUCTION & SERV INC
15649 87TH TRAIL N
PALM BCH GDNS FL 33418

STATE OF FLORIDA AC# 5896310
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
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CERTIFIED GENERAL CONTRACTOR
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DETACH HERE

AC# 5896310

STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONST INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
06/28/2000	99902381	CG -C028614

The GENERAL CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2002

JANERO, CHRISTOPHER T
JANERO CONSTRUCTION & SERV INC
15649 87TH TRAIL N
PALM BCH GDNS FL 33418

JFB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

CYNTHIA A. HENDERSON
SECRETARY

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # 5022

TAX FOLIO # 13-38-41-000-000-00030-1000

NOTICE OF COMMENCEMENT

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

SEE ATTACHED

GENERAL DESCRIPTION OF IMPROVEMENT: Construction of Pool

OWNER: MR+MRS Nicholas Smoter

ADDRESS: 107 Bow Sprout Dr. North Palm Beach, Fl.

PHONE #: 842-8025

FAX #: 844-008

CONTRACTOR: JANERO CONSTRUCTION SERVICES INC.

ADDRESS: 15649 87th TRAIL NORTH P.B.G. FL 33418

PHONE #: 561-575-3227

FAX #: 561-744-0260

SURETY COMPANY (IF ANY) N/A

ADDRESS: _____

STATE OF FLORIDA

PHONE # _____

FAX #: _____

MARTIN COUNTY

BOND AMOUNT: _____

THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.

LENDER: N/A

MARTIN COUNTY CLERK

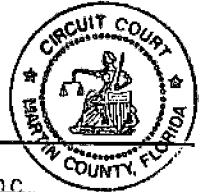
ADDRESS: _____

BY: [Signature] D.C.

PHONE #: _____

FAX #: _____

DATE 8-13-02



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: STEVE MACARI MACARI BUILDING

ADDRESS: 612 N. ORANGE AVE D-8 Jupiter Fl. 33458

PHONE #: 745-6394

FAX #: 745-9385

IN ADDITION TO HIMSELF, OWNER DESIGNATES STEVE MACARI OF MACARI BUILDING

TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: 745-0394

FAX #: 745-9385

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____

THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Stephen Macari
SIGNATURE OF OWNER / AGENT

SWORN TO AND SUBSCRIBED BEFORE ME THIS 22ND DAY OF JULY

BY 2002

PERSONALLY KNOWN
OR PRODUCED ID TYPE OF ID _____

Judith Hooks
NOTARY SIGNATURE



Judith Hooks
Commission # CC 902375
Expires Jan. 17, 2004
Bonded Thru Atlantic Bonding Co., Inc.

TOWN OF SEWALL'S POINT

RESIDENTIAL SWIMMING POOLS, SPA AND HOT TUB SAFETY ACT

AFFIDAVIT OF REQUIREMENT COMPLINACE

I (We) acknowledge that a new swimming pool, spa or hot tub has been constructed or installed at 133 S. River Road, and hereby affirm that one of the following methods has been used to meet the requirements of Chapter 515, Florida Statues.

The pool is isolated from access to the home by an enclosure that meets the pool barrier requirements of Florida Statue 515.29

The pool is equipped with an approved safety pool cover that complies with ASTM F1346-91 (Stand Performance Specification for Safety Covers for Swimming Pool, Spas, and Hot Tubs)

X All doors and windows providing direct access from the home to the pool are equipped with an exit alarm that has a minimum sound pressure rating of 85 decibels at 10 feet

All doors providing direct access from the home to the pool are equipped with self-closing, self-latching devices with release mechanisms placed no lower than 54" above the floor or deck

I understand that not having one of the above installed at the time of final inspection, or when the pool is completed for contract purposes, will constitute a violation of Chapter 515, F.S. and will be considered as committing a misdemeanor of the second degree, punishable by fines up to \$500 and/or up to 60 days in jail as established in Chapter 775, F.S.

CONTRACTOR'S SIGNATURE & DATE CHRIS J ANERO
NOTARY PUBLIC, STATE OF FLORIDA

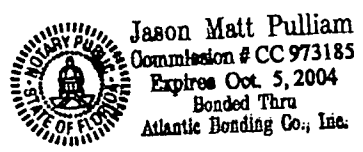
Stephen J. Macari 7/22/02
OWNER'S SIGNATURE & DATE

Judith Hooks
NOTARY PUBLIC, STATE OF FLORIDA

AS TO CONTRACTOR PERSONALLY KNOWN OR PRODUCED ID TYPE

AS TO OWNER PERSONALLY KNOWN OR PRODUCED ID TYPE

THIS FORM MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO FINAL INSPECTION



TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9-18-02, 2001; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5734	Absack-Terk	TIN TAG + Metal	Pass	
(5)	8 Morgan Circle Pacific	Roof Garage		INSPECTOR: <i>[Signature]</i>
5900	Lipschutz 53 S River Rd Palmieri	Roof in Progress		Change to Monday INSPECTOR:
5958	Granfield 15 W. High Pt Rd O/B	Roofing Felt	Pass	INSPECTOR: <i>[Signature]</i>
5916	RICA 5 BAYMAN RD. A & G Pools	Pool Deck	Pass	INSPECTOR: <i>[Signature]</i>
5906	SMITH 133 S. RIVER RD JANERL	Pool STEEL (DRAIN) Bond	Pass	INSPECTOR: <i>[Signature]</i>
5908	WILBORDING 2 PALAMA WAY WILBORDING	STEM WALL ETC.	Failed	Close to NOON (PLEASE) INSPECTOR: <i>[Signature]</i>
5734	ABESADA 8 MORGAN CONWAY	TIN TAG Garage	Pass	INSPECTOR: <i>[Signature]</i>

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road

Sewall's Point, Florida 34996

(561) 287-2455

CORRECTION NOTICE

ADDRESS: 133 S. River

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

Pool Permits
Pool Plumbing

Plumbing OK.

Perimeter Fenced: \$30.00

→ need fence board - a

pool structure survey
showing dimensions to
pool or deck

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 3/26/3

[Signature]
INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

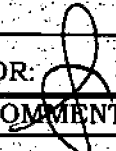

Date of Inspection: Mon Wed Fri March 20, 2002 3 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6089	STAFFORD	ROOF FINAL	Passed	
(7)	77 N. River Rd STARR			INSPECTOR: [Signature]
6038	Hess	DRY IN		
(6)	7 N. Sewall's Pt Rd TAYLOR ROOFING			INSPECTOR: [Signature]
6127	CLARK	TIE BEAM	Failed	\$ 30. -
(5)	33 FIELDWAY DR PAR ONE			INSPECTOR: [Signature]
6160	DOEDENS	FENCE	Passed	close
(3)	36 S. RIVER ROAD O/B			INSPECTOR: [Signature]
TREE	HECKENBERG	TREE	Passed	
(8)	5 NE LAGOON/SLG			INSPECTOR: [Signature]
TREE	RIZZO	TREE	Passed	
(4)	15 RIO VISTA			INSPECTOR: [Signature]
5906	SMITH	Pool Permit	Failed	\$ 30. -
(1)	133 S. RIVER DR JANEXO CONS	+ PIPING →	Passed	
OTHER:	FREUDENBERG	TIE BEAM	Passed	
(9)	10160 115 N. Sewall's Pt Rd LUIERO			INSPECTOR: [Signature]

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5-16, 2003 Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5906	SMITH	FINAE Pool	Passed	
(8)	133 S. RIVER RD JANERO	Plumbg/Dock	=	Peripherie INSPECTOR: 
5781	Liz Quis	Landscaping	Pass	close
(9)	16 Cranes Nest O/B			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER:



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 133 S. RIVER RD.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

POOL FINAL

NEED DEPTH MARKERS
& FINAL SURVEY.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 2/25

DHIC
INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 2/25, 20014 Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6105	DAVIS	POOL WINDOW	PASS	CLOSE
1	61 MIRAMAR RD	FINAL		
	OIB	RAM (CONFIRMED)		INSPECTOR: <i>[Signature]</i>
61	SMITH	TRUSS	FAIL	
5	SIMARA	LATH		
	SUNSE			INSPECTOR: <i>[Signature]</i>
5906	SMITH	POOL FINAL	FAIL	
6	133 S. BOND RD			
	BONARD			INSPECTOR: <i>[Signature]</i>
6594	FENSTER	FINAL DEMO	PASS	CLOSE
4	71 S. SEWALL'S PT	GARAGE		
	OIB			INSPECTOR: <i>[Signature]</i>
6456	SABFI	ROOF SHEATHING		RESCHEDULE FOR
9	73 N. SEWALL'S PT	COMPLETE TIE DOWNS		2/26
	WINDUP			INSPECTOR: <i>[Signature]</i>
6520	HINES	2nd BEAM (CROWN)		RESCHEDULE FOR
7	113 HENRY SEWALL		PASS	2/26
	WINDUP			INSPECTOR: <i>[Signature]</i>
6413	POWERS	PARTIAL CROWN		RESCHEDULE FOR
8	70 S. SEWALL'S PT	FIRST STOA WALL		2/27
	FLORIDA'S FINEST			INSPECTOR: <i>[Signature]</i>

OTHER: *[Signature]*

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 2/27, 2004 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6604	NOTHE JL	TICKET FINAL	PASS	CLOSE
6	6 N. RIDGENTEN RD			
	D/B			INSPECTOR: <i>[Signature]</i>
6288	FRANCIS	FINAL POOL +	FAIL	
1	5 S. RIVER RD	SITE		#40 FEE
	OLYMPIC POOLS			INSPECTOR:
6324	FRANCIS	RET. WALL POOL DECK	FAIL	
1	5 S. RIVER RD	STEPS, FENCING		#40 FEE
	F.D. WILBERDING	RET. WALL FINAL		INSPECTOR:
6429	ROBERTS	FINAL ADDITION		CANCELLED
	12 N. RIDGENTEN			
	GLENMARK HOMES			INSPECTOR:
TREE	SCHULTZ	TREE	PASS	PER REVISIONS ON
3	64 S. SEWALLS PT RD			PERMIT REQUEST SHEET
				INSPECTOR: <i>[Signature]</i>
5906	SMITH	POOL FINAL	PASS	CLOSE
2	1335 RIVER RD			
	JANERO CONST.			INSPECTOR: <i>[Signature]</i>
6456	SHARFI	ROOF SHEATHING	PASS	
5	73 N. SEWALLS PT	COMPLETED TIE DOWNS		
	WINCHIP			INSPECTOR: <i>[Signature]</i>
OTHER:				
38 S. SEWALLS STOP WORK ORDER - PERMIT				

6450

FENCE

TOWN OF SEWALL'S POINT

Date 10/2/03

BUILDING PERMIT NO. 6450

Building to be erected for SMITH

Type of Permit FENCE

Applied for by MACARI BUILDING + DES. (Contractor)

Building Fee 30.00

Subdivision HANSEN GRANT Lot 1,243 Block _____

Radon Fee _____

Address 133 S. RIVER ROAD

Impact Fee _____

Type of structure FENCE

A/C Fee _____

Parcel Control Number: _____

Electrical Fee _____

13384100000000 3010000

Plumbing Fee _____

Amount Paid 30.00 Check # 10558 Cash _____ Other Fees (_____)

Roofing Fee _____

Total Construction Cost \$ 8350

TOTAL Fees 30.00

Signed A. J. Macari
Applicant

Signed Gene Simmons (P.O.S.)
Town Building Official

- | | | |
|---|--|---|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input checked="" type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

Date: Sept 29, 2003

Permit Number: _____

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

OWNER/TITLEHOLDER NAME: Mrs Nick Smith Phone (Day) 842-8025 (Fax) 844-0141

Job Site Address: 133 So. River Road City: Sewalls Pt State: FL Zip: _____

Legal Description of Property: SEE ATTACHED SURVEY Parcel Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: FENCE + Columns at Front Property

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: MACARI BUILDING + DESIGN INC Phone: 745-0394 Fax: 745-9385

Street: 149 Fern Street City: Jupiter State: FL Zip: 33458

State Registration Number: EE State Certification Number: CGC-023734 Martin County License Number: _____

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 8350- (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: Dubay Electric INC State: _____ License Number: _____

Mechanical: N/A State: _____ License Number: _____

Plumbing: N/A State: _____ License Number: _____

Roofing: N/A State: _____ License Number: _____

ARCHITECT Wessell Associates Phone Number: 747-4950

Street: 900 South US Highway ONE suite 104 City: Jupiter State: FL Zip: 33477

ENGINEER N/A Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) _____

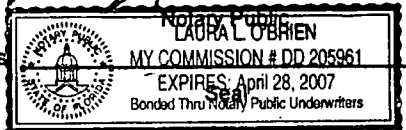
State of Florida, County of: _____
This the _____ day of _____, 200____
by _____ who is personally
known to me or produced _____
as identification. _____

Notary Public
My Commission Expires: _____
Seal

CONTRACTOR SIGNATURE (required) _____

On State of Florida, County of: MARTIN
This the 30th day of September 2003
by STEPHEN JAMES MACARI who is personally
known to me or produced ELDL 1260-790-553650
As identification. _____

My Commission Expires: _____



<p>PRODUCER</p> <p>R.V. Johnson Agency, Inc. (BM) 2041 S.E. Ocean Blvd. Stuart, FL 34996 Phone: 772-287-3366 Fax: 772-287-4439</p>	<p>THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.</p>												
<p>INSURED</p> <p>Macari Building & Design, Inc Steve Macari 18561 Lakeside Gardens Drive Jupiter FL 33458</p>	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th style="width:80%;">INSURERS AFFORDING COVERAGE</th> <th style="width:20%;">NAIC #</th> </tr> <tr> <td>INSURER A: Mt. Hawley</td> <td></td> </tr> <tr> <td>INSURER B:</td> <td></td> </tr> <tr> <td>INSURER C:</td> <td></td> </tr> <tr> <td>INSURER D:</td> <td></td> </tr> <tr> <td>INSURER E:</td> <td></td> </tr> </table>	INSURERS AFFORDING COVERAGE	NAIC #	INSURER A: Mt. Hawley		INSURER B:		INSURER C:		INSURER D:		INSURER E:	
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INSURER B:													
INSURER C:													
INSURER D:													
INSURER E:													

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS												
A	<p>GENERAL LIABILITY</p> <p><input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY</p> <p><input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR</p> <p>GEN'L AGGREGATE LIMIT APPLIES PER:</p> <p><input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC</p>	MCF0001449	07/10/03	07/10/04	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td>EACH OCCURRENCE</td> <td style="text-align: right;">\$ 1000000</td> </tr> <tr> <td>DAMAGE TO RENTED PREMISES (Ea occurrence)</td> <td style="text-align: right;">\$ 50000</td> </tr> <tr> <td>MED EXP (Any one person)</td> <td style="text-align: right;">\$ 5000</td> </tr> <tr> <td>PERSONAL & ADV INJURY</td> <td style="text-align: right;">\$ 1000000</td> </tr> <tr> <td>GENERAL AGGREGATE</td> <td style="text-align: right;">\$ 2000000</td> </tr> <tr> <td>PRODUCTS - COMP/OP AGG</td> <td style="text-align: right;">\$ 1000000</td> </tr> </table>	EACH OCCURRENCE	\$ 1000000	DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 50000	MED EXP (Any one person)	\$ 5000	PERSONAL & ADV INJURY	\$ 1000000	GENERAL AGGREGATE	\$ 2000000	PRODUCTS - COMP/OP AGG	\$ 1000000
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	<p>AUTOMOBILE LIABILITY</p> <p><input type="checkbox"/> ANY AUTO</p> <p><input type="checkbox"/> ALL OWNED AUTOS</p> <p><input type="checkbox"/> SCHEDULED AUTOS</p> <p><input type="checkbox"/> HIRED AUTOS</p> <p><input type="checkbox"/> NON-OWNED AUTOS</p>	N/A			<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td>COMBINED SINGLE LIMIT (Ea accident)</td> <td style="text-align: right;">\$</td> </tr> <tr> <td>BODILY INJURY (Per person)</td> <td style="text-align: right;">\$</td> </tr> <tr> <td>BODILY INJURY (Per accident)</td> <td style="text-align: right;">\$</td> </tr> <tr> <td>PROPERTY DAMAGE (Per accident)</td> <td style="text-align: right;">\$</td> </tr> </table>	COMBINED SINGLE LIMIT (Ea accident)	\$	BODILY INJURY (Per person)	\$	BODILY INJURY (Per accident)	\$	PROPERTY DAMAGE (Per accident)	\$				
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	<p>GARAGE LIABILITY</p> <p><input type="checkbox"/> ANY AUTO</p>	N/A			<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td>AUTO ONLY - EA ACCIDENT</td> <td style="text-align: right;">\$</td> </tr> <tr> <td>OTHER THAN AUTO ONLY: EA ACC</td> <td style="text-align: right;">\$</td> </tr> <tr> <td>AGG</td> <td style="text-align: right;">\$</td> </tr> </table>	AUTO ONLY - EA ACCIDENT	\$	OTHER THAN AUTO ONLY: EA ACC	\$	AGG	\$						
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	<p>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</p> <p>ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?</p> <p>If yes, describe under SPECIAL PROVISIONS below</p> <p>OTHER</p>	N/A			<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td>WC STATU-TORY LIMITS</td> <td style="text-align: right;">\$</td> </tr> <tr> <td>OTH-ER</td> <td style="text-align: right;">\$</td> </tr> <tr> <td>E.L. EACH ACCIDENT</td> <td style="text-align: right;">\$</td> </tr> <tr> <td>E.L. DISEASE - EA EMPLOYEE</td> <td style="text-align: right;">\$</td> </tr> <tr> <td>E.L. DISEASE - POLICY LIMIT</td> <td style="text-align: right;">\$</td> </tr> </table>	WC STATU-TORY LIMITS	\$	OTH-ER	\$	E.L. EACH ACCIDENT	\$	E.L. DISEASE - EA EMPLOYEE	\$	E.L. DISEASE - POLICY LIMIT	\$		
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E.L. DISEASE - POLICY LIMIT	\$																

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

CERTIFICATE HOLDER

CANCELLATION

<p style="text-align: center;">TOWN OF S</p> <p style="text-align: center;">TOWNS OF SEWALLS POINT 1 S SEWALLS POINT RD SEWALLS POINT FL 34996</p>	<p>SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>10*</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.</p> <p>AUTHORIZED REPRESENTATIVE</p> <p style="text-align: center;"><i>Robert C. Johnson</i></p>
--	---

RECEIVED
OCT 14 2003
BY:

08-26-2003

STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION

CERTIFICATE OF EXEMPTION FROM FLORIDA WORKERS' COMPENSATION LAW

CONSTRUCTION INDUSTRY EXEMPTION

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation Law .

EFFECTIVE	08/23/2003	EXPIRATION DATE	08/22/2005
PERSON	MACARI	STEPHEN	J
SSN	040-54-5107		
FEIN	650451686		
BUSINESS	MACARI BUILDING & DESIGN INC 149 FERN STREET JUPITER FL 33458		

NOTE: Pursuant to Chapter 440.10(1)(g), 2, F.S., a sole proprietor, partner, or an officer of a corporation who elects exemption from the Florida Workers' Compensation Law may not recover benefits or compensation under Chapter 440.

AC# 0450816

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ#L02061001319

DATE	BATCH NUMBER	LICENSE NBR
06/10/2002	011128484	CGC023754

The GENERAL CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2004

MACARI, STEPHEN JAMES
MACARI BUILDING & DESIGN INC
18561 LAKESIDE GARDENS DRIVE
JUPITER FL 33458

JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

KIM BINKLEY-SEYER
SECRETARY

2002-03851

STATE OF FLORIDA
PALM BEACH COUNTY
OCCUPATIONAL LICENSE

CW-001
CLASSIFICATION

EXPIRES: SEPTEMBER - 30 - 2004

MACARI BUILDING & DESIGN INC
MACARI STEPHEN J

** LOCATED AT

C/WIDE \$369.60

612 N ORANGE AVENUE #D8
JUPITER FL 33458

TOTAL \$369.60

Is hereby licensed at above address for the period beginning on the first day of October and ending on the thirtieth day of September to engage in the business, profession or occupation of:

GENERAL CONTRACTOR

CGC023754

THIS IS NOT A BILL - DO NOT PAY

PAID. PBC TAX COLLECTOR
\$369.60 OCC 004 08466 09-16-2003

JOHN K. CLARK, CFC
TAX COLLECTOR, PALM BEACH COUNTY

THIS LICENSE VALID ONLY WHEN RECEIPTED BY
TAX COLLECTOR

RECEIVED
OCT 14 2003
BY:

08-26-2003

STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION

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SSN	040-54-5107		
FEIN	650451686		
BUSINESS	MACARI BUILDING & DESIGN INC		
	149 FERN STREET		
	JUPITER	FL	33458

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C/WIDE \$369.60

TOTAL \$369.60

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CGC023754

JOHN K. CLARK, CFC
TAX COLLECTOR, PALM BEACH COUNTY

THIS IS NOT A BILL - DO NOT PAY

PAID. PBC TAX COLLECTOR
\$369.60 OCC 004 08466 09-16-2003

**THIS LICENSE VALID ONLY WHEN RECEIPTED BY
TAX COLLECTOR**



TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # _____

NOTICE OF COMMENCEMENT

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

GENERAL DESCRIPTION OF IMPROVEMENT: FENCE - GATES Columns - Pool Fence

OWNER: MR+MRS Nick Smith

ADDRESS: 107 Bow Sprit Drive, North Palm Beach, Fla.

PHONE #: 842-8025

FAX #: 844-0141

CONTRACTOR: MACARI BUILDING & DESIGN INC.

ADDRESS: 149 Fern Street Jupiter Fla. 33458

PHONE #: 745-0394

FAX #: 745-9385

SURETY COMPANY (IF ANY) N/A

ADDRESS: _____

PHONE # _____

FAX #: _____

BOND AMOUNT: _____

LENDER: N/A

ADDRESS: _____

PHONE #: _____

FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____

FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES STEPHEN MACARI OF MACARI BUILDINGS TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: 745-0394

FAX #: 745-9385

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____ THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Smith

SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 2nd DAY OF Oct 2003 BY _____

PERSONALLY KNOWN OR PRODUCED ID TYPE OF ID _____

Judith Hooks
NOTARY SIGNATURE



Judith Hooks
Commission # CC 902375
Expires Jan. 17, 2004
Bonded Thru
Atlantic Bonding Co., Inc.

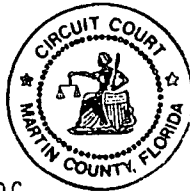
INSTR # 1927350 OR BK 01823 PG 0880 REC'D 10/02/2003 09:51:25 AM
MARSHA BURNING
MARTIN COUNTY DEPUTY CLERK J. Diessen

DESCRIPTION

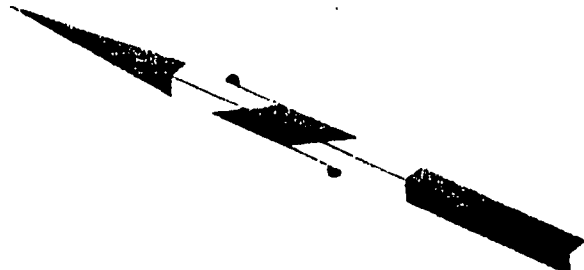
THAT PART OF THE SOUTH 150 FEET OF THE NORTH 631 FEET OF LOT 1 OF THE MILES OR HANSON GRANT, ACCORDING TO THE MAP OF COMMISSIONERS SUBDIVISION OF THE MILES OR HANSON GRANT, FILED DECEMBER 30, 1901, AND RECORDED IN PLAT BOOK B, PAGE 59, PUBLIC RECORDS OF DADE (NOW MARTIN) COUNTY, FLORIDA, BOUNDED ON THE WEST BY THE WATERS OF THE ST. LUCIE RIVER AND BOUNDED ON THE EAST BY THE WESTERLY RIGHT-OF-WAY LINE OF SOUTH RIVER ROAD, SAID RIGHT-OF-WAY BEING SHOWN ON A PLAT ENTITLED "ROAD RIGHT-OF-WAY ON SEWALL'S POINT" RECORDED IN PLAT BOOK 4, PAGE 58, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA, CONTAINING 1.647 ACRES MORE OR LESS.

STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE
FOREGOING 2 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.
MARSHA EWING, CLERK



BY *Marsha Ewing* D.C.
DATE 10/2/03

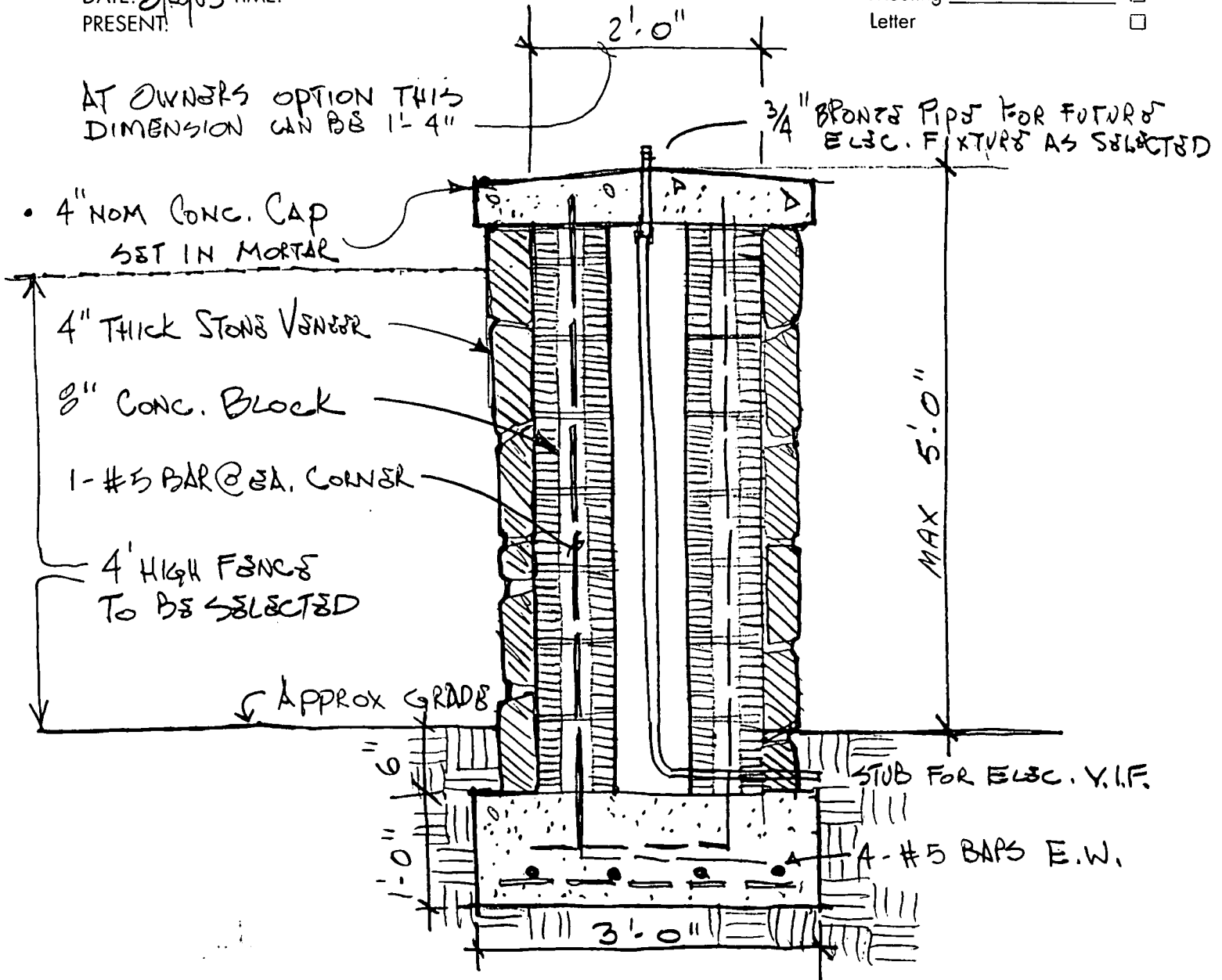


WESSEL ASSOCIATES AIA

900 South U.S. Highway One • Suite 104
Jupiter, FL 33477

PROJECT: SMITH RES.
PROJECT PHASE: CONST.
DATE: 8/28/03 TIME:
PRESENT:

Telephone
Meeting In Office
Meeting _____
Letter

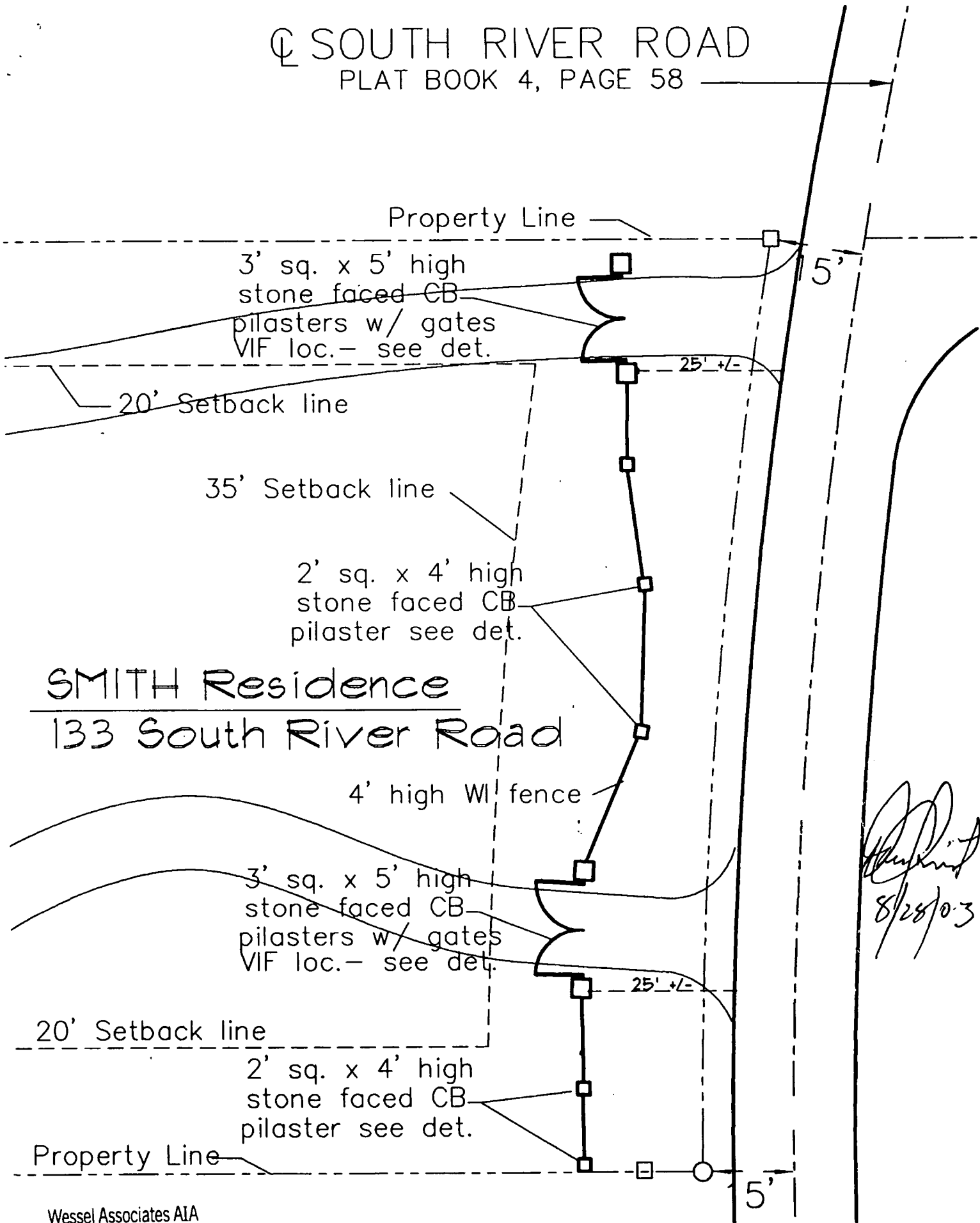


SECTION THRU GATE POST
3/4" = 1'-0"

SMITH RESIDENCE
SOUTH RIVER RD.
SEIVALL'S PT., FL

[Signature]
8/28/03

Q SOUTH RIVER ROAD
PLAT BOOK 4, PAGE 58



8/28/03



TOWN OF SEWALL'S POINT

One South Sewall's Point Road

Sewall's Point, Florida 34996

(772) 287-2455

CORRECTION NOTICE

ADDRESS: 133 S. RIVERZ ROAD

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FENCE & FENCE ELEC.

NO POWER TO GATES OR
RECEPTACLES - UNABLE TO
TEST G.F.C.I. OPERATION

TWO PIERS @ MAIN ENTRY
HAVE MISSING CONC. CAP
& LIGHT FIXTURES -

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 7/23

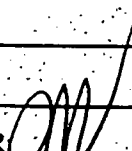
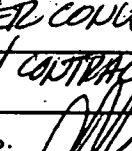
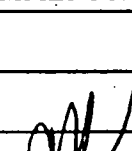
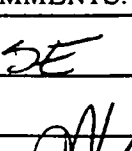
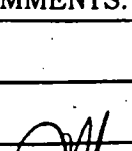
[Signature]
INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri JULY 23, 2002 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6544	LANCASTER	ROOF SHEATHING	PASS	
2	8 PINEAPPLE LA MASTERPIECE	+ TIN TAG		INSPECTOR: 
6450	SMITH SMITH	FENCE +	FAIL	PASS PER CONVERSATION
6451	133 S. RIVER RD	FENCE ELECTRIC	FAIL	PASS w/ CONTRACT 7/28
3	MAGALI BLDGS			INSPECTOR: 
6792	RAPPAPORT	SHEATHING		CANCEL
6	9 RIVER CREST GULICK-McLAUGHLIN	(last as poss. 6/3?)		INSPECTOR:
6837	SMITH	SHEATHING		CANCEL
4	11 W. HIGHLAND PACIFIC ROOFING			INSPECTOR:
6581	LASKY	TIN TAG + METAL	FAIL	
1	27 W. HIGH POINT PACIFIC ROOFING			INSPECTOR: 
6835	PLUTT	GARAGE DOOR	PASS	CLOSE
5	12 HERON'S NEST O/B			INSPECTOR: 
6577	LANGER	POOL STEEL	PASS	
6	3 LOFTI OLYMPIC POOLS			INSPECTOR: 

OTHER: _____

6451

FENCE ELECTRIC

MASTER PERMIT NO. 6450

TOWN OF SEWALL'S POINT

Date 10/2/03

BUILDING PERMIT NO. 6451

Building to be erected for SMITH

Type of Permit FENCE ELECTRIC

Applied for by DUBAY ELECTRIC (Contractor) Building Fee _____

Subdivision HANSEN GRANT Lot 1, 2, 3 Block _____ Radon Fee _____

Address 133 S. RIVER ROAD Impact Fee _____

Type of structure FENCE/COLUMNS A/C Fee _____

Electrical Fee 35.00

Parcel Control Number: _____ Plumbing Fee _____

1338410000000003010000 Roofing Fee _____

Amount Paid 35.00 Check # 10558 Cash _____ Other Fees (_____) _____

Total Construction Cost \$ SEE PN 6451 TOTAL Fees 35.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official

PERMIT

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input checked="" type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL _____ |

Date: 10/2/03

Permit Number: 6451

Town of Sewall's Point
BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME: Mrs. Nick Smith Phone (Day) 842-8025 (Fax) 844-0141

Job Site Address: 133 So. Riva Rd City: Sewalls Pt State: FL Zip: _____

Legal Description of Property: _____ Parcel Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: FENCE / Column Electrical for Fence Permit #6450

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: Dubay Electric Phone: 561-575-5768 Fax: 561-746-0554

Street: 706 U. Commerce Way City: Jupiter State: FL Zip: 33458

State Registration Number: ER0012918 State Certification Number: _____ Martin County License Number: ME00476

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 500.00 (See PIN 10450) (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: Dubay Electric State: FL License Number: ER0012918

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT N/A Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER N/A Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

State of Florida, County of: _____
This the _____ day of _____, 2003
by _____ who is personally
known to me or produced _____
as identification. _____

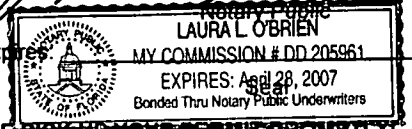
Notary Public

My Commission Expires: _____
Seal

CONTRACTOR SIGNATURE (required)

On State of Florida, County of: MAKIN
This the 2nd day of October, 2003
by Peter J Dubay who is personally
known to me or produced FL DL D100-670-62210
as identification. _____

My Commission Expires: _____



ACORD™ CERTIFICATE OF LIABILITY INSURANCE


DATE (MM/DD/YY)
03/05/03

PRODUCER FEDERATED MUTUAL INSURANCE COMPANY Home Office: P.O. Box 328 Owatonna, MN 55060 Phone: 507-455-5200	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.
INSURED DUBAY ELECTRIC INC PO BOX 447 JUPITER FL 33468	132-388-0
COMPANIES AFFORDING COVERAGE	
COMPANY A	FEDERATED MUTUAL INSURANCE COMPANY OR FEDERATED SERVICE INSURANCE COMPANY
COMPANY B	
COMPANY C	
COMPANY D	

COVERAGES
 THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT <input checked="" type="checkbox"/> BUSINESSOWNER'S POLICY	9001939	01/01/03	01/01/04	GENERAL AGGREGATE \$ 1,000,000
					PRODUCTS - COMP/OP AGG \$ 1,000,000
					PERSONAL & ADV INJURY \$ 500,000
					EACH OCCURRENCE \$ 500,000
					FIRE DAMAGE (Any one fire) \$ 50,000
					MED EXP (Any one person) \$
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	9001588	01/01/03	01/01/04	COMBINED SINGLE LIMIT \$ 500,000
					BODILY INJURY (Per person) \$
					BODILY INJURY (Per accident) \$
					PROPERTY DAMAGE \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$
					OTHER THAN AUTO ONLY: \$
					EACH ACCIDENT \$
					AGGREGATE \$
	EXCESS LIABILITY <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$
					AGGREGATE \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input type="checkbox"/> INCL <input type="checkbox"/> EXCL	9000197	01/01/03	01/01/04	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER \$
					EL EACH ACCIDENT \$ 500,000
					EL DISEASE - POLICY LIMIT \$ 500,000
					EL DISEASE - EA EMPLOYEE \$ 500,000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

CERTIFICATE HOLDER 1323880 TOWN OF SEWELLS POINT 1 SEWALLS POINT ROAD SAWALLS POINT FL 34996	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL <u>30</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE 
--	---



MARTIN COUNTY, FLORIDA
Construction Industry Licensing Board
Certificate of Competency

MASTER ELECTRICIAN

License Number ME00476 Expires: 30-SEP-05

DUBAY, PETER J
 DUBAY ELECTRIC INC
 BOX 447
 JUPITER, FL 33468

DRIVER LICENSE
 CLASS E
Florida



[Signature]

The Sunshine State

LICENSE NUMBER

D100-670-62-212-0

PETER J DUBAY
 9837 SE SHARON ST
 HOBE SOUND, FL 33455-6866

BIRTH DATE	SEX	HGT.	REST.	ENDORSE
06-12-62	M	5-09	A	

ISSUED	EXPIRES	DUPLICATE
04-10-01	06-12-07	02-28-03



MOTORCYCLE ALSO

P700302280001

Operation of a motor vehicle constitutes consent to any sobriety test required by law.

AC# 0485734

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
ELECTRICAL CONTRACTORS LICENSING BOARD

SEQ# L02071501087

DATE	BATCH NUMBER	LICENSE NBR
07/15/2002	200013771	ER0012918

The ELECTRICAL CONTRACTOR
Named below HAS REGISTERED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2004
(INDIVIDUAL MUST MEET ALL LOCAL LICENSING
REQUIREMENTS PRIOR TO CONTRACTING IN ANY AREA)

DUBAY, PETER J
DUBAY ELECTRIC INC
P O BOX 447
JUPITER

FL 33468

JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

KIM BINKLEY-SEYER
SECRETARY

**PALM BEACH COUNTY CONTRACTORS
CERTIFICATE OF COMPETENCY**

EXPIRES SEPTEMBER 30, 20 05

AUDIT CONTROL NUMBER	CERTIFICATE NUMBER
A-0853935	U-16710

NAME: PETER J DUBAY
FIRM: DUBAY ELECTRIC INC

PO BOX 447
JUPITER, FL

33468

UNLIMITED

FOLD HERE

FEE 180.00

CERTIFIED CONTRACTOR ELECTRICAL

ID #0018827
09/03/03

JES

SIGNATURE:

ATTEST:

J E Steinfeld
CONSTRUCTION INDUSTRY LICENSING BOARD
OF PALM BEACH COUNTY

2004-02933

STATE OF FLORIDA
PALM BEACH COUNTY
OCCUPATIONAL LICENSE

CW-005
CLASSIFICATION

EXPIRES: SEPTEMBER - 30 - 2004

DUBAY ELECTRIC INC
DUBAY PETER J

** LOCATED AT

C/WIDE \$264.60

706 W COMMERCE WAY
JUPITER FL 33458

TRNSFR \$25.00
TOTAL \$289.60

Is hereby licensed at above address for the period beginning on the first day of October and ending on the thirtieth day of September to engage in the business, profession or occupation of:

ELECTRICAL CONTRACTOR

U16710

THIS IS NOT A BILL - DO NOT PAY

PAID. PBC TAX COLLECTOR
\$289.60 OCC 934 05705 09-10-2003

JOHN K. CLARK, CFC
TAX COLLECTOR, PALM BEACH COUNTY

**THIS LICENSE VALID ONLY WHEN RECEIPTED BY
TAX COLLECTOR**

2004-02938

STATE OF FLORIDA
PALM BEACH COUNTY
OCCUPATIONAL LICENSE

OC-032
CLASSIFICATION

EXPIRES: SEPTEMBER - 30 - 2004

DUBAY ELECTRIC INC
DUBAY PETER J

** LOCATED AT

CNTY \$26.25

706 W COMMERCE WAY
JUPITER FL 33458

TRNSFR \$3.00
TOTAL \$29.25

Is hereby licensed at above address for the period beginning on the first day of October and ending on the thirtieth day of September to engage in the business, profession or occupation of:

ELECTRICAL CONTRACTOR

U16710

THIS IS NOT A BILL - DO NOT PAY

PAID. PBC TAX COLLECTOR
\$29.25 OCC 934 05704 09-10-2003

JOHN K. CLARK, CFC
TAX COLLECTOR, PALM BEACH COUNTY

**THIS LICENSE VALID ONLY WHEN RECEIPTED BY
TAX COLLECTOR**

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri JULY 23, 2002 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6544	LANCASTER	ROOF SHEATHING	PASS	
2	8 PINEAPPLE LA MASTERPIECE	+ TIN TAG		INSPECTOR:
6450	SMITH SMITH	FENCE	FAIL	PER CONVERSATION
6451	133 S. RIVER RD	FENCE ELECTRIC	FAIL	PASS w/ CORRECTIONS - 728
3	MACARI BLDGS			INSPECTOR:
6792	RAPPAPORT	SHEATHING		CANCEL
6	9 RIVER CREST GULIELMO MCLAUGHLIN	(later as poss. bldg?)		INSPECTOR:
6837	SMITH	SHEATHING		CANCEL
4	11 W. HIGH POINT PACIFIC ROOFING			INSPECTOR:
6581	LASKY	TIN TAG + METAL	FAIL	
1	27 W. HIGH POINT PACIFIC ROOFING			INSPECTOR:
6835	PLITT	GARAGE DOOR	PASS	CLOSE
5	12 HERON'S NEST O/B			INSPECTOR:
6577	LANGER	POOL STEEL	PASS	
6	3 LOFTI OLYMPIC POOLS			INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 11/17, 2003 Page of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6451	SMITH	FOOTING	Pass	
(4)	133 S. RIVER RD MACARI	24x24x12 2x4 x 5 Front Fence		INSPECTOR:
6497	LIZAS	ROOF SHEATHING	Pass	11:30
(5)	4 ISLAND RD ARTEKA CONST.	+ DECK-IN	Pass	INSPECTOR:
6488	DWYER	TIN TAG + METAL	Pass	9:00
(2)	32 N. RIVER RD STUART ROOFING	Sheathing	Pass	INSPECTOR:
6446	WILBERDING	POOL PUMING	Pass	
(2)	2 PALAMA WAY OLYMPIC POOLS			INSPECTOR:
6288	FRANCIS	POOL PUMING	Pass	
(3)	5 S. RIVER OLYMPIC POOLS			INSPECTOR:
				INSPECTOR:
				INSPECTOR:
				INSPECTOR:
OTHER: BECKER HEIGHT OF LANDRAIL				
8 MORGAN CIRCLE - SEE SURVEY				

8337

FENCE

TOWN OF SEWALL'S POINT

Receipt

Date 8-1-06
Building to be erected for Smith
Applied for by Stuart Fence (Contractor)
Subdivision Hanson Grant Lot 1 Block _____
Address 133 S. River Rd
Type of structure SFR

BUILDING PERMIT NO. 8337
Type of Permit Fence
Building Fee _____
Radon Fee _____
Impact Fee _____
A/C Fee _____
Electrical Fee _____
Plumbing Fee _____
Roofing Fee _____

Parcel Control Number:
13-38-41-000-000-00030-10000

Amount Paid \$30- Check # 6851 Cash _____ Other Fees Fence 30-
Total Construction Cost \$ 7732- TOTAL Fees 30-

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official Dept Clerk

9-26-06
need Contractor to revise plans & have JA
sign off on them [Signature]
9-27-06



MARTIN COUNTY BUILDING PERMIT

CARD MUST BE POSTED IN A CONSPICUOUS PLACE ON THE FRONT OF THE PREMISES WITHIN VIEW OF THE STREET BEFORE WORK IS STARTED.

Permit Number: SP01 - 20060093
Permit Type: SEWALLS POINT
Date Issued: 28-JUL-06
Project:
Scope of Work: Install vertical shadow box fence

Applicant/Contact:	RICHMOND, CHESTER J III	/
Parcel Control Number:	13-38-41-000-000-0003.0-10000	
Subdivision:	SEWALL'S POINT HANSON GRANT LOT 1	
Construction Address:	133 SOUTH RIVER RD	
Location Description:		
Owner Name:	SMITH, NICHOLAS S	
Prime Contractor:	RICHMOND, CHESTER J III 3307 RAILROAD AVE STUART, FL 34997	STUART FENCE & WIRE 772-288-1151 License No.: CFE3584

In consideration of the granting of this permit, it is agreed that in all respects the work will be performed and completed in accordance with the permitted plans and the applicable codes for Martin County, Florida. This permit may be revoked at any time upon the violation of any of the provisions of said laws, ordinances or rules and regulations or upon any change in the plans and specifications unauthorized by this department. Permit expires one hundred eighty (180) days from the date of issuance if work is not started or if work is suspended for a period of six months. Per FBC Section 3305, sanitary facilities shall be provided during construction, remodeling, or demolition activities.

"NOTICE: IN ACCORDANCE TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES."

**"WARNING TO OWNER; YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."
A CERTIFIED COPY OF RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE ISSUING AUTHORITY PRIOR TO THE FIRST INSPECTION.**

ALL REINSPECTIONS OR ADDITIONAL INSPECTIONS WILL BE CHARGED AT A RATE ESTABLISHED BY THE BOARD OF COUNTY COMMISSION. NOTICE: DO NOT ORDER CONCRETE UNTIL INSPECTION IS APPROVED.

UPON COMPLETION OF WORK, A FINAL INSPECTION MUST BE CALLED FOR BY THE CONTRACTOR. FAILURE TO DO SO WILL RESULT IN A DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR.

INSPECTIONS

Phone 221-2364 (interactive voice) or 288-5489 for inspections. 24 hour notice is required.
The inspections listed below may not represent all necessary required inspections for the scope of work.

6099 Residential Final _____

RECEIVED present RECEIVED

Town of Sewall's Point BUILDING PERMIT APPLICATION

Date: 7/11/06 Permit Number: _____

OWNER/TITLEHOLDER NAME: JANET Smith Phone (Day) 561-373-9588 (Fax) _____

Job Site Address: 133 S. RIVER Rd City: STUART State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Lots 2 & 3 of 5/0 Lot 1 ANNSON GRANT Parcel Number: 13-38-41-000-000-00030-1

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: INSTALL VERTICAL SHADOW BOX FENCE

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 7732.00 (Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: STUART FENCE Co Phone: 288 1151 Fax: 288 3035

Street: PO Box 2636 City: STUART State: FL Zip: 34995

State Registration Number: _____ State Certification Number: _____ Martin County License Number: CFE 3584

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____
Mechanical: _____ State: _____ License Number: _____
Plumbing: _____ State: _____ License Number: _____
Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic.# _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carpport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: National Electrical Code: 2002 Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) [Signature]

State of Florida, County of: JANET Smith MARTIN

This the 3 day of July, 2006

by JANET Smith who is personally

known to me or produced DL

as identification. Janis L. Loudin

My Commission Expires: Commission # DD538831 Expires: MAY 21, 2010

Notary Public Janis L. Loudin Bonded Thru Atlantic Bonding Co., Inc.

CONTRACTOR SIGNATURE (required) [Signature]

On State of Florida, County of: MARTIN

This the 11 day of July, 2006

by CHESTER RICHMOND who is personally

known to me or produced

As identification. Janis L. Loudin

My Commission Expires: Commission # DD538831 Expires: MAY 21, 2010

Notary Public Janis L. Loudin Bonded Thru Atlantic Bonding Co., Inc.

ACORD - CERTIFICATE OF LIABILITY INSURANCE

2/23/2006

ISSUER
MARIE HOWELL INSURANCE SERVICES
 3215 S US 1 SUITE B-201
 FORT PIERCE FL 34982
 772-461-4733
INSURED
STUART FENCE COMPANY INC.,
 CHESTER J. RICHMOND & JOHN JAMASON
 P O B 2636
 STUART, FL 34995

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE	NAIC#
INSURER A: WESTERN WORLD	
INSURER B:	
INSURER C:	
INSURER D:	
INSURER E:	

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJ <input type="checkbox"/> LOC AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS GARAGE LIABILITY <input type="checkbox"/> ANY AUTO EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE RETENTION \$ WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below OTHER	NPP0835360	8/18/2005	8/18/2006	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 50,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 1,000,000 COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC: \$ AGG \$ EACH OCCURRENCE \$ AGGREGATE \$ WC BY STATE TORY LIMITS OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

FENCE ERECTION

CERTIFICATE HOLDER

THE TOWN OF SEWELLS POINT
 1 SOUTH SEWELLS POINT RD
 SEWELLS POINT, FL 34996

ATTN: LAURA
FAX# 772-220-4765


CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL _____ DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

M. Howell

© ACORD CORPORATION 1988

ACORD™ CERTIFICATE OF LIABILITY INSURANCE							Date 2/24/2006	
Producer: Lion Insurance Company 2739 U.S. Highway 19 N. Holiday, FL 34691 Phone: 727-838-5562 Fax: 727-937-2138				This Certificate is issued as a matter of information only and confers no rights upon the Certificate Holder. This Certificate does not amend, extend or alter the coverage afforded by the policies below.				
Insured: South East Personnel Leasing, Inc. 2739 U.S. Highway 19 N. Holiday, FL 34691 Phone : (727)938-5562				Insurers Affording Coverage			NAIC #	
				Insurer A: Lion Insurance Company			11075	
				Insurer B:				
				Insurer C:				
				Insurer D:				
Insurer E:								
Coverages								
The policies of insurance listed below have been issued to the insured named above for the policy period indicated. Notwithstanding any requirement, term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the policies described herein is subject to all the terms, exclusions, and conditions of such policies. Aggregate limits shown may have been reduced by paid claims.								
INSR LTR	ADCL INSRD	Type of Insurance	Policy Number	Policy Effective Date (MM/DDYY)	Policy Expiration Date (MM/DDYY)	Limits		
		GENERAL LIABILITY <input type="checkbox"/> Commercial General Liability <input type="checkbox"/> Claims Made <input type="checkbox"/> Occur <hr/> General aggregate limit applies per: <input type="checkbox"/> Policy <input type="checkbox"/> Project <input type="checkbox"/> LOC				Each Occurrence	\$	
		AUTOMOBILE LIABILITY <input type="checkbox"/> Any Auto <input type="checkbox"/> All Owned Autos <input type="checkbox"/> Scheduled Autos <input type="checkbox"/> Hired Autos <input type="checkbox"/> Non-Owned Autos				Combined Single Limit (EA Accident)	\$	
		GARAGE LIABILITY <input type="checkbox"/> Any Auto				Bodily Injury (Per Person)	\$	
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> Occur <input type="checkbox"/> Claims Made <input type="checkbox"/> Deductible <input type="checkbox"/> Retention				Bodily Injury (Per Accident)	\$	
A		Workers Compensation and Employers' Liability Any proprietor/partner/executive officer/member excluded? If Yes, describe under special provisions below.	WC 71949	01/01/2006	01/01/2007	<input checked="" type="checkbox"/> WC Statutory Limits <input type="checkbox"/> OTH-ER	E.L. Each Accident	\$1000000
		Other 3465485 Stuart Fence Company, Inc.					E.L. Disease - Ea Employee	\$1000000
							E.L. Disease - Policy Limits	\$1000000
			COVERAGE APPLIES ONLY TO THOSE EMPLOYEES LEASED, NOT TO SUBCONTRACTORS.					
ADD ON DATE: 5/10/2004 COVERAGE APPLIES ONLY IN THE STATE OF FLORIDA TO THOSE EMPLOYEES LEASED TO BUT NOT SUBCONTRACTORS OF Stuart Fence Company, Inc. * FAX: 772-298-3035 & 772-220-4765 / ISSUE: 10-21-04 (PDC) / REISSUE 9-23-05 (JLH) / REISSUE 1-18-06 (JLH) REISSUE 2-24-06 (SH)								
Lion Insurance Company is A.M. Best Company rated A- (Excellent). AMB # 12616								
CERTIFICATE HOLDER				CANCELLATION				
TOWN OF SEWALLS POINT ATTN: LAURA 1 S. SEWALLS POINT RD. SEWALLS POINT FL 34988				Should any of the above described policies be cancelled before the expiration date thereof, the issuing insurer will endeavor to mail 30 days written notice to the certificate holder named to the left, but failure to do so shall impose no obligation or liability of any kind upon the insurer, its agents or representatives.				
								

2005-2006 **MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE**

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(772) 288-5604

LICENSE 2004-518-003 CERT CFE3584
PHONE (772) 519-6263 SIC NO 235991
LOCATION 3307 RAILROAD AVE STU

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>.00</u>
\$	<u>.00</u>	COL. FEE \$	<u>.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>.00</u>
TOTAL			<u>25.00</u>

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF **FENCE ERECTION CONTRACTOR**

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

23 **AUGUST** 05
DAY OF 2005
AND ENDING SEPTEMBER 30

**RICHMOND, CHESTER - QUALI
STUART FENCE COMPANY INC
3307 RAILROAD AVE
STUART FL 34997 USA**

RECEIPT of PAYMENT
LARRY C. O'STEEN 6818
99 08/23/2005 OCCI NORMAL
28845180883888
0228858023986038CK \$25.00



**MARTIN COUNTY, FLORIDA
Construction Industry Licensing Board
Certificate of Competency**

FENCE ERECTION

License Number **CFE3584** Expires: **30-SEP-06**

**RICHMOND, CHESTER J III
STUART FENCE & WIRE
3307 RAILROAD AVE
STUART, FL 34997**

[Handwritten signature]

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # 13-38-4-000-000-00030 -1

NOTICE OF COMMENCEMENT

STATE OF Florida

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE): 133 S. River Road, Sewalls Point *Lot 2 & 3 of S/D of Lot 1 of HANSON GRANT*

GENERAL DESCRIPTION OF IMPROVEMENT: INSTALL fence

OWNER: Smith
ADDRESS: 133 S. River Road, Stuart, FL 34996
PHONE #: 561-373-9588 FAX #: _____

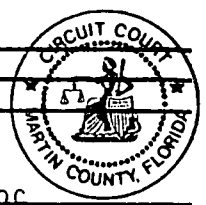
INTEREST IN PROPERTY: _____

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

CONTRACTOR: Stuart Fence
ADDRESS: P.O. BOX 2636, Stuart, FL 34995
PHONE #: 288-1151 FAX #: 288-3035

SURETY COMPANY (IF ANY) _____
ADDRESS: _____
PHONE #: _____
BOND AMOUNT: _____

THIS IS TO CERTIFY THAT THE
FOLLOWING 1 PAGE(S) IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.



MARSHA EWING, CLERK

LENDER/MORTGAGE COMPANY _____
ADDRESS: _____
PHONE #: _____

BY: T. COPUS DC
DATE: 7-13-06
FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____
ADDRESS: _____
PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____
OF _____ TO RECEIVE A COPY OF THE LIENOR'S
NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.
PHONE #: _____ FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

[Handwritten signature]
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 3 DAY OF July 2006
BY JANET Smith

PERSONALLY KNOWN _____
OR PRODUCED ID _____
TYPE OF ID 5530-423-47-552-0

NOTARY PUBLIC-STATE OF FLORIDA
[Handwritten signature]
Janis L. Loudin
Commission # DD538831
Expires: MAY 21, 2010
Bonded Thru Atlantic Bonding Co., Inc.
NOTARY SIGNATURE

INSTR # 1947115 OR BK 02162 PG 0219 RECD 07/13/2006 10:51:56 AM
Pg 0219 (1pg)
MARSHA EWING MARTIN COUNTY DEPUTY CLERK T COPUS (asst mgr)

REPORT: bldg03

MARTIN COUNTY REPORTS
 FINALED BUILDING PERMITS WITHOUT A CERTIFICATE OF OCCUPANCY
 Permits with Inspections of '8098' or '6099' or '8099' and Result of 'PASS'
 Completed between: 01-MAY-2005 and 29-NOV-2006

RUN DATE: 29-NOV-2006
 RUN TIME:
 PAGE: 4 of 6

SP01	20060071	✓	DONE	05-JUL-2006	24-JUL-2006	21-JUL-2006	013841005	EMARITA	Outstanding Fees	
Conditions of Approval										
SP01	20060073	✓	DONE	07-JUL-2006	24-JUL-2006	19-JUL-2006	263741015	CASTLE HILL	Outstanding Fees	
Conditions of Approval										
SP01	20060074	✓	DONE	07-JUL-2006	24-JUL-2006	24-JUL-2006	123841002	RIO VISTA	Outstanding Fees	
Conditions of Approval										
SP01	20060075	✓	DONE	07-JUL-2006	18-OCT-2006	09-OCT-2006	013841014	HILLCREST (SEWALL'S PT)	Outstanding Fees	
Conditions of Approval										
SP01	20060077	✓	DONE	05-JUL-2006	18-OCT-2006	11-AUG-2006	353741002	INDIALUCIE	Outstanding Fees	
Conditions of Approval										
SP01	20060078	✓	DONE	10-JUL-2006	18-OCT-2006	11-AUG-2006	263741015	CASTLE HILL	Outstanding Fees	
Conditions of Approval										
SP01	20060079	✓	DONE	07-JUL-2006	18-OCT-2006	13-OCT-2006	123841001	RIVERVIEW - SEWALL'S POINT	Outstanding Fees	
Conditions of Approval										
SP01	20060081	✓	DONE	12-JUL-2006	29-NOV-2006	27-OCT-2006	353741007	TWIN RIVERS	Outstanding Fees	
Conditions of Approval										
SP01	20060091	✓	DONE	26-JUL-2006	29-NOV-2006	27-NOV-2006	123841002	RIO VISTA	Outstanding Fees	
Conditions of Approval										
SP01	20060093	✓	DONE	21-JUL-2006	29-NOV-2006	27-OCT-2006	133841000	SEWALL'S POINT HANSON GRANT LOT 1	Outstanding Fees	
Conditions of Approval										
SP01	20060094	✓	DONE	21-JUL-2006	18-OCT-2006	06-SEP-2006	353741008	KNOWLES	Outstanding Fees	
Conditions of Approval										
SP01	20060096	✓	DONE	21-JUN-2006	18-OCT-2006	11-AUG-2006	123841002	RIO VISTA	Outstanding Fees	
Conditions of Approval										
SP01	20060097	✓	DONE	20-JUN-2006	29-NOV-2006	03-NOV-2006	013841007	LUCINDIA	Outstanding Fees	
Conditions of Approval										

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 10-27, 2006 Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7338	McCormick	Elec rough	FAIL	
4	59 N River Rd Pipe opening Forward Elec			INSPECTOR: <i>AM</i>
8203	Van Vonne	file in progress	CANCEL	
	15 S. Ridgewood Rd			INSPECTOR:
	All Am Roof. Pomeroy			
8201	Reib	Final	FAIL	
10	4 Baker St Coastal Alum			INSPECTOR: <i>AM</i>
0089		DRY-IN	PASS	
12	1 RIDGELAND CT.	ROOF REPAIR		INSPECTOR: <i>AM</i>
0093		FENCE FINAL	PASS	CLOSE
9	133 SOUTH RIVER			INSPECTOR: <i>AM</i>
0102 0080	TEPLITZ	ROOF IN PROGRESS	PASS	
1	25 N. RIVER to 15. ROAD			INSPECTOR: <i>AM</i>
0081		POOL ENCL.	PASS	
2	118 N. S.P.R.			INSPECTOR: <i>AM</i>
OTHER:	20 N. S. P.R. FINAL PASS ready for C.O.			

FRANK 529-8903
FITZPATRICK

8938

FILTRATION

SYSTEM



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	8938	DATE ISSUED:	JUNE 26, 2008
SCOPE OF WORK:	REPLACE WATER FILTRATION SYSTEM		
CONDITIONS :			
CONTRACTOR:	BENJAMIN FRANKLIN PLUMBING		
PARCEL CONTROL NUMBER:	133841000000000301	SUBDIVISION	HANSON GRANT - LOT 1
CONSTRUCTION ADDRESS:	133 S RIVER RD		
OWNER NAME:	SMITH		
QUALIFIER:	ROBERT LUDLUM	CONTACT PHONE NUMBER:	871-9494

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

RECEIVED

Date: 6-25-08

Town of Sewall's Point

DATE: 6-25-08 BUILDING PERMIT APPLICATION Permit Number: _____

OWNER/TITLEHOLDER NAME: SMITH Phone (Day) 561-373-9588 (Fax) _____

Job Site Address: 133 SOUTH RIVER ROAD City: SEWALLS POINT State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) SEWALLS POINT, S 41' OF LOT 2 & Parcel Number: 13-38-41-000-000-00030-1

Owner Address (if different): N 145.9' OF LOT 3 OF THE SID OF LOT 1 OF HANSON GRANT, ALL City: _____ State: _____ Zip: _____

Scope of work: REPLACE WATER FILTRATION SYSTEM

WILL OWNER BE THE CONTRACTOR?

If yes, Owner Builder questionnaire must accompany application YES _____ NO _____

Has a Zoning Variance ever been granted on this property? Yes _____ (Year) _____ No _____

(Must include a copy of all variance approvals with application)

CONSTRUCTION VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 14751

Notice of Commencement required when over \$2500 prior to first inspection

Is subject property located in flood hazard area? V A9 A8 X

FOR ADDITIONS AND REMODELS IN FLOOD HAZARD AREAS ONLY:

Estimated Fair Market Value prior to improvement: _____

(Fair Market Value of the Primary Structure only, Minus the land value)

*** PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION**

CONTRACTOR/Company: BENJAMIN FRANKLIN PLUMBING Phone: 772-871-9494 Fax: 772-871-9069

Street: 1631 SW SOUTH MACEDO BLVD City: PORT ST LUCIE State: FL Zip: 34984

State Registration Number: CFC1426801 State Certification Number: _____ Municipal License Number: _____

PROJECT SUPERINTENDANT: MATT BLACK CONTACT NUMBER: 772-370-1032

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQ. FOOTAGE: Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Decks/walkways: _____ Accessory Building: _____

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004 (W/2006 Rev.) National Electrical Code: 2005 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

NOTICES TO OWNERS AND CONTRACTORS:

- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AUTHORIZED AGENT SIGNATURE (required)

State of Florida, County of: Martin

This the 25 day of JUNE, 2008

by JAN SMITH who is personally

known to me or produced

as identification.

My Commission Expires: 4/30/12

CONTRACTOR SIGNATURE (required)

On State of Florida, County of: Port St. Lucie

This the 25 day of JUNE, 2008

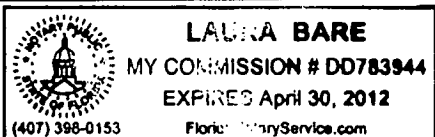
by Robert Ludlum who is personally

known to me or produced

As identification.

My Commission Expires: 4/30/12

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION PER FBC 105.3.4 ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS PER FBC 105.3.2 - PLEASE PICK UP YOUR PERMIT PROMPTLY!





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: _____

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: _____

CONSTRUCTION ADDRESS: 133 S. River Rd Stuart, FL 34996

PERMIT TYPE: RESIDENTIAL _____ COMMERCIAL

- ELECTRIC
- _____ PLUMBING
- _____ HVAC
- _____ IRRIGATION
- _____ FUEL GAS

TYPE OF SERVICE: _____ NEW SERVICE _____ EXISTING SERVICE OTHER

SCOPE OF WORK: Install GFI Outlet For Water Softener (underground feed)

VALUE OF CONSTRUCTION \$ 1200

_____ LOW VOLTAGE

TYPE OF EQUIPMENT: _____ SECURITY _____ VACUUM _____ SOUND SYSTEM _____ LANDSCAPE _____ OTHER

SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

[Signature]
SIGNATURE OF LICENSED CONTRACTOR

575 N.W. Mercantile PL #106 Pal FL 34986
ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: Ener-Phase Electric Inc / Mister Sparky - Jeffrey W. Ansprough

TELEPHONE NO: 772 336 1898 FAX NO: 866 736 9124

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: ME5457 = County
ER0015513 = State

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: _____

PARCEL CONTROL #: _____

SUBDIVISION: _____ LOT: _____ BLK: _____ PHASE: _____

SITE ADDRESS: _____

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
 governmax.com T1.13

Summary

print | | | - / - / | Address
 1 of 1

Parcel Info

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
13-38-41-000-000-00030-1	133 S RIVER RD	27633	Address	0	1

Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Summary

Property Location 133 S RIVER RD
Tax District 2200 Sewall's Point
Account # 27633
Land Use 101 0100 Single Family
Neighborhood 193170
Acres 1.729

Legal Description

Property Information
 SEWALL'S POINT, S 4.1' OF LOT 2
 & N 145.9' OF LOT 3 OF THE S/D
 OF LOT 1 OF HANSON GRANT, ALL

Search By

- Parcel ID
- Owner
- Address**
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

Owner Information

Owner Information
 SMITH, NICHOLAS S
 SMITH, JANET

Mail Information

133 SOUTH RIVER RD
 STUART FL 34996

Assessment Info

Front Ft. 1.00

Market Land Value \$2,268,000
Market Impr Value \$2,347,920
Market Total Value \$4,615,920

Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Recent Sale

Sale Amount \$880,000

Sale Date 6/4/1996
Book/Page 1181 2165

Print | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 05/01/2008



PERMIT #: _____ TAX FOLIO #: _____

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE): SEWALLS POINT, S 4.1' OF LOT 2 & N. 145.9' OF LOT 3 OF THE S/D OF LOT 1 OF HANSON GRANT, ALL
GENERAL DESCRIPTION OF IMPROVEMENT: REPLACE WATER FILTRATION SYSTEM

OWNER NAME: JAN SMITH
ADDRESS: 133 S. RIVER ROAD
PHONE NUMBER: 561-373-9588 FAX NUMBER: _____

INTEREST IN PROPERTY: _____

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

CONTRACTOR: BENJAMIN FRANKLIN PLUMBING
ADDRESS: 1631 SW S MACEDO BLVD PORT ST LUCIE FL 34984
PHONE NUMBER: 772-871-9494 FAX NUMBER: 772-871-9069

SURETY COMPANY (IF ANY): _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____
BOND AMOUNT: _____

LENDER/MORTGAGE COMPANY: _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME: _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____ FLORIDA STATUTES TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B).
PHONE NUMBER: _____ FAX NUMBER: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
(THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).
WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

[Signature]
SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

owner, JAN SMITH
SIGNATORY'S TITLE/OFFICE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 25 DAY OF JUNE, 2008

BY: LAURA BARE AS NOTARY FOR JAN SMITH
NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION _____

TYPE OF IDENTIFICATION PRODUCED _____
[Signature]
NOTARY SIGNATURE NOTARY SEAL



UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

[Signature]
(Signature of Natural Person Signing Above)

INSTR # 2092460 OR BK 02336 PG 2808 RECD 06/26/2008 02:21:19
Pg 2808 (1pg)
MARSHA EWING MARTIN COUNTY DEPUTY CLERK K Winter.com


STATE OF FLORIDA
MARTIN COUNTY
THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL
MARSHA EWING, CLERK
BY [Signature] D.C.
DATE: 6/26/2008



Removed old WATER SYSTEM UP AT THE HOUSE, TIED 1" WATERLINE
DIRECTLY INTO HOME WITH BALLVALVE.

LOCATED 2" WATER MAIN AT METER, LOCATED 1 1/2" DOMESTIC WATERLINE TEE-OFF
FOR HOME, CUT + CAPPED AT THE TEE, LOCATED 1 1/2" LINE NEAR RPZ BACKFLOW ASSEMBLY.
TEE-OFF ON 2" WATER LINE (FOR IRRIGATION) AFTER BACKFLOW ASSEMBLY NEAR FENCE,
INSTALLED NEW WATER SYSTEM AND CONNECTED BACK INTO 1 1/2" DOMESTIC WATERLINE

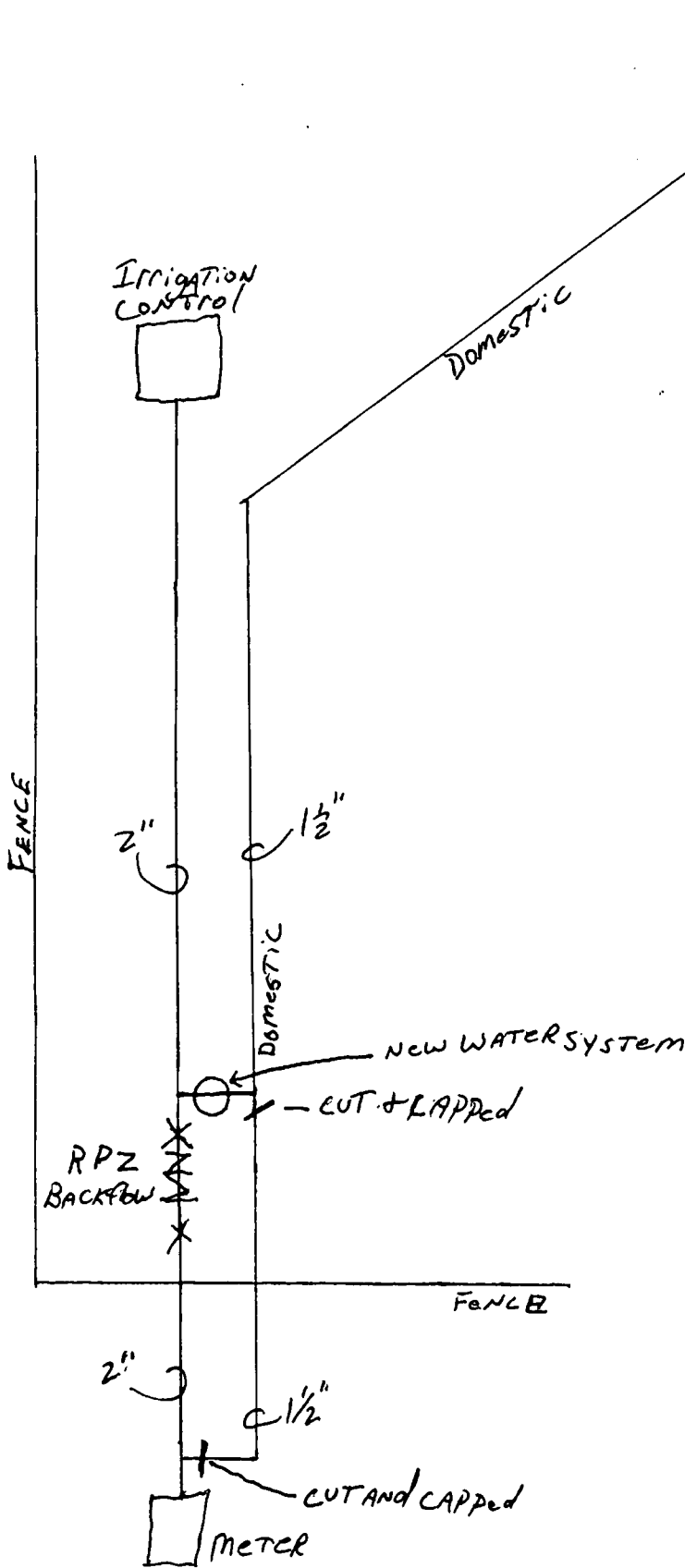
6/26/08

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN REVIEWED FOR CODE COMPLIANCE
DATE <u>6.26.08</u>
 BUILDING OFFICIAL

06/26/08

Old Water System
Removed

RESIDENTS



TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

ROAD

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed 6-30, 2008

Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8636	Villar	Final	FAIL	
5	92 N Sewalls OB			INSPECTOR: <i>JAV</i>
8814	Brush	Final	PASS	CLOSE
3	2 Mindow St Olympic Pool			INSPECTOR: <i>JAV</i>
8820	Deschane	reinspect hidown truss eng	PASS	
6	64 N River Rd JMC	*all trades	FAIL	INSPECTOR: <i>JAV</i>
8492	Vasko	meter	PASS	
4 9AM	985 River Rd OB	or call 631-2442?		INSPECTOR: <i>JAV</i>
8813	Hepworth	meter release	PASS	CONTACT F.P.L. ON INSTALL METER @ HOUSE
2	3 Briarview Sand Castle	changed breaker		INSPECTOR: <i>JAV</i>
8938	Smith	Final	PASS	CLOSE
1	133 Silver Rd Ben Franklin Plumb			INSPECTOR: <i>JAV</i>
CE	12 KNOWLES RD	FENCE W/O PERMIT	OK	OK - REFRACING BAD SLATS ON EQUIP. FENCE. INSPECTOR: <i>JAV</i>

OTHER: CE. DEL CARBID OVERGROWN. SENT N.O.V.

9852

BOATLIFT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK. A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	9852	DATE ISSUED:	AUGUST 8, 2011
SCOPE OF WORK:	INSTALL BOATLIFT		
CONDITIONS :			
CONTRACTOR:	FERREIRA CONSTUCTION		
PARCEL CONTROL NUMBER:	133841000-000-000301	SUBDIVISION	HANSONS GRANT - L 1
CONSTRUCTION ADDRESS:	133 S RIVER RD		
OWNER NAME:	SMITH		
QUALIFIER:	DICTINO GARCIA	CONTACT PHONE NUMBER:	286-5123

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE CALL 287-2455 - 8:00AM TO 4:00PM

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

Date: 8/5/2011 Permit Number: 9852

OWNER/TITLEHOLDER NAME: NICHOLAS SMITH Phone (Day) _____ (Fax) _____

Job Site Address: 133 S. RIVER RD City: STUART State: FL Zip: 34996

Legal Description SEAWALLS PT 5. LOT 2 & N LOT 3 OF LOT 1 Parcel Control Number: 13-38-41-000-000-00030-1

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Scope of work (please be specific): Install a boatlift, as shown on attached drawing.

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO X

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO N/A
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 6900-00
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8 X

FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only. Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: Ferreira Construction Co., Inc. Phone: (772) 286-5123 Fax: (772) 286-5139

Street: 100 SE Salerno Rd City: Stuart State: FL Zip: 34997

State License Number CSC 1509418 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: Casey Cass Phone Number: (772) 631-1505

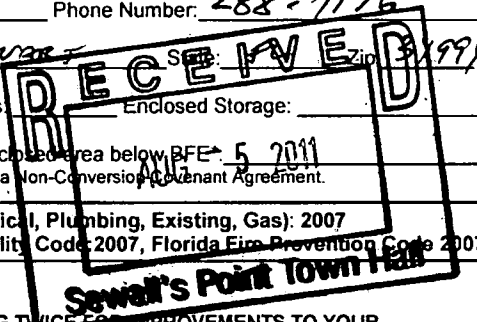
DESIGN PROFESSIONAL: STEVEN J. BROWN, INC Lic# 4049 Phone Number: 288-7176

Street: 619 E. 5th St. City: STUART State: FL Zip: 34997

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE: 5 2011
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code: 2007



NOTICES TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - 5.

*******A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*******

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)
[Signature]
State of Florida, County of: Martin
This the 20th day of June, 2011
by _____ who is personally
known to me or produced
as identification. [Signature]
Notary Public

CONTRACTOR SIGNATURE: (required)
[Signature]
On State of Florida, County of: Martin
This the 5th day of August, 2011
by Dictina Garcia who is personally
known to me or produced
As identification. [Signature]
Notary Public

My Commission Expires: August 2014

My Commission Expires: Dec. 03, 2012

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL. NOTIFICATION MUST BE GIVEN TO ALL OTHER APPLICANTS WITHIN 30 DAYS OF APPROVAL. APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE FURNISH TO US PROMPTLY!
Expires 08/02/2014
Expires: DEC. 03, 2012
BONDED THRU ATLANTIC BONDING CO., INC.

**Martin County, Florida
Laurel Kelly, C.F.A**

generated on 8/5/2011 2:42:30 PM EDT

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
13-38-41-000-000-00030-1	27633	133 S RIVER RD, SEWALL'S POINT	\$3,653,080	7/30/2011

Owner Information

Owner(Current)	SMITH NICHOLAS S SMITH JANET
Owner/Mail Address	133 SOUTH RIVER RD STUART FL 34996
Sale Date	6/4/1996
Document Book/Page	1181 2165
Document No.	
Sale Price	880000

Location/Description

Account #	27633	Map Page No.	
Tax District	2200	Legal Description	SEWALL'S POINT, S 4.1' OF LOT 2 & N 145.9' OF LOT 3 OF THE S/D OF LOT 1 OF HANSON GRANT, ALL LYING W OF RIVER RD
Parcel Address	133 S RIVER RD, SEWALL'S POINT		
Acres	1.7290		

Parcel Type

Use Code	0100 Single Family
Neighborhood	193170 LUCINDIA,RIVERVIEW(ST LUC.RVR)

Assessment Information

Market Land Value	\$1,683,000
Market Improvement Value	\$1,970,080
Market Total Value	\$3,653,080

NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: 9852 TAX FOLIO #: 13-38-41-000-000-00030-1

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE): SEWALLS PT S, LOT 2 & N. LOT 3 OF S/D LOT 1 HANSON GRANT

GENERAL DESCRIPTION OF IMPROVEMENT: BOATLIFT

OWNER NAME: NICHOLAS SMITH ADDRESS: 133 S. RIVER RD STUART 34996 PHONE NUMBER: (561) 381-6667 FAX NUMBER:

INTEREST IN PROPERTY: NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR: Ferreira Construction Co, Inc. ADDRESS: 100 SE Salema Road, Stuart, FL 34997 PHONE NUMBER: (772) 286-5123 FAX NUMBER: (772) 286-5139

SURETY COMPANY (IF ANY): N/A ADDRESS: PHONE NUMBER: FAX NUMBER: BOND AMOUNT: THIS IS TO CERTIFY THAT THE FOREGOING PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL



LENDER/MORTGAGE COMPANY: N/A ADDRESS: PHONE NUMBER: FAX NUMBER: BY: DATE: 08/19/11 D.C. MARSHA EWING, CLERK

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME: Ferreira Construction Co, Inc. ADDRESS: 100 SE Salema Road, Stuart, FL 34997 PHONE NUMBER: (772) 286-5123 FAX NUMBER: (772) 286-5139

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES OF FLORIDA STATUTES: TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), PHONE NUMBER: FAX NUMBER:

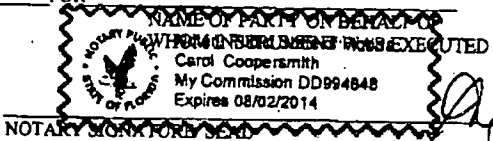
EXPIRATION DATE OF NOTICE OF COMMENCEMENT: (EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER SIGNATORY'S TITLE/OFFICE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 16 DAY OF May 20 11 BY: Nicholas S Smith AS TYPE OF AUTHORITY FOR

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION TYPE OF IDENTIFICATION PRODUCED



UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

(Signature of Natural Person Signing Above)

INSR # 228940Z DR BK 02532 PG 2905 RECD 08/22/2011 11:54:39 AM MARSHA EWING MARTIN COUNTY DEPUTY CLERK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

DOCK AND/OR PILING PERMIT LETTER OF NO OBJECTION

(I) We, GREGORY WYLER being the owner(s) of certain upland property,
 located at 135 S. RIVER RD. and adjacent and/or abutting the property of

133 S. RIVER RD. who have applied for a dock permit for construction, have read
 and reviewed the drawing of the dock and We (I) have no objection to the proposed dock, pilings or boatlift
 pursuant to the plan attached here.

[Signature]
 Signature

 Signature

STATE OF Florida
 COUNTY OF Martin

SWORN TO AND SUBSCRIBED before me this 27th day
 of June, 2011

[Signature]
 NOTARY PUBLIC

MY COMMISSION EXPIRES: August 2, 2004



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

DOCK AND/OR PILING PERMIT LETTER OF NO OBJECTION

FRANCES S. YU, TRUSTEE
 (I) We, LL TRUST DATED AUGUST 16, 2004 being the owner(s) of certain upland property,
 located at 131 S. RIVER ROAD and adjacent and/or abutting the property of

133 S. RIVER RD who have applied for a dock permit for construction, have read
 and reviewed the drawing of the dock and We (I) have no objection to the proposed dock, pilings or boatlift
 pursuant to the plan attached here.

Frances S. Yu Trustee
 Signature

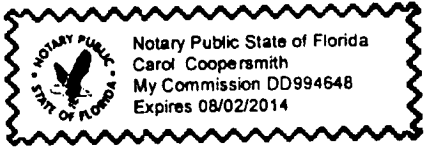
 Signature

STATE OF Florida COUNTY OF Manatee

SWORN TO AND SUBSCRIBED before me this 23rd day
 of June, 20 11

Carol Cooper Smith
 NOTARY PUBLIC

MY COMMISSION EXPIRES: August 2, 2014





Florida Department of Environmental Protection

Southeast District
Port St. Lucie Branch Office
1801 SE Hillmoor Drive, Suite C-204
Port St. Lucie, FL 34952
(772) 380-1260

Rick Scott
Governor

Jennifer Carroll
Lt. Governor

Herschel T. Vinyard Jr.
Secretary

AUG 03 2011

Nicholas Smith
133 South River Road
Stuart, FL 34996

Re: File No.: 43-0151903-002
File Name: Smith, Nick

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

Dear Mr. Smith:

On June 29, 2011, we received your application and on July 29, 2011, the application was complete, for an exemption to perform the following activities: install a boatlift, as shown on the attached drawings. The project is located in the St. Lucie River, Class III Waters, adjacent to 133 South River Road, Stuart (Section 13, Township 38 South, Range 41 East), in Martin County (27° 11' 3.89" North Latitude, 80° 11' 40.03" West Longitude).

Your application has been reviewed to determine whether it qualifies for any of three kinds of authorization that may be necessary for work in wetlands or waters of the United States. The kinds of authorization are (1) regulatory authorization, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal authorization. The authority for review and the outcomes of the reviews are listed below. Please read each section carefully. Your project may not have qualified for all three forms of authorization. If your project did not qualify for one or more of the authorizations, refer to the specific section dealing with that authorization for advice on how to obtain it.

1. Regulatory Review. -EXEMPTION VERIFIED

The Department has the authority to review your project under Part IV of Chapter 373, Florida Statutes (F.S.), Title 62, Florida Administrative Code (F.A.C.), and in accordance with operating agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F.A.C.

Based on the information you submitted, we have determined that your project is exempt from the need to obtain a DEP Environmental Resource Permit under Rule 40E-4.051(3)(b), F.A.C.

2. Proprietary Review. -GRANTED

The Department acts as staff to the Board of Trustees of the Internal Improvement Trust Fund (Board of Trustees) and issues certain authorizations for the use of sovereignty submerged

lands. The Department has the authority to review your project under Chapters 253 and 258, F.S., Chapter 18-21, F.A.C., and Section 62-343.075, F.A.C.

Your project will occur on sovereignty submerged land and will require authorization from the Board of Trustees to use public property. As staff to the Board of Trustees, we have reviewed the proposed project and have determined that, as long as it is located within the described boundaries and is consistent with the attached general consent conditions, the project qualifies for consent by rule to use sovereignty submerged lands. Therefore, pursuant to Chapter 253.77, Florida Statutes, you may consider this letter as authorization from the Board of Trustees to perform the project.

3. Federal Review (SPGP). -GRANTED

Federal authorization for the proposed project is reviewed by DEP pursuant to an agreement between the Department and the U.S. Army Corps of Engineers (Corps). The agreement is outlined in a document titled *Coordination Agreement Between the U.S. Army Corps of Engineers and the Florida Department of Environmental Protection State Programmatic General Permit, Section 10 of the Rivers and Harbor Act of 1899 and Section 404 of the Clean Water Act*.

Your project has been reviewed for compliance with a State Programmatic General Permit (SPGP). As shown on the attached drawings, the proposed project is consistent with the SPGP program. The attached Corps general conditions apply to your project. No further permitting for this activity is required by the Corps.

This exemption verification is based on the information you provided the Department and the statutes and rules in effect when the information was submitted. This verification will expire after one year, and will not be valid at any other time if site conditions materially change, the project design is modified, or the statutes or rules governing the exempt activity are amended. However, the activity may still be conducted without further notification to or verification from the Department after the one-year expiration of this verification, provided: 1) the project design does not change; 2) site conditions do not materially change; and 3) there are no changes to the statutes or rules governing the exempt activity. In the event you need to re-verify the exempt status for the activity after the one-year expiration of this verification, a new application and verification fee will be required. Any substantial modifications to the project design should be submitted to the Department for review, as changes may result in a permit being required. Conditions of compliance with the regulatory exemption are contained in Attachment A.

This letter does not relieve you from the responsibility of obtaining other permits (federal, state, or local) that may be required for the project.

NOTICE OF RIGHTS OF SUBSTANTIALLY AFFECTED PERSONS

This letter acknowledges that the proposed activity is exempt from ERP permitting requirements under Rule 40E-4.051(3)(b), F.A.C. This determination is final and effective on the date filed with the Clerk of the Department unless a sufficient petition for an administrative hearing is timely filed under sections 120.569 and 120.57 of the Florida Statutes as provided below. If a sufficient petition for an administrative hearing is timely filed, this determination automatically becomes only proposed agency action subject to the result of the administrative review process. Therefore, on the filing of a timely and sufficient petition, this action will not be final and effective until further order of the Department. The procedures for petitioning for a hearing are set forth in the attached notice.

This determination is based on the information you provided the Department and the statutes and rules in effect when the application was submitted and is effective only for the specific activity proposed. This determination shall automatically expire if site conditions materially change or the governing statutes or rules are amended. In addition, any substantial modifications in your plans should be submitted to the Department for review, as changes may result in a permit being required. In any event, this determination shall expire after one year.

Be advised that your neighbors and other parties who may be substantially affected by the proposed activity allowed under this determination of exemption have a right to request an administrative hearing on the Department's decision that the proposed activity qualifies for this exemption. Because the administrative hearing process is designed to re-determine final agency action on the application, the filing of a petition for an administrative hearing may result in a final determination that the proposed activity is not authorized under the exemption established under Rule 40E-4.051(3)(b), F.A.C.

The Department will not publish notice of this determination. Publication of this notice by you is optional and is not required for you to proceed. However, in the event that an administrative hearing is held and the Department's determination is reversed, proceeding with the proposed activity before the time period for requesting an administrative hearing has expired would mean that the activity was conducted without the required permit.

If you wish to limit the time within which all substantially affected persons may request an administrative hearing, you may elect to publish, at your own expense, the enclosed notice (Attachment A) in the legal advertisement section of a newspaper of general circulation in the county where the activity is to take place. A single publication will suffice.

If you wish to limit the time within which any specific person(s) may request an administrative hearing, you may provide such person(s), by certified mail, a copy of this determination, including Attachment A.

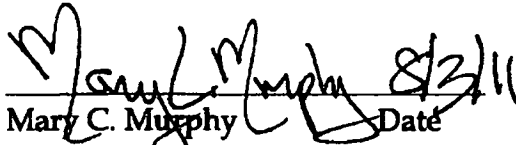
For the purposes of publication, a newspaper of general circulation means a newspaper meeting the requirements of sections 50.011 and 50.031 of the Florida Statutes. In the event

you do publish this notice, within seven days of publication, you must provide to the following address proof of publication issued by the newspaper as provided in section 50.051 of the Florida Statutes. If you provide direct written notice to any person as noted above, you must provide to the following address a copy of the direct written notice.

Florida Department of Environmental Protection
Southeast District Branch Office
1801 SE Hillmoor Drive, Suite C-204
Port St. Lucie, Florida 34952

If you have any questions, please contact Christina Macon at (772) 380-1274 or by email at Christina.Macon@dep.state.fl.us. When referring to your project, please use the FDEP file name and number listed above.

Sincerely,



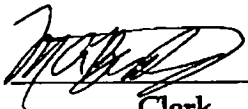
Mary C. Murphy Date
Environmental Administrator
Florida Department of Environmental Protection
Southeast District Branch Office

Enclosures

cc: Jerner & Associates, Inc., Bruce Jerner (agent), Jerner@bellsouth.net

FILING AND ACKNOWLEDGMENT

FILED, on this date, pursuant to 120.52(9),
Florida Statutes, with the designated Department
Clerk, receipt of which is hereby acknowledged.

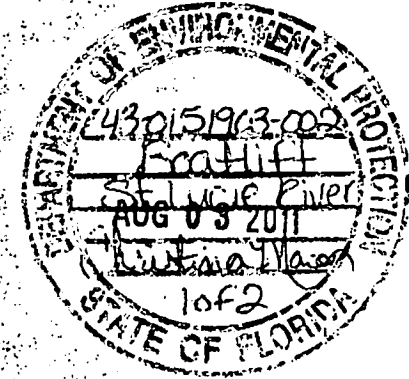
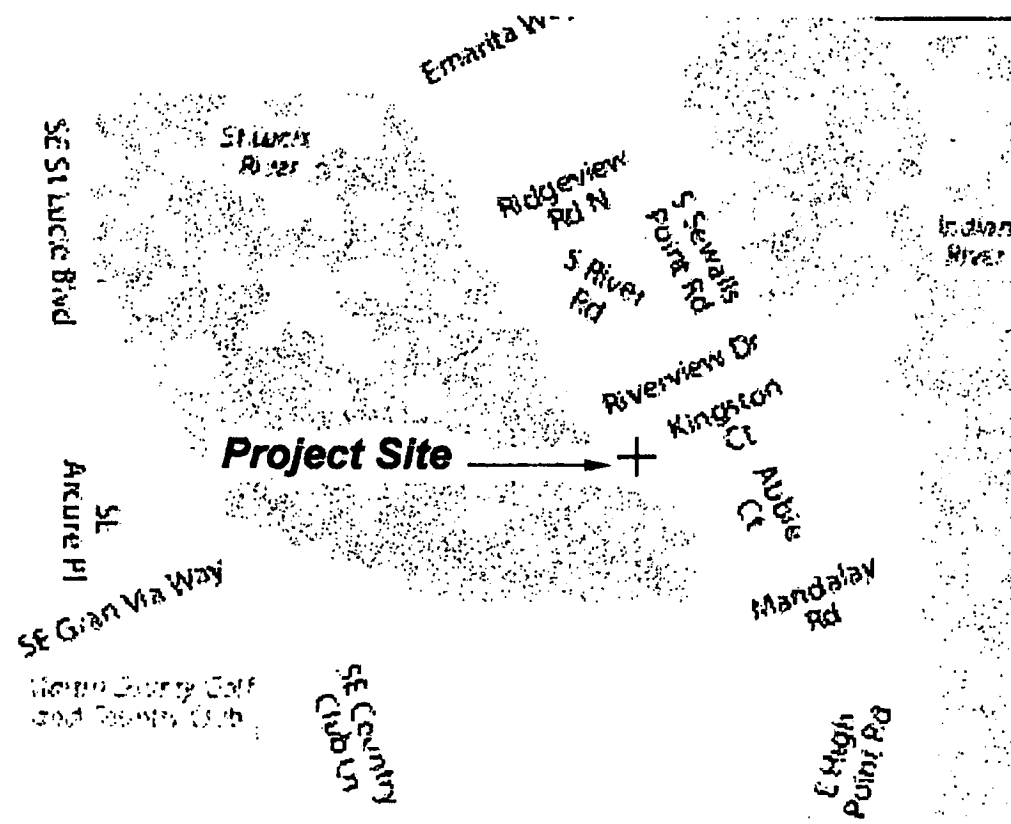
 8/3/11

Clerk Date

RECEIVED

JUN 29 2011

FL DEP PORT ST. LUCIE



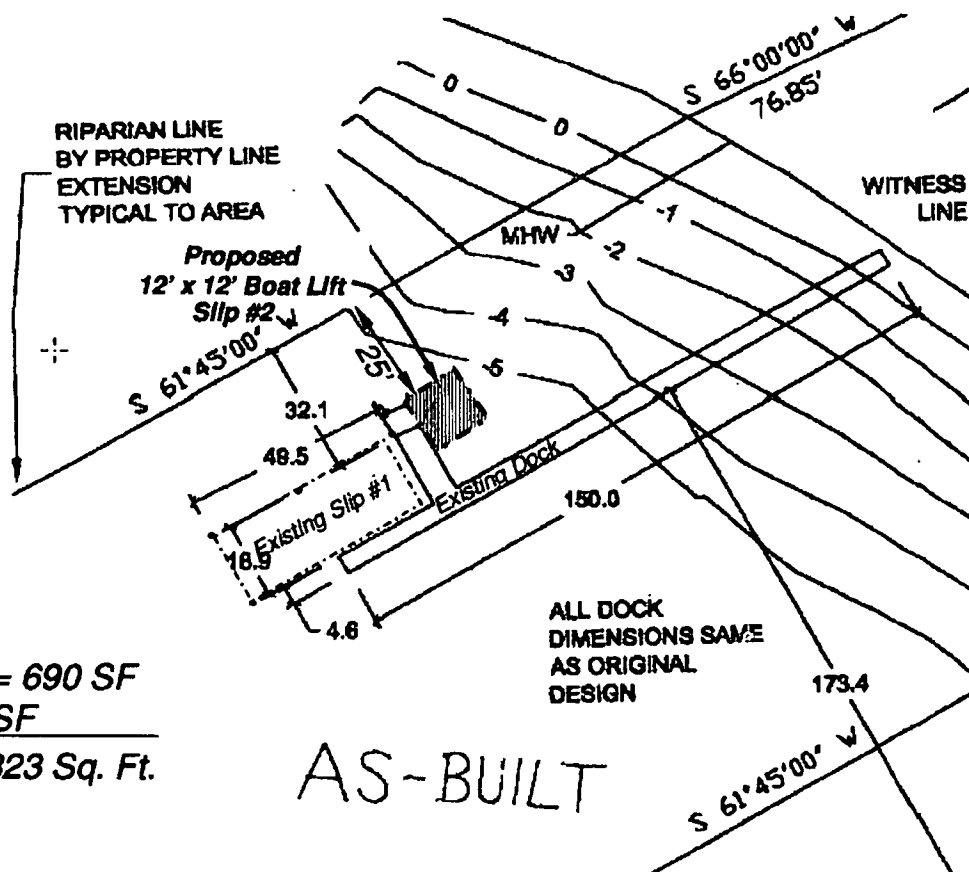
NICK SMITH
133 SOUTH RIVER ROAD
STUART



Design & Drawing by:
Jemer & Associates, Inc.
 Environmental Consulting
 110 SW 5th Street, Stuart FL 34994
 Ph. (772)283-2950/ Fax (772)283-2760

Date: 6/21/11

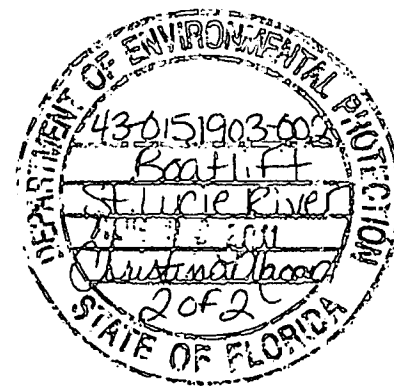
Sheet 1



150' X 4.6' Access = 690 SF
 19' X 7' Pier = 133 SF
 Total Dock Area = 823 Sq. Ft.

ALL DOCK
 DIMENSIONS SAME
 AS ORIGINAL
 DESIGN

AS-BUILT



RECEIVED

JUL 29 2011

Dept. of Environ. Protection
 Port St. Lucie

NICK SMITH
133 SOUTH RIVER ROAD
STUART



Design & Drawing by:
Jerner & Associates, Inc.
 Environmental Consulting
 110 SW 5th Street, Stuart FL 34994
 Ph. (772) 283-2950 / Fax (772) 283-2760

Date: 6/21/11

Sheet 2

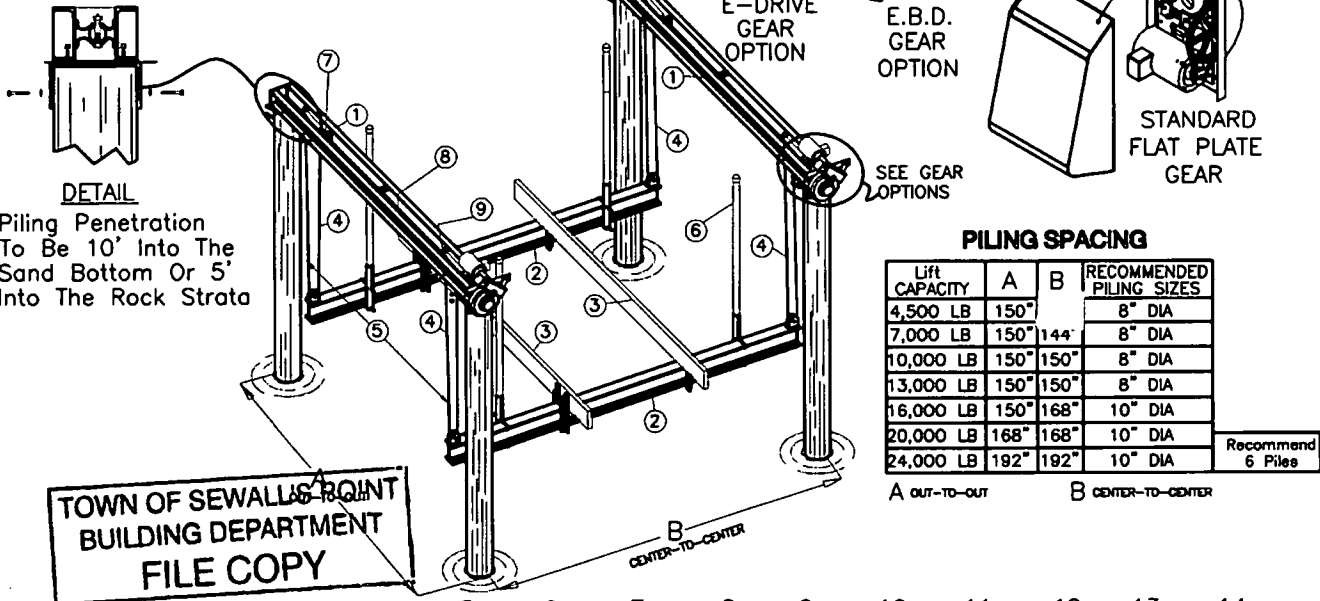


REVISED
 7/29/2011

HURRICANE BOAT LIFTS

CATEGORY 4&5 VERTICAL LIFTS ENGINEERING SPECIFICATIONS

Stainless Steel Piling Mount Bracket
With 2-3/8" Bolts Connecting The
Bracket To The Assembly.
2-3/8"x3" Stainless Steel Lag Bolts
Into The Side Of Piling



TOWN OF SEWALLS POINT
BUILDING DEPARTMENT
FILE COPY

Lift Cop.	Top Beam Channel Size	2 Cradles per lift I-Beam Size	Bunk Board (PT) Carpeted	Cable Size	Cable Spread	Guide Post Height	Bearings	Drive Shaft Size	Cable Winder Dia.	Flat Plt. Gear Ratio	E.B.D. Gear Ratio	E-Gear Ratio	Motor H.P. & Qty.	Min. Recommended Piling Size
4,500#	2 Ea. 4H x .15 2Wx.23 150" Lg.	6 Hx .19 4 Wx.29 x 132"		(4) 5/16"x20"						96 To 1	60 To 1	385 To 1	2 Each 3/4 H.P. 120/20A 240/10A	8" Dia.
7,000#	2 Ea. 5H x .15 2.25 W x.26 150" Lg.	6 Hx .19 4 Wx.29 x 144"	2"x8"x144" CARPETED	1 Part SST.	104"	72"	(4 Ea.) 2" Solid 6061-T6 ALUM.	OUTSIDE DIAMETER 1 15/16" SCH 80 GALV. PIPE	2 3/8" DIAMETER SCH 80 ALUMINUM PIPE				2 Each 1 H.P. 120/20A 240/10A	9" Dia.
10,000#	2 Ea. 6H x .17 2.5 W x.29 150" Lg.	8 Hx .23 5 Wx.35 x 150"		(4) 5/16"x30"									(2 Ea.) 3/4 H.P. 120/20A 240/10A	10" Dia.
13,000#	2 Ea. 7H x .17 2.75 W x.29 150" Lg.	8 Hx .25 5 Wx.41 x 150"		(4) 5/16"x30"									1 H.P. 120/20A 240/10A	10" Dia.
16,000#	2 Ea. 7Hx.210 3.5 W x.300 150" Lg.	10Hx.25 6 Wx.41 x 168"	3"x10"x144" Carpeted	2 Part SST.									2 Ea. 3/4 H.P. 120/20A 240/10A	10" Dia.
20,000#	2 Ea. 8H x .25 3.75 W x.41 168" Lg.	10Hx.25 6 Wx.41 x 168"	3"x10"x168" Carpeted	(4) 5/16"x45"	113"	90"	(6 Ea.) 2" Solid 6061-T6 ALUM.			480 To 1		480 To 1	(2 Ea.) 1 H.P. HEAVY DUTY 120/20A 240/10A	10" Dia.
24,000#	2 Ea. 8H x .25 3.75 W x.41 192" Lg.	10Hx.25 6 Wx.50 x 192"	3"x10"x192" Carpeted	SST. 3 Part	137"								120/20A 240/10A	10" Dia.

STRUCTURAL ENGINEERING REVIEW

THE GRAVITY AND WIND LOADS FOR THIS CONSTRUCTION HAVE BEEN CALCULATED AND THE MAIN WIND FORCE RESISTING SYSTEM AND COMPONENTS AND CLADDING OF THIS BUILDING DESIGN DO COMPLY WITH THE FLORIDA BUILDING CODE 2007 WITH THE 2009 SUPPLEMENTS.

HURRICANE BOAT LIFTS
3301 S.E. Slater Street
Stuart, Florida 34997
(772)-781-2556
Fax (772)-781-4854

Oscar M. Bermudez
Oscar M. Bermudez, PE.
Reg. Florida No. 55141

11-16-10
DATE:

B&B Engineers,
706 S. 7th STREET
FT. PIERCE, FLORIDA 34950

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

Mon

Tue

Wed

Thur

Fri

10-10-11

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9853	Smith	Final		
	133 Seawall Blvd	Boat Lift	Pass	Close
	Contractor			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9891	Roberta Breen	Final		
	101 So Sewalls Point	Garage Door	Pass	Close
	5 Strs. Up Cars David Tol	Man Door		INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
Tree	Reese	Tree		
	4 Indialucee		OK	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
Tree	Cofan	Tree		
	81 N Sewalls		OK	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

10470

DOCK

&

BOATLIFT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10470	DATE ISSUED:	JUNE 5, 2013
SCOPE OF WORK:	DOCK MODIFICATION & BOATLIFT		
CONTRACTOR:	MARLAND CONSTRUCTION		
PARCEL CONTROL NUMBER:	133841000-000-000301	SUBDIVISION	HANSONS GRANT-LOT 1
CONSTRUCTION ADDRESS:	133 S RIVER RD		
OWNER NAME:	SMITH		
QUALIFIER:	CHRIS LOUDEN	CONTACT PHONE NUMBER:	263-0667

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: 10470

Date: _____

OWNER/LESSEE NAME: NICHOLAS SMITH Phone (Day) 561-371-6667 (Fax) _____

Job Site Address: 133 SOUTH RIVER ROAD City: STUART State: FL Zip: 34996

Legal Description: EMMUS PT. LOT 2 & 3 Parcel Control Number: 13-38-41-000-000-00030-1

Fee Simple Holder Name: SKME Address: _____

City: _____ State: _____ Zip: _____ Telephone: _____

*SCOPE OF WORK (PLEASE BE SPECIFIC):

Dock Modified & Boat Lift

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application)

YES _____ NO X

Has a Zoning Variance ever been granted on this property?

YES NA (YEAR) _____ NO NA

(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 30,000.00

(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10 AE9 AE8 X

FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:

Estimated Fair Market Value prior to improvement: \$ _____

(Fair Market Value of the Primary Structure only, Minus the land value)

PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: MARLAND CONSTRUCTION Phone: 263-0667 Fax: 223-0105

Qualifiers name: CHRIS LOUDEN Street: PO BOX 1138 City: PT. SAVERNA State: FL Zip: 34992

State License Number: _____ OR: Municipality: _____ License Number: CBC 1253377

LOCAL CONTACT: CHRIS LOUDEN Phone Number: 263-0667

DESIGN PROFESSIONAL: ROGER BABER Fla. License# 43855

Street: 8521 SE KANSAS AVE City: STUART State: FL Zip: 34992 Phone Number: 214-4800

AREAS SQUARE FOOTAGE: Living: _____ Garage: 111 Covered Patios/ Porches: 111 Enclosed Storage: _____

Carpport: _____ Total under Roof _____ Elevated Deck: MAY 13 2013 Enclosed area below BFE*: _____

* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010

National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

Sewall's Point Town Hall

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER/AGENT/LESSEE - NOTARIZED SIGNATURE:

[Signature]
State of Florida, County of: Martin
On This the 21 day of January, 20 13
by _____ who is personally
known to me or produced [Signature]

As identification, [Notary Seal] Notary Public State of Florida
Carol Cooper, My Commission DD994648
My Commission Expires: Expires 08/02/2014

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:

X [Signature]
State of Florida, County of: Martin
On This the 13th day of May, 20 13
by Christopher Loudon who is personally
known to me or produced _____

As identification, [Notary Seal] Notary Public State of Florida
A. MacPherson, My Commission EE 27187
My Commission Expires: Sep 19, 2014

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 205.3.2) - ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

OK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: _____

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Nick + Jan Smith

CONSTRUCTION ADDRESS: 133 S River Road

PERMIT TYPE: RESIDENTIAL _____ COMMERCIAL

- ELECTRIC
- _____ PLUMBING
- _____ HVAC
- _____ IRRIGATION
- _____ FUEL GAS

TYPE OF SERVICE: _____ NEW SERVICE EXISTING SERVICE _____ OTHER

SCOPE OF WORK: Install new dock pedestal, new lift, +relocate 4 lights + add lights on new lift

VALUE OF CONSTRUCTION \$ 5,607.00

_____ LOW VOLTAGE
TYPE OF EQUIPMENT: _____ SECURITY _____ VACUUM _____ SOUND SYSTEM _____ LANDSCAPE _____ OTHER
SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

[Signature] 11146 SW Meadowlark Cr, Stuart 34997
SIGNATURE OF LICENSED CONTRACTOR ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: Treasure Coast Power Systems Corp
PLEASE PRINT

TELEPHONE NO: 772-631-0773 FAX NO: _____

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: EC 0002053

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: _____

PARCEL CONTROL #: _____

SUBDIVISION: _____ LOT: _____ BLK: _____ PHASE: _____

SITE ADDRESS: _____

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

**Martin County, Florida
Laurel Kelly, C.F.A**
generated on 5/13/2013 2:45:01 PM EDT
Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
13-38-41-000-000-00030-1	27633	133 S RIVER RD, SEWALL'S POINT	\$3,373,310	5/11/2013

Owner Information

Owner(Current)	SMITH NICHOLAS S SMITH JANET
Owner/Mail Address	133 S RIVER RD STUART FL 34996
Sale Date	6/4/1996
Document Book/Page	1181 2165
Document No.	
Sale Price	880000

Location/Description

Account #	27633	Map Page No.	
Tax District	2200	Legal Description	SEWALL'S POINT, S 4.1' OF LOT 2 & N 145.9' OF LOT 3 OF THE S/D OF LOT 1 OF HANSON GRANT, ALL LYING W OF RIVER RD
Parcel Address	133 S RIVER RD, SEWALL'S POINT		
Acres	1.7290		

Parcel Type

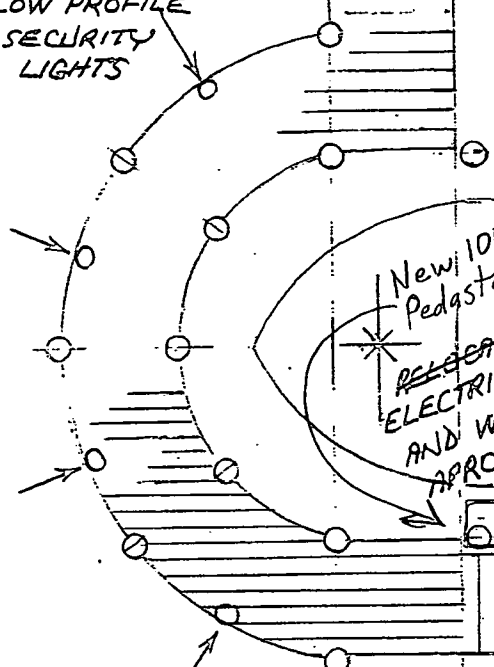
Use Code	0100 Single Family
Neighborhood	193170 LUCINDIA,RIVERVIEW(ST LUC.RVR)

Assessment Information

Market Land Value	\$1,683,000
Market Improvement Value	\$1,690,310
Market Total Value	\$3,373,310

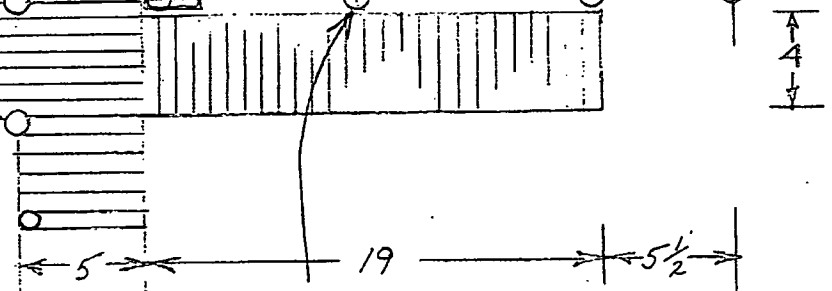


RELOCATE ~~AND~~
LOW PROFILE
SECURITY
LIGHTS



New 100A
Pedestal on existing
Feed
RELOCATE
ELECTRICAL BOX
AND WATER SPIGOT
APPROX 2' EASTWARD

INSTALL FLOOD
LIGHTS ON UPPER
HORIZONTAL LIFT
BARS 6 2 Lamp T₈
Vapor proof - 120V
3 on each side - photo



PROVIDE ELECTRICAL
POWER TO CONTROL
BOX FOR NEW BOAT
LIFT
240V 30A
3 #10's + 1 #10 Gnd ~~1 1/2"~~

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

Electrical Load Calculations

Electrical Contractor: Treasure Coast Power Systems License No. EC 0002053
 Phone #: 772-631-0773 Fax #: _____
 Project: Nick Smith Location: 133 S River Road
 Existing Service Feeder Size: parallel 3/0 Existing Panel Size: 2-225A
 Main Breaker Size: 2-225A Number of Breakers: _____

Existing Loads

<u>12500</u> Sq. Ft. X 3 watts per sq. ft.....	<u>37500</u> watts
<u>2</u> Appliance cir. @1500 watts each.....	<u>3000</u> watts
<u>1</u> Laundry cir. @ 1500 watts each.....	<u>1500</u> watts
Range @ 8 kw.....	_____ watts
<u>1</u> Dishwasher and disposal @ 1500 watts each.....	<u>3000</u> watts
<u>1</u> Microwave @ 2000 watts.....	<u>2000</u> watts
<u>1</u> Water heater @ 4.5 kw.....	<u>4500</u> watts
Tank less water heater.....	_____ watts
<u>1</u> Dryer @ 5 kw.....	<u>5000</u> watts
<u>2</u> Refrigerator @ 1500 watts.....	<u>3000</u> watts
Bathroom 1 @ 1500 watts.....	_____ watts
<u>1</u> Sprinkler Pump.....	<u>2300</u> watts
Other.....	_____ watts
Other.....	_____ watts
Other.....	_____ watts
	<u>61800</u> Subtotal Watts

New Loads

Pool pump.....	_____ watts
Pool light.....	_____ watts
Heat pump.....	_____ watts
Chlorine generator.....	_____ watts
Blower.....	_____ watts
<u>X</u> Boatlift.....	<u>4600</u> watts
<u>X</u> Other <u>6 new lights</u>	<u>360</u> watts
Other.....	_____ watts
Other.....	_____ watts

66760 Total Watts

First 10 kw @ 100%.....	<u>10000</u> watts
Remainder @ 40%.....	<u>22704</u> watts
A/C heat @ 100%.....	<u>30000</u> watts

Total watts 62704 Divided by 240 volts = 261 Amps 600 Amp service provided

Prepared by: Derek Villar Date: 5/28/13



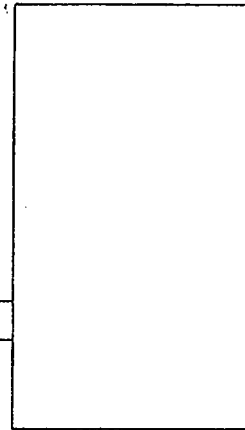
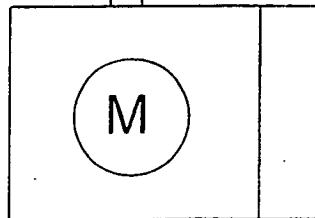
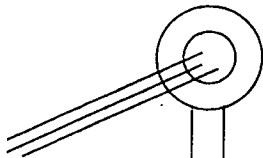
TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

ELECTRICAL RISER PLAN

For Temporary Power Pole and Single Family Service Change Only

ALL NEW SERVICES (INCLUDING SERVICE CHANGES) MUST BE INSTALLED AT OR ABOVE THE BASE FLOOD ELEVATION. IF YOU ARE UNSURE OF THE BFE ON IN THE AREA OF YOUR PROJECT, PLEASE CALL THE BUILDING

TYPE OF SERVICE:
 OVERHEAD SERVICE



Service size 600 Amps
Conductor size parallel 3/0
Meter Main _____
Meter Can only X
Service Change _____
New Installation _____

UNDERGROUND

Grounding Electrode Conductor Size

- # 6
- # 4
- # 2
- Other _____





**FLORIDA DEPARTMENT OF
ENVIRONMENTAL PROTECTION**

SOUTHEAST DISTRICT BRANCH OFFICE
1801 SE HILLMOOR DRIVE, SUITE C-204
PORT ST. LUCIE, FL 34952
772-380-1260

RICK SCOTT
GOVERNOR

JENNIFER CARROLL
LT. GOVERNOR

HERSCHEL T. VINYARD JR.
SECRETARY

March 1, 2013

Nicholas Smith

133 S. River Road

Stuart, FL 34996

Via e-mail: oldreliable1@bellsouth.net

Re: File No.: 43-0315415-001

File Name: Smith, Nicholas

Dear Mr. Smith:

This letter shall supercede the previous letter (issued January 8, 2013) and only differs from the previous letter in that it grants the Federal Review (SPGP) found below.

On November 28, 2012, we received your application, and on December 12, 2012, the application was complete, for an exemption to perform the following activities: 1) install a boatlift; 2) remove a section of the existing dock; and (3) install a 120 ft² section of dock onto an existing 875 ft² dock for a total dock square footage of 995 ft². The project is located in the St. Lucie River, Class III Waters, adjacent to 133 S. River Road, Stuart, (Section 13, Township 38 South, Range 41 East), in Martin County (27° 11' 14.18" North Latitude, 80° 11' 38.69" West Longitude).

Your application has been reviewed to determine whether it qualifies for any of three kinds of authorization that may be necessary for works in wetlands or waters of the United States. The kinds of authorization are (1) regulatory authorization, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal authorization (State Programmatic General Permit). The authority for review and the outcomes of the reviews are listed below. Please read each section carefully. Your project **may not** have qualified for all three forms of authorization. If your project did not qualify for one or more of the authorizations, refer to the specific section dealing with that authorization for advice on how to obtain it.

1. Regulatory Review. – EXEMPTION VERIFIED

The Department has reviewed the submitted information and has determined that the project is not expected to cause the release of pollutants in sufficient quantity, quality, content, or character with respect to the circumstances surrounding the location, use, and operation of the project, as to contribute to pollution in contravention of the provisions of Chapters 373 and 403, Florida Statutes (F.S.), or Title 62, Florida Administrative Code (F.A.C.).

Therefore, based solely upon the documents submitted to the Department, the project to remove a section of the existing dock has been determined to qualify as an activity that is exempt from the need for a DEP Environmental Resource Permit pursuant to Chapter 373.406(6), F.S.

Based on the information you submitted, we have determined that your project to install a boatlift and install a 120 ft² section of dock onto an existing 875 ft² dock for a total dock square footage of 995 ft² is exempt from the need to obtain a DEP Environmental Resource Permit under Rule 40E-4.051(3)(b), F.A.C.

This determination is applicable only pursuant to the statutes and rules in effect at the time the information was submitted. This determination may not be valid in the event subsequent changes occur in the applicable statutes and rules of the Department. Pursuant to Rule 62-302, F.A.C., activities that qualify for this exemption must be constructed and operated using appropriate best management practices and in a manner that does not cause water quality violations.

The determination that your project qualifies as an exempt activity pursuant to Chapter 373.406(6), F.S., may be revoked if the installation is substantially modified, or if the basis for the exemption is determined to be materially incorrect, or if the installation results in water quality violations. Any changes made in the construction plans or location of the project may necessitate a permit or certification from the Department. Therefore, you are advised to contact the Department before beginning the project and before beginning any work in waters or wetlands which is not specifically described in your submittal.

2. Proprietary Review. –GRANTED

The Department acts as staff to the Board of Trustees of the Internal Improvement Trust Fund (Board of Trustees) and issues certain authorizations for the use of sovereignty submerged lands. The Department has the authority to review your project under Chapters 253 and 258, F.S., and 18-21, F.A.C., and Section 62-343.075, F.A.C.

Your project will occur on sovereignty submerged land and will require authorization from the Board of Trustees to use public property. As staff to the Board of Trustees, we have reviewed the proposed project and have determined that, as long as they are located within the described boundaries and are consistent with the attached general consent conditions, the project qualify for a consent by rule to use sovereignty submerged lands. Therefore, pursuant to Chapter 253.77, Florida Statutes, you may consider this letter as authorization from the Board of Trustees to perform the project.

3. Federal Review (SPGP) GRANTED

Federal authorization for the proposed project is reviewed by DEP pursuant to an agreement between the Department and the U.S. Army Corps of Engineers (Corps). The agreement is outlined in a document titled *Coordination Agreement Between the U.S. Army Corps of Engineers and the Florida Department of Environmental Protection State Programmatic General Permit, Section 10 of the Rivers and Harbor Act of 1899 and Section 404 of the Clean Water Act*.

Your project has been reviewed for compliance with a State Programmatic General Permit (SPGP). As shown on the attached drawings, the proposed project is consistent with the SPGP program. The attached Corps general conditions apply to your project. No further permitting for this activity is required by the Corps. Federal authorization for the proposed project is reviewed

by DEP pursuant to an agreement between the Department and the U.S. Army Corps of Engineers (Corps). The agreement is outlined in a document titled *Coordination Agreement Between the U.S. Army Corps of Engineers and the Florida Department of Environmental Protection State Programmatic General Permit, Section 10 of the Rivers and Harbor Act of 1899 and Section 404 of the Clean Water Act*.

This exemption verification is based on the information you provided the Department and the statutes and rules in effect when the information was submitted. This verification will expire after one year, and will not be valid at any other time if site conditions materially change, the project design is modified, or the statutes or rules governing the exempt activity are amended. However, the activity may still be conducted without further notification to or verification from the Department after the one-year expiration of this verification, provided: 1) the project design does not change; 2) site conditions do not materially change; and 3) there are no changes to the statutes or rules governing the exempt activity. In the event you need to re-verify the exempt status for the activity after the one-year expiration of this verification, a new application and verification fee will be required. Any substantial modifications to the project design should be submitted to the Department for review, as changes may result in a permit being required. Conditions of compliance with the regulatory exemption are contained in Attachment A.

This letter does not relieve you from the responsibility of obtaining other permits (federal, state, or local) that may be required for the project.

NOTICE OF RIGHTS OF SUBSTANTIALLY AFFECTED PERSONS

This letter acknowledges that the proposed activities are exempt from ERP permitting requirements under Chapter 373.406(6), F.S. and Rule 40E-4.051(3)(b), F.A.C. This determination is final and effective on the date filed with the Clerk of the Department unless a sufficient petition for an administrative hearing is timely filed under sections 120.569 and 120.57 of the Florida Statutes as provided below. If a sufficient petition for an administrative hearing is timely filed, this determination automatically becomes only proposed agency action subject to the result of the administrative review process. Therefore, on the filing of a timely and sufficient petition, this action will not be final and effective until further order of the Department. The procedures for petitioning for a hearing are set forth in the attached notice.

This determination is based on the information you provided the Department and the statutes and rules in effect when the application was submitted and is effective only for the specific activity proposed. This determination shall automatically expire if site conditions materially change or the governing statutes or rules are amended. In addition, any substantial modifications in your plans should be submitted to the Department for review, as changes may result in a permit being required. In any event, this determination shall expire after one year.

Be advised that your neighbors and other parties who may be substantially affected by the proposed activity allowed under this determination of exemption have a right to request an administrative hearing on the Department's decision that the proposed activity qualifies for this exemption. Because the administrative hearing process is designed to redetermine final agency action on the application, the filing of a petition for an administrative hearing may result in a

final determination that the proposed activities are not authorized under the exemption established under Chapter 373.406(6), F.S. and Rule 40E-4.051(3)(b), F.A.C.

The Department will not publish notice of this determination. Publication of this notice by you is optional and is not required for you to proceed. However, in the event that an administrative hearing is held and the Department's determination is reversed, proceeding with the proposed activity before the time period for requesting an administrative hearing has expired would mean that the activity was conducted without the required permit.

If you wish to limit the time within which all substantially affected persons may request an administrative hearing, you may elect to publish, at your own expense, the enclosed notice (Attachment A) in the legal advertisement section of a newspaper of general circulation in the county where the activity is to take place. A single publication will suffice.

If you wish to limit the time within which any specific person(s) may request an administrative hearing, you may provide such person(s), by certified mail, a copy of this determination, including Attachment A.

For the purposes of publication, a newspaper of general circulation means a newspaper meeting the requirements of sections 50.011 and 50.031 of the Florida Statutes. In the event you do publish this notice, within seven days of publication, you must provide to the following address proof of publication issued by the newspaper as provided in section 50.051 of the Florida Statutes. If you provide direct written notice to any person as noted above, you must provide to the following address a copy of the direct written notice.

Florida Department of Environmental Coordination
Southeast District Branch Office
1801 SE Hillmoor Drive, Suite C-204
Port St. Lucie, Florida 34952

If you have any questions, please contact Mary Zavash at (772) 380-1263 or by email at mary.zavash@dep.state.fl.us. When referring to your project, please use the FDEP file name and number listed above.

Sincerely,



J.M. King
Environmental Manager
Submerged Lands and Environmental Resources Coordination

3/1/13

Date

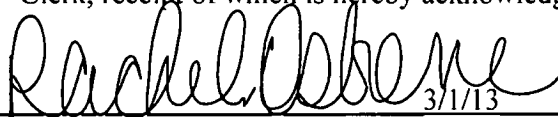
JMK/mz

Enclosures

cc: Samantha Rice, USACOE Palm Beach Gardens, FDEP-SP@usace.army.mil
Bruce Jerner, Jerner@bellsouth.net
Sewall's Point, Town Manager Robert L. Kellogg, rkellogg@sewallspoint.martin.fl.us

FILING AND ACKNOWLEDGMENT

FILED, on this date, pursuant to 120.52(9),
Florida Statutes, with the designated Department
Clerk, receipt of which is hereby acknowledged.


_____ 3/1/13
Clerk Date

GENERAL CONSENT CONDITIONS:

- (1) Authorizations are valid only for the specified activity or use. Any unauthorized deviation from the specified activity or use and the conditions for undertaking that activity or use shall constitute a violation. Violation of the authorization shall result in suspension or revocation of the grantee's use of the sovereignty submerged land unless cured to the satisfaction of the Board.
- (2) Authorizations convey no title to sovereignty submerged land or water column, nor do they constitute recognition or acknowledgment of any other person's title to such land or water.
- (3) Authorizations may be modified, suspended or revoked in accordance with their terms or the remedies provided in Sections 253.04 and 258.46, F.S., or Chapter 18-14, F.A.C.
- (4) Structures or activities shall be constructed and used to avoid or minimize adverse impacts to sovereignty submerged lands and resources.
- (5) Construction, use, or operation of the structure or activity shall not adversely affect any species which is endangered, threatened or of special concern, as listed in Rules 68A-27.003, 68A-27.004, and 68A-27.005, F.A.C.
- (6) Structures or activities shall not unreasonably interfere with riparian rights. When a court of competent jurisdiction determines that riparian rights have been unlawfully affected, the structure or activity shall be modified in accordance with the court's decision.
- (7) Structures or activities shall not create a navigational hazard.
- (8) Structures shall be maintained in a functional condition and shall be repaired or removed if they become dilapidated to such an extent that they are no longer functional. This shall not be construed to prohibit the repair or replacement subject to the provisions of Rule 18-21.005, F.A.C., within one year, of a structure damaged in a discrete event such as a storm, flood, accident, or fire.
- (9) Structures or activities shall be constructed, operated, and maintained solely for water dependent purposes, or for non-water dependent activities authorized under paragraph 18-21.004(1)(f), F.A.C., or any other applicable law.

STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
NOTICE OF DETERMINATION OF EXEMPTION

The Department of Environmental Protection gives notice that the project to install a boatlift; remove a section of the existing dock; and install a 120 ft² section of dock onto an existing 875 ft² dock for a total dock square footage of 995 ft², located in the St. Lucie River, Class III Waters, adjacent to 133 S. River Road, Stuart, (Section 13, Township 38 South, Range 41 East), in Martin County (27° 11' 14.18" North Latitude, 80° 11' 38.69" West Longitude) has been determined to be exempt from requirements to obtain an environmental resource permit.

A person whose substantial interests are affected by the Department's action may petition for an administrative proceeding (hearing) under sections 120.569 and 120.57 of the Florida Statutes. The petition must contain the information set forth below and must be filed (received by the clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000.

Mediation is not available.

If a timely and sufficient petition for an administrative hearing is filed, other persons whose substantial interests will be affected by the outcome of the administrative process have the right to petition to intervene in the proceeding. Intervention will be permitted only at the discretion of the presiding officer upon the filing of a motion in compliance with rule 28-106.205 of the Florida Administrative Code.

In accordance with rule 62-110.106(3), F.A.C., petitions for an administrative hearing must be filed within 21 days of publication of the notice or receipt of written notice, whichever occurs first. Under rule 62-110.106(4) of the Florida Administrative Code, a person whose substantial interests are affected by the Department's action may also request an extension of time to file a petition for an administrative hearing. The Department may, for good cause shown, grant the request for an extension of time. Requests for extension of time must be filed with the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000 prior to the applicable deadline. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon. Upon motion by the requesting party showing that the failure to file a request for an extension of time before the deadline was the result of excusable neglect, the Department may also grant the requested extension of time.

The petitioner shall mail a copy of the petition to the applicant at the address indicated above at the time of filing. The failure of any person to file a petition for an administrative hearing within the appropriate time period shall constitute a waiver of that right.

A petition that disputes the material facts on which the Department's action is based must contain the following information:

- (a) The name and address of each agency affected and each agency's file or identification number, if known;
- (b) The name, address, and telephone number of the petitioner; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding; and an explanation of how the petitioner's substantial interests are or will be affected by the agency determination;
- (c) A statement of when and how the petitioner received notice of the agency decision;
- (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;
- (e) A concise statement of the ultimate facts alleged, including the specific facts the petitioner contends warrant reversal or modification of the agency's proposed action;
- (f) A statement of the specific rules or statutes that the petitioner contends require reversal or modification of the agency's proposed action; and
- (g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wishes the agency to take with respect to the agency's proposed action.

A petition that does not dispute the material facts on which the Department's action is based shall state that no such facts are in dispute and otherwise shall contain the same information as set forth above, as required by rule 28-106.301.

Under sections 120.569(2)(c) and (d) of the Florida Statutes, a petition for administrative hearing shall be dismissed by the agency if the petition does not substantially comply with the above requirements or is untimely filed.

Complete copies of all documents relating to this determination of exemption are available for public inspection during normal business hours, 8:00 a.m. to 5:00 p.m., Monday through Friday, at the Southeast District Branch Office, 1801 SE Hillmoor Drive, Suite C-204 Port St. Lucie, Florida.

GENERAL CONDITIONS FOR FEDERAL AUTHORIZATION FOR SPGP IV-R1

1. The time limit for completing the work authorized ends on July 25, 2016.
2. You must maintain the activity authorized by this permit in good condition and in conformance with the terms and conditions of this permit. You are not relieved of this requirement if you abandon the permitted activity, although you may make a good faith transfer to a third party in compliance with General Condition 4 below. Should you wish to cease to maintain the authorized activity or should you desire to abandon it without a good faith transfer, you must obtain a modification of this permit from this office, which may require restoration of the area.
3. If you discover any previously unknown historic or archeological remains while accomplishing the activity authorized by this permit, you must immediately notify this office of what you have found. We will initiate the Federal and State coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.
4. If you sell the property associated with this permit, you must obtain the signature and mailing address of the new owner in the space provided below and forward a copy of the permit to this office to validate the transfer of this authorization.
5. If a conditioned water quality certification has been issued for your project, you must comply with the conditions specified in the certification as special conditions to this permit.
6. You must allow representatives from this office to inspect the authorized activity at any time deemed necessary to ensure that it is being or has been accomplished in accordance with the terms and conditions of your permit.

Further Information:

1. Limits of this authorization.
 - a. This permit does not obviate the need to obtain other Federal, State, or local authorizations required by law.
 - b. This permit does not grant any property rights or exclusive privileges.
 - c. This permit does not authorize any injury to the property or rights of others.
 - d. This permit does not authorize interference with any existing or proposed Federal projects.
2. Limits of Federal Liability. In issuing this permit, the Federal Government does not assume any liability for the following:
 - a. Damages to the permitted project or uses thereof as a result of other permitted or unpermitted activities or from natural causes.
 - b. Damages to the permitted project or uses thereof as a result of current or future activities undertaken by or on behalf of the United States in the public interest.
 - c. Damages to persons, property, or to other permitted or unpermitted activities or structures caused by the activity authorized by this permit.
 - d. Design or Construction deficiencies associated with the permitted work.

e. Damage claims associated with any future modification, suspension, or revocation of this permit.

3. Reliance on Applicant's Data: The determination of this office that issuance of this permit is not contrary to the public interest was made in reliance on the information you provided.

4. Reevaluation of Permit Decision: This office may reevaluate its decision on this permit at any time the circumstances warrant. Circumstances that could require a reevaluation include, but are not limited to, the following:

- a. You fail to comply with the terms and conditions of this permit.
- b. The information provided by you in support of your permit application proves to have been false, incomplete, or inaccurate (see 3 above).
- c. Significant new information surfaces which this office did not consider in reaching the original public interest decision.

5. Such a reevaluation may result in a determination that it is appropriate to use the suspension, modification, and revocation procedures contained in 33 CFR 325.7 or enforcement procedures such as those contained in 33 CFR 326.4 and 326.5. The referenced enforcement procedures provide for the issuance of an administrative order requiring you comply with the terms and conditions of your permit and for the initiation of legal action where appropriate. You will be required to pay for any corrective measures ordered by this office, and if you fail to comply with such directive, this office may in certain situations (such as those specified in 33 CER 209.170) accomplish the corrective measures by contract or otherwise and bill you for the cost.

6. When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. To validate the transfer of this permit and the associated liabilities associated with compliance with its terms and conditions, have the transferee sign and date below.

(TRANSFEEE-SIGNATURE) (DATE) _____

(NAME-PRINTED)

(ADDRESS)

STANDARD MANATEE CONDITIONS FOR IN-WATER WORK

2011

The permittee shall comply with the following conditions intended to protect manatees from direct project effects:

- a. All personnel associated with the project shall be instructed about the presence of manatees and manatee speed zones, and the need to avoid collisions with and injury to manatees. The permittee shall advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act, the Endangered Species Act, and the Florida Manatee Sanctuary Act.
- b. All vessels associated with the construction project shall operate at "Idle Speed/No Wake" at all times while in the immediate area and while in water where the draft of the vessel provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.
- c. Siltation or turbidity barriers shall be made of material in which manatees cannot become entangled, shall be properly secured, and shall be regularly monitored to avoid manatee entanglement or entrapment. Barriers must not impede manatee movement.
- d. All on-site project personnel are responsible for observing water-related activities for the presence of manatee(s). All in-water operations, including vessels, must be shutdown if a manatee(s) comes within 50 feet of the operation. Activities will not resume until the manatee(s) has moved beyond the 50-foot radius of the project operation, or until 30 minutes elapses if the manatee(s) has not reappeared within 50 feet of the operation. Animals must not be herded away or harassed into leaving.
- e. Any collision with or injury to a manatee shall be reported immediately to the Florida Fish and Wildlife Conservation Commission (FWC) Hotline at 1-888-404-3922. Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Jacksonville (1-904-731-3336) for north Florida or Vero Beach (1-772-562-3909) for south Florida, and to FWC at ImperiledSpecies@myFWC.com
- f. Temporary signs concerning manatees shall be posted prior to and during all in-water project activities. All signs are to be removed by the permittee upon completion of the project. Temporary signs that have already been approved for this use by the FWC must be used. One sign which reads *Caution: Boaters* must be posted. A second sign measuring at least 8 ½" by 11" explaining the requirements for "Idle Speed/No Wake" and the shut down of in-water operations must be posted in a location prominently visible to all personnel engaged in water-related activities. These signs can be viewed at MyFWC.com/manatee. Questions concerning these signs can be sent to the email address listed above.



UNITED STATES DEPARTMENT OF COMMERCE
National Oceanic and Atmospheric Administration
National Marine Fisheries Service
Southeast Regional Office
263 13th Avenue South
St. Petersburg, FL 33701

SEA TURTLE AND SMALLTOOTH SAWFISH CONSTRUCTION CONDITIONS

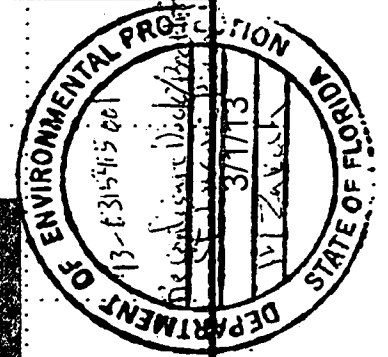
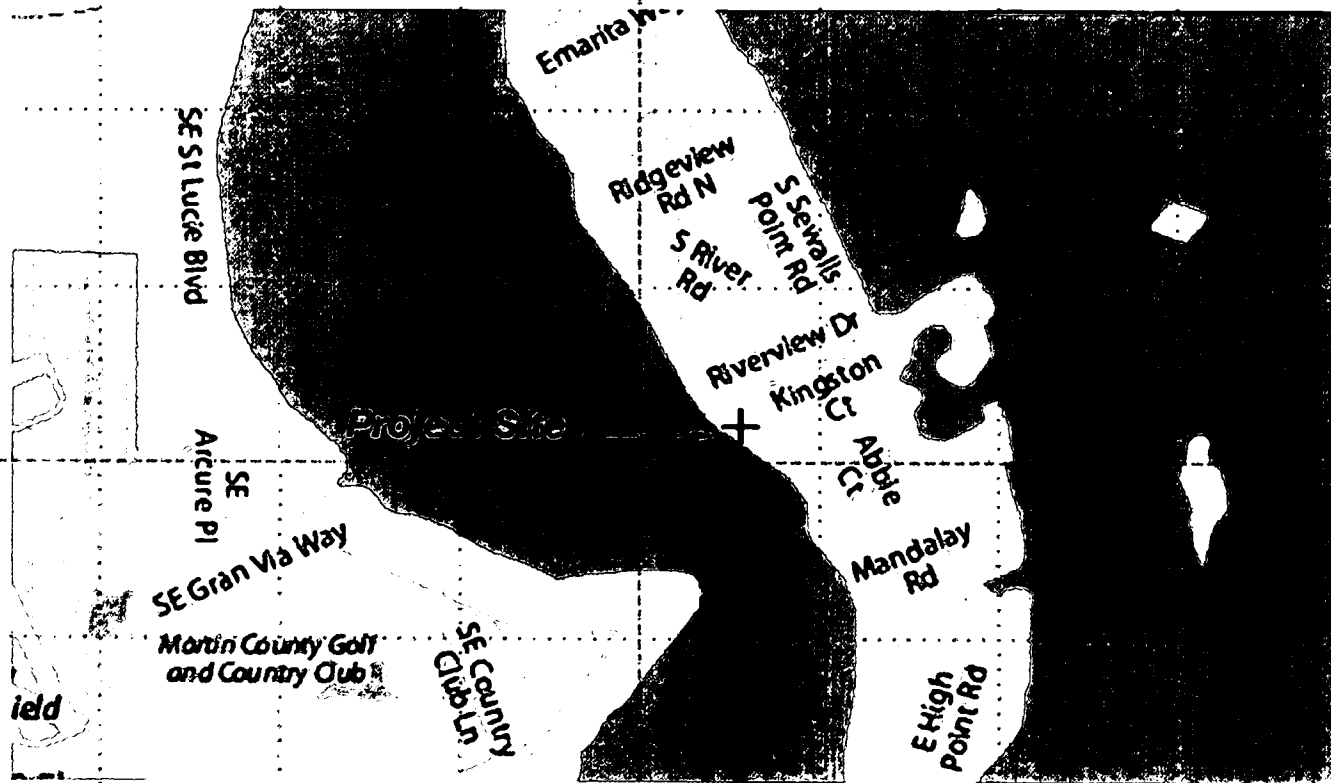
The permittee shall comply with the following protected species construction conditions:

- a. The permittee shall instruct all personnel associated with the project of the potential presence of these species and the need to avoid collisions with sea turtles and smalltooth sawfish. All construction personnel are responsible for observing water-related activities for the presence of these species.
- b. The permittee shall advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing sea turtles or smalltooth sawfish, which are protected under the Endangered Species Act of 1973.
- c. Siltation barriers shall be made of material in which a sea turtle or smalltooth sawfish cannot become entangled, be properly secured, and be regularly monitored to avoid protected species entrapment. Barriers may not block sea turtle or smalltooth sawfish entry to or exit from designated critical habitat without prior agreement from the National Marine Fisheries Service's Protected Resources Division, St. Petersburg, Florida.
- d. All vessels associated with the construction project shall operate at "no wake/idle" speeds at all times while in the construction area and while in water depths where the draft of the vessel provides less than a four-foot clearance from the bottom. All vessels will preferentially follow deep-water routes (e.g., marked channels) whenever possible.
- e. If a sea turtle or smalltooth sawfish is seen within 100 yards of the active daily construction/dredging operation or vessel movement, all appropriate precautions shall be implemented to ensure its protection. These precautions shall include cessation of operation of any moving equipment closer than 50 feet of a sea turtle or smalltooth sawfish. Operation of any mechanical construction equipment shall cease immediately if a sea turtle or smalltooth sawfish is seen within a 50-ft radius of the equipment. Activities may not resume until the protected species has departed the project area of its own volition.
- f. Any collision with and/or injury to a sea turtle or smalltooth sawfish shall be reported immediately to the National Marine Fisheries Service's Protected Resources Division (727-824-5312) and the local authorized sea turtle stranding/rescue organization.
- g. Any special construction conditions, required of your specific project, outside these general conditions, if applicable, will be addressed in the primary consultation.

Revised: March 23, 2006

O:\forms\Sea Turtle and Smalltooth Sawfish Construction Conditions.doc





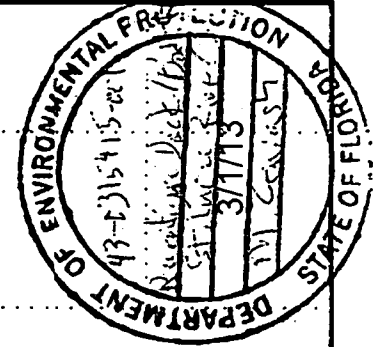
NICK SMITH
133 SOUTH RIVER ROAD
STUART



Design & Drawing by
Jerner & Associates, Inc.
 Environmental Consulting
 113 SW 5th Street, Stuart FL 34994
 Ph: (772) 253-2950 / Fax: (772) 253-2760

Date: 10/2/12

Sheet 1



Existing Dolphin Piles

PROPOSED BOAT LIFT

Approx. Riparian Line

25' Riparian Setback

Existing Boat Lift

Finger Pier = 75 SF

125 SF

24' X 5' ARC
120 SF

675 SF

Remove Existing Dock Section

ST. LUCIE RIVER

80' +/- to S. Riparian Line

160' +/- Shoreline (NTS)

NICK SMITH
133 SOUTH RIVER ROAD
STUART



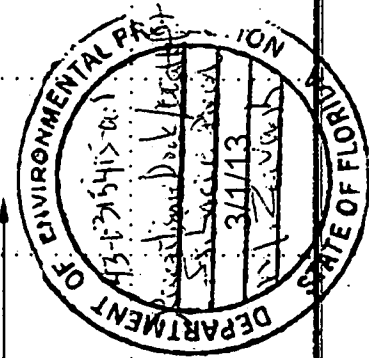
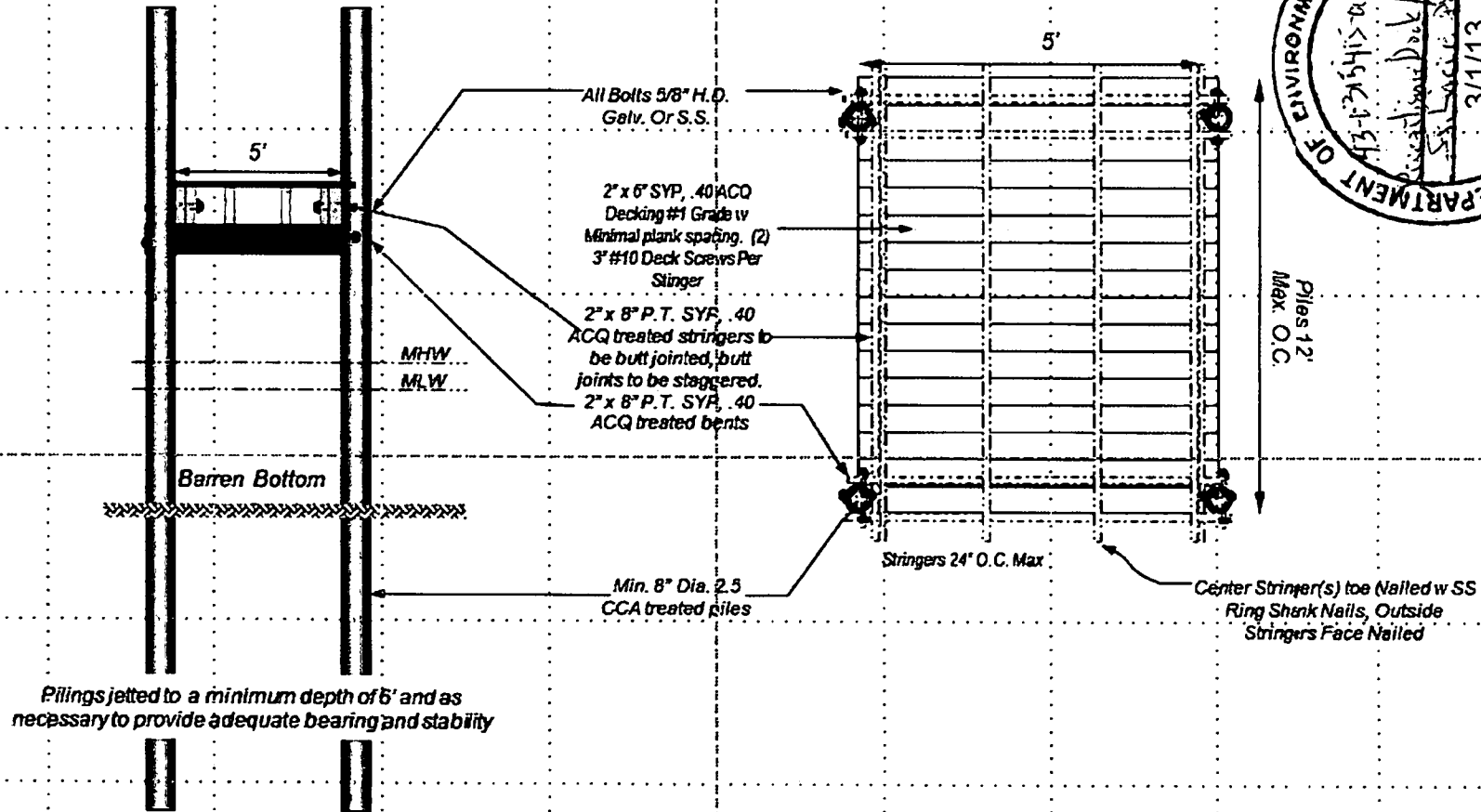
Design & Drawing by
Jener & Associates, Inc.
Environmental Consulting
118 SW 5th Street, Stuart, FL 34994
Tel: (772) 283-2990 / Fax: (772) 283-2760

Date: 10/2/12

Sheet 2

Pier Section Thru

Pier Plan View



NICK SMITH
133 SOUTH RIVER ROAD
STUART



Design & Drawing by
Jerner & Associates, Inc.
 Environmental Consulting
 110 SW 5th Street, Stuart FL 34994
 Ph: (772) 283-2950 / Fax: (772) 283-2760

Date: 10/2/12

Sheet 3

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 7-31-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10480	SHARFI 73 N. Sewalls Pt Rd Worell	PERMITS CABANT ROOF SHEATHING	PASS	INSPECTOR
10445	Sharfi 73 N Sewalls Worell	Final Shed	PASS	CLOSE INSPECTOR
10518	Williams CASTLE HILL DRIFTWOOD	U.G. PUMPING	PASS	INSPECTOR
10470	Smuck 133 S. Kren Marland	FINISH DOOR/ BOARDING	PASS	CLOSE INSPECTOR
	Novins 111 S Sp Rd	- PAVING - IRRIGATION POOL DRAINING TO (MAY) LOT		INSPECTOR
	WATY			INSPECTOR

TOWN OF SEWALL'S POINT, FLORIDA

Date 8/10/00 ~~19~~ TREE REMOVAL PERMIT No 0350

APPLIED FOR BY MACARI BLDG. (Contractor of Owner)

Owner NICHOLAS SMITH 133 S. RIVER RD.

Sub-division _____, Lot _____, Block _____

Kind of Trees MIXED UNDERGROWTH / NON-NATIVE "PROHIBITED" SPECIES

No. Of Trees: REMOVE _____

(SEE COVER LETTER)

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS FULL SURVEY / INDEX OF TREES TO BE PROVIDED
UPON CLOS. OF UNDERGROWTH

Signed, Alpha J Macari
Applicant

Signed, [Signature]
Town Clerk BLDG OFFICE

FEE \$ 15.00

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Empty grid area for project details]

PROJECT DESCRIPTION _____

[Empty lines for project description]

REMARKS _____

[Empty lines for remarks]

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

(Interim Grubbing & minor Clearing)

RECEIVED
AUG 10 2000
BY: [Signature]
Permit # [Blank]
Date Issued: 0350

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner: MRS. Nicholas Smith Address: 123 - South River Road Phone: 845-2900

Contractor: MACARI BUILDING Address: 18561 LAKESIDE GARDENS Dr. Jupiter Fl. Phone: 745-0394

Number of trees to be removed (list kinds of trees): Interim Grubbing + minor Clearing

SEE TREE SURVEY & LEGEND
Number of trees to be relocated within 30 days (no fee) (list kinds of trees):

Number of trees to be replaced (list kinds of trees):

Permit Fee \$ ~~(\$25.00 first tree plus \$10.00 - each additional tree - not to exceed \$100.00)~~ \$15.00

(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted: Plans approved as marked:

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant: [Signature] Date submitted: _____

Approved by Building Inspector: [Signature] Date: 8/10/00

Approved by Building Commissioner: _____ Date: _____

Completed _____ Date _____ Checked by _____

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT ~~OBTAINING A PERMIT~~ **FEE**. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?



MACARI BUILDING & DESIGN, INC

CGC-023754

August 08, 2000

Mr. Edward Arnold
Chief Building Official
Town of Sewall's Point
One South Sewall's Point Road
Sewall's Point, Florida 34996

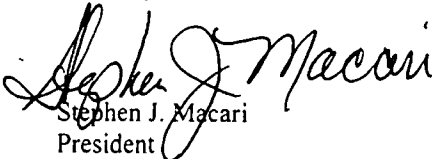
Re: The Smith's Residence
133 South River Road

Dear Mr. Arnold:

Per our meeting on site, referencing the above project, we are requesting two (2) additional permits. The first would be an Interim Grubbing and Minor Clearing Permit. As you are aware, the site is heavily grown over with several "pest type non-native plants. i.e.: Brazilian Pepper, Florida Holly and Strangler Fig". We request permission to clear and remove this type of plant life from the site. This would enable us to view all remaining trees. This would bring us to the second permit which would be the Tree Removal and Replacement Permit.

After the Grubbing is complete we can then mark all trees to be removed and physically asses the remaining trees. If you have any questions, please feel free to call on me.

Sincerely,


Stephen J. Macari
President

SJM/lm:msw1 | Ed.Arnold.Sewall'sPoint

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

(Interim Grubbing + minor CLEARING)

RECEIVED
AUG 10 2000
BY: _____
Permit # _____

Date Issued _____

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner MR MRS. Nicholas Smith Address 103 - South River Road Phone 845-2900 -

Contractor MACARI BUILDING Address 18561 LAKESIDE GARDENS Dr. Jupiter Fl. Phone 745-0394

Number of trees to be removed (list kinds of trees) Interim Grubbing + minor Clearing

SEE TREE SURVEY & LEGEND

Number of trees to be relocated within 30 days (no fee) (list kinds of trees): _____

Number of trees to be replaced _____ (list kinds of trees): _____

Permit Fee \$ (\$25.00 first tree plus \$10.00 - each additional tree - not to exceed \$100.00) \$15.00

(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted _____ Plans approved, as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant Alfred Macari Date submitted _____

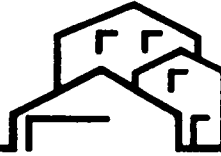
Approved by Building Inspector _____ Date _____

Approved by Building Commissioner _____ Date _____

Completed _____ Date _____ Checked by _____

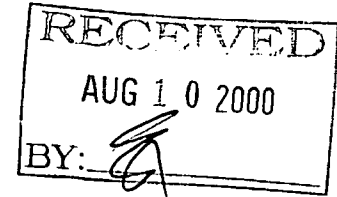
THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT ~~OBTAINING A PERMIT~~ **FEE**. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?



MACARI BUILDING & DESIGN, INC

CGC-023754



August 08, 2000

Mr. Edward Arnold
Chief Building Official
Town of Sewall's Point
One South Sewall's Point Road
Sewall's Point, Florida 34996

Re: The Smith's Residence
133 South River Road

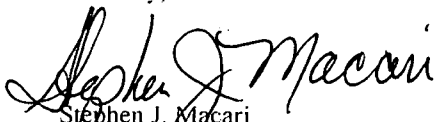
Dear Mr. Arnold:

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*ok
PV
0350
8/10/00*

After the Grubbing is complete we can then mark all trees to be removed and physically asses the remaining trees. If you have any questions, please feel free to call on me.

Sincerely,


Stephen J. Macari
President

SJM/lm:maw11 EdArnold.Sewall'sPoint

TREE INVENTORY CHART TO ACCOMPANY TREE SURVEY BY DEARLOVE ASSOC. ATTACHED
SMITH RESIDENCE 133 SOUTH RIVER ROAD SEWALLS POINT

TREE	COMMON NAME	REMOVE(DBH)	TRANSP	REMAIN(DBH)	REASON FOR REMOVAL	REMOVALS
1	HICKORY			26"		UNNECESSARY
2	CABBAGE PALM	10"			LOCATED TOO CLOSE TO DRIVE	FOR CONST.
3	CABBAGE PALM	10"			LOCATED IN THE DRIVE	
4	CABBAGE PALM	10"			LOCATED IN THE DRIVE	
5	CABBAGE PALM			10"		
6	CABBAGE PALM			10"		
7	CABBAGE PALM	10"			OLD AGE; TOO TALL AND SKINN	10"
8	CABBAGE PALM	10"			LOCATED IN DRIVE	
9	CABBAGE PALM	10"			OLD AGE; TOO TALL AND SKINN	10"
10	CABBAGE PALM	10"			OLD AGE; TOO TALL AND SKINN	10"
11	CABBAGE PALM	10"			OLD AGE; TOO TALL AND SKINN	10"
12	CABBAGE PALM	10"			OLD AGE; TOO TALL AND SKINN	10"
13	UNKNOWN			7"		
14	FICUS			25"		
15	UNKNOWN			7"	4"	
16	CITRUS			3"		
17	CABBAGE PALM			10"		
18	OAK			40"		
19	POISON WOOD			13"		
20	POISON WOOD			8"		
21	POISON WOOD			8"		
22	GUMBO LIMBO			12"		
23	GUMBO LIMBO			15"		
24	CITRUS	4"			LOCATED IN DRIVE	
25	CITRUS	4"			UNDESIRABLE TO CLIENT	4"
26	CITRUS	6"			UNDESIRABLE TO CLIENT	6"
27	CITRUS	5"			UNDESIRABLE TO CLIENT	
28	CITRUS	4"			UNDESIRABLE TO CLIENT	4"
29	CITRUS	4"			UNDESIRABLE TO CLIENT	4"
30	CITRUS	4"			UNDESIRABLE TO CLIENT	4"
31	CITRUS	4"			UNDESIRABLE TO CLIENT	4"
32	CITRUS	4"			UNDESIRABLE TO CLIENT	4"
33	CITRUS	3"			UNDESIRABLE TO CLIENT	
34	CABBAGE PALM			10"		
35	CITRUS	4"			UNDESIRABLE TO CLIENT	4"
36	CITRUS	4"			UNDESIRABLE TO CLIENT	4"
37	CITRUS	2"			UNDESIRABLE TO CLIENT	2"

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OK
NO REPC.
(CITR)

206
NO REPC.
(CITR)

TREE	COMMON NAME	REMOVE (DBH)	TRANSP.	REMAIN (DBH)	REASON FOR REMOVAL	REMOVALS
3 8	CABBAGE PALM 39	10"			WITHIN DRIVE	UNNECESSARY
3 9	CITRUS 38	6"			UNDESIRABLE TO CLIENT	6"
4 0	CABBAGE PALM	10"			WITHIN DRIVE	
4 1	CABBAGE PALM	10"			WITHIN DRIVE	
4 2	CABBAGE PALM	10"			WITHIN DRAINFIELD	
4 3	CABBAGE PALM	10"			WITHIN DRAINFIELD	
4 4	OAK			42"		
4 5	CITRUS	4"			UNDESIRABLE TO CLIENT	
4 6	CABBAGE PALM			10"		
4 7	CABBAGE PALM			10"		
4 8	GUMBO LIMBO	15"			POOR CONDITION	
4 9	GUMBO LIMBO	12"			POOR CONDITION	
5 0	POISON WOOD			8"		
5 1	FICUS (NON NATIVE)	30"			POOR COND.; TOO CLOSE TO DRIVE	
5 2	CABBAGE PALM	10"			WITHIN DRIVE	
5 3	CABBAGE PALM	10"			TOO CLOSE TO DRIVE	
5 4	POISON WOOD DISEASED	32"			POOR CONDITION	
5 5	CABBAGE PALM	10"			UNDESIRABLE TO CLIENT	10"
5 6	CABBAGE PALM	10"			WITHIN DRAINFIELD	
5 7	UNKNOWN				WITHIN DRAINFIELD	
5 8	CABBAGE PALM	10"			UNDESIRABLE TO CLIENT	10"
5 9	UNKNOWN				TOO CLOSE TO DRIVE	
6 0	CABBAGE PALM	10"			WITHIN DRIVE UNDESIRABLE	
6 1	BRAZILIAN PEPPER				INVASIVE PLANT	
6 2	TWIN MANGO	16"		16"	IN DRIVE	
6 3	TWIN BAY			22"		
6 4	FICUS (NON-NATIVE) (below Oaks)	12"		12"		
6 5	CABBAGE PALM			10"		
6 6	CABBAGE PALM	10"		10"	D/O UNDESIRABLE TO CLIENT	
6 7	CABBAGE PALM	10"			UNDESIRABLE TO CLIENT	10"
6 8	CABBAGE PALM	10"			UNDESIRABLE TO CLIENT	10"
6 9	CABBAGE PALM	10"			UNDESIRABLE TO CLIENT	10"
7 0	FICUS (NON NATIVE)	36"		36"		
7 1	FICUS			20"		
7 2	CITRUS	4"			UNDESIRABLE TO CLIENT	4"
7 3	CABBAGE PALM	10"			WITHIN DRIVE	
7 4	TWIN AVOCADO	18"			WITHIN DRIVE	

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TREE	COMMON NAME	REMOVE (DBH)	TRANSP	REMAIN (DBH)	REASON FOR REMOVAL	REMOVALS
75	CABBAGE PALM	10"			WITHIN DRIVE	UNNECESSARY
76	UNKNOWN				WITHIN DRIVE	FOR CONST.
77	CABBAGE PALM	10"			UNDESIRABLE TO CLIENT	10"
78	CABBAGE PALM	10"			WITHIN DRIVE	
79	UNKNOWN				WITHIN DRIVE	
80	CABBAGE PALM	10"			WITHIN DRIVE	
81	CABBAGE PALM	10"			WITHIN DRIVE	
82	CABBAGE PALM	10"			WITHIN DRIVE	
83	CABBAGE PALM	10"			WITHIN DRIVE	
84	CABBAGE PALM	10"			WITHIN DRIVE	
85	CABBAGE PALM	10"			TOO CLOSE TO GARAGE	
86	POISON WOOD	13"			LOCATED WITHIN GARAGE	
87	GUMBO LIMBO	10"			LOCATED WITHIN GARAGE	
88	POISON WOOD	10"			LOCATED WITHIN GARAGE	
89	CABBAGE PALM	10"			LOCATED WITHIN GARAGE	
90	CABBAGE PALM	10"			LOCATED WITHIN GARAGE	
91	CABBAGE PALM	10"			TOO CLOSE TO GARAGE	
92	CABBAGE PALM	10"			TOO CLOSE TO DRIVE UNDESIR.	
93	OAK			15"		
94	CABBAGE PALM			10"		
95	CABBAGE PALM			10"		
96	CABBAGE PALM	10"			LOCATED WITHIN DRIVE	
97	GUMBO LIMBO	12"			LOCATED WITHIN DRIVE	
98	BAMBOO 2 <i>INVASIVE</i>				LOCATED WITHIN DRIVE	
99	BAMBOO 5 <i>NON-NATIVE</i>				UNDESIRABLE IN THIS LOCATION	
100	UNKNOWN				WITHIN HOUSE	
101	SWEETBAY TREE	18"			LOCATED WITHIN HOUSE	
102	CABBAGE PALM	10"			LOCATED WITHIN HOUSE	
103	CABBAGE PALM	10"			LOCATED WITHIN HOUSE	
104	CABBAGE PALM	10"			TOO CLOSE TO HOUSE	
105	CABBAGE PALM	10"			LOCATED WITHIN DRIVE	
106	CABBAGE PALM	10"			LOCATED WITHIN DRIVE	
107	CABBAGE PALM	10"			LOCATED WITHIN DRIVE	
108	UNKNOWN	7"			TOO CLOSE TO GARAGE & DRIVE	
109	UNKNOWN	19"			LOCATED WITHIN DRIVE	
110	CITRUS	5"				
111	CITRUS	3"			WITHIN HOUSE	

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TREE	COMMON NAME	REMOVE (DBH)	TRANSP.	REMAIN (DBH)	REASON FOR REMOVAL	REMOVALS
112	CITRUS	2"			WITHIN HOUSE	NECESSARY
113	CITRUS	3"			UNDESIRABLE	3"
114	CITRUS	3"			UNDESIRABLE	3"
115	CITRUS	7"			UNDESIRABLE	3"
116	CABBAGE PALM	10"			UNDESIRABLE	10"
117	TWNAVOCADO	6"			WITHIN POOL	
118	CABBAGE PALM	10"			UNDESIRABLE	10"
119	FICUS	10"		36" ✓	TOO CLOSE TO POOL	
120	FICUS	10"		24" ✓	" " " "	
121	CABBAGE PALM			10"		
122	CABBAGE PALM			10"		
123	FICUS	6'			WITHIN HOUSE	
124	CABBAGE PALM			10"		
125	UNKNOWN	10"		13"		
126	PALM			12"		
127	PALM			12"		
128	GUMBO LIMBO				TOO CLOSE TO HOUSE	
129	GUAVA				WITHIN HOUSE	
130	UNKNOWN ✓ PEPPER	10"			TOO CLOSE TO HOUSE	
131	CABBAGE PALM			10"		
132	GUMBO LIMBO DYLOG	12"		12"		
133	GUAVA			X		
134	UNKNOWN	12"			REG. FOR CONST.	
135	GUMBO LIMBO	13"			" " "	
136	SWEETBAY			9"		
137	CABBAGE PALM			10"		
138	SWEET BAY			9"		
139	UNKNOWN (NONE) HICKORY			*6"		
140	UNKNOWN			11"		
141	CABBAGE PALM x	10		10"	REG. FOR CONST. (WALKS)	
142	CABBAGE PALM x	10		10"	" " "	
143	PINE x	9		9"	" " "	
144	PINE			8"		
145	PINE			18"		
146	PINE			24"		
147	CABBAGE PALM			10"		
148	GUMBO LIMBO			7"		

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11/1/11

TREE#	COMMON NAME	REMOVE(DBH)	TRANSP.	REMAIN(DBH)	REASON FOR REMOVAL
149	CABBAGE PALM			10"	
150	UNKNOWN			X	
151	PIGEON PLUM			6"	
152	PIGEON PLUM			6"	
153	COCONUT PALM			12"	
154	COCONUT PALM			12"	
155	COCONUT PALM			12"	
156	COCONUT PALM (LIGHTNING DAMAGE)	12		12"	

TOTAL 871" 728"

203"

TREES TOTALING 122" IN CALIPER AT BREAST HEIGHT IS PROPOSED TO BE PLANTED

THE CITRUS TREES (MOST OF WHICH ARE IN POOR CONDITION) THAT ARE PROPOSED TO BE REMOVED ARE NOT NATIVE TO THE SITE AND ARE NOT PROTECTED BY THE TOWN OF SEWALLS POINT LANDSCAPING AND HABITAT MANAGEMENT ORDINANCE. SEE SEC. 11-52 INTENT

13 CABBAGE PALMS ARE PROPOSED TO BE REMOVED THAT ARE NOT IN THE WAY OF CONSTRUCTION, BUT ARE UNDESIRABLE TO THE OWNER. THEY AVERAGE 10" IN CALIPER. THEREFORE, A TOTAL OF 130" IN CALIPER ARE PROPOSED TO BE REMOVED. TREES TOTALING 122" IN CALIPER ARE PROPOSED TO BE PLANTED.

FILE

TOWN OF SEWALL'S POINT, FLORIDA

BP 5022

Date 11/30/00 19 TREE REMOVAL PERMIT No 0383

APPLIED FOR BY MACARI BLDG. & DESIGN, INC (Contractor or Owner)

Owner NICHOLAS SMITH - 133 S. RIVER RD,

Sub-division 13-38-41-000-00030-10000, Lot, Block

Kind of Trees * SEE TREE INVENTORY EXHIBIT - FOR ALL SCHEDULED REMOVAL/RELOCATION/REPLACEMENT/RELOCATION

No. Of Trees: REMOVE *

No. Of Trees: RELOCATE * WITHIN 30 DAYS (NO FEE) FIELD VERIFICATION W/GC & LANDSCAPE ARCHITECT 10/20/00

No. Of Trees: REPLACE * WITHIN 30 DAYS

REMARKS FINAL REMOVAL PERMIT BEING ISSUED IN CONNECTION W/SITE DEVELOPMENT.

Signed, (SIGNATURE ON FILE) Applicant

Signed, [Signature] Town Clerk BEVERLY OTTEWILL

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Empty table with 10 rows and 1 column.

PROJECT DESCRIPTION

Empty lines for project description.

REMARKS

Empty lines for remarks.

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

RECEIVED
AUG 10 2000

Permit No. 9283
Date Issued 10/20/00

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner MR & MRS. Nicholas Smith Address 133 South River Rd Phone 845-2900

Contractor MACARI Building Address 18561 LAKESIDE GARDENS Dr Phone 745-0394
Jupiter, FL 33458

Number of trees to be removed (list kinds of trees) 96 TREES TO BE REMOVED - SEE

TREE SURVEY + LEGEND - SEVERAL TREES ARE IN BUILDING AREA - POOL + DRIVE

Number of trees to be relocated within 30 days (no fee) (list kinds of trees):

SEE TREE SURVEY - REUSED SUBMITTAL W/ SCHEDULE AS PROVIDED

Number of trees to be replaced (list kinds of trees): W/ G.C. & LANDSCAPE ARCHITECT @ SITE 10/20/00

Permit Fee \$ (\$75.00) first tree plus \$10.00 - each additional tree - not to exceed \$100.00 + \$15.00

(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted _____ Plans approved, as marked ✓

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant Stephen J. Macari Date submitted _____

Approved by Building Inspector _____ Date 10/20/00

Approved by Building Commissioner _____ Date _____

Completed _____ Date _____ Checked by _____

FEE.

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT OBTAINING A PERMIT. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed ~~Thu~~ 10-20, 2000; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N ① 5102	Graham 100 N. S. P. McBride	serv. change (REINSPECTION 1:00 PM W/PHOTOGRAPHS)	PASSED ☞	→ 9: if possible FYL 223-4208 METER RELEASE 2:15 PM
✓ S ③ 4799	JORES 51 S. SEWALLS UNITED	FENCE FINAL (REINSPECT W/TOOL FILE) RINGBOUND RAIL SIDE 5'-6" HIGH	FAIL ☞	PERMIT ISSUED 1/25/00 NO SITE REINSPECTION. FILE REOPEN SHOWS SETBACK REQ NOTES
✓ S ② 4550	Smith 133 S. River Rd Macchi	UP removal of obstruction removed (15% POY T/R-DEVEL.)	UNSATISFACTORY ☞	9:50 MTG. W/ C.C. & L.M.D. ARCH
✓ S ④ 4692	Bench 4 Morgan Wilfram - JEFF (OPERATIONS MGR) 561-546-0500	in progress ?	PERFORMED ☞	12/20/99 "FINAL" FAILED - NO IN PROGRESS INSPECTIONS. 10:50 AM
✓ S ⑤ 4943	BOTWINICK 27 EMARITA WAY FIRST FLORIDA DEVEL.	STAIR (REINFC.) (REINSPECT) (MAIN STAIR)	PASSED ☞	10/20 8:00 INSP. REQ. ON MESSAGE - REQ. DUG REQ. FOR NORTH STOOP/STAIR & GEN. PAD.
⑥ 5104	MERKIN 95 N. SEWALL'S POINT RD LEB DEMOLITION	FINAL	PASSED ☞	
⑦ 5105	MERKIN 93 N. SEWALL'S POINT RD LEB DEMOLITION	FINAL	PASSED ☞	

OTHER: "DAVB" DUREN ROOFING 561-546-7595 cc-c057678
 NOTE: JOB INCOMPLETE - ROOF DRAINS TO BE LOWERED; OWNER ADVISES THAT WILFRAM HAS REFUSED TO COME BACK DURING PAST 9 MONTHS; DUREN REG. IS FINISHING WORK (ON SITE TODAY) AS SUB - FORMER WILFRAM EMPLOYEE

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

FILE

Date of Inspection ~~10/10/00~~ ~~10/9/00~~, 2000; Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4909	MIKE MIRANDA	Roof-TIN	PASSED	
①	34 Castle Hill		⌘	
	MIKE MIRANDA (O/B)			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4803	Foalia	Temp. elect	PASSED	LTR. APR. RCVD 10/6/00
②	101 Henry Douglas way		⌘	
	Foalia Construction			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4965	Danielson	2 nd floor slab		REQUEST P.M. WSP (10/9 8.00)
③	161 S. River			
	Miller			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PRER. PERM. T/R	VASQUEZ	SITE VERIFICATION	PASSED	PD 0366 ISSUED 10/9/00
④	82 S. SEWALLS POINT RD.		⌘	
	KIMBER SMITH			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: ~~THE PD 0350 SITE INSPECTION - VERIFIED WORK WITH SCOPE OF PERMIT~~
 133 S. RIVER ROAD.

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT, FLORIDA

Date 8/14 X 2003 TREE REMOVAL PERMIT No 2070

APPLIED FOR BY SMITH (Contractor or Owner)

Owner 133 S. RIVER ROAD

Sub-division _____, Lot _____, Block _____

Kind of Trees SEE SITE PLAN / ENG DWG ATTACHED

No. Of Trees: REMOVE _____

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

Signed, Shanna Springs Applicant Signed, Gene Summers (M.D.) Town Clerk **BUILDING OFFICIAL** FEE \$ 15.00

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Large empty rectangular box with horizontal lines for notes or additional information.

PROJECT DESCRIPTION _____

Five horizontal lines for project description details.

REMARKS _____

Four horizontal lines for remarks.

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than one inch.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Mr + Mrs. Smith **Address** 85 S. River Rd. **Phone** _____

Contractor Shade Tree Inc. (John Cole) **Address** P.O. Box 2801 Stuart Fl. 34995 **Phone** 260-5011

No. of Trees: REMOVE 9 **Type:** Sabal

No. of Trees: RELOCATE _____ **WITHIN 30 DAYS** **Type:** _____

No. of Trees: REPLACE _____ **WITHIN 30 DAYS** **Type:** _____

Written statement giving reasons: palms in the way of the new pathway to the docks in which we are completing. (see diagram) These palms were not shown on original plan!

Signature of Applicant Danica Walle (Secretary) **Date** 6/11/03

Approved by Building Inspector: [Signature] **Date** 8/19/03 **Fee:** 15.00

Plans approved as submitted: SEE SITE PLAN/ENGINEERING DRAW ATTACHED **Plans approved as revised/modified:** _____

Please see back for other removals

1 4" cal. Inkwood in way of carpath.

1 pigeon plum in way of carpath.

1 diseased Pigeon Plum - split @ base, fallen
over into other trees.

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 8/13, 2003 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6131	PFEIFFER	DRY IN +	Pass	
(5)	104 HENRY SEWALL HEATON ROOFING	TIN TAG		INSPECTOR: <i>[Signature]</i>
6368	HENMERS	CHANGE OUT A/C	Passed	9:30 close
(1)	4 PALMETTO DR WATTS A/C	FINAL		INSPECTOR: <i>[Signature]</i>
6096	McMAHON	HARD PLANK	Passed	
(6)	5 MELODY HILL O/B	SIDING-FINAL		INSPECTOR: <i>[Signature]</i>
6319	WEST	FINAL REPAIR	Passed	close
(2)	7 PALMETTO CONROY	BASEBOARD DRYWALL		INSPECTOR: <i>[Signature]</i>
TREE	GARY	TREE	Passed	partial
(4)	36 RIO VISTA DR			INSPECTOR: <i>[Signature]</i>
6341	LAW	HOT MOP	Passed	
(3)	4 COPAIBE CARDINAL			INSPECTOR: <i>[Signature]</i>
				INSPECTOR: <i>[Signature]</i>
OTHER:	133 S. RIVER (SEE 6) TREES = Passed <i>[Signature]</i>			

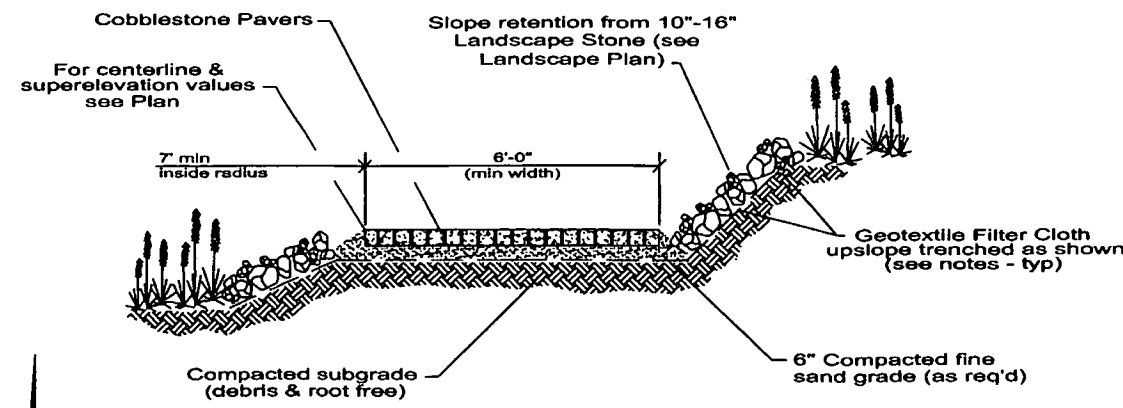
TOWN OF SEWALL'S POINT

Building Department - Inspection Log

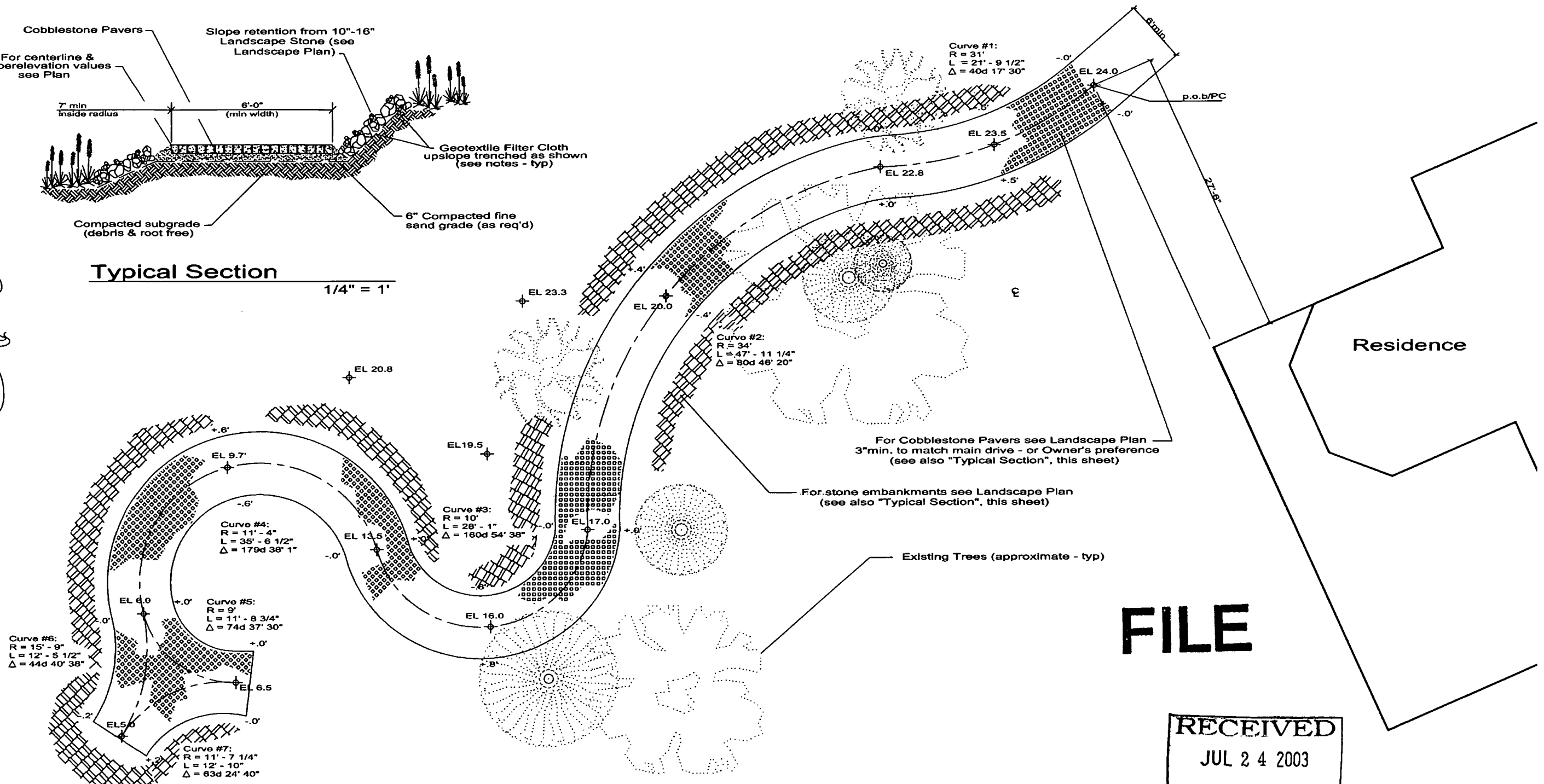
Date of Inspection: Mon Wed Fri 6/13, 2003 Page of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6124	LANDI 3 MIDDLE RD O/B	REMODEL KITCHEN CAB TILE FINAL	FAILED	BUILDING LOCKED \$30 REINS FEE INSPECTOR: _____
628	SKINNER 15 PALMETTO FLYNN'S A/C	A/C FINAL	FAILED	\$30 REINS FEE INSPECTOR: _____
6215	SHARFI 73 N SEWALL ST BUFORD	Block columns Steel	FAILED	\$30 REINS FEE INSPECTOR: _____
6286	SCHNEIDER 90 S. RIVER ROAD D. RISIO ROOFING	DRY IN SHEATHING FLAT DECK IN PROG.		INSPECTOR: _____
5885	BUSHA 10 PALM COURT AQUA SOFT	IRRIGATION	PASSED	INSPECTOR: _____
6252	GREEN, 26 ISLAND RD, O/B.	ROOF SHEATHING	FAILED	\$30 REINS FEE INSPECTOR: _____
6125	SMITH 85 S River Rd	TREE		→ POSTPONE ? ADDRESS ? TREES MARKED INSPECTOR: _____

OTHER: _____



Typical Section
1/4" = 1'



PLAN - Proposed Cartpath
133 South River Rd. 1" = 30'


FILE

RECEIVED
JUL 24 2003
BY: _____

Notes:

- 1) All work shall be per the 2001 Florida Building Code. Nothing shall relieve the Contractor from complying with the Code & Local ordinances as required.
- 2) No survey is implied. Plan shown is for Cartpath layout only. Reference is made to a Boundary Survey dated 7/27/99 by Dearlove & Assoc. (R.Dearlove, PSM FL #3938). Elevations are based on those indicated for Residence and as provided on a final Landscape Plan as prepared by Dan Sugg, Landscape Architect (FL #766). Curve data is to centerline of path with elevations as noted. Positive & negative values refer to required superelevation at that point on curve. Minimum path width shall be 6ft. with minimum inside radius to be 7ft. Paver grade & curve embankment shall be blended to provide smooth transition to elevations & superelevation values provided (reference cart is E-Z Go "Freedom" electric model). Maximum speed is 8 mph. A sign suitable to the Owner and compatible with the Landscape Plan shall be posted at the Path's point of beginning stating "CAUTION! Speed not to exceed 8 mph".
- 3) Pavers shall match those used in balance of construction (Owner's preference) with compacted, debris, and root-free subgrade. Grade shall be fine sand to the lines & elevations indicated. Edges shall be curbed with a sloped edging of sand-cement, with pavers fully sanded in accordance with manufacturer/industry practice.
- 4) Geotextile filter fabric (Geoturf 11F, 117F, or Tensar TG150, or equal) shall be installed as indicated beneath Cartpath Pavers and Landscape Stone. Landscape stone shall be placed as indicated on Landscape Plan with no slope greater than 1 vertical to 1.5 horizontal. Stone shall not exceed 6ft. in height (grade elevation difference). Stone selection shall be per the Owner's preference & as designated by the Landscape Architect in approximate sizes as indicated (10" - 16" average). Stones shall be firmly placed & mortared only if req'd to initially set.

Scott A. Lorraine
7-21-03

 Scott A. Lorraine, P.E. , Consulting Engineer 3258 Perimeter Rd. Palm City, FL 34990 Florida Civil Engineer #28714 Hawaii Civil Engineer #8417 772-221-0858 office & fax Scott.lorraine@worldnet.att.net 772-285-6255 cell	Client: Smith	Contractor: Macari
	Project: 133 South River Rd. Sewalls Point, Florida 34996	
Designed: SLDS	Approved: _____	Rev.: 0 Date: 7/03

Permit # 5022

TOWN OF SEWALL'S POINT, FLORIDA

FILE

Date 7/25/01 TREE REMOVAL PERMIT No 0481

APPLIED FOR BY Shade Tree, Inc. (Contractor) or Owner)

Owner Smith, 133 S. River Rd.

Sub-division _____, Lot _____, Block _____

Kind of Trees 1 Braz. Pepper

No. Of Trees: REMOVE 1 + 1 trunk

*field verified
7/25*

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS Prohib. Species

Signed, Sign. on File Applicant Signed, [Signature] FEE \$ _____
Town Clerk
Blag. Insp.

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Empty grid area for project details]

PROJECT DESCRIPTION _____

REMARKS _____

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

7/25 SCHEDULED INSPECTION

RECEIVED
JUL 24 2001
BY: [Signature]

Permit # 0481

Date Issued 7/25/01

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner SMITH Address 133^S RIVER RD Phone _____

Contractor SHADE TREE INC Address 973 INDUSTRIAL BLVD Phone 334-7410

Number of trees to be removed (list kinds of trees) 1 - BRAZILIAN PEPPER

REMOVE FOR DOCK CONST. - ALREADY DOWN PROHIBITED - NO FEE

Number of trees to be relocated within 30 days (no fee) (list kinds of trees):

also dead palm tree trunk

Number of trees to be replaced (list kinds of trees):

Permit Fee \$ 0 - ~~(\$25.00 first tree plus \$10.00 - each additional tree - not to exceed \$200.00. \$15.00~~

(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted Plans approved as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant [Signature] Date submitted 7-24-01

Approved by Building Inspector [Signature] Date 7/25/01

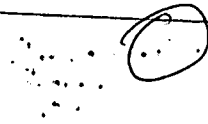
Approved by Building Commissioner _____ Date _____

Completed _____ Date _____ Checked by _____

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT ~~OBTAINING A PERMIT~~ **FEE**. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?

RIVER



PEPPER TO BE
REMOVED

HOUSE

GUEST
HOUSE

S. RIVER RD

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri July 25, 2001; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5234	R. McCarthy	Sheathing	Passed	
S (4)	45 W Highpoint Wilson	(Part.)		INSPECTOR: [Signature] 7/25
✓ 5437	DENNIS (MPN 5015)	STL./GRD. (POOL)	Passed	*LATE AS POSSIBLE
S (7)	16 RIDGELAND A+G POOLS			ART-878-7052 INSPECTOR: [Signature] 7/25
✓ TIR	SMITH	FIELD VERIF.	Passed	
S (2)	133 RIVER RD SHADE TREE			INSPECTOR: [Signature] 7/25
✓ TIR	LAZARUS	FIELD VERIF.	Passed	
S (2)	315 RIVER RD SHADE TREE			INSPECTOR: [Signature] 7/25
✓ TIR	SARTAIN	FIELD VERIF.	Passed	
S (1)	41 S. SPR TIMBER TREE			INSPECTOR: [Signature] 7/25
✓ 5358	INGRAM	(PTL) TIE BM	Passed	
N (9)	101 N. SEWALL'S POINT BUFORD CONST. (ANX: 201-9153)	(Part.)		INSPECTOR: [Signature] 7/25
✓ 5427	FOGUA	STEM WALL FTG.	Passed	called FPL 8 ⁰⁰ msg. early
S (5)	105 ABLE CT. FOGUA CONTR. (TODD 954-444-6126)			INSPECTOR: [Signature] 7/25

OTHER: 26 Fieldway Dr. Check lat4 nails

TOWN OF SEWALL'S POINT, FLORIDA

Date JANUARY 26 1/2 2004 TREE REMOVAL PERMIT No 2191

APPLIED FOR BY SMITH (Contractor or Owner)

Owner 133 S. RIVER ROAD

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 1 HICKORY

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 0

Signed, _____ Applicant

Signed Gene Simmons (205)
Town Clerk
Building Official

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Large empty rectangular box for drawing or site plan.

PROJECT DESCRIPTION _____

Horizontal lines for project description details.

REMARKS _____

Horizontal lines for remarks.

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than one inch.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Smith Res. Address 133 S. River Rd Phone _____

Contractor Shade Tree Inc Address PO Box 2801 Phone 260-5011

No. of Trees: REMOVE 1 Type: hickory (by mailbox)

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

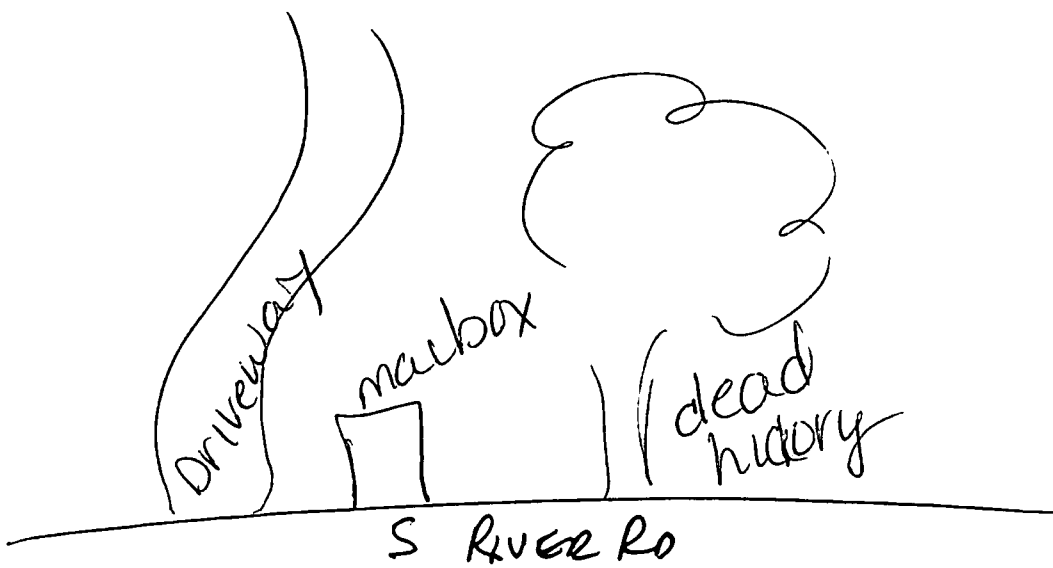
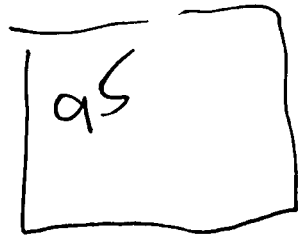
No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: dead; no chance @ reviving.

Signature of Applicant [Signature] Date 1/19/04

Approved by Building Inspector: [Signature] Date 1/26/04 Fee: -0-

Plans approved as submitted _____ Plans approved as revised/marked: _____



TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 1/26, 2004 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6550	JOYNER	Door+Window Buck	FAIL	
2	85 S. SEWALL			
	MASTERPIECE	(early please)		INSPECTOR: <i>M</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6574	ESCUE	SHEATHING ROOF		
7	2 BANYAN DR			
	COOPER ROOFING			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6564	LANCASTER	DRY IN ROOF	FAIL	NO PERMIT POSTED
1	5 S. VIA LUCINDIA			
	STUART ROOFING	(first please)		INSPECTOR: <i>M</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6579	COOK	IN PROGRESS		
8	22 RIDGEVIEW	ROOF		
	STUART ROOFING	(last please)		INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6456	SHARFI	FOOTER CARPORT	PASS	
6	73 N. SEWALLS PT			
	O/B-WINCHIP			INSPECTOR: <i>M</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
TREE	ROSE	TREE	PASS	
3	9 N. RIDGEVIEW	REINSPECT		
				INSPECTOR: <i>M</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
TREE	SHARFI	TREE	PASS	
5	133 S. RIVER RD	REINSPECT		
				INSPECTOR: <i>M</i>
OTHER:				

TOWN OF SEWALL'S POINT, FLORIDA

Date 8/30 ~~1/2004~~ TREE REMOVAL PERMIT No 2330

APPLIED FOR BY SMITH (Contractor or Owner)

Owner 133 S. RIVER ROAD

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 3 SABAL Palms

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 0
ed, _____ Applicant Signed, [Signature]
Town Clerk
BUILDING OFFICIAL

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspector
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Large empty rectangular box for drawing or site plan]

PROJECT DESCRIPTION _____

REMARKS _____

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than one inch.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner JAN SMITH Address 133 S. River RD Phone 463-4763

Contractor SHADE TREE Address 973 INDUSTRIAL BLVD. Phone 334-7010

No. of Trees: REMOVE 3 Type: SABAL PALMS

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: interfering with Podocarpus

Trees Installed & Trees to be removed tagged orange

X Signature of Applicant Jan Smith Date 8/27/2024

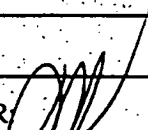
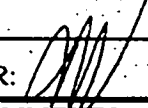
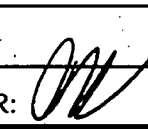

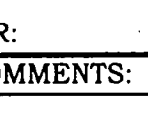

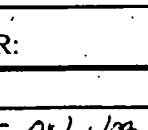
Approved by Building Inspector: [Signature] Date 8/30 Fee: 0

Plans approved as submitted _____ Plans approved as revised/marked: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 8/30, 2004 Page of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6831	COBIELLA	SHEATHING	PASS	
1	8 N. SEWALL'S PT HEATON ROOFING	First PLEAS		INSPECTOR: 
TREE	SMITH	TREE	PASS	
2	133 S. RIVER RD			INSPECTOR: 
6480	WADE	KITCHEN ELEC	FAIL	
3	9 E. HIGH POINT RD PINE ORCHARD	A/C ROUGH PLB ROUGH	PASS PASS	INSPECTOR: 
		RETAIN. WALL FOOTING (REINSPECT)	PASS	INSPECTOR: 
TREE	JONES	TREE	—	NO ACTION
	18 EMARITA WY			INSPECTOR: 
TREE	SMITH	TREE	PASS	
	24 S. SEWALL'S PT. 7 SIMARA			INSPECTOR: 
				INSPECTOR: 

OTHER:

113 HIVES - PLYWOOD PANELS FOR WINDOWS - ON JOB



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

OK

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

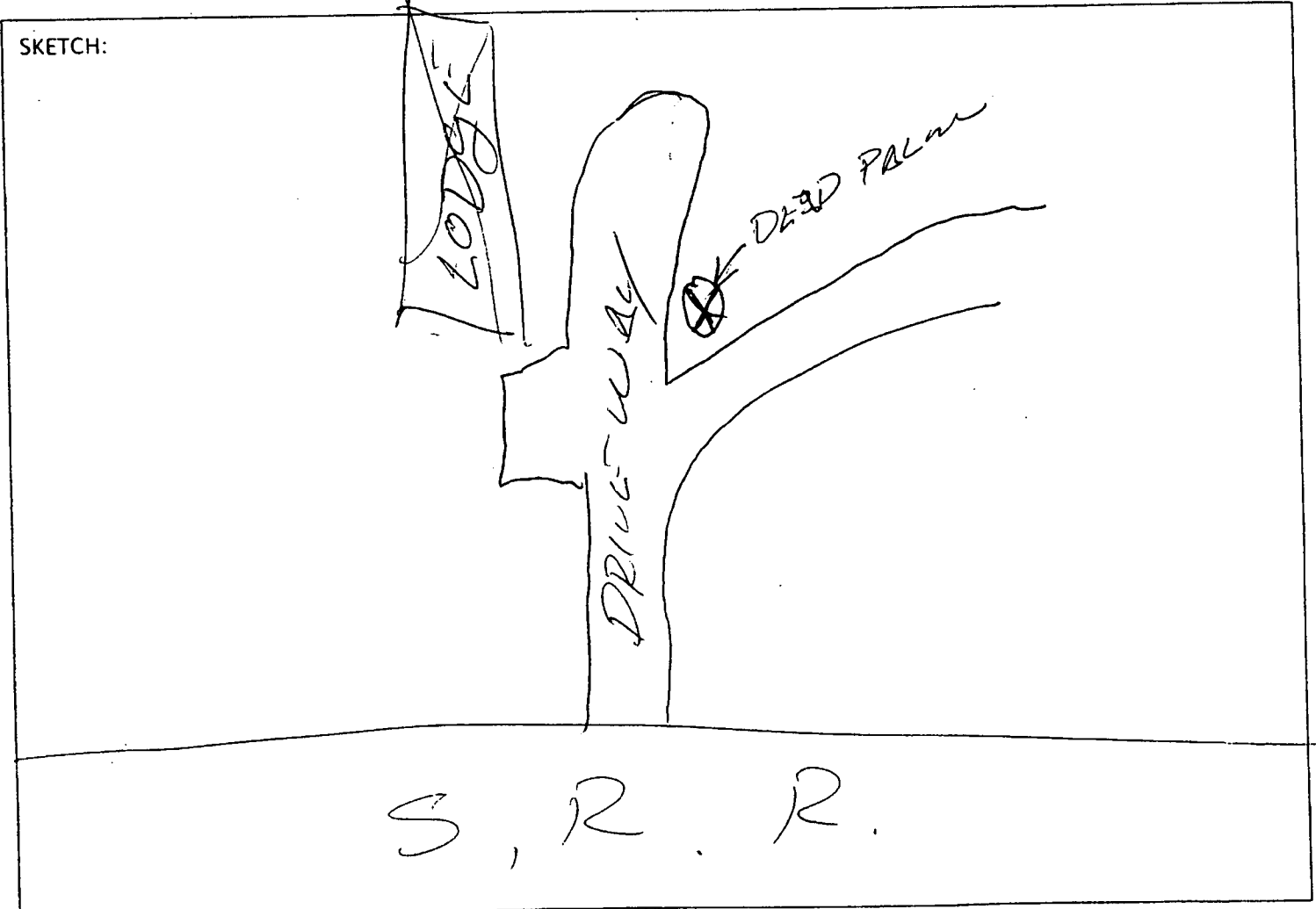
Owner BAY TREE LODGE Address 143 S.R.R. Phone 772-260-9889
 Contractor MONEY TREE SERVICE Address _____ Phone 283-8428
 No. of Trees: REMOVE 1 Type: COCONUT PALM
 No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____
 No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____
 Reason for tree removal /relocation DEAD

Signature of Property Owner [Signature] Date 5-24-13

Approved by Building Inspector: [Signature] Date 5-24-13 Fee: N/C

NOTES:

SKETCH:





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner: ED ROSSIGNO Address: 137 S. RIVER RD Phone: 772-579-0209

Contractor: ? Address: _____ Phone: _____

No. of Trees: REMOVE 2 Species: unknown

No. of Trees: RELOCATE _____ Species: _____

No. of Trees: REPLACE _____ Species: _____

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY

Reason for tree removal /relocation (See notice above) destroying /lifting up pavers

Signature of Property Owner: [Signature] Date: 7/5/13

Approved by Building Inspector: [Signature] Date: 7.8.13 Fee: N/C

NOTES: _____

