

7 Riverview Drive

TOWN OF
SEWALL'S POINT
FLORIDA

Permit No. B43

Date 6-7-78

APPLICATION FOR BUILDING PERMIT

This application must be accompanied by three sets of complete plans, to scale ($\frac{1}{4}$ " scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections, plumbing and electrical layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house construction.

-Owner RICHARD A. WADSTEN Present address _____ N.C.
Phone _____

-General contractor SYLVESTER CONST. address BOX C, STUART, FLA.
Phone 283 2200

Where licensed MARTIN CO License No. 66

-Plumbing contractor WADSEY License No. _____

-Electrical contractor ALTEC License No. _____

-Street the building will front on RIVERVIEW RD.

Subdivision RIVERVIEW Lot No. 20 Area 15,840 \neq

-Building area, inside walls
(excluding garage, carport, porches, etc.)..square feet 2053

-Other construction (pools, additions, etc.) _____

-Contract price
(excluding land, carpeting, appliances, landscaping, etc) \$ 65,000 \neq

-Total cost of permit \$ _____

-Plans approved as submitted _____ Plans approved as marked

I understand that this permit is good for 12 months from the date of its issue and that the building must be completed in accordance with the approved plan, and that the site will be clean and rough-graded within the 12 month period.

J E Sylvester
General Contractor

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood.

Richard A. Wadsten By J E Sylvester
Owner

Note: speculation builders will be required to sign both of the above statements.

TOWN RECORD

Date submitted _____

Approved: Charles G. O'Quinn Building Inspector Date 6/14/78

Approved: Paul G. O'Quinn Commissioner Date 15 June 1978 #1843

Certificate of Occupancy issued Paul G. O'Quinn Date 14 Nov 1978

\$10.00

Deed

This Deed, Dated this 24th day of May A. D. 1978 ,
between BESSEMER SECURITIES CORPORATION, a Delaware corporation
authorized to transact business in the State of Florida,

hereinafter called the Grantor , which term shall include when used herein, wherever the
context so requires or admits, its successors and assigns,

and RICHARD A. WADSTEN and EDYTHE A. WADSTEN, his wife

hereinafter called the Grantees, which term shall include when used herein, wherever the
context so requires or admits, their heirs and assigns,

Grantees' address:

WITNESSETH: That for the sum of Ten Dollars (\$10.00) and other good and
valuable considerations, said Grantor does hereby grant, bargain, sell, alien, remise,
release, convey and confirm unto the said Grantee all that certain piece of property and
tract of land situate in the County of Martin and State of Florida,
described as follows:

Lot 20, of RIVERVIEW SUBDIVISION, a subdivision in the Town of Sewall's
Point, Florida, according to the plat thereof on file and of record in
the office of the Clerk of the Circuit Court in and for Martin County,
Florida, in Plat Book 6, page 86.

SUBJECT, however, to the following:

1. Taxes for the year 1978.
2. The zoning laws of the Town of Sewall's Point, Florida.
3. The matters shown on the aforesaid plat.
4. The Declaration of Protective Covenants recorded in Official
Record Book 383, page 1211, which Declaration is deemed to include as
a part thereof the Articles of Incorporation of Riverview Property
Owners Association, Inc. recorded in Official Record Book 383, page 1219,
and the By-Laws of Riverview Property Owners Association, Inc. recorded
in Official Record Book 383, page 1223 (all recording references being
to the public records of Martin County, Florida).
5. The further protective covenants, which shall run with the land,
reading as follows:

(a) No dwelling house shall be constructed, placed or per-
mitted to be on the premises unless it shall have a floor area of not
less than two thousand five hundred (2500) square feet (not including
the area of porches, unless roofed and closed in on three sides, car-
ports or outbuildings) and shall cost not less than Thirty-Five Thousand
and No/100 Dollars (\$35,000.00); no such dwelling house shall be con-
structed, placed or permitted to be on the premises until the plans and

This instrument was prepared by
HAROLD G. MAASS
Alley, Maass, Rogers, Lindsay & Chauncey
321 Royal Poinciana Plaza
P. O. Box 431
Palm Beach, Florida 33480

#843

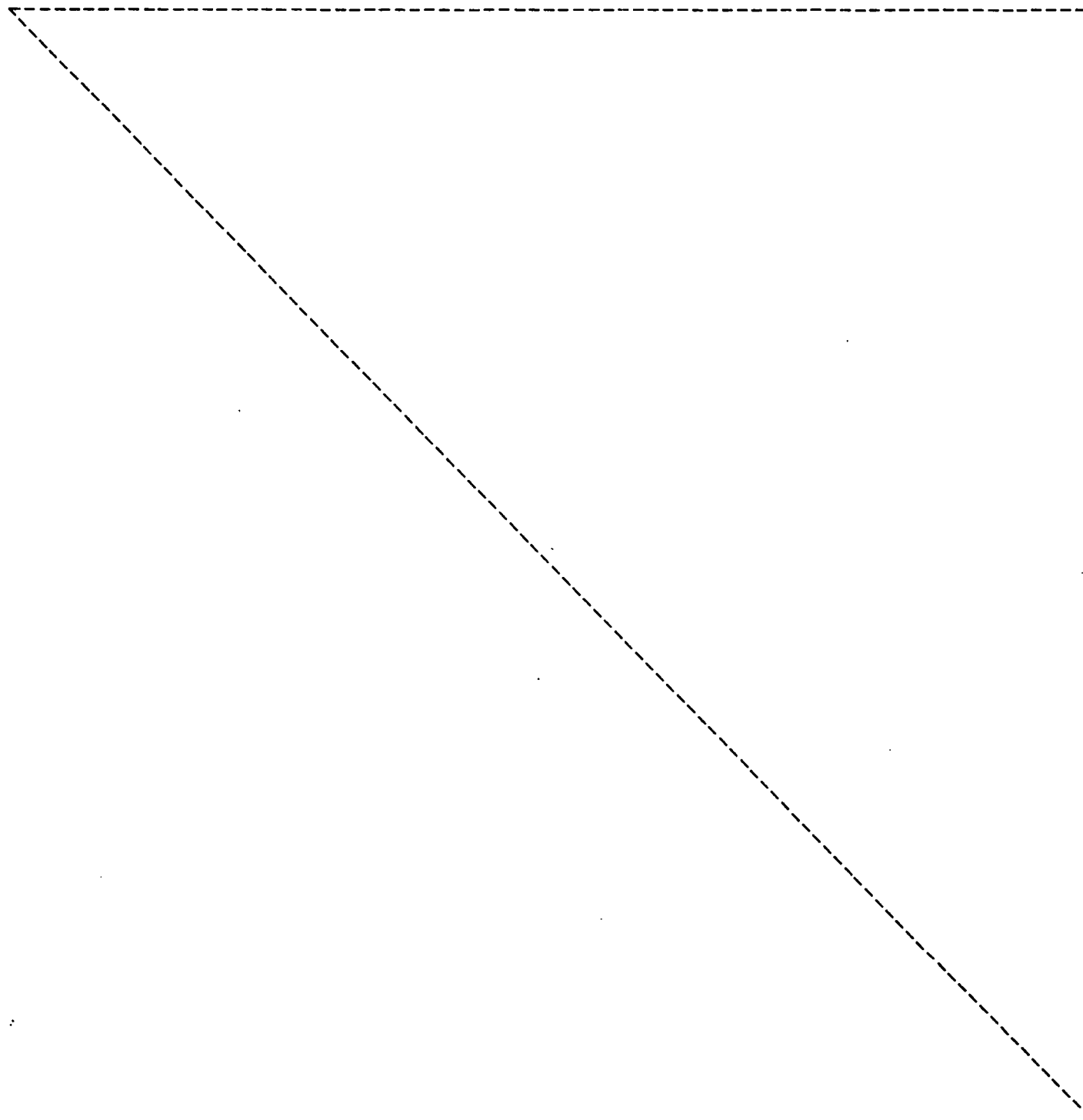
specifications therefor, including the plan for the location thereof on the ground, have been submitted to and approved by the Grantor.

(b) No modular or prefabricated dwelling house shall be constructed, placed or permitted to be on the premises.

(c) No wall, fence, hedge or structure more than six (6) feet in height shall be constructed, erected, grown or permitted to be on any portion of the premises except within the area in which a dwelling house may be constructed under the ordinances of the Town of Sewall's Point, Florida.

(d) To comply with the zoning laws and building ordinances of the Town of Sewall's Point, Florida.

TO HAVE AND TO HOLD the same in fee simple forever, together with all of the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining, subject only to the matters aforesaid.



#843

STATE OF FLORIDA Department of Professional and Occupational Regulation
CONSTRUCTION INDUSTRY LICENSING BOARD

DATE: 05/29/77

CR 000006

DATE: 300

THE CERTIFIED RESIDENTIAL CONTRACTOR
NAMED BELOW IS RE-CERTIFIED
UNDER THE PROVISIONS OF CHAPTER 660 FOR
THE YEAR EXPIRING 1979

FAPORE, SALVATORE
CLIMATRO, FLORIAN
520 E INDUSTRY
COCOA FL. REPT. CO. TRUST

Be...

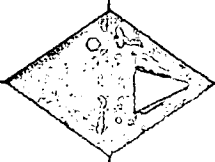
...

RECE

CLIMATROL FLORIDA CORPORATION

529 SOUTH INDUSTRY ROAD - COCOA, FLORIDA 32909

IVED APR 18 1979



Climatrol Florida Corporation
Salvatore Sapore
State Certification No. 39661786

To Whom It May Concern:

Please accept this letter as my authorization for the undersigned to acquire Building Permits in my behalf for Climatrol Florida Corporation.

G. BARNHART
Undersigned

For the job located at

7. Riverview Dr.

Lot 20 Block _____

Subdivision Sevens Point

Property Owner B. WADSTEN

Sincerely,

Salvatore Sapore
Salvatore Sapore

State of Florida
County of Brevard

Sworn to and subscribed before me this 16th
day of April, 1979.

Grace Jones
Notary

(SEAL)

NOTARY PUBLIC, STATE OF FLORIDA AT LARGE.
MY COMMISSION EXPIRES NOV. 9, 1979.

Application/Permit No. HD 78-484

MARTIN County Health Department

DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES
DIVISION OF HEALTH
Application and Permit
of
Individual Sewage Disposal Facilities

APPROPRIATE AGENCIES ADVISED BY ROUTING SLIP(S)

- Instructions:
1. Location, best data, soil profile and water table elevation information must be attached. Test must be made at location of system.
 2. Building and proposed location on lot must be shown to scale at their proposed location.
 3. Work on this sheet or next plants.
 4. Proposed location of septic must be shown on plan.
 5. Any kind of system areas must be indicated on the plan.

5. Indicate name and date of recording of subdivision. If not recorded, attach metes and bounds description.
6. Complete the following information section.

- Notes:
1. Not valid if sewer is available.
 2. Individual well must be 75 feet from any part of system.
 3. Call 2-87-2277 and give this office a 24-hour notice when ready for inspection.

Information:

Property Address (Street & House No.) RIVERVIEW DRIVE
 Block 20 Subdivision RIVERVIEW DRIVE
 Directions to Job (FROM START) EAST ON EAST OCEAN BLVD TO SEWALLS PT. RD. RIGHT TO RIVERVIEW DR. 4TH LOT ON RT.
 City 179 S. RIVER ROAD SEWALLS POINT FLA.

Drainfield
 If of 6" clay tile
 or 4" perforated
 plastic drain in a
 36" trench or
 48" trench
 If of 4" clay drain
 or 4" perforated
 plastic drain in an
 24" X trench

Scale 1" = 50'

(Rear)

SEE ATTACHED SHEET

DO NOT USE ANY OTHER MATERIALS TO COMPLETE THIS SYSTEM WITHIN ENTIRE AREA OF DRAINFIELD

(Name of Street or State Rd.) (Side)

This is to certify that the project described in this application, and as detailed in the plans and specifications and attachments will be constructed in accordance with state requirements.

APPLICANT: TON SYLVESTER
 Please Print (Print)
 Date: 6-5-78

(Signature)
 Date: 6-5-78

Application approved as Construction Authorization
 subject to following special conditions: SEPARATION FROM PUBLIC WATER LINE
MAINTAIN 10'
 This application has been found to be in compliance with Chapter 17-13, Florida Administrative Code, and construction is hereby approved, subject to the following conditions.

John S. [Signature] County Health Dept. MARTIN Date 6-8-78

Final Construction Approval
 Installation approved: Yes No

VA No. _____

1843

BESSEMER PROPERTIES

A DIVISION OF

BESSEMER SECURITIES CORPORATION

249 ROYAL PALM WAY

PALM BEACH, FLORIDA 33480

May 18, 1978

Mr. Thomas E. Sylvester
Sylvester Construction, Inc.
P. O. Box C
Stuart, Florida 33494

Re: Plans - Richard A. Wadsten

Dear Mr. Sylvester:

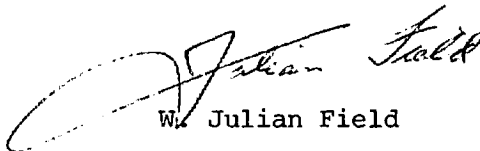
I return herewith one set of approved plans for a proposed residence on Lot 20, Riverview Subdivision, for Mr. and Mrs. Richard A. Wadsten.

In approving these plans it is understood that the dwelling shall have a floor area of not less than 2,500 square feet, not including the area of porches unless roofed and closed in on three sides, carports or outbuildings, and shall cost not less than \$35,000.

It is also understood that you will comply with the Zoning Code and Building Ordinances of the Town of Sewall's Point.

I am a little confused as to the roof material. On the front elevation you show wood shake shingles and on the typical wall section you show concrete tile; however, either of these materials is satisfactory with Bessemer.

Sincerely yours,


W. Julian Field

WJF:ms
Enclosures

#843

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date Nov. 14, 1978

This is to request that a Certificate of Approval for Occupancy be issued to Mr. Wadsten
For property built under Permit No. 843 Dated June 7, 1978 when completed in
conformance with the Approved Plans.

Signed _____

RECORD OF INSPECTIONS

Item	Date	Approved by
Set-backs and footings		
Rough plumbing	<u>6/28/78</u>	
Slab	<u>7/11/78</u>	
Perimeter beam		
Close-in, roof and rough electric	<u>9/1/78</u>	
Final Plumbing	<u>11/14/78</u>	
Final Electric	<u>11/14/78</u>	

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector J. Marquez date 11/14

Approved by Building Commissioner Paul G. Gumbel date 14/11

Utilities notified 14 November 1978 JCG date

Original Copy sent to _____

(Keep carbon copy for Town files)

959

POOL

RECEIVED MAR 22 1978

959
~~956~~

TOWN OF SEWALL'S POINT FLORIDA

Permit No. 959

Date MAR 21, 1979

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner Richard WADSTEN Present address 7 Riverview Rd.

Phone 287-3184

Contractor LOUDEN CONST. Address 4306 S. Fed Hwy Ft. Pierce

Phone 283-4040

Where licensed STATE License number CPC 010400

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought:

Pool & Patio

State the street address at which the proposed structure will be built:

7 Riverview Rd.

Subdivision Riverview

Lot No. 20

Contract price \$ 6,700.00

Cost of Permit \$ 35.00

Plans approved as submitted

Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Contractor DRM Malow for Loudon Const.

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Richard A. Wadsten

TOWN RECORD

Date submitted _____

Approved: _____

J.A. Maguire
Building Inspector

3/22/79
Date

Approved: _____

John P. Gendron
Commissioner

22 Mar '79
Date

Final Approval given: _____

Date

Certificate of Occupancy issued _____

Date

SP/1-79

Pool Steel Grounding 4/3/79

Patio Steel 4/16/79

Completed 5/14/79

Jem

956

991

SCREEN

ENCLOSURE

RECEIVED APR 18 1979

TOWN OF SEWALL'S POINT FLORIDA

Permit No. _____ Date 4-10-79

991

APPLICATION FOR BUILDING PERMIT

This application must be accompanied by three sets of complete plans, to scale (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections, plumbing and electrical layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house construction.

- Owner R. WADSTEN Present address 7 RIVERVIEW DR.
- Phone 287-3184
- General contractor Commercial Fla. Corp address 529 S. INDUSTRIAL RD
- Phone 727-2600 COCOA FLA
- Where licensed FLA License No. CCC-001786
- Plumbing contractor _____ License No. _____
- Electrical contractor _____ License No. _____
- Street the building will front on RIVERVIEW DR
- Subdivision SEWALLS POINT Lot No. 20 Area _____
- Building area, inside walls (excluding garage, carport, porches, etc.)..square feet _____
- Other construction (pools, additions, etc.) POOL SCREENED ENCLOSURE
- Contract price (excluding land, carpeting, appliances, landscaping, etc) \$ 2500.00
- Total cost of permit \$ 13.00
- Plans approved as submitted Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the building must be completed in accordance with the approved plan, and that the site will be clean and rough-graded within the 12 month period.

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the Florida Building Code.

Commercial Florida Corp
[Signature]
General Contractor

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood.

[Signature]
Owner

Note: speculation builders will be required to sign both of the above statements.

991

TOWN RECORD Date submitted _____

Approved: [Signature] 4/27/79
Building Inspector Date

Approved: [Signature] 4/27/79
Commissioner Date

Checked Constructed 5/1/79

Certificate of Occupancy issued _____



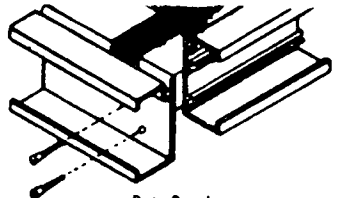
CLIMATROL FLORIDA CORPORATION

CLIMATROL FLORIDA CORP.
2201 S.E. Indian St., 1-78
Stuart, Florida 33494

529 South Industry Road
COCOA, FLORIDA 32922
Telephone: 632-0264

Ph: 283-8070, West Palm, 842-4655

MELBOURNE: (305) 727-2600
ORLANDO: (305) 422-2646
JACKSONVILLE: (904) 269-2201



Pat. Pend.
Originators and Manufacturers of
Extruded Aluminum Patio, Pool
and Screen House Enclosures.

Job No. _____

SOLD TO Richard Wadsten PHONE 287 3184 DATE 2-13 1979

ADDRESS _____ CITY _____

INSTALLATION ADDRESS 7 Riverview Dr. CITY Sewalls Pt.

TERMS & FINANCE Balance on completion DELIVERY DATE _____

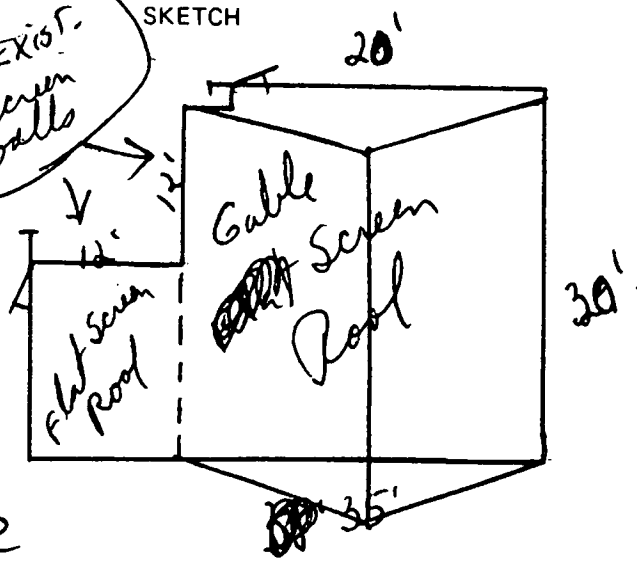
- SCREEN WALLS COLOR: Char 18X14
- SCREEN ROOF COLOR: Char 18X14
- FLAT GABLE BUBBLE
- DIVING DOME _____
- BEAMS I-TYPE
- ALUM. ROOF _____
- VINYL STRIPS NO
- CHAIR RAIL 16" 24" 36"
- FLA. GLASS _____
- KICK PLATE NO SIZE _____
- DOORS 2
- GUTTERS 34' @ 20.5-
- COLUMNS _____
- WINDOWS TYPE _____
- CABLE BRACES YES
- ENGINEER DRAWINGS _____
- PERMIT _____

RECEIVED APR 18 1979

E.S.P. Bronze

Remove Exist. wood screen walls

Leave wood with customer



LOT 20 BLOCK _____ TOTAL PRICE \$ ~~2392.00~~ 2500 DEPOSIT \$ 900.00 BALANCE \$ 1600

SUBDIVISION Sewalls Pt. THIS PRICE IS BASED ON DIMENSIONS SHOWN IN THE ABOVE SKETCH

MATERIAL & WORKMANSHIP GUARANTEED FOR 1 YEAR

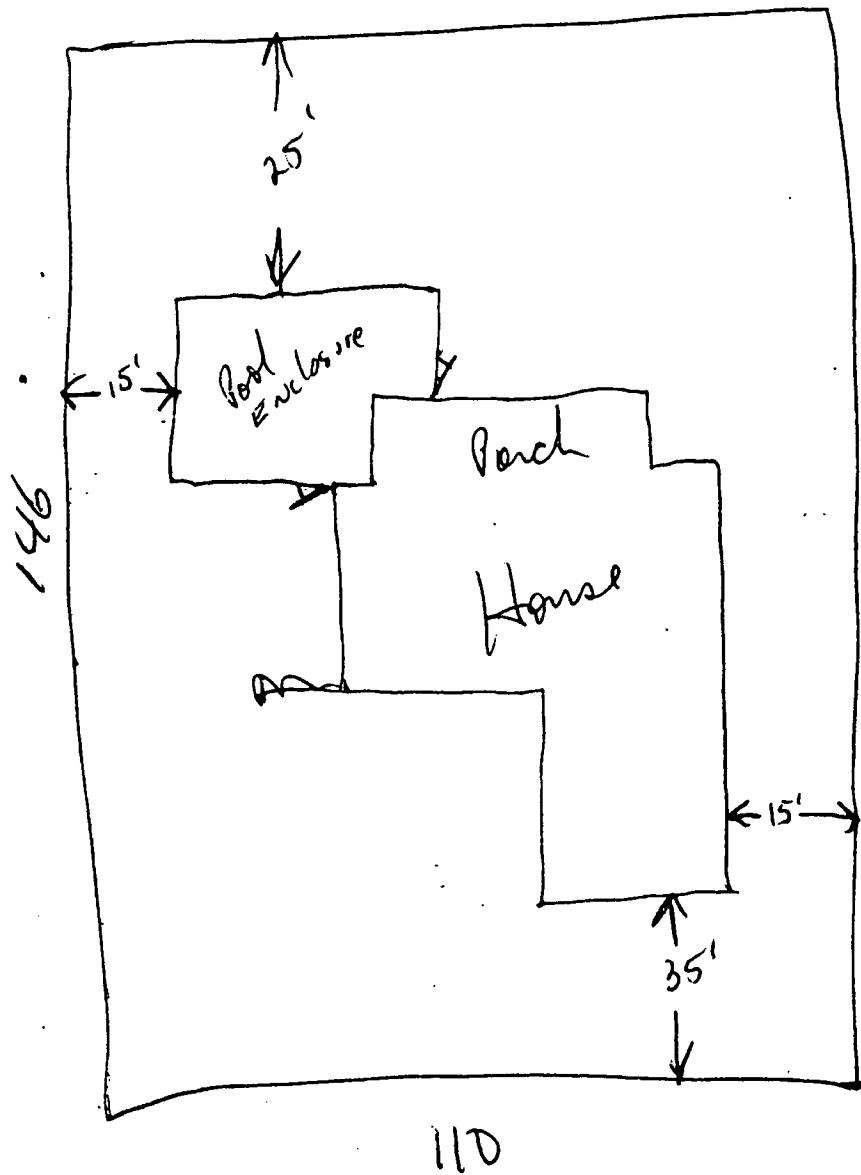
1. For the total price including tax the seller agrees to fabricate, deliver and install the screen enclosure described above.
2. This proposal does not become a contract until accepted and signed by an officer of the seller-company, and if not accepted, any cash payment will be returned.
3. Price terms and other elements of this proposal are good for 90 days from date _____ and void thereafter at the seller's option.
4. No statement, warranty, implied or expressed, representation or agreement, written or verbal, not appearing upon the face of this contract shall be binding upon the parties hereto.
5. Seller expressly reserves all contractors, mechanics and material man's lien which may be asserted under any provision of law to secure payment of the contract price and may assert and fix the same as lien upon the real property on which installation is made.
6. In the event payment on this contract is enforced through attorneys or by suit or in bankruptcy or probate proceedings, seller may recover and purchaser hereby agrees to pay reasonable attorney fees and costs of court.
7. All sums not paid as due shall bear interest of 8% per annum and unless otherwise stated all sums become due and payable upon completion of work.
8. Seller agrees to take all reasonable steps to insure the fulfillment of orders received, but our performance is subject to delays or cancellations caused by war, accident strikes, inability to secure labor and raw materials, fires, embargoes, transportation shortages and delays, government conscription, priorities, and restraint, failure on your part to give notice of your requirements and/or proper measurements and other information and all other causes whether of the same or different class affecting the whole or any part of seller's obligation hereunder.
9. Contractor or owner agrees to supply electrical power at job site.
10. Climatrol Florida Corporation will retain title until full payment of obligation of indebtedness is met.

I/WE have read the foregoing proposed contract and accept the same on the terms and conditions stated above.

PURCHASER Richard A Wadsten
DATE 4/6/79

CLIMATROL FLORIDA CORPORATION
By Michael A. Soncini

4/27/79

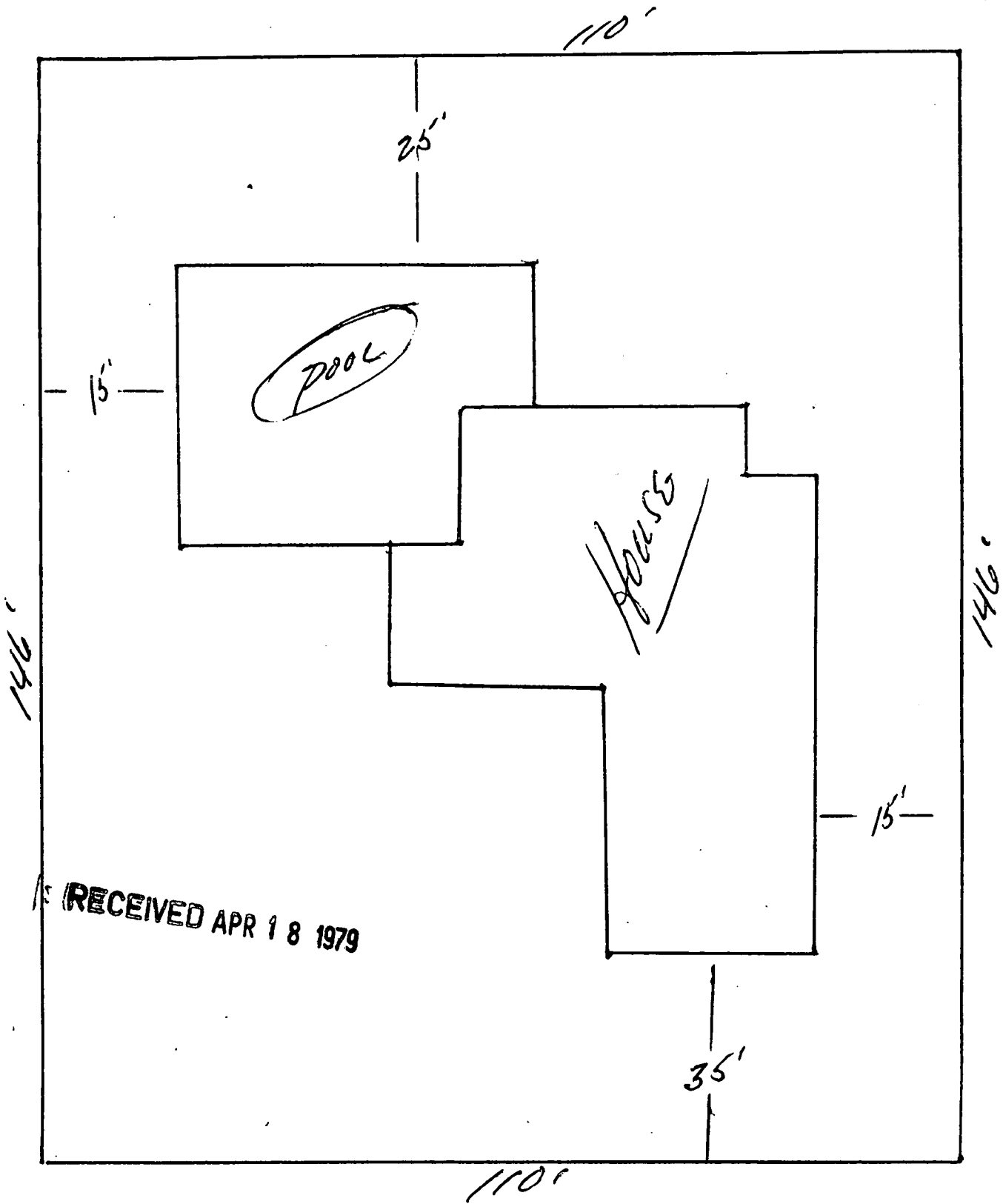


RECEIVED APR 18 1979

DAJ
4/27/79

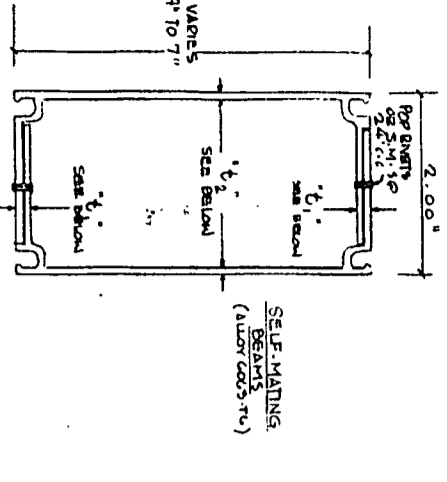
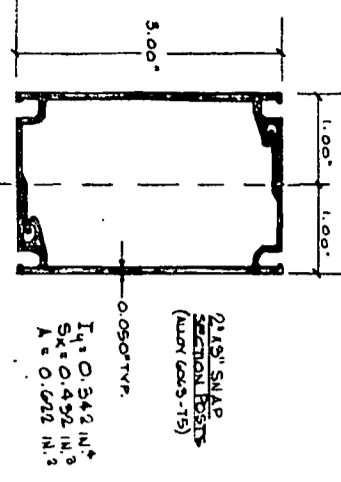
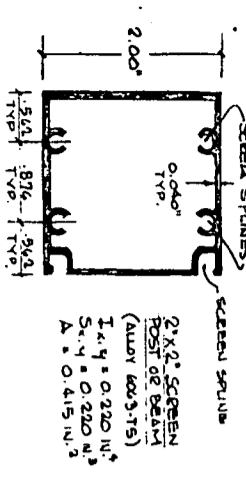
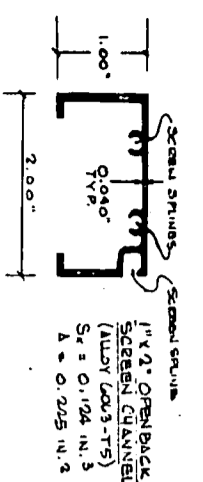
BLAINE WADSTEAD

7 RIVERVIEW DR. LOT 20



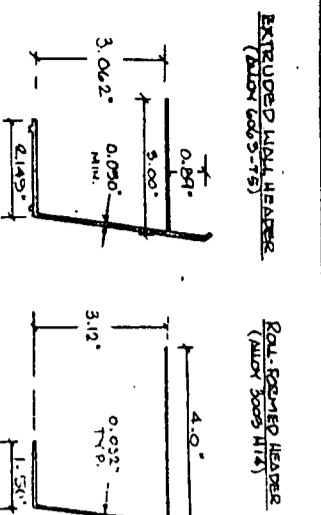
QAS
4/27/79

EXTRUDED ROOF AND BEAM SECTIONS

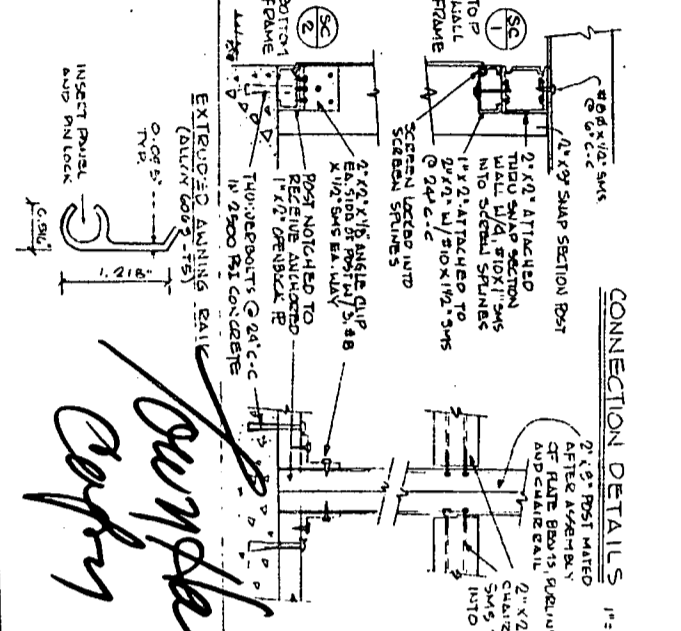
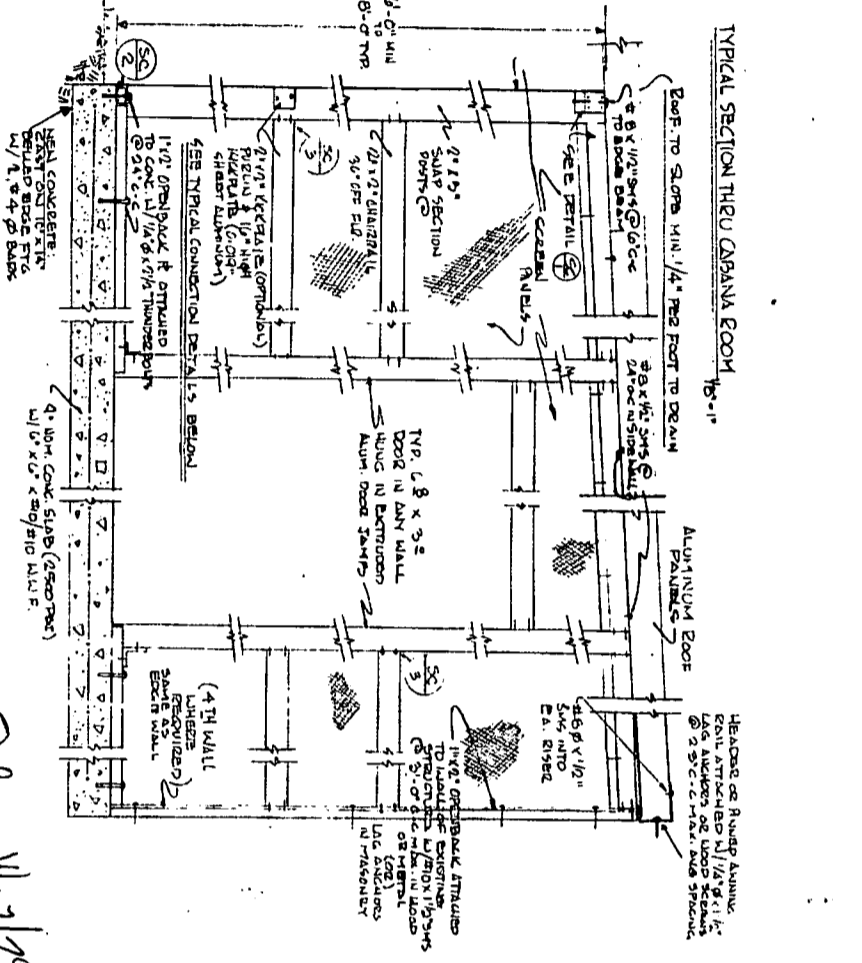
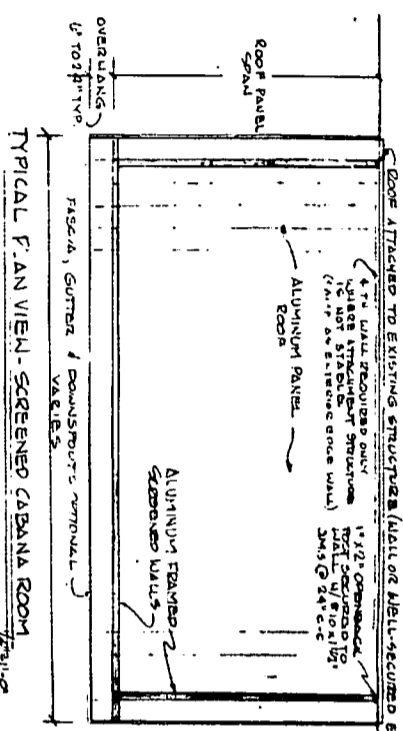


PROPERTIES OF SELF-MATING BEAMS

DEPTH	W	Sx	Ix
4"	0.118"	0.045"	1.08 in ⁴ 0.48 in ³
6"	0.109"	0.055"	1.86 in ⁴ 0.75 in ³
7"	0.225"	0.095"	3.69 in ⁴ 0.98 in ³



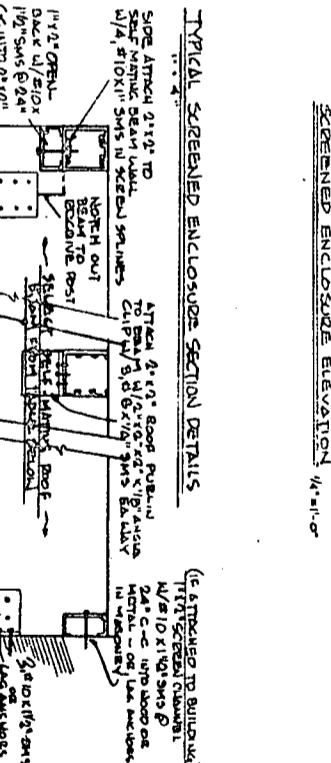
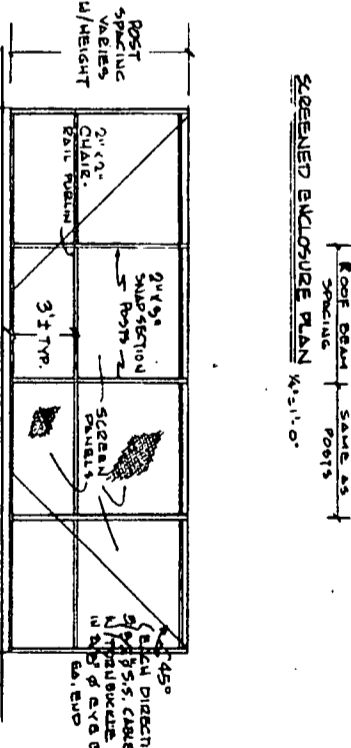
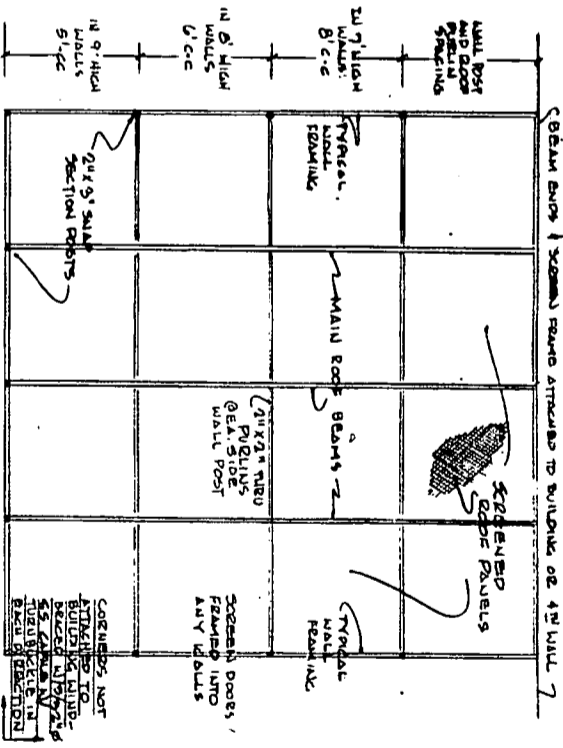
SCREENED CABANA ROOM DETAILS



Approval of these plans in NO WAY relieves the contractor or builder of Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

John P. Swallow
1/27/79

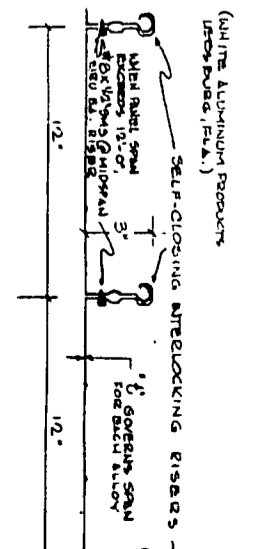
SCREEN ENCLOSURE DETAILS



TYPICAL SCREENED ROOF BEAM SPAN TABLE

BEAM SIZE	MAXIMUM SPAN FOR ROOF BEAMS SPACING AS SHOWN, CENTER TO CENTER
2 1/2" X 2" SELF-MATING	25'-0"
2" X 2" SELF-MATING	22'-6"
2" X 1 1/2" SELF-MATING	21'-0"
2" X 1" SELF-MATING	20'-0"
1 1/2" X 1" SELF-MATING	19'-0"
1 1/2" X 3/4" SELF-MATING	18'-0"

ALUMINUM ROOF PANEL SYSTEM



MAXIMUM SPANS FOR 120 MPH WIND - 20 PSF LL

ALLOY	6" x 0.092"	6" x 0.072"
3003 H14	14'-0"	12'-0"
3005 H16	14'-9"	12'-7"

EXCEPT WHERE NOTED OTHERWISE, SAFE LOAD-CARRYING CAPACITIES AND SPANS FOR THESE ROOF PANELS HAVE BEEN VERIFIED BY LOAD TESTS ON ROOF ASSEMBLIES CONDUCTED UNDER THE SUPERVISION OF THE UNDERWRITERS ENGINEERING DEPARTMENT.

ENGINEERING NOTE

STRUCTURES DETAILED IN THESE PLANS WERE DESIGNED IN ACCORDANCE WITH SOUTHERN STANDARD BUILDING CODE 1974 AMENDMENTS. DESIGN LOADS CONSIDERED: DL + 20 PSF LL 120 MPH WIND VELOCITY PRESSURES. WHERE LOCAL CONDITIONS IMPOSE FURTHER LIMITATIONS OR SPANS OR PROPORTIONS, SUCH CONDITIONS SHOULD BE ADDED TO IN APPLICATION OF THIS DESIGN.

Charles P. Glime, P.E.
CHARLES P. GLIME, P.E.
FLORIDA REG. NO. 12255

RECEIVED APR 18 1979

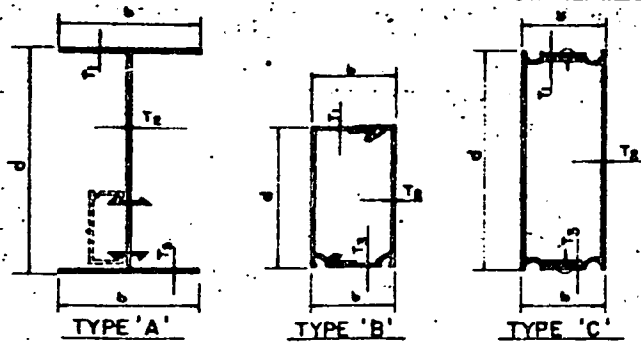
Approval of these plans in NO WAY relieves the contractor or builder of Point's Ordinances and the South Florida Building Code.

HARLAN ENGINEERING LABORATORIES, INC. PALM BEACH, FLORIDA 33409

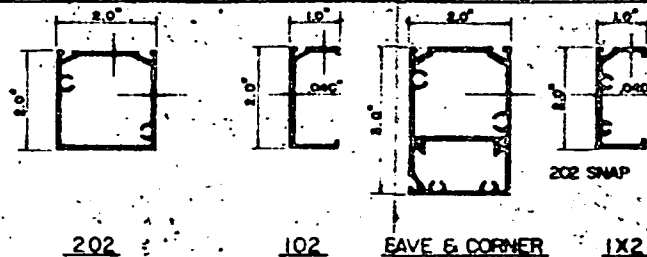
MASTER PLAN FOR SCREENED CABANA ROOMS & ENCLOSURES

FOR CLIMATECONTROL, INC. 859 SOUTH INDUSTRY ROAD OCOEE, FLORIDA 32902

JOB NO. E-776-LTC DATE: 7/17/76



BEAMS AND COLUMNS



MISCELLANEOUS COMPONENTS

BEAM AND COLUMN SCHEDULE											
MARK	TYPE	SIZE			THICKNESS			MAX. BEAM SPAN SPACED			REMARKS
		b	d	b'	T ₁	T ₂	T ₃	6'-0"	7'-0"	8'-0"	
ALL SPANS SHOWN ARE MAKING IN OUT TO OUT.											
603	A	3.00	6.00	3.00	.094	.060	.094	26'-0"	24'-0"	22'-0"	W/2-1X2'S SNAPPED ON
703	A	3.00	7.00	3.00	.125	.066	.125	32'-0"	29'-9"	28'-0"	DO.
804	A	4.00	8.00	4.00	.125	.070	.125	35'-0"	33'-0"	32'-0"	DO.
1004	A	4.00	10.00	4.00	.140	.096	.140	48'-2"	45'-0"	42'-0"	DO.
302	B	2.00	3.00		.050	.050	.050	12'-0"	11'-0"	10'-0"	
202	MISC.	2.00	2.00		.040	.040	.040	8'-0"	8'-0"	7'-0"	
402	B	2.00	4.00		.050	.050	.050	14'-0"	12'-9"	12'-0"	#10X1/2" S.M.S. AT 24" C.C.
602	C	2.00	6.00		.050	.050	.180	11'-0"	25'-0"	23'-0"	DO.
702	C	2.00	7.00		.140	.060	.250	32'-0"	31'-0"	29'-0"	DO.

COLUMN SCHEDULE											
MARK	TYPE	SIZE			THICKNESS			MAX. COLUMN HT. SPACED			REMARKS
		b	d	b'	T ₁	T ₂	T ₃	6'-0"	7'-0"	8'-0"	
302	B	2.00	3.00		.050	.050		9'-0"	8'-6"	8'-0"	
402	C	2.00	4.00		.060	.050	.120	12'-0"	11'-0"	10'-0"	

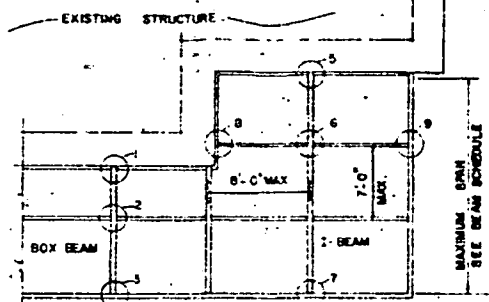
MISCELLANEOUS FASTENING SCHEDULE		
MEMBER	DESCRIPTION	FASTENER
202	STRUT TO N2 AT BEAM	2 #10X3/4" S.M.S.
202	STRUT TO EAVE SECTION	DO
202	CHAIR RAIL TO COLUMN	DO
1X2	PERIMETER MEM. JOINED	DO
1X2	PERIMETER MEM. TO COL.	DO
1X2	PERIMETER MEM. TO CONC.	ANCHOR AT 24" C-C
1X2	PERIMETER MEM. TO WOOD	#10X2 1/2" S.M.S. 24" C-C

SCREEN WALL CABLE SCHEDULE				
HEIGHT	SPAN	CABLES	SPAN	CABLES
8'-0"	19'-0"	1 SET (2 CABLES)	29'-0"	2 SETS (4 CABLES)
9'-0"	19'-0"	1 SET (2 CABLES)	30'-0"	2 SETS (4 CABLES)
10'-0"	19'-0"	1 SET (2 CABLES)	32'-0"	2 SETS (4 CABLES)
11'-0"	14'-0"	1 SET (2 CABLES)	28'-0"	2 SETS (4 CABLES)
12'-0"	12'-0"	1 SET (2 CABLES)	24'-0"	2 SETS (4 CABLES)

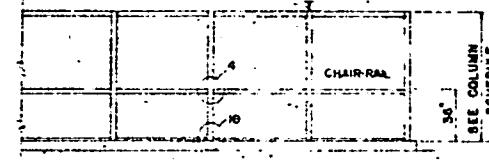
ANCHORS TO CONCRETE & MASONRY SHALL BE 1/4" X 2 1/2" THUNDERBOLTS, #10 X 2 1/2" S.M.S. IN JORDAN 1020 ANCHOR OR APPROVED EQUAL.

DESIGN CRITERIA			
WALLS:	DESIGN WIND LOAD IN & OUT	10	PS.F.
	TEST LOAD WIND IN & OUT	15	PS.F.
ROOF:	DESIGN LIVE LOAD DOWN	10	PS.F.
	DESIGN WIND LOAD UP	10	PS.F.
	TEST LOAD UP & DOWN	9	PS.F.
RECOVERY AT TEST LOAD		90% MIN	

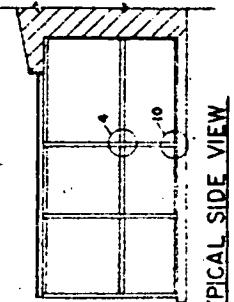
- NOTES:
- 1) ROOF & SIDING SHALL BE COVERED WITH SCREEN CLOTH BEING 60% OR GREATER OPEN. THE ADDITION OF SOLID ROOFING OR SIDING IS NOT COVERED BY THIS SHEET.
 - 2) THE EXISTING STRUCTURE MUST BE CAPABLE OF SUPPORTING THE LOADED SCREEN ENCLOSURE.
 - 3) 6063-T6 ALUM. ALLOY BEAMS WILL BEAR IDENTIFICATION 1-FT FROM EACH END OF BEAM.
 - 4) USE ADDITIONAL SETS OF CABLES WHERE BEAM SPANS EXCEED THOSE SHOWN IN CABLE SCHEDULE.
 - 5) A TOLERANCE OF .006" IS ALLOWED WHERE WALL THICKNESS EXCEEDS .055"
 - 6) EXPOSED FASTENERS SHALL BE NON-MAGNETIC STAINLESS STEEL OR ALUM. EXCEPT CABLE FASTENERS MAY BE HOT-DIP GALV. STEEL.
 - 7) MASONRY ANCHORS SHALL BE MADE OF NON-CORROSIVE METALIC CONST. OR OF VIRGIN P.V.C. PLASTIC.



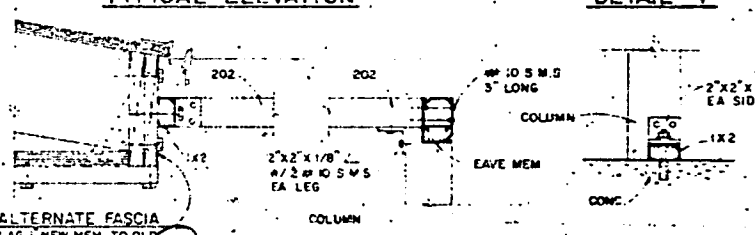
TYPICAL ROOF PLAN



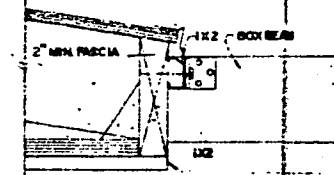
TYPICAL ELEVATION



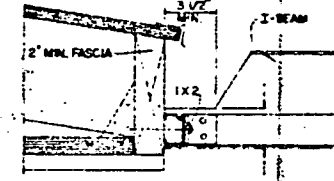
TYPICAL SIDE VIEW



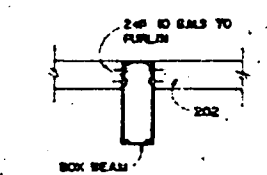
DETAIL 9



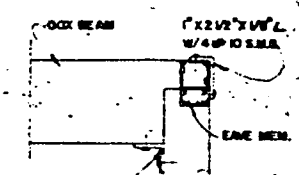
DETAIL 1



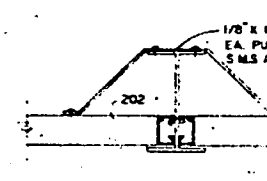
DETAIL 5



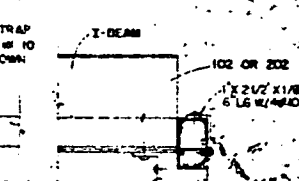
DETAIL 2



DETAIL 3



DETAIL 6

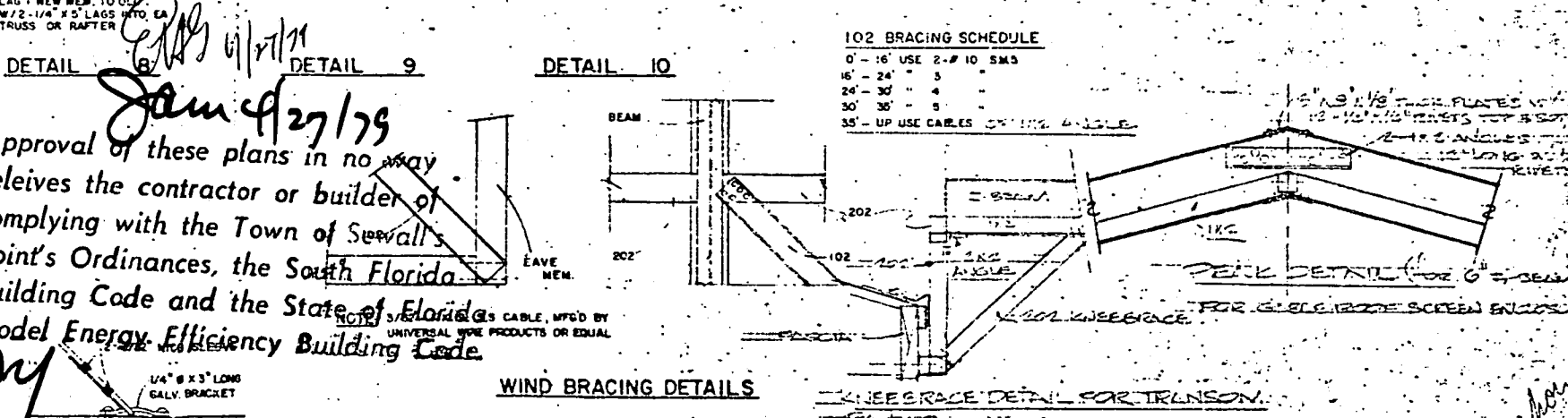


DETAIL 7

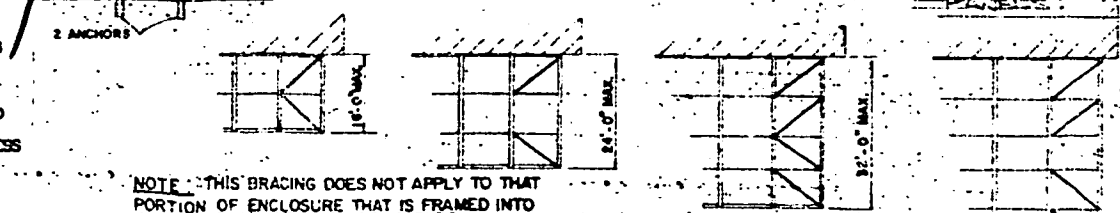
NOTES:
 0' TO 32' SPAN USE 4-#10 S.M.S.
 6-2 ANCHORS EA COLUMN.
 OVER 32' SPAN USE 6-#10 S.M.S.
 & 4 ANCHORS EA COLUMN.
 USE 2-ANCHORS, 4 S.M.S.
 EA. SIDE OF CORNER COLS.

NOTE: NOT REQUIRED FOR BOX BEAMS

102 BRACING SCHEDULE	
0' - 16'	USE 2-#10 S.M.S.
16' - 24'	3
24' - 30'	4
30' - 35'	5
35' - UP	USE CABLES AT 45° ANGLE.



WIND BRACING DETAILS



NOTE: THIS BRACING DOES NOT APPLY TO THAT PORTION OF ENCLOSURE THAT IS FRAMED INTO AN 'L' OR 'U' OF AN EXISTING BLDG.

ROOF BRACING LAYOUT (FREE STANDING & FASCIA ATTACHED ENCLOSURES)

SCREEN ENCLOSURE DETAIL SHEET

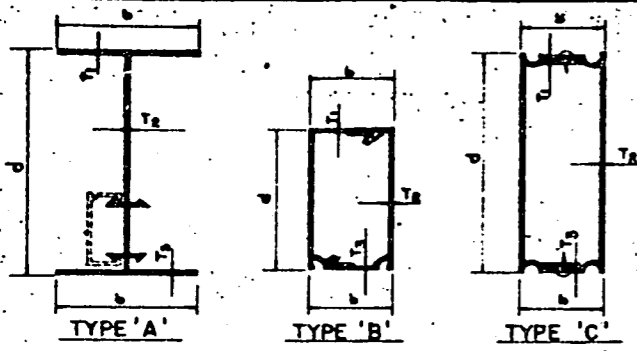
CLIMATROL FLORIDA CORP
 529 SO. INDUSTRY RD. COCOA, FLORIDA

ENGINEER: ROBERT S. MONSIEUR
 DATE: JAN 15 1975
 REVISED: MAY 27 1975

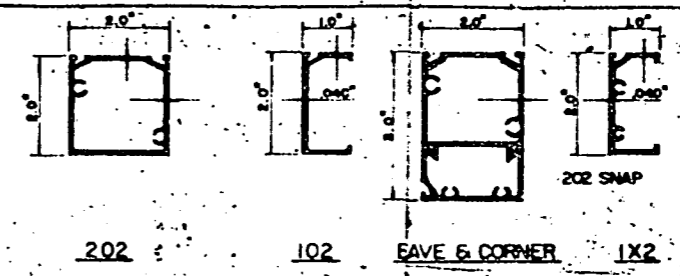
Approval of these plans in no way relieves the contractor or builder of complying with the Town of Seville's Ordinance, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

Town Hall Copy

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BEAMS AND COLUMNS



MISCELLANEOUS COMPONENTS

BEAM AND COLUMN SCHEDULE											
MARK	TYPE	SIZE			THICKNESS			MAX. BEAM SPAN SPACED			REMARKS
		b	d	b'	T ₁	T ₂	T ₃	6'-0"	7'-0"	8'-0"	
ALL SPANS SHOWN ARE MAXIMUM OUT TO OUT											
603	A	3.00	6.00	3.00	.094	.060	.094	26'-0"	24'-0"	22'-0"	W/2-1X2'S SNAPPED ON
703	A	3.00	7.00	3.00	.125	.066	.125	32'-0"	29'-9"	28'-0"	DO.
804	A	4.00	8.00	4.00	.125	.070	.125	35'-0"	35'-0"	32'-0"	DO.
1004	A	4.00	10.00	4.00	.140	.096	.140	48'-2"	45'-0"	42'-0"	DO.
302	B	2.00	3.00		.050	.050	.050	12'-0"	11'-0"	10'-0"	
202	MISC.	2.00	2.00		.040	.040	.040	8'-0"	8'-0"	7'-0"	
402	B	2.00	4.00		.060	.050	.060	14'-0"	12'-9"	12'-0"	#10X1/2" S.M.S. AT 24" C.C.
602	C	2.00	6.00		.040	.050	.120	24'-0"	25'-0"	23'-0"	DO.
702	C	2.00	7.00		.140	.060	.120	32'-0"	31'-0"	29'-0"	DO.

COLUMN SCHEDULE											
MARK	TYPE	SIZE			THICKNESS			MAX. COLUMN HT. SPACED			REMARKS
		b	d	b'	T ₁	T ₂	T ₃	6'-0"	7'-0"	8'-0"	
302	B	2.00	3.00		.050	.050		9'-0"	8'-6"	8'-0"	
402	C	2.00	4.00		.060	.050	.120	12'-0"	11'-0"	10'-0"	

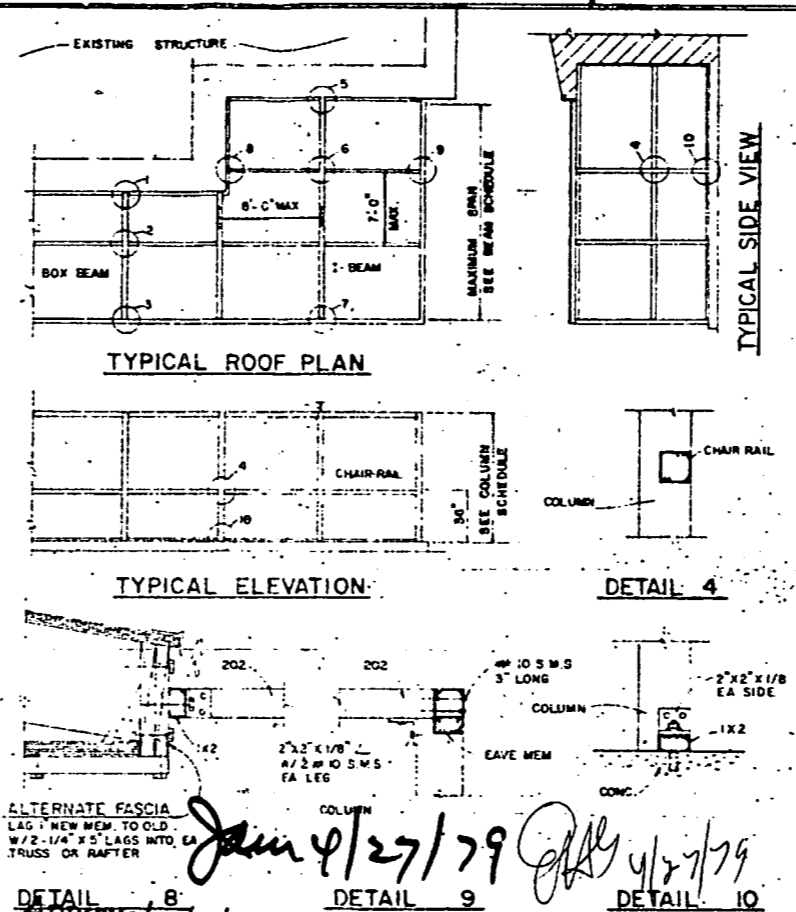
MISCELLANEOUS FASTENING SCHEDULE		
MEMBER	DESCRIPTION	FASTENER
202	STRUT TO I22 AT BEAM	2 #10X3/4" S.M.S.
202	STRUT TO EAVE SECTION	DO.
202	CHAIR RAIL TO COLUMN	DO.
1X2	PERIMETER MEM. JOINED	DO.
1X2	PERIMETER MEM. TO COL.	DO.
1X2	PERIMETER MEM. TO CONC.	ANCHOR AT 24" C-C
1X2	PERIMETER MEM. TO WOOD	#10X2 1/2" S.M.S. 24" C-C

SCREEN WALL CABLE SCHEDULE				
HEIGHT	SPAN	CABLES	SPAN	CABLES
6'-0"	19'-0"	1 SET (2 CABLES)	39'-0"	2 SETS (4 CABLES)
8'-0"	18'-0"	1 SET (2 CABLES)	30'-0"	2 SETS (4 CABLES)
10'-0"	16'-0"	1 SET (2 CABLES)	32'-0"	2 SETS (4 CABLES)
11'-0"	14'-0"	1 SET (2 CABLES)	28'-0"	2 SETS (4 CABLES)
12'-0"	12'-0"	1 SET (2 CABLES)	24'-0"	2 SETS (4 CABLES)

ANCHORS TO CONCRETE & MASONRY SHALL BE 1/4" X 2 1/2" THUNDERBOLTS, #10 X 2 1/2" S.M.S. IN JORDAN 1020 ANCHOR OR APPROVED EQUAL.

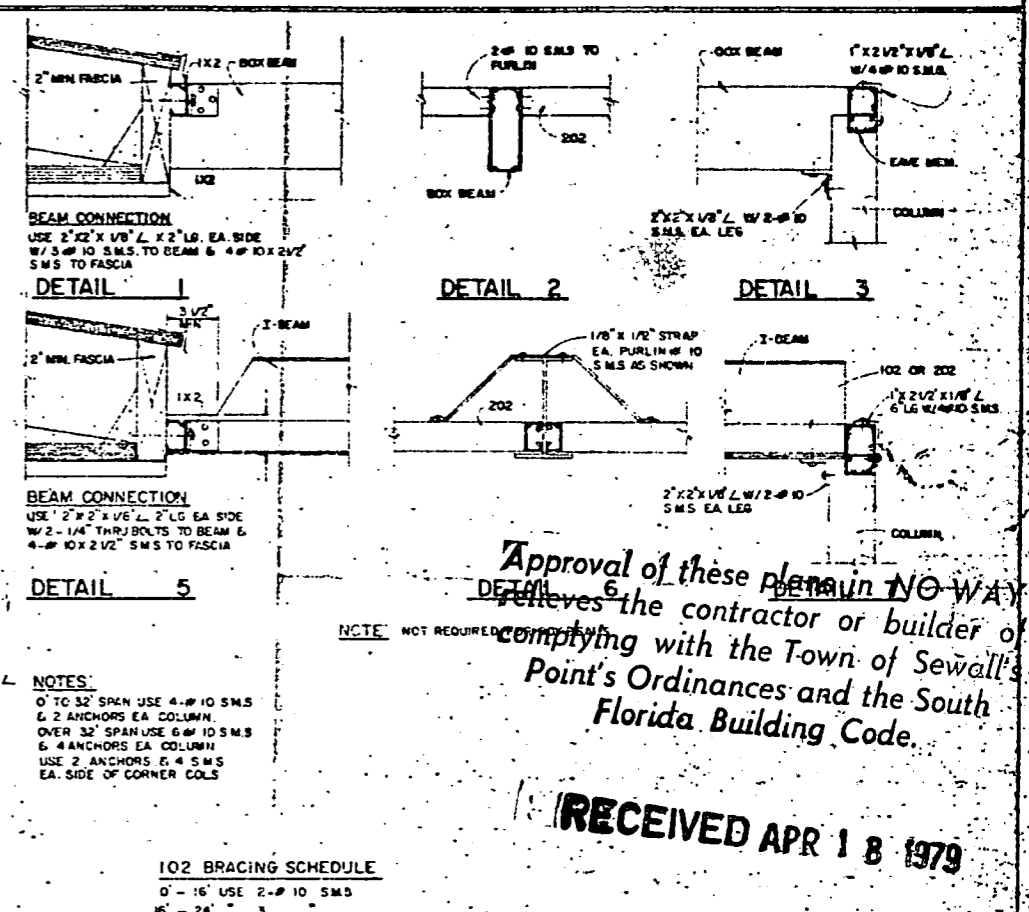
DESIGN CRITERIA			
WALLS:	DESIGN WIND LOAD IN & OUT	10	PSF.
	TEST LOAD WIND IN & OUT	15	PSF.
ROOF:	DESIGN LIVE LOAD DOWN	6	PSF.
	DESIGN WIND LOAD UP	6	PSF.
	TEST LOAD UP & DOWN	9	PSF.
RECOVERY AT TEST LOAD		90% MIN.	

- NOTES:**
- ROOF & SIDES SHALL BE COVERED WITH SCREEN CLOTH BEING 60% OR GREATER OPEN. THE ADDITION OF SOLID ROOFING OR SIDING IS NOT COVERED BY THIS SHEET.
 - 1/2" EXISTING STRUCTURE MUST BE CAPABLE OF SUPPORTING THE LOADED SCREEN ENCLOSURE.
 - 6063-T6 ALUM. ALLOY BEAMS WILL BEAR IDENTIFICATION 1'-FT FROM EACH END OF BEAM.
 - USE ADDITIONAL SETS OF CABLES WHERE BEAM SPANS EXCEED THOSE SHOWN IN CABLE SCHEDULE.
 - A TOLERANCE OF .006" IS ALLOWED WHERE WALL THICKNESS EXCEEDS .055"
 - EXPOSED FASTENERS SHALL BE NON-MAGNETIC STAINLESS STEEL OR ALUM. EXCEPT CABLE FASTENERS MAY BE HOT-DIP GALV. STEEL.
 - MASONRY ANCHORS SHALL BE MADE OF NON-CORROSIVE METALIC CONST. OR OF VIRGIN P.V.C. PLASTIC.



Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

Jan 4/27/79



102 BRACING SCHEDULE			
0' - 16'	USE	2-#10 S.M.S.	
16' - 24'	3		
24' - 30'	4		
30' - 35'	5		
35' - UP	USE CABLES	SEE THIS SCHEDULE	

WIND BRACING DETAILS

SCREEN ENCLOSURE DETAIL SHEET

CLIMATROL FLORIDA CORP.
529 SO. INDUSTRY RD. COCA, FLORIDA

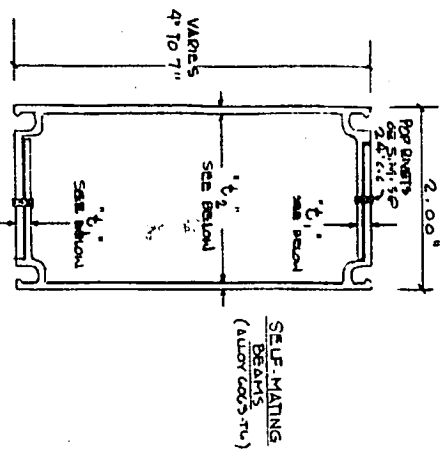
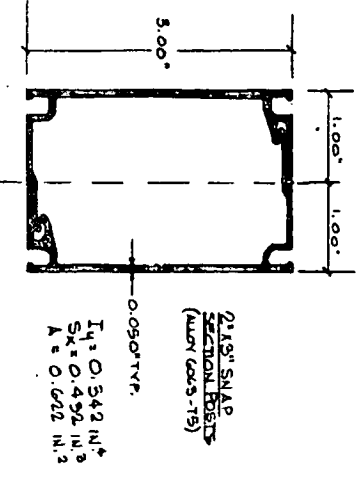
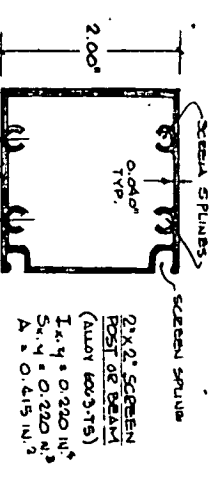
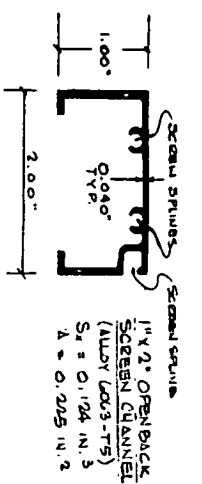
ENGINEER: ROBERT S. MONSIEUR
DATE: JAN. 15, 1975
REVISED: MAY 27, 1975

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances and the South Florida Building Code.

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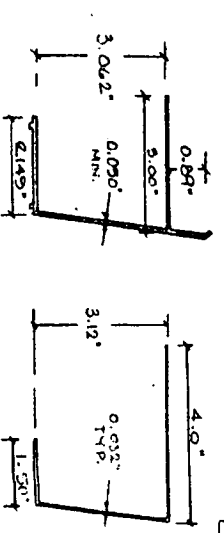
JOB COPY

EXTRUDED POST AND BEAM SECTIONS

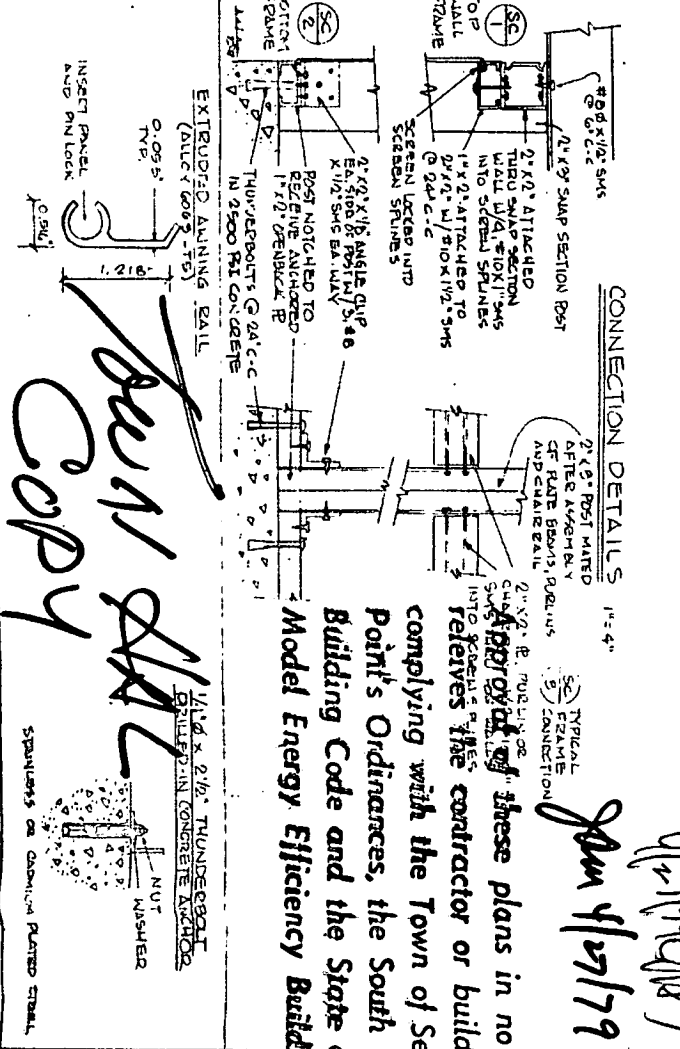
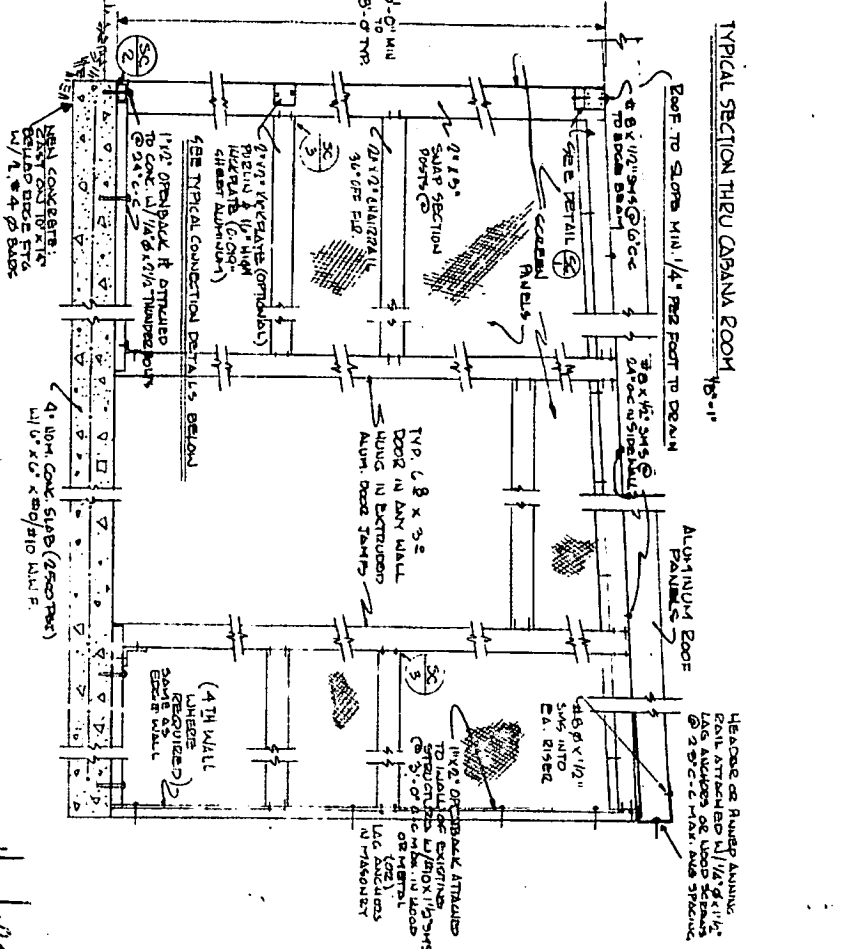
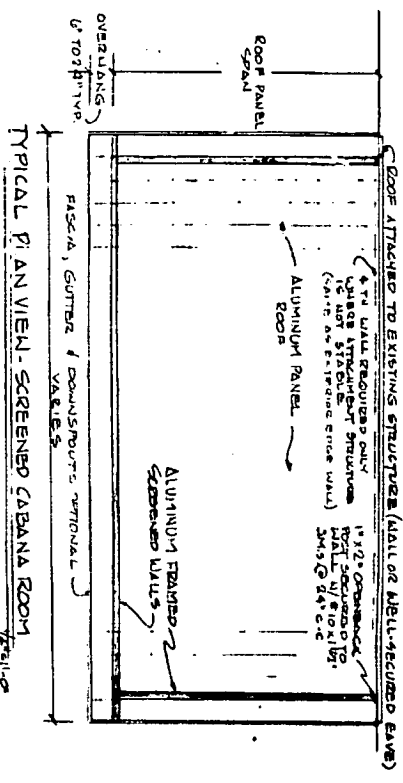


PROPERTIES OF SELF-MATING BEAMS

DEPTH	W	Sx	Iy
4"	0.118"	0.045"	1.08 in ⁴
6"	0.109"	0.085"	1.86 in ⁴
7"	0.125"	0.095"	3.09 in ⁴



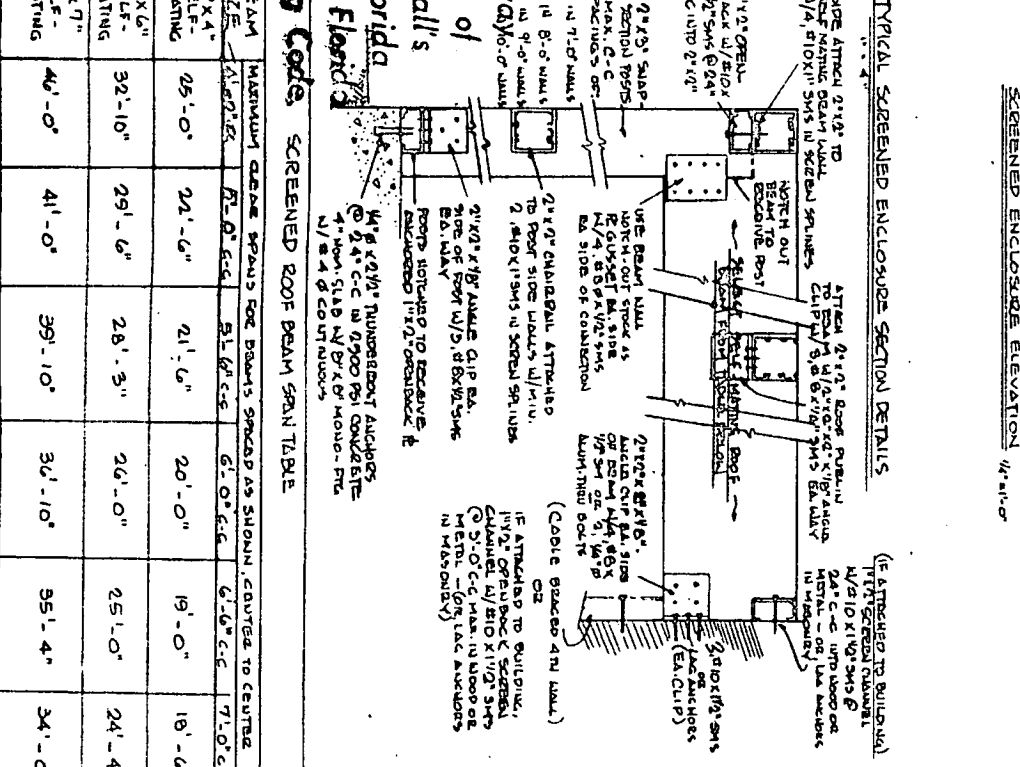
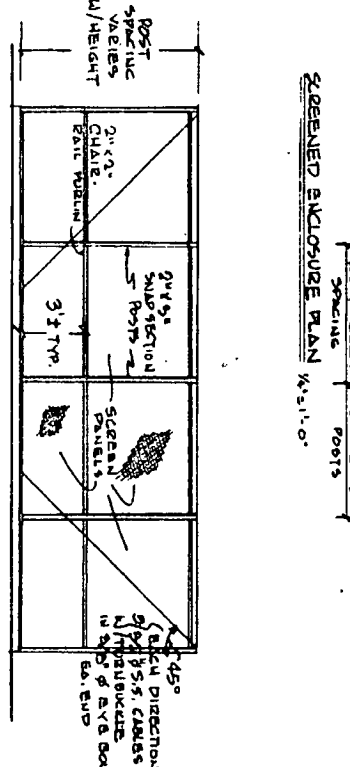
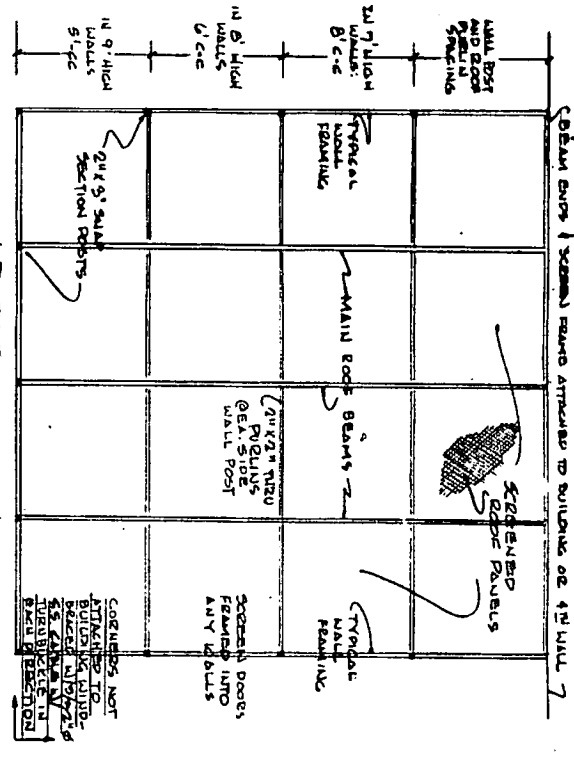
SCREENED CABANA ROOM DETAILS



EXTRUDED ANNING RAIL
 (ALLOY 6063-T5)
 0.095" TYP.
 3.12" TYP.
 4.00" TYP.

EXTRUDED METAL HEADERS
 (ALLOY 6063-T5)
 0.095" TYP.
 3.12" TYP.
 4.00" TYP.

SCREEN ENCLOSURE DETAILS



SCREENED ROOF BEAM SPAN TABLE

BEAM SIZE	MAXIMUM CLEAR SPAN FOR BEAMS SHIPPED AS SHOWN, COURSE TO CENTRE
2" x 4" SELF-MATING	25'-0"
2" x 6" SELF-MATING	32'-10"
2" x 8" SELF-MATING	41'-0"
2" x 10" SELF-MATING	49'-10"
2" x 12" SELF-MATING	59'-10"
2" x 14" SELF-MATING	64'-0"
2" x 16" SELF-MATING	71'-0"

ALUMINUM ROOF PANEL SYSTEM (ALLOY 3005-H14 OR 3005-H16)

SELF-CLOSING ANTI-BLOCKING RISERS

MAXIMUM SPANS FOR 120 MPH WIND - 50 PSF LL	ALLOY	14'-9"	12'-0"	12'-7"
3005 H14	14'-9"	12'-0"	12'-7"	
3005 H16	14'-9"	12'-0"	12'-7"	

ENGINEERING NOTE

STRUCTURES DETAILED IN THESE PLANS WERE PREPARED IN ACCORDANCE WITH SOUTHERN STANDARD BUILDING CODE 1974 AMENDMENTS.

DESIGN LOADS CONSIDERED:
 DL + 20 PSF LL
 120 MPH WIND VELOCITY PRESSURES

WHERE LOCAL CONDITIONS IMPROSE FURTHER LIMITATIONS OR SPANS OR CONDITIONS, SUCH CONDITIONS SHOULD BE REFERRED TO IN APPLICATION OF THE DESIGN.

APPROVAL OF THESE PLANS BY LOCAL AGENCIES FOR SAFE LOAD-CARRYING CAPACITIES AND SPANS FOR THESE ROOF PANELS HAVE BEEN VERIFIED BY LOAD TESTS ON ROOF ASSEMBLIES CONDUCTED UNDER THE SUPERVISION OF THE UNDERWRITER ENGINEER. DEFLECTION IS LIMITED TO L/600 OR LESS IF 20 PSF LL IS ALL LOADED.

ALUMINUM BOLTS SHALL BE ALLOY 2024-T4

RECEIVED APR 18 1979

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

HARLAN ENGINEERING LABORATORIES, INC. PALM SPRING, FLORIDA 32909

WALTER PLAN FOR SCREENED CABANA ROOMS & ENCLOSURES FOR CLIMATE, INC. 899 SOUTH INDUSTRY ROAD OCOEE, FLORIDA 32922

1229

SOLAR SYSTEM

Permit No. 15229

Date Oct 20, 1980

APPLICATION FOR A PERMIT TO BUILD A DECK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE NOR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two elevations as applicable.

Owner: Richard Madigan Present address: 1000 W. W. W. Phone: 305-218-89

Contractor: Charles DeLorenzo of Great Address: 1000 W. W. W. Paul Salmo Phone: 305-218-89

Where licensed: Matthew Collins License number: 11600 00322 Mechanical contractor License number: Plumbing contractor License number:

Describe the structure or addition or alteration to an existing structure for which this permit is sought: Addition of a deck and pool. See plans for details.

State the street address at which the proposed structure will be built: 1000 W. W. W.

Subdivision: Town of Sewalls, Florida. Contract price: \$10,000. Cost of permit: \$100. Plans approved as submitted: Yes.

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the laws of Sewalls, Florida, and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, including the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week for removal when necessary. Removing same from the area and from the town of Sewalls, Florida, failure to comply may result in a building inspector for a town commissioner ordering the construction project.

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the town of Sewalls, Florida, before final approval by a building inspector will be given.

Owner: Richard Madigan Date submitted: 10/18/80

Approved: Building Inspector Date: 10/18/80

Approved: Commissioner Date: 10/18/80

Final approval given: Date: 10/18/80

Certificate of occupancy issued: Date: 10/18/80

SP/15/79. Approval of these plans in no way relieves the contractor or builder of compliance with the town of Sewalls, Florida, and the South Florida Building Code, or the State of Florida Model Energy Efficiency Building Code.

15229

RECEIVED OCT 20 1980

10/23
JGM 10/21/80

SOLAR SYSTEM INSTALLATION
DRAWINGS AND DATA

Approval of these plans in no way
relieves the contractor or builder of
complying with the Town of Sewall's
Point's Ordinances, the South Florida
Building Code and the State of Florida
Model Energy Efficiency Building Code.

SUN COAST DISTRIBUTORS OF STUART, INC.
SUN COAST DEVELOPMENT, INC.
3630 REESE AVENUE
GARDEN INDUSTRIAL PARK
RIVIERA BEACH, FLORIDA 33492
P. O. BOX 782
PORT SALERNO, FLORIDA
286-2183 33404

SUN COAST DISTRIBUTORS OF STUART, INC.
P. O. BOX 782
PORT SALERNO, FLA. 33492
286-2183

These drawings have been prepared to substitute for blueprint drawings utilized for building permit applications. Nothing in these drawings shall be interpreted to conflict with the drawings filed with the cognizant Building Official which are signed and sealed by William G. Wallace, Professional Engineer, North Palm Beach, Florida.

SUN COAST DISTRIBUTORS OF STUART, INC.

P. O. BOX 782
PORT SALERNO, FLA. 33492
286-2183



10/20/80
RECEIVED OCT 20 1980

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SOLAR DEVELOPMENT, INC.
3630 REESE AVE.
GARDEN INDUSTRIAL PARK
RIVIERA BEACH, FLA. 33404
305/842-8935

4/2"x1" HWH SMS 18-B STAINLESS

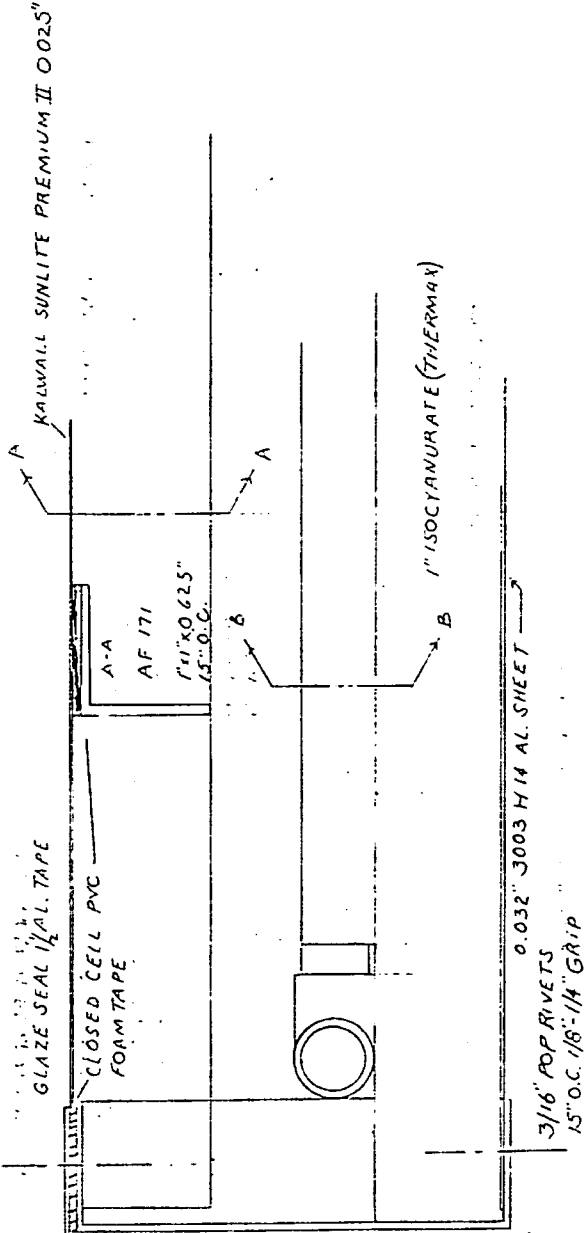
GLAZE SEAL 1/2" AL. TAPE

CLOSED CELL PVC FOAM TAPE

ALUMAX 171
1/2"x0.625"

ALUMAX 110
3.375"x1"x.035"

MITER PAN INSULATION TO ACCOMMODATE 1-3/16" DRAINAGE EA. CORNER



0.012" HALF HARD CU ALLOY 110

40/60 SOLDER (CAPILLARY) TO 00625" M.C.U. (0.500" I.D.)

3/16" POP RIVETS
15" O.C. 1/8"-1/4" GRIP

2 POP RIVETS TO 1"x1"x0.062 AL X

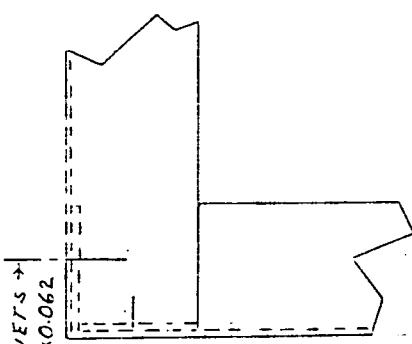
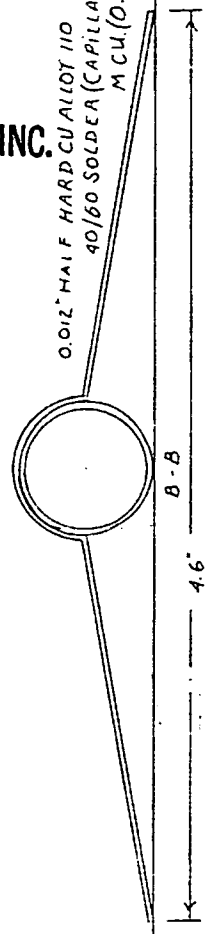
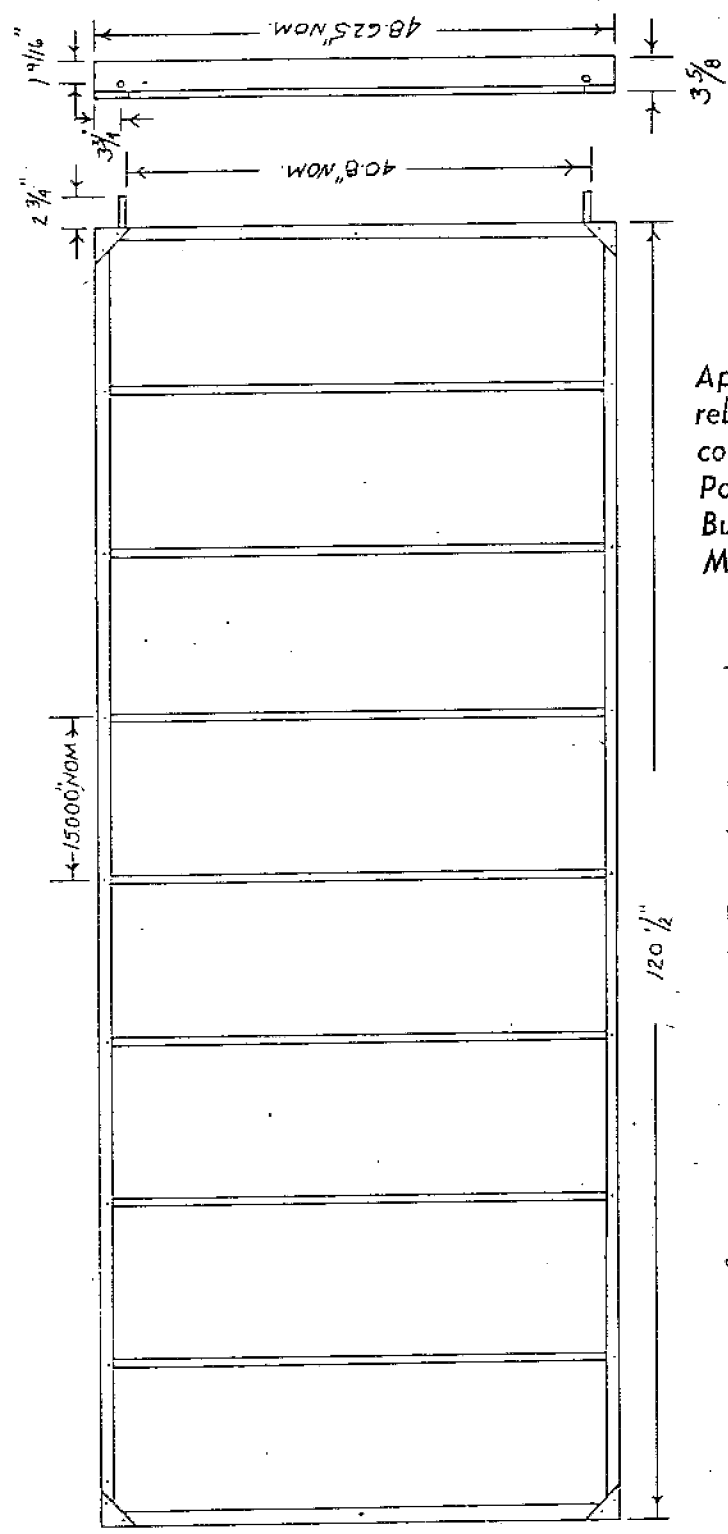


PLATE 3-0

SD-5 SOLAR COLLECTOR ASSEMBLY



RB 10/23

RECEIVED OCT 20 1980

Jane 10/21/80

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code

ALUMAX DWG 3802 & 3803 FOR EXTRUSION DETAILS (ALT. 171-1101)

SOLAR DEVELOPMENT, INC.
 3630 REESE AVE.
 GARDEN INDUSTRIAL PARK
 RIVIERA BEACH, FLA. 33404
 305/842-8935

SUN COAST DISTRIBUTORS OF STUART, INC.

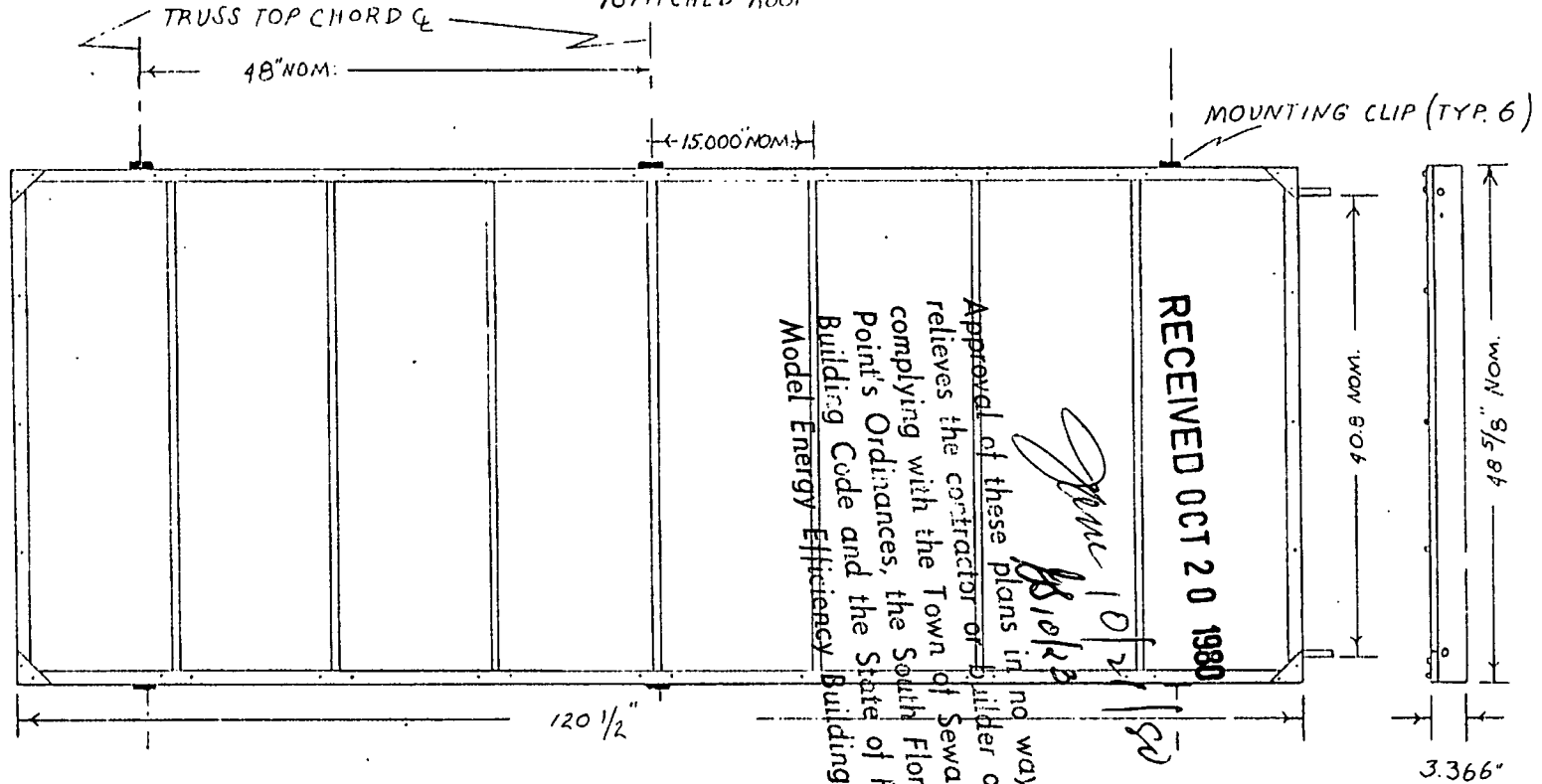
P. O. BOX 782
 PORT SALERNO, FLA. 33492
 286-2183

3630 REISE AVE.
 GARDEN INDUSTRIAL PARK
 RIVIERA BEACH, FLA. 33404
 305/842-8935

PLATE 3-0-B

SD-5 SOLAR COLLECTOR ASSEMBLY

FLUSH MOUNT
 TO PITCHED ROOF

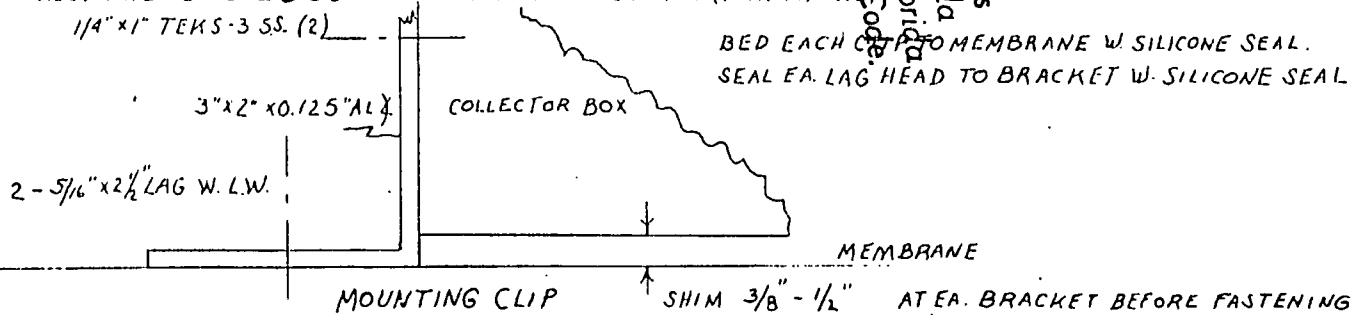


Approval of these plans in no way relieves the contractor of Sewall's complying with the Town of Florida Point's Ordinances, the State of Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

SUN COAST DISTRIBUTORS OF STUART, INC.

P. O. BOX 782
 PORT SALERNO, FLA. 33492
 286-2183

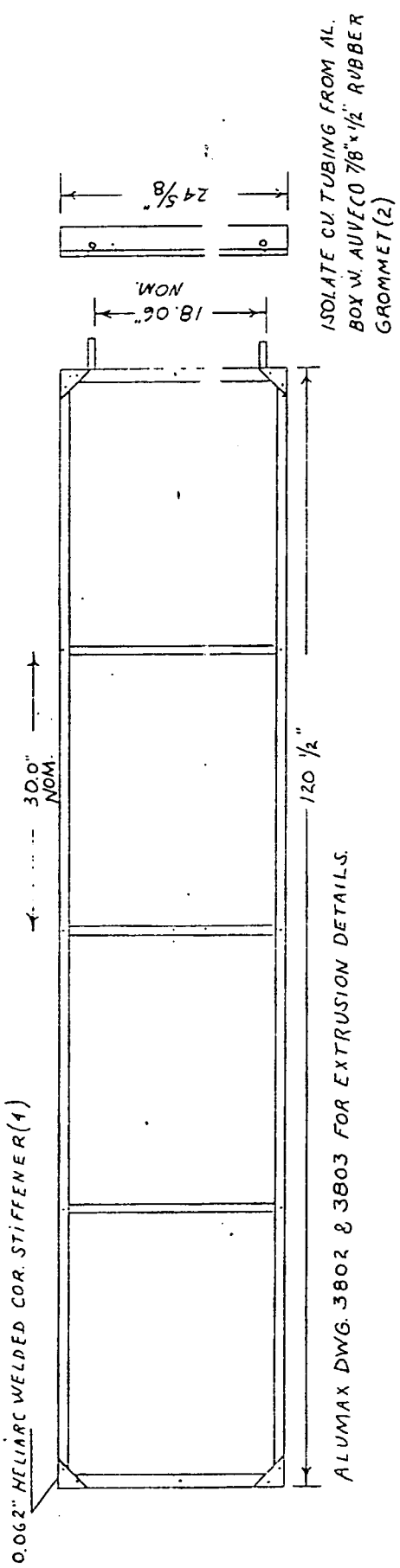
ALUMAX DWG J802 8 J803 FOR EXTRUSION DETAILS (ALT. 171-110)
 1/4" x 1" TEKS-3 SS. (2)
 3" x 2" x 0.125" AL
 2 - 5/16" x 2 1/2" LAG W. L.W.
 COLLECTOR BOX
 MEMBRANE
 BED EACH CORNER TO MEMBRANE W SILICONE SEAL.
 SEAL EA. LAG HEAD TO BRACKET W. SILICONE SEAL. MAX PILOT DIA. 0.250"



3630 RIESE AVE.
GARDEN INDUSTRIAL PARK
RIVIERA BEACH, FLA. 33404
305/842-8935

PLATE 3-0-A

SD-5 SOLAR COLLECTOR ASSEMBLY (2'x10')



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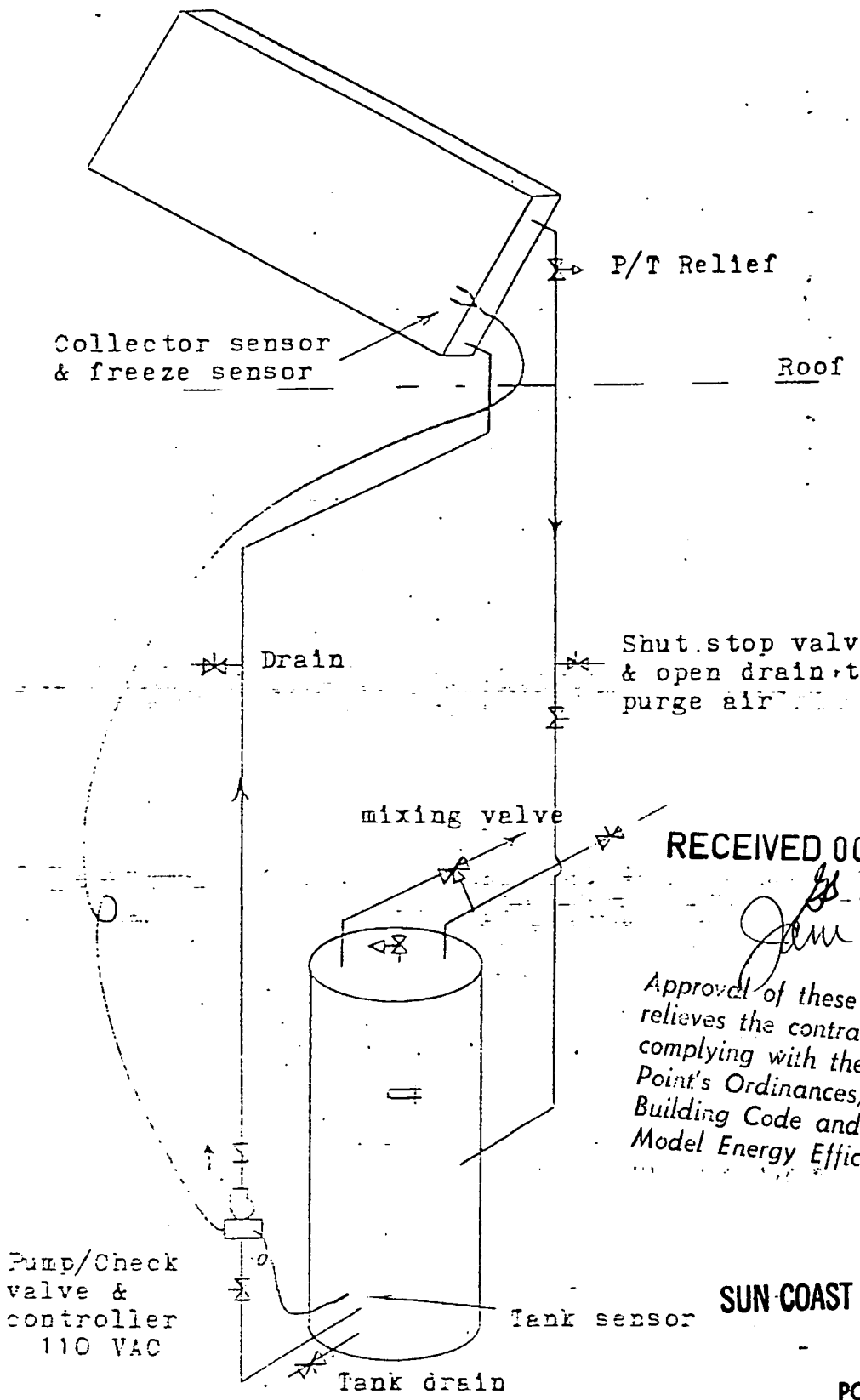
Jan 10/21/80
10/23

Approval of these plans in no way
relieves the contractor or builder of
complying with the Town of Sewall's
Point's Ordinances, the South Florida
Building Code and the State of Florida
Model Energy Efficiency Building Code.

FASTENER SCHEDULE FOR SOUTH FLORIDA BUILDING CODE

SUN COAST DISTRIBUTORS OF STUART, INC.

P. O. BOX 782
PORT SALERNO, FLA. 33492
286-2183



NOTES:

- * 1. Set Watts 70A 3/4 in. mixing valve at 140°.
- 2. Insulate all lines and outside valves with Armstrong Armaflex (1/2 in. wall thickness) or equivalent.
- 3. All piping 1/2 in. copper to and from collector.
- 4. Set heating element of tank at 120 deg.
- 5. Pressure/temp. relief valves (2) Watts 1L 1/2 in. or equivalent.

RECEIVED OCT 20 1980

10/23
Jan 10/21/80

* mixing valve required on HUD systems only.

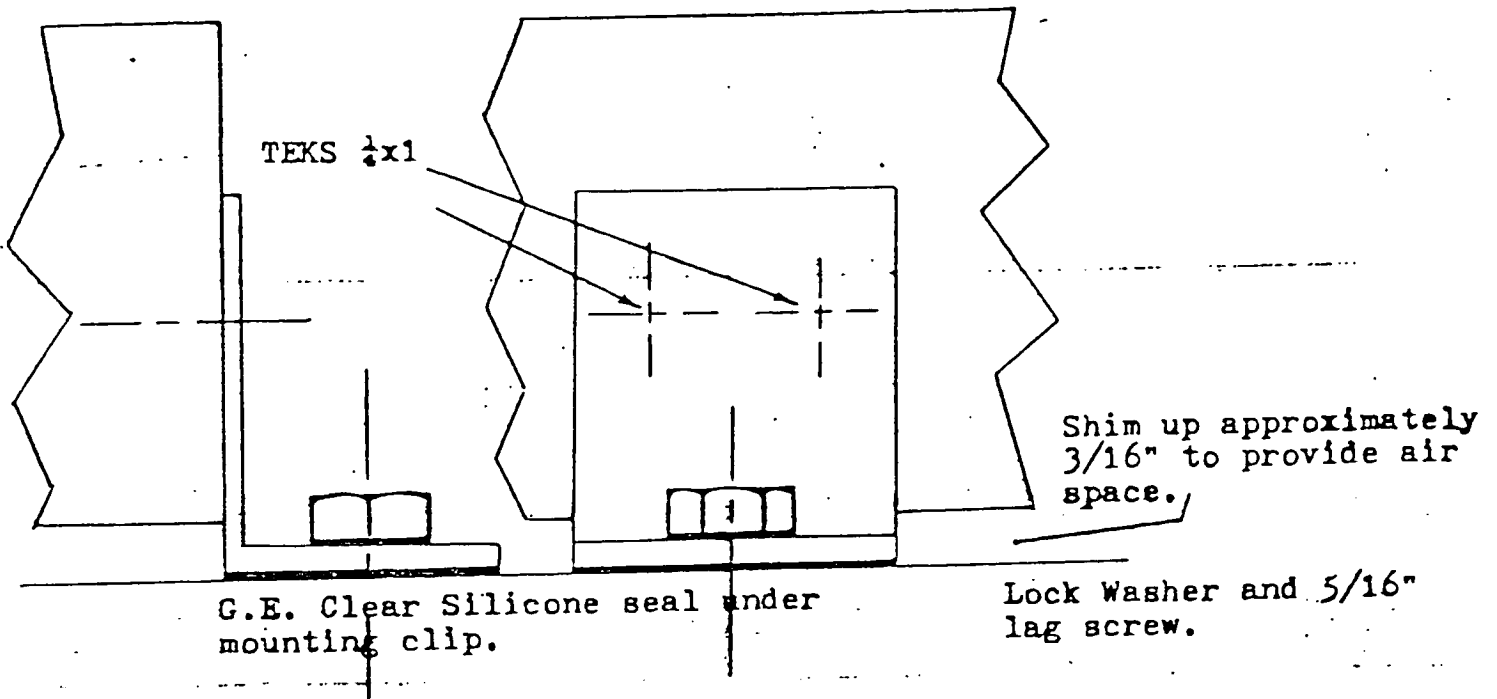
Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

SUN COAST DISTRIBUTORS OF STUART, INC.

**P. O. BOX 782
PORT SALERNO, FLA. 33492
286-2183**

Solar Development, Inc.
3630 Reese Ave.
Riviera Beach, Florida 33404

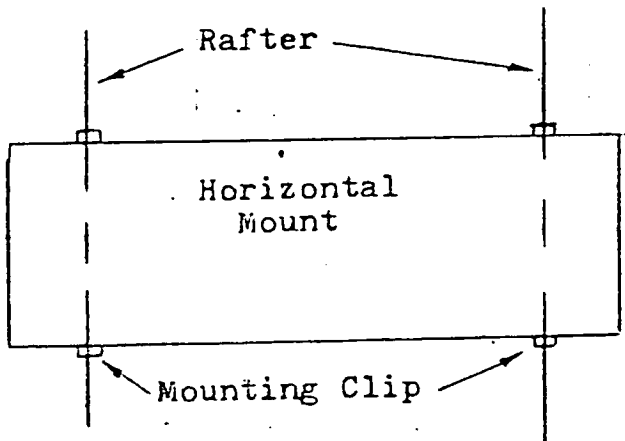
SD5 Standard
4' x 10'



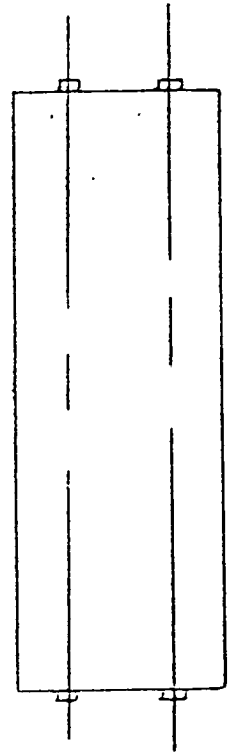
G.E. Clear Silicone seal under mounting clip.

Lock Washer and 5/16" lag screw.

Shim up approximately 3/16" to provide air space.



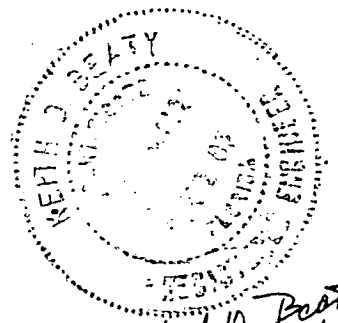
1. All mounting hardware by S.D.I.
2. For vertical mounts, use parallel flow plates
3. Cover all lag screws with G.E. Clear Silicone seal after torquing up.



Vertical Mount

RECEIVED OCT 20 1980
 4' x 10' collector 110 lbs.
 2' x 10' collector 55 lbs.

John 10/21/80
 Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.



Keith D. Beatty
 3/19/80

SUN COAST DISTRIBUTORS OF STUART, INC.
 P. O. BOX 782
 PORT SALERNO, FLA. 33492
 286-2183

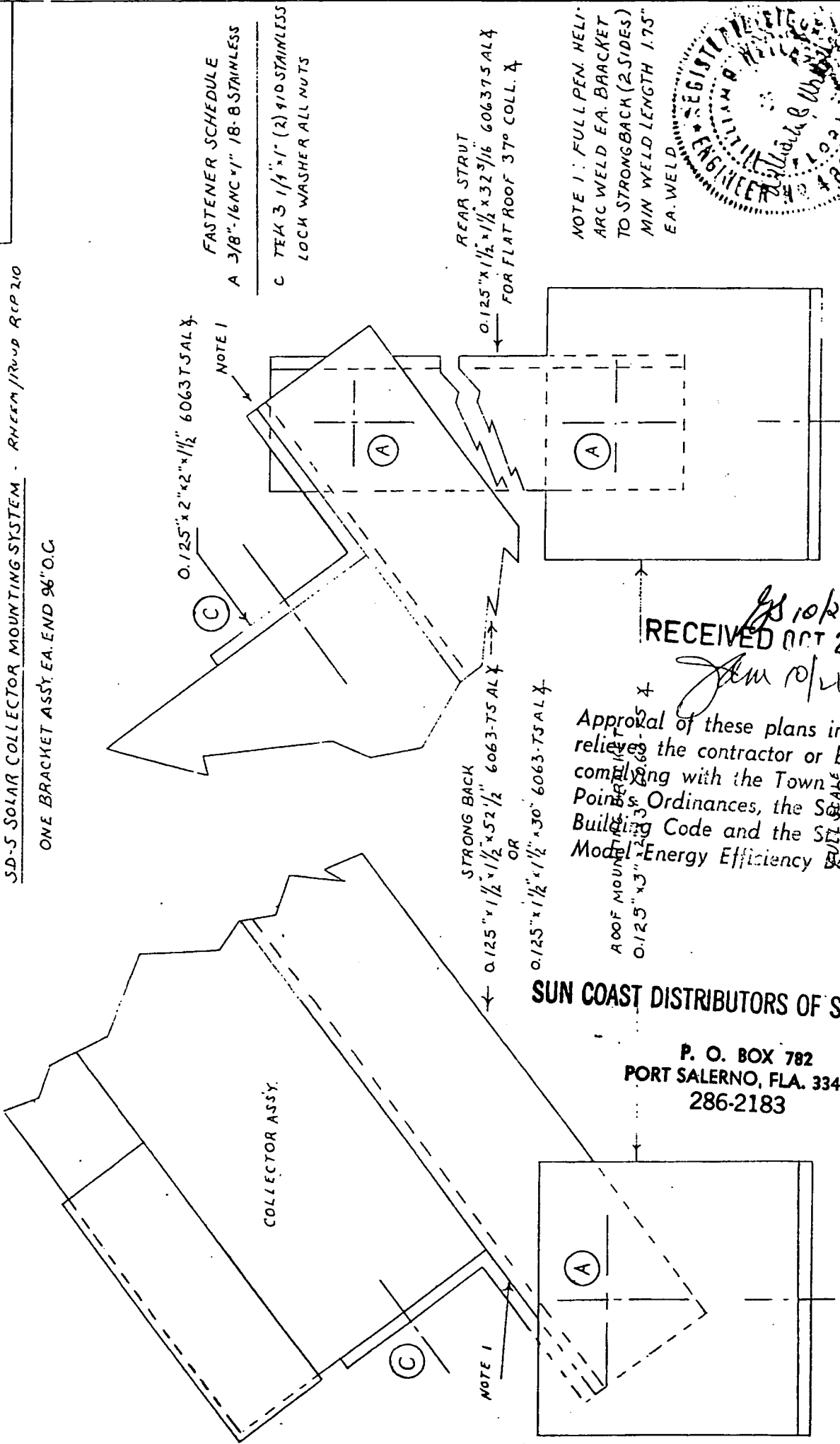
SOLAR DEVELOPMENT, INC.
 3630 REESE AVENUE
 GARDEN INDUSTRIAL PARK
 RIVIERA BEACH, FLORIDA 33404

SOLAR COLLECTOR
 MOUNTING CLIP-FLUSH MOUNT

SOLAR DEVELOPMENT, INC.
 3630 E. USF AVE.
 GARDEN INDUSTRIAL PARK
 RIVIERA BEACH, FLA. 33404
 305/842-8935

PLATE 4-0

SD-5 SOLAR COLLECTOR MOUNTING SYSTEM - RHEEM/IRVING RCP210
 ONE BRACKET ASSY. EA. END 96" O.C.



FASTENER SCHEDULE
 A 3/8" - 16 NC x 1" 18-8 STAINLESS
 C TEK 3 1/4" x 1" (2) 910 STAINLESS
 LOCK WASHER ALL NUTS

REAR STRUT
 0.125" x 1/2" x 1/2" x 32 3/16 6063-T5 AL
 FOR FLAT ROOF 37° COLL. A

NOTE 1: FULL PEN. WELD
 ARC WELD EA. BRACKET
 TO STRONGBACK (2 SIDES)
 MIN WELD LENGTH 1.75"
 EA. WELD



RECEIVED OCT 20 1990
 JRM 10/21/80

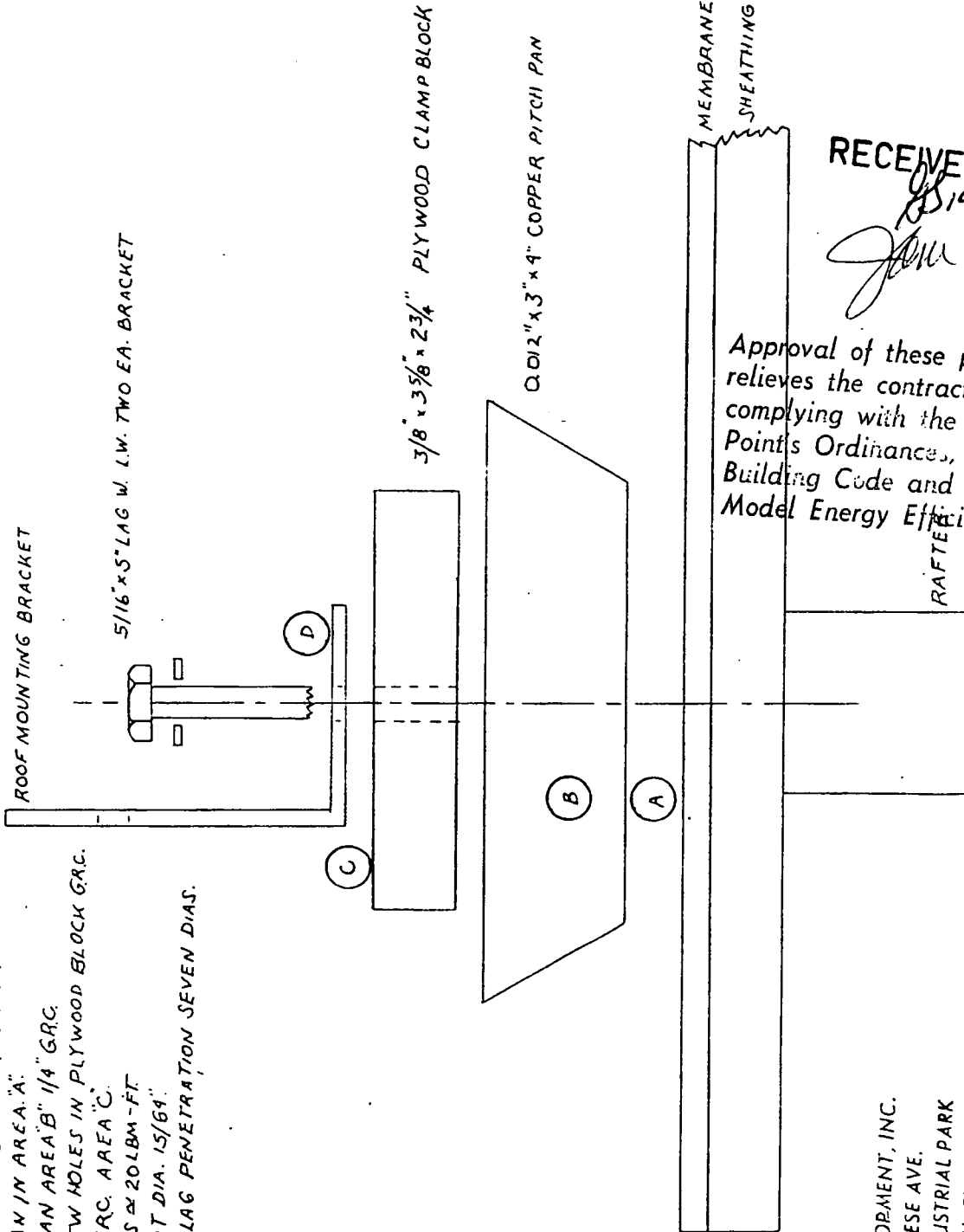
Approval of these plans in no way
 relieves the contractor or builder of
 complying with the Town of Sewall's
 Point Ordinances, the South Florida
 Building Code and the State of Florida
 Model Energy Efficiency Building Code.

SUN COAST DISTRIBUTORS OF STUART, INC.

P. O. BOX 782
 PORT SALERNO, FLA. 33492
 286-2183

SD-5 SOLAR COLLECTOR ROOF SEAL

1. TROWELL 6"x6" SQUARE x 3/16" THICK (AREA 'A').
GARDNER ROOFING CEMENT OR EQUIV.
2. SET PITCH PAN IN AREA 'A'.
3. FILL PITCH PAN AREA 'B' 1/4" GRC.
4. FILL LAG SCREW HOLES IN PLYWOOD BLOCK GRC.
5. TROWELL 1/8" GRC. AREA 'C'.
6. TORQUE LAGS ≈ 20 LB-M FT.
7. MAX. LAG PILOT DIA. 15/64".
8. MIN. RAFTER LAG PENETRATION SEVEN DIAS.
OR 2.20"



RECEIVED OCT 20 1980
 BS1d23
 Jan 10/21/80

Approval of these plans in no way
 relieves the contractor or builder of
 complying with the Town of Sewall's
 Point's Ordinances, the South Florida
 Building Code and the State of Florida
 Model Energy Efficiency Building Code.

SUN COAST DISTRIBUTORS OF STUART, INC.

P. O. BOX 782
 PORT SALERNO, FLA. 33492
 286-2183

SOLAR DEVELOPMENT, INC.
 3630 REESE AVE.
 GARDEN INDUSTRIAL PARK
 RIVIERA BEACH, FLA. 33404
 305/842-8935

RECEIVED OCT 20 1980

SUMMARY INFORMATION SHEET

FLORIDA SOLAR ENERGY CENTER
300 STATE ROAD 401, CAPE CANAVERAL, FLORIDA 32920, (305) 783-0300



FSEC #77078

DEALER/MANUFACTURER

Suncoast Distributors of Stuart Inc.
(Solar Development Inc.)
P. O. Box 782
Port Salerno, FL 33492

Collector Model

SD5 "Standard"

4X10

This solar collector was tested by the Florida Solar Energy Center (FSEC) in accordance with prescribed methods and was found to meet the minimum standards established by FSEC. The purpose of the tests is to verify initial performance conditions and quality of construction only. The resulting certification is not a guarantee of long term performance or durability.

DESCRIPTION

Gross Length	3.062 meters	10.05 feet
Gross Width	1.235 meters	4.05 feet
Gross Depth	0.093 meters	0.31 feet
Gross Area	3.782 square meters	40.70 square feet
Transparent Frontal Area	3.545 square meters	38.16 square feet
Volumetric Capacity	5.1 liters	1.35 gallons
Weight (empty)	44.4 kilograms	97.9 pounds
Number of Cover Plates	One	
Flow Pattern	Serpentine	

Efficiency Equations First Order $\eta = 64.1 - 632.6 \cdot (T_i - T_a) / I$

Second Order $\eta = 61.9 - 427.2 \cdot (T_i - T_a) / I - 2699.1 \cdot (T_i - T_a) / I^2$

Tested per ASHRAE 93-77 Units of $T_i - T_a / I$ are $^{\circ}\text{C} / \text{Watt} / \text{m}^2$

MATERIALS

Enclosure Aluminum frame
Glazing Kalwall Sun-Lite Premium II (fiberglass reinforced plastic)
Absorber Formed copper fin bonded to copper tube, black paint
Insulation Celotex Thermax (polyisocyanurate 2.54 cm)

RATING

The collector has been rated for energy output on measured performance and an assumed standard day. Total solar energy available for the standard day is $5045 \text{ watt-hour} / \text{m}^2$ ($1600 \text{ BTU} / \text{ft}^2$) distributed over a 10 hour period.

Output energy ratings for this collector based on the second-order efficiency curve are:

Collector Temperature	Energy Output	
Low Temperature, 35°C (95°F)	38,600 Kilojoules/day	36,600 BTU/day
Intermediate Temperature, 50°C (122°F)	28,600 Kilojoules/day	27,100 BTU/day
High Temperature, 100°C (212°F)	3,200 Kilojoules/day	3,100 BTU/day

FRASER ENGINEERING AND TESTING

PHONE: (305) 461-7508

3504 INDUSTRIAL 33 RD STREET

FORT PIERCE, FLORIDA - 33450

1229

Report
of
DENSITY OF SOIL IN PLACE
ASTM 2167-66

Client: Charles Andrews
1045 E. Ocean Blvd.

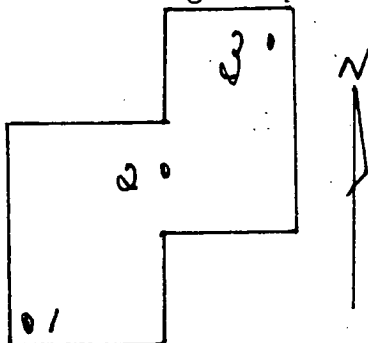
Date: October 29, 1980

Contractor: Client

Site: 6 Riverview Dr.
Lot 6, Riverview

Test No.	Location	Elevation	In Place Dry Density	Moisture Density Relationship		Percent Compaction
				Test No.	Max. Dry Density	
38307	Map Location #1	0 - 1'	108.2	38306	106.6	101.5
38308	Map Location #2	0 - 1'	107.4	38306	106.6	100.8
38309	Map Location #3	0 - 1'	107.5	38306	106.6	100.8
All elevations below slab grade.						

Copies Client - 1
Sewells Pt. Bldg. Dept. - 1



Respectfully submitted,

ALEXANDER H. FRASER, P. E.

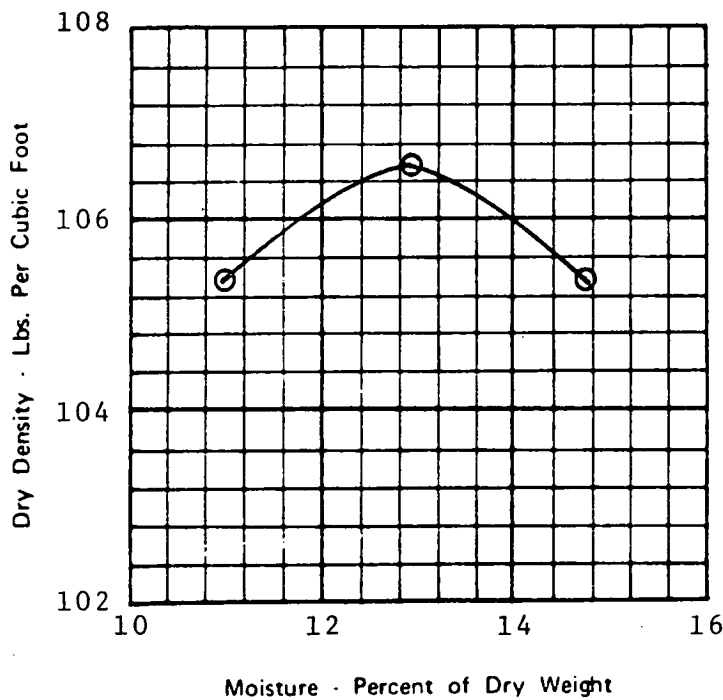
Report
of
MOISTURE DENSITY RELATIONSHIP
ASTM 1557-70

Client: Charles Andrews

Date: October 29, 1980


Contractor: Client

Site: 6 Riverview Dr.
Lot 6, Riverview



Test No.	Test Method	Sample Location	Optimum Moisture %	Max Dry Density-P.C.F.	Soil Description
38306	A	Composite	12.9	106.6	Brown fine sand.

Copies Client - 1
Sewells Pt. Bldg. Dept. - 1

Respectfully submitted,

ALEXANDER H. FRASER, P. E.

3335

RE-ROOF

TAX FOLIO NO. 12-38-41-001-000-002000-60000 DATE _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

3335
This application must be accompanied by three (3) sets of complete plans, to scale, including plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Richard Wadsten Present Address 7 Riverview Dr.

Phone 287-3184 Stuart 34996

Contractor Ron Wilson Address 9027 S.E. Pine Cone Ln.

Phone 546-6579 Hole Sound, FL 33455

Where licensed Marlin Co. License Number MC 00624

Electrical Contractor _____ License Number _____

Plumbing Contractor _____ License Number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: old flat roof and neat stake roof tube removed

and replaced
State the street address at which the proposed structure will be built: _____

Subdivision River view Lot Number 20 Block Number _____

Contract Price \$ 4427.25 Cost of Permit \$ 100.00

Plans approved as submitted NA Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector of Town Commissioner "Red-Tagging" the construction project.

Contractor Ronald Wilson

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Richard A. Wadsten

TOWN RECORD
Approved: Dale Brown 2/16/93
Building Inspector Date

Date submitted 2-15-93

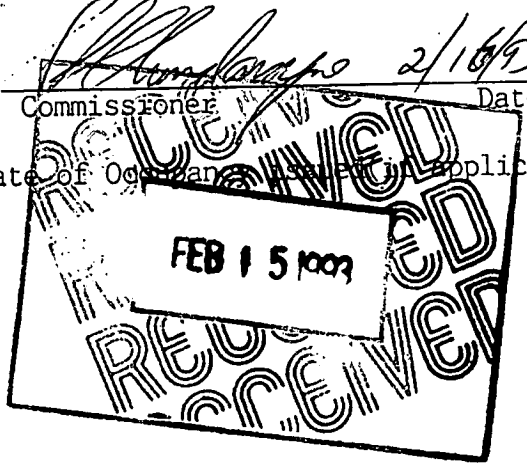
Approved: [Signature] 2/16/93
Commissioner Date

Final Approval given: _____ Date

Certificate of Occupancy (where applicable) _____ Date

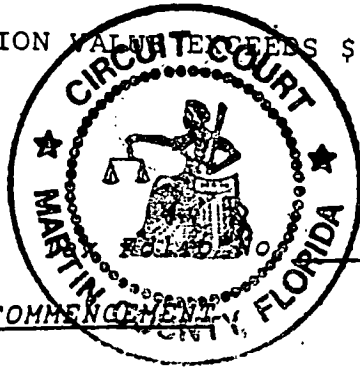
Permit No. _____

SP1282



TO BE COMPLETED IF CONSTRUCTION VALUE EXCEEDS \$2500.00

STATE OF FLORIDA
COUNTY OF MARTIN



THIS IS TO CERTIFY THAT THIS IS A
TRUE AND CORRECT COPY OF THE
ORIGINAL.

984215

Permit No. _____

NOTICE OF COMMENCEMENT

BY Marsha Stiller D.C.
MARSHA STILLER, CLERK

DATE 2-15-93

State of Florida
County of Martin

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Legal Description of Property (include street address, if available)

7 Riverview Dr. Senale Point

General Description of Improvements: New flat roof and new rear roof of cedar shakes.

Owner: Richard Wadsten

Address: 7 Riverview Dr. Stuart, FL 34996

Owner's interest in property: 100%

Fee Simple Title Holder (if other than owner): N/A

Address: _____

Contractor: Wilfram Const

Address: 9027 S.E. Pine Cove Ln. Hobe Sound, FL 33455

Surety Co. (if any) N/A

Address: _____ Amt. of Bond \$ _____

Lender's Name: N/A

Address: _____

Persons within the State of Florida designated by Owner upon whom notices of other documents may be served as provided by Section 713.13(1)(a) 7., Florida Statutes:

Name: N/A

Address: _____

In addition to himself, Owner designates _____ of _____ to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

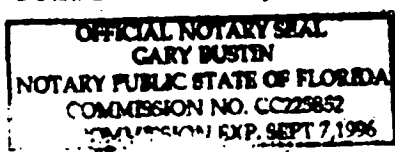
Expiration date of notice of commencement (the expiration date is 1 year from the date of recording unless a different date is specified) _____.

Richard A. Wadsten
Signature of Owner
6323-74-17-442

Sworn to and subscribed before me this 15th day of Feb 1993

Gary Bustin
Notary Public

My Commission Expires:



FILED FOR RECORD
MARTIN CO., FLA.
03 FEB 15 AM 11:07
MARSHA STILLER
CLERK OF CIRCUIT COURT
D.C.

4050

RE-ROOF

TAX FOLIO NO. _____

DATE _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

4050

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Dick Wadsten Present address 7 River View Dr

Phone 287-3184

Contractor Wolfram Const Address 9027 SE Pine Cone Ln

Phone 546-0300 Hobe Sound, FL 33455

Where licensed Martin Co License number Sp00624

Electrical Contractor _____ License number _____

Plumbing Contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: _____

ReRoof

State the street address at which the proposed structure will be built:

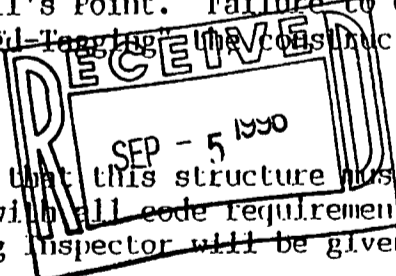
7 River View Dr

Subdivision River View S/D Lot Number 20 Block Number _____

Contract price \$ 9,068.63 Cost of permit \$ 100.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-Tagging" the construction project.



Contractor Ron Wilson

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Dick Wadsten

TOWN RECORD

Date submitted _____

Approved: [Signature]
Building Inspector Date

Approved: [Signature]
Commissioner Date

Final approval given: _____
Date

CERTIFICATE OF OCCUPANCY issued (if applicable) _____
Date

PERMIT NO. _____

12:45

TO BE COMPLETE WHEN CONSTRUCTION VALUE IS \$2500.00 OR MORE

PERMIT # _____

TAX FOLIO # _____

NOTICE OF COMMENCEMENT

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENTS WILL BE MADE CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS, IF KNOWN)

Riverview S/D Lot 20 123841001000002006006

GENERAL DISCRETION OF IMPROVEMENTS New Roof

OWNER: Dick Wadsten

ADDRESS: 7 River View Dr

OWNER'S INTEREST IN PROPERTY: 100%

FEE SIMPLE TITLE HOLD (IF OTHER THAN OWNER): N/A

ADDRESS: ✓

CONTRACTOR: Ron Wilson

ADDRESS: 9027 SE Pine Cone Ln Hobe Sound, FL 33455

SURETY COMPANY (IF ANY) N/A

ADDRESS: ✓

LENDER'S NAME: N/A

ADDRESS: _____

PERSON WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.3(1) (A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13 (1) (B), FLORIDA STATUTES.

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED.

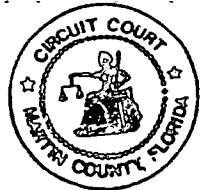
x Edythe A. Wadsten
SIGNATURE OF OWNER

STATE OF Florida
COUNTY OF Martin

STATE OF FLORIDA
MARTIN COUNTY

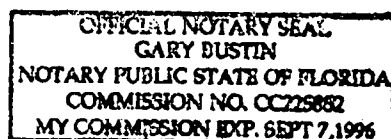
THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.

MARSHA STILLER, CLERK
BY T. COPUS D.C.
DATE 9-5-96



THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 29th DAY OF August, 1996, BY Edythe Wadsten WHO IS KNOWN TO ME OR WHO PRODUCED _____ AND WHO DID NOT TAKE AN OATH.

Gary Bustin
NOTARY SIGNATURE



9151

A/C CHANGE OUT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9151	DATE ISSUED:	MAY 4, 2009
SCOPE OF WORK:	AC CHANGEOUT (A/H & COMP)		
CONDITIONS :			
CONTRACTOR:	FLYNNS		
PARCEL CONTROL NUMBER:	123841-001-000-002006	SUBDIVISION	RIVERVIEW-LOT 20
CONSTRUCTION ADDRESS:	7 RIVERVIEW DR		
OWNER NAME:	BERKHOLTZ		
QUALIFIER:	JOSEPH FLYNN	CONTACT PHONE NUMBER:	283-4114

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

6-19-09 called Christy - will advise

RECEIVED Down of Sewall's Point

Date: 4/28/09 DATE: 4/28/09 BUILDING PERMIT APPLICATION Permit Number: _____

OWNER/TITLEHOLDER NAME: KENNETH BERKHOLTZ Phone (Day) 288-4348 (Fax) _____

Job Site Address: 7 Riverview Dr City: STUART State: FL Zip: 34996

Legal Description RIVERVIEW S/D LOT 20 Parcel Control Number: 12-38-41-001-000-00200-6

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Scope of work (please be specific): A/C Change out (Both) A/H + Comp.

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO _____
Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 5,965
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: FLYNN'S AIR CONDITIONING Phone: 283-4114 Fax: 781-1307

Street: 1323 THE PERMIT ST City: PALM CITY State: FL Zip: 34990

State License Number: CAC055482 OR: _____ Municipality: _____ License Number: _____

LOCAL CONTACT: _____ Phone Number: _____

DESIGN PROFESSIONAL: _____ Lic# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE*: _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2004 W/ 2006 REV.
National Electrical Code: 2005 Florida Energy Code: 2004/6 Florida Accessibility Code: 2004/6 Florida Fire Prevention Code 2004/6

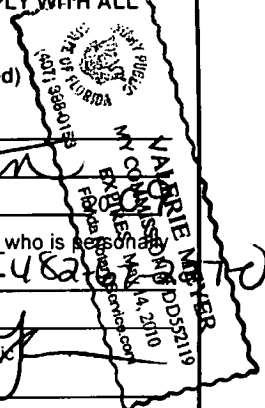
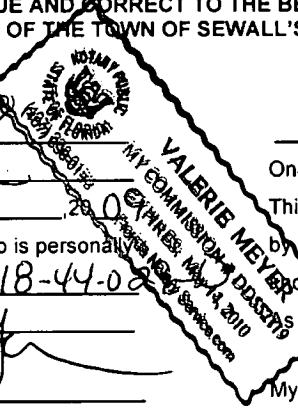
NOTICES TO OWNERS AND CONTRACTORS:
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *******

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)
Kenneth Berkholtz
State of Florida, County of: Martin
This the 28th day of April
by Kenneth Berkholtz who is personally known to me or produced FDCH# 24-518-44-02
as identification. Valerie Meyer
Notary Public
My Commission Expires: _____

CONTRACTOR SIGNATURE: (required)
Joseph B Flynn
On State of Florida, County of: Martin
This the 28th day of April
by Joseph B Flynn who is personally known to me or produced FDCH# 450-482
as identification. Valerie Meyer
Notary Public
My Commission Expires: _____



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
governmentmax.com T1.13

Summary

print | | | | | Address
1 of 1

Parcel Info

Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
12-38-41-001-000-00200-6	7 RIVERVIEW DR	27510	Address	0	1

Summary

Property Location 7 RIVERVIEW DR
Tax District 2200 Seawalls Point
Account # 27510
Land Use 101 0100 Single Family
Neighborhood 120400
Acres 0.363

Legal Description

Property Information
RIVERVIEW S/D LOT 20

Search By

- Parcel ID
- Owner
- Address**
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

Owner Information

Owner Information
BERKHOLTZ, KENNETH V
HANNA, BETH

Mail Information

7 RIVERVIEW DR
STUART FL 34996

Assessment Info

Front Ft. 0.00

Market Land Value \$223,250
Market Impr Value \$165,310
Market Total Value \$388,560

Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Recent Sale

Sale Amount \$240,000

Sale Date 4/25/2000
Book/Page 1476 1483

Print | Back to List | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 5/3/2009





P/N: 9151

TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 7 RIVERVIEW

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same

A/C FINAL

COND. UNIT ON ROOF SHOULD BE MOUNTED ON VIBRATION ISOLATORS.

UNIT NEEDS TO BE SECURED TO ROOF WITH PROPER METHODS —

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 5/22

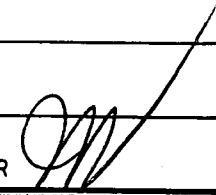
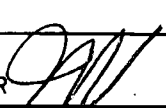

[Signature]
INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 5-22 2009 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9151	Penabaz	Final	FAIL	
2	7 Riverview Thynnis AC			INSPECTOR 
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9138	Penabaz	electrical	PASS	CLOSE
1st	7 Miramar OB	Final		INSPECTOR 
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9122	Turiet 14 CASTLE HILL GULICK	FINAL	PASS	CLOSE INSPECTOR 
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

9-25

2009

Page

1 of

1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9165	SMITH 73 N. SPT RD ALL AMERICAN	SI AUTION	FAIL	INSPECTOR <i>[Signature]</i>
9181	7 RIVERVIEW FLYNN	AF FINAL	PASS	Close INSPECTOR <i>[Signature]</i>
9198	STEMLE 49 N. SPT RD FLYNN	A/C FINAL	Fail	NO ACCESS INSPECTOR <i>[Signature]</i>
9245	JAN HART 11 CATTLE HILL WING ZODEN	WINDOWS & Door FINAL	FAIL	NOT READY INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

OK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL/RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Kew Berkholtz Address [REDACTED] Phone 288-4348

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 1 Species: Palm Tree to left of house

No. of Trees: RELOCATE _____ Species: _____

No. of Trees: REPLACE _____ Species: _____

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

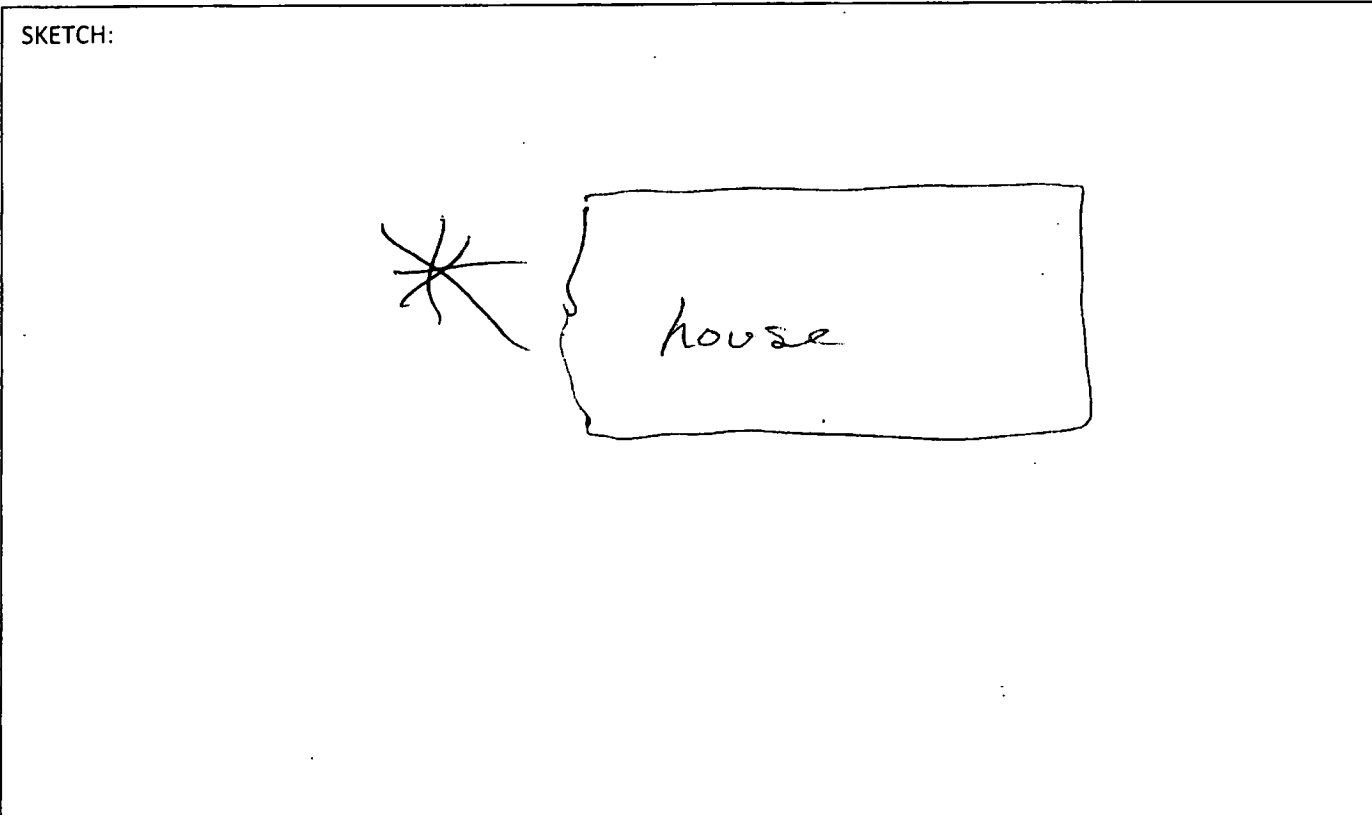
ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY

Reason for tree removal /relocation (See notice above) DEAD

Signature of Property Owner Kenneth Berkholtz Date 11/28/12

Approved by Building Inspector: [Signature] Date 11-28-12 Fee: N/A

NOTES: _____



OK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Ken Berkholz Address [REDACTED] Phone 288-4348

Contractor Jose Address _____ Phone _____

No. of Trees: REMOVE X Species: Philadendrum

No. of Trees: RELOCATE _____ Species: _____

No. of Trees: REPLACE _____ Species: _____

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY

Reason for tree removal /relocation (See notice above) Suggested by Jose

Signature of Property Owner Ken Berkholz Date 9/19/13

Approved by Building Inspector: [Signature] Date 9-20-13 Fee: N/C

NOTES: _____

SKETCH: