10 Riverview Drive

913 SFR AND POOL

:	. 4	1 2
Permit	No.	10

Date

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H NOA	13 1078
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SEWALL, S POINT

FLCRIDA

9000	APPL	ICATION FOR BUILDIN	G PERMIT		
	This application must be a (½" scale for building draplans, wall and roof cross least two elevations, as a for new house construction	awings), including s-sections, plumbir applicable. A copy	plot plan, ng and elect	foundation plan, floor rical layouts, and a	or t
•	-Owner Robert Co	Present	Address	28. Kever	Kol .
. 1	Phone 2 83-2398	<u>/</u> .			
. · . <u>-</u>	-General Contractor <u>O</u>	vner	_Address	i	
	Phone		-		
	Where Licensed			License No	
· -	-Plumbing Contractor Ct	antie Pleen	luing	License No. 35	
-	-Electrical Contractor <u>Al</u>	tec Electr	co /	License No. 54	_
•	Describe building or other	structure, or alt	eration to e	existing structure	
eside	nee, 3-2 w	The proof			
	Name the street on which t	he building, its f	ront buildi	ng line and its front	yard will
	face. River	ien !	· · · · · ·		
•.	Subdivision, Rever		8	Area	
· -	Building Area, inside wall (excluding garage, carport	s, porches, etc.)		2300	
-	Contract Price (excluding land, carpeting	, appliances, land	scaping, etc	=.)\$ \$ 60.00	0,
	Total Cost of Permit \$	<u> 320</u>		: · ` .	
· -	Plans approved as submitte	•	pproved as n	narked	
,	I understand that this and that the building must that the site will be clear understand that approval o Town of Sewall's Point Ord	be completed in a n and rough-graded f these plans in n	ccordance wh within the oway reliev	ith the approved plan 12 month period. I wes me of complying w	i, and further
		General Contract	or		
	I understand that this and that it must comply wi al for Occupancy will be i I agree that within 90 day the property will be lands	th all code require ssued and the proper s after the building caped so as to be	ements befor erty approve ng has been	re a Certificate of A ed for all utility se approved for occupan	pprov- rvices. cy,
		Owner <u>fe</u>	- ver	th of the share state	monte
. (*)	Note: Speculation builder	• . •			4.
	Ofine a	TOWN REA	CORD	Date submitte	id
		Milding Inspector		Date	
	Approved:	Ruenthu		18 Dec 1	78
		nmissioner		Date	
	Certificate of Occupancy is	ssued May [0,1979		

Mortgage Deed

This Mortgage Deed, dated this day of A.D. 1978, by ROBERT COLLINS AND JEAN COLLINS, HIS WIFE

hereinafter called the Mortgagor s, which term shall include when used herein, wherever the context so requires or admits, their heirs and assigns,

bessemer securities corporation, a Delaware corporation authorized to transact business in the State of Florida,

hereafter called the Mortgagees, which term shall include when used herein, wherever the context so requires or admits, its successors and assigns,

WITNESSETH: That for divers, good and valuable considerations, and also in consideration of the aggregate sum named in the promissory note hereinafter described, said Mortgagor s do hereby grant, bargain, sell, alien, remise, release, convey, confirm and mortgage unto the said Mortgagee all that certain piece of property and tract of land of which the said Mortgagors are now seized and possessed and in actual possession, situate in the County of Martin and State of Florida, described as follows:

Lot 8, of RIVERVIEW SUBDIVISION, a subdivision in the Town of Sewall's Point, Florida, according to the plat thereof on file and of record in the office of the Clerk of the Circuit Court in and for Martin County, Florida, in Plat Book 6, page 86.

THIS IS A PURCHASE MONEY MORTGAGE.

DOCUMENTARY

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This instrument was prepared by
..... GEORGE P. ORD

Alley, Maass, Rogers, Lindsay & Chauncey 321 Royal Poinciana Plaza P. O. Box 431 Palm Beach, Florida 33480

Satisfaction of Mortgage

	RESENTS, that the indebtedness secured by and open collins, his
to BESSEMER SECURITIES CORPORATION,	a Delaware corporation,
bearing date the 3rd day Official Record Book 450, pag Court of Martin Count	of August , 19 ⁷⁸ , recorded in the 830 , in the office of the Clerk of the Circuit y, Florida, encumbering the following described Martin County, Florida, to-wit:
of Sewall's Point, Florida, on file and of record in the	GION, a subdivision in the Town according to the plat thereof e office of the Clerk of the rtin County, Florida, in Plat
	at the said mortgage has been fully satisfied and reby directed to cancel the same of record.
	, 1978 .
Signed, sealed and delivered in the presence of:	BESSEMER SECURITIES CORPORATION
Marine Jeanings	By: // // // // // // // // Its Vice President
STATE OF FLORIDA COUNTY OF PALM BEACH	
I HEREBY CERTIFY that on this day personally ap and take acknowledgments, W. J. Field, Vic of BESSEMER SECURITIES CORPORAT	
to me well known to be the person described in and who before me that he executed the same for the purposes ther	•
IN WITNESS WHEREOF, I have hereunty set my said County and State, in this the	Notary Public, State of Florida My commission expires:
COUNTY OF	/
I HEREBY CERTIFY that on this day personally apart take acknowledgments,	peared before me, an officer duly authorized to administer oaths
and take acknowledgments,	_
to me well known to be the person — described in and who edged before me that ——————————————————————————————————	purposes therein-expressed.
aid County and State, in this the	day of
This instrument was prepared by HAROLD G. MAASS. Alley, Maass, Rogers, Lovieny & Character 321 Royal Poincians Plaza P. O. Box 431 Palm Beach, Florida 33480	Notary Public, State of My commission expires:

Pormit VOID if well or septic system is installed in a location other than area permitted. PRIOR HEALTH DEPARTMENT APPROVAL REQUIRED

DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES DIVISION OF HEALTH Application and Permit of

Individual Sewage Disposal Facilities

Section I - Instructions:

- Percolation test data, soil profile and water table elevation information must be attached. (Note: Test must be made at proposed location of system).
- 2. Existing building and proposed buildings on lot must be shown and drawn to scale at their location or proposed location. (Use block on this sheet or attach plot plan).
- 3. Proposed location of septic tank must be shown on plan.
- 4. Any pond or stream areas must be indicated on the plan.

- 5. Indicate name and date of recording of subdivision. If not recorded, attach metes and bounds description.
- Complete the following information section.

Notes:

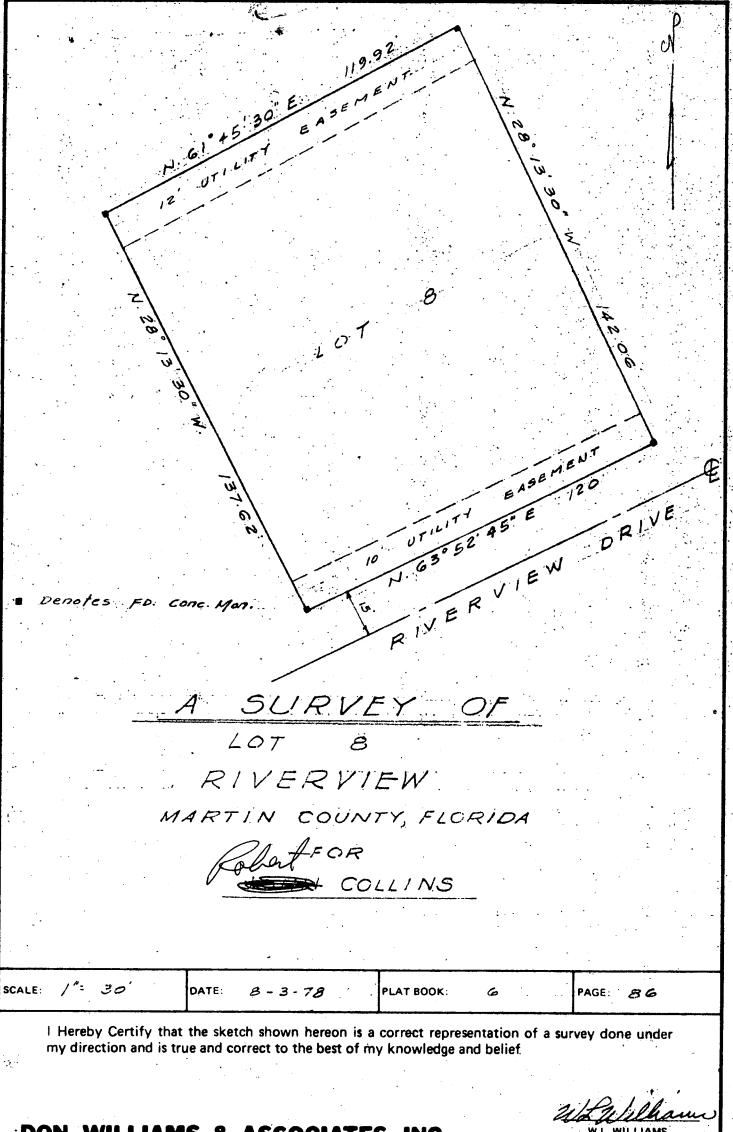
- 1. Not valid if sewer is available.
- Individual well must be 75 feet from any part of system.
- 3. Call <u>2872277</u> and give this office a 24-hour notice when ready for inspection.

Date Recorded 1975 Directions to Job East on E. Accord Blod to Sewall's February Read South to Riveryew Drive; West to site 2.0 Owner or Builder John City Stoart. 2. Owner or Builder John City Stoart. 3. Specifications Blod. 5. Scale 1" = 50' 6. Scale 1" = 50' 6. Scale 1" = 50' 7. Scale 1" = 50' 7. Scale 1" = 50' 8. Scale 1"	Section II - Information: 1. Property Address (Street & House No.)		
Date Recorded ATS Directions to Job East on E. Creen Blud to Sewall's Fort Road South to Riverview Drive; West to Site 2. Owner or Builder John Collins. P. O. Address S. E. Creen City Strart 3. Specifications Blud. 3. Specifications Blud. Drainfield Scale 1" = 50' REMOVE ALL IMPERVIOUS MATERIALS TO A DEPTH OF 6' AND BACKFILL WITH A GOOD GRACE OF SAND IN ENTIRE AREA OF DRAINFIELD. 4. House to be constructed: Check one: FHA VA Conventional This is to certify that the project described in this application, and as detailed by the plans and specifications and attachments will be constructed in accordance with State requirements. Applicant: Please Print (Name of Street or State Road) Signature: Date: By The above signed application has been found to be in compliance with Chapter 17-13, Florial Administrative Code, and construction is hereby approved, subject to the above specifications and conditions. By The Above signed application Associations. By County Health Dept. Mo Section IV - Final Construction Approval Construction of installation approved: Date: By: No		Riverview	
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Drainfield Tank Drainfield To fully tile or 5" perforated plastic drain in a 1050 Gals. 340 ft. of 4" clay drain or 4" perforated plastic drain in an l8" trench l8" trench Lock one: FHA Va Conventional Conventional This is to certify that the project described in this application, and as detailed by the plans and specifications and attachments will be constructed in accordance with State Applicant: Date: Date: Date: Date: Date: Date: County Health Dept. Date: No Date: Date: No No No No No No No No No N			
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FHA No. VA No.	=		
	FHA No. VA No.		

TEMPORARY SAN 428 REV. 7/1/73

S. E. Subregion 806 South 6th Street Fort Pierce, Florida 33450 Tel. (305) 464-8525 INDIVIDUAL SEWAGE DISPOSAL FACILITIES Riverview DATA SHEET Location: Lot B John Collins Applicant: County: Martin NOTE: This septic tank system is not located within 50 feet of the high water line of a lake, stream, canal or other waters, nor within 75 feet of any private well for within 100 feet of any public water supply; nor within 10 feet of water speply pipes; nor within 100 feet of any public sewer system. Jacant RIVERVIEW water et sewer city House SOIL DATA PLAN Scale: |" = 30" Lt. gray Sur 5 LEGEND Ground Ground SOIL BORING Tan Sand ~ Drainage Pattern LOG Proposed Septic Tank and Drainfield <u>}</u> 5 Soil Identification: CLASS___/_ GROUP_ Soil Characteristics _ ⊕ Proposed Water Supply Well 6 OExisting Water Supply Well Percolation Rate 30 min/inch ☑ Soil Boring and Percolation Test Location Water Table Depth CERTIFIED BY: 2 Water Table Depth During Wet Season, FLORIDA PROFESSIONAL No. 1272 Compacted Fill Of_ Regid Date 8-3-78 Job No. Compacted Fill Checked By:_ Date_

FLORIDA DEPARTMENT OF POLLUTION CONTROL



DON WILLIAMS & ASSOCIATES, INC.

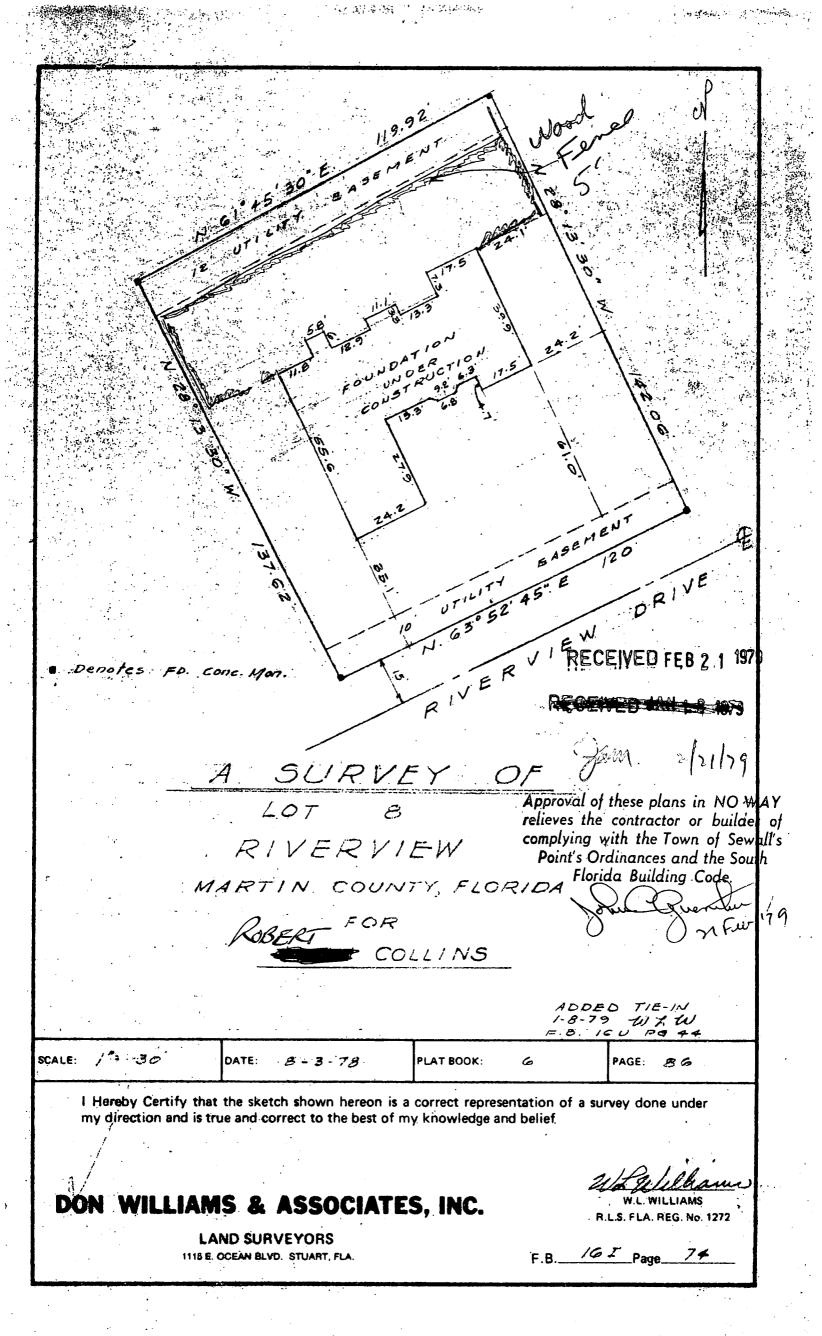
LAND SURVEYORS 1115 E. OCEAN BLVD.: STUART, FLA.

F.B. /G I Page 74

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

For property built under Permi	No. 913 Dated 200	7.13,1978 when con	npleted in
conformance with the Approv	ed Plans.	Les Calle	``
	Signed		
	RECORD OF INSPECTION	S	
Item	Date	Approved by	
Set-backs and footings	1/4/79 Jam		
Rough plumbing	1/4/79 Jan		
Slab	1/16/79 Jan		•
Perimeter beam	1/4/79 Jan 1/16/79 Jan 1/26/79 Jan 5/8/79 Jan 5/8/79 Jan 5/8/79 Jan		
Close-in, roof and rough elect	ric 2/28/79		
Final Plumbing	5/8/79 Jan		
Final Electric	578/79		
Final Inspection for Issuance o	f Certificate for Occupancy		
		Whazuera	date 5/8/
	oyed by Building Commissioner	(PR. under	date 10 Ma
	May 10, 1979	Odete	
Utilities notified	nal Copy sent to	date	



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TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

		Date _	9/1.181
			, , ,
This is to request t	hat a Certificate of Approval f	or Occupancy be issued to	
For property built under	Permit No. 1368 Date	ed	when completed in
conformance with the A	Approved Plans.		
	Sign	ed .	
	RECORD OF INSP	ECTIONS	
Item	Date	Approved	by
Set-backs and footings			
Rough plumbing	0	0.	1.1
Slab	Steel	a Spundin.	e, 8/4/61
Perimeter beam) - Alego 6	12018)
Close-in, roof and rough	n electric	alle out	, , ,
Final Plumbing			
Final Electric			
Final Inspection for Issu	nance of Certificate for Occupa	ncy.	,
	Approved by Building Inspect	for Alilazz	us da date 9/15/8
	Approved by Building Commit	ssioner	date
Utilities notified			
	Original Copy sent to		
Set-backs and footings Rough plumbing Slab Perimeter beam Close-in, roof and rough Final Plumbing Final Electric Final Inspection for Issue	sance of Certificate for Occupal Approved by Building Inspect Approved by Building Commis	ncy. Alicazz ssioner date	(c) 8/4/6/ 12 (18) (c) aa date 9/15, date

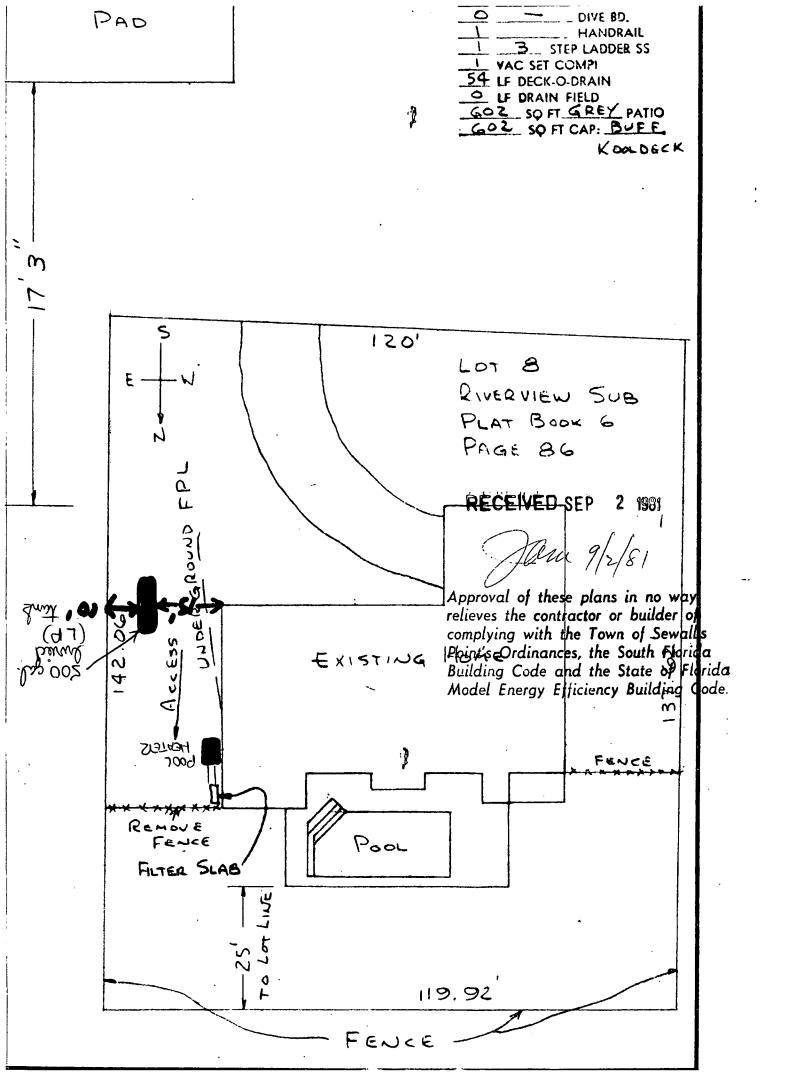
(Keep carbon copy for Town files)

1409 POOL HEATER AND GAS TANK W/LINE

of sewall's point florida

APPLICATION FOR A PERMIT TO BUILD A DOCK, F	ence, eol, solar heatin	G. Devalcia, Scrankialic
ENCHOSORE, GARAGE OR ANY OTHER STRUCTURE NO	T A HOUSE OR A COMMERCE	and the properties.
This application must be accompanied by thr - Soluding asplot plan showing set backs; plum - and at least two elevations, as applicable.	prind gird electricat layo	nice years to bloss included
s and sacreast two elevations, as applicable. The contract of	Present addrésst (6	
Phone 286-5848	TA ESCHE GRANCESSE FOR	WWW.WWIII
Contractor TRI_COUNTY GAS INC.	Address 2020 \$-0-	DALS Portilion
287-4330		
Wiere Licensed State of Florida:	License number 023	31:140:143:1010
Electrical contractor	License number	
"我们也是 我们 ,""我 我们还是我的 我们的一个,我们,我们就是一个,我们就是一个,我们就是一个,我们就是一个,我们就是一个,我们就是一个,我们就会会会会会会	License number	
Describe the structure, or addition or alte	ration to an existing st	icucidureo cos whilei
this permit is sought: <u>installation of the light</u>		
State the street address, at which the propo	sed structure widlybes by	onica .
10 Rivenview Drive		
subdivision HIVEYUELU	Lot No	
Contract prices 1840.80 Cost of		in the second
- Plans approved as submitted	Plans approved as	A STATE OF THE STA
The winderstand that this permit is good. The the structure must be completed in acc	ordance with the approve	a e di più susue an d'olana u dominei
#junderstandzthat approval of these plans in Town of sewall's Point Ordinances and the S understand that I am responsible for mainta	outh Florida Building Co	de Mozeovera I
onderly fashion, policing the area for tras	h, serap building materi	enis visi novojaja as solikos li vojaj ja nas vaista vaistas
asary, removing same from the area and from	the Town of Sevall's Poi	ne marendura po con Coconomia
tion eroject	CO PORT	
Concertion that this structure must	acton Zandin 3 2 Tri-County Gas	www.wir.wir.wir.
a and the must comply with all code required to the spector will by a Building Inspector will	rements of the Towntof s	ivali ⁿ s Point befor
Owner		
TOWN RECO	RD Date submi	
Approved: + Approv		MAN TO THE MENT OF THE PARTY OF
MARSON OF COLL		168 j/s ir
Commissioner		
Final Approval given: (9,0) (Tax 1	
Certificate of Occupancy issued Oct	0 1 60/	

#1409



2445 SCREEN ENCLOSURE

OWNER Dennis Birdsoll CONTRACTOR Hardson Builders LOT 8 BLOCK SUB RIVERVIEW NO. 10 RIVERVIEW St. or Ave.

THIS PERMIT MUST BE DISPLAYED IN FRONT OF JOB

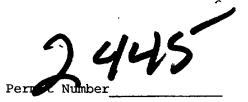
TOWN OF SEWALL'S POINT BUILDING PERMIT

REQUIRED INSPECTIONS	INSPECTOR'S FINDING	INSPECTOR'S SIGNATURE
1. LOT STAKES/SET BACKS		
2. TERMITE PROTECTION		
3. FOOTING - SLAB		
4. ROUGH PLUMBING		
5. ROUGH ELECTRIC		
6. LINTEL	 	
7. ROOF		
8. FRAMING	 	
9. INSULATION		
10. A/C DUCTS		
11. FINAL ELECTRIC		
12. FINAL PLUMBING		
13. FINAL CONSTRUCTION		

287-2455

DO NOT REMOVE UNTIL JOB IS COMPLETED

NO. 2445 Date Issued 12/7/88
Date 133ded
Call 287-2455 From 8:00 A.M 12:00 Noon and
1:00 P.M 4:00 P.M. For Inspections of Items 1 thru 13.
* REQUESTS FOR INSPECTIONS REQUIRE AT LEAST 24 HOURS NOTICE.
* ALL WORK MUST BE IN COMPLIANCE WITH THE TOWN OF SEWALL'S
POINT ORDINANCES, THE SOUTH FLORIDA BUILDING CODE, THE STATE
OF FLORIDA ENERGY EFFICIENCY BUILDING CODE AND ELEVATIONS
BASED ON THE LATEST FLOOD INSURANCE RATE MAP.
* WORKING HOURS ARE FROM 8:00 to 5:00 P.M. MONDAY THRU SATURDAY PORTABLE TOILET FACILITIES MUST BE ON JOB SITE BEFORE INITIAL INSPECTION. TO CONSTRUCT POOL ENCLOSURE
REMARKS:

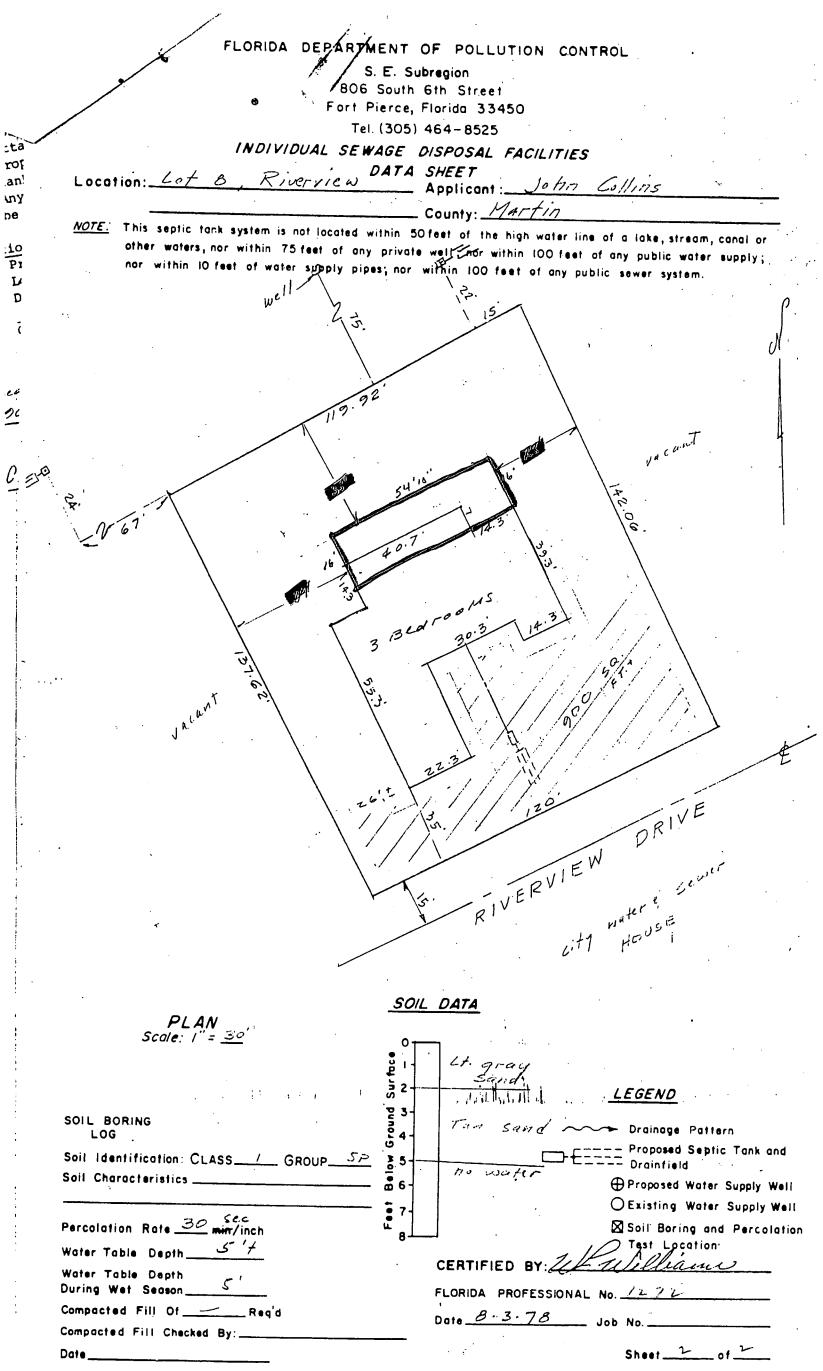


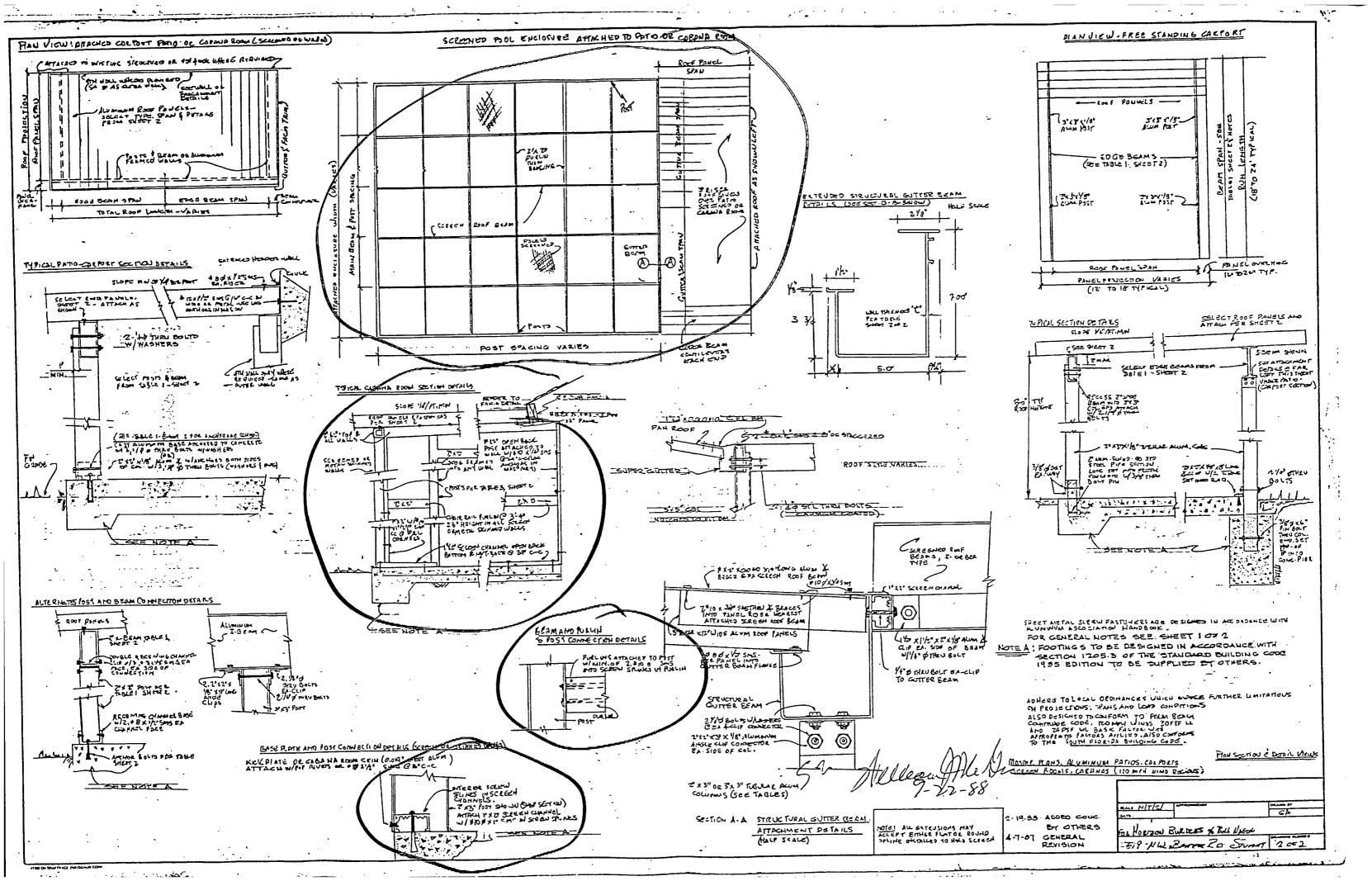
Date 12/7/88

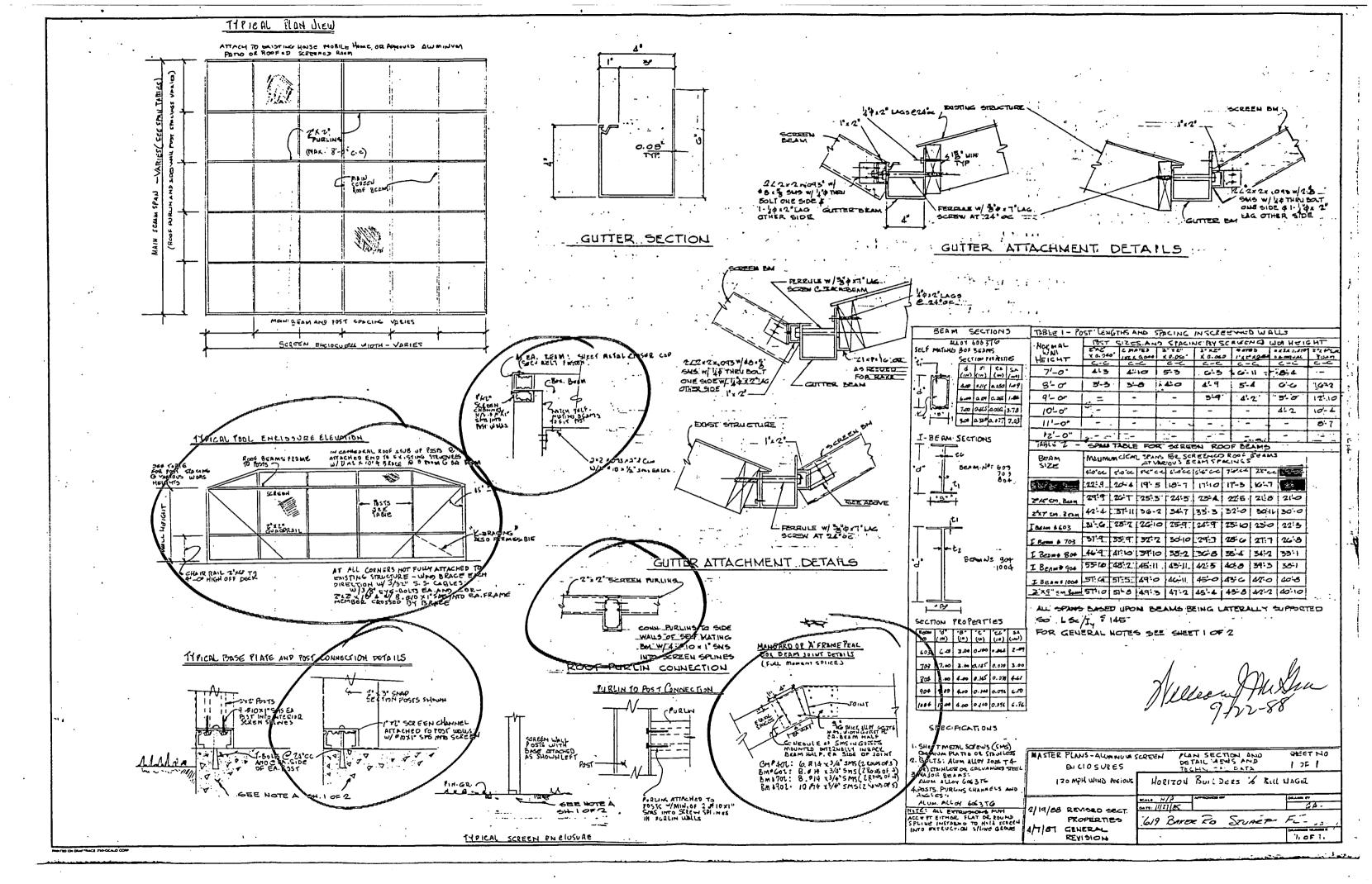
APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEARING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

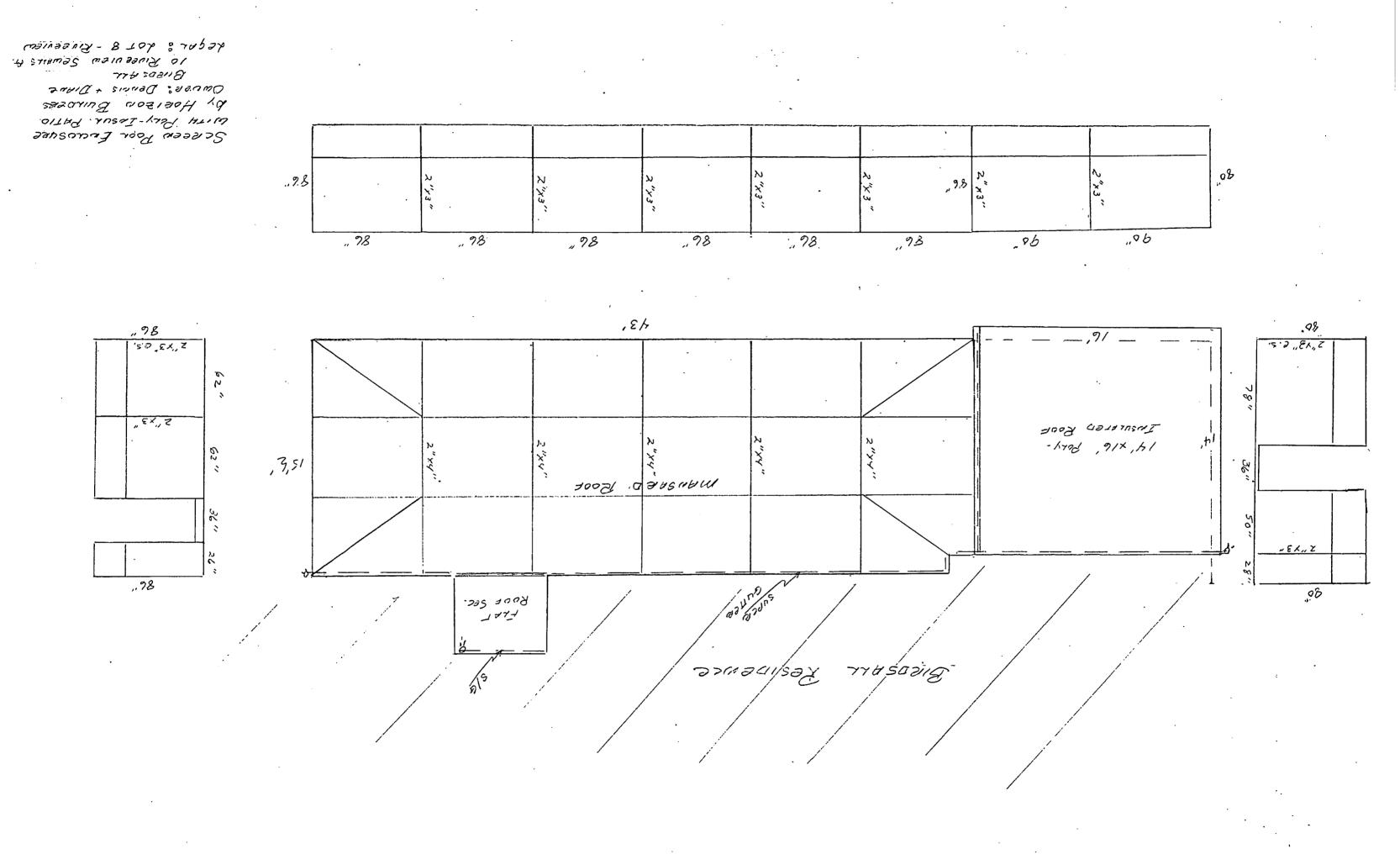
This application must be accompanied by three (3) sets of complete plans, to scale, in cluding a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner flannis & bliane Birdsoll	Present Address / O Reviewfl
Phone 286.9828	Sewalls Pt Stuart
Contractor Horizon Builders	Address 6/9 Baker Ri
Phone 692 - 2248	Stuart Il. 3494
Where licensed Marles Cly	License number SP00342
Electrical contractor	License number
Plumbing contractor	License number
Roofing contractor	License number
Air conditioning contractor	License number
Describe the structure, or addition or alteration permit is sought: Fool Confosure	to an existing strucutre, for which this
State the street address at which the structure wi	ll be built:
10 Riversiew Dla. Seura	elo Pt
Subdivision Schaus POINT - RIVERVICW L	•
Contract price\$ #4200, Cost o	f permit\$
Plans approved as submitted	Plans approved as marked
I understand that this permit is good for 12 that the structure must be completed in accordance understand that approval of these plans in no way Town of Sewall's Point Ordinances, the State of Fl Code and the South Florida Building Code. Moreove for maintaining the construction site in a neat an for trash, scrap building materials and other debrarea and at least once a week, or oftener when nec and from the Town of Sewall's Point. Failure to cor Town Commissioner "red-tagging" the construction	with the approved plan. I further relieves me of complying with the orida Model Energy Efficiency Building r, I understand that I am responsible d orderly fashion, policing the area is, such debris being gathered in one essary, removing same from the area omply may result in a Building Inspector
I understand that this structure must be in a that it must comply with all code requirements of approval by a Building Inspector will be given. Owner	ccordance with the approved plans and
TOWN RECORD	M & R. Marke
Date submitted Approve	Building Inspector Date
	al Approval given
Commissioner Date	Date
Certificate of Occupancy issued(if applicable) Date	7/89
SP1184	Permit Number 2445









RECORD OF INSPECTIONS

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

1				Å.	:	1	, ye and	46
			'		; Date	1/	9/89	
This is to request	that a Certificate of App	roval for C)ccunon	i cy ha issue	ـ ما ند	Rind	Sall	7
For property built unde	er Permit No. 2445	Dated	12/7	188	10.		completed	in
conformance with the	Approved Plans				:			
1. LOT STAKES/SET BACKS	The specific of the second				 			
2. TERMITE PROTECTION		Signed						j
3. FOOTING - SLAB				Approve	by			
4. ROUGH PLUMBING			·					
5. ROUGH ELECTRIC					. !			
6. LINTEL				. 1	<u> </u>			<u> </u>
7. ROOF						-	H	
8. FRAMING	1/0/00				1.			
9. INSULATION	11.11.01		·					<u> </u>
IO A/C DUCTS		·			· 	·.		1
11. FINAL ELECTRIC		-				_	4,1	
2. FINAL PLUMBING					i	: .	N. Car	
3. FINAL CONSTRUCTION	1	-	· · · ·	ŀ	1			
Final Inspection for Iss	suance of Certificate for O	ecupane.				••••	14 1	<u> </u>
	Approved by Building 1		De	of Bro	4	7/	1/89 dat	3
	Approved by Building C	Commission	er Sole	s dole	Da	The.	19/08	
Utilities notified					1	•		•
	Original Copy sent to		, .	date				
•	(Keep carbon c	opy for To	wn files					7

2456 CONCRETE SLAB

ADDI rojeran poj			Date	
APPLICATION FOR A PERMIT TO BUFLD ENCLOSURE, GARAGE OR MAY OTHER STRU	DOCK, FENCE	, POOL, SOLAR HE HOUSE OR A COMME	ATING DEVICE, SC	REENED
rnis application must be accompanie cluding a plot plan showing set-bac and at least two (2) elevations, as	d by three (3) sets of comple	·	ale, in- icable,
Owner DENNIS BIRDSAL	•	ent Address 10	River vie	(n)
Phone 283 8201 (work)			art F1.	
Contractor Kein Holberger	Addr	ess 1865 NE R		
Phone 3347562		JENSEN BER		
Where licensed Martin Co.	Licer	nse number 500		62244
Electrical contractor		nse number		7
Plumbing contractor		nse number		
Describe the structure, or addition this permit is sought:		CAN IT CENT	TO EXILATINA	which poolpotio.
State the street address at which the	e proposed s	oposed Screetructure will be	built:	
Subdivision River View	-	Lot number 9	Block num	ber
Contract price \$ 600.00.	Cost of pe	rmit \$		
Plans approved as submitted	•	Plans approved as	s marked	
I understand that this permit is that the structure must be completed understand that approval of these plown of Sewall's Point Ordinances and understand that I am responsible for orderly fashion, policing the area for such debris being gathered in one are sary, removing same from the area and ply may result in a Building Inspector project.	ans in no way d the South no maintaining or trash, son ea and at lea	y relieves me of Florida Building the construction mate ast once a week,	complying with complying with code. Moreover site in a neat crials and other or oftener when	rther the , I and debris, neces-
	Contractor	16th blog		•
I understand that this structure and that it must comply with all code final approval by a Building Inspector	must be in	accordance with		ins before
	Owner DEN	NIS BIRDSOLL	(KH)	,
•	TOWN RECORD			
	Approved:	Dale Son	our 12/19	7/68 Nate
Approved: Commissioner	Date Final	Approval given:_		•
		TE ATACH:		Date
Certificate of Occupancy issued (if a				
	Da	te		
SP1282	Perm	it No		

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

Permit No.

5582 FENCE

MASTER PERMIT NO.

TOWN OF SEWALL'S POINT

Date _/0/1/0/	BUILDING	PERMIT NO.	5582
Building to be erected for CriARYES GEARY	Type of Per	mit FENCE	35.00
Applied for by QUALITY FENCE	(Contractor)	Building Fee _	1
		Radon Fee_	
Address IOSRIJERVIEW DR.		Impact Fee _	
Type of structure		A/C Fee _	
,,		Electrical Fee	
Parcel Control Number:		Plumbing Fee	
1238410010000008010000		Roofing Fee	<u> </u>
Amount Paid 55.00 Check # 3858 Cash	Other Fe	es ()	3 5. 00
SIGNED SIGNE			
6.4.	RIII	DUNK AKKI	~ NI

FENCE PERMIT

		INSPECTIONS	<u> </u>	· ·
SETBACKS FOOTINGS	DATE	•	HEIGHT FINAL	DATEDATE
	OTICE REQUIRED			CALL 287-2455
***		ONDAY TROUGH		
□ New	Construction	☐ Remodel	☐ Addi	tion 🛘 Demolition

This permit must be visible from the street, accessible to the inspector.

FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,

NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.

DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

10 Riverview Dr Sewants Pt. 101 24996

P. C.	Geary	Phone No COUNTER - W
Street 10 Rivervein Rd		Phone No. 621) 288 - 4. Pont State: 124 Zip
Legal Description of Property: Lot	8 KINTERNENS	Sichelia
FUNT 6 Page 86	Parcel Nur	mber, 123841001000000000
TO SILE. / CO AND OR IN	0/L > 1 V:	
TYPE OF WORK TO BE DONE: Fence te	al out Exista	a Renstall 6 sand Paiss
The last of the la	tu France	
	State Lic	ense: Sho 3 4 20
ARCHITECT:		Phone No. ()
Street	City	State: Zip
ENGINEER:		
Street	City	Phone No. ()
AREA SQUARE FOOTAGE - SEWER - ELECT	200	State: Zip
Living Area:	NIU:	
Living Area: Garage Area: Scr. Porch:	Carport:	Accessory Bidg:
Sa. Polal.	Wood Deck	
Type Sewage: New Electrical Service Size: AM	Sepuc Tank Permit #	from Health Dept
FLOOD HAZARD INFORMATION	F3	
76.74	Winimum Base Flood E	levation (BFE):NGV
The state of the s		NGVD (minimum 1 foot above BFE
A A A A A A A A A A A A A A A A A A A		
Estimated cost of construction or Improvement: \$_	\$ 2350	,
Estimated Fair Market Value (FMV) prior to improve If Improvement, is cost greater than 50% of Fair M. Method of determining Fair M.	emant: \$	
Method of determining Fair Market Value: SUBCONTRACTOR INFORMATION: (Notification (Electrical:	to this office of subcon	tractor change is mandatory.)
Mechanical:	State:	· License #_
	State:	1
Roofing	State:	License #
	 State:	l icense #
Application is hereby made to obtain a permit to do the installation has commenced prior to the issuance of a perfect laws receded in a permit to the installation of all laws receded in a permit to the installation of all laws receded in a permit to the installation of	work and installations	as indicated, I certify that no work or
THE REMOVAL. CONDITIONERS, COCKS, SEA WALLS, ACCESSORY REE REMOVAL.	derstand that a separate of OOLS, FURNACES, BUILDINGS, SAND OR	permit from the Town may be required OILERS, HEATERS, TANKS, AIR FILL ADDITION OR REMOVAL, AND
CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY REE REMOVAL. HEREBY CERTIFY: THAT THE INFORMATION I HAD DREET TO THE BEST OF MY KNOWLEDGE AND WS AND OF CHARLES DURING THE BUILDING PR	derstand that a separate pools, FURNACES, BUILDINGS, SAND OR AVE FURNISHED ON TAILORD COMPLY ROCESS, INCLUDING E	permit from the Town may be required to license the standard permit from the Town may be required to license. HEATERS, TANKS, AIR FILL ADDITION OR REMOVAL, AND THIS APPLICATION IS TRUE AND WITH ALL APPLICABLE CODES,
PER CERTIFY: THAT THE INFORMATION I HAD CREET TO THE BEST OF MY KNOWLEDGE AND WS AND ONE; NAME OF AGENT SIGNATURE (Required)	derstand that a separate pools, Furnaces, Buildings, Sand or AVE FURNISHED on COMPLY ROCESS, INCLUDING FOR CONTRACTOR SIGNAL CONTRACTOR SI	permit from the Town may be required to license the standard permit from the Town may be required to license. HEATERS, TANKS, AIR FILL ADDITION OR REMOVAL, AND THIS APPLICATION IS TRUE AND WITH ALL APPLICABLE CODES,
PER CERTIFY: THAT THE INFORMATION I HAD DREET TO THE BEST OF MY KNOWLEDGE AND WS AND OF CINANCES DURING THE BUILDING PROPERTY OF AGENT SIGNATURE (Required)	derstand that a separate pools, Furnaces, Buildings, Sand or AVE Furnished on 1 Agree to comply Rocess, including for Contractor signal.	Permit from the Town may be required collers. HEATERS, TANKS, AIR FILL ADDITION OR REMOVAL, AND THIS APPLICATION IS TRUE AND WITH ALL APPLICABLE CODES, LORIDA MODEL ENERGY CODES. SNATURE (Required)
CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY REE REMOVAL. HEREBY CERTIFY: THAT THE INFORMATION I HAD RECT TO THE BEST OF MY KNOWLEDGE AND WAS AND ONE NAMCES DURING THE BUILDING PR WINER OF AGENT SIGNATURE (Required) Owner Conner	derstand that a separate pools, FURNACES, BUILDINGS, SAND OR AVE FURNISHED ON TO AGREE TO COMPLY ROCESS, INCLUDING FOR CONTRACTOR SIGNACES State of Florida, Contractor States	Permit from the Town may be required collers, HEATERS, TANKS, AIR FILL ADDITION OR REMOVAL, AND THIS APPLICATION IS TRUE AND WITH ALL APPLICABLE CODES, LORIDA MODEL ENERGY CODES. SNATURE (Required) Contractor Inty of: Contractor
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CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY REE REMOVAL HEREBY CERTIFY: THAT THE INFORMATION I HAD CORRECT TO THE BEST OF MY KNOWLEDGE AND LAWS AND OF CINANCES DURING THE BUILDING PR WINER OF AGENT SIGNATURE (Required) Commerciate of Florida, County of:	derstand that a separate pools, FURNACES, BUILDINGS, SAND OR AVE FURNISHED ON TAGREE TO COMPLY ROCESS, INCLUDING F CONTRACTOR SIGNAL State of Florida, Couthis the	THIS APPLICATION IS TRUE AND WITH ALL APPLICABLE CODES, LORIDA MODEL ENERGY CODES. SNATURE (Required) Contractor Inty of:OnOnOnOn
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CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY REE REMOVAL. HEREBY CERTIFY: THAT THE INFORMATION I HAD CORRECT TO THE BEST OF MY KNOWLEDGE AND LIVES AND OF CHARLES DURING THE BUILDING PR MINER OF AGENT SIGNATURE (Required) Commer The day ofOn The day of	AVE FURNISHED ON AVE FURNISHED ON AGREE TO COMPLY CONTRACTOR SIGNATURE OF Florida, Couthis the	THIS APPLICATION IS TRUE AND WITH ALL APPLICABLE CODES, LORIDA MODEL ENERGY CODES. ENATURE (Required) Contractor unity of: On day of Code, Kielsten who is personally uced
CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY REE REMOVAL. HEREBY CERTIFY: THAT THE INFORMATION I HAD DRECT TO THE BEST OF MY KNOWLEDGE AND LIWS AND ONE NANCES DURING THE BUILDING PR WINER OF AGENT SIGNATURE (Required) Owner the of Florida, County of:	AVE FURNISHED ON AVE FURNISHED ON AGREE TO COMPLY CONTRACTOR SIGNATURE State of Florida, Couthis the	THIS APPLICATION IS TRUE AND WITH ALL APPLICABLE CODES, LORIDA MODEL ENERGY CODES. SNATURE (Required) Contractor On day of On On On On Otary Public
CONDITIONERS, COCKS, SEA WALLS, ACCESSORY REE REMOVAL HEREBY CERTIFY: THAT THE INFORMATION I HAVORRECT TO THE BEST OF MY KNOWLEDGE AND AWS AND OF C. NANCES DURING THE BUILDING PROMER OF AGENT SIGNATURE (Required) Owner the of Florida, County of:	AVE FURNISHED ON AVE FURNISHED ON AGREE TO COMPLY CONTRACTOR SIGNATURE OF Florida, Couthis the	THIS APPLICATION IS TRUE AND WITH ALL APPLICABLE CODES, LORIDA MODEL ENERGY CODES. SNATURE (Required) Contractor unty of:On day ofOn cotary Public
Condition of this jurisdiction. I under the condition of	AVE FURNISHED ON AVE FURNISHED ON AGREE TO COMPLY CONTRACTOR SIGNATURE State of Florida, Couthis the	THIS APPLICATION IS TRUE AND WITH ALL APPLICABLE CODES, LORIDA MODEL ENERGY CODES. CONTRACTOR (Required) Contractor On day of On Acceptance who is personally uced Object of O

Planetic:	·············Number	of trees to be removed: Number of trees to be retained:	Ni sahan adda a da
DEVELOPMENT 'ORDER # 1. ALLPLICATIONS REQUIRE a. Property Appraisars Parcel Number. b. Legal Description of your property. (Can be found on your deed survey or Tax Bill.) c. Contractors name, address, phone number & license numbers. d. Name all sub-contractors (property licensed). e. Current Survey 2. Take contractors placed application to the Permits and Inspections Office for approval. Provide construct details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined to the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined to septic tank. Attach the pink copy to the building application. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Departm for septic tank. Attach the pink copy to the building application. Return all forms to the Permits and Inspection Office, All planned construction requires: two (2) sets plans, drawn to scale with engineer's or architects seal and the following items: a. Ticor Plan b. Foundation Details c. Ejevation Views - Elevation Certificate due after slab inspection, d. Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location divieway). a. Truss layout f. Vertical Wall Sections (one detail for each wall that is different) f. Freplace drawing: if prefabricated submit manufacturers data DDITIONAL Required Documents are: Use permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location of head of the property Code Compliance Sheets. Statement of Fact (for Homeowner Builden), and proof of ownership (Deed or Tax receipt). Impation Spirinker System layout showing location of heads, valves, etc. A cartified copy of the Notice of Commencement must be flied in this office and posted at the job site prior to the first inspection. Replat required upon compl	planted:	Number of Specimen trees removed:	Number of trees to
1. ALL. *PLICATIONS REQUIRE a. Property Appraisers Parcel Number. b. Legal Description of your property. (Can be found on your deed survey or Tax Bill.) c. Contractors name, address, phone number & license numbers. d. Name all sub-contractors (property licensed). e. Current Survey 2. Take curpleted application to the Permits and Inspections Office for approval. Provide construct details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined this time. 3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Departm for septic tank. Attach the pink copy to the building application. 4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets plans, drawn to scale with engineer's or architects seal and the following Items: a. "Floor Plan b. Foundation Details c. Elevation Views - Elevation Certificate due after slab inspection. d. Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location chiveway). a. Truss layout f. Vertical Wall Sections (one detail for each wall that is different) g. Fireplace drawing: If prefabricated submit manufacturers data DDITIONAL Required Documents are: Use permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway logation (State Road A-1-A East Ocean Boulevard only). Well Permit or Industrial for industrial plans and proof of ownership (Dead or Tax receipt). Impation Sprinkler System layout showing location of needs, valves, etc. A cartified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection. Replat required upon completion of slab or footing inspection And Prior to any further inspections. TICE: In, addition to the requirements of this permit, there may be additional restrictions applicable to this	··· Fee; .\$	Authorized/Date:	4.1
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ACORD. CERTIFICATE F LIABILITY INSURANCE						9/6/01
	COUCER Kearns Agency of Flor: P O Box 1849	ida, Inc.	ONLY AN	ID CONFERS THIS CERTIFIC	SUED AS A MATTER NO RIGHTS UPON TO CATE DOES NOT AME AFFORDED BY THE F	ME CERTIFICATE END. EXTEND OR
Jensen Beach, Fl. 34958				INSURERS	AFFORDING COVERA	GE
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	Quality Fence Contract	ors Inc.		Auto_Osmeze	Insurance Comp	ANY
	James Kierstead 2513 SK Richmond St.		INSURER C:		· · · · · · · · · · · · · · · · · · ·	······································
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			SHOULD ANY OF	THE ABOVE DESCRIE	PED POLICIES BY CANCELLED BY	EFORE THE EXPIRATION
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ACC	ORD 25-6 (7/97)			1	@ ACORD CO	RPORATION 1988

10/30/2001 10:33 FAX 1 561 778 5772 AYS GROUP Ø 001/002 <u>Client#: 13204</u> DATE (NINVOOTT) ACORD. CERTIFICATE OF LIABILITY INSURANCE 06/14/01 THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CENTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. Brown & Brown, Inc. 1401 Forum Way Suite 600 INSURERS AFFORDING COVERAGE West Palm Beach, FL 33401 INSURERA Continental Casualty Company INSURED AYS Group, Inc. DBA AYS Employee Leasing INSURER B: 2145 14th Avenue #6 INSURER C Vero Beach, FL 32960 INSURER D: INSURER E COVERAGES THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER OCCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS. POLICY EXPECTIVE POLICY EXPERATION
DATE IMMEDITY DATE IMMEDITY TYPE OF INSURANCE POLICY NUMBER EACH OCCURRENCE GENERAL LIABILITY 2 FIRE DAMAGE (Any one fire) COMMERCIAL GENERAL LIABILITY MED EXP (Any one person) CLAIMS MADE OCCUR PERSONAL & ADV INJURY s 5 GENERAL AGGREGATE PRODUCTS - COMPION AGG GEN'L AGGREGATE LIMIT APPLIES PER POLICY AUTOMOBILE LIABRUTY COMBINED SINGLE LIMIT (En ecoldant) 3 ANY AUTO ALL OWNED AUTOS BODILY INJURY (Per derson) SCHEDULED AUTOS HIRED AUTOS BODILY INJURY (Per accident) ŝ NON-OWNED AUTOS PROPERTY DAMAGE (Per accident) AUTO ONLY - EA ACCIDENT | S GARAGE LIABILITY EA ACC | 9 ANY AUTO OTHER THAN AUTO ONLY: AGG 15 Ìs EACH OCCURRENCE EXCESS LIABILITY AGGREGATE CLAIMS MADE OCCUR 3 DEDUCTIBLE s RETENTION 06/15/01 06/15/02 WORKERS COMPENSATION AND EMPLOYERS LIABILITY WC138199238 A \$500,000 E.L. EACH ACCIDENT EL DISEASE - EA EMPLOYEE \$500,000 EL DISEASE -POLICY LIMIT 6500,000 OTHER DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

Coverage is provided for only those employees leased to but not subcontractors

Quality Fence Company 2513 SE Richmond St Ft Pierce Fl 34952 Client #1200

CERTIFICATE HOLDER ADDITIONAL INSURED; INSURED LETTER:	CANCELLATION
The Town of Sewells Point Attn Ed Arnold 1 South Sewell Point Rd Stuart, FL 34996	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPRATION DATE THEREOF. THE ISSUING INSURER WILL ENDEAVOR TO MAIL 3.0. DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDERNAMED TO THE LEFT, BUT FAILURE TO DO 50 SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE WISURER, ITS AGENTS OR REPRESENTATIVES.
ACORD 25-S (7/97) 1 of 2 #S210589/M210436	AUTHORIZED REPRESENTATIVE KAA © ACORD CORPORATION 188



MARTIN COUNTY, FLORIDA Construction Industry Lic Bd Certificate of Competency

License: SP02470 Expires September 30, 2003

KIERSTEAD, JAMES J QUALITY FENCE CO 2513 SE RICHMOND ST PSL, FL 34952 FENCE ERECTION



TOWN OF SEWALL'S POINT

One South Sewall's Point Road Sewall's Point, Florida 34996 (561) 287-2455

CORRECTION NOTICE

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DO NOT REMOVE THIS TAG

INSPECTOR

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection:

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Wed Fri , 2001; Page
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Building Department - Inspection Log

Date of Inspection:

Mon Wed | Fri | 2001; Page 2 of 2.

	PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
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5991 RE-ROOF

		MASIER PERMIT NO			
то	WN OF SEWALL'S	POINT			
Date 9-30-02	_	BUILDING PERMIT NO. 5991			
Building to be erected for Char	les GEARY	Type of Permit RE-RooF			
Applied for by Pacific Ro		(Contractor) Building Fee 120.00			
Subdivision Riverview					
Address 10 Riverview	Drive	Impact Fee			
Type of structure	SFR	A/C Fee			
		Electrical Fee			
Parcel Control Number:		Plumbing Fee			
12384100	1060000 801 000				
		Other Fees ()			
Total Construction Cost \$ 23.0		TOTAL Fees 120.00			
MI /					
Signed	Signed	Sem Jemmons (Non)			
Applicant	· Olgride	Town Building Official			
Applicant Town Building Chicial					
	PERMIT	· Γ			
BUILDING	_ ELECTRICAL	☐ MECHANICAL			
☐ PLUMBING	☐ ELECTRICAL ROOFING	☐ MECHANICAL ☐ POOL/SPA/DECK			
☐ PLUMBING ☐ DOCK/BOAT LIFT	☐ ELECTRICAL ROOFING DEMOLITION	☐ MECHANICAL ☐ POOL/SPA/DECK ☐ FENCE			
□ PLUMBING□ DOCK/BOAT LIFT□ SCREEN ENCLOSURE	☐ ELECTRICAL ROOFING DEMOLITION TEMPORARY STRUC	☐ MECHANICAL ☐ POOL/SPA/DECK ☐ FENCE ☐ GAS			
☐ PLUMBING ☐ DOCK/BOAT LIFT	☐ ELECTRICAL ROOFING DEMOLITION	☐ MECHANICAL ☐ POOL/SPA/DECK ☐ FENCE ☐ GAS			
□ PLUMBING□ DOCK/BOAT LIFT□ SCREEN ENCLOSURE□ FILL	☐ ELECTRICAL ROOFING DEMOLITION TEMPORARY STRUCTURE HURRICANE SHUTT	☐ MECHANICAL ☐ POOL/SPA/DECK ☐ FENCE ☐ GAS ERS ☐ RENOVATION ☐ ADDITION			
□ PLUMBING□ DOCK/BOAT LIFT□ SCREEN ENCLOSURE□ FILL	□ ELECTRICAL ROOFING □ DEMOLITION □ TEMPORARY STRUCE □ HURRICANE SHUTT □ STEMWALL INSPECTIO	☐ MECHANICAL ☐ POOL/SPA/DECK ☐ FENCE ☐ GAS ERS ☐ RENOVATION ☐ ADDITION			
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Town of Sewall's Point

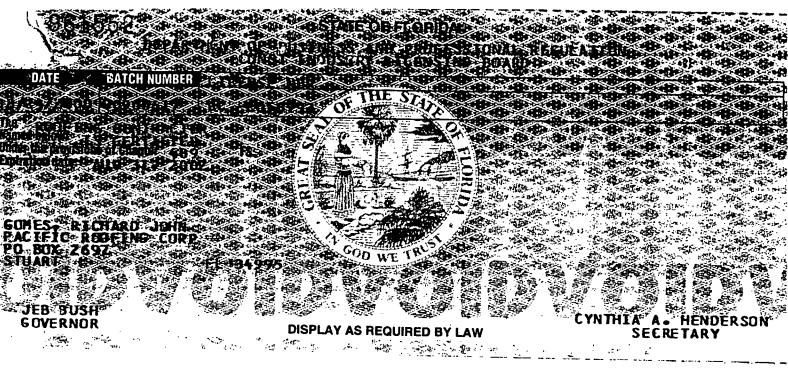
BUILDING PERMIT APPLICATION		Building Permit Number:	
Owner or Titleholder Name: CHARLES GEARY Legal Designation of Processy: RIVERVIEW, SCD. 1. T.	City: ST~		
Location of Job Site: 13 RIVERVIEW DRIVE	Type of Work To Be Done	RE-ROSE	~000 - 000H
		CE TO NETAL	
CONTRACTOR/Company Name: PACIFIC ROOFINH			
Street: P.O. (39 x 2697)	Car ST	Phone Number: 2	37.1662
State Registration Number:State Certification Nu	CCC OSC 102	T State: FC	Zip:_ <u>3499</u>
Gate Ceruncation Nu	mber: <u>C-C-36 / 7 3</u> (/	lartin County License Number	·
ARCHITECT:			
Street		Phone Number:	
	City:	State:	Zip:
ENGINEER:			
_		Phone Number:	
Street:	City:	State:	Zip:
AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living:	Garage:Cove	red Patios:Screened	Porch:
Total Under Roof T. 483 S. P. Wood D	Deck: A	concenn Pullation	
Type Sewage:Septic Tank Permit Numbe	r From Health Depart.	Weil Permit Numt	Nor.
FLOOD HAZARD INFORMATION Flood Zone.	Minimum Base Flood F	levation (REE):	VO. 5
Proposed First Floor Habitable Floor Finished Elevation:		NCVO (Ations	NGVD
		NGVD (Minimum	1 Foot Above BFE)
COST AND VALUES Estimated Cost of Construction or Improvements:	23 000 00		
To improvements If improvement is Cost Costons 3	557,000.00	Estimated Fair Market V	/alue (FMV) Prior
To improvementsIf Improvement, is Cost Greater T	nan 50% Of Fair Market Val	ue YESN	D
SUBCONTRACTOR INFORMATION	· · · · · · · · · · · · · · · · · · ·		
Electrical:	State	License Number:	·
Mechanical:	State:	License Number:	
riumomą,	State:	License Number:	
Roofing: PACIFIC ROOFILY	State: FL	License Number CCC	056793
understand that a separate permit from the Town may be required for ELI	ECTRICAL, PLUMBING, SIC	SNS. WELLS, POOLS, FURNA	NCE, BOILERS.
HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCES	SORY BUILDINGS, SAND	OR FILL ADDITION OR REMO	DVAL AND TREE
REMOVAL AND RELOCATIONS.			
	PACIFIC R	OOFING CORPORA	TION
CODE EDITIONS IN EFFECT AT TIME OF APPLICATION			
CODE EDITIONS IN EFFECT AT TIME OF APPLICATION Florida Building Code (Structural, Mechanical, Plumbing, Gas)S	iouth Florida Building Soll	SE DIXIE HIGHWAY	
National Electrical CodeFlonda Energy Code	CTI INDIT	Structural, Mechanical, Plumbi CIADIDA 04004 004	ing, Gas)
Fiorida Accessibility Code	SIUANI	FLORIDA 34994-38	U3
	1 7 1 1 2 1 2 2 2 2 2 2 2 2 2 2 2 2 2 2		
HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED OF	n This application is th	RUE AND CORRECT TO THE	REST OF MY
KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CO			dyRocess.
State Control of The	CONTRACTOR SIGN	NATURE (Required)	
State of Florida. County of: MANTIN	On State of Florida, C	County of: ManTh	
This theday of	This the27	day of	200
by CHARLES GEAR T who is personally	by <u>RiteHM</u>	RD J. homes	wno is personally
known to me or produced	known to me or produ	ıced	
as identification.	As identification.	2	
Nofary Public		otar Pui	olic .
My Commission Expires:	My Commission 5:		· ·
the state of the s	My Commission Expi		
Seal VAMES NICKERSON		JAMES NICI	
※ 作業 ※ TWY COMMISSION # CC 894057 17		MY SOMMISSION EXPIRES: Decare	mber 13, 2003 🛚 🧗
EXPIRES: Decomber 13, 2003	····	Bonded Thru Notary P	Public Underwriters
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Ге 39	questa Agency, Inc. 3 Tequesta Drive) PAX (301)/40-9399		ONLY AND HOLDER. T	CONFERS NO RI	GHTS E DO	S UPON THE CERT ES NOT AMEND, E ED BY THE POLICE	IFICA XTEN	TE D OR	
Τę	equesta, FL 33469			INSURERS AFFORDING COVERAGE						
SU	RED Pacific Roofing Cor	p., Inc.		INSURER A:	Transcontine	nta	Insurance co	· ·		
	PO Box 2697			INSURER B:	Valley Forge	Ins	urance Co.			
	Stuart, FL 34994			INSURER C:			RECEI	71	T	
				INSURER D:				7 ,5		
0	L VERAGES			INSURER E:						
Al M P	NY REQUIREMENT, TERM OR CONDI AY PERTAIN, THE INSURANCE AFFO	BELOW HAVE BEEN ISSUED TO THE I TION OF ANY CONTRACT OR OTHER D RDED BY THE POLICIES DESCRIBED IN MAY HAVE BEEN REDUCED BY PAID	OCUN HEREII OCLAII	MENT WITH RESI N IS SUBJECT TO MS.	PECT TO WHICH TH D ALL THE TERMS,	IIS CE EXCL	RTIFICATE MAY BE IS	SSUED	OR I	
SR R	TYPE OF INSURANCE	POLICY NUMBER	PC D	LICY EFFECTIVE ATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)		LIMIT	s		
	GENERAL LIABILITY	C2020206931	1	0/28/2001	10/28/2002	EACH	OCCURRENCE	\$		00,000
	X COMMERCIAL GENERAL LIABILITY						DAMAGE (Any one fire)	\$		50,000
	CLAIMS MADE X OCCUR		i			┢	EXP (Any one person)	<u> </u>	1.0	5,000
•						—	ONAL & ADV INJURY RAL AGGREGATE	s s		<u>00,000</u> 00,000
	GEN'L AGGREGATE LIMIT APPLIES PER:		-				OUCTS - COMP/OP AGG	s		00,000
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	GARAGE LIABILITY					(Per a	PERTY DAMAGE coident)	\$		-
	ANY AUTO		ļ				ONLY - EA ACCIDENT EA ACC	\$	···	
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	EXCESS LIABILITY					EACH	OCCURRENCE	\$		
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	RETENTION \$		- -			-	WC STATU- TOTH-	S	-	
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:5	LAIPTION OF OPERATIONS/LOCATIONS/V	EHICLES/EXCLUSIONS ADDED BY ENDORSE	EMENT/	SPECIAL PROVISIO	DNS					
E	RTIFICATE HOLDER AD	DITIONAL INSURED; INSURER LETTER:		CANCELLAT	ION					
	TOWN OF SEWALLS POI ATTN: ED ARNOLD 1 SOUTH SEWALLS POI STUART, FL 34996	•		EXPIRATION 10 DAYS BUT FAILURE OF ANY KIND AUTHORIZED RE	DATE THEREOF, THE I S WRITTEN NOTICE TO E TO MAIL SUCH NOTICE UPON THE COMPANY PRESENTATIVE	ISSUING THE C CE SHA	POLICIES BE CANCELL G COMPANY WILL ENDE CERTIFICATE HOLDER N LL IMPOSE NO OBLIGATE GENTS OR REPRESENT	AVOR T AMED T	O MAIL O THE L R LIABILI	EFT,
				Mark Kasten/DEBBIE						

ACORD 25-S (7/97) FAX: (561)220-4765

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ACORD CERTII	FICATE OF LIA	BILITY INS	SURANC	E	CERTIFICATE N	326136	
PRODUCER Elsenmann Risk Placements Ind 105 South Bonge Street McKinney, TX 75069 214-733-9645 fax: 425-671-456		THIS CER ONLY AN HOLDER.	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.				
INSURED				AFFORDING COVERA			
Pacific Roofing Corporation		INSURER A: N	ational Fire I	naurance Company o	f Kartford		
808 South East Dixie Hwy Stuart, FL 34994		INSURER B:		TODE	VIED		
fax: 561-283-9505		INSURER C:		128 21 121			
		INSURER D					
COVERAGES		INSURER E:					
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Stuart, FL 3499	96	REPRESENTAT		TO ART KIND OFOR THE	HUUNEN, HU AUI		
		AUTHORIZED REPRESENTATIVE					



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FILE

TO BE COMPLETED WHEN CONSTRUCT	ON VALUE EXCEEDS \$2500.00	0	•
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STATE OF FLOREDA		COUNTY OF MAR	The state of the s
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LEGAL DESCRIPTION OF PROPERTY	INCLUDE STREET ADDRES	S IF AVAILARLE):	
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OWNER CHARLES GE	ARY		
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PHONE #:	FAX *		
CONTRACTOR: PACIFIC F	500 PIN (17		
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PHONE # 283.7663		283.9505	
SURETY COMPANY(IF ANY)			
ADDRESS:		STATE OF FLORIDA	
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THE EXPIRATION DATE IS ONE (1) YEAR ABOVE.	FROM THE DATE OF RECO	ORDING UNLESS A DIFFER	ENT DATE IS SPECIFIED
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BUILDING CODE COMPLIANCE OFFICE METRO-DADE FLAGLER BUILDING 140 WEST FLAGLER STREET, SUITE 1603

MIAML FLORIDA 33130-1563 (305) 375-2901 FAX (305) 375-2908

(305) 375-2527 FAX (305) 375-2558

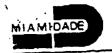
(305) 375-2966 FAX (305) 375-2903

PRODUCT CONTROL DIVISION (JOS) 375-2902 FAX (JUS) 372-6339

CONTRACTOR LICENSING SECTION

CONTRACTOR ENFORCEMENT DIVISION

: F . E I



OF ACCEPTANCE PRODUCT CONTROL NOTICE

J.M. Metals

837 N. Cocoa Blvd., Suite \$ Cocoa,FL 32922

TOWN OF SEWALL'S POINT THESE PLANS HAVE BEEN REVIEWED FOR CODE COMPLIANCE

DATE:

Your application for Notice of Acceptance (NOA) of

JM 1.5 Standing Seam Architectural Main BING OFFICIAL

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing wil PACIFIC PROPERTION

ACCEPTANCE NO.: 00-0705.07

808 SE DIXIE HIGHWAY

EXPIRES: 08/31/2003 STUART, FLORIDA 34994-3803

Raul Rodriguez

Chief Product Control Division

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set Marie / Quintera forth above.

WARNING

Francisco J. Quintana, R.A.

THIS DOCUMENT CONTAINS PROPRIETARY INFORMATION CAN ED BY J.M. METALS. IT IS INTENDED FOR SPECIFIC USE BY J.M. METALS, AND ITS AUTHORIZED DEALERS CNLY, WHEN PROVIDING - Dade County J.M. METALS PRODUCTS, CALCULATIONS, AND ABNICAND Code Compliance Office

CONTAINED HEREIN, AND IS ONLY VALID WHEN USED IN CONJUNCTION WITH CERTIFIED J.M. METALS MATERIAL, OTHER PRODUCTS MAY NOT PERFORM THE SAME, AND ARE SPECIFICALLY OMITTED FROM COVERAGE FROM THIS DOCUMENT AND WARRANTIES AVAILABLE THRU J.M. METALS.

ONLY TRUE CERTIFIED COPIES OF THIS DOCUMENT BEAR THE CALBED SEAL OF A MILA SMITERPRISES, INC. (THE PARENT COMMINDER OF JUNE 12 12 12 12 12

SEP 1 4 2000

APPROVED: 08/31/2000

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ROOFING SYSTEM APPROVAL:

Category:

Roofing

Approval Date: August 31, 2000

Sub-Category:

Metal, Panels

Material:

Steel

Expiration Date: August 31, 2003

Deck Type:

Maximum Design Pressure

Wood -86.25 psf PACIFIC ROOFING CORPORATION

\$08 SE DIXIE HIGHWAY

TRADE NAMES OF PRODUCTS MANUFACTURED OR EXBELLED DA 34994 3803 CANT:

Product JM 1.5 Standing Seam Metal Roof	Dimensions I = varies w = 16" h = 1-4"	Test Specifications PA 110	Product <u>Description</u> Corrosion resistant, galvanized or galvalume preformed, coated,
Panel Clip	min. 24 gage 1 = 2"4WARNING 1 = 2"4WARNING 1 = 1 5"PROPRI 1 = 1 5"PROPRI 2 = 1 5"PROPRI 2 = 1 5"PROPRI 3 = 1 5"PROPRI 4 = 1 5"PROPRI 4 = 1 5"PROPRI 4 = 1 5"PROPRI 4 = 1 5"PROPRI 4 = 1 5"PROPRI 4 = 1 5"PROPRI 4 = 1 5"PROPRI 4 = 1 5"PROPRI 5 = 1 5"PROPRI 6 = 1 5"PROPRI 7 = 1 5"PROPRI	ETARY INFORMATION OW ETARY INFORMATION PROV FOR SPECY WHEN PROV FOR SALLY WHEN UN LEGILATION WHEN U	1.M. 1.M. 1.D.W.G. 1.
Trim Pieces BY J.M. J.M. CON	CUMENTO TO THE PROPERTY OF THE	NICUY VALIS MATE! A ONLY VALIS MATE! A ONLY THE SAME FR FORM CAVETHAN J.M. ! FORM CAVETHAN J.M. ! FORM CAVETHAN DOCUMEN SAVALLABLE HOCUMEN SES OF THIS DOCUMEN DIES OF THIS DOCUMEN	Corrosion resistant, galvanized or galvalume preformed, coated, metal panels. J.M. D. Corrosion resistant, galvanized or coated, metal clips. Office of the coated, metal clips. OM ALS. METALS. ME

TRADE NAMES OF RODUCTS THE THE THE BY OTHERS:

<u>Product</u> #30 Felt	ONLY THOSEAL J.M. META PAISED SEAL J.M. META COMPANY OF J.M. META Dimensions N/A	Product <u>Description</u> Saturated organic felt to be used as a nailed underlayment.	<u>Manufacturer</u> generic
#43 Coaled Base Sheet	N/A	Saturated and coated organic base sheet for single or double ply underlayment.	generic
Fire Barrier Board ("Dens Deck")	min. ¼" thick	Fire barrier for Class 'A' fire rating.	Georgia-Pacific with current PCA
Fire Barrier ("Roctex")	min. 450 grams∕m²	Fire barrier for Class 'A' fire rating.	Partek Insulations, Inc.
Fasteners (Panel)	min, #10 coarse thread wood screw.	Corrosion resistant, pancake head, self-drilling, self-threading with sealing washers screws	generic
Scalant	N/A	Sealant for use at foam closure strip.	generic

Page 2 of S

Frank Zuloaga, RRC Roofing Product Control Examiner

Acceptanten 80.: 00-0705.07

Systems:

THIS DOCUMENT CONTAINS PROPRIETARY INFORMATION OWNED BY LM. METALS. IT IS INTENDED FOR SPECIFIC USE BY J.M. METALS, AND ITS AUTHORIZED DEALERS ONLY, WHEN PROVIDING J.M. METALS PRODUCTS, CALCULATIONS, AND ADVICE CONTAINED HEREIM. AND IS ONLY VALID WHEN USED IN

JM 1.5 Standing Senm Metal ROOF PRANINCTION WITH CERTIFIED JAN. METALS MATERIAL OTHER PRODUCTS MAY NOT PERFORM THE SAME, AND ARE SPECIFICALLY OMITTED FROM COVERAGE FROM THIS

Deck Type:

SYSTEM A:

Wood, Non-insulated

DOCUMENT AND WARRANTIES AVAILABLE THRU J.M. METALS. DOCUMENT BEAR THE

Deck Description:

New Construction or Re-roof, DARLED BENDE

808 SE DIXIE HIGHWAY

Slope Range:

2":12" or greater

STUART, FLORIDA 34994-3803

Maximum Uplift

Pressure:

The maximum allowable design pressure for the JM Standing Seam metal panel shall be -86.25 psf

Deck Attachment:

In accordance with chapter 29 of the SFBC, but in no case shall it be less than 8d annular ring shank nails spaced 6" o.c. In rerooting, where the deck is less than 19/32" thick (Minimum 15/32") The above attachment method must be in addition to existing attachment.

Underlayment:

Minimum underlayment shall be an SASTM D 226 Type II installed with a minimum 4" side-lap and 6" end-laps. Underlayment shall be fastened with corrosion resistant tin-caps and 12 gauge 1 1/2 cannular ring-shank nails, spaced 6" o.c. at all laps and two staggered rows 12" o.c. in the field of the roll.

Vaileys:

Valley construction shall be in compliance with Miami-Dade County Roofing Application Standard RAS 133 and with JM Metals' current published installation instructions.

Fire Barrier Board:

For class A or B fire rating, install minimum 1/4" thick Georgia Pacific "Dens Deck" or one layer of "Roctex" or 5/8" water resistant type X gypsum sheathing with treated core and facer, over the deck prior to installing the underlayment in compliance with Miami-Dade County Roofing Application Standard RAS 133.

Metal Panels and Accessories:

Install the "JM Standing Seam Panels" and accessories in compliance with JM Metals' current, published installation instructions and details. Flashing, penetrations, valley construction and other details shall be constructed in compliance with the minimum requirements provided in Minni-Dade County Roofing Application Standards RAS 133. Panels shall be installed with approved clips (2" long x 1.5" wide x 1.62" tall), attached to substrate with two corrosion resistant #10 screw of sufficient length to penetrate through the sheathing a minimum of 3/16". Clip fastening shall start 3" from panel end and not exceed 16" o.c. there after. Standing seams shall be mechanically scanned to a full 90° seam, (single lock).

Page 3 of 5

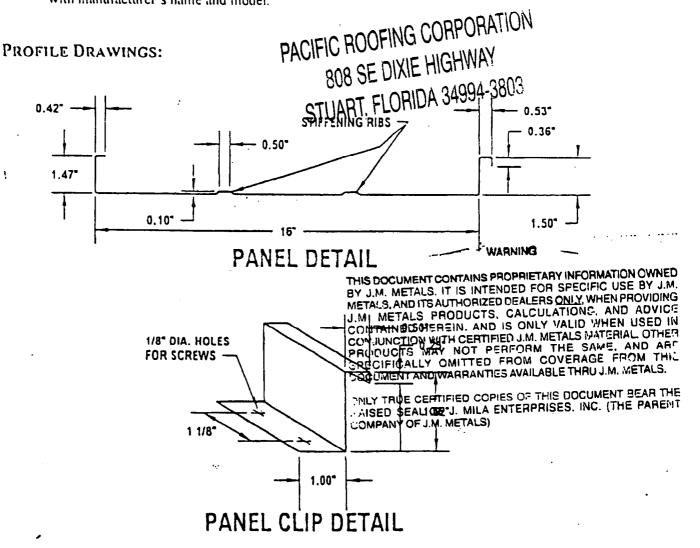
ith.

Frank Zuloaga, RRC Roofing Product Control Examiner

Acceptance No.: 00-0705.07

SYSTEM LIMITATIONS:

- Increased design pressures at perimeter and corner areas, in compliance with chapter 23 of the SFBC, may be met through rational analysis by increasing the number of attachment points in these areas. The maximum fastener spacing hoted in the "Systems Description" section of this approval shall not be exceeded. All rational analysis computation shall be prepared, signed and sealed by a Florida registered Professional Engineer proficient in structural design
- 2. Panels shall be roll formed in continuous lengths from eave to ridge. Maximum lengths shall be as described in Miami-Dade County Roofing Application Protocol RAS 133.
- 3. All panels shall be permanently labeled with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved. All clips shall be stamped with manufacturer's name and model.



JM 1.5 STANDING SEAM METAL ROOF PANEL

Page 4 of 5

Frank Zuloaga, RRC

Roofing Product Control Examiner

Acceptance No.: 00-0705.07

NOTICE OF ACCEPTANCE STANDARD CONDITIONS

- Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.
- Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade Country Product Control Approved", or as PACIFIC ROOFING CORPORATION specifically stated in the specific conditions of this Acceptance.
- Renewals of Acceptance will not be considered if:

mecais

- There has been a change in the South Florida Building Code affecting the DIVIE HIGHWAY product and the product is not in compliance with the code changes:

 The product is no longer the same product (decree of the product is no longer the same product (decree of the product). The product is not in compliance with the code changes:

 The product is no longer the same product (identical) as the one probability approved:

 If the Acceptance holder has not complied with all the same product.
- b)
- c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
- The engineer who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
- Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
- Any of the following shall also be grounds for removal of this Acceptance:
 - a) Unsatisfactory performance of this product or process;
 - b) Misuse of this Acceptance as an endorsement of any product, for sales, adventising or any other purposes.
- The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
- A copy of this Acceptance as well as approved drawings and other documents, where it applies. shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all times. The copies need not be rescaled by the engineer.
- Failure to comply with any section of this Acceptance shall be cause for termination and removal of WARNING Acceptance.
- THIS DOCUMENT CONTAINS PROPRIETARY INFORMATION OWNED TY LM METALS IT IS INTENDED FOR SPECIFIC USE BY J.M. METALS, AND ITS AUTHORIZED DEALERS ONLY WHEN PROVIDING J.M. METALS PRODUCTS, CALEOLIA TURNS HUSDA SOCIOTANCE CONTAINED HEREIN. AND IS ONLY VALID WHEN USED IN CONJUNCTION WITH CERTIFIED J.M. METALS MATERIAL, OTHER PRODUCTS MAY NOT PERFORM THE SAME, AND ARE SPECIFICALLY OMITTED FROM COVERAGE FROM THIS DOCUMENT AND WARRANTIES AVAILABLE THRU J.M. METALS.

ONLY TRUE CERTIFIED COPIES OF THIS DOCUMENT BEAR THE RAISED SEAL OF J. MILA ENTERPRISES, INC. (THE PARENT COMPANY OF J.M. METALS)

Page 5 of 5

Frank Zuloaga, RRC

Rooting Product Control Examiner

PACIFIC ROOFING CORPOR 808 SE DIXIE HIGHW



JM 1.5 **Mechanically Seamed Panel**

SYSTEMS:

System A:

JM 1.5 Standing Seam Metal Roof Panel PACIFIC ROOFING CORPORATION

Deck Type:

808 SE DIXIE HIGHWAY

Deck Description:

New Construction or Reroof

19/32" or greater plywood or wood plank

STUART, FLORIDA 34994-3803

Slope Range:

2":12" or greater

Maximum Uplift

Pressure:

The maximum allowable design pressure for the JM Standing Seam metal

panel shall be -86.25 psf.

Deck Attachment:

In accordance with chapter 29 of the SFBC, but in no case shall it be less than 8d annular ring shank nails spaced 6" o.c. In reroofing, where the deck is less than 19/32" thick (Minimum 15/32") the above attachment method must be in addition to existing attachment.

Underlayment:

Minimum underlayment shall be an ASTM 0 226 Type II installed with a minimum 4" side-lap and 6" end laps. Underlayment shall be fastened with corrosion resistant tin-caps and 12 gauge 1-1/4" annular ring-shank nails, spaced 6" o.c. at all laps and two staggered rows 12" o.c. in the field of the roll.

Valleys:

Valley construction shall be in compliance with Miami-Dade County Roofing Application Standard RAS 133 and with JM Metals' current published installation instructions.

Fire Barrier Board:

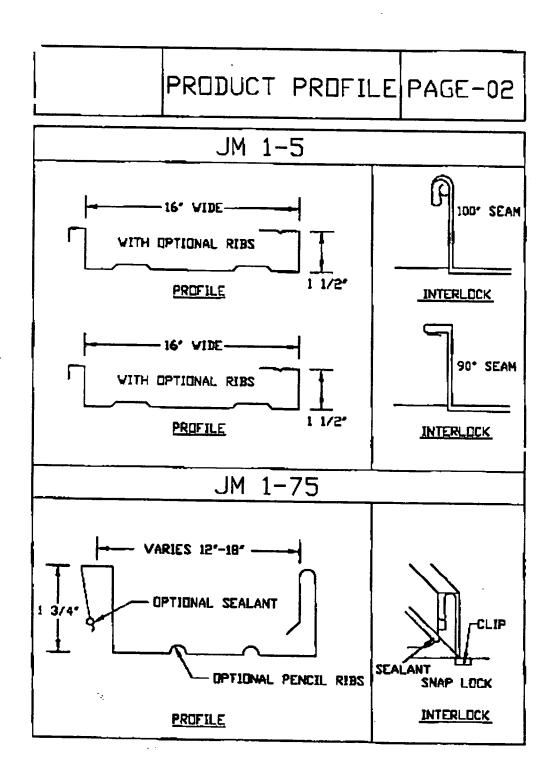
For class A or B fire rating, install minimum 1/4" thick Georgia Pacific "Dens Deck" or one layer of "Roctex" or 5/8" water resistant type X gypsum sheathing with treated core and facer, over the deck prior to installing the underlayment in compliance with Miami-Dade County Roofing Application Standard RAS 133.

Metal Panels and Accessories:

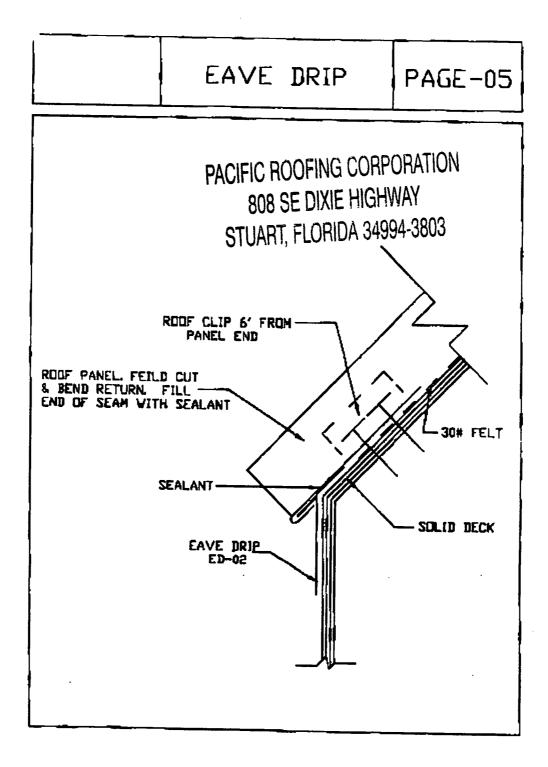
Install the "JM Standing Seam Panels" and accessories in compliance with JM Metals' current, published installation instructions and details. Flashing, penetrations, valley construction and other details shall be constructed in compliance with the minimum requirements provided in Miami-Dade County Roofing Application Standards RAS 133. Panels shall be installed with approved clips (2" long x 1.5" wide x 1.62" tall), attached to substrate with two corrosion resistant #10 screw of sufficient length to penetrate through the sheathing a minimum of 3/16". Clip fastening shall start 3" from panel end and not exceed 16" o.c. thereafter. Standing seams shall be mechanically seamed to a full 90° seam, (single lock).



PACIFIC ROOFING CORPORATION 808 SE DIXIE HIGHWAY STUART, FLORIDA 34994-3803



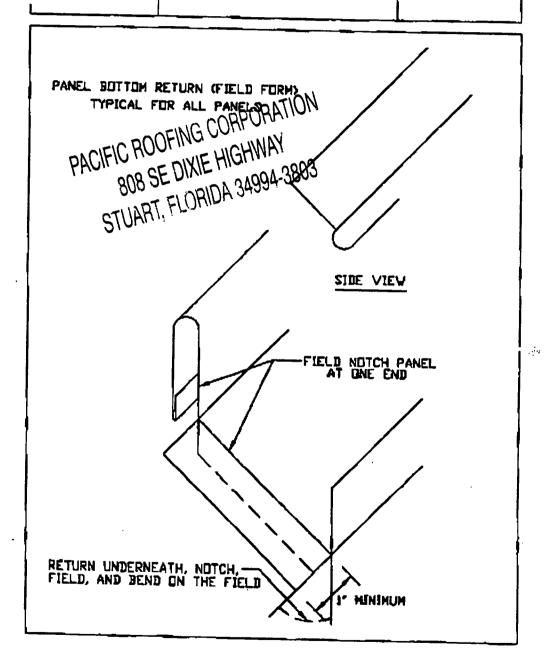
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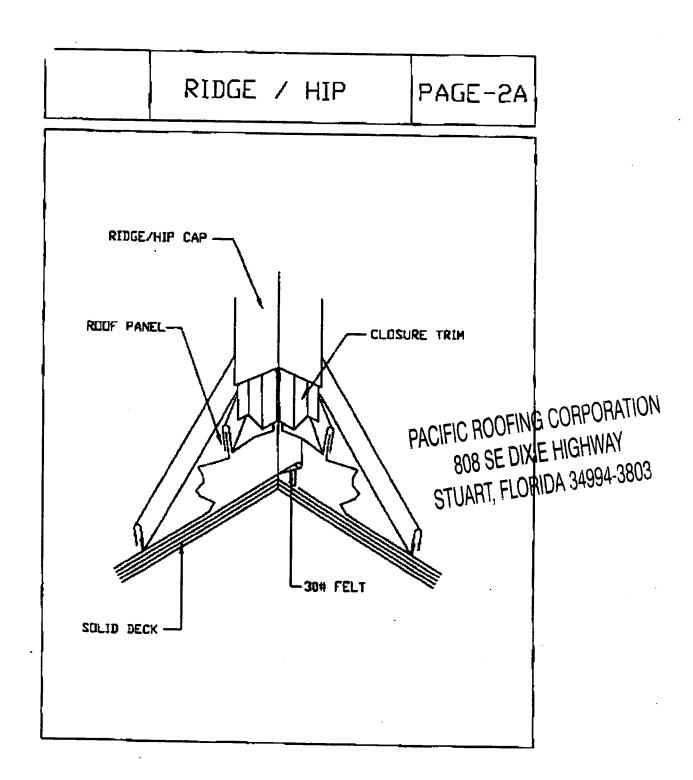
Page # 5 of 11

APPLICATION

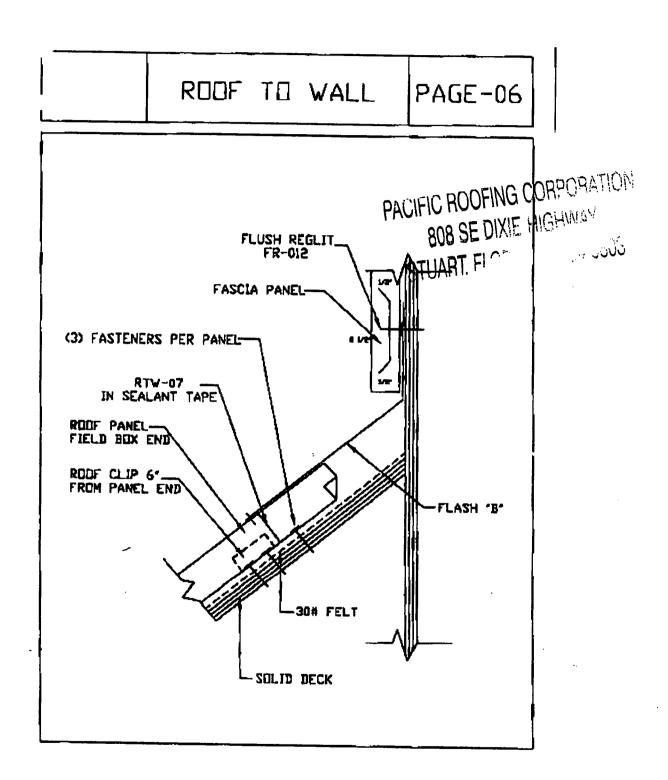
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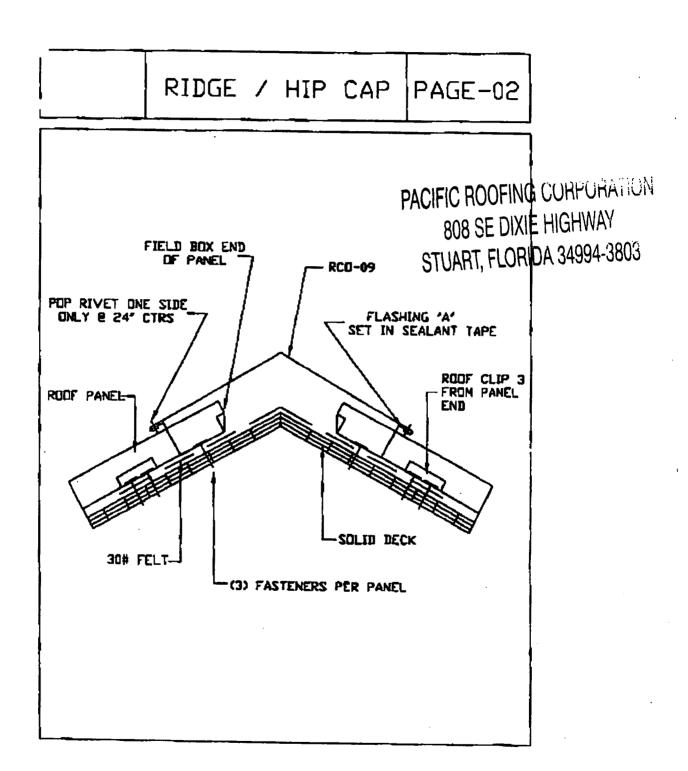
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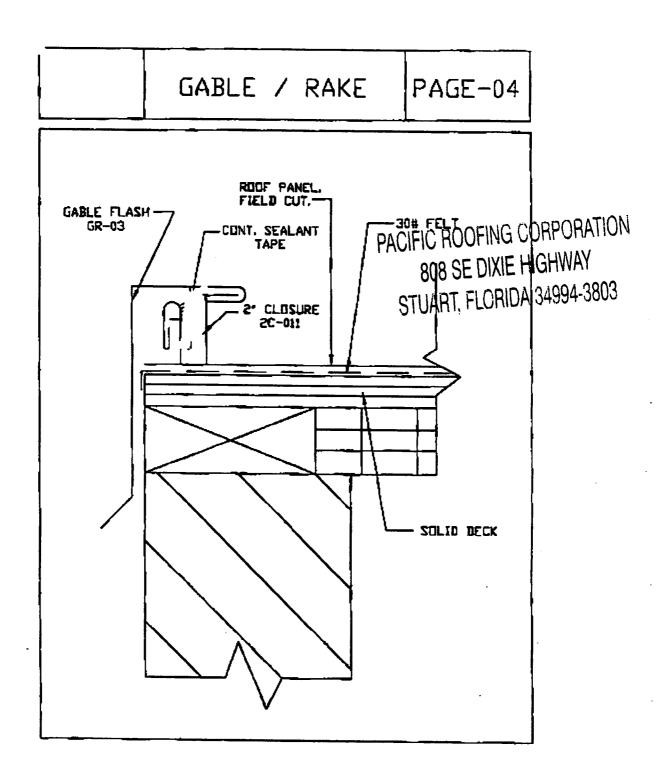
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Page # 8 of 11



Page # 9 of 11



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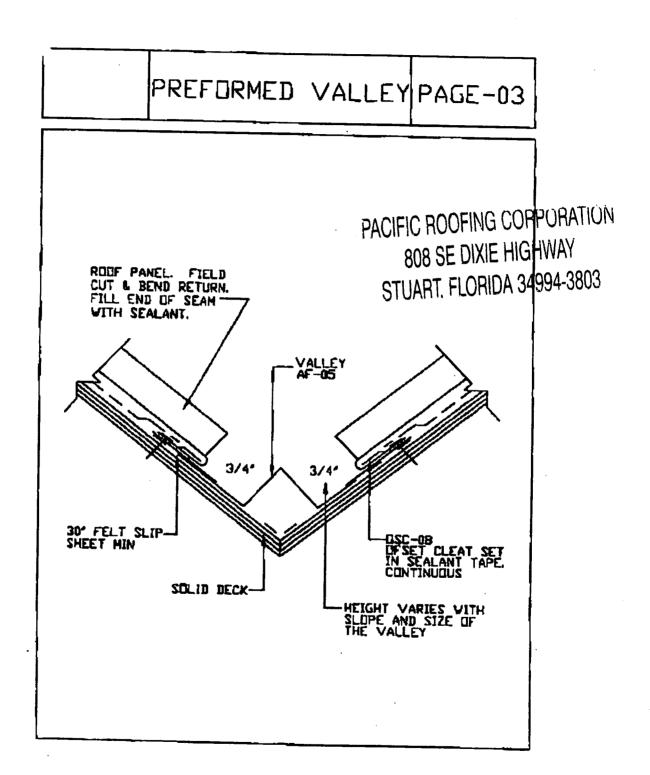


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J S. Rive (insulation

Building Department - Inspection Log Date of Inspection: ❤ Mon □ Wed □ Fri <u>10-14-0</u>, 2001; Page <u>ð</u>

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Building Department - Inspection Log

Date of Inspection: □ Mon □ Wed

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5842	JARVIS	Final ROOF	PASSED	
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(3)	Pacific (sub)			INSPECTOR: Ch
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(2)	United			INSPECTOR: Comment
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5908	WINCHIP.	(LAR	FANTED	
3	2 PALMIN WAY			
(3)	WINERID			INSPECTOR

OTHER				
			• .	

Building Department - Inspection Log

Date of Inspection:

Mon
Wed Fri 10/25/02 , 2001; Page 1 of ...

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5973	Wittman	FINAL TILE GER	IR PASSE	
	13 Riverview Dr.			
7	Brush			INSPECTOR: 4
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6007	HANTMAN	FINAL FENCE.	PASSO	
	12 Riverview Dr.			
©	Brush			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
S991.	GEALY.	Roof Final	PASO N	10/18/02
(5)	10 RUEVIEW DR			
(3)	PACIFIC			INSPECTOR: 9
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
687 5	MAXM	SONO TUBE.	FAIRED	CALL IN Tomp Elso.
(2)	9 EUER ROAD (5)			
	KNEDDER			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5755	DEGRAF	Plumbing/4.	PASSED	
	9 CASTLE AILL.	A/C I"	FAILED	
(4)	0/B.			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5960	LEWIS.	WAU FTG	PASSED	
	41 RO VISTA DR		·	
	DUFIWOOD			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
55+1	MYURD	PLOX FINAL	PASOT-	
0	144 W. SEWALLS PI. CO			
3	0/B			INSPECTOR:
OTHER:	- 30 Res UISTA	THE 6	K F0 18	Rup

6269 DOOR REPLACEMENT

	, n	MASTER PERMIT NO
TO	WN OF SEWALL'S POI	TV
Date <u>5/13/03</u>	BI	JILDING PERMIT NO62~9
Building to be erected for	EARY T	pe of Permittagucy Doores
Applied for by A POSTOLO	POULOS + PAULICICIO	intractor) Building Fee 35.00
Subdivision RIVERVIEW		
Address 10 RIJERU		
Type of structure SFe		
,,	Electrical Fee	
Parcel Control Number:		- 1
1 -	2000	Plumbing Fee
	0000080100	Roofing Fee
Amount Paid 35,00 Che	n /	
Total Construction Cost \$	09.00	TOTAL Fees <u>BS.00</u>
	\	/ \
Signed \	Signed 2	line Summon Ros
Abplicant		Town Building Official
		•
	PERMIT	
BUILDING	ELECTRICAL	☐ MECHANICAL
☐ PLUMBING ☐ DOCK/BOAT LIFT	☐ ROOFING ☐ DEMOLITION	D POOLISPAIDECK
SCREEN ENCLOSURE	☐ TEMPORARY STRUCTUE	☐ FENCE RE ☐ GAS
TREE REMOVAL	☐ HURRICANE SHUTTERS	RENOVATION
☐ TREE REMOVAL	STEMWALL	DE REPLACE DOOK
	INSPECTIONS	·
UNDERGROUND PLUMBING	UNDER	GROUND GAS
UNDERGROUND MECHANICAL	UNDER	GROUND ELECTRICAL
STEMWALL FOOTING	FOOTIN	·
SLAB	•	AM/COLUMNS
ROOF SHEATHING		SHEATHING
TRUSS ENG/WINDOW/DOOR BUCKS ROOF TIN TAG/METAL	LATH	
PLUMBING ROUGHIN		IN-PROGRESS
MECHANICAL ROUGHAN		TRICAL ROUGH-IN
FRAMING	•	OUGH-INY POWER RELEASE
FINAL PLUMBING		ELECTRICAL
FINAL MECHANICAL	FINAL	
· - · · · · · · · · · · · · · · · · · ·		· ···

	Permit Number:
	ewall's Point
	WIT APPLICATION
OWNER/TITLEHOLDER NAME: Charles (- ea	
Job Site Address: 10 Rivervicw Dr.	
Legal Description of Property: Lot 8 River Vie W	Parcel Number: 12 38 41 00 000000 801 00
Owner Address (if different): Lot 8 Rivervice	City: State: Zip:
Description of Work To Be Done: 1N STALL PREP	
WILL OWNER BE THE CONTRACTOR?: Yes	No (If no, fill out the Contractor & Subcontractor sections below)
CONTRACTOR/Company: Apostolopoulos+ P.	City: Palm City State: FCA zip: 34990
	mber: CGC003907Martin County License Number:
COST AND VALUES: Estimated Cost of Construction or Improvement	nts: \$ 2366 (Notice of Commencement needed over \$2500)
SUBCONTRACTOR INFORMATION:	
Electrical: Novi	State:License Number:
13 - 11 C	State:License Number:
l 12/. (State:License Number:
Roofing: D D D D D D D D D D D D D D D D D D D	State:License Number:
ARCHITECT	Phone Number:
Street:	
#2555555555555555555555555555555555555	
ENGINEER	Phone Number:
Street:	City:State:Zip:
AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living:	Garage:Covered Patios:ScreenedPorch:
Carport: Total Under RoofWood D	
! understand that a separate permit from the Town may be required fr FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCE REMOVAL ANI	or ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, ESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE D RELOCATIONS.
CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: F	Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001 Florida Accessibility Code: 2001
I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CO	N THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY
OWNER OR AGENT SIGNATURE (required)	CONTRACTOR SIGNATURE (required)
State of Florida, County of:	On State of Florida, County of: アイイアル
This theday of,200	This the 13 day of 13^{16} 13
bywho is personally	by COSTA A POSTOLO POLLO Swho is personally
known to me or produced	known to me or produced
as identification.	As identification.
Notary Public	NAME OF THE PROPERTY OF THE PR
My Commission Expires:Seal	My Commission Expires:
PERMIT APPLICATIONS VALUE OF DAVE FROM ARRESTA	NOTIFICATION - PLEASE DICK IS VOLIM DEPOSE 200 DUSTI VE
PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL	NOTIFICATION - PLEASE PICK UP YOUR ALAMAT PROMPTLY
	PUBLIC OKILITATION OF FLORIDATION

AAAAA AESTEATE AF LIADILITY INCLUANCE						06/03/2002			
		CEIVIN	TOATE OF ELECTRIC	THIS CEPTI	PCATE IS ISRUE	D AS A MATTER OF I			
A		ER DEAL INSU		ONLY AND	CONFERS NO HIS CERTIFICAT	RIGHTS UPON THE E DOES NOT AMEND	EXTEND OR		
1026 SW BAYSHORE BLVD PT ST LUCIE, FL 34983			ACTER THE	ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.					
5.6	1-87	1-1975			INSURERS AFFORDING COVERAGE INSURERA MARYLAND INSURANCE CO.				
4011		=	OS AND PAULIC CONST			ATIONAL INS	CO.		
		INC 1501 DECKER	AUPMIE	INSURER C:	·	TITLOWNE TWO			
•		STUART, FL 3		ENGURER D:					
		JIOHRI, ID J		INSURER E:					
	/ERAGE						·		
A	NY REQUI	TREMENT, TERM OR COM	D BELOW HAVE BEEN ISSUED TO THE IN KOMON OF ANY CONTRACT OR OTHER FORDED BY THE POLICIES DESCRIBED M WY MAY HAVE BEEN REDUCED BY PAID (EREIN IS SUBJECT T	RESPECT TO MEN	AT IND CERTIFICATE BA	T DE GOUED OR		
- E		TYPE OF RISURANCE	POLICY MUMBER	POLICY EFFECTIVE DATE (MINDOWY)	POLEY ELPRATION	unen	*		
JH.		LIABILITY		5-14		EACH OCCURRENCE	1300,000		
		MERCIAL GENERAL UABILITY			•	FIRE DANNIGE (Any one tire)	\$50,000		
		CLAIMS IMADE X OCCU	R			MED EXP (Any one person)	*10,000		
A			SCP 031610232	07/19/00	07/19/02	PERSONAL & ADV INJURY	1300,000		
			{}	07-19-02	07-19-03	GENERAL AGGREGATE	*600,000		
		GREGATE LIMIT APPLIES PER			,	PRODUCTS - COMPANY AGG	\$600,000		
		ICY LIBET LOS INCELLABBLITY (AUTO				COMBINED SINGLE LIMIT (Es scotarit)	s		
	T ALL	CANNED AUTOS	_			BODILY INJURY (Per person)	s		
	\vdash	ED AUTOS N-CIWINED AUTOS				BODILY INJURY (Per accident)	\$		
			_			PROPERTY DAMAGE (Per eccident)	6		
		LIABILITY				AUTO ONLY - EA ACCIDENT	\$		
	H.~	YAUTO				OTHER THAN EA ACC			
	EVERA	UABILITY		+	 	EACH OCCURRENCE	5 \$ 5		
		CUR CLAIMS WAD	.		l	AGGREGATE	1,		
	\Box						\$		
	OE	OUCTIBLE	1		-		\$		
	RE	TENTION \$					\$		
		RE COMPENSATION AND				WC STATUS OTH			
	EMPLOY	EUS MERTILA]		E.L. EACH ACCIDENT	3		
E	1	•			1	E.L. DIGEASE - EA EMPLOYE	~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ 		
_	OTHER					E.L. DISEABE - POLICY LIMIT	8		
	ARPE		CHICLES/EXCLUSIONS ADDED BY ENDORSEMENTA	SPECIAL PROVISIONS		* 			
		Ţ			•				
		·							
C	RTIFIC	ATE HOLDER	ADDITIONAL INCURED; INSURER LETTER:	CANCELLA					
TOWN OF SEWELL'S POINT				SHOULD ANY OF THE ABOVE DESCRIBED POLICIES SE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING HISURGS WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN					
			- 1						
1 SOUTH SEWELLS POINT RD						R KAMED TO THE LEFT, BUT F/ Y OF ANY KIND (PON THE NO			
SEWELLS POINT FL FAX 220- 4765				REPRESENTA	RIPOSE NO OSLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER ITS AGENTS OR REPRESENTATIVES.				
	• •	1		AUTHOREZOR	AUTHORS REPOSEENTATIVE				
A	CORD 25	5-6 (7/92)			- 	O ACORD	CORPORATION 1968		

_	COR	D. CERTIF	FICATE OF LIAB	BILIT	Y INSL	JRANCE	JНС R076 (DATE	
PAYCHEX AGENCY, INC 210705 P:(877)287-1312 F:()- 308 FARMINGTON AVE FARMINGTON CT 06032				THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. INSURERS AFFORDING COVERAGE					
INSU		011 01 00032	· · · · · · · · · · · · · · · · · · ·		INSURER A: HA	rtford In	s Co of the S	Southeast	
					INSURER B:	rerora in	b co or the b	outheast	
		POULOS & PA	ULICK INC		INSURER C:				
		78TH ST			INSURER D:				
		Y FL 34990			INSURER E:				
TI AI M	COVERAGES THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.								
INSR LTR	TYP	E OF INSURANCE	POLICY NUMBER	PC	DLICY EFFECTIVE ATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMIT		
	GENERAL LIAL	BILITY					EACH OCCURRENCE	\$	
	COMME	RCIAL GENERAL LIABILITY					FIRE DAMAGE (Any one fire)	8	
		IMS MADE OCCUR					MED EXP (Any one person)	8	
							PERSONAL & ADV INJURY	\$	
	GEN'I AGGRE	GATE LIMIT APPLIES PER:					GENERAL AGGREGATE	8	
	POLICY	PRO- JECT LOC					PRODUCTS - COMP/OP AGG	8	
	AUTOMOBILE			_					
	ANY AU	го					COMBINED SINGLE LIMIT (Ea accident)	\$	
	ALL OW	NED AUTOS	·				200111/11/11/21		
	SCHEDU	LED AUTOS					BODILY INJURY (Per person)	\$	
	HIRED A	UTOS					BODILY INJURY		
	NON-OM	NED AUTOS					(Per accident)		
							PROPERTY DAMAGE (Per accident)	\$ 2.7	
	GARAGE LIAE	ILITY					AUTO ONLY - EA ACCIDENT	8	
	ANY AU	то					OTHER THAN EA ACC	\$	
							AUTO ONLY: AGG	\$	
	EXCESS LIABI						EACH OCCURRENCE	8	
	OCCUR	CLAIMS MADE					AGGREGATE	\$	
	DEDUCT	IBLE						8	
	RETENT						<u> </u>	8	
		MPENSATION AND					X WC STATU- OTH-	·	
Α	EMPLOYERS'	LIABILITY	76 WEG KN0009	0	3/22/03	03/22/04	E.L. EACH ACCIDENT	100,000	
							E.L. DISEASE - EA EMPLOYEE	100,000	
	OTHER						E.L. DISEASE - POLICY LIMIT	\$ 500,000	
DESC	RIPTION OF OF	ERATIONS/LOCATIONS/VFHI	CLES/EXCLUSIONS ADDED BY ENDORSEME	NT/SPECIA	I PROVISIONS				
			: CARPENTRY	,orculA	E PROVISIONS				
		or mindico	. Chili mailli						
L		· -					· .		
CERTIFICATE HOLDER ADDITIONAL INSURED; INSURER LETTER: CANCE				CANCELLAT	ION				
Town of Sewalls Point			SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE (10 DAYS FOR NON-PAYMENT) TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.						
[AUTHORIZED REPRESENTATIVE						

DEPARTMENT OF BUSINESS AND PROPESSIONAL REGULATION

IS CERTIFIED under the provisions of Ch.489 F8 Expiration date: AUG 31, 2004 8EQ # 102070900882

WEYANT & ASSOCIATES, INC. CONSULTING ENGINEERS

CIVIL - STRUCTURAL

201 S.W. PORT ST. LUCIE BLVD. - SUITE 104 PORT ST. LUCIE, FLORIDA 34984

MAY 07 2003

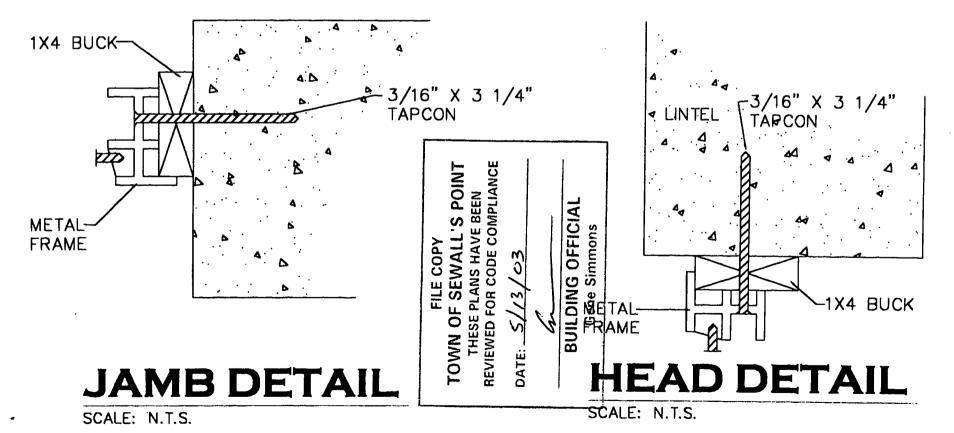
West Rellegant

1X4 WINDOW BUCK - 1X4 DOOR BUCK (PINE) P.T. WOOD BUCK TO CONCRETE

3d CASE HARDENED SENCO COIL NAILS 16" O/C TOP AND SIDES

METAL FRAME TO MASONARY BUCK

3/16" X 3 1/4" TAPCONS 4" FROM EACH CORNER AND THEN QUANTITY AS REQUIRED BY MANUFACTURER NOT TO EXCEED 15 3/4" O/C. TAPCON TO HAVE 1 1/4" MIN. EMBED IN CONCRETE.



NOTE: DETAIL AS SHOWN MEETS THE REQUIRMENT FOR 140 M.P.H. WIND LOAD.



Fenestration Testing Laboratory, Inc.

1677 West 31st Place Hialeah, FL 33012 Phone: 305/819-7877 Fax 305/819-7998

Cert. No. 96-0703.05 Auth. No. FTL97042 Lab. Number 1705 File Number 97-116 September 19, 1997 Report Number 71 Page 1 of 4 Reissued: 10-21-97

L-2515

OFFICIAL TEST REPORT

MANUFACTURER:

Vinyl Tech/P.G.T.

SPECIFICATIONS: Metro Dade County

ADDRESS:

P. O. Box 1529

Nokomis, Florida 34274

Protocol PA 202

DESCRIPTION OF UNIT

Model Designation: 101; Aluminum Out-Swinging French Entrance Door with Side Lights

Overall Size: 12' 0" (144") by 7' 11 3/4" (95 3/4") high by 3.000" deep.

Configuration: OXXO

No. & Size of Panels: Two: one active and one in-active; each, 2' 10 5/8" (34 5/8") by 7' 9 1/2" (93 1/2") high.

MATERIAL CHARACTERISTICS

Frame Construction: Unit tested with an equal leg type frame, butt joints and a white coated finish, aluminum *alloy 6063-T5. Frame corners fastened with three No. 8 by 1" pan head sheet metal screws. Unit tested with an overall sill height of 1 1/2". *Size of frame members as follows: frame head at door 1.272" by 3.000" by 1.479" by 0.062" wall thickness; frame sill threshold at door 0.489" by 3.000" by 0.750"; frame jambs at door (hollow extrusion) 1.480" by 3.000"; frame head at side lights 5.459" by 3.100" by 1.479" by 1.800" by 0.075" wall thickness; side light bottom rails 4.586" by 3.100" by 0.750" by 1.800" by 0.075" wall thickness; side light frame jamb 0.952" by 3.100". Frame members are solid extrusions, except where indicated. Each member has a typical wall thickness of 0.050", except where noted.

Panel Construction: Panels have butt joints with a white coated finish, aluminum *alloy 6063-T5. Panel corners fastened with one 5/16" threaded rod in top and bottom rails, full length, through one truss clamp with one washer and 5/16" nut at each end. *Size of stiles/rails as follows: top and bottom rails 1.750" by 4.000"; jamb stile 1.750" by 4.100"; lock stile 1.750" by 4.675" by 4.100". Each panel member is a hollow extrusion with a typical wall thickness of 0.062".

Glazing:

Material: 3/16" tempered glass.

Method: Exterior glazed with 7/16"glazing penetration using a clear colored adhesive bedding compound, *Dow Corning 899, and aluminum rolled glazing bead.

Daylight Opening: Clear opening of each fixed light, 34 1/8" by 84 5/8" high; clear opening of each panel, 25" by 84 3/4" high.

Weatherstripping:

Quantity	Description	Location	
Double row	Pile with integral plastic fin, *Schlegel .187 x .270	at each panel top and bottom rail	The same of the sa
Single row	Fabric coated foam, *Schlegel .190 X .375	at perimeter of frame on exterior	101
Single row	Fabric coated foam, *Schlegel . 190 X .300	at perimeter of frame or interio	MINITINE .
Single row	Fabric coated foam, *Schlegel .190 X .150	at each lock stile	

^{*}as per manufacturers drawings



Cert. No. 96-0703.05 Auth. No. FTL97042 Lab. Number 1705 File Number 97-116 September 19, 1997 Report Number 71 Page 2 of 4 Reissued: 10-21-97

When 22/97

L-2515

MATERIAL CHARACTERISTICS

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Quantit	y Description	Location
One	Three point lock system, *Vinyl Tech/P.G.T., with dead bolt lock, *Harlock, thumb turn on interior and key operated on exterior	at right panel lock stile, 39 ½" from bottom
One	lever type lock set, *Harlock	at right panel lock stile, 35 ½" from bottom
Two	manually operated concealed throw bolt, *Vinyl Tech/P.G.T.	at top and bottom of left panel lockstile
Six	7" long three piece hinge assembly, *Nationwide Ind.	at each panel jamb stile, 10" from top, 12" from bottom and one near midspan

Weepholes: None Muntins: None Mullions: None Reinforcement: None

Sealants: Frame corners were sealed with white colored sealant, *Schnee Morehead 5504. Perimeter of lock cover plate, lock set cover plate, perimeter of hinge, installation screws and panel corner seams was sealed with clear colored sealant, *Schnee Morehead 5504.

Pads: One 1 1/2" by I" pile pad at top and bottom of left panel lock stile.

Screen: None

Additional Description: Unit tested with weatherstrip adapter, part No. 60379, at each panel top and bottom rail. One intermediate frame jamb at each side of door. Throw bolt locks penetrate into frame head and frame sill 7/16". Unit Installation: Unit tested in 2 X 12 wood test buck using a 2 X 6 pressure treated wood buck strip at frame sill only. Installed with a single row of No. 10 by 2" pan head sheet metal screw screws in frame jambs; single row of No. 10 by 3" pan head sheet metal screws in frame head and frame sill. Approximate location of installation screw spacing as follows: frame head and frame sill, 6 1/4" from end and on 12" centers; frame jambs, 6" from end and on 16" centers. Product markings: "Vinyl Tech/P.G.T." label at lock stiles.

*as per manufacturers drawings

OFFICIAL TEST RESULTS

Title of Test Unit A - 1:	Measured	Remark	
Air Infiltration Test (ASTM E283) at 1.57 psf	0.16 cfm/sq. ft	Passed	
1/2 Structural Load Test:			
Exterior Load	40.0 psf	Passed	
Interior Load	40.0 psf	Passed	
Uniform Design Load Test (ASTM E330)			
Exterior Load	53.3 psf	Passed	
Interior Load	53.3 psf	Passed	
Permanent Set	0.051 inches	- 43554	
Water Resistance Test (ASTM E547/E331)			
no leakage at	10.00 psf	Passed	



Cert. No. 96-0703.05 Auth. No. FTL97042 Lab. Number 1705 File Number 97-116 September 19, 1997 Report Number 71 Page 3 of 4 Reissued: 10-21-97

L-2515

OFFICIAL TEST RESULTS

Title of Test Unit A - 1: (continued)	Measured	Remarks
Uniform Structural Load Test (ASTM E330)		
Exterior Load	80.0 psf	Passed
Interior Load	80.0 psf	Passed
Permanent Set	0.154 inches	0.374 maximum
P. (P. P.)		
Forced Entry Resistance: 300 pound concentrated load		
perpendicular to plane of glass:		
within 6" of lock at active lock		
stile and within 6" of the top		
and bottom. (tested separately)	No Entry	Passed
and committee coparation,		1 43300
Unit A - 2:		
Air Infiltration Test (ASTM E283) at 1.57 psf	0.07 cfm/sq. ft	Passed
1/2 Structural Load Test:		
Exterior Load	40.0 psf	Passed
Interior Load	40.0 psf	Passed
Uniform Design Load Test (ASTM E330)		
Exterior Load	53.3 psf	Passed
Interior Load	53.3 psf	Passed
Permanent Set	0.049 inches	
Water Resistance Test (ASTM E547/E331)		
no leakage at	10.00 psf	Passed
Uniform Structural Load Test (ASTM E330)		
Exterior Load	80.0 psf	Passed
Interior Load	80.0 psf	Passed
Permanent Set	0.082 inches	0.374 maximum
Forced Entry Resistance:		
200		

300 pound concentrated load

perpendicular to plane of glass: within 6" of lock at active lock stile and within 6" of the top

and bottom. (tested separately)

Unit A - 3:

Air Infiltration Test (ASTM E283) at 1.57 psf

0.16 cfm/sq. ft

No Entry

Passed

Passed

1/2 Structural Load Test:

Exterior Load 40.0 psf Interior Load 40.0 psf

Passed Passed What 22/97



Cert. No. 96-0703.05 Auth. No. FTL97042 Lab. Number 1705 File Number 97-116 September 19, 1997 Report Number 71 Page 4 of 4 Reissued: 10-21-97

L-2515

OFFICIAL TEST RESULTS

Title of Test Unit A - 3: (continued)	Measured	Remarks
Uniform Design Load Test (ASTM E330)		
Exterior Load	53.3 psf	Passed
Interior Load	53.3 psf	Passed
Permanent Set	0.031 inches	
Water Resistance Test (ASTM E547/E331)		
no leakage at	10. 00 psf	Passed
Uniform Structural Load Test (ASTM E330)	•	
Exterior Load	80.0 psf	Passed
Interior Load	80.0 psf	Passed
Permanent Set	0.097 inches	0.374 maximum
Forced Entry Resistance:		
300 pound concentrated load		
perpendicular to plane of glass:		
within 6" of lock at active lock		
stile and within 6" of the top		
and bottom. (tested separately)	No Entry	Passed

Note: At conclusion of above tests, there was no apparent damage to unit, glass or fasteners. Test Completed - September 5, 1997

Remarks: This test report does not constitute certification of this product, but only that the above test results were obtained using the designated test methods and they indicate compliance with the performance requirements (paragraphs as listed) of the above referenced specifications and Metro Dade County Protocol PA 202.

Detailed assembly drawings showing wall thickness of all members, corner construction and hardware application are on file and have been compared to the sample submitted.

Note: Test specimens were covered with a 1.5 mil plastic sheeting to seal from air leakage when load tests were performed, however this had no effect on the above tests results.

Witnessed by:

Mr. Gilbert Diamond, P. E.

Mr. James Moore

Laboratory Technicians: Roberto Robleto Jose Vargas

Roque Zavala Menahem Hadjez

4 - Vinyl Tech/P.G.T.

2 - Vinyl Tech/P.G.T. (Metro Dade County)

FENESTRATION TESTING LABORATORY, INC.

Market 197

Manny Sanchez President

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5875	MAXSON	PLUMBINA-	A155	
	9 S. RIVER ROAD	ELECTRICAL		LOAD CALOS-RETAR
		FRAMINA	FAIL	INSPECTOR TO RESPOND
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6147	ALEXANDER	INSULATION	THE	11
	86 S.SEWALLS			2.1000000000000000000000000000000000000
	JOHANSON HOMES			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
auga	GEARY.	FRENCH DOORS	1159	
	10 RIVERVIEW RD	FINAL	1	
*	APOSTOL OPPOULOS+P		1	INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6202	DICKINSON	INSULATION	1955	
	19 EMARTA WAY		,	
	PANMER CONST			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6283	MCCAFFREY	IN PROGREGES	TRIC	9:30 PORTIONS NOT
	4 MICHAGES RD			
	J TAYLOR ROOFING			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
0232	Moore	FOOTING Stemma	This	NUFAR-LOWERS IN
	5 OAK HILL			
	AR MARTIN HOMES			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
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	12 PALMETED			
	OB			INSPECTOR:
OTHER:	iess 3 Kinaston		1	1, 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1

8429 WINDOW/DOR REPLACEMENT

MASTER	PERMIT	NO.	

TOWN OF SEWALL'S POINT

_	BUILDING PERMIT NO.	<i>,</i> –
ary	_ Type of Permit Keplace	windows
noutruita	(Contractor) Building Fee	35 —
Lot 8 Block	Radon Fee	
	Impact Fee	
FR	A/C Fee	
	Electrical Fee	
/	Plumbing Fee	
1-000-601-	Roofing Fee _	
f	Other Fees (
∞ $+$	TOTAL Fees	35
1	(S PW
Signed _		
	3	
PERMI	Τ ,	
☐ ELECTRICAL ☐ ROOFING ☐ DEMOLITION ☐ TEMPORARY STREET	☐ MECHAN ☐ POOLISP ☐ FENCE ☐ GAS	AJDECK
☐ ELECTRICAL ☐ ROOFING ☐ DEMOLITION	☐ MECHAN ☐ POOLISP ☐ FENCE ☐ GAS TERS ☐ RENOVA	A/DECK
☐ ELECTRICAL ☐ ROOFING ☐ DEMOLITION ☐ TEMPORARY STRU	☐ MECHAN ☐ POOLISP ☐ FENCE ☐ GAS TERS ☐ RENOVA ☐ ADDITIO	AJDECK
ELECTRICAL ROOFING DEMOLITION TEMPORARY STRUM HURRICANE SHUT STEMWALL INSPECTION	☐ MECHAN ☐ POOLISP ☐ FENCE ☐ GAS TERS ☐ RENOVA ☐ ADDITIO	A/DECK
ELECTRICAL ROOFING DEMOLITION TEMPORARY STRUE HURRICANE SHUT STEMWALL INSPECTION	☐ MECHAN ☐ POOL/SP ☐ FENCE ☐ GAS TERS ☐ RENOVA ☐ ADDITION ② PEAA ONS UNDERGROUND GAS ☐ MECHAN FENCE ☐ GAS ☐ RENOVA ☐ ADDITION ② PEAA ☐ ADDITION ☐ ADDIT	A/DECK
ELECTRICAL ROOFING DEMOLITION HURRICANE SHUT STEMWALL INSPECTION	☐ MECHAN☐ POOL/SP☐ FENCE☐ GAS TERS☐ RENOVA☐ ADDITION PEAA	A/DECK
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ELECTRICAL ROOFING DEMOLITION TEMPORARY STRUE HURRICANE SHUT STEMWALL INSPECTION INSPECTI	MECHAN POOL/SP FENCE GAS RENOVA ADDITION PEAA	A/DECK
ELECTRICAL ROOFING DEMOLITION TEMPORARY STRUE HURRICANE SHUT STEMWALL INSPECTION INSPECTI	MECHAN POOL/SP FENCE GAS RENOVA ADDITION PEAA ONS JINDERGROUND GAS JINDERGROUND ELECTRICAL FOOTING TIE BEAM/COLUMNS WALL SHEATHING LATH ROOF-IN-PROGRESS ELECTRICAL ROUGH-IN GAS ROUGH-IN GAS ROUGH-IN EARLY POWER RELEASE	A/DECK
	Lot_8 Block Lot_8 Block -000-000-801-0	Type of Permit Place Contractor Building Fee

TOWN OF SEWALL'S POINT Date 10-27-06 BUILDING PERMIT NO. 8 4 2 9 Building to be erected for Type of Permit Value windswar (Contractor) Building Fee 35 Subdivision Winewick Lot & Block Radon Fee Subdivision Winewick Lot & Block Radon Fee Impact Fee Impact Fee Impact Fee Impact Fee Parcel Control Number: Plumbing Fee Electrical Fee Plumbing Fee Roofing Fee Amount Paid 7 Check # Cash Other Fees () TOTAL Fees 35 Signed Signed Signed Town Building Official Town Building Official Town Building Official Town Building Official Town Building Official Subdivision Costa Conget Fourill for the little Costa Conget Fourill for the little Costa Conget Fourill for the little Costa Conget Fourill for the little Costa Conget Fourill for the little Costa Conget Fourill for the little Costa Conget Fourill for the little Costa Conget Fourill for the little Costa Conget Fourill for the little Costa Conget Fourill for the little Costa Costa Conget Fourill for the little Costa	Promotes of clintos CK#2	380-
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Subdivision Francis Lot Block Radon Fee Impact Fee Impa	Building to be erected for	Type of Permit Place Windows
Address TO KUNDANIAN Impact Fee Type of structure Floring Fee Electrical Fee Plumbing Fee Plumbing Fee Amount Paid P2D Check # Cash Other Fees () Total Construction Costs Signed Applicant 3-31-09 Called Costa - will have ont Town Building Official Costa - Conget Fowell to while letter Costa - Conget Fowell to while letter PAY to the condense of the conget fowell to while letter PAY to the condense of the conget fowell to while letter PAY to the condense of the conget fowell to while letter PAY to the condense of the conget fowell to while letter Seacoast Account Fee Location Town Building Official Costa - Conget Fowell to while letter Season Town Building Official Costa - Conget Fowell to while letter Costa - Conget Fowell t	Applied for by John Charles	(Contractor) Building Fee
Type of structure A/C Fee Electrical Fee Plumbing Fee Amount Paid Check # Cash Other Fees () Total Construction(Cost)\$ 3000 Applicant Applicant Town Building Official Costa - well work on t Costa 4 PostroLopouLos Toza Leal Costa - well work on t Costa 4 PostroLopouLos Toza Leal Costa - well work on t Costa 4 PostroLopouLos Toza Leal Costa - well work on t Costa 4 PostroLopouLos Toza Leal Costa - well work on t Costa 4 PostroLopouLos Toza Leal Costa - well work on t Costa 4 PostroLopouLos Toza Leal Costa - well work on t Costa 4 PostroLopouLos Toza Leal Costa - well work on t Costa 4 PostroLopouLos Toza Leal Costa - well work on t Costa 4 PostroLopouLos Town Building Official Costa - well work on t Costa 4 PostroLopouLos Town Building Official Costa - well work on t Costa 4 PostroLopouLos Town Building Official Costa - well work on t Costa 4 PostroLopouLos Town Building Official Costa - well work on t Costa 4 PostroLopouLos Town Building Official Costa - well work on t Costa 4 PostroLopouLos Town Building Official Cost	Subdivision Known Lot 8 1	Block Radon Fee
Electrical Fee Plumbing Fee Amount Paid FS Check # Cash Other Fees () Total Construction Costs 3000 Signed Signed Signed Fourel Fourier Applicant Town Building Official Costa Apostolopoulos Town Building Official Costa Apostolopoulos Town Building Official Costa Apostolopoulos Town Building Official Costa Apostolopoulos Town Building Official Date 6-(7-9 Basissan) PAY(e) The Payson State Costa Co	Address 10 Rubenium Dic	
Parcel Control Number: 2384 -00 -00-80 -00-80 -00-Roofing Fee	Type of structure	
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Total Construction Cost\$ 3000 TOTAL Fees 35 Signed Signed Control Town Building Official Town Building Official Costa Apostolopoulos 772-223-0221 3425 SW 7817-AVE PALM CITY FL 24890-5444 PA	· · · · · · · · · · · · · · · · · · ·	
Signed Applicant Town Building Official Town Building Official Costa apostoloroulos Trazasozzi Palm city, Fl. 34990-5444 P	Amount Paid Cash Cash	Other Fees ()
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NATIONAL BANK STUART, FLORIDA 34994	NATIONAL BANK	
For		



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT One S. Sewall's Point Road Sewall's Point, Florida 34996 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBE	R:	8429-R		DATE ISSUED:	DECEMBER 11, 2	013
SCOPE OF WORK	ζ:	REPLACE W	'INDOWS & DOO	OR	<u> </u>	
CONTRACTOR:		A&P CONS	TRUCTION			······································
PARCEL CONTR	OL	NUMBER:	123841-001-00	00-000-801	SUBDIVISION	RIVERVIEW – L 8
CONSTRUCTION	AD	DRESS:	10 RIVERVIEW	DR	<u></u>	
OWNER NAME:	GE	ARY				
QUALIFIER:	¦со	STA APOSTO	LOPOULOS	CONTACT PHO	ONE NUMBER:	260-5793
						AY RESULT IN YOUR IN FINANCING, CONSULT
WITH YOUR LENDE						
					MUST BE SUBMIT	TTED TO THE BUILDING
DEPARTMENT PRICE					TANDE ADDITION	IAI DECEDICATIONIC
NOTICE: IN ADDITIONAPPLICABLE TO THIS						Y, AND THERE MAY BE
ADDITIONAL PERMIT						
DISTRICTS, STATE AC	ENC	CIES, OR FEDI	ERAL AGENCIES.			
AA HOUD NOTICE DE	<u> </u>	ord rod inici	DECTIONS ALL	CONCEDUCTION		DE AVAILABLE ON SITE
						BE AVAILABLE ON SITE
CALL 287-2455 - 8	:00/	AM 10 4:00	PM INSPECTI	ONS: 9:00AM TO 3:0	DOPM – MONDAY TH	ROUGH FRIDAY
			in	NSPECTIONS		
UNDERGROUND PLUMBI	NG		<u> 11</u>	UNDERGRO	DUND GAS	
UNDERGROUND MECHAN		-			OUND ELECTRICAL	
STEM-WALL FOOTING			•	FOOTING	JOHN CEECHMONE	
SLAB		•		TIE BEAM/	COLUMNS	
ROOF SHEATHING				WALL SHEA		
TIE DOWN /TRUSS ENG				INSULATIO	ON	
WINDOW/DOOR BUCKS				LATH		
ROOF DRY-IN/METAL						
PLUMBING ROUGH-IN					L ROUGH-IN	
MECHANICAL ROUGH-IN				GAS ROUG	H-IN	
FRAMING				METER FIN		
FINAL PLUMBING				FINAL ELEC		
FINAL MECHANICAL				FINAL GAS		
FINAL ROOF				BUILDING	FINAL	
						THE PERMIT HOLDER.
THE CONTRACTOR O	R O	WNER /BUIL	DER MUST SCHE	DULE A FINAL INSI	PECTION. FAILURE	TO RECEIVE A SUCCESSFUL

FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS

TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT One S. Sewall's Point Road Sewall's Point, Florida 34996 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	8429-R							
ADDRESS	10 RIVERVIEW DR - GEARY							
DATE 12/11/13	SCOPE OF WORK REPLACE WINDOWS & DOOR							
SINGLE FAMILY OR ADDITION /REMODEL Declared Value								
Plan Submittal Fee (\$350.0	00 SFR, \$175.00 Remo	odel < \$200K)	\$					
(No plan submittal fee who	en value is less than \$1	00,000)						
Total square feet air-condi	tioned space: (@ \$121	.75 per sq. ft.)	s.f.					
Total square feet non-con	ditioned space, or inte	rior remodel: (@	s.f.					
		\$59.81 per sq. ft.)						
Total square feet remodel	with new trusses: @ \$9	90.78 per sq. ft.	\$					
Total Construction Value:								
Building fee: (2% of construction value SFR or >\$200K)								
Building fee: (1% of construction value < \$200K + \$100 per								
insp.)								
Total number of inspections (Value < \$200K)@\$100ea			\$					
Dept. of Comm. Affairs Fe	ee: (1.5% of permit fee	- \$2.00 min	\$					

ACCESSORY PERMIT	Declared Value:	\$	3000
Total number of inspections @ \$100.00		100	
Dept. of Comm. Affairs Fee: (1.5% of	\$	2	
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)			2
Road impact assessment: (.04% of construction value - \$5 min.)			[3]
TOTAL ACCESSORY PERMIT FE	Œ:	\$	10910130

DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)

Martin County Impact Fee:

TOTAL BUILDING PERMIT FEE:

Road impact assessment: (.04% of construction value - \$5 min.)

Town o	PERMIT APPLICATION Permit Number:
ate: 10 - 19 - 06 BUILDING F	Ca Glay Phone (Day) 72-288-4357 (Fax) 772-288-2384
Job Site Address: 10 Kiver view Drive	city: Stuart state: FZ zip: 34996
Legal Desc. Property (Subd/Lot/Block) Lot 8 of Rivervie	w Subdivis Parcel Number: 12 38 41 001 060 0008.0-1-0000
- A.I.I. (18 1189 A)	City: State: Zip:
Description of Work To Be Done: RCPLACE 2	W. 129200 & + (ALOV) 13000C
WILL OWNER BE THE CONTRACTOR?: YES NO	COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 3000 (Notice of Commencement needed over \$2500) Estimated Fair Market Value prior to improvement: \$
(If no, fill out the Contractor & Subcontractor sections below)	Is improvement cost 50% or more of Fair Market Value? YES NO
(If yes, Owner Builder Affidavit must accompany application)	Method of Determining Fair Market Value:
CONTRACTOR/Company: A+P CONST	Phone: 260 5793 Fax 223 9347
Street: 3425 SU 7844 AUP	City: Pela City State: PL Zip: 3 4926
	C(101791)
=======================================	13 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3
SUBCONTRACTOR INFORMATION:	State:License Number
Electrical:	Linean Number
Mechanical:	L'acces Marshag
Plumbing:	State:License Number
Roofing:	
223322200333333322333333333333333333333	Lic.#:Phone Number
ARCHITECT	City:State:Zip:
ENGINEER	Lic#Phone Number
Street:	City:State:Zip:
=======================================	Second Perch
1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	Garage:Covered Patios: Screened Porch:
Calport rotal crider vices	Nood Deck:Accessory Building:
NOTICE: In addition to the requirements of this permit, there may be additional permits required from other governments.	ional restrictions applicable to this property that may be agencies, or federal agencies.
NOTICE: In addition to the requirements of this permit, there may be additional permits required from other governments of this permit, there may be additional permits required from other governments of this permit, there may be additional permits required from other governments of this permit, there may be additional permits required from other governments of this permit, there may be additionally permit, there may be additionally permit, there may be additionally permit, there may be additionally permit, there may be additionally permit, there may be additionally permit, there may be additionally permits required from other governments.	Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004 de: 2004 Florida Access bility Code: 2004 Florida Fire Code 2004
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NOTICE: In addition to the requirements of this permit, there may be additional permits required from other governments and there may be additional permits required from other governments. CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: National Electrical Code: 2002 Florida Energy Companies. I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNIS KNOWLEDGE AND AGREE TO COMPLY WITH ALL APPLICATION. OWNER OR AGENT SIGNATURE (required) State of Florida. County of: Martin This the Grand Agent Agree To Comply who is personally known to me or produced. as identification.	ional restrictions applicable to this property utal trisy property utal trisy contental entities such as water management districts, state agencies, or federal agencies. Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004 and 2004 Florida Access billity Code: 2004 Florida Fire Code 2004 HED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY BLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS. CONTRACTOR SIGNATURE (required) On State of Florida, County of: This the 3543 day of Oftology who is personally by COSTA APOSTOLOGOULOS who is personally
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PRO	BE	TTI	ER DEAL INSURANCE		THIS CERT ONLY AND HOLDER.	IFICATE IS ISSU CONFERS NO THIS CERTIFICA	ED AS A MATTER OF IND RIGHTS UPON THE TE DOES NOT AMEND,	CERTIFICATE EXTEND OR
P	ort	S	W Bayshore Blvd t Lucie, FL 34983	3			FFORDED BY THE POL	NAIC#
(772) 871-7764				INSURERS AFFORDING COVERAGE				
A & P CONSTRUCTION INC			INSURER A: SO	COTTSADALE	INSURANCE	4		
2405 at 70 mt ampone			INSURER C:			 		
3425 SW 78 TH STREET PALM CITY, FL 34990			INSURER D:					
	PRIM CITI, FL 34990			INSURER E:				
CO	COVERAGES							
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LTR	add'l Insrd		TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
		GE	NERAL LIABILITY				EACH OCCURRENCE	\$ 1,000,000
		X	COMMERCIAL GENERAL LIABILITY				PREMISES (Ea occurence)	\$ 50,000
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A		-		CLS 1294971	07/19/06	07/19/07		1,000,000
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Mariana Carana



STATE OF FLORIDA

AC# 5408547

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CGC003907

06/07/06 057035663

CERTIFIED GENERAL CONTRACTOR APOSTOLOPOULOS, COSTA APOSTOLOPOULOS & PAULICK CONST IN

IS CERTIFIED under the provisions of Ch. 439 FS.

Expiration date: AUG 31, 2008 L06060700944

Animal Licensing 561-288-5738

Ambulance Billing 561-288-5740

Road/Utility Assessments Well Protection Inspections Fire Marshall Inspections 561-288-5739

2006-2007 MARTIN COUNTY ORIGINAL COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995 (772) 288-5604 LICENS 002-513-0005 CERT CGC 003907 PHONE (772) 223-9347 SIC NO 233210 LOCATION:

3425 SW 78TH AVE PC

APOSTOLOPOULOS, COSTA

3425 SW 78TH AVENUE PALM CITY, FL 34990

APOSTOLOPOULOS & PAULICK CONST, INC

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR. \$. \$. \$. \$.	.00 .00 .00	LIC FEE \$ PENALTY \$ COL FEE \$ TRANSFER \$. 00	50.00 .00 .00
	TOTAL		

18 HEREAY LICENSED TO ENGAGE IN THE BUSINESS PROFESSION OF OCCUPATION CERTIFIED GENERAL CONTRACTOR

AT LOCATION USTED FOR THE PERIOD BEGINNING ON THE

27 SEPTEMBER 206
AND ENDING SEPTEMBER 32007 2 2005 13612.0009 PAID

RECORDED & VERIFIED

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2000-DEED & 1291.59 MARSHA STILLER CLERK OF CIRCUIT COURT Jeany Kosidonce

WARRANTY DEED (STATUTORY FORM - SECTION 689.02 F.S.)

Ad Valorem-Tax-Identification #12-38-41-001-000-0008:0-1-0000 /

THIS INDENTURE, made this 10 day of April, 1996, between 5 fire form to CONSTANCE BOLL, a single person, whose post office address is 2 Indian Spring Road, Rowayton, Connecticut 06853, of the County of fair field. State of Connecticut, Grantor*, and CHARLES E. GEARY and REBECCA D. GEARY, his wife, whose post office address is 10 RIVERVIEW DRIVE, STHART, FLORIDA 34996, and whose social security numbers are of the County of Martin, State of Florida, and N/A Grantee*,

WITNESSETH, that said Grantor, for and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida, to-wit:

Lot 8, of Riverview SUBDIVISION, a subdivision in the Town of Sewall's Point, Florida, according to the Plat thereof on file and of record in the Office of the Clerk of the Circuit Court, in and for Martin County, Florida in Plat Book 6, page 86, public records.

SUBJECT TO taxes accruing subsequent to December 31, 1995, zoning regulations in force and effect, restrictions easements and road rights-of-way of public record

and said Grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

"Grantor" and "Grantee" are used for singular or plural, as context requires.

IN WITNESS WHEREOF, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Frochel Name: + Aous S. Froelich Please Print, Type or Stamp

As to Grantor

Name: · Vorma H. Miller Please Print, Type or Stamp

As to Grantor

(SEAL)

OR BK | 17 | PG2 | 20

STATE OF CONNECTICUT
COUNTY OF * FAILE 18-9

The foregoing instrument was acknowledged before me this *10 day of April, 1996, by CONSTANCE BOLL, a single person, who: [X] is personally known to me, or [] has produced ______ as identification, and who did not take an oath.

(NOTARY SEAL) .

Name: Louis C. Freelich

Typed, printed or stamped
I am a Notary Public of the
State of Connecticut having a
commission number of Louis C. Freelich
and my commission expire Albiary Public

State of Connecticut

Commission Expires 4-1-97

This Instrument Prepared By:
M. Lanning Fox
Warner, Fox, Seeley, Dungey
& Sweet, Attorneys, P.A.
1100 S. Federal Highway
P.O. Drawer 6
Stuart, Florida 34995-0006

mjs:\buysell\bo25s03\deed

Martin County, Florida Laurel Kelly, C.F.A

generated on 12/11/2013 8:25:45 AM EST

8

Summary

Market Total Website Parcel ID Account # **Unit Address** Updated Value 12-38-41-001-000- 27498 \$292,890 12/7/2013 10 RIVERVIEW DR, SEWALL'S POINT 00080-1

Owner Information

Owner(Current) GEARY CHARLES E & REBECCA D

Owner/Mail Address 10 RIVERVIEW DR

STUART FL 34996

Sale Date 4/10/1996

Document Book/Page 1171 2120

Document No.

Sale Price 184500

Location/Description

Account # 27498 Map Page No. SP-05

Tax District 2200 Legal Description RIVERVIEW S/D LOT

Parcel Address 10 RIVERVIEW DR, SEWALL'S POINT

.3850 Acres

Parcel Type

Use Code 0100 Single Family

120400 Hmwd, Palm Ro, Kngstn, Okwd, Pine Neighborhood

Assessment Information

Market Land Value \$165,000 Market Improvement Value \$127,890 Market Total Value \$292,890

http://fl-martin-appraiser.governmax.com/propertymax/GRM/tab_parcel_v1002.asp?Print... 12/11/2013

Prepared by: Charles E. Geary Geary Law Offices, P.A. 27 E. Ocean Blvd. Stuart, FL 34994 INSTR = 1968940
OR BK 02191 PG 1840
P9 1840; (1p9)
RECORDED 10/24/2006 01:29:48 PM
MARSHA EWING
CLERK OF MARTIN COUNTY FLORIDA
RECORDED BY C Walsh

NOTICE OF COMMENCEMENT

TO WHOM IT MAY CONCERN:

The undersigned hereby informs you that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes the following information is stated in this Notice of Commencement.

Description of Property: Lot 8, of RIVERVIEW SUBDIVISION, a subdivision in the Town of Sewall's Point, Florida, according to the Plat thereof on file and of record in the Office of the Clerk of the Circuit Court, in and for Martin County, Florida in Plat Book 6, page 86, public records.

STATE OF FLORIDA

THIS IS TO CERTIFY THAT THE

AND CORRECT COPY OF THE ORIGINAL.

MARSHA/EWING, CLERK

_ PAGES IS A TRUE

MARTIN COUNTY

FOREGOING_

BY: __

General Description of Improvements: Single Family Dwelling

Owner: Charles E. Geary and Rebecca D. Geary

Address: 10 Riverview Drive, Stuart, FL 34996

Owner's interest in the property described as: Fee Simple

Contractor: Costa Apostolopoulos Address: 33426 SW 78th Avenue

Palm City, FL 34990

Surety (if any): N/A

Name of person within the State of Florida designated by owner upon whom notices or other documents may be served:

Name: Charles E. Geary Address: 27 E. Ocean Blvd.

Stuart, FL 34994

In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.07(2)(6) Florida Statutes. (Fill in at Owner's Option).

Lender's

Name: N/A

Commencement of said improvement shall be within thirty (30) days from date of recording this

notice.

Dated this 19th day of October, 2006

Charles €

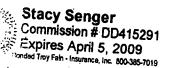
Rebecca D. Geary

STATE OF FLORIDA COUNTY OF MARTIN

THE FOREGOING instrument was acknowledged before me on 10/19/2006

by: Charles E. Geary and Rebecca D. Geary who are personally known to me or have produced a driver's license as proof

of identification and who did not take an oath.



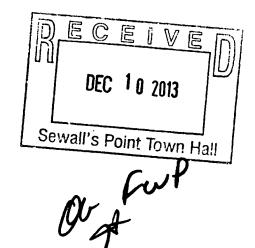
Notary Public
My Commission Expires

Gary Powell

Architecture and Planning 16 South River Road, Sewalls Point, Florida 34996 Ph. 772-223-1755

December 10, 2013

Mr. John Adams Building Official Sewalls Point Building and Zoning Dept. Sewalls Point, Florida



Re: Door and window inspection

10 Riverview Drive

Sewalls Point, Florida

PERMIT \$ 8429

MP. 12-10.13

This letter is to advise your office that I have inspected the installation of the Entry doors and Bathroom window at the above referenced address and have found that the installation meets the requirements of the product approvals submitted and the 2004 Florida Building Code.

Thank you:

Gary Powell Architect

reg. # 12125

PAMELA M. BUSHA Mayor

PAUL LUGER Vice Mayor

VINCENT N. BARILE Commissioner

THOMAS BAUSCH Commissioner

JACQUI THURLOW-LIPPISCH Commissioner

TOWN OF SEWALL'S POINT



PAMELA MAC'KIE WALKER Town Manager

> ANN-MARIE S. BASLER Town Clerk

TINA CIECHANOWSKI Chief of Police

JOHN ADAMS
Building & Facilities Director

JOSE TORRES
Maintenance

August 5, 2014

NOTICE OF EXPIRED PERMIT

This correspondence is intended as a follow-up to a building permit and specific improvements associated with 10 Riverview Drive, more specifically permit # 8429 issued on October 27, 2006 for Replacement of Windows and Door.

Town records indicate that at least 180 days have passed without a successful recorded inspection. Your permit is now expired without benefit of a required final inspection.

Town of Sewall's Point Code of Ordinances section 50-94 states: Failure to obtain an approved inspection within 180 days of the previous approved inspection shall constitute suspension or abandonment. (2) If a new permit is not obtained within 180 days from the date the initial permit became null and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and the work required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date of issuance of the new permit.

In order to avoid further administrative action please arrange to schedule a final inspection of this permit by the Town of Sewall's Point Building Department no later than ten days from date of this letter. Your permit will need to be renewed and is subject to any applicable renewal or inspection fees.

Failure to renew your permit and receive a final inspection will result in your permit becoming null and void, and the Town will report this to the property owner and the appropriate agencies as required. This will also constitute justification for denying any future permits requested by you, or your company.

Please contact me with any questions.

With Best Regards,

John R. Adams, C.B.O.

Building Official



Affairs Affairs





BCIS-Home Log In | Hot Topics | Submit Surcharge | Stats & Facts | Publications | FBC Staff | B

Product Approval USER: Public User

Product Approval Menu > Product or Application Search > Application List > Application Detail

Application Type____ Code Version Application Status Comments

FE##1

Archived-

Product Manufacturer Address/Phone/Email

Authorized Signature

Technical Representative Address/Phone/Email

Quality Assurance Representative Address/Phone/Email

Category Subcategory

Compliance Method

Florida License

FILE COPY NTOWN OF SEWALL'S POINT THESE PLANS HAVE BEEN APREVIEWED FOR CODE COMPLIANCE

BUILDING OFFICIAL

Plastpro-Inc. / Nanya Plastics Corp. 9 Peach Tree Hill Road Livingston, NJ 07039

(440) 969-9773 ext 16 RonOConnell@plastproinc.com

Ron O'Connell RonOConnell@plastproinc.com

Exterior Doors Swinging Exterior Door Assemblies

Evaluation Report from a Florida Regis Licensed Florida Professional Engineer

Florida Engineer or Architect Name who developed the Evaluation Report

PE-54158

Wendell W. Haney

http://floridabuilding.org/pr/pr_app_dtl.aspx?param=wGEVXQwtDqsNVv7gq%2fGjcxl...-10/25/2006

Page 2 of 5

Florida Building Code Online

Codes and Standards ... 2555 Shumard Oak Boulevard Tallahassee, Florida 32399-2100

(850) 487-1824, Suncom 277-1824, Fax (850) 414-8436 © 2000-2005 The State of Florida. All rights reserved. Copyright and Discl **Product Approval Accepts:**

R W Building Consultants, Inc.

Consulting and Engineering Services for the Building Industry

Box 230 Valrico, FL 33595 Phone 813.659.9197 :: Facsimile 813.754.9989

Florida Board of Professional Engineers Certificate of Authorization No. 9813

Product Evaluation Report—

Exterior Doors

Swinging Exterior Door Assemblies

Distinction-Series 6'0" x 8'0" Glazed Fiberglass Door

Lip Lite Screw Frame Full and 1/4 Lite Inswing / Outswing

Nan Ya Plastics Corporation

Plastoro Inc.

9 Peach Tree Hill Road

Livingston, NJ-07039

Phone: 800-779-0561 Facsimile: 973-758-4001

a Product Evaluation report issued by R W Building Consultants; Inc. and Wendell W. Haney tem ID # 1993) for Nan Ya Plastics Corporation, Plastpro Inc. based on Rule Chapter No.-9B-

Wethod Latof the State of Florida Product Approval, Department of Community Affairs

Iding Consultants and Wendell W. Haney, P.E. do not have nor will acquire financial interest s of the product named herein.

luct has been evaluated for use in locations adhering to the Florida Building Code (2004) and where pressure requirements, as determined by Chapter 16 of The Florida Building Code; ceed the following design pressures:

Maximum Design Pressure Rating Positive 37.5 PSF ee Limitations for size restrictions)

Negative 37.5 PSF

awing No. FL 820 prepared by R W Building Consultants, Inc. and signed and sealed by

endell W. Haney. P.E. (FL# 54158) for specific use parameters:

Wendell W. Haney

-FL No. 54158 -

February 23, 2006

Limitations

Constront Series 6.02 x 8107 Glazed Fiberglass Door Lip Lite Screw Frame Full and ¼ Lite State of Florida Course High Velocity Hurricane Zone".

are as requiring windborne debris protection this product is required to be protected with an essential complies with Section 1609.1.4 of the Florida Building Code.

s proof of is mended for use where Section R 314.2.4 of the Florida Building Code is applicable:

MAX. Width

MAX. Height

74.0"

** 1

18. 14. U

·/_ 97.5"

UNIX I

EH: 181

A the state of the

Wendell-W Haney, P.E. FL No. 54158

February 23, 2006

Supporting Documents

D. awing No. FL 820 titled Distinction Series 6'0" x 8'0" Glazed Fiberglass Door Lip Lite Screw Line 1 and Lite Inswing / Outswing by R W Building Consultants, Inc. (Florida Board of Professional Engineers Certificate of Authorization No. 9813), signed and sealed by Wendell W.

Song per 101/LS 2-97/as performed by Certified Testing Laboratories and reported in test portion bers CTLA 900 W5-13 dated January 8, 2003 and signed and sealed by Ramesh are I.B.

esting per 101/1/S.2-97 as performed by Certified Testing Laboratories and reported in test continumbers CTLA 900 WS-15 dated January 8, 2003 and signed and sealed by Ramesh

2 078

Project anchoring is in accordance with manufacturer's published recommendations as supplied by tested specimens reported in test report numbers CTLA 900 W5-13 and CTLA 900 W5-13 and CTLA

Buck anchor analysis for loading conditions, prepared, signed and sealed by Wendell W. Haney,

Glass Load Resistance Report ASTM E1300-02 prepared by Wendell W. Haney, P.E.

Consideration Participation issued by National Accreditation & Management Institute, Inc.,

Massurance program.

Wendell W. Haney, P.E. FL No. 54158

February 23, 2006

Community Affairs





Product Approval USER: Public User

Product Approval Menu > Product or Application Search > Application List > Application Detail

- COMMUNITY PLANNING
- HOUSING & COMMUNITY DEVELOPMENT
- MANAGEMENT

- FL #-FL239-R5
- **Application Type** Revision **Code Version** 2004
- -Application Status **Approved** Comments
- Archived
- **Product Manufacturer** Address/Phone/Email

PGT Industries

1070 Technology Drive Nokomis, FL 34275 (941) 480-1600 ext 1124 lturner@pgtindustries.com

lturner@pgtindustries.com

- Authorized Signature
- Technical Representative

Address/Phone/Email

Lucas A. Turner

Lucas Turner

1070 Technology Drive Nokomis, FL 34275 (941) 480-1600 lturner@pgtindustries.com

Quality Assurance Representative Address/Phone/Email

- Category Subcategory
- Compliance Method
- **Certification Agency**

- Windows
- Single Hung
- Certification Mark or Listing:
- Miami-Dade BCCO CER

Referenced Standard and Year (of Standard)

Standard TAS 201, 202, 203 TAS 202

Equivalence of Product Standards Certified By

Product Approval Method Method 1 Option A

Date Submitted

.....Date Validated 09/28/2006 --- Date Pending FBC Approval 09/29/2006

Date Approved 10/11/2006

Summary of Products

FL#

Impact Resistant: No

Design Pressure: N/A

239.1

Model, Number or Name Description

09/22/2006

SH-4000 (Non-Impact; Heavy Duty Meeting Rail

Limits of Use Approved for use in HVHZ: Yes

Approved for use outside HVHZ: Yes

SH-4000 (Non-Impact,

Other: Please see Miami-Dade County Notice of Acceptance (NOA) #05-0112.01 for product

Standard Meeting Rail)

Limits of Use

anchor type, size, and spacing information.

performance information, anchorage details, and

Approved for use in HVHZ: Yes

Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: N/A

Other: Please see Miami-Dade County Notice of Acceptance (NOA) #05-0104.05 for product performance information, anchorage details, and

239.3 SH-600 (Non-Impact)

anchor type, size, and spacing information.

Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Certification Agency Ce FL239 R5 C CAC 600-0 Installation Instruction

Aluminum Single Hung W

Aluminum Single Hung W

Certification Agency Ce

FL239 R5 C CAC 4000-

Installation Instruction

FL239 R5 II 4000-HDM

Verified By: Miami-Dade

Aluminum Single Hung W

Certification Agency Ce

FL239 R5 C CAC 4000-

Installation Instruction

FL239 R5 II 4000-05-0

Verified By: Miami-Dade:

http://floridabuilding.org/pr/pr app dtl.aspx?param=wGEVXQwtDquS1Bu8CAEmBE7... 10/25/2006

Page 3-of 4

Florida Building Code Online

Codes and Standards



BUILDING CODE COMPLIANCE OFFICE (BCCO)

MIAMI-DADE COUNTY, FLORIDA METRO-DADE FLAGLER BUILDING 140 WEST FLAGLER STREET, SUITE 1603 MIAMI, FLORIDA 33130-1563 (305) 375-2901 FAX (305) 375-2908

www.buildingcodeonline.com

ENORICE OF ACCEPTANCE (NOA)

RCM susides

Nokomis INLS427

SCORE

This NOA is being issued under the applicable rules and regulations governing the use of construction materials.

Ithe flocumentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

in this NGA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Physision (in Miami-Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance if it is determined by Miami-Dade County Product Control Division that this product or material tails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: 12x Std. Wall-Aluminum Tube Clipped Mullion-L.M.L.

APPROVAL DOCUMENT: Drawing No. 6220, titled "1" STD. Wall, Elevations Aluminum Tube Clipped Million, sheets I through 5 of 5, prepared by PGT Industries, signed and sealed by Robert L. Clark, P.E., dated 0. 2200 with last revision on 05/30/06, bearing the Miami-Dade County Product Control Renewal Stamp with last revision on 05/30/06, bearing the Miami-Dade County Product Control Division.

MISSILET MPACT RATING: Large and Small Missile Impact

FARELING Fact unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADMERUSEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be be done in its entirety.

NSIFCIMON: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA nevises and renews NOA # 04-0528.04 and, consists of this page 1 and evidence pages E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by Jaime D. Gascon, P.E.



NOA No 06-0125.06 Expiration Date: June 28, 2011 Approval Date: July 20, 2006

Page 1

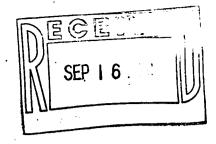
TOWN OF SEWALL'S POINT, FLORIDA

Date
Sub-division, Lot, Block Kind of Trees REMOVE REMOVE
No. Of Trees: RELOCATE WITHIN 30 DAYS (NO FEE) No. Of Trees: REPLACE WITHIN 30 DAYS REMARKS SITE INSTRUCTION 9/7/99 SI - SUE ATM. FOR TRUE LOCATION FEE \$ C
Signed, ON Applicant Signed, OR Town Clerk
TOWN OF CEWALLIC DOINT Call 287-2455 – 8:00 A.M12:00 Noon for Inspec

TREE REMOVAL PERMIT

PROJECT DESCRIPTION .

SINGLE FAMILY HOME HABITAT MANAGEMENT AND LANDSCAPE PERMIT APPLICATION



WNER HAME:	Charles and Rebecca Geary	
ADDRESS.	10 Riverview Dr.	
JUMBER & TYPE	inva: I Hickory tree	
CONTRACTOR:	Tennhard Landscaping & Tree Trimming	
ADDRESS:	335-23	323
	Kivergate Insurance	Ė
LICENSE NUMI	IBER: Martin County # 1999 247079 SICTO	1782
PHONE:	RIVER SUPPLIES SUPPLI	
CONTRACT PR	RICE: \$ 450.00	
PERMIT FEE:	PAID:	
¥\$75.00 151:	: 10.00 EA. ADD'L.; MAX. \$ 100.00.	
REASON FOR	RELOCATION, REMOVAL, OR REPLACEMENT:	
The-	tree is dead - worm infestation	
APPLICAL	OT SIGNATURE: Robert Soar DATE: 9-7-99	
	Date:	
APPROVED:	Building Inspector	
	Date:	
DENIED:	Building Inspector	
	Date:	
	Building Commissioner	
DEASON FOR	OR DENIAL, IF APPLICABLE:	
KENSON TO		

1 Diront Door

Riverview Dr.

TOWN OF SEWALL'S POINT, FLORIDA

1001150 500 0					№ 1274	
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Owner		OKIVE	EVIEW	· · · · · · · · · · · · · · · · · · ·		_
Sub-division			_, Lot	, Block		
Kind of Trees		SILVE	e Opv			
	REMOVE				-	_
No. Of Trees: RE	LOCATE	WITHIN	30 DAYS (NO FE	E)	٠.	
	REPLACE					
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TOWN OF SEWALL'S POINT APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

- 1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
- 2. Trees with a diameter of less than one inch.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.

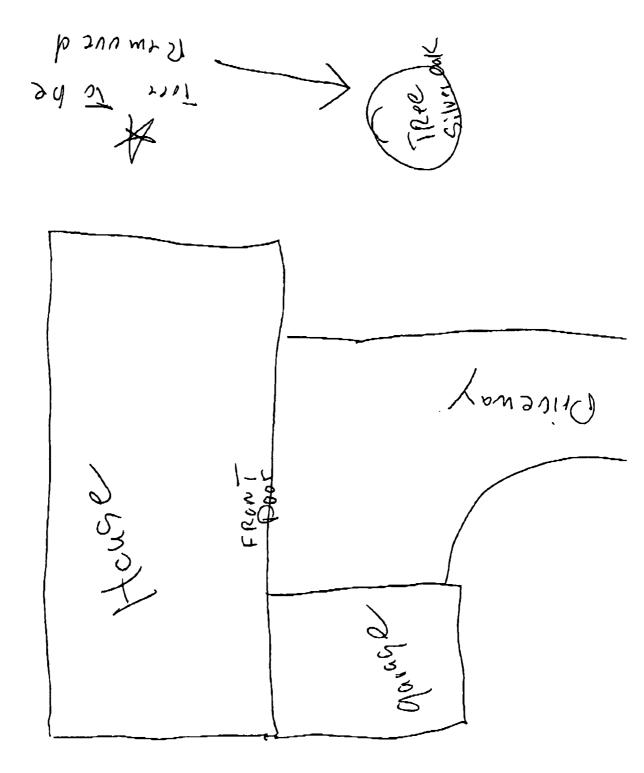
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

- 1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
- 2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
- 3. Inspector will visit site and review application and pass, fail or revise.
- 4. Permit must be picked up and on site prior to work proceeding.
- 5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Charles E. Geary		w Dr. Phone Z	-21-7636
Contractor Matt Tenhard,	Address 16 09 SWF	Bristane St Phone 2	01-1206
No. of Trees: REMOVE	York St. L. Type:		Silver Oak
No. of Trees: RELOCATE	WITHIN 30 DAYS Type:		
	WITHIN 30 DAYS Type:_		Date 1
Written statement giving reasons:		plant a noti	oak fasker
	Ebecah Skary	Date 4-28-03	from the house.
Approved by Building Inspector: Plans approved as submitted	plans approved as a	Date 1/2/ revised/marked:	13 \$



LOWN COUNTY OF SPORMS Bulling Department in program to grant the second of the second

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TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS contractor Santos Tree Service Address 438 SE Florida Strephone 634-0127 No. of Trees: REMOVE ____ Species: ___ Hickory No. of Trees: RELOCATE_____ Species: _____ No. of Trees: REPLACE _____ Species: __ ***ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION*** Reason for tree removal /relocation (See notice above) Tree is dead Signature of Property Owner Approved by Building Inspector: NOTES: SKETCH: