

# 8 Riverview Drive

RECEIVED JUN 27 1980

TOWN OF SEWALL'S POINT FLORIDA

Permit No. #1174

Date \_\_\_\_\_

APPLICATION FOR A PERMIT TO BUILD A HOUSE OR COMMERCIAL BUILDING

This application must be accompanied by three sets of complete plans, to scale, (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections; plumbing, electrical and air-conditioning layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house or commercial building construction.

Owner FRANCIS & SUSAN ZACCHIA Present address 1723 N.E. 84th Street

Phone 334-3098 Jensen Beach, Florida 33451

General contractor FRANCON CONRAD R. SERYNEK Address 1330 N.E. Dixie Highway

Phone 334-3290 Jensen Beach, Florida 33451

Where licensed State of Florida License No. CG0005985

Plumbing contractor Norton Plumbing Inc. License No. 3391

Electrical contractor Curtis Electric Corp. License No. ER0005945

Air-conditioning contractor Commercial Cooling & Heating Inc. License No. 632 RG023529

Describe the building, or alteration to existing building Single Family wood frame house

Name the street on which the building, its front building line and its front yard face Riverview Road 8 Riverview Drive

Subdivision Riverview Lot No. 7 Area Sewalls Point

Building area, inside walls (excluding garage, carport, porches, pools, etc.)...square feet 2,160

Contract price (excluding land, carpeting, appliances, landscaping, etc.) \$ 75,600.00

Cost of permit \$ 408.00 Plans approved as submitted  or, as marked

I understand that this permit is good for 12 months from the date of its issue and that the building for which this permit is issued must be completed within that time and in accordance with the approved plans. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. I agree that the building site will be clean and rough-graded before a Certificate of Occupancy is sought, and, moreover, that I shall be responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply with the above requirements may result in a Building Inspector or a Town Commissioner "Red-tagging" the building project.

Contractor Conrad R. Serynek

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood, as required by the Town's zoning ordinance.

Owner Susan Zacchia

Note: Speculation builders will be required to sign both of the above statements.

TOWN RECORD

Date submitted \_\_\_\_\_

Approved by Building Inspector (date) 6/30/80

Inspector's initials Jam

Approved by Town Commissioner (date) 6/30/80

Commissioner's initials BS

Certificate of Occupancy issued (date) \_\_\_\_\_

Approved of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

#1174

Handwritten initials and date

STATE OF FLORIDA  
 Department of Professional ~~XXXXXXX~~ Regulation  
**CONSTRUCTION INDUSTRY  
 LICENSING BOARD**

**SERYNEK, CONRAD R**  
**DRYWALL & ALUMINUM SYSTEMS INC.**  
**CERTIFIED GENERAL CONTRACTOR**  
 HAS PAID THE FEE REQUIRED BY CHAPTER 468  
 FOR THE YEAR EXPIRING **JUNE 30, 1981**

SIGNATURE

*[Signature]*  
 PLEASE READ IMPORTANT INFORMATION ON REVERSE  
GOVERNOR SECRETARY OF PROFESSIONAL AND OCCUPATIONAL REGULATION

WALLET CARD — FOLD HERE

**CONSTRUCTION INDUSTRY LICENSING BOARD**  
**POST OFFICE BOX 2**  
**JACKSONVILLE, FL 32201**

AUDIT CONTROL NO	FILE NO	BATCH NO	FEES AMOUNT
302774	CGC005985	1059	3.00

# Certificate of Insurance



THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER.  
THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES LISTED BELOW.

NAME AND ADDRESS OF AGENCY <b>DEAKINS-CARROLL INSURANCE AGENCY</b> P.O. Drawer A-G Pt. Salerno, FL 33492	<b>COMPANIES AFFORDING COVERAGES</b>
NAME AND ADDRESS OF INSURED <b>FRANCON CONSTRUCTION d/b/a</b> <b>DRYBALL ALUMINUM SYSTEMS</b> P.O. Box 2716 Stuart, FL 33494	COMPANY LETTER <b>A</b> <b>SOUTH CAROLINA INSURANCE COMPANY</b>
	COMPANY LETTER <b>B</b>
	COMPANY LETTER <b>C</b>
	COMPANY LETTER <b>D</b>
	COMPANY LETTER <b>E</b>

This is to certify that policies of insurance listed below have been issued to the insured named above and are in force at this time. Notwithstanding any requirement, term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the policies described herein is subject to all the terms, exclusions and conditions of such policies.

COMPANY LETTER	TYPE OF INSURANCE	POLICY NUMBER	POLICY EXPIRATION DATE	Limits of Liability in Thousands (000)		
					EACH OCCURRENCE	AGGREGATE
A	<b>GENERAL LIABILITY</b> <input checked="" type="checkbox"/> COMPREHENSIVE FORM <input type="checkbox"/> PREMISES—OPERATIONS <input type="checkbox"/> EXPLOSION AND COLLAPSE HAZARD <input type="checkbox"/> UNDERGROUND HAZARD <input type="checkbox"/> PRODUCTS/COMPLETED OPERATIONS HAZARD <input type="checkbox"/> CONTRACTUAL INSURANCE <input type="checkbox"/> BROAD FORM PROPERTY DAMAGE <input type="checkbox"/> INDEPENDENT CONTRACTORS <input type="checkbox"/> PERSONAL INJURY	GLA 63 72 79	1/4/81	BODILY INJURY	\$300,000	\$ 300,000
				PROPERTY DAMAGE	\$ 50,000	\$ 50,000
				BODILY INJURY AND PROPERTY DAMAGE COMBINED	\$	\$
				PERSONAL INJURY		\$
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> COMPREHENSIVE FORM <input type="checkbox"/> OWNED <input type="checkbox"/> HIRED <input type="checkbox"/> NON-OWNED			BODILY INJURY (EACH PERSON)	\$	
				BODILY INJURY (EACH ACCIDENT)	\$	
				PROPERTY DAMAGE	\$	
				BODILY INJURY AND PROPERTY DAMAGE COMBINED	\$	
	<b>EXCESS LIABILITY</b> <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM			BODILY INJURY AND PROPERTY DAMAGE COMBINED	\$	\$
A	<b>WORKERS' COMPENSATION and EMPLOYERS' LIABILITY</b>	WC 74 46 91	1/28/81	STATUTORY	\$	(EACH ACCIDENT)
	OTHER					

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES  
**STATE GENERAL CONTRADTORS**  
  
**STATE OF FLORIDA**

**Cancellation:** Should any of the above described policies be cancelled before the expiration date thereof, the issuing company will endeavor to mail \_\_\_\_\_ days written notice to the below named certificate holder, but failure to mail such notice shall impose no obligation or liability of any kind upon the company.

NAME AND ADDRESS OF CERTIFICATE HOLDER:  
**Town of Swalls Point**

DATE ISSUED: **6/27/80**  
  
**C.J. Deakins, Jr.** dh  
 AUTHORIZED REPRESENTATIVE

WARRANTY DEED  
INDIVID. TO INDIVID.

**This Warranty Deed** Made the 3rd day of AUGUST A. D. 1979 by

DONALD C. COLLINS, a single man

hereinafter called the grantor, to

FRANCIS ZACCHEO and SUSAN ZACCHEO, his wife

whose postoffice address is 1723 NE 24th Street, Jensen Beach, Florida 33457  
hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

**Witnesseth:** That the grantor, for and in consideration of the sum of \$ 10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Martin County, Florida, viz:

Lot 7, RIVERVIEW SUBDIVISION, according to the Plat thereof as recorded in the Office of the Clerk of the Circuit Court in and for Martin County, Florida, in Plat Book 6, page 86, public records.

SUBJECT TO restrictions, reservations and easements of record; zoning ordinances, if any.

GRANTEES herein agree to assume and to pay that certain mortgage as recorded in Official Records Book 450, page 2442, public records of Martin County, Florida.

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in any-wise appertaining.

**To Have and to Hold,** the same in fee simple forever.

**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 1978.

**In Witness Whereof,** the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

*Sandra Gay Bradley*  
*Alice J. Wilder*

*Donald C. Collins* L.S.  
DONALD C. COLLINS L.S.

STATE OF Florida }  
COUNTY OF Martin }

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, personally appeared

DONALD C. COLLINS, a single man

to me known to be the person described in and who executed the foregoing instrument and he acknowledged before me that he executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 3rd day of August, A. D. 1979.

*Alice J. Wilder*  
Notary Public, My Commission  
Notary Public, State of Florida at Large

This Instrument prepared by Commission Expires July 10, 1982

Address

Bonded By American Fire & Casualty Company

SPACE BELOW FOR RECORDERS USE

D.R. BOOK 476 PAGE 2043

BESSEMER PROPERTIES

A DIVISION OF

BESSEMER SECURITIES CORPORATION

249 ROYAL PALM WAY

PALM BEACH, FLORIDA 33480

May 28, 1980

Mr. Francis Zaccheo  
1723 N. E. 24th Street  
Jensen Beach, Florida 33457

RECEIVED JUN 27 1980

Dear Mr. Zaccheo:

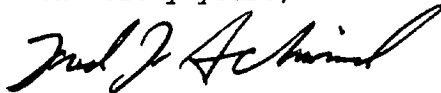
Attached hereto is approved plan of the proposed residence to be constructed on Lot 7, River-view Subdivision.

In approving these plans it is understood that the house shall have a floor area of not less than 2,500 square feet, not including the area of porches unless roofed and closed in on three sides, carports or outbuildings, and shall cost not less than \$35,000.

I see by the plans that the roof is to be cedar shake shingle which is also approved.

It is also understood that you will comply with the Zoning Code and Ordinances of the Town of Sewall's Point.

Sincerely yours,



Fred J. Schwind

FJS:ms  
Enclosures



**STATE OF FLORIDA  
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES**

**APPLICATION FOR SEPTIC TANK PERMIT  
AND FINAL INSPECTION FORM**

Authority:  
Chapter 381, 386, 387, FS  
Chapter 10D-6, FAC

DATE 5-14-80 Permit Number HD 80-363

Name of Applicant Francis Zuckeo Telephone No. 334-3098

Mailing Address of Applicant 1723 N.E. 24<sup>th</sup> St. Jensen Bch Fla.

To Be Installed At: (Give Street Address)\* \_\_\_\_\_

Lot No. 7 Block No. \_\_\_\_\_ Subdivision Biscayne Plat Book 6 Page 8

Size of Lot: 143 By 110 No. Living Units \_\_\_\_\_ No. Bedrooms 3 No. People \_\_\_\_\_

Type of Business \_\_\_\_\_ No. Toilets \_\_\_\_\_ No. Wash Basins \_\_\_\_\_ No. Employees \_\_\_\_\_

Total Square Feet in Building \_\_\_\_\_

\*Note: Attach Site Location Map and Other Supportive Documents

Francis Zuckeo  
Signature of Applicant  
W L Williams

**SITE INFORMATION**

Distance to Sanitary Sewer \_\_\_\_\_ Distance to Stream, Lake, Canal \_\_\_\_\_

Distance to Public Water Supply \_\_\_\_\_ Distance to Private Well(s) \_\_\_\_\_

Rainfall Data: \_\_\_\_\_

Is Area Subject to Flooding? \_\_\_\_\_ Does Site have Good Natural Drainage? \_\_\_\_\_

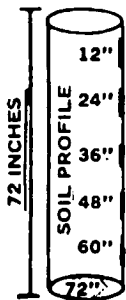
Which Way Does Lot Drain? Front Any Perimeter Ditches? \_\_\_\_\_ Depth of Ditches \_\_\_\_\_

Is there Standing Water in Ditches? \_\_\_\_\_ Depth of Water in Ditches \_\_\_\_\_

Distance to Nearest Residence (North \_\_\_\_\_ East \_\_\_\_\_ South \_\_\_\_\_ West \_\_\_\_\_ ) Are Buildings

in this Area on: Septic Tanks Yes Sand Filters \_\_\_\_\_ Other \_\_\_\_\_

Any Known Drainfield Failures in this Area \_\_\_\_\_



**SOIL PROFILE AND PERCOLATION DATA**

12"	<u>St. Mary sand</u>
24"	<u>" " "</u>
36"	<u>Tan sand</u>
48"	<u>" " "</u>
60"	<u>" " "</u>
72"	<u>" " "</u>

Water Table At 60 inches  
Hard Pan At \_\_\_\_\_ inches  
Clay At \_\_\_\_\_ inches  
Muck At \_\_\_\_\_ inches  
Other At \_\_\_\_\_ inches  
Soil Classification: 1-5.P.  
Percolation Rate: 30 sec.

**INSTALLATION SPECIFICATIONS**

Septic Tank Capacity: 900 Drain Tile (Linear Ft.): \_\_\_\_\_

Dosing Tank Capacity: \_\_\_\_\_ Sand Filter Size: (Sq.Ft.) \_\_\_\_\_

Grease Trap Capacity: \_\_\_\_\_ Absorbntion Bed Size: (Sq.Ft.) 255

Perforated Pipe: (Linear Ft.) \_\_\_\_\_ Lateral Drainfield Size: (Sq.Ft.) \_\_\_\_\_

Other Specifications: \_\_\_\_\_

RECOMMENDATION: Approval   
Disapproval

5-15-80  
Date Processed

John Barton  
Signature of Sanitarian

W L Williams County Health Department

**FINAL INSPECTION DATA**

Date and Time of Inspection \_\_\_\_\_ Type of Tank (Concrete, Fiberglass, Etc.) \_\_\_\_\_

Size Tank Installed \_\_\_\_\_ Drainfield Size \_\_\_\_\_ No. Tile Feet \_\_\_\_\_

Dosing Tank Size \_\_\_\_\_ Grease Trap Size \_\_\_\_\_ Sand Filter Size \_\_\_\_\_

Who Made Installation \_\_\_\_\_

RECOMMENDATION: Approval  Disapproval

FLORIDA DEPARTMENT OF POLLUTION CONTROL

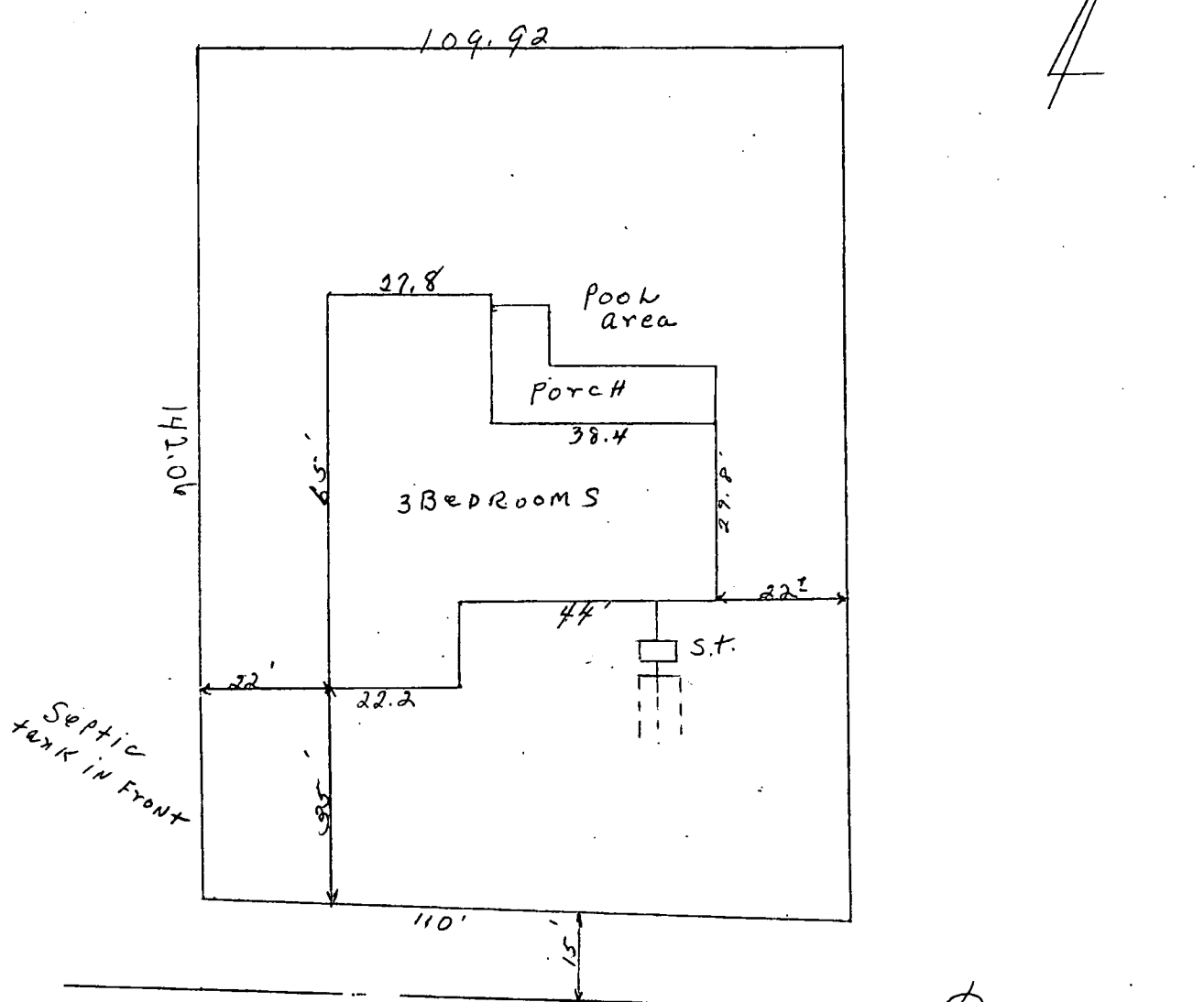
S. E. Subregion  
 806 South 6th Street  
 Fort Pierce, Florida 33450  
 Tel. (305) 464-8525

INDIVIDUAL SEWAGE DISPOSAL FACILITIES

Location: Lot 7 DATA SHEET  
Riverview Applicant: Francis Zaccaro  
 County: Martin

NOTE: This septic tank system is not located within 50 feet of the high water line of a lake, stream, canal or other waters, nor within 75 feet of any private well; nor within 100 feet of any public water supply; nor within 10 feet of water supply pipes; nor within 100 feet of any public sewer system.

*E. on E. Ocean Blvd. to  
 Sewall's Pt. Rd. to Riverview dr., W. to site*

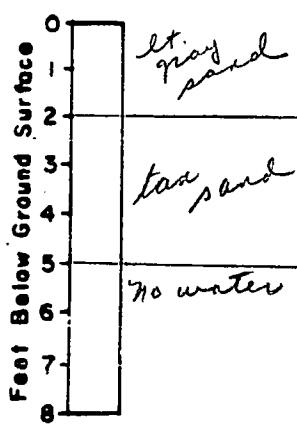


RIVERVIEW DRIVE  
 City water AND Sewer House

PLAN  
 Scale: 1" = \_\_\_

SOIL DATA

SOIL BORING LOG  
 Soil Identification: CLASS 1 GROUP S.P.  
 Soil Characteristics \_\_\_\_\_  
 Percolation Rate 30 sec min/inch  
 Water Table Depth 5 ft  
 Water Table Depth During Wet Season 5  
 Compacted Fill Of \_\_\_\_\_ Req'd  
 Compacted Fill Checked By: \_\_\_\_\_  
 Date \_\_\_\_\_



- LEGEND
- Drainage Pattern
  - Proposed Septic Tank and Drainfield
  - Proposed Water Supply Well
  - Existing Water Supply Well
  - Soil Boring and Percolation Test Location

CERTIFIED BY: W.L. Williams  
 FLORIDA PROFESSIONAL No. 1272  
 Date \_\_\_\_\_ Job No. \_\_\_\_\_



**FAST  
SERVICE**

# COMMERCIAL COOLING & HEATING ● INC.

940 N. E. DIXIE HIGHWAY · JENSEN BEACH, FLORIDA 33457 · (305) 334-3232

August 15, 1980

Installation of central air conditioning systems to following -

Residence for C. R. Serynek - Perriwinkle - 7.1 EER

Residence for Zaccheo - Lot 7, Riverview Rd - 7.1 EER

both by Francon Construction Co.

1174

"U" VALUE CALCULATIONS FOR SUB ASSEMBLIES

TYPE ASSEMBLY	CONC. BLOCK		2x4-16" C		FRAME		CEILING	
	R VALUE FRAMING	R VALUE CAVITY	R VALUE FRAMING	R VALUE CAVITY	R VALUE FRAMING	R VALUE CAVITY	R VALUE FRAMING	R VALUE CAVITY
FILM EXTERIOR	.17	.17	.61	.61	.61	.61		
SURFACE TREATMENT			.45	.45	—	—		
OUTER SHEATING			—	—	—	—		
FRAMING			4.35	X	4.35	X		
CAVITY: A. INSULATION			X	11.00	X	19.00		
B. AIR SPACE			X	—	X	—		
INTERIOR EXTERIOR SURFACE			.45	.45	.45	.45		
AIR FILM INSIDE	.68	.68	.68	.68	.68	.68		
OTHER								
R <sub>v</sub> = TOTAL			6.54	13.19	6.09	20.74		
U <sub>o</sub> = 1/R TOTAL			.152	.075	.164	.048		

U<sub>o</sub> (OVERALL "U" VALUE (ENVELOPE CALCULATIONS))

TYPE OF ASSEMBLY	DESCRIPTION	ARES	GROSS AREA RATIO	"U" VALUE	"U" X RATIO
GROSS WALL	2x4-16" C	1840			
GLASS	WINDOWS/DOORS	375	.20	1.1	.220
DOORS	WOOD	52	.02	.46	.009
BLOCK WALL	FOR CAVITY				
FRAME WALL	1413	85	.06	.152	.009
		1328	.94	.075	.070
		TOTAL WALL "U" VALUE =			(.308)
CEILING	TRUSS	154	.07	.164	.011
GROSS / 2200	CAVITY	2046	.93	.048	.044
		TOTAL CEILING "U" VALUE =			(.055)
THIS CODE HOUSE	WALLS	1840	.49	.308	.150
GROSS/GROSS 4240	CEILING	2200	.51	.055	.028
		TOTAL CODE HOUSE "U" VALUE =			(.178)
		THIS HOUSE COMPLIES LESS THAN			(.30)

I hereby Certify that the Design and Construction of this building comply with the Applicable Thermal Energy Efficiency Standard as Required in Part VII, Chapter 553, Florida Statutes. I understand that Falsification of this application may subject me to Prosecution under the Law.

**ADVANCE DESIGN PLANNING SERVICE**  
**E. E. MITCHELL, P. E., J. W. HUNTER, I. E. T. R. CONKLIN, P. D.**

Signature of Owner, or Owners,  
 Authorized Agent *TRO*

TOWN OF SEWALL'S POINT, FLORIDA


CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 9/18/80

This is to request that a Certificate of Approval for Occupancy be issued to \_\_\_\_\_  
For property built under Permit No. 1774 Dated 7/2/80 when completed in  
conformance with the Approved Plans.

Susan Zaucha  
Signed

RECORD OF INSPECTIONS

Item	Date	Approved by
Set-backs and footings	7/6/80	
Rough plumbing	8/8/80	
Slab	7/6/80	
Perimeter beam		
Close-in, roof and rough electric	7/31/80	
Final Plumbing	9/17/80	
Final Electric	9/17/80	
<b>INSULATION</b>	8/12/80	
Final Inspection for Issuance of Certificate for Occupancy.		

Approved by Building Inspector

J. Am... date 9/18/80

Approved by Building Commissioner

Robert Strubel date 10/6/80

Utilities notified 9/18/80 date

Original Copy sent to \_\_\_\_\_

(Keep carbon copy for Town files)

**1184**

**SCREEN**

**ENCLOSURE**

Permit No. 1184

Date 7/24/80

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner James Charles (Charles) Jacobs Present address 1330 Old Highway Jackson, Fla

Phone 337-790

Contractor CLIMAX OF FLORIDA CONTRACTORS Address \_\_\_\_\_

Phone 337-790

Where licensed \_\_\_\_\_ License number CR 001786

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Screen Pool Enclosure (addition)

State the street address at which the proposed structure will be built: 17 New Johnson Drive

17 Johnson Dr Sewall's Point

Subdivision Seaside Ct Lot No. 17

Contract prices about Cost of Permit \$ \_\_\_\_\_

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "red-tagging" the construction project.

Contractor H. W. Schyrral

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner James Jacobs

TOWN RECORD Date submitted \_\_\_\_\_

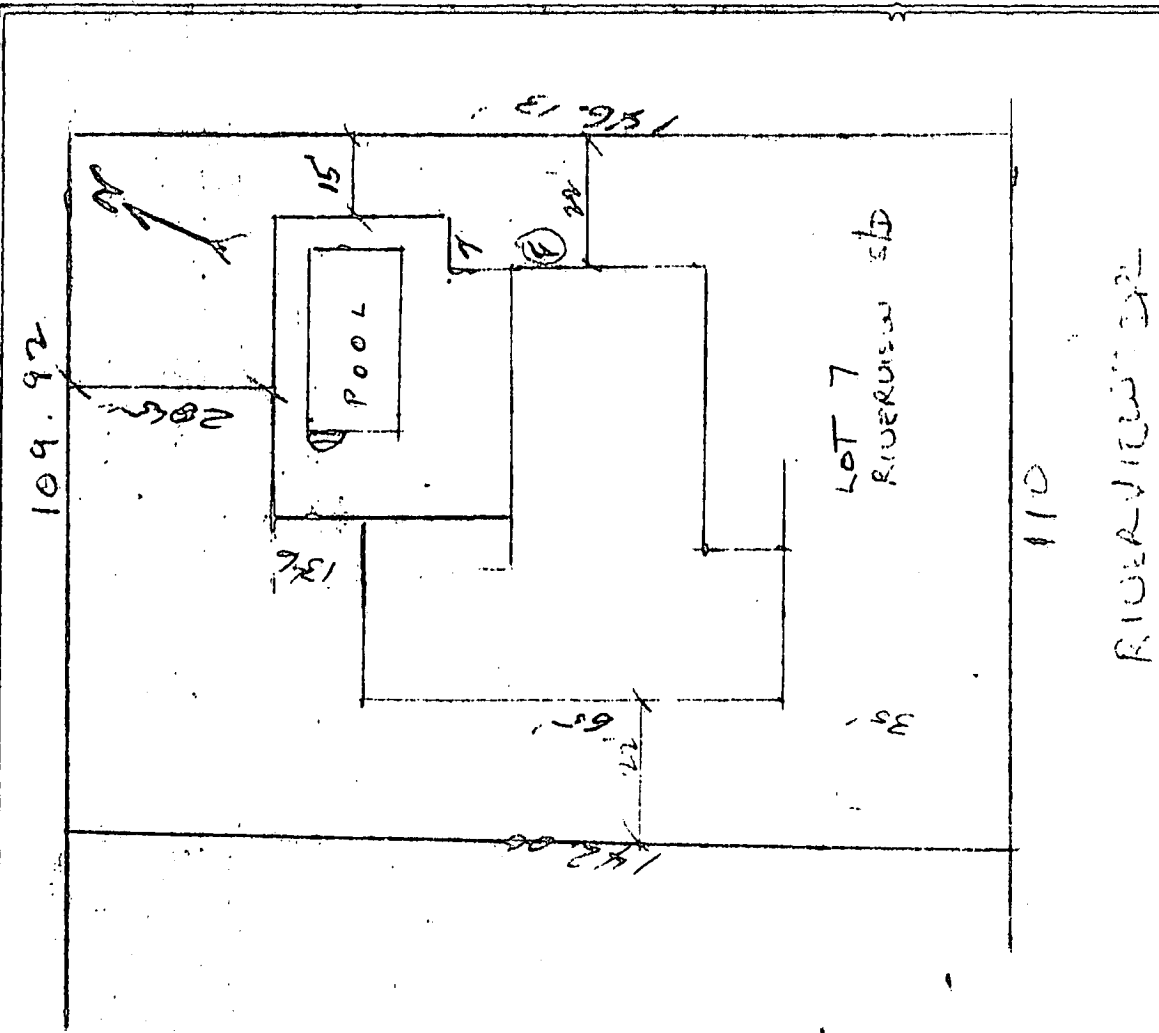
Approved: \_\_\_\_\_ Building Inspector Date \_\_\_\_\_

Approved: [Signature] Commissioner Date 7/28/80

Final Approval on Ven. \_\_\_\_\_ Date \_\_\_\_\_

Certificate of Occupancy Issued \_\_\_\_\_ Date \_\_\_\_\_

# 1184

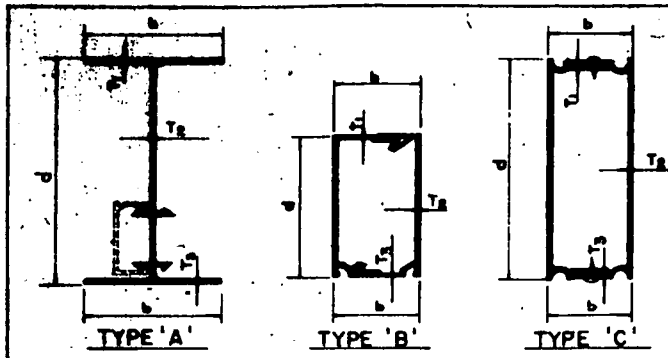


RECEIVED JUL 28 1980

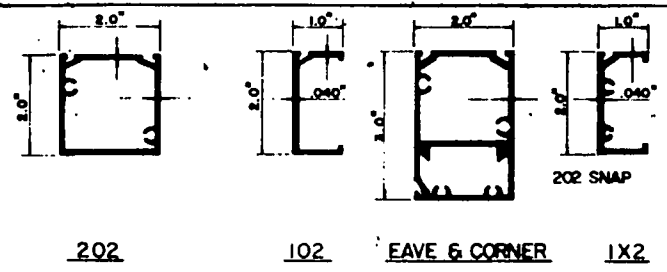
*Handwritten signature/initials*

Approval of these plans in no way  
relieves the contractor or builder of  
complying with the Town of Sewall's  
Point's Ordinances, the South Florida  
Building Code and the State of Florida  
Model Energy Efficiency Building Code.

*Handwritten notes and a small rectangular stamp.*



BEAMS AND COLUMNS



MISCELLANEOUS COMPONENTS

BEAM AND COLUMN SCHEDULE											
MARK	TYPE	SIZE			THICKNESS			MAX. BEAM SPAN SPACED E-E			REMARKS
		b	d	b'	T <sub>1</sub>	T <sub>2</sub>	T <sub>3</sub>	6'-0"	7'-0"	8'-0"	
ALL SPANS SHOWN ARE MAXIMUM OUT TO OUT.											
603	A	3.00	6.00	3.00	.094	.060	.094	26'-0"	24'-0"	22'-6"	W/2-1X2'S SNAPPED ON
703	A	3.00	7.00	3.00	.125	.066	.125	32'-0"	29'-9"	28'-0"	DO.
804	A	4.00	8.00	4.00	.125	.070	.125	38'-0"	35'-0"	33'-0"	DO.
1004	A	4.00	10.00	4.00	.140	.096	.140	48'-2"	45'-0"	42'-0"	DO.
302	B	2.00	3.00		.050	.050	.050	12'-0"	11'-0"	10'-0"	
202	MISC.	2.00	2.00		.040	.040	.040	8'-0"	8'-0"	7'-0"	
402	B	2.00	4.00		.060	.090	.060	14'-0"	12'-9"	12'-0"	#10X1/2" S.M.S. AT 24" O.C.
602	C	2.00	6.00		.090	.060	.180	26'-0"	25'-0"	23'-0"	DO.
702	C	2.00	7.00		.140	.060	.180	33'-0"	30'-0"	29'-0"	DO.

COLUMN SCHEDULE											
MARK	TYPE	SIZE			THICKNESS			MAX. COLUMN HT. SPACED E-E			SPACE CHAIR RAIL 6'-0" C-C. MAXIMUM
		b	d	b'	T <sub>1</sub>	T <sub>2</sub>	T <sub>3</sub>	6'-0"	7'-0"	8'-0"	
302	B	2.00	3.00		.050	.050	.050	9'-0"	8'-0"	8'-0"	DO.
402	C	2.00	4.00		.080	.060	.120	18'-8"	11'-6"	10'-10"	DO.

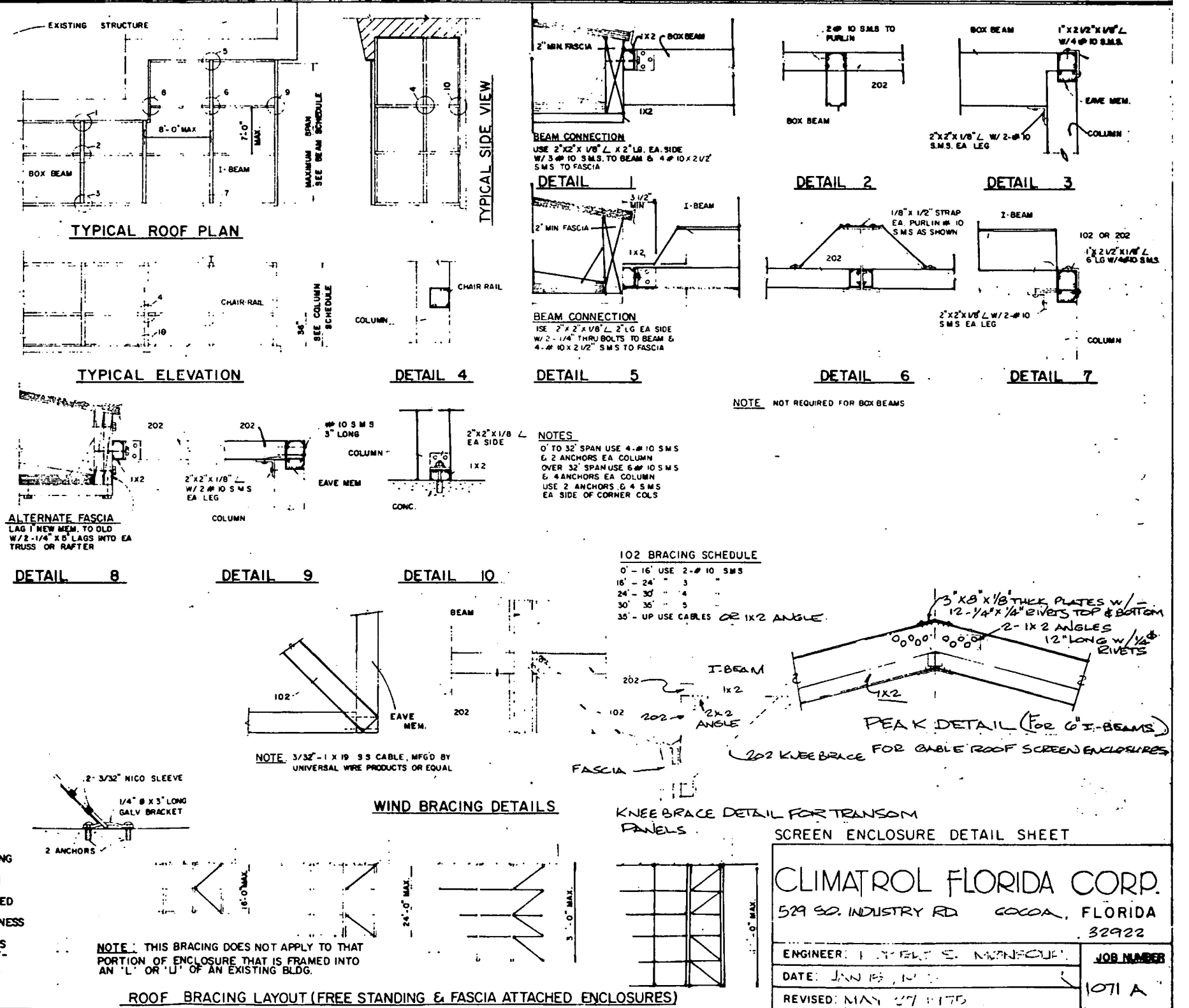
MISCELLANEOUS FASTENING SCHEDULE		
MEMBER	DESCRIPTION	FASTENER
602	STRUT TO 102 AT BEAM	2# 10X3/4" S.M.S.
802	STRUT TO EAVE SECTION	DO.
802	CHAIR RAIL TO COLUMN	DO.
1X2	PERIMETER MEM. JOINED	DO.
1X2	PERIMETER MEM. TO COL.	DO.
1X2	PERIMETER MEM. TO CONC.	ANCHOR AT 24" C-C
1X2	PERIMETER MEM. TO WOOD	#10X2 1/2" S.M.S. 24" C-C

SCREEN WALL CABLE SCHEDULE				
HEIGHT	SPAN	SET	SPAN	CABLES
6'-0"	19'-0"	1 SET (2 CABLES)	39'-0"	2 SETS (4 CABLES)
8'-0"	18'-0"	1 SET (2 CABLES)	36'-0"	2 SETS (4 CABLES)
10'-0"	16'-0"	1 SET (2 CABLES)	32'-0"	2 SETS (4 CABLES)
11'-0"	14'-0"	1 SET (2 CABLES)	28'-0"	2 SETS (4 CABLES)
12'-0"	12'-0"	1 SET (2 CABLES)	24'-0"	2 SETS (4 CABLES)

ANCHORS TO CONCRETE & MASONRY SHALL BE 1/4" X 2 1/2" THUNDERBOLTS, #10 X 2 1/2" S.M.S. IN JORDAN 1020 ANCHOR OR APPROVED EQUAL.

**DESIGN CRITERIA**  
 WALLS: DESIGN WIND LOAD IN D OUT 10 PSF.  
 TEST LOAD WIND IN B OUT 15 PSF.  
 ROOF: DESIGN LIVE LOAD DOWN 6 PSF.  
 DESIGN WIND LOAD UP 6 PSF.  
 TEST LOAD UP & DOWN 9 PSF.  
 RECOVERY AT TEST LOAD 90% MIN.

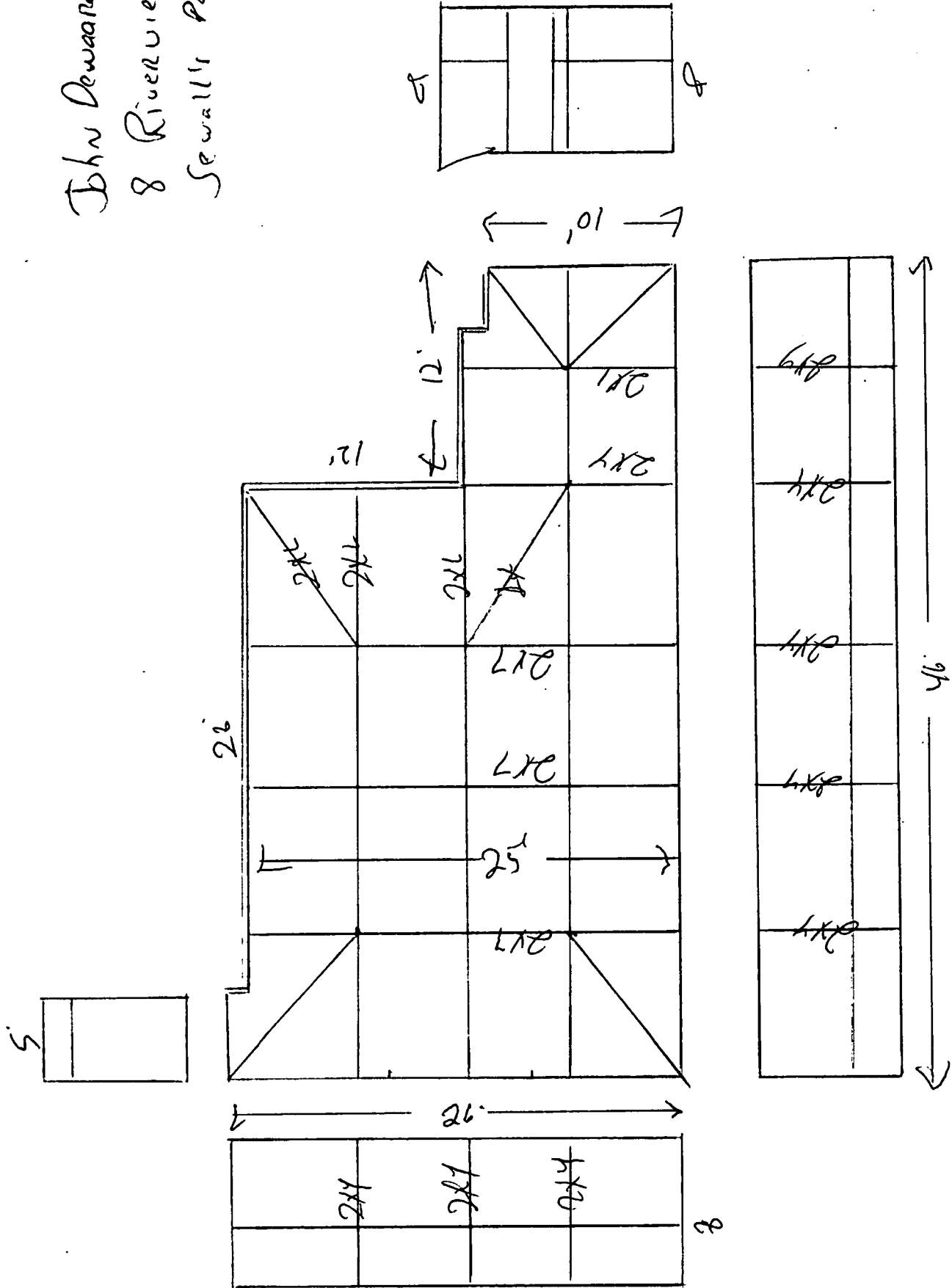
**NOTES:**  
 1) ROOF & SIDES SHALL BE COVERED WITH SCREEN CLOTH BEING 60% OR GREATER OPEN. THE ADDITION OF SOLID ROOFING OR SIDING IS NOT COVERED BY THIS SHEET.  
 2) THE EXISTING STRUCTURE MUST BE CAPABLE OF SUPPORTING THE LOADED SCREEN ENCLOSURE.  
 3) 6063-T6 ALUM. ALLOY BEAMS WILL BEAR IDENTIFICATION 1'-FT FROM EACH END OF BEAM.  
 4) USE ADDITIONAL SETS OF CABLES WHERE BEAM SPANS EXCEED THOSE SHOWN IN CABLE SCHEDULE.  
 5) A TOLERANCE OF .006" IS ALLOWED WHERE WALL THICKNESS EXCEEDS .085".  
 6) EXPOSED FASTENERS SHALL BE NON-MAGNETIC, STAINLESS STEEL OR ALUM. EXCEPT CABLE FASTENERS MAY BE HOT-DIP GALV. STEEL.  
 7) MASONRY ANCHORS SHALL BE MADE OF NON-CORROSIVE METALIC CONST. OR OF VIRGIN P.V.C. PLASTIC.



ROOF BRACING LAYOUT (FREE STANDING & FASCIA ATTACHED ENCLOSURES)

**CLIMATROL FLORIDA CORP.**  
 529 SO. INDUSTRY RD COCOA, FLORIDA 32922  
 ENGINEER: J. W. FELT S. M. N. M. N. C. P. E.  
 DATE: JAN 15, 1975  
 REVISED: MAY 27, 1975  
 JOB NUMBER: 1071 A

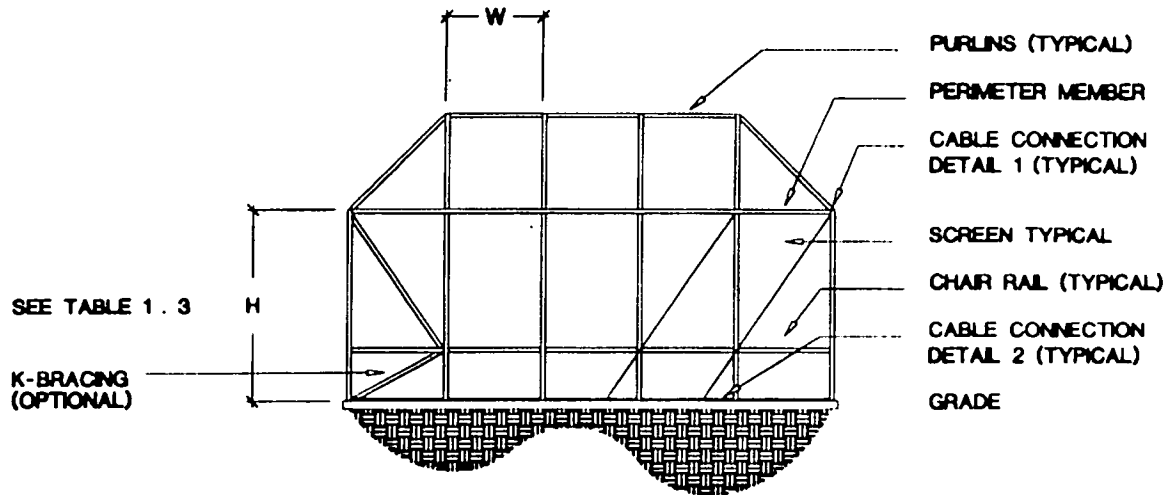
John Dewar  
 8 Riverview Dr.  
 Sewall's Point



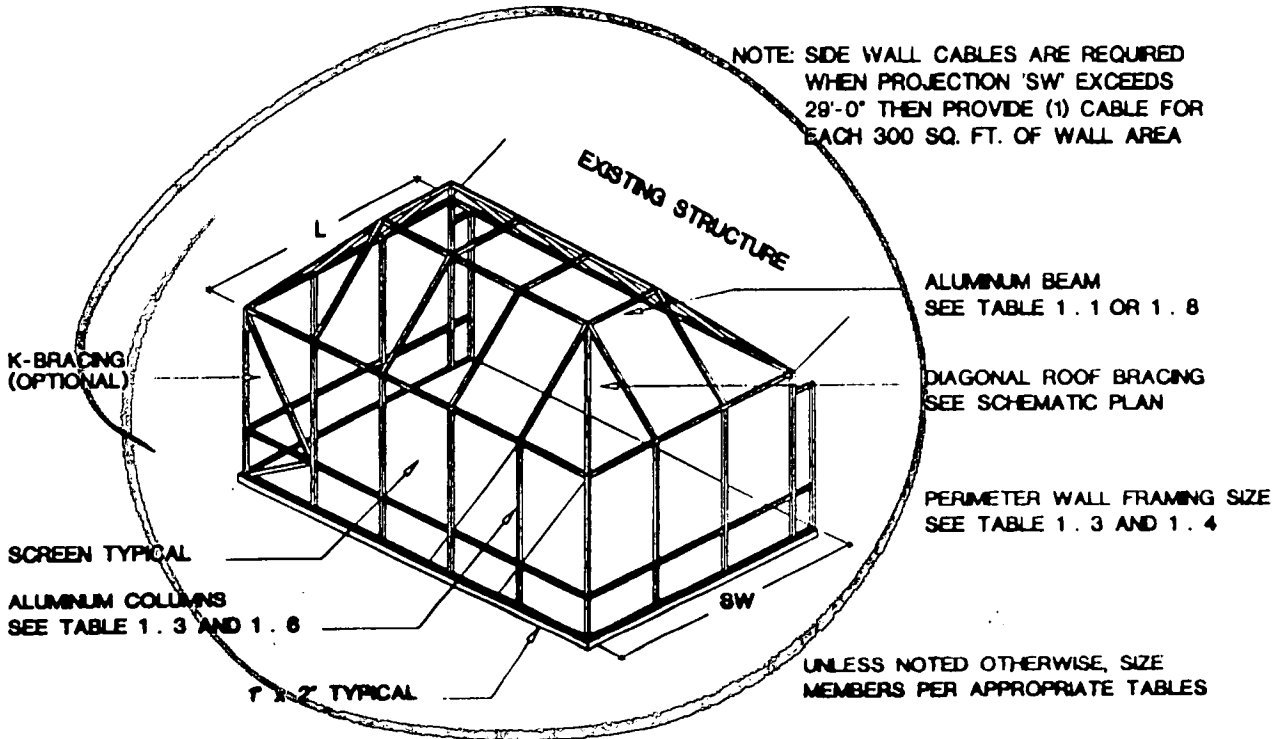


SECTION 1

SCREENED ENCLOSURES



TYPICAL MANSARD ROOF ELEVATION



TYPICAL MANSARD ROOF ISOMETRIC

**Lawrence E. Bennett, P.E.**  
 CIVIL ENGINEER - DEVELOPMENT CONSULTANT  
 P.O. BOX 4968, SOUTH DAYTONA, FL 32111  
 TELEPHONE (904) 787-4774  
 FAX (904) 787-8668

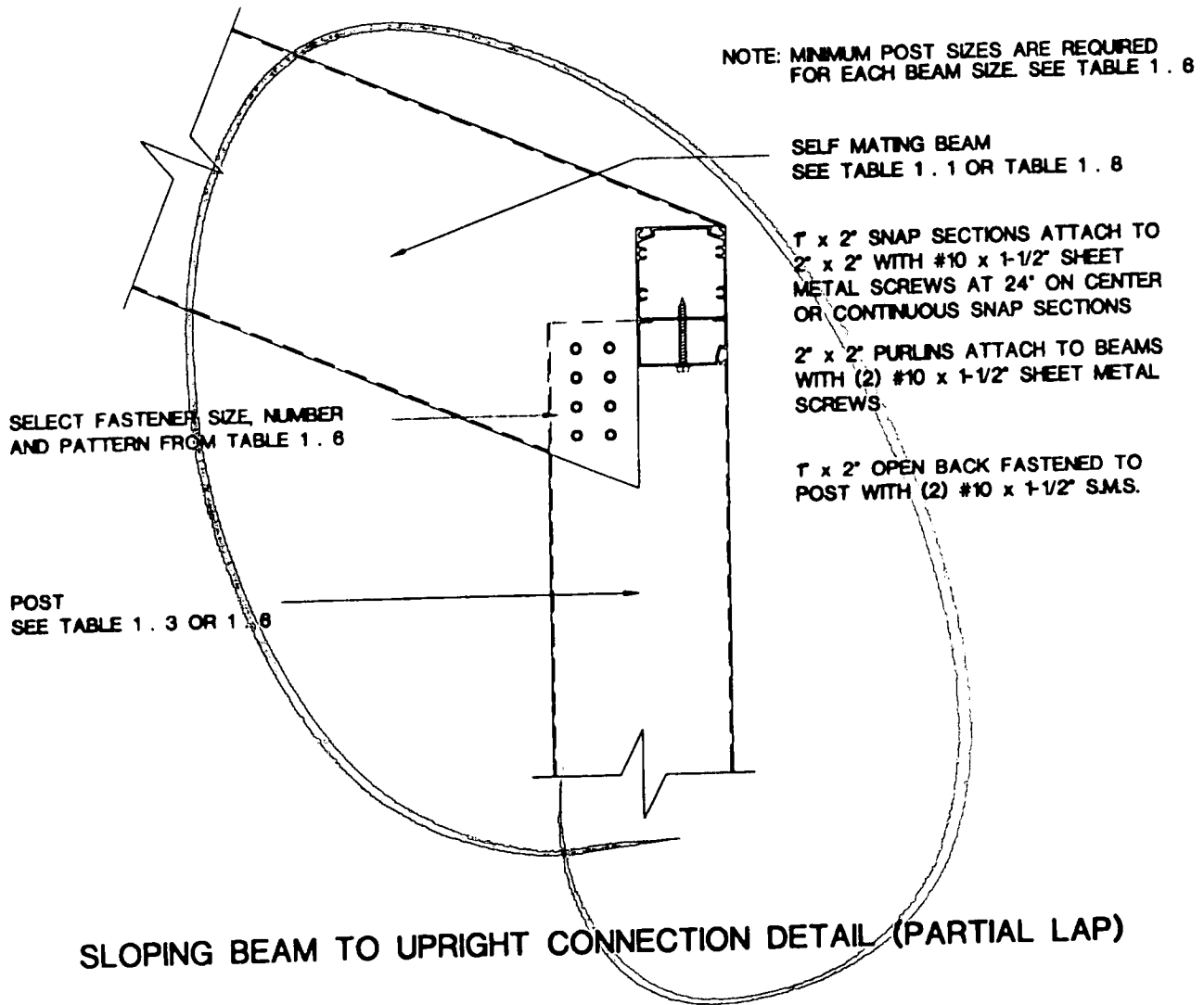
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NOTE: MINIMUM POST SIZES ARE REQUIRED FOR EACH BEAM SIZE. SEE TABLE 1.8

SELF MATING BEAM  
SEE TABLE 1.1 OR TABLE 1.8

1' x 2' SNAP SECTIONS ATTACH TO 2' x 2' WITH #10 x 1-1/2' SHEET METAL SCREWS AT 24" ON CENTER OR CONTINUOUS SNAP SECTIONS

2' x 2' PURLINS ATTACH TO BEAMS WITH (2) #10 x 1-1/2' SHEET METAL SCREWS.

1' x 2' OPEN BACK FASTENED TO POST WITH (2) #10 x 1-1/2' S.M.S.

SELECT FASTENER SIZE, NUMBER AND PATTERN FROM TABLE 1.8

POST  
SEE TABLE 1.3 OR 1.8

SLOPING BEAM TO UPRIGHT CONNECTION DETAIL (PARTIAL LAP)

Lawrence E. Bennett, P.E.  
CIVIL ENGINEER - DEVELOPMENT CONSULTANT  
P.O. BOX 4388, SOUTH DAYTONA, FL 32121  
TELEPHONE (904) 787-4774  
FAX (904) 787-6566

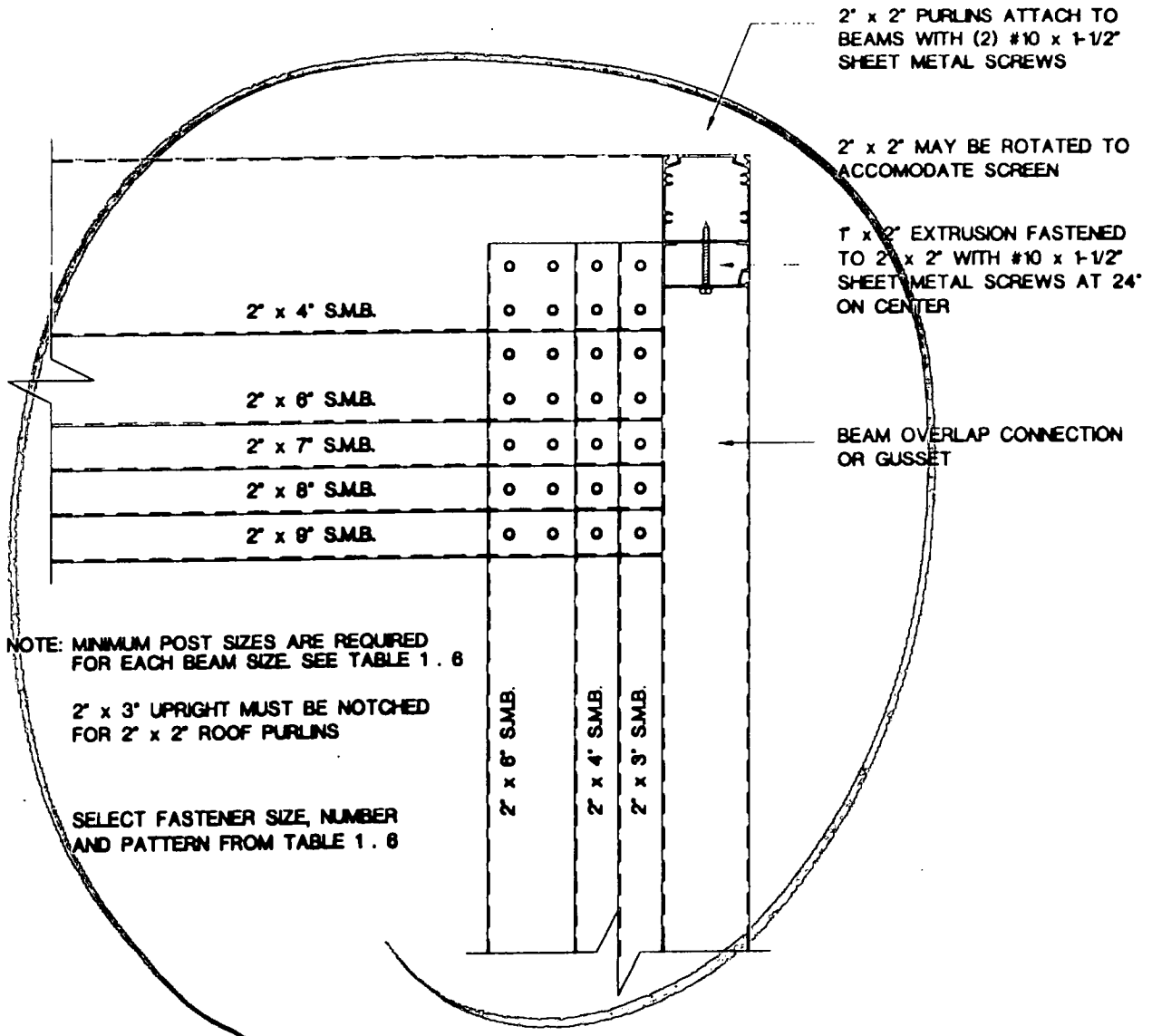
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HORIZONTAL BEAM TO UPRIGHT CONNECTION DETAIL (PARTIAL LAP)

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 CIVIL ENGINEER - DEVELOPMENT CONSULTANT  
 P.O. BOX 4368, SOUTH DAYTONA, FL 32121  
 TELEPHONE (904) 767-4774  
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1/4" x 2" LAG SCREWS @ 24"  
O.C. (MAX.) AND (2) @ EACH STRAP

2" WIDE x 0.050" (MIN.) STRAP  
SPACING PER LOCATION DETAIL

SELF MATING BEAM  
SIZE VARIES

RECEIVING CHANNEL  
2-1/8" x T WITH (3) #8 x 1/2"  
S.M.S. EACH SIDE OF BEAM

P. T. LUMBER BLOCKING  
(PREFERRED METHOD REQUIRED  
FOR SLOPES > 5" IN 12") @ EACH  
BEAM CONNECTION POINT

(2) EACH 16d NAILS OR (2)  
EACH #12 SCREWS AT EACH  
RAFTER MINIMUM EMBEDMENT  
(PRE-DRILL)

(2) #8 x 2" SCREWS @ EACH  
BRACKET

FASCIA  
SOFFIT

T x 2" x 0.082" FILLER ANGLE  
(ALLOWABLE ONLY WITH ROOF  
ANGLES LESS THAN 23 DEGREES,  
UP TO 5" IN 12" ROOF SLOPES)

MAXIMUM DISTANCE TO HOST  
STRUCTURE WALL 36" WITHOUT  
SITE SPECIFIC ENGINEERING

NOTE: #10 MAY BE SUBSTITUTED FOR  
#8 SCREWS. MULTIPLY NUMBER  
OF REQUIRED #8 SCREWS BY 0.8  
FOR REQUIRED #10 SCREWS

TYPICAL SELF MATING BEAM AND GUTTER CONNECTION

7/8" FERRULE WITH 3/8" x 8"  
LAG SCREWS @ EACH BEAM

SELF MATING BEAM  
SIZE VARIES

2" x 2" x 0.083" ANGLE WITH  
(4) #8 x 1/2" S.M.S. EACH SIDE  
TO BEAM AND SUPER GUTTER

1/4" x 2" LAG SCREWS 24" O.C.

OPTIONAL INTERNAL CHANNEL  
1/8" x 1-3/4" x 1-3/4" x 1-3/4"

RECEIVING CHANNEL  
2-1/8" x T WITH (3) #8 x 1/2"  
S.M.S. EACH SIDE OF BEAM

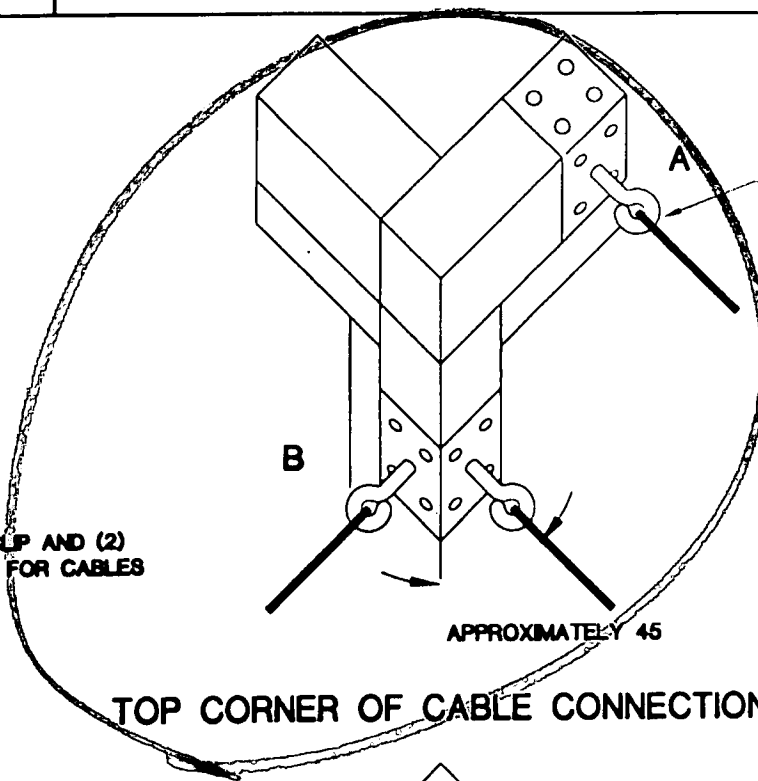
MAXIMUM DISTANCE TO HOST  
STRUCTURE WALL 36" WITHOUT  
SITE SPECIFIC ENGINEERING

TAIL CUT OFF BEAM OPTIONAL

TYPICAL SELF MATING BEAM AND GUTTER CONNECTION

Lawrence E. Bennett, P.E.  
CIVIL ENGINEER - DEVELOPMENT CONSULTANT  
P.O. BOX 4388, SOUTH DAYTONA, FL 32121  
TELEPHONE (904) 787-4774  
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EITHER A OR B

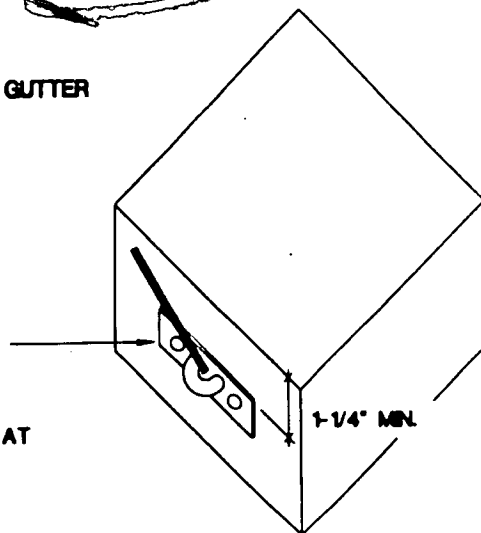
1" x 2" x 0.125" CLIP AND (2) S.M.S. EACH SIDE FOR CABLES

WELD EYE BOLTS CLOSED (TYPICAL)

APPROXIMATELY 45

TOP CORNER OF CABLE CONNECTION

ANGLE LOCATION FOR SUPER GUTTER REINFORCEMENT



1/4" TAPCON OR PIN GRIP

3/8" x 8" LAG WITH WASHER AT EACH END AND (1) AT EACH MID-SPAN

1-1/4" MIN.

BOTTOM OF CABLE CONNECTION

NOTE: SIDE WALL CABLES ARE NOT REQUIRED ON POOL CAGES THAT DO NOT EXTEND MORE THAN THREE PANEL WIDTHS OR 28'-0" FROM THE MAIN STRUCTURE. END WALL CABLES ARE REQUIRED IF THE SCREENED ENCLOSURE EXTENDS MORE THAN ONE PANEL WIDTH OR 8'-0" FROM THE MAIN STRUCTURE. THE USE OF BLIND OR INTERNAL SCREW CONNECTIONS IN THE CONSTRUCTION OF SCREENED ENCLOSURES IS ACCEPTABLE. (1) PAIR OF CABLES REQUIRED FOR EACH 300 SQ. FT. OF WALL AREA

**Lawrence E. Bennett, P.E.**  
 CIVIL ENGINEER - DEVELOPMENT CONSULTANT  
 P.O. BOX 4368, SOUTH DAYTONA, FL 32121  
 TELEPHONE (904) 787-4774  
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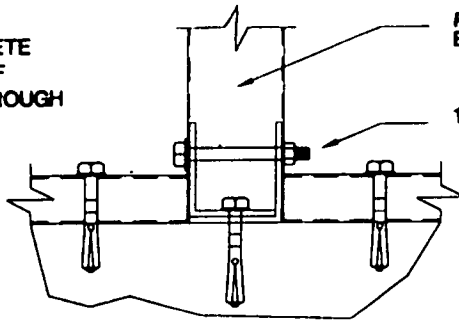
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ANCHOR  $T \times 2' \times 0.044'$  PLATE TO CONCRETE WITH  $1/4' \times 2-1/2'$  CONCRETE ANCHORS WITHIN 6" OF EACH SIDE OF EACH POST AT 24" O.C. MAX. OR THROUGH ANGLE AT 24" O.C. MAX.

POST SIZE DETERMINED BY ENGINEERING TABLES

$1/4'$  DIAMETER THRU-BOLTS

$T \times 2'$  EXTRUSION



MIN.  $3-1/2'$  SLAB 2500 P.S.I CONCRETE  
6 x 6 - 10 x 10 WELDED WIRE MESH OR FIBER MESH CONCRETE

VAPOR BARRIER UNDER CONCRETE

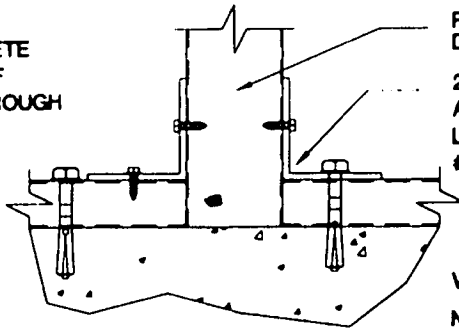
POST TO PLATE TO CONCRETE DETAIL

ANCHOR  $T \times 2' \times 0.044'$  PLATE TO CONCRETE WITH  $1/4' \times 2-1/2'$  CONCRETE ANCHORS WITHIN 6" OF EACH SIDE OF EACH POST AT 24" O.C. MAX. OR THROUGH ANGLE AT 24" O.C. MAX.

POSTS GREATER THAN  $2' \times 3'$  DETERMINED BY ENGINEERING TABLES

$2' \times 2' \times 1/8'$  ANGLE EACH SIDE ATTACH TO POST AND CONCRETE AT LOAD BEARING WALL WITH (2) MIN. #10 x  $1/2'$  S.M.S. EACH SIDE

$T \times 2'$  EXTRUSION



MIN.  $3-1/2'$  SLAB 2500 P.S.I CONCRETE  
6 x 6 - 10 x 10 WELDED WIRE MESH OR FIBER MESH CONCRETE

VAPOR BARRIER UNDER CONCRETE

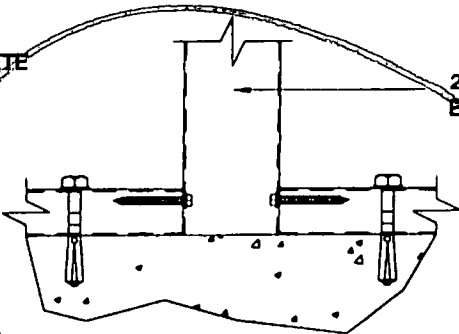
NOTE: ANGLES AS SHOWN ABOVE MAY BE USED TO CONNECT CHAIRRAILS AND PURLINS

ALTERNATE POST TO BEAM AND PLATE TO CONCRETE DETAIL

ANCHOR  $T \times 2' \times 0.044'$  PLATE TO CONCRETE WITH  $1/4' \times 2-1/4'$  CONCRETE ANCHORS WITHIN 6" OF EACH SIDE OF EACH POST AT 24" O.C. MAX.

$2' \times 4'$  POST AS DETERMINED BY ENGINEERING TABLE

$T \times 2'$  EXTRUSION



MIN.  $3-1/2'$  SLAB 2500 P.S.I CONCRETE  
6 x 6 - 10 x 10 WELDED WIRE MESH OR FIBER MESH CONCRETE

VAPOR BARRIER UNDER CONCRETE

SIDE WALL POST TO PLATE TO CONCRETE DETAIL

Lawrence E. Bennett, P.E.  
CIVIL ENGINEER - DEVELOPMENT CONSULTANT  
P.O. BOX 4368, SOUTH DAYTONA, FL 32121  
TELEPHONE (904) 787-4774  
FAX (904) 787-8558

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**Table 1.1: Allowable Spans For Primary Screen Roof Members**  
**Aluminum Alloy 6063 T-6**  
 For areas with wind loads less than 140 M.P.H. and  
 Latitudes below Latitude 30° North

Hollow Sections	Load Width "W" = Beam Spacing						
	3'-0"	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"	9'-0"
	Allowable Span "L"						
2" x 2" x 0.032"	11'-11"	10'-4"	9'-3"	8'-5"	7'-10"	7'-4"	6'-11"
2" x 2" x 0.036"	12'-5"	10'-9"	9'-8"	8'-10"	8'-2"	7'-7"	7'-2"
2" x 2" x 0.044"	13'-7"	11'-9"	10'-6"	9'-7"	8'-11"	8'-4"	7'-10"
2" x 2" x 0.055"	14'-10"	12'-10"	11'-6"	10'-6"	9'-9"	9'-1"	8'-7"
2" x 3" x 0.050"	20'-5"	17'-8"	15'-10"	14'-5"	13'-4"	12'-6"	11'-9"
2" x 4" x 0.050"	25'-3"	21'-10"	19'-7"	17'-10"	16'-6"	15'-5"	14'-7"

Self-Mating Sections	Load Width "W" = Beam Spacing						
	3'-0"	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"	9'-0"
	Allowable Span "L"						
2" x 4" x 0.038" x 0.100"	26'-7"	23'-1"	20'-7"	18'-10"	17'-5"	16'-4"	15'-4"
2" x 6" x 0.050" x 0.120"	39'-4"	34'-1"	30'-6"	27'-10"	25'-9"	24'-1"	22'-9"
<del>2" x 7" x 0.055" x 0.120"</del>	<del>44'-11"</del>	<del>38'-11"</del>	<del>34'-10"</del>	<del>31'-10"</del>	<del>29'-5"</del>	<del>27'-7"</del>	<del>25'-11"</del>
2" x 8" x 0.072" x 0.120"	57'-9"	50'-0"	44'-9"	40'-10"	37'-10"	35'-4"	33'-4"
2" x 9" x 0.072" x 0.224"	63'-2"	54'-8"	48'-11"	44'-8"	41'-4"	38'-8"	36'-6"
2" x 9" x 0.082" x 0.310"	68'-11"	59'-8"	53'-5"	48'-9"	45'-1"	42'-2"	39'-9"

Snap Sections	Load Width "W" = Beam Spacing						
	3'-0"	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"	9'-0"
	Allowable Span "L"						
2" x 2" x 0.041"	15'-7"	13'-6"	12'-1"	11'-1"	10'-3"	9'-7"	9'-0"
2" x 3" x 0.045"	20'-3"	17'-7"	15'-8"	14'-4"	13'-3"	12'-5"	11'-8"
2" x 4" x 0.045"	25'-1"	21'-9"	19'-5"	17'-9"	16'-5"	15'-5"	14'-6"
2" x 6" x 0.062"	42'-7"	36'-11"	33'-0"	30'-2"	27'-11"	26'-1"	24'-7"
2" x 7" x 0.062"	47'-9"	41'-4"	36'-11"	33'-9"	31'-3"	29'-3"	27'-7"

**Example:**

If beam spacing "W" = 4'-0".

Maximum "L" for a 2" x 4" x 0.044" x 0.12" Self-Mating Beam =

**23'-1"**

Interpolation of tables is allowed.

Above spans do not include length of knee brace. Add horizontal length of knee brace to above spans for total beam spans.

Purlin spacing shall not exceed 7'-0". For beam spans greater than 40'-0" the beam at the center purlin and one purlin for each 14'-0" on each side of the center purlin shall include lateral bracing as shown in detail (48'-0" span with p

**Note:**

It is recommended that the engineer be consulted on any screen enclosure that spans more than 55'-0" and as a minimum the upright used for screen enclosures over 55'-0" shall be one self-mating section smaller than the beam section.

**Lawrence E. Bennett, P.E.**

CIVIL ENGINEER - DEVELOPMENT CONSULTANT  
 P.O. BOX 4388, SOUTH DAYTONA, FL 32121  
 TELEPHONE (904) 767-4774  
 FAX (904) 767-8568

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**Table 1.3: Allowable Spans For Primary Screen Wall Members  
(Post / Upright Height)  
Aluminum Alloy 6063 T-6**

Hollow Sections	Load Width = Upright Spacing						
	3'-0"	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"	9'-0"
	Allowable Height "H"						
2" x 2" x 0.032"	8'-9"	7'-7"	6'-10"	6'-2"	5'-9"	5'-4"	5'-1"
2" x 2" x 0.036"	9'-2"	7'-11"	7'-1"	6'-5"	5'-11"	5'-7"	5'-3"
2" x 2" x 0.044"	9'-11"	8'-8"	7'-9"	7'-1"	6'-6"	6'-1"	5'-9"
2" x 2" x 0.055"	10'-11"	9'-5"	8'-5"	7'-8"	7'-2"	6'-8"	6'-3"
2" x 3" x 0.055"	14'-11"	12'-11"	11'-7"	10'-7"	9'-10"	9'-2"	8'-8"
2" x 4" x 0.050"	18'-6"	16'-0"	14'-4"	13'-1"	12'-1"	11'-4"	10'-8"

Self Mating Sections	Load Width = Upright Spacing						
	3'-0"	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"	9'-0"
	Allowable Height "H"						
2" x 4" x 0.038" x 0.100"	19'-6"	16'-11"	15'-2"	13'-10"	12'-9"	11'-11"	11'-3"
2" x 6" x 0.050" x 0.120"	28'-10"	25'-0"	22'-4"	20'-5"	18'-11"	17'-8"	16'-8"
2" x 7" x 0.055" x 0.120"	33'-0"	28'-7"	25'-7"	23'-4"	21'-7"	20'-3"	19'-1"
2" x 8" x 0.072" x 0.224"	42'-4"	36'-8"	32'-10"	29'-11"	27'-9"	25'-11"	24'-6"
2" x 9" x 0.072" x 0.224"	46'-4"	40'-2"	35'-11"	32'-9"	30'-4"	28'-5"	26'-9"
2" x 9" x 0.082" x 0.306"	50'-7"	43'-10"	39'-2"	35'-9"	33'-1"	30'-11"	29'-2"

Snap Sections	Load Width = Upright Spacing						
	3'-0"	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"	9'-0"
	Allowable Height "H"						
2" x 2" x 0.041"	11'-6"	9'-11"	8'-11"	8'-1"	7'-6"	7'-0"	6'-7"
2" x 3" x 0.045"	14'-10"	12'-11"	11'-6"	10'-6"	9'-9"	9'-1"	8'-7"
2" x 4" x 0.045"	18'-5"	15'-11"	14'-3"	13'-0"	12'-1"	11'-3"	10'-8"
2" x 6" x 0.062"	31'-3"	27'-1"	24'-3"	22'-1"	20'-6"	19'-2"	18'-1"
2" x 7" x 0.062"	35'-0"	30'-4"	27'-2"	24'-9"	22'-11"	21'-5"	20'-3"

\* Maximum chair rail spacing is 7'-0" o.c. Thus with chair rail @ 2'-6" the maximum wall height without additional chair rail is 9'-6".

Using screen panel width "W" select upright length "H".

Example:

Screen panel width "W" = 4'-0";

Maximum "H" for a 2" x 4" x 0.038" x 0.100" Self Mating Beam =

**16'-11"**

Lawrence E. Bennett, P.E.  
 CIVIL ENGINEER - DEVELOPMENT CONSULTANT  
 P.O. BOX 4388, SOUTH DAYTONA, FL 32121  
 TELEPHONE (904) 787-4774  
 FAX (904) 787-8558

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**Table 1.6: Minimum Upright Sizes and Number of Screws for Connection of Roof Beams To Wall Uprights or Beam Splicing**

Beam Size	Upright Size	Notes	* Minimum Number of Screws		
			#8 x 1/2"	#10 x 1/2"	#12 x 1/2"
2" x 3"	2" x 3"	No Splice	6	4	4
2" x 4"	2" x 3"		8	6	4
2" x 6"	2" x 3"	Full Lap	10	8	6
2" x 6"	2" x 4"	Partial Lap	10	8	6
2" x 7"	2" x 4"		14	12	10
2" x 8"	2" x 6"		16	14	12
2" x 9"	2" x 6"		18	16	14

Screw Size	Minimum Distance and Spacing of Screws	
	Edge To Center	Center To Center
#8	5/16"	5/8"
#10	3/8"	3/4"
#12	1/2"	1"

\* Refers to each side of the connection of the beam and upright.

**Note:**

Use full lap cut detail for 2" x 6" beam to 2" x 3" upright.

Connection of 2" x 6" to 2" x 3" not allowed for partial lap connections.

For beam to beam splice size and number of fasteners is per side per end of splice.

**Table 1.7: Minimum Size Screen Enclosure Knee Braces And Anchoring Required**  
Aluminum 6063 T-6

Brace Length	Extrusion	Anchoring System
0' - 2'-0"	2" x 2" x 0.044"	2" H Channel With (3) #10 x 1/2" EACH SIDE
To 3'-0"	2" x 3" x 0.050"	2" H-Channel With (3) #10 x 1/2" EACH SIDE
To 4'-6"	2" x 4" x 0.044" x 0.12"	Notch S.M.B. Over Beam And Upright (4) #10 x 1/2" Each Side

(See Table 1.6 For Number And Size Of Screws)

**Note:**

For Required Knee Braces Greater Than 4'-6" Contact Engineer For Specifications And Details.

**Lawrence E. Bennett, P.E.**  
CIVIL ENGINEER - DEVELOPMENT CONSULTANT  
P.O. BOX 4368, SOUTH DAYTONA, FL 32121  
TELEPHONE (904) 787-4774  
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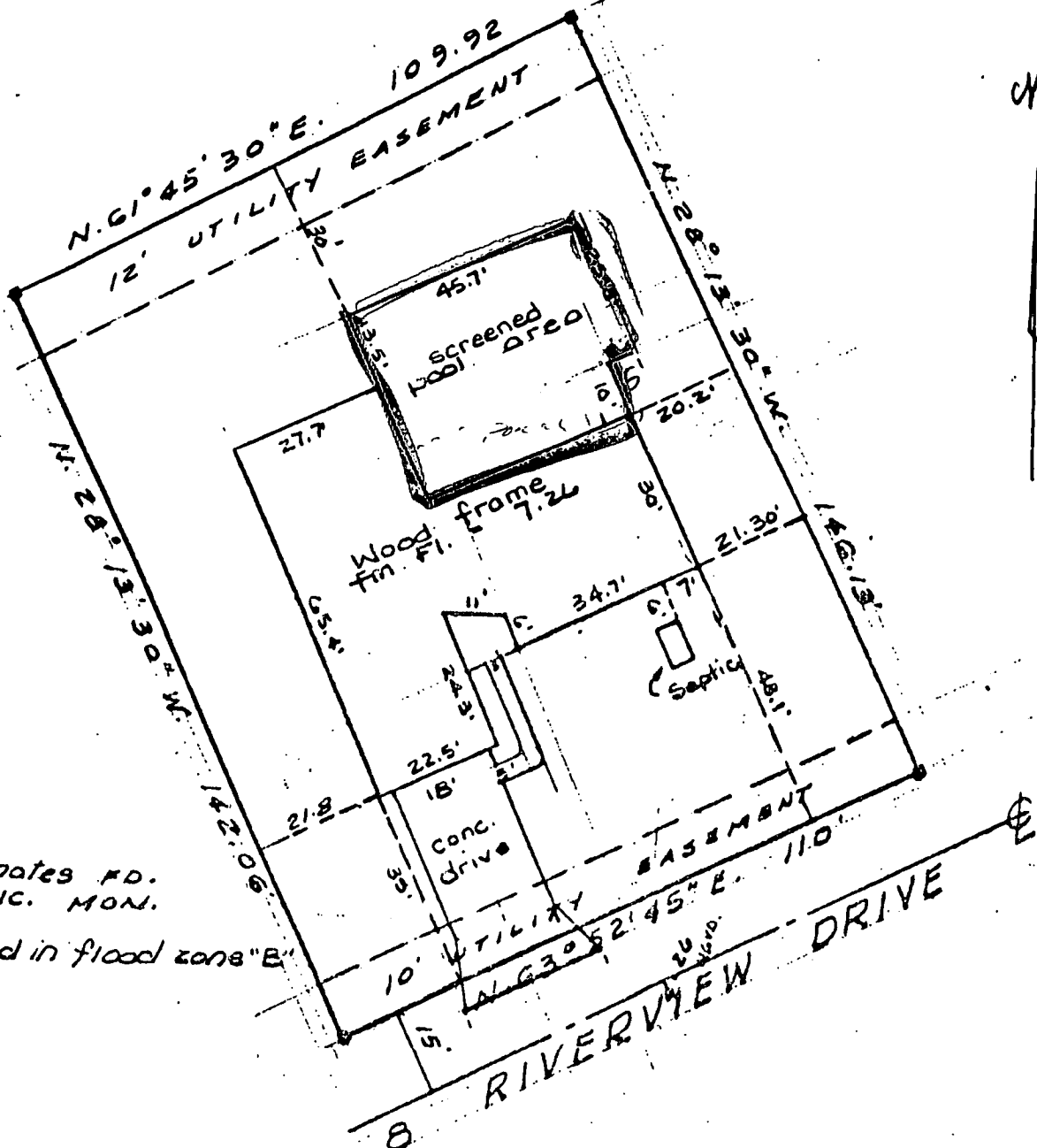
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• - Denotes F.D.  
 CONC. MON.  
 Located in flood zone "B"

**A SURVEY OF**  
**LOT 7**

**RIVERVIEW**

According to the plat thereof as recorded in plat book 6, page 86  
 public records of Martin County, Florida.

for

**BETTY S. & JOHN R. DEWAARD**

This survey meets the minimum technical standards for Land Surveying in Florida, as prescribed in Chapter 21HH-6, F.A.C. updated 5-28-86 (WLL)

SCALE: 1" = 30'	DATE: 8-3-78	PLAT BOOK: 6	PAGE: 86
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I Hereby Certify that the sketch shown hereon is a correct representation of a survey done under my direction and is true and correct to the best of my knowledge and belief. I Hereby Certify to First National Bank & Trust Company of Stuart and their successors or assigns, Crary, Buchanan, Bowdish & Bovie, Chartered, Betty S. and John R. Dewaard that the sketch shown hereon is a correct representation of a survey done under my direction and is true and correct to the best of my knowledge and belief. There are no encroachments unless otherwise shown.

**DON WILLIAMS & ASSOCIATES, INC.**  
 LAND SURVEYORS  
 P.O. BOX 2301 STUART, FLORIDA

*W.L. Williams*  
 W.L. WILLIAMS  
 R.L.S. FLA. REG. No. 1272

F.B. 167 P. 74  
 W.O. 77

**1186**

**POOL**

Permit No. 1186

TOWN OF SEVALL'S POINT, FLORIDA

Date \_\_\_\_\_

APPLICATION FOR A PERMIT TO BUILD A POOL, FENCE, POOL SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing setbacks, plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner Sevall's Point Present address Sevall's Point

Contractor W. J. ... Address 1111 ...

Where licensed FL License number 11111

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure or addition or alteration to an existing structure, for which this permit is sought. Pool

State the street address at which the proposed structure will be built: Sevall's Point

Subdivision \_\_\_\_\_ Note No. 1

Contract prices \_\_\_\_\_ Cost of permits \_\_\_\_\_

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sevall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, collecting the area for trash, soap, building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sevall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "red-tagging" the construction project.

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sevall's Point before final approval by a Building Inspector or a Town Commissioner will be given.

Contractor W. J. ... Date submitted \_\_\_\_\_

Approved: \_\_\_\_\_ Date \_\_\_\_\_

Approved: \_\_\_\_\_ Date \_\_\_\_\_

Final Approval given \_\_\_\_\_ Date \_\_\_\_\_

Certificate of Occupancy issued \_\_\_\_\_ Date \_\_\_\_\_

SEVALL-79  
1186

RECEIVED JUL 27 1981

**4523**

**SCREEN**

**ENCLOSURE**

Date 12-17-98

BUILDING PERMIT NO. 4523

Building to be erected for John Deward Type of Permit Screen Enc.

Applied for by Coastal Aluminum Const. (Contractor) Building Fee \_\_\_\_\_

Subdivision Riverview Lot 7 Block \_\_\_\_\_ Radon Fee \_\_\_\_\_

Address 8 Riverview Dr. Impact Fee \_\_\_\_\_

Type of structure Screen enclosure A/C Fee \_\_\_\_\_

Parcel Control Number:

12 384100 1000000703 0000 Electrical Fee \_\_\_\_\_

Amount Paid 25<sup>xx</sup> Check # 2466 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 2350.- TOTAL Fees 25.-

Signed [Signature] Signed [Signature]

Applicant

Town Building Inspector

# SCREEN ENCLOSURE PERMIT

INSPECTIONS			
SETBACKS	DATE _____	STEEL & BOND FINAL	DATE _____ DATE <u>12-23-98</u>
24 HOURS NOTICE REQUIRED FOR INSPECTIONS.		CALL 287-2455	
<b>WORK HOURS - 8:00 AM UNTIL 5:00 PM</b>			
MONDAY THROUGH SATURDAY			

New Construction    Remodel    Addition    Demolition

**This permit must be visible from the street, accessible to the inspector.  
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,  
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.  
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**

Town of Sewall's Point

P.L.N. \_\_\_\_\_

Date 12-16-98

BUILDING PERMIT APPLICATION

to construct

NEW CONSTRUCTION  ADDITION  ALTERATION  DEMOLITION

RESIDENTIAL  COMMERCIAL \_\_\_\_\_ SF

# 25-00  
# 4523 CF

OTHER: Screen Enclosure CONTRACT PRICE \$2250.00

Owner's Name John Dewaard

Owner's Address 8 Riverview Drive

Fee Simple Titleholder's Name (If other than owner) \_\_\_\_\_

Fee Simple Titleholder's Address (If other than owner) \_\_\_\_\_

City Stuart State FL Zip 34996

Contractor's Name Instal Aluminum Const., Inc. 871-0223

Contractor's Address 2738 SW Edgemoor St.

City Port St. Lucie State FL Zip 34953

Job Name Dewaard

Job Address same

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Legal Description 12-38-41-001-000-0007.0-30000

Bonding Company \_\_\_\_\_

Bonding Company Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Architect/Engineer's Name lg Bennett

Architect/Engineer's Address \_\_\_\_\_

Mortgage Lender's Name \_\_\_\_\_

Mortgage Lender's Address \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

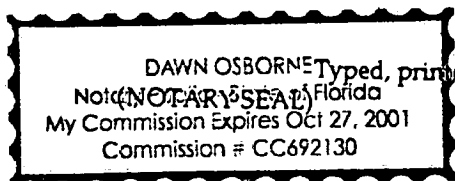
IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

John R. DeMaard Owner or Agent Nov 30, 1998 Date

[Signature] Contractor 12-1-98 Date

COUNTY OF MARTIN  
STATE OF FLORIDA

Sworn to and subscribed before me this 20th day of Nov, 1998 by John DeMaard who: [  ] is/are personally known to me, or [  ] has/have produced as identification, and who did not take an oath.

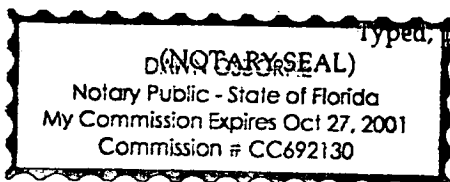


Name: DAWN OSBORNE

I am a Notary Public of the State of Florida having a commission number of CC692130 and my commission expires: 10/27/01

STATE OF FLORIDA  
COUNTY OF MARTIN

Sworn to and subscribed before me this 20th day of Nov, 1998 by Richard Sharp who: [  ] is/are personally known to me, or [  ] has/have produced as identification, and who did not take an oath.



Name: DAWN OSBORNE

I am a Notary Public of the State of Florida having a commission number of CC692130 and my commission expires: 10/27/01

Certificate of Competency Holder

Contractor's State Certification or Registration No. SCC056660

Contractor's Certificate of Competency No. \_\_\_\_\_

APPLICATION APPROVED BY \_\_\_\_\_ Permit Officer

\_\_\_\_\_ Building Commissioner



Lawrence E. Bennett  
Civil Engineer & Development Consultant  
P.O. Box 4368  
South Daytona, FL 32121  
Telephone 904-767-4774  
Fax 904-767-6556

January 02, 1998

TO ALL BUILDING DEPARTMENTS

Re: 1998 "Aluminum Structures Design Manual"  
Master File Engineering

Plans Examiner,

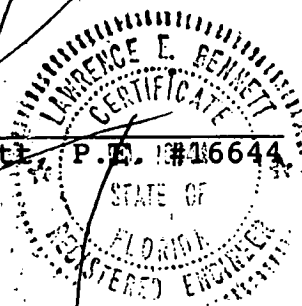
This is to certify that the following contractor and/or  
AAF Chapter/Member is hereby authorized to use my 1998  
"Aluminum Structures Design Manual". This authorization  
also applies to any signed and sealed Master File drawings,  
"One Permit Only" drawings or any site specific drawings  
I may furnish the contractor.

AAF Treasure Coast  
Coastal Aluminum Construction  
1623 SW Macedo Blvd  
Pt St Lucie FL 34984

Thank you for your assistance.

Sincerely,

Lawrence E. Bennett, P.E. #16644

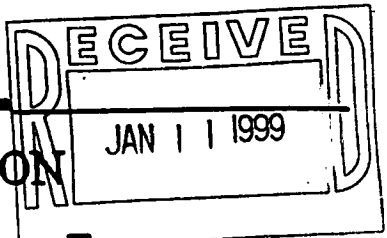


**4532**

**RE-ROOF**

Permit  
4532

# Town of Sewall's Point



PLN \_\_\_\_\_

Date JAN 11 1999

Paid 120.00

## BUILDING PERMIT APPLICATION

to construct:

NEW CONSTRUCTION     ADDITION     ALTERATION     DEMOLITION

RESIDENTIAL     COMMERCIAL    \_\_\_\_\_ SF    \_\_\_\_\_ CF

OTHER: REROOF    CONTRACT PRICE 11,125<sup>00</sup>

Owner's Name JOHN DEWAARD

Owner's Address 8 RIVERVIEW DRIVE, STUART, FLA.

Fee Simple Titleholder's Name (If other than owner) N/A

Fee Simple Titleholder's Address (If other than owner) \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Contractor's Name SAMUEL E. CHASS

Contractor's Address 1218 SW. MANCUSO AVE

City PT. ST. LUCIE    State FL.    Zip 34953

Job Name DEWAARD RESIDENCE

Job Address 8 RIVERVIEW DR.

City STUART    State FLA.    Zip \_\_\_\_\_

TAX 12384 1001 000000 70300

X Legal Description \_\_\_\_\_

Bonding Company N/A

Bonding Company Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Architect/Engineer's Name NONE

Architect/Engineer's Address \_\_\_\_\_

Mortgage Lender's Name NONE

Mortgage Lender's Address \_\_\_\_\_

REMOVE EXISTING WOODSHAKE, SHEET OVER STRIPPING WITH 5/8 PLYWOOD (100MMB)  
DRY-IN WITH 30LB ASTM, SHINGLES WITH 30YR GAF TIMBERLINE

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

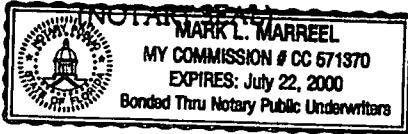
IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

John R. DeNeard  
Owner or Agent  
Jan 9, 1999  
Date  
[Signature]  
Contractor  
1/11/99  
Date

COUNTY OF MARTIN  
STATE OF FLORIDA

Sworn to and subscribed before me this 9<sup>th</sup> day of Jan, 1999, by John R. DeNeard who: [ ] is/are personally known to me, or [X] has/have produced FL DL as identification, and who did not take an oath.

Name: [Signature]  
Typed, printed or stamped

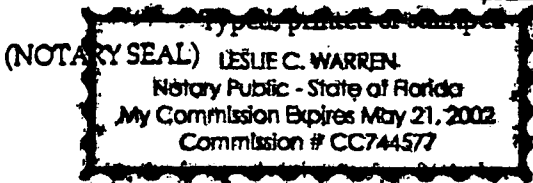


I am a Notary Public of the State of Florida having a commission number of \_\_\_\_\_ and my commission expires: \_\_\_\_\_

STATE OF FLORIDA  
COUNTY OF MARTIN

Sworn to and subscribed before me this 11 day of January, 1999, by Samuel Chess who: [ ] is/are personally known to me, or [X] has/have produced FL DL C200-78557 as identification, and who did not take an oath. 336-0 x 2003

Name: Leslie C. Warren



I am a Notary Public of the State of Florida having a commission number of \_\_\_\_\_ and my commission expires: \_\_\_\_\_

Certificate of Competency Holder

Contractor's State Certification or Registration No. RC 0061026

Contractor's Certificate of Competency No. SP 00320

APPLICATION APPROVED BY \_\_\_\_\_ Permit Officer

\_\_\_\_\_  
Building Commissioner

PERMIT # 4532

TAX FOLIO # 12384100100000070300

### NOTICE OF COMMENCEMENT

STATE OF Florida

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

X LOT 8 SEWARD PT. 512 T38 241 RIVERVIEW

GENERAL DESCRIPTION OF IMPROVEMENT: RENOV

OWNER: JOHN DEWAARD

ADDRESS: 8 RIVERVIEW DRIVE STUART, FLA.

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

CONTRACTOR: SAMUEL E. CHES

ADDRESS: 1213 SW MANASSO AVE A ST. LUCIS FL. 34953

PHONE #: 336+2192 FAX #: \_\_\_\_\_

SURETY COMPANY (IF ANY) N/A

ADDRESS: \_\_\_\_\_

PHONE # \_\_\_\_\_ FAX #: \_\_\_\_\_

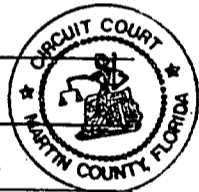
BOND AMOUNT: N/A

LENDER: NONE

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

STATE OF FLORIDA  
MARTIN COUNTY  
THIS IS TO CERTIFY THAT THE  
FOREGOING 1 PAGES IS A TRUE  
AND CORRECT COPY OF THE ORIGINAL.  
MARSHA STILLER, CLERK  
BY Charlott B... 20.C.  
DATE 1-11-99



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: SAME

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

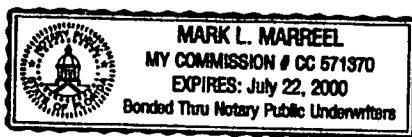
EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_  
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

X John R. DeWard  
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 9<sup>th</sup> DAY OF January 1999 BY John DeWard

X Mark L. Marreel  
NOTARY SIGNATURE

OR PERSONALLY KNOWN J  
PRODUCED ID J  
TYPE OF ID FL Driver License



**7912**

**SCREEN**

**ENCLOSURE**



**STATE OF FLORIDA**

**DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION**

**CONSTRUCTION INDUSTRY LICENSING BOARD  
1940 NORTH MONROE STREET  
TALLAHASSEE FL 32399-0783**

**(850) 487-1395**

**STARK, ROBERT FRANK  
STRUCTURE-CON LLC  
1555 NE OCEAN BOULEVARD SUITE 303  
STUART FL 34996**

**STATE OF FLORIDA** AC# 1487441  
**DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION**

**CGC061033 07/14/04 040015059**

**CERTIFIED GENERAL CONTRACTOR  
STARK, ROBERT FRANK  
STRUCTURE-CON LLC**

IS CERTIFIED under the provisions of Ch. 489 FS.  
Expiration date: AUG 31, 2006 L04071400951

DETACH HERE

1487441

**STATE OF FLORIDA**

**DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD**

**SEQ# L04071400951**

DATE	BATCH NUMBER	LICENSE NBR
07/14/2004	040015059	CGC061033

**Robert Stark, Robert Frank  
is a GENERAL CONTRACTOR  
named below IS CERTIFIED  
under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2006**

**STARK, ROBERT FRANK  
STRUCTURE-CON LLC  
1555 NE OCEAN BOULEVARD SUITE 303  
STUART FL 34996**

JEB BUSH

**DIANE CARR**

**2005-2006 MARTIN COUNTY ORIGINAL  
COUNTY OCCUPATIONAL LICENSE**

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995  
(772) 288-5604

LICENSE ~~2003-513-025~~ CERT CGC061033

PHONE ~~(772)232-2742~~ DC NO 233130

LOCATION:  
**1555 NE OCEAN BLVD 302 STU**

**CHARACTER COUNTS IN MARTIN COUNTY**

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>.00</u>
\$	<u>.00</u>	COL FEE \$	<u>.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>.00</u>
TOTAL		<u>25.00</u>	

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION  
OF **GENERAL CONTRACTOR**

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

15 DAY OF AUGUST 05  
AND ENDING SEPTEMBER 24 2006

12 00002004 001230



**ROBERT F  
STRUCTURE-CON, LLC  
1555 NE OCEAN BLVD STE 303  
STUART FL 34996**



TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # \_\_\_\_\_

TAX FOLIO # 12-3841-001-000.00570-3

**NOTICE OF COMMENCEMENT**

STATE OF Florida

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):  
8 Riverview Dr, Seewalls Pt. FL 34956  
Riverview SID LOT 7

GENERAL DESCRIPTION OF IMPROVEMENT: Replaced Screen Pool Enclosure

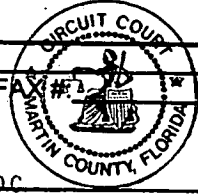
OWNER: John DeWard  
ADDRESS: 8 Riverview Dr  
PHONE #: 772 283 5920 FAX #: \_\_\_\_\_

INTEREST IN PROPERTY: OWNED

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

CONTRACTOR: Structures - Com  
ADDRESS: 1555 NE Ocean Blvd  
PHONE #: 772 232 2757 OF FLORIDA  
MARTIN COUNTY FAX #: 772 915 0869

SURETY COMPANY (IF ANY) \_\_\_\_\_ THIS IS TO CERTIFY THAT THE  
ADDRESS: \_\_\_\_\_ FOREGOING \_\_\_\_\_ PAGES IS A TRUE  
PHONE # \_\_\_\_\_ AND CORRECT COPY OF THE ORIGINAL.  
BOND AMOUNT: \_\_\_\_\_ MARSHA EWING, CLERK



LENDER/MORTGAGE COMPANY BY \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ DATE 11-23-05  
PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES \_\_\_\_\_  
OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S  
NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.  
PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

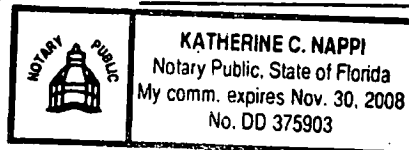
EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_  
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

John DeWard  
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 16 DAY OF Nov 2005  
BY \_\_\_\_\_

Katherine C Nappi  
NOTARY SIGNATURE

PERSONALLY KNOWN   
OR PRODUCED ID \_\_\_\_\_  
TYPE OF ID \_\_\_\_\_



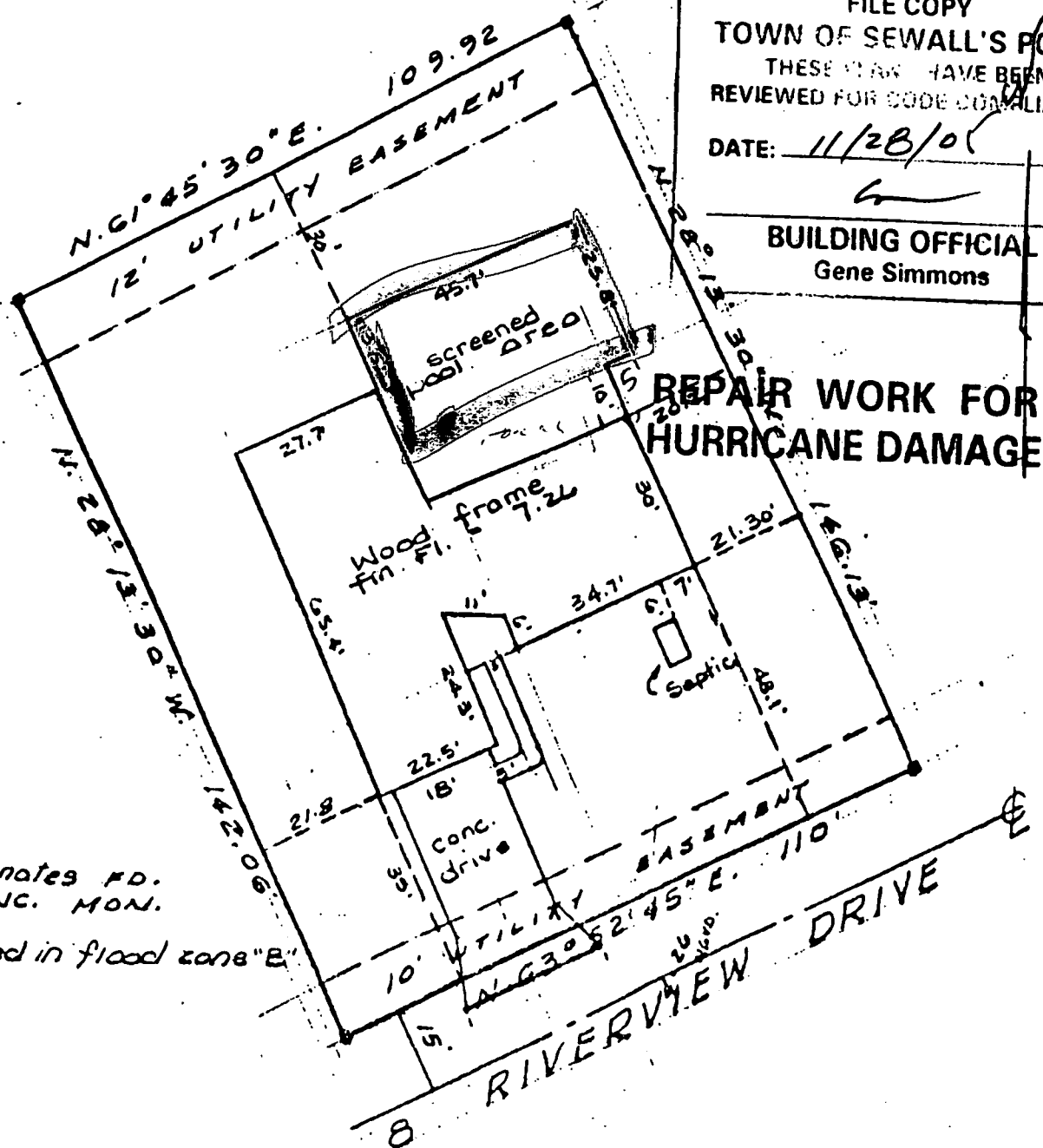
02/06/03

INSTR # 1891138 DR BK 02085 PG 1846 RECD 11/23/2005 11:24:13 AM  
MARSHA EWING MARTIN COUNTY DEPUTY CLERK S Phoenix

FILE COPY  
 TOWN OF SEWALL'S POINT  
 THESE PLANS HAVE BEEN  
 REVIEWED FOR CODE COMPLIANCE

DATE: 11/28/06

BUILDING OFFICIAL  
 Gene Simmons



**REPAIR WORK FOR  
 HURRICANE DAMAGE**

• - Denotes F.D.  
 CONC. MON.  
 Located in flood zone "B"

A SURVEY OF

LOT 7

RIVERVIEW

According to the plat thereof as recorded in plat book G, page 86  
 public records of Martin County, Florida.

for

BETTY S. & JOHN R. DEWAARD

This survey meets the minimum technical standards for Land  
 Surveying in Florida, as prescribed in Chapter 21111-6, F.A.C.

updated 5-28-06  
 (WLD)

SCALE: 1" = 30'	DATE: 8-3-78	PLAT BOOK: G	PAGE: 86
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MARTIN COUNTY BUILDING SERVICES DEPARTMENT  
2401 S.E. MONTEREY ROAD  
STUART, FL. 34996  
(772) 288-5916

CSM ENGINEERS

DESIGN CERTIFICATION FOR WIND LOAD  
COMPLIANCE BY ARCHITECT OR ENGINEER  
OF RECORD

PROJECT NAME AND ADDRESS

BUILDING DEPARTMENT USE ONLY

DEWAARD

BLDG. PERMIT#

8 RIVERVIEW DRIVE

OCCUPANCY TYPE

STUART, FLORIDA 34996

CONST. TYPE

COMMENTS

STATEMENT

I certify that, to the best of my knowledge and belief, these plans and specifications have been designed to comply with the applicable structural portion of the Building Codes as amended, adopted, and enforced by Martin County Building Department. I also certify that the structural components, systems, and related elements provide adequate resistance to the wind loads and forces specified by the current Code provisions. I herby accept responsibility for the structural design.

DESIGN PARAMETERS AND ANALYSIS

CODE EDITIONS: 2001 FLORIDA BUILDING CODE  
CHAPTER 6 OF ASCE 7-98

BUILDING DESIGN AS: PARTIALLY ENCLOSED  ENCLOSED  OPEN   
WIND TUNNEL TEST

BASIC WIND SPEED: WEST OF TURNPIKE 130 MPH 3 SECOND GUST   
EAST OF TURNPIKE 140 MPH 3 SECOND GUST

BUILDING CATEGORY I  II  III  IV

WIND IMPORTANCE/USE FACTOR 1.0

INTERNAL PRESSURE COEFFICIENT n/a

GARAGE DOOR DESIGN PRESSURE n/a +psf (positive) n/a -psf (negative)

DOOR DESIGN PRESSURE (INT. ZONE) n/a +psf n/a -psf (END ZONE) n/a +psf n/a -psf

WINDOW DESIGN PRESSURE (INT. ZONE) n/a +psf n/a -psf (END ZONE) n/a +psf n/a -psf

EXPOSURE C

IMPACT PROTECTION (EXTERIOR OPENINGS): APPROVED SHUTTERS  IMPACT RESIST. GLASS

(MUST BE INDICATED ON PERMIT DOCUMENTS FOR ALL RESIDENTIAL/COMMERCIAL BUILDINGS, ALTERATIONS, AND RENOVATIONS)

NOTE: ACTUAL DESIGN PRESSURES FOR ALL EXTERIOR WINDOWS, DOORS, GARAGE DOORS, AND SIMILAR ENVELOPE ELEMENTS MUST ALSO BE INDICATED ON CONSTRUCTION PLANS.

As witnessed by my seal, I hereby certify that the above information is true and correct to the best of my knowledge.

NAME JUDY PERKINS

CERTIFICATION # FL 62332

DATE 11/11/2005

DESIGN FIRM CSM ENGINEERS

OTHER

SEAL

Judy Perkins  
11/11/05

# Design Procedure / Checklist

Using: AAF Guide to Aluminum Construction in High Wind Areas  
Chapter 1 / Screened Enclosures

Florida Building Code  
Importance Factor .77  
Structure Type: Screen  
Wind Zone 140 mph  
Exposure C

Designer: CSM ENGINEERS Owner: DEWAARD, John

Contractor: STRUCTURE CON Date: \_\_\_\_\_

Jobsite Address or Property Description: 8 River View Dr. Stuart, FL

Overall Dimensions: Length: 45'-5" (ft) Width: 25'-9" (ft)

Screen Wall / Eave Height: 8'-9 1/4" (ft); Height Overall: 12'-0 5/8"

Roof Style / Configuration: Mansard / Peak

Beam Design (Check Appropriate)  Simple  Mansard  Gable

A) Select Primary Screen Roof Members (Table 101e, Page 1-56)

Beam Span: 24'-2 1/2" (ft) Spaced @ 7' (ft); Select: 2 X 10 SMB

B) Select Primary Screen Wall Members (Columns Supporting Beams): (Table 102e, p. 1-65)

Post/Column Span: 8'-9 1/4" (ft) (Spacing per Item A); Select: 2 X 5 →

USING (Stronger from Table 102 OR Beam Minimum from Table 108, p 1-18 or 1-19): 2 X 6

C) Select Non-Bearing Screen Wall Members: (Table 102e, p. 1-65)

Post/Column Span: 8'-9 1/4" (ft) Spaced @ 6'-2"; Select: 2 X 6

D) Foundation and Post Connection: (Tables 105 & 106, p.1-14)

Foundation Type / Detail Reference: F 1 & Dimensions (F2 or F3): 45'-9" x 26'-1"

Load Condition (Table 107, p. 17): 1 2 3 Using Connection Detail: C1

E) Eave Connection Detail - Page 1-24

Fasten with 4 Each # 14 SMS (#12 or #14, Table 108) per side per end

F) Mitered Beam Splice Fastening: (Table 109, pp. 1-25) Splice Plate Thickness 1/4" 3/16"

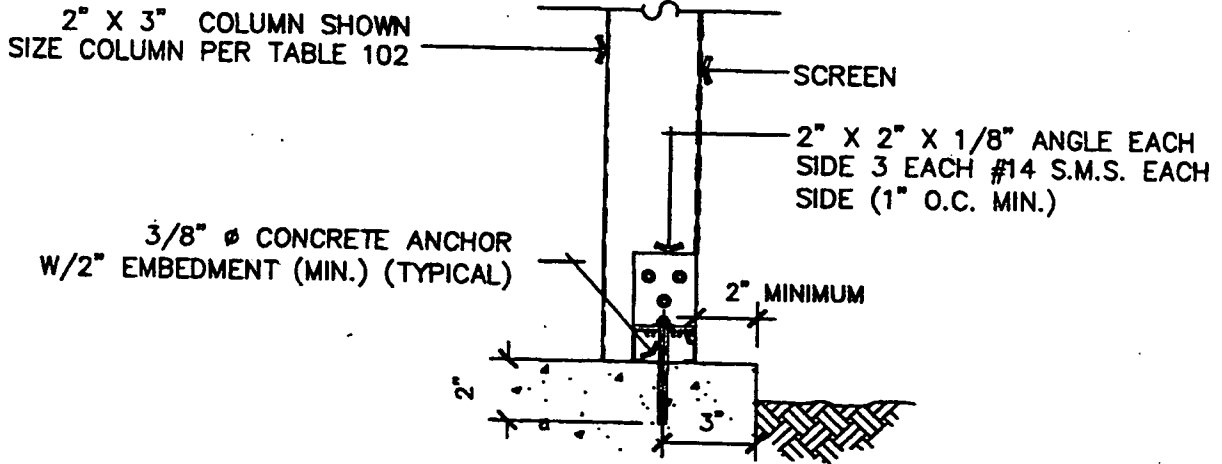
#14 SMS per end per side 24 Totals #14 SMS Per Splice 96

All purlins 2X2X.045" Hollow, Girts (Select from Table 103, p 1-70)  2X2 Hollow, OR \_\_\_\_\_

G) Cable Bracing: (Table 115, p. 1-70) Do Laterally Supported Walls project more than 20 ft?  Y

	Wall Marked:	Exposed Area:	Bracing Pairs:
1	Right	225 <sup>ft²</sup>	2
2	Front	397 <sup>ft²</sup>	5
3	Left	47 <sup>ft²</sup>	1
4	Back		

# Chapter 1 - SCREEN ENCLOSURES



## COLUMN / FOUNDATION FASTENING FOR LOAD CONDITION 1

C1  
1

LOAD CONDITION 1 - CONNECTION UPLIFT CAPACITY = 1,100#  
CONNECTION SHEAR CAPACITY = 228#

**NOTES:**

- 1) COLUMN MAY NOT BE LARGER THAN 2" X 3" FOR THIS CONNECTION.
- 2) 2 EACH X 3/8" DIA. BOLTS MAY BE SUBSTITUTED FOR THE 3 EACH #14 SMS (2 THRU BOLTS REPLACE 6 SCREWS)
- 3) CONCRETE FASTENERS MUST HAVE A [MINIMUM] ULTIMATE TENSION CAPACITY OF 2,560# OR A WORKING [MINIMUM] TENSION CAPACITY OF 640#, AND, A MINIMUM WORKING SHEAR CAPACITY OF 300# (DO NOT SUBSTITUTE CONCRETE ANCHORS OF LARGER DIAMETER, SMALLER DIAMETER ANCHORS MAY BE SUBSTITUTED SO LONG AS FASTENER CONFORMS TO LOAD SPECIFICATIONS)

Fastening Requirements for Screen Enclosure Posts										Table 107
Foundation Fastening Load Conditions - Refer to C1 Detail by Load Condition										
BEAM	MIN POST	Post & Beam Spacing								
		4.0	4.5	5.0	5.5	6.0	6.5	7.0	7.5	8.0
2 X 4 X 0.045 X 0.100 SMB	2X3	1	1	1	1	1	1	1	1	1
2 X 5 X 0.050 X 0.116 SMB	2X3	1	1	1	1	1	1	1	1	1
2 X 6 X 0.050 X 0.120 SMB	2X3	1	1	1	1	1	1	1	1	1
2 X 7 X 0.055 X 0.120 SMB	2X4	2	2	2	2	2	2	2	2	2
2 X 8 X 0.072 X 0.224 SMB	2X4	2	2	2	2	2	2	2	2	2
2 X 9 X 0.072 X 0.224 SMB	2X5	2	2	2	2	2	2	2	2	2
2 X 9 X 0.082 X 0.306 SMB	2X5	2	2	2	3	3	3	3	3	3
2 X 10 X 0.092 X 0.388 SMB	2X6	3	3	3	3	3	3	3	3	3

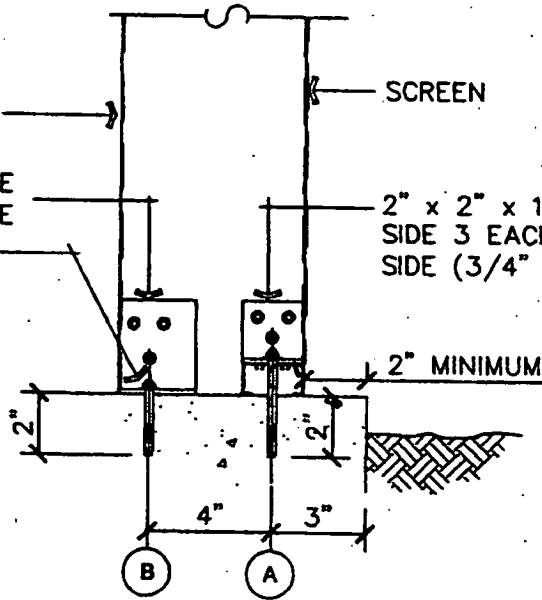
Note: If post design requires 2X4, use detail C2. If tabular value is 3, minimum post size is 2X6.

# Chapter 1 - SCREEN ENCLOSURES

2" X 6" SMB COLUMN (SHOWN)  
(COLUMN SIZED PER TABLE 102)

2" X 3" X 5/16" ANGLE  
BY 3" LONG EACH SIDE  
3/8" DIA CONCRETE ANCHOR  
W/2" EMBEDMENT (MIN.)

DO NOT SUBSTITUTE LARGER  
DIAMETER CONCRETE ANCHORS



## COLUMN/FOUNDATION FASTENING FOR LOAD CONDITION 3

C1

LOAD CONDITION 3 - CONNECTION UPLIFT CAPACITY = 2,400#  
CONNECTION SHEAR CAPACITY = 2,000#

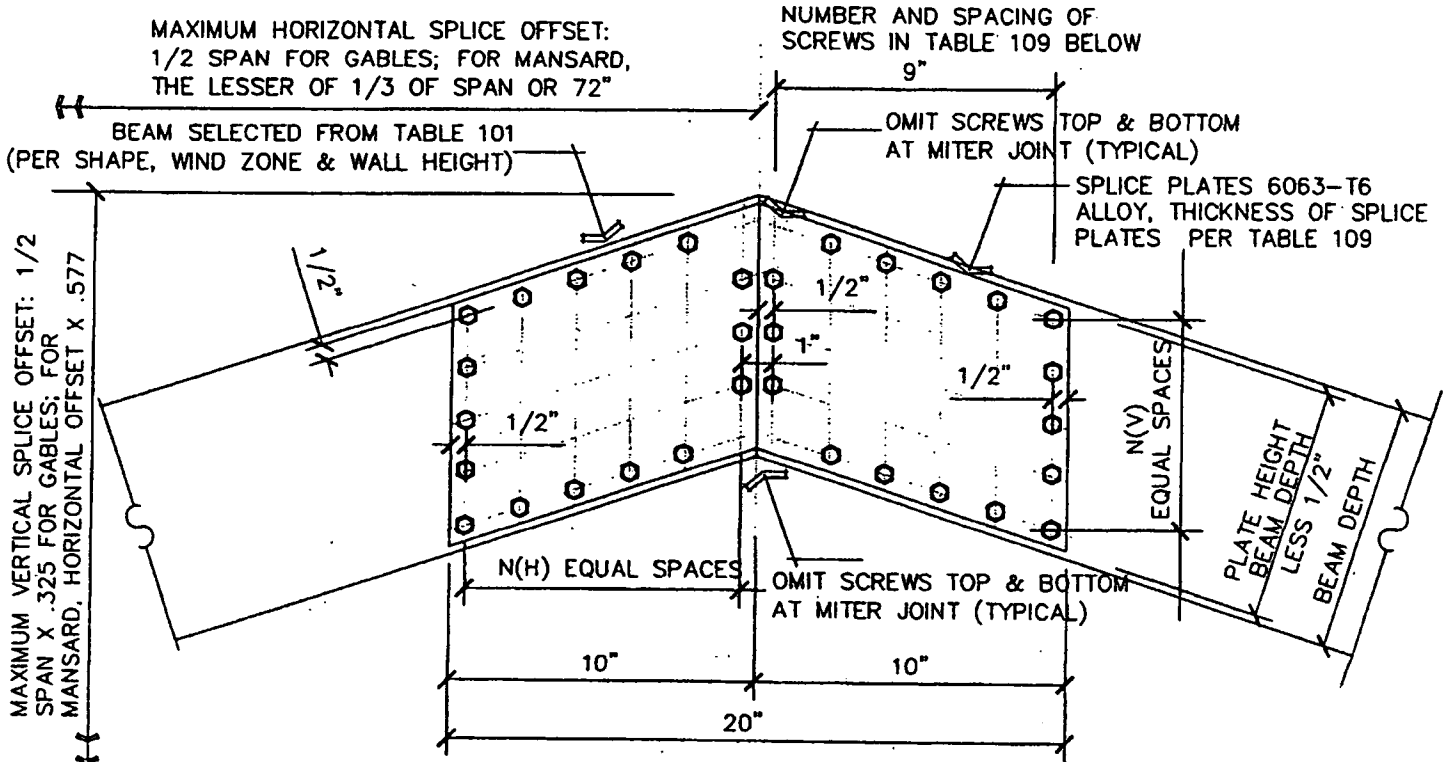
1

### NOTES:

- 1) COLUMN SIZE TO BE DETERMINED BY THE LARGER OF:
  - A) MINIMUM SIZE COLUMN FOR BEAM, AND
  - B) SPAN & SPACING AS DETERMINED BY COLUMN TABLES, AND
  - C) 2X6 MINIMUM
- 2) 2 EACH X 3/8" DIA. BOLTS MAY BE SUBSTITUTED FOR THE 3 EACH #14 SMS  
(2 THRU BOLTS REPLACE 6 SCREWS)
- 3) CONCRETE ANCHOR SPECIFICATIONS:  
 ANCHOR "A" (CLOSEST TO EDGE) IS 3/8"Ø X 3" LONG W/ 2" EMBEDMENT,  
 ANCHOR "B" IS FARTHEST FROM EDGE AND IS 3/8"Ø X 2" LONG W/ 2" EMBEDMENT  
 ANCHOR "A" MUST CONFORM TO SPECIFICATIONS LISTED IN DETAIL C1 CONDITION 1,  
 SUPPLEMENTAL CONCRETE ANCHOR ("B") SPECIFICATIONS: MINIMUM ULTIMATE TENSION  
 CAPACITY OF 2,000#, MINIMUM WORKING TENSION CAPACITY = 500#, &  
 MINIMUM WORKING SHEAR CAPACITY = 1,000#

Beam	Mn. Post	Post Spacing (Feet)								
		4.0	4.5	5.0	5.5	6.0	6.5	7.0	7.5	8.0
2 X 4 X 0.045 X 0.100 SMB	2X3	2	2	2	2	2	2	2	2	2
2 X 5 X 0.050 X 0.116 SMB	2X3	2	2	2	2	2	2	2	2	2
2 X 6 X 0.050 X 0.120 SMB	2X3	2	2	2	2	2	2	2	2	2
2 X 7 X 0.055 X 0.120 SMB	2X4	2	2	2	2	2	3	3	3	3
2 X 8 X 0.072 X 0.224 SMB	2X4	3	3	3	3	3	3	3	4	4
2 X 9 X 0.072 X 0.224 SMB	2X5	3	3	3	3	3	3	3	3	3
2 X 9 X 0.082 X 0.306 SMB	2X5	3	3	3	3	4	4	4	4	4
2 X 10 X 0.092 X 0.389 SMB	2X6	3	3	4	4	4	4	4	4	4

# Chapter 1 - SCREEN ENCLOSURES



**MITERED BEAM SPLICE FASTENING DETAIL**  
**TYPICAL SCREW PATTERN FOR SPLICE (#14 SCREWS TYPICAL)**

**BEAM SPLICE NOTES:**

- 1) SPLICE DETAIL SHOWN MAY BE ROTATED FOR MANSARD APPLICATIONS
- 2) GABLE SPLICE MAXIMUM OFFSET 1/2 ALLOWABLE SPAN, VERTICAL OFFSET AT 18 DEGREES (MAXIMUM)
- 3) MANSARD SPLICE HORIZONTAL OFFSET 1/3 OF ALLOWABLE SPAN OR 6' - 0" (WHICHEVER IS LESS), VERTICAL OFFSET IS HORIZONTAL OFFSET X .577 (MAXIMUM)
- 4) MAINTAIN 1/2" BORDER FROM SPLICE PLATE PERIMETER TO ROWS OF SCREWS
- 5) SPLICE PLATES ARE ALLOY 6063T6 BY THICKNESS SPECIFIED IN TABLE 109
- 6) N(V) INDICATES NUMBER OF EQUAL SPACES PARALLEL TO BEAM MITER JOINT  
 N(H) INDICATES NUMBER OF EQUAL SPACES PERPENDICULAR TO BEAM MITER JOINT

BEAM SPLICE DETAILS Table 109 Beam:	Splice Plate Thickness	Length of Plate	#14 SMS per side per end	Total #14 SMS per splice	Horizontal Spacing		Vertical Spacing	
					Number of Spaces N(H)	Spacing Distance	Number of Spaces N(V)	Spacing Distance
2 X 4 X 0.045 X 0.100 SMB	1/4"	20"	12	48	5	1 1/4"	2	1 1/4"
2 X 5 X 0.050 X 0.116 SMB	1/4"	20"	12	48	5	1 1/4"	2	1 1/4"
2 X 6 X 0.050 X 0.120 SMB	3/16"	20"	14	56	5	1 1/4"	3	1 1/2"
2 X 7 X 0.055 X 0.120 SMB	1/8"	20"	14	56	5	1 1/4"	3	1-7/8"
2 X 8 X 0.072 X 0.224 SMB	3/16"	20"	16	64	5	1 1/4"	4	1-5/8"
2 X 9 X 0.072 X 0.224 SMB	3/16"	20"	16	64	5	1 1/4"	4	1-3/4"
2 X 9 X 0.082 X 0.306 SMB	1/4"	20"	20	80	6	1 1/2"	5	1 1/2"
2 X 10 X 0.092 X 0.389 SMB	1/4"	20"	24	96	7	1 1/2"	6	1-3/8"

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TABLE 114 - SOLID ROOF PANEL SPANS, USE TABLE 201  
(ALLOWABLE SPANS FOR SOLID ROOFS IN SCREEN ROOMS)

ALLOWABLE SPANS - Secondary Members in Screen Roofs (Purlins in Screen Roofs) (Maximum Beam Spacing 8 ft)								Table 103
FOR ALL Wind Zones Unit Load = 10 lbs/sqft								
Extrusion	Load Width / Spacing							
	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	
2X2X.045 Hollow	9'-3"	8'-8"	8'-3"	7'-10"	7'-6"	7'-3"	6'-11"	
2X3X.045 Hollow	11'-4"	10'-8"	10'-1"	9'-8"	9'-3"	8'-11"	8'-7"	
2X4x.050 Hollow	15'-0"	14'-2"	13'-5"	12'-10"	12'-3"	11'-9"	11'-4"	

Allowable Areas of Wall [Wind] Exposure by Zone for Wall Bracing (Tabular values must be multiplied by 72% for all gabled enclosures)								Table 115
Cable Pairs	Pressure=>	12.0 PSF	14.0 PSF	17.0 PSF	20.0 PSF	23.0 PSF	26.0 PSF	
	Wind Zone=>	100	110	120	130	140	150	
1	(TABULAR VALUES IN SQUARE FEET)	240	205	169	144	125	111	
2		447	383	315	268	208	206	
3		593	509	419	356	310	274	
4		680	583	480	408	355	314	
5		723	620	511	434	377	334	

Number of #14 SMS Required at Beam Ends (per side) for Carrier Beams and, Minimum Column Size Required for Each Beam											Table 116
Beam Selected	Min Col	Beam and Column Spacing									
		8	10	12	14	16	18	20	22	24	
2 X 4 X 0.045 X 0.100 SMB	2X3	1	1	2	2	2	2	2	2	2	
2 X 5 X 0.050 X 0.116 SMB	2X3	1	2	2	2	2	2	2	2	3	
2 X 6 X 0.050 X 0.120 SMB	2X3	2	2	2	2	2	2	3	3	3	
2 X 7 X 0.055 X 0.120 SMB	2X4	2	2	2	2	2	3	3	3	3	
2 X 8 X 0.072 X 0.224 SMB	2X4	2	2	3	3	3	3	3	4	4	
2 X 9 X 0.072 X 0.224 SMB	2X5	2	2	3	3	3	3	3	4	4	
2 X 9 X 0.082 X 0.306 SMB	2X5	3	3	3	3	4	4	4	4	5	
2 X 10 X 0.092 X 0.389 SMB	2X6	3	4	4	4	5	5	5	5	6	
4 X 8 X 0.072 X 0.224 SMB	4X4	3	3	4	4	4	5	5	5	5	
4 X 9 X 0.072 X 0.224 SMB	4X4	3	3	4	4	4	5	5	5	5	
4 X 9 X 0.082 X 0.306 SMB	4X4	4	4	5	5	5	6	6	6	6	
4 X 10 X 0.092 X 0.389 SMB	4X4	5	5	6	6	6	7	7	7	8	

Note: Use 2X4 Post Minimum for 2X6 Beams for spacings exceeding 7' - 0" o.c.



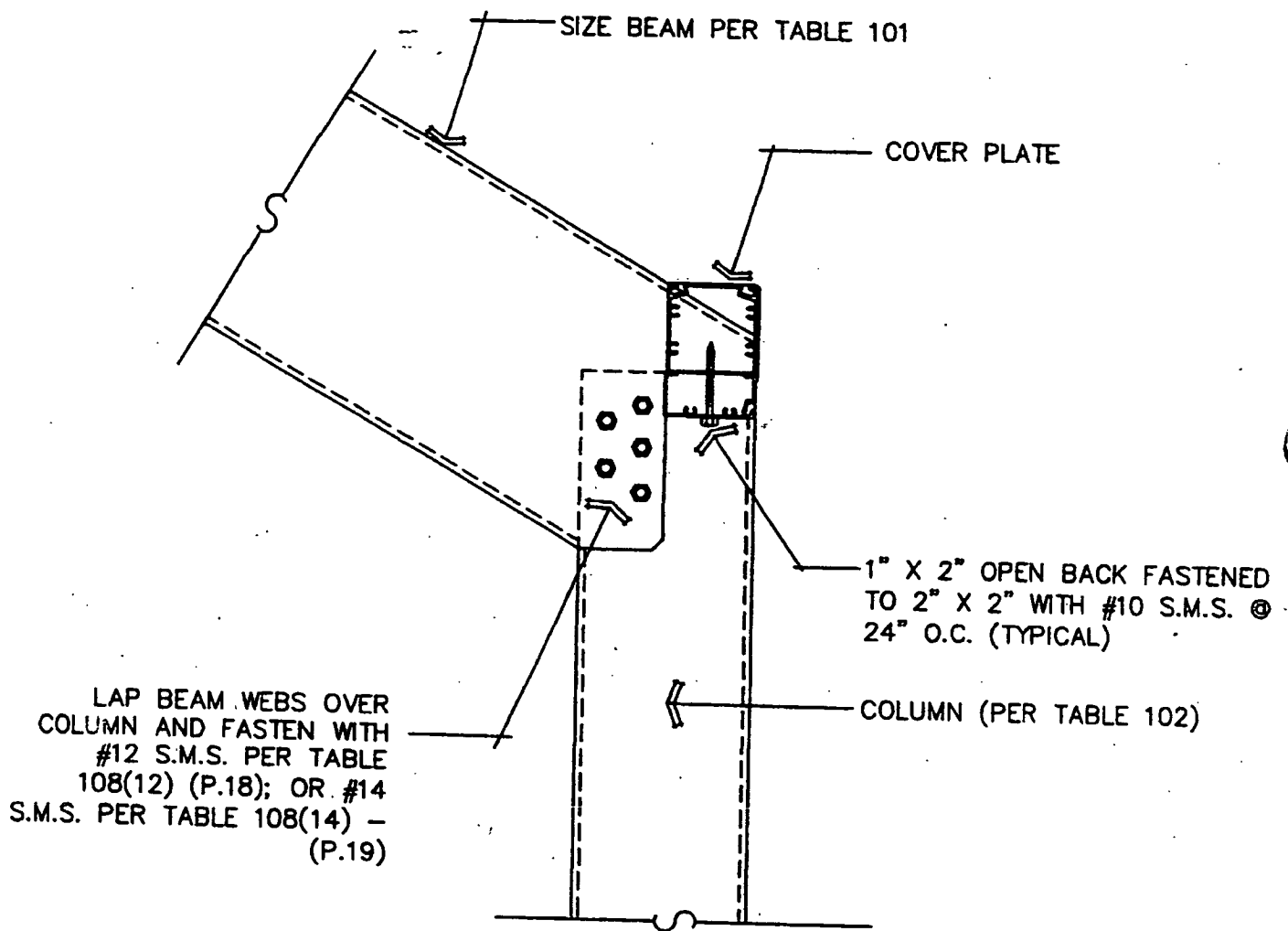
## Chapter 1 - SCREEN ENCLOSURES

<b>ALLOWABLE SPANS for Gable Beams In Screen Roofs</b>									
Wind Zone = 140 MPH					Applied Wall Load = 18 PSF			<b>Table 101e</b>	
Maximum Wall Height = 8 ft					Applied Roof Load = 10 PSF			Exposure B	
BEAM	Load Widths or Spacing								
	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
2 X 4 X 0.045 X 0.100 SMB	10'-11"	10'-1"	9'-5"	8'-10"	8'-4"	7'-11"	7'-6"	7'-2"	6'-10"
2 X 5 X 0.050 X 0.116 SMB	13'-9"	12'-10"	12'-0"	11'-3"	10'-8"	10'-1"	9'-7"	9'-2"	8'-10"
2 X 6 X 0.050 X 0.120 SMB	14'-11"	13'-11"	13'-0"	12'-3"	11'-7"	11'-0"	10'-6"	10'-0"	9'-7"
2 X 7 X 0.055 X 0.120 SMB	16'-4"	15'-2"	14'-3"	13'-5"	12'-8"	12'-1"	11'-6"	11'-0"	10'-7"
2 X 8 X 0.072 X 0.224 SMB	24'-6"	22'-10"	21'-6"	20'-4"	19'-4"	18'-5"	17'-7"	16'-11"	16'-3"
2 X 9 X 0.072 X 0.224 SMB	25'-0"	23'-5"	22'-0"	20'-9"	19'-9"	18'-10"	18'-0"	17'-3"	16'-7"
2 X 9 X 0.082 X 0.306 SMB	30'-7"	28'-8"	26'-11"	25'-6"	24'-3"	23'-2"	22'-2"	21'-4"	20'-6"
2 X 10 X 0.092 X 0.389 SMB	37'-11"	35'-6"	33'-6"	31'-9"	30'-3"	28'-10"	27'-8"	26'-7"	25'-8"

Note: Slope of Gable Roof not to exceed 18 Degrees

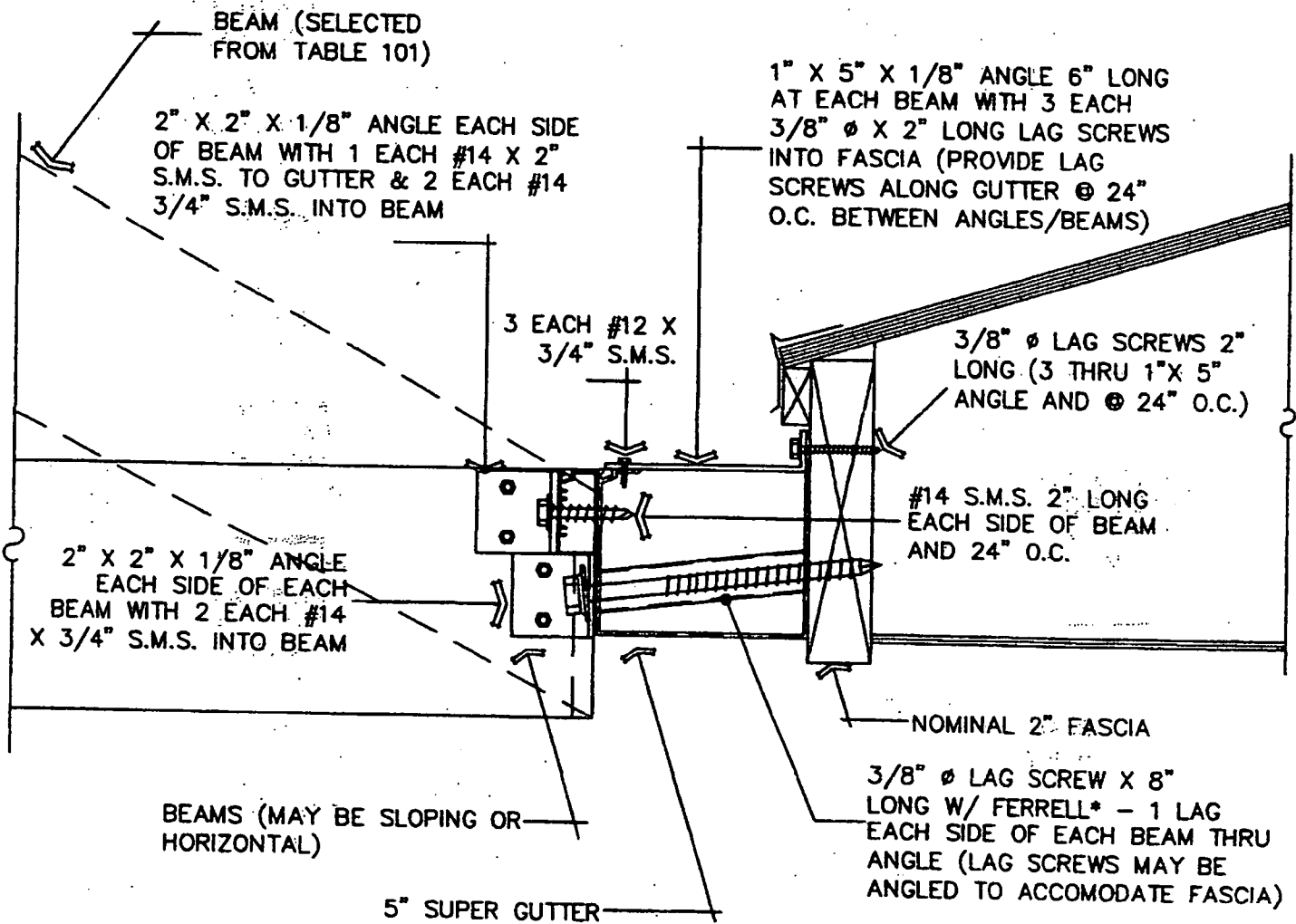
<b>ALLOWABLE SPANS for Gable Beams In Screen Roofs</b>									
Wind Zone = 140 MPH					Applied Wall Load = 18 PSF			<b>Table 101e</b>	
Maximum Wall Height = 16 ft					Applied Roof Load = 10 PSF			Exposure B	
BEAM	Load Widths or Spacing								
	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
2 X 4 X 0.045 X 0.100 SMB	8'-3"	7'-7"	6'-11"	6'-5"	6'-0"	5'-8"	5'-4"	5'-0"	4'-9"
2 X 5 X 0.050 X 0.116 SMB	10'-11"	10'-0"	9'-3"	8'-7"	8'-1"	7'-7"	7'-2"	6'-9"	6'-5"
2 X 6 X 0.050 X 0.120 SMB	11'-11"	11'-0"	10'-2"	9'-6"	8'-11"	8'-4"	7'-11"	7'-6"	7'-1"
2 X 7 X 0.055 X 0.120 SMB	13'-3"	12'-2"	11'-4"	10'-7"	9'-11"	9'-4"	8'-10"	8'-4"	8'-0"
2 X 8 X 0.072 X 0.224 SMB	21'-1"	19'-6"	18'-2"	17'-1"	16'-1"	15'-3"	14'-6"	13'-9"	13'-2"
2 X 9 X 0.072 X 0.224 SMB	21'-7"	20'-0"	18'-8"	17'-6"	16'-6"	15'-7"	14'-10"	14'-2"	13'-6"
2 X 9 X 0.082 X 0.306 SMB	27'-0"	25'-1"	23'-5"	22'-1"	20'-10"	19'-9"	18'-10"	18'-0"	17'-3"
2 X 10 X 0.092 X 0.389 SMB	34'-2"	31'-9"	29'-10"	28'-1"	26'-7"	25'-4"	24'-2"	23'-1"	22'-2"

Chapter 1 - SCREEN ENCLOSURES



**EAVE CONNECTION DETAIL**  
(TYPICAL EAVE CONNECTION)

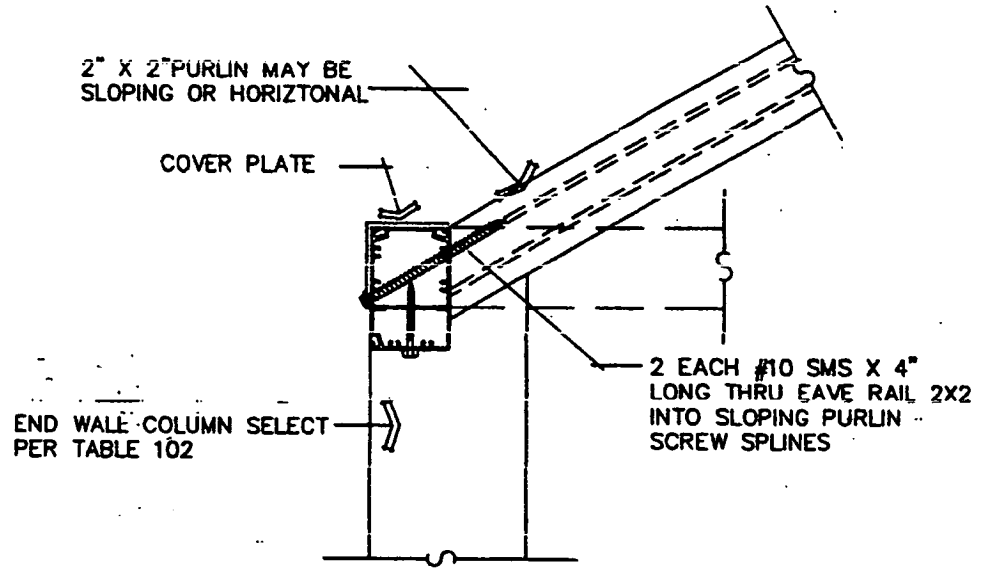
# Chapter 1 - SCREEN ENCLOSURES



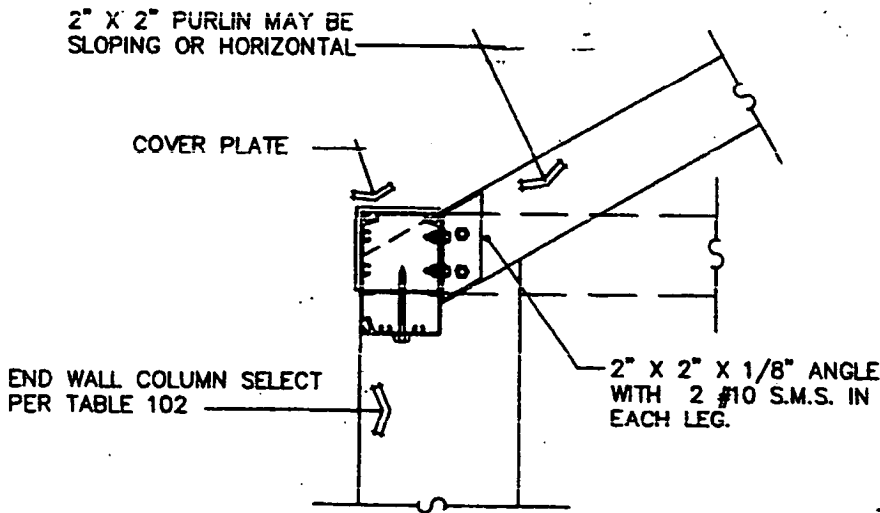
## CONNECTION DETAIL #1 / 5" SUPER GUTTER TO PLUMB FASCIA

\*NOTE: FERRELL MAY BE 1" X 1" EXTRUDED PICKET MATERIAL, 1" Ø ALUMINUM TUBE, OR 1" Ø SCHEDULE 40 PVC PIPE

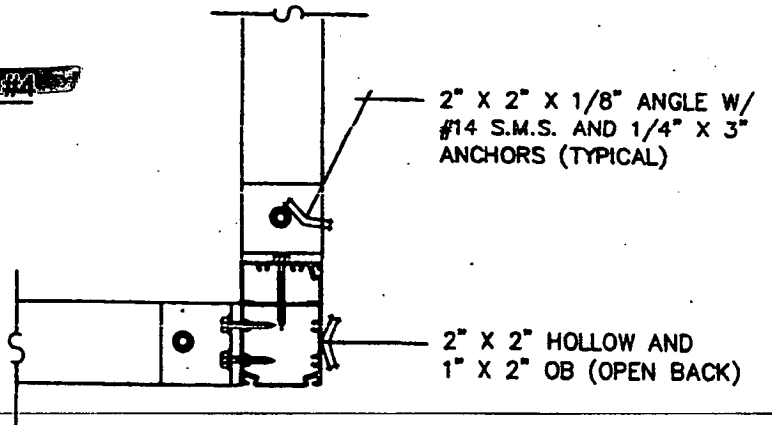
Chapter 1 - SCREEN ENCLOSURES



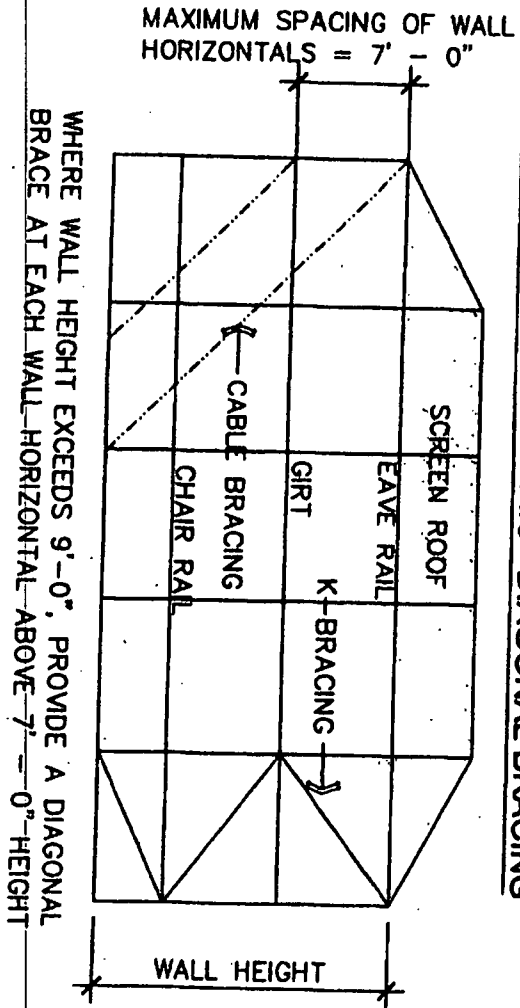
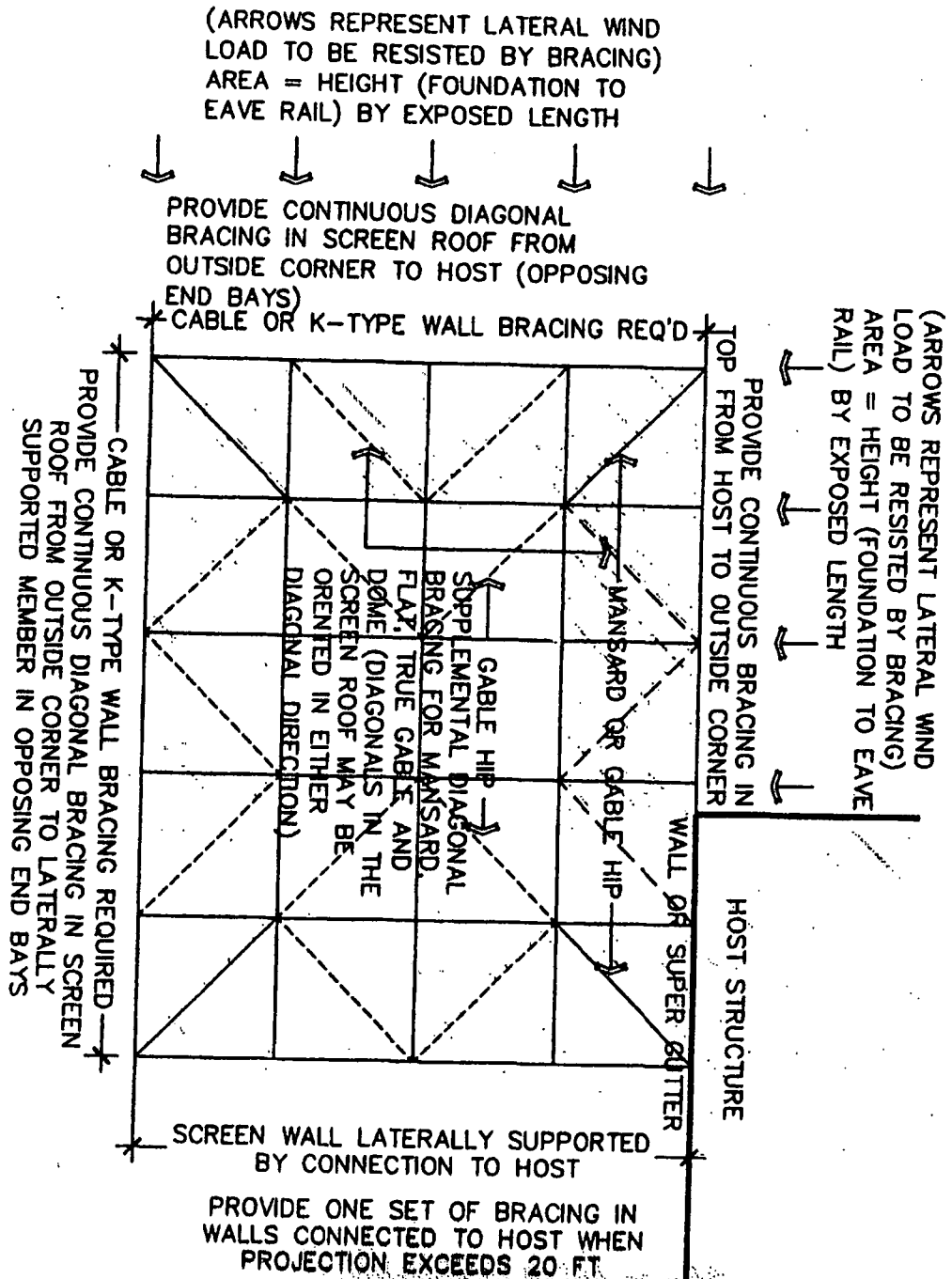
**END WALL PURLIN CONNECTION DETAIL #3**



**END WALL PURLIN CONNECTION DETAIL #4**



**EXTERIOR CORNER DETAIL (PLAN VIEW)**



**SCHEMATIC PLAN VIEW #3 - DIAGONAL BRACING**

**SCHEMATIC ELEVATION #1 - DIAGONAL BRACING**

## Chapter 1 - SCREEN ENCLOSURES

<b>ALLOWABLE SPANS for Mansard Beams In Screen Roofs</b>									
Wind Zone = 140 MPH		Applied Wall Load =		18 PSF		Table 101e			
Maximum Wall Height = 8 ft		Applied Roof Load =		10 PSF		Exposure B			
BEAM	Load Widths or Spacing								
	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
2 X 4 X 0.045 X 0.100 SMB	10'-3"	9'-6"	8'-10"	8'-3"	7'-9"	7'-4"	7'-0"	6'-8"	6'-4"
2 X 5 X 0.050 X 0.116 SMB	13'-1"	12'-2"	11'-4"	10'-8"	10'-0"	9'-6"	9'-0"	8'-7"	8'-3"
2 X 6 X 0.050 X 0.120 SMB	14'-3"	13'-2"	12'-4"	11'-7"	10'-11"	10'-4"	9'-10"	9'-5"	9'-0"
2 X 7 X 0.055 X 0.120 SMB	15'-7"	14'-6"	13'-7"	12'-9"	12'-0"	11'-5"	10'-11"	10'-5"	9'-11"
2 X 8 X 0.072 X 0.224 SMB	25'-3"	23'-4"	21'-7"	20'-1"	18'-9"	17'-8"	16'-10"	16'-2"	15'-6"
2 X 9 X 0.072 X 0.224 SMB	25'-11"	23'-11"	22'-2"	20'-8"	19'-4"	18'-1"	17'-3"	16'-6"	15'-11"
2 X 9 X 0.082 X 0.306 SMB	32'-5"	30'-2"	28'-2"	26'-6"	25'-0"	23'-8"	22'-5"	21'-4"	20'-4"
2 X 10 X 0.092 X 0.389 SMB	40'-6"	37'-11"	35'-8"	33'-8"	31'-11"	30'-5"	29'-0"	27'-9"	26'-8"

Maximum Horizontal Offset of Mansard Splice 1/3 Allowable Span or 6', whichever is less.  
 Maximum Slope of Mansard Leg = 30 degrees

<b>ALLOWABLE SPANS for Mansard Beams In Screen Roofs</b>									
Wind Zone = 140 MPH		Applied Wall Load =		18 PSF		Table 101e			
Maximum Wall Height = 16 ft		Applied Roof Load =		10 PSF		Exposure B			
BEAM	Load Widths or Spacing								
	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
2 X 4 X 0.045 X 0.100 SMB	7'-6"	7'-10"	7'-3"	6'-9"	6'-3"	5'-11"	6'-4"	5'-3"	5'-9"
2 X 5 X 0.050 X 0.116 SMB	10'-0"	10'-4"	9'-7"	8'-11"	8'-4"	7'-10"	8'-4"	7'-1"	7'-7"
2 X 6 X 0.050 X 0.120 SMB	11'-0"	11'-4"	10'-6"	9'-10"	9'-2"	8'-8"	9'-2"	7'-9"	8'-4"
2 X 7 X 0.055 X 0.120 SMB	12'-3"	12'-7"	11'-8"	10'-11"	10'-3"	9'-8"	10'-2"	8'-8"	9'-3"
2 X 8 X 0.072 X 0.224 SMB	21'-0"	20'-9"	18'-10"	17'-5"	16'-5"	15'-7"	16'-0"	14'-2"	14'-8"
2 X 9 X 0.072 X 0.224 SMB	21'-9"	21'-6"	19'-6"	17'-10"	16'-10"	16'-0"	16'-5"	14'-6"	15'-1"
2 X 9 X 0.082 X 0.306 SMB	29'-2"	28'-3"	26'-2"	24'-4"	22'-8"	21'-2"	21'-5"	18'-7"	19'-3"
2 X 10 X 0.092 X 0.389 SMB	38'-0"	36'-5"	34'-1"	32'-0"	30'-2"	28'-6"	28'-6"	25'-9"	25'-10"

Chapter 1 - SCREEN ENCLOSURES

**ALLOWABLE SPANS for Primary Members in Screen Walls (Posts/Columns)** Table 102d  
 Wind Zone = 130 MPH Applied Unit Load = 16 PSF Exposure B

Post / Column	Load Widths or Spacing								
	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
2 X 2 X 0.045 X 0.045 Hollow	5'-3"	4'-11"	4'-8"	4'-6"	4'-3"	4'-1"	3'-11"	3'-10"	3'-8"
2 X 3 X 0.045 X 0.045 Hollow	6'-10"	6'-5"	6'-1"	5'-10"	5'-7"	5'-4"	5'-2"	4'-11"	4'-10"
2 X 3 X 0.045 X 0.045 Snap	7'-4"	6'-11"	6'-7"	6'-3"	5'-11"	5'-9"	5'-7"	5'-4"	5'-2"
2 X 4 X 0.050 X 0.050 Hollow	8'-4"	7'-10"	7'-6"	7'-1"	6'-10"	6'-7"	6'-4"	6'-1"	5'-11"
2 X 4 X 0.045 X 0.045 Snap	8'-11"	8'-6"	8'-1"	7'-8"	7'-4"	7'-1"	6'-10"	6'-7"	6'-4"
2 X 4 X 0.045 X 0.100 SMB	10'-7"	9'-11"	9'-5"	9'-0"	8'-7"	8'-3"	7'-11"	7'-8"	7'-6"
2 X 5 X 0.050 X 0.116 SMB	12'-4"	11'-7"	11'-0"	10'-6"	10'-1"	9'-8"	9'-4"	9'-0"	8'-9"
2 X 6 X 0.050 X 0.120 SMB	12'-5"	11'-8"	11'-1"	10'-7"	10'-1"	9'-9"	9'-4"	9'-1"	8'-9"
2 X 7 X 0.055 X 0.120 SMB	13'-7"	12'-9"	12'-1"	11'-7"	11'-1"	10'-8"	10'-3"	9'-11"	9'-7"
2 X 8 X 0.072 X 0.224 SMB	21'-2"	19'-11"	18'-11"	18'-0"	17'-3"	16'-7"	15'-11"	15'-5"	14'-11"

**ALLOWABLE SPANS for Primary Members in Screen Walls (Posts/Columns)** Table 102e  
 Wind Zone = 140 MPH Applied Unit Load = 18 PSF Exposure B

Post / Column	Load Widths or Spacing								
	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
2 X 2 X 0.045 X 0.045 Hollow	4'-11"	4'-8"	4'-5"	4'-3"	4'-0"	3'-11"	3'-9"	3'-7"	3'-6"
2 X 3 X 0.045 X 0.045 Hollow	6'-5"	6'-1"	5'-9"	5'-6"	5'-3"	5'-0"	4'-10"	4'-8"	4'-7"
2 X 3 X 0.045 X 0.045 Snap	6'-11"	6'-6"	6'-2"	5'-11"	5'-8"	5'-5"	5'-3"	5'-1"	4'-11"
2 X 4 X 0.050 X 0.050 Hollow	7'-10"	7'-5"	7'-1"	6'-9"	6'-5"	6'-2"	5'-11"	5'-9"	5'-7"
2 X 4 X 0.045 X 0.045 Snap	8'-6"	7'-11"	7'-7"	7'-3"	6'-11"	6'-8"	6'-5"	6'-2"	5'-11"
2 X 4 X 0.045 X 0.100 SMB	9'-11"	9'-5"	8'-11"	8'-6"	8'-1"	7'-10"	7'-6"	7'-3"	7'-0"
2 X 5 X 0.050 X 0.116 SMB	11'-7"	10'-11"	10'-5"	9'-11"	9'-6"	9'-1"	8'-9"	8'-6"	8'-3"
2 X 6 X 0.050 X 0.120 SMB	11'-8"	11'-0"	10'-5"	9'-11"	9'-6"	9'-2"	8'-10"	8'-6"	8'-3"
2 X 7 X 0.055 X 0.120 SMB	12'-9"	12'-1"	11'-5"	10'-11"	10'-5"	10'-0"	9'-8"	9'-4"	9'-0"
2 X 8 X 0.072 X 0.224 SMB	19'-11"	18'-9"	17'-10"	16'-11"	16'-3"	15'-8"	15'-1"	14'-7"	14'-1"

**ALLOWABLE SPANS for Primary Members in Screen Walls (Posts/Columns)** Table 102f  
 Wind Zone = 150 MPH Applied Unit Load = 21 PSF Exposure B

Post / Column	Load Widths or Spacing								
	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
2 X 2 X 0.045 X 0.045 Hollow	4'-7"	4'-4"	4'-1"	3'-11"	3'-9"	3'-7"	3'-5"	3'-4"	3'-3"
2 X 3 X 0.045 X 0.045 Hollow	5'-11"	5'-7"	5'-4"	5'-1"	4'-10"	4'-8"	4'-6"	4'-4"	4'-2"
2 X 3 X 0.045 X 0.045 Snap	6'-5"	6'-0"	5'-9"	5'-6"	5'-3"	5'-0"	4'-10"	4'-8"	4'-6"
2 X 4 X 0.050 X 0.050 Hollow	7'-3"	6'-10"	6'-6"	6'-3"	5'-11"	5'-9"	5'-6"	5'-4"	5'-2"
2 X 4 X 0.045 X 0.045 Snap	7'-10"	7'-5"	7'-0"	6'-8"	6'-5"	6'-2"	5'-11"	5'-9"	5'-7"
2 X 4 X 0.045 X 0.100 SMB	9'-3"	8'-8"	8'-3"	7'-10"	7'-6"	7'-3"	6'-11"	6'-9"	6'-6"
2 X 5 X 0.050 X 0.116 SMB	10'-9"	10'-2"	9'-7"	9'-2"	8'-9"	8'-5"	8'-2"	7'-10"	7'-7"
2 X 6 X 0.050 X 0.120 SMB	10'-10"	10'-2"	9'-8"	9'-3"	8'-10"	8'-6"	8'-2"	7'-11"	7'-8"
2 X 7 X 0.055 X 0.120 SMB	11'-10"	11'-2"	10'-7"	10'-1"	9'-8"	9'-3"	8'-11"	8'-8"	8'-4"
2 X 8 X 0.072 X 0.224 SMB	18'-5"	17'-5"	16'-6"	15'-9"	15'-1"	14'-6"	13'-11"	13'-6"	13'-1"



## TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 8 RIVERVIEW

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

SCREEN ENCL. FINAL

INSUFFICIENT FASTENERS  
AT ANGLE AT BASE OF  
2 X COLUMNS PER C/I

BOND WIRE NOT SECURED  
PROPERLY AT PUMP.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 12/21

INSPECTOR

**DO NOT REMOVE THIS TAG**



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri Dec 21, 2005 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7833	BRISCOE	INT RGH IN		
10	5 Gumbolimbolway	PUMBINA	FAIL	INSPECTOR:
	OIB	ELECTRICAL	FAIL	
6513	DUNN	FINAL STR	PASS	CONDITIONAL
9	31 N RIVER RD			PENDING FINAL SURVEY.
	FIRST FLORIDA			INSPECTOR:
7912	DEWAARD	Sec. ENCL. FINAL	FAIL	
5	RIVERVIEW PR STRUCTURE-CON			INSPECTOR:
7924	GERARD	Final Shutter	PASS	CLOSE
4	104 ABBIE COURT B&H SHUTTERS			INSPECTOR:
TREE	WARNEY	TREE	PASS	
2	214 WILCEST			INSPECTOR:
7934	PAKES	POOL STREET DRAIN	PASS	
6	3 MINDORO	POOL PLB.	PASS	INSPECTOR:
	OLYMPIC POOLS			
7129	DUNN	FINAL GAS	PASS	CLOSE
9	31 N RIVER RD			INSPECTOR:
	FERRER GAS			

OTHER: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  ~~Mon~~  ~~TUES~~  Wed  Fri 1/3, 2006 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>Tree</del>	HELPMAN	Tree	PASS	
1	8 RIDGELAND			INSPECTOR: <i>[Signature]</i>
<del>7912</del>	<del>DEWAARD</del>	<del>FINAL SCREEN ENCLOSURE</del>	<del>PASS</del>	<del>CLOSE</del>
2	8 RIVERVIEW DE STRUCTURE-CON			INSPECTOR: <i>[Signature]</i>
<del>-</del>	<del>UTRATA</del>	<del>COURTESY INSP METER BOX</del>	<del>CANCEL</del>	<del>---</del>
3	117 N. SEWALL'S PT			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>

OTHER: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**9489**

**REMODEL**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK. A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS.**

PERMIT NUMBER:	9489	DATE ISSUED:	JUNE 24, 2010
SCOPE OF WORK:	INTERIOR REMODEL		
CONDITIONS :			
CONTRACTOR:	FREEDOM HOMEBUILDERS		
PARCEL CONTROL NUMBER:	123841001-000-000703	SUBDIVISION	RIVERVIEW - LOT 7
CONSTRUCTION ADDRESS:	8 RIVERVIEW DR		
OWNER NAME:	HINNERS		
QUALIFIER:	WILLIAM JONES	CONTACT PHONE NUMBER:	772-600-7641

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE CALL 287-2455 - 8:00AM TO 4:00PM**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

Town of Sewall's Point

Date: 5-12-10

BUILDING PERMIT APPLICATION

Permit Number: 9489

OWNER/TITLEHOLDER NAME: Billy & Michelle Hanners Phone (Day) 404-271-1260 (Fax)

Job Site Address: 8 Riverview Drive City: Sewalls Point State: FL Zip:

Legal Description: Riverview S/D Lot 7 Parcel Control Number: 12-38-41-001-000-00070-3

Owner Address (if different): 454 Las Gallinas Ave #312 City: San Rafael State: CA Zip: 94903

Scope of work (please be specific): Remodel interior & demo

WILL OWNER BE THE CONTRACTOR? (If yes, Owner Builder questionnaire must accompany application) YES NO X
Has a Zoning Variance ever been granted on this property? YES (YEAR) NO X
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 60,000
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ 300,000
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: Freedom Homebuilders Phone: 772-600-7641 Fax: 772-600-7653

Street: 50 SE Ocean Blvd Ste 101 City: Stuart State: FL Zip: 34994

State License Number: CBC1255957 OR: Municipality: License Number:

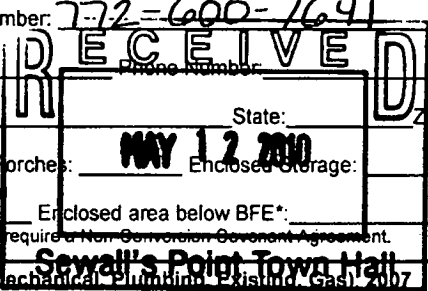
LOCAL CONTACT: Brad Jones Phone Number: 772-600-7641

DESIGN PROFESSIONAL: N/A Lic#

Street: City: State: Zip:

AREAS SQUARE FOOTAGE: Living: 2264 Garage: 528 Covered Patios/ Porches: Enclosed Storage:

Carpot: Total under Roof Elevated Deck: Enclosed area below BFE\*
\* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.



CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing Gas), 2007
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

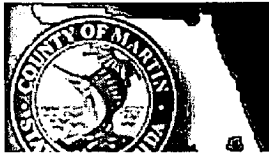
\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\*

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required) OR OWNER'S LEGAL AUTHORIZED AGENT (PROOF REQUIRED)
State of Florida, County of: Martin
This the 11th day of May, 2010
by Billy & Michelle Hanners who is personally known to me or produced as identification.
NOTARY PUBLIC STATE OF FLORIDA
Margaret Bennett
Commission # DD708390
My Commission Expires: OCT. 07, 2011

CONTRACTOR SIGNATURE: (required)
State of Florida, County of: Martin
This the 11th day of May, 2010
by William B. Jones who is personally known to me or produced as identification.
NOTARY PUBLIC STATE OF FLORIDA
Margaret Bennett
Commission # DD708390
My Commission Expires: OCT. 07, 2011

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



# Martin County, Florida

## Laurel Kelly, C.F.A

Site Provided by...  
governmentmax.com T1.12

### Summary

print [navigation icons] Owner 2 of 3

#### Parcel Info

##### Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
12-38-41-001-000-00070-3	8 RIVERVIEW DR	27497	Owner	0	1

##### Summary

**Property Location** 8 RIVERVIEW DR  
**Tax District** 2200 Sewall's Point  
**Account #** 27497  
**Land Use** 101 0100 Single Family  
**Neighborhood** 120400  
**Acres** 0.364

**Legal Description**  
**Property Information**  
 RIVERVIEW S/D LOT 7

#### Search By

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

**Owner Information**  
**Owner Information**  
 HINNERS, BILLY R  
 HINNERS, MICHELLE S

**Mail Information**  
 454 LAS GALLINAS 312  
 SAN RAFAEL CA 94903

**Assessment Info**  
 Front Ft. 0.00

**Market Land Value** \$211,500  
**Market Impr Value** \$158,380  
**Market Total Value** \$369,880

#### Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

**Recent Sale**  
**Sale Amount** \$345,000

**Sale Date** 4/15/2009  
**Book/Page** 2385 1111

Print | Back to List | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 4/29/2010



NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00 OR HVAC EXCEEDS \$7,500.00

PERMIT #: \_\_\_\_\_ TAX FOLIO #: 12-38-41-001-000-00070-3

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE): Riverview S/D Lot 7 8 Riverview Drive

GENERAL DESCRIPTION OF IMPROVEMENT: Demo interior & Remodel

OWNER NAME: Billy & Michelle Hinners ADDRESS: 454 Las Gallinas Ave #312 San Rafael, CA 94903 PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

INTEREST IN PROPERTY: Joint Tenants NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

CONTRACTOR: Freedom Homebuilders, Inc ADDRESS: 50 SE Ocean Blvd Ste 101 Stuart FL 34994 PHONE NUMBER: 772-600-7641 FAX NUMBER: 772-600-7633

SURETY COMPANY (IF ANY): N/A STATE OF FLORIDA ADDRESS: \_\_\_\_\_ MARTIN COUNTY PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_ BOND AMOUNT: \_\_\_\_\_

LENDER/MORTGAGE COMPANY: N/A ADDRESS: \_\_\_\_\_ PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1)(a) 7., FLORIDA STATUTES: BY: S. Phoenix D.C. DATE: 5-12-10

NAME: \_\_\_\_\_ ADDRESS: \_\_\_\_\_ PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B).

FLORIDA STATUES: \_\_\_\_\_ PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_ ( EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

SIGNATORY'S TITLE/OFFICE \_\_\_\_\_

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 11 DAY OF May 20 10

BY: Billy & Michelle Hinners owners FOR \_\_\_\_\_ NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

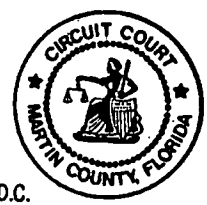
PERSONALLY KNOWN [checked] OR PRODUCED IDENTIFICATION \_\_\_\_\_

TYPE OF IDENTIFICATION PRODUCED \_\_\_\_\_ NOTARY SIGNATURE/ SEAL Margaret Bennett

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

(Signature of Natural Person Signing Above)

NOTARY PUBLIC-STATE OF FLORIDA Margaret Bennett Commission # DD708390 Expires: OCT. 07, 2011 BONDED THRU ATLANTIC BONDING CO., INC.



INSTR # 2209726 OR BK 02453 PG 1347 RECD 05/12/2010 01:55:17 PM Pg 1347 (1pg) MARSHA EWING MARTIN COUNTY DEPUTY CLERK S Phoenix

**SUBCONTRACTORS LIST**  
**RESIDENTIAL, ADDITIONS, COMMERCIAL**

APPLICANT'S NAME Freedom Homebuilders BLDG. PERMIT # \_\_\_\_\_

MAILING ADDRESS 50 SE Ocean Blvd Ste 101 Stuart, FL 34994

PLEASE PROVIDE A PRELIMINARY SUBCONTRACTORS LIST FOR VERIFICATION. THIS LIST WILL BE RETURNED TO YOU WHEN THE BUILDING PERMIT IS ISSUED TO ENABLE YOU TO COMPLETE AND RETURN TO THE BUILDING DEPARTMENT. **WE REQUIRE, PRIOR TO STARTING WORK, UPDATES, CHANGES AND ADDITIONS THROUGHOUT CONSTRUCTION.** USING UNLICENSED CONTRACTORS OR SUBCONTRACTORS MAY PREVENT YOU FROM BEING ELIGIBLE FOR INSPECTIONS AND OR A CERTIFICATE OF OCCUPANCY. FOR INFORMATION CONTACT THE CONTRACTOR'S LICENSING OFFICE AT (772) 288-5482 OR (772) 288-5917. PLEASE INCLUDE ALL MUNICIPAL COMPETENCY CARD NUMBERS OR STATE CERTIFICATION NUMBERS. **(NOT OCCUPATIONAL LICENSE NUMBERS)**

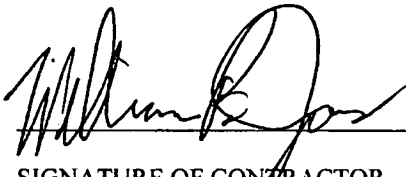
	TYPE	COMPANY NAME	LICENSE NUMBER
CFO	CONCRETE - FORM	N/A	
CFI	- FINISH		
BM	BLOCK MASON	N/A	
CB	COLUMNS & BEAMS	N/A	
CA	CARPENTRY ROUGH	N/A	
GD	GARAGE DOOR	N/A	
DH	DRYWALL - HANG	Living Water Construction	CBC1254800
DF	- FINISH		
IN	INSULATION	Professional Ins. of S. FL	CBC1254041
LA	LATHING	N/A	
FI	FIREPLACE	N/A	
PAV	PAVERS	N/A	
AL	ALUMINUM	N/A	
LP	LP GAS	N/A	
PAV	PAINTING	Living Waters Construction	CBC1254800
PL	PLASTER & STUCCO	N/A	
ST	STAIRS & RAILS	N/A	
RO	ROOFING	N/A	
TM	TILE & MARBLE	N/A	
WD	WINDOWS & DOORS	Builders First Source	CGC058673
PLU	* PLUMBING	Jensen Beach Plumbing	CMP5260
AC	* HARV	N/A	
EL	* ELECTRICAL	Tamber Contracting	EC13002706



AL	* LOW VOLTAGE BURGLAR ALARM	N/A	
VS	VACUUM SOUND	N/A	
IR	* IRRIGATION	N/A	
SH	SHUTTERS	N/A	

\* REQUIRES SEPARATE VERIFICATION FORMS.

I CERTIFY THAT THE INFORMATION STATED ON THE SUBCONTRACTORS' LIST IS ACCURATE AND THAT ALL WORK WILL BE PERFORMED BY MUNICIPAL OR STATE LICENSED CONTRACTORS. I UNDERSTAND THAT A COMPLETE NOTARIZED SUBCONTRACTORS LIST IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

  
 \_\_\_\_\_  
 SIGNATURE OF CONTRACTOR  
 (OR OWNER BUILDER IF APPLICABLE)

STATE OF Florida COUNTY OF Martin

SWORN TO AND SUBSCRIBED before me this 4th day  
 of May, 20 10

Margaret Bennett  
 NOTARY PUBLIC

MY COMMISSION EXPIRES: Oct 7, 2011

NOTARY PUBLIC-STATE OF FLORIDA  
 Margaret Bennett  
 Commission # DD708390  
 Expires: OCT. 07, 2011  
 BONDED THRU ATLANTIC BONDING CO., INC.

*[Handwritten signatures]*



**TOWN OF SEWALL'S POINT BUILDING DEPARTMENT**  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

**VERIFICATION OF CONTRACTOR**

BUILDING PERMIT NUMBER: \_\_\_\_\_

\*\*\*IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Billy R & Michelle S. Hanners

CONSTRUCTION ADDRESS: 8 Riverview Dr, Sewalls Point

PERMIT TYPE:  RESIDENTIAL \_\_\_\_\_ COMMERCIAL

- ELECTRIC
- PLUMBING
- HVAC
- IRRIGATION
- FUEL GAS

TYPE OF SERVICE: \_\_\_\_\_ NEW SERVICE  EXISTING SERVICE \_\_\_\_\_ OTHER

SCOPE OF WORK: Move sink, add sink, add 2 lavs + move toilet.

VALUE OF CONSTRUCTION \$ 1,675.00

_____ LOW VOLTAGE	
TYPE OF EQUIPMENT: _____ SECURITY _____ VACUUM _____ SOUND SYSTEM _____ LANDSCAPE _____ OTHER	
SCOPE OF WORK: _____	VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

[Signature] \_\_\_\_\_ 836 NE Top Tilton Pl, Jensen Beach  
SIGNATURE OF LICENSED CONTRACTOR ADDRESS OF CONTRACTOR

Lonnie Culbertson  
COMPANY OR QUALIFIER'S NAME: Jensen Beach Plumbing, Inc.

TELEPHONE NO: 225-6600 FAX NO: 225-6779  
PLEASE PRINT

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: RF11067372/CMP5260

\*\* WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

\*\*\*VERIFICATION OF PARCEL CONTROL NUMBER\*\*\*

OWNER'S FULL NAME AS STATED ON DEED: Billy R + Michelle S. Hanners

PARCEL CONTROL #: 12-38-41-001-000-00070-3

SUBDIVISION: Riverview LOT: 7 BLK: - PHASE: -

SITE ADDRESS: 8 Riverview Dr, Sewall's Point

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

*Handwritten signature/initials*



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: \_\_\_\_\_

\*\*\*IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Billy and Michelle Hanners

CONSTRUCTION ADDRESS: 8 Riverview dr.

PERMIT TYPE:  RESIDENTIAL \_\_\_\_\_ COMMERCIAL

- ELECTRIC
- PLUMBING
- HVAC
- IRRIGATION
- FUEL GAS

TYPE OF SERVICE: \_\_\_\_\_ NEW SERVICE \_\_\_\_\_ EXISTING SERVICE  OTHER

SCOPE OF WORK: electrical renovations as per plans.

VALUE OF CONSTRUCTION \$ 800-

<p>_____ LOW VOLTAGE</p> <p>TYPE OF EQUIPMENT: _____ SECURITY _____ VACUUM _____ SOUND SYSTEM _____ LANDSCAPE _____ OTHER</p> <p>SCOPE OF WORK: _____ VALUE _____</p>
---

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

James P.  
SIGNATURE OF LICENSED CONTRACTOR

1730 SW Biltmore St. PSL, FL 34984  
ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: Tamber Contracting, Inc.

TELEPHONE NO: 772-873-0590 FAX NO: 873-0440

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: EC130027010

\*\* WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

\*\*\*VERIFICATION OF PARCEL CONTROL NUMBER\*\*\*

OWNER'S FULL NAME AS STATED ON DEED: Billy & Michelle S Hanners

PARCEL CONTROL #: 12-38-41-001-000-00070-3

SUBDIVISION: Riverview LOT: 7 BLK: \_\_\_\_\_ PHASE: \_\_\_\_\_

SITE ADDRESS: 8 Riverview Dr, Sewall's Point

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

MARK  
KLINGENSMITH  
Mayor

# TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

ROBERT KELLOGG  
Town Manager

JACQUI THURLOW-  
LIPPISCH  
Vice Mayor

JOHN R. ADAMS  
Building Official

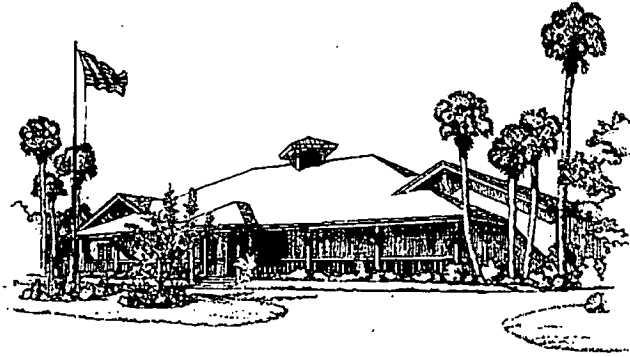
PAUL SCHOPPE  
Commissioner

ERIC CERNIGLIA  
Chief of Police

THOMAS P. BAUSCH  
Commissioner

ANN-MARIE  
SULLIVAN BASLER  
Town Clerk

PAMELA M. BUSHA  
Commissioner



JOSE TORRES, JR.  
Maintenance

## CONDITIONS FOR PERMIT APPROVAL

Fay 600-7653

DATE OF PERMIT APPLICATION: 05/12/2010

DATE: 06/16/2010

APPLICATION DESCRIPTION: INTERIOR/EXTERIOR REMODEL

APPLICATION ADDRESS: 8 RIVERVIEW DR. SEWALL'S POINT, FL

THE FOLLOWING ITEMS ARE NOTED FOR CORRECTION AND ARE CONDITIONS FOR APPROVAL FOR THE ABOVE REFERENCED PERMIT APPLICATION:

1. EXTERIOR/BEARING WALLS REQUIRE FOOTINGS, SIGNED AND SEALED DESIGN.
2. PROVIDE ELECTRICAL LOAD CALCULATION, PANEL SCHEDULE

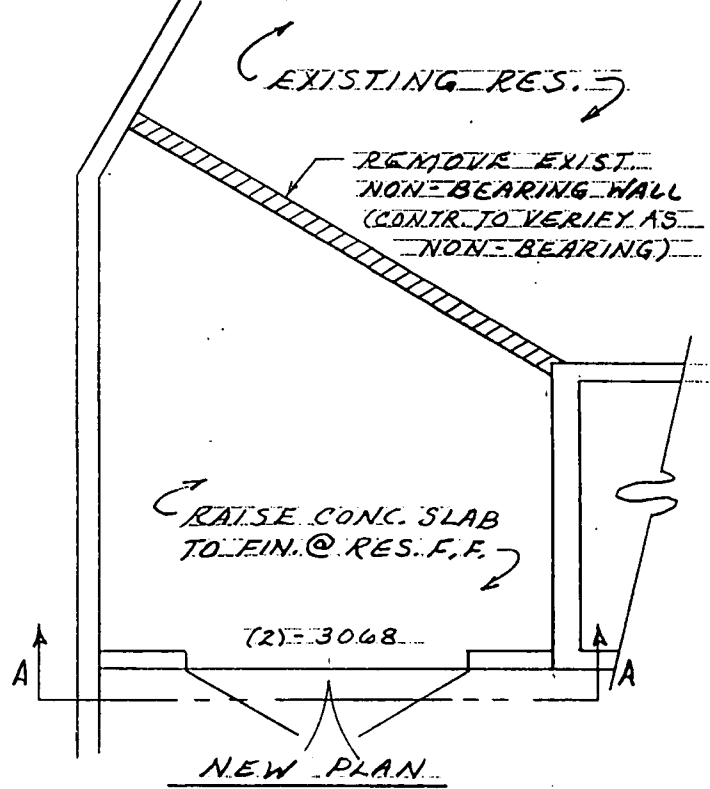
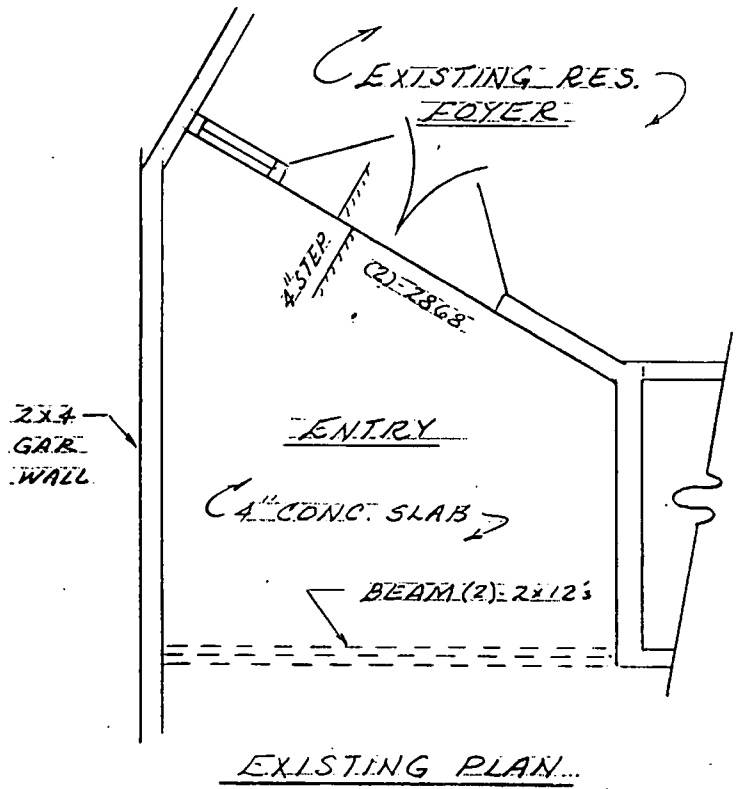
IF YOU NEED FURTHER INFORMATION OR CLARIFICATION FOR THESE CONDITIONS, DO NOT HESITATE TO CONTACT ME.

WITH REGARDS,

JOHN R. ADAMS  
BUILDING OFFICIAL



One S. Sewall's Point Road, Sewall's Point, Florida 34996  
Town Hall (772) 287-2455 • Fax (772) 220-4765 • E-Mail: [clerk@sewallspoint.martin.fl.us](mailto:clerk@sewallspoint.martin.fl.us)  
Building Department (772) 287-2455 • Fax (772) 220-4765 • E-Mail: [jadams@sewallspoint.martin.fl.us](mailto:jadams@sewallspoint.martin.fl.us)



EXISTING PLAN... 1/4" SCALE

NEW PLAN... 1/4" SCALE

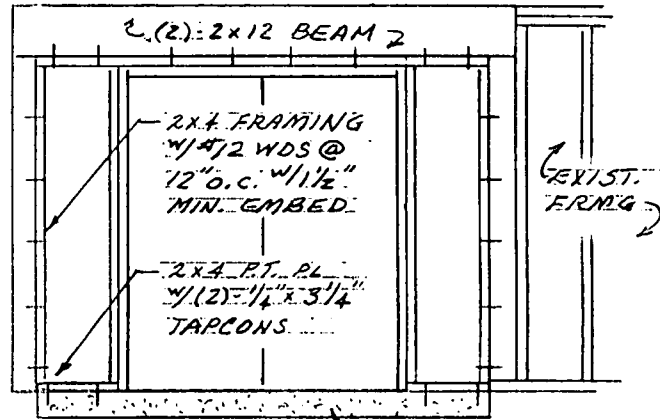
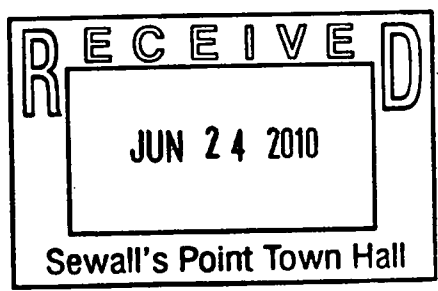
**GENERAL NOTES:**

1. THE NEW WALL IS INSTALLED UNDER A LOAD BEARING BEAM THAT MEETS THE UPLIFT REQUIREMENTS, THE WALL IS DESIGNED FOR SHEAR ONLY.
2. ALL STRUCTURAL FRAMING TO BE #2 SOUTHERN YELLOW PINE OR BETTER.
3. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
4. ALL CONCRETE TO BE 3000 PSI. FIBERMESH.
5. DESIGN BASED ON SOIL BEARING OF 2500 PSF.
6. ALL EXTERIOR DOORS TO BE PRESSURE RATED FOR 140 MPH WIND LOADING. INSTALL PER MANUFACTURERS SPECIFICATIONS.
7. ALL WORK TO BE IN COMPLIANCE WITH THE 2007 FLORIDA BUILDING CODE WITH 2009 SUPPLEMENTS AND ASCE 7-05
8. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND STRUCTURAL CONDITIONS AS SHOWN ON THE PLANS. ANY DISCREPANCY BETWEEN THE PLANS AND THE ACTUAL EXISTING CONDITIONS SHOULD BE REPORTED TO THE ENGINEER IMMEDIATELY.

FBC 2007 WITH 2009 SUPPLEMENTS & ASCE 7-05:

DESIGN CRITERIA:  
 BASIC WIND SPEED 140MPH  
 IMPORTANCE FACTOR 1.0  
 BUILDING CATEGORY II  
 BUILDING DESIGN ENCLOSED  
 WIND EXPOSURE C  
 INTERNAL PRESSURE COEF. 0.18

DESIGN PRESSURES:  
 EXTERIOR WALL (EDGE) 2.3

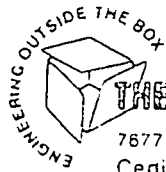


SECTION A-A

TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY

PRODUCT APPROVAL: (NOA. NO. 07-0509.07)  
 JELD-WEN "DOOR CRAFT" OUTSWING/STEEL  
 (LMI) LARGE & SMALL MISSILE IMPACT RESISTANT

N.T.S.  
 [Signature]  
 6/24/10



THE SHAFER GROUP INC.  
 7677 SW Ellipse Way Stuart, FL 34997  
 Certification of Authorization #9316  
 (772) 220-4990 / FAX (772) 220-1795

SEAL	FRONT ENTRY CHANGE	SHEET
FRED D. SHAFER P.E. #26694	BILLY HINNERS 8 RIVERVIEW ROAD. SEWALLS POINT, FLORIDA	1 OF 1

06/22/10



**BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908  
www.buildingcodeonline.com**

**NOTICE OF ACCEPTANCE (NOA)**

**Jeld -Wen Inc.,  
3737 Lakeport Blvd.  
Kalamath Falls, OR 97601**

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION: Series "DoorCraft" Outswing Double Steel Doors-LMI**

**APPROVAL DOCUMENT:** Drawing No. S-2074-01, titled "Opaque Steel Doors", sheets 1 through 8 of 8, prepared by PTC, LLC, dated 12-01-00 last revised on 08/09/07, signed and sealed by Eric S. Nielsen, P.E., bearing the Miami-Dade County Product Control Renewal stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING: Large and Small Missile Impact Resistant**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

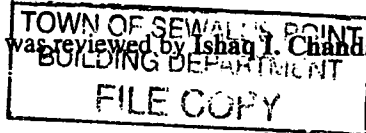
**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 01-0122.11 and consists of this page 1 and evidence pages E-1, as well as approval document mentioned above.

The submitted documentation was reviewed by **Ishaq I. Chanda, P.E.**



8/28/17

**NOA No 07-0509.07  
Expiration Date: June 13, 2012  
Approval Date: September 20, 2007  
Page 1**

Electrical Load Calculation

Hanners

~~Job Address: 8 Riverview Drive, Sewall's Point~~

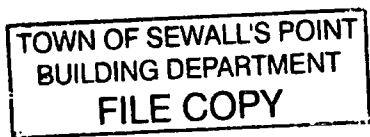
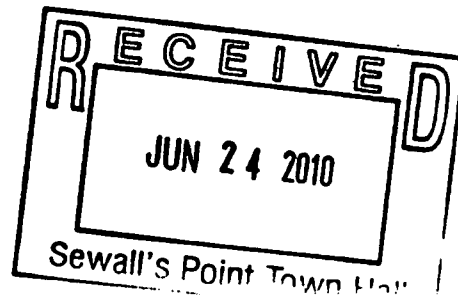
2264 sq. ft. at 3 volt-amperes .....	6.8	KVA
Two small appliance circuits at 1500 volt-amperes ea.....	3.0	KVA
One laundry circuit.....	1.5	KVA
One range with hood (at nameplate rating).....	12	KVA
1 water heater @ 4.5 ea. ....	4.5	KVA
One clothes dryer .....	5.0	KVA
One dishwasher .....	1.5	KVA
One refrigerator.....	1.5	KVA
One disposal.....	1.2	KVA
Irrigation Pump Motor.....	2.5	KVA
Misc. Ceiling Fans.....	1.5	KVA
Pool Equipment w/heater.....	15.0	KVA
One microwave – Hood included.....	1.8	KVA
Total Other Load		58 KVA

First 10k KVA of general load at 100%	= 10.0	KVA
Remainder of general load at 40%		
( 48 KVA x .4)	= 19.2	KVA
Total of other load	= 29.2	KVA
 KVA of heat at 65% (10 x .65)	= 6.5	KVA
Total load	= 36	KVA

Calculated load for service size 36,000 VA ÷ 240 volts = 150 amps

Riser Diagram

Existing Service Size is 200 amps



CONTRACTOR OR OWNER /BUILDER ASBESTOS NOTIFICATION STATEMENT

Date: 5-3-10

Building Permit # \_\_\_\_\_

Site Address: 8 Riverview Drive

**FBC 104.1.10 Asbestos.** The enforcing agency shall require each building permit for the demolition or renovation of an existing structure to contain an asbestos notification statement which indicates the owner's or operator's responsibility to comply with the provisions of s. 469.003 Florida Statutes and to notify the Department of Environmental Protection of her or his intentions to remove asbestos, when applicable, in accordance with state and federal law. 469.003 License required.--

(1) No person may conduct an asbestos survey, develop an operation and maintenance plan, or monitor and evaluate asbestos abatement unless trained and licensed as an asbestos consultant as required by this chapter.

(2)(a) No person may prepare asbestos abatement specifications unless trained and licensed as an asbestos consultant as required by this chapter.

(b) Any person engaged in the business of asbestos surveys prior to October 1, 1987, who has been certified by the Department of Labor and Employment Security as a certified asbestos surveyor, and who has complied with the training requirements of s. 469.013(1)(b), may provide survey services as described in s. 255.553(1), (2), and (3). The Department of Labor and Employment Security may, by rule, establish violations, disciplinary procedures, and penalties for certified asbestos surveyors.

(3) No person may conduct asbestos abatement work unless licensed by the department under this chapter as an asbestos contractor, except as otherwise provided in this chapter.

**FBC 105.3.6 Asbestos removal. (Owner /Builder Exemption)**

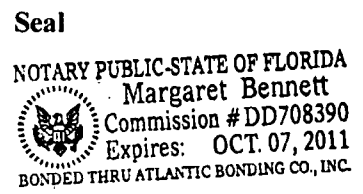
Moving, removal or disposal of asbestos-containing materials on a residential building where the owner occupies the building, the building is not for sale or lease, and the work is performed according to the owner-builder limitations provided in this paragraph. To qualify for exemption under this paragraph, an owner must personally appear and sign the building permit application. The permitting agency shall provide the person with a disclosure statement in substantially the following form: **Disclosure Statement:** State law requires asbestos abatement to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own asbestos abatement contractor even though you do not have a license. You must supervise the construction yourself. You may move, remove or dispose of asbestos-containing materials on a residential building where you occupy the building and the building is not for sale or lease, or the building is a farm outbuilding on your property. If you sell or lease such building within 1 year after the asbestos abatement is complete, the law will presume that you intended to sell or lease the property at the time the work was done, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. Your work must be done according to all local, state and federal laws and regulations which apply to asbestos abatement projects. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances.

Contractor or  Owner/Builder Signature *William B. [Signature]*

Subscribed and sworn to before me this 4th day of May, 2010, personally appeared \_\_\_\_\_ who is personally known to me or produced \_\_\_\_\_ as

identification, and who did/did not take an oath.

Notary Public Signature *Margaret Bennett*





# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 7-13 2010 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9486	FERRARO	ROVER		
6	10 MIDDLE RD Regency Const	PLUMB RE INSPECT	Pass	INSPECTOR <i>AF</i>
9506	RAMSEN			287-1596
3	23 RIDGLAND DR R. ROSS & CRANE	FINAL AC	Pass	CALL B4 INSPECTOR <i>AF</i> Close
9501	STECK			
2	32 FIELDWAY EXPEND SAUTTER	FINAL SAUTTER	Pass	Close INSPECTOR <i>AF</i>
1	POTTER			
TREE	4 PORRINKLE Cir		OK	INSPECTOR
<del>9487</del>	<del>Freedom H.B</del>	<del>AC</del>	<del>Pass</del>	
5	FREEDOM H.B			INSPECTOR <i>AF</i>
9492	R 3 PROPS			
4	13 PALM RD AQUAMATIC INC	FINAL TRK 6	Pass	Close INSPECTOR <i>AF</i>
9464	Durno	Final		Rec'd Eng letter
	30 N River Rd Stuart Fence	Fence	Pass	Close INSPECTOR <i>AF</i>

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 8-12-2010 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9507	Sharfi 73 NSPR Mosley	slab	PASS	INSPECTOR <i>JA</i>
9508	Sharfi 73 NSPR Mosley	greenhouse tie beam	PASS	INSPECTOR <i>JA</i>
9525	KING 35 W RIGA PT ESKER	FINAL SAUCCO	PASS	close INSPECTOR <i>JA</i>
9379	BALFOORD 11.00 103 HILLCREST BALFOORD CONSD	FRAMING & ALL R. PLUMBING TRADE'S	PASS	INSPECTOR <i>JA</i>
9528	DRESSLER 9.00 3 MIDDLE RD PASTAL ENVIRONMENT	A/C FINAL	FAIL	NOT WORKING INSPECTOR <i>JA</i>
<del>9489</del>	<del>MINNERS</del> <del>8 BARRONVIEW</del> FREEDOM HOMES	<del>VIA / OFFER</del> <del>SEVEN</del>	<del>PASS</del>	INSPECTOR <i>JA</i>
9530	Harman 44 Rio Vista Expert Shutters	Final	PASS	PENDING <i>Close</i> AFFIDAVIT INSPECTOR <i>JA</i> need 8-17-10

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri **9-13** 2010 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9379	Balfourt 103 Helcrest Balfourt Const	wire / lath	PASS	INSPECTOR <i>A</i>
9511	Braune 85 Via Lucinda Gulfstream Alen	Final shutter	PASS	Close INSPECTOR <i>A</i>
<del>9489</del> 1ST	<del>Harner's</del> 8 Pindwinle Freedom Homes	<del>Plumbing</del> Add plumbing elec AC	<del>FAIL</del>	<del>CONTRACTOR</del> <del>NO AS L VOT</del> INSPECTOR <i>A</i>
	8 PINDWINLE CIRCLE DUNESDA CADE	CONSD. NO PERMIT		ISSUED STOP WORK ORDER INSPECTOR <i>A</i>
				INSPECTOR
				INSPECTOR
				INSPECTOR
				INSPECTOR

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 9-17 2010 Page 1 of    

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>9540</del>	<del>O'Brien 316 E High Pt AmB Garage</del>	<del>Final Garage</del>	<del>See 9/15</del>	<del>INSPECTOR</del>
9502	Gill 33 Rio Vista Dr Adams AC	Final AC	Pass	Close INSPECTOR <i>[Signature]</i>
9570	Botwinick 27 Emarita Cardinal Roofing	Final roof	Pass	Close INSPECTOR <i>[Signature]</i>
9539	Plantation HOA Hoisting way	Final ELEC lights	Pass	Close INSPECTOR <i>[Signature]</i>
<del>9581</del>	<del>Hanners 6 Rinderailed Freedom Homes</del>	<del>insulation FRAMING RE-INSPECT</del>	<del>Pass</del>	<del>INSPECTOR</del>
9567	Mulcahy 138 S. SPTRD Lender Marine	FINAL SEAWALL	Pass	Close INSPECTOR <i>[Signature]</i>
				INSPECTOR



TOWN OF SEWALL'S POINT, FLORIDA

FILE

Date 3/15/01 19 01 TREE REMOVAL PERMIT No 0421

APPLIED FOR BY JOHN DEWAARD (Contractor or Owner)

Owner 8 RIVERVIEW DR

Sub-division \_\_\_\_\_, Lot \_\_\_\_\_, Block \_\_\_\_\_

Kind of Trees (1) CITRUS - ORANGE; DEAD/DISEASED

No. Of Trees: REMOVE 1

No. Of Trees: RELOCATE -0- WITHIN 30 DAYS (NO FEE).

No. Of Trees: REPLACE -0- WITHIN 30 DAYS

3/14/01 FIELD VERIFICATION

REMARKS LOCATION SKETCH ON APPLICATION.

Signed, (SIGNATURE ON FILE) Applicant

Signed, [Signature] Town Clerk KLK OFFICIAL

FEE \$ NO FEE

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection

WORK HOURS 8:00 A.M. - 5:00 P.M.—NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Empty lined box for notes or additional information.

PROJECT DESCRIPTION \_\_\_\_\_

Empty lines for project description details.

REMARKS \_\_\_\_\_

Empty lines for remarks.

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

3/14/01 FIELD  
NTP

RECEIVED  
MAR 14 2001

Permit # 0421  
Date Issued 3/15/01

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner JOHN DENWARD Address 8 RIVERVIEW DR Phone 283-5920

Contractor \_\_\_\_\_ Address \_\_\_\_\_ Phone \_\_\_\_\_

Number of trees to be removed (list kinds of trees) 1 Orange (MUSTY DEAD)

NO FEE

Number of trees to be relocated within 30 days (no fee) (list kinds of trees): \_\_\_\_\_

Number of trees to be replaced \_\_\_\_\_ (list kinds of trees): \_\_\_\_\_

1 Orange

Permit Fee \$ 0 (~~\$25.00~~ first tree plus \$10.00 - each additional tree - not to exceed ~~\$100.00~~ \$15.00)

(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted ✓ Plans approved as marked \_\_\_\_\_

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant John Denward Date submitted 3-14-01

Approved by Building Inspector [Signature] Date 3/14/01

Approved by Building Commissioner \_\_\_\_\_ Date \_\_\_\_\_

Completed \_\_\_\_\_ Date \_\_\_\_\_ Checked by \_\_\_\_\_

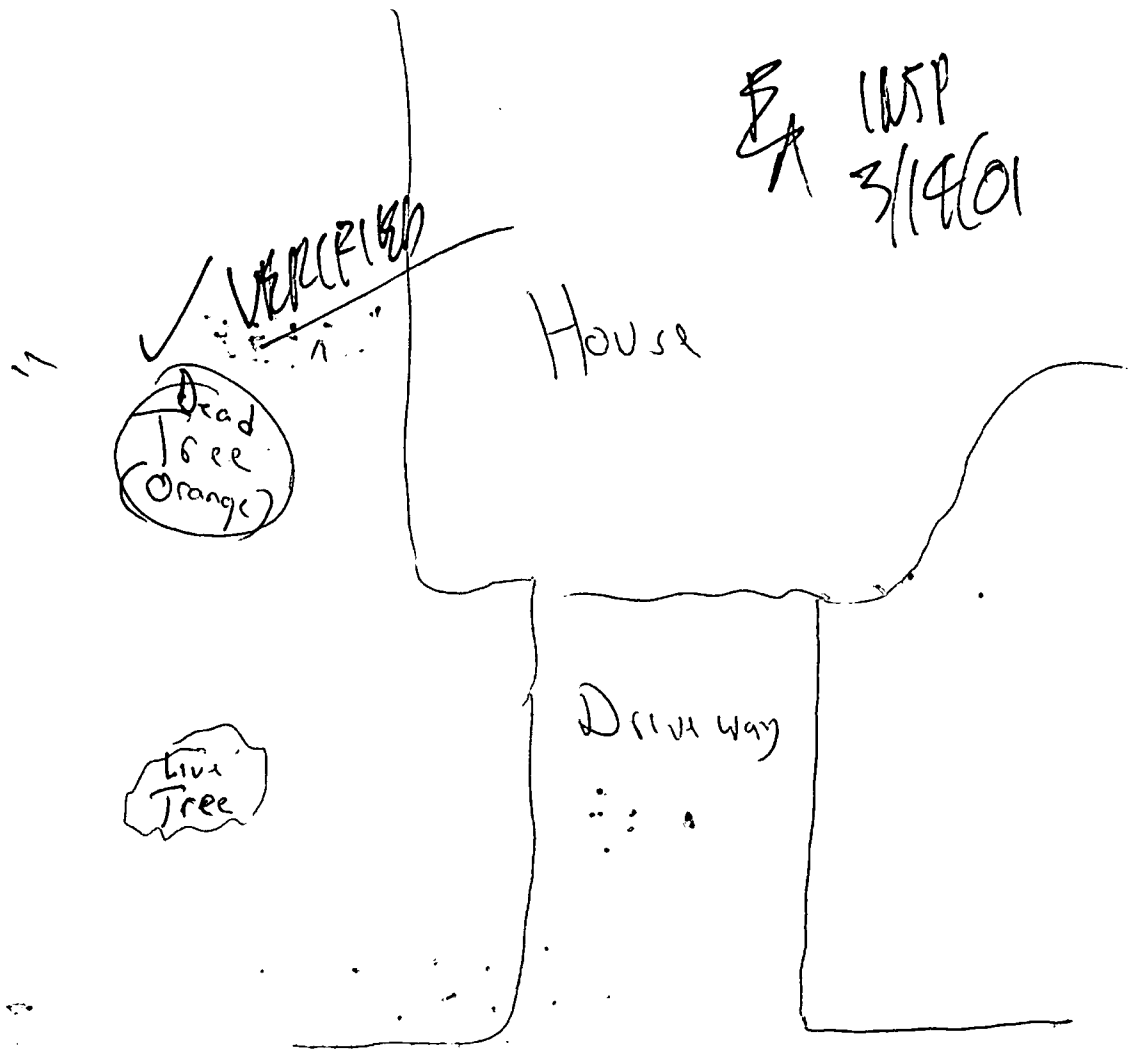
THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT ~~OBTAINING A PERMIT~~ **FEE**. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?

10/12/01

10/12/01

WSP  
3/19/01



River view Drive



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri MARCH 14 2001; Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5192	RAO	STRAPPING	Passed	
N ①	30 CASTLE HILL WAY A R MARTIN (718-9191)	& ANCHORS		INSPECTOR: <u>[Signature]</u> 3/14 ✓
✓ 5187	JORDAN	TEMP. ELECT.	Passed	DUMPSITE/PORTOCELT/WATER@SITE
N ②	110 N. SEWALL'S POINT RD W.D.C. CONST. (201-1565)			FPL: 223-4208 INSPECTOR: <u>[Signature]</u> 3/14 ✓
<del>T/R</del>	<del>DEODARO</del>	<del>FIELD VERIF.</del>	<del>PASSED</del>	<del>[Redacted]</del>
	<del>8 RIVERVIEW DR</del> O/B			INSPECTOR: <u>EA</u>
T/R	FERRACIO	FIELD VERIF.	PASSED	STORM/WIND DAMAGE TRUNK ONLY REMAINING
	26 E. HIGH POINT MONTE'S TREE SERVICE			INSPECTOR: <u>[Signature]</u>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: \_\_\_\_\_

TOWN OF SEWALL'S POINT, FLORIDA

Date 4/25 ~~2003~~ TREE REMOVAL PERMIT No 1265

APPLIED FOR BY DEWAARD (Contractor or Owner)

Owner 8 RIVERVIEW DR

Sub-division \_\_\_\_\_, Lot \_\_\_\_\_, Block \_\_\_\_\_

Kind of Trees HICKORY - DEAD

No. Of Trees: REMOVE 1

No. Of Trees: RELOCATE \_\_\_\_\_ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE \_\_\_\_\_ WITHIN 30 DAYS

REMARKS \_\_\_\_\_

\_\_\_\_\_ FEE \$ 0

Signed, \_\_\_\_\_ Applicant Signed, Gene Simmons (Ed) Town Clerk

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection  
WORK HOURS 8:00 A.M. - 5:00 P.M.—NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Blank lined area for drawing or site plan.

PROJECT DESCRIPTION \_\_\_\_\_

Blank lined area for project description.

REMARKS \_\_\_\_\_

Blank lined area for remarks.

**TOWN OF SEWALL'S POINT**  
**APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

**Tree Defined:**

Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

**No permit required for:**

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than one inch.

**Permit Fee:**

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Scheffiera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

**Application procedures:**

1. Fill out application information below to include:
  - a. applicant information
  - b. written statement giving reasons for removal, relocation, or replacement if necessary
  - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
  - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner JOHN R. DELMAR Address 8 RIVERVIEW DR Phone 283-5920

Contractor \_\_\_\_\_ Address \_\_\_\_\_ Phone \_\_\_\_\_

No. of Trees: REMOVE 1 Type: HICKORY NUT ?

No. of Trees: RELOCATE \_\_\_\_\_ WITHIN 30 DAYS Type: \_\_\_\_\_

No. of Trees: REPLACE \_\_\_\_\_ WITHIN 30 DAYS Type: \_\_\_\_\_

Written statement giving reasons: THE TREE IS DEAD OK 4/26/03

Signature of Applicant John R. Delmar Date 4-23-03

Approved by Building Inspector: [Signature] Date 4/26/03

Plans approved as submitted \_\_\_\_\_ Plans approved as revised/marked: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4-25, 2003 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
<del>1228</del>	<del>NEWARK</del>	<del>TREE</del>	<del>Passed</del>	
(10)	8 RIVERVIEW DR			INSPECTOR: <i>[Signature]</i>
<del>6226</del>	<del>KALDYAN</del>	<del>ROOFING</del>	<del>Failed</del>	<del>OK</del>
X	80 S. RIVER RD MARTIN COUNTY PERMITS	GAS LINE/TANK	per	Cheyenne
				INSPECTOR: <i>[Signature]</i>
6229	GRANFIELD	A/C FINAL	Passed	
(6)	15 W. HIGH POINT KRAUS + CRAN			INSPECTOR: <i>[Signature]</i>
6227	GRANFIELD	ROOF SHEATHING	Passed	
(5)	15 W. HIGH POINT O/B			INSPECTOR: <i>[Signature]</i>
5767	CLEMENTS	FENCE	Passed	close
(7)	6 MIDDLE ROAD O/B	Pool		INSPECTOR: <i>[Signature]</i>
6223	POOLE	FINAL-ROOF	Passed	
(2)	94 N. SEWALLS PT A+D ROOFING			INSPECTOR: <i>[Signature]</i>
5734	ABESADA	MECH, A/C V	Passed	
(8)	8 MORGAN CIR CONWAY	Plumb, elec Revisit		INSPECTOR: <i>[Signature]</i>
OTHER: _____				

TOWN OF SEWALL'S POINT, FLORIDA

Date JANUARY 6 ~~2006~~ TREE REMOVAL PERMIT No 2619

APPLIED FOR BY DEWAARD (Contractor or Owner)

Owner B RIVERVIEW DRIVE

Sub-division \_\_\_\_\_, Lot \_\_\_\_\_, Block \_\_\_\_\_

Kind of Trees \_\_\_\_\_

No. Of Trees: REMOVE 1 DEAD OUT

No. Of Trees: RELOCATE \_\_\_\_\_ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE \_\_\_\_\_ WITHIN 30 DAYS

REMARKS \_\_\_\_\_  
FEE \$ 0

Signed, \_\_\_\_\_ Applicant  
Signed [Signature] Town Clerk  
BUILDING OFFICIAL

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection  
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Large empty rectangular box for drawing or site plan]

PROJECT DESCRIPTION \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
REMARKS \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Permit Fee:**

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

**No removal permits will be issued for native species trees:** Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

**Application procedures:**

1. Fill out application information below to include:
  - a. applicant information
  - b. written statement giving reasons for removal, relocation, or replacement if necessary
  - c. for a new single family resident see above.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner JOHN DEWAARD Address 8 RIVERVIEW DR Phone 283-5920

Contractor \_\_\_\_\_ Address \_\_\_\_\_ Phone \_\_\_\_\_

No. of Trees: REMOVE 1 Type: ?

No. of Trees: RELOCATE \_\_\_\_\_ WITHIN 30 DAYS Type: \_\_\_\_\_

No. of Trees: REPLACE \_\_\_\_\_ WITHIN 30 DAYS Type: \_\_\_\_\_

Written statement giving reasons: DANGER TO POOL SCREEN

Signature of Property Owner John DeWard Date 1-4-06

Approved by Building Inspector: [Signature] Date 1/6 Fee: 0

Plans approved as submitted \_\_\_\_\_ Plans approved as revised/marked:

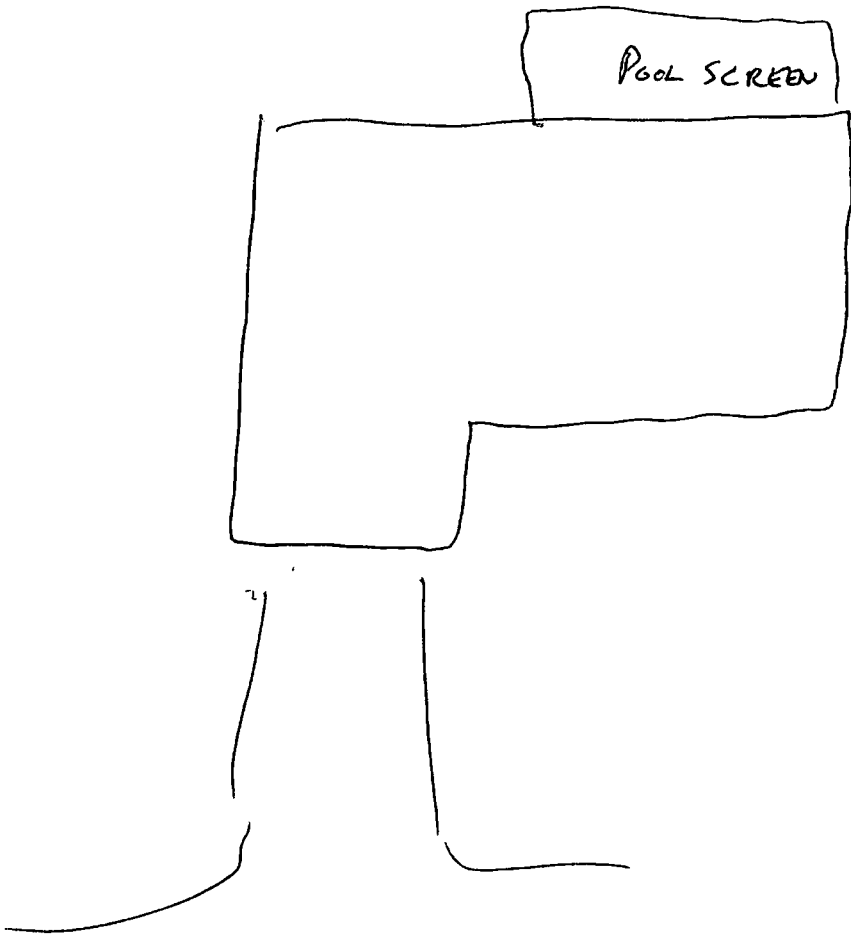
CAN NOT REMOVE FLA. HICKORY - BUT APPROVED FOR REMOVAL OF DEAD OAK

DEAD OAK  
TO

POOL SCREEN

↓ TREE  
HICKORY  
CAN NOT  
REMOVE

STREET





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Erica - Tenant
children

Owner Hinner Address 8 River View Phone 772. 631. 9769

Contractor Marshall Land Address Phone

No. of Trees: REMOVE Species:

No. of Trees: RELOCATE Species:

No. of Trees: REPLACE Species:

\*\*\*ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION\*\*\*

Reason for tree removal /relocation (See notice above)

Signature of Property Owner [Signature] Date 1-31-11

Approved by Building Inspector: Date Fee:

NOTES:

SKETCH:
Trimming front landscaping and trees to
remove dead limbs and expose house to
street.
Removing branches at the back of house that
rest on the roof.
Removing tree against the fence in the
back east corner.
Does not need permit